

TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW

Zoning Board of Review Agenda Monday, July 14, 2025 at 7:00 PM Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <u>https://bristol-</u><u>ri.municodemeetings.com/</u>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to <u>etanner@bristolri.gov</u>. Written comments should be received no later than 12:00 p.m. on **July 10, 2025**.

1. Pledge of Allegiance

- 2. Approval of Minutes June 2, 2025
- 3. Continued Petitions
 - 3A. 2025-10 Geoffrey M. Vicente Dimensional Variance (continued from April): to construct a 28ft. x 40ft. single family dwelling with less than the required front yard. Located at **Tilbury Drive**; Assessor's Plat 153, Lot 439; Zone: R-10
 - 3B. 2025-17 Scott M. Davis Dimensional Variances (continued from June): to construct additions to an existing single-family dwelling, including a 30ft. x 48ft. two-story garage and accessory dwelling unit (ADU) addition, with less than the required lot area for an ADU within a new structure, greater than permitted size for a two-bedroom ADU, less than the required rear yard, and less than the required right side yard. Located at 5 Barbara Drive; Assessor's Plat 150, Lot 111; Zone: R-15.
- 4. New Petitions
 - **4A. 2025-20 John Marshall / JM Bristol, LLC Dimensional Variance:** to construct a second-story living area addition, and 5ft. x 18ft. front porch and 3.5ft. x 14ft. rear balcony/deck additions, to an existing

single-family dwelling with greater than permitted lot coverage by structures. Located at 8 Constitution Street; Assessor's Plat 11, Lot 20; Zone: R-6

- **4B. 2025-21 Brian Hutchison Dimensional Variances**: to construct a 24ft. x 38ft. single-story mudroom and accessory dwelling unit (ADU) addition to the rear of an existing single-family dwelling with less than the required rear yard, less than the required left side yard, and greater than permitted lot coverage by structures. Located at **127 Peck Avenue**; Assessor's Plat 61, Lot 8; Zone: R-10
- 4C. 2025-21 David Butera Dimensional Variances: to construct an approximate 44ft. x 68ft. two-story single-family dwelling with less than the required left and right side yards; and to construct a 26ft. x 28ft. two-story accessory garage structure with a 6ft. x 12ft. second story deck at an overall size and height greater than permitted for accessory structures in the R-40 zoning district. Located at 133.5 Ferry Road; Assessor's Plat 165, Lot 4; Zone: R-40

4D. July 2025 Staff Reports

5. Correspondence

5A. Request for extension of variance approval for Nathan and Sarah Dell, 12 Paine Avenue; Assessor's Plat 148, Lot 65; File 2023-23

6. Adjournment

Date Posted: June 25, 2025

Posted By: emt



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street Bristol, RI 02809 401-253-7000 www.bristolri.gov

File #2025-10

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review that a public hearing will be held on the following application:

<u>Monday, April 7, 2025</u> at 7:00 P.M. **Bristol Town Hall 10 Court Street**

Geoffrey M. Vicente **APPLICANT: PROPERTY OWNER: Geoffrey M. Vicente** LOCATION: **Tilbury Drive** PLAT: 153 LOT: 439

ZONE: Residential R-10

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE: to construct a 28ft. x 40ft. single family dwelling with less than the required front yard.

an

Edward M. Tanner. Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at https://bristol-ri.municodemeetings.com/. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, April 3, 2025.

	Town of Pristol, Dhada Isla	Item 3A.
South OF I	Town of Bristol, Rhode Isla	IN OF BRISTOL
	Department of Community Devel Zoning Board of Review,	
R HODE I	2023 H	[
	APPLICATION	File No: 2025-10
		Accepted by ZEO: E 3/ 18/25
APPLICANT:	Name: GEOFFREY VICONTE	
	Address: 11 Waterview LANE	
		Zip: 02885
		ente e build b.s. com
PROPERTY	Name: GEOFFREY VILENTE	
OWNER:	Address: 11 WAterview LANE	
	City: DATCEN State: KI Phone #: 508 985-2624 Email: SA	Zip: 02885
	Phone #: 308 989-2624 Email: SA	ME AS ABOUE
	rict in which property is located: $\underline{R - 10}$	
/	Dimensional Variance(s)Special Use Permit	Use Variance
4. Which parti	cular provisions of the Zoning Ordinance is applicable to this applicat	ion?
Dimen	sional Variance Section(s): Front Setback	Contraction of the second s
3	Use Permit Section(s):	
	e written statement (attach to this application), please describe the g permit and how the proposal will meet the standards found in Sectior	
		-
	of property: <u>NONE</u>	
	nilding on the property at present?	
	of existing building (size in feet, area in square feet, height of exterio	
10. Proposed ı	se of property: To Build A Single Family	HOME

11. Give extent of proposed alteration ONLY From 21' From Restrictions. All engine Completed AND Attach	ns: <u>Requesting</u> <u>property Line</u> <u>Neering</u> <u>plans</u> <u>requ</u> red to <u>Applicatio</u>	VARIANCE to Fron to 11" Dup to 4 wild to SATISFY H.	H SET BACK DET LAND AUE BEEN	
12. Dimensions of proposed building/	addition (size in feet, area in s	quare feet, height of exterior in	feet):	
30 × 40 Sincle Family	Home COLONIAL S	tiale Tratai Living	SOACE	
30 x 40 Single FAMILY IST FLOOR 878 0FT	LUNE SPACE 200	FLOOR 1155 DET	Total 202	
	surgaptie 200		TOTAL 403-	
13. If dimensional relief is being sough	nt, please state the required a	nd proposed dimensions and se	thack distances	
between the proposed building/ac		ia proposed annensions and se	toack distances	
	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			
Front lot line(s): Requir	ed Setback:2/	Proposed Setback:	10'	
Left side lot line: Requir	ed Setback: 10	Proposed Setback:		
Right side lot line: Requir	ed Setback: 10	Proposed Setback:		
Rear lot line: Require	ed Setback:	Proposed Setback:		
Building height: Require	ed: 351	Proposed:		
Other dimensions (building size, lo				
Required:		Proposed:		
 13. Number of families before/after p 14. Have you submitted plans for the a If yes, has he refused a permit?	above alterations to the Buildi	ng Official?	After	
15. Are there any easements on your p	,			
16. Which public utilities service the property? Water: Sewer:				
17. Is the property located in the Bristo	ol Historic District or is it an in	dividually listed property?	NO	
18. Is the property located in a flood zo	one?	If yes, which one?:		

Item 3A.

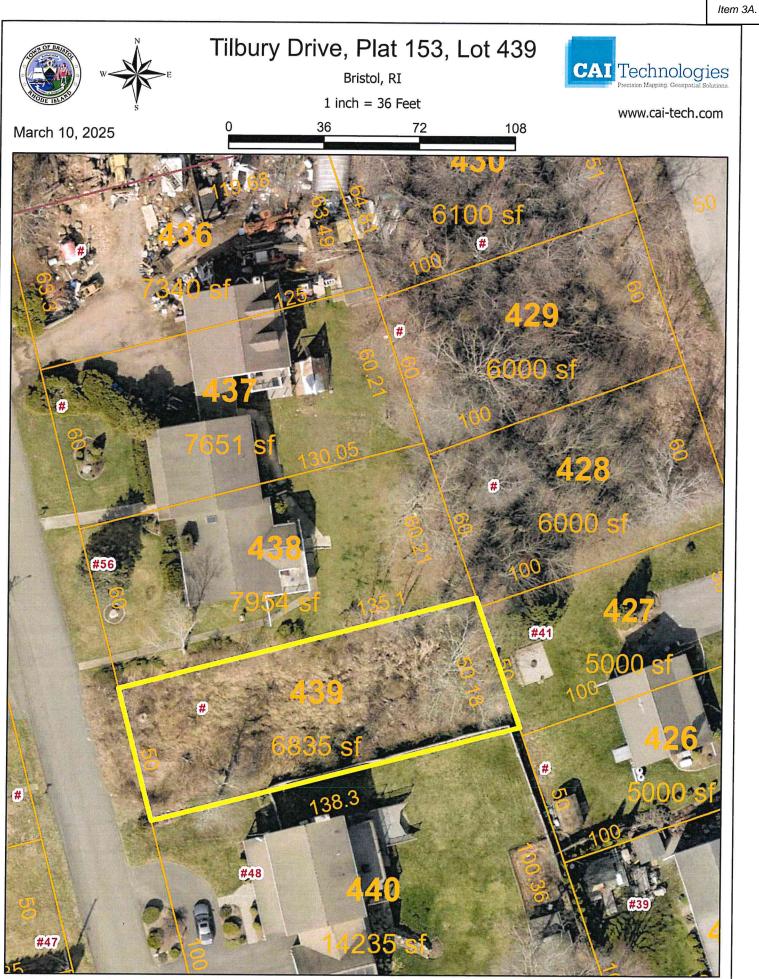
I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:	Date: 3/5/2025
Print Name: <u>GEOFFREY VICENTE</u>	
Property Owner's Signature:	Date: 3/5/2025
Print Name: <u>GEOFFREY VICENTE</u>	
Name of attorney or agent (engineer, architect, etc.), if any, v	vho is authorized to represent the applicant:
Name:	Phone #:
Address:	

Item 3A.

3/5/2025

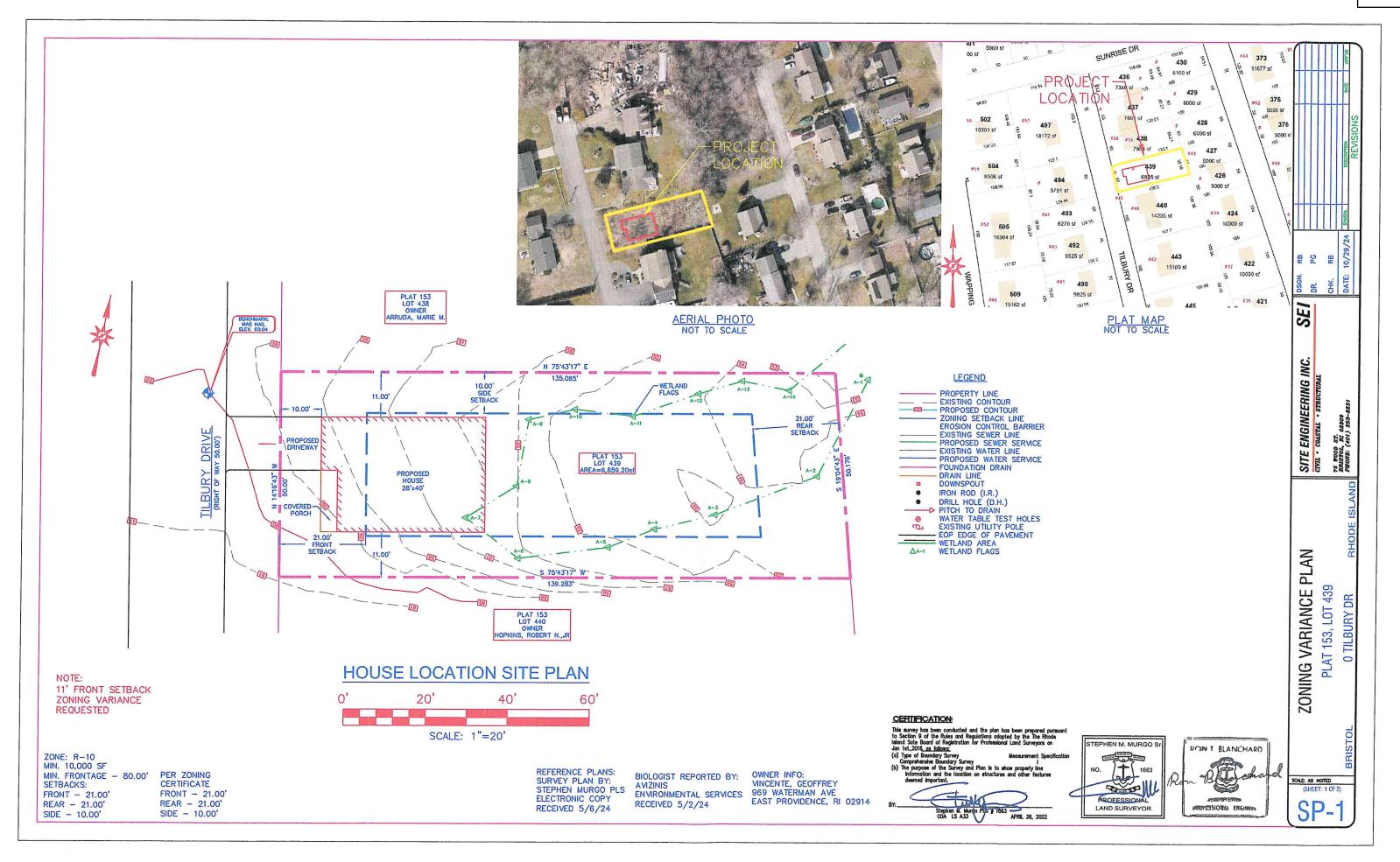
Around the begining OF 2021, I purchases OTILbury DR and shortly AFTER went throug a divorce. I kept the Lot AS PArt AS my MARITAL assets portion. I decided they to sell the Lot to A Friend OF mine who is A Builder, AND more he went to pull A permit, FOUND out there was AN ISSUE with wetlands that was NOT MADE AWARE to me when I purchased the Lot, As A matter OF FACT, my Realton checked with the TOWN prior to purchasing the LAND to see if There were any ISSUES, AND WE WERE told it was A Buildable Lot. AFter some research, my Friend Forno and out the process to Apply For permission to disturb wet lanos AND the VARIANCE process with the town WAS going to cost extra money he was n't Expecting to pay & possibly 8-12 months in fime. I then decided in good conscious to purchase Back the Lot & dear with the process myself & Build OL SINGLE FAMILY HOME. I'VE SINCE completed All the engineering required For both the set back VARIANCE & ELOSION CONTROL with RI COASTAL I'M AWAITING the APPROVAL FROM RI COASTAL, but SO FAR the Feelback for Approval Has been positivE. I modified the Foot print of The house to Fit the proposed Building Box but I do NEED A VARIANCE OF THE FRONT ONLY SET BACK. REGARDS, GEOFF VICENTE

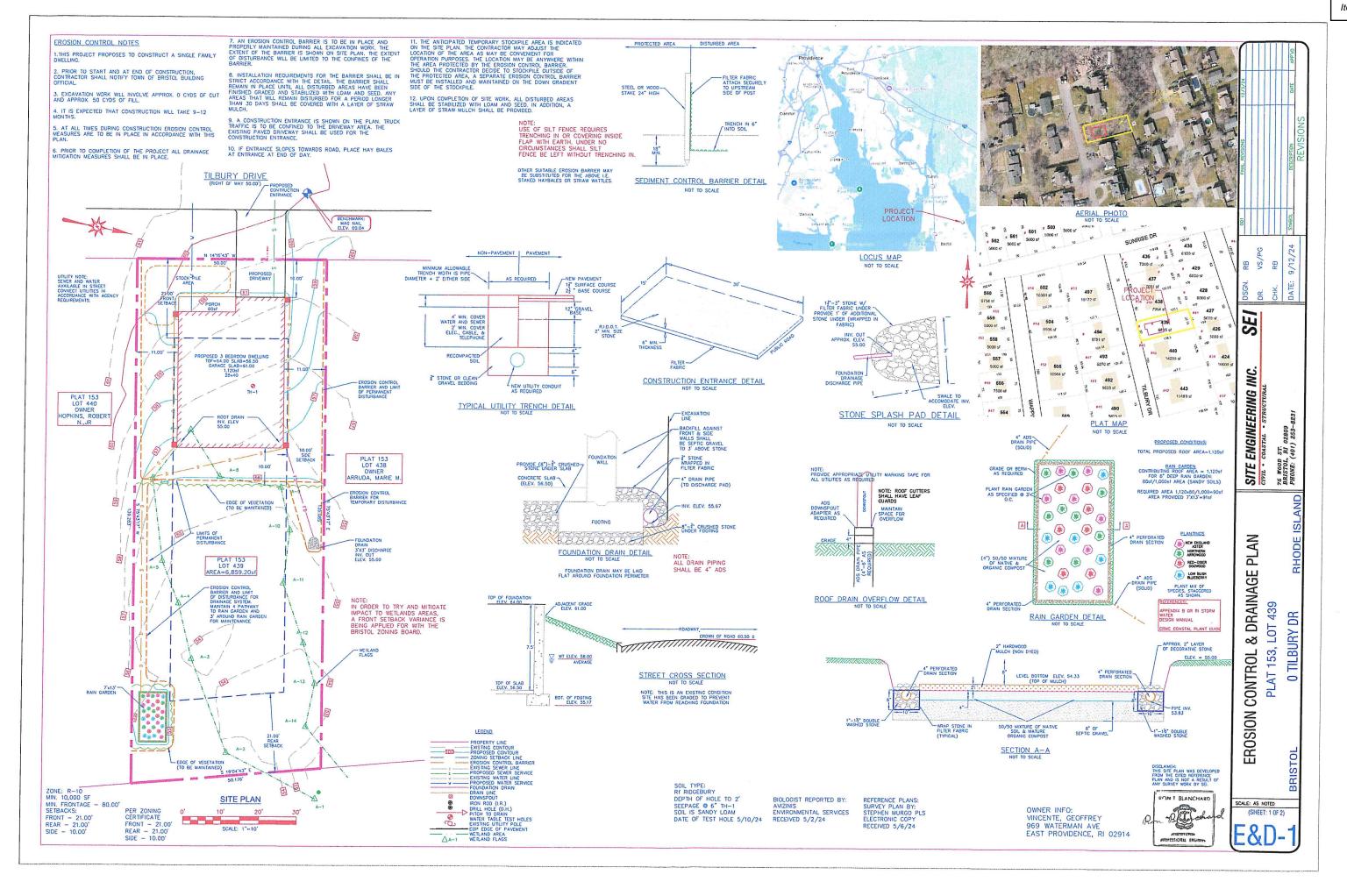


Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

T

		Hon	19	Search	Print Pi	revious Next	
Disclaimer:	This information	s for tax as	sessing purpose	s and is not warranted		Circlare Not Available	
Parcel Identification Assessment						Sketch Not Available	
Map/Lot Account	153-0439-0 8050	00	Land \$133,400 Building \$0		Building Sub Areas		
State Code Card	13 - Res Va 1/1	icant	Card Total Parcel Total	\$133,400 \$133,400		Land Information	
Jser Account			T arcer rotar	φ1 33, 400	Land Area	0.157 AC	
					Zoning View	R-10	
	Р	rior Asse	ssments		Neighborhood	Ν	
Fiscal Year 2024	Land Value Bi \$133,400 \$0		ue Outbuilding \$0	Value Total Value \$133,400			
2023	\$133,400 \$C		\$0 \$0	\$133,400		Yard Item(s)	
2022	\$133,400 \$0		\$0	\$133,400			
2021 2020	\$122,800 \$0 \$61,400 \$0		\$0 \$0	\$122,800			
	φ01,400 φ0 	an a	\$0	\$61,400			
	Lo	cation ar	nd Owner				
Location	TILBURY	DR					
Owner	VINCENT	E, GEOFFF	REY				
Owner2 Owner3							
Address	969 WATE	RMAN AVE					
Address2							
Address3	EAST PRO	OVIDENCE	RI 02914				
	Bu	ilding Inf	ormation				
	S	ale Infor	mation				
	Sale Price	Legal	Reference	Instrument			
	**	2253-1		Quit Claim			
8/08/2024	\$0	2240-1		Quit Claim			
Sale Date 18/08/2024 14/01/2024	\$0		25	Warranty			
8/08/2024	\$0 \$150,000	2227-1		Quit Claim			
8/08/2024 4/01/2024 0/30/2023	\$0		94	Quit Claim Warranty			





GENERAL NOTES:

FOUNDATION:

1. CONCRETE SLABS ON GRADE SHALL HAVE SHRINK CRACK CONTROL JOINTS WITH DEPTH OF AT LEAST 1/4 THE SLAB THICKNESS. THESE SHALL BE SPACED NOT MORE THAN 20 FEET IN EACH DIRECTION, RESULTING SHAPE SHALL NOT BE GREATER THAN 400 SQFT, NOR EXCEED A 1.5:1 LENGTH TO WIDTH RATIO. JOINTS SHALL BE PROVIDED WITHIN 12 HOURS OF SLAB PLACEMENT, CONTRACTION JOINTS ARE NOT REQUIREDWHERE 6x6-6/6 WELDED WIRE FABRIC OR EQUIVALENT IS PLACED AT MID-DEPTH OF THE SLAB. 2. THE COMPRESSIVE STRENGTH OF CONCRETE FOUNDATIONS AT 28 DAYS SHALL NOT BE

LESS THAN 3000 LBS./SQ.IN.

3, BACKFILL FOUNDATION ONLY AFTER THE SLAB IS POURED AND WALLS ARE BRACED.

4. THE BOTTOM OF ANY POINT OF A FOUNDATION SHALL BE A MIN, OF 4'-O" BELOW FINISH GRADE. 5. THE EXTERIOR SURFACES OF MASONRY FOUNDATIONS ENCLOSING BASEMENTS SHALL BE DAMPPROOFED.

6. WALL POCKETS: ENDS OF WOOD BEAMS SUPPORTED BY CONCRETE WALLS SHALL BE PROVIDED WITH 1/2" AIR SPACE ON TOP, SIDES AND END, UNLESS APPROVED DURABLE OR TREATED WOOD IS

7. FOUNDATION ANCHOR BOLTS SHALL BE A MIN. OF 5/8" DIA. THEY SHALL HAVE A MIN. EMBED OF 8" IN POURED CONCRETE, THERE SHALL BE A MIN, OF TWO ANCHORS PER SECTION OF SILL PLATE. MAXIMUM SPACING SHALL BE 48" ON CENTER AND WITHIN 12" OF BUILDING CORNERS, DOOR OPENINGS, AND WALL ENDS. NUTS AND 3"x3" PLATE WASHERS SHALL NOT BE RECESSED OR COUNTERSUNK INTO THE FIRST SILL PLATE AND SHALL BE EXPOSED FOR INSPECTION AND TIGHTNESS.

8. COORDINATE WITH ARCHITECT AND OWNER, AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND SPECIFICATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.

9. ALL SOILS CONTAINING ORGANIC OR UNSUITABLE BEARING MATERIAL SHALL BE CLEARED FROM THE BUILDING FOOTPRINT.

IO. ALL SOILS SUPPORTING FOOTINGS SHALL BE FOUNDED UPON COMPACTED NATURAL SUBGRADE OR COMPACTED BANK RUN GRAVEL FILL WITH PRESUMED SAFE CAPACITY OF 3000 PSF.

11. ROCK SHALL BE EXCAVATED A MIN, OF 4" BELOW BOTTOM OF FOOTING ELEVATION AND COVERED WITH A LAYER OF COMPACTED GRAVEL.

12. SOIL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAX, DRY DENSITY PER ASTM DI551 IN LIFTS NOT TO EXCEED 6" LOOSE DEPTH.

13. BACKFILL SYMMETRICALLY AGAINST ALL FOUNDATION WALLS IN INCREMENTS NOT TO EXCEED 2 FEET MAX, DIFFERENTIAL,

14. NO FOOTINGS OR SLABS SHALL BE POURED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER OR ICE.

15 NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.

16, ALL REINFORCING BARS SHALL BE ASTM A-615 GRADE 60 UNLESS NOTED OTHERWISE, 17. ALL REINFORCING BARS SPLICES SHALL CONFORM TO REQUIREMENTS OF ACI 318,

BUT IN NO CASE SHALL THEY BE LESS THAN 2'-O".

18. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, Fy=60 KSI.

19, ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AT SIDES AND ENDS AND BE SECURELY WIRED TOGETHER.

20. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CUTOUTS.

21. COORDINATE ALL FOUNDATION PENETRATIONS WITH ARCHITECT, PLUMBER, MECHANICAL, ELECTRICAL CONTRACTORS AND LOCAL AGENCIES.

GENERAL NOTES:

GENERAL FRAMING NOTES:

1. ALL WINDOW AND DOOR HEADERS TO BE (3) 2x8 WITH 1/2" RIDGED FOAM BETWEEN EACH 2x.

2. ALL WINDOW AND DOOR OPENINGS TO HAVE (1) KING STUDS AND (1) JACK STUD ON EACH SIDE,

3. GARAGE DOOR HEADER TO BE (2) 9.5" LVL AS SPECIFIED IN FLOOR FRAMING PLAN

4. GARAGE DOOR OPENING TO HAVE (3) KING STUDS AND (2) JACK STUDS ON EACH SIDE.

5. ALL EXTERIOR WALL PLYWOOD TO BE 1/2" EXTERIOR GRADE APA RATED SHEATHING FASTENED. WITH 10 RING SHANK NAILS . 6" PANEL EDGES AND 12" OC IN THE FIELD, PLYWOOD SHEETS SHALL BE CONTINUOUS OVER ALL TOP AND BOTTOM PLATES, FURTHERMORE, ALL PLYWOOD SHEETS SHALL RUN CONTINUOUS ACROSS THE SECOND FLOOR RIM BAND JOIST.

6. ALL ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING FASTENED WITH 8D RING SHANK NAILS . 6" OC PANEL EDGES AND 12" OC IN THE FIELD. NAIL SPACING ON PANEL EDGES WITHIN 48" OF EAVES.

7. ALL SUB-FLOOR SHEATHING SHALL BE 3/4" TIG APA RATED PLYWOOD SUB-FLOOR FASTENED WITH 8D RING SHANK NAILS @ 6" OC AT PANEL EDGES AND 12" OC IN THE FIELD, FURTHERMORE PLYWOOD SUB-FLOOR SHALL BE ADHEARED TO ALL SUPPORTING MEMBERS WITH CONTINUOUS BEAD OF INDUSTRY STANDARD SUB-FLOOR ADHESIVE.

8. ALL FRAMING MEMBERS TO BE #2 KILN DRYED PINE OR BETTER

1. REFERANCE CODES USED INCLUDING ADOPTION DATE (IBC 2015 INTERNATIONAL BUILDING CODE WITH 2019 RI BUILDING CODES)

- 2. WIND DESIGN 110 MPH
- 3. SNOW LOAD DESIGN 30 PSF
- 4. FROST DEPTH DESIGN 3'4"
- 5. CLIMATE ZONE 5
- 6. PERFORMANCE ENERGY COMPLIANCE
- 7. CONSTRUCTION TYPE 5B
- 8. OCCUPANCY TYPE R3
- 9. BUILDING HIGHT 34'
- 10. FLOOR LOAD DESIGN 40 PSF LIVING SPACE, DECKS & BALCONIES ... 30 PSF ALL SLEEPING
- ROOMS ... 20 PSF UNINHABITAL ATTICS
- 11. DESCRIPTION, NEW CONSTRUCTION SINGLE FAMILT DWELLING
- 12. JOB LOCATION, O TILBURY DRIVE BRISTOL RI 02809
- 13. DESIGNER, CARL J REBELLO, REBELLOCONSTRUCTION
- 14. DESIGNERS PHONE NUMBER, 508-328-4723 EMAIL CARL@REBELLOCONSTRUSTION.COM

FLOOR PLAN NOTES:

- I. INTERIOR STAIRWAY (DETAIL NOTES)
- 2. FIXTURE SELECTION BY OWNER 3. KITCHEN CABINETS PROVIDED BY OTHERS
- 2, 3 1/2" DIA, STEEL COLUMN TYP. 4. PROVIDE COATROD & HATSHELF IN CLOSET TYP.
- 5. ZERO CLEARANCE FIREPLACE AS SELECTED BY OWNER

ELEVATION NOTES:

SECTION DRAWING NOTES: I. VINYL SIDING AS SELECTED BY OWNER 1. WOOD GERDER PER DESIGN 2. ARCH TYPE ASPHALT SHINGLES 2. 9.5" I JOISTS PER DESIGN SPEC 3. TRUSS ROOF PER DESIGN 3. PROVIDE ADEQUATE FLASHING AT ALL ROOF, WALL, CHIMINEY INTERSECTIONS 4, 2" RIGID INSULATION 5. 4" MIN. COMPACT GRAVEL FILL

6. DAMPPROOFING

7. VAPOR BARRIER

8. INTERIOR FRENCH DRAIN

- 4. CONTINUOUS RIDGE VENT
- 5. STRUCTURAL WOOD COLUMN
- 6. VINTL TRIM
- 7. EXPOSED CONCRETE
- 8. GARAGE DOORS AS SELECTED BY OWNER

FLOOR PLAN LEGEND:

FOUNDATION LEGEND:

LOOK I LAN LA		
	2 x 6 EXTERIOR WALL / SIDING	·
	2 x & WALL	
	2 × 4 WALL	



FOUNDATION PLAN NOTES:

I, BEAM POCKET, TYP. COORDINATE SIZE WITH SPECIFIED BEAM 3. 10" DEEP CONCRETE FOOTING STRIP COORDINATE DIMENSIONS WITH FRONT PORCH DETAIL

DECK NOTES:

1. 8"-12" DIA. FOOTING TUBE 2. 4"x4" PT WOOD POST, TYP. 3. GALV. STIRRUP AT BEAM CONNECTION, TYP. 4. (2) 2 x 10 PT WOOD BEAM 5. 2 × 12 PT LEDGER, PROVIDE STAND-OFFS / FLASHING 6. PT 2 x 10 JOIST @ 16" OC

CONCRETE WALL & FOOTING 2 x 6 WALL 2 x 4 WALL 3 1/2" DIA. STEEL COLUMN

VICENTE, GEOFF O TILBURY DRIVE BRISTOL RI, 02809

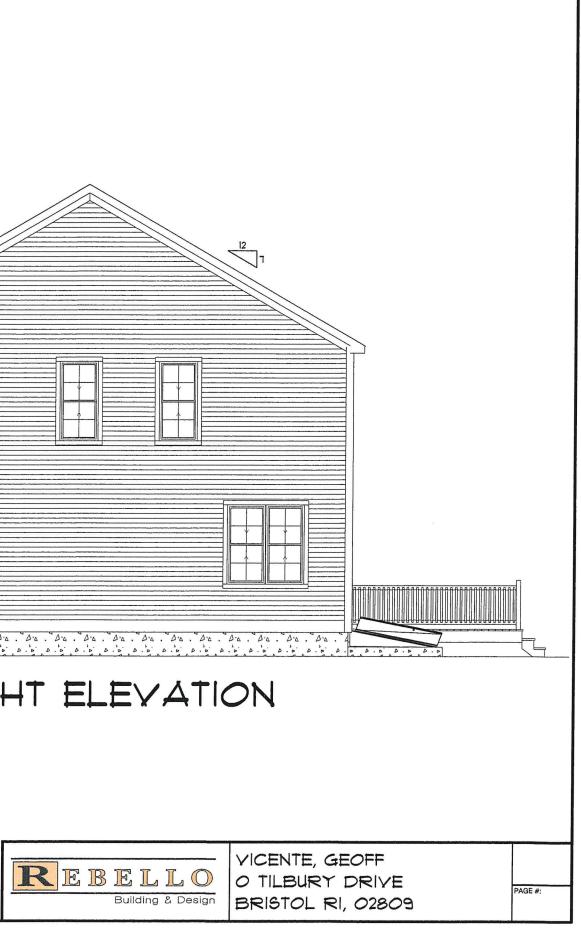
PAGE #:



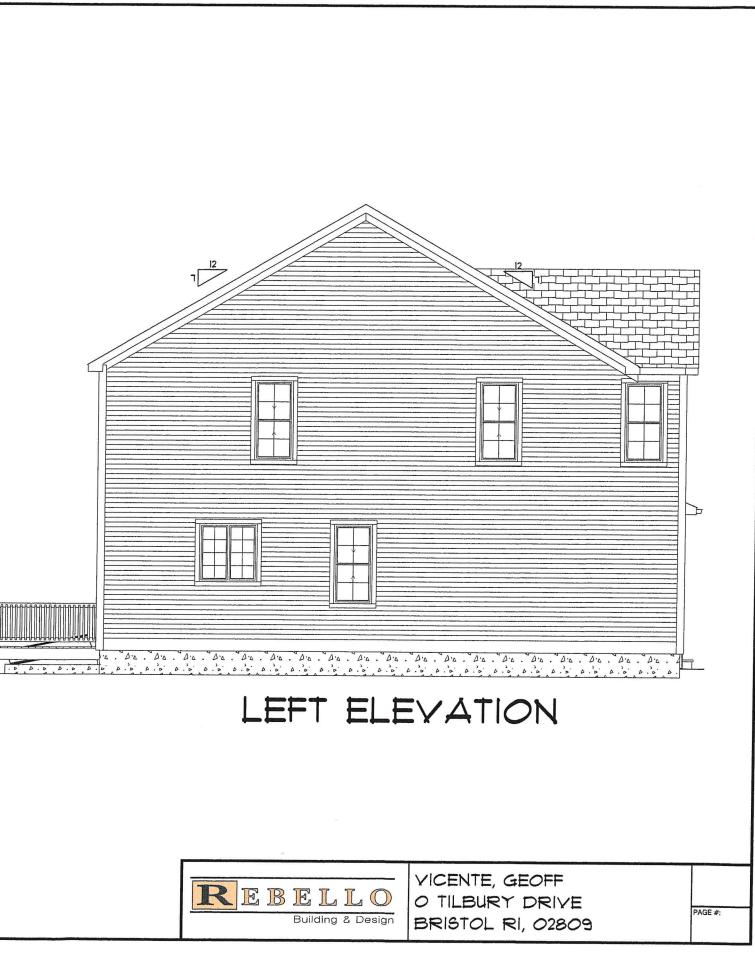
FRONT

. .

RIGHT ELEVATION

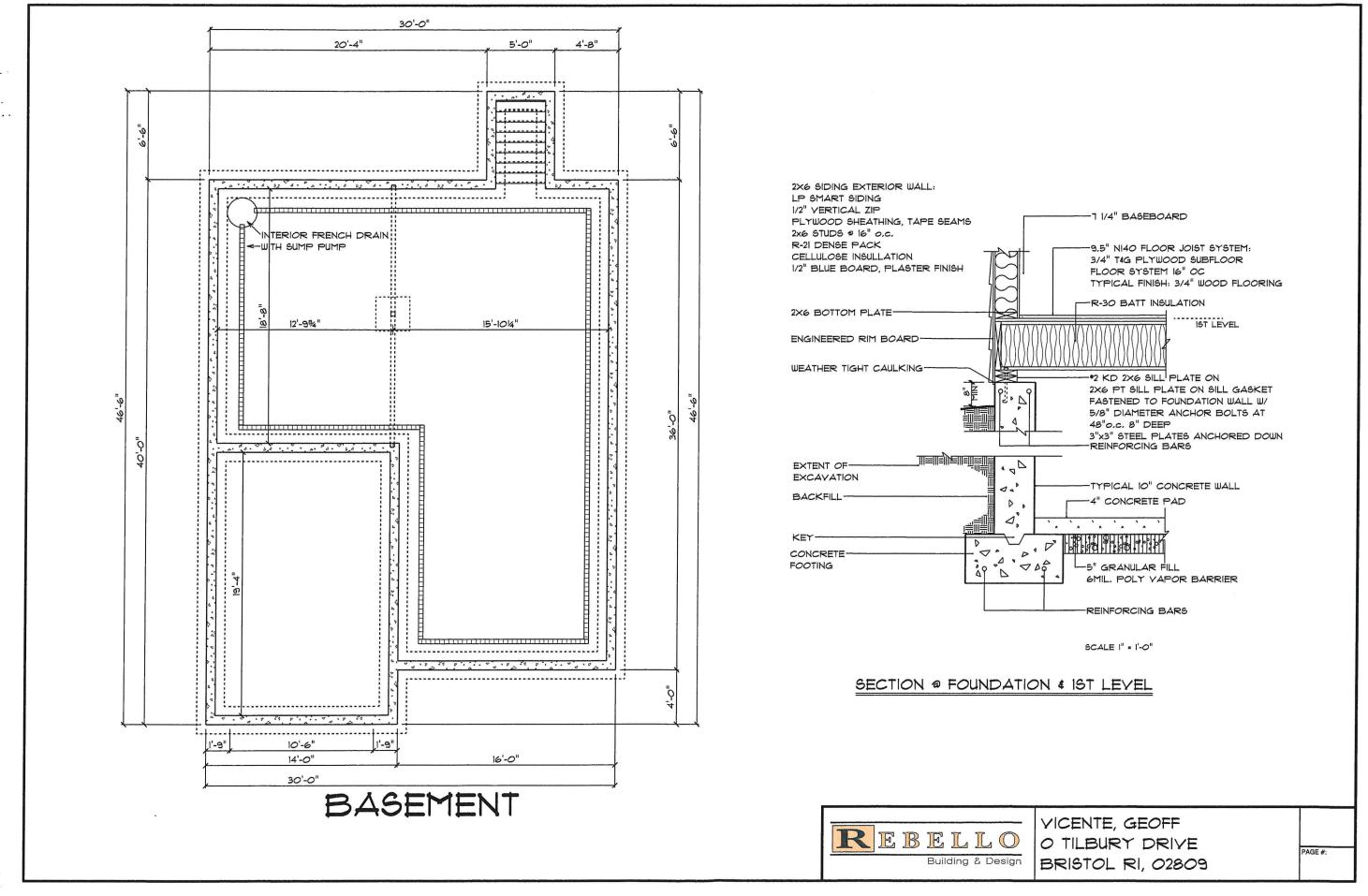


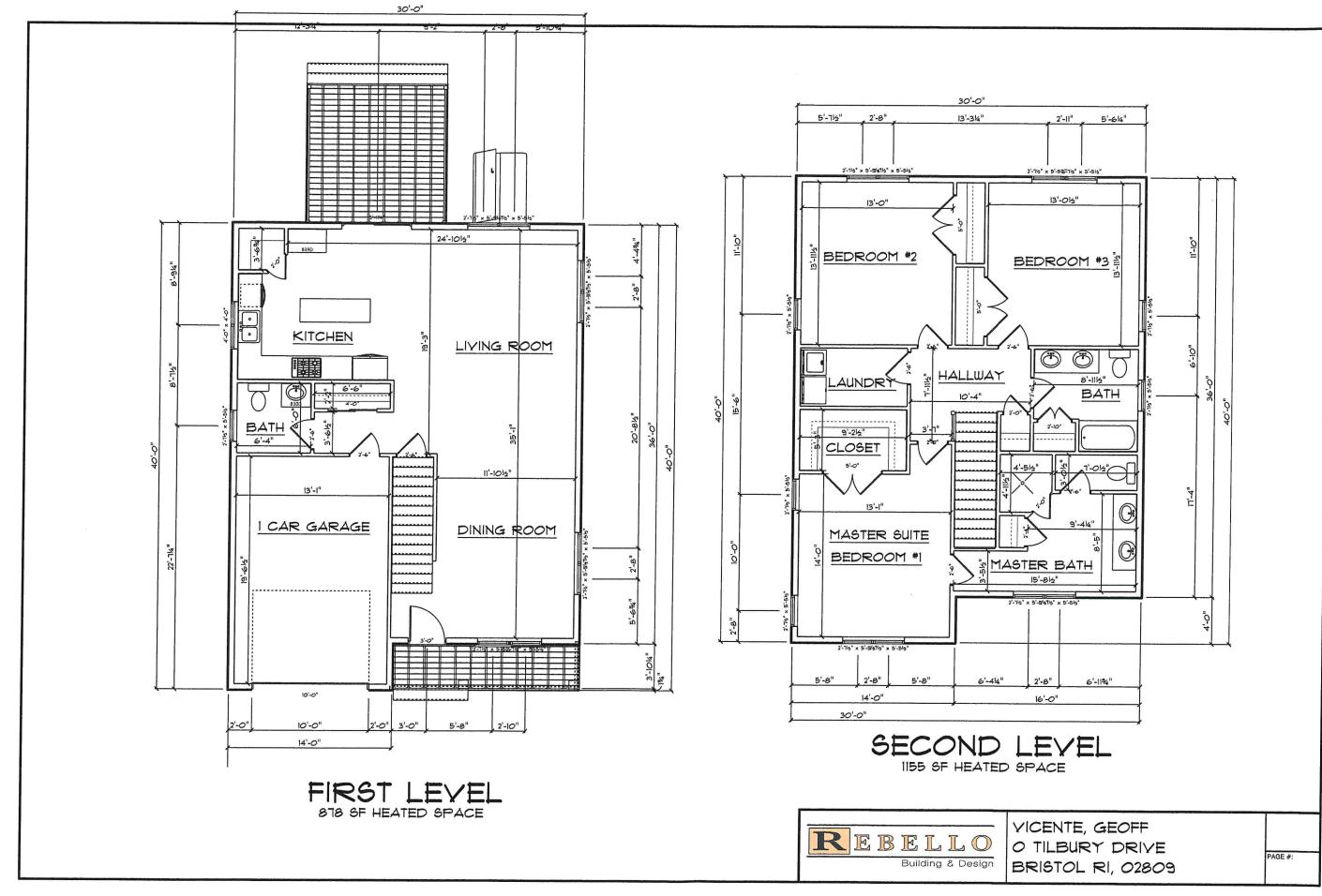




REAR ELEVATION

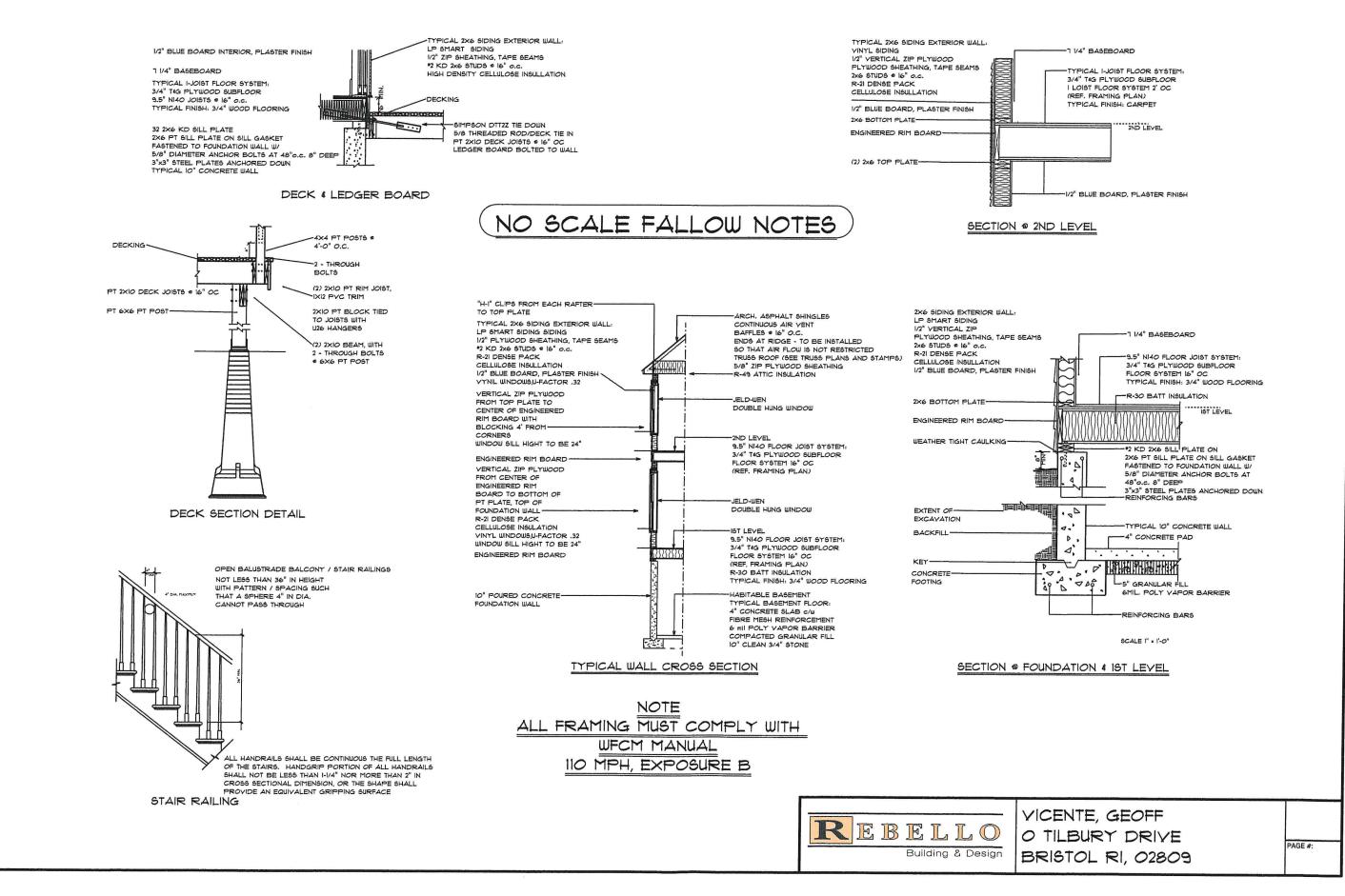


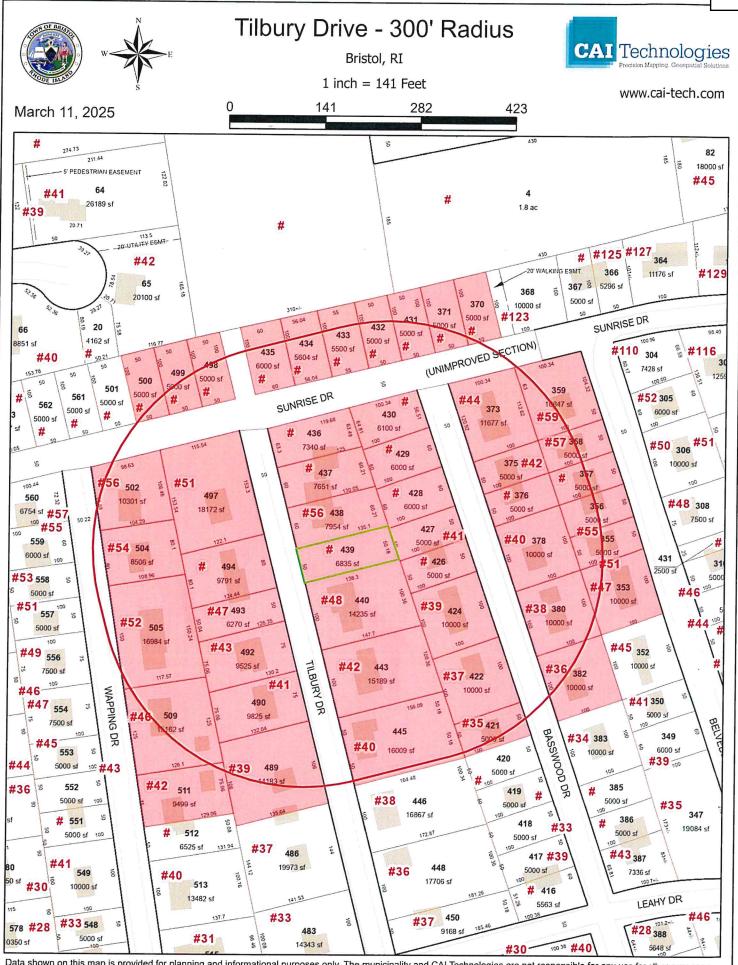




• •

. .





Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report Bristol, RI March 11, 2025

Subject Property:

Parcel Number:	153-439
CAMA Number:	153-439
Property Address:	TILBURY DR

Mailing Address: VINCENTE, GEOFFREY 969 WATERMAN AVE EAST PROVIDENCE, RI 02914

Abutters: Parcel Number: 152-353 Mailing Address: CAETANO, MANUEL A. CAMA Number: 152-353 47 BELVEDERE DR Property Address: 47 BELVEDERE DR **BRISTOL, RI 02809** Parcel Number: 152-355 Mailing Address: KRAKOWSKY, PATRICIA A. CAMA Number: 152-355 **151 SUNRISE DRIVE** Property Address: 51 BELVEDERE DR BRISTOL, RI 02809 Parcel Number: 152-356 Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE CAMA Number: 152-356 **55 BELVEDERE DRIVE** Property Address: 55 BELVEDERE DR BRISTOL, RI 02809 Parcel Number: 152-357 Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE CAMA Number: 152-357 **55 BELVEDERE DRIVE** Property Address: BELVEDERE DR BRISTOL, RI 02809 Parcel Number: 152-358 Mailing Address: DALTON, JOSEPH PATRICK MAUREEN CAMA Number: 152-358 ROSE TRS Property Address: 57 BELVEDERE DR **57 BELVEDERE DR** BRISTOL, RI 02809 Parcel Number: 152-359 Mailing Address: GIANNINI, DAVID J. ERICA L. TE CAMA Number: 152-359 **59 BELVEDERE DR** Property Address: 59 BELVEDERE DR BRISTOL, RI 02809 Parcel Number: 152-370 Mailing Address: TOWN OF BRISTOL CAMA Number: 152-370 10 COURT ST Property Address: SUNRISE DR **BRISTOL, RI 02809** Parcel Number: 152-371 Mailing Address: TOWN OF BRISTOL CAMA Number: 152-371 10 COURT ST Property Address: SUNRISE DR BRISTOL, RI 02809 Parcel Number: 152-373 Mailing Address: RAMELLA, ALLAN CHRISTINA ETUX TE CAMA Number: 152-373 44 BASSWOOD DR Property Address: 44 BASSWOOD DR BRISTOL, RI 02809 Parcel Number: 152-375 Mailing Address: COSTA, DIANE M. CAMA Number: 152-375 42 BASSWOOD DR Property Address: 42 BASSWOOD DR **BRISTOL, RI 02809**

CAI Technologies

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 5



300 feet Abutters List Report Bristol, RI March 11, 2025

Parcel Number:	152-376	Mailing Address:	COSTA, DIANE M.
CAMA Number:	152-376		42 BASSWOOD DR
Property Address:	BASSWOOD DR		BRISTOL, RI 02809
Parcel Number:	152-378	Mailing Address:	FERREIRA, LOUIS J
CAMA Number:	152-378		40 BASSWOOD DRIVE
Property Address:	40 BASSWOOD DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	152-380 152-380 38 BASSWOOD DR	Mailing Address:	DICAMILLO, DANIEL G & SPALTHOLZ, KYLE JT 38 BASSWOOD DR BRISTOL, RI 02809
Parcel Number:	152-382	Mailing Address:	HOLLAND, JAMES R
CAMA Number:	152-382		36 BASSWOOD DR
Property Address:	36 BASSWOOD DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	152-421 152-421 35 BASSWOOD DR	Mailing Address:	REIDL, ANDREW J III MARLENE O ETUX TE 35 BASSWOOD DR BRISTOL, RI 02809
Parcel Number:	152-422	Mailing Address:	PALAZZINI, MYKEL
CAMA Number:	152-422		37 BASSWOOD DR
Property Address:	37 BASSWOOD DR		BRISTOL, RI 02809
Parcel Number:	152-424	Mailing Address:	FARIA, JONATHAN P TRACEY A. TE
CAMA Number:	152-424		39 BASSWOOD DR
Property Address:	39 BASSWOOD DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	152-426 152-426 BASSWOOD DR	Mailing Address:	FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	152-427 152-427 41 BASSWOOD DR	Mailing Address:	FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number:	152-428	Mailing Address:	TOWN OF BRISTOL
CAMA Number:	152-428		10 COURT ST
Property Address:	BASSWOOD DR		BRISTOL, RI 02809
Parcel Number:	152-429	Mailing Address:	TOWN OF BRISTOL
CAMA Number:	152-429		10 COURT ST
Property Address:	BASSWOOD DR		BRISTOL, RI 02809
Parcel Number:	152-430	Mailing Address:	TOWN OF BRISTOL
CAMA Number:	152-430		10 COURT ST
Property Address:	BASSWOOD DR		BRISTOL, RI 02809

CAI Technologies

3/11/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 5



March 11, 2025

300 feet Abutters List Report Bristol, RI

153-431 Parcel Number: Mailing Address: TOWN OF BRISTOL\\FEW PROP CAMA Number: 153-431 SUNRISE & TILBURY DR Property Address: SUNRISE DR 10 COURT ST BRISTOL, RI 02809 Parcel Number: 153-432 Mailing Address: TOWN OF BRISTOL\\FEW PROP CAMA Number: 153-432 SUNRISE & TILBURY DR Property Address: SUNRISE DR 10 COURT ST BRISTOL, RI 02809 Parcel Number: 153-433 Mailing Address: TOWN OF BRISTOL\\FEW PROP CAMA Number: 153-433 SUNRISE & TILBURY DR Property Address: SUNRISE DR 10 COURT ST **BRISTOL, RI 02809** Parcel Number: 153-434 Mailing Address: TOWN OF BRISTOL\\FEW PROP CAMA Number: 153-434 SUNRISE & TILBURY DR Property Address: SUNRISE DR 10 COURT ST **BRISTOL, RI 02809** Parcel Number: 153-435 TOWN OF BRISTOL\\FEW PROP Mailing Address: CAMA Number: 153-435 SUNRISE & TILBURY DR Property Address: SUNRISE DR 10 COURT ST **BRISTOL, RI 02809** Parcel Number: 153-436 Mailing Address: ARRUDA, MARIE M & JOSE a/k/a CAMA Number: 153-436 JOSEPH TRUSTEES-ARRUDA FAMILY Property Address: **TILBURY DR** TRUST 56 TILBURY DR **BRISTOL, RI 02809** Parcel Number: 153-437 Mailing Address: ARRUDA, MARIE M & JOSE a/k/a CAMA Number: 153-437 JOSEPH TRUSTEES-ARRUDA FAMILY Property Address: TILBURY DR TRUST 56 TILBURY DR BRISTOL, RI 02809 Parcel Number: 153-438 Mailing Address: ARRUDA, MARIE M & JOSE a/k/a CAMA Number: 153-438 JOSEPH TRUSTEES-ARRUDA FAMILY Property Address: 56 TILBURY DR TRUST 56 TILBURY DR **BRISTOL, RI 02809** Parcel Number: 153-439 Mailing Address: VINCENTE, GEOFFREY CAMA Number: 153-439 969 WATERMAN AVE Property Address: TILBURY DR EAST PROVIDENCE, RI 02914 Parcel Number: 153-440 Mailing Address: HOPKINS, ROBERT N., JR. CAMA Number: 153-440 **48 TILBURY DR** Property Address: 48 TILBURY DR BRISTOL, RI 02809 Parcel Number: 153-443 Mailing Address: CORSER, JEANNE A. CAMA Number: 153-443 42 TILBURY DR Property Address: 42 TILBURY DR BRISTOL, RI 02809

CAL Technologies

www.cai-tech.com

3/11/2025

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 5

OWN OF	BRISTO
	Contraction of the
Ter la	
AHODE	15LAND

300 feet Abutters List Report Bristol, RI March 11, 2025

Parcel Number:	153-445	Mailing Address	: CASTILLO, ANTHONY J
CAMA Number:	153-445		40 TILBURY DR
Property Address:	40 TILBURY DR		BRISTOL, RI 02809
Parcel Number:	153-489	Mailing Address	ELIE, SARAH J
CAMA Number:	153-489		39 TILBURY DR
Property Address:	39 TILBURY DR		BRISTOL, RI 02809
Parcel Number:	153-490	Mailing Address:	DALLAIRE, LANCE
CAMA Number:	153-490		41 TILBURY DR
Property Address:	41 TILBURY DR		BRISTOL, RI 02809
Parcel Number:	153-492	Mailing Address:	GODBOUT, PETER JILL ETUX TE
CAMA Number:	153-492		12 EVERREADY AVE
Property Address:	43 TILBURY DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-493 153-493 47 TILBURY DR	Mailing Address:	AMARAL, ROBERT C & ETHIER, AMANDA JT 47 TILBURY DR BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-494 153-494 TILBURY DR	Mailing Address:	
Parcel Number:	153-497	Mailing Address:	SOUSA, ANTHONY KRISTIN M. TE
CAMA Number:	153-497		51 TILBURY RD
Property Address:	51 TILBURY DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-498 153-498 TILBURY DR	Mailing Address:	TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-499 153-499 SUNRISE DR	Mailing Address:	TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-500 153-500 SUNRISE DR	Mailing Address:	TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number:	153-502	Mailing Address:	MARINO, CAROLINE A
CAMA Number:	153-502		56 WAPPING DR
Property Address:	56 WAPPING DR		BRISTOL, RI 02809
	153-504 153-504 54 WAPPING DR	Mailing Address:	MARINO, KENNETH 54 WAPPING DR. BRISTOL, RI 02809

CAI Technologies

3/11/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report Bristol, RI March 11, 2025

	153-505 153-505 52 WAPPING DR	Mailing Address:	MARINO, MATTHEW DANIEL & STACY TE 52 WAPPING DR BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	153-509 153-509 46 WAPPING DR	Mailing Address:	PIMENTAL, JOSE B. 46 WAPPING DR BRISTOL, RI 02809
	153-511 153-511 42 WAPPING DR	Mailing Address:	BOLIEIRO, ERNESTO 42 WAPPING DR BRISTOL, RI 02809



www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report. AMARAL, ROBERT C & ETHIER 47 TILBURY DR BRISTOL, RI 02809

ARRUDA, MARIE M & JOSE a/ TRUSTEES-ARRUDA FAMILY TR 56 TILBURY DR BRISTOL, RI 02809

BOLIEIRO, ERNESTO 42 WAPPING DR BRISTOL, RI 02809

CAETANO, MANUEL A. 47 BELVEDERE DR BRISTOL, RI 02809

CASTILLO, ANTHONY J 40 TILBURY DR BRISTOL, RI 02809

CORSER, JEANNE A. 42 TILBURY DR BRISTOL, RI 02809

COSTA, DIANE M. 42 BASSWOOD DR BRISTOL, RI 02809

DALLAIRE, LANCE 41 TILBURY DR BRISTOL, RI 02809

DALTON, JOSEPH PATRICK MAUREEN ROSE TRS 57 BELVEDERE DR BRISTOL, RI 02809

DICAMILLO, DANIEL G & SPALTHOLZ, KYLE JT 38 BASSWOOD DR BRISTOL, RI 02809 ELIE, SARAH J 39 TILBURY DR BRISTOL, RI 02809

FARIA, JONATHAN P TRACEY A. TE 39 BASSWOOD DR BRISTOL, RI 02809

FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809

FERREIRA, LOUIS J 40 BASSWOOD DRIVE BRISTOL, RI 02809

GIANNINI, DAVID J. ERICA L. TE 59 BELVEDERE DR BRISTOL, RI 02809

GODBOUT, PETER JILL ETUX TE 12 EVERREADY AVE BRISTOL, RI 02809

HOLLAND, JAMES R 36 BASSWOOD DR BRISTOL, RI 02809

HOPKINS, ROBERT N., JR. 48 TILBURY DR BRISTOL, RI 02809

KRAKOWSKY, PATRICIA A. 151 SUNRISE DRIVE BRISTOL, RI 02809

MARINO, CAROLINE A 56 WAPPING DR BRISTOL, RI 02809 MARINO, KENNETH 54 WAPPING DR. BRISTOL, RI 02809

MARINO, MATTHEW DANIEL & STACY TE 52 WAPPING DR BRISTOL, RI 02809

PALAZZINI, MYKEL 37 BASSWOOD DR BRISTOL, RI 02809

PIMENTAL, JOSE B. 46 WAPPING DR BRISTOL, RI 02809

RAMELLA, ALLAN CHRISTINA ETUX TE 44 BASSWOOD DR BRISTOL, RI 02809

REIDL, ANDREW J III MARLENE O ETUX TE 35 BASSWOOD DR BRISTOL, RI 02809

SOUSA, ANTHONY KRISTIN M. TE 51 TILBURY RD BRISTOL, RI 02809

SPINNER, ALBERT H. III & SUSAN Y. TE 55 BELVEDERE DRIVE BRISTOL, RI 02809

TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809

TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809 VINCENTE, GEOFFREY 969 WATERMAN AVE EAST PROVIDENCE, RI 02914

about:blank



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809 Telephone: (401) 253-7000 <u>www.bristolri.gov</u>

> May 15, 2025 File #: ZBR-25-17

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review that a Public Hearing will be held in-person at: Bristol Town Hall 10 Court Street, Bristol, RI 02809 June 2, 2025 at 7:00 p.m.

In regards to the petition of:

Applicant: Scott Davis Owner of Record: Scott M. Davis Location: 5 BARBARA DR, BRISTOL, RI, 02809 Plat: 150 Lot: 111 Zoning District: R-15

Applicant is requesting **Dimensional Variances** under the Zoning Ordinance as follows:

to construct additions to an existing single-family dwelling, including a 30ft. x 48ft. two-story garage and accessory dwelling unit (ADU) addition, with less than the required lot area for an ADU within a new structure, greater than permitted size for a two-bedroom ADU, less than the required rear yard, and less than the required right side yard.

the M. In

Edward M. Tanner Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <u>https://bristol-ri.municodemeetings.com/</u>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to <u>etanner@bristolri.gov</u>.



Zoning Board of Review Application Town of Bristol

Record ID: ZBR-25-17

5 Barbara Dr 150 111

May 8, 2025

Applicant							
Name of Applicant	Scott M Davis						
Who is Submitting this Application							
who is Submitting this Application	If other, Describe:						
Owner's Name (If Different than Applicant)							
Location for Application							
Property Type	Both	-12					
Zoning District	R-15						
		Address		Plat	Lot		
Address, Plat, Lot	5 Barbara Dr		15	0	111		
					.		
Type of Application							
Application Type		Dimensional V	Dimensional Variance				
Proposed		Addition	Addition				
		If other, Detail:					
New Building Type							
		If other, Detail					
		24.1					
Size of Proposed Building(s)/Addition	on(s) (If applicable)						
Total Square Footage		1,440 feet					
Width in Feet		30 feet					
Length in Feet		48 feet					
Height Above Grade			26 feet				
Number of Stories		2	2				
O a the a share							
Setbacks			2.11				
Front Yard in Feet Rear Yard in Feet			0 feet				
			2 feet				
Left Side Yard in Feet		0 feet					
Right Side Yard in Feet		6 feet					
Height in Feet		0 feet					

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

-Proposed setbacks for right side yard of 14ft.

-Proposed setback for rear yard of 33ft

-5000sqft Variance on lot size required for ADU

-475sqft variance size for square footage of ADU

Describe the extent of the proposed alterations and the reasons for the requesting relief

-Setback variances are being requested in order to allow enough space in the garage and in-law apartment above it to allow for an elevator, appropriate clearances for future wheelchair access (using guidance from ADA) and general ease of maneuverability that would allow aging parents to live comfortably.

-R20 zoning which allows for the 20000sqft required for an ADU represents a tiny percentage of land in Bristol. This ordnance disqualifies more than 90% of the town from attempting to provide a home for immediate family in need.

-Request for size variance goes in hand with setback variance. While designing, the main focus was allowing free movement and ease of use. As example, bathrooms are large with curbless showers to eliminate slips and falls; Foot print increased to allow for an elevator that can accommodate a wheelchair; enough space in the garage to exit vehicle and safely maneuver to the elevator etc..

(c)

(1) Standards for relief. The following shall be standards for relief:

Variance. In granting a variance, the board shall require that evidence to the satisfaction of the following standards be entered into the record of the proceedings:

a.

That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area, and not due to an economic disability of the applicant; Structure size is essential to providing a safe and long term housing solution for aging parents and allows independence and forestalls the need for assisted living.

b. That such hardship is not the result of any prior action of the applicant; No

c.

That the granting of the requested variance will not alter the general characteristic of the surrounding area or impair the intent or purpose of this chapter or the comprehensive plan of the town; It will not. Current lot coverage is 6% and proposed is 20%, below the required 25% of r15 zoning. Bristol Architect firm has been hired to make sure the proposed addition is aesthetically pleasing and fits with the neighborhood/Town. Materials for construction and siding have been chosen purposefully ex. cedar siding.

d.

The board shall, in addition to the above standards, require that evidence be entered into the record of the proceedings showing that:

In granting a use variance, the subject land or structure cannot yield any beneficial use if it is required to conform to the provisions of this chapter. Nonconforming use of neighboring land or structures in the same district and permitted use of land or structures in an adjacent district shall not be considered grounds for granting a use variance; and

2.

1.

In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief. If dimensional variance is not granted, I will not be able to accommodate my elderly parents thus denying them independent living and forcing us to move toward assisted care. I believe my request adequately demonstrates relief sought is minimal to a reasonable enjoyment of the property.

Existing Lot Specifications			
Current Use of Premises	Residential		
	If other, explain:		
Number of Units			
Lot Area	15,000		
Lot Frontage	120		

5/9/25, 3:53 PM	about:blank			Item 3B.	
Lot Depth	12	25]
			7		_
Existing Buildings & Structures]
Structure: Primary Residence	Square Footage: 894		Building/Structure Detail if Other:		1

about:blank	
-------------	--

Bristol Zoning Board,

My name is Scott Daivs of 5 Barbara Dr, Bristol. I am writing to explain my request for a dimensional variance and impress upon you the importance of granting it.

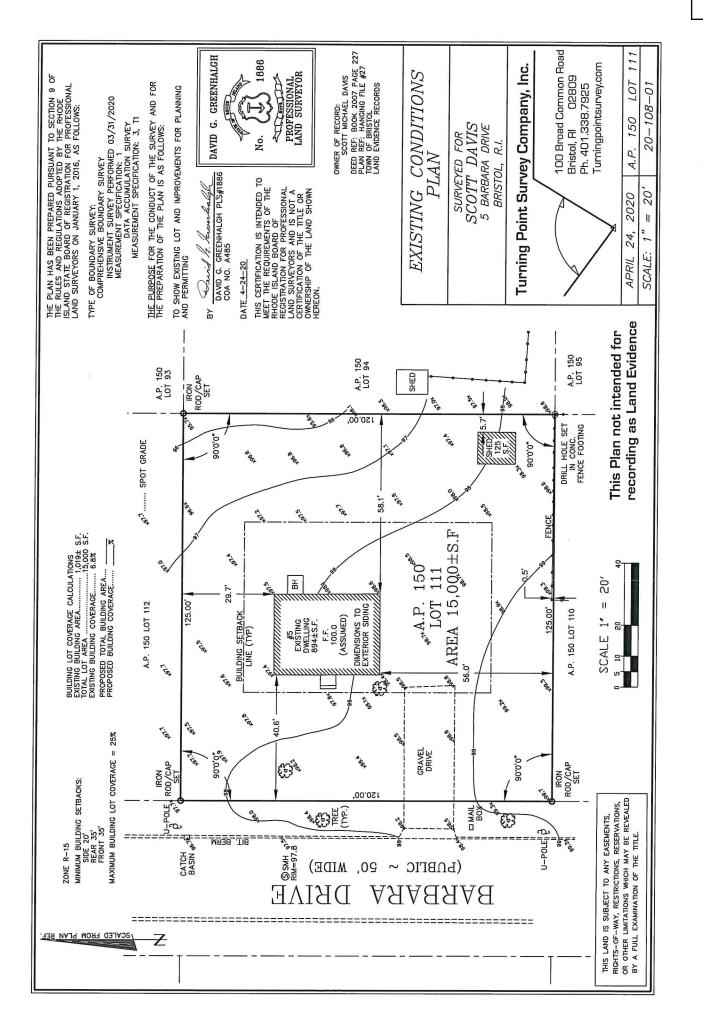
My parents, Pam and Guy Davis, are residents of Lincoln, RI and have begun to feel the strain of maintaining a household as they age. My father, who is 87, has begun to have mobility issues and has suffered from complications due to prostate cancer. As his mobility has decreased, he has begun to fall more frequently, one incident left him in the hospital for 5 days. Last Christmas, my mother approached me and let me know the house in Lincoln was getting to be too much to handle. Being the good son I try to be, I investigated different ways to accommodate them and allow continued independent living.

What I propose allows them to do just that. The design incorporates ADA recommendations, an elevator that will fit a wheelchair, 42" clearance around counters and furniture, we've allowed for generous sized bathrooms with curbless showers and grabrails, a garage with clearance enough to maneuver a wheelchair around parked cars and many more future proof designs. With all our accommodations considered, it has caused the footprint of the proposed building to expand but I feel it is required to allow them the comfortable and safe living they deserve with me just steps away to assist.

I have partnered with Pacific Visions architects, a Bristol firm with RWU alumni, to make sure the building is aesthetically pleasing, fits with Bristol/New England design, and assures it is a welcome addition to our beautiful neighborhood. Materials will be chosen purposefully (i.e cedar shake siding) to further allow the building to seamlessly blend with the surrounding homes.

My parents are thrilled at the thought of becoming Bristol residence. Thank you in advance for your thoughtful consideration.

Scott M Davis 5 Brabara Dr Bristol, RI 02809 401-487-6306





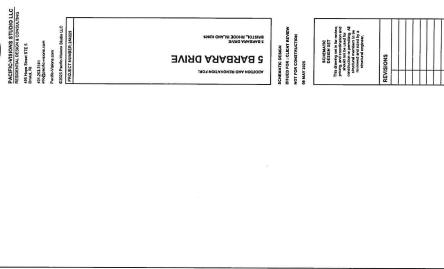
P A

CIVIL ENGINEER TURNING POINT SURVEY COMPANY, INC. 100 BROAD COMMON ROAD BRISTOL 70 2809 401-338-7925

Larray Para Saray Carport In.

NOT FOR CONSTRUCTION SCHEMATIC DESIGN 08 MAY 2025





ΞΛΙΆΟ ΑΆΑΒΆΑΒ δ

SCHEMATIC DESIGN SET

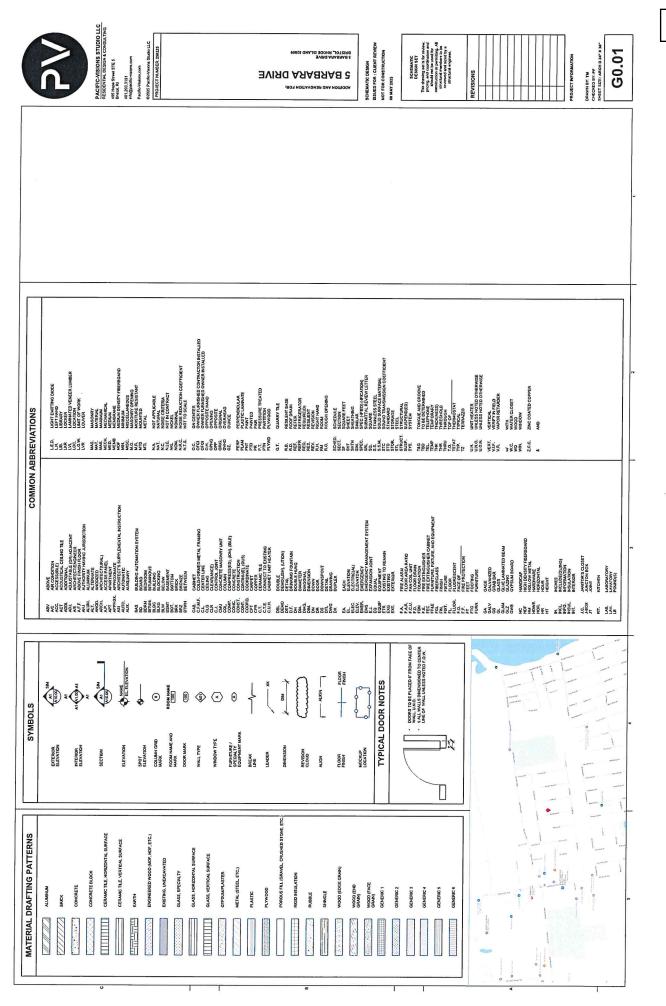
REVISIONS

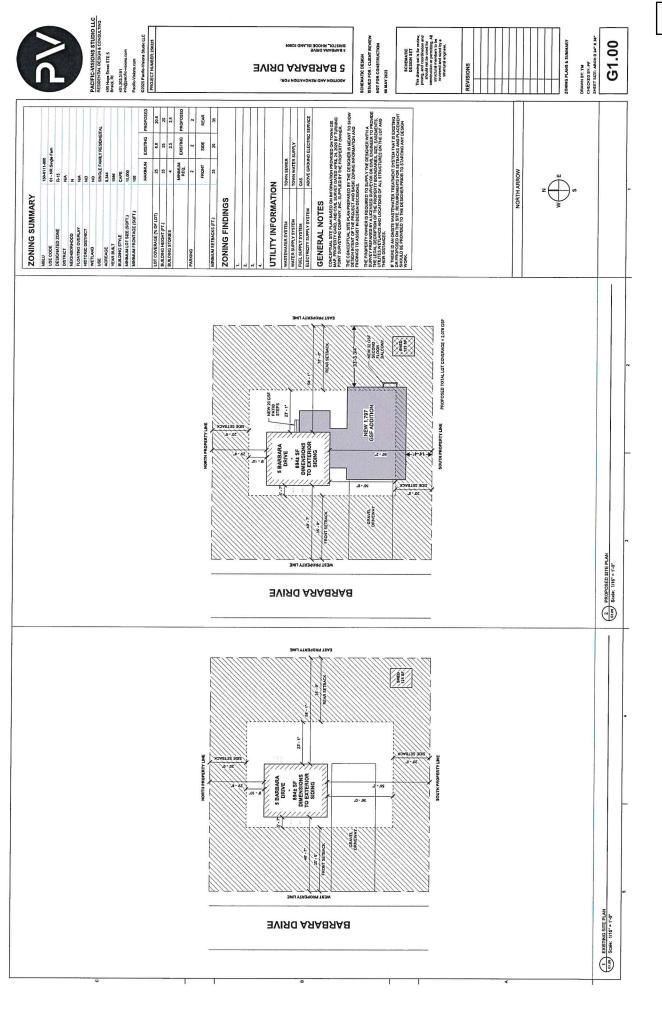
MECHANICAL,	TO BE
ELECTRICAL,	PERMITTED
AND PLUMBING	DESIGN BUILD

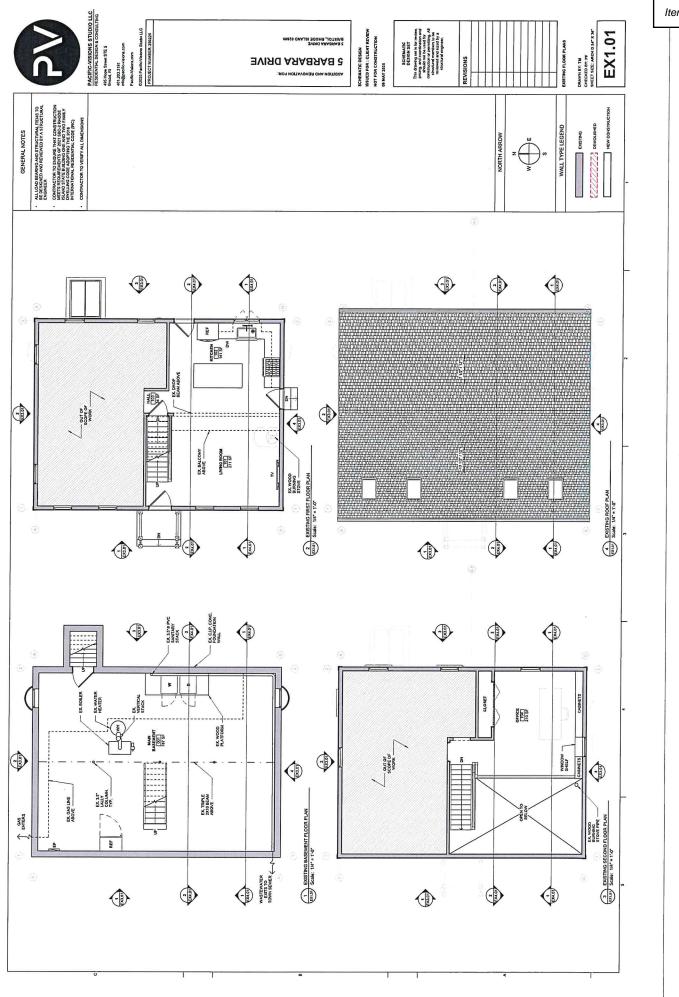
G0.00

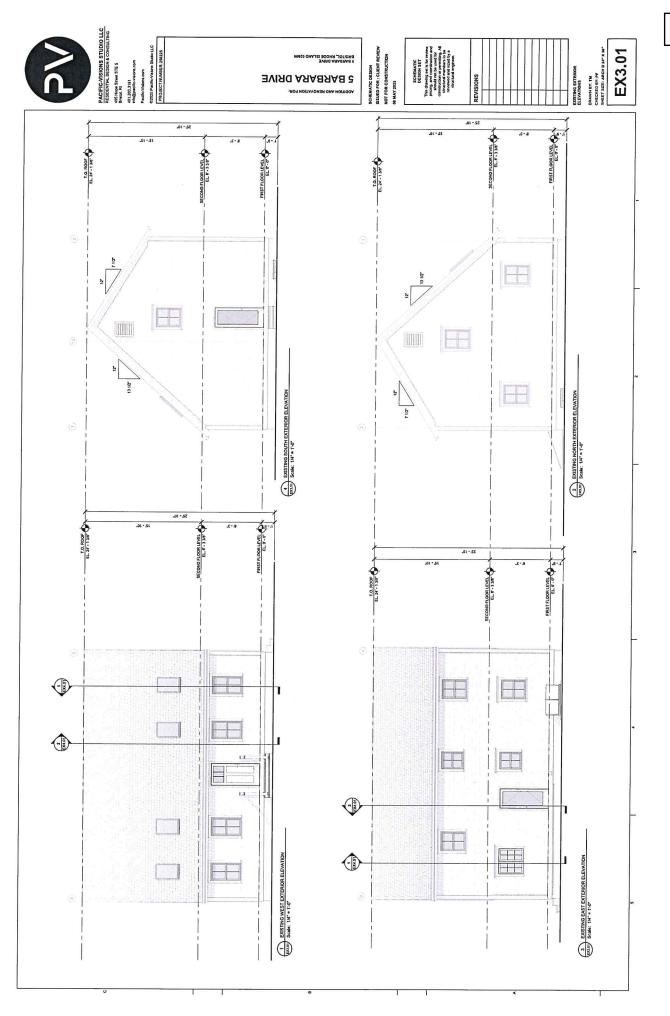
DRAWN BY: TM CHECKED BY: PF SHEET SIZE: ARCH D 24" X 3

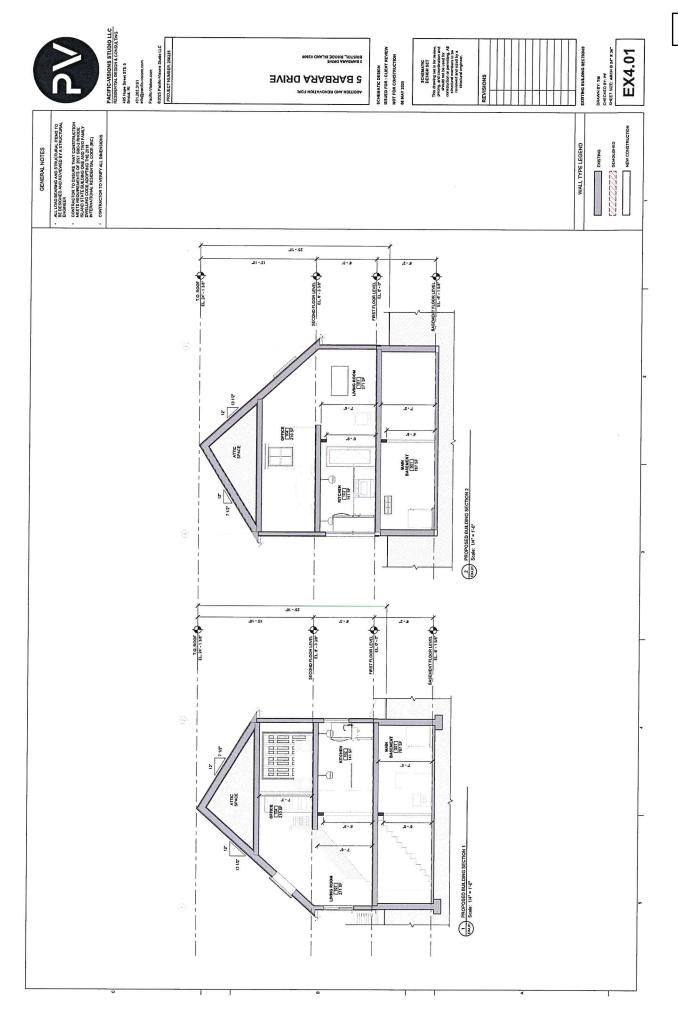
OVER

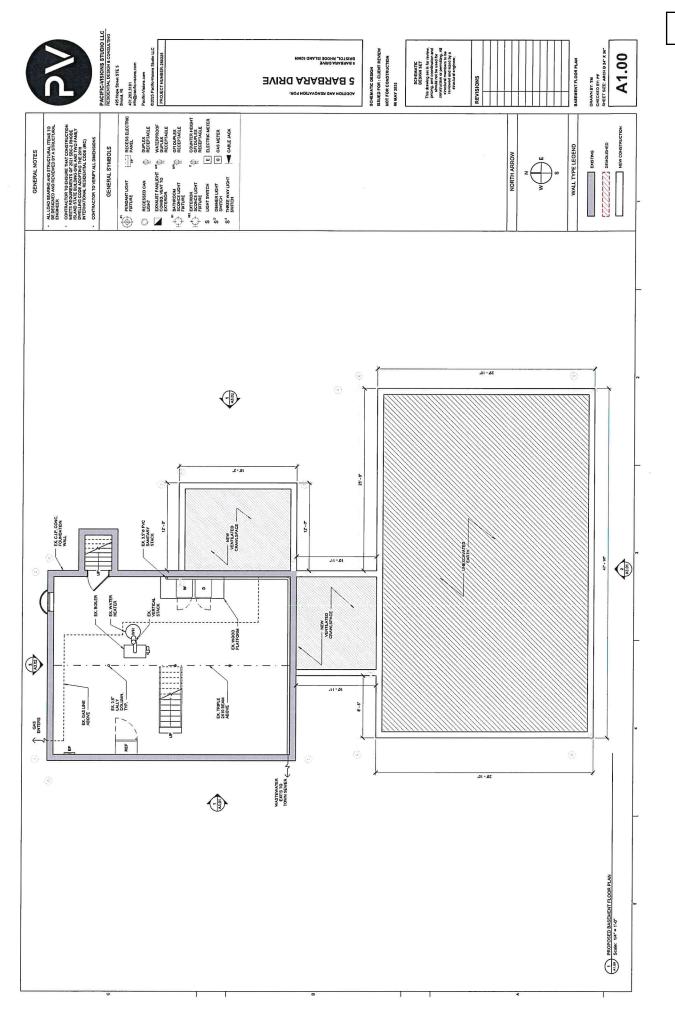


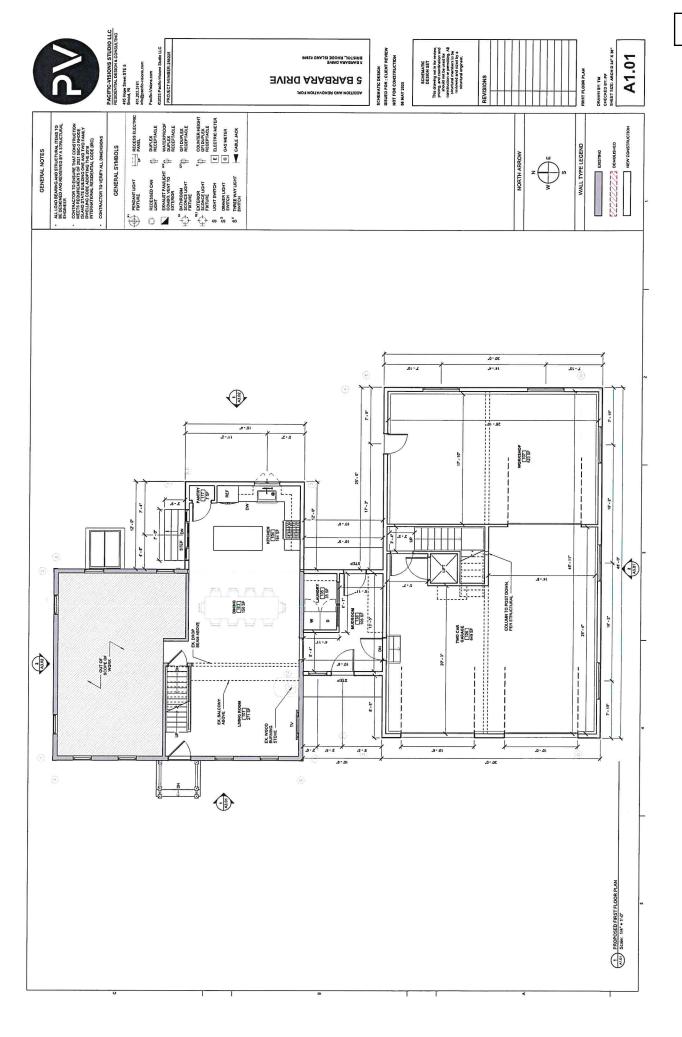


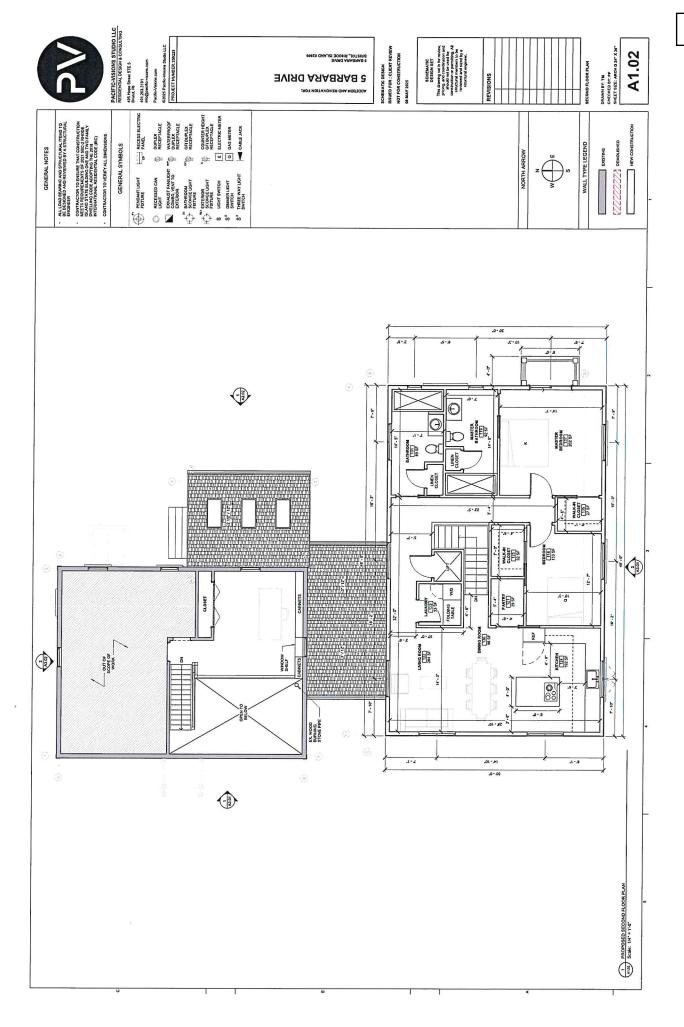


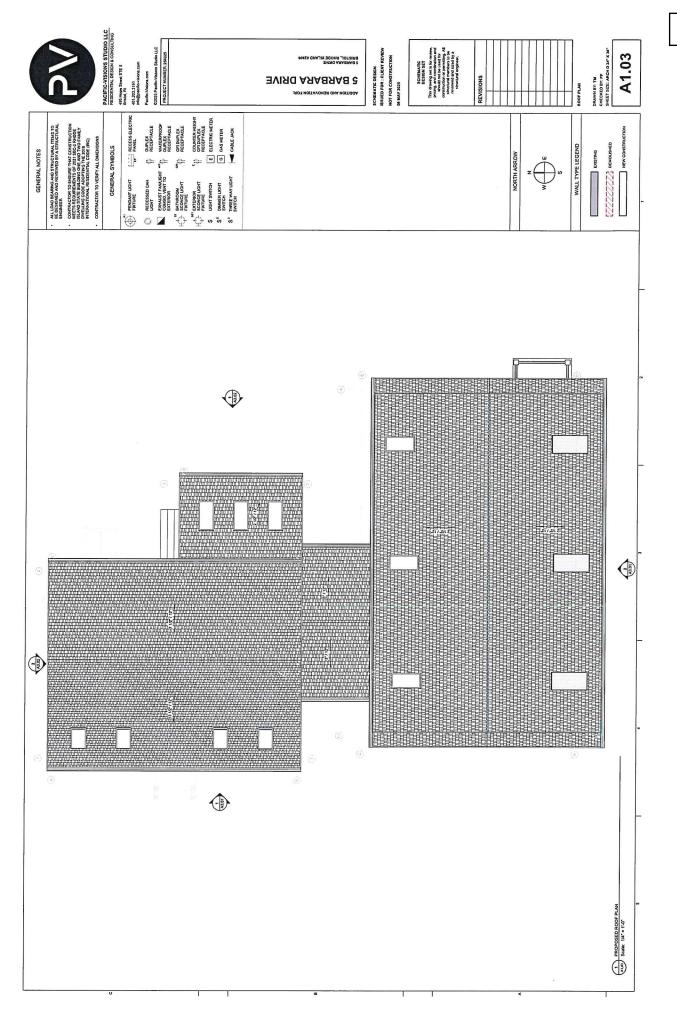


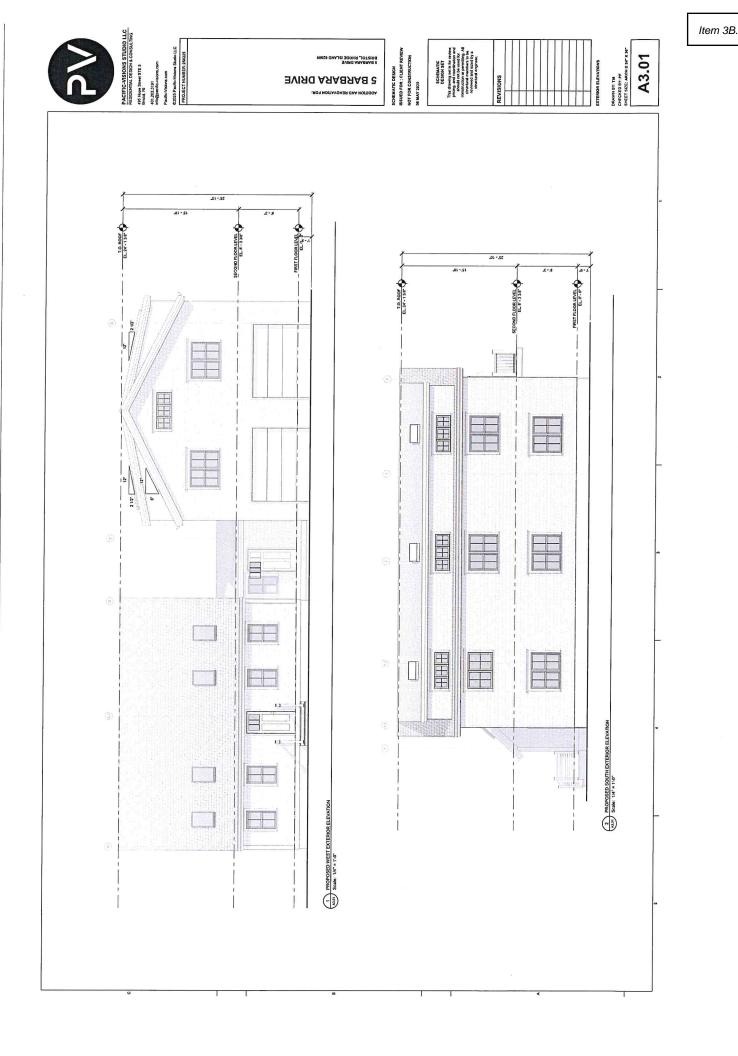


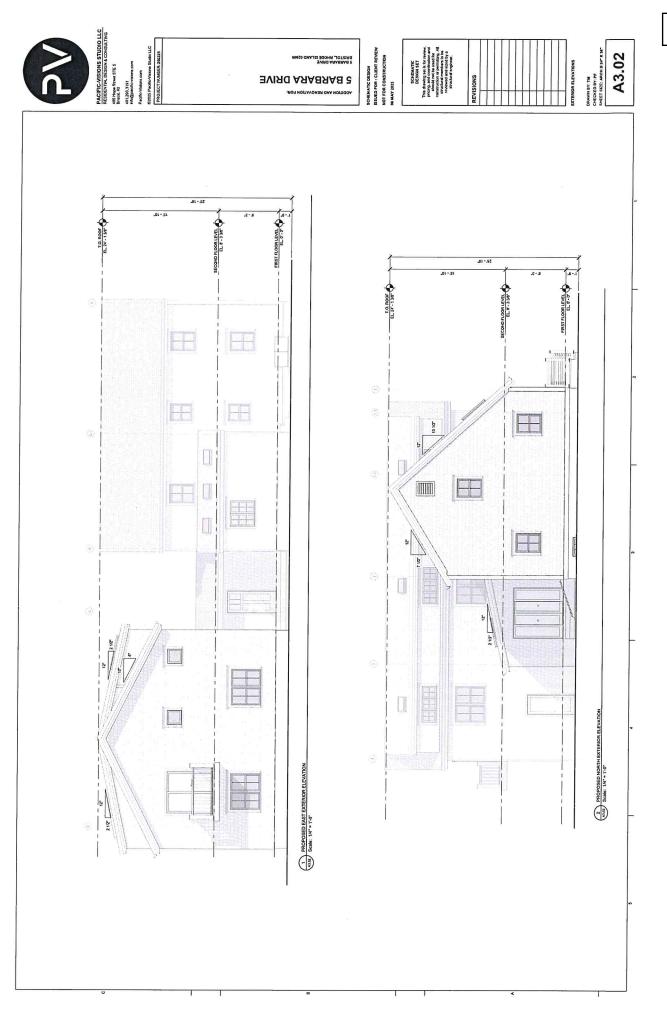












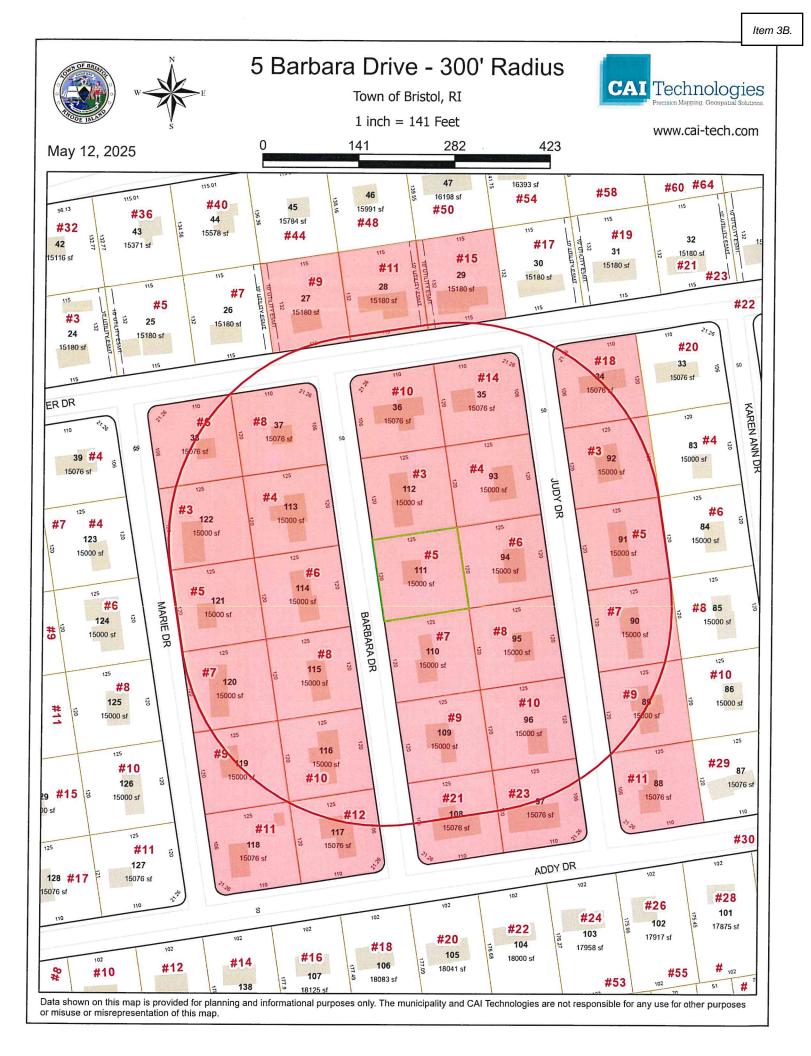
Card 1 of 1 C A T A I I S' 🛞	\$341,300 ADMACHING CONFIRMANT ENGLAND CITIENE.	Leg Ref NAL Type 2007-227 G W 1405-231 Q	Appraised Value Assessed Value 341,300 341,300 341,300 341,300 341,300 341,300 281,800 281,800 281,800 281,800	19 (318) (318) (318) (318) 13 13 13 13 13 13 13 13 13 13 13 13 13	Spec Land Juris Fact Use Value 1.00 0
Carc	\$3	Sale Price 255,000 0	AGR Credit 0 0 0	4	Appr Value 162,900
	sment	n Date 11/15/2019 11/27/2007	Land 162,900 162,900 162,900 150,000 150,000	<u><u><u></u></u></u>	Inf 3 %
	Assessment	Previous Owners & Sales Information Grantor SERBST, CAROL M. 11 SERBST, WILLIAM L. & CAR 11	Land Size 0 0 0 0 0 0	19 TSQ BMT (724) 18	Inf 2 % Inf 3
		& Sales	lents SF/YI 0 0 0 0	4 KR9C Å	Inf 2 In
	Zone R-15	Previous Owners Grantor SERBST, CAROL M. SERBST, WILLIAM L. & CAR	► Previous Assessments Year LUC Building SFI 2024 01 178,400 2023 01 178,400 2022 01 178,400 2021 01 131,800 2021 01 131,800 2029 01 131,800		Inf 1 %
	.	Previous O Grantor SERBST, CAROL M. SERBST, WILLIAM I	 Previous Previous fear LUC 2024 01 2023 01 2022 01 2021 01 2021 01 2020 01 2019 01 	2 6 2024	h L
	LUC 01	▲ [©] ₩ ₩	.37		l Neigh
RA DR	7690	% Owned	1,3 ed		Adjusted 473,065
5 BARBARA DR	Account: 7690	5	AG Credit Assesse 0 34 0 34 VAL per SQ Unit/Parcel >		Unit Price 630,000
2	► A(Owner Account #: 50-0060-33 AEL tol, RI 02809 	Land Value 162,900 162,900 122.37 VA		UnitType LandType LTFact AC P 1.00
	0	vner Accoun L tl 02809	٨		t Type Land 1 AC P
	111-00	► Ov T MICHAEI 3R, Bristol, R	SF/YI Value Land Size 0 0.34 0 0.34 VAL per SQ Unit/Card >		Units Unit 7 0.34435 A
	Plat/Lot 150-0111-000	Owner Ac. Owner 1 DAVIS, SCOTT MICHAEL Owner 2 Owner 3 Address 5 5 BARBARA DR, Bristol, RI 02809	0)	Land Information	Use Description L 01 Single Fam 0.
D Bristol	> Plat/L	Owner 1 D/ Owner 2 Owner 2 Owner 3 555	 Assessment Use Code Bldg Value 01 178,400 TOTAL 178,400 TOTAL 178,600 	Land In	Use De 1 01 Sin 2

Disclaimer - This Information is believed to be correct, but is subject to change and is not warranteed.

Year ID: 2024

Print Date = 5/9/2025 Printed By = Ed Tanner

Bristol	_		5	5 BARBARA DR						ö	ard 1 of	1 C A T	Card 1 of 1 C A T A I I C' 🗞
Plat/Lo	Plat/Lot 150-0111-000	111-000	A	Account: 7690	LUC 01	Zone	R-15	D Ass	Assessment		\$341,300	ADVANCING GOVERN	
Building Information	Informat	tion		0	 Other 	Other Factors	۵ ۵	 Sub-Area Detail 					
-	Description		Description		Flood	Flood Hazard	Code	e Description	Area	a	Rate Undep Val		2.
BLDG Type	Cape	Story Height 1	Story Height 1 3/4 Story Finishe	Year Built 1986 EFF Year		Iopograpny LEVEL Street PAVED	FFL	1st FLOOR	884	884 154			Result By
RES Units	÷	COM Units	0	* 114					884		23.24 20.544		REVIEW
	Concrete	BMT Floor	Concrete	Depreciation	۵		135.00 CAT		160				
	Mood	Eramo 2	10	Code Description	%			WOOD DECK			15.20 4,834		KEVIEW
	1		%	Condition AV AV - Average	35.0	Constr Adj	1.01 lotal	-	2,789 1	1,427	248,955		MEASURED
EXT Wall 1 W	Wood Shngl	EXT Wall 2 0	Clapboard % 25	ĉ	0.66	Adj \$/SQ 154	154.94					8/11/2007	
Roof Type 1	Gable	Roof Type 2	%	Functional	0.0 Oth	Othr Featrs 25,	25,500					6/25/2007	MEASURE
Roof Cover 1 A:	sphalt Shir	Asphalt Shir Roof Cover 2	%	Economic -	0.0 Gra		1.00						
INT Wall 1	Drywall	INT Wall 2	%	Special -	0.0		1.00						
Floors 1 F	Hardwood	Floors 2	70	NO	Lan		1.00						
			e 10110		A			Notae					
Dimbio		Color	BEIGE	Total Damaiation %		Depreciation 96,	96,059	AUICS					
Billumin					0.00	Depr Total 178,396	396						
Insulation		INI VS EXI		Pemodeling Uicton		Deter Dete							
Heat Fuel	Gas	Heat Type	BB Hot Water										
# Heat Sys		% Heated	100	Interior Electric	Location	tion							
% Solar HW		% A/C			Tot L	Tot Units							
% COM Wall		% Vacuum			FL Level	evel							
Ceil HGHT		Ceiling Type		Kitchen General	# Floors	oors 0							
Parking Type		% Sprinkled		Datn(s)	Bldg Seq								
EXT View				Building Permits									
	Quantity	Ċ	Quality	Issue Date Permit #	# Closed Date	BP Type	Est. Cost %	% Done Status I	Description/Directions	Directions			
	Automotion	2	tuanty .	1 04/24/2020 B50242		BLDG 21	25,000	Closed	New windows,	doors, (no s	New windows, doors, (no structural changes) siding and trim.	s) siding and tr	Ë
Full Bath	2	Ę	Typical	2									
Ext Full Bath				3									
Half Bath				4									
Ext Half Bath				ъ									
Ext Fixtures				0 1									
Kitchens	÷	ŕ	Typical	- @									
Ext Kitchens				6									
Fireplaces													
W S Flues				cial Features	ard Ite							● Oth	Other Info.
				1 2 Shed	A YIS CITY	Length	Width SF Size	Quality	Condition Year	Assessed Value	l Value	ų	AEDLI
Room Counts by Floor	ounts by	Floor			•	þ	1		5	1304	Þ	ortTermRental	ntal
Units #	# Rooms #	# Bedrooms	Floor Level	З								DrioriDae	2 C
-	9	ę	n	4									
2				5								PriorID24	224 17h
				Q									
e				7								PriorID2c	32c
4				8 0								PriorID3a) 3a
Totals 1		c		D (1								PriorID3b	03b
	D	n		01								PriorID3c	J 3c
Print Date = 5/9/2025		Printed By = Ed Tanner			Year IL	Year ID: 2024		Disclaimer - This Info	rmation is belie	ved to be co	rrect, but is sub	ject to change	Disclaimer - This Information is believed to be correct, but is subject to change and is not warranteed.





300 feet Abutters List Report Bristol, RI May 12, 2025

Subject Property:

Parcel Number:	150-111	Mailing Address:	DAVIS, SCOTT MICHAEL
CAMA Number:	150-111		5 5 BARBARA DR
Property Address:	5 BARBARA DR		Bristol, RI 02809
Abutters:			
Parcel Number: CAMA Number: Property Address:	150-108 150-108 21 ADDY DR	Mailing Address:	BARKER, WILLIAM P. & BARKER, LISA A. CURRAN (50%) TRUSTEES 21 ADDY DR BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-109 150-109 9 BARBARA DR	Mailing Address:	ILG, MARY E. TRUSTEE MARY E. ILG TRUST 9 BARBARA DR. BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-110 150-110 7 BARBARA DR	Mailing Address:	
Parcel Number:	150-111	Mailing Address:	DAVIS, SCOTT MICHAEL
CAMA Number:	150-111		5 5 BARBARA DR
Property Address:	5 BARBARA DR		Bristol, RI 02809
Parcel Number:	150-112	Mailing Address:	DANIELS, MARK S ET UX SUSAN C. TE
CAMA Number:	150-112		3 BARBARA DRIVE
Property Address:	3 BARBARA DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-113 150-113 4 BARBARA DR	Mailing Address:	BLACK, JOHN J. & BLACK, SUSAN L. CO- TRUSTEES 4 BARBARA DR BRISTOL, RI 02809
Parcel Number:	150-114	Mailing Address:	MCGOVERN, ADAM C & NICOLE A TE
CAMA Number:	150-114		6 BARBARA DR
Property Address:	6 BARBARA DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-115 150-115 8 BARBARA DR	Mailing Address:	TRINDADE, MICHAEL A. DEBORAH L. TE 8 BARBARA DRIVE BRISTOL, RI 02809
Parcel Number:	150-116	Mailing Address:	MCCARTHY, JOSEPH M
CAMA Number:	150-116		10 BARBARA DRIVE
Property Address:	10 BARBARA DR		BRISTOL, RI 02809
Parcel Number:	150-117	Mailing Address:	IACONO, DAVID E. NANCY TE
CAMA Number:	150-117		12 BARBARA DR.
Property Address:	12 BARBARA DR		BRISTOL, RI 02809

CAI Technologies

5/12/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



300 feet Abutters List Report Bristol, RI May 12, 2025

Parcel Number:	150-118	Mailing Address:	CORREIRA, FREDERICK M
CAMA Number:	150-118		11 MARIE DR
Property Address:	11 MARIE DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-119 150-119 9 MARIE DR	Mailing Address:	DASILVA, JOHN ET UX MICHELLE ANN WAY TE 9 MARIE DR BRISTOL, RI 02809
Parcel Number:	150-120	Mailing Address:	CALISTO, JOSE L & LUCIA TRUSTEES
CAMA Number:	150-120		7 MARIE DR
Property Address:	7 MARIE DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-121 150-121 5 MARIE DR	Mailing Address:	GRIFFIN, MARY E & CABRAL, HENRY JR JT TRUSTEE 5 MARIE DR BRISTOL, RI 02809
Parcel Number:	150-122	Mailing Address:	CAMPBELL, DAVID & KATHRYN TE
CAMA Number:	150-122		3 MARIE DR
Property Address:	3 MARIE DR		BRISTOL, RI 02809
Parcel Number:	150-27	Mailing Address:	ST GEORGE, THOMAS A ANA I.
CAMA Number:	150-27		9 JENNIFER DR
Property Address:	9 JENNIFER DR		BRISTOL, RI 02809
Parcel Number:	150-28	Mailing Address:	FISHER, ROBERT E. KAREN J. ETUX TE
CAMA Number:	150-28		11 JENNIFER DR
Property Address:	11 JENNIFER DR		BRISTOL, RI 02809
Parcel Number:	150-29	Mailing Address:	SIMBRO, THOMAS ELIZABETH A. ETUX
CAMA Number:	150-29		15 JENNIFER DR
Property Address:	15 JENNIFER DR		BRISTOL, RI 02809
Parcel Number:	150-34	Mailing Address:	PERRY, MARYANNE D.
CAMA Number:	150-34		18 JENNIFER DRIVE
Property Address:	18 JENNIFER DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:		Mailing Address:	FORSBERG, THOMAS E ET UX JANE G. FORSBERG TE 14 JENNIFER DRIVE BRISTOL, RI 02809
Parcel Number:	150-36	Mailing Address:	MICALLET, STEVEN A KIMBERLY A
CAMA Number:	150-36		10 JENNIFER DR
Property Address:	10 JENNIFER DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-37 150-37 8 JENNIFER DR	Mailing Address:	MEDEIROS, RONALD ET UX DEBRA A. TE 8 JENNIFER DRIVE BRISTOL, RI 02809

CAI Technologies

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Item 3	ЗB
--------	----



300 feet Abutters List Report Bristol, RI May 12, 2025

Parcel Number:	150-38	Mailing Address:	CASTIGLIEGO, MATTEO
CAMA Number:	150-38		6 JENNIFER DR
Property Address:	6 JENNIFER DR		BRISTOL, RI 02809
Parcel Number:	150-88	Mailing Address:	TOMS,DAVID E. ANETTE M. ETUX WC
CAMA Number:	150-88		11 JUDY DRIVE
Property Address:	11 JUDY DR		BRISTOL, RI 02809
Parcel Number:	150-89	Mailing Address:	JENNINGS, ELIZABETH
CAMA Number:	150-89		9 JUDY DR
Property Address:	9 JUDY DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-90 150-90 7 JUDY DR	Mailing Address:	BENEVIDES, ALIPIO JR & BENEVIDES, BARBARA A. TRUST 7 JUDY DR BRISTOL, RI 02809
Parcel Number:	150-91	Mailing Address:	WILSON, PAUL G MAUREEN
CAMA Number:	150-91		5 JUDY DR
Property Address:	5 JUDY DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-92 150-92 3 JUDY DR	Mailing Address:	POWERS, WAYNE R MARIE S. TRUSTEES 3 JUDY DR BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-93 150-93 4 JUDY DR	Mailing Address:	MEDEIROS, JORGE M. MARIA F. LIFE ESTATE & BRITO, 4 JUDY DR BRISTOL, RI 02809
Parcel Number:	150-94	Mailing Address:	PACHECO, LOUIS M & ERICA L TE
CAMA Number:	150-94		6 JUDY DR
Property Address:	6 JUDY DR		BRISTOL, RI 02809
Parcel Number:	150-95	Mailing Address:	MORENCY, ELIZABETH M. CHAD TE
CAMA Number:	150-95		8 JUDY DR
Property Address:	8 JUDY DR		BRISTOL, RI 02809
Parcel Number:	150-96	Mailing Address:	DUPONT, CYNTHIA A.
CAMA Number:	150-96		10 JUDY DR
Property Address:	10 JUDY DR		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	150-97 150-97 23 ADDY DR	Mailing Address:	SANTOS, ELVIRA TRUSTEE ELVIRA SANTOS LIVING TRUST 23 ADDY DRIVE BRISTOL, RI 02809

CAI Technologies

5/12/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

BARKER, WILLIAM P. & BARKER, LISA A. CURRAN (5 21 ADDY DR BRISTOL, RI 02809

BENEVIDES, ALIPIO JR & BE 7 JUDY DR BRISTOL, RI 02809

BLACK, JOHN J. & BLACK, SUSAN L. CO- TRUST 4 BARBARA DR BRISTOL, RI 02809

CALISTO, JOSE L & LUCIA TRUSTEES 7 MARIE DR BRISTOL, RI 02809

CAMPBELL, DAVID & KATHRYN 3 MARIE DR BRISTOL, RI 02809

CASTIGLIEGO, MATTEO 6 JENNIFER DR BRISTOL, RI 02809

CORREIRA, FREDERICK M 11 MARIE DR BRISTOL, RI 02809

DANIELS, MARK S ET UX SUSAN C. TE 3 BARBARA DRIVE BRISTOL, RI 02809

DASILVA, JOHN ET UX MICHELLE ANN WAY TE 9 MARIE DR BRISTOL, RI 02809

DAVIS, SCOTT MICHAEL 5 5 BARBARA DR Bristol, RI 02809 DUPONT, CYNTHIA A. 10 JUDY DR BRISTOL, RI 02809

FISHER, ROBERT E. KAREN J. ETUX TE 11 JENNIFER DR BRISTOL, RI 02809

FORSBERG, THOMAS E ET UX JANE G. FORSBERG TE 14 JENNIFER DRIVE BRISTOL, RI 02809

GRIFFIN, MARY E & CABRAL, HENRY JR JT TRUST 5 MARIE DR BRISTOL, RI 02809

IACONO, DAVID E. NANCY TE 12 BARBARA DR. BRISTOL, RI 02809

ILG, MARY E. TRUSTEE MARY E. ILG TRUST 9 BARBARA DR. BRISTOL, RI 02809

JENNINGS, ELIZABETH 9 JUDY DR BRISTOL, RI 02809

MCCARTHY, JOSEPH M 10 BARBARA DRIVE BRISTOL, RI 02809

MCGOVERN, ADAM C & NICOLE A TE 6 BARBARA DR BRISTOL, RI 02809

MEDEIROS, JORGE M. MARIA F. LIFE ESTATE & BR 4 JUDY DR BRISTOL, RI 02809 MEDEIROS, RONALD ET UX DEBRA A. TE 8 JENNIFER DRIVE BRISTOL, RI 02809

MERRIAM, RICHARD J. BROOKE M. TE 7 BARBARA DRIVE BRISTOL, RI 02809

MICALLET, STEVEN A KIMBERLY A 10 JENNIFER DR BRISTOL, RI 02809

MORENCY, ELIZABETH M. CHAD TE 8 JUDY DR BRISTOL, RI 02809

PACHECO, LOUIS M & ERICA L TE 6 JUDY DR BRISTOL, RI 02809

PERRY, MARYANNE D. 18 JENNIFER DRIVE BRISTOL, RI 02809

POWERS, WAYNE R MARIE S. TRUSTEES 3 JUDY DR BRISTOL, RI 02809

SANTOS, ELVIRA TRUSTEE ELVIRA SANTOS LIVING TRUS 23 ADDY DRIVE BRISTOL, RI 02809

SIMBRO, THOMAS ELIZABETH A. ETUX 15 JENNIFER DR BRISTOL, RI 02809

ST GEORGE, THOMAS A ANA I. 9 JENNIFER DR BRISTOL, RI 02809

TOMS,DAVID E. ANETTE M. ETUX WC 11 JUDY DRIVE BRISTOL, RI 02809

TRINDADE, MICHAEL A. DEBORAH L. TE 8 BARBARA DRIVE BRISTOL, RI 02809

WILSON, PAUL G MAUREEN 5 JUDY DR BRISTOL, RI 02809

ADDITION AND RENOVATION FOR: 5 BARBARA DRIVE BRISTOL, RHODE ISLAND, 02809

SCHEMATIC DESIGN NOT FOR CONSTRUCTION 26 JUNE 2025

DRAWING LIST					
Sheet Number	Sheet Name				
01 - GENERAL					
G0.00	COVER				
G0.01	PROJECT INFORMATION				
G1.00	ZONING PLANS & SUMMARY				
02 - CIVIL					
C1.01	BOUNDARY SURVEY - EXISTING CONDITIONS PLAN				
03 - EXISTING CONDITIONS					
EX1.01	EXISTING FLOOR PLANS				
EX3.01	EXISTING EXTERIOR ELEVATIONS				
EX4.01	EXISTING BUILDING SECTIONS				
04 - PROPOSED					
A1.00	BASEMENT FLOOR PLAN				
A1.01	FIRST FLOOR PLAN				
A1.02	SECOND FLOOR PLAN				
A1.03	ROOF PLAN				
A3.01	EXTERIOR ELEVATIONS				
A3.02 EXTERIOR ELEVATIONS					
4.01	BUILDING SECTIONS				
4.02	BUILDING SECTIONS				
49.01	FIRST FLOOR RCP				
49.02	SECOND FLOOR RCP				



MECHANICAL, ELECTRICAL, AND PLUMBING



DRAWN BY: **TM** CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"

COVER

REVI	SIONS

construction or permitting. All structural members to be reviewed and sized by a structural engineer.

SCHEMATIC DESIGN SET This drawing set is for review, pricing, and coordination and should not be used for

SCHEMATIC DESIGN **ISSUED FOR : CLIENT REVIEW** NOT FOR CONSTRUCTION 26 JUNE 2025



info@pacific-visions.com Pacific-Visions.com ©2025 Pacific-Visions Studio LLC PROJECT NUMBER: 250225

Turning Point Survey Company, Inc. 100 Broad Common Road Bristol, RI 02809 Ph. 401.338.7925 Turningpointsurvey.com

CIVIL ENGINEER TURNING POINT SURVEY COMPANY, INC. 100 BROAD COMMON ROAD BRISTOL, RI 02809 401-338-7925

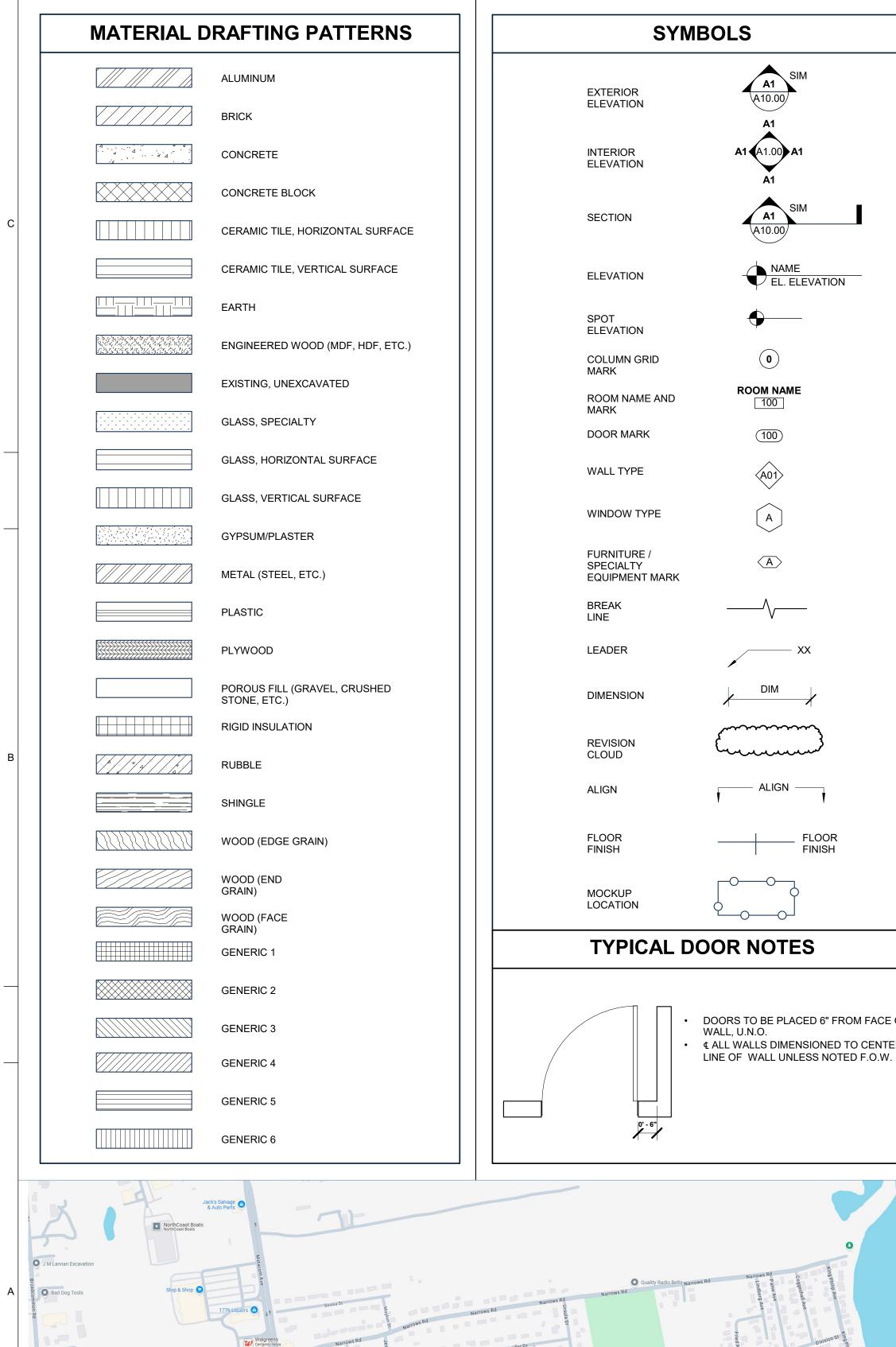


PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING

39 State St Unit 1N

Bristol, RI

401.203.3191





Bristol Auto Body Works

nastics, Inc

O The Ballet Center

The Beehive Pantry

TTM U Allsport Col Jute Hair Studio 🔘

4

Arnold Lumber O

Image: Provide and the set of the set		COMMON		TIONS
BR2 BR2 NR3 NR3 NR3 NR3 NR3 NR3 CR3 Cost PT OWNER THANKED CC OLD COST PT COST PT CC OLD COST PT OLD COST PT <td< th=""><th>A/C ACC. ACT ADDL ADJ. A/E A.F.F. AHJ ALUM. ALT. ANOD. ARCH. A.P. APT APT APPROX. ASI AUTO. AUX. BAS BD BDRM BITUM. BLDG BLKG BLW BSMT BOT.</th><th>AIR CONDITION ACCESS(IBLE) ACOUSTICAL CEILING TILE ADDITIONAL ADJUSTABLE (OR) ADJACENT ARCHITECT/ENGINEER ABOVE FINISH FLOOR AUTHORITY HAVING JURISDICTION ALUMINUM ALTERNATE ANODIZED ARCHITECT(URAL) ACCESS PANEL APARTMENT APPROXIMATE ARCHITECT'S SUPPLEMENTAL INSTRUCTION AUTOMATIC AUXILIARY BUILDING AUTOMATION SYSTEM BOARD BEDROOM BITUMINOUS BUILDING BLOCKING BELOW BASEMENT BOTTOM</th><th>L.H. LIB. LKR LVL LOC. L.O.W. LVR MAS. MAT. MAS. MAT. MAX. MECH. MED. MED. MEMB MDF MIN. MISC. M.O. M.R. MTD MTL N.A. NAT. N.C. N.I.C. NKL</th><th>LEFT HAND LIBRARY LOCKER LAMINATED VENEER LUMBER LOCATION LIMIT OF WORK LOUVER MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MEMBRANE MEDIUM DENSITY FIBERBOARD MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MOUNTED METAL NOT APPLICABLE NATURAL NOISE CRITERIA NOT IN CONTRACT NICKEL</th></td<>	A/C ACC. ACT ADDL ADJ. A/E A.F.F. AHJ ALUM. ALT. ANOD. ARCH. A.P. APT APT APPROX. ASI AUTO. AUX. BAS BD BDRM BITUM. BLDG BLKG BLW BSMT BOT.	AIR CONDITION ACCESS(IBLE) ACOUSTICAL CEILING TILE ADDITIONAL ADJUSTABLE (OR) ADJACENT ARCHITECT/ENGINEER ABOVE FINISH FLOOR AUTHORITY HAVING JURISDICTION ALUMINUM ALTERNATE ANODIZED ARCHITECT(URAL) ACCESS PANEL APARTMENT APPROXIMATE ARCHITECT'S SUPPLEMENTAL INSTRUCTION AUTOMATIC AUXILIARY BUILDING AUTOMATION SYSTEM BOARD BEDROOM BITUMINOUS BUILDING BLOCKING BELOW BASEMENT BOTTOM	L.H. LIB. LKR LVL LOC. L.O.W. LVR MAS. MAT. MAS. MAT. MAX. MECH. MED. MED. MEMB MDF MIN. MISC. M.O. M.R. MTD MTL N.A. NAT. N.C. N.I.C. NKL	LEFT HAND LIBRARY LOCKER LAMINATED VENEER LUMBER LOCATION LIMIT OF WORK LOUVER MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MEMBRANE MEDIUM DENSITY FIBERBOARD MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MOUNTED METAL NOT APPLICABLE NATURAL NOISE CRITERIA NOT IN CONTRACT NICKEL
F.O. FACE OF TYP. IMPCAL F.P. FIRE PROTECTION TZ TERRAZZO FT FEET U.H. UNIT HEATER FURN. FURNITURE U.A. UNIT HEATER GA GAGE U.A. UNIT HEATER GA. GAGE U.H. UNIT HEATER GA. GAGE U.O. U.N. UNLESS NOTED OTHERWISE GA. GAGE U.O.N. UNLESS NOTED OTHERWISE GA. GAGE VERT. VERTICAL GL. GLASS V.R. VAPOR RETARDER GLZ GLATING W/ WITH GUZ GLAZING W/ WITH GWB GYPSUM BOARD W/ WITH HDF HIGH DENSITY FIBERBOARD W/ WIN. HDF HIGH DENSITY FIBERBOARD Z.C. ZINC COATED COPPER HDWR HARDWAREL Z.C. ZINC COATED COPPER HOR. HORIZONTAL & AND HT HIELOS INNEL INSULATION INT. INSULATION INSULATION JUNCTON BOX J.C. JANITOR'S CLOSET JUNCTON BOX	BRZ BTWN CAB. C.F.M.F. C.L. CLG CLR C.J. CMU COL. COMP. CONC. CONST. CONT. COORD. CPT CPR C.T. C.T.E. C.U.H. DBL DEMO DET. D.F. DH DIA. DIA. DIA. DIA. DIA. DIA. DIA. DIA.	BRONZE BETWEEN CABINET COLD-FORMED METAL FRAMING CENTER LINE CELLING CENTER LINE CELLING CELTER LINE CELLING CELLING CLEAR(ANCE) CONCRETE CELING CONCRETE MASONRY UNIT CONCRETE MASONRY UNIT CONCRETE COMPERS(ED), (ION). (IBLE) CONCRETE CONSTRUCTION CONTINU(E), (OUS) COORDINATE CARPET COPPER CERAMIC TILE CONNECT TO EXISTING CABINET UNIT HEATER DOUBLE DEMO(LISH), (LITION) DETAL DETAL DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL DIAMETER DIAGONAL DIAMETER DAGONAL DIAMETER DAGONAL DIAMETER DAGONAL DIAMETER DAGONAL DOWN DOOR DOWNSPOUT DETAL DRAWING DUPLEX EACH ELEVATION ELECTRIC(AL) ELEVATION ELECTRIC(AL) ELEVATION ELECTRIC(AL) ELEVATION ELECTRIC(AL) ELEVATION ELECTRIC(AL) ELEVATION ELECTRIC(AL) EQUIPMENT EXISTING TO EMAIN EXISTING TO EMAIN EXISTING EXTERIOR FIRE ALARM FLOOR AREA RATIO FAN COUL UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FURSTING FIRE EXTINGUISHER CABINET FURCING FIRE EXTINGUISHER CABINET FURCING FINISH FIXTURE FLOOR	N.R.C. N.T.S. O.C. OFCI OFOI O.H. OPNG OPP ORIG. OVHD OZ. PERP PLAM PNT PTD PR P.T. PTN PLYWD Q.T. R.B. R.D. REF. REFR REQ. RES. REV. R.H. RM R.O. SCHED. SECT. SF SHT SHTH SIM. SPEC. SRL SQ. S.S. S.S. S.S. M. STC STD STOR. STD STOR. STL STRUCT. SVSP. SYS. T&G TBD TEL. TEMP THK THRU T.O.	NOISE REDUCTION COEFFICIENT NOT TO SCALE ON CENTER OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED OPPOSITE HAND OPENING OPPOSITE HAND OVERHEAD OUNCE PERPENDICULAR PLASTIC LAMINATE PAINTED PAINTED PAIR PRESSURE TREATED PARTITION PLYWOOD QUARRY TILE RESILENT BASE ROOF DRAIN REFER REFRIGERATOR REQUIRE(D) RESILIENT REVISION RIGHT HAND ROOM ROUGH OPENING SCHEDULE SECTION SQUARE FEET SHEATHING SIMILAR SUBMITTAL REVIEW LETTER SQUARE STAINLESS STEEL SOLID SURFACE MATERIAL SOUND TRANSMISSION COEFFICIENT STANDARD STORAGE STEEL STAINLESS STEEL SOLID SURFACE MATERIAL SOUND TRANSMISSION COEFFICIENT STANDARD STORAGE STEEL STAINLESS STEEL SOLID SURFACE MATERIAL SOUND TRANSMISSION COEFFICIENT STANDARD STORAGE STEEL STAINLESS STEEL STAINLESS STEEL SOLID SURFACE MATERIAL SOUND TRANSMISSION COEFFICIENT STANDARD STORAGE STEEL STRUCTURAL SUSPEND(ED) SYSTEM
	F.O. F.P. FT FTG FURN. GA GALV GB GL GLAM GLZ GWB HC HDF HM HDWR HOR. HR HT IN. INCL. INFO. INSUL. INT. J.C. J-BOX	FACE OF FIRE PROTECTION FEET FOOTING FURNITURE GAGE GALVANIZED GRAB BAR GLASS GLUE LAMINATED BEAM GLAZING GYPSUM BOARD HANDICAP HIGH DENSITY FIBERBOARD HOLLOW METAL HARDWARE HORIZONTAL HOUR HEIGHT INCHES INCLUDE(D),(ING) INFORMATION INSULATION INTERIOR JANITOR'S CLOSET JUNCTON BOX	TZ U.H. U.N.O. U.O.N. VERT. V.I.F. V.R. W/ W.C. WD WIN. Z.C.C.	TERRAZZO UNIT HEATER UNLESS NOTED OTHERWISE UNLESS NOTED OTHERWISE VERTICAL VERIFY IN FIELD VAPOR RETARDER WITH WATER CLOSET WOOD WINDOW ZINC COATED COPPER



PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING

39 State St Unit 1N Bristol, RI

401.203.3191 info@pacific-visions.com

Pacific-Visions.com

©2025 Pacific-Visions Studio LLC PROJECT NUMBER: 250225

> DRIVE BARBARA A

SCHEMATIC DESIGN

ISSUED FOR : CLIENT REVIEW NOT FOR CONSTRUCTION 26 JUNE 2025

SCHEMATIC

DESIGN SET This drawing set is for review,

pricing, and coordination and should not be used for construction or permitting. All structural members to be reviewed and sized by a structural engineer.

REVISIONS

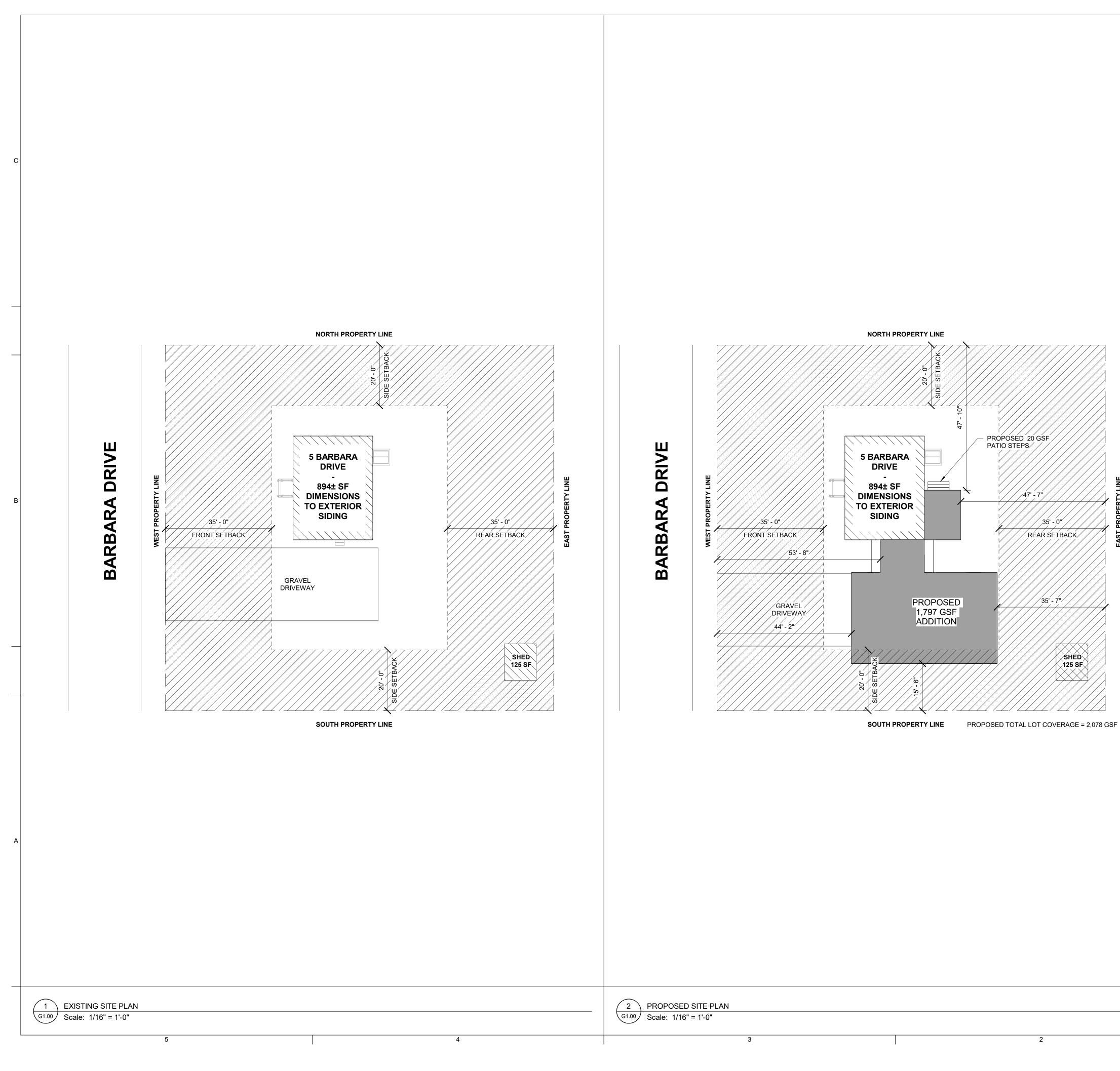
PROJECT INFORMATION

SHEET SIZE: ARCH D 24" X 36"

G0.01

DRAWN BY: TM

CHECKED BY: PF



ZONING SUMMARY			
MBLU	150-0111-000)	
USE CODE	01 - NR Singl	e Fam	
DESIGNATED ZONE	R-15		
DISTRICT	N/A		
NEIGHBORHOOD	N		
FLOATING OVERLAY	N/A		
HISTORIC DISTRICT	NO		
WETLAND	NO		
USE	SINGLE FAM	ILY RESIDNEI	TAL
ACREAGE	0.344		
YEAR BUILT	1986		
BUILDING STYLE	CAPE		
MINIMUM LOT SIZE (SQFT.)	15,000		
MINIMUM FRONTAGE (SQFT.)	100		
	MAXIMUM	EXISTING	PROPOSED
LOT COVERAGE (% OF LOT)	25	6.8	20.6
BUILDING HEIGHT (FT.)	35	25	25
BUILDING STORIES	3	2.5	2.5
	MINIMUM REQ.	EXISTING	PROPOSED
PARKING	2	2	2
	FRONT	SIDE	REAR
MINIMUM SETBACKS (FT.)	35	20	35

ZONING FINDINGS

UTILITY INFORMATION

WASTEWATER SYSTEM WATER SUPPLY SYSTEM FUEL SUPPLY SYSTEM ELECTRICITY SUPPLY SYSTEM

TOWN SEWER TOWN WATER SUPPLY GAS ABOVE GROUND ELECTRIC SERVICE

GENERAL NOTES

CONCEPTUAL SITE PLAN BASED ON INFORMATION PROVIDED ON TOWN GIS MAP, PROPERTY CARD, AND CIVIL SURVEY DATED APRIL 24, 2020 BY TURNING POINT SURVEYING COMPANY, INC. SUPPLIED BY THE PROPERTY OWNER.

THE CONCEPTUAL SITE PLAN PREPARED BY THE DESIGNER IS MEANT TO SHOW DESIGN INTENT OF THE PROJECT AND BASIC ZONING INFORMATION AND FINDINGS TO ASSIST IN DESIGN DECISIONS.

THE PROPERTY OWNER IS REQUIRED TO SUPPLY THE DESIGNER WITH A SURVEY PREPARED BY A LICENSED SURVEYOR OR CIVIL ENGINEER TO PROVIDE THE LEGAL DECRIPTION OF THE PROPERTY BOUNDARIES, SIZE, EASEMENTS, UTILITES,WETLANDS AND LOCATIONS OF ALL STRUCTURES ON THE LOT AND THEIR DISTANCES.

IF THERE IS AN ONSITE WASTEWATER TREATMENT SYSTEM THAT IS EXISTING OR PROPOSED ON THE SITE, REQUIREMENTS FOR SETBACKS AND PLACEMENT SHOULD BE PROVIDED TO THE DESIGNER PRIOR TO STARTING ANY DESIGN WORK.

NORTH ARROW

PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING

39 State St Unit 1N Bristol, RI

401.203.3191

info@pacific-visions.com

Pacific-Visions.com

©2025 Pacific-Visions Studio LLC

PROJECT NUMBER: 250225



SCHEMATIC DESIGN

A

ISSUED FOR : CLIENT REVIEW NOT FOR CONSTRUCTION 26 JUNE 2025

SCHEMATIC

DESIGN SET This drawing set is for review, pricing, and coordination and should not be used for construction or permitting. All structural members to be reviewed and sized by a structural engineer.

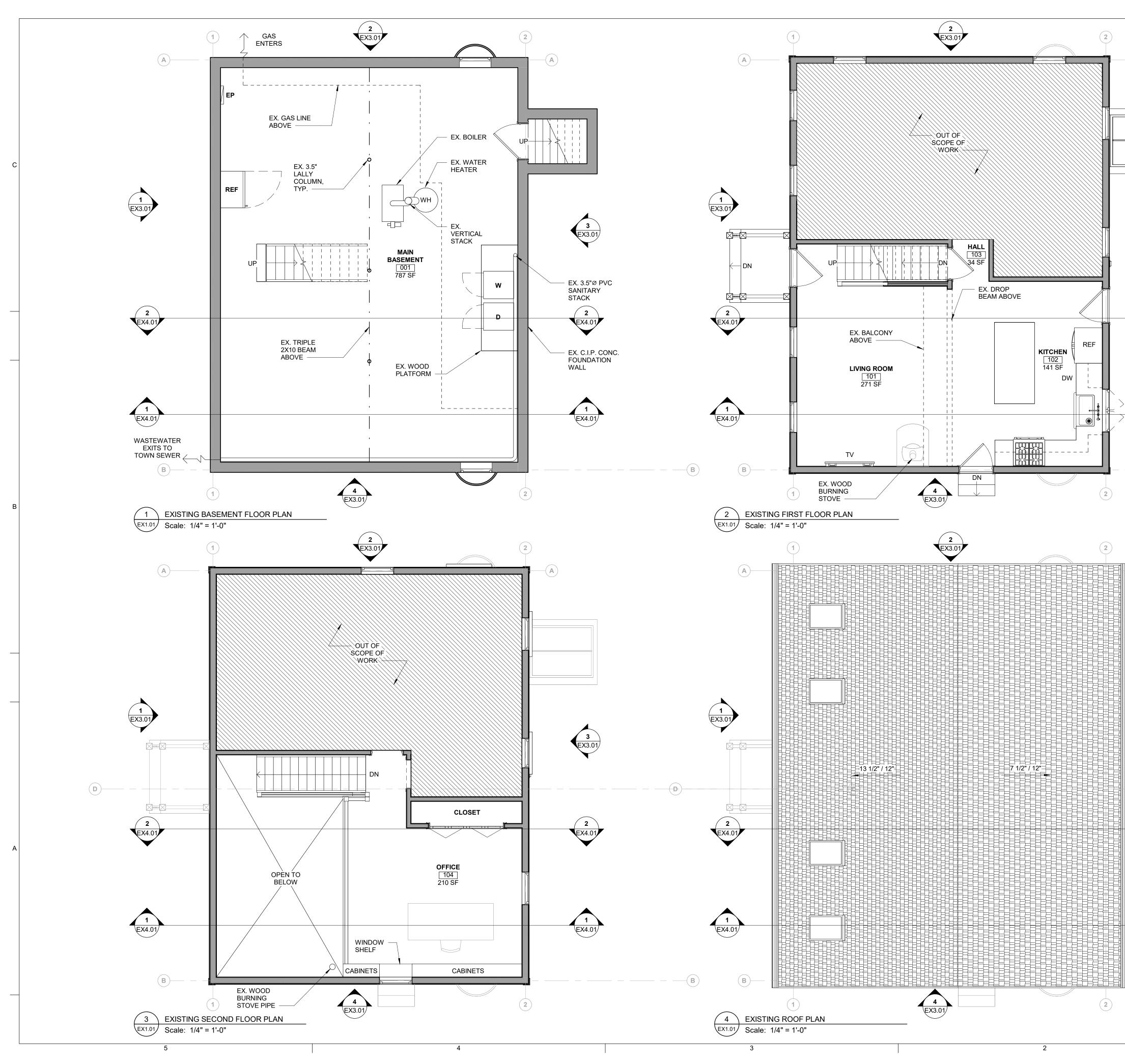
REVISIONS

ZONING PLANS & SUMMARY

DRAWN BY: **TM**

CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"



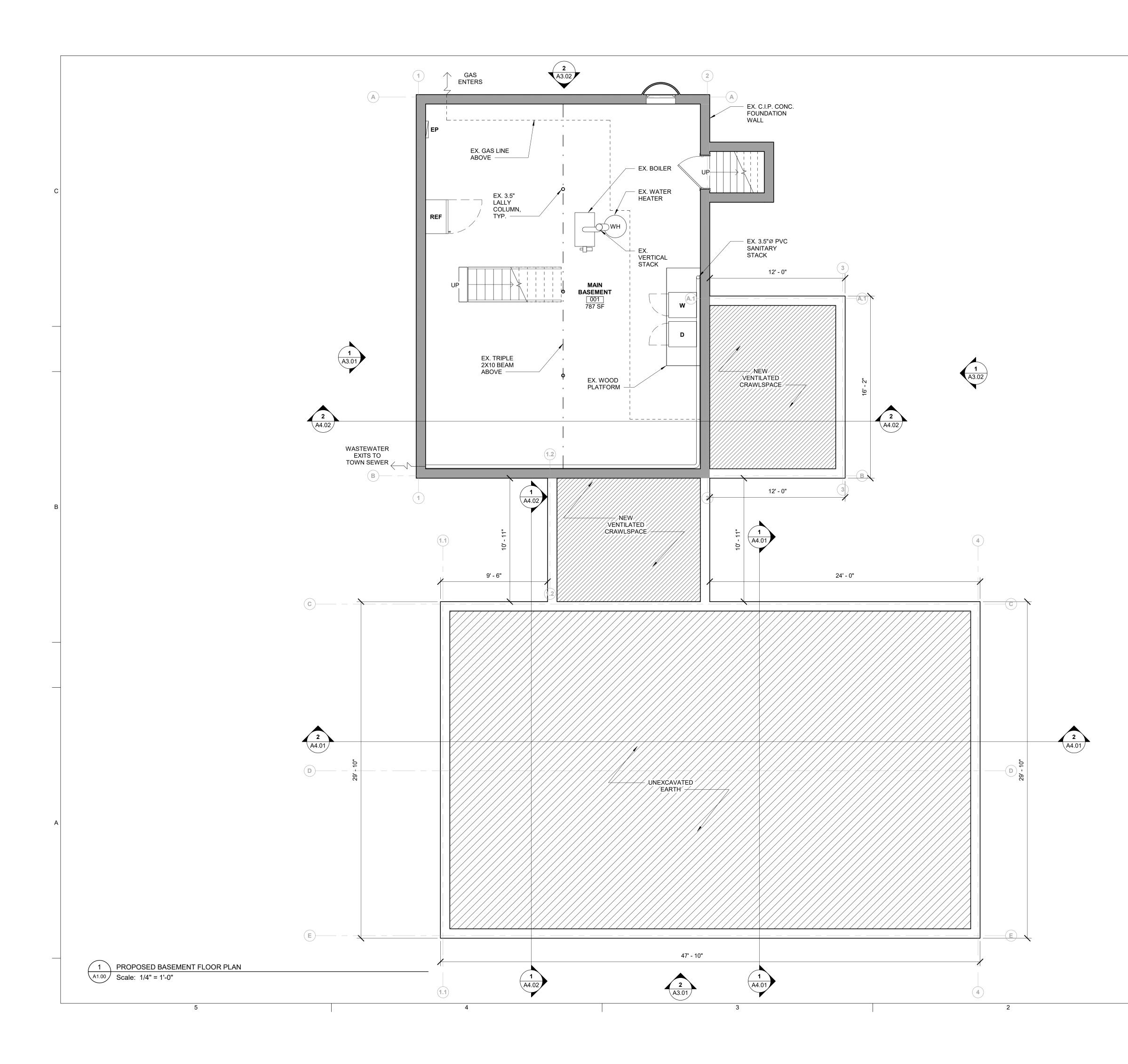


GENERAL NOTES ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF 2021 SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) • CONTRACTOR TO VERIFY ALL DIMENSIONS PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING 39 State St Unit 1N Bristol, RI 401.203.3191 info@pacific-visions.com Pacific-Visions.com 3 ©2025 Pacific-Visions Studio LLC EX3.0 PROJECT NUMBER: 250225 (2) EX4.01 1 EX4.01 DRIVE **B** BARBARA A SCHEMATIC DESIGN **ISSUED FOR : CLIENT REVIEW** NOT FOR CONSTRUCTION 26 JUNE 2025 SCHEMATIC DESIGN SET This drawing set is for review, pricing, and coordination and should not be used for construction or permitting. All structural members to be reviewed and sized by a structural engineer. **3** EX3.01 REVISIONS 2 EX4.01 NORTH ARROW 1 EX4.01 WALL TYPE LEGEND EXISTING FLOOR PLANS DRAWN BY: TM EXISTING CHECKED BY: PF —**B** SHEET SIZE: ARCH D 24" X 36" DEMOLISHED EX1.01 NEW CONSTRUCTION

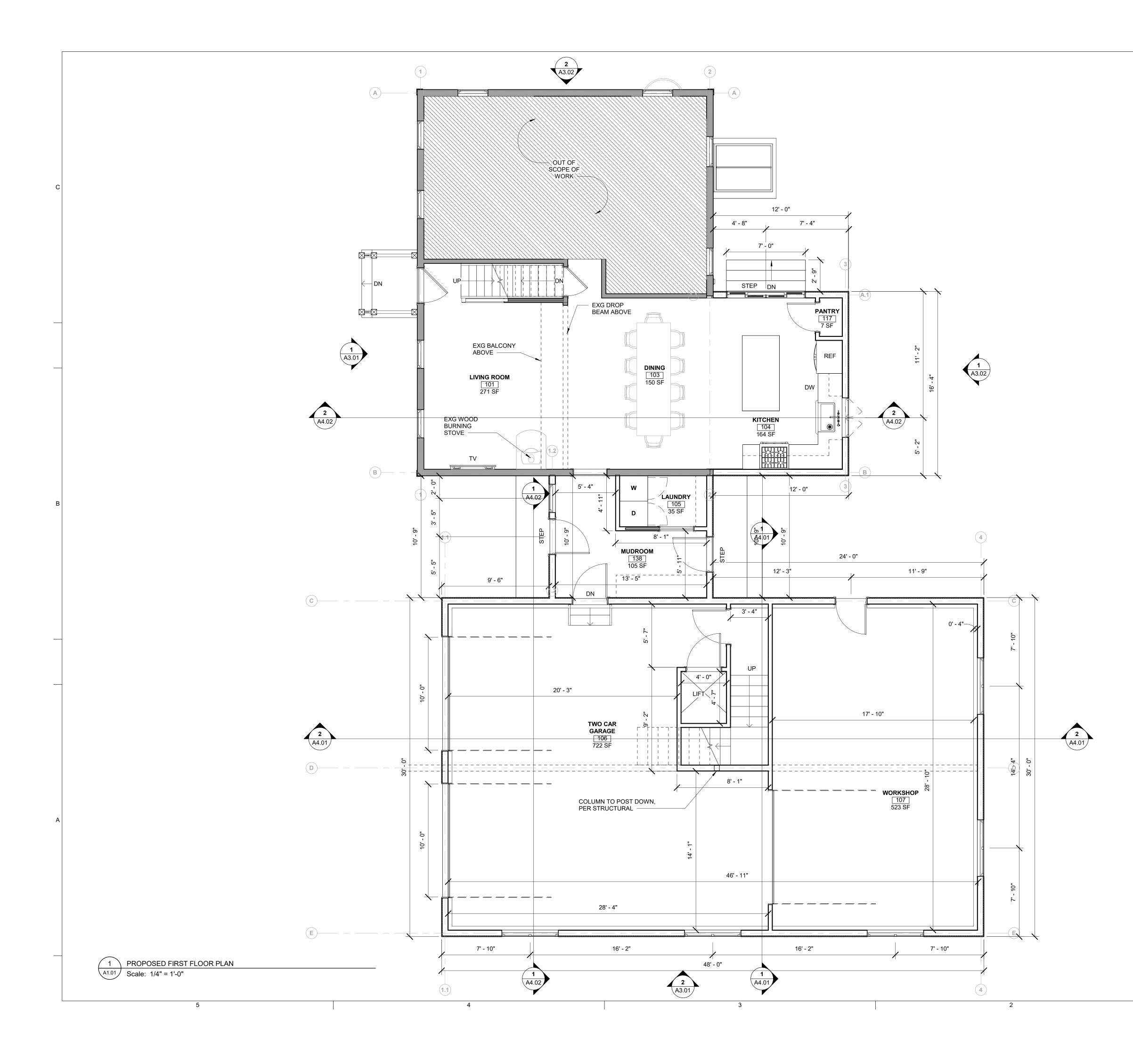


4

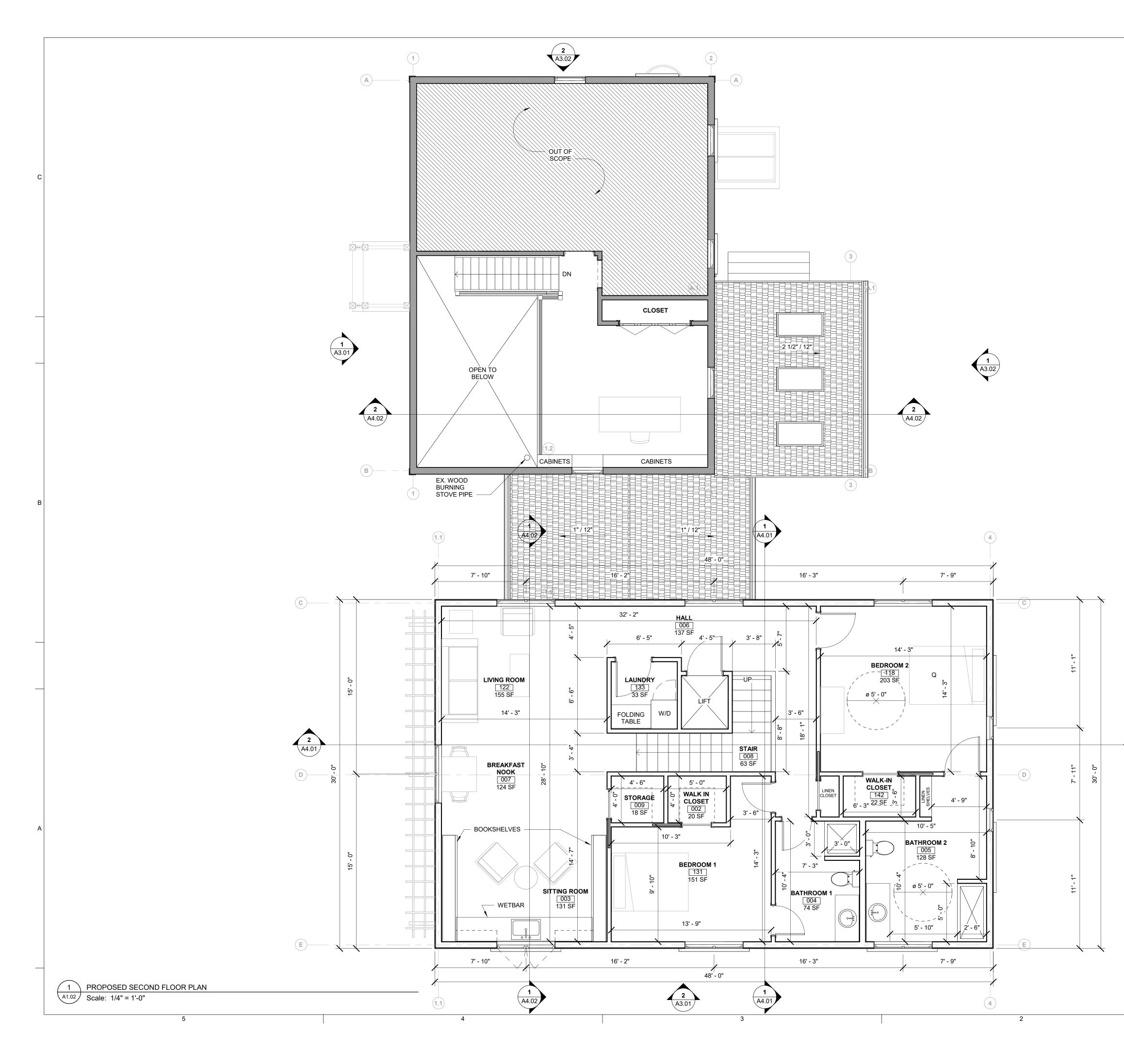




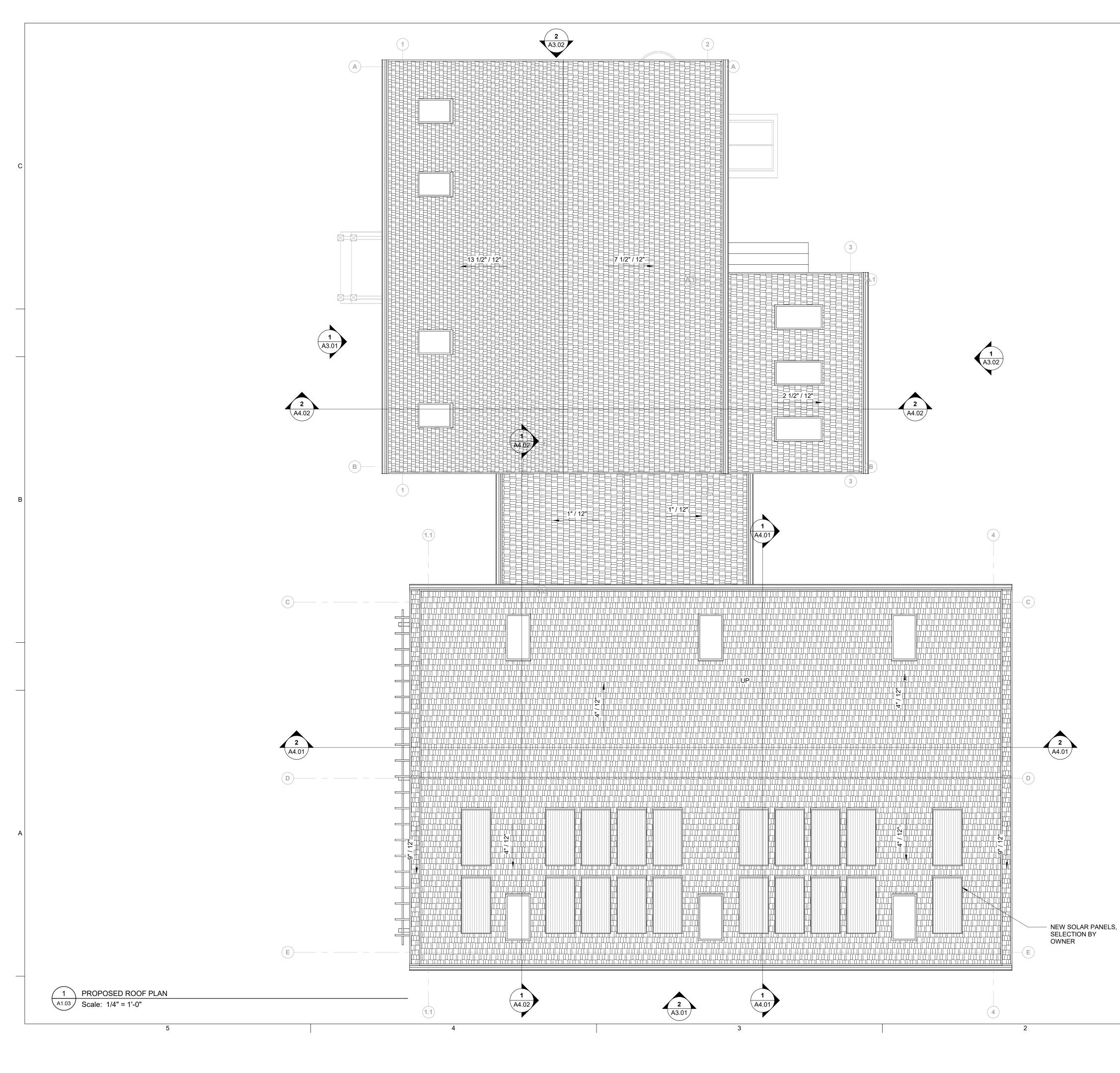
GENERAL NOTES	
ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER	
CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF 2021 SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)	
CONTRACTOR TO VERIFY ALL DIMENSIONS	PACIFIC-VISIONS STUDIO LLC
GENERAL SYMBOLS	ARCHITECTURAL DESIGN & CONSULTING 39 State St Unit 1N
PI PENDANT LIGHT FIXTURE PANEL RECESS ELECTRIC PANEL	Bristol, RI 401.203.3191 info@pacific-visions.com
RECESSED CAN DUPLEX	Pacific-Visions.com
EXHAUST FAN/LIGHT WP WATERPROOF COMBO, VENT TO DUPLEX EXTERIOR RECEPTACLE	©2025 Pacific-Visions Studio LLC PROJECT NUMBER: 250225
SCONCE LIGHT	
FIXTURE \downarrow^{SE1} EXTERIOR \downarrow^{SE1} EXTERIOR \downarrow^{SE1} SCONCE LIGHT \downarrow^{SE1} GFI DUPLEX \downarrow^{SE1} COUNTER HEIGHT \downarrow^{SE1} GFI DUPLEX \downarrow^{SE1} COUNTER HEIGHT	
+ FIXTURE RECEPTACLE \$ LIGHT SWITCH E ELECTRIC METER	
\$ ^D DIMMER LIGHT G GAS METER \$ ³ THREE WAY LIGHT CABLE JACK	
SWITCH	
	ITION AND RENOVATION FOR: BARBARA DRIVE RBARA DRIVE TOL, RHODE ISLAND 02809
	ADDITION AND RENOVATION FOR: 5 BARBARA DRIVE 5 BARBARA DRIVE BRISTOL, RHODE ISLAND 02809
	AR DRIV
	5 B BRISTOL
	SCHEMATIC DESIGN
	NOT FOR CONSTRUCTION 26 JUNE 2025
	SCHEMATIC
	DESIGN SET This drawing set is for review, pricing, and coordination and
	should not be used for construction or permitting. All structural members to be reviewed and sized by a
	structural engineer.
	REVISIONS
NORTH ARROW	
NORTHARROW	
W E	
s	
WALL TYPE LEGEND	BASEMENT FLOOR PLAN
EXISTING	DRAWN BY: TM CHECKED BY: PF
DEMOLISHED	CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"
NEW CONSTRUCTION	A1.00



GENERAL NOTES ALL LOAD BEARING AND STRUCTURAL ITEMS TO	
BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER	
 CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF 2021 SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 	
CONTRACTOR TO VERIFY ALL DIMENSIONS	PACIFIC-VISIONS STUDIO LLC
GENERAL SYMBOLS	ARCHITECTURAL DESIGN & CONSULTING 39 State St Unit 1N Bristol, RI
PENDANT LIGHT FIXTURE FIXTURE FIXTURE FIXTURE FIXTURE	401.203.3191 info@pacific-visions.com
C RECESSED CAN DUPLEX LIGHT RECEPTACLE	Pacific-Visions.com ©2025 Pacific-Visions Studio LLC
EXHAUST FAN/LIGHT WP WATERPROOF COMBO, VENT TO DUPLEX EXTERIOR RECEPTACLE	PROJECT NUMBER: 250225
SCONCE LIGHT	
SCONCE LIGHT COUNTER HEIGHT FIXTURE COUNTER HEIGHT GFI DUPLEX RECEPTACLE	
\$ LIGHT SWITCH E ELECTRIC METER	
S ^a DIMMER LIGHT SWITCH S ^a THREE WAY LIGHT SWITCH G GAS METER CABLE JACK	
SWITCH	
	ITION AND RENOVATION FOR: BARBARA DRIVE TOL, RHODE ISLAND 02809
	H H H H H H H H H H H H H H H H H H H
	ADDITION AND RENOVATION FOR: 5 BARBARA DRIVE 5 BARBARA DRIVE BRISTOL, RHODE ISLAND 02809
	ON AND BARA DR DL, RHOI
	BRISTO
	SCHEMATIC DESIGN
	ISSUED FOR : CLIENT REVIEW NOT FOR CONSTRUCTION
	26 JUNE 2025
	SCHEMATIC DESIGN SET
	This drawing set is for review, pricing, and coordination and should not be used for
	construction or permitting. All structural members to be reviewed and sized by a
	structural engineer.
	REVISIONS
NORTH ARROW	
N	
W	
S	
WALL TYPE LEGEND	FIRST FLOOR PLAN
EXISTING	DRAWN BY: TM
DEMOLISHED	CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"
	A1.01

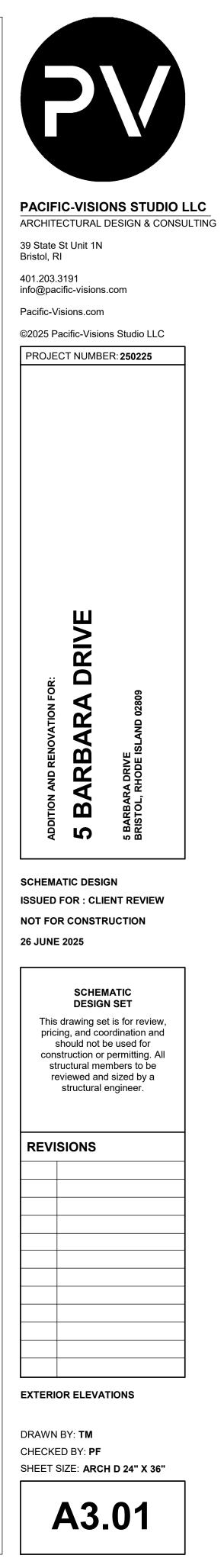


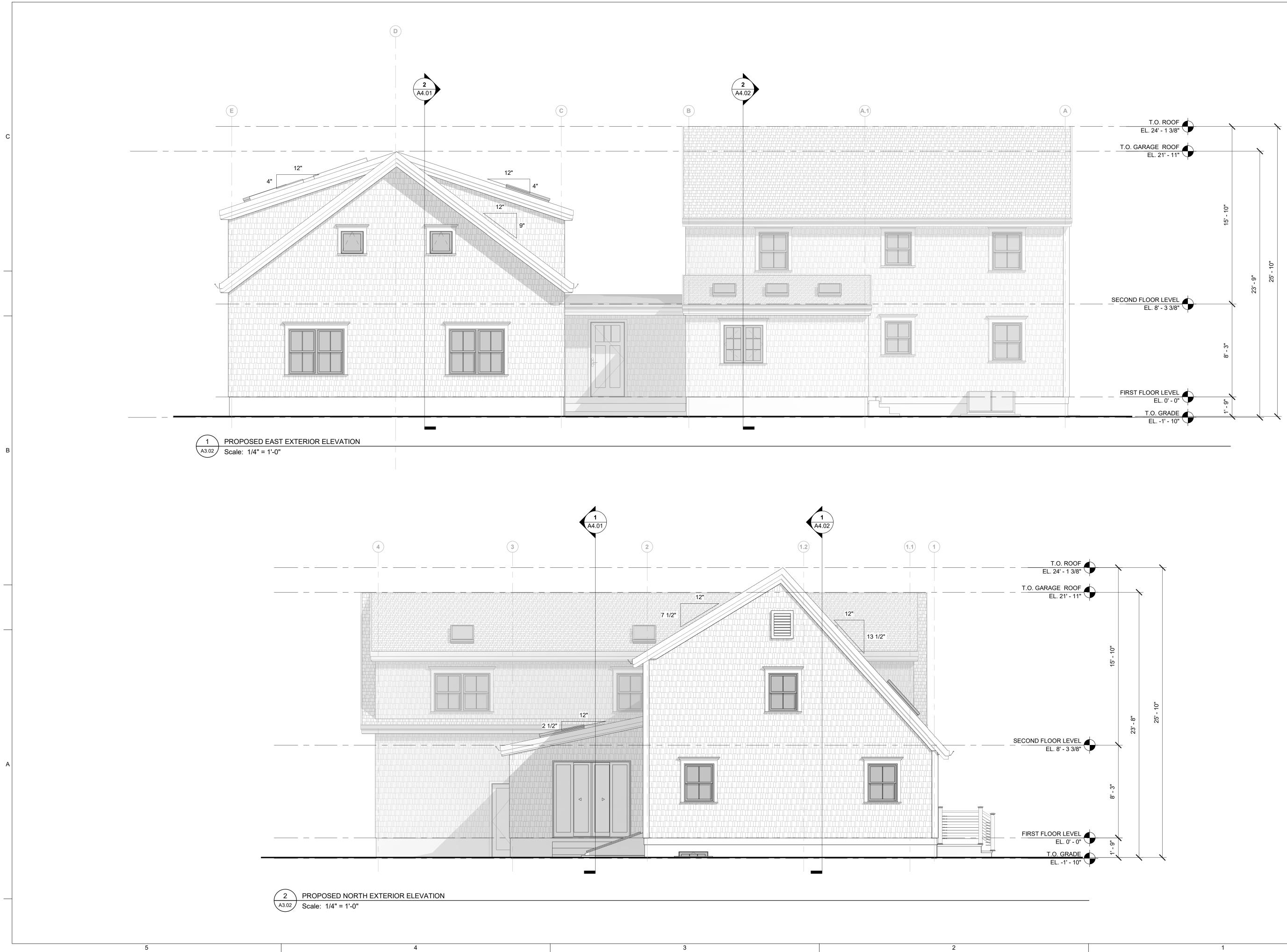
GENERAL NOTES	
ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER	
CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF 2021 SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)	
CONTRACTOR TO VERIFY ALL DIMENSIONS	
GENERAL SYMBOLS	PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING 39 State St Unit 1N Bristol, RI
PENDANT LIGHT FIXTURE EP RECESS ELECTRIC EP PANEL	401.203.3191 info@pacific-visions.com
Image: ConstructionRecessed can LIGHTImage: Duplex ReceptacleImage: ConstructionImage: Const	Pacific-Visions.com ©2025 Pacific-Visions Studio LLC
EXHAUST FAN/LIGHT WP WATERPROOF COMBO, VENT TO COMBO, VENT TO COMBOR RECEPTACLE	PROJECT NUMBER: 250225
Image: Signature BATHROOM GFI GFI DUPLEX Image: Sconce light Image: Sconce light Image: Sconce light Image: Fixture Fixture	
Image: set exterior sconce light fixture c Counter height gfi duplex receptacle	
\$ LIGHT SWITCH E ELECTRIC METER	
\$ ^D DIMMER LIGHT G GAS METER \$ ³ THREE WAY LIGHT CABLE JACK	
SWITCH	
	N AND RENOVATION FOR: ARBARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE ARA DRIVE
	ADDITION AND RENOVATION FOR: 5 BARBARA DRIVE BRISTOL, RHODE ISLAND 02809
	ADDITION AND RENOVATION FO 5 BARBARA DRIVE 5 BARBARA DRIVE 5 BARBARA DRIVE 5 BARBARA DRIVE
	ITION AN BAI TOL, RH
	ADDIT 5 BAR BRIST
	SCHEMATIC DESIGN
	ISSUED FOR : CLIENT REVIEW
	26 JUNE 2025
	SCHEMATIC DESIGN SET
	This drawing set is for review, pricing, and coordination and
	should not be used for construction or permitting. All structural members to be
	reviewed and sized by a structural engineer.
	REVISIONS
NORTH ARROW	
N	
W E	
S	
WALL TYPE LEGEND	SECOND FLOOR PLAN
EXISTING	DRAWN BY: TM CHECKED BY: PF SHEET SIZE: ABCH D 24" X 26"
\mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r} \mathbf{r}	SHEET SIZE: ARCH D 24" X 36"
DEMOLISHED	A1.02



GENERAL NOTES	
ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL	
 ENGINEER CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF 2021 SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY 	
 DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) CONTRACTOR TO VERIFY ALL DIMENSIONS 	
GENERAL SYMBOLS	PACIFIC-VISIONS STUDIO LLC ARCHITECTURAL DESIGN & CONSULTING
PI PENDANT LIGHT FIXTURE FIXTURE FIXTURE FIXTURE	39 State St Unit 1N Bristol, RI 401.203.3191 info@pacific-visions.com
RECESSED CAN CUPLEX	Pacific-Visions.com ©2025 Pacific-Visions Studio LLC
EXHAUST FAN/LIGHT WP WATERPROOF COMBO, VENT TO COMBO, VENT TO EXTERIOR RECEPTACLE	PROJECT NUMBER: 250225
H → S1 BATHROOM SCONCE LIGHT FIXTURE GFI DUPLEX RECEPTACLE	
Image: Seine sconce light COUNTER HEIGHT Image: Sconce light Image: Sconce light Image: Fixture Image: Sconce light	
\$ LIGHT SWITCH E ELECTRIC METER \$ ^D DIMMER LIGHT G GAS METER	
\$ ³ THREE WAY LIGHT CABLE JACK	
	Ш
	ITION AND RENOVATION FOR: BARBARA DRIVE STOL, RHODE ISLAND 02809
	TION FOR 0 02809
	ADDITION AND RENOVATION FOR: 5 BARBARA DRIVE 5 BARBARA DRIVE BRISTOL, RHODE ISLAND 02809
	NAND F ARADRI IL, RHOD
	ADDITIC 5 BARB BRISTO
	SCHEMATIC DESIGN
	ISSUED FOR : CLIENT REVIEW NOT FOR CONSTRUCTION 26 JUNE 2025
	SCHEMATIC DESIGN SET
	This drawing set is for review, pricing, and coordination and should not be used for
	construction or permitting. All structural members to be reviewed and sized by a structural engineer.
	REVISIONS
NORTH ARROW	
W E	
S	
WALL TYPE LEGEND	ROOF PLAN
EXISTING	DRAWN BY: TM CHECKED BY: PF
	CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"
NEW CONSTRUCTION	A1.03











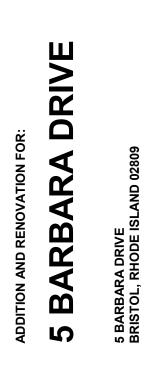
39 State St Unit 1N Bristol, RI

401.203.3191 info@pacific-visions.com

Pacific-Visions.com

©2025 Pacific-Visions Studio LLC

PROJECT NUMBER: 250225



SCHEMATIC DESIGN

ISSUED FOR : CLIENT REVIEW NOT FOR CONSTRUCTION 26 JUNE 2025

SCHEMATIC DESIGN SET

This drawing set is for review, pricing, and coordination and should not be used for construction or permitting. All structural members to be reviewed and sized by a structural engineer.

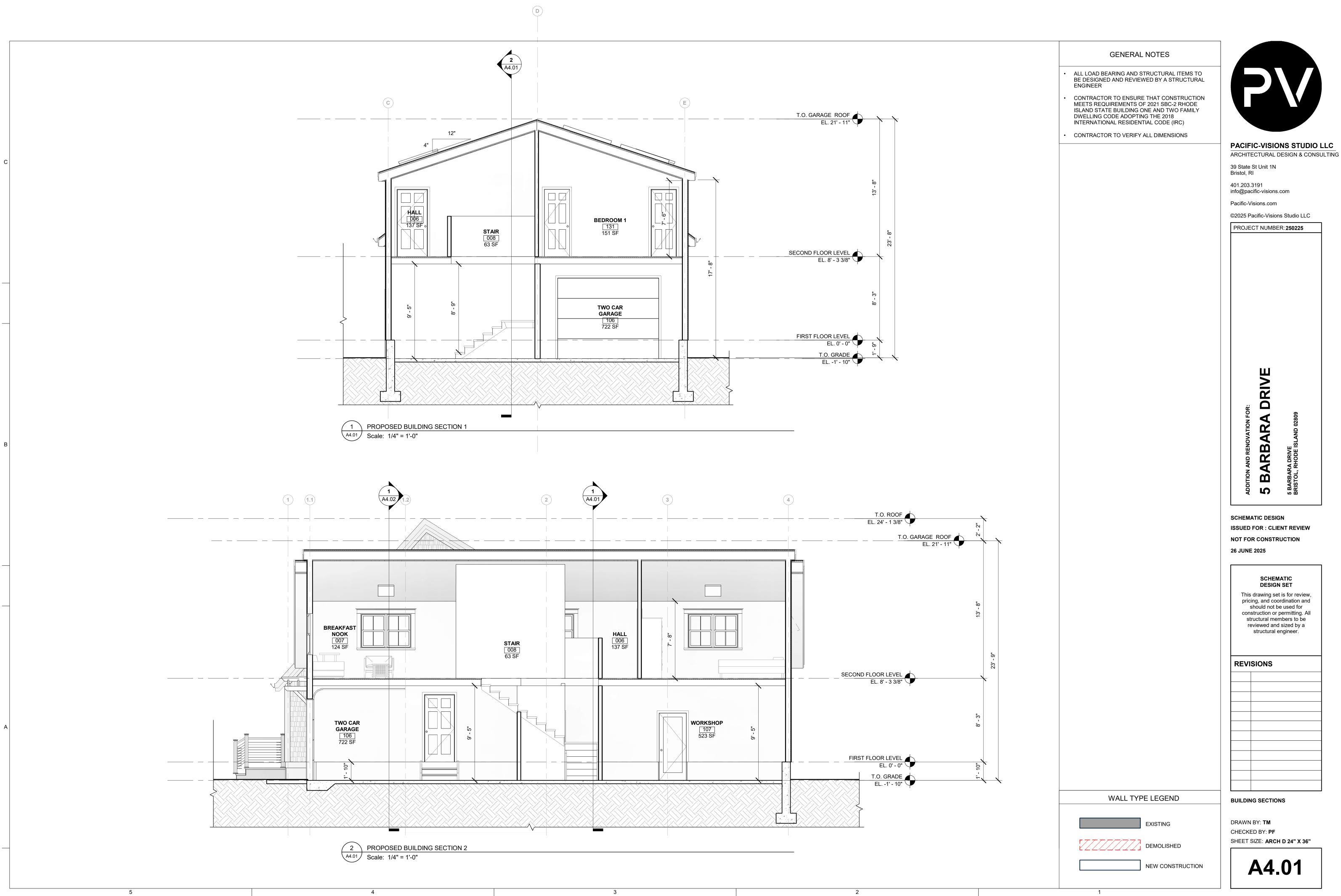
REVISIONS

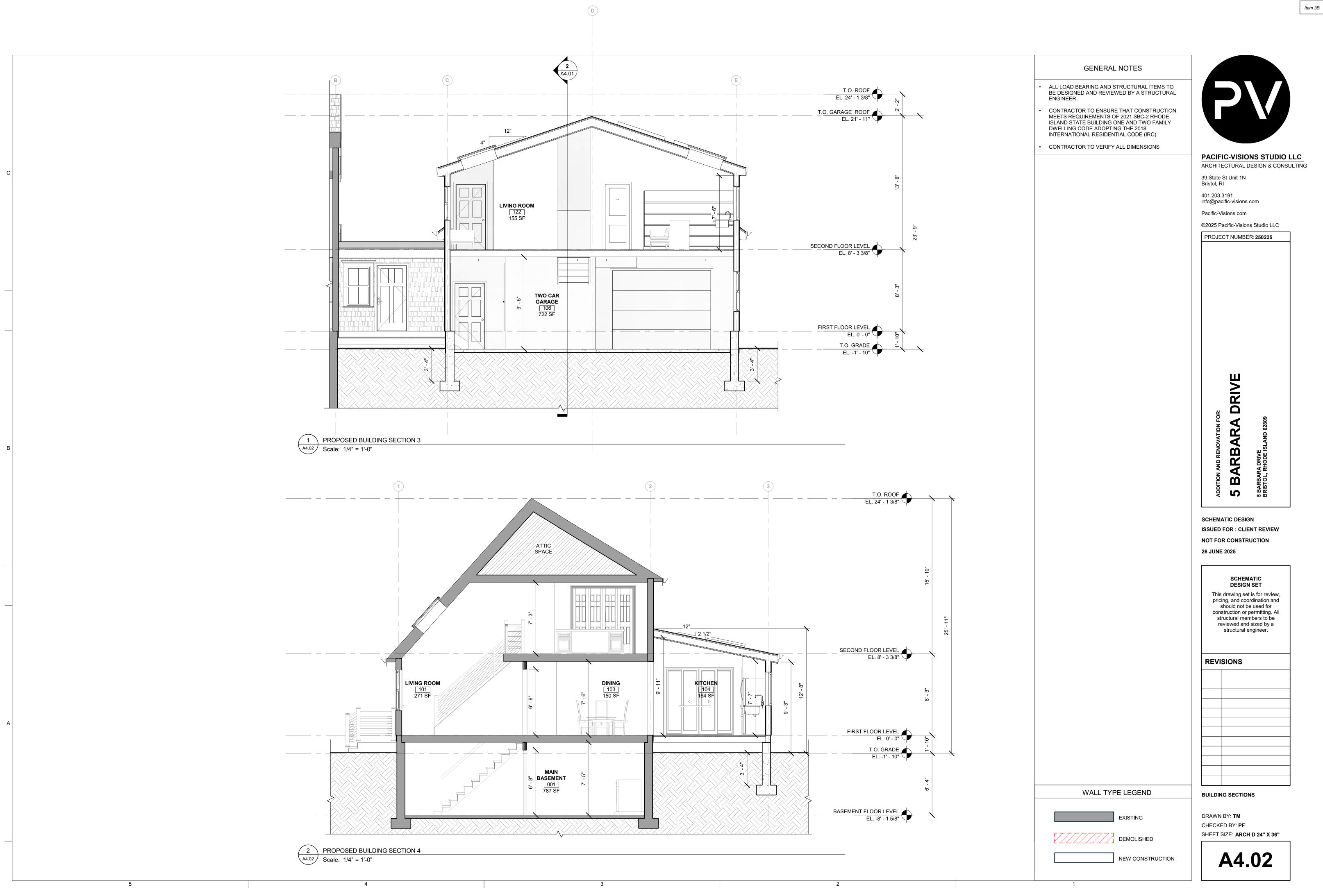
EXTERIOR ELEVATIONS

DRAWN BY: **TM**

CHECKED BY: PF SHEET SIZE: ARCH D 24" X 36"







Bristol Zoning Board,

My name is Scott Davis of 5 Barbara Dr, Bristol. I am writing to explain my request for a dimensional variance of 4' 6" on the side yard setback and impress upon you the importance of granting it.

FOWN OF BRISTOL

Considering the guidance of the zoning board, I have reduced the footprint of the building, removed the kitchen, and lowered the roof by 4' of the proposed addition to make it less obtrusive to the neighborhood. The small balcony on the rear of the building has also been removed to allow our neighbors more privacy.

Speaking with my parents, they cook for themselves less as they age and a simple wet bar to prepare coffee in the morning would be sufficient for their needs. With the kitchen removed, variances for and ADU are no longer required as the proposed becomes a simple addition.

I have also moved the addition forward to not violate the rear setback and reduced the width of the addition by 1'2" to decrease the amount of dimensional relief required on side yard setback. Discussing with our architects, this is the maximum they feel comfortable reducing and still allowing for handicap accessibility in the garage.

My parents, Pam and Guy Davis, are residents of Lincoln, RI and have begun to feel the strain of maintaining a household as they age. My father, who is 87, has begun to have mobility issues and has suffered from complications due to prostate cancer. As his mobility has decreased, he has begun to fall more frequently, one incident left him in the hospital for 5 days. Last Christmas, my mother approached me and let me know the house in Lincoln was getting to be too much to handle. I set out to see what could be done to maintain independent living for them.

What I propose allows them to do just that. The design incorporates ADA recommendations, an elevator that will fit a wheelchair, 42" clearance around counters and furniture, we've allowed for generous sized bathrooms with curbless showers and grabrails, a garage with clearance enough to maneuver a wheelchair around parked cars and many more future proof designs. With all our accommodations considered, it has caused the footprint of the proposed building to expand but I feel it is required to allow them the comfortable and safe living they deserve with me just steps away to assist.

I have partnered with Pacific Visions architects, a Bristol firm with RWU alumni, to make sure the building is aesthetically pleasing, fits with Bristol/New England design, and assures it is a welcome addition to our beautiful neighborhood. Materials will be chosen purposefully (i.e cedar shake siding) to further allow the building to seamlessly blend with the surrounding homes. My parents are thrilled at the thought of becoming Bristol residence.

Thank you in advance for your thoughtful consideration.

Scott M Davis

5 Brabara Dr

Bristol, RI 02809

401-487-6306

Drawing Revisions Notes

- Kitchen removed and replaced by wet bar and reading room/study thus removing ADU classification.
- Addition moved forward on the lot so as not to violate rear setback
- Moved addition away from neighbor at 8 Barbara by 1'2". Original drawing distance from lot line was 14'4", revised drawing is 15'6"
- Removed rear balcony for increased neighbor privacy
- Roof height decreased 4' to make the addition less obtrusive and fit in with the neighborhood better. Revised dimensions will mirror the street view of neighbor at 6 barbara dr.



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809 Telephone: (401) 253-7000 <u>www.bristolri.gov</u>

June 24, 2025 File #: ZBR-25-20

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review that a Public Hearing will be held in-person at: Bristol Town Hall 10 Court Street, Bristol, RI 02809 July 14, 2025 at 7:00 P.M.

In regards to the petition of:

Applicant: John Marshall
 Owner of Record: JM Bristol, LLC
 Location: 8 CONSTITUTION ST , BRISTOL, RI, 02809
 Plat: 11 Lot: 20
 Zoning District: R-6

Applicant is requesting **Dimensional Variance** under the Zoning Ordinance as follows:

to construct a second-story living area addition, and 5ft. x 18ft. front porch and 3.5ft. x 14ft. rear balcony/deck additions, to an existing single-family dwelling with greater than permitted lot coverage by structures

Elel M. Jon

Edward M. Tanner Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <u>https://bristol-ri.municodemeetings.com/</u>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to <u>etanner@bristolri.gov</u>.



Zoning Board of Review Application Town of Bristol

Record ID: ZBR-25-20

8 Constitution St 11 20

May 21, 2025

Applicant	
Name of Applicant	John Marshall
Who is Submitting this Application	Owner
which's Submitting this Application	If other, Describe:
Owner's Name (If Different than Applicant)	

Location for Application			
Property Type	Both		
Zoning District	R-6		
Address, Plat, Lot	Address	Plat	Lot
	8 Constitution St	11	20

Type of Application		
Application Type Dimensional Variance		
Proposed	Addition	
	If other, Detail: lot coverage	
New Building Type		
	If other, Detail:	

Size of Proposed Building(s)/Addition(s) (If	applicable)	
Total Square Footage	1 feet	
Width in Feet	0 feet	
Length in Feet	0 feet	
Height Above Grade	0 feet	
Number of Stories	1	

Setbacks		
Front Yard in Feet	1.5 feet	
Rear Yard in Feet	7 feet	
Left Side Yard in Feet	4.7 feet	
Right Side Yard in Feet	14 feet	
Height in Feet	26.5 feet	

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

Dimensional Variance for lot coverage.

Describe the extent of the proposed alterations and the reasons for the requesting relief

second floor addition ,porch and deck. maximum lot coverage is 46.4% the existing lot coverage is 54.5% we are proposing lowering the coverage to 53.3% .

Existing Lot Specifications

6/23/25, 2:45 PM	about:blank	Item 4A
Current Use of Premises	Residential	
	If other, explain:	
Number of Units		
Lot Area	2,720	
Lot Frontage	40	
Lot Depth	68	

Existing Buildings & Structures		
Structure: Primary Residence	Square Footage: 850	Building/Structure Detail if Other: garage

8 Constitution Street, Bristol RI. 02809

Dear Members of the Zoning Board,

I am writing to formally request a variance for the expansion of our current home at 8 Constitution Street. The work consists of a total renovation of the existing first floor, adding a second floor, adding to the width of the front porch along with a new second floor deck with no cover at the rear of the premises. New siding and trim to round out the project.

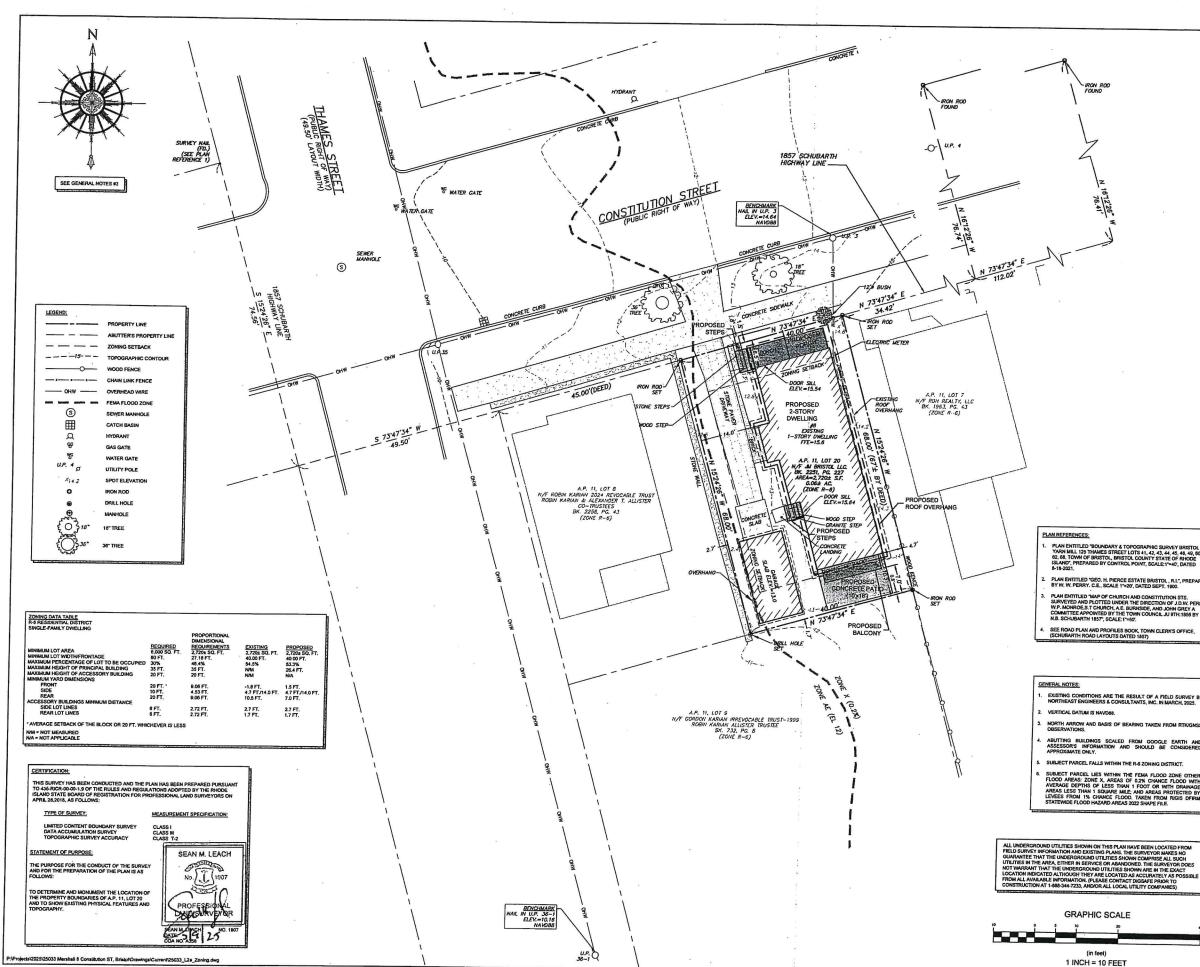
The dimensional variance we seek is for lot coverage, as the proportional dimensional requirements is 46.4% of the lot. The existing coverage is 54.5% and the proposed coverage would be 53.3% of the lot per our zoning plan survey created by NE&C engineering. We fully understand the importance of maintaining the aesthetic and integrity of the neighborhood. We also have the approval from the Historical commission for this project.

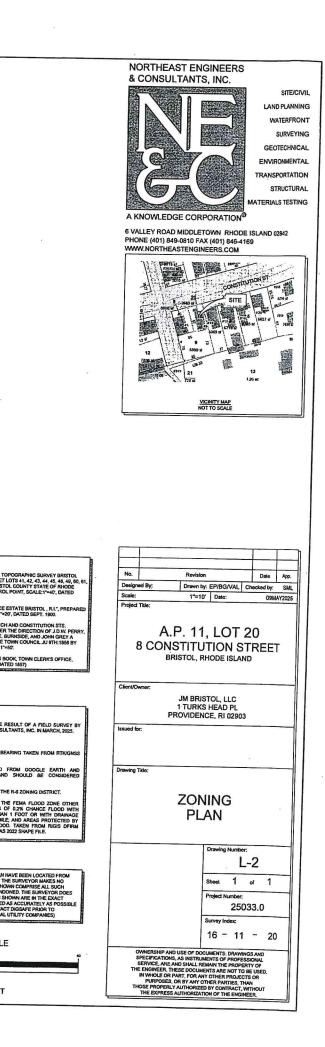
Thank you in advance, for your cooperation in this matter.

John Marsha

Plat/Lot 011-0020-000	Account: 648	LUC 01	Zone R-6	Assessment	ment	\$4		ENT INGAGING CITIZENS
Owner Owner Account #: 50-0058-44	nt #: 50-0058-44	Previc	Previous Owners & Sal	Sales Information				
Owner 1 JM BRISTOL LLC	% Owned				Date	Sale Price	Leg Ref NAL	VL Type
Owner 2 C/O DARROW EVERETT LLP		HALSEY PR	HALSEY PROPERTIES, LLC	10	07/25/2024	300,000		
	 In the second sec	HERRESHO	HERRESHOFF, HALSEY C	ð	06/17/2019	0	1985-200	a
Owner 3 Address 1 THRKS HEAD PI 13TH EL PROVIDENCE PI 02003		HERRESHO	HERRESHOFF, HALSEY C,	ŏ	06/13/1979	0	226-214	a
		CHURCH, ELIZABETH	сникси, педеман W. (SUKV) СНИКСН, ELIZABETH	56	06/13/1979 01/01/1977	• •	226-212 UNK-	≥ □
Assessment Use Code Bldg Value Land Size L	Land Value AG Credit Assessed Value		ous Assessmen Building	Its SF/YI Land Size	Land	AGR Credit	Annraised Value	Assessed Value
01 193,000 3,000 0.06	277,200 0 473,200	2024	133,400		231,000	0	367,400	367,400
TOTAL 193,000 3,000 0.06	277,200 0 473,200	2023			231,000	0	367,400	367,400
		2022 01	133,400 3, 98 500 3	3,000 0	231,000	0	367,400	367,400
					000 000	5 0	323,500	323,500
Source > Mkt Adj Cost VAL per SQ Unit/Card >	254.96 VAL per SQ Unit/Parcel >				222,000	o o	323,500 323,500	323,500 323,500
		2025	8	9 9 9 7	6872)	100 BMT 1100	EFP 30 (10) CONST	CONSTITUTION ST
Land Information Use Description Units Unit Type Land Type LT Fact 01 NR Single 1 0.06152 AC P 1.00	Unit Price	Neigh	Inf 1 Inf 1% Inf 2	Inf 2 % Inf 3	Inf 3 %	Appr Value	Spec Land Juris Far	Use
						002,772		8
Although The Fig. 1. In the state of the sta	ารการการการการการการการการการการการการกา		and service a state of the service o		2. Second for reservice second screen second	an analysis of the second second second		

			Account: 648	040			Zone K-6		D Ass	Assessment		\$473,200	\$473,200 ADAMENTE CONTRIBUTING CITIZENS
 Building Information 	ation		Grade		A	Other Factors	ors	Sul	 Sub-Area Detail 	lie			
Description	L	Description	Grade	Q4 Q4		Flood Hazard		Code	Description	Area	Fin. Area	Rate Undep Val	
BLDG Type Cottage	Story Height	1 Story	Year Built	1910 EFF Year	000		PAVED	FFL	1st FLOOR RASEMENT	883 644	883	318.90 281,589	Date Result
RES Units 1	COM Units	0				Traffic			CRAWL SPACE				8 8/9/2021 REVIEW MP
Foundation Concrete	BMT Floor	Concrete		clation		Ciro Adi	00.622	CFP CFP	CDEN PORCH	98	0 0	36.00 360	11/26/2018
Frame 1 Wood	Frame 2	%		<u>م</u>	Ę	ပိ	1.01			1,856		1,320 316,837	
EXT Wall 1 Wood Shngl	III EXT Wall 2	%	Condition	FR FR-Fair	ir 43.8		318.90						
Roof Type 1 Hip	Roof Type 2	%	Functional	•	0.0	ð	26,500						
Roof Cover 1 Asphalt Shi	Asphalt Shir Roof Cover 2	%	Economic	•	0.0	Ť	1.00	•	-				2/29/2008 CALL BACK MP
INT Wall 1 Plaster	INT Wall 2	%	Special		0.0	I and Factor	1.00						
Floors 1 Hardwood	Floors 2	%	NO			Adj Total	343.337	-					
BMT Garages	Color					Depreciation		Notes	tes				
Plumbing	Electrical		F	Total Depreciation %	% > 43.8	Depr Total	192,955	reshing	reshingled roof to code 9-17-13 mcb	e 9-17-13 mcł	•		
	INT vs EXT		Remo	Remodeling History		Condo Data	ctc[
# Hoot Sue	Meat lype	BB Hot Water	Additions	Plumbing,	• (1)	Complex	212						
% Solar HW	% AIC	001	Interior	Electric		Location Tot Ilnite							
% COM Wall	% Vacuum		Exterior	Heating		FL Level							
Ceil HGHT	Ceiling Type	A CONTRACTOR OF A CONTRACTOR O	Kitchen	General		# Floors	0						
Parking Type	% Sprinkled		Daui(S)			Bldg Seq	1						
EXT View			► Build	 Building Permits 	die .								
Quantity		Quality	1 09/1	19345 Date 747-15-M		11/11/2015 MECU	ype Est. Cost	ost % Done	one Status	Description/Directions	/Direction	۵ ۵	
Full Bath 1	r-	Typical	2 09/1							REPLACE OIL FIRED BOILER	FIRED BOI	LER	
Ext Full Bath			3 06/1	06/18/2013 B26284		BLDG		100		RESHINGLE F	ROOF TO CO	RESHINGLE ROOF TO CODEAPPROVED BY BHDC	BHDC
Half Bath			4										
Ext Half Bath			ں م		and strategies where								en din - y - Starra BLAN - Andreas - 14 Starrawert A
Ext Fixtures			7										
Kitchens 1		Typical	8										
Ext Kitchens	and a second sec		đ										
Fireplaces	-	letter and the second second second		0									
W.S. Flues 1		Typical	Use	Use Description	A Y/S Qty	ems Qty Length	gth Width	SF Size	Quality	Condition Year		Assessed Value	 Other Into.
Poom Counte his Floor	w Elece		1	Garage	۲ ۲	_			0 3	R		3,000	AFDU
Units # Rooms	# Bedroome	Floor Loud	7 6										ortTermRental
			> 4										PriorID1c
	4	D	S										PriorID2a
3			6										PriorID2c
4		and a second sec	8										PriorID3a
Totals 1 E	ſ		σ ç										PriorID3b
4	7		2										PriorID3c.







GENERAL NOTES:

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE POUR ULTIMATE STRENGTH OF 3000 PSI @ 28 DAYS. PROVIDE TOTAL AIR ENTRAINED OF 6%(+/-) FOR ALL CONCRETE EXPOSED WEATHER. MAXIMUM WATER/CEMENT RATIO W/C=.45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).

2. CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS: FOOTINGS - 3 INCHES FOUNDATION WALLS - 2 INCHES

3. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185.

4. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F.

5. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUB GRADE CONTAINING FREE WATER, FROST, ICE OR MUD.

6. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS, EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.

7. ALL MASONRY WORK SHALL CONFORM TO NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).

8. ALL MORTAR SHALL BE TYPE M OR S.

9. GROUT SHALL BE INSTALLED IN 4 FOOT LIFTS AND CONSOLIDATED WITH 10 MINUTES OF PLACEMENT. SUCCEEDING LIFTS SHALL FOLLOW AFTER WAITING 15 OR 60 MINUTES TO ALLOW FOR SETTLEMENT AND ABSORPTION OF EXCESS WATER.

10. JOINT REINFORCING SHALL CONFORM TO ASTM A85.

11. NAILING SHALL CONFORM TO TABLE 2305.2 OF RHODE ISLAND STATE BUILDING CODE.

12. STRUCTURAL LUMBER SHALL BE HEMFIR#1 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.

13. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL AUULDING INSPECTIONS DEPARTMENT AND THE IRC 2012 CODE AND/OR ANY APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION AT THE PROJECT SITE.

14. ALL MECHANICAL, PLUMBING AND ELECTRICAL TRADE WORK WILL BE DESIGN BUILD AND MUST BE COORDINATED WITH STRUCTURAL WORK PRIOR TO CONSTRUCTION, ANY DISCREPANCY MUST BE REPORTED TO THE OWNER IMMEDIATELY.

15. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.

16. CONTRACTOR SHALL SHORE, BRACE, OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES, AND COORDINATE THE STRUCTURAL WORK AND BUILDING WORK REQUIRED FOR THE CONSTRUCTION PHASES FOR SMOOTH TRANSITION OF WORK

17. SITE GRADING TO BE FIELD DETERMINED. PROVIDE MINIMUM POSITIVE DRAINAGE AWAY FROM FOUNDATION WALL.

18. CONFIRM QUANTITY, TYPE AND LOCATION OF SMOKE DETECTORS WITH LOCAL FIRE OFFICIAL OR AUTHORITY HAVING JURISDICTION.

19. CONTRACTOR TO COORDINATE ALL INTERIOR FINISHES, DOOR STYLE, MATERIAL, TRIM, CASING, CLOSET ROD, SHELVING, FLOORING AND ACCESSORIES WITH OWNER.

20. ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE BUILDING CODES.

21. ALL ENGINEERED PRODUCTS SUCH AS JOISTS, BEAMS AND TRUSSES ARE DESIGNED AND SPECIFIED BY OTHERS. THE SUPPLIER SHALL PROVIDE THE BUILDING OFFICIAL ANY AND ALL DRAWINGS, CALCULATIONS AND OTHER REQUIRED INFORMATION TO COMPLETE THIS PROJECT.

22. THESE DRAWINGS WERE PREPARED WITH REASONABLE CARE HOWEVER, THE DESIGNER DOES NOT GUARANTEE AGAINST HUMAN ERROR, THEREFORE IT IS IMPERATIVE THAT THE CONTRACTORS CHECK ALL DIMENSIONS, DETAILS AND MUST VERIFY ALL CONDITIONS AND DIMENSIONS AT THE CONSTRUCTION SITE BEFORE ORDERING MATERIALS AND BEGINNING CONSTRUCTION.

23. CONTRACTOR WILL NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.

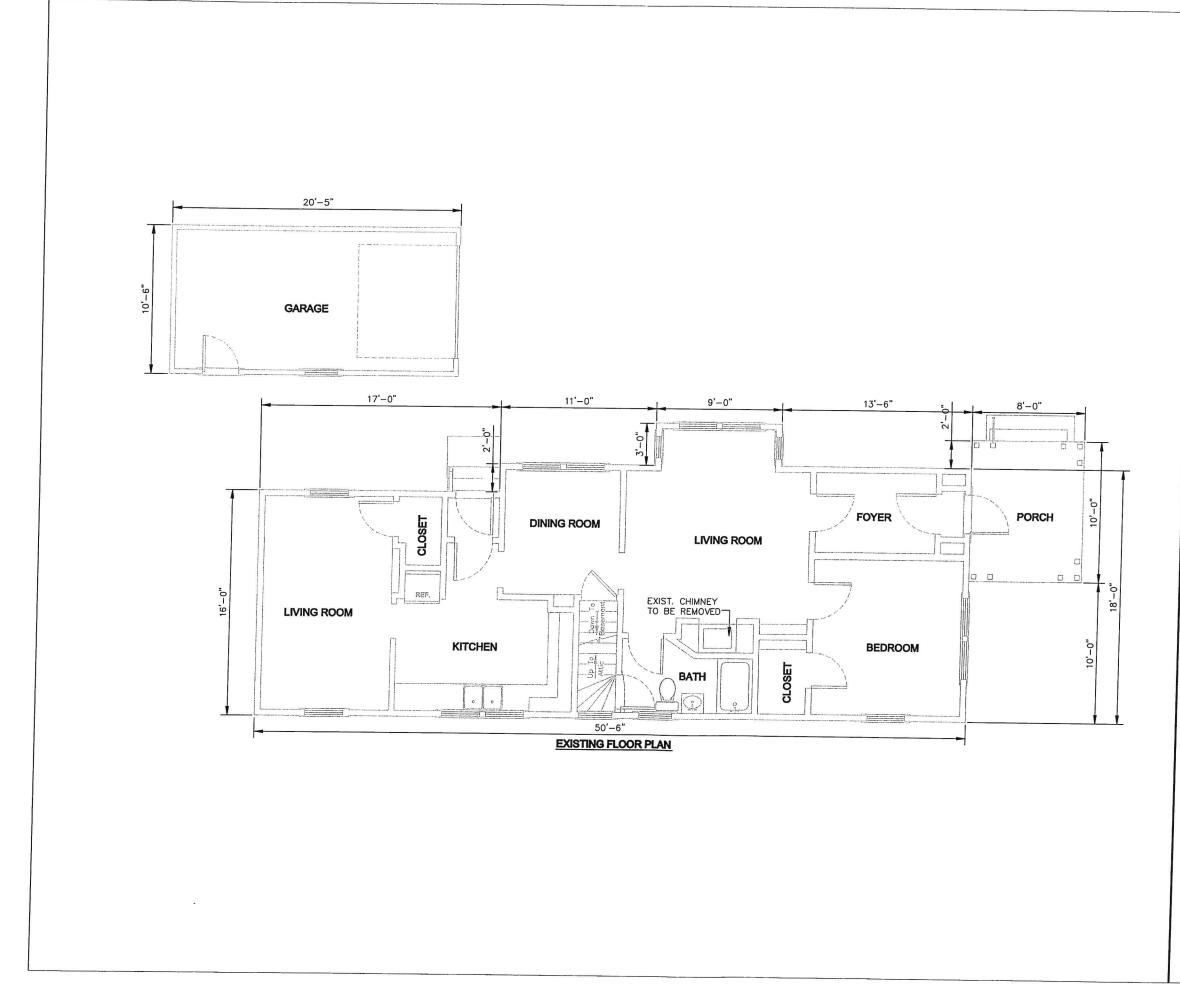
24. ANY DEVIATION FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER WOULD MAKE NULL AND VOID.

NOTIFY DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.

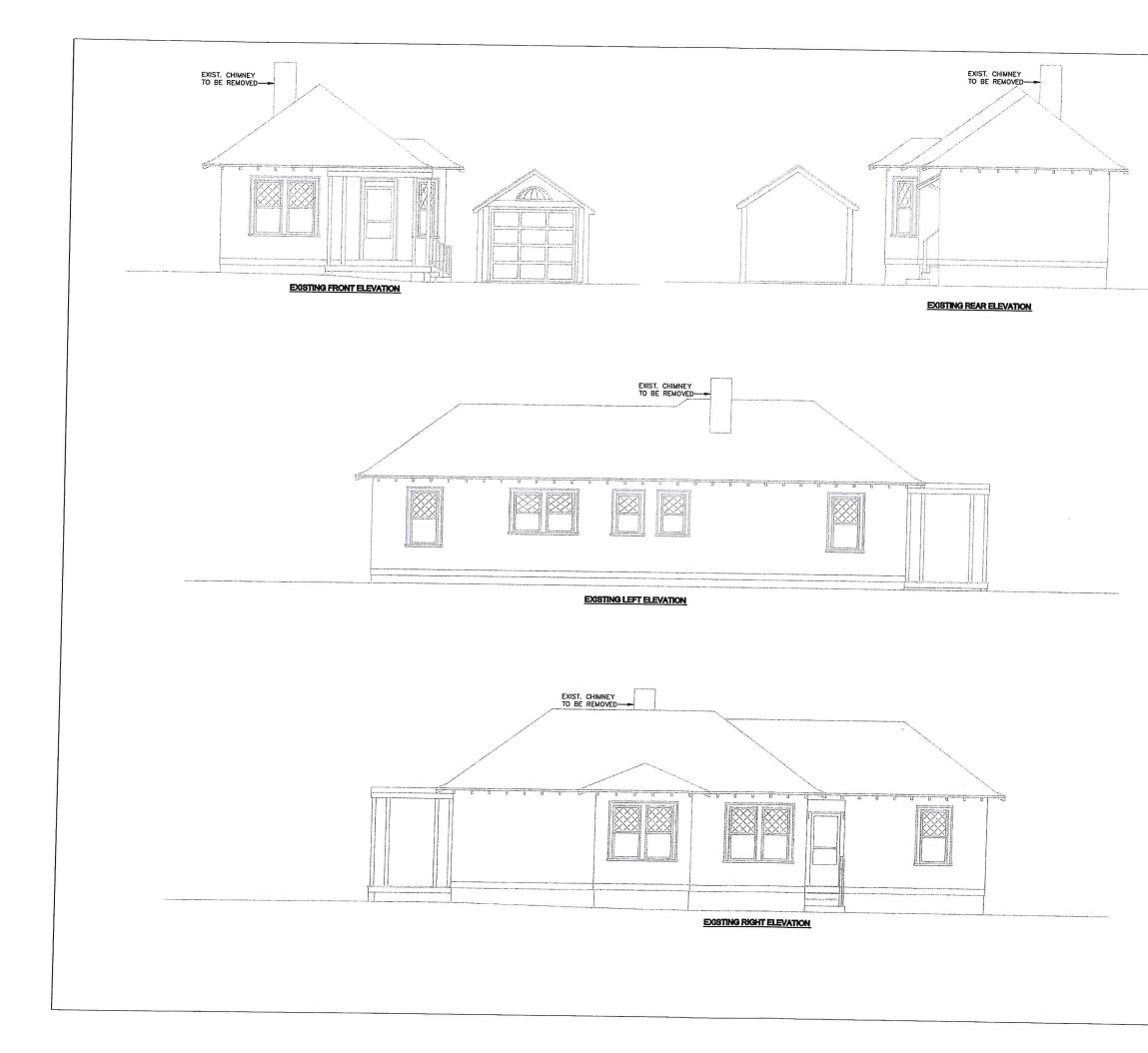
26. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.

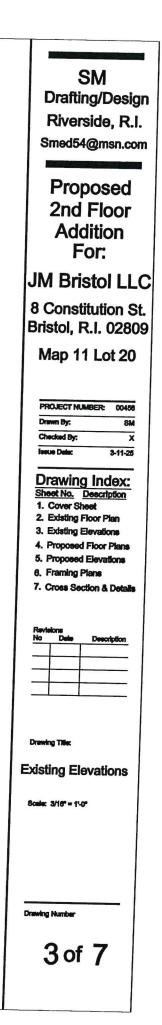
27. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-800-225-4977.

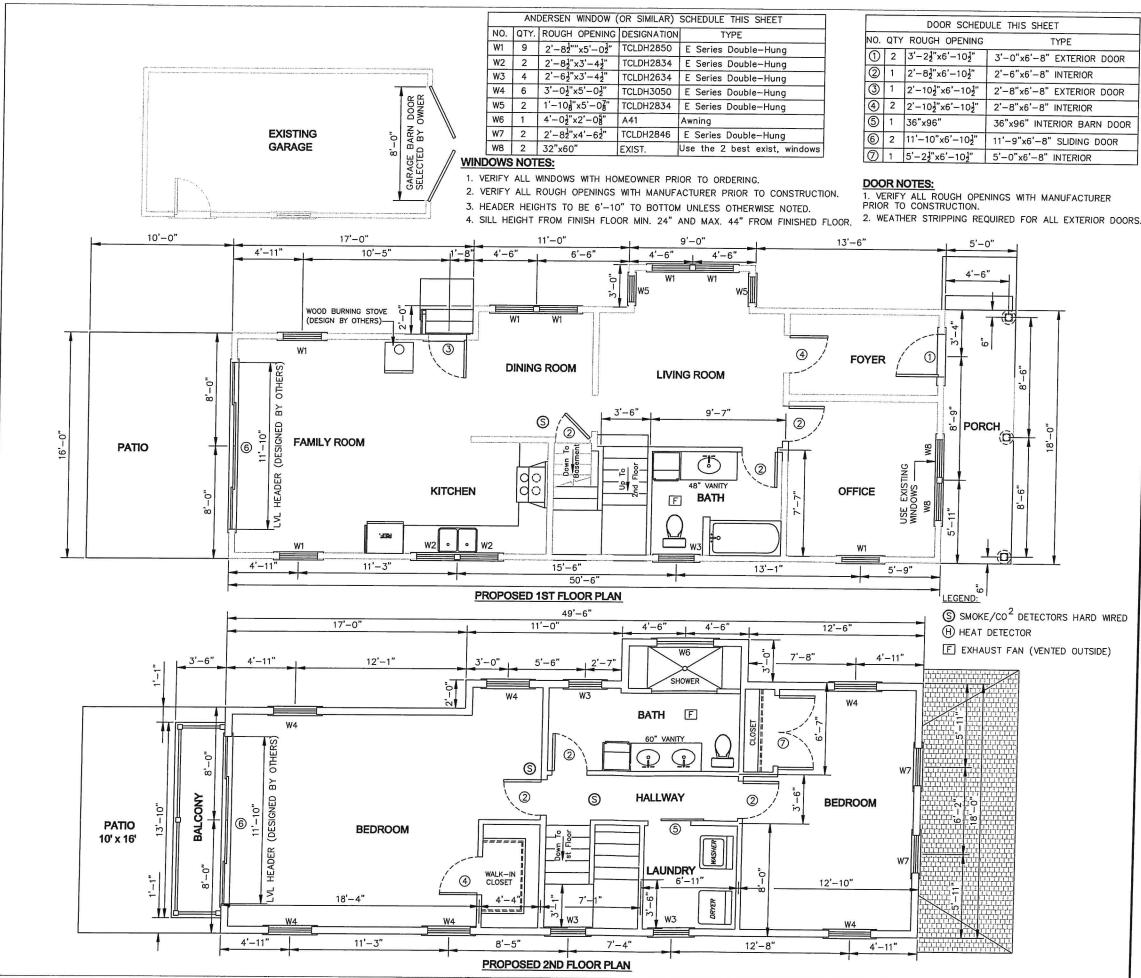










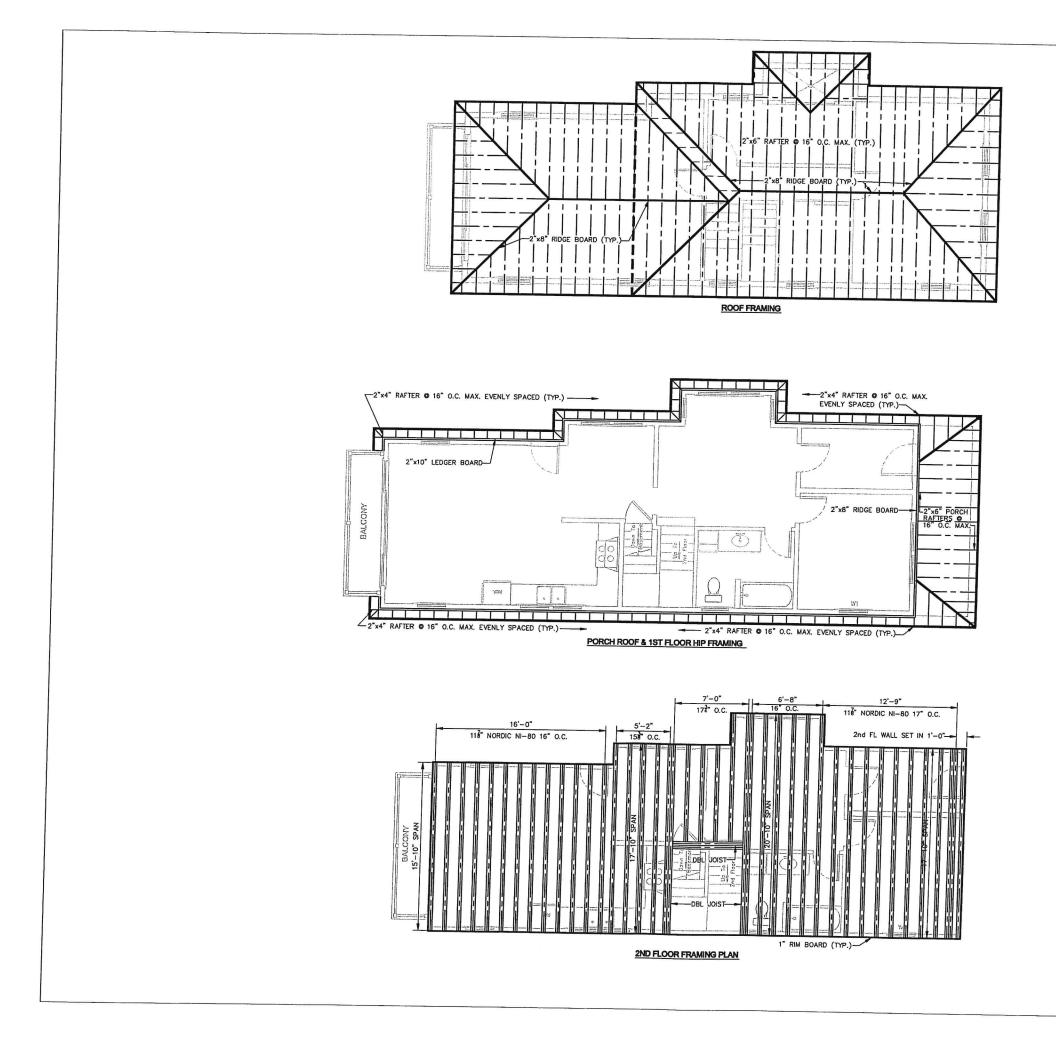


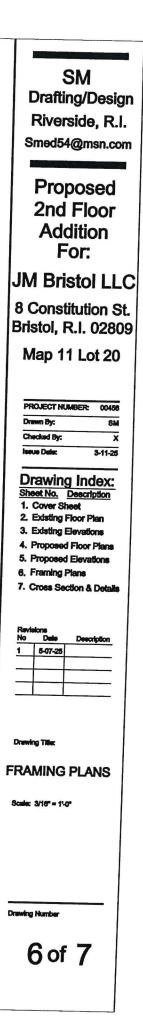
the state of the s
SHEET
TYPE
5'-8" EXTERIOR DOOR
5'-8" INTERIOR
5'-8" EXTERIOR DOOR
5'-8" INTERIOR
INTERIOR BARN DOOR
6'-8" SLIDING DOOR
5'-8" INTERIOR

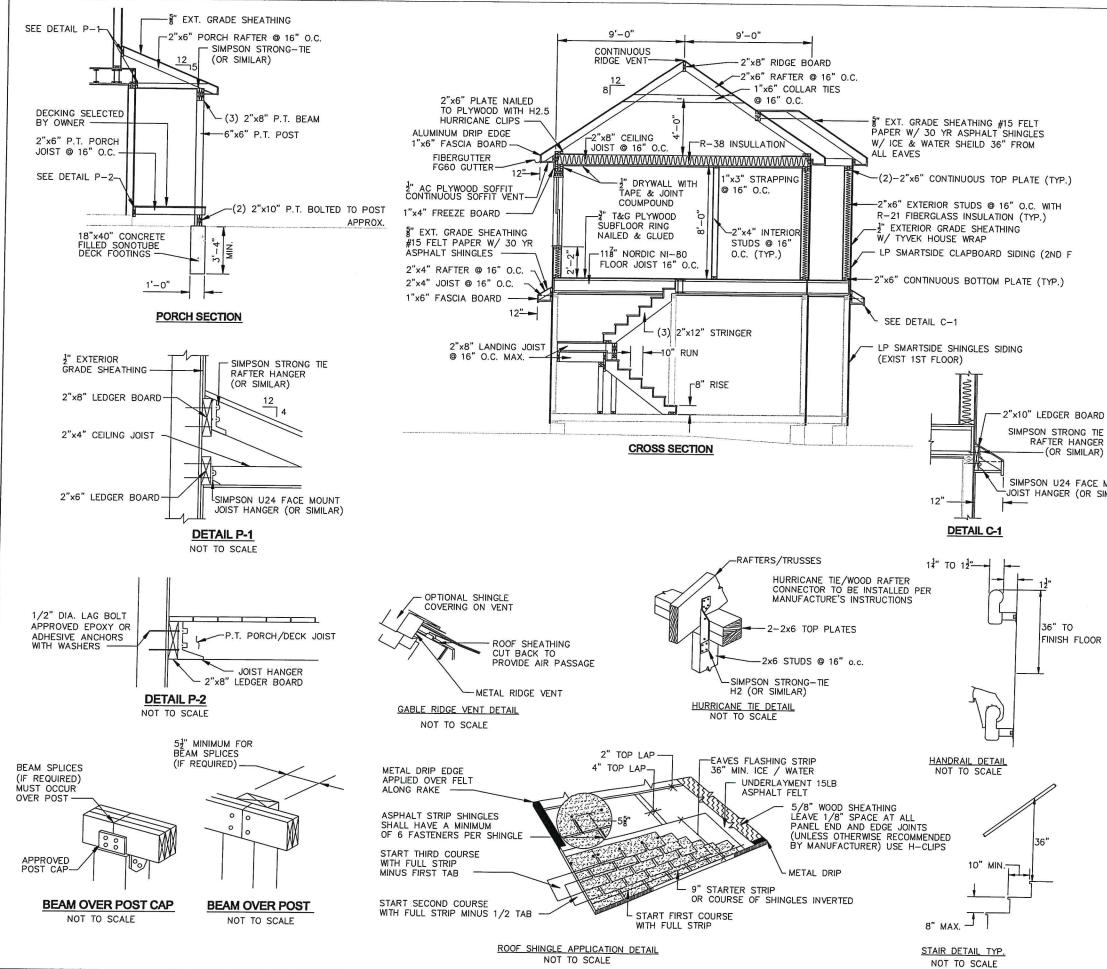




	SM Drafting/Design Riverside, R.I. Smed54@msn.com
GARAGE BARN DOOR SELECTED BY OWNER	Proposed 2nd Floor Addition For:
ENING	JM Bristol LLC
69" EXISTING OPENING	8 Constitution St. Bristol, R.I. 02809
	Map 11 Lot 20
	PROJECT NUMBER: 00426 Drawn By: SM Checked By: X Issue Date: 3-11-25 Drawing Index: Sheet No. Description 1. Cover Sheet 2. Edsting Floor Plan 3. Existing Elevations 4. Proposed Floor Plans 5. Proposed Elevations 6. Framing Plane 7. Cross Section & Details
	Revisions No Date Description 1 6-07-26
	Drawing Tille:
	Proposed Elevations
	Scale: 3/16" = 11.0"
	Drawing Number 5 of 7





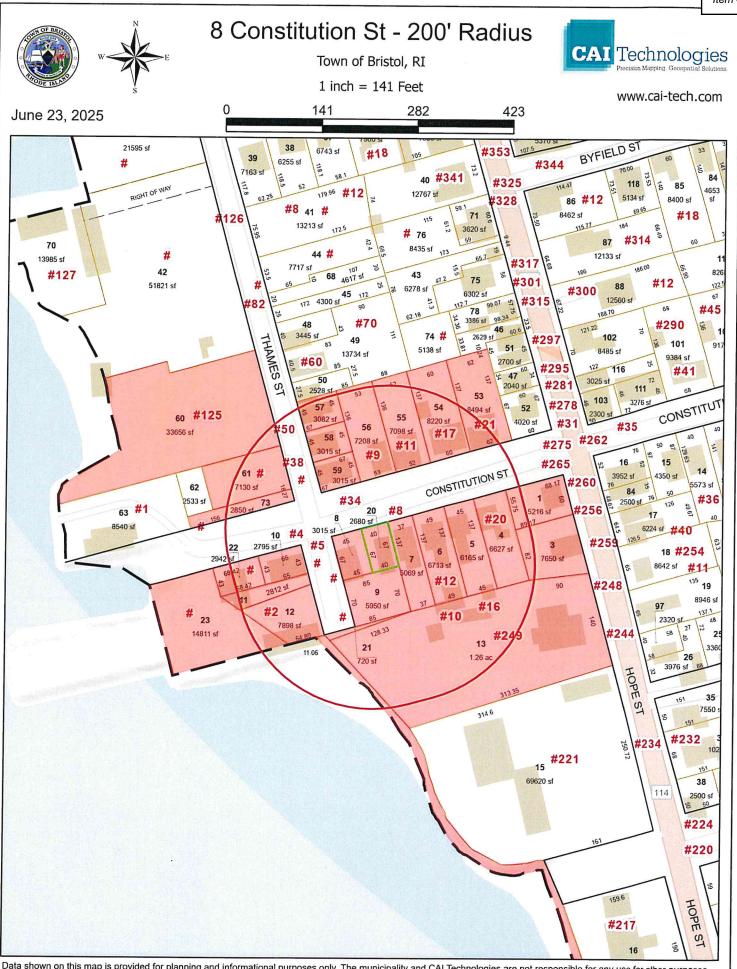


RAFTER HANGER -(OR SIMILAR)

SIMPSON U24 FACE MOUNT JOIST HANGER (OR SIMILAR)

FINISH FLOOR

SM Drafting/Design Riverside, R.I. Smed54@msn.com
Proposed 2nd Floor Addition For:
JM Bristol LLC
8 Constitution St.
Bristol, R.I. 02809
Map 11 Lot 20
PROJECT NUMBER: 00466 Drawn By: SM Checked By: X Issue Date: 3-11-25 Drawing Index: Sheet No. Description 1. 1. Cover Sheet 2. Existing Floor Plan 3. Existing Elevations 4. Proposed Elevations 5. Proposed Elevations 6. Framing Plane 7. Cross Section & Details
Revisiona Description 1 6-07-26
Drawing Tillec
Cross Section
& Details
Drawing Number
7 of 7



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 feet Abutters List Report Bristol, RI June 23, 2025

Subject Property:

Parcel Number: CAMA Number: Property Address:	11-20 11-20 8 CONSTITUTION ST	JM BRISTOL LLC C/O DARROW EVERETT LLP 1 TURKS HEAD PL, 12TH FL PROVIDENCE, RI 02903

Abutters:

Parcel Number:	10-53	Mailing Address	: CHACE, RICHMOND N. NANCY E. ETUX
CAMA Number:	10-53		21 CONSTITUTION ST
Property Address	21 CONSTITUTION ST		BRISTOL, RI 02809
Parcel Number:	10-54	Mailing Address	: DEMOPULOS, AMELIA & ABIGAIL TE
CAMA Number:	10-54		2313 COMMONWEALTH AVE
Property Address:	17 CONSTITUTION ST		ALEXANDRIA, VA 22301
Parcel Number:	10-55	Mailing Address:	CALM REALTY, LLC
CAMA Number:	10-55		11 CONSTITUTION ST
Property Address:	11 CONSTITUTION ST		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	10-56 10-56 9 CONSTITUTION ST	Mailing Address:	HARTLEY, JOHN P. ET UX PAULA ARSENAULT HARTLEY 9 CONSTITUTION STREET BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	10-57 10-57 50 THAMES ST	Mailing Address:	OUELLETTE, DAVID ALAN & BURGIO, JENNIFER JT 50 THAMES ST BRISTOL, RI 02809
Parcel Number:	10-58	Mailing Address:	SALCONE, PETER M.
CAMA Number:	10-58		509 CLARKS ROW
Property Address:	38 THAMES ST		BRISTOL, RI 02809
Parcel Number:	10-59	Mailing Address:	CABRAL, VICTOR G JR MA
CAMA Number:	10-59		122 MT. HOPE AVE
Property Address:	34 THAMES ST		BRISTOL, RI 02809
Parcel Number:	10-60	Mailing Address:	BRISTOL LOFTS LLC
CAMA Number:	10-60		38 CHURCH ST
Property Address:	125 THAMES ST		PAWTUCKET, RI 02860
Parcel Number:	10-61	Mailing Address:	BRISTOL LOFTS LLC
CAMA Number:	10-61		649 ALDEN ST
Property Address:	THAMES ST		FALL RIVER, MA 02723
CAMA Number:	10-73 10-73 CONSTITUTION ST	Mailing Address:	BRISTOL LOFTS LLC 649 ALDEN ST, SUITE 1 FALL RIVER, MA 02723

CAT Technologies

6/23/2025



200 feet Abutters List Report Bristol, Rl June 23, 2025

Parcel Number:	11-1	Mailing Address:	CURTIS, WILLIAM D. & LAUREL A TE
CAMA Number:	11-1		265 HOPE ST
Property Address:	265 HOPE ST		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-10 11-10 4 CONSTITUTION ST	Mailing Address:	KARIAN, ROBIN & ALLISTER, ALEXANDER T. CO-TRUSTEES 37 FACTORY POND CIRCLE GREENVILLE, RI 02828
Parcel Number:	11-11	Mailing Address:	USCG FINANCE CENTER
CAMA Number:	11-11		P.O. BOX 4109
Property Address:	THAMES ST		CHESAPEAKE, VA 23327
Parcel Number:	11-12	Mailing Address:	USCG FINANCE CENTER
CAMA Number:	11-12		P.O. BOX 4109
Property Address:	2 THAMES ST		CHESAPEAKE, VA 23327
Parcel Number:	11-13	Mailing Address:	MURRAY, ROBERT F. TRUSTEE
CAMA Number:	11-13-001		249 HOPE ST
Property Address:	249 HOPE ST		BRISTOL, RI 02809
Parcel Number:	11-13	Mailing Address:	MCCLOSKEY, JOHN A. JR. TRUSTEE
CAMA Number:	11-13-002		249 HOPE ST, UNIT 2
Property Address:	249 HOPE ST		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-13 11-13-003 249 HOPE ST	Mailing Address:	SALESI, PAUL JOHN & MARYANN - TRUSTEES SALESI LIVING TRUST 249 HOPE ST, UNIT 3 BRISTOL, RI 02809
Parcel Number:	11-13	Mailing Address:	GATES, ANNE M
CAMA Number:	11-13-004		4165 S. FOURMILE RUN APT 401
Property Address:	249 HOPE ST		ARLINGTON, VA 22204
Parcel Number:	11-13	Mailing Address:	MURRAY, ROBERT F
CAMA Number:	11-13-005		249 HOPE ST UNIT 5
Property Address:	249 HOPE ST		BRISTOL, RI 02809
Parcel Number:	11-13	Mailing Address:	SOUSA, MICHAEL
CAMA Number:	11-13-006		249 HOPE ST UNIT 6
Property Address:	249 HOPE ST		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-13 11-13-007 249 HOPE ST	Mailing Address:	SCHNEIDER, ROBERT J & SCHNEIDER, PAMELA BRITT TE 249 HOPE ST # 7 BRISTOL, RI 02809
Parcel Number:	11-13	Mailing Address:	REICHE, SUSAN
CAMA Number:	11-13-008		249 HOPE ST, UNIT 8
Property Address:	249 HOPE ST		BRISTOL, RI 02809

CAT Technologies

6/23/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 3



200 feet Abutters List Report Bristol, RI June 23, 2025

Parcel Number: CAMA Number: Property Address	11-13 11-13-009 : 249 HOPE ST	Mailing Address	E FERREIRA, ROBERT A. BARBARA M. TE 249 HOPE STREET BRISTOL, RI 02809
	11-20 11-20 8 CONSTITUTION ST	Mailing Address	: JM BRISTOL LLC C/O DARROW EVERETT LLP 1 TURKS HEAD PL, 12TH FL PROVIDENCE, RI 02903
Parcel Number: CAMA Number: Property Address:	11-21 11-21 THAMES ST	Mailing Address:	GORDON KARIAN IRREVOCABLE TRST ROBIN KARIAN ALLISTER TRUSTEE 37 FACTORY POND CIRCLE GREENVILLE, RI 02828
Parcel Number: CAMA Number: Property Address:	11-22 11-22 CONSTITUTION ST	Mailing Address:	USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: CAMA Number: Property Address:	11-23 11-23 CONSTITUTION ST	Mailing Address:	USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327
Parcel Number: CAMA Number: Property Address:	11-3 11-3 259 HOPE ST	Mailing Address:	DE RHAM, JEREMIAH AMY TE 259 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-4 11-4 20 CONSTITUTION ST	Mailing Address:	RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-5 11-5 16 CONSTITUTION ST	Mailing Address:	JENSEN, LEIF WINGARD, MONICA TE 16 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-6 11-6 12 CONSTITUTION ST	Mailing Address:	HOLT, ROBERT C & DIANE M TE 12 CONSTITUTION ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	11-7 11-7 10 CONSTITUTION ST	Mailing Address:	RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809
CAMA Number:	11-8 11-8 5 THAMES ST		KARIAN, ROBIN & ALLISTER, ALEXANDER T. CO-TRUSTEES 37 FACTORY POND CIRCLE GREENVILLE, RI 02828
CAMA Number:	11-9 11-9 THAMES ST		GORDON KARIAN IRREVOCABLE TRST ROBIN KARIAN ALLISTER TRUSTEE 37 FACTORY POND CIRCLE GREENVILLE, RI 02828

CAT Technologies

6/23/2025

BRISTOL LOFTS LLC 38 CHURCH ST PAWTUCKET, RI 02860

BRISTOL LOFTS LLC 649 ALDEN ST FALL RIVER, MA 02723

BRISTOL LOFTS LLC 649 ALDEN ST, SUITE 1 FALL RIVER, MA 02723

CABRAL, VICTOR G JR MA 122 MT. HOPE AVE BRISTOL, RI 02809

CALM REALTY, LLC 11 CONSTITUTION ST BRISTOL, RI 02809

CHACE, RICHMOND N. NANCY E. ETUX 21 CONSTITUTION ST BRISTOL, RI 02809

CURTIS, WILLIAM D. & LAUREL A TE 265 HOPE ST BRISTOL, RI 02809

DE RHAM, JEREMIAH AMY TE 259 HOPE ST BRISTOL, RI 02809

DEMOPULOS, AMELIA & ABIGA 2313 COMMONWEALTH AVE ALEXANDRIA, VA 22301

FERREIRA, ROBERT A. BARBARA M. TE 249 HOPE STREET BRISTOL, RI 02809 GATES, ANNE M 4165 S. FOURMILE RUN APT 401 ARLINGTON, VA 22204

GORDON KARIAN IRREVOCABLE ROBIN KARIAN ALLISTER TRU 37 FACTORY POND CIRCLE GREENVILLE, RI 02828

HARTLEY, JOHN P. ET UX PAULA ARSENAULT HARTLEY 9 CONSTITUTION STREET BRISTOL, RI 02809

HOLT, ROBERT C & DIANE M TE 12 CONSTITUTION ST BRISTOL, RI 02809

JENSEN, LEIF WINGARD, MONICA TE 16 CONSTITUTION ST BRISTOL, RI 02809

JM BRISTOL LLC C/O DARROW EVERETT LLP 1 TURKS HEAD PL, 12TH FL PROVIDENCE, RI 02903

KARIAN, ROBIN & ALLISTER, 37 FACTORY POND CIRCLE GREENVILLE, RI 02828

MCCLOSKEY, JOHN A. JR. TR 249 HOPE ST, UNIT 2 BRISTOL, RI 02809

MURRAY, ROBERT F 249 HOPE ST UNIT 5 BRISTOL, RI 02809

MURRAY, ROBERT F. TRUSTEE 249 HOPE ST BRISTOL, RI 02809 OUELLETTE, DAVID ALAN & BURGIO, JENNIFER JT 50 THAMES ST BRISTOL, RI 02809

RDH REALTY, LLC 12 CONSTITUTION ST BRISTOL, RI 02809

REICHE, SUSAN 249 HOPE ST, UNIT 8 BRISTOL, RI 02809

SALCONE, PETER M. 509 CLARKS ROW BRISTOL, RI 02809

SALESI, PAUL JOHN & MARYA SALESI LIVING TRUST 249 HOPE ST, UNIT 3 BRISTOL, RI 02809

SCHNEIDER, ROBERT J & SCHNEIDER, PAMELA BRITT 249 HOPE ST # 7 BRISTOL, RI 02809

SOUSA, MICHAEL 249 HOPE ST UNIT 6 BRISTOL, RI 02809

USCG FINANCE CENTER P.O. BOX 4109 CHESAPEAKE, VA 23327



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809 Telephone: (401) 253-7000 <u>www.bristolri.gov</u>

June 24, 2025 File #: ZBR-25-21

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review that a Public Hearing will be held in-person at: Bristol Town Hall 10 Court Street, Bristol, RI 02809 July 14, 2025 at 7:00 P.M.

In regards to the petition of:

Applicant: Brian Hutchison
 Owner of Record: Brian T. Hutchison and Elizabeth Remington
 Location: 127 PECK AVE , BRISTOL, RI, 02809
 Plat: 61 Lot: 8
 Zoning District: R-10

Applicant is requesting Dimensional Variances under the Zoning Ordinance as follows:

to construct a 24ft. x 38ft. single-story mudroom and accessory dwelling unit (ADU) addition to the rear of an existing single-family dwelling with less than the required rear yard, less than the required left side yard, and greater than permitted lot coverage by structures

Chel M. In

Edward M. Tanner Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <u>https://bristol-ri.municodemeetings.com/</u>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to <u>etanner@bristolri.gov</u>.



Zoning Board of Review Application Town of Bristol

127 Peck Ave 61 8

June 16, 2025

Name of Applicant	Brian Hutchison	
	Owner	
Who is Submitting this Application	If other, Describe:	
Owner's Name (If Different than Applicant)		

Location for Application			
Property Type	Both		
Zoning District	R-10		
Address, Plat, Lot	Address	Plat	Lot
	127 Peck Ave	61 🦯	8

Type of Application	
Application Type	Dimensional Variance
Proposed	Addition
	If other, Detail:
New Building Type	
	If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applicable)	
Total Square Footage	1,056 feet
Width in Feet	24 feet
Length in Feet	32 feet
Height Above Grade	20 feet
Number of Stories	1

Setbacks		
Front Yard in Feet	0 feet	
Rear Yard in Feet	12 feet	
Left Side Yard in Feet	0 feet	
Right Side Yard in Feet	0 feet	
Height in Feet	0 feet	

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

Requesting dimensional variances for rear yard setback and for lot coverages per Section 28-111 Table B

Describe the extent of the proposed alterations and the reasons for the requesting relief

Build a 24'x32' off back of house for family accessory dwelling unit with 8'x12' deck and 4'x12' bedroom addition

This accessory dwelling unit is for an adult quadriplegic child, therefore constructing a second floor of the original house was not feasable.

about:blank

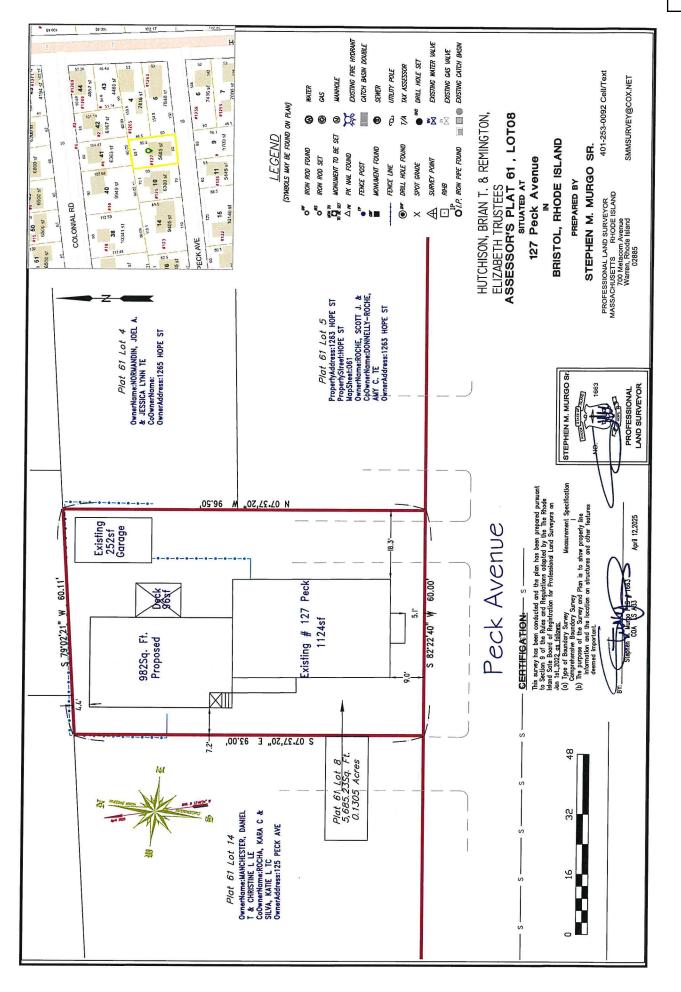
Item 4B.

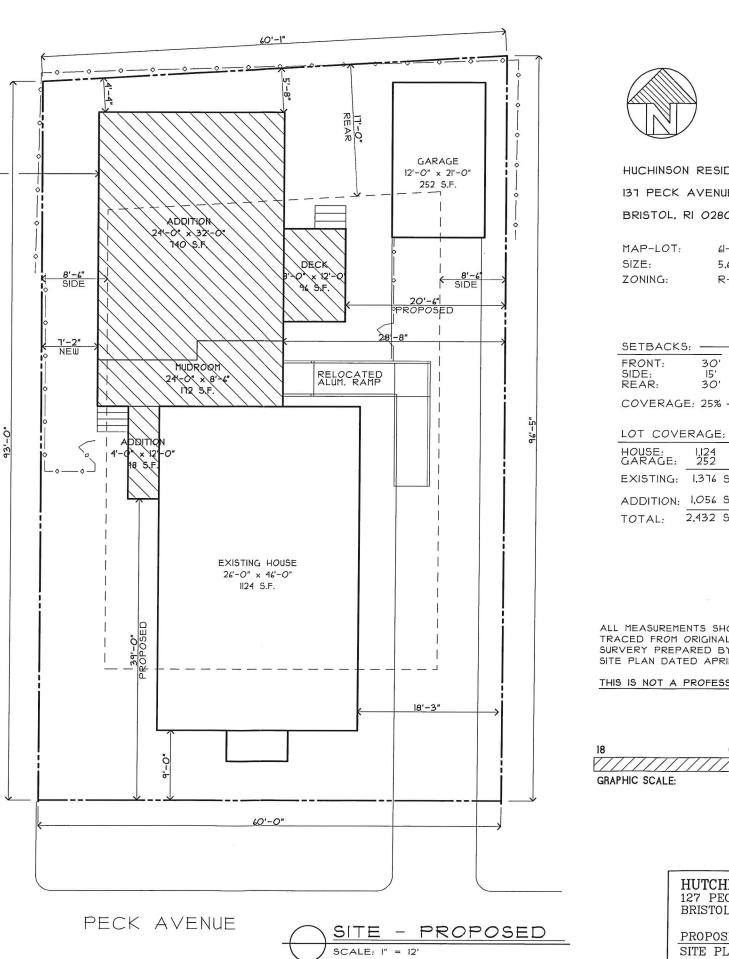
Our daughter is physically and cognitively disabled and requires 1;1 assistance with all daily tasks and 24 hour care. An accessory dwelling unit would provide her the opportunity for more independence and fulfillment.

The requested variances will not alter the general characteristics of the surrounding area.

Existing Lot Specifications				
Current Use of Premises	Residential			
	If other, explain:			
Number of Units				
Lot Area	5,685			
Lot Frontage	60			
Lot Depth	96.5			

Existing Buildings & Structures		
Structure: Other	Square Footage: 240	Building/Structure Detail if Other: garage





NEW COVERAGE

32'-O" × 50'-O" 1056 S.F.

Item 4B.



HUCHINSON RESIDENCE 131 PECK AVENUE BRISTOL, RI 02809

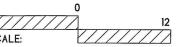
> 61-8 5,685 S.F. R-10

ACKS:		→ 57% DN.
T:	30' 15'	۲۱' 8'-6"
R:	30'	ירו`
ERAGE:	25%	──→ 35.75%

E: \GE:	1,124 252			
FING:	1,376	S.F.	OR	24.2%
TION:	1,056	S.F.		
L:	2,432	S.F.	OR	42.7%

ALL MEASUREMENTS SHOWN WERE TRACED FROM ORIGINAL CLASS I SURVERY PREPARED BY STEVEN M. MURGO, SR. SITE PLAN DATED APRIL 12, 2025

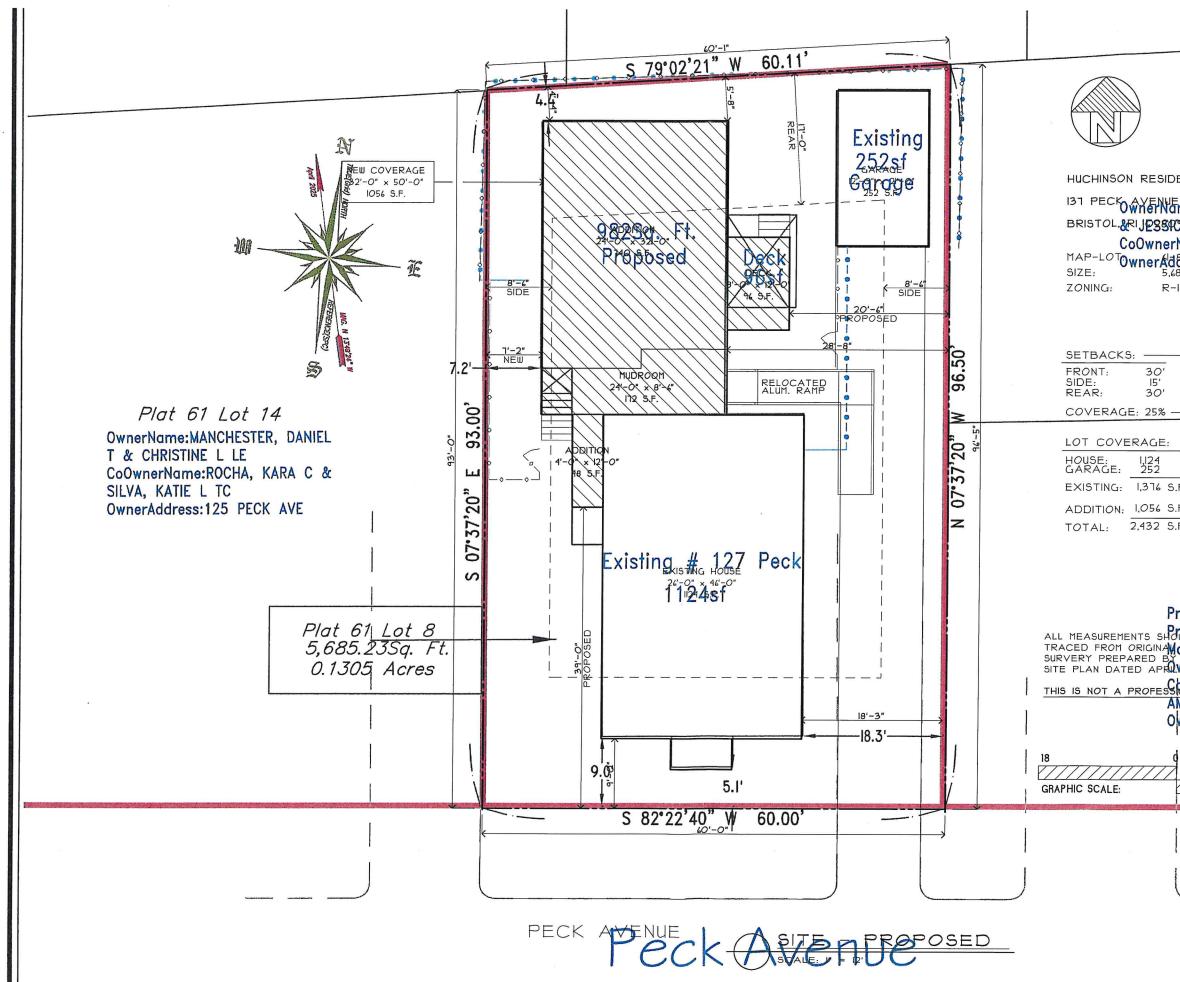
THIS IS NOT A PROFESSIONAL SURVEY.



HUTCHISON RESIDENCE 127 PECK AVENUE BRISTOL, RI 02809

PROPOSED: SITE PLAN DATE: 6/20/2025





Item 4B. 6500 SI HUCHINSON RESIDE Pat 61 Lot 4 ¹³¹ PECKOWNERWame:NORMANDIN, JOEL A. BRISTOL, & RIJESSECA LYNN TE 21 CoOwnerName: MAP-LOTOwnerAddress:1265 HOPE ST SIZE: 5,685 S.F. 16 82.5 R-10 15 sí DECK. SETBACKS: -→ 57% DN. 60 30' 15' 17' 8'-6" 30' 17' → 35.75%

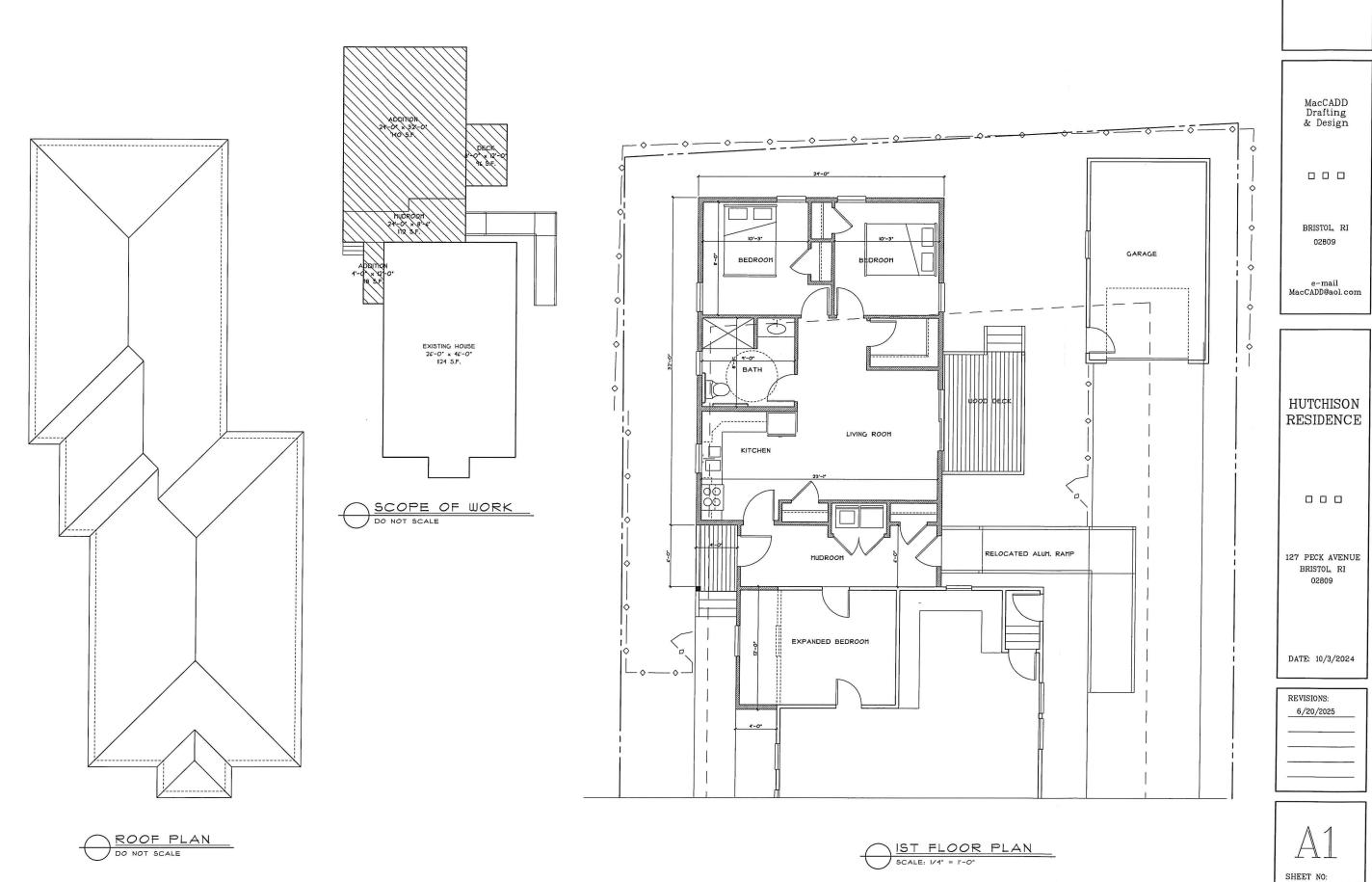
LOT COVERAGE:

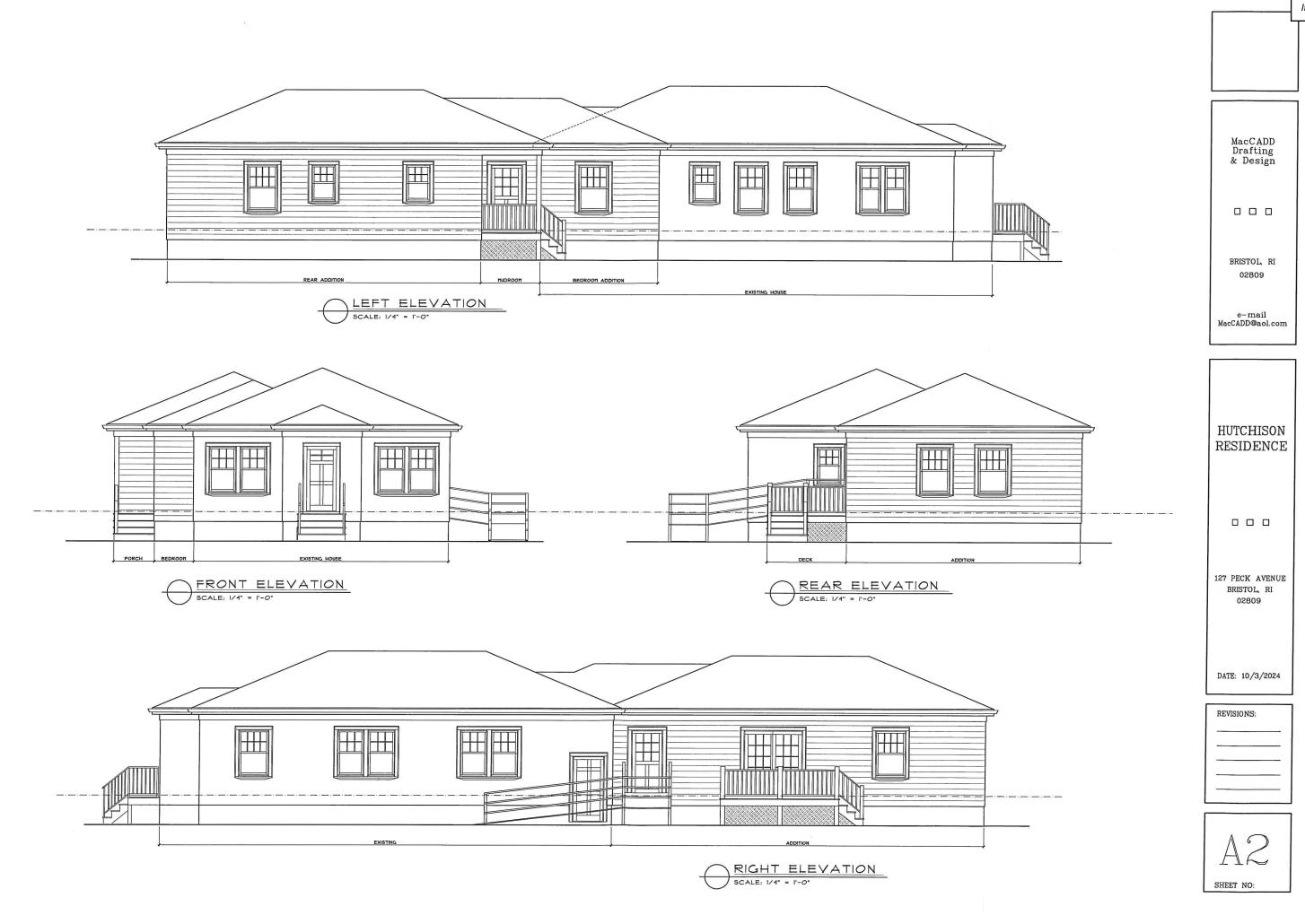
1,124 252 EXISTING: 1,376 S.F. OR 24.2% ADDITION: 1,056 S.F. TOTAL: 2,432 S.F. OR 42.1%

Plat 61 Lot 5 PropertyAddress:1263 HOPE ST ALL MEASUREMENTS SHORPEETS STREET HOPE ST SURVERY PREPARED BY STEVEN M. HURGO SR SURVERY PREPARED BY STEVEN M. HURGO SR SITE PLAN DATED APRIMILETOGIME:ROCHE, SCOTT J. & THIS IS NOT A PROFESCONNELLY-ROCHE, AMY C. TE OwnerAddress:1263 HOPE ST

12 111111

HUTCHIS ELIZABE ASSESS



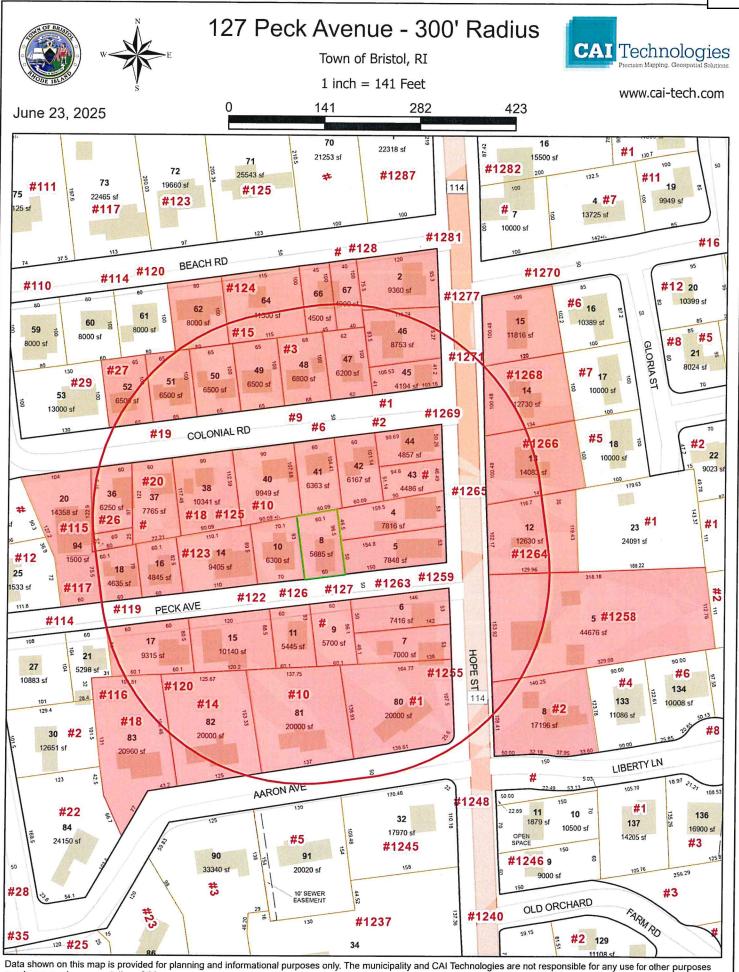




		Account: 3033		LUC 21	TOILE R-IU		Assessment	nent	440	\$422,000 ADVANCING GOVERHARINT ENGAGING CITIZENS.	ENPENT ENGAGING CITIL	IZENS.
 Owner 	Owner Account #- 08-1447-46	#- 08-1447-15								•		
Owner 1 HUTCHISON,	Owner 1 HUTCHISON, BRIAN T. & REMINGTON, ELIZABETH	ON, ELIZABETH	% Owned	Grantor Grantor HUTCHISON, BRIAN T	Crewious Owners & Sales Information Grantor HUTCHISON, BRIAN T	Sales In	Tormation 04	n Date 04/12/2024	Sale Price 0		NAL	Deed Type Q
Owner 3 Address 127 PECK AVE, BRISTOL, RI 02809	, BRISTOL, RI 02809			HUTCHINS	HUTCHINSON, BRIAN T ET UX		04	04/11/2013	0	1702-218	٩	3
				Previc	 Previous Assessments 	lts					-	
Use Code Bldg Value S	SF/YI Value Land Size Land Value	and Value AG Credit	Asse	Year LUC	Building	SF/M	Land Size	Land	AGR Credit	Appraised Value	Asse	ed Valu
• 1 • • •			422,000			003.7	- -	146,800	•	297,900	297	297,900
101AL 230,300	0.13 v.	176,200 0	422,000			7,500		146,800	. .	297,900	162	006,162
			x 130 - 10	2021 01		7,500	0	145,900	0	263,900	263.	263.900
				2020 01	110,500	7,500	0	145,900	0	263,900	263.	263,900
source > Mkt Adj Cost	VAL per SQ Unit/Card >	190.43 VAL per SQ Unit/Parcel >	nit/Parcel > 190.43	2019 01	110,500	7,500	0	145,900	0	263,900	263,	263,900
						6	σ	8 8 (1092) (1092)	32	0 4 (1		
				2025	127			(32)	η	Zane	127 PECK AVE	K AV
 Land Information Use Description Ur 27 R Single F¢ 0.15 	ON Units Unit Type Land Type LT Fact 0.13051 AC P 1.00	Type LT Fact Unit Price 1.00 778,800	ce Adjusted 0 1,350,088	Reigh Ir	Inf 1 Inf 1 % Inf	Inf 2 Inf 2 %	Ē	Inf 3 % - 4	Appr Value 176,200	Spec Land Juris Fact 1.00		Use Value 0
4	and a second strate strate. As we are a second strate the			an a	na do Star do Alberto de Antone Antoneou en em		en une experiente en constanta a constanta en constanta en constanta				 A manufacture of the second sec	

Plat/Lot 061-0008-000	0008-000		Accourt	> Account: 3893]	LUC 27	Zo	Zone R-10		> Ass	Assessment	\$422	000	\$422,000 APANEING GOVERNMENT INGAGING CITTERIS
 Building Information 	lation		 Grade 	de		 Other 	Other Factors	10	► Sub-A	Sub-Area Detail				
Description	u.	Description	Grade		Q4	Flood Hazard			Code D	Description	Area F	Rate U	A.S. 7 2 Y. 0	1
BLDG Type Ranch	Story Height	1 Story	Year Built Alt LUC	ilt 1928 EFF Year IC Alt %	FF Year Alt % 0.00	2010		PAVED	FFL 1st I BMT BAS	1st FLOOR BASEMENT	1,124 1,124 1,092 0	259.03 38.85	291,139 42,424	Uate Result
RES Units 1	COM Units	0				200	Dar elen		Total		2,216 1,124		333,563	6/24/2021 REVIEW
Foundation Concrete	BMT Floor	Concrete					Size Adi	00.004 F						8/10/2018 REVIEW
Frame 1 Wood	Frame 2	%		Code			Constr Adi	<u>8</u> 101						8/3/2018 MEASURED
EXT Wall 1 Wood Shngl	gli EXT Wall 2	%	Condition	¥	AV - Average	35.0 Adj	Adj \$/SQ	259.02						
Roof Type 1 Hip	Roof Type 2	%	Functional	nal	•	0.0 Othr F	Othr Featrs	33,000						
Roof Cover 1 Asphalt Shin	in Roof Cover 2	%	Economic	nic	•	0.0 Grad	Grade Fac	1.00				•		3/20/200/ CALL BACK 3/7/2007 MEASURE
INT Wall 1 Drywall	INT Wall 2	*	Special	ial		0.0 Land I	l and Factor	1.0						
Floors 1 Hardwood	Floors 2	%		ov	11 Annual 11	Adj	Adj Total	366.563		A lot of the second sec		•		a de la composition de la comp
BMT Garages	Color					Deprei	Depreciation	128.297	Notes					
Plumbing	Electrical			Total Depr	Total Depreciation % >	35.0 Depr	Depr Total	238,266	SHED NV	UPDATED M	UPDATED WINDOWS & DOORS	SS		
Insulation	INT vs EXT				1 Contraction		4							
Heat Fuel Oil	Heat Type	BB Hot Water	Vdditions	Illanoi	Ig nistory	Complex	Condo Uata	g						
# Heat Sys	% Heated	100	Interior		Flactric	Location	uo							
% Solar HW	% A/C		Exterior		Heating	Tot Units	its							
% COM Wall	% Vacuum		Kitchan		General	FL Level	/el							
Ceil HGHT	Ceiling Type		Rath(c)			# Floors	5	0,			ĸ			
Parking Type	% Sprinkled				And the second	hac finice	ed	A Construction of the second						
EXT View				Building Permits Issue Date Perm	rmits Permit #	Closed Date	RD Tyne	Ect Coct	- ", Dono	Ctature	Docariation (Disco			
Quantity		Quality	-	02/04/2020	FENGEZ		di una			Clocod	Pensir 6' fence on rear pro	cuolis var proportiv lino	1 and and a	10 aoda
Full Bath 1	F	Typical	2	11/20/2015	697-15-B	12/30/2015	BLDG	6.500	8 9		STRIP AND REPLACE ROOF AND INDER LAYMENTS	E ROOF AND UN		ENTS
Ext Full Bath			, M	11/20/2015	B26526		BLDG	0	100		RESHINGLE ROOF TO CODE	TO CODE		
Half Bath 1	F	Typîcal	4											
Ext Half Bath		and the second s	5											
Ext Fixtures	-		• •											
Kitchens 1	L	Typical	• ∞											
Ext Kitchens			σ											
Fireplaces 1		Typical	C.	cial Eac	N 0 0000				and the second second					
W.S. Flues			Use Use	e Desci	Use Description A Y/S Otv	Y/S Otv	Lenath	Width	SF Size	Quality Con	Condition Year Ac	Accoscod Walley		
							2			3		28 7,500	8	AFDU
0	by Floor		8											ortTermRental
Units # Rooms	# Bedrooms	Floor Level	m											PriorID1c
1 7	7	D	4 v											PriorID2a
2			9											PriorID2b
e			7											PriorID2c
4			Ø											PriorID3a
	and the second sec		თ											PriorID3b
	2		6											PriorID3c

Item 4B.



or misuse or misrepresentation of this map.

Item 4B.

300 feet Abutters List Report Bristol, RI June 23, 2025

Subject Property:

Parcel Number: CAMA Number: Property Address	61-8 61-8 :: 127 PECK AVE	Mailing Address	: HUTCHISON, BRIAN T. & REMINGTON, ELIZABETH TRUSTEE 127 PECK AVE BRISTOL, RI 02809
Abutters:			
Parcel Number: CAMA Number: Property Address:	100-12 100-12 : 1264 HOPE ST	Mailing Address:	GREEN, JASON J. ET UX SUSAN E. GREEN TE 1264 HOPE ST. BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	100-13 100-13 1266 HOPE ST	Mailing Address:	MOTA, KEVIN J. 1266 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	100-14 100-14 1268 HOPE ST	Mailing Address:	SQUATRITO, ROBERT J & MARGARET F TRUSTEES 1268 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	100-15 100-15 1270 HOPE ST	Mailing Address:	PTASIENSKI, GABRIEL P. & ORDING, SARAH R. TE 1270 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	100-5 100-5 1258 HOPE ST	Mailing Address:	SQUATRITO, JEROME J. MARY E. TRUSTEES 1258 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	100-8 100-8 2 LIBERTY LN	Mailing Address:	DYER, BRUCE P & ELIZABETH A- TRUSTEES DYER FAMILY TRUST 2 LIBERTY LN BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-10 61-10 125 PECK AVE	Mailing Address:	MANCHESTER, DANIEL T & CHRISTINE L LE ROCHA, KARA C & SILVA, KATIE L TC 125 PECK AVE BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-11 61-11 126 PECK AVE	Mailing Address:	
Parcel Number: CAMA Number: Property Address:	61-14 61-14 123 PECK AVE	Mailing Address:	VELLECA, CHRISTOPHER J. 123 PECK AVE BRISTOL, RI 02809
	61-15 61-15 122 PECK AVE		DONAHUE, MELISSA S. & VALLIERE, MARK P. TE 122 PECK AVE BRISTOL, RI 02809

CAL Technologies

Item 4B.



300 feet Abutters List Report Bristol, RI June 23, 2025

Parcel Number:	61-16	Mailing Address:	SORRENTINO, PATRICK
CAMA Number:	61-16		119 PECK AVE
Property Address:	119 PECK AVE		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-17 61-17 120 PECK AVE	Mailing Address:	DELONG, ERIC L. & DELONG, RUTHANN R. TRUSTEES TC 120 PECK AVE BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-18 61-18 117 PECK AVE	Mailing Address:	VACURA, RICHARD J, MOLLY M, JON K & ODAMS, JUSTEANE E JT 117 PECK AVE BRISTOL, RI 02809
Parcel Number:	61-2	Mailing Address:	PUMA, DANIEL R JR & TERESA C TE
CAMA Number:	61-2		1281 HOPE ST
Property Address:	1281 HOPE ST		BRISTOL, RI 02809
Parcel Number:	61-20	Mailing Address:	DENNIS, WILLIAM P. TRUSTEE
CAMA Number:	61-20		115 PECK AVE
Property Address:	115 PECK AVE		BRISTOL, RI 02809
Parcel Number:	61-36	Mailing Address:	THOMPSON, SETH R
CAMA Number:	61-36		26 COLONIAL RD
Property Address:	26 COLONIAL RD		BRISTOL, RI 02809
Parcel Number:	61-37	Mailing Address:	LIGHTFOOT, LISA M.
CAMA Number:	61-37		20 COLONIAL RD
Property Address:	20 COLONIAL RD		BRISTOL, RI 02809
Parcel Number:	61-38	Mailing Address:	HETFIELD MARGARET L TRUSTEE
CAMA Number:	61-38		18 COLONIAL RD
Property Address:	18 COLONIAL RD		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-4 61-4 1265 HOPE ST	Mailing Address:	NORMANDIN, JOEL A. & JESSICA LYNN TE 1265 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-40 61-40 10 COLONIAL RD	Mailing Address:	DELANEY, EDWARD J - TRUSTEE EDWARD J DELANEY TRUST 10 COLONIAL DR BRISTOL, RI 02809
Parcel Number:	61-41	Mailing Address:	MELLO, DANIELLE A
CAMA Number:	61-41		6 COLONIAL RD
Property Address:	6 COLONIAL RD		BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-42 61-42 2 COLONIAL RD	Mailing Address:	SIENKIEWICZ, JOHN JR. ET UX PAULINE J. JT 2 COLONIAL RD BRISTOL, RI 02809

CAT Technologies



300 feet Abutters List Report Bristol, RI June 23, 2025

Parcel Number: CAMA Number: Property Address	61-44 61-44 : 1269 HOPE ST	Mailing Address	S: ALMEIDA, JAY W. CYNTHIA M. TE 1269 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-45 61-45 : 1271 HOPE ST	Mailing Address	E HAAS, GERALD W & DIAS, STEFANIE R TE 1271 HOPE ST BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-46 61-46 1277 HOPE ST	Mailing Address	: BRUNELLI, ALBERT V JR ET UX 1277 HOPE STREET BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-47 61-47 1 COLONIAL RD	Mailing Address	EFERREIRA, CHRISTOPHER & KAREN A TE 1 COLONIAL RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-48 61-48 3 COLONIAL RD	Mailing Address:	PROULX, MICHAEL D. TANYA M. TE 3 COLONIAL RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-49 61-49 9 COLONIAL RD	Mailing Address:	OLSEN, MARYBETH & SEYEZ, GEORGE J. JR TRUSTEES OF THE OLSEN-SEYEZ REALTY TRUST 9 COLONIAL RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-5 61-5 1263 HOPE ST	Mailing Address:	ROCHE, SCOTT J. & DONNELLY- ROCHE, AMY C. TE 1263 HOPE ST BRISTOL, RI 02809
	61-50 61-50 15 COLONIAL RD	Mailing Address:	SYLVIA, UZELLE M LE SYLVIA, WILLIAM G ETAL JT 15 COLONIAL RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-51 61-51 19 COLONIAL RD	Mailing Address:	RAPOSA DAVID P & RAPOSA PHYLLIS M TE 19 COLONIAL ROAD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	61-52 61-52 27 COLONIAL RD	Mailing Address:	OHANLEY, ALEXANDER H. 27 COLONIAL ROAD BRISTOL, RI 02809
CAMA Number: Property Address:	61-6 61-6 1259 HOPE ST	Mailing Address:	CHARETTE, JESSE J & KAROW, JENNIFER M JT 1259 HOPE ST BRISTOL, RI 02809
CAMA Number:	61-62 61-62 120 BEACH RD	Mailing Address:	THOMPSON, KELLY M & O`MALLEY, KAITLIN M TE 120 BEACH RD BRISTOL, RI 02809

Gan Technologies

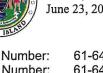
6/23/2025

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 4

CONTROL OF MANY

300 feet Abutters List Report Bristol, RI June 23, 2025



OF 19F				
Parcel Numb CAMA Numb Property Add	ber: 61-6		Mailing Address:	ZEXTER, MELISSA R 124 BEACH RD BRISTOL, RI 02809
Parcel Numb CAMA Numb Property Add	ber: 61-6		Mailing Address:	CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Numb CAMA Numb Property Add	er: 61-6	7	Mailing Address:	CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809
Parcel Numb CAMA Numb Property Add	er: 61-7	HOPE ST	Mailing Address:	COSTA, CLAIRE RENEE SCHWARTZ 1255 HOPE ST BRISTOL, RI 02809
Parcel Numb CAMA Numb Property Add	er: 61-8	PECKAVE	Mailing Address:	HUTCHISON, BRIAN T. & REMINGTON, ELIZABETH TRUSTEE 127 PECK AVE BRISTOL, RI 02809
Parcel Numbe CAMA Numbe Property Add	er: 61-80)	Mailing Address:	CONLEY, WILLIAM F. JR. & ANNA V. ET UX TE 1 AARON AVENUE BRISTOL, RI 02809
Parcel Numbe CAMA Numbe Property Addr	er: 61-81		Mailing Address:	TORRES, JORGE & TORRES, JULIANNE C VEDRO 10 AARON AVE BRISTOL, RI 02809
Parcel Numbe CAMA Numbe Property Addr	er: 61-82		Mailing Address:	AHERN, APRIL 14 AARON AVE BRISTOL, RI 02809
Parcel Numbe CAMA Numbe Property Addr	er: 61-83		Mailing Address:	LIMA, RICHARD A etal JT CONTE-LIMA, M & LIMA, RICHARD A JR JT 18 AARON AVE BRISTOL, RI 02809
Parcel Numbe CAMA Numbe Property Addr	er: 61-9	AVE	Mailing Address:	CASTLE REALTY LLC 2 JUSTIN ST WARREN, RI 02885
Parcel Numbe CAMA Numbe Property Addr	er: 61-94		Mailing Address:	VACURA, RICHARD J, MOLLY M, JON K & ODAMS, JUSTEANE E JT 117 PECK AVE BRISTOL RI 02800

CAT Technologies

BRISTOL, RI 02809

6/23/2025

AHERN, APRIL 14 AARON AVE BRISTOL, RI 02809

ALMEIDA, JAY W. CYNTHIA M. TE 1269 HOPE ST BRISTOL, RI 02809

BRUNELLI, ALBERT V JR ET UX 1277 HOPE STREET BRISTOL, RI 02809

CASTLE REALTY LLC 2 JUSTIN ST WARREN, RI 02885

CHARETTE, JESSE J & KAROW, JENNIFER M JT 1259 HOPE ST BRISTOL, RI 02809

CONLEY, JASON R & SILVA, CHRISTOPHER J TE 128 BEACH RD BRISTOL, RI 02809

CONLEY, WILLIAM F. JR. & ANNA V. ET UX TE 1 AARON AVENUE BRISTOL, RI 02809

COSTA, CLAIRE RENEE SCHWA 1255 HOPE ST BRISTOL, RI 02809

DBR REALTY LLC 2 JUSTIN ST WARREN, RI 02885

DELANEY, EDWARD J - TRUST EDWARD J DELANEY TRUST 10 COLONIAL DR BRISTOL, RI 02809 DELONG, ERIC L. & DELONG, RUTHANN R. TRUSTE 120 PECK AVE BRISTOL, RI 02809

DENNIS, WILLIAM P. TRUSTE 115 PECK AVE BRISTOL, RI 02809

DONAHUE, MELISSA S. & VAL 122 PECK AVE BRISTOL, RI 02809

DYER, BRUCE P & ELIZABETH DYER FAMILY TRUST 2 LIBERTY LN BRISTOL, RI 02809

FERREIRA, CHRISTOPHER & K 1 COLONIAL RD BRISTOL, RI 02809

GREEN, JASON J. ET UX SUSAN E. GREEN TE 1264 HOPE ST. BRISTOL, RI 02809

HAAS, GERALD W & DIAS, ST 1271 HOPE ST BRISTOL, RI 02809

HETFIELD MARGARET L TRUST 18 COLONIAL RD BRISTOL, RI 02809

HUTCHISON, BRIAN T. & REM 127 PECK AVE BRISTOL, RI 02809

LIGHTFOOT, LISA M. 20 COLONIAL RD BRISTOL, RI 02809 LIMA, RICHARD A etal JT CONTE-LIMA, M & LIMA, RIC 18 AARON AVE BRISTOL, RI 02809

MANCHESTER, DANIEL T & CH ROCHA, KARA C & SILVA, KA 125 PECK AVE BRISTOL, RI 02809

MELLO, DANIELLE A 6 COLONIAL RD BRISTOL, RI 02809

MOTA, KEVIN J. 1266 HOPE ST BRISTOL, RI 02809

NORMANDIN, JOEL A. & JESS 1265 HOPE ST BRISTOL, RI 02809

OHANLEY, ALEXANDER H. 27 COLONIAL ROAD BRISTOL, RI 02809

OLSEN, MARYBETH & SEYEZ, OF THE OLSEN-SEYEZ REALTY 9 COLONIAL RD BRISTOL, RI 02809

PROULX, MICHAEL D. TANYA M. TE 3 COLONIAL RD BRISTOL, RI 02809

PTASIENSKI, GABRIEL P. & ORDING, SARAH R. TE 1270 HOPE ST BRISTOL, RI 02809

PUMA, DANIEL R JR & TERES 1281 HOPE ST BRISTOL, RI 02809 RAPOSA DAVID P & RAPOSA PHYLLIS M TE 19 COLONIAL ROAD BRISTOL, RI 02809

ROCHE, SCOTT J. & DONNELLY-ROCHE, AMY C. TE 1263 HOPE ST BRISTOL, RI 02809 VACURA, RICHARD J, MOLLY ODAMS, JUSTEANE E JT 117 PECK AVE BRISTOL, RI 02809

VELLECA, CHRISTOPHER J. 123 PECK AVE BRISTOL, RI 02809

SIENKIEWICZ, JOHN JR. ET 2 COLONIAL RD BRISTOL, RI 02809 ZEXTER, MELISSA R 124 BEACH RD BRISTOL, RI 02809

SORRENTINO, PATRICK 119 PECK AVE BRISTOL, RI 02809

SQUATRITO, JEROME J. MARY E. TRUSTEES 1258 HOPE ST BRISTOL, RI 02809

SQUATRITO, ROBERT J & MARGARET F TRUSTEES 1268 HOPE ST BRISTOL, RI 02809

SYLVIA, UZELLE M LE SYLVIA, WILLIAM G ETAL JT 15 COLONIAL RD BRISTOL, RI 02809

THOMPSON, KELLY M & O'MALLEY, KAITLIN M TE 120 BEACH RD BRISTOL, RI 02809

THOMPSON, SETH R 26 COLONIAL RD BRISTOL, RI 02809

TORRES, JORGE & TORRES, JULIANNE C VEDRO 10 AARON AVE BRISTOL, RI 02809



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809 Telephone: (401) 253-7000 <u>www.bristolri.gov</u>

June 24, 2025 File #: ZBR-25-22

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review that a Public Hearing will be held in-person at: Bristol Town Hall 10 Court Street, Bristol, RI 02809 July 14, 2025 at 7:00 p.m.

In regards to the petition of:

Applicant: David Butera
 Owner of Record: David Butera
 Location: 133.5 FERRY RD , BRISTOL, RI, 02809
 Plat: 165 Lot: 4
 Zoning District: R-40

Applicant is requesting **Dimensional Variances** under the Zoning Ordinance as follows:

to construct an approximate 44ft. x 68ft. two-story single-family dwelling with less than the required left and right side yards; and to construct a 26ft. x 28ft. two-story accessory garage structure with a 6ft. x 12ft. second story deck at an overall size and height greater than permitted for accessory structures in the R-40 zoning district.

Chel M. Jon

Edward M. Tanner Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <u>https://bristol-ri.municodemeetings.com/</u>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to <u>etanner@bristolri.gov</u>.



Zoning Board of Review Application Town of Bristol

133.5 Ferry Road 165 4

June 19, 2025

David Butera
Owner
If other, Describe:

Location for Application			
Property Type	Both		
Zoning District	R-40		
Address, Plat, Lot	Address	Plat	Lot
	133.5 Ferry Road	165	4

Type of Application	
Application Type	Dimensional Variance
Proposed	New Building
Floposed	If other, Detail:
New Building Type	One Family Dwelling
	If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applic	able)	
Total Square Footage	4,250 feet	
Width in Feet	48 feet	
Length in Feet	77 feet	
Height Above Grade	34 feet	
Number of Stories	2	

Setbacks	
Front Yard in Feet	0 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	4 feet
Right Side Yard in Feet	6 feet
Height in Feet	0 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

R-40 side yard set back = 25 feet

Describe the extent of the proposed alterations and the reasons for the requesting relief

Requesting relief sideyard setback due to narrow lot demension in R-40 zone for new home construction. Also seeking height relief for a detached garage.

Existing Lot Specifications

To the Esteemed Members of the Zoning Board,

My name is David Butera, and I am writing to respectfully request a setback adjustment for my property located at 133 Ferry Lane.

Although my lot is situated in an R-40 zone, its unique configuration as a long and narrow parcel, measuring 90 feet wide by 500 feet long, presents specific challenges. With the town of Bristol's 25-foot setback requirement, this leaves only 40 feet of buildable width. This limited width creates significant aesthetic challenges for both the exterior and interior layout of a home. We have meticulously designed a house that complements Bristol's architectural style, but to achieve this, the proposed house needs to be 48 feet wide.

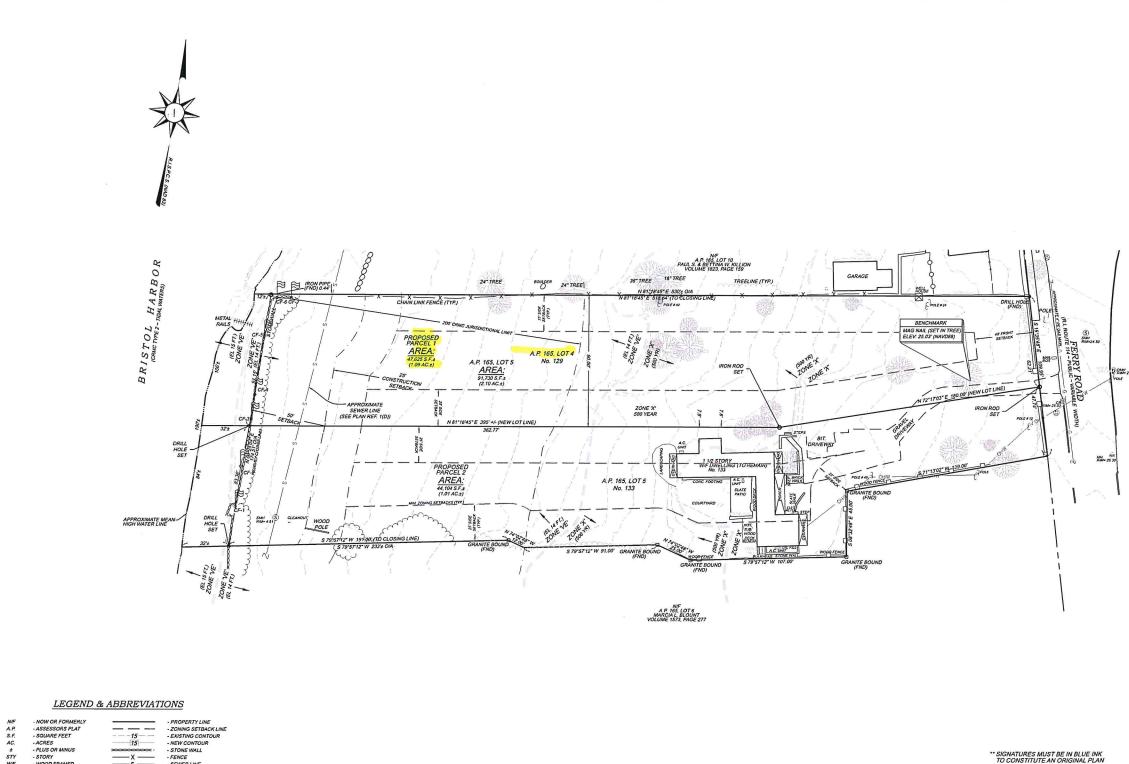
In addition, I am seeking relief on the height and area restrictions for the detached garage. To ensure the garage complements the architecture of the main house, we have designed it with a roof height of 22 feet, allowing for headroom on the second floor, and a cupola in the center, bringing the total height to 28 feet. Given the detached garage will have a view of the water, we believe a small, west-facing deck would be a valuable addition. The deck has been designed with a cantilever, ensuring the area below remains open and visually unimpeded.

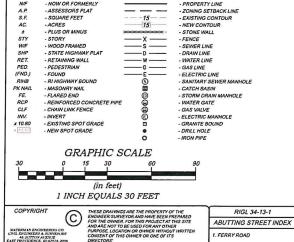
Thank you for your careful consideration of this project.

Sincerely, David Butera

Bristol Plat/Lot 165-0004-000		Account: 9549	: 9549	LUC 13		Zone R-40	40	V Accacement	sement				, IS
										- -	000		
Owner Owner Account Owner 1 BUTERA, DAVID TRUSTEE Owner 2 C/O BUTERA BUILDING Owner 3 Address 275 NYATT RD, BARRINGTON, RI 02806	 Owner Account #: 50-0045-77 USTEE USTEE NGTON, RI 02806 	45-77	% Owned	E S	Previous Grantor OLSON, CHRIST	Previous Owners & Sal Grantor OLSON, CHRISTOPHER P TRUSTEE	& Sales	Previous Owners & Sales Information Grantor OLSON, CHRISTOPHER P TRUSTEE	on Date 10/23/2023	Sale Price 0	Leg Ref 2066-151	NAL	Deed Type
Assessment Fand Size Use Code Bidg Value SF/YI Value 13 0 1.09 TOTAL 0 0 Source > Mkt Adj Cost VAL per SQ Unit/Card >	nd Size Land Value 1.09 1,211,000 1.09 1,211,000	e AG Credit 0 0 VAL per SQ Un	AG Credit Assessed Value 0 1,211,000 0 1,211,000 VAL per SQ Unit/Parcel >	and the second	7 Evious	 Previous Assessments Year LUC Building SFI 2024 13 0 2021 13 0 2021 13 0 	nents srM		ze Land 1,121,400 1,121,400 829,100	AGR Credit	t Appraised Value 1,121,400 1,121,400 823,100		Assessed Value 1,121,400 1,121,400 829,100 829,100
					2 2		*				5	- 00 10 11	133.5 FERRY RD
 Land Information Use Description Units Unit Type 13 Res Vacant 0.17505 AC 3 	Unit Type Land Type LT AC P 1 AC EX 0	LT Fact Unit Price 1.00 478,800 0.20 478,800	rice Adjusted 100 1,294,173 100 129,106	M Meigh Meigh	R R	Inf 1 % 200 Ea	Inf 2 In Easement - Easement -	linf 2 % linf 3 -10 -10	3 Inf 3 %	Appr Value 1,188,400 22,600	Spec Land Juris	Fact 1.00	Use Value 0
orint Date = 6/23/2025 Printed By = Ed Tanner			into antipative and the second state of the second state of the second sec	Vea	Vear ID: 2025	Ľ	ä	sclaimer - This Ir	vformation is bel	lieved to be correc	Disclaimer - This Information is haliaved to be occessf but is cubicated other and is a set	 Provident and the second s	

Plat/Lot 165-0004-000	004-000		Account: 9549		LUC 13	Zone	Zone R-40		Asse	Assessment	\$1.21	\$1.211.000	211.000 ADVANCING GOVENNEENT ENGLING CITZENE.
							a 18	2)))); ;	200000			
 Building Information 	tion		Grade		► Other	Other Factors	•	Sub-Are	 Sub-Area Detail 				Vincit Linton
Description		Description	Grade		Flood Hazard				Description	Area Fin. Area		Rate Undep Val	
BLDG Type	Story Height		Year Built Alt LUC	EFF Year Alt %	Street	Street PAVED	Total	a					Uate Kesult By
RES Units	COM Units			2		Irattic							REVIEW
Foundation	BMT Floor		Depreciation	on		Bas \$/50							8/18/2020 LISTED MD
Frame 1	Frame 2	%	Code	Description	%	Constr Adi							
EXT Wall 1	EXT Wall 2	%	Condition	•	Ad	Adj \$/SQ							
Roof Type 1	Roof Type 2	%	Functional		Othr I	Othr Featrs							
Roof Cover 1	Roof Cover 2	*	Economic	2-0 2000	Grac	Grade Fac					•		, , ,
INT Wall 1	INT Wall 2	%	Special		land	Neigh Infl					1	1	
Floors 1	Floors 2	%	5	•	Adj	Adj Total							
BMT Garages	Color				Depre	Depreciation		Notes					
Plumbing	Electrical		Total D	Total Depreciation % >	Denr	Denr Total							
Insulation	INT vs EXT				ì								
Heat Fuel	Heat Type		Remodeling History	ng History	► Co	Condo Data							
# Heat Svs	% Heated		Additions	Plumbing	Complex Location	lex		ŧ					
% Solar HW	% A/C	· · · · · · · · · · · · · · · · · · ·	Interior	Electric	Tot Units	lits							
% COM Wall	% Vacinim		Exterior	Heating	FL Level	vel							
Ceil HGHT	Ceiling Tyne		Kitchen	General	# Floors	STS							
			Bath(s)		Bldg Seq	seq							
EXT View		And the second se	Building Permits	Permits									
	C		Issue Date	te Permit#	Closed Date	BP Type	Est. Cost	% Done	Status De	Description/Directions	tions		
Quantity	3	Quality	1 11/20/2019	9 D49703		DEMO	20,000	100	Closed De	Demolish the structure	ure		
Full Bath	1996 MAR 10		2 11/09/2017	7 B44555		BLDG	7,200	100	Closed RI	RESHINGLE ROOF TO CODE	TO CODE		
Ext Full Bath			3 10/17/2014	4 B29284		BLDG	0	100	Closed N(D STRUCTURAL C	HANGESINST	ALL 2 REPACI	NO STRUCTURAL CHANGESINSTALL 2 REPACEMENT WINDOWS
Half Bath			4 03/21/2014	4 60-14-B	05/20/2014	BLDG	9,000	100	Closed RI	REPLACE 2 WINDOWS	SM		
Ext Half Bath			5 03/21/2014	4 B29250		BLDG	0	100	Closed IN	STALL TWO (2) RE	EPLACEMENT	WINDOWS(N	INSTALL TWO (2) REPLACEMENT WINDOWS(NO STRUCTURAL CHANGES)
			6 05/18/2007	7 B42327		BLDG	0	100	Closed AI	JDITION FOR CAR	PORT 14 X 18	, ONE STALL,	ADDITION FOR CARPORT 14 X 18, ONE STALL, REPAIR / REPLACE INTERIOR
		and the second	7 02/08/2006	6 B42328		BLDG	0	100	Closed RI	EPAIR/OR REPLAC	CE ROOFING,	SIDING AND T	REPAIR/OR REPLACE ROOFING, SIDING AND TRIM, FENESTRATION AND FOI
Kitchens			8 07/16/2003	3 B24765		BLDG	0	100	Closed RI	RESHINGLE ROOF			
Ext Kitchens	¥		Ø		1								
Fireplaces	-			1 0 1 1 1 1				CONTRACTOR					
W.S. Flues			P Special reatures &	eatures &	rard Itel								 Other Into.
	a de la constante de				110 011	rengu		or size quality		Condition Year Assessed Value	sessed valu	Ð	AFDII
Room Counts by Floor	r Floor		2	i a monore a la secondario de la					12 12 12 12 12 12 12 12 12 12 12 12 12 1				ortTermRental
Units # Rooms	# Bedrooms	Floor Level	3								10 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		DrivelD1c
			4										PriorID2a
2			5										PriorD2b
•			4 0										PriorID2c
	and a second sec	A CONTRACTOR OF A CONTRACTOR O	- α										DriorID3a
4			0 0	and the second second second			and the second second second						PriorID3b
Totals			10										PriorID3c
	An or a second second second second and the second s	STATES AND ADDRESS OF THE DRIVE OF A DRIVEN			a series	with a straight the second							

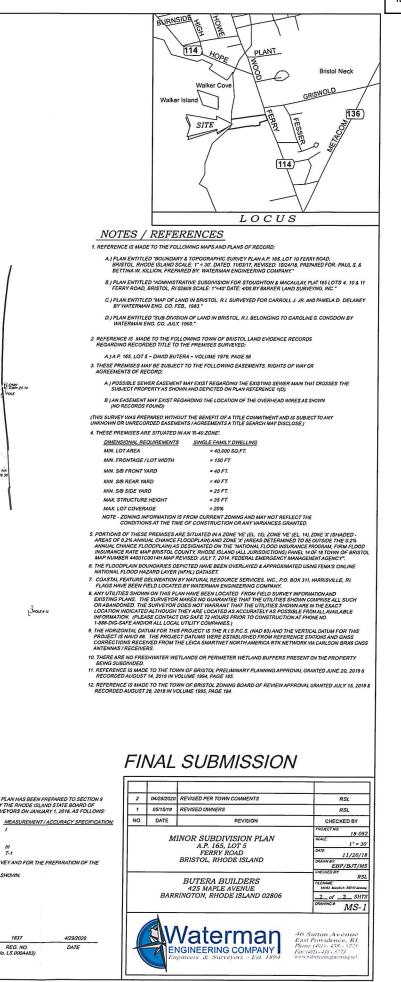






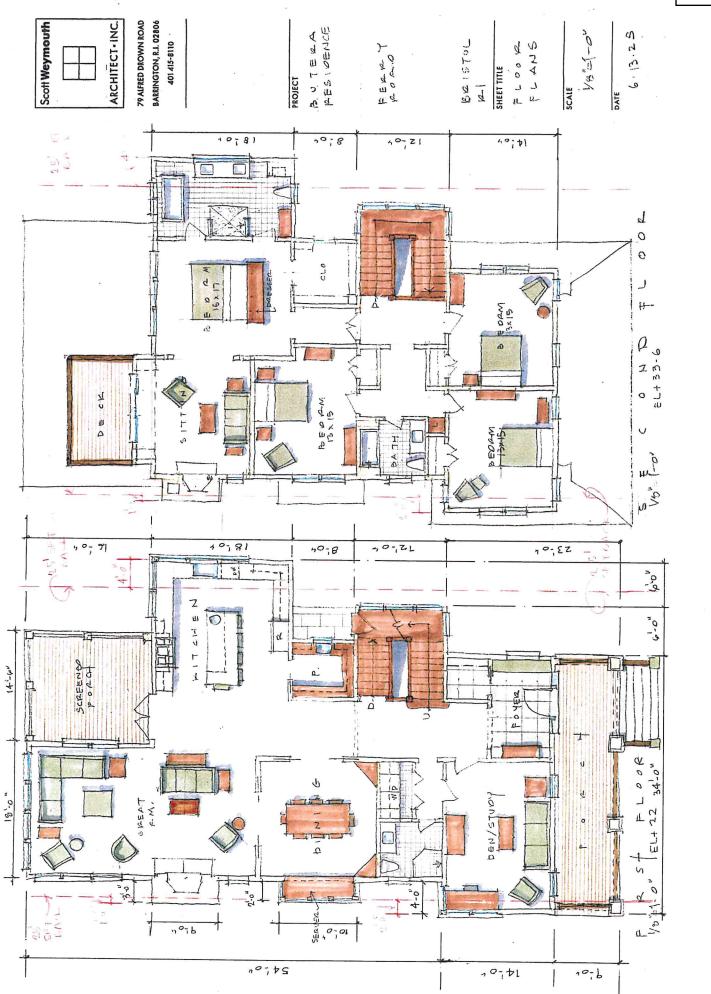
RICHARD S. LIPSITZ, P.L.S.

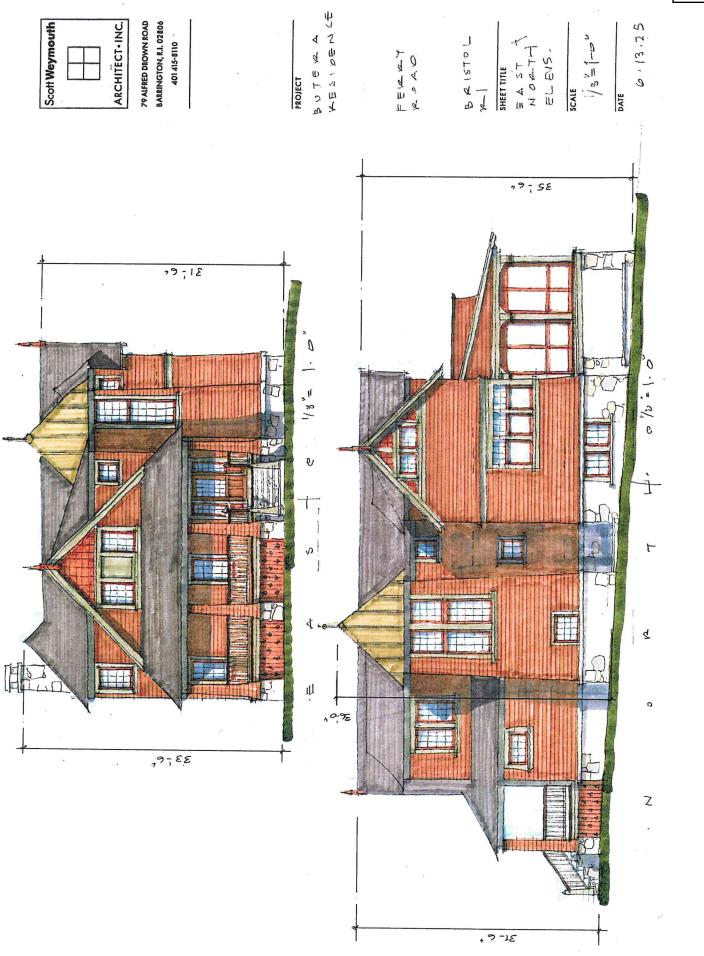
REG. NO. COMPANY (COA No. LS.000A483)



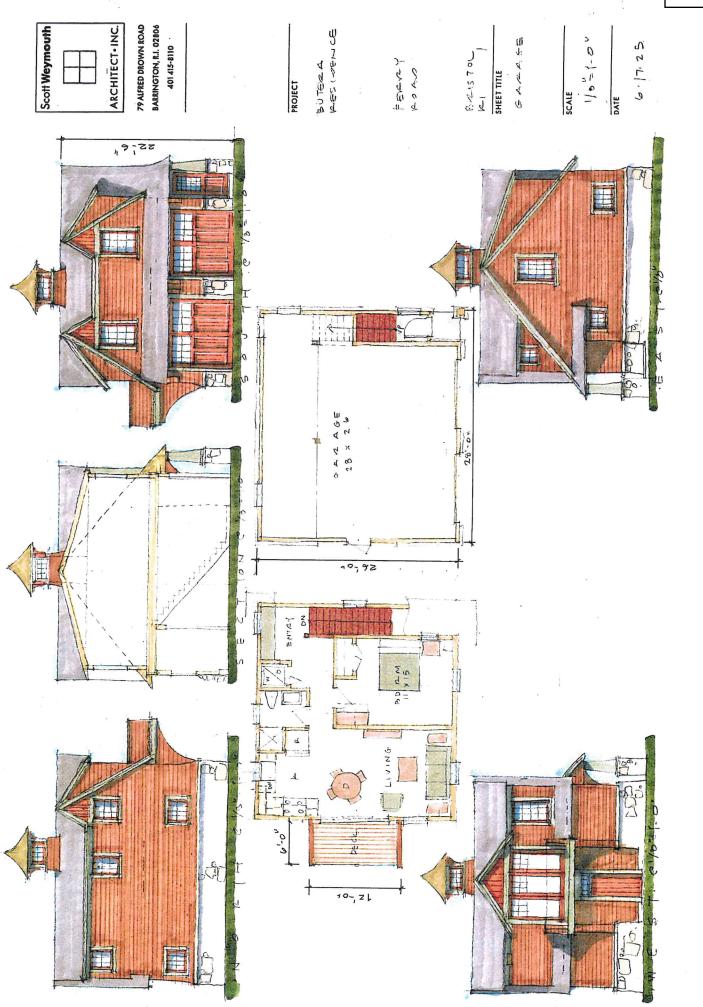


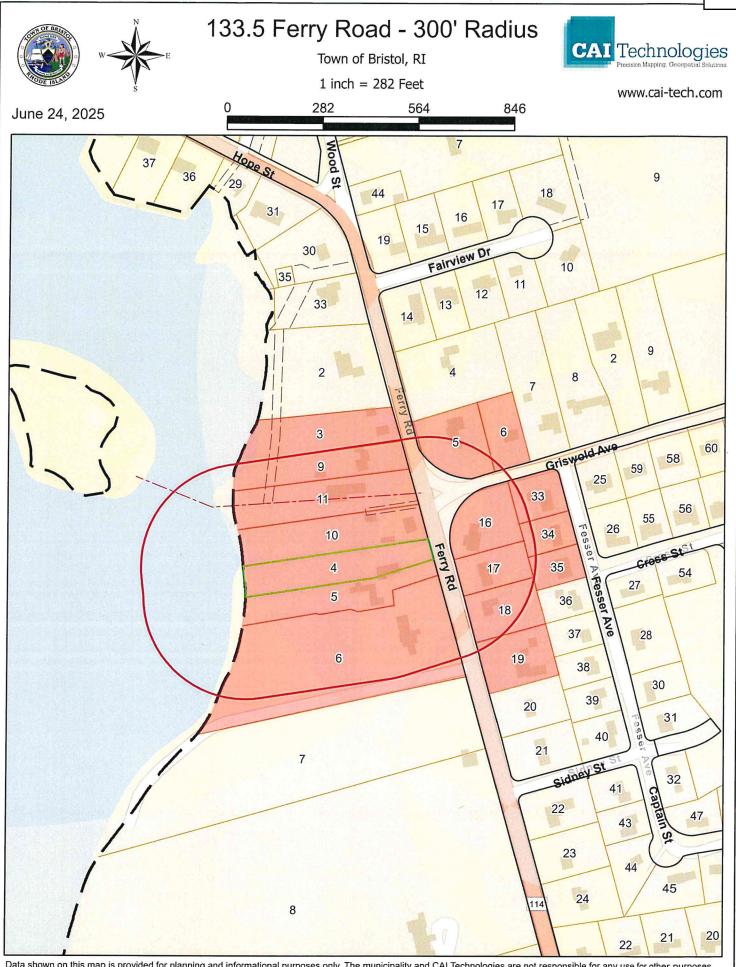












Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report Bristol, RI June 24, 2025

Subject Property:

Parcel Number:	165-4
CAMA Number:	165-4
Property Address:	133.5 FERRY RD

Mailing Address:	BUTERA, DAVID TRUSTEE C/O BUTERA
	BUILDING
	275 NYATT RD
	BARRINGTON, RI 02806

Abutters:

/ibditors.			
Parcel Number: CAMA Number: Property Address:	162-5 162-5 : 142 FERRY RD	Mailing Address:	MCSOLEY, JANE M 142 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	162-6 162-6 5 GRISWOLD AVE	Mailing Address:	SCHROTH, FERD & SCHROTH ANN M. TRUSTEES 5 GRISWOLD AVE BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-16 163-16 130 FERRY RD	Mailing Address:	LIGEIRO, ELEANOR, TRUSTEE 130 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-17 163-17 126 FERRY RD	Mailing Address:	EDDY, DONALD SCOTT & O' DONNELL, SUSAN E. JT 126 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-18 163-18 120 FERRY RD	Mailing Address:	SIMANSKI, MERSINA 195 COLONIAL DR TIVERTON, RI 02878
Parcel Number: CAMA Number: Property Address:	163-19 163-19 114 FERRY RD	Mailing Address:	TENTE, WILLIAM E & DONNA M TE 114 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-33 163-33 1 FESSER AVE	Mailing Address:	CANDELMO, DOLORES A. LIFE EST BLAZKA, DEENA C. PO BOX 2 BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-34 163-34 3 FESSER AVE	Mailing Address:	NUGENT, JANE E. 3 FESSER AVENUE BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	163-35 163-35 5 FESSER AVE		CHELLEL, SANDRA TRUSTEE SANDRA CHELLEL 2019 TRUST 5 FESSER AVE BRISTOL, RI 02809
CAMA Number:	165-10 165-10 135 FERRY RD	Mailing Address:	KILLION, BETTINA W & PAUL S TE 135 FERRY RD BRISTOL, RI 02809

CAT Technologies

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

300 feet Abutters List Report Bristol, RI June 24, 2025

June 24, 2025

Parcel Number: CAMA Number: Property Address:	165-11 165-11 137 FERRY RD	Mailing Address:	TROMP, THOMAS A. & TIJA Z.TE 137 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	165-4 165-4 133.5 FERRY RD	Mailing Address:	BUTERA, DAVID TRUSTEE C/O BUTERA BUILDING 275 NYATT RD BARRINGTON, RI 02806
Parcel Number: CAMA Number: Property Address:	165-5 165-5 133 FERRY RD	Mailing Address:	ANDERSEN, JODI & SPEN, ALAN TE 133 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	165-6 165-6 131 FERRY RD	Mailing Address:	BLOUNT, MARCIA L & PAYSON, RAYMOND P TE 131 FERRY RD BRISTOL, RI 02809
Parcel Number: CAMA Number: Property Address:	165-9 165-9 141 FERRY RD	Mailing Address:	YANYAR, VIRGINIA M. LIFE EST REV LT VIRGINIA M. YANYAR 141 FERRY RD BRISTOL, RI 02809

CAT Technologies

www.cai-tech.com Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report. ANDERSEN, JODI & SPEN, AL 133 FERRY RD BRISTOL, RI 02809

BLOUNT, MARCIA L & PAYSON, RAYMOND P TE 131 FERRY RD BRISTOL, RI 02809

BUTERA, DAVID TRUSTEE C/O BUTERA BUILDING 275 NYATT RD BARRINGTON, RI 02806

CANDELMO, DOLORES A. LIFE BLAZKA, DEENA C. PO BOX 2 BRISTOL, RI 02809

CHELLEL, SANDRA TRUSTEE SANDRA CHELLEL 2019 TRUST 5 FESSER AVE BRISTOL, RI 02809

EDDY, DONALD SCOTT & O' DONNELL, SUSAN E. JT 126 FERRY RD BRISTOL, RI 02809

KILLION, BETTINA W & PAUL 135 FERRY RD BRISTOL, RI 02809

LIGEIRO, ELEANOR, TRUSTEE 130 FERRY RD BRISTOL, RI 02809

MCSOLEY, JANE M 142 FERRY RD BRISTOL, RI 02809

NUGENT, JANE E. 3 FESSER AVENUE BRISTOL, RI 02809 SCHROTH, FERD & SCHROTH A 5 GRISWOLD AVE BRISTOL, RI 02809

SIMANSKI, MERSINA 195 COLONIAL DR TIVERTON, RI 02878

1

TENTE, WILLIAM E & DONNA 114 FERRY RD BRISTOL, RI 02809

TROMP, THOMAS A. & TIJA Z 137 FERRY RD BRISTOL, RI 02809

YANYAR, VIRGINIA M. LIFE REV LT VIRGINIA M. YANYAR 141 FERRY RD BRISTOL, RI 02809 DILENIO 2025 20

Zoning Board of Review

STAFF REPORT FOR:

FILE NO. 2025-20		
APPLICANT:	John Marshall / JM Bristol, LLC	
LOCATION:	8 Constitution Street	
PLAT: 11	LOT: 20	ZONE: Residential R-6

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

Construct a second-story living area addition, 5ft. x 18ft. front porch and 3.5ft. x 14ft. rear balcony/deck additions, to an existing single-family dwelling with greater than permitted lot coverage by structures.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a dimensional variance to construct a second-story addition to the existing single-family dwelling and to add an enlarged front porch and a new second floor rear balcony/deck to the structure with greater than permitted lot coverage by structures. This property is located on the southerly side of Constitution Street just east of Thames Street within the Bristol Historic District. The existing dwelling on this property consists of a single-story cottage structure. The applicant proposes to add a second floor to the dwelling within the existing footprint. In addition, the applicant proposes to remove the existing front porch and to add a new 5' x 18' covered front porch along and a 3.5' x 14' rear second floor balcony. The existing 8'x 10' front porch is located across only a portion of the dwelling, and it extends beyond the front property line into the Constitution Street right of way. The applicant proposes to shorten the front porch from 8 feet to 5 feet so that it is located entirely on private property, and to extend it to 18 feet across the full length of the dwelling.

This property is a nonconforming single lot of record containing approximately 2,720 square feet of lot area. As such, its minimum setbacks are reduced and the maximum permitted lot coverage by structures is increased per Section 28-221(a)(2)b. of the zoning ordinance. I have determined that the applicable minimum property line setbacks for this lot are as follows: 1 foot front yard (average of block with reduction for lot size); 4.5 foot side yards; and 9 foot rear yard. I have also determined that the maximum permitted lot coverage by structures is 38.7 percent. Thus, the proposed second floor addition and the proposed front porch and rear balcony additions all conform to required minimum property line setbacks. However, the proposed lot coverage by structures is calculated at 53.3%. This is a slight increase from existing conditions due to the expanded front porch and the rear balcony additions. Please note that the survey plan included with this application shows a slightly larger existing lot coverage of 54.5%. However, this calculation includes the portion of the existing front porch that is located within the street right of way and should not be included.

As this property is located within the Bristol Historic District, any exterior modifications to the structures require approval of the Bristol Historic District Commission (HDC). The HDC approved construction of the proposed second floor and porch/balcony additions at its meeting on May 1, 2025 (see attached HDC decision_letter).

Edward M. Tanner, Zoning Officer

about:blank

Item 4D



10 COURT ST.

BRISTOL, RI 02809

401-253-7000

Application 25-43

AND IN THE RELEASE

Bristol Historic District Commission Decision Letter

May 2, 2025

8 Constituition St, Plat #11, Lot #20

John Marshall/John Marshall 950 Warren Ave RE: BHDC Review

Dear Applicant:

At its May 1, 2025 meeting, the Bristol Historic District Commission reviewed your proposed work on the property noted above; the motion on your application was as follows:

To approve application 25-43 to:

- Add second floor with modification of setting back frontage of addition 1 foot.

- Modify proposed fiberglass front door to wood.

- Modify proposed windows in addition to diamond pattern to match orignial

- Rafter Tails on second floor

- Other details as presented.

The Findings of Facts include that this decision conforms to the Secretary of the Interior's Standards for:

5 - Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

9 - New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Commission member will be your project monitor. If you need to speak with your monitor(s) or are ready for final review of the completed project please call me at Town Hall, 401-253-7000 x153, and I will contact them for you.

The Certificate of Appropriateness, referred to at the meeting as the "Green Sheet", is part of your permit and will be issued on approval. Work cannot begin, nor a building permit obtained, without your signing this document. Once signed and completed, a copy of the Certificate will be sent to you via the online permitting software, authorizing you to begin your work.

Sincerely,

Nicholas Toth Planner/HDC Clerk Town of Bristol Department of Community Development



STAFF REPORT FOR:

FILE NO. 2025-21

APPLICANT:	Brian Hutchison	
LOCATION:	127 Peck Avenue	
PLAT: 61	LOT: 8	ZONE: Residential R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 24ft. x 38ft. single-story mudroom and accessory dwelling unit (ADU) addition to the rear of an existing single-family dwelling with less than the required rear yard, less than the required left side yard, and greater than permitted lot coverage by structures.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting dimensional variances to construct an addition to the rear of an existing single-family dwelling at this property located on the northerly side of Peck Avenue. The existing dwelling on this property consists of a single-story ranch style house with a footprint of approximately 1,124 square feet. The applicant proposes an addition to the rear and left side of the existing dwelling. The proposed addition includes a 24ft. x 38ft. single-story mudroom / entranceway and accessory dwelling unit (ADU). The proposed two bedroom ADU would be occupied by a disabled family member of the applicant. Thus, as an owner occupied dwelling, the ADU is permitted by right per state law and Section 28-151 of the zoning ordinance. Although the ADU is a permitted use, the proposed addition is subject to all applicable dimensional requirements of the zoning ordinance.

This property is a nonconforming single lot of record containing approximately 5,685 square feet of lot area. As such, its minimum property line setbacks are reduced and the maximum permitted lot coverage by structures is increased from R-10 requirements per Section 28-221(a)(2)b. of the zoning ordinance. I have determined that the applicable minimum property line setbacks for this lot are as follows: 17 foot front yard; 17 foot rear yard; and 8.5 foot side yards. I have also determined that the maximum permitted lot coverage by structures is 35.75 percent. The proposed addition would be located approximately 4 feet 4 inches from the rear property line and approximately 7 feet 2 inches from the westerly left side property line. The proposed lot coverage by structures is 42.7%.

7/1/25

Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. 2025-22

APPLICANT:	David Butera
------------	--------------

LOCATION: 133.5 Ferry Road

PLAT: 165 LOT: 4

ZONE: Residential R-40

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct an approximate 44ft. x 68ft. two-story single-family dwelling with less than the required left and right side yards; and to construct a 26ft. x 28ft. two-story accessory garage structure with a 6ft. x 12ft. second story deck at an overall size and height greater than permitted for accessory structures in the R-40 zoning district.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting dimensional variances to construct a new single-family dwelling and detached accessory garage structure at this property located on the westerly side of Ferry Road. This property is an undeveloped waterfront parcel containing approximately 1.09 acres of lot area. Recall that in July 2019, the Board approved dimensional variances (File #2019-26) for the creation of this lot with less than the required lot frontage and less than the required lot width for the R-40 zoning district. The applicant now proposes construction of an approximate 44ft. x 68ft. two-story dwelling to be located within approximately 21 feet of the northerly right side property line and within approximately 23 feet of the southerly left side property line. The zoning ordinance requires a minimum 25 foot side yard setback in the R-40 zone.

The applicant also proposes construction of a two-story accessory garage structure with living space above. This structure would measure 26ft. x 28ft. in size but would also have a 6ft. x 12ft. deck off the second floor. Thus, the overall size of the structure would exceed the 26' x 28' maximum size permitted for an accessory structure in the R-40 zone. The proposed accessory structure would also have a height of 22.5 feet from grade to the peak of the roof. The zoning ordinance permits accessory structures to a maximum height of 20 feet in the R-40 zone. It appears that the proposed living space on the second floor of the accessory structure would be considered an accessory dwelling unit (ADU). As this property contains more than 20,000 square feet of lot area, an ADU is permitted by right within a new structure per state law and Section 28-151 of the zoning ordinance. Although the ADU is a permitted use, the proposed accessory structure is subject to all applicable dimensional requirements of the zoning ordinance.

F/1/25

Edward M. Tanner, Zoning Officer

June 2, 2025

Bristol Zoning Board of Review 10 Court Street Bristol, RI 02809

Dear Members of the Zoning Board,

We are writing to respectfully request an extension of the zoning setback relief granted to us in June 2023 for our small property located at 12 Paine Avenue.

As background, we purchased this tiny, and unusually narrow, lot with the dream of thoughtfully developing it into a beautiful, small single-family home. The structure that existed on the site was unfortunately in a state of severe disrepair—uninhabitable, very unsafe, and beyond any hope of restoration. We sought and were granted reasonable zoning relief to proceed with plans for new construction that would contribute positively to our community's housing needs. We were grateful and excited for the Board's approval, and for the support we received from our neighbors around the property throughout the process.

Shortly after receiving the variances, we were granted a demolition permit and completed the demolition of the previous structure, a most necessary step with the intent to act on the project in good faith and in line with your approval. The fun began!

However, not long after, even more fun! Life brought an unexpected and beautiful turn: We learned we were expecting a new baby. This joyful news was accompanied by a very difficult pregnancy and, eventually, the full-time care of two babies under the age of two. It has been a season of chaos and love, but as we're sure you can imagine—we were temporarily unable to move forward with construction as swiftly as we had hoped.

Our intention remains the same and we are now jumping back into this planning process to build a small, high-quality home that will certainly add to the beautiful character of the street and be a lasting asset and improvement to the neighborhood.

We are submitting this request in advance of our variance expiration date, seeking a possible extension on our Zoning relief granted. We are deep in our planning process and hope to begin this exciting planning in the months ahead. We hope the Board will find our progress to date and our unforeseen personal circumstances to be reasonable cause for granting this extension.

We remain deeply committed to seeing this project through to completion and appreciate the opportunity to continue our work in our beloved town! Thank you for your time, understanding, and continued service to our community.

Respectfully,

Nathan and Sarah Dell Currently residing at 10 Kingswood Road, Bristol, RI 02809