



CITY of BRISBANE

Zoning Administrator Meeting Agenda

Thursday, February 16, 2023 at 9:00 AM • Hybrid Meeting • City Hall 50 Park Place, Brisbane, CA 94005

This **hybrid meeting** is compliant with the Ralph M. Brown act as amended by California Assembly Bill No. 361 effective September 16, 2021 providing for a public health emergency exception to the standard teleconference rules required by the Brown Act. The purpose of this is to provide a safe environment for the public, staff, and Zoning Administrator, while allowing for public participation.

The Zoning Administrator may take action on any item listed in the agenda.

Members of the public may attend the meeting **in person at City Hall** or **remotely by logging into the Zoom webinar** listed below. The agenda materials may be viewed online at www.brisbaneca.org/meetings.

Join Zoom Webinar: www.brisbaneca.org/webinar-za

Meeting ID: 891 6601 1409

TO ADDRESS THE ZONING ADMINISTRATOR:

Members of the public are encouraged to submit written comments before the meeting to the project planner. See posted public notices at <https://www.brisbaneca.org/cd/page/public-notice> for planner contact information. Members of the public who attend the meeting in person at City Hall or remotely via Zoom may address the Zoning Administrator in the meeting when called upon by the Zoning Administrator. Please use the “Chat” box in Zoom to alert staff that you want to address the Zoning Administrator. Any interested person is invited to attend and give testimony.

Members of the public may email or text comments **prior to the start of the particular agenda item** to the below email and text line:

Email: jayres@brisbaneca.org

Text: 415-519-0165

A call-in number is also available:

Phone Number: +1 (669) 900-9128

Meeting ID: 891 6601 1409

After entering the meeting ID and pressing #, simply press # a second time to enter the meeting waiting room. No participant code is required. Please wait to call until the Zoning Administrator and/or

staff announces that the phone line is open. When you are let into the meeting, press *6 on your phone to unmute yourself before addressing the Zoning Administrator. To avoid feedback, please turn off the volume of the meeting broadcast on your TV or computer. You will still be able to hear the Zoning Administrator through your phone.

SPECIAL ASSISTANCE

If you need special assistance to participate in this meeting, please contact the Community Development Department at (415) 508-2120 in advance of the meeting. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

JOHN A. SWIECKI, AICP, ZONING ADMINISTRATOR

CALL TO ORDER

ORAL COMMUNICATIONS (Limited to a total of 15 minutes)

PUBLIC HEARING

- A. 77 Golden Aster Court; Minor Modification 2022-MM-1; PD Planned Development District;** to allow landscaping and other minor alterations in the backyard, including construction of a covered patio increasing the site's lot coverage by 138 sq ft.; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 15303(e) and 15304(b) and (c); Sanem Surel, applicant; Raymond Liu and Lori Schnitzer Trust, owner.

ADJOURNMENT

APPEALS PROCESS

Anyone may appeal the action of the Zoning Administrator/Community Development Director to the Planning Commission not later than seven (7) calendar days after the Zoning Administrator's/Community Development Director's action. An application form and fee is required to make a formal appeal. For additional information, please contact the Community Development Department at 415-508-2120.

If you challenge the application in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Community Development Department at, or prior to, the public hearing.

INTERNET & OTHER ACCESS

Agendas for meetings of the Zoning Administrator are posted on the Internet at: www.brisbaneca.org/meetings. For a digital copy, please contact the Community Development Department.

NOTICE OF DISCLOSURE

Written information or comments that may include a person's name, address, email address, etc. submitted to the City, Zoning Administrator, and/or City staff are public records under the California Public Records Act, are subject to disclosure and may appear on the City's website.

File Attachments for Item:

A. 77 Golden Aster Court; Minor Modification 2022-MM-1; PD Planned Development District; to allow landscaping and other minor alterations in the backyard, including construction of a covered patio increasing the site's lot coverage by 138 sq ft.; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 15303(e) and 15304(b) and (c); Sanem Surel, applicant; Raymond Liu and Lori Schnitzer Trust, owner.



ZONING ADMINISTRATOR AGENDA REPORT

Meeting Date: February 16, 2023

From: Julia Ayres, Senior Planner

Subject: 77 Golden Aster Ct.; 2022-MM-1; PD Planned Development; A minor modification to the Design Permit for the Northeast Ridge to allow landscaping and other minor alterations in the backyard, including construction of a covered patio increasing the site's lot coverage by 138 sq ft.; and finding the project to be exempt from CEQA per CEQA Guidelines Sections 15303(e) and 15304(b) and (c); Sanem Surel, applicant; Raymond Liu & Lori Schnitzer Trust, owner.

REQUEST: The applicant requests approval of the above-referenced permit to allow improvements to the rear yard of the subject property, including a new covered patio that would increase lot coverage on the site by 138 sq ft..

RECOMMENDATION: Approve 2022-MM-1 2022-MM-1 per the staff memorandum with attachments, including the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15303(e) and 15304(b) and (c) - this project falls within classes of projects which the State has determined not to have a significant effect on the environment. The exceptions to this categorical exemption referenced in Section 15300.2 of the CEQA Guidelines do not apply.

APPLICABLE CODE SECTIONS: Brisbane Municipal Code (BMC) §17.28.120, 17.42.070, and 17.56.090. Additionally, the Vesting Tentative Map Resolution VTM-1-03, for the planned development, Condition "f" provides that minor modifications may be approved by the Planning Director, who acts as the Zoning Administrator

ANALYSIS AND FINDINGS:

Project Description

The subject property is a downslope lot at the western end of the Golden Aster Ct. cul-de-sac and is just under 10,000 sq ft in size. The upper extent of the rear yard closest to the home features limited hardscape and pathways, while the majority of the rear yard is sloped and landscaped. The proposed project would expand the property's outdoor living space by eliminating approximately 200 sq ft of landscape area and adding 416 sq ft (net) in hardscape through a combination of paved patios and synthetic turf. The project requires 16 CY of fill to create level patio areas on the sloped rear yard. Condition of Approval 3 requires the applicant to obtain a grading permit from the City Engineer to allow the proposed grading before the building permit is issued. The filled areas would be retained by a concrete masonry block wall

finished with stucco, varying in height from 18" to 3' above grade and featuring a black metal guardrail 42" with white wood caps.

The proposed covered pergola, approximately 10' high, would create an additional 138 sq ft of lot coverage. The project would also improve existing covered space under the second floor balcony to provide bench seating (no increase in lot coverage).

The applicant's plans indicate a contemplated increase in landscape area under future permit. Condition of approval 2.b would require building permit to include plans compliant with BMC Ch. 15.70 should the 1,000 sq ft threshold of permanently irrigated replacement landscaping be triggered.

Findings

The findings required for issuance of a design permit are provided in BMC §17.42.040. A summary of how the proposal meets each applicable finding follows. A detailed analysis is provided in Attachment A.

A. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project.

The project is limited to exterior site improvements and would not alter the architectural style or scale of the home. The color palette is complementary to the existing painted (green) wood exterior of the home. The proposed pergola, the only new structure proposed, would be finished in exterior materials and paint color that match the existing home. Natural stone patio and pathway materials in shades of gray, brown, and gold, and smooth green stucco-finished landscaping walls.

The homeowners association has approved the proposed plans, as indicated on the attached letter.

B. The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.

The site improvements would create useable outdoor living spaces that are compatible with adjacent development. The proposed patios would be setback more than seven feet from the adjacent property to the east at 75 Golden Aster Ct., and just under 10 feet from the rear yards of adjacent downslope properties at 26 and 28 Huckleberry Ct. As a comparison, patios and other on-grade flatwork in the R-1, R-2, and R-3 Residential districts in Central Brisbane may encroach anywhere within the setback area.

C. Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.

As discussed above, the project is compatible with adjacent residential land uses to the east and south.

E. For hillside development, the proposal respects the topography of the site and is designed to minimize its visual impact. Significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park are preserved.

The minor grading on the site does not change the overall topography of the site or site slope calculation, and the on-grade improvements and pergola, which would be well below the existing roofline of the home, will not alter public views of San Bruno Mountain State and County Park to the north and west.

G. The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate.

The project would not impact the overall relationship and proportion between outdoor living areas, both landscaped and hardscaped, with the existing single-family home. Existing trees at the lower extent of the rear yard would remain and would assist in screening the expanded patio areas from neighboring homes below. There is no expansion of landscaping or hardscaping proposed beyond the property boundary and therefore no impact to adjacent conserved Habitat Conservation Plan habitat or established wildland fire buffer areas incorporated into the Northeast Ridge's built environment.

I. Consideration has been given to avoiding off-site glare from lighting and reflective building materials.

Proposed building materials consist of wood and stone, with no reflective elements. Any exterior lighting must be downlit and fully shielded per condition of approval 2.a.

ATTACHMENTS

- A. Draft findings and conditions of approval
- B. Aerial vicinity map
- C. Project data table
- D. HOA approval letter
- E. Applicant's plans


Julia Ayres, Senior Planner

2022-MM-1
77 Golden Aster Ct.

Action Taken: Conditionally approve 2022-MM-1 per the staff memorandum for the Zoning Administrator hearing of February 16, 2023 subject to the following findings and conditions of approval.

2022-MM-1 Findings of Approval:

- A. As no land use changes are proposed, the project is consistent with the general plan and governing Planned Development permit for the Northeast Ridge.
- B. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project. The project is limited to exterior site improvements and would not alter the architectural style or scale of the home. The color palette is complementary to the existing painted (green) wood exterior of the home. The proposed pergola, the only new structure proposed, would be finished in exterior materials and paint color that match the existing home. Natural stone patio and pathway materials in shades of gray, brown, and gold, and smooth green stucco-finished landscaping walls. The homeowners association has approved the proposed plans, as indicated on the attached letter.
- C. The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development. The proposed site improvements would create useable outdoor living spaces that are compatible with adjacent development. The proposed patios would be setback more than seven feet from the adjacent property to the east at 75 Golden Aster Ct., and just under 10 feet from the rear yards of adjacent downslope properties at 26 and 28 Huckleberry Ct. As a comparison, patios and other on-grade flatwork in the R-1, R-2, and R-3 Residential districts in Central Brisbane may encroach anywhere within the setback area.
- D. The proposed pergola and patio areas are designed and located to mitigate potential impacts to adjacent land uses through use of setbacks from the side and rear property lines, with further screening provided by existing trees to be retained on the site. These features ensure the project is compatible with adjacent residential land uses to the east and south, as described in more detail in Finding C.
- E. Because the project is limited to exterior site improvements and does not include any change in use or additions to the existing structure, this finding is inapplicable.
- F. The proposal respects the topography of the site and is designed to minimize its visual impact. The minor grading on the site does not change the overall topography of the site or site slope calculation, and the on-grade improvements and pergola, which would be well below the existing roofline of the home, will not alter public views of San Bruno Mountain State and County Park to the north and west.

- G. Because the project is limited to exterior landscaping and hardscaping improvements of the existing rear yard, there is no impact to adjacent streets, traffic, or circulation generally to the site or within the Northeast Ridge development.
- H. Because the project is limited to exterior landscaping and hardscaping improvements of the existing rear yard, there is no impact to site access.
- I. The site provides open areas and landscaping to complement the existing single-family dwelling. Landscaping is also used to define areas for usability and privacy. Existing trees at the lower extent of the rear yard would remain and would assist in screening the expanded patio areas from neighboring homes below. Per condition of approval 2.a, any future relandscaping must be water conserving and appropriate to the location. There is no expansion of landscaping or hardscaping proposed beyond the property boundary and therefore no impact to adjacent conserved Habitat Conservation Plan habitat or established wildland fire buffer areas incorporated into the Northeast Ridge's built environment.
- J. Because the project is limited to improvement of existing outdoor living areas in an established residential district, there is no impact to existing interior or exterior noise levels. Project construction shall conform to the noise limits and allowable days and times established in BMC Chapter 8.28.
- K. Consideration has been given to avoiding off-site glare from lighting and reflective building materials. Proposed building materials consist of wood and stone, with no reflective elements. Any exterior lighting must be downlit and fully shielded per condition of approval 2.a.
- L. New mechanical equipment is limited to the proposed hot tub, which is located in excess of 20 ft from adjacent property lines underneath the existing structure balcony, and will be screened at ground level as shown in the applicant's plans.
- M. There is no signage associated with this project and this finding is inapplicable.
- N. There are no employees on this residential property and this finding is inapplicable.

2022-MM-1 Conditions of Approval:

- 1. Homeowner's Association approval is required. Any substantive deviations from the plans approved in this application shall be accompanied by Homeowner's Association authorization submitted with the building permit.
- 2. A Building Permit shall be obtained from the City of Brisbane and shall address the following:
 - a. All exterior lighting shall be downlit and fully shielded to prevent off-site light trespass and glare.
 - b. Any relandscaping involving 1,000 sq f or more of permanently irrigated landscape area shall comply with BMC Chapter 15.70 for water conservation in landscaping. Plans submitted with the building permit shall demonstrate compliance with BMC Chapter 15.70.

- c. Illustrations, cut sheets and/or materials samples will be required by the Community Development Director, at his discretion.
3. A Grading permit shall be obtained from the City Engineer prior to building permit issuance.
4. This Minor Modification shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not been issued for the approved project or if the Building Permit, once issued, is allowed to expire prior to final inspection.
5. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.

Aerial Vicinity Map: 77 Golden Aster Ct.



Project Data

Development Standard	Existing	Proposed
Lot Size	9,945 sq ft	n/a
Lot Coverage		(138 sq ft increase)
Floor Area Ratio	4,359 sq ft/0.44 FAR	n/c
Setbacks	-	Covered patio: Rear: 23' Side: 18'
Height	-	Covered patio: 10'

LANDMARK AT THE RIDGE OWNER'S ASSOCIATION

October 14, 2020

Lori and Raymond Liu
77 Golden Aster
Brisbane, CA 94005

Re: Backyard Landscaping

Dear Homeowner:

The Landmark at the Ridge Owner's Association Board of Directors has reviewed a set of plans submitted by you for the following improvement at your home:

- **Backyard Landscaping.**

Based on the plans submitted and other information, the above improvement was **approved** by this association. This approval is contingent on the following additional conditions:

- Any required city approvals and permits will be obtained in advance of construction and;
- A licensed and insured contractor will perform the work.
- Plants must be in the City approved plant list.

Please submit a copy of this letter with any application you submit to the city. If you have any questions about this action, please contact me at 650-637-1616 ext. 502 or by email at prallonza@manorinc.com.

Regards,

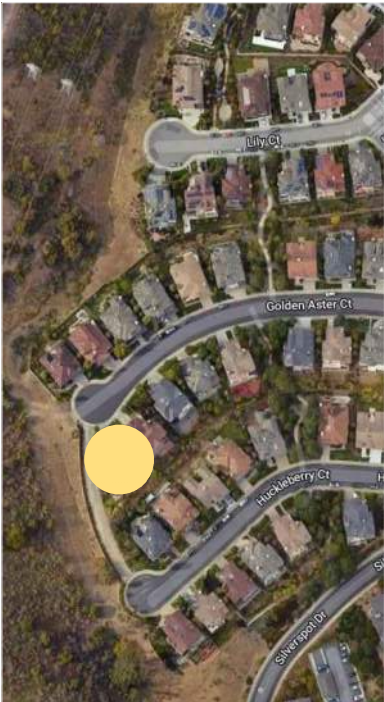
Paul Rallonza, CCAM
Community Association Manager
The Manor Association

cc: The Landmark at the Ridge Owner's Association Board of Directors
Unit file



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PROJECT INFORMATION



CLIENT NAME : LIU RESIDENCE

ADDRESS: 77 GOLDEN ASTER CT, BRISBANE, CA 94005

SHEET INDEX :

LANDSCAPE:	STRUCTURAL
L 0.00 COVER PAGE	S 1.00 NOTES
L 1.00 EXISTING CONDITION & DEMOLITION PLAN	S 2.00 PLANS
L 1.01 SITE IMAGES BEFORE	S 3.00 DETAILS
L 2.00 SITE PLAN	
L 2.01 MATERIAL SCHEDULE	
L 2.02 SITE IMAGES AFTER	
L 3.00 ELEVATIONS	
L 3.01 ELEVATIONS	
L 4.00 PROPOSED COVER PATIO SET BACK	
L 4.01 PROPOSED COVER PATIO LAYOUT	
L 4.02 PROPOSED COVER PATIO ELEVATIONS	
L 5.00 PROPOSED GUARDRAIL LAYOUT	
L 5.01 PROPOSED GUARDRAIL ELEVATIONS	

PROJECT TEAM

LANDSCAPE DESIGNER: TOOLBOX DESIGN LLC. 650 CALIFORNIA ST. # 05-119 SAN FRANCISCO, CA 94108 CONTACT : SANEM SUREL (415)676-8107	STRUCTURAL ENGINEER: STRUCTICA, INC. 530 ALAMEDA EL PRADO # 183C NOVATO, CA 94949 CONTACT: BABAK MAMAGHANI (415)578-0707	OWNER : RAYMOND & LORI LIU 77 GOLDEN ASTER CT. BRISBANE, CA 94005 CONTACT: RAYMOND LIU (415)696-6928
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COVERAGE CALCULATION :

AREA	LANDSCAPE	HARDSCAPE
EXISTING	1479 sqf	566 sqf
TO BE REMOVED	210 sqf	499 sqf
TO BE ADDED	10 sqf	915 sqf
TOTAL	1279 sqf	982 sqf

GENERAL NOTES

- THESE DRAWINGS ARE FOR INFORMATION ONLY. THE LANDSCAPE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, INCLUDING STRUCTURES, SURFACE AND SUBSURFACE UTILITIES, PAVEMENT, AND LANDSCAPING AT SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. NO WORK SHALL PROCEED UNTIL A RESOLUTION HAS BEEN AGREED UPON TO THE SATISFACTION OF THE OWNER.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND THE SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL, ADDENDA, ETC. IN ORDER TO ENSURE THE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW AND COORDINATE ALL CONTRACT DOCUMENTS BY THE LANDSCAPE CONTRACTOR WITH ALL THE SUBCONTRACTORS FOR APPLICABLE ITEMS OF THE WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL THE WORK AS REQUIRED AS PART OF THE CONTRACT.
- THE LANDSCAPE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE IMPACT OF THE PROPOSED NEW WORK INDICATED ON THE DRAWINGS FOR THESE CONDITIONS. ANY QUESTIONS REGARDING THE COORDINATION OF NEW WORK OR EXISTING CONDITIONS MUST BE SUBMITTED TO THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO COMMENCEMENT OF WORK.
- THE LANDSCAPE CONTRACTOR SHALL, PRIOR TO THE START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS, PROVIDE A COMPLETE FIELD LAYOUT ON THE JOB SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEVIATIONS OR CONFLICTS WITH THESE DRAWINGS.
- THE DRAWINGS SHALL NOT BE SCALED. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZE OF THE CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN, VERIFY THE CORRECT DIMENSION OR LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- THE DRAWINGS AND REFERENCED DETAILS HAVE BEEN DIMENSIONED IN ORDER TO ESTABLISH THE CONTROL AND GUIDELINES FOR FIELD LAYOUT. WHERE DISCREPANCY EXISTS BETWEEN THE DRAWING AND THE DETAIL THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION.
- WHERE DIMENSIONS ARE NOTED TO BE VERIFIED IN FIELD (V.I.F.) THE DIMENSION SHOWN IS THE DESIGN BASIS BUT MAY DIFFER FROM ACTUAL CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THESE DIMENSIONS WHILE LAYING OUT THE WORK AND REPORT ANY DISCREPANCIES BETWEEN THE DESIGN BASIS AND ACTUAL DIMENSIONS TO THE OWNER PRIOR TO PROCEEDING WITH THE WORK. WHERE DIMENSIONS ARE NOTED +/- FIELD DIMENSIONS MAY VARY FROM THE NOTED DIMENSIONS BY MINOR AMOUNTS.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS OR REGULATIONS, AND WITH CURRENT ACCEPTED INDUSTRY CODES, STANDARDS, AND PRACTICES. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO ANY LAWS, REGULATIONS, CODES, STANDARDS, OR PRACTICES.
- ALL 'OR EQUAL' SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.

ABBREVIATIONS

A.D. APPROX.	AREA DRAIN APPROXIMATELY	PA	PLANTING AREA	SPD	SEE POOL DWG
BW	BOTTOM OF WALL	PT	PRESSURE TREATED	SSD	SEE STRUCTURAL DWG
C.I.P	CAST IN PLACE	R	RADIUS	STAG	STAGGERED
CL	CENTERLINE	REF	REFERENCE	SIM	SIMILAR
CJ	CONTROL JOINT	RET	RETAINING	SPEC	SPECIFICATION
CONC	CONCRETE	REV	REVISION	SQ	SQUARE
CONT.	CONTINUOUS	R-O-W	RIGHT OF WAY	TC	TOP OF CURB
CTR	CENTER	SAD	SEE ARCHITECTURAL DWG	TOC	TOP OF CONCRETE
DIA	DIAMETER	SCD	SEE CIVIL DWG	TW	TOP OF WALL
DIM	DIMENSION	SF	SQUARE FEET	TYP	TYPICAL
DWG	DRAWING	SHT	SHEET	UON	UNLESS OTHERWISE NOTED
E	EXISTING	SH	STEEL HEADER		
EG	EXISTING GRADE				
EJ	EXPANSION JOINT				
EL	ELEVATION				
ELEC	ELECTRICAL				
EMBED	EMBEDMENT				
EQ	EQUAL				
EXP	EXPANSION				
FFE	FINISH FLOOR ELEVATION				
FG	FINISH GRADE				
FIN	FINISH				
GLM	GLUED LAMINATED BEAM				
GR	GRADE				
HC	HANDICAP ACCESSIBLE				
HP	HIGH POINT				
ID	INSIDE DIAMETER				
IN	INCH				
LP	LOW PIONT				
L-O-W	LIMIT OF WORK				
MAX	MAXIMUM				
MIN	MINIMUM				
N	NEW				
N.I.C.	NOT IN CONTRACT				
NTS	NOT TO SCALE				
O.C.	ON CENTER				
OD	OUTSIDE DIAMETER				
OPP	OPPOSITE				

SYMBOLS	
	ALIGN
	BREAKLINE
	CENTERLINE
	CENTER POINT OF RADIUS
	LIMIT OF WORK
	PLANT CALLOUT
	POINT OF BEGINNING
	DRAWING NUMBER
	SHEET NUMBER

ISSUED :
DATE : 09/15/2022
REV 01 DATE : 09/22/2021
REV 02 DATE : 02/23/2021
REV 03 DATE : 04/15/2022
REV 04 DATE : 09.15.2022

PHASE :

APPROVAL

SHEET TITLE :

CP

SHEET NO.
L0.00
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LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

ISSUED :	
DATE :	12.28.2022
REV 01 DATE :	09.22.2021
REV 02 DATE :	02.23.2022
1 REV 03 DATE :	04.15.2022
2 REV 04 DATE :	09.15.2022

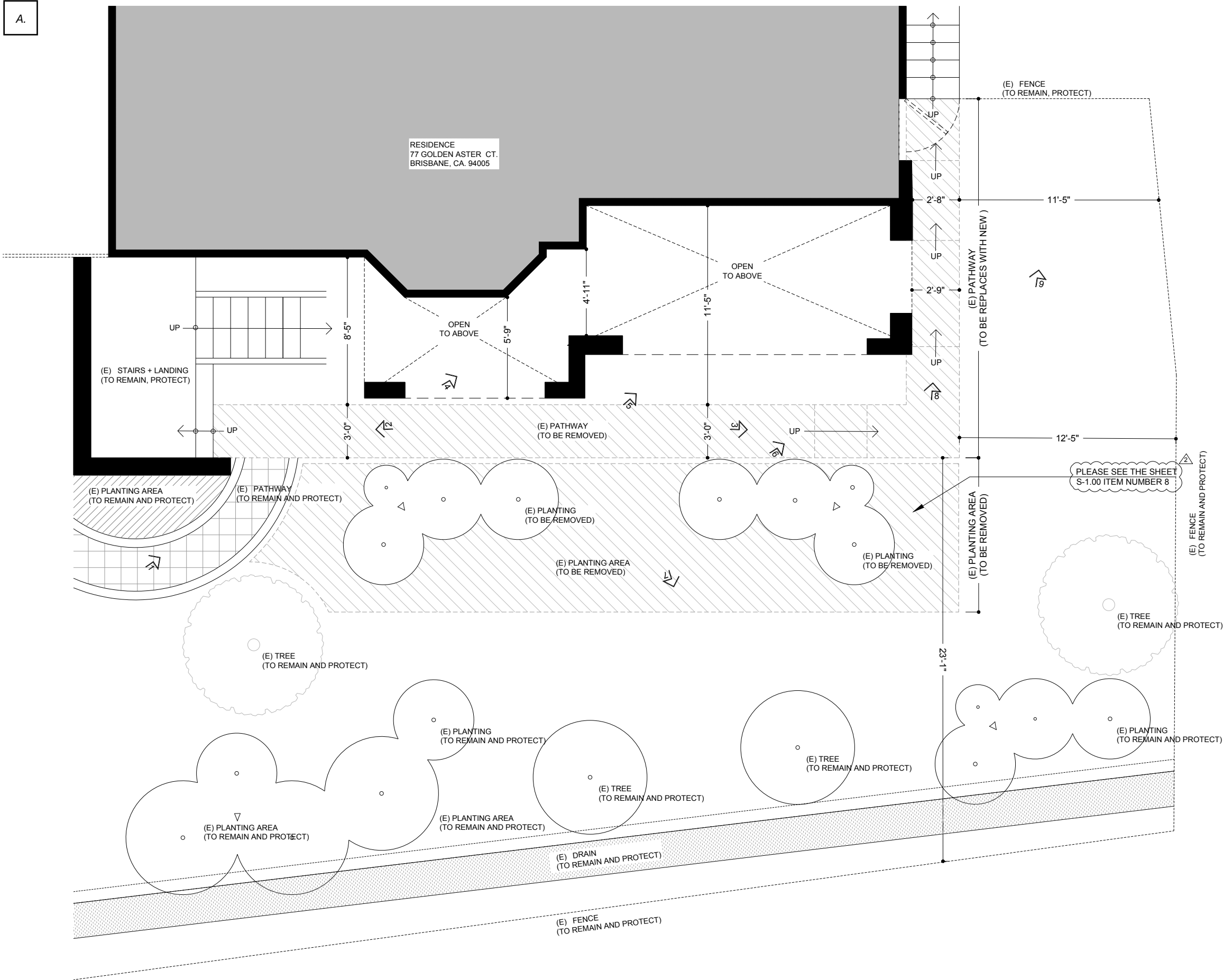
SCALE : $3/8" = 1' - 0"$

PHASE :

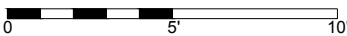
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NO:

L1.00



SCALE : 3/8"=1'-0"





DESIGN+BUILD
535 MISSION ST, SAN FRANCISCO, CA 94105
www.toolboxsf.co

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LANDSCAPE IMPROVEMENT PROJECT

PROJECT : LIU RESIDENCE

LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

ISSUED :	
DATE :	12.28.2022
REV 01 I DATE :	09.22.2021
REV 02 I DATE :	02.23.2022
△ REV 03 I DATE :	04.15.2022
△ REV 04 I DATE :	09.15.2022

SCALE :
N/A
PHASE :

APPROVAL

SHEET TITLE :

SITE PICTURES I
BEFORE

SHEET NO:

L1.01



7 EXISTING FENCE & GATE AT SIDE YARD I
TO REMAIN & PROTECT IN PLACE



6 PROPOSED COVER PATIO LOCATION &
PATHWAY



3 EXISTING CONCRETE PATHWAY I
REMOVED & REPLACED



8 EXISTING CONCRETE STEP & ENTRY I
REMOVED & REPLACED



5 PROPOSED COVER PATIO LOCATION



2 EXISTING DECK ENTRY I
TO REMAIN & PROTECT IN PLACE



7 EXISTING PLANTING AREA I
TO REMAIN & PROTECT IN PLACE



4 PROPOSED HOT-TUB & SPA DECK LOCATION



1 EXISTING PATHWAY & PLANTING AREA I
TO REMAIN & PROTECT IN PLACE

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LANDSCAPE IMPROVEMENT PROJECT

PROJECT : LIU RESIDENCE

LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

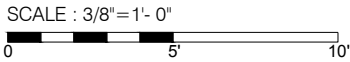
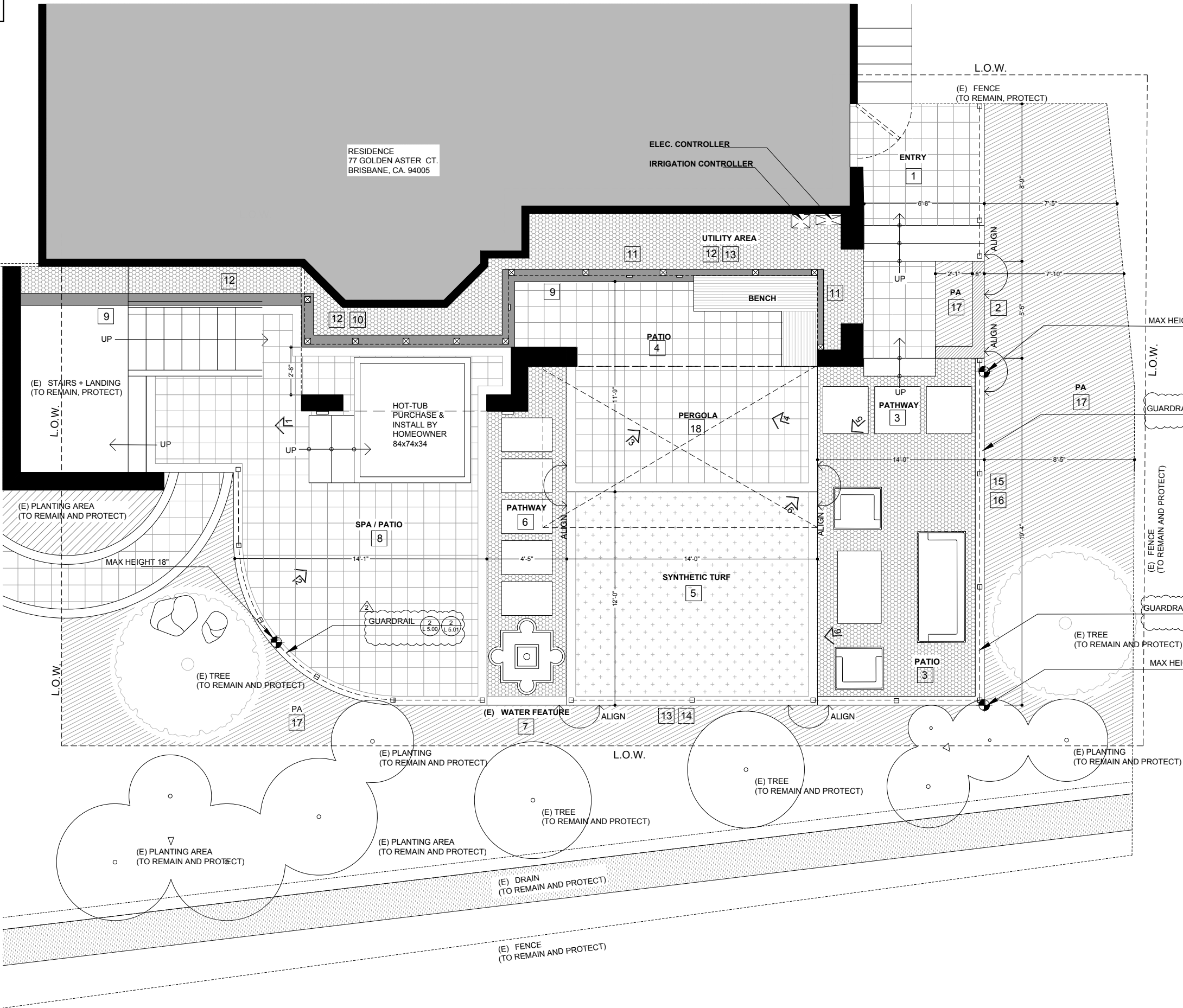
ISSUED :	
DATE :	12.28.2022
REV 01 DATE :	09.22.2021
REV 02 DATE :	02.23.2022
△ REV 03 DATE :	04.15.2022
△ REV 04 DATE :	09.15.2022



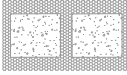


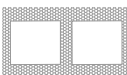








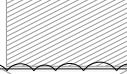



SCALE :
3/8" = 1'- 0"

PHASE :
APPROVAL

SHEET TITLE :
SITE PLAN

SHEET NO.:
L2.00



A. MATERIAL SCHEDULE						
NUMBER	SYMBOL	DESCRIPTION	MATERIAL	SIZE	COLOR FINISH	NOTE
1		ENTRY	MATERIAL PAVERS : BELGARD CATALINA, PATTERN : (3) PIECES	LARGE	COLOR VICTORIAN , FINISH: SMOOTH FACE	-
			MATERIAL BORDER : BELGARD CATALINA	6X9	COLOR VICTORIAN , FINISH: SMOOTH FACE	-
2		RAISED PLANTER @ ENTRY	MATERIAL WALL : CMU WALL W/ STUCCO	L SHAPE 2'-0" X 5'-0"	COLOR : GRAY , FINISH: STUCCO	-
			WALL CAP : NATURAL STONE , COPPING	12X6	COLOR CALIFORNIA GOLD	-
3		PATIO & PATHWAY	MATERIAL CONCRETE : CONCRETE SLABS	4' THK	COLOR: NO COLOR , FINISH : BROOM FINISH	NOTE : AS SHOWN AT L 100 SITE PLAN
			MATERIAL DECORATIVE ROCKS: LODI PEBBLES	3/8"	COLOR: VARIES , GRAY/BROWN	-
4		COVER PATIO	MATERIAL PAVERS : BELGARD CATALINA, PATTERN : (3) PIECES	MATERIAL BORDER : BELGARD CATALINA	COLOR VICTORIAN , FINISH: SMOOTH FACE	-
			MATERIAL BORDER : BELGARD CATALINA	6X9	COLOR VICTORIAN , FINISH: SMOOTH FACE	-
5		SYNTHETIC TURF	MATERIAL SYNTHETIC TURF BLUE GRASS LIGHT WITH 5 INCH 40DD NAILS & 16 GRITSILICA SAND 48 OZ FACE WEIGHT	AS SHOWN	-	NOTE : NO RETURNS ON CUT ARTIFICIAL GRASS (NON-REFUNDABLE)
			MATERIAL BORDER: METAL EDGING	6" H	COLOR: BLACK	-
6		PATHWAY @ WATER FEATURE	MATERIAL NATURAL STONE , SLABS	3'-0" L X 2'-0" W	COLOR: CALIFORNIA GOLD	NOTE : AS SHOWN AT L 100 SITE PLAN
			MATERIAL DECORATIVE ROCKS: LODI PEBBLES	3/8"	COLOR: VARIES , GRAY/BROWN	-
7		EXISTING WATER FEATURE	-	-	-	-
8		SPA PATIO	MATERIAL PAVERS : BELGARD CATALINA, PATTERN : (3) PIECES	LARGE	COLOR VICTORIAN , FINISH: SMOOTH FACE	NOTE : AS SHOWN AT L 100 SITE PLAN
			MATERIAL BORDER : BELGARD CATALINA	6X9	COLOR VICTORIAN , FINISH: SMOOTH FACE	-
9		CURB WALL	MATERIAL WALL : CMU WALL W/ STUCCO	16" H	COLOR: GREEN , FINISH STUCCO	-
10		WOODEN SCREEN @ SPA	MATERIAL : 1X6 REDWOOD DECKING	-	FINISH : STAIN ONLY, COLOR: GREEN	-
11		WOODEN SCREEN @ COVER PATIO	MATERIAL : 1X6 REDWOOD DECKING	-	COLOR: WHITE	-
12		DECORATIVE ROCKS @ UTILITY AREA	MATERIAL DECORATIVE ROCKS: LODI PEBBLES	3/8"	COLOR: VARIES , GRAY/BROWN	-
13		UTILITY AREA	MATERIAL DECORATIVE ROCKS: LODI PEBBLES	3/8"	COLOR: VARIES , GRAY/BROWN	-
14		SEAT BENCH @ COVER PATIO	MATERIAL : 1X6 REDWOOD DECKING WITH 1X6 FRAMING ALL (4) SIDES	18" H	FINISH : STAIN ONLY, COLOR: CLEAR	-
15		RETAINING WALL	MATERIAL WALL : CMU WALL W/ STUCCO	VARIOUS 18"-3'-0"H	COLOR: GRAY , FINISH STUCCO	-
16		GUARDRAIL	MATERIAL : METAL FRAMING WITH WOOD CAP	OVERALL 42" H	COLOR: BLACK	-
		CAP	MATERIAL : WHITE WOOD WALNUT	2.5"X1.5"	-	-
17		FUTURE PLANTING AREA	-	-	-	-
18		PERGOLA	MATERIAL : PLEASE SEE STRUCTURAL DRAWINGS S-2.0 LAYOUT & S-3.0 DETAILS		COLOR: MATCHE WITH THE EXISITING HOUSE FACADE	PLEASE SEE SHEET STRUCTURAL DRAWING SHEETS S-2.0 & S-3.0



DESIGN + BUILD

535 MISSION ST, SAN FRANCISCO, CA 94105

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LANDSCAPE IMPROVEMENT PROJECT

PROJECT : LIU RESIDENCE

LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

ISSUED :

DATE :	12.28.2022
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REV 03 DATE :	04.15.2022
REV 04 DATE :	09.15.2022

SCALE :

1/4"

PHASE :

APPROVAL

SHEET TITLE :

MATERIAL
SCHEDULE

SHEET NO.

L2.01



6 RAISED PLANTER & STAIRS & LANDING AT SIDE YARD



5 PROPOSED SYNTHETIC TURF & PROPOSED PATIO



4 PROPOSED COVERED PATIO LOCATION WITH BENCH



3 PROPOSED COVERED PATIO LOCATION WITH BENCH



2 PROPOSED SPA PATIO & WOOD SCREEN & PATHWAY



1 EXISTING ENTRY AT DECK & PROPOSED PATHWAY



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LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

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REV 03 DATE :	04.15.2022
REV 04 DATE :	09.15.2022

SCALE :
N/A

PHASE :

APPROVAL

SHEET TITLE :

SITE PICTURE I
AFTER

1 SHEET NO:

L2.02

AS A COURTESY, THIS DRAWING MAY BE PROVIDED IN ELECTRONIC FORMAT AND SHOULD BE USED FOR REFERENCE PURPOSES ONLY. ANY ILLEGAL REPRODUCTION OF THIS CONTENT WILL RESULT IN IMMEDIATE LEGAL ACTION. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. ONLY THE SIGNED HARD COPY PREPARED FOR THE PROJECT CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. THE HARD COPY MUST BE REFERRED TO FOR THE CORRECT DESIGN INFORMATION. TOOLBOX DESIGN LLC SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, STAMPED, AND SIGNED BY TOOLBOX DESIGN LLC. THE RECIPIENT OF THESE FILES AGREES TO INDEMNIFY AND HOLD HARMLESS TOOLBOX DESIGN LLC FOR ALL COSTS AND DAMAGES INCURRED BY USE OF THESE ELECTRONIC FILES.

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LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

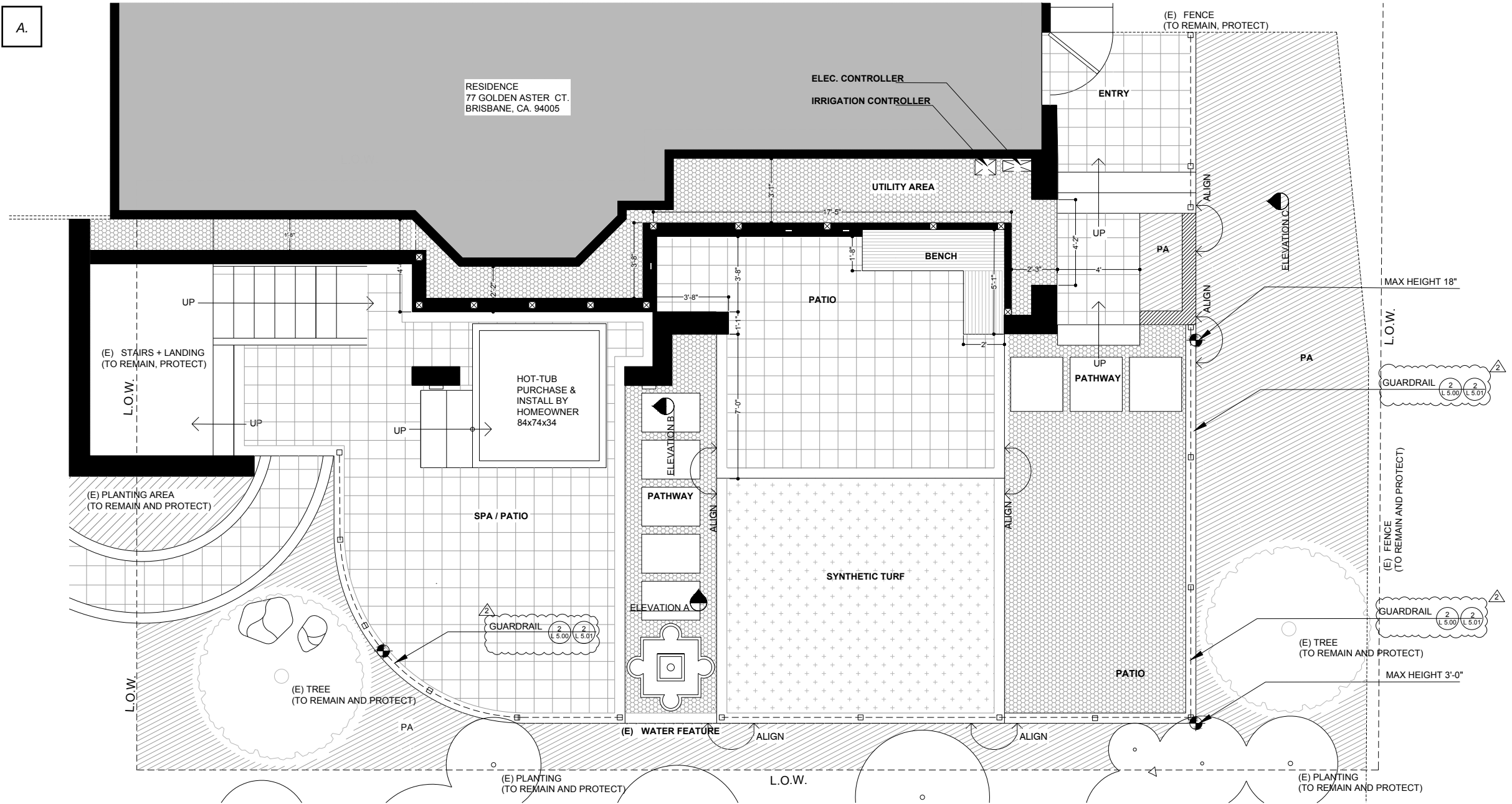
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SCALE :
AS SHOWN

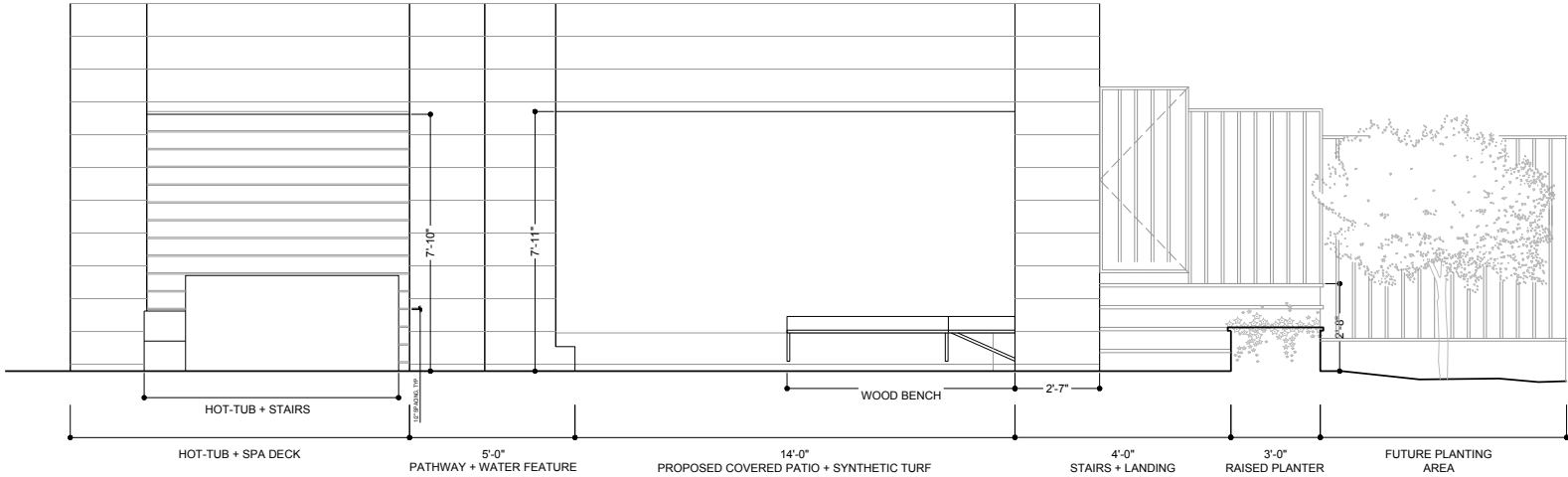
PHASE :
APPROVAL

SHEET TITLE :
ELEVATIONS

SHEET NO :
L3.00



1 PLAN
SCALE 3/8"=1'-0"



19 ELEVATION I A
SCALE 3/8"=1'-0"

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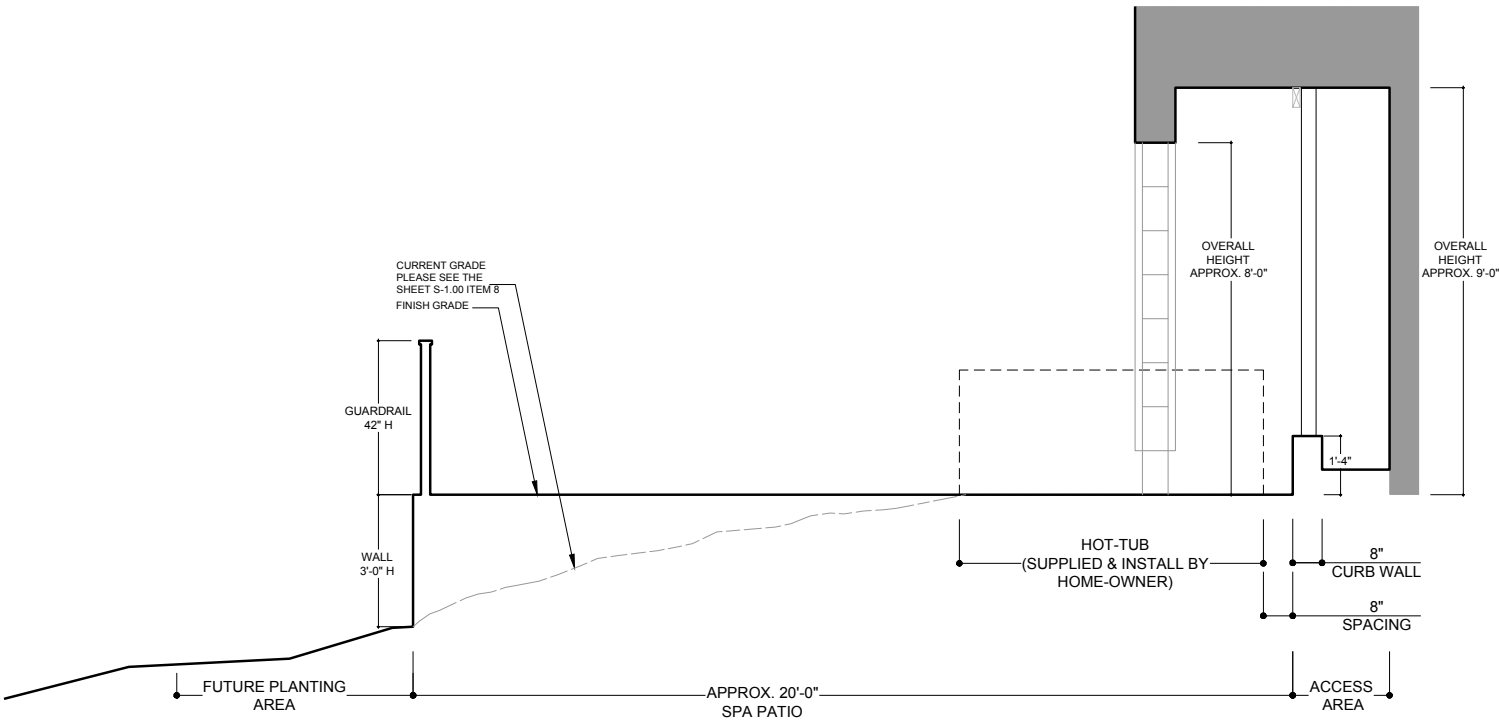
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PHASE :

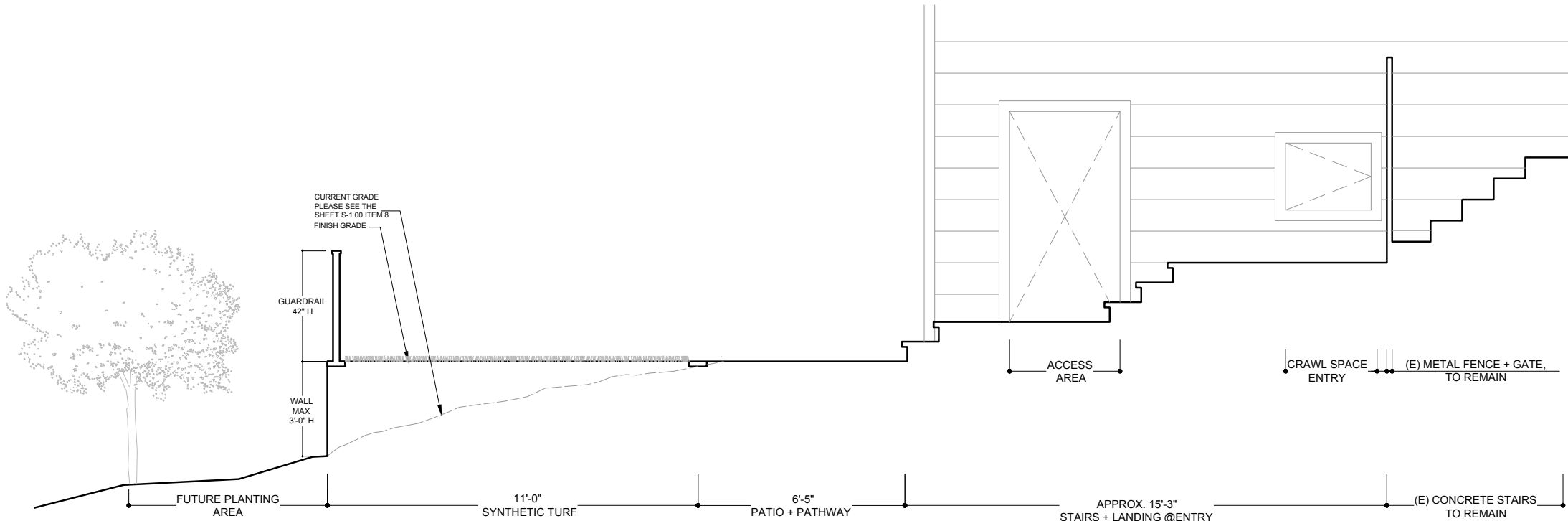
APPROVAL

SHEET TITLE :

ELEVATIONS



1 ELEVATION I B
SCALE 1/2 " = 1'-0"



20 2 ELEVATION I C
SCALE 1/2 " = 1'-0"



DESIGN+BUILD

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SCALE :
1/2"= 1'-0"

PHASE :

APPROVAL

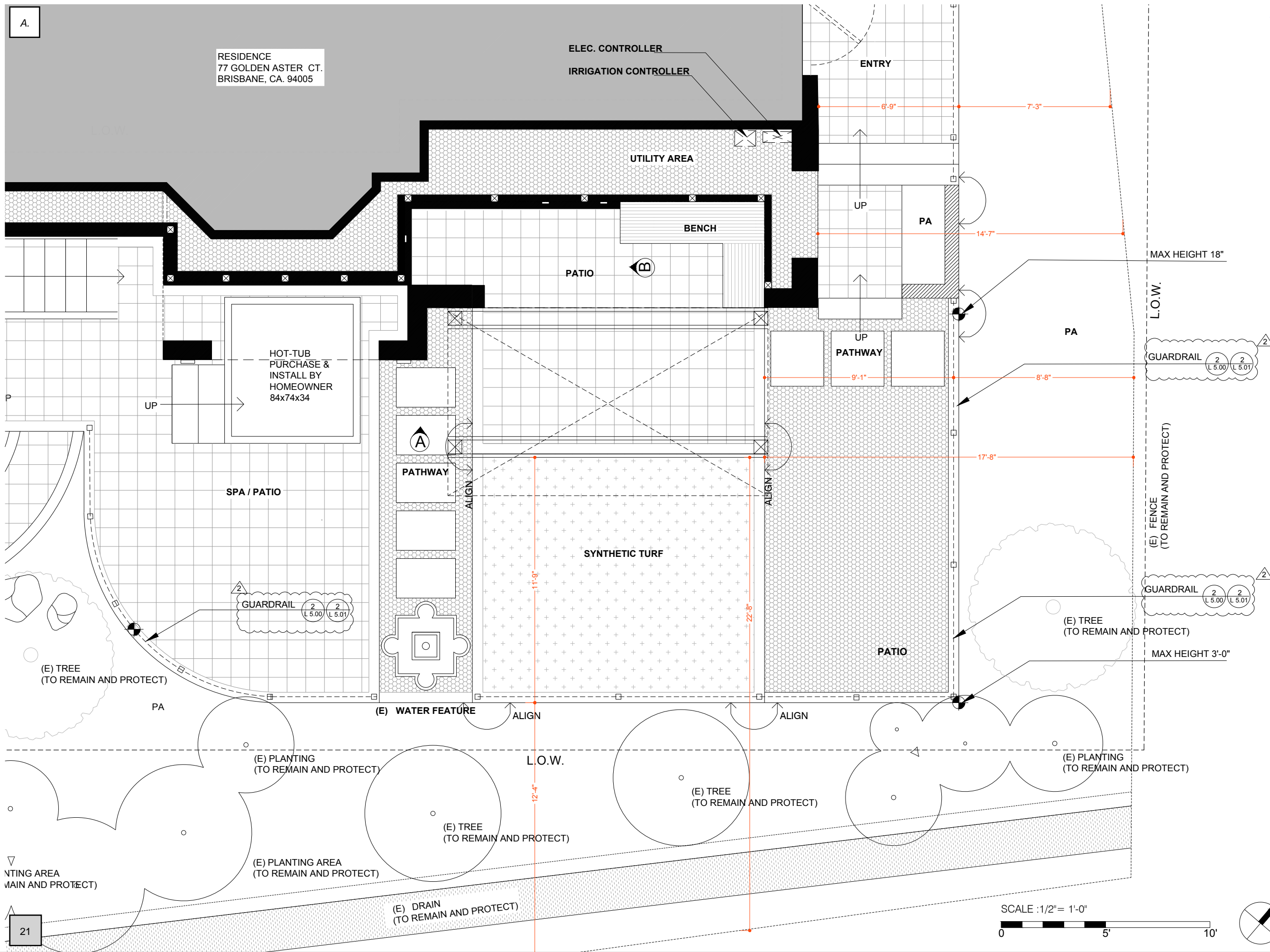
SHEET TITLE :

PROPOSED
PATIO COVER I
SETBACK PLAN

SHEET NO:

L4.00

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SCALE : 1/2"= 1'-0"



A.

21



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SCALE : 1/2" = 1'-0"

PHASE :

APPROVAL

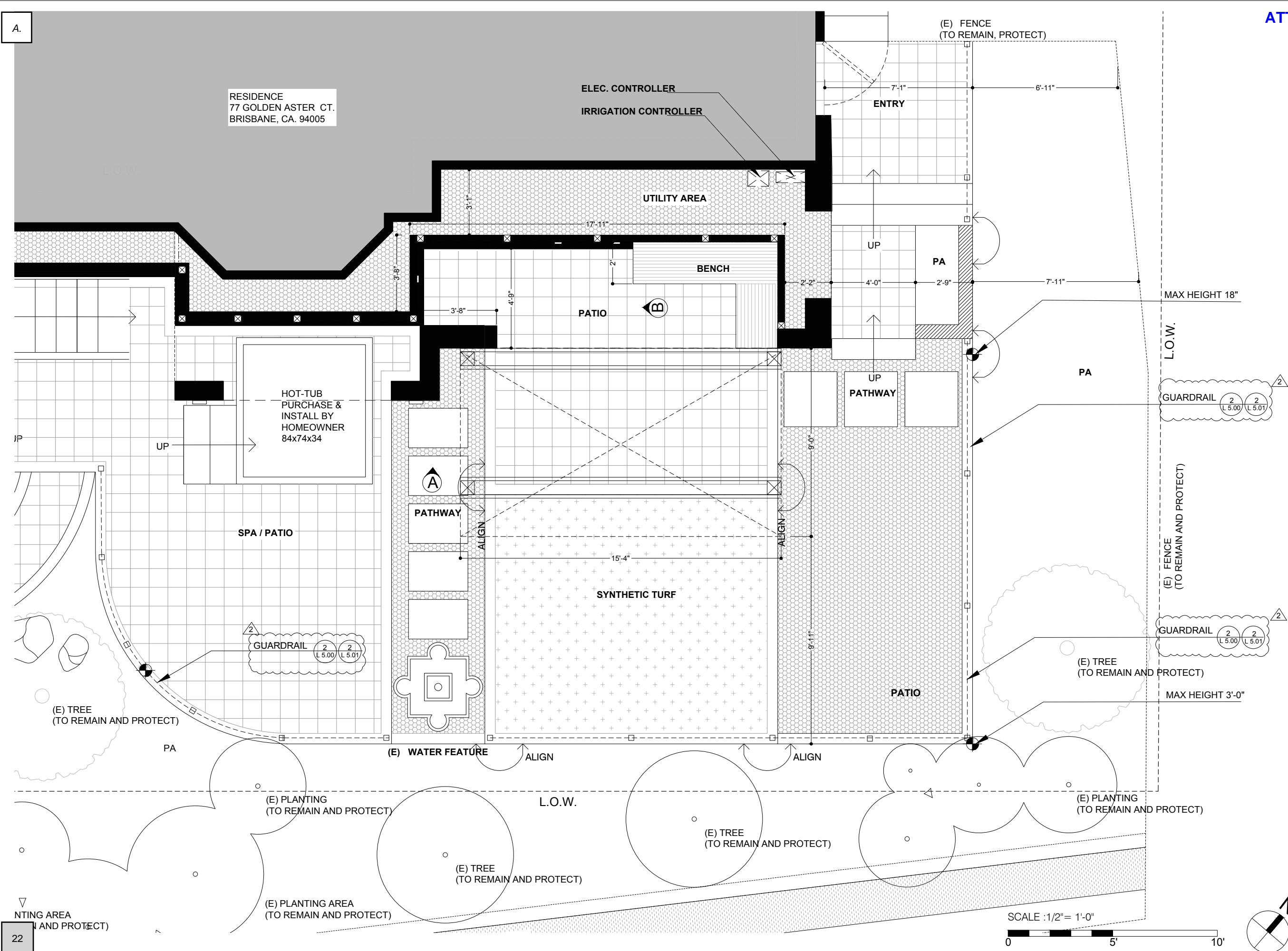
SHEET TITLE :

PROPOSED
PATIO COVER I
LAYOUT

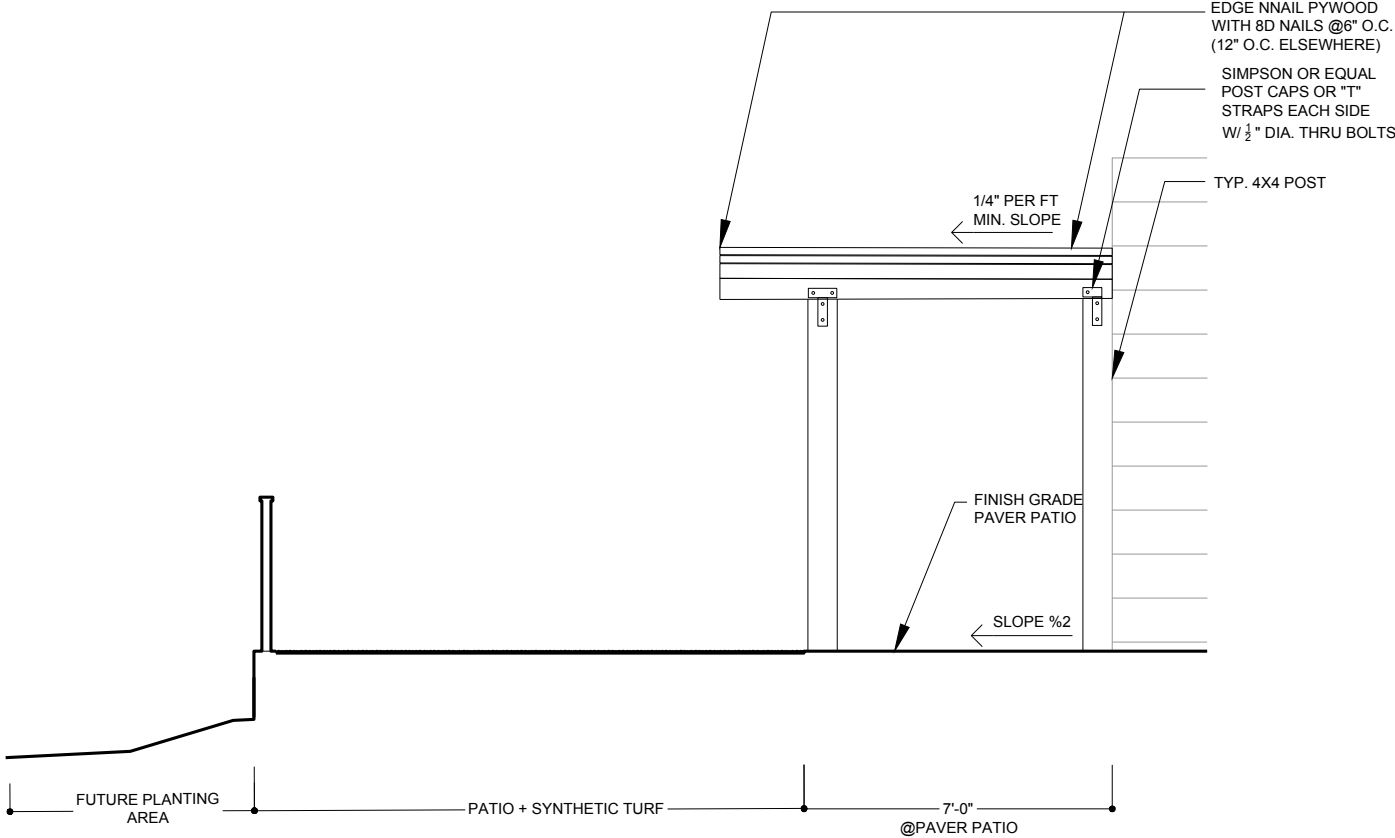
SHEET NO.

L4.01

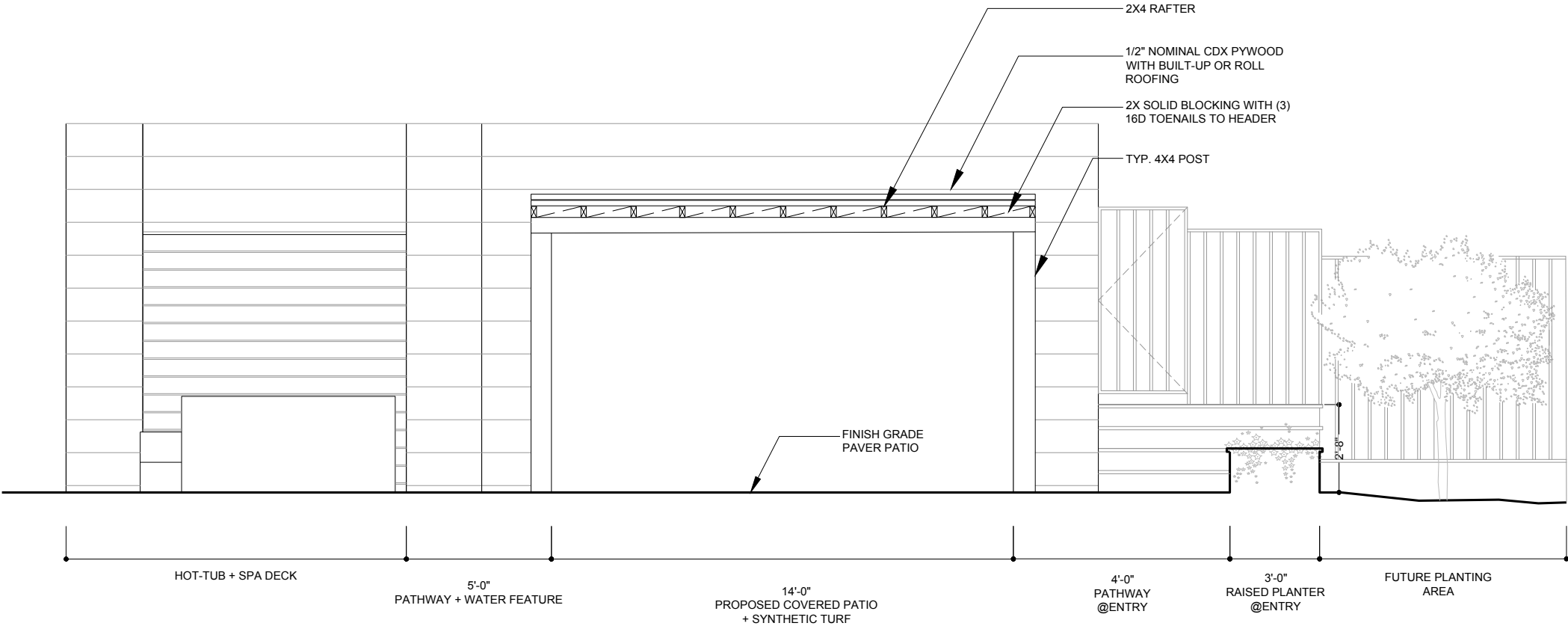
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1 SIDE ELEVATION
SCALE 1/2"=1'-0"



2 FRONT ELEVATION
SCALE 1/2"=1'-0"

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PHASE :
APPROVAL

SHEET TITLE :
PROPOSED
PATIO COVER I
ELEVATIONS

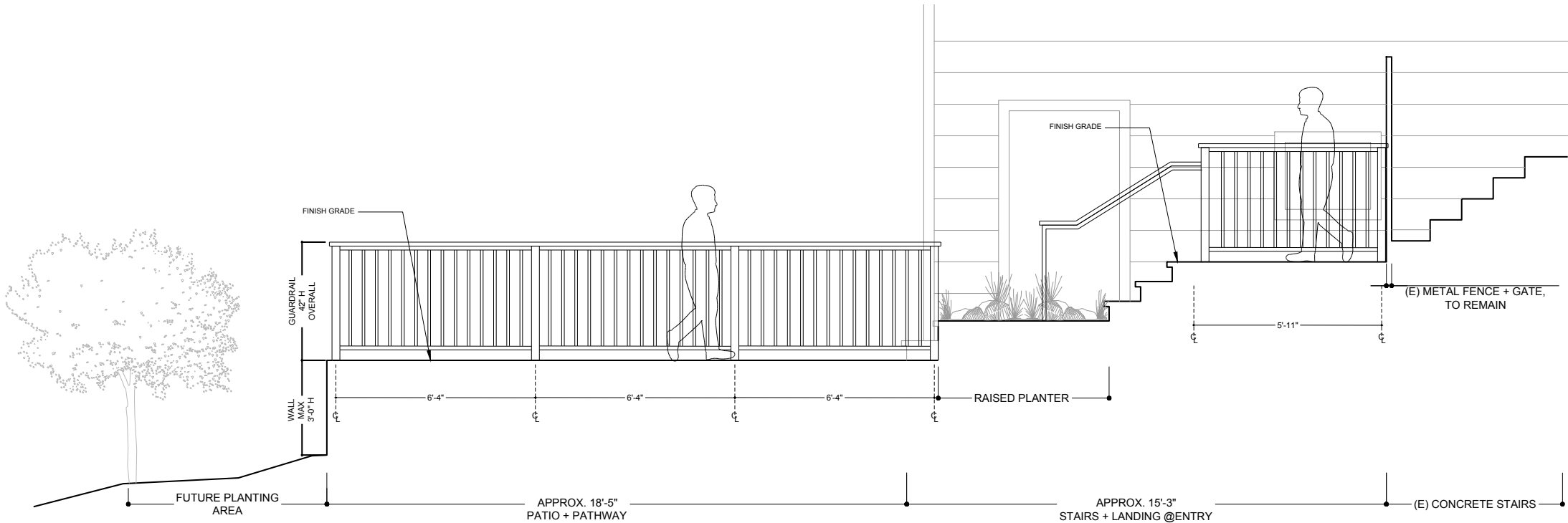


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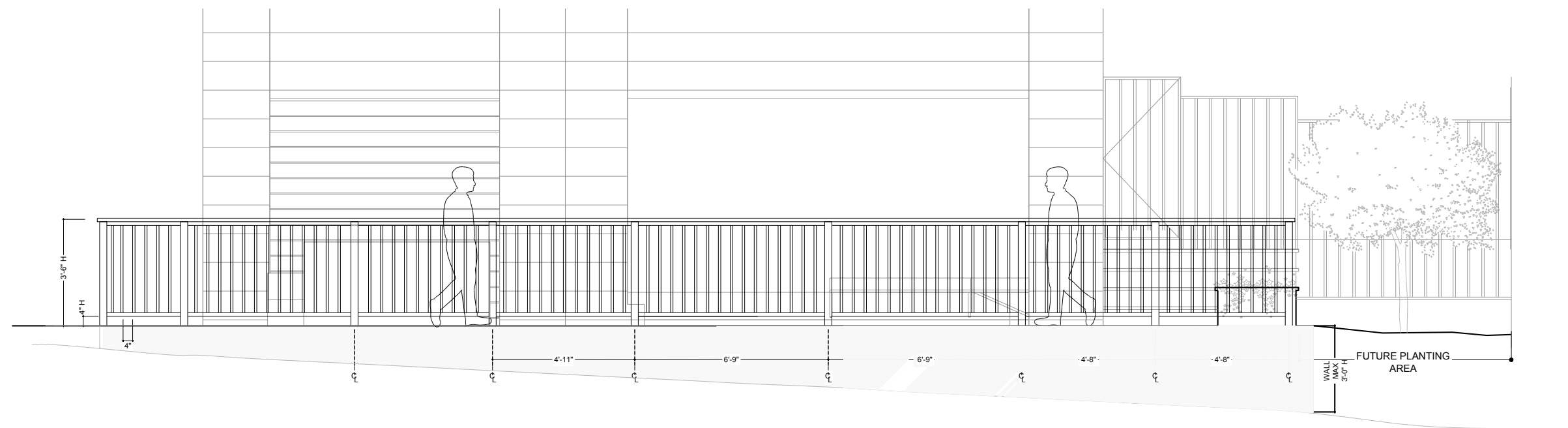
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1 ELEVATION I SIDE
SCALE 1/2"=1'-0"



2 ELEVATION I FRONT
SCALE 1/2"=1'-0"

LANDSCAPE IMPROVEMENT PROJECT

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LOCATION : 77 GOLDEN ASTER COURT , BRISBANE CA 94005

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REV 03 DATE :	04.15.2022
REV 04 DATE :	09.15.2022

SCALE SHOWN

PHASE :

APPROVAL

SHEET TITLE :

PROPOSED
GUARDRAIL I
ELEVATIONS

SHEET NO.

L5.01

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A. OBJECT INFORMATION:
ADDRESS: 77 GOLDEN ASTER CT., BRISBANE, CA
APN: 005-401-010
SCOPE OF WORK: CONSTRUCTION OF A NEW ENCLOSED PERGOLA
NUMBER OF UNITS: 1
OCCUPANCY CLASSIFICATION: R-3
JOB NO.: 2249/P2275

SHEET INDEX:

S-0.0 COVER SHEET
S-1.0 NOTES
S-2.0 PLANS
S-3.0 DETAILS

APPLICABLE CODES:

- 1. 2019 CALIFORNIA RESIDENTIAL CODE
- 2. NDS FOR WOOD CONSTRUCTION, 2018 EDITION
- 3. ASCE 7-16
- 4. ACI 318-19

DESIGN DOCUMENTS:

- 1. LANDSCAPING DRAWINGS PREPARED BY TOOLBOX DATED APRIL 15, 2022.

ABBREVIATIONS:


BO: BOTTOM OF
BOW: BOTTOM OF WALL
E: EXISTING
EG: EXISTING GRADE
EL: ELEVATION
EMBED: EMBEDMENT
EQ: EQUAL
FG: FINISH GRADE
GLB: GLUED LAMINATED BEAM
MAX: MAXIMUM
N: NEW
NTS: NOT TO SCALE
OC: ON CENTER
PT: PRESSURE TREATED
SIM.: SIMILAR
SQ: SQUARE
STAG: STAGGERED
TO: TOP OF
TOC: TOP OF CONCRETE
TWO: TOP OF WALL
TYP: TYPICAL
UNO: UNLESS NOTED OTHERWISE


ASSESSOR'S MAP:




PROJECT VICINITY:



CONTRACTOR:

WWW.TOOLBOXSF.CO

DESIGNED BY:

530 ALAMEDA DEL PRADO #183C
NOVATO, CA 94949
(415) 578-0707
INFO@STRUCTICAINC.COM
WWW.STRUCTICAINC.COM


BABAK MAMAN
CE 86134
STATE OF CALIFORNIA

COVER SHEET

PERGOLA

DRAWING TITLE:
77 GLODEN ASTER CT.
BRISBANE, CA

PROJECT ADDRESS:
77 GLODEN ASTER CT.
BRISBANE, CA

APN:
005-401-010

OWNER:
RAYMOND AND LORI LIU

REVISIONS

NO	DESCRIPTION	DATE

REVIEW SET

JOB NO. :	2249/P2275
DATE :	12/09/2022
DESIGN :	BM
DRAWN :	SZ
CHECKED :	BM
APPROVED:	BM

SHEET:

S-0.0

A.

- GENERAL NOTES:
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITIONS OF CALIFORNIA BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS, WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS AND OTHER APPLICABLE REGULATING REQUIREMENTS OF CITY OF BRISBANE.
 - TO THE BEST OF STRUCTICA, INC. KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S AND/OR BUILDER'S RESPONSIBILITY.
 - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH THE MOST RECENT EDITION OF THE CALIFORNIA CONSTRUCTION SAFETY ORDERS (CAL-OSHA) REGULATIONS.
 - DIMENSIONS, OFFSETS, LINES AND GRADES ELEVATIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THEM AT THE SITE AND SHALL ESTABLISH TO INSURE PROPER HORIZONTAL AND VERTICAL ALIGNMENT OF WALLS, WOOD FRAMES, SLAB ON GRADE, FOOTINGS AND LOCATION OF POSTS. THE CONTRACTOR IF RESPONSIBLE TO REPORT ANY DISCREPANCY AND LACK OF COORDINATION BETWEEN THESE DRAWINGS AND SITE CONDITION TO THE ENGINEER (STRUCTICA, INC.) IN A TIMELY MANNER. THE CONTRACTOR OF THE PROJECT MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.
 - STRUCTICA, INC. IS NOT LIABLE FOR ERRORS ONCE THE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND OTHER OBSTACLES IN THE FIELD. THE CONTRACTOR IS RESPONSIBLE TO POTHOLE ALL UTILITIES, AS NEEDED, BEFORE WALL CONSTRUCTION IS TO BEGIN AND REPORT ALL INTERFERENCE BETWEEN UTILITIES OR OTHER OBSTACLES WITH THE WALL IN THESE DRAWINGS TO THE ENGINEER (STRUCTICA, INC.) IN A TIMELY MANNER.
 - CONTRACTOR SHALL CALL 811 OR (800) 642-244 PRIOR TO EXCAVATION IN A TIMELY MANNER TO LOCATE UNDERGROUND UTILITIES.
 - ITEMS NOT COVERED ON THIS DRAWINGS SHALL MAINTAIN STRICT COMPLIANCE WITH IRC.
 - ALL WORKD SHALL COMPLY WITH THE REQUIREMENTS OF 2016 SFBC & 2016 CBC. MINIMUM NAILING SHALL BE PER TABLE 2304.9.1 FASTENING SCHEDULE.
 - PROFESSIONAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE CONSTRUCTION OR PROPER EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CONNECTIONS SHALL COMPLY WITH REQUIREMENTS AND RECOMMENDATIONS BY SIMPSON STRONG-TIE.


DESIGN LOADS:


- | | | |
|--------------------------------|-------|-----|
| 1. DEAD LOAD | | |
| 1.1. PERGOLA ROOF: | 15 | PSF |
| 2. LIVE LOAD | | |
| 2.1. PERGOLA ROOF: | 20 | PSF |
| 3. ALLOWABLE BEARING CAPACITY: | 1,500 | PSF |
| 4. WIND SPEED: | 92 | MPH |
| 5. SEISMIC COEFFICIENT (Sds) | 1.041 | g |



MATERIAL:

- CONCRETE
 - PORTLAND CEMENT SHALL CONFORM TO ASTM C-50 TYPE II, LOW ALKALI. IN ADDITION TO THE STANDARD PORTLAND CEMENT, THE THE FOLLOWING SCM SUPPLEMENTARY CEMENTITIOUS MATERIAL) MAY BE USED IN THE MIX DESIGN: FLY ASH, ASTM C618 CLASS F OR GROUND GRANULATED BLAST FURNACE SLAG, ASTM 0989 GRADE 100 OR 120. SCM IS TO MAKE UP 50% MAX. OF THE CEMENTITIOUS MATERIALS WHEN ALL CEMENTITIOUS MATERIALS TOTAL 600# (6.4 SACKS) PER CUBIC YARD PER ACI 318.
 - CONCRETE SHALL BE HARDROCK CONCRETE AND SHALL ATTAIN THE FOLLOWING ULTIMATE COMPRESSIVE
 - STRENGTHS AT 28 DAYS. (MINIMUM CEMENT CONTENT: (FIVE SACKS/CU. YD.)
 - MINIMUM STRENGTH @ 28 DAYS: 2,500 PSI
 - MAX. AGGREGATE SIZE: ¾ IN.
 - MAX. SLUMP SIZE: 4 IN.
 - CONCRETE SHALL BE CONTINUOUSLY CURED FOR 10 DAYS AFTER PLACING IN ANY APPROVED MANNER, INCLUDING CURING COMPOUND, CURING PAPER, ETC. NOTE: FOOTINGS ARE EXCEPTED FROM THIS REQUIREMENT.
 - WHEN PLACING NEW CONCRETE OR SHOTCRETE AGAINST EXISTING CONCRETE OR MASONRY, ROUGHEN SURFACE OF EXISTING MATERIAL BY EITHER SANDBLASTING OR SCARIFYING TO 1/" AMPLITUDE AND APPLY BONDING AGENT. BONDING AGENT SHALL BE LARSEN PRODUCTS CORPORATION'S WELD-CRETE OR APPROVED EQUIVALENT. AT EXISTING BRICK, ROUGHENING NOT REQUIRED IF EXISTING BRICK HAS A NATURAL ROUGH SURFACE. BONDING AGENT IS NOT REQUIRED AT EXISTING BRICK SURFACE UNLESS OTHERWISE NOTED ON PLANS AND/OR DETAILS.
- DRILLED SHAFTS:
 - SHAFTS ARE TO BE MACHINE DRILLED.
 - PROVIDE PROTECTION AGAINST SLOUGHING OR CAVING AS REQUIRED.
 - DRILLED HOLES SHALL NOT BE LEFT OPEN OVER-NIGHT.
 - ALL WATER SHOULD BE REMOVED FROM THE SHAFT PRIOR TO FILLING WITH CONCRETE, IF POSSIBLE. ALL IF ALL WATER CANNOT BE REMOVED BY PUMPING, CONCRETE SHALL BE CAREFULLY PUMPED INTO THE CIDH PILE SHAFT FROM THE BOTTOM UP THROUGH A RIGID PIPE AND DESIGN STRENGTH OF CONCRETE SHALL BE INCREASED BY 1000 PSI.
 - PROVIDE 3 INCHES MINIMUM CONCRETE COVER OVER ALL STEEL SURFACES.
 - DRILL HOLE CIDH PILES ARE TO BE FILLED WITH STRUCTURAL CONCRETE WITH MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT 28 DAYS.
- REINFORCEMENT STEEL:
 - REINFORCING BAR - ASTM A615 GR. 60.
 - Ld (DEVELOPMENT LENGTH): COMPLY WITH ACI 318 OR 40* BAR DIA. MIN
 - LAP SPLICE: CLASS B SPLICES - 1.3*Ld
 - CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
 - CONCRETE POURED DIRECTLY AGAINST EARTH: 3 INCHES.

- CONCRETE FORMED AGAINST EARTH OR EXPOSED TO WEATHER: 2 INCHES.
 - FORMED CONCRETE NOT INCLUDED ABOVE: 1 INCHES.
- ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
- ALL TIE WIRE SHALL BE ASTM A82 BLACK ANNEALED.
- ALL HORIZONTAL REINFORCING TO BE SUPPORTED ON GALVANIZED CHAIRS EXCEPT THAT MORTAR BLOCKS OR OTHER APPROVED METHODS OF SUPPORT SHALL BE USED AT FOOTINGS, AND SLABS ON GRADE.
- LUMBER
 - ALL LUMBER SHALL BE DOUGLAS-FIR GRADE 2 OR REDWOOD GRADE 2, U.N.D.
 - ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED WOOD OR REDWOOD (GRADE: CLEAR STRUCTURAL).
 - ALL BOLT AND NAIL HOLES SHALL BE CAULKED AND SEALED WITH APPROPRIATE CAULKING MATERIAL.
 - ALL PRESSURE TREATED WOOD SHALL USE NAILING, BOLTING AND/OR FASTENERS MADE OF STAINLESS STEEL, OR WITH HOT-DIP GALVANIZATION, OR WITH (G185) OZ. OF ZINC PER SQUARE FOOT OF SURFACE GALVANIZED PRODUCTS. ALL NAILS, SCREWS, BOLTS, METAL CONNECTORS AND FLASHING EXPOSED TO WEATHER SHALL NOT BE DIPPED GALVANIZED.
 - HOLES AND CUTOUTS SHALL NOT BE LARGER THAN ¼ OF THE DEPTH PF THE MEMBER FROM TOP NOR BE LOCATED FARTHER THAN 3 TIMES DEPTH OF MEMBER FROM SUPPORTS.
 - ALL NAILS SHALL BE COMMON NAILS.
 - NEW FRAMING SHALL HAVE 19% MAX. MOISTURE CONTENT AT TIME OF INSTALLATION.
- CONNECTIONS:
 - ALL CONNECTIONS, FASTENERS AND HANGERS ARE SIMPSON OR EQUIVALENT.
- EARTHWORK:
 - MAX. FILL AMOUNT:
[(3 FT+1 FT)/2]*43 FT * 10 FT/2 = 16 CY

CONTRACTOR:

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DESIGNED BY:

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DRAWING TITLE:
NOTES

SCOPE OF WORK:
PERGOLA

PROJECT ADDRESS:
**77 GLODEN ASTER CT.
BRISBANE, CA**

APN:
005-401-010

OWNER:
RAYMOND AND LORI LIU

REVISIONS

NO	DESCRIPTION	DATE

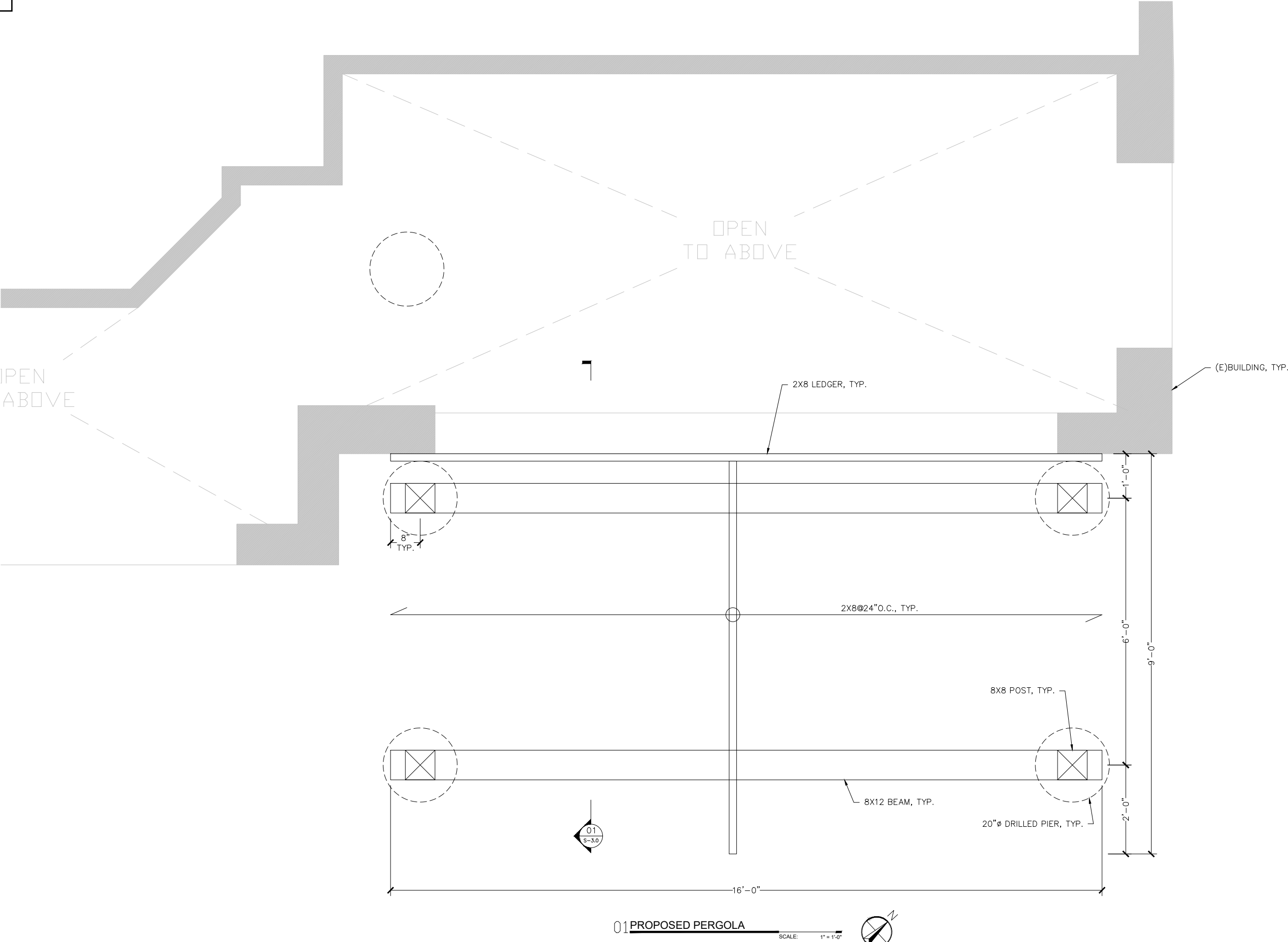
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DATE :	12/09/2022
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DRAWING TITLE:
PLANS

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BRISBANE, CA**

APN:
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OWNER:
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REVISIONS		
NO	DESCRIPTION	DATE

REVIEW SET

JOB NO. : 2249/P2275

DATE : 12/09/2022

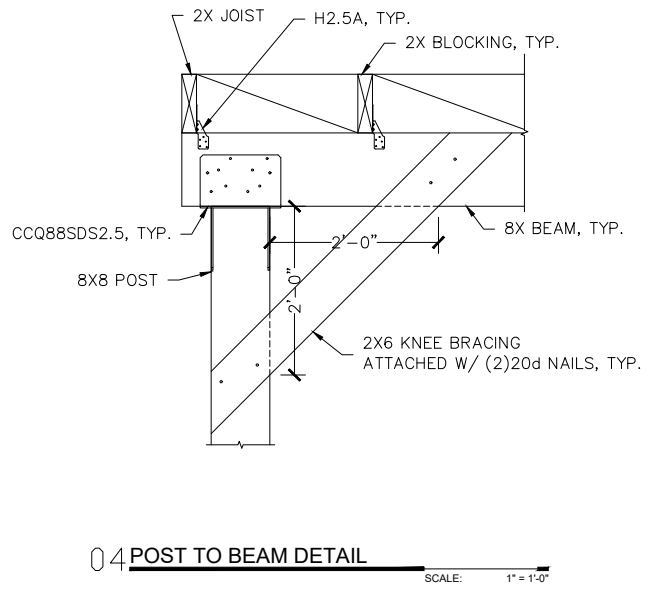
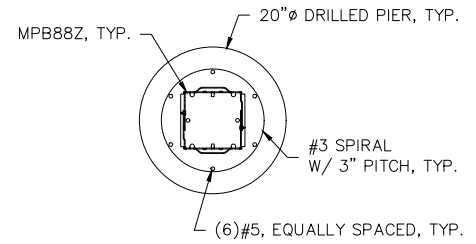
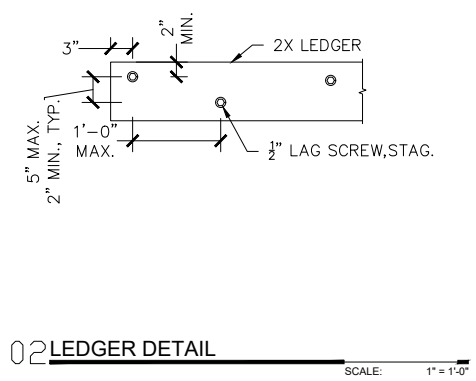
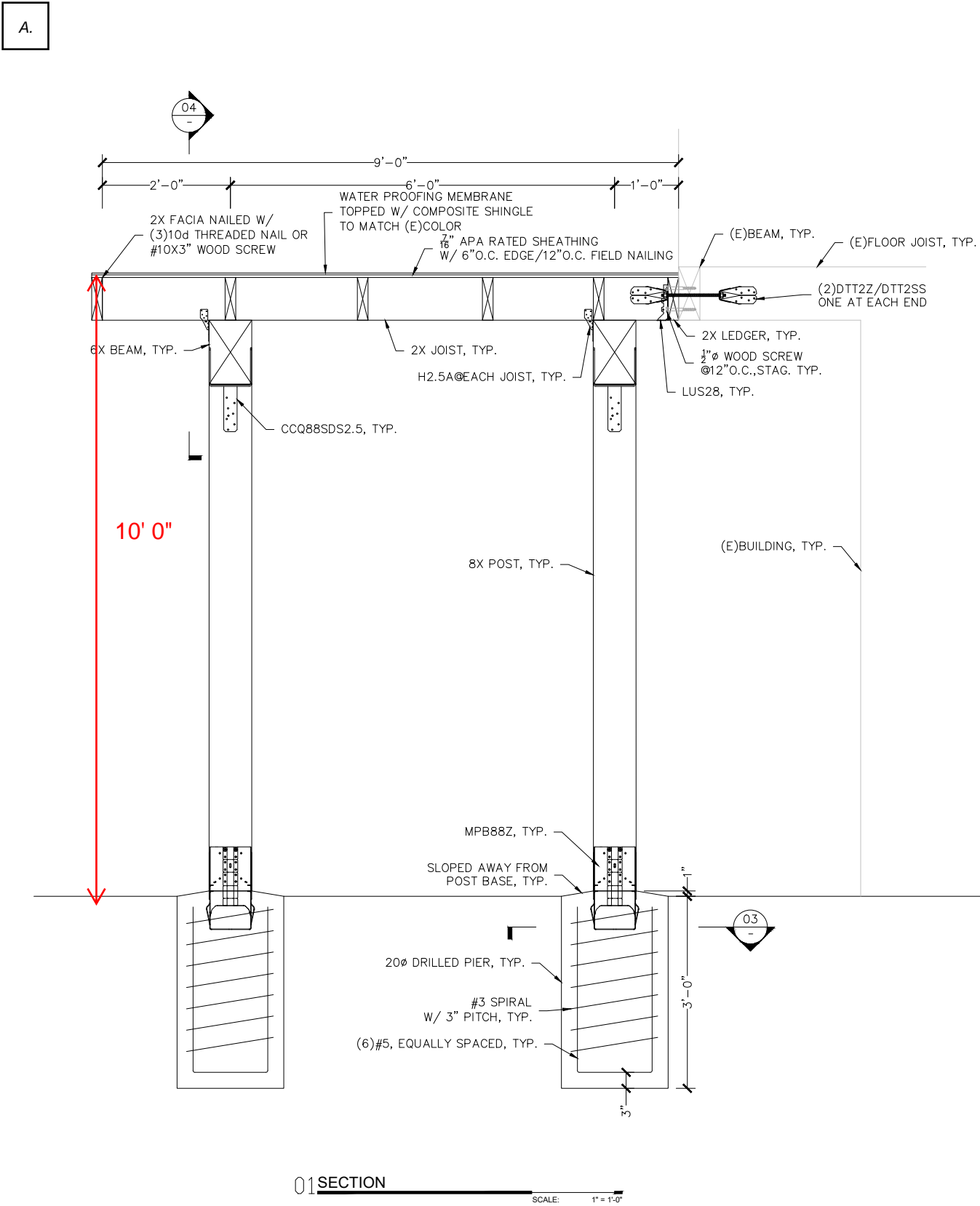
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DETAILS

PERGOLA

DRAWING TITLE:

PROJECT ADDRESS: 77 GLODEN ASTER CT.
BRISBANE, CA

APN: 005-401-010

OWNER: RAYMOND AND LORI LIU

REVISIONS

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