



# CITY of BRISBANE

## Planning Commission Meeting Agenda

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Thursday, May 27, 2021 at 7:30 PM • Virtual Meeting

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**This virtual meeting is compliant with the Governor's Executive Order N-29-20 issued on March 17, 2020 allowing for deviation of teleconference rules required by the Brown Act. Consistent with the Order, this virtual meeting provides a safe environment for staff, Planning Commissioners, and the public while allowing for public participation. The public may address the Commission using exclusively remote public comment options which are detailed below.**

*The Commission may take action on any item listed in the agenda.*

The Planning Commission Meeting will be an exclusively virtual meeting. Members of the public may view the meeting by logging into the Zoom webinar listed below or on Comcast Channel 27 and the City's YouTube channel at [www.youtube.com/Brisbaneca](http://www.youtube.com/Brisbaneca). The agenda materials may be viewed online at [www.brisbaneca.org/meetings](http://www.brisbaneca.org/meetings).

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**Meeting ID:** 970 0458 3387

**Passcode:** 215153

### **TO ADDRESS THE COMMISSION:**

Members of the public are encouraged to submit written comments before the meeting to the project planner. See posted public notices at <https://www.brisbaneca.org/cd/page/public-notices> for planner contact information. For items that are not public hearings, refer to the staff report for planner contact information. Members of the public who join the live Zoom webinar may address the Commission in the meeting when called upon by the Chairperson. Please use the "Chat" box in Zoom to alert staff that you want to address the Commission.

Members of the public watching the meeting on YouTube or Channel 27 may email or text comments **prior to the start of the particular agenda item** to the below email and text line:

**Email:** [jswiecki@brisbaneca.org](mailto:jswiecki@brisbaneca.org)

**Text:** 415-713-9266

A call-in number is also available for those watching the meeting on YouTube or Channel 27 for oral communications and public hearing items:

**Phone Number:** +1 (669) 900-9128

**Meeting ID:** 970 0458 3387.

After entering the meeting ID and pressing #, simply press # a second time to enter the meeting waiting room. No participant code is required. Please wait to call until the Chairperson and/or staff announces that the phone line is open. When you are let into the meeting, press \*6 on your phone to unmute yourself before addressing the Commission. To avoid feedback, please turn off

the volume of the meeting broadcast on your TV or computer. You will still be able to hear the Commissioners through your phone.

### **SPECIAL ASSISTANCE**

If you need special assistance to participate in this meeting, please contact the Community Development Department at (415) 508-2120 in advance of the meeting. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

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**Commissioners: Funke, Gomez, Gooding, Patel, and Sayasane**

### **CALL TO ORDER**

### **ROLL CALL**

### **ADOPTION OF AGENDA**

### **CONSENT CALENDAR**

*Please Note: Items listed here as Consent Calendar Items are considered routine and will be acted upon collectively by one motion adopting the Planning Department's recommendation unless a member of the public, the Commission, or its staff asks to remove an item to discuss it. Prior to the motion, the Chairperson will ask if anyone wishes to remove an item from the Consent Calendar.*

- A. [Approval of draft meeting minutes of April 22, 2021](#)

**ORAL COMMUNICATIONS** (Limited to a total of 15 minutes)

### **WRITTEN COMMUNICATIONS**

### **OLD BUSINESS**

None

### **NEW BUSINESS**

- B. [2000 Sierra Point Parkway; Sign Program Amendment SR-3-21; SP-CRO Sierra Point Commercial District; Proposed sign program amendment to the Sierra Point Sign Program Standards to replace the existing monument sign and allow three flagpoles; Chris Mateo, applicant; HCP LS Brisbane, LLC, owner.](#)

### **ITEMS INITIATED BY STAFF**

### **ITEMS INITIATED BY THE COMMISSION**

### **ADJOURNMENT**

- C. Adjournment to the regular meeting of June 10, 2021

### **APPEALS PROCESS**

*Anyone may appeal the action of the Planning Commission to the City Council. Except where specified otherwise, appeals shall be filed with the City Clerk not later than 15 calendar days*



*following the Planning Commission's decision. Exceptions to the 15 day filing period include the following: 10 calendar days for advertising sign and sign program applications. An application form and fee is required to make a formal appeal. For additional information, please contact the City Clerk at 415-508-2110.*

### **INTERNET & OTHER ACCESS**

*Agendas and adopted minutes for meetings of the Planning Commission are posted on the Internet at: [www.brisbaneca.org/meetings](http://www.brisbaneca.org/meetings). Meetings are broadcast live on Comcast Channel 27 and by streaming video on the City's YouTube channel ([www.youtube.com/Brisbaneca](http://www.youtube.com/Brisbaneca)). Meeting video archives are available on the City's YouTube channel. Rebroadcasts on Channel 27 are during weeks following the meetings, on Fridays at 5 pm and Sundays at 1 pm. For a DVD copy, please contact the Community Development Department.*

### **NOTICE OF DISCLOSURE**

*Written information or comments that may include a person's name, address, email address, etc. submitted to the City, Planning Commission, and/or City staff are public records under the California Public Records Act, are subject to disclosure and may appear on the City's website.*

**File Attachments for Item:**

A. Approval of draft meeting minutes of April 22, 2021

DRAFT  
BRISBANE PLANNING COMMISSION  
Action Minutes of April 22, 2021  
Virtual Regular Meeting

CALL TO ORDER

Chairperson Gooding called the meeting to order at 7:30 p.m.

ROLL CALL

Present: Commissioners Funke, Gomez, Gooding, Patel, and Sayasane.

Absent: None

Staff Present: Director Swiecki, Senior Planner Ayres, and Associate Planner Robbins

ADOPTION OF AGENDA

Commissioner Gomez moved to adopt the agenda. Commissioner Funke seconded the motion and it was approved 5-0.

CONSENT CALENDAR

Commissioner Patel moved to adopt the consent calendar (agenda item A). Commissioner Funke seconded the motion and it was approved 5-0.

ORAL COMMUNICATIONS

There were no oral communications.

WRITTEN COMMUNICATIONS

Chairperson Gooding acknowledge one letter was received in opposition to agenda item B.

OLD BUSINESS

- B. PUBLIC HEARING: 3000-3500 Marina Boulevard; Design Permit Modification DP-1-21 (modification to DP-1-18);** SP-CRO Sierra Point Commercial District; Design Permit revision to modify the exterior materials on all building elevations of the three building biotech campus previously approved under DP-1-18 (2018); David Diamond, applicant; Bp3 Sf5 3000 3500 Marina LLC, owner.

*Note: This item was continued from the April 8, 2021 Planning Commission meeting. The applicant has since revised the requested scope of design modifications.*

Senior Planner Ayres gave the staff presentation.

The Planning Commission asked staff about implementation of the Sierra Point Design Guidelines and whether the Commission's action on commercial design review applications must be based on objective versus subjective findings.

Staff responded subjective standards could be applied to commercial projects.

Chairperson Gooding opened the public hearing.

Michael Duncan, representing the applicant, addressed the Commission in support of the application. He answered questions regarding the project's proposed landscaping, wind studies prepared for site engineering after the 2018 design permit approval and their impact on the proposed design changes to the balconies and projecting overhangs, the sightlines of the balconies, and the minor changes to the central courtyard.

Barbara Ebel, Brisbane resident, spoke against the project's passive solar design and requested that the Commission require a comparison between the Title 24 analysis of energy use of the building as approved under DP-1-18 and the current proposal.

Michael Duncan explained how the building's design, which incorporates sawtooth curtain wall design, ceramic frit glass coatings, and varying use of spandrel (opaque) and vision glass, reduces exterior glare and increases the building's energy efficiency in compliance with Title 24 of the California Building Code and the project's LEED Gold design requirements.

Staff noted that Title 24 analysis is a Building Code requirement, and is performed at time of building permit. Title 24 reports are not required or practical for design permit applications.

With no others wishing to address the Commission, Commissioner Funke moved to close the public hearing. Commissioner Sayasane seconded the motion and it was approved 5-0.

After deliberation, Commissioner Sayasane moved to approve the application via adoption of Resolution DP-1-21. Commissioner Funke seconded the motion and it was approved 5-0. Chairperson Gooding read the appeals procedure.

#### ITEMS INITIATED BY STAFF

Director Swiecki informed the Commission that the City hired a consultant to aid in enforcement of the short-term rental (STR) ordinance and, tentatively, there will be an informational City Council workshop on utility scale battery energy storage systems on May 6, 2021.

Chairperson Gooding asked how the STR consultant would assist in enforcement. Senior Planner Ayres responded the consultant will automate tracking of STR listings across a number of websites, with address verification to help code enforcement staff proactively identify noncompliant properties.

#### ITEMS INITIATED BY THE COMMISSION

Brisbane Planning Commission Minutes  
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DRAFT

There were none.

#### ADJOURNMENT

Commissioner Funke moved to adjourn to the regular meeting of Thursday, May 13, 2021. Commissioner Patel seconded the motion and it was approved 5-0. The meeting adjourned at 8:55 p.m.

Attest:

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John A. Swiecki, Community Development Director

NOTE: A full video record of this meeting can be found on the City's YouTube channel at [www.youtube.com/BrisbaneCA](http://www.youtube.com/BrisbaneCA), on the City's website at <http://www.brisbaneca.org/meetings>, or on DVD (by request only) at City Hall.

**File Attachments for Item:**

**B. 2000 Sierra Point Parkway; Sign Program Amendment SR-3-21;** SP-CRO Sierra Point Commercial District; Proposed sign program amendment to the Sierra Point Sign Program Standards to replace the existing monument sign and allow three flagpoles; Chris Mateo, applicant; HCP LS Brisbane, LLC, owner.

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 5/27/2021

**SUBJECT:** 2000 Sierra Point Parkway; Sign Program Amendment SR-3-21; SP-CRO Sierra Point Commercial District; Amend the Sierra Point Sign Program Standards for a new entry monument sign and to allow three flagpoles; Chris Mateo, applicant; HCP LS Brisbane, LLC, owner.

**REQUEST:** The applicant requests an amendment to the Sierra Point Sign Program Standards to replace the existing entry monument sign with a new 6'-3" tall x 16' long 100 sq ft, illuminated monument sign, and to allow installation of three flagpoles behind the new entry monument sign.

**RECOMMENDATION:** Approve Sign Review SR-3-21 via adoption of Resolution SR-3-21, with Exhibit A containing the findings and conditions of approval and Exhibit B containing the related amendment to the Sierra Point Sign Program Standards.

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from the provisions of the California Environmental Quality Act per Section 15311(a) of the State CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Advertising sign program provisions are provided in Brisbane Municipal Code (BMC) §17.36.050 and §17.36.060.

### **Background**

The Sierra Point Sign Program ("Sign Program") is comprised of two components dedicated to building-mounted signage standards and ground-mounted signage standards. The Sign Program applies to every parcel within the Sierra Point subarea, excluding the Healthpeak biotechnology research and development campus at 800 to 1800 Sierra Point Parkway, which is subject to "The Shore at Sierra Point Sign Program," adopted by the Planning Commission via SR-7-19 in 2019.

The Sierra Point Sign Program was last amended by the Planning Commission in 2003 (via Sign Review SR-9-02) to add a specific section (Group V) regarding temporary banners and again in 2010 to allow temporary banners advertising all or a portion of an office building for lease for more than 90 days.

### **Sign Program Amendment Description**

The applicant's request, as shown in Attachment C, would revise the entry monument signage standards to allow replacement of the existing entry monument sign. The proposed new entry monument sign would create a formal entrance to the two towers at the center of Sierra Point, which includes 2000 Sierra Point Parkway and 8000 Marina Boulevard, and would complement

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The Shore entry monument sign located on the opposite corner. The request would alter the “Group II, Sign Type B” (“Entry Monument Sign”) of the Sign Program’s ground-mounted signage standards, and add a new section, Group VI - Flags, regarding the design of the proposed permanently installed flagpoles. No changes are proposed to the building-mounted signage standards or any other signage regulated under the Sign Program. The Sierra Point Owners Association approved the proposed monument entry sign and flagpole installation on May 8, 2020 (see attachment E).

The proposed amendments would allow the existing 2 ft tall entry monument sign to be replaced with a 6 ft, 3 in. tall, 16 ft long (100 sq ft), illuminated entry sign, and for three new flagpoles bearing the State of California, City of Brisbane, and Healthpeak (property owner) flags to be installed behind the sign. The proposed location of the new entry sign would be 23 ft from the existing sidewalk, approximately 17 ft farther from the right-of-way than the existing monument sign. See attachment D for a comparison of the current and proposed entry monument signs. The location of the flagpoles, approximately seven feet behind the monument sign, are outside the setback areas. Height and spacing of the flagpoles would mimic those permitted under The Shore at Sierra Point Sign Program, with two 50-foot tall flagpoles on either side of one 60-foot tall flagpole. Of the three flags, the California and City of Brisbane flags are not considered advertising signage.

The new entry monument sign would be composed of sculptural fabricated and internally illuminated letterforms mounted atop an aluminum base with a dark blue background that will read “The Towers.” Dimensional letters attached to the base would be painted dark gray, are not illuminated, and read in lower case type, “at sierra point.” A black vinyl Healthpeak logo would also be applied to the base. The color palette of the entry monument will complement the entry monument at The Shore, utilizing identical typefaces, frosted white lexan faces, and matching aluminum bases. See attachment D for a comparison of the entry monuments for The Towers and The Shore.

Further descriptions of the amendments are provided through the sign program text and graphics, which are included as exhibits within the Commission’s draft Resolution SR-3-21, attachment A; Attachment B provides a redline copy of the proposed amendments to the Sierra Point Sign Program.

## Analysis & Findings

In order to approve a sign program amendment, the Planning Commission must make certain findings prescribed in BMC Chapter 17.36.060.D. A detailed discussion of each required finding is attached in Exhibit A of draft Resolution SR-3-21. The required findings are briefly discussed below:

*“For all advertising signs subject to permit approval by the planning commission, it must also be found that the sign complies with all applicable city ordinances and the sign does not conflict with the building scale, colors, materials, architectural details and styles found in the specific neighborhood or area of the city in which the sign is proposed to be located.”*



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The proposal meets this finding. The revised design of the entry monument signage included in the sign program amendment will comply with all applicable City ordinances. A building permit will be required to install the entry monument sign and flagpoles in compliance with the California Building Code, and as such work pertains to construction on a closed landfill site, the building permit application will be subject to County Health Department review prior to issuance. This application has also been routed to the following departments and agencies: North County Fire Authority, Department of Public Works, Building Department, Regional Water Quality Control Board, and San Mateo County Health Department. No concerns were raised by any agency. Furthermore, the Department of Public Works also reviewed sightline distance information submitted by the applicant and has verified that the entry monument will not create a sightline obstruction for drivers.

With a modern design and a blue and white color scheme, the revised design of the entry monument sign would fit well with the buildings and grounds in terms of style, scale, colors, and materials found within the Sierra Point Commercial District, including existing signage approved in recent years at 5000 and 7000 Marina Boulevard. The revised sign design would further provide a cohesive and formal entrance to the Sierra Point subarea that complements and is consistent with the entry monument sign permitted under The Shore at Sierra Point Sign Program.

*“For illuminated or kinetic signs, it must also be found that the sign does not produce glare, the sign does not present a distraction or hazard to pedestrians, motorists, or the occupants of other neighboring properties, and the sign does not otherwise cause a public nuisance.”*

The proposal meets this finding. The revised design of the entry monument sign calls for internally illuminated LED components that allow for even lighting. It is not anticipated to produce glare or present a distraction or hazard due to the proposed method of internal illumination, and the proposed performance standards part of the sign program amendment require installation of a dimmer switch and prohibit flashing. Additionally, general regulations required under BMC Section 17.36.030(F) require that the illuminated entry monument sign be properly maintained in a state of good repair, ensuring the signage will not otherwise cause a public nuisance.

#### **ATTACHMENTS:**

- A. Draft Resolution SR-3-21 with recommended Findings and Conditions of Approval
- B. Redline Copy of Sierra Point Sign Program
- C. Applicant plans
- D. Side by side comparison of existing and proposed entry monument sign and The Shore at Sierra Point entry monument sign
- E. Sierra Point Owners Association approval letter

  
Jeremiah Robbins, Associate Planner

  
John Swiecki, Community Development Director

Draft  
RESOLUTION SR-3-21

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING SIGN PROGRAM AMENDMENT SR-3-21  
TO AMEND THE SIERRA POINT SIGN PROGRAM TO ALLOW A NEW ENTRY  
MONUMENT SIGN AND THREE FLAGPOLES AT 2000 SIERRA POINT PARKWAY

WHEREAS, Chris Mateo applied to the City of Brisbane for a sign program amendment to the Sierra Point Sign Program to allow a revised entry monument sign design and installation of three flagpoles at 2000 Sierra Point Parkway, such application being identified as SR-3-21; and

WHEREAS, on May 27, 2021, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15311(a) of the State CEQA Guidelines and the exceptions to the categorical exemption referenced in Section 15300.2 do not apply; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Sign Program amendment;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of May 27, 2021 did resolve as follows:

Sign Program Amendment SR-3-21 is approved per the conditions of approval attached herein as Exhibit A and the amended Sierra Point Sign Program attached as Exhibit B, including the graphics packages by Clearstory Wayfinding and Placemaking, dated April 14, 2021 and DES Architects + Engineers, dated May 12, 2021.

ADOPTED this 27<sup>th</sup> day of May, 2021, by the following vote:

AYES:

NOES:

ABSENT:

\_\_\_\_\_  
DOUGLAS GOODING  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director

DRAFT  
EXHIBIT A

**Action Taken:** Conditional approval of sign program amendment SR-3-21, per the staff memorandum with attachments, via adoption of Resolution SR-3-21.

**SR-3-21 Findings:**

- A. The sign program amendment is exempt from the requirements of Table 17.36.020 and Figure 17.36.020A as provided per Brisbane Municipal Code (BMC) Section 17.36.050.B.
- B. The signage included in the sign program amendment will comply with all applicable City ordinances in that per BMC Section 17.36.030.F.1, a building permit will be required to install the monument sign and flagpoles in compliance with the California Building Code. Additionally, the sign program amendment requires compliance with Title 27, as such work pertains to construction on a closed landfill site; the proposed signage will be subject to County Health Department review and verified through the building permit application process.
- C. The signage included in the sign program amendment will not conflict with the building scale, colors, materials, architectural details and styles found within the Sierra Point Commercial District in that the signage is well considered to provide a cohesive and formal entrance in unison with the entry monument sign permitted under The Shore at Sierra Point Sign Program. The modern palette, with an aluminum base and a blue and white color scheme fits well with the buildings and grounds in terms of style, scale, colors, and materials. The signage would similarly fit well with the existing signage in the area since approvals in recent years at 5000 and 7000 Marina Boulevard used similar, brushed stainless materials.
- D. The illuminated entry monument sign will be internally face-lit with LED components that allows for even lighting that will not produce glare. Performance standards within the sign program amendment require the signage to be equipped with a dimmer to allow the illumination levels to be adjusted as appropriate and that the illuminated entry monument sign will not produce a glare.
- E. The signage included in the sign program amendment is not anticipated to present a distraction or hazard due to the proposed method of illumination and a performance standard within the sign program amendment that prohibits flashing. Another performance standard included in the sign program amendment indicates that the entry monument sign shall not present a distraction or hazard to pedestrians, motorists, or the occupants of other neighboring properties.
- F. The illuminated entry monument sign will not otherwise cause a public nuisance considering the sign program amendment complies with all applicable city ordinances, does not conflict with the building scale, colors, materials, architectural details, and styles found in the Sierra Point subarea, and does not produce glare or present a

distraction. Additionally, BMC Section 17.36.030(F) requires the entry monument sign to be properly maintained in a state of good repair.

- G. The proposed sign program amendment is consistent with the City's General Plan. The General Plan does not provide specific regulations pertaining to signage, as that is regulated through the zoning ordinance's advertising sign provisions and authority for approval of sign programs rests with the Planning Commission. However, the General Plan does include Policy SP.6, "Continue to have attractive and safe development on the solid waste landfill at Sierra Point." There is no specific plan or planned development permit for this site.

**Conditions of Approval:**

1. A building permit is required prior to installation of the flagpoles and signage, per the performance standards of the amended Sierra Point Sign Program. The submitted building permit plans for the illuminated entry monument sign and flagpoles shall:
  - a. Conform to the provisions of attached Exhibit B, "Sierra Point Sign Program Standards," including graphics provided by Clearstory Wayfinding and Placemaking, dated April 14, 2021 and DES Architects + Engineers, dated May 12, 2021, Exhibit L; and
  - b. Include a final landscaping plan, subject to Community Development Director approval, in compliance with BMC Chapter 15.70 – Water Conservation in Landscaping.
2. Modifications to the Sign Program are subject to Planning Commission review except where the Sign Program expressly grants the Community Development Director or Zoning Administrator authority to approve modifications.

# Sierra Point Sign Program Standards for Building and Ground-Mounted Signage

5/27/2021

## EXHIBIT A

Koll Center

Sierra Point

Building-Mounted

Signage

Standards

City of Brisbane

Brisbane, CA



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- II. Review Procedure & Submittal Requirements
- III. Elements
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- VII. Color
- VIII. Materials
- IX. Owners Installation Criteria

***Applicant***

Tenant who desires a building-mounted sign.

***Owner***

Owner of building on which applicant wishes to have sign installed.

***Developer***

Koll Center  
Sierra Point  
Mr. Doug Thomas  
1000 Marina Blvd.  
Brisbane, CA  
415-952-5335

***City***

The City of Brisbane  
Building and Planning  
Department  
440 Visitacion Ave.  
Brisbane, CA  
415-467-4180

***Design Consultant***

Colophon Inc.  
Planners & Designers  
900 North Point Street  
San Francisco  
California 94109  
414-775-8899

***Building Mounted  
Signage Standards***

**I. Purpose:**

The purpose of the signage standards is to provide standards to safeguard life, health, property and the public welfare, and to provide the means for adequate identification of buildings and businesses by regulating and controlling the design, location and maintenance of all signs on office and hotel buildings within Koll Center Sierra Point that are located in Brisbane. Therefore, these standards do not apply to the Brisbane portion of the site that pertains to the retail area nor do they pertain to the South San Francisco portion of the site. The "Revised General Sign Standards" dated June 23, 1984 and amended November 17, 1986 pertain to all signage standards at Koll Center Sierra Point, excluding building-mounted signage.

The intent of this program is to establish specific standards for all exterior building-mounted signage that will ensure continuity, consistency, and harmony with the master-planned architectural quality of Koll Center Sierra Point.

**II. Review Procedure  
Submittal Requirements:**

Permits are required

All signs which fall under the control of these standards require permits issued by the City of Brisbane. The following review process is specifically pertinent to owner review and approval..

## Submittal Requirements

A sign review permit, issued by the City of Brisbane, is required for all building mounted signage. The permit application must first be approved by the building Owner, then by the Developer of Koll Center Sierra Point. The application is then submitted to the City Planning Department for an approval if it is determined to be consistent with these signage standards. Signage that is determined to be inconsistent can only be allowed through approval of a variance by the City of Brisbane Planning Commission.

The necessary submittal steps for review and approval are as follows:

### 1. For Preliminary Approval by Developer

- Exact photostat of symbol and/or logotype
- Sample of color and material
- Drawings showing proposed placement and scale
- Completion of request form
- Notations of proposed materials, finishes, and color

### 2. For Sign Review Approval by City Planning Department

- Completed sign review application with Owner's signature and fee.
- One reproducible and legible site plan (maximum size: 11" x 17") to an appropriate scale showing the location of all proposed and any existing signs on the subject building.



- One set of reproducible and legible elevation (Maximum size: 11" x 17") showing the location and appearance of the sign(s) on the building (including side views where necessary) to an appropriate scale as an exact representation of the proposal.
- Description of materials and methods of finishing and installation (thicknesses, treatment of edges, details of framing, type of lighting, if any, etc.). This information can be placed on the elevations as appropriate.
- One set of color samples (minimum size: 1" x 1"), showing exact shades and keyed to sign elevations.
- One set of color photographs showing the proposed location of the sign(s).

### 3. For Variance Consideration

Sign proposals which do not meet these standards must be reviewed by the City's Planning Commission. Contact the City's Planning Department for submission requirements. There are specific legal requirements for the approval of any variance and there is no guarantee of approval once a variance application is submitted.

### 4. For Final Approval by Developer

- Final drawings for placement and scale
- Electrical and Structural specifications
- Final materials, finishes and colors
- Schedule for installation
- Proof of insurance by contractors
- Installation and Weatherproofing details

5. Building permit application submittal requirements

- Three sets of plans as described in section 1.2.1 of Owner's Installation Criteria.
- State worker's compensation certificate made out to the City of Brisbane.
- State contractor's license number
- City of Brisbane contractor's business license

### III. Elements

#### 3.1. Logotypes (*Diagram 1*)

##### 3.1.1. Primary company logotype/symbol, acceptable

The Applicant shall use its primary corporate identity (i.e.: corporate logotype or symbol as applied to business papers or products, etc.) to form the basis for its building signage. Special case identification, product names and other variations of the corporate signature shall be excluded.

##### 3.1.2. In lieu of Applicant supplied standard, Building typography standard takes precedence

##### (*Diagram 2*)

If the Applicant lacks a characteristic logotype/symbol and requests that its corporate name be applied in building signage, the corporate name shall conform to typographic standards outlined in these guidelines.

**SONY**

**Diagram 1:**

Acceptable Logotype Only

**A B C D E F G H I J K L M N O  
P Q R S T U V W X Y Z**

**a b c d e f g h i j k l m n o  
p q r s t u v w x y z**

**Diagram 2:**

Standard Building Font is Franklin Gothic Bold



**Diagram 3:**

Acceptable Symbol Only

### 3.2. Symbols (*Diagram 3*)

#### 3.2.1. Primary company symbol acceptable

Symbols may be used alone without a supporting logotype. The use of a wordmark (IBM) rather than a complete spelling of a corporate name (International Business Machines) is preferred for use as signage.

### 3.3. Logotypes and Symbols together (*Diagram 4*)

#### 3.3.1. Combined logotypes and symbols will be allowed. Preference will be for Logotype application alone

Combined symbols and logotypes shall be allowed only if the elements can be contained as a single sign element mounted to the building. Multiple and separate sign structures are disallowed.

### 3.4. Exclusions

#### 3.4.1. Not allowed are secondary lines of information, advertising by-lines, or Subsidiary identification (*Diagram 5*)

Secondary lines of text in or around the company identity, including subsidiary organization identification, advertising slogans, bylines or statements of any kind shall not be permitted, except as approved by the Planning Commission specifically in order to describe hotels and restaurants.



**Diagram 4:**

Acceptable Symbol + Logotype



**Diagram 5:**

Acceptable Symbol + Logotype  
with unacceptable secondary line of text.

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#### **IV. Quantity**

##### **4.1. Maximum of 2 different tenants' signs**

A maximum of 2 different tenants' signs may occupy a given side of any building within Koll Center Sierra Point.

##### **4.2. Maximum of 4 signs per building**

A maximum of four tenant identification signs may be placed on any building within Sierra Point, excluding signs permitted for the sides of hotels not visible from Highway 101 per Section 4.4.

##### **4.3. No more than 2 signs applied to any side**

On any specific building side no more than two tenant identification signs shall be placed.

##### **4.4. Clearly visible signage from highway**

Signage on any one side of a given building shall be clearly visible from northbound or southbound traffic on Highway 101, *except that hotels may be permitted signage on sides of the building not visible from Highway 101 as determined by the Planning Commission per Section 5.1.*

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#### **V. Placement**

##### **5.1. Location to be determined by the Developer and the City**

For any new building subject to these guidelines, the sides of the building on which signage is permitted per the preceding section shall be determined by the Planning Commission at the time of Design Review.

The Developer shall determine the appropriate height and location for all tenant identification signs placed on the building prior to submission to the City's Planning Department for final approval. Due to the variable nature of each building's architectural design and the freeway site-line (view) corridor, the location of signage of each building shall be assessed on a project-by-project basis by the Developer and Planning Department of the City of Brisbane.

## VI. Scale

6.1. Scale shall be determined by the relative "zone" that the building occupies (**Diagram 6**)

6.1.1. *Sign scale from freeway view corridors*  
Signs shall conform to a maximum x height in three zones so that the apparent scale of signage is approximately the same from freeway view corridors.

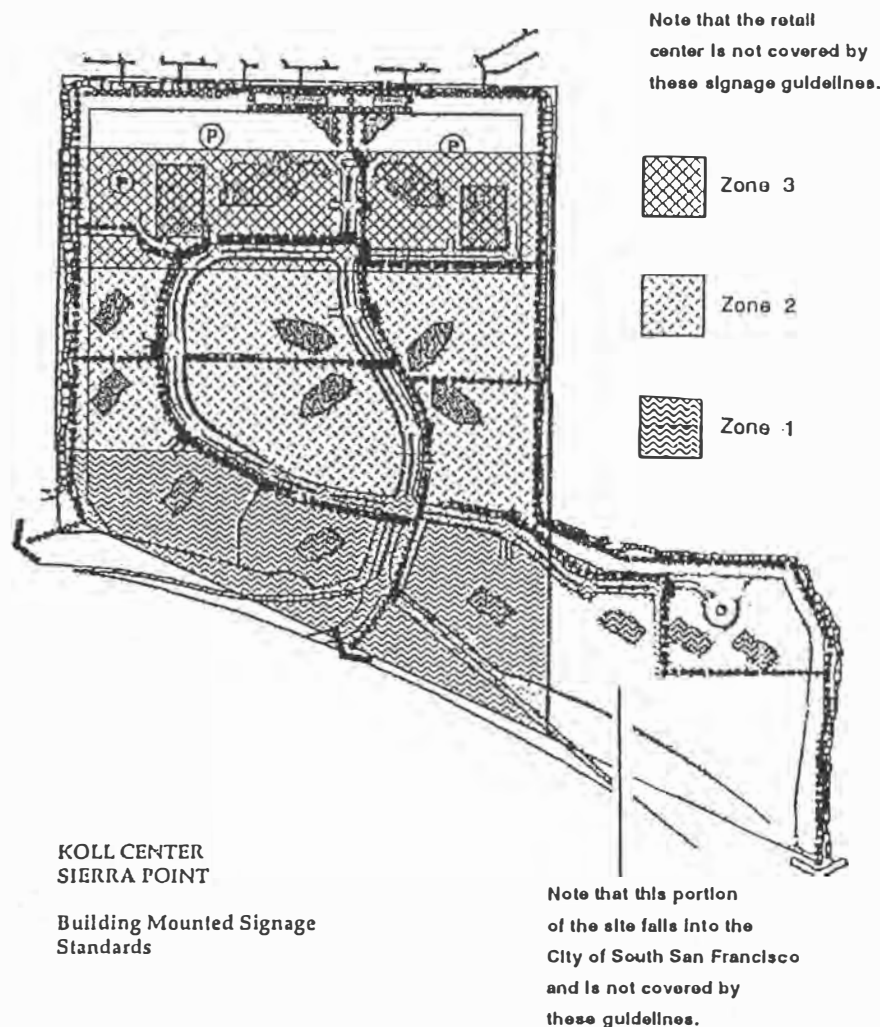
6.1.2. *Site shall be defined in 3 zones from freeway plane*

The site shall be organized into lateral zones which parallel the 101 freeway is outlined in 6.1.3, below. Signage scale shall be controlled by the location of buildings within these zones.

6.1.3. *Size Regulations*

The maximum size (vertical and horizontal) for each zone is outlined below. However, the intent is to have a sign that is in scale with the size of the building, so these maximum sizes may not always be permitted. The size shall be approved by the Developer prior to submittal to the City of Brisbane for approval by its Planning Department.

7



**Diagram 6:**  
Building "zones"

Note that the maximum area permitted for the sides of hotels not visible from Highway 101 per Section 4.4 shall be not more than one-half (1/2) that permitted above.

The Planning Commission may approve exceptions to the maximum dimensions and area permitted above for hotel signage, if the Planning Commission determines that:

The larger size is necessary to provide adequate legibility of the signage; and

The signage is designed so as to substantially fit within the building's architectural elements or details.

Also note that, in permitting a secondary line of identification for hotels and restaurants, the Planning Commission may approve exceptions to the maximum vertical dimension permitted, subject to the following:

The sign fits within the building's architectural elements or details.

The sign complies with the maximum horizontal dimension and area permitted above.

Champion

X = Maximum Vertical

Y = Maximum Horizontal

International Paper Company

X = Maximum Vertical

Y = Maximum Horizontal

Diagram 7:

Method for Measuring Sign Dimensions

Zone Location	Max Vertical	Max Horizontal	Area
Zone One	5'.0"	35'.3"	176.25'
Zone Two	6'.0"	41'.6"	249.00'
Zone Three	7'.0"	48'.0"	336.00'

Attachment A  
Exhibit B

Item B.

#### 6.1.4. Views clear from all floors

All signs shall fit within the architectural features so that the letters do not extend above or below the spandrel glass so as to block views from any floor.

#### 6.1.5. Method for measuring scale correctly

The vertical, horizontal and area standards set by section 6.1 shall be measured as Follows: The vertical dimension shall be measured at the maximum height of any letter, excluding descenders or symbol (see **Diagram 7**). The horizontal dimension shall be measured at the maximum horizontal length

encompassing all pictorial and typographic elements (see **Diagram 7**). The area shall be measured as the product of the vertical and horizontal dimensions as measured above.

## VII. Color

### 7.1. Review Authority

#### 7.1.1. Consistent with established guidelines

Color shall be regulated by the these standards, but shall be subject to the Owners' approval prior to submission to the Developer and City for review and approval of the color to insure conformance with those guidelines and other existing approval requirements.

## 7.2. Color shall be allowed under the following conditions

### 7.2.1. Tenant color standards

Color of sign elements shall be confined to a palette of red, blue, green, white and black. The City's Planning Department may refer sign permits to the City's Planning Commission for approval if the requested sign color is one other than those listed above. A final determination on the use of color shall be made by the Developer and the City of Brisbane consistent with the architectural design finishes of each building and the tenant's corporate identity program.

7.2.2. *As appropriate to building surface coloration*  
In the event that the tenant identity program does not embrace specific color requirements, a color standard appropriate to the surface coloration of the building shall be developed and applied to the tenant sign in question. Such color standards shall be approved by the Developer and City of Brisbane.

## VIII. Materials

### 8.1. Sign Type

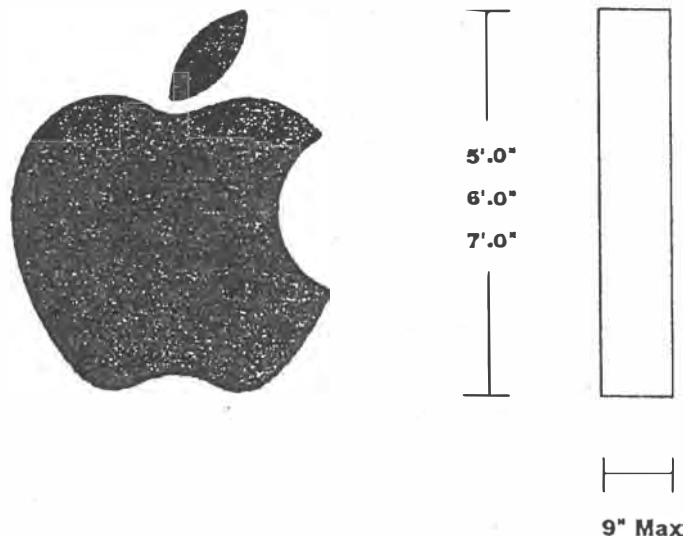
8.1.1. *Internally illuminated "can" characters. Plexiglass character faces Electrically illuminated for night visibility. Sheet metal with neutral anodized finishes*

Signs shall be fabricated of anodized sheet aluminum in two finish specifications: clear or grey



**Diagram 8:**

3-D Characters Mounted to Building Surface



**Diagram 9:**

Maximum Symbol/Logotype Thickness

anodizing for light colored building surfaces and dark bronze anodizing for dark colored building surfaces. Characters and/or elements shall be three dimensional and shall conform to a maximum depth of 9 inches from face of sign to building surface. Signs may be internally illuminated and shall have acrylic faces which are reflective during the day and translucent at night. However, no flashing signs are permitted. Please see **(Diagram 8 & 9)** for further details.

#### 8.1.2. Unacceptable sign types **(Diagram 10)**

Illuminated fields upon which characters rest. Under no condition will fields or areas be allowed as "buffers" upon which signage may be applied. Only the outline characters of the tenant identity are allowed.

#### *Neon or exposed fluorescent elements*

No exposed lighting fixtures, tubes, ballasts, wiring or other equipment shall be allowed.

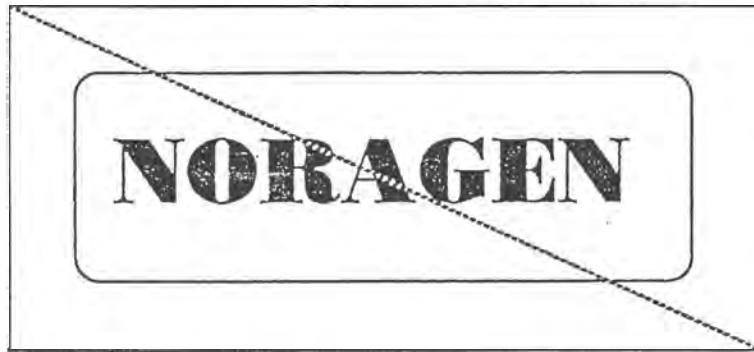
#### *Chrome or metallic characters*

No metallic, polished or highly reflective characters shall be allowed.

#### *Ancillary structures or features to support sign*

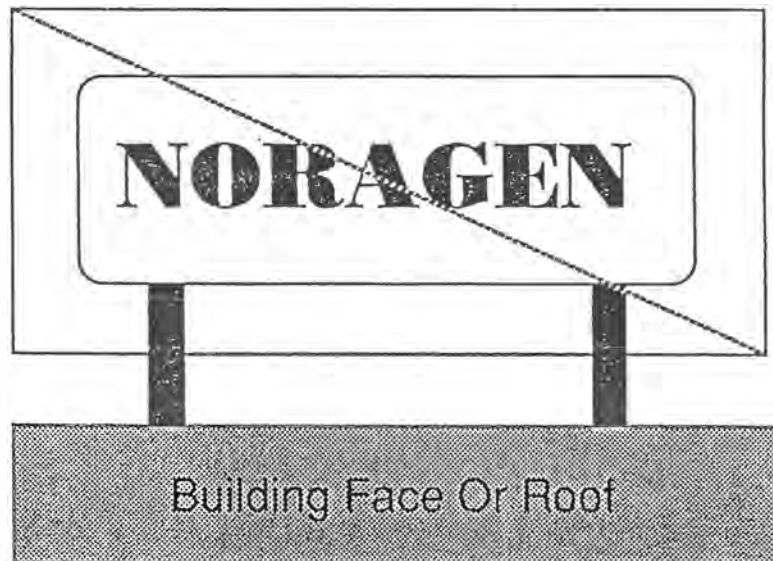
##### **(Diagram 11)**

Frames, posts or any kind of structures which serve to elevate or project the sign from the building surface shall not be allowed.



**Diagram 10:**

Fields Not Allowed



**Diagram 11:**

Ancillary Structures Not Allowed



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***Owners Installation***

***Criteria***

## 1.1 Introduction

The owner installation criteria which follow have been provided as guidelines for signage installation. However, signs should be examined on an individual basis to determine how these guidelines apply to specific sign requirements, given the unique nature of each building structure.

## 1.2. Fabrication

### *1.2.1 Accepted standards and practices*

Contractors, fabricators and installers shall submit 3 copies of shop drawings, finish specifications, structural and electrical details and installation plans to the building owner for approval before any work can proceed. Furthermore, the Tenant and/or the tenants' contractors shall maintain a minimum of \$1,000,000.00 in liability and \$500,000.00 incidental property damage insurance while installation of signage is underway on the building premises.

Proof of insurance and indemnification of the respective building owner against any claims, liens or legal actions resulting from the fabrication and installation shall be filed with the building owner before any installation work begins. Sign review and building permits must be approved by the City of Brisbane and filed with the Owner before any work can begin.

### *1.2.2 Electrical code requirements*

Electrified signs shall meet all UBC, ULL and local building ordinances. All electrical components must be capable of sustained weathering and temperature extremes. Electrical component servicing must be accessible from a crane or lowered stage without penetrating curtain wall or facia of building.

### *1.2.3 Other requirements and restrictions*

#### **Wind load factors**

All building signage shall be capable of sustaining 85 mph winds without risk of damage or demounting of sign. Any damage or personal injuries caused as a result of damaged or lost signage shall be the responsibility of the contractor.

#### **Weight limitations**

Tenant's contractor shall submit for Owner's approval the weight and structural load calculations indicating the mounting method and loading factors before any signage is mounted to the building. The sign shall be designed to be as light as possible.

#### **Engineering Specifications**

The Tenant shall secure the services of a qualified structural engineer to verify that the proposed sign shall meet the conditions contained within this Installation Criteria and shall be structurally sound. Verification of wind load, weight and installation factors shall be made available to the building owner at the time the Tenant submits a permit application.

### 1.3 Installation

#### *1.3.1 Installation methods acceptable*

The Tenant and its contractors shall provide drawings to the Owner which indicate the method of installation prior to submission for permits. The Owner reserves the right to reject installation methods when those methods have a derogatory effect upon either the structural soundness or the appearance of the building.

### 1.4. Maintenance

#### *1.4.1 Access for maintenance requirement*

Periodic maintenance of signage shall be accommodated from the exterior of the building. Except for electrical feeds, all maintenance and repair shall be conducted from either a crane or a stage. All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by the Developer. Prompt correction of any deficiencies shall be made by the responsible party for the maintenance of the sign(s).

#### *1.4.2 Acceptable response time for damage repair*

Damaged signs shall be repaired within 30 working days from the date of the damage, or be removed entirely from the building facade within 60 days. Should removal become necessary, the Tenant shall repair the building surface where signage has affected either structural conditions or visual appearance.

#### *1.4.3 Responsibility for damage*

Damage to Tenant signage is entirely and solely the responsibility of the Tenant.

REVISED  
GENERAL SIGN STANDARDS  
KOLL CENTER SIERRA POINT

BRISBANE, CALIFORNIA

~~SOUTH SAN FRANCISCO, CALIFORNIA~~

June 23, 1984

Amended (Group II)

November 17, 1986

Amended (Group I)

\_\_\_\_\_, 1988

KOLL CENTER SIERRA POINT SIGN PROGRAM STANDARDS

EXCLUDING BUILDING-MOUNTED SIGNAGE

PURPOSE AND INTENT

The purpose of the Sign Program Standards is to provide minimum standards to safeguard life, health, property and the public welfare, and to provide the means for adequate identification of buildings and businesses by regulating and controlling the design, location and maintenance of all signs within Koll Center Sierra Point.

The intent of this program is to establish specific standards for all exterior signing that will ensure continuity, consistency, and harmony with the master-planned architectural quality of Koll Center Sierra Point.

MAINTENANCE

All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

APPROVALS

The following Sign Program Standards have been approved by the City of Brisbane. Individual signage must have the approval of both the Koll Center Sierra Point Design Review Committee, consisting of members appointed by The Koll Company or its successors in interest, and the City of Brisbane. Tenants eligible for exterior signing shall be determined by Koll Center Sierra Point. Prior to obtaining approval from the City of Brisbane, sign applicants shall first obtain the approval of Koll Center Sierra Point by submitting the following:

1. For Preliminary Approval submit the following in triplicate to Koll Center Sierra Point:
  - a. Complete building elevation showing the proposed sign location and size with dimensions.
  - b. Notations as to the proposed materials, finishes and colors.

2. For Final Approval submit shop drawings containing the following in triplicate to Koll Center Sierra Point:
  - a. Complete building elevation showing the proposed sign location and size by dimension.
  - b. Details, materials, finishes and colors.
  - c. Proposed method of attachment to building and water-proofing at building penetrations.
  - d. Electrical power requirements.
3. For City Approval submit shop drawings as approved by Koll Center Sierra Point first to the City of Brisbane Planning Department, then to the Building Department.

#### UNCERTAINTY OF SIZE STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity of these standards, the sign applicant shall be referred to both the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Department for determination and clarification. The Design Committee and Planning Department shall then authorize signing which best fulfills the intent of the Sign Program Standards.

#### COMPLIANCE REQUIRED

No person shall erect, re-erect, construct, enlarge, alter, move, improve, remove, convert or equip any sign or sign structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of the Sign Program Standards. Conformance will be strictly enforced by Koll Center Sierra Point and the City of Brisbane Planning Department. All such unapproved sign(s) must be brought into conformance at the expense of the persons responsible for the installation of said sign(s).

#### SUPPLEMENTAL EXHIBITS

The attached exhibits are intended as a graphic aid in interpreting the intent of the Sign Program Standards.

In conjunction with the working drawings for each building, a graphic exhibit will be prepared indicating the permitted number, size and location of Group I Signs. Said exhibit shall be on file at the City of Brisbane Planning Department to facilitate the plan check process.

#### GENERAL SIGN STANDARDS

1. Signs are grouped into three groups. The size, location and design of each sign shall not exceed the specific maximum limitations for each group. For building wall signs, the criteria for this determination shall be proportional compatibility and harmony with the overall building and with the elevation upon which the sign is to be placed.
2. The area of a sign or logo with individual letters shall be measured by a rectangle around the outside of the lettering and/or the pictorial symbol.
3. The introduction of color on pictorial or abstract logo symbols shall be permitted only when it is essential to the readability of the symbol and shall be limited to one additional color.

#### GROUP I - EXTERIOR ENTRY DOOR SIGNS

##### ~~GROUP I - BUILDING WALL SIGNS~~

#### GROUP I - SIGN STANDARDS

1. Signs and logos attached to the exterior of any building may be internally illuminated, but no signs or any contrivance shall be devised or constructed so as to rotate, gyrate, blink or move in any animated fashion.
2. All signs and logos attached to the building shall be of individual letters and surface mounted. No "can" signs or signs painted directly on the building shall be permitted.
3. The area of a sign or logo with individual letters shall be measured by a rectangle around the outside of the lettering and/or the pictorial symbol.

4. The letter style for all signs attached to the building exterior shall be Helvetica Medium, all upper case, unless a specific company, firm or corporation letter style is approved.
5. Colors shall be determined by the architectural design of the building the sign is attached to:
  - a. Glass Curtain Wall Facade: The face of all wall sign letters and pictorial symbols shall be white with the sides (returns) of the letters finished to match the individual building exterior aluminum trim color.
  - b. Precast Concrete Facade: The face of all wall sign letters and pictorial symbols shall be bronze No. 2370 "Plexiglas" backed up with white No. W-7328 "Plexiglas". The daytime effect will be of black letters. When internally illuminated at night, the letters will appear as white. The sides (returns) of the letters shall be finished in black or to match the concrete face color.

Subject to approval, the introduction of color on pictorial or abstract logo symbols shall be permitted only when it is essential to the readability of the symbol and shall be limited to one additional color, preferably black or bronze.

#### GROUP I - SIGN DESCRIPTIONS

##### ~~1. Sign Type Ia: Primary Building Identification Signs~~

~~This sign type shall be limited to the identification of the major tenant and shall be limited to two (2) elevations and located on the top floor fascia or spandrel area. These signs can be internally illuminated or non-illuminated. See General Sign Standards, Paragraph "C", for color restrictions.~~

~~The size and location of each sign shall be designed to be complimentary and proportional to each individual building and in no case shall said sign exceed 200 square feet in area and a height established by the following tables:~~

<del>Sign Level</del>	<del>Maximum Letter Height</del>
<del>(Stories)</del>	
<del>1</del>	<del>2' - 6"</del>
<del>2</del>	<del>2' - 8"</del>
<del>3</del>	<del>2' - 10"</del>
<del>4</del>	<del>3' - 0"</del>
<del>5</del>	<del>3' - 4"</del>
<del>6</del>	<del>3' - 9"</del>
<del>7+</del>	<del>4' - 3"</del>

##### ~~2. Sign Type Ib: Secondary Wall Signs~~

~~This sign shall be limited to the identification of secondary tenants with a maximum of one sign per tenant. Subject to approval, a secondary tenant may be permitted one (1) additional sign. In no event, shall there be more than four (4) permitted secondary wall signs per building, and not more than one (1) sign per building elevation.~~

~~Said signs shall be individual letters internally illuminated or non-illuminated. The letter style for these signs shall be Helvetica Medium, all upper case. See Sign Program Standards, Paragraph "C", for restrictions on sign colors.~~

~~The size and location of each sign shall be designed to be complimentary and proportional to each individual building, and in no case shall said sign exceed eighteen (18) inches in height, nor sixty (60) square feet in area, nor exceed fifty (50) per cent of the horizontal dimension of the elevation to receive said sign. Elevation is defined as a contiguous vertical plane.~~

~~Subject to approval, a secondary tenant may be permitted signage above the first floor and/or of a larger size so long as said signage is considered to be complimentary to the specific building design. In no event shall said signage exceed the limitations established for primary building identification signs (Sign Type Ia).~~

##### ~~3. Sign Type Ic: Exterior Entry Door Signs~~

These signs shall be limited to identification of exterior tenant entry doors and shall be classified into one of two groups:

###### a. Type 1: Parking Area Signs

These signs shall be located on building elevations which face parking areas.

Said signs shall be individual letters internally illuminated or non-illuminated. The material and finish shall be established for each building. The letter type for these signs shall be Helvetica Medium, upper and lower case. The size and location of each sign shall be designed to be pedestrian oriented and to be complimentary and proportional to each individual building and entry area, and in no case shall said sign exceed eight (8) inches in height nor eight (8) square feet in area.

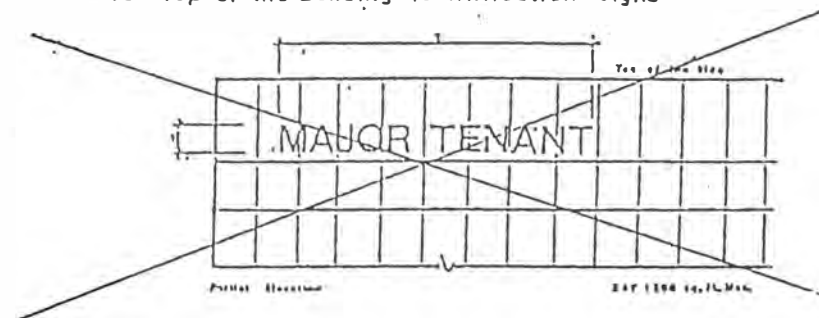
b. Type 2: Plaza Area Signs

These signs shall be located on building elevations which face landscaped plaza areas created by a cluster(s) of buildings.

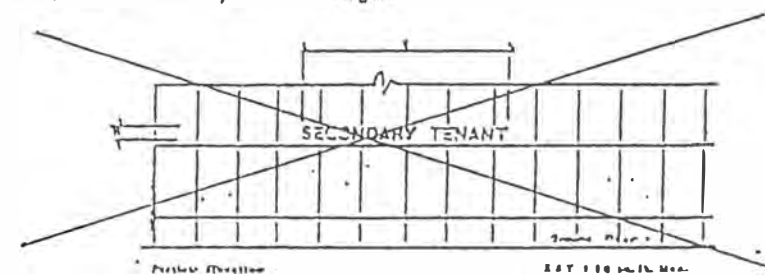
Said signs shall be individual three (3) dimensional cast metal letters affixed to the sidewalk. The letter type for these signs shall be Helvetica Medium, upper and lower case. The size and location of each sign shall be designed to be pedestrian oriented, and to be complimentary and proportional to each individual entrance. In no case shall the sign exceed two and one half (2 1/2) inches in height.

~~GROUP 1  
BUILDING WALL SIGNS~~

~~1a - Top of the Building Identification Signs~~

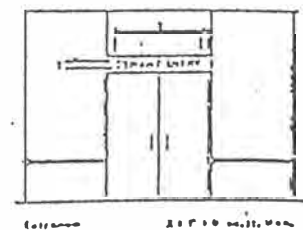


~~1b - Secondary Wall Signs~~

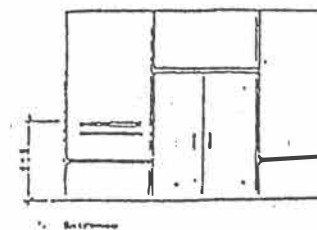


~~1c - Exterior Entry Door Signs~~

Type 1



Type 2





## GROUP II - PERMANENT GROUND SIGNS

### GROUP II - SIGN STANDARDS

1. All anticipated permanent ground sign types have been addressed in this document.

No additional permanent ground signs shall be introduced without the approval of the Koll Center Sierra Point Design Review Committee and City of Brisbane Planning Commission.

2. All sign types, sizes, colors and materials shall conform as indicated herein except that the City of Brisbane shall have the right to select alternative designs for their Marina buildings. Tenant logos may be incorporated in sign type "D" with the approval of the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Director.
3. Palatino type face shall be used in bold and regular on all permanent ground signs as shown in Exhibit J, page 22. The bold type face is for project identity and on directional signs, sign type "E" through "I". Palatino regular type face is used on remaining messages. No type face deviation shall be allowed without the approval of the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Director.
4. All traffic signs shall conform to the State Design Manual and State Traffic Manual. The location and design of the traffic signs shall be reviewed and approved by the City of Brisbane Director of Public Works.
5. Parking Directional Signs (sign type "E") are to be reviewed and approved for number and location by the City of Brisbane Planning Director and Public Works Director.
6. Building Identification Signs (sign type "D") are to be limited to one per building *plus one for any secondary street frontage*, and location shall be approved by the City of Brisbane Planning Director prior to the issuance of a building permit.

## GROUP II - SIGN DESCRIPTION

### 1. Sign Type A - Directory Kiosk

The Directory Kiosk shall be located at the entry to the park, parallel to Sierra Point Parkway and adjacent to the sidewalk.

Description: Addressee and buildings are identified by colored squares that refer to the site plan. Two GFRG panels with reveals are mounted to metal substructure which is supported by a concrete foundation. Top band to be polished copper. 1/4" pin-mounted metal letters are mounted to the copper and GFRG. Metal sign face of sign plan to be procelain enamel with silkscreened images in polyurethane paint. Site plan mounted flush into GFRG. Three ground lights in sidewalk to provide surface illumination. See Exhibit A, page 14.

### 2. Sign Type B - Entry Monument Sign

**Purpose:** One entry monument sign is included within this Sign Program. The entry monument sign is to be located at the northeast corner of the Sierra Point Parkway and Marina Boulevard intersection. Exhibit L shows the location. The intent of the site entry monument is to create a formal entrance to the campus that includes the towers within the center of Sierra Point and compliments the site entry monument of the adjacent campus at The Shore.

**Description:** The entry monument will identify the campus as "The Towers at sierra point", with a subtitle text that reads "Healthpeak Life Science Properties". "The Towers" letterforms are to be white, 3 feet 4 inches in height, internally face-lit, and mounted onto a 2-foot, 10-inch aluminum base. The lower-case letters "at sierra point" are to be dark grey, dimensional letterforms, mounted to the base, and the "Healthpeak Life Science Properties" subtext will be black vinyl. The width of the base is to be 16 feet. See Exhibit L for further details and the graphic illustration.

**Landscaping:** Entry monument sign landscaping shall be subject to approval by the Community Development Director.

**Permit Requirements:** The entry monument sign shall comply with the California Building Code (CBC), including any applicable building permit requirements. Sign contractor or owner shall be responsible for verifying any building permit requirements with the City prior to installation. A separate form and fee shall apply to any building permit application.

Additionally, the entry monument sign shall also comply with Title 27 requirements, and is subject to San Mateo County Health Department review, as such work pertains to construction on a closed landfill site. This is to be verified through the building permit application process.

A separate sign review permit is not required, unless modifications to the graphic illustration are requested. Modifications to the graphic illustration shall be subject to Zoning Administrator review (see below).

**Performance Standards:** The following performance standards shall apply to the entry monument sign:

- a. The entry monument sign shall comply with the requirements for sign construction and maintenance per Brisbane Municipal Code (BMC) Section 17.36.030(F) so as to not cast glare onto surrounding streets or neighboring properties, to not cause a distraction to neighboring properties, or otherwise constitute a public nuisance.
- b. A dimmer switch shall be installed with the lighting controls of the sign.
- c. The sign lighting shall not flash.

**Entry Monument Sign Modifications:** Modifications to the entry monument sign are subject to Zoning Administrator approval via public hearing. Notice shall be provided in accordance with BMC Section 17.36.060.C and findings for approval are provided under BMC Section 17.36.060.D. The Zoning Administrator's decision may be appealed to the Planning Commission by filing a written statement of the reasons for the appeal, along with the fee (see Line P46 in the current Master Fee Schedule), within 7 calendar days of the decision. A Planning Commission decision shall be subject to the provisions of BMC Section 17.36.070.C.

### 3. Sign Type C - Day Access Sign

These signs shall give direction to water access as required by the Day Conversation Development Commission.

Description: Sign face to be colored laminate with adhesive applied directional arrow and type. Laminate is mounted to wood core which is supported by wood tie bolts through center of tie. See Exhibit C, page 16.

#### 4. Sign Type D-Building Identification Sign

These signs are designed in a monument format to provide building identity at all major office building entrances.

Description: Monument structure built of metal, stone and/or concrete on a concrete foundation; 68-72 inches tall (including exposed foundation), 75-85 inches wide, and 10-15 inches thick; identifying the location and the owner(s) and/or tenant(s) of the building. *The Planning Commission may approve monument signs exceeding the 72-inch height limit in cases where hotel and restaurant uses occupy sites with multiple street frontage in order to make clearer the primary entrance to the site.*

Illumination of the surface of the sign may be provided by lights located in the ground. Backlighting of any reveals may be provided by neon or fluorescent lighting inside the monument structure.

A building permit shall be obtained prior to installation of any sign 72 inches or greater in height above grade or for any illuminated sign per the Uniform Sign Code.

#### 5. Sign Type E - Parking, directional loading/unloading signs

These signs shall provide identification of direction of parking; direction of hotels, harbor master and other amenities; and loading and unloading areas.

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel mounted with tamper proof bolts on all four corners. Dark grey characters are silkscreened in polyurethane paint on light grey field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit E, page 18.

#### 6. Sign Type F - Stop Signs

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamperproof bolts on four corners. White characters are silkscreened in polyurethane paint on red field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit F, page 19.

#### 7. Sign Type G - Directional Sign

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silkscreened in polyurethane paint on light grey field. One inch square metal tubing mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit G, page 20.

#### 8. Sign Type H - Exit Sign

This sign shall identify exits from parking areas.

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silkscreened in polyurethane paint on light grey field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit H, page 21.

#### 9. Sign Type I - Street Identification Signs

Street identification signs shall be located at all major intersections.

Description: Foundation is landscaped according to Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silkscreened in polyurethane paint on light grey field. One inch square metal tubing around the sign blade is attached to four one inch tubes to form the sign post. Post is mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit I, page 22.

REVISED  
GENERAL SIGN STANDARDS  
KOLL CENTER SIERRA POINT

(page 13)

Amended 1/9/03 per SR-9-02 &  
1/28/10 per SR-1-10 &  
**5/27/21 per SR-3-21**

GROUP III – TEMPORARY GOUND SIGNS

See attached Exhibit K.

Note that temporary ground signs advertising the lease of all or a portion of a building shall be subject to the same provisions as “For Sale” signs.

GROUP IV – COMMERCIAL SIGNS

These signs will be considered separately at the time these uses are submitted to the City for review. These signs must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.

GROUP V – TEMPORARY BANNERS

The Planning Director may grant Sign Review approval for temporary banners of up to 200 sq. ft. total for new hotel operators. Such banners shall be displayed for no more than 90 days.

Temporary banners advertising all or a portion of an office building for lease shall be subject to Sign Review approval by the Planning Director. The number, size, dimensions and location of the banners shall comply with the Building-Mounted Signage Standards, treating them as temporary replacements for permanent signs. The banner colors and design shall be subject to the approval of the Planning Director. The banners shall be removed within 10 days after finalization of the lease. No building shall display such banners for more than 9 months within any calendar year.

Temporary banners for all other uses shall be subject to the provisions of Brisbane Municipal Code Table 17.34.020.

BUILDING-MOUNTED SIGNAGE ON OFFICE BUILDINGS AND HOTELS

These signs are subject to the Koll Center Sierra Point Building-Mounted Signage Standards.

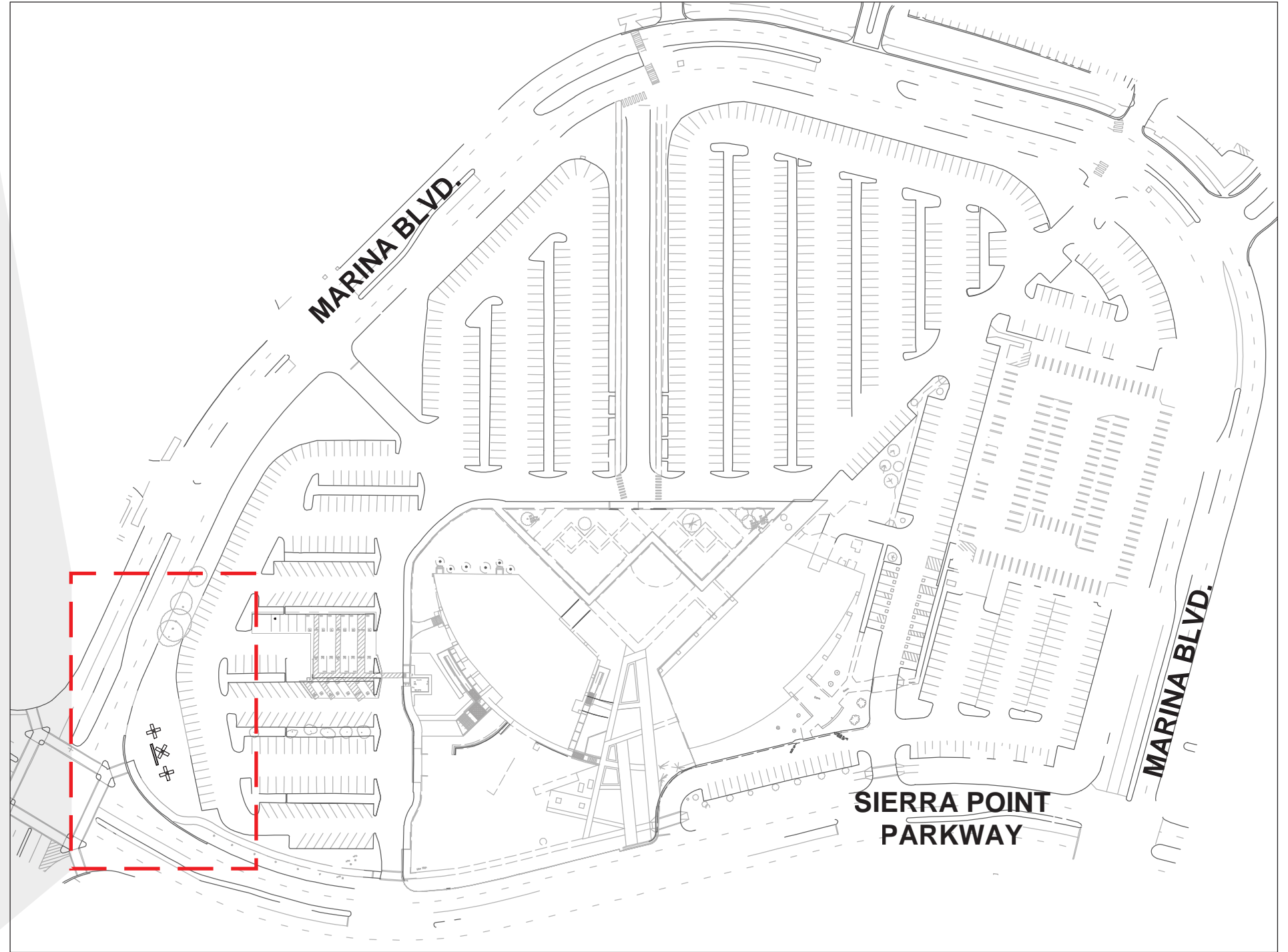
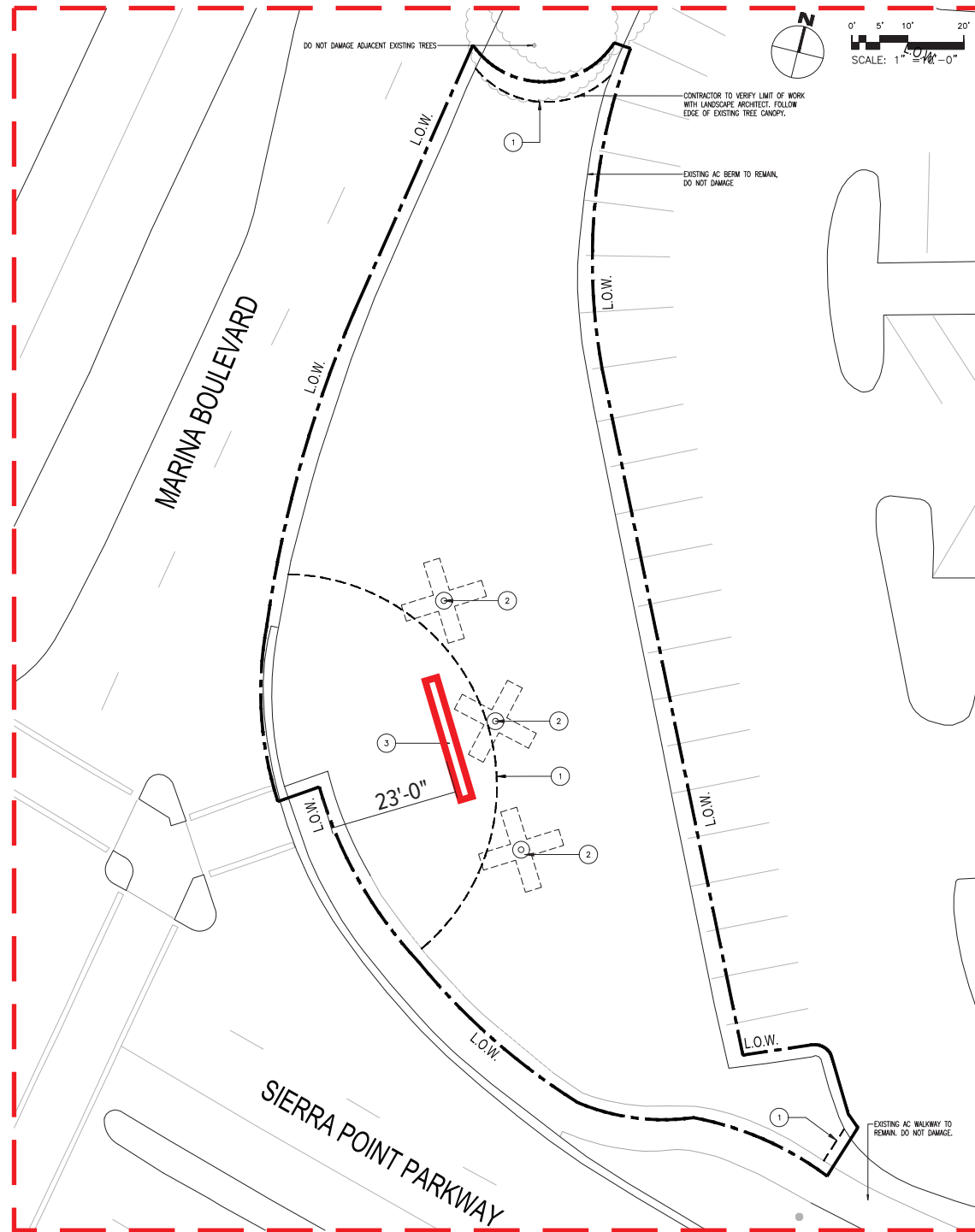
## GROUP VI – FLAGS

Three flagpoles will be located approximately 7 feet behind the entry monument sign at the northeast corner of Sierra Point Parkway and Marina Boulevard, as shown in the graphics package of Exhibit L. The center flagpole shall not exceed 60 feet in height, with a California flag measuring 10 feet by 15 feet. Two 50-foot flagpoles shall flank the center flagpole flying a City of Brisbane flag and “The Towers” flag, each measuring 8 feet by 12 feet. The flagpoles shall be brushed stainless steel or aluminum.

The City of Brisbane and California flags are not considered advertising. Display of those flags should follow standard protocols.

Any modifications to the “The Towers” flag, or design of any of the flagpoles, shall be subject to Community Development Director review and may be granted upon submittal, without prior notice to any other parties or the conduct of a meeting or other form of public hearing by the Community Development Director, in the same manner as an application for a building permit.

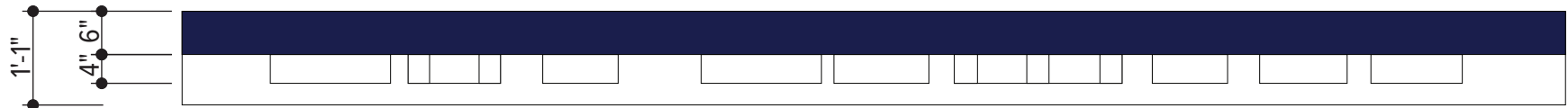
A building permit is required prior to flagpole installation or for any modifications impacting the structural condition of the flagpoles.



**LEGEND:**

- 1 – New Redwood header
- 2 – New flagpole and footing
- 3 – New signage (this proposal)

**Site Overview – Sign Location Plan**



Plan View

Site Monument

The Towers site entry monument creates a formal entrance into the Campus, and is designed to work in unison with the monument at The Shore across the street, without being identical to that monument. Sculptural fabricated letterforms are mounted on an aluminum base, with a dark blue background.

The color palette of the monument will match the monument at The Shore. The sign base matches the base at The Shore, and the letterforms that are mounted to it will be painted white, with frosted white lexan faces which are internally face-lit with LED components, just as the sign at The Shore is. The dark blue background will match the returns of the letters on The Shore monument.

The typeface is Acumin, which also matches the Shore letters. The dimensional letters attached to the face of the base will be painted a dark gray, and are not illuminated, and the Healthpeak logo next to these letters will be applied black vinyl.



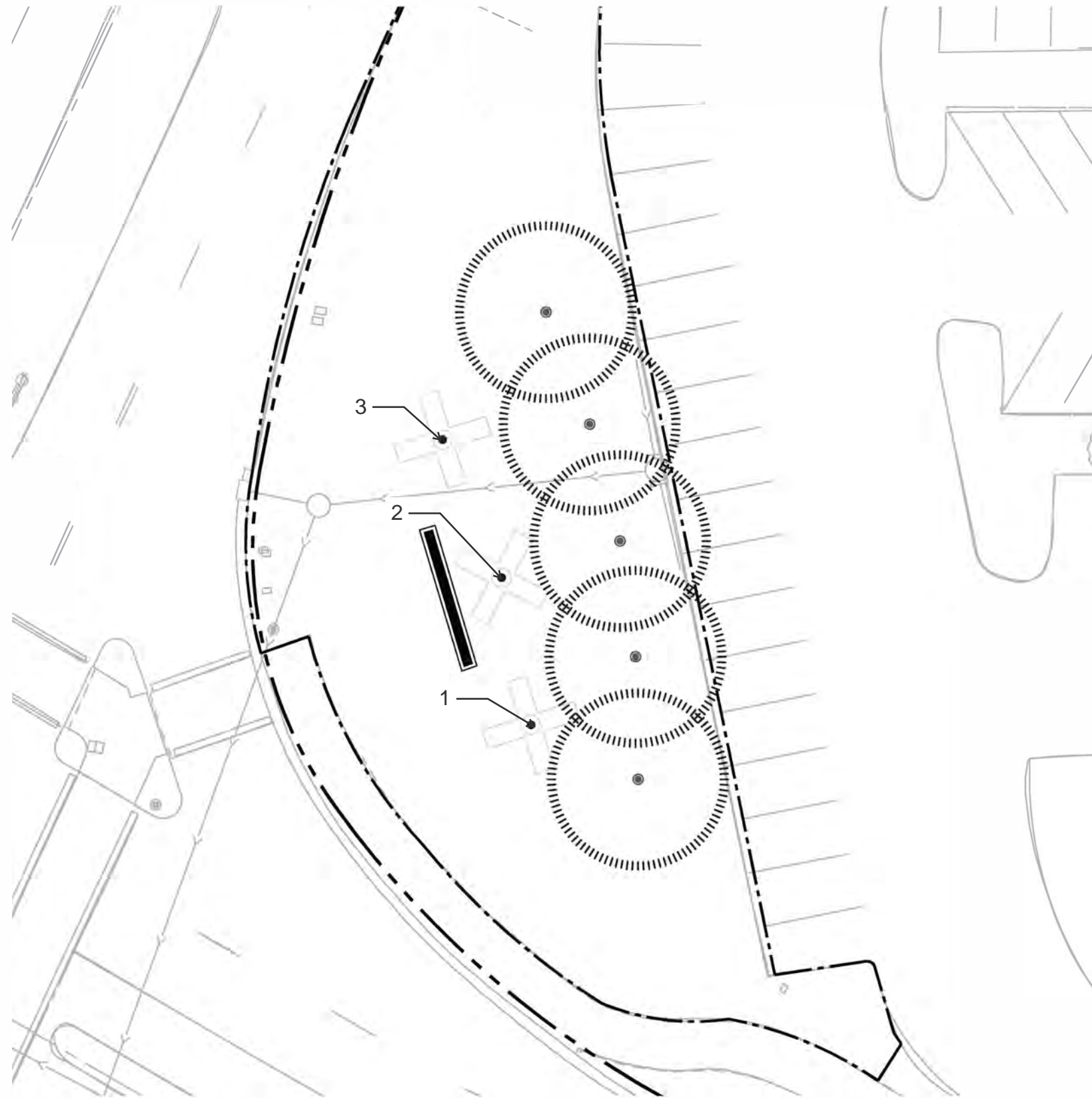
Side View

Elevation  
100 sq.ft.

Scale: 1/2" = 1'-0"

Monument Design – Elevation





1. FLAGPOLE HEIGHT: 50'  
FLAG SIZE: 8'X12'  
FLAG: CITY OF BRISBANE

2. FLAGPOLE HEIGHT: 60'  
FLAG SIZE: 10'X15'  
FLAG: CA

3. FLAGPOLE HEIGHT: 50'  
FLAG SIZE: 8'X12'  
FLAG: THE TOWERS



0' 10' 20' 40'  
SCALE: 1" = 20'-0"



Healthpeak  
PROPERTIES

2000 Sierra Point Parkway  
Brisbane, CA 94005

950 Tower Lane, Suite 1650, Foster City, California 94404  
Project Number: 10194.051

FLAGPOLE SIGN LOCATIONS  
2021-05-12



© 2019



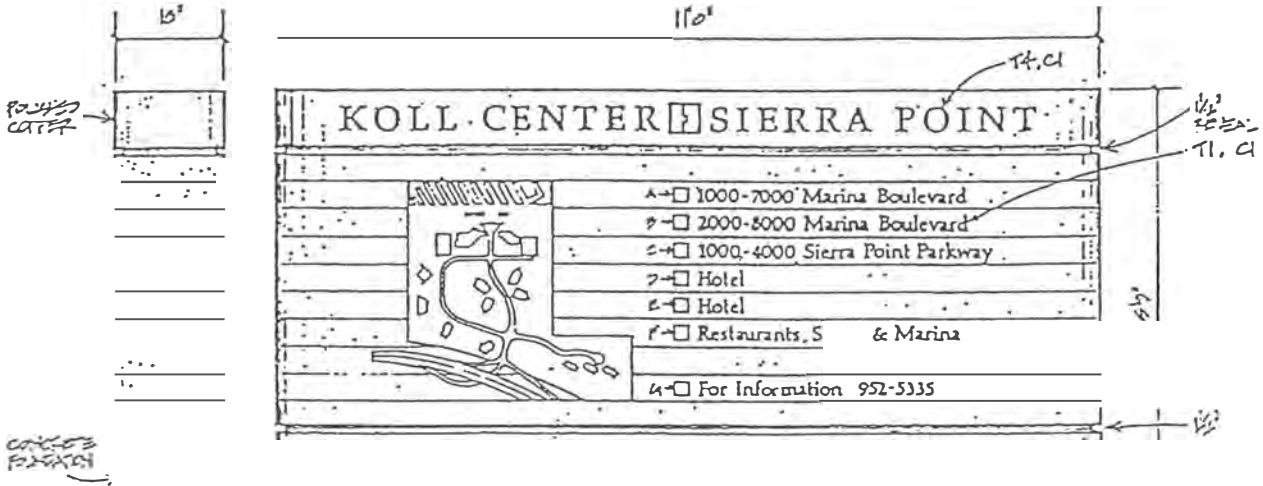


## Monument Design – Rendering

The Towers at Sierra Point  
14 April 2021 Site Monument For Permit



EXHIBIT A  
Page 14



SIGN TYPE 'A' - ELEVATION

EXHIBIT C  
Page 16

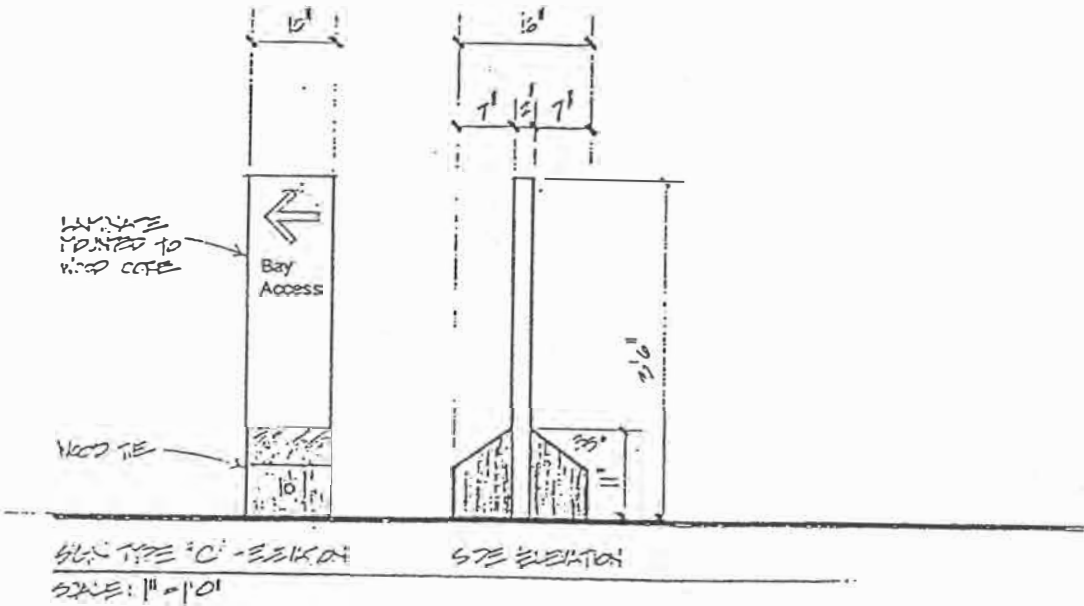
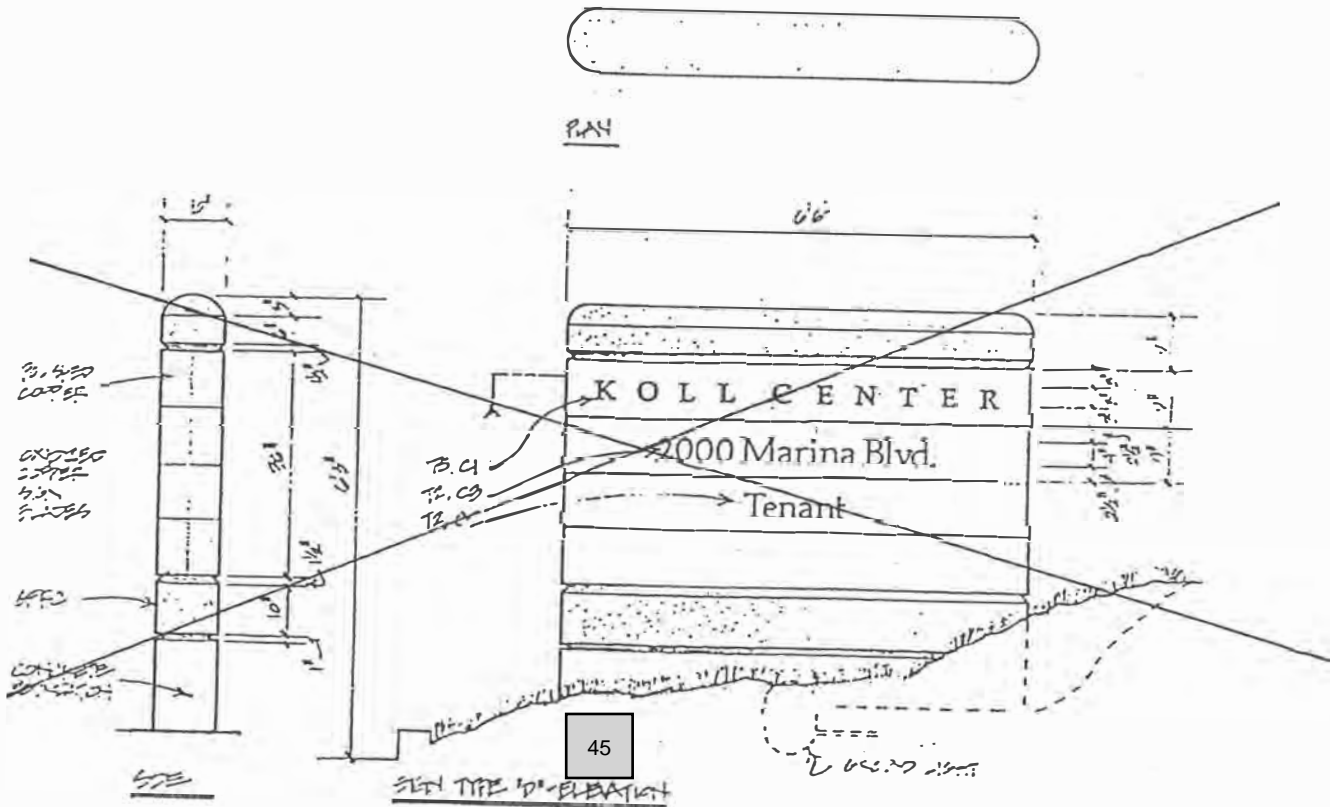


EXHIBIT D  
Page 17



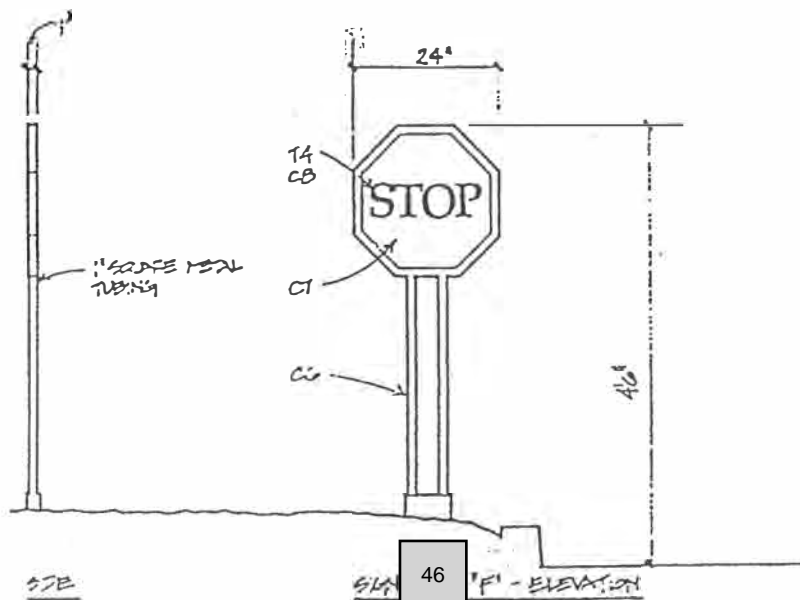
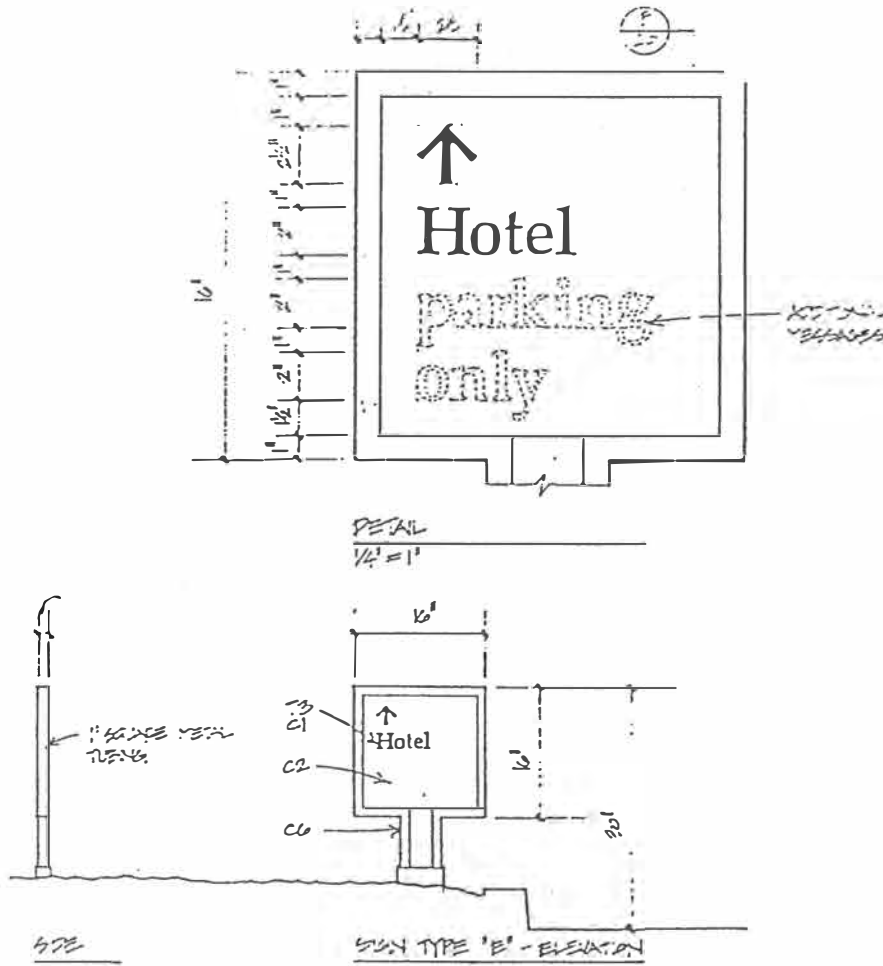


Exhibit C  
Page 20

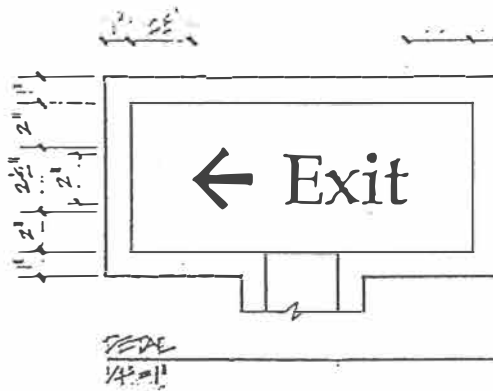
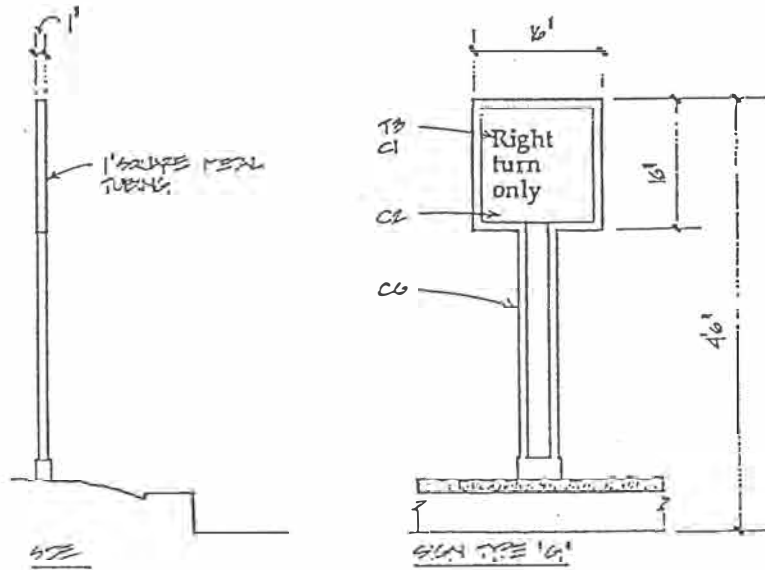


EXHIBIT H  
Page 21

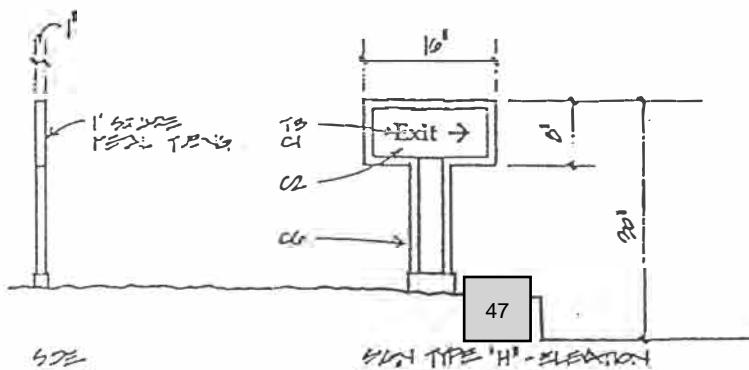
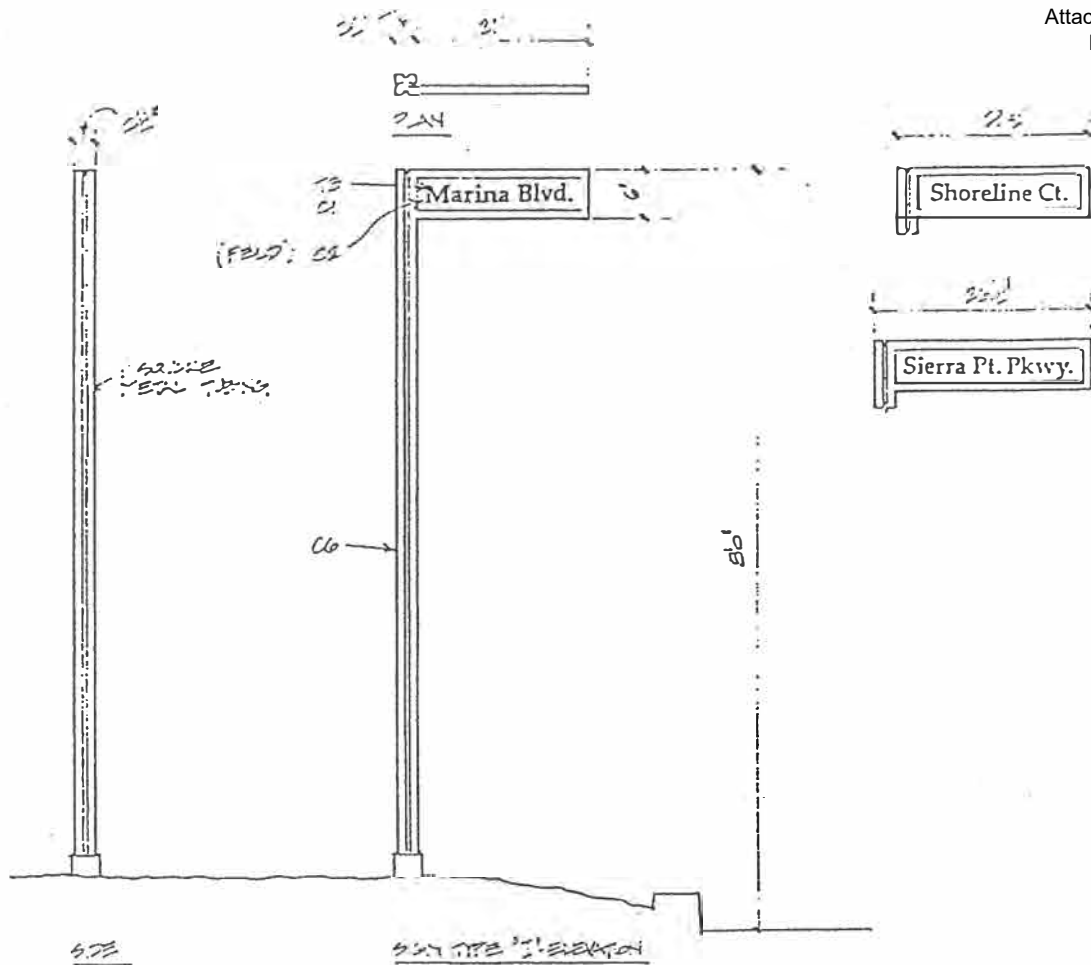


EXHIBIT I  
Page 22



abcdefghijklmnopqrstuvwxyz 1234567890  
ABCDEFGHIJKLMNOPQRSTUVWXYZ

BACK OF THE FACE

HEIGHT	DEPTH	COLOR
TS	2.25'	C1
TA	4'	C2
TB	4'	C3 (SIDE)

abcdefghijklmnopqrstuvwxyz 1234567890  
ABCDEFGHIJKLMNOPQRSTUVWXYZ

FRONT OF THE FACE

HEIGHT	DEPTH	COLOR
TS	2.25'	C1
TA	4'	C2
TB	4'	C1

EXHIBIT J  
Page 23

## EXHIBIT B

## GROUP III - TEMPORARY GROUND SIGNS

Temporary ground signs advertising the sale of the premises upon which the sign is located shall be allowed without review, subject to compliance with the following:

- No more than one "For Sale" sign shall be permitted per parcel.
- "For Sale" signs may be located on either street or freeway frontage, but shall not be located within the public right-of-way or any other location off-site, and in no event shall be less than 10 ft. from the back of the street curb or sidewalk (when present).
- "For Sale" signs shall be located at least 20 ft. from any driveway.
- Each sign face shall not exceed 4 ft. by 6 ft., and the total combined sign area shall not exceed 48 sq. ft.
- Signs may have two faces, if the angle between the two faces is no greater than 90 degrees.
- "For Sale" signs shall not be illuminated, reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of any sign 6 ft. or greater in height above grade per the Uniform Sign Code. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- "For Sale" signs shall be removed not later than 10 days after finalization of the sale of the property.
- All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

Temporary ground signs for any other purpose shall be considered separately as needed. They must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.

## EXHIBIT K

### GROUP III - TEMPORARY GROUND SIGNS

Temporary ground signs advertising the sale of the premises upon which the sign is located shall be allowed without review, subject to compliance with the following:

- No more than one "For Sale" sign shall be permitted per parcel.
- "For Sale" signs may be located on either street or freeway frontage, but shall not be located within the public right-of-way or any other location off-site, and in no event shall be less than 10 ft. from the back of the street curb or sidewalk (when present).
- "For Sale" signs shall be located at least 20 ft. from any driveway.
- Each sign face shall not exceed 4 ft. by 6 ft., and the total combined sign area shall not exceed 48 sq. ft.
- Signs may have two faces, if the angle between the two faces is no greater than 90 degrees.
- "For Sale" signs shall not be illuminated, reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of any sign 6 ft. or greater in height above grade per the Uniform Sign Code. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- "For Sale" signs shall be removed not later than 10 days after finalization of the sale of the property.
- All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

One "Subdivision For Sale or Lease" temporary ground sign, advertising the sale of vacant parcels and/or future leasable office space on such parcels within the Sierra Point subdivision, shall be allowed, subject to compliance with the following:

- The "Subdivision For Sale or Lease" sign shall be located within the boundaries of the subdivision and shall not be located within the public right-of-way.



Page 2

- The "Subdivision For Sale or Lease" sign may have two faces in a "V"-shaped arrangement with a 65-85 degree angle between them, each sign face shall not exceed 40 ft. by 18 ft., and the sign's supports shall not exceed 7 ft. in height.
- The "Subdivision For Sale or Lease" sign may be illuminated as approved by the Zoning Administrator per Brisbane Municipal Code Section 17.36.060.D.5 and Table 17.36.020. The "Subdivision For Sale or Lease" sign shall not be reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of the sign. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- The "Subdivision For Sale or Lease" sign shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).
- The "Subdivision For Sale or Lease" sign shall only be located on a vacant parcel with freeway frontage. It shall be removed prior to occupancy of any building developed on the same parcel. Relocation of the "Subdivision For Sale or Lease" sign to another site with freeway frontage within the subdivision shall be subject to Sign Review by the Zoning Administrator. The "Subdivision For Sale or Lease" sign shall no longer be allowed once all of the parcels with freeway frontage within the subdivision have been developed.

Temporary ground signs for any other purpose shall be considered separately as needed. They must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.



THE OPUS GROUP  
ARCHITECTS  
CONTRACTORS  
DEVELOPERS

June 25, 2003

Mr. Tim Tune  
Senior Planner  
City of Brisbane  
50 Park Place  
Brisbane, CA 94005

Dear Tim:

I have attached a copy of the pertinent sections of the CC&Rs recorded October 28, 1998. The CC&Rs require the applicant to receive written approval by Declarant for this type of improvement. Please see Sections: 1.40, 1.68, 4.1 and 5.6.

Sincerely,  
Opus West Corporation  
for Sierra Point, LLC

Randall R. Ackerman  
Vice President  
Real Estate Development

cc: Matteson Realty Services,  
Mr. Russell Kessler

Attachment A  
Exhibit B  
OPUS WEST CORPORATION  
A member of The Opus Group

Item B.


6160 Stoneridge Mall Road, Suite 360  
Pleasanton, CA 94588  
Phone 925-463-9254  
Fax 925-463-9368  
www.opuscorp.com



**Exhibit "A-2"** as the Ground Lease Parcel and attached hereto and incorporated herein. The Land Area of the Ground Lease Parcel is shown on **Exhibit "A-2"** attached hereto.

1.38 Ground Lessee. The term "Ground Lessee" shall refer to the lessee of the Ground Lease Parcel under the Ground Lease and its successors in interest as lessee under the Ground Lease.

1.39 Hazardous Materials. The term "Hazardous Materials" means and refers to any toxic substance, material or waste which is or becomes (i) regulated by any local governmental authority, the State of California or the United States Government; (ii) defined as a "solid waste", "sludge", "hazardous waste," "extremely hazardous waste," "restricted hazardous waste," "Non-RCRA hazardous waste," "RCRA hazardous waste," or "recyclable material," under any federal, state or local statute or regulation promulgated thereunder, including, without limitation, Sections 25115, 25117, 25117.9, 25120.2, 25120.5, 25122.7, or listed pursuant to Sections 25140 and 25141, of the California Health and Safety Code, Division 20, Chapter 6.5 (Hazardous Waste Control Law), (iii) defined as a "Hazardous Substance" under Section 25316 of the California Health and Safety Code, Division 20, Chapter 6.8 (Carpenter-Presley-Tanner Hazardous Substance Account Act), (iv) defined as a "Hazardous Material," "Hazardous Substance" or "Hazardous Waste" under Section 25501 of the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Materials Release Response Plans and Inventory); (v) defined as a "Hazardous Substance" under Section 25281 of the California Health and Safety Code, Division 20, Chapter 6.7 (Underground Storage of Hazardous Substances), (vi) petroleum products, (vii) asbestos, as defined in Section 25918 of the California Health and Safety Code, Chapter 10.35 (Asbestos Note Function) petroleum waste products, petroleum contaminants, including, without limitation, petroleum, gasoline, used oil, crude oil, waste oil and any fraction thereof, natural gas, methane gas, natural gas liquefied, natural gas, or synthetic fuels, (viii) materials defined as hazardous or extremely hazardous pursuant to Article 2 of Title 22 of the California Administrative Code, Division 4.5, Chapter 10, (ix) pesticides, (x) polychlorinated biphenyls, (xi) defined as a "Hazardous Substance" pursuant to Section 311 of the Federal Water Pollution Control Act (33 U.S.C. Section 1251 et seq.), (xii) defined as a "Hazardous Waste" pursuant to Section 1004 of the Federal Resource Conservation and Recovery Act, 42 U.S.C. Section 6901 et seq., (xiii) defined as a "Hazardous Substance" or "Mixed Waste" pursuant to Section 101 of the Comprehensive Environmental Response Compensation and Liability Act, 42 U.S.C. Section 9601 et seq., and regulations promulgated thereunder, (xiv) defined as a "Hazardous Substance" pursuant to Section 401.15 of the Clean Water Act, 40 C.F.R. 116, (xv) defined as an "Extremely Hazardous Substance" pursuant to Section 302 of the Superfund Amendments and Reauthorizations Act of 1986, 42 U.S.C. Section 11002 et seq., or (xvi) defined as "medical waste" pursuant to Section 25023.2 of the California Health and Safety Code, Chapter 6.1 (Medical Waste Management Act).

 1.40 Improvement: Improvements. The term "Improvement" or "Improvements" means buildings, outbuildings, roads, driveways, driveway cuts, parking areas, Berms, fences, screening walls and barriers, retaining walls, stairs, decks, water lines, sewers, electrical and gas distribution

facilities, hedges, windbreaks, plantings, planted trees and shrubs, poles, antennae, microwave dishes, solar panels, Signs (as defined below), loading areas and all other structures, installations and landscaping of every type and kind, whether above or below the land surface.

1.41 Invitee. The term "Invitee" means any person whose presence within the Project is approved by or is at the request of a particular Owner, including, but not limited to, lessees, tenants, employees, licensees or invitees of Owners, tenants or lessees.

1.42 Land Area. The term "Land Area" means the gross acreage of the real property situated within a Parcel, with fractional portions of an acre being rounded to the nearest hundredth of an acre. The Land Area for the Parcels initially subject to this Declaration is set forth on Exhibit "A-1" attached hereto and incorporated herein and the Land Area for any Parcels which may be annexed to this Declaration is set forth on Exhibit "B-1" attached hereto and incorporated herein. Upon any subdivision of the Parcels, the Land Area for such subdivided Parcels shall be the area of the Parcel designated on the final subdivision or parcel map, rounded to the nearest hundredth of an acre and in such case, the Association may, but shall not be required to, record a Supplemental Declaration specifying the Land Area of the newly subdivided Parcel. If no designation is included on the parcel or subdivision map, the Land Area shall be the area designated by Declarant's engineer, or, if the Declarant's Rights have expired, the Association's engineer and in such case, the Association shall be required to, record a Supplemental Declaration specifying the Land Area of the newly subdivided parcel.

1.43 Landscaping and Lighting District. The term "Landscaping and Lighting District" means the Sierra Point Landscaping and Lighting District formed pursuant to City of Brisbane City Council Resolution No. 92-44.

1.44 Landscaping and Lighting District Properties. The term "Landscaping and Lighting District Properties" means those portions of the Project which are currently being maintained by the Landscaping and Lighting District. Upon any dissolution of such district or relinquishment of the right to maintain such properties pursuant to Section 8.2 of this Amended Declaration, the Landscaping and Lighting District Properties shall, if the Association assumes such maintenance obligations pursuant to Section 3.1.16 of this Declaration, be included within the definition of the Common Facilities.

1.45 Lessee. The term "Lessee" means each Person who, at any given time, is leasing a Parcel or a building or a portion of a Parcel or a building on a Parcel from an Owner under a written lease agreement. An Owner may designate, by a written instrument delivered to the Association, a Lessee as primarily responsible for the burdens and obligations imposed herein during the term of the lease, and may further designate to such Lessee the right to exercise the powers granted to such Owner under this Declaration. Such designation, however, shall not result in a release of such Owner from any responsibility and liability hereunder. Such assignment shall become effective upon delivery of the written assignment to the Association.

1.63 RWQCB Order. The term "RWQCB Order" refers to Order No. 96-058 issued by the RWQCB, as it may be amended, supplemented or replaced from time to time and any additional orders, decrees, directives or requirements which may be imposed upon the Property by the RWQCB with respect to the condition of Sierra Point as a former landfill.

1.64 Shuttle Bus Expenses. The term "Shuttle Bus Expenses" refers to the expenses incurred for the operation of any shuttle bus adopted under any TSM Program (as defined below) or as otherwise implemented for the benefit of the Project by the Association.

1.65 Sierra Point. The term "Sierra Point" refers to the area situated within the City of Brisbane and City of South San Francisco within which the Property is situated and known as "Sierra Point" and described on the Site Plan (as defined below).

1.66 Signage Easements. The term "Signage Easements" shall refer to the areas shown on the Site Plan over which the Association shall have an easement for installation, maintenance and repair of signage for the benefit of the Project.

1.67 Site Plan. The term "Site Plan" refers to the site plan of Sierra Point attached hereto as **Exhibit "E"** and incorporated herein.

\* 1.68 Sign. The term "Sign" means any structure, device or contrivance, permanent or temporary, electric or nonelectric, visible from adjacent property, upon or within which any poster, bill, bulletin, printing, lettering, painting, device or other display or advertising of any kind whatsoever is used, placed, posted, mounted, or otherwise fastened or affixed.

1.69 Street or Streets. The term "Street" or "Streets" means any public street, highway, road, or thoroughfare within or adjacent to the Property and any private street, road, or thoroughfare shown on any recorded subdivision or parcel map or record of survey, whether designated thereon as street, boulevard, place, drive, road, court, terrace, way, lane, circle or otherwise.

1.70 Super Majority of the Voting Power. The term "Super Majority of the Voting Power" means the affirmative vote or consent of seventy-five percent (75%) of the Voting Power.

1.71 Supplemental Declaration. The term "Supplemental Declaration" means that document which may be executed and recorded by Declarant prior to or contemporaneous with the conveyance of a Parcel to a third party by Declarant or by the Association upon consent by the Owner of the Parcel as to which the restriction is being imposed, which document may impose: (i) additional restrictions for the Parcel in question; (ii) additional easements benefitting or burdening said Parcel; (iii) additional maintenance obligations of the Association or the Owner of the Parcel in question; and/or (iv) such other items as Declarant may determine. After recordation, if a Supplemental Declaration only imposes obligations on some but not all of the Property, a

3.1.15 Association Property. The Association shall have the obligation to accept fee title to any real property included within the Annexable Property which is conveyed to the Association by the Declarant and to maintain such Property in accordance with the requirements of this Amended Declaration.

3.1.16 Landscaping and Lighting District Properties and Contracts with the City. The Association shall have the power to enter into contracts or agreements with the City wherein the Association agrees to perform obligations which are otherwise being performed by the City and the cost thereof shall be included as a Common Expense. The Association shall have the right to assume the responsibility for maintenance of the Landscaping and Lighting District Properties and to cooperate with the City of Brisbane in any actions to dissolve the Landscaping and Lighting District.

3.2 Personal Liability. No member of the Board, or any committee of the Association, or any officer, agent, employee or attorney of the Association, or any manager or Declarant, or any officer, agent, member, shareholder, director or employee of Declarant, shall be personally liable to any Owner, or any other party, including the Association, for any actions, damages, liabilities, losses, fines or penalties, including, without limitation, attorneys' fees and costs suffered or claimed on account of any act, omission, error, or negligence of any such individual if such individual has, on the basis of such information as may be possessed by such individual or it, acted in good faith without willful or intentional misconduct. Each person serving on the Board does so as a representative of the Owner and not in his or her personal capacity and, in no event shall such Person have any personal liability as a result of its serving on the Board.

#### ARTICLE 4

#### CONSTRUCTION OF IMPROVEMENTS

\* 4.1 Approval by Declarant for all Improvements. No Improvements shall be erected, placed, constructed, replaced, substantially remodeled, rebuilt or reconstructed, maintained or permitted to remain on any Parcel until Plans and Specifications have been submitted to and approved in writing by Declarant; provided, however, that plans for tenant improvements in buildings for which Declarant has approved the Plans and Specifications need not be submitted for approval unless such tenant improvements include facilities for processing or handling of Hazardous Materials. Such Plans and Specifications shall be submitted in duplicate over the authorized signature of the applicant ("Applicant") and the Owner of the Parcel. Such plans and specifications shall be in such form and shall contain such information as may be required by the Declarant, but shall in any event include the following:

4.1.1 Site Development Plan. A site development plan of the Parcel showing the grading and drainage scheme, location and dimensions of all proposed buildings, driveways, parking areas, walkways, landscape areas, loading areas, storage and refuse areas, and walls with respect to the particular Parcel and with respect to structures on adjoining Parcels;

5.5.3 Refuse Collection. All outdoor refuse collection areas shall be screened so that such areas are not visible from adjacent Property or Streets. Said screening shall consist of fencing approved by Declarant.

 5.6 Signs. Every exterior Sign, temporary or permanent, and all parts thereof shall conform to the signage plan approved by Declarant pursuant to **Article 4**.

5.7 Utilities. All electrical, telephone, gas, water, storm drain, sewer and other utility lines on each Parcel shall be installed underground.

5.8 Construction of Clay Cap. Each Owner shall construct upon such Owner's Parcel a clay cap of at least the thickness and constructed of materials meeting specifications set forth in the RWQCB Order in conjunction with the construction of any structures thereon, or at any earlier time if required by any Governmental Requirements, unless Declarant has previously constructed such clay cap on that Parcel. The clay cap shall be constructed in accordance with the Plans and Specifications approved by Declarant pursuant to **Article 4**. The clay cap shall be constructed and compacted to form a junction with the clay cap on any adjacent Parcel so that the clay caps and their junction form a substantially unbroken clay cap across the Parcels. If any existing clay cap is excavated or cut into, the portions removed shall be replaced to the same thickness and with materials meeting the same specifications as originally constructed. The replacement portion of the clay cap shall be constructed to form a junction with the remainder of the existing clay cap on adjacent parcels.

5.9 Variances. Except for the requirements set forth in **Section 5.8** of this Declaration, Declarant shall have the exclusive right to grant to any Parcel or Owner thereof such variances from the provisions of this Article as it, in its sole discretion, determines is in the best interests of the Property. Any variance granted hereunder shall be effective only if made in writing.

5.10 Determination Of Violation. Declarant shall have the power to determine, in its sole judgment, upon its own initiative or upon complaint by any Owner, whether a violation of any provision of this Article is occurring upon any Parcel, and any such determination by Declarant shall be conclusive.

## ARTICLE 6

### REGULATION OF OPERATIONS AND USES

6.1 Permitted Uses. Except as otherwise specifically prohibited herein, any use which is (a) permitted by the general plan designation and zoning of a Parcel and (b) complementary with the Design Guidelines and the general plan for development of the Property may be conducted upon a Parcel with the prior written approval of Declarant. Declarant in its discretion shall determine whether a use is complementary and no use shall be deemed complementary unless approved by

Sierra Point Sign Program Standards  
for Building and Ground-Mounted Signage

5/27/2021

EXHIBIT A

Koll Center

Sierra Point

Building-Mounted

Signage

Standards

City of Brisbane

Brisbane, CA





***Table of Contents***

- I. Purpose
- II. Review Procedure & Submittal Requirements
- III. Elements
- IV. Quantity
- V. Placement
- VI. Scale
- VII. Color
- VIII. Materials
- IX. Owners Installation Criteria

**Applicant**

Tenant who desires a building-mounted sign.

**Owner**

Owner of building on which applicant wishes to have sign installed.

**Developer**

Koll Center  
Sierra Point  
Mr. Doug Thomas  
1000 Marina Blvd.  
Brisbane, CA  
415-952-5335

**City**

The City of Brisbane  
Building and Planning  
Department  
440 Visitacion Ave.  
Brisbane, CA  
415-467-4180

**Design Consultant**

Colophon Inc.  
Planners & Designers  
900 North Point Street  
San Francisco  
California 94109  
414-775-8899

---

**Building Mounted  
Signage Standards**

**I. Purpose:**

The purpose of the signage standards is to provide standards to safeguard life, health, property and the public welfare, and to provide the means for adequate identification of buildings and businesses by regulating and controlling the design, location and maintenance of all signs on office and hotel buildings within Koll Center Sierra Point that are located in Brisbane. Therefore, these standards do not apply to the Brisbane portion of the site that pertains to the retail area nor do they pertain to the South San Francisco portion of the site. The "Revised General Sign Standards" dated June 23, 1984 and amended November 17, 1986 pertain to all signage standards at Koll Center Sierra Point, excluding building-mounted signage.

The intent of this program is to establish specific standards for all exterior building-mounted signage that will ensure continuity, consistency, and harmony with the master-planned architectural quality of Koll Center Sierra Point.

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**II. Review Procedure  
Submittal Requirements:**

**Permits are required**

All signs which fall under the control of these standards require permits issued by the City of Brisbane. The following review process is specifically pertinent to owner review and approval..

A sign review permit, issued by the City of Brisbane, is required for all building mounted signage. The permit application must first be approved by the building Owner, then by the Developer of Koll Center Sierra Point. The application is then submitted to the City Planning Department for an approval if it is determined to be consistent with these signage standards. Signage that is determined to be inconsistent can only be allowed through approval of a variance by the City of Brisbane Planning Commission. The necessary submittal steps for review and approval are as follows:

**1. For Preliminary Approval by Developer**

- Exact photostat of symbol and/or logotype
- Sample of color and material
- Drawings showing proposed placement and scale
- Completion of request form
- Notations of proposed materials, finishes, and color

**2. For Sign Review Approval by City Planning Department**

- Completed sign review application with Owner's signature and fee.
- One reproducible and legible site plan (maximum size: 11" x 17") to an appropriate scale showing the location of all proposed and any existing signs on the subject building.

- One set of reproducible and legible elevation (Maximum size: 11" x 17") showing the location and appearance of the sign(s) on the building (including side views where necessary) to an appropriate scale as an exact representation of the proposal.
- Description of materials and methods of finishing and installation (thicknesses, treatment of edges, details of framing, type of lighting, if any, etc.). This information can be placed on the elevations as appropriate.
- One set of color samples (minimum size: 1" x 1"), showing exact shades and keyed to sign elevations.
- One set of color photographs showing the proposed location of the sign(s).

### 3. For Variance Consideration

Sign proposals which do not meet these standards must be reviewed by the City's Planning Commission. Contact the City's Planning Department for submission requirements. There are specific legal requirements for the approval of any variance and there is no guarantee of approval once a variance application is submitted.

### 4. For Final Approval by Developer

- Final drawings for placement and scale
- Electrical and Structural specifications
- Final materials, finishes and colors
- Schedule for installation
- Proof of insurance by contractors
- Installation and Weatherproofing details

## 5. Building permit application submittal requirements

- Three sets of plans as described in section 1.2.1 of Owner's Installation Criteria.
- State worker's compensation certificate made out to the City of Brisbane.
- State contractor's license number
- City of Brisbane contractor's business license

### III. Elements

#### 3.1. Logotypes (*Diagram 1*)

##### 3.1.1. Primary company logotype/symbol, acceptable

The Applicant shall use its primary corporate identity (i.e.: corporate logotype or symbol as applied to business papers or products, etc.) to form the basis for its building signage. Special case identification, product names and other variations of the corporate signature shall be excluded.

##### 3.1.2. In lieu of Applicant supplied standard, Building typography standard takes precedence (*Diagram 2*)

If the Applicant lacks a characteristic logotype/symbol and requests that its corporate name be applied in building signage, the corporate name shall conform to typographic standards outlined in these guidelines.

# SONY

**Diagram 1:**

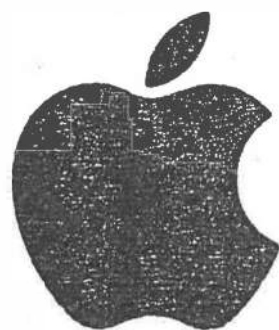
Acceptable Logotype Only

**A B C D E F G H I J K L M N O  
P Q R S T U V W X Y Z**

**a b c d e f g h i j k l m n o  
p q r s t u v w x y z**

**Diagram 2:**

Standard Building Font is Franklin Gothic Bold



**Diagram 3:**

Acceptable Symbol Only

### 3.2. Symbols *(Diagram 3)*

#### 3.2.1. Primary company symbol acceptable

Symbols may be used alone without a supporting logotype. The use of a wordmark (IBM) rather than a complete spelling of a corporate name (International Business Machines) is preferred for use as signage.

### 3.3. Logotypes and Symbols together *(Diagram 4)*

#### 3.3.1. Combined logotypes and symbols will be allowed. Preference will be for Logotype application alone

Combined symbols and logotypes shall be allowed only if the elements can be contained as a single sign element mounted to the building. Multiple and separate sign structures are disallowed.

### 3.4. Exclusions

#### 3.4.1. Not allowed are secondary lines of information, advertising by-lines, or Subsidiary identification *(Diagram 5)*

Secondary lines of text in or around the company identity, including subsidiary organization identification, advertising slogans, bylines or statements of any kind shall not be permitted, except as approved by the Planning Commission specifically in order to describe hotels and restaurants.



**Diagram 4:**

Acceptable Symbol + Logotype



**Diagram 5:**

Acceptable Symbol + Logotype  
with unacceptable secondary line of text.

---

#### **IV. Quantity**

##### **4.1. Maximum of 2 different tenants' signs**

A maximum of 2 different tenants' signs may occupy a given side of any building within Koll Center Sierra Point.

##### **4.2. Maximum of 4 signs per building**

A maximum of four tenant identification signs may be placed on any building within Sierra Point, excluding signs permitted for the sides of hotels not visible from Highway 101 per Section 4.4.

##### **4.3. No more than 2 signs applied to any side**

On any specific building side no more than two tenant identification signs shall be placed.

##### **4.4. Clearly visible signage from highway**

Signage on any one side of a given building shall be clearly visible from northbound or southbound traffic on Highway 101, *except that hotels may be permitted signage on sides of the building not visible from Highway 101 as determined by the Planning Commission per Section 5.1.*

---

#### **V. Placement**

##### **5.1. Location to be determined by the Developer and the City**

For any new building subject to these guidelines, the sides of the building on which signage is permitted per the preceding section shall be determined by the Planning Commission at the time of Design Review.

Developer shall determine the appropriate height and location for all tenant identification signs placed on the building prior to submission to the City's Planning Department for final approval. Due to the variable nature of each building's architectural design and the freeway site-line (view) corridor, the location of signage of each building shall be assessed on a project-by-project basis by the Developer and Planning Department of the City of Brisbane.

## VI. Scale

6.1. Scale shall be determined by the relative "zone" that the building occupies (**Diagram 6**)

### 6.1.1. Sign scale from freeway view corridors

Signs shall conform to a maximum x height in three zones so that the apparent scale of signage is approximately the same from freeway view corridors.

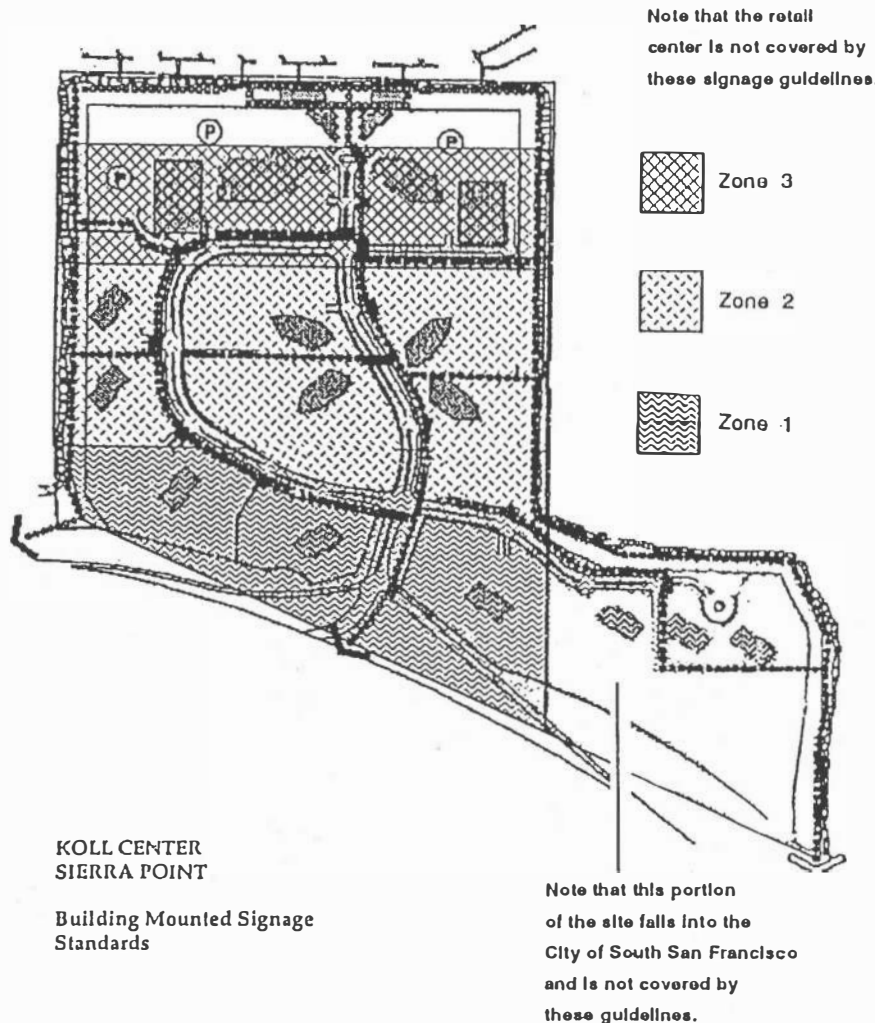
### 6.1.2. Site shall be defined in 3 zones from freeway plane

The site shall be organized into lateral zones which parallel the 101 freeway is outlined in 6.1.3, below. Signage scale shall be controlled by the location of buildings within these zones.

### 6.1.3. Size Regulations

The maximum size (vertical and horizontal) for each zone is outlined below. However, the intent is to have a sign that is in scale with the size of the building, so these maximum sizes may not always be permitted. The size shall be approved by the Developer prior to submittal to the City of Brisbane for approval by its Planning Department.

7



**Diagram 6:**  
Building "zones"



Note that the maximum area permitted for the sides of hotels not visible from Highway 101 per Section 4.4 shall be not more than one-half (1/2) that permitted above.

The Planning Commission may approve exceptions to the maximum dimensions and area permitted above for hotel signage, if the Planning Commission determines that:

The larger size is necessary to provide adequate legibility of the signage; and

The signage is designed so as to substantially fit within the building's architectural elements or details.

Also note that, in permitting a secondary line of identification for hotels and restaurants, the Planning Commission may approve exceptions to the maximum vertical dimension permitted, subject to the following:

The sign fits within the building's architectural elements or details.

The sign complies with the maximum horizontal dimension and area permitted above.



Diagram 7:  
Method for Measuring Sign Dimensions

Zone Location	Max Vertical	Max Horizontal	Area
Zone One	5'.0"	35'.3"	176.25'
Zone Two	6'.0"	41'.6"	249.00'
Zone Three	7'.0"	48'.0"	336.00'

Item B.

6.1.4. Views clear from all floors

All signs shall fit within the architectural features so that the letters do not extend above or below the spandrel glass so as to block views from any floor.

6.1.5. Method for measuring scale correctly

The vertical, horizontal and area standards set by section 6.1 shall be measured as Follows: The vertical dimension shall be measured at the maximum height of any letter, excluding descenders or symbol (see **Diagram 7**). The horizontal dimension shall be measured at the maximum horizontal length

encompassing all pictorial and typographic elements (see **Diagram 7**). The area shall be measured as the product of the vertical and horizontal dimensions as measured above.

VII. Color

7.1. Review Authority

7.1.1. Consistent with established guidelines  
Color shall be regulated by the these standards, but shall be subject to the Owners' approval prior to submission to the Developer and City for review and approval of the color to insure conformance with those guidelines and other existing approval requirements.

## 7.2. Color shall be allowed under the following conditions

### 7.2.1. Tenant color standards

Color of sign elements shall be confined to a palette of red, blue, green, white and black. The City's Planning Department may refer sign permits to the City's Planning Commission for approval if the requested sign color is one other than those listed above. A final determination on the use of color shall be made by the Developer and the City of Brisbane consistent with the architectural design finishes of each building and the tenant's corporate identity program.

7.2.2. *As appropriate to building surface coloration*  
In the event that the tenant identity program does not embrace specific color requirements, a color standard appropriate to the surface coloration of the building shall be developed and applied to the tenant sign in question. Such color standards shall be approved by the Developer and City of Brisbane.

## VIII. Materials

### 8.1. Sign Type

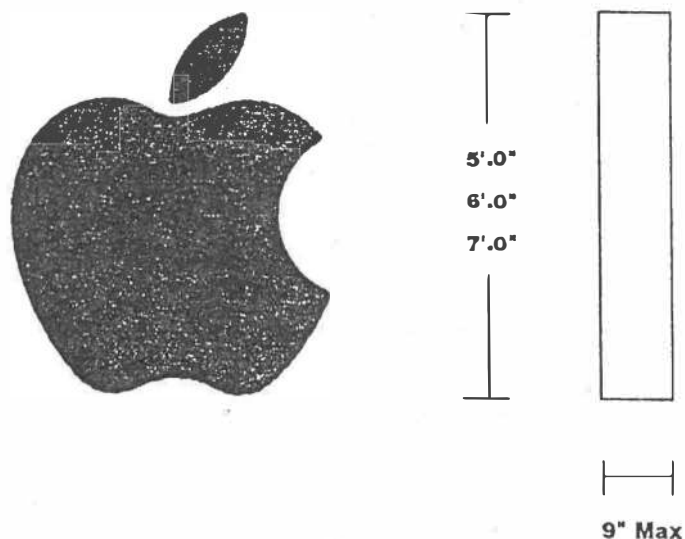
8.1.1. *Internally illuminated "can" characters. Plexiglass character faces Electrically illuminated for night visibility. Sheet metal with neutral anodized finishes*

Signs shall be fabricated of anodized sheet aluminum in two finish specifications: clear or grey



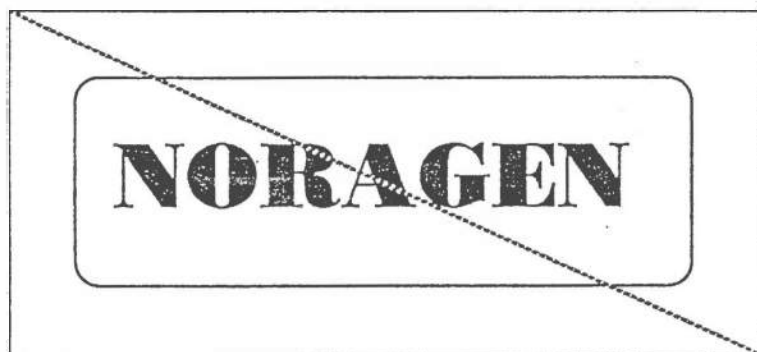
**Diagram 8:**

3-D Characters Mounted to Building Surface

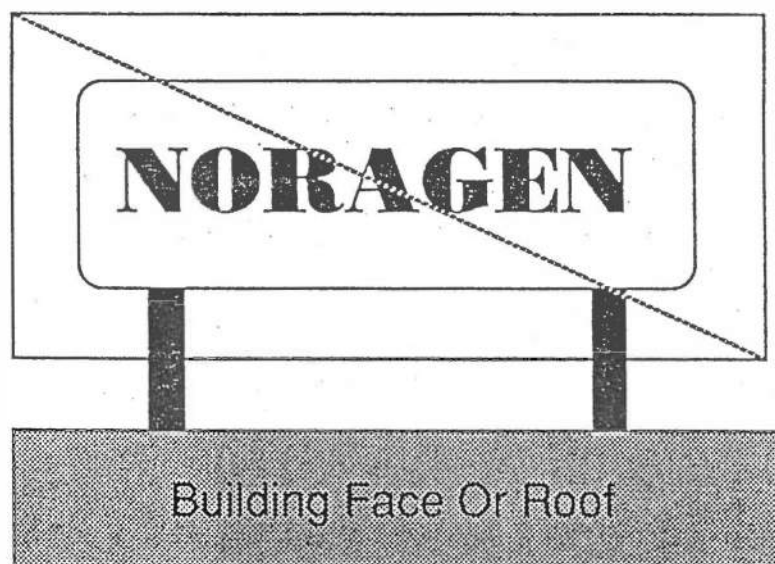


**Diagram 9:**

Maximum Symbol/Logotype Thickness



**Diagram 10:**  
Fields Not Allowed



**Diagram 11:**  
Ancillary Structures Not Allowed

anodizing for light colored building surfaces and dark bronze anodizing for dark colored building surfaces. Characters and/or elements shall be three dimensional and shall conform to a maximum depth of 9 inches from face of sign to building surface. Signs may be internally illuminated and shall have acrylic faces which are reflective during the day and translucent at night. However, no flashing signs are permitted. Please see **(Diagram 8 & 9)** for further details.

#### *8.1.2. Unacceptable sign types **(Diagram 10)***

Illuminated fields upon which characters rest. Under no condition will fields or areas be allowed as "buffers" upon which signage may be applied. Only the outline characters of the tenant identity are allowed.

#### *Neon or exposed fluorescent elements*

No exposed lighting fixtures, tubes, ballasts, wiring or other equipment shall be allowed.

#### *Chrome or metallic characters*

No metallic, polished or highly reflective characters shall be allowed.

#### *Ancillary structures or features to support sign*

##### **(Diagram 11)**

Frames, posts or any kind of structures which serve to elevate or project the sign from the building surface shall not be allowed.

---

***Owners Installation***

***Criteria***

## 1.1 Introduction

The owner installation criteria which follow have been provided as guidelines for signage installation. However, signs should be examined on an individual basis to determine how these guidelines apply to specific sign requirements, given the unique nature of each building structure.

## 1.2. Fabrication

### *1.2.1 Accepted standards and practices*

Contractors, fabricators and installers shall submit 3 copies of shop drawings, finish specifications, structural and electrical details and installation plans to the building owner for approval before any work can proceed. Furthermore, the Tenant and/or the tenants' contractors shall maintain a minimum of \$1,000,000.00 in liability and \$500,000.00 incidental property damage insurance while installation of signage is underway on the building premises.

Proof of insurance and indemnification of the respective building owner against any claims, liens or legal actions resulting from the fabrication and installation shall be filed with the building owner before any installation work begins. Sign review and building permits must be approved by the City of Brisbane and filed with the Owner before any work can begin.

### *1.2.2 Electrical code requirements*

Electrified signs shall meet all UBC, ULL and local building ordinances. All electrical components must be capable of sustained weathering and temperature extremes. Electrical component servicing must be accessible from a crane or lowered stage without penetrating curtain wall or fascia of building.

### *1.2.3 Other requirements and restrictions*

#### **Wind load factors**

All building signage shall be capable of sustaining 85 mph winds without risk of damage or demounting of sign. Any damage or personal injuries caused as a result of damaged or lost signage shall be the responsibility of the contractor.

#### **Weight limitations**

Tenant's contractor shall submit for Owner's approval the weight and structural load calculations indicating the mounting method and loading factors before any signage is mounted to the building. The sign shall be designed to be as light as possible.

#### **Engineering Specifications**

The Tenant shall secure the services of a qualified structural engineer to verify that the proposed sign shall meet the conditions contained within this Installation Criteria and shall be structurally sound. Verification of wind load, weight and installation factors shall be made available to the building owner at the time the Tenant submits a permit application.

### 1.3 Installation

#### *1.3.1 Installation methods acceptable*

The Tenant and its contractors shall provide drawings to the Owner which indicate the method of installation prior to submission for permits. The Owner reserves the right to reject installation methods when those methods have a derogatory effect upon either the structural soundness or the appearance of the building.

### 1.4. Maintenance

#### *1.4.1 Access for maintenance requirement*

Periodic maintenance of signage shall be accommodated from the exterior of the building. Except for electrical feeds, all maintenance and repair shall be conducted from either a crane or a stage. All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by the Developer. Prompt correction of any deficiencies shall be made by the responsible party for the maintenance of the sign(s).

#### *1.4.2 Acceptable response time for damage repair*

Damaged signs shall be repaired within 30 working days from the date of the damage, or be removed entirely from the building facade within 60 days. Should removal become necessary, the Tenant shall repair the building surface where signage has affected either structural conditions or visual appearance.

#### *1.4.3 Responsibility for damage*

Damage to Tenant signage is entirely and solely the responsibility of the Tenant.

REVISED  
GENERAL SIGN STANDARDS  
KOLL CENTER SIERRA POINT

BRISBANE, CALIFORNIA

~~SOUTH SAN FRANCISCO, CALIFORNIA~~

June 23, 1984

Amended (Group II)

November 17, 1986

Amended (Group I)

\_\_\_\_\_, 1988

KOLL CENTER SIERRA POINT SIGN PROGRAM STANDARDS

EXCLUDING BUILDING-MOUNTED SIGNAGE

PURPOSE AND INTENT

The purpose of the Sign Program Standards is to provide minimum standards to safeguard life, health, property and the public welfare, and to provide the means for adequate identification of buildings and businesses by regulating and controlling the design, location and maintenance of all signs within Koll Center Sierra Point.

The intent of this program is to establish specific standards for all exterior signing that will ensure continuity, consistency, and harmony with the master-planned architectural quality of Koll Center Sierra Point.

MAINTENANCE

All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

APPROVALS

The following Sign Program Standards have been approved by the City of Brisbane. Individual signage must have the approval of both the Koll Center Sierra Point Design Review Committee, consisting of members appointed by The Koll Company or its successors in interest, and the City of Brisbane. Tenants eligible for exterior signing shall be determined by Koll Center Sierra Point. Prior to obtaining approval from the City of Brisbane, sign applicants shall first obtain the approval of Koll Center Sierra Point by submitting the following:

1. For Preliminary Approval submit the following in triplicate to Koll Center Sierra Point:
  - a. Complete building elevation showing the proposed sign location and size with dimensions.
  - b. Notations as to the proposed materials, finishes and colors.



2. For Final Approval submit shop drawings containing the following in triplicate to Koll Center Sierra Point:
  - a. Complete building elevation showing the proposed sign location and size by dimension.
  - b. Details, materials, finishes and colors.
  - c. Proposed method of attachment to building and water-proofing at building penetrations.
  - d. Electrical power requirements.
3. For City Approval submit shop drawings as approved by Koll Center Sierra Point first to the City of Brisbane Planning Department, then to the Building Department.

#### UNCERTAINTY OF SIZE STANDARDS

If a situation arises that is not covered by these sign standards or there is ambiguity of these standards, the sign applicant shall be referred to both the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Department for determination and clarification. The Design Committee and Planning Department shall then authorize signing which best fulfills the intent of the Sign Program Standards.

#### COMPLIANCE REQUIRED

No person shall erect, re-erect, construct, enlarge, alter, move, improve, remove, convert or equip any sign or sign structure, or cause or permit the same to be done contrary to or in violation of any of the provisions of the Sign Program Standards. Conformance will be strictly enforced by Koll Center Sierra Point and the City of Brisbane Planning Department. All such unapproved sign(s) must be brought into conformance at the expense of the persons responsible for the installation of said sign(s).

#### SUPPLEMENTAL EXHIBITS

The attached exhibits are intended as a graphic aid in interpreting the intent of the Sign Program Standards.

In conjunction with the working drawings for each building, a graphic exhibit will be prepared indicating the permitted number, size and location of Group I Signs. Said exhibit shall be on file at the City of Brisbane Planning Department to facilitate the plan check process.

#### GENERAL SIGN STANDARDS

1. Signs are grouped into three groups. The size, location and design of each sign shall not exceed the specific maximum limitations for each group. For building wall signs, the criteria for this determination shall be proportional compatibility and harmony with the overall building and with the elevation upon which the sign is to be placed.
2. The area of a sign or logo with individual letters shall be measured by a rectangle around the outside of the lettering and/or the pictorial symbol.
3. The introduction of color on pictorial or abstract logo symbols shall be permitted only when it is essential to the readability of the symbol and shall be limited to one additional color.

#### GROUP I - EXTERIOR ENTRY DOOR SIGNS

##### ~~GROUP I - BUILDING WALL SIGNS~~

#### GROUP I - SIGN STANDARDS

1. Signs and logos attached to the exterior of any building may be internally illuminated, but no signs or any contrivance shall be devised or constructed so as to rotate, gyrate, blink or move in any animated fashion.
2. All signs and logos attached to the building shall be of individual letters and surface mounted. No "can" signs or signs painted directly on the building shall be permitted.
3. The area of a sign or logo with individual letters shall be measured by a rectangle around the outside of the lettering and/or the pictorial symbol.

4. The letter style for all signs attached to the building exterior shall be Helvetica Medium, all upper case, unless a specific company, firm or corporation letter style is approved.
5. Colors shall be determined by the architectural design of the building the sign is attached to:
  - a. Glass Curtain Wall Facade: The face of all wall sign letters and pictorial symbols shall be white with the sides (returns) of the letters finished to match the individual building exterior aluminum trim color.
  - b. Precast Concrete Facade: The face of all wall sign letters and pictorial symbols shall be bronze No. 2370 "Plexiglas" backed up with white No. W-7328 "Plexiglas". The daytime effect will be of black letters. When internally illuminated at night, the letters will appear as white. The sides (returns) of the letters shall be finished in black or to match the concrete face color.

Subject to approval, the introduction of color on pictorial or abstract logo symbols shall be permitted only when it is essential to the readability of the symbol and shall be limited to one additional color, preferably black or bronze.

#### GROUP I - SIGN DESCRIPTIONS

##### ~~1. Sign Type Ia: Primary Building Identification Signs~~

~~This sign type shall be limited to the identification of the major tenant and shall be limited to two (2) elevations and located on the top floor fascia or spandrel area. These signs can be internally illuminated or non-illuminated. See General Sign Standards, paragraph "C", for color restrictions.~~

~~The size and location of each sign shall be designed to be complimentary and proportional to each individual building and in no case shall said sign exceed 200 square feet in area and a height established by the following table:~~

<del>Sign Level</del>	<del>Maximum Letter Height</del>
<del>(Stories)</del>	
<del>1</del>	<del>2' - 6"</del>
<del>2</del>	<del>2' - 8"</del>
<del>3</del>	<del>2' - 10"</del>
<del>4</del>	<del>3' - 0"</del>
<del>5</del>	<del>3' - 4"</del>
<del>6</del>	<del>3' - 9"</del>
<del>7+</del>	<del>4' - 3"</del>

##### ~~2. Sign Type Ib: Secondary Wall Signs~~

~~This sign shall be limited to the identification of secondary tenants with a maximum of one sign per tenant. Subject to approval, a secondary tenant may be permitted one (1) additional sign. In no event, shall there be more than four (4) permitted secondary wall signs per building, and not more than one (1) sign per building elevation.~~

~~Said signs shall be individual letters internally illuminated or non-illuminated. The letter style for these signs shall be Helvetica Medium, all upper case. See Sign Program Standards, paragraph "C", for restrictions on sign colors.~~

~~The size and location of each sign shall be designed to be complimentary and proportional to each individual building, and in no case shall said sign exceed eighteen (18) inches in height, nor sixty (60) square feet in area, nor exceed fifty (50) per cent of the horizontal dimension of the elevation to receive said sign. Elevation is defined as a contiguous vertical plane.~~

~~Subject to approval, a secondary tenant may be permitted signage above the first floor and/or of a larger size so long as said signage is considered to be complimentary to the specific building design. In no event shall said signage exceed the limitations established for primary building identification signs (Sign Type Ia).~~

##### ~~3. Sign Type Ic: Exterior Entry Door Signs~~

These signs shall be limited to identification of exterior tenant entry doors and shall be classified into one of two groups:

###### a. Type 1: Parking Area Signs

These signs shall be located on building elevations which face parking areas.

Said signs shall be individual letters internally illuminated or non-illuminated. The material and finish shall be established for each building. The letter type for these signs shall be Helvetica Medium, upper and lower case. The size and location of each sign shall be designed to be pedestrian oriented and to be complimentary and proportional to each individual building and entry area, and in no case shall said sign exceed eight (8) inches in height nor eight (8) square feet in area.

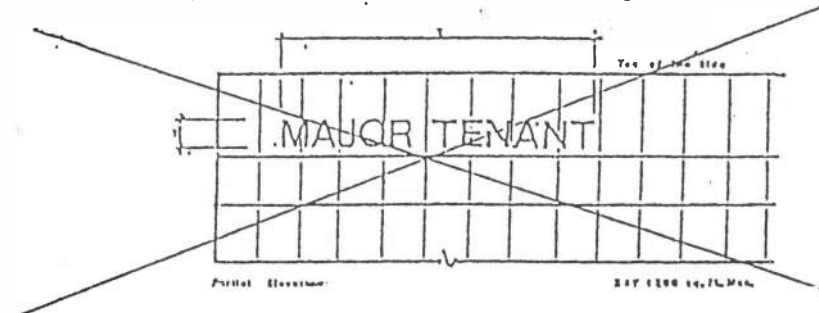
b. Type 2: Plaza Area Signs

These signs shall be located on building elevations which face landscaped plaza areas created by a cluster(s) of buildings.

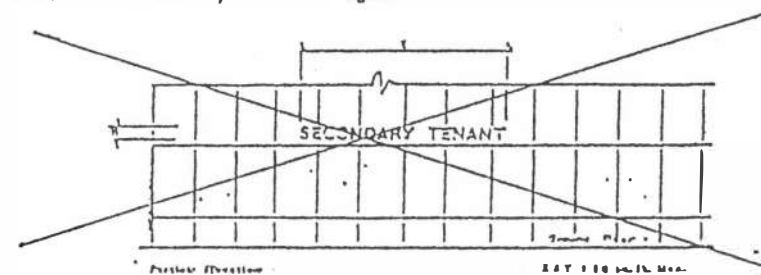
Said signs shall be individual three (3) dimensional cast metal letters affixed to the sidewalk. The letter type for these signs shall be Helvetica Medium, upper and lower case. The size and location of each sign shall be designed to be pedestrian oriented, and to be complimentary and proportional to each individual entrance. In no case shall the sign exceed two and one half (2 1/2) inches in height.

~~GROUP I~~  
~~BUILDING WALL SIGNS~~

~~1a - Top of the Building Identification Signs~~

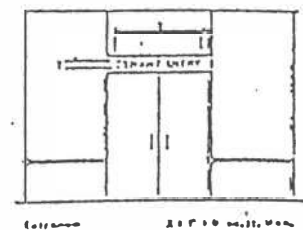


~~1b - Secondary Wall Signs~~

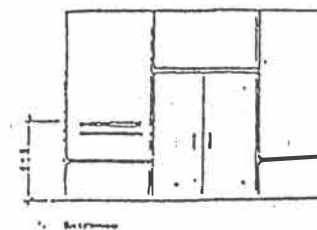


~~1c - Exterior Entry Door Signs~~

Type 1



Type 2



GROUP II - PERMANENT GROUND SIGNSGROUP II - SIGN STANDARDS

1. All anticipated permanent ground sign types have been addressed in this document.

No additional permanent ground signs shall be introduced without the approval of the Koll Center Sierra Point Design Review Committee and City of Brisbane Planning Commission.

2. All sign types, sizes, colors and materials shall conform as indicated herein except that the City of Brisbane shall have the right to select alternative designs for their Marina buildings. Tenant logos may be incorporated in sign type "D" with the approval of the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Director.
3. Palatino type face shall be used in bold and regular on all permanent ground signs as shown in Exhibit J, page 22. The bold type face is for project identity and on directional signs, sign type "E" through "I". Palatino regular type face is used on remaining messages. No type face deviation shall be allowed without the approval of the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Director.
4. All traffic signs shall conform to the State Design Manual and State Traffic Manual. The location and design of the traffic signs shall be reviewed and approved by the City of Brisbane Director of Public Works.
5. Parking Directional Signs (sign type "E") are to be reviewed and approved for number and location by the City of Brisbane Planning Director and Public Works Director.
6. Building Identification Signs (sign type "D") are to be limited to one per building *plus one for any secondary street frontage*, and location shall be approved by the City of Brisbane Planning Director prior to the issuance of a building permit.

GROUP II - SIGN DESCRIPTION

## 1. Sign Type A - Directory Kiosk

The Directory Kiosk shall be located at the entry to the park, parallel to Sierra Point Parkway and adjacent to the sidewalk.

Description: Addressee and buildings are identified by colored squares that refer to the site plan. Two GFRC panels with reveals are mounted to metal substructure which is supported by a concrete foundation. Top band to be polished copper. 1/4" pin mounted metal letters are mounted to the copper and GFRC. Metal sign face of sign plan to be porcelain enamel with silkscreened images in polyurethane paint. Site plan mounted flush into GFRC.

Three ground lights in sidewalk to provide surface illumination. See Exhibit A, page 14.

2. ~~Sign Type B - Entry Monument Sign~~

~~The entry monument signs shall provide project identification and shall be located opposite of each other on the NE and SE corners of the intersection of Sierra Point Parkway and Marina Boulevard.~~

~~Description: Foundation is landscaped according to Landscape Master Plan.~~

~~Identification of site "Koll Center Sierra Point". Seven radiused GFRC panels set on grass mounds. Central pedestal is 2 foot above sidewalk, 6 foot back. Remaining pedestal decreasing in height to be placed behind one another at intervals of 1 foot. Metal letters pin mounted to polished copper sign blade with cut-outs of each letter mounted in front of fluorescent tubes.~~

~~Ground lighting located in front of central pedestal for GFRC only and between each pedestal. See Exhibit B, page 15.~~

## 2. Sign Type B – Entry Monument Sign

**Purpose:** One entry monument sign is included within this Sign Program. The entry monument sign is to be located at the northeast corner of the Sierra Point Parkway and Marina Boulevard intersection. Exhibit L shows the location. The intent of the site entry monument is to create a formal entrance to the campus that includes the towers within the center of Sierra Point and compliments the site entry monument of the adjacent campus at The Shore.

**Description:** The entry monument will identify the campus as “The Towers at sierra point”, with a subline text that reads “Healthpeak Life Science Properties”. “The Towers” letterforms are to be white, 3 feet 4 inches in height, internally face-lit, and mounted onto a 2-foot, 10-inch aluminum base. The lower-case letters “at sierra point” are to be dark grey, dimensional letterforms, mounted to the base, and the “Healthpeak Life Science Properties” subtext will be black vinyl. The width of the base is to be 16 feet. See Exhibit L for further details and the graphic illustration.

**Landscaping:** Entry monument sign landscaping shall be subject to approval by the Community Development Director.

**Permit Requirements:** The entry monument sign shall comply with the California Building Code (CBC), including any applicable building permit requirements. Sign contractor or owner shall be responsible for verifying any building permit requirements with the City prior to installation. A separate form and fee shall apply to any building permit application.

Additionally, the entry monument sign shall also comply with Title 27 requirements, and is subject to San Mateo County Health Department review, as such work pertains to construction on a closed landfill site. This is to be verified through the building permit application process.

A separate sign review permit is not required, unless modifications to the graphic illustration are requested. Modifications to the graphic illustration shall be subject to Zoning Administrator review (see below).

**Performance Standards:** The following performance standards shall apply to the entry monument sign:

- a. The entry monument sign shall comply with the requirements for sign construction and maintenance per Brisbane Municipal Code (BMC) Section 17.36.030(F) so as to not cast glare onto surrounding streets or neighboring properties, to not cause a distraction to neighboring properties, or otherwise constitute a public nuisance.
- b. A dimmer switch shall be installed with the lighting controls of the sign.
- c. The sign lighting shall not flash.

**Entry Monument Sign Modifications:** Modifications to the entry monument sign are subject to Zoning Administrator approval via public hearing. Notice shall be provided in accordance with BMC Section 17.36.060.C and findings for approval are provided under BMC Section 17.36.060.D. The Zoning Administrator’s decision may be appealed to the Planning Commission by filing a written statement of the reasons for the appeal, along with the fee (see Line P46 in the current Master Fee Schedule), within 7 calendar days of the decision. A Planning Commission decision shall be subject to the provisions of BMC Section 17.36.070.C.

## 3. Sign Type C – Day Access Sign

These signs shall give direction to water access as required by the Day Conversation Development Commission.

**Description:** Sign face to be colored laminate with adhesive applied directional arrow and type. Laminate is mounted to wood core which is supported by wood tie bolts through center of tie. See Exhibit C, page 16.

## 4. Sign Type D-Building Identification Sign

These signs are designed in a monument format to provide building identity at all major office building entrances.

Description: Monument structure built of metal, stone and/or concrete on a concrete foundation; 68-72 inches tall (including exposed foundation), 75-85 inches wide, and 10-15 inches thick; identifying the location and the owner(s) and/or tenant(s) of the building. *The Planning Commission may approve monument signs exceeding the 72-inch height limit in cases where hotel and restaurant uses occupy sites with multiple street frontage in order to make clearer the primary entrance to the site.*

Illumination of the surface of the sign may be provided by lights located in the ground. Backlighting of any reveals may be provided by neon or fluorescent lighting inside the monument structure.

A building permit shall be obtained prior to installation of any sign 72 inches or greater in height above grade or for any illuminated sign per the Uniform Sign Code.

## 5. Sign Type E - Parking, directional loading/unloading signs

These signs shall provide identification of direction of parking; direction of hotels, harbor master and other amenities; and loading and unloading areas.

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel mounted with tamper proof bolts on all four corners. Dark grey characters are silk-screened in polyurethane paint on light grey field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit E, page 18.

## 6. Sign Type F - Stop Signs

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamperproof bolts on four corners. White characters are silk-screened in polyurethane paint on red field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit F, page 19.

## 7. Sign Type G - Directional Sign

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silk-screened in polyurethane paint on light grey field. One inch square metal tubing mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit G, page 20.

## 8. Sign Type H - Exit Sign

This sign shall identify exits from parking areas.

Description: Foundation is landscaped according to location and Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silk-screened in polyurethane paint on light grey field. One inch square metal tubing forms sign structure, mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit H, page 21.

## 9. Sign Type I - Street Identification Signs

Street identification signs shall be located at all major intersections.

Description: Foundation is landscaped according to Landscape Master Plan.

Metal sign face to be porcelain enamel, mounted with tamper proof bolts on all four corners. Dark grey characters are silk-screened in polyurethane paint on light grey field. One inch square metal tubing around the sign blade is attached to four one inch tubes to form the sign post. Post is mounted in metal sleeve which is then bolted. Sleeve is set in a concrete foundation. Metal tubing to be painted (polyurethane). See Exhibit I, page 22.

REVISED  
GENERAL SIGN STANDARDS  
KOLL CENTER SIERRA POINT

(page 13)

Amended 1/9/03 per SR-9-02 &  
1/28/10 per SR-1-10

GROUP III – TEMPORARY GROUND SIGNS

See attached Exhibit K.

Note that temporary ground signs advertising the lease of all or a portion of a building shall be subject to the same provisions as “For Sale” signs.

GROUP IV – COMMERCIAL SIGNS

These signs will be considered separately at the time these uses are submitted to the City for review. These signs must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.

GROUP V – TEMPORARY BANNERS

The Planning Director may grant Sign Review approval for temporary banners of up to 200 sq. ft. total for new hotel operators. Such banners shall be displayed for no more than 90 days.

Temporary banners advertising all or a portion of an office building for lease shall be subject to Sign Review approval by the Planning Director. The number, size, dimensions and location of the banners shall comply with the Building-Mounted Signage Standards, treating them as temporary replacements for permanent signs. The banner colors and design shall be subject to the approval of the Planning Director. The banners shall be removed within 10 days after finalization of the lease. No building shall display such banners for more than 9 months within any calendar year.

Temporary banners for all other uses shall be subject to the provisions of Brisbane Municipal Code Table 17.34.020.

BUILDING-MOUNTED SIGNAGE ON OFFICE BUILDINGS AND HOTELS

These signs are subject to the Koll Center Sierra Point Building-Mounted Signage Standards.

## GROUP VI – FLAGS

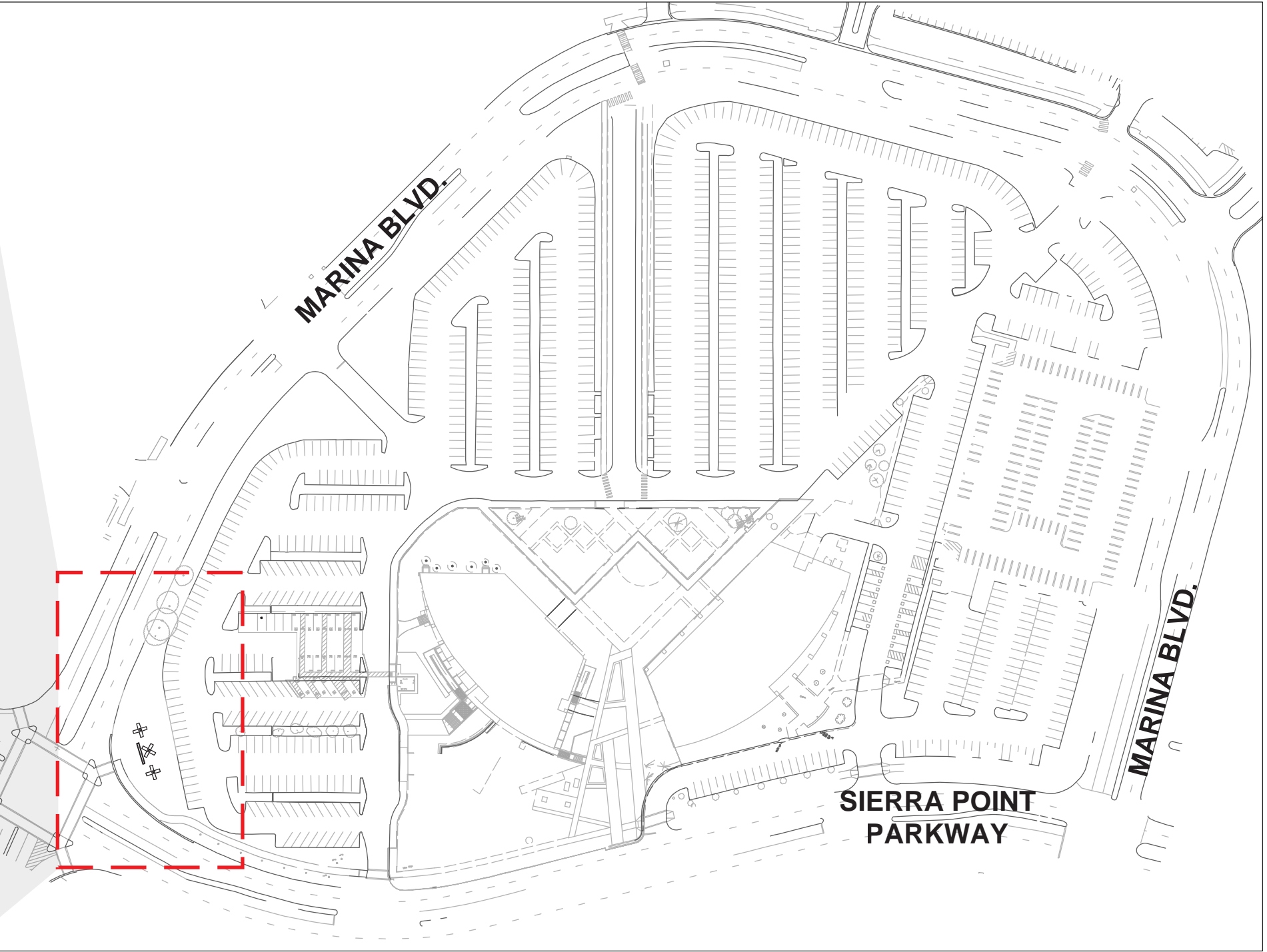
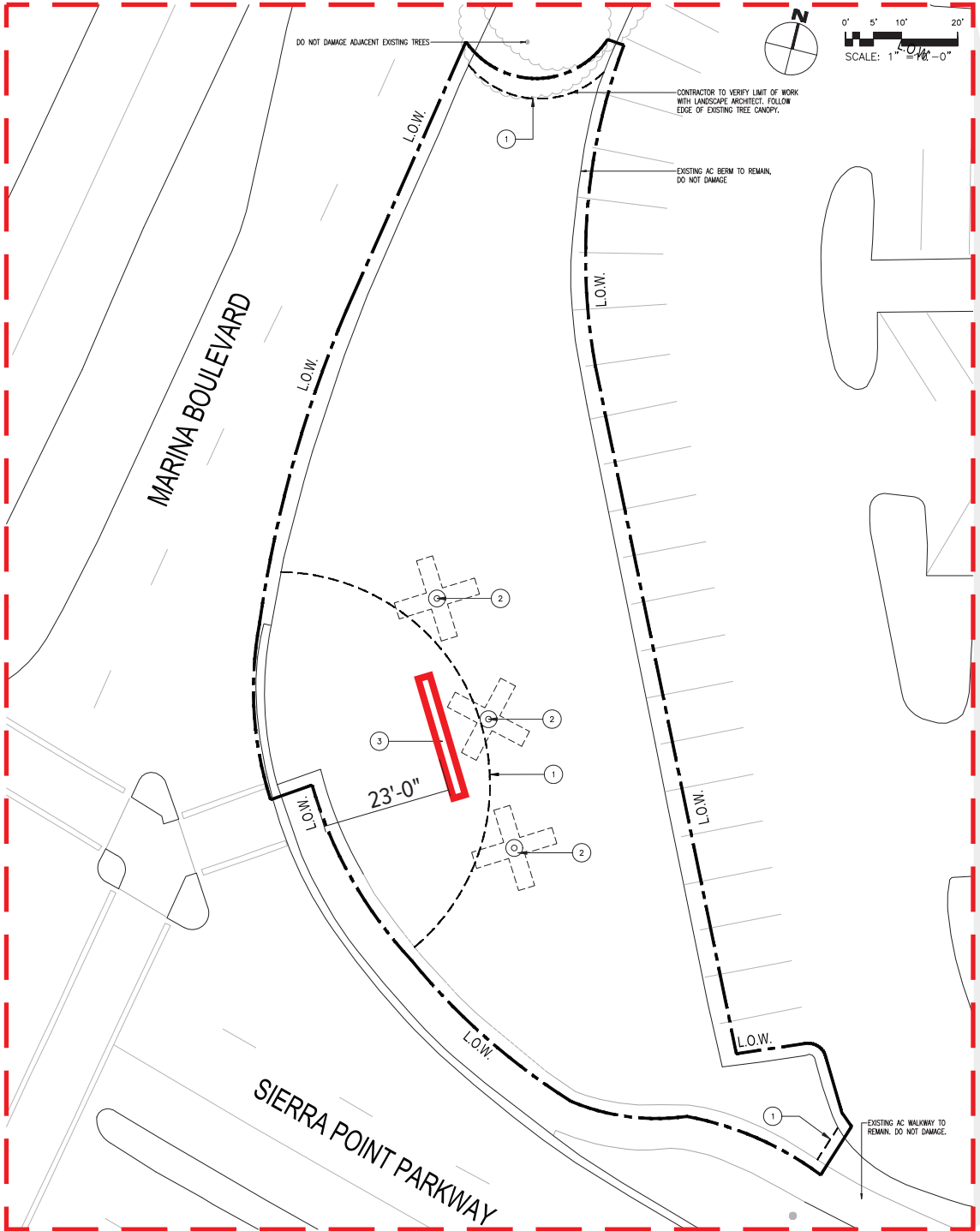
Three flagpoles will be located approximately 7 feet behind the entry monument sign at the northeast corner of Sierra Point Parkway and Marina Boulevard, as shown in the graphics package of Exhibit L. The center flagpole shall not exceed 60 feet in height, with a California flag measuring 10 feet by 15 feet. Two 50-foot flagpoles shall flank the center flagpole flying a City of Brisbane flag and “The Towers” flag, each measuring 8 feet by 12 feet. The flagpoles shall be brushed stainless steel or aluminum.

The City of Brisbane and California flags are not considered advertising. Display of those flags should follow standard protocols.

Any modifications to the “The Towers” flag, or design of any of the flagpoles, shall be subject to Community Development Director review and may be granted upon submittal, without prior notice to any other parties or the conduct of a meeting or other form of public hearing by the Community Development Director, in the same manner as an application for a building permit.

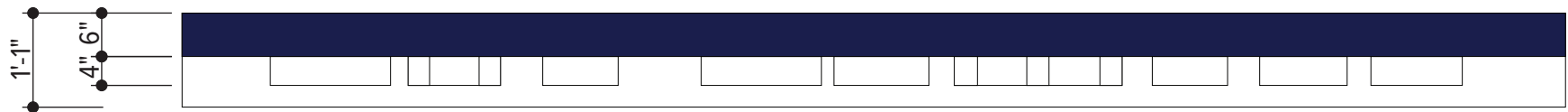
A building permit is required prior to flagpole installation or for any modifications impacting the structural condition of the flagpoles.





- LEGEND:**
- 1 – New Redwood header
  - 2 – New flagpole and footing
  - 3 – New signage (this proposal)

Site Overview – Sign Location Plan



Plan View

Site Monument

The Towers site entry monument creates a formal entrance into the Campus, and is designed to work in unison with the monument at The Shore across the street, without being identical to that monument. Sculptural fabricated letterforms are mounted on an aluminum base, with a dark blue background.

The color palette of the monument will match the monument at The Shore. The sign base matches the base at The Shore, and the letterforms that are mounted to it will be painted white, with frosted white lexan faces which are internally face-lit with LED components, just as the sign at The Shore is. The dark blue background will match the returns of the letters on The Shore monument.

The typeface is Acumin, which also matches the Shore letters. The dimensional letters attached to the face of the base will be painted a dark gray, and are not illuminated, and the Healthpeak logo next to these letters will be applied black vinyl.

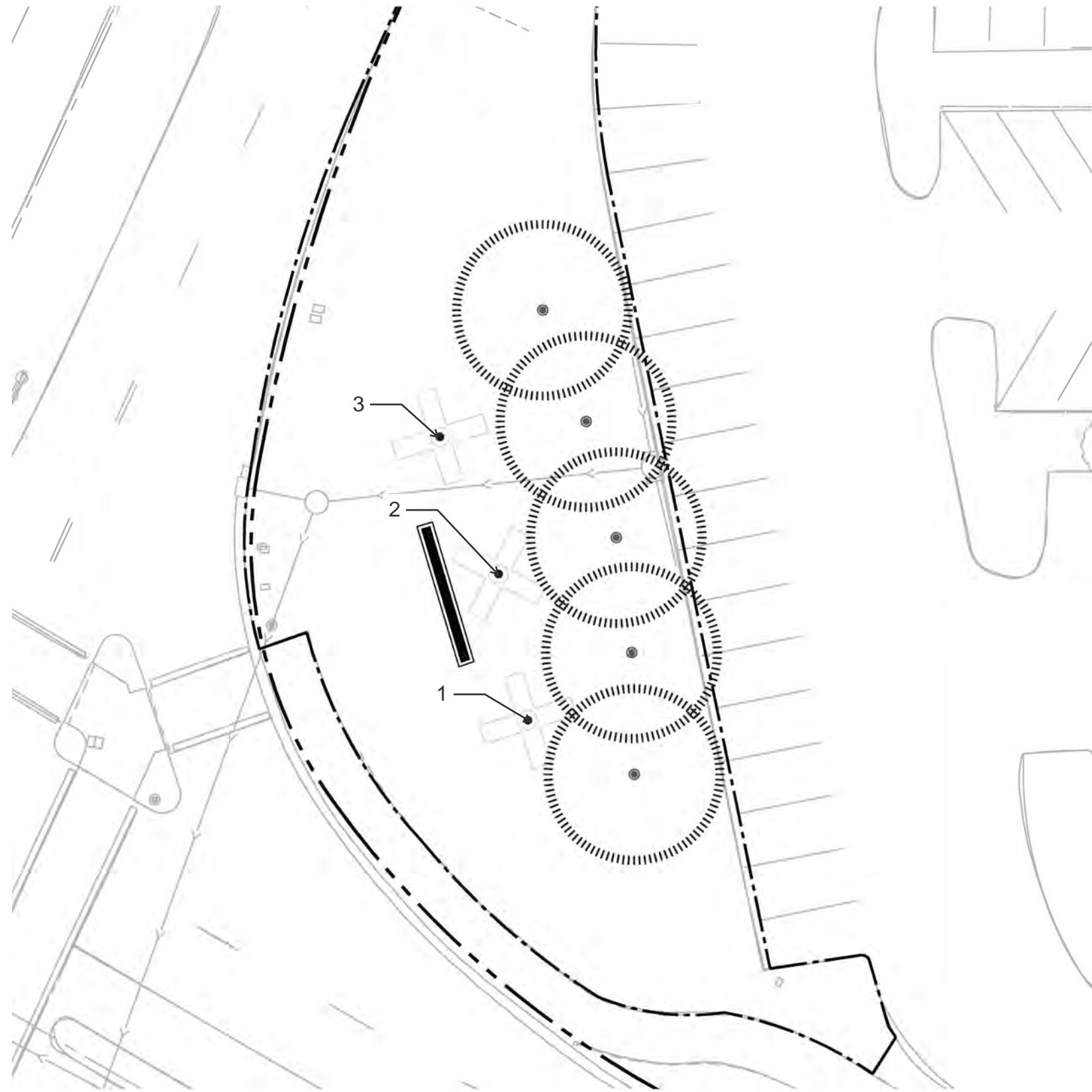


Side View

Elevation  
100 sq.ft.

Scale: 1/2" = 1'-0"

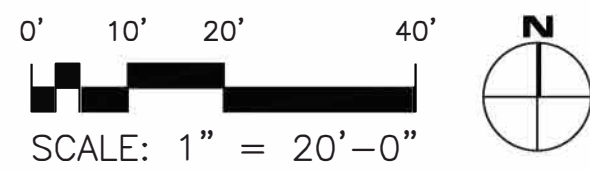
Monument Design – Elevation



1. FLAGPOLE HEIGHT: 50'  
FLAG SIZE: 8'X12'  
FLAG: CITY OF BRISBANE

2. FLAGPOLE HEIGHT: 60'  
FLAG SIZE: 10'X15'  
FLAG: CA

3. FLAGPOLE HEIGHT: 50'  
FLAG SIZE: 8'X12'  
FLAG: THE TOWERS  
LOGO UNDER DEVELOPMENT,  
CONCEPT SHOWN



May 12, 2021 10:02pm P:\HQP\SierraPoint\Site\10194051\Draw\Common\Light-Corner.dwg





## Monument Design – Rendering

The Towers at Sierra Point  
14 April 2021 Site Monument For Permit



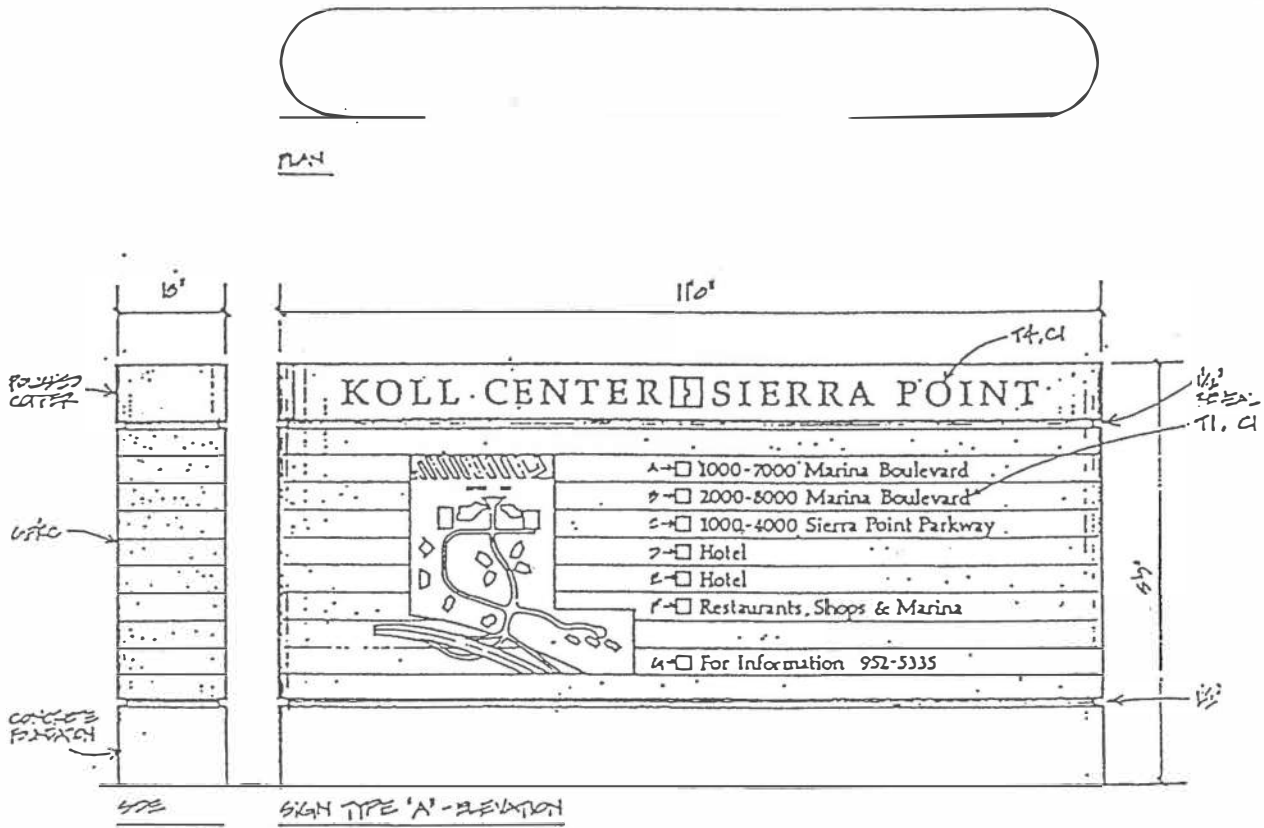
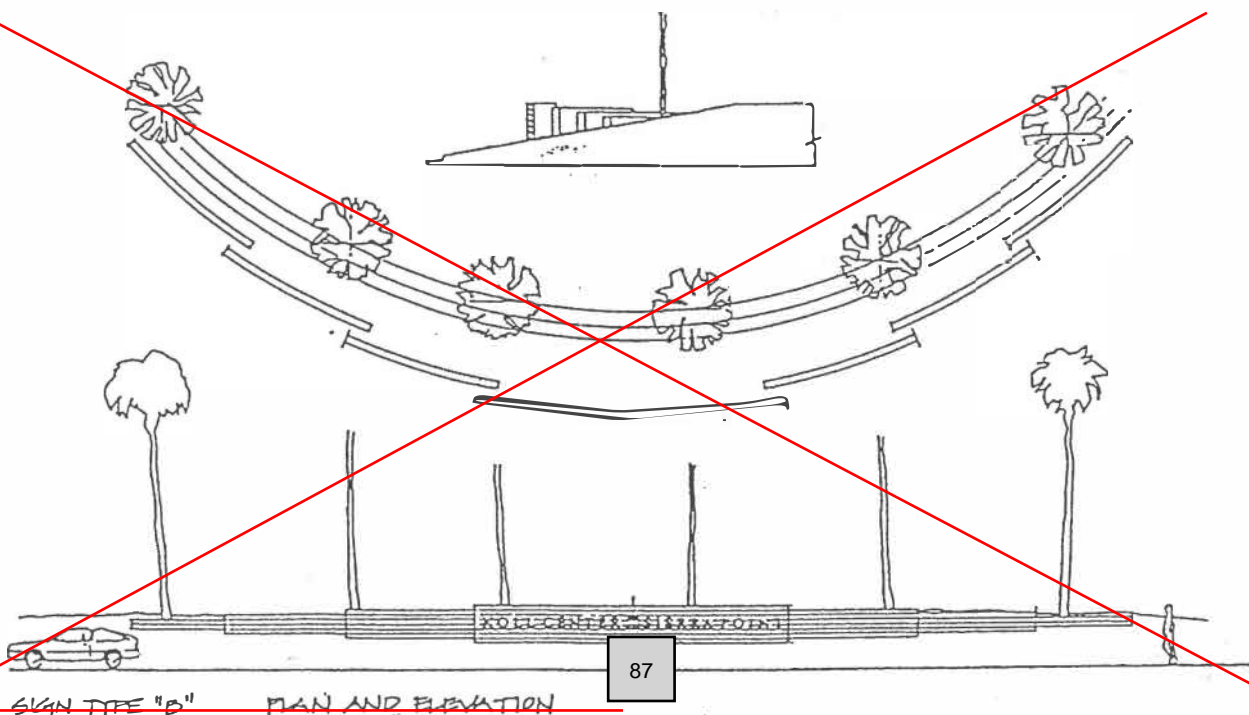
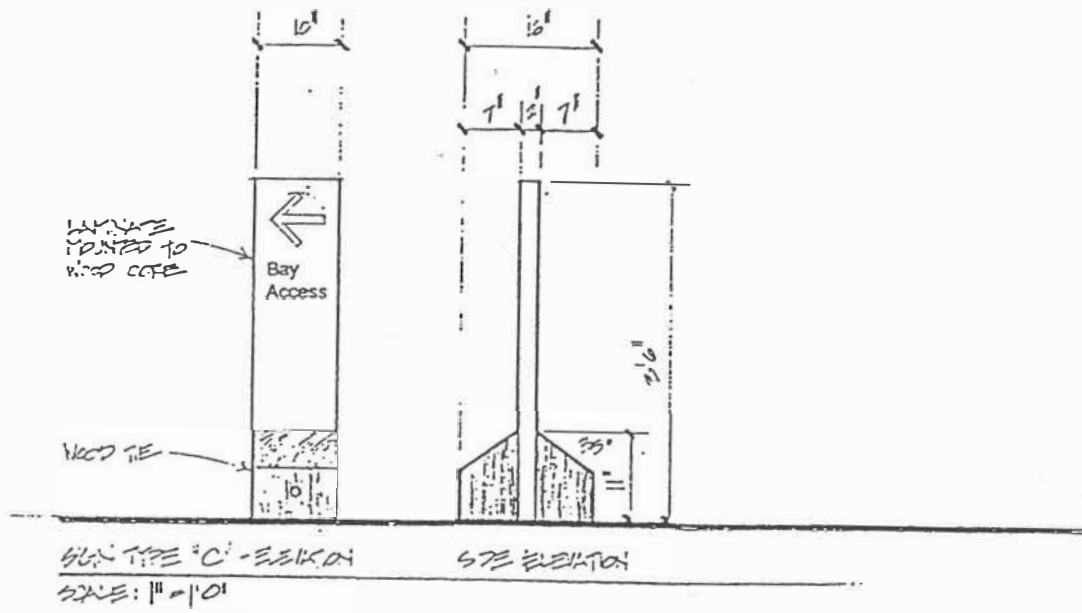
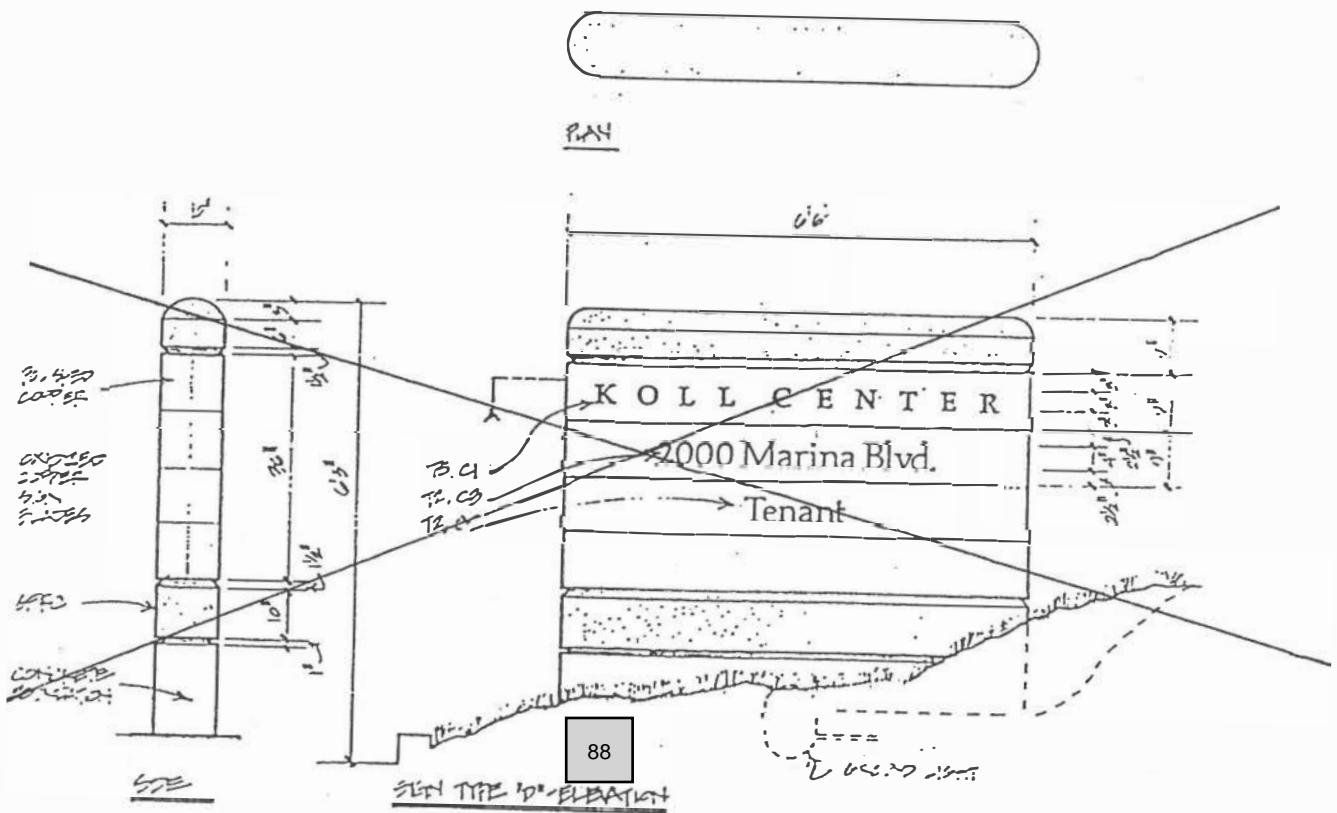
EXHIBIT A  
Page 14EXHIBIT B  
Page 15

EXHIBIT C  
Page 16EXHIBIT D  
Page 17

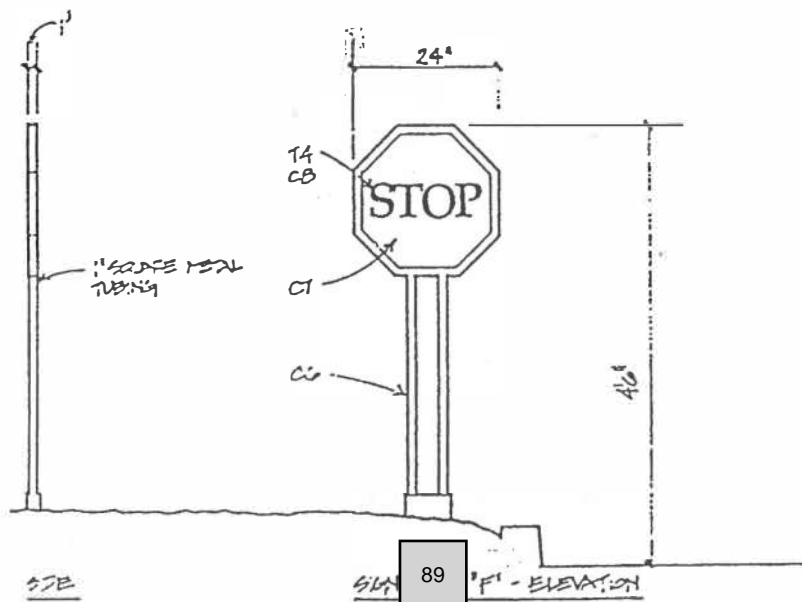
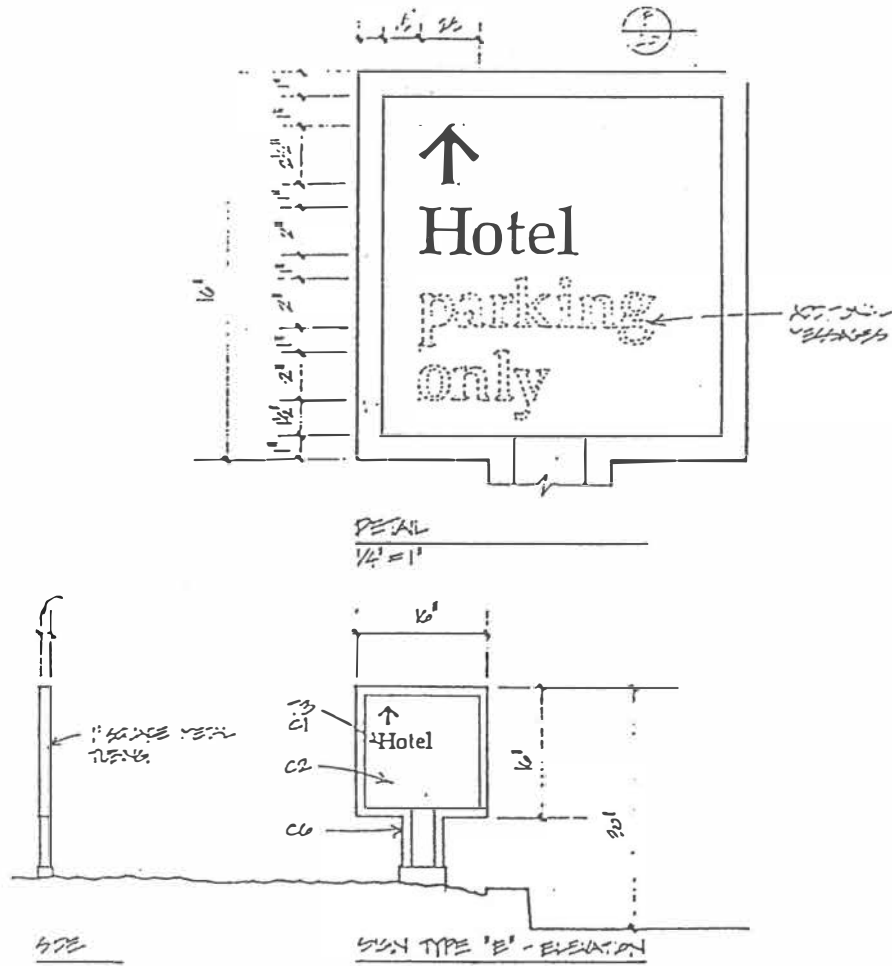


Exhibit C  
Page 20

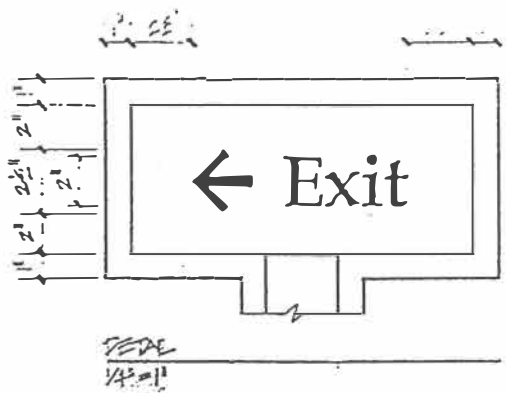
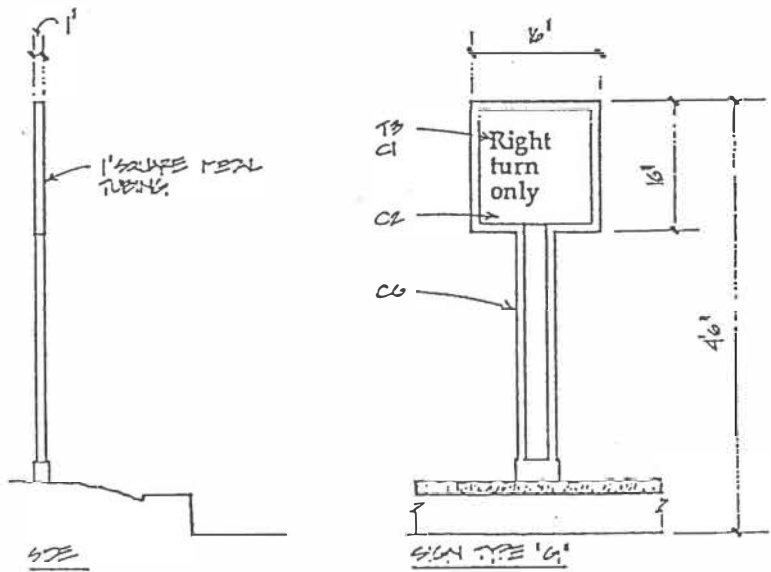
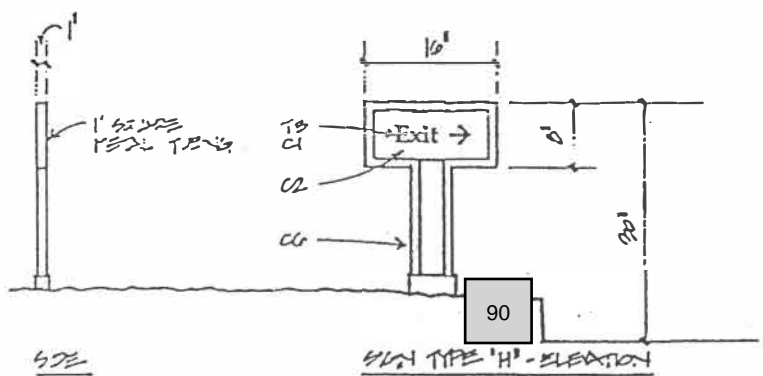


EXHIBIT H  
Page 21





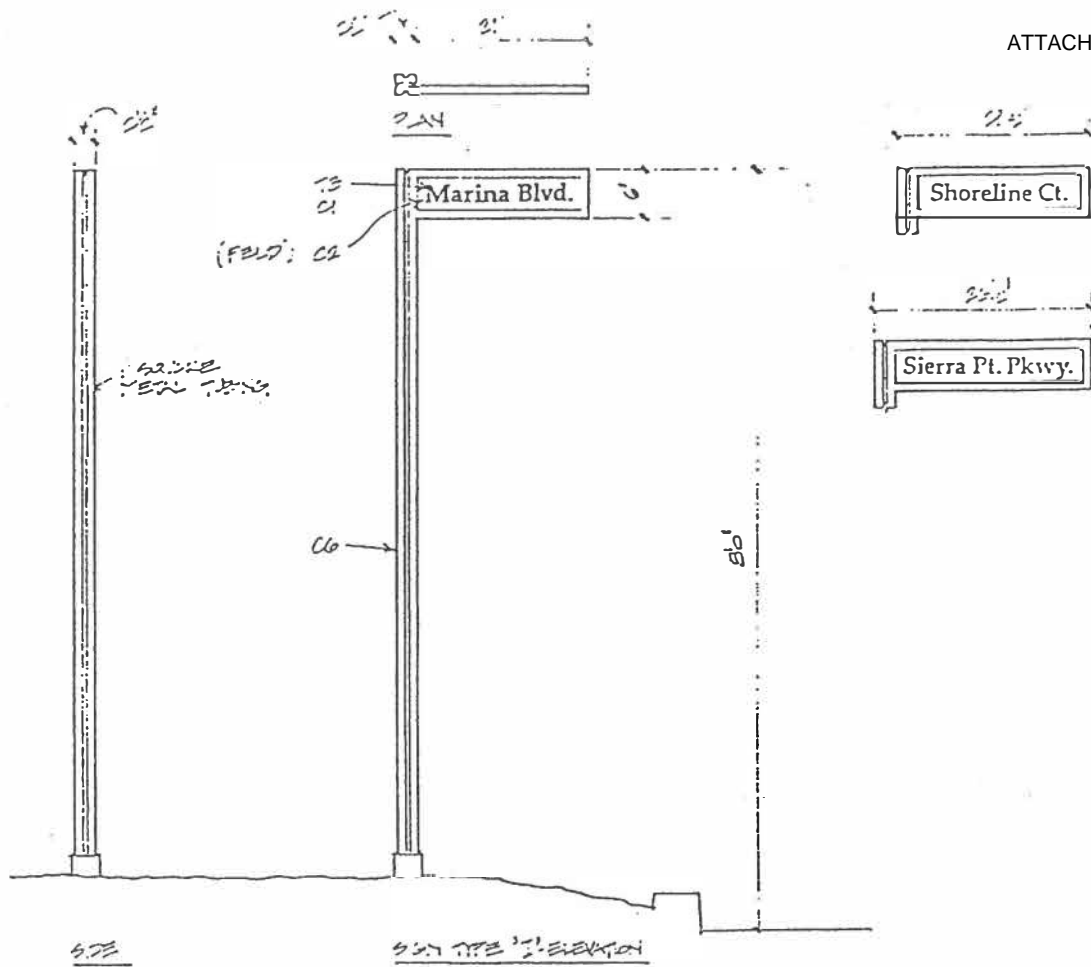


EXHIBIT I  
Page 22

abcdefghijklmnopqrstuvwxyz 1234567890  
ABCDEFGHIJKLMNOPQRSTUVWXYZ

PLAN TYPE FACE

HEIGHT	DEPTH	COLOR
T1	24"	C1
T2	4"	C2
T3	4"	C3 (SILVER)

abcdefghijklmnopqrstuvwxyz 1234567890  
ABCDEFGHIJKLMNOPQRSTUVWXYZ

PLAN FOR TYPE FACE

HEIGHT	DEPTH	COLOR
T1	24"	C1
T2	4"	C2
T3	4"	C3

EXHIBIT J  
Page 23

## EXHIBIT B

## GROUP III - TEMPORARY GROUND SIGNS

Temporary ground signs advertising the sale of the premises upon which the sign is located shall be allowed without review, subject to compliance with the following:

- No more than one "For Sale" sign shall be permitted per parcel.
- "For Sale" signs may be located on either street or freeway frontage, but shall not be located within the public right-of-way or any other location off-site, and in no event shall be less than 10 ft. from the back of the street curb or sidewalk (when present).
- "For Sale" signs shall be located at least 20 ft. from any driveway.
- Each sign face shall not exceed 4 ft. by 6 ft., and the total combined sign area shall not exceed 48 sq. ft.
- Signs may have two faces, if the angle between the two faces is no greater than 90 degrees.
- "For Sale" signs shall not be illuminated, reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of any sign 6 ft. or greater in height above grade per the Uniform Sign Code. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- "For Sale" signs shall be removed not later than 10 days after finalization of the sale of the property.
- All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

Temporary ground signs for any other purpose shall be considered separately as needed. They must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.

## EXHIBIT K

## GROUP III - TEMPORARY GROUND SIGNS

Temporary ground signs advertising the sale of the premises upon which the sign is located shall be allowed without review, subject to compliance with the following:

- No more than one "For Sale" sign shall be permitted per parcel.
- "For Sale" signs may be located on either street or freeway frontage, but shall not be located within the public right-of-way or any other location off-site, and in no event shall be less than 10 ft. from the back of the street curb or sidewalk (when present).
- "For Sale" signs shall be located at least 20 ft. from any driveway.
- Each sign face shall not exceed 4 ft. by 6 ft., and the total combined sign area shall not exceed 48 sq. ft.
- Signs may have two faces, if the angle between the two faces is no greater than 90 degrees.
- "For Sale" signs shall not be illuminated, reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of any sign 6 ft. or greater in height above grade per the Uniform Sign Code. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- "For Sale" signs shall be removed not later than 10 days after finalization of the sale of the property.
- All signs shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).

One "Subdivision For Sale or Lease" temporary ground sign, advertising the sale of vacant parcels and/or future leasable office space on such parcels within the Sierra Point subdivision, shall be allowed, subject to compliance with the following:

- The "Subdivision For Sale or Lease" sign shall be located within the boundaries of the subdivision and shall not be located within the public right-of-way.

Page 2

- The "Subdivision For Sale or Lease" sign may have two faces in a "V"-shaped arrangement with a 65-85 degree angle between them, each sign face shall not exceed 40 ft. by 18 ft., and the sign's supports shall not exceed 7 ft. in height.
- The "Subdivision For Sale or Lease" sign may be illuminated as approved by the Zoning Administrator per Brisbane Municipal Code Section 17.36.060.D.5 and Table 17.36.020. The "Subdivision For Sale or Lease" sign shall not be reflective, rotating, wind-driven, flashing, animated or revolving.
- A building permit shall be obtained prior to installation of the sign. Three sets of construction plans consistent with the sign program, required fees, and additional information as necessary shall be submitted to the City of Brisbane Building Department.
- The "Subdivision For Sale or Lease" sign shall be maintained in a neat and orderly fashion. Periodic inspections shall be made by Koll Center Sierra Point. Prompt correction of any deficiencies shall be made by the entity responsible for the maintenance of said sign(s).
- The "Subdivision For Sale or Lease" sign shall only be located on a vacant parcel with freeway frontage. It shall be removed prior to occupancy of any building developed on the same parcel. Relocation of the "Subdivision For Sale or Lease" sign to another site with freeway frontage within the subdivision shall be subject to Sign Review by the Zoning Administrator. The "Subdivision For Sale or Lease" sign shall no longer be allowed once all of the parcels with freeway frontage within the subdivision have been developed.

Temporary ground signs for any other purpose shall be considered separately as needed. They must be approved by the Koll Center Sierra Point Design Review Committee and the City of Brisbane Planning Commission.



THE OPUS GROUP  
ARCHITECTS  
CONTRACTORS  
DEVELOPERS

ATTACHMENT B  
OPUS WEST CORPORATION  
A member of The Opus Group

6160 Stoneridge Mall Road, Suite 360  
Pleasanton, CA 94588  
Phone 925-463-9254  
Fax 925-463-9368  
www.opuscorp.com

June 25, 2003

Mr. Tim Tune  
Senior Planner  
City of Brisbane  
50 Park Place  
Brisbane, CA 94005



Dear Tim:

I have attached a copy of the pertinent sections of the CC&Rs recorded October 28, 1998. The CC&Rs require the applicant to receive written approval by Declarant for this type of improvement. Please see Sections: 1.40, 1.68, 4.1 and 5.6.

Sincerely,  
Opus West Corporation  
for Sierra Point, LLC

Randall R. Ackerman  
Vice President  
Real Estate Development

cc: Matteson Realty Services,  
Mr. Russell Kessler

**Exhibit "A-2"** as the Ground Lease Parcel and attached hereto and incorporated herein. The Land Area of the Ground Lease Parcel is shown on **Exhibit "A-2"** attached hereto.

1.38 Ground Lessee. The term "Ground Lessee" shall refer to the lessee of the Ground Lease Parcel under the Ground Lease and its successors in interest as lessee under the Ground Lease.

1.39 Hazardous Materials. The term "Hazardous Materials" means and refers to any toxic substance, material or waste which is or becomes (i) regulated by any local governmental authority, the State of California or the United States Government; (ii) defined as a "solid waste", "sludge", "hazardous waste," "extremely hazardous waste," "restricted hazardous waste," "Non-RCRA hazardous waste," "RCRA hazardous waste," or "recyclable material," under any federal, state or local statute or regulation promulgated thereunder, including, without limitation, Sections 25115, 25117, 25117.9, 25120.2, 25120.5, 25122.7, or listed pursuant to Sections 25140 and 25141, of the California Health and Safety Code, Division 20, Chapter 6.5 (Hazardous Waste Control Law), (iii) defined as a "Hazardous Substance" under Section 25316 of the California Health and Safety Code, Division 20, Chapter 6.8 (Carpenter-Presley-Tanner Hazardous Substance Account Act), (iv) defined as a "Hazardous Material," "Hazardous Substance" or "Hazardous Waste" under Section 25501 of the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Materials Release Response Plans and Inventory); (v) defined as a "Hazardous Substance" under Section 25281 of the California Health and Safety Code, Division 20, Chapter 6.7 (Underground Storage of Hazardous Substances), (vi) petroleum products, (vii) asbestos, as defined in Section 25918 of the California Health and Safety Code, Chapter 10.35 (Asbestos Note Function) petroleum waste products, petroleum contaminants, including, without limitation, petroleum, gasoline, used oil, crude oil, waste oil and any fraction thereof, natural gas, methane gas, natural gas liquefied, natural gas, or synthetic fuels, (viii) materials defined as hazardous or extremely hazardous pursuant to Article 2 of Title 22 of the California Administrative Code, Division 4.5, Chapter 10, (ix) pesticides, (x) polychlorinated biphenyls, (xi) defined as a "Hazardous Substance" pursuant to Section 311 of the Federal Water Pollution Control Act (33 U.S.C. Section 1251 et seq.), (xii) defined as a "Hazardous Waste" pursuant to Section 1004 of the Federal Resource Conservation and Recovery Act, 42 U.S.C. Section 6901 et seq., (xiii) defined as a "Hazardous Substance" or "Mixed Waste" pursuant to Section 101 of the Comprehensive Environmental Response Compensation and Liability Act, 42 U.S.C. Section 9601 et seq., and regulations promulgated thereunder, (xiv) defined as a "Hazardous Substance" pursuant to Section 401.15 of the Clean Water Act, 40 C.F.R. 116, (xv) defined as an "Extremely Hazardous Substance" pursuant to Section 302 of the Superfund Amendments and Reauthorizations Act of 1986, 42 U.S.C. Section 11002 et seq., or (xvi) defined as "medical waste" pursuant to Section 25023.2 of the California Health and Safety Code, Chapter 6.1 (Medical Waste Management Act).



1.40 Improvement: Improvements. The term "Improvement" or "Improvements" means buildings, outbuildings, roads, driveways, driveway cuts, parking areas, Berms, fences, screening walls and barriers, retaining walls, stairs, decks, water lines, sewers, electrical and gas distribution

facilities, hedges, windbreaks, plantings, planted trees and shrubs, poles, antennae, microwave dishes, solar panels, Signs (as defined below), loading areas and all other structures, installations and landscaping of every type and kind, whether above or below the land surface.

1.41 Invitee. The term "Invitee" means any person whose presence within the Project is approved by or is at the request of a particular Owner, including, but not limited to, lessees, tenants, employees, licensees or invitees of Owners, tenants or lessees.

1.42 Land Area. The term "Land Area" means the gross acreage of the real property situated within a Parcel, with fractional portions of an acre being rounded to the nearest hundredth of an acre. The Land Area for the Parcels initially subject to this Declaration is set forth on Exhibit "A-1" attached hereto and incorporated herein and the Land Area for any Parcels which may be annexed to this Declaration is set forth on Exhibit "B-1" attached hereto and incorporated herein. Upon any subdivision of the Parcels, the Land Area for such subdivided Parcels shall be the area of the Parcel designated on the final subdivision or parcel map, rounded to the nearest hundredth of an acre and in such case, the Association may, but shall not be required to, record a Supplemental Declaration specifying the Land Area of the newly subdivided Parcel. If no designation is included on the parcel or subdivision map, the Land Area shall be the area designated by Declarant's engineer, or, if the Declarant's Rights have expired, the Association's engineer and in such case, the Association shall be required to, record a Supplemental Declaration specifying the Land Area of the newly subdivided parcel.

1.43 Landscaping and Lighting District. The term "Landscaping and Lighting District" means the Sierra Point Landscaping and Lighting District formed pursuant to City of Brisbane City Council Resolution No. 92-44.

1.44 Landscaping and Lighting District Properties. The term "Landscaping and Lighting District Properties" means those portions of the Project which are currently being maintained by the Landscaping and Lighting District. Upon any dissolution of such district or relinquishment of the right to maintain such properties pursuant to Section 8.2 of this Amended Declaration, the Landscaping and Lighting District Properties shall, if the Association assumes such maintenance obligations pursuant to Section 3.1.16 of this Declaration, be included within the definition of the Common Facilities.

1.45 Lessee. The term "Lessee" means each Person who, at any given time, is leasing a Parcel or a building or a portion of a Parcel or a building on a Parcel from an Owner under a written lease agreement. An Owner may designate, by a written instrument delivered to the Association, a Lessee as primarily responsible for the burdens and obligations imposed herein during the term of the lease, and may further designate to such Lessee the right to exercise the powers granted to such Owner under this Declaration. Such designation, however, shall not result in a release of such Owner from any responsibility and liability hereunder. Such assignment shall become effective upon delivery of the written assignment to the Association.

1.63 RWQCB Order. The term "RWQCB Order" refers to Order No. 96-058 issued by the RWQCB, as it may be amended, supplemented or replaced from time to time and any additional orders, decrees, directives or requirements which may be imposed upon the Property by the RWQCB with respect to the condition of Sierra Point as a former landfill.

1.64 Shuttle Bus Expenses. The term "Shuttle Bus Expenses" refers to the expenses incurred for the operation of any shuttle bus adopted under any TSM Program (as defined below) or as otherwise implemented for the benefit of the Project by the Association.

1.65 Sierra Point. The term "Sierra Point" refers to the area situated within the City of Brisbane and City of South San Francisco within which the Property is situated and known as "Sierra Point" and described on the Site Plan (as defined below).

1.66 Signage Easements. The term "Signage Easements" shall refer to the areas shown on the Site Plan over which the Association shall have an easement for installation, maintenance and repair of signage for the benefit of the Project.

1.67 Site Plan. The term "Site Plan" refers to the site plan of Sierra Point attached hereto as **Exhibit "E"** and incorporated herein.



1.68 Sign. The term "Sign" means any structure, device or contrivance, permanent or temporary, electric or nonelectric, visible from adjacent property, upon or within which any poster, bill, bulletin, printing, lettering, painting, device or other display or advertising of any kind whatsoever is used, placed, posted, mounted, or otherwise fastened or affixed.

1.69 Street or Streets. The term "Street" or "Streets" means any public street, highway, road, or thoroughfare within or adjacent to the Property and any private street, road, or thoroughfare shown on any recorded subdivision or parcel map or record of survey, whether designated thereon as street, boulevard, place, drive, road, court, terrace, way, lane, circle or otherwise.

1.70 Super Majority of the Voting Power. The term "Super Majority of the Voting Power" means the affirmative vote or consent of seventy-five percent (75%) of the Voting Power.

1.71 Supplemental Declaration. The term "Supplemental Declaration" means that document which may be executed and recorded by Declarant prior to or contemporaneous with the conveyance of a Parcel to a third party by Declarant or by the Association upon consent by the Owner of the Parcel as to which the restriction is being imposed, which document may impose: (i) additional restrictions for the Parcel in question; (ii) additional easements benefitting or burdening said Parcel; (iii) additional maintenance obligations of the Association or the Owner of the Parcel in question; and/or (iv) such other items as Declarant may determine. After recordation, if a Supplemental Declaration only imposes obligations on some but not all of the Property, a



3.1.15 Association Property. The Association shall have the obligation to accept fee title to any real property included within the Annexable Property which is conveyed to the Association by the Declarant and to maintain such Property in accordance with the requirements of this Amended Declaration.

3.1.16 Landscaping and Lighting District Properties and Contracts with the City. The Association shall have the power to enter into contracts or agreements with the City wherein the Association agrees to perform obligations which are otherwise being performed by the City and the cost thereof shall be included as a Common Expense. The Association shall have the right to assume the responsibility for maintenance of the Landscaping and Lighting District Properties and to cooperate with the City of Brisbane in any actions to dissolve the Landscaping and Lighting District.

3.2 Personal Liability. No member of the Board, or any committee of the Association, or any officer, agent, employee or attorney of the Association, or any manager or Declarant, or any officer, agent, member, shareholder, director or employee of Declarant, shall be personally liable to any Owner, or any other party, including the Association, for any actions, damages, liabilities, losses, fines or penalties, including, without limitation, attorneys' fees and costs suffered or claimed on account of any act, omission, error, or negligence of any such individual if such individual has, on the basis of such information as may be possessed by such individual or it, acted in good faith without willful or intentional misconduct. Each person serving on the Board does so as a representative of the Owner and not in his or her personal capacity and, in no event shall such Person have any personal liability as a result of its serving on the Board.

## ARTICLE 4

### CONSTRUCTION OF IMPROVEMENTS

\* 4.1 Approval by Declarant for all Improvements. No Improvements shall be erected, placed, constructed, replaced, substantially remodeled, rebuilt or reconstructed, maintained or permitted to remain on any Parcel until Plans and Specifications have been submitted to and approved in writing by Declarant; provided, however, that plans for tenant improvements in buildings for which Declarant has approved the Plans and Specifications need not be submitted for approval unless such tenant improvements include facilities for processing or handling of Hazardous Materials. Such Plans and Specifications shall be submitted in duplicate over the authorized signature of the applicant ("Applicant") and the Owner of the Parcel. Such plans and specifications shall be in such form and shall contain such information as may be required by the Declarant, but shall in any event include the following:

4.1.1 Site Development Plan. A site development plan of the Parcel showing the grading and drainage scheme, location and dimensions of all proposed buildings, driveways, parking areas, walkways, landscape areas, loading areas, storage and refuse areas, and walls with respect to the particular Parcel and with respect to structures on adjoining Parcels;

5.5.3 Refuse Collection. All outdoor refuse collection areas shall be screened so that such areas are not visible from adjacent Property or Streets. Said screening shall consist of fencing approved by Declarant.

\* 5.6 Signs. Every exterior Sign, temporary or permanent, and all parts thereof shall conform to the signage plan approved by Declarant pursuant to **Article 4**.

5.7 Utilities. All electrical, telephone, gas, water, storm drain, sewer and other utility lines on each Parcel shall be installed underground.

5.8 Construction of Clay Cap. Each Owner shall construct upon such Owner's Parcel a clay cap of at least the thickness and constructed of materials meeting specifications set forth in the RWQCB Order in conjunction with the construction of any structures thereon, or at any earlier time if required by any Governmental Requirements, unless Declarant has previously constructed such clay cap on that Parcel. The clay cap shall be constructed in accordance with the Plans and Specifications approved by Declarant pursuant to **Article 4**. The clay cap shall be constructed and compacted to form a junction with the clay cap on any adjacent Parcel so that the clay caps and their junction form a substantially unbroken clay cap across the Parcels. If any existing clay cap is excavated or cut into, the portions removed shall be replaced to the same thickness and with materials meeting the same specifications as originally constructed. The replacement portion of the clay cap shall be constructed to form a junction with the remainder of the existing clay cap on adjacent parcels.

5.9 Variances. Except for the requirements set forth in **Section 5.8** of this Declaration, Declarant shall have the exclusive right to grant to any Parcel or Owner thereof such variances from the provisions of this Article as it, in its sole discretion, determines is in the best interests of the Property. Any variance granted hereunder shall be effective only if made in writing.

5.10 Determination Of Violation. Declarant shall have the power to determine, in its sole judgment, upon its own initiative or upon complaint by any Owner, whether a violation of any provision of this Article is occurring upon any Parcel, and any such determination by Declarant shall be conclusive.

## ARTICLE 6

### REGULATION OF OPERATIONS AND USES

6.1 Permitted Uses. Except as otherwise specifically prohibited herein, any use which is (a) permitted by the general plan designation and zoning of a Parcel and (b) complementary with the Design Guidelines and the general plan for development of the Property may be conducted upon a Parcel with the prior written approval of Declarant. Declarant in its discretion shall determine whether a use is complementary and no use shall be deemed complementary unless approved by



WAYFINDING +  
PLACEMAKING

The Towers at Sierra Point

Site Monument  
For Permit

14 April 2021



TABLE OF CONTENTS

3	Site Overview
4	Vicinity Map
5	Sign Location Plan
6	Vision Triangle Study
8	Monument Design
9	Elevation
10	Rendering





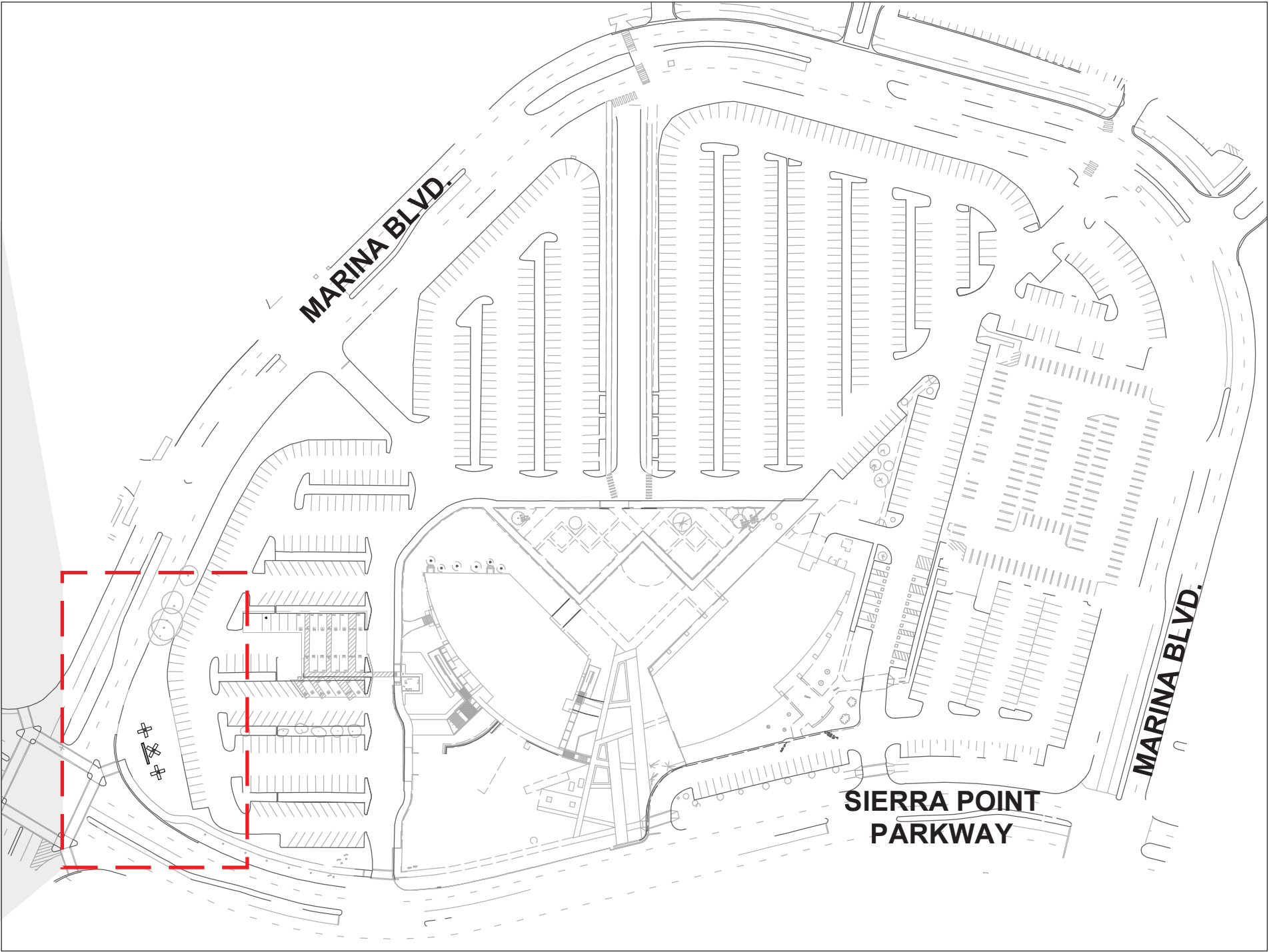
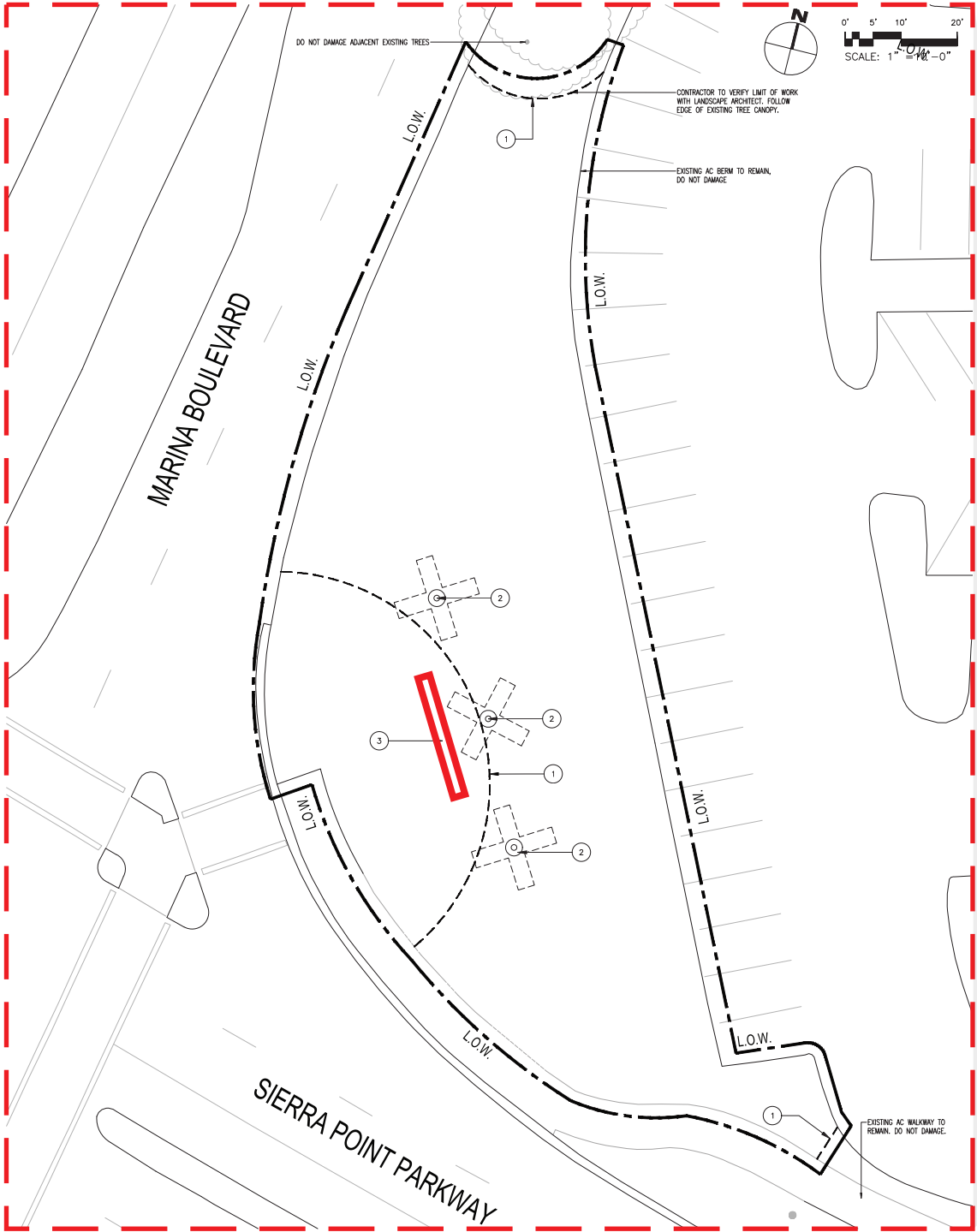
# SITE OVERVIEW





Site Overview – Vicinity Map





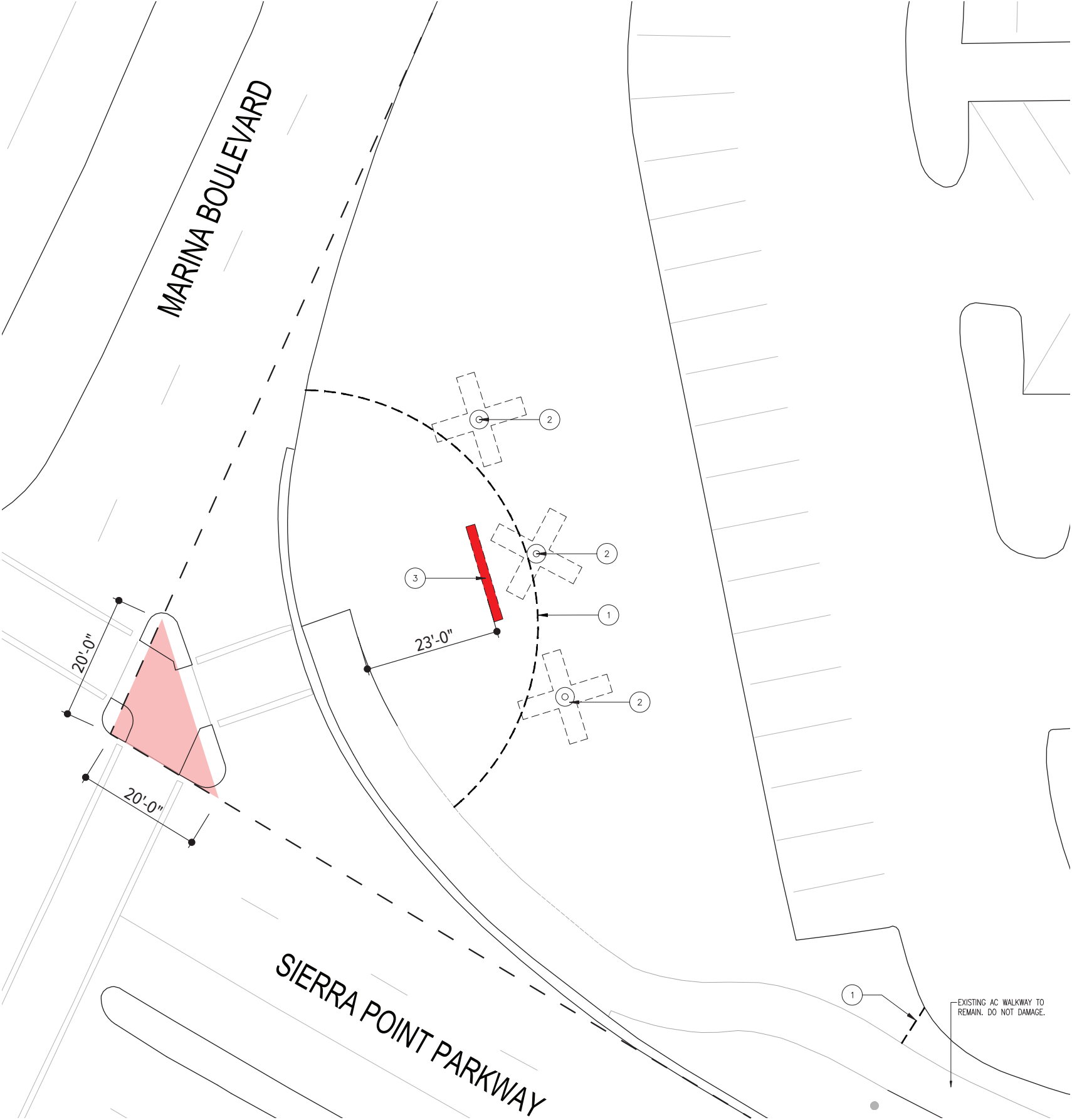
- LEGEND:**
- 1 – New Redwood header
  - 2 – New flagpole and footing
  - 3 – New signage (this proposal)

Site Overview – Sign Location Plan



# VISION TRIANGLE STUDY



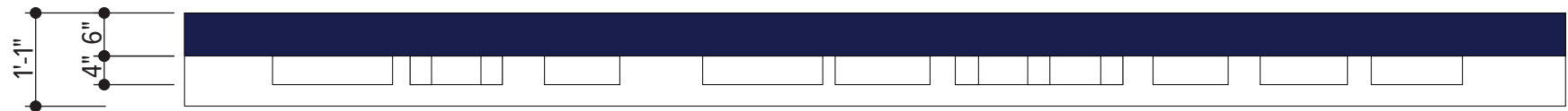


**LEGEND:**  
1 – New Redwood header  
2 – New flagpole and footing  
3 – New signage (this proposal)

Vision Triangle Study – Marina Boulevard and Sierra Point Parkway



# MONUMENT DESIGN



Plan View

Site Monument

The Towers site entry monument creates a formal entrance into the Campus, and is designed to work in unison with the monument at The Shore across the street, without being identical to that monument. Sculptural fabricated letterforms are mounted on an aluminum base, with a dark blue background.

The color palette of the monument will match the monument at The Shore. The sign base matches the base at The Shore, and the letterforms that are mounted to it will be painted white, with frosted white lexan faces which are internally face-lit with LED components, just as the sign at The Shore is. The dark blue background will match the returns of the letters on The Shore monument.

The typeface is Acumin, which also matches the Shore letters. The dimensional letters attached to the face of the base will be painted a dark gray, and are not illuminated, and the Healthpeak logo next to these letters will be applied black vinyl.



Side View

Elevation  
100 sq.ft.

Scale: 1/2" = 1'-0"

Monument Design – Elevation





Monument Design – Rendering

The Towers at Sierra Point  
14 April 2021 Site Monument For Permit





# CONCEPTUAL LANDSCAPE PLAN



TREES KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	GIN AUT	Ginkgo b. 'Autumn Gold'	Autumn Gold Maidenhair Tree	60" Box ---

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	ACH MIL	Achillea millefolium	Yarrow	1 gal 24" O.C./As Shown.
	CAL SPE	Calandrinia spectabilis	Rock Purslane	5 gal As Shown.
	CAR DIV	Carex divulsa/ Carex tumulicola	Berkeley Sedge	1 gal 24" O.C.
	CHO TEC	Chondropetalum tectorum	Cape Rush	1 gal As Shown.
	EJO JAP	Euonymus japonicus 'Aureo-marginatus'	Golden Euonymus	1 gal As Shown.
	LOM BRE	Lomandra longifolia 'Breeze'	Dwarf Mat Rush	1 gal As Shown.



Achillea millefolium



Calandrinia spectabilis



Carex tumulicola



Chondropetalum tectorum



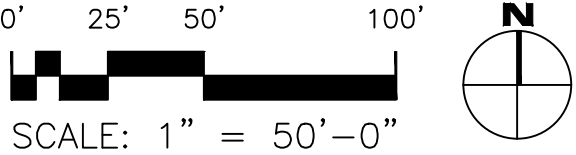
Euonymus japonicus  
'Aureo-marginatus'



Lomandra longifolia 'Breeze'



Ginkgo b. 'Autumn Gold'



2000 Sierra Point Parkway  
Brisbane, CA 94005

950 Tower Lane, Suite 1650, Foster City, California 94404  
Project Number: 10194.051

PLANTING PLAN AND PALETTE  
2021-04-12





Current Entry Sign



The Towers and The Shore Entry Signs





**SIERRA POINT OWNERS ASSOCIATION**

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E-mail: [infocon@vierramoore.com](mailto:infocon@vierramoore.com)

June 29, 2020

To whom it may concern:

Pursuant to a duly held meeting on the 8<sup>th</sup> of May 2020 for the Sierra Point Owners Association, the application received from The Towers for signage and tree project presented by architects, DES and PMA was unanimously approved by the Board of Directors.

Please contact Management with any questions.

Sincerely,  
Board of Directors  
Sierra Point Owners Association