



# CITY of BRISBANE

## Planning Commission Meeting Agenda

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Thursday, June 25, 2020 at 7:30 PM • Virtual Meeting

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**This virtual meeting is compliant with the Governor's Executive Order N-29-20 issued on March 17, 2020 allowing for deviation of teleconference rules required by the Brown Act. Consistent with the Order, this virtual meeting provides a safe environment for staff, Planning Commissioners, and the public while allowing for public participation. The public may address the Commission using exclusively remote public comment options which are detailed below.**

The Planning Commission Meeting will be an exclusively virtual meeting broadcast on Comcast Channel 27 and the City's YouTube channel at [www.youtube.com/Brisbaneca](http://www.youtube.com/Brisbaneca). The agenda materials may be viewed online at [www.brisbaneca.org](http://www.brisbaneca.org) by 1 PM on Friday, June 19, 2020.

### **TO ADDRESS THE COMMISSION:**

Members of the public are encouraged to submit comments in writing in advance of the meeting to the project planner (see the posted public notice at <https://www.brisbaneca.org/cd/page/public-notices> for planner contact information). Comments that can't be provided in advance of the meeting may be emailed or texted **prior to the start of the particular agenda item** to the below email and text line:

**Email:** [jswiecki@brisbaneca.org](mailto:jswiecki@brisbaneca.org)

**Text:** 415-713-9266

A call-in number is also available during the meeting for oral communications and public hearing items:

**Phone Number:** +1 (669) 900-9128

**Meeting ID:** 956 4561 7043 (After entering the meeting ID and pressing #, simply press # a second time to enter the meeting waiting room. No participant code is required. Please wait to call until the Chairperson and/or Staff announces that the phone line is open.)

**Commissioners:** Gomez, Gooding, Mackin, Patel, and Sayasane

**CALL TO ORDER**

**ROLL CALL**

**ADOPTION OF AGENDA**

**CONSENT CALENDAR**

*Please Note: Items listed here as Consent Calendar Items are considered routine and will be acted upon collectively by one motion adopting the Planning Department's recommendation unless a*

member of the public, the Commission, or its staff asks to remove an item to discuss it. Prior to the motion, the Chairperson will ask if anyone wishes to remove an item from the Consent Calendar.

- A. [Approval of draft regular meeting minutes of May 28, 2020](#)

**ORAL COMMUNICATIONS** (Limited to a total of 15 minutes)

**WRITTEN COMMUNICATIONS**

**NEW BUSINESS**

- B. [PUBLIC HEARING: Grading Review EX-4-19; 338 Kings Road; R-1 Residential District; Reconsideration of Grading Review application for approximately 357 cubic yards of soil cut and export to accommodate a new driveway and additions, including a two-car attached garage, for an existing single-family dwelling; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.](#)

*Note: This application was first considered by the Planning Commission at the February 27, 2020 meeting, at which the Planning Commission voted to deny the application and deferred adoption of a resolution of denial to the next regular meeting. At the next regular meeting on May 14, 2020, the Planning Commission unanimously granted the applicant's request for reconsideration of the application with a revised project scope. That revised application will be considered at tonight's public hearing.*

**ITEMS INITIATED BY STAFF**

**ITEMS INITIATED BY THE COMMISSION**

**ADJOURNMENT**

- C. Adjournment to the meeting of July 9, 2020 at 7:30 p.m.

**APPEALS PROCESS**

*Anyone may appeal the action of the Planning Commission to the City Council. Except where specified otherwise, appeals shall be filed with the City Clerk not later than 15 calendar days following the Planning Commission's decision. Exceptions to the 15 day filing period include the following: appeals shall be filed with the City Clerk within 6 calendar days of the Planning Commission's action for use permits and variances and 10 calendar days for tentative maps and advertising sign applications. An application form and fee is required to make a formal appeal. For additional information, please contact the City Clerk at 415-508-2110.*

**INTERNET & OTHER ACCESS**

*Agendas and adopted minutes for meetings of the Planning Commission are posted on the Internet at: [www.brisbaneca.org](http://www.brisbaneca.org). Email may be sent to the Community Development Department at: [planning@brisbaneca.org](mailto:planning@brisbaneca.org). Meeting video archives are available on the City's YouTube channel.*



*Rebroadcasts on Channel 27 are during weeks following the meetings, on Fridays at 5 pm and Sundays at 1 pm. For a DVD copy, please contact the Community Development Department.*

**NOTICE OF DISCLOSURE**

*Written information or comments that may include a person's name, address, email address, etc. submitted to the City, Planning Commission, and/or City staff are public records under the California Public Records Act, are subject to disclosure and may appear on the City's website.*

**File Attachments for Item:**

Approval of draft regular meeting minutes of May 28, 2020

DRAFT  
BRISBANE PLANNING COMMISSION  
Action Minutes of May 28, 2020  
Virtual Regular Meeting

CALL TO ORDER

Chairperson Sayasane called the meeting to order at 7:30 p.m.

ROLL CALL

Present: Commissioners, Gomez, Gooding, Mackin, Patel and Sayasane.  
Absent: None.  
Staff Present: Community Development Director Swiecki, Senior Planner Ayres, Associate Planner Robbins

ADOPTION OF AGENDA

Commissioner Gomez moved adoption of the agenda. Commissioner Gooding seconded the motion and it was approved 5-0.

CONSENT CALENDAR

Commissioner Patel moved adoption of the consent calendar (agenda item A). Commissioner Mackin seconded the motion and it was approved 5-0.

ORAL COMMUNICATIONS

There were no oral communications.

WRITTEN COMMUNICATIONS

Chairperson Sayasane acknowledged one written communication from Prem Lall.

NEW BUSINESS

**B. PUBLIC HEARING: Setback Exception Modification SE-1-20; 285 Santa Clara Street; R-1 Residential Zoning District;** to allow construction of the entry stairway and landing within the side setback; Jerry Kuhel, applicant; Martin Walker, owner.

Associate Planner Robbins gave the staff report.

Chairperson Sayasane opened the public hearing.

Jerry Kuhel, applicant, gave a brief presentation about the project and answered questions from the Commission regarding previous project approvals for on-grade stairs for this property.

With no one else coming forward to address the Commission, Commissioner Mackin moved to close the public hearing. Commissioner Patel seconded the motion and it was approved 5-0.

Following deliberation, Commissioner Mackin moved to approve the application via adoption of Resolution SE-1-20. Commissioner Gomez seconded the motion and it was approved 5-0.

**C. PUBLIC HEARING: Design Permit DP-1-20 and Grading Review EX-3-20; 221 Tulare Street; R-3 Residential District;** Request for 36-month extension of previously approved design and grading approvals (DP-2-18 and EX-2-18) for demolition of existing single-family dwelling and construction of new 3,690 square foot, three-unit residential building, requiring 1,384 cubic yards of soil cut and export; Fred Herring, applicant; Harold Lott, owner.

Senior Planner Ayres gave the staff presentation. She answered questions from the Commission regarding a potential private sewer line on the property and the delay in starting construction.

Chairperson Sayasane opened the public hearing.

Fred Herring, applicant, gave a brief update on the project status and answered questions regarding the construction timeline, project design, private sewer line relocation, and whether ADU construction was included in the project scope.

With no one else wishing to address the Commission, Commissioner Gooding moved to close the public hearing. Commissioner Gomez seconded the motion and it was approved 5-0.

Commissioner Mackin stated Boya Yan at 223 Tulare Street was the land owner served by the previously discussed private sewer line.

Following deliberation, Commissioner Gooding moved to grant a 36-month extension for Design Permit and Grading Review DP-2-18 and EX-2-18 via adoption of Resolution DP-1-20/EX-2-20. Commissioner Mackin seconded the motion and it was approved 5-0.

ITEMS INITIATED BY STAFF

There were none.

ITEMS INITIATED BY THE COMMISSION

There were none.

ADJOURNMENT

Commissioner Gomez moved to adjourn to the regular meeting of Thursday, June 11, 2020. Commissioner Patel seconded the motion and it was approved 5-0. The meeting adjourned at 8:30 p.m.

Brisbane Planning Commission Minutes  
May 28, 2020  
Page 3  
DRAFT

Attest:

\_\_\_\_\_  
John A. Swiecki, Community Development Director

NOTE: A full video record of this meeting can be found on the City’s YouTube channel at [www.youtube.com/BrisbaneCA](http://www.youtube.com/BrisbaneCA), on the City’s website at [www.brisbaneca.org](http://www.brisbaneca.org), or on DVD (by request only) at City Hall.

**File Attachments for Item:****B. PUBLIC HEARING: Grading Review EX-4-19; 338 Kings Road; R-1 Residential District;**

Reconsideration of Grading Review application for approximately 357 cubic yards of soil cut and export to accommodate a new driveway and additions, including a two-car attached garage, for an existing single-family dwelling; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.

*Note: This application was first considered by the Planning Commission at the February 27, 2020 meeting, at which the Planning Commission voted to deny the application and deferred adoption of a resolution of denial to the next regular meeting. At the next regular meeting on May 14, 2020, the Planning Commission unanimously granted the applicant's request for reconsideration of the application with a revised project scope. That revised application will be considered at tonight's public hearing.*

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 6/25/2020

**SUBJECT:** **Grading Review EX-4-19; 338 Kings Road; R-1 Residential District;** Reconsideration of Grading Review application for approximately 357 cubic yards of soil cut and export to accommodate a new driveway and additions, including a two-car attached garage, for an existing single-family dwelling; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.

**REQUEST:** The applicant requests reconsideration of grading review for 357 cubic yards of soil cut and export from the subject property. The proposed excavation is required to accommodate additions to the existing single-family dwelling, including construction of a two-car garage, on a site with no on-site parking. The proposed excavation would also accommodate expansion of an existing shared driveway for ingress and egress for the subject property and adjoining property 334 Kings Road, and to allow a new on-grade access stairways for the main dwelling and proposed accessory dwelling unit (ADU).

**RECOMMENDATION:** Recommend the City Engineer issue the grading permit via adoption of Resolution EX-4-19 containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** The project is categorically exempt from the provisions of the California Environmental Quality Act per Section 15301(e) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY or more or 50 CY of soil export per BMC §15.01.081.A and BMC §17.32.220.

### **BACKGROUND:**

A grading application for this property was previously considered by the Planning Commission at the regular meeting of February 27, 2020. After closing the public hearing, the Planning Commission voted 4-0-1 (Commissioner Gomez absent) to deny the application (see attachment H for February 27 agenda report and meeting minutes). However, because no findings of denial were adopted, final action on the application was deferred to the next regular meeting.

Commission meetings in March and April were cancelled due to the Countywide shelter in place order. During that period, the applicant submitted a written request that the Commission reconsider its intent to deny the project and to allow for the reconsideration of a revised project



that addressed the Planning Commission's initial concerns. At its meeting of May 14, 2020, the Planning Commission considered and granted the applicant's request for reconsideration.

### Revised Project

The revised project plans are attached for the Commission's consideration (see Attachment A). The previous plans are provided in Attachment B for reference.

The applicant has made the following revisions to the project plans:

- **Reduced area of additions.** The revised plans show an overall reduction of approximately 300 sq ft in proposed additions to the main dwelling. At the ground floor, this specifically reduces the area of excavation by approximately 185 sq ft, as shown on Sheets A1.2 and C-2 (see Attachment A). This also eliminates the requirement to provide an additional two off-street parking spaces, as the proposed and past additions to the main dwelling (excluding the area of the ADU and covered parking) cumulatively total less than 400 sq ft, which requires no additional parking per BMC Section 17.34.050. Because four parking spaces are no longer required, the previously proposed two parking spaces in the public right-of-way have been eliminated.
- **Revised driveway design.** The revised plans propose a 29 ft curb cut, four feet less than the previously proposed 33 ft curb cut (see Sheets A1.2 and C-2, Attachment A). The revised plan also eliminates the previously proposed expansion of the driveway's existing western edge, removing the conflict with the nearby 28 inch coast live oak street tree which is no longer proposed for removal.
- **Added drainage details.** The revised grading plan includes drainage details showing how stormwater runoff and groundwater will be collected and routed to the City's storm drain system (note: due to its small scale, the project is not required to treat or retain stormwater on-site under the Municipal Regional Stormwater Permit). (See Sheet C-2, Attachment A, and Attachment D, E, F, and G.)

### Technical Studies

At the Commission's request, the applicant has also voluntarily provided a geotechnical investigation prepared by Michelucci and Associates that evaluates the project feasibility based on the site soils and geology (see Attachment G). The investigation includes recommendations on foundation and drainage design based on the site's geological conditions. The applicant's revised grading and drainage plan will be reviewed by the City Engineer at the time of building and grading permit review to ensure the proposed foundation and drainage design conforms to the recommendations of the geotechnical engineer.

The City Engineer has reviewed the grading and site plans and will require the geotechnical investigation and engineered grading plans to be submitted with the building and grading permit applications. The Building Department and Fire Departments have also reviewed the proposed plans and have imposed conditions of approval to be satisfied at building permit, per the conditions of approval contained in Resolution EX-4-19.

**ANALYSIS AND FINDINGS:**

**Grading Permit review:** In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval. The full text of these guidelines are attached for the Commission’s reference in Attachment J. As the 2003 guidelines state, “Although the Municipal Code sets a 250 cubic yard threshold for Planning Commission review of Grading Permits, the fact that a project may include grading of more than 250 cubic yards alone **is not considered a significant or adverse impact**, in that a building alone can require that amount just to set it into the hillside without significantly changing the surround natural topography.”

With the conditions of approval contained in the attached Resolution, the revised project **would meet** the guidelines for Commission approval.

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

As evidenced by the applicant’s revised grading plan and site plan, the proposed excavation is limited to the footprint of the additions, required driveway widening, and pedestrian access stairway to allow access to the house and ADU from the street. The grading plan is designed to allow the new building addition to sit within the hillside without significantly altering the surrounding topography. The location and volume of the proposed excavation is the minimum necessary to allow the site to conform to the parking requirements of the R-1 Residential District and to the driveway design standards contained in Chapter 17.34 of the Municipal Code (maximum driveway grade of 20%). The proposed excavation is also the minimum necessary to allow safe egress and ingress for the adjoining property at 334 Kings Road and is compliant with the recorded vehicular access easement benefitting 334 Kings Road.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

The proposed grading would result in one exposed retaining wall of approximately eight feet in height within a portion of the front setback, extending into the public right-of-way, in conjunction with a new on-grade stairway to provide access from the street to the main dwelling. With the conditions of approval, the visual impact of this wall would be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant’s option at building permit. Additionally, the conditions of approval recommend that the City Engineer consider requiring other new retaining walls within the public right-of-way to be similarly treated or screened. Retaining wall design in the right-of-way is subject to the sole discretion of the City Engineer.

- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30

inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.

The applicant’s grading plan is designed to conserve existing street trees and does not propose removal of any trees on the subject property. The previously proposed driveway design and grading plan called for expansion of the existing driveway to the west, directly conflicting with an existing 28 inch coast live oak street tree. The revised design eliminates that previously proposed expansion and does not call for removal of this street tree.

While the revised design would eliminate the previously proposed conflict with adjacent street trees, Condition of Approval C recommends that the City Engineer consider requiring an arborist report to evaluate the project’s potential impact to the long term health of adjacent street trees. Condition of Approval C further recommends that if the project is found to have significant impacts to the long-term health of adjacent street trees, the applicant should fund planting of replacement street trees reaching similar canopy height at maturity at a 3:1 ratio in the vicinity of the project.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

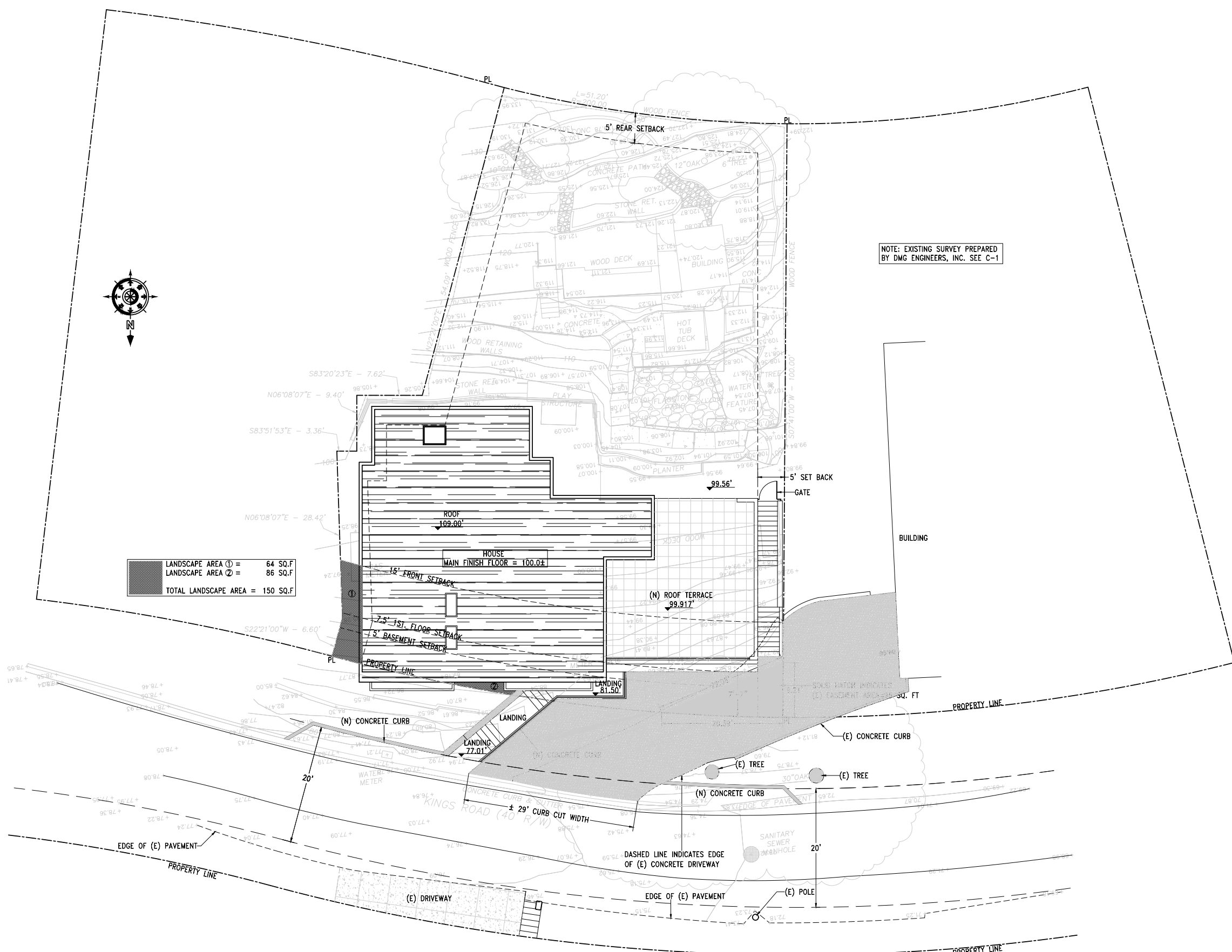
**ATTACHMENTS:**

- A. Applicant’s revised plans
- B. Applicant’s previous plans (extracted from February 27, 2020 agenda report)
- C. Draft Resolution EX-4-19 with recommended Findings and Conditions of Approval
- D. June 3, 2020 letter from the applicant regarding drainage design
- E. June 16, 2020 letter from the applicant regarding project changes
- F. June 17, 2020 letter from Michelucci and Associates
- G. 2018 Geotechnical Investigation prepared by Michelucci and Associates
- H. February 27, 2020 agenda report and meeting minutes
- I. May 14, 2020 agenda report and meeting minutes
- J. 2003 Guidelines for Planning Commission grading review
- K. Written correspondence received from Prem Lall

  
 \_\_\_\_\_  
 Julia Ayres, Senior Planner

  
 \_\_\_\_\_  
 John Swiecki, Community Development Director





**(N) SITE PLAN**  
 1/8"=1'-0"

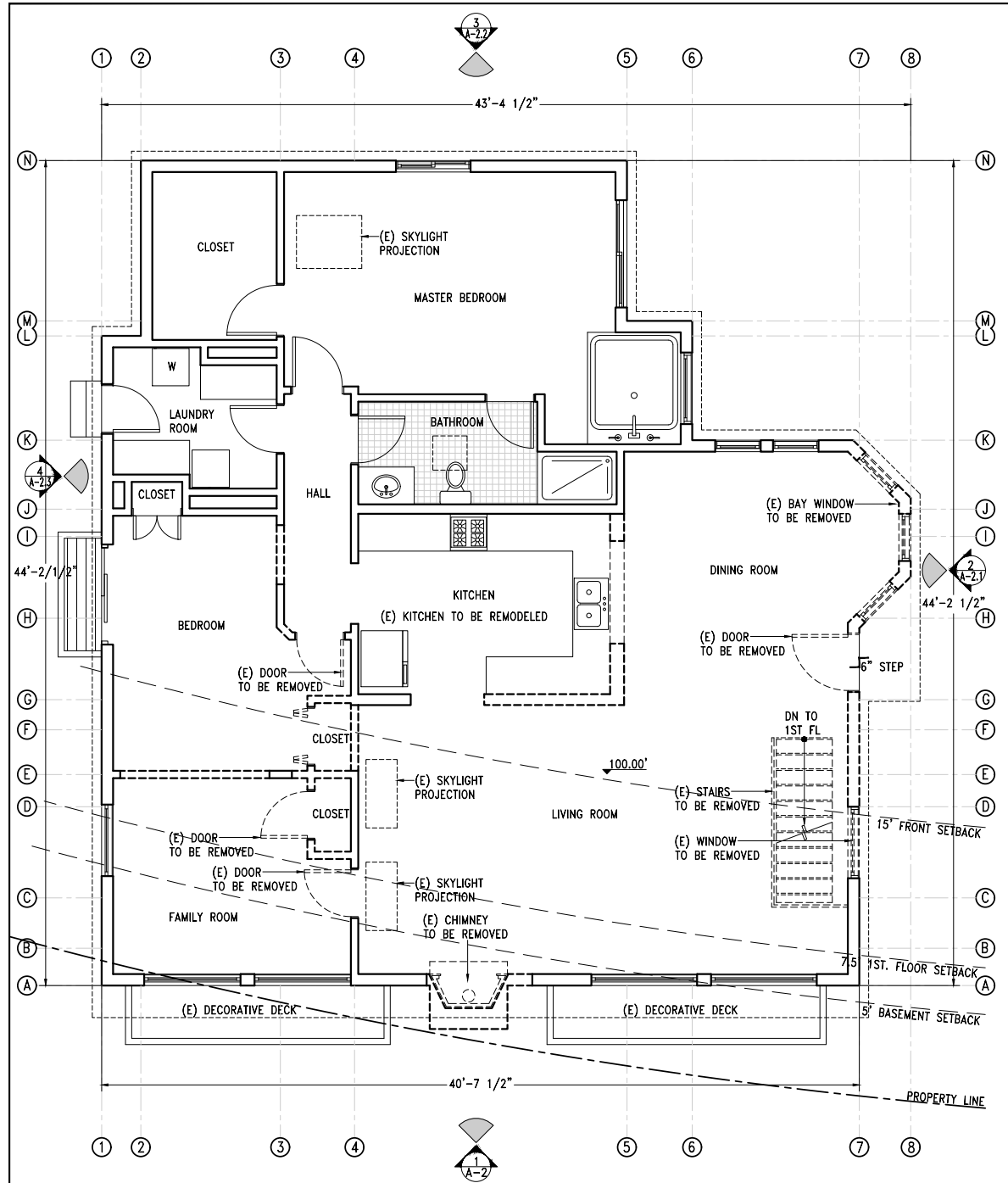
4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:  
 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

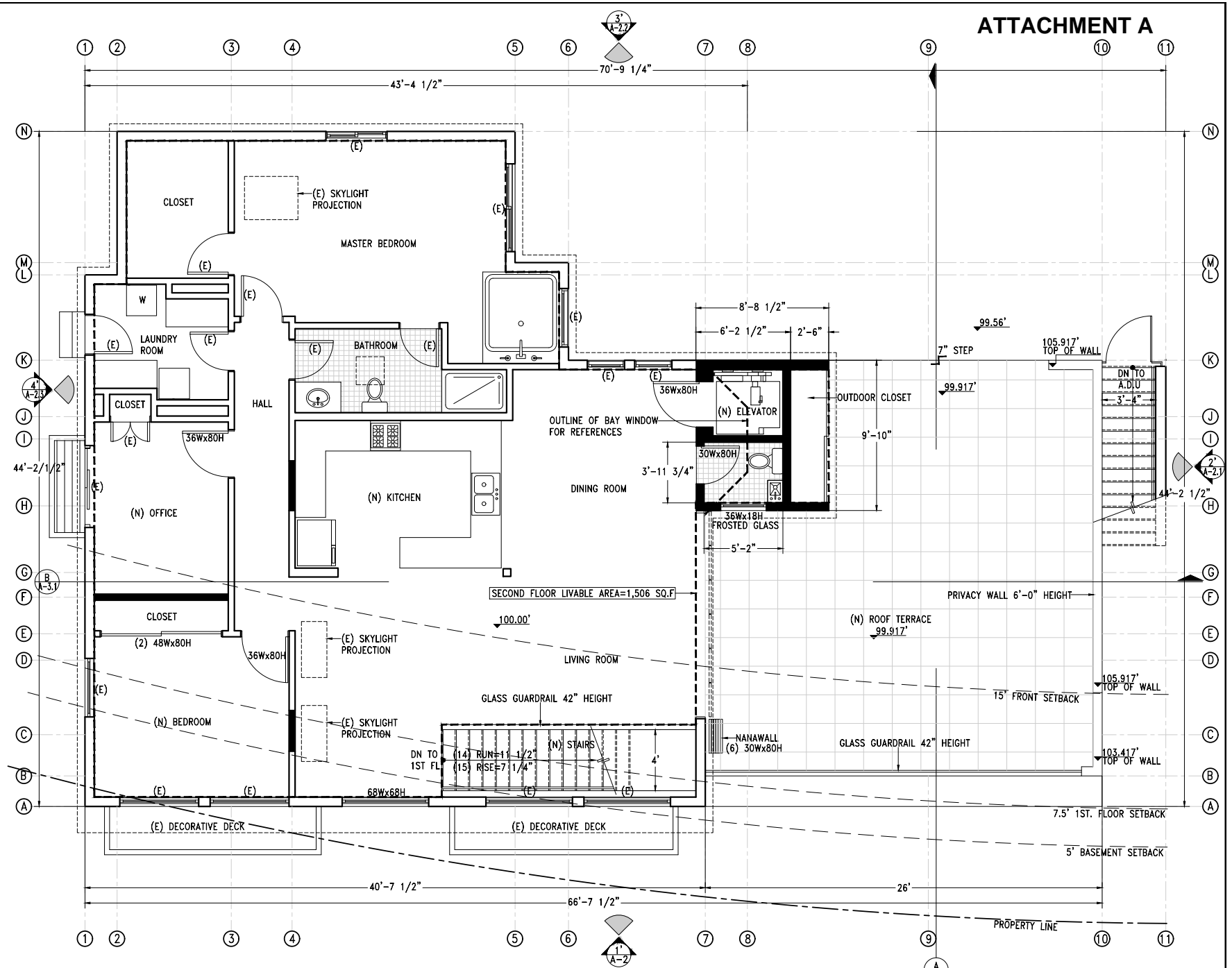


**AZ DESIGN AND ENGINEERING, INC.**  
 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com  
 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

	REVISION/DATE	<h1>A-0.1</h1>
	1. FILING SET 12/06/2019	
SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED RD / AZ	JOB No: AM1120



(E) SECOND FLOOR PLAN  
1/4"=1'-0"



(N) SECOND FLOOR PLAN  
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL

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PER 2016 CALGREEN SECTION 301: THE MANDATORY PROVISIONS OF CHARTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

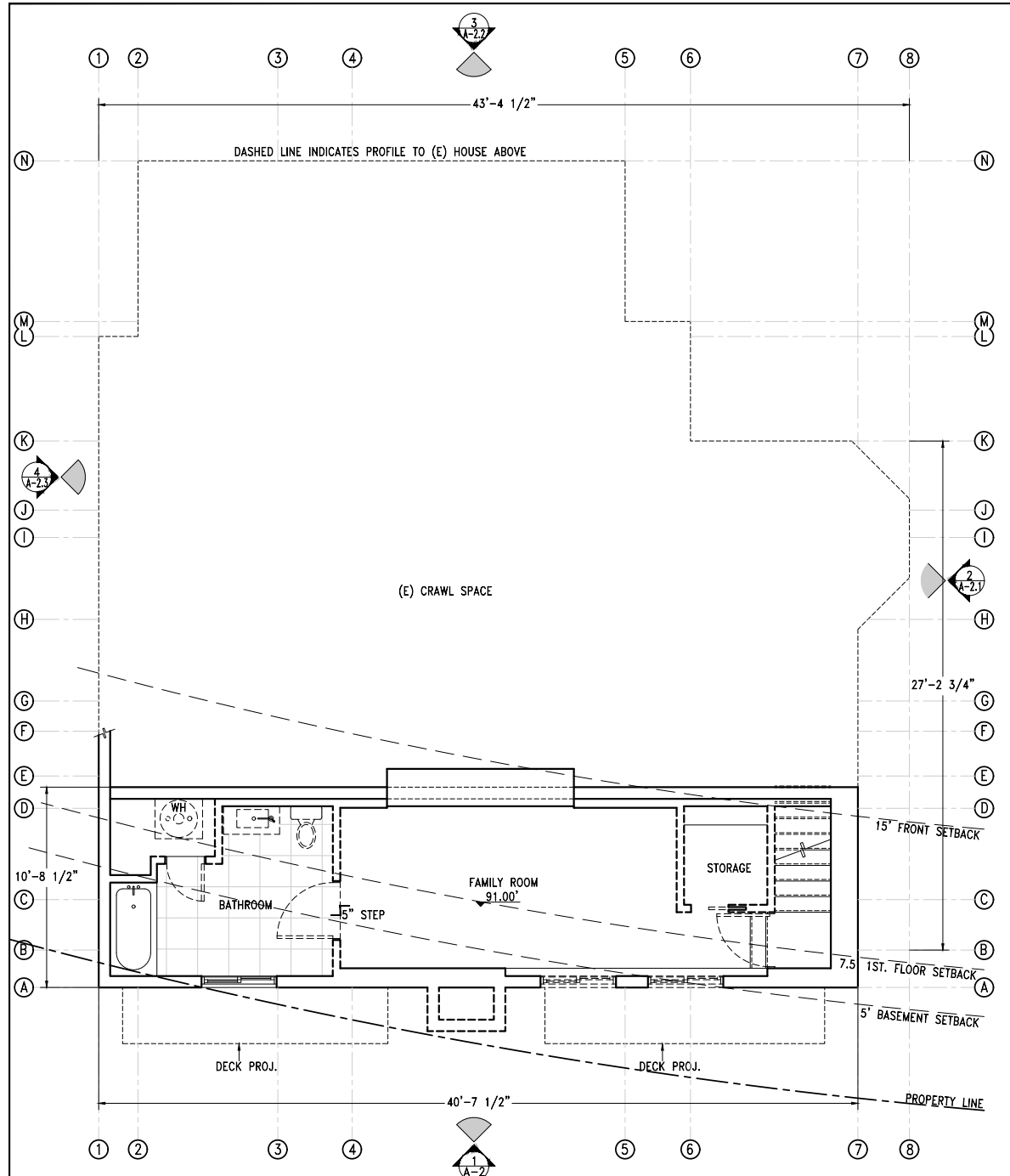
- \* TO PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303 THESE INCLUDE MAXIMUM 1.28 GPF FOR WATER CLOSETS, MAXIMUM 2.0 GPM AT 80 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 2.0 GPM AT 80 PSI, MAXIMUM 1.2 GPM AT 60 PSI FOR LAVATORY FAUCETS, MAXIMUM 1.8 GPM AT 60 PSI AT KITCHEN FAUCETS.
- \* DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- \* SHOW COMPLIANCE WITH CALGREEN SECTION 4.506.1 FOR BATHROOMS EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1).
- \* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHERS OPENINGS AT EXTERIOR WALLS AGAINST PASSAGE OF RODENTS (4.406.1).
- \* COVER DUCTS OPENINGS AND OTHERS RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- \* ADHESIVES SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
- \* PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
- \* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- \* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
- \* MINIMUM 80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL BE COMPLY WITH SECTION 4.504.4.
- \* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- \* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- \* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).



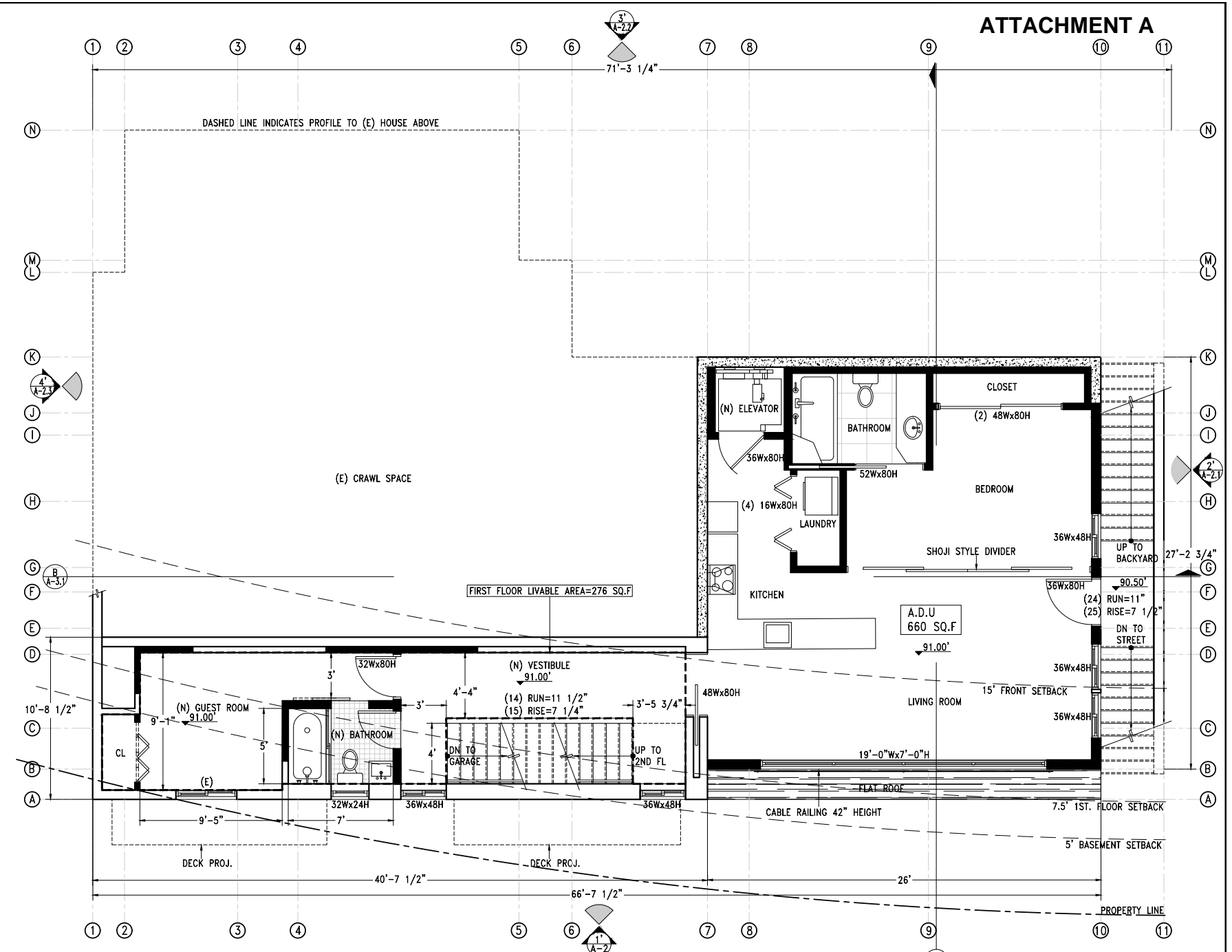
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**OWNER: JOHN HUANG**

	REVISION/DATE
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SCALE:	DRAWN / REVIEWED
AS SHOWN	RD AZ
DATE: NOV/2019	JOB No: AM1120





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1/4"=1'-0"



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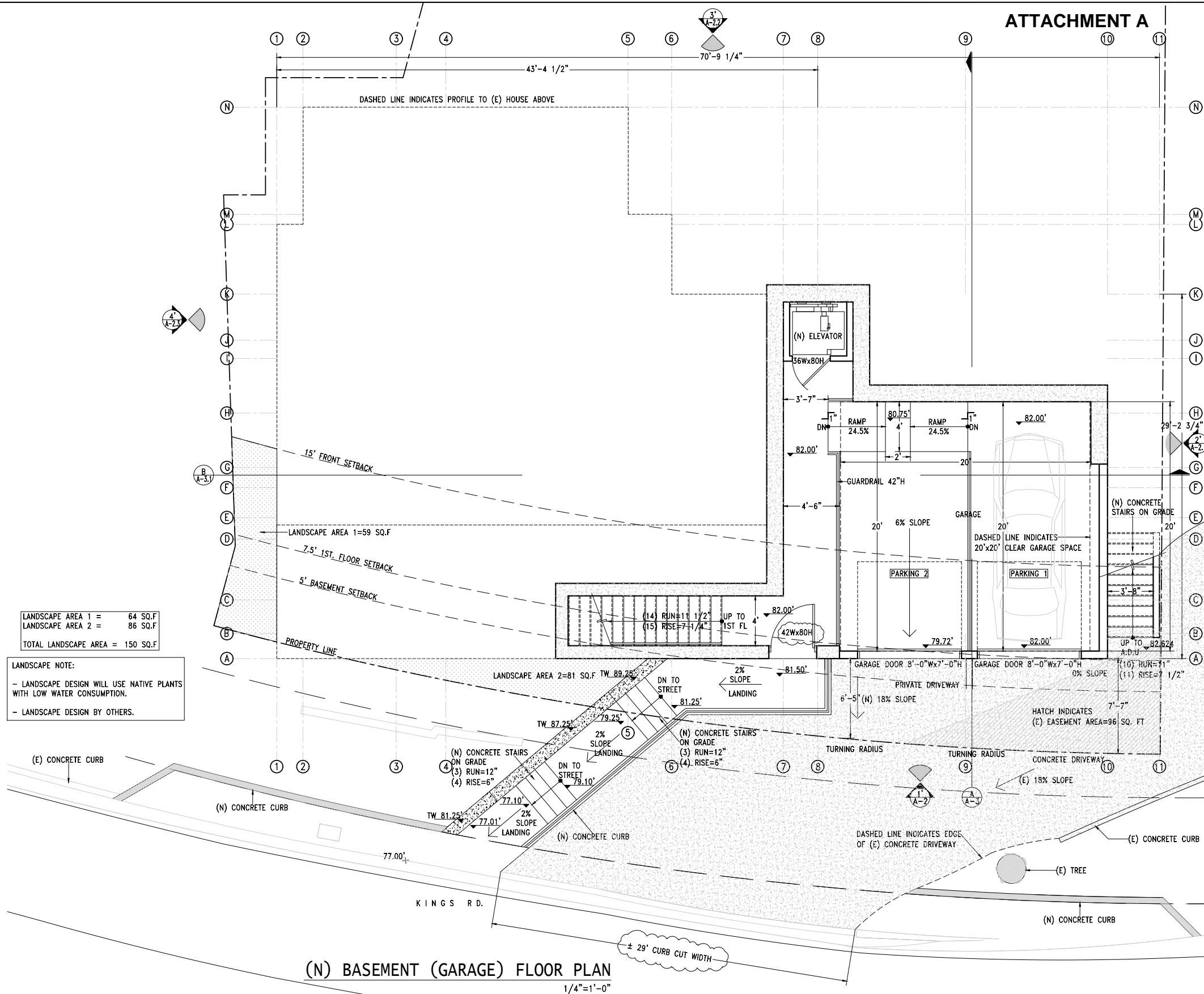
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	<b>REVISION/DATE</b> 1. FILING SET 12/06/2019	<h1>A-1.1</h1>
	SCALE: AS SHOWN DATE: NOV/2019	





LANDSCAPE AREA 1 = 64 SQ.F  
 LANDSCAPE AREA 2 = 86 SQ.F  
 TOTAL LANDSCAPE AREA = 150 SQ.F

LANDSCAPE NOTE:  
 - LANDSCAPE DESIGN WILL USE NATIVE PLANTS WITH LOW WATER CONSUMPTION.  
 - LANDSCAPE DESIGN BY OTHERS.

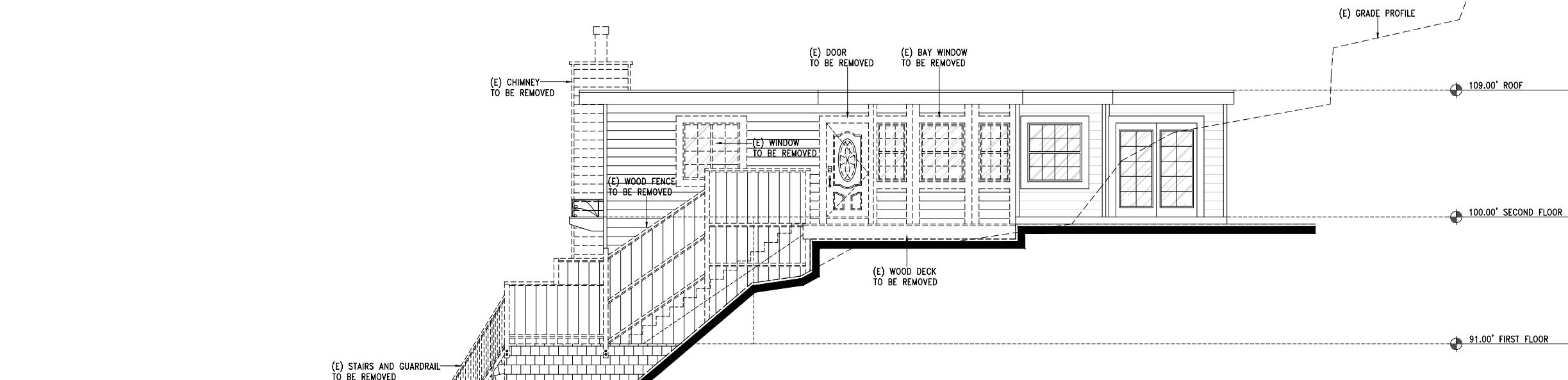
(N) BASEMENT (GARAGE) FLOOR PLAN  
 1/4"=1'-0"



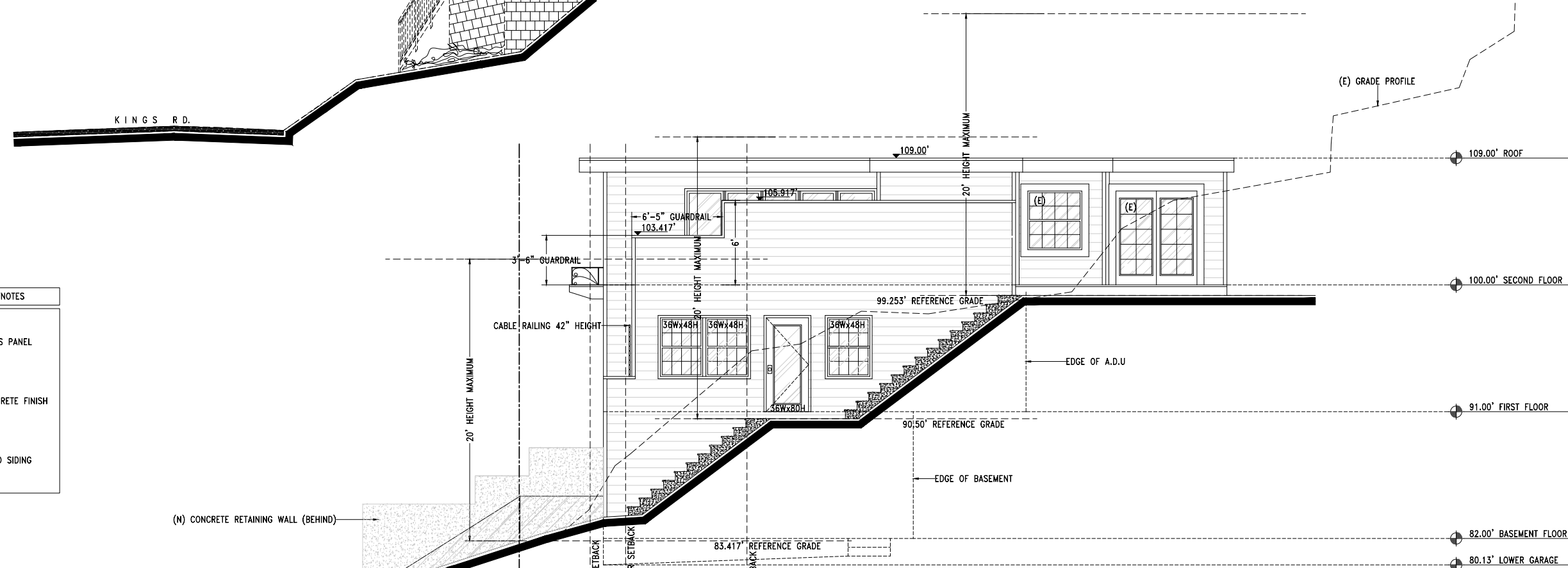
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	REVISION/DATE	<h1>A-1.2</h1>
	1. FILING SET 12/06/2019	
SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED RD / AZ JOB No: AM1120	





2. (E) WEST (RIGHT) ELEVATION  
1/4"=1'-0"



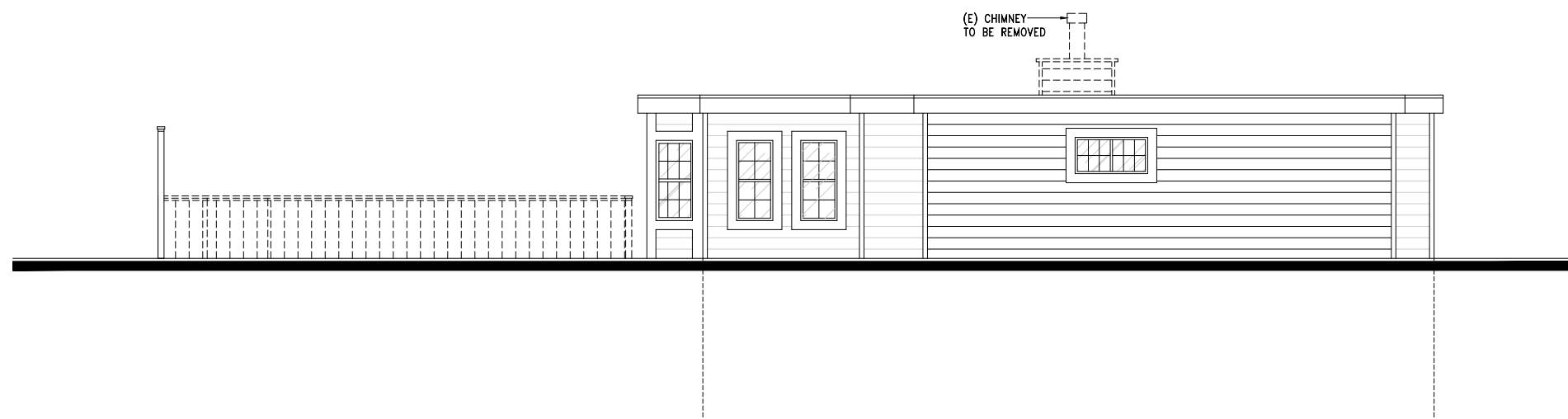
2'. (N) WEST (RIGHT) ELEVATION  
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

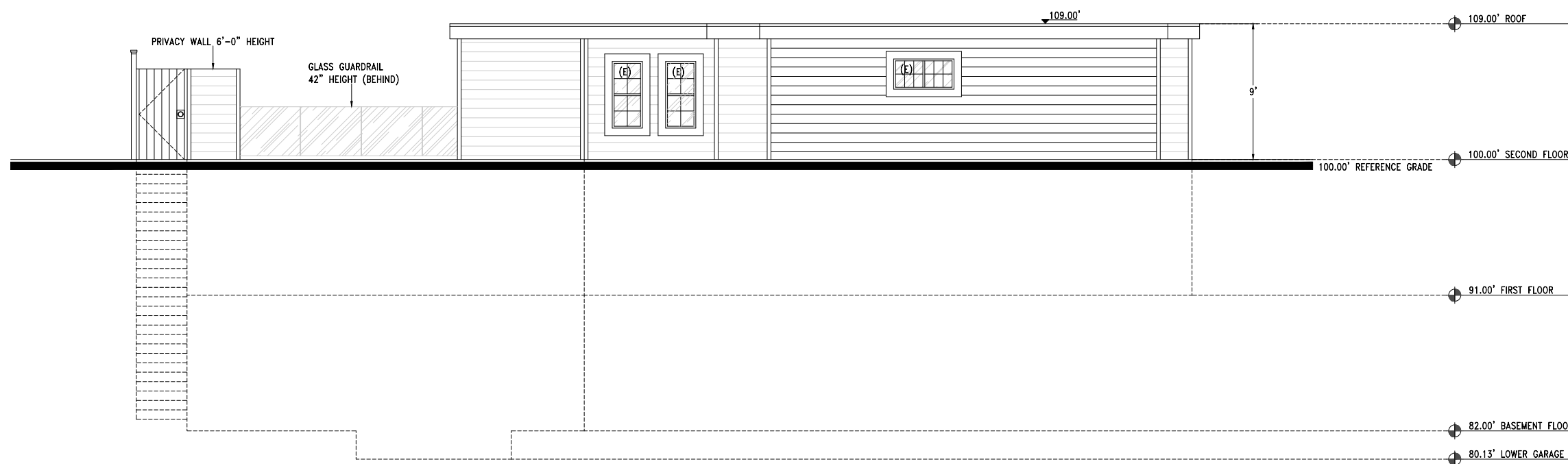


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 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com  
 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

	REVISION/DATE	<p style="font-size: 2em; font-weight: bold;">A-2.1</p>
	1. FILING SET 12/06/2019	
SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED: RD / AZ JOB No: AM1120	



3. (E) SOUTH (REAR) ELEVATION  
1/4"=1'-0"

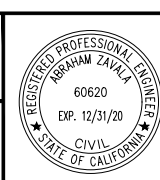


3'. (N) SOUTH (REAR) ELEVATION  
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING



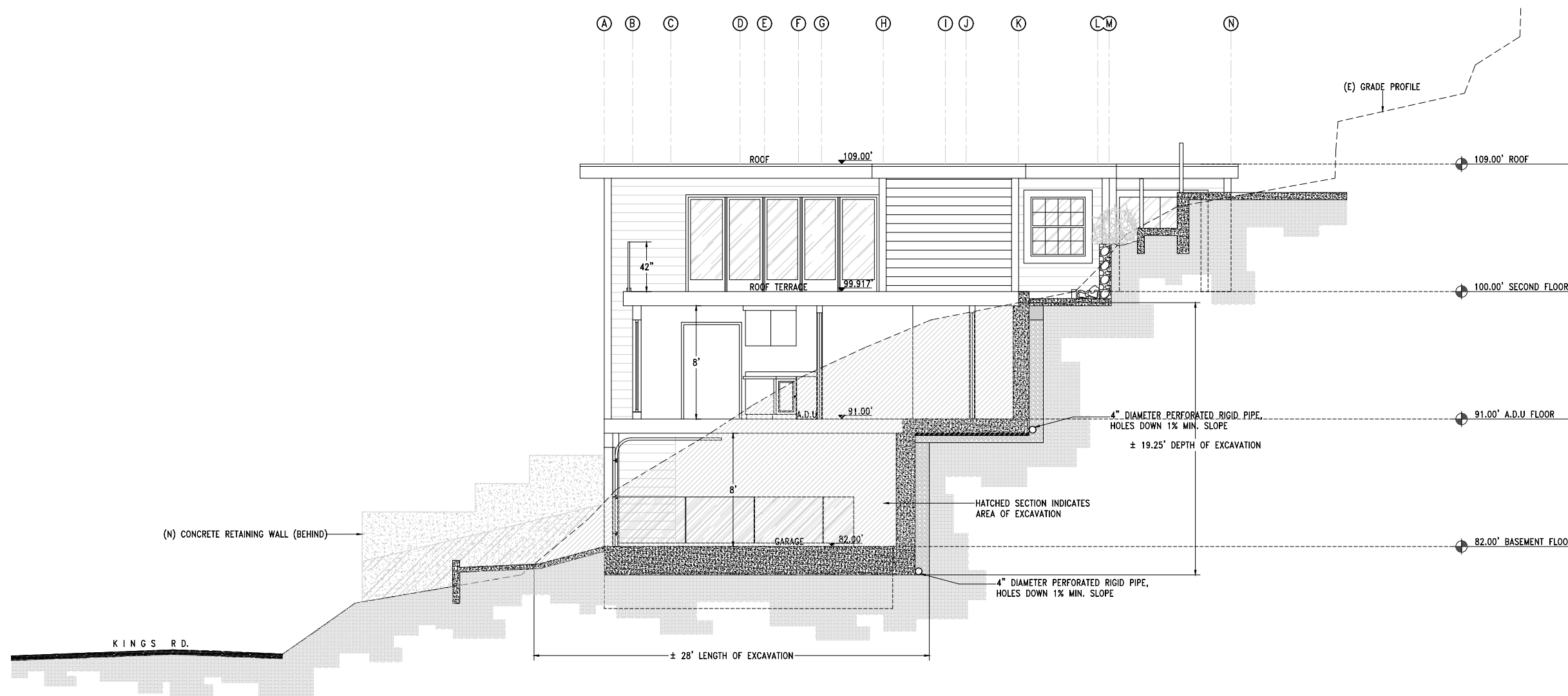
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REVISION/DATE	
1. FILING SET	12/06/2019

A-2.2

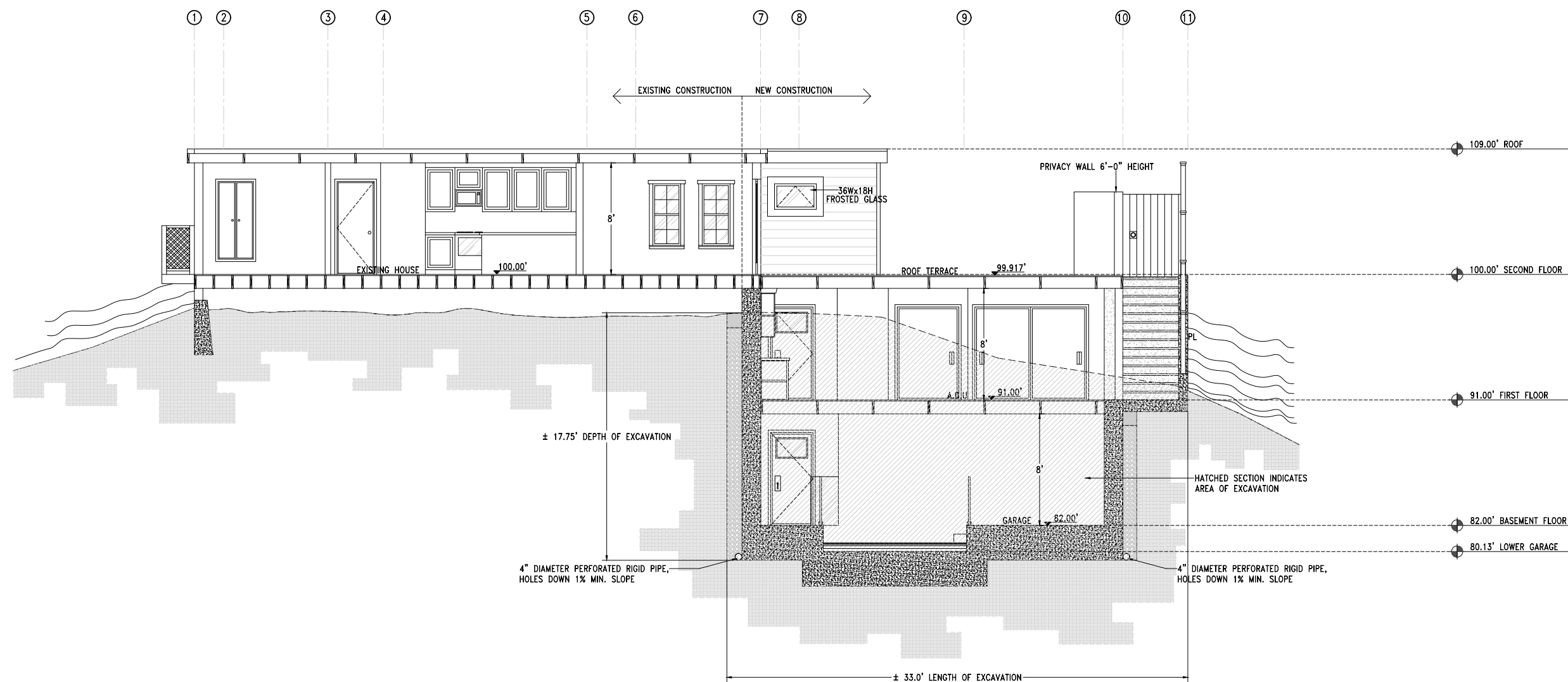




(N) SCHEMATIC LONGITUDINAL CROSS SECTION A  
1/4"=1'-0"

	AZ DESIGN AND ENGINEERING, INC. 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com			REVISION/DATE 1. FILING SET 12/06/2019	
	NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005 OWNER: JOHN HUANG			SCALE: AS SHOWN DATE: NOV/2019	

A-3



(N) SCHEMATIC TRANSVERSAL CROSS SECTION B  
1/4"=1'-0"

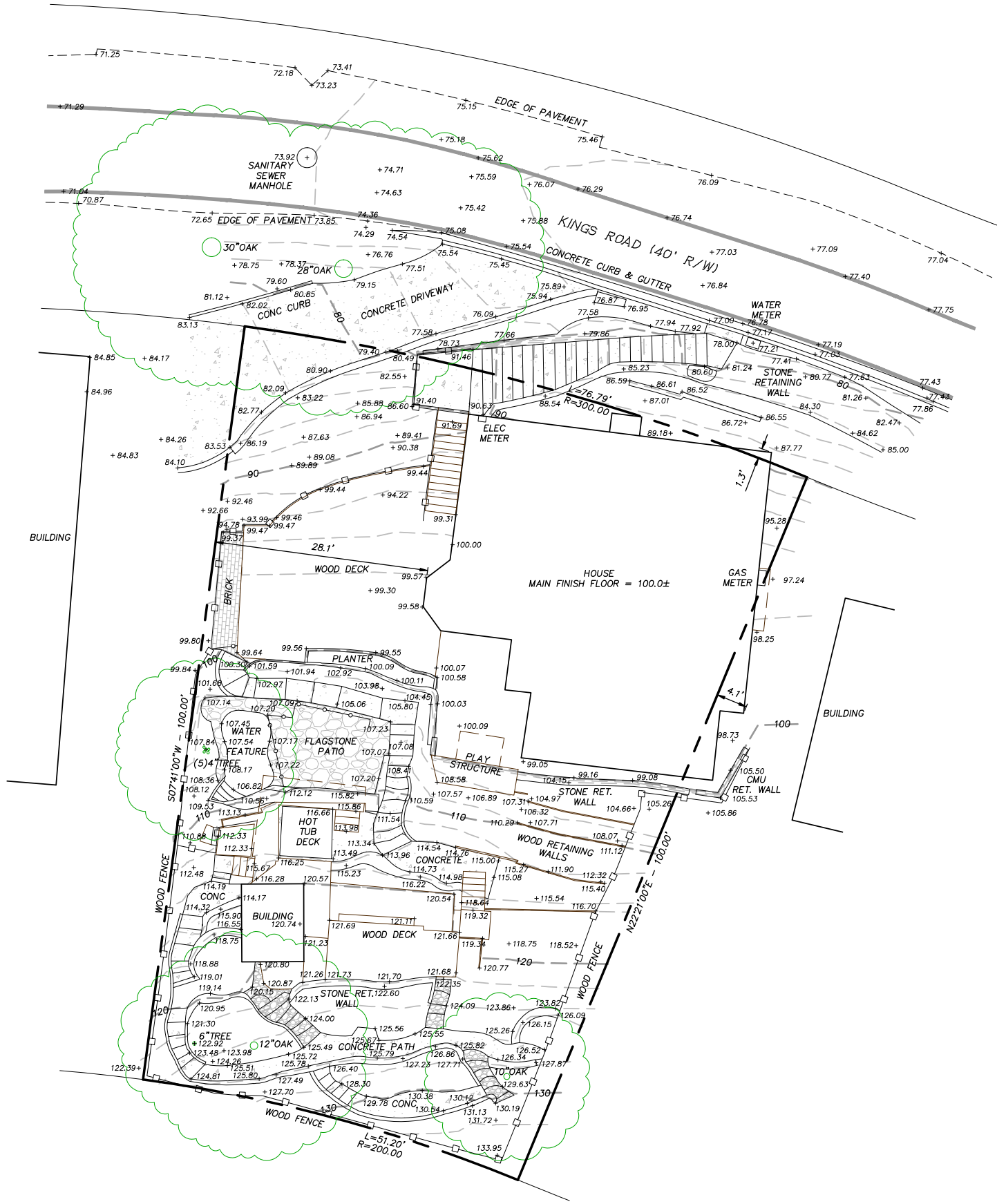
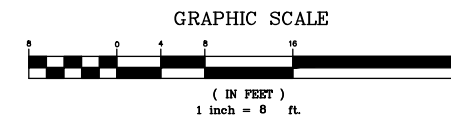
	<b>AZ DESIGN AND ENGINEERING, INC.</b> 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com			REVISION/DATE 1. FILING SET 12/06/2019	A-3.1
	NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005 <b>OWNER: JOHN HUANG</b>			SCALE: AS SHOWN DATE: NOV/2019	



# TOPOGRAPHIC AND BOUNDARY SURVEY

338 KINGS ROAD  
CITY OF BRISBANE

SAN MATEO COUNTY - CALIFORNIA  
SCALE: 1 INCH = 8 FEET  
MAY 2019



LOT AREA:  
6,400± SQUARE FEET

ASSESSOR PARCEL NUMBER:  
007-471-170

### LEGAL DESCRIPTION

LOTS 33, 34, 35, BLOCK 51, AS SHOWN UPON THAT CERTAIN MAP ENTITLED "AMENDED MAP OF SUBDIVISION NO. 1, 2 AND 3 OF CITY OF VISITACION, CALIFORNIA", FILED FOR RECORD ON OCTOBER 4, 1908, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN VOLUME 6 OF MAPS AT PAGE 45.

### NOTES:

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. BASIS OF ELEVATION: ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM. MAIN FINISH FLOOR AT FRONT ENTRY = 100.0.
3. NO TITLE REPORT WAS FURNISHED IN THE COURSE OF THIS SURVEY, THEREFORE EASEMENTS, IF ANY, HAVE NOT BEEN SHOWN.
4. 2' CONTOUR INTERVAL.

### SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:

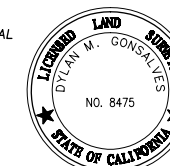
JOHN HUANG IN: MARCH 2019

I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475

ON MAY 8, 2019

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

*Dylan M. Gonsalves*  
DYLAN M. GONSALVES  
5-14-2019  
DATE



**DMG ENGINEERING, Inc.**  
30 OAKVUE COURT  
PLEASANT HILL, CA 94523  
PHONE: (925) 787-0463  
FAX: (925) 287-8503

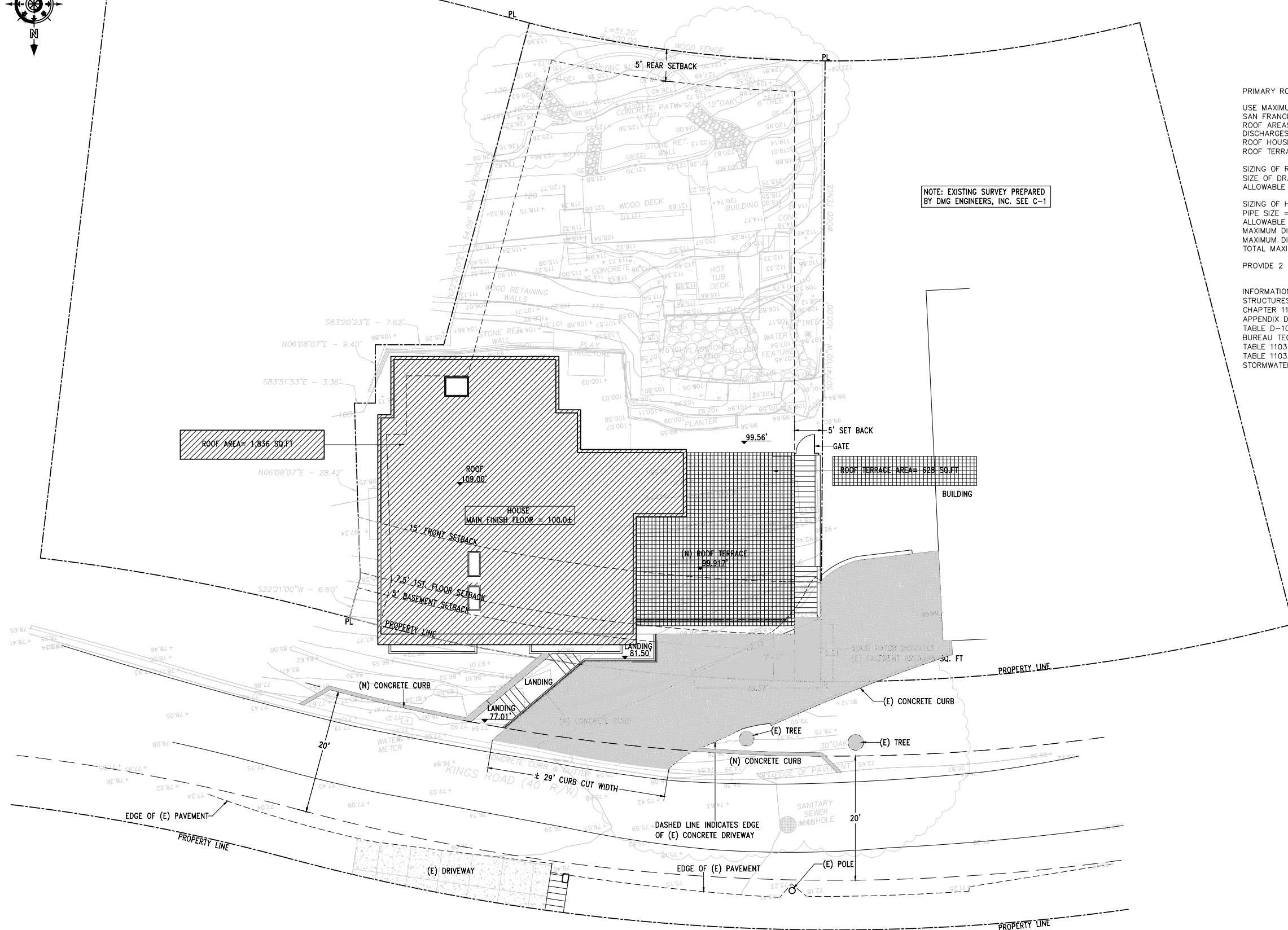
DMG ENGINEERING, INC.  
RESTRICTED ENGINEERING DRAWINGS  
The information, plans, designs, notes and arrangements shown on this drawing are confidential and may not be reproduced in whole or in part without the expressed written permission of DMG ENGINEERING, Inc. Drawings written as Preliminary/schematic and/or concept contain information that is conceptual subject to verification and/or change. The engineer makes no claim for accuracy of conceptual information or of information supplied by others.

NO.	DATE	DESCRIPTION	BY

**TOPOGRAPHIC AND BOUNDARY SURVEY**  
338 KINGS ROAD  
CITY OF BRISBANE - CALIFORNIA  
SCALE: 1 INCH = 8 FEET  
MAY 2019

SHEET 1  
OF 1 SHEETS  
ORIG.DWG: 5-14-2019  
REV.DWG:  
JOB: 19-56





NOTE: EXISTING SURVEY PREPARED BY DMG ENGINEERS, INC. SEE C-1

**PRIMARY ROOF DRAINAGE**

USE MAXIMUM RATE OF RAINFALL OF 60 MINUTES, 100 YEAR RETURN, FROM TABLE D-101.1  
 SAN FRANCISCO RATE - 1.5 INCHES/HR AND 0.016 GPM/SQUARE FOOT  
 ROOF AREAS - ROOF HOUSE AREA = 1,836 SQF - ROOF TERRACE AREA = 628 SQF  
 DISCHARGES BASED ON THE ROOF AREAS:  
 ROOF HOUSE AREA = 1,836 SQF x 0.016 GPM/SQF = 30 GPM  
 ROOF TERRACE = 628 SQF x 0.016 GPM/SQF = 10 GPM

**SIZING OF ROOF DRAINS, LEADERS AND VERTICAL RAINWATER PIPING (TABLE 1103.1)**  
 SIZE OF DRAIN OR PIPE = 2" DIAMETER  
 ALLOWABLE FLOW = 30 GPM

**SIZING OF HORIZONTAL RAINWATER PIPING (TABLE 1101.7)**  
 PIPE SIZE = 3" DIAMETER FLOWING AT 1/4" SLOPE  
 ALLOWABLE FLOW = 48 GPM  
 MAXIMUM DISCHARGE FROM ROOF HOUSE = 30 GPM/2 = 15 GPM (PROVIDE 2 DRAINS PER SIDE)  
 MAXIMUM DISCHARGE FROM ROOF TERRACE = 10 GPM/2 = 5 GPM (PROVIDE 1 DRAIN PER SIDE)  
 TOTAL MAXIMUM DISCHARGE = 15 GPM + 5 GPM = 20 GPM << 48 GPM

PROVIDE 2 OVERFLOW DRAINS AT ROOF HOUSE AND TWO AT ROOF TERRACE (2" ABOVE ROOF LEVEL)

INFORMATION FROM ABOVE IS BASED ON CHAPTER 15 (CBC-2019 ROOF ASSEMBLIES AND ROOFTOP STRUCTURES), 1502 ROOF DRAINAGE.  
 CHAPTER 11 (CPC OR CALIFORNIA PLUMBING CODE 2019),  
 APPENDIX D (CPC-2019) SIZING STORM WATER DRAINAGE SYSTEMS  
 TABLE D-101.1 (CPC-2019) MAXIMUM RATES OF RAINFALL FOR VARIOUS CITIES BASED ON U.S WEATHER BUREAU TECHNICAL PAPER No.40, CHART 14: 100-YEAR 60-MINUTE RAINFALL (INCHES).  
 TABLE 1103.1 (CPC-2019) SIZING ROOF DRAINS, LEADERS, AND VERTICAL RAINWATER PIPING.  
 TABLE 1103.2 (CPC-2019) SIZING OF HORIZONTAL RAINWATER PIPING.  
 STORMWATER REQUIREMENTS CHECKLIST FOR SMALL PROJECTS (CITY OF BRISBANE).

PRIMARY ROOF DRAINAGE PLAN  
 1/8"=1'-0"

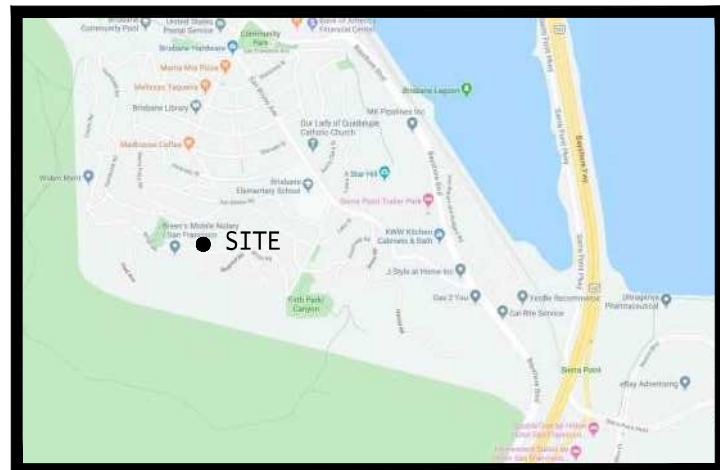


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**OWNER: JOHN HUANG**

	REVISION/DATE
	1. FILING SET 06/03/2020
SCALE:	DRAWN / REVIEWED
AS SHOWN	RD AZ
DATE: NOV/2019	JOB No: AM1120



LOCATION MAP



VICINITY MAP



LOT/OWNER INFORMATION

338 KINGS RD., BRISBANE, CALIFORNIA 94005  
 APN: 007-471-170  
 (E) LOT AREA: ± 6,400 SQ.FT  
 ZONE DISTRICT: R-1  
 OCCUPANCY CLASS: R-3/U  
 TYPE OF CONSTRUCTION: V-B  
 FIRE SPRINKLERS: NO  
 NUMBER OF BUILDINGS: 1  
 (E) STORIES: 2  
 (N) STORIES: 2+BASEMENT

OWNER(S) INFORMATION:  
 NAME: JOHN HUANG  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005

SCOPE OF WORK

1. ADD NEW 2 CAR GARAGE DETACHED FROM EXISTING HOUSE.
2. ADD NEW A.D.U (660 SQ.F) ON TOP NEW GARAGE.
3. REMODEL EXISTING UNIT.
4. ADD NEW ELEVATOR TO CONNECT A.D.U AND EXISTING UNIT.
5. ADD NEW 2 PARKING SPACES ALONG STREET.

AREAS

EXISTING BUILDING	
EXISTING:	NEW:
SECOND FLOOR	
-LIVABLE AREA=1,501 SQ.F	-LIVABLE AREA=1,570 SQ.F
	-DECK AREA= 545 SQ.F
FIRST FLOOR	
-LIVABLE AREA=318 SQ.F	-LIVABLE AREA= 281 SQ.F
BASEMENT FLOOR	
	-GARAGE AREA= 768 SQ.F
TOTAL LIVABLE=1,819 SQ.F	TOTAL LIVABLE=1,851 SQ.F
	DECK AREA= 545 SQ.F
	GARAGE AREA= 768 SQ.F
	GRAND TOTAL= 3,164 SQ.F
NEW A.D.U	
	-A.D.U AREA= 660 SQ.F

INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-0 (E) SITE MAP AND PROJECT INFORMATION
  - A-0.1 (N) SITE PLAN
  - A-1 (E) AND (N) SECOND FLOOR PLANS
  - A-1.1 (E) AND (N) FIRST FLOOR PLANS
  - A-1.2 (N) BASEMENT (GARAGE) FLOOR PLAN
  - A-2 (E) AND (N) NORTH ELEVATIONS
  - A-2.1 (E) AND (N) WEST ELEVATIONS
  - A-2.2 (E) AND (N) SOUTH ELEVATIONS
  - A-2.3 (E) AND (N) EAST ELEVATIONS
  - A-3 (N) SCHEMATIC CROSS SECTION
  - A-3.1 (N) SCHEMATIC CROSS SECTION
- CIVIL**
- C-1 TOPOGRAPHIC AND BOUNDARY SURVEY
  - C-2 PROPOSED GRADING PLAN

# 338 KINGS RD., BRISBANE, CALIFORNIA 94005

MATERIALS

- ACUSTIC TILE OR BOARD
- BITUMINOUS CONCRETE SHOW PROFILE ONLY
- CERAMIC TILE
- CONCRETE CAST IN PLACE OR PRECAST
- CONCRETE BLOCK
- EARTH
- GLASS OMIT INDICATION IN THIN MATERIAL
- GYPSUM BOARD OMIT DOUBLE LINES AT SMALL SCALE
- GYPSUM SHEATHING
- HARDBOARD
- INSULATION, BATT
- METAL OMIT INDICATION IN THIN MATERIAL
- MORTAR
- PLASTER ON METAL LATH
- PLASTIC LAMINATE
- PLYWOOD
- RIGID INSULATION
- ROCK FILL
- SAND
- WOOD, FINISH
- WOOD, FRAMING THROUGH MEMBER
- WOOD, FRAMING INTERRUPTED MEMBER

SYMBOLS

- (X) NOTE MARK
- (A1) DOOR MARK
- (A) WINDOW MARK - LETTERS
- (S) LOUVER MARK - NUMBERS
- (A) TOILET ACCESSORY
- (1) REVISION MARK
- (A) COLUMN/ GRID LINE MARK
- (M) MATCH MARK AND LINE
- (3/2) SECTION CUT MARK
- (3/2) EXTERIOR ELEVATION MARK
- (3/2) INTERIOR ELEVATION MARK
- (3/2) DETAIL MARK

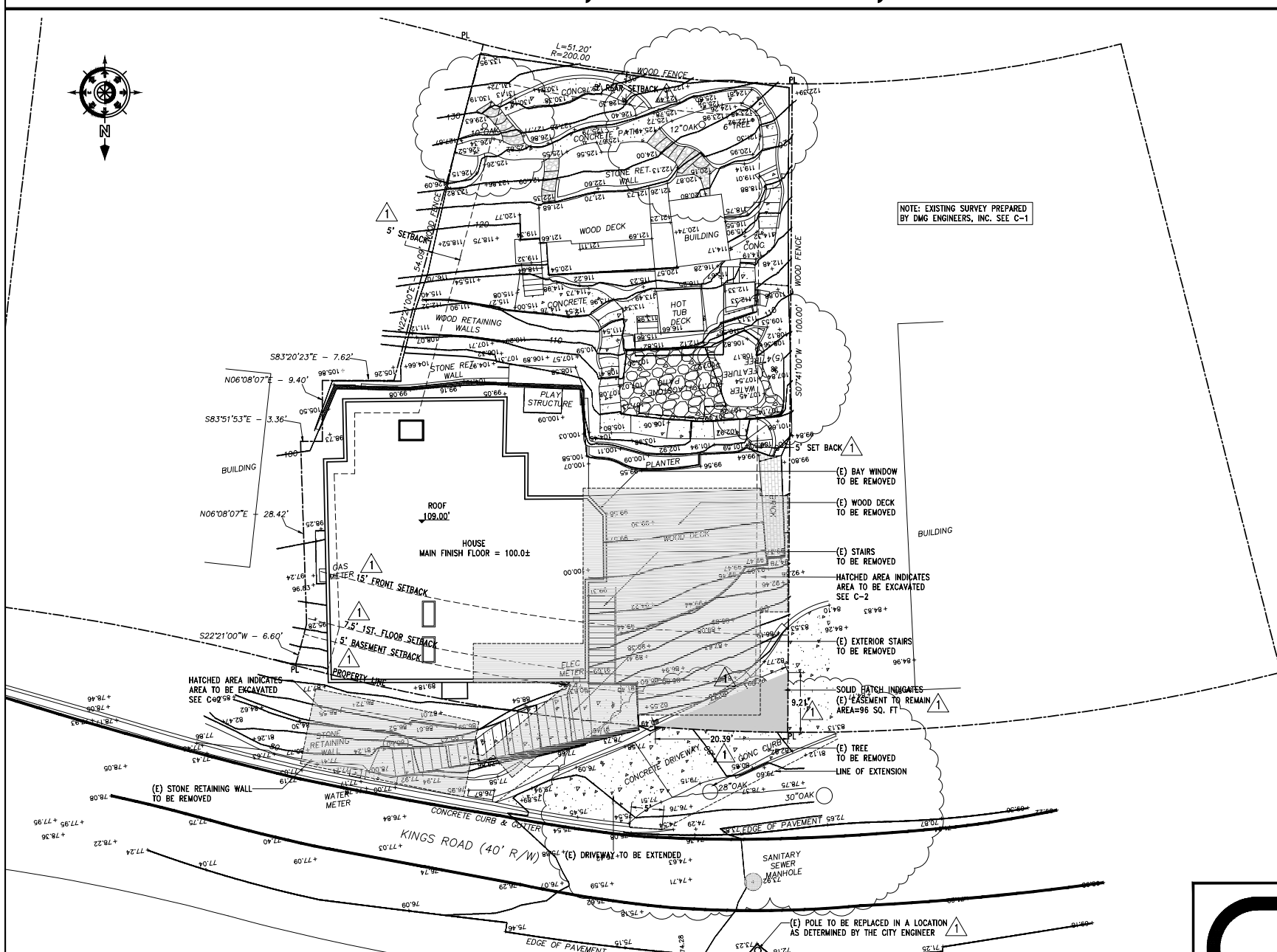
APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE (BASED ON 2015 INTERNATIONAL BUILDING CODE)
- 2016 CALIFORNIA ELECTRICAL CODE (BASED ON 2014 NATIONAL ELECTRICAL CODE)
- 2016 CALIFORNIA PLUMBING CODE (BASED ON 2015 UNIFORM PLUMBING CODE)
- 2016 CALIFORNIA MECHANICAL CODE (BASED ON 2015 UNIFORM MECHANICAL CODE)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
- 2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE

NOTES

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(E) SITE PLAN N.T.S

AZ

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**OWNER: JOHN HUANG**

REVISION/DATE

1. FILING SET 12/06/2019

▲ CITY ENGINEER COMMENTS 01/10/2020

A-0

REGISTERED PROFESSIONAL ENGINEER

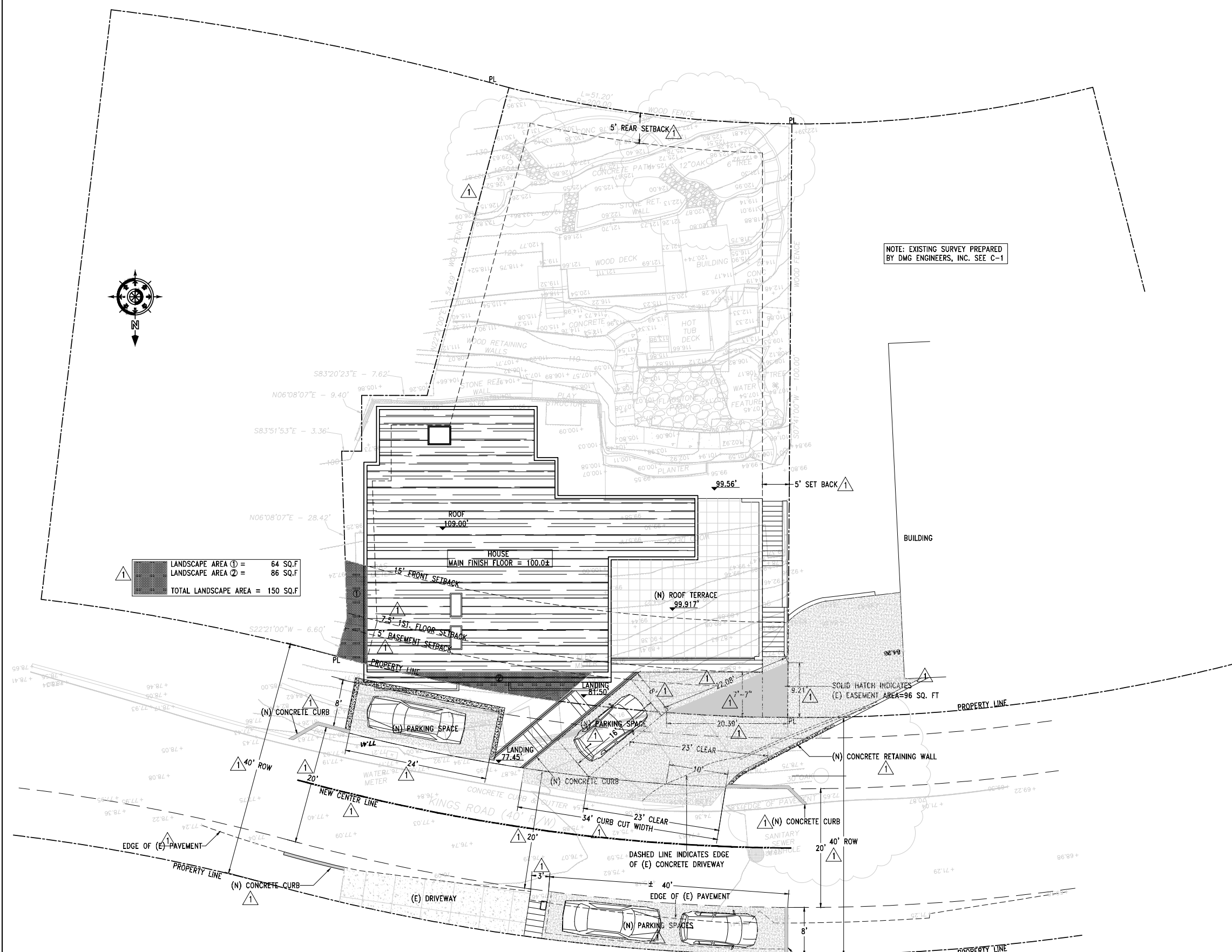
ABRAHAM ZAKARIA

60620

EXP. 12/31/20

CIVIL

STATE OF CALIFORNIA

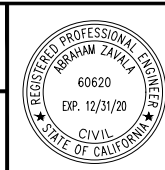


4.008.2 CONSTRUCTION WASTE MANAGEMENT PLAN:  
 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

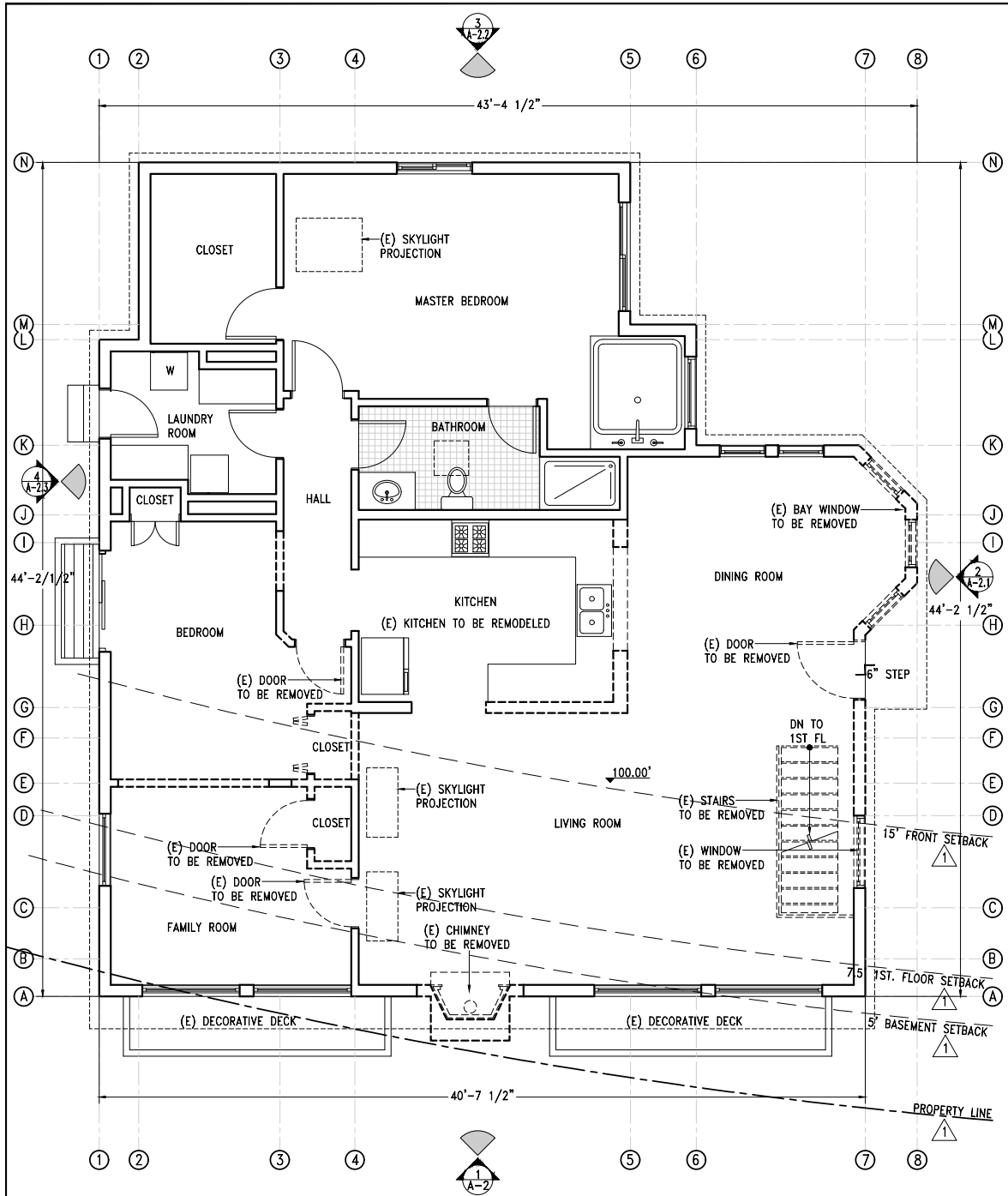


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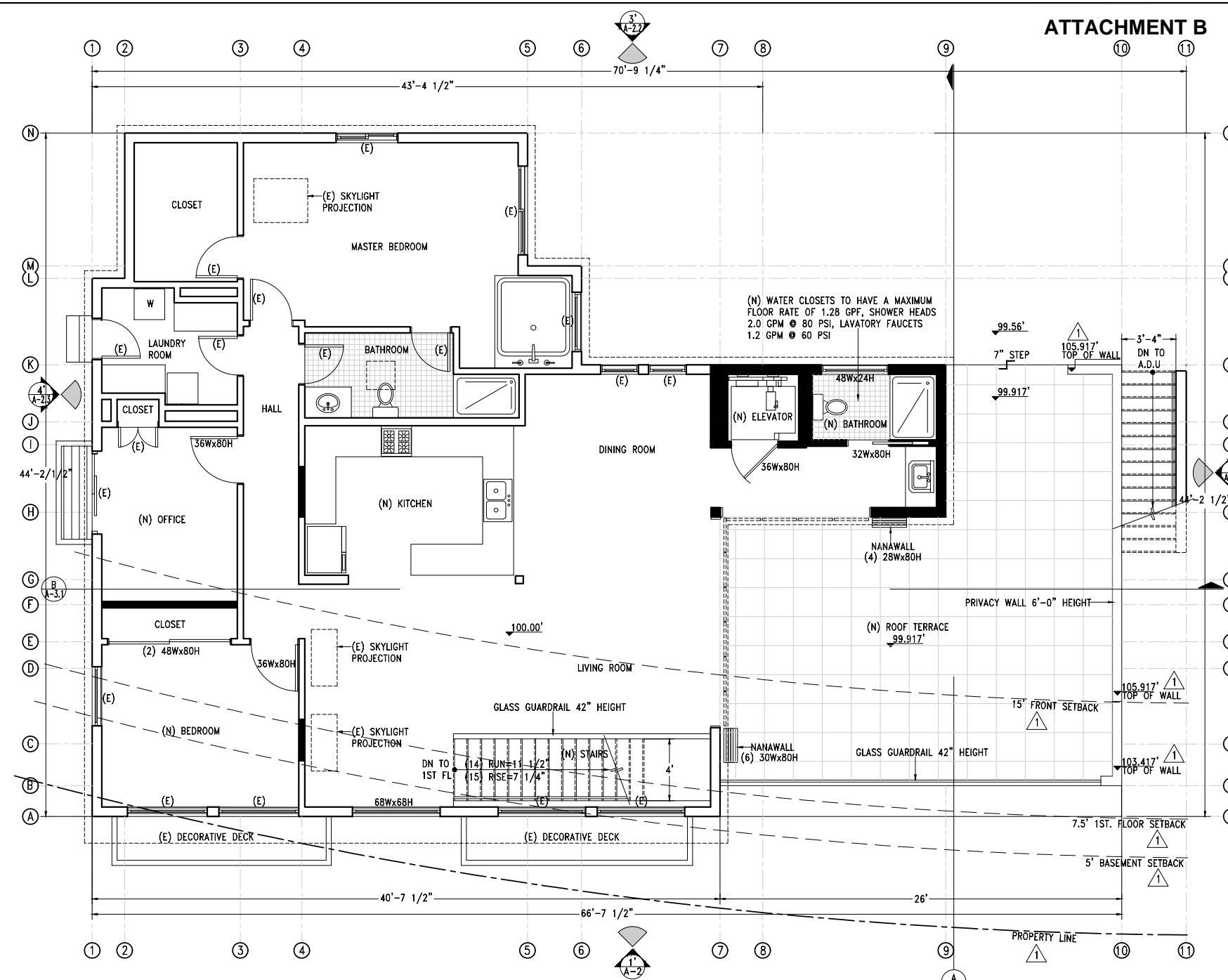
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SCALE: AS SHOWN	DRAWN / REVIEWED: AZ
DATE: NOV/2019	JOB No: AM1120

**A-0.1**



(E) SECOND FLOOR PLAN

1/4"=1'-0"



(N) SECOND FLOOR PLAN

1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL

- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:  
 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.
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  5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

- PER 2016 CALGREEN SECTION 301: THE MANDATORY PROVISIONS OF CHARTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.
- \* TO PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303 THESE INCLUDE MAXIMUM 1.28 GPF FOR WATER CLOSETS, MAXIMUM 2.0 GPM AT 80 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 2.0 GPM AT 80 PSI, MAXIMUM 1.2 GPM AT 60 PSI FOR LAVATORY FAUCETS, MAXIMUM 1.8 GPM AT 60 PSI AT KITCHEN FAUCETS.
  - \* DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
  - \* SHOW COMPLIANCE WITH CALGREEN SECTION 4.506.1 FOR BATHROOMS EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1).
  - \* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHERS OPENINGS AT EXTERIOR WALLS AGAINST PASSAGE OF RODENTS (4.406.1).
  - \* COVER DUCTS OPENINGS AND OTHERS RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
  - \* ADHESIVES SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
  - \* PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
  - \* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
  - \* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
  - \* MINIMUM 80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL BE COMPLY WITH SECTION 4.504.4.
  - \* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
  - \* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
  - \* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).

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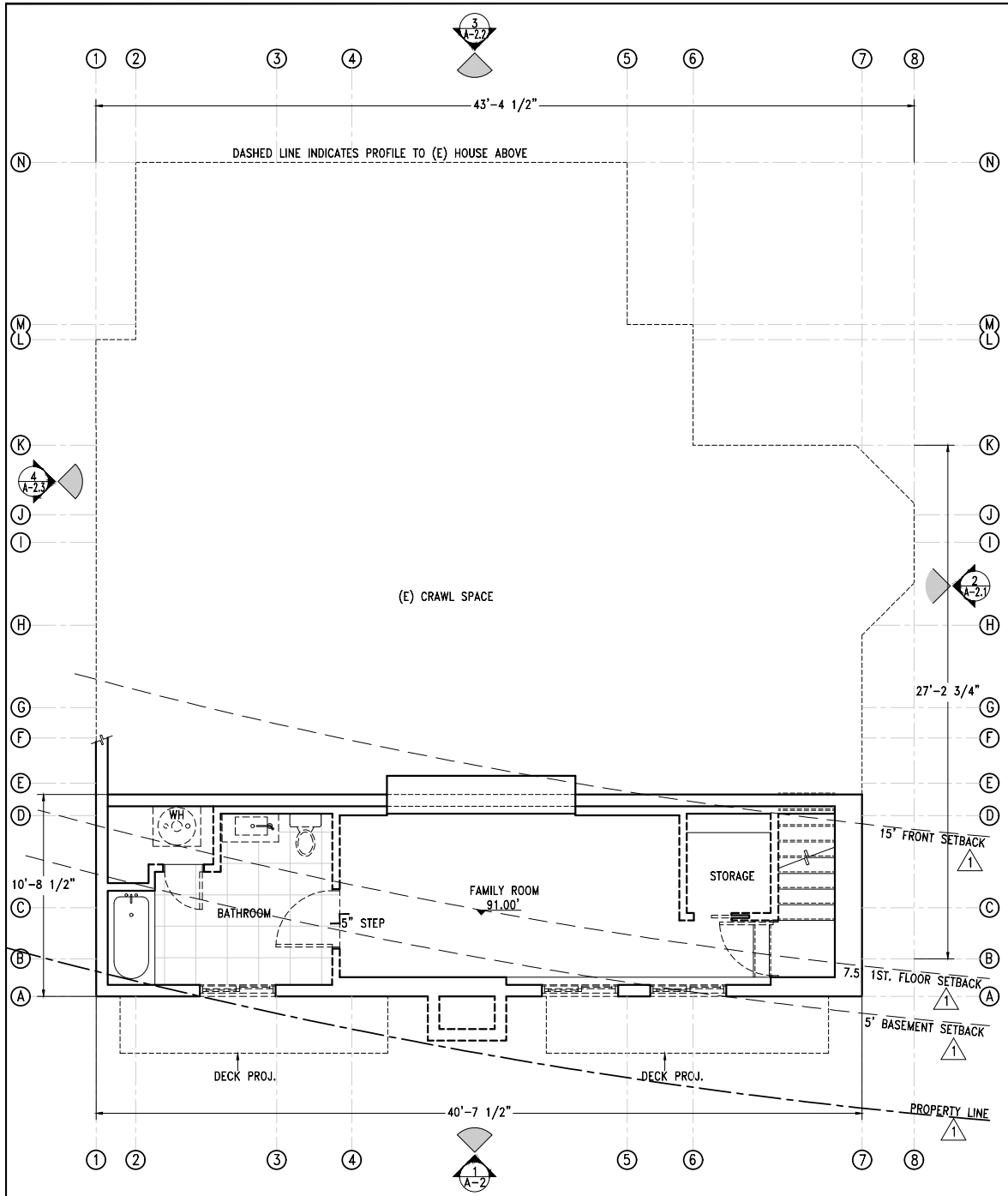
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REGISTERED PROFESSIONAL ENGINEER  
 ABRAHAM ZANKA  
 60620  
 EXP. 12/31/20  
 CIVIL  
 STATE OF CALIFORNIA

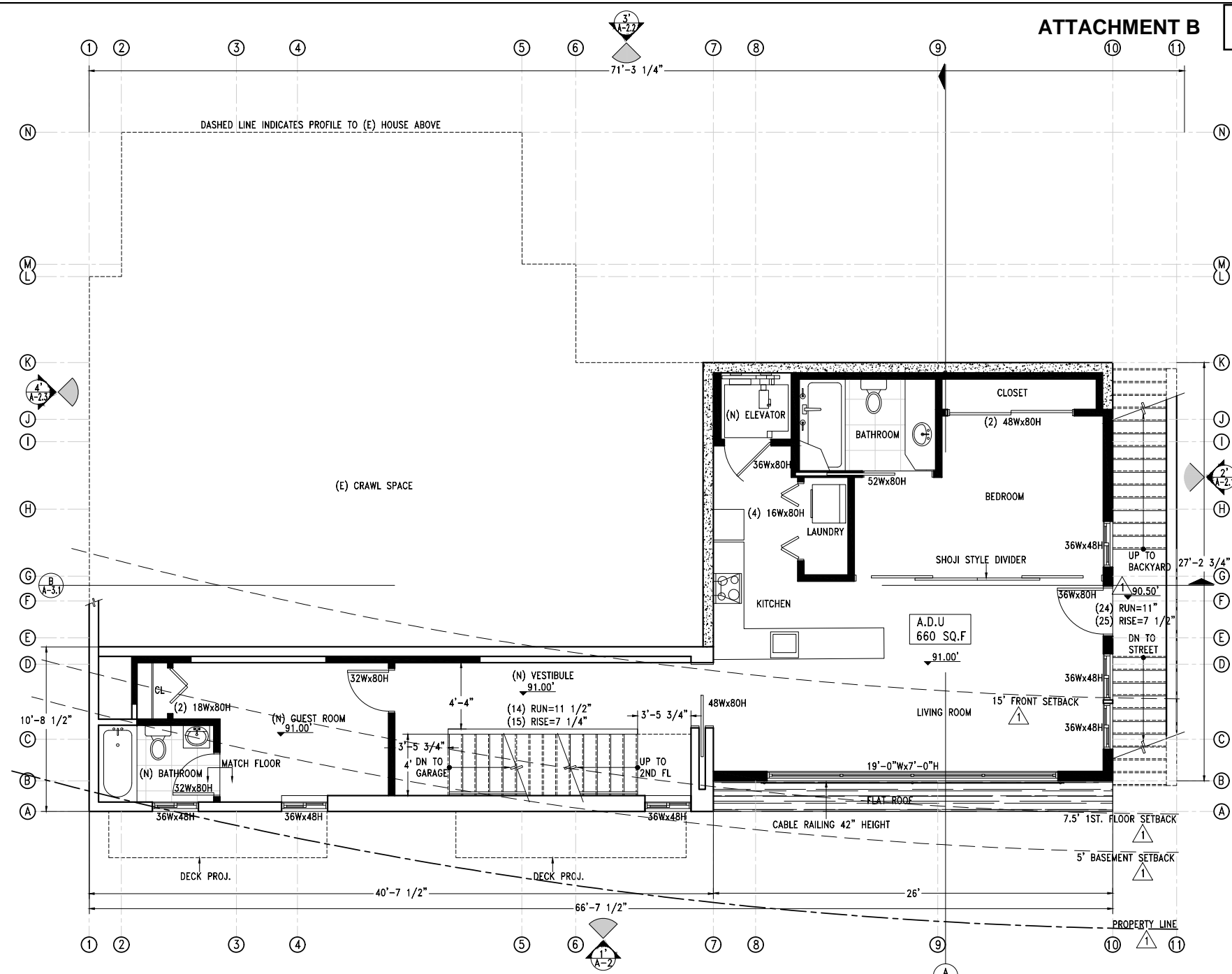
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 CITY ENGINEER COMMENTS 01/10/2020

SCALE: AS SHOWN DRAWN / REVIEWED  
 RD AZ  
 DATE: NOV/2019 JOB No: AM1120

A-1



(E) FIRST FLOOR PLAN  
1/4"=1'-0"

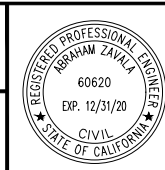


(N) FIRST FLOOR PLAN  
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL
	(N) CONCRETE WALL

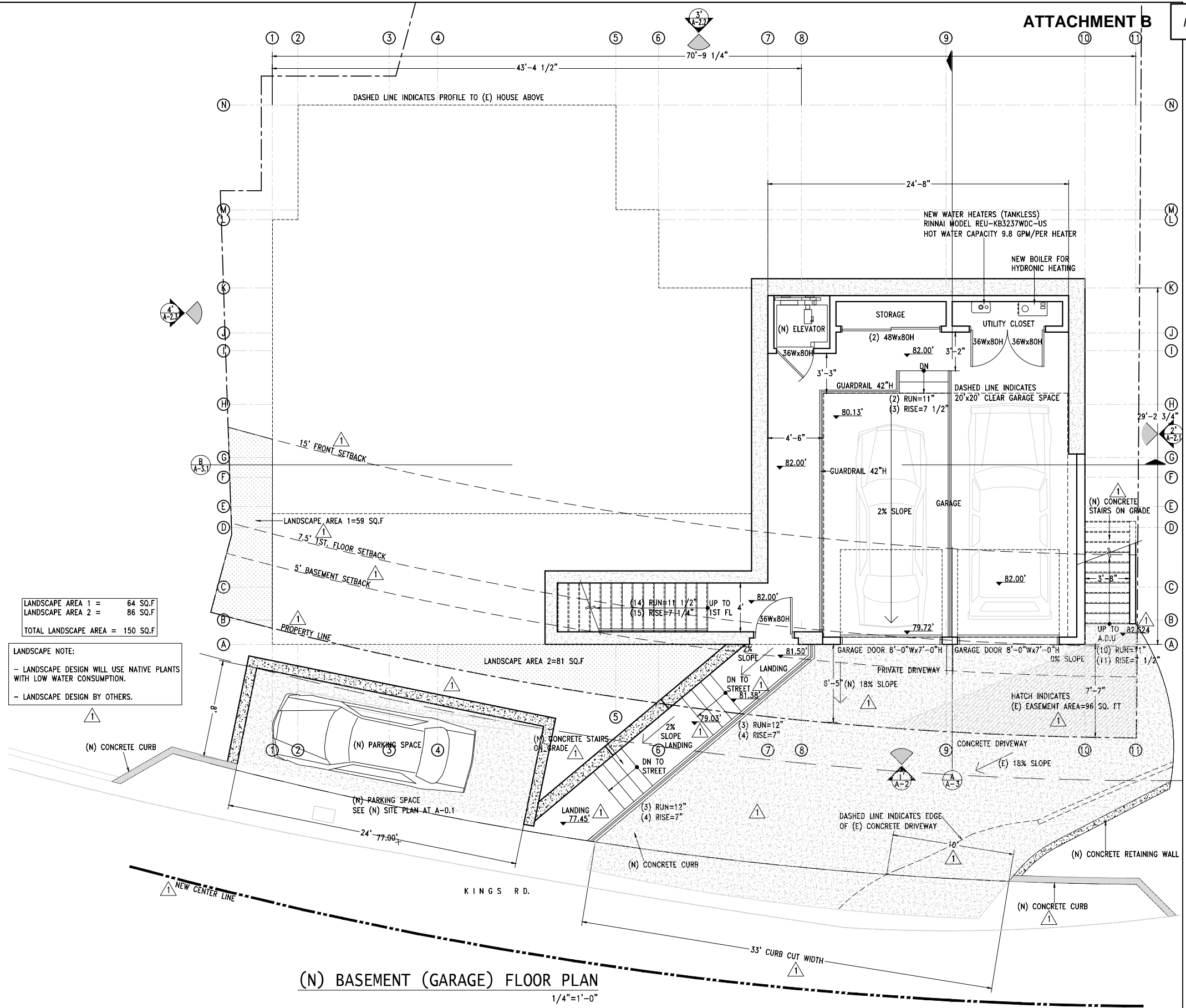


**AZ DESIGN AND ENGINEERING, INC.**  
 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com  
 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**



REVISION/DATE	
1. FILING SET	12/06/2019
CITY ENGINEER COMMENTS 01/10/2020	
SCALE: AS SHOWN	DRAWN / REVIEWED: AZ
DATE: NOV/2019	JOB NO: AM1120





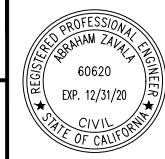
LANDSCAPE AREA 1 = 64 SQ.F  
 LANDSCAPE AREA 2 = 86 SQ.F  
 TOTAL LANDSCAPE AREA = 150 SQ.F

LANDSCAPE NOTE:  
 - LANDSCAPE DESIGN WILL USE NATIVE PLANTS WITH LOW WATER CONSUMPTION.  
 - LANDSCAPE DESIGN BY OTHERS.

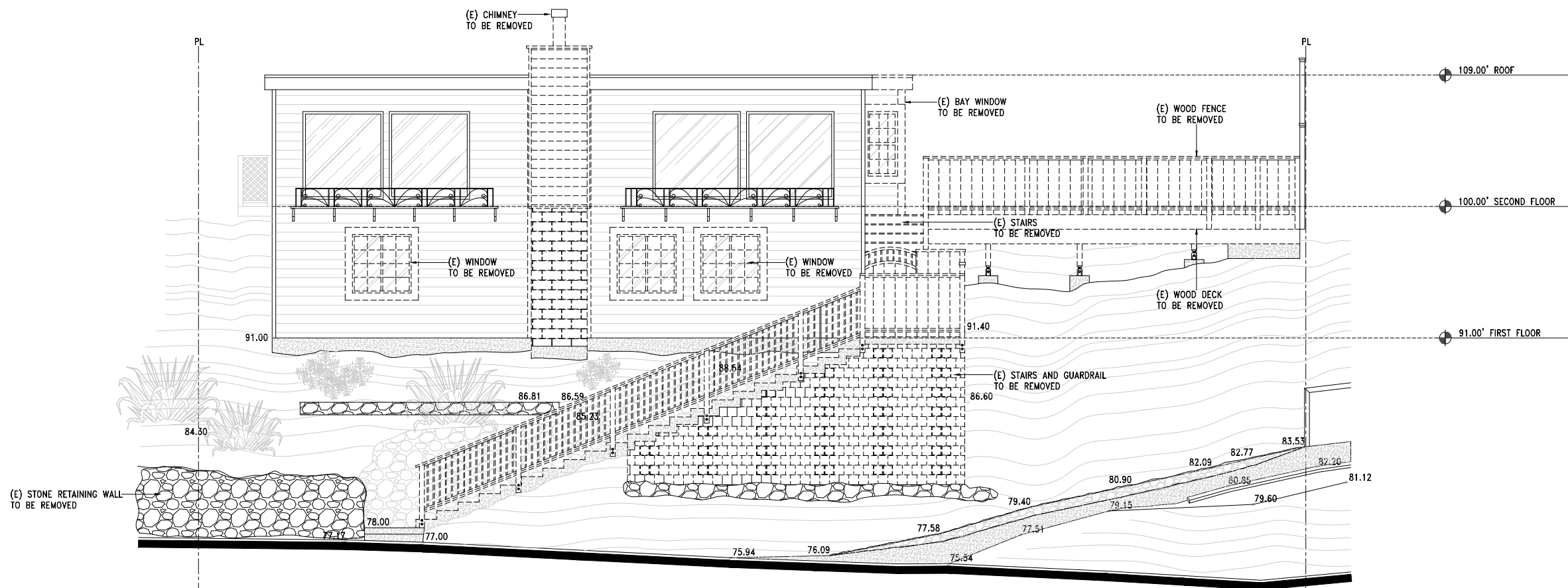
(N) BASEMENT (GARAGE) FLOOR PLAN  
 1/4"=1'-0"



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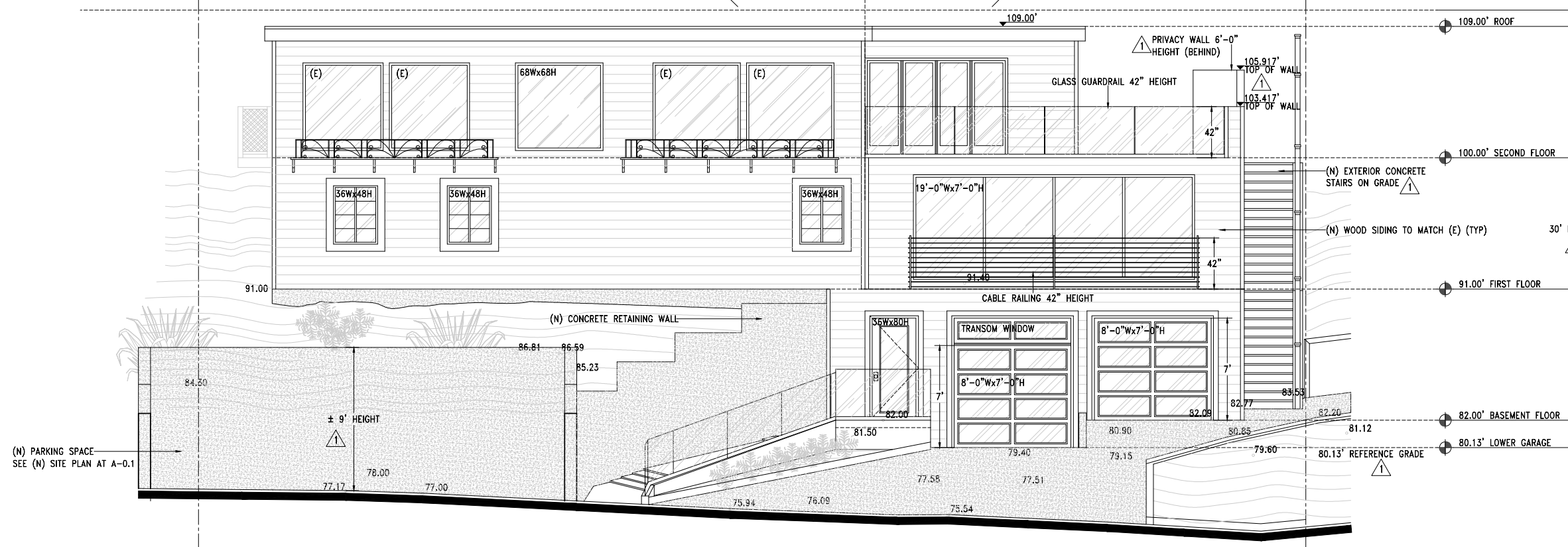
REVISION/DATE	
1. FILING SET	12/06/2019
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SCALE: AS SHOWN	DRAWN / REVIEWED: AZ
DATE: NOV/2019	JOB NO: AM1120



1. (E) NORTH (FRONT) ELEVATION

1/4"=1'-0"

← EXISTING CONSTRUCTION NEW CONSTRUCTION →



1'. (N) NORTH (FRONT) ELEVATION

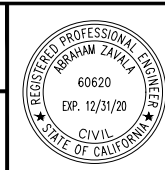
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

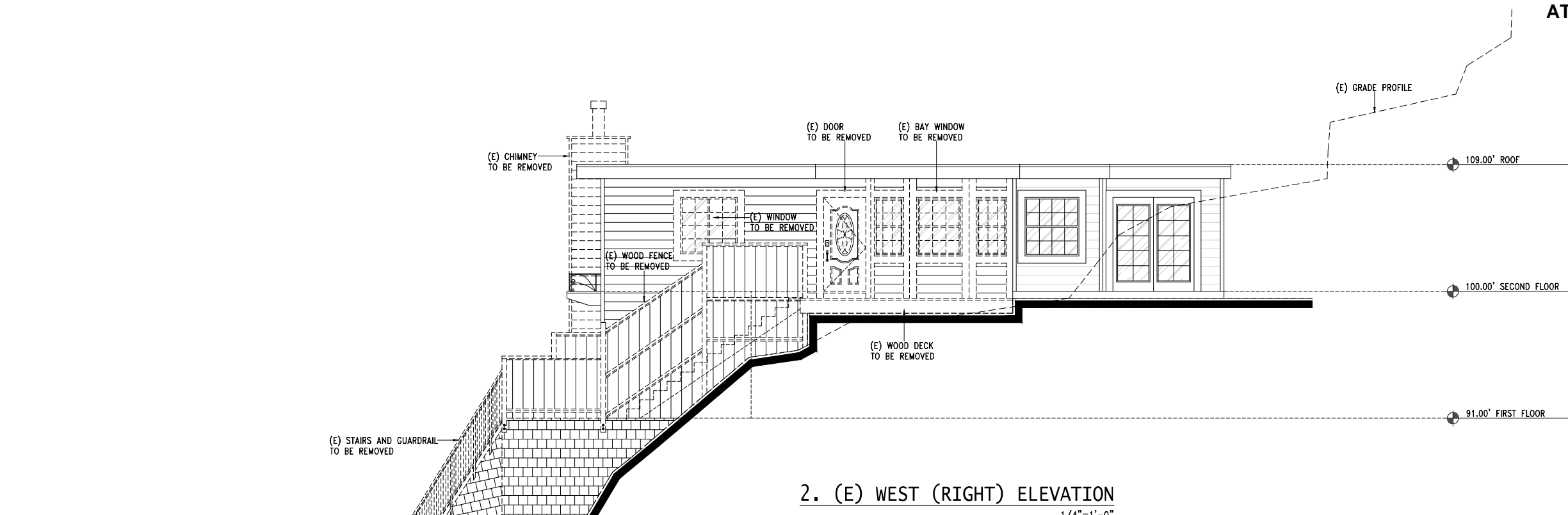
30' MAXIMUM HEIGHT LIMIT



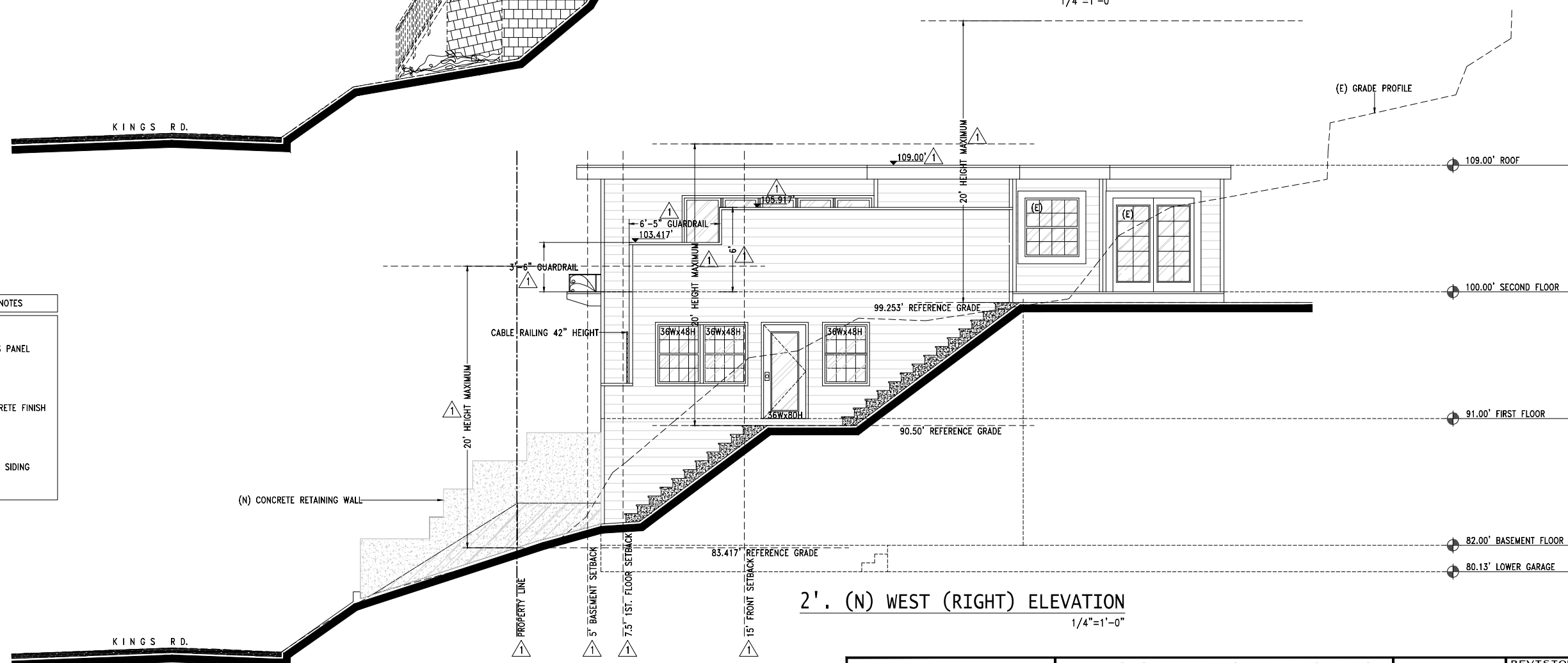
**AZ DESIGN AND ENGINEERING, INC.**  
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REVISION/DATE	
1. FILING SET	12/06/2019
▲ CITY ENGINEER COMMENTS 01/10/2020	
SCALE: AS SHOWN	DRAWN / REVIEWED
DATE: NOV/2019	AZ



2. (E) WEST (RIGHT) ELEVATION  
1/4"=1'-0"



2'. (N) WEST (RIGHT) ELEVATION  
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

AZ

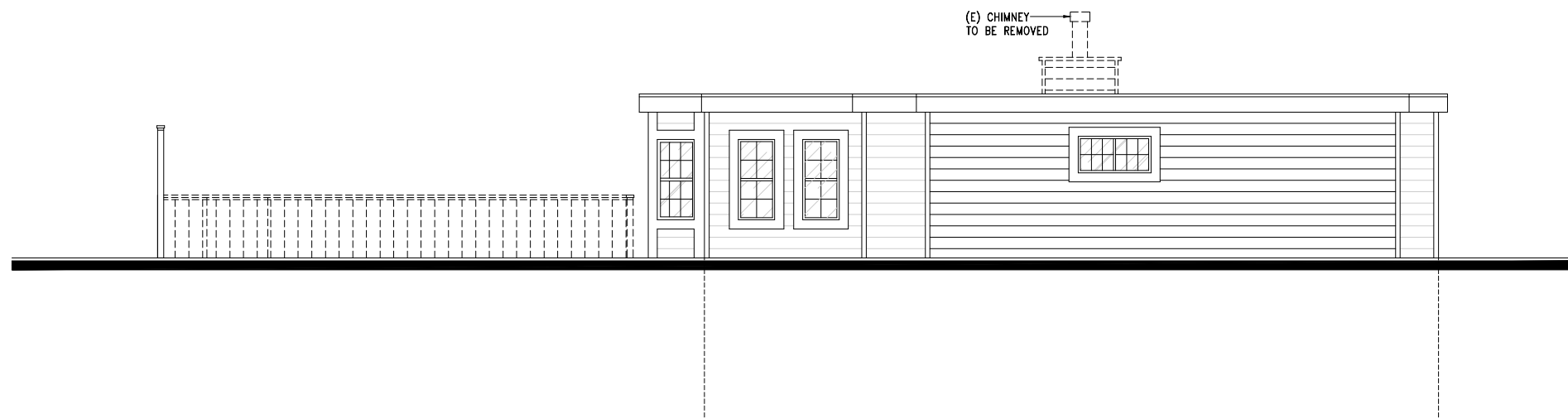
**AZ DESIGN AND ENGINEERING, INC.**  
 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com

NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

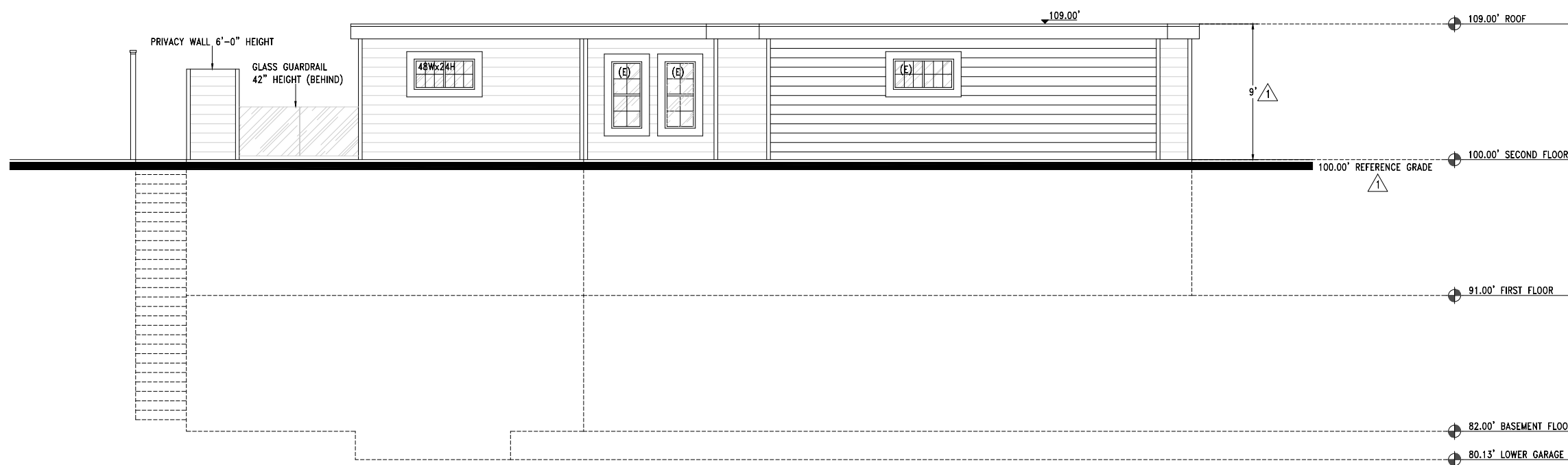
REGISTERED PROFESSIONAL ENGINEER  
 ABRAHAM ZANKA  
 60620  
 EXP. 12/31/20  
 CIVIL  
 STATE OF CALIFORNIA

REVISION/DATE	
1. FILING SET	12/06/2019
CITY ENGINEER COMMENTS 01/10/2020	
SCALE: AS SHOWN	DRAWN / REVIEWED: RD / AZ
DATE: NOV/2019	JOB NO: AM1120

A-2.1



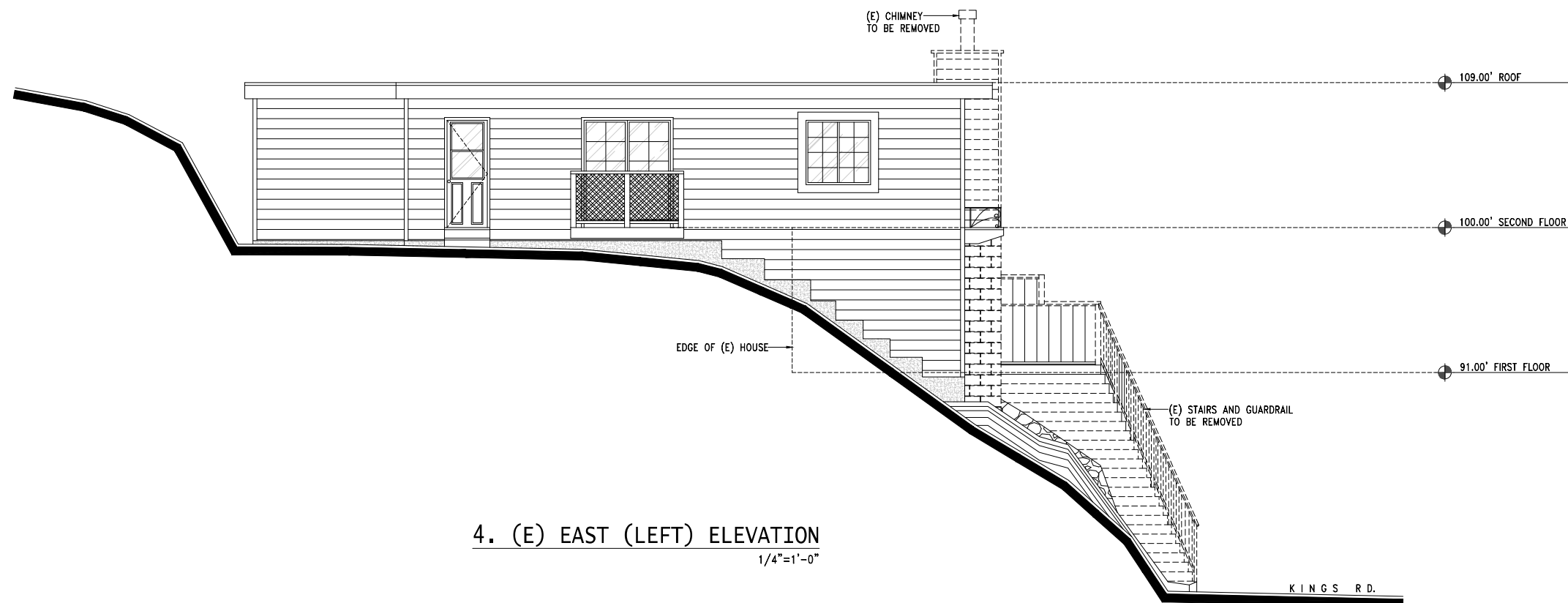
3. (E) SOUTH (REAR) ELEVATION  
1/4"=1'-0"



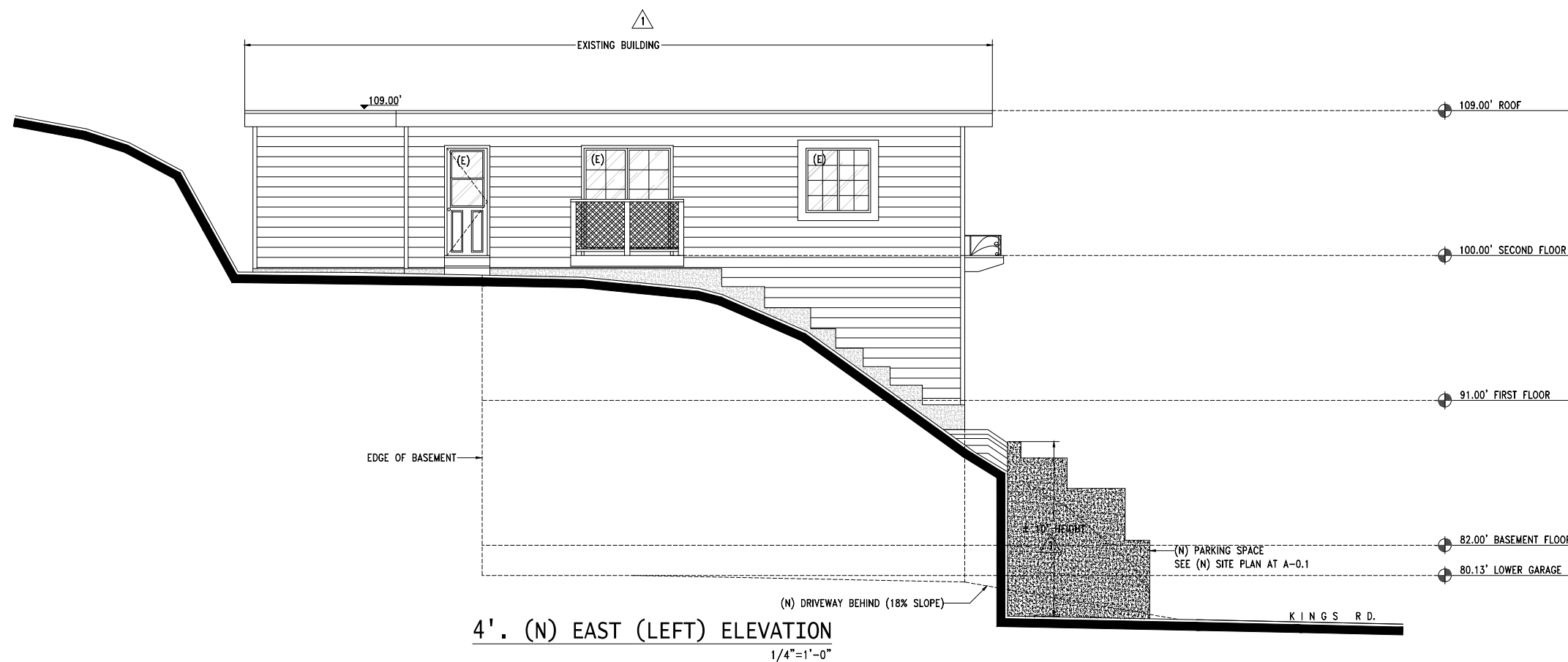
MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

3'. (N) SOUTH (REAR) ELEVATION  
1/4"=1'-0"

	<b>AZ DESIGN AND ENGINEERING, INC.</b> 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com			REVISION/DATE 1. FILING SET 12/06/2019 CITY ENGINEER COMMENTS 01/10/2020	A-2.2
	NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005 <b>OWNER: JOHN HUANG</b>			SCALE: AS SHOWN / DRAWN / REVIEWED DATE: NOV/2019 / JOB No: AM1120	



4. (E) EAST (LEFT) ELEVATION  
1/4"=1'-0"

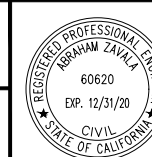


4'. (N) EAST (LEFT) ELEVATION  
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

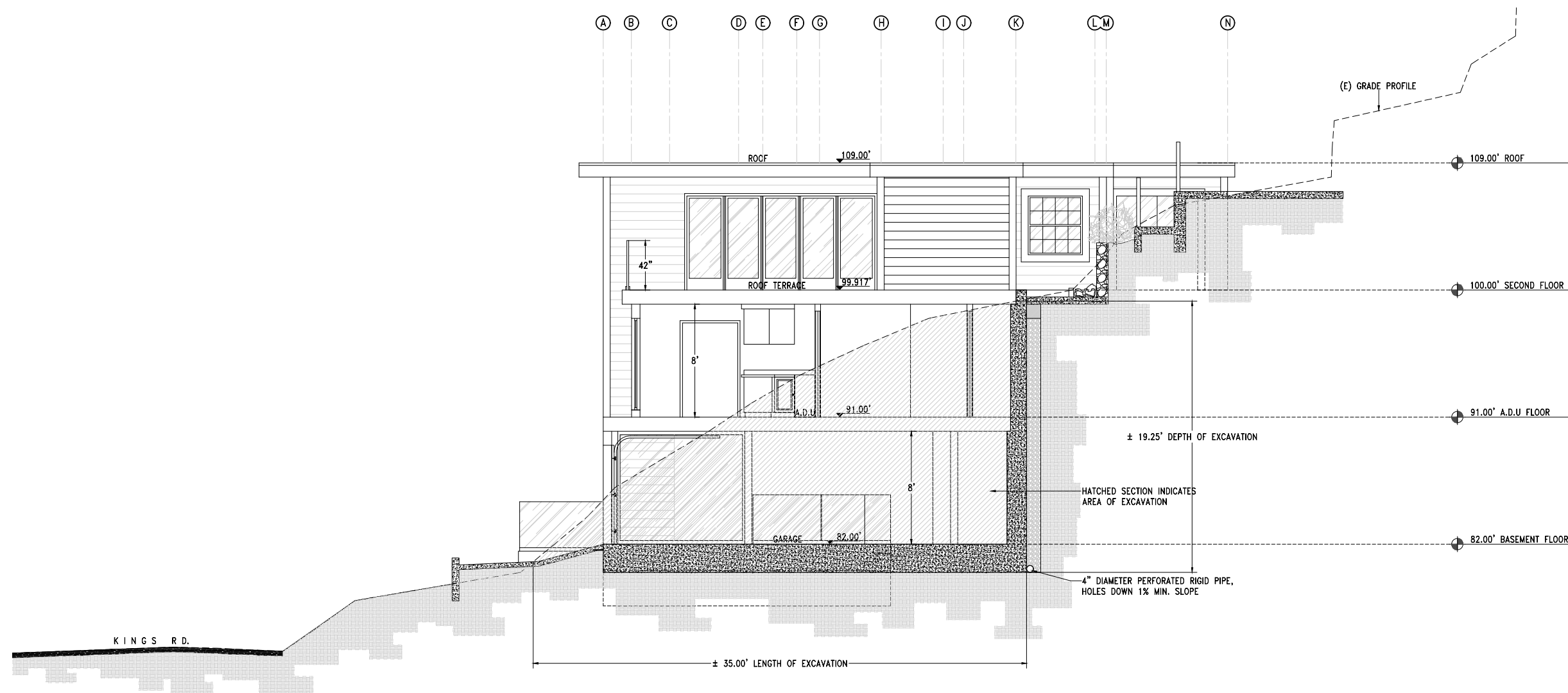


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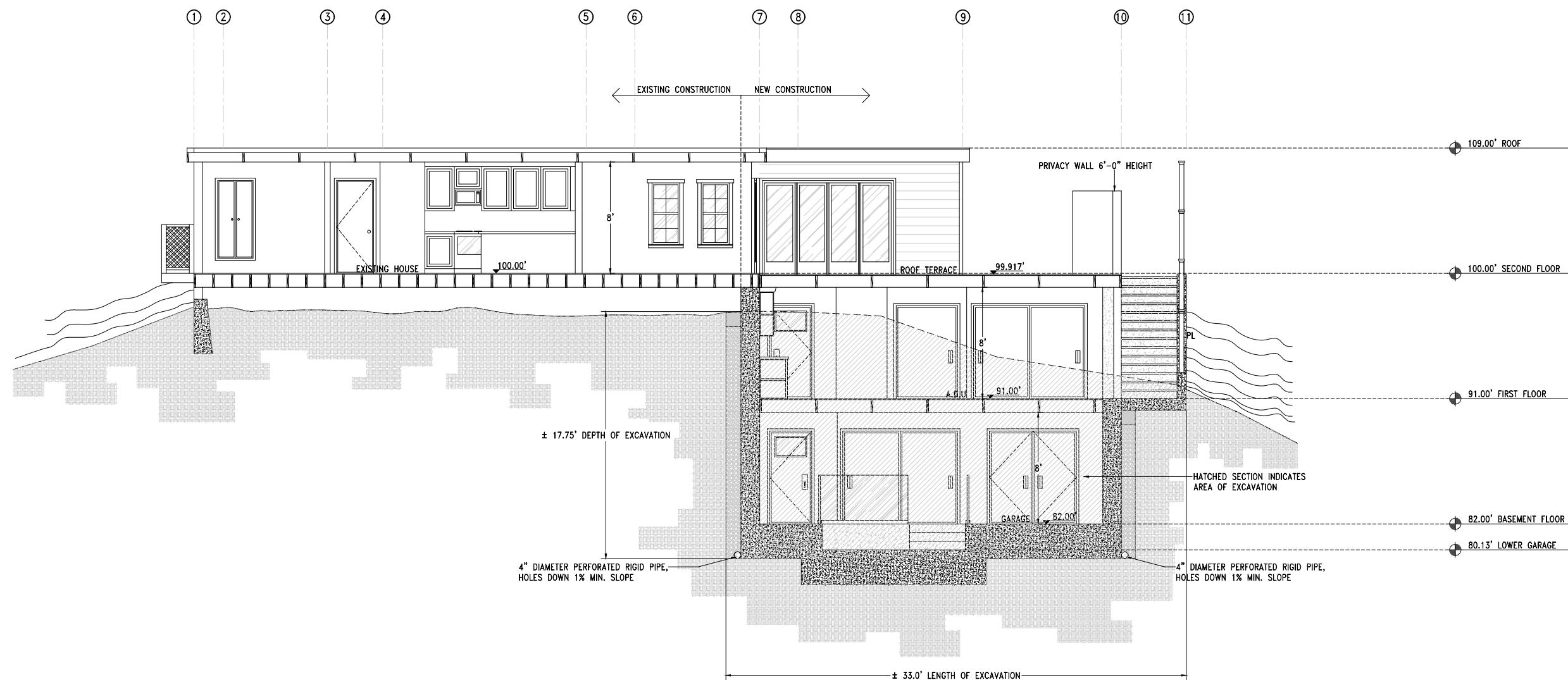
REVISION/DATE	
1. FILING SET	12/06/2019
CITY ENGINEER COMMENTS 01/10/2020	
SCALE:	DRAWN / REVIEWED
AS SHOWN	AZ
DATE:	JOB NO:
NOV/2019	AM1120

A-2.3


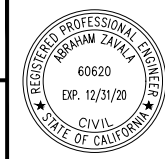


(N) SCHEMATIC LONGITUDINAL CROSS SECTION A  
1/4"=1'-0"

	AZ DESIGN AND ENGINEERING, INC. 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com			REVISION/DATE 1. FILING SET 12/06/2019 CITY ENGINEER COMMENTS 01/10/2020	A-3
	NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005 OWNER: JOHN HUANG			SCALE: AS SHOWN / DRAWN / REVIEWED DATE: NOV/2019 / JOB NO: AM1120	



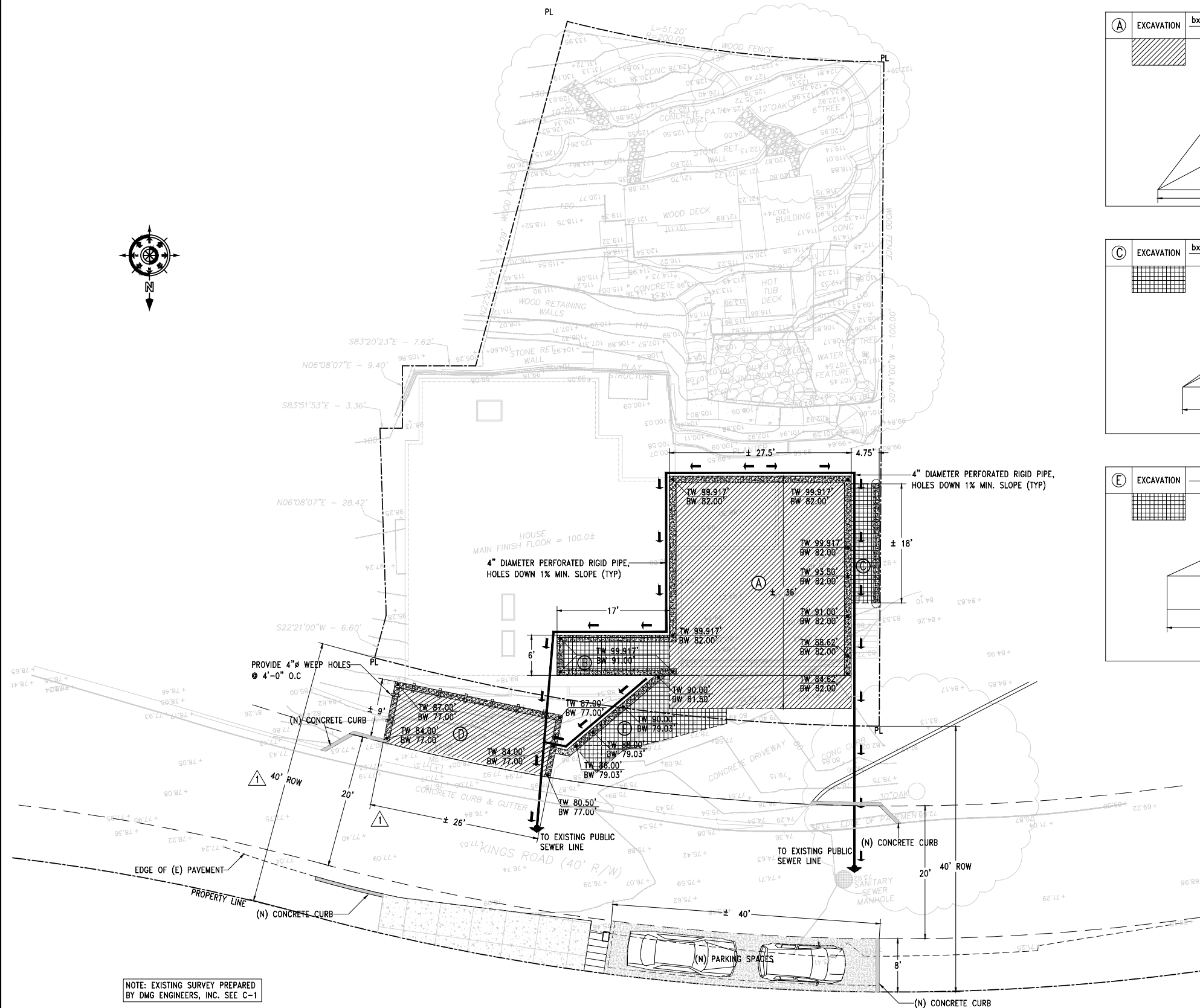
(N) SCHEMATIC TRANSVERSAL CROSS SECTION B  
1/4"=1'-0"

	<b>AZ DESIGN AND ENGINEERING, INC.</b> 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com			REVISION/DATE 1. FILING SET 12/06/2019 CITY ENGINEER COMMENTS 01/10/2020	<h1>A-3.1</h1>
	NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005 <b>OWNER: JOHN HUANG</b>			SCALE: AS SHOWN / DRAWN / REVIEWED DATE: NOV/2019 / JOB NO: AM1120	



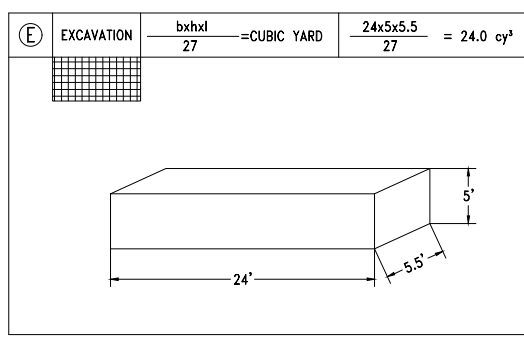
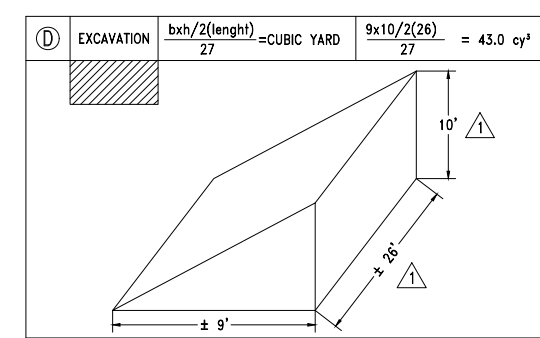
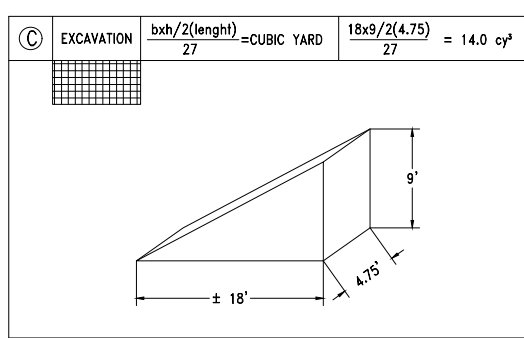
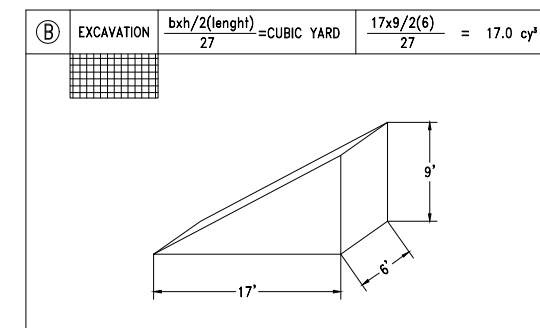
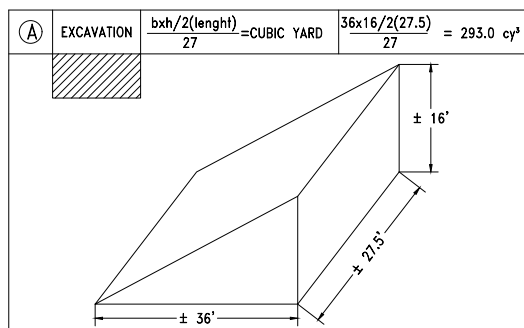






NOTE: EXISTING SURVEY PREPARED BY DMG ENGINEERS, INC. SEE C-1

PROPOSED GRADING PLAN  
1/8"=1'-0"



GRADING DATA (CUBIC YARD)	
MK	EXCAVATION
(A)	293.00
(B)	17.00
(C)	14.00
(D)	43.00
(E)	24.00
GRAND TOTAL=391.0 CUBIC YARDS	

AZ

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 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com

NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

REGISTERED PROFESSIONAL ENGINEER  
 ABRAHAM ZANKA  
 60620  
 EXP. 12/31/20  
 CIVIL  
 STATE OF CALIFORNIA

REVISION/DATE  
 1. FILING SET 12/06/2019  
 CITY ENGINEER COMMENTS 01/10/2020

C-2

Draft  
RESOLUTION EX-4-19

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING GRADING PERMIT EX-4-19  
FOR DRIVEWAY AND SITE ACCESS IMPROVEMENTS AND ADDITIONS TO  
AN EXISTING SINGLE-FAMILY DWELLING AT 338 KINGS ROAD

WHEREAS, Abraham Zavala applied to the City of Brisbane for Grading Permit review to construct additions, including a two-car garage and attached accessory dwelling unit, to an existing single-family dwelling with no off-street parking that would require approximately 330 cubic yards of soil excavation and export from the site at 338 Kings Road, such application being identified as EX-4-19; and

WHEREAS, on February 27, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission closed the public hearing and came to a consensus to deny the project based on its impacts to mature street trees in the vicinity of the project, potential hydrology impacts, and changes to the public right-of-way, and deferred adoption of findings of denial to the next regular Planning Commission meeting; and

WHEREAS, on March 10, 2020, the applicant submitted a written request to the Planning Commission to reconsider their intended denial of the application due to revisions to the project plans and work scope to address many of the concerns voiced by the Planning Commission at their February 27, 2020 meeting; and

WHEREAS, due to the San Mateo County Health Officer's Shelter in Place Order in effect as of March 16, 2020 (most recently amended June 4, 2020 via Order No. C19-5f), the Planning Commission cancelled all scheduled meetings in March and April of 2020; and

WHEREAS, at the next regular meeting of May 14, 2020 held virtually via teleconference in compliance with the Governor's Order N-29-20, the Planning Commission considered the applicant's request for reconsideration of a revised application and voted unanimously to grant the request and schedule the application for review at a future public hearing; and

WHEREAS, on June 25, 2020, the Planning Commission conducted a hearing of the revised application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15301(e) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of June 25, 2020 did resolve as follows:

City Engineer issuance of Grading Permit EX-4-19 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 25<sup>th</sup> day of June, 2020, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
PAMALA SAYASANE  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director

DRAFT  
EXHIBIT A

**Action Taken:** Recommended City Engineer issuance of Grading Permit EX-4-19, per the staff memorandum with attachments, via adoption of Resolution EX-4-19.

**Findings:**

**Grading Permit EX-4-19**

- As evidenced by the applicant's grading plan and site plan, the proposed excavation is limited to the footprint of the additions, required driveway widening, and pedestrian access stairway to allow access to the house from the street. The grading plan design would allow the new building addition to sit within the hillside without significantly altering the surrounding topography. The location and volume of the proposed excavation is the minimum necessary to allow the site to conform to the parking requirements of the R-1 Residential District and to the driveway design standards contained in Chapter 17.34 of the Municipal Code. The proposed excavation is also the minimum necessary to allow safe egress and ingress for the adjoining property at 334 Kings Road and is compliant with the recorded vehicular access easement benefitting 334 Kings Road.
- The proposed grading would result in one exposed retaining wall of approximately eight feet in height within a portion of the front setback, extending into the public right-of-way, in conjunction with a new on-grade stairway to provide access from the street to the main dwelling. With the conditions of approval, the visual impact of this wall would be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant's option at building permit. Additionally, the conditions of approval recommend that the City Engineer consider requiring other new retaining walls within the public right-of-way to be similarly treated or screened, subject to the discretion of the City Engineer.
- The applicant's grading plan is designed to conserve existing street trees and does not propose removal of any trees on the property. The conditions of approval recommend that the City Engineer require an arborist report to evaluate the project's potential impact to the long term health of this street tree, and further recommend that if the project is found to have significant impacts to the long-term health of the tree that would require its removal that the applicant contribute funds for replacement street trees reaching similar canopy height at maturity to be planted at a 3:1 ratio.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

## DRAFT

**Conditions of Approval:**Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit and a grading permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District and current adopted Building and Fire Codes, and shall include shoring plans.
- B. Plans submitted for the building and grading permits shall substantially conform to plans on file in this application EX-4-19 in the City of Brisbane Planning Department, with the following modifications:
  1. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping to comply with the minimum front yard landscaping requirements.
  2. All on-site exposed retaining walls exceeding six feet in exposed height from grade in the shall be either planted with screening plantings such that no more than six (6) feet of the height of the retaining wall will remain visible, or varying treatment and materials at six foot horizontal intervals may be incorporated into the wall design. The chosen screening method shall be subject to review and approval by the Community Development Director. The City Engineer is recommended to require similar treatment of new walls within the public right-of-way.
  3. Plans submitted for grading permit review shall be subject to standard review procedures by the Department of Public Works.
- C. Prior to issuance of building and grading permits, the City Engineer is recommended to consider requiring an arborist report to evaluate potential impacts of the project to the health of adjacent street trees, specifically the 28 inch coast live oak and 30 inch coast live oak in the frontage of 334 Kings Road. Should such a report be required by the City Engineer, and should such a report find that the project would significantly impact the health and survival of the subject street trees, the City Engineer is recommended to require the applicant fund planting of replacement street trees of a species reaching similar canopy height at maturity in the vicinity of the project at a 3:1 ratio.
- D. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way.
- E. Prior to issuance of a building permit, the property owner shall enter into a standard landscape maintenance agreement with the City.

Other Conditions

- F. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.

- G. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- H. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- I. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.



**DESIGN AND ENGINEERING,  
INC.**

255 Reichling Avenue  
Pacifica, CA 94044

T 650-553-4031  
F 650-553-4044

azdesign@azdesignandengineering.com

**ATTACHMENT D**

Item B.

June 3, 2020

Julia C. Ayres  
Senior Planner, Community Development Department  
City of Brisbane. 50 Park Place, Brisbane, CA 94005

Subject: 338 Kings Rd, Brisbane CA  
Drainage System

Dear Julia,

I'm writing this letter to inform you that along with the foundation design for the property subject of this letter, there will be a full drainage system along the entire perimeter of the new construction. The proposed perimeter's drainage will channel the water coming down from the hill and discharge it to the city's storm drainage system. Water from the proposed roof of the new construction will be directed through down spouts to the same city system. The plan view and details for the proposed drainage system are indicated on page C-2 of the drawing prepared for this project. A reference for the proposed drainage is made as well on the soil report prepared by Michelucci & Associates for the project.

Sincerely,

Abraham Zavala, P.E  
RCE 60620 Exp. 12/31/20

**AZ DESIGN AND ENGINEERING, Inc.**

June 16, 2020

Julia C. Ayres  
Senior Planner, Community Development Department  
City and County Brisbane | 50 Park Place, Brisbane, CA, 94005

Subject: 338 Kings Road (Grading Review EX-4-19)

Dear Julia:

This letter is a summary of the main changes that were done to the project subject of this letter. The changes made address the concerns that the Planning Commission and some neighbors had about the original project's presentation.

1. In the big scheme of the project, the scope of work is the same but a bit smaller, the square footage was reduced for the existing house and addition.
2. The reduction in the square footage of the additions to the main dwelling unit eliminates the requirement of providing additional on-street parking.
3. The footprint of the addition was reduced to the minimum required for a two-car garage and access to the building.
4. The result of this changes allows us to keep all the existing trees in the vicinity.
5. The main entry stairs were shifted slightly to the south. In doing this we can widen the existing shared driveway to create better access coming from either direction of Kings Road an into the house (and adjacent neighbor's house) as well a better exit from the houses into the street.
6. The soil report prepared for this project was provided to the planning department. The soil report states that the proposed project is feasible without detriment to the existing structure or the site.
7. A letter from the geotechnical engineer (John Petroff) is attached to this letter. In his letter Mr. Petroff reaffirms the findings in the original soil report that the project is feasible and safe.
8. The project's water run-off (rainwater) will be captured from the roof and roof deck as well as from the ground by a drainage system that will direct the water to the city's existing storm drain system. Preliminary drawings of the drainage system and roof draining calculations were provided to the planning department.

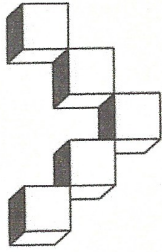


**AZ DESIGN AND ENGINEERING, Inc.**

9. Two hydrology consultants that were interviewed by us stated that since the proposed project is not altering any streams or impacting water tables nor affecting ecological systems in any way. They stated that any report on this matter would not yield valuable information. They indicated that the issue will be the storm water run-off, which we are addressing in a way that will follow all the requirements adopted by the city's engineering department and noted on the preliminary drawings.
10. Based on the topography of the city of Brisbane, the scale and the type of this project is not unique. Most of the houses (old and new) are built in a similar way either downhill or uphill. Therefore, I'll appreciate any positive consideration you can give to this project.

Sincerely,

Abraham Zavala, President  
AZ Design and Engineering, Inc.  
RCE C60620, Exp. 12/31/18



**Michelucci & Associates, Inc.**  
Geotechnical Consultants

Joseph Michelucci, G.E.  
*joe@michelucci.com*

Richard Quarry  
*rich@michelucci.com*

June 17, 2020  
Job No. 18-4751.1

Mr. John Huang  
Via e-mail only: [huangjohnw@outlook.com](mailto:huangjohnw@outlook.com)  
[huangjohnw@gmail.com](mailto:huangjohnw@gmail.com)

Re: Opinion Regarding Completion of the  
Proposed New Building Retaining Walls  
New Addition Project  
338 Kings Road  
Brisbane, California

Dear Mr. Huang::

Introduction

At the request of Abraham Zavala with AZ Design and Engineering, Inc., we are providing this letter offering our opinion in reference to the construction of the new retaining walls that are currently being designed as part of the addition project at 338 Kings Road in Brisbane, California.

Discussion

In preparation for this letter, we were provided with the most recent set of design plans for the project prepared by AZ Design and Engineers, Inc., (with a latest revision date December 6, 2019), and we discussed the current status of the project with your architect, Abraham Zavala.

As you are aware, we issued a geotechnical investigation report titled, "Proposed Addition to Residence, 338 Kings Road, Brisbane, California," dated February 27, 2018 for the above referenced project. We have also been providing geotechnical consultation during the preparation of the design plans as the project has progressed. The project is to include construction of new retaining walls beneath the upslope (south) side of the proposed addition. Construction of the new walls will also allow for the creation additional near street-level parking in front of the residence.

We understand that there has been some concern raised by the nearby property owners regarding the anticipated amount of earthwork that will be necessary in order to construct the addition and the proposed retaining walls associated with the addition project.

Page 2  
 June 17, 2020  
 Job No. 18-4751.1

Conclusion/Supplemental Recommendations

In our opinion, the construction of the proposed retaining walls is feasible from a geotechnical viewpoint, provided that the following recommendations are implemented during the construction phase of the project.

Based on the results of our test borings at the site, it is highly likely that the excavation will encounter very dense sandstone that should be able to have adequate stability to support the temporary excavations. The results of our study indicate that the new wall foundations should be anchored well into the underlying hard Franciscan sandstone bedrock that was encountered in our Borings.

If the current engineering standards are implemented and incorporated in the design plans, completion of the retaining walls along with the associated subdrainage will greatly enhance the stability of the existing slope between the top of the wall and the street along Kings Road. Completion of the return walls along the east and west sides of the property will provide added stability to the side-slopes.

We do recommend that as the excavations for the retaining walls are being made, members of our staff be present so that we can inspect the excavations for the possible presence of unfavorable bedding or fracture planes. We would also recommend that the excavations be made from the top of the site and progress gradually from the rear towards the front of the property. *If unfavorable conditions are exposed as the excavations are taking place, it may be necessary to provide shoring where the unfavorable conditions are exposed.* Soil "nailing" could also be considered working from the top of the site down.

If you have any questions regarding the contents of this letter, please do not hesitate to contact our office.

Very truly yours,  
 MICHELUCCI & ASSOCIATES

*John Petroff /js*  
 John Petroff  
 Project Geologist

*Joseph Michelucci /js*  
 Joseph Michelucci  
 Geotechnical Engineer #593  
 (Expires 3/31/21)



cc: AD Design and Engineering, Attn: Abraham Zavala (abraham@azdesignandengineering.com)

GEOTECHNICAL INVESTIGATION

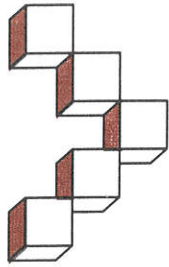
*Proposed Addition to Residence  
338 Kings Road  
Brisbane, California*

*Prepared for:*

*Roy and Lany Miller*

*February 27, 2018*





**Michelucci & Associates, Inc.**  
Geotechnical Consultants

**Joseph Michelucci, G.E.**  
*joe@michelucci.com*

**Richard Quarry**  
*rich@michelucci.com*

February 27, 2018  
Job No. 18-4751

via mail and e-mail: muller@trussworks.com

Roy and Lany Muller  
338 Kings Road  
Brisbane, CA 94005

Re: Geotechnical Investigation  
Proposed Addition to Residence  
338 Kings Road  
Brisbane, California

Dear Mr. and Mrs. Muller:

As authorized, we have completed a geotechnical investigation of the site of the proposed addition to the residence located at 338 Kings Road in Brisbane, California.

It is our basic conclusion that the project is feasible from a geotechnical viewpoint, provided that the recommendations contained in the accompanying report are incorporated into the final plans and followed during construction.

We are pleased to have been of service to you on this project, and will be available to review our findings with you and your other consultants as needed.

Very truly yours,  
MICHELUCCI & ASSOCIATES, INC.

John Petroff  
Project Geologist

Joseph Michelucci  
Geotechnical Engineer #593  
(Expires 3/31/19)



cc: Ben Newcomb, Designer (finehomes@bennewcomb.com)

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## GEOTECHNICAL ENGINEERING INVESTIGATION

Proposed Addition to Residence  
338 Kings Road  
Brisbane, California

### INTRODUCTION

This report covers our investigation of the soil and bedrock conditions that occur at the site of the proposed addition to the residence located at 338 Kings Road in Brisbane, California (Site Vicinity Map, Figure 1). An overview of the property, including the location of test borings performed in conjunction with this study, is included on the attached Site Plan, Figure 2. A photo of the front of the residence follows.



**Photo 1:** View of the front of the residence from Kings Road. The garage addition is planned on the right side of the residence (on the right side of the photo).

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The purpose of our study was to evaluate the soil and bedrock conditions that occur at the site, and to provide geotechnical recommendations and design criteria pertaining to building foundations, site grading, retaining walls, drainage, and other items that relate to the site soil and geologic conditions.

### DESCRIPTION OF PROJECT

The project is to involve an addition to the existing structure at the location indicated on the attached Site Plan, Figure 2. This will require removal of an existing stairway and concrete block wall along the right side of the residence (when viewed from the street) and the removal of fencing and decking further up the slope. We also understand that the structure is to be remodeled and an additional story is to be added. A new retaining wall is also planned below the driveway adjacent to the street, which will create a space for street parking below the property.

### SCOPE OF SERVICES

Our study included:

1. Detailed site inspections by our geotechnical personnel;
2. A review of our files for other projects our firm has completed in the site vicinity;
3. The review of plans, titled "338 Kings Road, Addition and Remodel", prepared by Ben Newcomb, Designer, dated June 19, 2017;
4. Discussions with Ben Newcomb;
5. The performance of a relative floor elevation survey on the existing structure with a water-filled manometer (to aid in evaluating foundation performance);
6. A review of available published geologic maps and literature;
7. Marking the street and sidewalk in front of the property and then contacting USA (Utility Service Alert) to locate where buried utilities enter the property prior to logging test borings;



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8. Filing appropriate forms with San Mateo County in accordance with our Annual Drilling Permit, as required by the County Department of Health;
9. The excavation of 3 exploratory test borings with minuteman power augering and sampling equipment;
10. The recovery of samples from the borings, and the performance of a variety of engineering tests upon the various soil layers encountered;
11. Backfilling the boreholes with appropriate grout (by Access Soil Drilling of San Mateo)
12. The excavation of a test pit beneath the residence's foundation to determine the depth of the foundation and the material upon which it bears;
13. The performance of geotechnical engineering analysis utilizing the above items; and,
14. The preparation of this report.

#### FIELD INVESTIGATION AND LABORATORY TESTS

In order to evaluate the geotechnical engineering characteristics of the soil and bedrock layers which underlie the site, 3 borings were drilled at the approximate locations indicated on the attached Site Plan, Figure 2. The borings were drilled by Access Soil Drilling of San Mateo on February 7, 2018 with minuteman power augering equipment. Relatively undisturbed samples were recovered in thin brass tubes from the borings at selected intervals with a free-falling, 140-pound hammer (with a 30-inch drop) advancing modified California, and in some cases standard penetration, drive samplers up to 24 inches into the subsurface soil and bedrock layers. The brass tube encased samples were labeled in the field and carefully sealed to preserve their in-situ moisture content. They were ultimately transported to our laboratory.

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As the borings were excavated, logs of the materials encountered were prepared based upon an inspection of the recovered samples and close observation of the auger cuttings as they emerged from the borehole. The final Boring Logs, as presented on the attached Figures 3 through 5, are based upon the field logs with occasional modifications based upon further close laboratory examinations of the recovered samples as well as the laboratory test results.

Laboratory tests were performed upon samples that were extruded from the brass tubes. These tests, which are useful in evaluation of the general strength properties of the materials tested, included the determinations of moisture content, dry density and unconfined compressive strength of selected samples. The results of these tests, along with the resistance to penetration of the sampler, are listed opposite the corresponding sample location on the final Boring Logs, Figures 3 through 5. A Boring Log Key is also included as Figure 6.

Our investigation also included a relative floor elevation survey on the main entry level of the existing home. The survey, made with a water-filled manometer aids in evaluating how well the foundation has performed. The results of the survey are included on Figure 7.

We also excavated a test pit to excavate the foundation depth and the material it bears upon. The approximate location of the test pit is shown on Figure 2.

### SITE CONDITIONS

The site topography slopes generally upward towards the west at an average inclination that is on the order of 1.75 horizontal to 1 vertical with some locally steeper areas just above the driveway and on the slope above the residence.

The property is improved with an existing residence that was constructed on a stepped building pad that was created by cut and fill operations. Excavations were made into the slope and some fill was placed along the downslope sides of the excavations to accommodate the building pad.

The concrete driveway that extends along the east side of the property currently services only the residence immediately to the north of the subject property. It appears that the driveway will become a "shared" improvement after the garage is constructed on the subject property.

The addition is planned along the east side of the residence, which is currently occupied by a low wood deck and lush landscaping.

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### SOIL AND BEDROCK CONDITIONS

The soil and bedrock conditions encountered at the site consisted generally of a thin surface soil layer of man-placed fill and/or colluvium, which was underlain by dense Franciscan sandstone bedrock. In general, the thickness of soil above the rock was greater at the front of the residence.

Groundwater was not encountered in any of the borings at the time of drilling. Groundwater and perched groundwater levels, however, tend to fluctuate seasonally, and could rise to the depths explored in the future.

A sketch of the general site features is included on the Site Plan, Figure 2. For a more complete description of the soil and bedrock layers encountered in the borings, refer to the final Boring Logs included as Figures 3 through 5 and the Boring Log Key included as Figure 6.

### SITE GEOLOGY

The site has been mapped by Brabb, Graymer and Jones (1998) and Bonilla (1998) to be underlain by Franciscan sandstone and shale (Kjsk). Brabb, Graymer and Jones describe the sandstone as *dark-gray to yellowish-brown greywacke interbedded with shale, in approximately equal amounts*. As noted, dense Franciscan sandstone was encountered in all of our test borings for the project. A scan of Bonilla's geologic map follows.



Bolilla (1998)

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There are no indications of active faulting at the site. The closest mapped active fault to the site is the San Andreas Fault located approximately 4.2 miles (6.8 kilometers) to the southwest. The San Andreas Fault, and numerous active and potentially active Bay Area faults are capable of producing moderate to major earthquakes that could cause severe ground shaking at the subject site in the future. This hazard is shared in some degree by all land and structures in the San Francisco Bay Area.

### GEOTECHNICAL CONDITION OF RESIDENCE

In order to help evaluate the performance of the existing foundation and the compatibility with a new foundation, we conducted a relative floor elevation survey on the floors of the main entry level using a water-filled manometer. The results of the survey, which are included on the attached Figure 7, indicate that the existing residence is on the order of 4.0 inches out-of-level. This suggests that greater than normal foundation settlement has occurred.

We also inspected the accessible portions of the foundation crawl space as part of our study. In general, the foundation appeared to be in serviceable condition from a geotechnical viewpoint. We did observe a 1/16 to 1/4 inch wide diagonal crack in a continuous interior footing that extended just upslope of the lower level of the residence, but for the most part the foundation looked good. The crack is visible from the crawl space entry just beyond the hot water heater and the furnace and the associated small diameter copper piping. Our observations suggest that the continuous interior footing where the crack was observed may have been the original front footing for the house before an addition was done along the front of the residence after the original construction was completed. The crack in the foundation is visible in the following photo.



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**Photo 2:** View within the foundation crawl space. Note the diagonal crack in the continuous interior footing near the left side of the photo.

We excavated a test pit along the front of the residence just to the left of the chimney (when looking upslope) and found that the foundation extended about 9 to 10 inches below nearest adjacent grade and was bearing upon artificial fill that consisted of light olive brown medium dense silty clayey fine sand with brownish yellow mottling and scattered rootlets. We should point out that our test pit location corresponds to the area where the house was measured to be most out of level.

### CONCLUSIONS

Based upon our study, it is our opinion that the project can be developed as planned, provided that the recommendations contained within this report are followed. The primary geotechnical consideration will involve embedding the new addition foundation into the dense sandstone bedrock that was encountered in our test borings. Since the existing foundation has been affected by excessive settlement, portions (or all of the residence) should be underpinned or replaced and also supported in bedrock.

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It may also be necessary to shore portions of the existing residence to protect the structure from movement when the garage excavation is made.

Specific recommendations follow.

### RECOMMENDATIONS

The following recommendations are contingent upon our firm being retained to review the development plans and to observe the geotechnical aspects of construction. We should also be provided the opportunity to “fine-tune” our recommendations as plans are being prepared.

#### A. Seismic Criteria Per 2016 CBC

As of January 1, 2017, the 2016 CBC is being utilized for projects in California. This new code is based upon the 2015 International Building Code.

It is our opinion that the subject site can be classified as Site Class “C” for the purpose of structural engineering calculations as defined in Section 1613 of the 2016 CBC.

#### B. Grading

It is anticipated that significant grading other than excavation will *not* take place. If areas of fill are proposed, they should be brought to our attention so that specific recommendations can be provided.

#### C. Foundations

In our opinion, underpinning the settled portions of the existing residence is feasible from a geotechnical viewpoint. The underpinning should consist of either drilled or hand excavated reinforced concrete piers that are designed to resist both vertical as well as lateral loading (that could be imposed by creeping soil). The structural engineer should utilize the relative floor elevation surveys that we provided as well as their own observations of the foundation elements to determine underpinning locations.

Drilled piers should be designed on the basis of an allowable skin friction value of 500 psf beginning at the top of supporting material, which should be assumed to be the top of bedrock, or in accordance with the Rule of Ten, which is included on the attached Figure 8, whichever is deeper.

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If hand excavated piers are utilized, they should be design on the basis of an allowable bearing pressure of 4,000 psf, beginning at least 4 feet below the top of supporting material as defined above.

Piers should also be designed to resist a horizontal creep load equivalent to a fluid weighing 50 pounds per cubic foot projected over 2-½ pier diameters. The creep load should extend to the top of supporting material, as described above.

Passive resistance may begin at the top of supporting material, as defined above. An allowable passive value of 400 pounds per cubic foot may be assumed in the design. This value may be projected over 2 pier diameters.

Reinforcing for the piers should be determined by the structural engineer based upon anticipated loading.

It is possible that water may accumulate in the pier excavations. Therefore, provisions for casing may be necessary. Any water that accumulates in the piers should be pumped out prior to concrete placement. Alternatively, concrete may be placed by the “tremmie technique”.

#### D. Retaining Walls

Retaining walls should be constructed upon foundations designed in accordance with Section C above. All retaining walls should be designed to resist the active equivalent fluid pressures tabulated as follows.

<u>WALL BACKSLOPE INCLINATION (H:V)</u>	<u>EQUIVALENT FLUID PRESSURE (pcf)</u>
Level	45
4h: 1v	50
3h: 1v	55
2h: 1v	60

Interpolation can be used to determine pressures for intermediate inclinations. When walls are to be rigidly restrained from rotation, a uniform surcharge pressure of 75 psf should be added to the design values.

In addition to static soil earth pressure as outlined above, the retaining walls should be designed to resist short-term seismic loading. The retaining walls should be designed for a seismic loading increment (in pounds per foot) equal to 10 times the height of the wall (in feet) squared. The seismic component, as defined above, should be considered as a line load acting at a point 0.33 times H above the base of the retaining wall, where H is the wall height. It is noted that the seismic component should be added to the static earth pressure loading. In our opinion, it is acceptable to use a factor of safety of 1.1 for overturning when considering the combined effect of static and seismic loading.

Passive resistance can begin at the top of supporting material, as defined above, and can be taken as a value of 400 pcf. This value can be projected over 2 pier diameters.

It is important that adequate subdrainage be constructed behind retaining walls. We have included a Typical Subdrain Detail on Figure 9. In addition, moisture proofing should be provided in areas where moisture migration through retaining walls would be undesirable.

E. Slab-On-Grade Construction

It is anticipated that the only slab-on-grade construction will be for the garage floor. The slabs should be reinforced with steel bars and cast upon rock, or engineered fill. (We anticipate that bedrock will be exposed at the garage elevation. If bedrock is not exposed, we will be available to provide supplemental recommendations.) It is recommended that some type of moisture retardant be provided beneath the slabs. We have included a commonly used treatment on the attached Figure 10, however the project architect, or moisture control consultant should provide the final plan.

F. Surface Drainage

We recommend that the site be fine-graded to direct water to flow away from the building foundations. As a general requirement, storm water should not be allowed to pond or flow in concentrated streams or channels on the site. Such ponding or flows and the resulting saturation can weaken the soils and perhaps cause some minor site erosion.



It is further recommended that all roof downspouts be led into tightline disposal pipes that deposit water well away from building foundations and into a suitable disposal area. *Disposal requirements vary from building department to building department and some require disposal into on site "dry well" or other facilities. We should be further consulted if there is such a requirement for this project.*

---

G. Subdrainage

As noted, subdrainage should be constructed behind retaining walls as illustrated on Figure 9.

In order to mitigate the potential for water to seep into the building "crawl areas", it is also recommended that a foundation drain be constructed along all sides of the structure, as is illustrated on Figure 11. Material specifications are included on Figure 9. If the uphill foundation wall is a retaining wall, the wall subdrain will serve this purpose.

---

H. Review of Plans and Construction Observations

It is important that all of the plans related to our recommendations be submitted to our office for review. The purpose of our review will be to verify that our recommendations are understood and reflected on the plans, and to allow us to provide supplemental recommendations, if necessary. We should be provided the plans well in advance of construction. We will provide plan review letters as appropriate.

It is important that our firm be retained to provide observation services during construction. Our observations will allow us to verify that the materials encountered are consistent with those found during our study, and will allow us to provide supplemental, on-site recommendations, as necessary. *We will require at least 48 hours notice so that the appropriate personnel may be scheduled.*

LIMITATIONS

The conclusions and opinions expressed in this report are based upon the exploratory borings that were drilled on the site, spaced as shown on the Site Plan, Figure 2. While in our opinion these borings adequately disclose the soil conditions across the site, the possibility exists that abnormalities or changes in the soil conditions, which were not discovered by this investigation, could occur between borings.

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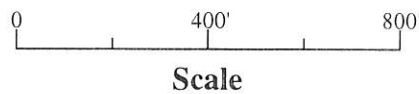
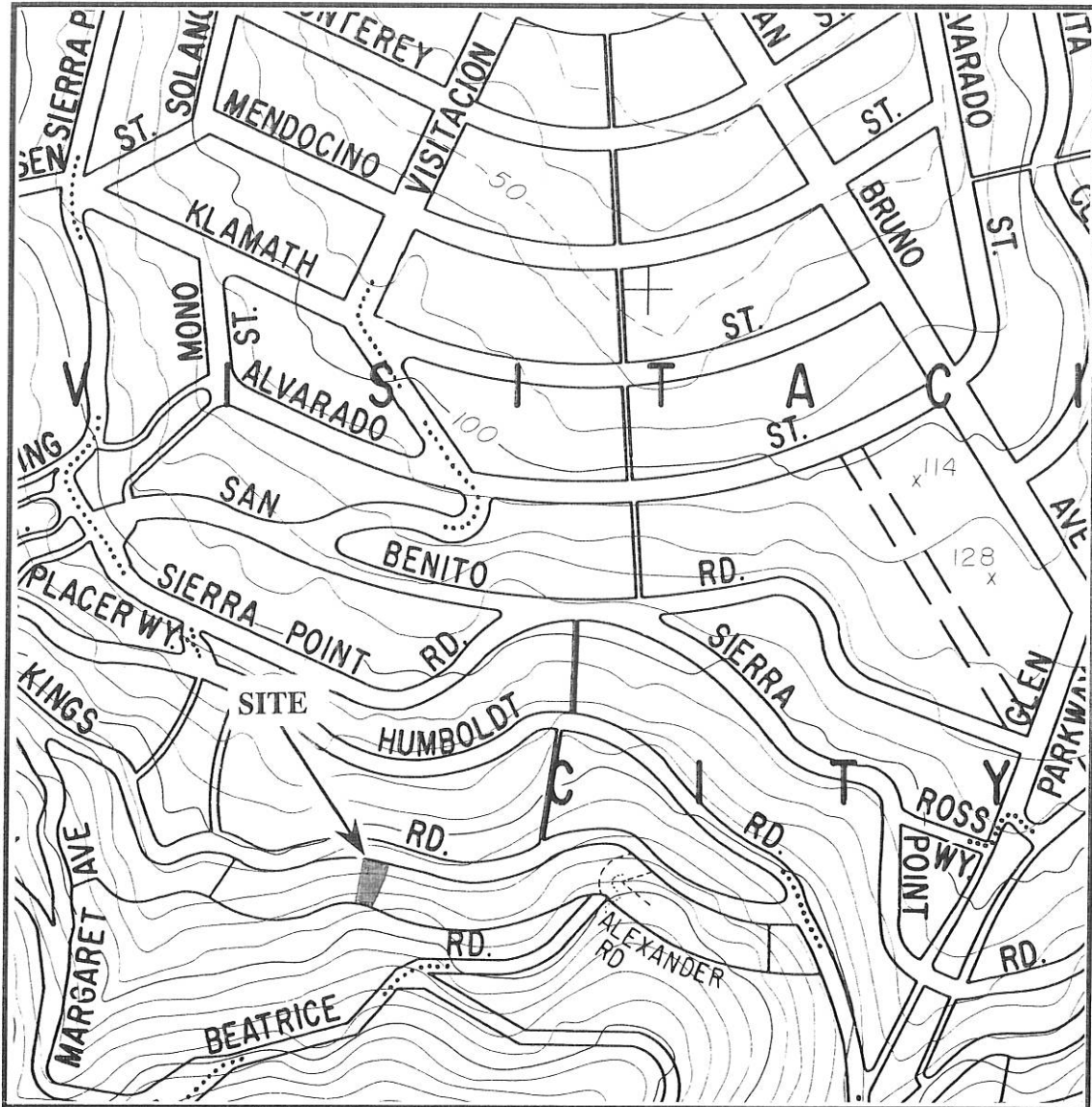
This study was not intended to disclose the locations of any existing utilities, septic tanks, leaching fields, hazardous wastes, or other buried structures. The contractor or other people should locate these items, if necessary.

Michelucci & Associates, Inc. does not practice in the field of moisture vapor transmission evaluation/mitigation. Therefore, we recommend that a qualified person/firm be engaged/consulted with to evaluate the general and specific moisture vapor transmission paths and any impact on the proposed construction. This person/firm should provide recommendations for mitigation of potential adverse impact of moisture vapor transmission on various components of the structure as deemed appropriate,

The passage of time may result in significant changes in technology, economic conditions, or site variations that could render this report inaccurate. Accordingly, neither Roy and Lany Muller nor any other party shall rely on the information or conclusions contained in this report after 12 months from its date of issuance without the express written consent of Michelucci & Associates, Inc. Reliance on this report after such period of time shall be at the user's sole risk. Should Michelucci & Associates, Inc. be required to review the report after 12 months from its date of issuance, Michelucci & Associates, Inc. shall be entitled to additional compensation at then-existing rates or such other terms as may be agreed upon between Michelucci & Associates, Inc. and Roy and Lany Muller.

This report was prepared to provide engineering opinions and recommendations only. It should not be construed to be any type of guarantee or insurance.



SITE VICINITY MAP\*  
338 Kings Road  
Brisbane, California

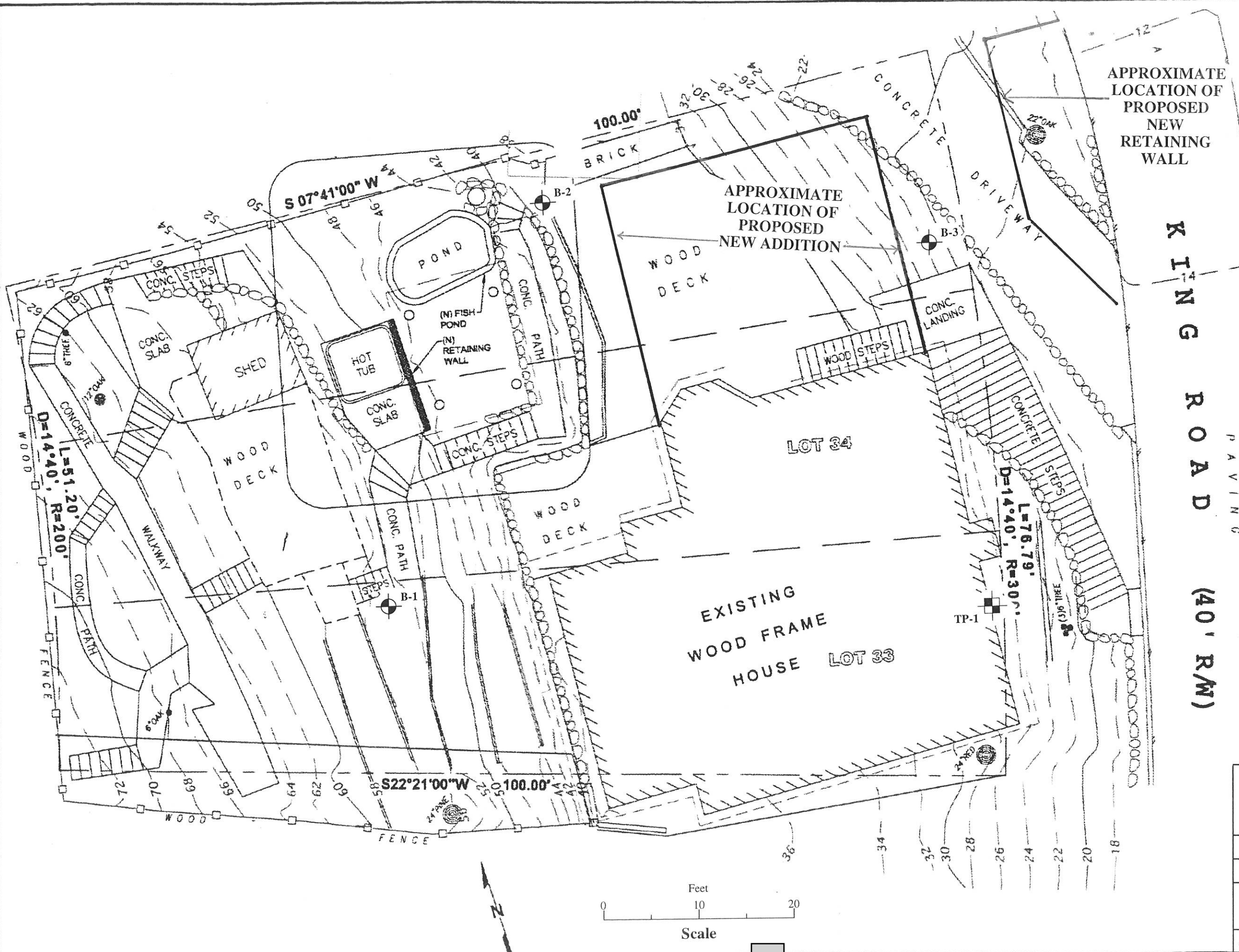


\*BASE MAP FROM COUNTY OF SAN MATEO CADASTRAL TOPOGRAPHIC SERIES, SHEET 2D, 1973, (REVISED 1-1-86).



**EXPLANATION**

-  B-1 Boring Location & Number (Michelucci & Associates, Inc.)
-  TP-1 Test Pit Location & Number (Michelucci & Associates, Inc.)



APPROXIMATE LOCATION OF PROPOSED NEW RETAINING WALL

APPROXIMATE LOCATION OF PROPOSED NEW ADDITION

EXISTING WOOD FRAME HOUSE LOT 33

LOT 34

KING ROAD (40' R/W)

PAVING

\* Base map from a site plan prepared by American Engineering Co., titled, "Site Retaining Wall & Arbor, Muller Residence, 338 Kings Road" (Sheet S1), dated February 20, 2011.

**SITE PLAN\***

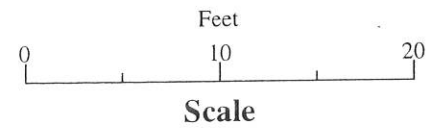
338 Kings Road  
Brisbane, California

Scale: 1"=10'± Approved: J. M. Prepared By: J. P.

Date: 2-26-18 Revised:

 Michelucci & Associates, Inc.

Job No. 18-4751 Figure 2





Project: <b>338 Kings Road</b>	<b>Log of Boring 1 Sheet 1 of 1</b>
Project Location: <b>Brisbane, California</b>	
Project Number: <b>18-4751</b>	

Date(s) Drilled <b>2/7/18</b>	Logged By <b>JL</b>	Checked By <b>JM</b>
Drilling Method <b>Continuous Sampling</b>	Drill Bit Size/Type <b>4-inch Diameter</b>	Total Depth of Borehole <b>8 feet</b>
Drill Rig Type <b>Minuteman</b>	Drilling Contractor <b>Access Soil Drilling</b>	Approximate Surface Elevation
Groundwater Level and Date Measured <b>Dry</b>	Sampling Method(s) <b>2.5", 2.0" &amp; spt</b>	Hammer Data <b>140 lb: 30-inch drop</b>

Depth (feet)	Graphic Log	Material Type	MATERIAL DESCRIPTION	Sample Type	Sample Number	Driving Resistance, blows/ft	Dry Unit Weight, pcf	Water Content, %	UC, psf	Deg. of Saturation (%)
0		SM-SC	Loose to medium dense, dark yellowish brown, silty clayey fine sand, damp to moist (Colluvium)		1-1 (2.5")	9	95.2	14.2	2,435	49.8
		Sandstone	Deeply weathered, yellowish brown, silty clayey fine sandstone, damp (Franciscan Sandstone Bedrock)		1-2 (2.0")	28	104.5	11.4	2,151	50.4
5					1-3 (spt)	46				
					1-4 (spt)	50/6"				
			Boring terminated at 8 feet below grade							
10										

Michelucci & Associates

Figure 3

Macintosh HD:Users:user\Desktop:338 Kings Road:338 Kings Road Boring Data.bg4[Company.lpl]

Project: **338 Kings Road**  
 Project Location: **Brisbane, California**  
 Project Number: **18-4751**

Log of Boring 2  
 Sheet 1 of 1

Date(s) Drilled <b>2/7/18</b>	Logged By <b>JL</b>	Checked By <b>JM</b>
Drilling Method <b>Continuous Sampling</b>	Drill Bit Size/Type <b>4-inch Diameter</b>	Total Depth of Borehole <b>2 feet 8 inches</b>
Drill Rig Type <b>Minuteman</b>	Drilling Contractor <b>Access Soil Drilling</b>	Approximate Surface Elevation
Groundwater Level and Date Measured <b>Dry</b>	Sampling Method(s) <b>2.5", 2.0" &amp; spt</b>	Hammer Data <b>140 lb: 30-inch drop</b>

Depth (feet)	Graphic Log	Material Type	MATERIAL DESCRIPTION	Sample Type	Sample Number	Driving Resistance, blows/ft	Dry Unit Weight, pcf	Water Content, %	UC, psf	Deg. of Saturation (%)
0		SM	Soft to medium dense, dark yellowish brown, silty fine sand with gravel, moist (Fill)							
		Sandstone	Deeply weathered, yellowish brown, silty clayey fine sandstone, damp (Franciscan Sandstone Bedrock)		2-1 (2.5")	50/5"	121.8	8.9		62.6
					2-2 (2.0")	50/5"				
					2-3 (spt)	50/4"				
			Boring terminated at 2 feet 8 inches below grade							

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Project: **338 Kings Road**  
 Project Location: **Brisbane, California**  
 Project Number: **18-4751**

Log of Boring 3  
 Sheet 1 of 1

Date(s) Drilled <b>2/7/18</b>	Logged By <b>JL</b>	Checked By <b>JM</b>
Drilling Method <b>Continuous Sampling</b>	Drill Bit Size/Type <b>4-inch Diameter</b>	Total Depth of Borehole <b>5 feet 3 inches</b>
Drill Rig Type <b>Minuteman</b>	Drilling Contractor <b>Access Soil Drilling</b>	Approximate Surface Elevation
Groundwater Level and Date Measured <b>Dry</b>	Sampling Method(s) <b>2.5", 2.0" &amp; spt</b>	Hammer Data <b>140 lb: 30-inch drop</b>

Depth (feet)	Graphic Log	Material Type	MATERIAL DESCRIPTION	Sample Type	Sample Number	Driving Resistance, blows/ft	Dry Unit Weight, pcf	Water Content, %	UC, psf	Deg. of Saturation (%)
0		SC	Loose, dark yellowish brown, clayey fine sand, moist (Colluvium)							
		ML-CL	Stiff, yellowish brown, abundantly fine sandy silty clay with sandstone fragments, damp to moist (Residual Soil)		3-1 (2.5")	10	101.6	21.6	1,782	88.7
		Sandstone	Deeply weathered, yellowish brown, silty clayey fine sandstone, damp (Franciscan Sandstone Bedrock)		3-2 (2.0")	72	118.0	10.8	3,574	68.0
5					3-3 (spt)	50/3"				
			Boring terminated at 5 feet 3 inches below grade							

Michelucci & Associates

Macintosh.HD.Users:user\Desktop:338 Kings Road Boring Data bg4[Company.tpl]

Figure 5

Project: **338 Kings Road**  
 Project Location: **Brisbane, California**  
 Project Number: **18-4751**

Key to Log of Boring  
 Sheet 1 of 1

Depth (feet)	Graphic Log	Material Type	MATERIAL DESCRIPTION	Sample Type	Sample Number	Driving Resistance, blows/ft	Dry Unit Weight, pcf	Water Content, %	UC, psf	Deg. of Saturation (%)
1	2	3	4	5	6	7	8	9	10	11

**COLUMN DESCRIPTIONS**

- |   |  |
|---|--|
| <p><b>1</b> Depth (feet): Depth in feet below the ground surface.</p> <p><b>2</b> Graphic Log: Graphic depiction of the subsurface material encountered.</p> <p><b>3</b> Material Type: Type of material encountered.</p> <p><b>4</b> MATERIAL DESCRIPTION: Description of material encountered. May include consistency, moisture, color, and other descriptive text.</p> <p><b>5</b> Sample Type: Type of soil sample collected at the depth interval shown.</p> <p><b>6</b> Sample Number: Sample identification number.</p> | <p><b>7</b> Driving Resistance, blows/ft: Number of blows to advance driven sampler one foot (or distance shown) beyond seating interval using the hammer identified on the boring log.</p> <p><b>8</b> Dry Unit Weight, pcf: Dry weight per unit volume of soil sample measured in laboratory, in pounds per cubic foot.</p> <p><b>9</b> Water Content, %: Water content of the soil sample, expressed as percentage of dry weight of sample.</p> <p><b>10</b> UC, psf: Unconfined compressive strength, in pounds per square foot.</p> <p><b>11</b> Deg. of Saturation (%): Deg. of Saturation (%)</p> |
|---|--|

**FIELD AND LABORATORY TEST ABBREVIATIONS**

- |   |   |
|---|---|
| <p>CHEM: Chemical tests to assess corrosivity</p> <p>COMP: Compaction test</p> <p>CONS: One-dimensional consolidation test</p> <p>LL: Liquid Limit, percent</p> | <p>PI: Plasticity Index, percent</p> <p>SA: Sieve analysis (percent passing No. 200 Sieve)</p> <p>UC: Unconfined compressive strength test, Qu, in ks</p> <p>WA: Wash sieve (percent passing No. 200 Sieve)</p> |
|---|---|

**MATERIAL GRAPHIC SYMBOLS**



Sandstone



Silty to Clayey SAND (SM-SC)

**TYPICAL SAMPLER GRAPHIC SYMBOLS**



Auger sampler



CME Sampler



Pitcher Sample



Bulk Sample



Grab Sample



2-inch-OD unlined split spoon (SPT)



3-inch-OD California w/ brass rings



2.5-inch-OD Modified California w/ brass liners



Shelby Tube (Thin-walled, fixed head)

**OTHER GRAPHIC SYMBOLS**

- Water level (at time of drilling, ATD)
- Water level (after waiting)
- Minor change in material properties within a stratum
- Inferred/gradational contact between strata
- Queried contact between strata

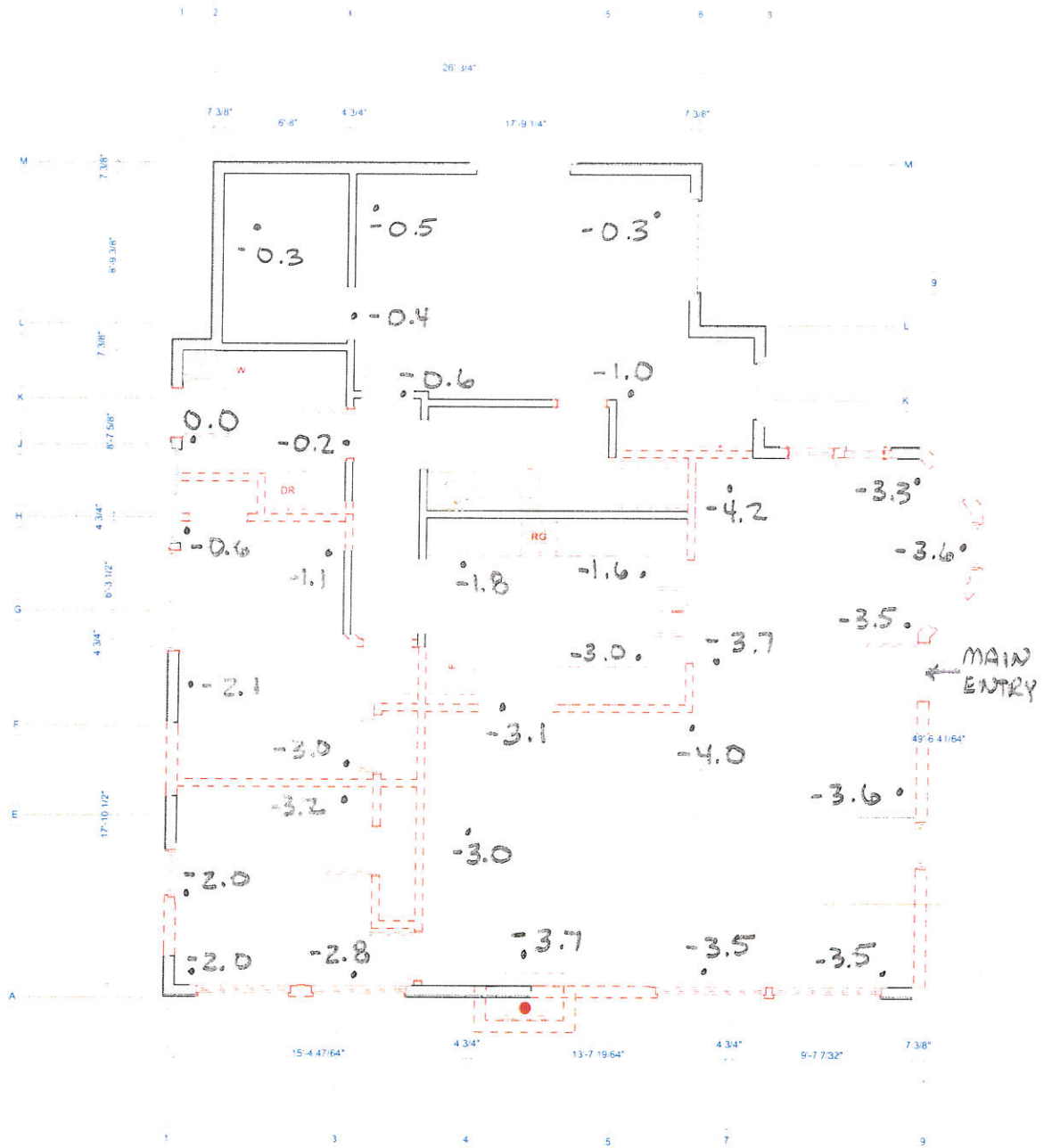
**GENERAL NOTES**

- Soil classifications are based on the Unified Soil Classification System. Descriptions and stratum lines are interpretive, and actual lithologic changes may be gradual. Field descriptions may have been modified to reflect results of lab tests.
- Descriptions on these logs apply only at the specific boring locations and at the time the borings were advanced. They are not warranted to be representative of subsurface conditions at other locations or times.

Macintosh HD:Users:user\Desktop:338 Kings Road Boring Data.bor4[Company.tpl]



338 Kings Road  
 Brisbane, California  
 UNKNOWN SCALE



**NOTES**

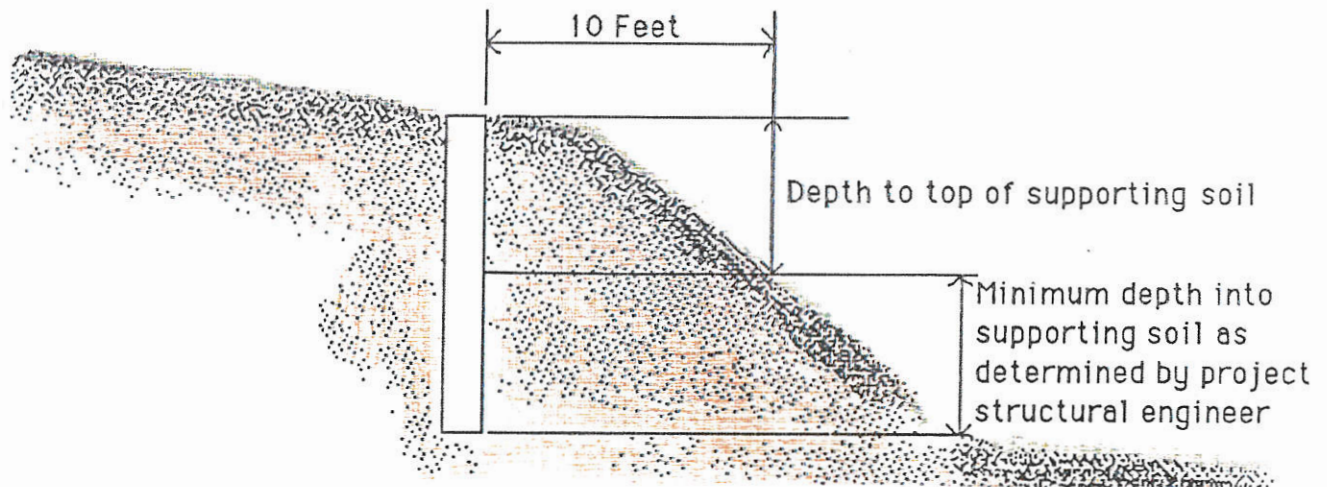
- 1) Survey performed on 1-29-18
- 2) Readings are in inches
- 3) 0.0 indicates high point

\* Base map from a 2nd floor existing and demo plan prepared by Ben Newcomb, Designer, titled, "338 Kings Road Addition & Remodel," (Sheet A-2) dated June 19, 2017.

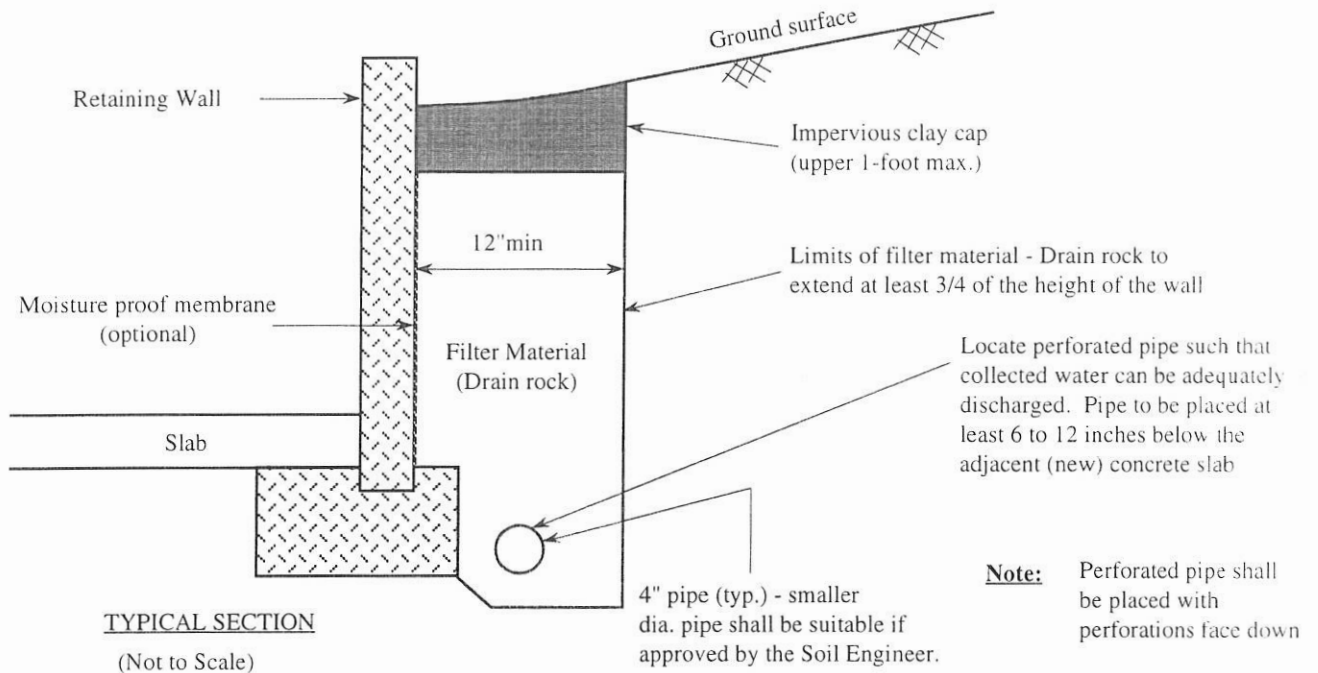


# THE "RULE OF TEN" HORIZONTAL CONFINEMENT FOR FOUNDATIONS ON OR NEAR SLOPES

## DRILLED PIER FOUNDATIONS



**GUIDE SPECIFICATIONS FOR SUBDRAINS BEHIND RETAINING WALLS**



**Note:** Perforated pipe shall be placed with perforations face down

Subdrain pipe shall be manufactured in accordance with the following requirements:

- a. Acrylonitrile-butadiene-styrene (ABS) plastic pipe shall conform to the specifications for ABS plastic pipe given in ASTM Designation D2282 and ASTM Designation D2751. ABS pipe shall have a minimum pipe stiffness of 45 psi at 5% deflection when measured in accordance with ASTM Method D2412.
- b. Polyvinyl chloride (PVC) pipe shall conform to AASHTO Designation M278. PVC pipe shall have a minimum pipe stiffness of 50 psi at 5% deflection when measured in accordance with ASTM Method D2412 except that pipe conforming to F758 shall be suitable. Schedule 40 PVC pipe shall be suitable. SDR-35 PVC pipe conforming to ASTM D3034 shall be suitable when the thickness of pipe cover does not exceed 12 feet.

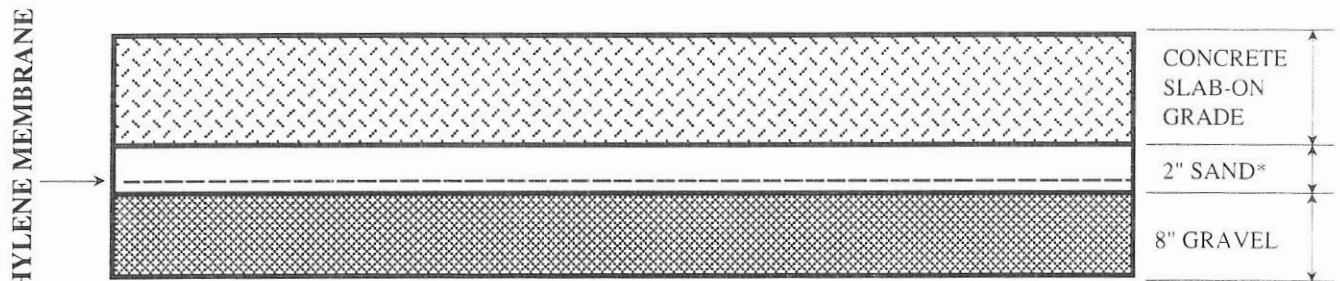
Filter material for use in backfilling trenches around and over subdrain pipes and behind retaining walls shall consist of clean coarse sand and gravel or crushed stone conforming to the following requirements:

Sieve Size	% Passing Sieve
2"	100
3/4"	70 to 100
3/8"	40 to 100
#4	25 to 50
#8	15 to 45
#30	5 to 25
#50	0 to 20
#200	0 to 3

- a. Class 2 " Permeable Material" conforming to the State of California Department of Transportation Standard Specifications, latest edition, Section 68-1.025 shall be suitable.
- b. Clean, coarse gravel ("drain rock") shall also be suitable, provided that it is wrapped in an acceptable geotextile ("filter fabric") such as Mirafi 140 N.



**MOISTURE RETARDANT BENEATH CONCRETE SLABS  
TYPICAL SECTION**



\* or pea gravel

**A. MATERIALS**

The mineral aggregate for use under floor slabs shall consist of clean rounded gravel and sand. The aggregate shall be free from clay, organic matter, loam, volcanic tuff, and other deleterious substances.

**B. GRADATIONAL REQUIREMENTS**

The mineral aggregate shall consist of such sizes that the percentage composition by dry weight as determined by laboratory sieve (U.S. Series) will conform to the following gradation:

Sieve Size	Percentage Passing	
	Gravel	Sand
1"	100	
3/4"	90-100	
No. 4	0-5	100
No. 50		0-30

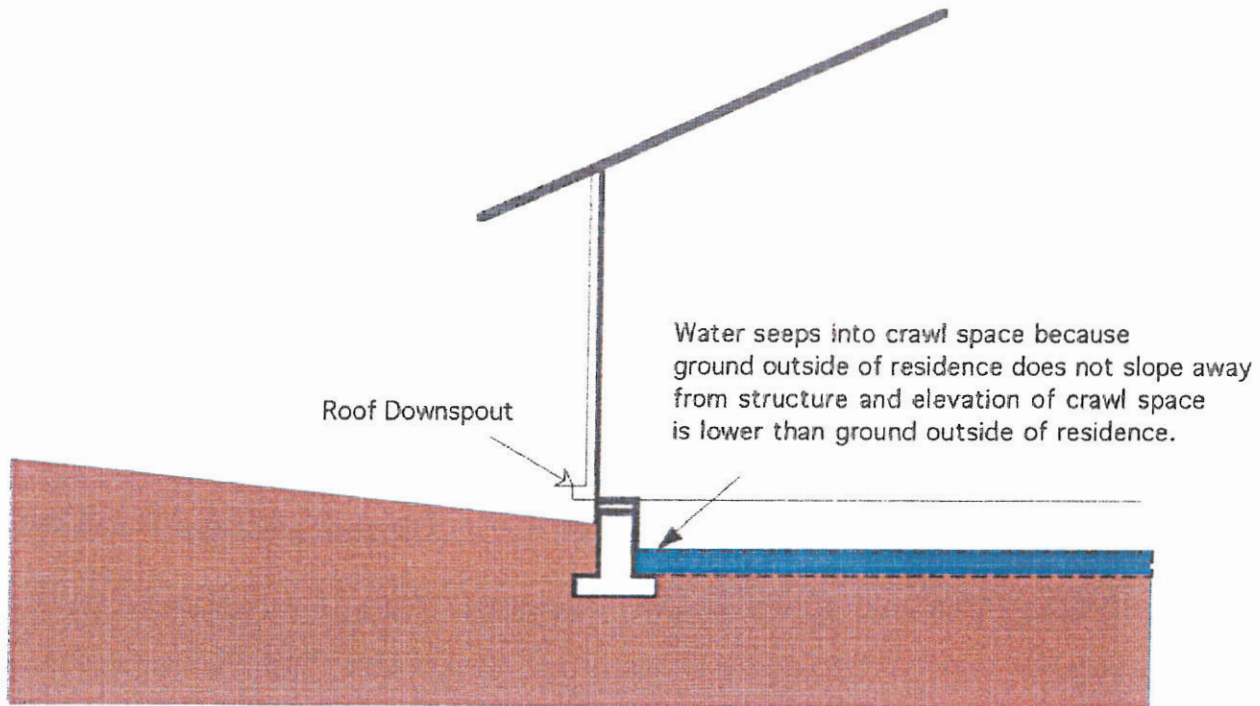
**NOTES:**

1. The polyethylene membrane should be adequately thick so that it will not be easily damaged during construction. It should be adequately detailed so that there are little or no openings around plumbing at conduit points and near foundations. The membrane should be adequately lapped and sealed at any seams.
2. The sand covering is not a part of the moisture retardant treatment. It is a normally used optional component that gives some protection to the membrane and also aids in curing the concrete. Pea gravel may be used as a substitute for sand.
3. The final moisture retardant detail is to be determined by the project architect.

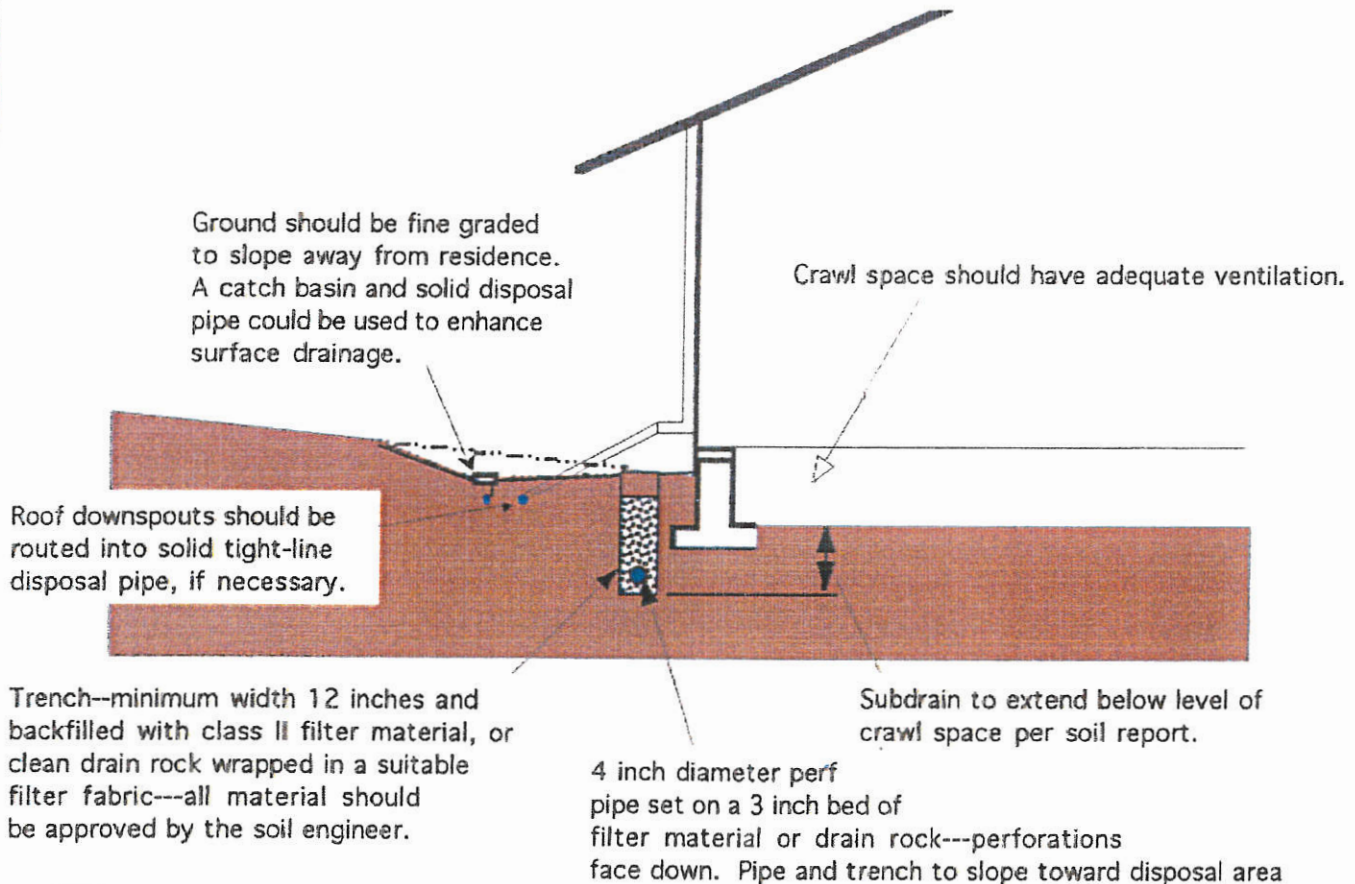




EXCESSIVE MOISTURE IN FOUNDATION CRAWL SPACE



RECOMMENDED METHOD TO MITIGATE EXCESSIVE MOISTURE



# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 2/27/2020

**SUBJECT:** **Grading Review EX-4-19; 338 Kings Road; R-1 Residential District;** Grading Review for approximately 330 cubic yards of soil cut and export to accommodate a new driveway, attached garage, and additions for an existing single-family dwelling on a 6,400 square-foot lot with a 43% slope; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.

**REQUEST:** Recommend the City Engineer issue the grading permit to allow expansion of the existing single-family dwelling, including construction of a garage where no on-site parking currently exists and expansion of an existing shared driveway. The proposed site and grading plan would improve existing access to the neighboring property to the west at 334 Kings by expanding the existing curb cut.

**RECOMMENDATION:** Recommend the City Engineer issue the grading permit via adoption of Resolution EX-4-19 containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** The project is categorically exempt from the provisions of the California Environmental Quality Act per Section 15301(e) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY or more or 50 CY of soil export per BMC §15.01.081.A and BMC §17.32.220. Tree removal regulations are established in BMC Chapter 12.12.

### **ANALYSIS AND FINDINGS:**

#### Site Description

The 6,400 sq ft property is developed with an existing 1,740 sq ft single-family dwelling. The front lot line is located approximately 15 feet behind and 10 feet above the edge of the existing paved travel lane. The site is accessed from an on-grade stairway within the right-of-way and no dedicated driveway or on-site parking exists. The upslope lot has an approximately 43% slope.

A curb cut in the right-of-way within the subject property's frontage allows driveway access to 334 Kings Road, the adjacent property to the west (see annotated aerial site map and site photos, Attachments B and C). The existing curb cut is located within the frontage of 338 Kings Road, causing the driveway to traverse diagonally in front of the subject property and over a portion of

EX-4-19  
February 27, 2020 Meeting  
Page 2 of 4

the subject property before crossing the property line of 334 Kings Road. A triangular driveway easement for the benefit of the owner of 334 Kings Road ensures the portion of the driveway located within the front yard of 338 Kings Road is maintained free of obstruction to allow access to their property (see applicant's site plan, Attachment D).

The existing home maintains nonconforming front and east side yard setbacks. A lot line adjustment was recorded in 2014 to adjust the lot lines between the subject property and 340 Kings Road to the east to cure prior encroachment of the existing home over the property line as it existed at the time. The encroachment of the home into the public right-of-way will continue without adjustment per the City Engineer.

### Project Description

The applicant's grading plan calls for excavation and export of 330 cubic yards of soil from the subject property, and excavation of approximately 61 cubic yards within the public right-of-way, to accommodate the proposed 1,539 sq ft of additions to the home and improvements to the existing shared driveway to fully serve both the subject property and the adjacent property. The additions include a ground floor two-car garage, second level accessory dwelling unit, and upper level additions to the main dwelling, including an uncovered roof deck. (Note: While compliance with all development standards of the R-1 District will be required and verified at building permit plan check, the proposal appears to comply with applicable development standards including floor area, lot coverage, and building height.)

Work proposed within the public right-of-way will include excavation to accommodate a widened 20-ft unobstructed travel lane adjacent to the property's frontage, two new street parking spaces within the frontage of the subject property, and improvements to two existing street parking spaces on the north side of the travel lane (between 333 and 339 Kings Road).

The existing 12 ft driveway would be widened, with an approximately 33 ft curb cut allowing for unimpeded access for both properties as well as a new tandem parking space within the driveway. At least one mature street tree (coast live oak), located east of the existing driveway, would need to be removed due to driveway widening within the right-of-way. Per BMC Chapter 12.12, removal of any tree within the right-of-way is subject to approval by the City Engineer. No trees are proposed to be removed on the subject property or other private properties in the vicinity.

The City Engineer has reviewed the grading and site plans and will require full geotechnical reports and engineered grading plans to be submitted prior to building permit issuance. The Building Department and Fire Departments have also reviewed the proposed plans and have imposed conditions of approval to be satisfied at building permit, per the conditions of approval contained in Resolution EX-4-19.

**Grading Permit review:** In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval, as described below. With the suggested conditions of approval contained in the attached Resolution, the application **would meet** these findings.

EX-4-19  
February 27, 2020 Meeting  
Page 3 of 4

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

The applicant's grading plan would create dedicated street access and off-street parking where none currently exists for the subject property, in compliance with the parking requirements of the R-1 Residential District and within the allowable maximum driveway design requirements of BMC Chapter 17.34 (proposed driveway grade is 18%; maximum driveway grade is 20%). The proposed grade differential within the garage further reduces excavation within the footprint of the addition. Recognizing the existing shared driveway condition, the driveway widening is the minimum necessary to provide unimpeded and code-compliant egress and ingress for both the subject property and neighboring property to the west at 334 Kings Road.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

A proposed 10 ft retaining wall largely in the public right-of-way would partially encroach within the front setback, to retain the widened driveway and new entry stairway (refer to sheet C-2 of the applicant's plans, Attachment D). BMC §17.32.050 requires vegetative screening or wall treatments for retaining walls over six feet in height if they are located within a setback area. Conditions of approval A.1 and A.2 in the attached resolution requires that the landscaping plan submitted with the building permit include vegetative screening for this wall such that no more than six feet of the wall (horizontally) is visible, or that the wall is treated with different materials to break up the wall massing in six foot segments. This condition would apply to any additional walls identified after the project undergoes grading permit review by the City Engineer.

It should be noted that a new approximately nine ft tall retaining wall would be constructed within the public right-of-way to provide required on-street parking. Condition of approval A.2 recommends that the City Engineer consider similar treatment measures for new retaining walls within the public right-of-way. Retaining wall design in the right of way is subject to the sole discretion of the City Engineer.

- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade.

The project will require removal of at least one mature street tree per the current grading plan design (a coast live oak). Another mature coast live oak is likely to be able to be retained, but ultimately its fate would depend on further refinement of the grading plans at time of building and grading permit application. Per the updated tree removal regulations in BMC Chapter 12.12, removal of street trees is solely within the discretion of the City Engineer. Condition of approval B recommends that the City Engineer consider requiring an in-lieu fee to be paid for removal of



EX-4-19  
February 27, 2020 Meeting  
Page 4 of 4

any street tree associated with the project to fund tree planting in the vicinity or elsewhere in the City.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

**ATTACHMENTS:**

- A. Draft Resolution EX-4-19 with recommended Findings and Conditions of Approval
- B. Aerial site map
- C. Site photos
- ~~D. Applicant's plans~~ See Attachment B of 6/25/2020 agenda report

  
\_\_\_\_\_  
Julia Ayres, Senior Planner

  
\_\_\_\_\_  
John Swiecki, Community Development Director

Draft  
RESOLUTION EX-4-19

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING GRADING PERMIT EX-4-19  
FOR DRIVEWAY AND SITE ACCESS IMPROVEMENTS AND ADDITIONS TO  
AN EXISTING SINGLE-FAMILY DWELLING AT 338 KINGS ROAD

WHEREAS, Abraham Zavala applied to the City of Brisbane for Grading Permit review to construct additions, including a two-car garage and attached accessory dwelling unit, to an existing single-family dwelling with no off-street parking that will require approximately 330 cubic yards of soil excavation and export from the site at 338 Kings Road, such application being identified as EX-4-19; and

WHEREAS, on February 27, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15301(e) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 27, 2020 did resolve as follows:

City Engineer issuance of Grading Permit EX-4-19 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 27<sup>th</sup> day of February, 2020, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
Pamala Sayasane  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director

DRAFT  
EXHIBIT A

**Action Taken:** Recommended City Engineer issuance of Grading Permit EX-4-19, per the staff memorandum with attachments, via adoption of Resolution EX-4-19.

**Findings:**

**Grading Permit EX-4-19**

- As indicated by the applicant's grading plan and site plan, the proposed excavation is limited to the footprint of the additions and necessary site access from the street, and is the minimum necessary to allow the site to conform to the parking requirements of the R-1 Residential District and design standards contained in Chapter 17.34 of the Municipal Code.
- The proposed grading would result in one exposed retaining wall of approximately nine feet in height within a portion of the front setback, extending into the public right-of-way. With the conditions of approval, the visual impact of this wall would be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant's option at building permit. Additionally, the conditions of approval recommend that the City Engineer consider requiring other new retaining walls within the public right-of-way to be similarly treated or screened, subject to the discretion of the City Engineer.
- The conditions of approval require that the applicant submit a landscaping plan with the building permit that identifies screening plantings for the retaining wall in the front yard setback, or details the proposed treatment of the wall's exterior per the conditions of approval. The plan shall additionally demonstrate compliance with the minimum 15% front yard landscaping requirement for the property.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

## DRAFT

**Conditions of Approval:**Prior to Issuance of a Building Permit

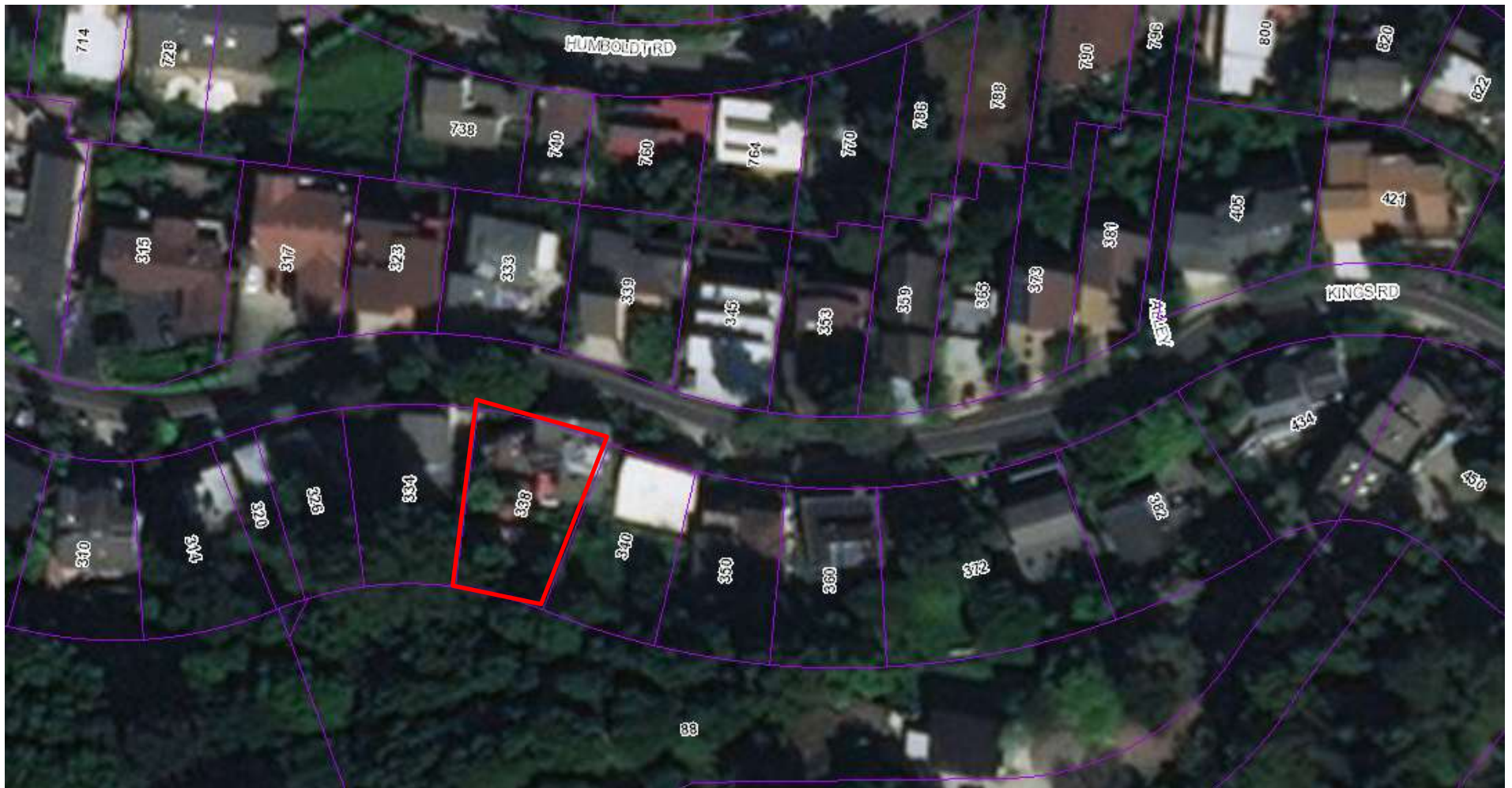
- A. The applicant shall obtain a building permit and a grading permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District. Plans submitted for the building and grading permits shall substantially conform to plans on file in this application EX-4-19 in the City of Brisbane Planning Department, with the following modifications:
1. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping to comply with the minimum front yard landscaping requirements.
  2. All on-site exposed retaining walls exceeding six feet in exposed height from grade in the shall be either planted with screening plantings such that no more than six (6) feet of the height of the retaining wall will remain visible, or varying treatment and materials at six foot horizontal intervals may be incorporated into the wall design. The chosen screening method shall be subject to review and approval by the Community Development Director. The City Engineer is encouraged to require similar treatment of new walls within the public right-of-way.
  3. Plans submitted for grading permit review shall be subject to standard review procedures by the Department of Public Works.
- B. Subject to approval by the City Engineer, the applicant may be required to pay an in-lieu fee for any street tree to be removed due to proximity to or location within the footprint of proposed street widening or other improvements.
- C. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way.
- D. Prior to issuance of a building permit, the property owner shall enter into a standard landscape maintenance agreement with the City.
- E. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

Other Conditions

- F. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.
- G. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.

- H. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- I. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- J. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.

338 Kings Road  
Aerial Site Map





Site Photos



**Above:** View of the property from Kings Road looking west

**Below:** View of the property from Kings Road looking southeast







**Above:** Street tree to be removed to accommodate driveway and street widening

**Below:** Approximate location of proposed new on-street parking space within property frontage







**Above:** Area of on-street parking improvement (two spaces) between 333 and 339 Kings Road.

**Below:** View of home from Kings Road looking west



BRISBANE PLANNING COMMISSION  
Action Minutes of February 27, 2020  
Regular Meeting

A. CALL TO ORDER

Chairperson Sayasane called the meeting to order at 7:30 p.m.

B. ROLL CALL

Present: Commissioners, Gooding, Mackin, Patel and Sayasane.

Absent: Commissioner Gomez.

Staff Present: Community Development Director Swiecki, Senior Planner Ayres, Associate Planner Robbins

C. ADOPTION OF AGENDA

Commissioner Gooding moved adoption of the agenda. Commissioner Mackin seconded the motion and it was approved 4-0.

D. CONSENT CALENDAR

Commissioner Mackin moved adoption of the consent calendar. Commissioner Patel seconded the motion and it was approved 4-0.

E. ORAL COMMUNICATIONS

Michele Salmon, a Brisbane resident, voiced concerns about the enforcement of the conditions of approval on the Google Bus Yard on Tunnel Road, particularly the lighting of the site at night.

F. WRITTEN COMMUNICATIONS

Chairperson Sayasane acknowledged written communications regarding item H.1.

G. NEW BUSINESS

1. **PUBLIC HEARING: Grading Review EX-4-19; 338 Kings Road; R-1 Residential District; Grading Review for approximately 330 cubic yards of soil cut and export to accommodate a new driveway, attached garage, and additions for an existing single-family dwelling on a 6,400 square-foot lot with a 43% slope; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.**

Senior Planner Ayres gave the staff presentation

Chairperson Sayasane opened the public hearing.

Abraham Zavala, the applicant, answered questions about the project.

Prem Lall, Brisbane resident, spoke against the project.

Brisbane Planning Commission Minutes  
February 27, 2020  
Page 2

Barbara Ebel, Brisbane resident, spoke against the project.

Michele Salmon, Brisbane resident, spoke against the project.

Joe Sulley, Brisbane resident, spoke against the project.

With no one else coming forward to address the Commission, Commissioner Patel moved to close the public hearing. Commissioner Gooding seconded the motion and it was approved 4-0.

The Planning Commission commenced deliberation and identified concerns with the street tree removal and street improvements required by the City Engineer, as well as the potential impact to site hydrology.

Chairperson Sayasane recognized audience members wishing to speak after the public hearing was closed.

Barbara Ebel, Brisbane resident, spoke against the project.

Prem Lall, Brisbane resident, spoke against the project.

The Commission resumed deliberation. Following deliberation, Commissioner Patel moved to deny the permit. Commissioner Mackin seconded the motion and the motion was approved 4-0. (*Administrative note: no findings of denial were adopted; therefore, final action on this item must be continued to the next regular meeting.*)

## ~~H. OLD BUSINESS~~

- ~~1. **CONTINUED PUBLIC HEARING: Zoning Text Amendment RZ-2-19;** Zoning Text Amendments to adopt regulations for short term residential rentals (STRs) by adding a new Chapter 17.35 to the Brisbane Municipal Code; Citywide; City of Brisbane, applicant.~~

~~Senior Planner Ayres gave the staff presentation and answered questions from the Commission to clarify the ordinance's provisions regarding citations, renting of accessory dwelling units (ADUs) by permanent residents of the ADU, limitations on listings and bookings, and neighbor notification.~~

~~Chairperson Sayasane opened the public hearing.~~

~~David McWaters spoke against non-hosted rentals and suggested a cap on number of people per habitable bedroom.~~

~~Dennis Busse spoke against the STR ordinance, and thought the insurance requirements were too low.~~

~~Lori Lacsamana spoke against the STR ordinance, with concerns about parking.~~

~~Sharon Boggs spoke against non-hosted rentals and allowing ADUs to be STRs.~~

~~Julia Babiarez spoke against the STR ordinance, with concerns about non-hosted rentals and occupancy limits under the ordinance.~~

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 5/14/2020

**SUBJECT:** **Grading Review EX-4-19; 338 Kings Road; R-1 Residential District;** Grading Review for approximately 330 cubic yards of soil cut and export to accommodate a new driveway, attached garage, and additions for an existing single-family dwelling on a 6,400 square-foot lot with a 43% slope; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner.

### **SUPPLEMENTAL REPORT:**

The Planning Commission held a public hearing on this application on February 27, 2020. After closing the public hearing, the Planning Commission voted to deny the application primarily due to the project impacts to a mature Coast live oak street tree, among other concerns with hydrology impacts and street improvement design. However, because no findings of denial were prepared or adopted at the time of the Planning Commission's action, the Planning Commission's vote was not legally binding. Per the City Attorney, in order for the Planning Commission action to be effective, the Commission would need to adopt a revised resolution containing the findings of denial. A revised resolution containing findings of denial is attached for the Commission's reference.

However, during the Commission's recess due to the Countywide Shelter in Place order, the applicant revised the project in response to the Commission's concerns regarding impacts to the mature street trees (see attached letter from Mr. Zavala) and requests the Planning Commission reconsider the application. The applicant's revised plans are not attached to this report and would be subject to review at a public hearing should the Commission vote to reconsider the application.

The motion to grant reconsideration must be made by a Commissioner who voted to deny the application at the February 27, 2020 public hearing. All Commissioners except for Commissioner Gomez, who was absent, voted in favor of denial at the February 27 hearing. The application would then be scheduled for a future public hearing and a public hearing notice would be mailed to neighbors per standard procedure.

**RECOMMENDATION:** That the Commission grant the applicant's request for reconsideration of the application and for the application to be scheduled for a future public hearing.

If the Commission wishes to deny the applicant's request, the Commission may adopt the attached resolution, containing findings of denial .

### **ATTACHMENTS:**

EX-4-19  
May 14, 2020 Meeting  
Page 2 of 2

- A. Draft Resolution EX-4-19 with Findings Denial
- B. Request from the applicant for reconsideration of revised project
- ~~C. February 27, 2020 Planning Commission staff report~~
- ~~D. February 27, 2020 Planning Commission draft minutes (included in the agenda packet)~~

  
\_\_\_\_\_  
Julia Ayres, Senior Planner

  
\_\_\_\_\_  
John Swiecki, Community Development Director

Draft  
RESOLUTION EX-4-19

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
DENYING GRADING PERMIT REVIEW EX-4-19  
FOR DRIVEWAY AND SITE ACCESS IMPROVEMENTS AND ADDITIONS TO  
AN EXISTING SINGLE-FAMILY DWELLING AT 338 KINGS ROAD

WHEREAS, Abraham Zavala applied to the City of Brisbane for Grading Permit review to construct additions, including a two-car garage and attached accessory dwelling unit, to an existing single-family dwelling with no off-street parking that will require approximately 330 cubic yards of soil excavation and export from the site at 338 Kings Road, such application being identified as EX-4-19; and

WHEREAS, on February 27, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission closed the public hearing and came to a consensus to deny the project based on its impacts to mature street trees in the vicinity of the project, potential hydrology impacts, and changes to the public right-of-way, and deferred adoption of findings of denial to the next regular Planning Commission meeting; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15301(e) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of May 14, 2020 did resolve as follows:

Grading Permit review EX-4-19 is denied without prejudice, and City Engineer issuance of the grading permit as proposed is not recommended.

ADOPTED this 14<sup>th</sup> day of May, 2020, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
Pamala Sayasane  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director



DRAFT  
**EXHIBIT A**

**Action Taken:** Denial without prejudice of Grading Permit Review EX-4-19, per the February 27, 2020 and May 14, 2020 staff memorandums with attachments, via adoption of Resolution EX-4-19.

**Findings:**

**Grading Permit EX-4-19**

- As indicated by the applicant's grading plan and site plan, the proposed excavation is limited to the footprint of the additions and necessary site access from the street, and is the minimum necessary to allow the site to conform to the parking requirements of the R-1 Residential District and design standards contained in Chapter 17.34 of the Municipal Code.
- The proposed grading would result in one exposed retaining wall of approximately nine feet in height within a portion of the front setback, extending into the public right-of-way.
- The proposed grading is not designed to conserve existing street trees (as defined by BMC Section 12.12.020), and specifically would require removal of a mature Coast live oak street tree and potentially impact the health of a second mature Coast live oak street tree.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.



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**ATTACHMENT I**

Item B.

March 10, 2020

Community Development Department  
City of Brisbane  
50 Park Place, Brisbane, CA 94005

Subject: 338 Kings Road, Brisbane, CA 94005

Dear Planning Commission,

I am requesting consideration of the proposed denial of the application for the property that is the subject of this letter. We filed revised plans, which address concerns regarding the tree impact and driveway width.

Sincerely,

*Abraham Zavala*

Abraham Zavala, P.E.  
RCE 60620 Exp. 12/31/20

BRISBANE PLANNING COMMISSION  
Action Minutes of May 14, 2020  
Virtual Meeting

CALL TO ORDER

Chairperson Sayasane called the meeting to order at 7:30 p.m.

ROLL CALL

Present: Commissioners, Gomez, Gooding, Mackin, Patel and Sayasane.

Absent: None.

Staff Present: Community Development Director Swiecki, Senior Planner Ayres, Associate Planner Robbins

ADOPTION OF AGENDA

Commissioner Gomez moved adoption of the agenda. Commissioner Patel seconded the motion and it was approved 5-0.

CONSENT CALENDAR

Commissioner Gooding moved adoption of the consent calendar (agenda items A and B). Commissioner Patel seconded the motion and it was approved 5-0.

ORAL COMMUNICATIONS

There were no oral communications.

WRITTEN COMMUNICATIONS

Chairperson Sayasane acknowledged two written communications, one regarding walkable streets and the other regarding item C.

OLD BUSINESS

- C. **Grading Review EX-4-19; 338 Kings Road; R-1 Residential District; Grading Review for approximately 330 cubic yards of soil cut and export to accommodate a new driveway, attached garage, and additions for an existing single-family dwelling on a 6,400 square foot lot with a 43% slope; Abraham Zavala, applicant; Huang John & Chen Joy Trust, owner. (Administrative note: no findings of denial regarding this item were adopted during the previous meeting of February 27, 2020; therefore, final action on this item was continued to this meeting.)**

Senior Planner Ayres gave the staff presentation.

Brisbane Planning Commission Minutes  
May 14, 2020  
Page 2

The Planning Commission discussed with staff their concerns with their purview of authority when reviewing grading permits, particularly with potential impact to site hydrology.

At the request of staff, the meeting was recessed for 5 minutes to address technical issues associated with the call-in public access to the meeting.

Chairperson Sayasane brought the meeting back to order and the recognized members of the public wishing to address the Commission.

Prem Lall, Brisbane resident, spoke against the project.

There were no other members of the public wishing to address the Commission.

After some discussion, Commissioner Mackin made a motion to deny the applicant's request for reconsideration and adopt findings of denial for the project, but later withdrew the motion.

Following further discussion, Commissioner Patel moved to grant the applicant's request to reconsider the application at a future public hearing. Commissioner Gooding seconded the motion and the motion was approved 5-0.

#### NEW BUSINESS

~~**D. Zoning Text Amendment RZ-1-20; Various zoning districts;** Zoning text amendments to update the existing accessory dwelling unit (ADU) regulations in the zoning ordinance to comply with updated State regulations, and to increase the existing floor area ratio (FAR) exception of 200 square feet to 400 square feet for covered parking on substandard lots; City of Brisbane, applicant.~~

~~Associate Planner Robbins gave the staff presentation.~~

~~The Planning Commission identified concerns about potential implications of increasing the FAR covered parking exception in conjunction with the required, limitations on ADU parking requirements in State legislation.~~

~~Chairperson Sayasane opened the public hearing.~~

~~With no one coming forward to address the Commission, Commissioner Gooding moved to close the public hearing. Commissioner Gomez seconded the motion and it was approved 5-0.~~

~~Following deliberation, Commissioner Mackin moved to recommend City Council adoption of the draft ordinance by adopting Resolution RZ-1-20. Commissioner Gooding seconded the motion and the motion was approved 5-0.~~

~~Chairperson Sayasane read the appeals process of Planning Commission actions.~~

ITEMS INITIATED BY STAFF

GUIDELINES FOR PLANNING COMMISSION REVIEW OF GRADING PERMITS  
Adopted 11/13/03

Grading plans submitted for Planning Commission review and approval per Brisbane Municipal Code Sections 15.01.081 & 17.32.220 should, in addition to the information required by BMC Section 15.01.090, include sufficient information for the Planning Commission to make the following findings:

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

Although the Municipal Code sets a 250 cubic yard threshold for Planning Commission review of Grading Permits, the fact that a project may include grading of more than 250 cubic yards alone is not considered a significant or adverse impact, in that a building alone can require that amount just to set it into the hillside without significantly changing the surround natural topography. Nonetheless, the Planning Commission reserves the right to consider alternative grading plans for any Grading Permit subject to its review and may reject projects proposing unnecessary amounts of excavation contrary to the policies and programs in the City's General Plan.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

Any retaining walls will be designed to minimize their visual impact by complementing their natural setting and/or by relating to the architecture of the rest of the proposed development through use of one or more of the following:

- Color,
  - Texture,
  - Construction detailing,
  - Articulation;
  - Landscaping (non-invasive, water-conserving, low flammability).
- The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided. (General Plan Policies 124, 125 & 261 and Programs 34a, 35d, 245a & 320a).

In reviewing any proposal to remove trees protected per BMC Section 12.12.020, the Planning Commission shall consider the following criteria per BMC Section 12.12.050.C:

1. The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.
2. The necessity to remove the tree for economic or other enjoyment of the property.
3. The topography of the land and the effect of the tree removal upon erosion, soil retention, and the diversion or increased flow of surface waters.
4. The number, species, size, and location of existing trees in the area and the effect the removal would have upon shade, privacy impact, and scenic beauty of the area.
5. The number of healthy trees the property is able to support according to good forestry practices.

The Planning Commission may require that one or more replacement trees be planted of a species and size and at locations as designated by the Commission. The ratio of replacement trees required may be based upon the public visual impact of the trees removed. Native trees shall be replaced at a minimum ratio of 3 trees of the same or other approved native species planted for each 1 removed. Trees removed on site may be replaced with trees planted in the public right-of-way when located close enough to mitigate the local impact of the tree removal. Replacement trees planted within the public right-of-way shall be from the City's Street Tree List, as approved by the Commission. Minimum replacement tree size shall be 15-gallons, except that larger specimens may be required to replace existing street trees.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).



**Ayres, Julia**

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**From:** Prem Lall <premlall@yahoo.com>  
**Sent:** Thursday, May 28, 2020 12:27 PM  
**To:** Breault, Randy; Ayres, Julia  
**Cc:** Schumann, Michael; Nancy Roeser; Dean DeCastro; Patricia Flores; Swiecki, John; Planning Commissioners  
**Subject:** Re: Soils report for 338 Kings project requested

Hello Julia,

It is fine to add our correspondence to the record and to forward to the Planning Commission as long as the correction I emailed to you is also included, which I do not see in your email:

**From:** Prem Lall  
**To:** Breault, Randy; Ayres, Julia  
**Sent:** Wednesday, May 27, 2020, 5:15:45 PM PDT  
**Subject:** Re: Soils report for 338 Kings project requested

Correction: "since it will flow down the mountainside to the two houses across the street from 338 Kings (namely, 333 and 339 Kings) as well as the four houses down slope on Humboldt (namely, 738, 740, 760, and 764 Humboldt)."

I have added the Planning Commission's email address to our correspondence to reach them directly as well.

As mentioned previously, the applicant must show that his project will not adversely affect the six homes down slope from his property with damage to retaining walls and wooden foundations, among other things, due to the transfer of water currently absorbed during rainfall by the previously referenced 391 cubic yards of soil at 338 Kings to the properties at 333 Kings, 339 Kings, 738 Humboldt, 740 Humboldt, 760 Humboldt, and 764 Humboldt upon the removal of that soil.

I am willing to discuss the issue with him if he is open to the idea.

NOTE: I have removed the original email addresses of Adrian DeCastro and Patricia Flores from the conversation as those email addresses seem no longer to be functional and have added the new email address of Patricia Flores to the conversation.

Thank you.

Prem Lall  
Brisbane resident

On Thursday, May 28, 2020, 9:59:29 AM PDT, Ayres, Julia <jayres@ci.brisbane.ca.us> wrote:

Hi Prem,

Correct, the revised plans were not presented to the Planning Commission on May 14th- only the applicant's

letter requesting reconsideration of the project. This was explained in [the supplemental report](#) from staff to the Commission at the May 14th meeting.

Because the Commission granted the reconsideration of the project, the revised plans will be presented in the staff report for the future hearing. When the hearing date is set, we will send out mailed notices to property owners within 300 feet of the property just like last time to advertise the hearing date. The meeting materials would be available to the public any time after the notice is sent out and would be published in the agenda packet the Friday before the meeting.

The draft resolution of denial was included for the Commission's consideration in the event they did not want to grant reconsideration of the project. It was written by Director Swiecki and myself. As both Director Swiecki and I described during the May 14th hearing, the draft resolution of denial "Whereas" clauses acknowledged the breadth of the Commission's conversation leading up to their vote intending to deny the project. That conversation included concerns with hydrology, which are not part of the findings used by the Commission in acting on a grading project. While that was part of the Commission's discussion, that does not mean that the written findings (contained in Exhibit A to the draft resolution) could reference unknown hydrology impacts as a means to deny the project.

As was stated during the May 14th hearing, the Commission has requested that the applicant voluntarily provide technical studies such as a soils report and hydrology report at the next public hearing. By all accounts the applicant wishes to cooperate with the Commission's request, but such information would be provided voluntarily as supplemental information.

Your comments below will be provided to the Commission as written correspondence and included in the public record for the project.

## JULIA C. AYRES

Senior Planner, Community Development Department  
City of Brisbane | 50 Park Place, Brisbane, CA, 94005  
Desk: (415) 508-2129 | Cell: (415) 519-0165  
Email: [jayres@brisbaneca.org](mailto:jayres@brisbaneca.org)

**From:** Prem Lall <premlall@yahoo.com>

**Sent:** Wednesday, May 27, 2020 4:58 PM

**To:** Breault, Randy <rbreault@ci.brisbane.ca.us>; Ayres, Julia <jayres@ci.brisbane.ca.us>

**Cc:** Schumann, Michael <[REDACTED]>; Nancy Roeser <[REDACTED]>; Adrian DeCastro <[REDACTED]>; Dean DeCastro <[REDACTED]>; Patricia Flores <[REDACTED]>; Swiecki, John <johnswiecki@ci.brisbane.ca.us>

**Subject:** Re: Soils report for 338 Kings project requested

Hello Julia,

I did not see the revised plan referenced in Mr. Zavala's 3/10/2020 letter: "I am requesting consideration of the proposed denial of the application for the property that is the subject of this letter. We filed revised plans, which address concerns regarding the tree impact and driveway width." This letter was included in the Agenda Packet PDF for the 5/14/2020 Planning Commission meeting.

All of Mr. Zavala's architectural/engineering sketches distributed in the Agenda Packet PDF for the 5/14/2020 Planning Commission meeting are dated 2019, not 2020.

Also, the Draft Denial which you and Mr. John Swiecki introduced to the Planning Commission contained the following WHEREAS clause:

"WHEREAS, the Planning Commission closed the public hearing and came to a consensus to deny the project based on its impacts to mature street trees in the vicinity of the project, potential hydrology impacts, and changes to the public right-of-way, and deferred adoption of findings of denial to the next regular Planning Commission meeting"...Grading Permit review EX-4-19 is denied without prejudice, and City Engineer issuance of the grading permit as proposed is not recommended.

If you don't mind my asking, who prepared this WHEREAS clause? Did you and Mr. Swiecki prepare it, or did City Attorney Tom McMorrow prepare it? Or was it someone else?

I ask because the clause specifically mentions that the Planning Commission had considered "potential hydrology impacts" with regard to the 338 Kings grading project, but at the 5/14/2020 meeting you indicated that hydrology had not been considered and that you didn't know how that clause got into the draft denial. Now that you have had almost two weeks to determine how that clause got into the denial and who inserted it, I would appreciate an explanation.

The video of the Planning Commission meeting of 5/14 includes the following statement from you:

"The Planning Commission's...the breadth of the review that you guys have when you're reviewing a grading project...we do not have a mechanism to require hydrological studies or geotechnical studies for your review...typically not something that applicants submit or that the municipal code requires as part of the Commission's review for grading. So the applicant has revised the application regarding the trees, which are specifically part of the findings that you all use when you are evaluating grading projects, that's called out: is the project impacting street trees. The findings for approval of a project or recommending approval do not extend to hydrology or geotechnical feasibility."

Mr. Swiecki then requested a two-minute recess to "discuss a potential technical difficulty" with the meeting and then turned off all of the microphones so that the online attendees including myself and perhaps a handful of other people could not hear the discussion that pursued, which involved you, Mr. Swiecki, and several members of the Planning Commission, among others.

You later stated "Should the Commission wish to impose conditions on their permit for the City Engineer to consider, of course that would be part of the City Engineer's review process and any grading permit that's submitted to the City Engineer is publicly available to review. That data again isn't something we would normally require from someone for Planning Commission review and approval. But it is something that you can make a condition of approval that the City Engineer ensure that the hydrology reports demonstrate there will be no negative impact on the surrounding neighborhood."

At about 29:00 in the video, commissioner Sandip Patel asks whether the Planning Commission will be able to consider hydrology if the information is provided, and Mr. Swiecki responds, "They can certainly provide it. Again, it won't be a matter open for...informational only...again it won't enter into the deliberations or the findings but as information if it's available, that's fine."

So which is correct, that the Planning Commission can require the submission of hydrology reports or that the Planning Commission can only consider hydrology reports \*IF\* the applicant decides to provide them, and even in that case cannot include their analysis of the hydrology report in their consideration of approving or denying the grading permit?

If the Planning Commission cannot consider hydrology reports for a grading project involving less than 10 cubic yards of soil in approving or denying a permit, I can understand that.

But to deny the Planning Commission the opportunity to consider hydrology reports for a project requesting the removal of 391 cubic yards of soil would be nothing short of incompetent on the part of the City of Brisbane...and quite possibly even negligent considering that 391 cubic yards of soil by my estimate can absorb up to 42,826 gallons of water during heavy rainfall, if not more, and that there must be consideration of what will happen to that water once the 391 cubic yards of soil is removed, since it will flow down the mountainside to the two houses across the street from 339 Kings (namely, 338 and 339 Kings) as well as the four houses down slope on Humboldt (namely, 738, 740, 760, and 764 Humboldt).

If a professional hydrologist and civil engineer informed you that choosing to refuse to include the consideration of hydrology in the Planning Commission's decision-making process with regard to the 338 Kings grading project would be an extremely unwise decision, would you heed his advice?

And in order for hydrology to be fully considered, the soils report(s) must be made available to the public.

Implying that the Planning Commission should make its decision on approval or denial of this project without the soils report to evaluate hydrology would make no sense from a legal perspective.

Thank you.

Prem Lall  
Brisbane resident

On Wednesday, May 27, 2020, 2:53:52 PM PDT, Ayres, Julia <jayres@ci.brisbane.ca.us> wrote:

Hello Prem,

The Planning Commission will be considering the revised grading proposal at 338 Kings Road at a future public hearing (likely in June; specific meeting date not yet determined). Because the Commission hasn't taken final action on their review, the applicant hasn't applied for a grading permit from the City Engineer, so Randy does not have an application or any supporting materials like a soils report to give you. It's still at the Planning Commission level.

The Commission has requested that the applicant voluntarily provide technical documentation such as soils reports at the next hearing. You and any other property owner within 300 feet of the property will receive a mailed notice 10 days before the hearing. The public will be able to access the staff report and applicant's materials on the City's website the Friday before the hearing.

If you have any other questions on the status of the Planning Commission's review or procedures, please let me know and I'll do my best to help.

Best,

Julia

**JULIA C. AYRES**

Senior Planner, Community Development Department

City of Brisbane | 50 Park Place, Brisbane, CA, 94005

Desk: (415) 508-2129 | Cell: (415) 519-0165

Email: [jayres@brisbaneca.org](mailto:jayres@brisbaneca.org)

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**From:** Prem Lall <premlall@yahoo.com>

**Sent:** Wednesday, May 27, 2020 1:28 PM

**To:** Breault, Randy <rbreault@ci.brisbane.ca.us>; Ayres, Julia <jayres@ci.brisbane.ca.us>

**Cc:** Schumann, Michael <[REDACTED]>; Nancy Roeser <[REDACTED]>; Adrian DeCastro <[REDACTED]>; Dean DeCastro <[REDACTED]>; Patricia Flores <[REDACTED]>

**Subject:** Soils report for 338 Kings project requested

Hello Randy and Julia,

I hope you're both holding up well during the COVID-19 lockdown.

I would like to see the soils report submitted for the grading project at 338 Kings Road.

Since City Hall is closed due to the lockdown and I cannot come in to see the report in person, I request a copy by email.

[Grading Review EX-4-19; 338 Kings Road;R-1 Residential District; Grading Review for approximately 330 cubic yards of soil cut and export to accommodate a new driveway, attached garage, and additions for an existing single-family dwelling on a 6,400 square-foot lot with a 43% slope; Abraham Zavala, applicant; Huang John & Chen JoyTrust, owner]

Thank you.

Prem Lall  
Brisbane resident