



CITY OF BOAZ
Planning Commission Agenda
February 04, 2025
Boaz Public Library, Mastin Conference Room – 6:00 PM

- I. Call to Order
- II. Invocation
- III. Pledge of Allegiance
- IV. Adoption of Agenda
- V. Reading and/or Approval of Minutes of Previous Planning Commission Meeting
 1. Adopt the minutes of the Planning Commission Meeting dated October 1, 2024.
- VI. Public Hearings
 1. A public hearing to hear a request of a Preliminary Subdivision Plat Approval from Mr. Randall Pankey. The Dogwood Farms III Subdivision is located along Bruce Road, Mcville Road and State Route 168. Mr. Pankey is seeking to build a Low Density Detached Residential Subdivision consisting of 7 lots.
 2. A public hearing to hear a request from Lisandro Callejas. Mr. Callejas is seeking to rezone +/- 3.7 acres of property abutting Lee Holcomb Rd and Pleasant Hill Road, from AG (Agricultural District) to R-1 (Low Density Detached Residential District). Mr. Callejas seeks to divide the land in order to build three homes on the property. The current zoning classification of AG does not permit this.
- VII. New Business
 1. Entertain a motion to approve a request of a Preliminary Subdivision Plat from Mr. Randall Pankey. The Dogwood Farms III subdivision is located along Bruce Road, Mcville Road and State Route 168. Mr. Pankey is seeking to build a Low Density Detached Residential Subdivision consisting of 7 lots.
 2. Entertain a motion to approve a request from Lisandro Callejas. Mr. Callejas is seeking to rezone +/-3.7 acres of property abutting Lee Holcomb Rd and Pleasant Hill Road, from AG (Agricultural District) to R-1 (Low Density Detached Residential District). Mr. Callejas seeks to divide the land in order to build three homes on the property. The current zoning classification of AG does not permit this.
- VIII. Public Comments
- IX. Chairman Comments
- X. Adjourn



CITY OF BOAZ
Planning Commission Minutes
October 01, 2024
Boaz Public Library, Mastin Conference Room – 6:00 PM

I. Call to Order

Chairman Bates called the meeting to order at 6:00 P.M.

PRESENT

David Wallace
Harrold Johnson
Nick Borden
Steven Bates
Darby Pruitt
Matt Brannon

ABSENT

Chris Alexander
Paul Hale

II. Invocation

Nick Borden gave the Invocation.

III. Pledge of Allegiance

David Wallace led the Pledge of Allegiance.

IV. Adoption of Agenda

Motion made by Borden, Seconded by Wallace.

V. Reading and/or Approval of Minutes of Previous Planning Commission Meeting

1. Adopt the minutes of the Planning Commission Meeting dated August 6, 2024

Motion made by Wallace, Seconded by Borden.

VI. Public Hearings

1. A public hearing concerning the Planning Commission's recommendation to the Boaz City Council concerning an amendment of the Boaz Zoning Ordinance and Zoning Map of the City of Boaz. The Planning Commission will discuss and vote on the rezoning of the properties along Sunview Place from R-6 Manufactured Housing District to R-2 Medium Density Detached Residential District due to the current zoning designation of R-6 limiting the use of the properties as these properties are non-conforming as manufactured home parks which restricts the properties of future construction of homes and replacement rendering the

property unusable. Rezoning the properties R-2 will allow the property owners the ability to construct homes on their properties.

Motion made by Wallace to open the Public Hearing at 6:03 P.M., Seconded by Pruitt. The motion passed by unanimous voice vote.

Chairman Bates asked if anyone would like to speak in favor of the rezoning.

Sabino Mejia of 78 Sunview Place Lot 2 asked the Planning Commission members what exactly this means. Building Inspector Nick Borden explained the property as a whole is not owned by one individual so it does not meet the requirements of a mobile home park. This limits property owners to not be able to put a mobile home back or to build a house due to zoning issues. Rezoning this property to R-2 will give property owners the opportunity to build a house on their property.

Gary Taylor of 156 Sunview Place asked if this would help put a mobile home back on the property. Mr. Borden answered no. Mr. Taylor asked if they could be annexed out of the City. City Attorney Christie Knowles explained this is not a question for the Planning Commission and you are not able to de-annex from the City like that.

Jimmy Kindred of 62 Sunview Place said he didn't think it was right to buy your land and not be able to put a mobile home back on your own land.

Trina Sell of 62 Sunview Place expressed her concerns to not be able to afford the supplies to build a house. She explained they are having to live however they can live and are told they can't put another mobile home there. City Attorney Christie Knowles explained that it is the way the property is zoned. Once the use ends, you have to rebuild in ways to comply with zoning. Ms. Knowles discussed how the land is deeded in tracts to each individual and not to one owner who rents slips out to everyone. When it came in to the City it was in a nonconforming use but you were grandfathered in. When the mobile home burned the use ended and you have to go back to the correct zoning. This zoning change will allow you to build a home there.

Mr. Mejia expressed how he felt this was unfair.

Council Member Brannon explained if we don't do this then you can't do anything. This gives the property owner an option. Council Member Brannon said he understands what Mr. Mejia is saying and knows that it is frustrating. This will give someone an opportunity to put something there. We are trying to help.

Building Inspector Nick Borden said it hit him when he had to tell people they could not put anything back on their land. Mr. Borden wanted to be able to give property owners the opportunity to have some kind of use on their property.

Trina Sell asked if you owned your property would you have to get a contractor. Mr. Borden answered that you can build your own house, wire your own house, but you cannot run your own gas. It would have to be permitted and inspected. If you are able to build to code, you have the right to build on your own.

Chairman Bates asked if anyone would like to speak in opposition of the rezoning.

Sabino Mejia said most people aren't here and wanted to know if this would effect how this goes. Nick Borden answered probably not. City Attorney Christie Knowles explained the notice and the meeting just gives everyone that wants to come the opportunity.

Motion made by Borden to close the Public Hearing at 6:21 P.M., Seconded by Wallace. The motion passed by unanimous voice vote.

2. A public hearing to amend the Subdivision Regulations by correcting the numerical layout as well as adding additional language pertaining to subdivisions as follows:

AMENDMENTS TO THE BOAZ SUBDIVISION REGULATIONS

1. *Article 2 - Definitions is amended to include the definition of Mobile Home Park as follows:*

2.02.45. Mobile Home Park. *Land used or designed for use for the siting of manufactured homes, recreational or tiny homes for dwelling purposes.*

2. *Article 2 - Definitions is amended to change the definition of Subdivision to read as follows:*

2.02.74. Subdivision. *The division of a lot, tract, or parcel of land into two or more lots, plats, sites or other division of land for the purpose, whether immediate or future, of sale or building development. It includes resurveys and, when appropriate to the context, relates to the process of subdividing or to the land or territory being subdivided. A Subdivision includes a Mobile Home Park.*

1. Major subdivision. Any subdivision not classified as a minor subdivision including but not limited to subdivisions of more than six lots, or any size requiring any new streets or extension of public facilities, or the construction of any public improvements.

2. Minor subdivision. Any subdivision containing no more than six lots fronting on an existing street, not involving any new street, extension of public facilities, or construction of public improvements, and not adversely affecting the remainder of the parcel or adjoining property including lot splits and resurveys; and subdivisions creating plots of ten or more acres for the purpose of selling or conveying, such as to family members, said lots but not for development of the same.

3. *Article 7-02 Penalties is amended as follows:*

7.02.01. *In addition to other remedies set forth herein, and as authorized by Code of Ala. 1975, § 11-24-3(a), the fine for noncompliance of any provisions of these Regulations shall be \$1,000 per lot that has been sold, offered for sale, transferred, or leased. A separate citation shall be issued for each violation. All fines shall be paid to the office of Boaz City Clerk within thirty (30) days of the issuance of a citation by the subdivision official, and all fines shall be doubled upon the failure to remit the fine within thirty (30) days of the issuance of the citation.*

7.02.02. *The city retains the right to seek an injunction against any person who fails to comply with these Regulations as provided in Code of Ala. 1975, § 11-24-3(b), and may bring action against any person to compel compliance with these Regulations in the event that work on the subdivision has been completed in violation of these Regulations and the requirements of Code of Ala. 1975, § 11-24-1 et seq.*

4. Appendix C is hereby added as follows:

APPENDIX C: SPECIAL REQUIREMENTS FOR MOBILE HOME PARKS

Any Mobile Home Park, and each individual site, parcel or lot within a Mobile Home Park, must proceed through the standard subdivision review process and shall comply with all applicable subdivision regulations. The following standards are applicable to Mobile Home Parks:

- (a) Density/Number of Units.** Mobile Home Parks located in the city of Boaz or within its planning authority shall meet the following requirements in regard to the number of sites/units:
 - 1.** The maximum number of sites/units for Mobile Home Parks shall be 1 unit per five (5) acres in order to allow for adequate site/unit size and spacing.
 - 2.** The applicant shall provide proof that electricity, water, sewer, and fire protection, if available, are provided either with onsite facilities or from a public provider and are sufficient for the proposed development.
- (b) Access.** Mobile Home Parks shall have direct access to a paved County, City, State, or Federal highway or roadway. A traffic study shall be performed upon planning commission request or as required by the building official.
- (c) Internal Roadways.** The internal roadways for Mobile Home Parks shall be built by the developer and, at a minimum, shall provide for safe travel for the residents and emergency responders. The internal roadways shall meet the requirements of the City of Boaz Subdivision Regulations. The internal roadways shall be maintained by the developer/owner and will not be maintained by the City of Boaz. The following note shall be placed on the Final Site Plan:

The internal rights-of-way, roads, easements, and drainage facilities are private and will be maintained by the developer/owner. The internal rights-of-way, roads, easements, and drainage facilities will not be maintained by the City of Boaz. If individual lots, sites, units, etc. are to be sold, transferred, or leased, the developer/owner shall be required to meet the current City of Boaz Subdivision Regulations in effect at that time, and the property shall be brought into compliance with those Regulations prior to such sale, transfer, or lease or attempted sale, transfer, or lease.

- (d) Stormwater Management.** Mobile Home Parks shall meet the stormwater requirements of the City of Boaz Subdivision Regulations.
- (e) Utilities.** Utilities shall be provided for the proposed development and shall be adequate for the number of sites/units. The applicant shall provide proof from the appropriate utility companies and/or Health Department that the proposed utilities are adequate for the development.
- (f) Setbacks.** Mobile Home Parks located in the City of Boaz shall meet the following setbacks:
 - 1.** Mobile home sites/units shall be located a minimum of thirty (30) feet from any exterior property line or jurisdictional wetland.
 - 2.** Structures constructed or located on mobile home sites/units must be separated from each other by at least ten (10) feet.
- (g) Minimum Lot Size.** The minimum lot size for a mobile home park shall be five (5) acres.

Motion made to open the Public Hearing at 6:22 P.M. by Wallace, Seconded by Borden. The motion passed by unanimous voice vote.

Chairman Bates asked if anyone would like to speak in favor of the amendments to the Boaz Subdivision Regulations. There was no response.

Chairman Bates asked if anyone would like to speak against the amendments to the Boaz Subdivision Regulations. There was no response.

Motion made to close the Public Hearing at 6:24 P.M. by Wallace, Seconded by Borden. The motion passed by unanimous voice vote.

VII. New Business

1. Motion to send recommendation to the Boaz City Council concerning an amendment of the Boaz Zoning Ordinance and Zoning Map of the City of Boaz to rezone the properties along Sunview Place from R-6 Manufactured Housing District to R-2 Medium Density Detached Residential District.

Motion to approve made by Brannon, Seconded by Borden. The motion passed by unanimous voice vote.

2. Motion to amend the Subdivision Regulations by correcting the numerical layout as well as adding additional language pertaining to subdivisions as follows:

AMENDMENTS TO THE BOAZ SUBDIVISION REGULATIONS

1. ***Article 2 - Definitions is amended to include the definition of Mobile Home Park as follows:***

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3. Article 7-02 Penalties is amended as follows:

7.02.01. In addition to other remedies set forth herein, and as authorized by Code of Ala. 1975, § 11-24-3(a), the fine for noncompliance of any provisions of these Regulations shall be \$1,000 per lot that has been sold, offered for sale, transferred, or leased. A separate citation shall be issued for each violation. All fines shall be paid to the office of Boaz City Clerk within thirty (30) days of the issuance of a citation by the subdivision official, and all fines shall be doubled upon the failure to remit the fine within thirty (30) days of the issuance of the citation.

7.02.02. The city retains the right to seek an injunction against any person who fails to comply with these Regulations as provided in Code of Ala. 1975, § 11-24-3(b), and may bring action against any person to compel compliance with these Regulations in the event that work on the subdivision has been completed in violation of these Regulations and the requirements of Code of Ala. 1975, § 11-24-1 et seq.

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- 1. The maximum number of sites/units for Mobile Home Parks shall be 1 unit per five (5) acres in order to allow for adequate site/unit size and spacing.**
- 2. The applicant shall provide proof that electricity, water, sewer, and fire protection, if available, are provided either with onsite facilities or from a public provider and are sufficient for the proposed development.**

(b) Access. Mobile Home Parks shall have direct access to a paved County, City, State, or Federal highway or roadway. A traffic study shall be performed upon planning commission request or as required by the building official.

(c) Internal Roadways. The internal roadways for Mobile Home Parks shall be built by the developer and, at a minimum, shall provide for safe travel for the residents and emergency responders. The internal roadways shall meet the requirements of the City of Boaz Subdivision Regulations. The internal roadways shall be maintained by the developer/owner and will not be maintained by the City of Boaz. The following note shall be placed on the Final Site Plan:

The internal rights-of-way, roads, easements, and drainage facilities are private and will be maintained by the developer/owner. The internal rights-of-way, roads, easements, and drainage facilities will not be maintained by the City of Boaz. If individual lots, sites, units, etc. are to be sold, transferred, or leased, the developer/owner shall be required to meet the current City of Boaz Subdivision Regulations in effect at that time, and the

property shall be brought into compliance with those Regulations prior to such sale, transfer, or lease or attempted sale, transfer, or lease.

- (d) Stormwater Management. Mobile Home Parks shall meet the stormwater requirements of the City of Boaz Subdivision Regulations.***
- (e) Utilities. Utilities shall be provided for the proposed development and shall be adequate for the number of sites/units. The applicant shall provide proof from the appropriate utility companies and/or Health Department that the proposed utilities are adequate for the development.***
- (f) Setbacks. Mobile Home Parks located in the City of Boaz shall meet the following setbacks:***
 - 1. Mobile home sites/units shall be located a minimum of thirty (30) feet from any exterior property line or jurisdictional wetland.***
 - 2. Structures constructed or located on mobile home sites/units must be separated from each other by at least ten (10) feet.***

Minimum Lot Size. The minimum lot size for a mobile home park shall be five (5) acres

Motion to approve made by Borden, Seconded by Wallace. The motion passed by unanimous voice vote.

VIII. Public Comments

Mr. Mejia asked if they would receive another notice and where the next public hearing would be. City Attorney Christie Knowles explained the Planning Commission would send a recommendation to the Boaz City Council. The Boaz City Council will consider the recommendation at the October 28th Council Meeting at the Boaz Senior Center.

IX. Adjourn

The meeting adjourned at 6:27 P.M.

Motion made by Wallace, Seconded by Borden. The motion passed by unanimous voice vote.

Minutes prepared by City Clerk/Treasurer Beth Stephens.



City of Boaz Alabama

David Dyar
Mayor

COUNCIL Item 1.
DAVID ELLIS
FRAN KILPATRIC MILWEE
JOHNNY WILLIS
MATT BRANNON
MIKE MATTHEWS

PUBLIC NOTICE 01/21/2025

The City of Boaz Planning Commission will hold a public hearing on Tuesday, Feb 4, 2025 at 6:00 P.M. in the Mastin Room at the Boaz Public Library. The purpose of the public hearing will be to hear a request of a Preliminary Subdivision Plat Approval from Mr. Randall Pankey. The Dogwood Farms III subdivision is located along Bruce Road, Mcville Road and State Route 168. Mr. Pankey is seeking to build a Low Density Detached Residential Subdivision consisting of 7 lots.

A legal description is as follows:

BEING A REDIVISION OF PART OF TRACTS 5 AND 6 OF J.A.
KILPATRICK LANDS AS RECORDED IN PLAT BOOK 2, PAGE 180,
PROBATE OFFICE OF MARSHALL COUNTY ALABAMA.
SECTION 31, TOWNSHIP 9 SOUTH, RANGE 5 EAST

At said time and place, all persons in favor of or in opposition or to inquire to said Preliminary Plat approval can be heard.

Chairman
Boaz Planning Commission



City of Boaz Alabama

David Dyar
Mayor

COUNCIL
DAVID ELLIS
FRAN KILPATRIC MILWEE
JOHNNY WILLIS
MATT BRANNON
MIKE MATTHEWS

Item 2.

PUBLIC NOTICE January 21, 2025

The City of Boaz Planning Commission will hold a public hearing on Tuesday, February the 4th, at 6:00 P.M. in the Mastin Room at the Boaz Public Library. The purpose of the public hearing will be to hear a request from Lisandro Callejas. Mr. Callejas is seeking to rezone +/-3.7 acres of property abutting Lee Holcomb Rd and Pleasant Hill Road, from AG, Agricultural District to R-1 (Low Density Detached Residential District). Mr. Calleja seeks to divide the land in order to build three homes on the property. The current zoning classification of AG does not permit this.

The legal description is as follows:

Commence at a capped ½" rebar (LS#21183) marking the Southeast Corner of the Northeast ¼ of the Southeast ¼, Section 12, Township 10 South, Range 4 East; thence North 89° 29' 24" West 904.14 feet along the South line of said Forty to a capped ½" rebar (LS#21183), said point of beginning; thence continue North 89° 29' 24" West 245.85 feet along the South line of said forty to a 1½" iron pipe; thence North 00° 20' 44" West 410.41 feet to a capped ½" rebar (LS# 21183) on the Southerly right-of-way of Lee Holcomb Road (40' R/W); thence Run Southeasterly along said right-of-way the following bearings and distances: South 71° 05' 59" East 99.60 feet; South 75° 29' 34" East 157.04 feet; thence leaving said right-of-way South 00° 20' 44" East 341.00 feet to the point of beginning; said property situated, lying and being in Etowah County, Alabama. Subject to existing rights-of-way and easements of record.

AND ALSO: Commence at a capped ½" rebar (LS#21183) marking the Southeast Corner of the Northeast ¼ of the Southeast ¼, Section 12, Township 10 South, Range 4 East; thence North 89° 29' 24" West 677.65 feet along South line of said Forty to a capped ½" rebar (LS#21183) on the Northerly right of way Pleasant Hill Road (80' R/W), said point being the point of beginning; thence continue North 89° 29' 24" West 226.49 feet along the South line of said Forty to a capped ½" rebar (LS#21183); thence North 00° 20' 44" W 341.00 feet to a point on the Southerly right of way of Lee Holcomb Road (40' R/W); thence run Southeasterly along said right of way the following bearings and distances: South 80° 56' 22" East 136.87 feet; South 83° 04' 37" East 198.21 feet; South 76° 43' 58" East 63.49 feet; South 71° 47' 45" East 60.86 feet; South 65° 28' 00" East 84.43 feet; South 57° 03' 58" East 60.93 feet; South 46° 14' 38" East 62.73 feet; South 34° 05' 41" East 137.96 feet to a capped ½" rebar (LS#21183) on the Northerly right of way of Pleasant Hill Road (80' R/W); thence run Southwesterly along said right of way the following bearings and distances: North 89° 54' 28" West 201.84 feet; South 89° 09' 21" West 89.34 feet; South 82° 20' 25" West 100.52 feet; South 73° 58' 57" West 86.15 feet to the point of beginning. Subject to existing rights-of-way and easements of record. (3509003)

PIN 81151
PARCEL 0501120001001007

At said time and place, all persons in favor of or in opposition to said zoning change request can be heard

Chairman
Boaz Planning Commission

**ADJOINING PROPERTY
OWNERS**

Dogwood Farms III Preliminary Plat
review

Bradco Home Builders LLC
P.O. Box 853
Boaz, AL 35957

**PENDLEY NICKY M AND PENDLEY
SANDRA D**
430 MCVILLE ROAD
BOAZ, AL 35957

POTTS PATRICIA W
1122 BRUCE RD
BOAZ, AL 35957

**STONEKING JACOB WILLIAM AND
STONEKING AP**
11491 ALABAMA HIGHWAY 168
BOAZ, AL 35957

**YOUNG RILEY AND YOUNG
CELSEY**
434 MCVILLE ROAD
BOAZ, AL 35957

**INNES BRUCE RENNOLDS AND
INNES MARGARET**
1140 BRUCE ROAD
BOAZ, AL 35957

COBB, SANA FAY
210 THOMAS AVENUE
BOAZ, AL 35957

**WHITEHEAD MAVIS B AND
WHITEHEAD ALAN WAY**
438 MCVILLE RD
BOAZ, AL 35957

ASHWORTH ALICE FAYE
1154 BRUCE RD
BOAZ, AL 35957

WARREN ROBERT A
2102 KUYKENDALL RD
ALBERTVILLE, AL 35951

MCDANIEL JANICE M
442 MCVILLE RD
BOAZ, AL 35957

BRADCO HOME BUILDERS LLC
PO BOX 853
BOAZ, AL 35957

LUTHER, PHILLIP W
411 S BROAD STREET
ALBERTVILLE, AL 35950

BRADCO HOME BUILDERS LLC
PO BOX 853
BOAZ, AL 35957

BRADCO HOME BUILDERS LLC
PO BOX 853
BOAZ, AL 35957

KILPATRICK, GARY D & LORETTA
2880 SARDIS DRIVE
BOAZ,AL 35957

**NELSON PAYTON GOLDEN AND
NELSON JONATHAN**
472 MCVILLE RD
BOAZ, AL 35957

BRADCO HOME BUILDERS LLC
PO BOX 853
BOAZ, AL 35957

KILPATRICK, GARY D & LORETTA L
2880 SARDIS DRIVE
BOAZ, AL 35957

WEST SHARON K
480 MCVILLE RD
BOAZ, AL 35957

BRADCO HOME BUILDERS LLC
PO BOX 853
BOAZ, AL 35957

BRUCE BRANDON L
426 MCVILLE RD
BOAZ, AL 35957

PAINTER JANICE F
488 MCVILLE RD
BOAZ, AL 35957

HALES PROPERTIES LLC
754 US HIGHWAY 431
BOAZ, AL 35957

**STANTON JAMES BRIAN AND
STANTON MELANIE**
496 MCVILLE RD
BOAZ, AL 35957

**MCRAE TIMOTHY H AND MCRAE
MELISSA**
1300 BRUCE RD
BOAZ, AL 35957

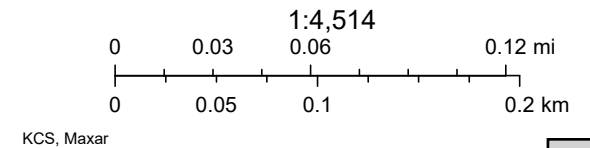
DWIII Public notice map

Item 1.



1/21/2025, 8:06:32 AM

- Addresses (Boaz)
- Streets (Boaz)
- Buildings
- Overlay - Hwy 431 & 168
- City Limits
- Marshall County - Parcels
- Marshall County - Lot_Line





January 6, 2025

Mr. Nick Borden
Building and License Inspector
The City of Boaz
P.O. Box 537
Boaz, AL 35957

RE: Letter of Engineering Sufficiency
Dogwood Farms Phase III

Dear Mr. Borden,

This letter is to serve as the Letter of Engineering Sufficiency for the referenced project. I certify that the Erosion Control Plan, Stormwater Plan, Sanitary Sewer Plan, Water Distribution Plan, and Electrical Distribution Plan have been designed in compliance with the City of Boaz Subdivision Regulations and in accordance with the local utility requirements.

Please let me know if you have any questions.

Sincerely,

James G (Chuck) Chitwood, P.E.
President
Canyon Engineering, LLC

CITY OF BOAZ

APPLICATION FOR PRELIMINARY SUBDIVISION PLAT

APPLICATION/CASE NO. _____

A Preliminary Plat is required if the proposed subdivision contains six or more lots, or if any street or other public improvements are to be dedicated to the city.

The applicant shall submit a complete application, including three copies of the Preliminary Plat and Construction Plans as required in Section 3.10.02 of the Subdivision Regulations, along with a filing fee of \$25.00 plus \$5.00 per lot; at least 15 days prior to a regularly scheduled meeting of the Planning Commission. As per the Subdivision Regulations adopted by the City of Boaz, if the City requires a consulting engineer review of the development, all fees incurred by the City for consulting engineer review will be paid in full by the Developer prior to issuance of Final Plat. The City will notify all the adjacent property owners by mail at least five days prior to the public hearing.

OWNER/APPLICANT INFORMATION

Property owner: BRADCO HOMES BUILDERS LLC

Address: 458 McVILLIE Rd. BOAZ, AL. 35957

Telephone Numbers: Work: _____ Home: 256 572-3723

Person Making Application: RANDALL PARKER

SUBJECT PROPERTY INFORMATION

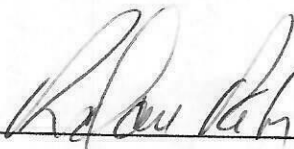
1. Name of Proposed subdivision: DOGWOOD FARMS III
2. Location: McVILLIE Rd.
3. Present Zoning: R-1
4. Number of proposed lots: 7
5. Does the proposed subdivision require the extension of public streets or other public improvements? Yes ☒ No ☐
6. Is the Preliminary Plat submitted pursuant to a sketch Plat? No If so, the applicant must provide a copy of the approved Sketch Plat.
7. Is the Preliminary Plat a resurvey or extension of an existing subdivision? Yes ☐ No ☒ If so, the applicant must provide a copy of the approved Subdivision Plat.

Page 2

Application/Case No. _____

Preliminary Subdivision Plat

If the applicant is not the owner of the subject property, the owner shall stipulate in a letter to the commission, that the undersigned applicant is authorized to request this subdivision. By signing this document I am affirming I understand the rules and regulations for the City of Boaz for development and will pay all fees associated with development.



Signature of Owner/ Applicant

11.20.24

Date

OFFICIAL USE ONLY

Date Filed: _____ Date of Notice: _____ Date of Hearing: _____

Fee Paid \$ _____ Receipt No: _____ Date Paid: _____

Decision of Planning commission: Approved: _____ Denied: _____

List Condition for Approval or Reasons for Denial:

NOTE:

This application must be accompanied by:

1. Five (5) Copies of Preliminary Plat and Construction Plans.
2. Legal description of property as it appears at the Probate Office.
3. List of surrounding property owners.
4. Filing fee of \$25.00 Plus \$5.00 per lot.

Please See Pages 3, 4 and 5 for Preliminary Plat Requirements

City of Boaz
Miscellaneous Receipt

Item 1.

Misc. Receipt No: 19112
POS Receipt No: 18151
Receipt Date: 12/20/2024

Received By: Jill Smith
Received On: 12/20/2024 9:46 AM

Customer ID: 495
Name: BRADCO HOME BUILDERS
Description: 7 lots Dogwood Farms III SUBDIVISION PRE

| Miscellaneous Receipt Total |
|-----------------------------|
| \$60.00 |

| GL Account Number | GL Account Description | Debit | Credit |
|--------------------------------------|-------------------------------|---------------|----------------|
| 01-4-10-4079-000 | Sub-Div/Zoning Var. Appl. Fee | \$0.00 | \$60.00 |
| Miscellaneous Receipt Totals: | | \$0.00 | \$60.00 |

Thank You!

CONSTRUCTION PLANS

DOGWOOD FARMS III

MARSHALL COUNTY, ALABAMA

JANUARY 2025

| No. | SHEET INDEX |
|-------|-------------------------------|
| C-001 | PROJECT LOCATION MAP / LEGEND |
| C-002 | PROJECT NOTES |
| C-102 | PRELIMINARY PLAT |
| C-103 | EROSION CONTROL PLAN |
| C-104 | ROAD PROFILE |
| C-105 | GRADING PLAN |
| C-106 | UTILITY PLAN |
| C-107 | STREET SIGNAGE PLAN |
| C-108 | STREET LIGHTING PLAN |
| C-109 | CROSS SECTIONS |
| C-110 | CROSS SECTIONS |
| C-111 | CROSS SECTIONS |
| C-800 | TYPICAL DETAILS |
| C-801 | TYPICAL DETAILS |
| C-802 | TYPICAL DETAILS |
| C-803 | TYPICAL DETAILS |
| C-804 | TYPICAL DETAILS |
| C-805 | TYPICAL DETAILS |
| C-806 | TYPICAL DETAILS |

PROPERTY DEVELOPER
BRADCO HOME BUILDERS, L.L.C.
RANDALL PANKEY
P.O. BOX 853
BOAZ, ALABAMA 35957



CANYON ENGINEERING, LLC
404 1ST STREET EAST
FORT PAYNE, ALABAMA 35967
TELEPHONE: 256.558.0773
EMAIL: chuck@canyonengineeringllc.com

PROJ. NO.: 242401



GENERAL NOTES

1. The Contractor shall document the pre-construction conditions of the site prior to starting any type of construction activities. One copy of the documentation shall be delivered to the Engineer and the Owner within 7 days of the start of construction.
2. The Contractor is responsible for all damages caused by his construction activities, including damages by sub-contractors and material suppliers. Damages shall be repaired at the Contractor's expense and to the satisfaction of the Engineer, Owner and Property Owner, if different from the Owner.
3. The Contractor shall purchase all licenses and permits as required by the city and/or county in which the work is taking place.
4. The Contractor is responsible for coordinating all construction activities, including work by sub-contractors, suppliers, state and local inspections, etc.
5. The Contractor shall take all measures necessary to not disturb property corners, bench marks, right-of-way markers, and control points. The cost of re-establishing any of these markers shall be the responsibility of the Contractor.
6. The Contractor shall be responsible for providing and maintaining all necessary traffic control measures in accordance with Part 6 of the latest edition of the Manual of Uniform Traffic Control Devices.
7. The Contractor shall maintain access along all city, county and state roads at all times. In the event a temporary road closure is required, the Contractor shall coordinate with the Engineer, Owner, police departments with jurisdiction in the project area and emergency management agencies.
8. The Contractor shall not cut, block or damage any driveway unless approved by the Engineer. Driveways shall be accessible for the property owner to the greatest extent possible and no driveway shall be blocked overnight.
9. All driveways that are required to be open cut shall be saw-cut, backfilled with crushed stone, and replaced with like material.
10. Residents in the project area shall have uninterrupted mail service during all construction activities. Any mailbox damaged or temporarily moved shall be repaired or returned to the original location before the end of the day.
11. Unless otherwise noted, the extent and amount of underground rock within the project site has not been determined by the Owner and no rock clause has been included in the unit prices. Potential bidders may make their own investigation as to the extent of possible rock to be encountered.

12. The Contractor shall notify all impacted customers as well as the Owner and the Engineer of any disruption in utility services at least 3 days prior to the disruption. No customer shall be left without any utility service overnight.
13. The Contractor shall call 811 to request utility locations at least 5 days prior to the start of construction.
14. All existing utility locations have been derived from existing records and from location markings by Alabama One Call. The Owner and the Engineer do not guarantee the accuracy of the utility locations or that all utilities have been marked.
15. The Contractor shall coordinate all excavations near existing utilities with the respective utility.
16. All ductile iron pipe shall be pressure Class 350 unless otherwise noted.
17. All pressure PVC pipe shall be Class 200 unless otherwise noted.
18. All underground pressure connections and pipe direction changes shall utilize mechanical joint restraint connections and concrete thrust blocks.

PROJECT SPECIFIC NOTES

19. An ADEM construction stormwater permit is required for this project, and the permit has been issued to the owner.
20. The Contractor shall install and maintain all erosion control measures for the duration of the construction phase. All control measures shall be checked and repaired as necessary to ensure that no sediment leaves the site.
21. Any pipe, ditch, creek, or water body that has an accumulation of sediment shall be immediately cleaned and the sediment disposed of off-site.
22. The Contractor is responsible for the cost associated with any fines or damages caused by the failure of any erosion control device or the discharge of sediments.
23. The erosion control measures shown on the plans are intended to prevent the loss of sediment from the site during construction. Additional measures may be required of the Contractor as the site conditions change.

Item 1.

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

ALABAMA

MARSHALL COUNTY

SCALE:

NA

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

PROJECT NOTES

SHEET NO.:

C-002

DOGWOOD FARMS III

BEING A REDIVISION OF PART OF TRACTS 5 AND 6 OF J.A. KILPATRICK LANDS AS RECORDED IN PLAT BOOK 2, PAGE 180, PROBATE OFFICE OF MARSHALL COUNTY ALABAMA. SECTION 31, TOWNSHIP 9 SOUTH, RANGE 5 EAST

STORMWATER COVENANT:

THE MAINTENANCE OF ALL STORMWATER DRAINAGE AND DETENTION FACILITIES IS THE RESPONSIBILITY OF THE PROPERTY OWNERS WITHIN THE SUBDIVISION AND IS NOT THE RESPONSIBILITY OF THE CITY OF BOAZ.

LINE DATA

| LINE | BEARING & DISTANCE |
|------|---------------------|
| L1 | S89°23'40"E 63.35' |
| L2 | N26°41'34"E 79.29' |
| L3 | N26°41'25"E 80.00' |
| L4 | N26°41'25"E 80.00' |
| L5 | N26°41'25"E 82.77' |
| L6 | N26°41'25"E 141.59' |
| L7 | N26°41'25"E 62.02' |
| L8 | S65°42'10"E 9.78' |
| L9 | N29°38'40"E 114.92' |
| L10 | N29°25'45"E 56.69' |
| L11 | N29°25'45"E 70.00' |
| L12 | N29°25'45"E 45.44' |
| L13 | S89°23'40"E 38.14' |
| L14 | S89°23'40"E 74.00' |
| L15 | S89°23'40"E 74.00' |
| L16 | S89°23'40"E 36.03' |
| L17 | S89°23'40"E 37.97' |
| L18 | S89°23'40"E 74.00' |
| L19 | S89°23'40"E 74.00' |
| L20 | S89°23'40"E 110.03' |
| L21 | N65°44'33"W 110.90' |
| L22 | S65°44'33"E 34.02' |
| L23 | S65°44'33"E 117.45' |
| L24 | S66°17'42"E 32.55' |

CURVE DATA

| CURVE | LENGTH | RADIUS | CHORD |
|-------|--------|--------|--------------------|
| C1 | 18.69' | 25.00' | N87°09'33"W 18.26' |
| C2 | 47.58' | 50.00' | N81°18'51"W 45.81' |
| C3 | 64.37' | 50.00' | N17°10'11"W 60.02' |
| C4 | 50.00' | 50.00' | N48°21'39"E 47.94' |
| C5 | 69.89' | 50.00' | S62°57'01"E 64.33' |
| C6 | 18.69' | 25.00' | S44°19'32"E 18.26' |

NOTES

DEVELOPER CONTACT INFORMATION:
BRADCO HOME BUILDERS, L.L.C.
RANDALL PANKEY
1-256-572-3722
PO BOX 853
BOAZ, AL. 35957

ZONING:

PROPERTY IS ZONED R - 1
CITY OF BOAZ, ALABAMA

BUILDING SETBACKS:

FRONT = 40'

REAR = 40'

SIDE = 10'

TOTAL NUMBER OF LOTS = 7

MINIMUM LOT SIZE = 5,000 SQUARE FEET

SMALLEST LOT = 71165.96 SQUARE FEET

DOGWOOD FARMS III TOTAL PROPERTY

SIZE TO BE SUBDIVIDED = 18.94 ACRES

THERE IS A 5' UTILITY AND DRAINAGE

EASEMENT OFF OF EACH SIDE LOT LINE

UNLESS OTHERWISE NOTED.

NO TITLE SEARCH OR REVIEW HAS BEEN

COMPLETED OR PROVIDED OF THIS

PROPERTY TO ALLEN LAND SURVEYING.

EXISTING GROUND TOPOGRAPHY AND

AERIAL IMAGE COMPLETED WITH AERIAL

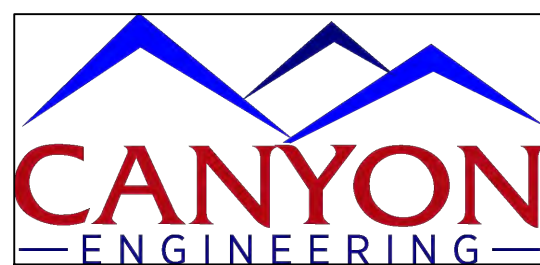
LIDAR SCANNING.

UNDERGROUND UTILITIES SHOWN ARE

APPROXIMATE AND NOT FIELD VERIFIED.

ALABAMA 811 MUST BE CONTACTED PRIOR

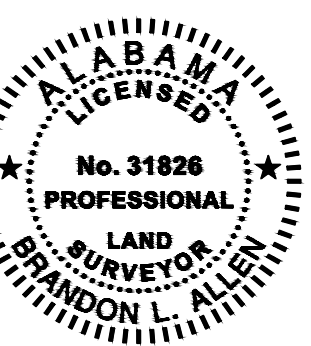
TO ANY EXCAVATION.



ALLEN LAND SURVEYING, LLC

201 COUNTY ROAD 1859 ARAB, AL. 35016

1-256-640-3516



SCALE: 1" = 60'

DATE: 01/08/2025

FIELD INFO: ATA MDH 07-19-2023

DRAWN BY: BLA JNH

CHECKED BY:

QUALITY CHECK:

APPROVED BY:

REVISED:

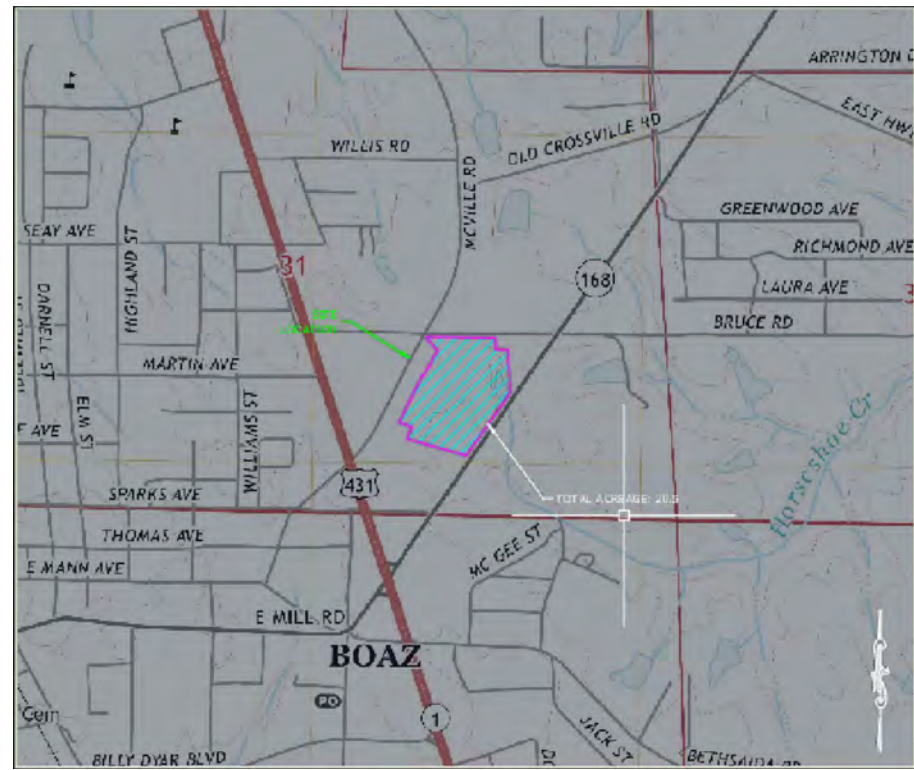
DWG:

PROJECT NO.: 21-63

SHEET NO.: 1 OF 1

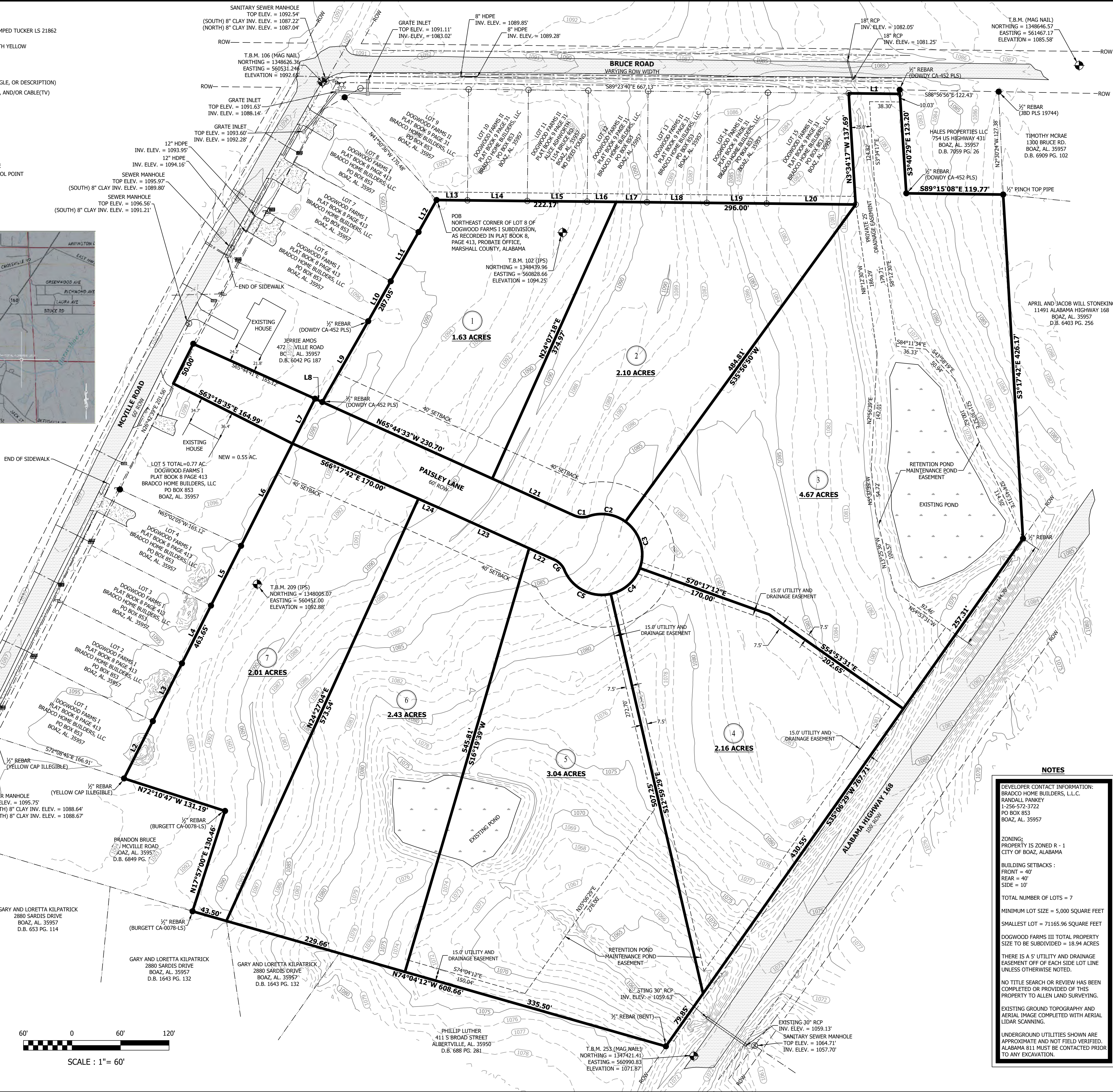
LEGEND

- 1/2" REBAR WITH YELLOW CAP STAMPED TUCKER LS 21862 (UNLESS OTHERWISE NOTED)
- 1/2" INCH DIAMETER REBAR SET WITH YELLOW CAP STAMPED ALLEN PLS 31826
- POC POINT OF COMMENCEMENT
- POB POINT OF BEGINNING
- (R) RECORD (BEARING, DISTANCE, ANGLE, OR DESCRIPTION)
- U — OVERHEAD ELECTRIC, TELEPHONE, AND/OR CABLE(TV)
- X — EXISTING WIRE FENCE
- O — EXISTING CHAIN-LINK FENCE
- □ — EXISTING WOOD FENCE
- — LINE NOT TO SCALE
- ROW RIGHT-OF-WAY
- UTILITY POLE
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- T.B.M. TEMPORARY BENCHMARK / CONTROL POINT
- R.C.P. REINFORCED CONCRETE PIPE
- INV. INVERT
- HDPE HIGH DENSITY POLYETHYLENE

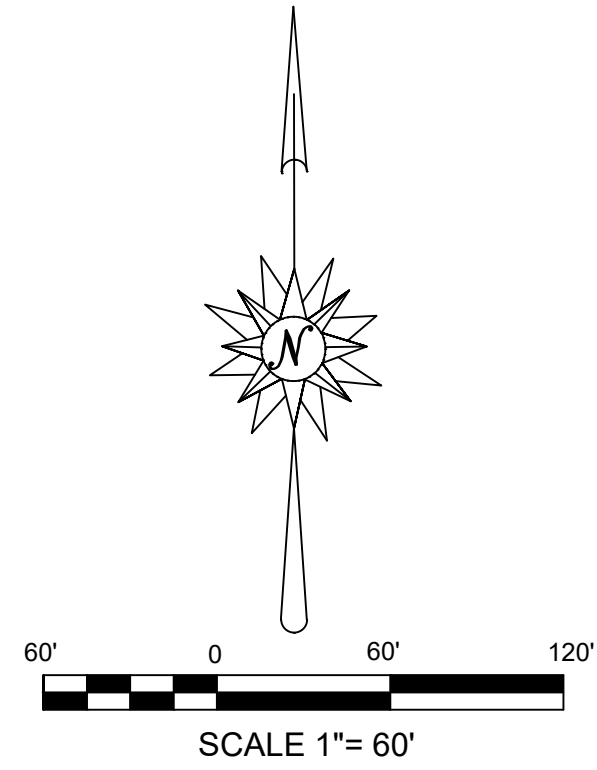


VICINITY MAP

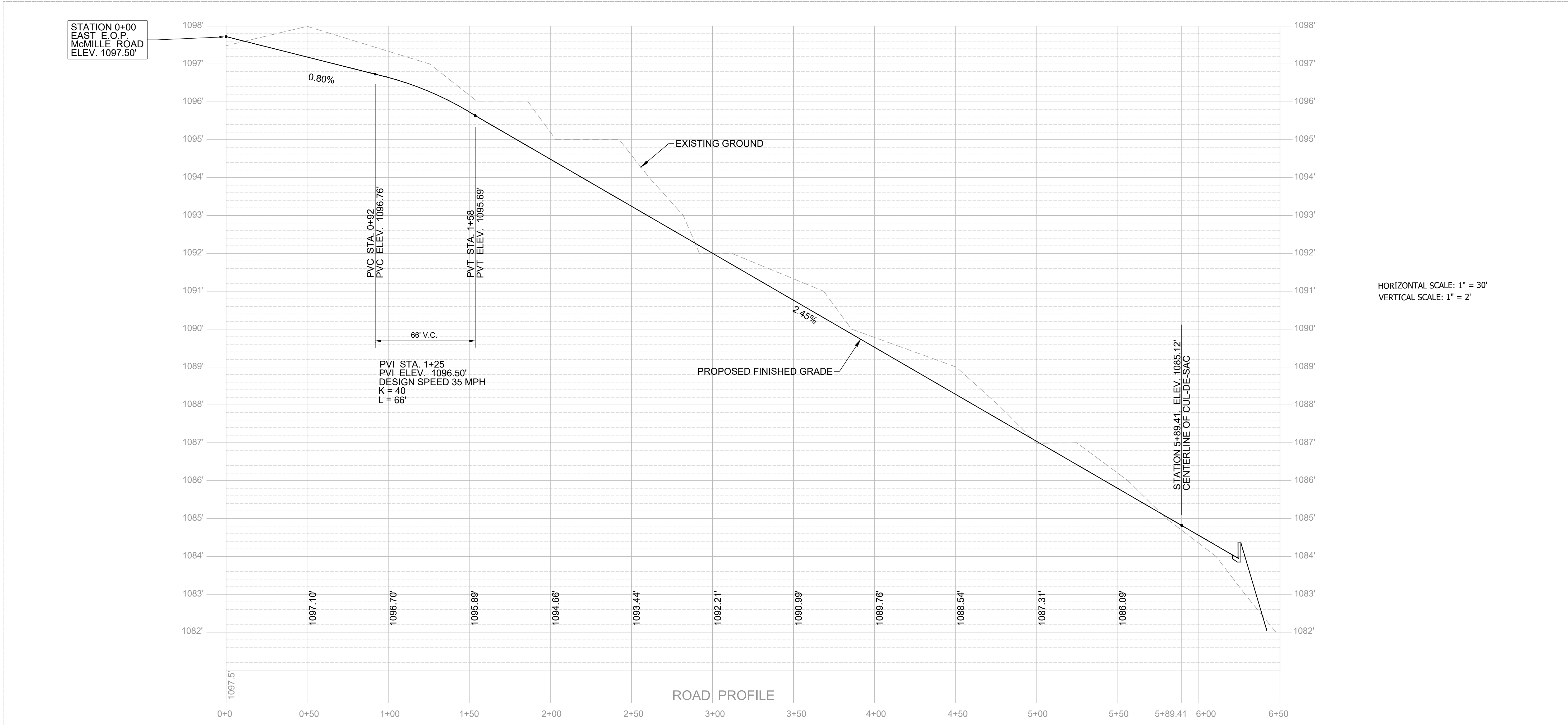
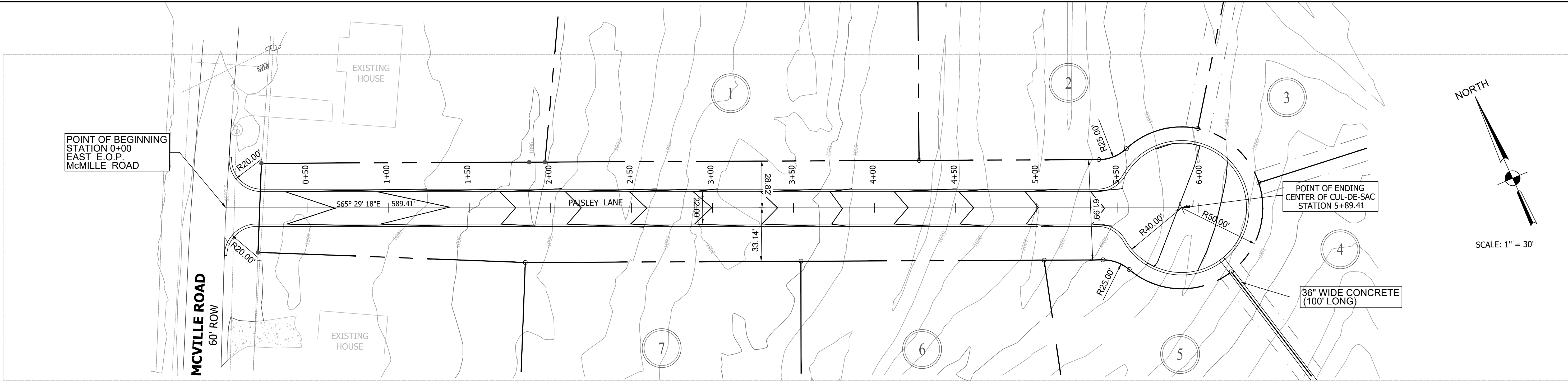
NORTH REFERENCE: ALABAMA STATE PLANE
COORDINATE SYSTEM (EAST ZONE)
ELEVATION REFERENCE: NAVD83 DATUM
SOURCE OF SURVEY: DEED BOOK 6284 PAGE 52



60' 0 60' 120'
SCALE: 1" = 60'



| | |
|--------------|----------------------------|
| SCALE: | 1"=60' |
| DATE: | JANUARY 2025 |
| PROJ. NO.: | 232301 |
| DRAWN BY: | CWJ |
| SHEET TITLE: | EROSION CONTROL PLAN |
| SHEET NO.: | C-103 |



LABAMA
ENGINEERING
No. 17318
PROFESSIONAL
ENGINEER
1/23/25
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz

MARSHALL COUNTY

SCALE:
1"=30'

DATE:
JANUARY 2025

PROJ. NO.:
232301

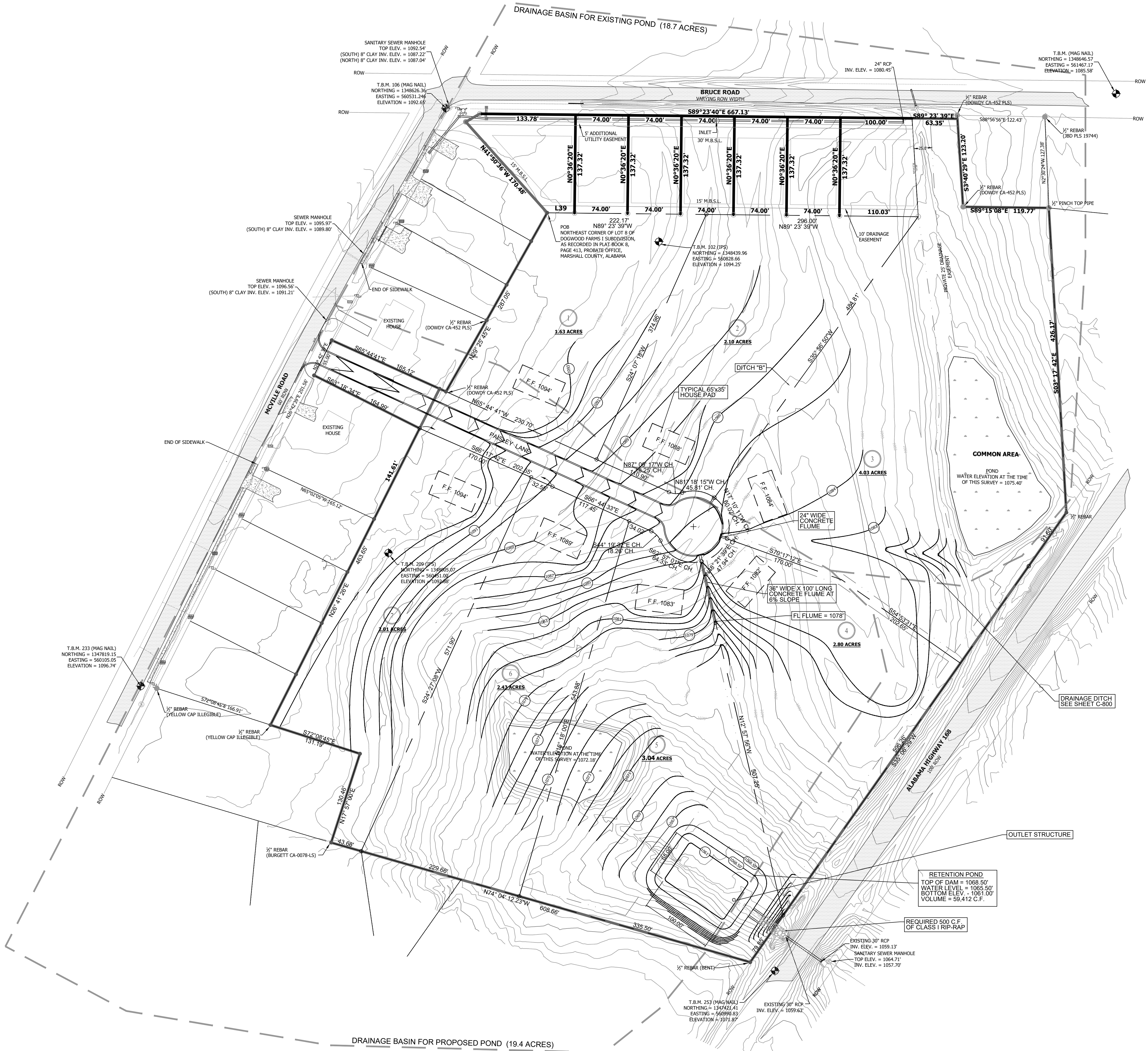
DRAWN BY:
CWJ

SHEET TITLE:
ROAD
PROFILE
PLAN

SHEET NO.:
C-104

Item 1.

23



DOGWOOD FARMS III
BEING A REDIVISION OF PART OF TRACTS 5 AND 6 OF 1.A.
KILPATRICK LANDS AS RECORDED IN PLAT BOOK 2, PAGE 180,
PROBATE OFFICE OF MARSHALL COUNTY ALABAMA.
SECTION 31, TOWNSHIP 9 SOUTH, RANGE 5 EAST

LABAMA
LICENSE
No. 17318
PROFESSIONAL
ENGINEER
1/23/25
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVile Road, Boaz

MARSHALL COUNTY

SCALE:
1"=60'

DATE:
JANUARY 2025

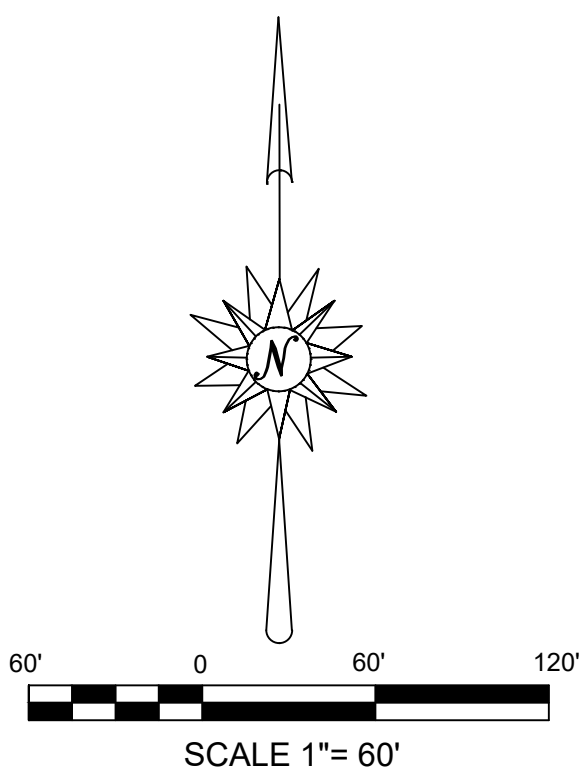
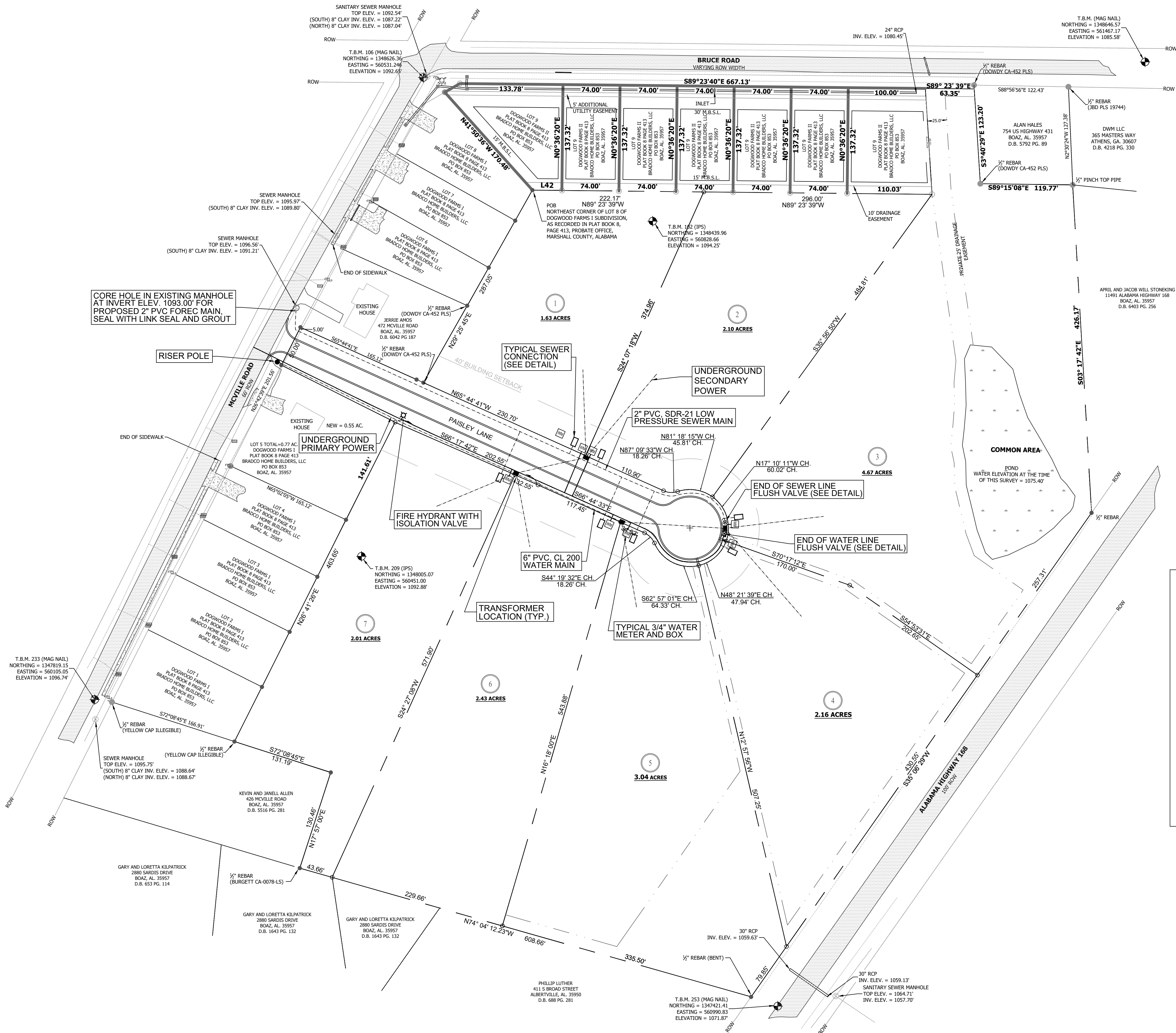
PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
GRADING
PLAN
-

SHEET NO.:
C-105

24



LEGEND

- IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
- EXISTING MOUMENTS FOUND
- POINTS NOT RECOVERED OR MARKED
- PROPERTY LINE
- RIGHT-OF-WAY
- POWER POLE
- POINT OF BEGINNING

UTILITY NOTES:

- UNDERGROUND POWER
1. INSTALL UNDERGROUND POWER ON THE BACK 3' OF THE SOUTH RIGHT-OF-WAY LINE.
 2. CONTRACTOR TO INSTALL 3" SCH. 40 PVC CONDUIT WITH LONG SWEEPING ELBOWS (36" RADIUS) FOR THE PRIMARY SERVICE (7.2 KV).
 3. CONTRACTOR TO INSTALL 2-1/2" SCH. 40 PVC CONDUIT FOR THE SECONDARY SERVICE (120/240V, 200 AMP.)
 4. THE MAXIMUM DISTANCE FROM THE TRANSFORMER TO THE METER SHALL BE 200'.
 5. ALL TRANSFORMERS SHALL BE SET ON THE RIGHT-OF-WAY, WHERE SHOWN ON THIS PLAN.
 6. TRANSFORMER BASES SHALL BE THE SINGLE PHASE BOX PAD BY NORDIC FIBERGLASS OF WARREN, MN.
 7. COORDINATE ALL WORK WITH MARSHALL-DeKALB ELECTRIC COOPERATIVE (256) 593-4262.
- WATER AND SEWER
1. THE WATER MAIN SHALL BE LOCATED 5' FROM THE UNDERGROUND POWER.
 2. BOAZ WATER SHALL TAP THE EXISTING WATER MAIN AND CROSS McVile ROAD WITH A 6" WATER MAIN. CONTRACTOR SHALL CONNECT TO THE 6" MAIN AND CONTINUE INSTALLATION OF THE NEW WATER MAIN, FIRE HYDRANT, FLUSH VALVE, AND SET THE WATER SERVICE.
 3. BOAZ SEWER SHALL CORE THE EXISTING MANHOLE AND STUB OUT THE 2" FORCE MAIN. CONTRACTOR SHALL CONNECT TO THE 2" STUB AND CONTINUE THE 2" FORCE MAIN, SET THE SERVER SERVICES, FLUSH VALVES, AND SET THE GRINDER PUMPS WITH CONTROL PANELS.
 4. COORDINATE ALL WORK WITH THE BOAZ WATER AND SEWER BOARD (256) 593-4711.

ALABAMA

CHITWOOD

ENGINEER

PROFESSIONAL

NO. 17318

2/23/25

CANYON

ENGINEERING

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

ALABAMA

MARSHALL COUNTY

SCALE:

1"=60'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

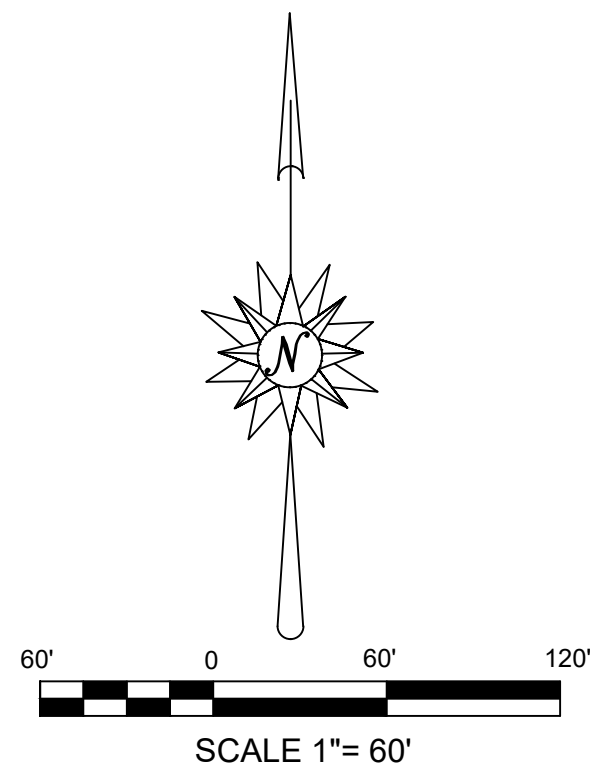
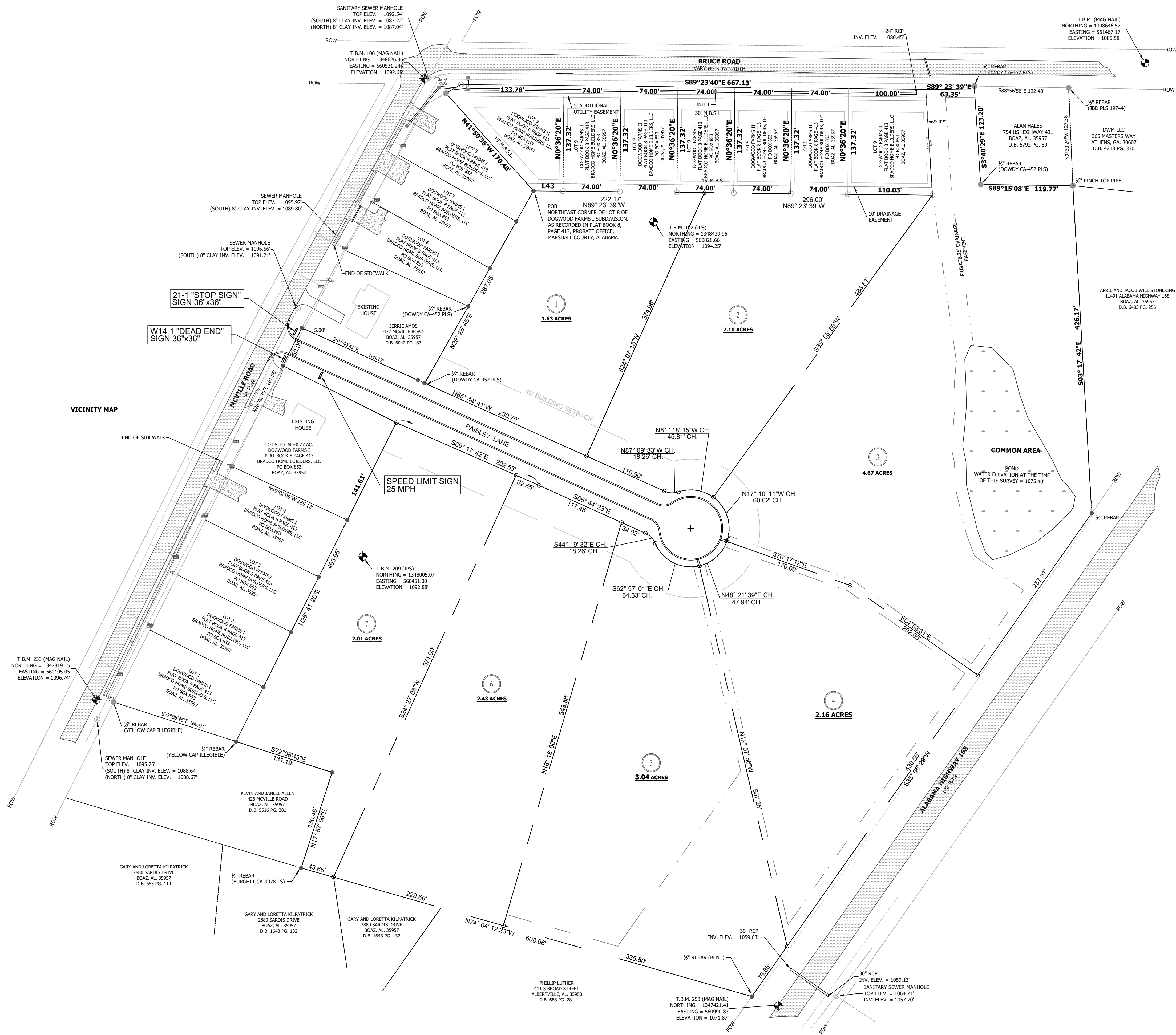
UTILITY PLAN

SHEET NO.:

C-106

Item 1.

25



- LEGEND**
- IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
 - EXISTING MOUMENTS FOUND
 - POINTS NOT RECOVERED OR MARKED
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - POWER POLE
 - POINT OF BEGINNING

NOTES:

STREET LIGHTS SHALL BE LEXINGTON LXF, 70 W, 120-277V LED FIXTURES BY COOPER LIGHTING SOLUTIONS. FIXTURES SHALL BE 27 1/2" TALL AND 15" WIDE, BLACK WITH PHOTOCONTROL. ORDER No. LXF-AF24-70-D-U-T3-10K-4-CL-BK

FIXTURES TO BE MOUNTED ON 19" TALL TAPERED ALUMINUM POLES, 0.125" WALL THICKNESS, 5" O.D. AT BASE, BLACK. INSTALLED POLE HEIGHT TO BE 16'. CONCRETE FOUNDATION FOR POLES TO BE AS RECOMMENDED BY MANUFACTURER.

ALABAMA

LICENSE

No. 17318

PROFESSIONAL

1/23/25

ENGINEER

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

MARSHALL COUNTY

SCALE:
1"=60'

DATE:
JANUARY 2025

PROJ. NO.:
232301

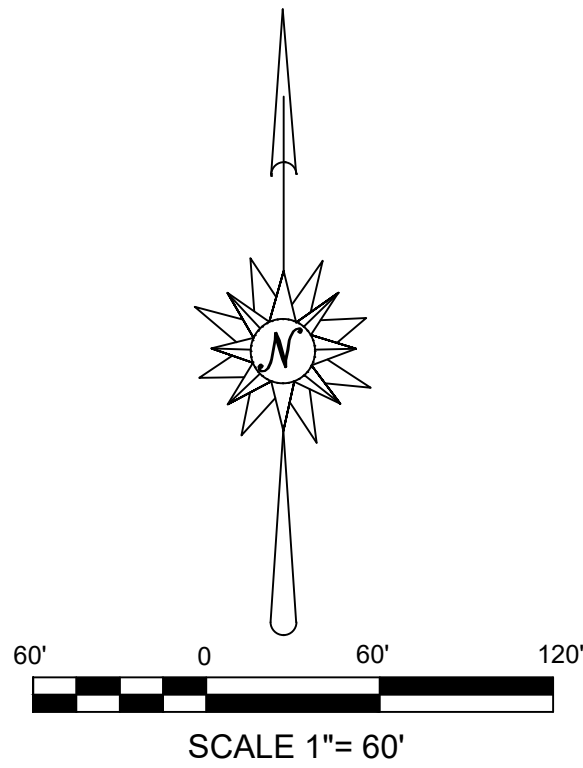
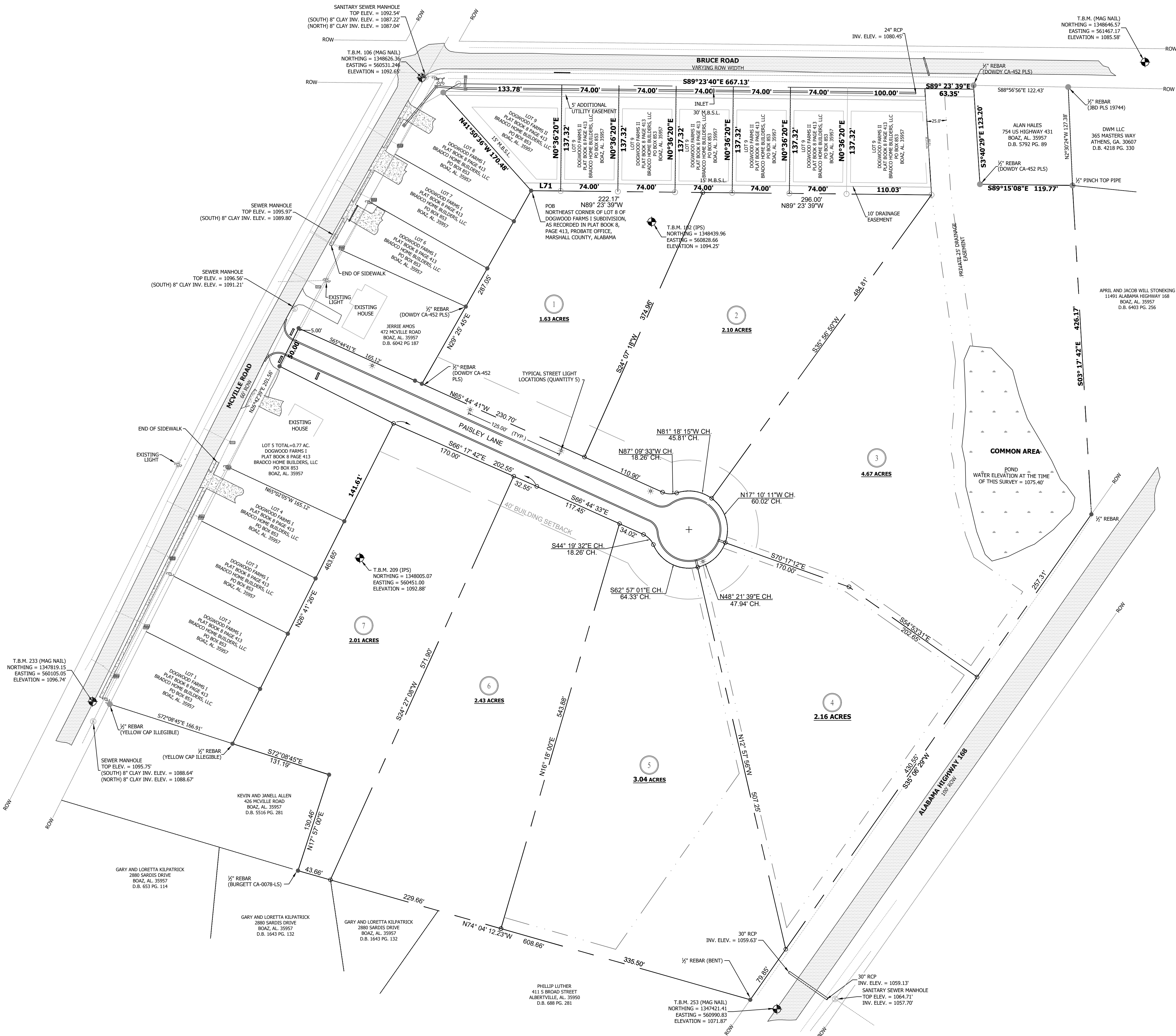
DRAWN BY:
CWJ

SHEET TITLE:
STREET
SIGNAGE
PLAN

SHEET NO.:
C-107

Item 1.

26



- LEGEND**
- STREET LIGHT (SUBDIVISION)
 - IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
 - EXISTING MOUMENTS FOUND
 - POINTS NOT RECOVERED OR MARKED
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - POWER POLE
 - POINT OF BEGINNING

NOTES:

STREET LIGHTS SHALL BE LEXINGTON LXF, 70 W, 120-277V LED FIXTURES BY COOPER LIGHTING SOLUTIONS. FIXTURES SHALL BE 27 1/2" TALL AND 15" WIDE, BLACK WITH PHOTOCONTROL. ORDER No. LXF-AF24-70-D-U-T3-10K-4-CL-BK

FIXTURES TO BE MOUNTED ON 19" TALL TAPERED ALUMINUM POLES, 0.125" WALL THICKNESS, 5" O.D. AT BASE, BLACK. INSTALLED POLE HEIGHT TO BE 16'. CONCRETE FOUNDATION FOR POLES TO BE AS RECOMMENDED BY MANUFACTURER.

ALABAMA

LICENSE

No. 17318

PROFESSIONAL

ENGINEER

12/3/25

JAMES G. CHITWOOD

CANYON

ENGINEERING

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVille Road, Boaz

ALABAMA

MARSHALL COUNTY

SCALE:

1"=60'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

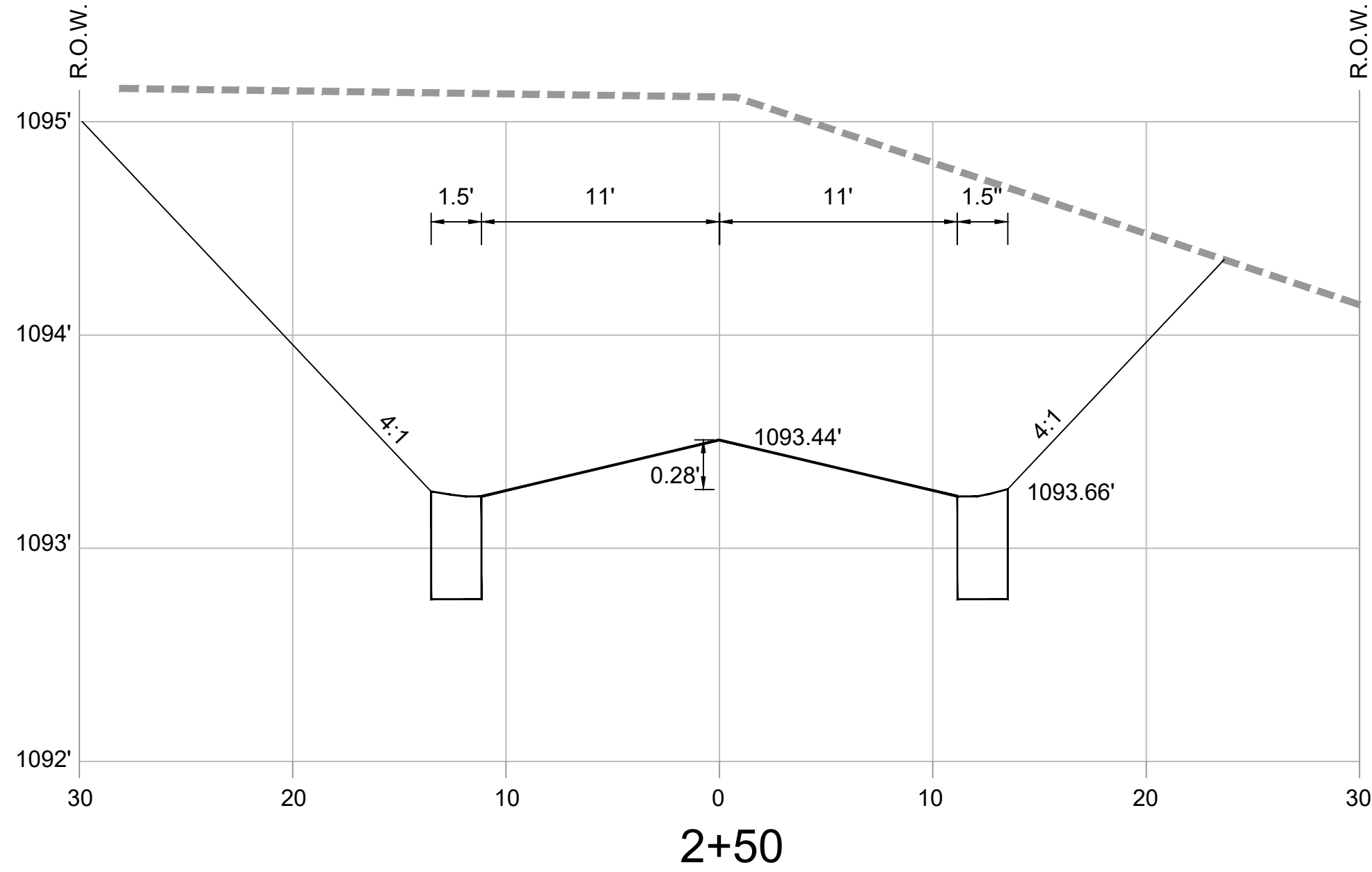
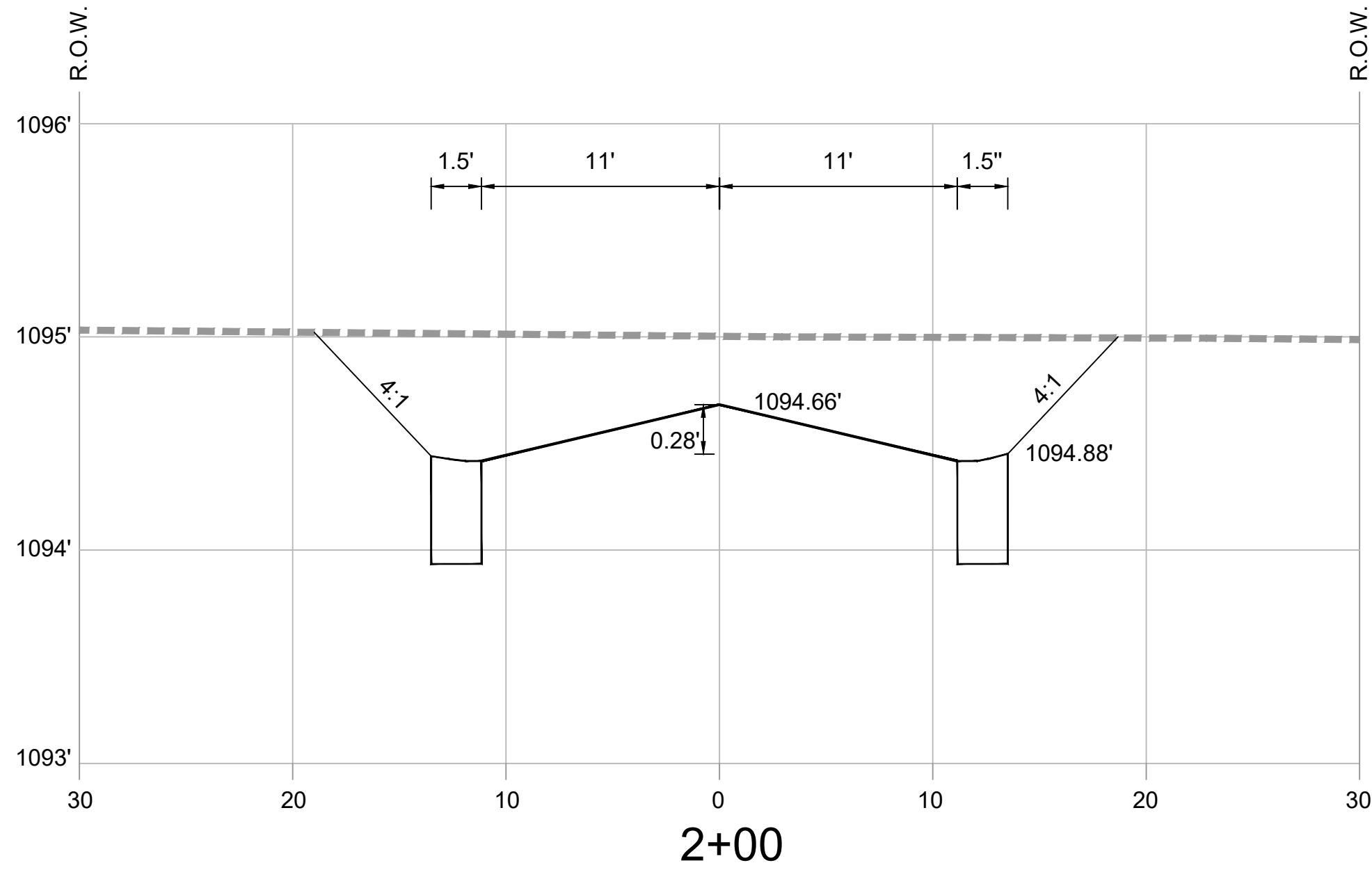
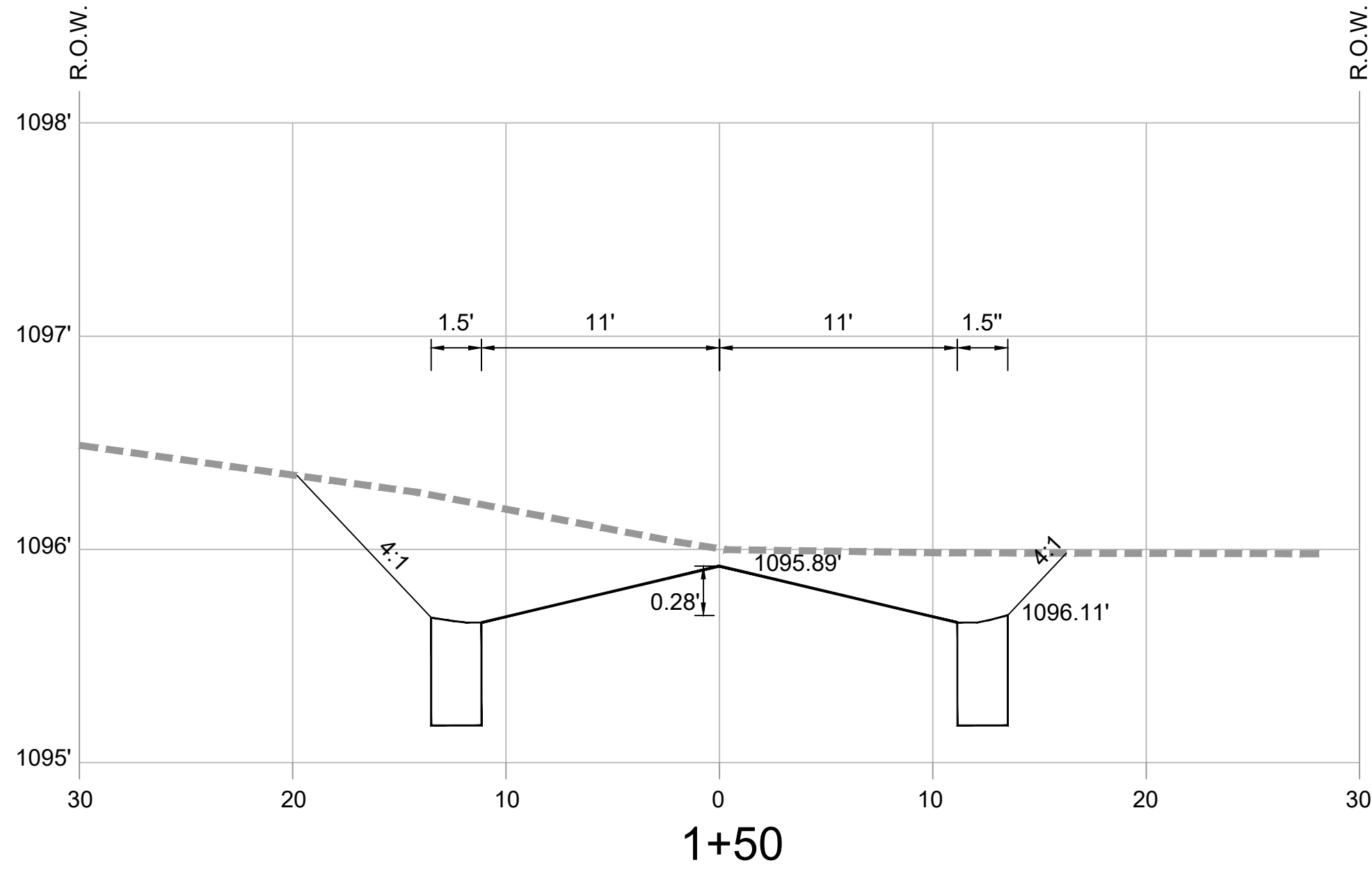
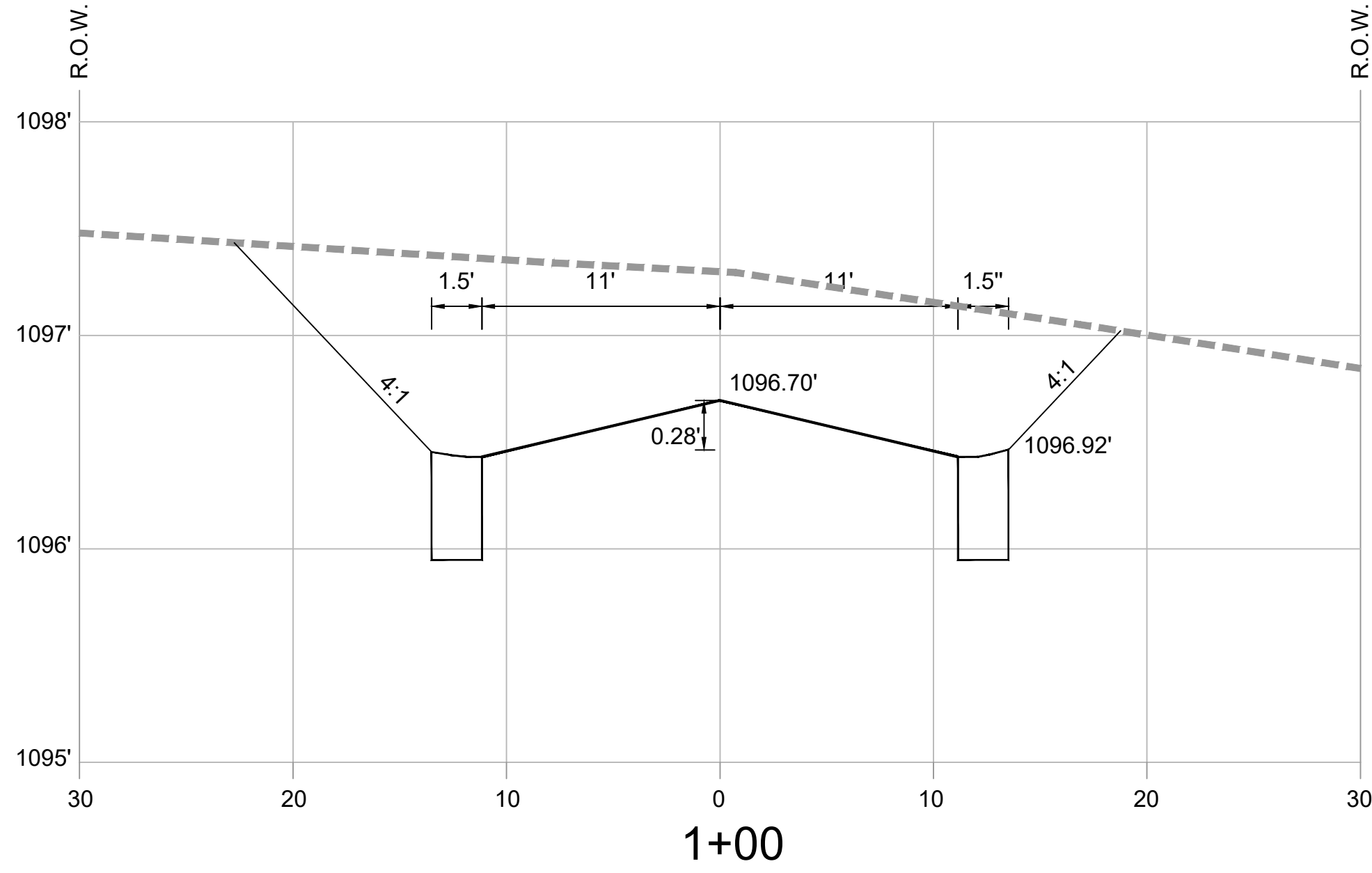
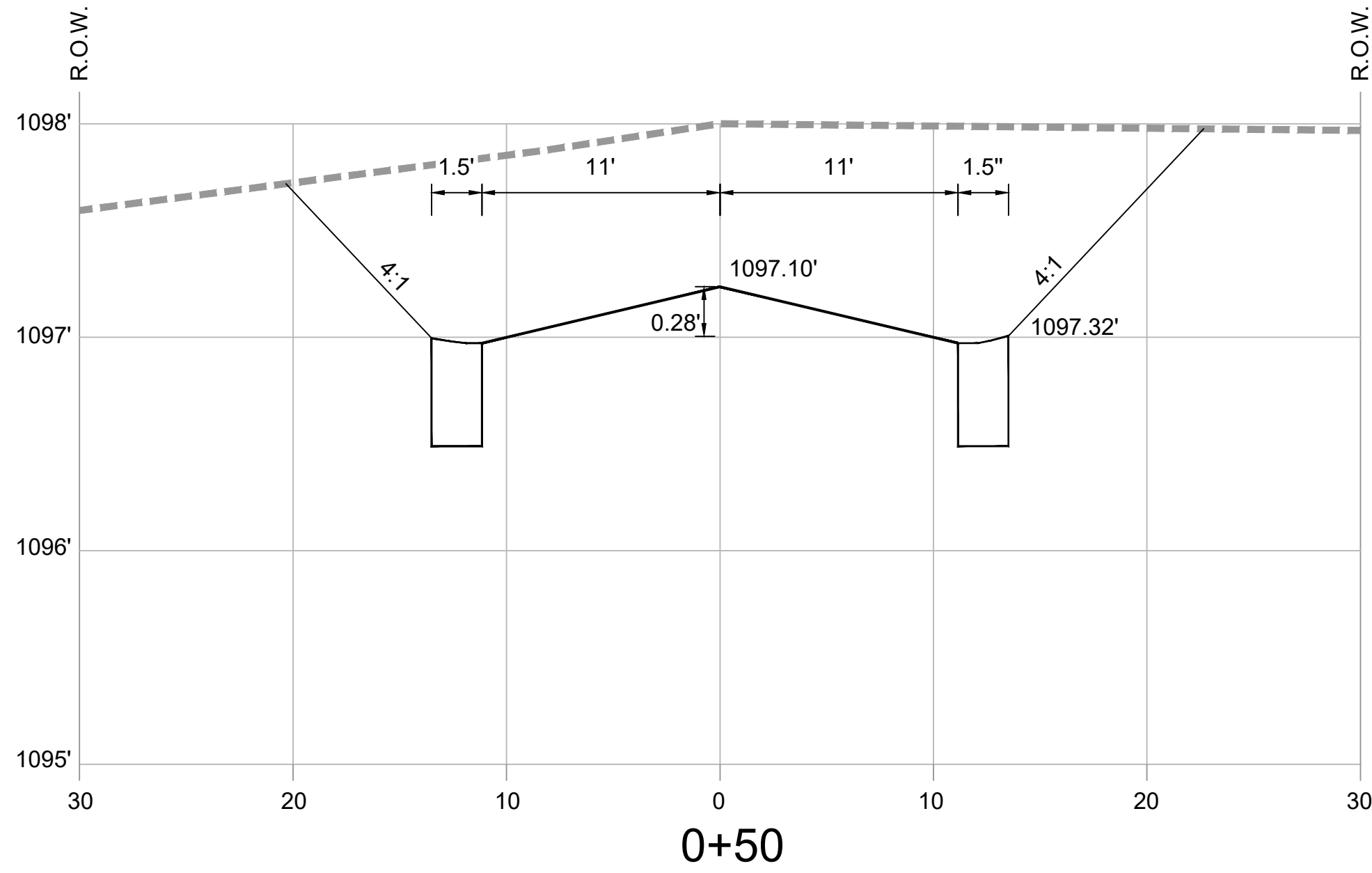
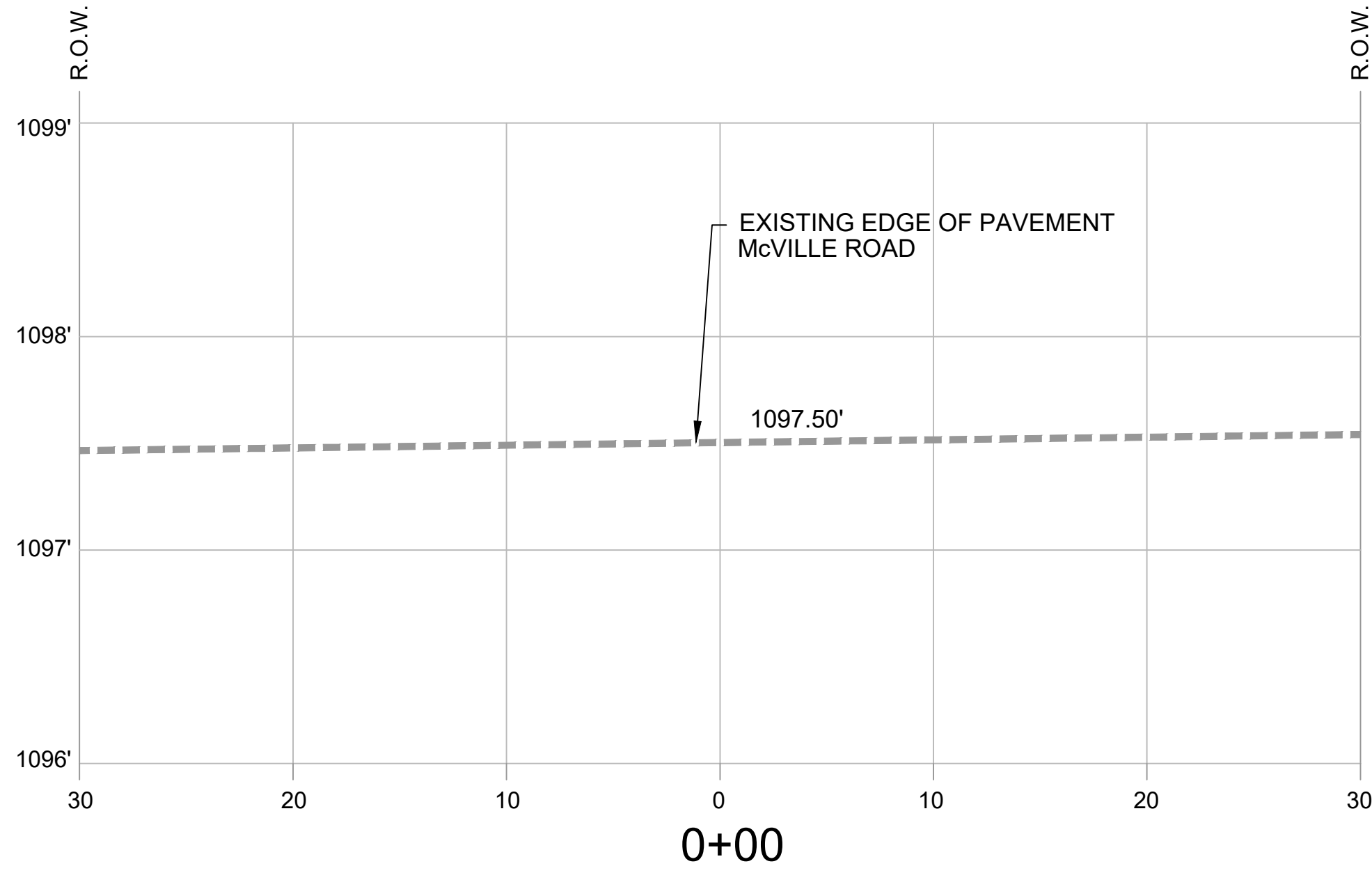
STREET LIGHT PLAN

SHEET NO.:

C-108

Item 1.

27



ALABAMA
LICENSED
No. 17318
PROFESSIONAL
1/23/25
ENGINEER
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

MARSHALL COUNTY

SCALE:
1"=30'

DATE:
JANUARY 2025

PROJ. NO.:
232301

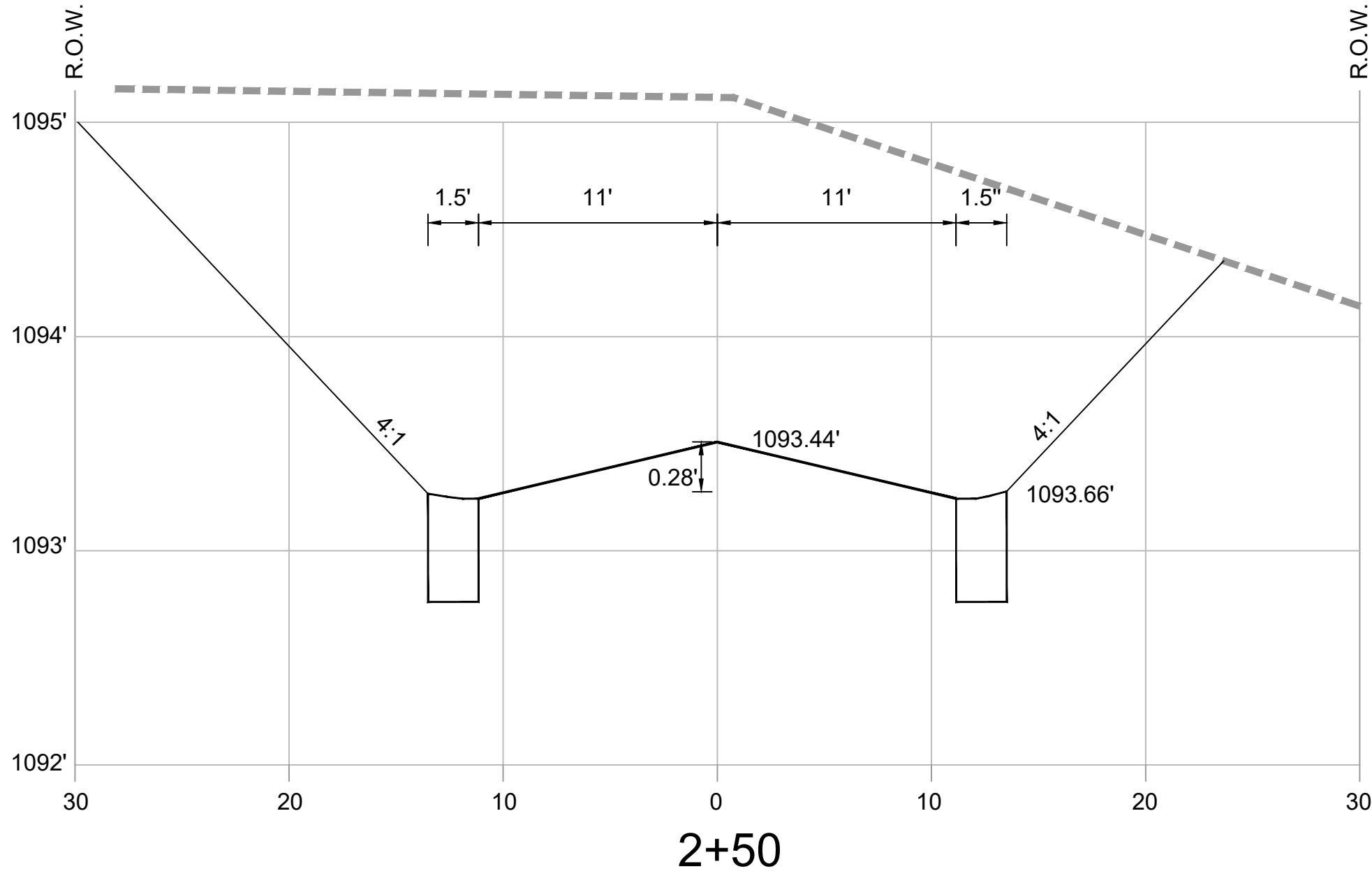
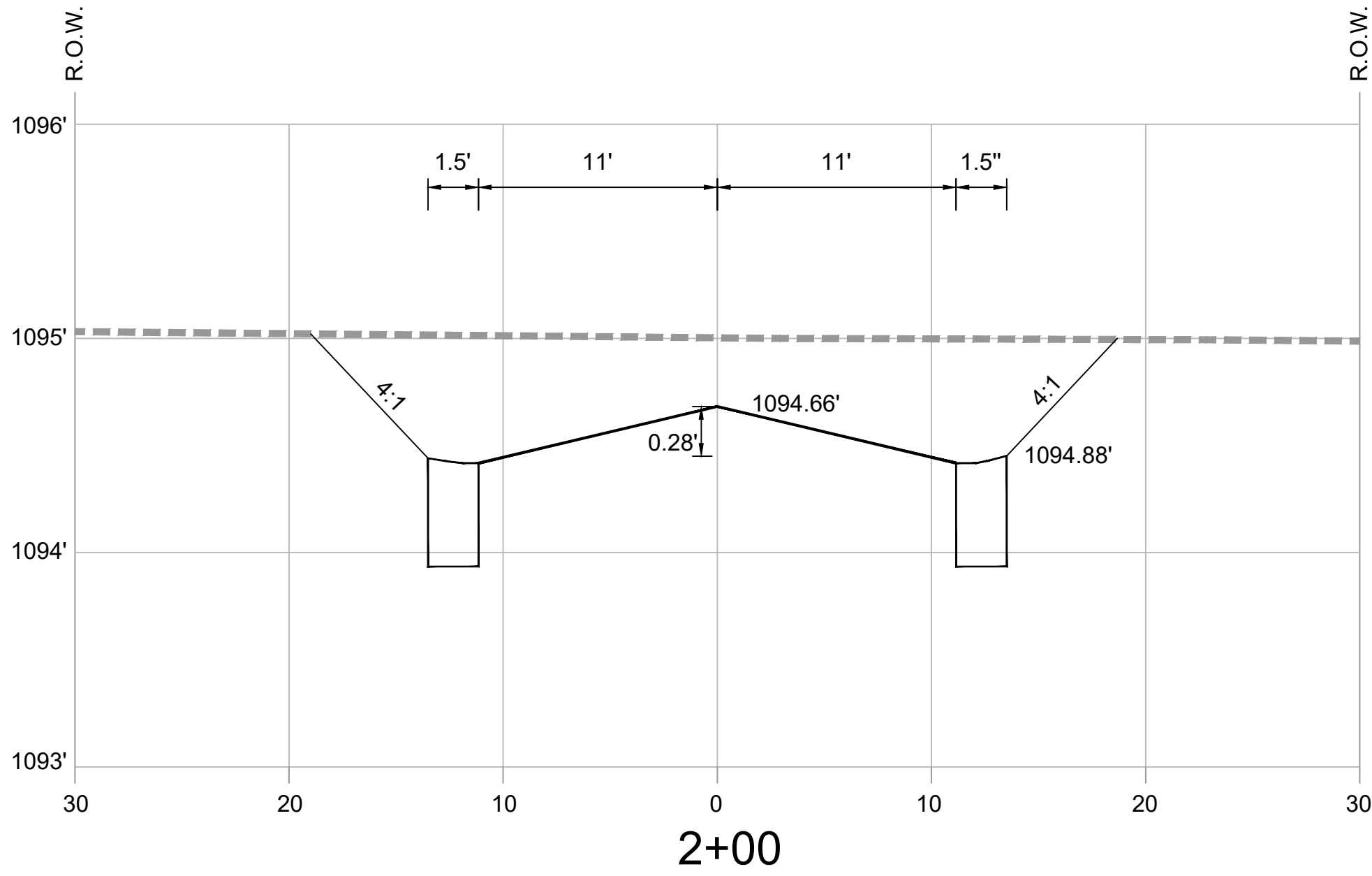
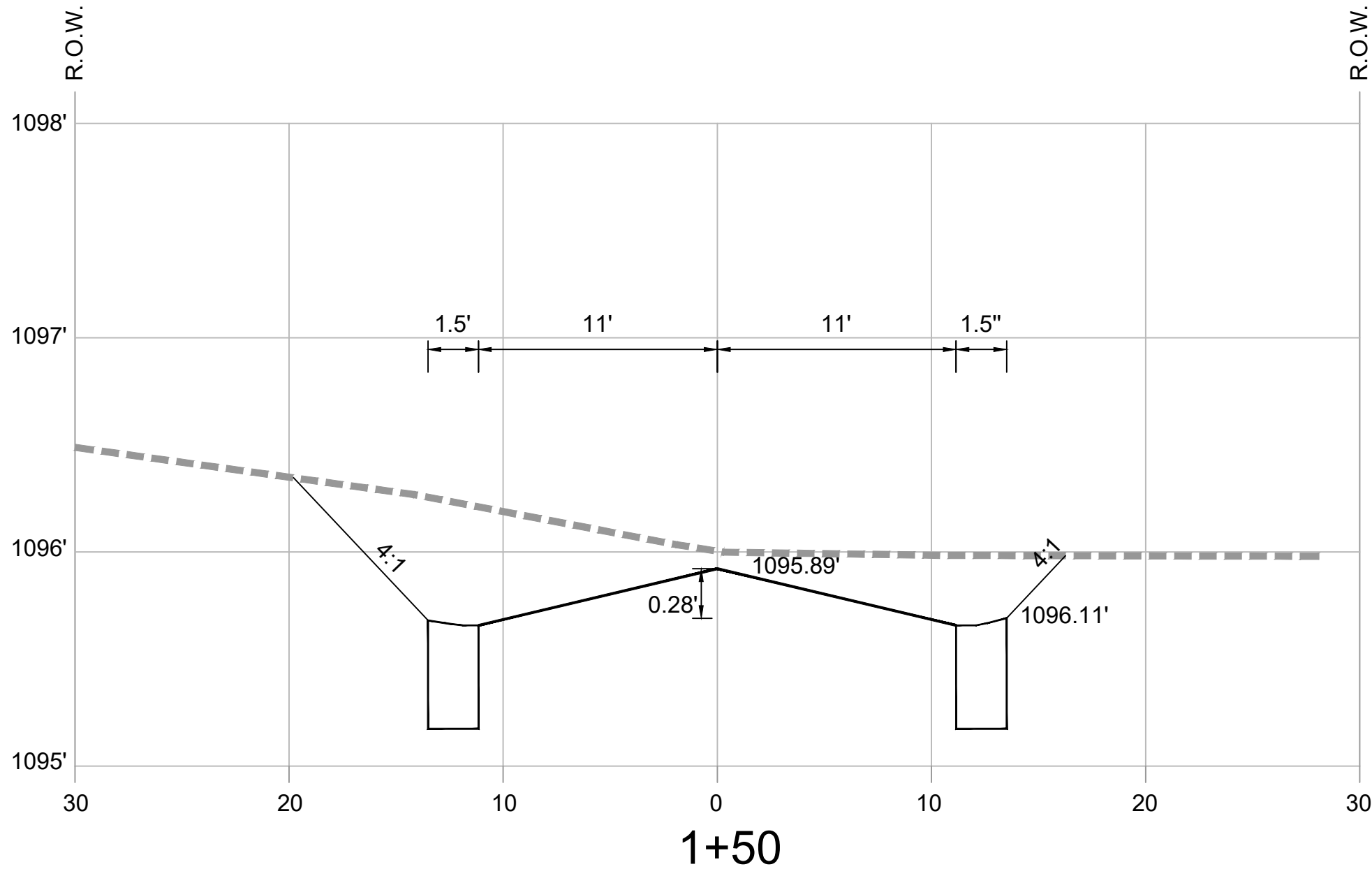
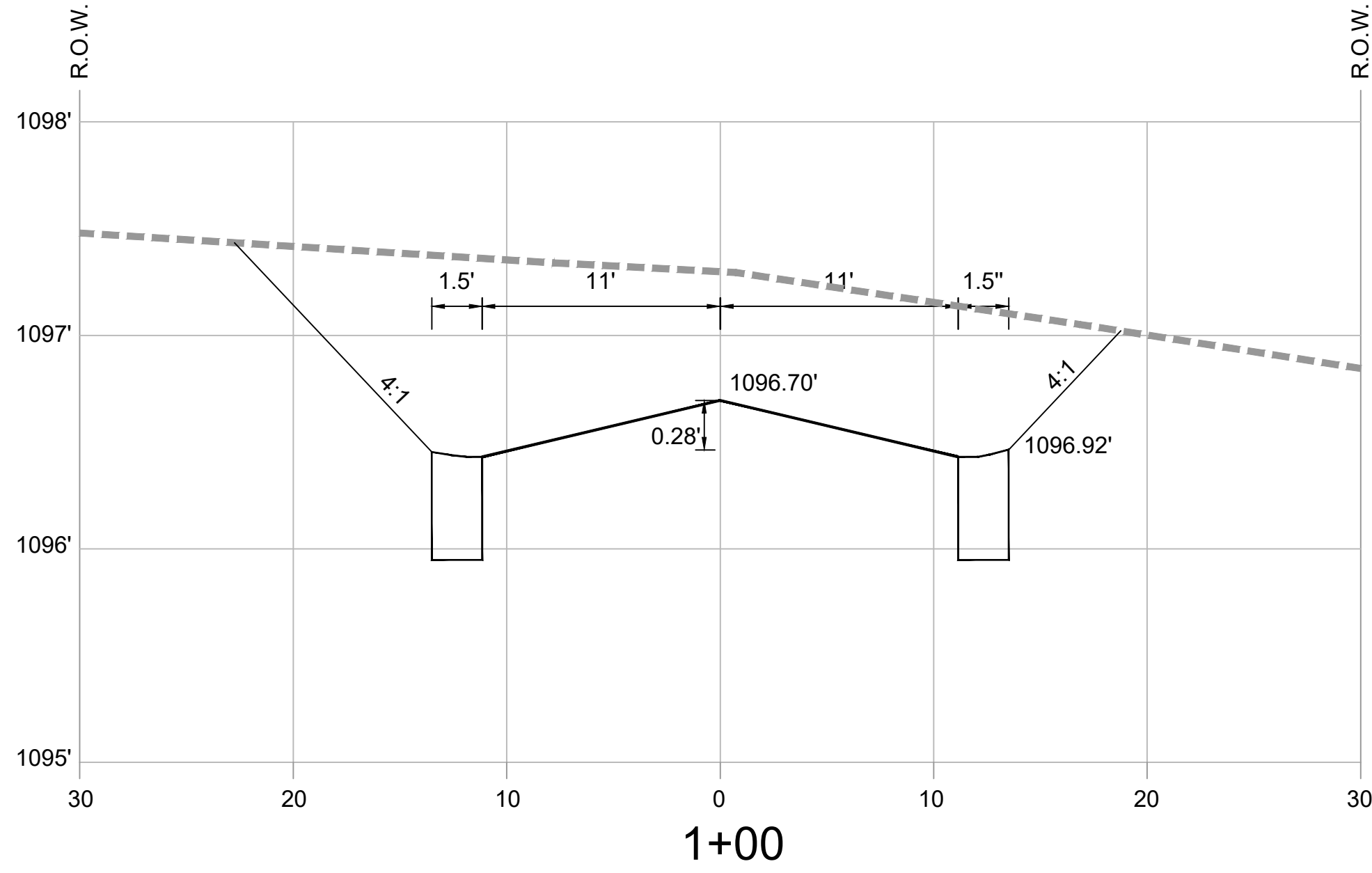
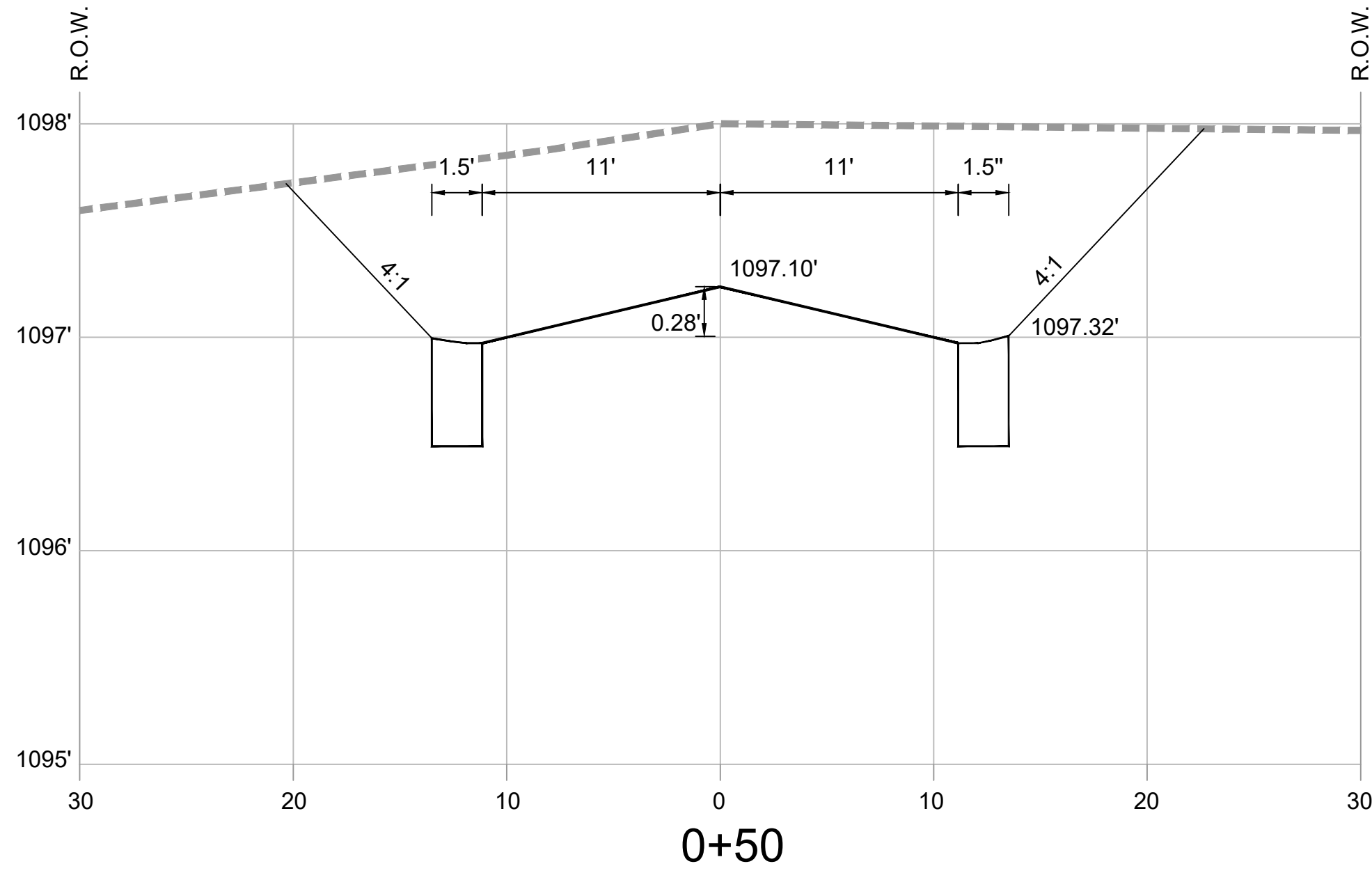
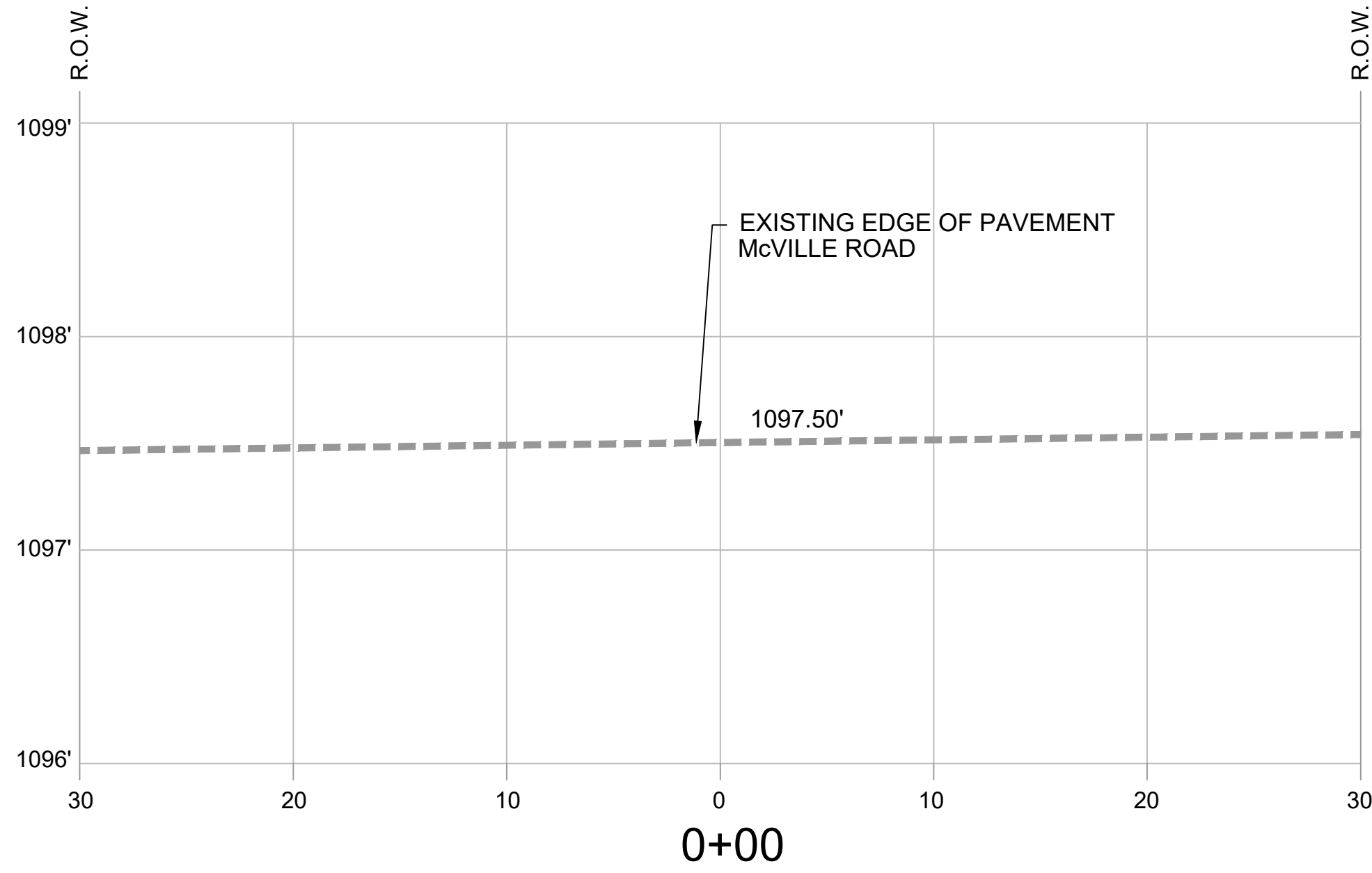
DRAWN BY:
CWJ

SHEET TITLE:
ROAD
PROFILE

SHEET NO.:
C-109

Item 1.

28



ALABAMA

LICENSE

No. 17318

PROFESSIONAL

1/23/25

ENGINEER

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVilleville Road, Boaz

MARSHALL COUNTY

SCALE:

1"=30'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

ROAD

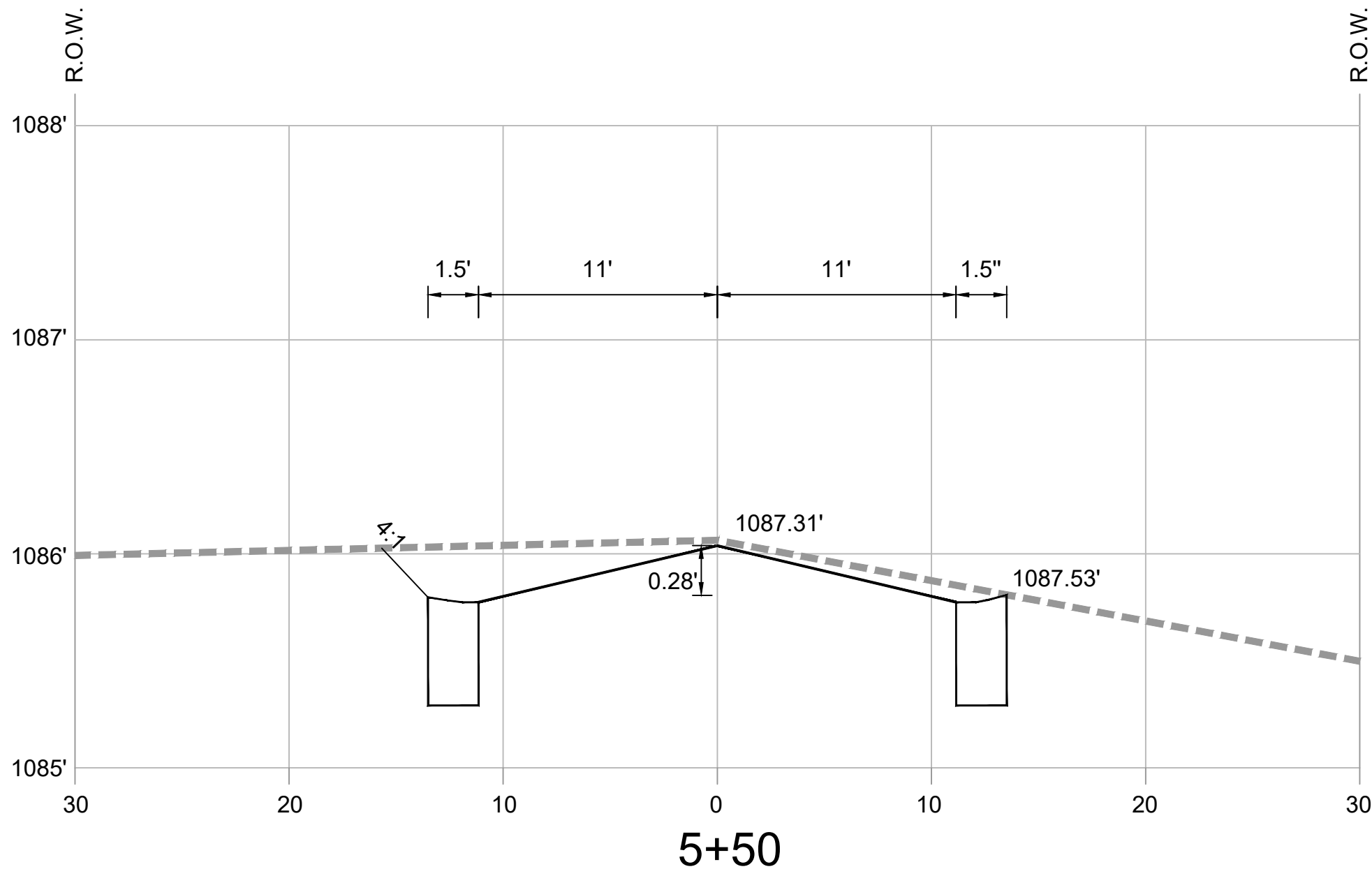
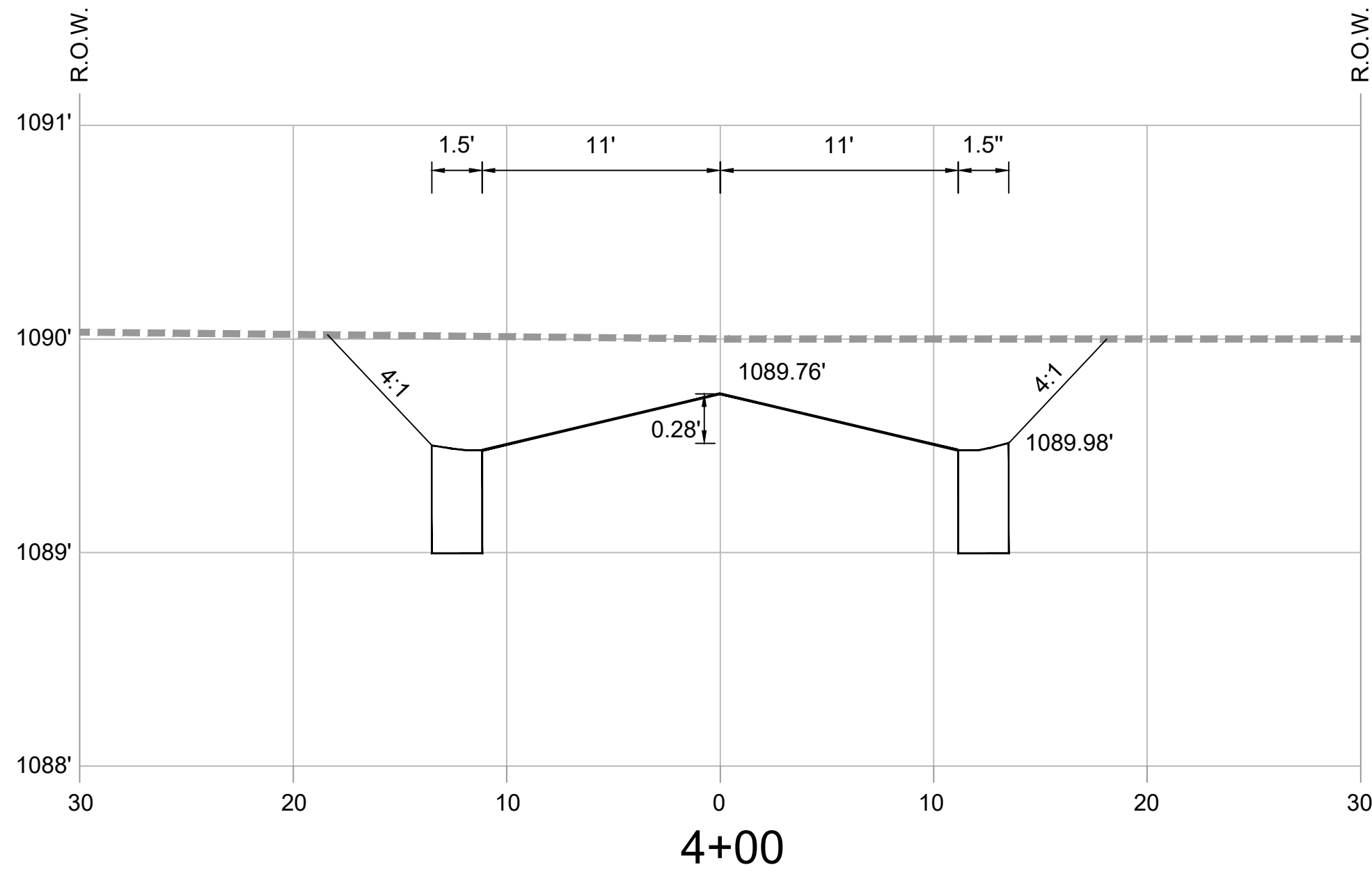
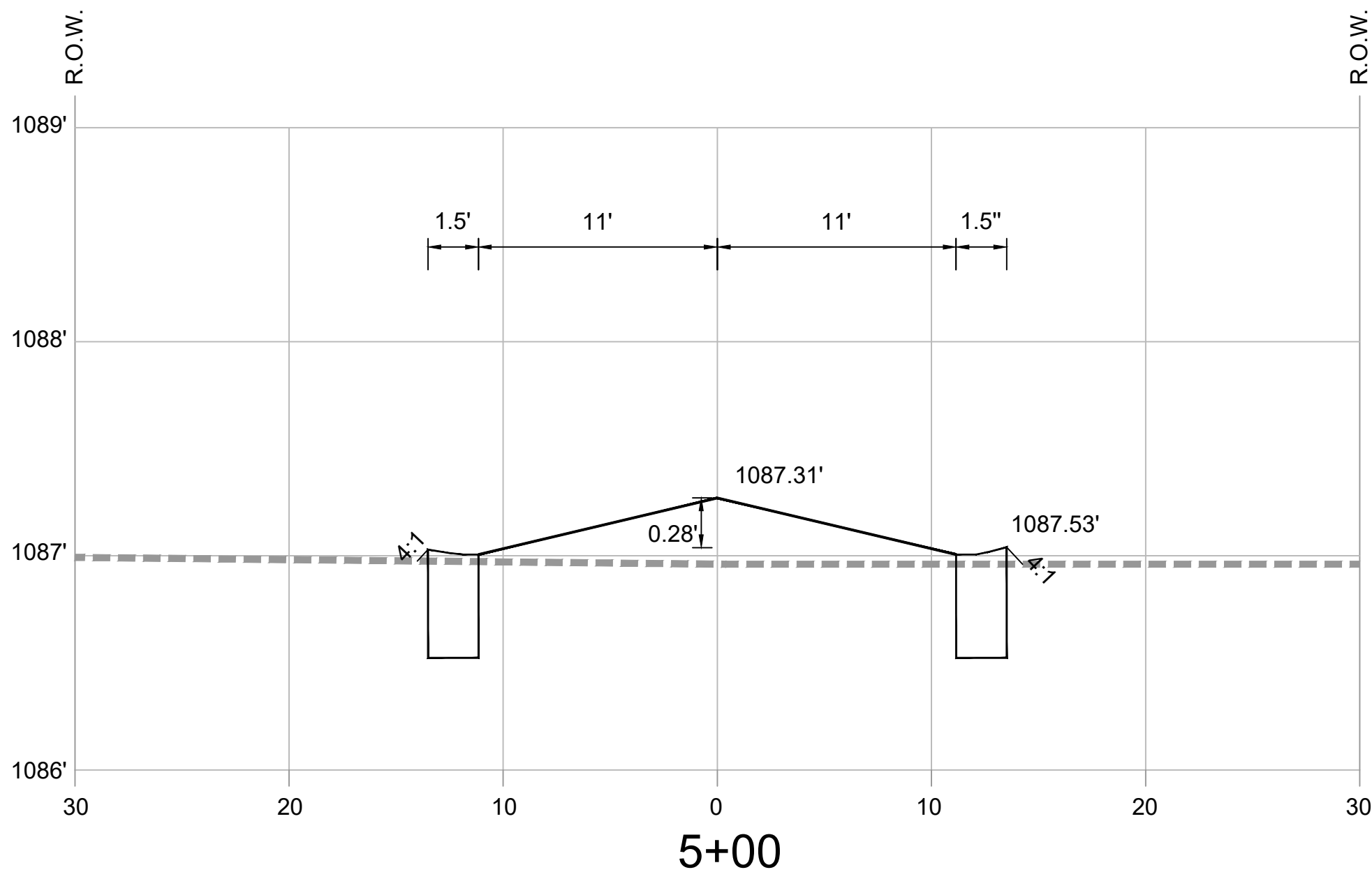
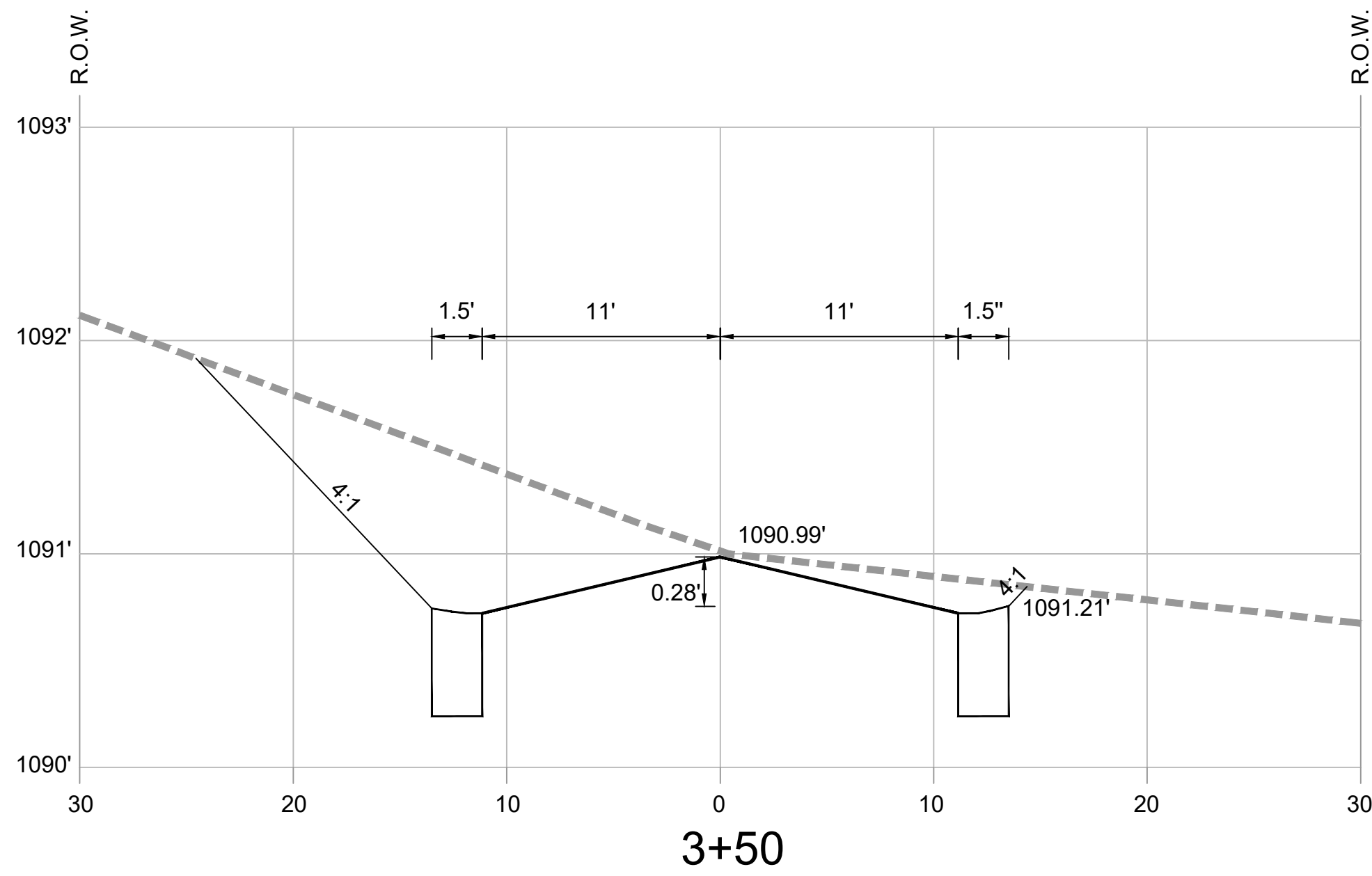
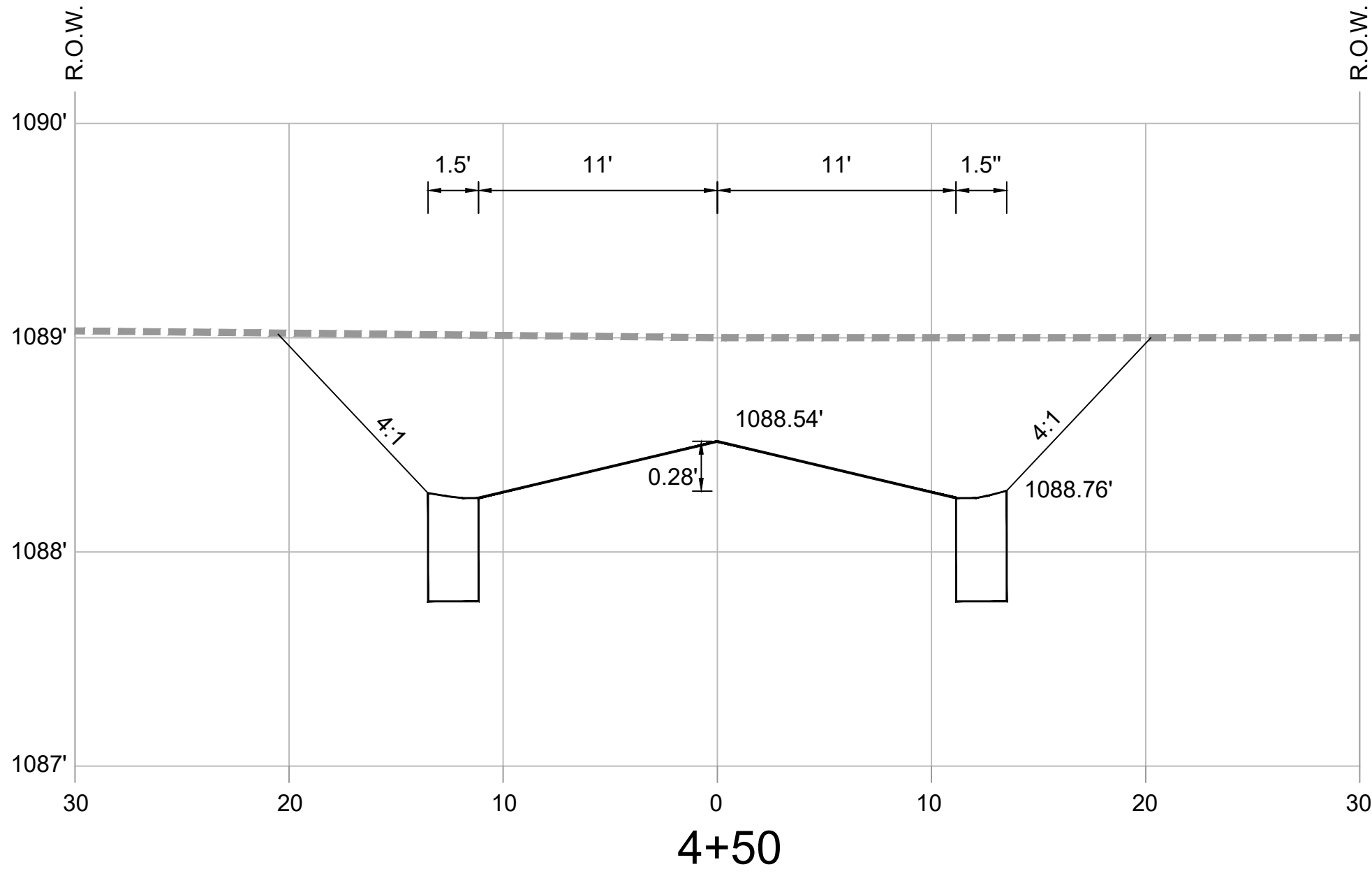
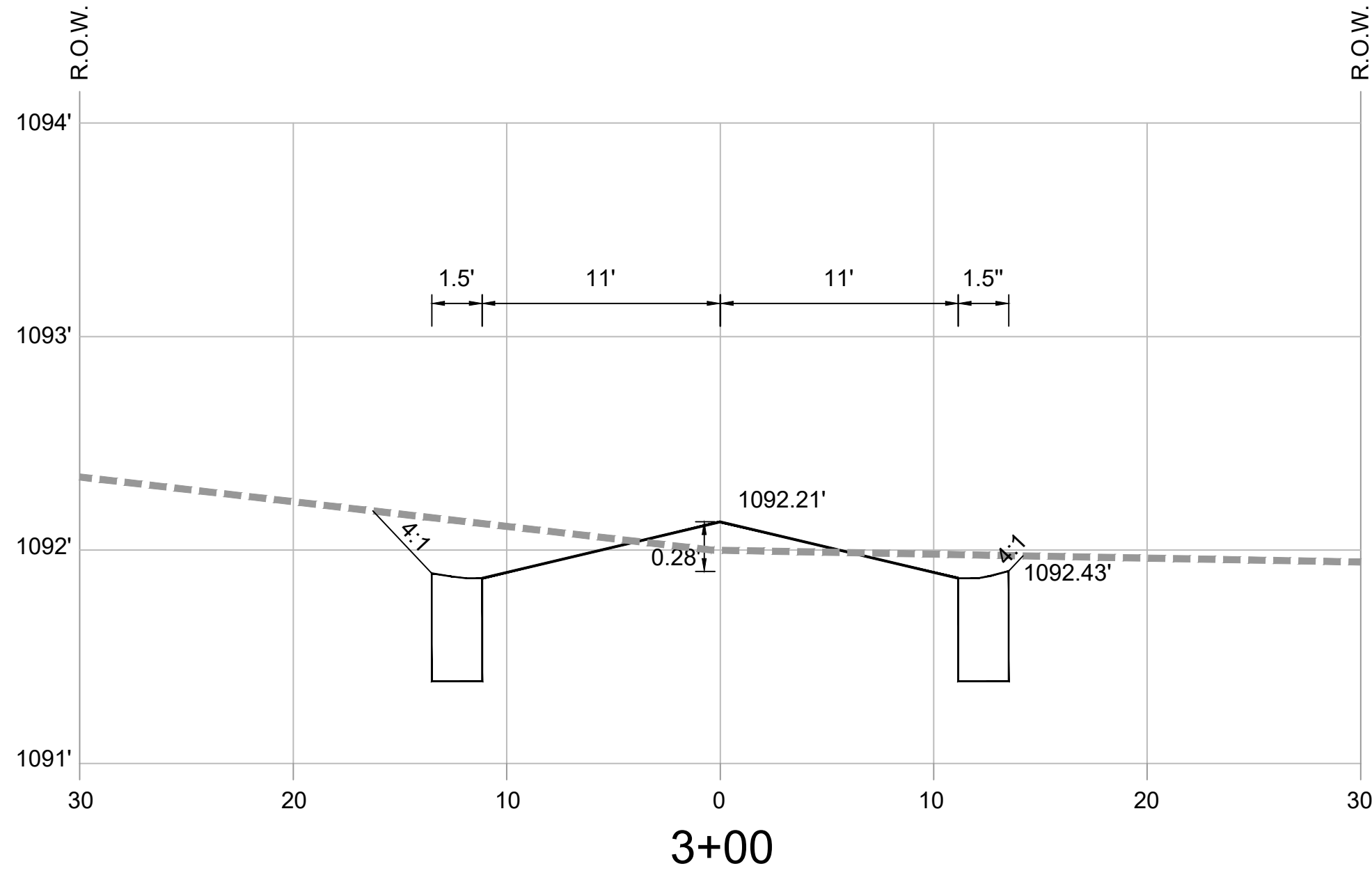
PROFILE

SHEET NO.:

C-110

Item 1.

29



ALABAMA

ENGINEERING

James G. Chitwood

Professional Engineer

No. 17318

1/23/25

CANYON

ENGINEERING

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVillie Road, Boaz

SCALE:

1"=30'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

ROAD PROFILE

SHEET NO.:

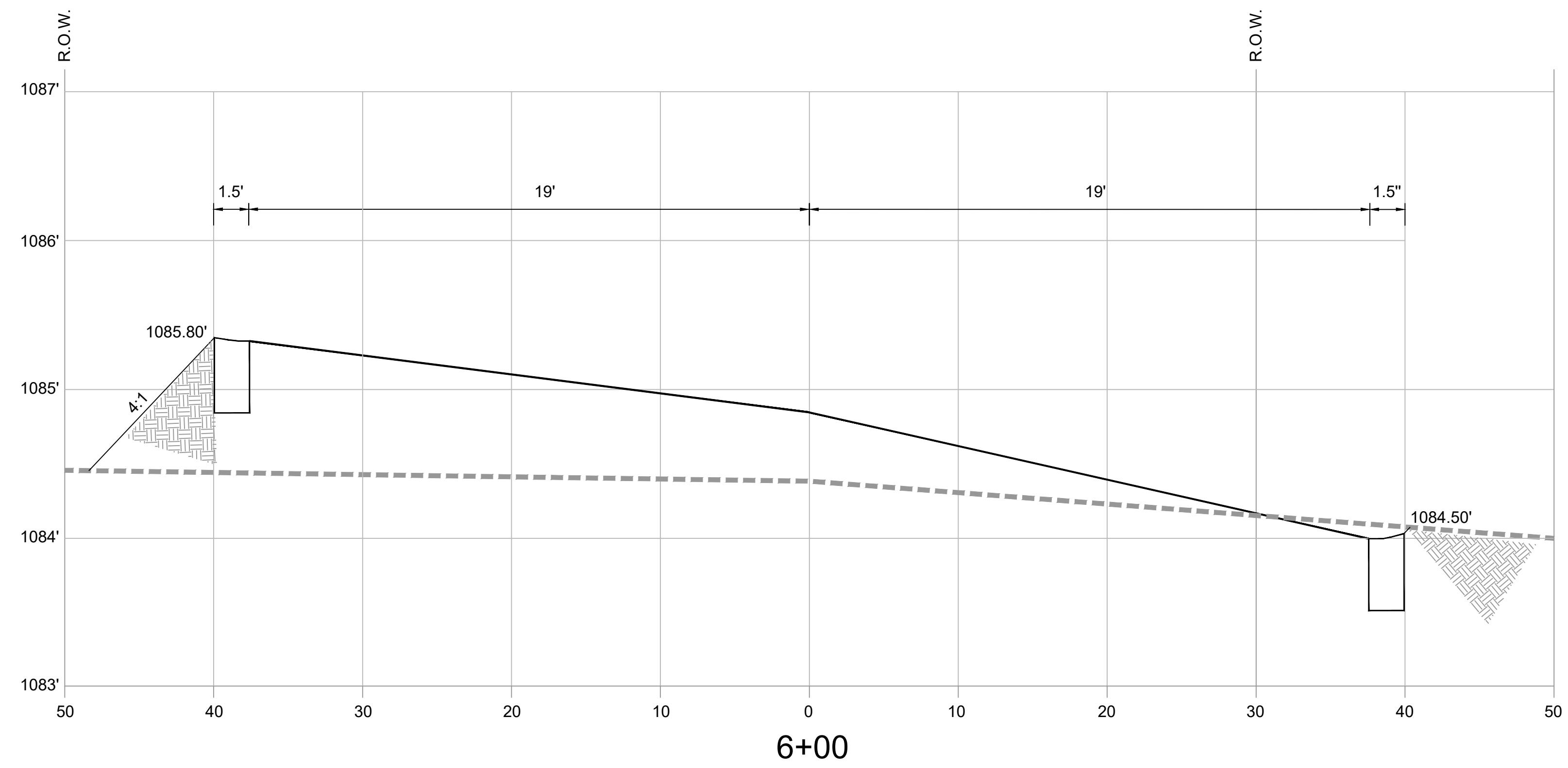
C-111

ALABAMA

MARSHALL COUNTY

Item 1.

30



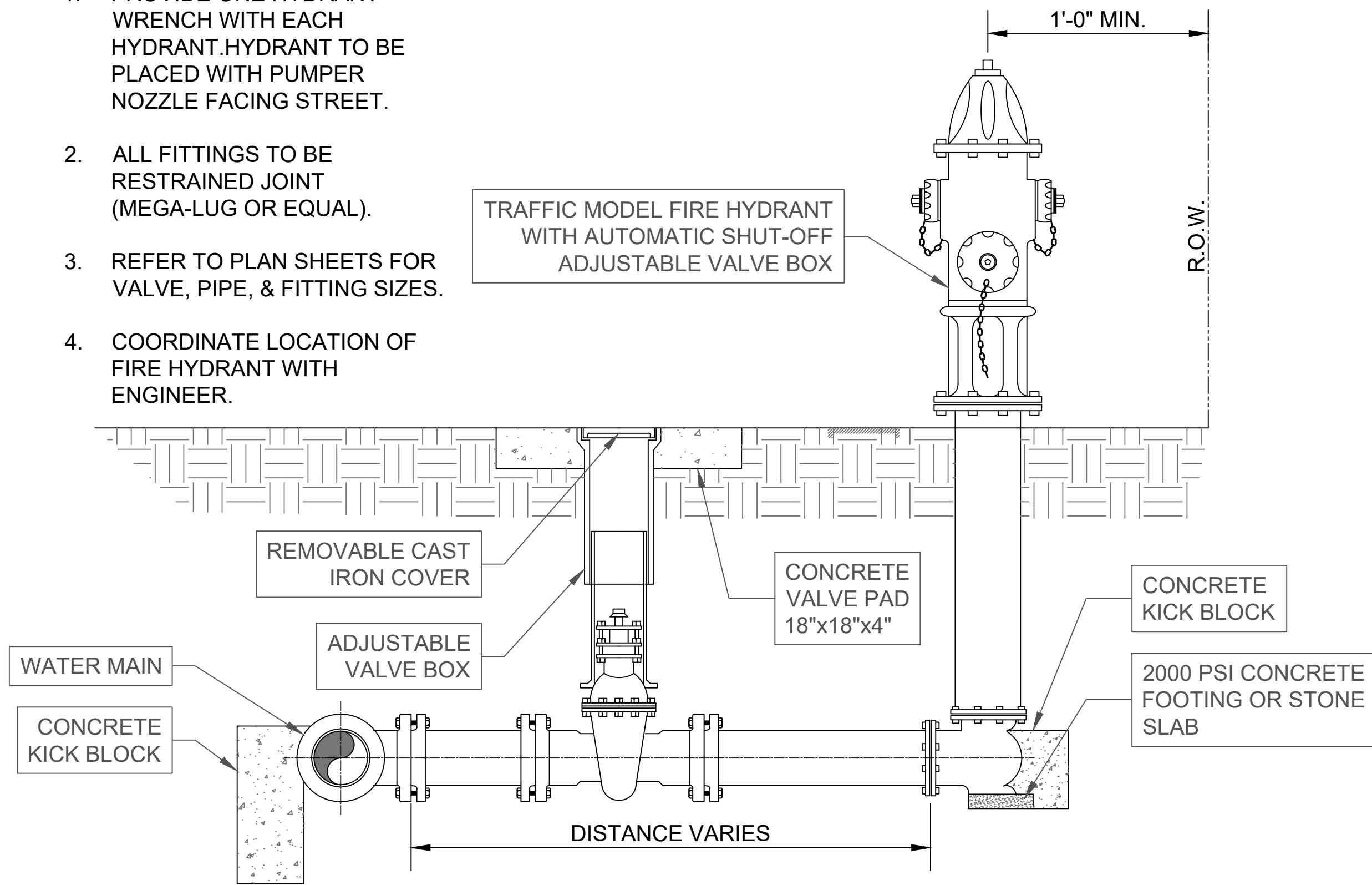
| | |
|--------------|---------------------------|
| SCALE: | 1"=30' |
| DATE: | JANUARY 2025 |
| PROJ. NO.: | 232301 |
| DRAWN BY: | CWJ |
| SHEET TITLE: | CROSS SECTIONS ROAD |
| SHEET NO.: | C-112 |



1. BITUMINOUS CONCRETE WEARING SURFACE LAYER (APPROX. 165 LBS/S.Y.). TYPE 424A MAXIMUM AGGREGATE SIZE 1/2", ESAL RANGE A, AS PER ALDOT SSHC 2012 OR LATER.
2. BITUMINOUS CONCRETE UPPER BINDER LAYER (APPROX. 330 LBS./S.Y.). TYPE 424B, MAXIMUM AGGREGATE SIZE 1", ESAL RANGE A, AS PER ALDOT SSHC 2012 OR LATER.
3. CRUSHED AGGREGATE BASE COURSE, ALDOT 825, TYPE B, 6" COMPACTED THICKNESS, AS PER ALDOT SSHC 2012 OR LATER.
4. SUB-GRADE (COMPACTED 100% MODIFIED PROCTOR).

NOTE:

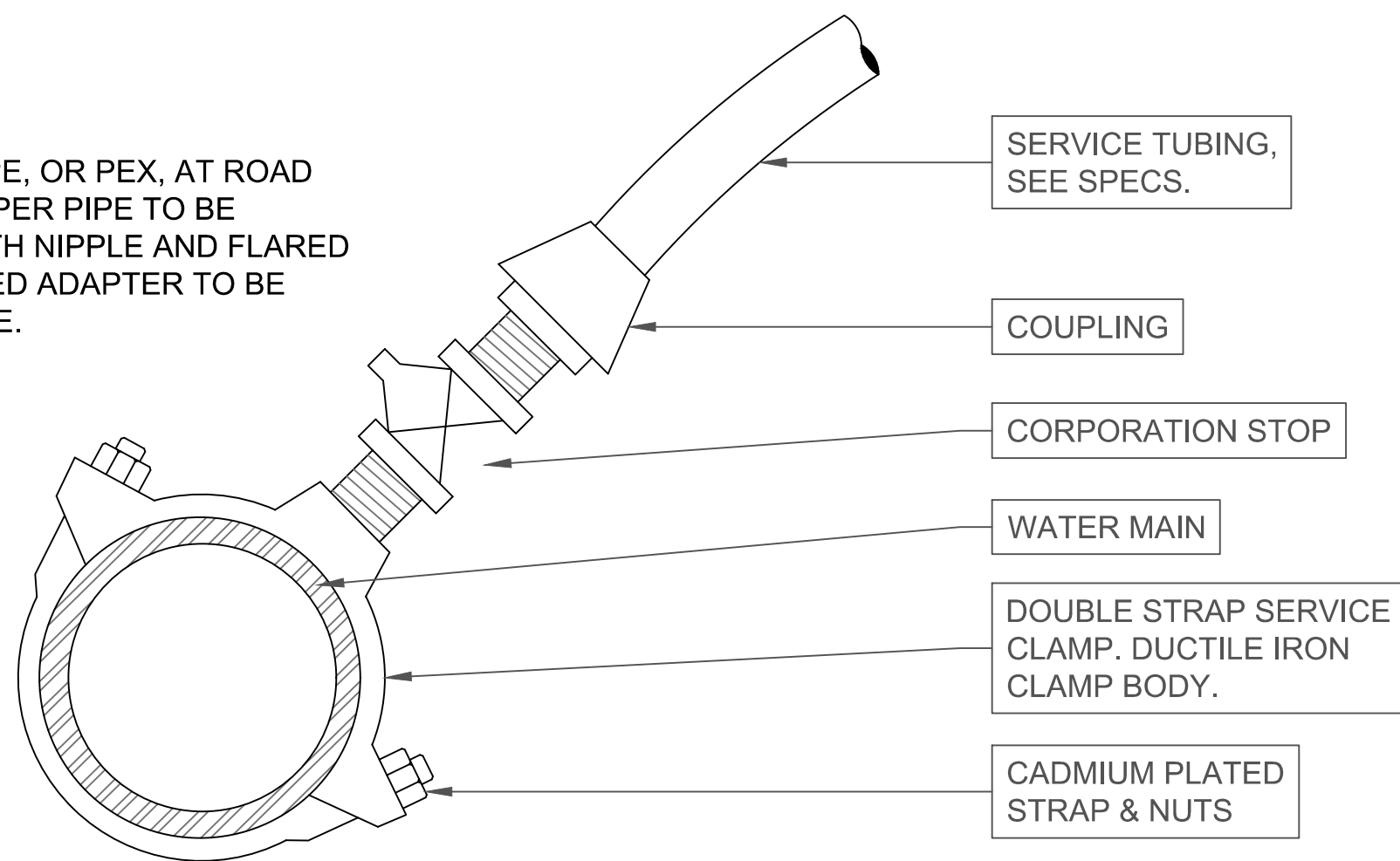
1. PROVIDE ONE HYDRANT WRENCH WITH EACH HYDRANT. HYDRANT TO BE PLACED WITH PUMPER NOZZLE FACING STREET.
2. ALL FITTINGS TO BE RESTRAINED JOINT (MEGA-LUG OR EQUAL).
3. REFER TO PLAN SHEETS FOR VALVE, PIPE, & FITTING SIZES.
4. COORDINATE LOCATION OF FIRE HYDRANT WITH ENGINEER.



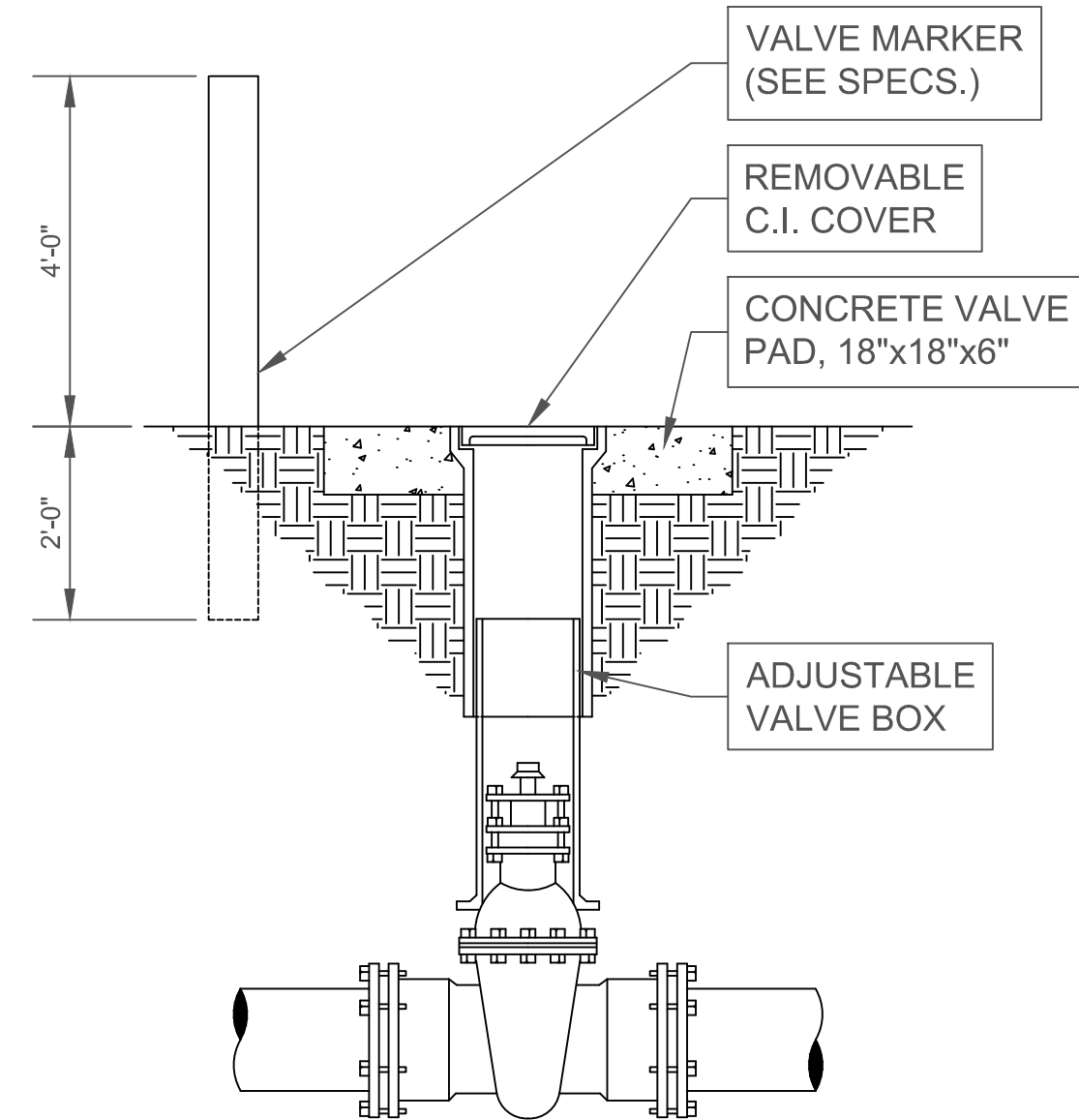
FIRE HYDRANT ASSEMBLY DETAIL
NO SCALE

NOTE:

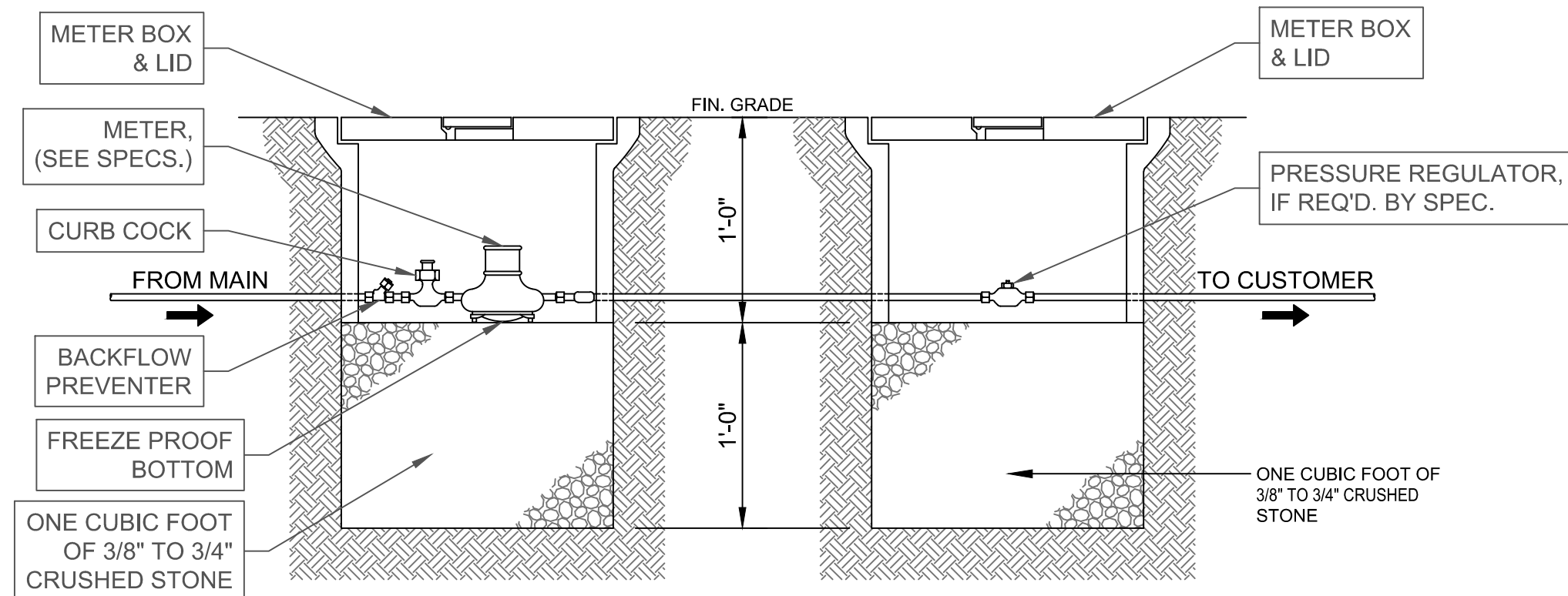
USE COPPER PIPE, OR PEX, AT ROAD CROSSING. COPPER PIPE TO BE CONNECTED WITH NIPPLE AND FLARED ADAPTER. FLARED ADAPTER TO BE DIELECTRIC TYPE.



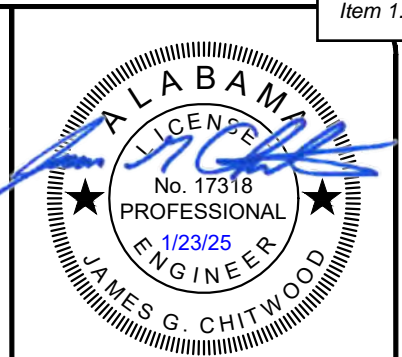
WATER SERVICE CONNECTION DETAIL
NO SCALE



TYP. BURIED VALVE & BOX DETAIL
NO SCALE

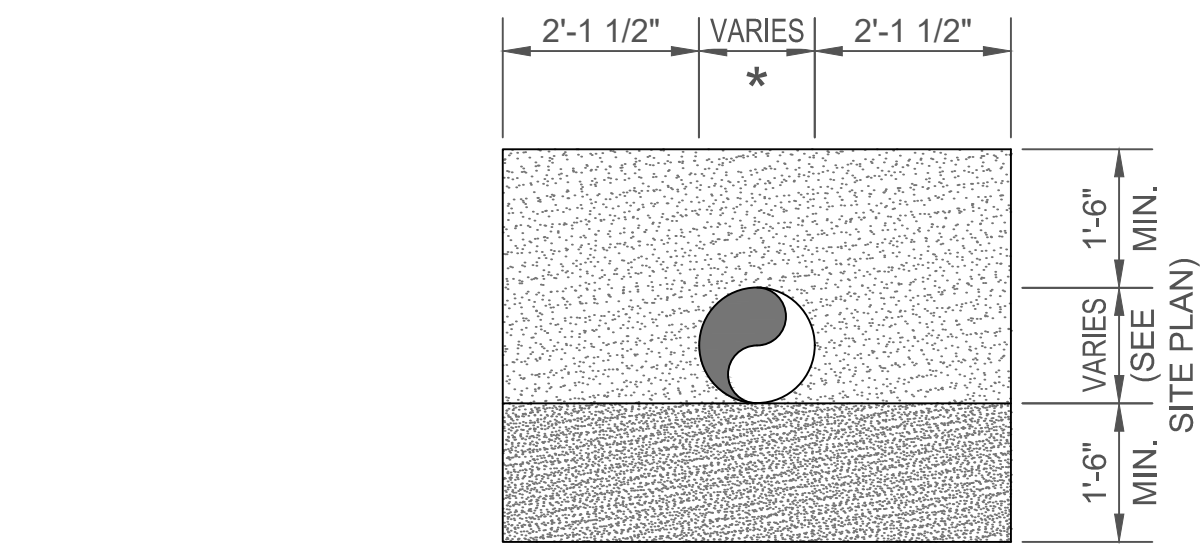


TYP. METER INSTALLATION
NO SCALE

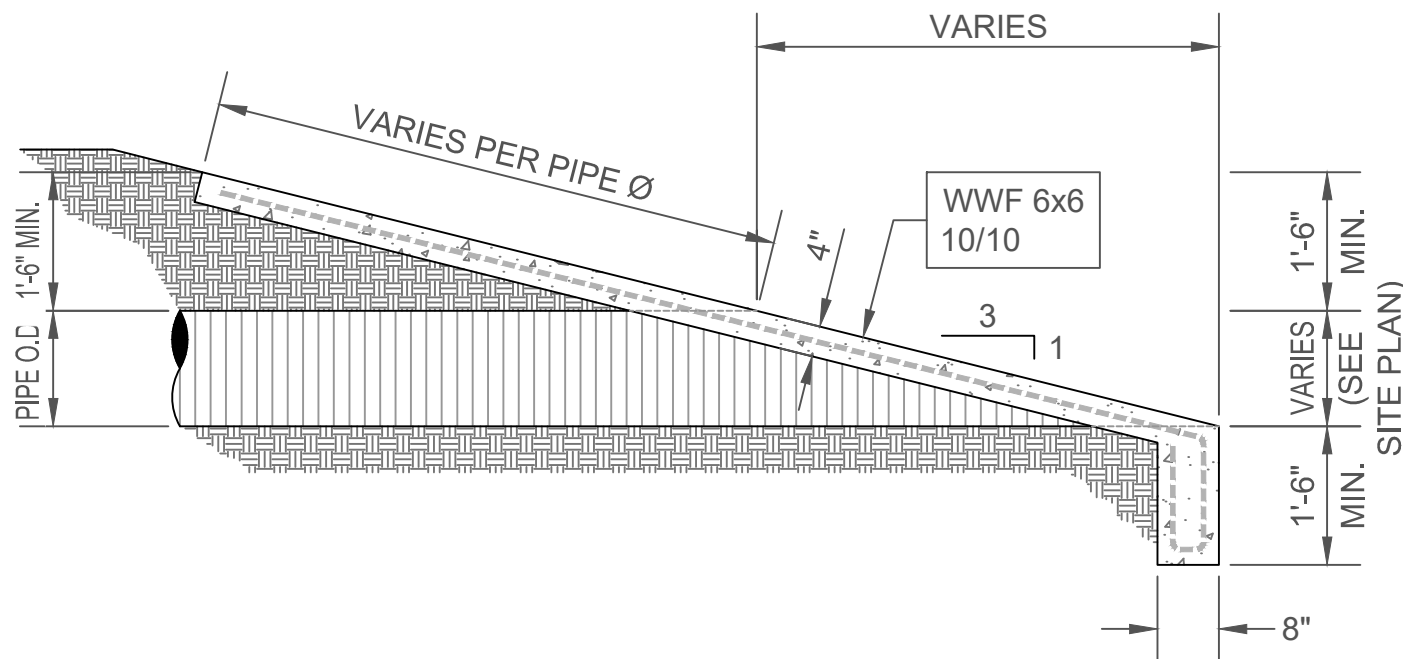


ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz
MARSHALL COUNTY

SCALE:
NOTED
DATE:
JANUARY 2025
PROJ. NO.:
232301
DRAWN BY:
CWJ
SHEET TITLE:
TYPICAL
DETAILS
SHEET NO.:
C-801



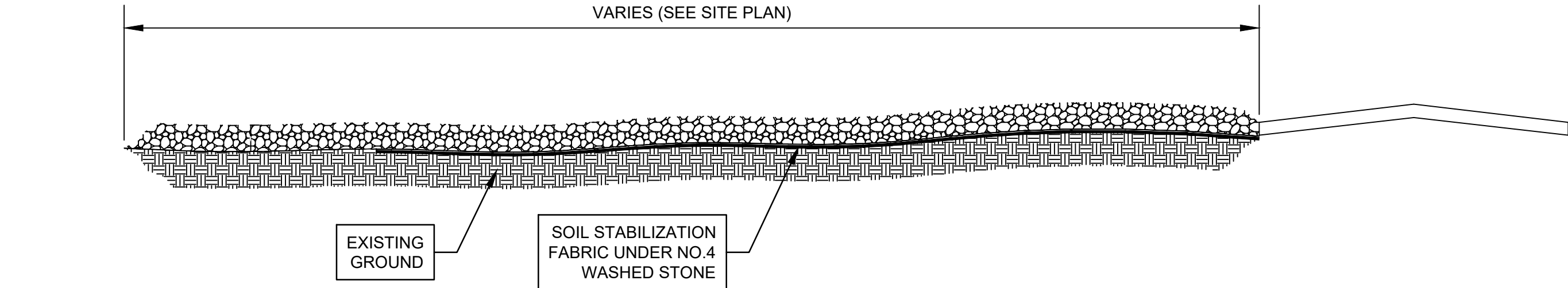
FRONT ELEVATION



SIDE ELEVATION VIEW

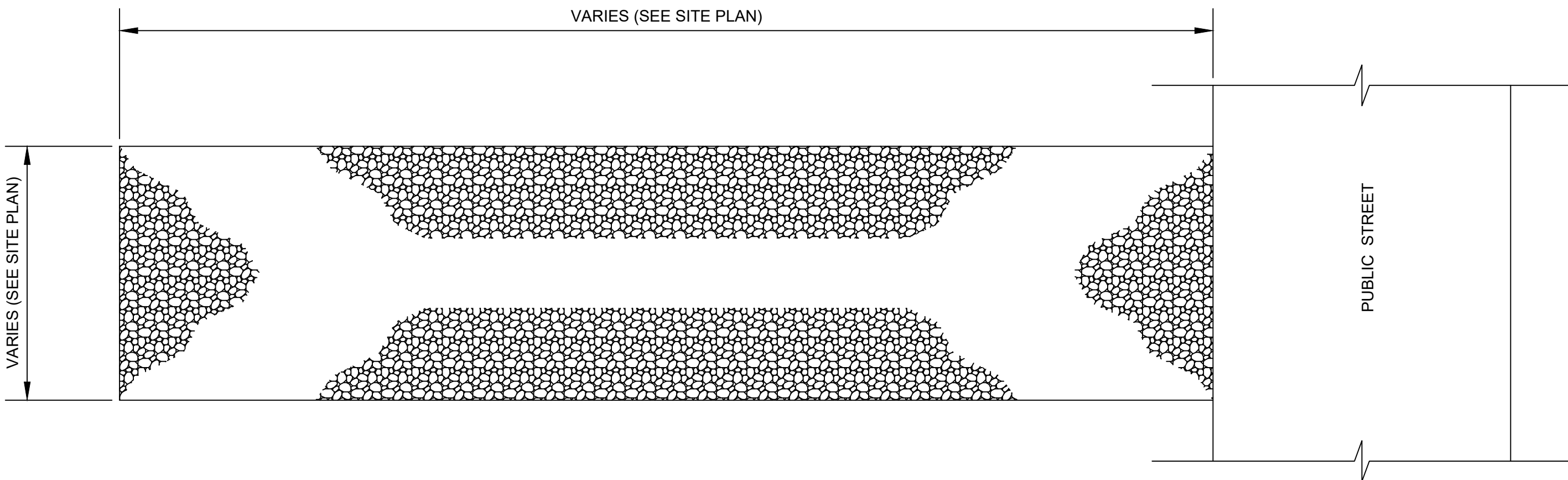
SLOPED HEADWALL DETAIL

NO SCALE



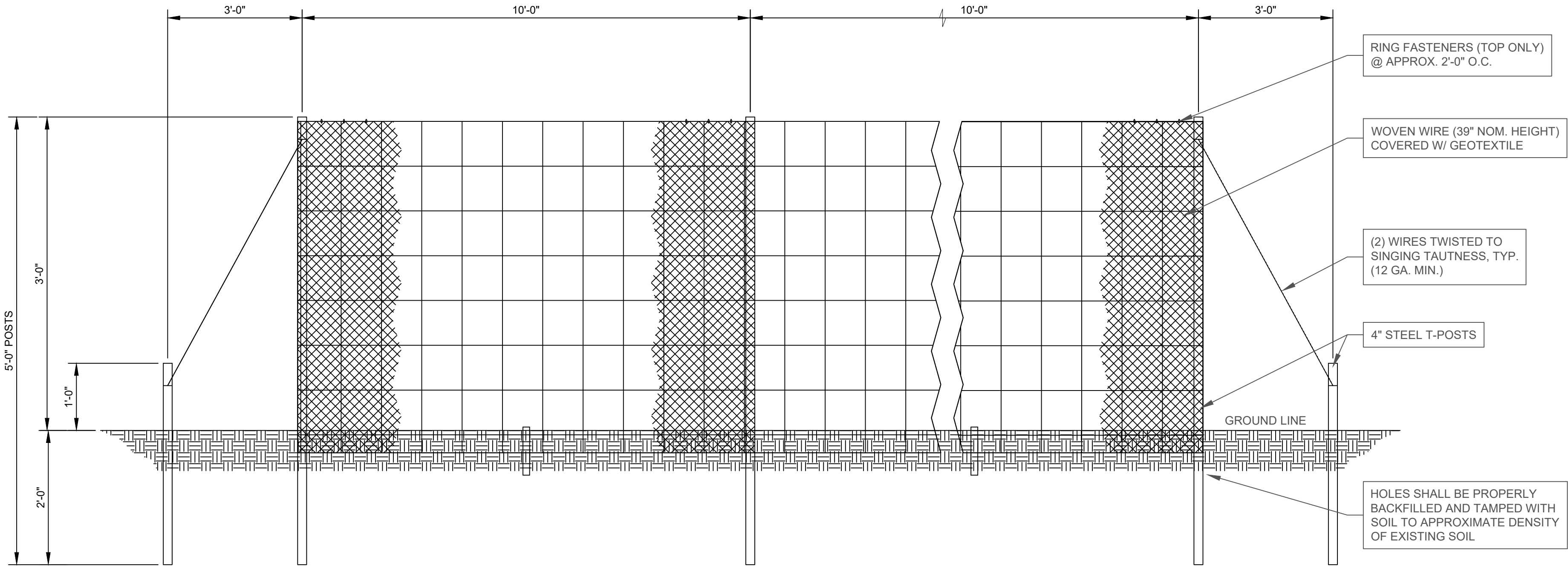
NOTES:

1. A STABILIZED ENTRANCE PAD OF #4 WASHED STONE, OR RAILROAD BALLAST, SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC, OR COMPACTED CRUSHER RUN STONE, SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING, OR FLOWING, OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR, OR CLEANOUT, OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED DAILY.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.



WASHED GRAVEL CONSTRUCTION ENTRANCE

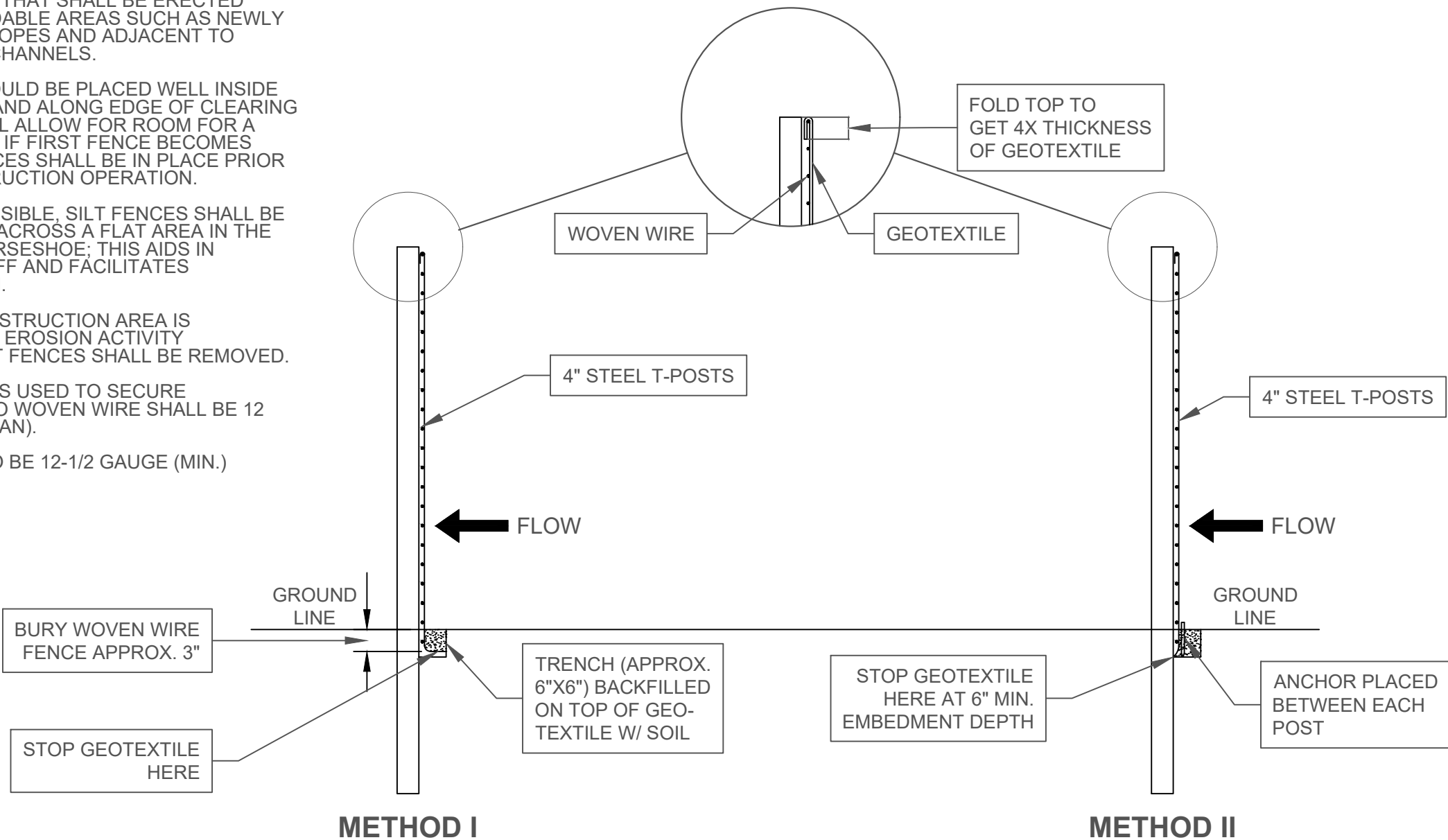
NO SCALE



ELEVATION VIEW

GENERAL NOTES:

1. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODABLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
2. SILT FENCE SHOULD BE PLACED WELL INSIDE RIGHT-OF-WAY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW FOR ROOM FOR A BACK-UP FENCE IF FIRST FENCE BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
3. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING RUNOFF AND FACILITATES SEDIMENTATION.
4. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
5. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 12 GAUGE (AMERICAN).
6. WOVEN WIRE TO BE 12-1/2 GAUGE (MIN.)



SECTION VIEW

TYPICAL SILT FENCE INSTALLATION

NOT TO SCALE

ALABAMA

LICENSE

No. 17378

PROFESSIONAL

1/23/25

ENGINEER

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVillie Road, Boaz

MARSHALL COUNTY

SCALE:
NOTED

DATE:
JANUARY 2025

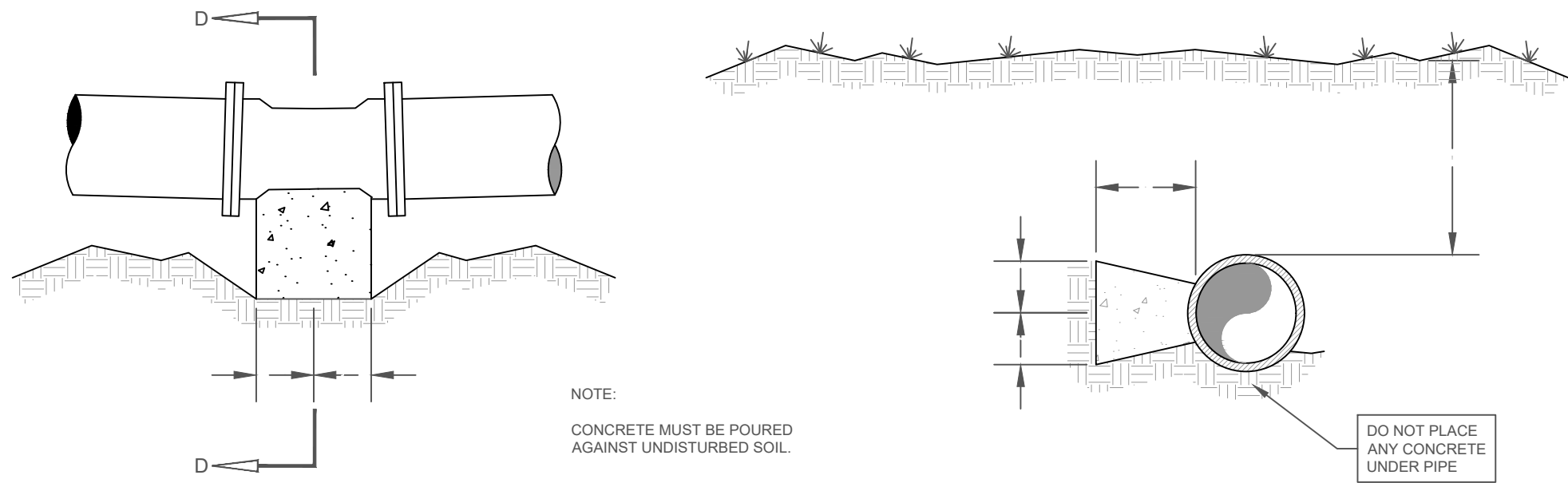
PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
TYPICAL
DETAILS

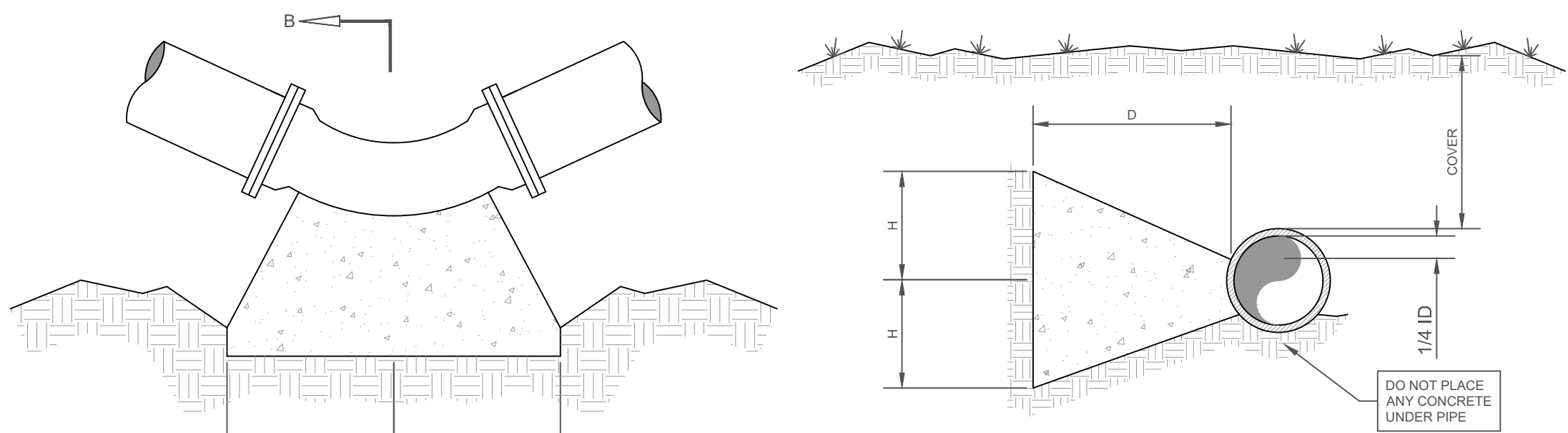
SHEET NO.:
C-802

34



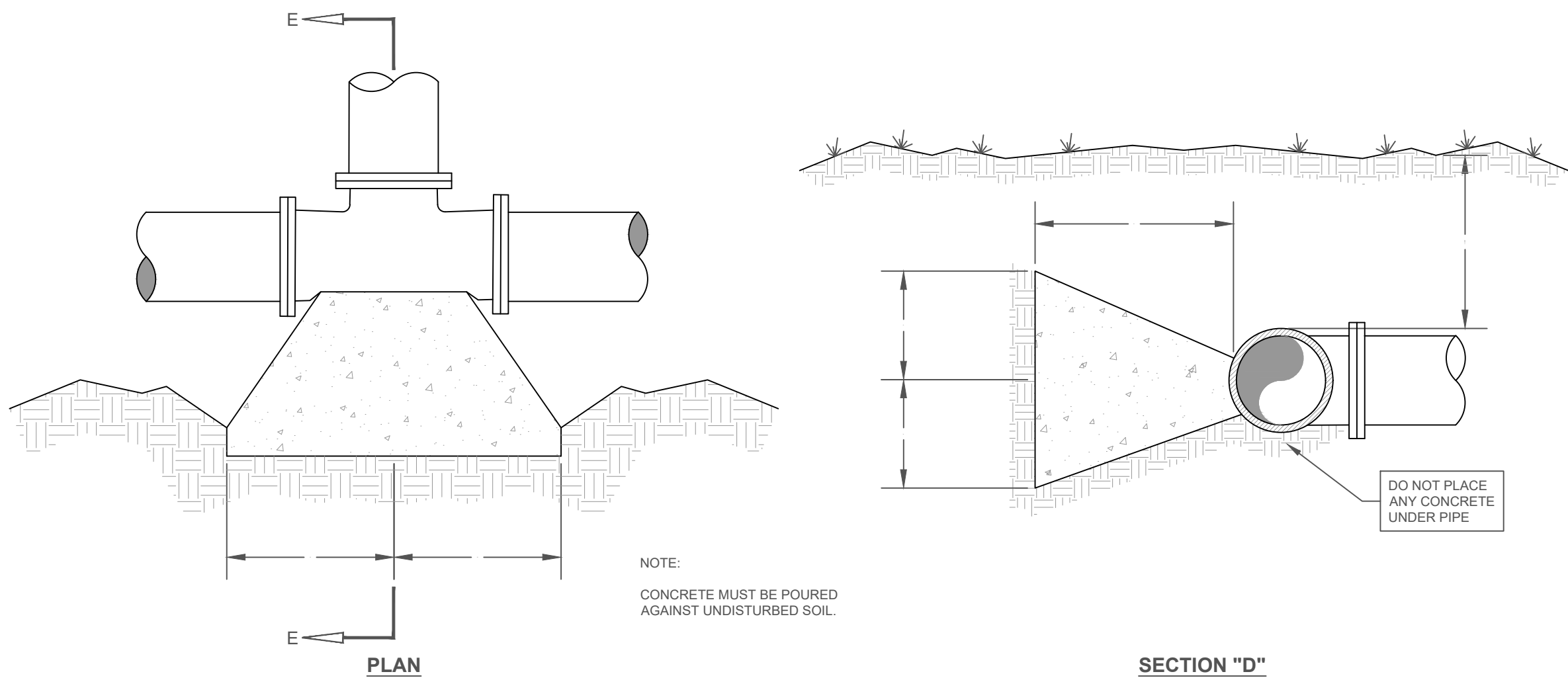
| 22 1/2° BENDS | | | | 11 1/4° BENDS | | | |
|---------------|-------|-------|-------|---------------|-------|-------|------------|
| PIPE DIA. | H | W | D | H | W | D | MIN. COVER |
| 4" | 6" | 4" | 1'-6" | 6" | 4" | 1'-6" | 2'-6" |
| 6" | 9" | 6" | 1'-6" | 6" | 6" | 1'-6" | 2'-6" |
| 8" | 1'-0" | 9" | 1'-6" | 9" | 6" | 1'-6" | 3'-0" |
| 10" | 1'-3" | 1'-0" | 1'-6" | 9" | 9" | 1'-6" | 3'-0" |
| 12" | 1'-6" | 1'-3" | 1'-6" | 1'-0" | 9" | 1'-6" | 4'-0" |
| 14" | 1'-6" | 1'-6" | 1'-6" | 1'-3" | 1'-0" | 1'-6" | 4'-0" |
| 16" | 2'-0" | 1'-6" | 1'-6" | 1'-6" | 1'-0" | 1'-6" | 4'-0" |
| 18" | 2'-3" | 1'-9" | 1'-6" | 1'-9" | 1'-0" | 1'-6" | 4'-0" |
| 20" | 2'-6" | 1'-9" | 1'-6" | 1'-9" | 1'-6" | 1'-6" | 5'-0" |
| 24" | 2'-9" | 2'-0" | 1'-6" | 2'-0" | 1'-6" | 1'-6" | 5'-0" |

TYPICAL 11 1/4° & 22 1/2° BEND THRUST BLOCK
NO SCALE



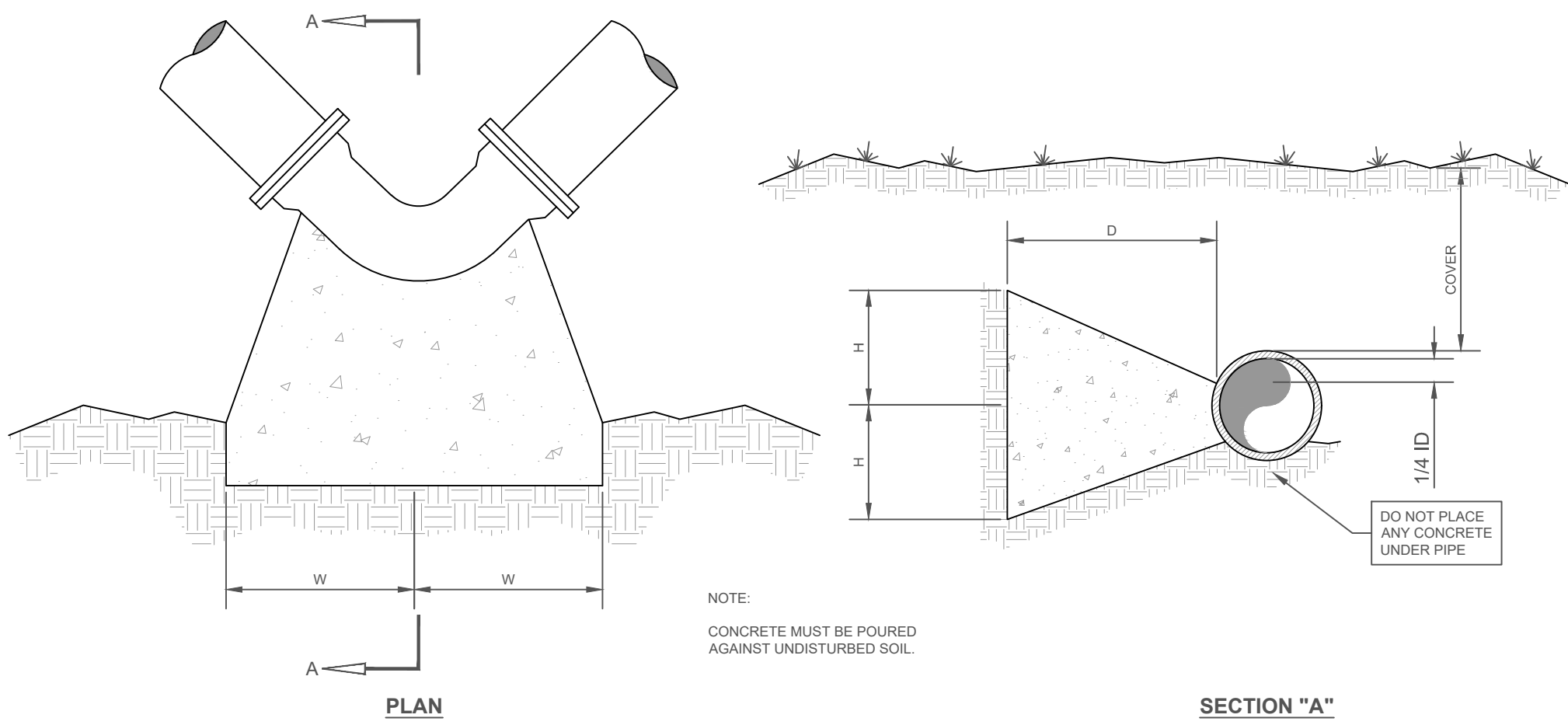
| PIPE DIA. | H | W | D | MIN. COVER |
|-----------|-------|-------|-------|------------|
| 4" | 9" | 1'-0" | 6" | 3'-0" |
| 6" | 9" | 1'-3" | 9" | 3'-0" |
| 8" | 1'-0" | 1'-6" | 1'-0" | 3'-0" |
| 10" | 1'-6" | 1'-6" | 1'-3" | 3'-0" |
| 12" | 1'-6" | 2'-3" | 1'-6" | 4'-0" |
| 14" | 1'-9" | 2'-6" | 1'-9" | 4'-0" |
| 16" | 2'-3" | 2'-6" | 2'-0" | 4'-0" |
| 18" | 2'-6" | 3'-0" | 2'-3" | 4'-0" |
| 20" | 3'-0" | 3'-0" | 2'-6" | 5'-0" |
| 24" | 3'-6" | 3'-6" | 3'-0" | 5'-0" |

TYPICAL 45° BEND THRUST BLOCK DETAIL
NO SCALE



| PIPE DIA. | H | W | D | MIN. COVER |
|-----------|-------|-------|-------|------------|
| 4" | 9" | 9" | 1'-6" | 3'-0" |
| 6" | 9" | 1'-6" | 1'-6" | 3'-0" |
| 8" | 1'-3" | 1'-9" | 1'-6" | 3'-0" |
| 10" | 1'-6" | 2'-0" | 1'-6" | 3'-0" |
| 12" | 1'-6" | 3'-0" | 1'-6" | 4'-0" |
| 14" | 2'-3" | 3'-0" | 1'-9" | 4'-0" |
| 16" | 2'-3" | 3'-0" | 2'-0" | 4'-0" |
| 18" | 2'-6" | 3'-0" | 2'-3" | 4'-0" |
| 20" | 2'-6" | 3'-3" | 2'-6" | 5'-0" |
| 24" | 3'-0" | 3'-6" | 3'-0" | 5'-0" |

TYPICAL TEE THRUST BLOCK DETAIL
NO SCALE



| PIPE DIA. | H | W | D | MIN. COVER |
|-----------|-------|-------|-------|------------|
| 4" | 9" | 1'-0" | 1'-6" | 3'-0" |
| 6" | 1'-0" | 1'-6" | 1'-6" | 3'-0" |
| 8" | 1'-3" | 2'-3" | 1'-6" | 3'-0" |
| 10" | 1'-6" | 2'-6" | 1'-6" | 3'-0" |
| 12" | 2'-0" | 3'-0" | 1'-6" | 4'-0" |
| 14" | 2'-3" | 3'-9" | 1'-9" | 4'-0" |
| 16" | 2'-9" | 4'-0" | 2'-0" | 4'-0" |
| 18" | 3'-0" | 4'-6" | 2'-3" | 4'-0" |
| 20" | 3'-6" | 4'-9" | 2'-6" | 5'-0" |
| 24" | 4'-3" | 5'-0" | 3'-0" | 5'-0" |

TYPICAL 90° BEND THRUST BLOCK DETAIL
NO SCALE

ALABAMA
LICENSED
No. 17318
PROFESSIONAL
1/23/25
ENGINEER
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

MARSHALL COUNTY

SCALE:
NOTED

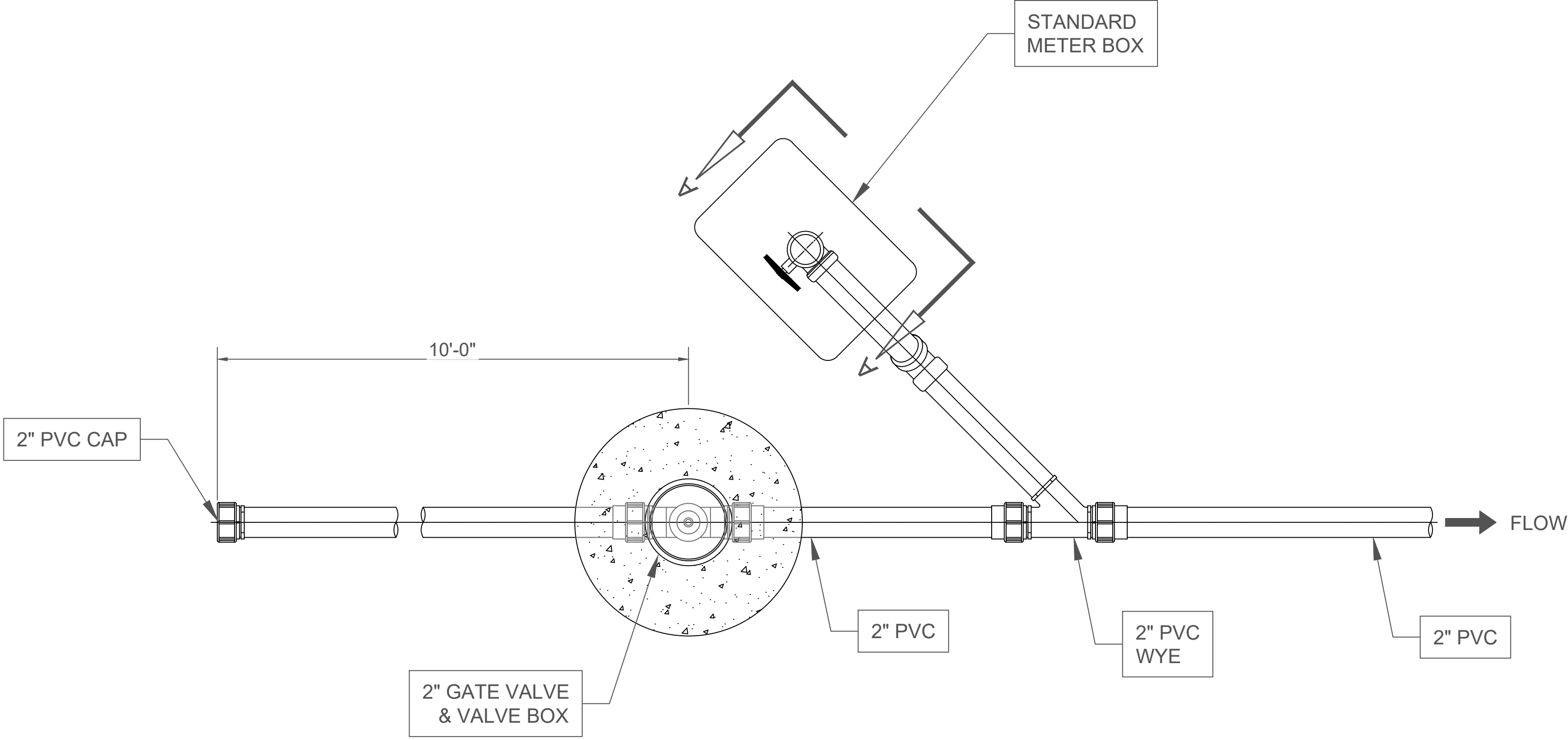
DATE:
JANUARY 2025

PROJ. NO.:
232301

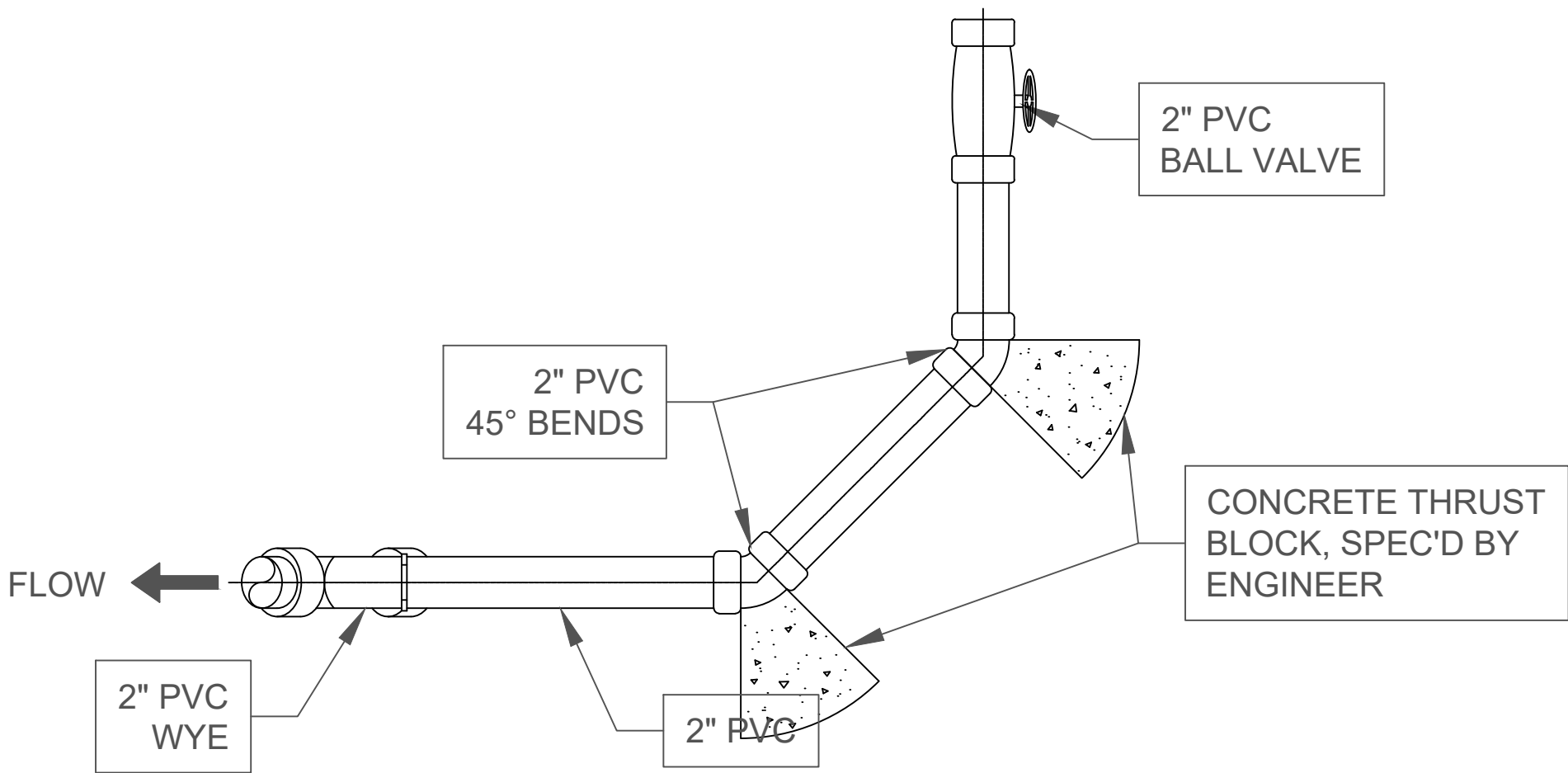
DRAWN BY:
CWJ

SHEET TITLE:
TYPICAL
DETAILS

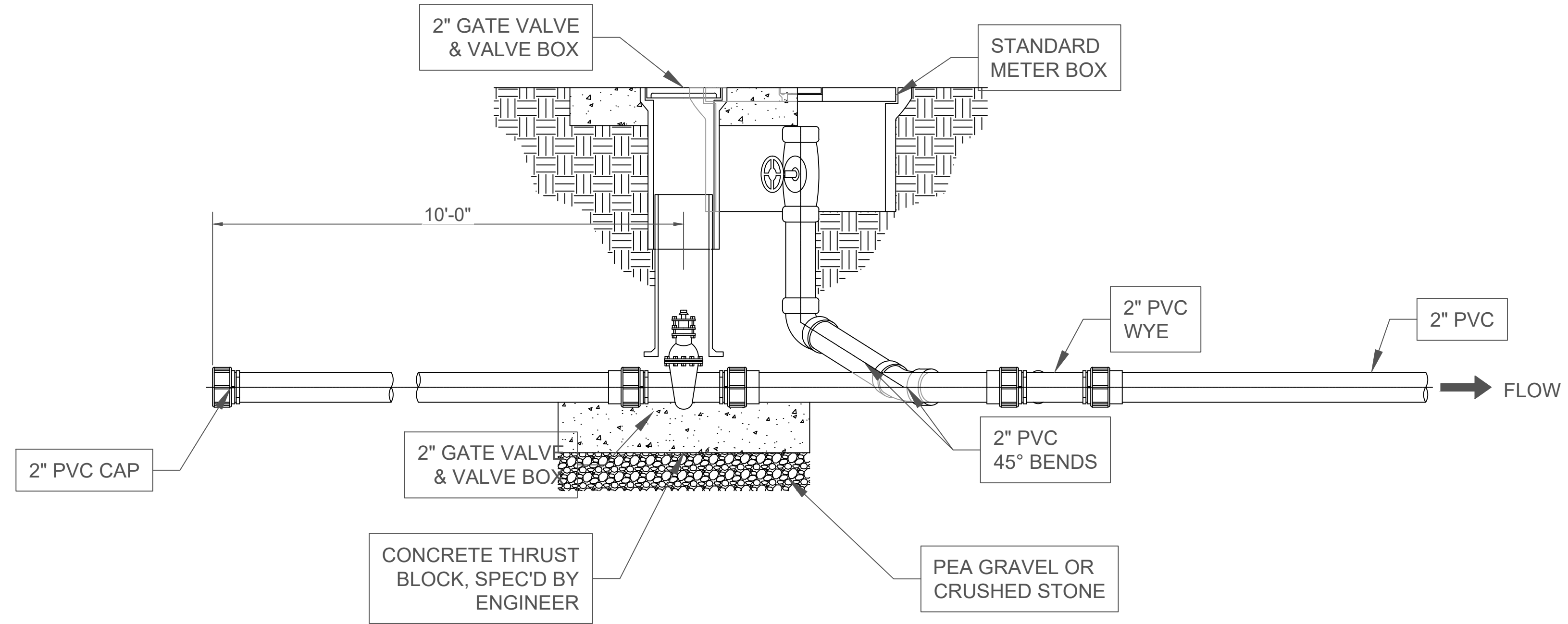
SHEET NO.:
C-803



PLAN VIEW



SECTION A-A



ELEVATION VIEW
END OF LINE BLOW-OFF DETAIL
NO SCALE

Item 1.

LABAMA

LICENSE

No. 17318

PROFESSIONAL

ENGINEER

1/23/25

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

MARSHALL COUNTY

SCALE:
NOTED

DATE:
JANUARY 2025

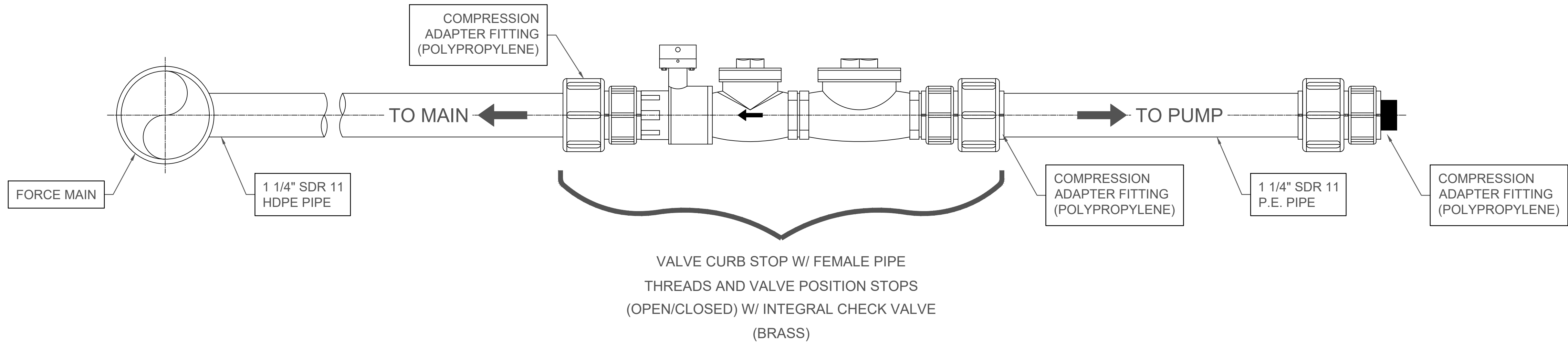
PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
TYPICAL
DETAILS

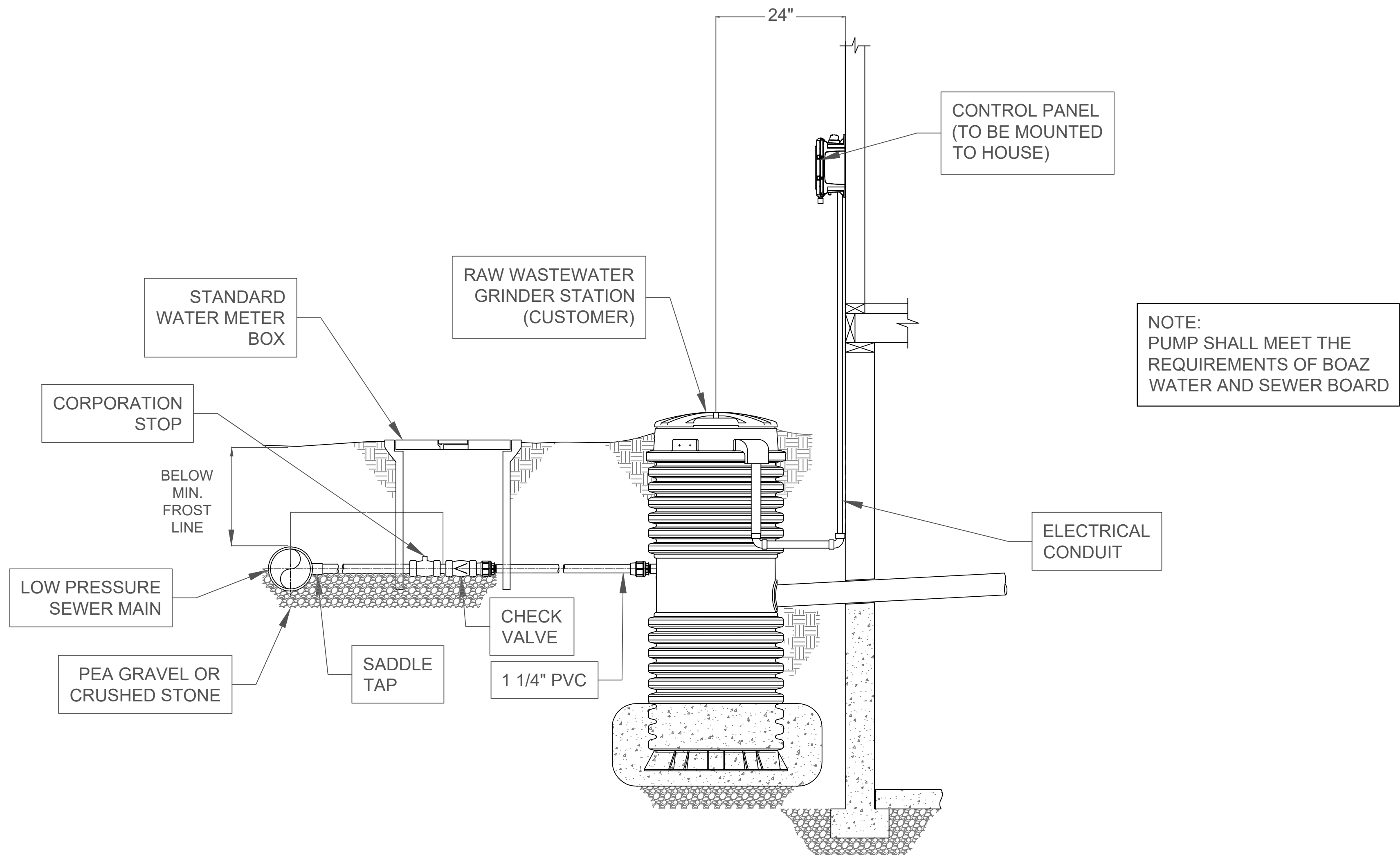
SHEET NO.:
C-804

36



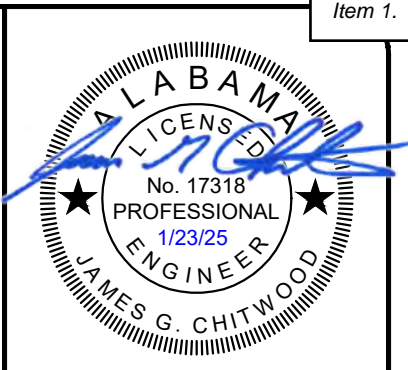
TYPICAL CONNECTION DETAIL

NO SCALE



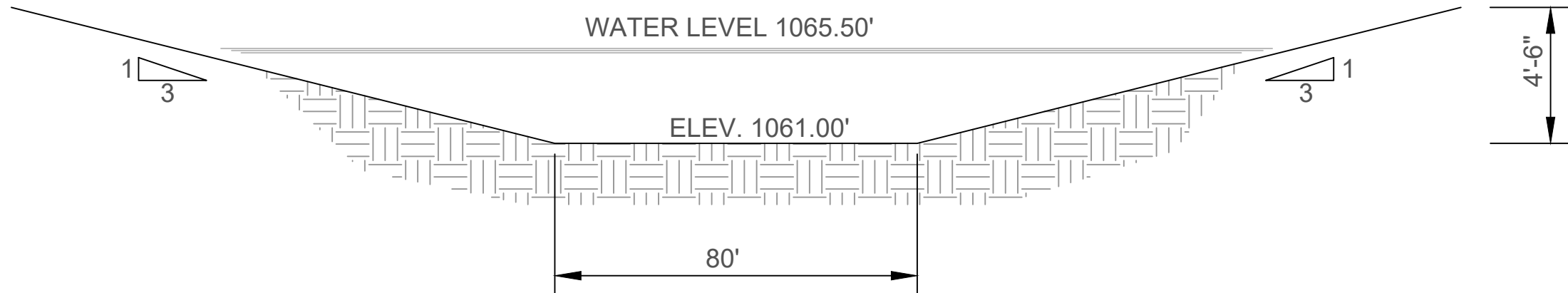
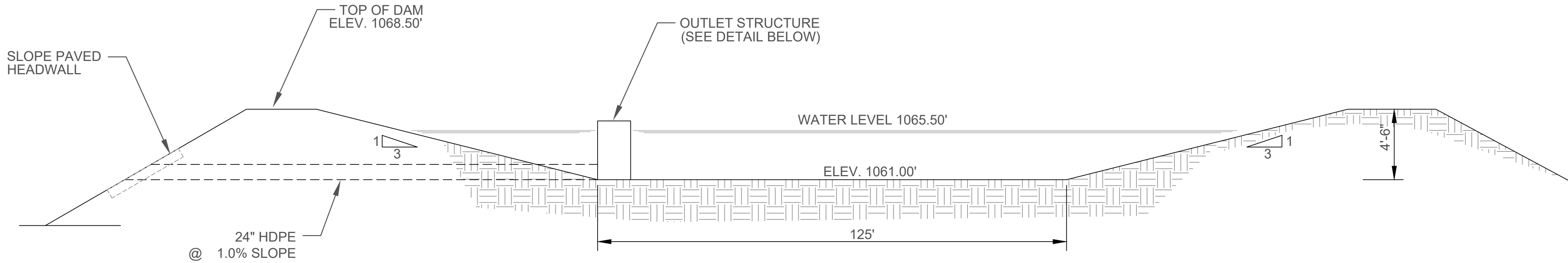
TYPICAL PUMP INSTALLATION

NO SCALE



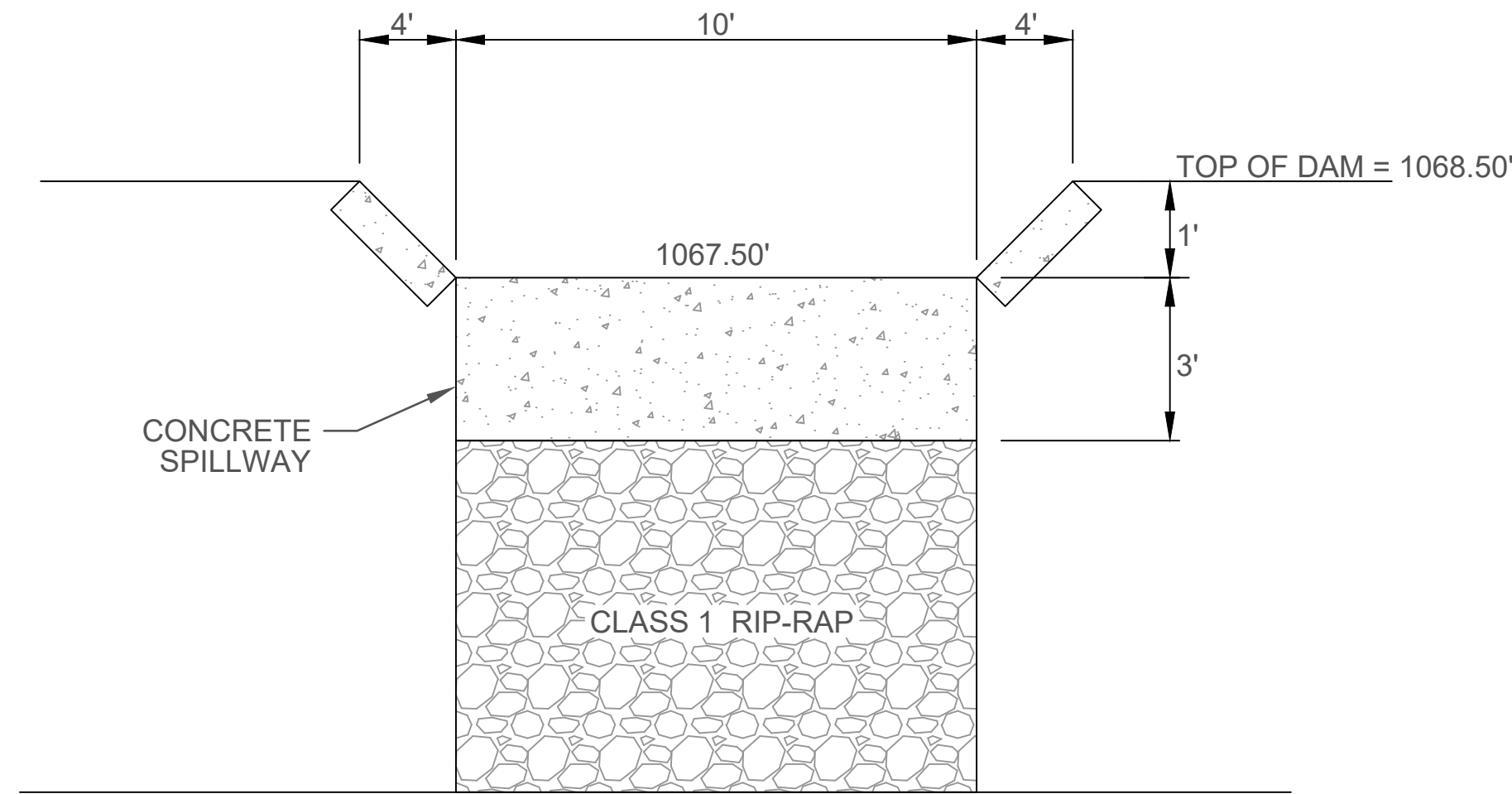
ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz
MARSHALL COUNTY

| | |
|--------------|--------------------|
| SCALE: | NOTED |
| DATE: | JANUARY 2025 |
| PROJ. NO.: | 232301 |
| DRAWN BY: | CWJ |
| SHEET TITLE: | TYPICAL DETAILS |
| SHEET NO.: | C-805 |



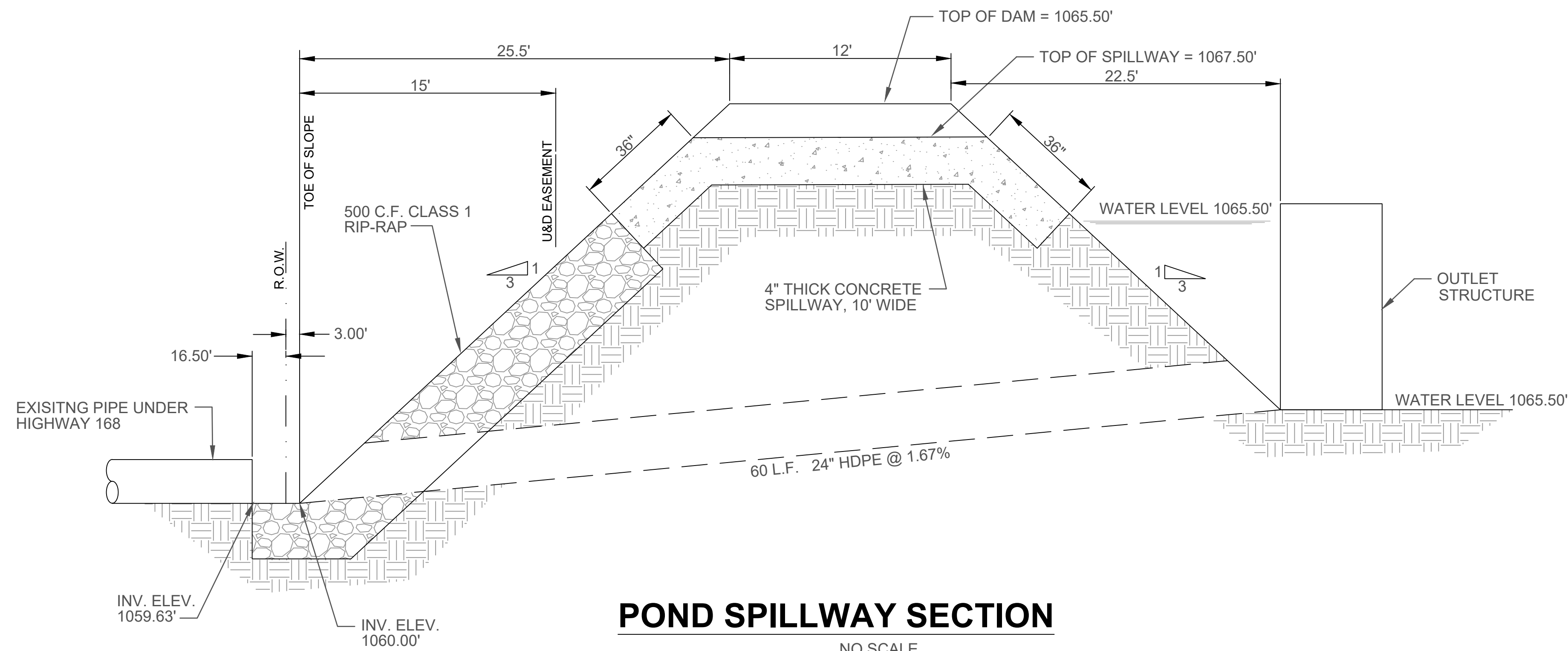
RETENTION POND SECTIONS

NO SCALE



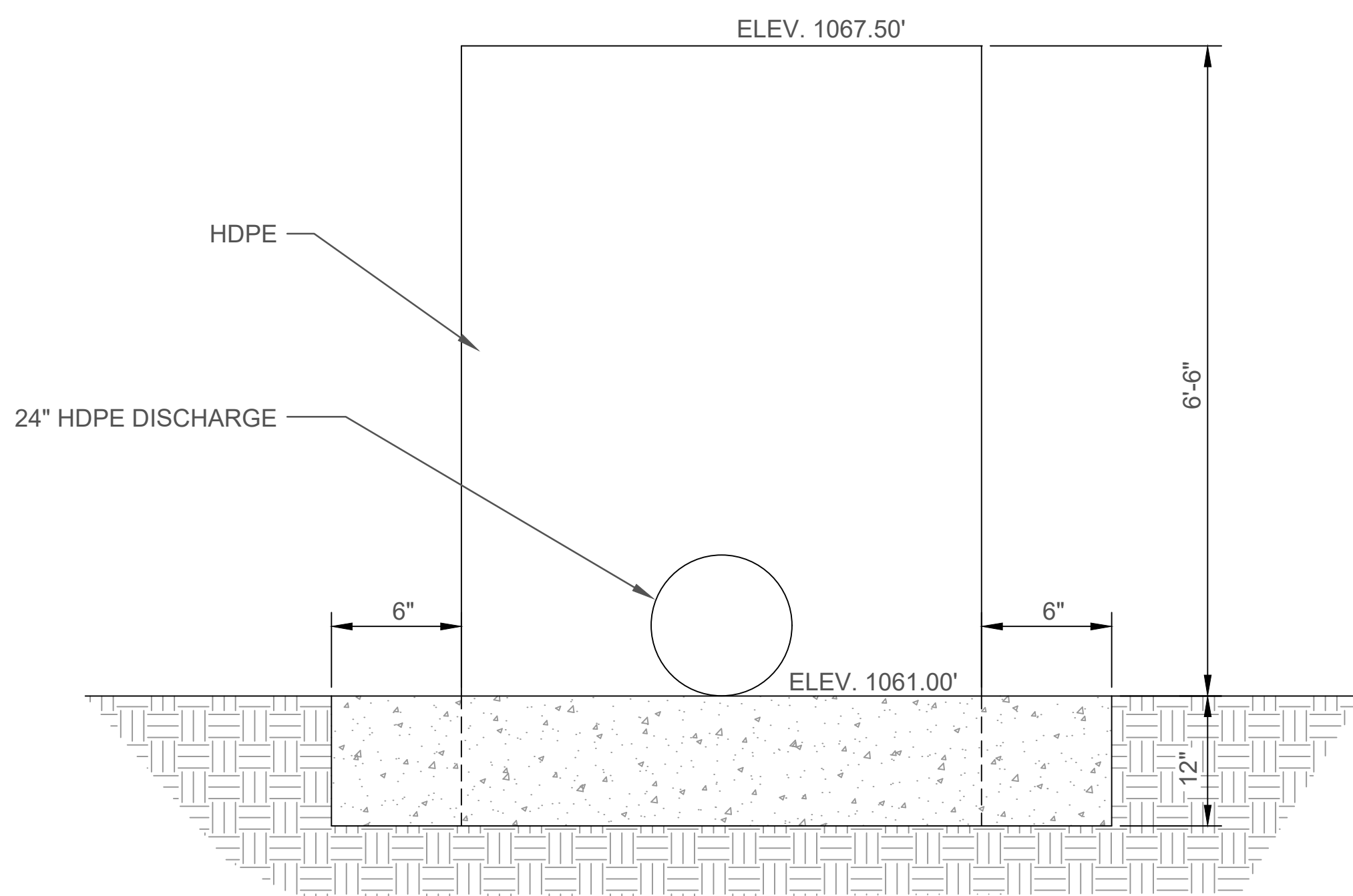
POND SPILLWAY

NO SCALE



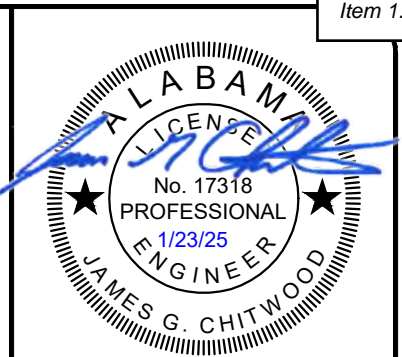
POND SPILLWAY SECTION

NO SCALE



OUTLET STRUCTURE

NO SCALE



ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz
MARSHALL COUNTY

| | |
|--------------|--------------------|
| SCALE: | NOTED |
| DATE: | JANUARY 2025 |
| PROJ. NO.: | 232301 |
| DRAWN BY: | CWJ |
| SHEET TITLE: | TYPICAL DETAILS |
| SHEET NO.: | C-806 |

Owner

Item 2.

**ADJOINING PROPERTY
OWNERS**

Lisandro Callejas Rezoning

AG-R-1

**Lisandro Callejas
1863 Co Rd. 392
Crossville, Al 35962**

**HALL, MICHAEL SHANNON & WF
MISTY D
164 LEE HOLCOMB ROAD
BOAZ, AL 35957**

**BROTHERS, ANGELA D
781 PLEASANT HILL ROAD
BOAZ, AL 35956**

**WHORTON, CHRIS E & WF KELLI
M
104 LEE HOLCOMB ROAD
BOAZ, AL 35956**

**BROOKS, COURTNEY
813 PLEASANT HILL ROAD
BOAZ, AL 35956**

**WHORTON, CHRIS & KELLI
104 LEE HOLCOMB ROAD
BOAZ, AL 35956**

**CASH, RANDY L & SHARON T CASH
900 PLEASANT HILL RD
BOAZ, AL 35956**

**PATTON, TENNELY M & SANDRA
40 LEE HOLCOMB ROAD
BOAZ, AL 35957**

**PATTON, TENNELY MARK &
SANDRA
40 LEE HOLCOMB ROAD
BOAZ AL 35956**

**RIOS-GREGARIO FAUSTINO
419 HIGHLAND ST
BOAZ, AL 35957**

**MUNOZ, TOM INCORPORTION
174 DERWENT LANE
HUNTSVILLE, AL 35810**

**NOOJIN PROPERTIES, LLC
7170 COX GAP ROAD
BOAZ, AL 35956**

**ARAGON, JESUS JAVIER &
YESENIA ZURITA
755 PLEASANT HILL ROAD
BOAZ AL 35956**

EXHIBIT "A"

Commence at a capped $\frac{1}{2}$ " rebar (LS#21183) marking the Southeast Corner of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, Section 12, Township 10 South, Range 4 East; thence North $89^{\circ} 29' 24''$ West 904.14 feet along the South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183), said point of beginning; thence continue North $89^{\circ} 29' 24''$ West 245.85 feet along the South line of said forty to a $1\frac{1}{2}$ " iron pipe; thence North $00^{\circ} 20' 44''$ West 410.41 feet to a capped $\frac{1}{2}$ " rebar (LS# 21183) on the Southerly right-of-way of Lee Holcomb Road (40' R/W); thence Run Southeasterly along said right-of-way the following bearings and distances: South $71^{\circ} 05' 59''$ East 99.60 feet; South $75^{\circ} 29' 34''$ East 157.04 feet; thence leaving said right-of-way South $00^{\circ} 20' 44''$ East 341.00 feet to the point of beginning; said property situated, lying and being in Etowah County, Alabama. Subject to existing rights-of-way and easements of record.

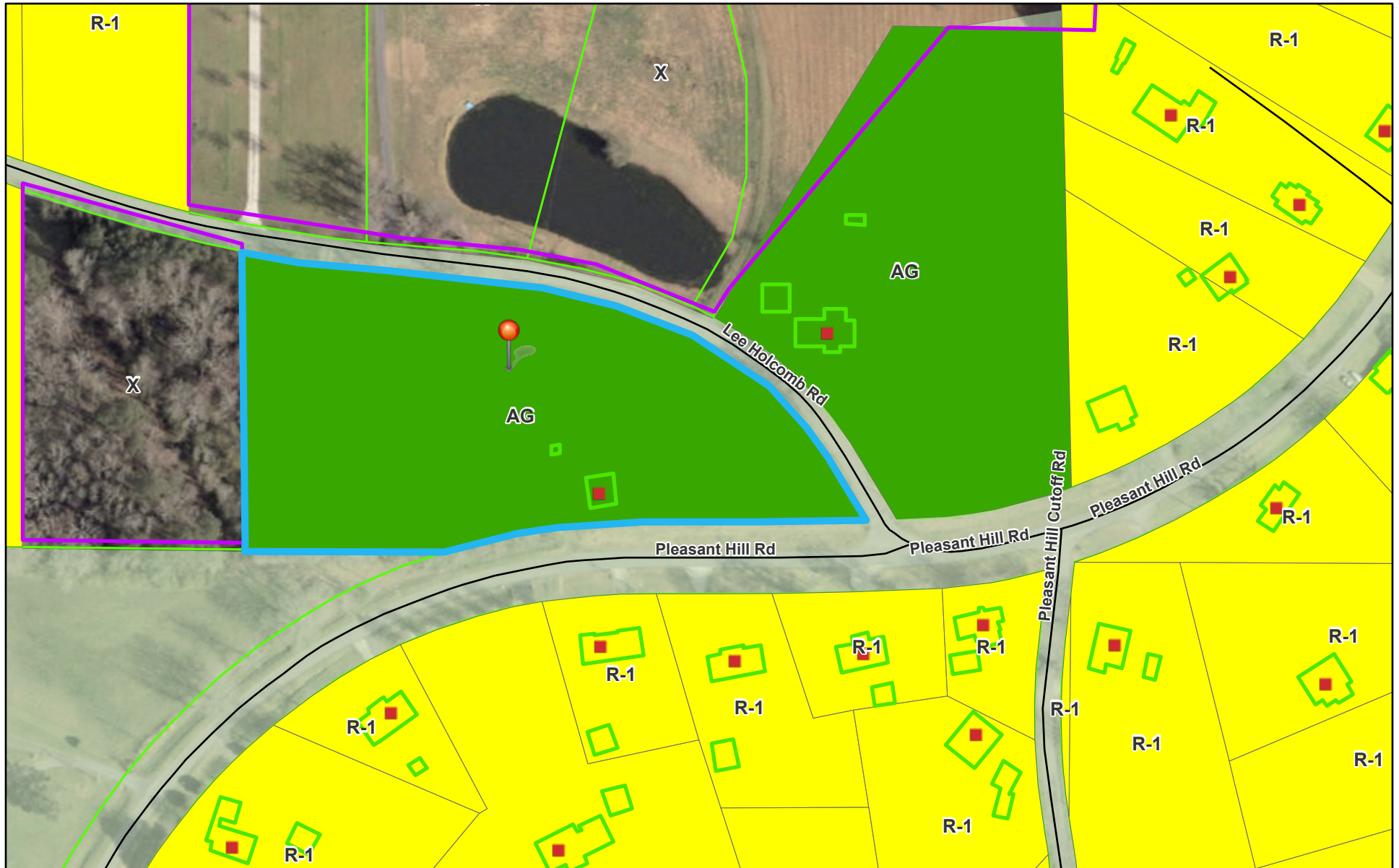
AND ALSO: Commence at a capped $\frac{1}{2}$ " rebar (LS#21183) marking the Southeast Corner of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, Section 12, Township 10 South, Range 4 East; thence North $89^{\circ} 29' 24''$ West 677.65 feet along South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183) on the Northerly right of way Pleasant Hill Road (80' R/W), said point being the point of beginning; thence continue North $89^{\circ} 29' 24''$ West 226.49 feet along the South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183); thence North $00^{\circ} 20' 44''$ W 341.00 feet to a point on the Southerly right of way of Lee Holcomb Road (40' R/W); thence run Southeasterly along said right of way the following bearings and distances: South $80^{\circ} 56' 22''$ East 136.87 feet; South $83^{\circ} 04' 37''$ East 198.21 feet; South $76^{\circ} 43' 58''$ East 63.49 feet; South $71^{\circ} 47' 45''$ East 60.86 feet; South $65^{\circ} 28' 00''$ East 84.43 feet; South $57^{\circ} 03' 58''$ East 60.93 feet; South $46^{\circ} 14' 38''$ East 62.73 feet; South $34^{\circ} 05' 41''$ East 137.96 feet to a capped $\frac{1}{2}$ " rebar (LS#21183) on the Northerly right of way of Pleasant Hill Road (80' R/W); thence run Southwesterly along said right of way the following bearings and distances: North $89^{\circ} 54' 28''$ West 201.84 feet; South $89^{\circ} 09' 21''$ West 89.34 feet; South $82^{\circ} 20' 25''$ West 100.52 feet; South $73^{\circ} 58' 57''$ West 86.15 feet to the point of beginning. Subject to existing rights-of-way and easements of record. (3509003)

This conveyance, however, is subject to the following:

Any valid adverse title as to minerals, oil or mining rights, easements or rights-of-way, covenants running with the land, encroachments or other matters or defects shown by a survey of the property herein conveyed.

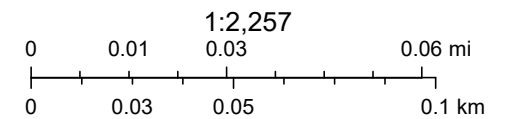
Callejas Current Zoning Map

Item 2.



1/29/2025, 9:18:31 AM

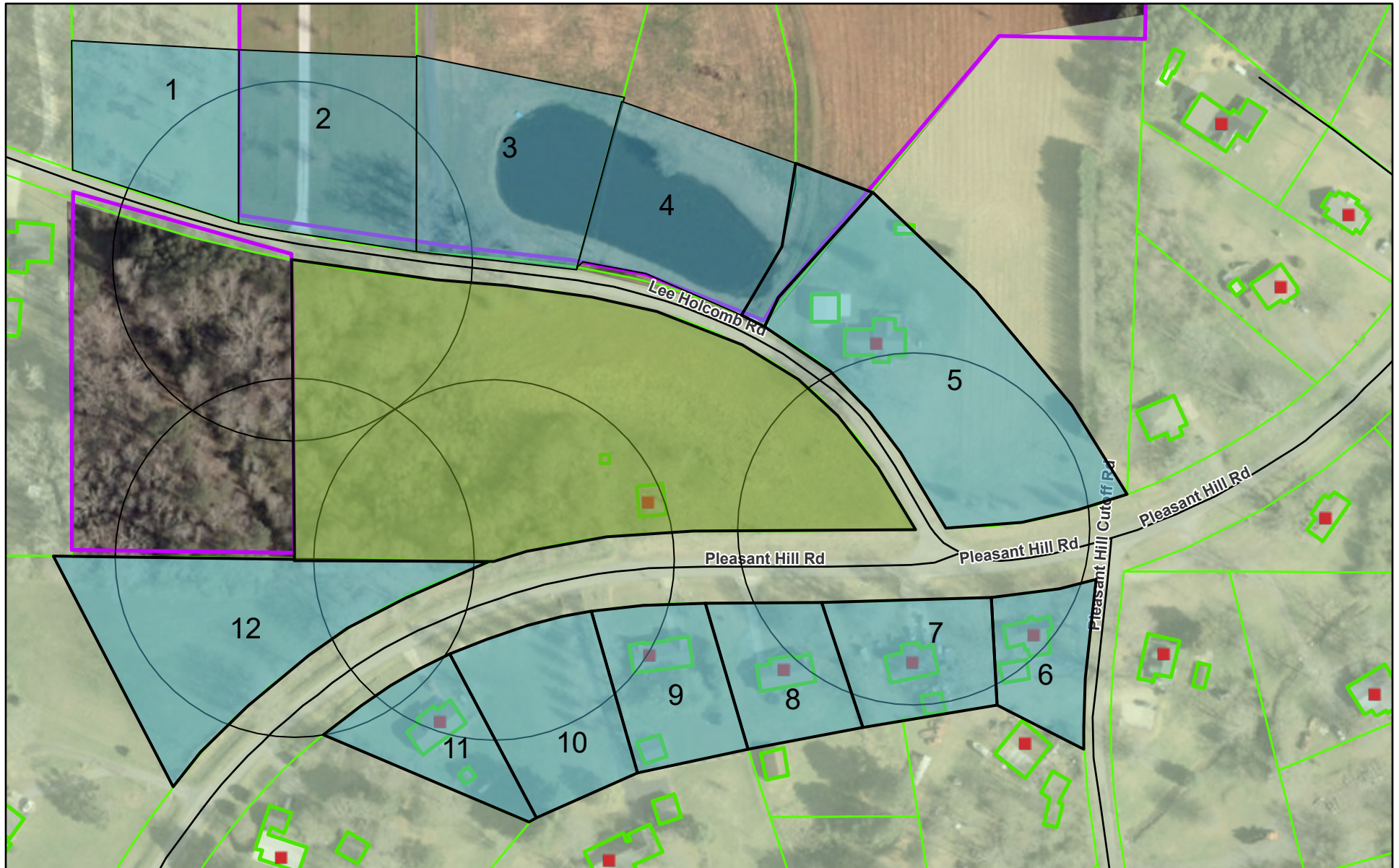
- Addresses (Boaz)
- City Limits
- Etowah County - Parcels
- Streets (Boaz)
- Buildings
- Zoning R-1
- Zoning AG
- Etowah County - City Limits Polygon
- Boaz



Maxar, Microsoft, KCS, G-Squared

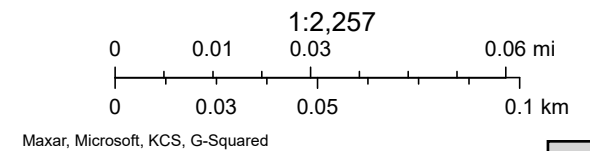
Lisandro Callejas Adjoining map

Item 2.



1/21/2025, 3:01:56 PM

- Addresses (Boaz)
- Buildings
- Etowah County - Parcels
- Streets (Boaz)
- City Limits
- Etowah County - City Limits Polygon
- Boaz





City of Boaz Alabama

David Dyar
Mayor

COUNCIL
DAVID ELLIS
FRAN KILPATRIC MILWEE
JOHNNY WILLIS
MATT BRANNON
MIKE MATTHEWS

Item 2.

PUBLIC NOTICE January 21, 2025

The City of Boaz Planning Commission will hold a public hearing on Tuesday, February the 4th, at 6:00 P.M. in the Mastin Room at the Boaz Public Library. The purpose of the public hearing will be to hear a request from Lisandro Callejas. Mr. Callejas is seeking to rezone +/-3.7 acres of property abutting Lee Holcomb Rd and Pleasant Hill Road, from AG, Agricultural District to R-1 (Low Density Detached Residential District). Mr. Calleja seeks to divide the land in order to build three homes on the property. The current zoning classification of AG does not permit this.

The legal description is as follows:

Commence at a capped $\frac{1}{2}$ " rebar (LS#21183) marking the Southeast Corner of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, Section 12, Township 10 South, Range 4 East; thence North $89^{\circ} 29' 24''$ West 904.14 feet along the South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183), said point of beginning; thence continue North $89^{\circ} 29' 24''$ West 245.85 feet along the South line of said forty to a $1\frac{1}{2}$ " iron pipe; thence North $00^{\circ} 20' 44''$ West 410.41 feet to a capped $\frac{1}{2}$ " rebar (LS# 21183) on the Southerly right-of-way of Lee Holcomb Road (40' R/W); thence Run Southeasterly along said right-of-way the following bearings and distances: South $71^{\circ} 05' 59''$ East 99.60 feet; South $75^{\circ} 29' 34''$ East 157.04 feet; thence leaving said right-of-way South $00^{\circ} 20' 44''$ East 341.00 feet to the point of beginning; said property situated, lying and being in Etowah County, Alabama. Subject to existing rights-of-way and easements of record.

AND ALSO: Commence at a capped $\frac{1}{2}$ " rebar (LS#21183) marking the Southeast Corner of the Northeast $\frac{1}{4}$ of the Southeast $\frac{1}{4}$, Section 12, Township 10 South, Range 4 East; thence North $89^{\circ} 29' 24''$ West 677.65 feet along South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183) on the Northerly right of way Pleasant Hill Road (80' R/W), said point being the point of beginning; thence continue North $89^{\circ} 29' 24''$ West 226.49 feet along the South line of said Forty to a capped $\frac{1}{2}$ " rebar (LS#21183); thence North $00^{\circ} 20' 44''$ W 341.00 feet to a point on the Southerly right of way of Lee Holcomb Road (40' R/W); thence run Southeasterly along said right of way the following bearings and distances: South $80^{\circ} 56' 22''$ East 136.87 feet; South $83^{\circ} 04' 37''$ East 198.21 feet; South $76^{\circ} 43' 58''$ East 63.49 feet; South $71^{\circ} 47' 45''$ East 60.86 feet; South $65^{\circ} 28' 00''$ East 84.43 feet; South $57^{\circ} 03' 58''$ East 60.93 feet; South $46^{\circ} 14' 38''$ East 62.73 feet; South $34^{\circ} 05' 41''$ East 137.96 feet to a capped $\frac{1}{2}$ " rebar (LS#21183) on the Northerly right of way of Pleasant Hill Road (80' R/W); thence run Southwesterly along said right of way the following bearings and distances: North $89^{\circ} 54' 28''$ West 201.84 feet; South $89^{\circ} 09' 21''$ West 89.34 feet; South $82^{\circ} 20' 25''$ West 100.52 feet; South $73^{\circ} 58' 57''$ West 86.15 feet to the point of beginning. Subject to existing rights-of-way and easements of record. (3509003)

PIN 81151
PARCEL 0501120001001007

At said time and place, all persons in favor of or in opposition to said zoning change request can be heard

Chairman
Boaz Planning Commission

APPLICATION FOR ZONING AMENDMENT

Case No. _____

Date _____

STATE OF ALABAMA
COUNTY OF MARSHALL

This is to certify that I (we) the undersigned owner(s) do hereby request the Boaz Planning Commission to consider a zoning amendment for the property identified below:

1.) Description of property for which amendment is requested:

a.) Address: O. Lee Holcomb Rd

Boaz Alabama 35954

b.) Name of Subdivision plat _____

c.) Lot and Block numbers involved in change: _____

d.) Total acreage of change: 5.79

e.) Recorded in Plat Book Number: _____ Page Number: _____

f.) Owned in whole by the undersigned? Yes

g.) If owned in part, name(s) of co-owner(s): _____

2. Zoning change requested:

a.) Present classification of property AG

b.) Reclassification desired: R1 South, Co. North, AG East, R West

c.) Character of neighborhood: R1 South, Co. North, AG East, R West

3. a.) Reasons for requesting change and use to which property will be put:

Requesting to change from AG to R1 for 3

Residential Homes.

4. The following attachments **must** accompany the request for consideration of a zoning amendment:

- a.) One copy of a list of the names and addresses of the owners of all properties lying within two hundred (200) feet of any part of the property to be rezoned.
- b.) One copy of a map or plat, drawn to scale, showing the existing and proposed zoning re-classification and other pertinent information.
- c.) One copy of the legal description of the property to be rezoned.
- d.) Fifty dollars (\$50.00) filing fee.

5. Certifications:

a.) Applicant Name Lisandro Calteja S

Address: 18103 Co Rd 392 Crossville AL 35962

Telephone: (256) 295-4084

b.) Date: 12/11/24

6. Signatures: Lisandro Calteja S

Fee Paid: _____

Date Filed: _____

Hearing Dates: Planning Commission _____ City Council: _____

Decision of Planning Commission: _____ City Council: _____

City of Boaz
Miscellaneous Receipt

Item 2.

Misc. Receipt No: 19056

POS Receipt No: 18101

Receipt Date: 12/13/2024

Receipted By:

Jill Smith

Receipted On:

12/13/2024 1:03 PM

Customer ID: 59

Name: BOAZ CITY HALL

Description: REZONING FOR PROPERTY LEE HOLCOMB
RD

| |
|------------------------------------|
| Miscellaneous Receipt Total |
| \$50.00 |

GL Account Number

GL Account Description

Debit

Credit

01-4-10-4079-000

Sub-Div/Zoning Var. Appl. Fee

\$0.00

\$50.00

Miscellaneous Receipt Totals:

\$0.00

\$50.00

Thank You!