



AGENDA

CITY PLANNING AND ZONING BOARD MEETING

TUESDAY, MARCH 11, 2025 at 6:00 PM

Bonifay City Hall Council Meeting Room – 401 McLaughlin Ave. Conference Room

CALL TO ORDER

Chairperson Bettie Slay

NEW BUSINESS

[John](#) Feeney, City Planner:

Bonifay Mobile Home Park Minor Development Order 701 Hwy 90 East, Bonifay, Florida 32425

OLD BUSINESS

Rickey Callahan, City Clerk:

Consideration of an appointee of to recommend to the City Council to replace Sherryl Johnson on the Planning and Zoning Board.

GENERAL UPDATES/DISCUSSION

ADJOURN

Persons with disabilities needing special accommodations to participate in this proceeding should contact City Hall at (850) 547-4238, at least five days prior to the proceedings.

Larry Cook, Mayor
James Sellers, Vice Mayor
Rickey Callahan, City Clerk
301 J. Etheridge Street
Bonifay, Florida 32425
Telephone (850) 547-4238
Fax (850) 547-9014



City Council Members:
Rick Crews, Councilman
Shelley Carroll, Councilwoman
Eddie Dixon, Councilwoman

City of Bonifay
Planning and Development Services Division
301 J Harvey Etheridge Street
Bonifay, FL 32425
Phone 850-547-4238

Date: 02/13/2025
To: City of Bonifay Planning and Zoning Commission
From: John Feeney, PE – Alday Howell Engineering, Inc.
RE: Minor Development Order for Bonifay MHP

Staff Project Summary

Project: Proposed Minor Development Order for a 92-space Recreational Vehicle Park.

Location: Parcel ID Numbers 0606.01-000-000-001.000 and 0606.01-000-000-001.200, located 1/3 mile east of the intersection of Weeks St and Hwy 90.

Land Use Designation: Urban Mixed Use

Planner Review:

- The project is located in Flood Zone X and Flood Zone A. Flood Zone X means that the area is determined to be outside the 0.2% annual flood chance.
- There are some wetlands on the project site.
- The developer has complied with all requests for additional information and has revised the plans and documents to be in accordance with City Regulations.
- Land Use District Requirements:

Minimum Lot Size: .10 acres

Maximum ISR: 0.90

Maximum FAR: 1.8

- Proposed Development:

Lot Size: 31.37 acres
Proposed ISR: 0.18
Proposed FAR: 0.07
- Parking Requirements:

5 spaces per 1000 square feet of commercial building area.

19 spaces required.

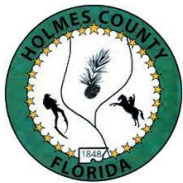
19 spaces provided.

Intergovernmental Review:

Northwest Florida Water Management District: This project is currently pending an ERP permit. Final approval will not be issued until the permit is acquired.

Potential Actions: Approve, Approve with Conditions, or Deny the Minor Development Order Application and forward it to the Board of County Commissioners for a final decision. If additional pertinent information is requested, the Planning and Zoning Board may vote to Table to request until more information is provided.

Requested Action: Based on the review conducted by the County's Consultant Planner, John Feeney, PE (Alday-Howell Engineering, Inc.), the Minor Development Order complies with the provisions of the City of Bonifay Comprehensive Plan and Land Development Regulations and the Planner respectfully requests a motion to approve the project with conditions (ERP Permit).



HOLMES COUNTY GENERAL DEVELOPMENT ORDER APPLICATION

PROPERTY OWNER INFORMATION

Owner's Name as Written on Deed: BONIFAY MOBILE HOME PARK LAND LLC
Address: 701 HWY 90 E
City: BONIFAY State: Florida Zip Code: 32425
Phone Number: (386) 846 4388 FAX or e-mail: (386) 846 4388

APPLICANT INFORMATION

Applicant's Name: Dustin Maxwell
Address: 4035 High Ridge Dr New Smyrna Bch,
City: New Smyrna Bch State: Florida Zip Code: 32168
Phone Number: (863) 738-1109 FAX or e-mail: _____

CORPORATE OR BUSINESS INFORMATION

Business Name/Contact: BONIFAY MOBILE HOME PARK LAND LLC
Address: 4035 High Ridge Dr New Smyrna Bch,
City: New Smyrna Bch State: Florida Zip Code: 32168
Phone Number: (863) 738-1109 FAX or e-mail: dustin@jetsettercapital.com

ENGINEER INFORMATION

Engineering Firm Name/Contact: Quantum Partnership, Inc.
Address: 5547 Hampton Woods Way
City: Tallahassee State: Florida Zip Code: 32311
Phone Number: 850 544-1326 FAX or e-mail: quantumeng@comcast.net

***Copies of the County Code and Comprehensive Plan can be accessed at:**
<https://holmescountyfla.com/building-planning-zoning/>

ATTACHMENTS REQUIRED (3 COPIES/1 CAN BE DIGITAL) <i>The following attachments are required with application submittal</i>	
Proof of Ownership (Deed)/Lease	Check List XX
Letter of Authorization (if other than owner is making application)	XX
Traffic Impact Analysis* by Florida Professional Engineer (P.E.) <i>*if required, as determined by the County Engineer or Community Development</i>	XX
Stormwater design by Florida P.E. or Swale Exemption Letter	XX
Site Plans, as indicated on page 3	XX
Right-Of-Way Connection Application (D.O.T. or County)	Will apply for
Landscape Plan	XX
Development Review Fee (See Fee Schedule)	XX

**HOLMES COUNTY
GENERAL DEVELOPMENT ORDER APPLICATION**

DESCRIPTION OF BUSINESS

Project Address: 701 HWY 90 City: Bonifay

Briefly describe what type of activities will be conducted at this business: Convert the existing Mobile Home Park into 92 slot Recreational Vehicle Park

Total Number of Existing Employees: 1 Total number of New or Projected Employees: 1

Will Hazardous Material be Stored or Accumulated On- Site: ☐ Yes ☒ No

GENERAL INFORMATION

New Construction ☒ Expansion ☒ Existing Building ☐ Existing Shopping Center ☐

Will Project Be Built in Phases? NO ☐ YES ☒ If yes, How Many Phases? Three

Projected Build Out Date: 08/01/2023 (Attach Projected Development Schedule)

Total Acres Involved in this Project: 21.21 Square footage of Impervious Surface: 154,119.00

Total Square Footage of All Buildings (At Build Out): 8,478.00 S.F. Building Height: 16

If in shopping Center: Store Front footage of rental space: _____ Tenant space #: _____

Parcel Tax ID#: 0606.01-000-000-001.200 & 0606.01-000-000-001.200

Utility Providers: Electricity _____ Natural Gas _____

Sewer System: ☐ Private ☒ Public If Public, Indicate Provider City of Bonifay

Water System: ☐ Private ☒ Public If Pubic, Indicate Provider City of Bonifay

ROAD INFORMATION

Name of all Roads Abutting Property	Dirt	Paved	County	State	Private
SR 10 (US 90)		XX		FDOT	
Will a New Road(s) be Created: <input type="checkbox"/> Yes <input type="checkbox"/> No If yes will they be: <input type="checkbox"/> Public <input type="checkbox"/> Private					
Estimate the Number of Vehicles that will be Visiting this Location: _____					
Distance to Nearest Intersection: _____ Intersection/Road Name: _____					

**HOLMES COUNTY
GENERAL DEVELOPMENT ORDER APPLICATION**

GENERAL SITE PLAN REQUIREMENTS

Indicate the following on Site Plan Drawing

1. Surrounding developments, including residential, within 1,320 feet of property
2. All road Names
3. All rivers, lakes, ponds, wetlands and ditches within 1,320 feet
4. Easements within 75 feet of property (water, sewer, electric, etc.)

SPECIFIC SITE PLAN REQUIREMENTS

Indicate the following on Site Plan

1. All property lines with dimensions, to include all easements
2. All existing structures with dimensions
3. All proposed structures/expansions with dimensions
4. All driveways/access points with dimensions
5. All rivers, lakes, ponds, wetlands and ditches on property
6. All proposed paved areas, to include parking with dimensions (indicate ADA spaces)
7. All proposed signs with dimensions
8. All proposed landscaping, to include perimeter buffering (trees, shrubbery, grass, etc.)
9. **If in a shopping center include:** Site Plan of whole shopping center, all tenants, and which space you will be placing business with dimensions of your rental space only.

OFFICIAL USE ONLY

FEE PAID: Y ☐ N ☐ INITIAL: _____ RECEIPT# _____ DATE: _____

Application # _____

TELEPHONE DIRECTORY

HOLMES COUNTY

Planning Official – Alday-Howell Engineering, Inc.	(850) 634-6084	FAX	(850) 526-4740
Building Department	(850) 547-1119		(850) 547-4134
County Environmental Health Office	(850) 547-8500		(850) 547-8515
Road and Bridge Department	(850) 547-1408		(850) 547-0600
Property Appraiser	(850) 547-1113		(850) 547-2445

OTHER

Dept. of Business and Professional Regulation	(850) 487-1395
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Prepared by and return to:
Panhandle Land Title, LLC.
124 East Virginia Avenue
Bonifay, FL 32425
(850) 547-2025
File No 22-511

Parcel Identification No Property 1: 0606.01-000-000-001.200

Property 2: 0606.01-000-000-001.000

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 16th day of September, 2022 between Christopher Rood and Kyle Ballif, each conveying their separately owned non homestead property, whose post office address is 146 Queensberry Drive, Lafayette, LA 70508, Grantors, to Bonifay Mobile Home Park Land LLC, a Florida Limited Liability Company, whose post office address is 4035 High Ridge Drive, New Smyrna Beach, FL 32168, Grantee:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Holmes County, Florida, to-wit:

PARCEL A: COMMENCE AT THE NW CORNER OF THE NE 1/4 OF NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST, HOLMES COUNTY, FLORIDA; AND RUN S0°48'19"W 133.13 FEET TO THE SOUTH RIGHT-OF-WAY-LINE OF 90, THENCE S88°42'45"E ALONG SAID LINE 194 FEET TO THE POINT OF BEGINNING, THENCE S0°49'45"W 107 FEET, THENCE S26°29'45"W 126 FEET, THENCE N88°42'45"W 79.20 FEET, THENCE S0°52'30"W 143.17 FEET, THENCE S39°02'10"E 320.94 FEET, THENCE N85°51'00"E 623.90 FEET, THENCE N1°17'00"E 149.16 FEET, THENCE N32°43'00"W 162.84 FEET, THENCE N45°37'00"W 191.74 FEET, THENCE N1°17'00"E 134 FEET TO THE SOUTH RIGHT-OF- WAY LINE OF U.S. 90, THENCE N88°42'45"W ALONG SAID LINE 466.29 FEET TO THE POINT OF BEGINNING.

PARCEL B: NE 1/4 OF NE 1/4, SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST, HOLMES COUNTY, FLORIDA. LESS THE FOLLOWING: BEGIN AT A POINT WHERE WEST LINE OF THE ABOVE DESCRIBED FORTY ACRES INTERSECTS SOUTH R/W LINE OF U.S. HIGHWAY 90, THENCE EAST 194 FEET ALONG SOUTH R/W LINE FOR POINT OF BEGINNING, THENCE S0°49'45"W 107 FEET, THENCE S26°29"W 126 FEET, THENCE N88°42'W 79.2 FEET, THENCE S00°52'W 143.17 FEET, THENCE S29°02'E 320.34 FEET, THENCE N85°51'E 623.9 FEET, THENCE N01°17'E 149.16 FEET, THENCE S88°43'E 430.29 FEET, MORE OR LESS, TO EAST LINE OF ABOVE DESCRIBED FORTY ACRES, THENCE NORTH ALONG FORTY LINE 405 FEET, MORE OR LESS, TO SOUTH R/W LINE OF U.S. HIGHWAY 90 THENCE W ALONG SOUTH R/W LINE OF U.S. HIGHWAY 90, MORE OR LESS, TO POINT OF BEGINNING, LOCATED IN HOLMES COUNTY, FLORIDA. ALSO: COMMENCE AT THE NW CORNER OF NE 1/4 OF NE 1/4, SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST AND RUN S0°48'19"W ALONG THE WEST LINE OF SAID NE 1/4 OF NE 1/4 133.13 FEET TO THE SOUTH R/W LINE OF U.S. HIGHWAY 90, THENCE S88°42'45"E ALONG SAID SOUTH R/W LINE 661.89 FEET TO THE POINT OF BEGINNING, THENCE S01°17'00"W 134.0 FEET, THENCE S45°37'00"E 191.74 FEET, THENCE N01°17'00"E 265 FEET TO SAID SOUTH R/W LINE, THENCE N88°42'45"W ALONG SAID R/W 140 FEET TO THE POINT OF BEGINNING.

As surveyed by ALTA/NSPS Land Title Survey, Drawing No. 68351001, Dated 08/16/2022

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2022 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


WITNESS

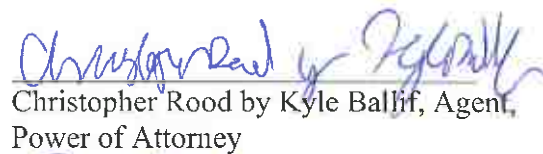
Joani Carol Rogers

1st Witness Printed Name


WITNESS

Wanda K. Braswell


2nd Witness Printed Name

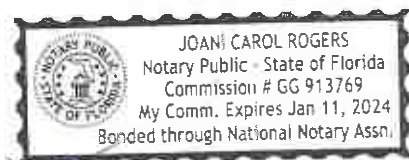

Christopher Rood by Kyle Ballif, Agent,
Power of Attorney


Kyle Ballif

STATE OF FLORIDA
COUNTY OF Holmes

The foregoing instrument was acknowledged before me by means of (X) physical presence or () online notarization this 19 day of September, 2022, by Kyle Ballif, individual and as POA for Christopher Rood.


Signature of Notary Public
Print, Type/Stamp Name of Notary



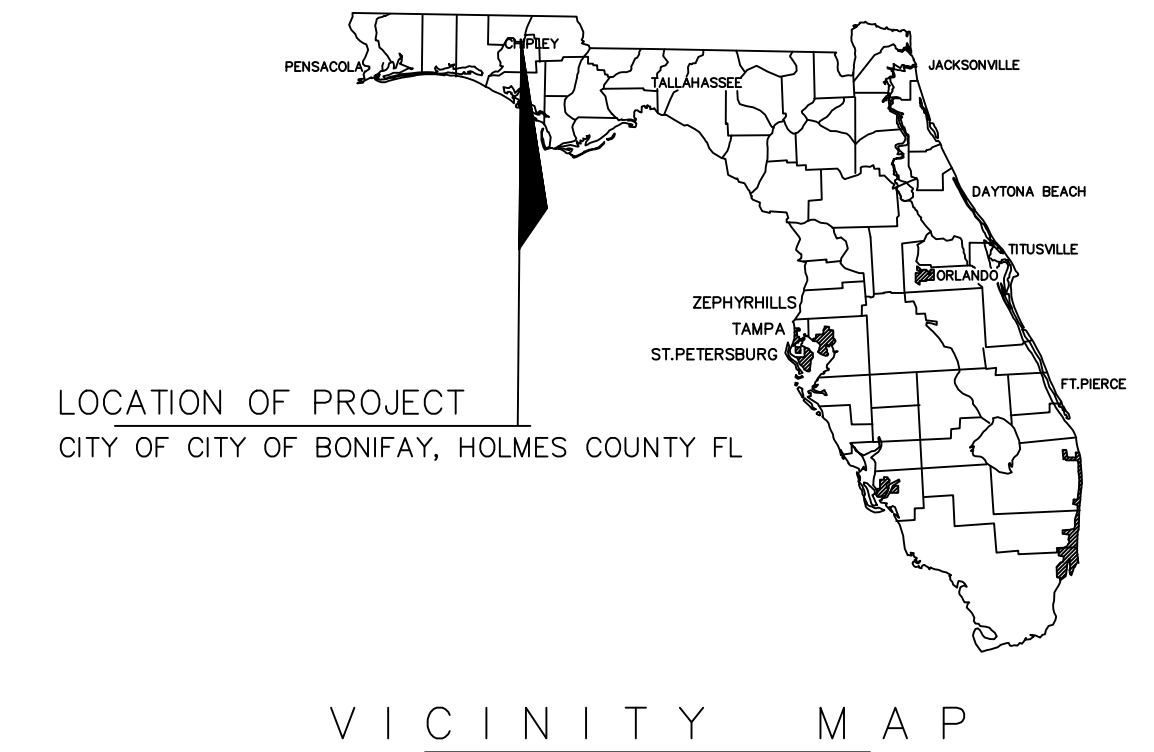
Personally Known: _____ OR Produced Identification: _____

Type of Identification Produced: FL Driver Lic.

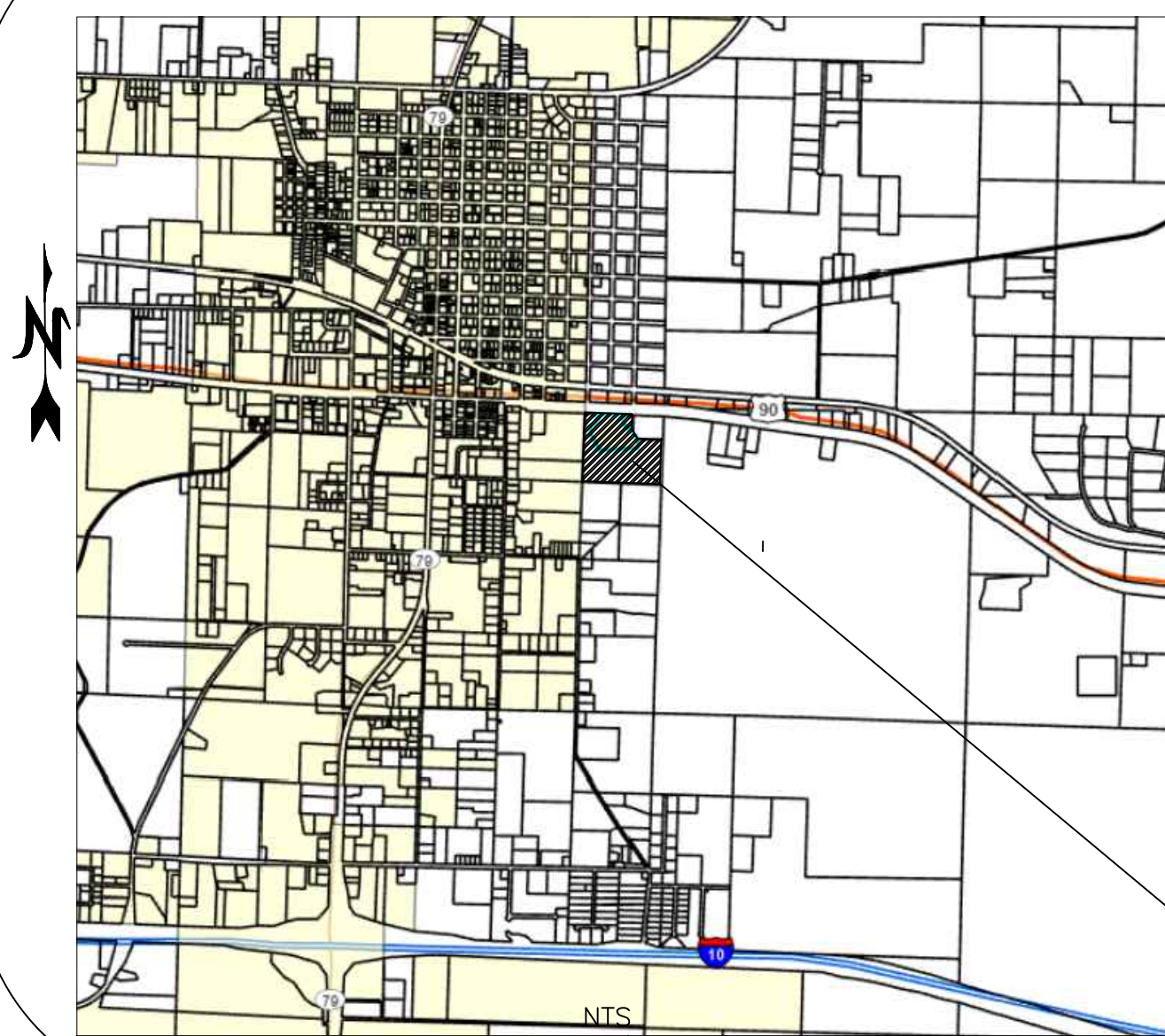
BONIFAY MOBILE HOME PARK

BONIFAY, HOLMES COUNTY

CONSTRUCTION PLANS



LOCATION MAP



PREPARED FOR BMHPL LLC

4035 HIGH RIDGE DR
NEW SMYRNA BCH, FL 32168
(863) 738-1109

PREPARED BY:

EZZELDIN M. BENGHUZZI, P.E.
5547 HAMPTON WOODS WAY
TALLAHASSEE, FL 32311
Telephone: (850) 544-1326

PROJECT LOCATION

SHEET INDEX

C1	COVER
C2	EXISTING CONDITION SHEET
C3	DEMOLITION SHEET
C4	GENERAL NOTES SHEET
C5	SITE PLAN
C6	GRADING& DRAINAGE SHEET
C7	DRAINAGE AREA SHEET
C8-9	SWPPP SHEET
C10	LANDSCAPE SHEET
C11-12	UTILITY SHEET
C13	MISCELLANEOUS DETAILS SHEET

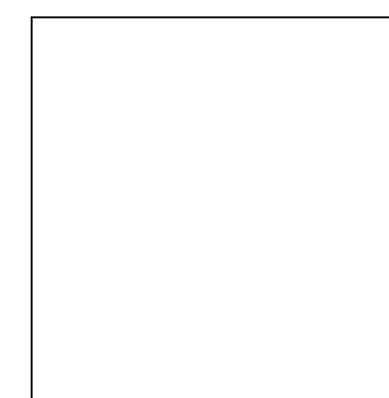
GOVERNING STANDARD PLANS:

FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2023 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS)
STANDARD PLANS FOR ROAD CONSTRUCTION AND ASSOCIATED IRS ARE AVAILABLE AT THE FOLLOWING WEBSITE: [HTTP://WWW.FDOT.GOV/DESIGN/STANDARDPLANS](http://www.fdot.gov/design/standardplans)

PROPERTY LEGAL DESCRIPTION

PARCEL A: COMMENCE AT THE NW CORNER OF THE NE 1/4 OF NE 1/4 OF SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST, HOLMES COUNTY, FLORIDA; AND RUN S0°48'19"W 133.13 FEET TO THE SOUTH RIGHT-OF-WAY-LINE OF 90, THENCE S88°42'45"E ALONG SAID LINE 194 FEET TO THE POINT OF BEGINNING, THENCE S0°49'45"W 107 FEET, THENCE S26°29'45"W 126 FEET, THENCE N88°42'45"W 79.20 FEET, THENCE S0°52'30"W 143.17 FEET, THENCE S39°02'10"E 320.94 FEET, THENCE N85°51'00"E 623.90 FEET, THENCE N1°17'00"E 149.16 FEET, THENCE N32°43'00"W 162.84 FEET, THENCE N45°37'00"W 191.74 FEET, THENCE N1°17'00"E 134 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF U.S. 90, THENCE N88°42'45"W ALONG SAID LINE 466.29 FEET TO THE POINT OF BEGINNING.

PARCEL B: NE 1/4 OF NE 1/4, SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST, HOLMES COUNTY, FLORIDA. LESS THE FOLLOWING: BEGIN AT A POINT WHERE WEST LINE OF THE ABOVE DESCRIBED FORTY ACRES INTERSECTS SOUTH R/W LINE OF U.S. HIGHWAY 90, THENCE EAST 194 FEET ALONG SOUTH R/W LINE FOR POINT OF BEGINNING, THENCE S0°49'45"W 107 FEET, THENCE S26°29'45"W 126 FEET, THENCE N88°42'45"W 79.2 FEET, THENCE S00°52'W 143.17 FEET, THENCE S29°02'E 320.34 FEET, THENCE N85°51'E 623.9 FEET, THENCE N01°17'E 149.16 FEET, THENCE S88°43'E 430.29 FEET, MORE OR LESS, TO EAST LINE OF ABOVE DESCRIBED FORTY ACRES, THENCE NORTH ALONG FORTY LINE 405 FEET, MORE OR LESS, TO SOUTH R/W LINE OF U.S. HIGHWAY 90 THENCE W ALONG SOUTH R/W LINE OF U.S. HIGHWAY 90, MORE OR LESS, TO POINT OF BEGINNING, LOCATED IN HOLMES COUNTY, FLORIDA. ALSO: COMMENCE AT THE NW CORNER OF NE 1/4 OF NE 1/4, SECTION 6, TOWNSHIP 4 NORTH, RANGE 14 WEST AND RUN S0°48'19"W ALONG THE WEST LINE OF SAID NE 1/4 OF NE 1/4 133.13 FEET TO THE SOUTH R/W LINE OF U.S. HIGHWAY 90, THENCE S88°42'45"E ALONG SAID SOUTH R/W LINE 661.89 FEET TO THE POINT OF BEGINNING, THENCE S01°17'00"W 134.0 FEET, THENCE S45°37'00"E 191.74 FEET, THENCE N01°17'00"E 265 FEET TO SAID SOUTH R/W LINE, THENCE N88°42'45"W ALONG SAID R/W 140 FEET TO THE POINT OF BEGINNING.



EZZELDIN BENGHUZZI, P.E.
FL P.E. # 53904

This item has been signed and sealed by Ezzeldin BenghuZZi, P.E. on 01/24/2024 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature and authentication code must be verified on any electronic copies.

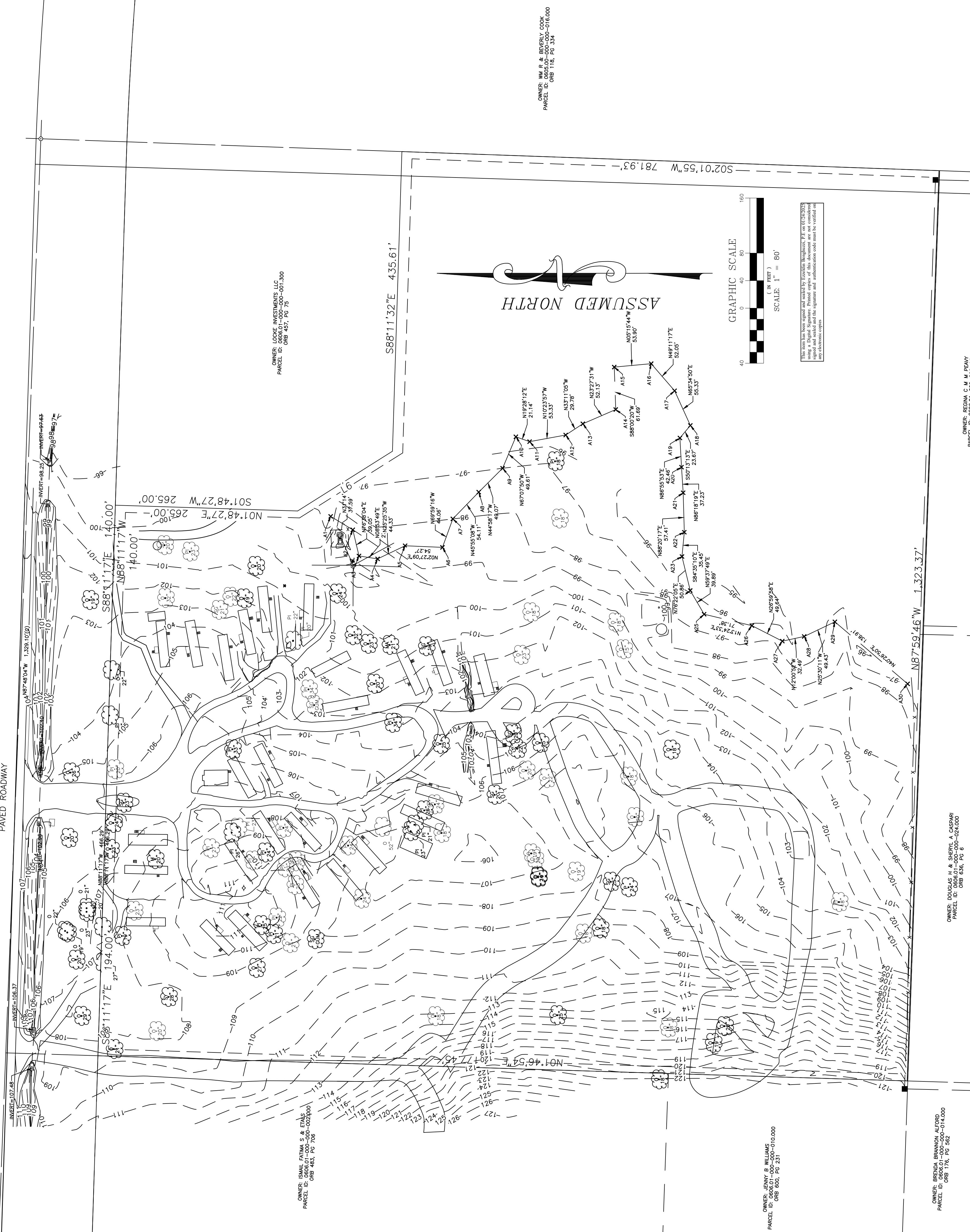
CONTRACTOR NOTES:

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING GRADES AND ELEVATIONS AND INFORMING THE ENGINEER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT WILL AFFECT THE STORMWATER DESIGN. AN ENGINEER'S REPRESENTATIVE WILL BE AVAILABLE TO MEET ON SITE ON A REGULAR BASIS.

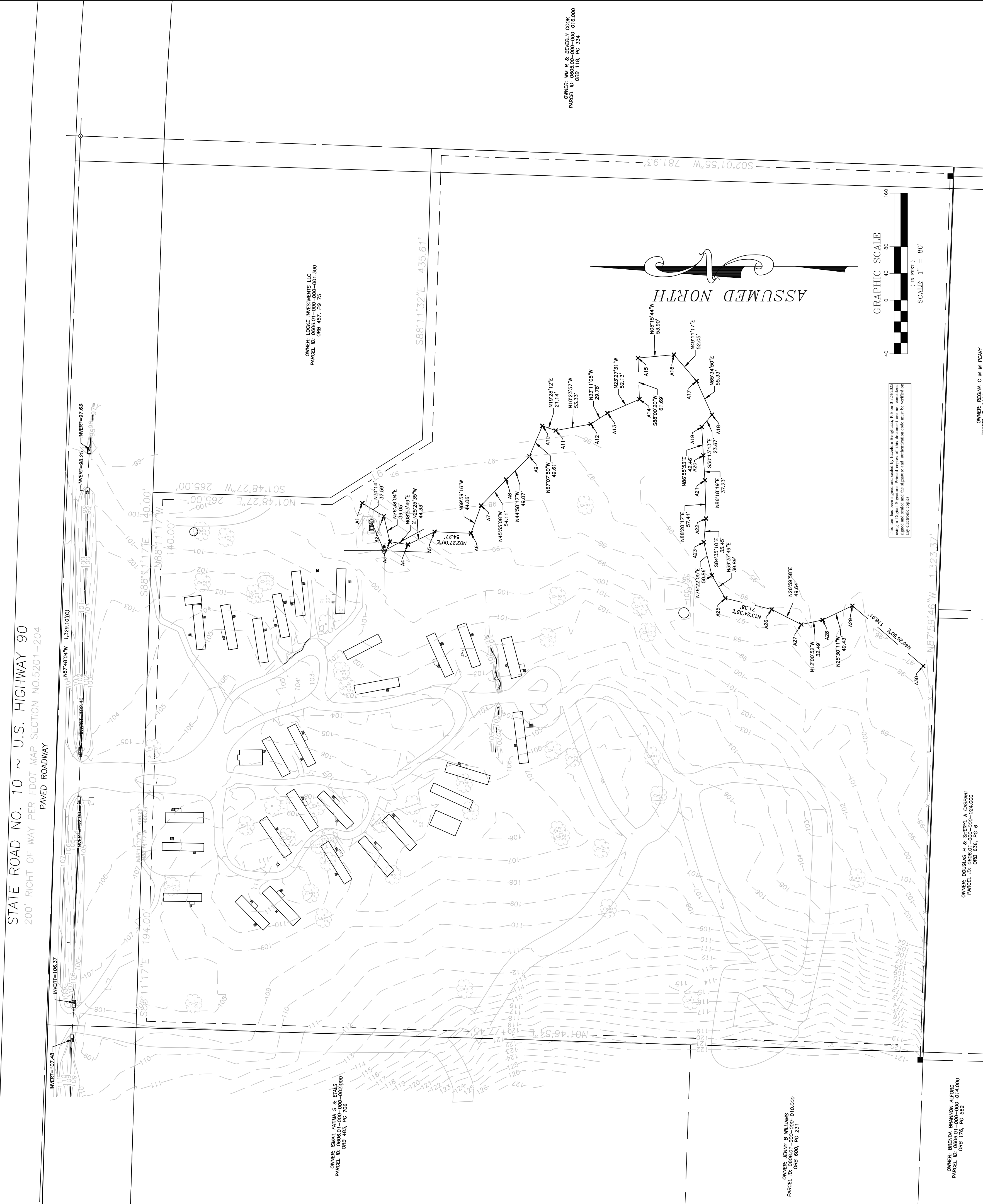
DUTY TO INDEMNIFY:

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE OWNER AND ENGINEER AND THEIR RESPECTIVE MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF FLORIDA AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

STATE ROAD NO. 10 ~ U.S. HIGHWAY 90
200' RIGHT OF WAY PER FDOT MAP SECTION NO.5201-204
PAVED ROADWAY



SEAL: EZZELDIN BENGHAZZI, P.E. FL P.E. # 53904	DRAWN BY:		CHECKED BY:	
	EMB		EMB	
	PROJECT NO.:		22169	
	DRAWING SCALE:			
	PLOT DATE:		01/24/2025	
SHEET NO. <u>2</u>		OF <u>13</u>		
DWG. NO.		C-2		
PROJECT NAME:		BONIFAY MOBILE HOME PARK		
PROJECT NO.:		5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311		
SHEET TITLE:		EXISTING CONDITION SHEET		
OWNER:		QUANTUM ENGINEERING GROUP, INC.		
5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311		NO.		
Phone: (850) 544-1326		DATE		
BMHPL LLC		APPR.		
4035 HIGH RIDGE DR				
NEW SMYRNA BCH, FL 32168				
CLIENT:				
(863) 738-1109				



DUST CONTROL REQUIREMENTS:

1. GRADING OPERATIONS WILL NOT BE CONDUCTED WHEN WINDS EXCEED 20 MILES PER HOUR.
2. WATER WILL BE APPLIED WITH HOSE OR WATER TRUCK, AS NECESSARY, DURING EXCAVATION ACTIVITIES.
3. CONTRACTOR SHALL ENSURE THAT ANY OPEN-BODIED TRUCKS, TRAILERS OR OTHER VEHICLES TRANSPORTING PARTICULATE MATTER SHALL BE COVERED OR WETTED TO MINIMIZE DUST GENERATION DURING TRANSPORT.
4. STOCKPILED MATERIAL SHALL BE COVERED OR WETTED, AS REQUIRED, TO MINIMIZE DUST GENERATION DURING HIGH WIND.
5. CONTRACTOR SHALL MINIMIZE THE HEIGHTS INVOLVED IN TRANSFER PROCESSES INVOLVING FREE FALL OF SOIL OR OTHER PARTICULATE MATTER TO MINIMIZE DUST EMISSIONS.
6. WATER WILL BE APPLIED BY HOSE OR WATER TRUCK, AS NECESSARY, TO UNPAVED SURFACES, INCLUDING ADJACENT RIGHT-OF-WAYS, OR ANY OTHER SURFACE THAT COULD CREATE AIRBORNE DUST.
7. GROUND COVER WILL BE PLACED FOR ALL OPEN AREAS IMMEDIATELY AFTER CONSTRUCTION ACTIVITIES HAVE COMPLETED.
8. DESIGNATED ROUTES WITHIN THE JOB SITE THAT WILL BE USED BY VEHICLES TRANSPORTING SOIL OR OTHER MATERIALS TO AND FROM THE SITE SHALL BE CLEARLY INDICATED.
9. CONTRACTOR SHALL PROVIDE BRUSHES, BROOMS, WATER, OR PRESSURE WASHERS, AS REQUIRED, TO REMOVE SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER FROM VEHICLE TIRES AND UNDERCARRIAGES PRIOR TO LEAVING THE SITE IN ORDER TO PREVENT THE TRACKING OUT OF SAID SOIL, SAND, DIRT AND ANY OTHER PARTICULATE MATTER ONTO THE ADJACENT RIGHT-OF-WAYS.
10. MAXIMUM SPEED OF CONSTRUCTION EQUIPMENT OR MATERIAL DELIVERIES SHALL BE 20 MILES PER HOUR.
11. ANY SOIL, SAND AND OTHER MATERIAL DEPOSITED OR EMITTED ONTO ANY RIGHT-OF-WAY NEAR THE SITE SHALL BE REMOVED WITHIN
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ANY DUST CONTROL SYSTEMS AND/OR DEVICES, INCLUDING BUT NOT LIMITED TO WATER APPLICATION SYSTEMS, FILTER REPLACEMENT, OR DAILY REMOVAL OF EXCESS DUST FROM CONTAINMENT AREAS ARE IN PROPER WORKING CONDITIONS PER MANUFACTURER'S REQUIREMENTS OR STANDARD INDUSTRY PRACTICE.

VIBRATION IMPACT MITIGATION REQUIREMENTS:

1. ANY ACTIVITY INCLUDING, BUT NOT LIMITED TO: PILE DRIVING, EARTHWORK COMPACTION, CONCRETE AND ASPHALT BREAKING WILL NOT TRANSMIT VIBRATIONS TO SENSITIVE RECEPTORS AT OR ABOVE THE FEDERAL TRANSIT ADMINISTRATION (FTA) APPROXIMATE VIBRATION DAMAGE THRESHOLD OF 95 VIBRATION DECIBELS (VDB).
2. FOR ANY ACTIVITY EXCEEDING 80 VDB THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A VIBRATION MINIMIZATION AND MITIGATION PLAN TO REDUCE IMPACTS TO THE SURROUNDING AREAS.
3. GENERAL CONTRACTOR FOR THE PROJECT SHALL ADHERE TO THE VIBRATION IMPACT MITIGATION PLAN DURING THE CONSTRUCTION OF THE PROJECT.

CONSTRUCTION VEHICLE PARKING MITIGATION REQUIREMENTS:

1. AT THE END OF ALL WORK DAYS, THE CONTRACTOR SHALL PARK ALL CONSTRUCTION RELATED EQUIPMENT WITHIN THE DESIGNATED PARKING AREA, UNLESS OTHERWISE APPROVED BY THE CITY OF DESTIN.
2. MOTORIZED CONSTRUCTION VEHICLES SHALL BE PARKED AS FAR AWAY AS POSSIBLE FROM ADJOINING RESIDENTIAL DWELLINGS.

SEAL:		BONIFAY MOBILE HOME PARK		QUANTUM ENGINEERING GROUP, INC.		NO.		DATE		APPR.		REVISION	
DRAWN BY:		CHECKED BY:		PROJECT NAME:		5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311							
EMB		EMB		DEMOLITION SHEET		Phone: (850) 544-1326							
PROJECT NO.: 22169						BMHPL LLC							
DRAWING SCALE:						4035 HIGH RIDGE DR							
PLOT DATE:						NEW SMYRNA BCH, FL 32168							
SHEET NO. 3 OF 13						(863) 738-1109							
DWG. NO.						CLIENT:							
C-3													

GENERAL PROVISIONS

1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. CONTRACTOR, AS PART OF THE BASE BID, SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA WITHIN THE 30 DAYS OF PROJECT AWARD. CONTRACTOR SHALL REVIEW THE PLANS AND SHALL NOTE ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
3. CONTRACTORS, AS PART OF THE BASE BID, SHALL PROVIDE ALL COORDINATION WITH UTILITY PROVIDERS TO PROVIDE FOR THE MATERIALS AND WORK NEEDED TO PROVIDE SERVICES TO THE PROJECT.
4. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR ALL DEMOLITION OF ABOVE GROUND AND UNDERGROUND IMPROVEMENTS IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS NOTED ON THE PLANS. UNLESS APPROVED IN WRITING FROM THE OWNER, ALL MATERIALS SHALL BE REMOVED FROM THE SITE AS PART OF THE BASE BID.
5. ALL DETAILS AND REFERENCES TO FDOT REFER TO THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICITY, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TI-E-IN/ CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
7. CONTRACTOR AND HIS SURVEYOR SHALL NOTE THE PROJECT BENCHMARK INFORMATION PROVIDED IN THE PLANS AND VERIFY PRIOR TO CONSTRUCTION.
8. ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING, INSPECTING, MAINTAINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES. FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLY WITH THE NPDES GENERAL PERMIT, THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
9. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
10. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. ANCHOR C&I ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
11. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. ANCHOR C&I IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
12. THE CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR HIS RECORDS. THE ENGINEER WILL NOT PROVIDE FOR APPROVAL OF SHOP DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL MATERIALS FOR ACCURACY PRIOR TO ORDERING THE MATERIALS. ANY DISCREPANCIES IDENTIFIED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
13. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY SAME.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE: A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS; B) DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAVING QUALITY CONTROL TESTING INCLUDING DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.
15. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
16. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
17. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
18. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PRELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, UNCOMPACTED SILT POND, PLUS ADJACENT AREAS AFFECTED BY CONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
19. ALL DISTURBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODDED.
20. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT BE LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
22. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.

UTILITY GENERAL NOTES

1. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATION, MATERIAL TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION.
3. A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SUNSHINE STATE ONE CALL CENTER BY DIALING "811" AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR FIELD LOCATION. NOTE THAT NOT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHOULD CONTACT ALL NON-PARTICIPATING UTILITIES SEPARATELY FOR FIELD LOCATION OF THEIR FACILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION.
4. THE UTILITY PROVIDERS NOTED ON THE COVER SHEET HAVE PREVIOUSLY INDICATED THAT THEY MAY HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION AREA.
5. THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER.
8. TYPICAL DETAILS AND PROPOSED CONSTRUCTION AS SHOWN ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY SUE FOR THE PROPOSED CONSTRUCTION TO SUIT FIELD CONDITIONS. THE CONTRACTOR, WITH THE PROJECT SPECIFICATIONS AND APPROVAL IS RECEIVED FROM THE ENGINEER, WHERE SUCH PROPOSED REVISIONS DEVIATE FROM THE FDEP CONSTRUCTION PERMIT, THEN SUCH REVISIONS WILL ALSO REQUIRE APPROVAL FROM FDEP.
9. FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL TYPE, AND ALIGNMENT OF ALL EXISTING SIZES, CABLES, ETC. TO BE CROSSED OR CONNECTED TO. IF THE CONTRACTOR DEEMS NECESSARY (A) A CHANGE IN ALIGNMENT OR DEPTH, OR THE NEED FOR ADDITIONAL FITTINGS, BENDS, OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWINGS; OR (B) A NEED FOR RELOCATION OF EXISTING UTILITIES, THEN DETAILS OF SUCH DEPARTURES, RELOCATIONS, OR ADDITIONAL FITTINGS, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND THE REASONS THEREFORE, SHALL BE SUBMITTED WITH SHOP DRAWINGS. APPROVED DEPARTURES FOR THE CONTRACTOR'S CONVENIENCE SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LEAKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION.

AS-BUILT DRAWING REQUIREMENTS

1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY ALL AS-BUILT SURVEY REQUIREMENTS BY THE GOVERNING AGENCIES PRIOR TO START OF CONSTRUCTION TO ENSURE THAT AS-BUILT INFORMATION IS PROVIDED FOR.
2. ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACD FORMAT USING CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER. AS-BUILT INFORMATION SHALL BE FIELD VERIFIED, MEASURED, ADDED TO THE ACD FILES OF THE CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER, AND CERTIFIED, SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS.
3. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
- A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.
- B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
- C. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-WAY.
- D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND SKIMMERS.
- E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
- F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
- G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
- H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET.
- I. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.
- J. ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET.
- K. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.
- L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION.
- M. WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.
- N. ANY ADDITIONAL INFORMATION REQUIRED BY GOVERNING AGENCIES.

SITE PREPARATION

1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REQUIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES, BASELINES, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS RELATING TO INTERCONNECTING UTILITIES. REPORT ANY INCONSISTENCIES IN THE PROPOSED GRADES, LINES AND LEVELS, DIMENSIONS AND LOCATIONS TO THE ENGINEER BEFORE COMMENCING WORK.
3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO ROAD AREAS.
4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW TREES AND SHRUBS TO REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: NEW ROADWAY CONSTRUCTION - TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN 15 FEET FROM THE BACK OF CURB, OR OUTSIDE THE LIMITS OF EXCAVATION OR FILL AREAS, WHICHEVER IS FURTHER; UTILITY PIPELINE CONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15 FOOT WIDE PATH, CENTERED ON THE PIPELINE.
5. TREES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD.
6. AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES. REMOVE TREES OUTSIDE OF THESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRITING BY THE ENGINEER.
7. CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENCROACH UPON OR OTHERWISE OBSTRUCT THE WORK.
8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS. DO NOT DAMAGE EXISTING STRUCTURES, PIPES OR UTILITIES.
9. GRUBBING UNDER ROADWAY & PARKING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN 2" IN DIAMETER, AND MATTED ROOTS. REMOVE TO A DEPTH OF NOT LESS THAN 18" BELOW THE ORIGINAL SURFACE LEVEL OF THE GROUND.
10. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFFSITE DISPOSAL AREAS.

GRADING

1. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
2. ALL PROPOSED ELEVATIONS ON THE PLANS WITHIN PAVED AREAS ARE SHOWN AT PAVEMENT, UNLESS OTHERWISE NOTED.
3. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTH TRANSITIONED SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STANDARD CROWN MAY HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.
4. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED. FINISHED SURFACES SHALL BE REASONABLY SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY BLADE-GRADER OPERATIONS.
5. NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES RE-ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER.

This item has been signed and sealed by Ezzeldin Benghuizli, P.E. on 01/24/2025 using a Digital Signature. Printed copies of this document are not considered signed and sealed until the signature and authentication code can be verified on any electronic copies.

EXCAVATION, TRENCHING, AND FILL

1. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 553.60-553.64). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
2. ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES. DIRECT SITE RUNOFF TO THE PONDS TO MINIMIZE RUNOFF TO OFFSITE AREAS.
3. POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTED SIDE SLOPES ARE STEEPER THAN THE REQUIRED SIDE SLOPES, OR THE POND VOLUME IS NOT WITHIN THREE (3) PERCENT OF THE DESIGN VOLUME, THE CONTRACTOR SHALL BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER.
4. FIELD DENSITY TESTING FREQUENCIES: A) ONE TEST FOR EACH 10,000 SQUARE FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING, MINIMUM 2 TESTS EACH LAYER; B) ONE TEST FOR EACH 100 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES; C) ONE TEST FOR EACH 300 LINEAL FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING IN THE PIPELINE TRENCH; D) ONE TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, MINIMUM OF 2 TESTS.
5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED WHEREVER POSSIBLE.
- A. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-2-4, A-2-6; ASTM D2487 CLASSIFICATION GW, GP, GM, SM, SW, SP, UNLESS OTHERWISE DISAPPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE.
- B. UNACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-2-5, A-2-7, A-4, A-5, A-6, A-7, A-8; ASTM D2487 CLASSIFICATION GC, SC, ML, MH, CL, CH, OL, OH, PT, UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS.
6. PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS.
7. SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS, EXCEPT AS AUTHORIZED BY THE ENGINEER, IN WHICH CASE ADEQUATE TEMPORARY PROVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDESTRIANS, AND VEHICLES. MINIMIZE INCONVENIENCE TO PUBLIC TRAVEL OR TO TENANTS OCCUPYING ADJOINING PROPERTY.
8. FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO SUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE ADJACENT PAVEMENTS OR STRUCTURES, DAMAGE OR DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. Voids OUTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED.
9. SHEETING, SHORING, AND BRACING USED FOR THE SUPPORT OF EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF FLORIDA.
10. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED. SLOPE SIDES OF TRENCHES IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE RECOMMENDATIONS CONTAINED WITHIN THE PROJECT GEOTECHNICAL REPORT.
11. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERT ELEVATIONS. OVER EXCAVATE TRENCHES A MINIMUM OF 2 FEET WHERE EXCAVATIONS OCCUR WITHIN UNSUITABLE SOILS, AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS.
12. TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUNDATIONS, OR SLABS, PLACE BACKFILL IN LAYERS OF 8" INCH LOOSE DEPTH. IN ALL OTHER AREAS, PLACE FILL AND BACKFILL IN LAYERS OF 12" INCH LOOSE DEPTH.
14. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T180): BACKFILL AND FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS = 98 PERCENT; BACKFILL AND FILL PLACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS = 95 PERCENT; BACKFILL AND FILL PLACED WITHIN POND AND ROAD EMBANKMENT = 95 PERCENT; BACKFILL AND FILL PLACED IN ALL OTHER AREAS = 90 PERCENT.

UTILITY SEPARATION REQUIREMENTS

1. THE HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER, STORM SEWER, WASTEWATER FORCE MAINS, STORMWATER FORCE MAINS, RECLAIMED WATER MAINS AND ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- A. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF FIVE FEET FROM THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, VACUUM TYPE SANITARY SEWER AND RECLAIMED WATER MAIN.
- B. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF TEN FEET FROM THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN THE OUTSIDE OF WATER MAINS AND THE OUTSIDE OF GRAVITY SANITARY SEWERS CAN BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN INCHES ABOVE THE TOP OF THE SEWER.
- C. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF TEN FEET FROM ALL PARTS OF ANY EXISTING OR PROPOSED ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINFIELDS AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.
2. THE VERTICAL SEPARATION BETWEEN WATER MAINS AND SANITARY AND STORM SEWER, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER MAINS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- A. WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PROPOSED GRAVITY SANITARY SEWER, VACUUM TYPE SANITARY SEWER, AND STORM SEWER. SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OUTSIDE OF THE SEWER. WHERE IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER EXISTING OR PROPOSED GRAVITY SANITARY SEWER, VACUUM TYPE SANITARY SEWER, AND STORM SEWER, THEN THE WATER MAIN CAN CROSS UNDER THESE TYPES OF PIPELINE SYSTEMS PROVIDED THE OUTSIDE OF THE WATER MAIN IS AT LEAST 18 INCHES BELOW THE OUTSIDE OF THE PIPELINE. AT THE CROSSING, THE PROPOSED PIPE JOINTS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST FIVE FEET FROM VACUUM TYPE SANITARY SEWER OR STORM SEWER JOINTS, AND AT LEAST TEN FEET FROM GRAVITY SANITARY SEWER JOINTS.
- B. WHEREVER POSSIBLE, WATER MAINS SHALL CROSS OVER EXISTING OR PROPOSED RECLAIMED WATER MAINS, WASTEWATER FORCE MAINS AND STORMWATER FORCE MAINS. WHETHER THE WATER MAIN CROSSES OVER OR UNDER THESE TYPES OF PIPELINE SYSTEMS, THE OUTSIDE OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES FROM THE OUTSIDE OF THE EXISTING OR PROPOSED RECLAIMED WATER MAIN, WASTEWATER FORCE MAIN, AND STORMWATER FORCE MAIN. AT THE CROSSING, THE PROPOSED PIPE JOINTS SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST FIVE FEET FROM RECLAIMED WATER MAIN JOINTS AND STORMWATER FORCE MAIN JOINTS, AND AT LEAST TEN FEET FROM THE JOINTS OF WASTEWATER FORCE MAINS.
3. NO WATER MAIN SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY SEWER MANHOLE.
4. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDERGROUND DRAIN (WEEP HOLE) IS AT LEAST:
- A. FIVE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER MAIN, OR VACUUM TYPE SANITARY SEWER.
- B. TEN FEET FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN.
- C. TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.

PAVING, SIDEWALKS, AND CURBING

1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.
3. SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.
4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. THE CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
5. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED EVERY 1000 LINEAR FEET OF PAVING PER 24-FT WIDE STRIP. SUGGERED LEFT, CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY).

STORM SEWER SYSTEMS

1. REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND RUBBER GASKETS SHALL COMPLY WITH FDOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE, INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.
2. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN COMPLETED.
3. UNDERDRAIN PIPE SHALL BE PERFORATED POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 IN ACCORDANCE WITH FDOT INDEX NO. 199.
4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 199, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORDANCE WITH FDOT INDEX NO. 280. PROVIDE MINIMUM 12" OVERLAP.
5. INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES; MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER; B) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 1A OR 1B AS DEFINED IN ASTM D2321; MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.
6. INSTALL UNDERDRAINS IN ACCORDANCE WITH FDOT SPECIFICATION SECTION 440. INSTALL CLEANOUTS AS SHOWN ON THE DRAWINGS.
7. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

SIGNS AND PAVEMENT MARKINGS

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" x 4"). RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FDOT INDEX NO. 1733.
3. PARKING SALT PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 971, NON-REFLECTIVE WHITE TRAFFIC PAINT, TWO COATS.
4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENOILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN THREE-INCH LETTERS.
5. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION.
7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WRING, ETC.
8. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION.
9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

GOVERNING DOCUMENTS NOTE:

"ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION OF THE FDOT STANDARD PLANS FOR ROADWAY CONSTRUCTION, FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, FLORIDA DESIGN MANUAL, FLORIDA GREENBOOK, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)."

HURRICANE NOTE:

"ALL LANES MUST BE OPENED TO TRAFFIC WITHIN 12 HOURS AFTER RECEIVING NOTIFICATION OF A HURRICANE EVACUATION OR ANY OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE PERMITS MANAGER."

PRE-WORK MEETING NOTE:

"ENGINEER SHALL SCHEDULE AND HAVE AN ON-SITE PRE-WORK MEETING WITH REPRESENTATIVES FROM THE ENGINEERING FIRM, FDOT, QUALITY CONTROL TESTING LABORATORY, PRIME CONTRACTOR, AND ANY OTHER INTERESTED PARTY PRESENT."

PRE-PAVING MEETING NOTE:

"PAVING CONTRACTOR SHALL SCHEDULE A PRE-PAVING MEETING WITH FDOT, PROPOSED ASPHALT MIX DESIGNS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO OR AT THE PRE-PAVING MEETING."

QC PLAN NOTE:

"CONTRACTOR MUST SUBMIT A QUALITY CONTROL PLAN FOR FDOT REVIEW AND APPROVAL BEFORE OR AT THE REQUIRED PRE-WORK MEETING. QUALITY CONTROL TESTING SHALL BE PERFORMED BY FDOT CERTIFIED TECHNICIANS AND TESTING LABORATORY. ALL TEST RESULTS SHALL BE PROVIDED TO FDOT AS SOON AS PRACTICAL."

SOD NOTE:

"SOD AREAS WITHIN 32'-0" OF EDGE OF PAVEMENT & SLOPES GREATER THAN 1:3. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDRO-SEEDING. SEE FDOT STANDARD PLANS INDEX 570-010 AND SECTION 570 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION."

STRIPING NOTE:

"ALL STRIPING WITHIN FDOT RIGHT OF WAY SHALL BE THERMOPLASTIC AND ADHERE TO FDOT STANDARD PLANS INDEX 711-001 AND SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. STANDARD SPEC 711-4.1 STATES: "WAIT AT LEAST 14 DAYS AFTER CONSTRUCTING THE FINAL ASPHALT SURFACE COURSE TO PLACE THERMOPLASTIC PAVEMENT MARKINGS. INSTALLATION OF THERMOPLASTIC ON CONCRETE REQUIRES A CLEAN, DRY SURFACE. FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION FOR THERMOPLASTIC ON CONCRETE. PROVIDE TEMPORARY PAVEMENT MARKINGS DURING THE INTERIM PERIOD PRIOR TO OPENING THE ROAD TO TRAFFIC OR RECAP STANDARD THERMOPLASTIC PAVEMENT MARKINGS FOR LONGITUDINAL LINES TO ATTAIN A MINIMUM THICKNESS OF 0.10 INCH OR 100 MILS AND A MAXIMUM THICKNESS 0.15 INCH OR 150 MILS WHEN MEASURED ABOVE THE PAVEMENT SURFACE. MARKINGS OTHER THAN LONGITUDINAL LINES, WHEREVER LOCATED, WILL HAVE A THICKNESS OF 0.09 INCH OR 90 MILS TO 0.12 INCH OR 120 MILS WHEN MEASURED ABOVE THE PAVEMENT SURFACE."

LANE AND SHOULDER CLOSURES:

"ALL LANE AND SHOULDER CLOSURES MUST BE REQUESTED IN WRITING AND APPROVED A MINIMUM OF 48 HOURS PRIOR TO WORK STARTING. ALLOW UP TO 2 WEEKS FOR LANE CLOSURE APPROVAL PROCESS. CONTACT LOCAL PERMITS OFFICE FOR MORE DETAILS AT 850-836-5790 OR 850-836-5742."

DITCH FLOWLINE:

"IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE SIDE DRAIN PIPES AT PROPER ELEVATIONS TO MATCH THE FLOWLINE OF THE DRAINAGE DITCH (NOT SEDIMENT BUILD-UP) TO ENSURE POSITIVE STORMWATER FLOW."

QUANTUM ENGINEERING GROUP, INC.

5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311

Phone: (850) 544-1326

BMHPL LLC

4035 HIGH RIDGE DR

NEW SMYRNA BCH, FL 32168

(863) 738-1109

CUEF:

BONIFAY MOBILE HOME PARK

PROJECT NAME:

GENERAL NOTES SHEET

SHEET TITLE:

SEAL:

DRAWN BY:

CHECKED BY:

EMB

EMB

PROJECT NO.:

22169

DRAWING SCALE:

PLOT DATE:

01/24/2025

SHEET NO.:

4

OF 13

DWG. NO.

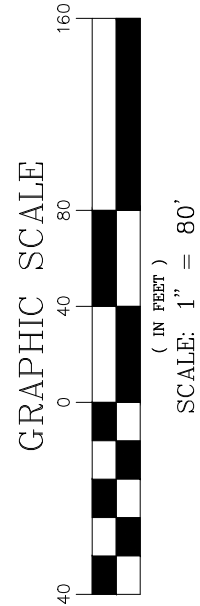
C-4

LAND USE CATEGORIES FOR ADJACENT PARCELS	
NORTH	SR 10 (US 90)
EAST	AGRICULTURE/ SILVICULTURE
WEST	AGRICULTURE/ SILVICULTURE
SOUTH	AGRICULTURE/ SILVICULTURE

CURRENT LAND USES OF ADJACENT PARCELS	
NORTH	SR 10 (US 90)
EAST	AGRICULTURE/ SILVICULTURE
WEST	RURAL RESIDENTIAL
SOUTH	AGRICULTURE/ SILVICULTURE

TOTAL SITE AREA	1,359,356.00 S.F.	31.021 ACRES	100.00 %
PROPOSED BUILDING	8,478.00 S.F.	0.195 ACRES	0.62 %
POOL	11,383.38 S.F.	0.262 ACRES	0.08 %
PROPOSED GRAVEL ROAD	296,694.00 S.F.	3.940 ACRES	12.62 %
CONCRETE PAD & DUMPSTER & HANICRAFT PAD	14,802.00 S.F.	0.340 ACRES	1.09 %
SWMF	52,196.00 S.F.	1.198 ACRES	6.79 %
2 GAZEBOS (500 SQ. FT. EACH)	1,000.00 S.F.	0.023 ACRES	0.11 %
GREEN AREA	985,048.00 S.F.	25.485 ACRES	71.90 %
IMPERVIOUS SURFACE AREA	247,539.00 S.F.	5.692 ACRES	18.24 %
FLOOR AREA RATIO (FAR)	9,478.00 S.F.	0.216 ACRES	0.70 %

DIRECTION	REQUIRED	PROVIDED
EAST	10.00 FEET	104.00 FEET
WEST	10.00 FEET	67.00 FEET
NORTH	25.00 FEET	72.00 FEET
SOUTH	10.00 FEET	56.50 FEET



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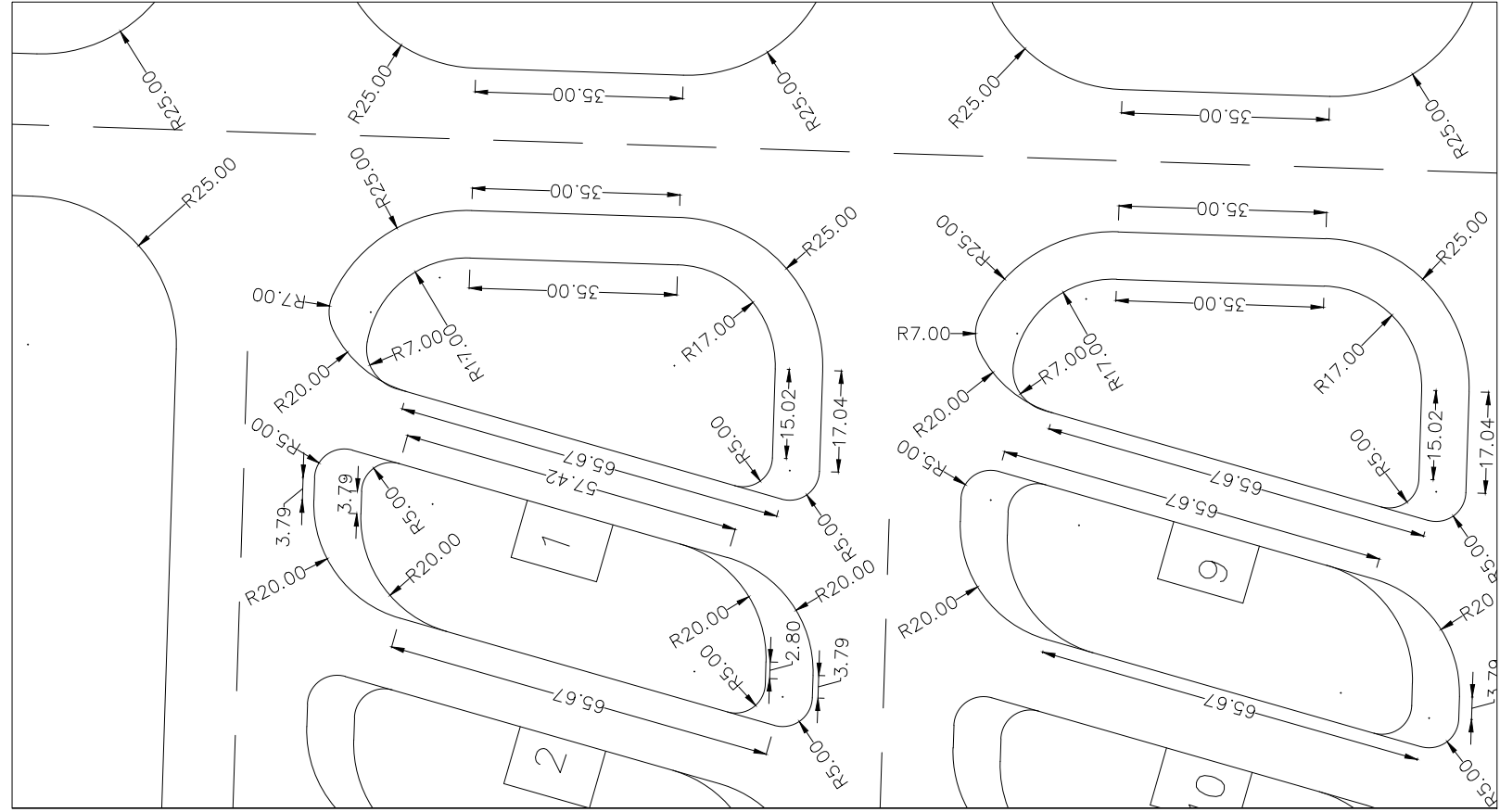
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SHEET TITLE:

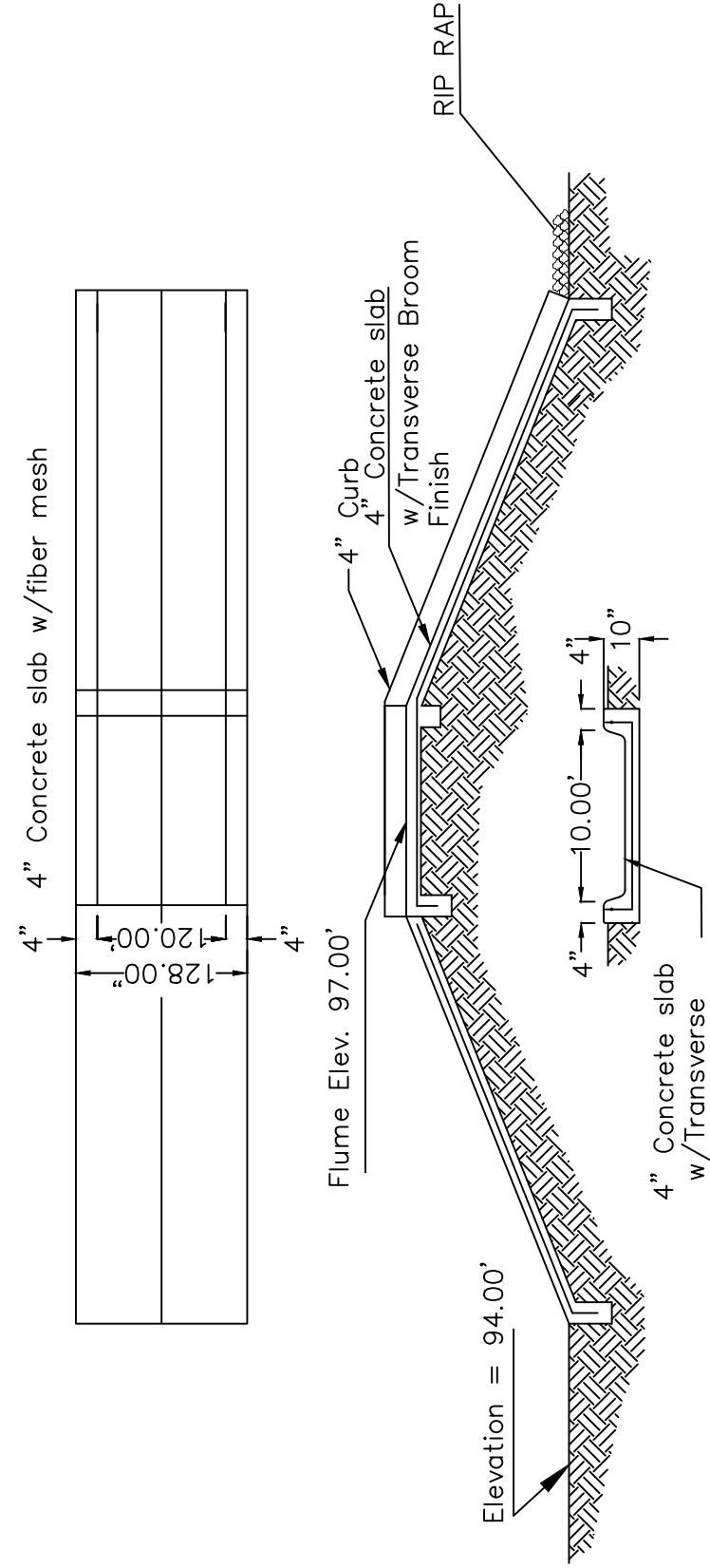
BMHPL LLC
4035 HIGH RIDGE DR
NEW SMYRNA BCH, FL 32168
(863) 738-1109

2

STATE ROAD NO. 10 ~ U.S. HIGHWAY 90
200' RIGHT OF WAY PER FOOT MAP SECTION NO.5201-204
PAVED ROADWAY



SCALE: 1" = 80'
This plan has been prepared and issued by T. J. B. Associates, Inc. for the use of the client. It is not to be used for any other purpose without the written consent of T. J. B. Associates, Inc.



SLOT INFORMATION		
SLOT	GREEN AREA	GREEN AREA
AREA 1	1,537.17	1,516.67
AREA 2	1,537.17	1,516.67
AREA 3	1,537.17	1,516.67
AREA 4	1,537.17	1,516.67
AREA 5	1,537.17	1,516.67
AREA 6	1,537.17	1,516.67
AREA 7	1,537.17	1,516.67
AREA 8	1,537.17	1,516.67
AREA 9	1,537.17	1,516.67
AREA 10	1,537.17	1,516.67
AREA 11	1,537.17	1,516.67
AREA 12	1,537.17	1,516.67
AREA 13	1,537.17	1,516.67
AREA 14	1,537.17	1,516.67
AREA 15	1,537.17	1,516.67
AREA 16	1,537.17	1,516.67
AREA 17	1,537.17	1,516.67
AREA 18	1,537.17	1,516.67
AREA 19	1,537.17	1,516.67
AREA 20	1,537.17	1,516.67
AREA 21	1,537.17	1,516.67
AREA 22	1,537.17	1,516.67
AREA 23	1,537.17	1,516.67
AREA 24	1,537.17	1,516.67
AREA 25	1,537.17	1,516.67
AREA 26	1,537.17	1,516.67
AREA 27	1,537.17	1,516.67
AREA 28	1,537.17	1,516.67
AREA 29	1,537.17	1,516.67
AREA 30	1,537.17	1,516.67
AREA 31	1,537.17	1,516.67

SEAL:

DRAWN BY: EMB

CHECKED BY: EMB

PLOT DATE: 01/24/2025

SHEET NO.: 6 OF 13

DWG. NO.

BONIFAY MOBILE HOME PARK

PROJECT NAME:

GRADING SHEET

SHEET TITLE:

QUANTUM ENGINEERING GROUP, INC.

5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311

Phone: (850) 544-1326

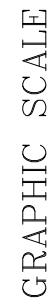
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C-6



(IN FEET)
SCALE: 1" = 80'

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PAVED ROADWAY

OWNER: LOCKE INVESTMENTS LLC
PARCEL ID: 0606.01-000-000-001.300
ORB 457, PG 75

DRAINAGE AREA
923843.33 SQ. FT

OWNER: WM R & BEVERLY COOK
PARCEL ID: 0605.00-000-000-016.000
ORB 118, PG 334

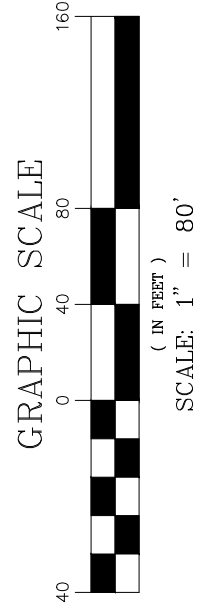
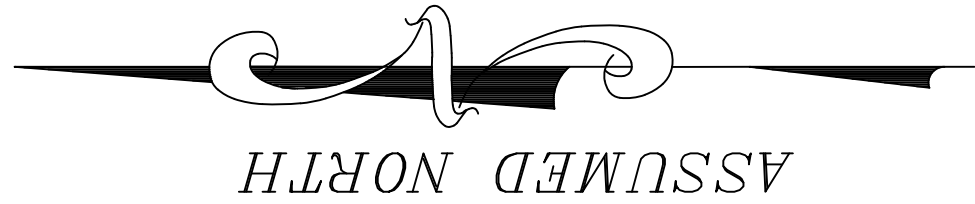
OWNER: JENNY B WILLIAMS
PARCEL ID: 0606.01-000-000-010.000

OWNER: BRENDA BRANNON ALFORD
PARCEL ID: 0606.01-000-000-014.000

OWNER: REGINA C M PEAVY
PARCEL ID: 0606.01-000-000-031.000
ORR 581 PG 1155

OWNER: DOUGLAS H & SHERYL A CASPARI
PARCEL ID: 0606.01-000-000-024.000
ORR 636 PG 6

C-7



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STATE ROAD NO. 10 ~ U.S. HIGHWAY 90
200' RIGHT OF WAY PER FDOT MAP SECTION NO.5201-204
PAVED ROADWAY



OWNER: EMMANUEL P. JAMES & DAVID S. JAMES
PARCEL ID: 8006.01-000-000-010.000
ORB 483, PG 706

OWNER: JENNY B. WILLIAMS
PARCEL ID: 8006.01-000-000-010.000
ORB 480, PG 241

OWNER: JENNIFER A. DAVAR
PARCEL ID: 8006.01-000-000-014.000
ORB 500, PG 562

OWNER: REGINA C. M. FEVAY
PARCEL ID: 8006.01-000-000-031.000
ORB 491, PG 3205

OWNER: LODGE INVESTMENTS LLC
PARCEL ID: 8006.01-000-001-001.000
ORB 497, PG 20

OWNER: WILSON P. & REBECCA C. WILSON
PARCEL ID: 8006.01-000-000-010.000
ORB 116, PG 334

QUANTUM ENGINEERING GROUP, INC.
5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311
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BMHPL LLC
4035 HIGH RIDGE DR
NEW SMYRNA BCH, FL 32168
(863) 738-1109

BONIFAY MOBILE HOME PARK

SWPPP SHEET

SEAL: EZZELDIN BENGHUIZZI, P.E.
FL P.E. # 53904

DRAWN BY: EMB
PROJECT NO.: 22169
DRAWING SCALE:
PLOT DATE: 01/24/2025
SHEET NO. 8 OF 13
DWG. NO.

REVISION

APPR.

DATE

NO.

C-8

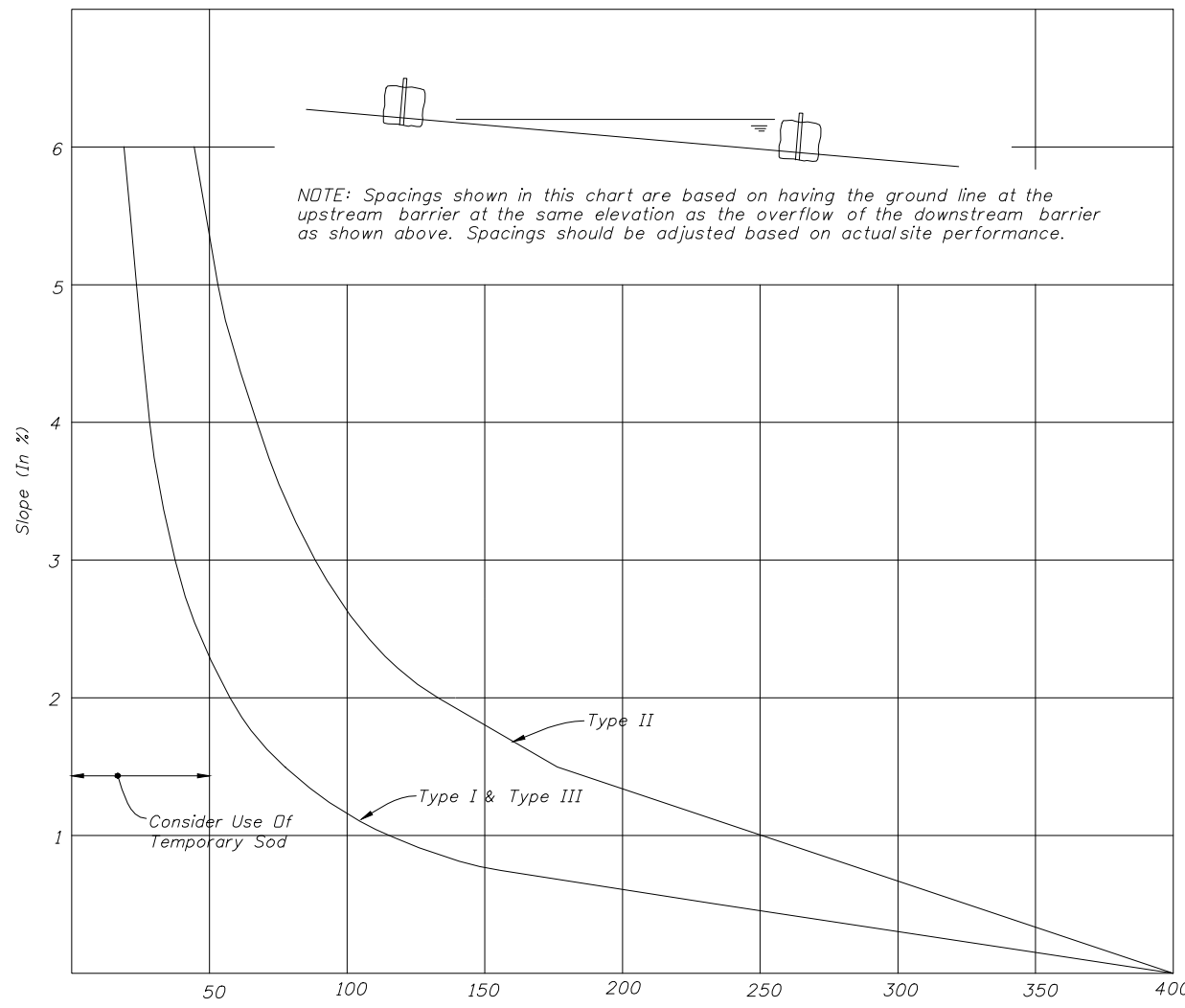
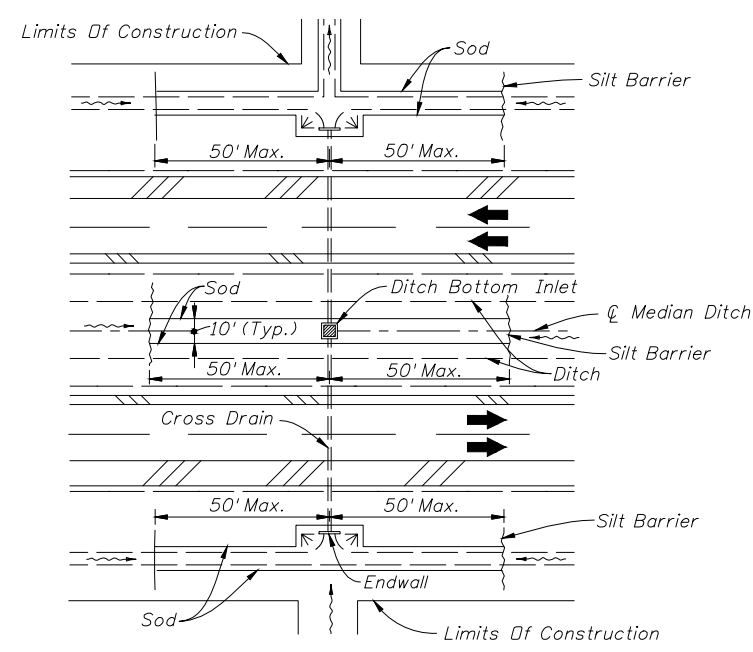
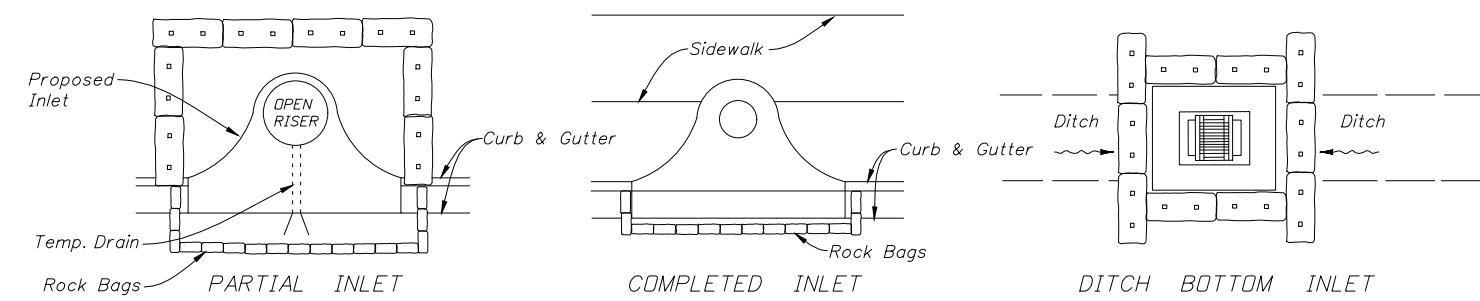


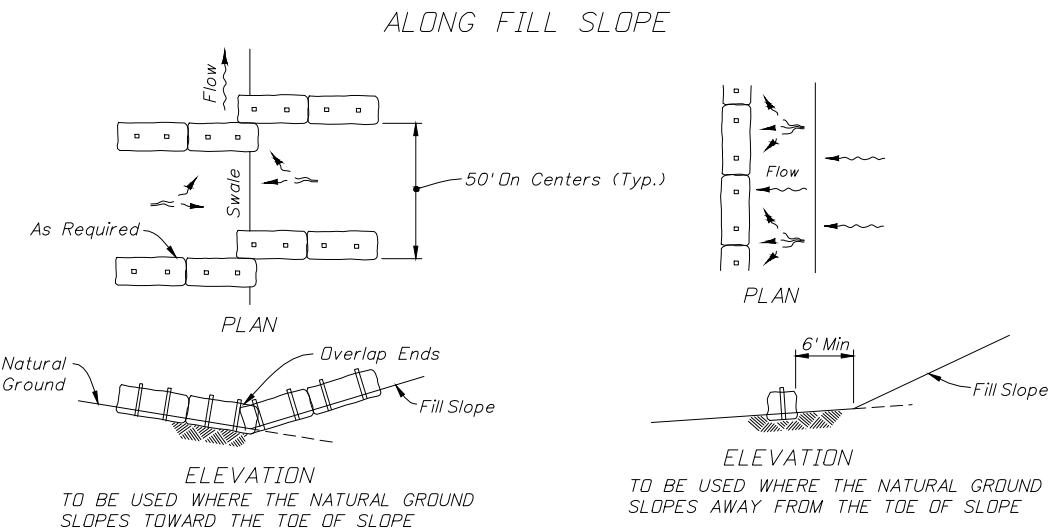
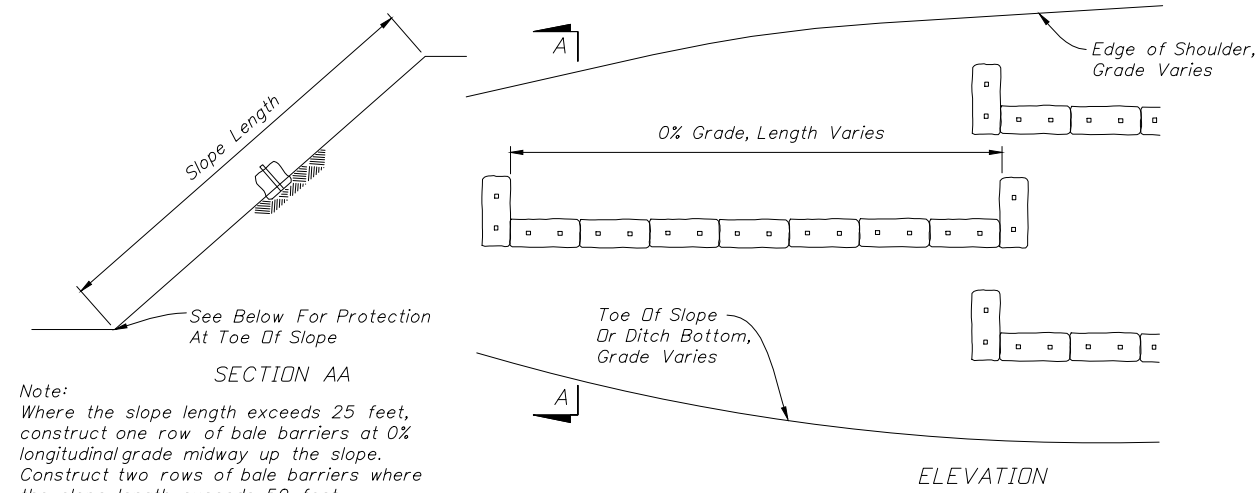
CHART I
RECOMMENDED SPACING FOR SYNTHETIC BALES OR BALE TYPE BARRIERS AND TYPE III SILT FENCE



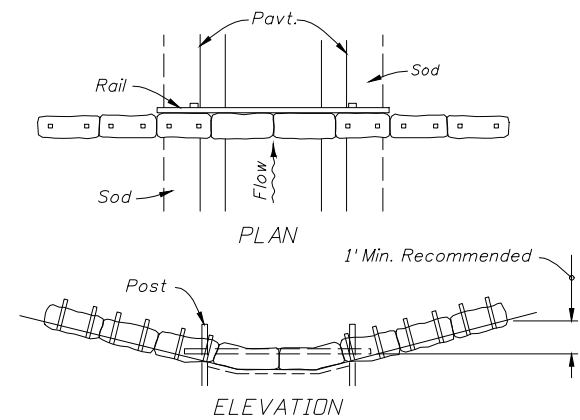
DITCH INSTALLATIONS AT DRAINAGE STRUCTURES



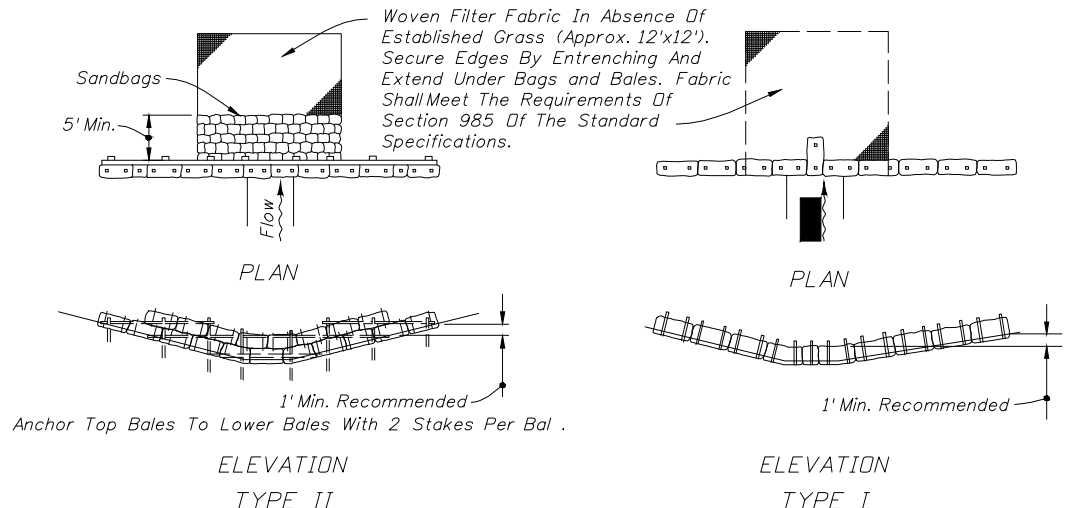
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



AT TOE OF SLOPE
BARRIERS FOR FILL SLOPES



SYNTHETIC BALES OR BALE
TYPE BARRIERS FOR PAVED DITCHES



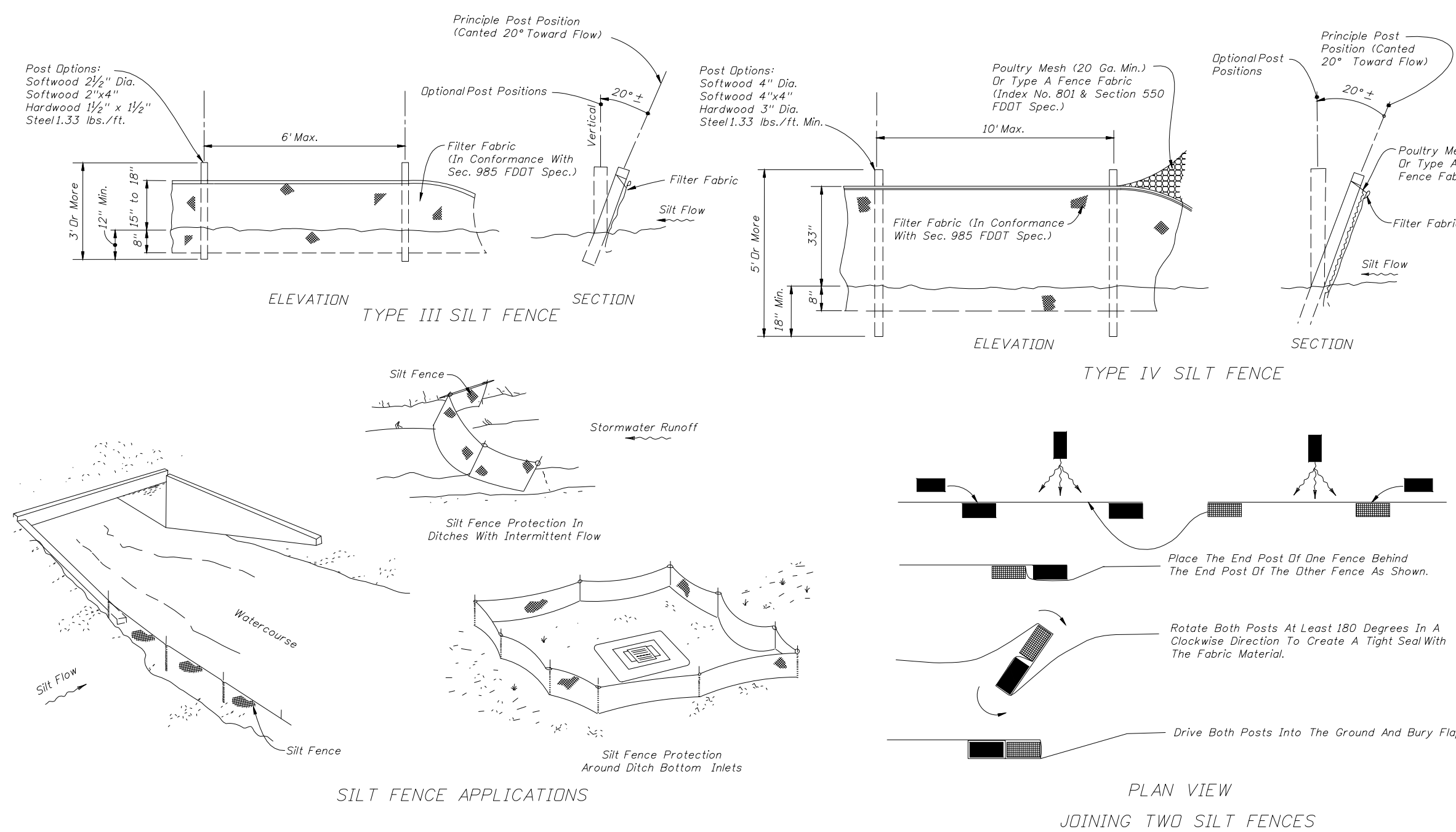
SYNTHETIC BALES OR BALE TYPE BARRIERS FOR UNPAVED DITCHES

NOTES FOR SYNTHETIC BALES OR BALE TYPE BARRIERS

- Type I and II Synthetic Barrier should be spaced in accordance with Chart I, Sheet I.
- Bales shall be anchored with 2" x 2" (or 1" dia.) x 4" wood stakes. Stakes of other material or shape providing equivalent strength may be used if approved by the Engineer. Stakes other than wood shall be removed upon completion of the project.
- Rolls and posts shall be 2" x 4" wood. Other materials providing equivalent strength may be used if approved by the Engineer.
- Adjacent bales shall be butted firmly together.
- Where used in conjunction with silt fence, bales shall be placed on the upstream side of the fence.
- Bales to be paid for under the contract unit price for Synthetic Bales, LF. The unit price shall include the cost of filter fabric for Type I and II Barriers. Sandbags shall be paid for under the unit price for Sandbagging, CY. Rock bags to be paid for under the contract unit price for Rock Bags, EA.

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC., ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- FDOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED IN D-903. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
- THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
- EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
- LOOSE STRAW SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
- FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL, REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.R.) CHAPTER 6.
- EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
- ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAY BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
- ALL EROSION, AND SEDIMENT CONTROL, TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE STABILIZED.
- THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SOD FOR EROSION AND SEDIMENTATION CONTROL, THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.



SILT FENCE APPLICATIONS

NOTES FOR SILT FENCES

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart I, Sheet I.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (LF).

This item has been signed and sealed by Ezzeldin Benghuuzi, P.E. on 07/24/2025 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature and authentication code must be verified on any electronic copies.

QUANTUM ENGINEERING GROUP, INC.
5547 Hampton Woods Way, TALLAHASSEE, FL 32311
Phone: (850) 942-0473

BMHPL LLC
4035 HIGH RIDGE DR
NEW SMYRNA BCH, FL 32168
(863) 738-1109

CLIENT:

BONIFAY MOBILE HOME PARK

PROJECT NAME:

SWPPP Sheet

SHEET TITLE:

SEAL:

DRAWN BY: CHECKED BY:

EMB EMB

PROJECT NO.: 22169

DRAWING SCALE:

PLOT DATE:
01/24/2025

SHEET NO. 9 OF 13

DWG. NO.

C-9

STATE ROAD NO. 10 ~ U.S. HIGHWAY 90
200' RIGHT OF WAY PER FDOT MAP SECTION NO.5201-204
PAVED ROADWAY

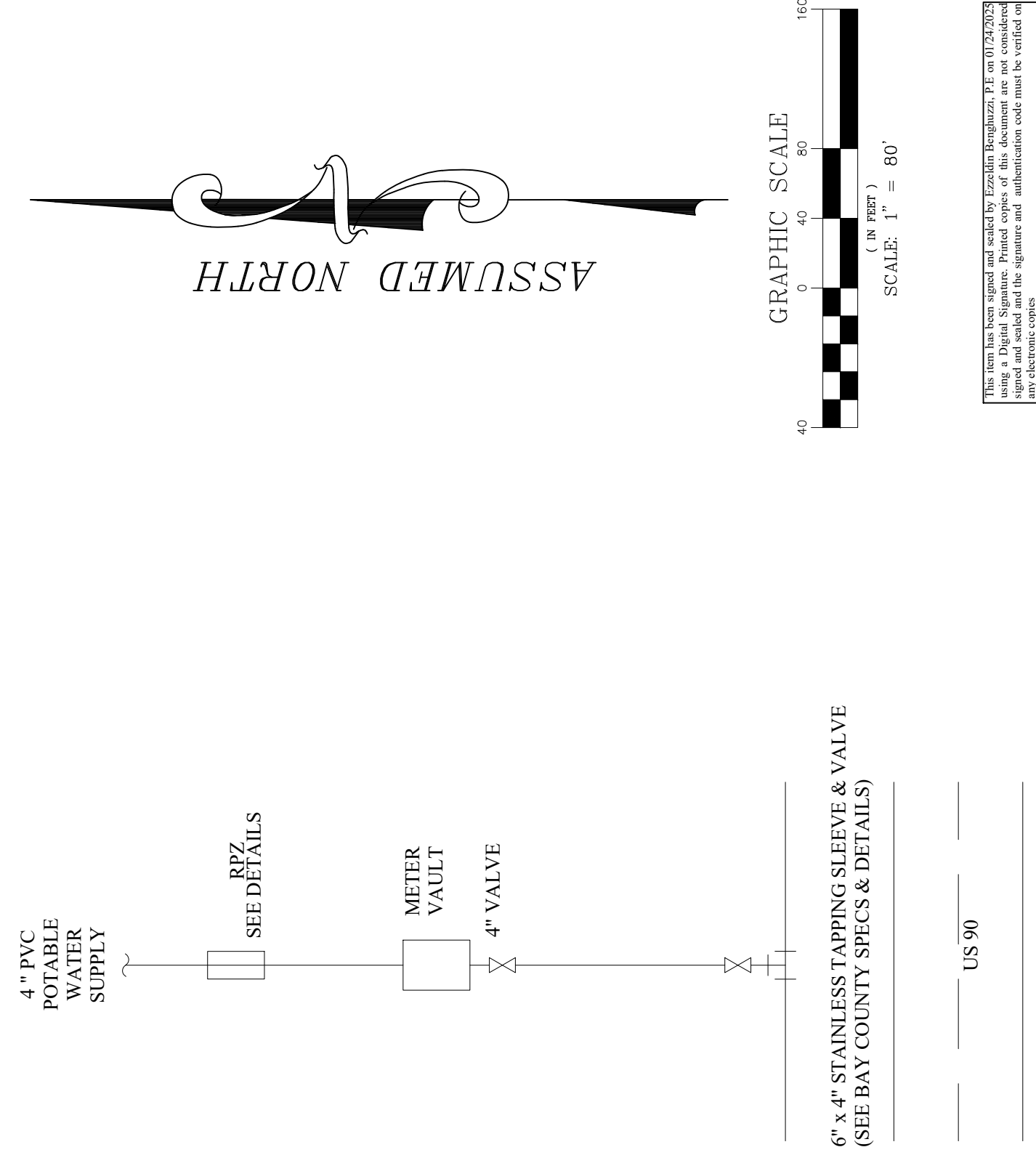


GENERAL NOTES:

1. REFER TO BAY COUNTY LATEST WRITTEN SPECIFICATIONS REGARDING NEW TESTING PROCEDURES FOR GRAVITY SEWER SYSTEMS
 - 2.THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MEETING THE REQUIREMENTS OF BAY COUNTY UTILITIES STANDARD DETAILS AND SPECIFICATIONS LATEST EDITION.
 3. DEVELOPERS OF PRIVATE PROJECTS SHALL PROVIDE ALL WETLANDS PERMITS NECESSARY FOR UTILITY CONSTRUCTION
 4. ALL MANHOLES SHALL HAVE FINAL PAVEMENT AROUND THEM FOR PROTECTION PRIOR TO ACCEPTANCE BY THE CITY OF BONIFAY. ALL SEWER MAINS SHALL BE COVERED TO FINISH GRADING FOR PROTECTION PRIOR ACCEPTANCE BY CITY UTILITIES
- SANITARY_SEWER_GENERAL NOTES
- 1.CONTRACTOR SHALL COORDINATE INSTALLATION OF SANITARY SEWERS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 2. VIDEO INSPECTION IS REQUIRED FOR ALL GRAVITY SEWER UNES AND LATERALS PRIOR TO PAVING BUT AFTER ALL OTHER UTILITIES HAVE BEEN INSTALLED. A FULL REPORT SHALL BE GIVEN TO CITY OF BONIFAY UTILITIES UPON COMPLETION. COST OF VIDEO INSPECTION SHALL BE DONE BY THE CONTRACTOR.
 3. NO SANITARY SEWER CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWING SUBMITTALS HAVE BEEN APPROVED.
 4. A PRE-CONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO THE TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY CITY OF BONIFAY 48 HOURS PRIOR COMMENCEMENT OF CONSTRUCTION. A CITY OF BONIFAY REPRESENTATIVE MUST WITNESS ALL TIES TO EXISTING LINES AND TESTS OF NEW LINES.

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5. ENGINEER SHALL PROVIDE AS-BUILT DRAWINGS IN ACCORDANCE WITH CITY OF BONIFAY SPECIFICATIONS.
6. LOCATOR BALLS AS MANUFACTURED BY 3M PART NO. 1404 TO BE PLACED ON NORTH SIDE OF ALL MANHOLES NOT WITHIN PAVED AREAS. MANHOLES OUTSIDE OF PAVED AREAS SHALL BE CONSTRUCTED WITH TOP 6" ABOVE GRADE.
7. ALL GRAVITY SEWER SHALL BE VISUALLY INSPECTED (I.E. LAMPED) BY CITY OF BONIFAY PRIOR TO FINAL ACCEPTANCE.
8. ALL MECHANICAL JOINT CONNECTIONS SHALL BE RESTRAINED USING MEGA-LUG TYPE RESTRAINTS OR APPROVED EQUAL.
9. MIN. SERVICE SLOPE: 6"=1/8' PER FOOT.
10. A 4" BALL MARKER AS MANUFACTURED BY 3M PART NO. 1404 SHALL BE PLACED AT ALL CLEANOUT LOCATIONS NO DEEPER THAN 36-INCHES.
11. LOCATIONS OF SERVICE STUB TO BE MARKED BY THE LETTER "S" SCRIBED A MINIMUM OF 2" HIGH & 1/4" DEEP IN CURB.
12. IF NO CURBING IS INSTALLED A "3" SQUARE STEEL TAG INSCRIBED WITH A 2" LETTER "S" IS TO BE ATTACHED TO STREET PAVEMENT.
13. SERVICE TRENCHING TO CONFORM TO CITY/COUNTY STANDARDS FOR PIPE INSTALLATION.
14. USE HYDRAULIC CEMENT GROUT TO SEAL INTERIOR AND EXTERIOR OF ALL PRECAST MANHOLE JOINTS.
15. ALL GRAVITY SEWER AND SEWER SERVICES SHALL HAVE CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 30 INCHES UNDER PAVEMENT OR LESS THAN 18 INCHES IN GREEN AREAS.
16. EXTERNAL DROP TYPE MANHOLES ARE REQUIRED WHERE MANHOLE INVERT ELEVATIONS VARY BY OVER 18-INCHES.
17. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH BAY COUNTY WRITTEN SPECIFICATIONS, LATEST EDITION.

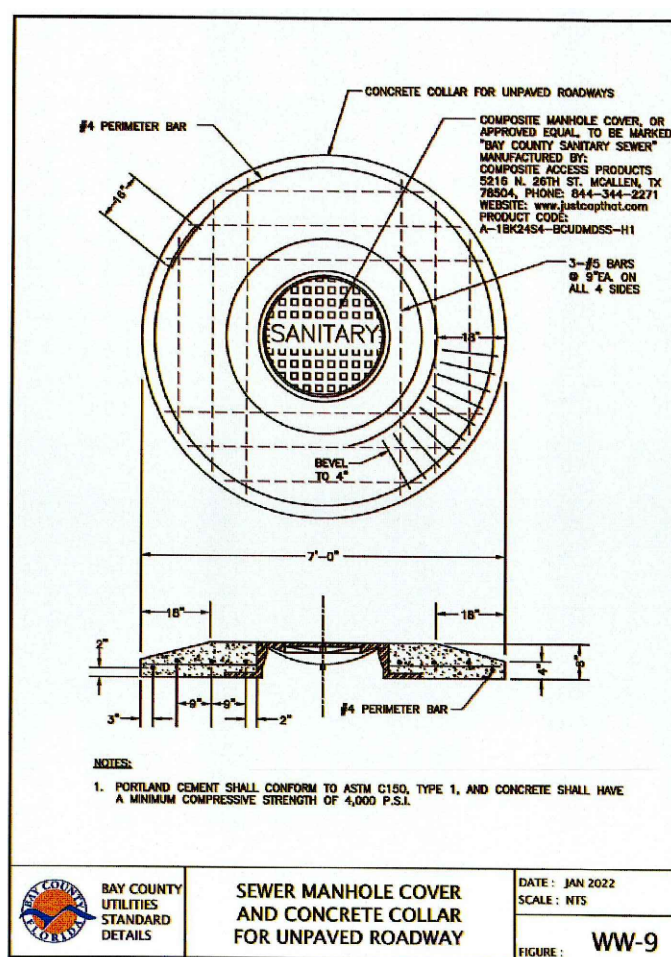
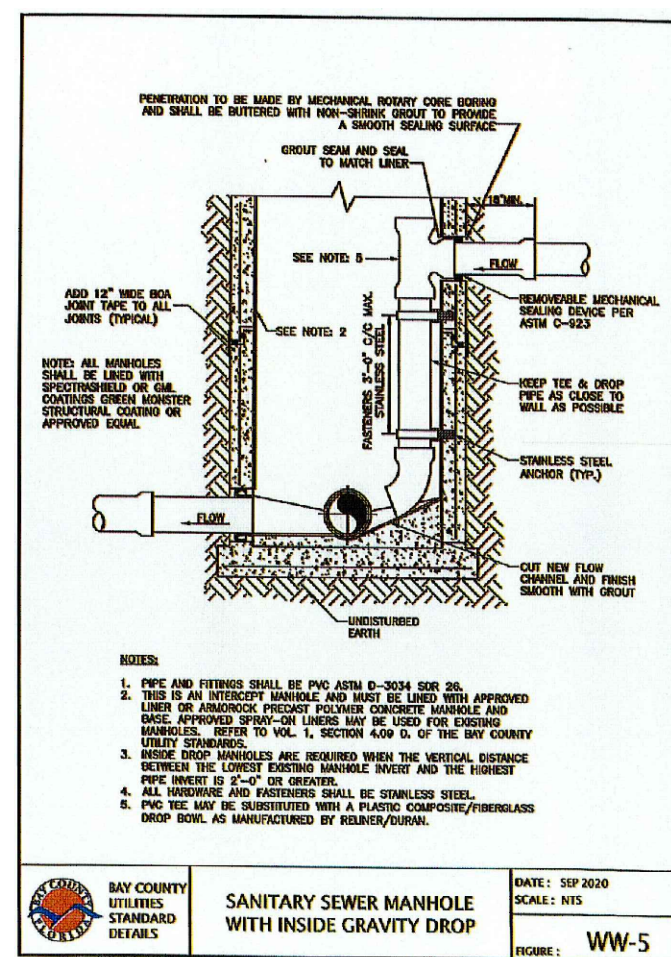
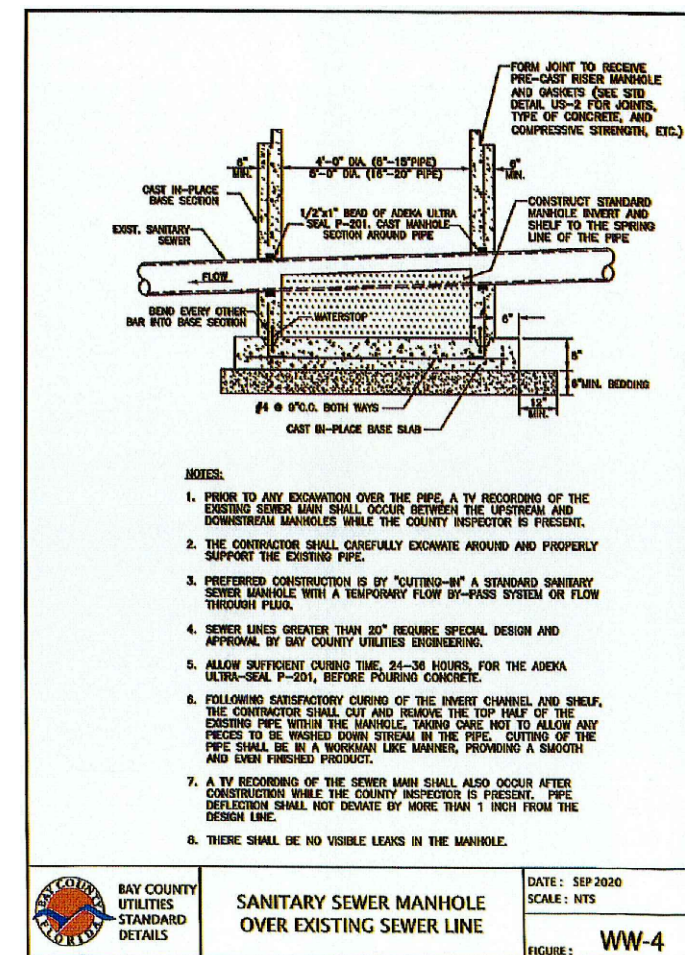
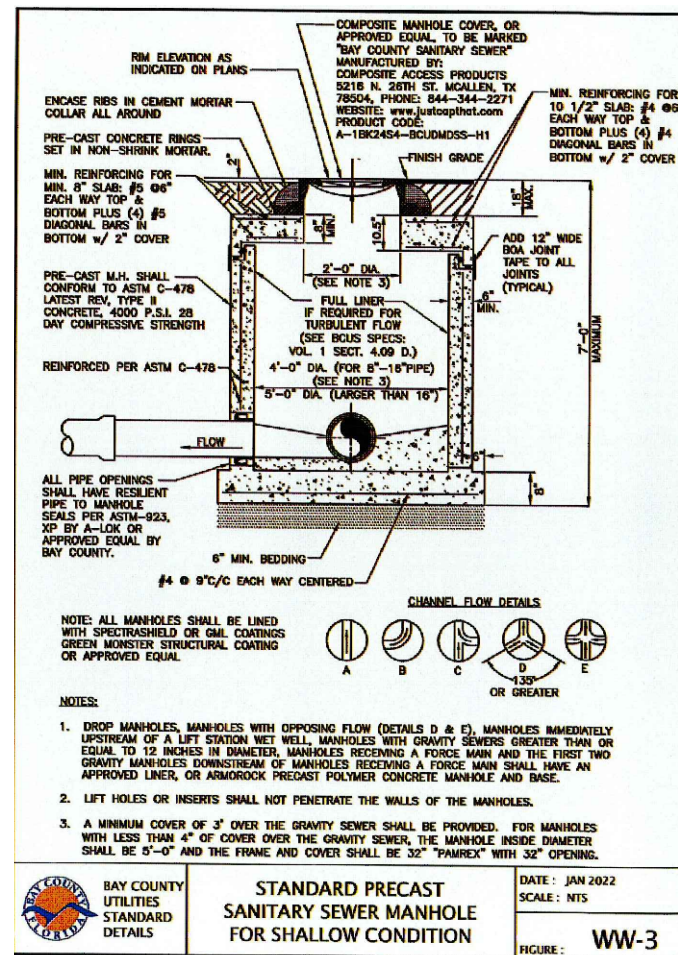
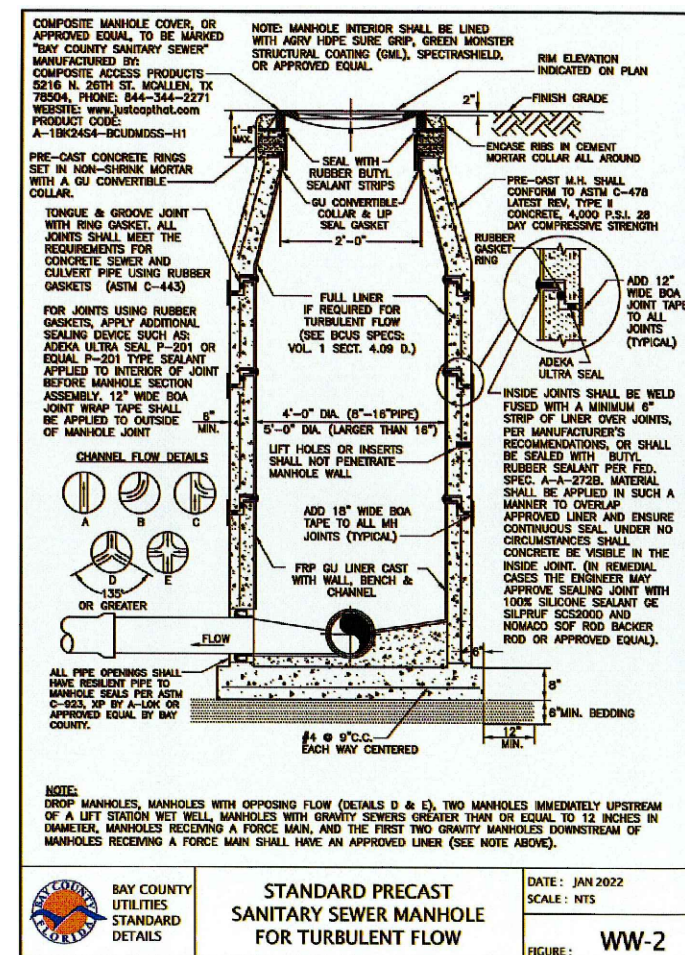
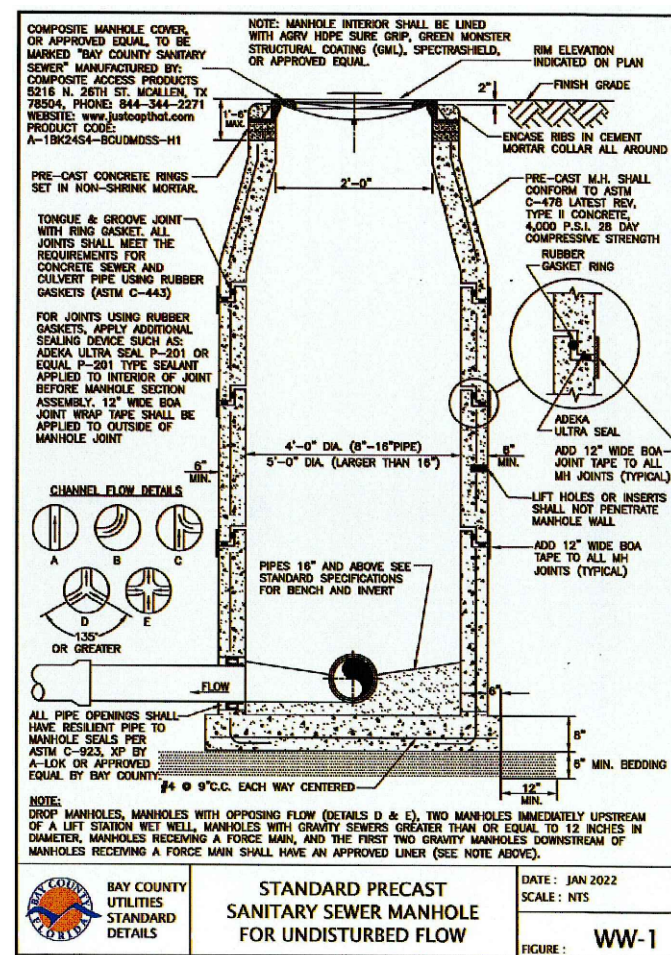
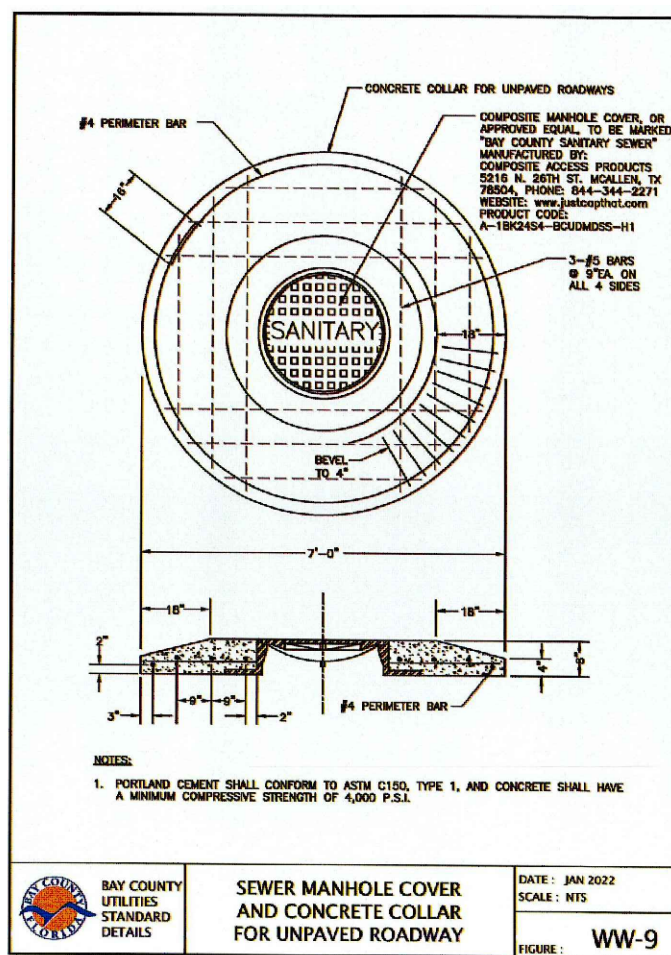
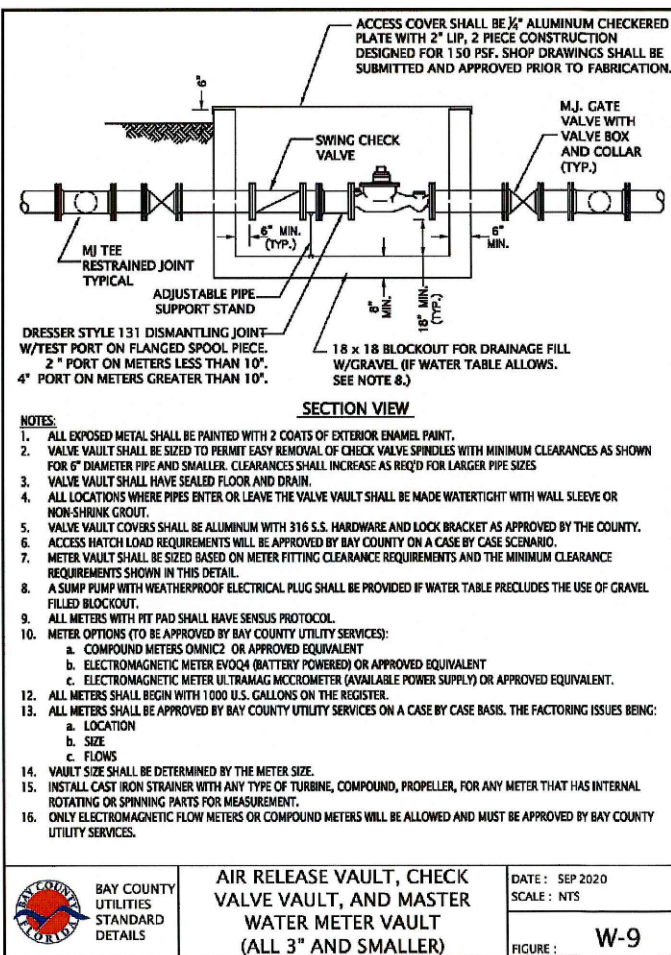
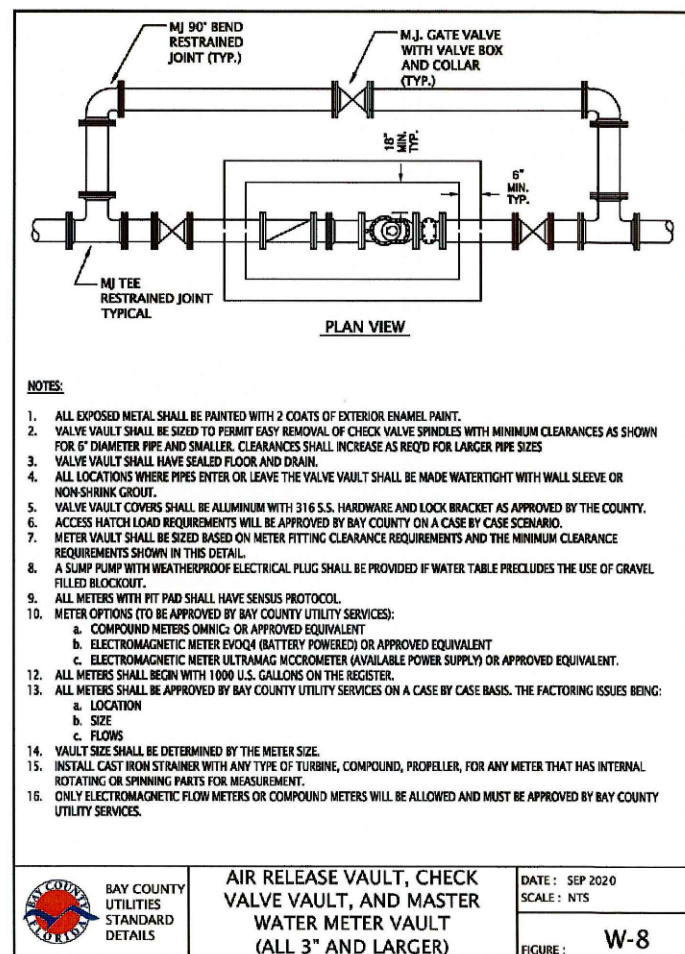
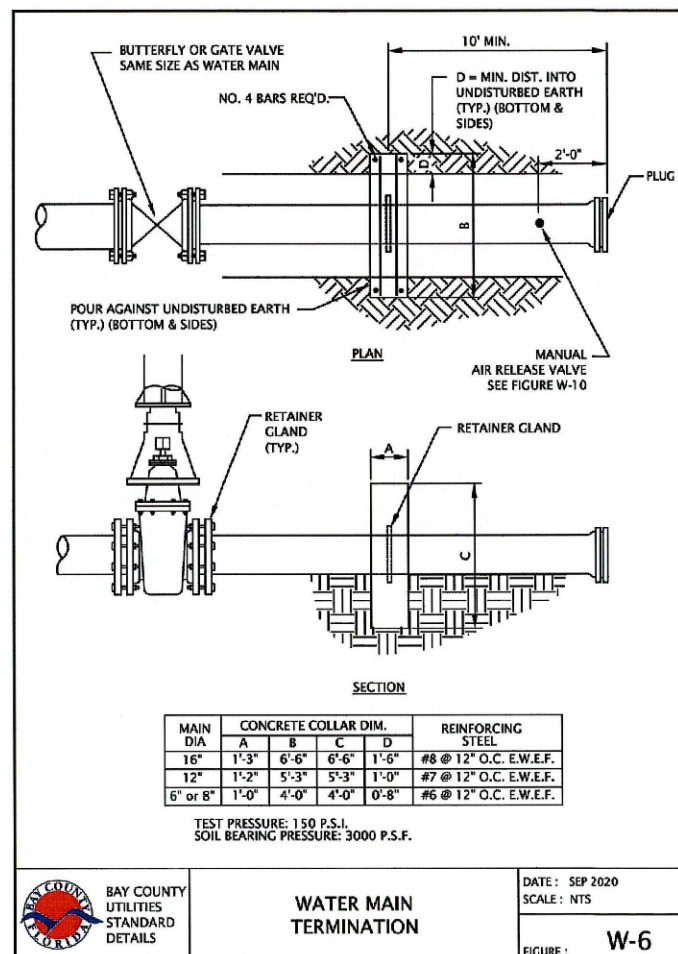
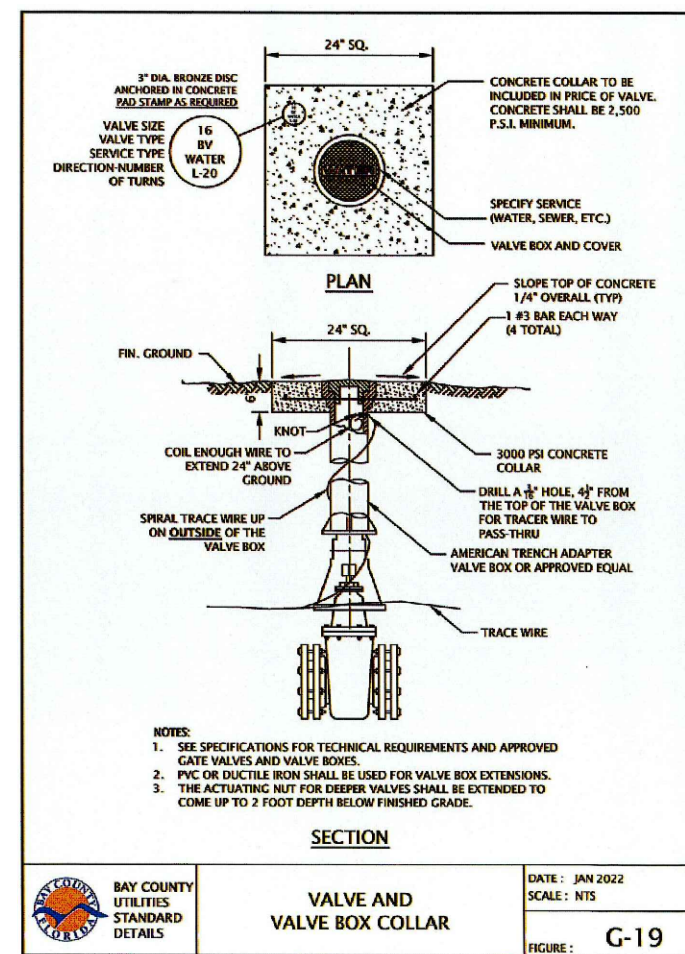
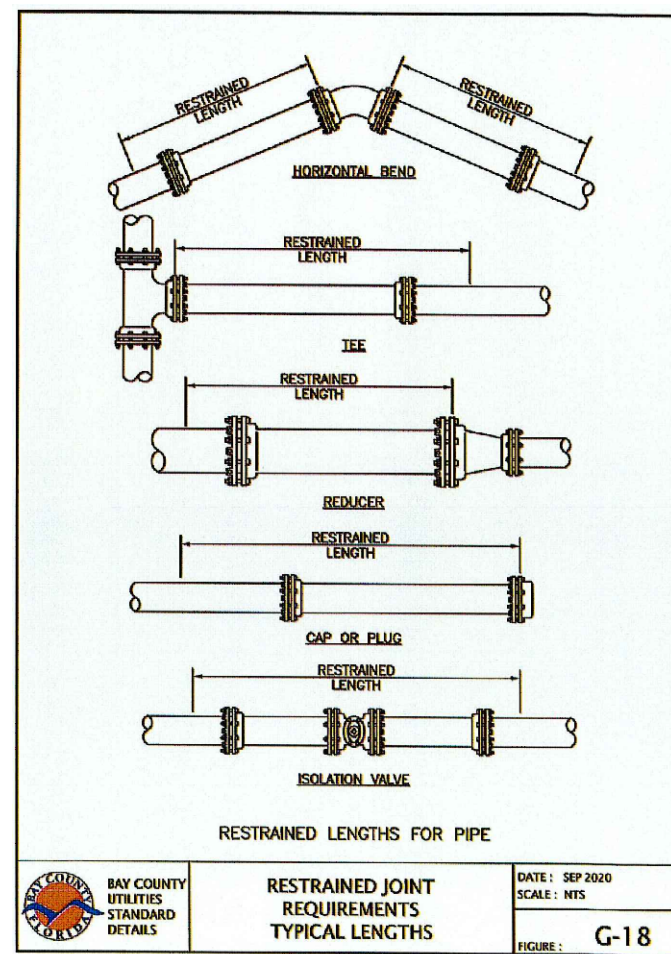
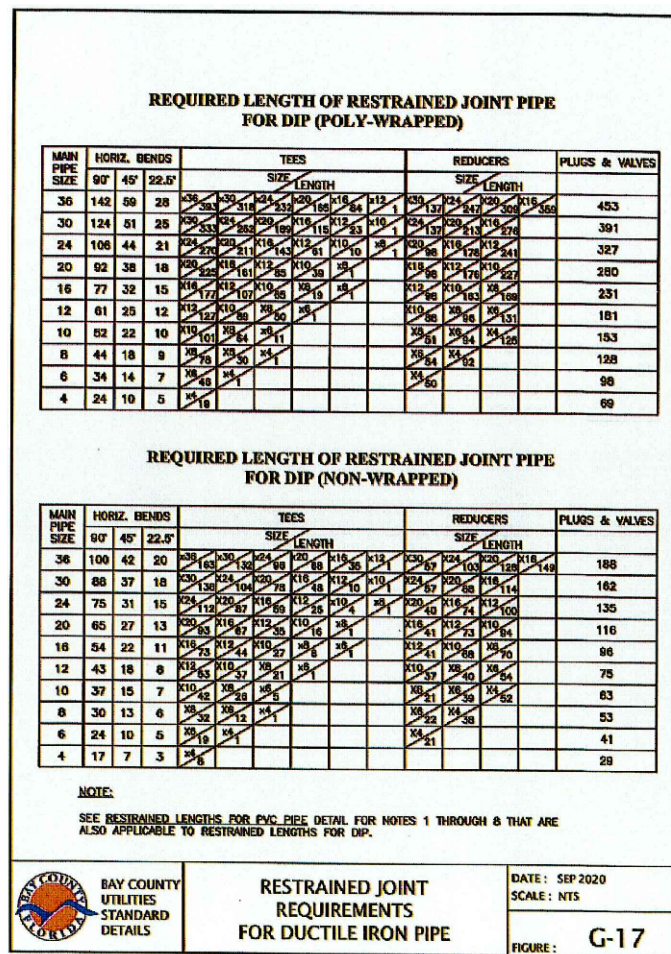
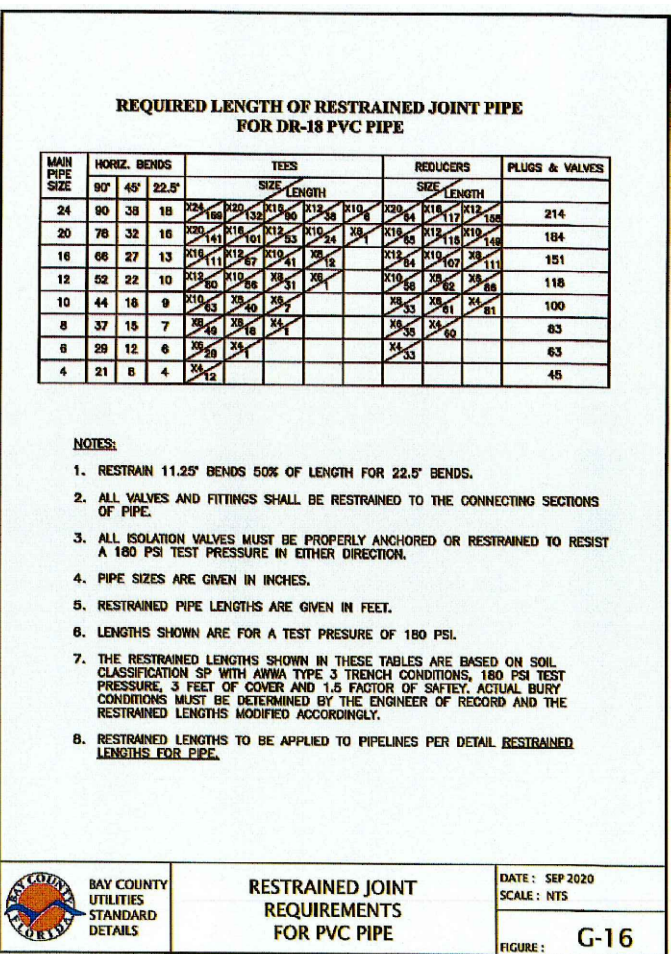
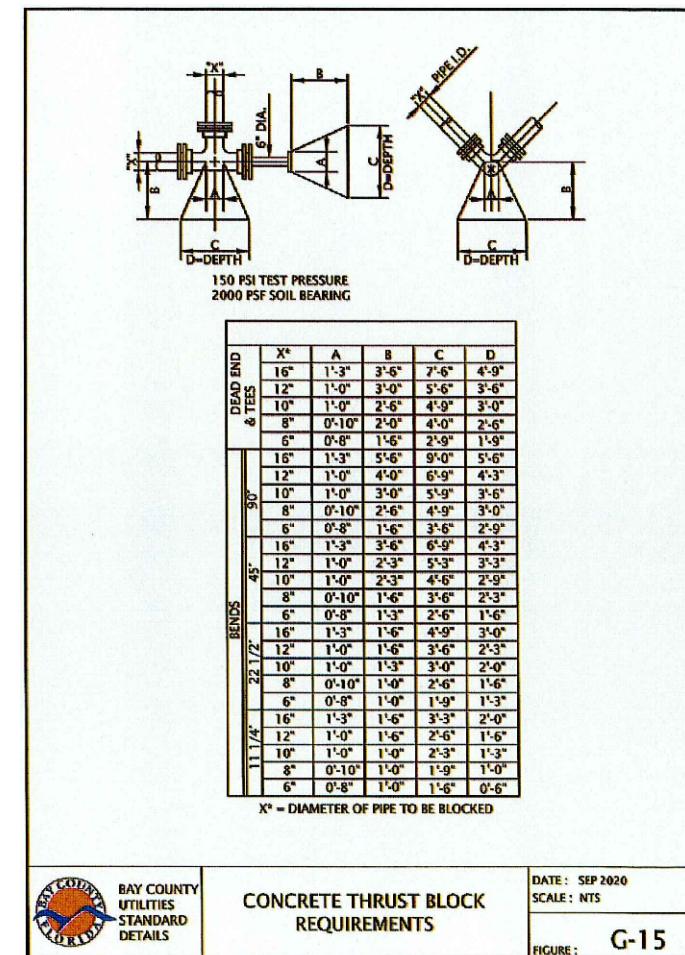
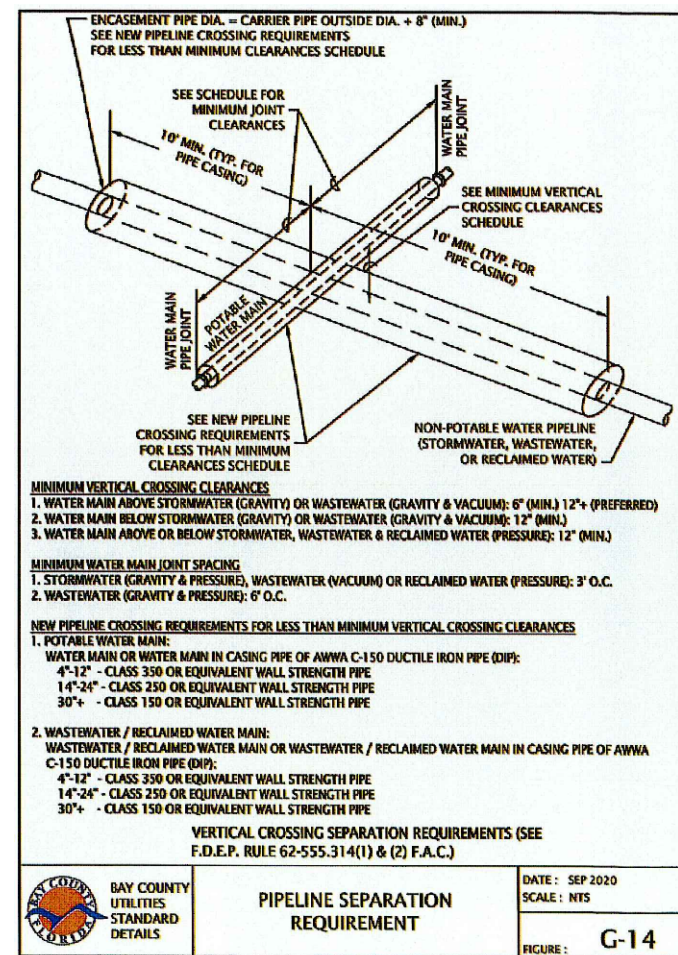
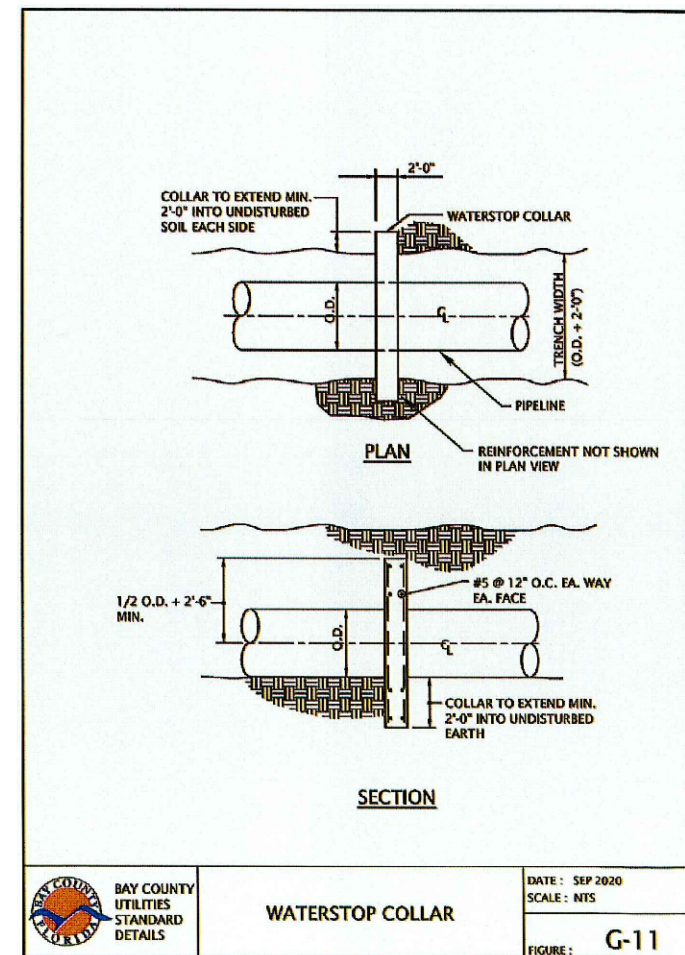
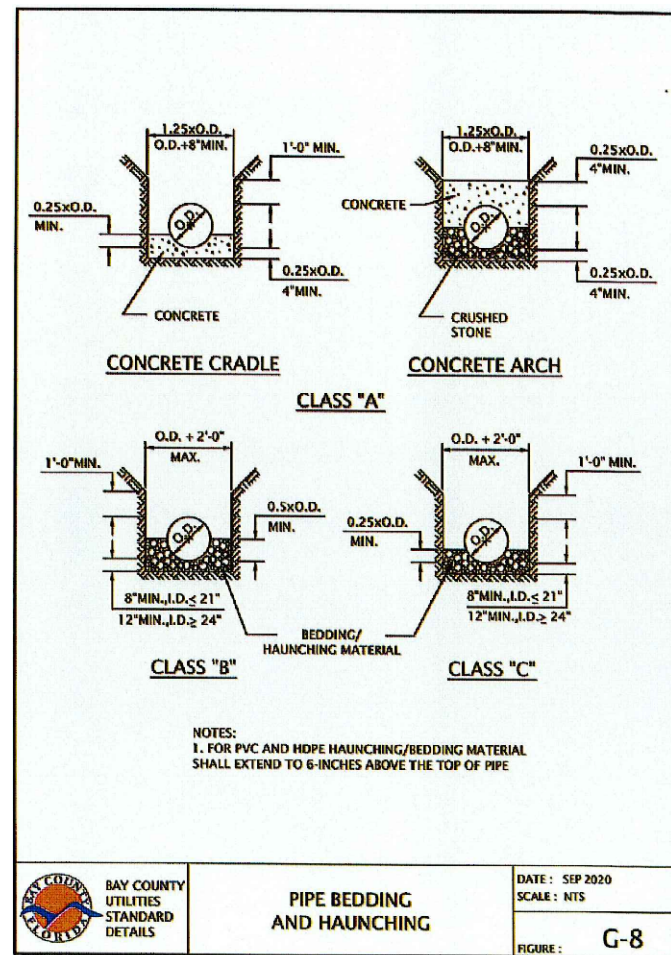
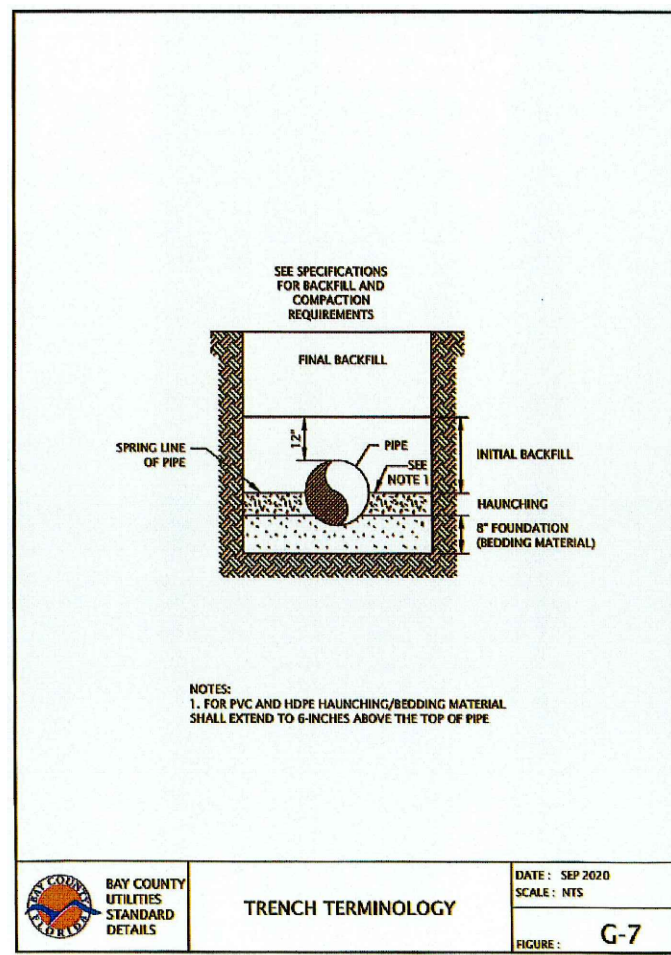
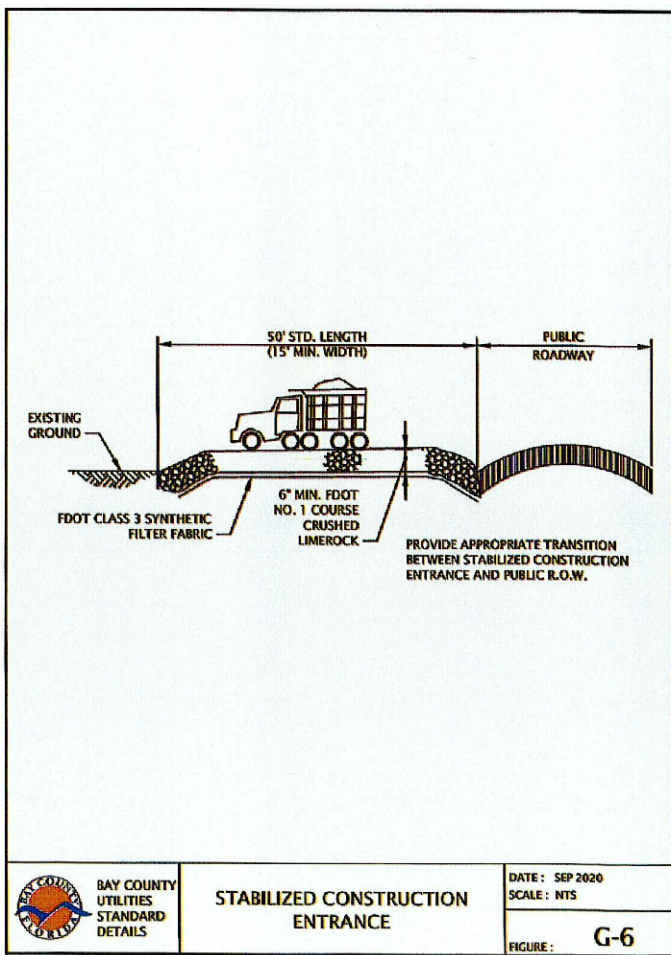


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	EMB	EMB
	PROJECT NO.: 22169	
	DRAWING SCALE:	
PLOT DATE: 01/24/2025		
SHEET NO. <u>11</u> OF <u>13</u>		

C-11

<p>BONIFAY MOBILE HOME PARK</p> <p>PROJECT NAME:</p>	<p>QUANTUM ENGINEERING GROUP, INC.</p> <p>5547 HAMPTONWOODS WAY, TALLAHASSEE, FL 32311</p> <p>Phone: (850) 544-1326</p>
<p>UTILITY SHEET</p> <p>SHEET TITLE:</p>	<p>BMHPL LLC</p> <p>4035 HIGH RIDGE DR</p> <p>NEW SMYRNA BCH, FL 32168</p> <p>CLIENT: (863) 738-1109</p>





Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

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QUANTUM ENGINEERING GROUP, INC.
 5547 Hampton Woods Way, TALLAHASSEE, FL 32311
 Phone: (850) 942-0473

BONIFAY MOBILE HOME PARK
 PROJECT NAME:
 SHEET TITLE: **UTILITY SHEET**

SCAL: _____

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PROJECT NO.: 22169

DRAWING SCALE: _____

PLOT DATE: 01/24/2025

SHEET NO. 12 OF 13

DWG. NO. **C-12**

CLIENT: **BMHPL LLC**
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 NEW SMYRNA BCH, FL 32168
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