



CITY of BRISBANE

Planning Commission Meeting Agenda

Thursday, February 23, 2023 at 7:30 PM • Hybrid Regular Meeting
• Brisbane City Hall 50 Park Place, Brisbane CA

This hybrid meeting is compliant with the Ralph M. Brown act as amended by California Assembly Bill No. 361 effective September 16, 2021 providing for a public health emergency exception to the standard teleconference rules required by the Brown Act. The purpose of this is to provide a safe environment for the public, staff, and Planning Commissioners, while allowing for public participation. Accordingly, the public may attend Planning Commission meetings in person or observe Planning Commission meetings and/or address the Commission using remote public comment options detailed below. Please be advised that Planning Commissioners may continue to participate in the meeting remotely. The Commission may take action on any item listed in the agenda.

TO ADDRESS THE COMMISSION

In Person:

Location: 50 Park Place, Brisbane, CA 94005, Community Meeting Room

Masks are no longer required but are highly recommended in accordance with California Department of Health Guidelines. To maintain public health and safety, please do not attend in person if you are experiencing symptoms associated with COVID-19 or respiratory illness.

To address the Planning Commission on any item on or not on the posted agenda, fill out a Request of Speak Form located in the Community Meeting Room Lobby and submit it to the City staff.

Remote Participation:

Members of the public may observe/participate in the meeting by logging into the Zoom webinar listed below. Planning Commission Meetings may also be viewed live and/or on-demand via the City's YouTube channel at [youtube.com/brisbaneca](https://www.youtube.com/brisbaneca), or on Comcast Channel 27. Archived videos may be replayed on the City's website, brisbaneca.org/meetings. Please be advised that if there are technological difficulties, the meeting will nevertheless continue.

The agenda materials may be viewed online at brisbaneca.org/meetings at least 24 hours prior to Special Meetings, and at least 72 hours prior to a Regular Meetings.

Remote Public Comments:

Meeting participants are encouraged to submit public comments in writing in advance of the meeting. Aside from commenting while in the Zoom webinar the following email and text line will be also monitored during the meeting and public comments received will be noted for the record during Oral Communications or during an Item.

Email: jswiecki@brisbaneca.org or **Text:** 415-713-9266

Zoom Webinar: (please use the latest version: zoom.us/download)

brisbaneca.org/pc-zoom

Webinar ID: 970 0458 3387

Call In Number: +1 (669) 900-9128

SPECIAL ASSISTANCE

If you need special assistance to participate in this meeting, please contact the Community Development Department at (415) 508-2120 in advance of the meeting. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

WRITINGS THAT ARE RECEIVED AFTER THE AGENDA HAS BEEN POSTED

All written communications are provided to the Planning Commission. Any written communication that is received after the agenda has been posted but before 4 p.m. of the day of the meeting will be available for public inspection at the front lobby in City Hall and online at brisbaneca.org/meetings. Any writings that are received after the agenda has been posted but after 4 p.m. of the day of the meeting will be available on the internet at the start of the meeting (brisbaneca.org/meetings), at which time the materials will be distributed to the Planning Commission.

Commissioners Funke, Gooding, Lau, Patel, and Sayasane

CALL TO ORDER

ROLL CALL

ADOPTION OF AGENDA

CONSENT CALENDAR

A. Approval of draft meeting minutes of January 12, 2023

B. Approval of draft meeting minutes of January 26, 2023

ORAL COMMUNICATIONS (Limited to a total of 15 minutes)

WRITTEN COMMUNICATIONS

OLD BUSINESS

None

NEW BUSINESS

- C. **PUBLIC HEARING: 1000 Marina; Grading Review 2023-EX-1;** SP-CRO Sierra Point Commercial District; Grading review for Bay Trail extension involving 1,724 CY of soil cut, 222 CY of soil fill, and 1,502 CY of soil export from the subject property; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 150301(c) and 15304(a), (b) and (c); Kyle Marrs, applicant; Bp3 Sf4 1000 Marina LLC, owner.
- D. **PUBLIC HEARING: 575-B Tunnel Road; Interim Use Permit 2023-UP-1;** C-1 Commercial Mixed Use District; 5-year extension of Interim Use Permit UP-8-16 to continue storage of up to 750 rental, passenger vehicles for Avis Budget Group on a vacant, approximately 4.8-acre portion of the Baylands; and finding that this project is categorically exempt from environmental review under CEQA Guidelines Section 15304(e), Minor Alterations to Land; Sam Khodja, applicant; Tuntex (USA) Inc., (Baylands Development Inc.) owner.

ITEMS INITIATED BY STAFF

ITEMS INITIATED BY THE COMMISSION

SELECTION OF PLANNING COMMISSION OFFICERS

ADJOURNMENT

- E. Cancellation of the regular meeting of March 9, 2023 and adjournment to the regular meeting of March 23, 2023

APPEALS PROCESS

Anyone may appeal the action of the Planning Commission to the City Council. Except where specified otherwise, appeals shall be filed with the City Clerk not later than 15 calendar days following the Planning Commission's decision. Exceptions to the 15-day filing period include the following: appeals shall be filed with the City Clerk within 6 calendar days of the Planning Commission's action for use permits and variances and 10 calendar days for tentative maps and advertising sign applications. An application form and fee are required to make a formal appeal. For additional information, please contact the City Clerk at 415-508-2110.

File Attachments for Item:

A. Approval of draft meeting minutes of January 12, 2023

DRAFT
BRISBANE PLANNING COMMISSION
Action Minutes of January 12, 2023
Virtual Meeting

CALL TO ORDER

Actin Chairperson Funke called the meeting to order at 7:30 p.m.

ROLL CALL

Present: Commissioners Funke, Gooding, Lau, and Sayasane
Absent: Commissioner Patel
Staff Present: Director Swiecki, Senior Planner Johnson and Senior Planner Ayres

ADOPTION OF AGENDA

A motion by Commissioner Gooding, seconded by Commissioner Lau to adopt the agenda. Motion approved 4-0.

CONSENT CALENDAR

A motion by Commissioner Gooding, seconded by Commissioner Lau to adopt the consent calendar (agenda item A). Motion approved 4-0.

ORAL COMMUNICATIONS

There were no oral communications.

WRITTEN COMMUNICATIONS

There were two written communications regarding agenda item B.

NEW BUSINESS

B. PUBLIC HEARING PUBLIC HEARING: Citywide; General Plan Amendment 2022-GPA-1-A; 2023-2031 Housing Element self-certification and adoption recommendation to City Council; and finding that this project is exempt from environment review under CEQA Guidelines Sections 15061(b)(3) and 15183(d); City of Brisbane, applicant.

Senior Planner Johnson gave the staff presentation and clarified how and when the public may provide input on amendments to the 2023-2031 Housing Element, as well as the means of dissemination of information to the public.

Acting Chairperson Funke opened the public hearing.

DRAFT
 Brisbane Planning Commission Minutes
 January 12, 2023
 Page 2

Brian Shields, representative of Carpenters union Local 217, spoke of the importance of labor standards.

Senior Planner Ayres read a written comment from Carmen G into the record.

With no one else wishing to address the Commission, a motion by Acting Chairperson Funke, seconded by Commissioner Gooding to close the public hearing was approved 4-0.

After deliberation, a motion by Commissioner Gooding, seconded by Commissioner Sayasane, to recommend the City Council self-certify and adopt the draft 2023-2031 Housing Element while allowing City Staff to make further amendments pursuant to discussions and negotiations with HCD, via adoption of Resolution 2022-GPA-1-A was approved 4-0.

Acting Chairperson Funke read the appeals procedure.

- C. PUBLIC HEARING (continued to January 26, 2023): SP-CRO Sierra Point Commercial District; Zoning Text Amendment 2022-RZ-4;** Zoning text amendment to Title 17, Chapter 17.18 of the Brisbane Municipal Code (BMC) to update existing research and development use provisions and performance standards; and finding that this project is exempt from environment review under CEQA Guidelines Section 15183(a); City of Brisbane, applicant.

This item was continued to the next regular Planning Commission meeting of January 26, 2022.

ITEMS INITIATED BY STAFF

Director Swiecki informed the Commission that the exception to the teleconference rules under the Brown Act is changing. Members of the public may attend meetings remotely but all staff and Commissioners must attend public meetings in-person beginning in March 2023.

ITEMS INITIATED BY THE COMMISSION

There were none.

ADJOURNMENT

Acting Chairperson Funke declared the meeting adjourned to the next regular meeting of January 26, 2023 at approximately 8:10 p.m.

Attest:

John A. Swiecki, Community Development Director

DRAFT

Brisbane Planning Commission Minutes

January 12, 2023

Page 3

NOTE: A full video record of this meeting can be found on the City's YouTube channel at www.youtube.com/BrisbaneCA, on the City's website at <http://www.brisbaneca.org/meetings>, or on DVD (by request only) at City Hall.

File Attachments for Item:

B. Approval of draft meeting minutes of January 26, 2023

DRAFT
BRISBANE PLANNING COMMISSION
Action Minutes of January 26, 2023
Hybrid Meeting

CALL TO ORDER

Actin Chairperson Funke called the meeting to order at 7:30 p.m.

ROLL CALL

Present: Commissioners Funke, Gooding, Lau, and Sayasane

Absent: Commissioner Patel

Staff Present: Director Swiecki, Senior Planner Johnson, Senior Planner Ayres, and Associate Planner Robbins

ADOPTION OF AGENDA

A motion by Commissioner Gooding, seconded by Commissioner Sayasane to adopt the agenda. Motion approved 4-0.

CONSENT CALENDAR

There were no items.

ORAL COMMUNICATIONS

There were no oral communications.

WRITTEN COMMUNICATIONS

There were two written communications regarding agenda item C.

NEW BUSINESS

- B. PUBLIC HEARING: 213 Visitacion Avenue; 2022-DP-6/2022-UP-9;** NCRO-2; 36-month extension of design and use permits for a four-unit residential mixed-use building; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 150301(l), 15303(b), and 15303(c); Arjun Dutt, applicant; Arcus Housing LLC, owner.

Senior Planner Ayres gave the staff presentation and clarified design permit expiration and extension regulations.

Arjun Dutt, applicant, answered questions from the Commission regarding the extension request and his plans for developing the property.

Acting Chairperson Funke opened the public hearing.

DRAFT
Brisbane Planning Commission Minutes
January 26, 2023
Page 2

Douglas Makela, Brisbane resident, spoke against the project.

Danica Cruz, Brisbane business owner, spoke against the project.

Michael Barnes, Brisbane resident, spoke in favor of the project.

With no one else wishing to address the Commission, a motion by Commissioner Gooding, seconded by Commissioner Sayasane to close the public hearing was approved 4-0.

After deliberation, a motion by Commissioner Sayasane, seconded by Commissioner Lau, to approve the application via adoption of Resolution 2022-DP-6/2002-UP-9 was approved 4-0.

- C. PUBLIC HEARING: 2000 Sierra Point Parkway; Design Permit 2022-DP-7; SP-CRO**
Sierra Point Commercial District; Design Permit to extend the existing rooftop screen to allow additional rooftop mechanical equipment; and finding that this project is categorically exempt from environment review under CEQA Guidelines Section 15301, Existing Facilities; Kevin Norman, applicant; HCP Life Science REIT, owner.

Associate Planner Robbins gave the staff presentation and clarified the reason for the applicant's request.

Kevin Norman, applicant, addressed the Commission and explained why life science uses require larger mechanical equipment than standard office uses.

Acting Chairperson Funke opened the public hearing.

With no one wishing to address the Commission, a motion by Commissioner Gooding, seconded by Commissioner Sayasane to close the public hearing was approved 4-0.

After deliberation, a motion by Commissioner Gooding, seconded by Commissioner Lau, to approve the application via adoption of Resolution 2022-DP-7 was approved 4-0.

D. PUBLIC HEARING: SP-CRO Sierra Point Commercial District; Zoning Text

Amendment 2022-RZ-4; Zoning text amendment to Title 17, Chapter 17.18 of the Brisbane Municipal Code (BMC) to update existing research and development use provisions and performance standards; and finding that this project is exempt from environment review under CEQA Guidelines Section 15183(a); City of Brisbane, applicant.

Note: This item was continued from the Planning Commission meeting of January 12, 2023. No hearing was held on January 12th.

Senior Planner Johnson gave the staff presentation and answered question on how the animals were determined to be included or precluded from animal testing under the proposed amendment and clarified the history of the research and development use provisions and performance standards in the SP-CRO district.

Acting Chairperson Funke opened the public hearing.

Senior Planner Johnson read a written comment from Bill Van Raam, Brisbane resident, against the proposed ordinance amendment and in favor of allowing animal testing.

Brisbane residents Kim Follien and Michael Barnes also spoke against the proposed amendment and in favor of allowing animal testing.

With no one else wishing to address the Commission, a motion by Commissioner Gooding, seconded by Commissioner Sayasane to close the public hearing was approved 4-0.

The Commission deliberated on the proposed amendment. Commissioner's Gooding, Lau and Funke expressed concerns about limiting animal testing as proposed. The three Commissioners acknowledged recent federal legislation regarding animal testing, FDA Modernization Act 2.0, which removed the requirement to use animal testing in drug development. However, they expressed a desire to allow the scientific community to take the lead regarding the need for future animal studies and indicated that there was insufficient information regarding the viability of alternative models for the various kinds of medical research and that some amount of animal testing is still necessary to advance medicines and medical procedures that are beneficial to humans. Additionally, it was expressed that prohibitions on animal testing would simply push R&D companies to other cities, while Brisbane residents would still benefit from such R&D testing.

Commissioner Sayasane expressed her opinion that the City has the right to reflect its community values in its zoning regulations and supported the further limitation on animal testing in Brisbane.

After deliberation, a motion by Acting Chairperson Funke, seconded by Commissioner Lau, recommending City Council denial of Zoning Text Amendment 2022-RZ-4 via adoption of Resolution 2022-RZ-4 was approved 3-1. Commissioner Sayasane voted against the motion.

Acting Chairperson Funke read the appeals procedure.

DRAFT
Brisbane Planning Commission Minutes
January 26, 2023
Page 4

ITEMS INITIATED BY STAFF

Director Swiecki informed the Commission the draft Housing Element will be considered by the [City Council on February 2 2022](#) and the annual Planning Commissioner Academy is coming up at the end of March.

ITEMS INITIATED BY THE COMMISSION

There were none.

ADJOURNMENT

With the cancellation of the February 9, 202 meeting, acting Chairperson Funke declared the meeting adjourned at approximately 9:30 p.m., to the next regular meeting of February 23, 2023 .

Attest:

John A. Swiecki, Community Development Director

NOTE: A full video record of this meeting can be found on the City's YouTube channel at www.youtube.com/BrisbaneCA, on the City's website at <http://www.brisbaneca.org/meetings>, or on DVD (by request only) at City Hall.

File Attachments for Item:

C. PUBLIC HEARING: 1000 Marina; Grading Review 2023-EX-1; SP-CRO Sierra Point Commercial District; Grading review for Bay Trail extension involving 1,724 CY of soil cut, 222 CY of soil fill, and 1,502 CY of soil export from the subject property; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 150301(c) and 15304(a), (b) and (c); Kyle Marrs, applicant; Bp3 Sf4 1000 Marina LLC, owner.



PLANNING COMMISSION AGENDA REPORT

Meeting Date: February 23, 2023

From: Julia Ayres, Senior Planner

Subject: **1000 Marina Blvd.; 2023-EX-1;** SP-CRO Sierra Point Commercial District; Grading review for Bay Trail extension involving 1,724 CY of soil cut, 222 CY of soil fill, and 1,502 CY of soil export from the subject property; and finding that this project is categorically exempt from environment review under CEQA Guidelines Sections 15301(c), 15304 (a), (b) and (c); Kyle Marrs, applicant; Bp3 Sf4 1000 Marina LLC, owner.

REQUEST: The applicant requests approval of the above-referenced permit for grading to associated with extension of the Bay Trail on the subject property, involving 1,724 cubic yards (CY) of soil cut, 222 CY of soil fill, and 1,502 CY of soil export from the subject property. Site improvements include construction of 795-ft long, 12-ft wide paved multi-use path flanked by 3-ft decomposed granite shoulders, removal of 32 mature trees and replanting of 39 trees, and parking lot reconfiguration and restriping with no net parking space loss.

RECOMMENDATION: Approve 2023-EX-1 via adoption of Resolution 2023-EX-1 containing the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15301(c), 15304(a),(b), and (c) - this project falls within classes of projects which the State has determined not to have a significant effect on the environment. The exceptions to this categorical exemption referenced in Section 15300.2 of the CEQA Guidelines do not apply.

APPLICABLE CODE SECTIONS: Brisbane Municipal Code (BMC) §17.32.220 and §15.01.110 establish requirements for the Planning Commission's review of grading permits for projects involving more than 250 CY of grading in the SP-CRO district.

ANALYSIS AND FINDINGS:

Existing Conditions and BCDC Requirements

The approximately 4.4 acre property is located at the northwest corner of Marina Boulevard and Sierra Point Parkway and its northern property line abuts 3000-3500 Marina Boulevard. Both 1000 Marina and 3000-3500 Marina Boulevard are owned by the same owner, Phase 3 Real Estate. Construction of Phase 3's three-building biotech campus at 3000-3500 Marina Boulevard is currently underway.

A significant part of 3000-3500 Marina's approved development plan (DP-1-18 and DP-1-21) includes improvement and extension of the Bay Trail from its current terminus at the western corner of 3000-3500 Marina Boulevard to the south and east along the property's southerly

perimeter, as required by the San Francisco Bay Conservation and Development Commission (BCDC) though the site does not directly abut the Bay waters. BCDC's 2019 approval of the 3000-3500 Marina Boulevard project included a condition requiring the property owner to extend the Bay Trail along the western perimeter of 1000 Marina Boulevard to complete BCDC's preferred trail alignment (see Attachment C). This project and grading review request, and subsequent building and grading permits issued by the City of Brisbane, will satisfy BCDC's permit condition.

Project Description

The proposed Bay Trail alignment is shown on Sheets C3.0 and C3.1 of the applicant's plans (Attachment E). The 795-ft long trail would be 18-ft wide, including a 12-ft paved multi-use path flanked by 3-ft decomposed granite shoulders. A 3 ft. tall wood post and rope fence would be built on the east side of the Trail between the and the developed areas of the site, while a 42 inch guardrail would be located on the west side of the northern portion of the trail. To accommodate the trail, 20 surface parking stalls would be removed and replaced elsewhere on the site, with no net loss of parking spaces.

To accommodate the parking lot reconfiguration and Bay Trail extension, the project includes a reduction in on-site landscaping from 37% of the site to 31% of the site (see landscape plans Sheet L0.10, Attachment E). This exceeds the 25% minimum landscaping requirement in the SP-CRO district regulations, and it should be noted that the Sierra Point Design Guidelines allows land devoted to public access corridors to be considered as additional landscape area (see Attachment D).

Thirty-two mature trees are proposed to be removed due to conflict with the proposed Bay Trail alignment or due to the health or condition of the tree. An arborist report prepared by HortScience/Bartlett Consulting evaluates the condition and suitability for preservation of each tree, shown on the landscape plans in Attachment E. Thirty nine replacement trees (New Zealand Christmas Trees) are proposed on the site, primarily in the southern portion of the site between the Bay Trail extension and Sierra Point Parkway, and a mix of California native, low water use shrubs and groundcovers are proposed throughout the site within the perimeter landscape buffers and parking lot.

The subject property features berms and higher elevation areas extending above the finish grade of the parking lot and adjacent roadways, consistent with the Sierra Point Design Guidelines. As such, the portions of the property where the Bay Trail extension is sited will need to be excavated to provide a level surface at grades matching Marina Boulevard and the Bay Trail segment to the north at 3000-3500 Marina Boulevard. The proposed grading includes 1,724 CY of soil cut, of which 222 CY would be redistributed on the site as fill and 1,502 CY would be off-hauled.

Finally, the City Engineer has stated that future intersection improvements currently in the planning phase at the Marina Boulevard/Sierra Point Parkway intersection may impact the finish grade and location of the terminus of the Bay Trail extension at Marina Boulevard. Due to the evolving planning and design discussions with the City Engineer which will not be resolved until other project proposals in Sierra Point move forward, staff has drafted a condition of approval for the applicant to work with the City Engineer and incorporate any modifications he may require into the grading plans submitted with the grading permit application. Adjustments would result in a minor increase in the volume of cut associated with the project, based on staff's discussions with the City Engineer.

Analysis

To approve the requested grading review and recommend that the City Engineer issue the grading permit, the Commission must make the findings in BMC Section 15.01.110 and summarized below. Detailed findings are included in Exhibit A to the draft Resolution (Attachment A). Where relevant, the below summary analysis also addresses Sierra Point Design Guidelines parameters for site landscaping.

1. Will the proposed grading be designed to reflect or fit comfortably with the site context and natural topography?

As shown in the applicant's grading plans and details, the proposed grading is designed to fit comfortably with the site context and natural topography to the extent feasible. The Bay Trail extension is located along the western and southern perimeters of the site, which feature more varied topography compared to the relatively gradual slope of the developed site area. These variations drive the location and volume cut and fill required to create a level pedestrian way and match the finished grades of trail connection points at 3000-3500 Marina Boulevard and Marina Boulevard and Sierra Point Parkway.

2. Will the proposed grading be designed to ensure that retaining walls visible to the public are designed to be as visually unobtrusive as possible?

As shown in the grading plans, few retaining walls are proposed. The tallest wall, located in the northern portion of the trail at its connection with 3000-3500 Marina Boulevard, would not exceed 4 ft in height above grade and would be located on a cut slope with very limited views from the Bay Trail. California native plantings, as shown in the landscape plans, would further screen this wall. Other walls are limited to approximately 1 ft in height above grade and would be similarly screen by California native plantings.

3. Will the proposed grading be designed to minimize removal of existing street trees, any California Bay Laurel, Coast live Oak or California Buckeye trees, or three or more mature trees of any species? Where removal of existing trees is necessary, will the landscape plans for the project include the planting of appropriate replacement trees?

2023-EX-1
2/23/2023 Meeting

An arborist report was prepared for the project and is included in the landscape plans. The report includes an inventory of the 124 trees existing on the site and evaluation of their health condition and appropriateness for protection or removal based on the project plans and health condition of the trees. As shown in the landscape plans (Sheets L0.6.00.B, L0.6.01, L0.6.02), the removal of 32 mature trees is driven by direct conflict with the Bay Trail extension, with a few identified for removal due to poor health or structural condition. No street trees or trees otherwise protected by species are proposed to be removed. More than 90 existing mature trees would remain on the site.

The landscape plans propose replanting of 39 trees on the site, primarily in the southern portion of the site to provide screening from Sierra Point Parkway and adjacent Highway 101. All 39 trees are proposed to be New Zealand Christmas Trees, a hardy, low water use evergreen species that is commonly seen in the Sierra Point neighborhood. The trees feature colorful foliage in the summer and are an attractive and appropriate species considering the challenges inherent to plant growth at Sierra Point (wind, salt, poor soils). Therefore, not only does the project preserve existing trees on-site to the maximum extent feasible, but replacement trees are proposed at a more than 1x1 ratio resulting in a net increase of trees on the site.

Finally, the Sierra Point Combined Architectural and Site Guidelines provide general guidance to include both internal parking lot landscaping and screening of surface parking lots. The landscape plans preserve existing internal parking lot landscaping wherever feasible while still allowing for replacement parking spaces to be sited appropriately. Additionally, new tree and shrub plantings are proposed adjacent to the Marina Boulevard and Sierra Point Parkway frontages to enhance screening of the existing parking lot.

ATTACHMENTS

- A. Draft Resolution **2023-EX-1**
- B. Aerial vicinity map
- C. BCDC Permit 2019.001.00 Excerpt (Special Condition II.B.9)
- D. Sierra Point Combined Architectural and Site Design Guidelines Excerpt
- E. Applicant's plans


Julia Ayres, Senior Planner


John Swiecki, Community Development Director

Draft
RESOLUTION **2023-EX-1**
A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING 2023-EX-1 FOR
GRADING ASSOCIATED WITH EXTENSION OF THE BAY TRAIL
AT 1000 MARINA BOULEVARD

WHEREAS, Kyle Marrs, the applicant, applied to the City of Brisbane for approval of Planning Commission grading permit review involving 1,724 CY of soil cut and 222 CY of fill at 1000 Marina Boulevard to accommodate extension of the San Francisco Bay Trail consistent with the Bay Trail alignment planned by the San Francisco Bay Conservation and Development Commission; and

WHEREAS, on February 23, 2023, the Planning Commission conducted a public hearing on the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said applications, the applicant's plans and supporting materials, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15301(c), 15304(a),(b), and (c) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the application.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 23, 2023, did resolve as follows:

Grading review 2023-EX-1 is approved per the findings and conditions of approval attached herein as Exhibit A and B.

ADOPTED this twenty-third day of February, 2023, by the following vote:

AYES:

NOES:

ABSENT:

Sandip Patel
Chairperson

ATTEST:

JOHN A SWIECKI, Community Development Director

**Draft
EXHIBIT A**

Action Taken: Conditionally approve 2023-EX-1 per the staff memorandum with attachments, via adoption of Resolution **2023-EX-1**.

Findings:

1. The proposed grading is designed to fit comfortably with the site context and natural topography to the extent feasible given: 1) the maximum slopes and cross-slopes for accessible path design required for multi-use paths and Bay Trail design criteria, and 2) the finished grade of existing trail connection points at 3000-3500 Marina Boulevard and the northwestern intersection of Marina Boulevard and Sierra Point Parkway. The Bay Trail extension's location along the western and southern perimeters of the site corresponds with more steeply sloping topography compared to the relatively gradual slope changes within the developed footprint of the site, which drives the level of cut required to accommodate a level pedestrian way.
2. The proposed grading is designed to ensure that retaining walls visible to the public are designed to be as visually unobtrusive as possible. The tallest retaining wall is approximately 4 ft tall, retaining an area of fill in the northern portion of the Bay Trail extension. Due to its location on a cut slope, and location adjacent to undeveloped Caltrans right-of-way below Highway 101, this wall is not visible from off-site and has limited views from the Bay Trail itself. Proposed plantings of California native, very low water use species (blue eyed grass and California poppy) at the base of the wall would provide a certain amount of screening for any limited public views. Other walls typically do not exceed one ft in height above grade and are similarly screened by plantings of California native, very low water use plants.
3. The proposed grading is designed to minimize removal of mature trees from the site. The site currently features 124 trees, the majority of which are mature (trunk circumference exceeding 30 inches). Dominant species include Nichol's willowleafed peppermint and Lombardy poplar, with significant numbers of New Zealand Christmas Trees, some Monterey pine, and other ornamental and fruit trees. The majority of the 32 trees to be removed are Lombardy poplar and Monterey pine, and their removal is required primarily due to direct conflict with the Bay Trail extension alignment. Some trees are proposed to be removed due to poor health condition, as documented in the June 13, 2022 HortScience/Bartlett consulting arborist's findings included in the landscape plans. No California Bay Laurel, Coast Live Oak, or California buckeye trees exist on the site per the tree inventory prepared by HortScience/Bartlett. No street trees are proposed to be removed.
4. The landscape plans for the project include the planting of appropriate replacement trees. The landscape plans propose replacement planting of 39 New Zealand Christmas trees, which are appropriate to the site due to their low water needs and hardy nature, as the evergreen species can withstand and thrive in poor soils, slopes, wind, and foggy conditions.

Conditions of Approval:Prior to issuance of a Building Permit:

1. The applicant shall provide evidence of the San Francisco Bay Conservation and Development Commission's approval of the project plans in writing to the Community Development Department.
2. The applicant shall obtain a grading permit from the City Engineer. The building permit plans shall reflect any modifications to the grading plans required by the City Engineer in his action on the grading permit related to future improvements at the Sierra Point Parkway/Marina Boulevard intersection.
3. The applicant shall provide verification from the project arborist that tree protection measures as outlined in the June 13, 2022 HortScience/Bartlett arborist report submitted with the application and included in the approved project plans on file with the Community Development Department have been installed pursuant to their recommendations.
4. The applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way.
5. The property owner shall enter into a standard landscape maintenance agreement with the City.

During Construction:

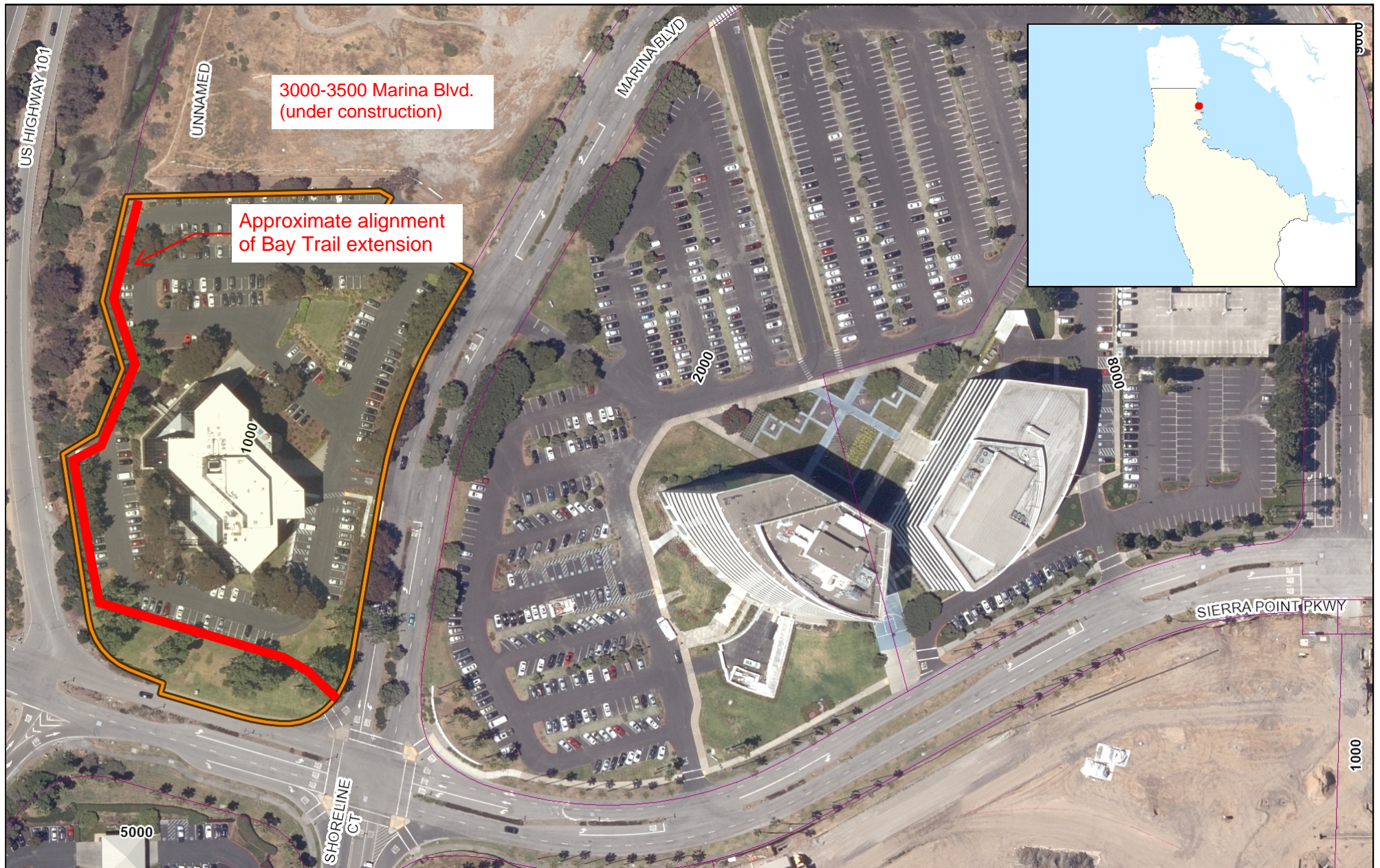
6. Project construction activities shall comply with all Best Management Practices related to erosion control and stormwater management as outlined in the "Flows to Bay" Best Management Practices guidelines which shall be attached to the building permit plans.
7. All removal and severe trimming activities shall comply with applicable federal and state provisions protecting nesting or migratory birds as provided in the federal Migratory Bird Treaty Act and the California Fish and Wildlife Code, Section 3503 and following, as amended.

Other Conditions:

8. Approval of this application is to allow for the project as detailed in the Project Description contained in the Planning Commission staff report dated Click or tap to enter a date., except where project parameters are modified expressly by this Resolution.
9. Material violation of any of the conditions, including material deviation from the approved project description, may be cause for revocation of this permit 2023-EX-1 and termination of all rights granted there under.

2023-EX-1
ATTACHMENT A

10. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
11. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.



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THIS MAP IS NOT TO BE USED FOR NAVIGATION

- g. *Step Planter Stairway (East)*. An approximately 1,700-square-foot stairway ranging from approximately 27 to 40 feet in width, and approximately 3,960 square feet of step planters connecting to the Courtyard Level from the passenger drop-off area.

9. Bay Trail Extension at 1000 Marina Boulevard

- a. *Trail Extension*. No later than 12 months following the issuance of a temporary certificate of occupancy for any improvements authorized herein, the permittee shall provide on the 1000 Marina Boulevard parcel a minimum 12-foot-wide accessible asphalt bicycle and pedestrian path with 3-foot-wide decomposed granite shoulders ("trail extension") along the general alignment shown on Exhibit B and labeled "Proposed Bay Trail extension in 1000 Marina Blvd." The trail extension shall be made exclusively available to the public for unrestricted public access for walking, bicycling, and related purposes in perpetuity.
- b. *Reciprocal Easement Agreement*. Prior to applying for any necessary governmental approvals for the trail extension, the permittee shall submit to the Commission's Executive Director, for her/his review and approval, a Reciprocal Easement Agreement ("REA") between the permittee and the owner of the 1000 Marina Boulevard parcel that provides for the construction and ongoing maintenance of the trail extension. The REA shall run with the land and respectively burden and benefit future owners. The REA shall be countersigned or acknowledged by the Commission's Executive Director, and will require that the modification, termination, or removal of the provisions in the REA governing the maintenance and existence of the trail extension will require approval by or on behalf of the Commission. The Executive Director will approve or disapprove of the instrument within 30 days after submittal for approval on the basis of its sufficiency to create legally enforceable rights and duties to provide the trail extension as required by Special Condition II.B.9.(a). For the avoidance of doubt, the permittee may conduct grading and site work upon the property prior to submission and execution of the REA, which shall only be required prior to construction of foundations for vertical work upon the project.
- c. *Necessary Authorization*. Prior to commencing construction on the trail extension, the permittee shall obtain any necessary approvals and authorizations by the City of Brisbane, including any additional review under the California Environmental Quality Act (CEQA) that the City deems necessary, and the Commission.
10. **Signage and Wayfinding**. Prior to construction of the public access improvements authorized herein, the permittee shall submit for review and approval by or on behalf of the Commission a comprehensive public access sign program designed to maximize public recognition, use, and enjoyment of the site's public access improvements. The sign program shall provide detail on the location, quantity, and design of wayfinding, interpretive, "Public Shore," and Bay Trail signs. The sign

Open Space / Landscape Matrix

Guidelines:

- I. Incorporate roadway rights-of-way, private land reserves, public access, and utility considerations into an overall open space/landscape matrix for Sierra Point.
2. Utilize the landscape matrix to provide linear and peripheral pedestrian and bicycle circulation and public access to the Bay Edge.
3. Utilize the landscape matrix to collect and carry storm water and to place other utility lines.
4. Vary width of landscape areas not only within the road rights-of-way, but also within private parcels.
5. Maintain a minimum distance of 80 feet between buildings located within 150 feet of the Bay's edge.

Parking

Guidelines:

1. Provide landscape development around the subterranean garages to visually screen as well as to establish contact between the groundplane and the building.
2. Take advantage of the maximum ratio of small car stalls to standard size car stalls.
3. Introduce planting in the on-grade lots in planting islands, massing where possible.
4. Provide parking for the disabled in accordance with State regulations.
5. Provide parking for bicycles.
6. Designate adequate parking spaces for public use within Sierra Point, at both the northern and southern public access focal points and at the northwest inner corner providing public access to Fisherman's Pier.
7. Encourage use of public parking within the Brisbane Marina.
8. Screen cars through use of planted earth helms, shrubs and walls,
9. Provide a minimum 15-foot strip of landscape along both sides of major entries as well as a median into the parking area.
10. Provide a minimum 15-foot strip of landscape along both sides of minor entries extending a minimum of 40 feet into the parking area.

Public Access and View Corridors

Guidelines:

1. Utilize a continuous 8-foot pathway throughout the site for public access, widening it to 10 feet along the Bayfront.
2. Provide connections to existing public access pathways in adjacent developments.
3. Use asphalt, modular pavers and compacted gravel for pathway materials, except as determined otherwise by the Public Works Director.
4. Provide parking for the public at key connections to the Bayfront.
5. Locate parking stalls, structures and landscaping to maintain visual access to the Bay as much as possible.
6. Align major view corridors where possible at the turning points of the primary street loop system to continue visual and physical access to the Bay from the public thoroughfare.

Guidelines:

- I. Generally, the light source should be a "cut-off" type fixture, i.e., one that reflects light downward and out, rather than upward.
2. The fixture should be in proportion to the standard to which it is attached.
3. The shape of the fixture should have simple, clean lines.
4. The fixtures should be compatible with the various styles of architecture.
5. Street lighting standards should be 30 feet in height, tapered round steel, painted black in color.
6. Light standards in parking lots should be 1630 feet in height and consistent throughout the entire Office Park. Poles should be square, painted brown or black in surface parking areas and white in parking structures,
7. Pathway lighting can vary from simple step lights, bollard lighting and pathway standards to a maximum height of 15 feet.
8. Appropriate lights such as up-lighting should be incorporated to accent planting and other landscape or architectural features without casting glare or creating a safety hazard to passing pedestrians.

G. Signage

Signage shall be consistent with the sign programs adopted by the City of Brisbane for Sierra Point.

H. Plant Materials

Following BCDC's recommendations, native plant species will be utilized from the Bayfront path to the shoreline with a transition zone from the Bayfront path to the 100-foot shoreline band boundary.

Trees:

Botanical Name

Common Name

Aesculus californica
Agonis flexuosa
Alnus rhombifolia Casuarina
 cunninghamiana
Ceratonia siliqua
Cupaniopsis anacardioides
Eucalyptus (excluding *camaldulensis*, *globulus*
 and *pulverulenta*)
Koelreuteria paniculata
Liquidambar styraciflua
Mains baccata *mandschurica*
Melaleuca atruillaris
Melaleuca leucodendron
Melaleuca nesophila
Melaleuca styphelioides
Meterosideros excelsus
Nyssa sylvatica
Pinus canariensis
Pinus eldarica
Pinus halepensis
Pinus muricata
Pinus pinea
Populus nigra 'italica'
Salix babylonica *Ulmus*
parvifolia *Ulmus*
pumila *Washington*
robusta *Washingtonia*
filifera

California Buckeye
 Peppermint Tree
 White Alder
 River She Oak
 Carob Tree
 Carrot Wood

N.C.N.
 Goldenrain Tree
 Sweet Gum
 Siberian Crabapple
 Drooping Melaleuca
 N.C.N.

Pink Melaleuca
 N.C.N.

New Zealand Christmas Tree

Sour Gum
 Canary Island Pine
 Mundell Pine
 Aleppo Pine
 Bishop Pine
 Italian Stone Pine
 Lombardy Poplar
 Weeping Willow
 Chinese Elm
 Siberian Elm
 Mexican Fan Palm
 California Fan Palm

S h r u b s :

Botanical Name

Common Name

Abelia species
Agapanthus africanus
Arbutus unedo
Aretostaphylos species
Baccharis emmeri
Callistemon citrinus
Cassia coquiembensis
Cistus purpureus
Dodonea viscosa *Ipurpurea*
Escallonia 'Jubilee'
Escallonia rubra
Griselinia littoralis
Hakea species

Abelia
 Lily of the Nile
 Strawberry Tree
 Manzanita
 Broom
 Lemon Bottlebrush
 Senna
 Orchid Rose
 Hop Bush
 N.C.N.
 N.C.N.
 N.C.N.
 N.C.N.

Common Name

Hebe species
 Juniperus species
 Melaleuca species

Use of Guidelines

These Guidelines have established standards of quality for development at Sierra Point. Adherence to these standards by implementation of the treatments outlined in these Guidelines will ensure a development, which will be an asset to the City of Brisbane. A high quality environment will provide an attraction to potential tenants, making Sierra Point competitive with other developments in the area.

The Guidelines are meant to be used as a tool to ensure that Sierra Point meets the requirements of various public and private bodies involved in its development. These bodies include:

1. BCDC - which will hold the Guidelines as standards by which to judge compliance with permits and the Bay Plan.
2. City of Brisbane - which, in addition to utilizing its municipal code and other applicable regulations, will use the Guidelines as a basis for reviewing subdivision and building plans in achieving coordinated development within Sierra Point.
3. Lenders - which will use the Guidelines as a measure of quality and, therefore, marketability of the development.
4. The Developer - which will use the Guidelines to attract tenants who understand the need to contribute to a unified development increasing its level of quality.
5. The Consultants - who will use the Guidelines as a basis for implementation of specific plans ensuring a quality development.

The Design Guidelines, because they are guidelines, only set direction for an integrated and cohesive development and are not themselves regulations. However, for a successful and high quality product, it is imperative that a commitment be made by all involved not only to comply fully with all applicable regulations, but to follow the standards and treatments outlined in these Guidelines. Departure from these Guidelines should be made only after careful evaluation.

BAY TRAIL EXTENSION IMPROVEMENTS FOR
1000 MARINA BOULEVARD

CITY OF BRISBANE SAN MATEO COUNTY CALIFORNIA

DRAWING INDEX

DRAWING NO	DESCRIPTION
CIVIL	
C0.0	TITLE SHEET
C0.1	NOTES, LEGEND, AND ABBREVIATIONS
C1.0	EXISTING CONDITIONS PLAN
C1.1	EXISTING CONDITIONS PLAN
C2.0	DEMOLITION PLAN
C2.1	DEMOLITION PLAN
C3.0	SITE PLAN
C3.1	SITE PLAN
C4.0	GRADING PLAN
C4.1	GRADING PLAN
C4.2	BAY TRAIL PLAN AND PROFILE
C4.3	BAY TRAIL PLAN AND PROFILE
C4.4	BAY TRAIL PLAN AND PROFILE
C5.0	SECTIONS
C6.0	EROSION CONTROL PLAN
C6.1	EROSION CONTROL PLAN
C6.2	EROSION CONTROL DETAILS
C6.3	EROSION CONTROL BMP
C7.0	DETAILS
C7.1	DETAILS

LANDSCAPE

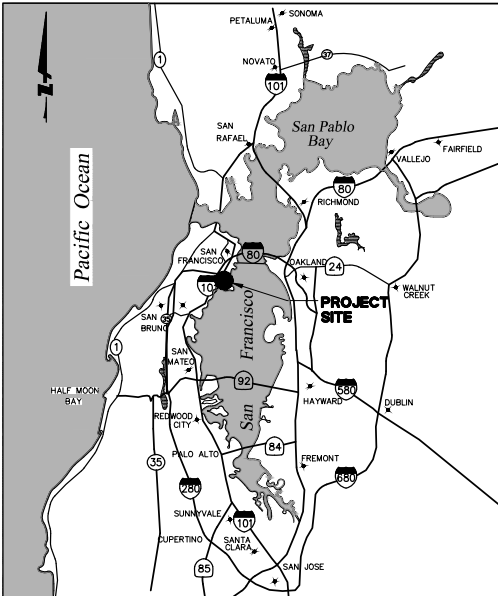
L0.00	LANDSCAPE SHEET INDEX, NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS
L0.10	LANDSCAPE ILLUSTRATIVE SITE PLAN
L0.20	SHEET KEY PLAN
L0.5.00	ARBORIST ASSESSMENT REPORT
L0.5.01	ARBORIST ASSESSMENT REPORT
L0.5.02	ARBORIST ASSESSMENT REPORT
L0.6.00A	TREE PROTECTION AND REMOVAL NOTES/DETAILS
L0.6.00B	TREE PROTECTION AND REMOVAL SCHEDULE
L0.6.01	TREE PROTECTION AND REMOVAL PLAN – AREA 1
L0.6.02	TREE PROTECTION AND REMOVAL PLAN – AREA 2
L1.1.01	LANDSCAPE LAYOUT AND MATERIAL PLAN – AREA 1
L1.1.02	LANDSCAPE LAYOUT AND MATERIAL PLAN – AREA 2
L1.4.01	LANDSCAPE SOILS PLAN – AREA 1
L1.4.02	LANDSCAPE SOILS PLAN – AREA 2
L1.5.01	LANDSCAPE IRRIGATION PLAN—AREA 1
L1.5.02	LANDSCAPE IRRIGATION PLAN—AREA 2
L1.5.03	IRRIGATION NOTES AND LEGEND
L1.5.04	IRRIGATION DETAILS
L1.5.05	HYDROZONE PLAN – AREA 1
L1.5.06	HYDROZONE PLAN – AREA 2
L1.6.00	PLANTING LEGEND AND NOTES
L1.6.01	PLANTING PLAN – AREA 1
L1.6.02	PLANTING PLAN – AREA 2
L2.1.1	CONCEPTUAL SECTIONS
L8.1.1	DETAILS – PAVING
L8.1.2	DETAILS – PAVING
L8.4.1	DETAILS – HEADERS
L8.4.2	DETAILS – GUARDRAILS AND FENCE
L8.7.1	DETAILS – PLANTING
L8.7.2	DETAILS – PLANTING
L8.7.3	DETAILS – PLANTING
L8.8.1	DETAILS – SITE FURNISHING AND SIGNAGE
L8.8.2	DETAILS – DESIGN – BUILD GUARDRAIL SYSTEM

STRUCTURAL

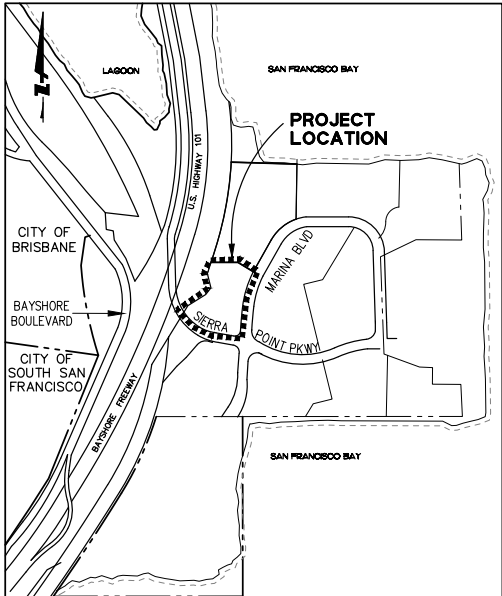
S1.0	STRUCTURAL ABBREVIATIONS, NOTES SPECIAL INSPECTIONS, AND SHEET INDEX
S1.1	STRUCTURAL NOTES
S2.0	SITE PLAN
S4.0	TYPICAL CONCRETE DETAILS
S4.1	FOUNDATION AND RETAINING WALL DETAILS
S4.2	FOUNDATION DETAILS

ELECTRICAL

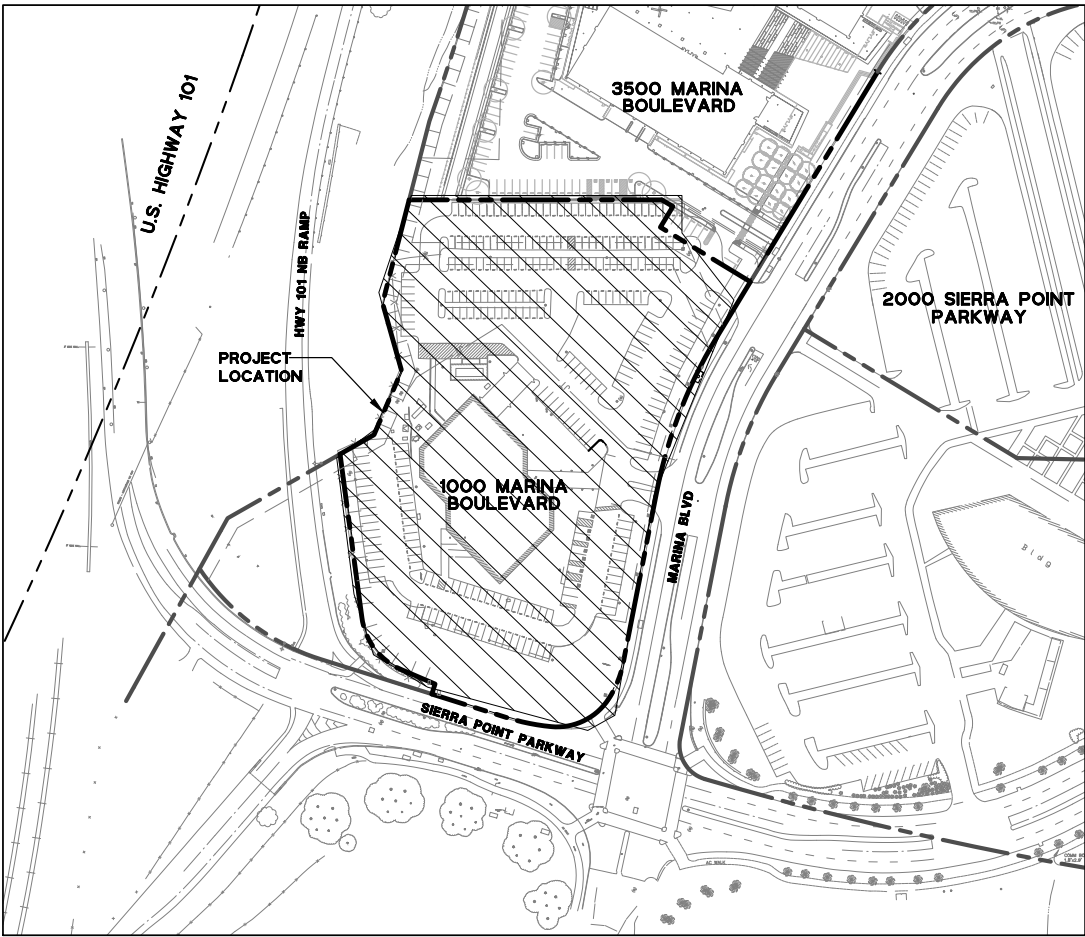
E0.1	SYMBOL LIST, GENERAL NOTES, AND SHEET INDEX
E0.2	LUMINAIRE SCHEDULE AND DETAIL
E0.3	OUTDOOR TITLE 24 COMPLIANCE FORMS
E0.4	OUTDOOR TITLE 24 COMPLIANCE FORMS
E1.1	SITE PHOTOMETRIC PLAN – LIGHTING
E2.1	SITE PLAN NORTH LIGHTING
E2.2	SITE PLAN SOUTH LIGHTING
E3.1	SPECIFICATIONS



VICINITY MAP
NO SCALE



LOCATION MAP
NO SCALE



PROJECT BENCHMARK

MAG NAIL SET IN AC CURB 75' NORTH OF DRIVEWAY TO 1000 MARINA BOULEVARD ALONG THE NORTHWEST EDGE OF MARINA BOULEVARD AND 15' NORTHEAST OF CATCH BASIN.
ELEVATION = 17.82' (NAVD – GPS-DERIVED)

OWNER/DEVELOPER

PHASE 3 REAL ESTATE PARTNERS
CONTACT: KYLE MARRS
PROJECT MANAGER
P.O. BOX 927729
SAN DIEGO, CA 92192

SITE INFORMATION:

PROJECT ADDRESS: 1000 MARINA BOULEVARD, BRISBANE, CA 94005
APN: 007165210
TOTAL SITE AREA: 192127.83 SF
TOTAL AREA DISTURBED: (40606.36 SF ≈ 0.93 ACRES)

ENGINEER'S STATEMENT

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

Thomas R. Morse
01/17/2023

DATE

BKF ENGINEERS
THOMAS R. MORSE
VICE PRESIDENT



1000 MARINA BOULEVARD

TITLE SHEET

SAN MATEO COUNTY

CITY OF BRISBANE

CALIFORNIA

Date	No.	Revisions
08/24/2022		
Scale 1"=20'		
Design AR		
Drawn AR	4	PLAN CHECK RESPONSE 4 01/17/2023
Approved LKY	3	PLAN CHECK RESPONSE 3 01/04/2023
Job No 20170365-11	1	PLAN CHECK RESPONSE 10/26/2022

Drawing Number:

C0.0

DRAWING NAME: \\bkf-r-c\vol14\2017\170365_3000_Mar_ina\CD\PLOTS\CO.1 NOTES AND ABBREVIATIONS.dwg
PLOT DATE: 01-13-23 PLOTTED BY: monu

GENERAL NOTES

I. REFERENCE DOCUMENTS

- 1. SIERRA POINT BUSINESS CENTER DEVELOPMENT STANDARDS DATED 2001.
- 2. CITY OF BRISBANE STANDARD DETAILS.
- 3. CALTRANS STANDARD PLANS AND SPECIFICATIONS, LATEST EDITION.
- 4. SUPPLEMENTAL RECOMMENDATIONS FOR BAY TRAIL EXTENSION, 1000 MARINA BOULEVARD, PREPARED BY LANGAN, DATED AUGUST 12, 2022.

II. GENERAL NOTES

- 1. THE TERM "STANDARDS", WHERE USED IN THESE DRAWINGS, SHALL REFER TO THE DEVELOPMENT STANDARDS REFERENCED ABOVE.
- 2. THIS PROJECT IS LOCATED WITHIN THE JURISDICTION OF THE CITY OF BRISBANE. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING PERMITS, ARRANGING INSPECTIONS AND COMPLYING WITH ALL APPLICABLE REGULATIONS OF THIS CITY AS REQUIRED BY THE CITY. WHERE USED IN THE DRAWINGS, THE TERM "CITY" AND "CITY ENGINEER" SHALL REFER TO THE CITY OF BRISBANE.
- 3. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING REQUIRED INSPECTIONS BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVES. NO DELAY OF WORK CLAIM WILL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO ARRANGE FOR CITY INSPECTION IN ADVANCE. THE CONTRACTOR WILL NOTIFY THE CITY ENGINEER AT (415) 508-2130 A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.
- 4. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH WILL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- 5. CONTRACTOR WILL CONFIRM LOCATIONS OF EXISTING UTILITIES. CONTRACTOR WILL REPLACE OR REPAIR, AT THEIR OWN EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION, UNLESS NOTED OTHERWISE ON THE PLANS.
- 6. CONTRACTOR SHALL COORDINATE HIS WORK, AND THAT OF HIS SUBCONTRACTORS, WITH ANY ONGOING GRADING OR SITE WORK OF OTHER CONTRACTORS AND WITH THE INSTALLATION OF FACILITIES BY PG&E, TELEPHONE AND CABLE TV.
- 7. ALL STREET MONUMENTS, LOT CORNER PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN CONFORMANCE WITH CITY REQUIREMENTS BEFORE FINAL ACCEPTANCE OF IMPROVEMENTS. MONUMENTS SHALL BE SET BY A SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND FILE A MINIMUM OF A CORNER RECORD WITH THE SAN MATEO COUNTY RECORDERS OFFICE. CORNER RECORD TO BE SUBMITTED TO CITY FOR REVIEW AND APPROVAL PRIOR TO RECORDATION AT THE COUNTY.
- 8. IF TEMPORARY LANE CLOSURES ARE REQUIRED FOR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR WILL ALSO PROVIDE FLAG MEN, CONES OR BARRICADES, AS NECESSARY, TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS, IN CONFORMANCE WITH CALTRANS STANDARDS.
- 9. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND HANDICAP ACCESS PATHWAYS WILL BE MAINTAINED DURING CONSTRUCTION TO THE SATISFACTION OF THE CITY ENGINEER.
- 10. TRENCHES WILL NOT BE LEFT OPEN OVERNIGHT ON SITE. CONTRACTOR WILL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
- 11. EXCAVATIONS WILL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE WILL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE.
- 12. THE CONTRACTOR WILL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE IN CONFORMANCE WITH BAY AREA AIR QUALITY MANAGEMENT DISTRICT'S BASIC AND ENHANCED DUST CONTROL MEASURES. IN THE EVENT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE OWNER WHO WILL BACK CHARGE THE CONTRACTOR.
- 13. DURING CONSTRUCTION, THE CITY STREETS WILL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ANY ACCUMULATION OF MUD AND DEBRIS RESULTING FROM THIS CONSTRUCTION. IF IMPORT OR EXPORT OF DIRT IS NECESSARY, THE CONTRACTOR WILL OBTAIN AN APPROVAL FOR THE HAULING ROUTE FROM THE CITY ENGINEERING DEPARTMENT. THE HAULING ROUTES WILL BE STRICTLY ADHERED TO BY THE CONTRACTOR AND ALL SUBCONTRACTORS.
- 14. ALL CONSTRUCTION STAKING WILL BE DONE BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
- 15. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL NOTIFY THE ENGINEER, BKF ENGINEERS AT (650) 482-6300 AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- 16. IF BKF ENGINEERS IS RETAINED TO PROVIDE CONSTRUCTION STAKING SERVICES, CONTRACTOR WILL BE PROVIDED WITH ONE SET OF SURVEY STAKES FOR LAYOUT PURPOSES. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PRESERVE AND PROTECT THESE STAKES UNTIL THEY ARE NO LONGER NEEDED. ALL RESTAKING SHALL BE AT THE CONTRACTOR'S EXPENSE REGARDLESS OF THE REASON FOR THE LOSS OF THE FIRST STAKES.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALK, ETC., TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.

- 18. PRIOR TO BIDDING, THE CONTRACTOR WILL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE OVERALL REQUIREMENTS OF THE PROJECT.
- 19. CONTRACTOR AND SUBCONTRACTORS WILL OBTAIN AND PAY FOR REQUIRED PERMITS AND LICENSES TO PERFORM WORK WITHIN THE CITY OF BRISBANE PRIOR TO START OF WORK.
- 20. CONTRACTOR WILL PROVIDE A PERFORMANCE BOND FOR THE PERFORMANCE OF THE WORK PRIOR TO ISSUANCE OF A GRADING PERMIT IN AN AMOUNT TO BE SET BY THE CITY ENGINEER, BUT NO LESS THAN 100 PERCENT OF THE ESTIMATED COST OF THE WORK APPROVED BY THE CITY ENGINEER.
- 21. CONTRACTOR WILL POST 24-HOUR EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, POLICE DEPARTMENT AND FIRE DEPARTMENT ON SITE PRIOR TO START OF CONSTRUCTION.
- 22. NO GRADING WORK WILL BE PERFORMED DURING HOURS OTHER THAN THE NORMAL WORKING HOURS OF THE CITY PUBLIC WORKS DEPARTMENT'S INSPECTION AND MAINTENANCE PERSONNEL WITHOUT THE APPROVAL OF THE CITY ENGINEER AND WITHOUT FIRST OBTAINING A SPECIAL PERMIT FOR AFTER HOURS WORK FROM THE CITY ENGINEER. CONTRACTOR WILL BE RESPONSIBLE FOR PAYING ANY ADDITIONAL FEES REQUIRED BY THE CITY FOR PERFORMING WORK BEYOND THE NORMAL WORKING HOURS. CONTRACTOR WILL CONFORM TO ALL REQUIREMENTS OF THE CITY NOISE ORDINANCE WHEN WORKING IN THE CITY.
- 23. CONTRACTOR WILL BE RESPONSIBLE FOR THE CARE AND PROTECTION OF ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS AND STREETS FROM DAMAGE BY HIS OPERATIONS. CONTRACTOR WILL REPAIR, REPLACE OR CLEAN ANY PART OF THE ABOVE MENTIONED TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER, OR THE ADJACENT PROPERTY OWNERS.
- 24. CONSTRUCTION MATERIALS, EQUIPMENT AND VEHICLES WILL BE PROPERLY MAINTAINED AND MANAGED AT THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT.

III. EXISTING CONDITIONS

- 1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON AN AERIAL SURVEY PERFORMED BY AERO-GEODETIC DATED JANUARY 30, 2018 AND A FIELD SURVEY PERFORMED BY BKF ON AUGUST 30, 2019 AND AS-BUILT SITE CONDITIONS. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR WILL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- 2. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR WILL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.
- 3. ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.
- 4. CONTRACTOR WILL CONTACT USA (UNDERGROUND SERVICES ALERT) TOLL FREE AT 811, AND ALL AFFECTED UTILITY COMPANIES, A MINIMUM OF 2 WORKING DAYS PRIOR TO STARTING WORK TO NOTIFY THEM OF CONSTRUCTION AND REQUEST UTILITIES BE MARKED. POT-HOLING BY THE CONTRACTOR OR UTILITY COMPANY SHALL BE PERFORMED WHERE NEEDED TO VERIFY LOCATION OF UTILITIES.

IV. DEMOLITION

- 1. ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, WHICH ARE NOT SPECIFIED TO BE REMOVED OR ABANDONED, ARE TO REMAIN IN PLACE AND ARE NOT TO BE DISTURBED. CONTRACTOR WILL PROTECT SAID UTILITIES TO REMAIN THROUGHOUT THE COURSE OF CONSTRUCTION. CONTRACTOR WILL ADJUST SAID UTILITIES TO GRADE.

VI. RECORD DRAWINGS

- 1. ON A SET OF PRINTS OF THE FINAL APPROVED CONSTRUCTION DOCUMENTS CONTRACTOR WILL KEEP AN ACCURATE RECORD OF THE FINAL LOCATION, ELEVATION, AND A DESCRIPTION OF ALL WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF ANY EXISTING IMPROVEMENTS ENCOUNTERED WHICH VARY FROM THAT SHOWN. BASED ON SAID INFORMATION PROVIDED BY THE CONTRACTOR, BKF WILL PRODUCE FINAL RECORD DRAWINGS WHICH WILL BE A COMPLETE SET OF REPRODUCIBLE IMPROVEMENT PLANS WITH ALL ADDED NOTATIONS MADE IN INDELIBLE INK AND APPROPRIATELY HIGHLIGHTED. A RECORD DRAWING TITLED "AS-BUILT PLAN", SHALL BE SUBMITTED TO THE CITY PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY.

VII. STATEMENT OF RESPONSIBILITY

- 1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD BOTH DESIGN PROFESSIONAL AND THE CITY OF BRISBANE HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF EITHER THE DESIGN PROFESSIONAL OR THE CITY OF BRISBANE, RESPECTIVELY.

VIII. UNAUTHORIZED CHANGES AND USES

- 1. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND REQUIRE WRITTEN APPROVAL OF THE BRISBANE CITY ENGINEER AND THE PREPARER OF THESE PLANS.

GRADING NOTES

- 1. TOPSOIL, ROOTS, VEGETABLE MATTER, TRASH AND DEBRIS SHALL NOT BE CONSIDERED ACCEPTABLE FILL MATERIAL.
- 2. ANY AREA TO RECEIVE FILL WILL BE SCARIFIED AT LEAST 8-INCHES, MOISTURE CONDITIONED TO AT LEAST 2% ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- 3. CONTRACTOR WILL CLEAR DEBRIS FROM AREAS OF EARTHWORK AND GRADING PRIOR TO PLACING FILL OR STARTING GRADING OPERATIONS. DO NOT CLEAR AREAS OUTSIDE LIMIT OF WORK.
- 4. PLACE FILL MATERIAL IN LIFTS OF 8-INCH MAXIMUM UNCOMPACTED.
- 5. COMPACT FILL TO 90 PERCENT RELATIVE COMPACTION EXCEPT AS NOTED IN THE GEOTECHNICAL LETTER DATED AUGUST 12, 2022. COMPACT FILL TO SLIGHTLY ABOVE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH GEOTECHNICAL REPORT LETTER. DO NOT PLACE, SPREAD OR ROLL FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS. SOILS ENGINEER WILL BE ON SITE AND WILL PERFORM COMPACTION TESTS PERIODICALLY DURING CONSTRUCTION. CONTRACTOR WILL RECOMPACT AREAS OF FILL NOT MEETING COMPACTION REQUIREMENTS AS DIRECTED BY THE SOILS ENGINEER.
- 6. COMPACTION BY FLOODING, PONDING OR ETTING WILL NOT BE PERMITTED.
- 7. FOR BIDDING PURPOSES CONTRACTOR WILL MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES.
- 8. ALL GRADING AND EARTHWORK TO BE PERFORMED IN COMPLIANCE WITH THE SITE MANAGEMENT PLAN (SMP) PREPARED BY LANGAN AND DATED 11 NOVEMBER 2020, AND THE CITY OF BRISBANE MUNICIPAL CODE SECTION 15.01.092 (A COPY AVAILABLE IN THE CITY HALL OFFICE).
- 9. PRIOR TO WORK, LANGAN WILL PERFORM BORINGS TO IDENTIFY DEPTH TO CLAY CAP IN THE WORK AREA. IF GRADING ACTIVITIES DO COME INTO CONTACT WITH OR PENETRATE THE CLAY CAP LAYER, OR ENCOUNTER REFUSE, LANGAN MUST BE NOTIFIED SO THAT THE SAN MATEO COUNTY LOCAL ENFORCEMENT AGENCY IS NOTIFIED AND APPROPRIATE CLAY CAP REPAIR DETAILS CAN BE DRAFTED.
- 10. IF OFF-SITE IMPORTED FILL, SUCH AS RECYCLED BASED ROCK, IS REQUIRED TO ATTAIN THE DESIGN GRADES, IT WILL BE TESTED PRIOR TO IMPORT FOR COMPLIANCE WITH THE ENVIRONMENTAL AND GEOTECHNICAL PARAMETERS AS DESCRIBED IN SMP SECTION 12.0. OFF-SITE IMPORT FILL WILL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND ENVIRONMENTAL ENGINEER PRIOR TO IMPORT TO THE SITE.

UTILITY NOTES

- 1. NO WATER VALVES OR OTHER FACILITIES OWNED BY THE CITY UTILITIES DEPARTMENT WILL BE OPERATED FOR ANY PURPOSE BY THE CONTRACTOR. ALL REQUIRED OPERATION WILL ONLY BE PERFORMED BY AUTHORIZED UTILITIES DEPARTMENT PERSONNEL. THE CONTRACTOR WILL NOTIFY THE UTILITIES DEPARTMENT NOT LESS THAN FORTY- EIGHT (48) HOURS IN ADVANCE OF THE TIME THAT SUCH OPERATION IS REQUIRED.
- 2. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE PUBLIC WORKS DEPARTMENT IF EXISTING WATER, SEWER, GAS MAINS, OR SERVICES ARE DISTURBED OR DAMAGED.
- 3. CONTRACTOR WILL PROTECT ALL UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.
- 4. ALL UTILITY BOXES AND LIDS IN PAVED AREAS WILL BE DESIGNED FOR H-20 LOADING.
- 5. EXISTING PG&E AND TELEPHONE MANHOLES/VAULTS WILL BE ADJUSTED TO GRADE BY THE UTILITY PROVIDER. THE CONTRACTOR WILL COORDINATE THEIR WORK WITH THE APPROPRIATE UTILITY PROVIDER. ALL OTHER UTILITY BOXES WILL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.

SOIL MANAGEMENT

- 1. SITE DEVELOPMENT WILL REQUIRE EXCAVATION AND GRADING OF THE EXISTING OVERBURDEN SOIL. OVERBURDEN SOIL MAY BE REUSED ONSITE OR TRANSFERRED OFFSITE FOR DISPOSAL. SPECIFIC SOIL HANDLING REQUIREMENTS APPLY FOR THE PURPOSES OF SEGREGATING THE SOIL FROM REFUSE (IF ENCOUNTERED) AND CLAY CAP MATERIAL (IF ENCOUNTERED), AND IDENTIFYING AND MANAGING UNANTICIPATED CONDITIONS. THE CONTRACTOR WILL BE FAMILIAR WITH AND RESPONSIBLE FOR SOIL HANDLING REQUIREMENTS PROVIDED IN SMP SECTION 7.0, WHICH ARE REPEATED BELOW.

SOIL HANDLING

- 1. DURING EXCAVATION, OVERBURDEN SOIL, CLAY CAP LAYER MATERIAL AND REFUSE MUST BE SEGREGATED (IF ENCOUNTERED). OVERBURDEN SOIL WILL NEVER BE STOCKPILED WITH OR INCORPORATED WITH CLAY LAYER OR REFUSE MATERIALS (IF ENCOUNTERED). AN ENVIRONMENTAL TECHNICIAN WHO IS A CERTIFIED HAZARDOUS WASTE WORKER (PER 29 CODE OF FEDERAL REGULATIONS [CFR] 1910.120) WILL VISUALLY MONITOR CONSTRUCTION ACTIVITIES TO FACILITATE AND DOCUMENT COMPLIANCE WITH THE SPECIFIED SOIL MANAGEMENT PROCEDURES, OVERSEE OVERBURDEN SOIL SEGREGATION, AND IDENTIFY POTENTIAL UNANTICIPATED CONDITIONS. SOIL HANDLING WILL BE PERFORMED IN ACCORDANCE WITH A SITE-SPECIFIC HSP, TO BE APPROVED BY A CIH RETAINED BY THE GENERAL CONTRACTOR. CONSTRUCTION DEWATERING MANAGEMENT, AND STORM WATER MANAGEMENT REQUIREMENTS OUTLINED IN THIS SMP ALSO APPLY. EXCAVATED OVERBURDEN SOIL WILL BE VISUALLY MONITORED FOR THE PRESENCE OF HAZARDOUS OR OTHER UNACCEPTABLE MATERIALS. SHOULD THE PRESENCE OF HAZARDOUS OR OTHER UNACCEPTABLE MATERIALS BE IDENTIFIED, THE MATERIALS WILL BE HANDLED IN ACCORDANCE WITH THE CONTINGENCY PROCEDURES IDENTIFIED IN SECTION 13.0.

SOIL STOCKPILING

- 1. MATERIAL FROM THE OVERBURDEN SOIL MAY BE STOCKPILED ACCORDING TO INDUSTRY STANDARDS, INCLUDING ESTABLISHED BEST MANAGEMENT PRACTICES (BMPS) FOR EROSION CONTROL. STOCKPILES OF OVERBURDEN SOIL MAY BE PLACED ADJACENT TO THE ACTIVE EXCAVATION SHOULD IT BE REUSED AS BACKFILL WITHIN FIVE BUSINESS DAYS. IF THE STOCKPILE IS TO EXIST ON-SITE LONGER THAN FIVE BUSINESS DAYS, IT WILL BE LOCATED IN A DESIGNATED STOCKPILED AREA AT THE END OF THE WORK DAY. WHEN STOCKPILED MATERIAL IS NOT ACTIVELY BEING HANDLED, TOP SHEETING WILL BE SECURED TO COVER SURFACE AREAS OF THE STOCKPILE TO PREVENT EROSION, DUST CREATION, OR RUN-OFF. STABILIZATION METHODS, SUCH AS APPLICATION OF TOPSOIL, ARE ALSO ACCEPTABLE.

SOIL ON-SITE REUSE

- 1. OVERBURDEN SOIL MAY BE GRADED AND REUSED ONSITE, UNLESS UNANTICIPATED CONDITIONS ARE IDENTIFIED. NO RESTRICTIONS ON OVERBURDEN SOIL REUSE APPLY. IT IS ASSUMED THAT EXISTING OVERBURDEN SOIL MEETS THE GEOTECHNICAL REQUIREMENTS DESCRIBED IN SECTION 12.2.

SOIL OFF-SITE DISPOSAL

- 1. EXCAVATED OVERBURDEN SOIL THAT IS NOT REUSED AT THE SITE MUST BE FULLY PROFILED OFF-SITE REUSE OR DISPOSAL AND MANAGED ACCORDINGLY. SOIL PROPOSED FOR OFF-SITE REUSE OR DISPOSAL MUST BE SAMPLED AS REQUIRED BY THE SELECTED RECEIVING-FACILITY OR OFF-SITE LANDFILL. A LICENSED CONTRACTOR WILL BE HIRED TO HANDLE THE MATERIAL, INCLUDING CONTAINERIZATION AND TRANSPORT FOR OFF-SITE REUSE OR TO AN APPROPRIATELY PERMITTED DISPOSAL FACILITY, IF NECESSARY.

LEGEND

	PROPOSED	EXISTING
BOUNDARY LINE	=====	-----
EASEMENT	=====	-----
STORM DRAIN MAIN	=====	EX 15" SD
SANITARY SEWER MAIN	=====	EX 8" SS
WATER MAIN	=====	EX 6" W
STORM DRAIN	=====	SD
WATER LINE	=====	W
JOINT TRENCH	=====	JT
ELECTRICAL	=====	E
FENCE	=====	X
CATCH BASIN/DROP INLET	=====	=====
MANHOLE	=====	=====
WATER METER	=====	=====
WATER VALVE	=====	=====
FDC	=====	=====
FIRE HYDRANT	=====	=====
STREET LIGHT	=====	=====

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AB	AGGREGATE BASE	NO.	NUMBER
AC	ASPHALT CONCRETE	NTS	NOT TO SCALE
BCDC	SAN FRANCISCO BAY CONSERVATION AND DEVELOPMENT COMMISSION	PERF	PERFORATED PIPE
BM	BENCHMARK	POC	POINT OF CONNECTION
BFP	BACKFLOW PREVENTER	PL	PROPERTY LINE
BOL	BOLLARD	PR	PROPOSED
BOW	BOTTOM OF WALL	PT	POINT
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	PVI	POINT OF VERTICAL INTERSECTION
BVCS	BEGINNING OF VERTICAL CURVE STATION	S	SOUTH
BW	BACK OF WALK	SD	STORM DRAIN
DIA	DIAMETER	SDCB	STORM DRAIN CATCH BASIN
DIP	DUCTILE IRON PIPE	SLP	SEE LANDSCAPE PLANS
E	EAST	SS	SANITARY SEWER
ELEC	ELECTRIC	SSCO	SANITARY SEWER CLEAN OUT
EC	END OF CURVE	SSP	SEE STRUCTURAL PLANS
ELEV	ELEVATION	ST	STREET
EP	EDGE OF PAVEMENT	STA	STATION
EVCE	END OF VERTICAL CURVE ELEVATION	STD	STANDARD
EVCS	END OF VERTICAL CURVE STATION	TOW	TOP OF WALL
EX	EXISTING	TP	TOP OF PAVEMENT
EG	EXISTING GRADE	TYP	TYPICAL
ES	EDGE OF SHOULDER	VERT	VERTICAL
FDC	FIRE DEPT CONNECTION	W OR WL	WATER LINE
FH	FIRE HYDRANT	WM	WATER METER
FL	FLOW LINE	WV	WATER VALVE
GB	GRADE BREAK		
HDPE	HIGH DENSITY POLYETHYLENE		
INV	INVERT		
JT	JOINT TRENCH		
LF	LINEAR FEET		
LVC	LENGTH OF VERTICAL CURVE		
MAX	MAXIMUM		
MIN	MINIMUM		
N	NORTH		

ATTACHMENT E

PHASE 1

CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:

1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:



CALIFORNIA

1000 MARINA BOULEVARD
NOTES, LEGEND, AND ABBREVIATIONS

SAN MATEO COUNTY
CITY OF BRISBANE

Revisions		No.	Date
1	PLAN CHECK RESPONSE	1	10/26/2022
2	PLAN CHECK RESPONSE 3	2	01/04/2023
3	PLAN CHECK RESPONSE 4	3	01/17/2023
4	PLAN CHECK RESPONSE 4	4	08/24/2022

Drawing Number:

C0.1



Know what's below.
Call before you dig.

DRAWING NAME: \\bkf-r-c\vol4\2017\170365_3000_Mar\in\ENG\1000_Mar\in\CD\LOTS\C1.0 EXISTING CONDITIONS.dwg
PLOT DATE: 01-30-23 PLOTTED BY: manu

HWY 101 NB RAMP

PROPERTY LINE, TYP

EX 16" W
EX 18" SD
EX 6" FM

EX 8" W
EX 8" W

EX 10" PG&E
EASEMENT

EXISTING PARKING COUNT

	AT-GRADE	GARAGE	
PARKING STALLS	283	19	
ADA STALLS	7	1	
TOTAL STALLS	290	20	310

	AT-GRADE
COMPACT STALLS	202
STANDARD STALLS	88
TOTAL STALLS	290

PARKING STALL COUNT

SEE SHEET C1.1 FOR CONTINUATION

3500 MARINA BLVD

1000 MARINA BLVD

MARINA BLVD

SCOPE OF WORK TO BE DONE
BY 3500 MARINA PROJECT

EX 5' LANDSCAPE
EASEMENT

NOTES:

- EXISTING CONDITIONS OF PARKING STALLS AND SITE IMPROVEMENT WILL BE DONE AS PART OF 3500 MARINA BLVD PERMIT SET.
- EXISTING UTILITIES SHOWN IS NOT A FULL CATALOG OF UNDERGROUND UTILITIES. UTILITIES SHOWN ON THIS PLAN ARE FROM VARIOUS SOURCES. CONTRACTOR IS TO NOTIFY ENGINEER WHEN ENCOUNTERING UTILITIES AND EXPECT ALL UTILITIES TO BE ACTIVE.
- EXISTING EASEMENT INFORMATION IS FROM VARIOUS SOURCES. BKF ENGINEERS DID NOT CONFIRM THE EXISTING EASEMENTS.
- SEE LANDSCAPE DRAWINGS FOR LOCATION OF EXISTING TREES.
- COMPACT STALLS SHOWN ON THIS SHEET ARE 8' IN WIDTH AND 14' IN LENGTH. EXISTING STANDARD STALLS SHOWN ON THIS SHEET ARE 8.5' IN WIDTH AND 16' IN LENGTH. EXISTING STALL DIMENSIONS ARE BASED ON THE 1000 SIERRA POINT PARKWAY RECORD DRAWINGS DATED SEPTEMBER 14, 1981.



KEY MAP
NTS

ATTACHMENT E

PHASE 1

CIVIL ENGINEER:
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD
EXISTING CONDITIONS PLAN

SAN MATEO COUNTY

CITY OF BRISBANE

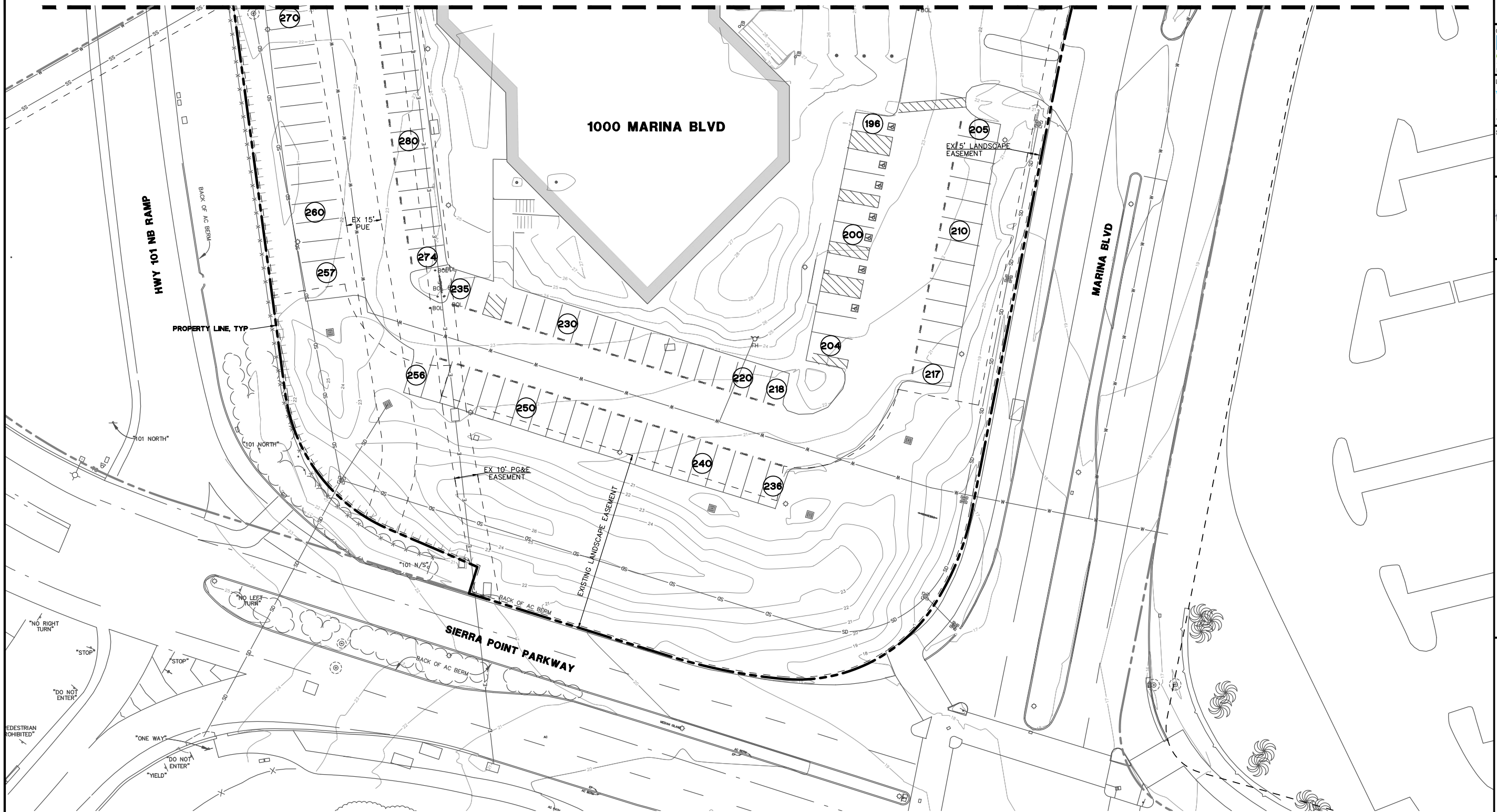
CALIFORNIA

Date	08/24/2022	No.	5	Revisions
Scale	1"=20'			
Design	AR			PLAN CHECK RESPONSE 5 01/30/2023
Drawn	AR			PLAN CHECK RESPONSE 4 01/17/2023
Approved	LKY			PLAN CHECK RESPONSE 3 01/04/2023
Job No	20170365-11			PLAN CHECK RESPONSE 2 12/02/2022
				PLAN CHECK RESPONSE 10/26/2022

Drawing Number:


C1.0

SEE SHEET C1.0 FOR CONTINUATION

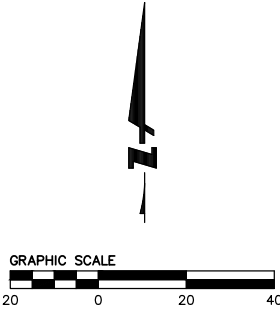


	AT-GRADE	GARAGE	
PARKING STALLS	283	19	
ADA STALLS	7	1	
TOTAL STALLS	290	20	310

	AT-GRADE
COMPACT STALLS	202
STANDARD STALLS	88
TOTAL STALLS	290

 PARKING STALL COUNT

NOTE:
SEE SHEET C1.0 FOR NOTES.



KEY MAP

NTS

Date	08/24/2022	No.	Revisions
Scale	1"=20'	5	PLAN CHECK RESPONSE 5
Design	AR	4	PLAN CHECK RESPONSE 4
Drawn	AR	3	PLAN CHECK RESPONSE 3
Approved	LKY	2	PLAN CHECK RESPONSE 2
Job No	20170365-11	1	PLAN CHECK RESPONSE
			10/26/2022

Drawing Number:

C1.1

1000 MARINA BOULEVARD

EXISTING CONDITIONS PLAN

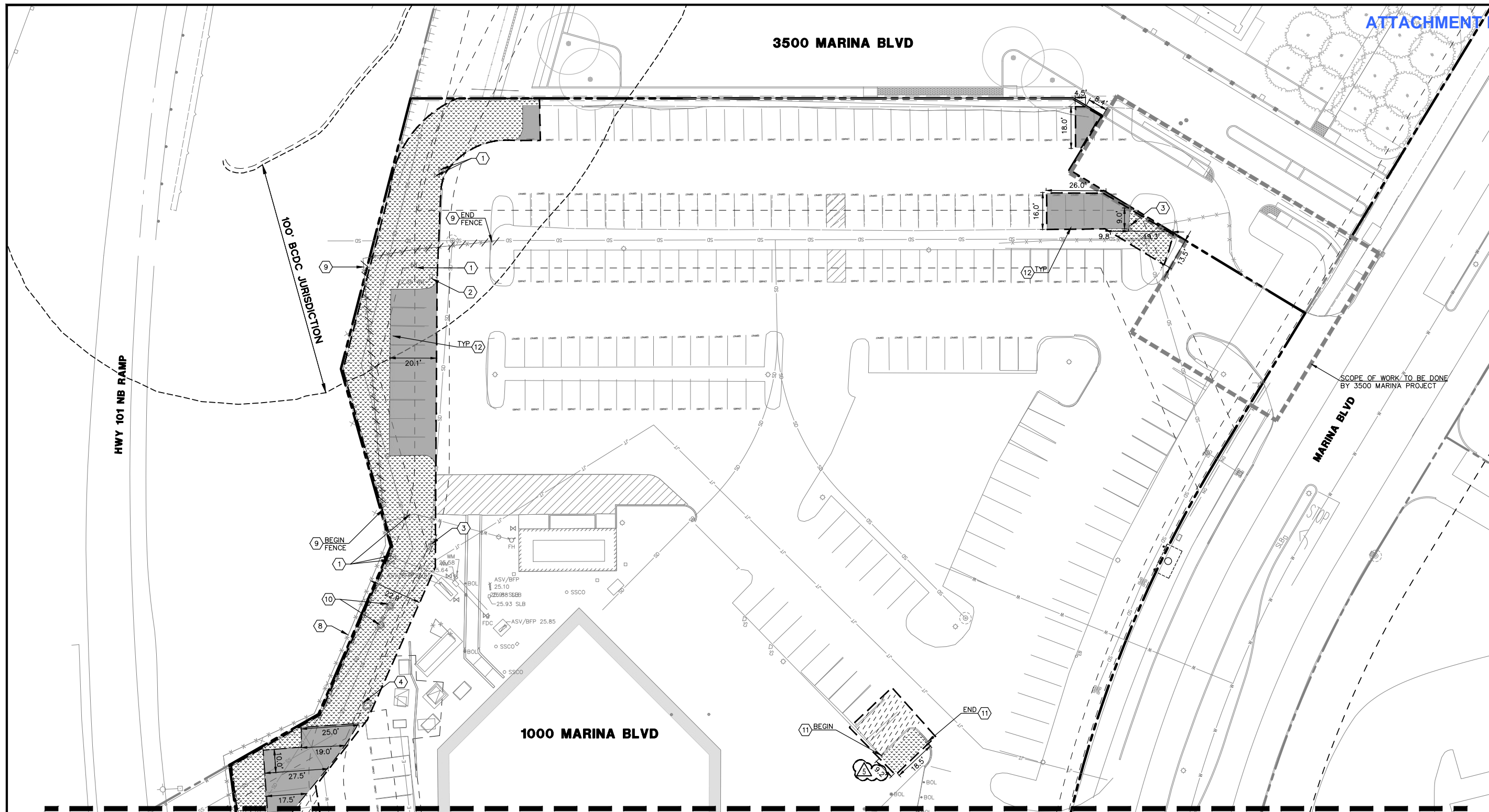
CITY OF BRISBANE

SAN MATEO COUNTY

CALIFORNIA

CIVIL ENGINEER:
TKF
255 Shoreline Drive,
Redwood City, CA 94061
LANDSCAPE ARCHITECT:
TSL
1015 Camelia St. Berkeley, CA 94710
STRUCTURAL ENGINEER:





SEE SHEET C2.1 FOR CONTINUATION







	DEMOLITION TABLE
①	PROTECT WATER VALVE
②	PROTECT WATER METER
③	PROTECT STORM DRAIN MANHOLE
④	PROTECT LIFT STATION CONTROL BOX
⑤	PROTECT LIGHT POLE/ FIXTURE
⑥	REMOVE SDCB/SDDI, SEE NOTE 2
⑦	PROTECT ELECTRICAL VAULT
⑧	PROTECT FENCE
⑨	REMOVE FENCE

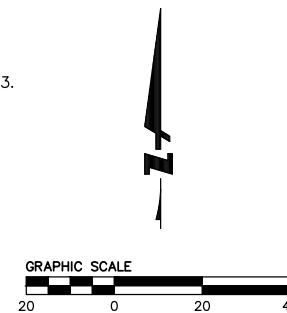
⑩	PROTECT SANITARY SEWER MANHOLE
⑪	REMOVE EXISTING CURB/AC BERM
⑫	SALVAGE/RELOCATE WHEEL STOP
⑬	RELOCATE LIGHT POLE/ FIXTURE
⑭	SALVAGE/RELOCATE EMERGENCY SIGN
⑮	PROTECT BFP
⑯	PROTECT SDCB/SDDI
⑰	PROTECT SIGN

NOTES:

1. PROTECT ALL UNDERGROUND UTILITIES UON.
2. EXISTING STORM DRAIN STRUCTURES ARE INLETS THAT ARE INTENTIONALLY COVERED AND ARE FILLED WITH DIRT. REMOVE STRUCTURES AND PIPES IF PIPES ARE AT LEAST 3.5 FEET IN DEPTH.
3. REFER TO LANDSCAPE PLANS FOR REMOVAL OF TREES. REMOVE ALL ROCKS AND SCARIFY TO A DEPTH OF AT LEAST 8-INCHES, MOISTURE-CONDITIONED TO AT LEAST TWO PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION.
4. DEMOLITION WITHIN EXISTING UTILITIES SHOULD BE DONE WITH CARE. DEPTH OF EXISTING UTILITIES VARIES. NO HEAVY EQUIPMENT IS TO BE DRIVEN ON EXISTING UTILITIES THAT ARE TO REMAIN.
5. REMOVAL OF EXISTING WHEEL STOPS AND EMERGENCY SIGNS ARE TO BE DONE WITH CARE. WHEEL STOPS AND EMERGENCY SIGNS AND POST TO BE REUSED AND RELOCATED ON SITE. CONCRETE FOUNDATION OF THE SIGN POSTS TO BE REMOVED.

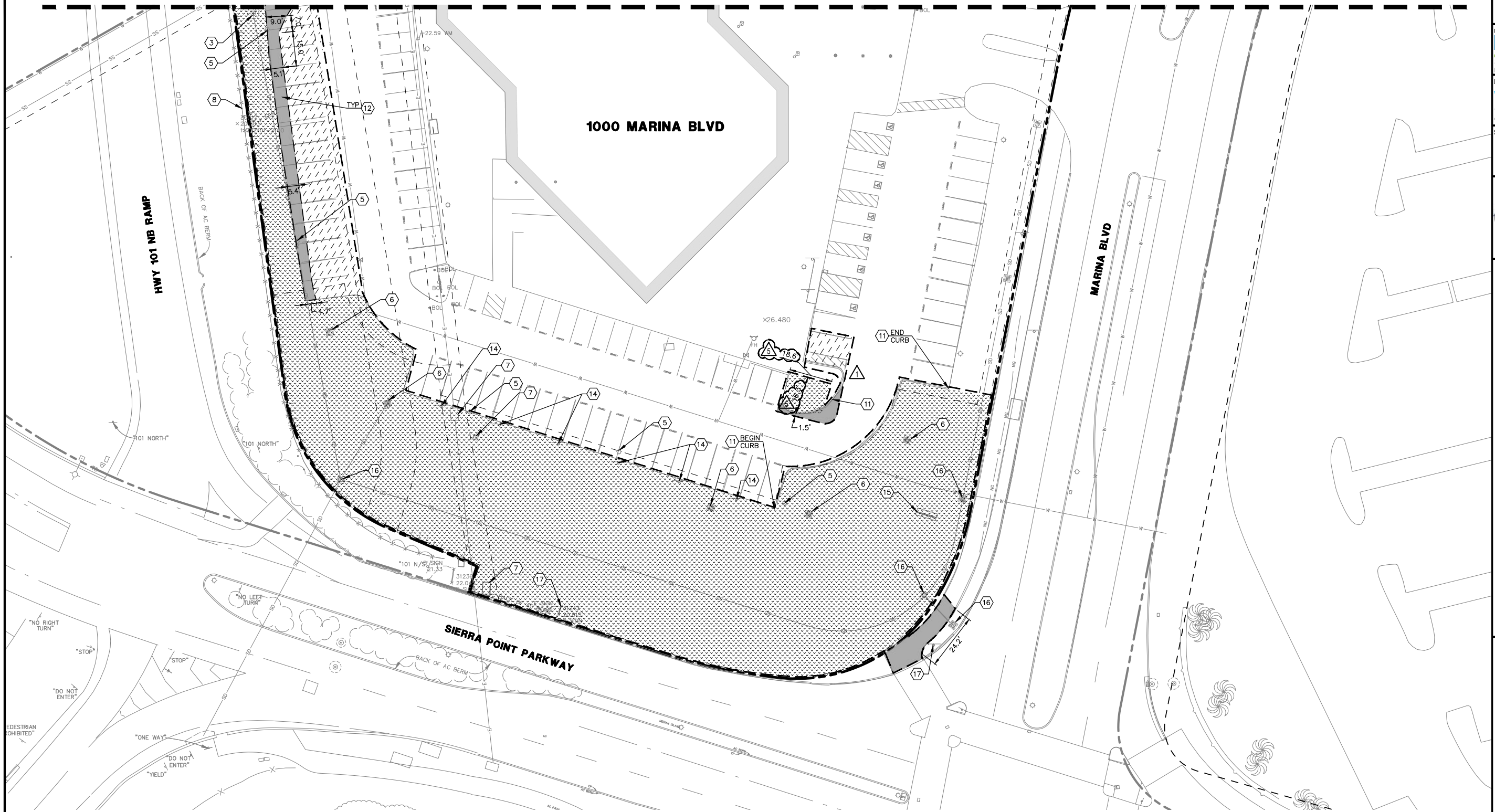
LEGEND:

	AC TO BE REMOVED
	PAVEMENT STRIPING TO BE REMOVED
	LANDSCAPE TO BE REMOVED, SEE NOTE 3.
	LIMIT OF DEMOLITION/SAWCUT
	PROPERTY LINE
	EXISTING EASEMENT LINE



KEY MAP
NTS

SEE SHEET C2.0 FOR CONTINUATION



HWY 101 NB RAMP

MARINA BLVD







SIERRA POINT PARKWAY

	DEMOLITION TABLE
①	PROTECT WATER VALVE
②	PROTECT WATER METER
③	PROTECT STORM DRAIN MANHOLE
④	PROTECT LIFT STATION CONTROL BOX
⑤	PROTECT LIGHT POLE/ FIXTURE
⑥	REMOVE SDCB/SDDI, SEE NOTE 2
⑦	PROTECT ELECTRICAL VAULT
⑧	PROTECT FENCE
⑨	REMOVE FENCE

10	PROTECT SANITARY SEWER MANHOLE
11	REMOVE EXISTING CURB/AC BERM
12	SALVAGE/RELOCATE WHEEL STOP
13	RELOCATE LIGHT POLE/ FIXTURE
14	SALVAGE/RELOCATE EMERGENCY SIGN
15	PROTECT BFP
16	PROTECT SDCB/SDDI
17	PROTECT SIGN

NOTE:
SEE SHEET C2.1 FOR NOTES.

LEGEND:

- | | |
|---|--------------------------------------|
|  | AC TO BE REMOVED |
|  | PAVEMENT STRIPPING TO BE REMOVED |
|  | LANDSCAPE TO BE REMOVED, SEE NOTE 3. |
|  | LIMIT OF DEMOLITION/SAWCUT |
|  | PROPERTY LINE |
|  | EASEMENT LINE |



KEY MAP

NTS

1000 MARINA BOULEVARD
DEMOLITION PLAN

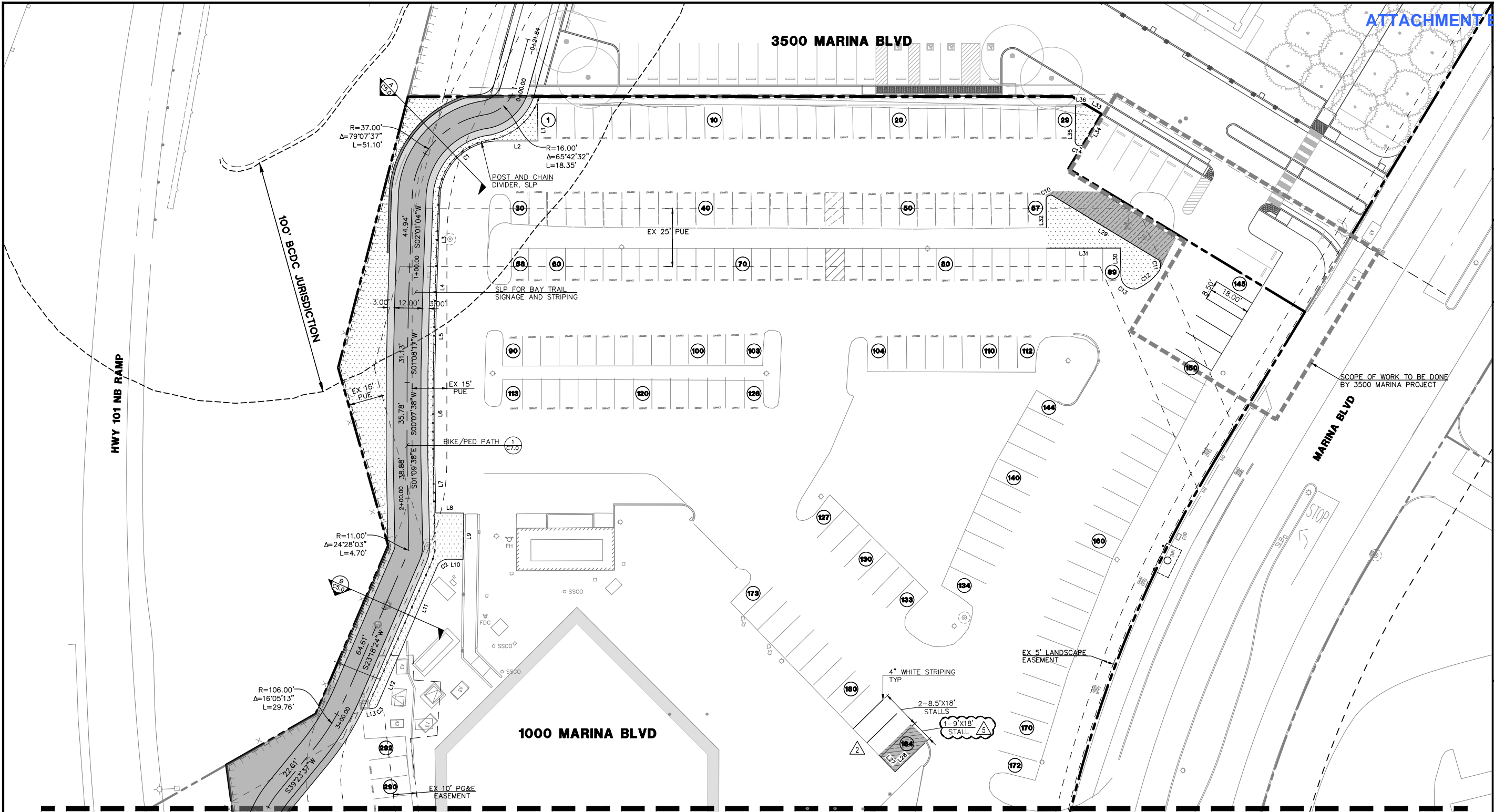
CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Date	08/24/2022	No	Revisions
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Design	AR	4	PLAN CHECK RESPONSE 4
Drawn	AR	3	PLAN CHECK RESPONSE 3
Approved	LKY	2	PLAN CHECK RESPONSE 2
Job No	20170365-11	1	PLAN CHECK RESPONSE
			10/26/2022

Drawing Number:

C2.1

DRAWING NAME: \\bkf-rvc\vol14\2017\170365_3000_Mar\ina\CD\PLOTS\C3.0 SITE PLAN.dwg
PLOT DATE: 01-30-23 PLOTTED BY: menu



LINE TABLE		
NO.	BEARING	LENGTH
L1	S01°01'17"E	16.10'
L2	N90°00'00"W	17.76'
L3	S02°03'31"W	40.34'
L4	S01°54'34"W	6.14'
L5	S01°15'08"W	31.12'
L6	S00°04'21"W	35.76'
L7	S01°00'05"E	25.12'
L8	S89°44'40"E	12.13'
L9	S00°50'22"W	20.00'
L10	N89°44'40"W	6.59'
L11	S23°17'52"W	44.63'
L12	S23°18'24"W	20.57'
L13	S81°59'52"W	1.34'
L14	S07°36'41"E	105.97'
L15	S72°20'49"E	166.71'
L16	S72°35'53"E	6.66'

LINE TABLE		
NO.	BEARING	LENGTH
L17	N17°24'14"E	14.00'
L18	S17°24'26"W	14.00'
L19	S72°35'46"E	0.97'
L20	S11°04'14"W	17.72'
L21	S11°17'54"W	2.43'
L22	S72°35'53"E	13.10'
L23	S11°04'14"W	12.56'
L24	N72°35'37"W	0.42'
L25	N17°40'39"E	16.02'
L26	N72°38'53"W	18.00'
L27	S44°17'38"E	9.99'
L28	N45°42'22"E	18.00'
L29	S58°45'04"E	53.24'
L30	N01°21'59"W	12.35'
L31	S89°56'57"W	31.81'
L32	N00°40'50"W	12.06'

LINE TABLE		
NO.	BEARING	LENGTH
L33	S58°13'14"E	7.66'
L34	S31°13'41"W	14.81'
L35	N00°44'18"E	15.70'
L36	S89°13'15"E	4.67'

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	25.28'	82°04'11"	36.22'
C2	5.00'	68°18'28"	5.96'
C3	2.44'	61°41'19"	2.63'
C4	60.02'	65°31'02"	68.63'
C5	3.50'	144°07'11"	8.80'
C6	50.00'	96°20'00"	84.07'
C7	5.00'	89°59'01"	7.85'
C8	5.01'	96°34'42"	8.44'
C9	1.00'	90°16'15"	1.58'
C10	2.00'	120°54'38"	4.22'
C11	4.27'	68°01'46"	5.08'
C12	22.27'	32°43'05"	12.72'
C13	5.76'	95°43'09"	9.63'
C14	2.00'	149°30'48"	5.22'

NOTES:

- REFER TO LANDSCAPE DRAWINGS FOR DECOMPOSED GRANITE SECTION AND STEEL EDGE FOR BAY TRAIL.
- REFER TO LANDSCAPE DRAWINGS FOR SIGNAGE AND STRIPING OF BAY TRAIL.
- REFER TO LANDSCAPE DRAWINGS FOR PROPOSED TREE LOCATIONS AND PLANTING.
- REFER TO GEOTECHNICAL SUPPLEMENTAL RECOMMENDATION LETTER FOR EARTHWORK PLACEMENT. REFER TO THE SITE MANAGEMENT PLAN (SMP) PREPARED BY LANGAN AND DATED 11 NOVEMBER 2020 FOR SOIL HANDLING REQUIREMENTS.

1000 MARINA BOULEVARD PROPOSED PARKING COUNT:

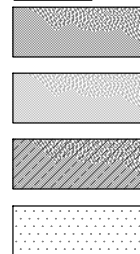
	AT-GRADE	GARAGE
PARKING STALLS	285	19
ADA STALLS	7	1
TOTAL STALLS	292	20

NEW STALLS	16
REPLACED STALLS	20

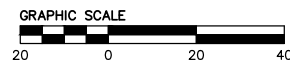
	AT-GRADE
COMPACT STALLS	202
STANDARD STALLS	90
TOTAL STALLS	292

SEE SHEET C3.1 FOR CONTINUATION

LEGEND:



- BAY TRAIL PAVEMENT SECTION
SEE DETAIL 1/C7.0
TOTAL AREA: 10,448 / AREA SHOWN ON THIS SHEET: 4,870 SF
- DECOMPOSED GRANITE SHOULDER, SLP
- VEHICULAR PAVEMENT SECTION
SEE DETAIL 2/C7.0
TOTAL AREA: 4,097 SF / AREA SHOWN ON THIS SHEET: 776 SF
- LANDSCAPE AREA, SLP
- PROPERTY LINE
- EXISTING EASEMENT LINE
- PARKING COUNT



KEY MAP
NTS

ATTACHMENT E

PHASE 3

CIVIL ENGINEER:
T.L.F.
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
T.L.S.
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD

SITE PLAN

SAN MATEO COUNTY

CITY OF BRISBANE

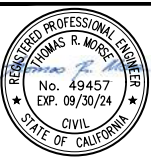
Revisions	
No.	Revisions
5	PLAN CHECK RESPONSE 5
4	PLAN CHECK RESPONSE 4
3	PLAN CHECK RESPONSE 3
2	PLAN CHECK RESPONSE 2
1	PLAN CHECK RESPONSE

Date	08/24/2022
Scale	1"=20'
Design	AR
Drawn	AR
Approved	LKY
Job No	20170365-11

Drawing Number:

C3.0

CIVIL ENGINEER:
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:



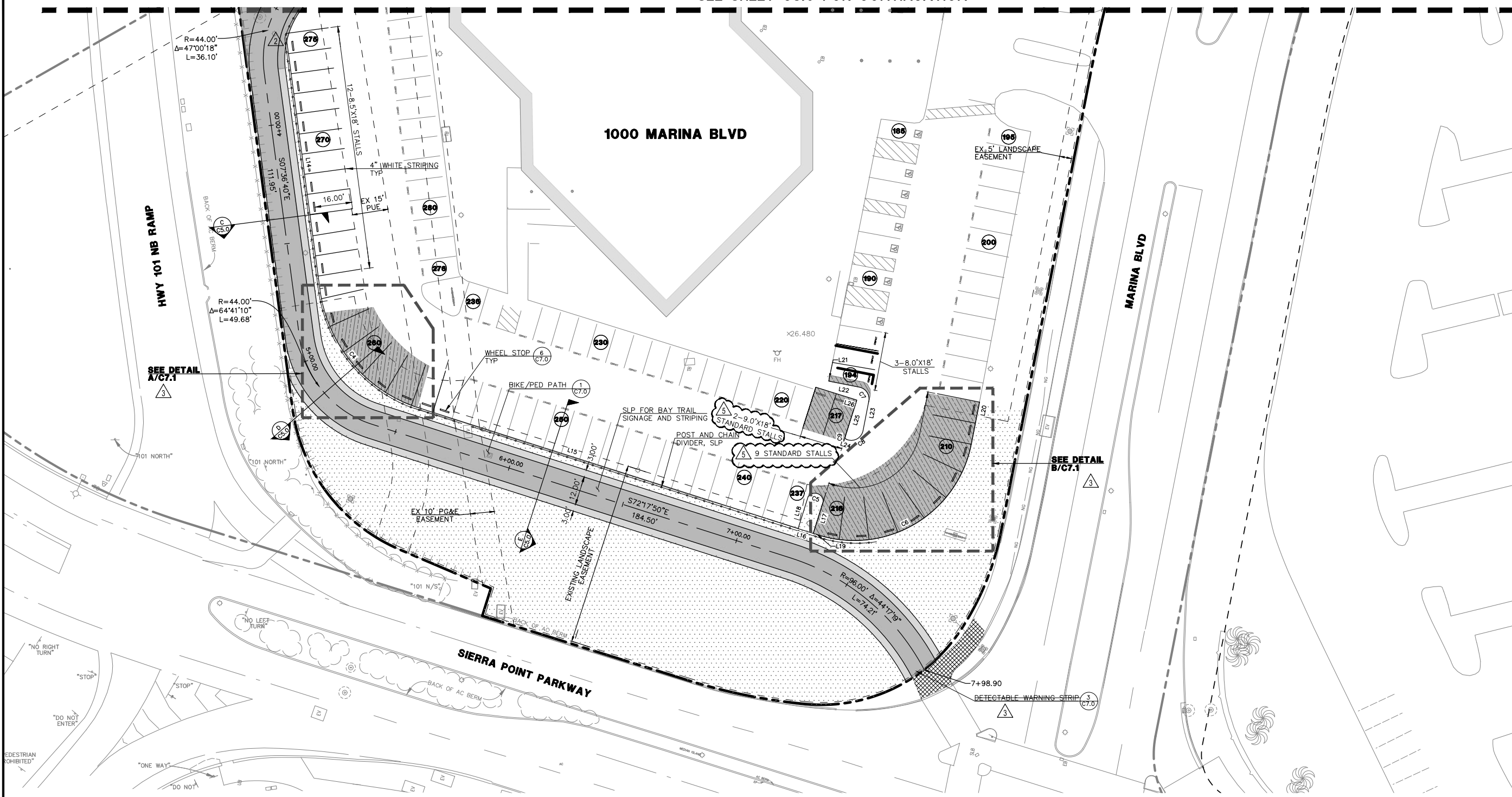
1000 MARINA BOULEVARD
SITE PLAN

CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Revisions		No.	Date	By	Check
PLAN CHECK RESPONSE 5		5	01/30/2023		
PLAN CHECK RESPONSE 4		4	01/17/2023		
PLAN CHECK RESPONSE 3		3	01/04/2023		
PLAN CHECK RESPONSE 2		2	12/02/2022		
PLAN CHECK RESPONSE		1	10/26/2022		

Drawing Number: **C3.1**

SEE SHEET C3.0 FOR CONTINUATION



LINE TABLE			LINE TABLE			LINE TABLE			CURVE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	RADIUS	DELTA
L1	S01°01'17"E	16.10'	L17	N17°24'14"E	14.00'	L33	S58°13'14"E	7.66'	C1	25.28'	82°04'11"
L2	N90°00'00"W	17.76'	L18	S17°24'26"W	14.00'	L34	S31°13'41"W	14.81'	C2	5.00'	68°18'28"
L3	S02°03'31"W	40.34'	L19	S72°35'46"E	0.97'	L35	N00°44'18"E	15.70'	C3	2.44'	61°41'19"
L4	S01°54'34"W	6.14'	L20	S11°04'14"W	17.72'	L36	S89°13'15"E	4.67'	C4	60.02'	65°31'02"
L5	S01°15'08"W	31.12'	L21	S11°17'54"W	2.43'				C5	3.50'	144°07'11"
L6	S00°04'21"W	35.76'	L22	S72°35'37"E	13.10'				C6	50.00'	96°20'00"
L7	S01°00'05"E	25.12'	L23	S11°04'14"W	12.56'				C7	5.00'	89°59'01"
L8	S89°44'40"E	12.13'	L24	N72°35'37"W	0.42'				C8	5.01'	96°34'42"
L9	S00°50'22"W	20.00'	L25	N17°40'39"E	16.02'				C9	1.00'	90°16'15"
L10	N89°44'40"W	6.59'	L26	N72°38'53"W	18.00'				C10	2.00'	120°54'38"
L11	S23°17'52"W	44.63'	L27	S44°17'38"E	9.99'				C11	4.27'	68°01'46"
L12	S23°18'24"W	20.57'	L28	N45°42'22"E	18.00'				C12	22.27'	32°43'05"
L13	S81°59'52"W	1.34'	L29	S58°45'04"E	53.24'				C13	5.76'	95°43'09"
L14	S07°36'41"E	105.97'	L30	N01°21'59"W	12.35'				C14	2.00'	149°30'48"
L15	S72°20'49"E	66.71'	L31	S89°56'57"W	31.81'						
L16	S72°35'53"E	6.66'	L32	N00°40'50"W	12.06'						

NOTE:
SEE C3.0 FOR NOTES.

1000 MARINA BOULEVARD PROPOSED PARKING COUNT:

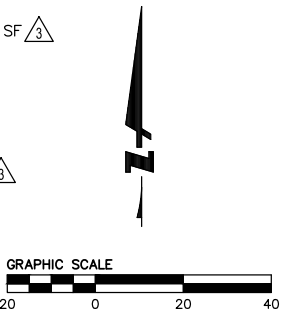
	AT-GRADE	GARAGE
PARKING STALLS	285	19
ADA STALLS	7	1
TOTAL STALLS	292	20

NEW STALLS: 16
REPLACED STALLS: 20

	AT-GRADE
COMPACT STALLS	202
STANDARD STALLS	90
TOTAL STALLS	292


LEGEND:

- MARINA BLVD WALKWAY
REPLACE IN KIND
- BAY TRAIL PAVEMENT SECTION
SEE DETAIL 1/C7.0
TOTAL AREA: 10,448 SF / AREA SHOWN ON THIS SHEET: 5,578 SF
- DECOMPOSED GRANITE SHOULDER, SLP
- VEHICULAR PAVEMENT SECTION
SEE DETAIL 2/C7.0
TOTAL AREA: 4,097 / AREA SHOWN ON THIS SHEET: 3,321 SF
- LANDSCAPE AREA, SLP
- PROPERTY LINE
- EXISTING EASEMENT LINE
- PARKING COUNT





LEGEND:

- GRAPHIC SCALE**
- 
- 20 0 20 40



DRAWING NAME: \\BKF-rs\c\vol\4\2017\170365_3000_Mar\eng\1000_Mar\1000_Mar\CD\PLOTS\C4.0 GRADING PLAN.dwg
PLOT DATE: 01-30-23 PLOTTED BY: manu

SEE SHEET C4.0 FOR CONTINUATION

ATTACHMENT E

PHASE 1

CIVIL ENGINEER:
111 F
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
T.L.S.
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:

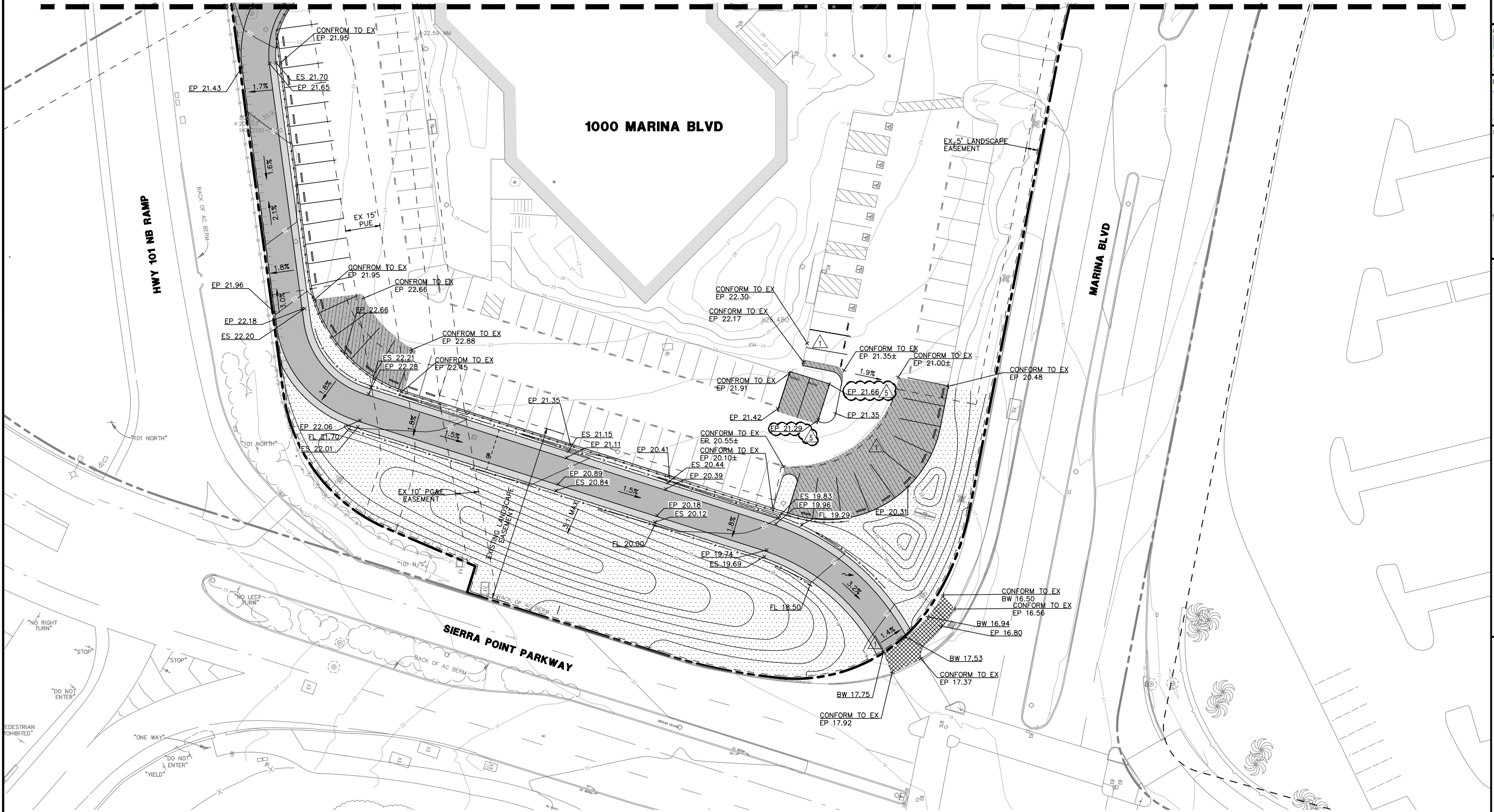


1000 MARINA BOULEVARD
GRADING PLAN
SAN MATEO COUNTY
CITY OF BRISBANE

Revisions	
No.	Revisions
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4	PLAN CHECK RESPONSE 4
3	PLAN CHECK RESPONSE 3
2	PLAN CHECK RESPONSE 2
1	PLAN CHECK RESPONSE

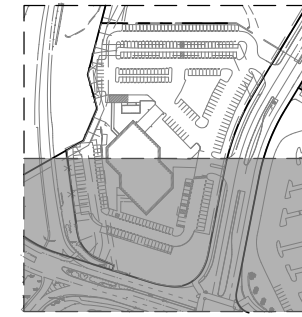
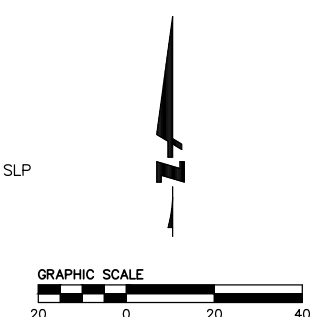
Date	08/24/2022
Scale	1"=20'
Design	AR
Drawn	AR
Approved	LKY
Job No	20170365-11

Drawing Number:
C4.1



EARTHWORK QUANTITIES:	
CUT MATERIAL	1,724 CY
FILL MATERIAL	222 CY
NET EXPORT	1,502 CY

LEGEND:	
	MARINA BLVD WALKWAY REPLACE IN KIND
	BAY TRAIL PAVEMENT SECTION SEE DETAIL 1/C7.0
	DECOMPOSED GRANITE SHOULDER, SLP
	VEHICULAR PAVEMENT SECTION SEE DETAIL 2/C7.0
	LANDSCAPE AREA, SLP
	PROPERTY LINE
	EXISTING EASEMENT LINE

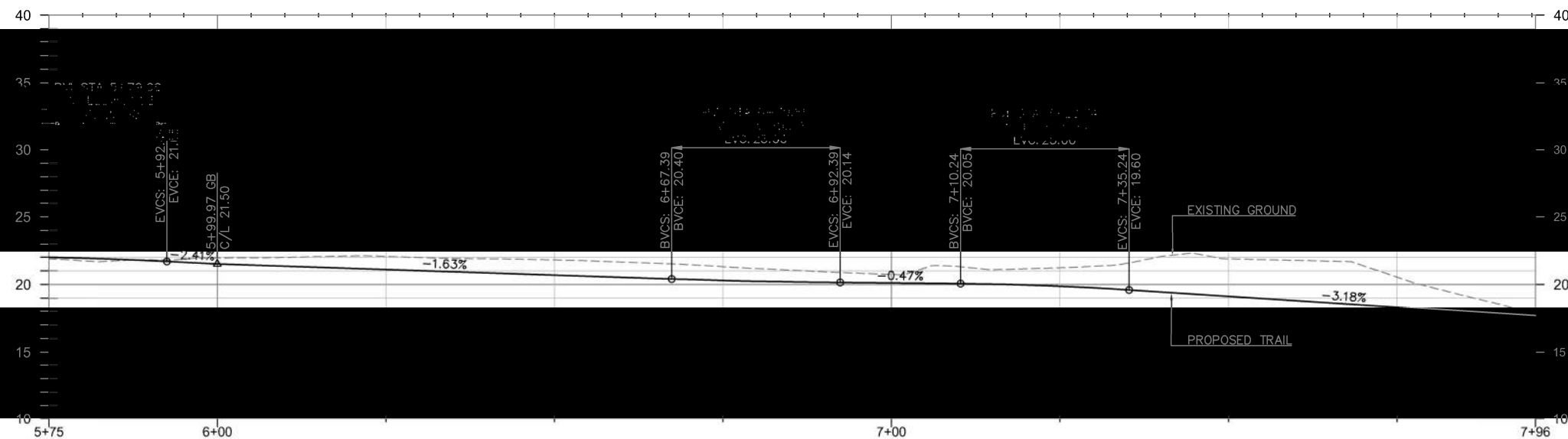
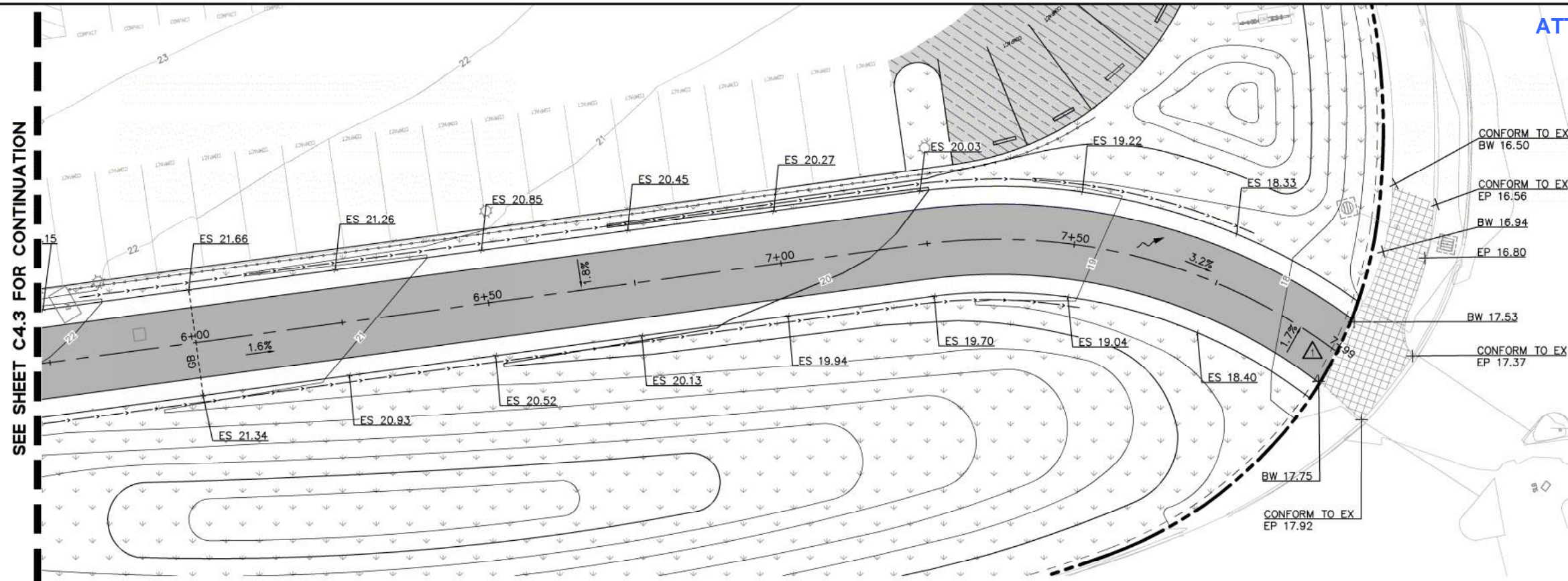


KEY MAP
NTS

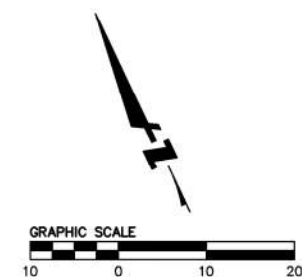
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PLOT DATE: 01-13-23 PLOTTED BY:



C4.3



PROFILE
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.



KEY MAP
NTS

PHASE

CIVIL ENGINEER:
1111 F
255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
T.L.S.
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:

REGISTERED PROFESSIONAL ENGINEER
THOMAS R. MORSE
No. 49457
EXP. 09/30/24
CIVIL
STATE OF CALIFORNIA

1000 MARINA BOULEVARD

SECTIONS

SAN MATEO COUNTY

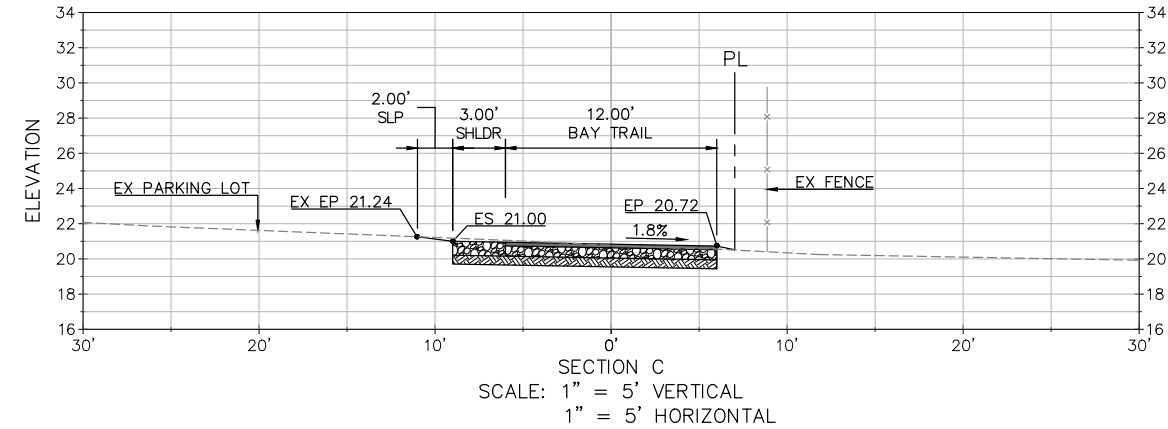
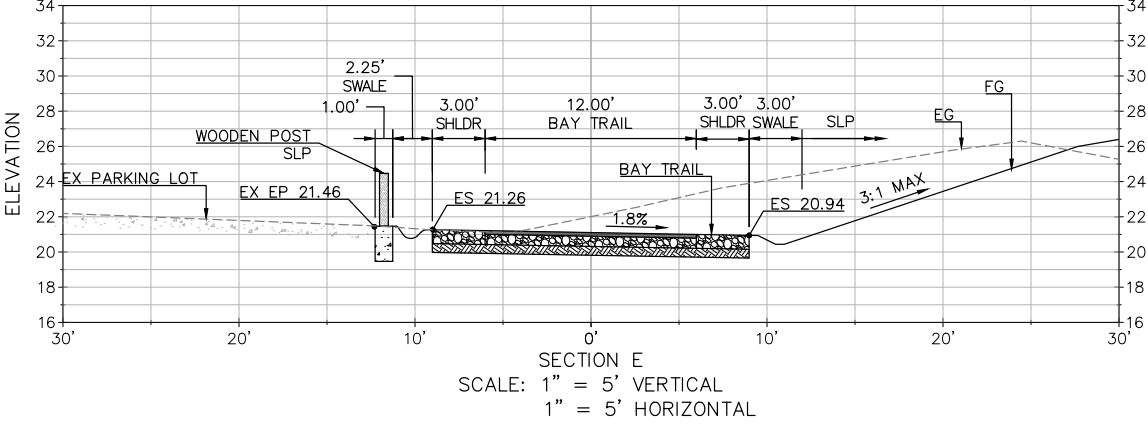
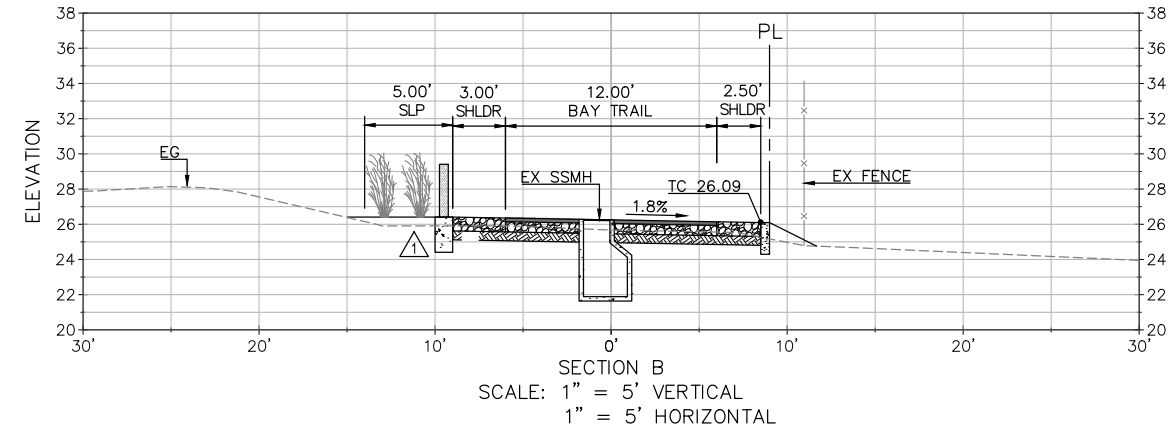
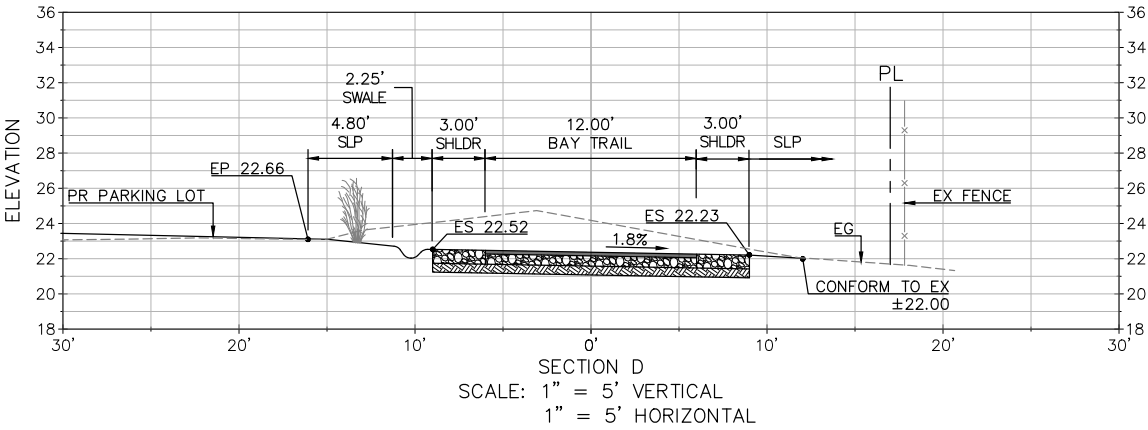
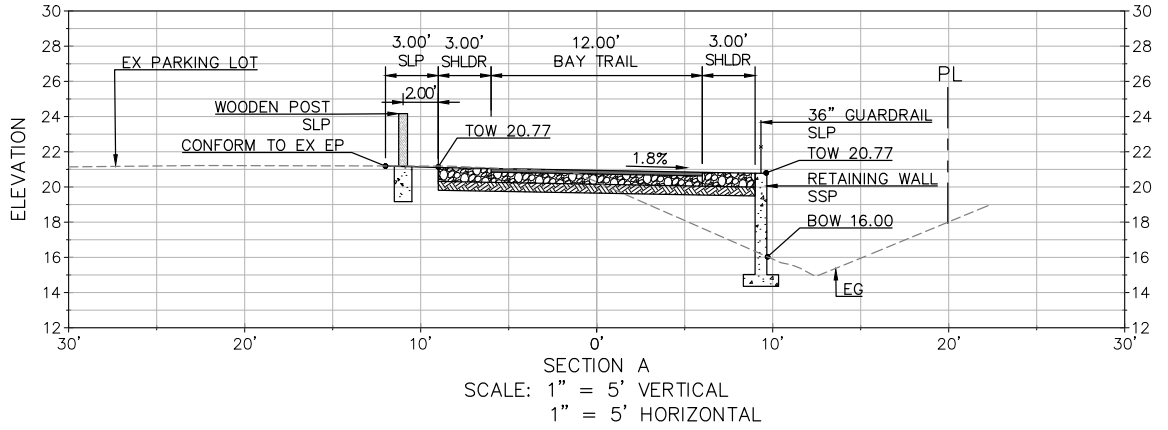
CITY OF BRISBANE

CALIFORNIA

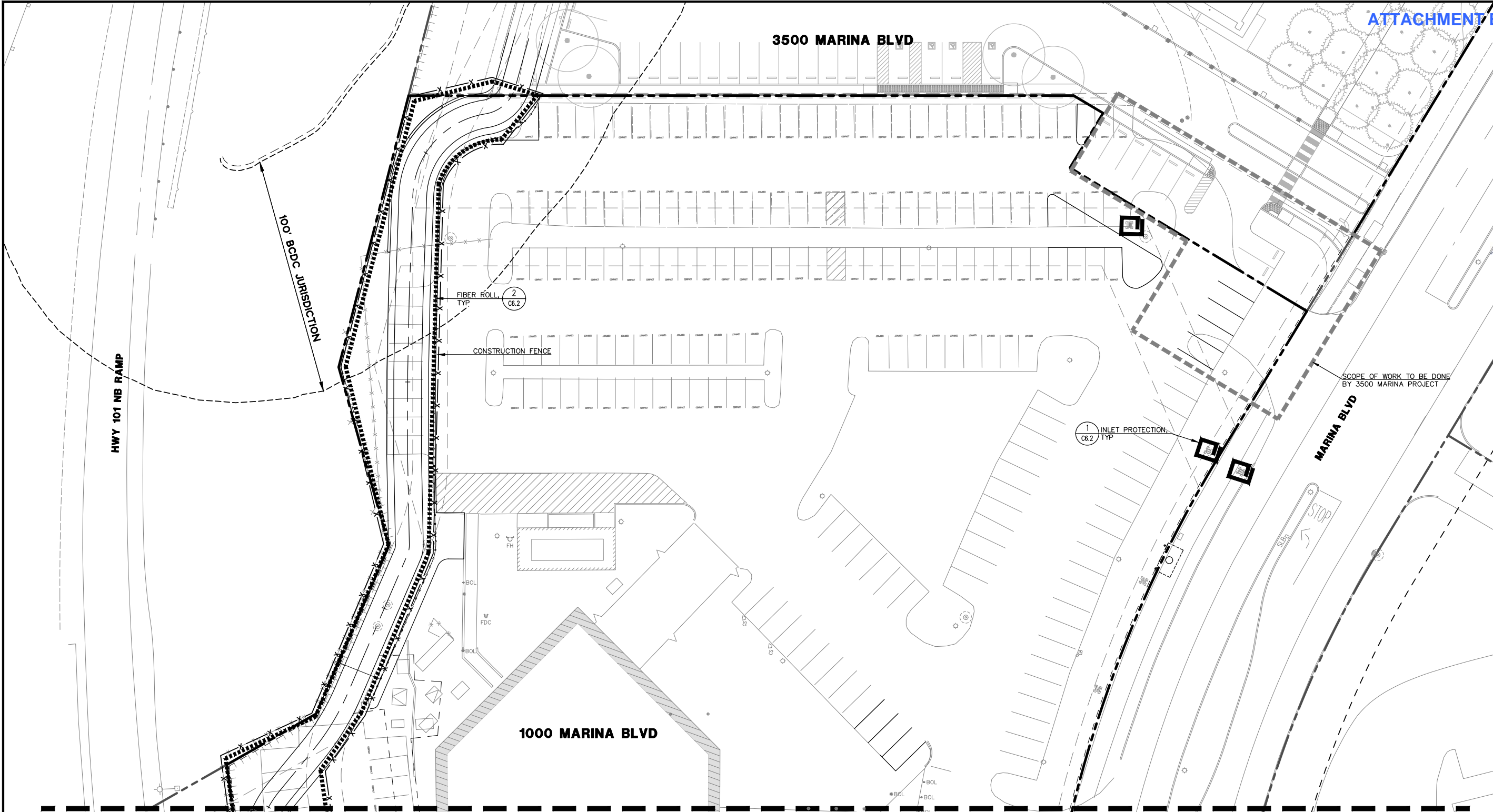
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Date	08/24/2022
Scale	1"=20'
Design	AR
Drawn	AR
Approved	LKY
Job No	20170365-11
Drawing Number:	

4	PLAN CHECK RESPONSE 4	01/17/2023
3	PLAN CHECK RESPONSE 3	01/04/2023
1	PLAN CHECK RESPONSE	10/26/2022

C5.0



DRAWING NAME: \\bkf-rs\vol4\2017\170365_3000_Marina\ENG\1000_Marina\CD\LOTS\C6.0 EROSION CONTROL PLAN.dwg
PLOT DATE: 01-13-23 PLOTTED BY: manu



SEE SHEET C6.1 FOR CONTINUATION

LEGEND:

- x — CONSTRUCTION FENCE
- FIBER ROLL
- INLET PROTECTION

GRAPHIC SCALE

20 0 20 40

North Arrow

KEY MAP

NTS

PHASE
EPA IMPROVEMENTS

CIVIL ENGINEER:
T.L.F.
255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
TLS
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:

REGISTERED PROFESSIONAL ENGINEER
THOMAS R. MORSE
No. 49457
EXP. 09/30/24
CIVIL
STATE OF CALIFORNIA

1000 MARINA BOULEVARD

EROSION CONTROL PLAN

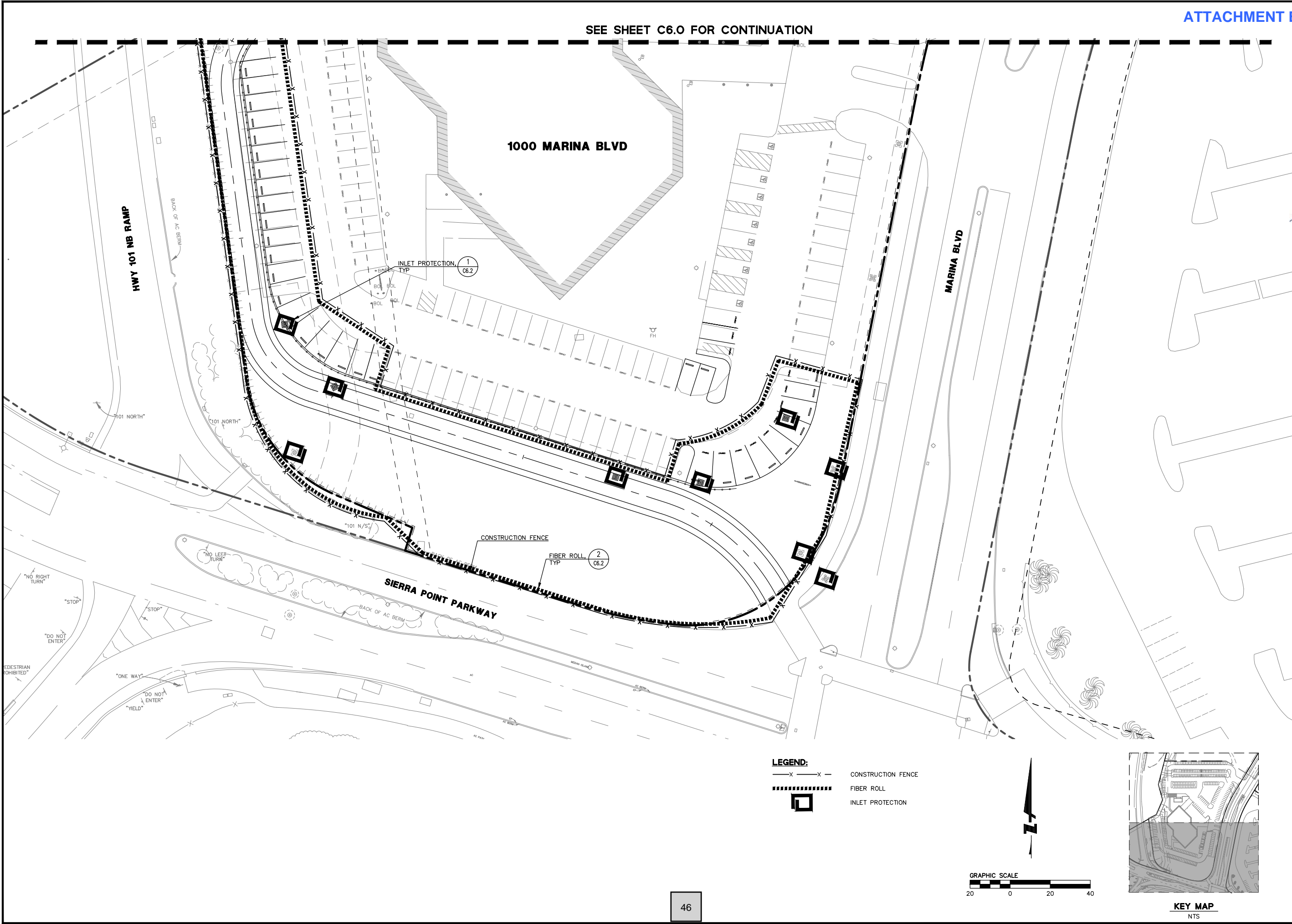
CITY OF BRISBANE SAN MATEO COUNTY CALIFORNIA

Revisions	
Date	No.
08/24/2022	
Scale	1"=20'
Design	AR
Drawn	AR
Approved	LKY
Job No	20170365-11
Revisions	
4	PLAN CHECK RESPONSE 4 01/17/2023
3	PLAN CHECK RESPONSE 3 01/04/2023
1	PLAN CHECK RESPONSE 10/26/2022

Drawing Number:

C6.0

DRAWING NAME: K:\2017\170365_3000_Marina\ENR\1000_Marina\CD\LOTS\C6.0 EROSION CONTROL PLAN.dwg
PLOT DATE: 10-21-22 PLOTTED BY: kase



- LEGEND:**
- X — CONSTRUCTION FENCE
 - FIBER ROLL
 - INLET PROTECTION



KEY MAP
NTS

PHASE
EPA, MPA, FPA, BPA

CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
TLS
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:

REGISTERED PROFESSIONAL ENGINEER
THOMAS R. MORSE
No. 49457
EXP. 09/30/24
CIVIL
STATE OF CALIFORNIA

1000 MARINA BOULEVARD
EROSION CONTROL PLAN

CITY OF BRISBANE SAN MATEO COUNTY CALIFORNIA

Revisions	
No.	Date
4	01/17/2023
3	01/04/2023
1	10/26/2022

Date	08/24/2022
Scale	1"=20'
Design	AR
Drawn	AR
Approved	LKY
Job No	20170365-11

Drawing Number:

C6.1

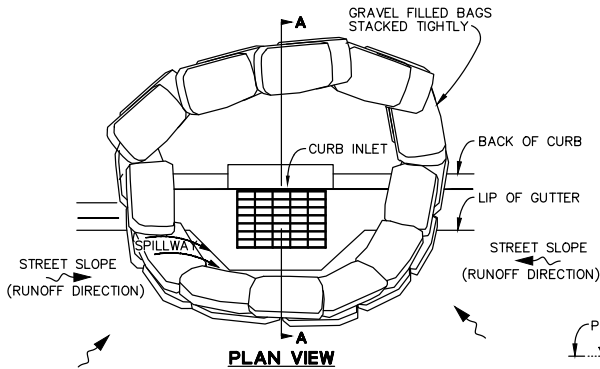
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PLOT DATE: 01-13-23
PLOTTED BY: monu

EROSION & SEDIMENT CONTROL NOTES

1. THE CONTRACTOR WILL IMPLEMENT APPLICABLE CONSTRUCTION EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) THROUGHOUT THE PHASES OF CONSTRUCTION OF THE PROJECT SITE. THE CONTRACTOR WILL BE AWARE THAT THE EROSION CONTROL MEASURES AND LAYOUT IDENTIFIED ON THIS PLAN SHEET ASSUMES THAT THE STREET HAS BEEN GRADED TO SUBGRADE AND PROPOSED STORM DRAINAGE STRUCTURES AND PIPE HAVE BEEN INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE REVISIONS AND/OR UPDATES TO THE EROSION PLAN IN ACCORDANCE WITH THE DIFFERENT STAGES OF GRADING OPERATIONS DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) AS REQUIRED BY THE CITY PUBLIC WORKS ENGINEER AND STATE REGULATORS.
2. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT-LADEN STORM RUNOFF FROM LEAVING THE SITE. CATCH BASIN INSERTS, GRAVEL BAGS, FIBER ROLLS, EARTHEN DIKES, EROSION CONTROL MATS/FABRICS AND FILTER PUMPS WILL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS WILL USE SEDIMENT BARRIERS.
3. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF MATERIAL SPILLED ON PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC AND/OR PRIVATE ROADS WILL BE CLEANED AT THE END OF THE WORK DAY.
4. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
5. ALL EROSION CONTROL FACILITIES MUST BE MONITORED. ALL SLOPES WILL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
6. ALL TRUCK TIRES WILL BE CLEANED PRIOR TO EXITING THE PROPERTY.
7. STOCKPILED MATERIAL
 - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY, UNLESS STOCKPILING IS NECESSARY.
 - C. SURROUND ALL STOCKPILES WITH PERIMETER SILT FENCES, FIBER ROLLS, APPROPRIATELY SIZED SECONDARY CONTAINMENT, OR OTHER RUNOFF CONTROLS.
 - D. STABILIZE INACTIVE STOCKPILES WITH SOIL STABILIZER AND/OR MULCH, OR COVER WITH A TARPULIN.
 - E. COVER STOCKPILES OF CRUSHED AC OR PCC PAVEMENT WITH A TARPULIN OR PROVIDE CASE-SPECIFIC DESIGNED SECONDARY CONTAINMENT AND CONTAINMENT AND SURROUND WITH APPROPRIATE RUNOFF CONTROLS.
 - F. USE INLET PROTECTION FOR STORM DRAIN STRUCTURES ADJACENT TO THE MATERIAL.
 - G. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION PLACEMENT.
10. DURING CONSTRUCTION, THE MAINTENANCE OF SUMMERTIME DRAINAGE THROUGH THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
11. AS SOON AS IS PRACTICAL AFTER THE NEW ONSITE STORM SYSTEM IS INSTALLED, THE CATCH BASINS WILL BE INSTALLED. EROSION CONTROL DEVICES WILL BE IN OR AROUND THOSE CATCH BASINS AS SHOWN ON THE APPROVED EROSION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR PREVENTING GRAVEL AND DIRT FROM ENTERING THE STORM DRAIN SYSTEM AND WILL REMOVE DEBRIS IN THE STORM DRAIN LINES.
12. EROSION CONTROL MEASURES WILL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION CONTROL PLAN WILL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY PUBLIC WORKS ENGINEER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT TEMPORARY BORROW AREAS AND/OR STOCKPILES WITH THE APPROPRIATE EROSION CONTROL MEASURES SATISFACTORY TO THE CITY PUBLIC WORKS ENGINEER.
14. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE APRIL 15 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATION. CONTRACTOR WILL IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY THE ENGINEER OR CITY PUBLIC WORKS ENGINEER.
15. THE SURFACE OF CUT SLOPES MORE THAN 4 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT WILL BE PROTECTED AGAINST EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS.
16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING LIMITS OF WORK AS SHOWN ON THE IMPROVEMENT PLANS. SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
17. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
18. ERODED SEDIMENTS AND OTHER POLLUTANTS WILL BE RETAINED ON-SITE AND ARE PROHIBITED FROM BEING TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
19. CONSTRUCTION PROJECTS SHALL BE CONDUCTED IN A MANNER WHICH PREVENTS THE RELEASE OF HAZARDOUS MATERIALS, HAZARDOUS WASTE, POLLUTED WATER AND SEDIMENTS TO THE STORM DRAIN SYSTEM. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
20. REMOVE SILT AND DISPOSE OF SO AS NOT TO CAUSE SILTATION PROBLEMS.
21. PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE EROSION CONTROL BARRIER.
22. EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORK DAY AND EROSION CONTROL FACILITIES MUST BE INSPECTED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
23. STANDBY CREWS WILL BE ALERTED BY THE PERMITEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAIN STORMS.

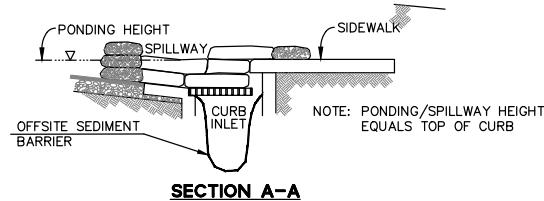
DUST CONTROL NOTES

1. ALL ACTIVE CONSTRUCTION AREAS WILL BE WATERED AT LEAST TWICE DAILY.
2. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS WILL BE COVERED OR WILL RETAIN AT LEAST TWO FEET OF FREEBOARD.
3. ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITE WILL BE EITHER PAVED, WATERED THREE TIMES DAILY, OR TREATED WITH NON-TOXIC SOIL STABILIZERS.
4. ALL PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITE WILL BE SWEEP (WITH WATER SWEEPERS) DAILY.
5. IF VISIBLE SOIL MATERIAL IS CARRIED ONTO PUBLIC STREETS, THE STREET WILL BE SWEEP (WITH WATER SWEEPERS) DAILY.

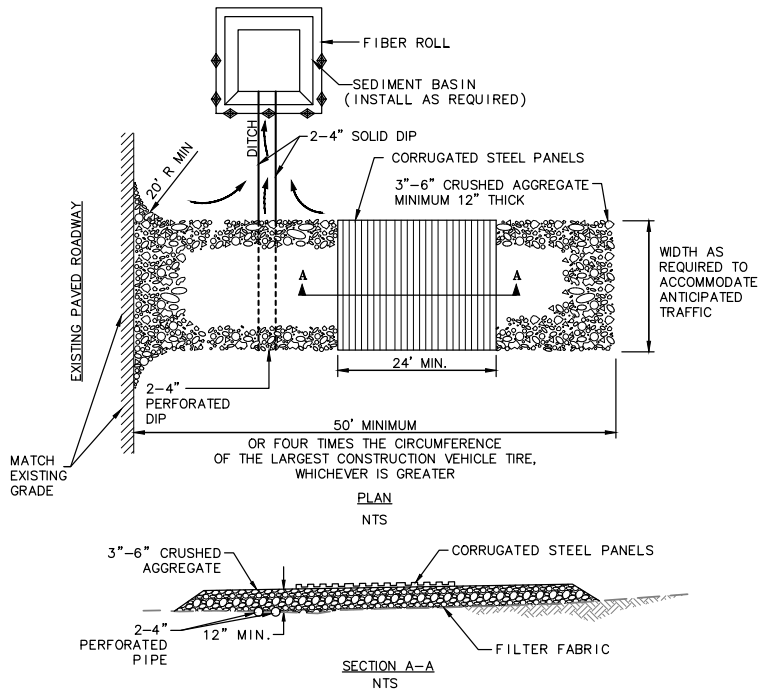


NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. PERVIOUS BAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE BAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY WILL BE LOWER THAN TOP OF CURB.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT, AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



1 CURB INLET GRAVEL BAG PROTECTION
NTS



NOTES:

1. ALL CONSTRUCTION ENTRANCES WILL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
2. WHEELS WILL BE CLEAN PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT WILL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. SAND BAGS OR OTHER APPROVED METHODS).
3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3" TO 6" STONE.
4. THE THICKNESS OF THE PAD WILL NOT BE LESS THAN 12".
5. THE WIDTH OF THE PAD WILL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
6. THE LENGTH OF THE PAD WILL NOT BE LESS THAN 50'.

3 STABILIZED CONSTRUCTION ENTRANCE/EXIT
NTS

CIVIL ENGINEER:
T.L.F.
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
T.L.S.
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:






1000 MARINA BOULEVARD
EROSION CONTROL DETAILS
CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Revisions		No.	Date
1	PLAN CHECK RESPONSE 4	4	08/24/2022
2	PLAN CHECK RESPONSE 3	3	01/17/2023
3	PLAN CHECK RESPONSE	1	01/04/2023
4	PLAN CHECK RESPONSE	1	10/26/2022

Drawing Number:

PHASE
SPECIALTY SERVICES

CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:

1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:

REGISTERED PROFESSIONAL ENGINEER
No. 49457
EXP. 09/30/24
CIVIL
STATE OF CALIFORNIA

1000 MARINA BOULEVARD
EROSION CONTROL DETAILS
CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Revisions	
No.	
4	PLAN CHECK RESPONSE 4
3	PLAN CHECK RESPONSE 3
1	PLAN CHECK RESPONSE

Date: 08/24/2022
Scale: 1"=20'
Design: AR
Drawn: AR
Approved: LKY
Job No: 20170365-11

Drawing Number:
C6.3

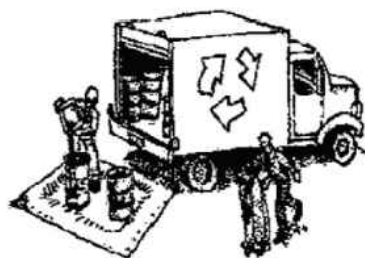


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



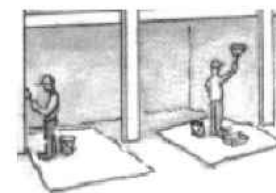
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

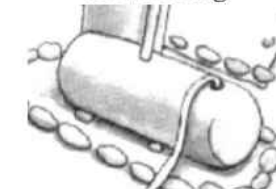
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

LANDSCAPE DRAWINGS, NOTES, LEGENDS, SYMBOLS AND ABBREVIATIONS

ATTACHMENT E

PHASE 3

Item

GENERAL NOTES

1. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

2. PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS, AND APPLICABLE REQUIREMENTS OF THE CITY OF BRISBANE, COUNTY OF SAN MATEO AND OTHER REGULATORY AGENCIES.

3. UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS, OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OF DESIGN ELEMENTS, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT ON THAT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OF FIELD ORDER, AS APPLICABLE.

4. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS ARE TO CONSTRUCT THE WORK INDICATED ON THE LANDSCAPE DRAWINGS IN ACCORDANCE WITH CALIFORNIA ACCESSIBILITY STANDARDS, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

5. REPORT DISCREPANCIES IN DRAWINGS OR SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATIONS AND ADJUSTMENTS BEFORE COMMENCING WORK. ANY DEVIATIONS OR CHANGES IN THESE DRAWINGS WITHOUT WRITTEN ACCEPTANCE OF THE OWNER'S REPRESENTATIVE SHALL ABSOLVE THE OWNER'S REPRESENTATIVE AND THE DESIGN LANDSCAPE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF SAID DEVIATION AND CHANGE.

6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

7. THE EXACT LOCATION AND ELEVATION OF UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR. IF SHOWN, EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS, BASED UPON RECORD INFORMATION AVAILABLE TO THE LANDSCAPE ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION SHOWN.

8. OBTAIN ACCEPTANCE OF HORIZONTAL ALIGNMENT OF ELEMENTS IN THE FIELD FROM OWNER'S REPRESENTATIVE PRIOR TO INSTALLMENT.

9. PROTECT FROM DAMAGE EXISTING UTILITIES ON THE SITE AND ON THE ADJACENT PROPERTY, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, DRAINAGE, TELEPHONE AND SERVICES THAT ARE TO REMAIN IN PLACE.

10. PROTECT FROM DAMAGE EXISTING STREETS, SIDEWALKS AND ADJACENT PROPERTY THROUGHOUT THE WORK.

11. IF LIVE UTILITIES ARE ENCOUNTERED, NOT INDICATED
- PREVIOUSLY, PROTECT THE SAME FROM DAMAGE AND IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND AFFECTED UTILITY PROVIDER. DO NOT PROCEED UNTIL FURTHER INSTRUCTIONS ARE RECEIVED.

12. REFER TO GEOTECHNICAL AND POTHOLING FIELD REPORTS FOR PROPERTY EDGE CONDITIONS, CLAY CAP LAYER AND SOIL FILL.

13. OBTAIN COPY OF AND BECOME FAMILIAR WITH POTHOLING SURVEY REPORT DATED 5/6/22 COMPLY WITH REQUIREMENTS THEREIN. REPORT. THE SURFACE OF THE CLAY CAP LAYER SLOPES A MINIMUM OF 1% FOR POSITIVE DRAINAGE. DO NOT PENETRATE OR DAMAGE THE CLAY CAP. IF A DISCREPENCY OR CONFLICT IS FOUND BETWEEN PLANTING LAYOUT / PLANTING DETAILS AND CLAY CAP DETAILS NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND DO NOT PROCEED IN THAT AREA WITHOUT OWNER'S REPRESENTATIVE'S NOTIFICATION.

14. CONFLICTS BETWEEN GEOTECHNICAL REPORT AND LANDSCAPE DOCUMENTS SHALL BE BROUGHT TO OWNER'S REPRESENTATIVE'S ATTENTION.

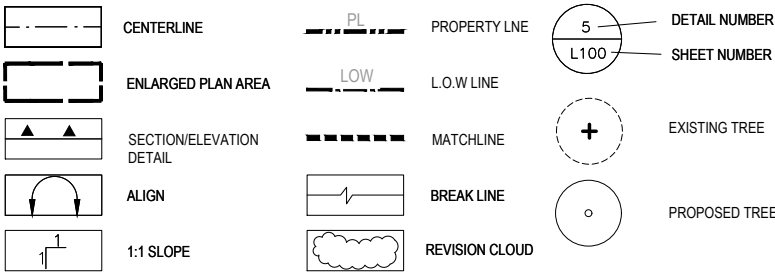
15. VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM THEIR OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.

16. REFER TO CIVIL DOCUMENTS FOR ADDITIONAL INFORMATION RELATED TO AND PART OF THE WORK SHOWN IN THESE DRAWINGS.

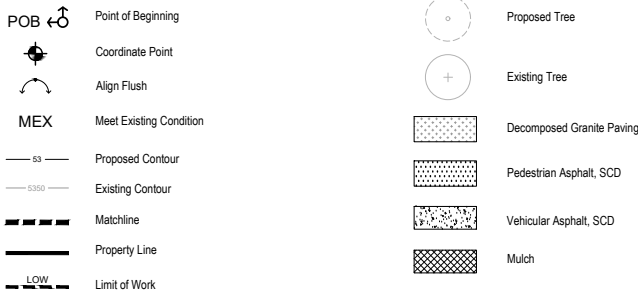
17. ALL WORK WITHIN THE CITY OF BRISBANE RIGHT OF WAY SHALL CONFORM TO CURRENT CITY AND COUNTY STANDARDS UNLESS OTHERWISE ACCEPTED IN WRITING BY THE CITY.

18. REFER CIVIL DRAWINGS FOR LAYOUT AND GRADING OF BAY TRAIL.

GENERAL - ALL SHEETS



LAYOUT AND MATERIAL LEGEND



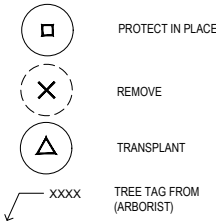
SHEET LIST

Sheet No.	Sheet Title	Scale
L0.00	LANDSCAPE SHEET INDEX, NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS	N.A.
L0.10	LANDSCAPE ILLUSTRATIVE SITE PLAN	1"=32'
L0.20	SHEET KEY PLAN	1"=32'
L0.5.00	ARBORIST ASSESSMENT REPORT	N.A.
L0.5.01	ARBORIST ASSESSMENT REPORT	N.A.
L0.5.02	ARBORIST ASSESSMENT REPORT	N.A.
L0.6.00A	TREE PROTECTION AND REMOVAL NOTES/DETAILS	N.A.
L0.6.00B	TREE PROTECTION AND REMOVAL SCHEDULE	N.A.
L0.6.01	TREE PROTECTION AND REMOVAL PLAN - AREA 1	1"=16'
L0.6.02	TREE PROTECTION AND REMOVAL PLAN - AREA 2	1"=16'
L1.1.01	LANDSCAPE LAYOUT AND MATERIAL PLAN - AREA 1	1"=16'
L1.1.02	LANDSCAPE LAYOUT AND MATERIAL PLAN - AREA 2	1"=16'
L1.4.01	LANDSCAPE SOILS PLAN- AREA 1	1"=16'
L1.4.02	LANDSCAPE SOILS PLAN- AREA 2	1"=16'
L1.5.01	LANDSCAPE IRRIGATION PLAN - AREA 1	1"=16'
L1.5.02	LANDSCAPE IRRIGATION PLAN - AREA 2	1"=16'
L1.5.03	IRRIGATION NOTES AND LEGEND	N.A.
L1.5.04	IRRIGATION DETAILS	AS SHOWN
L1.5.05	HYDROZONE PLAN - AREA 1	1"=16'
L1.5.06	HYDROZONE PLAN - AREA 2	1"=16'
L1.6.00	PLANTING LEGEND AND NOTES	N.A.
L1.6.01	PLANTING PLAN - AREA 1	1"=16'
L1.6.02	PLANTING PLAN - AREA 2	1"=16'
L2.1.1	CONCEPTUAL SECTIONS	AS SHOWN
L8.1.1	DETAILS-PAVING	AS SHOWN
L8.1.2	DETAILS-PAVING	AS SHOWN
L8.4.1	DETAILS-HEADERS	AS SHOWN
L8.4.2	DETAILS-GUARDRAIL AND FENCE	AS SHOWN
L8.7.1	DETAILS-PLANTING	AS SHOWN
L8.7.2	DETAILS-PLANTING	AS SHOWN
L8.7.3	DETAILS-PLANTING	AS SHOWN
L8.8.1	DETAILS-SITE FURNISHING AND SIGNAGE	AS SHOWN
L8.8.2	DETAILS-DESIGN-BUILD GUARDRAIL SYSTEM	AS SHOWN

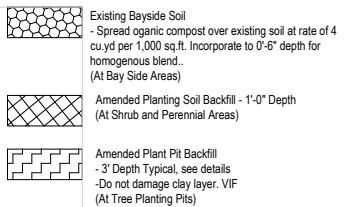
ABBREVIATIONS

@	AT	EW	EACH WAY	PED	PEDESTRIAN	TSH	TOP OF STEEL HEADER
AC	ASPHALTIC CONCRETE	EX	EXISTING	PERF	PERFORATED	TW	TOP OF WALL
AD	AREA DRAIN	FFE	FINISH FLOOR ELEVATION	POC	POINT OF CONNECTION	TYP	TYPICAL
ADRE	AREA DRAIN RIM ELEVATION	FG	FINISHED GRADE	PT	POINT OF TANGENCY	UFC	UNIFORM FIRE CODE
ARCH	ARCHITECT	FH	FIRE HYDRANT	R	RADIUS	V	VOID STACK
B&B	BALL AND BURLAP	FL	FLOW LINE	RB	ROOT BARRIER	VEH	VEHICULAR
BC	BOTTOM OF CURB	FOC	FACE OF CURB	RGB	ROUNDED GRADE BREAK	VIF	VERIFY IN FIELD
BF	BOTTOM OF FENCE	FOW	FACE OF WALL	RIM	RIM ELEVATION	WWF	WELDED WIRE FABRIC
BLDG	BUILDING	FS	FINISH SURFACE	ROW	RIGHT OF WAY	WPM	WATER-PROOF MEMBRANE
BS	BOTTOM OF STEP	GB	GRADE BREAK	SAD	SEE ARCHITECTURAL DRAWINGS		
BSW	BACK OF SIDEWALK	GJ	GROUT JOINT	SCD	SEE CIVIL DRAWINGS		
BW	BOTTOM OF WALL	H	HANDICAP PARKING STALL	SD	STORM DRAIN		
CAL	CALIPER	HC	HANDICAP	SED	SEE ELECTRICAL DRAWINGS		
CB	CATCH BASIN	HDR	HEADER	SG	SUBGRADE		
CH	CONCRETE HEADER	HH	HANDHOLE	SH	STEEL HEADER		
CJ	CONTROL JOINT	HP	HIGH POINT	SHP	SWALE FLOWLINE HIGH POINT		
CL	CENTER LINE	HV	HANDICAP VAN PARKING STALL	SIM	SIMILAR		
CLR	CLEARANCE	ID	INSIDE DIAMETER	SJ	SCORE JOINT		
CMU	CONCRETE MASONRY UNIT	IE	INVERT ELEVATION	SPD	SEE PLUMBING DRAWING		
CO	CLEAN OUT	INV	INVERT ELEVATION	SS	STAINLESS STEEL		
COJ	CONSTRUCTION JOINT	LOW	LIMIT OF WORK	SSD	SEE STRUCTURAL DRAWINGS		
CONC	CONCRETE	LP	LOW POINT	STL	STEEL		
CONT	CONTINUOUS	MAX	MAXIMUM	TA	TOP OF RETENTION ANGLE		
CP	CENTER POINT	MFR	MANUFACTURER	TB	TOP OF BENCH		
DI	DROP INLET	MH	MANHOLE	TC	TOP OF CURB		
DIA	DIAMETER	MIN	MINIMUM	TG	TOP OF GUTTER		
DN	DOWN	MM	MILLIMETERS	TF	TOP OF FOOTING		
(E)	EXISTING	(N)	NEW	TH	TOP OF HEADER		
EA	EACH	NIC	NOT IN CONTRACT	TPTL	TREE PLANTING TRENCH LIMIT		
EF	EACH FACE	NTS	NOT TO SCALE	TOB	TOP OF BERM		
EG	EXISTING GRADE	OC	ON CENTER	TOE	TOE OF BERM		
EJ	EXPANSION JOINT	OCEW	ON CENTER EACH WAY	TOF	TOP OF FENCE		
EL	ELEVATION	OD	OUTSIDE DIAMETER	TOFG	TOP OF FOOTING		
ENGR	ENGINEER	OPP	OPPOSITE	TOP	TOP OF POST		
EP	EDGE OF PAVEMENT	PA	PLANTING AREA	TS	TOP OF STEP		
EQ	EQUAL	PD	PLANTING DRAIN				

TREE PROTECTION AND REMOVAL LEGEND



SOILS LEGEND



NOTE:
Install 4 cu.yd organic compost per 1,000 sq.ft. of permeable planting area and incorporate to minimum 6 inch - 12 inch depth, unless otherwise indicated, to create a homogenous mix.

PLANTING LEGEND

REFER SHEET L1.6.00

CONTEXT



1000 MARINA BOULEVARD
LANDSCAPE SHEET INDEX, NOTES, LEGEND,
AND ABBREVIATIONS

SAN MATEO COUNTY

CITY OF BRISBANE

CALIFORNIA

CIVIL ENGINEER:



255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:



1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:



Date	Scale	NTS	No.	Revisions
Design				01/27/2021
Drawn				05/27/2022
Approved				06/28/2022
Job No	20170365-11	1		10/26/2022
Drawing Number:				PLAN CHECK RESPONSE
				3
				01/04/2023

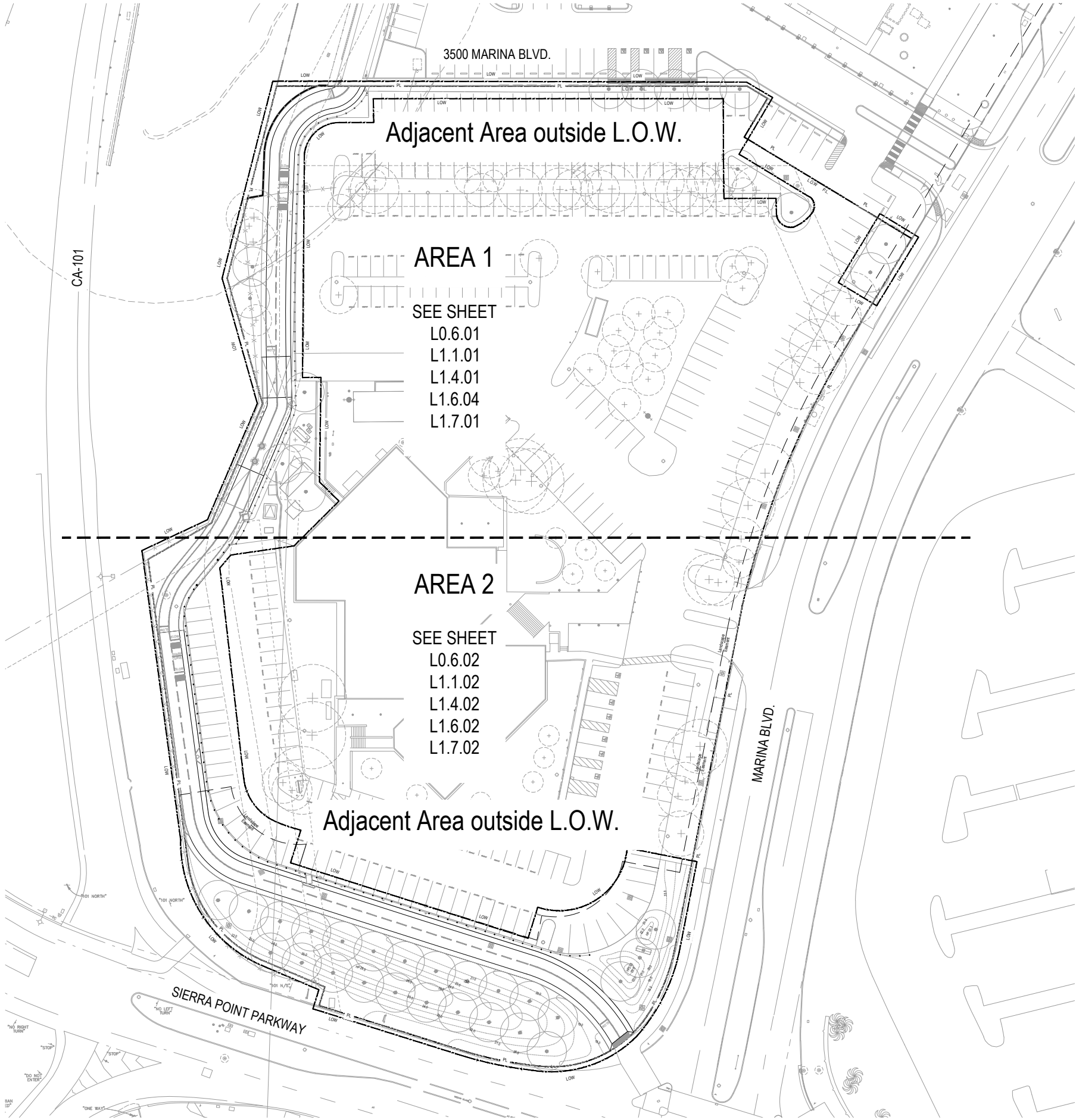
DRAWING NAME: Y:\PHA_002 Marina-Bay Trail Extension\3.0 Dwg\3.05 Sheet Sets\LO.01_Illustrative Plan.dwg
PLOT DATE: 01-13-23 PLOTTED BY: amberk

3 PLANTING AREA AS PERCENT OF SITE TOTAL

SITE - PRE-PROJECT DEVELOPMENT PLANTING 70,772 SF	36.8%
SITE - PROPOSED DEVELOPMENT (PLANTING AREA ONLY) PLANTING 58,624 SF	30.5%
PLANTING EXISTING OUTSIDE LOW	34,344 SF
PLANTING WITHIN LOW	22,460 SF
MULCH AREA WITHIN LOW	1,820 SF
SITE - PROPOSED DEVELOPMENT (PLANTING & BAY TRAIL AREA) PLANTING AREA + BAY TRAIL AREA 73,084 SF	38.0%
PLANTING EXISTING OUTSIDE LOW	34,344 SF
PLANTING WITHIN LOW	22,460 SF
MULCH WITHIN LOW	1,820 SF
BAY TRAIL (ASPHALT/DG)	14,460 SF



Date	No.	Revisions
Scale	1/32" = 1'-0"	100% CONSTRUCTION DRAWINGS 10/26/2022
Design		PLAN CHECK RESPONSE 10/26/2022
Drawn	3	PLAN CHECK RESPONSE 3 01/04/2023
Approved	4	PLAN CHECK RESPONSE 4 01/17/2023
Job No	20170365-11	



PHASE3
REAL INFRA PROJECTS

CIVIL ENGINEER:
 BKF100
255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
 TLS
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD

SHEET KEY PLAN

CITY OF BRISBANE SAN MATEO COUNTY CALIFORNIA

Date	No.	Revisions
Scale	1/32" = 1'-0"	100% DESIGN DEVELOPMENT 01/27/021
Design		50% CONSTRUCTION DRAWINGS 05/27/022
Drawn		90% CONSTRUCTION DRAWINGS 06/28/022
Approved		100% CONSTRUCTION DRAWINGS 10/26/022
Job No.	20170365-11	PLAN CHECK RESPONSE 10/26/022

Drawing Number:
L0.20

DRAWING NAME: Y:\PHA_002 Marina-Boy Trail Extension\3.0 Dwg\3.05 Sheet Sets\U.O.5.00_Arborist Assessment Report.dwg
PLOT DATE: 10-24-22

Revised Tree Inventory Report – 1000 Marina Blvd.
Brisbane, CA

June 13, 2022
Page 5

City of Brisbane Tree Regulations

The City of Brisbane defines a *Protected Tree* by any of the following (8) categories:

- California bay, coast live oak or California buckeye. These are the primary native tree species on San Bruno Mountain.
- Any additional species of tree other than the three above that is determined by the City Council to uniquely contribute to the scenic beauty of the City or provide special benefits to the natural environment or wildlife.
- Any tree designated as a protected tree by the City Council.
- Any tree, regardless of size, originally required by the City to be planted or preserved as part of a development or other permit approval. This would include tree removal permits as well as landscape plans approved as part of site plan, design review or other development approval.
- Any tree, regardless of size, required by the City to be planted as a replacement for an unlawfully removed tree.
- Any tree, regardless of size, planted or maintained by the City.
- Any tree growing in the street right of way that is greater than 30" in circumference (9.5" in diameter) at 24" above grade level. These are considered Street Trees whether or not they were planted by the City.
- Three or more trees of any species that are greater than 30" in circumference (9.5" in diameter) at 24" above grade that are proposed for removal from the same property are considered collectively to be a Protected Tree.

Based on #4 and 8 above, 113 of the 124 trees assessed are *Protected*. *Protected* trees cannot be removed or have construction planned within the dripline without a permit. Protected status of individual trees is identified in the **Tree Assessment** (see Exhibits).

Suitability for Preservation

Trees that are preserved on development sites must be carefully selected to make sure that they may survive development impacts, adapt to a new environment and perform well in the landscape. Our goal is to identify trees that have the potential for long-term health, structural stability and longevity. Evaluation of suitability for preservation considers several factors:

- Tree health**
Healthy, vigorous trees are better able to tolerate impacts such as root injury, demolition of existing structures, changes in soil grade and moisture, and soil compaction than are non-vigorous trees. For example, Monterey pines #102 and 105 are crowded by other trees and showing signs of pine pitch canker; both trees should be considered for removal.
- Structural integrity**
Trees with significant amounts of wood decay and other structural defects that cannot be corrected are likely to fail. Such trees should not be preserved in areas where damage to people or property is likely. Lombardy poplars #123, 125, 128 and 129 were in poor condition with decayed, scarred surface roots and branch dieback. These trees are not recommended for preservation.
- Species response**
There is a wide variation in the response of individual species to construction impacts and changes in the environment. New Zealand Christmas trees are relatively tolerant of construction impacts. Lombardy poplar is only moderately tolerant of impacts, and needs irrigation post-construction. Monterey pine is intolerant of impacts.

HortScience | Bartlett Consulting • Divisions of The F.A. Bartlett Tree Expert Company

60

Revised Tree Inventory Report – 1000 Marina Blvd.
Brisbane, CA

June 13, 2022
Page 6

5. Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.

6. Do not lime the subsoil within 50 feet of any tree. Lime is toxic to tree roots.

7. Ensure adequate but not excessive water is supplied to trees; in most cases, occasional irrigation will be required. Avoid directing runoff toward trees.

Pre-demolition and pre-construction treatments and recommendations

1. The demolition and construction superintendents shall meet with the Project Arborist before beginning work to review all work procedures, access routes, storage areas, and tree protection measures.

2. Portions of the **TREE PROTECTION ZONE** should be fenced. Trees adjacent to demolition may require limb and trunk protections. This may be accomplished using foam wrapped with wattle and orange snow fencing to protect the areas where the limb (or trunk) is exposed to incidental contact.

3. Prune trees to be preserved to clean the crown of dead branches 1 inch and larger in diameter, raise canopies as needed for construction activities. All pruning shall be done by a State of California Licensed Tree Contractor (C61/D49). All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2002) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z133.1) and Pruning (A300). The Project Arborist will provide pruning specifications prior to site demolition.

4. Structures and underground features to be removed within the **TREE PROTECTION ZONE** shall use equipment that will minimize damage to trees above and below ground, and operate from outside the **TREE PROTECTION ZONE**. The Project Arborist shall be on site during all operations within the **TREE PROTECTION ZONE** to monitor demolition activity.

5. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife code 3503-3513 to not disturb nesting birds. To the extent feasible, tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

6. Apply and maintain 4 – 6 inches of wood chip mulch within the **TREE PROTECTION ZONE**.

Recommendations for tree protection during construction

1. Any approved grading, construction, demolition or other work within the **TREE PROTECTION ZONE** should be monitored by the Project Arborist.

2. All contractors shall conduct operations in a manner that will prevent damage to trees to be preserved.

3. Tree protection devices are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Project Arborist.

4. Construction trailers, traffic and storage areas must remain outside **TREE PROTECTION ZONE** at all times.

5. Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2 inches in diameter should be avoided.

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60

Revised Tree Inventory Report – 1000 Marina Blvd.
Brisbane, CA

June 13, 2022
Page 6

Tree age and longevity

Old trees, while having significant emotional and aesthetic appeal, have limited physiological capacity to adjust to an altered environment. Young trees are better able to generate new tissue and respond to change.

Species invasiveness

Species that spread across a site and displace desired vegetation are not always appropriate for retention. This is particularly true when indigenous species are displaced. The California Invasive Plant Inventory Database (<http://www.cal-ipc.org/cipaf/>) maintains a list and invasive ratings of plant species in California. Brisbane is part of the Central West Floristic Province. Of the species at the site, blackwood acacia and purpleleaf plum have been rated as invasive on a limited basis.

Each tree was rated for suitability for preservation based upon its age, health, structural condition and ability to safely coexist within a development environment (See **Table 2** and *Tree Assessment* in Exhibits).

Table 2. Suitability for preservation for on-site trees.
1000 Marina Blvd – Brisbane, CA

High	Trees with good health and structural stability that have the potential for longevity at the site. Twenty-five (25) trees on the property had high suitability for preservation, including all 20 New Zealand Christmas trees, crape myrtles #274 and 275, strawberry trees #263 and 266, and Japanese maple #276.
Moderate	Trees in fair health and/or possessing structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the "good" category. Thirty-eight (38) trees had moderate suitability for preservation, including 24 Nichol's willowleafed peppermints.
Low	Trees in poor health or possessing significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas. Fifty-five (55) trees had low suitability for preservation, including 26 Nichol's willowleafed peppermints and 16 Lombardy poplars.

Note: Table does not include Lombardy poplar #136 and Monterey pines #103, 107, 138, 139 and 158. These trees were dead.

We consider trees with high suitability for preservation to be the best candidates for preservation. We do not recommend retention of trees with low suitability for preservation in areas where people or property will be present. Retention of trees with moderate suitability for preservation depends upon the intensity of proposed site changes.

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60

Revised Tree Inventory Report – 1000 Marina Blvd.
Brisbane, CA

June 13, 2022
Page 9

6. If roots 1 inches and greater in diameter are encountered during site work and must be cut to complete the construction, the Project Arborist must be consulted to evaluate effects on the health and stability of the tree and recommend treatment.

7. Spoils from trench, footing, utility or other excavation shall not be placed within the **TREE PROTECTION ZONE**, neither temporarily nor permanently.

8. All grading within the dripline of trees shall be done using the smallest equipment possible. The equipment shall operate perpendicular to the tree and operate from outside the **TREE PROTECTION ZONE**. Any modifications must be approved and monitored by the Project Arborist.

9. All trees shall be irrigated on a schedule to be determined by the Project Arborist (every 3 to 6 weeks is typical). Each irrigation shall wet the soil within the **TREE PROTECTION ZONE** to a depth of 18 - 24 inches.

10. If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Project Arborist so that appropriate treatments can be applied.

11. No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the **TREE PROTECTION ZONE**.

12. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel or certified tree climber.

13. Trees that accumulate a sufficient quantity of dust on their leaves, limbs and trunk as judged by the Project Arborist shall be spray-washed at the direction of the Project Arborist.

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53

Revised Tree Inventory Report – 1000 Marina Blvd.
Brisbane, CA

June 13, 2022
Page 7

Preliminary Tree Preservation Guidelines

The goal of tree preservation is not merely tree survival during development but maintenance of tree health and beauty for many years. Trees retained on sites that are either subject to extensive injury during construction or are inadequately maintained become a liability rather than an asset. The response of individual trees will depend on the amount of excavation and grading, the care with which demolition is undertaken, and the construction methods. Coordinating any construction activity inside the **TREE PROTECTION ZONE** can minimize these impacts.

Focus tree preservation on trees with high and moderate suitability for preservation. Trees with low suitability will never become assets to the new project. Dead trees should be removed.

The following recommendations will help reduce impacts to trees from development as well as maintain and improve their health and vitality through the clearing, grading and construction phases. The key elements of a tree preservation plan for the 1000 Marina Boulevard property would include:

- Establishing **TREE PROTECTION ZONES** for each tree to be preserved. **TREE PROTECTION ZONES** are identified by the Consulting Arborist based on species tolerances, tree condition, trunk diameters and the nature and proximity of the proposed disturbance.
- Providing supplemental irrigation prior to and during the demolition and construction phases of any planned construction.

Survival of the trees to be preserved or potentially preserved will depend on the care with which construction is performed around the trees and the nature of the impacts near these trees. Trees should be preserved in groups with minimal grading within the critical root zone, where possible. The following are recommendations for design and construction phases that will assist in successful tree preservation.

Design recommendations

1. Any changes to the plans affecting the trees should be reviewed by the Project Arborist with regard to tree impacts. These include, but are not limited to, site plans, improvement plans, utility and drainage plans, grading plans, landscape and irrigation plans, and demolition plans.

2. Plan for tree preservation by designing adequate space around trees to be preserved. This area is called the **TREE PROTECTION ZONE**: No grading, excavation, construction or storage of materials should occur within that zone. Route underground services including utilities, sub-drains, water or sewer around the **TREE PROTECTION ZONE**. The tree protection zone is ten times the diameter or the entire dripline whichever is larger. Areas of the **TREE PROTECTION ZONE** should be fenced to minimize impacts and staging in the **TREE PROTECTION ZONE**.

3. Irrigation systems must be designed so that no trenching severs roots larger than 1 inch in diameter within the **TREE PROTECTION ZONE**.

4. Tree Preservation Guidelines prepared by the Project Arborist, which include specifications for tree protection during demolition and construction, should be included on all plans.

Maintenance of impacted trees

Trees should be monitored and inspected annually and after major storms to identify conditions requiring treatment to manage risk associated with tree failure.

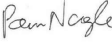
Preserved trees will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority. Inspect trees annually and following major storms to identify conditions requiring treatment to manage risk associated with tree failure.

Our procedures included assessing trees for observable defects in structure. This is not to say that trees without significant defects will not fail. Failure of apparently defect-free trees does occur, especially during storm events. Wind forces, for example, can exceed the strength of defect-free wood causing branches and trunks to break. Wind forces coupled with rain can saturate soils, reducing their ability to hold roots, and blow over defect-free trees. Although we cannot predict all failures, identifying those trees with observable defects is a critical component of enhancing public safety.

Furthermore, trees change over time. Our inspections represent the condition of the tree at the time of inspection. As trees age, the likelihood of failure of branches or entire trees increases. Annual tree inspections are recommended to identify changes to tree health and structure. In addition, trees should be inspected after storms of unusual severity to evaluate damage and structural changes. Initiating these inspections is the responsibility of the client and/or tree owner.

If you have any questions about my observations or recommendations, please contact me.

HortScience | Bartlett Consulting



Pam Nagle
Consulting Arborist and Urban Forester
Certified Arborist #WE-9517A


NOTES:
1. ARBORIST ASSESSMENT REPORT INCLUDES TREES WITHIN PROJECT LIMIT OF WORK AND TREES OUTSIDE LIMIT OF WORK ON ADJACENT 1000 MARINA AREA PROPERTY.


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60

PHASE 3
EPA, NRE, PREPARE

CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:

1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:


1000 MARINA BOULEVARD
ARBORIST ASSESSMENT REPORT
SAN MATEO COUNTY
CITY OF BRISBANE
CALIFORNIA

Date	No.	Revisions
Scale	100% DESIGN DEVELOPMENT	01/27/021
Design	50% CONSTRUCTION DRAWINGS	05/27/022
Drawn	90% CONSTRUCTION DRAWINGS	06/28/022
Approved	100% CONSTRUCTION DRAWINGS	10/26/022
Job No	20170365-11	PLAN CHECK RESPONSE

Drawing Number:
L0.5.01

Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
101	Monterey pine	15	Yes	3	Moderate	In shrub planting bed; enlarged base; 1-sided to N; high crown; crowded.
102	Monterey pine	9	No	2	Low	In shrub planting bed; codominant at 7'; history of branch removals; crook on S stem; suppressed by #102/103.
103	Monterey pine	32	Yes	0	---	In shrub planting bed; codominant at 5' and multiple attachments at 7'; dead.
104	Monterey pine	28	Yes	3	Low	In shrub planting bed; heavy laterals to SE/SW; sap bleeding W side trunk; branch dieback to W/NW; pine pitch canker.
105	Monterey pine	22	Yes	2	Low	In shrub planting bed; crowded by #104/106; slight lean NW; 1-sided on E to 40'; pine pitch canker.
106	Monterey pine	24	Yes	3	Low	In shrub planting bed; multiple attachments at 8'; twisting form; slight lean NE; heavy laterals to E+W; pine pitch canker.
107	Monterey pine	25	Yes	0	---	In mulched bed; multiple attachments at 8'; 1-sided to E; weight of crown to S; dead.
108	Nicho's willowleafed peppermint	25	Yes	3	Moderate	In mulched bed; codominant at 12'; bark shedding on S side; high crown; some twig dieback.
109	Nicho's willowleafed peppermint	31	Yes	3	Moderate	In mulched bed; multiple attachments at 10+12'; sparse crown w/ some branch dieback on N side.
110	Nicho's willowleafed peppermint	21	Yes	3	Moderate	In mulched bed; multiple attachments at 20'; weight of crown SE; history of limb removals; crowded by #109.
111	Nicho's willowleafed peppermint	12	Yes	1	Low	In mulched bed; leans E; cracked areas of bark on trunk; sparse crown; suppressed with low live crown ratio.
112	Nicho's willowleafed peppermint	20	Yes	2	Low	In mulched bed; crowded by #113; leans SE.
113	Nicho's willowleafed peppermint	24	Yes	3	Moderate	In mulched bed; corrected lean N; multiple attachments at 15+20'; crowded by #112; some twig dieback.
114	Nicho's willowleafed peppermint	23	Yes	2	Low	In mulched bed; leans E/SE; suppressed by #115; girdling root N side; vigorous.
115	Nicho's willowleafed peppermint	27	Yes	3	Low	In mulched bed; multiple attachments at 10' w/ 3 upright stems; crowded by #116.
116	Nicho's willowleafed peppermint	23	Yes	3	Moderate	In mulched bed; slight lean NE; multiple attachments at 25'; sinuous form; crowded by #115/117.
117	Nicho's willowleafed peppermint	25	Yes	3	Moderate	In mulched bed; codominant at 30'; high crown; crowded by #116/118.
118	Nicho's willowleafed peppermint	33	Yes	3	Moderate	In mulched bed; slight lean E/NE; multiple attachments at 20+30'; crown twists N.
123	Lombardy poplar	28	Yes	2	Low	In lawn area; large scarred surface roots; slight lean N; profuse suckers at base to 15'.
125	Lombardy poplar	31	Yes	2	Low	In lawn area; slight lean E; multiple attachments at 10+12'; scarred surface roots; crowded by #122/123.
128	Lombardy poplar	25	Yes	2	Low	In lawn area; slight correcting lean E; multiple attachments at 12.20+25'; twig and branch dieback.
129	Lombardy poplar	27	Yes	2	Low	In lawn area; slight lean E; twig and branch dieback.
130	Lombardy poplar	12.5,3.2,2.2	Yes	3	Moderate	At edge of road; multiple attachments at 2'; vigorous upright young tree.
131	Lombardy poplar	18,16,15	Yes	2	Low	Growing through chain link fence; large surface roots; vigorous sprouting at base; some twig dieback.
132	Lombardy poplar	17,15,12	Yes	2	Low	Growing through chain link fence; large surface roots; vigorous sprouting at base; some twig dieback.
133	Lombardy poplar	26	Yes	2	Low	Decayed surface roots; history of limb failures to 5'; multiple attachments at 10'; upright w/ vigorous sprouting at base.
135	Lombardy poplar	24	Yes	2	Low	Codominant at 10'; slight lean NE; vigorous w/ suckers at base.
136	Lombardy poplar	9	No	0	---	Standing dead; codominant at 8' with included bark; engulfed in ivy.
137	Monterey pine	18	Yes	1	Low	Codominant at 35'; low live crown ratio; crowded by acacia grove W side; high crown w/ laterals to NW.
138	Monterey pine	17	Yes	0	---	Crowded by #137/139; high sparse crown w/ lost top; dead.
139	Monterey pine	13	Yes	0	---	Crowded by #138/140; high thin crown; dead.
140	Monterey pine	28	Yes	3	Moderate	Crowded by #141; slight lean S; some branch dieback.
141	Monterey pine	28	Yes	3	Moderate	Crowded by #140; balanced form with extended branches.
142	Lombardy poplar	17	Yes	2	Low	In ivy planting bed; slight corrected lean NE; some twig dieback.
143	Lombardy poplar	24	Yes	2	Low	6' from transformer pad; gravel around base; multiple attachments at 10'.
144	Lombardy poplar	21	Yes	2	Low	Bird nesting box installed N side at 15'; engulfed in ivy; multiple attachments at 25'; some twig and branch dieback.
145	Blackwood acacia	24	No	2	Low	6' from chain link fence; leans W; history of branch failure; vigorous.
146	Lombardy poplar	21	Yes	2	Low	In ivy planting bed; codominant at 40'; history of branch removals; some twig and branch dieback.
147	Lombardy poplar	21	Yes	2	Low	In mulch area; history of branch removals; lost top; some twig dieback; suckers at base.
148	Purpleleaf plum	5,5,3	No	2	Low	Multiple attachments at 3'; 2.5' from new concrete pad w/ utilities; leans NE; twig dieback.
149	Lombardy poplar	20	Yes	2	Low	Dead girdling root N side; slight lean N; some twig and branch dieback.
150	Pink melleuca	8,8,4,3,3,2,2	No	3	Moderate	Multiple attachments at base; shrub form; weight of crown leaning N.
151	Lombardy poplar	21	Yes	2	Low	Large surface roots (to 8") in mulch area; slight lean E.
152	Lombardy poplar	21	Yes	2	Low	In mulch area; slight lean E.
153	Pink melleuca	9,5,4,3	No	2	Low	Multiple attachments at 3'; crowded by shrub to N; 1-sided to S.
154	Nicho's willowleafed peppermint	26	Yes	3	Moderate	Codominant at 6'; large spreading crown; vigorous.
155	Nicho's willowleafed peppermint	17	Yes	2	Low	Crowded by #154/156; leans NE; branch dieback in lower crown.
156	Nicho's willowleafed peppermint	22	Yes	2	Low	Crowded by #155/157; leans N; sparse crown.
157	Nicho's willowleafed peppermint	24	Yes	3	Moderate	Broken girdling root N side trunk; codominant at 8'; slight lean N; some twig and branch dieback.
158	Monterey pine	12	Yes	0	---	Standing dead w/ decay present; codominant at 6'; slight lean SE; history of limb removal.
159	Nicho's willowleafed peppermint	18	Yes	3	Moderate	Base of tree at corner of parking lot w/ girdling roots; multiple attachments at 12+15'; slight corrected lean to NE.
160	Nicho's willowleafed peppermint	6	No	2	Low	Trunk twisted at base; leans NE; suppressed by #159/161; 1' from edge paving; codominant at 6'; vigorous.
161	Nicho's willowleafed peppermint	17	Yes	3	Low	At edge of paving; 8" girdling root; leans E.
162	Nicho's willowleafed peppermint	10	Yes	1	Low	No tag, behind construction fence. Codominant at 6'; twisting stems to N; somewhat vigorous.
163	Nicho's willowleafed peppermint	18	Yes	2	Low	In 6' parking lot planter; strong bow E; multiple attachments at 8' w/ 10' removed stem.
164	Nicho's willowleafed peppermint	14	Yes	1	Low	No tag, behind construction fence. Corrected bow to E; multiple attachments at 18'; history of limb removals; sparse crown w/ branch dieback.
165	Nicho's willowleafed peppermint	18	Yes	2	Low	At edge of paving; strong lean SE; multiple attachments at 12'; some branch dieback.
166	Nicho's willowleafed peppermint	12	Yes	2	Low	No tag, behind construction fence. Strong lean NE; codominant at 15'; some twig and branch dieback.
167	Nicho's willowleafed peppermint	18	Yes	2	Low	At edge of paving w/ deflected surface roots; slight correcting lean S; vigorous crown.
168	Nicho's willowleafed peppermint	14	Yes	2	Low	In parking lot planter; crowded by #169; large scarred surface roots; leans NE.
172	Nicho's willowleafed peppermint	16	Yes	3	Moderate	At edge of paving; deflected surface roots displacing concrete; slight corrected bow W; crowded by #173; codominant at 27'.
173	Nicho's willowleafed peppermint	16	Yes	3	Moderate	At edge of paving; codominant at 8'; crowded by #172/174; vigorous.
174	Nicho's willowleafed peppermint	14	Yes	3	Moderate	No tag, behind construction fence. Codominant at 18'; leans NE; crowded by #173/175; vigorous.
175	Nicho's willowleafed peppermint	16	Yes	3	Moderate	At edge of paving, lifting asphalt; corrected lean E; codominant at 15'; crowded by #174/176.

Tree No.	Species	Trunk Diameter (in.)	Protected Tree?	Condition 1=poor 5=excellent	Suitability for Preservation	Comments
176	Nicho's willowleafed peppermint	17	Yes	2	Low	At edge of paving, lifting asphalt; lean N; codominant at 20'; crowded by #175.
177	Cajeput paperbark tree	26,12	Yes	3	Moderate	In parking lot planter; codominant at base; larger stem sweeps N and up; vigorous w/ some twig dieback.
178	Nicho's willowleafed peppermint	18	Yes	3	Moderate	No tag, behind construction fence. Bird nesting box on trunk NE side; multiple attachments at 15'; leans NW; crowded by #179.
179	Nicho's willowleafed peppermint	17	Yes	2	Low	At edge of paving w/ girdling root and deflected surface roots; codominant at 10'; twisting form; crowded by #178/180.
180	Nicho's willowleafed peppermint	20	Yes	3	Moderate	At edge of paving, displacing asphalt; codominant at 12'; crowded by #179/181; sparse crown.
181	Nicho's willowleafed peppermint	12	Yes	2	Low	No tag, behind construction fence. High sparse crown with low live crown ratio; slight lean N.
182	Nicho's willowleafed peppermint	16	Yes	3	Moderate	No tag, behind construction fence. Slight lean NE; codominant at 12'; some twig and branch dieback.
183	Nicho's willowleafed peppermint	17	Yes	3	Moderate	At edge of paving, displacing asphalt and wheel stop; corrected lean SE; codominant at 10' w/ twisting form; crowded by #182/184.
184	Nicho's willowleafed peppermint	15	Yes	3	Moderate	6' from edge of paving; slight corrected lean E; multiple attachments at 10' (3 stems); crowded by #183/185.
185	Nicho's willowleafed peppermint	20	Yes	3	Moderate	At edge of paving; slight corrected lean SE; codominant at 15'; crowded by #184/187/188.
186	Nicho's willowleafed peppermint	14	Yes	2	Low	No tag, behind construction fence. Leans NE; high crown and low live crown ratio; crowded by #185/187.
187	Nicho's willowleafed peppermint	23	Yes	3	Moderate	At edge of paving, displacing asphalt and wheel stop; codominant at 12'; large vigorous crown.
188	Monterey pine	20	Yes	3	Moderate	Slight lean NE; fairly high crown; vigorous tree.
189	Monterey pine	13	Yes	4	Moderate	In parking lot planter; crowded at W side; slight lean NE; vigorous young tree.
190	Cajeput paperbark tree	20,15	Yes	3	Moderate	In parking lot planter; codominant at base; some twig dieback; vigorous tree.
191	Cajeput paperbark tree	13,10,7	Yes	1	Low	In planting bed; codominant at base; very sparse crown; lacks vigor.
192	Cajeput paperbark tree	16	Yes	2	Low	In planting bed; slight lean N; multiple attachments at 8'; upright form; twig dieback; low vigor.
198	Nicho's willowleafed peppermint	16	Yes	2	Low	Corrected bow S; leans S; crowded by #199/202; high sparse crown.
199	Nicho's willowleafed peppermint	22	Yes	2	Low	Slight lean SE; codominant at 10'; high sparse crown.
200	Nicho's willowleafed peppermint	16	Yes	2	Low	Codominant at 7'; crown weighted S; crowded by #199/201.
201	Nicho's willowleafed peppermint	14	Yes	2	Low	Leans SW; crowded by #200 and other nearby trees; high sparse crown.
202	Nicho's willowleafed peppermint	28	Yes	3	Moderate	Large girdling surface roots; slight lean S; crowded by building; bark peeling to 4' NW side trunk; high crown; multiple attachments at 35'; large tree.
203	Nicho's willowleafed peppermint	25	Yes	2	Low	Large girdling surface root, concrete utility pad 5' away, poured on 8" root to E; leans W; crowded by building; codominant at 20'; large tree.
204	Nicho's willowleafed peppermint	30	Yes	3	Moderate	Large surface roots; trunk bows SW; crowded by building; high crown; large tree.
205	Purpleleaf plum	7,6	No	2	Low	In bare planting bed; codominant at 3'; slight lean NE; vase form; many suckers.
206	Purpleleaf plum	6,5,4	No	2	Low	In bare planting bed; multiple attachments at 3.5'; slight lean SE; many suckers.
207	Purpleleaf plum	5,5,5,4,3	No	2	Low	In bare planting bed; multiple attachments at 3.5'; slight lean NE; twisted base.
208	Nicho's willowleafed peppermint	26	Yes	2	Low	Strong twisted lean NE; high crown; crowded.
209	Nicho's willowleafed peppermint	21	Yes	1	Low	New vehicle charging station 2' from NW side trunk; large surface roots girdling at W side; twisting lean NE; high crown; crowded.
210	Nicho's willowleafed peppermint	29	Yes	3	Moderate	Extensive large surface roots; high crown; slight lean NE; crowded by building.
255	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; good young tree.
256	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; good young tree.
257	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; good young tree.
258	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; multiple attachments at 6'; good young tree.
259	New Zealand Christmas tree	1	Yes	4	High	In lawn; staked; tag on branch; crook at base; diving roots.
260	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; vigorous.
261	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; vigorous.
262	New Zealand Christmas tree	1	Yes	4	High	In lawn; staked; tag on branch; multiple attachments at 4'.
263	Strawberry tree	2	Yes	4	High	In swale; staked; tag on branch; slight lean N.E.; vigorous young tree.
264	Strawberry tree	2	Yes	3	Moderate	In swale; staked; tag on branch; multiple attachments at 4.5 and 6'; lost top; vigorous.
265	Strawberry tree	2	Yes	3	Moderate	In shrubs; staked; tag on branch; slight lean N.; lacks vigor.
266	Strawberry tree	3	Yes	4	High	In shrubs; staked; tag on branch; multiple attachments at 5'; vigorous.
267	New Zealand Christmas tree	1	Yes	4	High	In shrub bed; staked; tag on stake; vigorous.
268	New Zealand Christmas tree	2	Yes	5	High	In shrub bed; staked; tag on stake; vigorous.
269	New Zealand Christmas tree	1	Yes	5	High	In shrub bed; staked; tag on stake; vigorous.
270	New Zealand Christmas tree	1	Yes	5	High	In shrub bed; staked; tag on stake; vigorous.
271	Crape myrtle	1	Yes	3	Moderate	6' from building wall; staked; tag on stake; multiple attachments at 4.5'; thin crown.
272	Crape myrtle	1	Yes	3	Moderate	6' from building wall; staked; tag on stake; slightly thin crown.
273	Crape myrtle	2	Yes	3	Moderate	6' from building wall; staked; tag on stake; slightly sinuous trunk; slightly thin crown.
274	Crape myrtle	2	Yes	4	High	6' from building wall; staked; tag on stake; leans E; vigorous.
275	Crape myrtle	3	Yes	4	High	6' from building wall; staked; tag on stake; straps beginning to girdle trunk; multiple attachments at 6'; vigorous.
276	Japanese maple	3,3,2,2,2,2,2,2,1	No	4	High	In mulch bed; multiple attachments arise from base; raised crown; vigorous.
277	New Zealand Christmas tree	1	Yes	4	High	In lawn; staked; tag on branch; basal wound S. side trunk.
278	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; vigorous young tree.
279	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; vigorous young tree.
280	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; slightly enlarged base; vigorous young tree.
281	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; vigorous young tree.
282	New Zealand Christmas tree	1	Yes	5	High	In lawn; staked; tag on branch; basal wounds; vigorous young tree.
283	New Zealand Christmas tree	2	Yes	5	High	In sloped mulch bed; staked; tag on stake; narrow upright form; vigorous young tree.
284	New Zealand Christmas tree	1	Yes	5	High	In sloped mulch bed; staked; tag on stake; narrow upright form; vigorous young tree.

NOTES:
1. ARBORIST ASSESSMENT REPORT INCLUDES TREES WITHIN PROJECT LIMIT OF WORK AND TREES OUTSIDE LIMIT OF WORK ON ADJACENT 1000 MARINA AREA PROPERTY.

TREE ASSESSMENT-ARBORIST REPORT 01
N.T.S.



CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:

1015 Camella St Berkeley,
CA 94710
STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD
ARBORIST ASSESSMENT REPORT
SAN MATEO COUNTY
CITY OF BRISBANE

No.	Date	Scale	AS SHOWN	Revisions	No.	Date	Scale	AS SHOWN
		Design		01/27/021			Design	
		Drawn		05/27/022			Drawn	
		Approved		06/28/022			Approved	
		Job No.	20170365-11	10/26/022			Job No.	20170365-11
				10/26/022				
				PLAN CHECK RESPONSE 3				
				01/04/2023				

DRAWING NAME: Y:\PHA_002 Marina-Boy Trail Extension\3.0 Dwg\3.05 Sheet Protection and Removal Notes.dwg
PLOT DATE: 02-15-23 PLOTTED BY: kushal

TREE PROTECTION NOTES (ALSO REFER TO SPECIFICATIONS):

1.

THE TREE PROTECTION FENCE ZONE SHALL BE DEFINED AS THE AREA FROM THE TRUNK OUT TO DRIPLINE OR A MINIMUM 15' BEYOND THE TRUNK. A TREE'S CRITICAL ROOT ZONE IS DEFINED AS THE AREA 10' BEYOND THE DRIPLINE. A CERTIFIED ARBORIST SHALL BE PRESENT FOR WORK WITHIN THE CRITICAL ROOT ZONE.
2.

A CERTIFIED ARBORIST SHALL BE PRESENT TO EVALUATE ALL WORK PERFORMED WITHIN ANY TREE PROTECTION ZONE.
3.

PROTECTIVE FENCING SHALL BE CHAIN LINK ON SECURE FOOTINGS, OR IMBEDDED AS REQUIRED BY CERTIFIED ARBORIST, THAT WILL NOT FALL OVER ONTO TREES.
4.

PROTECTIVE FENCING SHALL BE PLACED AT THE OUTER EDGE OF THE TREE PROTECTION ZONE, MINIMUM 15' BEYOND THE TREE TRUNK OR AS SHOWN ON TREE PROTECTION DRAWING, WHICHEVER IS GREATER.
5.

PROTECTIVE FENCING: FENCING MATERIAL SHALL ENCIRCLE ANY TREE WHOSE OUTER DRIPLINE IS WITHIN THE PROJECT SITE AND ANY CONSTRUCTION ACTIVITIES. LIMITS OF THE FENCING ON THE PLANS ARE DIAGRAMMATIC, AND THE ACTUAL LIMITS WILL BE DEFINED IN THE FIELD.
6.

TREE PROTECTION FENCING MUST BE INSTALLED AND REMAIN IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES AND UNTIL THE FINAL COMPLETION WALK.
7.

WHERE WORK FALLS WITHIN TREE PROTECTION ZONES, TREES MUST BE WRAPPED WITH 2"x4"s SET VERTICALLY AROUND THE TRUNK AND ORANGE CONSTRUCTION FENCE FOR THE DURATION OF THE PROJECT. USE THE NUMBER 2"x4"s NECESSARY TO KEEP FENCE OFF BARK OF TREE. THIS TECHNIQUE MUST BE USED WHERE STANDARD TREE PROTECTION MEASURES ARE NOT APPROPRIATE.
8.

TURF, LANDSCAPE, AND HARDSCAPE REMOVALS WITHIN TREE PROTECTION FENCE SHALL BE BY HAND.
9.

THE OWNER'S REPRESENTATIVE AND PROJECT ARBORIST SHALL BE CONSULTED IF SIGNIFICANT ROOTS GREATER THAN 4" DIAMETER ARE FOUND TO IMPEDE CONSTRUCTION.
10.

CARE MUST BE TAKEN TO LIMIT COMPACTION OF SOIL OVER EXISTING TREE ROOTS.
11.

LAYDOWN, STAGING AND PARKING AREAS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND SHALL BE SHOWN ON THE STAGING PLANS IF WITHIN THE PROJECT LIMIT AREA, OR ON THE CONSTRUCTION LOGISTICS PLAN IF OUTSIDE THE PROJECT LIMIT AREA.
12.

CONSTRUCTION MATERIALS/EQUIPMENT/PERSONAL VEHICLES SHALL NOT BE STORED, PARKED OR TEMPORARILY PLACED IN THE TREE PROTECTION ZONE OF ANY TREES. NO MATERIALS SHALL BE STORED OR PLACED TEMPORARILY WITHIN PROTECTIVE FENCING, TO AVOID SOIL COMPACTION AND SOIL CONTAMINATION UNDER TREES. TREE PROTECTION ZONES OF TREES SHALL NOT BE DRIVEN OVER. PROVIDE ALTERNATIVE ROUTES FOR CONSTRUCTION TRAFFIC OF ANY KIND INCLUDING CARS, PEOPLE, TRACTORS, EQUIPMENT, CRANES, OR ANY OTHER TRAFFIC AND ALL STAGING OR STORAGE AREAS.
13.

NO RINSING, CLEANING EQUIPMENT OR DUMPING CONSTRUCTION LIQUID MATERIALS SHALL BE ALLOWED IN THE TREE PROTECTION ZONES. CARE SHALL BE TAKEN IN CLEANING UP EQUIPMENT. THERE SHALL BE NO STORAGE OF DUMPSTERS OR ACCUMULATED DEBRIS FROM DEMOLITION ON OR AROUND THE TREE PROTECTION ZONES OF EXISTING TREES AND SHRUBS.

14.

PROTECT OVERHANGING TREE CANOPIES FROM CONSTRUCTION DAMAGE. IF DRIVE AISLES ARE ANTICIPATED UNDER LOW CANOPIES CALL FOR AN EVALUATION BY A CERTIFIED ARBORIST TO DETERMINE APPROPRIATE MEASURES. ALL PRUNING SHALL BE DONE BY A CERTIFIED ARBORIST FOLLOWING NATIONAL ARBORIST ASSOCIATION SPECIFICATIONS.
15.

THERE SHALL BE NO GRADE CHANGE WITHIN A MINIMUM OF FIFTEEN FEET OF THE TRUNK OF EXISTING TREES TO BE PROTECTED, AND PREFERABLY NONE WITHIN THE ENTIRE TREE PROTECTION ZONE.
16.

HEAVY EQUIPMENT WILL NOT BE ALLOWED FOR EXCAVATION WITHIN TREE PROTECTION ZONES.
17.

TREES TO BE PROTECTED SHALL BE MONITORED WEEKLY AND IRRIGATED AS NEEDED OR DIRECTED BY ARBORIST DURING THE COURSE OF CONSTRUCTION.
18.

NO LIME OR OTHER SOIL TREATMENT SHALL BE APPLIED WITHOUT THE CONSENT OF A CERTIFIED ARBORIST.
19.

ALL TRENCHING SHALL CONFORM TO THE FOLLOWING GUIDELINES.

A.

A CERTIFIED ARBORIST IS REQUIRED TO BE PRESENT TO SUPERVISE ANY TRENCHING, DIGGING OR EXCAVATION OF ANY KIND WITHIN A TREE PROTECTION ZONE.

B.

ROOTS LARGER THAN 2 INCHES IN DIAMETER SHALL NOT BE SEVERED WITHOUT CALLING THE CERTIFIED ARBORIST FOR CUTTING OR REVIEW.

C.

TUNNELING OR BORING UNDER ROOTS RATHER THAN PRUNING IS PREFERRED.

D.

DIGGING WITHIN A TREE PROTECTION ZONE SHALL BE AVOIDED. IF IT IS NECESSARY, HAND DIGGING SHALL BE USED FOR ANY TRENCHING WITHIN THE TREE PROTECTION ZONE UNLESS OTHERWISE APPROVED BY THE ARBORIST.

E.

ALL ROOTS THAT NEED TO BE CUT SHALL BE PRUNED CLEANLY, NOT TORN.

TREE REMOVAL NOTES:

1.

PERFORM TREE REMOVAL WORK IN CONFORMANCE WITH APPLICABLE LOCAL CODES AND ORDINANCES.
2.

TREE REMOVAL INCLUDES REMOVAL OF THE TREE TRUNK AND BRANCHES ABOVE GRADE, STUMP GRINDING THE REMAINING TRUNK AND REMOVING ROOTS TO A DEPTH OF 12" BELOW GRADE.
3.

PROTECT EXISTING TREES TO REMAIN. DO NOT DAMAGE TRUNK, BRANCHES OR ROOTS OF TREES TO BE PROTECTED.
4.

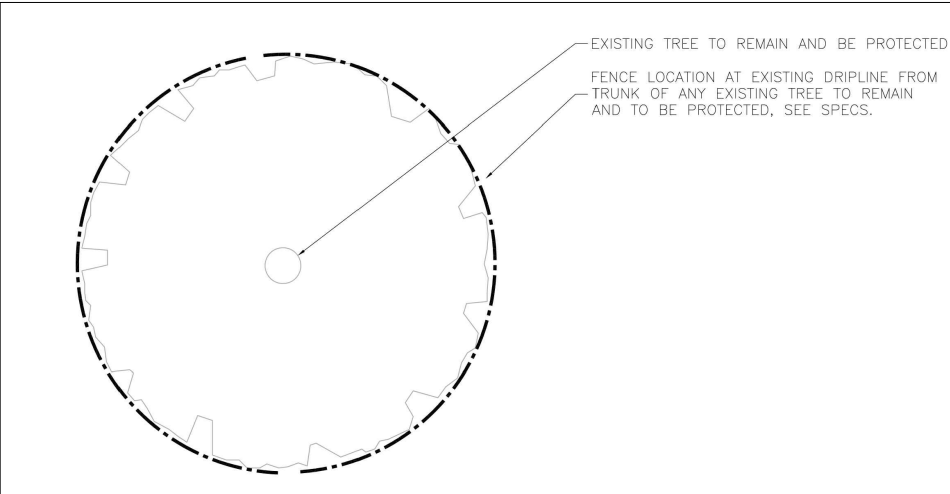
PROTECT EXISTING WORK TO REMAIN AND DO NOT CAUSE DAMAGE.
5.

GRIND REMOVED TRUNKS, BRANCHES AND LEAF LITTER IN WOODCHIPPER TO CREATE FINE WOOD CHIPS. STORE WOOD CHIPS/ARBOR MULCH IN LOCATION ACCEPTABLE TO OWNER AND MINIMUM 25' FEET AWAY FROM BUILDINGS. WOOD CHIPS/ARBOR MULCH TO BE USED AS MULCH ON PLANTING AREAS AND TO BE STORED FOR INCORPORATION INTO COMPOST PRODUCED ON-SITE. USE CHIPS FOR STABILIZATION OF SOIL DISTURBANCES ASSOCIATED WITH REMOVAL..
6.

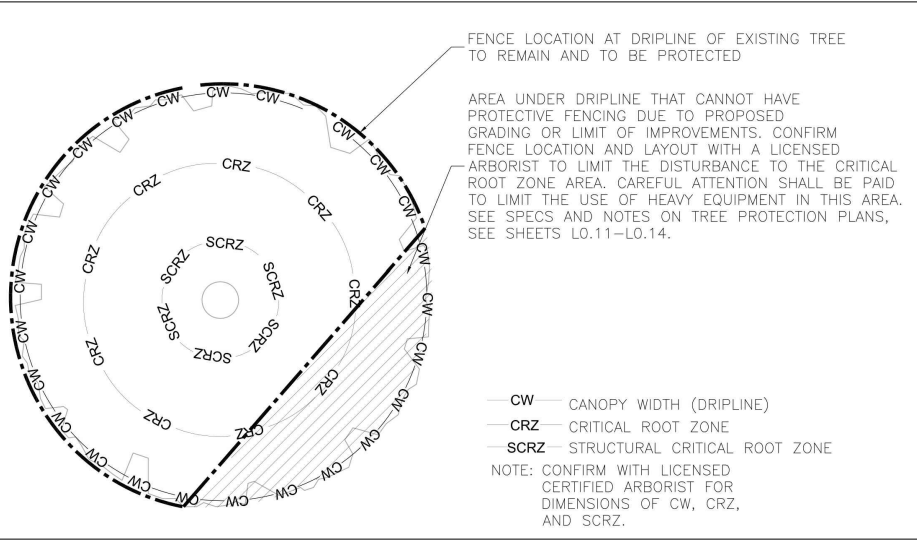
LEGALLY DISPOSE OF TREE REMOVAL DEBRIS (NOT CHIPPED PER #5 ABOVE) OFF-SITE FOLLOWING CITY OF BRISBANE REQUIREMENTS.

TREE INVENTORY WITHIN L.O.W. AND ADJACENT AREA OUTSIDE L.O.W.

TOTAL TREES EXISTING :		124
<div><div></div></div>	TREES PROTECTED IN PLACE :	93
<div><div></div></div>	TREES TO BE REMOVED :	31 32
<div><div></div></div>	NEW TREES :	39



PROTECTIVE FENCING FOR TREE PROTECTION AT DRIPLINE-PLAN



PROTECTIVE FENCING FOR TREE PROTECTION AT PARTIAL DRIPLINE-PLAN

TREE PROTECTION FENCING-SECTION

TREE PROTECTION DETAIL 01
SCALE : NTS

PHASE3

100% IMPROVEMENTS

CIVIL ENGINEER:

Bkf100

YEARS

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:

TLS

1015 Camelia St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:

1000 MARINA BOULEVARD

TREE PROTECTION / REMOVAL NOTES AND DETAILS

CITY OF BRISBANE

SAN MATEO COUNTY

CALIFORNIA

Date	NTS	No.	Revisions
Scale	Design		01/27/021
Drawn	Drawn		05/27/022
Approved	Approved		06/28/022
Job No	20170365-11		10/26/022
Drawing Number:	L0.6.00A	3	PLAN CHECK RESPONSE

01/04/2023
PLAN CHECK RESPONSE 3

DRAWING NAME: Y:\PHA_002 Marine-Boy Trail Extension\3.0 Dwg\3.05 Sheet Sets\0.6.00_Tree Protection and Removal Notes.dwg
PLOT DATE: 02-15-23 PLOTTED BY: kushal

Tre e No.	Species	Trunk Diameter (in.)	Protecte d Tree?	Status
101	Monterey pine	15	Yes	Remove
102	Monterey pine	9	No	Remove
103	Monterey pine	32	Yes	Protect
104	Monterey pine	28	Yes	Protect
105	Monterey pine	22	Yes	Protect
106	Monterey pine	24	Yes	Protect
107	Monterey pine	25	Yes	Protect
108	Nichol's willowleafed peppermint	25	Yes	Protect
109	Nichol's willowleafed peppermint	31	Yes	Protect
110	Nichol's willowleafed peppermint	21	Yes	Protect
111	Nichol's willowleafed peppermint	12	Yes	Protect
112	Nichol's willowleafed peppermint	20	Yes	Protect
113	Nichol's willowleafed peppermint	24	Yes	Protect
114	Nichol's willowleafed peppermint	23	Yes	Protect
115	Nichol's willowleafed peppermint	27	Yes	Protect
116	Nichol's willowleafed peppermint	23	Yes	Protect
117	Nichol's willowleafed peppermint	25	Yes	Protect
118	Nichol's willowleafed peppermint	33	Yes	Protect
123	Lombardy poplar	28	Yes	Remove
125	Lombardy poplar	31	Yes	Remove
128	Lombardy poplar	25	Yes	Remove
129	Lombardy poplar	27	Yes	Remove
130	Lombardy poplar	12,5,3,2,2,2	Yes	Remove
131	Lombardy poplar	18,16,15	Yes	Remove
132	Lombardy poplar	17,15,12	Yes	Remove
133	Lombardy poplar	26	Yes	Remove
135	Lombardy poplar	24	Yes	Remove
136	Lombardy poplar	9	No	Remove
137	Monterey pine	18	Yes	Remove
138	Monterey pine	17	Yes	Remove
139	Monterey pine	13	Yes	Remove
140	Monterey pine	26	Yes	Remove
141	Monterey pine	28	Yes	Remove
142	Lombardy poplar	17	Yes	Remove
143	Lombardy poplar	24	Yes	Remove
144	Lombardy poplar	21	Yes	Remove
145	Blackwood acacia	24	No	Remove
146	Lombardy poplar	21	Yes	Remove
147	Lombardy poplar	21	Yes	Remove
148	Purpleleaf plum	5,5,3	No	Protect
149	Lombardy poplar	20	Yes	Remove
150	Pink melaleuca	8,8,4,3,3,2,2	No	Remove
151	Lombardy poplar	21	Yes	Remove
152	Lombardy poplar	21	Yes	Remove
153	Pink melaleuca	9,5,4,3	No	Protect
154	Nichol's willowleafed peppermint	26	Yes	Protect
155	Nichol's willowleafed peppermint	17	Yes	Protect

Tre e No.	Species	Trunk Diameter (in.)	Protecte d Tree?	Status
155	Nichol's willowleafed peppermint	17	Yes	Protect
156	Nichol's willowleafed peppermint	22	Yes	Remove
157	Nichol's willowleafed peppermint	24	Yes	Remove
158	Monterey pine	12	Yes	Protect
159	Nichol's willowleafed peppermint	18	Yes	Protect
160	Nichol's willowleafed peppermint	6	No	Protect
161	Nichol's willowleafed peppermint	17	Yes	Protect
162	Nichol's willowleafed peppermint	10	Yes	Protect
163	Nichol's willowleafed peppermint	18	Yes	Protect
164	Nichol's willowleafed peppermint	14	Yes	Protect
165	Nichol's willowleafed peppermint	18	Yes	Protect
166	Nichol's willowleafed peppermint	12	Yes	Protect
167	Nichol's willowleafed peppermint	18	Yes	Protect
168	Nichol's willowleafed peppermint	14	Yes	Protect
172	Nichol's willowleafed peppermint	16	Yes	Protect
173	Nichol's willowleafed peppermint	16	Yes	Protect
174	Nichol's willowleafed peppermint	14	Yes	Protect
175	Nichol's willowleafed peppermint	16	Yes	Protect
176	Nichol's willowleafed peppermint	17	Yes	Protect
177	Cajeput paperbark tree	26,12	Yes	Protect
178	Nichol's willowleafed peppermint	18	Yes	Protect
179	Nichol's willowleafed peppermint	17	Yes	Protect
180	Nichol's willowleafed peppermint	20	Yes	Protect
181	Nichol's willowleafed peppermint	12	Yes	Protect
182	Nichol's willowleafed peppermint	16	Yes	Protect
183	Nichol's willowleafed peppermint	17	Yes	Protect
184	Nichol's willowleafed peppermint	15	Yes	Protect
185	Nichol's willowleafed peppermint	20	Yes	Protect
186	Nichol's willowleafed peppermint	14	Yes	Protect
187	Nichol's willowleafed peppermint	23	Yes	Remove
188	Monterey pine	20	Yes	Remove
189	Monterey pine	13	Yes	Protect
190	Cajeput paperbark tree	20,15	Yes	Protect
191	Cajeput paperbark tree	13,10,7	Yes	Protect
192	Cajeput paperbark tree	16	Yes	Protect
198	Nichol's willowleafed peppermint	16	Yes	Protect

Tre e No.	Species	Trunk Diameter (in.)	Protecte d Tree?	Status
199	Nichol's willowleafed peppermint	22	Yes	Protect
200	Nichol's willowleafed peppermint	16	Yes	Protect
201	Nichol's willowleafed peppermint	14	Yes	Protect
202	Nichol's willowleafed peppermint	28	Yes	Protect
203	Nichol's willowleafed peppermint	25	Yes	Protect
204	Nichol's willowleafed peppermint	30	Yes	Protect
205	Purpleleaf plum	7,6	No	Protect
206	Purpleleaf plum	6,5,4	No	Protect
207	Purpleleaf plum	5,5,5,4,3	No	Protect
208	Nichol's willowleafed peppermint	26	Yes	Protect
209	Nichol's willowleafed peppermint	21	Yes	Protect
210	Nichol's willowleafed peppermint	29	Yes	Protect
255	New Zealand Christmas tree	1	Yes	Protect
256	New Zealand Christmas tree	1	Yes	Protect
257	New Zealand Christmas tree	1	Yes	Protect
258	New Zealand Christmas tree	1	Yes	Protect
259	New Zealand Christmas tree	1	Yes	Protect
260	New Zealand Christmas tree	1	Yes	Protect
261	New Zealand Christmas tree	1	Yes	Protect
262	New Zealand Christmas tree	1	Yes	Protect
263	Strawberry tree	2	Yes	Protect
264	Strawberry tree	2	Yes	Protect
265	Strawberry tree	2	Yes	Protect
266	Strawberry tree	3	Yes	Protect
267	New Zealand Christmas tree	1	Yes	Protect
268	New Zealand Christmas tree	2	Yes	Protect
269	New Zealand Christmas tree	1	Yes	Protect
270	New Zealand Christmas tree	1	Yes	Protect
271	Crape myrtle	1	Yes	Protect
272	Crape myrtle	1	Yes	Protect
273	Crape myrtle	2	Yes	Protect
274	Crape myrtle	2	Yes	Protect
275	Crape myrtle	3	Yes	Protect
276	Japanese maple	3,3,2,2,2,2,2,2,1	No	Protect
277	New Zealand Christmas tree	1	Yes	Protect
278	New Zealand Christmas tree	1	Yes	Protect
279	New Zealand Christmas tree	1	Yes	Protect
280	New Zealand Christmas tree	1	Yes	Protect
281	New Zealand Christmas tree	1	Yes	Protect
282	New Zealand Christmas tree	1	Yes	Protect
283	New Zealand Christmas tree	2	Yes	Protect
284	New Zealand Christmas tree	1	Yes	Protect

NOTES:
1. ARBORIST TREE ASSESSMENT REPORT INCLUDES TREES WITHIN PROJECT LIMIT OF WORK AND TREES OUTSIDE LIMIT OF WORK ON ADJACENT 1000 MARINA AREA PROPERTY.



CIVIL ENGINEER:
Bkf100
255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
TLS
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD
TREE PROTECTION AND REMOVAL STATUS

SAN MATEO COUNTY

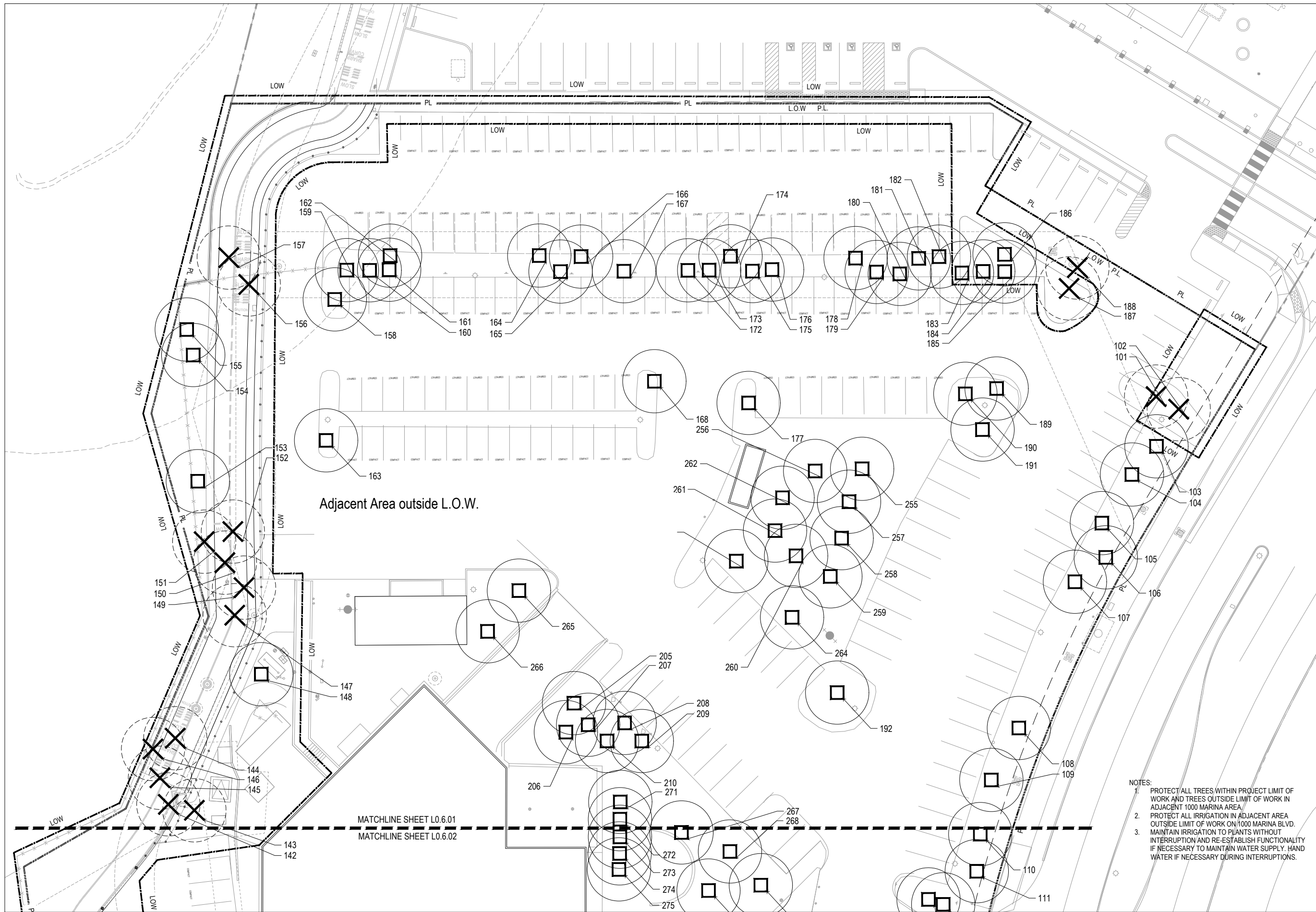
CITY OF BRISBANE

CALIFORNIA

No.	Date	Revisions
	100% DESIGN DEVELOPMENT	01/27/2021
	50% CONSTRUCTION DRAWINGS	05/27/2022
	90% CONSTRUCTION DRAWINGS	06/28/2022
	100% CONSTRUCTION DRAWINGS	10/26/2022
	PLAN CHECK RESPONSE	10/26/2022
3	Job No. 20170365-11	01/04/2023

Drawing Number:
L0.6.00B

DRAWING NAME: Y:\PHA 002 Marina-Boy Trail Extension\3.0 Dwgs\3.05 Sheet Sets\L0.6.01_Tree Protection Plan.dwg
PLOT DATE: 02-15-23 PLOTTED BY: kushal

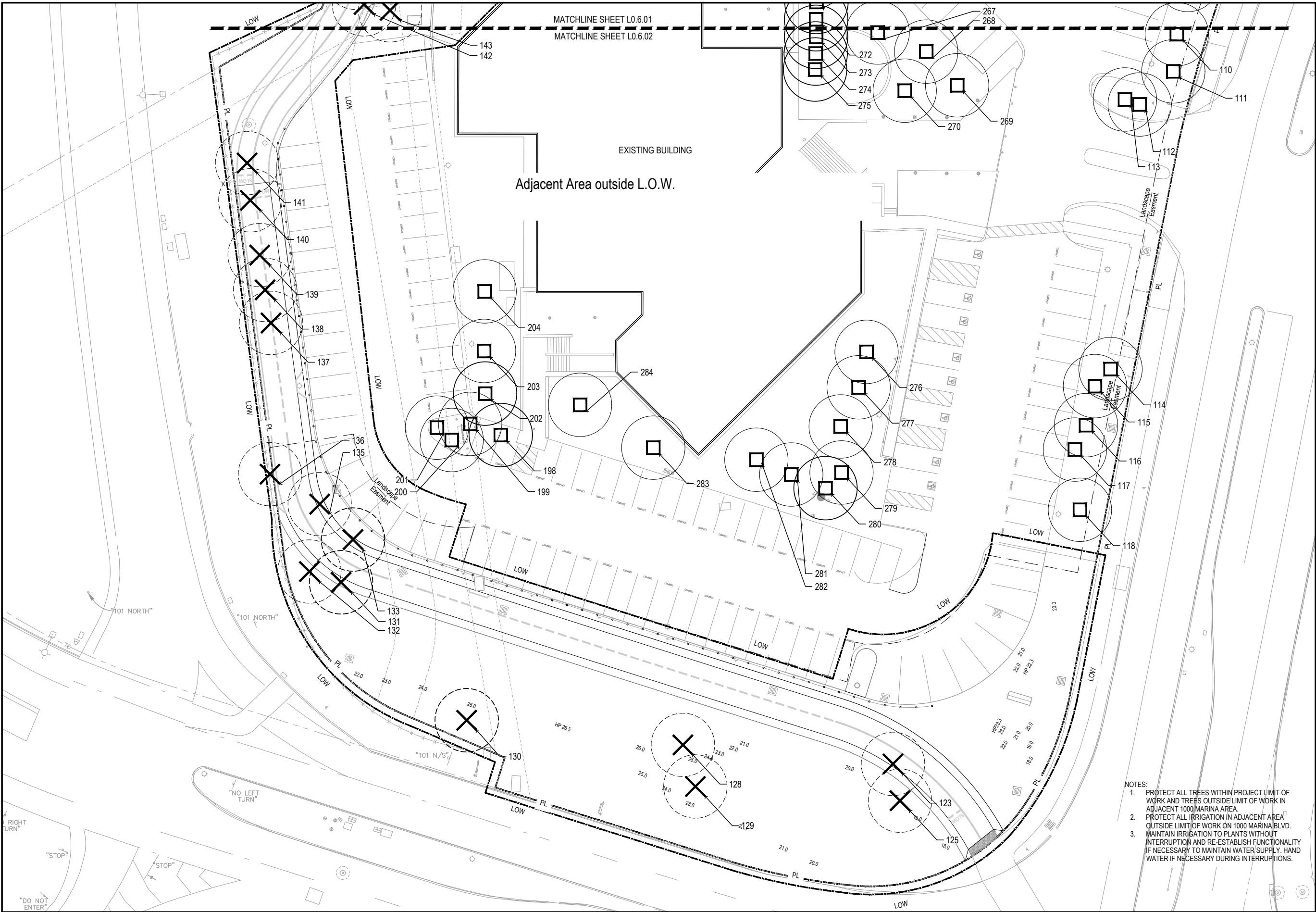


- NOTES:
1. PROTECT ALL TREES WITHIN PROJECT LIMIT OF WORK AND TREES OUTSIDE LIMIT OF WORK IN ADJACENT 1000 MARINA AREA.
 2. PROTECT ALL IRRIGATION IN ADJACENT AREA OUTSIDE LIMIT OF WORK ON 1000 MARINA BLVD.
 3. MAINTAIN IRRIGATION TO PLANTS WITHOUT INTERRUPTION AND RE-ESTABLISH FUNCTIONALITY IF NECESSARY TO MAINTAIN WATER SUPPLY. HAND WATER IF NECESSARY DURING INTERRUPTIONS.



Revisions		No.	Date
100% DESIGN DEVELOPMENT	01/27/2021		
50% CONSTRUCTION DRAWINGS	05/27/2022		
90% CONSTRUCTION DRAWINGS	06/28/2022		
100% CONSTRUCTION DRAWINGS	10/26/2022		
PLAN CHECK RESPONSE	10/26/2022		

DRAWING NAME: Y:\PHA 002 Marina-Boy Trail Extension\3.0 Dwg\3.05 Sheet Sets\LO.6.01_Tree Protection Plan.dwg
PLOT DATE: 10-24-22 PLOTTED BY: amberk



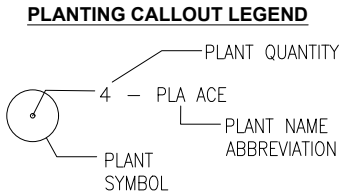
- NOTES:
1. PROTECT ALL TREES WITHIN PROJECT LIMIT OF WORK AND TREES OUTSIDE LIMIT OF WORK IN ADJACENT 1000 MARINA AREA.
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Date	No.	Revisions
Scale	1/16" = 1'-0"	100% DESIGN DEVELOPMENT 01/27/021
Design		50% CONSTRUCTION DRAWINGS 05/27/022
Drawn		90% CONSTRUCTION DRAWINGS 06/28/022
Approved		100% CONSTRUCTION DRAWINGS 10/26/022
Job No.	20170365-11	PLAN CHECK RESPONSE 10/26/022

DRAWING NAME: Y:\PHA_002 Marina-Boy Trail Extension\3.0 Dwg\3.05 Sheet Sets\1.6.00_Planting Schedule.dwg
PLOT DATE: 01-05-23 PLOTTED BY: kushal

TREES								
ABBR.	SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOL	MAX. ROOTING DEPTH	Required Distance Between Bottom of Root ball and Clay Cap at Planting Root Ball at planting + Max Rooting Depth + 1 foot = maintain 1 foot between max rooting depth and top of clay cap (If clay Cap is present)
MET EXC		<i>Metrosideros excelsa</i>	Newzealand Christmas Tree	39	36" BOX,16'HT,10' SPREAD	L	3'	78 inches (6.5 feet)



CA NATIVE PLANTS - 24,481 SQ.FT.										
TYPE	SYM.	AREA (sqft)	ABBR.	BOTANICAL NAME	COMMON NAME	WUCOL	SIZE	REMARKS	MAX. ROOTING DEPTH	Required Distance Between Bottom of Root Ball and Clay Cap at Planting Root Ball at planting + Max Rooting Depth + 1 foot = maintain 1 foot between max rooting depth and top of clay cap (If clay Cap is present)
NA1		10,330	CAR DIV	<i>Carex divisa (C. tumulicola)</i>	Berkeley Sedge	L	1 GAL	18" O.C.	2'	43 inches (3.6 feet)
		630	CIS SKA	<i>Cistus skanbergii</i>	Rock Rose	L	5 GAL	24" O.C. DBL ROW	2'	47.75 inches (4 feet)
NA2		2,820	JUN PAT	<i>Juncus patens</i>	California Gray Rush	L	1 GAL	24" O.C.	2'	43 inches (3.6 feet)
NA3		6,668	LES FLA	<i>Lessingia flaginifolia 'Silver Carpet'</i>	Silver Carpet California Beach Aster	L	1 GAL	30" O.C.	2'	43 inches (3.6 feet)
NA4		1,510	MUH RIG	<i>Muhlenbergia rigens</i>	Deergrass	L	1 GAL	30" O.C.	2'	43 inches (3.6 feet)
NA5		1,000	ECH CAL	<i>Eschscholzia californica</i>	California Poppy	VL	1 GAL	24" O.C.	2'	43 inches (3.6 feet)
NA5		1,000	SIS BEL	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	VL	1 GAL	18" O.C.	2'	43 inches (3.6 feet)

PLANTING NOTES

- OBTAIN COPY OF AND BECOME FAMILIAR WITH GEOTECHNICAL INVESTIGATION 1000 MARINA BOULEVARD WHEN AVAILABLE. REVIEW CIVIL DRAWINGS TO BECOME FAMILIAR WITH SUBSURFACE CONDITIONS INCLUDING SITE FILL. SOIL OVER A CLAY CAP MATERIAL OF LOW PERMEABILITY SOIL CONFORMING TO THE GEOTECHNICAL REPORT. THE SURFACE OF THE CLAY CAP LAYER SLOPES A MINIMUM OF 1% FOR POSITIVE DRAINAGE. DO NOT PENETRATE OR DAMAGE THE CLAY CAP. IF A DISCREPENCY OR CONFLICT IS FOUND BETWEEN PLANTING LAYOUT / PLANTING DETAILS AND CLAY CAP NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND DO NOT PROCEED IN THAT AREA WITHOUT OWNER'S REPRESENTATIVE'S NOTIFICATION.
- VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM THEIR OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIAL IF IT IS DETERMINED THAT SUBGRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE.
- GRADE THE SURFACE OF ALL PLANTING AREAS TO 1", REMOVE ALL ROCKS OVER 1-1/2", ALL EARTH CLODS AND THOROUGHLY INCORPORATE AMENDMENTS AND PLANTING SOIL FOR A HOMOGENOUS MIX PRIOR TO EXCAVATING PLANT PITS AND INSTALLING PLANTS.
- PREPARE FINISH GRADES TO MEET SPOT ELEVATIONS AND CONTOURS SHOWN ON GRADING PLANS IN PLANTING AREAS TO INCLUDE THE APPLICATION OF TOPSOIL. MAKE SLOPES SMOOTH AND EVENLY WORKED. DO NOT LEAVE SOIL IN CLUMP FORM. HOLD FINISH GRADE BELOW EDGE OF WALK, EDGING OR CURB AS INDICATED ON PLANTING DETAILS.
- IF CLAY CAP IS KNOWN TO BE PRESENT IN THE LOCATION OF THE PLANTING, INSTALL AND MAINTAIN MINIMUM SOIL DEPTH OF 12" UNDERNEATH BOTTOM OF MAXIMUM ROOTING DEPTH (VARIES BASED ON SPECIES) AND TOP OF CLAY CAP (IF KNOWN TO BE PRESENT), AT ALL LANDSCAPE PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT AND LANGAN PRIOR TO PROCEEDING IF ANY DISCREPENCIES ARE FOUND.
- INSTALL STEEL HEADER TO CONTAIN ALL PLANTING BEDS NOT CONTAINED BY A HARDSCAPE EDGE OF PAVING OR STRUCTURE.
- SUPPLY PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLANTING PLAN. PLANT QUANTITIES AND AREA TAKE OFFS WHERE SHOWN ON THE PLANT SCHEDULE AND ON THE PLANTING PLAN ARE FOR CONVENIENCE AND GENERAL BID REFERENCE ONLY. VERIFY PLANT QUANTITIES. IF DISCREPENCIES EXIST BETWEEN THE QUANTITIES OR SQUARE FOOT AREAS SHOWN ON THE PLANT SCHEDULE AND THOSE SHOWN ON THE PLANS, THE PLANS TAKE PRECEDENCE TO IMPLEMENT DESIGN INTENT UNLESS OTHERWISE NOTED.
- NO SUBSTITUTION OF SPECIES WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT. CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE UNLESS OTHERWISE NOTED.
- FURNISH PLANT MATERIAL FREE OF PESTS AND PLANT DISEASES.
- INSTALL PLANTS SO THEY BEAR SAME RELATIONSHIP OR SLIGHTLY HIGHER TO THE FINISHED GRADE THEY BORE IN THE NURSERY CONTAINER'S EXISTING GRADE UNLESS OTHERWISE INDICATED.
- STAKE TREE LAYOUT AND PLACE UNDERSTORY PLANTS, STILL IN THEIR CONTAINERS, PER PLAN LAYOUT FOR LANDSCAPE ARCHITECT'S REVIEW AND ACCEPTANCE PRIOR TO INSTALLATION. STAKE OR PAINT ON THE GROUND THE LOCATIONS OF NEW AND EXISTING UTILITIES FOR REFERENCE DURING LANDSCAPE ARCHITECT'S FIELD REVIEW OF PLANTING LAYOUT. PLANT LAYOUT SHOWN ON THE PLANTING PLAN IS DIAGRAMMATIC.
- DO NOT INSTALL PLANTS UNTIL ACCEPTANCE OF HORIZONTAL ALIGNMENT IN THE FIELD BY LANDSCAPE ARCHITECT.
- SPACE GROUND COVER, ORNAMENTAL GRASS AND PERENNIAL PLANTS TRIANGULARLY IN PLANTING AREAS UNLESS OTHERWISE NOTED.
- WHERE MULTIPLE SPECIES ARE CALLED OUT FOR AN AREA, MIX GROUND COVER PLANTS IN PLANTING BEDS TO AVOID GEOMETRICAL DISTRIBUTION UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT.
- DO NOT PLANT TREES WITHIN 10'-0" OF CENTERLINE OF UTILITY OR WITHIN WATER EASEMENTS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPENCIES BEFORE PROCEEDING.
- COORDINATE ON-SITE REVIEW MEETINGS FOR MOST EFFICIENT USE OF LANDSCAPE ARCHITECT'S TIME WHILE ON-SITE. NOTIFY LANDSCAPE ARCHITECT MINIMUM 72 HOURS PRIOR TO REQUESTED FIELD REVIEW MEETING AND PROVIDE AGENDA OF ITEMS THAT WILL BE READY FOR REVIEW DURING MEETING. IF AGENDA ITEMS ARE NOT COMPLETE AND READY FOR REVIEW (FOR EXAMPLE TREE LOCATIONS STAKED, SHRUB PLANTS SET OUT IN CONTAINERS AND UTILITIES STAKED/PAINTED) THE MEETING WILL BE CANCELLED. PARTIAL REVIEWS WILL NOT BE MADE.
- INSTALL 3" LAYER OF BARK MULCH AT ALL TREES, PLANTS AND PLANT BEDS, WITH THE EXCEPTION OF TURF, SEEDED AREAS AND SLOPES GREATER THAN 2:1. KEEP MULCH AWAY FROM DIRECT CONTACT WITH PLANT TRUNK OR STEM.
- ADJUST OR REMOVE ALL STAKES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT UPON COMPLETION OF THE ONE (1) YEAR PLANT GUARANTEE PERIOD. ALL STAKES REMAINING SHALL THEN BECOME THE RESPONSIBILITY OF THE OWNER.
- RIP EXISTING SOIL, INSTALL TOPSOIL AND SEED ALL AREAS IMPACTED AS A RESULT OF ANY AND ALL DISTURBANCES, CONSTRUCTION, OR STORAGE OF EQUIPMENT WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED PRIOR TO SUBMITTING A BID.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS THROUGH AUTOMATED WEATHER-BASED IRRIGATION SYSTEM WITH WATERSENSE IRRIGATION CONTROLLERS USING LOCAL WEATHER DATA TO DETERMINE WHEN AND HOW MUCH TO WATER, RAINFALL SHUTOFF DEVICES TO TURN OFF SYSTEM DURING RAINY WEATHER AND IN-GROUND DRIP EMITTERS AS SHOWN.
- PERFORM WORK IN ACCORDANCE WITH PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP). REFER TO CIVIL DRAWINGS.
- "WUCOL", SHOWN ON PLANT SCHEDULE, REFERS TO "WATER USE CLASSIFICATION OF LANDSCAPE SPECIES", A PROJECT INITIATED AND FUNDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES TO PROVIDE AN ASSESSMENT OF IRRIGATION WATER NEEDS OF PLANTS LISTED IN THE DATABASE. EVALUATIONS ARE INDICATED BY VL (VERY LOW), L (LOW), M (MODERATE), H (HIGH) WATER NEEDS.

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan.
TLS Landscape Architecture

ATTACHMENT E

PHASE 3

CIVIL ENGINEER:

255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:

1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:

1000 MARINA BOULEVARD

PLANTING LEGEND AND NOTES

CITY OF BRISBANE

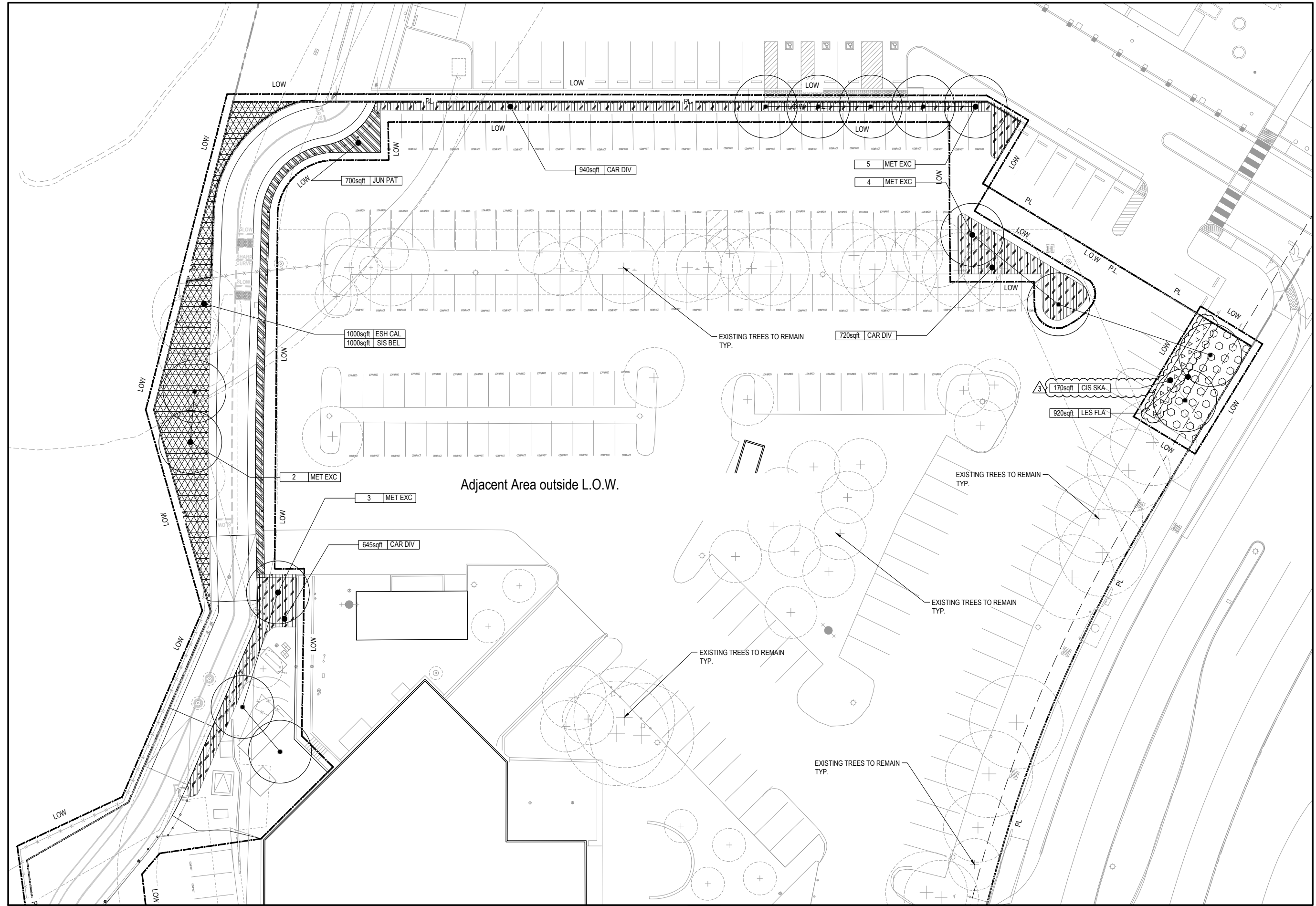
SAN MATEO COUNTY

CALIFORNIA

Date	No.	Revisions
Design		01/27/2021
Drawn		05/27/2022
Approved		06/28/2022
Job No.	20170365-11	10/26/2022
PLAN CHECK RESPONSE		3

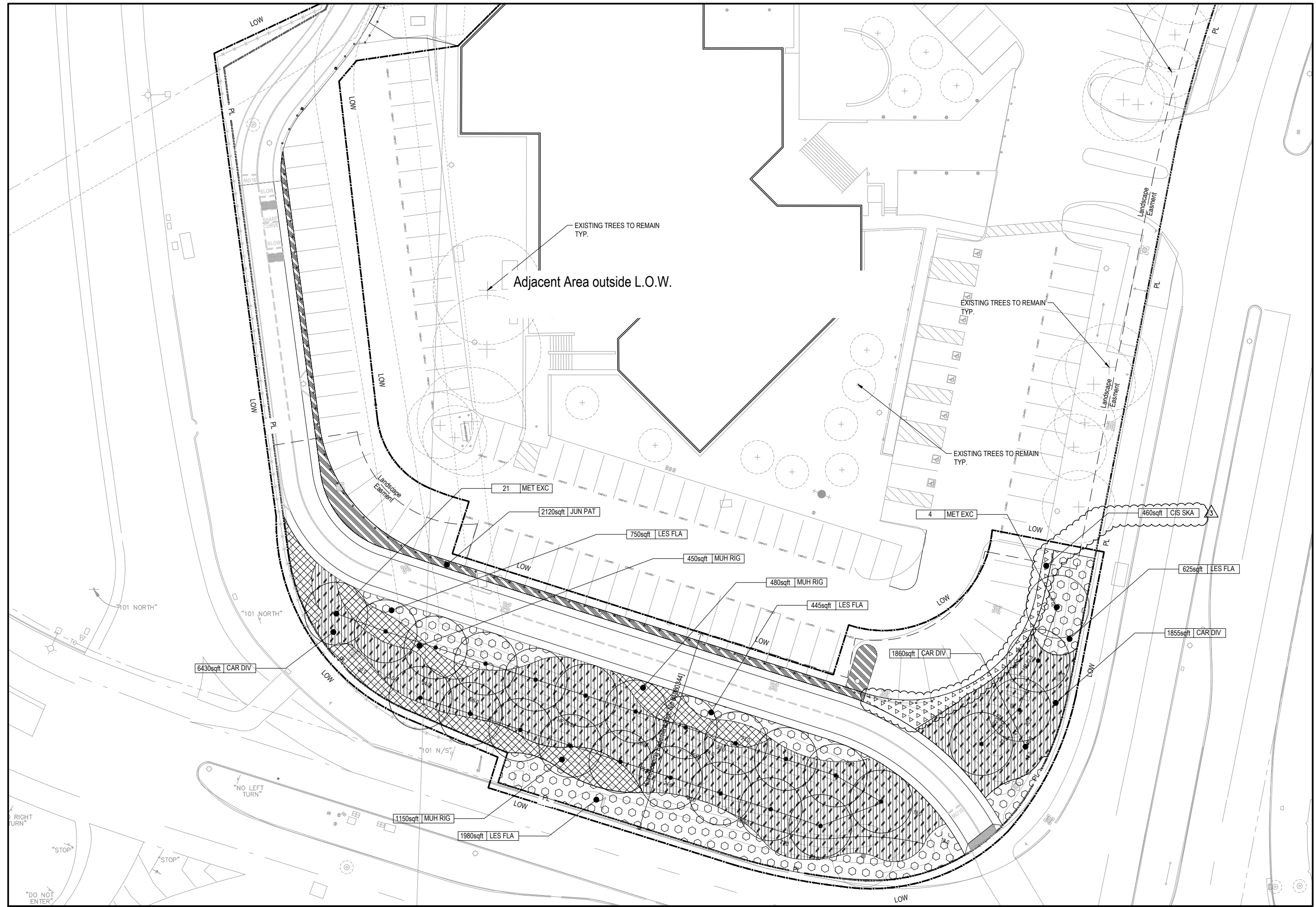
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L1.6.00

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Design				50% CONSTRUCTION DRAWINGS	05/27/2022
Drawn				90% CONSTRUCTION DRAWINGS	06/28/2022
Approved				100% CONSTRUCTION DRAWINGS	10/26/2022
Job No	20170365-11			PLAN CHECK RESPONSE	10/26/2022

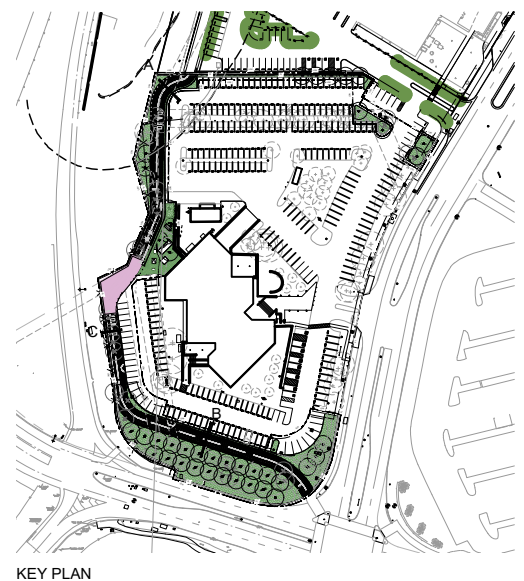




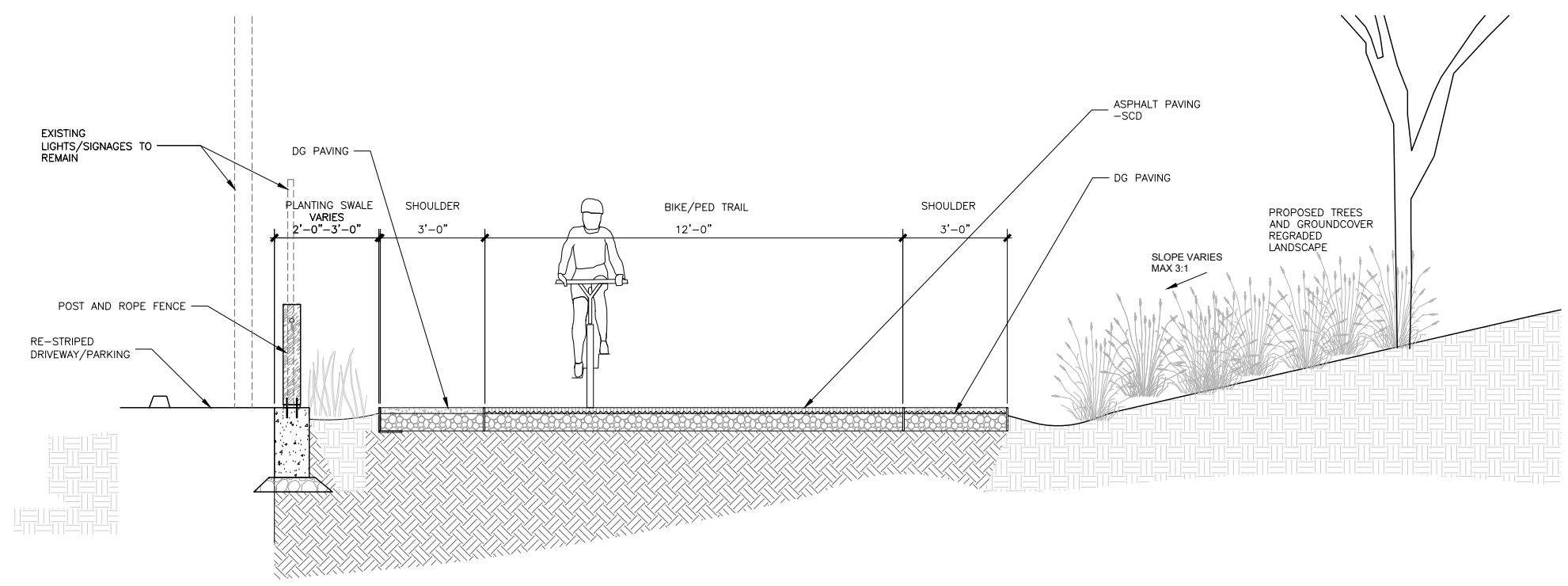
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Design		50% CONSTRUCTION DRAWINGS
Drawn		90% CONSTRUCTION DRAWINGS
Approved		100% CONSTRUCTION DRAWINGS
Job No. 20170365-11		PLAN CHECK RESPONSE
		10/26/2022



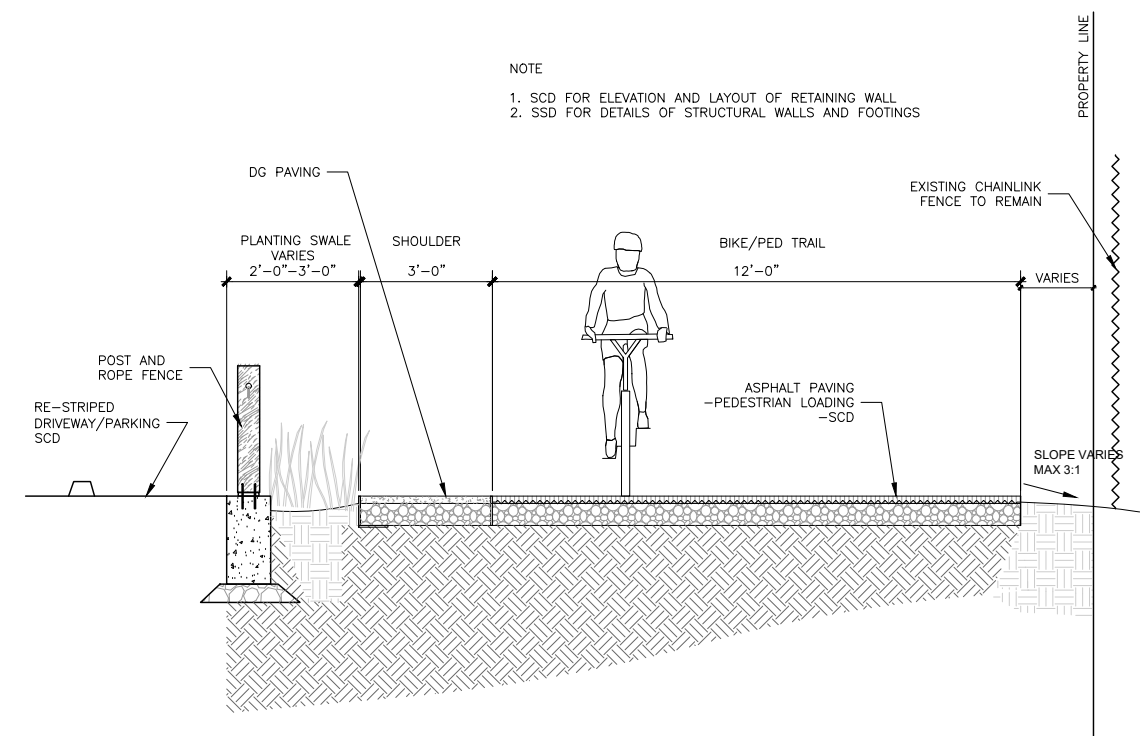
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PLOT DATE: 01-05-23 PLOTTED BY: amberk



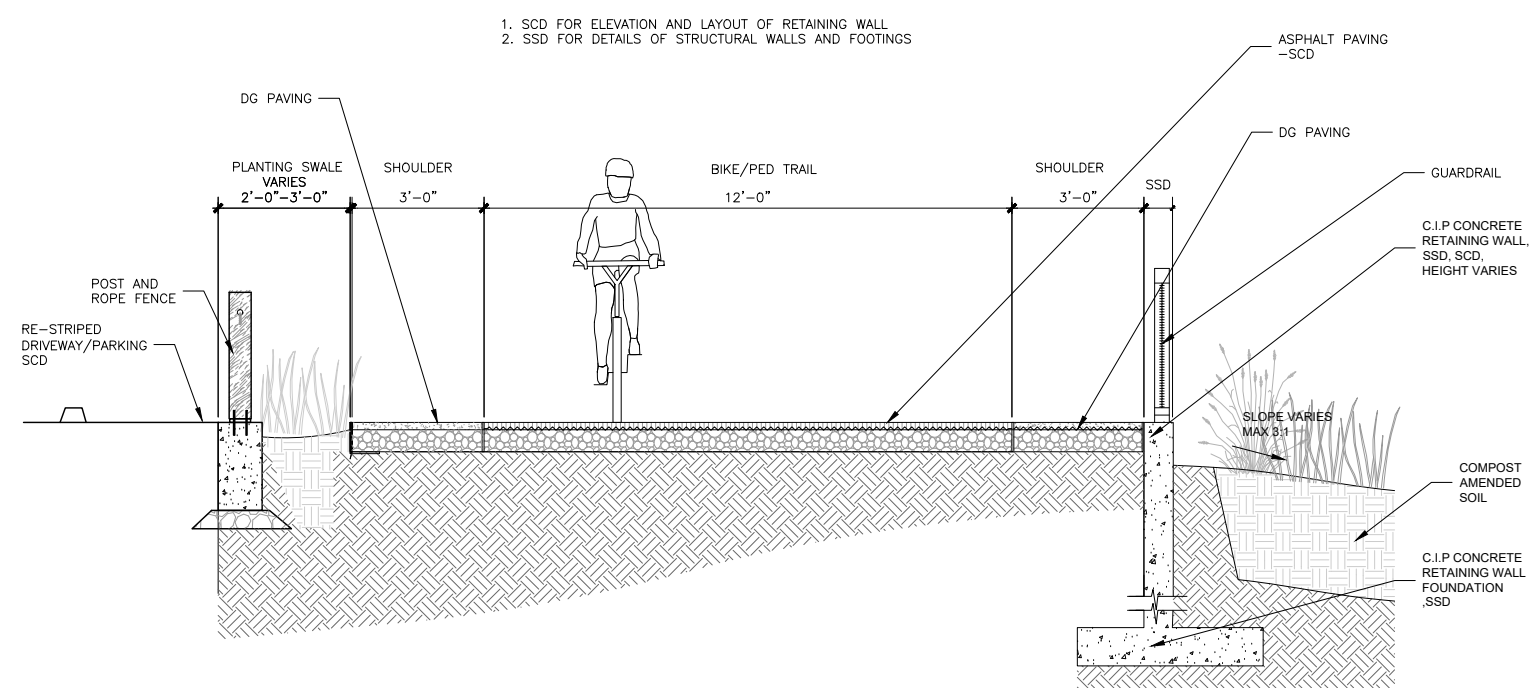
KEY PLAN



TYPICAL BAY TRAIL SECTION-B02
SCALE : 1/2"=1'-0"



TYPICAL BAY TRAIL SECTION-C03
SCALE : 1/2"=1'-0"



TYPICAL BAY TRAIL SECTION-A01
SCALE : 1/2"=1'-0"

NOTES:
1. SCD FOR ELEVATION AND LAYOUT OF RETAINING WALL.
2. SSD FOR DETAILS OF STRUCTURAL WALLS AND FOOTINGS.

PHASE 0
REPL. IMPROVEMENTS

CIVIL ENGINEER:
Bkf100
255 Shoreline Drive, Suite 200
Redwood City, CA 94065

LANDSCAPE ARCHITECT:
TLS
1015 Camella St. Berkeley,
CA 94710

STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD
CONCEPTUAL SECTIONS
CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Revisions		No.	Date
100% DESIGN DEVELOPMENT	01/27/2021		
50% CONSTRUCTION DRAWINGS	05/27/2022		
90% CONSTRUCTION DRAWINGS	06/28/2022		
100% CONSTRUCTION DRAWINGS	10/26/2022		
PLAN CHECK RESPONSE	10/26/2022		
Job No. 20170365-11			
Drawing Number:		L2.1.1	

3 PLAN CHECK RESPONSE 3
01/04/2023

DRAWING NAME: Y:\PHASE 002 Marina-Bay Trail Extension\3.0 Dwg\3.05 Sheet Sets\L8.4.2_Details-Headers and Fences.dwg
PLOT DATE: 01-05-23 PLOTTED BY: amberk

- GUARDRAIL NOTES:
1. DESIGN-BUILD TO MEET CODES.
 2. GUARDRAIL TO BE CAPABLE OF WITHSTANDING STRUCTURAL LOADS WITHOUT EXCEEDING ALLOWABLE DESIGN WORKING STRESS OF MATERIALS FOR GUARDRAILS, ANCHORS AND CONNECTIONS. THE GUARDRAIL SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY SINGLE POINT AND IN ANY DIRECTION FOR A UNIFORM LATERAL FORCE OF 50 LBS./LIN. FT. IN ANY DIRECTION. THE CONCENTRATED AND UNIFORM LOADING CONDITIONS SHALL NOT BE APPLIED SIMULTANEOUSLY. THE TOP RAIL SHALL BE DESIGNED TO SUPPORT MINIMUM 300 LB. CONCENTRATED SINGLE POINT LOAD APPLIED AT ANY POINT VERTICALLY OR HORIZONTALLY.
 3. DRAWINGS TO BE SIGNED BY CALIFORNIA LICENSED STRUCTURAL ENGINEER.
 4. FINISHED HEIGHT 42".



REFERENCE IMAGE :
SUPPLIED BY ERGEON
FENCES, CALIFORNIA

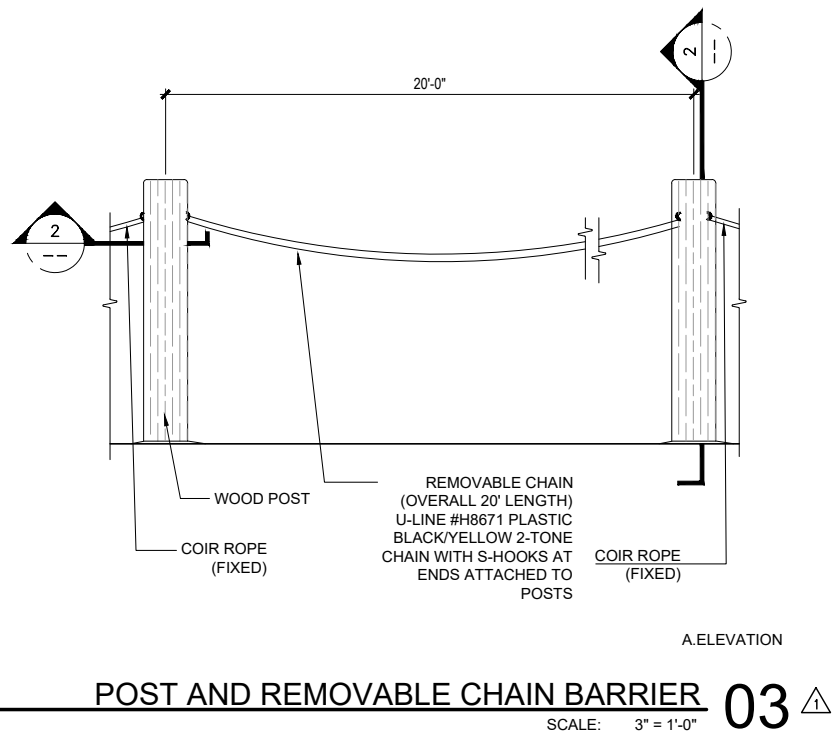


RENDERING SHOWING PROPOSED GUARDRAIL AND FENCE ALONG BAY TRAIL

63

SCALE: 1 1/2" = 1'-0"

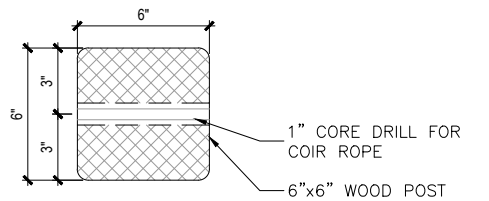
02



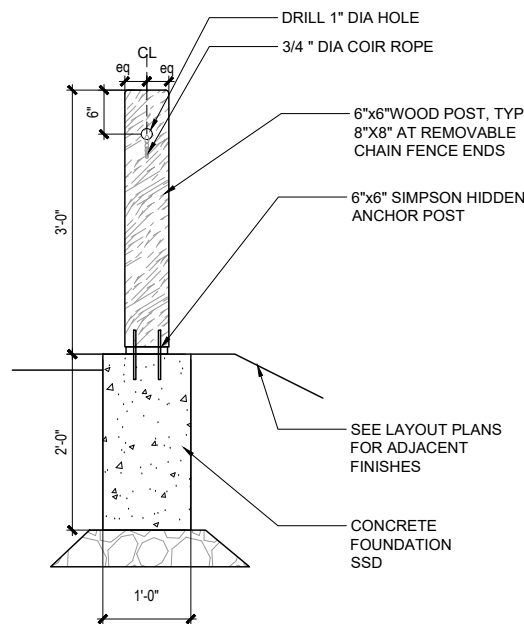
POST AND REMOVABLE CHAIN BARRIER

SCALE: 3" = 1'-0"

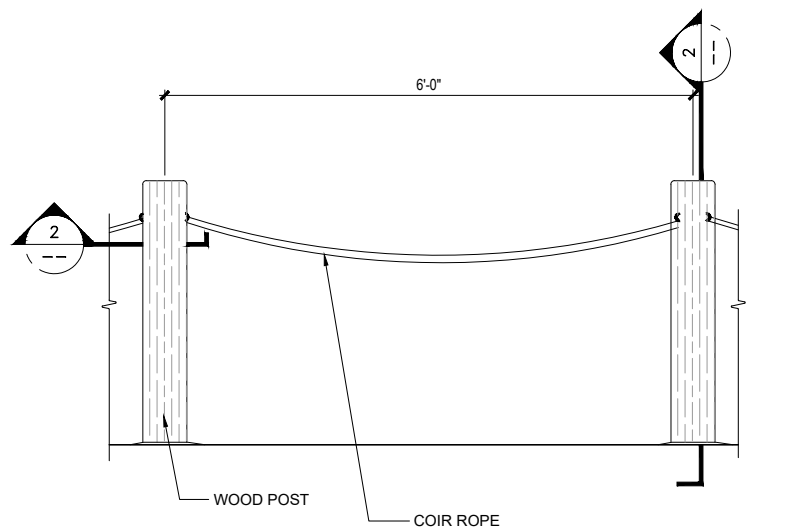
03



C.PLAN



B.SECTION



A.ELEVATION

POST AND ROPE FENCE

SCALE: 3" = 1'-0"

01

ATTACHMENT E

PHASE 002

CIVIL ENGINEER:
Bkf100
255 Shoreline Drive, Suite 200
Redwood City, CA 94065
LANDSCAPE ARCHITECT:
TLS
1015 Camella St. Berkeley,
CA 94710
STRUCTURAL ENGINEER:



1000 MARINA BOULEVARD
DETAILS-GUARDRAIL AND FENCE
CITY OF BRISBANE
SAN MATEO COUNTY
CALIFORNIA

Date	No.	Revisions
Scale		100% DESIGN DEVELOPMENT 01/27/2021
Design		50% CONSTRUCTION DRAWINGS 05/27/2022
Drawn		90% CONSTRUCTION DRAWINGS 06/28/2022
Approved		100% CONSTRUCTION DRAWINGS 10/26/2022
Job No	20170365-11	PLAN CHECK RESPONSE 10/26/2022

Drawing Number:

L8.4.2

Item

01/04/2023

3 PLAN CHECK RESPONSE 3

File Attachments for Item:

D. PUBLIC HEARING: 575-B Tunnel Road; Interim Use Permit 2023-UP-1; C-1 Commercial Mixed Use District; 5-year extension of Interim Use Permit UP-8-16 to continue storage of up to 750 rental, passenger vehicles for Avis Budget Group on a vacant, approximately 4.8-acre portion of the Baylands; and finding that this project is categorically exempt from environmental review under CEQA Guidelines Section 15304(e), Minor Alterations to Land; Sam Khodja, applicant; Tuntex (USA) Inc., (Baylands Development Inc.) owner.



PLANNING COMMISSION AGENDA REPORT

Meeting Date: February 23, 2023

From: Ken Johnson, Senior Planner

Subject: 575-B Tunnel Ave; 2023-UP-1; C-1 district; 5-year extension of Interim Use Permit UP-8-16 to continue storage of up to 750 rental, passenger vehicles for Avis Budget Group on a vacant, approximately 4.8-acre portion of the Baylands; and finding that this project is categorically exempt from environmental review under CEQA Guidelines Section 15304(e); Sam Khodja, applicant; Tuntex (USA) Inc. (BDI), owner.

REQUEST: The applicant requests approval of a 5-year extension of previously approved Interim Use Permit UP-8-16 to continue storage of up to 750 rental, passenger vehicles for Avis Budget Group (ABG), for 5 years, on a vacant approximately 4.8-acre portion of the Baylands, located behind (immediately east of) the Transdev bus yard. This is for a temporary overflow lot for vehicles rented through San Francisco International Airport (SFO). The applicant has indicated that there have been delays with the proposed rental car parking facility at SFO and so continuation of the use is requested.

RECOMMENDATION: Approve Interim Use Permit application 2023-UP-1 via adoption of Resolution 2023-UP-1 containing the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15304(e) - this project falls within a class of projects which the State has determined not to have a significant effect on the environment. The exceptions to this categorical exemption referenced in Section 15300.2 of the CEQA Guidelines do not apply.

APPLICABLE CODE SECTIONS: Brisbane Municipal Code (BMC) Chapter 17.41, provides procedures, required findings and conditions for the approval of interim uses in the Baylands subarea. Required findings for interim use permits are provided in BMC Section 17.41.060 and mandatory conditions of approval are provided in Section 17.41.070. Interim use permit time extensions are provided for in Section 17.41.080.D.

ANALYSIS AND FINDINGS:

Background

The Planning Commission approved Interim Use Permit UP-16-8 on February 27, 2018 for a 5-year term. The agenda report, meeting minutes and video from that approved application are attached to this report for the Commission's reference (see Attachment E hyperlink). The expiration date for the permit is March 6th, 2023 unless an extension is granted.

The Interim Use Permit allowed for the vacant lot, located behind the Transdev bus yard, to be used as a staging/storage site for new or nearly new rental cars and the yard began operation soon thereafter in 2018.

Consistent with the interim use permit conditions of approval, prior to commencement of this use, a two-way driveway to access and egress the site was provided along the southern edge of the Transdev bus yard. Also, although the yard had been previously hardened from previous uses, a new gravel surface was provided for a more even surface and to prevent surface water ponding. A chain-link fence was also placed around the perimeter of the site, for security. Additionally, two security cameras were placed at the entrance to the site, per the Planning Commission's condition of approval, and a roving security guard patrols the site.

In terms of the daily operations, ABG drivers are shuttled by van to or from the site to either pick up or drop of individual rental vehicles. There are no permanent on-site personnel. The use may operate 7 days a week, although typically on Wednesdays there are no vehicle trips. Currently, the highest estimated average trip counts occur on Mondays and Fridays, at 200 trips each (see Attachment D). This is down from the 2018 average estimate of 400 trips per day on those higher usage days. For all six typical vehicle movement days, the trips to and from the site are between the hours of 10 am and 4 pm. The travel routes are to and from SFO, via Tunnel Avenue and Beatty Avenue. Vehicles are not permitted to utilize Lagoon Road, per a condition of approval.

Following the Planning Commission's hearing in 2018, the Commission also added a condition of approval that the hours of vehicle movements were to exclude the hours of 7 to 10 am and 4 to 6 pm daily, to avoid peak traffic hours.

Note also that non-operable vehicles are not permitted to be stored at the site and vehicle maintenance on site is also prohibited. Lighting is not provided on the site, although potential lighting design was provided for through a condition of approval, if lighting were to be requested. None has been requested to date.

Proposed Continuation of the Use

The applicant proposes to continue the use with no change to the previous approval. The applicant's current application statements/project description is attached (see Attachment C).

Findings

The required findings under BMC Sections 17.41.060.A-F and project analysis are as follows:

a) The interim use will not be detrimental to the public health, safety or welfare, or injurious to nearby properties or improvements;

The proposal complies with this finding. The site is in an industrial use, in an area that is industrial in character, and this outdoor vehicle storage use is consistent with that character. Adjacent uses include Transdev's bus yard to the west and the Recology storage yard to the north. These uses to the west and north also primarily serve as vehicle storage yards. The former Van Arsdale-Harris lumberyard at to the south is now also owned by Recology and includes warehouse buildings and was most recently used for storage of recycling bins. Then to the east are the soil and rock recycling operations on BDI's land.

The only use of the site would be storage and movement of passenger rental vehicles. The intensity and operational characteristics of the proposed rental car storage yard are consistent with the surrounding area and will not adversely impact nearby businesses or the public health, safety or welfare.

b) the interim use will not create any significant environmental impacts;

The proposal complies with this finding. The site overlies the former landfill and was previously used for a building materials facility that was removed in 2004.

Conditions of approval have been carried forward, as originally requested by the RWQCB and County, to ensure that the use complies with their requirements regarding not allowing for water ponding and to maintain the ground surface. Note that no grading or construction activities are proposed with this application.

Additionally, as part of the original permit application in 2018, the City retained Metis Environmental Group to analyze traffic impacts from the proposed use in combination with past, present and reasonably foreseeable projects within the timeframe of the proposed use. That study utilized ABG's requested schedule with trips between 8 am and 9 pm. Metis concluded that the proposal would not result in any significant impacts. Going forward, there are no significant changes with regards to development projects existing or projected in the area, nor has ABG's proposal changed since that study was undertaken which would warrant further study. Note that if the Baylands development were to occur within the timeframe of this interim use permit, the ABG use would be required to be vacated as described further in the next finding.

Additionally, because the addition of traffic from the proposal was negligible, no significant impacts related to air quality, greenhouse gas emissions and noise were to be expected either.

The City Engineer was consulted with this current application to extend the permit and indicated that there were no concerns with this proposed continued use.

c) the interim use will not obstruct redevelopment;

In considering approval of the Interim Use Permit, the Planning Commission must find that the use "...will not obstruct, interfere with, or delay the intended redevelopment of the property..." (BMC Section 17.41.060.C). The project would not include any buildings and the proposed perimeter fence may be readily removed upon termination of the use.

The site lies in proximity to the proposed extension of Geneva Avenue associated with the Baylands Specific Plan. Based on preliminary design work, portions of the site could be impacted by the future roadway alignment and/or associated grading. To ensure that the project would not interfere with the roadway extension, in the event that it proceeds during the term of the interim use permit and the use would be an obstruction, a condition of approval is included that the applicant is to cease operations upon 90-day notice from the City or property owner (Condition T). Based on these considerations, the proposal complies with this finding.

d) all required public utilities and other infrastructure are or will be available;

This proposal complies with this finding. There are no public utilities required for this use and the project would continue to gain access to and from Tunnel Avenue at the existing driveway entrance located along the southern edge of the Transdev bus yard.

e) the use will benefit the property and/or the public;

The proposal complies with this finding. The rental vehicle storage operation proposed for the site provides a public benefit by allowing for needed rental car transportation, close to SFO, thereby reducing vehicle miles traveled over other more distant options. The project would also provide for suitable utilization of an otherwise unutilized area of the Baylands.

f) encourage the employment of Brisbane residents to the extent it is reasonably possible to do so.

The proposal complies with this finding. ABG reports that they currently have three employees who are Brisbane residents and conducts local advertising of open positions through Brisbane Facebook and LinkedIn webpages.

Finally, this application was provided to the North County Fire Authority, Dept of Public Works, Police Dept, County Health Dept, and the Regional Water Quality Control Board for review and comment and no concerns were raised.

ATTACHMENTS

- A. Draft Resolution 2023-UP-1
- B. Site Location Map/Vehicle Routing
- C. Applicant's 2023 Project Description
- D. Applicant's Estimated Average Vehicle Trips
- E. [2018 Agenda Report, Minutes and Video for UP-8-16](#) (hyperlink)

Ken Johnson

Ken Johnson, Senior Planner*John Swiecki*

John Swiecki, Community Development Director

Draft

RESOLUTION 2023-UP-1

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING 2023-UP-1, FOR A 5-YEAR EXTENSION OF
INTERIM USE PERMIT UP-8-16
AT 575-B TUNNEL AVE

WHEREAS, following a public hearing on February 27, 2018, the Planning Commission granted Interim Use Permit UP-8-16 to utilize a vacant, approximately 4.8 acre portion of the Baylands, located behind (immediately east of) the Transdev bus yard as a temporary overflow lot for up to 750 rental passenger vehicles rented through San Francisco International Airport (SFO), which approvals took effect on March 6, 2018, following closure of a 6-calendar day appeal period during which no appeals were filed; and

WHEREAS, the above-referenced permits have a pending expiration date of March 6, 2023, five years following the effective date of UP-8-16; and

WHEREAS, prior to the expiration date, Sam Khodja, the applicant, applied to the City of Brisbane for 5-year extension of Interim Use Permit UP-8-16, as provided in BMC Section 17.41.080.D, such application identified as 2022-UP-1; and

WHEREAS, on February 23, 2023, the Planning Commission conducted a public hearing on the extension application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said applications, the applicant's plans and supporting materials, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15304(e) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the application.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of February 23, 2023, did resolve as follows:

2023-UP-1

Extension of Interim Use Permit UP-8-16, via application 2022-UP-1, is approved for a period of 5 years added to the original expiration date, to March 6, 2028, per the findings and conditions of approval contained in Exhibit A to this resolution.

ADOPTED this twenty-third day of February, 2023, by the following vote:

AYES:

NOES:

ABSENT:

SANDIP PATEL

Chairperson

ATTEST:

JOHN A SWIECKI, Community Development Director

**Draft
EXHIBIT A**

Action Taken: Conditionally approve 2023-UP-1 per the staff memorandum with attachments, via adoption of Resolution 2023-UP-1, extending Interim Use Permit approvals to March 6, 2028.

Findings:

1. The proposed interim use and the conditions under which it would be operated will not be detrimental to the public health, safety or welfare, or injurious to properties or improvements in the vicinity, as described in the staff memorandum;
2. The proposed interim use is categorically exempt from environmental review pursuant to Section 15304(e) of the California Environmental Quality Act (CEQA) Guidelines and will not result in any significant adverse environmental impacts;
3. The proposed interim use will not obstruct, interfere with, or delay the intended redevelopment of the property in accordance with the uses anticipated in the General Plan or any adopted specific plan applicable to the site, inasmuch as there are no permanent site improvements proposed.
4. There are no required public utilities since there will be structures and no-one stationed at the yard and the infrastructure of Tunnel Avenue is provided for roadway access, so that the interim use will operate in a safe, sanitary, and lawful manner.
5. The use will benefit the property and/or the public in that the shuttle operation proposed for the site provides a public benefit by allowing for needed rental car transportation, close to SFO, thereby reducing vehicle miles traveled versus other more distant options. The project would provide for suitable utilization of an otherwise unutilized area of the Baylands.
6. The use would encourage the employment of Brisbane residents to the extent it is reasonably possible to do so.

CONDITIONS OF APPROVAL:**Operational Conditions**

- A. The operator shall maintain a business license through the City's Finance Dept.
- B. The Interim Use Permit is approved for vehicle storage for up to 750 passenger vehicles only. It does not include on-site maintenance of vehicles and non-operable vehicles shall not be stored on site.
- C. The site shall not be open to the public, but access is to be restricted to the operator's employees, contractors and representatives and security maintained by the operator.
- D. Per the City Engineer, inbound and outbound vehicles shall be prohibited from using Lagoon Way. Signage advising this restriction shall be maintained at the egress point of the storage yard, to the satisfaction of the City Engineer.
- E. Hours of vehicle movements to and from the site shall exclude the hours of 7 am to 10 am and 4 pm to 6 pm daily.
- F. Gravel shall be maintained to prevent water from ponding on the site and to provide for dust control, to the satisfaction of the City Engineer and San Mateo County Environmental Health. Positive drainage shall be maintained to the existing swale to the west edge of the site.
- G. The project shall comply with stormwater NPDES requirements.
- H. Aside from maintenance of the existing gravel surface, this project does not include sitework, such as paving with an impervious surface or other sitework. Any such proposal would be subject to further review and approval by the Planning Director and City Engineer and reviewed for compliance with C.3 stormwater regulations and consistency with this interim use permit.
- I. Per the RWQCB, the site shall be maintained with a minimum of 2 feet of thickness of clean soil above the waste.
- J. Any new or replacement perimeter fencing shall comply with the provisions of BMC Section 17.32.050.

- K. Any existing subsurface monitoring wells within the site area shall be protected to the satisfaction of the San Mateo County Environmental Health.
- L. If portable security lighting is proposed at a future date, details of security lighting shall be provided for review and approval of the Planning Director. Any such security lighting shall be shielded and directed downward to avoid offsite light spillage and glare.
- M. The site shall be maintained in a debris- and weed-free condition.
- N. A portable toilet facility shall be maintained on the site.
- O. One or more video surveillance cameras shall be maintained along the entry to the site, to the satisfaction of the Planning Director. Recordings of camera feeds shall be retained for at least 30 days and shall be made available to the Brisbane Police Dept upon request.
- P. A fire extinguisher shall be located and maintained in a conspicuous location on site.

Hold Harmless Requirements

- Q. The permittee agrees to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify, or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken, done or made prior to the granting of such approval, permit or entitlement.

Mandatory Conditions for Interim Use Permits, per BMC Section 17.41.070

- R. The permit shall require both the owner and the operator to furnish the city with an agreement (or a copy of a lease containing such agreement) that: (i) the operator's right to possession of the premises for the purpose of conducting the interim use is dependent upon the interim use permit having been granted and maintained in full force and effect; and (ii) the operator's right to possession of the premises for the purpose of conducting the interim use will terminate upon any expiration or revocation of the interim use permit; and (iii) it shall be the responsibility of the owner to terminate the operator's possession of the premises upon any expiration or revocation of the interim use permit if the operator continues to utilize the premises for the conduct of such interim use.
- S. Each permittee shall be jointly and severally liable for all costs and expenses, including attorneys' fees, the city may incur to enforce the conditions of the interim use permit upon any breach thereof by the permittee, or to abate and remove the interim use upon

any failure by the permittee to discontinue such use, or to evict the operator of such use, upon the expiration or revocation of the interim use permit.

Interim Use Permit Cessation, Revocation Procedures and Term Limit

- T. In the event that the continuation of the use approved with this interim use permit would obstruct, interfere with, or delay the intended redevelopment of the property in accordance with the uses anticipated in the general plan or any adopted specific plan applicable to the site, the operator shall vacate the site and remove improvements as required by the City or property owner, within 90 days written notice by the City or property owner.
- U. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
- V. Material violation of any of the Conditions, including material deviations from the approved project description, may be cause for revocation of this permit and termination of all rights granted there under.
- W. This Interim Use Permit is subject to the revocation procedures established in Brisbane Municipal Code Chapter 17.41.100 - Revocation of Interim Use Permit.
- X. This Interim Use Permit is a 5-year extension from the expiration date of the original interim use permit UP-8-16. The new expiration date is March 6th, 2028.

Vicinity Map/Aerial Photo

2000 ft



SUPPORTING STATEMENTS
For Interim Use Permit

HOW HAS THE PROJECT BEEN DESIGNED AND OPERATED IN ORDER TO BE COMPATIBLE WITH THE NATURE AND CONDITION OF ALL ADJACENT USES AND STRUCTURES, AND WITH GENERAL AND SPECIFIC PLANS FOR THE AREA IN QUESTION? This application is a request to continue Use Permit UP-8-16 that has been in effect since February 27, 2018. During this period, Avis Budget Group (ABG) has operated at this site with no Use Permit issues and will continue to do so going forward. The permit is scheduled to expire on March 6, 2023.

HOW WILL THE PROPOSED USE BE DESIGNED AND OPERATED IN ORDER TO NOT BE DETRIMENTAL TO THE HEALTH, SAFETY, COMFORT AND GENERAL WELFARE OF THE PERSONS RESIDING OR WORKING IN THE NEIGHBORHOOD? ABG's proposed use remains unchanged from its current use of this site. ABG has successfully demonstrated that its operations at this site are not detrimental to the health, safety, comfort, and general welfare of the people residing or working in the neighborhood.

HOW WILL THE PROPOSED USE BE DESIGNED AND OPERATED IN ORDER TO NOT BE INJURIOUS OR DETRIMENTAL TO PROPERTY AND IMPROVEMENTS IN THE NEIGHBORHOOD OR THE GENERAL WELFARE OF THE CITY? ABG has a proven track record of operating at this site in a manner that that is not injurious or detrimental to property or improvements in the neighborhood or to the general welfare of the city.

DESCRIPTION OF THE PROPOSED USE: Sunquest Properties, Inc. is seeking to renew the Interim Use Permit (UP-8-16) at 575-B Tunnel Avenue for five years to continue leasing 4.8 acres of ground space to a tenant who is storing no more than 750 new rental vehicles with vehicle maintenance performed off site.

Our tenant, ABG, is a leading global provider of vehicle rental services, both through its Avis, Budget, and Payless brands, which have more than 11,000 rental locations in approximately 180 countries around the world, and through its Zipcar brand, which is the world's leading car sharing network, with nearly one million members. ABG operates most of its car rental offices in North America, Europe, and Australia directly, and operates primarily through licensees in other parts of the world. ABG has approximately 23,000 employees and is headquartered in Parsippany, N.J.

ABG is interested in continuing to use the property as a temporary overflow storage site for parking rental vehicles while they are waiting to be rented at the San Francisco International

Airport (SFO). ABG has multiple locations around the airport to service its clientele. SFO is in the process of developing a new rental car facility at the airport. Until this facility is completed, ABG needs a location to store the vehicles which are either waiting to be rented, or recently rented. The location on Tunnel Avenue is an optimal location for storage of these vehicles. Its location will maximize response time and keep costs contained.

The primary benefit of rental car services is to serve visitors to the Bay Area. Given the lack of vacant land on the peninsula, there are limited options near SFO that could serve the purpose that the location on Tunnel Avenue does. While ABG has looked at sites across the bay in Oakland and Hayward in the past for this purpose, the distance to those sites makes their use not only costly, but also unnecessarily adds to the traffic and our carbon footprint, both of which ABG is striving to minimize.

DAYS AND HOURS OF OPERATION: The majority of ABG's activity will typically be from 10 AM to 4 PM seven days per week. There will be very limited activity at all other times. However, ABG will need access to the site 24 hours per day, seven days per week for security purposes.

NUMBER OF EMPLOYEES ON SITE: There is one security guard on site at all times to protect against theft and vandalism.

COMPANY VEHICLES AND EQUIPMENT ON SITE: No more than 750 vehicles will be stored onsite. All such vehicles are virtually new and are in good working condition. Disabled vehicles will never be stored at the location. Additionally, there is one mobile security tower without lights located along the entry to the site and next to the gate as shown on the site map.

List the types and quantities of hazardous, toxic, flammable or explosive materials or wastes are involved with the use: None. No vehicle maintenance will be performed at this site.

List any governmental permits required for the handling or storage of the hazardous materials involved with the use: None.

List any material and equipment which will be stored outside and explain how these will be screened from public view: None. There are no plans for screening of this site because it does not front on any public street and it's adequately screened from public view by the operations on the adjacent sites.

Will the use generate air emissions, odors, smoke or dust? If so, how will these be controlled? No exceptional dust or other emissions are anticipated from simple parking/storage of the vehicles.

Will the use generate noise or vibration? If so, how will these be controlled? None anticipated from parking operations.

Will the use generate glare, heat, or other impacts? If so, how will these be controlled? None anticipated from parking operations.

Will the use generate waste materials? If so, how will these be disposed? The use will not generate waste materials.

How will waste materials from the use be prevented from polluting storm water runoff? The use will not generate any waste materials.

What utilities and other infrastructure are required for your use? Are these existing on site? If not, how will they be provided? No utilities or other infrastructure are anticipated for overflow parking.

The Brisbane Municipal Code requires that your use benefits the property. List the benefits below: (a) eliminate blight or unsightly or hazardous conditions, (b) by installing improvements that will facilitate redevelopment of the property, (c) other: A and C. There are few users anticipated for a site next to a landfill/recycle facility. It's ideal for overflow vehicle parking and storage which eliminates vacant land that sits underutilized within the City limits. The visibility of ABG's drivers and security staff should discourage vandals/trespassers from dumping trash or other hazardous conditions that arise from large parcels that are vacant. The site will also be improved by the removal of any debris and overgrown vegetation. By locating this vehicle storage area in close proximity to SFO, there will be less travelling and air pollution created to transport the vehicles.

The Brisbane Municipal Code requires that your use benefit the public. List the public benefits below: (a) creating jobs, (b) generating revenues, (c) providing needs, good or services, (d) other: A, B, and C. This storage area will create jobs for the Peninsula area and the continued use of this property will help protect the property tax value for the area.

Will you establish a program to encourage employment of Brisbane residents in the construction and operation of the use? Explain: Yes. ABG currently has 3 employees who are residents of Brisbane. Job postings will be made at City Hall, the local newspaper, City of Brisbane Facebook and LinkedIn pages and we will continue to encourage the hiring of residents from the Brisbane community.

Will your use include any of the following?

the manufacture, processing, handling, treatment, transportation, recycling, or storage of hazardous, toxic, flammable or explosive materials or wastes in quantities for which a permit is required from any governmental agency? No.

The dumping, processing, sorting, recycling, recovery or storage of garbage, debris, scrap materials, or similar items (excluding the recycling of concrete or brick and the storage and processing of soils, rock, and other similar materials). No.

Uses that create unsightly visual impacts or the appearance of blight as seen from any other location with the city, such as automotive dismantling and wrecking yards, junk yards, outside storage of used equipment, trailers, or vehicles not being offered for sale, and outside storage of glass, metal, paper, cardboard, or other material collected for recycling or disposal (except as otherwise permitted). No.

Heavy manufacturing operations, including concrete or asphalt batch plants, foundries and other activities involving the fabrication of metal products from raw materials, processing of chemicals, and the rendering or refining of oils or animal materials? No.

What is the length of time for which you are applying for an Interim Use Permit? (For initial terms of up to 5 years, Planning Commission approval is required. For initial terms of more than 5 years, City Council approval is required, following a recommendation from the Planning Commission. We are seeking to renew Interim Use Permit UP-8-16 for a 5-year period.

ATTACHMENT D**ATTACHMENT C**

Applicant's Estimated Average Vehicle Trips

Cars Outbound from Brisbane Lot (Average)

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
0800-0900						0	0
0900-1000						0	0
1000-1100	40	20	0	0	0	0	10
1100-1200	40	20	0	0	0	0	10
1200-1300	40	20	0	0	0	0	10
1400-1500	40	20	0	0	0	0	10
1500-1600	40	20	0	0	0	0	10
1600-1700						0	0
1700-1800						0	0
1800-1900	0	0	0	0	0	0	0
1900-2000	0	0	0	0	0	0	0
2000-2100	0	0	0	0	0	0	0
2100-2200	0	0	0	0	0	0	0
2200-2300	0	0	0	0	0	0	0

Cars Inbound to Brisbane Lot (Average)

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
0800-0900						0	0
0900-1000						0	0
1000-1100	0	0	0	10	40	20	0
1100-1200	0	0	0	10	40	20	0
1200-1300	0	0	0	10	40	20	0
1400-1500	0	0	0	10	40	20	0
1500-1600	0	0	0	10	40	20	0
1600-1700						0	0
1700-1800						0	0
1800-1900	0	0	0	0	0	0	0
1900-2000	0	0	0	0	0	0	0
2000-2100	0	0	0	0	0	0	0
2100-2200	0	0	0	0	0	0	0
2200-2300	0	0	0	0	0	0	0