



TOWN OF BRISTOL, RHODE ISLAND

ZONING BOARD OF REVIEW

Zoning Board of Review Agenda

Tuesday, September 03, 2024 at 7:00 PM

Bristol Town Hall, 10 Court Street, Bristol, RI 02809

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. Written comments may be submitted to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, August 29, 2024.

1. Pledge of Allegiance

2. Approval of Minutes - July 15, 2024

3. Continued Petitions

3A. 2024-24 Vasco Castro, III - Dimensional Variance (continued from July): to construct a six foot high fence, portions of which would be located within the front yard from Dewolf Avenue at a height greater than permitted in a front yard on a corner lot. Located at **101 Woodlawn Avenue**; Assessor's Plat 41, Lot 144; Zone: R-10

4. New Petitions

4A. September Staff Reports

4B. 2024-25 David Loureiro - Dimensional Variances: to construct an approximate 18ft. x 24ft. two-story garage and storage area addition to an existing single-family dwelling with less than the required right side yard and greater than permitted lot coverage by structures. Located at **27 Franca Drive**; Assessor's Plat 123, Lot 157; Zone: R-8

4C. 2024-26 Kevin Moran - Dimensional Variances: to construct a 14ft. x 30ft. two-story addition to an existing 25ft. x 30ft. accessory structure at a size

and height greater than permitted for accessory structures in the R-10 zone; with less than the required lot area for an accessory dwelling unit (ADU) within a new and/or expanded accessory structure; and with an ADU at a size larger than permitted relative to the principal dwelling. Located at **7 Ansonia Avenue**; Assessor's Plat 44, Lot 62; Zone: R-10

4D. **2024-27 Kris Wetterland, Jr. - Dimensional Variance:** to construct a six foot high fence, portions of which would be located within the front yard from Leila Jean Drive at a height greater than permitted in a front yard on a corner lot. Located at **3 Leila Jean Drive**; Assessor's Plat 108, Lot 55; Zone: R-15

4E. **2024-28 Susan J. Dell - Dimensional Variance:** to construct a six foot high fence, portions of which would be located within the front yards from Lindberg Avenue and Paine Avenue at a height greater than permitted in a front yard. Located at **5 Lindberg Avenue**; Assessor's Plat 148, Lot 68; Zone R-10

4F. **2024-29 Alex A. and Emily E. Romano - Dimensional Variances:** to modify a previously approved variance decision and construct an approximate 26ft. x 50ft. single-story accessory dwelling unit (ADU) addition and a 23ft. x 32ft. two-story garage addition to an existing single-family dwelling with less than the required right side yard and less than the required rear yard. Located at **17 Mulberry Road**; Assessor's Plat 74, Lot 17; Zone: R-20

4G. **2024-30 John M. Lannan / Fairpoint Realty, LLC - Dimensional Variances:** to modify a previously approved variance decision and demolish an existing single-family dwelling, construct a new 23ft. x 43ft. two-story single-family dwelling with a 19ft. x 23ft. porch and a 24ft. x 24ft. attached single-story garage with less than the required front yards on a corner lot. Located at **111 King Philip Avenue**; Assessor's Plat 147, Lots 61 & 62; Zone: R-10

5. Correspondence

5A. Request for extension of variance approval for **Denise M. Lavoie/110 King Philip Avenue**, File 2021-44

6. Adjourn

Date Posted: August 14, 2024

Posted By: emt



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
 Bristol, RI 02809
 401-253-7000
 www.bristolri.gov

File #2024-24

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
 that a public hearing will be held on the following application:

Monday, July 15, 2024

at 7:00 P.M.

Bristol Town Hall

10 Court Street

APPLICANT: **Vasco Castro, III**

PROPERTY OWNER: **Lori Lee Castro, Trustee of The Castro Family Living Trust**

LOCATION: **101 Woodlawn Avenue**

PLAT: **41** LOT: **144**

ZONE: **Residential R-10**

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE: to construct a six foot high fence, portions of which would be located within the front yard from Dewolf Avenue at a height greater than permitted in a front yard on a corner lot.

Edward M. Tanner,
 Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, July 11, 2024.



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-24**

APPLICANT: Vasco Castro, III and Lori Lee Castro, Trustee of The Castro Family Living Trust

LOCATION: 101 Woodlawn Avenue

PLAT: 41

LOT: 144

ZONE: R-10

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:


Construct a six foot high fence, portions of which would be located within the front yard from Dewolf Avenue at a height greater than permitted in a front yard on a corner lot.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a dimensional variance to construct fencing along a portion of the front yard of this residential property located on the northerly side of Woodlawn Avenue and the easterly side of Dewolf Avenue. The applicant proposes installation of a 6 foot high cedar stockade fence along a portion of the westerly property line at Dewolf Avenue. As depicted on the site plan submitted with this application, the fence would extend from the existing driveway northerly for approximately 54 feet to the north property line. The proposed fence would be located directly in front of a row of arborvitae trees and approximately 15 feet from the paved roadway. As this is a corner lot, it has two front yards for purposes of determining zoning dimensional requirements. Section 28-146(b)(1) of the zoning ordinance permits fences within the front yard portion of a property to a maximum height of 4 feet.


Edward M. Tanner, Zoning Officer

7/1/2024



Town of Bristol, Rhode Island
 Department of Community Development
 Zoning Board of Review

File No: 2024-24

Accepted by ZEO: *ent 6/14/24*

APPLICATION

| | | | |
|------------------------|----------------------------------|----------------------------------|-------------------|
| APPLICANT: | Name: <u>VASCO CASTRO III</u> | | |
| | Address: <u>101 WOODLAWN AVE</u> | | |
| | City: <u>BRISTOL</u> | State: <u>RI</u> | Zip: <u>02807</u> |
| | Phone #: <u>401-317-5728</u> | Email: <u>CASTRO1600@QDL.COM</u> | |
| PROPERTY OWNER: | Name: <u>SAME</u> | | |
| | Address: _____ | | |
| | City: _____ | State: _____ | Zip: _____ |
| | Phone #: _____ | Email: _____ | |

1. Location of subject property: 101 WOODLAWN AVE

Assessor's Plat(s) #: 41

Lot(s) #: 144

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s) ☐ Special Use Permit ☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s): SEC 28-146 FENCES

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 12 yrs

7. Present use of property: Residential

8. Is there a building on the property at present? X

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

10. Proposed use of property: N/A

11. Give extent of proposed alterations: 6' height for a fence on a corner lot.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): N/A

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

| | | |
|---|-------------------------|-------------------------|
| Front lot line(s): | Required Setback: _____ | Proposed Setback: _____ |
| Left side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Right side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Rear lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Building height: | Required: _____ | Proposed: _____ |
| Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.): | | |
| Required: <u>Fence Height 6' 4"</u> | Proposed: <u>6'</u> | |

13. Number of families before/after proposed alterations: _____ Before _____ After

14. Have you submitted plans for the above alterations to the Building Official? _____
 If yes, has he refused a permit? _____
 If refused, on what grounds? _____

15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: ☒ Sewer: _____

17. Is the property located in the Bristol Historic District or is it an individually listed property? NO

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 6/14/24

Print Name: VASCO CASTRO III

Property Owner's Signature: [Signature] Date: 6/14/24

Print Name: SAME

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: N/A Phone #: _____

Address: _____

Ed Tanner

From: castro1600@aol.com
Sent: Friday, June 14, 2024 10:34 AM
To: Ed Tanner
Subject: 101 Woodlawn Ave Corner Lot Fence Height Variance Request

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Zoning Board of Review,

I am requesting a height variance to install a 6' high stockade fence on the side yard (Dewolf Ave) of a corner lot. We currently have an existing row of mature Arbrovitea's which are constanly being damaged by deer. The damage to the Abrovitea's significantly reduces the privacy of our back yard.

We do not plan on removing the mature shrubs. The fence will be constructed utilizing high quality cedar fence and post materials. Thank you in advance for your attention to this matter.

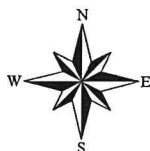
Sincerely,

Skip Castro

Ed,

Please attach this document to the variance application.

Thank you



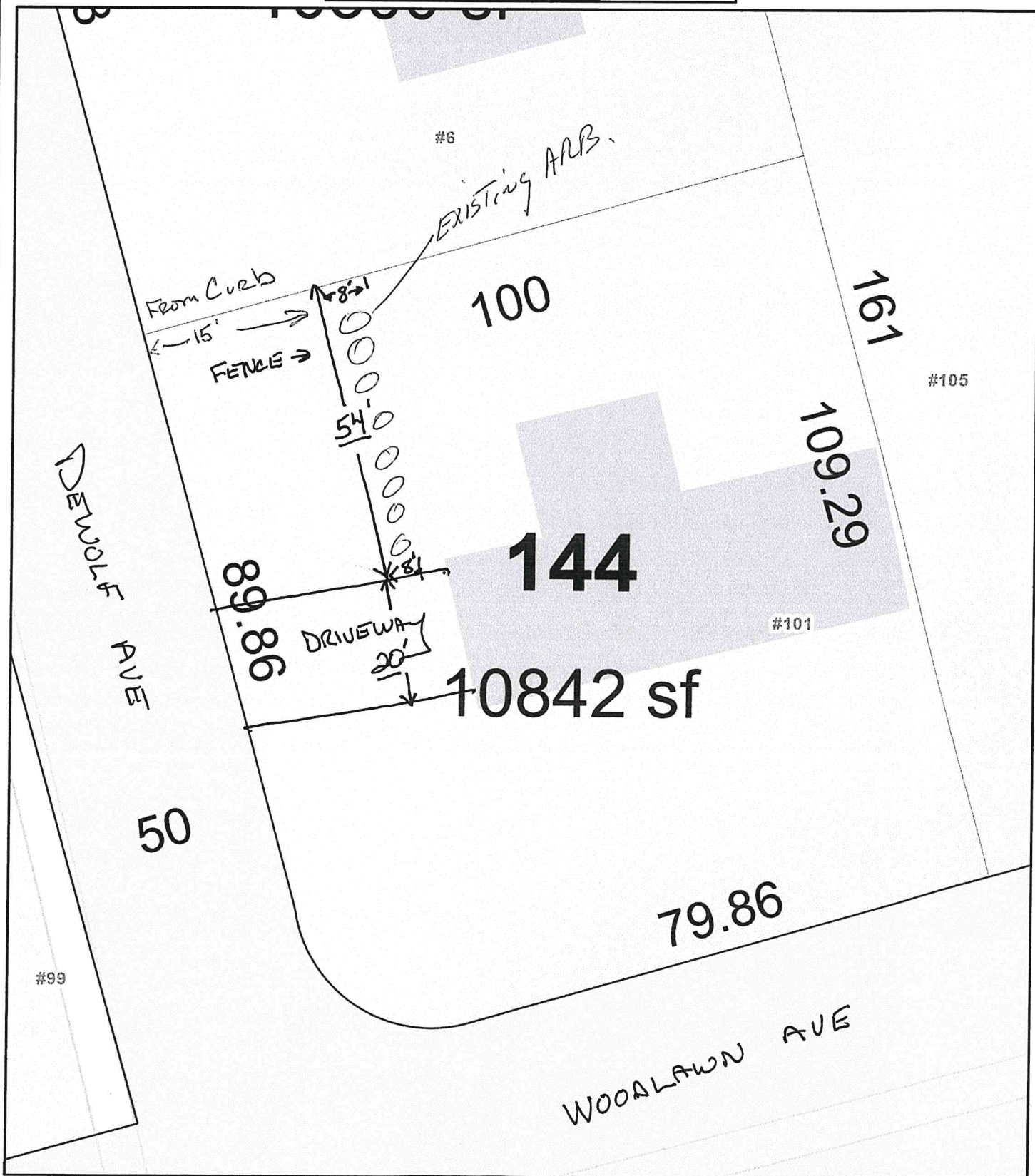
Bristol, RI

1 inch = 21 Feet



www.cai-tech.com

June 13, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Bristol, RI

1 inch = 36 Feet

www.cai-tech.com

June 17, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

▶ Bristol

▶ 101 WOODLAWN AVE

Card 1 of 1

▶ Plat/Lot 041-0144-000

▶ Account: 3020

Zone R-10

▶ Assessment

\$416,700



▶ Owner ▶ Owner Account #: 03-1663-85

| Owner | % Owned |
|---|---------|
| Owner 1 CASTRO, LORI LEE TRUSTEE | |
| Owner 2 | |
| Owner 3 | |
| Address 101 WOODLAWN AVE, BRISTOL, RI 02809 | |

▶ Previous Owners & Sales Information

| Grantor | Date | Sale Price | Leg Ref | NAL | Deed Type |
|--|------------|------------|----------|-----|-----------|
| CASTRO, LORI L. | 05/31/2023 | 0 | 2212-153 | | Q |
| CASTRO, LORI L. & DIMASSI, SUSAN TC | 04/01/2013 | 0 | 1700-329 | A | Q |
| CASTRO, LAURIE S. & DEMASSIE, SUSAN TC | 11/15/2012 | 0 | 1679-262 | A | C |
| JANUARIO, MICHAEL P. TRUSTEE | 11/07/2012 | 0 | 1678-63 | A | Q |
| JANUARIO, MANUEL JR. & ROSARIA | 12/10/2008 | 0 | 1461-287 | A | C |

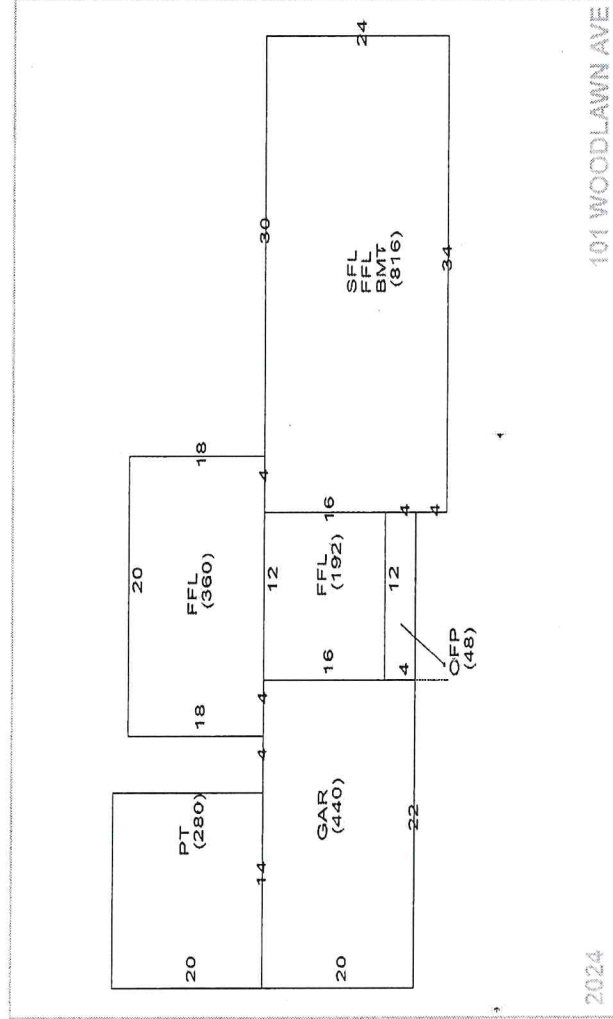
▶ Assessment

| Use Code | Bldg Value | SF/YI Value | Land Size | Land Value | AG Credit | Assessed Value |
|----------|------------|-------------|-----------|------------|-----------|----------------|
| 01 | 256,800 | 0 | 0.25 | 159,900 | 0 | 416,700 |
| TOTAL | 256,800 | 0 | 0.25 | 159,900 | 0 | 416,700 |

Source > Mkt Adj Cost VAL per SQ Unit/Card > 110.59 VAL per SQ Unit/Parcel > 110.59

▶ Previous Assessments

| Year | LUC | Building | SF/YI | Land Size | Land | AGR Credit | Appraised Value | Assessed Value |
|------|-----|----------|-------|-----------|---------|------------|-----------------|----------------|
| 2023 | 01 | 256,800 | 0 | 0 | 159,900 | 0 | 416,700 | 416,700 |
| 2022 | 01 | 256,800 | 0 | 0 | 159,900 | 0 | 416,700 | 416,700 |
| 2021 | 01 | 208,300 | 0 | 0 | 168,900 | 0 | 377,200 | 377,200 |
| 2020 | 01 | 208,300 | 0 | 0 | 168,900 | 0 | 377,200 | 377,200 |
| 2019 | 01 | 208,300 | 0 | 0 | 168,900 | 0 | 377,200 | 377,200 |
| 2018 | 01 | 169,300 | 0 | 0 | 113,800 | 0 | 283,100 | 283,100 |



▶ Land Information

| Use Description | Units | Unit Type | Land Type | LT Fact | Unit Price | Adjusted | Neigh | Inf 1 | Inf 1 % | Inf 2 | Inf 2 % | Inf 3 | Inf 3 % | Appr Value | Spec Land | Juris | Fact | Use Value |
|-----------------|---------|-----------|-----------|---------|------------|----------|-------|-------|---------|-------|---------|-------|---------|------------|-----------|-------|------|-----------|
| 1 01 Single Fam | 0.22957 | AC | P | 1.00 | 530,000 | 683,016 | L | | | | | | | 156,800 | | | 1.00 | 0 |
| 2 01 Single Fam | 0.01933 | AC | EX | 0.20 | 530,000 | 160,372 | L | | | | | | | 3,100 | | | 1.00 | 0 |
| 3 | | | | | | | | | | | | | | | | | | |
| 4 | | | | | | | | | | | | | | | | | | |

Print Date = 6/17/2024 Printed By = Ed Tanner

Year ID: 2024

Disclaimer - This information is believed to be correct, but is subject to change and is not warranted

Item 3A.



Building Information

| BLDG Type | Colonial | Story Height | 2 Story | Description |
|--------------|--------------|--------------|--------------|-------------|
| RES Units | 1 | COM Units | 0 | |
| Foundation | Concrete | BMT Floor | Concrete | |
| Frame 1 | Wood | Frame 2 | | |
| EXT Wall 1 | Wood Shnal | EXT Wall 2 | Clapboard | 20 |
| Roof Type 1 | Gambrel | Roof Type 2 | | |
| Roof Cover 1 | Asphalt Shin | Roof Cover 2 | | |
| INT Wall 1 | Drywall | INT Wall 2 | | |
| Floors 1 | Hardwood | Floors 2 | | |
| BMT Garages | | Color | | |
| Plumbing | | Electrical | | |
| Insulation | | INT vs EXT | | |
| Heat Fuel | Oil | Heat Type | BB Hot Water | |
| # Heat Sys | | % Heated | 100 | |
| % Solar HW | | % A/C | | |
| % COM Wall | | % Vacuum | | |
| Ceil HGT | | Ceiling Type | | |
| Parking Type | | % Sprinkled | | |
| EXT View | | | | |

Other Factors

| Grade | Q4 | Q4 | Flood Hazard |
|------------|------|----------|----------------------|
| Year Built | 1965 | EFF Year | Topography |
| Alt LUC | | Alt % | Street |
| | | | Traffic |
| | | | Bas \$/SQ |
| | | | Size Adj |
| | | | Constr Adj |
| | | | Adj \$/SQ |
| | | | Othr Featrs |
| | | | Grade Fac |
| | | | Neigh Infl |
| | | | Land Factor |
| | | | Adj Total |
| | | | Depreciation |
| | | | Depr Total |
| | | | Total Depreciation % |
| | | | > 27.0 |

Depreciation

| Condition | GD | GD - Good | % |
|------------|----|-----------|--------------|
| Functional | - | | 0.0 |
| Economic | - | | 0.0 |
| Special | - | | 0.0 |
| OV | - | | |
| | | | Adj Total |
| | | | 351,840 |
| | | | Depreciation |
| | | | 94,997 |
| | | | Depr Total |
| | | | 256,843 |

Remodeling History

| Additions | Plumbing |
|-----------|----------|
| Interior | Electric |
| Exterior | Heating |
| Kitchen | General |
| Baths | |

Condo Data

| Complex | Location |
|---------|-----------|
| | Tot Units |
| | FL Level |
| | # Floors |
| | Bldg Seq |

Notes

LIFE ESTATE MANUEL JANUARIO EAS

Building Permits

| Issue Date | Permit # | Closed Date | BP Type | Est. Cost | % Done | Status | Description/Directions |
|------------|-----------|-------------|---------|-----------|--------|--------|--|
| 05/27/2020 | B50396 | | BLDG | 9,000 | | Closed | Strip existing cedar siding and replace with new cedar siding approximately 1. |
| 03/21/2014 | 73-14-M | 09/29/2014 | MECH | 9,000 | | Closed | REPLACE OIL BOILER ADD 500 GAL PROPANE TANK FOR FIP AND STOVE |
| 03/21/2014 | M13795 | | MECH | 0 | | Closed | REPLACE OIL FIRED BOILER AND INSTALL 500 GALLON PROPANE TANK ANI |
| 02/19/2014 | 0031-14-B | 12/20/2014 | BLDG | 5,000 | | Closed | RENOVATE KITCHEN FLRG CABINETS KIT WINDOW REPLASTER CEILING |
| 02/19/2014 | B30871 | | BLDG | 0 | | Closed | RENOVATE EXISTING KITCHEN, TO INCLUDE FLOORING, CABINETS, REPLAI |
| 08/02/2006 | B27173 | | BLDG | 0 | | Closed | 21 REPLACEMENT WINDOWSNO STRUCTURAL CHANGES |

Sub-Area Detail

| Code | Description | Area | Fin. Area | Rate | Undeo V |
|-------|-------------|-------|-----------|--------|---------|
| FFL | 1st FLOOR | 1,368 | 1,368 | 129.78 | 177,539 |
| SFL | 2nd FLOOR | 816 | 816 | 129.78 | 105,900 |
| BMT | BASEMENT | 816 | 0 | 19.47 | 15,888 |
| GAR | GARAGE | 440 | 0 | 39.09 | 17,200 |
| OFF | OPEN PORCH | 48 | 0 | 21.50 | 1,032 |
| PT | PATIO | 280 | 0 | 2.79 | 781 |
| Total | | 3,768 | 2,184 | | 318,340 |

Special Features & Yard Items

| Use | Description | A | Y/S | Qty | Length | Width | SF Size | Quality | Condition | Year | Assessed Value |
|-----|-------------|---|-----|-----|--------|-------|---------|---------|-----------|------|----------------|
| 1 | Shed | 1 | Y | 1 | | | 80 | 0 | AV | 1965 | 0 |

Other Info.

| |
|------------|
| AFDU |
| TermRental |
| PriorID1c |
| PriorID2a |
| PriorID2b |
| PriorID2c |
| PriorID3a |
| PriorID3b |
| PriorID3c |

Room Counts by Floor

| Units | # Rooms | # Bedrooms | Floor Level |
|--------|---------|------------|-------------|
| 1 | 1 | 7 | 3 |
| 2 | | | U |
| 3 | | | |
| 4 | | | |
| Totals | 1 | 7 | 3 |



101 Woodlawn Avenue - 300' Radius

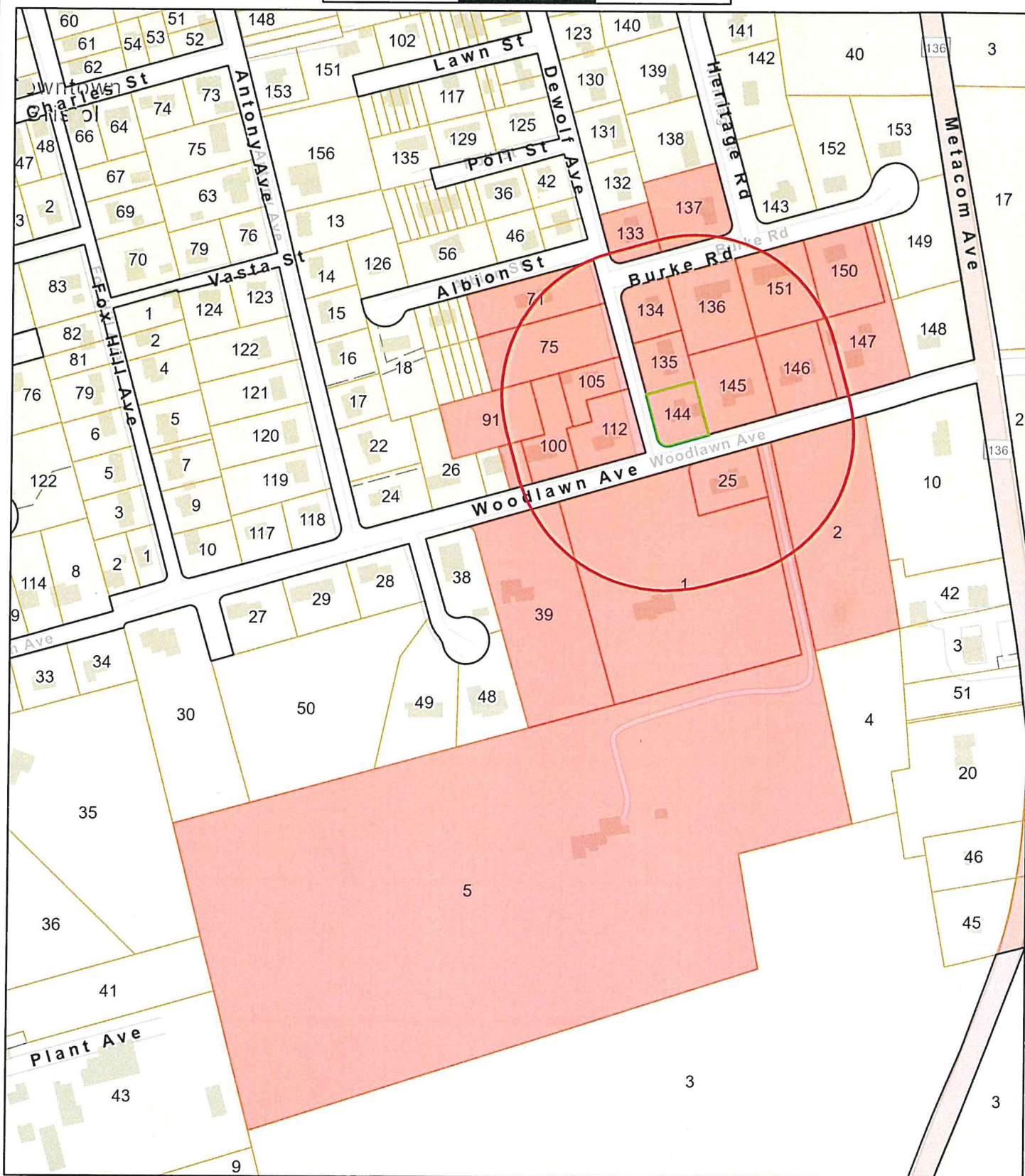
Bristol, RI

1 inch = 282 Feet



www.cai-tech.com

June 14, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
June 14, 2024

Subject Property:

Parcel Number: 41-144
CAMA Number: 41-144
Property Address: 101 WOODLAWN AVE

Mailing Address: CASTRO, LORI LEE TRUSTEE
101 WOODLAWN AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 161-1
CAMA Number: 161-1
Property Address: 100 WOODLAWN AVE

Mailing Address: COSTA, LIBERTO F. LINDA TRUSTEES
100 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 161-2
CAMA Number: 161-2
Property Address: WOODLAWN AVE

Mailing Address: JAMES F. DEWOLF CEMETARY C/O
MRS. HAROLD PAYSON
131 FERRY RD
BRISTOL, RI 02809

Parcel Number: 161-25
CAMA Number: 161-25
Property Address: 104 WOODLAWN AVE

Mailing Address: WALLACE, WAYNE G JOAN D TE
104 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 161-39
CAMA Number: 161-39
Property Address: 90 WOODLAWN AVE

Mailing Address: CHALMERS, ROBERT M. ET UX MARCIA
E. CHALMERS TE
PO BOX 1047
BRISTOL, RI 02809

Parcel Number: 161-5
CAMA Number: 161-5
Property Address: 110 WOODLAWN AVE

Mailing Address: STILL, B. CHRISTER STEPHANIE E. TE
110 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 40-100
CAMA Number: 40-100
Property Address: 95 WOODLAWN AVE

Mailing Address: MCMULLEN, JEAN M
95 WOODLAWN AVENUE
BRISTOL, RI 02809

Parcel Number: 40-105
CAMA Number: 40-105
Property Address: 17 DEWOLF AVE

Mailing Address: MCFARLAND, FRANCIS E. MCFARLAND,
VERONICA N. ETUX TE
17 DEWOLF AVENUE
BRISTOL, RI 02809

Parcel Number: 40-109
CAMA Number: 40-109
Property Address: WOODLAWN AVE

Mailing Address: TOMBS-HARLING, KAREN A.
89 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 40-112
CAMA Number: 40-112
Property Address: 99 WOODLAWN AVE

Mailing Address: DUGAN, RONALD H.
99 WOODLAWN AVE
BRISTOL, RI 02809

Parcel Number: 40-71
CAMA Number: 40-71
Property Address: 5 ALBION ST

Mailing Address: OLIVER, EDWARD E
5 ALBION ST
BRISTOL, RI 02809



www.cai-tech.com

6/14/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 3



300 feet Abutters List Report

Bristol, RI
June 14, 2024

| | |
|--|--|
| Parcel Number: 40-75 CAMA Number: 40-75 Property Address: DEWOLF AVE | Mailing Address: OLIVER, EDWARD E 5 ALBION ST BRISTOL, RI 02809 |
| Parcel Number: 40-91 CAMA Number: 40-91 Property Address: WOODLAWN AVE | Mailing Address: MCMULLEN, JEAN M. 95 WOODLAWN AVE BRISTOL, RI 02809 |
| Parcel Number: 41-133 CAMA Number: 41-133 Property Address: 20 DEWOLF AVE | Mailing Address: RICHARDS, PAULA a/k/a RICHARDS SOUSA, PAULA T-TRUS RICHARDS a/ka RICHARDS SOUSA TRUST 20 DEWOLF AVE BRISTOL, RI 02809 |
| Parcel Number: 41-134 CAMA Number: 41-134 Property Address: 10 DEWOLF AVE | Mailing Address: CARACOZA, CHRISTINA 66 GIRARD AVE NEWPORT, RI 02840 |
| Parcel Number: 41-135 CAMA Number: 41-135 Property Address: 6 DEWOLF AVE | Mailing Address: MILLER, EDWARD CYNTHIA ETUX TE 11 GRISWOLD AVE BRISTOL, RI 02809 |
| Parcel Number: 41-136 CAMA Number: 41-136 Property Address: 2 BURKE RD | Mailing Address: COUGHLIN, SARAH P & JOHN N JT 2 BURKE RD BRISTOL, RI 02809 |
| Parcel Number: 41-137 CAMA Number: 41-137 Property Address: 1 HERITAGE RD | Mailing Address: DUNN, CAROLINE L & SULLIVAN, SEAMUS S JT 1 HERITAGE ROAD BRISTOL, RI 02809 |
| Parcel Number: 41-144 CAMA Number: 41-144 Property Address: 101 WOODLAWN AVE | Mailing Address: CASTRO, LORI LEE TRUSTEE 101 WOODLAWN AVE BRISTOL, RI 02809 |
| Parcel Number: 41-145 CAMA Number: 41-145 Property Address: 105 WOODLAWN AVE | Mailing Address: MALONE, VALERIE S. OLIVER, MICHAEL J. TE 7 ALBION ST BRISTOL, RI 02809 |
| Parcel Number: 41-146 CAMA Number: 41-146 Property Address: 107 WOODLAWN AVE | Mailing Address: SHEA, RYAN T. & HARRISON, BRITTANY C. JT 107 WOODLAWN AVE BRISTOL, RI 02809 |
| Parcel Number: 41-147 CAMA Number: 41-147 Property Address: 109 WOODLAWN AVE | Mailing Address: DEFUSCO, SHANNON 109 WOODLAWN AVE BRISTOL, RI 02809 |
| Parcel Number: 41-150 CAMA Number: 41-150 Property Address: 6 BURKE RD | Mailing Address: DETTLINGER, DONALD 6 BURKE ROAD BRISTOL, RI 02809 |



www.cai-tech.com

6/14/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 3



300 feet Abutters List Report

Bristol, RI
June 14, 2024

Parcel Number: 41-151
CAMA Number: 41-151
Property Address: 4 BURKE RD

Mailing Address: SMITH, MICHAEL A. ET UX BARBARA O.
TE
4 BURKE ROAD
BRISTOL, RI 02809



www.cai-tech.com

6/14/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 3

CARACOZA, CHRISTINA
66 GIRARD AVE
NEWPORT, RI 02840

MALONE, VALERIE S.
OLIVER, MICHAEL J. TE
7 ALBION ST
BRISTOL, RI 02809

TOMBS-HARLING, KAREN A.
89 WOODLAWN AVE
BRISTOL, RI 02809

CASTRO, LORI LEE TRUSTEE
101 WOODLAWN AVE
BRISTOL, RI 02809

MCFARLAND, FRANCIS E.
MCFARLAND, VERONICA N. ET
17 DEWOLF AVENUE
BRISTOL, RI 02809

WALLACE, WAYNE G
JOAN D TE
104 WOODLAWN AVE
BRISTOL, RI 02809

CHALMERS, ROBERT M. ET UX
MARCIA E. CHALMERS TE
PO BOX 1047
BRISTOL, RI 02809

MCMULLEN, JEAN M
95 WOODLAWN AVENUE
BRISTOL, RI 02809

COSTA, LIBERTO F.
LINDA TRUSTEES
100 WOODLAWN AVE
BRISTOL, RI 02809

MCMULLEN, JEAN M.
95 WOODLAWN AVE
BRISTOL, RI 02809

COUGHLIN, SARAH P & JOHN
2 BURKE RD
BRISTOL, RI 02809

MILLER, EDWARD
CYNTHIA ETUX TE
11 GRISWOLD AVE
BRISTOL, RI 02809

DEFUSCO, SHANNON
109 WOODLAWN AVE
BRISTOL, RI 02809

OLIVER, EDWARD E
5 ALBION ST
BRISTOL, RI 02809

DETTLINGER, DONALD
6 BURKE ROAD
BRISTOL, RI 02809

RICHARDS, PAULA a/k/a RIC
RICHARDS a/ka RICHARDS SO
20 DEWOLF AVE
BRISTOL, RI 02809

DUGAN, RONALD H.
99 WOODLAWN AVE
BRISTOL, RI 02809

SHEA, RYAN T. &
HARRISON, BRITTANY C. JT
107 WOODLAWN AVE
BRISTOL, RI 02809

DUNN, CAROLINE L &
SULLIVAN, SEAMUS S JT
1 HERITAGE ROAD
BRISTOL, RI 02809

SMITH, MICHAEL A. ET UX
BARBARA O. TE
4 BURKE ROAD
BRISTOL, RI 02809

JAMES F. DEWOLF CEMETARY
C/O MRS. HAROLD PAYSON
131 FERRY RD
BRISTOL, RI 02809

STILL, B. CHRISTER
STEPHANIE E. TE
110 WOODLAWN AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-25**

APPLICANT: David V. Loureiro

LOCATION: 27 Franca Drive

PLAT: 123 LOT: 157 ZONE: R-8

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct an approximate 18ft. x 24ft. two-story garage and storage area addition to an existing single-family dwelling with less than the required right side yard and greater than permitted lot coverage by structures.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting dimensional variances to construct an 18' x 24' garage, with storage space above, attached to an existing single-family dwelling on this residential property located on the northerly side of Franca Drive. The proposed garage would be constructed on an existing concrete foundation.

This property has a bit of history with the zoning board that I will summarize as follows... The applicant installed the existing concrete slab and foundation in spring 2005 in an effort to construct the proposed garage. No permits were received for the garage foundation and the Building Official issued the applicant a stop work order in May 2005. The applicant appeared before the zoning board in October 2005 (File #2005-61) for a dimensional variance to build the proposed garage and a second floor master bedroom with less than the required right side yard. During the public hearing for this application, it was noted that a retaining wall with six foot fence had been installed without permits and in apparent violation of the fence height ordinance. It was also noted that three accessory structures located on the property were also apparently constructed without permits and in violation of zoning. The applicant withdrew his variance application for the garage without prejudice in order to address the fence and accessory structure concerns. In March 2006, the applicant again applied to the zoning board (File #2006-18) for variances for fence height and accessory structure setbacks, and an exceedance of total lot coverage by structures. In June 2006, the Board approved the variance for the retaining wall and fence, but denied variances for the western-most accessory structure and ordered its removal from the property. The applicant then appealed this decision to Superior Court where it was later remanded back to the zoning board for another public hearing in an effort to resolve the matter. In March 2009, the Board again heard this matter at which time it was noted that the applicant had removed the middle accessory structure from the property. The Board then approved variances for lot coverage (at approximately 29%) and property line setbacks for the two remaining accessory structures, and permitted to western most accessory structure to remain.

FILE NO. 2024-25

The applicant is now proposing to construct an attached garage with storage room above on the existing concrete foundation. The proposed garage would be located off the right side of the existing dwelling and would extend to within 5 feet of the right side property line. The zoning ordinance requires a minimum 15 foot side yard setback in the R-8 zoning district. Based upon the site plan submitted by the applicant, and the site sketch provided on the tax assessor's field card, I have calculated existing lot coverage by structures on the property at approximately 27.4%. The proposed garage would add an additional 432 square feet of lot coverage for a total of 32.8%. The zoning ordinance permits a maximum lot coverage by structures of 25% in the R-8 zone.


Edward M. Tanner, Zoning Officer

8/21/24



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-26**

APPLICANT: Kevin J. Moran

LOCATION: 7 Ansonia Avenue

PLAT: 44 LOT: 62 ZONE: R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 14ft. x 30ft. two-story addition to an existing 25ft. x 30ft. accessory structure at a size and height greater than permitted for accessory structures in the R-10 zone; with less than the required lot area for an accessory dwelling unit (ADU) within a new and/or expanded accessory structure; and with an ADU at a size larger than permitted relative to the principal dwelling.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

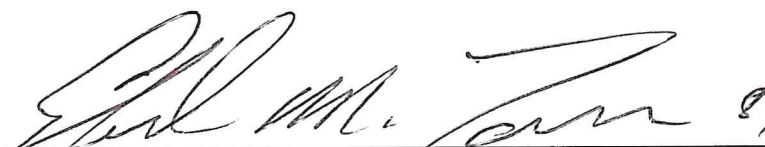
FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting dimensional variances to construct an addition to an existing accessory garage structure and to create a residential dwelling unit within the second floor of the enlarged structure at this property located on the westerly side of Ansonia Avenue. This property contains approximately 10,300 square feet of lot area (lots 62 and 68 were merged together into one lot) and it is improved with a two-family residence that was reportedly constructed in the 1940's. This property is considered nonconforming by dimension, as it is utilized as a two-family residential use but it lacks the required 20,000 feet of lot area for the R-10 zone. The zoning ordinance permits two-family structures in the R-10 zone with 10,000 square feet of lot area per dwelling unit.

The existing accessory garage structure measures approximately 25' x 30' and reportedly contains garage space on the first floor and a recreation room on the second floor. The applicant proposes to add a 14' x 30' two-story addition to the front (easterly) side of the existing structure to provide enlarged garage space on the first level and additional living space above. As proposed, the overall size of the accessory structure would be approximately 30' x 39'. According to plans submitted with this application, the height of the proposed addition would be approximately 5 feet higher than the existing garage structure, extending to a height of approximately 24 feet 10 inches above grade. The zoning ordinance permits accessory structures in the R-10 zone to a maximum size of 22' x 24' and to a maximum height of 20 feet above grade. It is also noted that the existing two-story residential dwelling on this property measures approximately 26' x 32' in size. Thus, the proposed addition to the accessory garage would make that structure larger than the principal residential structure. By definition (see Section 28-1), an accessory structure is subordinate, incidental, and accessory to that of the principal structure.

The applicant proposes to convert the existing recreation room on the second floor of the garage structure to an accessory dwelling unit (ADU) containing two bedrooms. Recall that the applicant was before the zoning board earlier this year and that a public hearing for this proposal was held in May 2024 (File #2024-18). After continuing the public hearing, the application was withdrawn without prejudice in June 2024.

Since the time that the previous application with before the zoning board, the Rhode Island General Assembly has adopted new legislation regulating ADU's. This legislation was signed into law on June 24, 2024. The new legislation has changed many of the rules regarding the construction of ADU's and overrides much of the language regulating ADU's found in Section 28-151 of Bristol's zoning ordinance. Generally speaking, ADU's are no longer restricted to owner-occupied property or to occupancy by family members or as deed restricted affordable housing units. One ADU is now permitted by right within a principal structure or accessory structure on single-family or multi-family properties that contain at least 20,000 square feet off lot area. On lots that contain less than 20,000 square feet of lot area, one ADU is permitted by right within an existing principal or accessory structure. However, local dimensional requirements for an accessory structure still apply; and a dimensional variance(s) is required to exceed the maximum size and/or height dimension for the applicable zoning district. As the applicant's property contains only 10,300 square feet of land, an ADU would be permitted by right within the existing accessory structure. However, a dimensional variance is required to construct an ADU within the new expanded structure. In addition, the new law limits the size of a two-family ADU to 1,200 square feet or 60% of the floor area of the principal dwelling, whichever is less. I have calculated the floor area of the existing two-family dwelling at 1,664 square feet based upon dimensions provided by the tax assessor's field card. Therefore, a two bedroom ADU on this property is limited in size to 998 square feet. The applicant proposes ADU would contain approximately 1,170 square feet.

 8/21/2024
Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island *Zoning Board of Review*

STAFF REPORT FOR:

FILE NO. **2024-27**

APPLICANT: Kris, Jr and Renee Wetterland

LOCATION: 3 Leila Jean Drive

PLAT: 108

LOT: 55

ZONE: R-15

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE TO:

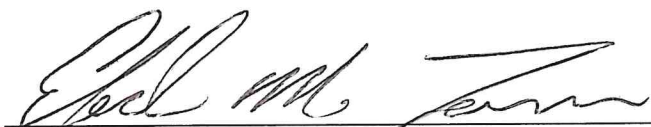
Construct a six foot high fence, portions of which would be located within the front yard from Leila Jean Drive at a height greater than permitted in a front yard on a corner lot.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a dimensional variance to construct fencing along a portion of the front yard of this residential property located on the easterly and southerly side of Leila Jean Drive. The applicant proposes installation of a 6 foot high vinyl privacy fence along a portion of the westerly property line at Leila Jean Drive. As depicted on the site plan submitted with this application, the fence would extend from the end of an existing fence located at the southerly rear property line approximately 54 feet to be in line with the rear of the dwelling. The proposed fence would then extend easterly approximately 33 feet to the rear corner of the dwelling. As this is a corner lot, it has two front yards for purposes of determining zoning dimensional requirements. The front yard measures 35 feet from the street property line in the R-15 zone. Section 28-146(b)(1) of the zoning ordinance permits fences within the front yard portion of a property to a maximum height of 4 feet.

 8/21/2024
Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-28**

APPLICANT: Susan J. and Johnathan E. Dell

LOCATION: 5 Lindberg Avenue

PLAT: 148

LOT: 68

ZONE: R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:


Construct a six foot high fence, portions of which would be located within the front yards from Lindberg Avenue and Paine Avenue at a height greater than permitted in a front yard.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicant is requesting a dimensional variance to construct fencing along two sides of this through lot property located on the easterly side of Lindberg Avenue and the westerly side of Paine Avenue. The applicant proposes installation of a 6-foot high stockade fence along the easterly property line at Paine Avenue and then turning to run along the southerly property line to Lindberg Avenue. As depicted on the site plan submitted with this application, the proposed fence would be located just inside the property line and would extend from the end of an existing fence on neighboring property southerly along Paine Avenue for approximately 35 feet. The fence would then run westerly towards Lindberg Avenue for approximately 86 feet. The last section of fence closest to Lindberg Avenue would transition in height from 6 feet to 4 feet, and it would end approximately three feet from the Lindberg Avenue property line. Additional sections of fence would also extend off the northerly and southerly property line fences to the existing dwelling to enclose the easterly "rear" portion of the property. As this is a through lot, which fronts on two parallel streets, it has two front yards for purposes of determining zoning dimensional requirements. The front yard typically measures 30 feet from the street property line in the R-10 zone. However, as this is a legal nonconforming single lot of record, all of its setback dimensions are reduced proportionally based upon the size of the lot relative to the minimum lot size for the zoning district. Thus, as this lot contains only 3,225 square feet of lot area, its front yard setback is reduced from 30 feet to approximately 10 feet per Section 28-221(a)(2)b. of the zoning ordinance. Section 28-146(b)(1) of the zoning ordinance permits fences within the front yard portion of a property to a maximum height of 4 feet. As such, the proposed fence requires dimensional variances only for those portions located within 10 feet of the Paine and Lindberg Street property lines.

 8/21/2024
 Edward M. Tanner, Zoning Officer



Bristol, RI

1 inch = 36 Feet



www.cai-tech.com

August 21, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-29**

APPLICANT: Alex A. and Emily E. Romano

LOCATION: 17 Mulberry Road

PLAT: 74 LOT: 17 ZONE: R-20

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Modify a previously approved variance decision and construct an approximate 26ft. x 50ft. single-story accessory dwelling unit (ADU) addition and a 23ft. x 32ft. two-story garage addition to an existing single-family dwelling with less than the required right side yard and less than the required rear yard.

COMPREHENSIVE PLAN REVIEW:


As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

In April 2024 the applicants received dimensional variances (File #2024-12) to construct an addition to connect an existing single-family dwelling and existing detached garage structure at this property located on the northerly side of Mulberry Road. The proposed addition would contain an accessory dwelling unit (ADU) to be utilized by the applicants' family members. The applicants have since investigated the condition of the detached garage and found that due to its age and manner of construction, it is not suitable for connection to the proposed addition. The applicants now propose to demolish the existing garage and to construct a new 23' x 32' three car garage in its place. As proposed, the new garage addition would be larger than the existing garage structure and would include second story living space that will extend partially over the proposed ADU addition. The proposed garage would be located further forward on the lot and at an angle that will bring it slightly farther away from the right side property line than the existing garage structure.

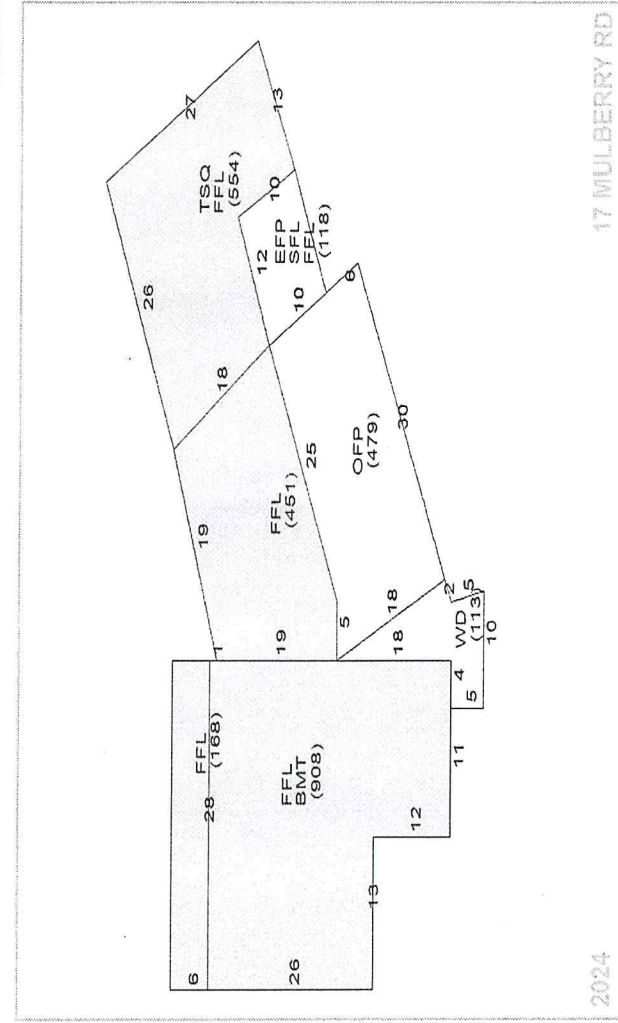
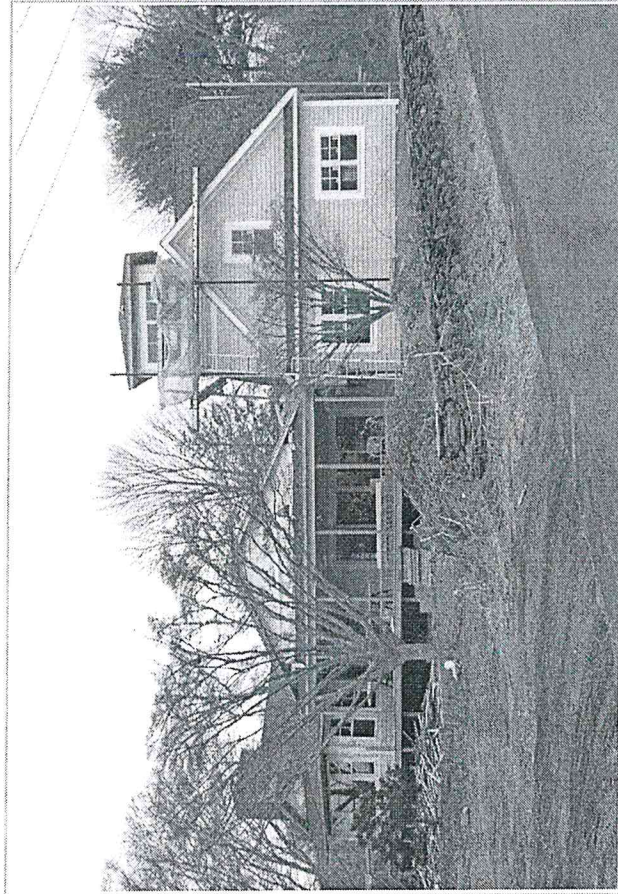
This property contains approximately 22,625 square feet of land area and is improved with a one to two-story dwelling that was reportedly originally constructed in the 1940's. The East Bay Bike Path abuts the property to the west. In November 2016, the applicants were granted relief (File No. 2016-27) to construct a second story addition and covered front porch on the existing dwelling partially within front and rear yard setbacks.

The proposed addition would extend from the northern portion of the dwelling and measure approximately 26' x 50' in size. This addition would include the proposed one bedroom single-story ADU, a connecting hallway, and a stairway leading to a proposed "loft/guest" bedroom and bathroom space to be located above the proposed garage. As with the previously approved proposal, the proposed addition is depicted to be in line with the northerly wall of the existing dwelling and would be located approximately 20 feet from the northerly rear property line. The zoning ordinance requires a 35 foot rear yard setback in the R-20 zone. The proposed addition would also extend to within approximately 2 to 3 feet of the easterly right side property line. This setback is slightly farther away from the right side property line than the original proposal as it corresponds to the setback of the southeast corner of the existing detached garage. The zoning ordinance requires a 20 foot minimum side yard setback in the R-20 zone.

 8/22/2024
 Edward M. Tanner, Zoning Officer

[illegible]

| ► Assessment | | | | | | | | | | ► Previous Assessments | | | | | |
|--------------|--------------|------------------------|-----------|--------------------------|-----------|----------------|------|-----|----------|------------------------|-----------|---------|------------|-----------------|----------------|
| Use Code | Bldg Value | SFYI Value | Land Size | Land Value | AG Credit | Assessed Value | Year | LUC | Building | SFYI | Land Size | Land | AGR Credit | Appraised Value | Assessed Value |
| 01 | 379,900 | 13,800 | 0.44 | 285,300 | 0 | 679,000 | 2024 | 01 | 379,900 | 13,800 | 0 | 285,300 | 0 | 679,000 | 679,000 |
| TOTAL | 379,900 | 13,800 | 0.44 | 285,300 | 0 | 679,000 | 2023 | 01 | 379,900 | 13,800 | 0 | 285,300 | 0 | 679,000 | 679,000 |
| | | | | | | | 2022 | 01 | 379,900 | 13,800 | 0 | 285,300 | 0 | 679,000 | 679,000 |
| | | | | | | | 2021 | 01 | 249,800 | 13,800 | 0 | 226,800 | 0 | 490,400 | 490,400 |
| | | | | | | | 2020 | 01 | 249,800 | 13,800 | 0 | 226,800 | 0 | 490,400 | 490,400 |
| Source > | Mkt Adj Cost | VAL per SQ Unit/Card > | 156.07 | VAL per SQ Unit/Parcel > | 156.07 | | 2019 | 01 | 249,800 | 13,800 | 0 | 226,800 | 0 | 490,400 | 490,400 |

[illegible]



Town of Bristol, Rhode Island

Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2024-30**

APPLICANT: John M. Lannan / Fairpoint Realty, LLC

LOCATION: 111 King Phillip Avenue

PLAT: 147 LOTS: 61 & 62 ZONE: R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Modify a previously approved variance decision and demolish an existing single-family dwelling, construct a new 23ft. x 43ft. two-story single-family dwelling with a 19ft. x 23ft. porch and a 24ft. x 24ft. attached single-story garage with less than the required front yards on a corner lot.

COMPREHENSIVE PLAN REVIEW:


As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:

In March 2024 the applicant received dimensional variances (File #2024-06) to construct additions to an existing single-family dwelling on this property located on the westerly side of King Phillip Avenue and the southerly side of Narrows Road. The applicant has since investigated the structural integrity of the dwelling, which was constructed in the mid-1950's, and reportedly determined that it was in poor condition and could not be added to as originally proposed. The applicant has demolished the dwelling with the exception of its foundation; and now proposes to reconstruct the previous structure on its original foundation and to construct the previously approved additions to nearly the same dimensions as previously proposed. As the original variance application was for additions to an existing dwelling and that dwelling is no longer existing, I have determined that this is a substantial change from the original approved application and that this proposal must return to the zoning board for approval.

As with the previously approved application, the proposed two-story dwelling and proposed mudroom and garage would be located partially within the front yard setback of both intersecting streets. The dwelling and wrap around covered front porch would be located approximately 15 feet from the easterly front property line at King Phillip Avenue and approximately 3.5 feet from the northerly front property line at Narrows Road. The zoning ordinance requires a minimum 30 foot front yard setback in the R-10 zoning district.

The proposed garage and breezeway / great room addition would extend off the south side of the dwelling. Although it would be set back approximately 4 feet from the front of the dwelling, a portion of the proposed garage and breezeway addition would extend into the front yard setback from King Phillip Avenue. As proposed, the garage would be located 19.4 feet from the easterly King Phillip Avenue property line. Of note, the current design for the proposed garage is smaller than originally proposed and approved, as there is no longer a second floor in the design.


8/22/2024

Edward M. Tanner, Zoning Officer



Town of Bristol, Rhode Island

Department of Community Development Zoning Board of Review

APPLICATION

File No: **2024-25**Accepted by ZEO: **EMT 7/22/24**

| | | | | |
|-----------------|----------|----------------|--------|---------------------|
| APPLICANT: | Name: | DAVID LOUREIRO | | |
| | Address: | 27 FRANCA DR. | | |
| | City: | BRISTOL | State: | RI Zip: 02809 |
| | Phone #: | 401-864-6148 | Email: | LOUREIROMSS@AOL.COM |
| PROPERTY OWNER: | Name: | DAVID LOUREIRO | | |
| | Address: | 27 FRANCA DR. | | |
| | City: | BRISTOL | State: | RI Zip: 02809 |
| | Phone #: | 401-864-6148 | Email: | LOUREIROMSS@AOL.COM |

1. Location of subject property: **27 FRANCA DRIVE**Assessor's Plat(s) #: **123**Lot(s) #: **157**2. Zoning district in which property is located: **R-8**

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)☐ Special Use Permit☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s):

LESS THAN REQUIRED SIDE YARD AND

Special Use Permit Section(s):

MORE LOT COVERAGE THAN REQUIRED

Use Variance Section(s):

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? **34 YEARS**7. Present use of property: **PRIMARY HOME**8. Is there a building on the property at present? **YES**

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):

42' x 24' - 1193 SqFT - HEIGHT 20' 9"10. Proposed use of property: **ADDITION OF GARAGE AND 2ND FLOOR ABOVE FOR STORAGE**

11. Give extent of proposed alterations: ADDITION OF A GARAGE 17'-11" X 24'
WITH A 2ND FLOOR ABOVE TO BE USED FOR STORAGE

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
17'-11" X 24' - 429 SQFT GARAGE - 429 SQFT STORAGE AREA
2ND FLOOR - 23' HEIGHT

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

| | | |
|----------------------|------------------------------|------------------------------|
| Front lot line(s): | Required Setback: <u>30'</u> | Proposed Setback: <u>30'</u> |
| Left side lot line: | Required Setback: <u>15'</u> | Proposed Setback: <u>57'</u> |
| Right side lot line: | Required Setback: <u>15'</u> | Proposed Setback: <u>5'</u> |
| Rear lot line: | Required Setback: <u>30'</u> | Proposed Setback: <u>46'</u> |
| Building height: | Required: <u>35' MAX</u> | Proposed: <u>23'</u> |

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):

Required: 25% LOT COVERAGE Proposed: 32% LOT COVERAGE

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? _____

If yes, has he refused a permit? _____

If refused, on what grounds? _____

15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: _____ Sewer: _____

17. Is the property located in the Bristol Historic District or is it an individually listed property? INDIVIDUALLY

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: David Loureiro

Date: 7/22/24

Print Name: DAVID LOUREIRO

Property Owner's Signature: _____ Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

David Loureiro
27 Franca Drive
Bristol, Rhode Island 02885
Loureiromss@aol.com
401-864-6148
07/22/24

Dear Members of the Bristol Zoning Board,

I am writing to request a variance or special use permit for adding storage to my house located at 27 Franca Drive. This request is based on unique circumstances that make it difficult to follow the current zoning rules.

The proposed storage addition will fit well with the surrounding properties and won't disrupt the neighborhood or negatively affect nearby homes.

Our proposal aligns with Bristol's comprehensive plan, supporting orderly growth and economic development. It includes measures to reduce any potential negative impacts on neighboring properties, such as adequate buffering, landscaping, and thoughtful site design to minimize noise, visual intrusion, and traffic congestion. The addition will be supported by existing infrastructure and will not strain municipal services.

Additionally, our plan prioritizes public health, safety, and welfare by incorporating necessary safety measures and complying with local building codes. The development plan also demonstrates environmental stewardship through sustainable practices and the preservation of natural features.

Considering these points, we believe the variance request meets the criteria outlined in Section 28-409 of the zoning ordinance, justifying the need for approval. We appreciate your attention to this matter and are confident that our proposal will benefit both our property and the broader community.

Thank you for your time and consideration.

Sincerely,

David Loureiro

Proposed
Addition
For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

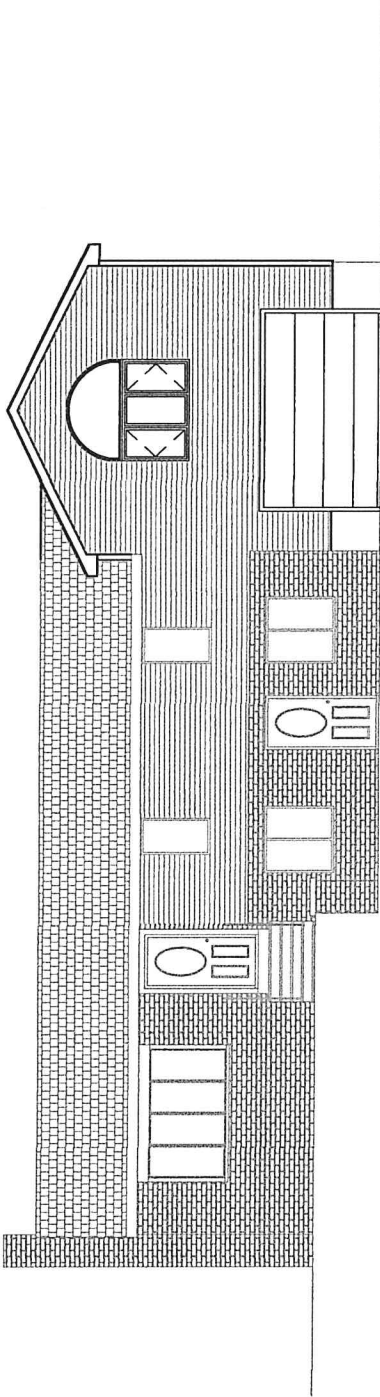
PROJECT NUMBER: 0000
Drawn By: SM
Checked By: X
Issue Date: 10-30-08

Drawing Index:

| | | | |
|--|------|-------------|--|
| 1. Cover Sheet | | | |
| 2. Garage Foundation & Floor Plan | | | |
| 3. Floor Plan Cross Sections & Details | | | |
| 4. Elevations | | | |
| 5. Site Plan | | | |
| Revisions | | | |
| No | Date | Description | |
| | | | |
| | | | |
| | | | |

Drawing Title:
Cover Sheet
Scale:

Drawing Number:
1 of 4



Proposed Addition For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Plot 123 Lot 157

GENERAL NOTES:

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE FOUR (4) CYCLES FOR 28 DAYS. PROVIDE TOTAL ULTIMATE STRENGTH OF 6000 P.S.I. FOR ALL EXPOSED AIR ENTRAINED CONCRETE. PROVIDE WEATHER MAXIMUM WATER/CEMENT RATIO OF 0.45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).
2. FINISHES SHALL BE AS FOLLOWS:
FOOTINGS - 3 INCHES
FOUNDATION WALLS - 2 INCHES
3. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185.
4. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F.
5. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUB GRADE CONTAINING FREE WATER, FROST, ICE OR MUD.
6. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS. EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.
7. ALL MASONRY WORK SHALL CONFORM TO NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).
8. ALL MORTAR SHALL BE TYPE M OR S.
9. GROUT SHALL BE INSTALLED IN 4 FOOT LIFTS AND 30 MINUTES OF PLACEMENT. SUCCEEDING LIFTS SHALL FOLLOW AFTER WAITING 15 OR 30 MINUTES TO ALLOW FOR SETTLEMENT AND ABSORPTION OF EXCESS WATER.
10. JOINT REINFORCING SHALL CONFORM TO ASTM A85.
11. NAILING SHALL CONFORM TO TABLE 2305.2 OF RHODE ISLAND STATE BUILDING CODE.
12. STRUCTURAL LUMBER SHALL BE HEMFIR #1 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.

13. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTIONS DEPARTMENT AND THE IRC 2012 CODE AND/OR ANY APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION AT THE PROJECT SITE.
14. ALL MECHANICAL, PLUMBING AND ELECTRICAL TRADE WORK WILL BE DESIGN BUILD AND MUST BE COORDINATED WITH STRUCTURAL WORK PRIOR TO CONSTRUCTION. ANY DISCREPANCY MUST BE REPORTED TO THE OWNER IMMEDIATELY.
15. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
16. CONTRACTOR SHALL SHORE, BRACE, OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES AND COORDINATE THE STRUCTURAL WORK AND BUILDING WORK REQUIRED FOR THE CONSTRUCTION PHASES FOR SMOOTH TRANSITION OF WORK.
17. SITE GRADING TO BE FIELD DETERMINED. PROVIDE MINIMUM POSITIVE DRAINAGE AWAY FROM FOUNDATION WALL.
18. CONFIRM QUANTITY, TYPE AND LOCATION OF SMOKE DETECTORS WITH LOCAL FIRE OFFICIAL OR AUTHORITY HAVING JURISDICTION.
19. CONTRACTOR TO COORDINATE ALL INTERIOR FINISHES, DOOR STYLE, MATERIAL, TRIM, CASING, CLOSET ROD, SHELVING, FLOORING AND ACCESSORIES WITH OWNER.
20. ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE BUILDING CODES.
21. ALL ENGINEERED PRODUCTS SUCH AS JOISTS, BEAMS AND TRUSSES ARE DESIGNED AND SPECIFIED BY OTHERS. THE SUPPLIER SHALL PROVIDE THE BUILDING OFFICIAL ANY AND ALL DRAWINGS, CALCULATIONS AND OTHER REQUIRED INFORMATION TO COMPLETE THIS PROJECT.

22. THESE DRAWINGS WERE PREPARED WITH REASONABLE CARE HOWEVER, THE DESIGNER DOES NOT GUARANTEE AGAINST HUMAN ERROR. THEREFORE IT IS IMPERATIVE THAT THE CONTRACTORS CHECK ALL DIMENSIONS, DETAILS AND MUST VERIFY ALL CONDITIONS AND DIMENSIONS AT THE CONSTRUCTION SITE BEFORE ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
23. CONTRACTOR WILL NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.
24. ANY DEVIATION FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER WOULD MAKE NULL AND VOID.
25. NOTIFY DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.
26. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
27. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-800-225-4977.

SM
Design & Drafting
Riverside, RI 02915
Email: smd54@gmail.com

Proposed
Addition
For:

David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

PROJECT NUMBER: 0008
Drawn By: SM
Checked By: X
Issue Date: 10-20-20

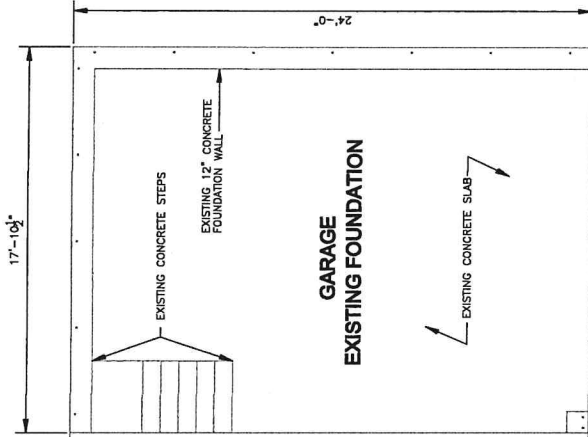
Drawing Index:
Sheet No. Description

| Sheet No. | Description |
|--|------------------|
| 1. Cover Sheet | |
| 2. Garage Foundation & Floor Plan | |
| 3. Floor Plan Cross Sections & Details | |
| 4. Elevations | |
| 5. Site Plan | |
| Revisions | |
| No. | Date Description |
| | |
| | |
| | |

Drawing Title:
Garage Foundation & Floor Plan
Scale: 1/4"=1'

Drawing Number

2 of 5



EXISTING GARAGE FOUNDATION

| DOOR SCHEDULE THIS SHEET | | | |
|--------------------------|-----|-------------------------|------------------------|
| NO. | QTY | ROUGH OPENING | TYPE |
| ① | 1 | 12'-6 1/2" x 7'-2 1/4" | 12' x 7' GARAGE DOOR |
| ② | 2 | 2'-10 1/2" x 6'-10 1/4" | 2'-8" x 6'-8" EXTERIOR |

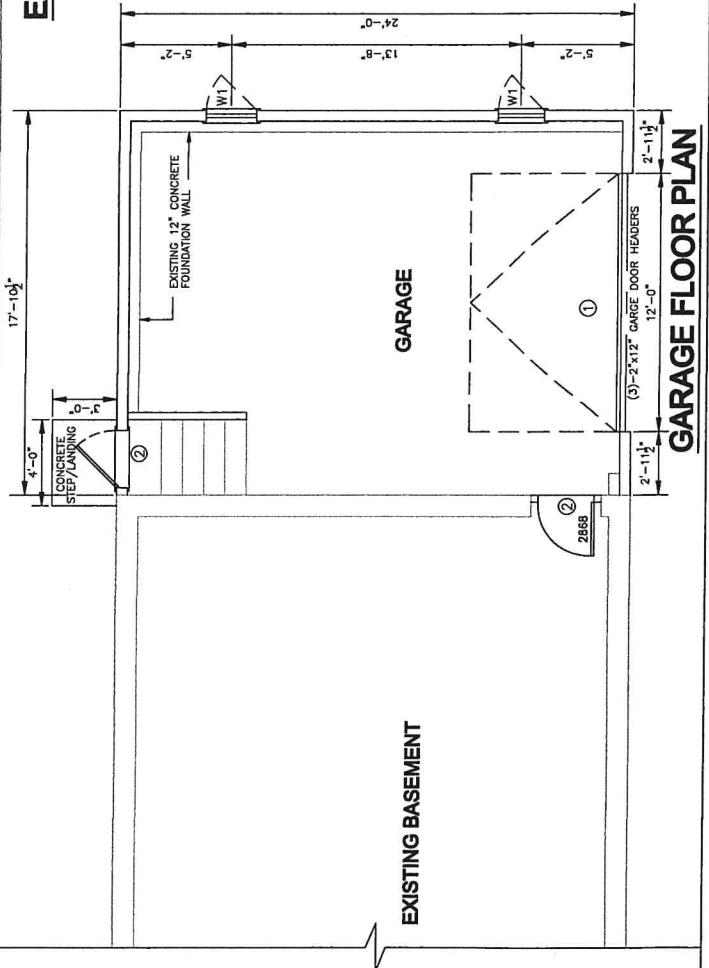
DOOR NOTES:

1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS.

| ANDERSEN WINDOW SCHEDULE THIS SHEET | | | |
|-------------------------------------|-----|-----------------------|-------------|
| NO. | QTY | ROUGH OPENING | DESIGNATION |
| W1 | 2 | 2'-4 1/2" x 4'-5 1/2" | CW145 |

WINDOWS NOTES:

1. VERIFY ALL WINDOW TYPES AND MANUFACTURER WITH HOMEOWNER PRIOR TO ORDERING WINDOWS.
2. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
3. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
4. SILL HEIGHT FROM FINISH FLOOR MIN. 24" AND MAX. 44" FROM FINISHED FLOOR.



GARAGE FLOOR PLAN

For:

David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

| | |
|-----------------|----------|
| PROJECT NUMBER: | 00428 |
| Drawn By: | BM |
| Checked By: | X |
| Issue Date: | 10-20-20 |

| Drawing Index: | |
|----------------|-------------|
| Sheet No. | Description |

| Revisions | No. | Date | Description |
|-----------|-----|------|-------------|
| | | | |
| | | | |
| | | | |

Drawing Tiles:

Floor Plan, Cross Section & Details

Order: 1/4" x 1"

Ordering Number

3 of 5

| DOOR SCHEDULE THIS SHEET | | | |
|--------------------------|-----|-----------------------------|-------------------------|
| NO. | QTY | ROUGH OPENING | TYPE |
| ③ | 1 | 5'-2 $\frac{1}{4}$ "x6'-10" | 5'-0"x6'-8" FRENCH DOOR |

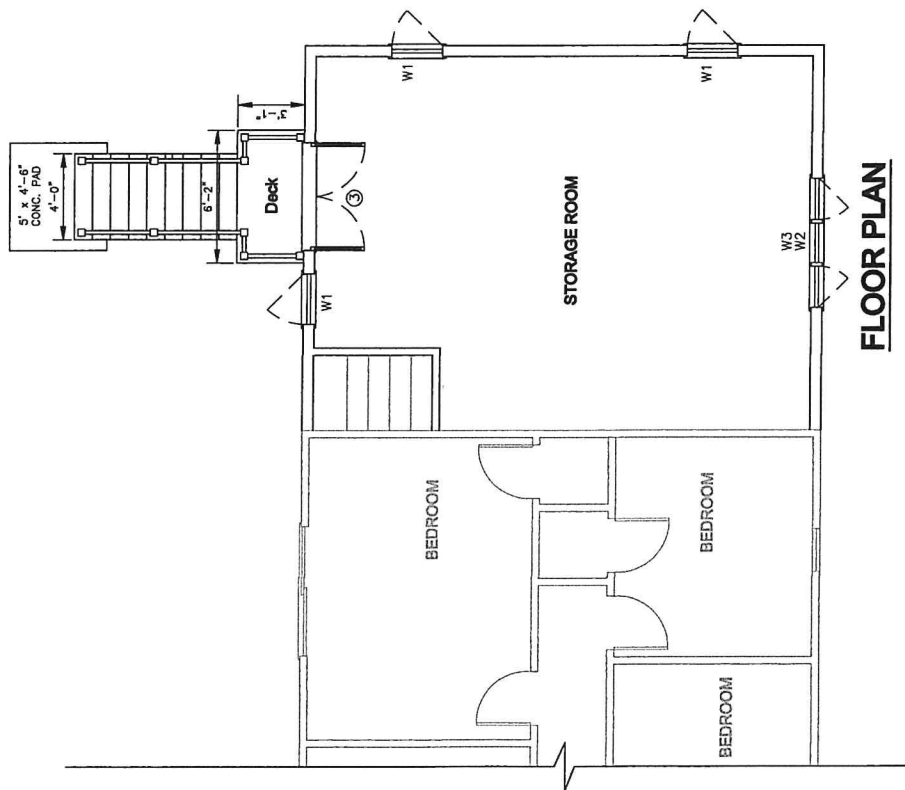
DOOR NOTES:

1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS.

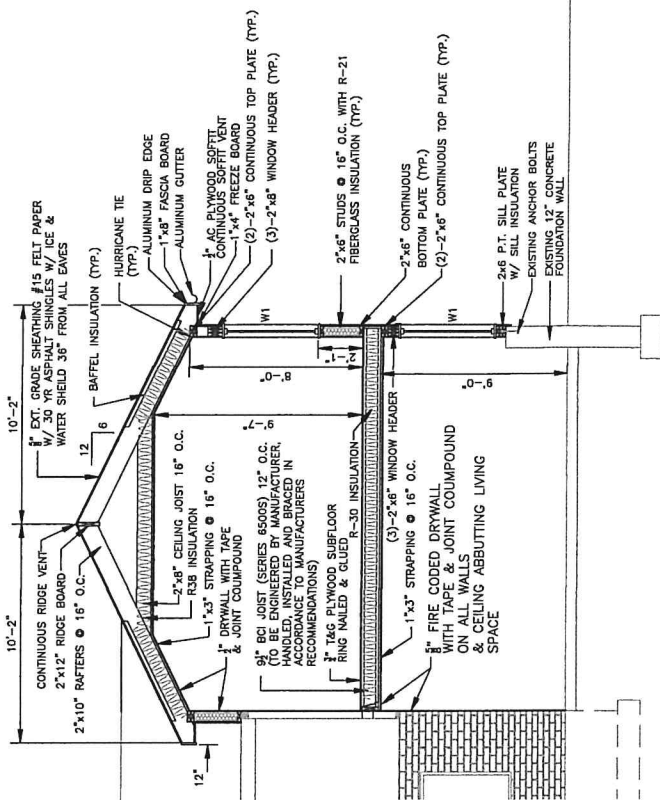
| ANDERSEN WINDOW SCHEDULE THIS SHEET | | | | |
|-------------------------------------|------|-----------------------|-------------|-------------|
| NO. | QTY. | ROUGH OPENING | DESIGNATION | TYPE |
| W1 | 3 | 2'-4 1/2" x 4'-5 3/4" | CW145 | CASEMENT |
| W2 | 1 | 6'-0 1/2" x 4'-0" | C34 | CASEMENT |
| W3 | 1 | 6'-0 1/2" x 3'-2 1/2" | CTC3 | HALF CIRCLE |

WINDOWS NOTES:

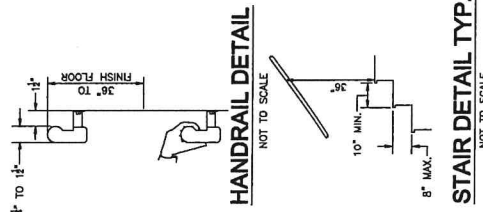
1. VERIFY ALL WINDOW TYPES AND MANUFACTURER WITH HOMEOWNER PRIOR TO ORDERING WINDOWS.
2. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
3. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
4. SILL HEIGHT FROM FINISH FLOOR MIN. 24" AND MAX. 44" FROM FINISHED FLOOR.



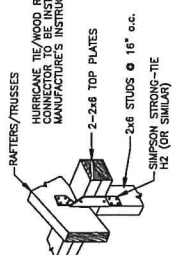
FLOOR PLAN



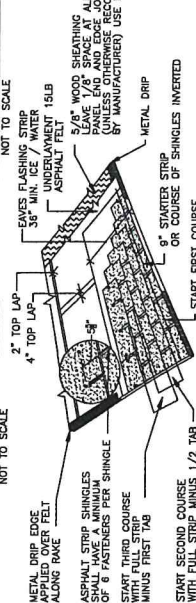
CROSS SECTION



HURRICANE TIE DETAIL



GABLE RIDGE VENT DETAIL



ROOF SHINGLE APPLICATION DETAIL



SM

Design & Drafting
Riverside, RI 02915
Email: smc04@man.com

Proposed Addition
For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

PROJECT NUMBER: 0058
Drawn By: SM
Checked By: X
Issue Date: 10-20-20

Drawing Index:
Sheet No.: Description

| Sheet No. | Description |
|-----------|-------------------------------------|
| 1. | Cover Sheet |
| 2. | Garage Foundation & Floor Plan |
| 3. | Floor Plan Cross Sections & Details |
| 4. | Elevations |
| 5. | Site Plan |
| Revisions | |
| No. | Date Description |
| | |
| | |
| | |

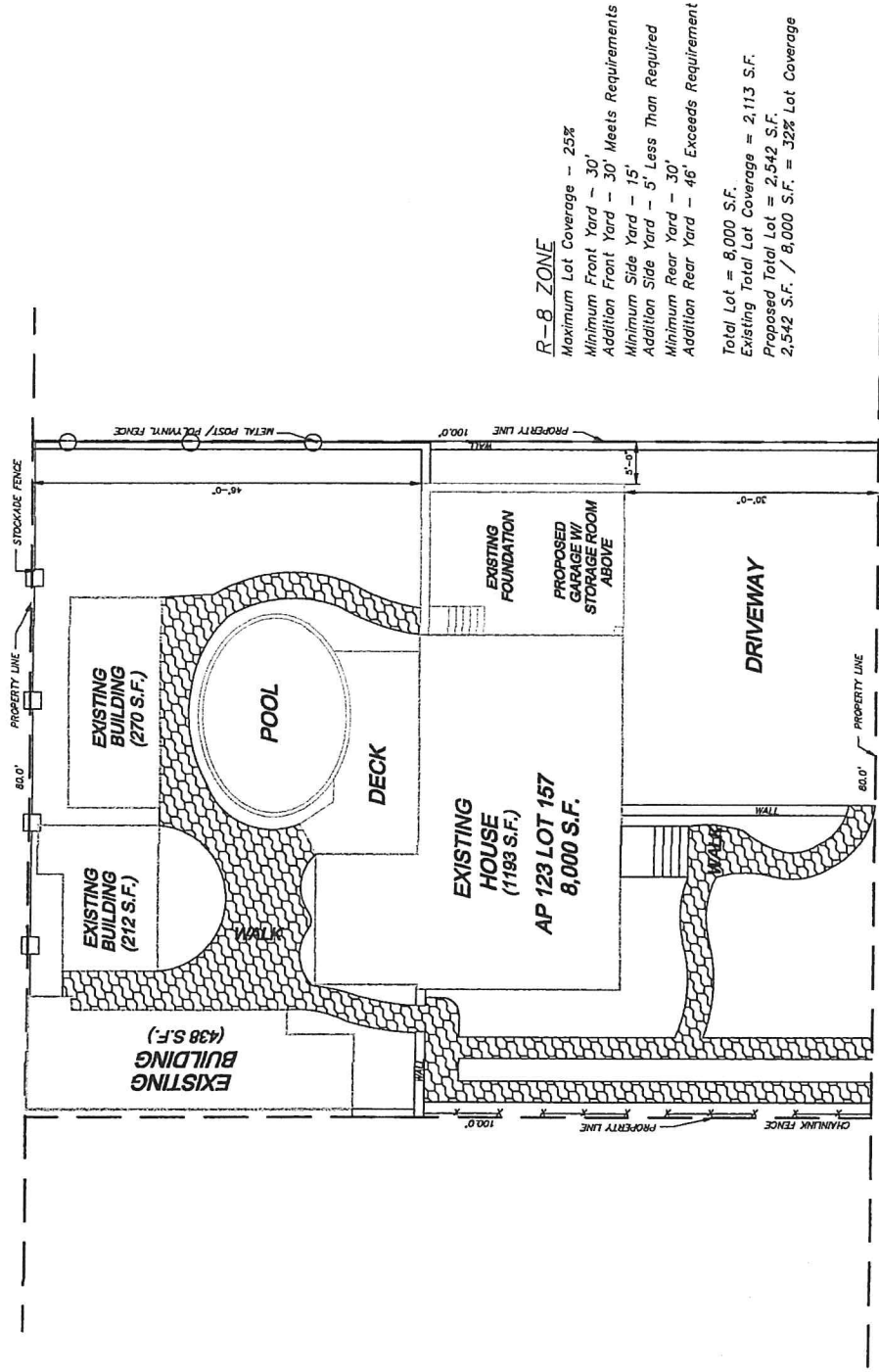
Drawing Title

Site Plan

Scale: 1" = 10'

Drawing Number

5 of 5



NOTE:
THIS PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY. LOT DIMENSIONS & LOCATIONS WERE TAKEN FROM ASSESSORS MAPS AND TAPE MEASUREMENT.

FRANCA DRIVE

SITE PLAN



27 Franca Drive - 300' Radius

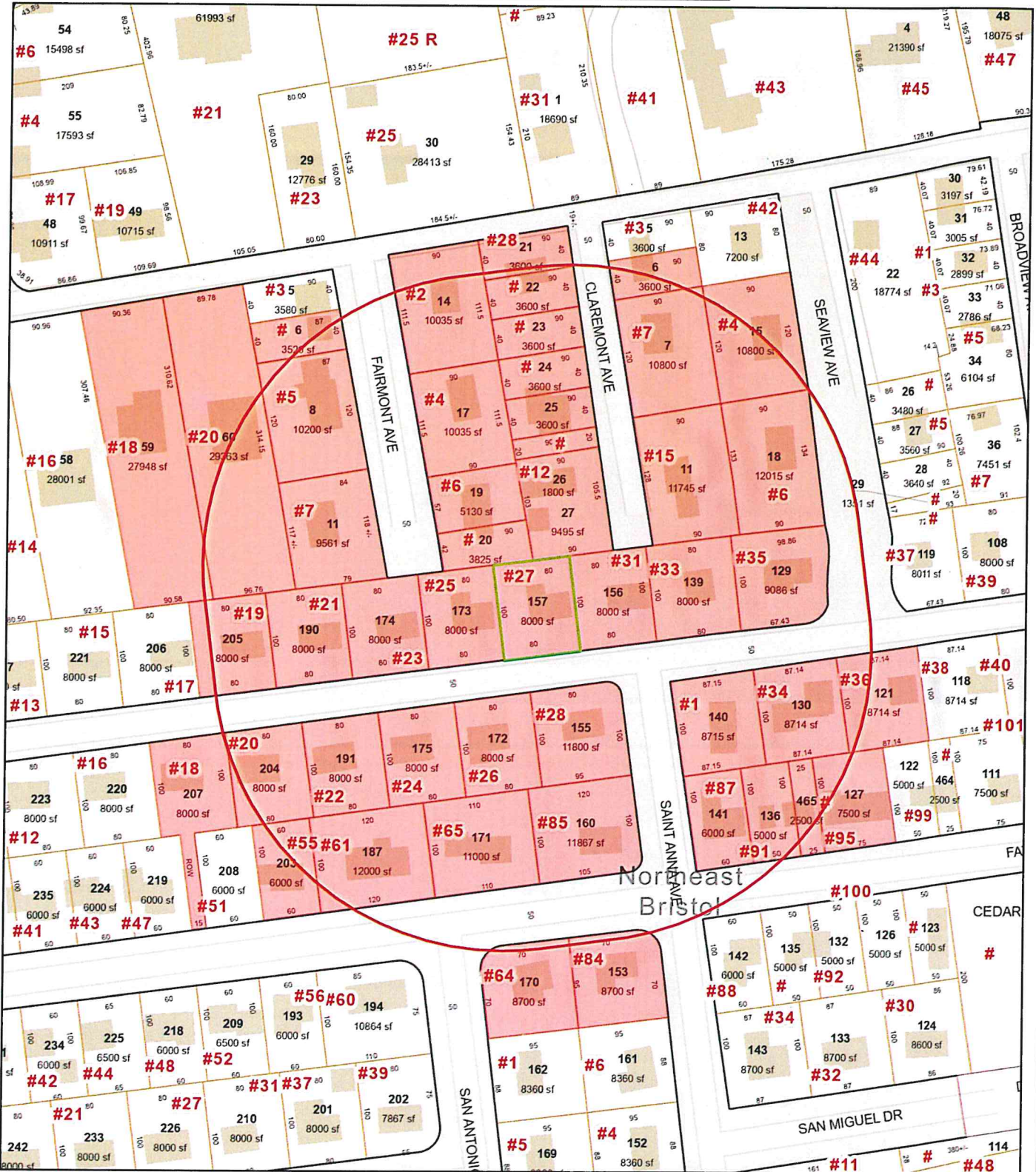
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

July 22, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Subject Property:

Parcel Number: 123-157
CAMA Number: 123-157
Property Address: 27 FRANCA DR

Mailing Address: LOUREIRO, DAVID V.
27 FRANCA DRIVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 120-11
CAMA Number: 120-11
Property Address: 7 FAIRMOUNT AVE

Mailing Address: CAVALIERI, PETER JULIE
15 HAWTHORNE AVE
BRISTOL, RI 02809

Parcel Number: 120-14
CAMA Number: 120-14
Property Address: 2 FAIRMOUNT AVE

Mailing Address: SANTERRE, CORY J & KERRY L TE
2 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-17
CAMA Number: 120-17
Property Address: 4 FAIRMOUNT AVE

Mailing Address: ELLIN, MARISA A. TRUSTEE OF MARISA
A. ELLIN LIVING TRUST
4 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-19
CAMA Number: 120-19
Property Address: 6 FAIRMOUNT AVE

Mailing Address: FOX, NELSON J & CEIRY A TE
6 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-20
CAMA Number: 120-20
Property Address: FAIRMOUNT AVE

Mailing Address: FOX, NELSON J & CEIRY A TE
6 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-21
CAMA Number: 120-21
Property Address: 28 BUTTERWORTH AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-22
CAMA Number: 120-22
Property Address: CLAREMONT AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-23
CAMA Number: 120-23
Property Address: CLAREMONT AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-24
CAMA Number: 120-24
Property Address: CLAREMONT AVE

Mailing Address: MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 120-25
CAMA Number: 120-25
Property Address: 10 CLAREMONT AVE

Mailing Address: MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 1 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

| | |
|--|--|
| Parcel Number: 120-26 CAMA Number: 120-26 Property Address: CLAREMONT AVE | Mailing Address: MATOS, MARIA 10 CLAREMONT AVE BRISTOL, RI 02809 |
| Parcel Number: 120-27 CAMA Number: 120-27 Property Address: 12 CLAREMONT AVE | Mailing Address: PATTIE, CHERYL A 12 CLAREMONT AVE BRISTOL, RI 02809 |
| Parcel Number: 120-59 CAMA Number: 120-59 Property Address: 18 BUTTERWORTH AVE | Mailing Address: FONSECA, RYAN M & FONSECA, MEGAN E TE 18 BUTTERWORTH AVE BRISTOL, RI 02809 |
| Parcel Number: 120-6 CAMA Number: 120-6 Property Address: FAIRMOUNT AVE | Mailing Address: QUINTIN, PAUL H. ANN M. TE 3 FAIRMOUNT AVE BRISTOL, RI 02809 |
| Parcel Number: 120-60 CAMA Number: 120-60 Property Address: 20 BUTTERWORTH AVE | Mailing Address: VANN, STEVEN 20 BUTTERWORTH AVE BRISTOL, RI 02809 |
| Parcel Number: 120-8 CAMA Number: 120-8 Property Address: 5 FAIRMOUNT AVE | Mailing Address: ROZA, DAVID J LE ETHIER, BRANDY L- TRUSTEE, DAVID J ROZA TRUST 5 FAIRMOUNT AVE BRISTOL, RI 02809 |
| Parcel Number: 121-11 CAMA Number: 121-11 Property Address: 15 CLAREMONT AVE | Mailing Address: VILLALOBOS, RICARDO A 15 CLAREMONT AVE BRISTOL, RI 02809 |
| Parcel Number: 121-15 CAMA Number: 121-15 Property Address: 4 SEAVIEW AVE | Mailing Address: THE BUCK FAMILY TRUST 4 SEA VIEW AVE BRISTOL, RI 02809 |
| Parcel Number: 121-18 CAMA Number: 121-18 Property Address: 6 SEAVIEW AVE | Mailing Address: FRANCIS, FRANK JR. 6 SEAVIEW AVE BRISTOL, RI 02809 |
| Parcel Number: 121-7 CAMA Number: 121-7 Property Address: 7 CLAREMONT AVE | Mailing Address: AGUIAR, ARTHUR D ALDEBERTA LIFE ESTATE 7 CLAREMONT AVE BRISTOL, RI 02809 |
| Parcel Number: 123-121 CAMA Number: 123-121 Property Address: 36 FRANCA DR | Mailing Address: MEDEIROS, BRUCE A. 36 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-127 CAMA Number: 123-127 Property Address: 95 FATIMA DR | Mailing Address: WATERMAN, WENDY TRUSTEE 95 FATIMA DR BRISTOL, RI 02809 |



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 2 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

| | |
|---|---|
| Parcel Number: 123-129 CAMA Number: 123-129 Property Address: 35 FRANCA DR | Mailing Address: MCLAUGHLIN, DANIEL M. PARE, AMY E. TE 35 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-130 CAMA Number: 123-130 Property Address: 34 FRANCA DR | Mailing Address: SANTOS, ROBERT W. KIMBERLY A. 34 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-136 CAMA Number: 123-136 Property Address: 91 FATIMA DR | Mailing Address: DUFAULT, JESSE G & ELIZABETH M TE 91 FATIMA DR BRISTOL, RI 02809 |
| Parcel Number: 123-139 CAMA Number: 123-139 Property Address: 33 FRANCA DR | Mailing Address: PIRRI, ALEXANDER J & SHEILDS-PIRRI, CARLY G. TE 33 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-140 CAMA Number: 123-140 Property Address: 1 ST ANNA AVE | Mailing Address: GAGNER, ERIC S & CHRISTOPHER P TRUSTEES 1 ST ANNA AVENUE BRISTOL, RI 02809 |
| Parcel Number: 123-141 CAMA Number: 123-141 Property Address: 87 FATIMA DR | Mailing Address: PACHECO, JASON A & MAYNARD, TALYA F JT 87 FATIMA DR BRISTOL, RI 02809 |
| Parcel Number: 123-153 CAMA Number: 123-153 Property Address: 84 FATIMA DR | Mailing Address: SOUSA, JOAO M MARIA C 84 FATIMA DR BRISTOL, RI 02809 |
| Parcel Number: 123-155 CAMA Number: 123-155 Property Address: 28 FRANCA DR | Mailing Address: FARIA, FERNANDO T & MARIA EUGENIA LE DEALMEIDA, MARY LOU C/O 28 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-156 CAMA Number: 123-156 Property Address: 31 FRANCA DR | Mailing Address: DESOUSA, DOMINGOS D 31 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-157 CAMA Number: 123-157 Property Address: 27 FRANCA DR | Mailing Address: LOUREIRO, DAVID V. 27 FRANCA DRIVE BRISTOL, RI 02809 |
| Parcel Number: 123-160 CAMA Number: 123-160 Property Address: 85 FATIMA DR | Mailing Address: ROVENKO, ANDREW 293 KNOLLWOOD AVE CRANSTON, RI 02910 |
| Parcel Number: 123-170 CAMA Number: 123-170 Property Address: 64 FATIMA DR | Mailing Address: HOOTON, ALEXANDRIA LE HOOTON, GARY J 64 FATIMA DR BRISTOL, RI 02809 |



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 3 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

| | |
|--|---|
| Parcel Number: 123-171 CAMA Number: 123-171 Property Address: 65 FATIMA DR | Mailing Address: REBELLO, ALFRED R ET UX REBELLO, DOLORES TE 65 FATIMA DRIVE BRISTOL, RI 02809 |
| Parcel Number: 123-172 CAMA Number: 123-172 Property Address: 26 FRANCA DR | Mailing Address: SILVA, LISETTE M TRUSTEE LIVING TRUST 26 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-173 CAMA Number: 123-173 Property Address: 25 FRANCA DR | Mailing Address: MILHOMENS, MARIE E 25 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-174 CAMA Number: 123-174 Property Address: 23 FRANCA DR | Mailing Address: GAUDREAU, MICHAEL P. ALYSSA I TE 23 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-175 CAMA Number: 123-175 Property Address: 24 FRANCA DR | Mailing Address: LEVESQUE, ARTHUR J III 24 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-187 CAMA Number: 123-187 Property Address: 61 FATIMA DR | Mailing Address: FERIOLI, JUDITH M LE GAMACHE, LISA M & 61 FATIMA DR BRISTOL, RI 02809 |
| Parcel Number: 123-190 CAMA Number: 123-190 Property Address: 21 FRANCA DR | Mailing Address: COROA, GARY D. REBECCA A. JT 21 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-191 CAMA Number: 123-191 Property Address: 22 FRANCA DR | Mailing Address: SAMPSON, PAMELA G. 22 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-203 CAMA Number: 123-203 Property Address: 55 FATIMA DR | Mailing Address: ANDERSON, CAROLINE HELEN 55 FATIMA DR BRISTOL, RI 02809 |
| Parcel Number: 123-204 CAMA Number: 123-204 Property Address: 20 FRANCA DR | Mailing Address: MEDEIROS, CARLOS F MARIA T 20 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-205 CAMA Number: 123-205 Property Address: 19 FRANCA DR | Mailing Address: COSTA, AGOSTINHO & CLARA LE REM-COSTA, JOHN & DIANE 19 FRANCA DR BRISTOL, RI 02809 |
| Parcel Number: 123-207 CAMA Number: 123-207 Property Address: 18 FRANCA DR | Mailing Address: JONES, JOSHUA D & TERESA M TE 18 FRANCA DR BRISTOL, RI 02809 |



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 4 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Parcel Number: 123-465
CAMA Number: 123-465
Property Address: FATIMA DR

Mailing Address: DUFAULT, JESSE G & ELIZABETH M TE
91 FATIMA DR
BRISTOL, RI 02809



www.cai-tech.com

7/22/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 5 of 5

AGUIAR, ARTHUR D
ALDEBERTA LIFE ESTATE
7 CLAREMONT AVE
BRISTOL, RI 02809

FONSECA, RYAN M &
FONSECA, MEGAN E TE
18 BUTTERWORTH AVE
BRISTOL, RI 02809

MCLAUGHLIN, DANIEL M.
PARE, AMY E. TE
35 FRANCA DR
BRISTOL, RI 02809

ANDERSON, CAROLINE HELEN
55 FATIMA DR
BRISTOL, RI 02809

FOX, NELSON J & CEIRY A T
6 FAIRMOUNT AVE
BRISTOL, RI 02809

MEDEIROS, BRUCE A.
36 FRANCA DR
BRISTOL, RI 02809

CAVALIERI, PETER
JULIE
15 HAWTHORNE AVE
BRISTOL, RI 02809

FRANCIS, FRANK JR.
6 SEAVIEW AVE
BRISTOL, RI 02809

MEDEIROS, CARLOS F
MARIA T
20 FRANCA DR
BRISTOL, RI 02809

COROA, GARY D.
REBECCA A. JT
21 FRANCA DR
BRISTOL, RI 02809

GAGNER, ERIC S &
CHRISTOPHER P TRUSTEES
1 ST ANNA AVENUE
BRISTOL, RI 02809

MILHOMENS, MARIE E
25 FRANCA DR
BRISTOL, RI 02809

COSTA, AGOSTINHO & CLARA
REM-COSTA, JOHN & DIANE
19 FRANCA DR
BRISTOL, RI 02809

GAUDREAU, MICHAEL P.
ALYSSA I TE
23 FRANCA DR
BRISTOL, RI 02809

PACHECO, JASON A &
MAYNARD, TALYA F JT
87 FATIMA DR
BRISTOL, RI 02809

DESOUSA, DOMINGOS D
31 FRANCA DR
BRISTOL, RI 02809

HOOTON, ALEXANDRIA LE
HOOTON, GARY J
64 FATIMA DR
BRISTOL, RI 02809

PATTIE, CHERYL A
12 CLAREMONT AVE
BRISTOL, RI 02809

DUFAULT, JESSE G & ELIZAB
91 FATIMA DR
BRISTOL, RI 02809

JONES, JOSHUA D &
TERESA M TE
18 FRANCA DR
BRISTOL, RI 02809

PIRRI, ALEXANDER J &
SHEILDS-PIRRI, CARLY G. T
33 FRANCA DR
BRISTOL, RI 02809

ELLIN, MARISA A. TRUSTEE
MARISA A. ELLIN LIVING TR
4 FAIRMOUNT AVE
BRISTOL, RI 02809

LEVESQUE, ARTHUR J III
24 FRANCA DR
BRISTOL, RI 02809

QUINTIN, PAUL H.
ANN M. TE
3 FAIRMOUNT AVE
BRISTOL, RI 02809

FARIA, FERNANDO T & MARIA
DEALMEIDA, MARY LOU
C/O 28 FRANCA DR
BRISTOL, RI 02809

LOUREIRO, DAVID V.
27 FRANCA DRIVE
BRISTOL, RI 02809

REBELLO, ALFRED R ET UX
REBELLO, DOLORES TE
65 FATIMA DRIVE
BRISTOL, RI 02809

FERIOLI, JUDITH M LE
GAMACHE, LISA M &
61 FATIMA DR
BRISTOL, RI 02809

MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809

ROVENKO, ANDREW
293 KNOLLWOOD AVE
CRANSTON, RI 02910

ROZA, DAVID J LE
ETHIER, BRANDY L-TRUSTEE,
5 FAIRMOUNT AVE
BRISTOL, RI 02809

WATERMAN, WENDY TRUSTEE
95 FATIMA DR
BRISTOL, RI 02809

SAMPSON, PAMELA G.
22 FRANCA DR
BRISTOL, RI 02809

SANTERRE, CORY J & KERRY
2 FAIRMOUNT AVE
BRISTOL, RI 02809

SANTOS, ROBERT W.
KIMBERLY A.
34 FRANCA DR
BRISTOL, RI 02809

SILVA, LISETTE M TRUSTEE
26 FRANCA DR
BRISTOL, RI 02809

SOUSA, JOAO M
MARIA C
84 FATIMA DR
BRISTOL, RI 02809

THE BUCK FAMILY TRUST
4 SEA VIEW AVE
BRISTOL, RI 02809

VANN, STEVEN
20 BUTTERWORTH AVE
BRISTOL, RI 02809

VILLALOBOS, RICARDO A
15 CLAREMONT AVE
BRISTOL, RI 02809

WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No: **2024-26**

Accepted by ZEO: **EST 7/31/2024**

| | | | | |
|-----------------------|--------------------------|-------------------------|------------|--|
| APPLICANT | Name: Kevin Moran | | | |
| | Address: 7 Ansonia Ave. | | | |
| | City: Bristol | State: RI | Zip: 02809 | |
| | Phone #: 401 261 -5234 | Email: km7202@gmail.com | | |
| PROPERTY OWNER | Name: Antonetta Moran | | | |
| | Address: 6 Wuburn Street | | | |
| | City: Bristol | State: RI | Zip: 02809 | |
| | Phone #: 401 261-5234 | Email: km7202@gmail.com | | |

1. Location of subject property: 7 Ansonia Avenue
 Assessor's Plat(s)#: 44 Lot(s) #: 62 & 68 (merged)
2. Zoning district in which property is located: R10
3. Zoning Approval(s) required (check all that apply):
☒ Dimensional Variance(s) ☐ Special Use Permit ☐ Use Variance
4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
 Dimensional Variance Section(s): Section 28.111 ADU height
 Special Use Permit Section(s): Section 28.111 ADU Area allowed
 Use Variance Section(s): _____
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property?: 40 years
7. Present use of property: residential
8. Is there a building on the property at present?: yes a 2 strory s-family dwelling with detacehd garage and recreation room above
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
front 2-story building is approximately 37 ft x 27 ft deep detached garage with rec room is 30 ft wide x 25.3 ft deep
10. Proposed use of property: proposed addition is 14 x 30 ft bedroom& bath addition and entrance stairway over additional garage of same area below

11. Give extent of proposed alterations: it is a 2 story addition to the east of the 2 story accessory structure garage, of approx. 420sf per level or 840 sf total .
12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
the addition is 30 ft x 14 feet and 24 feet high to allow the proposed roof to abutt existing structure with enough free board to properly flash the new roof to the existing
13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:
- | | | |
|----------------------|---|---|
| Front lot line(s): | Required Setback: <u>n/a</u> | Proposed Setback: <u>nnnnn/a</u> |
| Left side lot line: | Required Setback: <u>15 ft.</u> | Proposed Setback: <u>37 ft.</u> |
| Right side lot line: | Required Setback: <u>15 ft.</u> | Proposed Setback: <u>38 ft.</u> |
| Rear lot line: | Required Setback: <u>existing 3 ft.</u> | Proposed Setback: <u>existing 3 ft.</u> |
| Building height: | Required: <u>29 ft.</u> | Proposed: <u>24 ft.</u> |
- Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: lot coverage 25% Proposed: lot coverage 22%
13. Number of families before/after proposed alterations: 2 Before 3 After
14. Have you submitted plans for the above alterations to the Building Official? no
 If yes, has he refused a permit? _____ If refused, on what grounds? _____
15. Are there any easements on your property?: no (If yes, their location must be shown on site plan)
16. Which public utilities service the property?: Water: x Sewer: x
17. Is the property located in the Bristol Historic District or is it an individually listed property?: no
18. Is the property located in a flood zone? no If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: _____

Date: _____

Print Name: _____

Property Owner's Signature: 

Date: 7/31/24

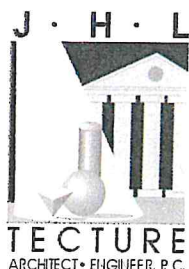
Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Greg Spiess AIA, JHL Tecture Architects

Telephone #: 401 263-3887

Address: 190 High Street Bristol RI 02809



190 High Street, Bristol, Rhode Island 02809

Phone: (301) 396-9630

Fax: (401) 410-0079

July 30, 2024

Edward Tanner, Town Planner
Board of Zoning Review
Bristol RI 02809

Re: Request for Dimensional Variance for addition to existing Garage with Recreation Room
7 Ansonia Avenue, Bristol RI, Plat 44 Lots 62/68

Dear Ed and zoning board members:

We are writing as the architects representing Kevin Moran and his family as they seek to convert an existing recreation room over a garage into a 2-bedroom accessory dwelling unit over an enlarged garage. The conversion is an addition of 13 feet x 29 feet on both levels on the east side of the existing accessory structure.

The proposed structure requires three dimensional variances from the zoning ordinance. Article IV, DIMENSIONAL REGULATIONS Section 28.111.

1. The height of an ADU is limited to 20 ft height. The proposed height is 24 feet to match the roof pitches of the other dwellings and to allow flashing terminations of the existing building to abutting behind the proposed new roof. The hardship is also to create more habitable code-complying head room inside of the new addition.
2. The area of the resulting combined proposed dwelling unit is proposed at 1,138 square feet. In other words, the existing rec room was 670 sf and the proposed addition is 468 sf. We are aware that the ordinance limits an ADU to (22x 24 or 528 sf, but we understand this allowable area may be larger on R10 lots, which this is.
3. The ordinance also stipulates that accessory dwelling units be attached to the existing dwelling. In this case, the two existing structures are 33 feet apart and with the proposed addition, this distance would be shortened to 19'-1". To attach the two structures would present a financial hardship and create an even larger area variance.

It is the intention of this request that the proposed structure be used as additional housing on this lot. The lot at 7 Ansonia (Plat 44 Lot 62) was enlarged to a CODE COMPLYING 10,000 R10 lot in February 2024 by a lot merge with the property (Plat 44 Lot 68) at 9 Ansonia Avenue. It was understood that this lot merger would enable a better disposition of the two structures on the combined lot and would eliminate a side yard encroachment south of the existing garage /recreation room structure to the former south property line.

We now calculate the proposed lot coverage (22%) of both the prime 2 unit structure (approx. 1,000 SF footprint) and the PROPOSED ADU (1138 SF) is below the required 25% and is less than 60% of the prime unit (2000SF total). We note that the density resulting from this addition is not out of character with other developments in this neighborhood and will not result in negative impacts to existing abutters, as no part of this proposed development is extended in the direction of abutters.

Architecture • Historic Preservation • Urban Planning • Space Planning • Interior Design
Hornell, New York • Bristol, Rhode Island

As we understand from our reading of the recent State of Rhode Island housing legislation memorandum from the Town of Bristol Solicitor, this proposed Accessory Dwelling Unit design complies with this strategy to bring more housing to our town. We have reapplied with this in mind, and this letter accompanies our drawings and the application, which was withdrawn in May, is now being re-submitted here.

If you have any questions with this submittal, please contact me and we will address them.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read "Greg Spiess", with a stylized flourish at the end.

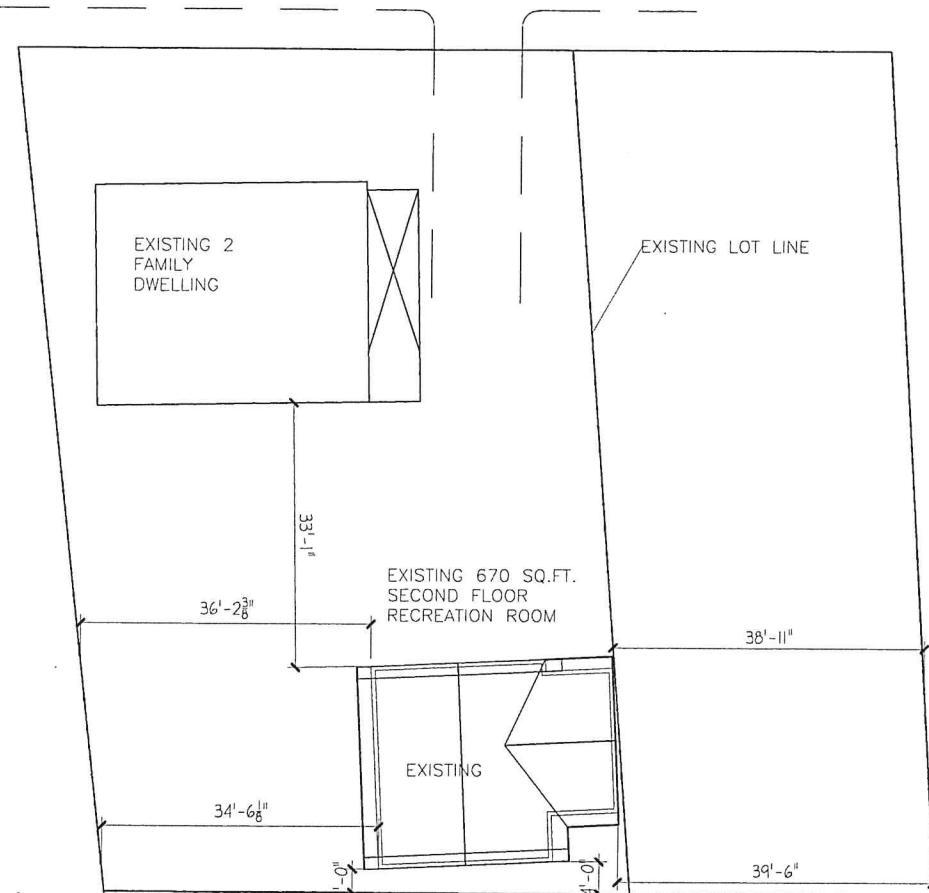
Greg Spiess AIA
JHLTecture Architects
For owner Kevin Moran and Antonetta Moran

cc. Kevin Moran

Profile:
AutoCAD Architecture (US Imperial)
Note: JLT - DESIGNED-05

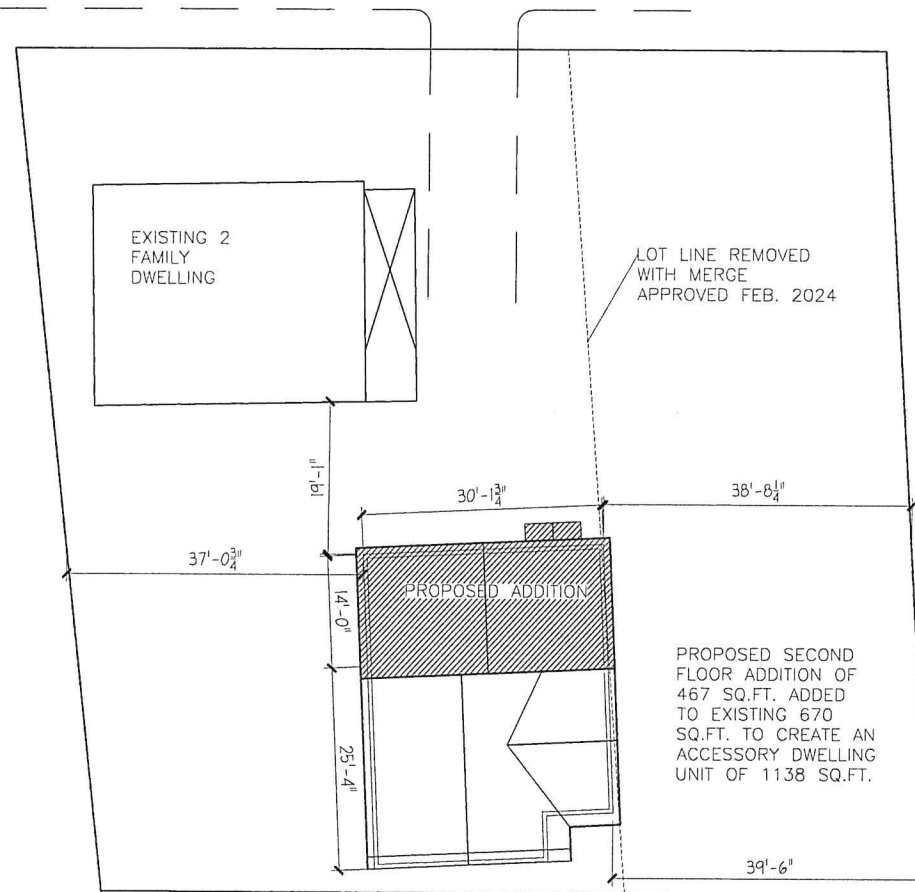
Plotting Parameters:
Dog File: C:\Users\jordan.Bresnahan\AppData\Local\Temp\PlottingParameters\PlottingParameters.dwg
Printed: Apr 04, 2024 - 5:20pm

Ansonia Avenue



EXISTING

Ansonia Avenue



PROPOSED



EXISTING SOUTH ELEVATION

A SITE PLAN
SCALE: 3/32" = 1'-0"

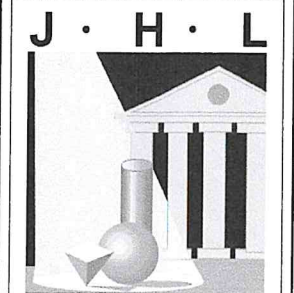
TOWN OF BRISTOL
COMMUNITY DEV

2024 JUL 31 AM 9:50

- GENERAL NOTES:
- 1: DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - 2: Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - 3: The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - 4: Large scale plans of details shall take precedence over smaller scale drawings.
 - 5: All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - 6: All work to be performed and inspected as required by the local governing code enforcement office.
 - 7: All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 J.H.L. ARCHITECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| NO. | REVISION DESCRIPTION | DATE | BY |
|-----|----------------------|------|----|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |



TECTURE
ARCHITECT • ENGINEER, P.C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

MORAN
RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

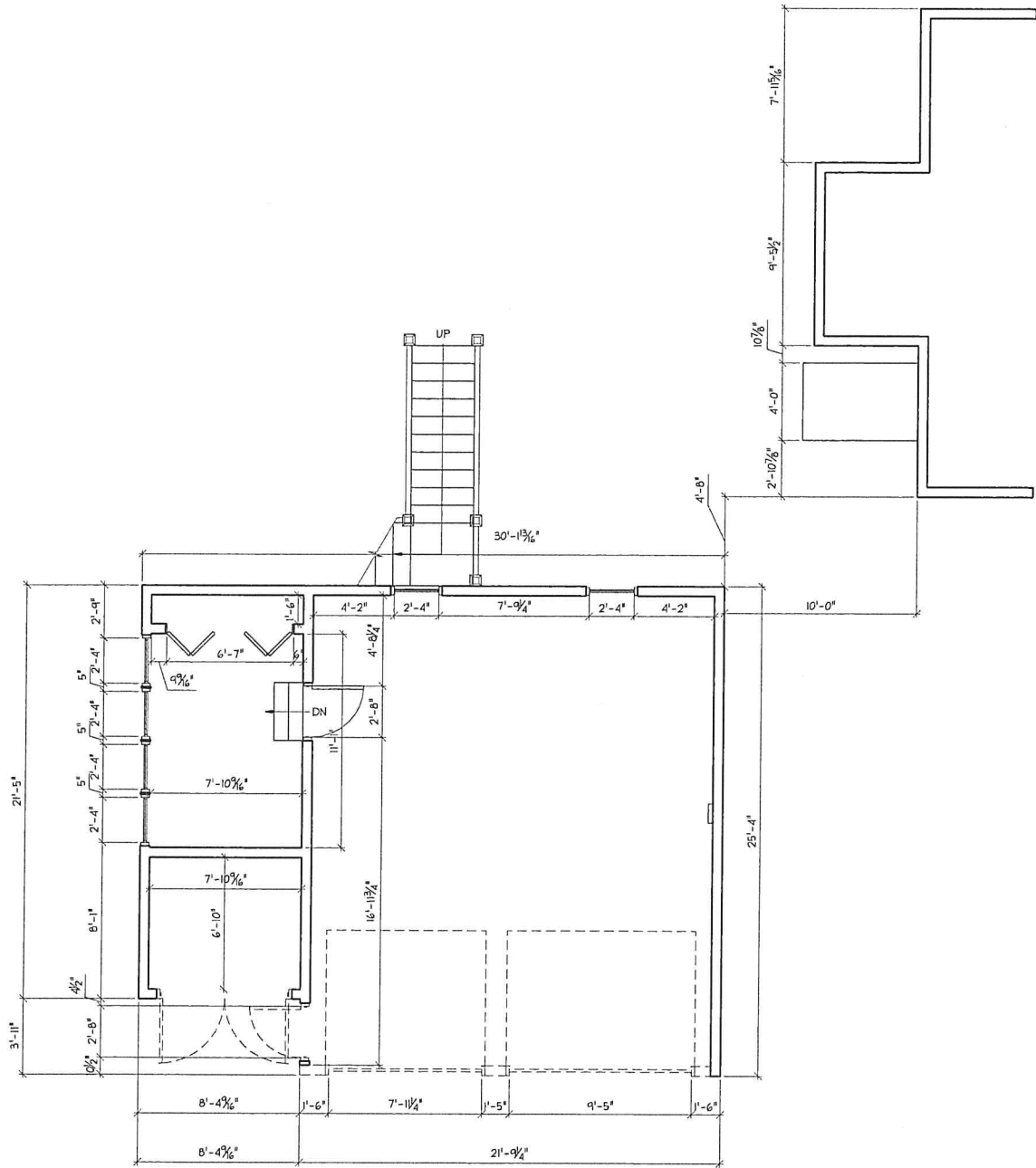
ARCHITECTURAL
SITE PLAN
CONCEPTUAL

DATE: 11-30-20
SCALE: AS NOTED
DRAWN BY: J.H.L.
PROJECT NUMBER: 7456

DRAWING NUMBER:
AS0-01A

Profile:
AISCAD Architectural (US Imperial)
Node: JLT-DEMOLITION-05

Plotting Parameters:
Drawing File: JLT-DEMOLITION-05.dwg
Plotted At: 04/01/2024 - 5:05pm



EXISTING FIRST FLOOR
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

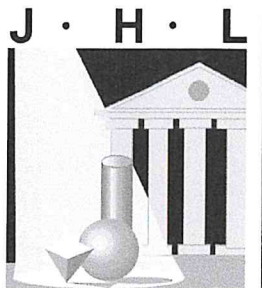
TOWN OF BRISTOL
COMMUNITY DEV.

2024 JUL 31 AM 9:50

- GENERAL NOTES:
- 1: DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - 2: Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - 3: The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - 4: Large scale plans of details shall take precedence over smaller scale drawings.
 - 5: All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - 6: All work to be performed and inspected as required by the local governing code enforcement office.
 - 7: All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 - J.E. TECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| NO. | REVISION DESCRIPTION | DATE | BY |
|-----|----------------------|------|----|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |



TECTURE
ARCHITECT • ENGINEER, P. C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

MORAN
RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

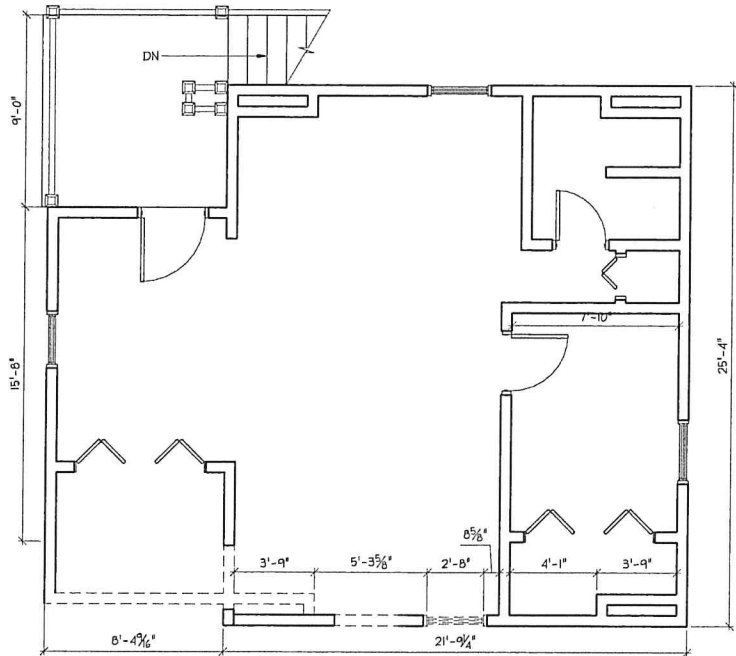
FIRST FLOOR
DEMOLITION
PLAN

DATE: XX-XX-XX
SCALE: AS NOTED
DRAWN BY: SER
PROJECT NUMBER:
DRAWING NUMBER:
A0.01

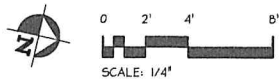
7456

Project: Remodel
Dog Field/Veteran Building/Plush/V0-00.dwg
Plotted: Apr 04, 2024 - 5:05pm
Profile:
AutoCAD Architecture (US Imperial)
Note: JLT-DESIGN-05

TOWN OF BRISTOL
COMMUNITY DEV.
2024 JUL 31 AM 9:50



EXISTING SECOND FLOOR
DEMOLITION PLAN
SCALE: 1/4"



- GENERAL NOTES:
- 1: DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - 2: Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - 3: The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - 4: Large scale plans of details shall take precedence over smaller scale drawings.
 - 5: All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - 6: All work to be performed and inspected as required by the local governing code enforcement office.
 - 7: All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 J.H.L. TEXTURE P.C.
DRAWING ALTERATION:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| REVISION DESCRIPTION | | | | | | | | DATE | BY |
|----------------------|--|--|--|--|--|--|--|------|----|
| 1 | | | | | | | | | |
| 2 | | | | | | | | | |
| 3 | | | | | | | | | |
| 4 | | | | | | | | | |
| 5 | | | | | | | | | |
| 6 | | | | | | | | | |
| 7 | | | | | | | | | |
| 8 | | | | | | | | | |

J · H · L

TECTURE
ARCHITECT • ENGINEER, P. C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

**RENOVATION &
ALTERATIONS TO:**

**MORAN
RESIDENCE**

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

**DEMOLITION
PLAN AND
NOTES**

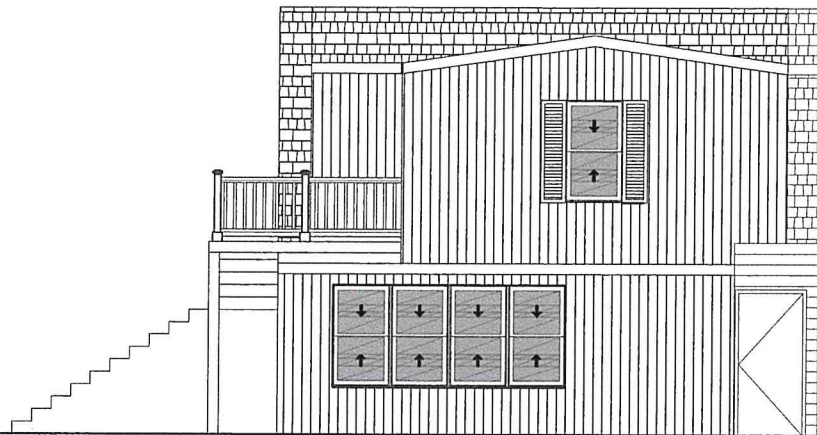
| | |
|-----------------|-----------------|
| DATE: XX-XX-XX | DRAWING NUMBER: |
| SCALE: AS NOTED | A0.02 |
| DRAWN BY: XXX | |
| PROJECT NUMBER: | |

7456

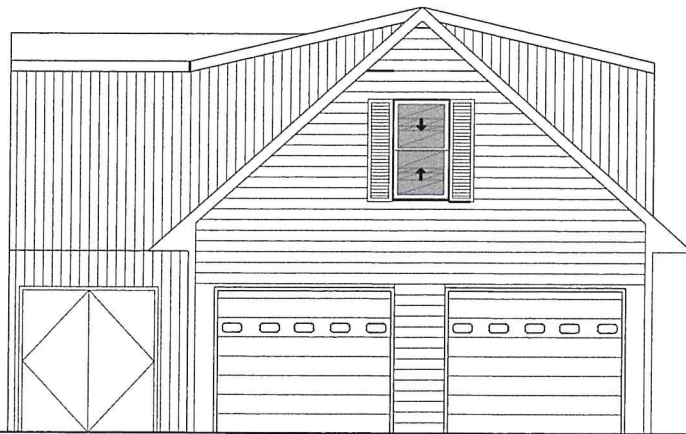
Project:
Architect: Architecture (US Imperial)
Notes: JAT-DESKTOP-05

Plotting Parameters
Name: JAT-DESKTOP-05.dwg
Date: 2024-07-31 09:50
Plotted for: JAT - 2024 - 2024

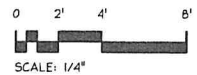
TOWN OF BRISTOL
COMMUNITY DEV.
2024 JUL 31 AM 9:50



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



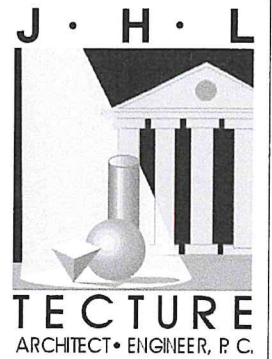
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - Large scale plans of details shall take precedence over smaller scale drawings.
 - All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - All work to be performed and inspected as required by the local governing code enforcement office.
 - All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 - J.H. TECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS."

| REVISION DESCRIPTION | | | | | | | | | | DATE | BY |
|----------------------|---|---|---|---|---|---|---|---|----|------|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | | |
| | | | | | | | | | | | |



ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

MORAN
RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

EXISTING
ELEVATIONS

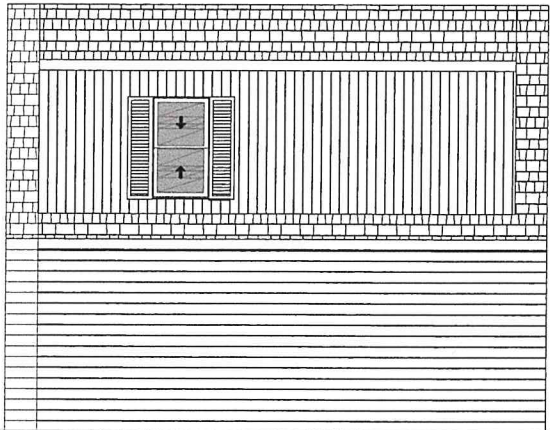
DATE: XX-XX-XX
SCALE: AS NOTED
DRAWN BY: XXX
PROJECT NUMBER:
7456

DRAWING NUMBER:
A0.03

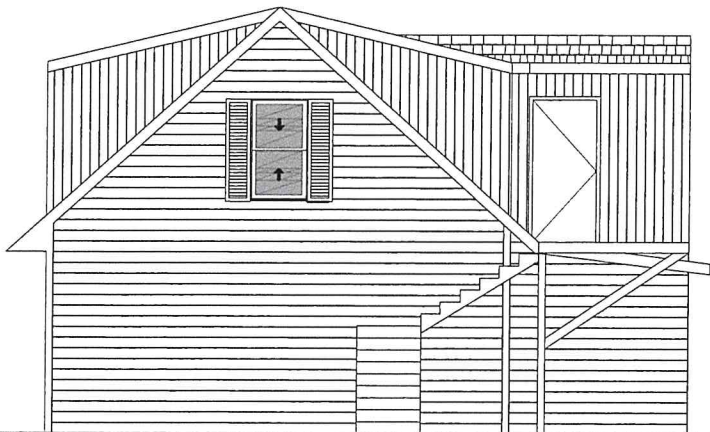
Profile:
AutoCAD Architecture (US Imperial)
Note: JUL-05/2024-05

Plotting Parameters:
Dwg: Plans\1024-Moran Residence\Plot\1024-01.dwg
Plotted for: 11/1/2024 - 5:05pm

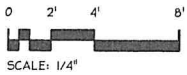
TOWN OF BRISTOL
COMMUNITY DEV.
2024 JUL 31 AM 9:50



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



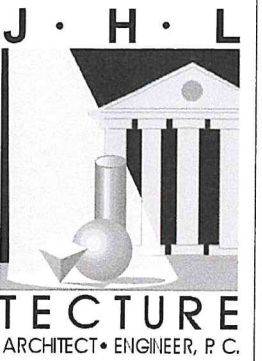
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 4. Large scale plans of details shall take precedence over smaller scale drawings.
 5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 6. All work to be performed and inspected as required by the local governing code enforcement office.
 7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 • TECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| REVISION DESCRIPTION | | | | | | | | | | DATE | BY |
|----------------------|--|--|--|--|--|--|--|--|--|------|----|
| 1 | | | | | | | | | | | |
| 2 | | | | | | | | | | | |
| 3 | | | | | | | | | | | |
| 4 | | | | | | | | | | | |
| 5 | | | | | | | | | | | |
| 6 | | | | | | | | | | | |
| 7 | | | | | | | | | | | |
| 8 | | | | | | | | | | | |
| 9 | | | | | | | | | | | |



ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

**MORAN
RESIDENCE**

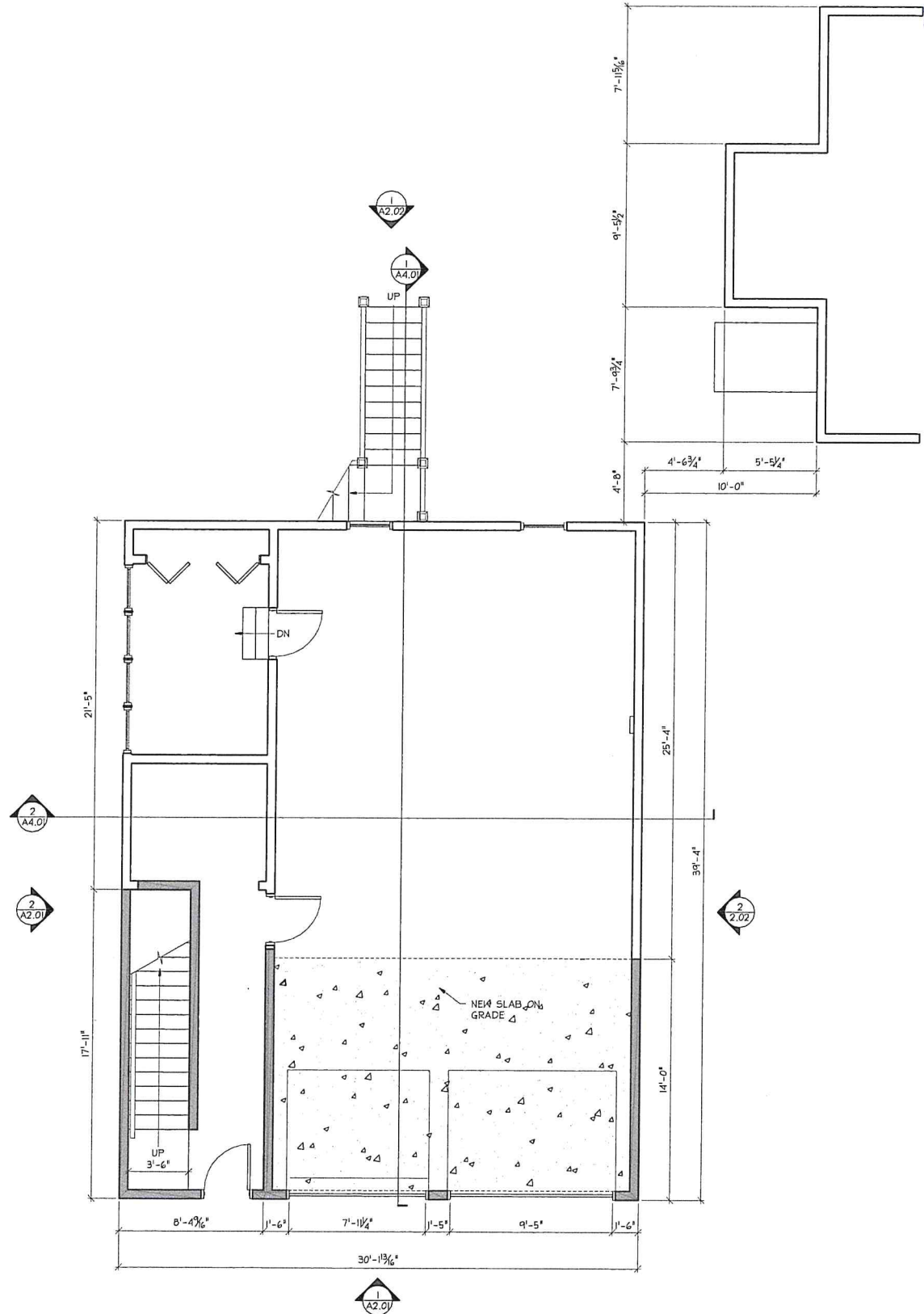
KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

EXISTING
ELEVATIONS

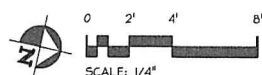
DATE: XX-XX-XX
SCALE: AS NOTED
DRAWN BY: XXX
PROJECT NUMBER:
7456

DRAWING NUMBER:
A0.04

Plotting Parameters
Plotting Scale: 1/4" = 1'-0"
Plotting Date: 04/09/2024
Plotting Time: 9:50 AM
Plotting User: JLT-DESIGN-05



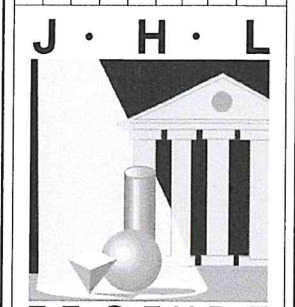
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
- 1: DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - 2: Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - 3: The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - 4: Large scale plans of details shall take precedence over smaller scale drawings.
 - 5: All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - 6: All work to be performed and inspected as required by the local governing code enforcement office.
 - 7: All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 - J.H.L. ARCHITECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS."

| NO. | REVISION DESCRIPTION | DATE | BY |
|-----|----------------------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



TECTURE
ARCHITECT • ENGINEER, P. C.
190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX
PRELIMINARY ONLY
NOT FOR CONSTRUCTION
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION & ALTERATIONS TO:

MORAN RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

FIRST FLOOR PLAN OPTION 3

DATE: 03-08-24
SCALE: AS NOTED
DRAWN BY: SER
PROJECT NUMBER: 7456

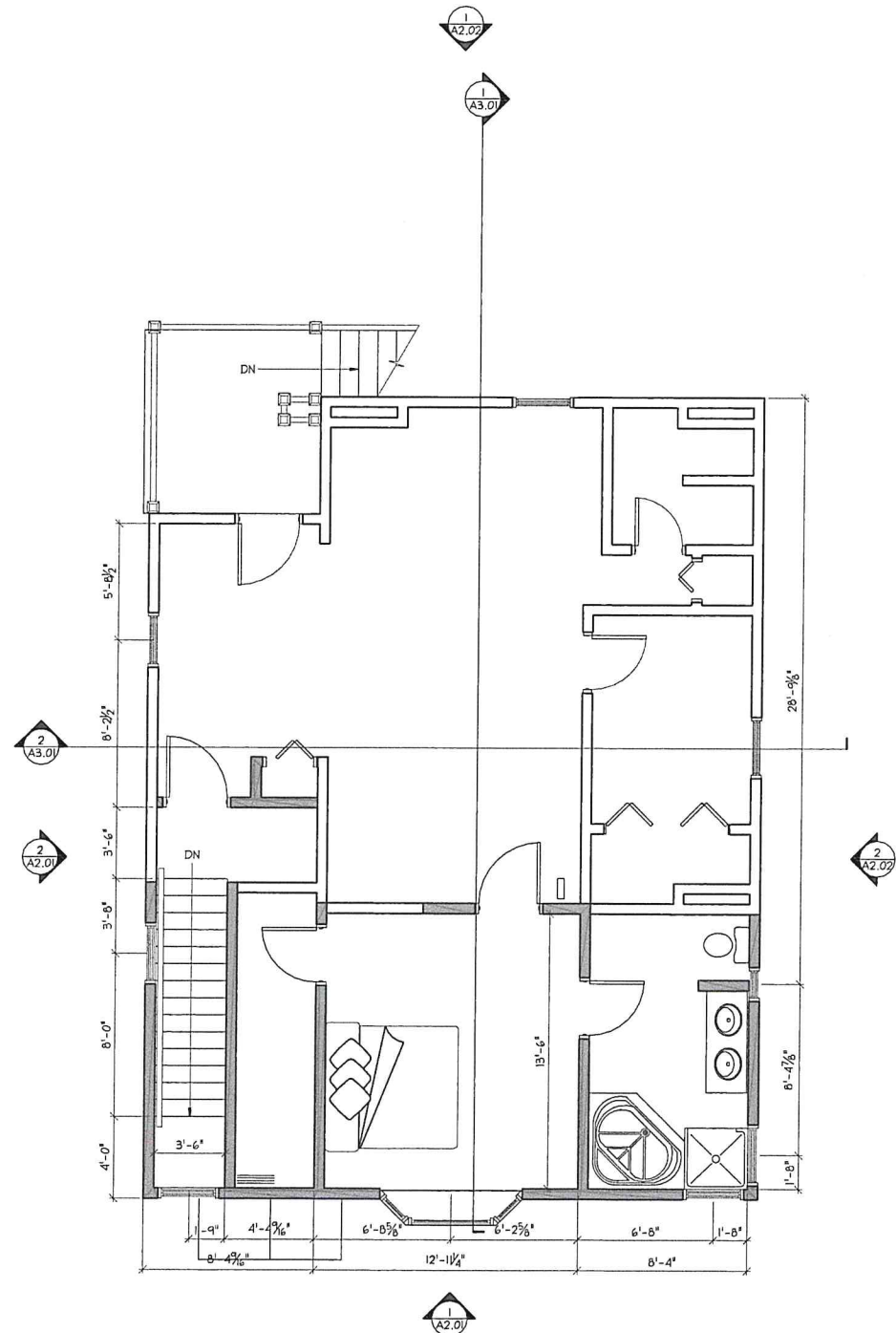
DRAWING NUMBER: **A1.01**

Profile
AutoCAD Architecture (US Imperial)
Note: ALL DIMENSIONS ARE IN FEET AND INCHES

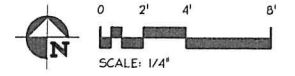
Project Name: Moran Residence
Drawing Title: Second Floor Plan
Drawing Number: A1.02
Drawing Date: 03-24-24
Drawing Time: 9:50 AM
Drawing Location: C:\Users\jmoran\OneDrive\Documents\Projects\Moran Residence\A1.02 - Option 3.dwg
Printed Date: 03-24-24
Printed Time: 9:50 AM
Printed Location: C:\Users\jmoran\OneDrive\Documents\Projects\Moran Residence\A1.02 - Option 3.dwg

TOWN OF BRISTOL
COMMUNITY DEV.

2024 JUL 31 AM 9:50



1
A1.02
SECOND FLOOR
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 4. Large scale plans of details shall take precedence over smaller scale drawings.
 5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 6. All work to be performed and inspected as required by the local governing code enforcement office.
 7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 BY TECTURE P.C.
DRAWING ALTERATION:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |

J · H · L

TECTURE
ARCHITECT • ENGINEER, P. C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

**RENOVATION &
ALTERATIONS TO:**

**MORAN
RESIDENCE**

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

**SECOND FLOOR
PLAN
OPTION 3**

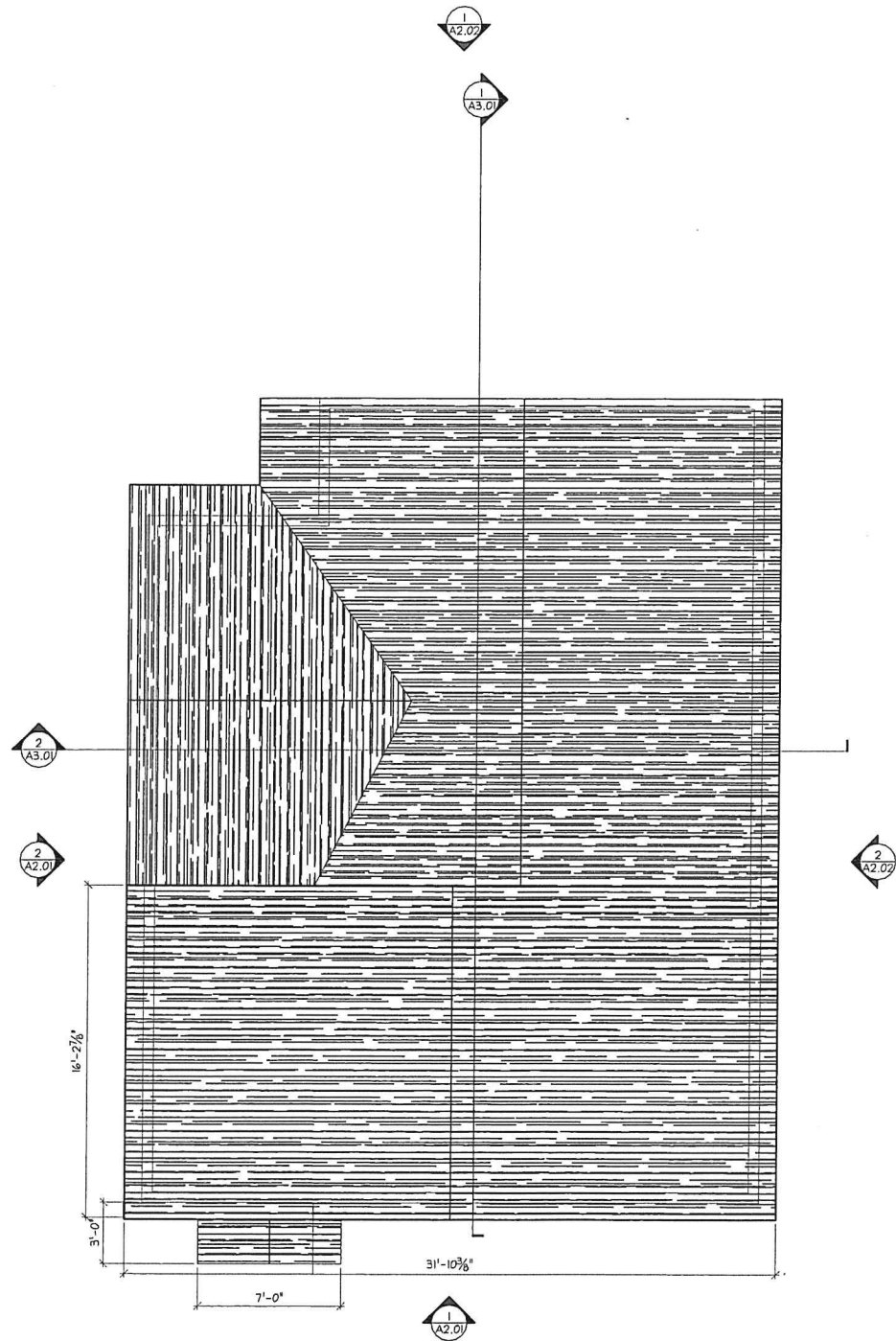
DATE: 03-24-24
SCALE: AS NOTED
DRAWN BY: SER
PROJECT NUMBER:
7456

DRAWING NUMBER:
A1.02

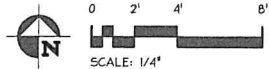
Project:
Architect: J. H. L.
Notes: 1-05670-05

Plotting Parameters:
Title: Moran Residence
Drawing: Roof Plan
Date: 04/01/2024
Printed: 04/01/2024 4:26pm

TOWN OF BRISTOL
COMMUNITY DEV.
2024 JUL 31 AM 9:50



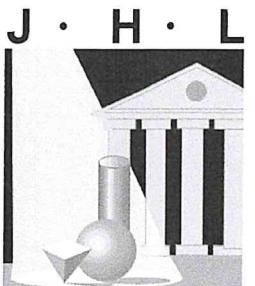
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 4. Large scale plans of details shall take precedence over smaller scale drawings.
 5. All work shall be in accordance with the Federal, State and Local Building Codes and other governing bodies.
 6. All work to be performed and inspected as required by the local governing code enforcement office.
 7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 - J.H.L. ARCHITECT, P.C.
DRAWING ALTERATION:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY PART OF THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| | | | | | | | | | | BY |
|---|---|---|---|---|---|---|---|---|----|----------------------|
| | | | | | | | | | | DATE |
| | | | | | | | | | | REVISION DESCRIPTION |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | |



TECTURE
ARCHITECT • ENGINEER, P. C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

MORAN
RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

ROOF
PLAN

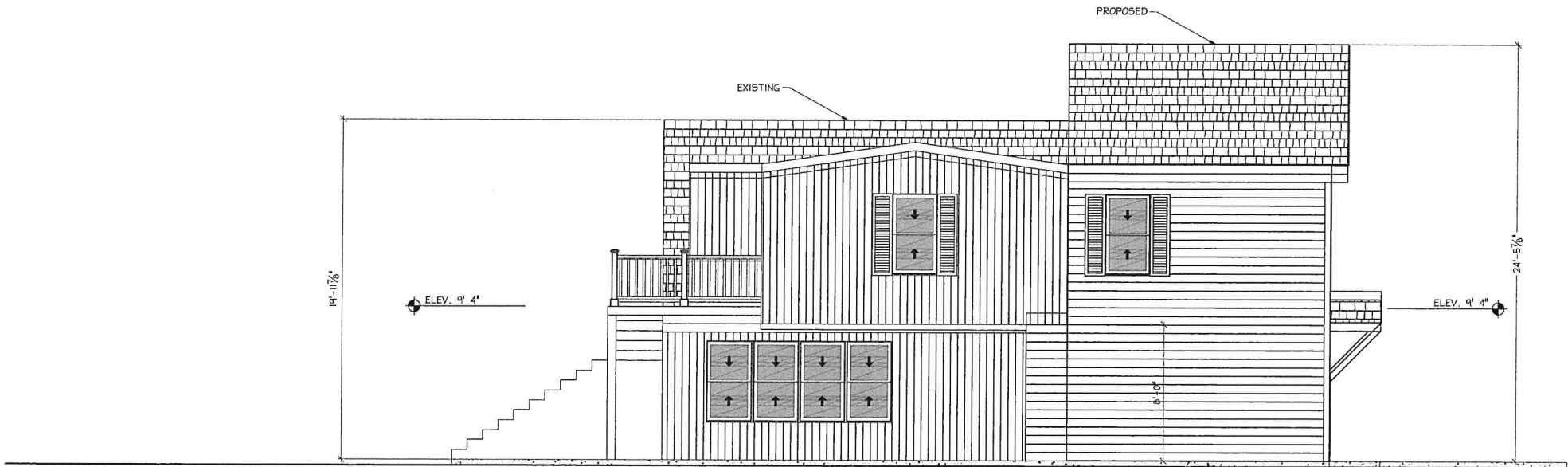
DATE: 03--5-24
SCALE: AS NOTED
DRAWN BY: SER
PROJECT NUMBER:
7456

DRAWING NUMBER:
A1.03

Profile
AutoCAD Architecture (US Imperial)
Node A3.1 - 05/20/2024-05

Printing Parameters
Plot File: V:\2024-2025-Residence\PlotSheetA3.1.dwg
Printed: Apr 04, 2024 - 5:00pm

TOWN OF BRISTOL
COMMUNITY DEV.
2024 JUL 31 AM 9:50



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



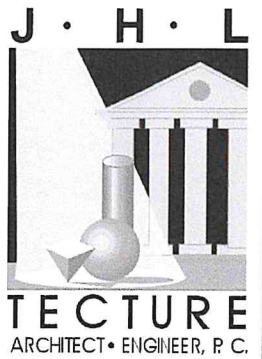
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

0 2' 4' 8'
SCALE: 1/4"

- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 - Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 - The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 - Large scale plans of details shall take precedence over smaller scale drawings.
 - All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 - All work to be performed and inspected as required by the local governing code enforcement office.
 - All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 • TECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| NO. | REVISION DESCRIPTION | DATE | BY |
|-----|----------------------|------|----|
| 1 | | | |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |



ISSUED FOR:
PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

**RENOVATION &
ALTERATIONS TO:**

**MORAN
RESIDENCE**

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

**PROPOSED
ELEVATIONS**

DATE: XX-XX-XX
SCALE: AS NOTED
DRAWN BY: XXX
PROJECT NUMBER:
7456

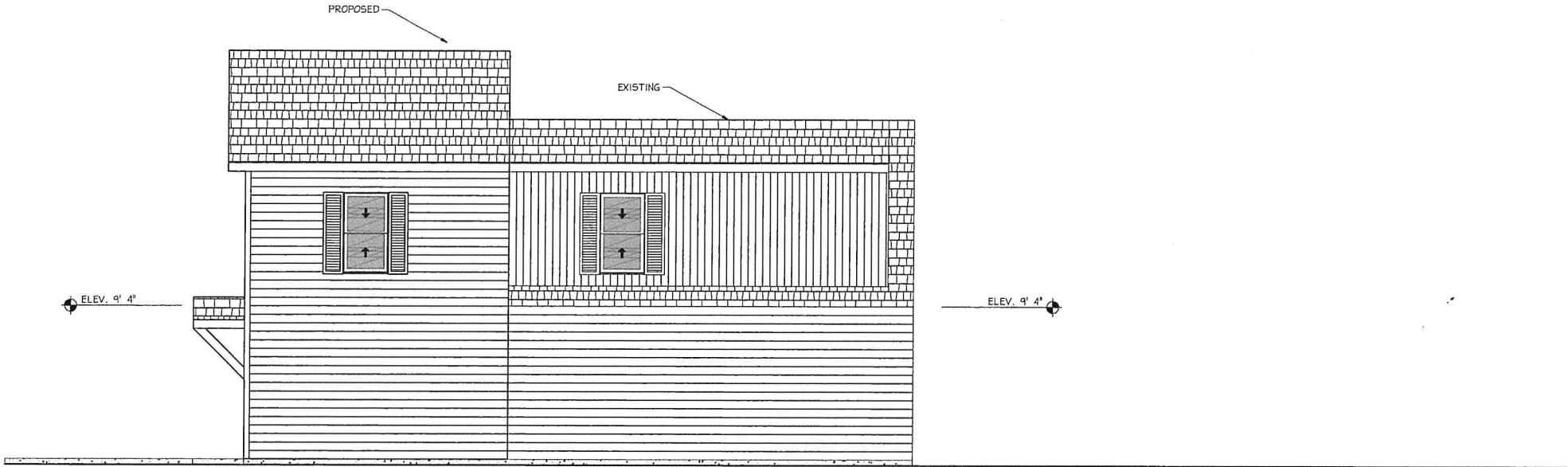
DRAWING NUMBER:
A2.01

Profile:
AutoCAD Architecture (US Imperial)
Node: JLT - DESIGN-05

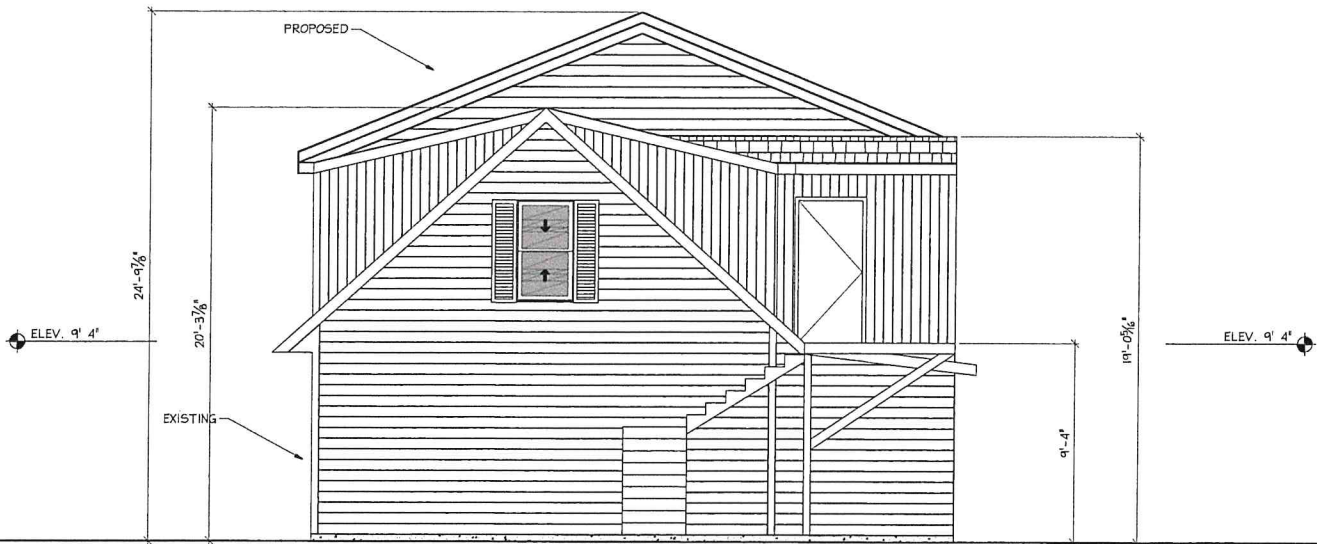
Plotting Parameters
Dwg Path: V:\66-Moran Residence\Plot\A2-02.dwg
Plotted: Apr 04, 2024 - 5:36pm

TOWN OF BRISTOL
COMMUNITY DEV.

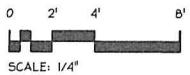
2024 JUL 31 AM 9:50



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



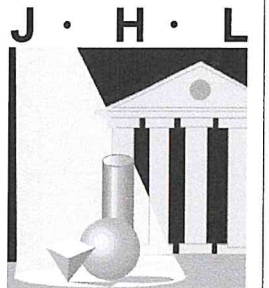
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. DO NOT SCALE DRAWINGS. Notify Architect if additional dimensioning is required.
 2. Contractor shall verify all dimensions in the field and notify Architect of any discrepancies.
 3. The Contractor shall provide all materials indicated, graphically, as annotated or as needed for a complete and proper installation, and shall notify Architect of any discrepancies in identification of the materials required.
 4. Large scale plans of details shall take precedence over smaller scale drawings.
 5. All work shall be in conformance with the Federal, State and Local Building Codes and other governing bodies.
 6. All work to be performed and inspected as required by the local governing code enforcement office.
 7. All work is to be installed in accordance with manufacturer's recommendations and specifications.

COPYRIGHT © 2024 • JH TECTURE P.C.
DRAWING ALTERATIONS:
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY.
ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

| REVISION | | | | | | | | | | DATE | BY |
|----------|---|---|---|---|---|---|---|---|----|------|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | | |



TECTURE
ARCHITECT • ENGINEER, P. C.

190 High Street • Bristol RI 02809
401.396.9630 • Fax 401.410.0079

ISSUED FOR:

PERMIT: XX-XX-XXX

**PRELIMINARY ONLY
NOT FOR CONSTRUCTION**

THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS FOR PROBABLE COST OF CONSTRUCTION ONLY AND IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

RENOVATION &
ALTERATIONS TO:

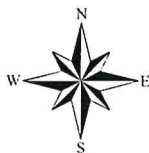
MORAN
RESIDENCE

KEVIN MORAN
7 ANSONIA AVE
BRISTOL, RI, 02809

ELEVATIONS

DATE: XX-XX-XX
SCALE: AS NOTED
DRAWN BY: XXX
PROJECT NUMBER:
7456

DRAWING NUMBER:
A2.02



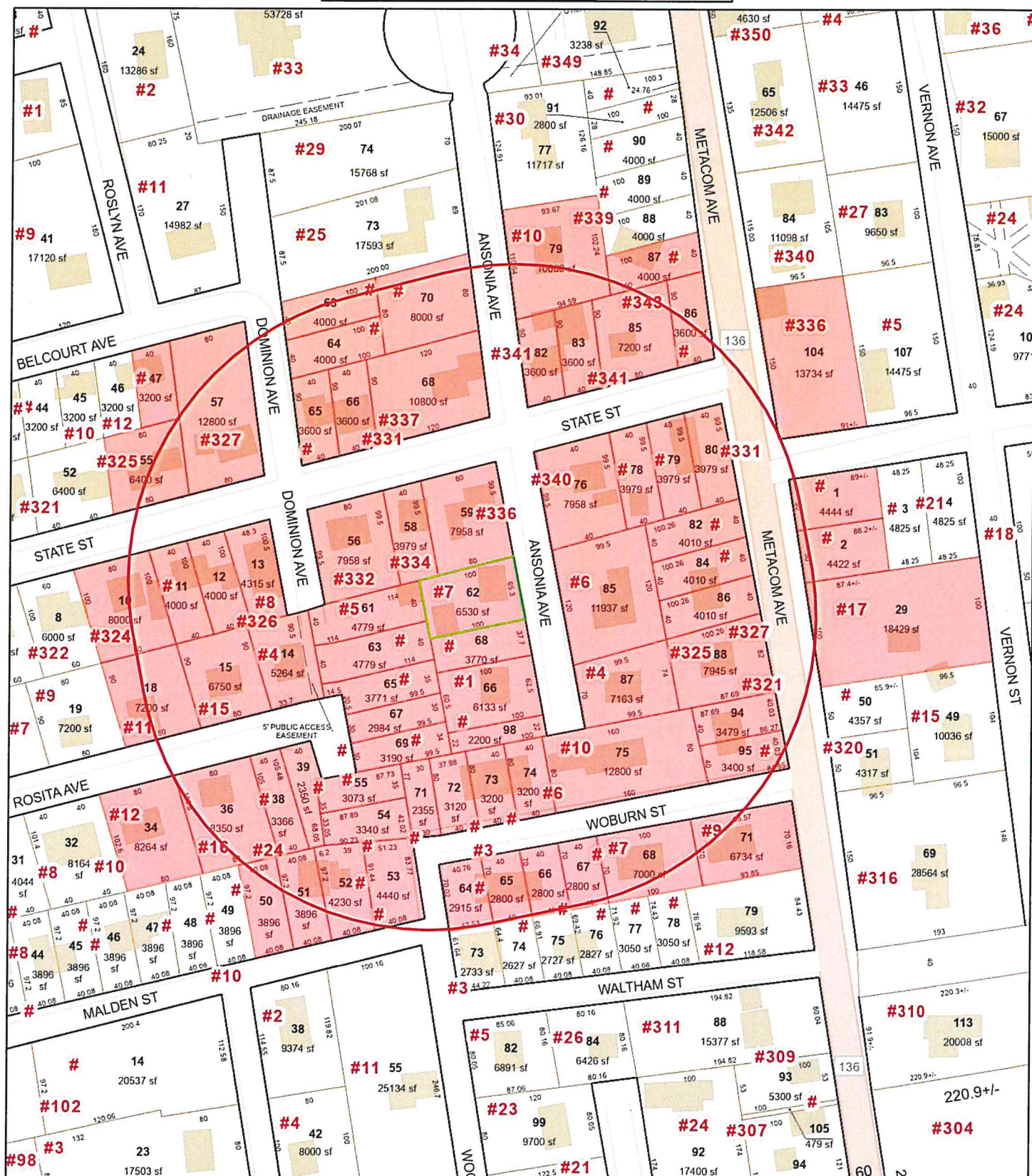
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

August 6, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Subject Property:

Parcel Number: 44-62
CAMA Number: 44-62
Property Address: 7 ANSONIA AVE

Mailing Address: MORAN, ANTONETTA
6 WOBURN STREET
BRISTOL, RI 02809

Abutters:

Parcel Number: 157-1
CAMA Number: 157-1
Property Address: TOWER ST

Mailing Address: JAMES P. TAVARES CONSTRUCTION
49 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 157-2
CAMA Number: 157-2
Property Address: METACOM AVE

Mailing Address: JAMES P. TAVARES CONSTRUCTION
49 BRADFORD ST
BRISTOL, RI 02809

Parcel Number: 157-29
CAMA Number: 157-29
Property Address: 17 VERNON AVE

Mailing Address: NAYLOR, ANDREW W.D. & ISABELLA C
TE
17 VERNON AVE
BRISTOL, RI 02809

Parcel Number: 158-104
CAMA Number: 158-104
Property Address: 336 METACOM AVE

Mailing Address: MCNALLY, BARTLEY M & CHRISTINE T
TE
336 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 43-64
CAMA Number: 43-64
Property Address: WOBURN ST

Mailing Address: BEDFORD, MARY E & NEVILLE J CO-
TRUSTEES
3 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 43-65
CAMA Number: 43-65
Property Address: 3 WOBURN ST

Mailing Address: BEDFORD, MARY E & NEVILLE J CO-
TRUSTEES
3 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 43-66
CAMA Number: 43-66
Property Address: WOBURN ST

Mailing Address: BEDFORD, MARY E & NEVILLE J CO-
TRUSTEES
3 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 43-67
CAMA Number: 43-67
Property Address: WOBURN ST

Mailing Address: BEDFORD, MARY E & NEVILLE J CO-
TRUSTEES
3 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 43-68
CAMA Number: 43-68
Property Address: 7 WOBURN ST

Mailing Address: SANTOS, LIONEL H. ANA M. ETUX TE
7 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 43-71
CAMA Number: 43-71
Property Address: 9 WOBURN ST

Mailing Address: PEIXOTO, MANUEL V., TRUSTEE
MANUEL V PEIXOTO TRUST - 2009
9 WOBURN ST
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

| | |
|--|--|
| Parcel Number: 44-10 CAMA Number: 44-10 Property Address: 324 STATE ST | Mailing Address: HOME ENTERPRISES 2, LLC 124 CORYS LANE FALL RIVER, MA 02721 |
| Parcel Number: 44-11 CAMA Number: 44-11 Property Address: STATE ST | Mailing Address: HURLEY, MIKKO E. 326 STATE ST BRISTOL, RI 02809 |
| Parcel Number: 44-12 CAMA Number: 44-12 Property Address: 326 STATE ST | Mailing Address: HURLEY, MIKKO E. 326 STATE ST BRISTOL, RI 02809 |
| Parcel Number: 44-13 CAMA Number: 44-13 Property Address: 8 DOMINION AVE | Mailing Address: MORAN, ANTONETTE 6 WOBURN ST BRISTOL, RI 02809 |
| Parcel Number: 44-14 CAMA Number: 44-14 Property Address: 4 DOMINION AVE | Mailing Address: MORAN, ANTONETTE 6 WOBURN ST BRISTOL, RI 02809 |
| Parcel Number: 44-15 CAMA Number: 44-15 Property Address: 15 ROSITA AVE | Mailing Address: OLIVEIRA, JOSEPH LINDA TE 24 MALDEN ST BRISTOL, RI 02809 |
| Parcel Number: 44-18 CAMA Number: 44-18 Property Address: 11 ROSITA AVE | Mailing Address: OLIVEIRA, LINDA A & JOSEPH F TE 11 ROSITA AVE BRISTOL, RI 02809 |
| Parcel Number: 44-34 CAMA Number: 44-34 Property Address: 12 ROSITA AVE | Mailing Address: MURPHY, JAMES 1 GRAYSON ST DORCHESTER, MA 02124 |
| Parcel Number: 44-36 CAMA Number: 44-36 Property Address: 16 ROSITA AVE | Mailing Address: RAPOSA, JAMES JR. RONALD TC 16 ROSITA AVE BRISTOL, RI 02809 |
| Parcel Number: 44-38 CAMA Number: 44-38 Property Address: ROSITA AVE | Mailing Address: OLIVEIRA, JOSEPH F. 24 MALDEN ST BRISTOL, RI 02809 |
| Parcel Number: 44-39 CAMA Number: 44-39 Property Address: ROSITA AVE | Mailing Address: OLIVEIRA, JOSEPH F. 24 MALDEN ST BRISTOL, RI 02809 |
| Parcel Number: 44-50 CAMA Number: 44-50 Property Address: MALDEN ST | Mailing Address: AMARAL, JOHN M 10 MALDEN ST BRISTOL, RI 02809 |



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/6/2024

Page 2 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 44-51
CAMA Number: 44-51
Property Address: 24 MALDEN ST

Mailing Address: OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

Parcel Number: 44-52
CAMA Number: 44-52
Property Address: MALDEN ST

Mailing Address: OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

Parcel Number: 44-53
CAMA Number: 44-53
Property Address: MALDEN ST

Mailing Address: OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

Parcel Number: 44-54
CAMA Number: 44-54
Property Address: MALDEN ST

Mailing Address: OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

Parcel Number: 44-55
CAMA Number: 44-55
Property Address: MALDEN ST

Mailing Address: OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

Parcel Number: 44-56
CAMA Number: 44-56
Property Address: 332 STATE ST

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-58
CAMA Number: 44-58
Property Address: 334 STATE ST

Mailing Address: CLARK, ALBERT P
334 STATE ST
BRISTOL, RI 02809

Parcel Number: 44-59
CAMA Number: 44-59
Property Address: 336 STATE ST

Mailing Address: TAVARES, ERIC J
336 STATE ST
BRISTOL, RI 02809

Parcel Number: 44-61
CAMA Number: 44-61
Property Address: 5 DOMINION AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-62
CAMA Number: 44-62
Property Address: 7 ANSONIA AVE

Mailing Address: MORAN, ANTONETTA
6 WOBURN STREET
BRISTOL, RI 02809

Parcel Number: 44-63
CAMA Number: 44-63
Property Address: DOMINION AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-65
CAMA Number: 44-65
Property Address: DOMINION AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/6/2024

Page 3 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 44-66
CAMA Number: 44-66
Property Address: 1 ANSONIA AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-67
CAMA Number: 44-67
Property Address: DOMINION AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-68
CAMA Number: 44-68
Property Address: ANSONIA AVE

Mailing Address: MORAN, ANTONETTA
6 WOBURN STREET
BRISTOL, RI 02809

Parcel Number: 44-69
CAMA Number: 44-69
Property Address: DOMINION AVE

Mailing Address: MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-71
CAMA Number: 44-71
Property Address: WOBURN ST

Mailing Address: MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-72
CAMA Number: 44-72
Property Address: WOBURN ST

Mailing Address: MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-73
CAMA Number: 44-73
Property Address: WOBURN ST

Mailing Address: MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-74
CAMA Number: 44-74
Property Address: 6 WOBURN ST

Mailing Address: MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 44-75
CAMA Number: 44-75
Property Address: 10 WOBURN ST

Mailing Address: FITTING, DONALD A JR. ET UX HOLLY
A. FITTING TE
10 WOBURN ST.
BRISTOL, RI 02809

Parcel Number: 44-76
CAMA Number: 44-76
Property Address: 340 STATE ST

Mailing Address: ST ANGELO, CHARLES J JR TRSTE
CHARLES J. ST ANGELO REV TRST
340 STATE ST
BRISTOL, RI 02809

Parcel Number: 44-78
CAMA Number: 44-78
Property Address: STATE ST

Mailing Address: ZEITLER, JOHN M.
38 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 44-79
CAMA Number: 44-79
Property Address: STATE ST

Mailing Address: ZEITLER, JOHN M.
38 KING PHILIP AVE
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 4 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 44-80
CAMA Number: 44-80
Property Address: 331 METACOM AVE

Mailing Address: ZEITLER, JOHN M.
38 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 44-82
CAMA Number: 44-82
Property Address: METACOM AVE

Mailing Address: ZEITLER, JOHN M.
38 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 44-84
CAMA Number: 44-84
Property Address: METACOM AVE

Mailing Address: REIS, PAULO J & ALCINA TE
327 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 44-85
CAMA Number: 44-85
Property Address: 6 ANSONIA AVE

Mailing Address: MULVEY PROPERTIES, LLC
C/O MICHAEL R & TRACEY MULVEY 3
TINA CT
BRISTOL, RI 02809

Parcel Number: 44-86
CAMA Number: 44-86
Property Address: 327 METACOM AVE

Mailing Address: REIS, PAULO J & ALCINA TE
327 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 44-87
CAMA Number: 44-87
Property Address: 4 ANSONIA AVE

Mailing Address: MAGUIRE, CHRISTINA E.
4 ANSONIA AVE
BRISTOL, RI 02809

Parcel Number: 44-88
CAMA Number: 44-88
Property Address: 325 METACOM AVE

Mailing Address: ZELOU LLC
325 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 44-94
CAMA Number: 44-94
Property Address: 321 METACOM AVE

Mailing Address: LOURENCO, CAROLOS ANDRELINA
ETUX TE
321 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 44-95
CAMA Number: 44-95
Property Address: METACOM AVE

Mailing Address: LOURENCO, CAROLOS ANDRELINA
ETUX TE
321 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 44-98
CAMA Number: 44-98
Property Address: ANSONIA AVE

Mailing Address: MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

Parcel Number: 45-47
CAMA Number: 45-47
Property Address: BELCOURT AVE

Mailing Address: MARSHALL, CATHERINE TEIXEIRA,
MARIO JT
12 BELCOURT AVE
BRISTOL, RI 02809

Parcel Number: 45-55
CAMA Number: 45-55
Property Address: 325 STATE ST

Mailing Address: JANUARIO, MICHAEL P JR
21 URSULA DR
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/6/2024

Page 5 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 45-57
CAMA Number: 45-57
Property Address: 327 STATE ST

Mailing Address: SILVIA, PATRICIA A TRUSTEE
327 STATE ST
BRISTOL, RI 02809

Parcel Number: 45-63
CAMA Number: 45-63
Property Address: DOMINION AVE

Mailing Address: CAMPO, PHILOMENA
1092 MAIN ST
WARREN, RI 02885

Parcel Number: 45-64
CAMA Number: 45-64
Property Address: DOMINION AVE

Mailing Address: CAMPO, PHILOMENA
1092 MAIN ST
WARREN, RI 02885

Parcel Number: 45-65
CAMA Number: 45-65
Property Address: STATE ST

Mailing Address: FERREIRA, MARK
331 STATE STREET
BRISTOL, RI 02809

Parcel Number: 45-66
CAMA Number: 45-66
Property Address: 331 STATE ST

Mailing Address: FERREIRA, MARK
331 STATE STREET
BRISTOL, RI 02809

Parcel Number: 45-68
CAMA Number: 45-68
Property Address: 337 STATE ST

Mailing Address: MASTRIANO, LOU ANNE TRUST
337 STATE ST
BRISTOL, RI 02809

Parcel Number: 45-70
CAMA Number: 45-70
Property Address: ANSONIA AVE

Mailing Address: MASTRIANO, LOU ANNE TRUST
337 STATE ST
BRISTOL, RI 02809

Parcel Number: 45-79
CAMA Number: 45-79
Property Address: 10 ANSONIA AVE

Mailing Address: BRAYTON, PATRICK J. REGINA M. ETUX
10 ANSONIA AVE
BRISTOL, RI 02809

Parcel Number: 45-82
CAMA Number: 45-82
Property Address: 341 STATE ST

Mailing Address: SILVA, MANUEL C. CIDALIA M. ETUX
341 STATE STREET
BRISTOL, RI 02809

Parcel Number: 45-83
CAMA Number: 45-83
Property Address: 341 R STATE ST

Mailing Address: SILVA, CIDALIA M.
341 STATE ST
BRISTOL, RI 02809

Parcel Number: 45-85
CAMA Number: 45-85
Property Address: 343 STATE ST

Mailing Address: BUSHELL, BETH H
343 STATE ST
BRISTOL, RI 02809

Parcel Number: 45-86
CAMA Number: 45-86
Property Address: METACOM AVE

Mailing Address: MCCARTHY REAL ESTATE ASSOC, LLC
339 METACOM AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/6/2024

Page 6 of 7



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 45-87
CAMA Number: 45-87
Property Address: METACOM AVE

Mailing Address: MCCARTHY REAL ESTATE ASSOC,LLC
339 METACOM AVE
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 7 of 7

AMARAL, JOHN M
10 MALDEN ST
BRISTOL, RI 02809

JAMES P. TAVARES CONSTRUC
49 BRADFORD ST
BRISTOL, RI 02809

MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

BEDFORD, MARY E &
NEVILLE J CO-TRUSTEES
3 WOBURN ST
BRISTOL, RI 02809

JANUARIO, MICHAEL P JR
21 URSULA DR
BRISTOL, RI 02809

MORAN, ANTONETTE
6 WOBURN ST
BRISTOL, RI 02809

BRAYTON, PATRICK J.
REGINA M. ETUX
10 ANSONIA AVE
BRISTOL, RI 02809

LOURENCO, CAROLOS
ANDRELINA ETUX TE
321 METACOM AVE
BRISTOL, RI 02809

MULVEY PROPERTIES, LLC
C/O MICHAEL R & TRACEY MULVEY
3 TINA CT
BRISTOL, RI 02809

BUSHELL, BETH H
343 STATE ST
BRISTOL, RI 02809

MAGUIRE, CHRISTINA E.
4 ANSONIA AVE
BRISTOL, RI 02809

MURPHY, JAMES
1 GRAYSON ST
DORCHESTER, MA 02124

CAMPO, PHILOMENA
1092 MAIN ST
WARREN, RI 02885

MARSHALL, CATHERINE
TEIXEIRA, MARIO JT
12 BELCOURT AVE
BRISTOL, RI 02809

NAYLOR, ANDREW W.D. &
ISABELLA C TE
17 VERNON AVE
BRISTOL, RI 02809

CLARK, ALBERT P
334 STATE ST
BRISTOL, RI 02809

MASTRIANO, LOU ANNE TRUST
337 STATE ST
BRISTOL, RI 02809

OLIVEIRA, JOSEPH
LINDA TE
24 MALDEN ST
BRISTOL, RI 02809

FERREIRA, MARK
331 STATE STREET
BRISTOL, RI 02809

MCCARTHY REAL ESTATE ASSO
339 METACOM AVE
BRISTOL, RI 02809

OLIVEIRA, JOSEPH F.
24 MALDEN ST
BRISTOL, RI 02809

FITTING, DONALD A JR. ET
HOLLY A. FITTING TE
10 WOBURN ST.
BRISTOL, RI 02809

MCNALLY, BARTLEY M & CHRI
336 METACOM AVE
BRISTOL, RI 02809

OLIVEIRA, LINDA A &
JOSEPH F TE
11 ROSITA AVE
BRISTOL, RI 02809

HOME ENTERPRISES 2, LLC
124 CORYS LANE
FALL RIVER, MA 02721

MORAN, ANTOINETTE
6 WOBURN ST
BRISTOL, RI 02809

PEIXOTO, MANUEL V., TRUST
MANUEL V PEIXOTO TRUST -
9 WOBURN ST
BRISTOL, RI 02809

HURLEY, MIKKO E.
326 STATE ST
BRISTOL, RI 02809

MORAN, ANTONETTA
6 WOBURN STREET
BRISTOL, RI 02809

RAPOSA, JAMES JR.
RONALD TC
16 ROSITA AVE
BRISTOL, RI 02809

REIS, PAULO J &
ALCINA TE
327 METACOM AVE
BRISTOL, RI 02809

REIS, PAULO J &
ALCINA TE
327 METACOM AVE
BRISTOL, RI 02809

SANTOS, LIONEL H.
ANA M. ETUX TE
7 WOBURN ST
BRISTOL, RI 02809

SILVA, CIDALIA M.
341 STATE ST
BRISTOL, RI 02809

SILVA, MANUEL C.
CIDALIA M. ETUX
341 STATE STREET
BRISTOL, RI 02809

SILVIA, PATRICIA A TRUSTE
327 STATE ST
BRISTOL, RI 02809

ST ANGELO, CHARLES J JR T
CHARLES J. ST ANGELO REV
340 STATE ST
BRISTOL, RI 02809

TAVARES, ERIC J
336 STATE ST
BRISTOL, RI 02809

ZEITLER, JOHN M.
38 KING PHILIP AVE
BRISTOL, RI 02809

ZELOU LLC
325 METACOM AVE
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
 COMMUNITY DEV.
 2024 JUL 31 PM 12:15

APPLICATION

File No: **2024-27**

Accepted by ZEO: **ENT 7/31/2024**

| | | | |
|------------------------|------------------------------------|---|-------------------|
| APPLICANT: | Name: <u>Kris Wetterland, Jr</u> | | |
| | Address: <u>3 Leila Jean Dr.</u> | | |
| | City: <u>Bristol</u> | State: <u>RI</u> | Zip: <u>02809</u> |
| | Phone #: <u>(401) 330-7846</u> | Email: <u>Kris.Wetterland@gmail.com</u> | |
| PROPERTY OWNER: | Name: <u>Kris Wetterland, Jr.</u> | | |
| | Address: <u>3 Leila Jean Dr.</u> | | |
| | City: <u>Bristol</u> | State: <u>RI</u> | Zip: <u>02809</u> |
| | Phone #: <u>ret (401) 330-7846</u> | Email: <u>Kris.Wetterland@gmail.com</u> | |

1. Location of subject property: 3 Leila Jean Dr.

Assessor's Plat(s) #: 108

Lot(s) #: 55

2. Zoning district in which property is located: R-15

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)

☐ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s): Fences 28-146.b.1

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 8 years

7. Present use of property: primary Residence

8. Is there a building on the property at present? Single Family Home

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

46' x 28' 2,020 SQ FT

10. Proposed use of property: primary residence

11. Give extent of proposed alterations: allow 6' fence on property line on side yard of corner lot. Front yard will meet required setback distance
12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____
13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:
- | | | |
|----------------------|------------------------------|--|
| Front lot line(s): | Required Setback: <u>35'</u> | Proposed Setback: <u>>35'</u> |
| Left side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Right side lot line: | Required Setback: <u>35'</u> | Proposed Setback: <u>property line</u> |
| Rear lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Building height: | Required: _____ | Proposed: _____ |
- Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
 Required: 4' high Proposed: 6' high
13. Number of families before/after proposed alterations: 1 Before 1 After
14. Have you submitted plans for the above alterations to the Building Official? NO
 If yes, has he refused a permit? _____
 If refused, on what grounds? _____
15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)
16. Which public utilities service the property? Water: ✓ Sewer: ✓
17. Is the property located in the Bristol Historic District or is it an individually listed property? NO
18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 7/21/2024

Print Name: Kris Wetterland Jr

Property Owner's Signature: [Signature] Date: 7/21/2024

Print Name: Kris Wetterland Jr

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

Kris & Renee Wetterland
3 Leila Jean Dr.
Bristol, RI 02809
(401) 330-7846

Bristol RI Zoning Board of Review
10 Court St
Bristol, RI 02809

July 29, 2024

To the Bristol Zoning Board of Review

Eight years ago, we purchased our home at 3 Leila Jean Dr. Since moving in we have made incremental improvements to the property and have also welcomed our first child into this world, he is currently four years old. Later this year, we would like to fence in our back yard which will allow us to create a more private space to enjoy. In addition, it would provide a safe place for our son to play outside.

We ask that you please review the information provided and grant an exception to the town's zoning ordinance that requires a 35' setback for a 6' privacy fence in zoning District R-15. Thank you for taking the time to review the information that we have provided. Please don't hesitate to reach out if you have any questions or if there is any additional information that we can provide.

Sincerely,

Kris & Renee Wetterland

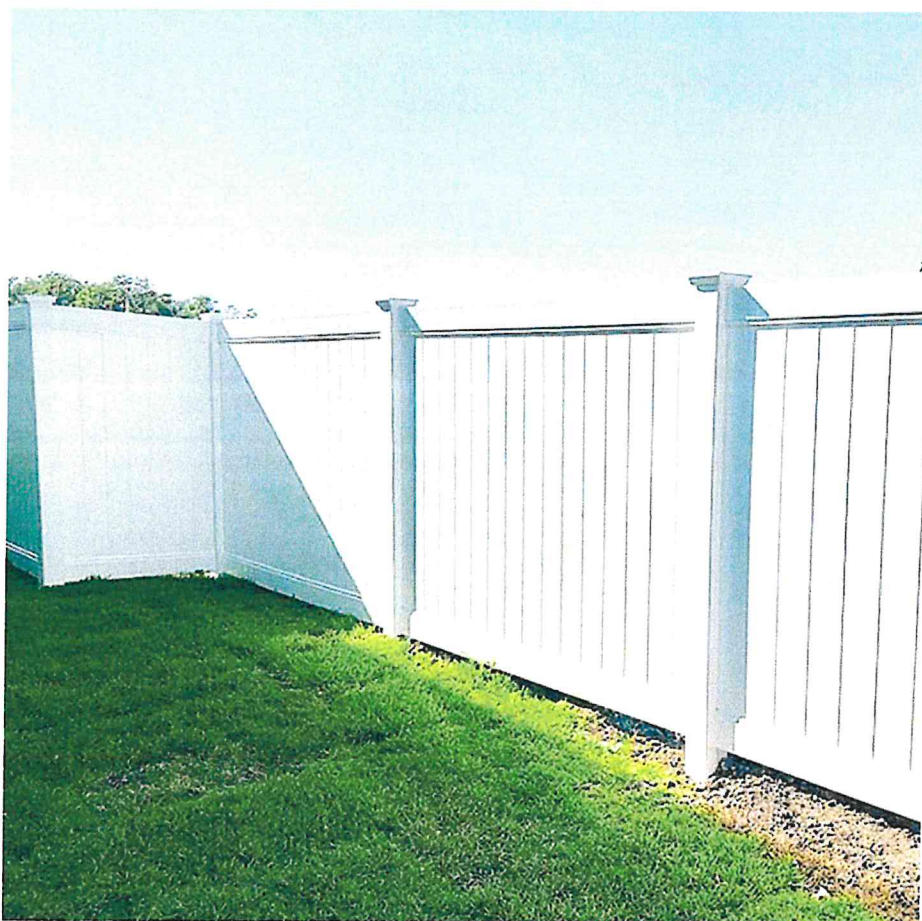
3 Leila Jean Dr. Bristol, RI 02809

The Wetterland family of 3 Leila Jean Dr. Would like a dimensional variance to be able to construct a 6' vinyl privacy fence in their western side yard on the property line.

This area previously had a line 15' tall arborvitae trees on the property line that were there prior to purchasing the property. The trees became unhealthy and have been removed, this has resulted in a lack of privacy in back yard. The fence will be used to provide privacy and a safe area for our child to play. The fence would also provide the entire neighborhood with visual appeal, and will not create any hazards to motorists traveling either North or South on Leila Jean Dr.

If approved a 6' Vinyl privacy fence will be constructed to tie into existing fence on the back-property line (Approximately 6-8' from the street). It will continue 54' before cutting across back yard to the back corner of the house on both sides, closing in the yard. Proposed fence will have a double 5' gate on the left side of the house, and a 4' walking gate on the right side of the house. If standard setback requirements were followed it would not leave enough usable backyard.

Fence style will be similar to picture below. 6' High x 8' wide sections with white PVC posts and New England Style Caps



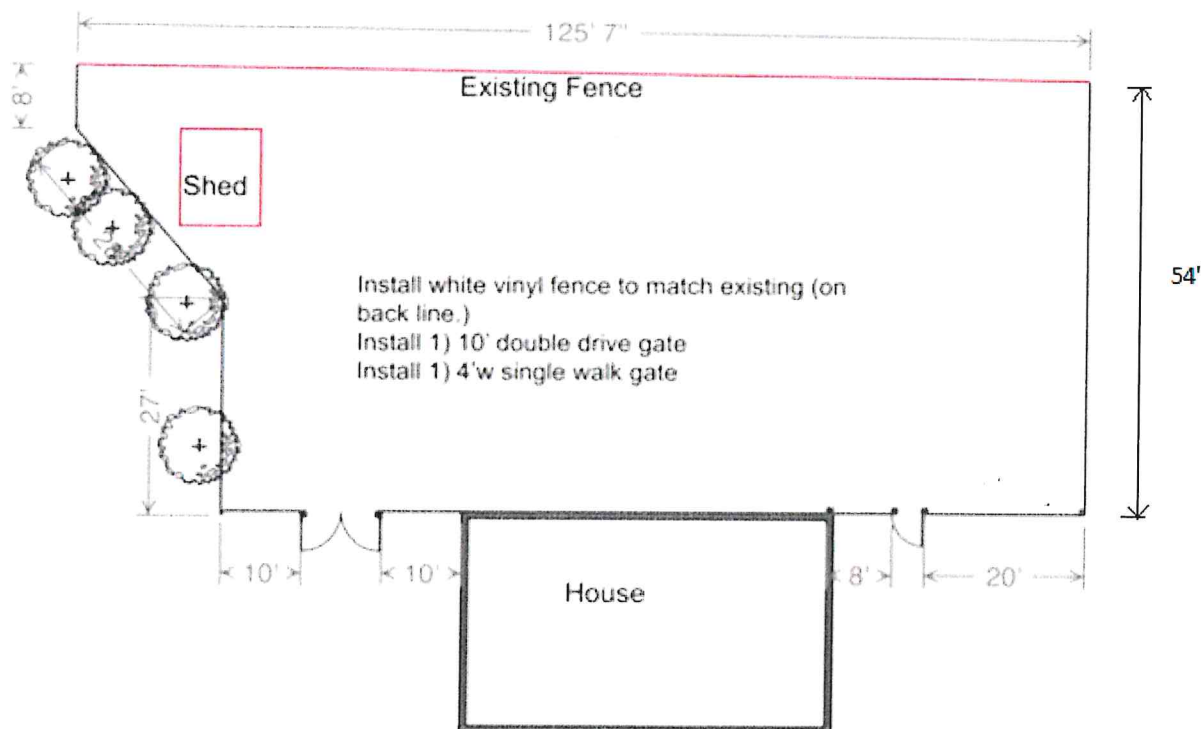
Grounds for proposal from Section 28-409

This variance should be considered due to hardship created by current layout of the property.

1. The house is dead center in the lot and the front and side yards face neighboring homes in both directions. If standard zoning setback requirements for 6' fence were followed in the side yard the usable backyard would be extremely small as most of it is taken up by a large deck in the back of the house and two sheds.
2. If fence were constructed following the town's standard zoning setback requirements, the fence would need to be constructed in a portion of the backyard that is extremely wet for most of the year. When the yard is saturated, it would not have much practical use and impact the integrity of the fence. The soil closer to the property line is dry most of the time.
3. The remaining side yard would have very little remaining practical use if backyard was fenced in following the Town's setback requirements.

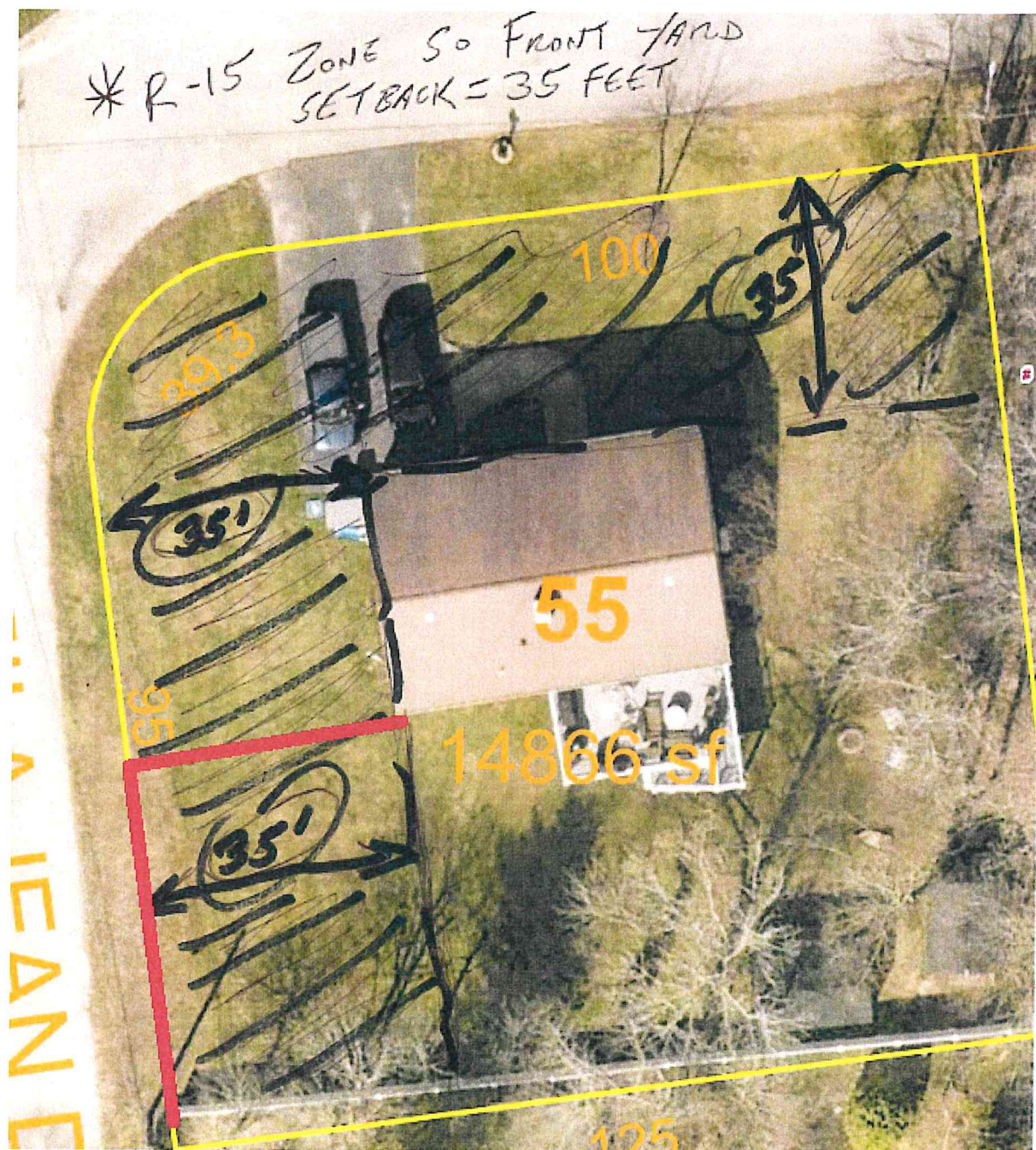
This hardship was not created by any prior action of the applicant and does not alter the general characteristic of the surrounding area. There are also many examples of fences with similar designs that exist in the area. (e.g. 1 Jane Ln, 229 Chestnut St, 11 Leila Jean Dr).

Proposed Fence Design





Sketch from Zoning Official with requested variance depicted with red line





3 Leila Jean Drive - 300' Radius

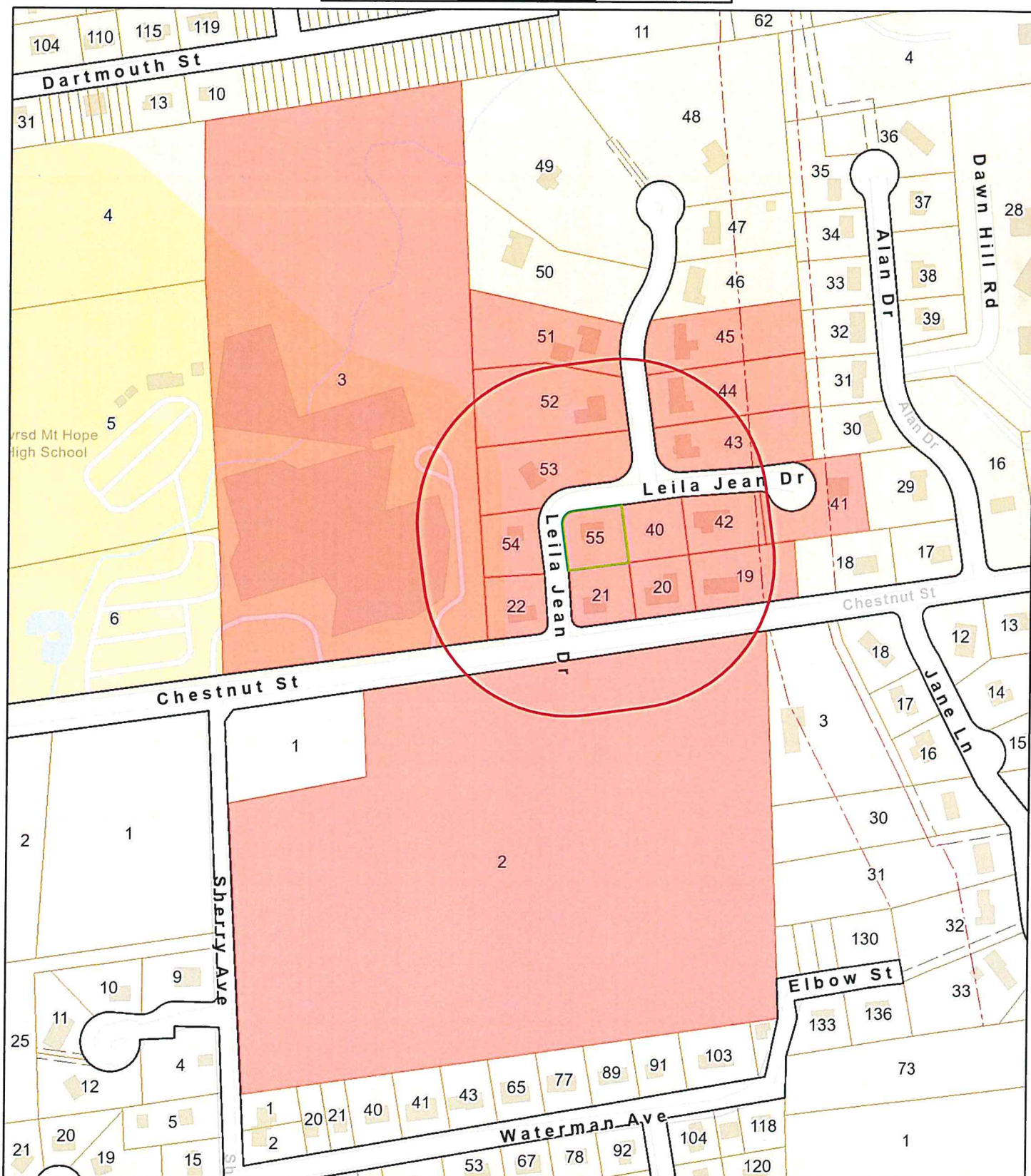
Bristol, RI

1 inch = 282 Feet



www.cai-tech.com

August 6, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Subject Property:

Abutters:

Parcel Number: 108-19
CAMA Number: 108-19
Property Address: 245 CHESTNUT ST

Mailing Address: PROTO, MICHAEL J.
245 CHESTNUT ST.
BRISTOL, RI 02809

Parcel Number: 108-20
CAMA Number: 108-20
Property Address: 241 CHESTNUT ST

Mailing Address: ABILHEIRA, SUSAN E.
241 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 108-21
CAMA Number: 108-21
Property Address: 235 CHESTNUT ST

Mailing Address: BOTELHO, GERALDINO A
235 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 108-22
CAMA Number: 108-22
Property Address: 229 CHESTNUT ST

Mailing Address: CARREIRO, BERNADETTE M.
229 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 108-40
CAMA Number: 108-40
Property Address: LEILA JEAN DR

Mailing Address: ABILHEIRA, SUSAN E.
241 CHESTNUT ST
BRISTOL, RI 02809

Parcel Number: 108-41
CAMA Number: 108-41
Property Address: 9 LEILA JEAN DR

Mailing Address: CALDWELL, DUSTIN & JOANNA TE
9 LEILA JEAN DR
BRISTOL, RI 02809

Parcel Number: 108-42
CAMA Number: 108-42
Property Address: 7 LEILA JEAN DR

Mailing Address: FORZIATI, ADAM & OTT, SHANNON TE
7 LEILA JEAN DR
BRISTOL, RI 02809

Parcel Number: 108-43
CAMA Number: 108-43
Property Address: 11 LEILA JEAN DR

Mailing Address: SHUFFELS, SHARI OKAMOTO ETAL JT
BARRY M &
11 LEILA JEAN DR
BRISTOL, RI 02809

Parcel Number: 108-44
CAMA Number: 108-44
Property Address: 13 LEILA JEAN DR

Mailing Address: ENES, ALEXANDRE B
75 FRANKLIN ST
BRISTOL, RI 02809

Parcel Number: 108-45
CAMA Number: 108-45
Property Address: 15 LEILA JEAN DR

Mailing Address: CAMPAGNA, JAMES A. ET UX KRISTINE
L.
15 LEILA JEAN DRIVE
BRISTOL, RI 02809

Parcel Number: 108-51
CAMA Number: 108-51
Property Address: 14 LEILA JEAN DR

Mailing Address: MEDEIROS, LUIS FRANCISCO JR
MEDEIROS, STACY AMARAL
14 LEILA JEAN DR
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 2



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 108-52
CAMA Number: 108-52
Property Address: 12 LEILA JEAN DR

Mailing Address: PLACIDO, LENA
12 LEILA JEAN DR
BRISTOL, RI 02809

Parcel Number: 108-53
CAMA Number: 108-53
Property Address: 10 LEILA JEAN DR

Mailing Address: FREEDOM ROAD BAPTIST CHURCH
PO BOX 1034
BRISTOL, RI 02809

Parcel Number: 108-54
CAMA Number: 108-54
Property Address: 8 LEILA JEAN DR

Mailing Address: BERNARDINO, CELESTE & BENSON,
MATTHEW TE
8 LEILA JEAN DR
BRISTOL, RI 02809

Parcel Number: 117-3
CAMA Number: 117-3
Property Address: 199 CHESTNUT ST

Mailing Address: BRISTOL HIGH SCHOOL C/O BRISTOL
HIGH SCHOOL
151 STATE ST
BRISTOL, RI 02809

Parcel Number: 51-2
CAMA Number: 51-2
Property Address: CHESTNUT ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 2

ABILHEIRA, SUSAN E.
241 CHESTNUT ST
BRISTOL, RI 02809

MEDEIROS, LUIS FRANCISCO
MEDEIROS, STACY AMARAL
14 LEILA JEAN DR
BRISTOL, RI 02809

BERNARDINO, CELESTE &
BENSON, MATTHEW TE
8 LEILA JEAN DR
BRISTOL, RI 02809

PLACIDO, LENA
12 LEILA JEAN DR
BRISTOL, RI 02809

BOTELHO, GERALDINO A
235 CHESTNUT ST
BRISTOL, RI 02809

PROTO, MICHAEL J.
245 CHESTNUT ST.
BRISTOL, RI 02809

BRISTOL HIGH SCHOOL
C/O BRISTOL HIGH SCHOOL
151 STATE ST
BRISTOL, RI 02809

SHUFFELS, SHARI OKAMOTO E
BARRY M &
11 LEILA JEAN DR
BRISTOL, RI 02809

CALDWELL, DUSTIN & JOANNA
9 LEILA JEAN DR
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

CAMPAGNA, JAMES A. ET UX
KRISTINE L.
15 LEILA JEAN DRIVE
BRISTOL, RI 02809

WETTERLAND, KRIS JR &
RENEEE B TE
3 LEILA JEAN DR
BRISTOL, RI 02809

CARREIRO, BERNADETTE M.
229 CHESTNUT ST
BRISTOL, RI 02809

ENES, ALEXANDRE B
75 FRANKLIN ST
BRISTOL, RI 02809

FORZIATI, ADAM & OTT, SHA
7 LEILA JEAN DR
BRISTOL, RI 02809

FREEDOM ROAD BAPTIST CHUR
PO BOX 1034
BRISTOL, RI 02809



Town of Bristol, Rhode Island

Department of Community Development Zoning Board of Review

File No: 2024-28

Accepted by ZEO:

EAT
8/5/24

APPLICATION

| | | | | |
|-----------------|----------|-----------------|--------|------------------|
| APPLICANT: | Name: | Susan Dell | | |
| | Address: | 41 Harrison St. | | |
| | City: | Bristol RI | State: | RI |
| | Phone #: | 401-286-2900 | Email: | delljunk@cox.net |
| PROPERTY OWNER: | Name: | Same as above | | |
| | Address: | Same as above | | |
| | City: | | State: | |
| | Phone #: | | Email: | |

1. Location of subject property: 5 Lindberg Ave, Bristol

Assessor's Plat(s) #: 148

Lot(s) #: 68

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)☐ Special Use Permit☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s):

Special Use Permit Section(s):

Use Variance Section(s):

height of fence

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 1 1/2 years

7. Present use of property: single family home

8. Is there a building on the property at present? yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):

10. Proposed use of property: single family home

11. Give extent of proposed alterations: We want to build a privacy fence around property. Portions of the fence will be 6-ft. high within the front yard of Lindberg & Paine

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

| | | |
|----------------------|-------------------------|-------------------------|
| Front lot line(s): | Required Setback: _____ | Proposed Setback: _____ |
| Left side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Right side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Rear lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Building height: | Required: _____ | Proposed: _____ |

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):

Required: 4 foot fence

Proposed: 6 foot fence

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO

If yes, has he refused a permit? _____

If refused, on what grounds? _____

15. Are there any easements on your property? NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: BCWA Sewer: Town of Bristol

17. Is the property located in the Bristol Historic District or is it an individually listed property? NO

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Susan J. Dell Date: 8/5/2024

Print Name: Susan J. Dell

Property Owner's Signature: Susan J. Dell Date: 8/5/2024

Print Name: Susan J. Dell

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

5 Lindberg Dimensional Variance Written Statement

The houses on Lindberg Ave go street to street (Lindberg Ave on the front side and Paine Ave on the rear side). Many house lots are undersized based on current standards. A fence permit for 4 foot has been approved. This variance requests a 6 foot fence. Requested placement of the fence and the 6-foot height is consistent with other houses on the street.

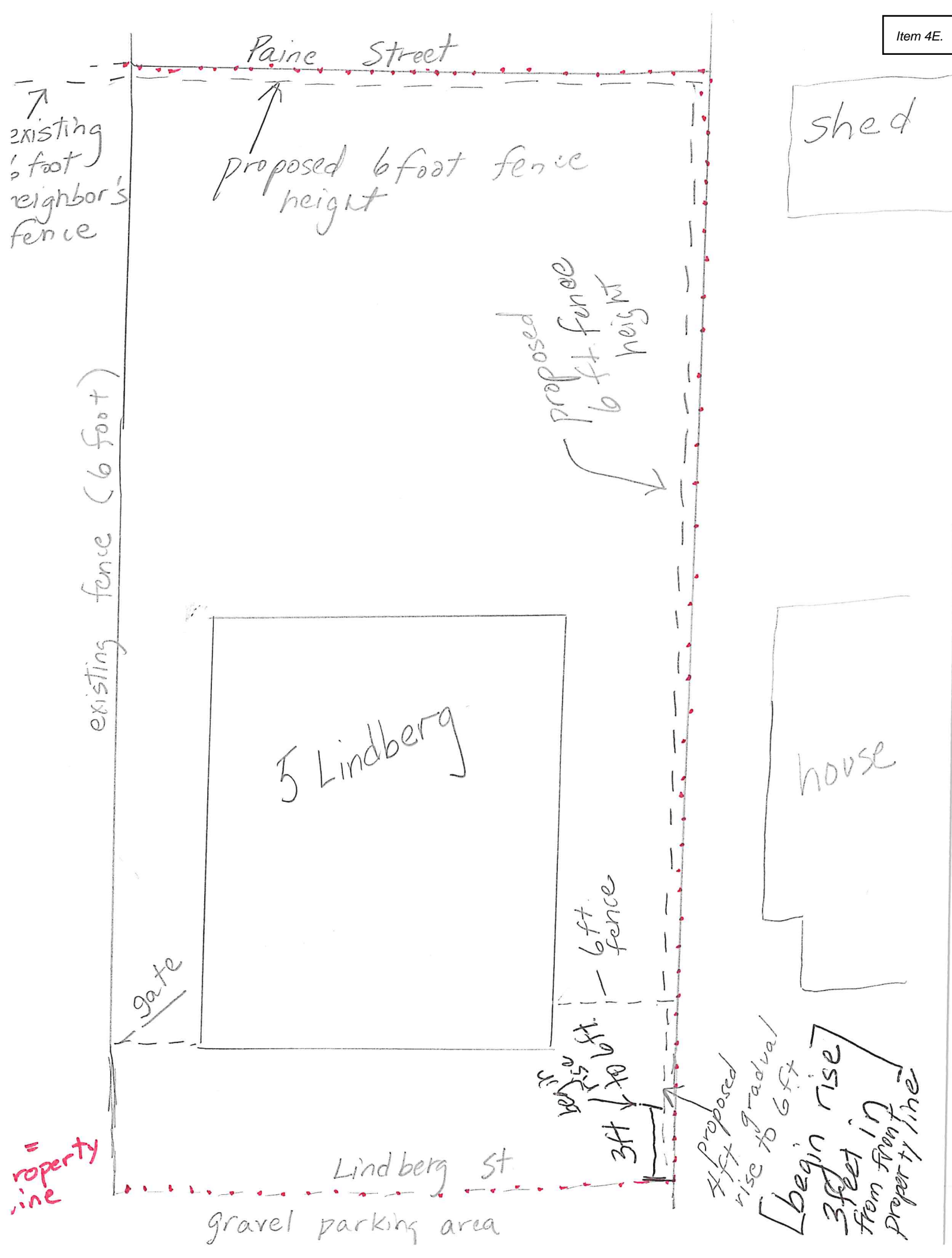
Reasoning for fence: A six-foot stockade fence would allow privacy for 5 Lindberg and would help block a clear view of the abutting properties from the house windows. The six foot height would also help with containment of pets and humans to the backyard.

What this variance requests:

- Construction of a 6-foot stockade fence on the Paine Street lot line and the lot between 5 Lindberg and the abutting house.
- Extend the fence on the right of the house from the house to the lot line. This will gradually be reduced from the requested 6-foot at the house to 4-foot at the lot line.
- On left of house: a 6-foot fence with gate will connect with abutting neighbor's fence
- On the right of house: a 6-foot fence closing in the property.
- On the back lot line: a 6-foot fence with a gate.

from
Lindberg





Photos supporting this request:

Photo of close neighbor to right



Photos of fences/hedges on Paine Street (Back of 5 Lindberg lot) showing 6 ft fences/hedges





5 Lindberg Avenue - 300' Radius

Bristol, RI

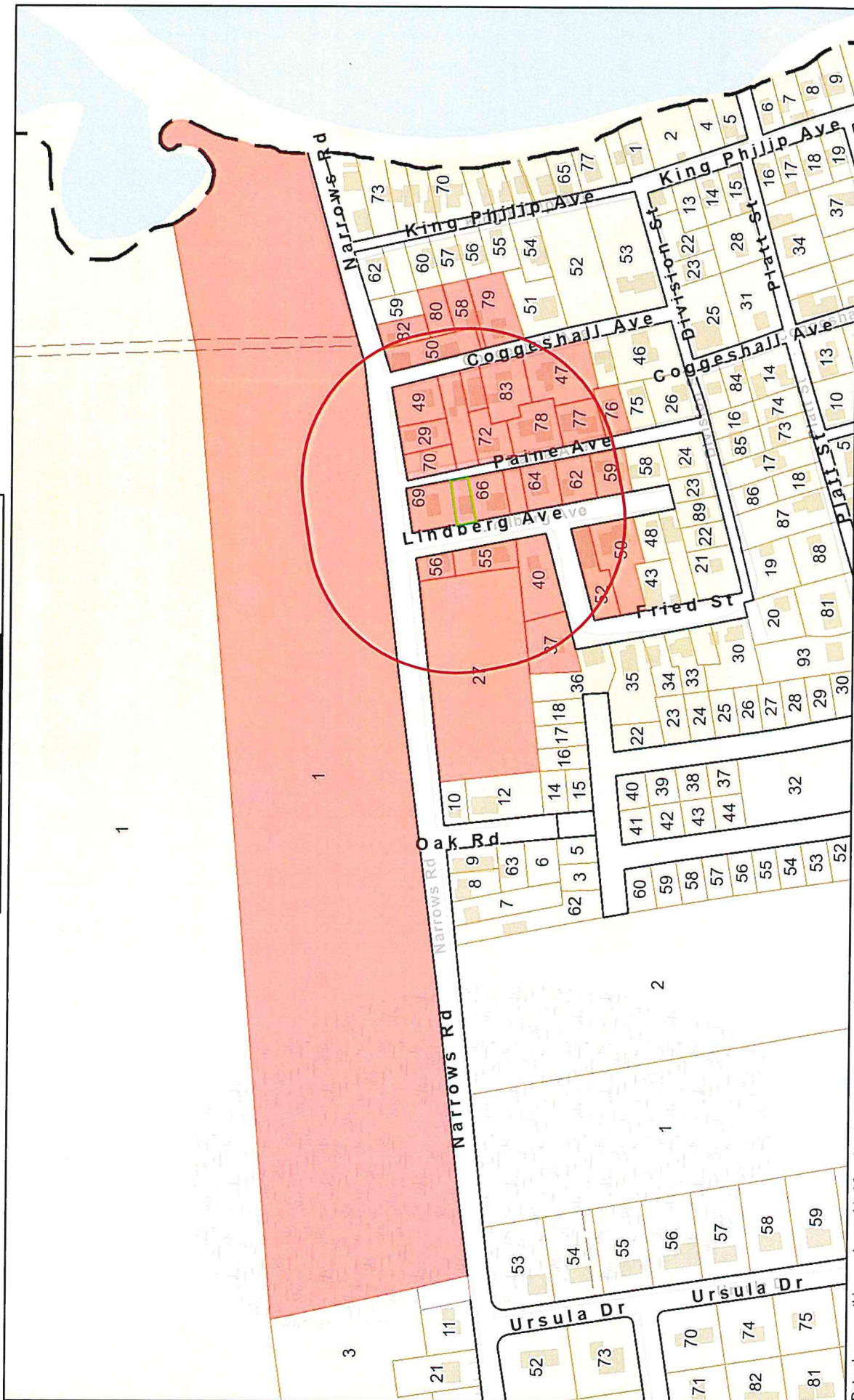
1 inch = 282 Feet



August 6, 2024



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Subject Property:

Parcel Number: 148-68
CAMA Number: 148-68
Property Address: 5 LINDBERG AVE

Mailing Address: DELL, JOHNATHAN EUGENE & SUSAN
JEAN TE
41 HARRISON ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 142-1
CAMA Number: 142-1
Property Address: NARROWS RD

Mailing Address: WAYPOYSET PRESERVE TRUST C/O
STEVEN JOHNSON
345 CHANNEL VIEW, UNIT 101
WARWICK, RI 02889

Parcel Number: 147-47
CAMA Number: 147-47
Property Address: 22 COGGESHALL AVE

Mailing Address: ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-48
CAMA Number: 147-48
Property Address: 8 COGGESHALL AVE

Mailing Address: HEISLER, WALTER CHRISTOFF JR
8 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-49
CAMA Number: 147-49
Property Address: 2 COGGESHALL AVE

Mailing Address: MORENCY, LIONEL J LIFE ESTATE
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-50
CAMA Number: 147-50
Property Address: 1 COGGESHALL AVE

Mailing Address: FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

Parcel Number: 147-58
CAMA Number: 147-58
Property Address: 11 COGGESHALL AVE

Mailing Address: BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

Parcel Number: 147-75
CAMA Number: 147-75
Property Address: 10 COGGESHALL AVE

Mailing Address: MANCINI, LORI A.
10 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-79
CAMA Number: 147-79
Property Address: 15 COGGESHALL AVE

Mailing Address: MERKLE, JEFFREY C & EILEEN TE
15 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-80
CAMA Number: 147-80
Property Address: 132 NARROWS RD

Mailing Address: SHAW, ROBERT I & PATRICIA A. TE
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

Parcel Number: 147-82
CAMA Number: 147-82
Property Address: 134 NARROWS RD

Mailing Address: CALLERY, ALLYSEN W. HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 3



300 feet Abutters List Report

Bristol, RI
August 06, 2024

Parcel Number: 147-83
CAMA Number: 147-83
Property Address: 14 COGGESHALL AVE

Mailing Address: CATALANO, FRANK P SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 148-27
CAMA Number: 148-27
Property Address: NARROWS RD

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 148-29
CAMA Number: 148-29
Property Address: 126 NARROWS RD

Mailing Address: URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 148-37
CAMA Number: 148-37
Property Address: 12 FRIED AVE

Mailing Address: LEFFINGWELL, MELISSA & BRYAN TE
12 FRIED AVE
BRISTOL, RI 02809

Parcel Number: 148-40
CAMA Number: 148-40
Property Address: 6 FRIED AVE

Mailing Address: MARTINS, GILBERT C.
6 FRIED AVE
BRISTOL, RI 02809

Parcel Number: 148-50
CAMA Number: 148-50
Property Address: 28 LINDBERG AVE

Mailing Address: KEMMY, DAVID MICHAEL & TIM ANNICE
CO-TRUSTEES, KEMMY FAMILY TRUST
28 LINDBERG AVE
BRISTOL, RI 02809

Parcel Number: 148-52
CAMA Number: 148-52
Property Address: 1 FRIED AVE

Mailing Address: DAPONTE, MARIA E. & EADIE, MICHAEL
T. JT
1 FRIED AVE
BRISTOL, RI 02809

Parcel Number: 148-55
CAMA Number: 148-55
Property Address: 4 LINDBERG AVE

Mailing Address: DOS ANJOS, DEOLINDA A
4 LINDBERG AVE
BRISTOL, RI 02809

Parcel Number: 148-56
CAMA Number: 148-56
Property Address: 2 LINDBERG AVE

Mailing Address: MOWERY, MEGAN L
2 LINDBERG AVE
BRISTOL, RI 02809

Parcel Number: 148-59
CAMA Number: 148-59
Property Address: 29 LINDBERG AVE

Mailing Address: KEMMY, MICHAEL D
29 LINDBERG AVE
BRISTOL, RI 02809

Parcel Number: 148-62
CAMA Number: 148-62
Property Address: 21 LINDBERG AVE

Mailing Address: PINTO, MARK S.
21 LINDBERG AVE
BRISTOL, RI 02809

Parcel Number: 148-64
CAMA Number: 148-64
Property Address: 14 PAINE AVE

Mailing Address: SPATES, RICHARD M. TRACEY M. TE
14 PAINE AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

8/6/2024

Page 2 of 3



300 feet Abutters List Report

Bristol, RI
August 06, 2024

| | |
|--|--|
| Parcel Number: 148-65 CAMA Number: 148-65 Property Address: 12 PAINE AVE | Mailing Address: DELL, NATHAN ALTON & SARAH HOGAN TE 10 KINGSWOOD RD BRISTOL, RI 02809 |
| Parcel Number: 148-66 CAMA Number: 148-66 Property Address: 9 LINDBERG AVE | Mailing Address: USHER, PATRICK JR. LEITE, DIANE JT 9 LINDBERG AVE BRISTOL, RI 02809 |
| Parcel Number: 148-68 CAMA Number: 148-68 Property Address: 5 LINDBERG AVE | Mailing Address: DELL, JOHNATHAN EUGENE & SUSAN JEAN TE 41 HARRISON ST BRISTOL, RI 02809 |
| Parcel Number: 148-69 CAMA Number: 148-69 Property Address: 110 NARROWS RD | Mailing Address: LAFAZIA, JOSEPH K. CATHERINE T. 110 NARROWS ROAD BRISTOL, RI 02809 |
| Parcel Number: 148-70 CAMA Number: 148-70 Property Address: 112 NARROWS RD | Mailing Address: SERRA, JOSE ANTONIO FIGUEROA & DIAZ, SABRINA CANCEL TE 112 NARROWS RD BRISTOL, RI 02809 |
| Parcel Number: 148-72 CAMA Number: 148-72 Property Address: 9 PAINE AVE | Mailing Address: SECURO, FRANCES E. LE DESILETS, ERIC M. 9 PAINE AVE BRISTOL, RI 02809 |
| Parcel Number: 148-76 CAMA Number: 148-76 Property Address: 21 PAINE AVE | Mailing Address: KITTELL, LISA M. 21 PAINE AVE BRISTOL, RI 02809 |
| Parcel Number: 148-77 CAMA Number: 148-77 Property Address: 19 PAINE AVE | Mailing Address: PIRES, DAVID A. PATRICIA A. 19 PAINE AVE BRISTOL, RI 02809 |
| Parcel Number: 148-78 CAMA Number: 148-78 Property Address: 15 PAINE AVE | Mailing Address: DUNCAN, WHITNEY P CHAIKIN, CAROLYN A JT 58 THIRD ST NEWPORT, RI 02840 |



www.cai-tech.com

8/6/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 3

ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

HEISLER, WALTER CHRISTOFF
8 COGGESHALL AVE
BRISTOL, RI 02809

MOWERY, MEGAN L
2 LINDBERG AVE
BRISTOL, RI 02809

BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

KEMMY, DAVID MICHAEL & TIM
CO-TRUSTEES, KEMMY FAMILY
28 LINDBERG AVE
BRISTOL, RI 02809

PINTO, MARK S.
21 LINDBERG AVE
BRISTOL, RI 02809

CALLERY, ALLYSEN W.
HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809

KEMMY, MICHAEL D
29 LINDBERG AVE
BRISTOL, RI 02809

PIRES, DAVID A.
PATRICIA A.
19 PAINE AVE
BRISTOL, RI 02809

CATALANO, FRANK P
SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

KITTELL, LISA M.
21 PAINE AVE
BRISTOL, RI 02809

SECURO, FRANCES E. LE
DESILETS, ERIC M.
9 PAINE AVE
BRISTOL, RI 02809

DAPONTE, MARIA E. &
EADIE, MICHAEL T. JT
1 FRIED AVE
BRISTOL, RI 02809

LAFAZIA, JOSEPH K.
CATHERINE T.
110 NARROWS ROAD
BRISTOL, RI 02809

SERRA, JOSE ANTONIO FIGUE
DIAZ, SABRINA CANCEL T
112 NARROWS RD
BRISTOL, RI 02809

DELL, JOHNATHAN EUGENE &
SUSAN JEAN TE
41 HARRISON ST
BRISTOL, RI 02809

LEFFINGWELL, MELISSA &
BRYAN TE
12 FRIED AVE
BRISTOL, RI 02809

SHAW, ROBERT I & PATRICIA
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

DELL, NATHAN ALTON &
SARAH HOGAN TE
10 KINGSWOOD RD
BRISTOL, RI 02809

MANCINI, LORI A.
10 COGGESHALL AVE
BRISTOL, RI 02809

SPATES, RICHARD M.
TRACEY M. TE
14 PAINE AVE
BRISTOL, RI 02809

DOS ANJOS, DEOLINDA A
4 LINDBERG AVE
BRISTOL, RI 02809

MARTINS, GILBERT C.
6 FRIED AVE
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

DUNCAN, WHITNEY P
CHAIKIN, CAROLYN A JT
58 THIRD ST
NEWPORT, RI 02840

MERKLE, JEFFREY C & EILEE
15 COGGESHALL AVE
BRISTOL, RI 02809

URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

MORENCY, LIONEL J LIFE ES
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

USHER, PATRICK JR.
LEITE, DIANE JT
9 LINDBERG AVE
BRISTOL, RI 02809

WAYPOYSET PRESERVE TRUST
C/O STEVEN JOHNSON
345 CHANNEL VIEW, UNIT 101
WARWICK, RI 02889



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2024 AUG -9 AM 11:30

APPLICATION

File No: 2024-29
 Accepted by ZEO: EMT 8/9/24

| | | | |
|-----------------------|---------------------------------|--------------------------------|------------|
| APPLICANT | Name: Alex Romano, Emily Romano | | |
| | Address: 17 Mulberry Road | | |
| | City: Bristol | State: RI | Zip: 02809 |
| | Phone #: 401-487-3727 | Email: aromano@studentally.com | |
| PROPERTY OWNER | Name: Alex Romano, Emily Romano | | |
| | Address: 17 Mulberry Road | | |
| | City: Bristol | State: RI | Zip: 02809 |
| | Phone #: 401-487-3727 | Email: aromano@studentally.com | |

1. Location of subject property: 17 Mulberry Road, Bristol

Assessor's Plat(s)#: 74

Lot(s) #: 17

2. Zoning district in which property is located: R-20

3. Zoning Approval(s) required (check all that apply):

☒ X Dimensional Variance(s)

☐ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Sec. 28-111 Residential Zones

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: Since September 2016

7. Present use of property: Single family residence

8. Is there a building on the property at present?: Yes.

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____

The building is an irregular shape (as shown in attached drawings, totaling 2,732 above ground sq. ft.

The rough exterior dimensions are 70' x 30'. The tallest portion (south side) of the building is 30' high.

10. Proposed use of property: Single family residence with integrated accessory dwelling unit for use by the applicants' elderly parents.

11. Give extent of proposed alterations: Applicant's prior request to build a 54' long by 26' wide ADU with basement and integrating/updating the existing 26'x22' garage was approved in April 2024. (See prior application.) Applicants request to reduce the width of the ADU from 54' to 50', eliminate the basement, move the garage forward approx. 5', while straightening the garage to be perpendicular to the ADU, and adding a loft above the garage (mostly outside the 20' setback).

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): A 50' x 26' extension creating a 1133 sq. ft. ADU and 175 sq. ft. hall connecting the garage. A 32' x 23' garage with 5' covered walkway (3rd stall and walkway outside 20' setback), and 630 sq. ft. guest/storage area w/ bath above garage (mostly outside 20' setback.) Height +/- consistent with existing 20' N. roof and substantially below existing 30' S. roof.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

| | | |
|---|-------------------------|--|
| Front lot line(s): | Required Setback: _____ | Proposed Setback: _____ |
| Left side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Right side lot line: | Required Setback: 20' | Proposed Setback: 1.3' (existing since 1946) |
| Rear lot line: | Required Setback: 35' | Proposed Setback: 20' (existing since 1946) |
| Building height: | Required: _____ | Proposed: _____ |
| Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.): | Required: _____ | Proposed: _____ |

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No.

If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No. (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes. Sewer: Yes.

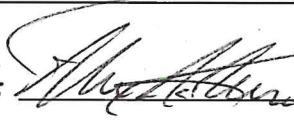
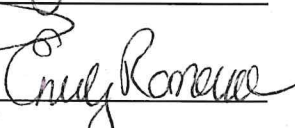
17. Is the property located in the Bristol Historic District or is it an individually listed property?: No.

18. Is the property located in a flood zone? No. If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:   **Date:** 7/30/2024

Print Name: Alex A. Romano, Emily Romano

Property Owner's Signature:   **Date:** 7/30/2024

Print Name: Alex A. Romano, Emily Romano

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ **Telephone #:** _____

Address: _____

Application Section 5 – Grounds for Revised Variance

Existing Dimensional Variance April 2024

Applicants were granted a dimensional variance in April 2024 to construct a 54' x 26' addition with basement, to serve as an ADU for the applicants' elderly parents and also to provide access from the existing home to the currently detached garage.

Basis for Revised Variance – Unique Grade/Location of Existing Structures.

To complete the modifications approved in the April 2024 variance the loadbearing foundation of the existing garage constructed in 1946) needed to be assessed for its capability of supporting the new structure and integrating into the home. Upon engineering review, the garage foundation is only approximately 2' deep, and to complete the modifications approved in the April 2024 variance, the garage foundation would need to be underpinned or repoured to allow for 4' of depth.

Because the garage was built in 1946, pre-zoning, it was built into the hill along the easterly boundary of the property - 1.3' from the easterly side yard property line that separates 17 Mulberry Road from its easterly neighbor at 33 Sunset Road. Because of its construction into the side of the hill and 1.3' from the property line, repouring/underpinning the easterly foundation of the garage would require substantial excavation of the hill including portions of the hill that are beyond the property line of 33 Sunset Road. Effectively, the garage's easterly foundation wall cannot be accessed from the east in order to perform the necessary modifications. Alternatively, if access the easterly foundation wall was attempted from the west, it would require substantial demolition of the existing garage.

In sum, to complete the modifications approved in the April 2024 variance, applicants would have to substantially demolish the existing garage.

Revised Proposal to Accommodate Unique Conditions of the Property

To accommodate the issues created by the existing hillside, Applicants propose to reduce the length of the addition from 54' to approx. 50'3" and to eliminate the majority (or all) of the basement portions. This change effectively reduces the existing encroachment into the easterly side yard setback by several feet.

To accommodate these changes, Applicants propose to demolish the majority (or all) of the existing garage in order to allow westerly access to the eastern foundation wall to pour the required structural foundation/footings, and to move the garage 5' forward (southerly) to allow for 22' of interior vehicle access. In addition, because the existing garage was built parallel to the property line and at an acute angle to the existing home, Applicants propose to move the garage westerly (pivoting off its southeasterly corner), which will bring it perpendicular to the addition, allow applicants to reduce the length of the addition from 54' to 50', and minimize the current easterly side yard setback by moving the addition further west. (As shown in attached drawings).

To accommodate for the loss of the basement area for storage and a guest room to serve the primary residence, applicants propose to incorporate a loft above the garage through a 1.5 story design that uses a shed dormer on the westerly side of the garage. Applicants propose to transition the south facing cape-style gable roof into a hip roof at the rear (north) side of the property. This transition will allow applicants to minimize visual impact by keeping the keeping the rooflines of the structure consistent with the rooflines approved at the April 2024 hearing. (See attached exterior renderings). The majority of the loft and the entirety of the shed dormer will be outside of the 20' side yard setback. Applicants also propose to add a 3rd garage stall (which is consistent with other homes in the area) and a covered walkway, both of which are on the west wide of the garage and both of which are outside of the 20' side yard setback.

Proposed Alterations Maintain Substantial Distances From Nearby Residences

Because the applicants' property and surrounding homes were all built pre-zoning, the nature of the area is such that the proposed ADU would not encroach on any nearby residences. Although the ADU would maintain a 20'

Application Section 5 – Grounds for Revised Variance

Applicants' Hardship (Additional Hardship Explanation)

The hardships that formed the basis for the April 2024 dimensional variance approval are still in effect and continue to be a basis for this revised variance request. (See April 2024 application for more details).

The additional hardship that forms the basis for this revised variance is the construction of the exiting garage into the side of the hill at the easterly border of Applicants' property I 1946. The nature of the garage's construction is such that, in order to support its integration into the home (which Applicants were granted relief to do in April 2024), Applicants would have to excavate the hill that the garage is built into in order to add adequate structural footings, and because the garage was built 1.3' from the property line, this would require substantial excavation of areas neighbor's property. Alternatively, the garage would have to be substantially demolished in order to perform the excavations from the west wide, in which instance, the more appropriate course of action would be pour new foundations that align the garage perpendicular to the approved addition and reduce the existing side yard encroachment by reducing the length of the proposed addition from 54' to 50'.

Because of the nature of the property, and the original owner's decision to construct the existing house to the far easterly side of the property, and the garage/driveway 1.3' from the easterly property line, there is no other location where the garage could be situated on the site.

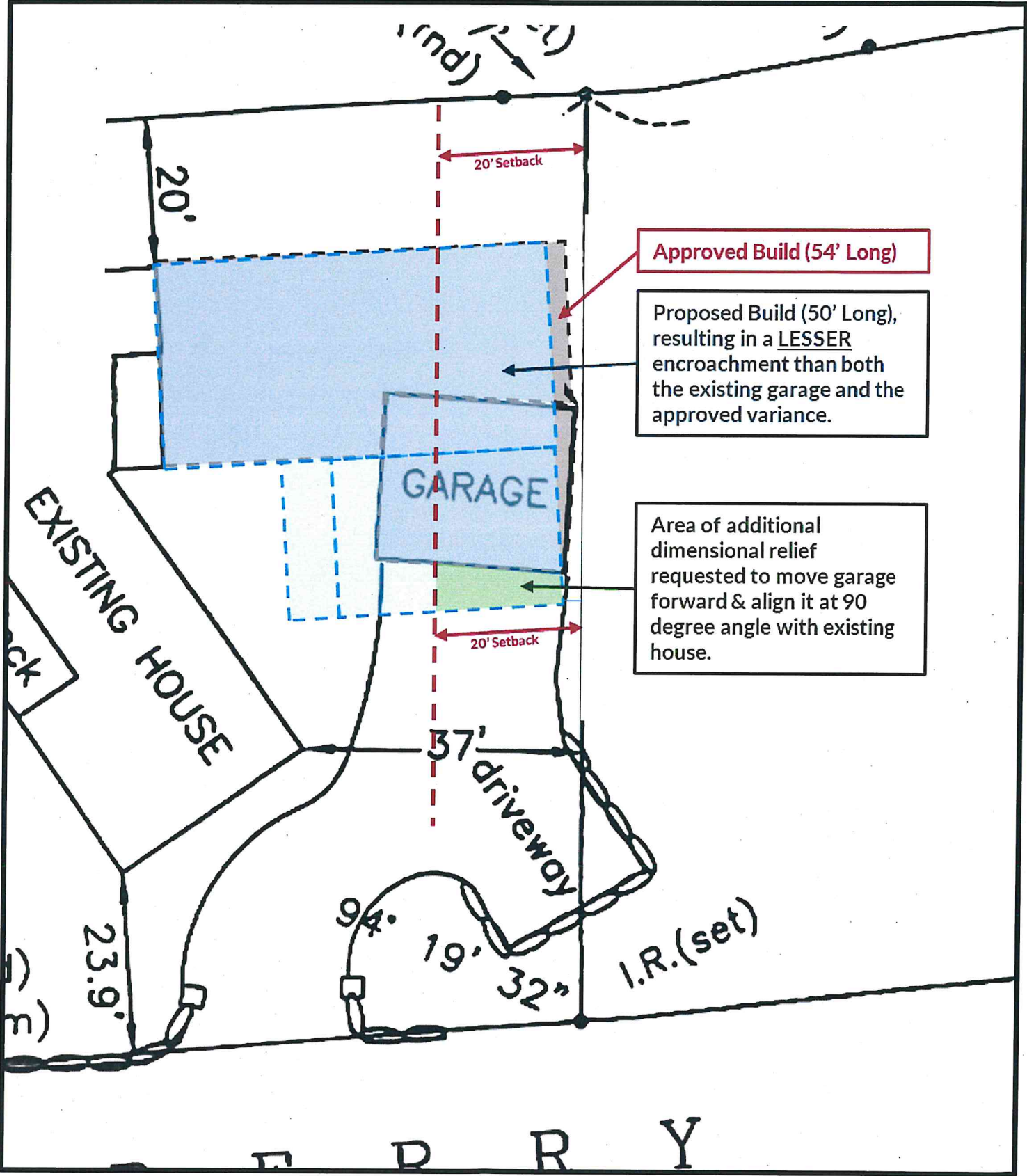
Closing Remarks

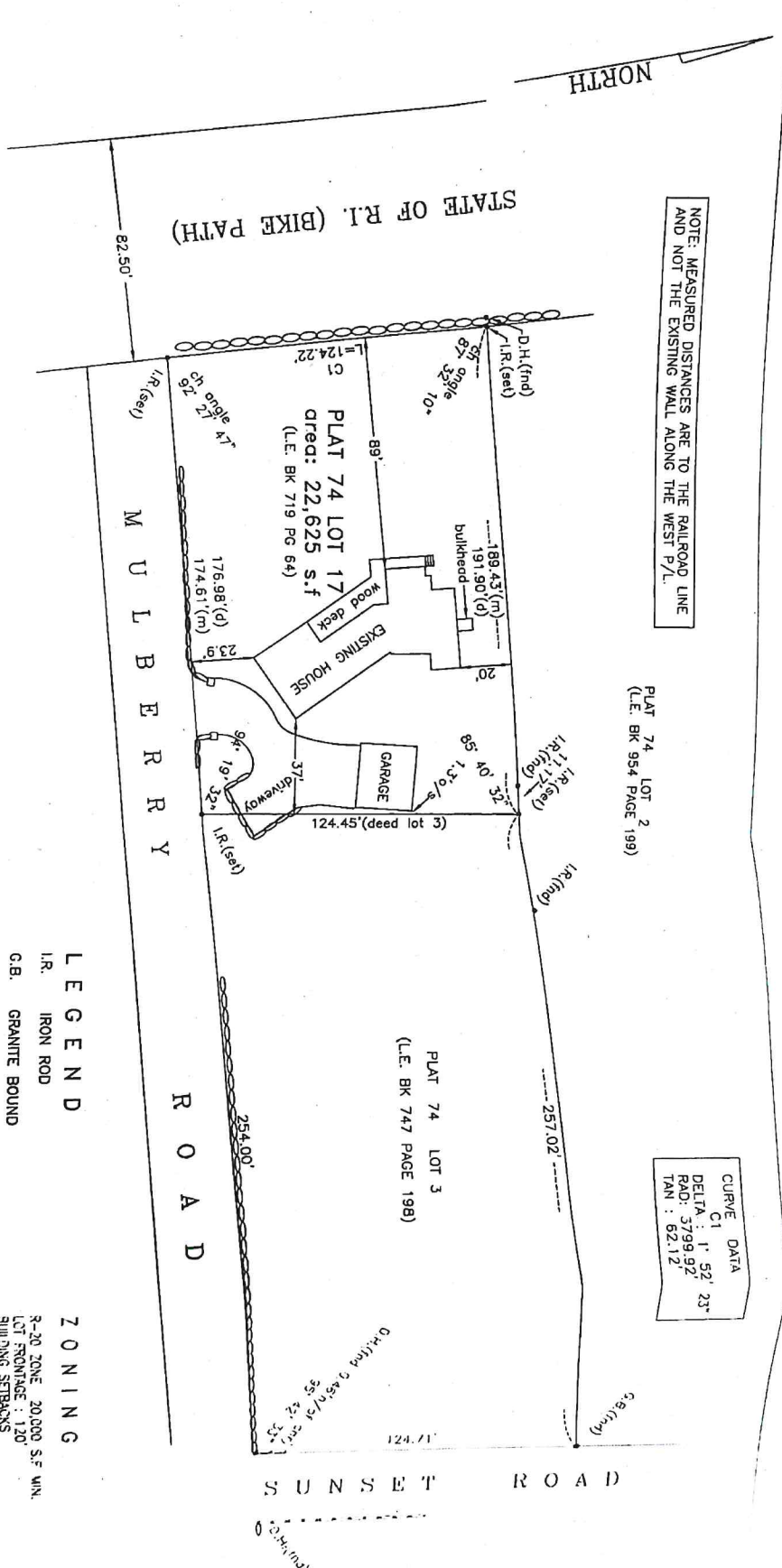
The revised proposal is substantially similar and even less encroaching than the proposal that was approved by the Board in April of 2024. The revised proposal is consistent with and similar to the sizes of surrounding homes, and is visually and functionally in line with the character of the neighborhood.

For all of these reasons, denial of applicants' request for a dimensional variance would be more than a mere inconvenience. The ADU is for the applicants' elderly parents to permit them to live on a single first-floor area adjacent to the garage and driveway, and adjacent to children who might assist them. ADUs are now encouraged by the State of Rhode Island and are a permitted use. R.I. Gen. Laws §45-24-74(b).

OVERLAY OF APPROVED VS REVISED VARIANCE

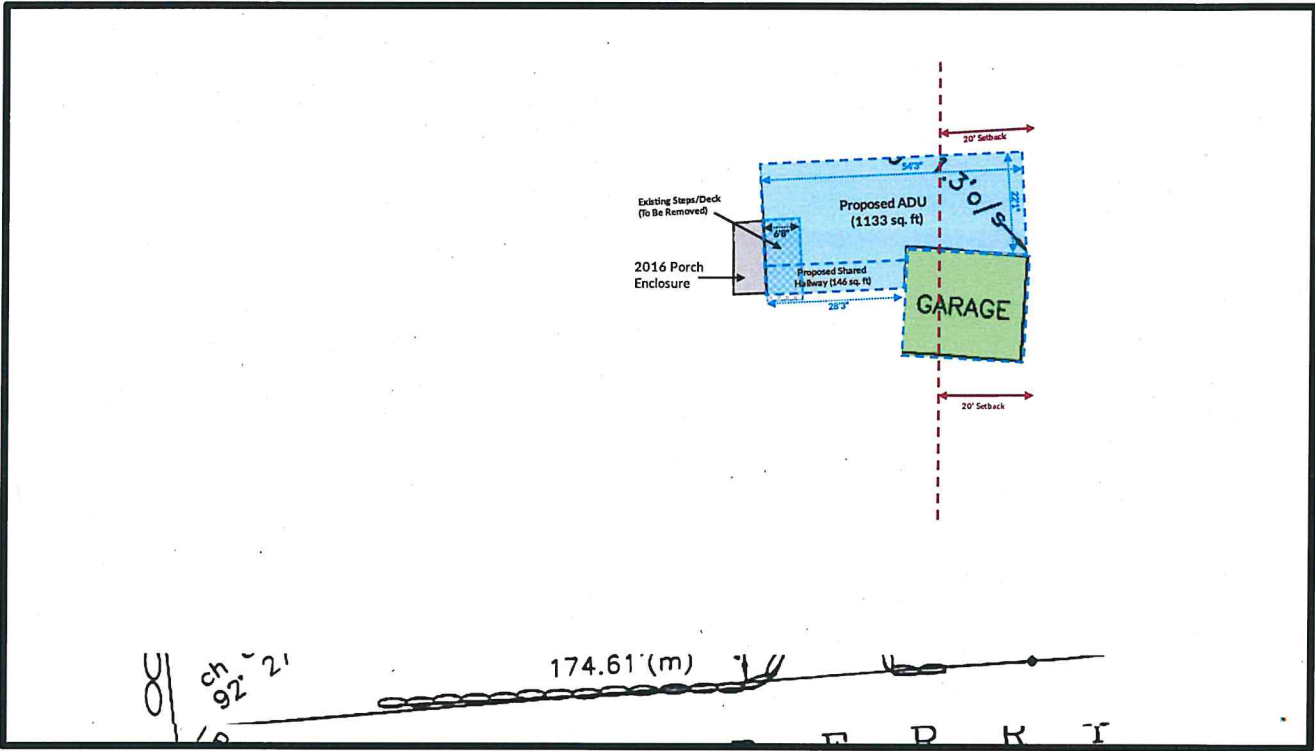
- (Approved in brown)
- (Proposed in blue)
- (Area of additional relief in green)



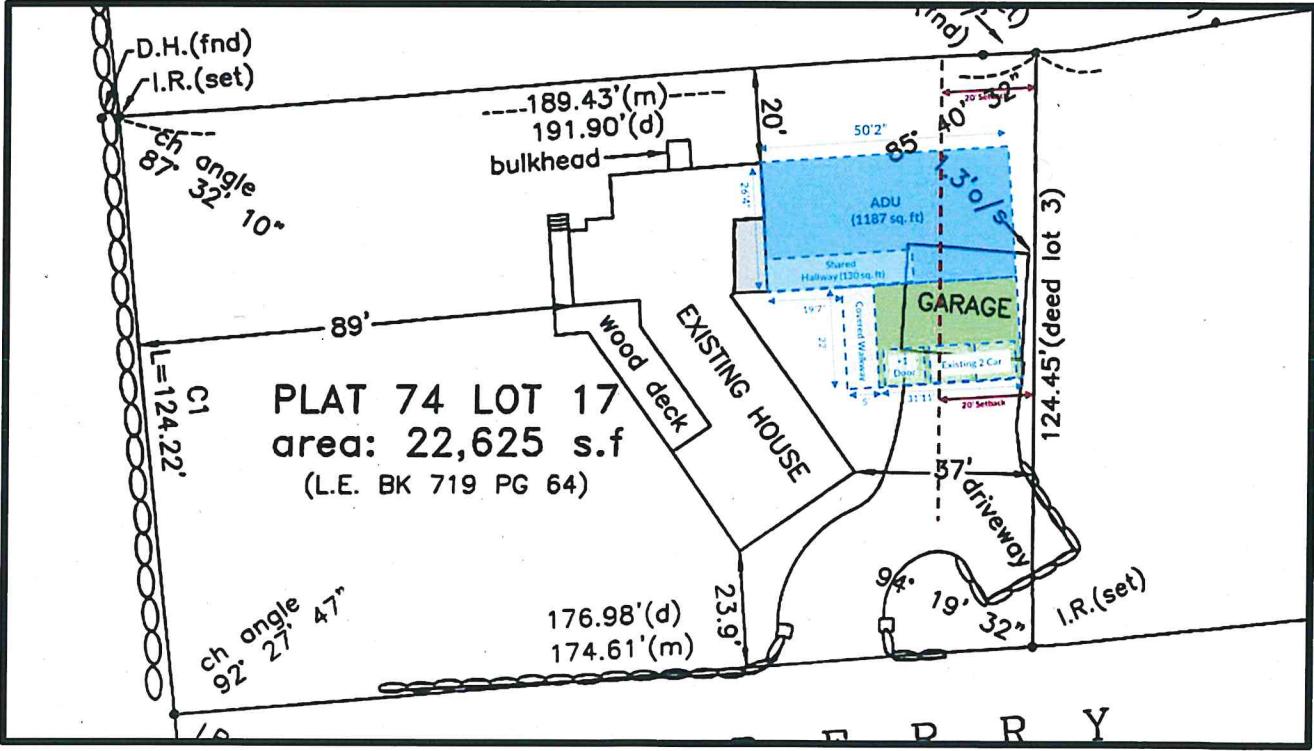


APPROVED VARIANCE VS REVISED VARIANCE

APPROVED VARIANCE

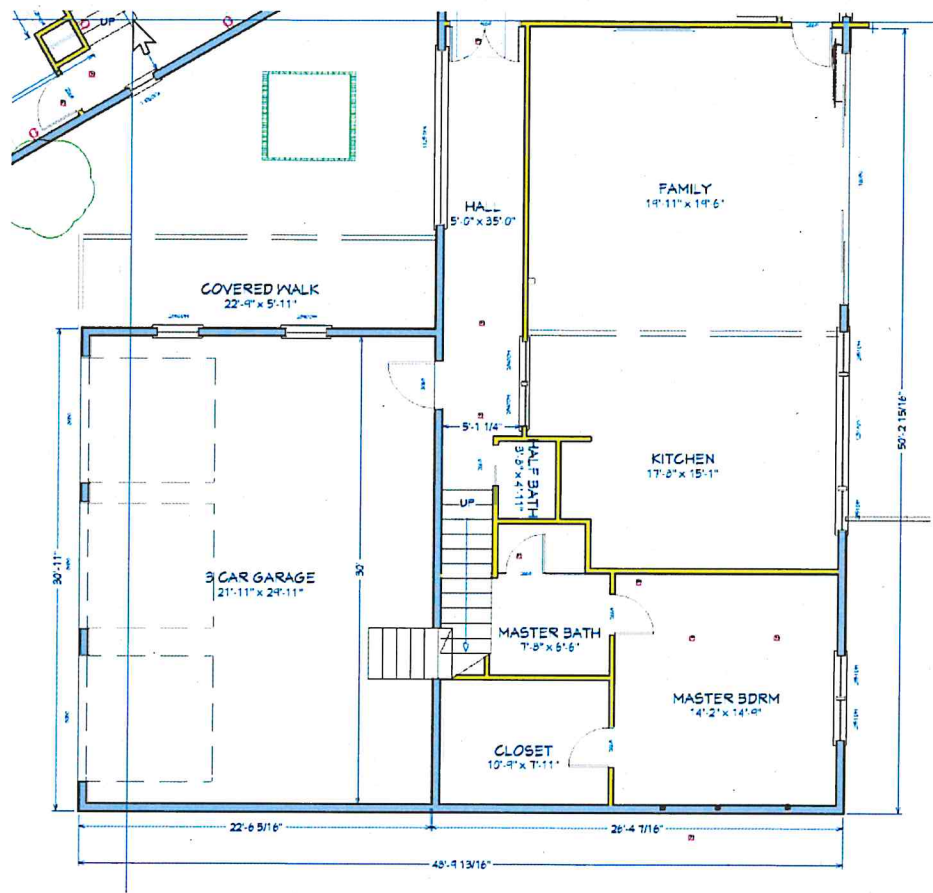


REVISED VARIANCE

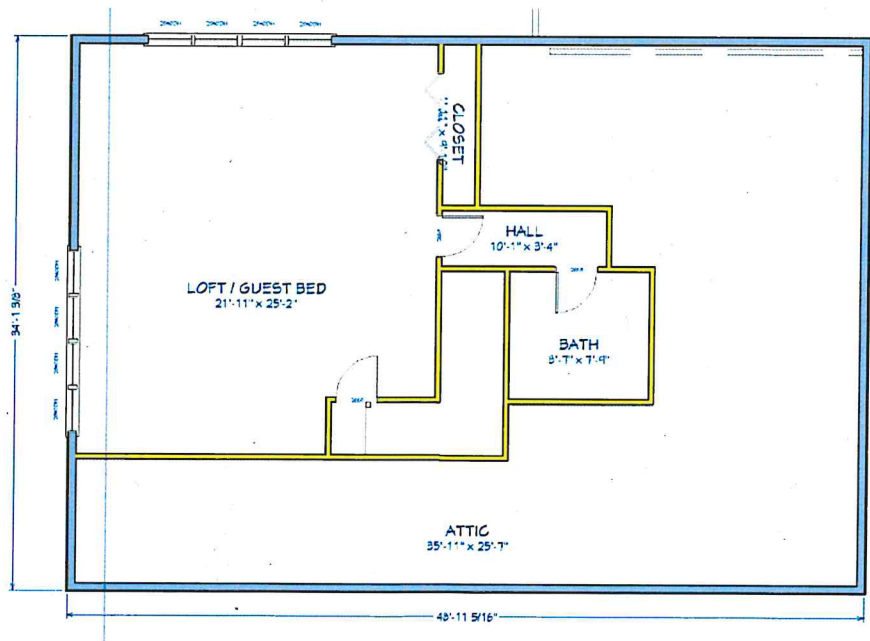


REVISED ADDITION PLANS

GROUND FLOOR



LOFT & STORAGE



APPROVED & REVISED RENDERINGS

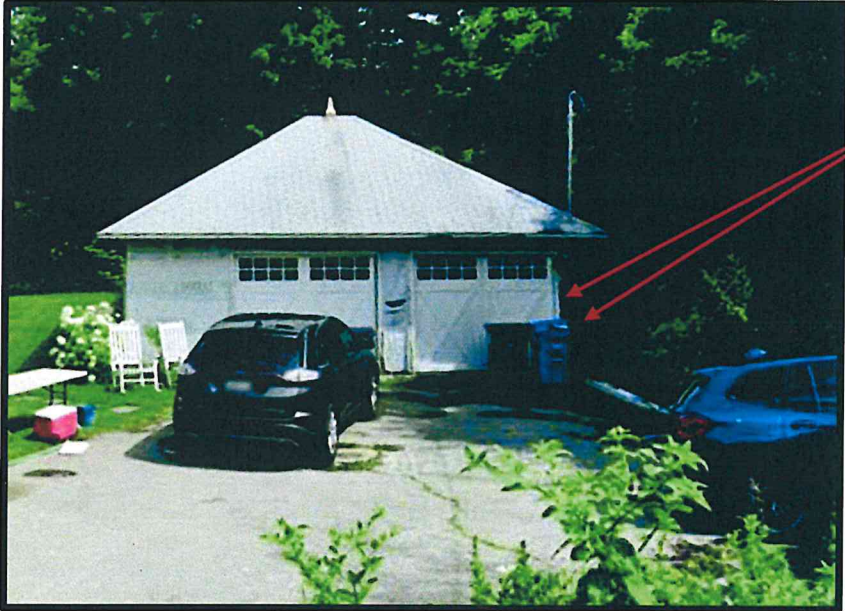
APPROVED EXTERIOR



REVISED EXTERIOR

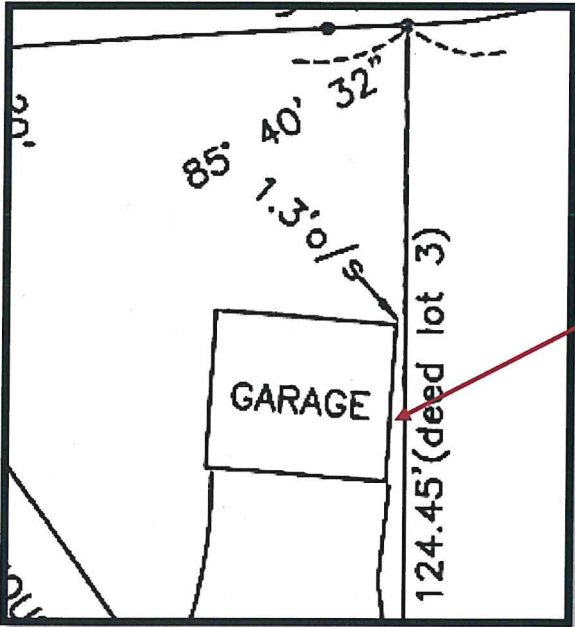


Existing Hill Conditions



Front (S.E.) garage foundation wall sits into side of hill approximately 2.5 – 3' high.

Rear (N.E.) side of garage sits approximately 8' deep and 3' high into the side of the hill.



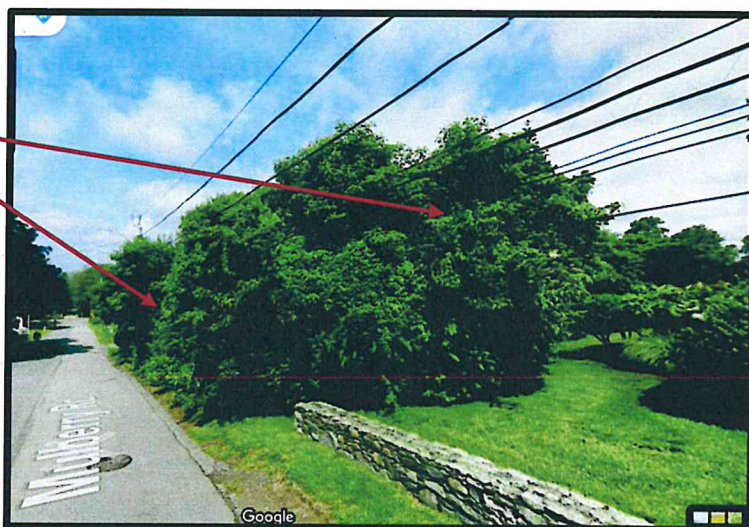
Location of existing garage along easterly property line does not allow for access to easterly foundation wall due to the hill.

Existing Site Conditions



Surrounding hill and trees make addition nearly invisible to surrounding properties, drivers, and pedestrians.

Heading westerly on Mulberry Road, the addition would be fully hidden behind trees and at the base of the hill, making it invisible to neighbors, drivers and pedestrians.



Heading easterly on Mulberry Road, the addition would be hidden behind the existing structure and would be minimally visible to neighbors and pedestrians.

Existing Site Conditions



Location of ADU at the rear (north side) of the property tucks it into the existing structure and allows us to keep overall height low to avoid impact on neighbors.



Location of ADU on the east side of the property tucks it into the existing garage at the base of the hill and keep it hidden behind tall trees and shrubs to avoid impact on neighbors.

Existing Site Conditions

The proposed addition is substantially distant from any of the surrounding homes.



Proposed addition would be approximately 150' from the nearest residence to the East.



Proposed addition would be approximately 143' from the nearest residence to the North.



17 Mulberry Road - 300' Radius

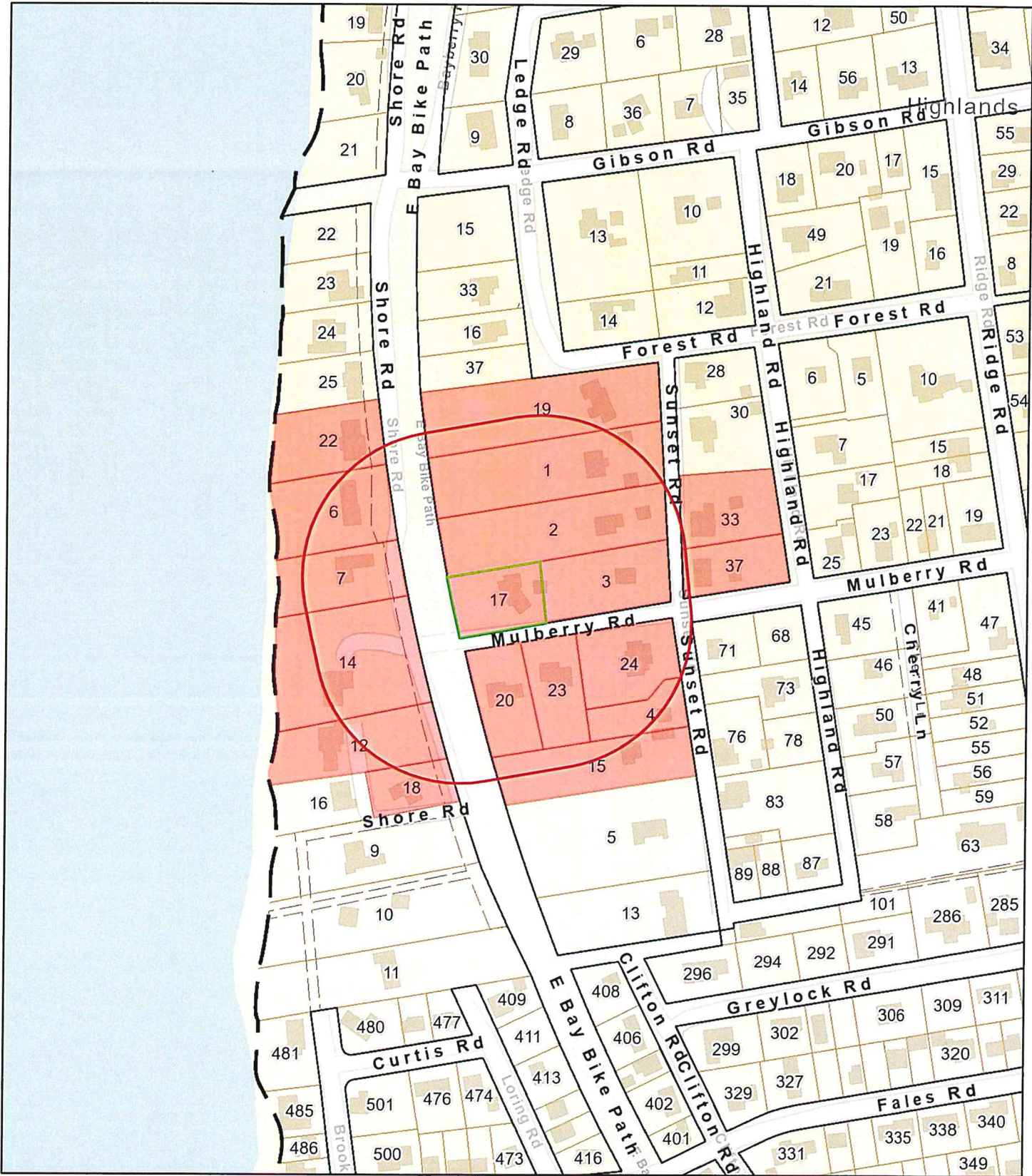
Bristol, RI



1 inch = 282 Feet

www.cai-tech.com

August 9, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
August 09, 2024

Subject Property:

Parcel Number: 74-17
CAMA Number: 74-17
Property Address: 17 MULBERRY RD

Mailing Address: ROMANO, EMILY E & ALEX A TE
PO BOX 1205
BRISTOL, RI 02809

Abutters:

Parcel Number: 73-33
CAMA Number: 73-33
Property Address: 36 SUNSET RD

Mailing Address: DOW, STEPHEN & JULIANNA TE
36 SUNSET RD
BRISTOL, RI 02809

Parcel Number: 73-37
CAMA Number: 73-37
Property Address: 35 MULBERRY RD

Mailing Address: DOW, PAUL R & MARY JANE
35 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 74-1
CAMA Number: 74-1
Property Address: 43 SUNSET RD

Mailing Address: LANDEKIC, NICHOLAS & LABEL, ROBYN
TE
43 SUNSET RD
BRISTOL, RI 02809

Parcel Number: 74-12
CAMA Number: 74-12
Property Address: 2 MULBERRY RD

Mailing Address: PIRRI, JEANNE M TRUSTEE JEANNE M
PIRRI LIV TRUST AGMT
2 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 74-14
CAMA Number: 74-14
Property Address: 4 MULBERRY RD

Mailing Address: GEREMIA, BRENDA A, VINCENT F JR &
TIMOTHY V-TRUSTE GEREMIA,
VINCENT F JR & TIMOTHY V -
TRUSTEES (50%)
4 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 74-15
CAMA Number: 74-15
Property Address: 17 SUNSET RD

Mailing Address: VITALE, CHRISTOPHER P & AMY C TE
17 SUNSET RD
BRISTOL, RI 02809

Parcel Number: 74-17
CAMA Number: 74-17
Property Address: 17 MULBERRY RD

Mailing Address: ROMANO, EMILY E & ALEX A TE
PO BOX 1205
BRISTOL, RI 02809

Parcel Number: 74-18
CAMA Number: 74-18
Property Address: 17 SHORE RD

Mailing Address: VOUTES, GEORGE & LISA
17 SHORE RD
BRISTOL, RI 02809

Parcel Number: 74-19
CAMA Number: 74-19
Property Address: 45 SUNSET RD

Mailing Address: COE, MARK W & KRISTEN Q TE
611 EDGEWOOD PL
RIVER FOREST, IL 60305



www.cai-tech.com

8/9/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 2



300 feet Abutters List Report

Bristol, RI
August 09, 2024

| | |
|--|---|
| Parcel Number: 74-2 CAMA Number: 74-2 Property Address: 35 SUNSET RD | Mailing Address: HARDING FIRST, LLC 35 SUNSET RD BRISTOL, RI 02809 |
| Parcel Number: 74-20 CAMA Number: 74-20 Property Address: 8 MULBERRY RD | Mailing Address: LOURIA, AGNES 8 MULBERRY RD BRISTOL, RI 02809 |
| Parcel Number: 74-22 CAMA Number: 74-22 Property Address: 45 SHORE RD | Mailing Address: PARISEAULT, THOMAS A & LISA M TE 45 SHORE RD BRISTOL, RI 02809 |
| Parcel Number: 74-23 CAMA Number: 74-23 Property Address: 10 MULBERRY RD | Mailing Address: WHEELER, JESSICA A., TRUSTEE THE JESSICA A WHEELER TRUST 1 10 MULBERRY ROAD BRISTOL, RI 02809 |
| Parcel Number: 74-24 CAMA Number: 74-24 Property Address: 25 SUNSET RD | Mailing Address: FISHER, CRAIG M. KATHRYN M TE 25 SUNSET RD BRISTOL, RI 02809 |
| Parcel Number: 74-3 CAMA Number: 74-3 Property Address: 33 SUNSET RD | Mailing Address: HERDRICH, STEPHEN S. FAYTHE J.TRST & STEPHEN & FAYT 33 SUNSET RD BRISTOL, RI 02809 |
| Parcel Number: 74-4 CAMA Number: 74-4 Property Address: 21 SUNSET RD | Mailing Address: FISHER, CRAIG M KATHRYN M ETUX TE 25 SUNSET ROAD BRISTOL, RI 02809 |
| Parcel Number: 74-6 CAMA Number: 74-6 Property Address: 41 SHORE RD | Mailing Address: 41 SHORE ROAD, LLC 30 KING PHILIP AVE BRISTOL, RI 02809 |
| Parcel Number: 74-7 CAMA Number: 74-7 Property Address: 37 SHORE RD | Mailing Address: FOURNIER, RICHARD E JR & KAREN K TE 37 SHORE RD BRISTOL, RI 02809 |



www.cai-tech.com

8/9/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 2

41 SHORE ROAD, LLC
30 KING PHILIP AVE
BRISTOL, RI 02809

LANDEKIC, NICHOLAS &
LABEL, ROBYN TE
43 SUNSET RD
BRISTOL, RI 02809

COE, MARK W & KRISTEN Q T
611 EDGEWOOD PL
RIVER FOREST, IL 60305

LOURIA, AGNES
8 MULBERRY RD
BRISTOL, RI 02809

DOW, PAUL R & MARY JANE
35 MULBERRY RD
BRISTOL, RI 02809

PARISEAULT, THOMAS A & LI
45 SHORE RD
BRISTOL, RI 02809

DOW, STEPHEN & JULIANNA T
36 SUNSET RD
BRISTOL, RI 02809

PIRRI, JEANNE M TRUSTEE
JEANNE M PIRRI LIV TRUST
2 MULBERRY RD
BRISTOL, RI 02809

FISHER, CRAIG M
KATHRYN M ETUX TE
25 SUNSET ROAD
BRISTOL, RI 02809

ROMANO, EMILY E &
& ALEX A TE
PO BOX 1205
BRISTOL, RI 02809

FISHER, CRAIG M.
KATHRYN M TE
25 SUNSET RD
BRISTOL, RI 02809

VITALE, CHRISTOPHER P & A
17 SUNSET RD
BRISTOL, RI 02809

FOURNIER, RICHARD E JR &
KAREN K TE
37 SHORE RD
BRISTOL, RI 02809

VOUTES, GEORGE & LISA
17 SHORE RD
BRISTOL, RI 02809

GEREMIA, BRENDA A, VINCEN
GEREMIA, VINCENT F JR & T
4 MULBERRY RD
BRISTOL, RI 02809

WHEELER, JESSICA A., TRUS
THE JESSICA A WHEELER TRU
10 MULBERRY ROAD
BRISTOL, RI 02809

HARDING FIRST, LLC
35 SUNSET RD
BRISTOL, RI 02809

HERDRICH, STEPHEN S.
FAYTHE J. TRST & STEPHEN &
33 SUNSET RD
BRISTOL, RI 02809



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2024 AUG -9 PM 3:37

APPLICATION

File No: 2024-30

Accepted by ZEO: EMT 8/9/2024

| | | | |
|-----------------------|------------------------------|---------------------------------|------------|
| APPLICANT | Name: John M. Lannan | | |
| | Address: 3 Doris Ave. | | |
| | City: Bristol | State: RI | Zip: 02809 |
| | Phone #: 401-808-0111 | Email: office@jmlexcavation.com | |
| PROPERTY OWNER | Name: Fairpoint Realty, LLC. | | |
| | Address: 34 Broadcommon Rd. | | |
| | City: Bristol | State: RI | Zip: 02809 |
| | Phone #: 401-254-2500 | Email: | |

1. Location of subject property: 111 King Philip Ave.

Assessor's Plat(s)#: 147

Lot(s) #: 61 & 62

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)

☒ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28-111

Special Use Permit Section(s): 28-151

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 11 MONTHS

7. Present use of property: Single Family

8. Is there a building on the property at present?: Yes, foundation

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 932 sq. ft.

10. Proposed use of property: Single Family with two car garage & breezeway.

11. Give extent of proposed alterations: Remove existing wood frame structure and rebuild per plans on existing foundation.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____

24' x 24' Garage and 10' x 22' Breezeway including two Farmers Porches. 17' Height.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

| | | |
|----------------------|---|--|
| Front lot line(s): | Required Setback: <u>30'</u> | Proposed Setback: <u>19.4'</u> |
| Left side lot line: | Required Setback: <u>15'</u> | Proposed Setback: <u>21.2</u> |
| Right side lot line: | Required Setback: <u>30' (Corner Lot)</u> | Proposed Setback: <u>10.5 (Existing)</u> |
| Rear lot line: | Required Setback: <u>30'</u> | Proposed Setback: <u>56.4</u> |
| Building height: | Required: <u>35'</u> | Proposed: <u>25'</u> |

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):

Required: 2,495 25%

Proposed: 1,728 17.3%

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? Yes

If yes, has he refused a permit? No

If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: _____

Date: 8/9/2024

Print Name: John M. Lannan

Property Owner's Signature: _____

Date: 8/9/2024

Print Name: John M. Lannan Mgr. Mem, Fairpoint Realty, LLC.

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: N/A

Telephone #: _____

Address: _____



FAIRPOINT REALTY, LLC.

August 9, 2024

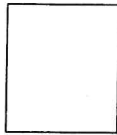
Town of Bristol
Honorable Members of the Zoning Board
10 Court St.
Bristol, RI 02809

Owners Written Statement

On March 24th I appeared before the Zoning Board seeking Dimensional Relief for my project at 111 King Philip. After obtaining that Relief and after receiving the Decision, I then applied to CRMC and was granted an Assent Permit, and then to the Town of Bristol and was granted a Demolition and also an ERSC Permit. We also finalized and submitted our Building Plans, and the permit was set to be issued. During the Demolition Phase we found that the first floor was not salvageable. While I had included that possibility with appropriate wording in my Demolition Permit, Erosion Control Permit, CRMC Permit and shown on Building Plans. I was notified by the Planning Dept. that the possibility that the first floor might be demolished was not discussed at the Zoning Board Meeting. I respect the Zoning Board, and it was never my intent to deceive the Board or anyone. I paid a local company to have the house gutted down to the studs before demolition so we could better assess and be sure of any decisions. It was an additional expense that I only mention to affirm my best intention. I hope my standing with this board is not diminished by what has transpired and I ask that I be allowed to proceed.



John M. Lannan
Fairpoint Realty, LLC.
401-808-0111 cell



MacCADD
Drafting
& Design

□ □ □

BRISTOL RI
02809

e-mail
MacCADD@briol.com

PROPOSED
RESIDENCE

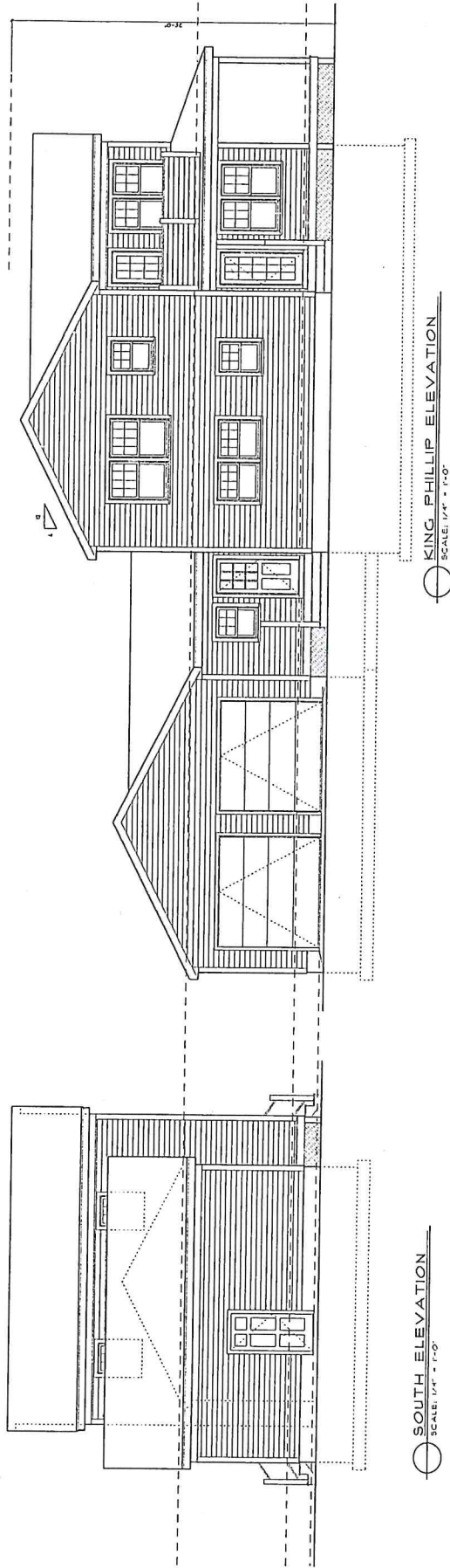
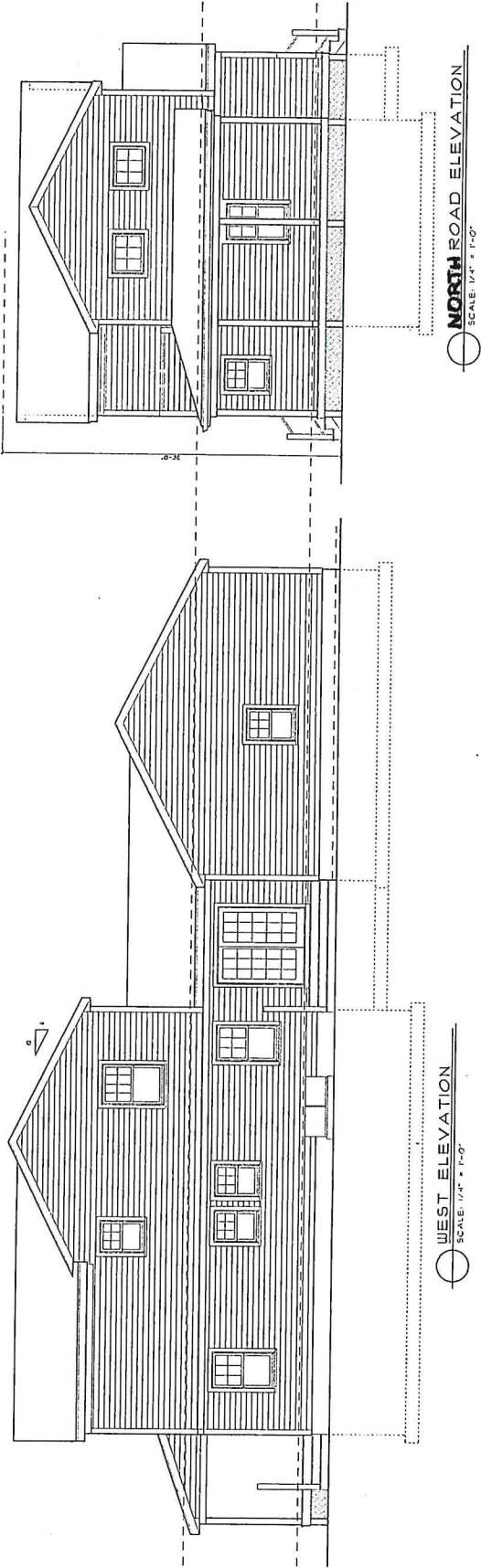
□ □ □

111 KING PHILLIP AVE
BRISTOL RI
02809

DATE: 5/31/2024

| |
|------------|
| REVISIONS: |
| |
| |
| |
| |
| |

A3
SHEET NO.



| EXTERIOR WINDOW & DOOR SCHEDULE | | | | |
|---------------------------------|---------|-------|------------|---------------------------|
| NO. | MODEL # | STYLE | FRAME SIZE | SIZES, LOCATION AND NOTES |
| A | | | | |
| B | | | | |
| C | | | | |
| D | | | | |
| E | | | | |
| F | | | | |
| G | | | | |
| H | | | | |
| I | | | | |
| J | | | | |
| K | | | | |
| L | | | | |
| M | | | | |
| N | | | | |
| O | | | | |
| P | | | | |
| Q | | | | |
| R | | | | |
| S | | | | |
| T | | | | |
| U | | | | |
| V | | | | |
| W | | | | |
| X | | | | |
| Y | | | | |
| Z | | | | |
| AA | | | | |
| AB | | | | |
| AC | | | | |
| AD | | | | |
| AE | | | | |
| AF | | | | |
| AG | | | | |
| AH | | | | |
| AI | | | | |
| AJ | | | | |
| AK | | | | |
| AL | | | | |
| AM | | | | |
| AN | | | | |
| AO | | | | |
| AP | | | | |
| AQ | | | | |
| AR | | | | |
| AS | | | | |
| AT | | | | |
| AU | | | | |
| AV | | | | |
| AW | | | | |
| AX | | | | |
| AY | | | | |
| AZ | | | | |
| BA | | | | |
| BB | | | | |
| BC | | | | |
| BD | | | | |
| BE | | | | |
| BF | | | | |
| BG | | | | |
| BH | | | | |
| BI | | | | |
| BJ | | | | |
| BK | | | | |
| BL | | | | |
| BM | | | | |
| BN | | | | |
| BO | | | | |
| BP | | | | |
| BQ | | | | |
| BR | | | | |
| BS | | | | |
| BT | | | | |
| BU | | | | |
| BV | | | | |
| BW | | | | |
| BX | | | | |
| BY | | | | |
| BZ | | | | |
| CA | | | | |
| CB | | | | |
| CC | | | | |
| CD | | | | |
| CE | | | | |
| CF | | | | |
| CG | | | | |
| CH | | | | |
| CI | | | | |
| CJ | | | | |
| CK | | | | |
| CL | | | | |
| CM | | | | |
| CN | | | | |
| CO | | | | |
| CP | | | | |
| CQ | | | | |
| CR | | | | |
| CS | | | | |
| CT | | | | |
| CU | | | | |
| CV | | | | |
| CW | | | | |
| CX | | | | |
| CY | | | | |
| CZ | | | | |
| DA | | | | |
| DB | | | | |
| DC | | | | |
| DD | | | | |
| DE | | | | |
| DF | | | | |
| DG | | | | |
| DH | | | | |
| DI | | | | |
| DJ | | | | |
| DK | | | | |
| DL | | | | |
| DM | | | | |
| DN | | | | |
| DO | | | | |
| DP | | | | |
| DQ | | | | |
| DR | | | | |
| DS | | | | |
| DT | | | | |
| DU | | | | |
| DV | | | | |
| DW | | | | |
| DX | | | | |
| DY | | | | |
| DZ | | | | |
| EA | | | | |
| EB | | | | |
| EC | | | | |
| ED | | | | |
| EE | | | | |
| EF | | | | |
| EG | | | | |
| EH | | | | |
| EI | | | | |
| EJ | | | | |
| EK | | | | |
| EL | | | | |
| EM | | | | |
| EN | | | | |
| EO | | | | |
| EP | | | | |
| EQ | | | | |
| ER | | | | |
| ES | | | | |
| ET | | | | |
| EU | | | | |
| EV | | | | |
| EW | | | | |
| EX | | | | |
| EY | | | | |
| EZ | | | | |
| FA | | | | |
| FB | | | | |
| FC | | | | |
| FD | | | | |
| FE | | | | |
| FF | | | | |
| FG | | | | |
| FH | | | | |
| FI | | | | |
| FJ | | | | |
| FK | | | | |
| FL | | | | |
| FM | | | | |
| FN | | | | |
| FO | | | | |
| FP | | | | |
| FQ | | | | |
| FR | | | | |
| FS | | | | |
| FT | | | | |
| FU | | | | |
| FV | | | | |
| FW | | | | |
| FX | | | | |
| FY | | | | |
| FZ | | | | |
| GA | | | | |
| GB | | | | |
| GC | | | | |
| GD | | | | |
| GE | | | | |
| GF | | | | |
| GG | | | | |
| GH | | | | |
| GI | | | | |
| GJ | | | | |
| GK | | | | |
| GL | | | | |
| GM | | | | |
| GN | | | | |
| GO | | | | |
| GP | | | | |
| GQ | | | | |
| GR | | | | |
| GS | | | | |
| GT | | | | |
| GU | | | | |
| GV | | | | |
| GW | | | | |
| GX | | | | |
| GY | | | | |
| GZ | | | | |
| HA | | | | |
| HB | | | | |
| HC | | | | |
| HD | | | | |
| HE | | | | |
| HF | | | | |
| HG | | | | |
| HH | | | | |
| HI | | | | |
| HJ | | | | |
| HK | | | | |
| HL | | | | |
| HM | | | | |
| HN | | | | |
| HO | | | | |
| HP | | | | |
| HQ | | | | |
| HR | | | | |
| HS | | | | |
| HT | | | | |
| HU | | | | |
| HV | | | | |
| HW | | | | |
| HX | | | | |
| HY | | | | |
| HZ | | | | |
| IA | | | | |
| IB | | | | |
| IC | | | | |
| ID | | | | |
| IE | | | | |
| IF | | | | |
| IG | | | | |
| IH | | | | |
| II | | | | |
| IJ | | | | |
| IK | | | | |
| IL | | | | |
| IM | | | | |
| IN | | | | |
| IO | | | | |
| IP | | | | |
| IQ | | | | |
| IR | | | | |
| IS | | | | |
| IT | | | | |
| IU | | | | |
| IV | | | | |
| IW | | | | |
| IX | | | | |
| IY | | | | |
| IZ | | | | |
| JA | | | | |
| JB | | | | |
| JC | | | | |
| JD | | | | |
| JE | | | | |
| JF | | | | |
| JG | | | | |
| JH | | | | |
| JI | | | | |
| JJ | | | | |
| JK | | | | |
| JL | | | | |
| JM | | | | |
| JN | | | | |
| JO | | | | |
| JP | | | | |
| JQ | | | | |
| JR | | | | |
| JS | | | | |
| JT | | | | |
| JU | | | | |
| JV | | | | |
| JW | | | | |
| JX | | | | |
| JY | | | | |
| JZ | | | | |
| KA | | | | |
| KB | | | | |
| KC | | | | |
| KD | | | | |
| KE | | | | |
| KF | | | | |
| KG | | | | |
| KH | | | | |
| KI | | | | |
| KJ | | | | |
| KK | | | | |
| KL | | | | |
| KM | | | | |
| KN | | | | |
| KO | | | | |
| KP | | | | |
| KQ | | | | |
| KR | | | | |
| KS | | | | |
| KT | | | | |
| KU | | | | |
| KV | | | | |
| KW | | | | |
| KX | | | | |
| KY | | | | |
| KZ | | | | |
| LA | | | | |
| LB | | | | |
| LC | | | | |
| LD | | | | |
| LE | | | | |
| LF | | | | |
| LG | | | | |
| LH | | | | |
| LI | | | | |
| LJ | | | | |
| LK | | | | |
| LL | | | | |
| LM | | | | |
| LN | | | | |
| LO | | | | |
| LP | | | | |
| LQ | | | | |
| LR | | | | |
| LS | | | | |
| LT | | | | |
| LU | | | | |
| LV | | | | |
| LW | | | | |
| LX | | | | |
| LY | | | | |
| LZ | | | | |
| MA | | | | |
| MB | | | | |
| MC | | | | |
| MD | | | | |
| ME | | | | |
| MF | | | | |
| MG | | | | |
| MH | | | | |
| MI | | | | |
| MJ | | | | |
| MK | | | | |
| ML | | | | |
| MM | | | | |
| MN | | | | |
| MO | | | | |
| MP | | | | |
| MQ | | | | |
| MR | | | | |
| MS | | | | |
| MT | | | | |
| MU | | | | |
| MV | | | | |
| MW | | | | |
| MX | | | | |
| MY | | | | |
| MZ | | | | |
| NA | | | | |
| NB | | | | |
| NC | | | | |
| ND | | | | |
| NE | | | | |
| NF | | | | |
| NG | | | | |
| NH | | | | |
| NI | | | | |
| NJ | | | | |
| NK | | | | |
| NL | | | | |
| NM | | | | |
| NN | | | | |
| NO | | | | |
| NP | | | | |
| NQ | | | | |
| NR | | | | |
| NS | | | | |
| NT | | | | |
| NU | | | | |
| NV | | | | |
| NW | | | | |
| NX | | | | |
| NY | | | | |
| NZ | | | | |
| OA | | | | |
| OB | | | | |
| OC | | | | |
| OD | | | | |
| OE | | | | |
| OF | | | | |
| OG | | | | |
| OH | | | | |
| OI | | | | |
| OJ | | | | |
| OK | | | | |
| OL | | | | |
| OM | | | | |
| ON | | | | |
| OO | | | | |
| OP | | | | |
| OQ | | | | |
| OR | | | | |
| OS | | | | |
| OT | | | | |
| OU | | | | |
| OV | | | | |
| OW | | | | |
| OX | | | | |
| OY | | | | |
| OZ | | | | |
| PA | | | | |
| PB | | | | |
| PC | | | | |
| PD | | | | |
| PE | | | | |
| PF | | | | |
| PG | | | | |
| PH | | | | |
| PI | | | | |
| PJ | | | | |
| PK | | | | |
| PL | | | | |
| PM | | | | |
| PN | | | | |
| PO | | | | |
| PP | | | | |
| PQ | | | | |
| PR | | | | |
| PS | | | | |
| PT | | | | |
| PU | | | | |
| PV | | | | |
| PW | | | | |
| PX | | | | |
| PY | | | | |
| PZ | | | | |
| QA | | | | |
| QB | | | | |
| QC | | | | |
| QD | | | | |
| QE | | | | |
| QF | | | | |
| QG | | | | |
| QH | | | | |
| QI | | | | |
| QJ | | | | |
| QK | | | | |
| QL | | | | |
| QM | | | | |
| QN | | | | |
| QO | | | | |
| QP | | | | |
| QQ | | | | |
| QR | | | | |
| QS | | | | |
| QT | | | | |
| QU | | | | |
| QV | | | | |
| QW | | | | |
| QX | | | | |
| QY | | | | |
| QZ | | | | |
| RA | | | | |
| RB | | | | |
| RC | | | | |
| RD | | | | |
| RE | | | | |
| RF | | | | |
| RG | | | | |








ALL WORK TO COMPLY WITH SDC2 - RI ONE 4.10
PARTY DESIGN CODE, ADOPTED FEBRUARY, 2020
BASED ON MC 308 STANDARD

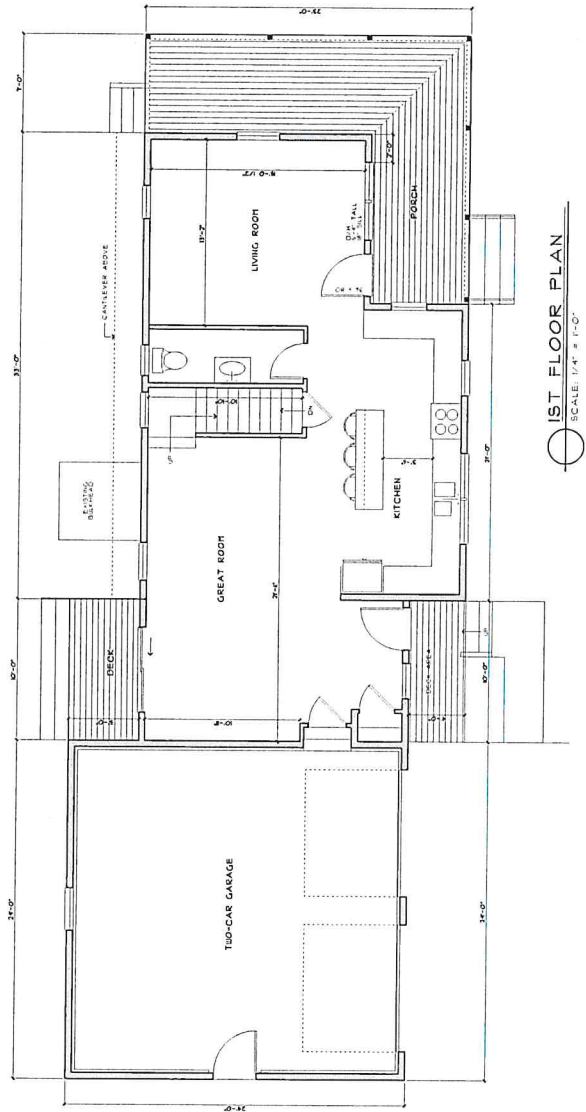
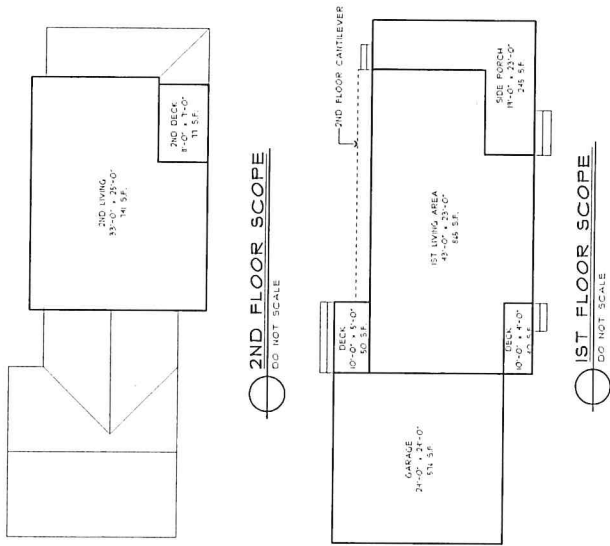
PROPOSED PROJECT IS LOCATED IN RI HIGH-SPEED
APPROX. 4.4 MILES FROM THE POSITIVE DESIGN APPROX.
APPROX. 4.4 MILES FROM THE POSITIVE DESIGN APPROX.
APPROX. 4.4 MILES FROM THE POSITIVE DESIGN APPROX.
APPROX. 4.4 MILES FROM THE POSITIVE DESIGN APPROX.

INDICATES OUTSIDE COVER THAT DISCLOSED
4" X 4" SHEAR WALL UNDER 2" X 4" SEE AA 2.10
WITH NO WALLS UNDER 2" X 4" SEE AA 2.10

[illegible]

LEGEND

 — ELEVATION MARKING
 — SECTION MARKER
 — DRAWING SHEET
 — NEW WALL
 — EXISTING WALL
 — 3/4" VALL COLUMN
 — SOLID WOOD POST





MacCADD
Drafting
& Design

□ □ □

BRISTOL RI
02809

6-11-11
MacCADD@aol.com

PROPOSED
RESIDENCE

□ □ □

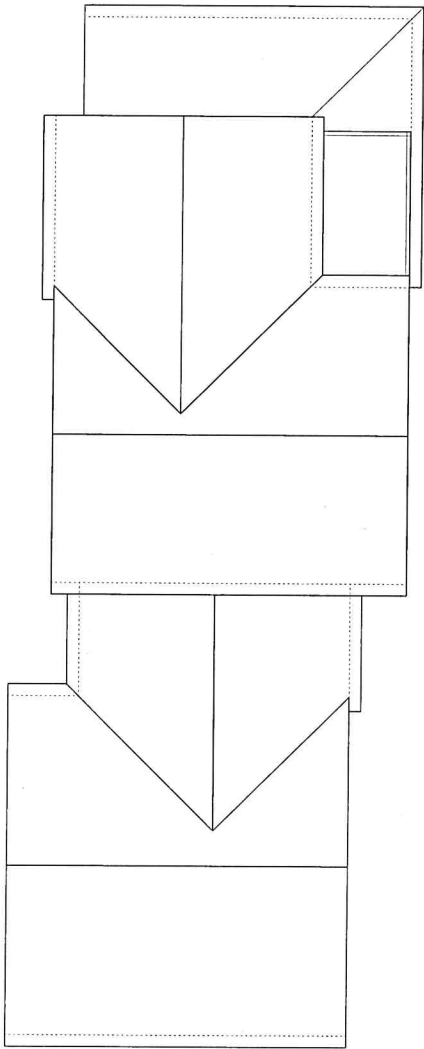
111 KING PHILIP AVE
BRISTOL RI
02809

DATE: 5/21/2024

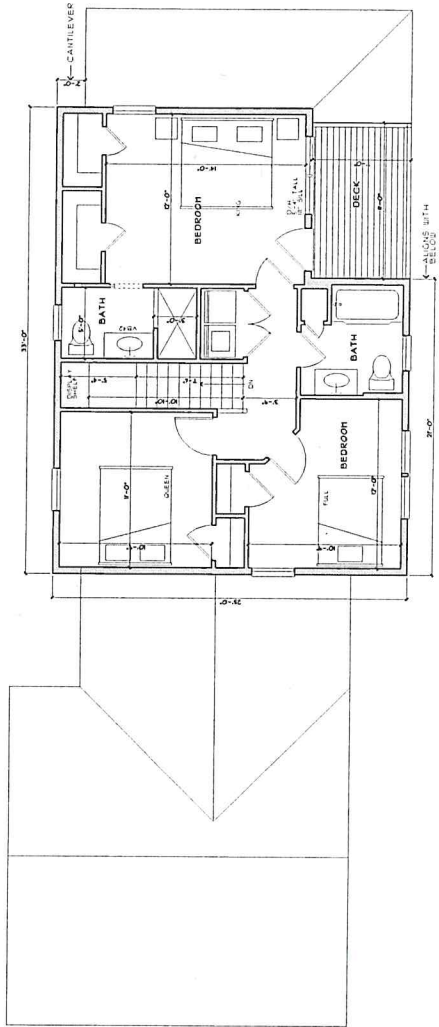
| |
|------------|
| REVISIONS: |
| |
| |
| |
| |
| |

A2

SHEET NO:



ROOF PLAN
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THE ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV088).
3. THE HORIZONTAL LOCATIONS AS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN DATUM OF 1983 (NAD83).
4. THIS SITE DOES NOT LIE WITHIN ANY FLOOD ZONE AS SHOWN ON THE FIRM MAP FOR THE CITY OF BRISTOL, RI. MAP NUMBER 44001C0012H WITH AN EFFECTIVE DATE OF JULY 7, 2014.

CRMC STRUCTURAL LOT COVERAGE:

EXISTING DWELLING (FOUNDATION TO REMAIN): 692 SF
EXISTING PORCH (TO BE REBUILT): 240 SF
TOTAL EX. STRUCTURAL LOT COVERAGE: 932 SF
PROPOSED ADDITION: 823 SF
TOTAL PROPOSED STRUCTURAL LOT COVERAGE: 1,755 SF
TOTAL PROPOSED STRUCTURAL LOT COVERAGE (%) =
(1,755 SF ÷ 932 SF) / 932 SF = 88.3 % > 50%



CRMC SUBMISSION PLAN

for

AP 47, LOTS 61 & 62
111 KING PHILLIP AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20'

SHEET NO: 1 of 2
DRAWN BY: KAB DESIGN BY: KAB CHECKED BY: TJP
DATE: 04/10/2024 PROJECT NO.: SVY-2023-98

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

REVISIONS

| No. | DATE | BY | CHD | TJP |
|-----|----------|-----|-----|-----|
| 1. | 06/03/24 | KAB | | |

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER:
FAIRPOINT REALTY LLC
34 BROAD COMMON ROAD
BRISTOL, RI 02809

ZONING CRITERIA

| ZONING DISTRICT | MINIMUM LOT AREA | MINIMUM LOT FRONTAGE | MINIMUM SIDE YARD SETBACK | MINIMUM REAR YARD SETBACK | MINIMUM BUILDING HEIGHT | MAXIMUM BUILDING HEIGHT |
|-----------------|------------------|----------------------|---------------------------|---------------------------|-------------------------|-------------------------|
| R-10 | 10,000 sq. ft. | 60' | 10.5' | 15' | 35' | 35' |
| EXISTING LOT 61 | 5,489 sq. ft. | 45' | N/A | N/A | N/A | N/A |
| EXISTING LOT 62 | 4,491 sq. ft. | 45' | N/A | N/A | N/A | N/A |
| PROPOSED LOT 61 | 9,980 sq. ft. | 45' | 10.5' / 10.5' | 15' / 15.5' | 35' / 35.5' | 35' / 35.5' |

CLASS 1 STANDARD / CLASS 3 TOPO LIMITED CONTENT SURVEY CONDUCTED BY:
PRINCIPLE COMPANY, INC. - SURVEYING DIVISION (STEPHEN T. LONG)
27 SAKONNET RIDGE DRIVE
WESTERLY, RI 02876
401.816.5385

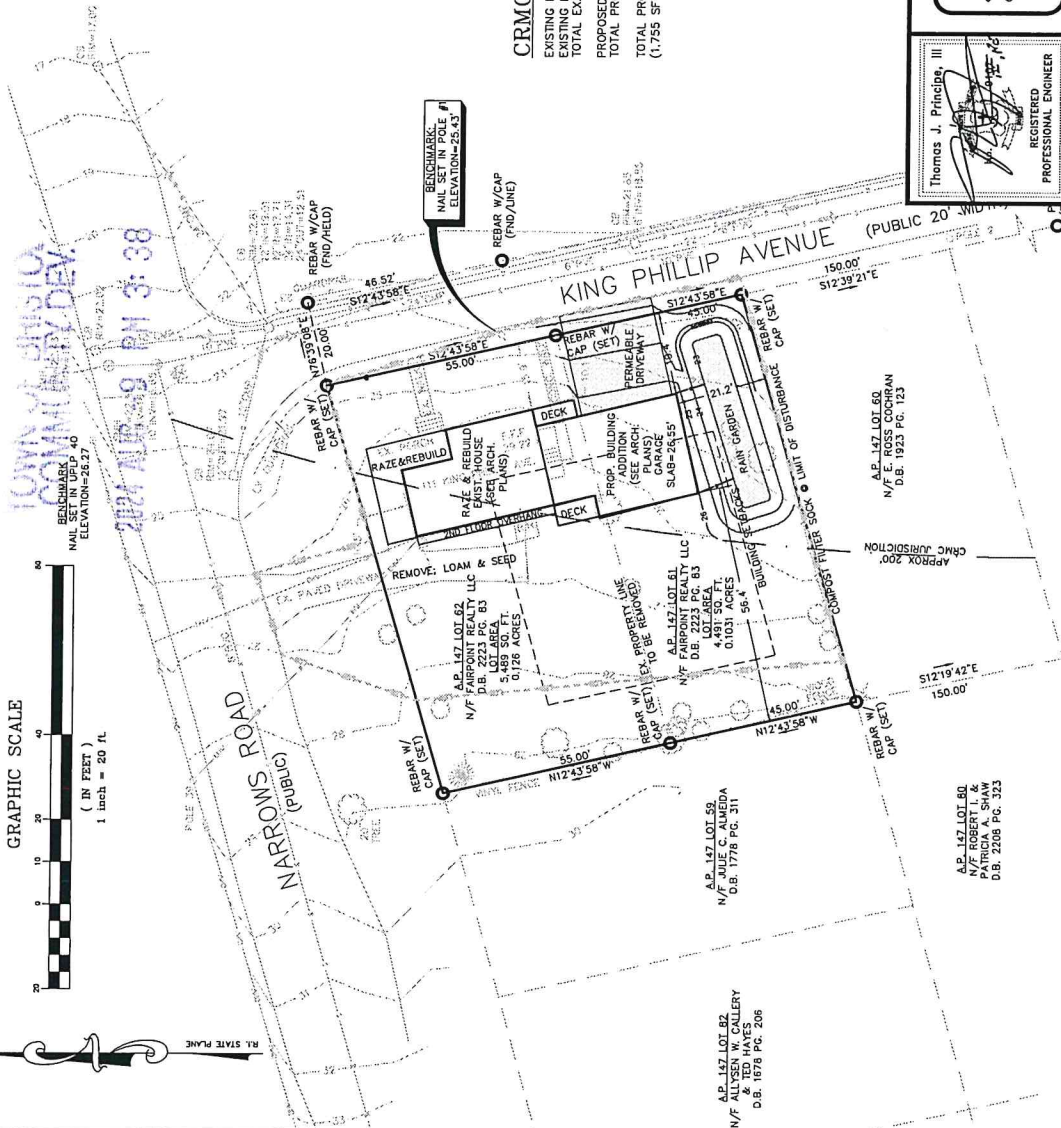
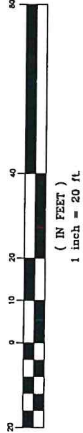
REFERENCE:

LEGEND

- PROPERTY LINE
ABUTTER LINE
EX. EDGE OF PAVEMENT
EXISTING CONTOUR
EXISTING SPOT GRADE
EXISTING TEST PIT
EXISTING STONE WALL
EXISTING TREELINE
EXISTING FENCE LINE
EXISTING BUILDING
EXISTING DRAIN MANHOLE
EXISTING DRAIN LINE
EXISTING CATCH BASIN
EXISTING SEWER LINE
EXISTING SEWER MANHOLE
EXISTING UTILITY POLE
EXISTING HYDRANT
EXISTING WATER VALVE
EXISTING WATER LINE



GRAPHIC SCALE



TO: Coastal Resources Management Council
4808 Tower Hill Road Suite 3
Wakefield, RI 02879
Phone: (401) 783-3370

TOWN OF BRISTOL
COMMUNITY DEV.



2024 AUG -9 PM 3:38

FROM: Building Official

DATE: 5/31/2024

SUBJ: Application of: Fairpoint Realty, LLC. John M. Lannan, Manager

Location: 34 Broad Common Rd., Bristol, RI 02809

Address: 111 King Philip Ave. Plat No. 147 Lot No. 61 & 62

To Construct: Demolish existing structure and re-build per plans provided on existing Foundation. Also adding new Garage & Breezeway. Remove existing driveway and replace at new Garage location.

I hereby certify that I have reviewed _____ foundation plan(s).

☒ plan(s) for entire structure

☒ site plans

Titled: Proposed Residence - 111 King Philip Ave. A1, A2, A3
Zoning Plot Plan by Principe Engineering

Date of Plan (last revision): 5/31/2024 & 10/19/2023

_____ and find that the issuance of a local building permit is not required as in accordance with Section _____ of the Rhode Island State Building Code.

☒ and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

_____ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

_____ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

_____ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on _____.

[Signature] 6/3/24
Building Official's Signature Date

☒ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

[Signature] 6/3/2024
Zoning Officer's Signature Date



DEMOLITION PERMIT

PERMIT #: 59289
PROJECT #:
PROJECT NAME:

THIS IS TO CERTIFY THAT
RI CONTRACTOR

NAME:
COMPANY:
ADDRESS:
IF PROPERTY OWNER, INDICATE HERE:

REGISTRATION/LICENSE INFO:
LICENSE TYPE:
BCRB:

IS PERMITTED TO PERFORM THE
FOLLOWING SCOPE OF WORK

Demolish single family wooden house, leave existing foundation.

ADDITIONAL REMARKS

AT SITE LOCATION

ADDRESS: 111 KING PHILLIP AVE
BRISTOL, RI 02809

BUILDING CLASSIFICATION:
USE/OCCUPANCY: Single Family Dwelling
BUILDING TYPE: One or Two Family Dwelling

OWNER/AGENCY

NAME: FAIRPOINT REALTY, LLC
ADDRESS: 34 Broadcommon Rd
BRISTOL, RI 02809

provided that the person accepting this Permit shall in every respect confirm to the terms of the application on file in this office and to the provisions of the Statutes and Ordinances relating to the Zoning, Construction, Alteration, and Maintenance of Buildings in the municipality and shall begin work on said building by January 16, 2025 (within SIX MONTHS from the date of issuance of this permit) hereof and prosecute the work thereon to a speedy Completion.
Any person who shall violate any of the Statutes and Ordinances relating to Zoning, Construction, Alteration, and Maintenance in the municipality shall be punished by penalties imposed by the State Building Code and Local Zoning Ordinances.

Stephen Greenleaf, Building Official
DATE: July 16, 2024

Work shall not proceed until the inspector has approved the various stages of construction.



This is an e-permit. To learn more, scan this barcode or visit bristolri.viewpointcloud.com/#/records/67340

State of Rhode Island
COASTAL RESOURCES MANAGEMENT COUNCIL

NOTICE OF

ASSENT

CRMC Assent No.: A2024-04-091 Date: June 21, 2024

This certifies that Fairpoint Realty LLC

has permission to Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans.

situated at 111 King Phillip Avenue
Plat No. 147 Lot No. 61,62

Said construction operations to be done in accordance with an approved assent on file in the Offices of the Coastal Resources Management Council and subject further to all the provisions of the building ordinances of the :

City/Town of Bristol

and to all the applicable State, Local and Federal provisions. This assent shall expire three (3) years from the date of this assent.


Official Designee
Coastal Resources Management Council

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES.
FAILURE TO DISPLAY WILL RESULT IN LEGAL ACTION.



State of Rhode Island
 Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 116
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-3767



ASSENT
 Bk: 2248 Pg: 172
 Instr: 2024-1359

RESIDENTIAL ASSENT

CRMC File No.: 2024-04-091 CRMC Assent No.: A2024-04-091

Whereas,
 of

Fairpoint Realty LLC
 3 Doris Avenue
 Bristol, RI 02809

has applied to the Coastal Resources Management Council for assent to: Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans; located at plat 147, lots 61,62; 111 King Phillip Avenue, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before **June 21, 2027**, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.



Town of Bristol

Department of Community Development
10 Court Street, Bristol, Rhode Island 02809
Phone: (401) 253-7000 Fax: (401) 253-2647

2024 AUG -9 PM 3:38

SOIL EROSION, RUNOFF AND SEDIMENT CONTROL ORDINANCE PERMIT

Permit No.: 2024-08

Date of Issuance: July 12, 2024

Property Owner / Applicant: Fairpoint Realty, Inc.

Mailing Address: 34 Broadcommon Road, Bristol, RI 02809

Project Location:

Street Address: 111 King Phillip Avenue

Assessor's Plat: 147

Lot: 61 & 62

Brief Description of Work Authorized by this Permit:

Installation of soil erosion/sediment controls, stormwater management structures, and site grading associated with the selective demolition and reconstruction of an existing single-family dwelling and the construction of a new garage, breezeway and driveway. Except as noted below, all work shall conform to the plan titled CRMC Submission Plan for 111 King Phillip Avenue in Bristol, Rhode Island dated April 10, 2024 revised June 3, 2024 by Principe Company, Inc. signed and stamped by Thomas J. Principe, III, P.E. No. 9107.

Approval Conditions:

1. This Permit is valid for two (2) years from the date of issuance.
2. Should a RIDEM wetlands or CRMC permit be required, it shall be the responsibility of the property owner.
3. All activities shall be performed as presented on the application and approved plans. Any changes or alterations must be approved by the Building Official.
4. No earth slopes greater than 2:1 (two feet horizontal to one foot vertical) shall be created.
5. All disturbed surfaces shall be promptly and effectively protected to prevent soil erosion and the migration of sediment by using staked hay bales, wattles, silt fence or other approved measures. All erosion/sedimentation control devices must be maintained in good condition until such time that the site is stabilized.
6. Site plans submitted to the Building Official for a building permit must agree regarding location of structures and improvements. All work shall be subject to periodic inspections by the Building Official or his designee.
7. None of the work permitted shall be done in a manner so as to cause a public nuisance.
8. Approval of this application shall not relieve the owner/applicant from any responsibility for damage to persons or property, nor impose any liability upon the Town of Bristol for damages to persons or property.
9. Proposed stormwater management features including the pervious driveway, roof drains, and rain garden **shall remain and be maintained in perpetuity** unless additional plans are developed to accommodate equivalent stormwater runoff and approved by this office.
10. **Prior to the issuance of a Certificate of Occupancy** for the new dwelling, the applicant shall submit an as-built plan or other certification prepared by a Professional Engineer, confirming that site grading and stormwater management features were properly installed in accordance with this permit.

Approval:

By:

Date:

7/12/2024

Print Name: Edward M. Tanner

Title: Principal Planner

**ENGINEERING DIVISION**

27 Sakonnet Ridge Drive

Tiverton, RI 02878

401.816.5385

August 9, 2024

Mr. Edward Tanner
Town of Bristol Building Official
9 Court Street
Bristol, RI 02809

RE: 111 King Philip
AP 147 - Lot 62
Bristol, RI 02809

Dear Mr. Tanner,

Upon an extensive inspection conducted by a certified structural engineer, it was determined that the home had reached a state of extreme deterioration. The building was deemed a hazard, posing significant risks to the safety and well-being of the occupants and neighboring properties.

Given these concerns, and in compliance with safety regulations and building codes, it was necessary to proceed with the demolition to mitigate any potential harm. The demolition was carried out with all appropriate permits in place, and every precaution was taken to ensure the process was executed safely and responsibly. The existing foundation is sound and will be used for the proposed dwelling.

If you have any questions or need additional information relative to this matter, please do not hesitate to contact me at (401) 816.5385.

Sincerely,

Thomas J. Principe, III, PE
President
Principe Engineering, Inc.

| EXTERIOR WINDOW & DOOR SCHEDULE | | | | | |
|--|--|----------|---------------|----------|--------------------------------------|
| MK | MODEL # | STYLE | FRAME SIZE | LITES | LOCATION AND NOTES |
| A | TW 3046 | DBL-HUNG | 3'-2" x 4'-9" | 8-OVER-1 | 5.1 SF CLEAR - BEDROOM EGRESS |
| B | TW 2452-2W | DBL-HUNG | 5'-8" x 5'-5" | 4-OVER-1 | KING PHILLIP ELEVATION |
| C | TW 2432 | DBL-HUNG | 2'-6" x 3'-5" | 4-OVER-1 | BATH-UTILITY |
| D | TW 3032-2W | DBL-HUNG | 6'-4" x 3'-5" | 8-OVER-1 | KITCHEN SINK |
| E | AW 351 | AWNING | 3'-0" x 2'-5" | 3W x 2H | N. BED FALES STREET ELEVATION |
| F | VERIFY IN FIELD | UTILITY | 2'-8" x 1'-4" | | VERIFY BASEMENT WINDOWS IN EXISTING |
| | | | | | |
| 1 | HALF-LITE | IN-SWING | 3'-0" x 6'-8" | | MAIN EGRESS ENTRY - STYLE BY OWNER |
| 2 | FWG 4048 | SLIDING | 6'-0" x 6'-8" | | REAR EXIT TO DECK |
| 3 | FWD 3248 | IN-SWING | 2'-8" x 6'-8" | | LIVING ROOM - KING PHILLIP ELEVATION |
| 4 | 4-PANEL STEEL | IN-SWING | 3'-0" x 6'-8" | 20 MIN. | INTERIOR DOOR TO GARAGE |
| 5 | GARAGE DOOR | OVERHEAD | 9'-0" x 8'-0" | | DOOR STYLE BY OWNER |
| 6 | 4-PANEL F.G. | IN-SWING | 3'-0" x 6'-8" | | GARAGE EXIT AT EAST |
| 7 | FWD 3248 | IN-SWING | 2'-8" x 6'-8" | | N. BED - KING PHILLIP ELEVATION |
| 8 | | | | | |
| | | | | | |
| X | R310.1.2 - DESIGNATES EGRESS WINDOW LOCATION IN BEDROOMS WITH MIN. 5.1 S.F. CLEAR OPENING. EXEMPTION: 5.0 S.F. CLEAR OPENING AT GROUND FLOOR BEDROOMS. | | | | |
| T | CONTRACTOR TO VERIFY ALL SAFETY GLASS (TEMPERED) LOCATIONS BEFORE ORDERING. | | | | |
| NOTE: ANDERSEN UNITS SHOWN - VERIFY ALL SIZES WITH OWNER BEFORE ORDERING. 1.) VERIFY ALL R.O.'S WITH MANUFACTURER PRIOR TO FRAMING 2.) PROVIDE JAM EXTENSIONS FOR ALL WINDOWS AS REQUIRED. 3.) ALL WINDOWS TO INCLUDE CHARCOAL SCREENS. | | | | | |

GENERAL NOTES:

- ALL WORK TO COMPLY WITH SBC2 - RI ONE I TWO FAMILY DWELLING CODE, ADOPTED FEBRUARY, 2022 BASED ON IRC 2018 STANDARDS.

PROPOSED PROJECT IS LOCATED IN RI HIGH-WIND AREA. APPENDIX AA - HIGH WIND PRESCRIPTIVE DESIGN APPLIES. SEE BUILDING CODE FOR UPGRADED MINIMUM STANDARDS AND ADDITIONAL REQUIREMENTS FOR ALL CONSTRUCTION.

INDICATES OUTSIDE CORNER THAT REQUIRES 4'-0" SHEAR WALL EACH SIDE OR TOTAL LENGTH WITH NO WALLS UNDER 2'-0" - SEE AA 203.2 INSTALL GALL SHEATHING VERTICALLY AT ALL CORNERS LESS THAN 24".

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, PERMITS, ETC.

- CONTRACTOR TO COORDINATE WITH OWNER SELECTION, PURCHASE, INSTALLATION, AND SWITCHING OF LIGHT FIXTURES.

- COORDINATE WITH OWNER PLACEMENT AND INSTALLATION OF ELECTRICAL OUTLETS AND CONCEALED TELEPHONE WIRING.

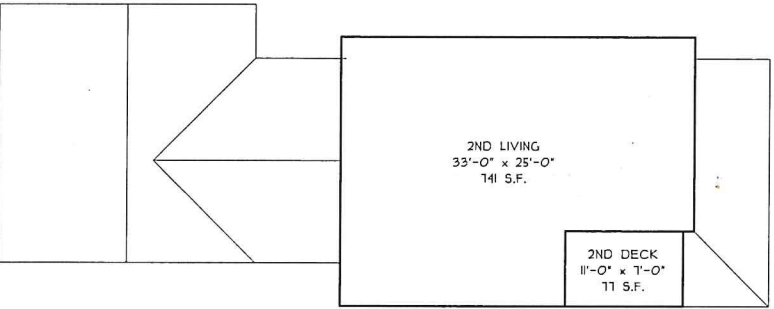
- ALL DIMENSIONS TO BE VERIFIED IN FIELD BY CONTRACTOR AND HOMEOWNER NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES AND DISCUSS OPTIONS BEFORE ANY ACTION REGARDING CHANGES.

- CONTRACTOR TO LOCATE SMOKE DETECTORS AND HAVE LOCAL FIRE CHIEF APPROVAL OF LOCATIONS.

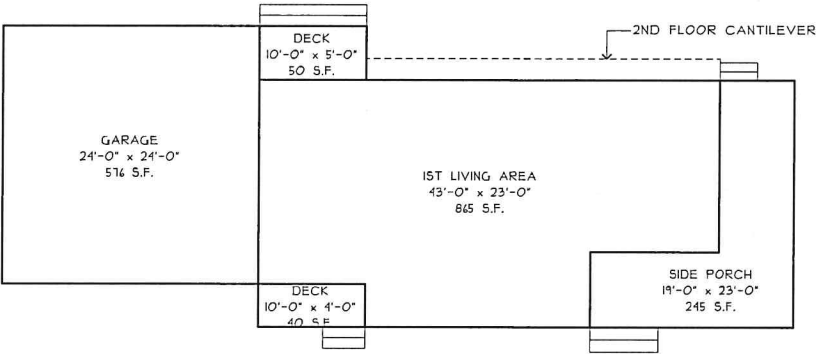
- GRASPABLE HANDRAILS AND RETURNS ARE REQUIRED ON ALL STAIR RAILING - INSIDE AND OUTSIDE.

LEGEND

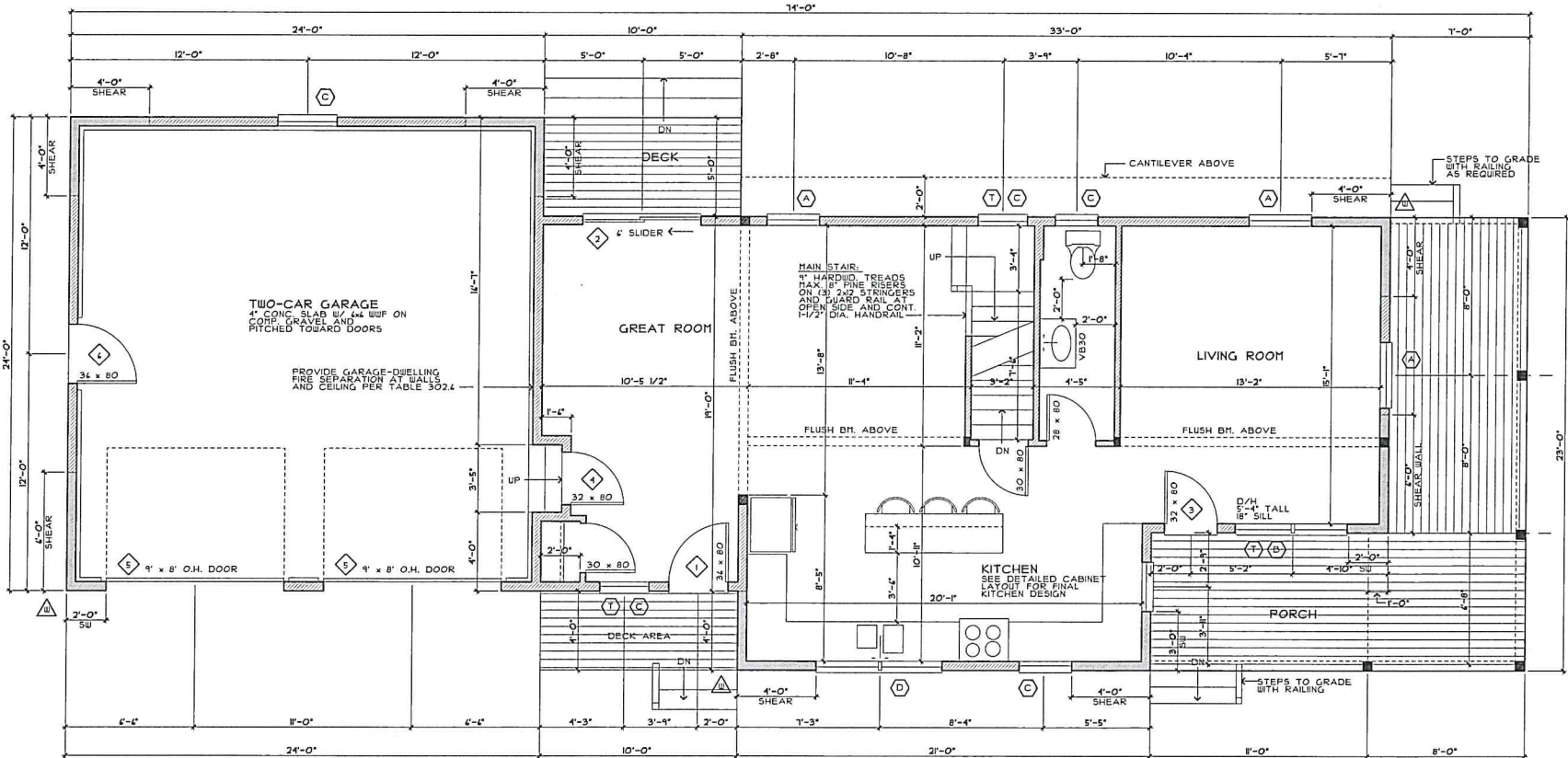
- ELEVATION (FRAMING)
- SECTION MARKER
- NEW WALL
- EXISTING WALL
- 3 1/2" LALLY COLUMN
- SOLID WOOD POST



3 2ND FLOOR SCOPE
AI DO NOT SCALE



2 1ST FLOOR SCOPE
AI DO NOT SCALE



1 1ST FLOOR PLAN
AI SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02865

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

111 KING PHILLIP AVE.
BRISTOL, RI
02809

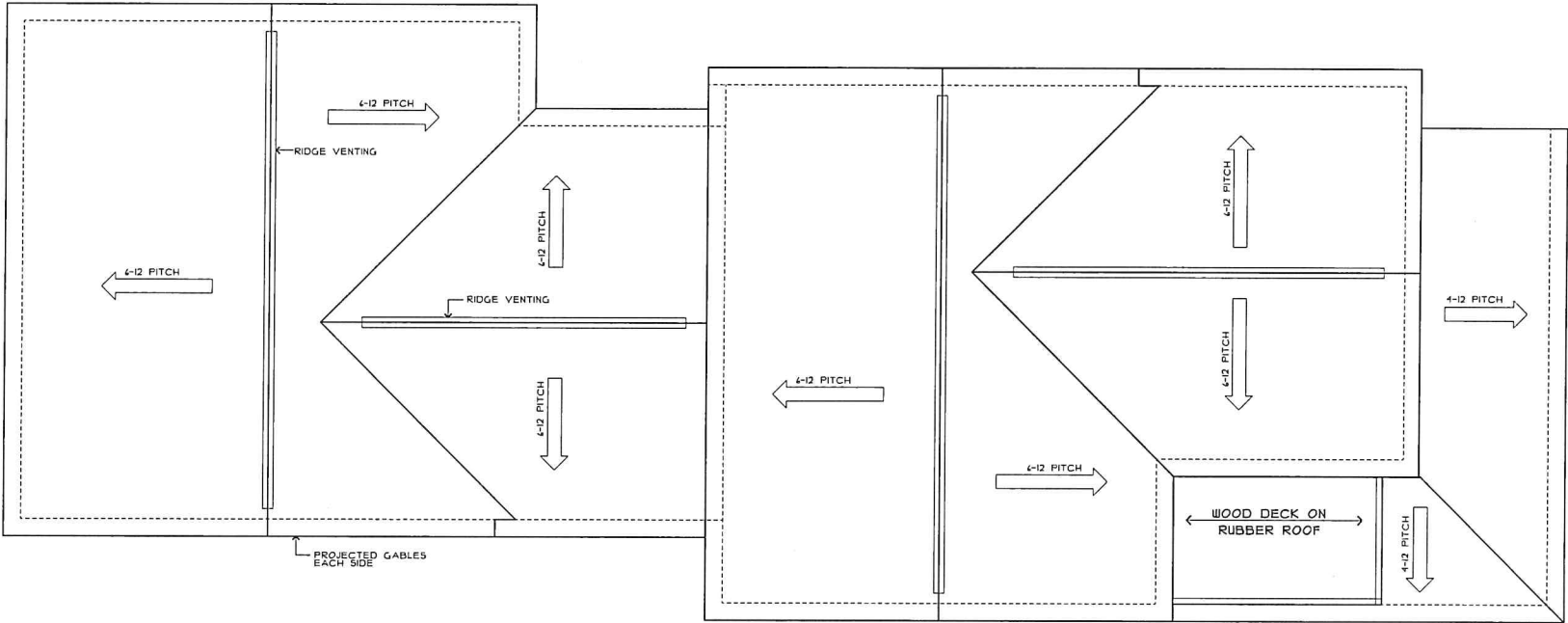
DATE: 6/25/2024

REVISIONS:

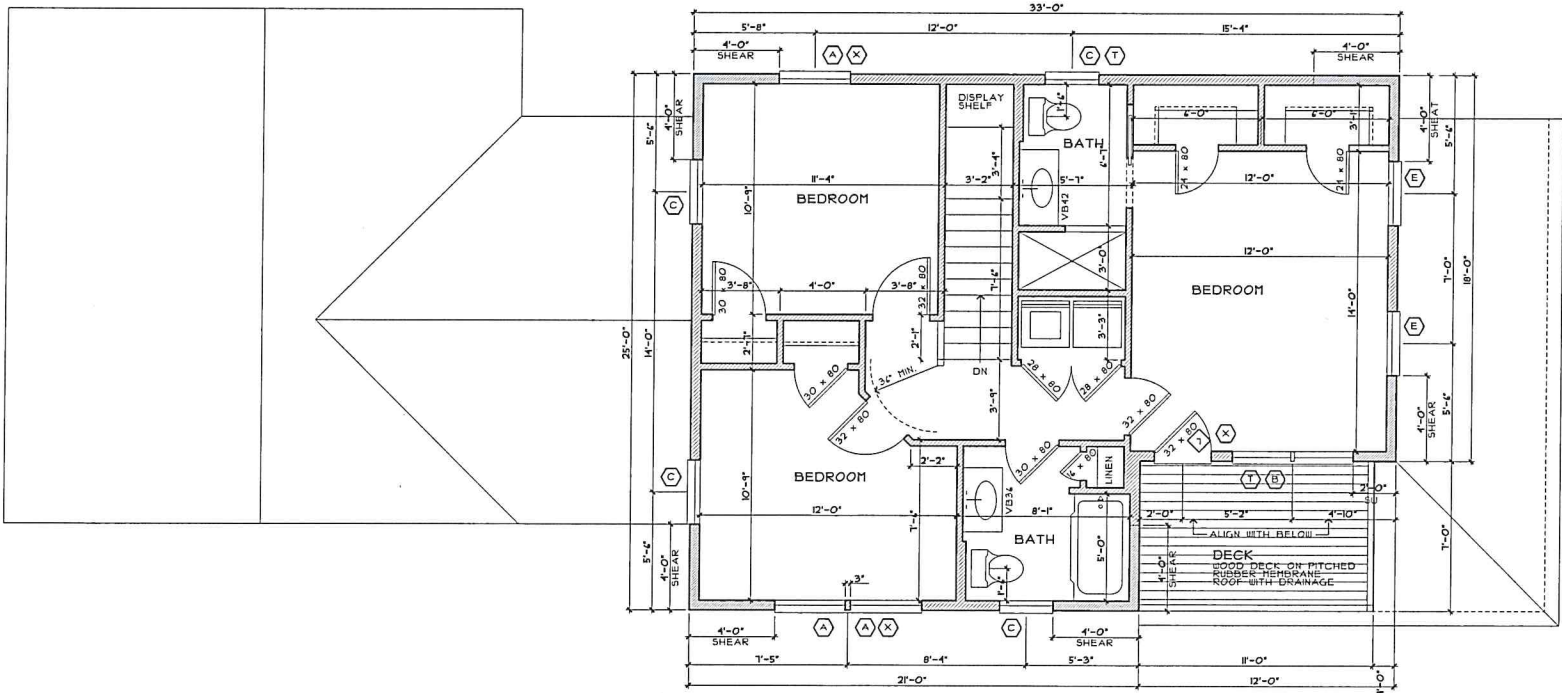
A1

SHEET NO:

2024 AUG -9 PM 3:38
COMMUNITY DEV
CITY OF BRISTOL



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

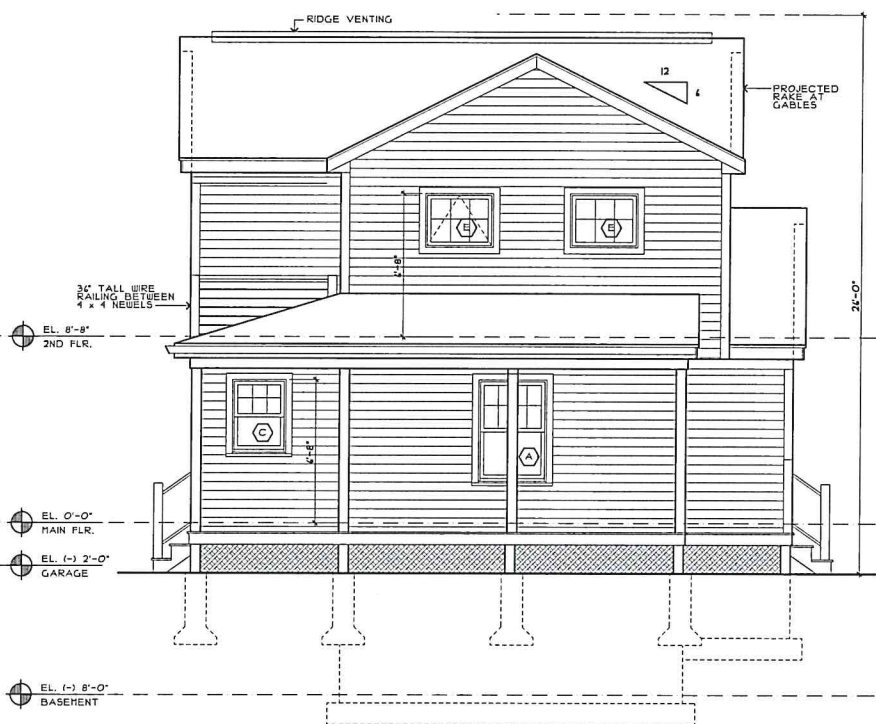
REVISIONS:

A2

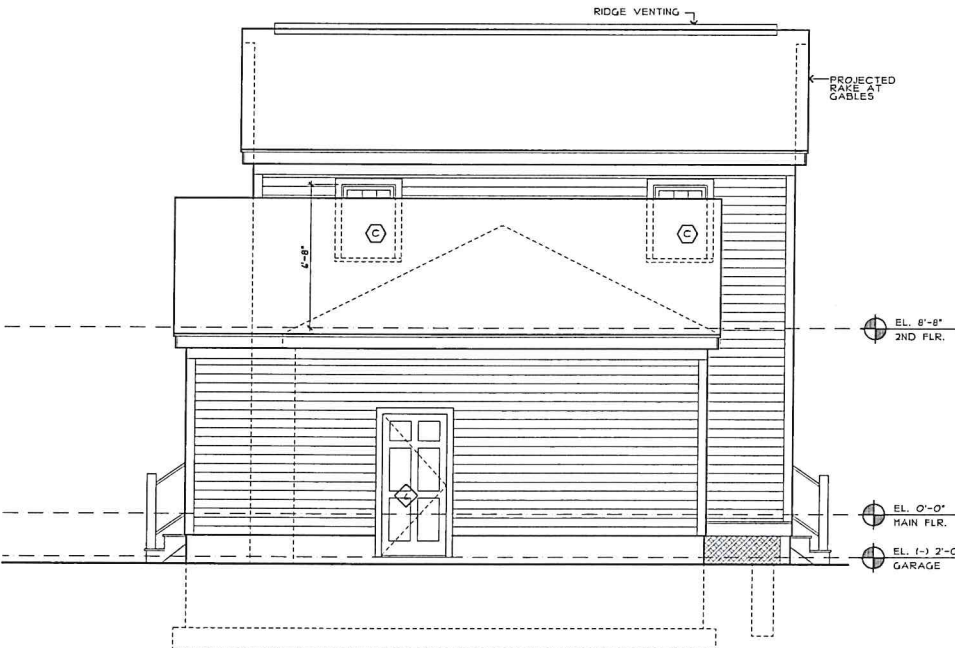
SHEET NO:



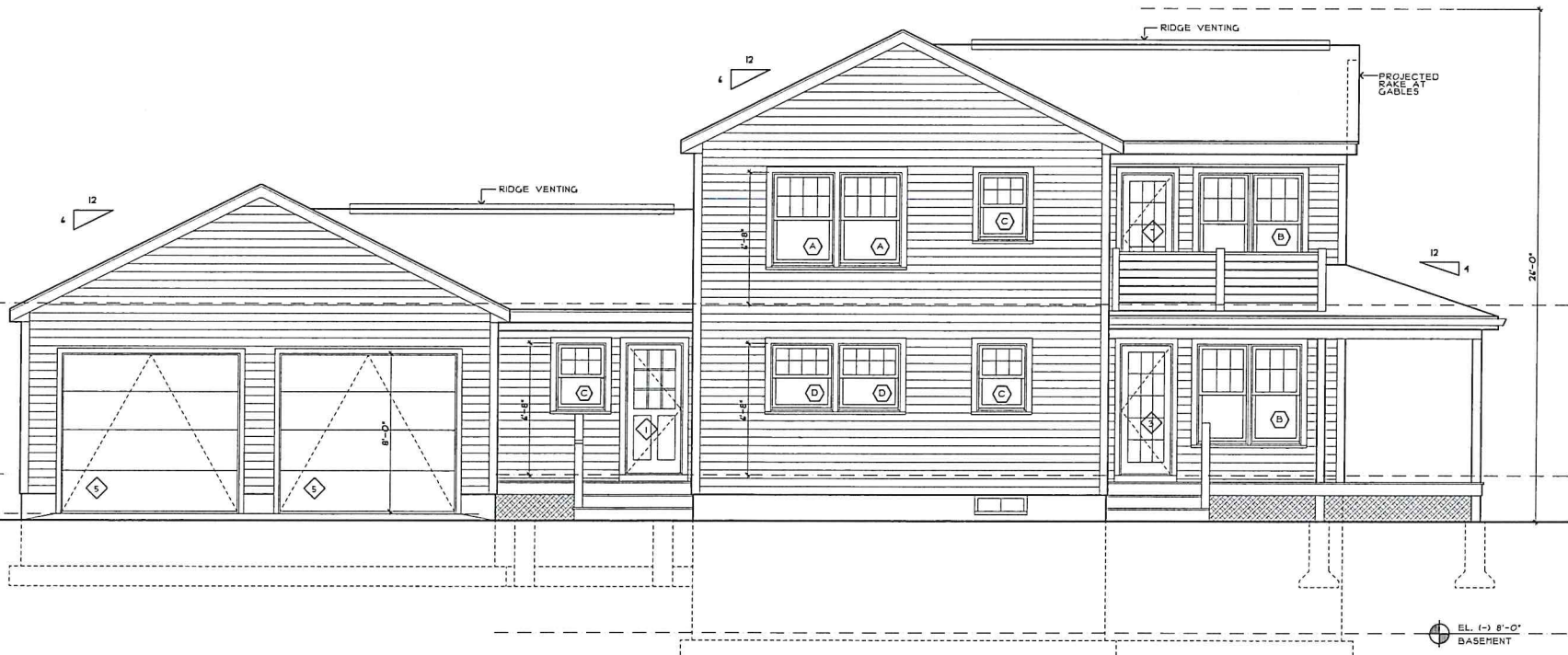
4 WEST ELEVATION
A3 SCALE: 1/4" = 1'-0"



3 FALES ROAD ELEVATION
A3 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 SCALE: 1/4" = 1'-0"



1 KING PHILLIP ELEVATION
A3 SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

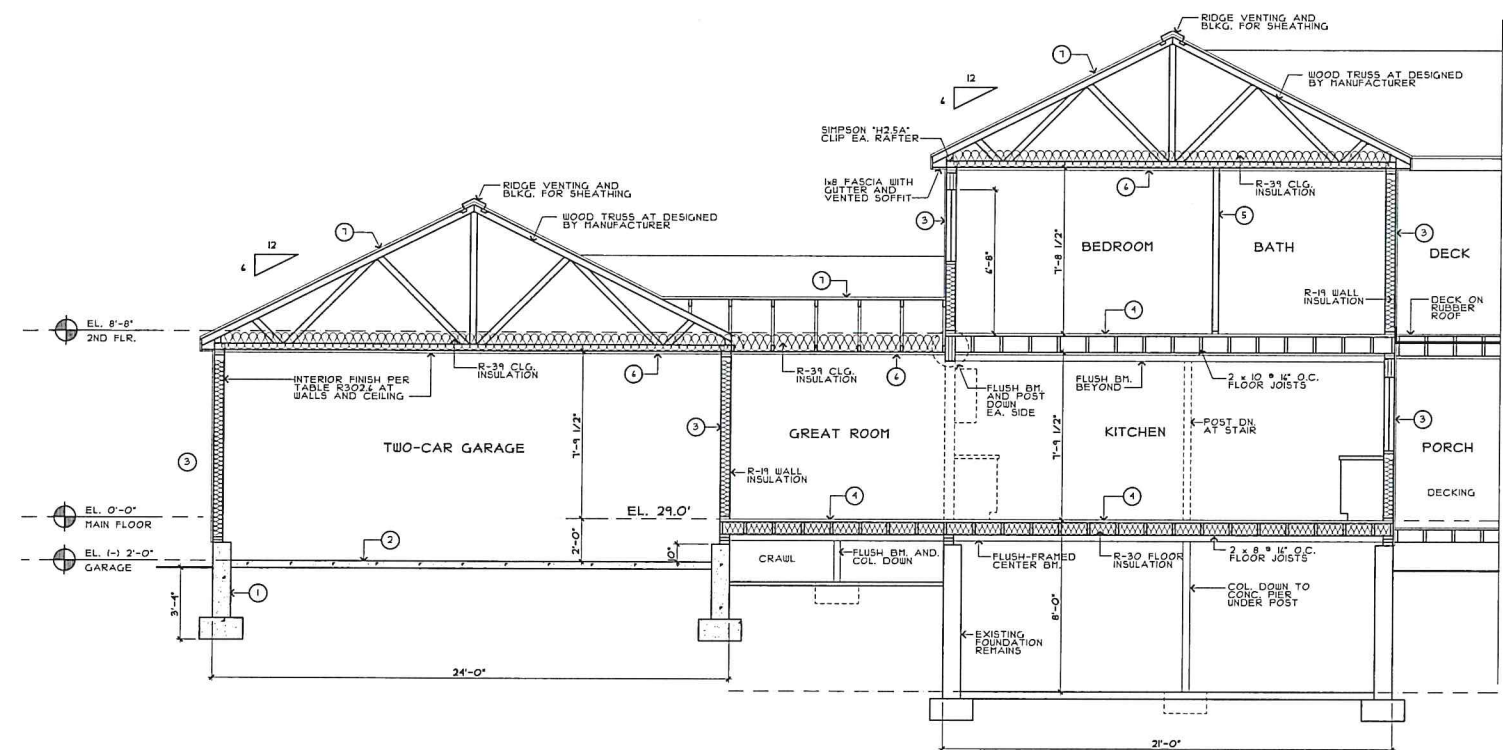
PROPOSED
RESIDENCE

111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

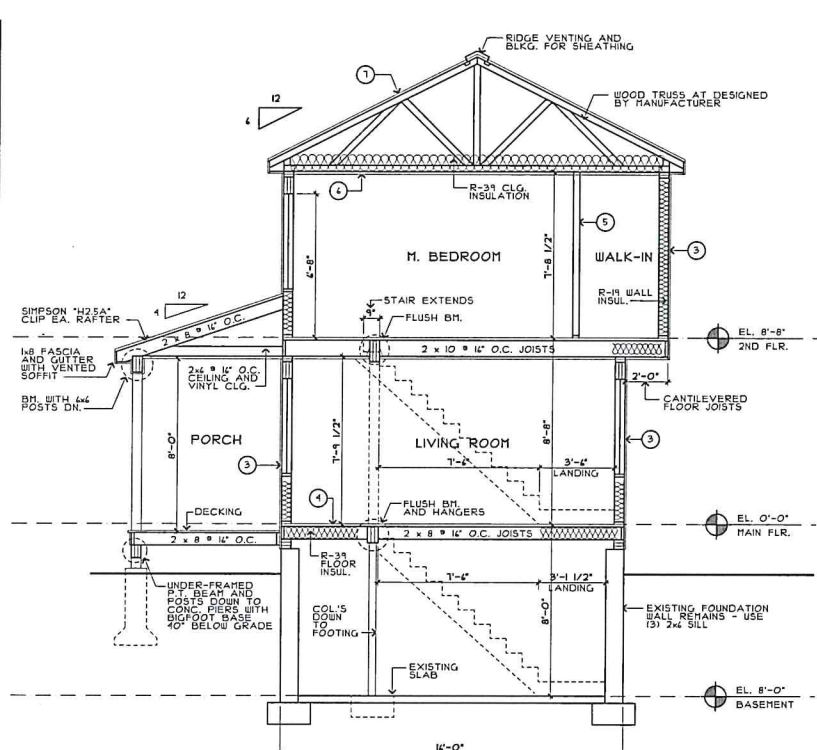
REVISIONS:

A3
SHEET NO:



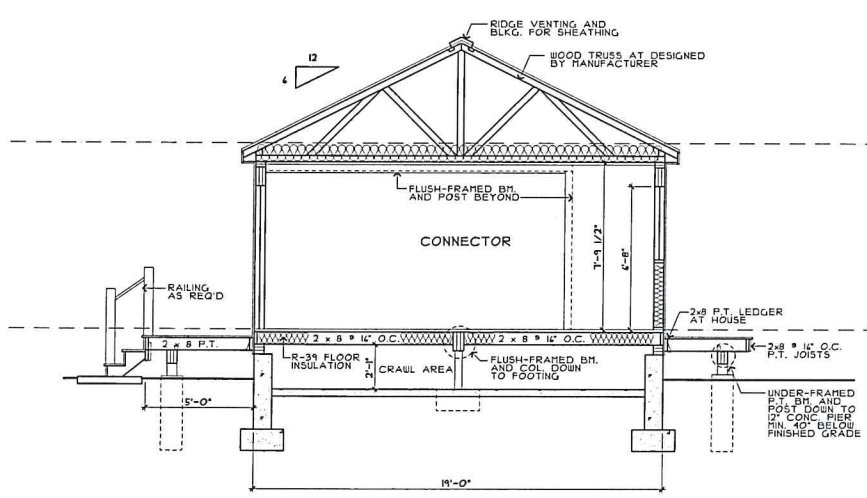
5 GARAGE SECTION
A4 SCALE: 1/4" = 1'-0"

4 KITCHEN SECTION
A4 SCALE: 1/4" = 1'-0"

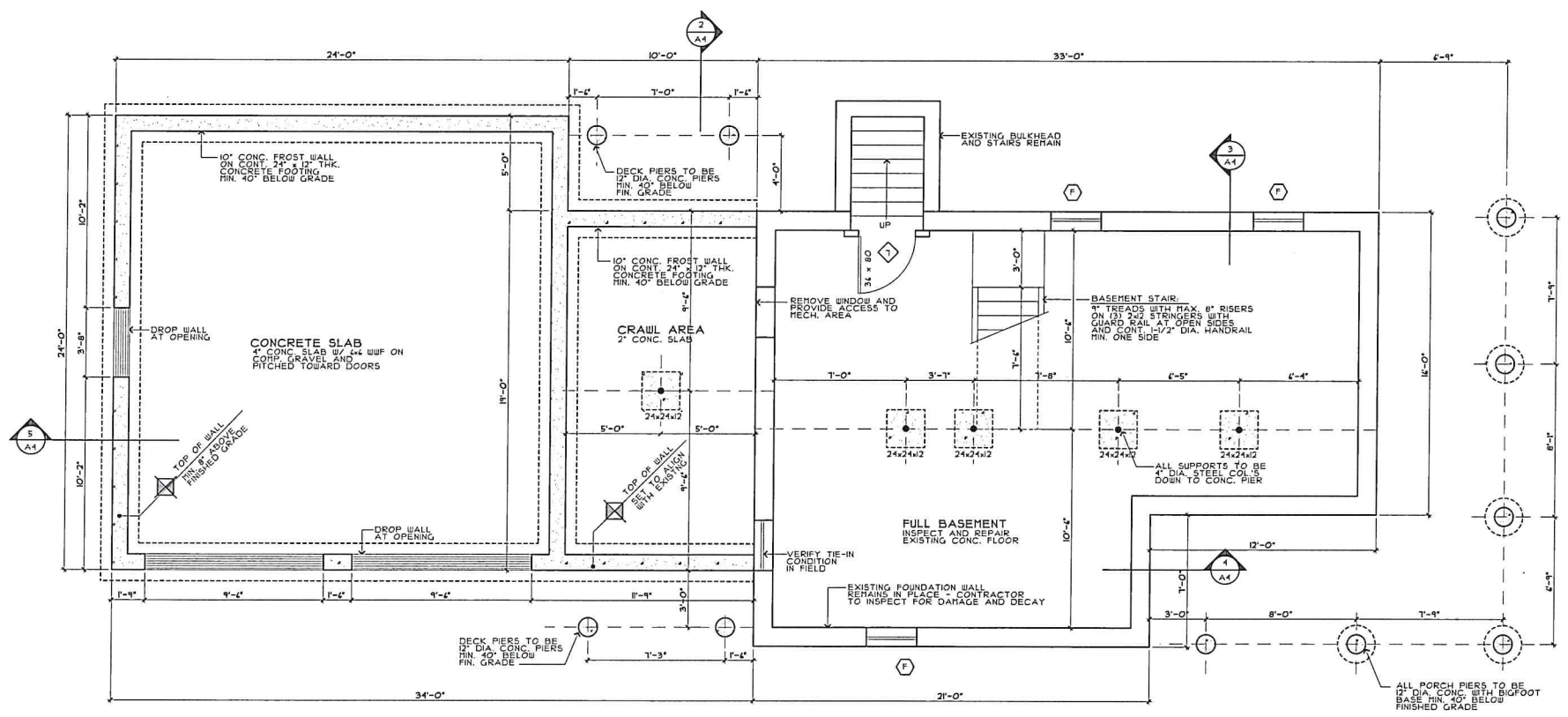


3 MASTER BED SECTION
A4 SCALE: 1/4" = 1'-0"

| FINISH SCHEDULE | |
|-----------------|---|
| 1 | NEW FOUNDATION WALL SYSTEM: 10" THICK FROST WALL WITH TOP OF WALL FIN. 8" ABOVE FINISHED GRADE CONT. 24" x 12" THICK FOOTING WITH KEYWAY TO BE MIN. 48" BELOW FINISHED GRADE PROVIDE ANCHOR BOLTS AS REQUIRED WITH (2) 24" x 12" SILL AND SILL SEAL APPLY WATER-PROOFING TO FINISHED GRADE |
| 2 | NEW CONCRETE SLAB SYSTEM: MIN. 4" CONCRETE SLAB W/ 64# WUF ON 4" RIL POLY OVER COMPACTED GRAVEL ALIGNED WITH FROST WALL |
| 3 | EXTERIOR BEARING WALL SYSTEM: EXTERIOR SIDING TO MATCH EXISTING ON UNDERLAYMENT OVER SIDEWALL SHEATHING 2 x 4 @ 16" O.C. EXTERIOR WALL FINISH 1/2" BLUEBOARD W/ SKIMCOAT FINISH |
| 4 | FINISH FLOORING SYSTEM: FINISH FLOORING AS SELECTED BY OWNER REQUIRED UNDERLAYMENT OVER 3/4" T&G SUBFLOOR GLUED AND NAILED |
| 5 | NEW INTERIOR WALL SYSTEM: 2 x 4 @ 16" O.C. WALL 1/2" BLUEBOARD W/ SKIMCOAT FINISH EACH SIDE (TYPICAL) |
| 6 | NEW FINISHED CEILING SYSTEM: 1 x 3 @ 16" O.C. STRAPPING 1/2" BLUEBOARD W/ SKIMCOAT FINISH |
| 7 | ROOFING SYSTEM: 30-YEARS ASPHALT SHINGLES 58# FELT UNDERLAYMENT 5/8" T10 CDX PLYWOOD AT LOW-PITCH ROOFING (SEC. R02.5) ADDS FULL COVERAGE UNDERLAYMENT W/ 19" SEAMS |



2 CONNECTOR SECTION
A4 SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
A4 SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

REVISIONS:

A4
SHEET NO:

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

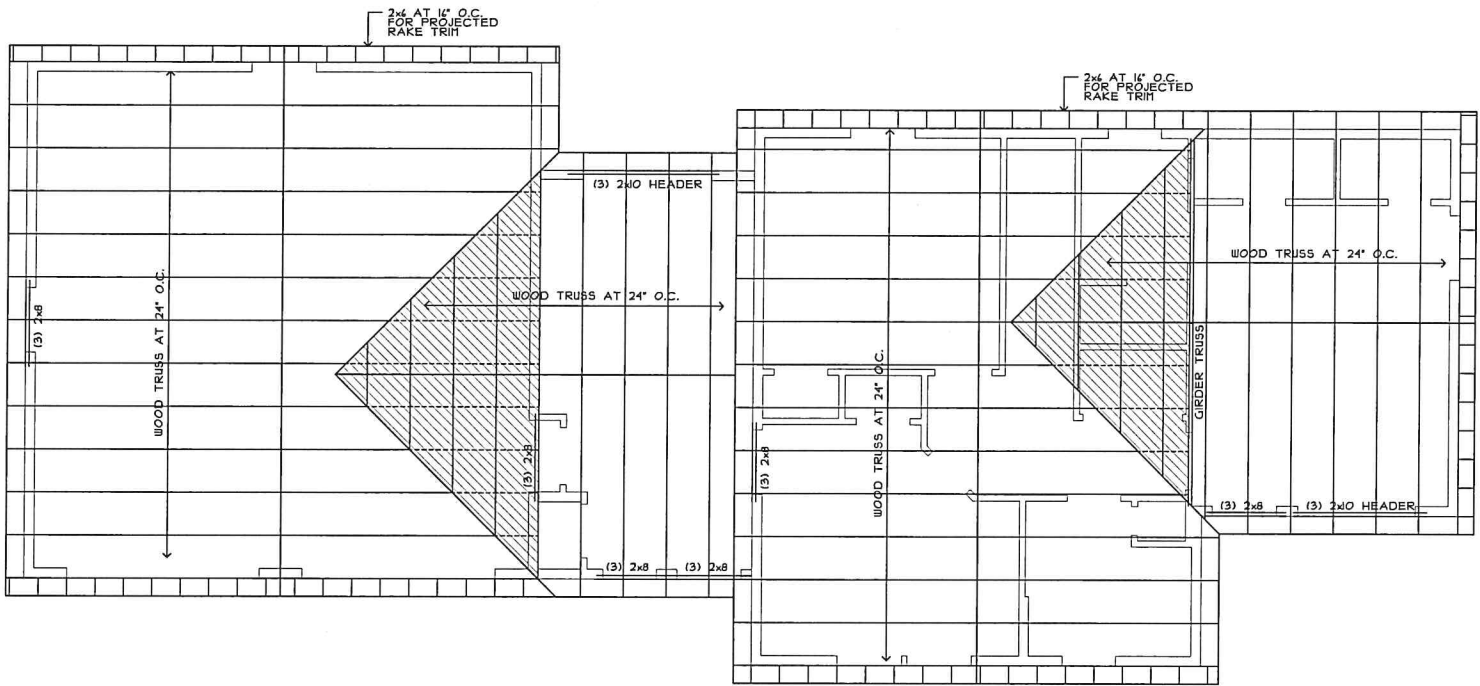
111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

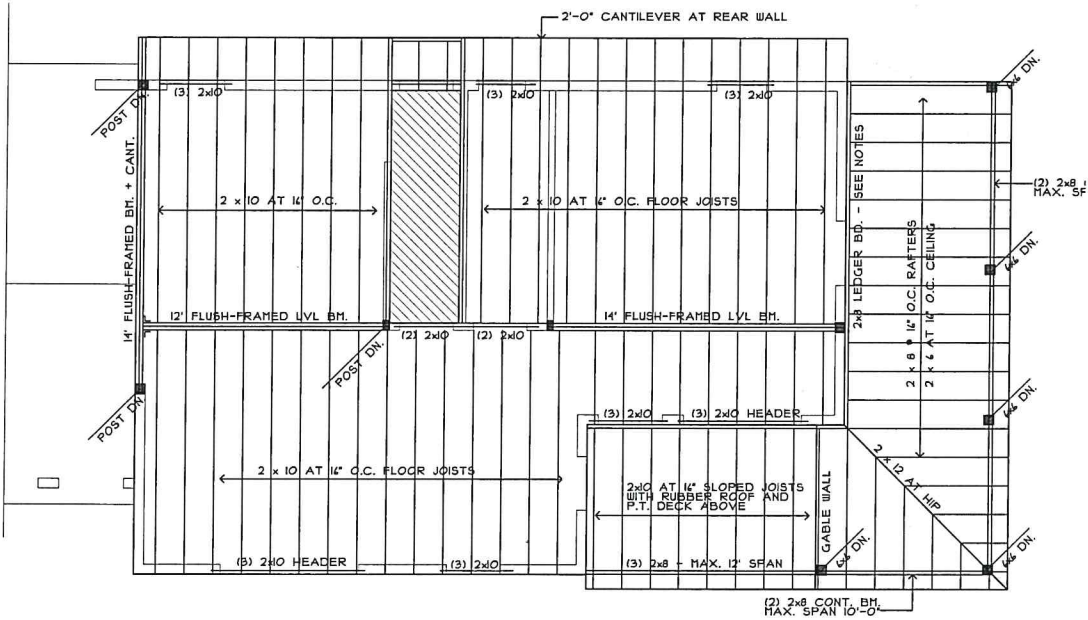
REVISIONS:

A5

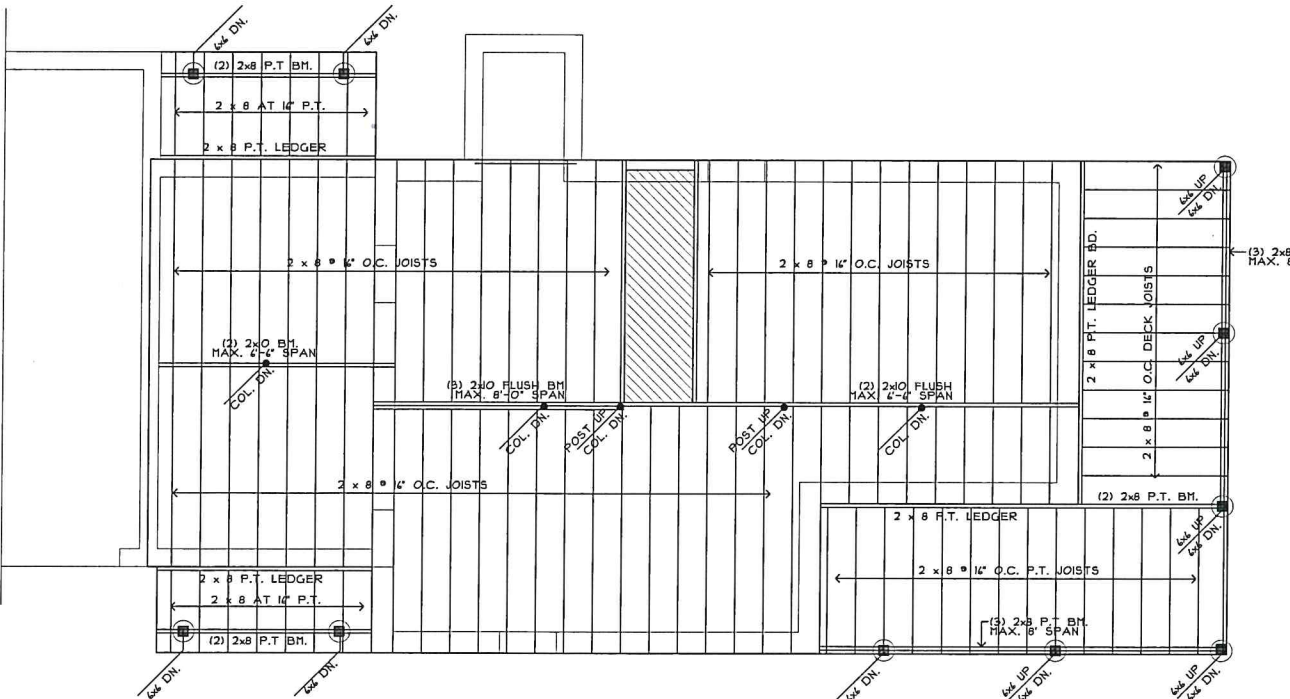
SHEET NO:



3 ROOF TRUSS FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"



2 2ND FLOOR FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"



1 1ST FLOOR FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"

▶ Building Information

| Description | | Description |
|--------------|--------------|------------------------------------|
| BLDG Type | Convention | Story Height 1 1/2 Story Finish: 0 |
| RES Units | 1 | COM Units |
| Foundation | Concrete | BMT Floor Concrete |
| Frame 1 | Wood | Frame 2 % |
| EXT Wall 1 | Wood Shngl | EXT Wall 2 % |
| Roof Type 1 | Gable | Roof Type 2 % |
| Roof Cover 1 | Asphalt Shir | Roof Cover 2 % |
| INT Wall 1 | Drywall | INT Wall 2 % |
| Floors 1 | Hardwood | Floors 2 % |
| BMT Garages | | Color |
| Plumbing | | Electrical |
| Insulation | | INT vs EXT |
| Heat Fuel | Oil | Heat Type Radiant Hot Water |
| # Heat Sys | | % Heated 100 |
| % Solar HW | | % A/C |
| % COM Wall | | % Vacuum |
| Ceil HGHT | | Ceiling Type |
| Parking Type | | % Sprinkled |
| EXT View | | |

| Quantity | Quality |
|---------------|---------|
| Full Bath 1 | Typical |
| Ext Full Bath | |
| Half Bath | |
| Ext Half Bath | |
| Ext Fixtures | |
| Kitchens 1 | Typical |
| Ext Kitchens | |
| Fireplaces | |
| W.S. Flues | |

▶ Room Counts by Floor

| Units | # Rooms | # Bedrooms | Floor Level |
|--------|---------|------------|-------------|
| 1 | 1 | 3 | U |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| Totals | 1 | 5 | 3 |

▶ Grade

| | | |
|------------|------|------------|
| Grade | Q4 | Q4 |
| Year Built | 1956 | EFF Year |
| Alt LUC | | Alt % 0.00 |

▶ Depreciation

| Code | PR | Description | % |
|------------------------|----|-------------|-----|
| Functional | - | | 0.0 |
| Economic | - | | 0.0 |
| Special | - | | 0.0 |
| OV | - | | |
| Total Depreciation % > | | | |
| 52.5 | | | |

▶ Remodeling History

| Additions | Plumbing |
|-----------|----------|
| Interior | Electric |
| Exterior | Heating |
| Kitchen | General |
| Bath(s) | |

▶ Condo Data

| | |
|-----------|---|
| Complex | |
| Location | |
| Tot Units | |
| FL Level | |
| # Floors | 0 |
| Bldg Seq | 1 |

▶ Building Permits

| Issue Date | Permit # | Closed Date | BP Type | Est. Cost | % Done | Status | Description/Directions |
|------------|----------|-------------|---------|-----------|--------|--------|------------------------|
| 1 | | | | | | | |
| 2 | | | | | | | |
| 3 | | | | | | | |
| 4 | | | | | | | |
| 5 | | | | | | | |
| 6 | | | | | | | |
| 7 | | | | | | | |
| 8 | | | | | | | |
| 9 | | | | | | | |

▶ Other Factors

| | | | |
|--------------|------------|--------|---------|
| Flood Hazard | Topography | Street | Traffic |
| Bas \$/SQ | 142.00 | | |
| Size Adj | 1.37 | | |
| Constr Adj | 1.01 | | |
| Adj \$/SQ | 197.18 | | |
| Other Featrs | 20,500 | | |
| Grade Fac | 1.00 | | |
| Neigh Infl | 1.00 | | |
| Land Factor | 1.00 | | |
| Adj Total | 207,918 | | |
| Depreciation | 109,157 | | |
| Depr Total | 98,761 | | |

▶ Notes

WELL. WATER VIEW - JM. 11 09-03-2021 Multiple undersized lots (under current zoning rules). Sum up the lots to arrive at a size closer to what is required by zoning and input the "Units For Size Adjustment" lot size for proper land pricing, MRM.

▶ Sub-Area Detail

| Code | Description | Area | Fin. Area | Rate | Undep Val |
|-------|-------------|-------|-----------|--------|-----------|
| FFL | 1st FLOOR | 675 | 675 | 197.18 | 133,097 |
| HST | HALF STORY | 160 | 160 | 197.18 | 31,549 |
| OFP | OPEN PORCH | 245 | 0 | 11.45 | 2,805 |
| BMT | BASEMENT | 675 | 0 | 29.58 | 19,967 |
| Total | | 1,755 | 835 | | 187,418 |

▶ Visit History

| Date | Result | By |
|-----------|-----------|----|
| 8/17/2021 | REVIEW | |
| 5/25/2018 | REVIEW | |
| 5/15/2018 | MEASURED | |
| 7/7/2007 | LISTED | |
| 7/5/2007 | CALL BACK | |
| 6/27/2007 | MEASURE | |

▶ Special Features & Yard Items

| Use | Description | A | Y/S | Qty | Length | Width | SF Size | Quality | Condition | Year | Assessed Value |
|-----|-------------|---|-----|-----|--------|-------|---------|---------|-----------|------|----------------|
| 1 | Garage | 1 | Y | 1 | | | 282 | 3 | PR | 1956 | 3,700 |
| 2 | | | | | | | | | | | |
| 3 | | | | | | | | | | | |
| 4 | | | | | | | | | | | |
| 5 | | | | | | | | | | | |
| 6 | | | | | | | | | | | |
| 7 | | | | | | | | | | | |
| 8 | | | | | | | | | | | |
| 9 | | | | | | | | | | | |
| 10 | | | | | | | | | | | |

▶ Other Info.

| | |
|--------------|--|
| AFDU | |
| ntTermRental | |
| PriorID1c | |
| PriorID2a | |
| PriorID2b | |
| PriorID2c | |
| PriorID3a | |
| PriorID3b | |
| PriorID3c | |

► Building Information

Description

BLDG Type

RES Units

Foundation

Frame 1

EXT Wall 1

Roof Type 1

Roof Cover 1

INT Wall 1

Floors 1

BMT Garages

Plumbing

Insulation

Heat Fuel

Heat Sys

% Solar HW

% COM Wall

Ceil HGHT

Parking Type

EXT View

Description

Story Height

COM Units

BMT Floor

Frame 2

EXT Wall 2

Roof Type 2

Roof Cover 2

INT Wall 2

Floors 2

Color

Electrical

INT vs EXT

Heat Type

% Heated

% A/C

% Vacuum

Ceiling Type

% Sprinkled

► Grade

Grade

Year Built

Alt LUC

EFF Year

Alt %

► Other Factors

Flood Hazard

Topography

Street Traffic

PAVED

► Sub-Area Detail

Code

Total

Description

Area

Fin. Area

Rate

Undep Val

► Visit History

Date

Result

By

8/17/2021

REVIEW

5/25/2018

REVIEW

► Depreciation

Code

Description

%

Condition

-

Functional

-

Economic

-

Special

-

OV

-

Total Depreciation % >

► Remodeling History

Additions

Plumbing

Electric

Heating

General

Interior

Exterior

Kitchen

Bath(s)

► Condo Data

Complex

Location

Tot Units

FL Level

Floors

Bldg Seq

► Building Permits

Issue Date

Permit #

Closed Date

BP Type

Est. Cost

% Done

Status

Description/Directions

1

2

3

4

5

6

7

8

9

► Special Features & Yard Items

Use

Description

A

Y/S

Qty

Length

Width

SF Size

Quality

Condition

Year

Assessed Value

1

2

3

4

5

6

7

8

9

10

► Room Counts by Floor

Units

Rooms

Bedrooms

Floor Level

1

2

3

4

Totals

► Notes

W\LOT 62

► Other Info.

AFDU

xrtTermRental

PriorID1c

PriorID2a

PriorID2b

PriorID2c

PriorID3a

PriorID3b

PriorID3c



111 King Philip Avenue - 300' Radius

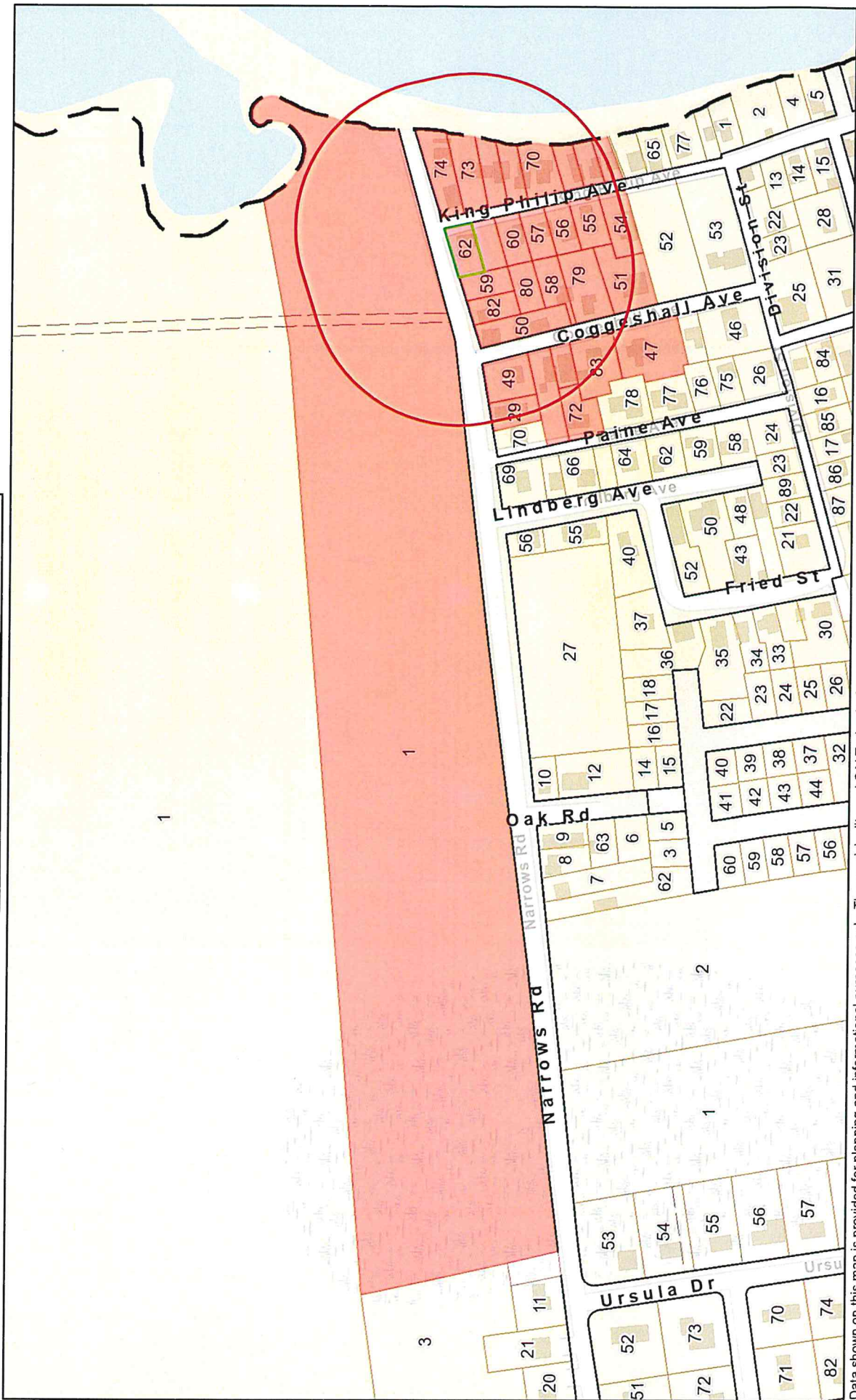
Bristol, RI

August 9, 2024

1 inch = 282 Feet



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
August 09, 2024

Subject Property:

Parcel Number: 147-62
CAMA Number: 147-62
Property Address: 111 KING PHILLIP AVE

Mailing Address: FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

Abutters:

Parcel Number: 142-1
CAMA Number: 142-1
Property Address: NARROWS RD

Mailing Address: WAYPOYSET PRESERVE TRUST C/O
STEVEN JOHNSON
345 CHANNEL VIEW, UNIT 101
WARWICK, RI 02889

Parcel Number: 147-47
CAMA Number: 147-47
Property Address: 22 COGGESHALL AVE

Mailing Address: ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-48
CAMA Number: 147-48
Property Address: 8 COGGESHALL AVE

Mailing Address: HEISLER, WALTER CHRISTOFF JR
8 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-49
CAMA Number: 147-49
Property Address: 2 COGGESHALL AVE

Mailing Address: MORENCY, LIONEL J LIFE ESTATE
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-50
CAMA Number: 147-50
Property Address: 1 COGGESHALL AVE

Mailing Address: FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

Parcel Number: 147-51
CAMA Number: 147-51
Property Address: 17 COGGESHALL AVE

Mailing Address: SLYE, ROBERT C & TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-54
CAMA Number: 147-54
Property Address: 97 KING PHILLIP AVE

Mailing Address: GIBALDI JUDITH M & ROCCO JT
20 LANGDON GROVE
CARMEL, NY 10512

Parcel Number: 147-55
CAMA Number: 147-55
Property Address: 101 KING PHILLIP AVE

Mailing Address: GORHAM, COURTNEY LOUISE &
MONTESANO, MICHAEL JOSEP
101 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 147-56
CAMA Number: 147-56
Property Address: 103 KING PHILLIP AVE

Mailing Address: LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

Parcel Number: 147-57
CAMA Number: 147-57
Property Address: 105 KING PHILLIP AVE

Mailing Address: THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809



www.cai-tech.com

8/9/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 3



300 feet Abutters List Report

Bristol, RI
August 09, 2024

| | |
|--|---|
| Parcel Number: 147-58 CAMA Number: 147-58 Property Address: 11 COGGESHALL AVE | Mailing Address: BOTELHO, EDWARD 4 MUNRO AVE WARREN, RI 02885 |
| Parcel Number: 147-59 CAMA Number: 147-59 Property Address: 136 NARROWS RD | Mailing Address: ALMEIDA, JULIE C 87 KICKEMUIT AVE BRISTOL, RI 02809 |
| Parcel Number: 147-60 CAMA Number: 147-60 Property Address: 107 KING PHILLIP AVE | Mailing Address: COCHRAN, E. ROSS TRUSTEE 107 KING PHILLIP AVE BRISTOL, RI 02809 |
| Parcel Number: 147-61 CAMA Number: 147-61 Property Address: KING PHILLIP AVE | Mailing Address: FAIRPOINT REALTY, LLC 34 BROAD COMMON RD BRISTOL, RI 02809 |
| Parcel Number: 147-62 CAMA Number: 147-62 Property Address: 111 KING PHILLIP AVE | Mailing Address: FAIRPOINT REALTY, LLC 34 BROAD COMMON RD BRISTOL, RI 02809 |
| Parcel Number: 147-67 CAMA Number: 147-67 Property Address: 98 KING PHILLIP AVE | Mailing Address: BEEBE, KEVIN J. MARY JANE TE 98 KING PHILLIP AVE BRISTOL, RI 02809 |
| Parcel Number: 147-68 CAMA Number: 147-68 Property Address: 100 KING PHILLIP AVE | Mailing Address: CASHMAN, MURIEL A. LE ETAL YOUNG, DARLENE M. 100 KING PHILLIP AVE BRISTOL, RI 02809 |
| Parcel Number: 147-69 CAMA Number: 147-69 Property Address: 102 KING PHILLIP AVE | Mailing Address: DAVIDOFF, SCOTT & BRANDY NICOLE TE 6409 MEADOWVIEW CT PLANO, TX 75024 |
| Parcel Number: 147-70 CAMA Number: 147-70 Property Address: 104 KING PHILLIP AVE | Mailing Address: IRONS, STEPHEN L & KAREN M TE 104 KING PHILLIP AVE BRISTOL, RI 02809 |
| Parcel Number: 147-71 CAMA Number: 147-71 Property Address: 106 KING PHILLIP AVE | Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590 |
| Parcel Number: 147-72 CAMA Number: 147-72 Property Address: 108 KING PHILLIP AVE | Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590 |
| Parcel Number: 147-73 CAMA Number: 147-73 Property Address: 110 KING PHILLIP AVE | Mailing Address: LAVOIE, DENISE M 34 MERRIAM LN SUTTON, MA 01590 |



www.cai-tech.com

8/9/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 2 of 3



300 feet Abutters List Report

Bristol, RI
August 09, 2024

Parcel Number: 147-74
CAMA Number: 147-74
Property Address: 148 NARROWS RD

Mailing Address: PACHECO, WALTER & KIMBERLY TE
148 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 147-75
CAMA Number: 147-75
Property Address: 10 COGGESHALL AVE

Mailing Address: MANCINI, LORI A.
10 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-79
CAMA Number: 147-79
Property Address: 15 COGGESHALL AVE

Mailing Address: MERKLE, JEFFREY C & EILEEN TE
15 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-80
CAMA Number: 147-80
Property Address: 132 NARROWS RD

Mailing Address: SHAW, ROBERT I & PATRICIA A. TE
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

Parcel Number: 147-82
CAMA Number: 147-82
Property Address: 134 NARROWS RD

Mailing Address: CALLERY, ALLYSEN W. HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 147-83
CAMA Number: 147-83
Property Address: 14 COGGESHALL AVE

Mailing Address: CATALANO, FRANK P SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 148-29
CAMA Number: 148-29
Property Address: 126 NARROWS RD

Mailing Address: URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 148-72
CAMA Number: 148-72
Property Address: 9 PAINE AVE

Mailing Address: SECURO, FRANCES E. LE DESILETS,
ERIC M.
9 PAINE AVE
BRISTOL, RI 02809



www.cai-tech.com

8/9/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 3

ALMEIDA, JULIE C
87 KICKEMUIT AVE
BRISTOL, RI 02809

FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

PACHECO, WALTER & KIMBERL
148 NARROWS RD
BRISTOL, RI 02809

ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

GIBALDI JUDITH M &
ROCCO JT
20 LANGDON GROVE
CARMEL, NY 10512

SECURO, FRANCES E. LE
DESILETS, ERIC M.
9 PAINE AVE
BRISTOL, RI 02809

BEEBE, KEVIN J.
MARY JANE TE
98 KING PHILLIP AVE
BRISTOL, RI 02809

GORHAM, COURTNEY LOUISE &
101 KING PHILIP AVE
BRISTOL, RI 02809

SHAW, ROBERT I & PATRICIA
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

HEISLER, WALTER CHRISTOFF
8 COGGESHALL AVE
BRISTOL, RI 02809

SLYE, ROBERT C &
TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

CALLERY, ALLYSEN W.
HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809

IRONS, STEPHEN L & KAREN
104 KING PHILLIP AVE
BRISTOL, RI 02809

THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809

CASHMAN, MURIEL A. LE ETA
YOUNG, DARLENE M.
100 KING PHILLIP AVE
BRISTOL, RI 02809

LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

CATALANO, FRANK P
SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

WAYPOYSET PRESERVE TRUST
C/O STEVEN JOHNSON
345 CHANNEL VIEW, UNIT 101
WARWICK, RI 02889

COCHRAN, E. ROSS TRUSTEE
107 KING PHILLIP AVE
BRISTOL, RI 02809

MANCINI, LORI A.
10 COGGESHALL AVE
BRISTOL, RI 02809

DAVIDOFF, SCOTT & BRANDY
6409 MEADOWVIEW CT
PLANO, TX 75024

MERKLE, JEFFREY C & EILEE
15 COGGESHALL AVE
BRISTOL, RI 02809

FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

MORENCY, LIONEL J LIFE ES
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809