



TOWN OF BRISTOL, RHODE ISLAND

TECHNICAL REVIEW COMMITTEE

Technical Review Committee Agenda

Tuesday, January 23, 2024 at 10:00 AM

Community Development Office Conference Room, 235 High Street,
1st Floor, Bristol, RI 02809

A. Pledge of Allegiance

B. New Business

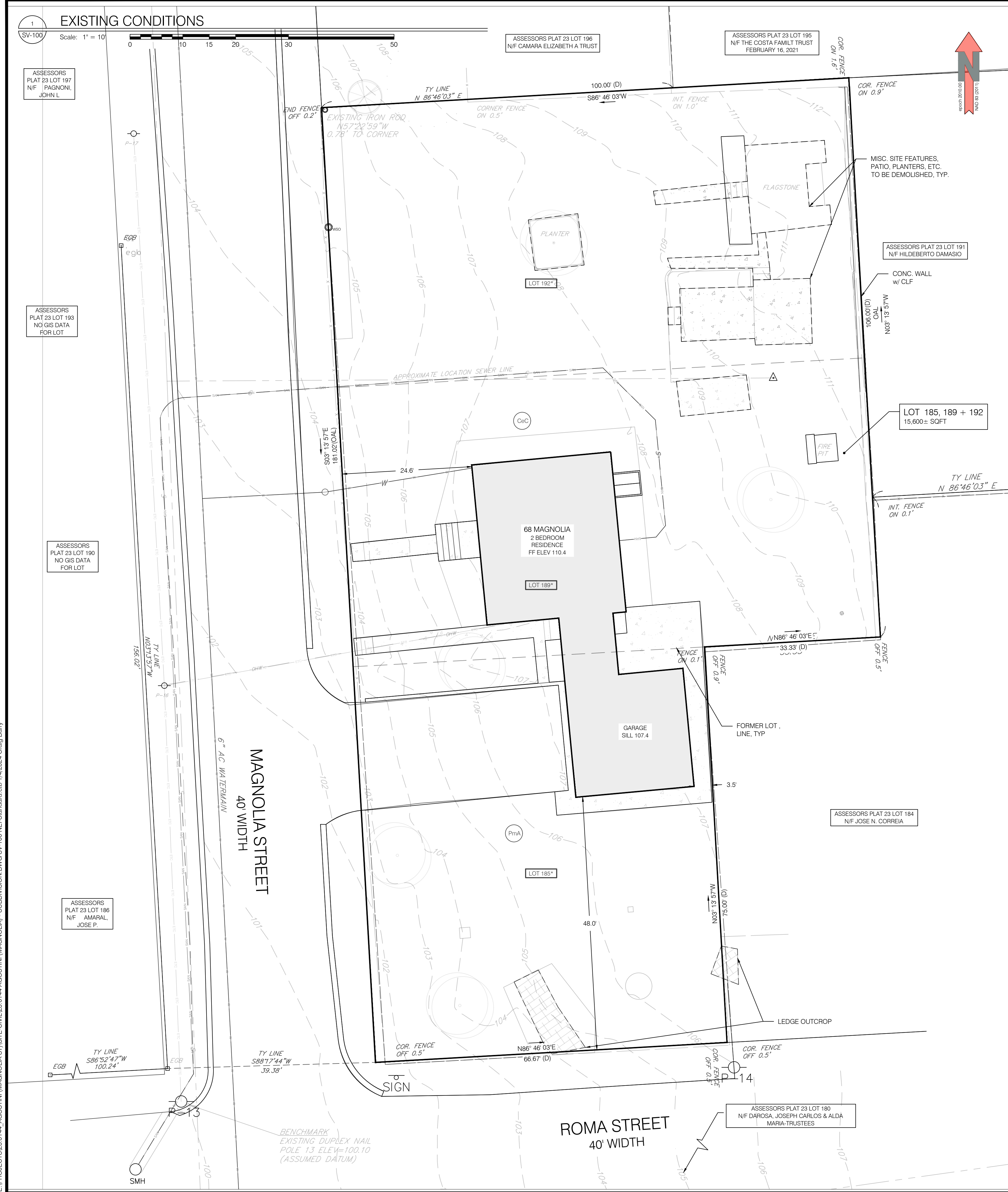
B1. Preliminary Application for Unified Development/Minor Subdivision to perform a minor subdivision to re-divide a merged lot and create two lots of record, lot 189 and 192 with lot 192 containing the existing structure with the option to maintain a multi-family dwelling. Lot 189 will remain vacant with plans for a conforming structure in the future to include dimensional variances for minimum lot size and minimum frontage.

The property is zoned R-6, Assessor's Plat 23, Lots 185, 189, 192. Owner/Applicant: Magnolia Improvements, LLC, 243 Narragansett Park Dr., Rumford, RI 02916

C. Adjourn

Date: January 11, 2024

By: mbw



SURVEY NOTES:

- ZONING INFORMATION SHOW FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
- ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
- COORDINATE SYSTEM IS RI3800 / NAVD 88.
- PLAN ELEMENTS ARE IN U.S. SURVEY FEET.
- TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND RI SPRING 2011 LIDAR.
- ORTHOPHOTOGRAPHY NOT SHOWN.
- ELEVATIONS SHOWN WITH " PER UAV DATA.
- ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
- PLAN IS NOT AS-BUILT UTILITY PLAN.
- ABUTTING PROPERTY LINES SHOWN APPROXIMATELY PER TOWN GIS OR BEST AVAILABLE INFORMATION.
- FLOOD ZONE LINE IS SHOWN PER GRAPHIC PLOTTING ONLY, UNLESS OTHERWISE NOTED ON PLAN.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OF PROBATE SEARCH, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL: 1-800-344-7233 (1-800-DIG-SAFE).

REFERENCES

PLAT BOOK B PAGE 55
BRISTOL COUNTY REALTY COMPANY INC...
1940...SCALE 1"=40'...H.S. JEWELL

REFERENCE SURVEY PROVIDED BY OTHERS:
PLAN BY ALPHA ASSOCIATES
EXISTING CONDITIONS SURVEY PLAN
AP 23 LOT 185, 189, & 192
68 MAGNOLIA ST BRISTOL RI
SCALE 1" = 10' DATE AUG 13, 2021
SHOWN AS XREF (SCREENED)

Zone	R-6
Minimum lot area	6,000 s.f.
Minimum lot area per dwelling unit	6,000 s.f. for first dwelling unit, plus 4,000 s.f. for each additional dwelling unit
Minimum lot area per rooming unit	2,000 s.f.
Minimum lot width	60 ft. for 1 dwelling unit, 80 ft. for 2 dwelling units, 100 ft. for all other uses
Minimum frontage	60 ft.
Maximum lot coverage by structures	30% for residential, 35% for any other use
Minimum front yard setback	Average setback of the block or 20 ft., whichever is less
Minimum side yard setback	10 ft.
Minimum rear yard setback	20 ft.
Maximum height of principal structures (**)	35 ft. or average of block whichever is greater
Maximum height of accessory structures (4)	20 ft.
Maximum height of accessory structures (4)	20 ft.
Maximum size of accessory structures (4)	22 ft. x 24 ft.

No.	LOT	DESCRIPTION	AREA	UNITS
1	189, 185, 192	EXISTING AREA	15,600	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
3				S.F.
9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	9.2%	
		MAXIMUM LOT COVERAGE	30%	

BRISTOL ZONING ORDINANCE SECTION 28-221:

(2) Adjacent lawfully established undeveloped lots, or adjacent lawfully established developed and undeveloped lots, in the same ownership in the OS, E1, R-1S, R-10, R-150V, R-8 and R-9 zones which have less than the minimum area or frontage requirements shall be deemed to be merged together as one lot by operation of this chapter. Any such merged lot shall not be divided except as follows:

- Any such division shall be deemed to be a subdivision and subject to all requirements of the subdivision regulations of the town, including without limitation the requirement for planning board approval; and
- All resulting lots must meet all dimensional requirements of this chapter, including without limitation, the minimum lot area and frontage requirements, or obtain a dimensional variance from the zoning board of review. The zoning board may grant a dimensional variance for previously merged lots from the requirements of this merger provision wherein the zoning board may make a specific finding of fact that lots, as merged, will be of a size generally in conformance with the area of developed lots in the surrounding vicinity. Such lots shall further have the minimum width requirement of lots in that zone generally or at the very least shall have a lot width of not less than 80 percent of the lot width required for the underlying zone.

SHEET INDEX:
SV100: EXISTING CONDITIONS
SV101: PROPOSED SUBDIVISION
C100: PROPOSED SITE PLAN (GRADING + UTILITIES)
C101: DETAILS AND NOTES

LEGEND

- 100.00' DIMENSION - EXISTING
- 100.00' DIMENSION - PROPOSED
- 100.00' (D) PLAN / DEED DIMENSION
- 100.00' (S) SURVEY DIMENSION
- PROPERTY LINE - ABUTTING
- PROPERTY LINE - EXISTING
- PROPERTY LINE - PROPOSED
- SETBACKS
- GRADE CONTOUR - EXISTING
- GRADE CONTOUR - PROPOSED
- ELECTRIC - OVERHEAD (OHE)
- ELECTRIC - TELEPHONE - CABLE (ETC)
- ELECTRIC - UNDERGROUND (UGE)
- GAS (G)
- SANITARY SEWER (S)
- STORM DRAIN (SD)
- WATER
- LIMIT OF DISTURBANCE (LOD)
- SEDIMENT CONTROL (SED)
- LOD / SED
- EDGE OF PAVEMENT - EXISTING
- FENCE - METAL
- FENCE - WOOD
- STONE WALL
- BRUSH LINE (APPROXIMATE)
- WETLAND LIMIT
- CATCH BASIN
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- ELECTRICAL MANHOLE
- TELEPHONE MANHOLE
- WELL
- GATE VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- ELECTRIC BOX (ETC)
- UTILITY POLE
- DOWNSPOUT
- BENCHMARK
- CURB INLET
- STRUCTURE, EXISTING
- STRUCTURE, PROPOSED
- SPOT GRADE - EXISTING
- SPOT GRADE - PROPOSED
- TREE
- DRILL HOLE
- GRANITE BOUND
- REBAR / STEEL PIPE FOUND
- SPIKE
- WETLAND FLAG
- COASTAL FEATURE FLAG
- COASTAL BUFFER POST
- FLOW ARROW
- SOIL EVALUATION

NEI
Narragansett
Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
AGOSTINI SUBDIVISION
EXISTING CONDITIONS

Josh Agostini
58 Magnolia St
Bristol, RI 02809
T: 774-991-2406
E: josh@ettebuildingteam.com

Property Records
68 Magnolia St, Bristol, RI 02809
Plat: 23 Lot: 189
Zone: R-6, Area: 0.122 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

Roma St, Bristol, RI 02809
Plat: 23 Lot: 185
Zone: R-6, Area: 0.103 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

Magnolia St, Bristol, RI 02809
Plat: 23 Lot: 192
Zone: R-6, Area: 0.122 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

CERTIFICATION
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 (EFFECTIVE DATE), AS FOLLOWS:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR USE IN SUBDIVISION PLANNING AND DESIGN
LIMITED CONTENT BOUNDARY SURVEY - CLASS I
DATA ACCUMULATION SURVEY - CLASS III
TOPO T-2

NEAL K. HINGORANY
#2515
PROFESSIONAL
LAND SURVEYOR

NEAL HINGORANY REG. 2515
COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH

No	DATE	REVISIONS/DESCRIPTION	BY

PURPOSE + GOALS
ALLOW PROPOSED LOT 192 TO REMAIN > 10,000 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND AVOID FURTHER RELIEF).
AS SUCH, PROPOSED LOT 189 IS LIMITED TO ~56' WIDTH AND 5,998 SQFT. REQUISITE VARIANCES ARE REQUESTED.
A SINGLE FAMILY DWELLING IS PROPOSED ON LOT 189

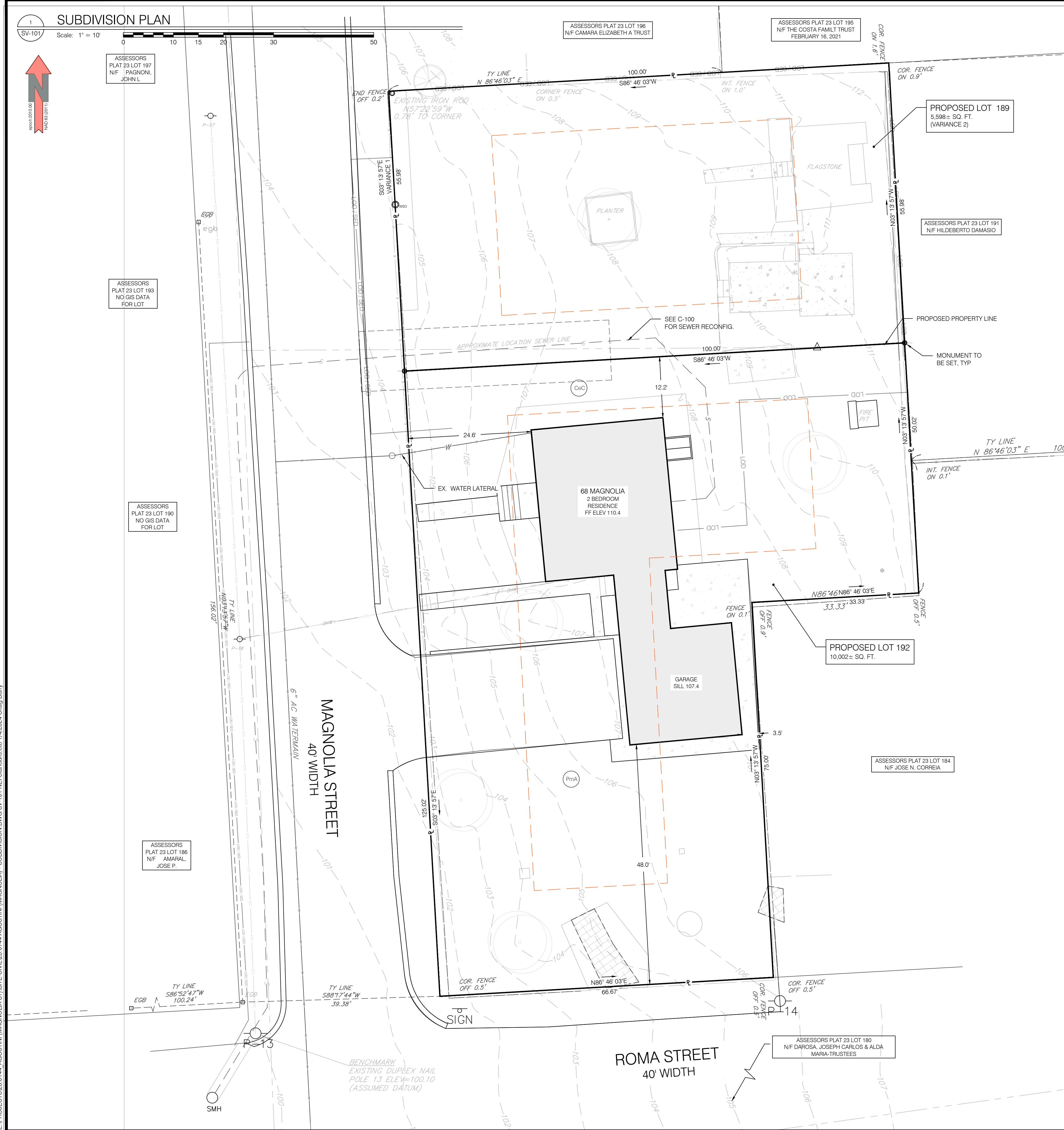
LOTS 185 + 192 + 189 ARE A SINGLE LOT OF RECORD (MERGED)
THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD
LOT 189 (68 MAGNOLIA)
LOT 192

DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



SCALE 1" = 10'

SV-100



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 4. PLAN ELEMENTS ARE IN U.S. SURVEY FEET
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 6. ORTHOPHOTOGRAPHY NOT SHOWN.
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 8. ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
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 13. LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL. # 1-800-344-7233 (1-800-DIG-SAFE).
- A. WATER - SHOWN PER PLAN REFERENCE # 1
B. SEPTIC, SEWER PER FIELD CARD + SURFACE ELEMENTS
C. GAS - PER SURVEY REF.
D. ELECTRIC - SHOWN PER PLAN REFERENCE # 1
E. STORM DRAIN - NOT SHOWN
- ALL UTILITIES DEPICTED AT ASCE QUALITY LEVEL D.

Zone	R-6
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Minimum lot area per dwelling unit	6,000 s.f. for first dwelling unit, plus 4,000 s.f. for each additional dwelling unit
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EXISTING LOT COVERAGE COMBINED LOTS

No	LOT	DESCRIPTION	AREA	UNITS
1	189,185,192	EXISTING AREA	15,600	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
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9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	9.2%	
		MAXIMUM LOT COVERAGE	30%	

PROPOSED LOT 192 COVERAGE

No	LOT	DESCRIPTION	AREA	UNITS
1	192	PROPOSED LOT AREA	10,002	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
3				
9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	14.3%	
		MAXIMUM LOT COVERAGE	30%	

VARIANCE REQUEST TABLE

No.	Lot	Regulation	Description	Prescribed	Provided	Request	Units
1	189	28-111	LOT FRONTAGE	60	56	4	Feet
2	189	28-111	LOT AREA	6,000	5,598	402	Sq. Ft.

*Rear setback for proposed lot 192 is a pre-existing nonconformity

NEI
Narragansett Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
AGOSTINI SUBDIVISION
PROPOSED SUBDIVISION

Josh Agostini
58 Magnolia St
Bristol, RI 02809
T. 774-991-2406
E. josh@ettebuildingteam.com

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NEAL K. HINGORANY REG. 2515
COA: A38

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AS SUCH, PROPOSED LOT "189" IS LIMITED TO ~56' WIDTH AND 5,598 SQFT. REQUISITE VARIANCES ARE REQUESTED.
A SINGLE FAMILY DWELLING IS PROPOSED ON LOT "189"

LOTS 185+192+189 ARE A SINGLE LOT OF RECORD (MERGED)
THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD
LOT 189 (68 MAGNOLIA)
LOT 192

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SCALE 1" = 10'
SV-101

SITE DESIGN NOTES

- BUILDINGS, UTILITIES AND GRADING SHOWN ARE SCHEMATIC ONLY
- UTILITY SERVICE LINES SHALL BE CONSTRUCTED IN CONFORMANCE WITH AHJ REQUIREMENTS.
- BMP'S SHOWN ARE SCHEMATIC, SHOWING THE APPROXIMATE LOCATION AND SIZE FOR MASTER PRELIMINARY
- PATIOS SHALL BE CONSTRUCTED ON GRADE IN CONFORMANCE WITH ZONING ORDINANCE TO AVOID REQUIRING AREAS TO BE ADDED TO LOT COVER
- A DRIVEWAY/CURB CUT APPLICATION AND PHYSICAL ALTERATION/EXCAVATION PERMIT MUST BE SUBMITTED BY THE NEW OWNER WHEN HOME CONSTRUCTION IS BEING PLANNED.

DESIGN NOTE:
FOUNDATION AND DAMP PROOFING MAY BE REQUIRED SUBJECT TO ARCHITECTURAL DESIGN. ARCHITECT / CONTRACTOR TO COORDINATE ANY SUBDRAINS AND SUMP PUMPS LOCATIONS AND CONSTITUENCY

GENERAL NOTES:

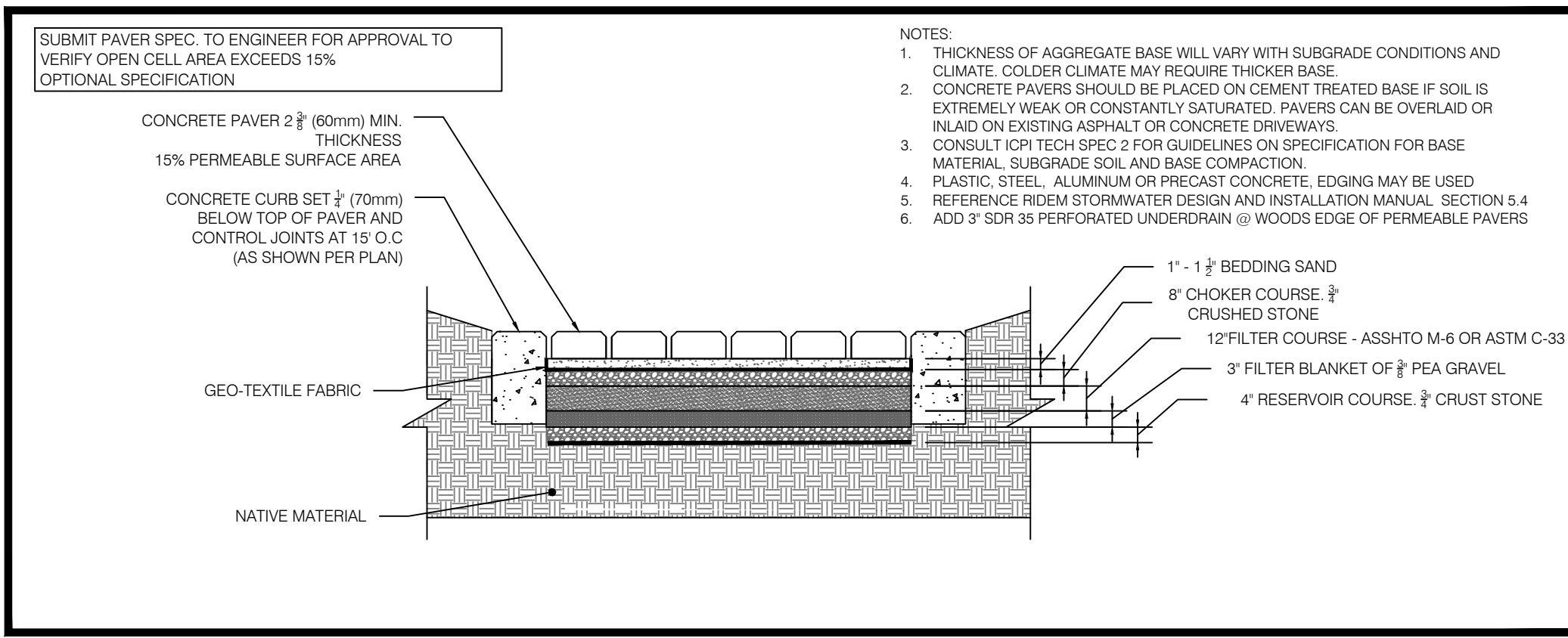
- THE STATE OF RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION OR LATEST REVISION. THE 2004 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
- IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER PRIOR TO OCCURRENCE OF DEVIATION
- ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PREFORMED TO THE ENGINEERS SATISFACTION
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED
- EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVES
- DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. 'DIG SAFE' SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION
- NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE
- ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES

GRADING AND UTILITIES NOTES:

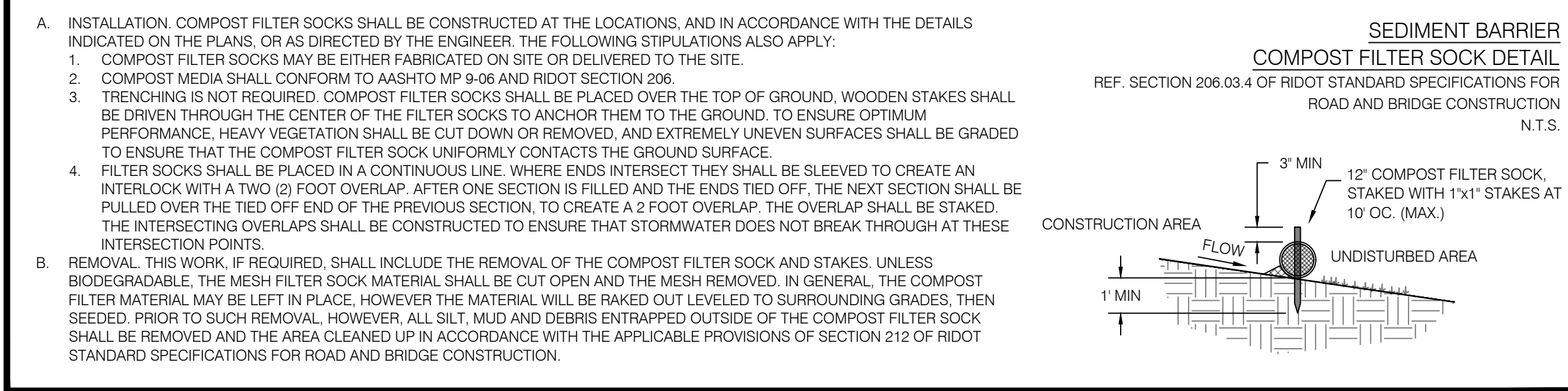
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS
- ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE. AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE
- ALL WATER WORKS SHALL HAVE 5 FEET OF COVER
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANY
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATION AT NO COST TO THE OWNER
- PITCH EVENLY BETWEEN ALL SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY, ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK
- REFER TO RECORDS BY CITY OF NEWPORT UTILITIES FOR LATERAL INFORMATION
- ANY EXISTING UNKNOWN UTILITIES SHALL BE ALLOWED TO REMAIN IN THEIR PRESENT LOCATION UNLESS OTHER PROVISIONS ARE MADE FOR EASEMENTS

EROSION AND SEDIMENT CONTROL NOTES:

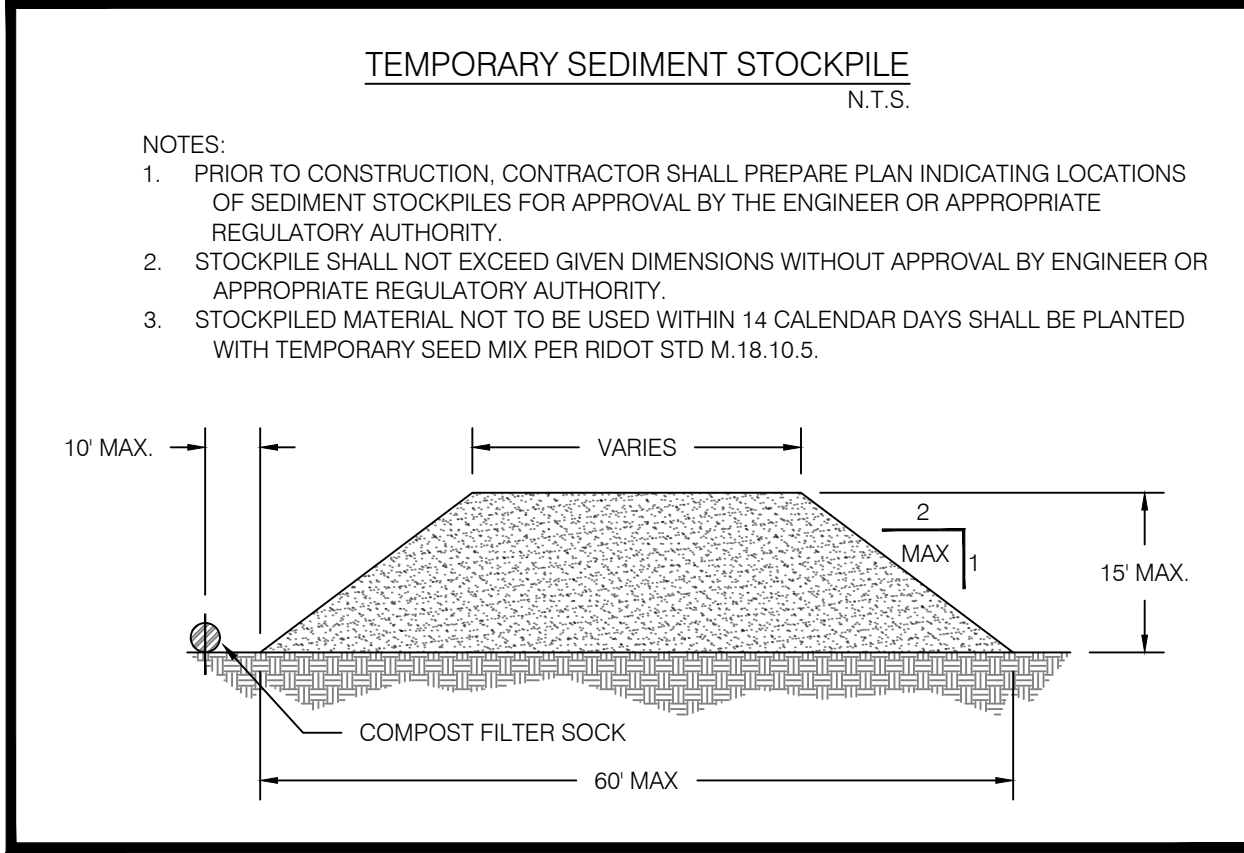
- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ONCE WEEKLY OR AFTER EVERY RAINFALL EVENT GREATER THAN 0.25 INCHES.
- SEDIMENT BUILD UP GREATER THAN ONE-HALF THE BARRIER HEIGHT SHALL BE REMOVED AND DISPOSED OF PROPERLY AS REQUIRED. ANY SEDIMENT BUILD UP OUTSIDE OF THE SEDIMENT BARRIER SHALL BE REMOVED IMMEDIATELY
- CONTRACTOR SHALL MAINTAIN A RESERVE OF EROSION CONTROL MATERIALS FOR EMERGENCY USE AND ROUTINE MAINTENANCE
- THE CONTROLS SHOWN ON THESE PLANS ARE INTENDED AS MINIMUM MEASURES. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMPLEMENTED BY THE CONTRACTOR IF WARRANTED OR REQUESTED BY THE OWNER, OWNERS REPRESENTATIVE, ENGINEER, OR ANY APPLICABLE REGULATING AGENCY.
- PRIOR TO THE START OF ANY LAND CLEARING / GRUBBING OR OTHER CONSTRUCTION ACTIVITY THE PERIMETER CONTROLS SHALL BE PLACED, PROPERLY CONSTRUCTED AND CLEARLY VISIBLE. THESE CONTROLS SHALL REPRESENT THE LIMITS OF WORK AND WORKERS SHALL BE NOTIFIED THAT NO CONSTRUCTION ACTIVITY IS ALLOWED BEYOND THESE CONTROLS
- IF OR AS POSSIBLE CONSTRUCTION SHALL BE PHASED TO LIMIT TO THE MAXIMUM EXTENT PRACTICABLE THE AMOUNT OF EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES
- THE CONTRACTOR SHALL SCHEDULE WORK IN A WAY TO ALLOW POSITIVE DRAINAGE OF SUBGRADE THROUGHOUT CONSTRUCTION
- CONSTRUCTION ENTRANCES PER RIDOT STANDARD DETAIL 9.9.0 SHALL BE EMPLOYED AT ALL POINTS OF INGRESS AND EGRESS FROM THE SITE
- TEMPORARY DIVERSIONS, SEDIMENT BASINS, AND TEMPORARY SWALES MAY BE USED AND SHALL BE SIZED ACCORDING TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED PER RIDOT STANDARD DETAIL 9.8.0 IN GRASSED AREAS OR SEDIMENT BAGS IN PAVED AREAS
- TEMPORARY SEDIMENT STOCK PILES SHALL BE KEPT MOIST AND COVERED AT ALL TIMES. CALCIUM CHLORIDE SHALL ONLY BE USED IF AN APPROVAL FROM THE TOWN/CITY OR OTHER APPLICABLE AGENCY HAS BEEN GRANTED
- DEWATERING FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREAS AND DISCHARGED INTO A DEWATERING BASIN PER RIDOT STANDARD 9.7.0. HAYBALE CORRALS, OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL ENSURE THAT NO CONTAMINATE IS PRESENT IN ANY WATERS PRIOR TO DISCHARGE FROM SITE AND IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL AND LABOR REQUIRED FOR THE SITE WATER REMOVAL DURING CONSTRUCTION
- CONSTRUCTION WASTE MATERIALS SHALL BE KEPT ON-SITE AND DISPOSED OF IN AN APPROVED AND APPROPRIATE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCIES.
- RIPRAP SHALL BE USED WHERE NECESSARY TO CONTROL EXIT VELOCITIES
- NON MOBILE (I.E. TRACKED MACHINERY) SHALL BE MAINTAINED WITHIN THE LIMIT OF DISTURBANCE DEFINED BY SEDIMENT BARRIER
- NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE ESTABLISHMENT OF APPROPRIATE VEGETATION
- THE CONTRACTOR SHALL NOT REMOVE ANY EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE SITE HAS OCCURRED
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO THE FINAL SITE ACCEPTANCE



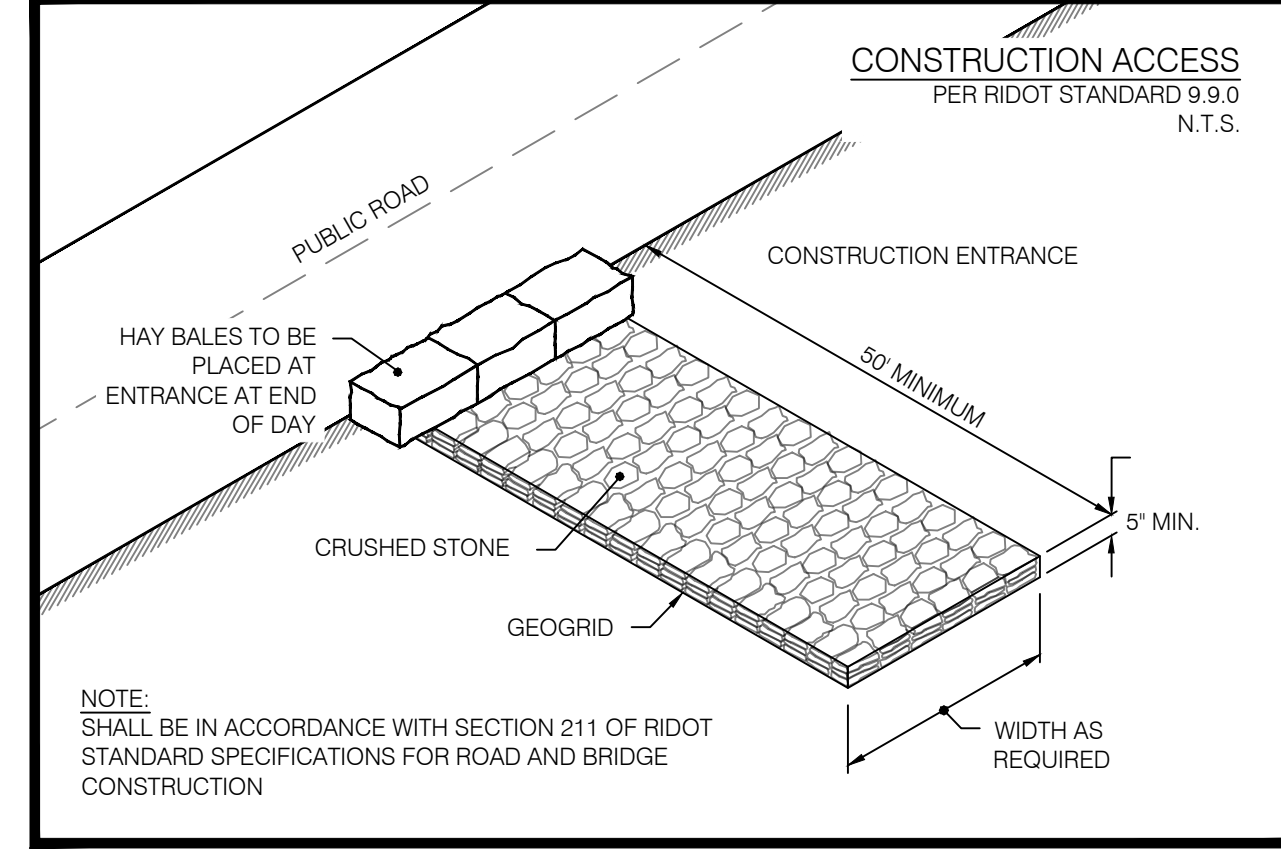
1 PERVIOUS PAVER DETAIL ALTERNATE TO CRUSHED STONE DRIVE
SCALE: NOT TO SCALE



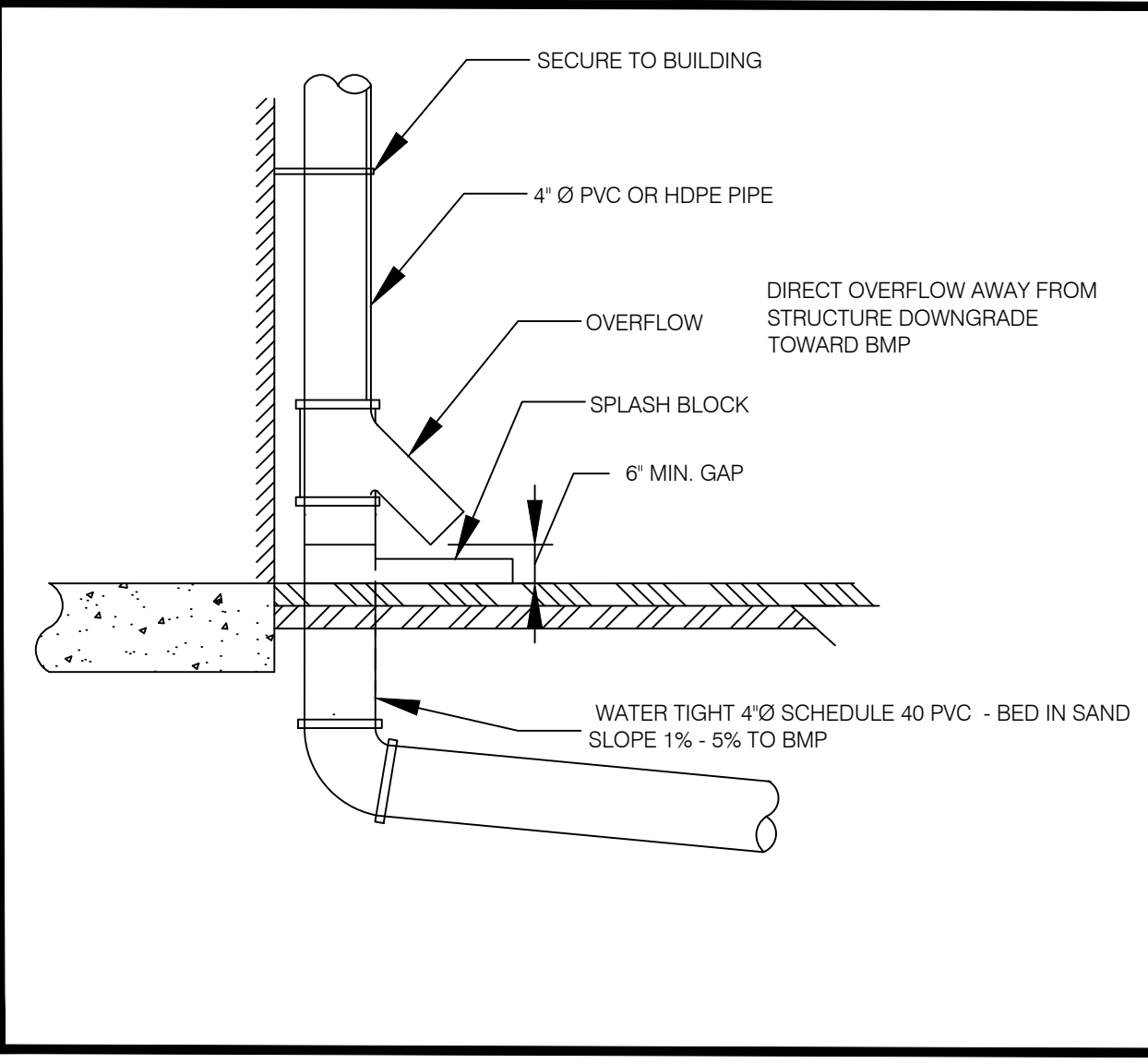
2 COMPOST FILTER SOCK (SED)
SCALE: NOT TO SCALE



3 STOCKPILE DETAIL
SCALE: NOT TO SCALE



4 CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



5 ROOF DRAIN TYPE C
SCALE: NOT TO SCALE

NEI
Narragansett Engineering Inc.
Civil - Survey Structural Environmental Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
AGOSTINI SUBDIVISION
PROPOSED SITE/CIVIL PLAN
GRADING AND UTILITIES

Josh Agostini
58 Magnolia St
Bristol, RI 02809
T: 774-991-2406
E: joshag@ettebuildingteam.com

Property Records
68 Magnolia St, Bristol, RI 02809
Plat: 23, Lot: 189
Zone: R-6, Area: 0.122 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

Magnolia St, Bristol, RI 02809
Plat: 23, Lot: 192
Zone: R-6, Area: 0.103 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

Magnolia St, Bristol, RI 02809
Plat: 23, Lot: 192
Zone: R-6, Area: 0.122 Acres
N/F: Magnolia Improvements LLC
Year Built: 1950
Book/Page: 2082-255

NEAL K. HINGORANY
No. 2515
PROFESSIONAL
LAND SURVEYOR

NEAL HINGORANY REG. 2515
COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH
No	DATE	REVISIONS/DESCRIPTION	BY

PURPOSE + GOALS
ALLOW PROPOSED LOT '192' TO REMAIN > 10,000 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND AVOID FURTHER RELIEF). AS SUCH, PROPOSED LOT '189' IS LIMITED TO ~56' WIDTH AND 5,598 SQFT. REQUISITE VARIANCES ARE REQUESTED. A SINGLE FAMILY DWELLING IS PROPOSED ON LOT '189'

LOTS 185 + 192 + 189 ARE A SINGLE LOT OF RECORD (MERGED). THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD LOT 189 (68 MAGNOLIA) LOT 192

E:\PROJECTS\23.0144_AGOSTINI (MAGNOLIA ST) SUBDIVISION.DWG C-101 NEI-Standard.cdb 1/4/2024 Craig Barry

NEI Job
TOWN 23:0114:STO.
COMMUNITY DEV.

2024 JAN -5 AM 11:54

**APPLICATION FORM AND SUBMISSION CHECKLIST FOR
MINOR SUBDIVISIONS**

Minor Subdivision - A plan for a residential subdivision of land consisting of five (5) or fewer units or lots, provided that such subdivision does not require waivers or modifications.

The following completed application form together with the appropriate materials from Items A, B, C, D, and E for either a preliminary or a final application, as indicated on the attached checklist, shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: _____ Planning Board Meeting Date: _____

APPLICATION FORM

Type of Application: Preliminary: Final:

1. Name of proposed subdivision: Agostini Subdivision

Name, address and telephone number of property owner:

Magnolia Improvements LLC
243 Narragansett Park Dr, Rumford RI 02916
774-991-2406

2. Name, address of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same as owner

3. Plat and lot number(s) of the parcel being subdivided: Plat 23 Lot 185, 189, 192

4. Area of the subdivision parcel(s): 15,600

5. Zoning District(s), including any special Town or State overlay districts (i.e. Historic District, CRMC Jurisdiction, etc.):

R-6

6. Name and owner of existing streets or rights of way within and immediately adjacent to the parcel being subdivided:

Magnolia St Town of Bristol

Roma St Town of Bristol

**SUBMISSION CHECKLIST
MINOR SUBDIVISION**

P = Preliminary

F = Final

	P	F	Applicant ✓	Date & Town Initials
NOTE: All plan sheets must include Title Block and items B 1-7.	•	•	✓	
A. Plan of Existing Conditions - Five (5) blueline or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features.	•		✓	
B. Subdivision Plans - Preliminary Plans - Five (5) blueline or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 18" x 24" at a scale of 1" = 40' with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc.)	•		✓	
Final Plans - Five (5) bluelines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon certification of completeness, one (1) reproducible mylar*, three (3) bluelines or photocopies, and one electronic AutoCAD file of all plans shall be submitted; however, if a street connection or extension is proposed, one (1) reproducible mylar*, six (6) blueline or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 18" x 24" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor.		•		
The subdivision plans shall contain the following:				
1. Name and address of property owner or applicant;	•	•	✓	
2. Name, address, and telephone number of preparer;	•	•	✓	
3. Assessor's Plat and Lot Numbers;	•	•	✓	
4. Zoning District of the land; if the zone splits the property, the zoning boundary must also be shown;	•	•	✓	
5. Date of plan preparation, with revision date(s) (if any);	•	•	✓	
6. Graphic scale (1" = 40' or larger) and north arrow;	•	•	✓	
7. Legend showing all symbols;	•	•	✓	
8. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines; These shall be marked in the field by survey stakes to identify the limits of the property;	•	•	✓	
9. Names of abutting property owners and property owners across any adjacent streets;	•	•	✓	

P = Preliminary

F = Final

10. Location and dimensions of existing property lines, easements, reservations, and rights-of-way within or immediately adjacent to the parcel being subdivided;	•	•	✓	
11. Location of all existing utilities (gas, water, sewer, electric); including abandoned wells and individual sewage disposal systems with a notation as such;	•	•	✓	
12. Location of all proposed utilities;	•	•	✓	
13. Location, width and names of existing streets; and, if street creation or extension is proposed, the location, width and names of the proposed streets;	•	•	✓	
14. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording);	•	•	✓	
15. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated;	•	•	✓	
16. Location, size, and proposed use of existing buildings and structures including historic designation, if any;	•		✓	
17. Location of wooded areas with a notation of existing trees with a twelve inch (12") or larger caliper, if any;	•		✓	
18. Existing contours with intervals of two (2) feet;	•		✓	
19. Notation as to the flood zone of the subject property;	•		✓	
20. Provisions for collecting and discharging stormwater;	•	•	✓	
21. Location of agricultural areas, if any;	•		✓	
22. Location of other significant existing natural and manmade environmental features including rock outcrops and stone walls, if any;	•		✓	
23. Location of historic cemeteries on or immediately adjacent to the subdivision parcel, if any;	•		✓	
24. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel as determined by a RIDEM qualified biologist; {in accordance with RIDEM Wetland Regulations},	•		✓	
25. The location, dimension and area of any land proposed to be set aside as open space, or drainage, or conveyed to the Town for public purposes, if any;	•	•	✓	
26. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated;	•	•	✓	
27. Notation of special conditions of approval imposed by the Planning Board (if any);	•			
28. Notation of any permits and agreements with State and Federal Reviewing agencies (if any);	•			
29. Vicinity Map to show location of property;	•	•	✓	
30. A place for the signatures of the Planning Board Chair or Designee must be provided on all plans and /or documents to be signed by the Planning Board;	•			

P = Preliminary

F = Final

31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards For the Practice of Land Surveying In the State of Rhode Island and Providence Plantations</u> as prepared by the Rhode Island Society of Professional Land Surveyors, Inc., April 1, 1994, as amended. Measurement standards for surveys shall meet the minimum standards for Class I Surveys;	•	•	✓	
C. Construction Drawings - Six (6) blue-line or photocopies of preliminary and final construction plans of proposed street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 18" by 24", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer:	•	•	✓	
1. <u>If a street creation or extension is proposed:</u> a. <i>Street Plans</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location and size of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks. Street plans shall also include all connections to existing public streets including curb cuts, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. Plans showing street names and hydrant locations approved by the Fire Chief;	•	•	✓	
2. If street creation or extension is proposed, or if required by TRC, drainage plans to show the existing and proposed drainage structures, drainage basin areas and drainage flow paths. Also included shall be report summarizing drainage calculations (See Appendix F);	•	•	✓	
3. If street creation or extension is proposed, or if required by TRC, grading plans to show proposed contours at two (2) foot intervals for all proposed grading;	•	•	✓	
4. If street creation or extension is proposed, or if required by TRC, proposed landscaping plan (See Appendix F);	•	•	✓	
5. If street creation or extension is proposed, or if required by TRC, proposed Construction Schedule identifying expected start and finish times for major construction tasks;	•		✓	
6. Soil erosion and sediment control plan, if required in accordance with Appendix F.	•	•	✓	

P = Preliminary

F = Final

7. Temporary Improvements, if any, in accordance with Appendix F	•		✓	
8. Physical Alteration Permit (PAP), if required, from RI Department of Transportation	•		✓	
9. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations.		•		
D. Supporting Materials	•	•	✓	
1. A reduced copy of all plans required in Items A, B and C above (minimum size of 8 1/2" x 11", maximum size of 11" x 17");	•	•	✓	
2. A copy of the current deed and title certificate of an attorney certifying title to the subject property including any encumbrances, easements, and/or temporary or permanent restrictions on said property;	•		✓	
3. If a street creation or extension is proposed, a radius map showing the property within the notice area, as designated in Section 8.5, including: <ul style="list-style-type: none"> a. the shape, dimension, and area of the property; b. location of all zoning district boundary lines; c. the assessor's plat and lot numbers; d. the general location, shape, use, and historic designation of all existing buildings, structures, and improvements; The above information may be shown either on the subdivision plan or on a separate sheet not larger than 11" x 17" with a scale as appropriate;	•		✓	
4. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards.	•		✓	
4. Two signed final copies of all legal documents, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents, if any;		•		
5. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration;	•	•	✓	
6. In lieu of item 5 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or wetland buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations};	•	•	✓	
7. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency;		•		

8. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable);	•	•	✓	
9. Water Service (if proposed):				
a. Written confirmation that the Bristol County Water Authority has reviewed the plan is able to provide water service;	•		✓	
b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted to the Planning Board prior to recording the plan);		•		
10. Sewer:				
a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service;	•		✓	
b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems;	•		✓	
11. Certification from the Tax Collector that all property taxes are current;	•	•	✓	
12. Minor subdivision application form and attachments (i.e. mailing labels);	•		✓	
13. Report from Technical Review Committee;	•	•	✓	
14. Any other information which the Planning Board deems necessary to adequately review the application.				
E. Payment of Required Fees - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board:				
1. Application fee;	•	•	✓	
2. Final plat recording fee;		•		
3. Engineering Review Fee;	•		✓	
4. Performance bond or other financial guarantees (if applicable);		•		
5. Fees in-lieu of land dedication (if applicable);		•		
6. Engineering Inspection Fee (if applicable);		•		
7. Maintenance bond for acceptance of public improvements (if applicable);		•		
8. Receipt that all other fees to outside agencies have been paid by the applicant (if applicable).		•		

** Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*



Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

December 1st, 2023

Town of Bristol RI
Planning Board
10 Court St
Bristol RI 02908

Subject: Minor Subdivision - Agostini 68 Magnolia St Bristol RI 02809 [Plat: 23, Lot:
185,189,192] (NEI job 23.0144)

Minor Subdivision Narrative

Existing Conditions

Three parcels (Plat 23 Lot 185,189,192) that are known as 68 Magnolia St are merged into 1 lot by section 28-221-C-2 (Land Non-conforming by Area) of the Bristol Zoning Ordinance where;

Adjacent lawfully established undeveloped lots, or adjacent lawfully established developed and undeveloped lots, in the same ownership in the OS, EI, R-15, R-10, R-10SW, R-8 and R-6 zones which have less than the minimum area or frontage requirements shall be deemed to be merged together as one lot by operation of this chapter. Any such merged lot shall not be divided except as follows:

Any such division shall be deemed to be a subdivision and subject to all requirements of the subdivision regulations of the town, including without limitation the requirement for planning board approval; and

All resulting lots must meet all dimensional requirements of this chapter, including without limitation, the minimum lot area and frontage requirements, or obtain a dimensional variance from the zoning board of review. The zoning board may grant a dimensional variance for previously merged lots from the requirements of this merger provision wherein the zoning board may make a specific finding of fact that lots, as unmerged, will be of a size generally in conformance with the area of developed lots in the surrounding vicinity.

Such lots shall further have the minimum width requirement of lots in that zone generally or at the very least shall have a lot width of not less than 80 percent of the lot width required for the underlying zone.

This existing lot conforms to the Bristol RI dimensional zoning regulations for an R-6 zone except for the rear setback which is a pre-existing non-conforming condition. There is currently a single-family, 2-bedroom residence located on this lot with sewer and water connection in Magnolia St.

Proposed Minor Subdivision

We would like to perform a minor subdivision on this merged lot and create 2 lots of record, lot 189 and 192.

Lot 192 will contain the existing structure. The square footage of this lot will be 10,002 to maintain the option of a multi-family dwelling. The existing structure conforms to all dimensional setbacks except for the rear setback which was pre-existing non-conforming condition.

Lot 189 will be a vacant lot with plans for a conforming structure in the future. This lot will require dimensional variances for minimum lot size and minimum frontage. See below

Minimum Lot Size (Lot 189)

Required – 6,000 SQ FT

Provided – 5,598 SQ FT

Variance Requested – 402 SQ FT

Minimum Frontage (Lot 189)

Required – 60 FT

Provided – 56 FT

Variance Requested – 4 FT

These variances are being requested for lot 189 so that lot 192 can maintain the option for a multi-family dwelling. If the lot size and frontage was increased to the required amount then lot 192 would be below the minimum area for a multi-family dwelling (10,000 SQ FT)

Under the new land use laws that went into effect on January 1st, 2024, this project will fall under unified development review and the planning board will be able to act as the zoning board and be able to review and approve these variances.

Proposed Site Plan (Lot 189)

The proposed structure on lot 189 will conform to all zoning regulations. The proposed property will have a permeable driveway and walkway. The proposed structure will include a garage and deck. The utility connections include water, sewer, and overhead electric. The water and sewer authority has confirmed that there is enough capacity to handle these proposed connections. These approvals are included in this submission package. The existing sewer connection will have to be reconfigured to avoid an easement between these two lots. Stormwater mitigation has been designed schematically with two biorientation areas and a conveyance swale. Further stormwater design and calculations will be submitted at later permitting stages and conform to Chapter 29 of the Bristol Town Code.

Should you have any questions please do not hesitate to reach out to our office 401.683.6630 or email cbarry@nei-cds.com.

Narragansett Engineering Inc
401-683-6630 – Neal Hingorany, PLS



Civil - Survey - Structural - Environmental - Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

January 2, 2024

To:

Town of Bristol
 Planning Board
 10 Court Street, Bristol, RI 02809
 Director of Community Development: Diane Williamson
 E: dwilliamson@bristolri.gov
 T: 401-253-7000 x126

CC: Zoning Enforcement Officer: Edward Tanner
 E: etanner@bristolri.gov
 T: 401-253-7000 x128

Subject: Agostini Minor Subdivision – 68 Magnolia St Bristol, RI [Plat: 23, Lot: 185, 189, 192]
 (NEI job 23.0144)

Minor Subdivision – Preliminary Stage

This package includes the following:

5 copies of each unless stated otherwise:

- Minor Subdivision Application and Checklist (8.5 x 11)
 - Associated Fee (\$200 – \$100 per lot)
- Minor Subdivision Narrative (8.5 x 11) 1/3/24
- Site/Civil Plans by Narragansett Engineering dated ~~7/31/23~~ – 4 Sheets (24 x 36)
- Municipal Lien Certificate (8.5 x 11)
- Current Deed (BK 2082 PG 255) (8.5 x 11)
- Wetlands Affidavit (8.5 x 11)
- Water Service Approval by BCWA (8.5 x 11)
- Sewer Service Approval by BWPC (8.5 x 11)

If you need additional information or have any questions or concerns, please do not hesitate to contact my office at (401)683-6630 or email cbarry@nei-cds.com

Dropped off by NEI staff on 1/5/24

Sale

Refinance

**REQUEST FOR CERTIFICATE
SECTION 44-7-11
GENERAL LAWS OF RHODE ISLAND**

Date: 12/5/2023 Requested by: NARRAGANSETT ENGINEERING INC.
Address: 3102 E. MAIN ROAD
PORTSMOUTH, RI 02871

Taxpayer Name: MAGNOLIA IMPROVEMENT Account #: 50-0073-71
Address: 68 MAGNOLIA Prev. Acct # _____
Plat: 023 Lot: 0185-189-192 Unit: 000 MV Acct # _____

BALANCE OUTSTANDING						
Year	Original Tax	Exemption (if any)	Tax	Signature date Interest & Fees	Per Diem	Total Due (taxes, interest & fees)
2023	\$ 4,887.26		\$3,665.43	4.81	1.20	3,670.24
2022			\$0.00			PAID IN FULL
Motor Vehicle/Excise Tax						
2021						
2020						

Supplemental billing may occur after December 31st assessment date (ex. Construction or subdivision)

Motor Vehicle billed 1 year in arrears subject to receive a bill next year

Sewer use fee of \$ 580.00 are included in principal above. Current unit rate : \$ 580.00

Sewer Assessment; Year assessed : N/A Remaining balance: N/A

**** Sewer Assessment may be paid annually at \$302.98 for 20 years ****

Prior year(s) deferred taxes (RIGL 44-3-20.2) are not included on this form. Refer to land evidence records.

Contact the Bristol County Water Authority (401) 245-2022 for water use and/or installation.

Tax Sale Information:

Tax sales are held annually. Any property with previous year's taxes due at that time is subject to effect from said action

Other Information:

Interest figures are valid as of the signature date below. The per diem rate is entered above.

PLEASE CALL TO GET CURRENT INTEREST & PENALTIES PRIOR TO CLOSING

Assessment information--An owner of property assessed December 31 would receive a bill in July representing taxes for the calendar year. The bill would be payable in installments in accordance with Rhode Island General Laws and the Town's Resolution to Levy.

THIS IS TO CERTIFY THAT THE ABOVE IS TRUE AND CORRECT, SAID CERTIFICATION IS GIVEN IN ACCORDANCE WITH SECTION 44-7-11 OF THE GENERAL LAWS OF RHODE ISLAND, 1956, AS OF THIS 05 DAY OF December 2023

Please Note: the information presented above is subject to provisions ro RIGL 44-5-13.

Fee \$ 25.00
Town of Bristol
10 Court St
Bristol, RI 02809



Prepared By: [Signature]

Approved By: [Signature]



TOWN of BRISTOL, RI
PROPERTY TAX, USER FEE, AND ASSESSMENT BILL
ASSESSED AS OF DECEMBER 31, 2022
FOR THE CALENDAR YEAR 2023

COPY

If you have filed for bankruptcy
this is for informational purposes only.

Please see the back for important information
Tax Collector
10 Court Street
Bristol, RI 02809-2234
Pay online at www.bristolri.gov
or
www.ri.gov/bristol/tax/payment
ACH and electronic payment options available
Call (401) 253-7000 for information.

7911 16 16
MAGNOLIA IMPROVEMENTS LLC
243 NARRAGANSETT PARK DR
RUMFORD, RI 02916-1043

6053 1

Table with columns: PROPERTY TAX, Tax Rate: \$13.36, Schools \$8.26, Municipal \$5.10, Location, Plat-Lot-SubLot, Class, Assessed Value, Rate, Exemptions, Amount. Includes handwritten credit of \$12.08 and a summary row for BILL TOTAL with a minimum tax of \$10.00 and a total of \$4,887.26.

PLEASE DETACH STUB. TO FACILITATE ACCURATE PROCESSING BE SURE TO INCLUDE A STUB WITH YOUR PAYMENT.
ANY PAYMENT NOT RECEIVED BY THE DUE DATE SHALL INCUR INTEREST OF 12% ON THE UNPAID BALANCE.

DUE MAY 15, 2024
PAYMENT #4
ACCOUNT NUMBER 5000737101
AMOUNT \$1,221.81



DUE FEBRUARY 15, 2024
PAYMENT #3
ACCOUNT NUMBER 5000737101
AMOUNT \$1,221.81



DUE NOVEMBER 15, 2023
PAYMENT #2
ACCOUNT NUMBER 5000737101
AMOUNT \$1,221.81



DUE AUGUST 15, 2023
PAYMENT #1
ACCOUNT NUMBER 5000737101
AMOUNT \$1,221.83



PAID
- \$12.08
\$1,209.75

TAX \$ 1334.00
DATE 1-7-21
RECORDED MW
TOWN OF BRISTOL

Document Number 00008863
BOOK 2082 PAGE 255

011292

REAL ESTATE CONVEYANCE TAX

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that we, GLEN A. PALMER and LAURA E. PALMER, of Bristol, Rhode Island, in consideration of the sum of \$290,000.00 paid, hereby grant to MAGNOLIA IMPROVEMENTS LLC, a Rhode Island Limited Liability Company, of 243 Narragansett Park Drive, Rumford, RI 02916 individually, with WARRANTY COVENANTS, all that certain lot or parcel of land, together with the buildings and improvements thereon, located in the Town of Bristol, County of Bristol, State of Rhode Island, and bounded and described as follows:

PARCEL ONE:

THOSE two (2) certain lots of land, with all the building and improvements thereon, situated on the easterly side of Magnolia Street and the northerly side of Roma Street, in the Town of Bristol, in the State of Rhode Island, laid out and designated as Lots B-6 and B-8 on that plat entitled "Bristol County Realty Company Inc. 1940 H.S. Jewell" which plat is recorded in the Office of the Town Clerk in said Town of Bristol in Plat Book B at Page 55.

PARCEL TWO:

THAT certain lot of land, with all the building and improvements thereon, situated on the easterly side of Magnolia Street and the northerly side of Roma Street, in the Town of Bristol, in the State of Rhode Island, laid out and designated as Lot B-4 on that plat entitled "Bristol County Realty Company Inc. 1940 H.S. Jewell" which plat is recorded in the Office of the Town Clerk in said Town of Bristol in Plat Book B at Page 55.

BE ALL said measurements more or less or however otherwise the same may be bounded or described.

BEING designated as Lot Nos. 185, 189 and 192 on Bristol Tax Assessor's Plat 23, as the same is presently constituted for reference purposes only.

SUBJECT to real estate taxes assessed as of December 31, 2019 by the Tax Assessor for the Town of Bristol.

MILLER
SCOTT
HOLBROOK
- & -
JACKSON
Attorneys and Counselors at Law
111 SOUTH STREET
NEWPORT RI 02840
TEL 401-847-7100
FAX 401-848-1814
smiller@mlfscott.com

BEING the same premises conveyed to Glen A. Palmer and Laura E. Palmer by deed of Joseph Lima, Jr. and Rose M. Lima, dated and recorded November 17, 2004 in Book 1165 at Page 96 of the Bristol Land Evidence Records.

GRANTORS DO HEREBY COVENANT THAT THIS TRANSFER IS SUCH THAT NO R.I.G.L. 44-30-71.3 WITHHOLDING IS REQUIRED AS THE GRANTORS ARE RESIDENTS OF RHODE ISLAND AS EVIDENCED BY AFFIDAVIT.

GRANTORS CERTIFY THAT THE REAL PROPERTY BEING CONVEYED COMPLIES WITH THE REQUIREMENTS OF SECTION 8 OF RHODE ISLAND FIRE SAFETY CODE REGARDING INSPECTION OF SMOKE AND CARBON MONOXIDE DETECTORS.

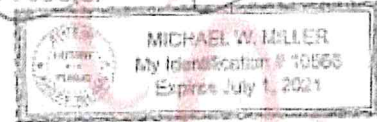
IN WITNESS WHEREOF, we have hereunto set our hands and seals this 30th day of December, 2020.

Glen A. Palmer
GLEN A. PALMER
Laura E. Palmer
LAURA E. PALMER

STATE OF RHODE ISLAND
COUNTY OF NEWPORT

In Newport, in said County, on the 30th day of December, 2020 before me personally appeared Glen A. Palmer and Laura E. Palmer, to me known and known by me to be the persons executing the foregoing instrument, and they acknowledged said instrument, by themselves executed, to be their free act and deed, for its stated purpose, before me.

Michael W. Miller
NOTARY PUBLIC



Property Address:
68 Magnolia Street
Bristol, RI 02809

Grantees Mailing Address:

Recorded Jan 07, 2021 at 08:17AM
Belisse Cordeiro Town Clerk

S:\Palmer\Deeds\Palmer Agroom 68 Magnolia Street Bristol.wpd

MILLER
SCOTT
HOLBROOK
- & -
JACKSON
Attorneys and Counselors at Law
121 TOWN STREET
NEWPORT RI 02840
TEL 401-847-7500
FAX 401-848-5854
www.msjmiller.com



Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

January 2, 2024

To:

Town of Bristol
Planning Board
10 Court Street, Bristol, RI 02809
Director of Community Development: Diane Williamson
E: dwilliamson@bristolri.gov
T: 401-253-7000
CC:
Zoning Enforcement Officer: Edward Tanner

Subject: Agostini Minor Subdivision – 68 Magnolia St Bristol, RI [Plat: 23, Lot: 185, 189, 192]
(NEI job 23.0144)

Wetlands and CRMC Affidavit

Upon further review of this site (68 Magnolia St Bristol RI), I, Joseph Malo, hereby certify that no freshwater wetlands or wetland buffers (perimeter wetlands) present on the property be subdivided and otherwise satisfies the requirements of the Rhode Island Department of Environmental Management Wetland Regulations.

Additionally, upon further review of this site (68 Magnolia St Bristol RI), I, Joseph Malo, hereby certify that this site is not within CRMC jurisdiction.

A handwritten signature in blue ink, appearing to read "J Malo", is written over a horizontal line.

Date

01/02/24

Should you have any questions please do not hesitate to reach out to my office (4016836630) or email jmalo@nei-cds.com.

Water Availability Request



Applicant Information

Date: 11-28-23

Property Owner Signature: *Joshua Agostini*

Owner (please print): Joshua Agostini - Manager - Magnolia Improvements LLC

Corporate Title (if not an individual): Magnolia Improvements LLC

Address: 243 Narragansett Park Dr

Phone: 774-991-2406 Email: josha@elitebuildingteam.com

Contractor: _____ Email: _____

Location

Preliminary request is hereby made for a confirmation that public water is available from BCWA to service this property:

Town: Bristol Location: 68 Magnolia St

Address/Plat and Lot: Proposed AP 23-189 (see subdivision plans)

Residential* | Commercial*

Building Footprint: _____

Occupancy: _____

Estimated Water Use: _____

***Site Plan Must Be Attached to All Applications**

For BCWA Office Use Only

Action by the Bristol County Water Authority

Water Available | Water Not Available

Approximate Static Pressure: 45 psi

Conditions: _____

If connection to BCWA is desired, you must:

Submit Application for Main Extension Form and Engineering Plans for Review

Submit Application for New Water Service Installation and Fee

Date of Review: 11/29/23 BCWA Engineer: *Susan H Rabi-deau*



Town of Bristol, RI
WATER POLLUTION CONTROL DEPARTMENT
2 PLANT AVENUE
BRISTOL, RI 02809-3015
(401) 253-8877 fax: (401) 253-2910

TOWN HALL
10 COURT STREET
BRISTOL, RI 02809
(401) 253-7000

Jose' J. Da Silva, Superintendent

11/29/2023

To: Planning Board

Re: Sanitary Sewer Availability
Plat 23 Lot 189
68 Magnolia Street
Bristol RI 02809

Access to the Towns sanitary sewer system is available for the above location. There is a main on Roma Street which they can connect to.

Respectfully,

A handwritten signature in black ink, appearing to read 'Jose' Da Silva', is written over a horizontal line.

Jose' Da Silva
Superintendent
Bristol WPCF

Cc: Diane Williamson – Director of Community Development