



# CITY of BRISBANE

## Planning Commission Meeting Agenda

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Thursday, September 10, 2020 at 7:30 PM • Virtual Meeting

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**This virtual meeting is compliant with the Governor's Executive Order N-29-20 issued on March 17, 2020 allowing for deviation of teleconference rules required by the Brown Act. Consistent with the Order, this virtual meeting provides a safe environment for staff, Planning Commissioners, and the public while allowing for public participation. The public may address the Commission using exclusively remote public comment options which are detailed below.**

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### **TO ADDRESS THE COMMISSION:**

Members of the public are encouraged to submit comments in writing in advance of the meeting to the project planner (see the posted public notice at <https://www.brisbaneca.org/cd/page/public-notices> for planner contact information, or for items that are not public hearings, refer to the staff report for planner contact information). Comments that can't be provided in advance of the meeting may be emailed or texted **prior to the start of the particular agenda item** to the below email and text line:

**Email:** [jswiecki@brisbaneca.org](mailto:jswiecki@brisbaneca.org)

**Text:** 415-713-9266

A call-in number is also available during the meeting for oral communications and public hearing items:

**Phone Number:** +1 (669) 900-9128

**Meeting ID:** 956 4561 7043 (After entering the meeting ID and pressing #, simply press # a second time to enter the meeting waiting room. No participant code is required. Please wait to call until the Chairperson and/or Staff announces that the phone line is open.)

### **SPECIAL ASSISTANCE**

If you need special assistance to participate in this meeting, please contact the Community Development Department at (415) 508-2120 in advance of the meeting. Notification in advance of the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

**Commissioners: Gomez, Gooding, Mackin, Patel, and Sayasane**

**CALL TO ORDER**

**ROLL CALL**

**ADOPTION OF AGENDA**

**CONSENT CALENDAR**

*Please Note: Items listed here as Consent Calendar Items are considered routine and will be acted upon collectively by one motion adopting the Planning Department’s recommendation unless a member of the public, the Commission, or its staff asks to remove an item to discuss it. Prior to the motion, the Chairperson will ask if anyone wishes to remove an item from the Consent Calendar.*

None.

**ORAL COMMUNICATIONS (Limited to a total of 15 minutes)**

**WRITTEN COMMUNICATIONS**

**NEW BUSINESS**

- A. [PUBLIC HEARING: 130 Sierra Point Road ; Use Permit UP-1-20 and Grading Review EX-1-20; R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of an existing two-car garage and Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new 3,101 square foot single-family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.](#)

**ITEMS INITIATED BY THE COMMISSION**

- B. Ad hoc subcommittee report on draft grading ordinance

**ITEMS INITIATED BY STAFF**

**ADJOURNMENT**

- C. Adjournment to the regular meeting of September 24, 2020

**APPEALS PROCESS**

*Anyone may appeal the action of the Planning Commission to the City Council. Except where specified otherwise, appeals shall be filed with the City Clerk not later than 15 calendar days following the Planning Commission’s decision. Exceptions to the 15 day filing period include the following: appeals shall be filed with the City Clerk within 6 calendar days of the Planning Commission’s action for use permits and variances and 10 calendar days for tentative maps and advertising sign applications. An application form and fee is required to make a formal appeal. For additional information, please contact the City Clerk at 415-508-2110.*

**INTERNET & OTHER ACCESS**

*Agendas and adopted minutes for meetings of the Planning Commission are posted on the Internet at: [www.brisbaneca.org/meetings](http://www.brisbaneca.org/meetings). Meetings are broadcast live on Comcast Channel 27 and by streaming video on the City's YouTube channel ([www.youtube.com/Brisbaneca](http://www.youtube.com/Brisbaneca)). Meeting video archives are available on the City's YouTube channel. Rebroadcasts on Channel 27 are during weeks following the meetings, on Fridays at 5 pm and Sundays at 1 pm. For a DVD copy, please contact the Community Development Department.*

## **NOTICE OF DISCLOSURE**

*Written information or comments that may include a person's name, address, email address, etc. submitted to the City, Planning Commission, and/or City staff are public records under the California Public Records Act, are subject to disclosure and may appear on the City's website.*

**File Attachments for Item:**

**PUBLIC HEARING: 130 Sierra Point Road ; Use Permit UP-1-20 and Grading Review EX-1-20; R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of an existing two-car garage and Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new 3,101 square foot single-family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.**



# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 9/10/2020

**SUBJECT:** **Parking Use Permit UP-1-20 and Grading Review EX-1-20; 130 Sierra Point Road;** R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of a two-car garage and Grading Permit Review for approximately 150 cubic yards of soil cut and export to accommodate a new single family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.

**REQUEST:** Approval of a Use Permit modifying the parking regulations of the Brisbane Municipal Code (BMC) and recommend the City Engineer issue the grading permit to allow construction of a new 3,101 square foot home with an existing, detached substandard garage.

**RECOMMENDATION:** Conditionally approve Use Permit UP-1-20 and Grading Permit EX-1-20, via adoption of Resolution UP-1-20/EX-1-20 containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15303(a) and 15301(l) - this proposal falls within a class of projects that consists of construction and location of limited numbers of new, small structures and demolition and removal of one single family residence. The exceptions to these categorical exemptions referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** BMC Chapter [17.34](#) designates off-street parking requirements and [§17.34.050](#) allows for modification of any parking regulation pursuant to obtaining a use permit. BMC Chapter [17.40](#) establishes procedures and required finding for the approval of use permits; required findings are set forth in [§17.40.060](#) and [§17.34.050\(I\)](#). Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY of soil or more or 50 CY of soil export per BMC [§15.01.081\(A\)](#) and BMC [§17.32.220](#). Tree removal regulations are established in BMC Chapter [12.12](#).

### **ANALYSIS AND FINDINGS:**

#### Site Description

The 5,000 square foot property is developed with an existing 900 square foot single-family dwelling and a 415 square foot detached garage. The garage has a zero-foot front and side setback and interior dimensions of 18' 11" by 18' 11", considered substandard for two parking spaces under current garage design criteria in BMC Chapter 17.34. No other off-street parking exists. The upslope lot has an approximately 33% slope and the front lot line is located approximately 8-9 feet

beyond the edge of the existing paved travel lane. The site is accessed from an elevated stairway between the garage and an existing retaining wall that encroaches within the public right-of-way. The site contains seven trees of different species ranging in size from 26 to 67 inches in circumference, none of which are a protected species per BMC §12.12.040(H)(1).

### Project Description

The proposed project would replace the existing home with a new 3,101 square foot, three-story home. Because the home will be new construction, the project must comply with city parking requirements set forth in BMC §17.34.020, or four spaces (two covered). Four parking spaces are proposed, including two covered spaces inside the existing substandard garage and two on-street parking spaces. For the new residence, compliance with all development standards of the R-1 District will be required and verified at building permit plan check. The proposal appears to comply with all applicable development standards including floor area, lot coverage, setbacks, and building height.

The applicant's grading plan calls for excavation of 220 cubic yards of soil and 70 cubic yards of soil fill, with 150 cubic yards of soil cut to be exported to accommodate the proposed 3,101 square foot home. Some of the excavation will take place in the public right of way to accommodate two new street parking spaces within the frontage of the subject property (see Photo 2 of Attachment C and Sheet A101 of the applicant's plans, Attachment E.i). The footprint of the existing garage remains unchanged.

The applicant's plans also call for removal of five mature, one juvenile, and one dead tree currently found on the property due to their proximity to the proposed structure or location within the footprint of the structure. None of the trees are protected species as defined by BMC Chapter 12.12. A permit is required to allow removal of three or more mature trees from any private property.

The City Engineer has reviewed the grading and site plans and will require a grading permit with full geotechnical reports and engineered grading plans to be submitted prior to building permit issuance. The Building Department and Fire Departments have also reviewed the proposed plans and have imposed conditions of approval to be satisfied at building permit, contained in Resolution UP-1-20/EX-1-20.

### Parking Use Permit

As noted above, the applicant intends to accommodate the required two covered off-street parking spaces within the existing 415 square foot garage with interior dimensions measuring 18' 11" by 18' 11" (see Sheet A102 of the applicant's plans, Attachment E.i). The minimum interior dimensions for two-car garages is 20' by 20'. The applicant requests a Use Permit to allow the nonconforming garage to meet the requirement for two covered off-street parking spaces per BMC §17.34.020.

In order to approve any use permit application, the Planning Commission must affirmatively make the findings of approval in BMC §17.40.060. In addition to these general findings, the Commission must also affirmatively make the special findings for modifications to the parking regulations per BMC §17.34.050. Based on staff analysis below, the application **meets these findings**.

- *The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.*
- *The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.*

The proposed project is a single-family residence located in the 100 block of Sierra Point Road and the R-1 Residential zoning district; adjacent properties are similarly developed with single-family dwellings. The proposal does not alter the primary use of the property and is consistent with the underlying R-1 zoning district regulations and General Plan land use designation. There is no specific plan for this area.

The project includes street improvements, required by the City Engineer, to widen the existing roadway and will accommodate two new on-street parking spaces within the property's frontage. These spaces may be counted toward the property's parking requirement, consistent with the exceptions provided in BMC §17.34.050.H.2.

Should the requested Use Permit be approved, the building permit application for the new single-family dwelling will be reviewed by the Building Department, Fire Department, and City Engineer to ensure the work complies with all applicable health and safety codes and that the work would not be detrimental or injurious to the property, neighborhood, or city.

- *Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.*
- *The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of BMC Chapter 17.34.*
- *Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.*

A total of four parking spaces are required, of which two must be covered. As previously indicated, the requested Use Permit is to modify the design requirements for the interior dimensions of a two-car garage. The interior dimensions of the existing garage are approximately one foot short in depth and width than the required 20' by 20', but would still accommodate two standard-sized vehicles. Per BMC §17.34.040, no washing machine, dryer, water heater, work bench, or support

posts obstruct the floor area of the garage. New laundry and utility facilities are provided within the proposed single-family dwelling.

The project is otherwise compliant with the BMC's parking regulations and will not create or intensify a shortage of on-street parking spaces. The project proposes to widen the public right of way to accommodate two new on-street parking spaces where none existed before. One space is compact, allowed per BMC §17.34.040(C), and is provided in tandem per BMC §17.34.040(F).

Full compliance with the parking requirements would be difficult to achieve because of the steep slope of the site. The existing garage is set within the hillside and substantial grading and engineering would be required to safely expand the garage's interior dimensions approximately 40 square feet to accommodate a 20 by 20-foot interior space.

### **Grading Permit Review**

In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval, as described below and attached to this report for the Commission's reference (Attachment D). With the suggested conditions of approval contained in the attached Resolution, the application **would meet** these findings.

- *The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography.*

The subject property features an approximately 33% slope from the front to rear property line. As indicated by the applicant's conceptual grading plan and site plan, 150 cubic yards of soil cut and export from the site is the minimum necessary to accommodate the new, terraced structure within the surrounding natural topography. The applicant's grading plan would create on-street parking where none currently exists for the subject property, in compliance with the parking requirements of the R-1 Residential District, and minimize exposed retaining walls.

- *The proposed grading is designed to avoid large exposed retaining walls.*

Large, exposed retaining walls are avoided or not visible from the street. BMC §17.32.050 permits retaining walls less than six feet in height within any setback area. Walls that exceed six feet in height in a setback area require vegetative screening or wall treatments to break up the massing of the wall. A proposed 4' 6" retaining wall along the front lot line will accommodate the required on-street parking (see sheet A202 of the applicant's plans, Attachment E.i).

- *The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.*

The project requires removal of five mature trees – two Walnut, two Podocarpus, and one Redwood – and one juvenile Cedar tree, which are located within the footprint or in close proximity to the new home (refer to Sheet C-2.1 of the applicant’s grading plans, Attachment E.i). A seventh (Pine) tree outside of the project footprint is proposed to be removed as well because it has been identified as dead by a certified arborist (refer to email correspondence from Joshua Rumbley, Attachment E.ii and photos 4-6, Attachment C). None of the seven trees are a protected species (refer to Sheet A101 of the applicant’s plans, Attachment E.i).

Per the updated tree removal regulations in BMC Chapter 12.12, the findings to allow removal of three or more mature trees from a property shall be based on at least one of the following per subsection 12.12.050.B.2:

- a. *The tree is dead or is diseased such that it poses an imminent danger of falling or dropping limbs.*
- b. *The tree is in close proximity to a structure, or would be in close proximity following city-approved construction, such as a building, retaining wall, utilities, etc., such that it would pose a likelihood of damage to such structures.*
- c. *That removal of the tree is necessary for good forestry practices, due to such factors as crowding with other trees or the spread of pests or pathogens.*
- d. *The tree poses a risk to the property due to unusual site conditions or fire hazard.*
- e. *The tree unreasonably interferes with the economic or other enjoyment of the property.*

In this case, the proposed project meets findings a, b, and e. Specifically, the mature Pine tree is dead and could pose an imminent danger of falling or dropping limbs. The remaining five mature trees present a likelihood of damage to the proposed home in that they are in close proximity or within the footprint of the proposed structure.

Excluding the dead Pine, the trees are generally located within the middle of the property owing in part to the location of the existing small (900 sq. ft.) home situated in the upper right quadrant of the property. Altering the proposed design or relocating the home to preserve even a few of the trees would unreasonably interfere with economic or other enjoyment of the property, especially when considering the potential engineering required to position a new home on the site with a 33% slope that avoids any impacts to the existing trees. As stated previously, the proposed design conforms to the development regulations of the R-1 Residential zoning district which include lot coverage, FAR, building height, and setbacks. Furthermore, its size and scale are not out of character with neighboring homes on Sierra Point Road.

Standard conditions contained within BMC §12.12.050 include replacement trees on a 1:1 basis and replacement species, location, and size at maturity to be approved by the Community Development Director prior to building permit issuance. Condition of approval A.2 of the attached resolution requires a 1:1 replacement for all seven trees (though neither a permit nor replacement of juvenile trees is required by the BMC). The replacement trees must be low-water use and non-invasive (native preferred), and their size at maturity shall match that of the trees being removed, subject to approval by the Director.

- *The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).*

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

**ATTACHMENTS:**

- A. Draft Resolution UP-1-20/EX-1-20 with recommended findings and Conditions of Approval
- B. Aerial map
- C. Site photos
- D. 2003 guidelines for reviewing grading applications
- E. Applicant’s project and supplemental material
  - i. Applicant’s Plans, including architectural, grading, and street improvement plan
  - ii. Applicant’s supporting statements and information, including arborist correspondence
  - iii. Project Data Table

  
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 Jeremiah Robbins, Associate Planner

  
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 John Swiecki, Community Development Director

ATTACHMENT A

DRAFT RESOLUTION UP-1-20/EX-1-20

Draft  
RESOLUTION UP-1-20/EX-1-20

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING USE PERMIT UP-1-20 AND GRADING PERMIT EX-1-20 TO  
MODIFY THE PARKING REGULATIONS FOR A NEW SINGLE-FAMILY HOME WITH AN  
EXISTING NONCONFORMING GARAGE AT 130 SIERRA POINT ROAD

WHEREAS, Wilson Yu applied to the City of Brisbane for a Use Permit to modify the parking regulations to allow nonconforming dimensions within an existing garage and Grading Permit review for construction of a new single-family dwelling at 130 Sierra Point Road that will require 150 cubic yards of soil export from the site, such application being identified as Use Permit UP-1-20 and Grading Permit EX-1-20; and

WHEREAS, on September 10, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) and Section 15301(l) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Use Permit and Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of September 10, 2020 did resolve as follows:

Use Permit UP-1-20 is approved per the findings and conditions of approval attached herein as Exhibit A; and

City Engineer issuance of Grading Permit EX-1-20 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 10<sup>th</sup> day of September, 2020, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_  
PAMALA SAYASANE  
Chairperson

ATTEST:

\_\_\_\_\_  
JOHN A. SWIECKI, Community Development Director



DRAFT  
EXHIBIT A

**Action Taken:** Conditional approval of Use Permit UP-1-20 and recommended City Engineer issuance of Grading Permit EX-1-20, per the staff memorandum with attachments, via adoption of Resolution UP-1-20/EX-1-20.

**Use Permit UP-1-20 Findings:**

- The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.

The existing single-family use of the property would not be altered, and is consistent with the underlying R-1 Residential zoning district regulations and General Plan residential land use designation. There is no specific plan for this area.

- The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

The project conforms to development regulations of the R-1 Residential zoning district including lot coverage, FAR, building height, and setback standards. Because the project conforms to the underlying zoning district and complies with the required parking regulations per BMC §17.34.020, it would not be detrimental to the health, safety, comfort, and general welfare of the neighborhood or to property or improvements in the neighborhood or the general welfare of the city. Additionally, the building permit application for the construction of a new single-family home shall comply with all applicable health and safety codes.

- Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

Strict enforcement is not required by present or anticipated future traffic circulation on the site in that the current interior dimensions of the existing garage reasonably accommodate two vehicles and per BMC §17.34.040, no washing machine, dryer, water heater, work bench, or support posts will obstruct the floor area of the garage. New laundry and utility facilities are provided within the proposed single-family dwelling.

- The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of [BMC Chapter 17.34].

The granting of the use permit will not intensify the shortage of on-street parking spaces in the vicinity as the two existing off-street parking spaces will be retained and two new on-street parking spaces will be created that did not previously exist, providing compliant parking per BMC §17.34.020 and §17.34.050.H.

- Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.

Full compliance with the parking requirements is not reasonably feasible due to existing structural and site constraints, namely the property's 33% slope which would require significantly more soil cut and retaining wall construction to expand the existing garage or otherwise accommodate code-compliant off-street parking spaces per BMC §17.34.040.G.

#### **Grading Permit EX-1-20 Findings:**

- As indicated by the applicant's grading plan and site plan, the 150 cubic yards of soil excavation and export from the site is the minimum necessary to accommodate the new single-family structure within the surrounding natural topography and to allow the site to conform to the parking requirements of the R-1 Residential zoning district and design standards contained in Title 17 of the Brisbane Municipal Code.
- The proposed grading would result in one exposed retaining wall within the required setbacks along the front lot line approximately four feet, six inches in height. Conditions of approval require the visual impact of any walls subsequently identified to be greater than six feet tall after the project undergoes grading permit review by the City Engineer to be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant's option at building permit.
- The proposed grading and construction of the new structure requires the removal of one juvenile tree, five mature trees, and a seventh, dead (Pine) tree that will either be in close proximity of city-approved construction that conforms to current development regulations and allows reasonable economic development and enjoyment of the property or eliminate imminent danger of falling or dropping limbs. Altering the proposed design would unreasonably interfere with economic or other enjoyment of the property because the trees identified to be removed are generally located in the middle of the property since the existing home is located in the upper right quadrant. Conditions of approval require that the applicant submit a landscaping plan with the building permit that identifies replacement trees on a 1:1 basis and replacement species, location, and size at maturity to the satisfaction of the Community Development Director. The plan shall additionally demonstrate compliance with the minimum 15% front yard landscaping requirement for the property and, if necessary, screening plantings for retaining wall(s) in setbacks, or details of the proposed treatment of the walls' exterior per the conditions of approval.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

#### **UP-1-20/EX-1-20 Conditions of Approval:**

##### Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit, grading permit, and encroachment permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District. Plans submitted for the building and grading permits shall substantially conform to plans on file in this application UP-1-20/EX-1-20 in the City of Brisbane Planning Department, with the following modifications:
1. The residential structure shall comply with all development standards of the R-1 Residential zoning district, including but not limited to, FAR, lot coverage, and building height maximums, setback minimums, fence heights, and required on-site parking.
  2. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I and §12.12.050.4, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping to comply with the minimum

front yard landscaping requirements, replacement trees shall be on a 1:1 basis, and all replacement trees shall be similar in size at maturity to those being removed.

3. Any on-site exposed retaining walls exceeding six feet in exposed height from grade in the setback areas shall be either planted with screening plantings such that no more than six (6) feet of the height of the retaining wall will remain visible, or varying treatment and materials at six foot horizontal intervals may be incorporated into the wall design. The chosen screening method shall be subject to review and approval by the Community Development Director.
  4. Plans submitted for grading permit review shall be subject to standard review procedures by the Department of Public Works.
- B. Prior to issuance of a building permit, the applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way.
  - C. Prior to issuance of a building permit, the property owner shall enter into a standard landscape maintenance agreement with the City.
  - D. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

#### Other Conditions

- E. Prior to pouring foundation, a licensed land surveyor or civil engineer authorized to conduct surveying activities shall submit a staking certification letter to the City confirming that the proposed building location and elevations match the submitted site plan and grading plans.
- F. Fire sprinklers are required and may be a deferred submittal, to the satisfaction of North County Fire Authority.
- G. Nothing shall obstruct or impede the floor area of the detached garage in any manner that will prevent the storage of two vehicles within the structure.
- H. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- I. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- J. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- K. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- L. This Use Permit shall expire two years from its effective date (at the end of the appeal period) if a building permit has not yet been issued for the approved project.
- M. The Use Permit may be revoked by the City Council in compliance with the revocation findings, procedures, and requirements contained in BMC Chapter 17.48.

ATTACHMENT B

AERIAL MAP



ATTACHMENT C

SITE PHOTOS





Photo 1



Photo 2





Photo 3



Photo 4





Photo 5





Photo 6

ATTACHMENT D

2003 GUIDELINES FOR REVIEWING GRADING APPLICATIONS

## GUIDELINES FOR PLANNING COMMISSION REVIEW OF GRADING PERMITS Adopted 11/13/03

Grading plans submitted for Planning Commission review and approval per Brisbane Municipal Code Sections [15.01.081](#) & [17.32.220](#) should, in addition to the information required by BMC Section [15.01.090](#), include sufficient information for the Planning Commission to make the following findings:

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

Although the Municipal Code sets a 250 cubic yard threshold for Planning Commission review of Grading Permits, the fact that a project may include grading of more than 250 cubic yards alone is not considered a significant or adverse impact, in that a building alone can require that amount just to set it into the hillside without significantly changing the surrounding natural topography. Nonetheless, the Planning Commission reserves the right to consider alternative grading plans for any Grading Permit subject to its review and may reject projects proposing unnecessary amounts of excavation contrary to the policies and programs in the City's General Plan.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

Any retaining walls will be designed to minimize their visual impact by complementing their natural setting and/or by relating to the architecture of the rest of the proposed development through use of one or more of the following:

- Color,
  - Texture,
  - Construction detailing,
  - Articulation;
  - Landscaping (non-invasive, water-conserving, low flammability).
- The proposed grading is designed to conserve existing street trees (as defined by BMC Section [12.12.020](#)), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided. (General Plan Policies 124, 125 & 261 and Programs 34a, 35d, 245a & 320a).

In reviewing any proposal to remove trees protected per BMC Section 12.12.020, the Planning Commission shall consider the following criteria per BMC Section [12.12.050.C](#):



1. The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.
2. The necessity to remove the tree for economic or other enjoyment of the property.
3. The topography of the land and the effect of the tree removal upon erosion, soil retention, and the diversion or increased flow of surface waters.
4. The number, species, size, and location of existing trees in the area and the effect the removal would have upon shade, privacy impact, and scenic beauty of the area.
5. The number of healthy trees the property is able to support according to good forestry practices.

The Planning Commission may require that one or more replacement trees be planted of a species and size and at locations as designated by the Commission. The ratio of replacement trees required may be based upon the public visual impact of the trees removed. Native trees shall be replaced at a minimum ratio of 3 trees of the same or other approved native species planted for each 1 removed. Trees removed on site may be replaced with trees planted in the public right-of-way when located close enough to mitigate the local impact of the tree removal. Replacement trees planted within the public right-of-way shall be from the City's Street Tree List, as approved by the Commission. Minimum replacement tree size shall be 15-gallons, except that larger specimens may be required to replace existing street trees.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).



ATTACHMENT E

APPLICANT'S PROJECT AND SUPPLEMENTAL MATERIAL

*E.i - Architectural plans (Pg E.1)*

*E.i - Grading plans (Pg E.11)*

*E.i - Street Improvement Plan (Pg E.15)*

*E.ii - Supporting statements (Pg E.17)*

*E.iii - Project data table (Pg E.20)*





**5 PERSPECTIVE**

**PROJECT DESCRIPTION** THIS PROJECT CONSISTS OF THE FOLLOWING:  
-REMOVE EXISTING TWO STORY SINGLE FAMILY RESIDENCE AND BUILD NEW THREE STORY SINGLE FAMILY RESIDENCE. CUT BACK EXISTING SIDEWALK & CURB TO ADD NEW STREET PARKING. NO WORK TO EXISTING GARAGE.

PLANNING DATA			
PROJECT ADDRESS	130 SIERRA POINT ROAD, BRISBANE, CA 94005		
PARCEL	007-193-050		
ZONING DISTRICT	R1 - RESIDENTIAL, SINGLE FAMILY		
MAX HEIGHT	30' (SITE SLOPE GREATER THAN 20%)		
HISTORIC RESOURCE	NONE		
USE	SINGLE FAMILY RESIDENCE		
OCCUPANCY GROUP	R3-U		
CONSTRUCTION TYPE	V-B		
BUILDING DATA			
	EXISTING	PROPOSED	NET CHANGE
OFF STREET PARKING	2 SPACES	4 SPACES: 2 COVERED, 2 UNCOVERED	+2 SPACES
FLOORS OF OCCUPANCY	2	3	+1
BASEMENTS	0	0	0
PARCEL AREA	5000 sq ft	5000 sq ft	0 sq ft
AREA: 1ST FLOOR	386 sq ft	695 sq ft	309 sq ft
AREA: 2ND FLOOR	515 sq ft	1489 sq ft	974 sq ft
AREA: 3RD FLOOR	0 sq ft	917 sq ft	917 sq ft
TOTAL AREA: MAIN HOUSE	900 sq ft	3101 sq ft	2201 sq ft
AREA: GARAGE	415 sq ft	415 sq ft	0 sq ft
TOTAL BUILDING AREA	1315 sq ft	3516 sq ft	2201 sq ft
F.A.R.	26%	70%	44%
LOT COVERAGE AREA	930 sq ft	1996 sq ft	1066 sq ft
LOT COVERAGE %	19%	40%	21%

OWNER:		STRUCTURAL ENGINEER:	
TRYSTANNE & MIKE CUNNINGHAM	10 BOX 152	JEFFERSON CHEN M.S., P.E.	1167 MISSION STREET, FL 1
BRISBANE, CA 94005	TEL: 415-706-7600	SAN FRANCISCO, CA 94103	TEL: 415-225-3110

RESPONSIBLE DESIGN PROFESSIONAL:		TITLE-24 ENGINEER	
AMY ADAMSON	1 FERN ROAD	WADE ENERGY	1942 LINDA DRIVE
KENTFIELD, CA 94904	TEL: 415-317-0513	PLEASANT HILL, CA 94952	TEL: 925-849-8063

ARCHITECT:		CIVIL ENGINEER	
PAUL MOLINA	ADAMSON MOLINA DESIGN	LEA & BRAZE ENGINEERING, INC.	2495 INDUSTRIAL PARK WAY WEST
231 GREENWICH AVENUE, UNIT B	SAN FRANCISCO, CA 94133	HAYWARD, CA 94545	TEL: 510-842-4086

GENERAL CONTRACTOR:		GEOTECHNICAL ENGINEER	
T.B.D.		AL G. MASSO	SUMMIT ENGINEERING
		5855 CASTLE DRIVE	OAKLAND, CA 94611
		TEL: 510-842-8064	

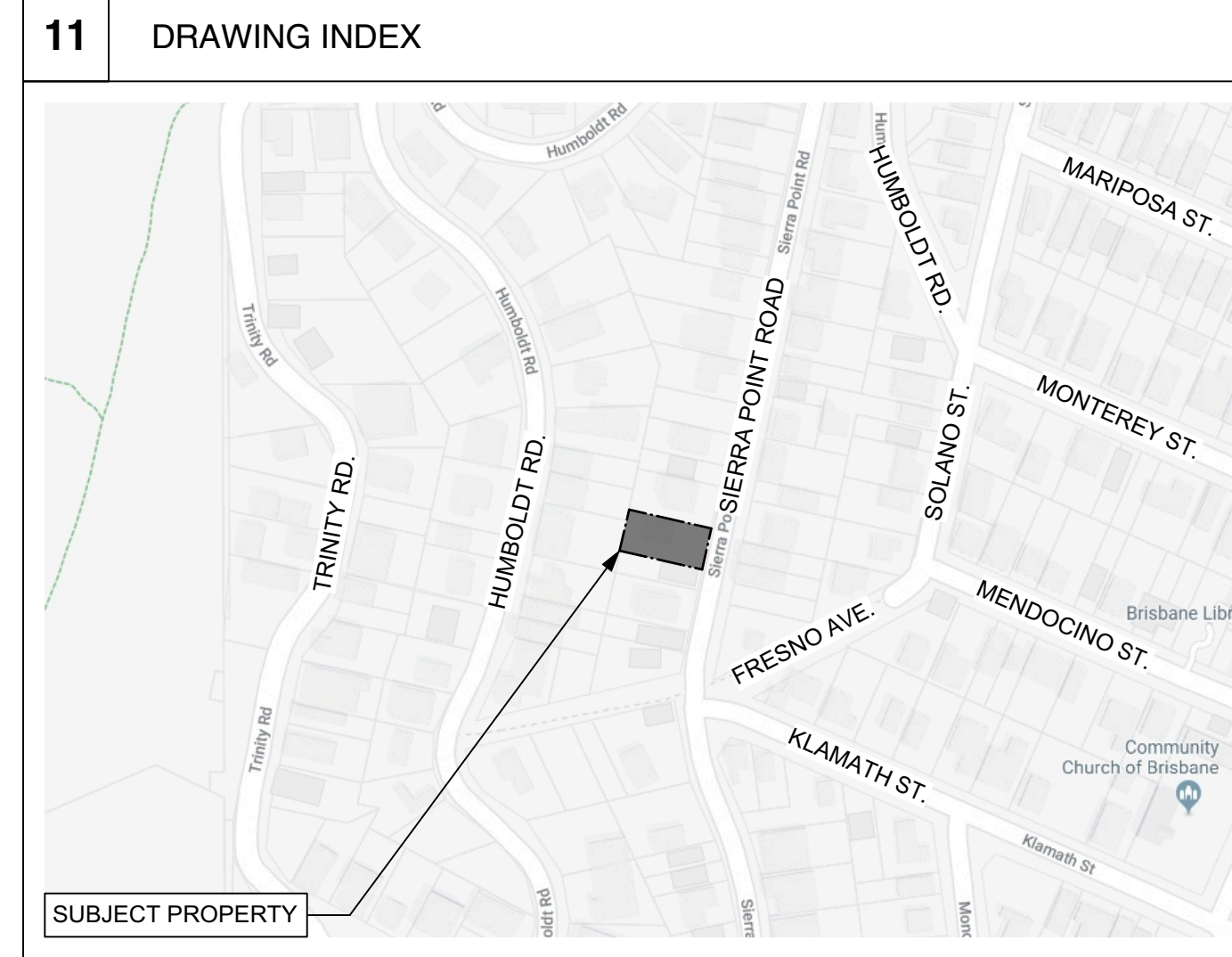
**6 PERSPECTIVE**

A	ANCHOR BOLT	DW	DISH/WASHER	JST	JUNCTION BOX	RTN	RETURN
AB	ABOVE	DWR	DRAWER	JT	JOINT	RV	ROOF VENT
AC	AIR CONDITIONING	E	EAST	KPL	KICKPLATE	S	SELF-ADHERING
ACOUS	ACOUSTIC	EA	EACH	LAM	LAMINATED	SAF	SPLASH BLOCK
ACT	ACOUSTICAL CLG. TILE	ED	EXISTING DIMENSION	LAV	LAVATORY	SB	SCHEDULE
AD	AREA DRAIN	EL	ELEVATOR	LP	LOW POINT	SC	SOLID CORE
ADD	ADDENDUM	EP	ELECTRIC PANEL	LTG	LIGHTING	SCHD	SECTION
ADDL	ADDITIONAL	ELEC	ELECTRIC	LVR	LOUVER	SECT	SECTION
ADJ	ADJUSTABLE	ELEV	ELEVATION	MAS	MASONRY	SHD	SHOWER HEAD
AFF	ADJUV FINISHED	EQ	EQUAL	MAX	MAXIMUM	SHH	SHIRT
AF	FLOOR	EW	EACH WAY	MB	MACHINE BOLT	SHT	SHEET
ALT	FURNISH	EXST	EXISTING	MC	MECHANICAL	SHT MTL	SHEET METAL
ALUM	ALUMINUM	EXP	EXPOSED	MECH	MECHANICAL	SHWR	SHOWER
ANOD	ANODIZED	EXP JT	EXPANSION JOINT	MEMB	MEMBRANE	SL	SLIDING
AP	ACCESS PANEL	EXT	EXTERIOR	MFR	MANUFACTURER	SL GL	SLIDING GLASS
APP	APPROVED	FAU	FORCED AIR UNIT	MH	MANHOLE	SNT	SEALANT
APPROX	APPROXIMATE	FF	FLOOR FINISH	MIN	MINIMUM	SNT	SEALANT
APR	APPROXIMATE	FF	FLOOR FINISH	MISC	MISCELLANEOUS	S&P	SHELF & POLE
ARCH	ARCHITECT	FG	FIXED GLASS	NO	MASONRY OPENING	SP	SHEAR PANEL
ASPH	ASPHALT	FN	FINISHED	MTD	MOUNTED	SQ	SQUARE
AVG	AVERAGE	FJ	FLOOR JOIST	MTL	METAL	SQ FT	SQUARE FOOT
BD	BOARD	FOC	FACE OF CONCRETE	N	NORTH	SSD	SEE STRUCTURAL DRAWINGS
BLDG	BUILDING	FOM	FACE OF MASONRY	NAT	NATURAL	STOR	STORAGE
BLKG	BLOCKING	FD	FACE OF STUD	NAT	NATURAL	STD	STANDARD
BM	BEAM	FPF	FIREPROOFING	NO	NOT IN CONTRACT	STL	STEEL
BOJ	BOTTOM OF JOIST	FR	FRAME	NOM	NOMINAL	STL	STEEL
BOW	BOTTOM OF WALL	FS	FULL SIZE	NTS	NOT TO SCALE	ST STL	STAINLESS STEEL
BRK	BRICK	FTG	FOOTING	OB	OBSCURED	STRUC	STRUCTURAL
BRZ	BRONZE	FUR	FURRING(ING)	OC	ON CENTER	SUSP	SUSPENDED
CA	APPROXIMATELY	OD	OUTSIDE DIAMETER	OH	OVERHEAD	T	TREAD
CAB	CABINET	FURN	FURNISHED	OF	OVERFLOW	TC	TRASH ENCLOSURE
CB	CATCH BASIN	GA	GAUGE	OH	OPENING	TEL	TELEPHONE
CEM	CEMENT	GD	GALVANIZED	OPNG	OPENING	TERR	TERRAZZO
CL	CERAMIC TILE	GEN	GENERAL	OPP	OPPOSITE	T&G	TONGUE & GROOVE
CJ	CEILING JOIST	GFRG	GLASS FIBER	PL	PLATE/PLATE LINE	THSLD	THRESHOLD
CK	CONTROL JOINT	GLF	GLASS FIBER	PLAM	PLASTIC LAMINATE	TOC	TOP OF CURB
CL	CLOSET	GFRG	GLASS FIBER	PLAS	PLASTIC	TOCONC	TOP OF CONCRETE
CLG	CENTER LINE	GL	GLASS	PNT	PAINTED	TOM	TOP OF MASONRY
CLG	CLOSET	GR	GRADE	PR	PAIR	TOS	TOP OF SLAB
CLG	CLOSET	GR	GRADE	PROJ	PROJECT	TOW	TOP OF WALL
CLQ	CLEAR	GR	GRADE	PSF	POUNDS/SQ. FT.	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	GSM	GALVANIZED SHEET METAL	PSI	POUNDS/SQ. IN.	UN	UNDERGROUND
CONDT	CONDUIT	GYP BD	GYP/SUL WALLBOARD	PT	PRESSURE TREATED	UN	UNLESS OTHERWISE NOTED
COMP	COMPUTER	HB	HOSE BIBB	QD	QUARRY TILE	UTIL	UTILITY
CONC	CONCRETE	HC	HOLLOW CORE	RT	RISER	VERT	VERTICAL
CONSTR	CONSTRUCTION	HDR	HEADER	RAG	RETURN AIR GRILL	VCT	VINYL COMPOSITE TILE
CONT	CONTINUOUS	HDWR	HARDWARE	RAD	RADIUS	VFR	VERIFY IN FIELD
CONTR	CONTRACTOR	HGT	HEIGHT	ROD	ROOF DRAIN	VNT	VINYL TILE
CS	COUNTERSUNK	HM	HOLLOW METAL	REC	RECESSED	W	WEST
CT	CURTAIN TRACK	HP	HIGH POINT	REB	REINFORCING STEEL	WD	WASHER/DRYER
CUS	CUSTOM	HRT	HORIZONTAL	REG	REGISTER	W/O	WITHOUT
CW	COLD WATER	HVS	HVAC	REIN	REINFORCED	WO	WOOD
D	DIAMETER	HVAC	HEATING, VENTING & AIR CONDITIONING	REQD	REQUIRED	WH	WATER HEATER
DBL	DOUBLE	HW	HOT WATER	RES T	RESILIENT TILE	WDW	WINDOW
DBL GL	DOUBLE GLAZE	HWH	HOT WATER HEATER	REV	REVISION	WP	WATERPROOF(ING)
DEFS	DEFINITION	HYD	HYDRANT	RFQ	REFERENCE	WRB	WATER RESISTANT BARRIER
DF	DOUGLAS FIR	ID	INSIDE DIAMETER	RFL	REFLECTED	WV	WELDED WIRE FABRIC
DG	DECOMPOSED	IN	INCH	RM	ROOM	YD	YARD
GRN	GRANITE	INCL	INCLUDED	RND	ROUND		
DM	DIMENSION	INSUL	INSULATION	RO	ROUGH OPENING		
DN	DOWN	INT	INTERIOR	RS	ROUGH SAWN		
DR	DOOR	INV	INVERT				
DRS	DRYSPROUT						
D/DLET	DETAIL						

**7 PERSPECTIVE**

COVER SHEET W/ SITE PLAN		C-1.0 TITLE SHEET	
A001	COPY SHEET W/ SITE PLAN	C-2.0	OVERALL SITE PLAN
A002	TITLE 24: CF-1R	C-2.1	GRADING & DRAINAGE PLAN
A003	TITLE 24: MF-1R	C-3.0	UTILITY PLAN
A004	SITE SURVEY	C-4.0	DETAILS
A101	SITE PLAN	C-4.1	DETAILS
A102	FLOOR PLANS	C-5.0	GRADING SPECIFICATIONS
A103	FLOOR PLANS	ER-1	EROSION CONTROL
A104	FLOOR PLANS	ER-2	EROSION CONTROL DETAILS
A105	ROOF PLANS		
A201	EXTERIOR ELEVATIONS	SI-1	STREET IMPROVEMENT PLAN
A202	EXTERIOR ELEVATIONS	SI-2	DETAILS
A203	EXTERIOR ELEVATIONS	SI-3	DETAILS
A301	BUILDING SECTIONS, SCHEDULES	SI-4	EROSION CONTROL PLAN
A302	BUILDING SECTIONS	SI-5	EROSION CONTROL DETAILS
A501	FLASHING DETAILS		
E101	POWER + LIGHTING PLANS		
E102	POWER + LIGHTING PLANS		

S1.0 TITLE SHEET	
S1.1A	TYPICAL WOOD DETAILS
S1.1B	TYPICAL WOOD DETAILS
S1.2A	TYPICAL CONCRETE DETAILS
S2	FIRST FLOOR FOUNDATION PLAN
S3	SECOND FLOOR FRAMING PLAN
S4	THIRD FLOOR FRAMING PLAN
S5	ROOF FLOOR FRAMING PLAN
S6-10	STRUCTURAL DETAILS



1. APPROVALS: ALL PLUMBING FIXTURES, FINISHES, HARDWARE AND MISCELLANEOUS ITEMS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER AND ARCHITECT UNLESS SPECIFIED ON DRAWINGS.
2. ARCHITECT'S RESPONSIBILITY: THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF THE WORK.
3. CHANGES: ALL CHANGES, DESIGN, CONSTRUCTION, ETC., MUST BE APPROVED BY THE OWNER.
4. CODES AND CONFLICTS: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE, AND OTHER APPLICABLE CODES, ORDINANCES, STATUTES AND SUPPLEMENTAL REQUIREMENTS HAVING JURISDICTION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER THESE CODES. CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE GOVERNING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. DEFINITIONS: "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS. "ARCHITECT" SHALL MEAN THE ARCHITECTURAL DESIGNER OR HIS AGENT. "FURNISH" SHALL MEAN SUPPLY ONLY; FOR OTHERS TO INSTALL, "INSTALL" SHALL MEAN SUPPLIED BY OTHERS, TO BE INSTALLED BY CONTRACTOR. "PROVIDE" SHALL MEAN FURNISH AND INSTALL, COMPLETE AND IN PLACE. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITION(S) NOTED. CONTRACTOR SHALL VERIFY DIMENSIONS, ORIENTATION, AND VARIATION FROM THE REFERENCED CONDITION. "TYPICAL" SHALL MEAN IDENTICAL FOR CONDITIONS NOTED. "OFFSITE" SHALL MEAN OUTSIDE THE PROPERTY BOUNDARY OF THE PROJECT PARCEL OR SITE. "SITE" SHALL MEAN THE ENTIRE AREA WITHIN THE PARCEL BOUNDARY/PROPERTY LINE(S). "SITE WORK" SHALL MEAN ALL WORK UP TO A DISTANCE FIVE (5) FEET FROM THE FACE OF THE BUILDING, UNLESS OTHERWISE NOTED OR PROVIDED IN THE CONTRACT.
6. DIMENSIONS: (A) IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATIONS OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE. (B) HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM STRUCTURAL FACE OF CONSTRUCTION, E.G., STUD FACE, CONCRETE OR STEEL FACE, UNLESS OTHERWISE NOTED (UON). (C) VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (AFF). (D) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED "+/-".
7. FIELD CONDITIONS: THESE CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT AND FROM DOCUMENTS PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY DIMENSIONS AGAINST FIELD CONDITIONS. SHOULD THE CONTRACTOR ENCOUNTER FIELD CONDITIONS WHICH VARY FROM THESE CONSTRUCTION DOCUMENTS AND WHICH EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT/SUBCONTRACT SUM, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
8. GUARANTEE: (A) CONTRACTOR WILL PROVIDE A ONE YEAR GUARANTEE AFTER PROJECT COMPLETION FOR ALL MATERIALS AND WORKMANSHIP. (B) NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWING AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN THE REQUIRED TIME PERIOD SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
9. INSURANCE: (A) THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENCES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT. (B) THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES, FOR PERSONAL, BODILY INJURY OR DEATH OR PROPERTY DAMAGE, DURING THE COURSE OF THIS CONTRACT. (FIRE INSURANCE SHALL BE MAINTAINED BY THE OWNER).
10. INTENTION: THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON DRAWINGS OR REASONABLY INFERRED THEREFROM.
11. MECHANICAL COORDINATION: GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE IN OBTAINING MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE. ELEMENTS TO BE EXPOSED TO VIEW SHALL BE DETERMINED BY OR REVIEWED WITH THE DESIGNER PRIOR TO CONSTRUCTION OR FABRICATION PROCEEDING. (B) COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BLOCKING, BACKING, FRAMING, AND REINFORCING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS AND ABOVE CEILING FOR CEILING-MOUNTED/HUNG ITEMS AS REQUIRED.
12. NEIGHBORS: THE OWNER AND IMMEDIATE NEIGHBORS, OR NEIGHBORS TO BE AFFECTED, SHOULD BE MADE AWARE IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES THAT MAY BE DISRUPTIVE. UTILITY OUTAGES WILL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY, UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, NUISANCE AND THE LIKE TO THE PREMISES AND OCCUPANCY. USE OF NEIGHBORS PROPERTY IS EXPRESSLY FORBIDDEN. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SUCH PROPERTY IN THE EVENT DAMAGE IS DONE.
13. SAMPLES: THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER. (A) FIELD SAMPLES AND MOCK-UP SHALL BE PREPARED AT THE SITE BY THE CONTRACTOR AS SPECIFIED IN THE VARIOUS SECTIONS OF THE CONTRACT DOCUMENTS. FIELD SAMPLES SHALL NOT BE STARTED UNTIL THE ARCHITECT HAS ACCEPTED AS SATISFACTORY THE FIELD SAMPLES AND/OR MOCK-UP IN WRITING. (B) CONSTRUCT AND PREPARE FIELD SAMPLES AND MOCK-UP AT LOCATIONS AS DIRECTED BY THE ARCHITECT. (C) FIELD SAMPLES AND MOCK-UP SHALL BE REMOVED FROM THE SITE AFTER COMPLETION AND ACCEPTANCE OF THE EFFECTED WORK OR OTHERWISE AS DIRECTED BY THE ARCHITECT.
14. SCHEDULE: (A) WITHIN FIVE (5) DAYS FROM THE CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED CONSTRUCTION SCHEDULE FOR THE WORK, WITH SUBSCHEDULES OF RELATED ACTIVITIES WHICH MAY EFFECT THE PROGRESS OF THE WORK. (B) MECHANICAL, ELECTRICAL, & PLUMBING DESIGN-BUILD DRAWINGS AND/OR SHOP DRAWINGS, LAYOUTS AND COMPOSITE COORDINATION DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AS SOON AS POSSIBLE AFTER INWARD OF THE CONTRACT FOR CONSTRUCTION. CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED CONSTRUCTION OR CONSTRUCTION SHALL PROCEED UNTIL THE REVIEW/APPROVAL OF THESE DRAWINGS. GENERAL CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR REVIEW, COORDINATION AND RESUBMITTAL, IF NECESSARY, OF THE DESIGN-BUILD SUBCONTRACTORS' DOCUMENTS TO ENSURE SATISFACTORY DESIGN AND ENGINEERING COORDINATION. (C) CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW DESIGNER A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.
15. SCOPE: TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY INDICATED REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB USING NEW MATERIALS UN, IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF WORKMANSHIP.
16. SITE CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOL, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
17. SUBSTITUTIONS: IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND OR MANUFACTURE OF EQUAL QUALITY, APPEARANCE, AND UTILITY TO THE PRODUCT SPECIFIED, HE SHALL REQUEST SUBSTITUTION TO THE ARCHITECT. THE ARCHITECT WILL ACCEPT AS SATISFACTORY OR REJECT THE REQUEST FOR SUBSTITUTION, AND HIS DECISION SHALL BE FINAL. ANY SUBSTITUTIONS AS REQUESTED AS PROVIDED HEREIN, DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED.
18. WORK QUALITY: (A) FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL WITHOUT WAIVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS. (B) SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED AND IN ACCORDANCE WITH THE DRAWINGS, REVISED SHOP DRAWINGS, AND THESE SPECIFICATIONS. (C) MATERIAL AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, OR TITLE OF SUCH SPECIFICATION AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARDS, OR OTHER SIMILAR STANDARDS SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR WITH THE MOST RECENT IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINTED IN CONTRACT DOCUMENTS. (D) SUBMIT REQUIRED SHOP DRAWINGS AND SUBMITTALS FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT BEFORE ORDERING ANY MATERIALS OR FABRICATIONS OR PROCEEDING WITH THE WORK.

17A SYMBOL KEY	
(Symbol)	DATUM +0'-0"
(Symbol)	ELEVATION MARK
(Symbol)	DETAIL REFERENCE
(Symbol)	DETAIL REFERENCE
(Symbol)	BUILDING SECTION
(Symbol)	WALL SECTION
(Symbol)	ELEVATION
(Symbol)	DOOR NO.
(Symbol)	WINDOW NO.
(Symbol)	KEYNOTE
(Symbol)	WALL TYPE

**17B APPLICABLE CODES**

GENERAL NOTES

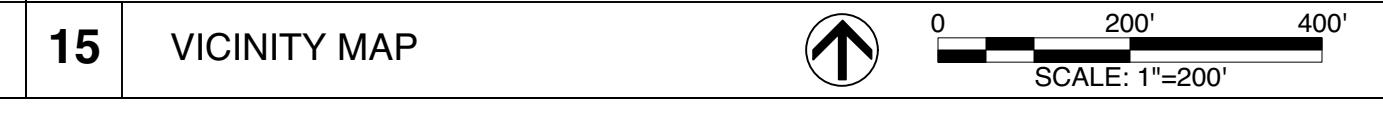
- SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR, SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE.
- THE OWNER HAS EMPLOYED A LICENSED STRUCTURAL ENGINEER TO PERFORM STRUCTURAL OBSERVATION AS DEFINED IN 2010 CBC §1701. STRUCTURAL OBSERVATION SHALL BE REQUIRED FOR CONFORMANCE TO THE APPROVED PLANS FOR SEISMIC RESISTANCE AND WIND REQUIREMENTS.
- STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS AS REQD BY THE CRC SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
- ALL NEW PLUMBING FIXTURES TO BE WATER CONSERVING FIXTURES PER CPC 403; WATER CLOSET - 1.28 GAL/ FLUSH MAX. SHOWER HEAD - 2.5 GPM AT 80 PSI MAX. KITCHEN & LAV FAUCETS - 1.8 GPM AT 60 PSI MAX.
- ALL WORK IN THE CITY'S RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT.

**17C DEFERRED SUBMITTALS**

- PHOTOVOLTAIC SOLAR SYSTEM - MIN 1KW REQUIRED PER CITY OF BRISBANE MUNICIPAL CODE 15.81.050.
- LANDSCAPE PERMIT
- TREE REMOVAL PERMIT

**13 PROJECT DATA**

**14 ABBREVIATIONS**

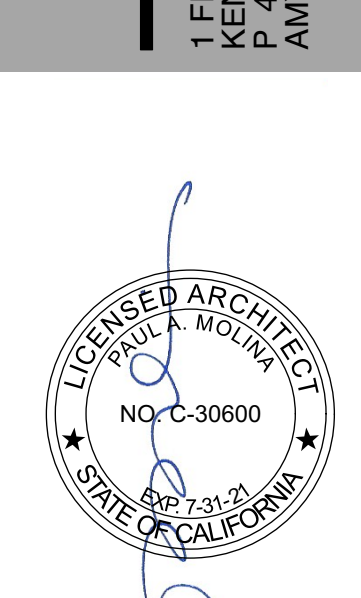


- 16 PROJECT NOTES**

**17C DEFERRED SUBMITTALS**

**ADAMSON MOLINA DESIGN ASSOCIATES, INC.**  
RESIDENCE  
130 SIERRA POINT ROAD, BRISBANE, CA 94005  
APN# 007-193-050

**CUNNINGHAM**  
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1 FERN ROAD  
KENTFIELD, CA 94904  
P 415.576.1010



MARK	DATE	DESCRIPTION
1	09.10.19	Plan Check Response
	01.10.19	Permit Set

TITLE: COVER SHEET  
SCALE: AS SHOWN  
DATE: 09.10.19

**A001**



**OWNER**

MICHAEL & TRYSTANNE CUNNINGHAM  
 401 CRESCENT AVENUE  
 SAN FRANCISCO, CALIFORNIA 94110  
 (415) 725-7252

**NOTES**

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. THIS SURVEY WAS BASED UPON A TITLE REPORT BY FIRST NATIONAL TITLE COMPANY, OR: 05-9561345-DK, DATED 09/08/2005.
3. THE NEAREST FIRE HYDRANT IS LOCATED ACROSS THE STREET 74' +/- FROM NORTHMOST PROPERTY CORNER.
4. BASIS OF ELEVATION: THE MONUMENT AT KLAMATH STREET AND SIERRA PT. ROAD WAS TAKEN AS ELEV. 158.69, PER CITY OF BRISBANE DATUM.

APN 007-193-050

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT. AT THE REQUEST

OF: MICHAEL CUNNINGHAM ON: MAY OF 2006

I HEREBY STATE THAT THE BOUNDARY SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, ALBERTO GOMEZ MASSO RCE 30442

THIS 08TH DAY OF MAY 2006

I HEREBY FURTHER STATE THAT ALL- EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF SAN FRANCISCO DATUM.

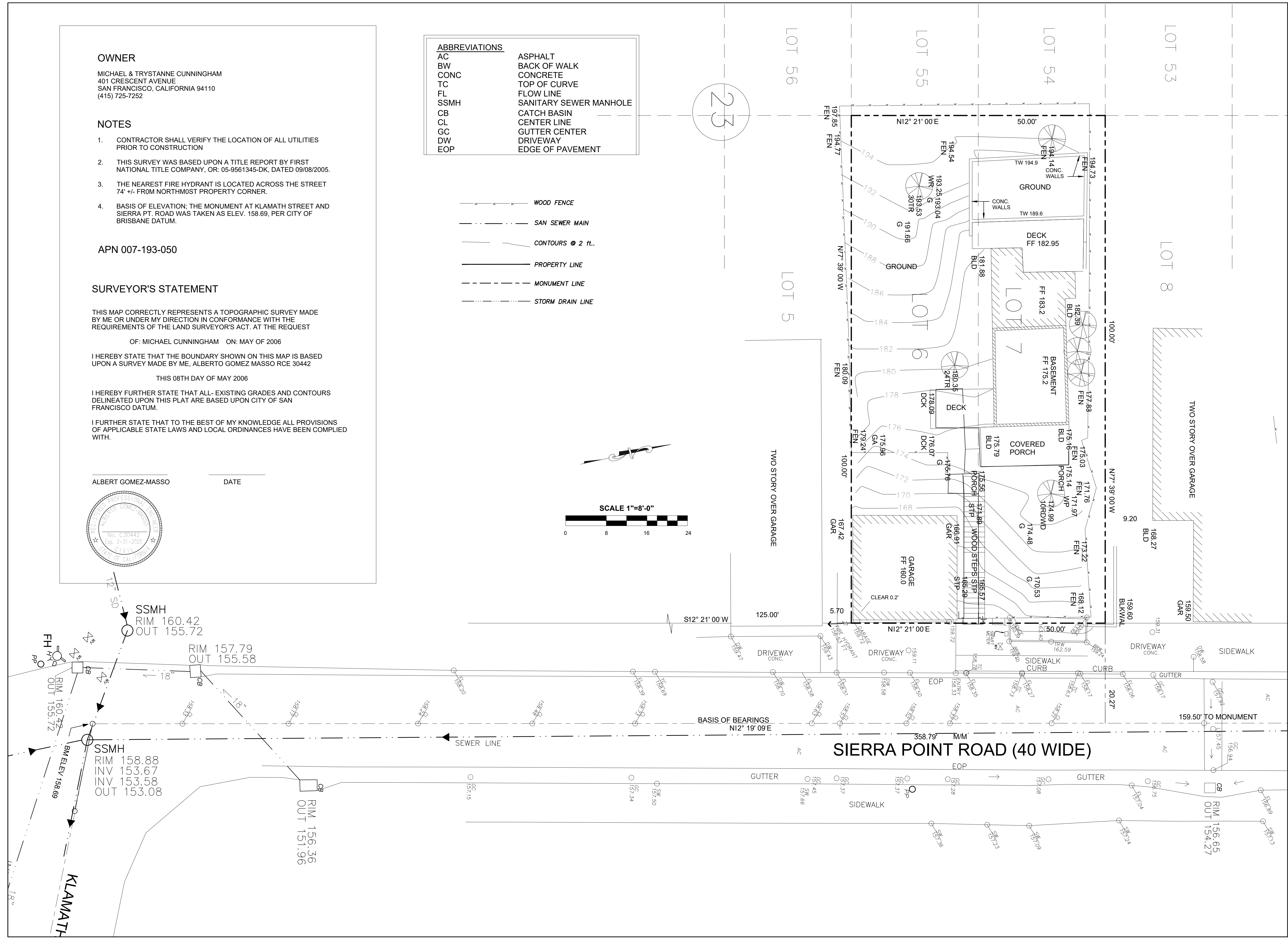
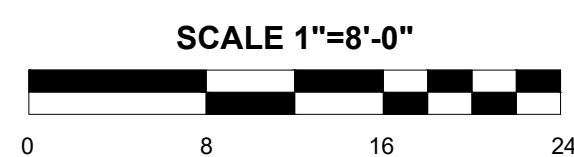
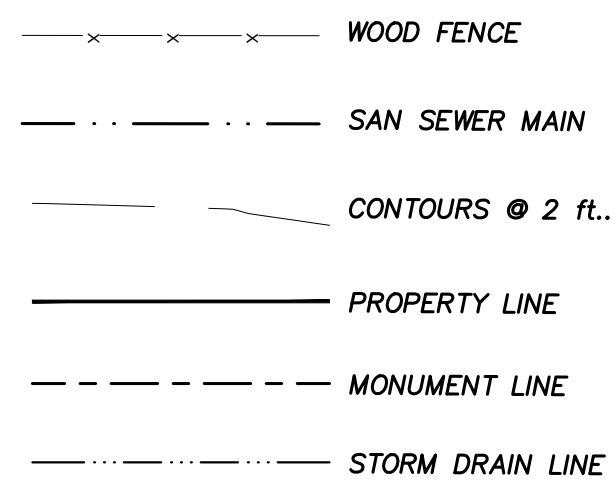
I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

ALBERT GOMEZ-MASSO

DATE



ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC	CONCRETE
TC	TOP OF CURVE
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN
CL	CENTER LINE
GC	GUTTER CENTER
DW	DRIVEWAY
EOP	EDGE OF PAVEMENT



**TOPOGRAPHIC SURVEY**

OF LOTS 6 AND 7, BLOCK 23, AS SHOWN ON THE MAP ENTITLED "AMENDED MAP OF SUBDIVISIONS NOS. 1,2 AND 3, OF THE CITY OF VISITATION, SAN MATEO COUNTY, RECORDERS OFFICE OF SAN MATEO COUNTY, CALIFORNIA.

BRISBANE SAN MATEO COUNTY CALIFORNIA

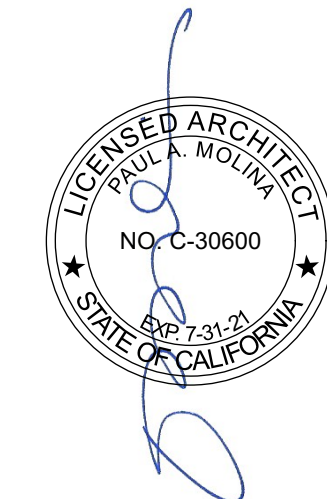
**SUMMIT ENGINEERING**

5855 CASTLE DRIVE  
 OAKLAND, CA 94611  
 PH: (510) 842-8064 FAX: (510) 482-5848

DRAWN:	
CHECKED:	
DATE:	
SCALE:	1" = 8'-0"
PROJECT NO.	
SHEET	OF

1 / 1



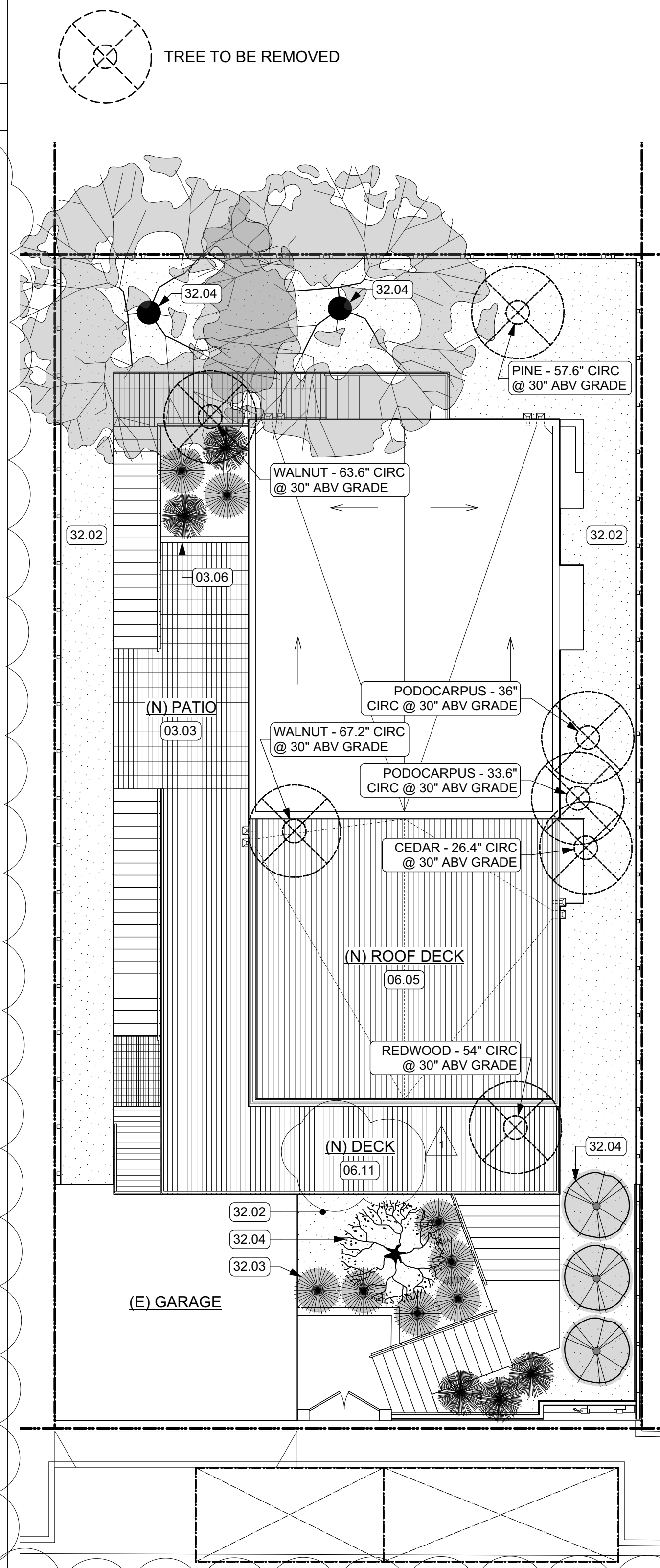


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	01.10.19	Permit Set

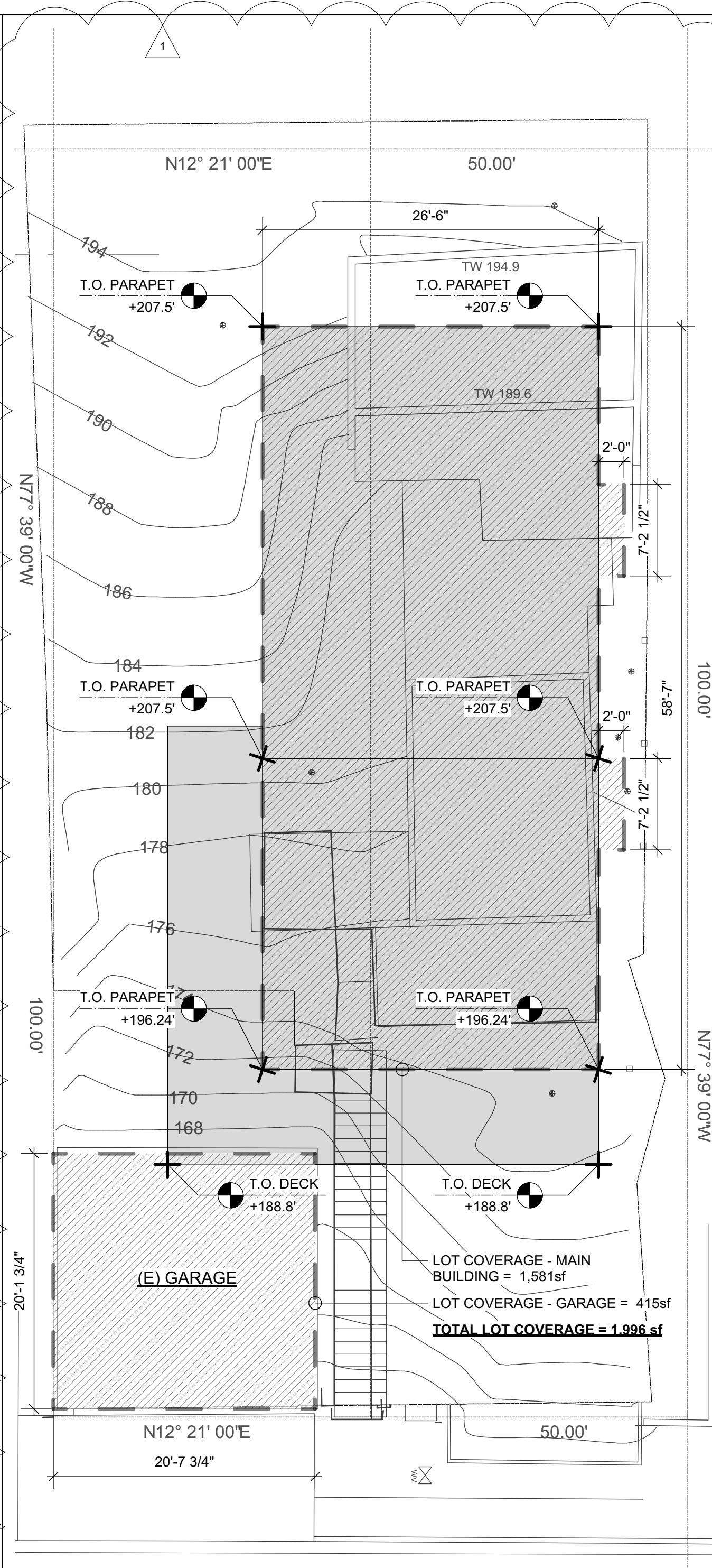
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SCALE	1/8"=1'-0"
DATE	09.10.19

A101

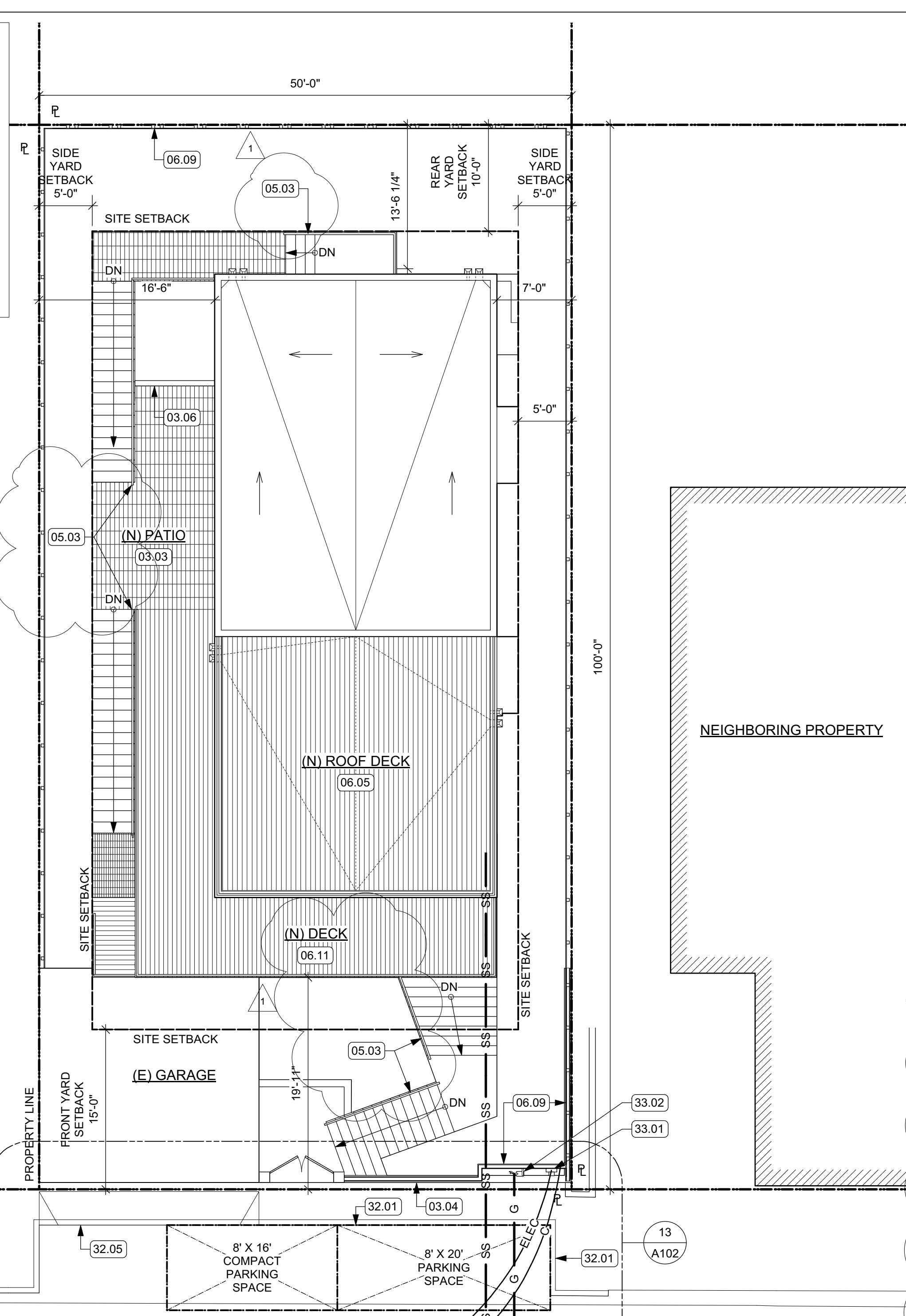
- 02 EXISTING CONDITIONS**
  - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
  - 02.02 (E) DECK & STAIR TO BE REMOVED
  - 02.03 (E) FENCE TO BE REMOVED
  - 02.04 (E) PLANTER TO BE REMOVED
  - 02.05 (E) PLY T-11 SIDING
  - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
  - 03.01 (N) CONC STAIRS ON GRADE
  - 03.02 (N) CONC SLAB ON GRADE
  - 03.03 (N) CONC SLAB UNDER (N) PAVERS
  - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
  - 03.05 (N) CONC RETAINING WALL
  - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
  - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
  - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
  - 05.03 (N) PTD MTL HANDRAIL
  - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
  - 06.01 (N) CUSTOM WD CASEWORK
  - 06.02 (N) ADJ PTD WOOD SHELVING
  - 06.03 (N) WD FLOORING
  - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
  - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
  - 06.06 (N) IPE WD FACIA
  - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
  - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
  - 06.09 (N) WD FENCE
  - 06.10 (N) T&G WD SIDING
  - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
  - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCKED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
  - 07.02 (N) T&G WD SIDING
  - 07.03 BATT INSULATION, R21
  - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
  - 07.05 (N) STONE TILE
  - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
  - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
  - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
  - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
  - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
  - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
  - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
  - 08.01 (N) CLEARSTORY WINDOW ABOVE
  - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
  - 09.01 PTD GYP BD
  - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
  - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
  - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
  - 09.05 (N) STONE COUNTERTOP
  - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDERSTAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
  - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
  - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
  - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
  - 11.02 (N) STEAM OVEN
  - 11.03 (N) WARMING DRAWER
  - 11.04 (N) REFRIGERATOR
  - 11.05 (N) GAS RANGE
  - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
  - 11.07 (N) DISHWASHER
  - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
  - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
  - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
  - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
  - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
  - 22.05 (N) AREA DRAIN
  - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
  - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
  - 23.01 (N) TOILET, DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
  - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
  - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
  - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
  - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
  - 32.01 (N) 4" CONC CURB
  - 32.02 (N) GRASS GROUND COVER
  - 32.03 (N) PLANTING, SHRUBS
  - 32.04 (N) PLANTING, TREE
  - 32.05 (N) CURB CUT
- 33 UTILITIES**
  - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
  - 33.02 (N) GAS METER
  - 33.03 (N) CABLE / TELECOM SERVICE



LANDSCAPE IRRIGATION:  
 OUTDOOR LANDSCAPE IRRIGATION TO COMPLY WITH CAL GREEN MANDATORY MEASURES SECTION 4.304.1



LOT COVERAGE AREA



SIERRA POINT ROAD

**1 NOT USED**

**DRAINAGE / UTILITIES LEGEND**

- SD (E) STORM DRAIN
- D (E) UNDERGROUND DRAIN PIPE
- G (E) UNDERGROUND GAS SERVICE
- W (E) UNDERGROUND WATER SERVICE
- SS (E) UNDERGROUND SANITARY SEWER PIPE
- ELEC (E) ABOVE GROUND ELEC SERVICE
- C (E) ABOVE GROUND CABLE SERVICE
- (E) SEMI-PERVIOUS GROUND COVER
- (E) IMPERVIOUS SURFACE

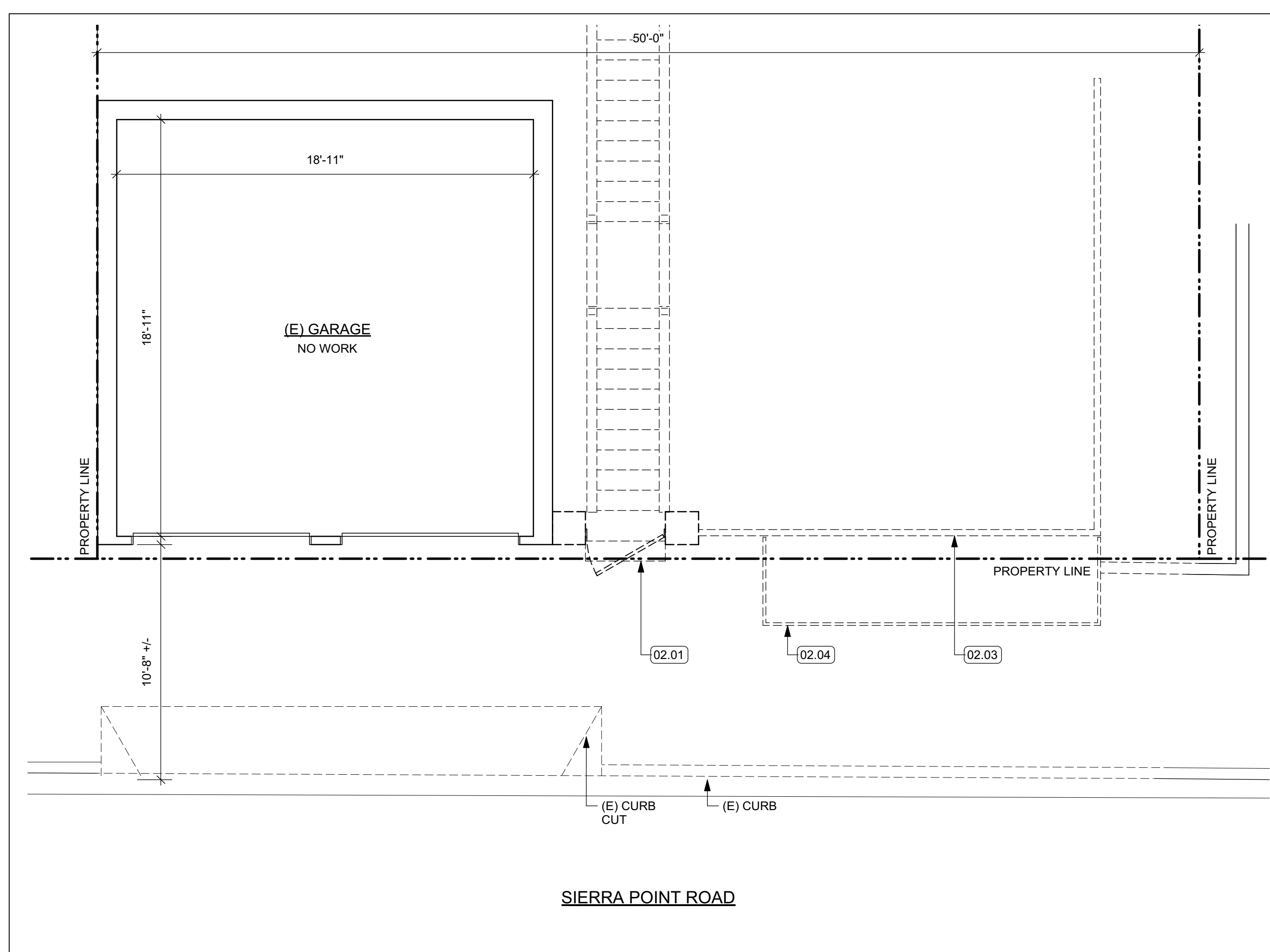
13 SITE PLAN

15 STORY POLE PLAN W/ LOT COVERAGE

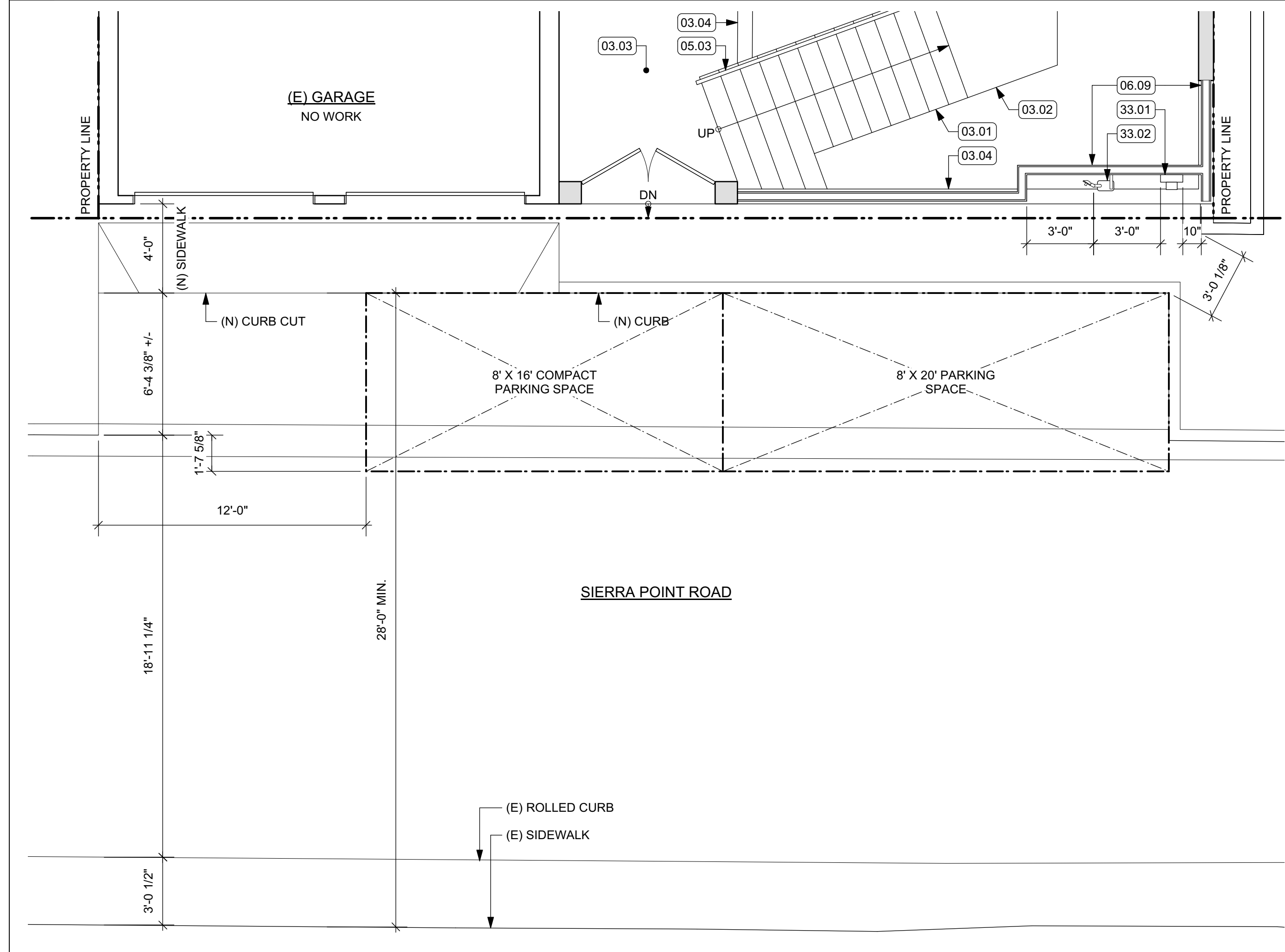
16 LANDSCAPE PLAN

KEYNOTES

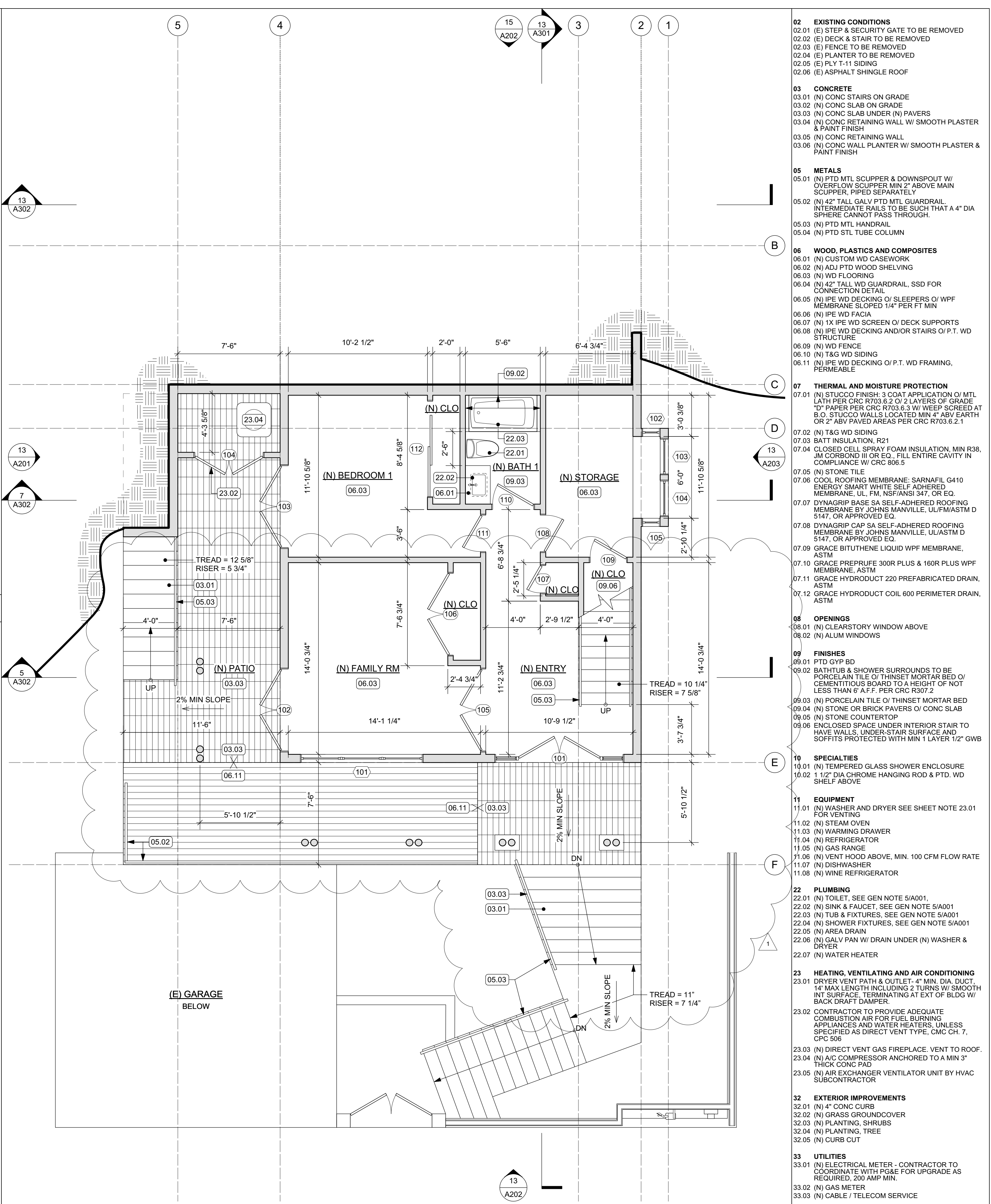




**5** EXISTING STREET LEVEL PLAN WITH DEMOLITION



**13** STREET LEVEL PLAN WITH NEW PARKING



**15** FIRST FLOOR PLAN

- 02 EXISTING CONDITIONS**  
 02.01 (E) STEP & SECURITY GATE TO BE REMOVED  
 02.02 (E) DECK & STAIR TO BE REMOVED  
 02.03 (E) FENCE TO BE REMOVED  
 02.04 (E) PLANTER TO BE REMOVED  
 02.05 (E) PLY T-11 SIDING  
 02.06 (E) ASPHALT SHINGLE ROOF
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 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**  
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 06.02 (N) ADJ PTD WOOD SHELVING  
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 06.06 (N) IPE WD FACIA  
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 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE  
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 06.11 (N) IPE WD DECKING O/P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**  
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 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.  
 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM  
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 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**  
 08.01 (N) CLEARSTORY WINDOW ABOVE  
 08.02 (N) ALUM WINDOWS
- 09 FINISHES**  
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 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2  
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 09.04 (N) STONE OR BRICK PAVERS O/ CONIC SLAB  
 09.05 (N) STONE COUNTERTOP  
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- 11 EQUIPMENT**  
 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING  
 11.02 (N) STEAM OVEN  
 11.03 (N) WARMING DRAWER  
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 11.05 (N) GAS RANGE  
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 11.07 (N) DISHWASHER  
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- 22 PLUMBING**  
 22.01 (N) TOILET, SEE GEN NOTE 5/A001  
 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001  
 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001  
 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001  
 22.05 (N) AREA DRAIN  
 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER  
 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**  
 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.  
 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506  
 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.  
 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD  
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- 32 EXTERIOR IMPROVEMENTS**  
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 32.03 (N) PLANTING, SHRUBS  
 32.04 (N) PLANTING, TREE  
 32.05 (N) CURB CUT
- 33 UTILITIES**  
 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.  
 33.02 (N) GAS METER  
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**ADAMSON MOLINA DESIGN ASSOCIATES, INC.**  
 CUNNINGHAM RESIDENCE  
 130 SIERRA POINT ROAD, BRISBANE, CA 94005  
 AP# 007-193-050

1 FERN ROAD  
 KENTFIELD, CA 94904  
 P 415.576.1010  
 AMY@ADAMSON@CLOUD.COM

LICENSED ARCHITECT  
 PROJ. A. MOLINA  
 NO. C-30600  
 STATE OF CALIFORNIA

09.10.19 Plan Check Response  
 01.10.19 Permit Set  
 DATE DESCRIPTION

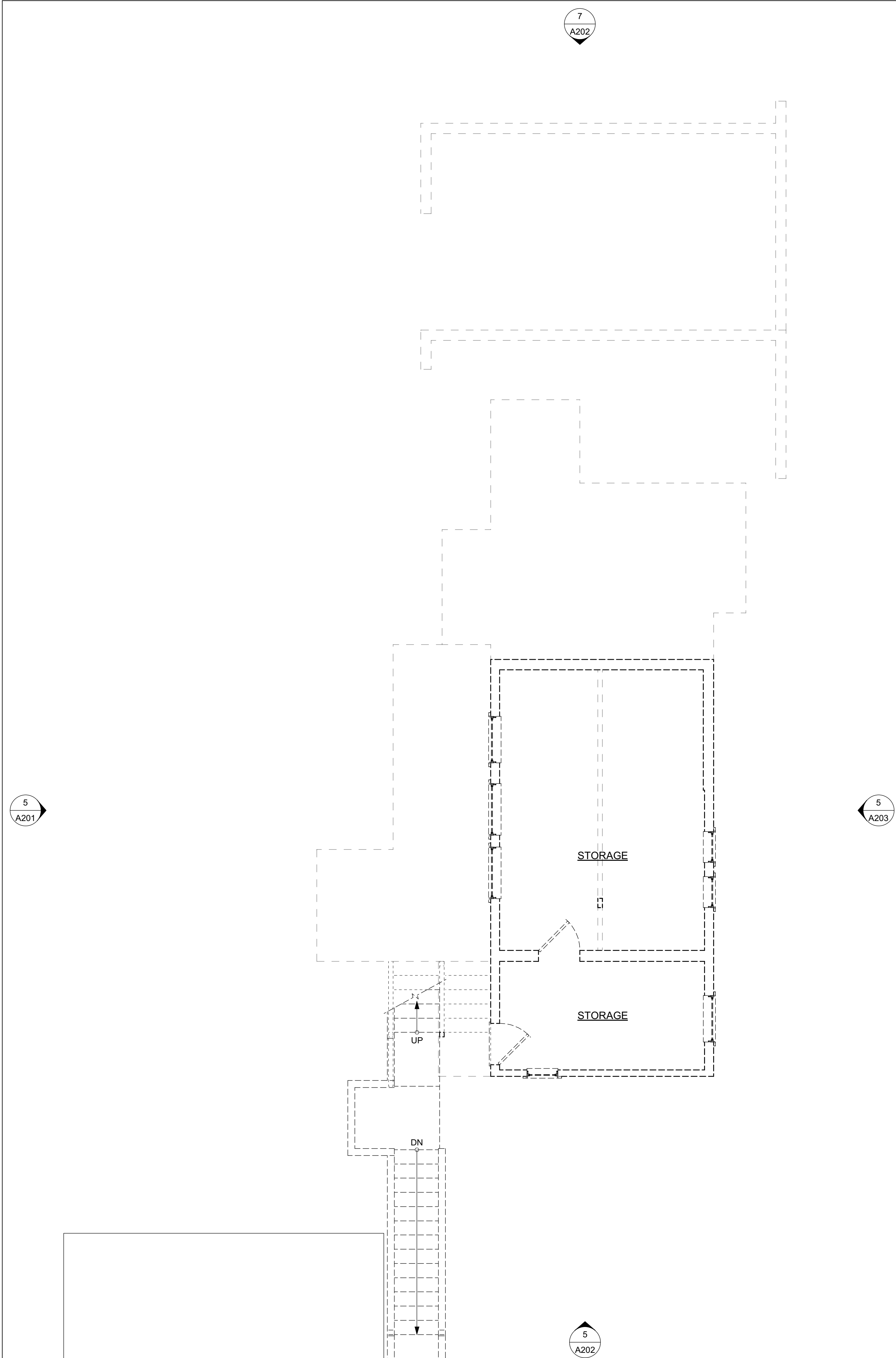
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 FLOOR PLANS

**SCALE**  
 1/4"=1'-0"

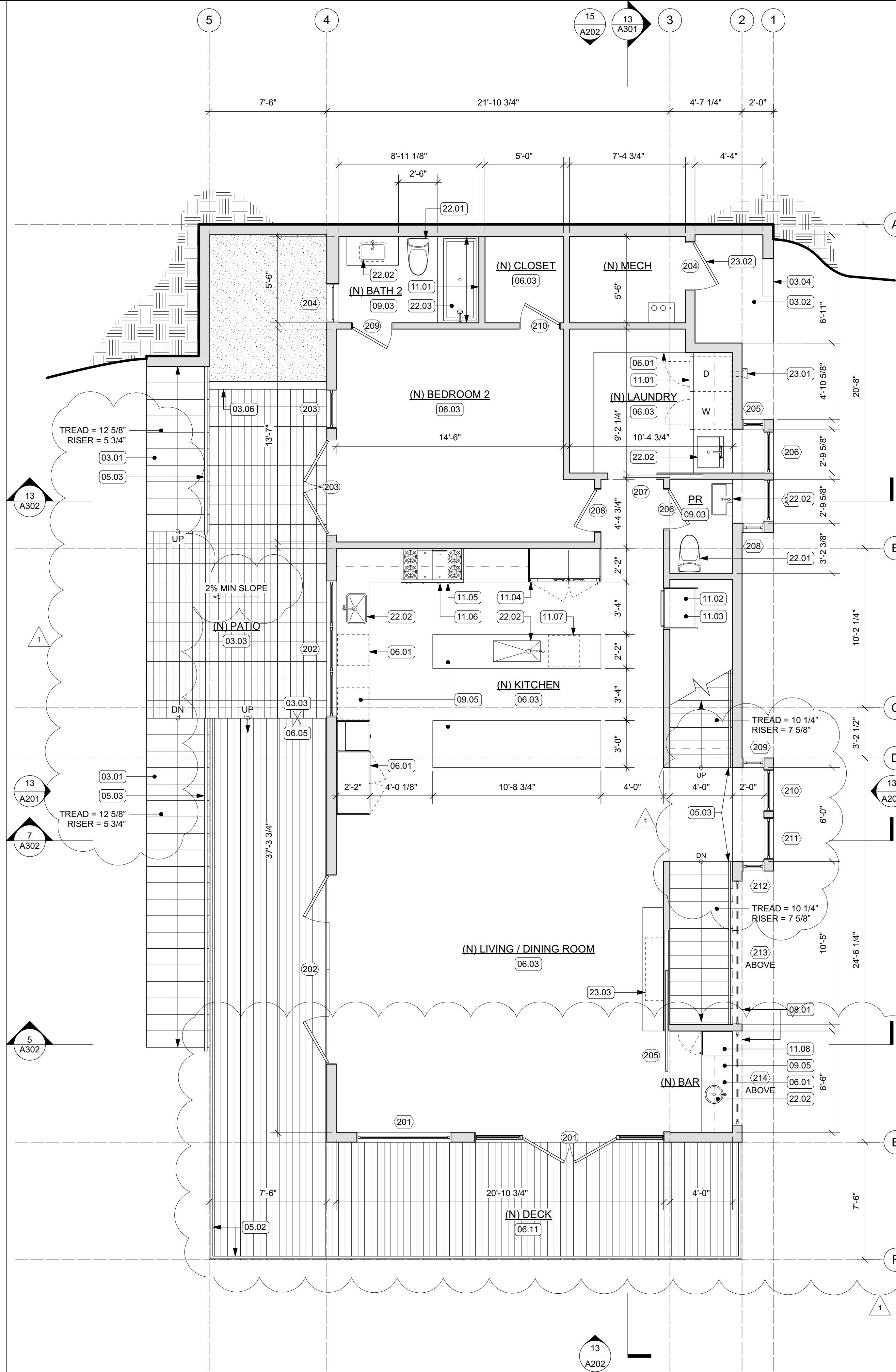
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 09.10.19

**A102**





13 EXISTING FIRST FLOOR PLAN WITH DEMOLITION

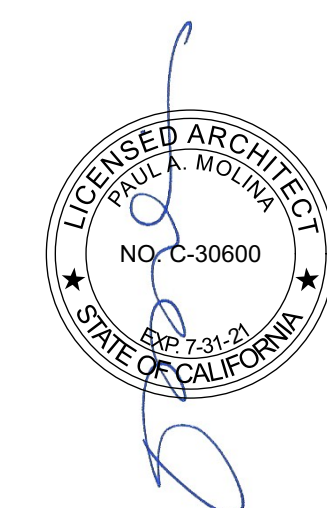


15 SECOND FLOOR PLAN

- 02 EXISTING CONDITIONS**
  - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
  - 02.02 (E) DECK & STAIR TO BE REMOVED
  - 02.03 (E) FENCE TO BE REMOVED
  - 02.04 (E) PLANTER TO BE REMOVED
  - 02.05 (E) PLY T-11 SIDING
  - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
  - 03.01 (N) CONC STAIRS ON GRADE
  - 03.02 (N) CONC SLAB ON GRADE
  - 03.03 (N) CONC SLAB UNDER (N) PAVERS
  - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
  - 03.05 (N) CONC RETAINING WALL
  - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
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  - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
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- 06 WOOD, PLASTICS AND COMPOSITES**
  - 06.01 (N) CUSTOM WD CASEWORK
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  - 06.03 (N) WD FLOORING
  - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
  - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
  - 06.06 (N) IPE WD FACIA
  - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
  - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
  - 06.09 (N) WD FENCE
  - 06.10 (N) T&G WD SIDING
  - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
  - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
  - 07.02 (N) T&G WD SIDING
  - 07.03 BATT INSULATION, R21
  - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND II OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
  - 07.05 (N) STONE TILE
  - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
  - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
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  - 08.01 (N) CLEARSTORY WINDOW ABOVE
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- 09 FINISHES**
  - 09.01 PTD GYP BD
  - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
  - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
  - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
  - 09.05 (N) STONE COUNTERTOP
  - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDERSTAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
  - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
  - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
  - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
  - 11.02 (N) STEAM OVEN
  - 11.03 (N) WARMING DRAWER
  - 11.04 (N) REFRIGERATOR
  - 11.05 (N) GAS RANGE
  - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
  - 11.07 (N) DISHWASHER
  - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
  - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
  - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
  - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
  - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
  - 22.05 (N) AREA DRAIN
  - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
  - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
  - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
  - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
  - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
  - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
  - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
  - 32.01 (N) 4" CONC CURB
  - 32.02 (N) GRASS GROUND COVER
  - 32.03 (N) PLANTING, SHRUBS
  - 32.04 (N) PLANTING, TREE
  - 32.05 (N) CURB CUT
- 33 UTILITIES**
  - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
  - 33.02 (N) GAS METER
  - 33.03 (N) CABLE / TELECOM SERVICE

KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.



DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set
	MARK

TITLE  
FLOOR PLANS

SCALE  
1/4"=1'-0"

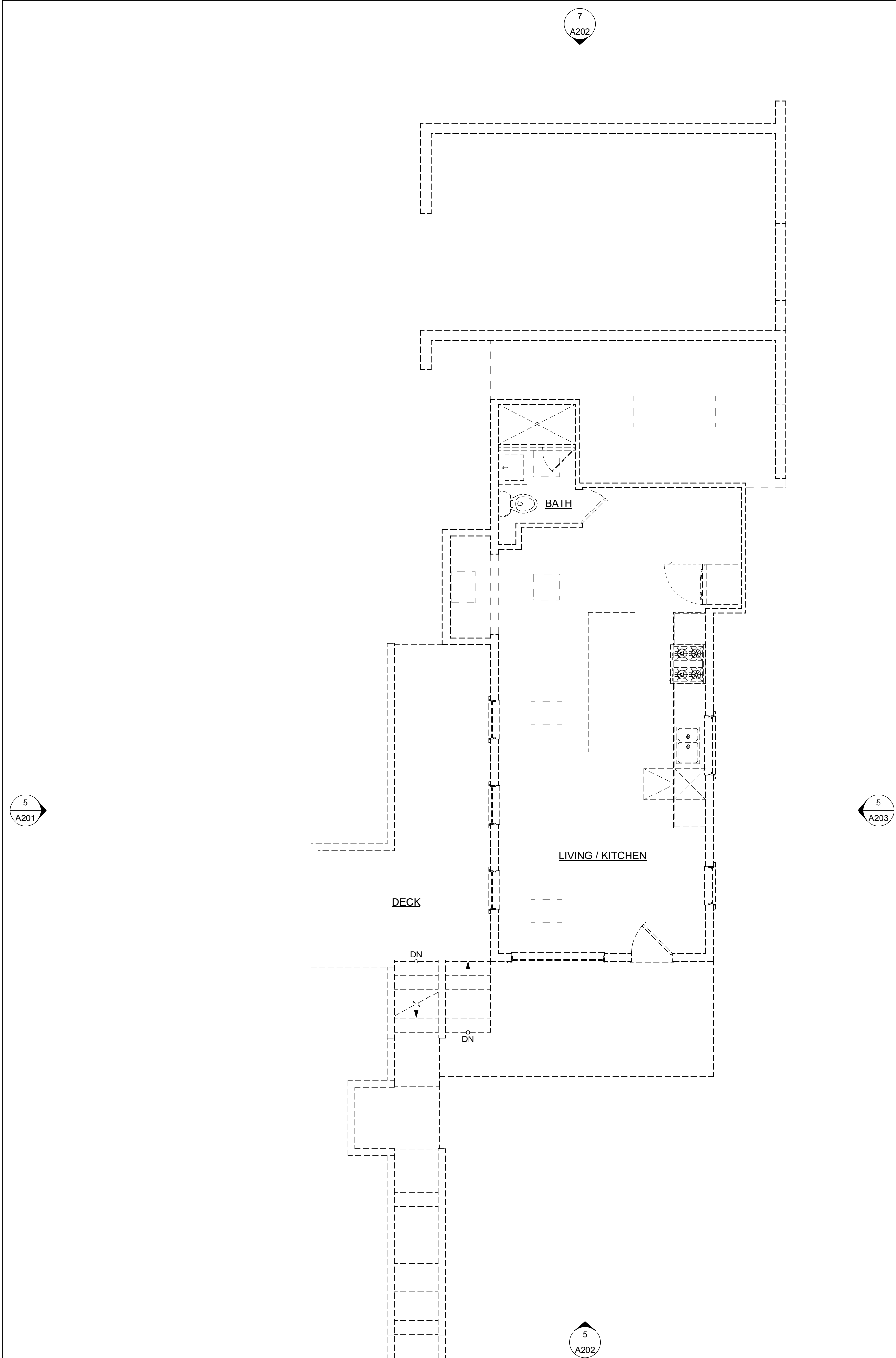
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A103

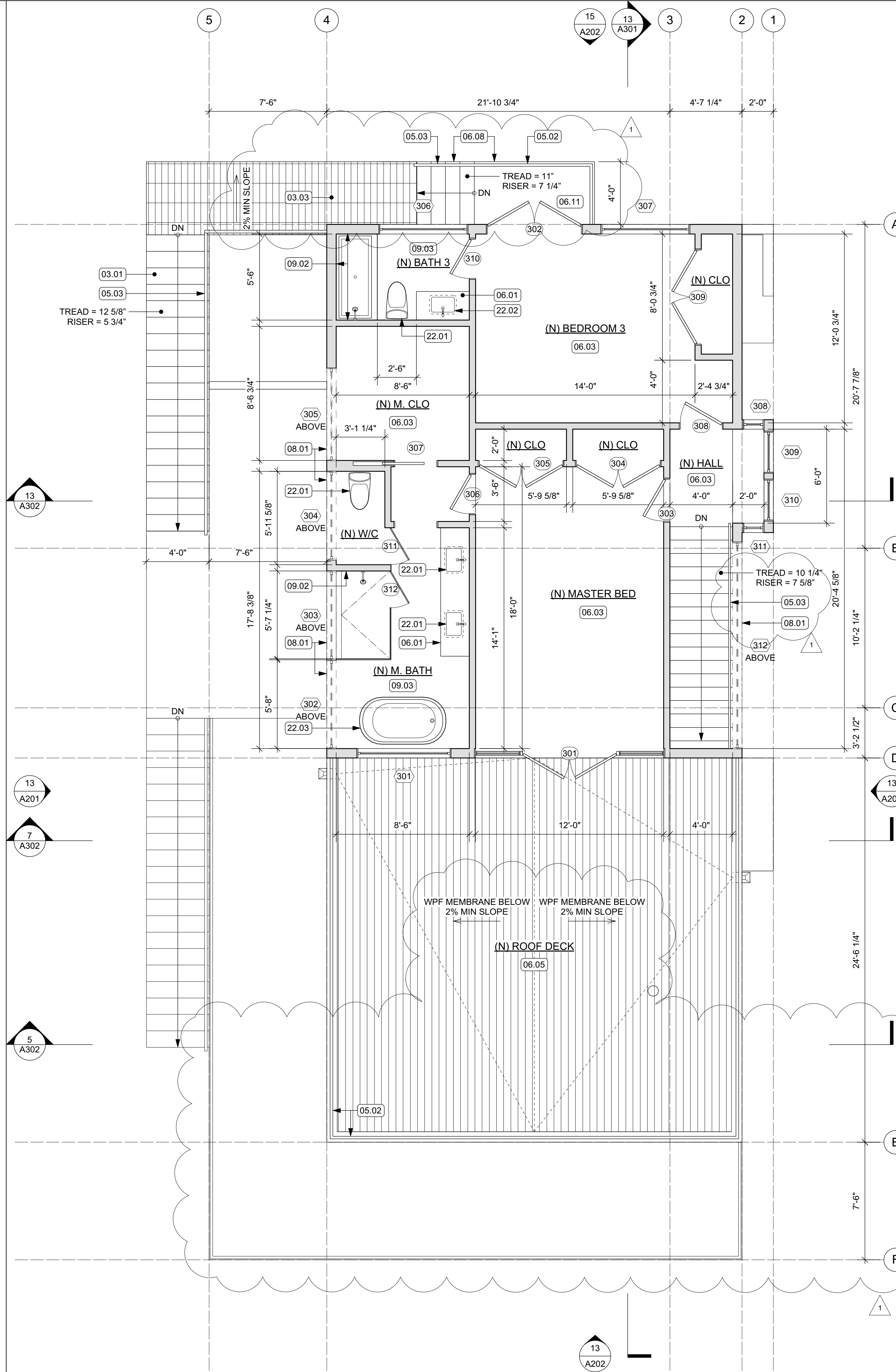
CUNNINGHAM  
RESIDENCE  
130 SIERRA POINT ROAD, BRISBANE, CA 94005  
AP# 007-193-050

1 FERN ROAD  
KENTFIELD, CA 94904  
P 415.576.1010  
AMY@ADAMSON@CLOUD.COM





13 EXISTING SECOND FLOOR PLAN WITH DEMOLITION



15 THIRD FLOOR PLAN

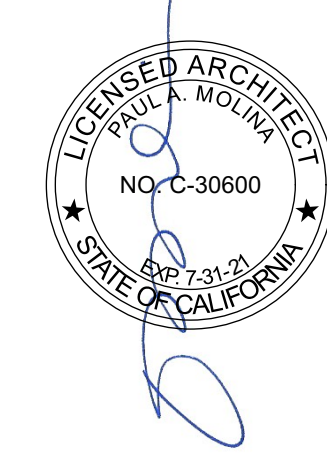
- 02 EXISTING CONDITIONS**  
 02.01 (E) STEP & SECURITY GATE TO BE REMOVED  
 02.02 (E) DECK & STAIR TO BE REMOVED  
 02.03 (E) FENCE TO BE REMOVED  
 02.04 (E) PLANTER TO BE REMOVED  
 02.05 (E) PLY T-11 SIDING  
 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**  
 03.01 (N) CONC STAIRS ON GRADE  
 03.02 (N) CONC SLAB ON GRADE  
 03.03 (N) CONC SLAB UNDER (N) PAVERS  
 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH  
 03.05 (N) CONC RETAINING WALL  
 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**  
 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY  
 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.  
 05.03 (N) PTD MTL HANDRAIL  
 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**  
 06.01 (N) CUSTOM WD CASEWORK  
 06.02 (N) ADJ PTD WOOD SHELVING  
 06.03 (N) WD FLOORING  
 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL  
 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN  
 06.06 (N) IPE WD FACIA  
 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS  
 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE  
 06.09 (N) WD FENCE  
 06.10 (N) T&G WD SIDING  
 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**  
 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ MTL "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1  
 07.02 (N) T&G WD SIDING  
 07.03 BATT INSULATION, R21  
 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5  
 07.05 (N) STONE TILE  
 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.  
 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.  
 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.  
 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM  
 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM  
 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM  
 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**  
 08.01 (N) CLEARSTORY WINDOW ABOVE  
 08.02 (N) ALUM WINDOWS
- 09 FINISHES**  
 09.01 PTD GYP BD  
 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2  
 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED  
 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB  
 09.05 (N) STONE COUNTERTOP  
 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**  
 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE  
 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**  
 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING  
 11.02 (N) STEAM OVEN  
 11.03 (N) WARMING DRAWER  
 11.04 (N) REFRIGERATOR  
 11.05 (N) GAS RANGE  
 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE  
 11.07 (N) DISHWASHER  
 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**  
 22.01 (N) TOILET, SEE GEN NOTE 5/A001.  
 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001  
 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001  
 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001  
 22.05 (N) AREA DRAIN  
 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER  
 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**  
 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.  
 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506  
 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.  
 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD  
 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**  
 32.01 (N) 4" CONC CURB  
 32.02 (N) GRASS GROUND COVER  
 32.03 (N) PLANTING, SHRUBS  
 32.04 (N) PLANTING, TREE  
 32.05 (N) CURB CUT
- 33 UTILITIES**  
 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.  
 33.02 (N) GAS METER  
 33.03 (N) CABLE / TELECOM SERVICE

KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.

CUNNINGHAM RESIDENCE

130 SIERRA POINT ROAD, BRISBANE, CA 94005  
 1 FERN ROAD, KENTFIELD, CA 94904  
 P 415.576.1010  
 AMY@ADAMSON.COM @CLOUD.COM  
 AP# 007-193-050

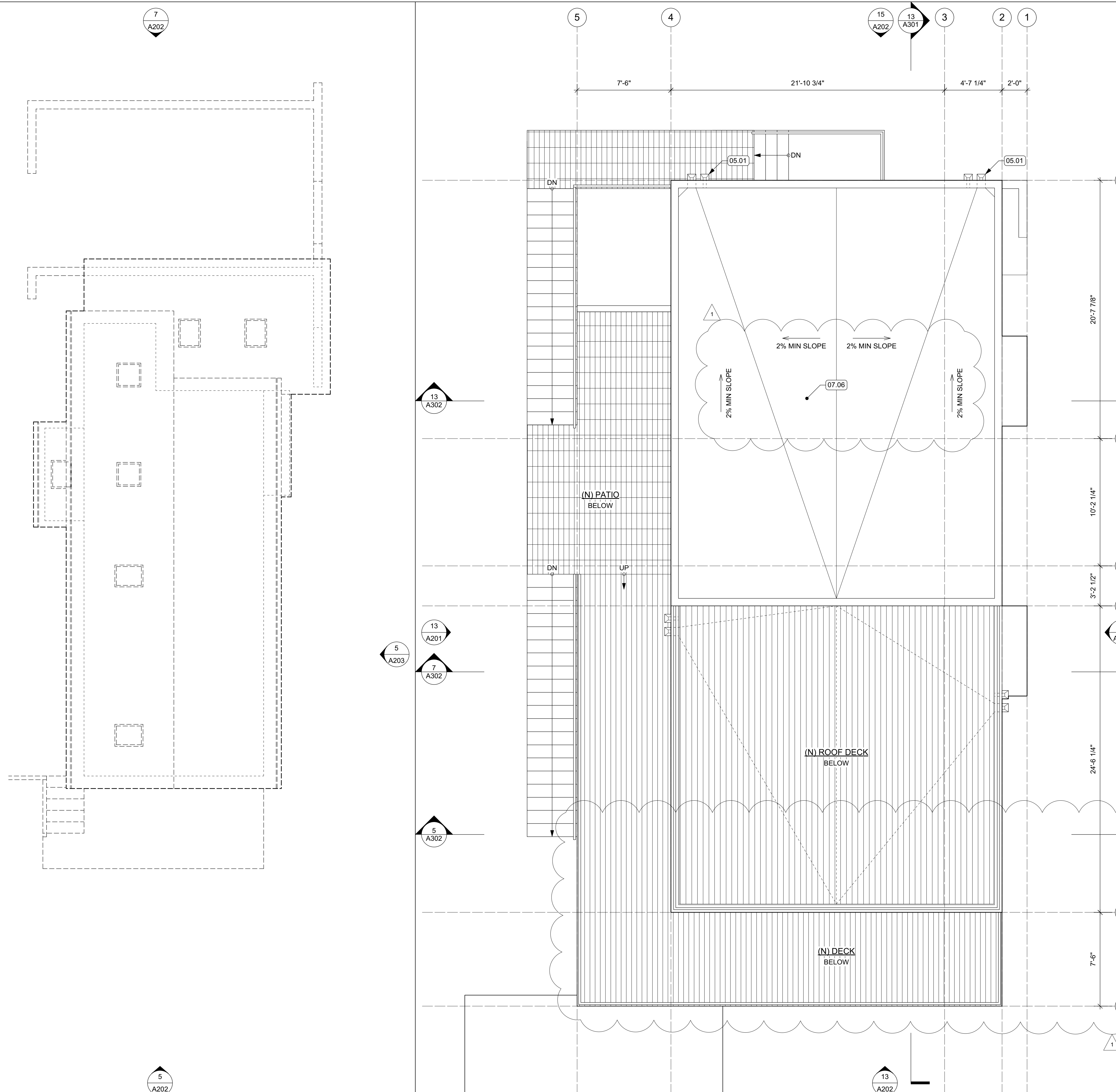


DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE: FLOOR PLANS  
 SCALE: 1/4"=1'-0"  
 DATE: 09.10.19

A104

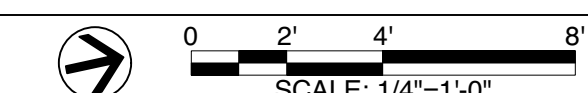




- 02 EXISTING CONDITIONS**
  - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
  - 02.02 (E) DECK & STAIR TO BE REMOVED
  - 02.03 (E) FENCE TO BE REMOVED
  - 02.04 (E) PLANTER TO BE REMOVED
  - 02.05 (E) PLY T-11 SIDING
  - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
  - 03.01 (N) CONC STAIRS ON GRADE
  - 03.02 (N) CONC SLAB ON GRADE
  - 03.03 (N) CONC SLAB UNDER (N) PAVERS
  - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
  - 03.05 (N) CONC RETAINING WALL
  - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
  - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
  - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
  - 05.03 (N) PTD MTL HANDRAIL
  - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
  - 06.01 (N) CUSTOM WD CASEWORK
  - 06.02 (N) ADJ PTD WOOD SHELVING
  - 06.03 (N) WD FLOORING
  - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
  - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
  - 06.06 (N) IPE WD FACIA
  - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
  - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
  - 06.09 (N) WD FENCE
  - 06.10 (N) T&G WD SIDING
  - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
  - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
  - 07.02 (N) T&G WD SIDING
  - 07.03 BATT INSULATION, R21
  - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ., FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 808.5
  - 07.05 (N) STONE TILE
  - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
  - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
  - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
  - 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
  - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
  - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
  - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
  - 08.01 (N) CLEARSTORY WINDOW ABOVE
  - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
  - 09.01 PTD GYP BD
  - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
  - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
  - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
  - 09.05 (N) STONE COUNTERTOP
  - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
  - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
  - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
  - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
  - 11.02 (N) STEAM OVEN
  - 11.03 (N) WARMING DRAWER
  - 11.04 (N) REFRIGERATOR
  - 11.05 (N) GAS RANGE
  - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
  - 11.07 (N) DISHWASHER
  - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
  - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
  - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
  - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
  - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
  - 22.05 (N) AREA DRAIN
  - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
  - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
  - 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
  - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 509
  - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
  - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
  - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
  - 32.01 (N) 4" CONC CURB
  - 32.02 (N) GRASS GROUND COVER
  - 32.03 (N) PLANTING, SHRUBS
  - 32.04 (N) PLANTING, TREE
  - 32.05 (N) CURB CUT
- 33 UTILITIES**
  - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
  - 33.02 (N) GAS METER
  - 33.03 (N) CABLE / TELECOM SERVICE

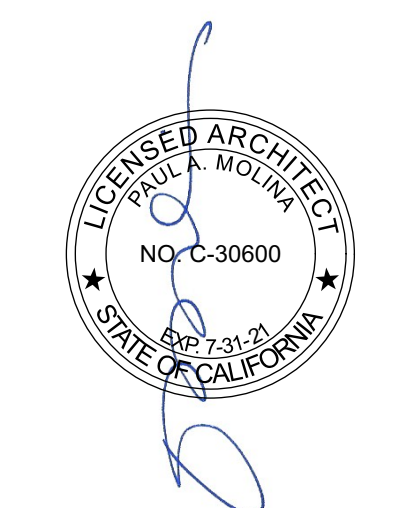
13 EXISTING ROOF PLAN WITH DEMOLITION

15 ROOF PLAN



KEYNOTES

**ADAMSON MOLINA DESIGN ASSOCIATES, INC.**  
 CUNNINGHAM  
 RESIDENCE  
 130 SIERRA POINT ROAD, BRISBANE, CA 94005  
 AP# 007-193-050

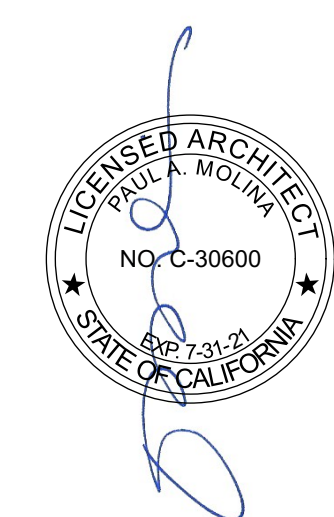


DATE	MARK	DESCRIPTION
09.10.19	1	Plan Check Response
01.10.19		Permit Set

TITLE	FLOOR PLANS
SCALE	1/4"=1'-0"
DATE	09.10.19

**A105**





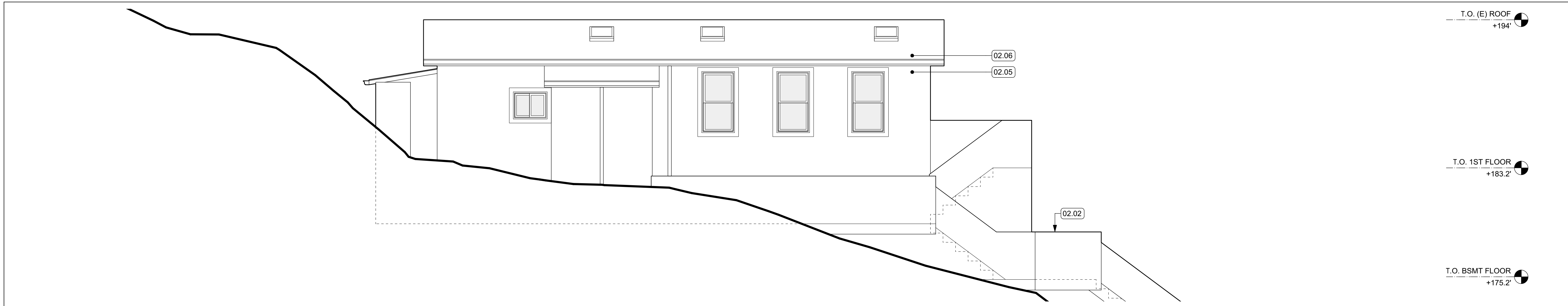
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09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE  
EXTERIOR ELEVATIONS

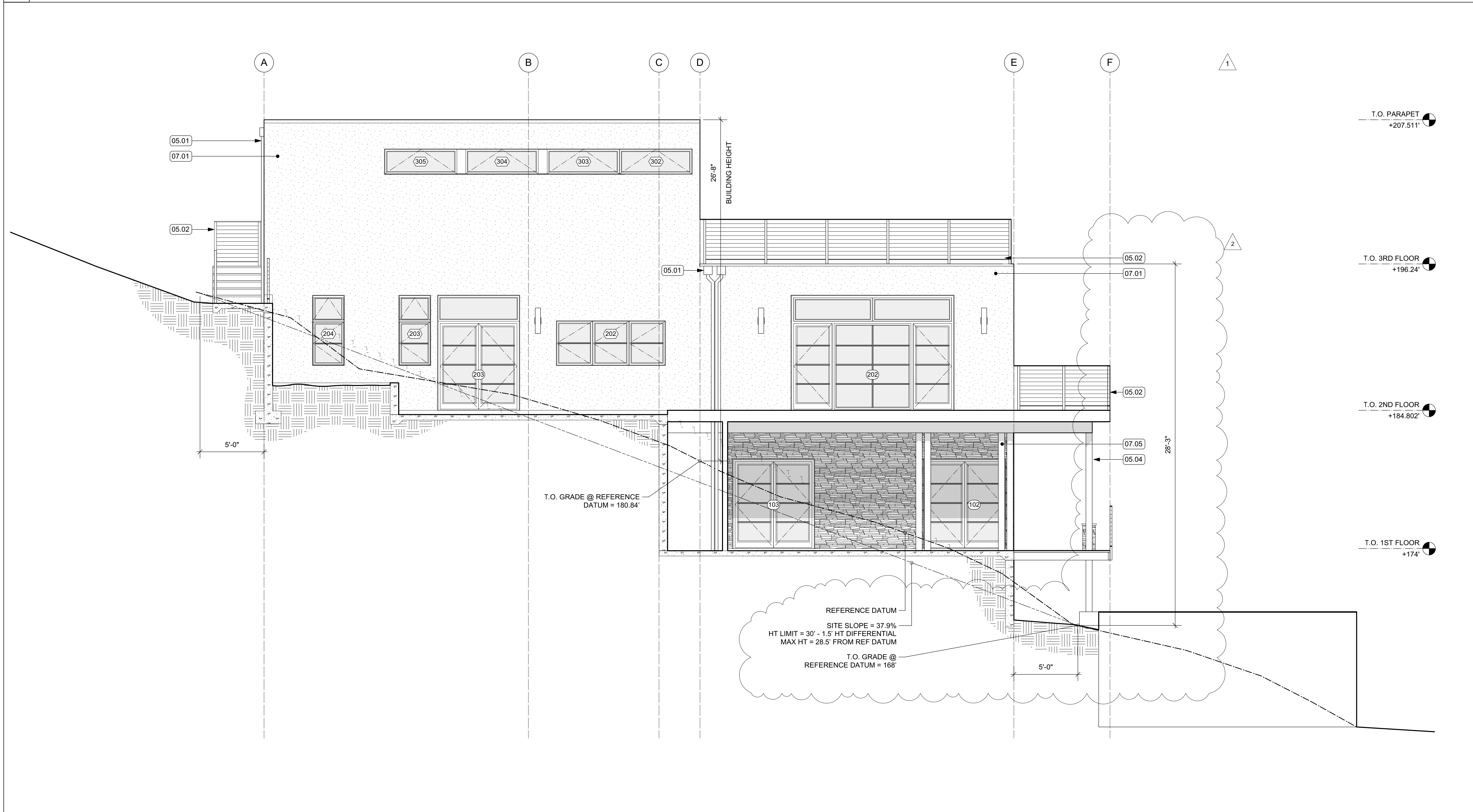
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1/4"=1'-0"

DATE  
09.10.19

A201



5 EXISTING EXTERIOR ELEVATION - SOUTH



13 EXTERIOR ELEVATION - SOUTH

- 02 EXISTING CONDITIONS**
  - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
  - 02.02 (E) DECK & STAIR TO BE REMOVED
  - 02.03 (E) FENCE TO BE REMOVED
  - 02.04 (E) PLANTER TO BE REMOVED
  - 02.05 (E) PLY T-11 SIDING
  - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
  - 03.01 (N) CONC STAIRS ON GRADE
  - 03.02 (N) CONC SLAB ON GRADE
  - 03.03 (N) CONC SLAB UNDER (N) PAVERS
  - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
  - 03.05 (N) CONC RETAINING WALL
  - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
  - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
  - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
  - 05.03 (N) PTD MTL HANDRAIL
  - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
  - 06.01 (N) CUSTOM WD CASEWORK
  - 06.02 (N) ADJ PTD WOOD SHELVING
  - 06.03 (N) WD FLOORING
  - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
  - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
  - 06.06 (N) IPE WD FACIA
  - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
  - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
  - 06.09 (N) WD FENCE
  - 06.10 (N) T&G WD SIDING
  - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
  - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
  - 07.02 (N) T&G WD SIDING
  - 07.03 BATT INSULATION, R21
  - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
  - 07.05 (N) STONE TILE
  - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
  - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
  - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
  - 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
  - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
  - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
  - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
  - 08.01 (N) CLEARSTORY WINDOW ABOVE
  - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
  - 09.01 PTD GYP BD
  - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
  - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
  - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
  - 09.05 (N) STONE COUNTERTOP
  - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
  - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
  - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
  - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
  - 11.02 (N) STEAM OVEN
  - 11.03 (N) WARMING DRAWER
  - 11.04 (N) REFRIGERATOR
  - 11.05 (N) GAS RANGE
  - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
  - 11.07 (N) DISHWASHER
  - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
  - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
  - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
  - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
  - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
  - 22.05 (N) AREA DRAIN
  - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
  - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
  - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE. TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
  - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 509
  - 23.03 (N) DIRECT VENT GAS FIREPLACE. VENT TO ROOF.
  - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
  - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
  - 32.01 (N) 4" CONC CURB
  - 32.02 (N) GRASS GROUND COVER
  - 32.03 (N) PLANTING, SHRUBS
  - 32.04 (N) PLANTING, TREE
  - 32.05 (N) CURB CUT
- 33 UTILITIES**
  - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
  - 33.02 (N) GAS METER
  - 33.03 (N) CABLE / TELECOM SERVICE

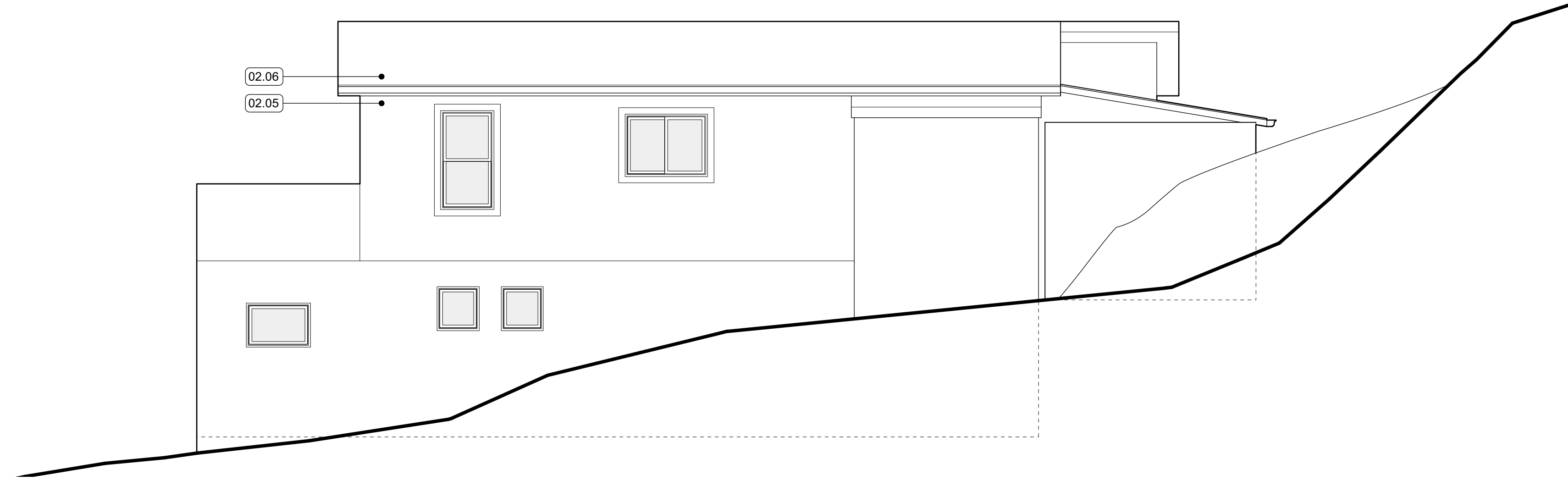
KEYNOTES





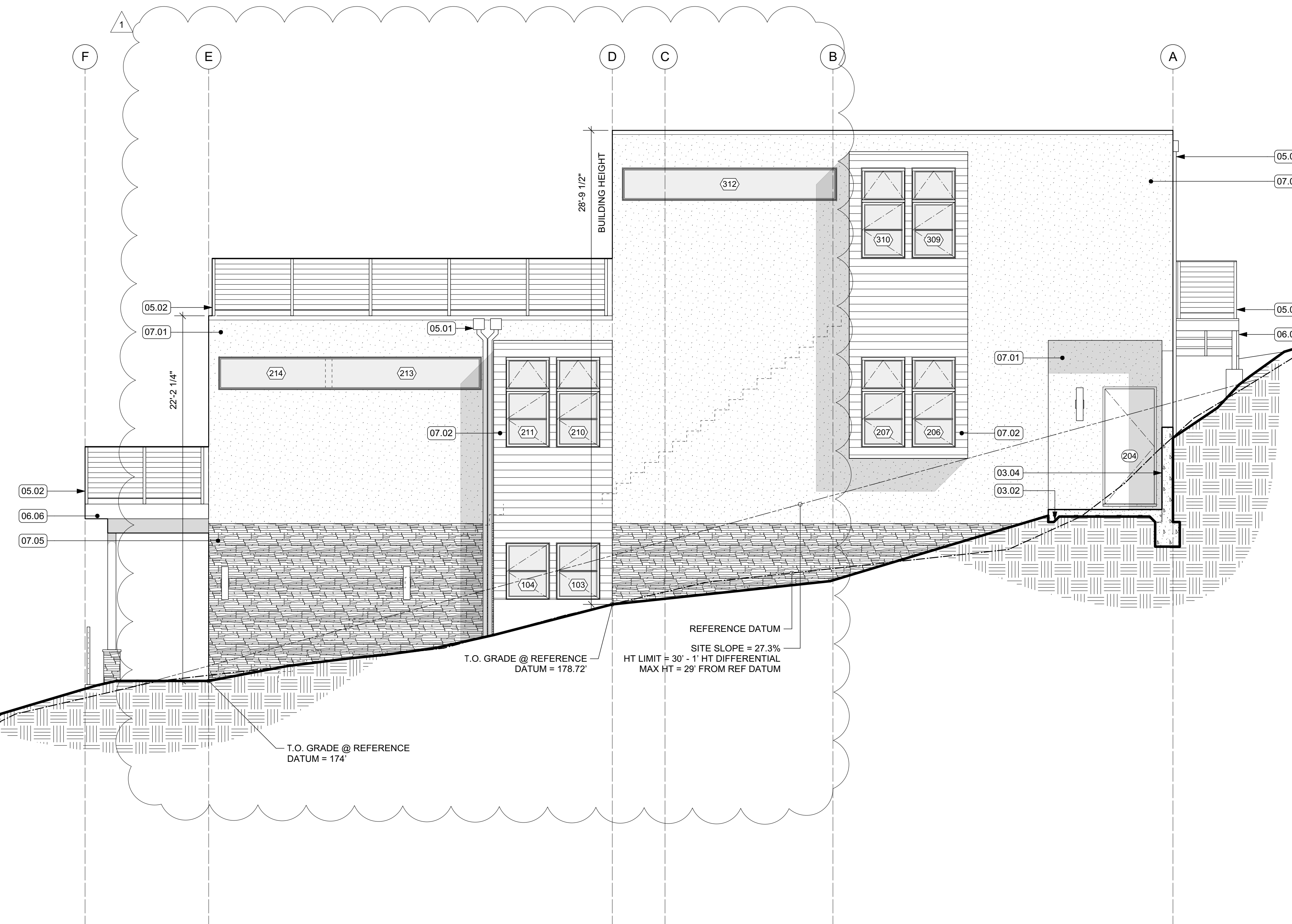


T.O. (E) ROOF +194'  
T.O. 1ST FLOOR +183.2'  
T.O. BSMT FLOOR +175.2'



5 EXISTING EXTERIOR ELEVATION - NORTH

T.O. PARAPET +207.511'  
T.O. 3RD FLOOR +196.24'  
T.O. 2ND FLOOR +184.802'  
T.O. 1ST FLOOR +174'

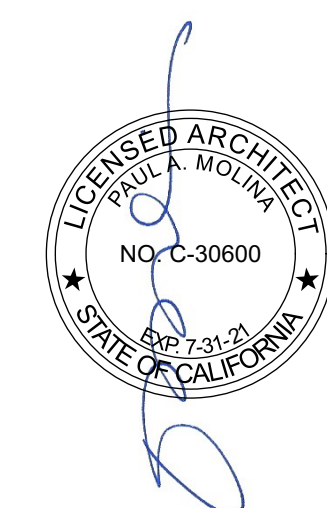


13 EXTERIOR ELEVATION - NORTH

- 02 EXISTING CONDITIONS**
  - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
  - 02.02 (E) DECK & STAIR TO BE REMOVED
  - 02.03 (E) FENCE TO BE REMOVED
  - 02.04 (E) PLANTER TO BE REMOVED
  - 02.05 (E) PLY T-11 SIDING
  - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
  - 03.01 (N) CONC STAIRS ON GRADE
  - 03.02 (N) CONC SLAB ON GRADE
  - 03.03 (N) CONC SLAB UNDER (N) PAVERS
  - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
  - 03.05 (N) CONC RETAINING WALL
  - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
  - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
  - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
  - 05.03 (N) PTD MTL HANDRAIL
  - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
  - 06.01 (N) CUSTOM WD CASEWORK
  - 06.02 (N) ADJ PTD WOOD SHELVING
  - 06.03 (N) WD FLOORING
  - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
  - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
  - 06.06 (N) IPE WD FACIA
  - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
  - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/P.T. WD STRUCTURE
  - 06.09 (N) WD FENCE
  - 06.10 (N) T&G WD SIDING
  - 06.11 (N) IPE WD DECKING O/P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
  - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
  - 07.02 (N) T&G WD SIDING
  - 07.03 BATT INSULATION, R21
  - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ, FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
  - 07.05 (N) STONE TILE
  - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
  - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
  - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
  - 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
  - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
  - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
  - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
  - 08.01 (N) CLEARSTORY WINDOW ABOVE
  - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
  - 09.01 PTD GYP BD
  - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
  - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
  - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
  - 09.05 (N) STONE COUNTERTOP
  - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
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KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.



1 FERN ROAD  
KENTFIELD, CA 94904  
P 415.576.1010  
AMY@ADAMSON.COM  
AP# 007-193-050

TITLE EXTERIOR ELEVATIONS  
SCALE 1/4"=1'-0"  
DATE 09.10.19

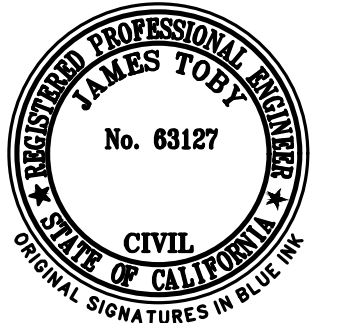
A203



# CUNNINGHAM RESIDENCE

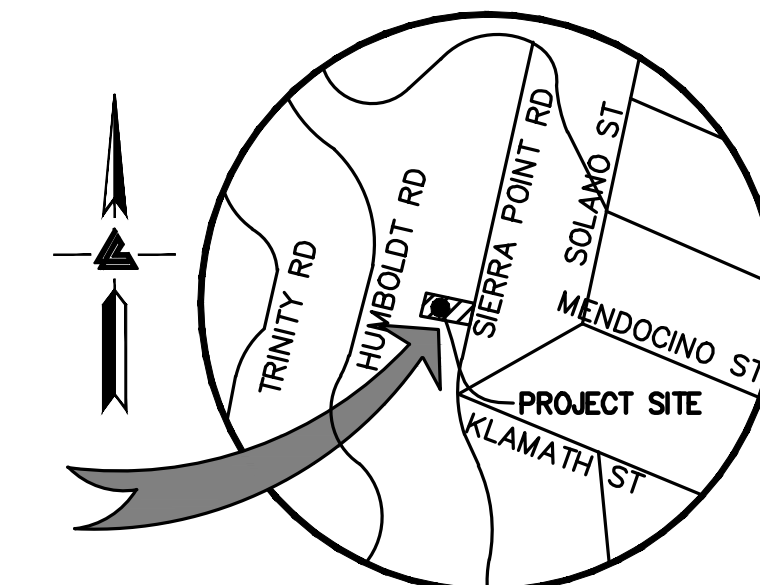
## 130 SIERRA POINT RD

### BRISBANE, CALIFORNIA

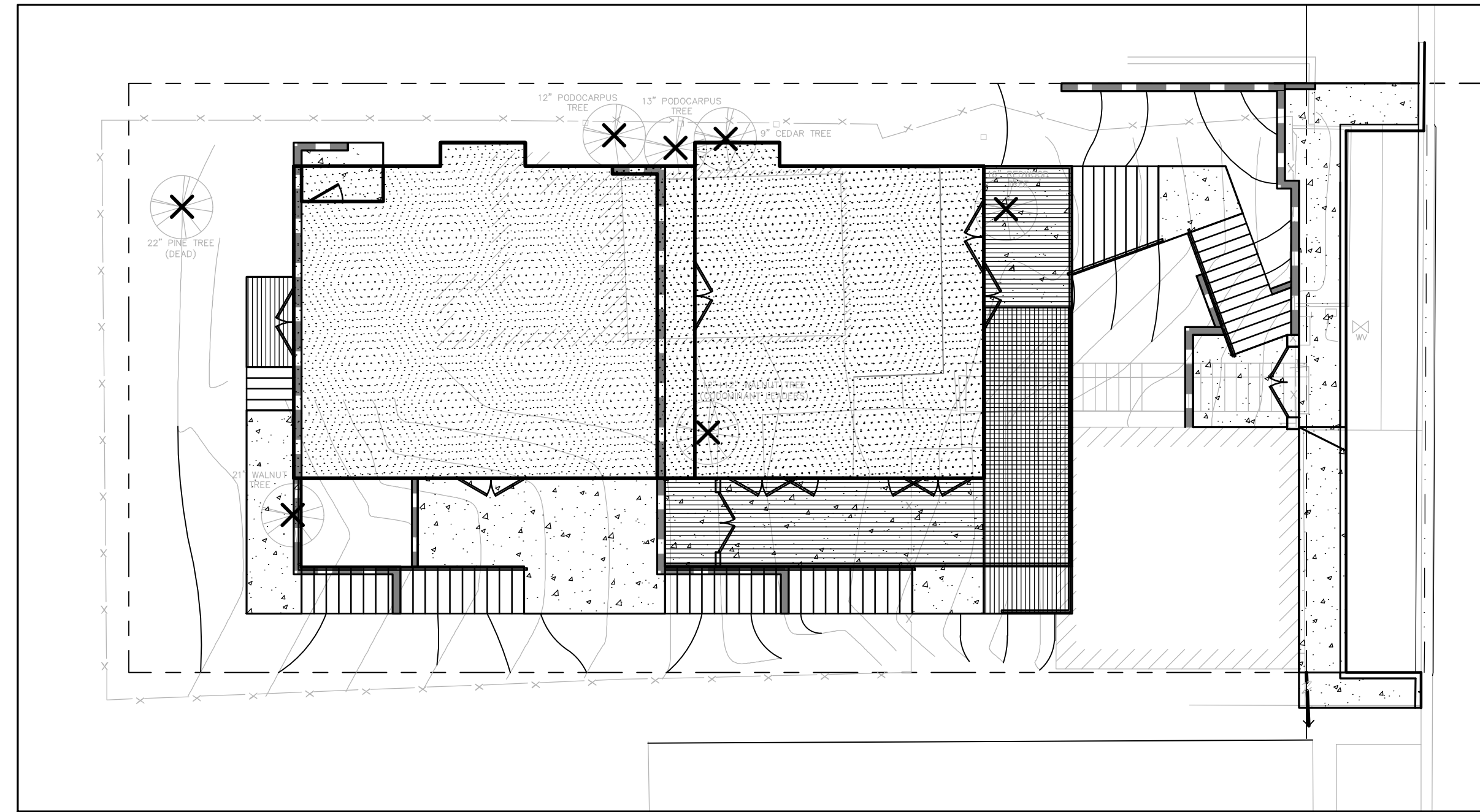


#### LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED



VICINITY MAP  
NTS



KEY MAP  
1" = 10'

#### OWNER'S INFORMATION

OWNER: MICHAEL & TRYSTANNE CUNNINGHAM  
130 SIERRA POINT RD  
BRISBANE, CA

APN: 007-193-050

#### REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY SUMMIT ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 130 SIERRA POINT ROAD BRISBANE, CA
  - SITE PLAN BY ADAMSON MOLINA DESIGN ASSOCIATES, INC. ENTITLED: "CUNNINGHAM RESIDENCE" 130 SIERRA POINT ROAD BRISBANE, CA
  - SOIL REPORT BY SUMMIT ENGINEERING ENTITLED: "GEOTECHNICAL REPORT" 130 SIERRA POINT ROAD BRISBANE, CA DATE: 02-18-18

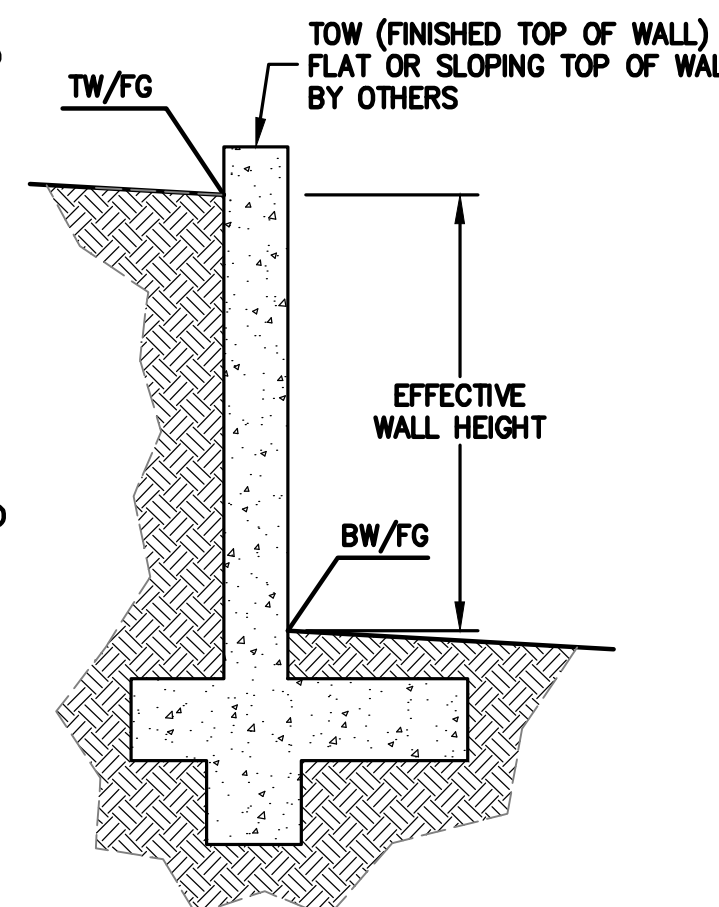
THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

#### ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
G	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUCT	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TYP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W/	WITH
		W.WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

#### RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



#### ESTIMATED EARTHWORK QUANTITIES

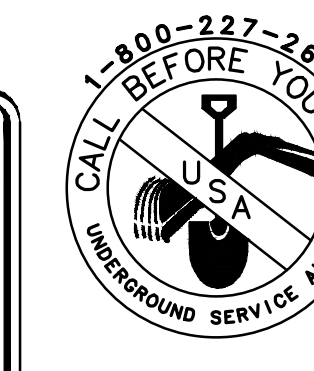
CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	130	90	220
FILL	50	20	70
EXPORT / IMPORT			150

#### NOTE:

GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

\* BUILDING PAD NOTE:  
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:  
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



#### SHEET INDEX

C-1.0	TITLE SHEET
C-2.0	OVERALL SITE PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-3.0	UTILITY PLAN
C-4.0	DETAILS
C-4.1	DETAILS
C-5.0	GRADING SPECIFICATIONS
ER-1	EROSION CONTROL
ER-2	EROSION CONTROL DETAILS
BMP	BEST MANAGEMENT PRACTICE

LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS  
SACRAMENTO REGION  
BAY AREA REGION  
SACRAMENTO, CALIFORNIA 95811  
ROSELLE, CALIFORNIA 95821  
HAYWARD, CALIFORNIA 94545  
(P) (510) 887-4086 (F) (510) 887-3019  
(P) (916) 966-1338 (F) (916) 977-7363  
WWW.LEABRAZE.COM

CUNNINGHAM RESIDENCE  
130 SIERRA POINT RD  
BRISBANE, CALIFORNIA

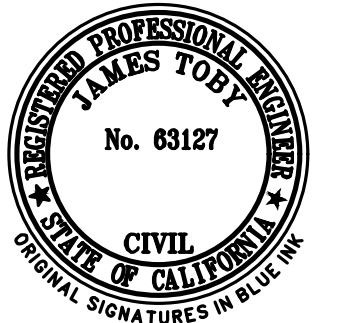
APN: 007-193-050  
SAN MATEO COUNTY

TITLE SHEET

PLAN CHECK	MG
8-05-20	
REVISIONS	BY

JOB NO: 2180451  
DATE: 01-07-19  
SCALE: AS NOTED  
DESIGN BY: MG  
DRAWN BY: MG  
SHEET NO:

C-1.0  
1 OF 9 SHEETS



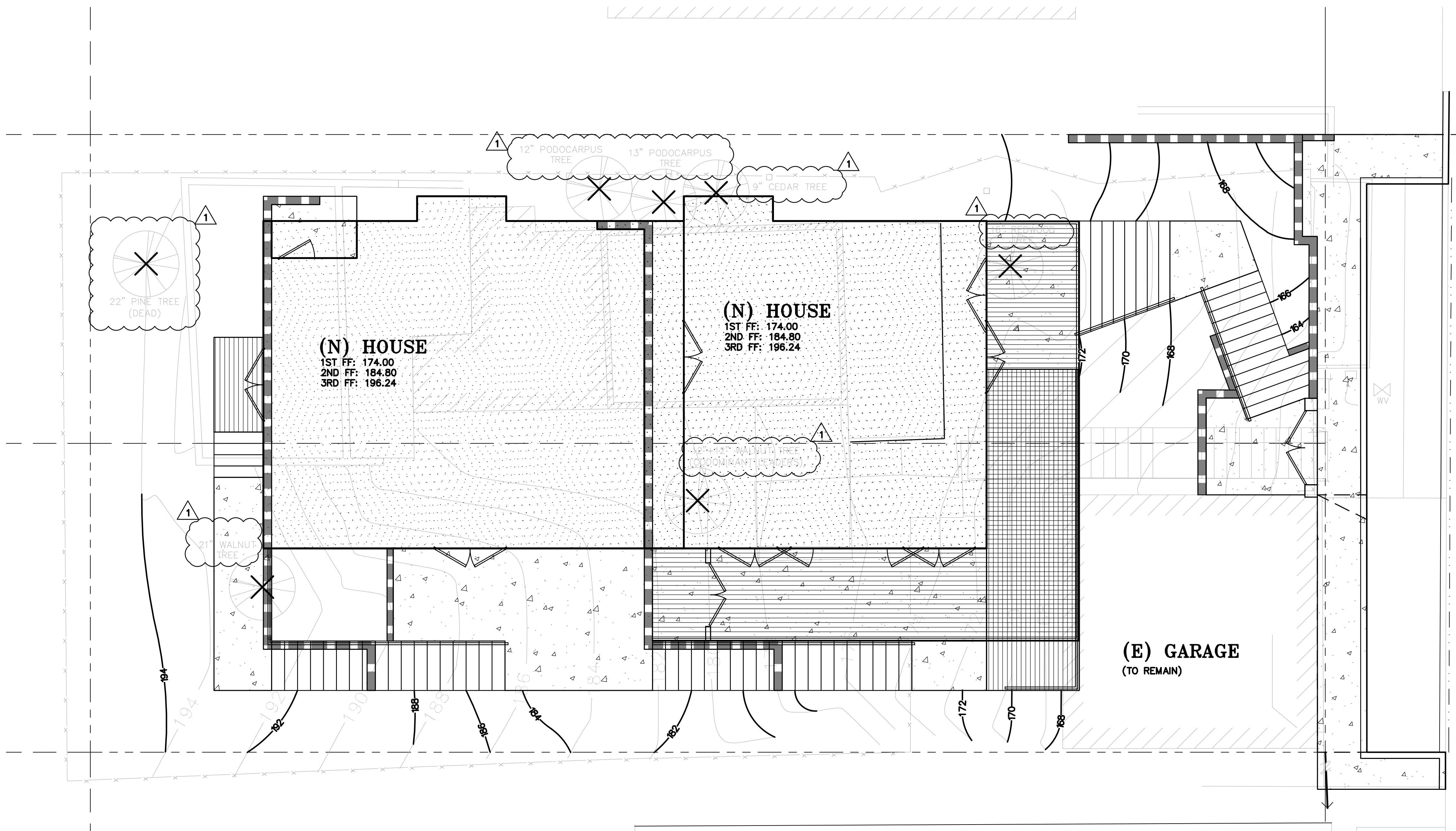
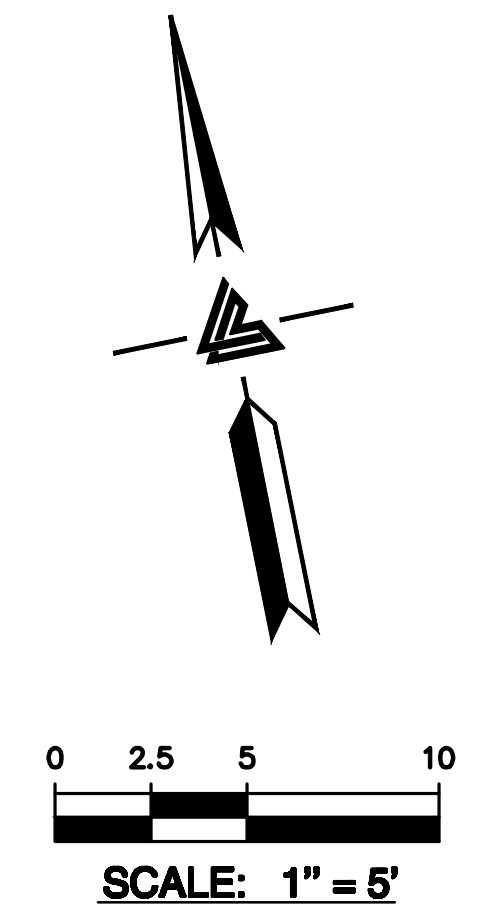
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SACRAMENTO REGION  
 3000 JACOBSON WAY, WEST  
 SACRAMENTO, CALIFORNIA 95661  
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 WWW.LEABRAZE.COM

**CUNNINGHAM RESIDENCE**  
**130 SIERRA POINT RD**  
**BRISBANE, CALIFORNIA**  
 SAN MATEO COUNTY  
 APN: 007-193-050

**OVERALL SITE PLAN**

1	PLAN CHECK	MG
	8-05-20	
	REVISIONS	BY
	JOB NO:	2180451
	DATE:	01-07-19
	SCALE:	AS NOTED
	DESIGN BY:	MG
	DRAWN BY:	MG
	SHEET NO:	

**C-2.0**  
 2 OF 9 SHEETS



**NOTE:**  
**FOR CONSTRUCTION STAKING**  
**SCHEDULING OR QUOTATIONS**  
**PLEASE CONTACT ALEX ABAYA**  
**AT LEA & BRAZE ENGINEERING**  
**(510)887-4086 EXT 116.**  
**aabaya@leabraze.com**

**\* BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS  
 REQUIRED, REFER TO  
 STRUCTURAL PLANS  
 FOR SLAB SECTION OR  
 CRAWL SPACE DEPTH  
 TO ESTABLISH PAD  
 LEVEL.

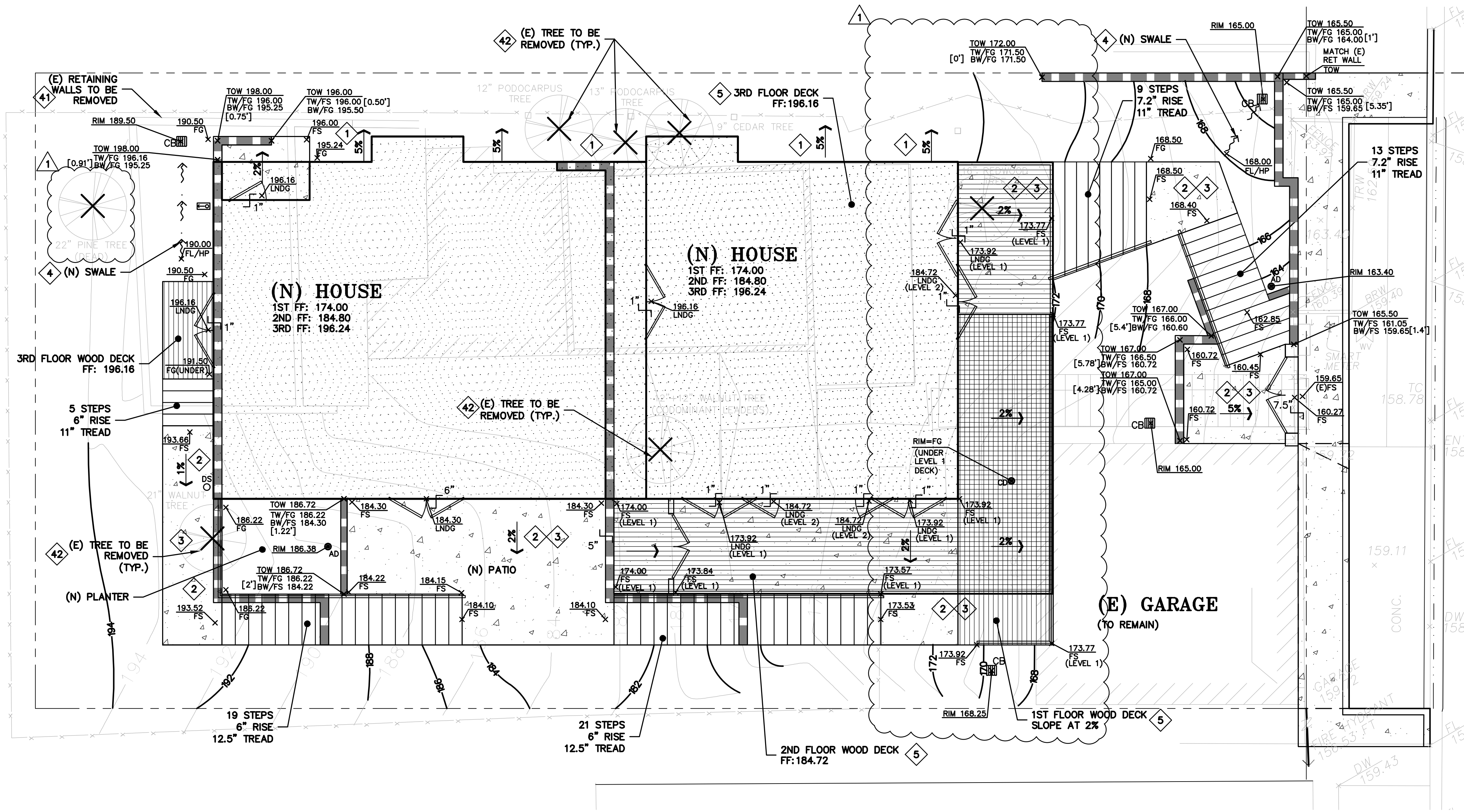




**LEA & BRAZE ENGINEERING, INC.**  
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 BAY AREA REGION  
 1000 JUDAS HWY WEST  
 HAYWARD, CALIFORNIA 94545  
 (P) (916) 887-4086 (F) (916) 887-1338  
 (F) (916) 887-3019 WWW.LEABRAZE.COM

**CUNNINGHAM RESIDENCE**  
**130 SIERRA POINT RD**  
**BRISBANE, CALIFORNIA**  
 APN: 007-193-050  
 SAN MATEO COUNTY

**GRADING & DRAINAGE PLAN**

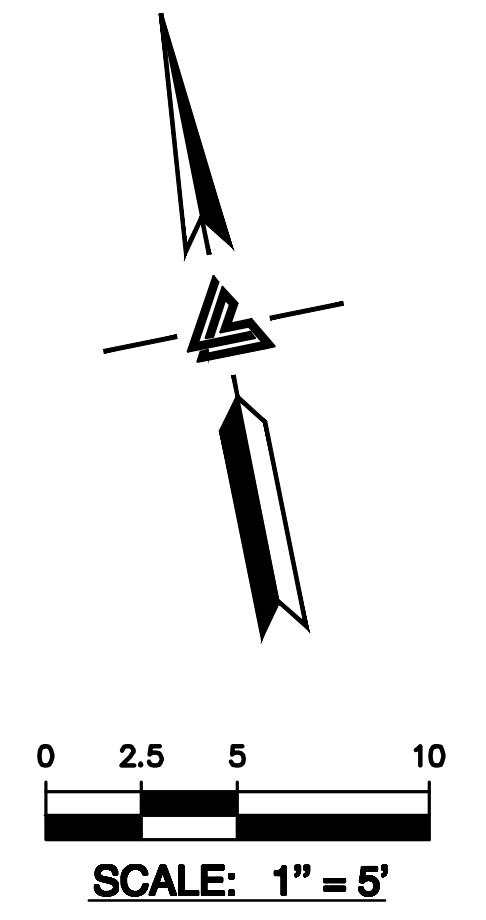


- FLATWORK KEYNOTES 1 TO 5**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
  - 2 PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
  - 3 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 1 ON SHEET C-4.0.
  - 4 CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2 ON SHEET C-4.0.
  - 5 (N) WOOD DECK BY OTHERS. SEE ARCHITECTURAL PLANS FOR MORE DETAIL.

- DEMOLITION KEYNOTES 41 TO 43**
- 41 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
  - 42 REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
  - 43 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

**\* BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

**NOTE:**  
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



PLAN CHECK	MG
REVISIONS	BY
JOB NO:	2180451
DATE:	01-07-19
SCALE:	AS NOTED
DESIGN BY:	MG
DRAWN BY:	MG
SHEET NO:	

**C-2.1**  
 3 OF 9 SHEETS



**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

**EROSION CONTROL NOTES:**

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

**EROSION CONTROL NOTES CONTINUED:**

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

**EROSION CONTROL MEASURES:**

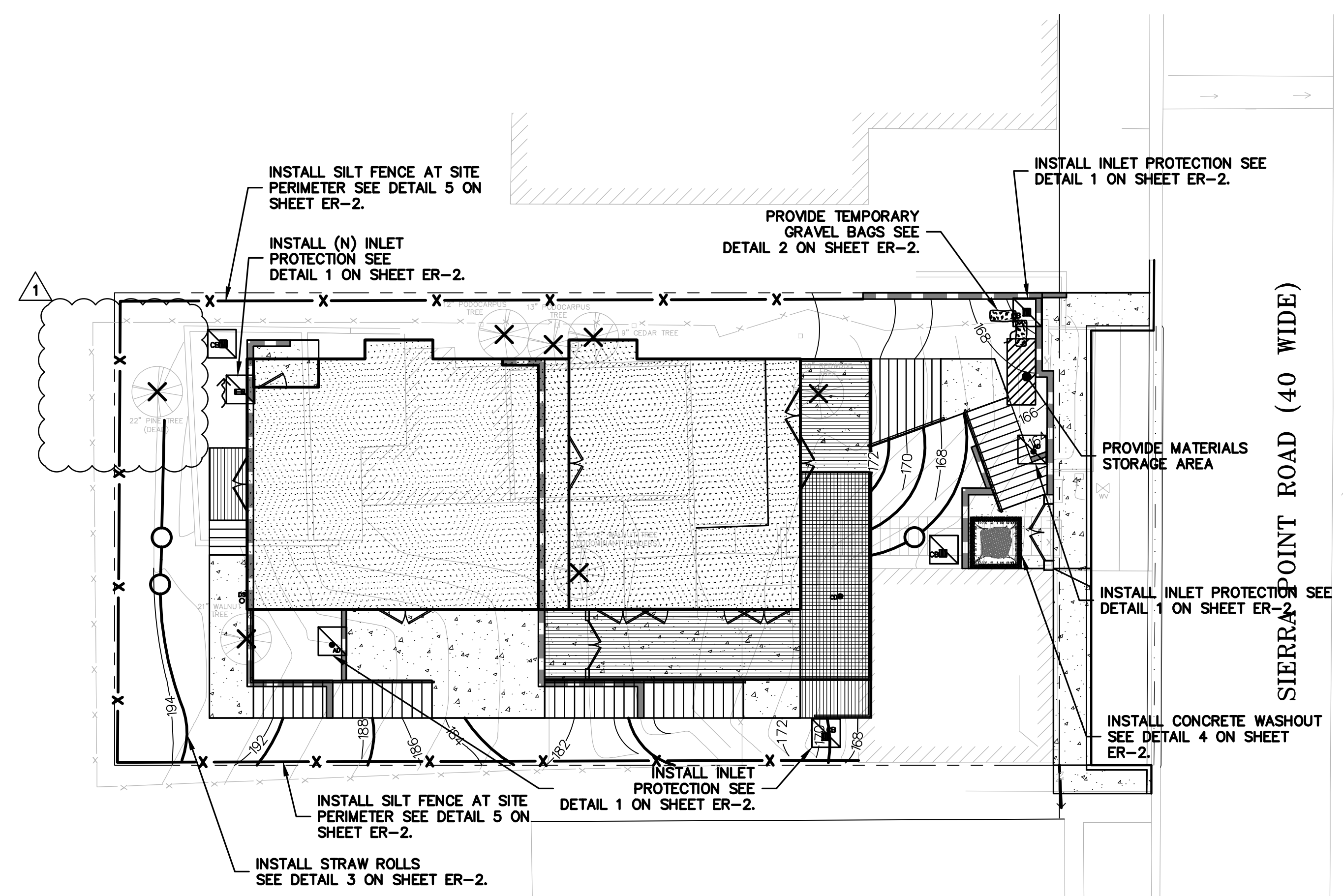
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND EDGES SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

**REFERENCES:**

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

**PERIODIC MAINTENANCE:**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



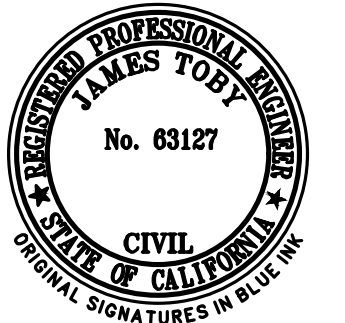
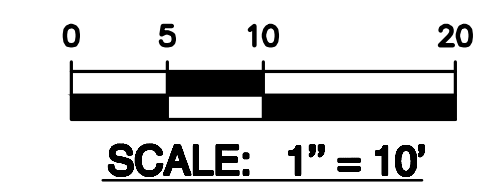
**EROSION CONTROL LEGEND**

	GRAVEL BAG
	SEDIMENTATION BASIN
	INLET PROTECTION
	STRAW ROLL
	SILT FENCE
	CONCRETE WASHOUT
	CONSTRUCTION ENTRANCE
	TREE PROTECTION
	EROSION CONTROL BLANKET / MATTING

**NOTE:**  
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

**BRISBANE NOTES:**

- STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15 OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, TO PREVENT THEIR CONTACT WITH STORM WATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SACRAMENTO REGION  
 1000 J STREET, SUITE # 300  
 ROSSELVILLE, CA 95661  
 HAYWARD, CALIFORNIA 94545  
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 WWW.LEABRAZE.COM

**CUNNINGHAM RESIDENCE**  
**130 SIERRA POINT RD**  
**BRISBANE, CALIFORNIA**  
 SAN MATEO COUNTY  
 APN: 007-193-050

**EROSION CONTROL PLAN**

PLAN CHECK	MG
REVISIONS	BY
JOB NO:	2180451
DATE:	01-07-19
SCALE:	AS NOTED
DESIGN BY:	MG
DRAWN BY:	MG
SHEET NO:	

# STREET IMPROVEMENT PLAN 130 SIERRA POINT RD BRISBANE, CALIFORNIA

### LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	BOUNDARY
— — — — —	— — — — —	PROPERTY LINE
— — — — —	— — — — —	RETAINING WALL
— — — — —	— — — — —	LANDSCAPE RETAINING WALL
— — — — —	— — — — —	STORM DRAIN LINE
— — — — —	— — — — —	SANITARY SEWER LINE
— — — — —	— — — — —	SET BACK LINE
○ SAND TRAP	○ SAND TRAP	SAND TRAP
○ SSMH	○ SSMH	SANITARY SEWER MANHOLE
AV □	AV □	AIR VENT
BP □	BP □	BACK FLOW PREVENTER
○ 222.57	○ 222.57	SPOT ELEVATION
○ 200	○ 200	BENCHMARK
○ 200	○ 200	CONTOURS

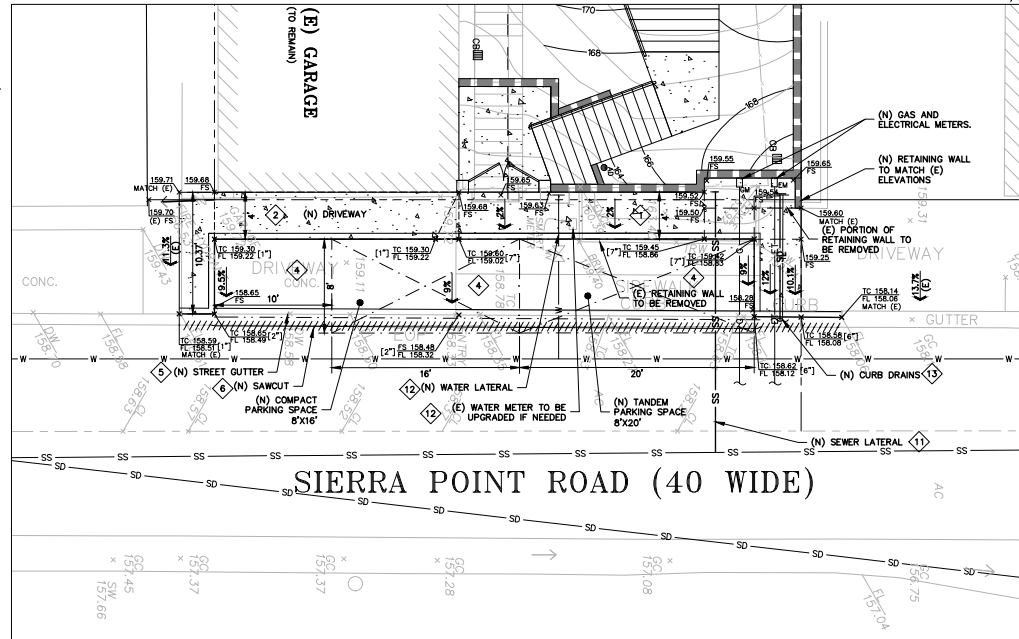
### ABBREVIATIONS

AC	ASPHALT CONCRETE	MON.	MONUMENT																																																								
AD	AREA DRAIN	(N)	NEW																																																								
BM	BENCHMARK	NTS	NOT TO SCALE																																																								
BW/FG	BOTTOM OF WALL/FINISH	(PA)	PLANTING AREA																																																								
CS	CATCH BASIN	PVC	POLYVINYL CHLORIDE																																																								
C & C	CURB AND GUTTER	RCP	REINFORCED CONCRETE PIPE </tr <tr> <td>V</td> <td>CENTER LINE</td> <td>RM</td> <td>RIM ELEVATION</td> </tr> <tr> <td>COTC</td> <td>CLEANOUT TO GRADE</td> <td>SD</td> <td>STORM DRAIN</td> </tr> <tr> <td>CONC</td> <td>CONCRETE</td> <td>SDMH</td> <td>STORM DRAIN MANHOLE</td> </tr> <tr> <td>EG</td> <td>EXISTING GRADE</td> <td>SS</td> <td>SANITARY SEWER</td> </tr> <tr> <td>(E)</td> <td>EXISTING</td> <td>SSCO</td> <td>SANITARY SEWER CLEANOUT</td> </tr> <tr> <td>FF</td> <td>FINISHED FLOOR</td> <td>SSMH</td> <td>SANITARY SEWER MANHOLE</td> </tr> <tr> <td>FG</td> <td>FINISHED GRADE</td> <td>STRUCT</td> <td>STRUCTURAL</td> </tr> <tr> <td>FL</td> <td>FLOW LINE</td> <td>TC</td> <td>TOP OF CURB</td> </tr> <tr> <td>FS</td> <td>FINISHED SURFACE</td> <td>TW/FG</td> <td>TOP OF WALL/FINISH GRADE</td> </tr> <tr> <td>GB</td> <td>GRADE BREAK</td> <td>TV</td> <td>TYPICAL</td> </tr> <tr> <td>INV</td> <td>INVERT ELEVATION</td> <td>VCP</td> <td>VITRIFIED CLAY PIPE</td> </tr> <tr> <td>LANDG</td> <td>LANDING</td> <td>W/</td> <td>WITH</td> </tr> <tr> <td>MH</td> <td>MANHOLE</td> <td></td> <td></td> </tr> <tr> <td>MIN</td> <td>MINIMUM</td> <td></td> <td></td> </tr>	V	CENTER LINE	RM	RIM ELEVATION	COTC	CLEANOUT TO GRADE	SD	STORM DRAIN	CONC	CONCRETE	SDMH	STORM DRAIN MANHOLE	EG	EXISTING GRADE	SS	SANITARY SEWER	(E)	EXISTING	SSCO	SANITARY SEWER CLEANOUT	FF	FINISHED FLOOR	SSMH	SANITARY SEWER MANHOLE	FG	FINISHED GRADE	STRUCT	STRUCTURAL	FL	FLOW LINE	TC	TOP OF CURB	FS	FINISHED SURFACE	TW/FG	TOP OF WALL/FINISH GRADE	GB	GRADE BREAK	TV	TYPICAL	INV	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE	LANDG	LANDING	W/	WITH	MH	MANHOLE			MIN	MINIMUM		
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- FLATWORK** KEYNOTES 1 to 6
- 1 PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
  - 2 (N) CONCRETE DRIVEWAY PER CITY OF BRISBANE STANDARDS. SEE DETAIL C-1 ON SHEET SI-2.
  - 3 (N) CONCRETE SIDEWALK PER CITY STANDARDS. SEE DETAIL C-1 ON SHEET SI-2 AND DETAIL 1 ON SHEET SI-3.
  - 4 (N) AC PAVING. SEE DETAIL 2 ON SHEET SI-3.
  - 5 (N) STREET GUTTER PER CALTRANS STANDARDS. SEE DETAIL 3 ON SHEET SI-3.
  - 6 GRIND AC TO TIE (N) CONCRETE INTO (N) AC PAVING. SEE DETAIL 4 ON SHEET SI-3.

- UTILITIES** KEYNOTES 1 to 14
- 1 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS. SEE DETAIL S-1 ON SHEET SI-2.
  - 2 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER. SEE DETAILS W-3 AND W-4 ON SHEET SI-2.
  - 3 (N) CURB DRAINS FLOWING ONTO GUTTER. SEE DETAIL CD-1 ON SHEET SI-2.
  - 4 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

- DEMOLITION** KEYNOTES 1 to 1
- 1 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.



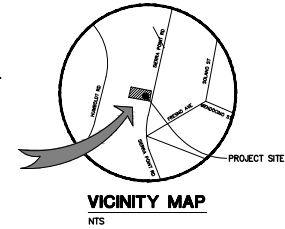
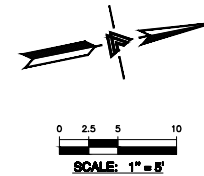
KEY MAP  
1" = 5'

**DRAIN NOTE:**  
MARK ALL ON-SITE DRAIN INLETS/CATCH BASINS WITH APPROVAL "DO NOT DUMP—DRAINS TO BAY" INLET MARKER.

**WATER METER NOTE:**  
IF EXISTING WATER METER REMAINS, RELOCATE TO PROPERTY LINE AS DIRECTED BY PUBLIC WORKS INSPECTOR.

**WATER SERVICE NOTE:**  
OBTAIN CITY OF BRISBANE ENCROACHMENT PERMIT AND VERIFY IN FIELD THAT THE WATER SERVICE COMPLIES WITH CITY STANDARD DETAIL W-3.

**SEWER CLEANOUT NOTE:**  
OBTAIN CITY OF BRISBANE ENCROACHMENT PERMIT AND VERIFY IN FIELD THE LOCATION OF THE CLEANOUT REQUIRED AT THE PROPERTY LINE. INSTALL NEW CLEANOUT AS DIRECTED IF NOT LOCATED.



### OWNER'S INFORMATION

OWNER: MICHAEL & TRYSTANNE CUNNINGHAM  
130 SIERRA POINT RD  
BRISBANE, CA

APN: 007-193-050

### REFERENCES

- THIS STREET IMPROVEMENT PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY SUMMIT ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 130 SIERRA POINT ROAD BRISBANE, CA
  2. SITE PLAN BY ADAMSON MOLINA DESIGN ASSOCIATES, INC. ENTITLED: "CUNNINGHAM RESIDENCE" 130 SIERRA POINT ROAD BRISBANE, CA
  3. SOIL REPORT BY SUMMIT ENGINEERING ENTITLED: "GEOTECHNICAL REPORT" 130 SIERRA POINT ROAD BRISBANE, CA
- DATE: 02-18-18

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.



### SHEET INDEX

SI-1	STREET IMPROVEMENT PLAN
SI-2	DETAILS
SI-3	DETAILS
SI-4	EROSION CONTROL PLAN
SI-5	EROSION CONTROL DETAILS



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
3007 DUNDAS BLVD., SUITE 300  
ROSBARILE, CA 95661  
HAYWARD, CALIFORNIA 94545  
(916) 797-7363  
(916) 797-7363  
WWW.LEABRAZE.COM

**CUNNINGHAM RESIDENCE  
130 SIERRA POINT RD  
BRISBANE, CALIFORNIA**  
APN: 007-193-050  
SAN MATEO COUNTY

STREET IMPROVEMENT PLAN

NO.	DATE	BY
1	02-18-18	MG
2		
3		
4		
5		

**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH AS MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

**EROSION CONTROL NOTES:**

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF FOREIGNS SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT ("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAR OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARP-AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

**EROSION CONTROL NOTES CONTINUED:**

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPE GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

**EROSION CONTROL MEASURES:**

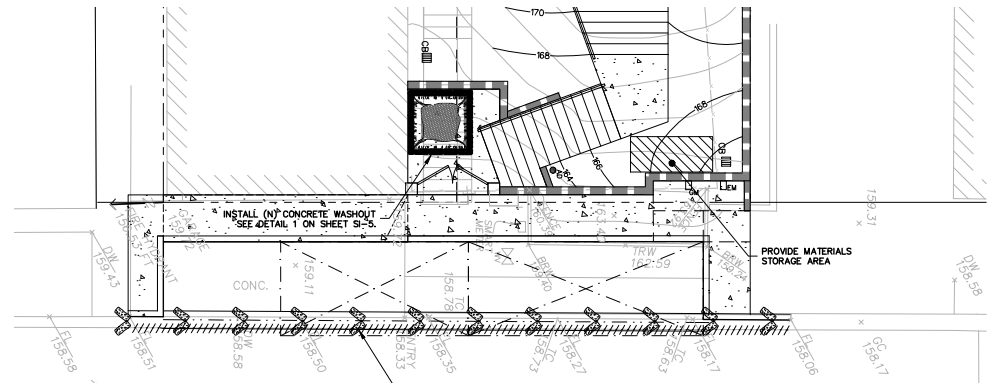
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER EXISTING METHODS SHALL BE EMPLOYED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 207 "EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

**REFERENCES:**

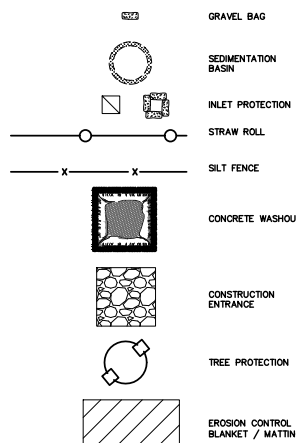
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL.
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

**PERIODIC MAINTENANCE:**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



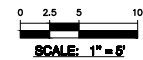
**EROSION CONTROL LEGEND**



NOTE:  
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

**BRISBANE NOTES:**

- STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15 OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, TO PREVENT THEIR CONTACT WITH STORM WATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.



**LEA & BRAZE ENGINEERING, INC.**  
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 WWW.LEABRAZE.COM

**CUNNINGHAM RESIDENCE**  
 130 SIERRA POINT RD  
 BRISBANE, CALIFORNIA

**EROSION CONTROL PLAN**

PLAN CHECK	MG
REVISIONS	BY
JOB NO:	2180451
DATE:	01-07-19
SCALE:	AS NOTED
DESIGN BY:	MG
DRAWN BY:	MG
SHEET NO:	

### SUPPORTING STATEMENTS

#### Findings Required for Approval of All Use Permits

##### **Brisbane Municipal Code §17.40.060**

In order to approve any use permit application, the Planning Commission must affirmatively make the findings of approval in BMC Chapter 17.40, which are reproduced below. Supplemental findings may also be required depending on your specific project and the applicable zoning district and are listed in this attachment.

Please respond to each required finding as it relates specifically to your proposal and include a reference to the applicable plan sheet in the development plans. Attach additional pages if necessary, or provide written responses on a separate document.

1. How has the project been designed and operated in order to be compatible with the nature and condition of all adjacent uses and structures, and with general and specific plans for the area in question?

<u>The residence in question has been designed to be in full compliance with</u>	Plan Sheet Page(s)
<u>all relevant local planning codes with regard to area, mass, and general site improvements. We are only applying for an acceptance of a modified parking arrangement that impacts only the street front directly in front of the applicant's property.</u>	A101 &A102

2. How will the propose use be designed and operated in order to not be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood?

<u>The change in question will allow for new off street parking where none</u>	Plan Sheet Page(s)
<u>before existed. This will not impact existing street side parking in the neighborhood.</u>	A101 &A102

3. How will the proposed use be designed and operated in order to not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city?

<u>The additional parking for this site will add street side parking to the</u>	Plan Sheet Page(s)
<u>neighborhood and not interfere with street traffic.</u>	A101 &A102




**Use Permits to Modify the Parking Regulations**

Brisbane Municipal Code §17.34.050

In addition to the findings of approval for use permits, the Planning Commission must also affirmatively make the special findings of approval located in the Brisbane Municipal Code Chapter 17.34, which are reproduced below.

1. Describe why strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

	Plan Sheet Page(s)
<u>By allowing one of the required 4 parking spaces for this project to overlap with the existing garage door openings, we can comply with the 4 space parking requirement without burdening the street with street side parking beyond the space directly in front of this site’s property lines.</u>	A101 & A102

2. Describe how the granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of this chapter.

	Plan Sheet Page(s)
<u>No current off street parking exists along our side of the street. This project will add parking where none legally existed before.</u>	A101 & A102

3. Describe why full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints. This finding shall not be required for residential units dedicated to be affordable to households with very-low, low, or moderate incomes or designed and dedicated for use by households with one or more members who are 62 years of age or older, subject to restrictions approved by the City and recorded with the County of San Mateo.

	Plan Sheet Page(s)
<u>The steep slope of the site in question renders additional off street parking infeasible, due to the amount of soil cut and new retaining wall construction that would be required to add the parking within the existing property line boundaries.</u>	A101, A102, A201



On Apr 6, 2020, at 4:42 PM, Joshua Rumbley wrote:

Hi Amy & Wilson,

As an arborist it is the norm to measure at DBH (4.5 feet above ground). Due to his information given to me by Jeremiah I will have to revisit the site tomorrow and get these measurements to be accurate for the needs of the grading plan.

I hope you understand that I was trying to point out the pine because it is dead and it needed to be added to the removal plan. I will give you the measurements tomorrow or Wednesday.

Regards,

Joshua Rumbley

Arborist Representative

ISA Certified Arborist #11341A

Qualified Pesticide Applicator #147034 Bartlett Tree Experts, Division 10

1599 Custer Avenue, San Francisco

415-206-0790 : Office

415-206-0793 : Fax

[www.bartlett.com](http://www.bartlett.com)

Sent from iPhone

<b>ADDRESS</b>	130 Sierra Point Road			
<b>APN</b>	007-193-050			
<b>ZONING DISTRICT</b>	R-1			
<b>DESCRIPTION</b>	Demo existing SFD and construct new SFD; retain existing detached garage			
<b>Development Standard</b>	<b>Existing</b>	<b>Proposed</b>	<b>Min/Max</b>	<b>Status</b>
<b>Lot Area</b>	5,000 SF	-	5,000 SF	Complies
<b>Lot Slope</b>	33%	-	n/a	n/a
<b>Lot Coverage</b>	10%	1,996 SF or 40%		Complies
<b>Floor Area</b>	0.26 FAR	1st FL: 695 SF; 2nd FL: 1,498 SF; 3rd FL: 917 SF; Gar: 415 SF; Total = 3,516 or .70 FAR	0.72 FAR or 3,600 SF	Complies
<b>Setbacks</b>				
<b>N Side Lot Line</b>		5'	5'	Complies
<b>S Side Lot Line</b>		16' 6"	5'	Complies
<b>Rear Lot Line</b>		13' 6.25"	10'	Complies
<b>Front Lot Line</b>		25' 11"	10'	Complies
<b>Decks</b>		Fr: 19' 11"; NS: 9'; SS: 5'	Front/side/rear: 5'	Complies
<b>Stairs</b>		Side: 3'; Rear: 10'	3' side/5' rear	Complies
<b>Garage</b>	0'	n/c	0'	Existing nonconforming
<b>Other Standards</b>				
<b>Height</b>		1st seg: 28' 3"; 2nd seg: 28' 9.5"	30'	Complies
<b>Parking</b>	2 car nonconforming garage	2 covered nonconforming, 2 uncovered in ROW	2 covered + 2 on/off-street	<b>Use permit required for nonconforming covered parking; tandem/50% compact allowed per BMC 17.34.040</b>
<b>Articulation</b>		n/a - no wall exceeds 20' x 20' due to terraced design		n/a
<b>Landscaping</b>		~90 SF	15% of FYSB or 75 SF	Complies
<b>Grading</b>		150 CY of cut & export	>50 CY requires PC review	<b>PC Grading Review required</b>
<b>Fencing</b>			BMC 17.32.050	Verify @ Building Permit
	<b>Yes</b>	<b>No</b>	<b>Status</b>	
<b>Stormwater (C.3/Small project)?</b>	X		Small projects checklist submitted	
<b>Survey required?</b>	X		provided with plan set	
<b>Tree Removal?</b>	X		7 trees to be removed; 1:1 replacement, species, and size at maturity per director; condition of approval	
<b>Underground Utilities District Waiver</b>	X		Condition of approval	
<b>Landscape Maintenance Agreement</b>	X		Condition of approval	
<b>ADU</b>		X		