



TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW MEETING

Zoning Board of Review Meeting Agenda

Monday, February 05, 2024 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, February 1, 2024.

1. Pledge of Allegiance

2. Approval of Minutes - January 2, 2024

3. Continued Petitions

3A. 2023-27 Continued Petition of Robert M. Kreft -
Dimensional Variances: to construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district. Located at **22 Wall Street**; Assessor's Plat 33, Lot 17; Zone: Residential R-6.

3B. 2024-01 Continued Petition of Thomas A. and Lee H. Dawson - Dimensional Variance: to construct an 18ft. 8in. x 24ft. two-story living area addition to the rear of an existing single-family dwelling with less than the required left side yard. Located at **15 Burton Street**; Assessor's Plat 15, Lot 79; Zone: Residential R-6.

4. New Petitions

4A. February Staff Reports

4B. 2024-04 Larry Goldstein / TSL, LLC - Dimensional Variance: to modify exterior walls and roofline of a portion of the existing Bristol Harbor Inn hotel

building and construct eight (8) new hotel rooming units on the third floor of the structure with less than the required lot area per rooming unit. Located at **267 Thames Street**; Assessor's Plat 9, Lot 50; Zone: Waterfront (W).

4C. **2024-05 Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc.** - Special Use Permit: to convert an existing nonconforming retail business space within a residential zoning district into a pet grooming service business use. Located at **1282 Hope Street**; Assessor's Plat 92, Lot 16; Zone: Residential R-10.

4D. **2024-06 John M. Lannan / Fairpoint Realty, LLC** - Dimensional Variance: to construct a 10ft. x 22ft. breezeway and porch, and a 24ft. x 24ft. two-story garage addition to an existing single family dwelling with less than the required front yard on a corner lot. Located at **111 King Philip Avenue**; Assessor's Plat 147, Lots 61 & 62; Zone: Residential R-10.

4E. **2024-07 Jeanine and Daniel McConaghy** - Dimensional Variances: to demolish an existing single-family dwelling and construct a new single-family dwelling with less than the required front yard on a corner lot, and with a second floor footprint that exceeds the maximum two thirds size of the first floor footprint; and a Special Use Permit: to construct a single-family dwelling at a height of over 25 feet above grade in the flood zone. Located at **135 Kickemuit Avenue**; Assessor's Plat 133, Lot 37; Zone: Residential R-15.

5. Adjourn

Date: January 18, 2024

By: emt



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-27

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review that a public hearing will be held on the following application:

Monday, September 18, 2023
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Robert M. Kreft**
PROPERTY OWNER: **Robert M. Kreft / Robert M. Kreft 2020 Trust**
LOCATION: **22 Wall Street**
PLAT: **33** LOT: **17**
ZONE: **Residential R-6**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.**

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 14, 2023.



Town of Bristol, Rhode Island
Department of Community Development

10 Court Street
 Bristol, RI 02809
 www.bristolri.gov
 401-253-7000

October 25, 2023

TO: Zoning Board of Review
FROM: Edward M. Tanner, Zoning Officer *EMT*
RE: *Application of Robert Kreft*
22 Wall Street

I am writing in response to the zoning board's request for additional information relative to the merger of Assessor's Lots 17 and 21 on Plat 33 (a.k.a. 22 Wall Street).

- In the early 2000's lots 21, 23 & 24 on the south side of Wall Street and the north side of Center Street were three separate Assessor's lots (originally created in the early 1900's), and they were occupied by a commercial tavern/bar and its associated parking. See **attached** assessor's map and GIS aerial photo map from circa 2006 and 2008 respectively.
- In September 2006, the Planning Board approved a subdivision of the three lots listed above in which lot 23 was split between lots 21 and 24. The resulting two lots each contained 7,380 square feet of land area and met the minimum dimensional requirements for a buildable lot in the R-6 zoning district. See **attached** assessor's map from 2010 showing this lot configuration and **attached** Zoning Certificate from 2018 stating that lot 21 is a buildable lot.
- In May 2013, Robert Kreft purchased lot 17, with the existing multi-family dwelling known as 22 Wall Street.
- In August 2018, Robert Kreft purchased the vacant lot 21 from Wood Frame Structures, Inc.
- In December 2020, Robert Kreft filed a Real Estate Lot Merger Declaration with the Tax Assessor formally merging lot 21 into lot 17 (see copy **attached**). Since that time, these previously separate lots have been considered one property totaling 22,140 square feet of land area.
- In July 2021, Robert Kreft submitted an application for a dimensional variance to the zoning board (File #2021-31) proposing construction of an accessory garage structure on the vacant portion of the property that was formerly lot 21. This petition was denied by the zoning board.
- In July 2023, Robert Kreft submitted the current application for dimensional variances to construct an accessory garage structure with a different size and configuration from the previous petition.

Should you have any questions pertaining to this matter, please feel free to contact me.

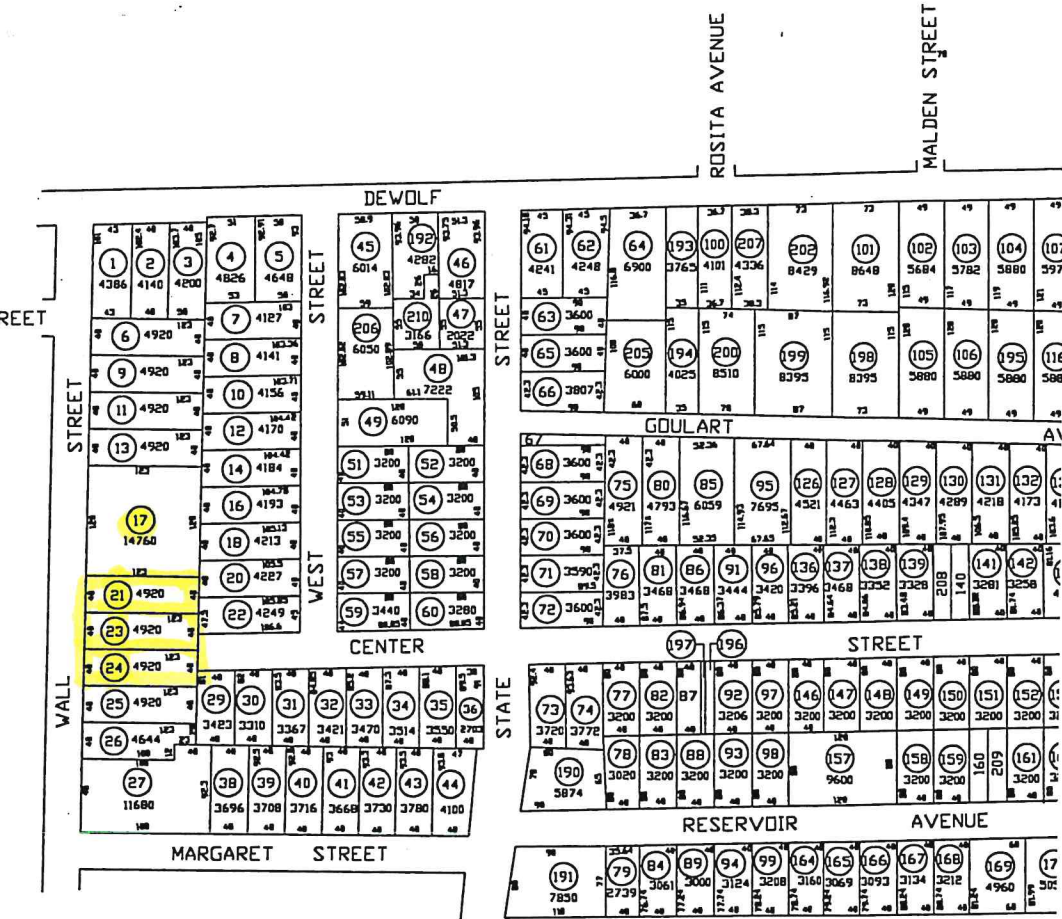
SEE PLAT MAP NO. 45

SEE PLAT MAP NO. 44

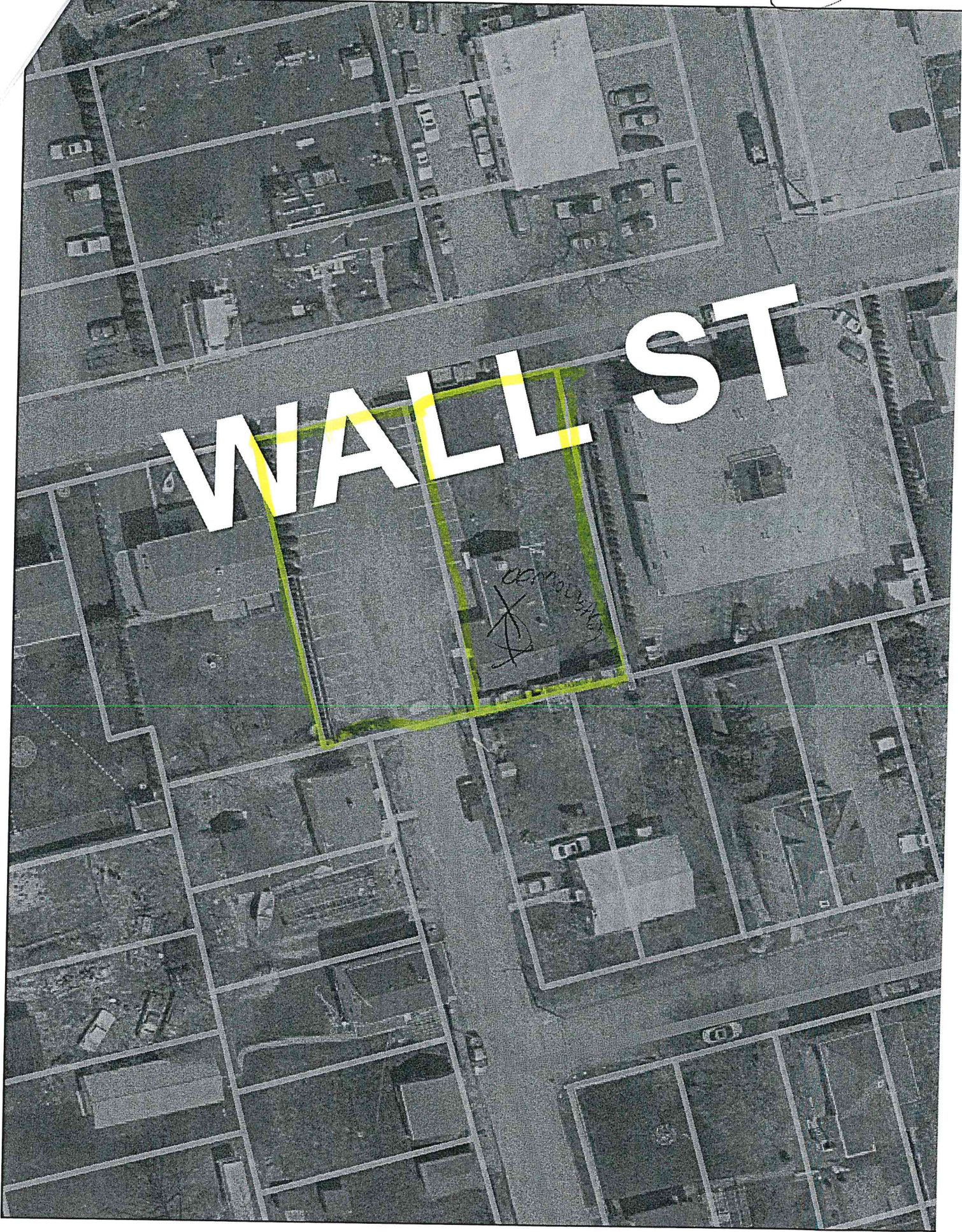
SEE PLAT MAP NO. 37

SEE PLAT MAP NO. 30

2006

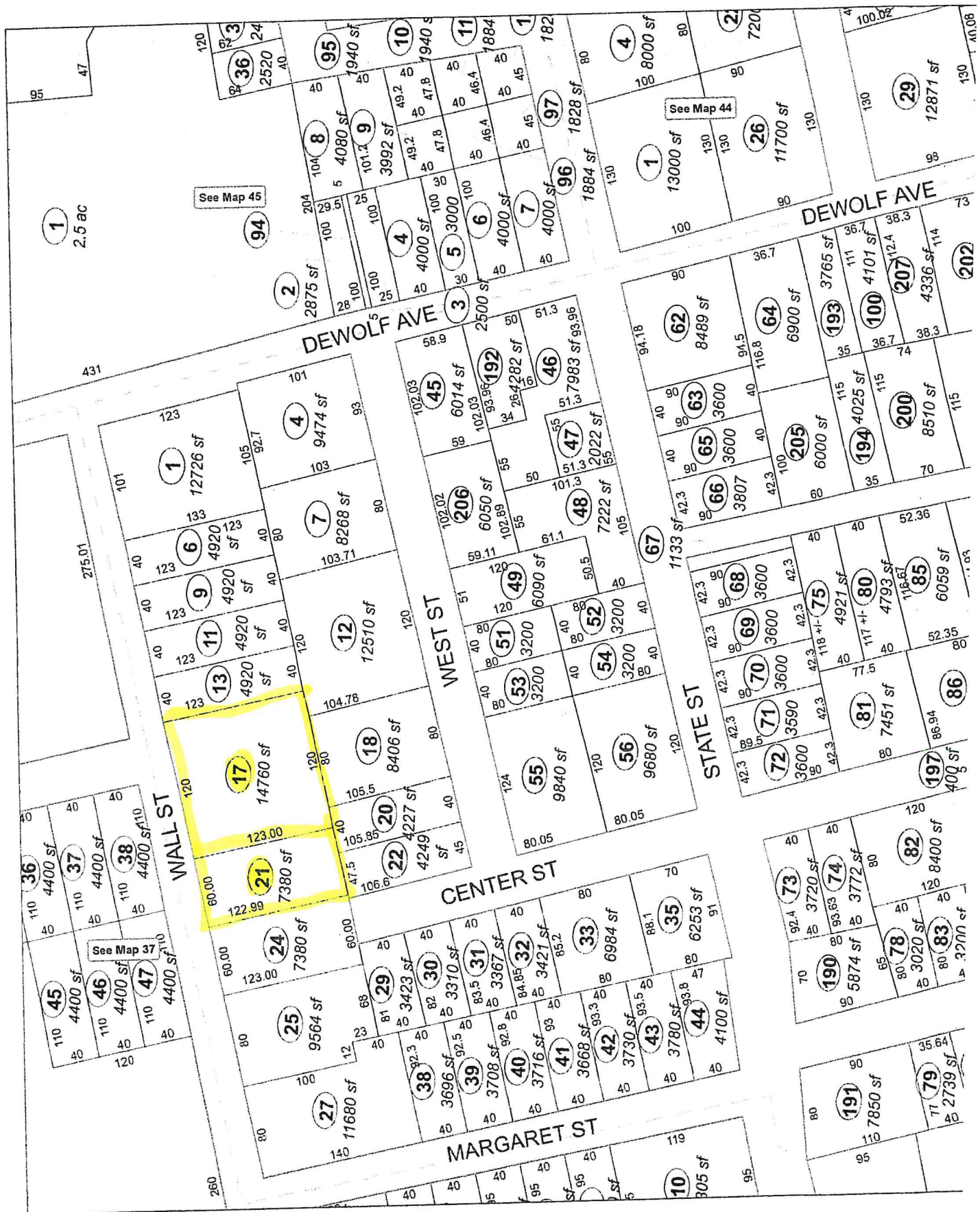


2008



WALL ST

Handwritten 'X' and illegible text on the highlighted lot.



Data is valid through December 2010.

Disclaimer

This Plan shall be used only to provide general information regarding dimensions, areas, etc. and does not represent a guarantee of accuracy. The information on this map was compiled from the Town of Bristol's CAD Database, which were compiled from various records including deeds, existing GIS data, Survey records and other documents and is not intended to be used for legal purposes. Maps documents and survey plans for 2009 through 2010 were also used to update the GIS Database. The Town of Bristol, Bristol's Assessor, and MainStreetGIS LLC assume no responsibility for the accuracy of any information on this map.

Legend

- Leadline — Paper Street
- Property Line — ROW
- Stippled — Survey Line
- Bridge — Town Boundary
- Macchine — Water Boundary
- Historic Lot Line
- Stream
- Water Body
- Paper Street
- Easement
- Tax map boundary
- Property on adjacent tax map

TOW



TOWN OF BRISTOL
DEPARTMENT OF COMMUNITY DEVELOPMENT
10 Court Street • Bristol, Rhode Island 02809

ZONING CERTIFICATE

May 4, 2018

TO: WHOM IT MAY CONCERN

RE: Wall Street
Assessor's Plat 33, Lot 21
Zoned Residential R-6

The lot referenced above is a vacant parcel consisting of approximately 7,380 square feet of land area located on the southerly side of Wall Street. This lot was created in its current configuration via an approved and recorded subdivision plan in September 2006. Lot 21 meets the dimensional requirements for a buildable lot in the R-6 zoning district. Thus, **lot 21 is a buildable lot** and may be improved with a single-family dwelling.

The construction of any dwelling on lot 21 would be required to conform to the following minimum property line setbacks for the R-6 zoning district:

Front Yard Setback: 20 feet or average of the block (whichever is less)
Rear Yard Setback: 20 feet
Side Yard Setbacks: 10 feet

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

cc: Building Department
Tax Assessor

Town of Bristol, Rhode Island Real Estate Merging Declaration

Name: Kreft, Robert M., Trustee
Robert M. Kreft 2020 Trust
Property: 22 Wall St
Bristol, RI 02809

Pursuant to Town of Bristol Ordinance 28-221, the undersigned, as property owner/s of contiguous parcels known as Assessors Plat 033 lots 0017 and 0021 declare/s the lots herein listed to be one parcel with a total of 22,140 square feet.

This declaration is made with the full knowledge that all Town records for assessing purposes will forever reflect this change, and will only be changed or altered through the recording of a subdivision plan, properly approved by the Town of Bristol.

All valuations to be as of December 31, 2020 and subsequent revaluation anniversaries.

Owner/s *Robert M. Kreft*

STATE OF RHODE ISLAND COUNTY OF BRISTOL

In Bristol this 9 day of December, 2020 before me personally appeared ROBERT M KREFT to me known and known by me to be the person/s executing the foregoing and said person/s acknowledge this instrument to be their free act and deed.

Catherine A Marshall *12/9/2020*
Notary Public Date

My Commission Expires: *12/21/2020*

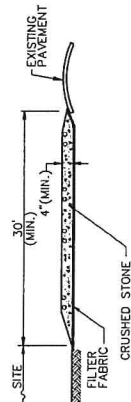
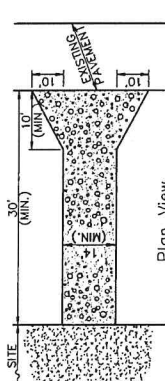
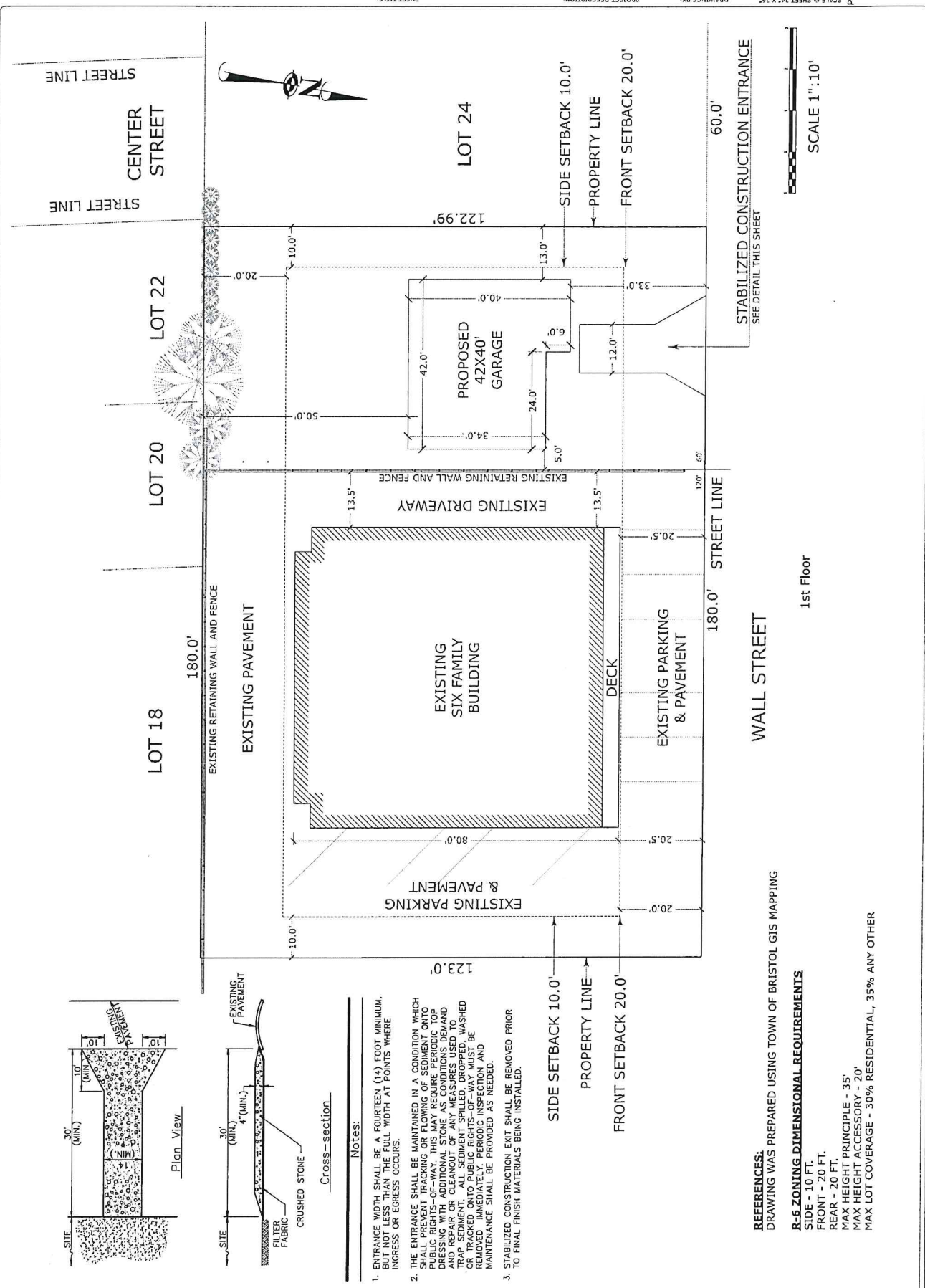
Catherine A Marshall
Notary Public
State of Rhode Island ID# 51092
My Comm. Expires: *12/20/2020*

To be known as Assessors Plat 033 Lot 0017

Tax Assessor *[Signature]*

Director of Community Development *Daniel Williamson*

NO.	DESCRIPTION	BY	DATE



Notes:

1. ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS FLOWING OR SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR PUBLIC RIGHTS-OF-WAY. THE ENTRANCE SHALL BE DRESSED WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED FROM THE SITE. SIGNAGE AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

REFERENCES:
DRAWING WAS PREPARED USING TOWN OF BRISTOL GIS MAPPING

R-6 ZONING DIMENSIONAL REQUIREMENTS
SIDE - 10 FT.
FRONT - 20 FT.
REAR - 20 FT.
MAX HEIGHT PRINCIPLE - 35'
MAX HEIGHT ACCESSORY - 20'
MAX LOT COVERAGE - 30% RESIDENTIAL, 35% ANY OTHER

1st Floor

STABILIZED CONSTRUCTION ENTRANCE
SEE DETAIL THIS SHEET

SCALE 1" = 10'

Ed Tanner

From: Robert Kreft <Rkreft@kreftgroup.com>
Sent: Monday, October 23, 2023 8:57 AM
To: Ed Tanner
Subject: Wall Street Garage
Attachments: PLOT PLAN LAYOUT 24X36 REV.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Ed I believe attached is what the zoning board is looking for can you take a look and confirm? Can we speak for a few minutes this week?

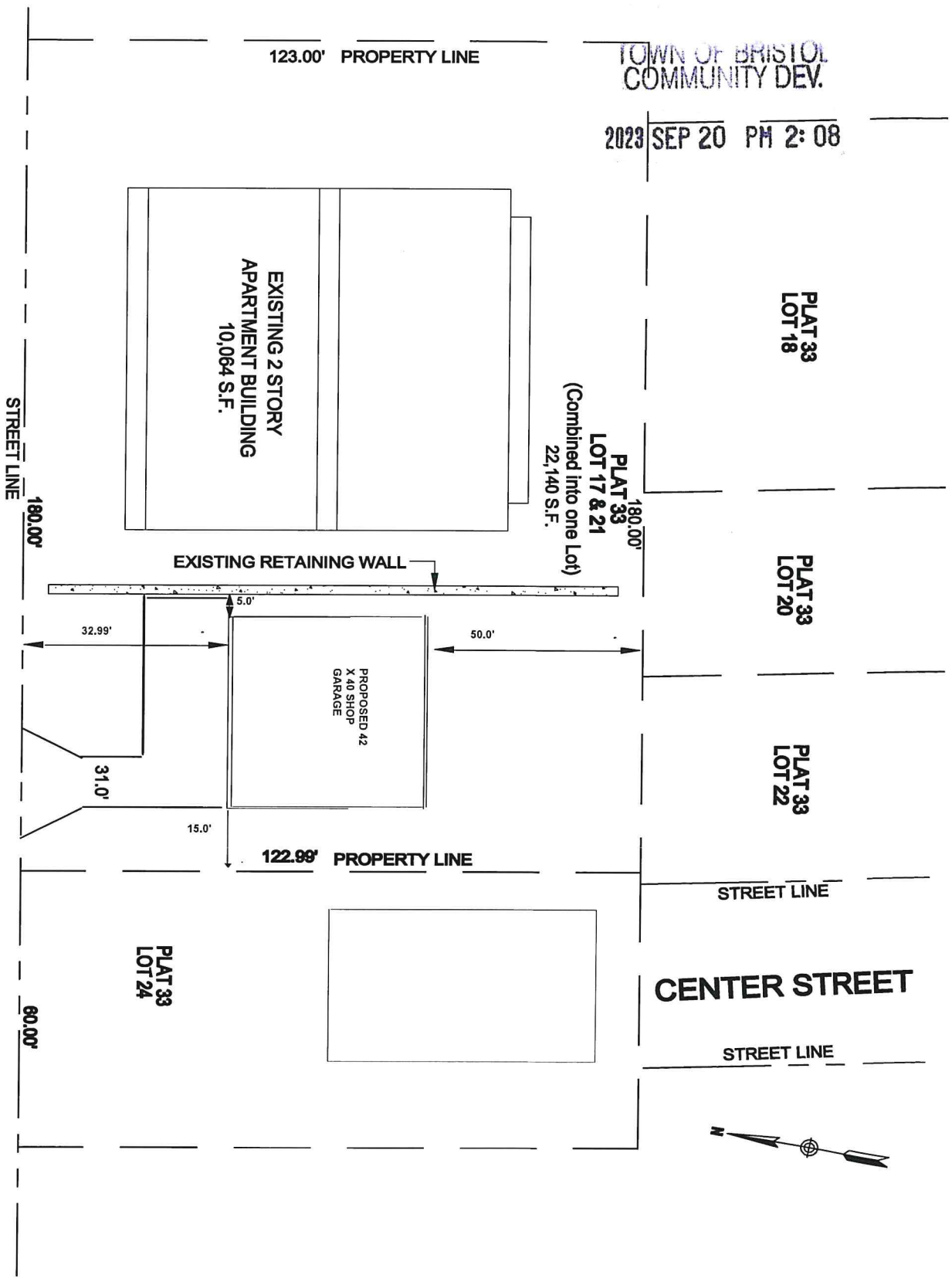
Thanks in advance

Rob Kreft

Kreft Group ■
M 401-489-0984 | F 866-843-7642
rkreft@kreftgroup.com

TOWN OF BRISTOL
COMMUNITY DEV.

2023 SEP 20 PM 2: 08



WALL STREET

CENTER STREET

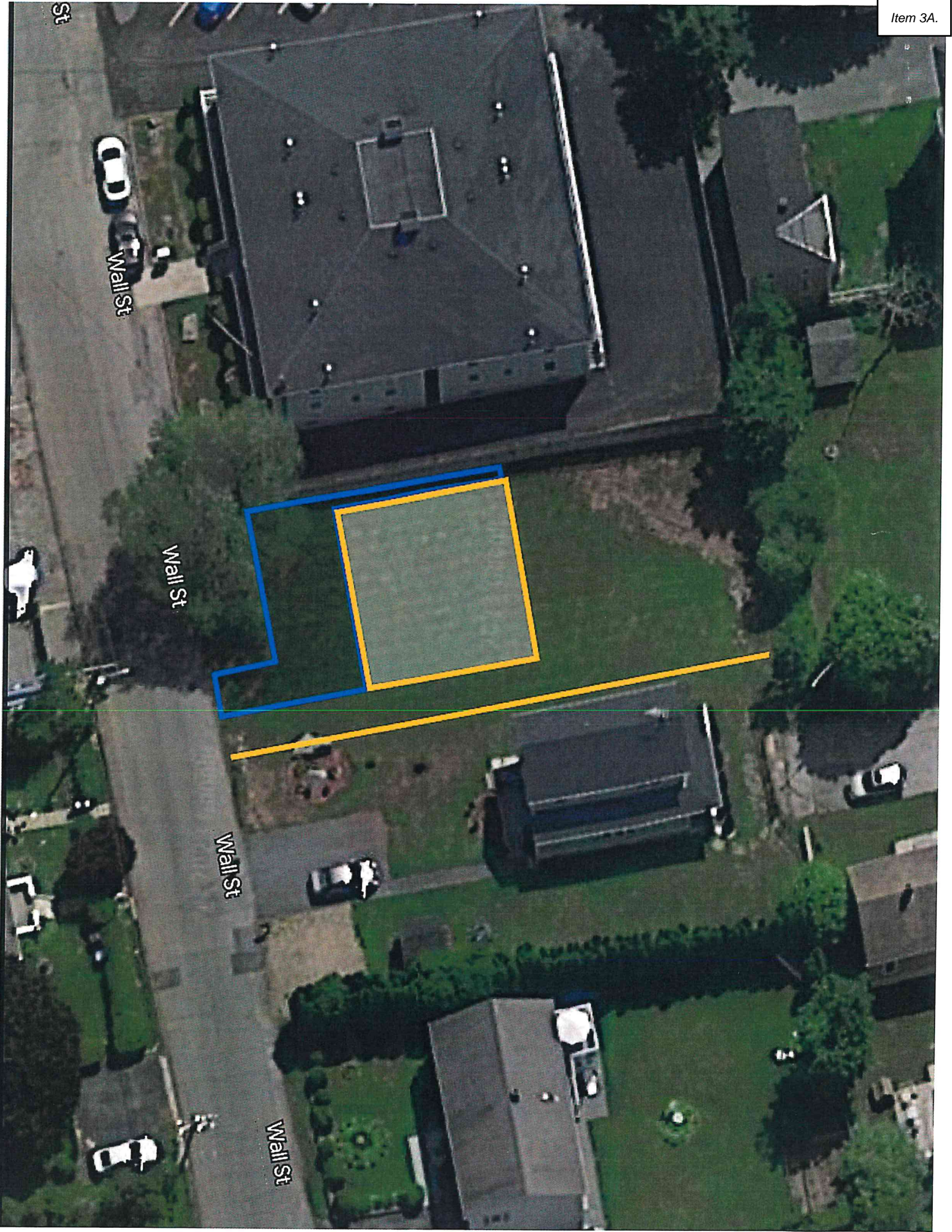
Proposed
Garage For:
Robert Kraft
16 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one Lot

PROJECT NUMBER: 00416
Drawn By: SML
Checked By: X
Issue Date: 03-13-20

SHEET LEGEND:

Revision No	Date	Description

Drawn By:
Site Plan



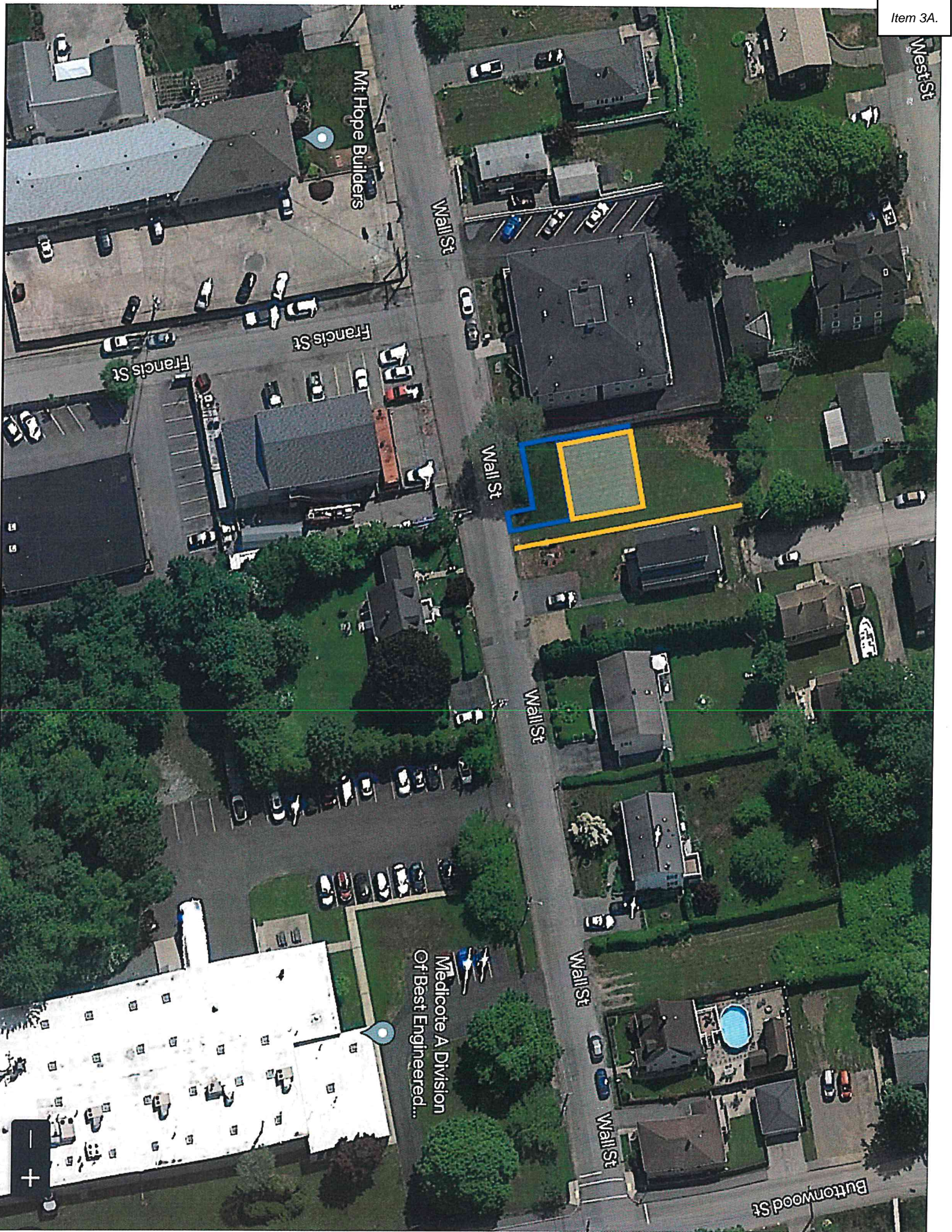
St

Wall St

Wall St

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Mt Hope Builders

Francis St

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West St

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Medicote A Division
Of Best Engineered...

Wall St

Wall St

Buttonwood St



Town of Bristol, Rhode Island *Zoning Board of Review*

STAFF REPORT FOR:

FILE NO. **2023-27**

APPLICANT: Robert M. Kreft
 LOCATION: 22 Wall Street
 PLAT: 33 LOT: 17 ZONE: R-6

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:


The applicant is requesting dimensional variances to construct a 40' x 42' accessory garage structure on this property located on the southerly side of Wall Street (see attached GIS map depicting property). This property consists of a 22,140 square foot lot that is currently improved with a two-story multi-family structure containing 12 residential dwelling units. The applicant proposes to construct a four stall garage with workshop area to provide storage for vehicles and maintenance equipment used on the property. According to information presented with this application, the property currently provides off-street parking for 25 vehicles, and the garage addition would free up three of these spaces, as they are currently occupied by maintenance vehicles and equipment.

The existing residential structure was constructed in the early 1990's and received dimensional variances from the zoning board in July 1991 for a 12 unit multi-family residence with less than the required lot area per dwelling unit. The site plan submitted with the application at that time depicted off-street parking on the property for up to 34 vehicles, including 10 spaces in front of the building where there is now landscaping. The zoning ordinance requires a minimum of two off-street parking spaces per residential dwelling unit.

The proposed garage would be constructed on the westerly end of the property within a portion of the parcel that was previously a separate lot (identified as assessor's lot 21). This lot was purchased by the applicant and merged with lot 17 in 2020. The proposed garage would comply with applicable setbacks for the R-6 zoning district (although a survey will be required to confirm property line locations prior to any building permit), but it would exceed the maximum height and the maximum size permitted for an accessory structure in the R-6 zone. In addition, the proposed structure would increase lot coverage by structures on this property from 46% to 53%. The zoning ordinance permits a maximum size for accessory structures in the lot coverage by structures of 30% in the R-6 zone.

The proposed garage would have a footprint of approximately 1,680 square feet. Although the zoning ordinance does not regulate lot coverage by pavement and structures in residential zones, it appears that the proposal would cover the majority of the site with impervious surfaces. As such, this project would require a Soil Erosion, Runoff and Sediment Control (ERSC) permit per Chapter 29 of Bristol Town Code. As this property is located in the Tanyard Brook Watershed, more stringent runoff mitigation requirements would apply. The applicant will need to demonstrate that the project can meet the requirements of this ordinance and plans prepared by a Professional Engineer will be required prior to issuance of a building permit for the proposed garage.

Recall that the applicant was before the Board with a similar application in July 2021 (File # 2021-31). At that time, the applicant proposed a slightly larger structure with a different design and configuration. The Board denied that application (see attached copy of decision).


Edward M. Tanner, Zoning Officer



22 Wall Street

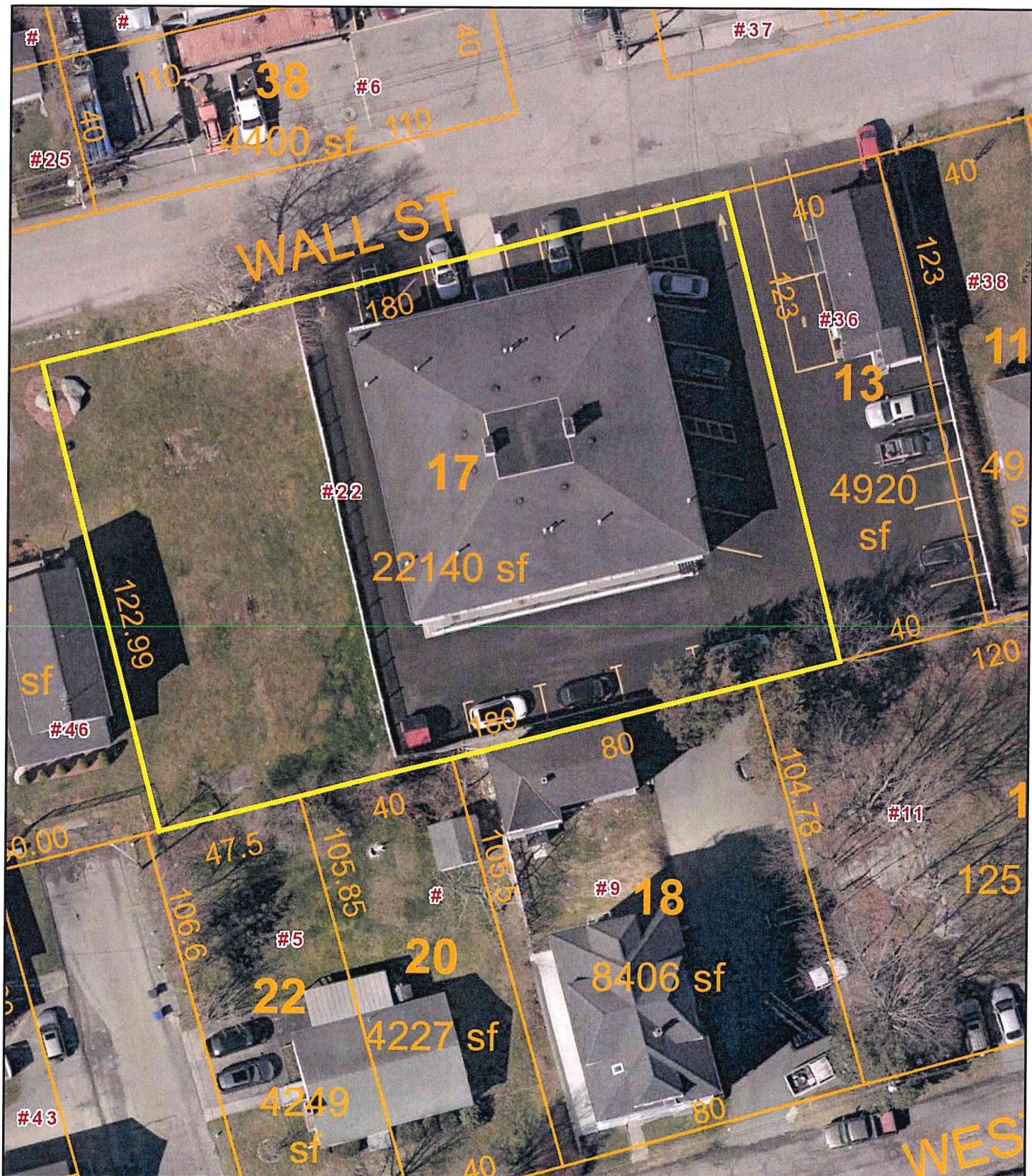
Bristol, RI



September 13, 2023

1 inch = 35 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

DECISION FOR VARIANCE

FILE # 2021-31

RE: Application of: Robert Kreft

For property located at 22 Wall Street, in Bristol, Rhode Island (Tax Assessor's Plat 33, Lot 17) in the following zoning district: Residential R-6.

This matter was heard before the Board at a public hearing on July 12, 2021 upon the Applicant's request for DIMENSIONAL VARIANCES from the Zoning Ordinance to:

Construct a 24ft. x 82ft. accessory garage structure at a size greater than permitted for accessory structures in a residential zoning district, and with greater than permitted lot coverage by structures.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

The Board finds that the applicant is requesting relief to construct a 24' x 82' accessory garage structure, which exceeds the 22' x 24' maximum size for accessory structures allowed by the Bristol Zoning Ordinance. The proposed structure would also increase lot coverage by structures to approximately 54 percent, which exceeds the 30 percent maximum lot coverage permitted in the R-6 zoning district. The Board finds that this application fails to meet all of the Standards for Relief found in the Bristol Zoning Ordinance necessary to approve a Dimensional Variance.

The Board finds that the hardship from which the applicant seeks relief is not due to the unique characteristics of the subject land or structure. The applicant proposes a six-stall garage and associated paved driveway and parking area to accommodate the residents of the 12 unit apartment building located on this property. According to Town records, this property was in compliance with off-street parking requirements when relief was originally granted for construction of the 12 unit structure. The property has since migrated to a non-conforming property from a parking standpoint. However, the space for adequate off street parking does appear to be available in the paved area surrounding the building.

Granting of the requested Dimensional Variance will alter the general characteristics of the surrounding area and will impair the intent or purpose of the Zoning Ordinance and the Comprehensive Plan of the Town of Bristol. The Zoning Ordinance requires two off-street parking spaces per residential dwelling unit; and that is what the original developer agreed to and that is what is currently available on the property, if not more than the 24 required spaces. The construction of the proposed garage and associated parking would increase lot coverage by structures and alter the characteristics of the property and surrounding area, including increasing the amount of impervious surfaces and stormwater runoff necessitating mitigation.

The relief requested to be granted is not the least relief necessary, as the applicant already has adequate space to meet the required off-street parking. The proposed garage structure would provide parking for only six (6) vehicles, which is only 25 percent of the required off-street parking, and does not appear to be the best use of the property.

The hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted will not amount to more than a mere inconvenience and will have no impact on the ability to rent residential units within that property. If existing adequate parking spaces were provided adjacent to the building, it could enhance the ability to rent the property.

Therefore the Board voted 5 to 0 to DENY the application to construct a 24ft. x 82ft. accessory garage structure.

Voting to Approve petition: None
Voting to Deny petition: Asciola; Burke; Simoes; Brum; and Kern
Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 18th day of August, 2021.

Diane M. Williamson, Director of Community Development

Recorded Aug 18, 2021 at 12:53PM
Melissa Cordeiro Town Clerk



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

2023 JUL -6 PM 1:51
TOWN OF BRISTOL
COMMUNITY DEV.

APPLICATION

File No: 2023-27-1
Accepted by ZEO: EMT 7/6/2023

Table with 2 main sections: APPLICANT and PROPERTY OWNER. Fields include Name, Address, City, State, Zip, Telephone #, Home, and Work/Cell.

1. Location of subject property: 22 Wall Street
Assessor's Plat(s)#: 33 Lot(s) #: 17, 21
2. Zoning district in which property is located: R-6
3. Zoning Approval(s) required (check all that apply):
[X] Dimensional Variance(s)
4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
Dimensional Variance Section(s): Sec.28-111
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property?: 2013
7. Present use of property: Apartments
8. Is there a building on the property at present?: Yes
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 10,200 Sq Feet
10. Proposed use of property: Additional structure - Garage /workshop for apartment buldings and self use.

11. Give extent of proposed alterations: Addition of 42X40' Garage/Shop.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 42'X40'. 1537 Square feet.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required _____	Proposed Setback: _____
Building height:	Setback: <u>20' height</u>	Proposed: <u>22' 11" height</u>

Other dimensions (building size, Required coverage, lot area, parking, sign dimensions, etc.):
 Required: 22' X 24' Proposed: 40' X 42'
 35% Coverage - existing 46% 53% proposed Coverage

13. Number of families before/after proposed alterations: 12 Before 12 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
 If yes, has he refused a permit? No If refused, on what grounds? _____

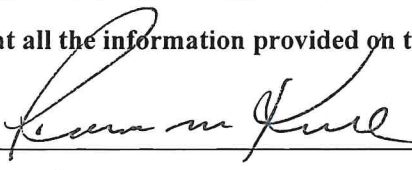
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 6/10/23

Print Name: Robert Kreft

Property Owner's Signature: _____ Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Scott Partington Telephone #: 401-334-2852

Address: 2176 Mendon Rd # 2000, Cumberland, RI 02864

June 10, 2023

Town of Bristol
Attn: Zoning Department
10 Court Street
Bristol, RI 02809

Re: Request for Dimensional Variance -22 Wall Street

Zoning Board of Review:

Thank you for your consideration, I am the owner of the property at 22 Wall Street, Bristol, RI and requesting a dimensional variance approval which will support the addition of a garage and shop to support the maintenance of the property. The primary use will be storage and protection of maintenance equipment that is currently in the elements on the property. The garage will allow the spaces currently occupied by the equipment to be freed up for use of the multi-family.

We are planning to retire within the next 5 years and move to the property. I purchased 22 Wall Street (Plat 33 Lot 21) in 2012 and then in 2018 purchased the lot next door (Plat 33 Lot 17). In December 2020, the properties were combined. The proposed structure would be located on the lot that was combined. The individual lot (Plat 33 Lot 17) had a permit for a single-family dwelling, before the properties were combined.

22 Wall Street is unique as it is a large, 12 family property, located in an R-6 zone where all the structures on the same side of the street are single family homes. Across the street is zoned LB and contains large multi-family properties and a few businesses each with parking lots dedicated to their properties.

22 Wall Street currently has 25 parking spaces located around the building. Parking is needed for approximately 24 cars (2 per unit) as each unit is comprised of 2 bedrooms. The units are a mix of families and college students. The equipment including a tractor, work truck and trailer occupy 3 spaces. The addition of the garage will allow me to place the equipment inside a garage away from the elements and provide protection for the equipment as the tractor has been broken into several times. After being placed in the new garage, the open three spaces for the use of my tenants. Allowing 2 spaces for each unit.

To support my request, please find enclosed drawings with accurate measurements.

The measurements and details of the planned garage and variances sought:

Garage: The planned garage and shop will measure 42' x 40' and will be placed on the empty lot purchased in 2018 (Plat 33 Lot 17).

Variances sought;

- 1) Coverage: The property is in an R-6 zoning district and per Sec. 28-111 Maximum lot coverage by structures is set at 35%. Original lot coverage for 22 Wall was 61% with the properties combined it is currently at 46%. The new proposed garage will bring the lot coverage to a total of 53%.
- 2) Size: The property again is in an R-6 zoning district and per Sec. 28-111 Maximum size of accessory structures is set at 22' X 24'. I am asking for a variance on size to 40' x 42'.
- 3) Height: The current height requirement is 20' for accessory structures we are seeking a variance to 22' 11"

The hardship we are seeking relief from is due to the unique characteristics of the subject land, particularly after combining the properties and lack of any structure to protect the expensive equipment I require for maintenance.

The hardship is not due to any prior action of myself, I purchased the property in its present configuration. I am not

seeking relief for my own economic gain but to prevent deterioration of the equipment needed to maintain the property. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the zoning ordinance or the Comprehensive Plan of the Town of Bristol.

This relief to be granted is the least relief necessary to store equipment and provide maintenance to my property. If the dimensional variance is not granted, it would amount to more than a mere inconvenience and

In every other respect we are maintaining the lot in conformance with existing Bristol Zoning regulations. If you require anything further, please do not hesitate to contact me. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert M Kreft". The signature is fluid and cursive, with a large initial "R" and "K".

Robert M Kreft

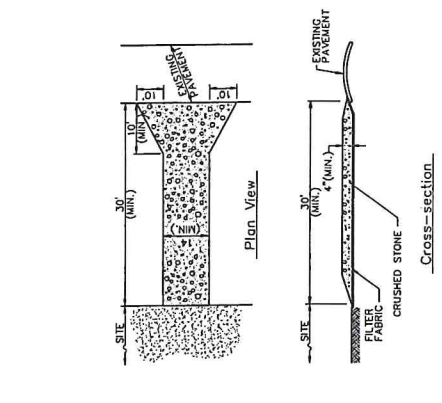
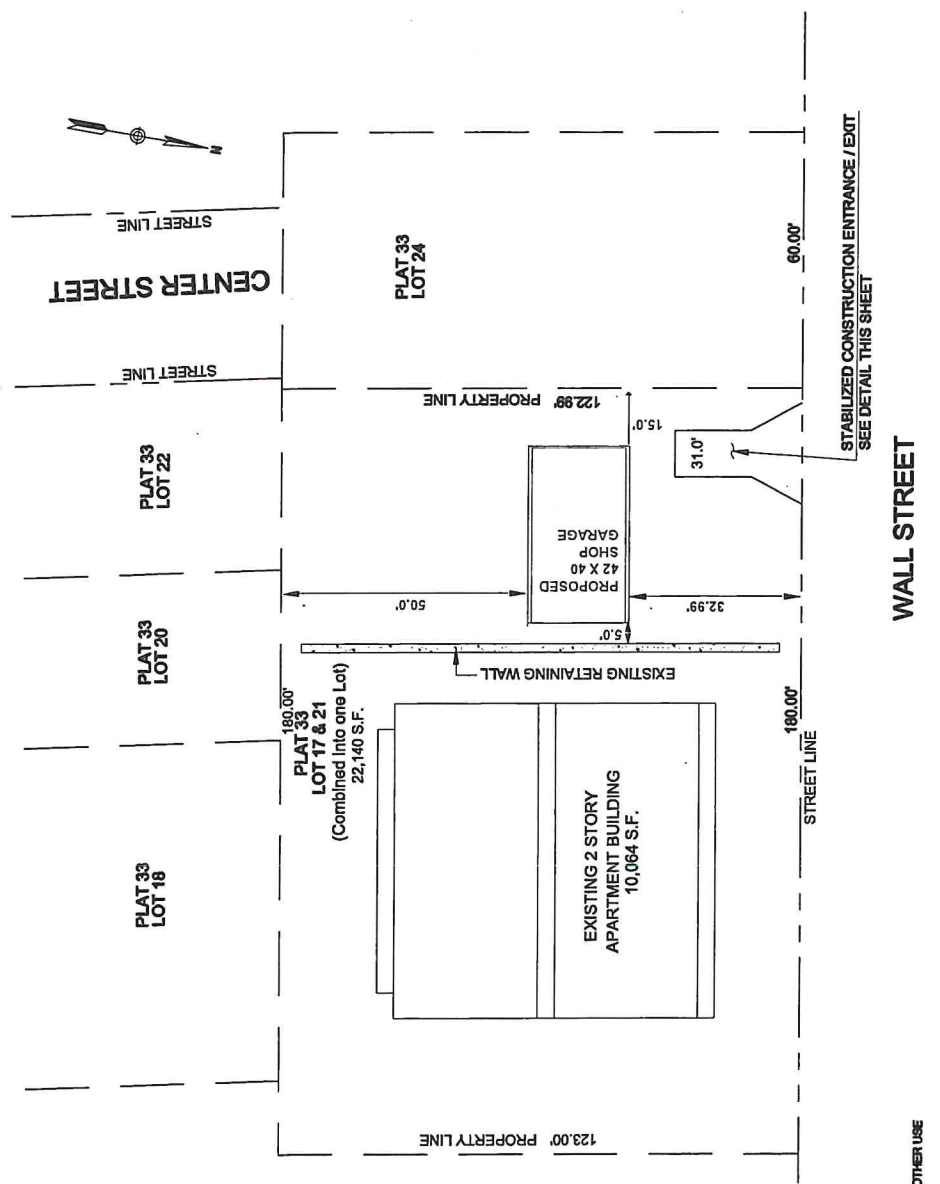
PAGE: 6
 SHEETS: 6
 Proposed Garage For Robert Kraft
 16 Wall Street
 Bristol, Rhode Island
 Map 33 Lot 17 and Map 33 Lot 21
 Combined into one Lot

PROJECT NUMBER:	00418
Drawn By:	GM
Checked By:	X
Issue Date:	03-12-20

SHEET LEGEND:

Revision No.	Date	Description

Drawing Title: **Site Plan**
 Scale: 1"=10'



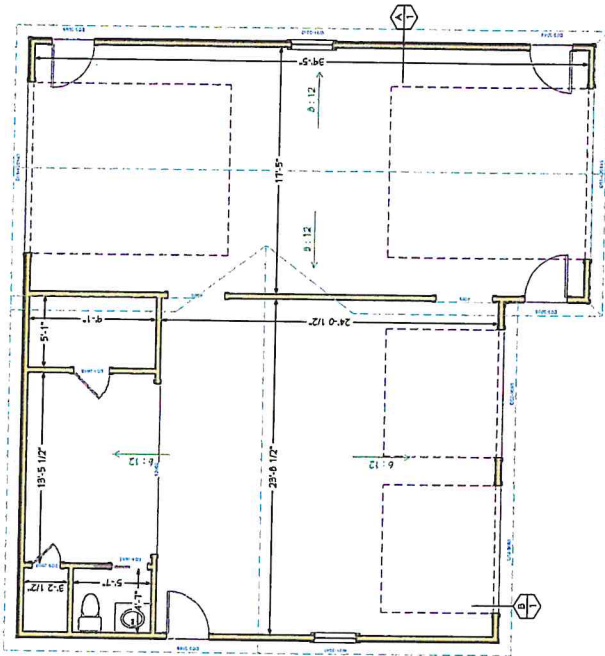
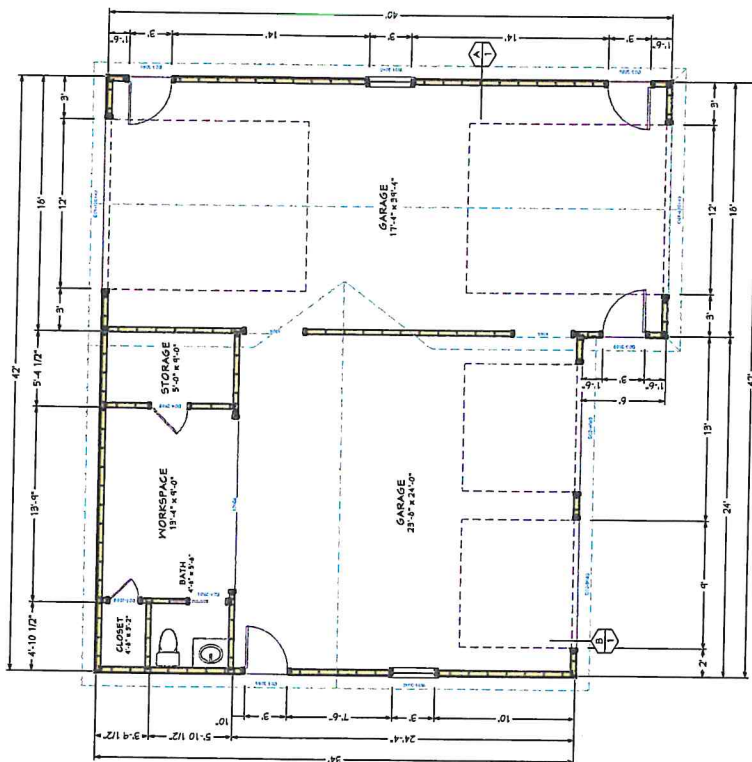
- Notes:**
- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP SURVEYS TO MONITOR THE ENTRANCE FOR TRACKING AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR BLOWN OFF THE ENTRANCE SHALL BE IMMEDIATELY REMOVED. IMMEDIATE PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION ENTRANCE / EXIT
 NOT TO SCALE

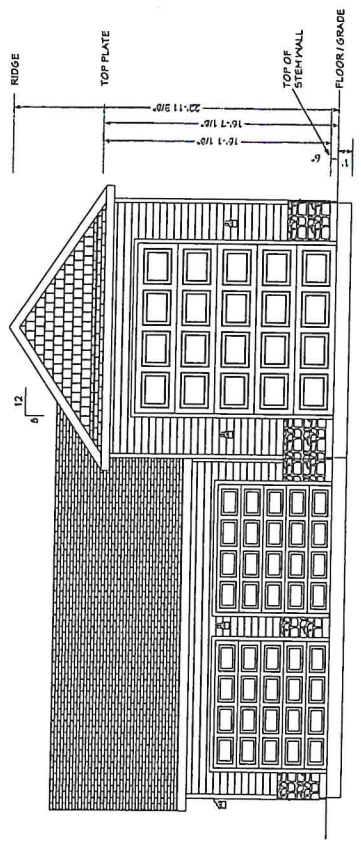
- REFERENCES:**
 DRAWING IS NOT SURVEYED AND WAS DEVELOPED USING TOWN OF BRISTOL GIS MAPPING.
- R-6 ZONING SETBACKS**
 MINIMUM SIDE YARD - 10 FT.
 MINIMUM FRONT YARD - 20 FT.
 MINIMUM REAR YARD - 20 FT.
 MAXIMUM HEIGHT OF PRINCIPLE STRUCTURES - 35 FT.
 MAXIMUM HEIGHT OF ACCESSORY STRUCTURES - 20 FT.
 MAXIMUM LOT COVERAGE BY STRUCTURES - 30% RESIDENTIAL 30% ANY OTHER USE

NUMBER	ROOM SCHEDULE	BY	DATE	COMMENTS
001	001-1-10-10	JK	10/20	
002	002-2-20-20	JK	10/20	
003	003-3-30-30	JK	10/20	
004	004-4-40-40	JK	10/20	
005	005-5-50-50	JK	10/20	

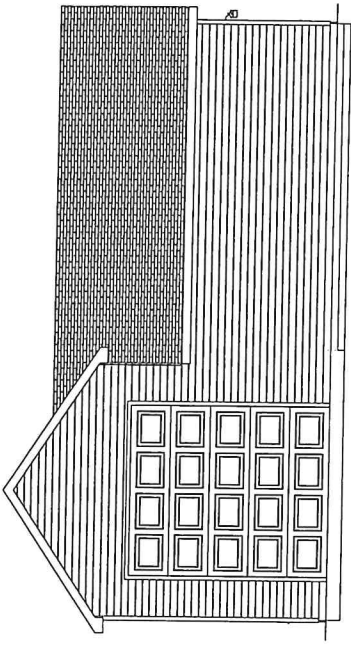
NUMBER	ROOM SCHEDULE	BY	DATE	COMMENTS
001	001-1-10-10	JK	10/20	
002	002-2-20-20	JK	10/20	
003	003-3-30-30	JK	10/20	
004	004-4-40-40	JK	10/20	
005	005-5-50-50	JK	10/20	



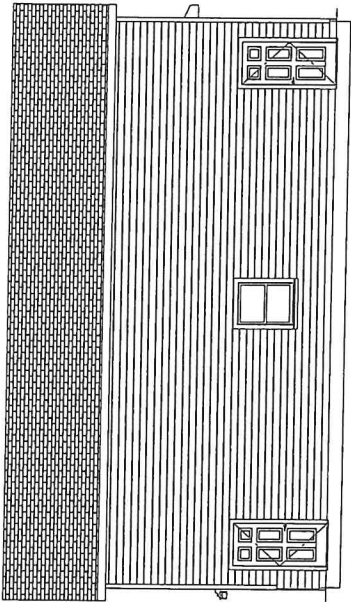
42x40 Garage
#42X40G1B



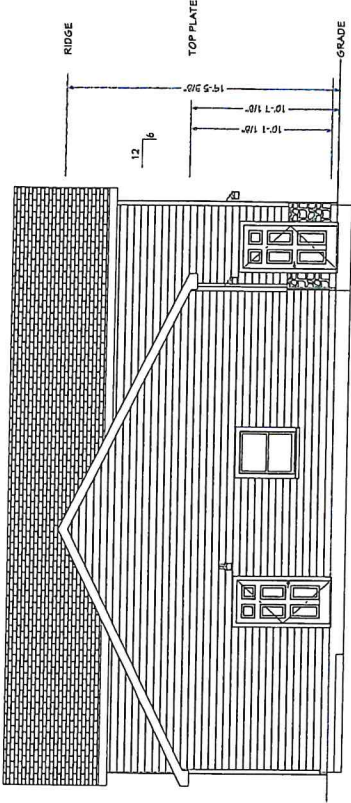
FRONT ELEVATION
SCALE: 1/8" = 1'



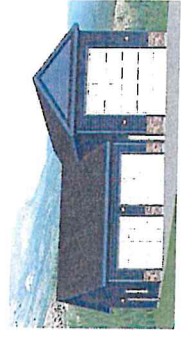
REAR ELEVATION
SCALE: 1/8" = 1'



RIGHT ELEVATION
SCALE: 1/8" = 1'

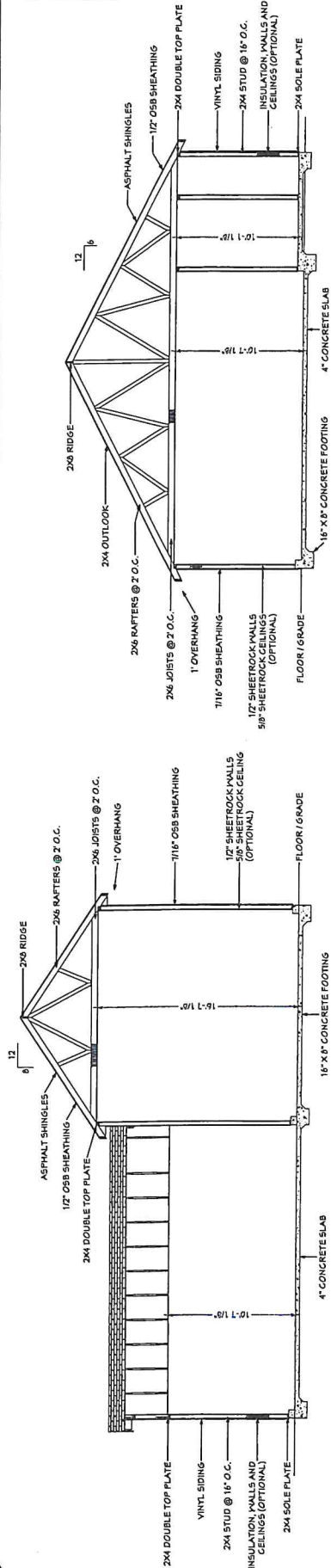


LEFT ELEVATION
SCALE: 1/8" = 1'



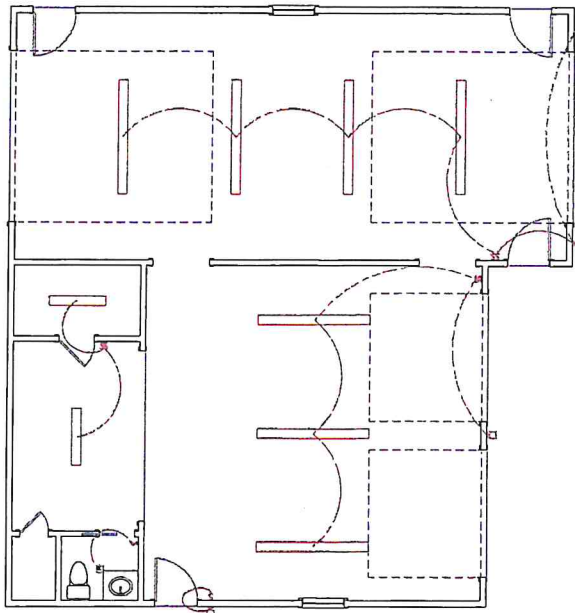
42x40 Garage #42X40G1B

SQUARE FEET: 1531 (230 Storage)
WIDTH: 42'
DEPTH: 40'
EXTERIOR WALL STRUCTURE: 2X4 STUDS

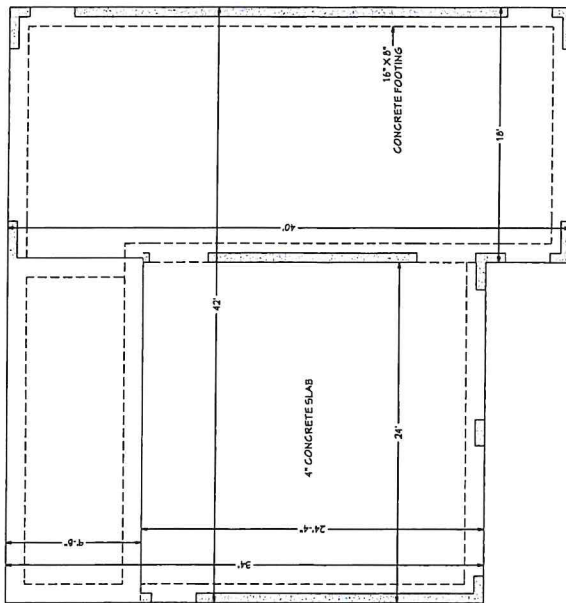


CROSS SECTION
SCALE: 1/4" = 1'

CROSS SECTION
SCALE: 1/4" = 1'

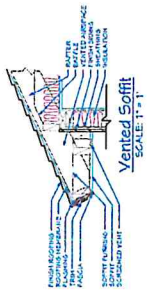


LIGHTING PLAN
SCALE: 1/4" = 1'



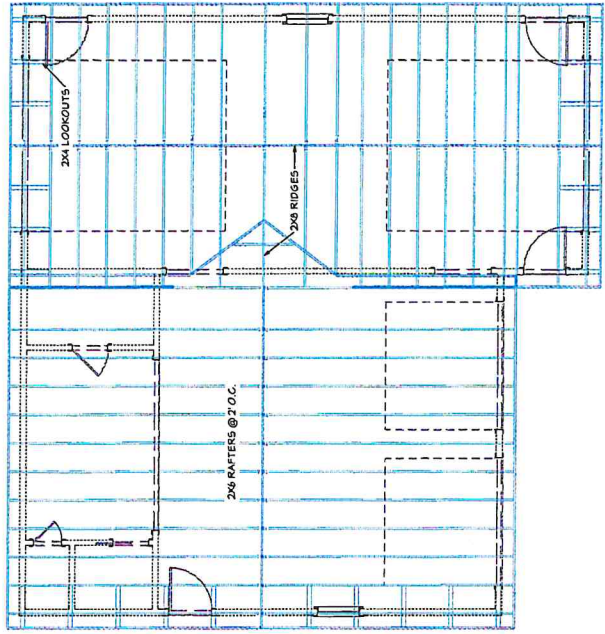
42x40 Garage
#42X40G1B

FOUNDATION PLAN
SCALE: 1/4" = 1'

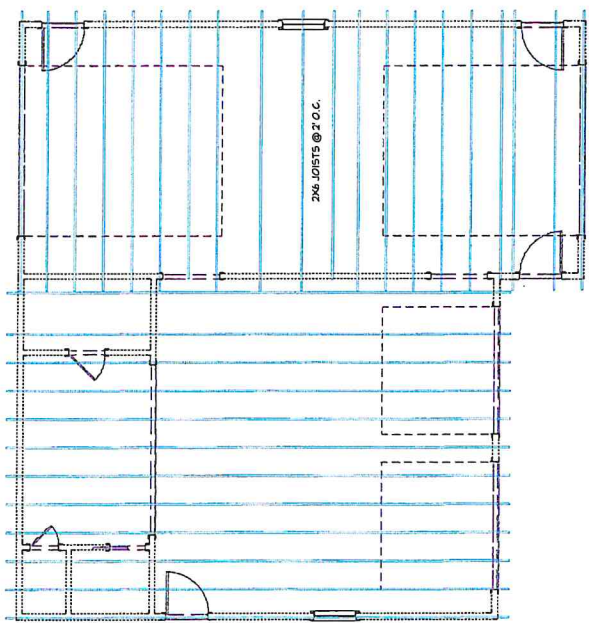


ALL FIXTURES TO BE INSTALLED AS PER ACTUAL FIXTURE CONDITIONS, ELECTRICAL CODE AND HOMEOWNER'S INTERIOR LIGHTING CONSULTANT. SHOWN IS SUGGESTED LIGHTING FIXTURES AND MUST BE APPROVED BY HOMEOWNER PRIOR TO WORK.

- ▭ 48" FLUORESCENT LIGHT
- ▭ 48" FLUORESCENT LIGHT
- WIDE BRIM SCIENCE
- RECESSED DOWN LIGHT



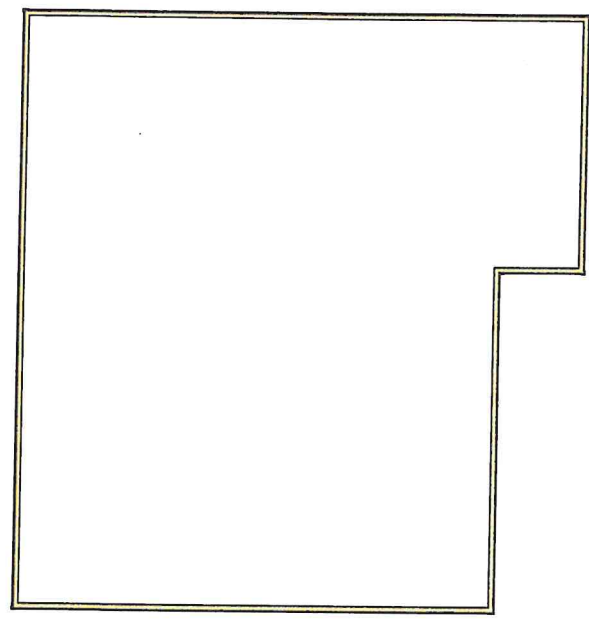
ROOF FRAMING PLAN
SCALE: 1/4" = 1'



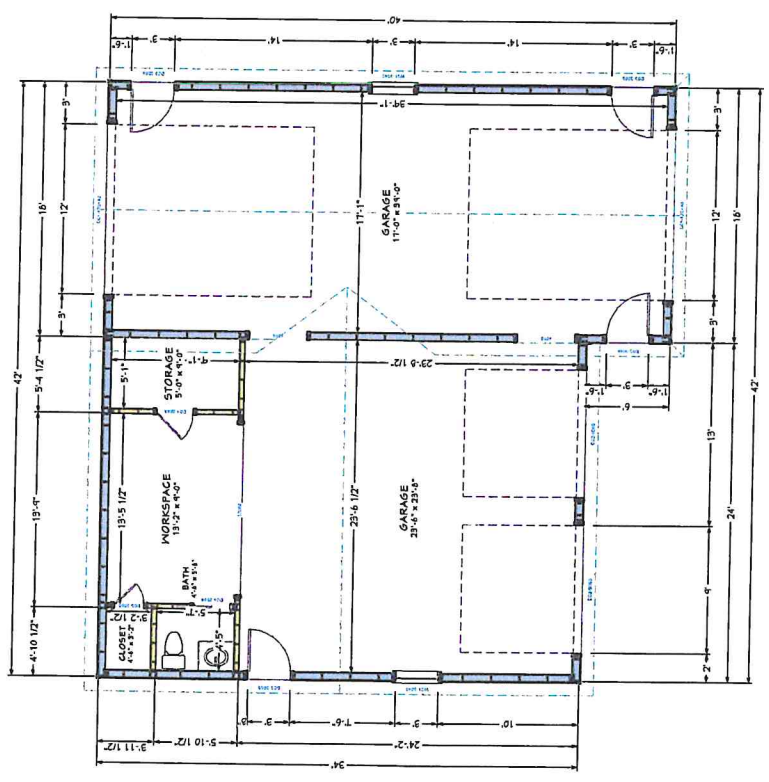
CEILING FRAMING PLAN
SCALE: 1/4" = 1'

42x40 Garage
#42X40G1B

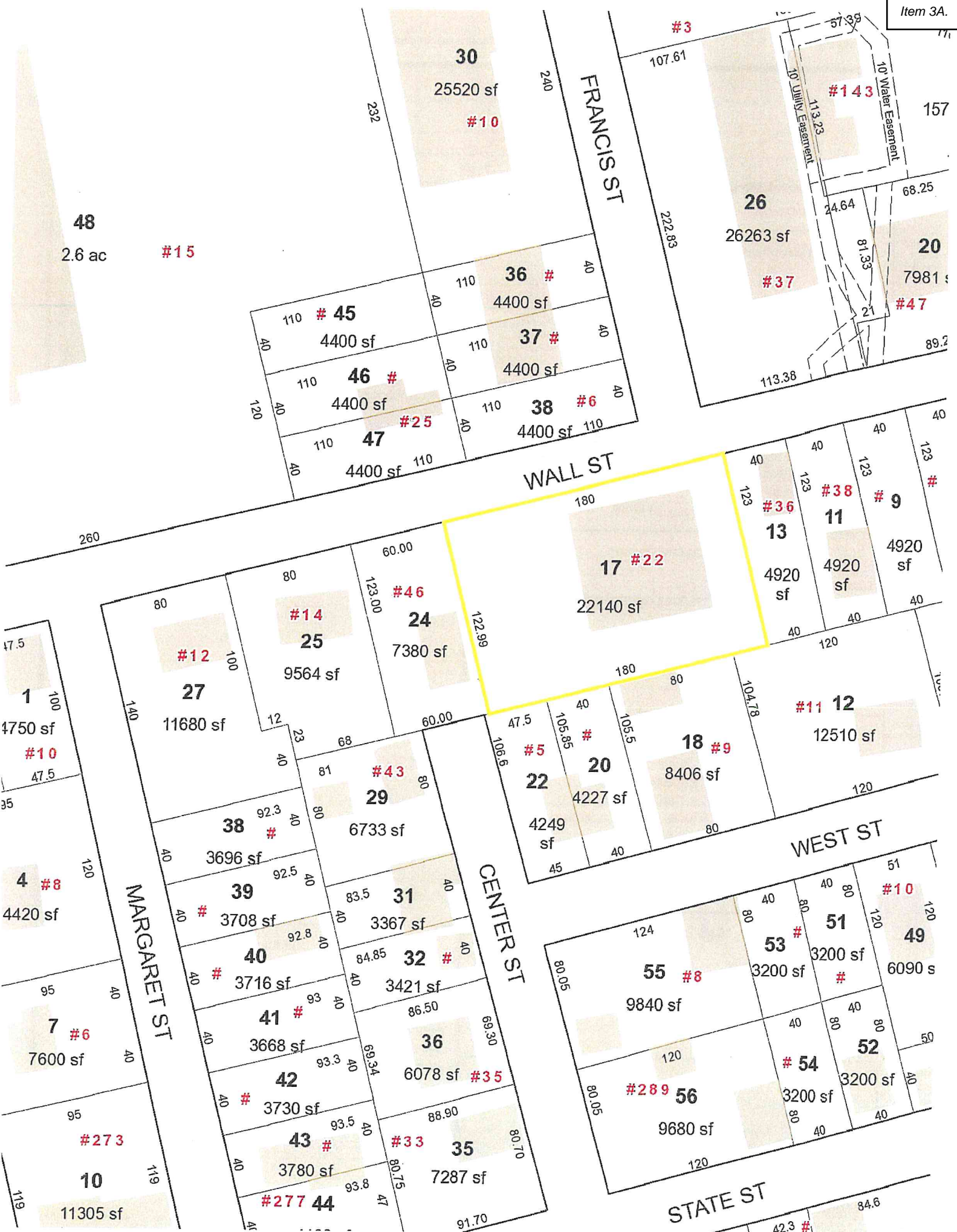
42x40 Garage
#42X40G1B



2x6 Exterior Walls @ 2' O.C.



MAIN FLOOR PLAN
SCALE: 1/8" = 1'



Bristol, RI

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Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification		Assessment	
Map/Lot	33 17	Land	\$177,800
Account	2587	Building	\$969,100
State Code	03 - Apartments	Card Total	\$1,146,900
Card	1/1	Parcel Total	\$1,146,900
User Account			



Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2021	\$183,300	\$780,300	\$11,000	\$974,600
2020	\$180,600	\$780,300	\$11,000	\$971,900
2019	\$180,600	\$847,800	\$11,000	\$1,039,400
2018	\$163,500	\$812,800	\$10,600	\$986,900

Location and Owner

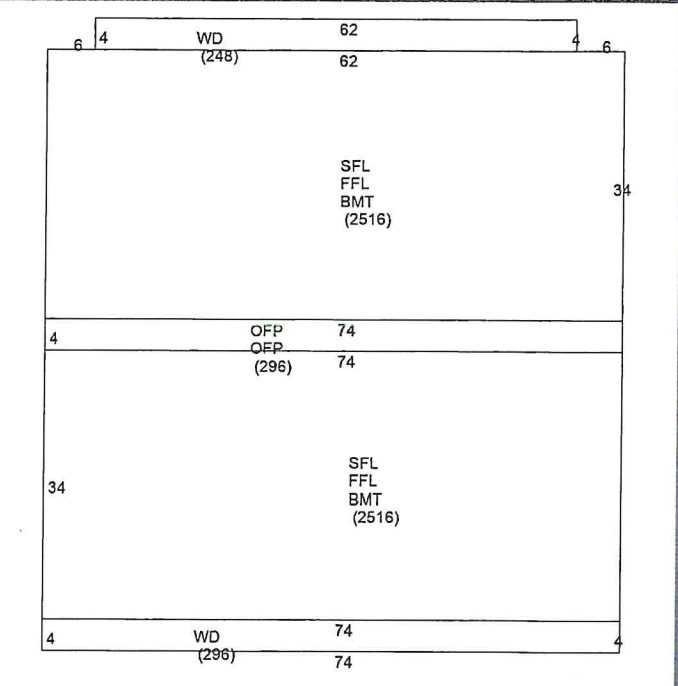
Location	22 WALL ST
Owner	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRUST
Owner2	
Owner3	
Address	17 SANDY LANE
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Apt
Year Built	1994
Heat	BB Hot Water
Fireplaces	0
Rooms	48
Bedrooms	24
Bathrooms	12 Full Bath\ 12 Half Bath
Above Grade Living Area	10,064 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
10/09/2020	\$0	2062-174	Warranty
08/17/2018	\$112,500	1952-73	Warranty
05/23/2013	\$962,500	1709-306	Warranty
03/22/2013	\$850,000	1699-134	Warranty



Building Sub Areas

Sub Area	Net Area
1st FLOOR	5,032 SF
2nd FLOOR	5,032 SF
BASEMENT	5,032 SF
OPEN PORCH	592 SF
WOOD DECK	544 SF

Land Information

Land Area	0.508 AC
Zoning	R-6
View	-



Owner Account #: **22 WALL ST**

Owner 1	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRU:	% Owned
Owner 2		
Owner 3		
Address	17 SANDY LANE, BRISTOL, RI 02809	

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
KREFT, ROBERT M.	10/09/2020	0	2062-174	A	W
WOOD FRAME STRUCTURES	08/17/2018	112,500	1952-73		W
WALL STREET INVESTMENTS, LLC	05/23/2013	962,500	1709-306		W
MVP ASSOCIATES, LLC	03/22/2013	850,000	1699-134	L	W

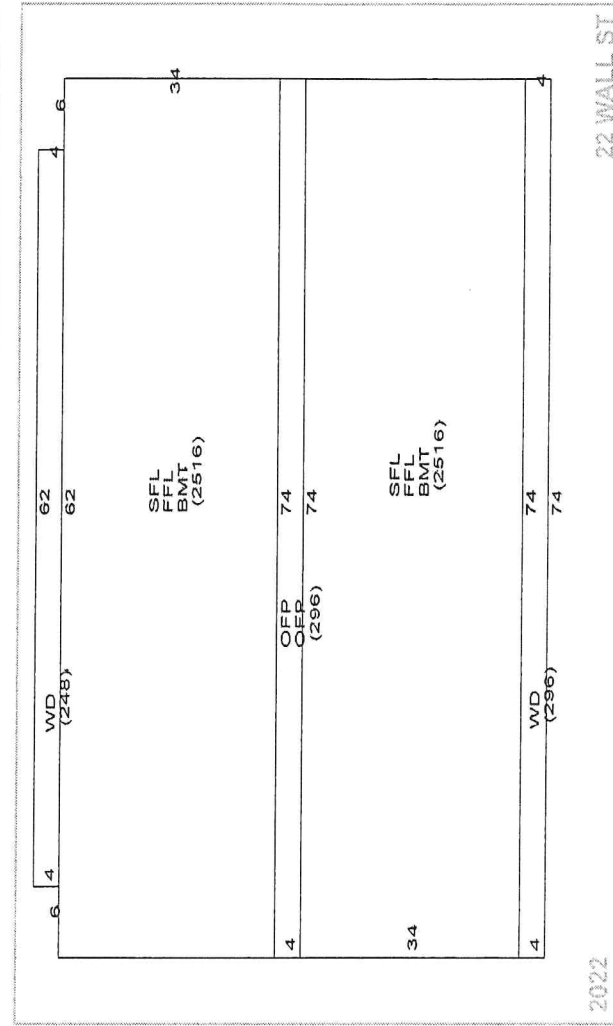
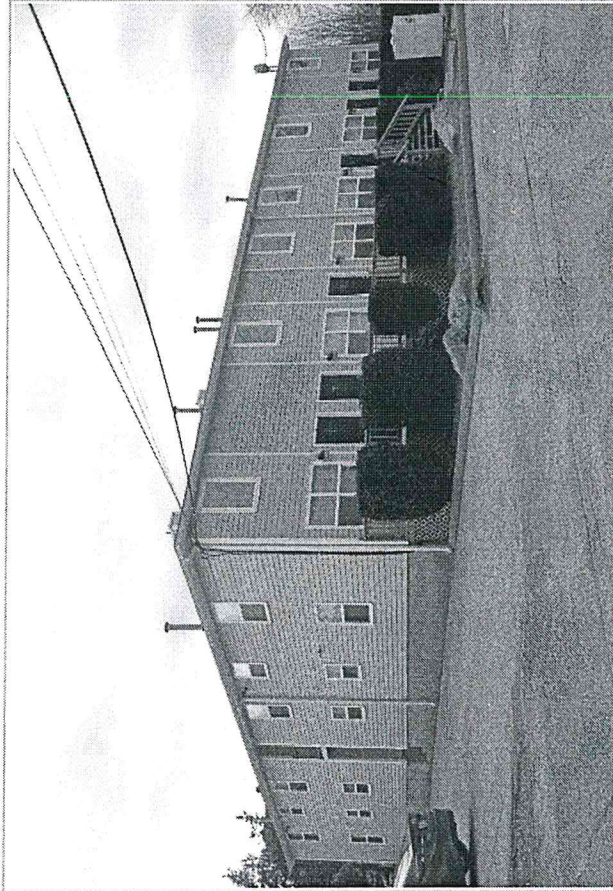
Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
03	958,100	11,000	0.51	177,800	0	1,146,900
TOTAL	958,100	11,000	0.51	177,800	0	1,146,900

Source > Mkt Adj Cost VAL per SQ Unit/Card > 70.66 VAL per SQ Unit/Parcel > 70.66

Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	03	958,100	11,000	1	177,800	0	1,146,900	1,146,900
2021	03	780,300	11,000	1	183,300	0	974,600	974,600
2020	03	780,300	11,000	0	180,600	0	971,900	971,900
2019	03	847,800	11,000	0	180,600	0	1,039,400	1,039,400
2018	03	812,800	10,600	0	163,500	0	986,900	986,900
2017	03	812,800	10,600	0	163,500	0	986,900	986,900



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh
1 03 Apartment	0.22957	AC	P	1.00	615,950	616,805	C13
2 03 Apartment	0.27869	AC	R	0.25	615,950	129,893	C13
3							
4							

Inf 1	Inf 2	Inf 3	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
4						141,600			1.00	0
34						36,200			1.00	0



Building Information

Table with columns: Description, Apt, Story Height, COM Units, BMT Floor, Frame 2, EXT Wall 2, Roof Type 2, Roof Cover 2, INT Wall 2, Floors 2, Color, GRAY, Electrical, INT vs EXT, Heat Type, BB Hot Water, # Heat Sys, % Heated, % A/C, % Vacuum, Ceiling Type, % Sprinkled, EXT View

Grade

Table with columns: Grade, Q4, Q4, 1994 EFF Year, Alt %, 0.00, Flood Hazard, Topography, Street Traffic, Bas \$/SQ, Size Adj, Constr Adj, Adj \$/SQ, Other Feats, Grade Fac, Neigh Infl, Land Factor, Adj Total, Depreciation, Depr Total

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep V, 1st FLOOR, 2nd FLOOR, BASEMENT, OPEN PORCH, WOOD DECK, Total

Visit History

Table with columns: Date, Result, By, 4/7/2022, N/C HEARIN', DL, 10/20/2021, REVIEW, AD, 12/18/2020, CHANGE NC MD, 4/22/2019, N/C HEARIN', JH, 7/23/2018, MEASURED, JE, 7/6/2018, REVIEW, JH, 11/10/2014, MEASURE, 9/3/2013, LISTED, 8/3/2013, MEASURE

Notes

12 UNITS LAND AREA CORRECTED 12/06 EAS LOTS 15 & 19 DROPPED INTO THIS LOT 10/28/93 2 units undergoing renovations of new kitchens, baths on inspection date. KR strip and rerof new windows and siding 11-6-13 mcb || PORTION OF LOT 0023 DROPPED INTO THIS LOT SEE ENV #520 9/21/06 ASSESSMENT REDUCED BY BOARD #2011-066 11/11 EAS Lot deemed buildable by zoning 5/4/18 MD

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Kitchen, Bath(s), Complex Location, Tot Units, FL Level, # Floors, Bldg Seg

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, Description/Directions, 09/20/2021, B52861, BLDG, 15,000, install 12 replacement windows same size same location .27 u.value, 07/27/2018, B46972, BLDG, 10,000, FOUNDATION ONLY FOR SINGLE FAMILY RESIDENCE, 07/12/2018, B46826, BLDG, 110,000, CONSTRUCT SINGLE FAMILY HOME TO MEET STATE AND LOCAL CODES, 08/28/2014, B33388, BLDG, 0, INSTALL 4' METAL FENCE TO SIDES AND REAR OF PROPERTY, 10/23/2013, B25945, BLDG, 0, INSTALL NEW WINDOWS AND SIDING, 09/26/2013, B25638, BLDG, 0, RESHINGLE ROOF TO CODE, 07/21/2010, E2863, ELEC, 0, INSTALL FIRE ALARMS

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF, Size, Quality, Condition, Year, Assessed Value, 56, Paving-Aspt, 1, Y, 1, 8,000, 3, AV, 1994, 11,000

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level, 1, 12, 4, 2, U, 2, 3, 4, Totals, 12, 48, 24

WARRANTY DEED

I, Robert M. Kreft, of 17 Sandy Lane, Bristol, Rhode Island 02809, do hereby give and grant for good and valuable non-monetary consideration with *WARRANTY COVENANTS*, to Robert M. Kreft and his successors as trustee of the Robert M. Kreft 2020 Trust, also having an address of 17 Sandy Lane, Bristol, Rhode Island, 02809, the following described real property located in Bristol, Rhode Island:

That certain real estate with all buildings and improvements thereon set forth in Exhibit A, attached hereto and made a part hereof by reference.

This transfer is such that no documentary stamps are required and no withholding is required under R.I.G.L. Section 44-30-71.3.

The undersigned hereby certifies that this transfer is exempt from R.I.G.L. 22-28.35-1 as it is not a sale.

Being the same premises conveyed to this Grantor by Warranty Deed of Wall Street Investments, LLC dated May 23, 2013, and recorded in the Bristol Recorder of Deeds office on May 23, 2013 as Document Number 00001787 in Book 1709 beginning at page 306.

Witness my hand this 23rd day of September, 2020.

Lucia Flor
Witness

Robert M. Kreft
Robert M. Kreft

STATE OF RHODE ISLAND
COUNTY Bristol

In Bristol (city/town) on this 23rd day of September, 2020 before me personally appeared Robert M. Kreft, to me known and known by me to be the person executing the foregoing deed, and he acknowledged said instrument, by him executed, to be his free act and deed.

Lucia Flor
Notary Public
My Commission Expires:

Lucia Flor
Notary Public
State of Rhode Island ID# 756908
My Comm Expires 12-10-23

Document Number 00007381
BOOK 2062 PAGE 175

Property Address:
22 Wall Street
Bristol, RI 02809
AP 33, Lot 17

After recording, return to:
Leon C. Boghossian III, Esq.
Hinckley Allen
100 Westminster Street, Ste. 1500
Providence, RI 02903

60142920

EXHIBIT "A"

Those certain lots or parcels of land with all the buildings and improvements thereon, situated in the Town and County of Bristol, State of Rhode Island, being numbered One Hundred Forty Five (145), One Hundred Forty Six (146) and One Hundred Forty Seven (147) on plan of Gooding Manor made by Herbert A. Pratt, C.E., dated May 1918, and recorded with the Bristol Town Clerk's Office, Bristol, Rhode Island to which reference may be had for a more particular description.

Recorded Oct 09, 2020 at 01:55P.
Louis P. Cirillo Town Clerk



22 Wall St - 200' Radius

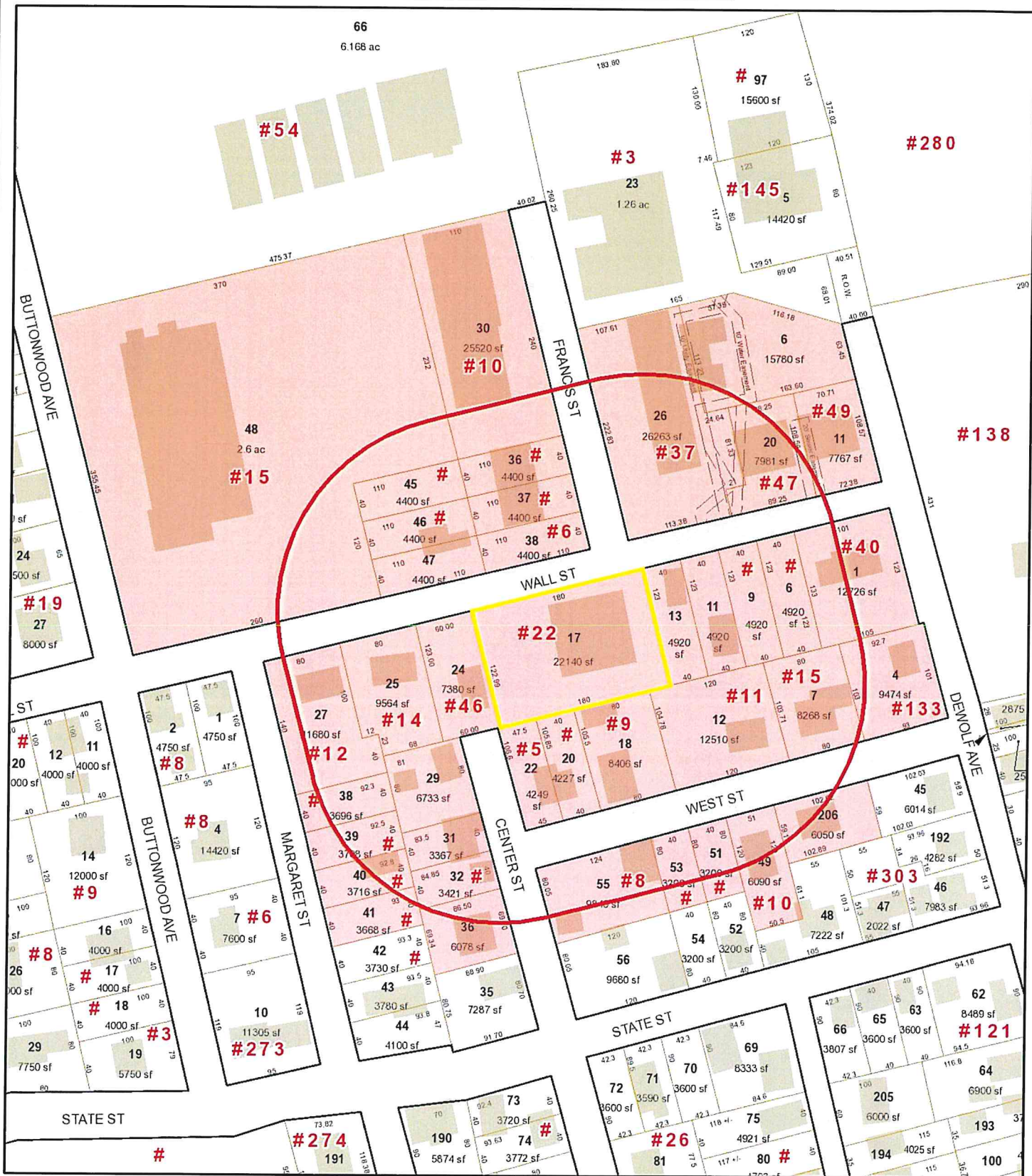
Bristol, RI



August 23, 2023

1 inch = 140 Feet

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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Subject Property:

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Abutters:

Parcel Number: 33-1	Mailing Address: BRANCO, JOSEPH JOAN
CAMA Number: 33-1	40 WALL ST
Property Address: 40 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-11	Mailing Address: FURTADO, DANIEL C
CAMA Number: 33-11	38 WALL ST
Property Address: 38 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-12	Mailing Address: SKARPOS, ELIAS N
CAMA Number: 33-12	324 HILTON ST
Property Address: 11 WEST ST	TIVERTON, RI 02878

Parcel Number: 33-13	Mailing Address: KREFT, ROBERT M - TRUSTEE ROBERT
CAMA Number: 33-13	M KREFT TRUST
Property Address: 36 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-18	Mailing Address: NINE WEST PROPERTIES, LLC
CAMA Number: 33-18	32 LORRAINE STREET
Property Address: 9 WEST ST	BARRINGTON, RI 02806

Parcel Number: 33-20	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-20	PINGITORE, RAYMOND J JT
Property Address: WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-206	Mailing Address: DIGATI, GINA M
CAMA Number: 33-206	115 HIGH STREET
Property Address: 14 WEST ST	BRISTOL, RI 02809

Parcel Number: 33-22	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-22	PINGITORE, RAYMOND J JT
Property Address: 5 WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-24	Mailing Address: FERRO, SHERRI A
CAMA Number: 33-24	46 CENTER ST
Property Address: 46 CENTER ST	BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-25 CAMA Number: 33-25 Property Address: 14 WALL ST	Mailing Address: COTA, JOAO S MARIA F 14 WALL STREET BRISTOL, RI 02809
Parcel Number: 33-27 CAMA Number: 33-27 Property Address: 12 WALL ST	Mailing Address: PACHECO, JOSE M TERESA J LIFE ESTATE & PACHE 12 WALL ST BRISTOL, RI 02809
Parcel Number: 33-29 CAMA Number: 33-29 Property Address: 43 CENTER ST	Mailing Address: STEINER, BLANCHE B TRUSTEE BLANCHE B STEINER TRUST 43 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-31 CAMA Number: 33-31 Property Address: 41 CENTER ST	Mailing Address: HORTA, BRIAN J 41 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-36 CAMA Number: 33-36 Property Address: 35 CENTER ST	Mailing Address: TEIXEIRA, ASHLEY S 35 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-38 CAMA Number: 33-38 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-39 CAMA Number: 33-39 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-4 CAMA Number: 33-4 Property Address: 133 DEWOLF AVE	Mailing Address: ABENANTE, JULIE & DUNBAR, KATIE JT 133 DEWOLF AVE BRISTOL, RI 02809
Parcel Number: 33-40 CAMA Number: 33-40 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-41 CAMA Number: 33-41 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-49 CAMA Number: 33-49 Property Address: 10 WEST ST	Mailing Address: ANDRADE, ANTONIO S. MARY E. TE 10 WEST ST BRISTOL, RI 02809
Parcel Number: 33-51 CAMA Number: 33-51 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809



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8/23/2023

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Page 2 of 4



200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-53 CAMA Number: 33-53 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809
Parcel Number: 33-55 CAMA Number: 33-55 Property Address: 8 WEST ST	Mailing Address: MONTEIRO, KYLE R & ELYSE S TE 8 WEST ST BRISTOLT, RI 02809
Parcel Number: 33-6 CAMA Number: 33-6 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 33-7 CAMA Number: 33-7 Property Address: 15 WEST ST	Mailing Address: ROBINSON JANET K 15 WEST STREET BRISTOL, RI 02809
Parcel Number: 33-9 CAMA Number: 33-9 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 37-11 CAMA Number: 37-11 Property Address: 49 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-20 CAMA Number: 37-20 Property Address: 47 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-26 CAMA Number: 37-26 Property Address: 37 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-30 CAMA Number: 37-30 Property Address: 10 FRANCIS ST	Mailing Address: JRM PROPERTIES, LLC PO BOX 305 PORTSMOUTH, RI 02871
Parcel Number: 37-36 CAMA Number: 37-36 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-37 CAMA Number: 37-37 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-38 CAMA Number: 37-38 Property Address: 6 FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809





200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 37-47
CAMA Number: 37-47
Property Address: 25 WALL ST

Mailing Address: ARRUDA, ALISON & GREGORY TE
52 VIKING DR
BRISTOL, RI 02809

Parcel Number: 37-48
CAMA Number: 37-48
Property Address: 15 WALL ST

Mailing Address: AJS ENTERPRISES LLC ATTN: STEVE J.
DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

Parcel Number: 37-6
CAMA Number: 37-6
Property Address: 143 DEWOLF AVE

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809



www.cai-tech.com

ABENANTE, JULIE & DUNBAR,
133 DEWOLF AVE
BRISTOL, RI 02809

HORTA, ARMANDO JR.
SANDRA TE
277 STATE ST
BRISTOL, RI 02809

ROBINSON JANET K
15 WEST STREET
BRISTOL, RI 02809

AJS ENTERPRISES LLC
ATTN: STEVE J. DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

JRM PROPERTIES, LLC
PO BOX 305
PORTSMOUTH, RI 02871

SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

ANDRADE, ANTONIO S.
MARY E. TE
10 WEST ST
BRISTOL, RI 02809

KREFT, ROBERT M - TRUSTEE
ROBERT M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

SKELLY, ANNA C
293 STATE ST
BRISTOL, RI 02809

ARRUDA, ALISON & GREGORY
52 VIKING DR
BRISTOL, RI 02809

KREFT, ROBERT M., TRUSTEE
17 SANDY LANE
BRISTOL, RI 02809

STEINER, BLANCHE B TRUSTE
BLANCHE B STEINER TRUST
43 CENTER ST
BRISTOL, RI 02809

BRANCO, JOSEPH
JOAN
40 WALL ST
BRISTOL, RI 02809

MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

TEIXEIRA, ASHLEY S
35 CENTER ST
BRISTOL, RI 02809

COTA, JOAO S
MARIA F
14 WALL STREET
BRISTOL, RI 02809

MONTEIRO, KYLE R & ELYSE
8 WEST ST
BRISTOLT, RI 02809

TROTT, JENNA R & TYLER D
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809

PACHECO, JOSE M
TERESA J LIFE ESTATE & P
12 WALL ST
BRISTOL, RI 02809

FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

RAPOSA, RONALD & CAMPBELL
TOWN OF BRISTOL TT
57 ST ELIZABETH ST
BRISTOL, RI 02809

HORTA, BRIAN J
41 CENTER ST
BRISTOL, RI 02809

RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-01

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review that a public hearing will be held on the following application:

Tuesday, January 2, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Thomas A. and Lee H. Dawson**
PROPERTY OWNER: **Thomas A. and Lee H. Dawson**
LOCATION: **15 Burton Street**
PLAT: **15** LOT: **79**
ZONE: **Residential R-6**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct an 18ft. 8in. x 24ft. two-story living area addition to the rear of an existing single-family dwelling with less than the required left side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 2023 DEC -7 PM 4: 00

APPLICATION

File No: 2024-01
 Accepted by ZEO: EMT 12/7/2023

APPLICANT:	Name: <u>THOMAS A. DANSON, LEE H. DANSON</u>		
	Address: <u>15 BURTAN ST.</u>		
	City: <u>BRISTOL,</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>508-498-7335</u>	Email: <u>TADANSONARCHITECT@GMAIL.COM</u>	
PROPERTY OWNER:	Name: <u>(SAME AS ABOVE)</u>		
	Address:		
	City:	State:	Zip:
	Phone #:	Email:	

1. Location of subject property: 15 BURTAN ST.
 Assessor's Plat(s) #: 15 Lot(s) #: 79
2. Zoning district in which property is located: R-6 (RESIDENTIAL)
3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance
4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): 28-111
 Special Use Permit Section(s): —
 Use Variance Section(s): —
5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property? 6 YRS. + (BOUGHT IT IN 8/2017)
7. Present use of property: RESIDENTIAL, SINGLE FAMILY
8. Is there a building on the property at present? YES
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
EXISTING HOUSE: 35' X 27' = 945 SQ FT. = 1,890 SF (GROSS); 32'4" EXTERIOR TO ROOF
10. Proposed use of property: SAME (RESIDENTIAL)

11. Give extent of proposed alterations: (SAME AS STATED, PREVIOUSLY APPROVED 6/5/23)
I WOULD LIKE TO ADD 2' IN LENGTH TOWARDS THE REAR; ADD NOTCH @ CORNER TO HOUSE.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
24' x 18'9" = 448 SF (x 2 FLOORS); 27'9" = FRAME TO NEW RAFF.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:
* ALREADY APPROVED, ON 6/5/23.

Front lot line(s):	Required Setback: <u>AVERAGE ON BLOCK, OR 20'</u>	Proposed Setback: <u>AVER. ON BLOCK, OR 20'</u>
Left side lot line:	Required Setback: <u>10'-0"</u>	Proposed Setback: <u>* 5'-0"</u>
Right side lot line:	Required Setback: <u>10'-0"</u>	Proposed Setback: <u>10'-0"</u>
Rear lot line:	Required Setback: <u>20'-0"</u>	Proposed Setback: <u>20'-0"</u>
Building height:	Required: <u>AVERAGE ON BLOCK, OR 35'</u>	Proposed: <u>AVER. ON BLOCK, OR 35'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
Required: 30% EXISTING COVERAGE = 16.9% Proposed: ABOUT 24%

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO
If yes, has he refused a permit? N/A
If refused, on what grounds? N/A

15. Are there any easements on your property? NO. (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: ✓ Sewer: ✓

17. Is the property located in the Bristol Historic District or is it an individually listed property? YES.

18. Is the property located in a flood zone? NO. If yes, which one?: N/A

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 12/1/2023

Print Name: THOMAS A. DANSON / LEE H. DANSON

Property Owner's Signature: [Signature] Date: 12/1/2023

Print Name: THOMAS A. DANSON / LEE H. DANSON

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: THOMAS A. DANSON, ARCHITECT Phone #: 508-498-7375

Address: 15 BURTIN ST., BRISTOL

5. The grounds for the requested dimensional variance, and meeting the standards as presented in section 28-409 of Bristol's Zoning Ordinance:

Second Application: All actions as previously approved, to remain. This filing is to add 2'-0" of length to the addition towards the rear of the property, so no new relief from the regulations are being asked for; additionally, a small jog in the new foundation where it meets the original house, is a desired change for buildability and continuity of the eaves and trim, etc. (this changes nothing compared to what has been approved by the Bristol ZBA). Please see the new drawings.

Originally approved:

We are seeking relief from the side setback requirement of 10'-0", as our existing house is 4'-6" from the side property line (see engineer's professional site plan included), between us at 15 Burton Street, and our neighbors at 11 Burton Street.

As designed and drawn, we would like to build our addition at 5'-0" from the existing property line, so a small improvement from our pre-existing non-conforming situation. Our addition is designed to be behind our existing house, with a 6" bump to the inside. This is shown on the labeled proposed drawings, also included in this submittal.

We are asking for relief because:

- We plan to retire in this town, and would like to have the option of a "future" bedroom and accessible bathroom on the first floor; and
- We have tried a design away from this side, more toward the center of the lot in the back, and this would completely consume our two (2) off-street parking spaces in the rear. We do also have resident on-street parking, but competition for these spots can get "robust" when our neighbors The Herreshoff Museum host an event, or there is a weekend wedding in their rental tent and facility. In addition,
- We have a family friend who stays with us occasionally, and he is a quadriplegic, and has stayed the night by sleeping in our current family room, since getting upstairs to bedrooms is very difficult.

Thank you for reading this, and your consideration.

Thomas A. Dawson: _____

Lee H. Dawson: _____

Original date of this document: 05-10-23.

Revised: 12-01-23.

Bristol

15 BURTON ST

Card 1 of 1

Plat/Lot 15 79

Account: 988

LUC 01

Zone R-6

Assessment

\$497,300



Owner

Owner	Owner Account #:	% Owned
Owner 1 DAWSON, THOMAS A &		0.00
Owner 2 LEE H TE		0.00
Owner 3		0.00

Address: 15 BURTON ST, BRISTOL, RI 02809-0000

Previous Owners & Sales Information

Grantor	Date	Sale Price	Log Ref	NAL	Deed Type
SALINGER, JOHN J III	08/10/2017	435,000	1904-130		W
SALINGER, JOHN J III	12/18/2014	1	1783-304		Q
SALINGER, JOHN J JR & JO	06/27/2008	206,500	1443-164		W

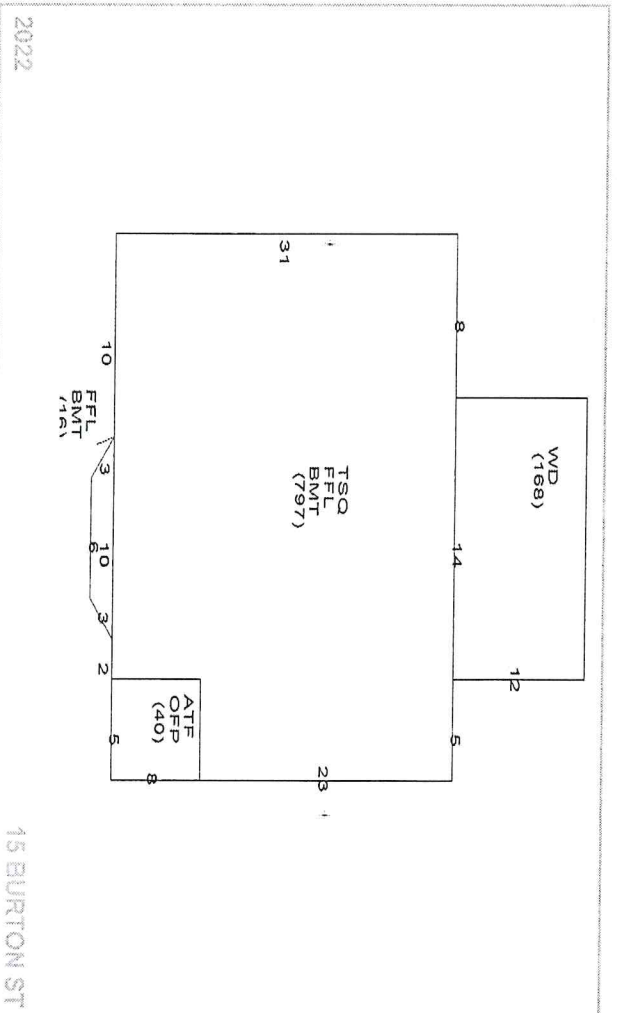
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	227,300	700	0.14	269,300	0	497,300
TOTAL	227,300	700	0.14	269,300	0	497,300

Source > Mkt Adj Cost VAL per SQ Unit/Card > 203.17 VAL per SQ Unit/Parcel > 203.17

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	01	227,300	700	0	269,300	0	497,300	497,300
2021	01	172,600	800	0	258,800	0	432,200	432,200
2020	01	172,600	800	0	258,800	0	432,200	432,200
2019	01	172,600	800	0	258,800	0	432,200	432,200
2018	01	119,700	0	0	248,800	0	368,500	368,500
2017	01	114,700	0	0	248,800	0	363,500	363,500



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
01 Single Fam	0.13774	AC	P	1.00	1,535,000	1,942,065	I	Partial View	25					267,500		1.00	0	
01 Single Fam	0.00292	AC	EX	0.20	1,535,000	616,438	I							1,800		1.00	0	

Bristol

15 BURTON ST

Card 1 of 1

Plat/Lot 15 79

Account: 988

LUC 01

Zone R-6

Assessment

\$497,300



Building Information

Description	Description
BLDG Type Convention	Story Height 1 3/4 Story Finish
RES Units 1	COM Units 0
Foundation Concrete	BMT Floor Concrete
Frame 1 Wood	Frame 2
EXT Wall 1 Clapboard	EXT Wall 2
Roof Type 1 Gable	Roof Type 2
Roof Cover 1 Asphalt Shnr	Roof Cover 2
INT Wall 1 Drywall	INT Wall 2
Floors 1 Hardwood	Floors 2
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel Oil	Heat Type BB Hot Water
# Heat Sys	% Heated 100
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling HIGHT	Ceiling Type
Parking Type	% Sprinkled
EXT View	
Quantity	Quality
Full Bath 2	Typical
Ext Full Bath	
Half Bath	
Ext Half Bath	
Ext Fixtures	
Kitchens 1	Typical
Ext Kitchens	
Fireplaces	Typical
W.S. Flues	

Grade

Grade	Q4+	Q4+
Year Built 1880	EFF Year	Alt %
Alt LUC		0.00

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	
Traffic	
Bas \$/SQ	142.00
Size Adj	1.14
Const Adj	1.01
Ad \$/SQ	162.99
Othr Feats	29,500
Grade Fac	1.09
Neigh Infi	1.00
Land Factor	1.00
Adj Total	311,403
Depreciation	84,079
Total Depreciation % >	27.0
Depr Total	227,324

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Unden V
FFL	1st FLOOR	813	813	163.01	132,511
TSQ	3/4 STORY	598	598	162.99	97,427
ATF	FIN ATTIC	16	16	163.02	2,608
OFF	OPEN PORCH	40	0	23.99	960
WD	WOOD DECK	168	0	16.71	2,807
BMT	BASEMENT	813	0	24.44	19,878
Total		2,448	1,427		256,191

Notes

PARTIAL VIEW

Remodeling History

Additions	Plumbing	Electric	Complex Location
Interior	Plumbing	Electric	Location
Exterior	2017	Heating	Tot Units
Kitchen	General	General	FL Level
Baths)			# Floors
			Bldg Seq

Condo Data

Complex Location	Tot Units	FL Level	# Floors	Bldg Seq
			0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
10/05/2017	0656-17-B	01/23/2018	BLDG	5,200		Closed	RESHINGLE ROOF
10/05/2017	B29728		BLDG	0		Closed	RESHINGLE ROOF TO CODEAPPROVED BY BHDC

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	4	U
2	7		
3			
4			
Totals	1	7	4

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
13	Patio	1	Y	1	17	17	289	3	AV	2010	700

Other Info.

AFDU	Priority
TermRental	PriorityA
	PriorityB
	PriorityC
	PriorityD
	PriorityE
	PriorityF
	PriorityG
	PriorityH
	PriorityI
	PriorityJ
	PriorityK
	PriorityL
	PriorityM
	PriorityN
	PriorityO
	PriorityP
	PriorityQ
	PriorityR
	PriorityS
	PriorityT
	PriorityU
	PriorityV
	PriorityW
	PriorityX
	PriorityY
	PriorityZ
	PriorityAA
	PriorityAB
	PriorityAC

NOTES

1. UTILITIES SHOWN ARE LOCATED FROM THE BEST AVAILABLE EVIDENCE AND THE SURVEYOR DOES NOT GUARANTEE THE LOCATION OF ANY UNDERGROUND POSITIONS.
2. THE LAND SHOWN HEREON IS SUBJECT TO ANY EASEMENTS, R.O.W, RESTRICTIONS OR ANY LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF TITLE.
3. TO THE BEST OF MY KNOWLEDGE THIS PROPERTY IS NOT IN A COASTAL FLOOD ZONE.
4. TO THE BEST OF MY KNOWLEDGE THERE ARE NO WETLANDS ON THIS SITE.

PLAT REFERENCE

PLAN ENTITLED "CAPTAIN LAWLESS COTTAGE TOWNHOUSE CONDOS."
 BY: ADAM BARON P.E. 3381
 PLAN ENTITLED "LAWLESS ESTATE BRISTOL R.I." BY: W.W. PERRY C.E.
 PLAN ENTITLED "ESTATE OF JAMES LAWLESS" BY: CHARLES F. CHASE ENG.
 PLAN BOOK 4 PAGE 36.

NORTH

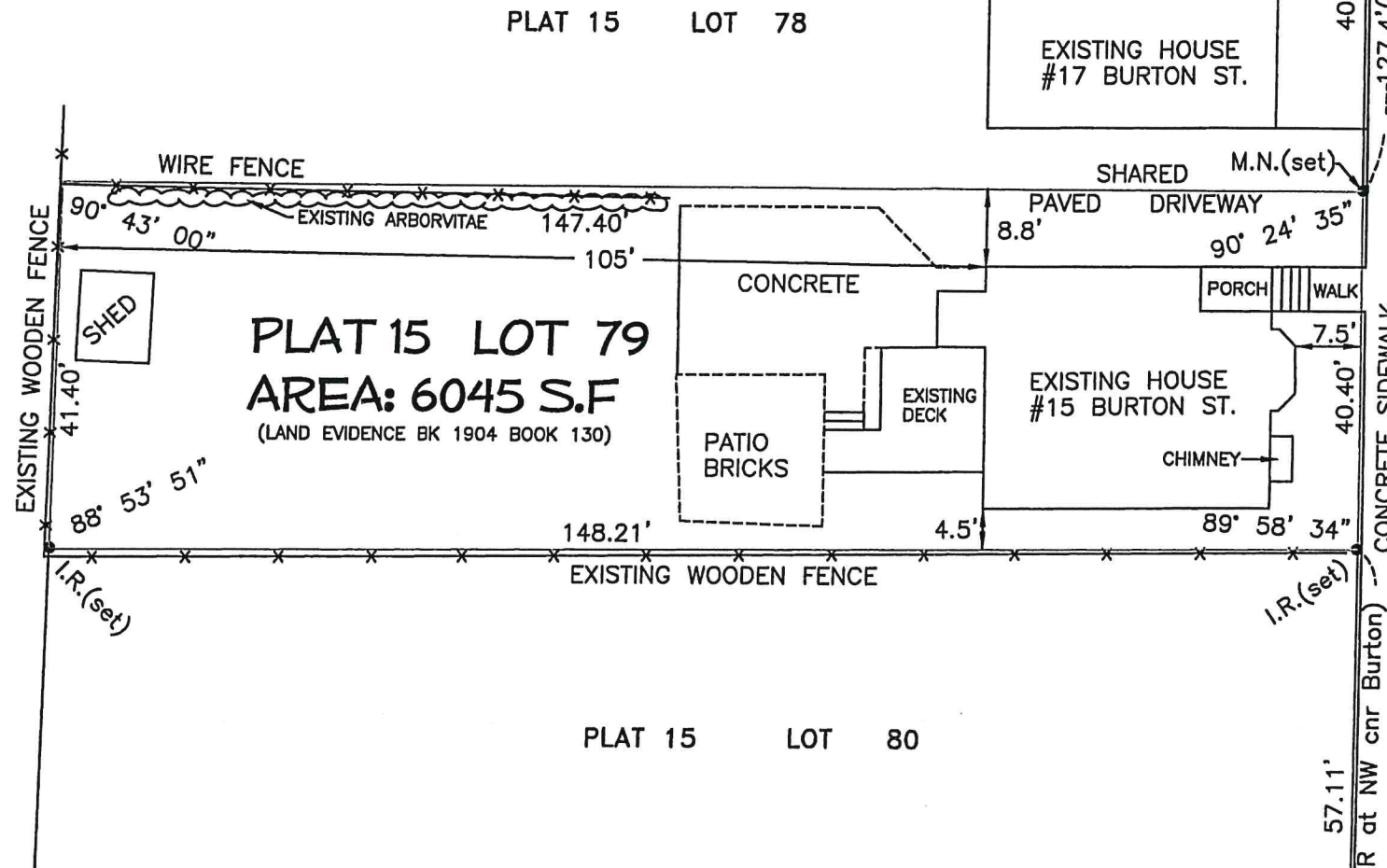
LEGEND

- I.R. IRON ROD
- D.H. GRANITE BOUND
- W- EXISTING WATER LINE
- G- EXISTING GAS LINE
- W/S WATER STOP
- GV GAS VALVE
- G.B. GRANITE BOUND
- MN. MAGNETIC NAIL

ZONING

R-6 ZONE MIN. LOT AREA : 6000 S.F
 MIN LOT WIDTH : 60'
 LOT FRONTAGE : 60'
 MAX. BLDG COVERAGE : 30%
 BUILDING SETBACKS
 FRONT : AVERAGE SETBACK OF BLOCK OR 20' WHICHEVER IS LESS.
 REAR : 20'
 SIDE : 10'

PLAT 15 LOT 89
 PLAT 15
 PLAT 15 LOT 80

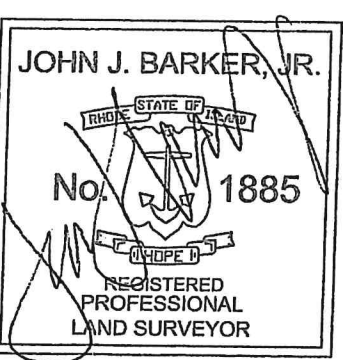


BURTON STREET

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON 11/25/2015 AS FOLLOWS:
 TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION CLASS 1 STANDARD

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE EXISTING CONDITIONS OF THE PROPERTY WITHIN THE SURVEYED BOUNDARY LINES FOR ZONING PURPOSES.



JOHN J. BARKER, JR. PLS #1885
 C.O.A # LS-A302

SITE PLAN FOR THOMAS A. & LEE H. DAWSON

15 BURTON STREET PLAT 15 LOT 79 BRISTOL R.I. 02809
 SCALE 1"=20' DATE 3/27/2023 DWN BY: JJB DWG NO. 230207-562

ZONING SUMMARY: The DAWSON RESIDENCE

15 BURTON STREET, BRISTOL, RI 02809

DETERMINED FROM MAP, this PROPERTY is in the R-6 - RESIDENTIAL (6,000 SF Lot Size)
DETERMINED FROM MAP, this PROPERTY is also in the BRISTOL HISTORIC DISTRICT (HDC)

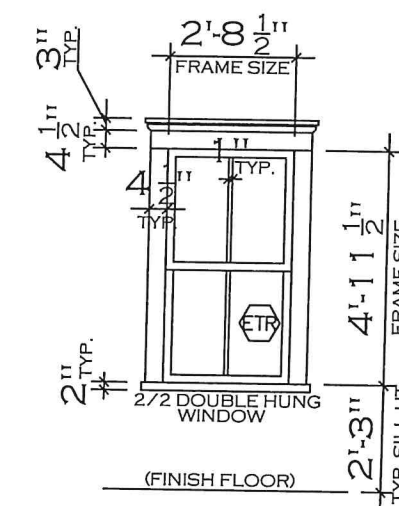
REQUIRED LOT DIMENSIONS (In SF or Feet, or as designated):

- ~ MINIMUM LOT AREA - 6,000 SF
- ~ MINIMUM LOT WIDTH - 60 FT (Single Dwelling Unit)
- ~ MINIMUM LOT FRONTAGE - 60'
- ~ MINIMUM FRONT YARD SETBACK - Average setback of the block, or 20', whichever is less.
- ~ MAXIMUM LOTY COVERAGE - 30% (Residential)
- ~ MINIMUM SIDE YARD SETBACK - 10'
- ~ MINIMUM REAR YARD SETBACK - 20'
- ~ MAXIMUM HEIGHT - Average height of the block, or 35', whichever is greater.
- ~ MAXIMUM HEIGHT of ACCESSORY STRUCTURE - 20'
- ~ MAXIMUM SIZE of ACCESSORY STRUCTURE - 22' X 24'

Done by: Thomas A. Dawson, RA, LEED AP, NCARB - Architect.
Tom Dawson Architecture, 15 Burton Street, Bristol, RI

Based upon: Bristol Zoning ByLaws, of Aug. 24, 2022, Section 28-111,
Table B, Article IV; and the Bristol Zoning Map (of Jan. 27, 2021) - both online.

The "House Standard" Window



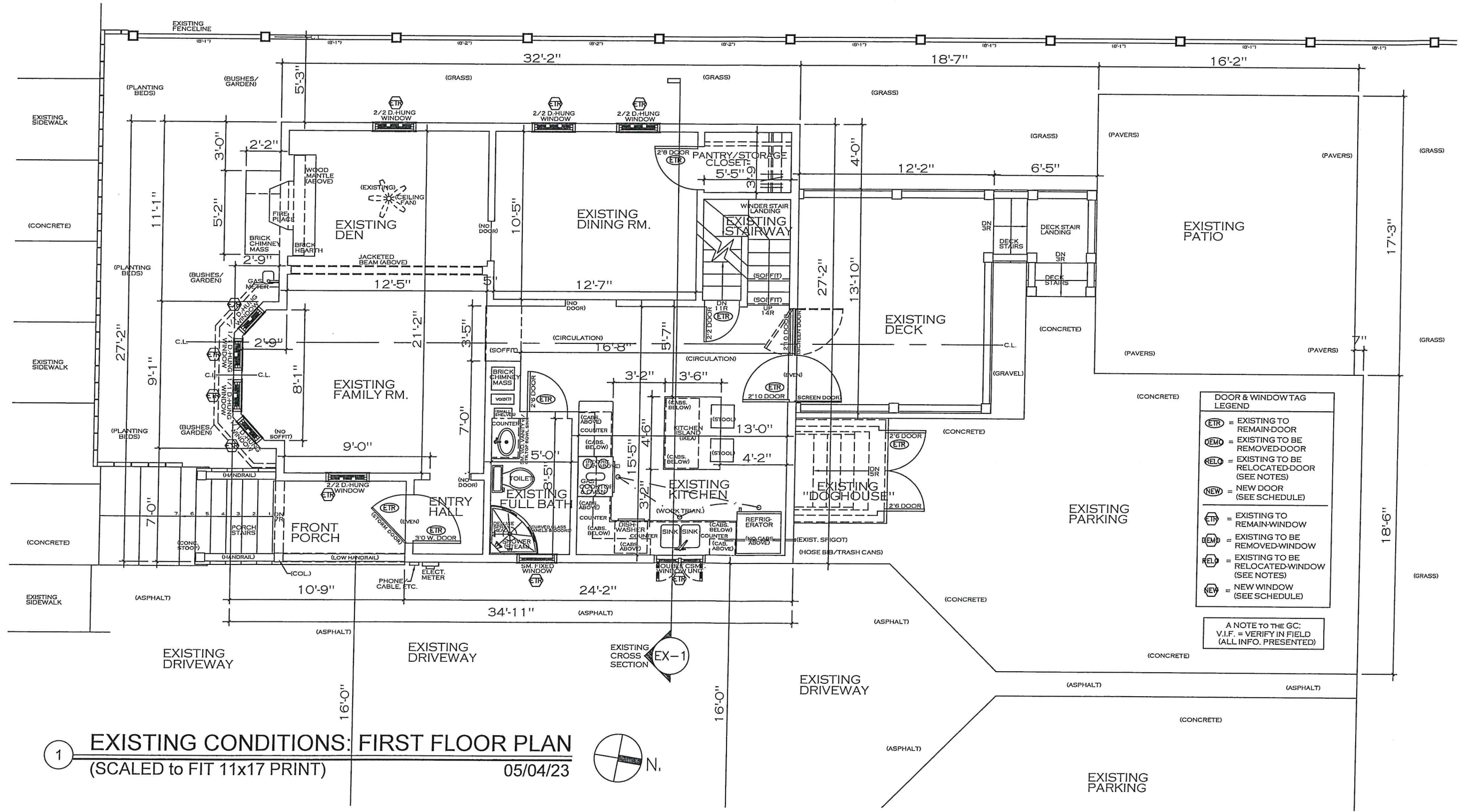
- EXISTING WINDOW SPECIFICATION:
- CALLING THIS "THE HOUSE STANDARD"
 - 2/2 DOUBLE HUNG WINDOW;
 - SIZE IS: 2'-8 1/2" WIDE X 4'-1 1/2" HIGH (FRAME SIZE; & FLOOR - SILL = 2'-3" TYPICAL;
 - THERE ARE SEVEN (7) EXISTING;
 - ALL EXISTING HAVE EXTERNAL STORM WINDOWS;

2

EXISTING CONDITIONS: ZONING & WINDOW SPEC.

(SCALED to FIT 11x17 PRINT)

05/04/23



DOOR & WINDOW TAG LEGEND

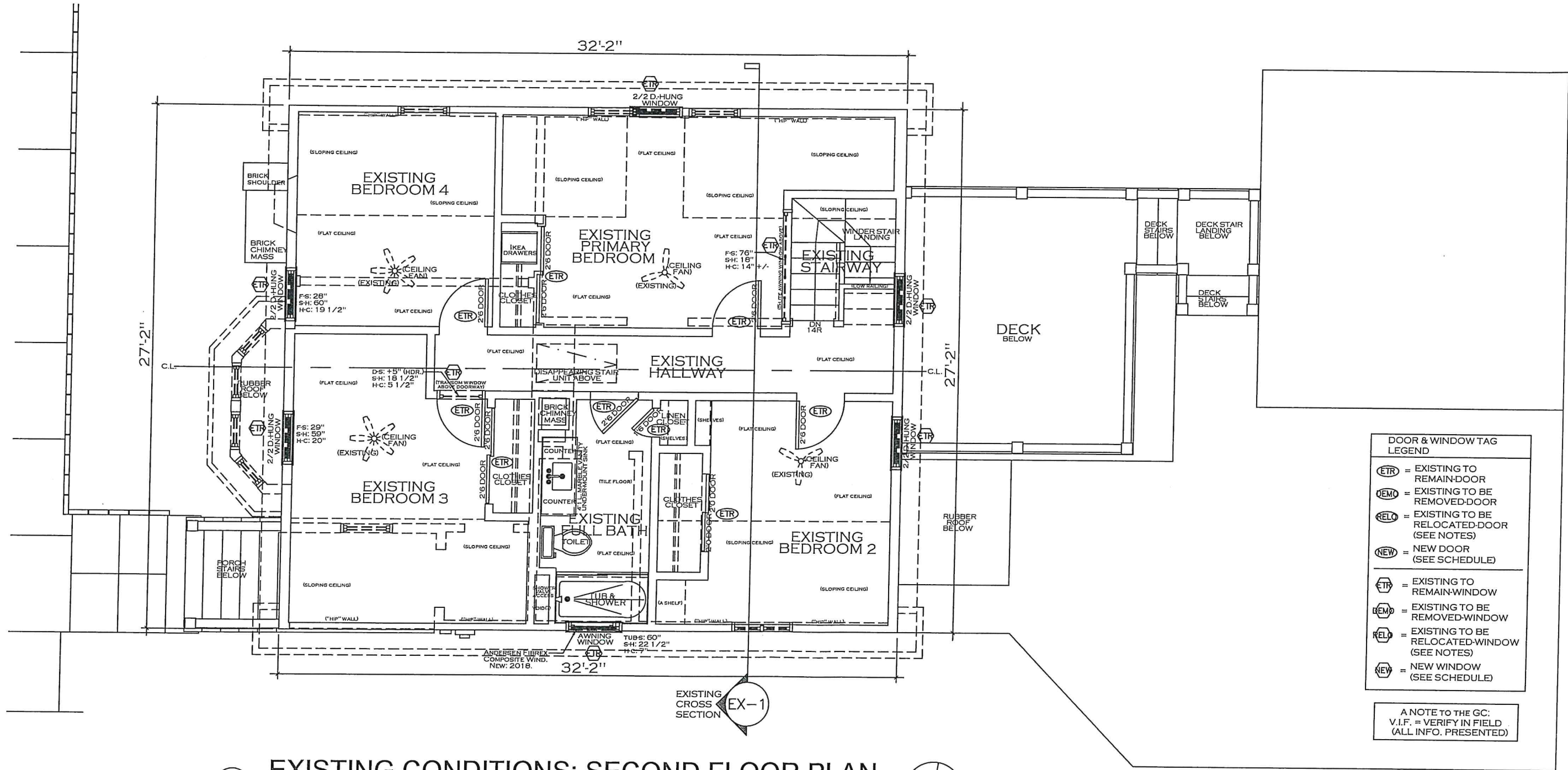
- ETR** = EXISTING TO REMAIN-DOOR
- REMO** = EXISTING TO BE REMOVED-DOOR
- RELOC** = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- NEW** = NEW DOOR (SEE SCHEDULE)

- ETW** = EXISTING TO REMAIN-WINDOW
- REMO** = EXISTING TO BE REMOVED-WINDOW
- RELOC** = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- NEW** = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD
 (ALL INFO. PRESENTED)

1 **EXISTING CONDITIONS: FIRST FLOOR PLAN**
 (SCALED to FIT 11x17 PRINT) 05/04/23



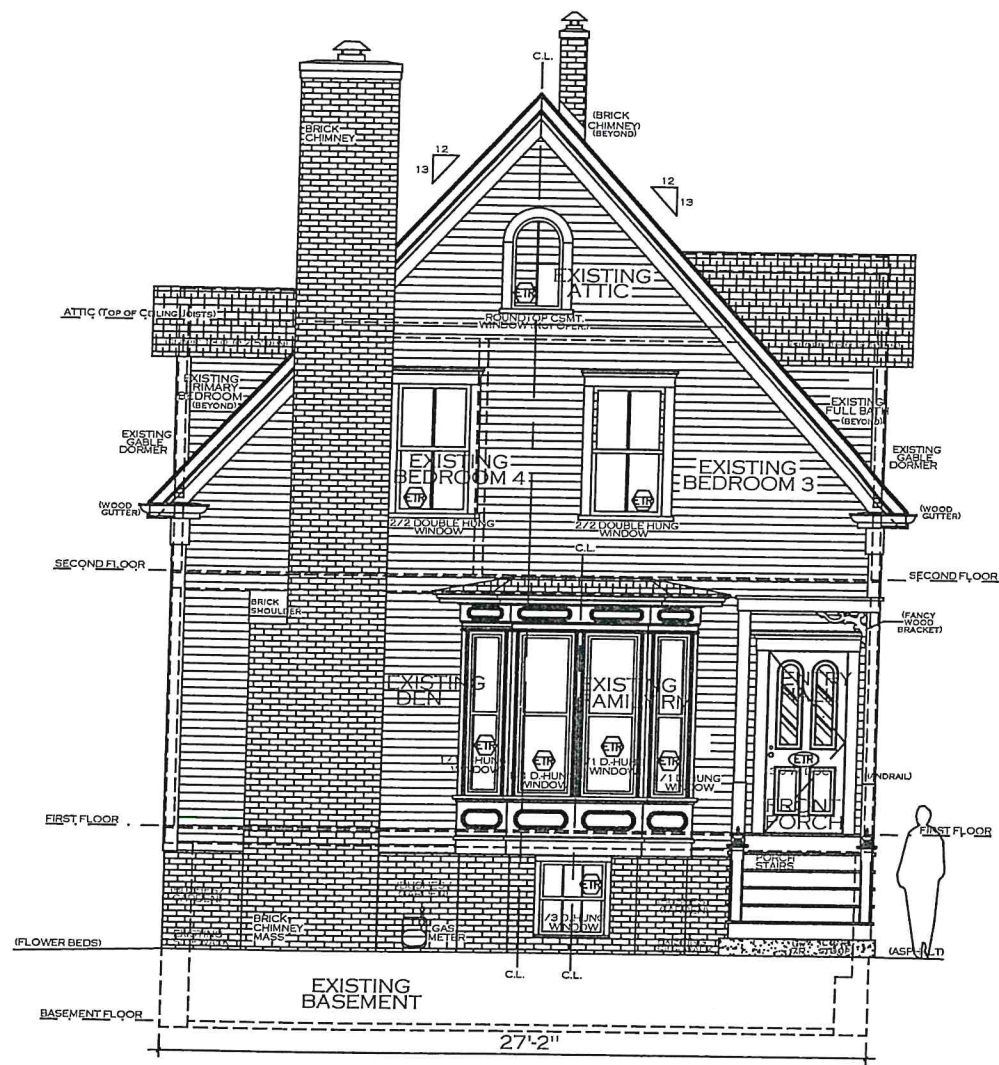


1 **EXISTING CONDITIONS: SECOND FLOOR PLAN**
(SCALED to FIT 11x17 PRINT)

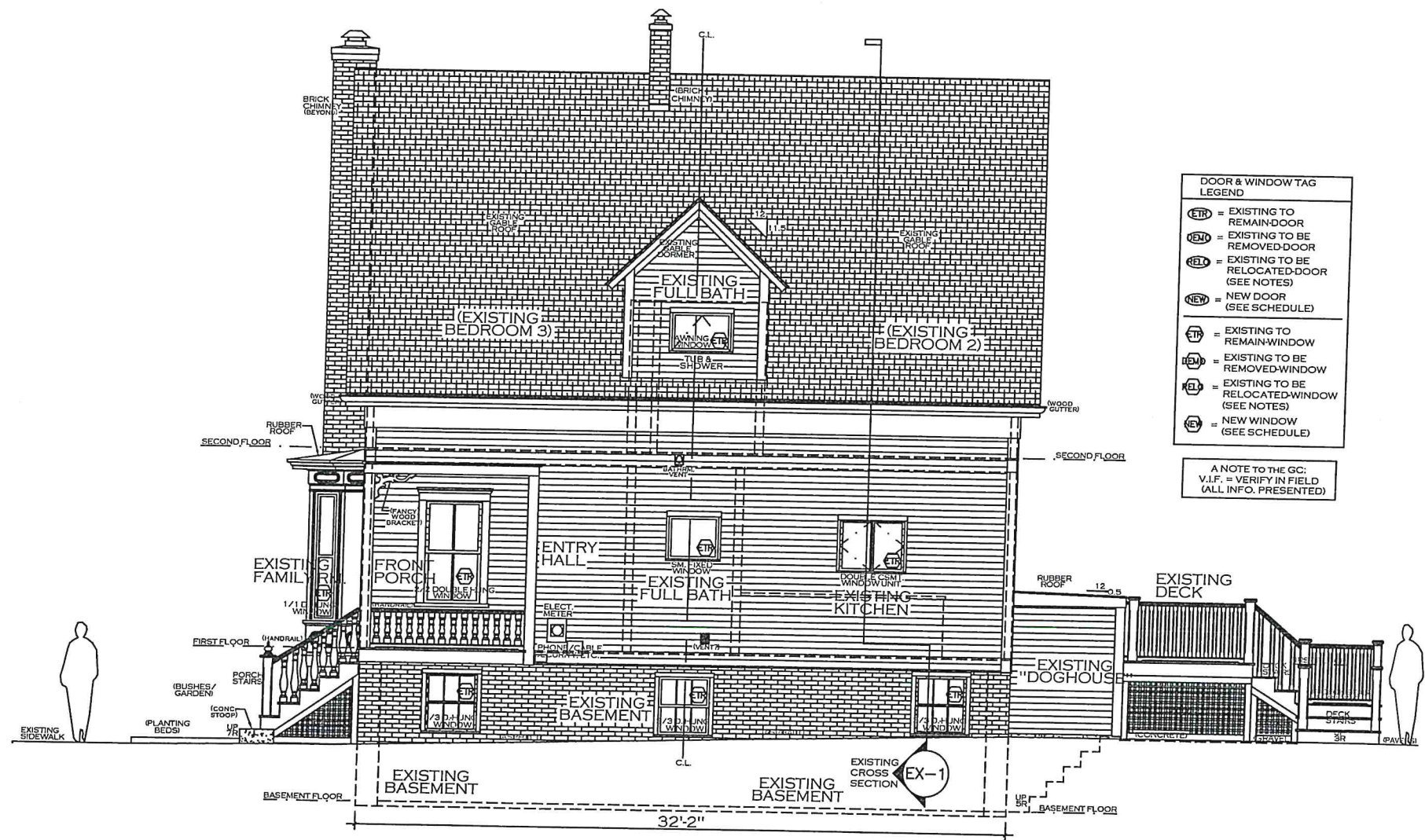
05/04/23



EXISTING CROSS SECTION EX-1



1 EXISTING CONDITIONS: FRONT (South) ELEVATION
 (SCALED to FIT 11x17 PRINT) 05/04/23

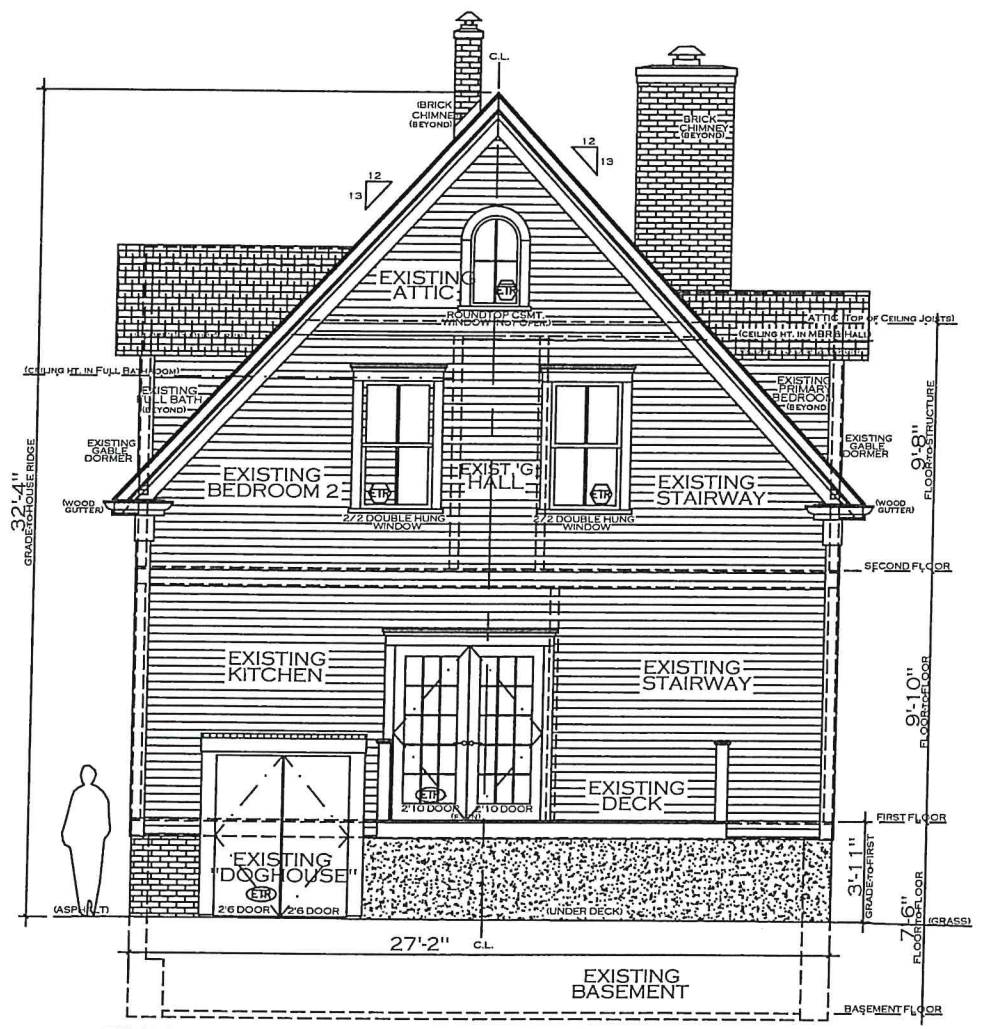


2 EXISTING CONDITIONS: SIDE (East, Driveway) ELEVATION
 (SCALED to FIT 11x17 PRINT) 05/04/23

DOOR & WINDOW TAG LEGEND

- = EXISTING TO REMAIN-DOOR
- = EXISTING TO BE REMOVED-DOOR
- = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- = NEW DOOR (SEE SCHEDULE)
- = EXISTING TO REMAIN-WINDOW
- = EXISTING TO BE REMOVED-WINDOW
- = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD (ALL INFO. PRESENTED)

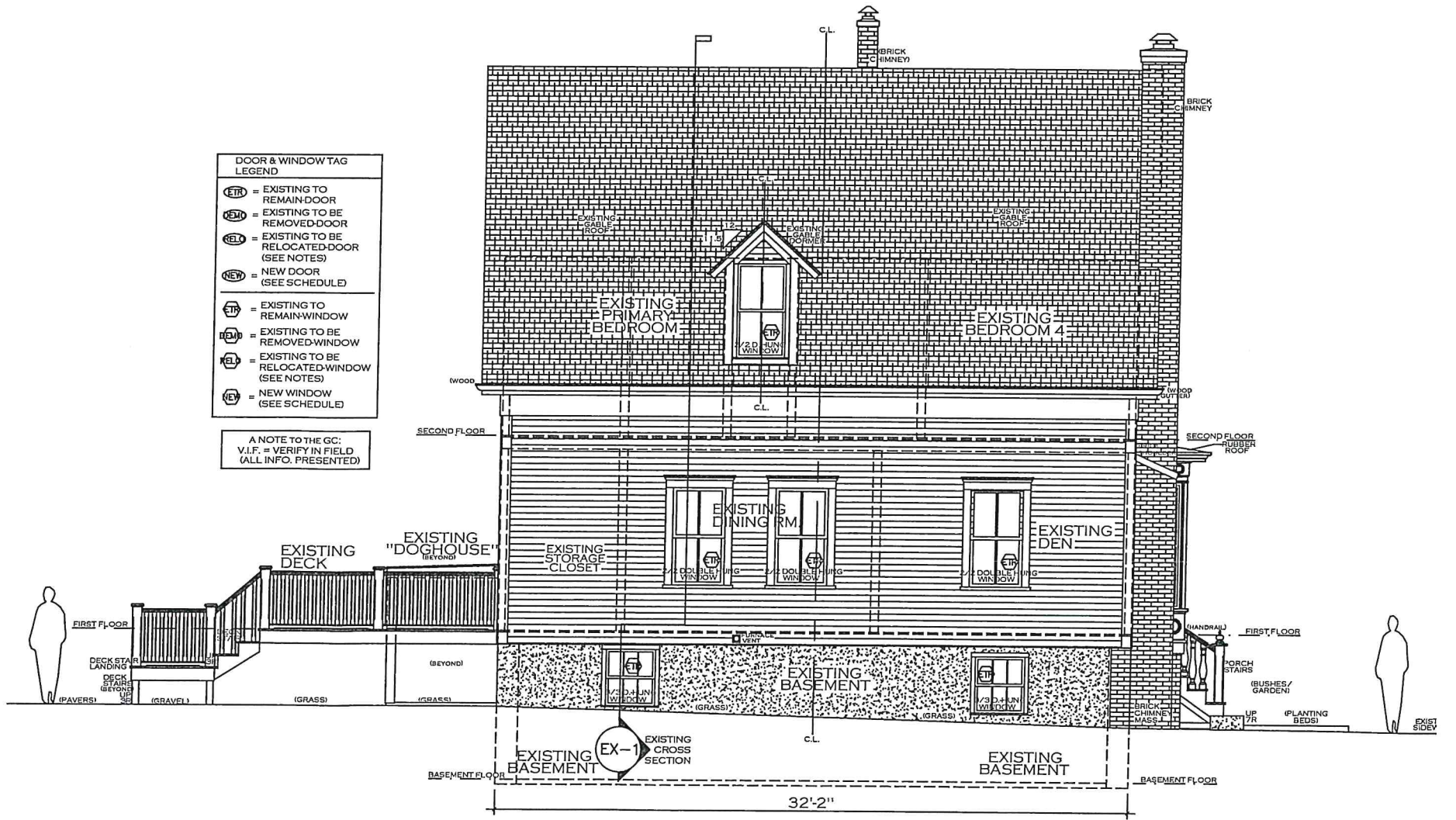


DOOR & WINDOW TAG LEGEND

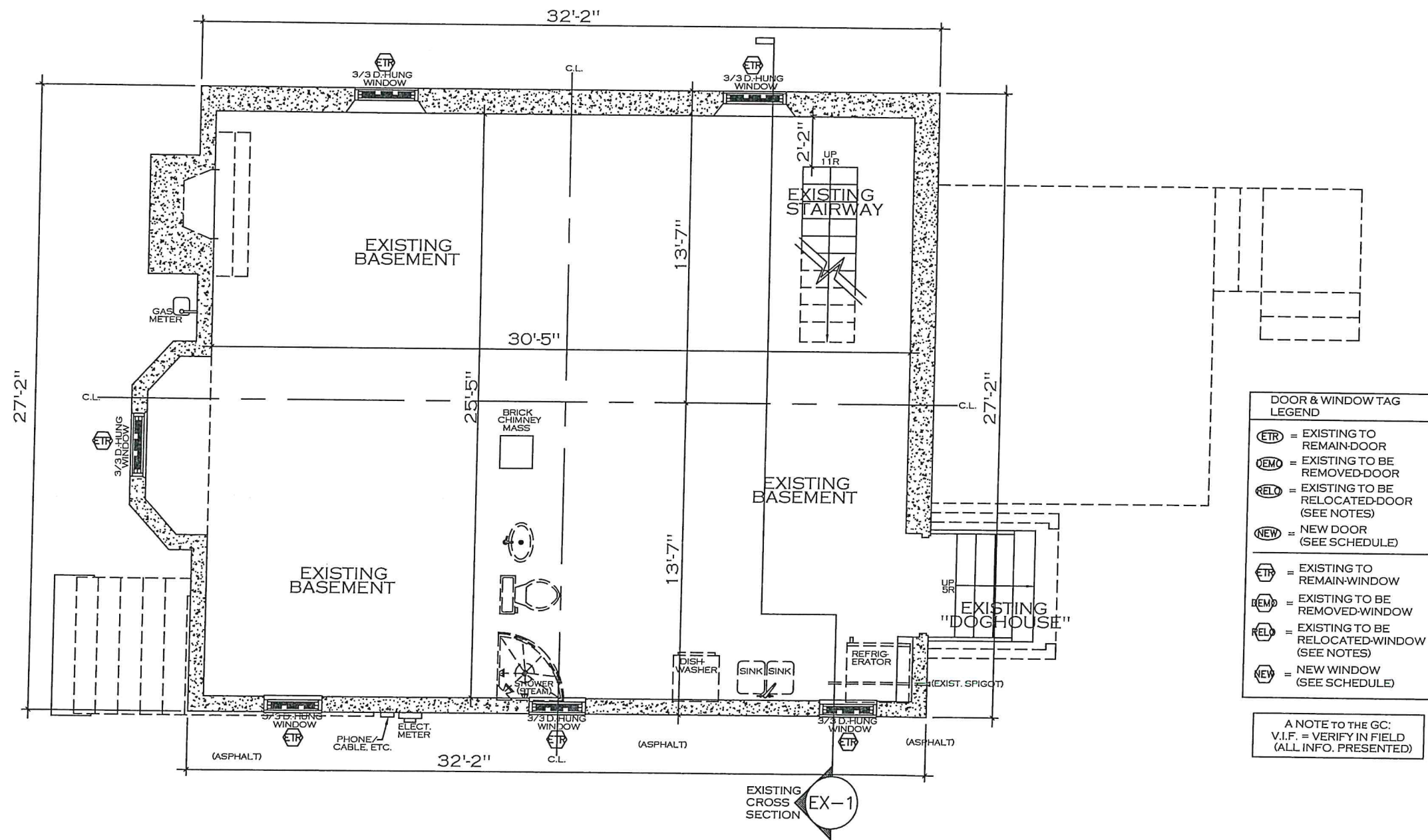
- ETR** = EXISTING TO REMAIN-DOOR
- RETR** = EXISTING TO BE REMOVED-DOOR
- RELD** = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- NEW** = NEW DOOR (SEE SCHEDULE)
- ETP** = EXISTING TO REMAIN-WINDOW
- RETP** = EXISTING TO BE REMOVED-WINDOW
- RELD** = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- NEW** = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
V.I.F. = VERIFY IN FIELD (ALL INFO. PRESENTED)

1 EXISTING CONDITIONS: REAR (North) ELEVATION
(SCALED TO FIT 11x17 PRINT) 05/04/23



2 EXISTING CONDITIONS: SIDE (West, Yard) ELEVATION
(SCALED TO FIT 11x17 PRINT) 05/04/23



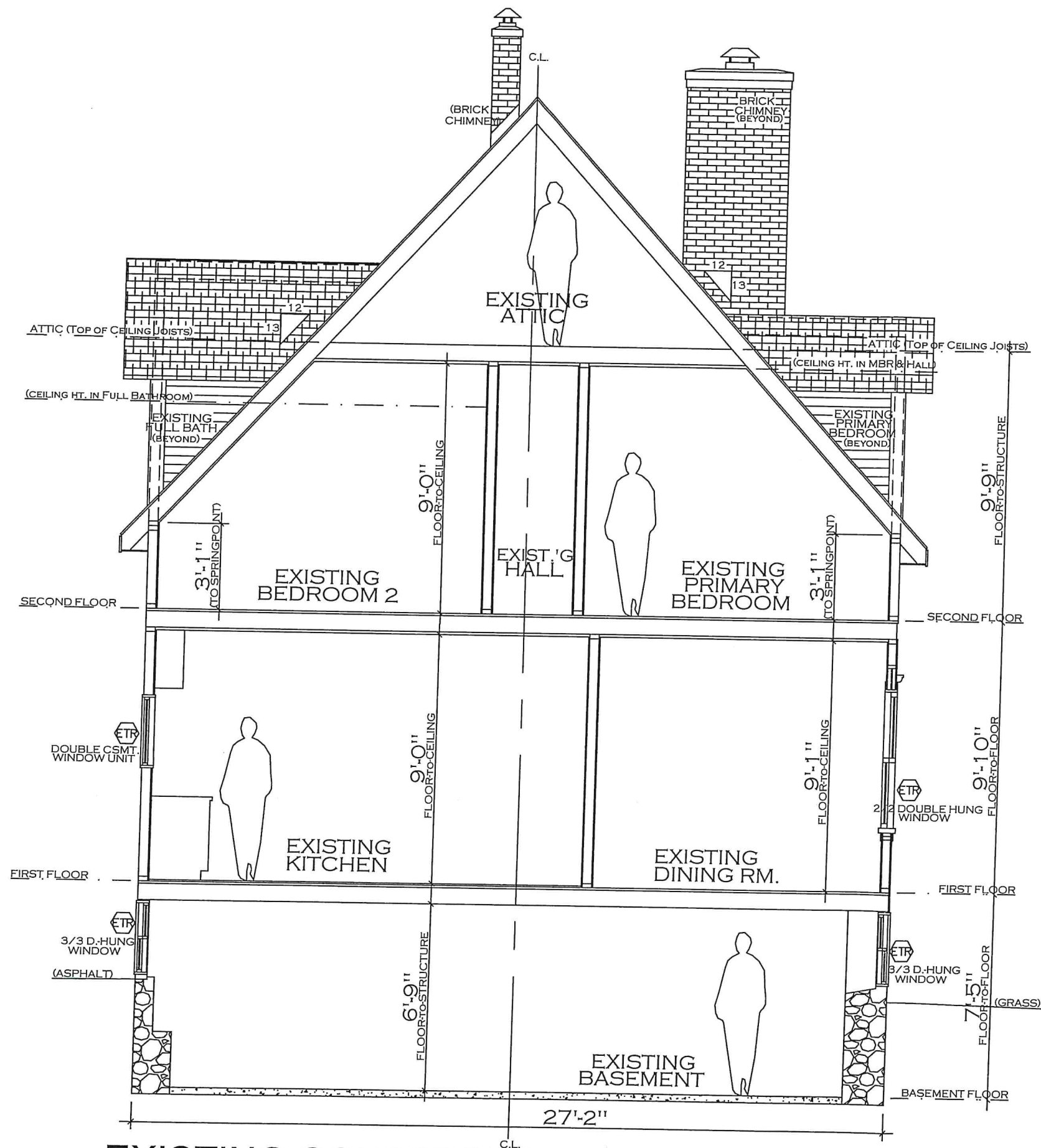
DOOR & WINDOW TAG LEGEND	
	= EXISTING TO REMAIN-DOOR
	= EXISTING TO BE REMOVED-DOOR
	= EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
	= NEW DOOR (SEE SCHEDULE)
<hr/>	
	= EXISTING TO REMAIN-WINDOW
	= EXISTING TO BE REMOVED-WINDOW
	= EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
	= NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
V.I.F. = VERIFY IN FIELD
(ALL INFO. PRESENTED)

1 **EXISTING CONDITIONS: BASEMENT/FOUNDATION PLAN**
(SCALED to FIT 11x17 PRINT)

05/04/23





DOOR & WINDOW TAG LEGEND

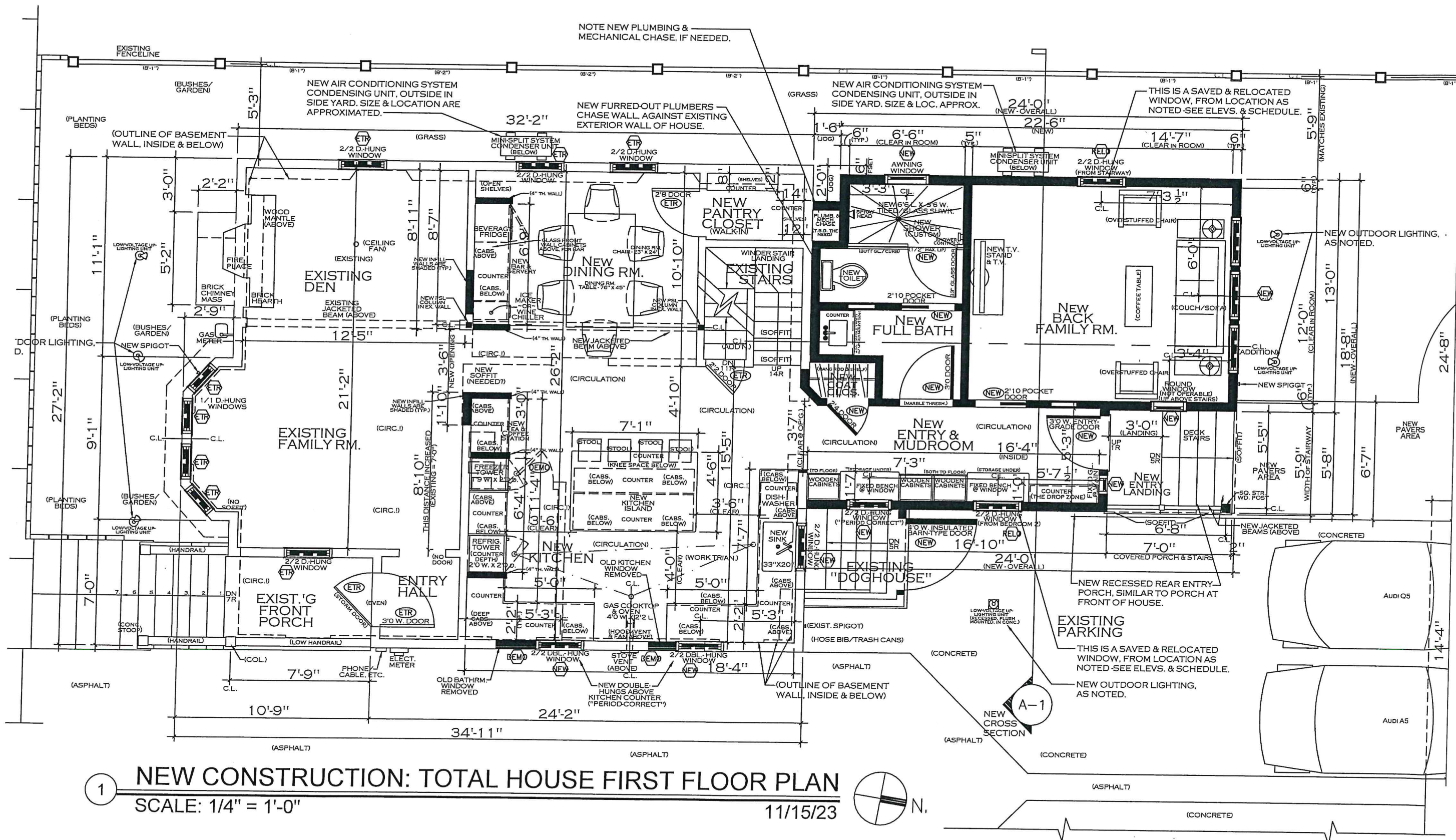
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- (DEM)** = EXISTING TO BE REMOVED-DOOR
- (RELO)** = EXISTING TO BE RELOCATED-DOOR (SEE NOTES)
- (NEW)** = NEW DOOR (SEE SCHEDULE)

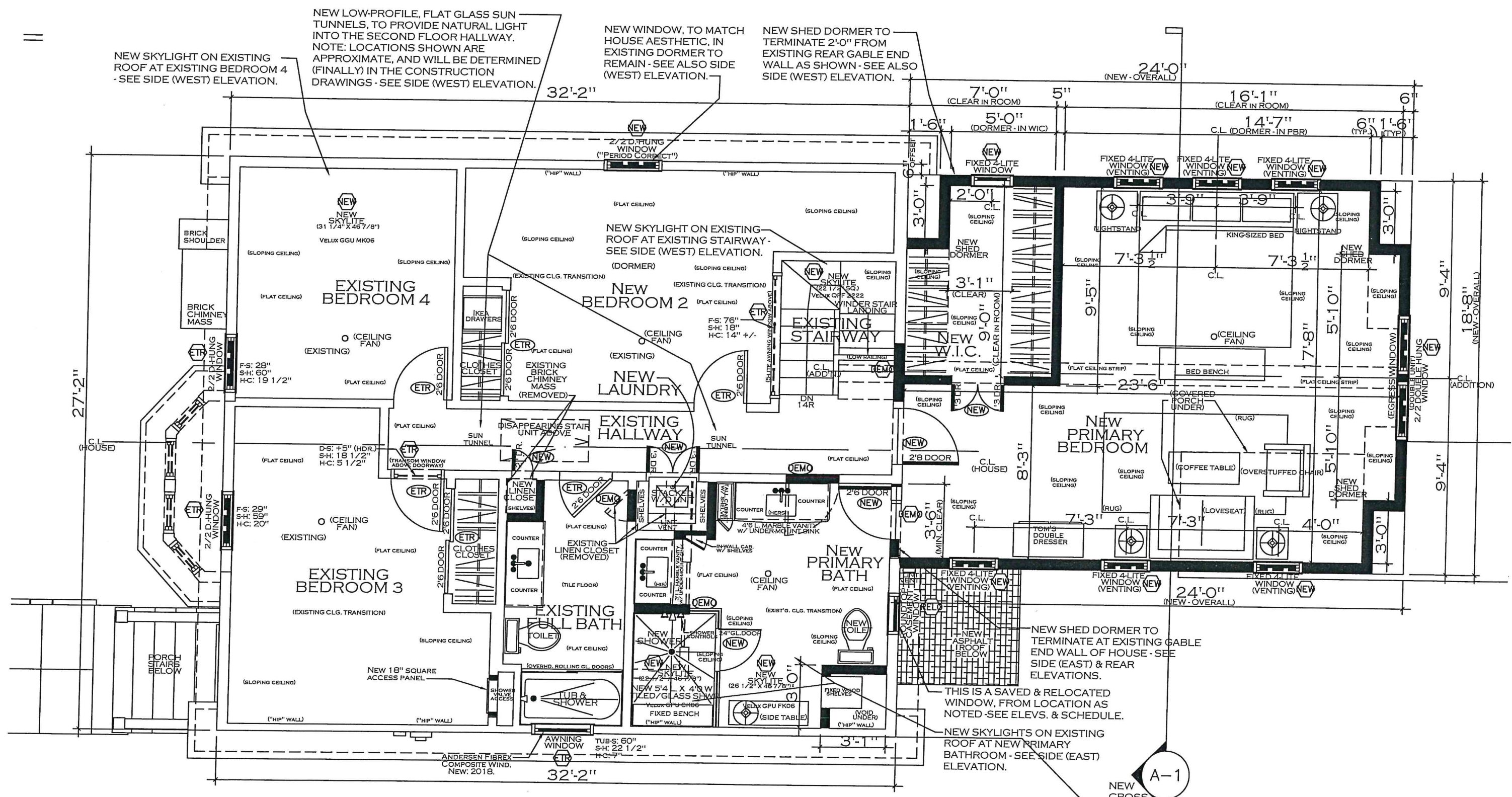
- (ETR)** = EXISTING TO REMAIN-WINDOW
- (DEM)** = EXISTING TO BE REMOVED-WINDOW
- (RELO)** = EXISTING TO BE RELOCATED-WINDOW (SEE NOTES)
- (NEW)** = NEW WINDOW (SEE SCHEDULE)

A NOTE TO THE GC:
 V.I.F. = VERIFY IN FIELD
 (ALL INFO. PRESENTED)

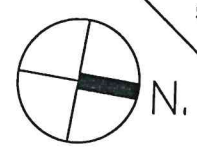
3 EXISTING CONDITIONS: CROSS SECTION EX-1
 (SCALED to FIT 11x17 PRINT)

05/04/23

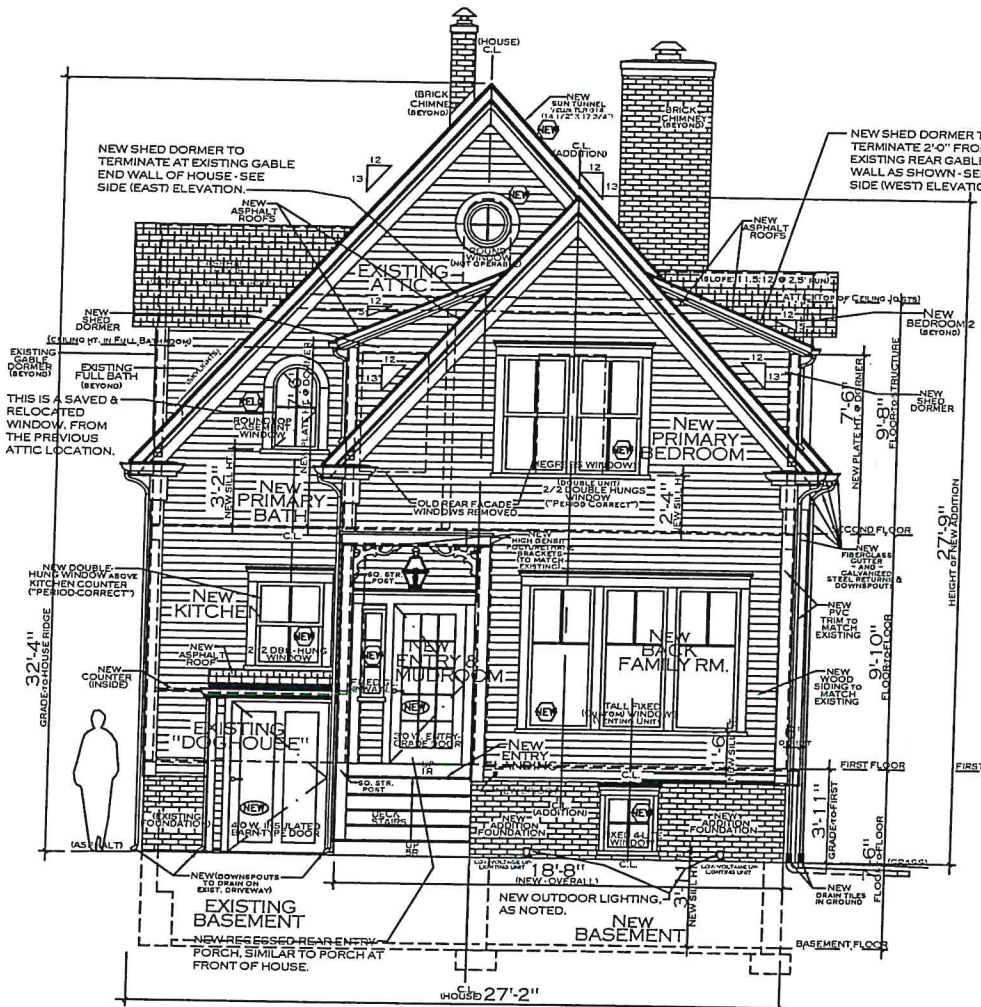




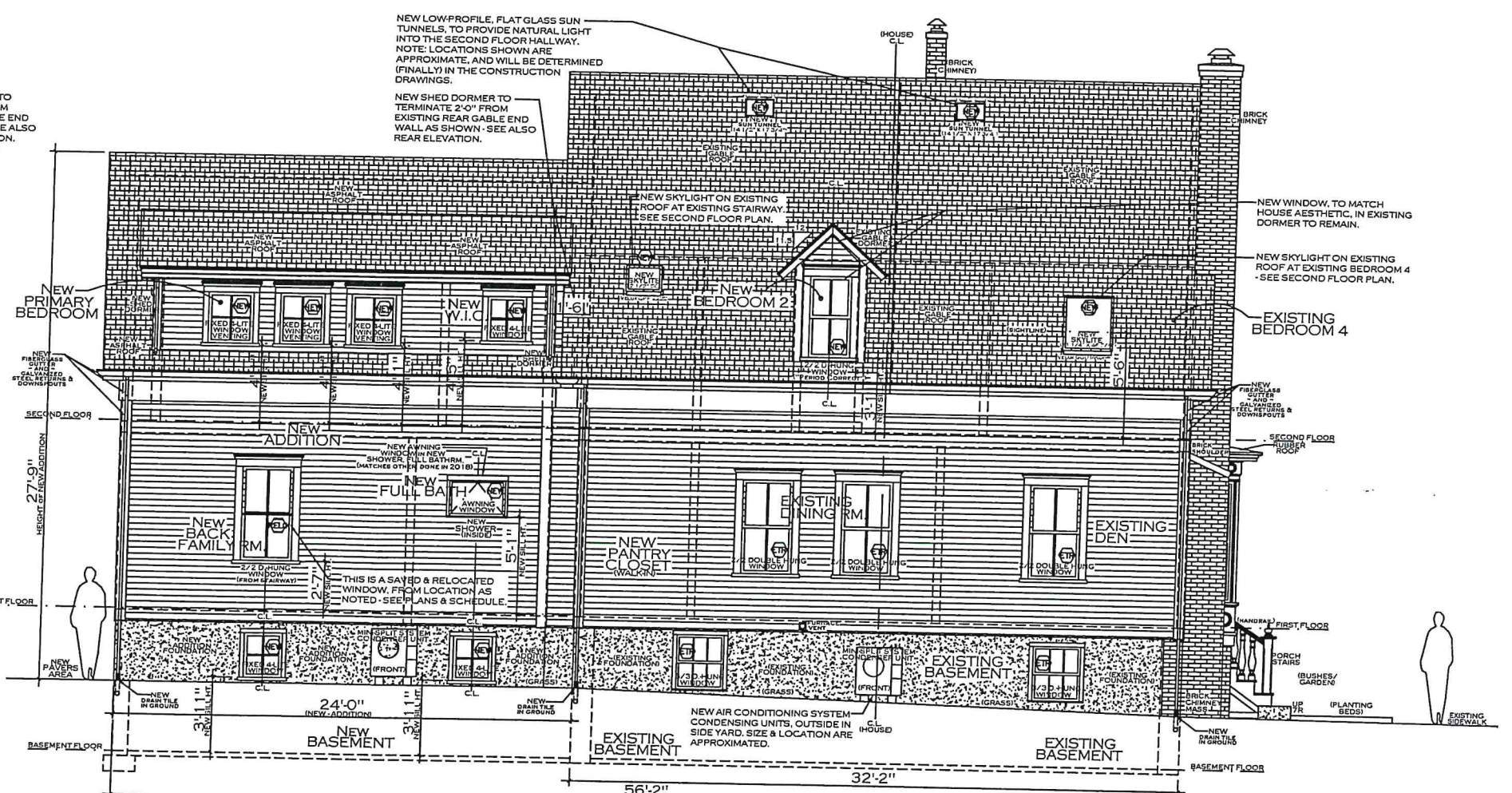
1 **NEW CONSTRUCTION: TOTAL HOUSE SECOND FLOOR PLAN**
 SCALE: 1/4" = 1'-0" 11/15/23



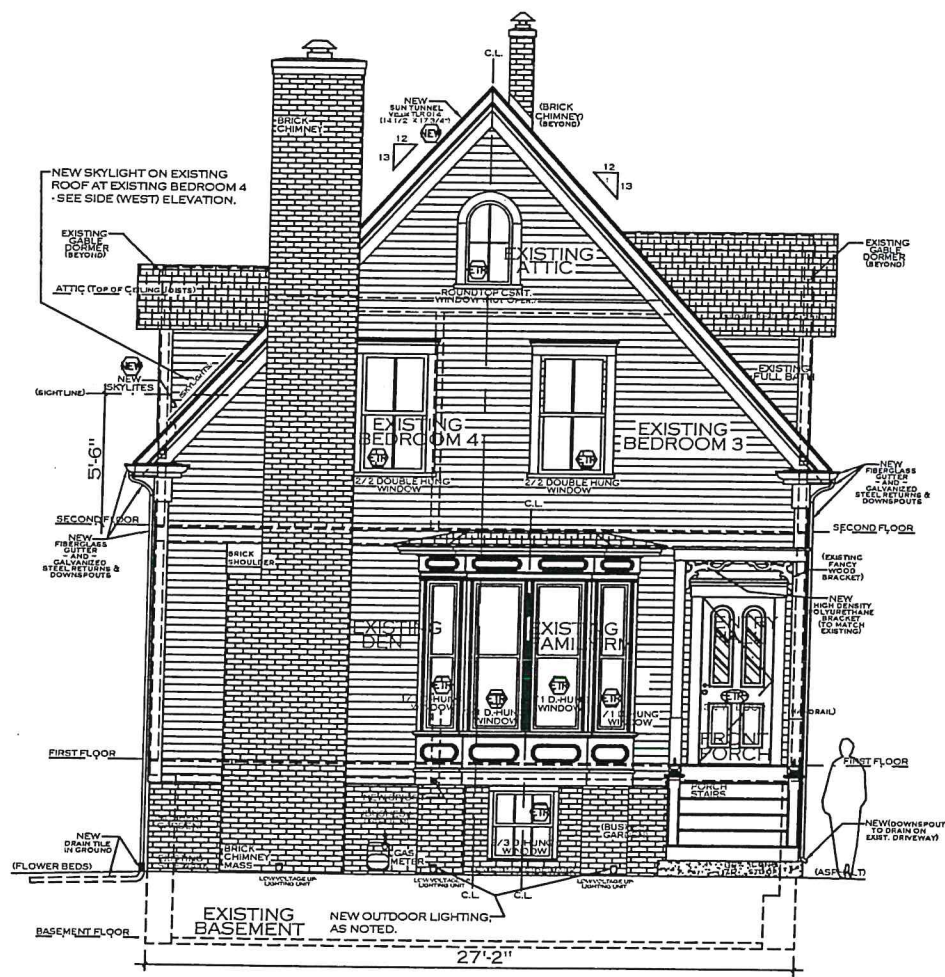
A-1
 NEW CROSS SECTION



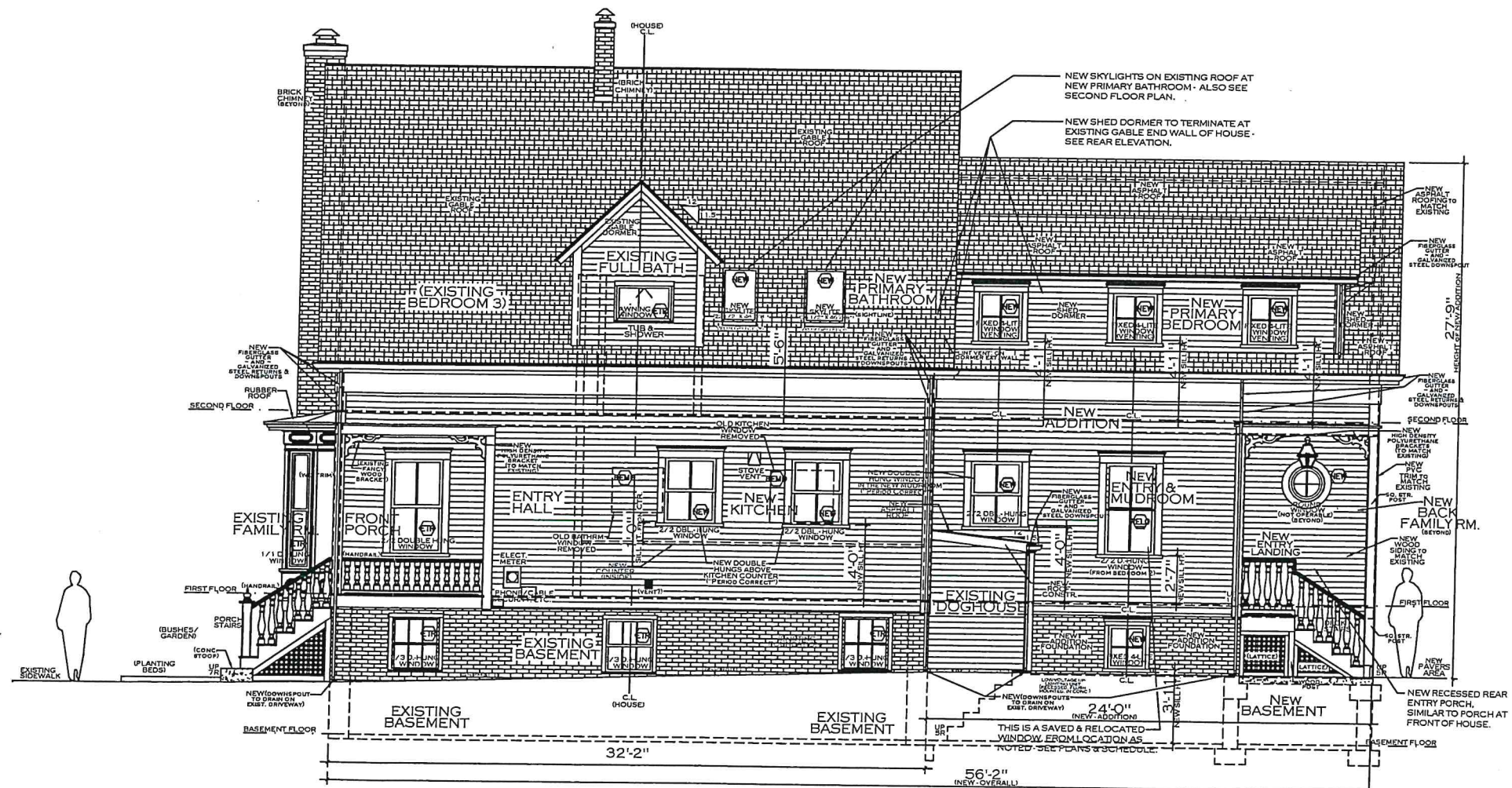
1 NEW CONSTRUCTION: REAR (North) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



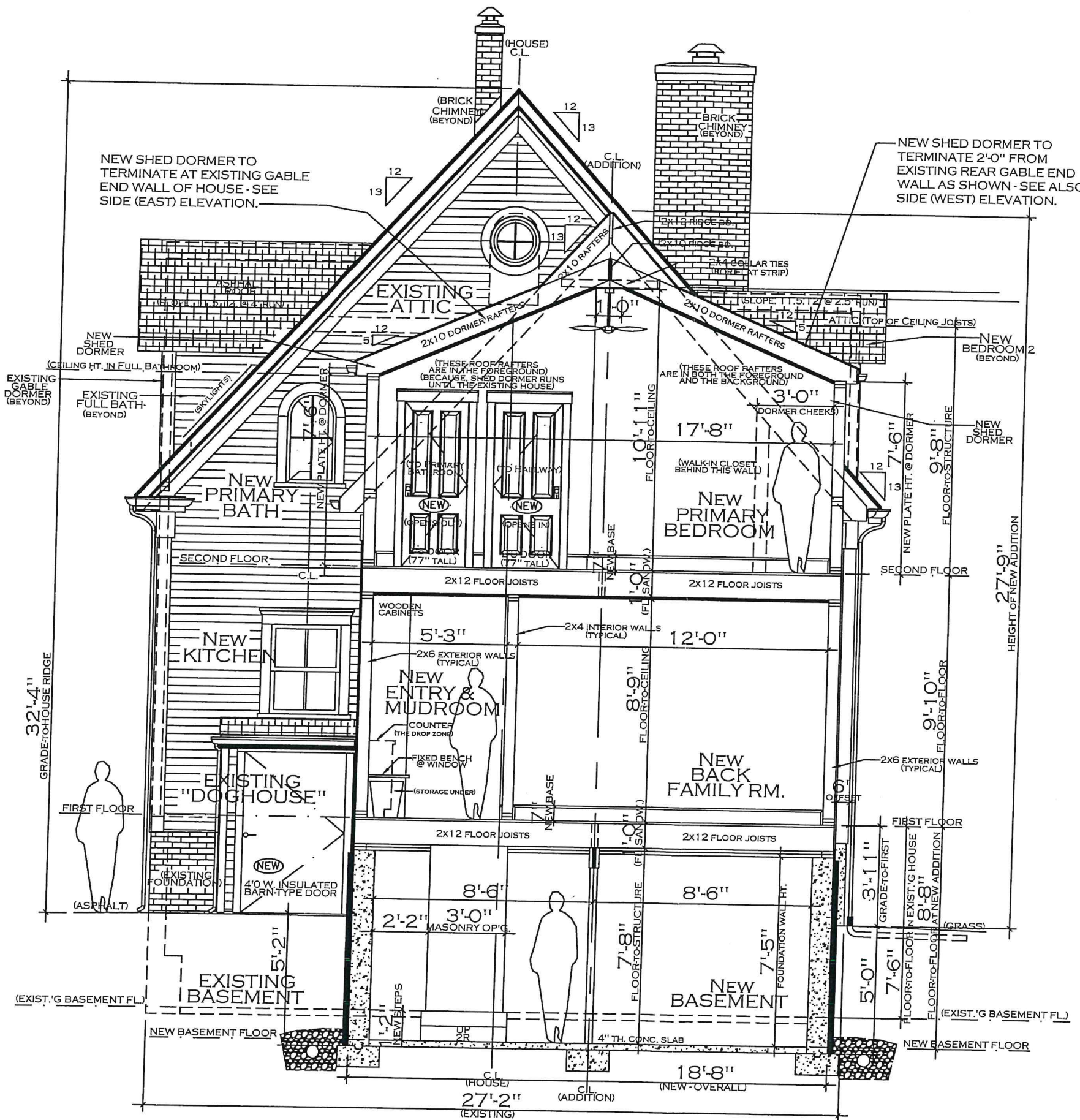
2 NEW CONSTRUCTION: TOTAL HOUSE SIDE (West, Yard) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



1 NEW CONSTRUCTION: FRONT (South) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



2 NEW CONSTRUCTION: TOTAL HOUSE SIDE (East, Driveway) ELEVATION
 SCALE: 1/4" = 1'-0" 11/15/23



1 **NEW CONSTRUCTION: CROSS SECTION A-1**
 SCALE: 1/4" = 1'-0" 11/15/23



15 Burton Street - 200' Radius

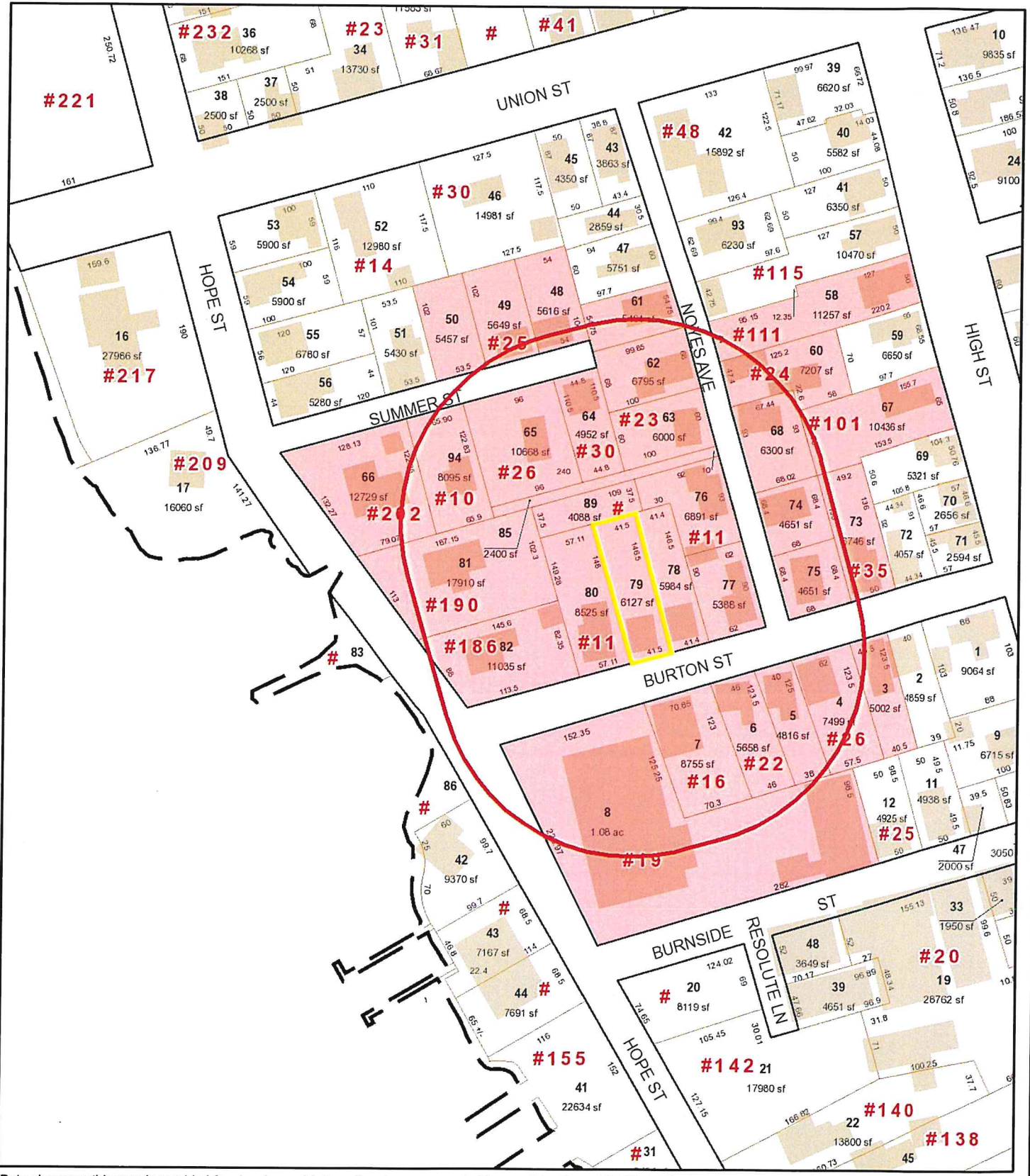
Bristol, RI



December 7, 2023

1 inch = 140 Feet

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200 foot Abutters List Report

Bristol, RI
December 07, 2023

Subject Property:

Parcel Number: 15-79
CAMA Number: 15-79
Property Address: 15 BURTON ST

Mailing Address: DAWSON, THOMAS A & LEE H TE
4 JAMIE LANE
HOPKINTON, MA 01748

Abutters:

Parcel Number: 15-48
CAMA Number: 15-48
Property Address: 29 SUMMER ST

Mailing Address: HANSON, WADE R
29 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-49
CAMA Number: 15-49
Property Address: 25 SUMMER ST

Mailing Address: BAKER, JOHN LINDA
25 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-50
CAMA Number: 15-50
Property Address: 23 SUMMER ST

Mailing Address: ESSELEN, GUSTAVUS J. IV TE &
CATHERINE M.
23 SUMMER ST
BRISTOL, RI 02809

Parcel Number: 15-58
CAMA Number: 15-58
Property Address: 111 HIGH ST

Mailing Address: YOUNG, CHRISTOPHER M & LAUREN R
TE
PO BOX 215
BARTON, VT 05822

Parcel Number: 15-60
CAMA Number: 15-60
Property Address: 24 NOYES AVE

Mailing Address: LAVOIE, ROXANNE L.
24 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-61
CAMA Number: 15-61
Property Address: 27 NOYES AVE

Mailing Address: PACHECO, JASON D
27 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-62
CAMA Number: 15-62
Property Address: 25 NOYES AVE

Mailing Address: GUILD, MITCHELL A & JUDITH TE
25 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-63
CAMA Number: 15-63
Property Address: 23 NOYES AVE

Mailing Address: FERRATO, JAMES D. & FERRATO,
PAULA TRUSTEES (1/2) TC
23 NOYES AVE
BRISTOL, RI 02809

Parcel Number: 15-64
CAMA Number: 15-64
Property Address: 30 SUMMER ST

Mailing Address: LEVY, MARK L & KEATING, CELINE M
TE
697 WEST END AVE, APT. 5-D
NEW YORK, NY 10025

Parcel Number: 15-65
CAMA Number: 15-65
Property Address: 26 SUMMER ST

Mailing Address: BURKE, CHARLES A. ET AL MARI-LYNN
MAURER JT
26 SUMMER ST.
BRISTOL, RI 02809



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12/7/2023

Page 1 of 3



200 foot Abutters List Report

Bristol, RI
December 07, 2023

Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-67 CAMA Number: 15-67 Property Address: 101 HIGH ST	Mailing Address: HOWE, DAVID & KATHLEEN TE 101 HIGH ST BRISTOL, RI 02809
Parcel Number: 15-68 CAMA Number: 15-68 Property Address: 22 NOYES AVE	Mailing Address: HANNEY MICHAEL J PEGGY 22 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-73 CAMA Number: 15-73 Property Address: 35 BURTON ST	Mailing Address: OLIVER, JOHN S. 35 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-74 CAMA Number: 15-74 Property Address: 8 NOYES AVE	Mailing Address: CITO, JEFFREY D & KELLY, STEPHANIE JT 8 PARK AVE WAPPINGERS, NY 12590
Parcel Number: 15-75 CAMA Number: 15-75 Property Address: 29 BURTON ST	Mailing Address: HIGH STREET HOMES, LLC 118 HIGH ST BRISTOL, RI 02809
Parcel Number: 15-76 CAMA Number: 15-76 Property Address: 11 NOYES AVE	Mailing Address: READ, CLARA E & HURD, JAY B - TRUSTEES CLARA E READ & JAY B HURD TRUST 11 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-77 CAMA Number: 15-77 Property Address: 23 BURTON ST	Mailing Address: BECKMAN, ANNA E COHEN, JESSE P TE 23 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-78 CAMA Number: 15-78 Property Address: 17 BURTON ST	Mailing Address: STEPHENS, MARK S & SUZETTE R TE 17 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-79 CAMA Number: 15-79 Property Address: 15 BURTON ST	Mailing Address: DAWSON, THOMAS A & LEE H TE 4 JAMIE LANE HOPKINTON, MA 01748
Parcel Number: 15-80 CAMA Number: 15-80 Property Address: 11 BURTON ST	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-81 CAMA Number: 15-81 Property Address: 190 HOPE ST	Mailing Address: CARLETON, APRIL M. TRUSTEE 4 BRIAR SPRING ROAD ORLEANS, MA 02653



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12/7/2023

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200 foot Abutters List Report

Bristol, RI
December 07, 2023

Parcel Number: 15-82 CAMA Number: 15-82 Property Address: 186 HOPE ST	Mailing Address: CAMPBELL, WILLIAM K ETUX JUDITH S. CAMPBELL TE 186 HOPE ST. BRISTOL, RI 02809
Parcel Number: 15-85 CAMA Number: 15-85 Property Address: HOPE ST	Mailing Address: CARLETON, APRIL M. TRUSTEE 190 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-89 CAMA Number: 15-89 Property Address: NOYES AVE	Mailing Address: FORD, DAVID STRATTON, NANCY ETUX 11 BURTON ST BRISTOL, RI 02809
Parcel Number: 15-94 CAMA Number: 15-94 Property Address: 10 SUMMER ST	Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH N TRUSTEES 10 SUMMER ST BRISTOL, RI 02809
Parcel Number: 16-3 CAMA Number: 16-3 Property Address: 34 BURTON ST	Mailing Address: SEGAL, THADDEUS G 34 BURTON ST BRISTOL, RI 02809
Parcel Number: 16-4 CAMA Number: 16-4 Property Address: 26 BURTON ST	Mailing Address: SIOBHAN HOLDINGS, LLC 207 LAMMS MILL RD WERNERSVILLE, PA 19565
Parcel Number: 16-5 CAMA Number: 16-5 Property Address: 24 BURTON ST	Mailing Address: WROBLEWSKI, ALAN F & LORING, MARIA L - TRUSTEES LORING WROBLEWSKI TRUST 24 BURTON ST BRISTOL, RI 02809
Parcel Number: 16-6 CAMA Number: 16-6 Property Address: 22 BURTON ST	Mailing Address: AUSTIN, EDWARD A III TRUSTEE EDWARD A AUSTIN III REVOCABLE LIVING TRUST C/O 45 HIGH ST BRISTOL, RI 02809
Parcel Number: 16-7 CAMA Number: 16-7 Property Address: 16 BURTON ST	Mailing Address: 16 BURTON ST LLC C/O SERAPHIN & MARJORIE DAPONT 65 VARNUM AVE BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-001 Property Address: 19 BURNSIDE ST	Mailing Address: HH ACQUISITIONS LLC 19 BURNSIDE ST BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-002 Property Address: 17 BURNSIDE ST	Mailing Address: HERRESHOFF MARINE MUSEUM P. O. BOX 450 BRISTOL, RI 02809
Parcel Number: 16-8 CAMA Number: 16-8-003 Property Address: 1 BURNSIDE ST	Mailing Address: HERRESHOFF MARINE MUSEUM P. O. BOX 450 BRISTOL, RI 02809



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12/7/2023

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Page 3 of 3

16 BURTON ST LLC
C/O SERAPHIN & MARJORIE D
65 VARNUM AVE
BRISTOL, RI 02809

ESSELEN, GUSTAVUS J. IV T
& CATHERINE M.
23 SUMMER ST
BRISTOL, RI 02809

LAVOIE, ROXANNE L.
24 NOYES AVE
BRISTOL, RI 02809

AUSTIN, EDWARD A III TRUS
EDWARD A AUSTIN III REVOC
C/O 45 HIGH ST
BRISTOL, RI 02809

FERRATO, JAMES D. &
FERRATO, PAULA TRUSTEES (
23 NOYES AVE
BRISTOL, RI 02809

LEVY, MARK L & KEATING, C
697 WEST END AVE, APT. 5-D
NEW YORK, NY 10025

BAKER, JOHN
LINDA
25 SUMMER ST
BRISTOL, RI 02809

FORD, DAVID
STRATTON, NANCY ETUX
11 BURTON ST
BRISTOL, RI 02809

OLIVER, JOHN S.
35 BURTON ST
BRISTOL, RI 02809

BECKMAN, ANNA E
COHEN, JESSE P TE
23 BURTON ST
BRISTOL, RI 02809

GUILD, MITCHELL A &
JUDITH TE
25 NOYES AVE
BRISTOL, RI 02809

PACHECO, JASON D
27 NOYES AVE
BRISTOL, RI 02809

BURKE, CHARLES A. ET AL
MARI-LYNN MAURER JT
26 SUMMER ST.
BRISTOL, RI 02809

HANNEY MICHAEL J
PEGGY
22 NOYES AVE
BRISTOL, RI 02809

READ, CLARA E & HURD, JAY
CLARA E READ & JAY B HURD
11 NOYES AVE
BRISTOL, RI 02809

CAMPBELL, WILLIAM K ETUX
JUDITH S. CAMPBELL TE
186 HOPE ST.
BRISTOL, RI 02809

HANSON, WADE R
29 SUMMER ST
BRISTOL, RI 02809

SCHWENGEL, ROBERT H &
ELIZABETH N TRUSTEES
10 SUMMER ST
BRISTOL, RI 02809

CARLETON, APRIL M. TRUSTE
190 HOPE ST
BRISTOL, RI 02809

HERRESHOFF MARINE MUSEUM
P. O. BOX 450
BRISTOL, RI 02809

SEGAL, THADDEUS G
34 BURTON ST
BRISTOL, RI 02809

CARLETON, APRIL M. TRUSTE
4 BRIAR SPRING ROAD
ORLEANS, MA 02653

HH ACQUISITIONS LLC
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BRISTOL, RI 02809

SIOBHAN HOLDINGS, LLC
207 LAMMS MILL RD
WERNERSVILLE, PA 19565

CITO, JEFFREY D &
KELLY, STEPHANIE JT
8 PARK AVE
WAPPINGERS, NY 12590

HIGH STREET HOMES, LLC
118 HIGH ST
BRISTOL, RI 02809

STEPHENS, MARK S & SUZETT
17 BURTON ST
BRISTOL, RI 02809

DAWSON, THOMAS A &
LEE H TE
4 JAMIE LANE
HOPKINTON, MA 01748

HOWE, DAVID & KATHLEEN TE
101 HIGH ST
BRISTOL, RI 02809

VANDEVENTER, BRENDAN P &
MONICA R TE
202 HOPE ST
BRISTOL, RI 02809

WROBLEWSKI, ALAN F & LORI
LORING WROBLEWSKI TRUST
24 BURTON ST
BRISTOL, RI 02809

YOUNG, CHRISTOPHER M &
LAUREN R TE
PO BOX 215
BARTON, VT 05822



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-04**

APPLICANT: Larry Goldstein / TSL, LLC
 LOCATION: 267 Thames Street
 PLAT: 9 LOT: 50 ZONE: Waterfront (W)

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

Modify exterior walls and roofline of a portion of the existing Bristol Harbor Inn hotel building and construct eight (8) new hotel rooming units on the third floor of the structure with less than the required lot area per rooming unit.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:


The applicant is requesting a dimensional variance to add eight (8) new hotel rooming units within a portion of the existing Bristol Harbor Inn building at the "Thames Street Landing" complex located on the westerly side of Thames Street. Proposed alterations would be conducted on the second and third floors of the "Bank of Bristol Addition" building located in the middle portion of the site. Proposed modifications to the building include raising the exterior walls and roof height and constructing new roof dormers on the third floor. Existing window locations on the second floor would remain as this area is elevated. The proposed addition would allow for construction of eight new rooming units on the third floor of the building. Proposed alterations would expand the existing Bristol Harbor Inn hotel from the 63 existing rooming units to a total of 71 rooming units.

The proposed hotel use is a permitted use in the Waterfront zoning district. However, the zoning ordinance requires 1,500 sq. ft. of lot area for each rooming unit (this requirement was reduced in 2020 from the previously required 2,000 square feet per rooming unit). The existing 63 rooms now require 94,500 sq. ft. of lot area and the proposed 71 rooms would require 106,500 sq. ft. of lot area. This property contains approximately 74,488 square feet of land area. The original 48 hotel rooms were approved as part of the original Thames Street Landing development. In addition, the applicant was before the board in 2017 and 2018 (File No. 2017-19 and File No. 2018-35) to construct an additional eight hotel rooms and an additional seven hotel rooms respectively within the Bristol Harbor Inn complex.

In October 1998, the Zoning Board approved the initial Thames Street Landing mixed-use development (File No. 1998-41) on this property. The approval included a variance for off-street parking. The property currently utilizes a total of 118 off-street parking spaces, 54 of which are located on the property, and 64 of which are located on a neighboring property across Thames Street. The initial development received a variance for 31 off street parking spaces. The proposed addition of eight hotel

rooming units would not require any additional off-street parking spaces as many of the previously added rooming units replaced prior commercial space with higher off-street parking requirements. In addition, Section 28-252(b) of the zoning ordinance now exempts service and retail business uses from off street parking requirements significantly reducing the number of spaces now required.

As this property is located within the Bristol Historic District, exterior alternations such as those proposed in this application require approval from the Bristol Historic District Commission (HDC). The HDC has reviewed the proposed alterations and voted to approve the work at their September 2023 meeting.

 1/22/2024

Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-05**

APPLICANT: Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc.

LOCATION: 1282 Hope Street

PLAT: 92 LOT: 16 ZONE: R-10

APPLICANT IS REQUESTING A SPECIAL USE PERMIT TO:

Convert an existing nonconforming retail business space within a residential zoning district into a pet grooming service business use.

COMPREHENSIVE PLAN REVIEW:

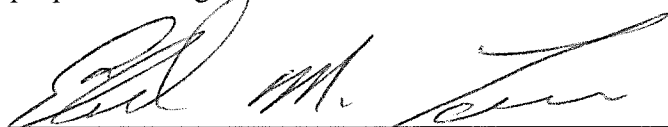
As this application is for a special use permit, it requires review by the Planning Board or the Technical Review Committee (TRC) per Section 28-409(b) of the Zoning Ordinance. The TRC has scheduled a meeting for January 30, 2024 to review this application. Any recommendations of the TRC will be forwarded to the Zoning Board prior to the February 5th meeting.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a special use permit to change an existing legal nonconforming commercial use to another nonconforming commercial use on this property located on the easterly side of Hope Street. This property is located within the Residential R-10 zoning district, and it is improved with a single-story building that has historically been occupied by commercial businesses, including an existing automotive repair and gasoline service station. The applicant proposes to convert the northern portion of this building into a pet grooming service business use. This portion of the existing building is a separate space that in recent years has been utilized for retail business uses separate from the automotive service station use. In 2002, the zoning board approved a use variance (File No. 2022-28) allowing the conversion of this 600 square foot space into a retail convenience store use. Since that time, the space has been utilized by a variety of businesses, all of which have been retail uses.

Section 28-218 of the zoning ordinance regulates buildings and structures that are nonconforming by use. Section 28-218(8)(a) specifically addresses the change of a nonconforming use in residential zones. This section states that an existing nonconforming use may be changed to another nonconforming use within the same use code of the Permitted Use Table, or it may be changed, by special use permit, to another nonconforming use "that is determined by the zoning board to be more in conformity to the permitted uses in the zoning district for which the property is located". I have determined that the proposed pet grooming business is a use found under the Service Business category of the Permitted Use Table. Thus, a special use permit is required to change from the existing previously approved nonconforming retail use to the proposed nonconforming service business use.

In addition to the determination that must be made by the zoning board per Section 28-218(8), the proposed change of use is also subject to the general standards for a special use permit found in Section 28-409(c)(2) of the Zoning Ordinance. There are no specific standards in Section 28-150 for this proposed change of use.

 1/22/2024
 Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-06**

APPLICANT: John M. Lannan / Fairpoint Realty, LLC
 LOCATION: 111 King Phillip Avenue
 PLAT: 147 LOTS: 61 & 62 ZONE: R-10

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

Construct a 10ft. x 22ft. breezeway and porch, and a 24ft. x 24ft. two-story garage addition to an existing single family dwelling with less than the required front yard on a corner lot.


COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a dimensional variance to construct an addition to the existing single-family dwelling on this property located on the westerly side of King Phillip Avenue and the southerly side of Narrows Road. The existing dwelling, constructed in the mid-1950's, is located within the front yard setback of both adjacent streets, but has its front door facing King Philip Avenue. The applicants propose construction of a 10 foot wide breezeway, with front and rear porches, and a 24 foot wide two-car garage. The proposed garage would include living space on the second floor to be utilized as an accessory family dwelling unit (AFDU). Access to the AFDU would be via a stairway from the interior of the proposed breezeway addition. Although it would be set back approximately four feet from the front of the existing dwelling, a portion of the proposed garage and breezeway addition would extend into the front yard setback from King Phillip Avenue. As proposed, the garage would be located 19.4 feet from the easterly King Phillip Avenue property line. The zoning ordinance requires a minimum 30 foot front yard setback in the R-10 zoning district.

Although the applicant is proposing an AFDU to be located above the proposed garage, the actual construction and use of the second floor living space is subject to approval and permitting for an accessory dwelling unit per Section 28-151 of the zoning ordinance.


 Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island
Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-07**

APPLICANT: Jeanine P. and Daniel P. McConaghy

LOCATION: 135 Kickemuit Avenue

PLAT: 133 LOT: 37 ZONE: Residential R-15

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

Demolish an existing single-family dwelling and construct a new single-family dwelling with less than the required front yard on a corner lot, and with a second floor footprint that exceeds the maximum two thirds size of the first floor footprint.

APPLICANT IS ALSO REQUESTING A SPECIAL USE PERMIT:

To construct a single-family dwelling at a height of over 25 feet above grade in the flood zone.

COMPREHENSIVE PLAN REVIEW:

As this application is for a special use permit it requires review by the Planning Board or its Technical Review Committee (TRC) per Section 28-409(b) of the Zoning Ordinance. The TRC has scheduled a meeting for January 30, 2024 to review this application. Any recommendations of the TRC will be forwarded to the Zoning Board prior to the February 5th meeting.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting a dimensional variance to demolish an existing single-family dwelling and to construct a new single-family dwelling on this waterfront corner lot located on the northerly side of Kickemuit Avenue and the easterly side of Wilcox Street. This property is a rather narrow but deep lot containing just over 18,000 square feet of land area. The applicants propose to remove the existing single-story cottage structure and to replace it with a new structure to be located further back on the lot away from the Kickemuit River. The proposed structure would be three full stories high with a fourth story attic containing additional living space. The structure would be located partially within the front yard setback of Kickemuit Avenue. As a corner lot, this property has two front yards and two rear yards for purposes of determining property line setback requirements. The zoning ordinance permits one of these rear yards to be reduced to a side yard setback. Thus, the northerly property line is considered the side yard and the easterly waterfront property line is considered a rear yard.

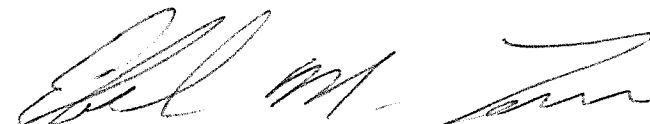
The proposed structure would be located approximately 19 feet from the Kickemuit Avenue property line at its closest point. This portion of Kickemuit Avenue is a “dead end” public right

of way to the shoreline of the Kickemuit River. The existing dwelling at 135 Kickemuit Avenue has a driveway that is accessed from the right of way. However, the new proposed dwelling would have a driveway located further westerly along Kickemuit Avenue. The zoning ordinance requires a minimum 35 foot front yard setback in the R-15 zone. The proposed dwelling appears to meet all other dimensional requirements for the R-10 zoning district.

This property is located within a mapped AE 13 flood zone as determined by FEMA. As such, the new proposed dwelling would be designed to meet current flood zone requirements. The proposed structure would be taller than the existing cottage dwelling, as the new dwelling will have parking and storage on the lower level with living space on the upper second, third, and fourth floor levels to conform to building requirements for coastal flood zones. The proposed dwelling would have an overall height of approximately 42 feet 4 inches above existing grade. As this property is located within the AE flood zone, building height is calculated from the elevation of the base flood elevation plus an allowance of up to 5 feet for freeboard (see definition of "building height" in Section 28-1 of the zoning ordinance). Thus, the proposed structure could be constructed several feet higher than proposed and it would still be in compliance with building height limits of the zoning ordinance.

Although no dimensional variance for building height is required for the proposed structure, the building height does require a special use permit per Section 28-111 dimensional regulations of the Zoning Ordinance. This ordinance requires a special use permit for any principal structure located within a flood zone with a height over 25 feet above grade. There are several newly adopted specific standards for structures greater than 25 feet above grade in a residential zone and in the flood zone found in Section 28-150(eee) of the Zoning Ordinance. These specific standards include compliance with building code flood zone requirements; roof pitch requirements; front setback requirements; specific design criteria for gross floor area; and requirements for articulation of exterior walls. It appears that the proposed structure would comply with these standards with the exception of standard 4.i. which requires that the footprint of the second floor of living space within the structure not exceed 2/3 of the footprint of the first floor of living space. Thus, the applicant has requested a variance from this special use permit standard. In addition to the standards found in Section 28-150(eee), the general standards for relief found in Section 28-409(c)(2) would also apply to this special use permit application. The special use permit standard c. regarding the general character of the area and compliance with the comprehensive plan is also a standard that needs to be met for the previously discussed dimensional variance.

As noted previously, the TRC has scheduled a meeting for January 30, 2024 to review this application. Any comments or recommendations from the TRC will be forwarded to the Zoning Board prior to the February 5th meeting.

 1/22/2024
 Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-04

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, February 5, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Larry Goldstein / TSL, LLC**
PROPERTY OWNER: **TSL, LLC**
LOCATION: **267 Thames Street**
PLAT: 9 LOT: 50
ZONE: **Waterfront (W)**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to modify exterior walls and roofline of a portion of the existing Bristol Harbor Inn hotel building and construct eight (8) new hotel rooming units on the third floor of the structure with less than the required lot area per rooming unit.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, February 1, 2024.



TOWN OF BRISTOL
COMMUNITY DEV.

DEC 14 AM 11:58

Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No: 2024-04
Accepted by ZEO: EMT 12/4/2023

APPLICANT	Name: TSL, LLC (attn: Larry Goldstein)		
	Address: 244 Gano Street		
	City: Providence	State: RI	Zip: 02906
	Phone #: 401-453-0038	Email: larry@goldsteinassociates.com	
PROPERTY OWNER	Name: TSL, LLC (attn: Larry Goldstein)		
	Address: 244 Gano Street		
	City: Providence	State: RI	Zip: 02906
	Phone #: 401-453-0038	Email: larry@goldsteinassociates.com	

1. Location of subject property: 267 Thames Street, Bristol, RI

Assessor's Plat(s) #: 9 Lot(s) #: 50

2. Zoning district in which property is located: (W) Waterfront District

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28-112 Table C

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 8 years

7. Present use of property: Hotel, Office, and Retail

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

Existing building size is 52'-8" x 227'-1" (11,960 sq.ft.). Existing height is 50'-11 at the tallest part of the roof from lowest point in grade.

10. Proposed use of property: Continuation of hotel only on 2nd and 3rd floors of the Arch and Taylor/Diman building, but adding 8 units, with a continuation of office and retail space on first floor.

11. Give extent of proposed alterations: Demolition of existing roof structure of the eastern wing of existing building (Bristol Harbor Inn) as shown on attached plans, followed by a third floor addition with 8 identical hotel units. New windows will match existing windows on hotel.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____
Proposed area of work is 6406 sq. ft. Proposed height of new work is within the existing height of the building, and contained within the 3rd and 4th floors.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>N/A</u>	Proposed Setback: <u>N/A</u>
Left side lot line:	Required Setback: <u>N/A</u>	Proposed Setback: <u>N/A</u>
Right side lot line:	Required Setback: <u>N/A</u>	Proposed Setback: <u>N/A</u>
Rear lot line:	Required Setback: <u>N/A</u>	Proposed Setback: <u>N/A</u>
Building height:	Required: <u>35'</u>	Proposed: <u>50'5" to new ridge</u>
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: N/A Before _____ After _____

14. Have you submitted plans for the above alterations to the Building Official? No
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: Yes

18. Is the property located in a flood zone? Yes If yes, which one?: VE 14

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Larry Goldstein Date: 12-13-23

Print Name: Larry Goldstein

Property Owner's Signature: Larry Goldstein Date: 12-13-23

Print Name: Larry Goldstein

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Spencer McCombe, Architect Telephone #: 401-662-6338

Address: Cordtsen Design Architecture, 42 West Main Rd., Middletown, RI 02842



CORDTSEN DESIGN ARCHITECTURE, INC
42 West Main Rd • Middletown • RI
CordtsenDesign.com • 401.619.4689

Grounds for Requested Variance for Bristol Harbor Inn, 267 Thames Street, Bristol RI

Variance requested for 8 Additional Rooming Units

1. The applicant is requesting dimensional relief to add eight (8) new hotel rooming units to the 3rd floor of this building, to bring the hotel use on this parcel up to a total of 71 rooming units, which would require 106,500 square feet of lot area. This lot contains approximately 74,488 square feet of lot area; so the variance requested with respect to lot area per rooming unit is 32,012 square feet. The variance would provide for 1,049 square feet per rooming unit rather than the required 1,500 square feet for a variance of 451 square feet per rooming unit. (A variance allowing 1,182 square feet per rooming unit, and 126,000 square feet of lot area, was approved on 09-27-2018 when the required square footage per rooming unit was 2,000 square feet.) The reason the applicant requires dimensional relief is that there are hardships that exist due to unique characteristics of the subject land and their structures located on the property, and not to the general character of the surrounding area. The unique characteristics of the subject land and structures are that this entire mixed-use development is comprised of largely historic colonial buildings, including a former warehouse building converted into a restaurant. It is a very unique setup that is densely developed out, that is mixed-use in nature, and is limited in terms of what can be done with it. The section of the building being considered for the variance -- a portion of the 3rd floor of the main hotel building -- has existing egress and circulation without the 4 rooms on each side. The parcel shares parking with other businesses and that arrangement works well for all parties. No additional parking would be required according to our calculations.
2. The hardship is not the result of any prior action on the part of the applicant. The physical layout of the commercial space is what has been in place for a number of years. The applicant did not build these colonial buildings but is trying to make the best use of them not only for their own benefit, but for the benefit of the unique historic downtown waterfront district, which is significantly important to the town's economic success. This is the only hotel in the East Bay which is significantly undersized. This hardship is not due to an economic disability on the part of the applicant or the desire to realize greater financial gain, but to make the best use of an underutilized area of the existing building. Although it is recognized that the applicant is in fact a business, and seeks to make a profit in the renting of additional hotel rooming units, the conversion of this space on the 3rd floor would contribute to the overall ability of the operator of the hotel to serve the needs of the community.
3. The granting of relief would not alter the general characteristics of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town of Bristol. From the exterior there will be a small change in appearance to the building, as approved by the Historic District Commission on 09-07-2023. It will not impair the intent of the Town's Comprehensive Plan, which

CORDTSEN DESIGN ARCHITECTURE, inc

identifies the need for more economic activity and in particular the available hotel space to serve the tourist and hospitality business overall in the Town of Bristol.

4. The variance granted by the Board is the least relief from the provisions of the Zoning Ordinance necessary to remove the aforementioned hardship. The relief being requested is the least relief necessary and likely to be the last relief for hotel rooms that the applicant can ask for as there does not appear to be any more space that can be converted into hotel rooms, having converted some with previous variances.
5. The hardship that would be suffered by the owner if the dimensional variance were not granted would amount to more than a mere inconvenience, because the applicant would be unable to convert these existing upper floor spaces into additional rooming units, which will be a benefit to the community.



09/11/2023
02:09:01 PM
1 Pages

DECISION
Bk: 2223 Pg: 41
Instr: 2023-5900

TOWN HALL
10 COURT ST.
BRISTOL, RI
02809
401-253-7000



Bristol Historic District Commission
Decision Letter

September 8, 2023

TSL, LLC (Attn: Larry Goldstein)/
244 Gano St., Providence, RI 02906

RE: BHDC Review

259-267 Thames St, Bristol, RI (Bristol Harbor Inn)

Plat #9, Lot #40

Application 23-112

Dear Applicant:

At its September 7, 2023 meeting, the Bristol Historic District Commission reviewed your proposed work on the property noted above; the motion on your application was as follows:

To approve application 23-112 as presented to -

To approve application 23-112 as noted to add additional level to eastern wing of structure, windows to be approved by building official.

The Findings of Facts include that this decision conforms to the Secretary of the Interior's Standards for:

9 - New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Commission member **John M. Allen** will be your project monitor. If you need to speak with your monitor(s) or are ready for final review of the completed project please call me at Town Hall, 401-253-7000 x153, and I will contact them for you.

The Certificate of Appropriateness, referred to at the meeting as the "Green Sheet", is part of your permit and will be issued on approval. Work cannot begin, nor a building permit obtained, without your signing this document. Once signed and completed, a copy of the Certificate will be sent to you via the online permitting software, authorizing you to begin your work.

Sincerely,

Nicholas Toth

Planner/HDC Clerk

Received for record at Bristol, RI
9/11/2023 02:09:01 PM

Owner

Owner 1	TSL LLC	% Owned	0.00
Owner 2		% Owned	0.00
Owner 3		% Owned	0.00
Address 244 GANO ST, PROVIDENCE, RI 02906-0000			

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
MILES AVE. PROPERTY CO, LLC	09/09/2015	7,482,000	1816-343	K	W
MILES AVE. PROPERTY CO, LLC	10/05/1998	0	668-172		W
OCONNELL, J. REALTY CO.	12/10/1997	0	630-77		
COMMERCIAL FINANCE CORP. NEWPORT	01/01/1962	0	122-454		
PAULL, PRESCOTT B.	01/01/1952	0	122-453		

Assessment

Use Code	Bldg Value	SF/Yl Value	Land Size	Land Value	AG Credit	Assessed Value
06	5,508,000	6,000	1.71	2,250,300	0	7,764,300
TOTAL	5,508,000	6,000	1.71	2,250,300	0	7,764,300

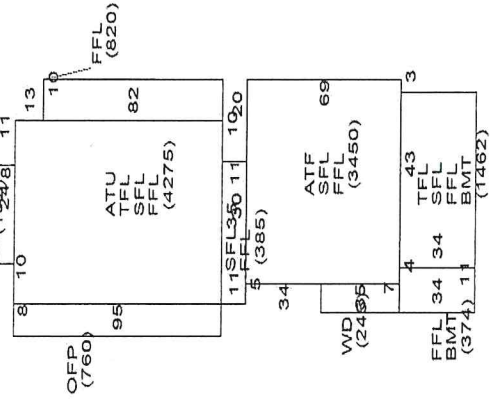
Source > Mkt Adj Cost VAL per SQ Unit/Card > 100.83 VAL per SQ Unit/Parcel > 111.08

Previous Assessments

Year	LUC	Building	SF/Yl	Land Size	Land Value	AGR Credit	Appraised Value	Assessed Value
2022	06	5,508,000	6,000	2	2,250,300	0	7,764,300	7,764,300
2021	06	5,624,200	6,000	2	2,319,900	0	7,950,100	7,950,100
2020	06	5,584,100	6,000	2	2,319,900	0	7,910,000	7,910,000
2019	06	5,584,100	6,000	2	2,319,900	0	7,910,000	7,910,000
2018	06	6,596,900	6,000	2	925,700	0	7,528,600	7,528,600
2017	06	6,552,500	6,000	2	925,700	0	7,484,200	7,484,200



Unsketched Subareas:



2022

267 THAMES ST

Land Information

Use	Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
1																				
2																				
3																				
4																				



Building Information

Description	Hotels	Story Height	Description
BLDG Type	0	3 Story	3 Story
RES Units	0	COM Units	40
Foundation		BMT Floor	
Frame 1	Wood	Frame 2	%
EXT Wall 1	Clapboard	EXT Wall 2	%
Roof Type 1	Gable	Roof Type 2	%
Roof Cover 1	Asphalt Shir	Roof Cover 2	%
INT Wall 1	Plaster	INT Wall 2	%
Floors 1		Floors 2	%

Other Factors

Grade	Q3+	Q3+	Flood Hazard
Year Built	1900	EFF Year	2004
Alt LUC		Alt %	0.00
Topography		Street	PAVED
Bas \$/SQ		Size Adj	110.00
Constr Adj		Adj \$/SQ	0.79
Condition	GD - Good	13.0	0.93
Functional	-	0.0	80.80
Economic	-	0.0	295,740
Special	-	0.0	1.50
OV	-	0.0	1.00
Adj Total			3,966,612
Depreciation			515,660
Depr Total			3,450,952

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	10,958	#####	80.80	885,407
SFL	2nd FLOOR	9,764	9,764	80.80	788,932
TFL	3rd FLOOR	5,737	5,737	80.80	463,550
FBMC	COMM FIN BSM	1,836	1,836	28.28	51,922
ATF	FIN ATTIC	1,380	1,380	80.80	111,504
OPF	OPEN PORCH	760	0	9.79	7,440
ATU	UNF ATTIC	1,710	0	8.08	13,817
WD	WOOD DECK	245	0	15.70	3,847
BMT	BASEMENT	1,836	0	12.12	22,252
Total		34,226	#####		2,348,671

Visit History

Date	Result	By
10/20/2021	REVIEW	AD
10/5/2018	REVIEW	JH
8/29/2018	MEASURED	JE
5/26/2015	ADJ-HEARIN	RN
1/11/2008	MEASURE	
1/11/2008	LISTED	
1/10/2008	MEASURE	
1/10/2008	LISTED	
1/10/2008	MEASURE	

Notes

BRISTOL HARBOR INN

Remodeling History

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	2

Building Permits

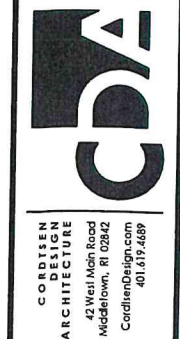
Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	40	1	U
2			
3			
4			
Totals	40	40	



PROGRESS PRINT
DATE: _____
NOT FOR CONSTRUCTION

REVISIONS:

DESCRIPTION:
SITE PLAN

SCALE: AS NOTED

DATE: 08-09-2023

NHG BRISTOL
HARBOR INN
259 THAMES STREET, BRISTOL RI 02809

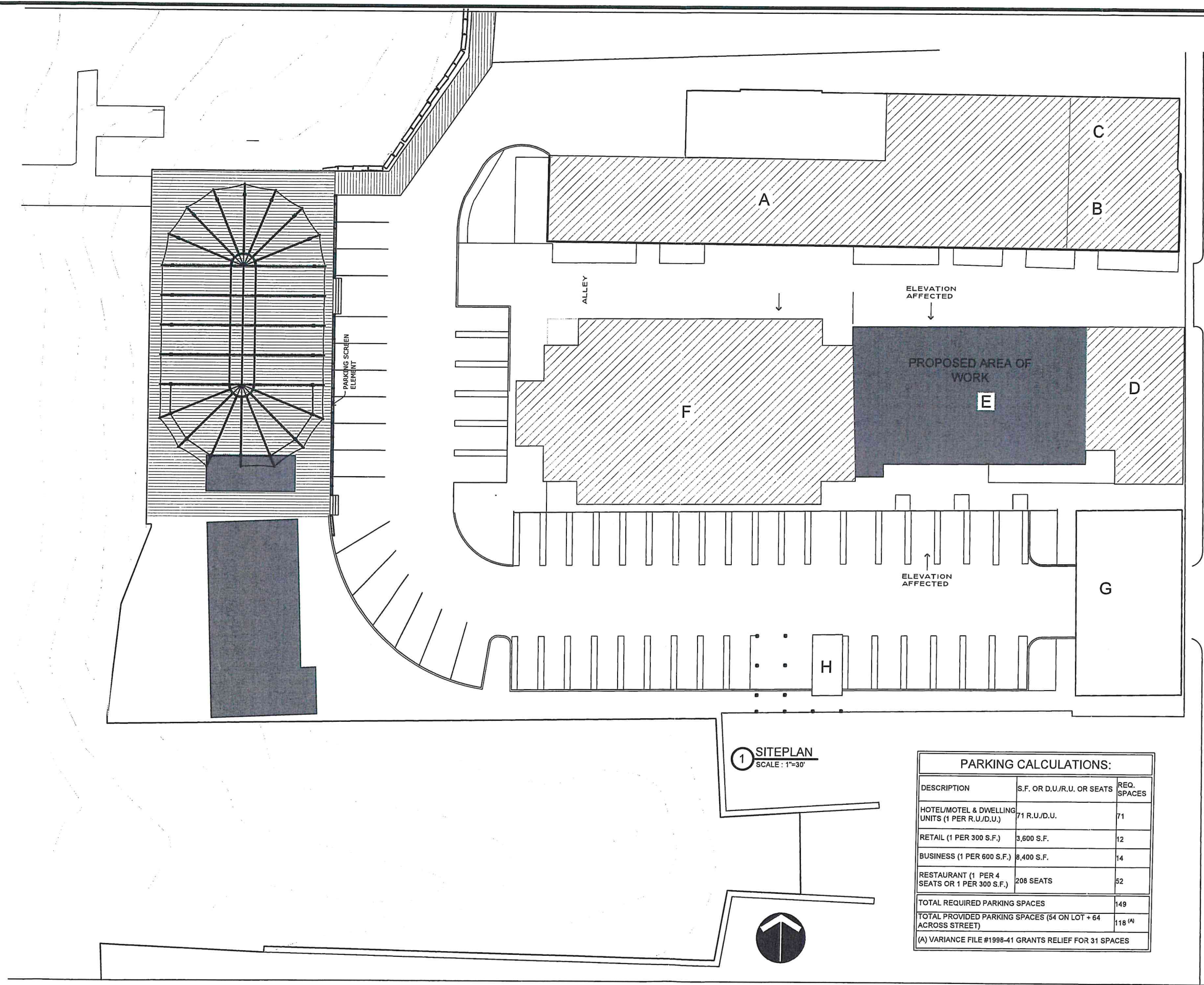
A0.1

BUILDING LEGEND:

- A Existing-James DeWolf Warehouse
- B Existing-Byron Diman's Counting House
- C Existing-William Taylor's Store
- D Existing/New-Bank of Bristol
- E Existing Bank of Bristol Addition
- F Existing Former Coal and Lumber Building
- G Existing Arch Building
- H Bike/Retail/Office
- I Existing-Wholesale Seafood
- J Existing Office Building
- K Boardwalk/Wedding Deck Office Building

PARKING CALCULATIONS:		
DESCRIPTION	S.F. OR D.U./R.U. OR SEATS	REQ. SPACES
HOTEL/MOTEL & DWELLING UNITS (1 PER R,U/D,U.)	71 R,U/D,U.	71
RETAIL (1 PER 300 S.F.)	3,600 S.F.	12
BUSINESS (1 PER 600 S.F.)	8,400 S.F.	14
RESTAURANT (1 PER 4 SEATS OR 1 PER 300 S.F.)	208 SEATS	52
TOTAL REQUIRED PARKING SPACES		149
TOTAL PROVIDED PARKING SPACES (54 ON LOT + 64 ACROSS STREET)		118 (A)
(A) VARIANCE FILE #1998-41 GRANTS RELIEF FOR 31 SPACES		

1 SITEPLAN
SCALE: 1"=30'



Thames Street

ALLEY

ELEVATION AFFECTED

ELEVATION AFFECTED

PROPOSED AREA OF WORK

PARKING SCREEN ELEMENT



CORBEN
DESIGN
ARCHITECTURE
42 West Main Road
Medford, RI 02842
CorbenDesign.com
401.879.6689

PROGRESS PRINT

DATE: _____
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REVISIONS:

DESCRIPTION:
FLOOR PLANS

SCALE: AS NOTED

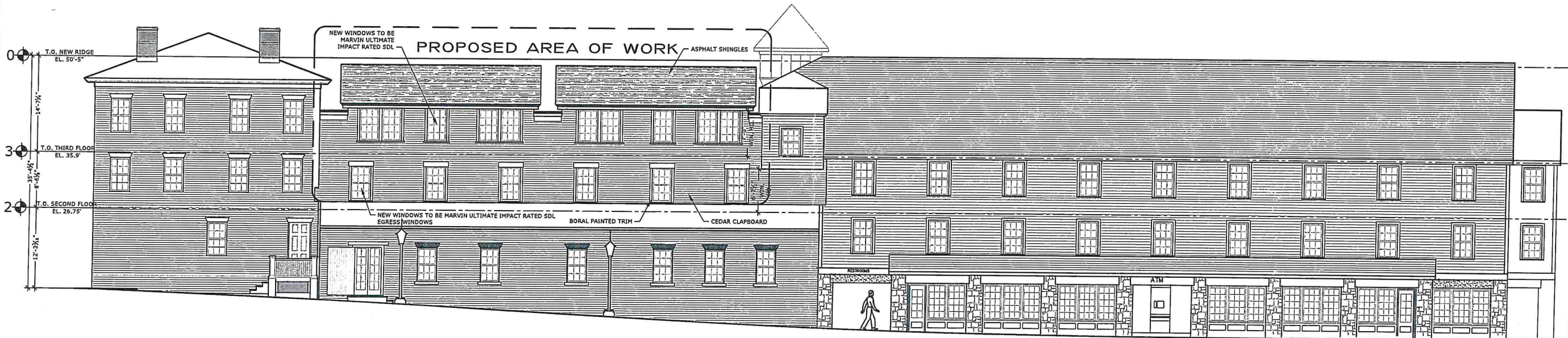
DATE: 07-07-2023

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HARBOR INN
259 THAMES STREET, BRISTOL RI 02809

A2.0



1 EXISTING NORTH ELEVATION
Scale: 1/16" = 1'-0"



2 PROPOSED NORTH ELEVATION
Scale: 1/16" = 1'-0"

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 Middletown, RI 02842
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DESCRIPTION:
 FLOOR PLANS
 SCALE: AS NOTED
 DATE: 07-07-2023

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 HARBOR INN
 259 THAMES STREET, BRISTOL RI 02809

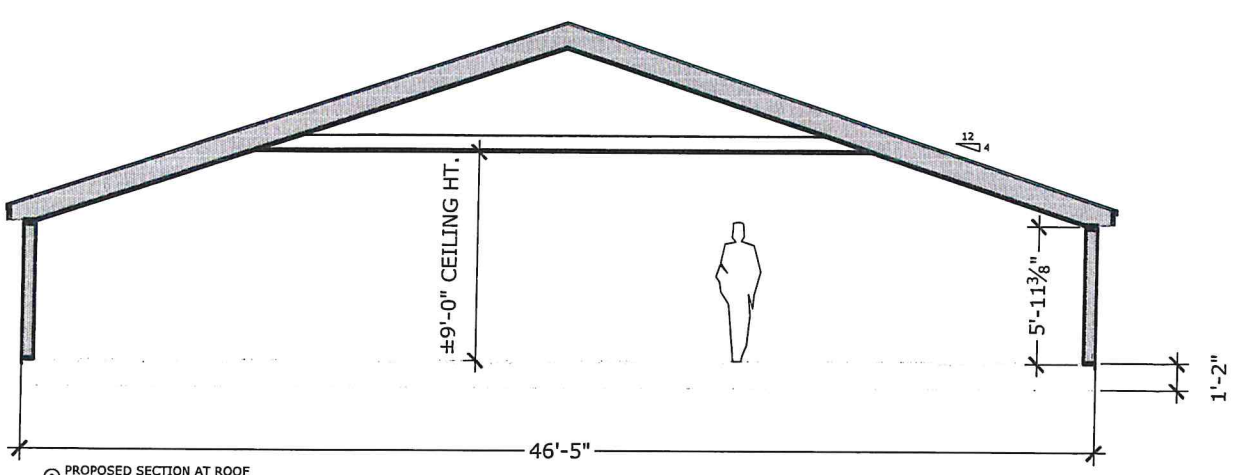
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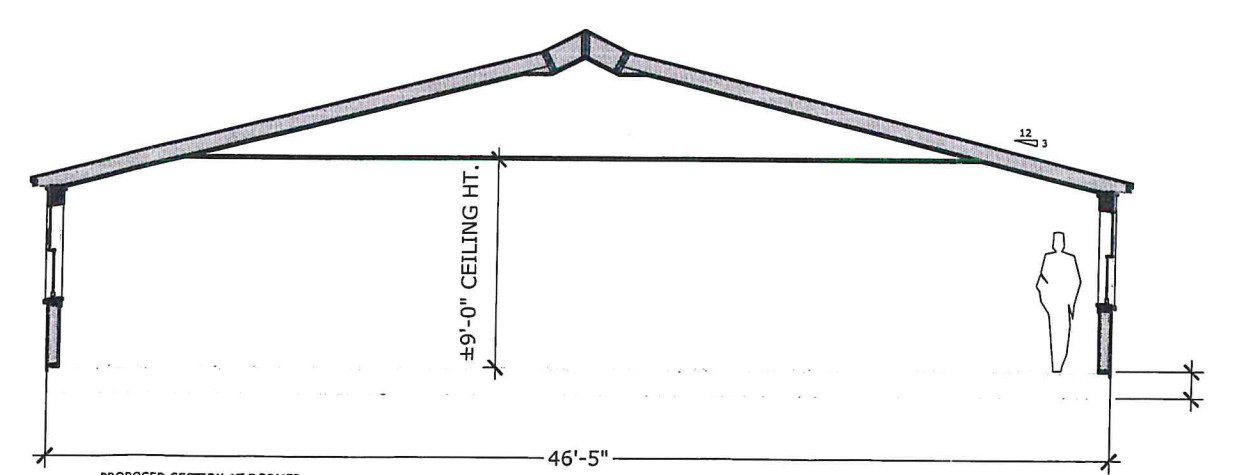
1 EXISTING SOUTH ELEVATION
 Scale: 1/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 Scale: 1/8" = 1'-0"

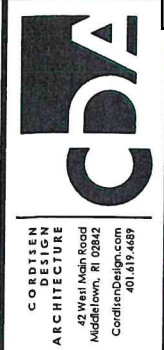


3 PROPOSED SECTION AT ROOF
 Scale: 1/4" = 1'-0"



4 PROPOSED SECTION AT DORMER
 Scale: 1/4" = 1'-0"

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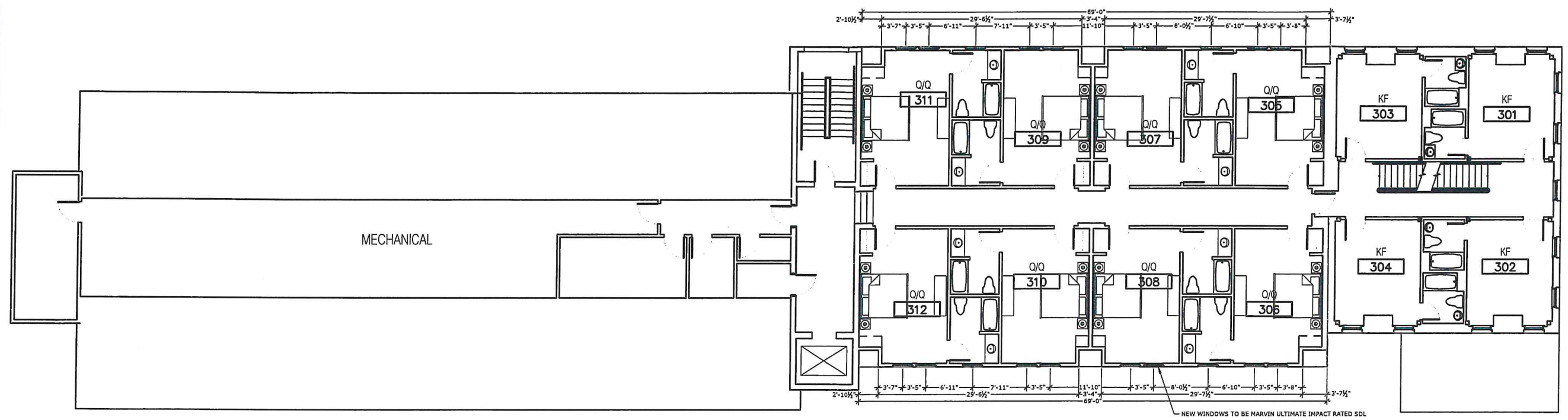
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REVISIONS:

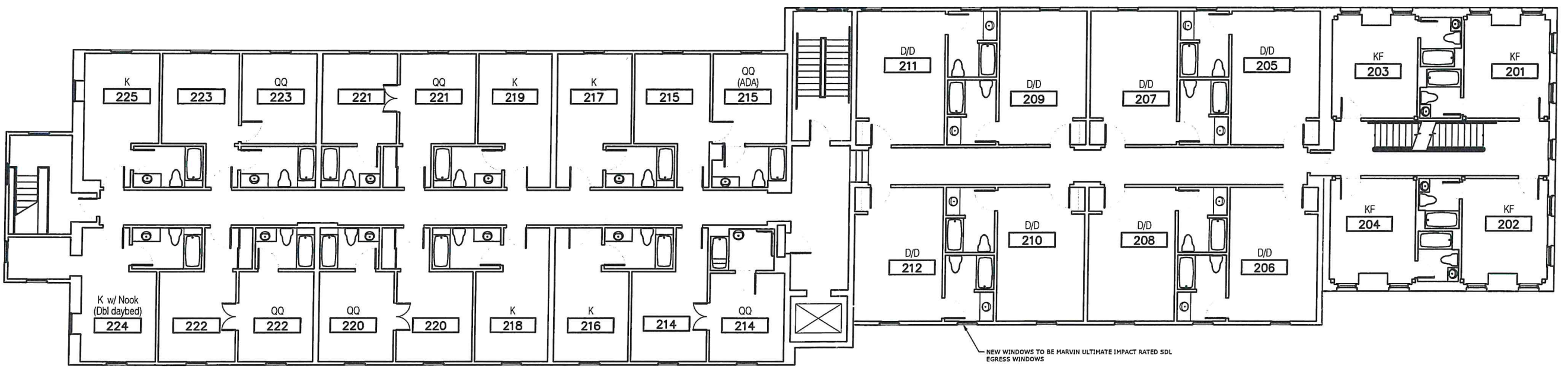
DESCRIPTION:
FLOOR PLANS
SCALE: AS NOTED
DATE: 07-07-2023

NHG BRISTOL
HARBOR INN
259 THAMES STREET, BRISTOL RI 02809

A2.2



1 PROPOSED THIRD FLOOR PLAN
Scale: 1/16" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"

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ARCHITECTURE
42 West Main Road
Middletown, RI 02842
CordtsenDesign.com
401.819.4689

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NOT FOR CONSTRUCTION

REVISIONS:

DESCRIPTION:
EXTERIOR PHOTO

SCALE: AS NOTED

DATE: 07-07-2023

NHG BRISTOL
HARBOR INN
259 THAMES STREET, BRISTOL RI 02809

A7.0



EXTERIOR PHOTO 1

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42 West Main Road
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401.817.4689

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SCALE: AS NOTED

DATE: 07-07-2023

NHG BRISTOL
HARBOR INN

259 THAMES STREET, BRISTOL RI 02809

A7.1

EXTERIOR PHOTO 2

DATE: 07-07-2023 10:00 AM
CORTISEN DESIGN ARCHITECTURE
42 WEST MAIN ROAD
MIDDLETOWN, RI 02842
CORTISENDIG.COM
401.817.4689
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267 Thames Street - 200' Radius

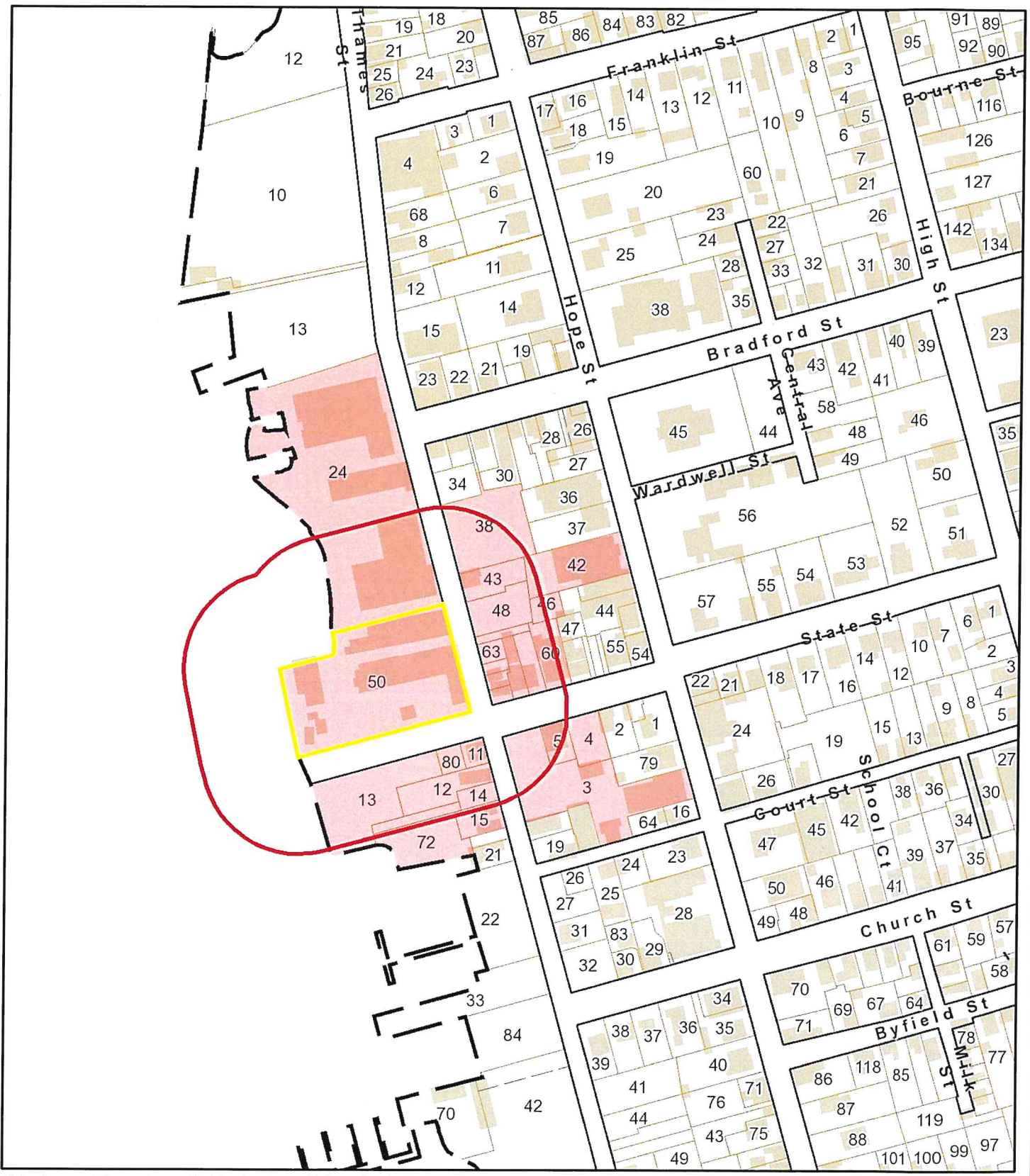
Bristol, RI



January 11, 2024

1 inch = 281 Feet

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200 foot Abutters List Report

Bristol, RI
January 11, 2024

Subject Property:

Parcel Number: 9-50
CAMA Number: 9-50
Property Address: 267 THAMES ST

Mailing Address: TSL LLC
244 GANO ST
PROVIDENCE, RI 02906

Abutters:

Parcel Number: 10-11
CAMA Number: 10-11
Property Address: 235 THAMES ST

Mailing Address: BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-001
Property Address: 227 THAMES ST- UNIT #1

Mailing Address: CARTWRIGHT, CORINNE M & PAUL B D
227 THAMES ST., UNIT 1
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-002
Property Address: 227 THAMES ST- UNIT #2

Mailing Address: OQUENDO, VIVIAN Y
227 THAMES ST, UNIT 2
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-003
Property Address: 227 THAMES ST- UNIT #3

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-004
Property Address: 227 THAMES ST UNIT #4

Mailing Address: COLOMBO, BRITT C & MARY L JT
227 THAMES ST
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-005
Property Address: 227 THAMES ST UNIT #5

Mailing Address: MATTHEWS, CHARLES C. TARA W. TE
223 OAKLAND BEACH AVE
RYE, NY 10580

Parcel Number: 10-12
CAMA Number: 10-12-006
Property Address: 227 THAMES ST -UNIT #6

Mailing Address: THAMES STREET, LLC
227 THAMES ST, Unit 6
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-007
Property Address: THAMES ST

Mailing Address: BALZANO, JOHN G & CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

Parcel Number: 10-12
CAMA Number: 10-12-008
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809

Parcel Number: 10-12
CAMA Number: 10-12-009
Property Address: THAMES ST

Mailing Address: OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
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Parcel Number: 10-13 CAMA Number: 10-13 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 10-14 CAMA Number: 10-14 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-15 CAMA Number: 10-15 Property Address: 211 THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-001 Property Address: 423 HOPE ST 1A	Mailing Address: MCKAY, SUSAN ANDON, TRUSTEE SUSAN ANDON MCKAY LIVING TRUST 186 OAKLAND ST WELLESLEY, MA 02481
Parcel Number: 10-3 CAMA Number: 10-3-002 Property Address: 423 HOPE ST 2B	Mailing Address: HAYES, MATTHEW D TRUSTEE MATTHEW D HAYES REV TRUST 423 HOPE ST UNIT B BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-003 Property Address: 423 HOPE ST 3C	Mailing Address: THOMPSON, RICHARD J - TRUSTEE RICHARD J THOMPSON TRUST 423 HOPE ST, UNIT C BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-004 Property Address: 423 HOPE ST 4D	Mailing Address: SMITH, DEBORAH ROSE & ALLEN, CHRISTOPHER TE 423 HOPE ST, UNIT D BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-005 Property Address: 423 HOPE ST 5E	Mailing Address: WARNER, GARY W & MURRAY, CATHERINE I JT PO BOX 808 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-006 Property Address: 423 HOPE ST 6F	Mailing Address: NICHOLSON, TODD & 423 HOPE ST UNIT 6F BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-007 Property Address: 423 HOPE ST 7G	Mailing Address: CLARK, ALLEN M. & CLARK, WHITNEY O. TRUSTEES 423 HOE ST, UNIT G BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-008 Property Address: 423 HOPE ST 8H	Mailing Address: MACDONALD, JAMES C 423 HOPE ST, UNIT H BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-010 Property Address: 423 HOPE ST 10J	Mailing Address: SCOTT, WENDELL O & PATRICIA C TE 700 MOUNTAIN AVE WESTFIELD, NJ 07090



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Parcel Number: 10-3 CAMA Number: 10-3-011 Property Address: 423 HOPE ST 11K	Mailing Address: PAGE, ROBERT W & MYRA M, TRUSTEES PAGE FAMILY TRUST 423 HOPE ST, Unit K BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-012 Property Address: 423 HOPE ST 12L	Mailing Address: MATRONE, SANTA W JR TRUSTEE SANTA W MATRONE JR DEC TRUST 423 HOPE ST UNIT L-12 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-013 Property Address: 423 HOPE ST 13M	Mailing Address: SAILOR, LLC 423 HOPE ST, Unit 13M BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-014 Property Address: 423 HOPE ST 14N	Mailing Address: SHAPIRO, DEBORA WEST 423 HOPE ST, Unit UNIT 14N BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-016 Property Address: 423 HOPE ST 16P	Mailing Address: BOWMAN, GREGORY W 423 HOPE ST, UNIT P BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-017 Property Address: JOHN ST 1	Mailing Address: FIXSEN, WILLIAM 25 MARCONI DR RANDOLPH, MA 02368
Parcel Number: 10-3 CAMA Number: 10-3-018 Property Address: JOHN ST 2	Mailing Address: TOPPA, JOHNA M 44 LINCOLN AVE ATTLEBORO, MA 02703
Parcel Number: 10-3 CAMA Number: 10-3-019 Property Address: 15 JOHN ST 1	Mailing Address: POLLOCK, JORDAN 15 JOHN ST, UNIT 1 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-020 Property Address: 17 JOHN ST 2	Mailing Address: MCRAE, BEVERLY SMITH & JOSEPH KEITH TE 17 JOHN ST, UNIT 2 BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-021 Property Address: 423 HOPE ST 21U	Mailing Address: NAT PROPERTIES, LLC 26 PATRICIA ANN DR BRISTOL, RI 02809
Parcel Number: 10-3 CAMA Number: 10-3-022 Property Address: 423 HOPE ST 22V	Mailing Address: 423 HOPE ST REDEVELOPMENT, LLC C/O ACROPOLIS PROPERTY MANAGEMENT 423 HOPE ST BRISTOL, RI 02809
Parcel Number: 10-4 CAMA Number: 10-4 Property Address: STATE ST	Mailing Address: TOWN OF BRISTOL STATE STREET 10 COURT ST BRISTOL, RI 02809



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Parcel Number: 10-5 CAMA Number: 10-5-001 Property Address: 18 20 STATE ST 1	Mailing Address: NEW LEAF REALTY, LLC COMMERCIAL UNITS 1 & 2 18-20 STATE ST BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-002 Property Address: 18 20 STATE ST 2	Mailing Address: NEW LEAF REALTY, LLC COMMERCIAL UNITS 1 & 2 18-20 STATE ST BRISTOL, RI 02809
Parcel Number: 10-5 CAMA Number: 10-5-003 Property Address: 18 20 STATE ST 3	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-5 CAMA Number: 10-5-004 Property Address: 18 20 STATE ST 4	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-5 CAMA Number: 10-5-005 Property Address: 18 20 STATE ST 5	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-5 CAMA Number: 10-5-006 Property Address: 18 20 STATE ST 6	Mailing Address: EIGHTEEN TWENTY, LLC 52 TALCOTT ST BARRINGTON, RI 02806
Parcel Number: 10-69 CAMA Number: 10-69 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-72 CAMA Number: 10-72 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL VACANT LAND 10 COURT ST. BRISTOL, RI 02809
Parcel Number: 10-80 CAMA Number: 10-80 Property Address: THAMES ST	Mailing Address: BOZARTH, PETER 235 THAMES ST BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-001 Property Address: 345 THAMES ST 101N	Mailing Address: JOHNSON, PETER T & ANDREA R TE 345 THAMES ST UNIT N101 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-002 Property Address: 345 THAMES ST 102N	Mailing Address: SAUL, DEBRA A 345 THAMES ST # 102 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-003 Property Address: 345 THAMES ST 103N	Mailing Address: SB2, LLC 345 THAMES ST, UNIT N-110 BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-004 Property Address: 345 THAMES ST 104N	Mailing Address: BARRENECHEA, MARIO I. & ANA MARIA G. TE 345 THAMES ST UNIT N104 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-005 Property Address: 345 THAMES ST 105N	Mailing Address: WAYLAND WILLIAM F & LORNA E TRUSTEES REVOC 345 THAMES ST UNIT 105 N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-006 Property Address: 345 THAMES ST 106N	Mailing Address: DEMARCO, MICHAEL D. ELIZABETH M. TE 345 THAMES ST UNIT 106N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-008 Property Address: 345 THAMES ST 108N	Mailing Address: CHRISTOPHER, JANET E TRUSTEE CHRISTOPHER FAMILY TRUST 345 THAMES ST #108 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-009 Property Address: 345 THAMES ST 109N	Mailing Address: HURST, JAMES WILLIAM & RANDELLE LEE, TRUSTEES HURST FAMILY 2012 TRUST 345 THAMES ST, Unit N109 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-010 Property Address: 345 THAMES ST 110N	Mailing Address: HOLLAND, JOYCE A. 345 THAMES ST UNIT 110N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-011 Property Address: 345 THAMES ST 201N	Mailing Address: BUNN, JAMES BENNING SR & BUNN, JACQUELINE BRYAN TE 141A Main St Tuckahoe, NY 10707
Parcel Number: 9-24 CAMA Number: 9-24-012 Property Address: 345 THAMES ST 202N	Mailing Address: KUFFNER, TAMARA 9 WALNUT RD BARRINGTON, RI 02806
Parcel Number: 9-24 CAMA Number: 9-24-013 Property Address: 345 THAMES ST 203N	Mailing Address: SHERMAN, MAX CHRISTOPHER & MARY B. TE 746 SPINNAKER BEACHHOUSE VILLA SEABROOK ISLAND, SC 29456
Parcel Number: 9-24 CAMA Number: 9-24-014 Property Address: 345 THAMES ST 204N	Mailing Address: BERNARDO, MATTHEW P 345 THAMES ST, UNIT 204N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-015 Property Address: 345 THAMES ST 205N	Mailing Address: MCSTAY, JAMES P. CHERYL A. ETUX TE 345 THAMES ST UNIT 205N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-016 Property Address: 345 THAMES ST 206N	Mailing Address: OBRIEN, MICHAEL T. DENISE E. TE 345 THAMES ST UNIT 206N BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-017 Property Address: 345 THAMES ST 207N	Mailing Address: CAPODILUPO, PETER & JENNIFER C 345 Thames St Unit 207 Bristol, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-018 Property Address: 345 THAMES ST 208N	Mailing Address: FITZPATRICK, CAROL A., TRUSTEE CAROL A FITZPATRICK REVOCABLE TRUST 345 THAMES ST, UNIT 208N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-019 Property Address: 345 THAMES ST 209N	Mailing Address: SARKISIAN, HERBERT A. JANET E. TE 345 THAMES ST UNIT N209 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-020 Property Address: 345 THAMES ST 210N	Mailing Address: FEINS, NEIL R & CHRISTINE TRUSTEES 19 MARSHAL ST BROOKLINE, MA 02446
Parcel Number: 9-24 CAMA Number: 9-24-021 Property Address: 345 THAMES ST 301N	Mailing Address: ROSS, MICHAEL C & ASTRID L TRUSTEES 363 ADAMS ST DENVER, CO 80206
Parcel Number: 9-24 CAMA Number: 9-24-022 Property Address: 345 THAMES ST 302N	Mailing Address: ZELINGER, ELIZABETH A & GERALD D TE 345 THAMES ST UNIT N302 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-023 Property Address: 345 THAMES ST 303N	Mailing Address: SHAMS, NICOLE 345 THAMES ST., UNIT N-303 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-024 Property Address: 345 THAMES ST 304N	Mailing Address: PHILLIPS, JOHN S & KIMBERLY L TE 345 THAMES ST 304N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-025 Property Address: 345 THAMES ST 305N	Mailing Address: HANKIN, ROBERT B & CHERYL B, TRUSTEES ROBERT B & CHERYL B HANKIN TRUST TC 56 RAMBLING DR SCOTCH PLAINS, NJ 07076-2955
Parcel Number: 9-24 CAMA Number: 9-24-026 Property Address: 345 THAMES ST 306N	Mailing Address: LI, HSI-CHENG TRUSTEE 345 THAMES ST UNIT N306 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-027 Property Address: 345 THAMES ST 307N	Mailing Address: SUTTON, HOWARD G & KIMBERLY G P TE 14685 KELSON CIRCLE NAPLES, FL 34114
Parcel Number: 9-24 CAMA Number: 9-24-028 Property Address: 345 THAMES ST 308N	Mailing Address: FRIDOVICH, SHEILA CONSTANCE TR 345 THAMES ST # N308 BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-029 Property Address: 345 THAMES ST 309N	Mailing Address: RIPP, PETER & MARI TRUSTEES 345 THAMES ST UNIT N309 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-030 Property Address: 345 THAMES ST 310N	Mailing Address: BUSCH, ROBERT S. (1/2) TRUSTEE & BUSCH, KATHLEEN B. (1/2) TRUSTEE 52 BENTWOOD COURT EAST ALBANY, NY 12203
Parcel Number: 9-24 CAMA Number: 9-24-031 Property Address: 345 THAMES ST 401N	Mailing Address: LOUISE I. PLACIDO IRREVOCABLE TRUST KAUFMAN, BRETT A. TRUSTEE 345 THAMES ST, Unit 401N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-032 Property Address: 345 THAMES ST 402N	Mailing Address: PINK, LOIS & ANDREW TRUSTEES 345 THAMES ST UNIT402N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-033 Property Address: 345 THAMES ST 403N	Mailing Address: BOLTON, ALICE C & FOREST E TE 345 THAMES ST UNIT 403N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-034 Property Address: 345 THAMES ST 404N	Mailing Address: VAN DEVENTER, MARY P. & BRENNAN, KIMBERLY C. TRUSTEES 345 THAMES ST, UNIT 404N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-035 Property Address: 345 THAMES ST 405N	Mailing Address: FLORIO, IRENE M TRUSTEE IRENE M FLORIO TRUST 345 THAMES ST UNIT 405N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-036 Property Address: 345 THAMES ST 406N	Mailing Address: JACKSON, LISA R 345 THAMES ST, UNIT N-406 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-037 Property Address: 345 THAMES ST 407N	Mailing Address: RHODE, GRANT F & KATZ, JUDITH TRUSTEES 345 THAMES ST UNT 407N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-038 Property Address: 345 THAMES ST 408N	Mailing Address: ROWE, ABIGAIL CAMPBELL & DAY, SARAH CAMPBELL TRUSTEES 215 COTTONTAIL DRIVE PORTSMOUTH, RI 02871
Parcel Number: 9-24 CAMA Number: 9-24-039 Property Address: 345 THAMES ST 409N	Mailing Address: MARTIN, WILLIAM R & JOAN P TRUSTEES 345 THAMES ST UNIT 409N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-040 Property Address: 345 THAMES ST 410N	Mailing Address: CASTRIOTTA, LAURA J - TRUSTEE LAURA J CASTRIOTTA TRUST 345 THAMES ST, UNIT N410 BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-041 Property Address: 345 THAMES ST 501N	Mailing Address: DAVIDSON, ASIA MARIA 345 THAMES ST, UNIT 501N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-042 Property Address: 345 THAMES ST 502N	Mailing Address: DUNN, JOHN G. JR TRUSTEE 345 THAMES ST UNIT N502 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-043 Property Address: 345 THAMES ST 503N	Mailing Address: WANG, YINGFEI 59 CRESTVIEW RD MILTON, MA 02186
Parcel Number: 9-24 CAMA Number: 9-24-044 Property Address: 345 THAMES ST 504N	Mailing Address: SUGARMAN, LOUIS TRST ETAL JT MARAGHY, PAUL 345 THAMES ST UNIT 504N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-045 Property Address: 345 THAMES ST 505N	Mailing Address: CHAMPAGNE, MICHEALA J. 345 THAMES ST UNIT 505N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-046 Property Address: 345 THAMES ST 506N	Mailing Address: LUCINI, GREGORY L & PATRICIA A TE 345 THAMES ST UNIT 506N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-047 Property Address: 343 THAMES ST 101M	Mailing Address: SPANG, HENRY A IV & LINDA TE 343 THAMES ST UNIT M-101 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-048 Property Address: 343 THAMES ST 102M	Mailing Address: HICKEY, MICHAEL J. & KATHLEEN O. TRUSTEES 74 CARNEGIE HEIGHTS DR PORTSMOUTH, RI 02871
Parcel Number: 9-24 CAMA Number: 9-24-049 Property Address: 343 THAMES ST 103M	Mailing Address: RATFORD, VINCENT MARGUERITE TE 343 THAMES ST UNIT 103M BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-050 Property Address: 343 THAMES ST 104M	Mailing Address: ISRAEL, SCOTT & JAFFE, ALICE TE 88 ABBOT ST ANDOVER, MA 01810
Parcel Number: 9-24 CAMA Number: 9-24-051 Property Address: 343 THAMES ST 301M	Mailing Address: CIVALE, CHRISTOPHER J & BELLAMY, KARA E TRUSTEES 343 THAMES ST # M 301 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-052 Property Address: 343 THAMES ST 302M	Mailing Address: FETTER, JANET M TRUSTEE JANET M FETTER TRUST 343 THAMES ST 302M BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-053 Property Address: 343 THAMES ST 303M	Mailing Address: GOODNOW, CHRISTOPHER & ANDREA TE 343 THAMES ST, UNIT M-303 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-054 Property Address: 343 THAMES ST 304M	Mailing Address: NASTRO, KIMBERLY & DAVID TE 29 WEST 85th ST, APT 3 NEW YORK, NY 10024
Parcel Number: 9-24 CAMA Number: 9-24-055 Property Address: 341 THAMES ST 101S	Mailing Address: KITS VAN HEYNINGEN, ROBERT W. DEBRA A TE 18 FESSER AVE BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-056 Property Address: 341 THAMES ST 102S	Mailing Address: JON JACQUELINE JORDAN RP TRUST 6924 HICKORY HILL AVE MCLEAN, VA 22101
Parcel Number: 9-24 CAMA Number: 9-24-057 Property Address: 341 THAMES ST 103S	Mailing Address: JACKSON, DEBRA P 174 PINE GLEN DR EAST GREENWICH, RI 02818
Parcel Number: 9-24 CAMA Number: 9-24-058 Property Address: 341 THAMES ST 104S	Mailing Address: LUDLOW, LYNN LEE & LAWRENCE, JAMES S ESQ TRUSTEES-ABRAMSON & LUDLOW TRUST 341 THAMES ST, UNIT 104S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-059 Property Address: 341 THAMES ST 105S	Mailing Address: FALTEN, PAUL J. & CAROL MILLIAN TE 341 THAME ST, Unit 105S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-060 Property Address: 341 THAMES ST 106S	Mailing Address: LEIBOWITZ, DAVID E & PEGGY A TE 341 THAMES ST UNIT 106S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-061 Property Address: 341 THAMES ST 107S	Mailing Address: BERKELEY, DUNCAN & AMY TE 67 CENTRAL ST GEORGETOWN, MA 01833
Parcel Number: 9-24 CAMA Number: 9-24-062 Property Address: 341 THAMES ST 108S	Mailing Address: TETU, NORMAND P GINNY L. TE 190 BICENTENNIAL DR HOOKSETT, NH 03106
Parcel Number: 9-24 CAMA Number: 9-24-063 Property Address: 341 THAMES ST 109S	Mailing Address: SAWYER, MICHAEL 341 THAMES ST, UNIT 109S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-064 Property Address: 341 THAMES ST 110S	Mailing Address: LEENUTAPHONG, DEBORAH LYNN & NARUEKORN TRUSTEES 341 THAMES ST UNIT S110 BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-065 Property Address: 341 THAMES ST 201S	Mailing Address: LAPOINTE, WILLIAM H. & LAPOINTE, DONNE M. TRUSTEES 3756 JUNGLE PLUM DR E NAPLES, FL 34114
Parcel Number: 9-24 CAMA Number: 9-24-066 Property Address: 341 THAMES ST 202S	Mailing Address: BOUCHARD, KENNETH & RIKKI HANSEN - TRUSTEES KENNETH P & RIKKI HANSEN BOUCHARD TRUSTS 25 RELIANCE DR BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-067 Property Address: 341 THAMES ST 203S	Mailing Address: OZTERMIYECI, MUSTAFA MURAT & MATOOK, DEBORAH JOY TE 341 THAMES ST UNIT S203 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-068 Property Address: 341 THAMES ST 204S	Mailing Address: CAMOSCI, ROBERT E & GAIL D TE 341 THAMES ST UNIT 204S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-069 Property Address: 341 THAMES ST 205S	Mailing Address: KAWAOKA, ERIC J & ESTA TRUSTEES FAMILY TRUST 341 THAMES ST 205S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-070 Property Address: 341 THAMES ST 206S	Mailing Address: BRAVE, ILENE E & DENNIS G - TRUSTEES ILENE E BRAVE TRUST PO BOX 906 BROOKLANDVILLE, MD 21022
Parcel Number: 9-24 CAMA Number: 9-24-071 Property Address: 341 THAMES ST 207S	Mailing Address: PETERSON, JEFFREY 519 GREGORY AVE WILMETTE, IL 60091
Parcel Number: 9-24 CAMA Number: 9-24-072 Property Address: 341 THAMES ST 208S	Mailing Address: GARRITY, JOHN 341 THAMES ST, UNIT 208S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-073 Property Address: 341 THAMES ST 209S	Mailing Address: FAY, PAUL D & CURTIS, JULIE M TE 1443 BEACON ST BROOKLINE, MA 02446
Parcel Number: 9-24 CAMA Number: 9-24-074 Property Address: 341 THAMES ST 210S	Mailing Address: GRAY, ROBERT C & PATRICIA A TRUSTEES 341 THAMES ST 210S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-075 Property Address: 341 THAMES ST 301S	Mailing Address: BRUNING, KARLA GANTZ, KATHLEEN 341 THAMES ST 301S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-076 Property Address: 341 THAMES ST 302S	Mailing Address: MORSE, ANN R. TRUSTEE ANN R. MORSE 1993 TRUST 341 THAMES ST 302 S BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-077 Property Address: 341 THAMES ST 303S	Mailing Address: MUSKET, DAVID B. 1655 BAY HARBOR LN SARASOTA, FL 34231
Parcel Number: 9-24 CAMA Number: 9-24-079 Property Address: 341 THAMES ST 305S	Mailing Address: REIG, VIBEKE G TRUSTEE VIBEKE REIG LIVING TRUST 341 THAMES ST UNIT S305 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-080 Property Address: 341 THAMES ST 306S	Mailing Address: LYNCH, JOHN J TRUSTEE 341 THAMES ST UNIT S306 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-081 Property Address: 341 THAMES ST 307S	Mailing Address: DEMARCO, GREGORY M. & AMY TRUSTEES 341 THAMES ST S-307 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-082 Property Address: 341 THAMES ST 308S	Mailing Address: WILKER, RICHARD E & WILKER, PHYLLIS BLOOM TRUSTEES 341 THAMES ST UNIT S-308 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-083 Property Address: 341 THAMES ST 309S	Mailing Address: KUBLIN, DONNA E & STANLEY B TR 341 THAMES ST UNIT 309S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-101 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O WILLIAM MARTIN 691 15TH AVE SOUTH NAPLES, FL 34102-7424
Parcel Number: 9-24 CAMA Number: 9-24-102 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O JOHNSON, PETER & ANDREA 345 THAMES ST UNIT N101 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-103 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. CHAMPAGNE, KEVIN & MICHAELA 4525 S. ATLANTIC AVE PORT ORANGE, FL 32177-7061
Parcel Number: 9-24 CAMA Number: 9-24-104 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. NASTRO, DAVID & KIM 343 THAMES ST M304 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-105 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MUSKET, DAVID B. 1655 BAY HARBOR LN SARASOTA, FL 34231
Parcel Number: 9-24 CAMA Number: 9-24-106 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. OZTERMIYECI, MUSTAFA M 341 THAMES ST S203 BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-107 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O VIBEKE REIG LIV TRUST 341 THAMES ST S305 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-108 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC RIPP, PETER & MARI 345 THAMES ST N309 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-109 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O GREG LUNCINI 345 THAMES ST, Unit N506 BRISTOL, RI 02809-4116
Parcel Number: 9-24 CAMA Number: 9-24-110 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MARIO BARRENECHEA 345 THAMES ST, Unit N104 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-111 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O ROBERT & PATRICIA GRAY 341 THAMES ST UNT S210 BRISTOL, RI 02809-2407
Parcel Number: 9-24 CAMA Number: 9-24-112 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O JOHN G DUNN 345 THAMES ST N502 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-113 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA LLC C/O KUBLIN, DONNA & STAN 341 THAMES ST 309S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-114 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O ROBERT B HANKIN TRUST 56 RAMBLING DR SCOTCH PLAINS, NJ 07076
Parcel Number: 9-24 CAMA Number: 9-24-115 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O CAPODILUPO, PETER & JENNIFER 345 THAMES ST UNIT 207 BRISTOL, 02809
Parcel Number: 9-24 CAMA Number: 9-24-116 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC JAMES & RANDELLE HURST 345 THAMES ST UNIT 109N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-117 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC TRUSTEES OF THE HURST FAMILY 345 THAMES ST 109N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-118 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. MICHAEL & DENISE O'BRIEN 345 THAMES ST 206N BRISTOL, RI 02809



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Parcel Number: 9-24 CAMA Number: 9-24-119 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC HERBERT & JANET SARKISIAN 345 THAMES ST N209 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-120 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O WILLIAM & DONNA LAPOINTE TRUSTEES 341 THAMES ST S201 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-121 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. GINNY & NORMAND TETU 190 BICENTENNIAL DR HOOKSETT, NH 03106-2702
Parcel Number: 9-24 CAMA Number: 9-24-122 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O ABRAMSON, SUSAN & EDWARD 341 THAMES ST UNT 104S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-123 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O BUSCH, ROBERT & KATHLEEN 52 BENTWOOD CT ALBANY, NY 12203-4810
Parcel Number: 9-24 CAMA Number: 9-24-124 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O MATTHEW BERNARDO 345 THAMES ST, Unit 204N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-125 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC BUSCH, ROBERT & KATHY 52 BENTWOOD CT ALBANY, NY 12203
Parcel Number: 9-24 CAMA Number: 9-24-126 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O NEIL & CHRISTINE FEINS 19 MARSHAL ST BROOKLINE, MA 02446-5418
Parcel Number: 9-24 CAMA Number: 9-24-127 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. C/O BRAVE, ILENE E. & DENNIS G. TRUSTEES 341 THAMES ST S206 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-128 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. LI, HSI- CHENG 345 THAMES ST UNT 306 N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-129 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. LI, HSI- CHENG 345 THAMES ST UNIT 306N BRISTOL, RI 02809-9195



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Parcel Number: 9-24 CAMA Number: 9-24-130 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O SHERMAN, MAX CHRISTOPHER & MARY B. 341 THAMES ST UNIT 205S BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-131 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC. JANET M FETTER REVOCABLE TRUST 1998 343 THAMES ST UNIT M302 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-132 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MICHAEL & DENISE O'BRIEN 345 THAMES ST 206N BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-133 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O JOHN S & KIMBERLY PHILLIPS 265 TWIN LAKES DR GETTYSBURG, PA 17325-8540
Parcel Number: 9-24 CAMA Number: 9-24-134 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O GRANT RHODE 345 THAMES ST N407 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-135 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC ARTHUR PLACIDO 345 THAMES ST N401 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-136 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O PAUL MARAGHY 345 THAMES ST, Unit N504 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-137 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA SPANG, AUSTIN & LINDA 343 Thames Street Unit M101 Bristol, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-138 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O CAMPBELL, MICHAEL 345 THAMES ST, UNIT N408 BRISTOL, RI 02809
Parcel Number: 9-24 CAMA Number: 9-24-139 Property Address: THAMES ST	Mailing Address: STONE HARBOUR MARINA, LLC C/O MARIO BARRENECHEA 345 THAMES ST, Unit N104 BRISTOL, RI 02809
Parcel Number: 9-38 CAMA Number: 9-38 Property Address: THAMES ST	Mailing Address: TSL LLC 244 GANO ST PROVIDENCE, RI 02906
Parcel Number: 9-42 CAMA Number: 9-42 Property Address: 515 HOPE ST	Mailing Address: FEDERAL PROPERTIES OF RI 328 HIGH ST BRISTOL, RI 02809



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Parcel Number: 9-43 CAMA Number: 9-43 Property Address: 282 THAMES ST	Mailing Address: GARVIN, GAIL & GEORGE E TC 282 THAMES ST BRISTOL, RI 02809
Parcel Number: 9-46 CAMA Number: 9-46 Property Address: HOPE ST	Mailing Address: FEDERAL PROPERTIES OF RI 328 HIGH ST BRISTOL, RI 02809
Parcel Number: 9-48 CAMA Number: 9-48 Property Address: THAMES ST	Mailing Address: FEDERAL PROPERTIES OF RI 328 HIGH ST BRISTOL, RI 02809
Parcel Number: 9-49 CAMA Number: 9-49 Property Address: 260 THAMES ST	Mailing Address: DANMOR REALTY, LLC 13 BAY RD WARREN, RI 02885
Parcel Number: 9-50 CAMA Number: 9-50 Property Address: 267 THAMES ST	Mailing Address: TSL LLC 244 GANO ST PROVIDENCE, RI 02906
Parcel Number: 9-60 CAMA Number: 9-60 Property Address: 29-31 STATE ST	Mailing Address: DANMOR REALTY, LLC 13 BAY RD WARREN, RI 02885
Parcel Number: 9-61 CAMA Number: 9-61 Property Address: 17 STATE ST	Mailing Address: FEDERAL PROPERTIES OF RI INC. PO BOX 27 BRISTOL, RI 02809
Parcel Number: 9-62 CAMA Number: 9-62 Property Address: 11 STATE ST	Mailing Address: 11 STATE STREET, LLC 116 PECK AVE BRISTOL, RI 02809
Parcel Number: 9-63 CAMA Number: 9-63 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 9-64 CAMA Number: 9-64 Property Address: THAMES ST	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 9-65 CAMA Number: 9-65 Property Address: 1 STATE ST	Mailing Address: STATE PROPERTIES LLC 1 STATE ST BRISTOL, RI 02809
Parcel Number: 9-74 CAMA Number: 9-74 Property Address: 246 THAMES ST	Mailing Address: RIVERS, ZACHARY N PO Box 964 Bristol, RI 02809



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11 STATE STREET, LLC
116 PECK AVE
BRISTOL, RI 02809

BRAVE, ILENE E & DENNIS G
ILENE E BRAVE TRUST
PO BOX 906
BROOKLANDVILLE, MD 21022

CIVALE, CHRISTOPHER J &
BELLAMY, KARA E TRUSTEES
343 THAMES ST # M 301
BRISTOL, RI 02809

423 HOPE ST REDEVELOPMENT
C/O ACROPOLIS PROPERTY
MANAGEMENT
423 HOPE ST
BRISTOL, RI 02809

BRUNING, KARLA
GANTZ, KATHLEEN
341 THAMES ST 301S
BRISTOL, RI 02809

CLARK, ALLEN M. &
CLARK, WHITNEY O. TRUSTEE
423 HOE ST, UNIT G
BRISTOL, RI 02809

BALZANO, JOHN G &
CHRISTINE R TE
82 NEWPORT RD
HULL, MA 02045

BUNN, JAMES BENNING SR &
BUNN, JACQUELINE BRYAN TE
141A Main St
Tuckahoe, NY 10707

COLOMBO, BRITT C &
MARY L JT
227 THAMES ST
BRISTOL, RI 02809

BARRENECHEA, MARIO I. & A
345 THAMES ST UNIT N104
BRISTOL, RI 02809

BUSCH, ROBERT S. (1/2) TR
BUSCH, KATHLEEN B. (1/2)
52 BENTWOOD COURT EAST
ALBANY, NY 12203

DANMOR REALTY, LLC
13 BAY RD
WARREN, RI 02885

BERKELEY, DUNCAN & AMY T
67 CENTRAL ST
GEORGETOWN, MA 01833

CAMOSCI, ROBERT E &
GAIL D TE
341 THAMES ST UNIT 204S
BRISTOL, RI 02809

DAVIDSON, ASIA MARIA
345 THAMES ST, UNIT 501N
BRISTOL, RI 02809

BERNARDO, MATTHEW P
345 THAMES ST, UNIT 204N
BRISTOL, RI 02809

CAPODILUPO, PETER & JENNI
345 Thames St Unit 207
Bristol, RI 02809

DEMARCO, GREGORY M. &
AMY TRUSTEES
341 THAMES ST S-307
BRISTOL, RI 02809

BOLTON, ALICE C & FOREST
345 THAMES ST UNIT 403N
BRISTOL, RI 02809

CARTWRIGHT, CORINNE M & P
227 THAMES ST., UNIT 1
BRISTOL, RI 02809

DEMARCO, MICHAEL D.
ELIZABETH M. TE
345 THAMES ST
UNIT 106N
BRISTOL, RI 02809

BOUCHARD, KENNETH & RIKKI
KENNETH P & RIKKI HANSEN
25 RELIANCE DR
BRISTOL, RI 02809

CASTRIOTTA, LAURA J - TRU
LAURA J CASTRIOTTA TRUST
345 THAMES ST, UNIT N410
BRISTOL, RI 02809

DUNN, JOHN G. JR TRUSTEE
345 THAMES ST UNIT N502
BRISTOL, RI 02809

BOWMAN, GREGORY W
423 HOPE ST, UNIT P
BRISTOL, RI 02809

CHAMPAGNE, MICHEALA J.
345 THAMES ST UNIT 505N
BRISTOL, RI 02809

EIGHTEEN TWENTY, LLC
52 TALCOTT ST
BARRINGTON, RI 02806

BOZARTH, PETER
235 THAMES ST
BRISTOL, RI 02809

CHRISTOPHER, JANET E TRUS
CHRISTOPHER FAMILY TRUST
345 THAMES ST #108
BRISTOL, RI 02809

FALTEN, PAUL J. &
CAROL MILLIAN TE
341 THAME ST, Unit 105S
BRISTOL, RI 02809

FAY, PAUL D &
CURTIS, JULIE M TE
1443 BEACON ST
BROOKLINE, MA 02446

GARVIN, GAIL &
GEORGE E TC
282 THAMES ST
BRISTOL, RI 02809

JACKSON, LISA R
345 THAMES ST, UNIT N-406
BRISTOL, RI 02809

FEDERAL PROPERTIES OF RI
328 HIGH ST
BRISTOL, RI 02809

GOODNOW, CHRISTOPHER & AN
343 THAMES ST, UNIT M-303
BRISTOL, RI 02809

JOHNSON, PETER T & ANDREA
345 THAMES ST UNIT N101
BRISTOL, RI 02809

FEDERAL PROPERTIES OF RI
PO BOX 27
BRISTOL, RI 02809

GRAY, ROBERT C & PATRICIA
341 THAMES ST 210S
BRISTOL, RI 02809

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JACQUELINE JORDAN RP TRUS
6924 HICKORY HILL AVE
MCLEAN, VA 22101

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CHRISTINE TRUSTEES
19 MARSHAL ST
BROOKLINE, MA 02446

HANKIN, ROBERT B & CHERYL
ROBERT B & CHERYL B HANKI
56 RAMBLING DR
SCOTCH PLAINS, NJ 07076-2955

KAWAOKA, ERIC J & ESTA TR
341 THAMES ST 205S
BRISTOL, RI 02809

FETTER, JANET M TRUSTEE
JANET M FETTER TRUST
343 THAMES ST 302M
BRISTOL, RI 02809

HAYES, MATTHEW D TRUSTEE
MATTHEW D HAYES REV TRUST
423 HOPE ST UNIT B
BRISTOL, RI 02809

KITS VAN HEYNINGEN, ROBER
DEBRA A TE
18 FESSER AVE
BRISTOL, RI 02809

FITZPATRICK, CAROL A., TR
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345 THAMES ST, UNIT 208N
BRISTOL, RI 02809

HICKEY, MICHAEL J. &
KATHLEEN O. TRUSTEES
74 CARNEGIE HEIGHTS DR
PORTSMOUTH, RI 02871

KUBLIN, DONNA E & STANLEY
341 THAMES ST UNIT 309S
BRISTOL, RI 02809

FIXSEN, WILLIAM
25 MARCONI DR
RANDOLPH, MA 02368

HOLLAND, JOYCE A.
345 THAMES ST UNIT 110N
BRISTOL, RI 02809

KUFFNER, TAMARA
9 WALNUT RD
BARRINGTON, RI 02806

FLORIO, IRENE M TRUSTEE
IRENE M FLORIO TRUST
345 THAMES ST UNIT 405N
BRISTOL, RI 02809

HURST, JAMES WILLIAM & RA
HURST FAMILY 2012 TRUST
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BRISTOL, RI 02809

LAPOINTE, WILLIAM H. &
LAPOINTE, DONNE M. TRUSTE
3756 JUNGLE PLUM DR E
NAPLES, FL 34114

FRIDOVICH, SHEILA CONSTAN
345 THAMES ST # N308
BRISTOL, RI 02809

ISRAEL, SCOTT & JAFFE, AL
88 ABBOT ST
ANDOVER, MA 01810

LEENUTAPHONG, DEBORAH LYN
NARUEKORN TRUSTEES
341 THAMES ST UNIT S110
BRISTOL, RI 02809

GARRITY, JOHN
341 THAMES ST, UNIT 208S
BRISTOL, RI 02809

JACKSON, DEBRA P
174 PINE GLEN DR
EAST GREENWICH, RI 02818

LEIBOWITZ, DAVID E &
PEGGY A TE
341 THAMES ST UNIT 106S
BRISTOL, RI 02809

LI, HSI-CHENG TRUSTEE
345 THAMES ST
UNIT N306
BRISTOL, RI 02809

MCRAE, BEVERLY SMITH & JO
17 JOHN ST, UNIT 2
BRISTOL, RI 02809

OZTERMIYECI, MUSTAFA M.
341 THAMES ST UNIT 203
BRISTOL, RI 02809

LOUISE I. PLACIDO IRREVOC
KAUFMAN, BRETT A. TRUSTEE
345 THAMES ST, Unit 401N
BRISTOL, RI 02809

MCSTAY, JAMES P.
CHERYL A. ETUX TE
345 THAMES ST UNIT 205N
BRISTOL, RI 02809

OZTERMIYECI, MUSTAFA MURA
MATOOK, DEBORAH JOY TE
341 THAMES ST UNIT S203
BRISTOL, RI 02809

LUCINI, GREGORY L &
PATRICIA A TE
345 THAMES ST UNIT 506N
BRISTOL, RI 02809

MORSE, ANN R. TRUSTEE
ANN R. MORSE 1993 TRUST
341 THAMES ST 302 S
BRISTOL, RI 02809

PAGE, ROBERT W & MYRA M,
PAGE FAMILY TRUST
423 HOPE ST, Unit K
BRISTOL, RI 02809

LUDLOW, LYNN LEE & LAWREN
TRUSTEES-ABRAMSON & LUDLO
341 THAMES ST, UNIT 104S
BRISTOL, RI 02809

MUSKET, DAVID B.
1655 BAY HARBOR LN
SARASOTA, FL 34231

PETERSON, JEFFREY
519 GREGORY AVE
WILMETTE, IL 60091

LYNCH, JOHN J TRUSTEE
341 THAMES ST UNIT S306
BRISTOL, RI 02809

NASTRO, KIMBERLY & DAVID
29 WEST 85th ST, APT 3
NEW YORK, NY 10024

PHILLIPS, JOHN S & KIMBER
345 THAMES ST 304N
BRISTOL, RI 02809

MACDONALD, JAMES C
423 HOPE ST, UNIT H
BRISTOL, RI 02809

NAT PROPERTIES, LLC
26 PATRICIA ANN DR
BRISTOL, RI 02809

PINK, LOIS &
ANDREW TRUSTEES
345 THAMES ST UNIT 402N
BRISTOL, RI 02809

MARTIN, WILLIAM R &
JOAN P TRUSTEES
345 THAMES ST UNIT 409N
BRISTOL, RI 02809

NEW LEAF REALTY, LLC
COMMERCIAL UNITS 1 & 2
18-20 STATE ST
BRISTOL, RI 02809

POLLOCK, JORDAN
15 JOHN ST, UNIT 1
BRISTOL, RI 02809

MATRONE, SANTA W JR TRUST
SANTA W MATRONE JR DEC TR
423 HOPE ST UNIT L-12
BRISTOL, RI 02809

NICHOLSON, TODD &
423 HOPE ST UNIT 6F
BRISTOL, RI 02809

RATFORD, VINCENT
MARGUERITE TE
343 THAMES ST UNIT 103M
BRISTOL, RI 02809

MATTHEWS, CHARLES C.
TARA W. TE
223 OAKLAND BEACH AVE
RYE, NY 10580

OBRIEN, MICHAEL T.
DENISE E. TE
345 THAMES ST UNIT 206N
BRISTOL, RI 02809

REIG, VIBEKE G TRUSTEE
VIBEKE REIG LIVING TRUST
341 THAMES ST UNIT S305
BRISTOL, RI 02809

MCKAY, SUSAN ANDON, TRUST
SUSAN ANDON MCKAY LIVING
186 OAKLAND ST
WELLESLEY, MA 02481

OQUENDO, VIVIAN Y
227 THAMES ST, UNIT 2
BRISTOL, RI 02809

RHODE, GRANT F & KATZ, JU
345 THAMES ST UNT 407N
BRISTOL, RI 02809

RIPP, PETER & MARI TRUSTE
345 THAMES ST UNIT N309
BRISTOL, RI 02809

SHAMS, NICOLE
345 THAMES ST., UNIT N-303
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O CAMPBELL, MICHAEL
345 THAMES ST, UNIT N408
BRISTOL, RI 02809

RIVERS, ZACHARY N
PO Box 964
Bristol, RI 02809

SHAPIRO, DEBORA WEST
423 HOPE ST, Unit UNIT 14N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O CAPODILUPO, PETER & J
345 THAMES ST UNIT 207
BRISTOL, 02809

ROSS, MICHAEL C &
ASTRID L TRUSTEES
363 ADAMS ST
DENVER, CO 80206

SHERMAN, MAX CHRISTOPHER
746 SPINNAKER BEACHHOUSE
VILLA
SEABROOK ISLAND, SC 29456

STONE HARBOUR MARINA, LLC
C/O GRANT RHODE
345 THAMES ST N407
BRISTOL, RI 02809

ROWE, ABIGAIL CAMPBELL &
DAY, SARAH CAMPBELL TRUST
215 COTTONTAIL DRIVE
PORTSMOUTH, RI 02871

SMITH, DEBORAH ROSE & ALL
423 HOPE ST, UNIT D
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O GREG LUNCINI
345 THAMES ST, Unit N506
BRISTOL, RI 02809-4116

SAILOR, LLC
423 HOPE ST, Unit 13M
BRISTOL, RI 02809

SPANG, HENRY A IV &
LINDA TE
343 THAMES ST UNIT M-101
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O JOHN G DUNN
345 THAMES ST N502
BRISTOL, RI 02809

SARKISIAN, HERBERT A.
JANET E. TE
345 THAMES ST UNIT N209
BRISTOL, RI 02809

STATE PROPERTIES LLC
1 STATE ST
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O JOHN S & KIMBERLY PHI
265 TWIN LAKES DR
GETTYSBURG, PA 17325-8540

SAUL, DEBRA A
345 THAMES ST # 102
BRISTOL, RI 02809

STONE HARBOUR MARINA
SPANG, AUSTIN & LINDA
343 Thames Street Unit M101
Bristol, RI 02809

STONE HARBOUR MARINA, LLC
C/O JOHNSON, PETER & ANDRE
345 THAMES ST UNIT N101
BRISTOL, RI 02809

SAWYER, MICHAEL
341 THAMES ST, UNIT 109S
BRISTOL, RI 02809

STONE HARBOUR MARINA LLC
C/O KUBLIN, DONNA & STAN
341 THAMES ST 309S
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O MARIO BARRENECHEA
345 THAMES ST, Unit N104
BRISTOL, RI 02809

SB2, LLC
345 THAMES ST, UNIT N-110
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
ARTHUR PLACIDO
345 THAMES ST N401
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O MICHAEL & DENISE O'BR
345 THAMES ST 206N
BRISTOL, RI 02809

SCOTT, WENDELL O &
PATRICIA C TE
700 MOUNTAIN AVE
WESTFIELD, NJ 07090

STONE HARBOUR MARINA, LLC
BUSCH, ROBERT & KATHY
52 BENTWOOD CT
ALBANY, NY 12203

STONE HARBOUR MARINA, LLC
C/O MUSKET, DAVID B.
1655 BAY HARBOR LN
SARASOTA, FL 34231

STONE HARBOUR MARINA, LLC
C/O PAUL MARAGHY
345 THAMES ST, Unit N504
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
TRUSTEES OF THE HURST FAM
345 THAMES ST 109N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
LI, HSI-CHENG
345 THAMES ST UNT 306 N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O ROBERT & PATRICIA GRA
341 THAMES ST UNT S210
BRISTOL, RI 02809-2407

STONE HARBOUR MARINA, LLC
C/O ABRAMSON, SUSAN & EDW
341 THAMES ST UNT 104S
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
MICHAEL & DENISE O'BRIEN
345 THAMES ST 206N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O ROBERT B HANKIN TRUST
56 RAMBLING DR
SCOTCH PLAINS, NJ 07076

STONE HARBOUR MARINA, LLC
C/O BRAVE, ILENE E. & DEN
341 THAMES ST S206
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
NASTRO, DAVID & KIM
343 THAMES ST M304
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O SHERMAN, MAX CHRISTOP
341 THAMES ST UNIT 205S
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O BUSCH, ROBERT & KATHL
52 BENTWOOD CT
ALBANY, NY 12203-4810

STONE HARBOUR MARINA, LLC
OZTERMIYECI, MUSTAFA M
341 THAMES ST S203
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O VIBEKE REIG LIV TRUST
341 THAMES ST S305
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O MATTHEW BERNARDO
345 THAMES ST, Unit 204N
BRISTOL, RI 02809

SUGARMAN, LOUIS TRST ETAL
MARAGHY, PAUL
345 THAMES ST UNIT 504N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O WILLIAM & DONNA LAPOI
341 THAMES ST S201
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
C/O NEIL & CHRISTINE FEIN
19 MARSHAL ST
BROOKLINE, MA 02446-5418

SUTTON, HOWARD G &
KIMBERLY G P TE
14685 KELSON CIRCLE
NAPLES, FL 34114

STONE HARBOUR MARINA, LLC
C/O WILLIAM MARTIN
691 15TH AVE SOUTH
NAPLES, FL 34102-7424

STONE HARBOUR MARINA, LLC
CHAMPAGNE, KEVIN & MICHAEL
4525 S. ATLANTIC AVE
PORT ORANGE, FL 32177-7061

TETU, NORMAND P
GINNY L. TE
190 BICENTENNIAL DR
HOOKSETT, NH 03106

STONE HARBOUR MARINA, LLC
HERBERT & JANET SARKISIAN
345 THAMES ST N209
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
GINNY & NORMAND TETU
190 BICENTENNIAL DR
HOOKSETT, NH 03106-2702

THAMES STREET, LLC
227 THAMES ST, Unit 6
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
JAMES & RANDELLE HURST
345 THAMES ST UNIT 109N
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
JANET M FETTER REVOCABLE
343 THAMES ST UNIT M302
BRISTOL, RI 02809

THOMPSON, RICHARD J - TRU
RICHARD J THOMPSON TRUST
423 HOPE ST, UNIT C
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
RIPP, PETER & MARI
345 THAMES ST N309
BRISTOL, RI 02809

STONE HARBOUR MARINA, LLC
LI, HSI-CHENG
345 THAMES ST UNIT 306N
BRISTOL, RI 02809-9195

TOPPA, JOHNA M
44 LINCOLN AVE
ATTLEBORO, MA 02703

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

ZELINGER, ELIZABETH A &
GERALD D TE
345 THAMES ST
UNIT N302
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST.
BRISTOL, RI 02809

TOWN OF BRISTOL
STATE STREET
10 COURT ST
BRISTOL, RI 02809

TOWN OF BRISTOL
VACANT LAND
10 COURT ST.
BRISTOL, RI 02809

TSL LLC
244 GANO ST
PROVIDENCE, RI 02906

VAN DEVENTER, MARY P. &
BRENNAN, KIMBERLY C. TRUS
345 THAMES ST, UNIT 404N
BRISTOL, RI 02809

WANG, YINGFEI
59 CRESTVIEW RD
MILTON, MA 02186

WARNER, GARY W &
MURRAY, CATHERINE I JT
PO BOX 808
BRISTOL, RI 02809

WAYLAND WILLIAM F &
LORNA E TRUSTEES REVOC
345 THAMES ST UNT 105 N
BRISTOL, RI 02809

WILKER, RICHARD E &
WILKER, PHYLLIS BLOOM TRU
341 THAMES ST
UNIT S-308
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-05

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, February 5, 2024

at 7:00 P.M.

Bristol Town Hall
10 Court Street

APPLICANT: **Marissa Cabral / Wicked Awesome Pet Care and Spa, Inc.**
PROPERTY OWNER: **1282 Realty, LLC**
LOCATION: **1282 Hope Street**
PLAT: **92** LOT: **16**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING A SPECIAL USE PERMIT: to convert an existing nonconforming retail business space within a residential zoning district into a pet grooming service business use.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, February 1, 2024.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 JUN 29 AM 8:32

APPLICATION

File No: 2024-05
 Accepted by ZEO: EMT 1/16/24

APPLICANT:	Name: <u>Marissa Cabral</u>		
	Address: <u>431 Chestnut St.</u>		
	City: <u>Bristol</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>401 332-3033</u>	Email: <u>Marissacabral2720@gmail.com</u>	
PROPERTY OWNER:	Name: <u>1282 REALTY</u>		
	Address: <u>1282 HOPE ST</u>		
	City: <u>BRISTOL</u>	State: <u>RI</u>	Zip: <u>02809</u>
	Phone #: <u>401 640 8443</u>	Email: <u>Pfeeney90200@gmail.com</u>	

1. Location of subject property: 1282 HOPE ST BRISTOL
 Assessor's Plat(s) #: 92 Lot(s) #: 116
2. Zoning district in which property is located: R-10; Res, Jan TAIL / commercial Bldg
3. Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance
4. Which particular provisions of the Zoning Ordinance is applicable to this application?
 Dimensional Variance Section(s): _____
 Special Use Permit Section(s): 28-218 (8) a. (EMT)
 Use Variance Section(s): _____
5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property? MARCH 10, 2015
7. Present use of property: convenience store / gas station / auto repair
8. Is there a building on the property at present? YES
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 1040 sq ft
22x29 ft
10. Proposed use of property: Retail (Pet supplies & Grooming)

11. Give extent of proposed alterations: pet grooming service

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: n/a Before n/a After

14. Have you submitted plans for the above alterations to the Building Official? n/a
If yes, has he refused a permit? _____
If refused, on what grounds? _____

15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Sewer:

17. Is the property located in the Bristol Historic District or is it an individually listed property? no

18. Is the property located in a flood zone? no If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 12-18-23

Print Name: Marissa Gabriel

Property Owner's Signature: [Signature] Date: 12/18/23

Print Name: PAUL FEENEY

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

Fwd: zoning

From: Marissa Cabral (marissacabral2720@gmail.com)

To: damonscars@yahoo.com

Date: Tuesday, January 16, 2024 at 09:14 PM EST

----- Forwarded message -----

From: **Marissa Cabral** <wickedawesome.petcare@gmail.com>

Date: Tue, Jan 16, 2024 at 9:09 PM

Subject: zoning

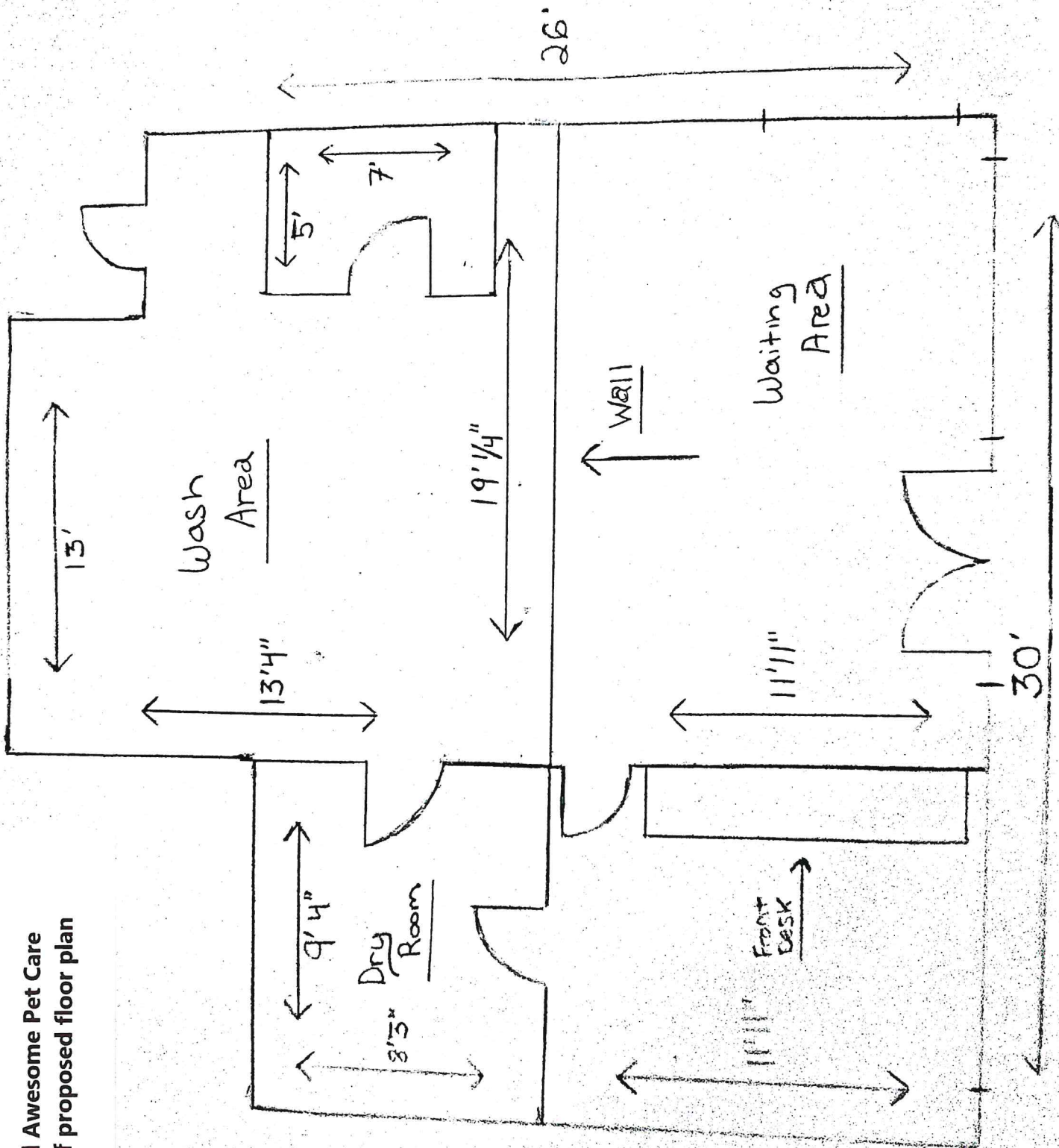
To: <marissacabral2720@gmail.com>

I Marissa Cabral owner of Wicked Awesome Pet Care and Spa, would like to operate a dog grooming salon located at 1282 Hope Street. My hours of operation are expected to be Monday - Friday 8am-6pm and every other Saturday 8am-4pm. I base my appointment speeded out throughout the day. I usually have one sometimes two clients dropping off at the same time. There is 5 to 8 parking spaces for customers , to the left side of the building. Any other questions don't hesitate to call me or Paul (owner of building).

Marissa Cabral 401-332-3033 or 401-254-1118
Paul 401-640-8443

Per Foot

Wicked Awesome Pet Care
Sketch of proposed floor plan



Town of Bristol
Department of Community Development
10 Court Street
Bristol, RI 02809

TOWN OF BRISTOL
COMMUNITY DEV.

2023 DEC 29 AM 8: 32

Re: Rental Space located at 1282 Hope Street, Bristol, RI

To whom it may concern:

1282 Realty LLC is the current owner of property located at 1282 Hope Street (AP. 92 AL. 16). A portion of the property is currently occupied and operated as a gas station and auto repair shop with a vacant space next door comprising approximately of 640 square feet (22 x 29 feet). Most recently, the vacant store front was used as a vape store and is classified/zoned as retail/convenient store.

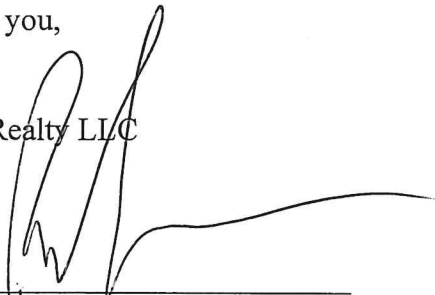
1282 Realty LLC currently has a potential tenant, Marissa Cabral (pending approval by the zoning board) that would like to rent the vacant space and operate a pet grooming facility with a small area for sale of retail items (collars, leashes, etc). At no time, will any animals be boarded overnight at the premises. The proposed business is for grooming only.

At this time, 1282 Realty LLC and the potential tenant, Marissa Cabral, respectfully request that the zoning board grant the Special Use Permit/Use Variance to allow for a pet grooming business at the store front comprising approximately 640 square feet to be granted.

Thank you,

1282 Realty LLC

By:



Paul T. Feeney, Member

Marissa Cabral

Owner

Owner 1 1282 REALTY LLC % Owned

Owner 2 0.00

Owner 3 0.00

Address 690 WARREN AVE, EAST PROVIDENCE, RI 02914-0000

Previous Owners & Sales Information

Grantor SERPA, WILLIAM G. ET UX Date 03/10/2015 Sale Price 300,000 Leg Ref 1793-189 NAL L W

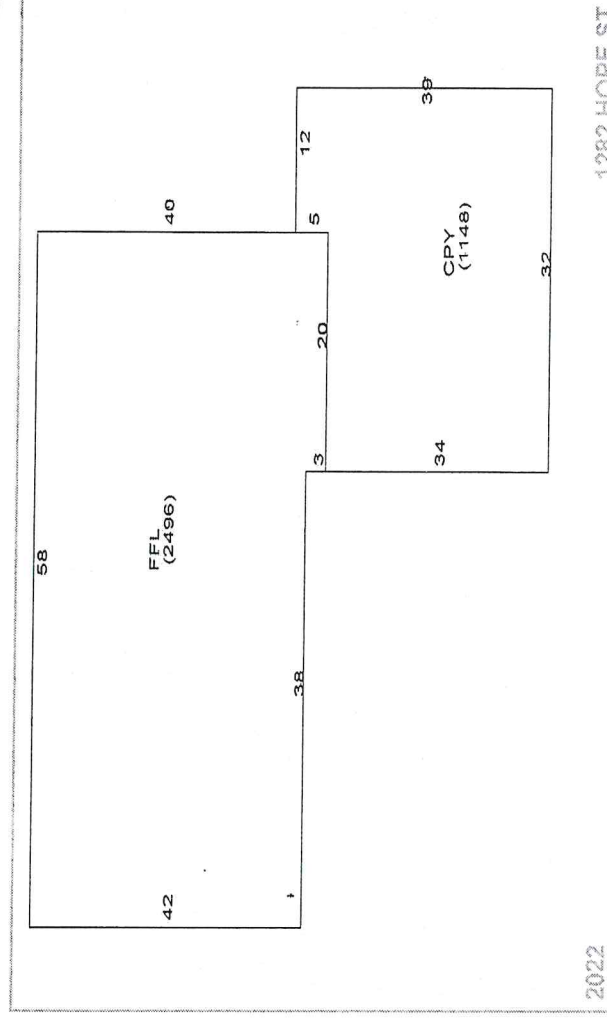
Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value
06	343,800	61,500	0.36	175,400	0	580,700
TOTAL	343,800	61,500	0.36	175,400	0	580,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 126.78 VAL per SQ Unit/Parcel > 110.74

Previous Assessments

Year	LUC	Building	SFYI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	06	343,800	61,500	0	175,400	0	580,700	580,700
2021	06	347,200	61,500	0	180,900	0	589,600	589,600
2020	06	347,200	61,500	0	180,900	0	589,600	589,600
2019	06	347,200	61,500	0	180,900	0	589,600	589,600
2018	06	352,000	73,800	0	163,800	0	589,600	589,600
2017	06	352,000	73,800	0	163,800	0	589,600	589,600



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh
1 06 Comm 2	0.22957	AC	P	1.00	615,950	616,805	C13
2 06 Comm 2	0.12626	AC	R	0.25	615,950	267,702	C13
3							
4							

Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
			141,600			1.00	0
			33,800			1.00	0

Plat/Lot 92 16

Account: 5273

LUC.06

Zone LB

Assessment \$580,700



Building Information

Description	Story Height	1 Story	Description
BLDG Type	GasStms	COM Units	1 Story
RES Units	0	BMT Floor	2
Foundation	Masonry	Frame 2	%
EXT Wall 1	Concrete Bk	EXT Wall 2	%
Roof Type 1	Flat	Roof Type 2	%
Roof Cover 1	Rubber	Roof Cover 2	%
INT Wall 1	Drywall	INT Wall 2	%
Floors 1	Floors 2	Floors 2	%
BMT Garages	Color	Electrical	
Plumbing	Electrical	INT vs EXT	
Insulation	Oil	Heat Type	Forced Warm Air
Heat Fuel	Oil	% Heated	100
# Heat Sys	% Solar HW	% A/C	
% COM Wall	% Vacuum	Ceiling Type	
Ceiling Hght	10	% Sprinkled	
Parking Type			
EXT View			

Other Factors

Flood Hazard	Topography	LEVEL
Street	PAVED	
Traffic		
Bas \$/SQ	112.00	
Size Adj	1.25	
Constr Adj	0.96	
Adj \$/SQ	134.40	
Other Feats	5,000	
Grade Fac	1.00	
Neigh Infl	1.00	
Land Factor	1.00	
Adj Total	346,374	
Depreciation	121,231	
Depr Total	225,143	
Total Depreciation %	>	35.0

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	2,496	2,496	134.40	335,462
CPY	CANOPY	1,148	0	5.15	5,912
Total		3,644	2,496		341,374

Visit History

Date	Result	By
10/20/2021	REVIEW	AD
8/9/2018	REVIEW	JH
7/18/2018	MEASURED	JE
11/23/2007	MEASURE	
11/23/2007	LISTED	
11/23/2007	MEASURE	
11/23/2007	LISTED	

Notes

W/LOT 100/7. BLDG TAKES UP BOTH LOTS, BUT IS ONLY VALUED ON LOT 92/16 replace lighting with energy efficient fixtures 20 fixtures 9 exterior fixtures H I D install 2 CITGO signs and wire 2013 || 3J'S VAPES

Remodeling History

Additions	Plumbing	Electric	Heating	General	Bath(s)
Complex					
Location					
Tot Units					
FL Level					
# Floors					0
Bldg Seq					1

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
06/23/2015	325-15-B	08/02/2015	BLDG	14,000		Closed	INSTALL NEW RUBBER ROOF
06/23/2015	B29867		BLDG	0		Closed	INSTALL NEW RUBBER ROOF
08/20/2013	E7574		ELEC	0		Closed	WIRE NE CANOPY SIGN AND NEW POLE SIGN
08/20/2013	SG22227		SIGN	0		Closed	INSTALL TWO NEW CITGO SIGNS (21 HIGH X 88 LONG) WITH ILLUMINATED L
08/01/2013	SG22226		SIGN	0		Closed	INSTALL NEW 4 X 8 COMBO SIGN SYSTEM WITH THREE PRODUCT PRICE SI
06/06/2013	E5185		ELEC	0		Closed	REPLACE LIGHTING WITH ENERGY EFFICIENT FIXTURES (20 FIXTURES), 9 E
10/04/2012	SG22190		SIGN	0		Closed	INSTALL A COMMERCIAL 24 SQ. FT SIGN ABOVE DOOR (NEW BUSINESS— O
08/10/2012	SG22003		SIGN	0		Closed	INSTALL TEMP. VINYL BANNER (ONE STOP CONVENIENCE STORE)
06/05/2012	SG22217		SIGN	0		Closed	INSTALL 3' X 6' TEMPORARY BANNER FROM JUNE 17, 2012 THRU JULY 4, 20

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	71 Tank-UnderG	1	Y	1			8,000	3	GD	1960	8,400
2	71 Tank-UnderG	1	Y	1			16,000	3	GD	1960	16,800
3	87 Sign	1	Y	2			3,000	3	AV	2013	12,100
4	56 Paving-Aspt	1	Y	1			10,000	3	AV	1960	17,900
5	71 Tank-UnderG	1	Y	1			6,000	3	GD	1960	6,300
6											
7											
8											
9											
10											

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	0	U
2	0	0	
3			
4			
Totals	1	0	0

Bristol

1282 HOPE ST

Card 2 of 2

Plat/Lot 92 16

Account: 5273

Zone LB

Assessment

\$580,700



Owner Account #:
 Owner 1 1282 REALTY LLC % Owned 0.00
 Owner 2 0.00
 Owner 3 0.00
 Address 690 WARREN AVE, EAST PROVIDENCE, RI 02914-0000

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leq Ref	NAL	Deed Type
SERPA, WILLIAM G. ET UX	03/10/2015	300,000	1793-189	L	W

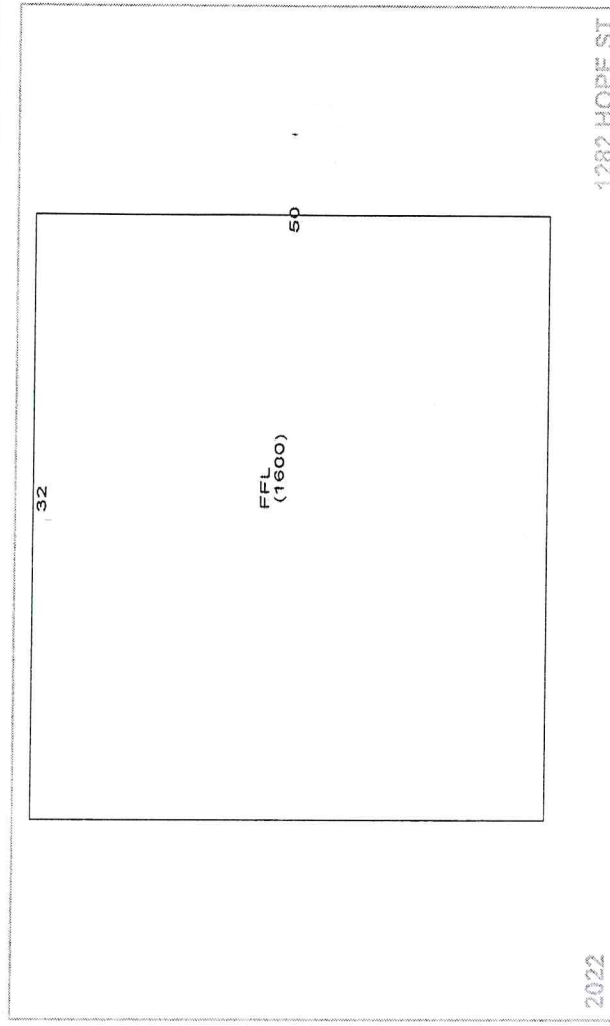
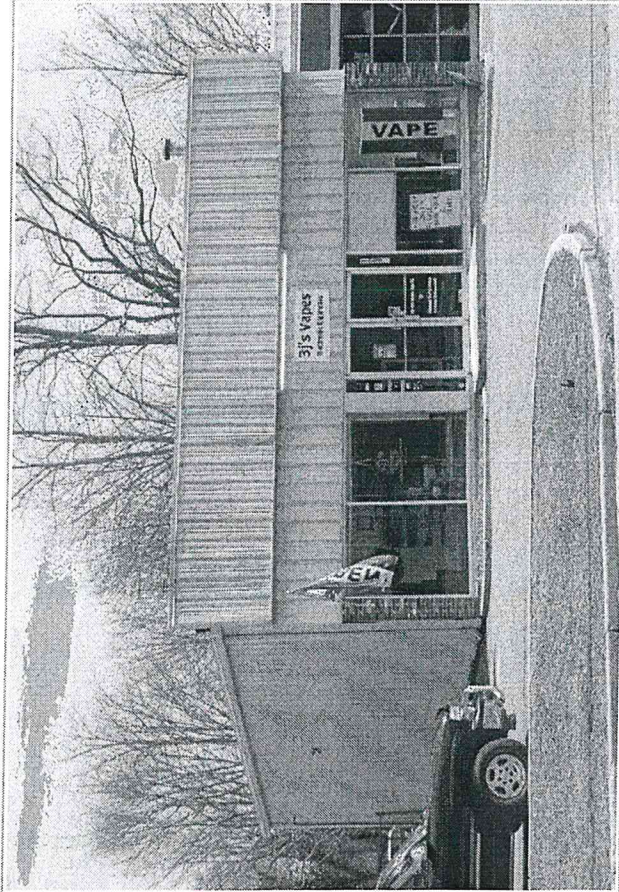
Assessment

Use Code	Bldg Value	SFYI Value	Land Size	Land Value	AG Credit	Assessed Value
06	343,800	61,500	0.36	175,400	0	580,700
TOTAL	343,800	61,500	0.36	175,400	0	580,700

Source > Mkt Adj Cost VAL per SQ Unit/Card > 74.19 VAL per SQ Unit/Parcel > 110.74

Previous Assessments

Year	LUC	Building	SFYI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	06	343,800	61,500	0	175,400	0	580,700	580,700
2021	06	347,200	61,500	0	180,900	0	589,600	589,600
2020	06	347,200	61,500	0	180,900	0	589,600	589,600
2019	06	347,200	61,500	0	180,900	0	589,600	589,600
2018	06	352,000	73,800	0	163,800	0	589,600	589,600
2017	06	352,000	73,800	0	163,800	0	589,600	589,600



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1															
2															
3															
4															

Plat/Lot 92 16

Account: 5273

LUC.06 Zone LB

Assessment \$580,700



Building Information

Description	Description
BLDG Type	RetailStores
RES Units	0
Foundation	COM Units
Frame 1	BMT Floor
EXT Wall 1	Frame 2
Roof Type 1	EXT Wall 2
Roof Cover 1	Roof Type 2
INT Wall 1	Roof Cover 2
Floors 1	INT Wall 2
BMT Garages	Floors 2
Plumbing	Color
Insulation	Electrical
Heat Fuel	INT vs EXT
# Heat Sys	Heat Type
% Solar HW	% Heated
% COM Wall	% A/C
Ceiling HGT	% Vacuum
Parking Type	Ceiling Type
EXT View	% Sprinkled

Grade

Grade	Q4	Q4
Year Built	1985	EFF Year
Alt LUC		Alt %
	0.00	

Depreciation

Code	Description	%
AG	AG - Avg-Goo	31.0
Functional		0.0
Economic		0.0
Special		0.0
OV		
Total Depreciation % >		31.0

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undeveloped
FFL	1st FLOOR	1,600	1,600	105.35	168,560
Total		1,600	1,600		168,560

Notes

3.1'S VAPES

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	2

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU
ExtTermRental
PriorID1c
PriorID2a
PriorID2b
PriorID2c
PriorID3a
PriorID3b
PriorID3c

Room Counts by Floor

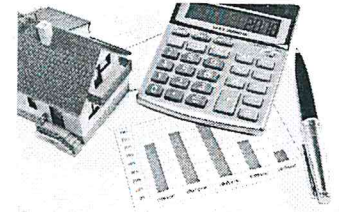
Units	# Rooms	# Bedrooms	Floor Level
1	1	0	U
2			
3			
4			
Totals	1	0	0



Bristol, RI

TOWN OF BRISTOL
COMMUNITY DEV.

2023 DEC 29 AM 8: 32



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Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification		Assessment	
Map/Lot	92 16	Land	\$175,400
Account	5273	Building	\$286,600
State Code	06 - Comm 2	Card Total	\$462,000
Card	1/2	Parcel Total	\$580,700
User Account			

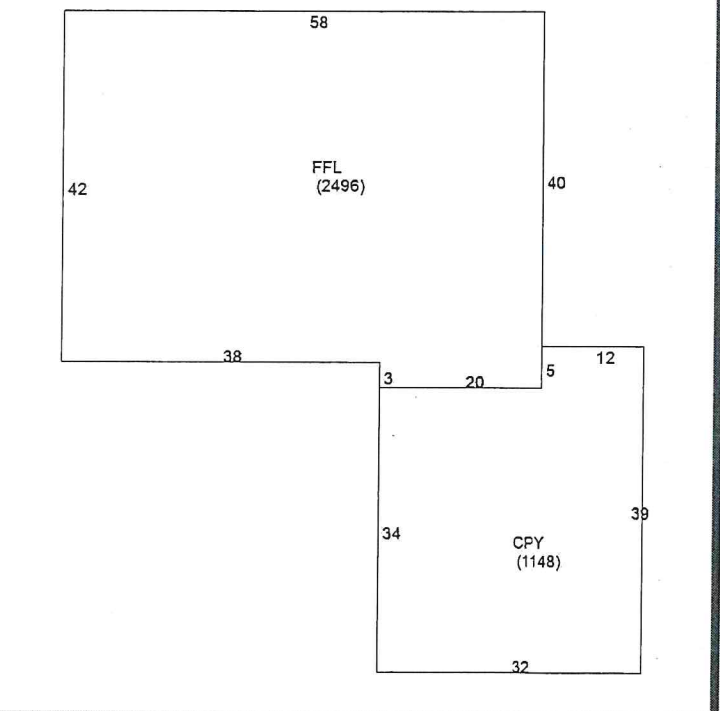


Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2023	\$175,400	\$343,800	\$61,500	\$580,700
2021	\$180,900	\$347,200	\$61,500	\$589,600
2020	\$180,900	\$347,200	\$61,500	\$589,600
2019	\$180,900	\$347,200	\$61,500	\$589,600

Location and Owner

Location	1282 HOPE ST
Owner	1282 REALTY LLC
Owner2	
Owner3	
Address	690 WARREN AVE
Address2	
Address3	EAST PROVIDENCE RI 02914



Building Information

Design	GasStns
Year Built	1960
Heat	Forced Warm Air
Fireplaces	0
Rooms	0
Bedrooms	0
Bathrooms	
Above Grade Living Area	2,496 SF

Sale Information

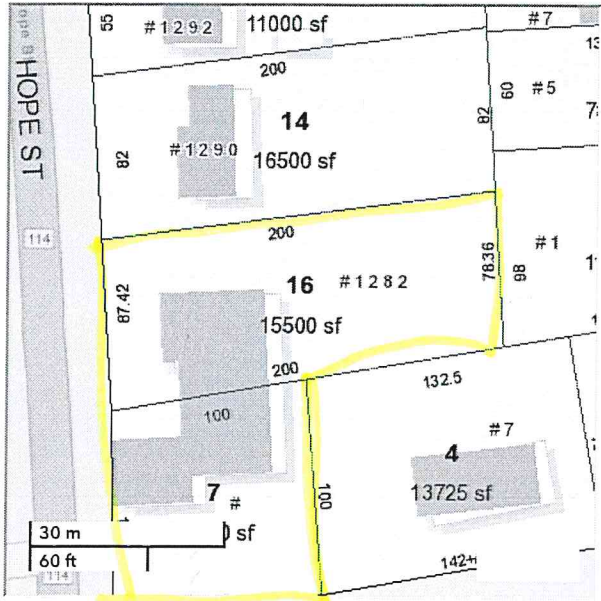
Sale Date	Sale Price	Legal Reference	Instrument
03/10/2015	\$300,000	1793-189	Warranty
03/10/2015	\$300,000	1793-189	Warranty

Building Sub Areas

Sub Area	Net Area
1st FLOOR	2,496 SF
CANOPY	1,148 SF

Land Information

Land Area	0.356 AC
Zoning	LB



[Click To Open AxisGIS Maps](#)

View
Neighborhood

-
C13

Yard Item(s)

Description	Quantity	Size	Year
Paving Asphalt	1	10000	1960
Tank-Underground	1	8000	1960
Tank-Underground	1	16000	1960
Tank-Underground	1	6000	1960
Sign	2	3000	2013



CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 1282 HOPE ST ACRES: 0.3558 PARCEL ID: 92 16 LAND USE CODE: 06 CONDO COMPLEX: OWNER: 1282 REALTY LLC CO - OWNER: MAILING ADDRESS: 690 WARREN AVE ZONING: LB PATRIOT ACCOUNT #: 5273	BUILDING STYLE: GasStns UNITS: 4 YEAR BUILT: 1960 FRAME: Masonry EXTERIOR WALL COVER: Concrete Blo ROOF STYLE: Flat ROOF COVER: Rubber
SALE INFORMATION	BUILDING INTERIOR
SALE DATE: 3/10/2015 BOOK & PAGE: 1793-189 SALE PRICE: 300,000 SALE DESCRIPTION: Other SELLER: SERPA, WILLIAM G. ET UX	INTERIOR WALL: Drywall FLOOR COVER: HEAT TYPE: Forced Warm FUEL TYPE: Oil PERCENT A/C: False # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 5 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 5244 FINISHED BUILDING AREA: 4096 BASEMENT AREA: # OF PRINCIPAL BUILDINGS: 2	
ASSESSED VALUES	
LAND: \$175,400 YARD: \$61,500 BUILDING: \$343,800 TOTAL: \$580,700	
SKETCH	PHOTO
<p>The sketch shows two adjacent buildings. The upper building is labeled 'FFL (2498)' and has dimensions 58 (top), 42 (left), 40 (right), and 38 (bottom). The lower building is labeled 'CPY (1148)' and has dimensions 34 (left), 32 (bottom), 39 (right), and 20 (top). A small gap of 3 units separates the buildings at the top of the lower building.</p>	<p>A black and white photograph of the building's exterior, showing a single-story structure with a flat roof and a covered entrance area. The building is situated on a street with utility poles and trees in the background.</p>



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12/19/2023

Property Information - Bristol, RI

Page 1 of 1

TOWN OF BRISTOL
COMMUNITY DEV.

2023 DEC 29 AM 8:32

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU
Bait shop ✓	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Bakery ✓	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Book store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Book store/cafe	N	N	N	N	N	N	Y	Y	Y	Y	N	N	Y	N	Y
Car rental	N	N	N	N	N	N	N	Y	Y	N	N	N	N	N	S
Clothing sales	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Convenience store ✓	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Florist	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Furniture store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Gunsmith (sales)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
General merchandise store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y

Page 1 of 3

TOWN OF HISTON
COMMUNITY DEV.
2023 DEC 29 AM 8:32

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R- 10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU
Grocery store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Liquor store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Mechanical equipment sales	N	N	N	N	N	N	N	Y	N	N	S	N	N	N	Y
Newsstand	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Pet store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Pharmacy	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Variety store	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Lumber / building products	N	N	N	N	N	N	N	Y	N	N	N	N	N	N	N
Video rental and sales	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y

2023 DEC 29 AM 8:32

TOWN OF BRISTOL
COMMUNITY DEV.

ZONING DISTRICTS	R-80	R-40	R-20	R-15	R-10 R-10SW R-8	R-6	LB	GB	D	W+	M	OS	EI	HPC	MMU
Mechanical equipment repair AM: 32	N	N	N	N	N	N	Y	Y	Y	S	Y	N	N	N	Y
Printing, blueprinting and photocopying 2023 DEC 29	N	N	N	N	N	N	Y	Y	Y	Y	Y	N	N	N	Y
Artist work or sale space (studio/gallery)	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	ANY	Y
Artisan manufacturing and production (see definition below) and sale space	N	N	N	N	N	N	Y	Y	N	Y	Y	N	N	ANY	Y
Photographic development	N	N	N	N	N	N	Y	Y	Y	Y	Y	N	N	N	Y
Hairdresser/barber	N	N	N	N	N	N	Y	Y	Y	Y	N	N	N	N	Y
Pet grooming	N	N	N	N	N	N	Y	Y	N	N	N	N	N	N	Y



1282 Hope Street - 300' Radius

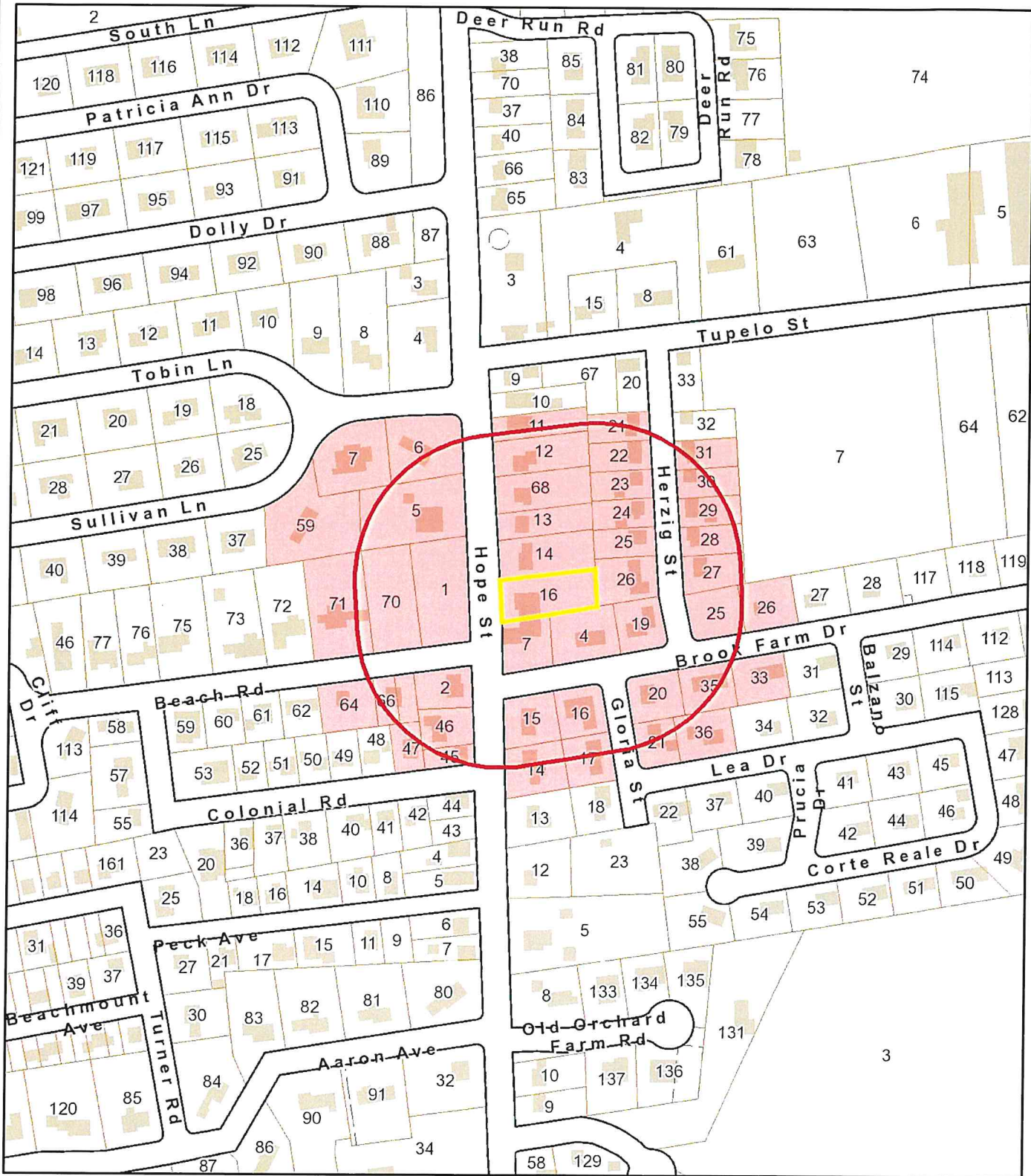
Bristol, RI



January 11, 2024

1 inch = 281 Feet

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300 foot Abutters List Report

Bristol, RI
January 11, 2024

Subject Property:

Parcel Number: 92-16
CAMA Number: 92-16
Property Address: 1282 HOPE ST

Mailing Address: 1282 REALTY LLC
690 WARREN AVE
EAST PROVIDENCE, RI 02914

Abutters:

Parcel Number: 100-14
CAMA Number: 100-14
Property Address: 1268 HOPE ST

Mailing Address: SQUATRITO, ROBERT J & MARGARET F
TRUSTEES
1268 HOPE ST
BRISTOL, RI 02809

Parcel Number: 100-15
CAMA Number: 100-15
Property Address: 1270 HOPE ST

Mailing Address: PTASIENSKI, GABRIEL P. & ORDING,
SARAH R. TE
1270 HOPE ST
BRISTOL, RI 02809

Parcel Number: 100-16
CAMA Number: 100-16
Property Address: 6 BROOKS FARM DR

Mailing Address: TANZER, FLOYD R. & SILBER, JUDY G.
TE
14 DEER RUN RD
BRISTOL, RI 02809

Parcel Number: 100-17
CAMA Number: 100-17
Property Address: 7 GLORIA ST

Mailing Address: MCPOLAND, JOHN
7 GLORIA ST
BRISTOL, RI 02809

Parcel Number: 100-19
CAMA Number: 100-19
Property Address: 11 BROOKS FARM DR

Mailing Address: COSTA, RICHARD
11 BROOKS FARM DRIVE
BRISTOL, RI 02809

Parcel Number: 100-20
CAMA Number: 100-20
Property Address: 12 GLORIA ST

Mailing Address: DARMODY, SUSAN J.
12 GLORIA ST
BRISTOL, RI 02809

Parcel Number: 100-21
CAMA Number: 100-21
Property Address: 8 GLORIA ST

Mailing Address: MCELROY, PAMELA R & NORTON,
CAITLIN M TRUSTEES-PAMELA R
MCELROY TRUST
8 GLORIA ST
BRISTOL, RI 02809

Parcel Number: 100-25
CAMA Number: 100-25
Property Address: 15 BROOKS FARM DR

Mailing Address: SILVA, ARNOLD A ELEANOR, LIFE
ESTATE & DENNIS
15 BROOKS FARM DR
BRISTOL, RI 02809

Parcel Number: 100-26
CAMA Number: 100-26
Property Address: 19 BROOKS FARM DR

Mailing Address: CORDIS, EDWARD ERIC & STEPHANIE L
TE
19 BROOKS FARM DR
BRISTOL, RI 02809

Parcel Number: 100-33
CAMA Number: 100-33
Property Address: 20 BROOKS FARM DR

Mailing Address: ST. ANGELO, PAUL M.
20 BROOKS FARM DR
BRISTOL, RI 02809



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1/11/2024

Page 1 of 4



300 foot Abutters List Report

Bristol, RI
January 11, 2024

Parcel Number: 100-35 CAMA Number: 100-35 Property Address: 16 BROOKS FARM DR	Mailing Address: DA SILVA, SILVIA J. TRST MANUEL L. & SILVIA J. DASILVIA L 16 BROOKS FARM DR BRISTOL, RI 02809
Parcel Number: 100-36 CAMA Number: 100-36 Property Address: 5 LEA DR	Mailing Address: CURRY, WILLIAM M. ET UX ELIZABETH M. CURRY TE 5 LEA DRIVE BRISTOL, RI 02809
Parcel Number: 100-4 CAMA Number: 100-4 Property Address: 7 BROOKS FARM DR	Mailing Address: HAYES, MARY ANN 95 KICKEMUIT AVE BRISTOL, RI 02809
Parcel Number: 100-7 CAMA Number: 100-7 Property Address: HOPE ST	Mailing Address: 1282 REALTY, LLC 690 WARREN AVE EAST PROVIDENCE, RI 02914
Parcel Number: 55-5 CAMA Number: 55-5 Property Address: 1293 HOPE ST	Mailing Address: SHARP, HENRY S. ELLEN J. TE 1293 HOPE ST BRISTOL, RI 02809
Parcel Number: 55-59 CAMA Number: 55-59 Property Address: 6 SULLIVAN LN	Mailing Address: SULLIVAN, MARGARET M, TRUSTEE 6 SULLIVAN LANE BRISTOL, RI 02809
Parcel Number: 55-6 CAMA Number: 55-6 Property Address: 2 SULLIVAN LN	Mailing Address: BERARDO, MICHAEL S 2 SULLIVAN LN BRISTOL, RI 02809
Parcel Number: 55-7 CAMA Number: 55-7 Property Address: 4 SULLIVAN LN	Mailing Address: HANOIAN, MARY E. TRUSTEE MARY E. HANOIAN LIVING TRUST 4 SULLIVAN LN BRISTOL, RI 02809
Parcel Number: 61-1 CAMA Number: 61-1 Property Address: 1287 HOPE ST	Mailing Address: EMANUEL, MARY KAREN & MUELLER, CHARLES TOBIAS TE 1287 HOPE STREET BRISTOL, RI 02809
Parcel Number: 61-2 CAMA Number: 61-2 Property Address: 1281 HOPE ST	Mailing Address: PUMA, DANIEL R JR & TERESA C TE 1281 HOPE ST BRISTOL, RI 02809
Parcel Number: 61-45 CAMA Number: 61-45 Property Address: 1271 HOPE ST	Mailing Address: HAAS, GERALD W & DIAS, STEFANIE R TE 1271 HOPE ST BRISTOL, RI 02809
Parcel Number: 61-46 CAMA Number: 61-46 Property Address: 1277 HOPE ST	Mailing Address: BRUNELLI, ALBERT V JR ET UX 1277 HOPE STREET BRISTOL, RI 02809



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1/11/2024

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300 foot Abutters List Report

Bristol, RI
January 11, 2024

Parcel Number: 61-47 CAMA Number: 61-47 Property Address: 1 COLONIAL RD	Mailing Address: FERREIRA, CHRISTOPHER & KAREN A TE 1 COLONIAL RD BRISTOL, RI 02809
Parcel Number: 61-64 CAMA Number: 61-64 Property Address: 124 BEACH RD	Mailing Address: ZEXTER, MELISSA R 124 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-66 CAMA Number: 61-66 Property Address: BEACH RD	Mailing Address: CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-67 CAMA Number: 61-67 Property Address: 128 BEACH RD	Mailing Address: CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-70 CAMA Number: 61-70 Property Address: 127 BEACH RD	Mailing Address: OWEN, STACY L 127 BEACH RD BRISTOL, RI 02809
Parcel Number: 61-71 CAMA Number: 61-71 Property Address: 125 BEACH RD	Mailing Address: EMOND, RICHARD ET UX JANET EMOND TE 125 BEACH ROAD BRISTOL, RI 02809
Parcel Number: 92-11 CAMA Number: 92-11 Property Address: 1300 HOPE ST	Mailing Address: HAYES, MATTHEW D. (50%) & REILLY, RENEE (50%) TC PO BOX 90 BRISTOL, RI 02809
Parcel Number: 92-12 CAMA Number: 92-12 Property Address: 1298 HOPE ST	Mailing Address: ENES, ALEXANDRE B 75 FRANKLIN ST BRISTOL, RI 02809
Parcel Number: 92-13 CAMA Number: 92-13 Property Address: 1292 HOPE ST	Mailing Address: BULLARD, WILLIAM A. III SARAH TE 19 BEACON PARK DR EAST PROVIDENCE, RI 02915-3615
Parcel Number: 92-14 CAMA Number: 92-14 Property Address: 1290 HOPE ST	Mailing Address: SAFFORD, EDWIN R. IV 55 TOWNSEND ST BARRINGTON, RI 02806
Parcel Number: 92-16 CAMA Number: 92-16 Property Address: 1282 HOPE ST	Mailing Address: 1282 REALTY LLC 690 WARREN AVE EAST PROVIDENCE, RI 02914
Parcel Number: 92-21 CAMA Number: 92-21 Property Address: 15 HERZIG ST	Mailing Address: MCADAM, DONNA M. 15 HERZIG ST BRISTOL, RI 02809



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1/11/2024

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300 foot Abutters List Report

Bristol, RI
January 11, 2024

Parcel Number: 92-22 CAMA Number: 92-22 Property Address: 11 HERZIG ST	Mailing Address: LAMOUREUX, MARC CHRISTOPHER & DONNA JEAN TE 11 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-23 CAMA Number: 92-23 Property Address: 9 HERZIG ST	Mailing Address: DUARTE, RAYCHELLE 9 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-24 CAMA Number: 92-24 Property Address: 7 HERZIG ST	Mailing Address: BAKER, ROBERT H. & STAATS, DANA M. TE 7 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-25 CAMA Number: 92-25 Property Address: 5 HERZIG ST	Mailing Address: FERRARA, GINA L. 5 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-26 CAMA Number: 92-26 Property Address: 1 HERZIG ST	Mailing Address: FASANO, ALEXANDRA & NECZYPOR, EVA TE 1 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-27 CAMA Number: 92-27 Property Address: 2 HERZIG ST	Mailing Address: WATKINSON, GLENN W 255 STATE STREET BRISTOL, RI 02809
Parcel Number: 92-28 CAMA Number: 92-28 Property Address: 6 HERZIG ST	Mailing Address: BRUDENELL, IAN B & LINDSAY S TE 6 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-29 CAMA Number: 92-29 Property Address: 8 HERZIG ST	Mailing Address: MEDEIROS, RICHARD S. ET UX LISA M. MEDEIROS TE 8 HERZIG ST. BRISTOL, RI 02809
Parcel Number: 92-30 CAMA Number: 92-30 Property Address: 10 HERZIG ST	Mailing Address: SILVIA, FRANK LIFE ESTATE MEDEIROS, BERNADETTE 43 ACADEMY AVE BRISTOL, RI 02809-4102
Parcel Number: 92-31 CAMA Number: 92-31 Property Address: 12 HERZIG ST	Mailing Address: LAWRENCE, JASON A. 12 HERZIG ST BRISTOL, RI 02809
Parcel Number: 92-68 CAMA Number: 92-68 Property Address: 1296 HOPE ST	Mailing Address: VIRGADAMO, PAUL R JR WENDY H. TE 1296 HOPE ST BRISTOL, RI 02809



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1/11/2024

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1282 REALTY LLC
690 WARREN AVE
EAST PROVIDENCE, RI 02914

CURRY, WILLIAM M. ET UX
ELIZABETH M. CURRY TE
5 LEA DRIVE
BRISTOL, RI 02809

HAAS, GERALD W & DIAS, ST
1271 HOPE ST
BRISTOL, RI 02809

1282 REALTY, LLC
690 WARREN AVE
EAST PROVIDENCE, RI 02914

DA SILVA, SILVIA J. TRST
MANUEL L. & SILVIA J. DASILV
16 BROOKS FARM DR
BRISTOL, RI 02809

HANOIAN, MARY E. TRUSTEE
MARY E. HANOIAN LIVING TR
4 SULLIVAN LN
BRISTOL, RI 02809

BAKER, ROBERT H. &
STAATS, DANA M. TE
7 HERZIG ST
BRISTOL, RI 02809

DARMODY, SUSAN J.
12 GLORIA ST
BRISTOL, RI 02809

HAYES, MARY ANN
95 KICKEMUIT AVE
BRISTOL, RI 02809

BERARDO, MICHAEL S
2 SULLIVAN LN
BRISTOL, RI 02809

DUARTE, RAYCHELLE
9 HERZIG ST
BRISTOL, RI 02809

HAYES, MATTHEW D. (50%) &
REILLY, RENEE (50%) TC
PO BOX 90
BRISTOL, RI 02809

BRUDENELL, IAN B &
LINDSAY S TE
6 HERZIG ST
BRISTOL, RI 02809

EMANUEL, MARY KAREN & MUE
1287 HOPE STREET
BRISTOL, RI 02809

LAMOUREUX, MARC CHRISTOPH
DONNA JEAN TE
11 HERZIG ST
BRISTOL, RI 02809

BRUNELLI, ALBERT V JR
ET UX
1277 HOPE STREET
BRISTOL, RI 02809

EMOND, RICHARD ET UX
JANET EMOND TE
125 BEACH ROAD
BRISTOL, RI 02809

LAWRENCE, JASON A.
12 HERZIG ST
BRISTOL, RI 02809

BULLARD, WILLIAM A. III
SARAH TE
19 BEACON PARK DR
EAST PROVIDENCE, RI 02915-
3615

ENES, ALEXANDRE B
75 FRANKLIN ST
BRISTOL, RI 02809

MCADAM, DONNA M.
15 HERZIG ST
BRISTOL, RI 02809

CONLEY, JASON R &
SILVA, CHRISTOPHER J TE
128 BEACH RD
BRISTOL, RI 02809

FASANO, ALEXANDRA &
NECZYPOR, EVA TE
1 HERZIG ST
BRISTOL, RI 02809

MCELROY, PAMELA R & NORTO
TRUSTEES-PAMELA R MCELROY
8 GLORIA ST
BRISTOL, RI 02809

CORDIS, EDWARD ERIC & STE
19 BROOKS FARM DR
BRISTOL, RI 02809

FERRARA, GINA L.
5 HERZIG ST
BRISTOL, RI 02809

MCPOLAND, JOHN
7 GLORIA ST
BRISTOL, RI 02809

COSTA, RICHARD
11 BROOKS FARM DRIVE
BRISTOL, RI 02809

FERREIRA, CHRISTOPHER & K
1 COLONIAL RD
BRISTOL, RI 02809

MEDEIROS, RICHARD S. ET U
LISA M. MEDEIROS TE
8 HERZIG ST.
BRISTOL, RI 02809

OWEN, STACY L
127 BEACH RD
BRISTOL, RI 02809

TANZER, FLOYD R. &
SILBER, JUDY G. TE
14 DEER RUN RD
BRISTOL, RI 02809

PTASIENSKI, GABRIEL P. &
ORDING, SARAH R. TE
1270 HOPE ST
BRISTOL, RI 02809

VIRGADAMO, PAUL R JR
WENDY H. TE
1296 HOPE ST
BRISTOL, RI 02809

PUMA, DANIEL R JR & TERES
1281 HOPE ST
BRISTOL, RI 02809

WATKINSON, GLENN W
255 STATE STREET
BRISTOL, RI 02809

SAFFORD, EDWIN R. IV
55 TOWNSEND ST
BARRINGTON, RI 02806

ZEXTER, MELISSA R
124 BEACH RD
BRISTOL, RI 02809

SHARP, HENRY S.
ELLEN J. TE
1293 HOPE ST
BRISTOL, RI 02809

SILVA, ARNOLD A
ELEANOR, LIFE ESTATE & DE
15 BROOKS FARM DR
BRISTOL, RI 02809

SILVIA, FRANK LIFE ESTAT
MEDEIROS, BERNADETTE
43 ACADEMY AVE
BRISTOL, RI 02809-4102

SQUATRITO, ROBERT J &
MARGARET F TRUSTEES
1268 HOPE ST
BRISTOL, RI 02809

ST. ANGELO, PAUL M.
20 BROOKS FARM DR
BRISTOL, RI 02809

SULLIVAN, MARGARET M, TRU
6 SULLIVAN LANE
BRISTOL, RI 02809



Town of Bristol, Rhode Island

Department of Community Development

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

February 2, 2024

TO: Zoning Board

FROM: Diane M. Williamson, Director

RE: **1282 Hope Street – Special Use Permit**
Marissa Cabral/Wicked Awesome Pet Care and Spa, LLC

The Technical Review Committee met to review the above application.

In review of the application, the Technical Review Committee noted that this is an appointment only service business use. The business schedules one- on- one grooming with a small staff of one groomer and one assistant and there is no outdoor use. Based on this, the Technical Review Committee passed a motion to recommend that the Special Use Permit be approved. The TRC believes the use is more in conformity to the uses in the residential zoning district.



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-06

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, February 5, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **John M. Lannan / Fairpoint Realty, LLC**
PROPERTY OWNER: **Fairpoint Realty, LLC**
LOCATION: **111 King Philip Avenue**
PLAT: **147** LOTS: **61 & 62**
ZONE: **Residential R-10**

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE: to construct a 10ft. x 22ft. breezeway and porch, and a 24ft. x 24ft. two-story garage addition to an existing single family dwelling with less than the required front yard on a corner lot.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, February 1, 2024.

Town of Bristol, Rhode Island

TOWN OF BRISTOL
COMMUNITY DEV.Department of Community Development
Zoning Board of Review

2024 JAN 11 PM 3:18



APPLICATION

File No: 2024-06

Accepted by ZEO: *SM T*
1/11/24

APPLICANT	Name: John M. Lannan	office@jmlexcavation.com	
	Address: 3 Doris Ave.		
	City: Bristol	State: RI	Zip: 02809
	Telephone #: 401-808-0111	Home:	Work/Cell:
PROPERTY OWNER	Name: Fairpoint Realty, LLC.		
	Address: 34 Broad Common Rd.		
	City: Bristol	State: RI	ZIP: 02809
	Telephone #: 401-254-2500	Home:	Work/Cell:

1. Location of subject property: 111 King Philip Ave.

Assessor's Plat(s)#: 147 Lot(s) #: 61 & 62

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28-111

Special Use Permit Section(s): 28-151

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 4 months

7. Present use of property: Single Family - Vacant

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 932 sq. ft. Height 25.0'

10. Proposed use of property: Single Family with accessory family dwelling unit above new two car garage.

11. Give extent of proposed alterations: Re-hab existing house within existing footprint - adding garage & breezeway.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 24' x 24' Garage and 10' x 22' Breezeway including two Farmers Porches. 25' Height.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>19.4'</u>
Left side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>21.2</u>
Right side lot line:	Required Setback: <u>30' (Corner Lot)</u>	Proposed Setback: <u>10.5 (Existing)</u>
Rear lot line:	Required Setback: <u>30'</u>	Proposed Setback: <u>56.4'</u>
Building height:	Required: <u>35'</u>	Proposed: <u>25'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: 2,495 25% Proposed: 1,728 17.3%

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
 If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature]

Date: 1/11/24

Print Name: John M. Lannan

Property Owner's Signature: Fairpoint Realty LLC

Date: 1/11/24

Print Name: John M. Lannan MAE member

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: N/A

Telephone #: _____

Address: _____



FAIRPOINT REALTY, LLC.

January 11, 2024

Town of Bristol
Honorable Members of the Zoning Board
10 Court St.
Bristol, RI 02809

Owners Written Statement

I recently purchased a single-family home at 111 King Philip Ave. I am seeking permission to add a two-car garage and breezeway on the south (left) side of the existing house. The house currently sits on Lot 62, and I also own Lot 61 which is vacant. The existing house was built 15.9' from the front property line. I am asking for relief for the garage setback so I can connect the new and existing buildings.

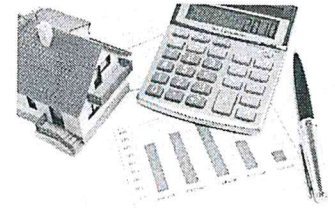
I have the rear wall of the breezeway pushed back to match the rear wall of the house that would leave a front setback of 19.4'. While not as close as the front setback of the existing house, I am still in need of 10.6' of front yard relief. The current existing setback along with the relief I am seeking are in line with the neighboring properties. I feel the project would lend itself to the neighborhood. Your favorable consideration is appreciated.



John M. Lannan
Fairpoint Realty, LLC.
401-808-0111 cell



Bristol, RI



Home

Search

Print

Previous

Next

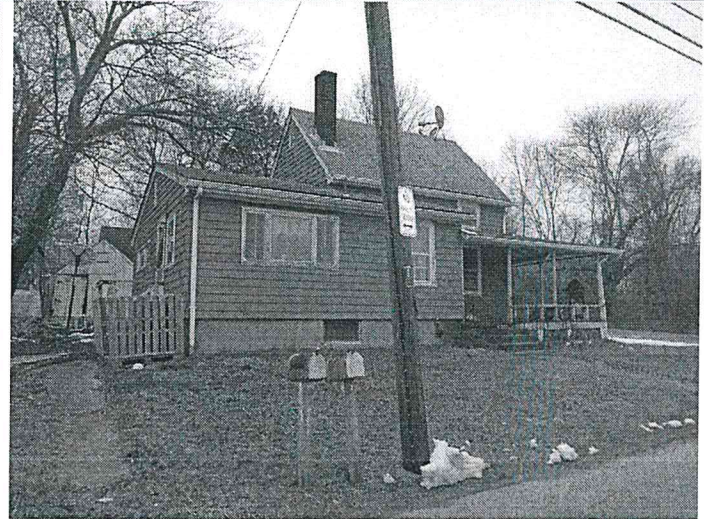
Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification

Map/Lot	147 62
Account	7427
State Code	01 - Single Fam
Card	1/1
User Account	

Assessment

Land	\$119,500
Building	\$102,500
Card Total	\$222,000
Parcel Total	\$222,000



Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2023	\$119,500	\$98,800	\$3,700	\$222,000
2021	\$164,800	\$74,700	\$3,700	\$243,200
2020	\$164,800	\$74,700	\$3,700	\$243,200
2019	\$164,800	\$74,700	\$3,700	\$243,200

Location and Owner

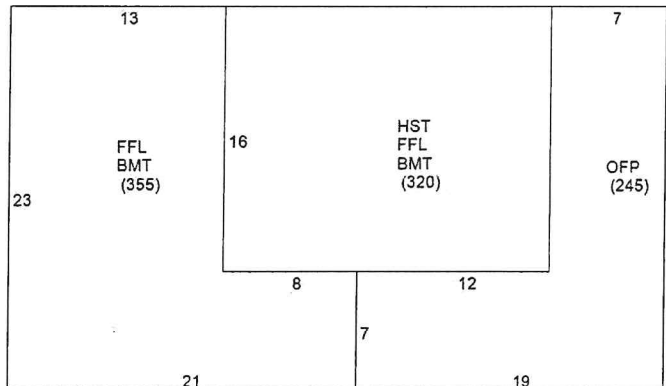
Location	111 KING PHILLIP AVE
Owner	FAIRPOINT REALTY, LLC
Owner2	
Owner3	
Address	34 BROAD COMMON RD
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Conventional
Year Built	1956
Heat	Radiant Hot Water/Steam
Fireplaces	0
Rooms	5
Bedrooms	3
Bathrooms	1 Full Bath
Above Grade Living Area	835 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
09/12/2023	\$200,000	2223-83	



Building Sub Areas

Sub Area	Net Area
1st FLOOR	675 SF
BASEMENT	675 SF
HALF STORY	160 SF
OPEN PORCH	245 SF

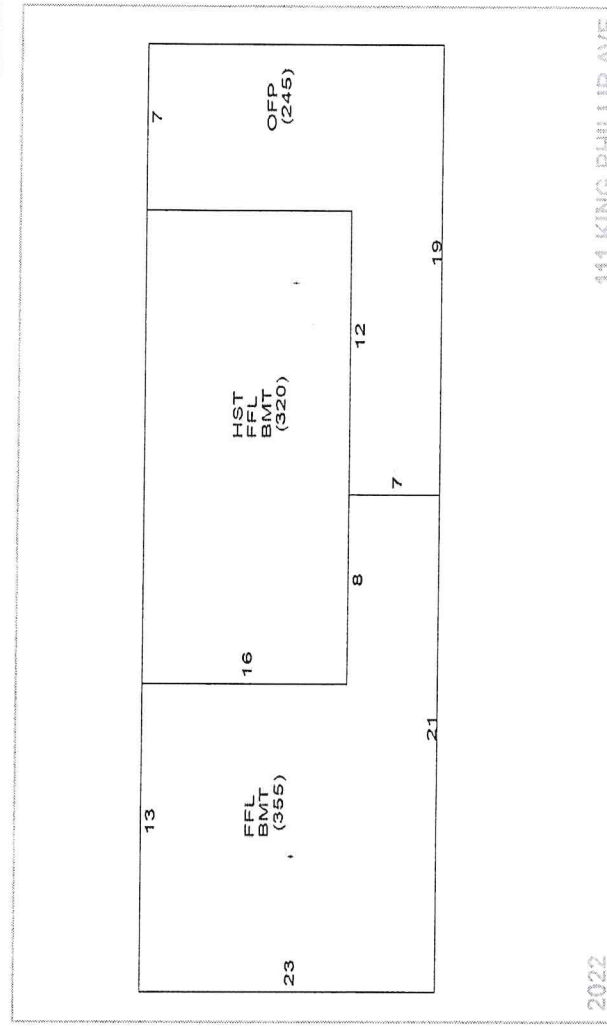
Land Information



Owner	Owner Account #:	% Owned	Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
Owner 1 VOYER, BARBARA A		0.00						
Owner 2 SERGE A.		0.00						
Owner 3								
Address 88 MOCCASIN DRIVE, WARWICK, RI 02889-0000								

Assessment		Assessed Value		AG Credit		VAL per SQ Unit/Card >		VAL per SQ Unit/Parcel >	
Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value	% Owned	VAL per SQ Unit/Card >	VAL per SQ Unit/Parcel >
01	98,800	3,700	0.13	119,500	0	222,000	0.00	126.50	126.50
TOTAL	98,800	3,700	0.13	119,500	0	222,000	0.00		

Source > Mkt Adj Cost VAL per SQ Unit/Card > 126.50 VAL per SQ Unit/Parcel > 126.50



Land Information		Units		Unit Price		Adjusted		Neigh		Inf 1 %		Inf 2 %		Inf 3 %		Appr Value		Spec Land		Juris		Fact		Use Value	
Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1 %	Inf 2 %	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value										
1 01 Single Fam	0.12626	AC	P	1.00	630,000	946,460	N	50	Partial View	50	119,500			1.00	0										
2																									
3																									
4																									



Building Information

Description	Quantity	Quality
BLDG Type Convention	1	Typical
RES Units	5	
Foundation Concrete	1	
Frame 1 Wood	1	
EXT Wall 1 Wood Shnql	1	
Roof Type 1 Gable	1	
Roof Cover 1 Asphalt Shnr	1	
INT Wall 1 Drywall	1	
Floors 1 Hardwood	1	
BMT Garages	0	
Plumbing	1	
Insulation	1	
Heat Fuel Oil	1	
# Heat Sys	1	
% Solar HW	100	
% COM Wall	1	
Ceil HGHT	1	
Parking Type	1	
EXT View	1	

Other Factors

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	675	675	197.18	133,097
HST	HALF STORY	160	160	197.18	31,549
OFF	OPEN PORCH	245	0	11.45	2,805
BMT	BASEMENT	675	0	29.58	19,967
Total		1,755	835		187,418

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	675	675	197.18	133,097
HST	HALF STORY	160	160	197.18	31,549
OFF	OPEN PORCH	245	0	11.45	2,805
BMT	BASEMENT	675	0	29.58	19,967
Total		1,755	835		187,418

Notes

WELL. WATER VIEW - JM. ||09-03-2021 Multiple undersized lots (under current zoning rules). Sum up the lots to arrive at a size closer to what is required by zoning and input the "Units For Size Adjustment" lot size for proper land pricing, MRM.

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	Garage	1	Y	1			282	3	PR	1956	3,700
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU	Priority
AFDU	PriorityD1c
PriorityD1c	PriorityD2a
PriorityD2a	PriorityD2b
PriorityD2b	PriorityD2c
PriorityD2c	PriorityD3a
PriorityD3a	PriorityD3b
PriorityD3b	PriorityD3c

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	5	3	U
2			
3			
4			
Totals	5	3	

Bristol

KING PHILLIP AVE

Card of

Plat/Lot 147 61

Account: 7426

LUC 12 Zone R-10

Assessment

\$97,800



Owner

Owner Account #:

Owner	% Owned
Owner 1 VOYER, BARBARA A	0.00
Owner 2 SERGE A.	0.00
Owner 3	

Address 88 MOCCASIN DRIVE, WARWICK, RI 02889-0000

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type

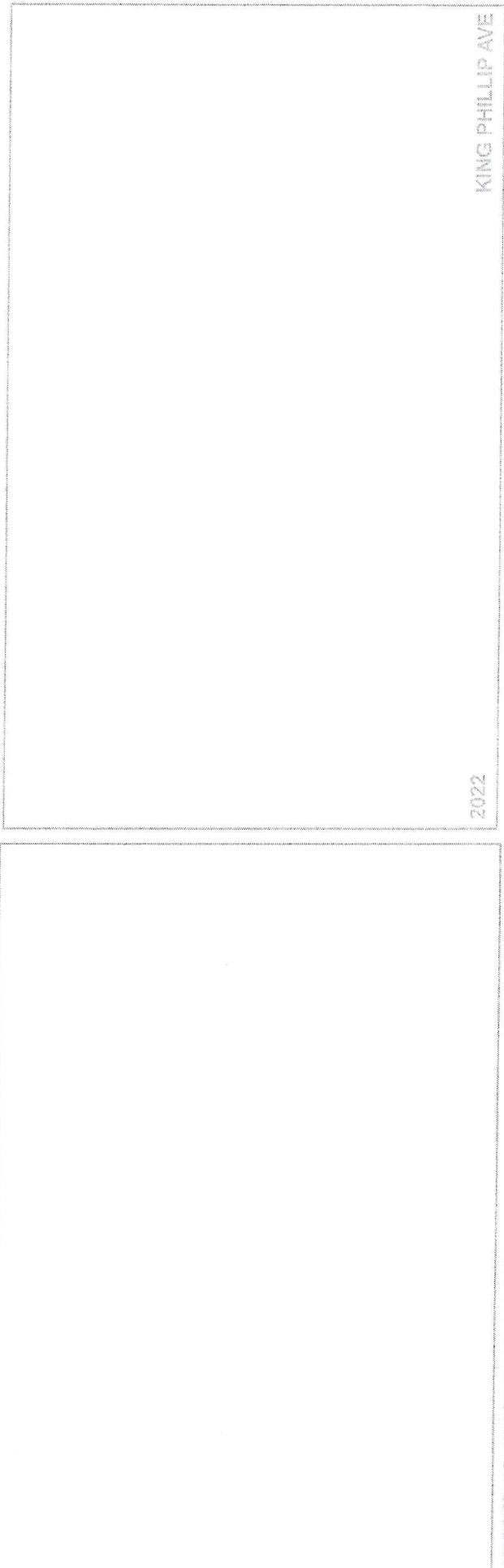
Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value	% Owned
12	0	0	0.10	97,800	0	97,800	0.00
TOTAL	0	0	0.10	97,800	0	97,800	

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	12	0	0	0	97,800	0	97,800	97,800
2021	13	0	0	0	80,900	0	80,900	80,900
2020	13	0	0	0	80,900	0	80,900	80,900
2019	13	0	0	0	80,900	0	80,900	80,900
2018	13	0	0	0	66,900	0	66,900	66,900
2015	13	0	0	0	66,900	0	66,900	66,900

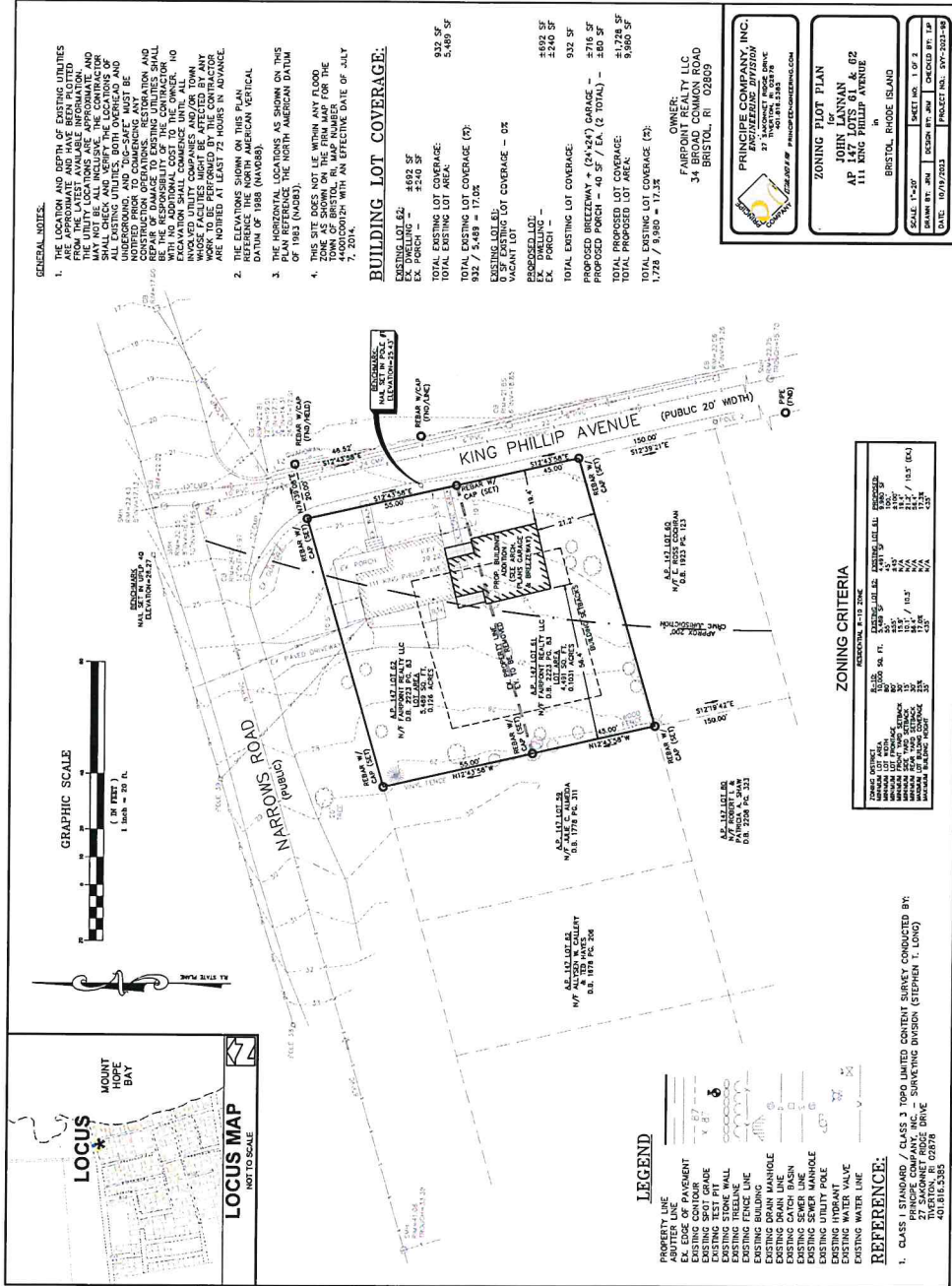


2022

KING PHILLIP AVE

Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 12 Oth Imprv	0.10331	AC	P	1.00	630,000	946,665	N	Partial View	50					97,800			1.00	0
2																		
3																		
4																		



PRINCIPLE COMPANY, INC.
 27 SAKONNET RIDGE DRIVE
 BRISTOL, RI 02878
 PHONE: 401.875.2116
 FAX: 401.875.2116
 WWW.PRINCIPLECOMPANY.COM

ZONING PLOT PLAN
 JOHN LANNAN
 111 KING PHILLIP AVENUE
 BRISTOL, RHODE ISLAND

OWNER:
 FAIRPOINT REALTY LLC
 34 BROAD COMMON ROAD
 BRISTOL, RI 02809

SCALE: 1"=20' | SHEET NO. 1 OF 2
 DATE: 10/15/2015 | PROJECT NO.: 2015028-02

LOCUS MAP
 MOUNT HOPE BAY

GRAPHIC SCALE
 1" = 20' FT.

LEGEND

REFERENCE

BUILDING LOT COVERAGE

ZONING CRITERIA

LEGEND

REFERENCE

BUILDING LOT COVERAGE

ZONING CRITERIA

LEGEND

REFERENCE

BUILDING LOT COVERAGE

ZONING CRITERIA

LEGEND

REFERENCE

BUILDING LOT COVERAGE

ZONING CRITERIA

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LEGEND

REFERENCE

BUILDING LOT COVERAGE

ZONING CRITERIA

LEGEND

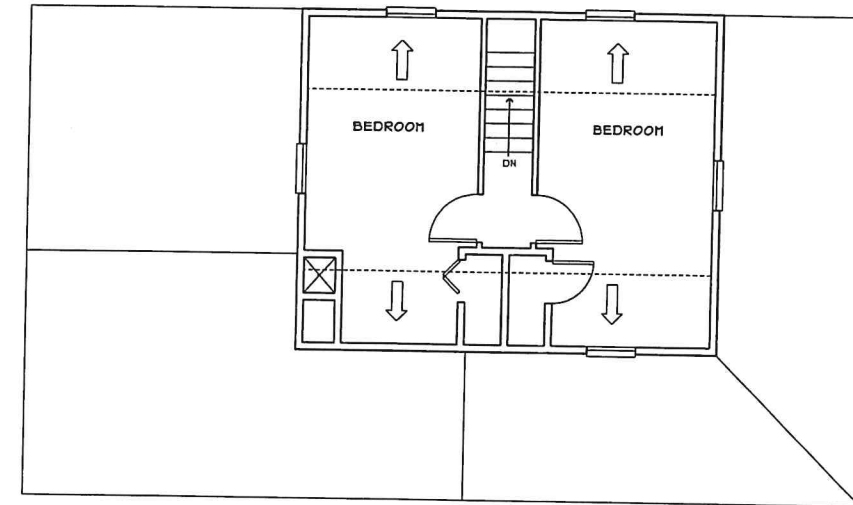
REFERENCE

BUILDING LOT COVERAGE

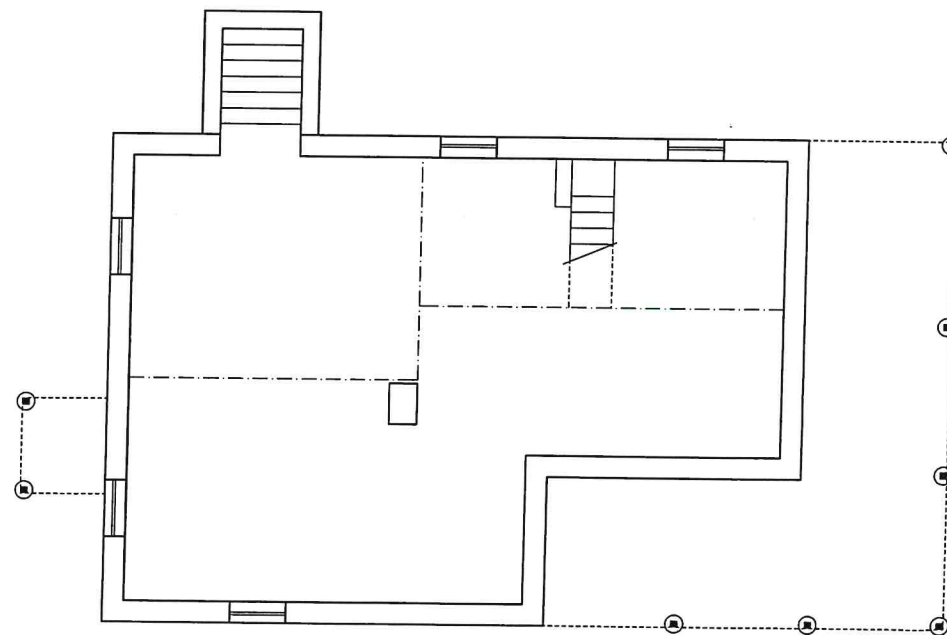
ZONING CRITERIA

LEGEND

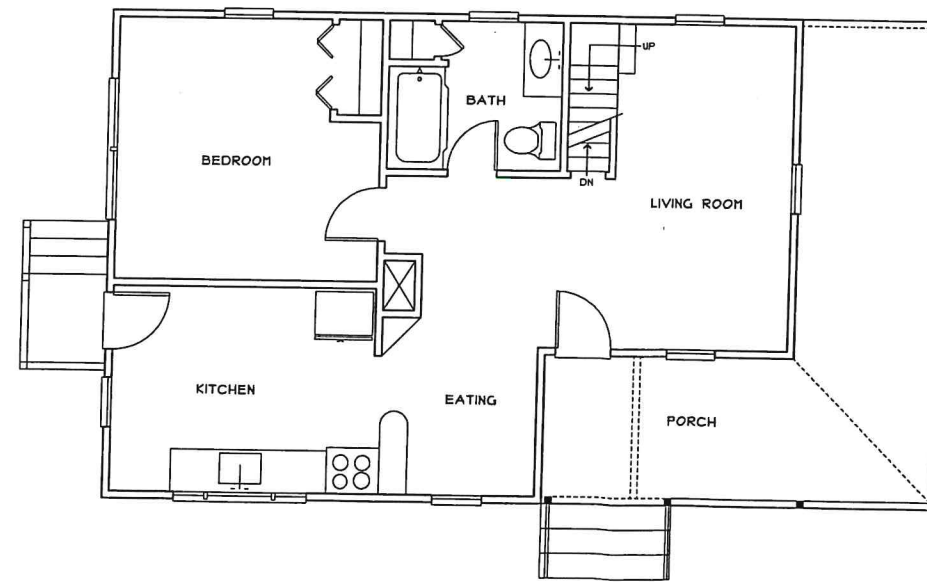
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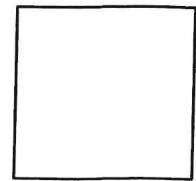
2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



BASEMENT PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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& Design

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BRISTOL, RI
02809

e-mail
MacCADD@aol.com

EXISTING
RESIDENCE

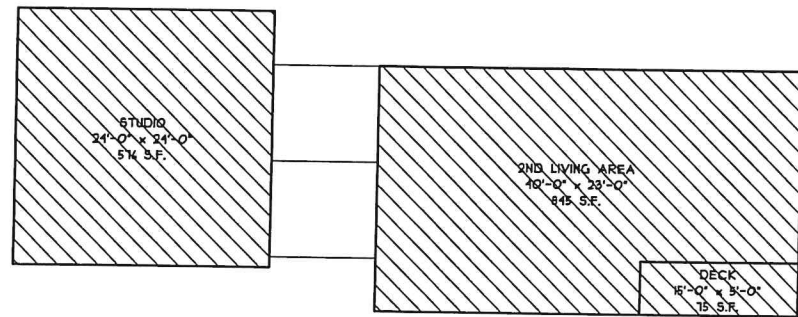
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111 KING PHILIP AVE.
BRISTOL, RI
02809

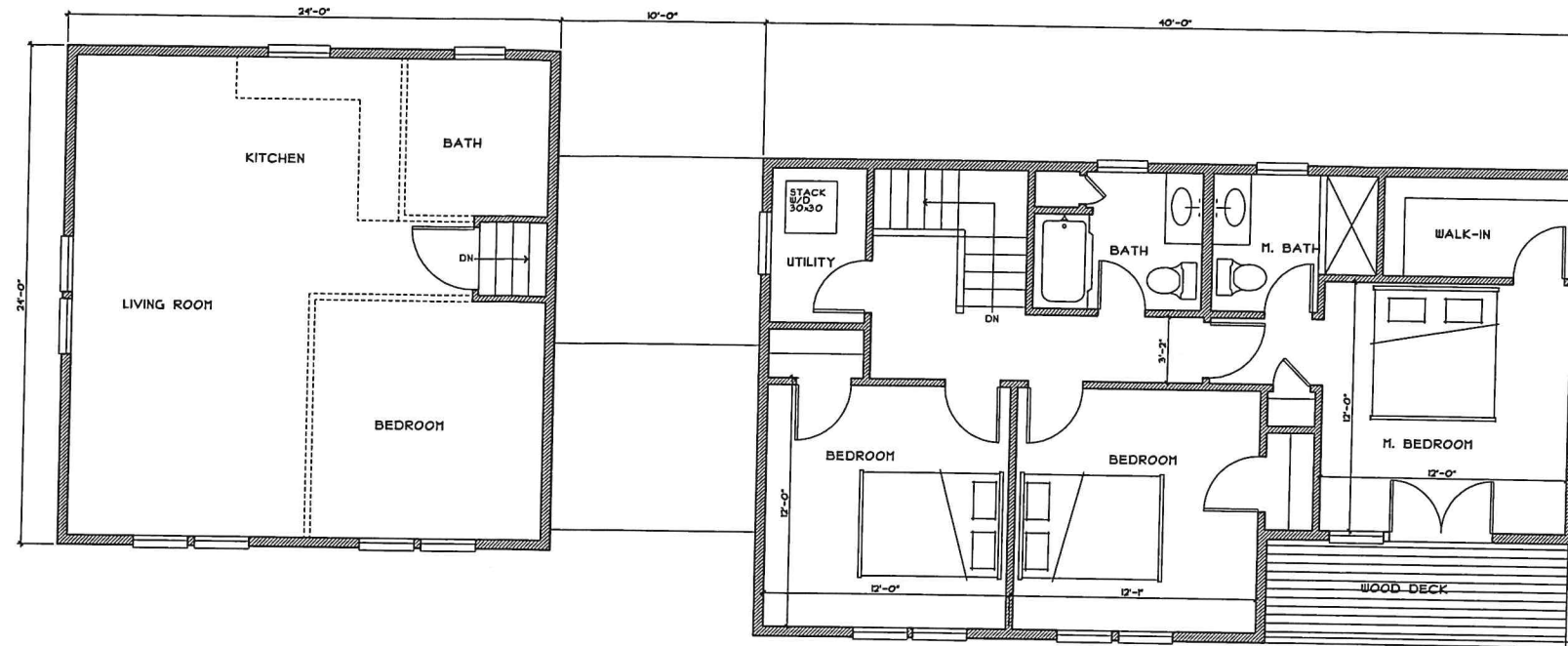
DATE: 9/21/2023

REVISIONS:

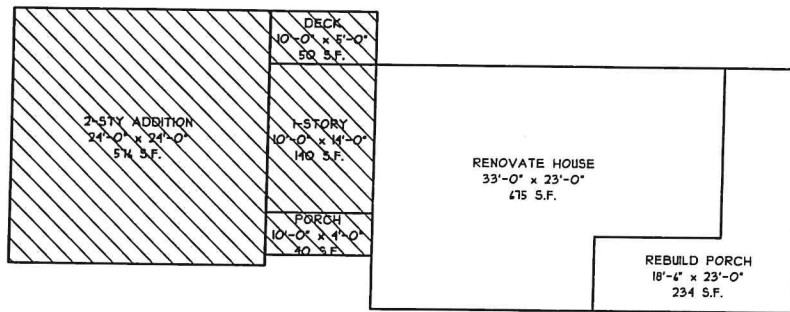
EX1
SHEET NO:



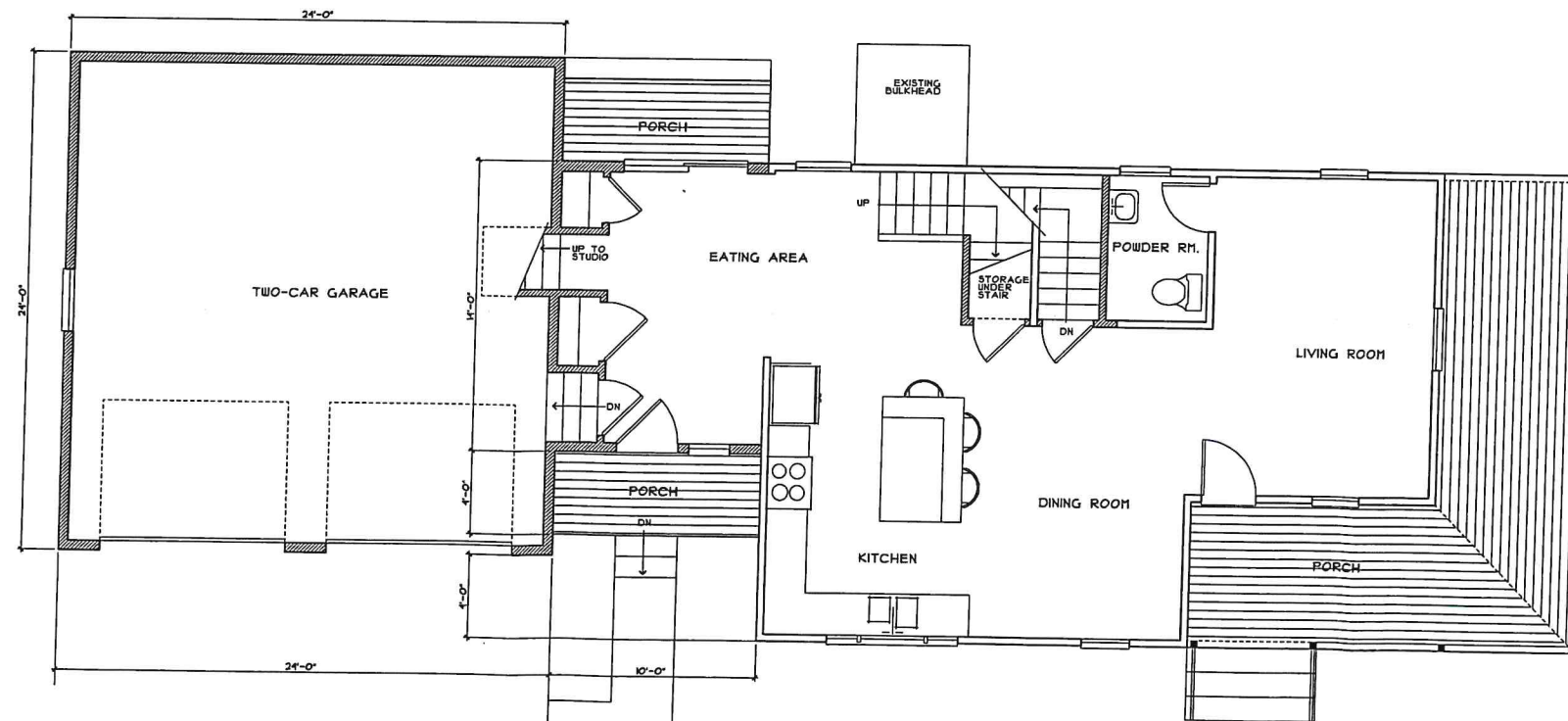
2ND FLOOR SCOPE
DO NOT SCALE



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR SCOPE
DO NOT SCALE



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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02809

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**PROPOSED
RESIDENCE**

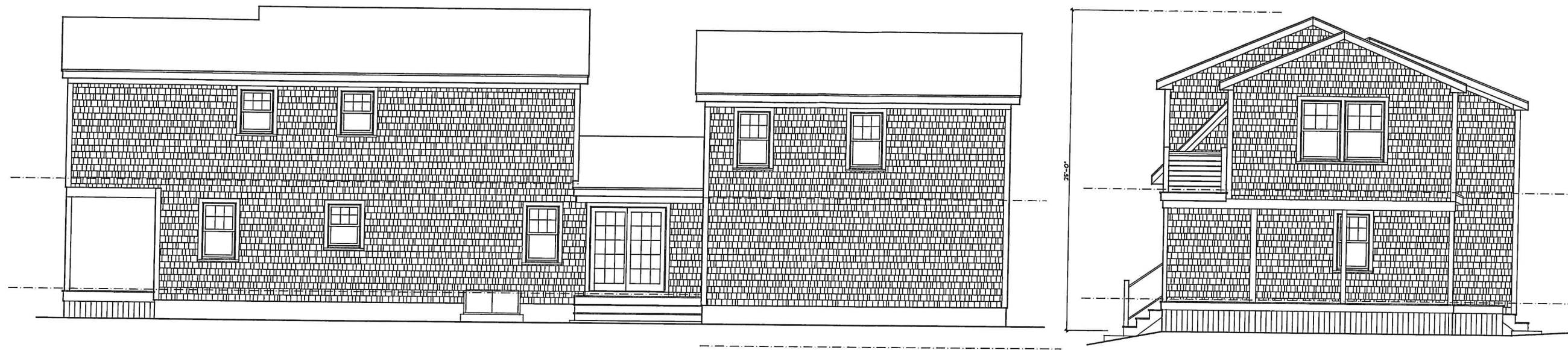
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111 KING PHILIP AV.
BRISTOL, RI
02809

DATE: 1/8/2024

REVISIONS:

A1
SHEET NO:



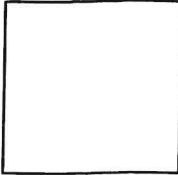
REAR ELEVATION
SCALE: 1/4" = 1'-0"

NARROWS ROAD ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

KING PHILLIP ELEVATION
SCALE: 1/4" = 1'-0"



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& Design

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BRISTOL, RI
02809

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PROPOSED
RESIDENCE

□ □ □

111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 1/8/2024

REVISIONS:

A2
SHEET NO:



111 King Phillip Avenue - 300' Radius

Bristol, RI

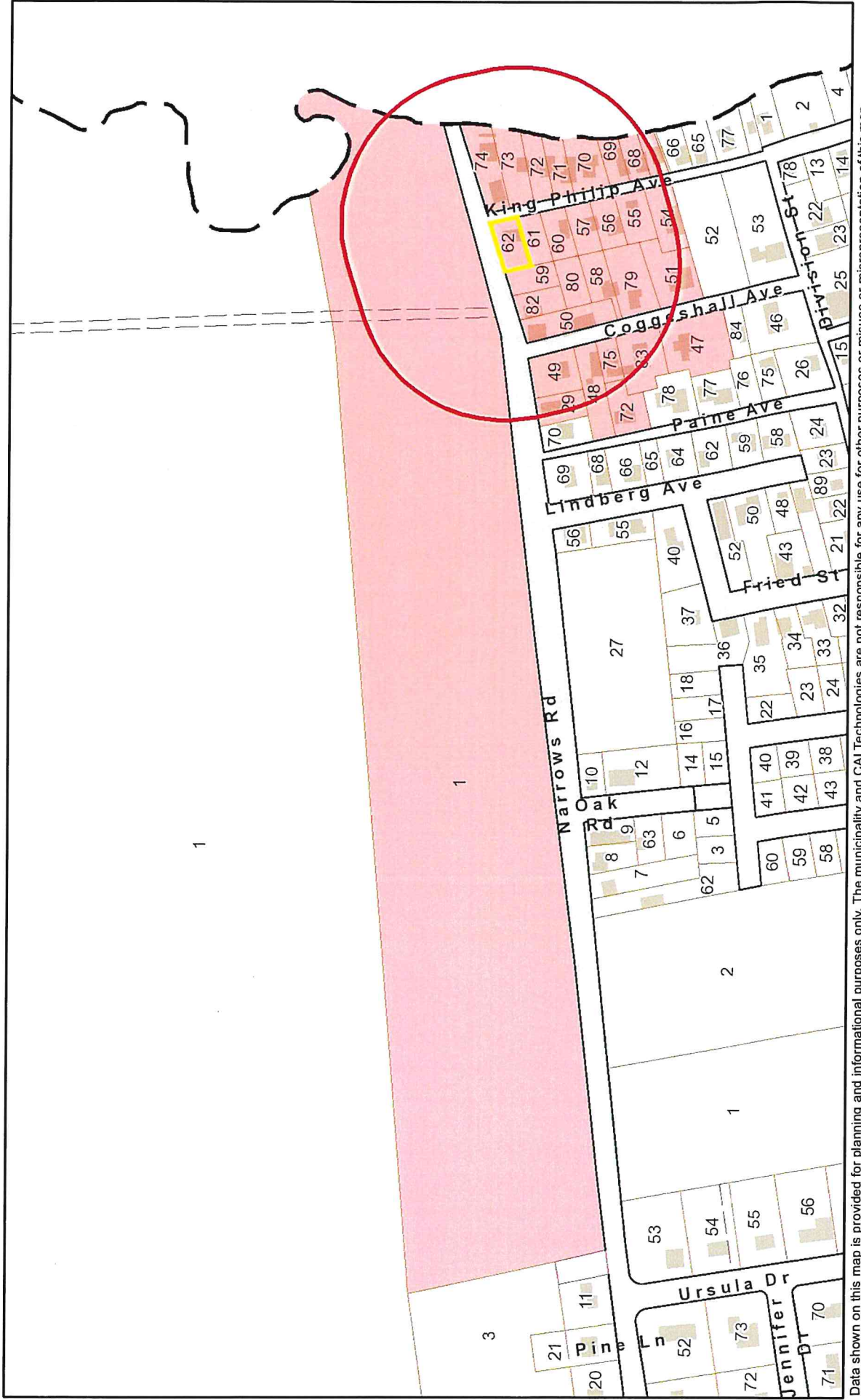


January 11, 2024

1 inch = 281 Feet



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300 foot Abutters List Report

Bristol, RI
January 11, 2024

Subject Property:

Parcel Number: 147-62
CAMA Number: 147-62
Property Address: 111 KING PHILLIP AVE

Mailing Address: FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

Abutters:

Parcel Number: 142-1
CAMA Number: 142-1
Property Address: NARROWS RD

Mailing Address: WAYPOYSET PRESERVE TRUST C/O
STEVEN JOHNSON
30 PATRICIA ANN DR
BRISTOL, RI 02809

Parcel Number: 147-47
CAMA Number: 147-47
Property Address: 22 COGGESHALL AVE

Mailing Address: ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-48
CAMA Number: 147-48
Property Address: 8 COGGESHALL AVE

Mailing Address: HEISLER, WALTER CHRISTOFF JR
8 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-49
CAMA Number: 147-49
Property Address: 2 COGGESHALL AVE

Mailing Address: MORENCY, LIONEL J LIFE ESTATE
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-50
CAMA Number: 147-50
Property Address: 1 COGGESHALL AVE

Mailing Address: FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

Parcel Number: 147-51
CAMA Number: 147-51
Property Address: 17 COGGESHALL AVE

Mailing Address: SLYE, ROBERT C & TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-54
CAMA Number: 147-54
Property Address: 97 KING PHILLIP AVE

Mailing Address: GIBALDI JUDITH M & ROCCO JT
20 LANGDON GROVE
CARMEL, NY 10512

Parcel Number: 147-55
CAMA Number: 147-55
Property Address: 101 KING PHILLIP AVE

Mailing Address: GORHAM, COURTNEY LOUISE &
MONTESANO, MICHAEL JOSEF
101 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 147-56
CAMA Number: 147-56
Property Address: 103 KING PHILLIP AVE

Mailing Address: LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

Parcel Number: 147-57
CAMA Number: 147-57
Property Address: 105 KING PHILLIP AVE

Mailing Address: THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809



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1/11/2024

Page 1 of 3



300 foot Abutters List Report

Bristol, RI
January 11, 2024

Parcel Number: 147-58 CAMA Number: 147-58 Property Address: 11 COGGESHALL AVE	Mailing Address: 11 COGGESHALL, LLC 4 MUNRO AVENUE WARREN, RI 02885
Parcel Number: 147-59 CAMA Number: 147-59 Property Address: 136 NARROWS RD	Mailing Address: ALMEIDA, JULIE C 87 KICKEMUIT AVE BRISTOL, RI 02809
Parcel Number: 147-60 CAMA Number: 147-60 Property Address: 107 KING PHILLIP AVE	Mailing Address: COCHRAN, E. ROSS 107 KING PHILLIP AVE BRISTOL, RI 02809
Parcel Number: 147-61 CAMA Number: 147-61 Property Address: KING PHILLIP AVE	Mailing Address: FAIRPOINT REALTY, LLC 34 BROAD COMMON RD BRISTOL, RI 02809
Parcel Number: 147-62 CAMA Number: 147-62 Property Address: 111 KING PHILLIP AVE	Mailing Address: FAIRPOINT REALTY, LLC 34 BROAD COMMON RD BRISTOL, RI 02809
Parcel Number: 147-67 CAMA Number: 147-67 Property Address: 98 KING PHILLIP AVE	Mailing Address: BEEBE, KEVIN J. MARY JANE TE 98 KING PHILLIP AVE BRISTOL, RI 02809
Parcel Number: 147-68 CAMA Number: 147-68 Property Address: 100 KING PHILLIP AVE	Mailing Address: CASHMAN, MURIEL A. LE ETAL YOUNG, DARLENE M. 100 KING PHILLIP AVE BRISTOL, RI 02809
Parcel Number: 147-69 CAMA Number: 147-69 Property Address: 102 KING PHILLIP AVE	Mailing Address: DAVIDOFF, SCOTT & BRANDY NICOLE TE 6409 MEADOWVIEW CT PLANO, TX 75024
Parcel Number: 147-70 CAMA Number: 147-70 Property Address: 104 KING PHILLIP AVE	Mailing Address: IRONS, STEPHEN L & KAREN M TE 104 KING PHILLIP AVE BRISTOL, RI 02809
Parcel Number: 147-71 CAMA Number: 147-71 Property Address: 106 KING PHILLIP AVE	Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590
Parcel Number: 147-72 CAMA Number: 147-72 Property Address: 108 KING PHILLIP AVE	Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590
Parcel Number: 147-73 CAMA Number: 147-73 Property Address: 110 KING PHILLIP AVE	Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590



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1/11/2024

Page 2 of 3



300 foot Abutters List Report

Bristol, RI
January 11, 2024

Parcel Number: 147-74 CAMA Number: 147-74 Property Address: 148 NARROWS RD	Mailing Address: PACHECO, WALTER & KIMBERLY TE 148 NARROWS RD BRISTOL, RI 02809
Parcel Number: 147-75 CAMA Number: 147-75 Property Address: 10 COGGESHALL AVE	Mailing Address: GAUDETTE, THOMAS 10 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-79 CAMA Number: 147-79 Property Address: 15 COGGESHALL AVE	Mailing Address: MERKLE, JEFFREY C & EILEEN TE 15 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 147-80 CAMA Number: 147-80 Property Address: 132 NARROWS RD	Mailing Address: SHAW, ROBERT I & PATRICIA A. TE 67 TREASURE BOAT WAY WEST WAREHAM, MA 02576
Parcel Number: 147-82 CAMA Number: 147-82 Property Address: 134 NARROWS RD	Mailing Address: CALLERY, ALLYSEN W. HAYES, TED TE 134 NARROWS RD BRISTOL, RI 02809
Parcel Number: 147-83 CAMA Number: 147-83 Property Address: 14 COGGESHALL AVE	Mailing Address: CATALANO, FRANK P SUSAN ETUX TE 14 COGGESHALL AVE BRISTOL, RI 02809
Parcel Number: 148-29 CAMA Number: 148-29 Property Address: 126 NARROWS RD	Mailing Address: URSINI, JUSTIN R 126 NARROWS RD BRISTOL, RI 02809
Parcel Number: 148-72 CAMA Number: 148-72 Property Address: 9 PAINE AVE	Mailing Address: SECURO, FRANCES E. LE DESILETS, ERIC M. 9 PAINE AVE BRISTOL, RI 02809



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1/11/2024

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Page 3 of 3

11 COGGESHALL, LLC
4 MUNRO AVENUE
WARREN, RI 02885

FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

PACHECO, WALTER & KIMBERL
148 NARROWS RD
BRISTOL, RI 02809

ALMEIDA, JULIE C
87 KICKEMUIT AVE
BRISTOL, RI 02809

GAUDETTE, THOMAS
10 COGGESHALL AVE
BRISTOL, RI 02809

SECURO, FRANCES E. LE
DESILETS, ERIC M.
9 PAINE AVE
BRISTOL, RI 02809

ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

GIBALDI JUDITH M &
ROCCO JT
20 LANGDON GROVE
CARMEL, NY 10512

SHAW, ROBERT I & PATRICIA
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

BEEBE, KEVIN J.
MARY JANE TE
98 KING PHILLIP AVE
BRISTOL, RI 02809

GORHAM, COURTNEY LOUISE &
101 KING PHILIP AVE
BRISTOL, RI 02809

SLYE, ROBERT C &
TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

CALLERY, ALLYSEN W.
HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809

HEISLER, WALTER CHRISTOFF
8 COGGESHALL AVE
BRISTOL, RI 02809

THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809

CASHMAN, MURIEL A. LE ETA
YOUNG, DARLENE M.
100 KING PHILLIP AVE
BRISTOL, RI 02809

IRONS, STEPHEN L & KAREN
104 KING PHILLIP AVE
BRISTOL, RI 02809

URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

CATALANO, FRANK P
SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

WAYPOYSET PRESERVE TRUST
C/O STEVEN JOHNSON
30 PATRICIA ANN DR
BRISTOL, RI 02809

COCHRAN, E. ROSS
107 KING PHILLIP AVE
BRISTOL, RI 02809

LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

DAVIDOFF, SCOTT & BRANDY
6409 MEADOWVIEW CT
PLANO, TX 75024

MERKLE, JEFFREY C & EILEE
15 COGGESHALL AVE
BRISTOL, RI 02809

FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

MORENCY, LIONEL J LIFE ES
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

TOWN OF BRISTOL
COMMUNITY DEV.

2024 JAN 12 PM 1:51



Town of Bristol, Rhode Island

Department of Community Development
Zoning Board of Review

APPLICATION

File No: 2024-07

Accepted by ZEO: EMT 1/12/2024

APPLICANT	Name: Jeanine and Daniel McConaghy
	Address: 135 Kickemuit Ave
	City: Bristol State: RI Zip: 02809
	Phone #: (401) 234-3050 Email: dpmcconaghy@gmail.com
PROPERTY OWNER	Name: _____
	Address: <i>Same as above</i>
	City: _____ State: _____ Zip: _____
	Phone #: _____ Email: _____

1. Location of subject property: 135 Kickemuit Avenue

Assessor's Plat(s)#: 133 Lot(s) #: 37

2. Zoning district in which property is located: R-15

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance *(EMT)*

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28.111; Front yard setback 28-150 (eee) 4.i; Footprint

Special Use Permit Section(s): 28.111; Building height in a Flood Zone

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: Purchased 9/29/23

7. Present use of property: Single family dwelling

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 29' x 28', 692 sf
There are also 2 small sheds, 194 sf and 92 sf

10. Proposed use of property: Single family dwelling

11. Give extent of proposed alterations: Demolition of existing house and sheds located within the flood zone and construction of a new flood elevated single family house

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____
 Building size: 28' x 41' with a 7.75'x15.33' stair bay on public right-of-way side, total 1,267 sf.
 Building Height: 42.33' above mean existing grade but 32.33' above freeboard

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>35'</u>	Proposed Setback: <u>19'</u>
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: <u>35'</u>	Proposed: <u>42'-4" (32'-4" above freeboard)</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: _____ Proposed: _____

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
 If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: x Sewer: x

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? Yes If yes, which one?: AE 13

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 1/11/24
 Print Name: Daniel P. McConaghy
Jeanne P. McConaghy

Property Owner's Signature: [Signature] Date: 1/11/24
 Print Name: Daniel P. McConaghy
Jeanne P. McConaghy

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:
 Name: Bruce H. Cox Telephone #: 401-437-1100
 Address: 1481 Wampanoag Trail East Providence RI 02915

Variance and Special Use Request for
135 Kickemuit Avenue, Bristol, RI

The subject property is an 18,625 sf lot located at the corner of Wilcox Street and Kickemuit Avenue. There is currently a 1930 one bedroom cottage with two small sheds on the lot. The property is accessed from both Kickemuit Avenue and Wilcox Street. Kickemuit Avenue at this location is a dead end right of way for access to the Kickemuit River.

The existing house is in disrepair, is too close to the coastal feature and is well below the base flood elevation. The owners intend to demolish it and build a new full time family residence. The new house strives to comply with CRMC, FEMA, and the Town of Bristol Zoning Ordinance while providing the owners with a modest size residence for them and their three children. Care has been taken with the design to give it architectural interest that will be an asset to the neighborhood with various articulations and a steep roof-line while keeping a reasonable footprint. The house's height above the flood protection measures is being kept to a visual minimum with a steep roof and entry stair articulation at the street side.

Relief is being requested of the Zoning Board in the following areas:

- 1) A **Special Use Permit** is requested due to the proposed structure being over 25' in a flood zone. The proposed house will be 42'-4" above the existing mean grade of 6.85' and 41'-0" above proposed final grade. There will be 3'-9" of Freeboard above the 13.0' Base Flood Elevation making the "Building Height" 32'-4". The design has minimized the height by limiting the interior ceiling heights and creating large overhangs that extend down to just above the second floor windows giving the appearance of a much lower roof. The design complies with all standards in Section 28-150 (eee) and, we believe, the spirit of the standard in Section 28-150 (eee)4.i for which we request a dimensional variance.
 - a. Standard 1: The construction will conform to all building code requirements in a flood zone. The lower level will be properly flood vented and engineered per requirements for residences in the AE Zone with limited wave action. Moreover, the design provides an additional 3'-9" of Freeboard per recommendations from CRMC and FEMA.
 - b. Standard 2: No roof pitches are less than 4/12 except under deck. The small attic dormers have a 4/12 roof pitch, the main roof has a pitch of 10/12 around the entire house with large overhangs. The only roof pitch less than 4/12 is the small deck over the entry stair bay.
 - c. Standard 3: Wilcox side front yard is well back of the average street-side setbacks. Kickemuit side front yard is subject to Variance Request below
 - d. Standard 4: Building size is as follows.
 - Lot Size 18,625sf - .3 GFA = 5,588 sf
 - 60% allowed on 1st Floor = 3,353 sf

- 40% allowed on 2st Floor = 2,235sf
 - Actual proposed footprint:
 - 1st Floor = 1,267sf (23% of GFA)
 - 2nd Floor 1,267sf (23% of GFA)
 - Attic Under Roof 700 sf
 - Water-side Deck 308 sf (5.5% of GFA where 15% is allowed)
- e. Standard 5. Articulation along the public right of way consists of an entry stair bay that is 7'-9" deep by 15'-4" wide in the middle of the 41' length of the house covering the entire vertical surface.
- 2) **A Dimensional Variance** is requested from the newly adopted Special Use rule Section 28-150(eee)4.i which states that a second floor footprint should not exceed two thirds of the first floor footprint. As noted above, our design has used low overhangs and articulations to create interest and the feel of a lower roof. The first floor footprint is 1,267 sf (23% of GFA where 3,353 is allowed based on the lot size), the second floor is 1,267 and the attic under roof is 700sf. Our proposed design meets all of the Special Use criteria and, we believe is in concert with the spirit of those criteria. The request for relief from this specific criteria, — complies with the standards in Sec. 28-409.
- a. *That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant.* Because the existing grade of 6.85 is so far below BFE, the house needs to be raised significantly to comply with FEMA flood zone requirements and the recommended added freeboard per CRMC. Having the first floor footprint be larger than requested would result in a significantly longer house given the shape and constraints of the lot that would not be in concert with the neighborhood or desired by the owners.
 - b. *That such hardship is not the result of any prior action of the applicant.* The existing property presents this hardship and the existing dwelling needs to be replaced as it is in disrepair and well below BFE.
 - c. *That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town.* The style and size of the house is consistent with surrounding area and the intent of the chapter appears to be to prevent elevated houses with little articulation and flat roofs. In contrast, this design has deep eaves and a street side articulation that maintains the spirit of the provision.
 - d. *In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more*

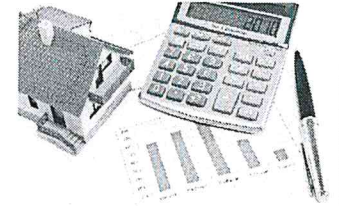
valuable after the relief is granted shall not be grounds for relief. Owners have three children and are attempting to maintain a small footprint house with adequate bedrooms. Having a main 2nd floor sleeping floor with three bedrooms is a normal residential expectation and one that is a minimum need for the owners. In addition, because the owner's wish to age in place, area for an elevator is needed. As such the 2nd floor has been designed to provide basic useable spaces in as small as space as practical at a reasonable 1267sf. To comply with section Section 28-150(eee)4.i, owners would need to enlarge the first floor significantly to a minimum of 1900sf. This would result in a needlessly large residence with significantly longer frontage along the Kickemuit Avenue — potentially a minimum of an additional 22' x 28'. Owners would like to avoid having such a large first floor footprint and house that is so much larger than surrounding houses, and is much larger than they need or want. Also, while long narrow houses are sometimes desirable, because the house needs to be so elevated for flood purposes, the resulting footprint of the unused ground floor would be massive.

- 3) A **Dimensional Variance** is requested to have a 19' Front Yard on the Kickemuit Avenue side where 35' is required. The 19' is to the stair bay ("side articulation") which breaks up the massing of the house. The setback to the main structure is 26'-9". The proposed house location at the dead end off of Kickemuit Ave is generally beyond where the street becomes a granite marked "Public Right of Way" after the Harrison St intersection. The request complies with the standards in Sec. 28-409.
- a. *That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant.* As a corner lot subject to both building restriction setbacks and CRMC buffer and construction setbacks, the buildable area is uniquely constrained. With a 75' wide lot and a 20' side yard and 35' front yard the buildable house width is 20' making it impossible to fit a modest house without relief.
 - b. *That such hardship is not the result of any prior action of the applicant.* The existing shape and location of property presents this hardship.
 - c. *That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town.* The style and size of the house is consistent with surrounding area. Moreover, because Kickemuit Avenue at this point after Harrison Street is a dead end water access right of way, the reduction in front yard has even less impact. Additionally, while the existing cottage to be demolished has a current side yard of +/-7' where 20' is required, the proposal for the new dwelling is an improvement in holding the 20' side yard separation to the home at 3 Wilcox.
 - d. *In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount*

to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief. Owners would be unable to fit the modest footprint house on the property given the dimensional constraints. Moreover, the Kickemuit Avenue Main Entry Articulation would be constrained undermining the intent to have a design that fits into the character of the neighborhood and the effort to comply with the articulation requirements of the Special Use regulations. This would effectively prohibit the owners from building their forever residence.



Bristol, RI



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Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification		Assessment	
Map/Lot	133 37	Land	\$512,700
Account	6990	Building	\$117,000
State Code	11 - Seas & Beach	Card Total	\$629,700
Card	1/1	Parcel Total	\$629,700
User Account			



Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2023	\$512,700	\$116,300	\$700	\$629,700
2021	\$457,100	\$74,400	\$700	\$532,200
2020	\$457,100	\$74,400	\$700	\$532,200
2019	\$457,100	\$74,400	\$700	\$532,200

Location and Owner

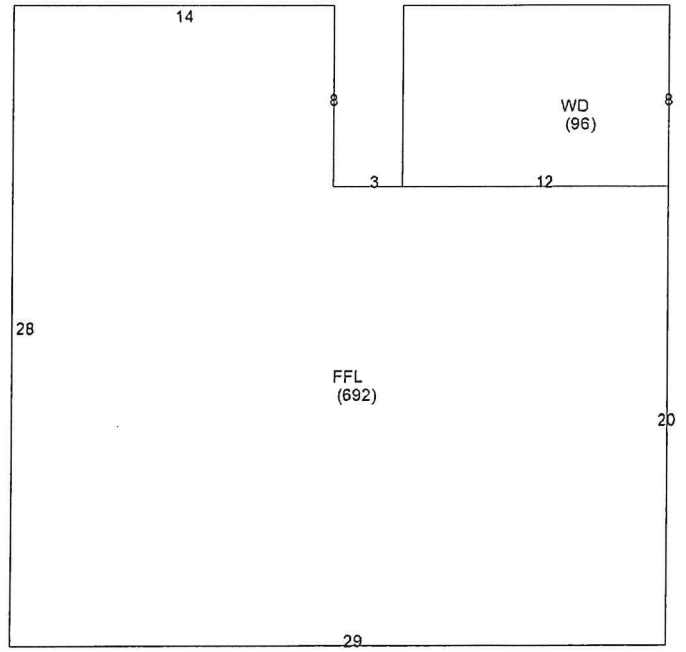
Location	135 KICKEMUIT AVE
Owner	MCCONAGHY, JEANINE P. & DANIEL P. TE
Owner2	
Owner3	
Address	135 KICKEMUIT AVE
Address2	
Address3	BRISTOL RI 02809

Building Information

Design	Cottage
Year Built	1930
Heat	BB Hot Water
Fireplaces	0
Rooms	4
Bedrooms	1
Bathrooms	1 Full Bath
Above Grade Living Area	692 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
09/29/2023	\$827,000	2224-179	Warranty
11/17/2016	\$0	1871-333	Quit Claim
12/12/2013	\$262,500	1737-290	Executor
04/30/2008	\$0	1434-42	Quit Claim



Building Sub Areas

Sub Area	Net Area
1st FLOOR	692 SF
WOOD DECK	96 SF

Land Information

Land Area	0.428 AC
Zoning	R-15



Owner > Owner Account #:

Owner 1	HESSE, NATHANIEL THOMPSON &	% Owned	0.00
Owner 2	VAN BUREN, ALICE TE	% Owned	0.00
Owner 3		% Owned	
Address	135 KICKEMUIT AVE, BRISTOL, RI 02809-0000		

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
HESSE, NATHANIEL THOMPSON	11/17/2016	0	1871-333	A	Q
RAGAN, LAUREN J ET AL	12/12/2013	262,500	1737-290	A	E
RAGAN, LAUREN J	04/30/2008	0	1434-42	A	Q

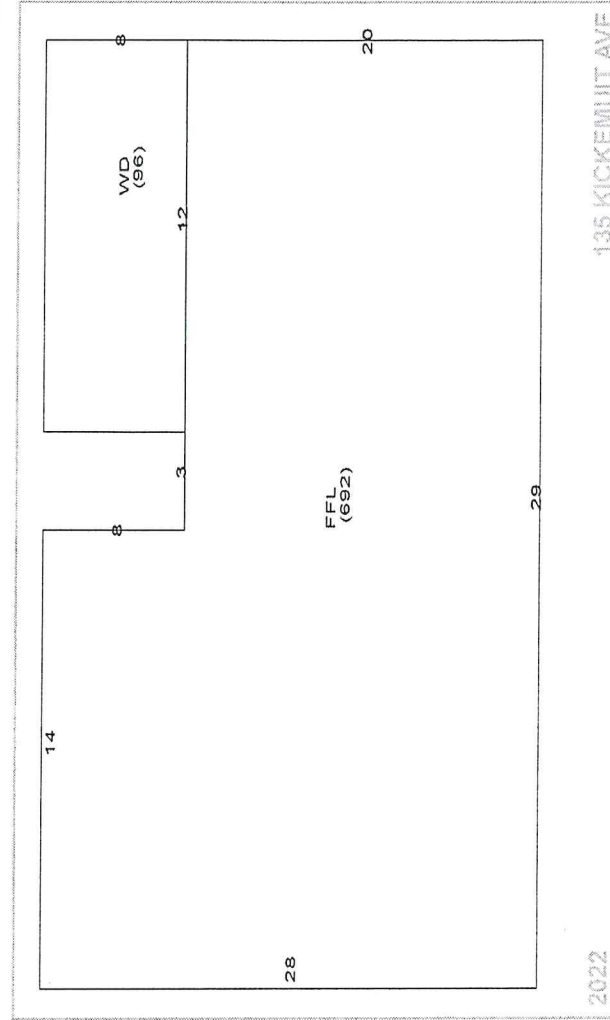
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
11	116,300	700	0.43	512,700	0	629,700
TOTAL	116,300	700	0.43	512,700	0	629,700

Source > Mkt-Adj Cost VAL per SQ Unit/Card > 799.11 VAL per SQ Unit/Parcel > 799.11

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	11	116,300	700	0	512,700	0	629,700	629,700
2021	11	74,400	700	0	457,100	0	532,200	532,200
2020	11	74,400	700	0	457,100	0	532,200	532,200
2019	11	74,400	700	0	457,100	0	532,200	532,200
2018	11	41,300	600	0	438,800	0	480,700	480,700
2017	11	41,300	600	0	438,800	0	480,700	480,700



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
11 Seas & Beε	0.34435	AC	P	1.00	645,000	1,453,173	B	WF	200					500,400		1.00	1.00	0
11 Seas & Beε	0.08322	AC	EX	0.20	645,000	147,801	B							12,300		1.00	1.00	0
3																		
4																		



Building Information

Description	Story Height	1 Story	Description
BLDG Type	Cottage	1 Story	
RES Units	1	COM Units	0
Foundation	Concrete	BMT Floor	
Frame 1	Wood	Frame 2	%
EXT Wall 1	Vinyl Siding	EXT Wall 2	%
Roof Type 1	Gable	Roof Type 2	%
Roof Cover 1	Asphalt Shir	Roof Cover 2	%
INT Wall 1	Drywall	INT Wall 2	%
Floors 1	Hardwood	Floors 2	%
BMT Garages		Color	
Plumbing		Electrical	
Insulation		INT vs EXT	
Heat Fuel	Oil	Heat Type	BB Hot Water
# Heat Sys		% Heated	100
% Solar HW		% A/C	
% COM Wall		% Vacuum	
Ceiling Type		Ceiling Type	
Parking Type		% Sprinkled	

Grade

Grade	Q4	Q4
Year Built	1930	EFF Year
Alt LUC		Alt %
		0.00

Depreciation

Code	Description	%
Condition	AV - Average	35.0
Functional	OB - One Ber	5.0
Economic		0.0
Special		0.0
OV		
Total Depreciation % >		38.3

Other Factors

Flood Hazard	Topography	Street Traffic	Bas \$/SQ
LEVEL	PAVED		159.00
Size Adj			1.49
Constr Adj			1.01
Adj \$/SQ			239.86
Other Featrs			20,500
Grade Fac			1.00
Neigh Infl			1.00
Land Factor			1.00
Adj Total			188,319
Depreciation			72,032
Depr Total			116,287

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	692	692	239.86	165,983
WD	WOOD DECK	96	0	19.13	1,836
Total		788	692		167,819

Notes

SHED 10X12 NV.- FUNC = ONLY 1 BEDROOM Summer cottage.Bldg vacant and Gutted. Dumpster on property,KR

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Special Features & Yard Items

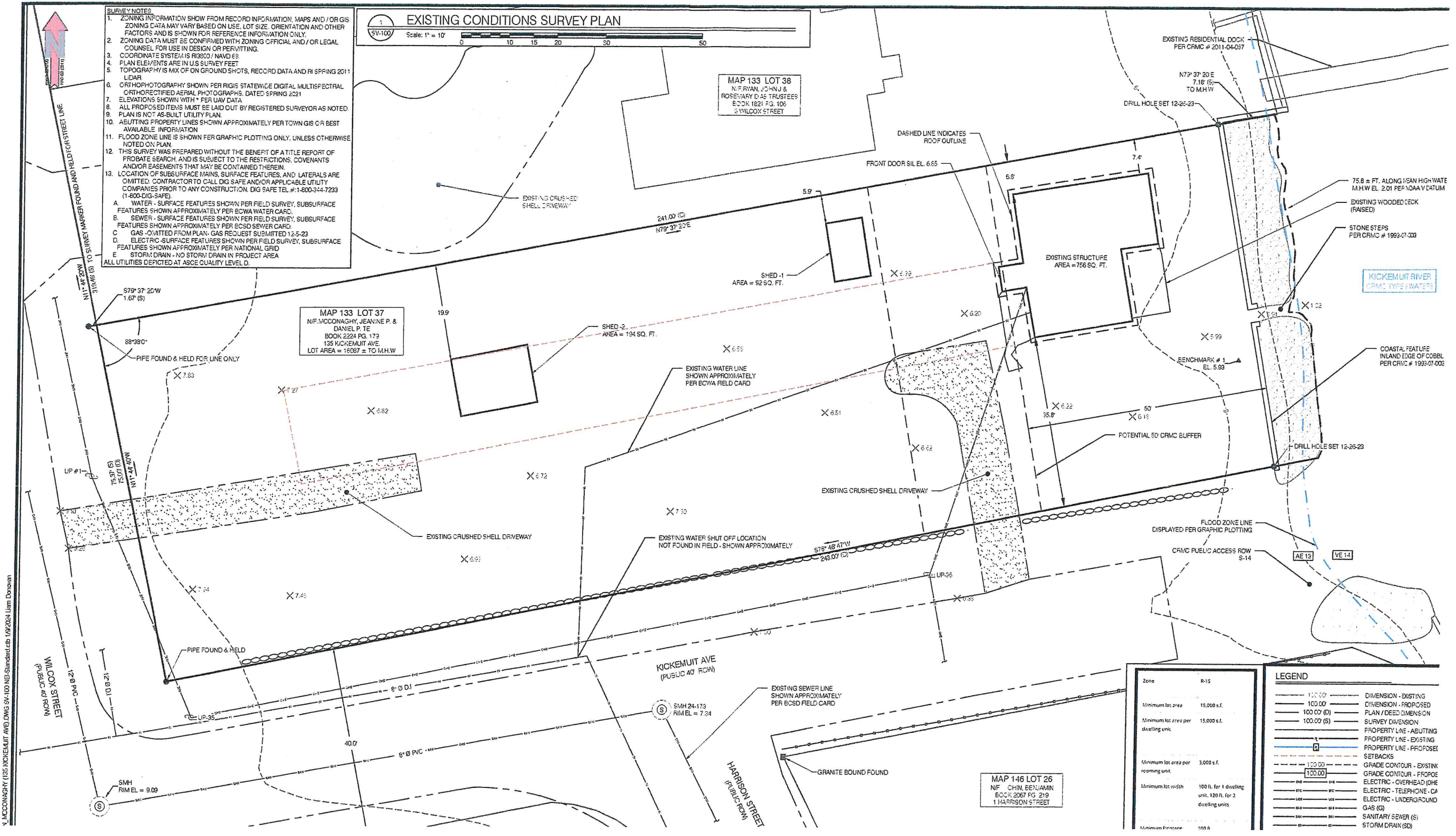
Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
2	Shed	1	Y	1	10	12	120	3	AV	2010	700
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

ArtTerm	Rental
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

Room Counts by Floor

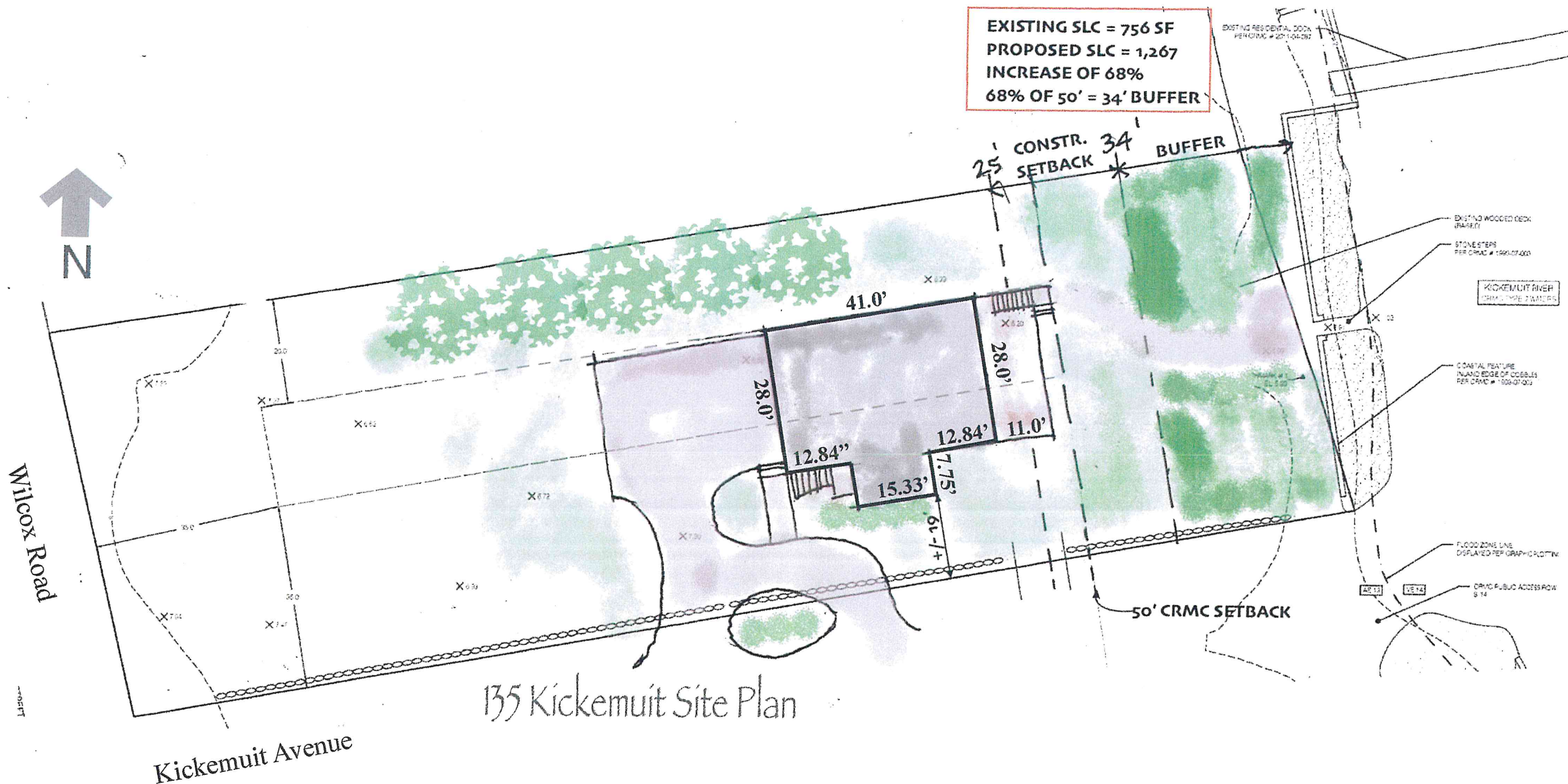
Units	# Rooms	# Bedrooms	Floor Level
1	1	4	1
2			U
3			
4			
Totals	1	4	1



SK1

EXISTING SITE PLAN
1"=20'

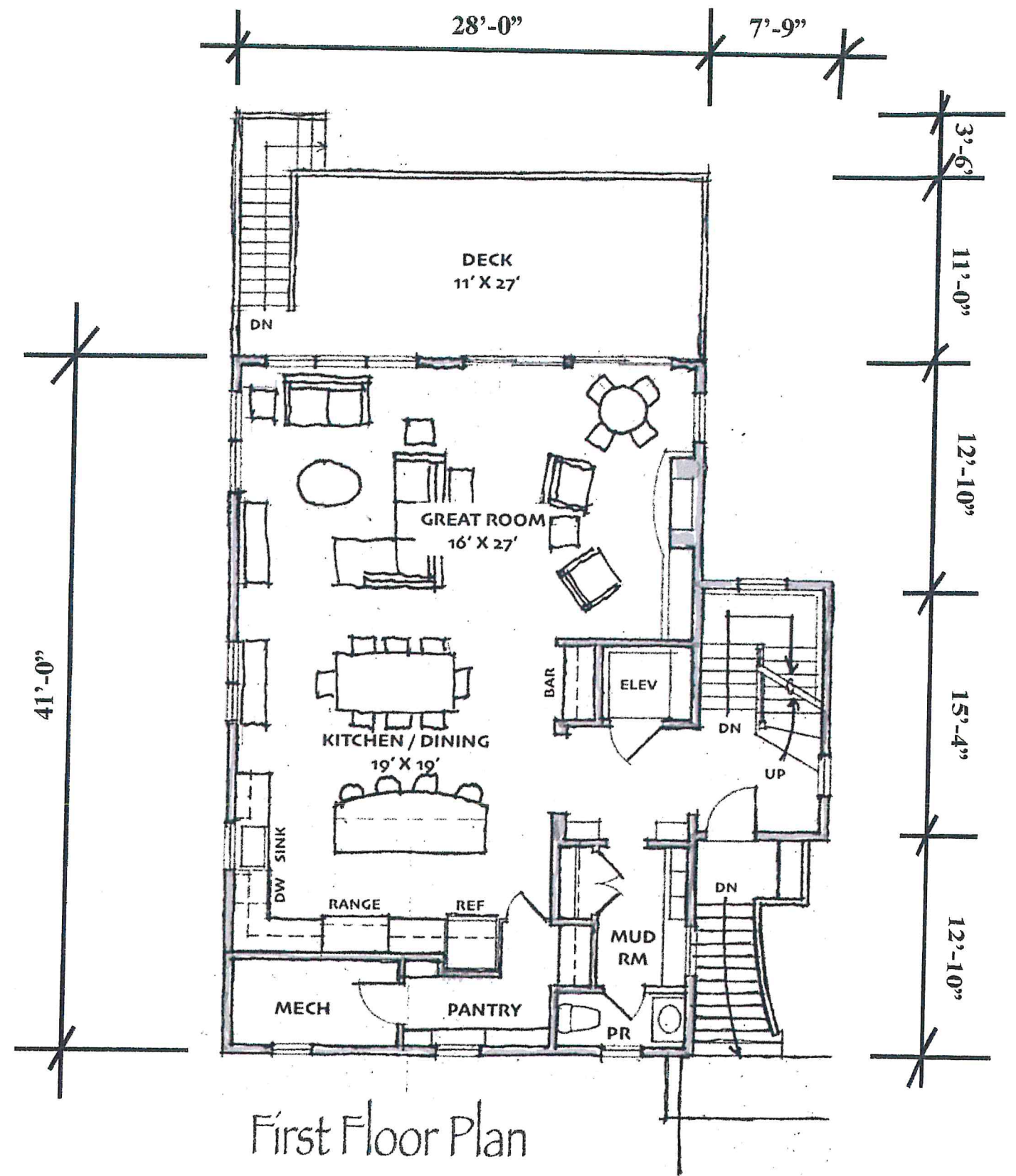
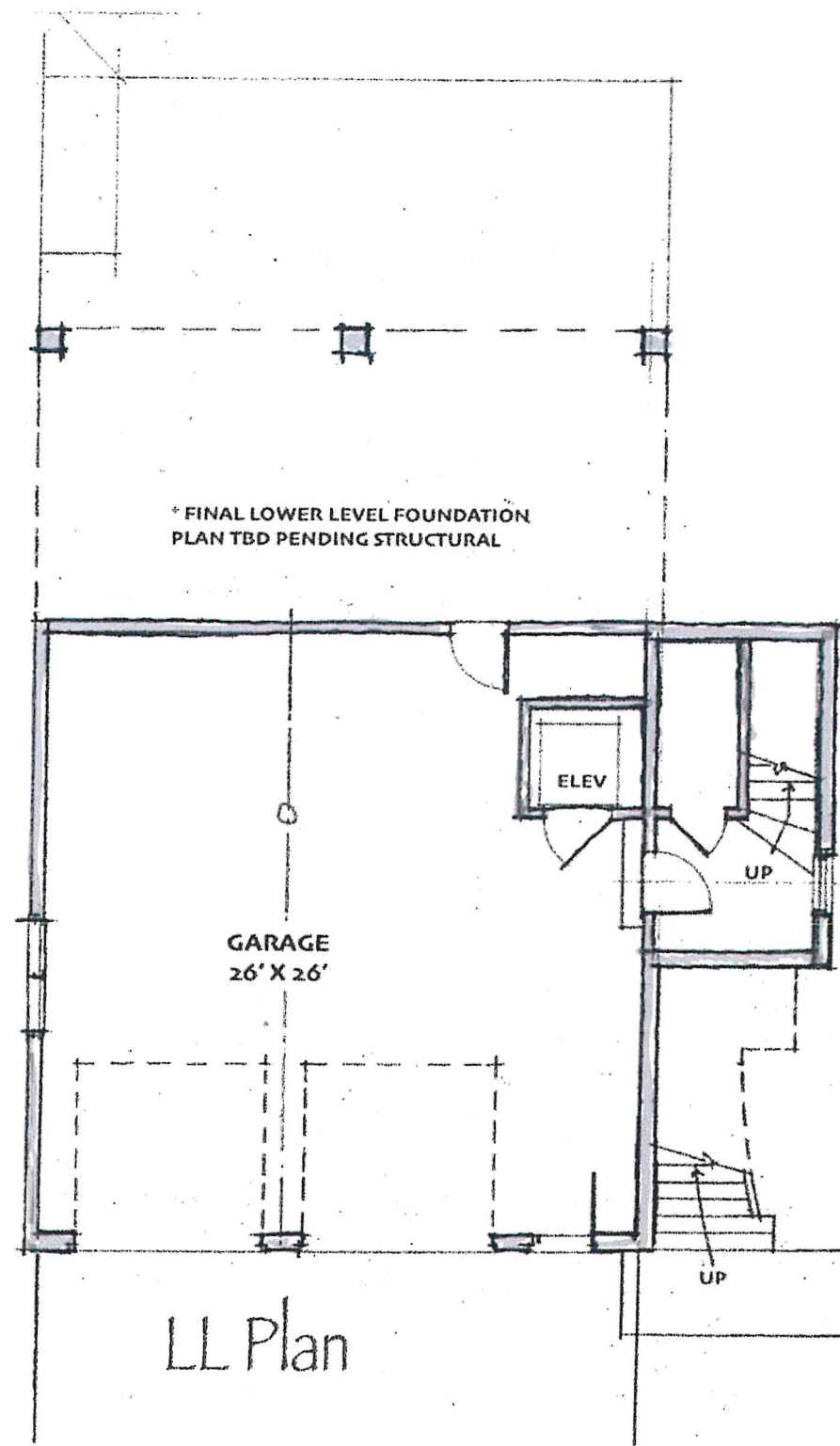
Sheridan Associate, Inc.
Jan 10, 2024

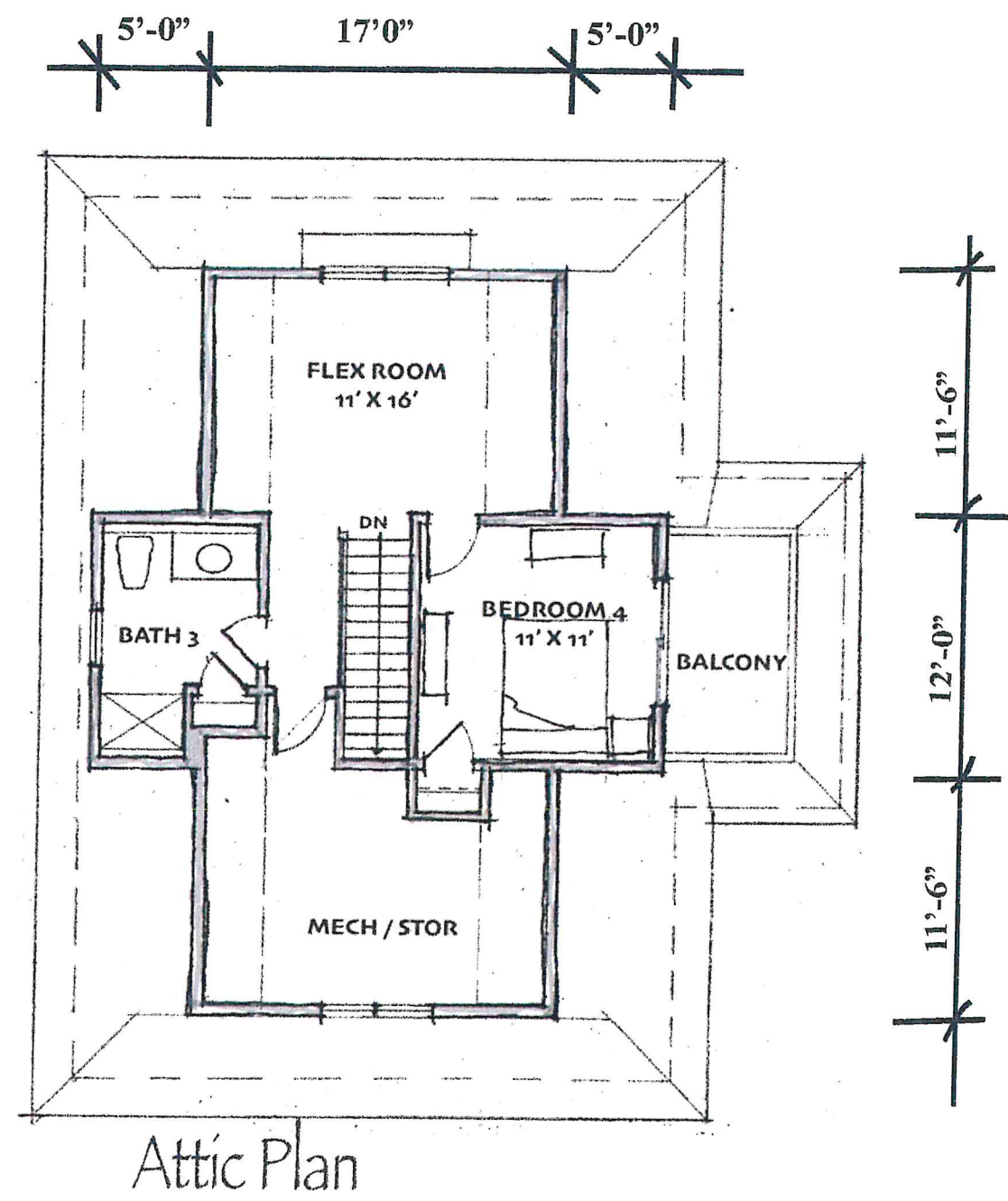
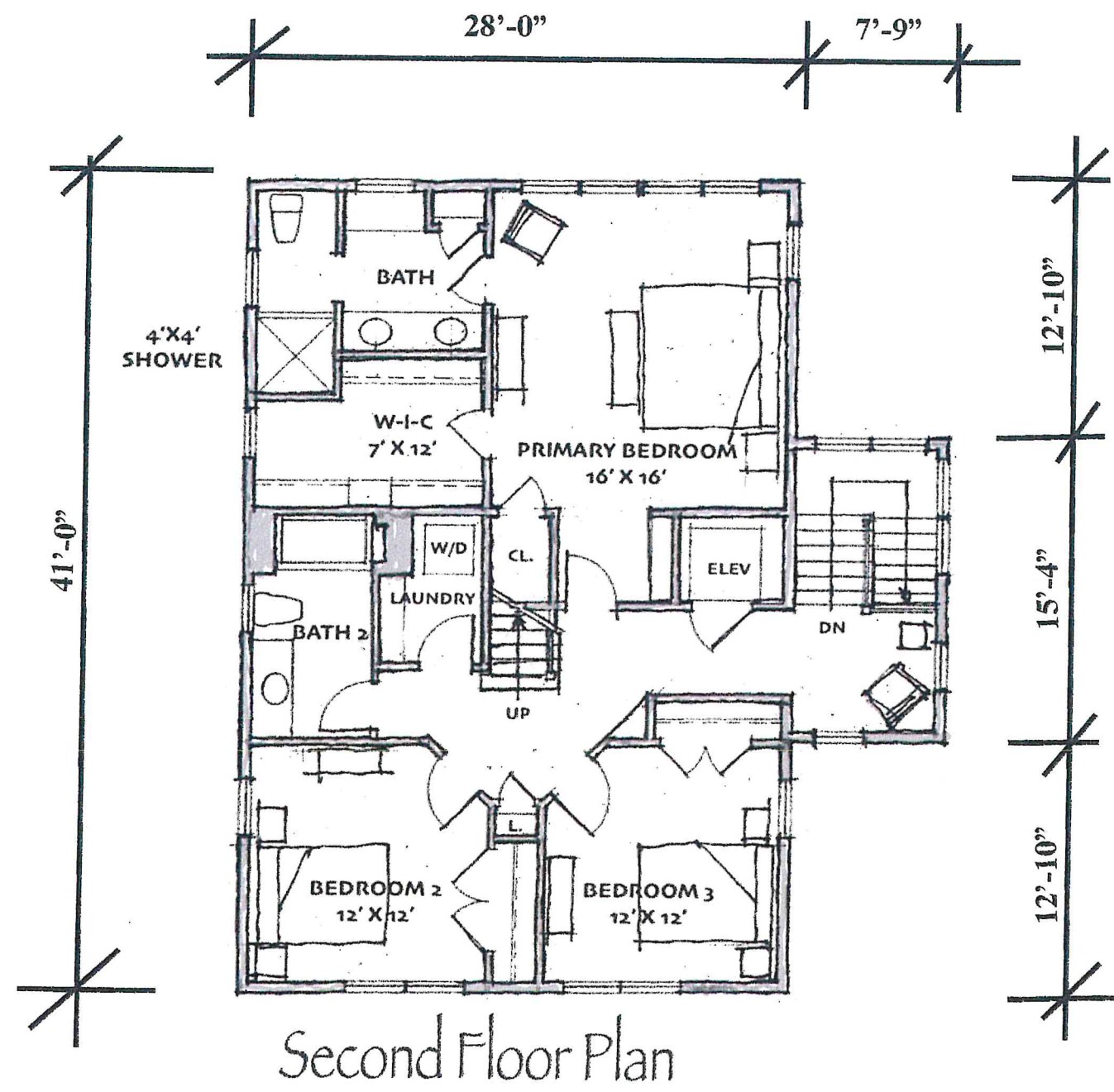


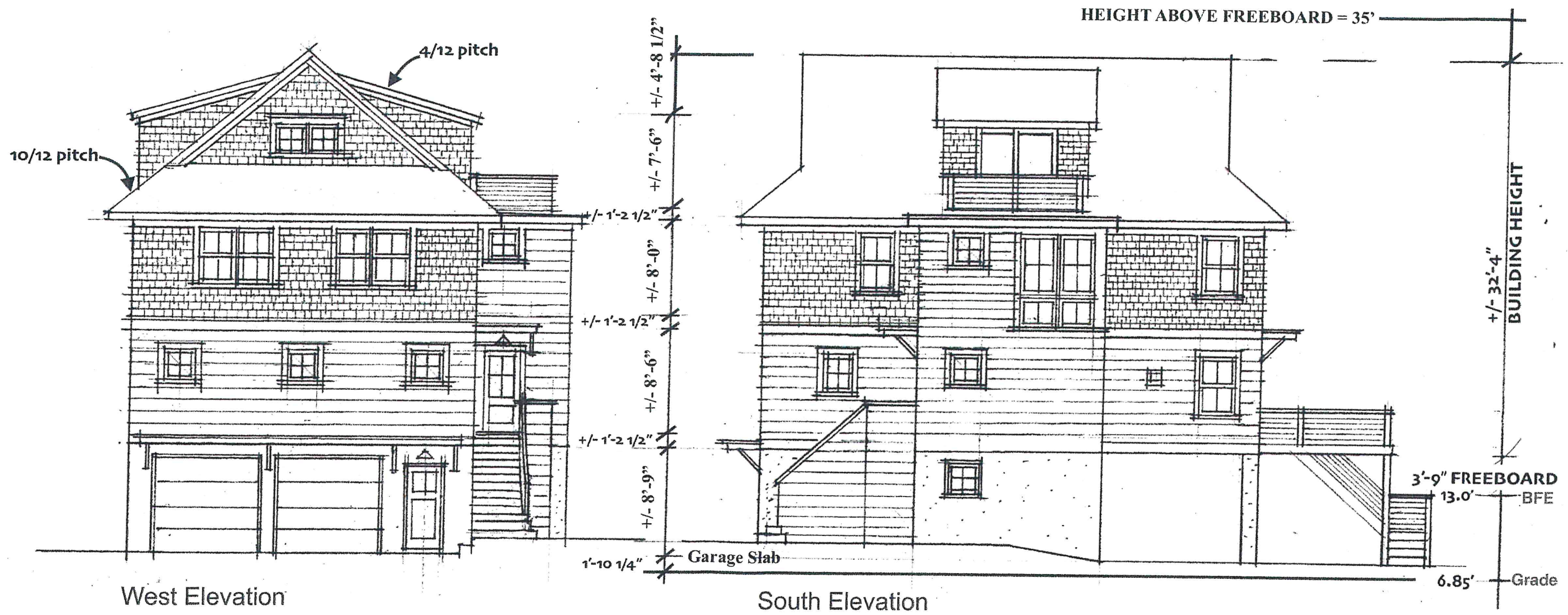
K2 PROPOSED Site Plan 1" = 20'

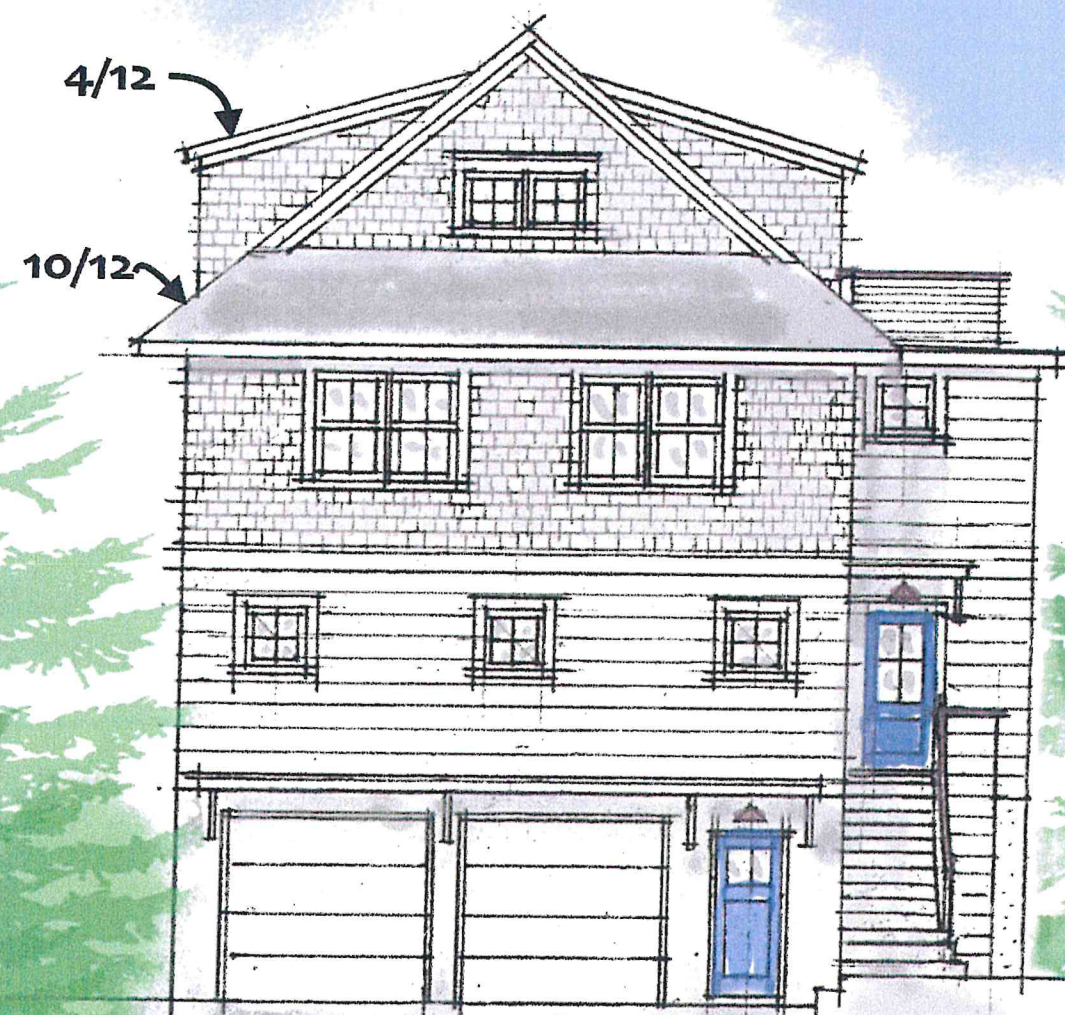
Sheridan Associates, Inc.
Jan 10, 2024











Wilcox Street Elevation

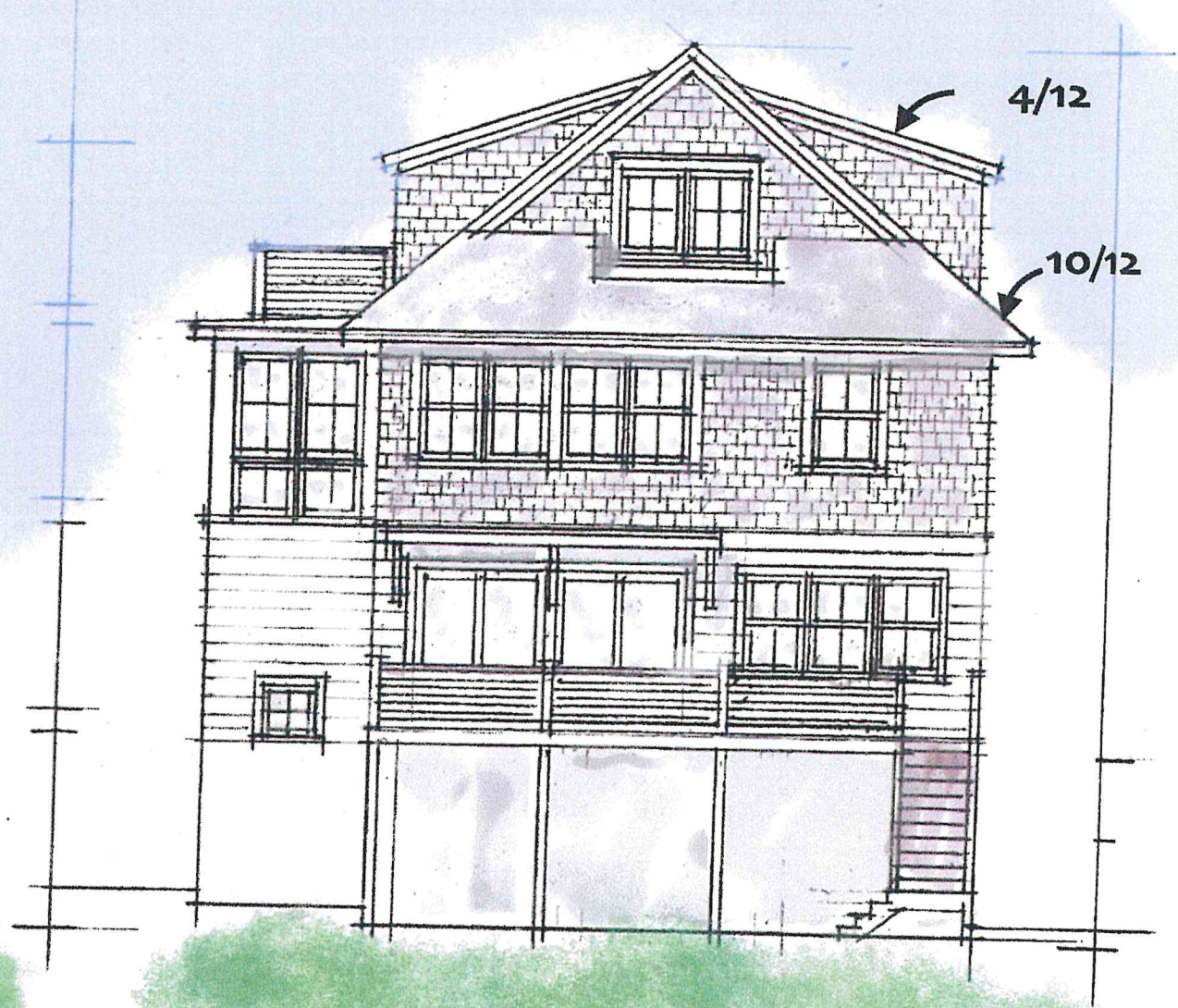


Kickemuit Ave. Elevation





Neighbor's Side Elevation



Water Side Elevation



135 Kickemuit Avenue - 300' Radius

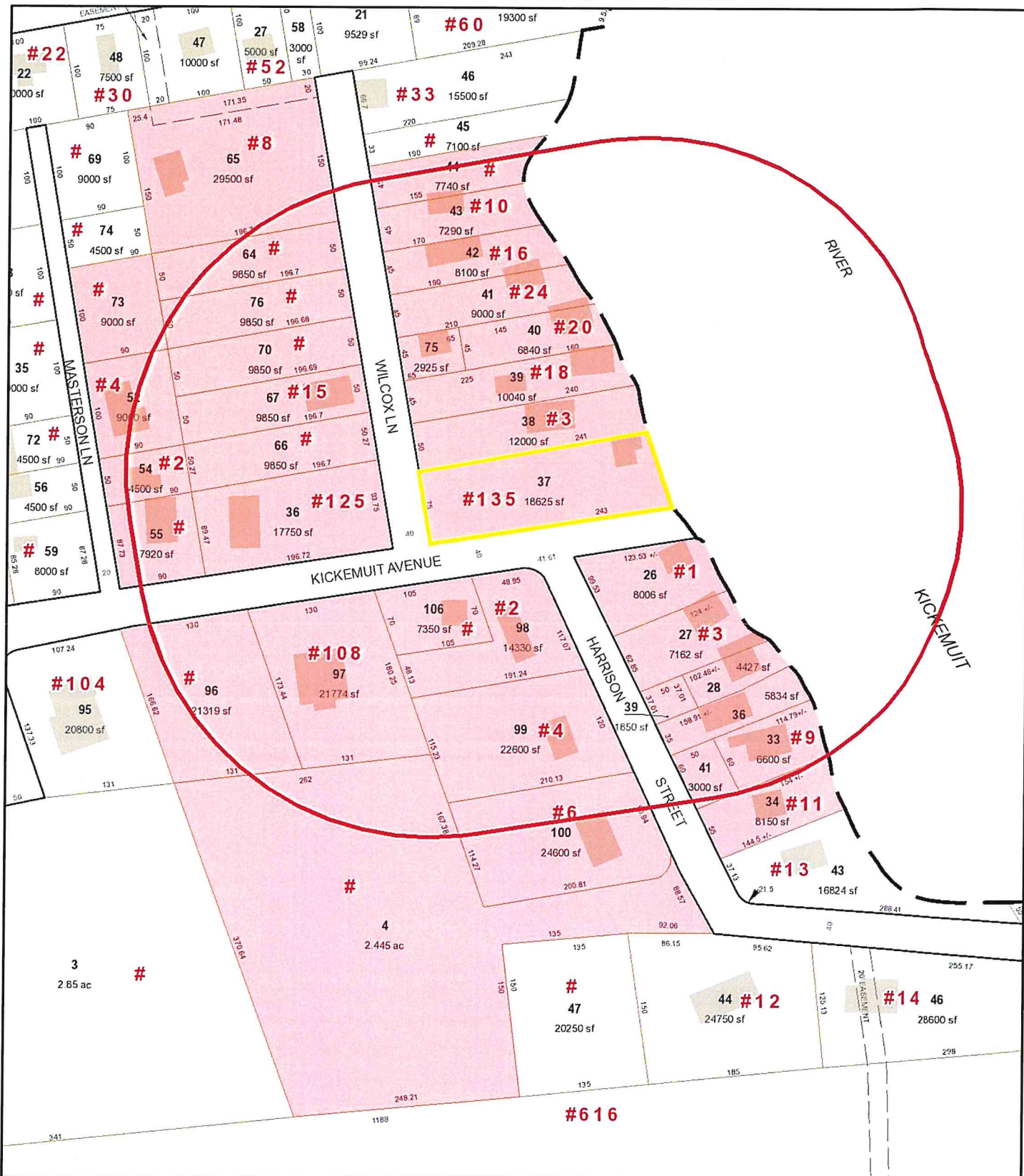
Bristol, RI



January 12, 2024

1 inch = 140 Feet

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300 foot Abutters List Report

Bristol, RI
January 12, 2024

Subject Property:

Parcel Number: 133-37
CAMA Number: 133-37
Property Address: 135 KICKEMUIT AVE

Mailing Address: MCCONAGHY, JEANINE P. & DANIEL P.
TE
135 KICKEMUIT AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 133-100
CAMA Number: 133-100
Property Address: 6 HARRISON ST

Mailing Address: BYRD, VAUGHN R
6 HARRISON ST
BRISTOL, RI 02809

Parcel Number: 133-106
CAMA Number: 133-106
Property Address: KICKEMUIT AVE

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 133-36
CAMA Number: 133-36
Property Address: 125 KICKEMUIT AVE

Mailing Address: WEBSTER, DENISE
125 KICKEMUIT AVE
BRISTOL, RI 02809

Parcel Number: 133-37
CAMA Number: 133-37
Property Address: 135 KICKEMUIT AVE

Mailing Address: MCCONAGHY, JEANINE P. & DANIEL P.
TE
135 KICKEMUIT AVE
BRISTOL, RI 02809

Parcel Number: 133-38
CAMA Number: 133-38
Property Address: 3 WILCOX ST

Mailing Address: RYAN, JOHN J & ROSEMARY D AS
TRUSTEES IRREVOC TRUST JULY 1,
2015
3 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-39
CAMA Number: 133-39
Property Address: 18 WILCOX ST

Mailing Address: SAOBENTO, KRIS MARIE STEVEN A
35 MONMOUTH DR
RIVERSIDE, RI 02915

Parcel Number: 133-4
CAMA Number: 133-4
Property Address: KICKEMUIT AVE

Mailing Address: FRANCIS BROTHERS REALTY, INC.
115 TUPELO ST.
BRISTOL, RI 02809

Parcel Number: 133-40
CAMA Number: 133-40
Property Address: 20 WILCOX ST

Mailing Address: MELLO ANTHONY S & MARIA C CO-
TRUSTEES
10 MEADOW CT.
SEEKONK, MA 02771

Parcel Number: 133-41
CAMA Number: 133-41
Property Address: 24 WILCOX ST

Mailing Address: QUINN, ROSWELL
24 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-42
CAMA Number: 133-42
Property Address: 16 WILCOX ST

Mailing Address: CALISE, PETER CAROL
16 WILCOX LN
BRISTOL, RI 02809



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1/12/2024

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300 foot Abutters List Report

Bristol, RI
January 12, 2024

Parcel Number: 133-43 CAMA Number: 133-43 Property Address: 10 WILCOX ST	Mailing Address: EATON, JAMES STEVEN TRUSTEE 10 WILCOX ST BRISTOL, RI 02809
Parcel Number: 133-44 CAMA Number: 133-44 Property Address: WILCOX ST	Mailing Address: PEIXOTO, MANUEL V., TRUSTEE MANUEL V PEIXOTO TRUST - 2009 9 WOBURN ST BRISTOL, RI 02809
Parcel Number: 133-52 CAMA Number: 133-52 Property Address: 4 MASTERSON LN	Mailing Address: MELLO, JEROME R. ET AL MARY E. OCONNELL 4 MASTERSON LANE BRISTOL, RI 02809
Parcel Number: 133-54 CAMA Number: 133-54 Property Address: 2 MASTERSON LN	Mailing Address: BENN, VICTOR G. GAIL B. TE 286 MCCOMBS ROAD MURPHY, NC 28906
Parcel Number: 133-55 CAMA Number: 133-55 Property Address: KICKEMUIT AVE	Mailing Address: BENN, VICTOR G. GAIL B. TE 286 MCCOMBS ROAD MURPHY, NC 28906
Parcel Number: 133-64 CAMA Number: 133-64 Property Address: WILCOX ST	Mailing Address: VAUGHN, MICHAEL D ET UX JEANNINE T TE 8 WILCOX LANE BRISTOL, RI 02809
Parcel Number: 133-65 CAMA Number: 133-65 Property Address: 8 WILCOX ST	Mailing Address: VAUGHN, MICHAEL D ET UX JEANNINE T TE 8 WILCOX LANE BRISTOL, RI 02809
Parcel Number: 133-66 CAMA Number: 133-66 Property Address: WILCOX ST	Mailing Address: CAMARA, THOMAS A. & JOANNE C. TRUSTEES 15 WILCOX ST BRISTOL, RI 02809
Parcel Number: 133-67 CAMA Number: 133-67 Property Address: 15 WILCOX ST	Mailing Address: CAMARA, THOMAS A. & JOANNE C. TRUSTEES 15 WILCOX ST BRISTOL, RI 02809
Parcel Number: 133-70 CAMA Number: 133-70 Property Address: WILCOX ST	Mailing Address: SAOBENTO, KRIS MARIE STEVEN A 35 MONMOUTH DR RIVERSIDE, RI 02915
Parcel Number: 133-73 CAMA Number: 133-73 Property Address: MASTERSON LN	Mailing Address: VAUGHN, MICHAEL D ET UX JEANNINE T TE 8 WILCOX LANE BRISTOL, RI 02809
Parcel Number: 133-75 CAMA Number: 133-75 Property Address: 22 WILCOX ST	Mailing Address: JENSEN, ROBERT S. DENISE R. TE 94 SAND PIPER DR. S KINGSTOWN, RI 02879



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300 foot Abutters List Report

Bristol, RI
January 12, 2024

Parcel Number: 133-76 CAMA Number: 133-76 Property Address: WILCOX ST	Mailing Address: VAUGHN, MICHAEL D ET UX JEANNINE T TE 8 WILCOX LANE BRISTOL, RI 02809
Parcel Number: 133-96 CAMA Number: 133-96 Property Address: KICKEMUIT AVE	Mailing Address: 40 DIXON STREET, LLC 104 KICKEMUIT AVE BRISTOL, RI 02809
Parcel Number: 133-97 CAMA Number: 133-97 Property Address: 108 KICKEMUIT AVE	Mailing Address: LATESSA, BRIAN A. MONIQUE L. 108 KICKEMUIT AVE BRISTOL, RI 02809
Parcel Number: 133-98 CAMA Number: 133-98 Property Address: 2 HARRISON ST	Mailing Address: ELJ, INC 703 METACOM AVE BRISTOL, RI 02809
Parcel Number: 133-99 CAMA Number: 133-99 Property Address: 4 HARRISON ST	Mailing Address: DIPAOLO, WANDA 4 HARRISON ST BRISTOL, RI 02809
Parcel Number: 146-26 CAMA Number: 146-26 Property Address: 1 HARRISON ST	Mailing Address: CHIN, BENJAMIN 68 BAY STATE AVE., #2 SOMERVILLE, MA 02144
Parcel Number: 146-27 CAMA Number: 146-27 Property Address: 3 HARRISON ST	Mailing Address: DELMAGE, MICHAEL 40 PHEASANT BROOK CRT BEDMINSTER, NJ 07921
Parcel Number: 146-28 CAMA Number: 146-28 Property Address: 5 HARRISON ST	Mailing Address: LUMINELLO, DWAYNE R. DARLENE D. TE 5 HARRISON ST BRISTOL, RI 02809
Parcel Number: 146-33 CAMA Number: 146-33 Property Address: 9 HARRISON ST	Mailing Address: PARDINI, RANDY STEPHAN TRUSTEE 9 HARRISON ST BRISTOL, RI 02809
Parcel Number: 146-34 CAMA Number: 146-34 Property Address: 11 HARRISON ST	Mailing Address: ARAGO, CYNTHIA A TRUSTEE CYNTHIA A ARAGO REV TRUST 27 WILDFLOWER DR SEEKONK, MA 02771
Parcel Number: 146-36 CAMA Number: 146-36 Property Address: 7 HARRISON ST	Mailing Address: BAILEY, MONICA L. 7 HARRISON ST BRISTOL, RI 02809
Parcel Number: 146-39 CAMA Number: 146-39 Property Address: HARRISON ST	Mailing Address: LUMINELLO, DWAYNE R. DARLENE D. TE 5 HARRISON ST BRISTOL, RI 02809



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1/12/2024

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300 foot Abutters List Report

Bristol, RI
January 12, 2024

Parcel Number: 146-41
CAMA Number: 146-41
Property Address: HARRISON ST

Mailing Address: PARDINI, RANDY STEPHAN TRUSTEE
9 HARRISON AVE
BRISTOL, RI 02809



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40 DIXON STREET, LLC
104 KICKEMUIT AVE
BRISTOL, RI 02809

EATON, JAMES STEVEN TRUST
10 WILCOX ST
BRISTOL, RI 02809

PARDINI, RANDY STEPHAN TR
9 HARRISON ST
BRISTOL, RI 02809

ARAGO, CYNTHIA A TRUSTEE
CYNTHIA A ARAGO REV TRUST
27 WILDFLOWER DR
SEEKONK, MA 02771

ELJ, INC
703 METACOM AVE
BRISTOL, RI 02809

PEIXOTO, MANUEL V., TRUST
MANUEL V PEIXOTO TRUST -
9 WOBURN ST
BRISTOL, RI 02809

BAILEY, MONICA L.
7 HARRISON ST
BRISTOL, RI 02809

FRANCIS BROTHERS REALTY,
115 TUPELO ST.
BRISTOL, RI 02809

QUINN, ROSWELL
24 WILCOX ST
BRISTOL, RI 02809

BENN, VICTOR G.
GAIL B. TE
286 MCCOMBS ROAD
MURPHY, NC 28906

JENSEN, ROBERT S.
DENISE R. TE
94 SAND PIPER DR.
S KINGSTOWN, RI 02879

RYAN, JOHN J & ROSEMARY D
IRREVOC TRUST JULY 1, 201
3 WILCOX ST
BRISTOL, RI 02809

BYRD, VAUGHN R
6 HARRISON ST
BRISTOL, RI 02809

LATESSA, BRIAN A.
MONIQUE L.
108 KICKEMUIT AVE
BRISTOL, RI 02809

SAOBENTO, KRIS MARIE
STEVEN A
35 MONMOUTH DR
RIVERSIDE, RI 02915

CALISE, PETER
CAROL
16 WILCOX LN
BRISTOL, RI 02809

LUMINELLO, DWAYNE R.
DARLENE D. TE
5 HARRISON ST
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

CAMARA, THOMAS A. & JOANN
15 WILCOX ST
BRISTOL, RI 02809

MCCONAGHY, JEANINE P. & D
135 KICKEMUIT AVE
BRISTOL, RI 02809

VAUGHN, MICHAEL D ET UX
JEANNINE T TE
8 WILCOX LANE
BRISTOL, RI 02809

CHIN, BENJAMIN
68 BAY STATE AVE., #2
SOMERVILLE, MA 02144

MELLO ANTHONY S &
MARIA C CO-TRUSTEES
10 MEADOW CT.
SEEKONK, MA 02771

WEBSTER, DENISE
125 KICKEMUIT AVE
BRISTOL, RI 02809

DELMAGE, MICHAEL
40 PHEASANT BROOK CRT
BEDMINSTER, NJ 07921

MELLO, JEROME R. ET AL
MARY E. OCONNELL
4 MASTERTON LANE
BRISTOL, RI 02809

DIPAOLLO, WANDA
4 HARRISON ST
BRISTOL, RI 02809

PARDINI, RANDY STEPHAN TR
9 HARRISON AVE
BRISTOL, RI 02809

TOWN OF BRISTOL
COMMUNITY DEV.

2024 JAN 29 PM 12: 55



January 29, 2024

Town of Bristol Zoning Board; Attention Ed Tanner

RE: 135 Kickemuit Avenue Variance Request

Dear Bristol Zoning Board Members,

We are writing to amend the dimensional variance request from a requested front yard setback of 19' to a requested front yard setback of 17.3' where 35' is required. The changed request is due to the discovery that the lot is not a perfect rectangle, but rather becomes slightly narrower as it approaches the Kickemuit River frontage. The location and size of the proposed house has not changed.

Sincerely yours,

A handwritten signature in black ink that reads "John Sheridan".

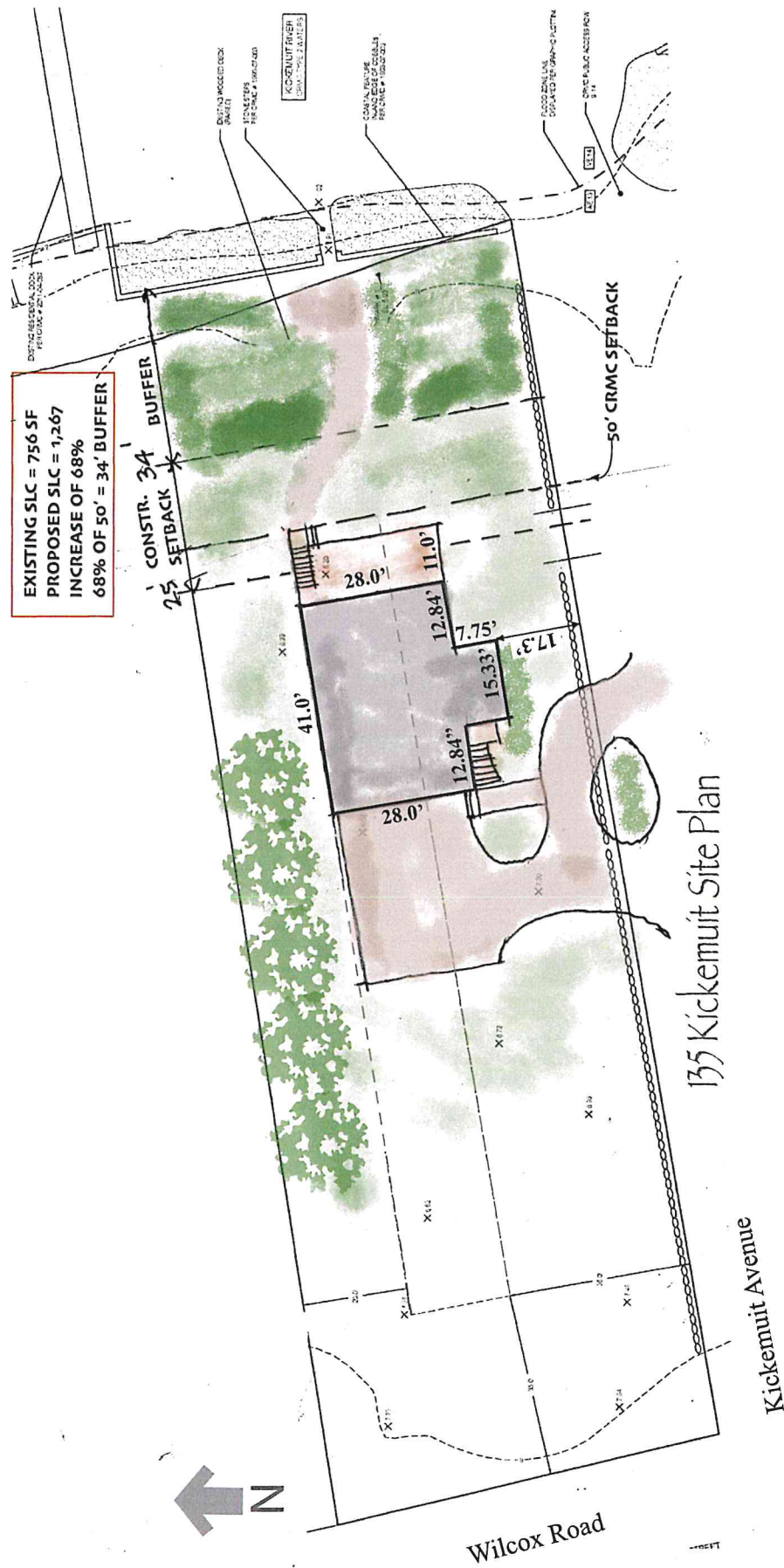
John Sheridan, AIA
Sheridan Associates, Inc



Sheridan Associate, Inc.
Jan 10, 2024

EXISTING SITE PLAN
1"=20'

SKI



EXISTING SLC = 756 SF
 PROPOSED SLC = 1,267
 INCREASE OF 68%
 68% OF 50' = 34' BUFFER

CONSTR. 34' BUFFER
 25' SETBACK

50' CRMC SETBACK

135 Kickemuit Site Plan

Kickemuit Avenue

Wilcox Road

PROPOSED Site Plan 1" = 20'

SK2

Variance and Special Use Request for

135 Kickemuit Avenue, Bristol, RI (Revised 1/29/24)

The subject property is an 18,625 sf lot located at the corner of Wilcox Street and Kickemuit Avenue. There is currently a 1930 one bedroom cottage with two small sheds on the lot. The property is accessed from both Kickemuit Avenue and Wilcox Street. Kickemuit Avenue at this location is a dead end right of way for access to the Kickemuit River.

The existing house is in disrepair, is too close to the coastal feature and is well below the base flood elevation. The owners intend to demolish it and build a new full time family residence. The new house strives to comply with CRMC, FEMA, and the Town of Bristol Zoning Ordinance while providing the owners with a modest size residence for them and their three children. Care has been taken with the design to give it architectural interest that will be an asset to the neighborhood with various articulations and a steep roof-line while keeping a reasonable footprint. The house's height above the flood protection measures is being kept to a visual minimum with a steep roof and entry stair articulation at the street side.

Relief is being requested of the Zoning Board in the following areas:

- 1) A **Special Use Permit** is requested due to the proposed structure being over 25' in a flood zone. The proposed house will be 42'-4" above the existing mean grade of 6.85' and 41'-0" above proposed final grade. There will be 3'-9" of Freeboard above the 13.0' Base Flood Elevation making the "Building Height" 32'-4". The design has minimized the height by limiting the interior ceiling heights and creating large overhangs that extend down to just above the second floor windows giving the appearance of a much lower roof. The design complies with all standards in Section 28-150 (eee) and, we believe, the spirit of the standard in Section 28-150 (eee)4.i for which we request a dimensional variance.
 - a. Standard 1: The construction will conform to all building code requirements in a flood zone. The lower level will be properly flood vented and engineered per requirements for residences in the AE Zone with limited wave action. Moreover, the design provides an additional 3'-9" of Freeboard per recommendations from CRMC and FEMA.
 - b. Standard 2: No roof pitches are less than 4/12 except under deck. The small attic dormers have a 4/12 roof pitch, the main roof has a pitch of 10/12 around the entire house with large overhangs. The only roof pitch less than 4/12 is the small deck over the entry stair bay.
 - c. Standard 3: Wilcox side front yard is well back of the average street-side setbacks. Kickemuit side front yard is subject to Variance Request below
 - d. Standard 4: Building size is as follows.
 - Lot Size 18,625sf - .3 GFA = 5,588 sf
 - 60% allowed on 1st Floor = 3,353 sf

- 40% allowed on 2st Floor = 2,235sf
 - Actual proposed footprint:
 - 1st Floor = 1,267sf (23% of GFA)
 - 2nd Floor 1,267sf (23% of GFA)
 - Attic Under Roof 700 sf
 - Water-side Deck 308 sf (5.5% of GFA where 15% is allowed)
- e. Standard 5. Articulation along the public right of way consists of an entry stair bay that is 7'- 9" deep by 15'-4" wide in the middle of the 41' length of the house covering the entire vertical surface.

2) **A Dimensional Variance** is requested from the newly adopted Special Use rule Section 28-150(eee)4.i which states that a second floor footprint should not exceed two thirds of the first floor footprint. As noted above, our design has used low overhangs and articulations to create interest and the feel of a lower roof. The first floor footprint is 1,267 sf (23% of GFA where 3,353 is allowed based on the lot size), the second floor is 1,267 and the attic under roof is 700sf. Our proposed design meets all of the Special Use criteria and, we believe is in concert with the spirit of those criteria. The request for relief from this specific criteria, complies with the standards in Sec. 28-409.

- a. *That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant.* Because the existing grade of 6.85 is so far below BFE, the house needs to be raised significantly to comply with FEMA flood zone requirements and the recommended added freeboard per CRMC. Having the first floor footprint be larger than requested would result in a significantly longer house given the shape and constraints of the lot that would not be in concert with the neighborhood or desired by the owners.
- b. *That such hardship is not the result of any prior action of the applicant.* The existing property presents this hardship and the existing dwelling needs to be replaced as it is in disrepair and well below BFE.
- c. *That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town.* The style and size of the house is consistent with surrounding area and the intent of the chapter appears to be to prevent elevated houses with little articulation and flat roofs. In contrast, this design has deep eaves and a street side articulation that maintains the spirit of the provision.
- d. *In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more*

valuable after the relief is granted shall not be grounds for relief. Owners have three children and are attempting to maintain a small footprint house with adequate bedrooms. Having a main 2nd floor sleeping floor with three bedrooms is a normal residential expectation and one that is a minimum need for the owners. In addition, because the owner's wish to age in place, area for an elevator is needed. As such the 2nd floor has been designed to provide basic useable spaces in as small as space as practical at a reasonable 1267sf. To comply with section Section 28-150(eee)4.i, owners would need to enlarge the first floor significantly to a minimum of 1900sf. This would result in a needlessly large residence with significantly longer frontage along the Kickemuit Avenue — potentially a minimum of an additional 22' x 28'. Owners would like to avoid having such a large first floor footprint and house that is so much larger than surrounding houses, and is much larger than they need or want. Also, while long narrow houses are sometimes desirable, because the house needs to be so elevated for flood purposes, the resulting footprint of the unused ground floor would be massive.

- 3) A **Dimensional Variance** is requested to have a 17.3' Front Yard on the Kickemuit Avenue side where 35' is required. The 17.3' is to the stair bay ("side articulation") which breaks up the massing of the house. The setback to the main structure is 25.05'. The proposed house location at the dead end off of Kickemuit Ave is generally beyond where the street becomes a granite marked "Public Right of Way" after the Harrison St intersection. The request complies with the standards in Sec. 28-409.
- a. *That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant.* As a corner lot subject to both building restriction setbacks and CRMC buffer and construction setbacks, the buildable area is uniquely constrained. With a 75' wide lot and a 20' side yard and 35' front yard the buildable house width is 20' making it impossible to fit a modest house without relief.
 - b. *That such hardship is not the result of any prior action of the applicant.* The existing shape and location of property presents this hardship.
 - c. *That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town.* The style and size of the house is consistent with surrounding area. Moreover, because Kickemuit Avenue at this point after Harrison Street is a dead end water access right of way, the reduction in front yard has even less impact. Additionally, while the existing cottage to be demolished has a current side yard of +/-7' where 20' is required, the proposal for the new dwelling is an improvement in holding the 20' side yard separation to the home at 3 Wilcox.
 - d. *In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount*

to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief. Owners would be unable to fit the modest footprint house on the property given the dimensional constraints. Moreover, the Kickemuit Avenue Main Entry Articulation would be constrained undermining the intent to have a design that fits into the character of the neighborhood and the effort to comply with the articulation requirements of the Special Use regulations. This would effectively prohibit the owners from building their forever residence.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No:

Accepted by ZEO:

APPLICANT	Name: Jeanine and Daniel McConaghy
	Address: 135 Kickemuit Ave
	City: Bristol State: RI Zip: 02809
	Phone #: (401) 234-3050 Email: dpmcconaghy@gmail.com
PROPERTY OWNER	Name: _____
	Address: _____
	City: _____ State: _____ Zip: _____
	Phone #: _____ Email: _____

1. Location of subject property: 135 Kickemuit Avenue

Assessor's Plat(s)#: 133 Lot(s) #: 37

2. Zoning district in which property is located: R-15

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s) Special Use Permit Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28.111; Front yard setback 28-150 (ccc) 4.i; Footprint

Special Use Permit Section(s): 28.111; Building height in a Flood Zone

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: Purchased 9/29/23

7. Present use of property: Single family dwelling

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 29' x 28', 692 sf
There are also 2 small sheds, 194 sf and 92 sf

10. Proposed use of property: Single family dwelling

11. Give extent of proposed alterations: Demolition of existing house and sheds located within the flood zone and construction of a new flood elevated single family house

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
 Building size: 28' x 41' with a 7.75'x15.33' stair bay on public right-of-way side, total 1,267 sf.
 Building Height: 42.33' above mean existing grade but 32.33' above: freeboard

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>35'</u>	Proposed Setback: <u>49' 17.3'</u>
Left side lot line:	Required Setback: <u> </u>	Proposed Setback: <u> </u>
Right side lot line:	Required Setback: <u> </u>	Proposed Setback: <u> </u>
Rear lot line:	Required Setback: <u> </u>	Proposed Setback: <u> </u>
Building height:	Required: <u>35'</u>	Proposed: <u>42'-4" (32'-4" above freeboard)</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: Proposed:

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No
 If yes, has he refused a permit? If refused, on what grounds?

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: x Sewer: x

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? Yes If yes, which one?: AE 13

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: *D.P. McC* Jeanne P. McConaghy Date: 1/11/24
 Print Name: Daniel P. McConaghy
Jeanne P. McConaghy

Property Owner's Signature: *D.P. McC* Jeanne P. McConaghy Date: 1/11/24
 Print Name: Daniel P. McConaghy
Jeanne P. McConaghy

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:
 Name: Bruce H. Cox Telephone #: 401-437-1100
 Address: 1481 Wampanoag Trail East Providence RI 02915





Town of Bristol, Rhode Island

Department of Community Development

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

February 2, 2024

TO: Zoning Board

FROM: Diane M. Williamson, Director

RE: **135 Kickemuit Avenue**
Special Use Permit to construct a single-family dwelling
In the flood zone over 25' in height

The Technical Review Committee met to review the above application and the Special Use Permit Standards that were recently adopted by the Town Council in January. These new Special Use Permit standards regulate the design of structures in the Flood Zone with the intent to minimize the size and scale of the structures.

In review of the application, the Technical Review Committee noted the following:

The proposal includes demolition of a Residential structure in the Flood zone that is non-compliant with the current FEMA requirements.

In review of the Special Use Permit Standards relative to design and the proposed new dwelling, the Technical Review Committee noted that the proposal would comply with all of the standards except for the standard that requires that the second floor be not more than 2/3 of the total size of the first floor for which the applicants are also seeking a dimensional variance. In review of this standard, it was noted that the total gross floor area is substantially smaller than what is allowed to be built on the lot. In addition, the architect provided illustrations to show that the structure could be larger on the first floor which would make the second floor compliant with the standard; however, the applicant did not want a larger first floor. Based on this, the Technical Review Committee believes that the proposal as presented meets the intent of the new standard.

The Technical Review Committee passed a motion to recommend that the Special Use Permit, with the dimensional variance on the second floor, be granted finding that the proposed dwelling meets all of the Special Use Permit standards and also meets the intent of the new standard regulating the size of the second floor given the overall smaller size of the structure.

It was also noted that any approval by the Zoning Board needs to be conditioned on the Special Use Permit standard regarding compliance with all applicable building and FEMA codes (reference Zoning Section 28-301 to 28-311).