



# CITY of BRISBANE

## Planning Commission Meeting Agenda

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Thursday, February 08, 2024 at 7:30 PM • Hybrid Regular Meeting  
• Brisbane City Hall 50 Park Place, Brisbane CA

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The public may observe/participate in Planning Commission meetings using remote public comment options or attending in person. Planning Commissioners shall attend in person unless remote participation is permitted by law. The Commission may take action on any item listed on the agenda.

### TO ADDRESS THE COMMISSION

#### In Person:

Location: 50 Park Place, Brisbane, CA 94005, Community Meeting Room

Masks are no longer required but are highly recommended in accordance with California Department of Health Guidelines. To maintain public health and safety, please do not attend in person if you are experiencing symptoms associated with COVID-19 or respiratory illness.

To address the Planning Commission on any item on or not on the posted agenda, fill out a Request of Speak Form located in the Community Meeting Room Lobby and submit it to the City staff.

#### Remote Participation:

Members of the public may observe/participate in the meeting by logging into the Zoom webinar listed below. Planning Commission Meetings may also be viewed live and/or on-demand via the City's YouTube channel at [youtube.com/brisbaneca](https://youtube.com/brisbaneca), or on Comcast Channel 27. Archived videos may be replayed on the City's website, [brisbaneca.org/meetings](https://brisbaneca.org/meetings). Please be advised that if there are technological difficulties, the meeting will nevertheless continue.

The agenda materials may be viewed online at [brisbaneca.org/meetings](https://brisbaneca.org/meetings) at least 24 hours prior to Special Meetings, and at least 72 hours prior to a Regular Meeting.

#### Remote Public Comments:

Meeting participants are encouraged to submit public comments in writing in advance of the meeting. Aside from commenting while in the Zoom webinar the following email and text line will be also monitored during the meeting and public comments received will be noted for the record during Oral Communications or during an Item.

**Email:** [jswiecki@brisbaneca.org](mailto:jswiecki@brisbaneca.org) or **Text:** 415-713-9266

**Zoom Webinar:** (please use the latest version: [zoom.us/download](https://zoom.us/download))

[brisbaneca.org/pc-zoom](https://brisbaneca.org/pc-zoom)

**Webinar ID:** 970 0458 3387

**Call In Number:** +1 (669) 900-9128

### **SPECIAL ASSISTANCE**

If you need special assistance to participate in this meeting, please contact the Community Development Department at (415) 508-2120 in advance of the meeting. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

### **WRITINGS THAT ARE RECEIVED AFTER THE AGENDA HAS BEEN POSTED**

All written communications are provided to the Planning Commission. Any written communication that is received after the agenda has been posted but before 4 p.m. of the day of the meeting will be available for public inspection at the front lobby in City Hall and online at [brisbaneca.org/meetings](http://brisbaneca.org/meetings). Any writings that are received after the agenda has been posted but after 4 p.m. of the day of the meeting will be available on the internet at the start of the meeting ([brisbaneca.org/meetings](http://brisbaneca.org/meetings)), at which time the materials will be distributed to the Planning Commission.

**Commissioners: Funke, Gooding, Lau, Patel, and Sayasane**

### **CALL TO ORDER**

### **ROLL CALL**

### **ADOPTION OF AGENDA**

### **CONSENT CALENDAR**

*Please Note: Items listed here as Consent Calendar Items are considered routine and will be acted upon collectively by one motion adopting the Planning Department's recommendation unless a member of the public, the Commission, or its staff asks to remove an item to discuss it. Prior to the motion, the Chairperson will ask if anyone wishes to remove an item from the Consent Calendar.*

- A. [Approval of draft meeting minutes of January 11, 2024](#)

### **ORAL COMMUNICATIONS** (Limited to a total of 15 minutes)

### **WRITTEN COMMUNICATIONS**

### **OLD BUSINESS**

None

### **NEW BUSINESS**

- B. [PUBLIC HEARING: 150 North Hill Drive; Sign Program 2023-SR-4; TC-1 Crocker Park Trade Commercial District; Sign program to allow 70.5 sq ft of advertising signage along the secondary frontage where a maximum of 50 sq ft is permitted; and finding that this project is categorically exempt from environment review under CEQA Guidelines Section 15311; Marco Aguirre, applicant; AGL Hill Drive Owner LLC, owner.](#)

## ITEMS INITIATED BY STAFF

## ITEMS INITIATED BY THE COMMISSION

## ADJOURNMENT

C. Adjournment to the regular meeting of February 22, 2024

## APPEALS PROCESS

*Anyone may appeal the action of the Planning Commission to the City Council. Except where specified otherwise, appeals shall be filed with the City Clerk not later than 15 calendar days following the Planning Commission's decision. Exceptions to the 15 day filing period include the following: appeals shall be filed with the City Clerk within 6 calendar days of the Planning Commission's action for use permits and variances and 10 calendar days for tentative maps and advertising sign applications. An application form and fee is required to make a formal appeal. For additional information, please contact the City Clerk at 415-508-2110.*

**File Attachments for Item:**

A. Approval of draft meeting minutes of January 11, 2024

DRAFT  
BRISBANE PLANNING COMMISSION  
Action Minutes of January 11, 2024  
Hybrid Meeting

ROLL CALL

Present: Commissioners Funke, Gooding, Lau, Patel  
Absent: Commissioner Sayasane  
Staff Present: Director Swiecki, Principal Planner Ayres, Senior Planner Johnson

CALL TO ORDER

Chairperson Funke called the meeting to order at 7:30 p.m.

ADOPTION OF AGENDA

A motion by Commissioner Gooding, seconded by Commissioner Patel to adopt the agenda. Motion approved 4-0.

CONSENT CALENDAR

A motion by Commissioner Patel, seconded by Commissioner Gooding to adopt the consent calendar (agenda item A). Motion approved 4-0.

ORAL COMMUNICATIONS

There were none.

WRITTEN COMMUNICATIONS

There were none.

NEW BUSINESS

- B. PUBLIC HEARING: 15 Industrial Way; Interim Use Permit 2023-UP-9;** C-1 Commercial Mixed-Use District; Interim use permit to use an existing, approximately quarter acre, gravel surfaced and fenced storage yard for parking construction vehicles and equipment, for a 5-year term; and finding that this project is exempt from environment review under CEQA Guidelines Section 15301; Miguel Galarza, applicant; Oyster Point Properties, Inc., owner.

Senior Planner Johnson gave the staff presentation and answered questions about potential wear and tear on the roadways from heavy equipment transport and the condition and maintenance of the yard surface.

Chair Funke opened the public hearing.

DRAFT  
Brisbane Planning Commission Minutes  
January 11, 2024  
Page 2

Miguel Galarza, applicant, Founder and President of Yerba Buena Engineering (YBE), addressed the Commission and answered questions regarding where YBE is currently located and why they are needing to relocate, and their site operations.

With no one else wishing to address the Commission, a motion by Commissioner Gooding, seconded by Commissioner Patel to close the public hearing was approved 4-0.

After deliberation, a motion by Commissioner Gooding, seconded by Patel to approve the application via adoption of Resolution 2023-UP-9 was approved 4-0.

Chair Funke read the appeals procedure.

#### ITEMS INITIATED BY STAFF

Director Swiecki shared upcoming training opportunities for Commissioners and that the selection of the Planning Commission officers will occur during the second Planning Commission meeting in February.

#### ITEMS INITIATED BY THE COMMISSION

There were none.

#### ADJOURNMENT

Chairperson Funke declared the meeting adjourned to the next regular meeting of January 25, 2024 at approximately 7:52 p.m.

Attest:

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John A. Swiecki, Community Development Director

NOTE: A full video record of this meeting can be found on the City's YouTube channel at [www.youtube.com/BrisbaneCA](http://www.youtube.com/BrisbaneCA), on the City's website at <http://www.brisbaneca.org/meetings>, or on DVD (by request only) at City Hall.

**File Attachments for Item:**

**B. PUBLIC HEARING: 150 North Hill Drive; Sign Program 2023-SR-4;** TC-1 Crocker Park Trade Commercial District; Sign program to allow 70.5 sq ft of advertising signage along the secondary frontage where a maximum of 50 sq ft is permitted; and finding that this project is categorically exempt from environment review under CEQA Guidelines Section 15311; Marco Aguirre, applicant; AGL Hill Drive Owner LLC, owner.



## PLANNING COMMISSION AGENDA REPORT

**Meeting Date:** February 8, 2024

**From:** Julia Ayres, Principal Planner

**Subject:** 150 North Hill Drive; Sign Program 2023-SR-4; TC-1 Crocker Park Trade Commercial District; Sign program to allow 70.5 sq ft of advertising signage along the secondary frontage where a maximum of 50 sq ft is permitted; and finding that this project is categorically exempt from environment review under CEQA Guidelines Section 15311; Marco Aguirre, applicant; AGL Hill Drive Owner LLC, owner.

**REQUEST:** The applicant requests approval of the above-referenced permit to allow installation of a new non-illuminated, wall-mounted 42 sq ft advertising sign for “Bayshore Labs” along the secondary frontage of the subject property, resulting in a total of 70.5 sq ft of advertising signage along the secondary frontage.

**RECOMMENDATION:** Approve Sign Program 2023-SR-4 via adoption of Resolution 2023-SR-4 containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15311 - this project falls within a class of projects which the State has determined not to have a significant effect on the environment. The exceptions to this categorical exemption referenced in Section 15300.2 of the CEQA Guidelines do not apply.

**APPLICABLE CODE SECTIONS:** Advertising signs are defined and regulated in Brisbane Municipal Code (BMC) Chapter 17.36. Properties with 100 linear feet or more of primary and secondary frontages are permitted up to 50 sq ft of advertising signage on a secondary frontage. The Planning Commission may approve advertising signage on secondary frontages exceeding 50 sq ft in area through approval of a sign program per BMC §17.36.050.A.2

### ANALYSIS AND FINDINGS:

#### Background

The subject property is a corner property with three frontages: the primary frontage along North Hill Drive (339.01 feet) and two secondary frontages along Guadalupe Parkway (415.63 feet) and Bayshore Boulevard (269.9 feet). North Hill Drive is considered the primary frontage because access to the site is provided exclusively from a driveway on North Hill Drive (BMC §17.36.020.A.21). An aerial map of the site is provided as Attachment B and a site plan is provided in Attachment D.

This site is allowed a total of 100 square feet of advertising signage without sign program approval, or more with sign program approval. Up to 50 square feet of signage may be located on the secondary frontages along Guadalupe Canyon Parkway and



Bayshore Boulevard. Existing advertising signage on the site includes a 28.5 sq ft monument sign at the corner of Guadalupe Parkway and Bayshore Boulevard and a 6 sq ft pole sign along North Hill Drive, for a total of 34.5 square feet of existing signage, the majority of which is located on the site's highly visible secondary frontages.

The building on the property is located roughly in the middle of the site, surrounded by surface parking. The two-story tall building's most notable architectural feature is an exaggerated rooftop parapet with vertical painted redwood fascia overhanging the building by four feet.

### Proposed Signage

The proposed new advertising sign for "Bayshore Labs" would be comprised of fabricated aluminum channel lettering in a sans serif font, painted black. The lettering would be mounted to the fascia of the parapet on the building's northern elevation at the northeast corner with 0.75 inch stainless steel standoffs, also painted black. The sign would be offset approximately four feet from the vertical eastern edge of the fascia to align with the building wall below. (See applicant's plans provided in Attachment D.) The sign would be most visible to drivers traveling south on Bayshore Boulevard and turning right onto Guadalupe Parkway, then turning left on North Hill Drive to access the site.

### **Discussion and Analysis**

In order to approve a sign program to allow more than 50 square feet of advertising signage along the property's secondary frontage, the Planning Commission must make four findings per BMC §17.36.060.D. These findings are addressed in brief below and in more detail in the attached Resolution 2023-SR-4.

1. All advertising signs must conform to the requirements of Table 17.36.020 and Figure 17.36.020A, unless otherwise exempted.

The project complies with this finding. The overall area of advertising signage on the site would not exceed 77 square feet with the addition of the proposed signage. The Planning Commission may approve advertising signage on secondary frontages that exceeds 50 sq ft.

2. The sign complies with all applicable city ordinances.

The project complies with this finding. A building permit will be required prior to installation of the signage in compliance with Title 15 of the Municipal Code.

3. The sign does not conflict with the building scale, colors, materials, architectural details and styles found in the specific neighborhood or area of the city in which the sign is proposed to be located.

The project complies with this finding. The proposed lettering dimensions are compatible with the scale of the fascia, and the black aluminum channel letters are

2023-SR-4  
2/8/2024 Meeting

compatible with the painted concrete and wood building materials and the beige and green building colors. The signage does not conflict with other building-mounted signage in the vicinity at 100 North Hill Drive and 3240-3280 Bayshore Boulevard.

4. The sign program is consistent with the city's general plan and any specific plan or planned development permit applicable to the site.

The project complies with this finding. The proposed signage is consistent with the underlying trade commercial designation of the subject property. No specific plan or planned development permits are applicable to the site.

## ATTACHMENTS

- A. Draft Resolution 2023-SR-4
- B. Aerial vicinity map
- C. Assessor's parcel map
- D. Applicant's plans

  
\_\_\_\_\_  
Julia Ayres, Principal Planner

  
\_\_\_\_\_  
John Swiecki, Community Development Director

Draft  
RESOLUTION 2023-SR-4  
A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING SIGN PROGRAM 2023-SR-4  
TO ALLOW 70.5 SQUARE FEET OF ADVERTISING SIGNAGE ON  
THE SECONDARY FRONTAGE  
AT 150 NORTH HILL DRIVE

WHEREAS, Marco Aguirre, the applicant, applied to the City of Brisbane for approval of Sign Program 2023-SR-4 at 150 North Hill Drive, which would allow 70.5 square feet of advertising signage on the property's secondary frontage along Guadalupe Canyon Parkway, where a maximum of 50 square feet is allowed by the Brisbane Municipal Code; and

WHEREAS, on February 8, 2024, the Planning Commission conducted a public hearing on the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said applications, the applicant's plans and supporting materials, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15311 of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the application.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 8, 2024, did resolve as follows:

Sign Program 2023-SR-4 is approved per the findings and conditions of approval attached herein as Exhibit A and B.

ADOPTED this eighth day of February, 2024, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
Roel Funke  
Chairperson

ATTEST:

---

JOHN A SWIECKI, Community Development Director

**Draft  
EXHIBIT A**

**Action Taken:** Conditionally approve Sign Program 2023-SR-4 per the staff memorandum with attachments, via adoption of Resolution 2023-SR-4.

**Findings:**

1. The advertising sign conforms to the requirements of Table 17.36.020 and Figure 17.36.020A, as modified via approval of this sign program by the Planning Commission pursuant to BMC §17.36.050.A.2. The maximum sign area permitted for the site without a sign program is 100 square feet, given its multiple frontages exceeding 100 linear feet. Properties with multiple frontages are permitted a maximum of 50 square feet of advertising signage along secondary frontages without sign program approval. With the addition of the proposed 42 square foot advertising sign, the total proposed area of advertising signage on the site would be 77 square feet, the majority of which would be located along the site's secondary frontages along Guadalupe Parkway and Bayshore Boulevard.

2. The sign complies with all applicable city ordinances. The sign is subject to advertising sign regulations in Chapter 17.36 of the BMC, for which compliance is detailed in these findings. A building permit will be required prior to installation of the signage in compliance with Title 15 of the Municipal Code. No other Municipal Code sections are applicable.

3. The sign is compatible with the building scale, colors, materials, architectural details and styles found in the TC-1 zoning district. At two feet high by 21 feet wide, the sign lettering is appropriately dimensioned at approximately one-third of the height of the fascia it is mounted upon. The black lettering is compatible with the beige and dark green painted concrete building exterior, and the aluminum material is consistent with the concrete, wood, and metal elements that characterize the existing building and signage materials.

4. The sign program is consistent with the city's general plan and any specific plan or planned development permit applicable to the site.

The project complies with this finding. There are no applicable General Plan regulations for advertising signs for permitted commercial uses, and there are no specific plans or planned development permits applicable to the subject property.

**Conditions of Approval:**

1. A building permit shall be obtained for installation of the sign.

**2023-SR-4  
ATTACHMENT A**

2. The sign shall be maintained in good repair.
3. Material violation of any of the conditions, including material deviation from the approved project description, may be cause for revocation of this permit and termination of all rights granted there under.
4. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
5. This permit shall expire two years from the effective date (at the end of the appeal period) if a Building Permit has not yet been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.



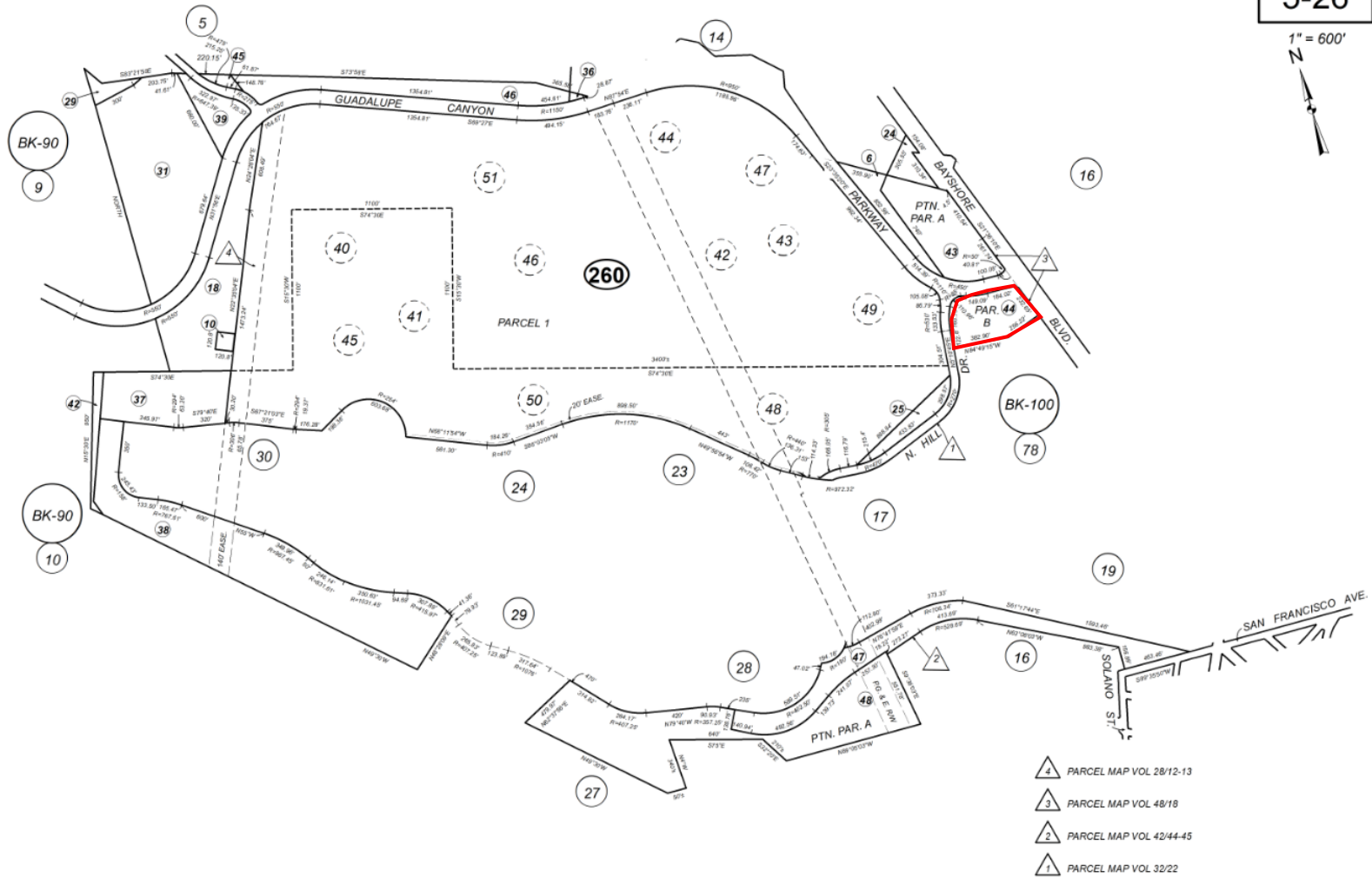
### Aerial Vicinity Map



## Assessor's Parcel Map

5-26

1" = 600'



G.L.

ASSESSOR'S MAP COUNTY OF SAN MATEO, CALIF.

5/26/1981





2022 CALIFORNIA CODE WILL APPLY TO THIS PROJECT

SIGN TYPE A - BUILDING NUMBER/ADDRESS ID  
- Fabricate and install (x1) non-illuminated building number/address id, wall mounting.

# BAYSHORE LABS

PROJECT:

BAYSHORE LABS  
150 N. HILL DRIVE  
BRISBANE, CA 94005

EXTERIOR PACKAGE

01/09/2024

Design + Build.

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LINCOLN PROPERTY COMPANY

PROJECT

BAYSHORE LABS

150 N. HILL DRIVE  
BRISBANE, CA 94005

DRAWING / REVISION DATE  
10/23/23 - YY 12/18/23 - YY  
10/24/23 - YY 01/09/24 - YY  
10/26/23 - YY  
11/02/23 - YY  
11/29/23 - YY  
12/01/23 - YY  
12/04/23 - YY

FILE NAME / LOCATION  
Lincoln Properties\150 N  
Hill\Drawings\ 2000 Bayshore  
Labs Brisbane Exterior.cdr

ORDER NUMBER  
2000

SIGN TYPE

SHEET TITLE  
TABLE OF CONTENTS

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BRAND ARTWORK

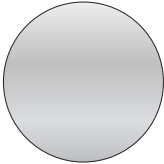

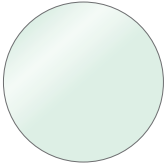
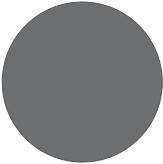
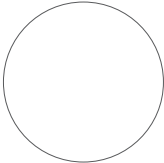
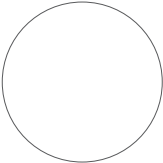
BAYSHORE LABS

ICON/SYMBOLS

FONTS

Milibus Light	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890	Din Next Pro Light	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890
Milibus Medium	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890	Din Next Pro Medium	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890
Milibus Bold	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890	Din Next Pro Bold	ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz 1234567890

MATERIAL AND COLOR SCHEDULE

	M1 aluminum		C1 MAP 3116 Black Umber
	M2 acrylic		C2 MAP 12416 PMS 445C Shipyard Gray
	M3 vinyl		C3 White

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PROJECT

BAYSHORE LABS

150 N. HILL DRIVE  
BRISBANE, CA 94005

DRAWING / REVISION DATE

10/23/23 - YY 12/18/23 - YY  
10/24/23 - YY 01/09/24 - YY  
10/26/23 - YY  
11/02/23 - YY  
11/29/23 - YY  
12/01/23 - YY  
12/04/23 - YY

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SHEET TITLE

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A

B

BUILDING NUMBER ID  
BUILDING ADDRESS ID

0

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150 N. HILL DRIVE  
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SIGN HIERARCHY

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**1** FRONT VIEW  
scale: 1/2" = 1'-0"

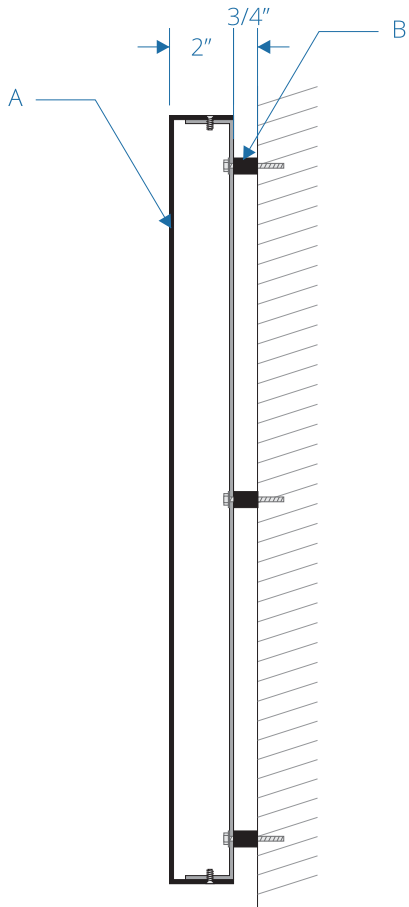


**2** FRONT VIEW - DETAIL  
scale: 1/2" = 1'-0"

DESCRIPTION QTY: 1

**A.** 24"h x 2d fabricated aluminum channel lettering, painted C1 black

**B.** 3/4" stainless steel standoff from the wall, painted C1 black and attached to wall with tapcon concrete anchor



**3** SIDE VIEW - DETAIL  
scale: 2" = 1'-0"



**4** REFERENCES  
scale: NTS

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**BAYSHORE LABS**

150 N. HILL DRIVE  
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11/29/23 - YY  
12/01/23 - YY  
12/04/23 - YY

FILE NAME / LOCATION  
Lincoln Properties\150 N Hill\Drawings\ 2000 Bayshore Labs Brisbane Exterior.cdr

ORDER NUMBER  
**2000**

SIGN TYPE  
**A** **B**

SHEET TITLE  
BUILDING NUMBER/ADDRESS ID

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150 N. HILL DRIVE  
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11/29/23 - YY  
12/01/23 - YY  
12/04/23 - YY

FILE NAME / LOCATION

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ORDER NUMBER

2000

SIGN TYPE

A

B

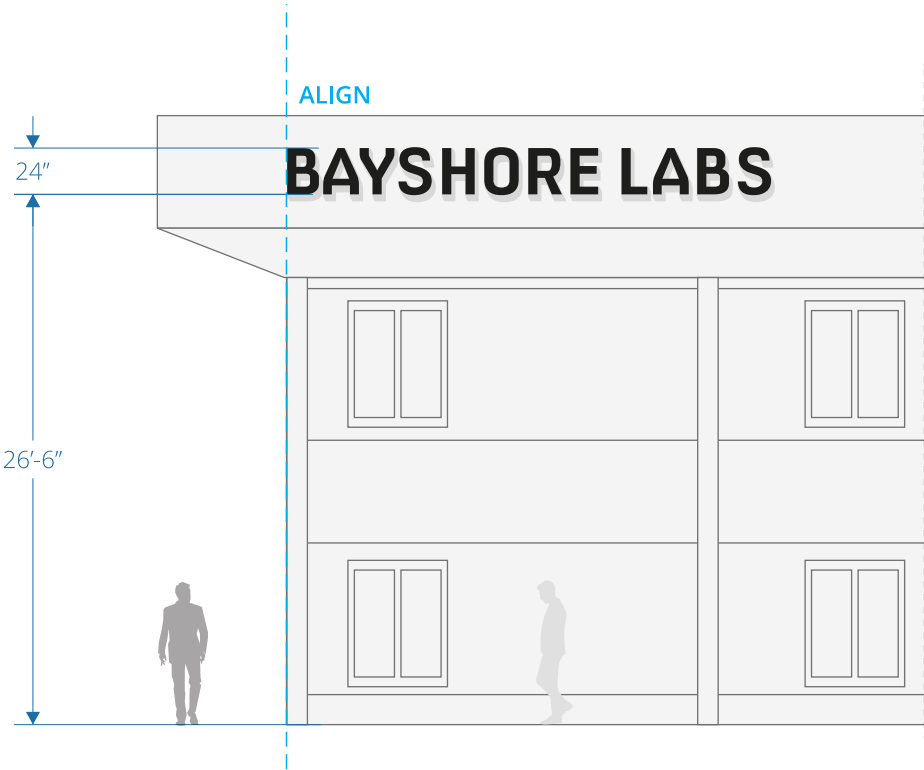
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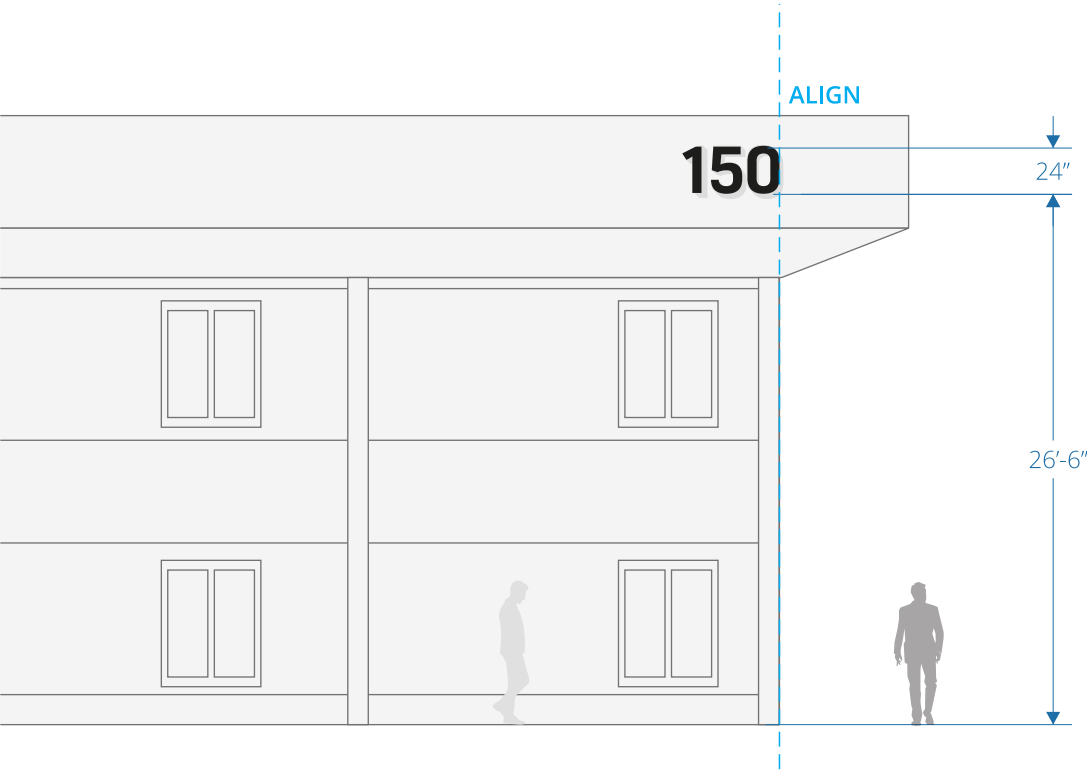
PAGE NUMBER

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**B** NORTH ELEVATION

**1** INSTALL ELEVATION  
scale: 1/8"=1'-0"



**A** EAST ELEVATION



**2** ISOMETRIC VIEW  
scale: NTS





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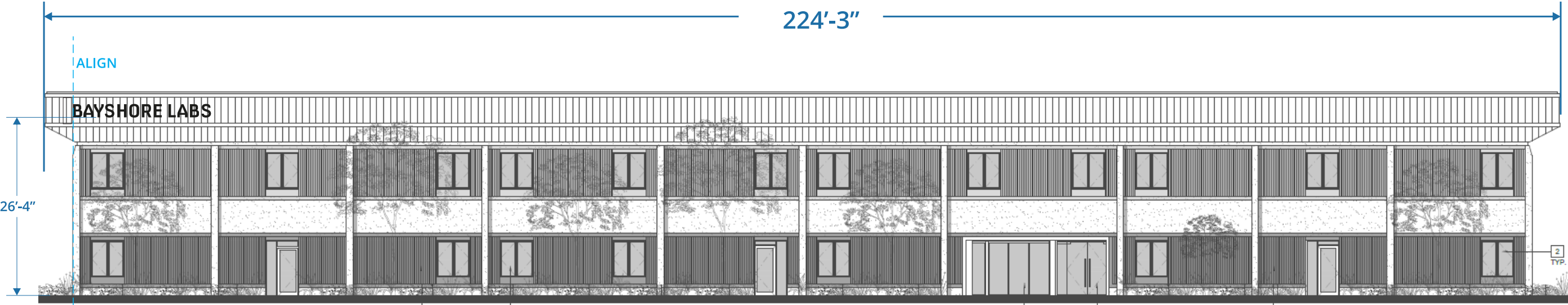
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SIGN TYPE  
**A** **B**

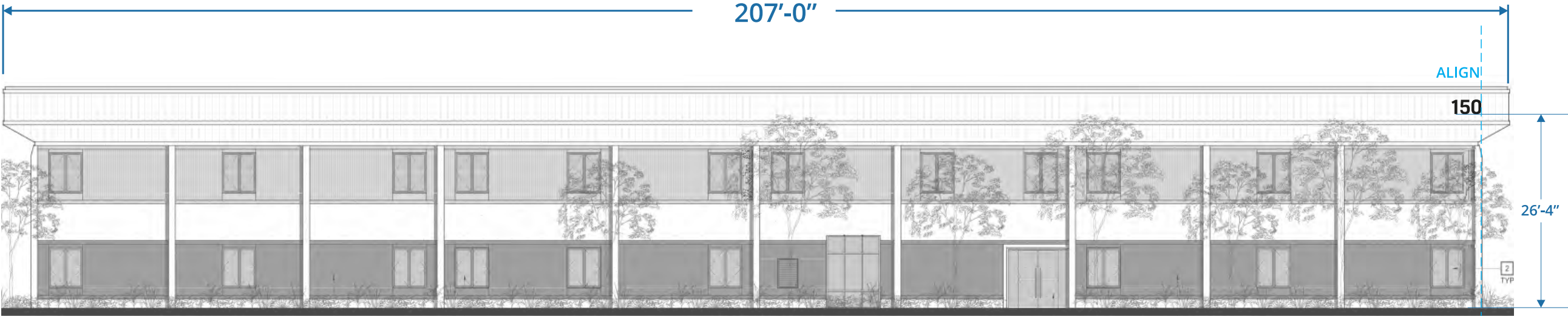
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BUILDING NUMBER/ADDRESS  
ID

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**1** NORTH ELEVATION  
scale: 1/16"=1'-0"



**2** EAST ELEVATION  
scale: 1/16"=1'-0"



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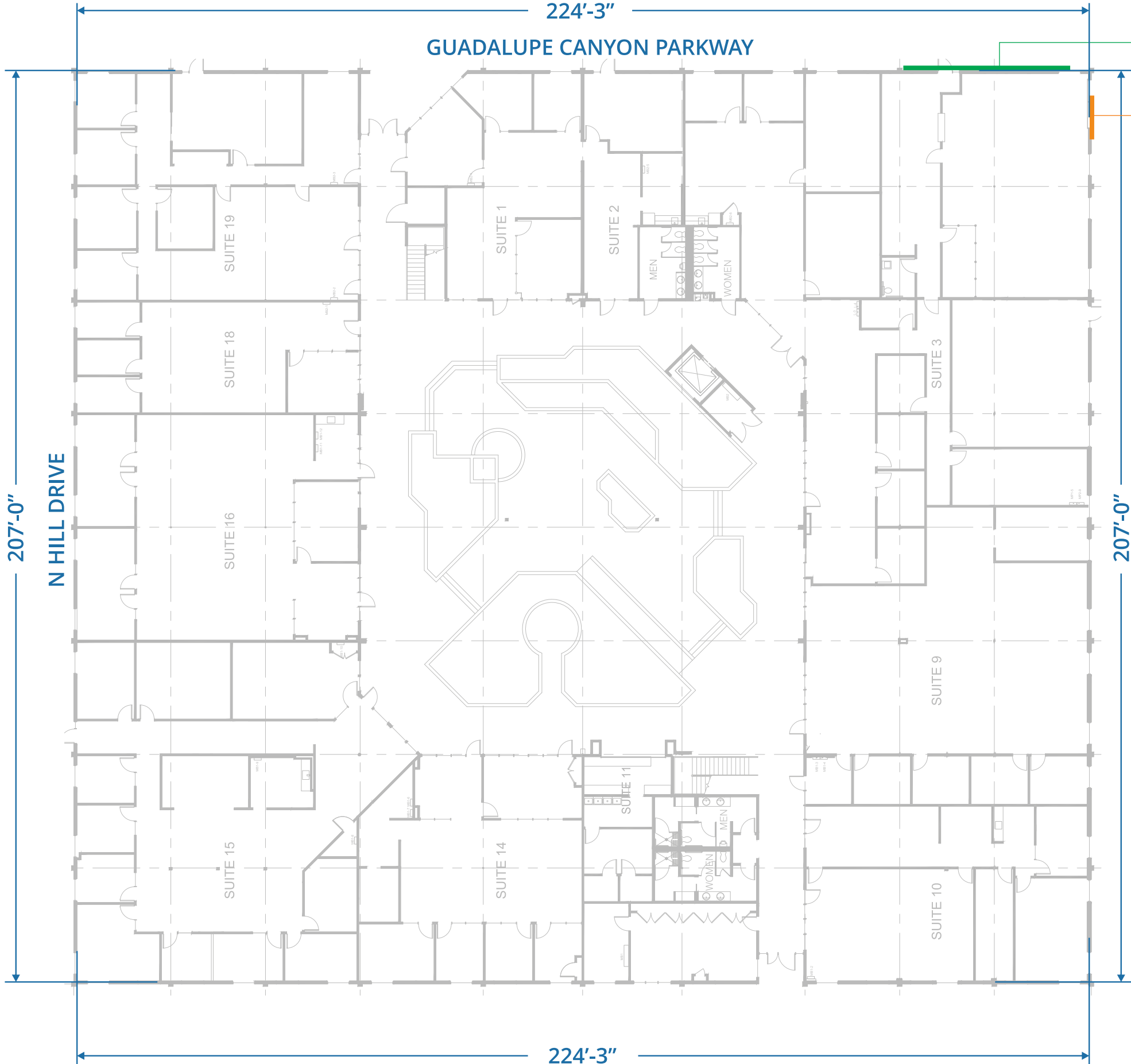


4

PHOTO ELEVATION

scale: NTS





B

A

B

BUILDING NUMBER ID / 1  
BUILDING ADDRESS ID / 1



N

1

LOCATION PLAN  
scale: NTS

ATTACHMENT D

Item B.

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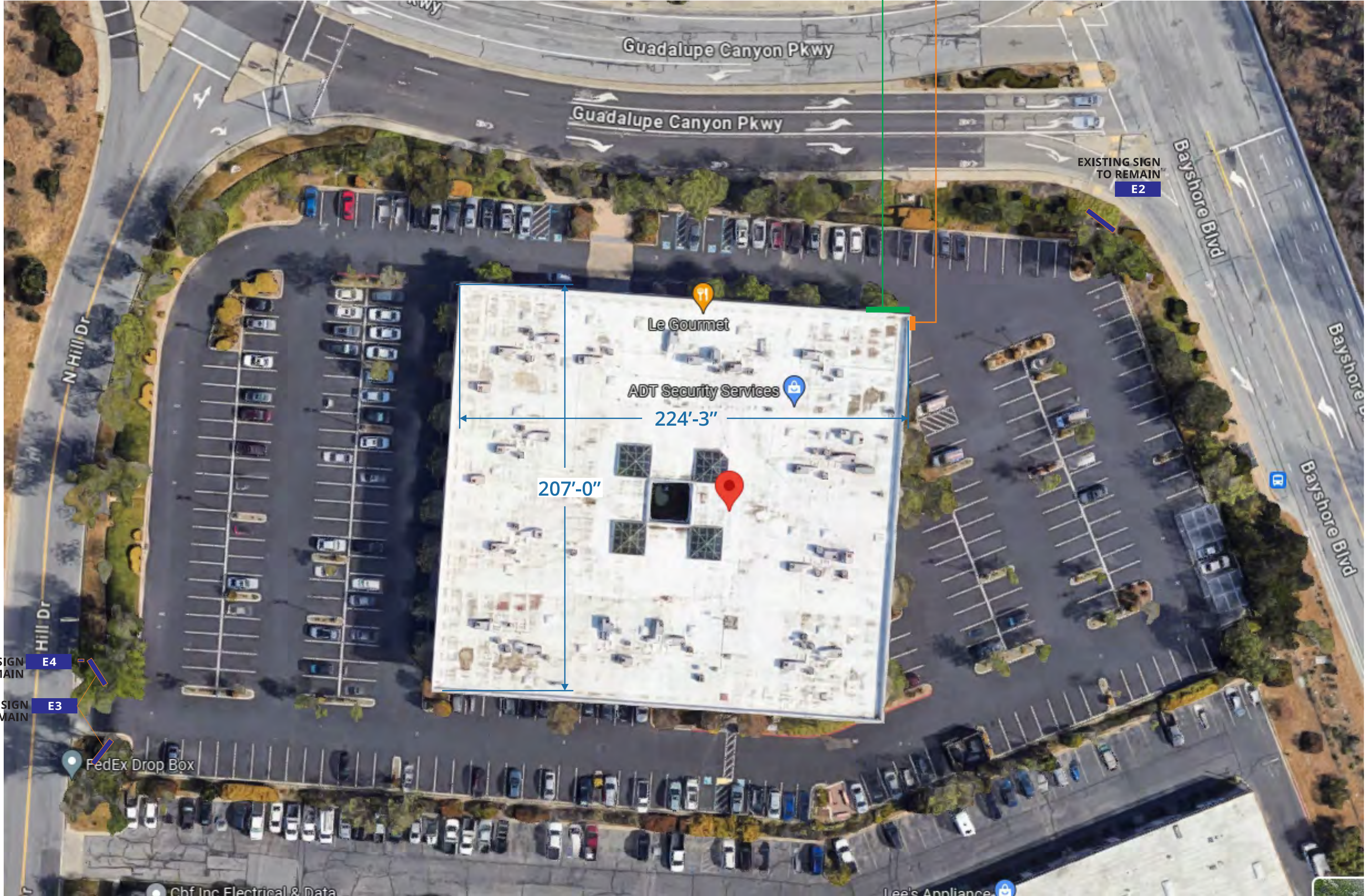
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LOCATION PLAN - EXISTING SIGNAGE



1 SITE PLAN  
scale: NTS



- A PROPOSED BUILDING NUMBER ID / 1
- B PROPOSED BUILDING ADDRESS ID / 1
- E EXISTING SIGNAGE

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ELEVATION - EXISTING SIGNAGE



E

EXISTING SIGNAGE

9 SF

EXISTING SIGN TO BE  
REPLACED WITH PROPOSED SIGN

E1

ATTACHMENT D

Item B.

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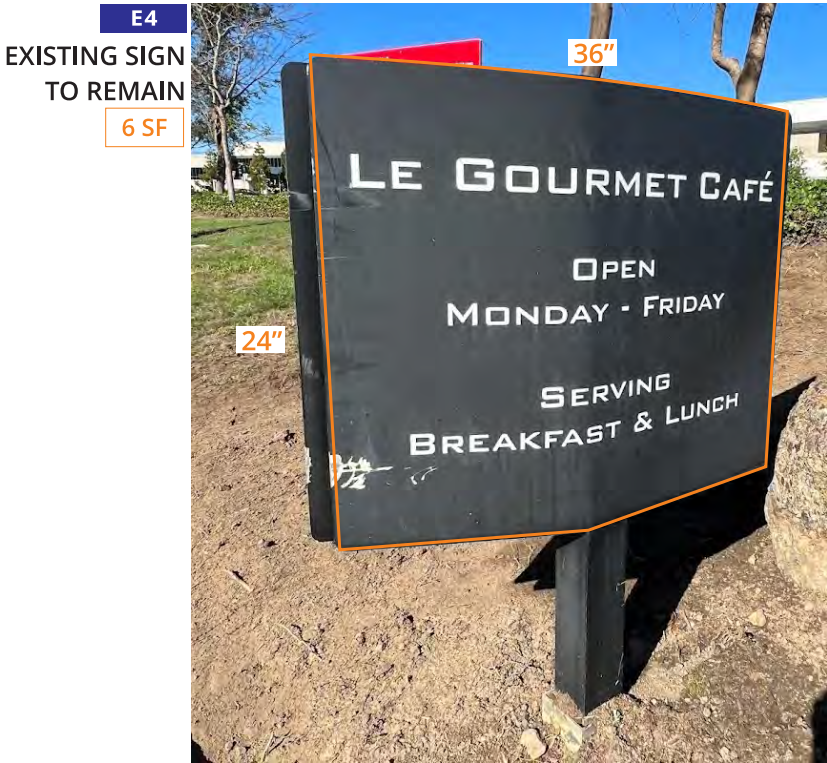
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ELEVATION - EXISTING SIGNAGE



E3

EXISTING SIGN TO REMAIN / 5.5 SF X 2 = 11 SF

5.5 SF X 2 = 11 SF



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PARCEL MAP

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