



## Historic Preservation Commission

Wednesday, October 04, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.  
Council Chambers

### AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. NOTICE REGARDING PUBLIC COMMENTS\*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

#### V. ADOPTION OF THE AGENDA

#### VI. ADOPTION OF MINUTES

[1.](#) September 6, 2023 Minutes

#### VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA\*

#### VIII. ADJOURNMENT

#### IX. OLD BUSINESS

#### X. NEW BUSINESS

[1.](#) **Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owners, Matt and Dianne Donovan, for the approval of a Certificate of Appropriateness - HD for the construction of a new single-family residential Carriage House of approximately 1,056 SF, to be located at 12 Tabby Shell Road, Lot 24 in the Tabby Roads Development, in the Old Town

Bluffton Historic District and zoned Neighborhood General - HD. (COFA-06-23-018375) (Staff - Katie Peterson)

2. **Certificate of Appropriateness:** A request by Shifting Tides, LLC on behalf of the owner, May River Project, LLC, for a review of a Certificate of Appropriateness - HD to renovate the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General - HD. (COFA-06-23-018141) (Staff - Katie Peterson)

## **XI. DISCUSSION**

1. Historic District Monthly Update. (Staff)

**NEXT MEETING DATE: Wednesday, November 1, 2023**

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*"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment is limited to 3 minutes per speaker.*

*Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.*



## Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.  
Council Chambers

Wednesday, September 06, 2023 at 6:00 PM

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### I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

### II. ROLL CALL

#### PRESENT

Commissioner Kerri Schmelter  
Chairman Evan Goodwin  
Vice Chairwoman Carletha Frazier  
Commissioner Debbie Wunder  
Commissioner Joe DePauw

#### ABSENT

Commissioner Will Guenther  
Commissioner Jim Hess

### III. ADOPTION OF THE AGENDA

Commissioner Schmelter made a motion to adopt the agenda as written.

Seconded by Commissioner DePauw.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

### IV. ADOPTION OF MINUTES

#### 1. July 5, 2023 Minutes

Commissioner Schmelter made a motion to adopt the minutes as written.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

### V. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA\*

### VI. OLD BUSINESS

### VII. NEW BUSINESS

- Certificate of Appropriateness:** A request by the Applicants, Ernie and Andrea Suozzi, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story single-family structure of approximately 2,295 SF, and Carriage House of approximately 803 SF, located at 7 Blue Crab Street, in the Old Town Bluffton Historic District, identified as Lot 24 of

the Tabby Roads development and zoned Neighborhood General-HD. (COFA-06-23-018105)  
(Staff - Katie Peterson)

Commissioner DePauw recused himself. Staff presented. The applicant was in attendance. There was discussion about the centering of the front windows and the porch material detail.

Commissioner Schmelter made a motion to approve with following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. The foundation detail for the porch be updated to reflect the brick border and tabby finish reflected on the elevations.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder

All were in favor and the motion passed.

2. **Designation of a Contributing Resource:** A request by the owners, Eugene and Melanie Marks to recommend to Town Council to have the Contributing Resource, known as the Joiner House, located at 9 Bruin Road, within the Neighborhood Core-HD Zoning District be removed as a Contributing Resource from the Old Town Bluffton Historic District and to have the Contributing Resources Map amended accordingly. (DCR-06-23-018161 )(Staff – Glen Umberger)

Commissioner DePauw returned to the dais. The applicant was present. Staff presented.

Public Comment

Joan Heyward, 95 Boundary Street - Ms. Heyward discussed her opinion on whether or not the structure should be on the contributing resource list.

Robert Jones, 22 Bridle Path Lane - Mr. Jones was in attendance on behalf of the Historic Bluffton Foundation. Mr. Jones discussed why he is against moving historic structures. He stated that the Foundation's opinion on this structure is that the structure should be removed from the list.

Mr. LaBruce, attorney for the Historic Preservation Commission, reviewed the procedure for how the meeting should continue and the Commissioners responsibilities.

Melanie and Eugene Marks, the applicant, reviewed the history of the project and what was being requested. They discussed what they were able to keep from the existing structure.

Staff reaffirmed that no historical records would be changed and that no precedent would be set based on the recommendation outcome.

Mr. LaBruce clarified points that were brought up including the difference between the UDO Administrator and the Chief Building Official. The Commission discussed their opinions on the structure, how to protect historic structures of Bluffton, and what the contributing structure list does for structures.

Vice Chairwoman Frazier made a motion to recommend to Town Council that the request to remove the Joiner House, 9 Bruin Rd, from the Contributing Resources Map, be denied.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier

Voting Nay: Commissioner Wunder, Commissioner DePauw

The vote to recommend denial of the applicant's request passed 3 - 2.

- 3. Public Project:** A request by Charles Savino, on behalf of The Town of Bluffton, for recommendation of approval of a Public Project to include improvements to the outdoor pavilion and passive recreation areas located at the existing Oyster Factory Park (55 Wharf Street) in the Town of Bluffton, SC, identified by Tax Map Numbers R610 039 00A 0191 0000, R610 039 00A 0190 0000, R610 039 00A 0165 0000, R610 039 00A 0262 000, and R610 039 00A 0261 0000. (DP-01-22-016299) (Staff - Katie Peterson)

Staff presented. The applicant was present. The Commission asked about the Bahama Limestone and sidewalk locations in relation to oak trees.

Commissioner Schmelter made a motion to recommend approval with the following suggestions for ensuring the existing trees were protected:

1. Ensuring the Bahama Limestone is not placed directly at the base of the live oak trees;
2. Field locating sidewalk to avoid as much disturbance to the surface roots as possible;
3. Hand digging piers to avoid roots.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

## VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff presented the site features that were approved in the prior month.

## IX. ADJOURNMENT

Commissioner Schmelter made a motion to adjourn.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and meeting was adjourned at 7:17pm.



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	October 4, 2023
<b>PROJECT:</b>	12 Tabby Shell Road, Lot 8 – New Construction: Carriage House
<b>APPLICANT:</b>	Pearce Scott Architects
<b>PROJECT MANAGER:</b>	Katie Peterson, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Pearce Scott Architects, on behalf of the owners, Matt and Dianne Donovan, requests that the Historic Preservation Commission approve the following application:

1. **COFA-08-23-018375.** A Certificate of Appropriateness to allow the construction of a new single-family residential Carriage House of approximately 1,056 SF, to be located at 12 Tabby Shell Road, Lot 24 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

**INTRODUCTION:** On July 17, 2007 at a Special Meeting the Historic Preservation Commission approved the primary structure located at 12 Tabby Shell Road, and on October 3, 2018, a second Certificate of Appropriateness-HD was approved to allow the addition of approximately 155 SF to the existing rear porch.

The application subject to this report is a detached Carriage House of approximately 1,056 SF, located in the Old Town Bluffton Historic District. The structure has all attributes of the Carriage House building type and meets the placement requirements of the same within the Neighborhood General-HD zoning district.

The 2-story structure is under a hipped roof with a shed roof over the garage doors. It will contain two garage bays with living space above. The proposed materials include lap siding and asphalt shingle roof to match the approved primary structure and uses traditional water table and corner board details which also match the existing structure (Attachment 3).

This project was presented to the Historic Preservation Review Committee for conceptual review at the August 28, 2023 meeting and comments were provided to the Applicant (See Attachment 4).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
  - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so if the conditions of item 2 of this Section are met, their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction

proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed Carriage House adds to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
  - a. *Finding.* Town Staff finds that the design of the structure falls within the category of Carriage House Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C.
  - b. *Finding.* Town Staff finds that the proposed addition is in conformance with applicable provisions provided in Article 5.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

*Finding.* The Carriage House proposed reflects the character of the primary structure, surrounding area and is scaled appropriately.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the construction a new accessory structure in the Old Town Bluffton Historic District. If the conditions Section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic resources; therefore, the accessory structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff

finds that the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends the Historic Preservation Commission approve the application as submitted.

**ATTACHMENTS:**

1. Location and Zoning Map
2. Application and Narrative
3. Site Plan & Elevations
4. HPRC Report
5. HARB Approval

# ATTACHMENT 1 Location and Zoning Map, 12 Tabby Shell Road, Lot 8

Section X. Item #1.





# ATTACHMENT 2



## TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4500  
www.townofbluffton.sc.gov  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Section X. Item #1.

Applicant		Property Owner			
Name: Pearce Scott Architects		Name: Matt & Dianne Donovan			
Phone: 843.837.5700		Phone: 703.672.1964			
Mailing Address: 6 State of Mind Street, Ste. 200		Mailing Address: 12 Tabby Shell Road			
E-mail: amanda@pscottarch.com		E-mail: mattdon1331@gmail.com			
Town Business License # (if applicable):					
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )					
Project Name: Donovan CH		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>		
Project Address: 12 Tabby Shell Road		Amendment: <input type="checkbox"/>			
Zoning District: NG-HD		Application for:			
Acreage: 0.13		<input checked="" type="checkbox"/> New Construction			
Tax Map Number(s): R610 039 000 1188 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition			
		<input type="checkbox"/> Relocation			
Project Description: On behalf of the owner, we would like to submit a request to add a carriage house to the rear of the property.					
<b>Minimum Requirements for Submittal</b>					
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.					
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.					
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.					
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.					
Property Owner Signature: <i>Matt Donovan</i>		Date: 9/6/2023			
Applicant Signature: <i>Amanda J. Denmark</i>		Date: 09/06/23			
<b>For Office Use</b>					
Application Number: COFA - 08-23 - 018375		Date Received: 09/07/23			
Received By: <i>[Signature]</i>		Date Approved:			

# ATTACHMENT 2

Section X. Item #1.



## TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <b>mandatory</b> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
<b>Step 3. Review by UDO Administrator or designee and HPRC</b>	<b>Staff</b>
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



# ATTACHMENT 2

Section X. Item #1.

## TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Accessory Structure					
Building Setbacks	Front: 5'	Rear: 10'	Rt. Side: 7.5	Lt. Side: 7.5	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure		1666 footprint			
Ancillary	528			528	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			2194		
Impervious Drive, Walks & Paths			200		
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE			2394		
B. TOTAL SF OF LOT			5604		
% COVERAGE OF LOT (A/B= %)			42.7		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Slab	Columns	Wood		
Walls	Hardie - match existing	Windows	Clad		
Roof	Shingle - match existing	Doors	Wood		
Chimney	N/A	Shutters	Wood		
Trim	Hardie / wood - match existing	Skirting/Underpinning	N/A		
Water table	Hardie / wood - match existing	Cornice, Soffit, Frieze	Hardie / wood - match existing		
Corner board	Hardie - Match existing	Gutters	N/A		
Railings	Wood	Garage Doors	Metal		
Balusters	Wood	Green/Recycled Materials	N/A		
Handrails	Wood				





# ATTACHMENT 2

Section X. Item #1.

## TOWN OF BLUFFTON

### CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



# ATTACHMENT 2

Section X. Item #1.

## TOWN OF BLUFFTON

### CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

#### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

*Matthew Donovan*

Signature of Property Owner or Authorized Agent

9/6/2023

Date

Matthew Donovan

Printed Name of Property Owner or Authorized Agent

*Amanda J. Denmark*

Signature of Applicant

09/06/23

Date

AMANDA J. DENMARK

Printed Name of Applicant



September 06, 2023

12 Tabby Shell Road

Narrative

On behalf of the owners Matt & Dianne Donovan, we would like to propose adding a Carriage House to their property in the Tabby Roads Neighborhood. Currently a Main house exists. The carriage house would be in the rear of the property and be accessed by the alley.

The structure will have an unheated 528 SF (2) car garage below and a 528 SF heated space above. There will be an exterior stair. The new brick landing / walk will tie into and match the existing brick walk.

Tabby Roads ARB requires a service yard fence to be put around the existing HVAC units to the main house. The Service yard will match the CH service yard. The outline / location is shown on the site plan. The service yards are gravel.

All details and materials are to match the Existing Main house.

The existing shed in the rear of the property will be removed.

Tabby Roads ARB has reviewed the plans from 08.31.23 and provided comments 09.07.23. We have incorporated those conditions into the Final COFA submittal.

We look forward to your comments.

Thank you,

Amanda Denmark  
Project Manager



Rear View from Alley



Front of Existing Main House





Existing Rear Yard



Existing Walk





ALL MATERIALS, DETAILS &  
COLORS TO MATCH EXISTING  
MAIN HOUSE





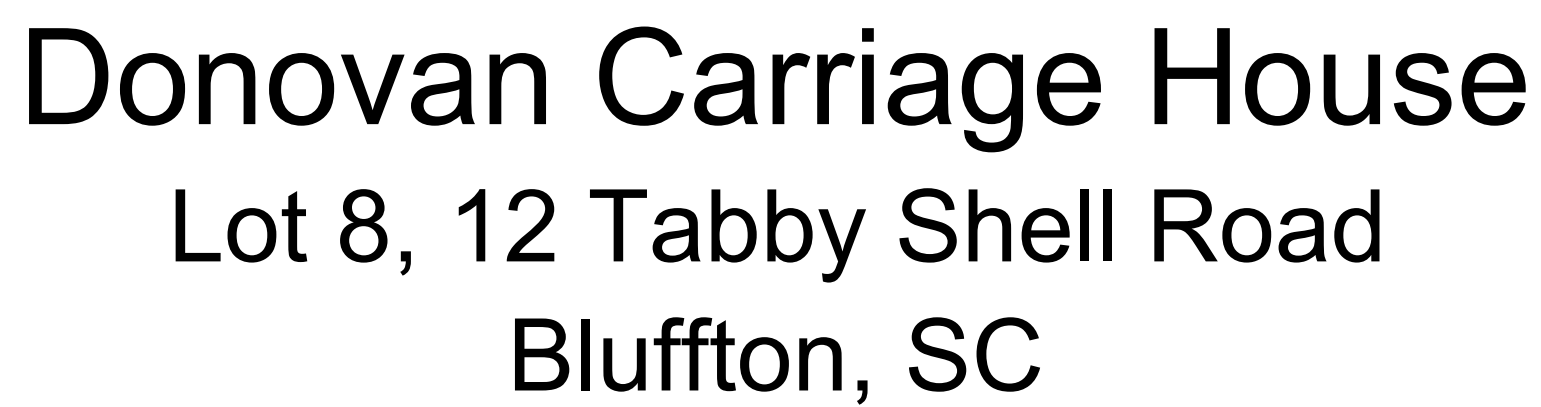


Side of House



Rear of House





**GENERAL NOTES:**

1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
7. Contractor to provide a job sign in accordance with the neighborhood/development regulations.
8. The site is to be kept clean at all times for the duration of the project.
9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
10. The design documents are to be used for design intent and in coordination with supplemental engineering documents.
11. All walls are dimensioned to the face of stud or masonry unless noted otherwise.
12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

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NEW RESIDENCE FOR:

DONOVAN CARRIAGE HOUSE  
LOT 8, 12 TABBY SHELL ROAD  
OLD TOWN  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

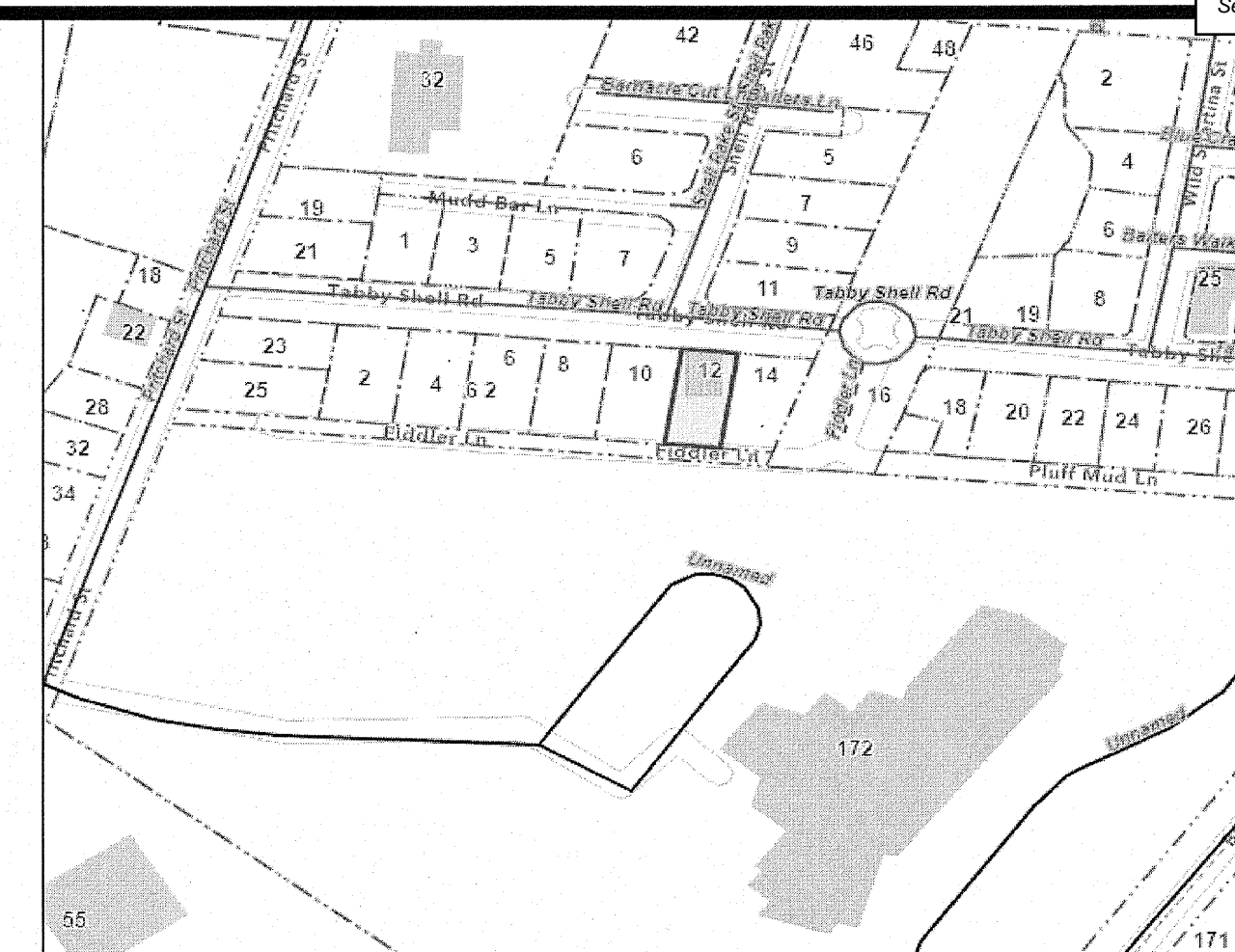
PROJECT NO.	NO. 2345
DATE	08/31/23
DRAWN BY	AJD
CHECKED BY	AWB

# COVER SHEET & DWG INDEX

SHEET NO.

# CVR

24X36 PAPER SIZE



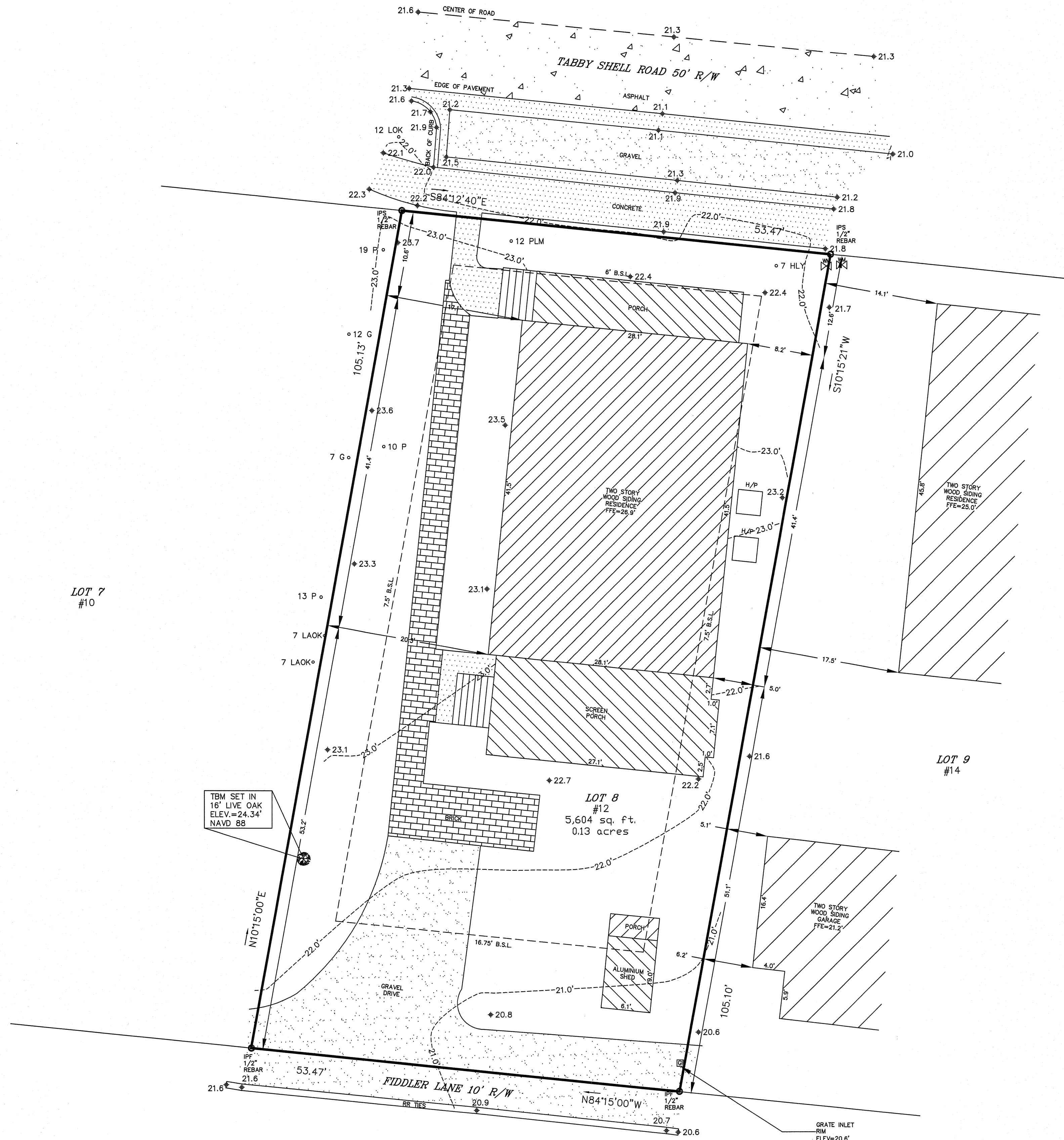
LOCATION MAP NOT TO SCALE

## LEGEND

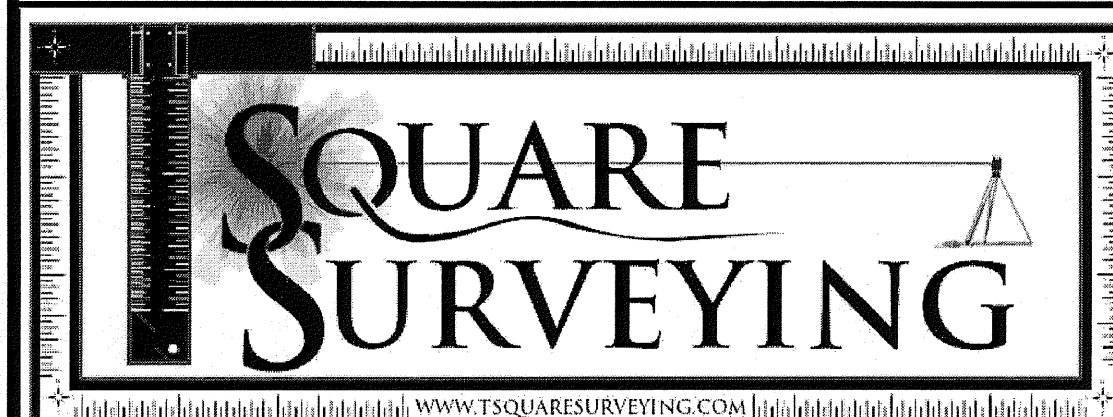
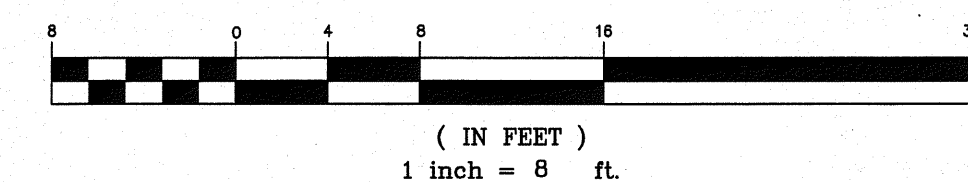
- CMS - CONCRETE MONUMENT SET  
 CMF - CONCRETE MONUMENT FOUND  
 IPS - IRON PIN SET  
 IPF - IRON PIN FOUND  
 # - INDICATES STREET ADDRESS  
 TBM - TEMPORARY BENCH MARK  
 BSL - BUILDING SETBACK LINE  
 ☉ - TELEPHONE PEDESTAL/COMMUNICATOR  
 Ⓢ - SEWER LATERAL  
 Ⓢ - SANITARY SEWER MANHOLE  
 Ⓢ - ELECTRIC BOX  
 Ⓢ - SPOT ELEVATION SHOTS  
 ~ - CONTOUR LINES  
 ☐ - XFMR - TRANSFORMER  
 ☐ - WATER LATERAL  
 ☐ - WATER METER  
 ☐ - IRRIGATION CONTROL VALVE  
 ☐ - FIRE HYDRANT  
 ☐ - GRATE INLET  
 ☐ - POWER POLE  
 O.H.P.L. - OVER HEAD POWER LINE  
 ☐ - GUY LINE  
 ☐ - LIGHT POLE  
 Ⓢ - STORM DRAIN MANHOLE  
 Ⓢ - FIBEROPTICS MANHOLE

## TREE LEGEND

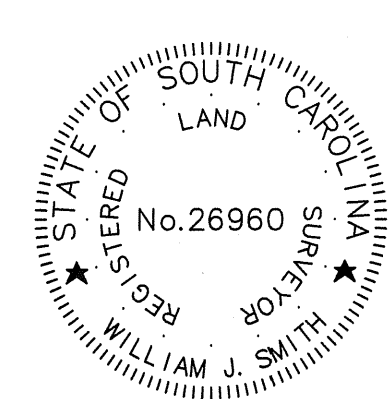
- WHIOK - WHITE OAK  
 LAOK - LAUREL OAK  
 LOK - LIVE OAK  
 WOK - WATER OAK  
 ROK - RED OAK  
 PCAN - PECAN  
 MAG - MAGNOLIA  
 HIC - HICKORY  
 MPL - MAPLE  
 PLM - PALMETTO  
 CHY - CHERRY  
 HLY - HOLLY  
 CDR - CEDAR  
 RDB - RED BUD  
 SAS - SASSAFRAS  
 DOG - DOGWOOD  
 SB - SUGARBERRY  
 P - PINE  
 G - GUM  
 B - BAY

LOT 7  
#10LOT 9  
#14LOT 8  
#12  
5,604 sq. ft.  
0.13 acres

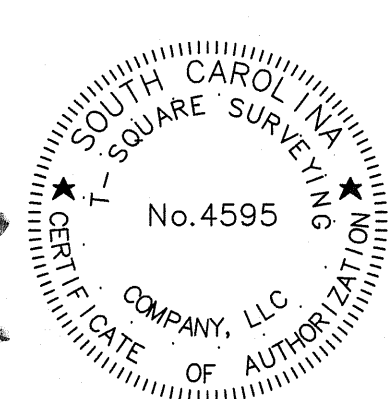
## GRAPHIC SCALE

T SQUARE SURVEYING  
PROFESSIONAL LAND SURVEYORS
 P.D. Drawer 330  
 139 Burnt Church Road  
 Bluffton, S.C. 29910  
 tsquare@charleston.com  
 Phone 843-757-2650 Fax 843-757-5758

JOB No. 07-148AT


 I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,  
 INFORMATION & BELIEF, THE SURVEY SHOWN HEREON  
 WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF  
 THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE  
 OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS  
 OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY  
 AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS #26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

MATTHEW DONOVAN &amp; DIANNE DONOVAN

 AN AS-BUILT TREE & TOPOGRAPHIC SURVEY OF LOT 8 TABBY SHELL ROAD,  
 A PORTION OF REEVES BROTHERS SUBDIVISION,  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCEL 1188

## NOTES

1. According To FEMA Flood Insurance Rate Map # 45013C0426G  
This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum  
Required Elevation N/A Ft. NAVD88.
2. This Property May Be Subject To Easements, Protective Covenants  
And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.  
Authorities Prior To Design And Construction.
4. All Building Setback Requirements Should Be Verified With The Proper  
Reference Plat(s).

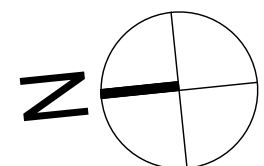
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: JUNE 30, 2023

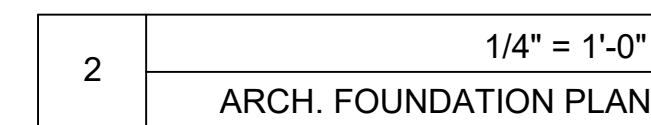
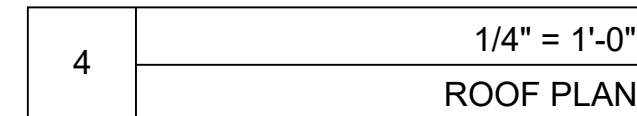


1	1/8" = 1'-0"
	SITE PLAN

- ✕ TREES TO BE REMOVED  
(COORDINATE W/ LANDSCAPE PLAN)

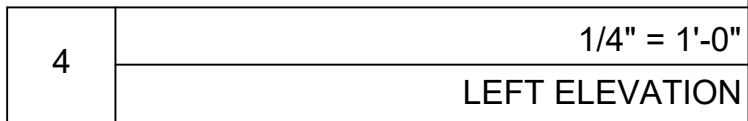
24X36 PAPER SIZE





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24X36 PAPER SIZE

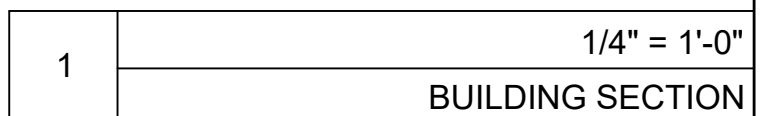
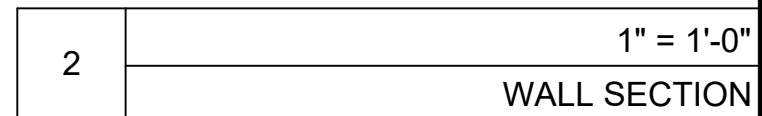


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SHEET NO.

**CH201**

24X36 PAPER SIZE



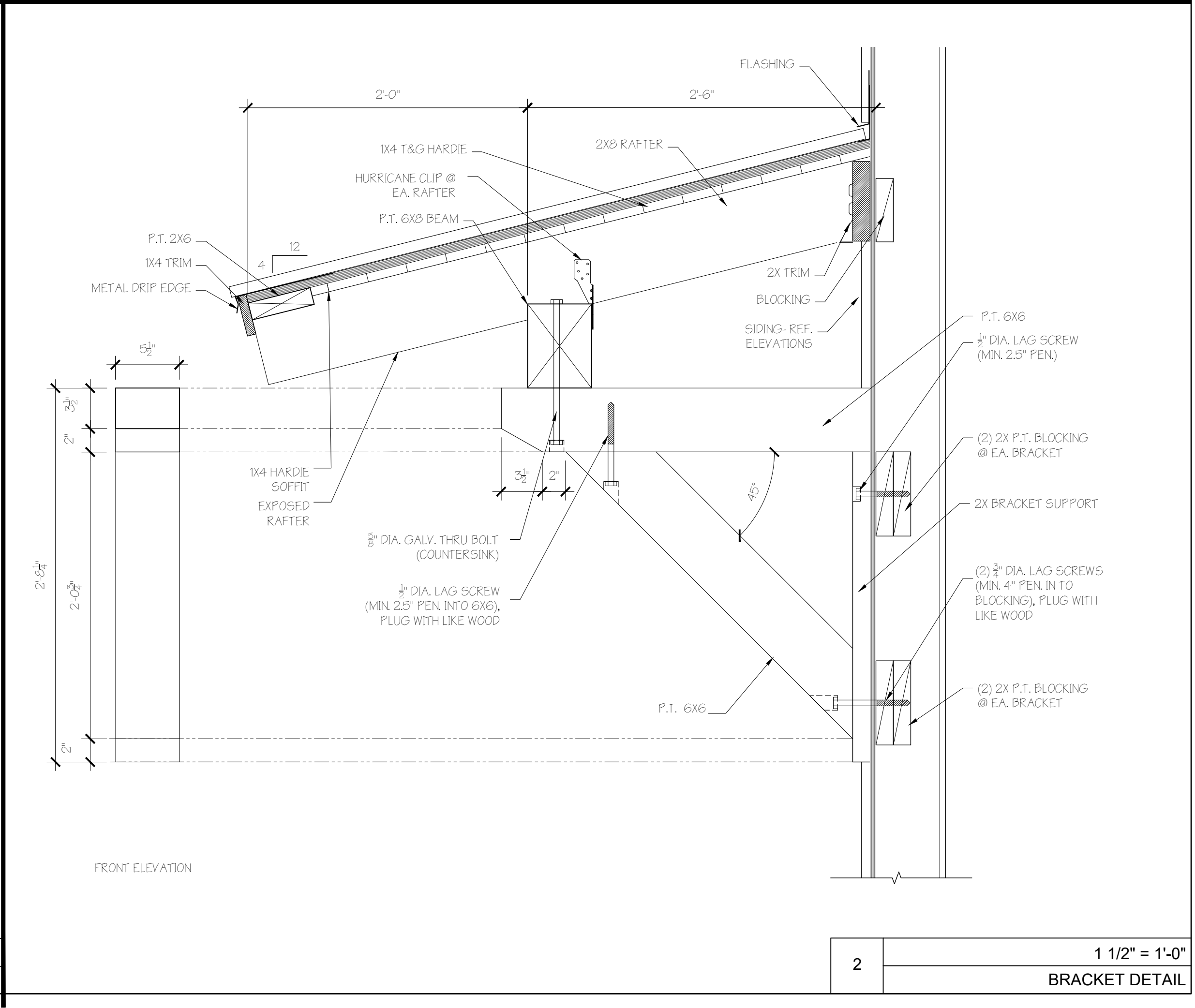
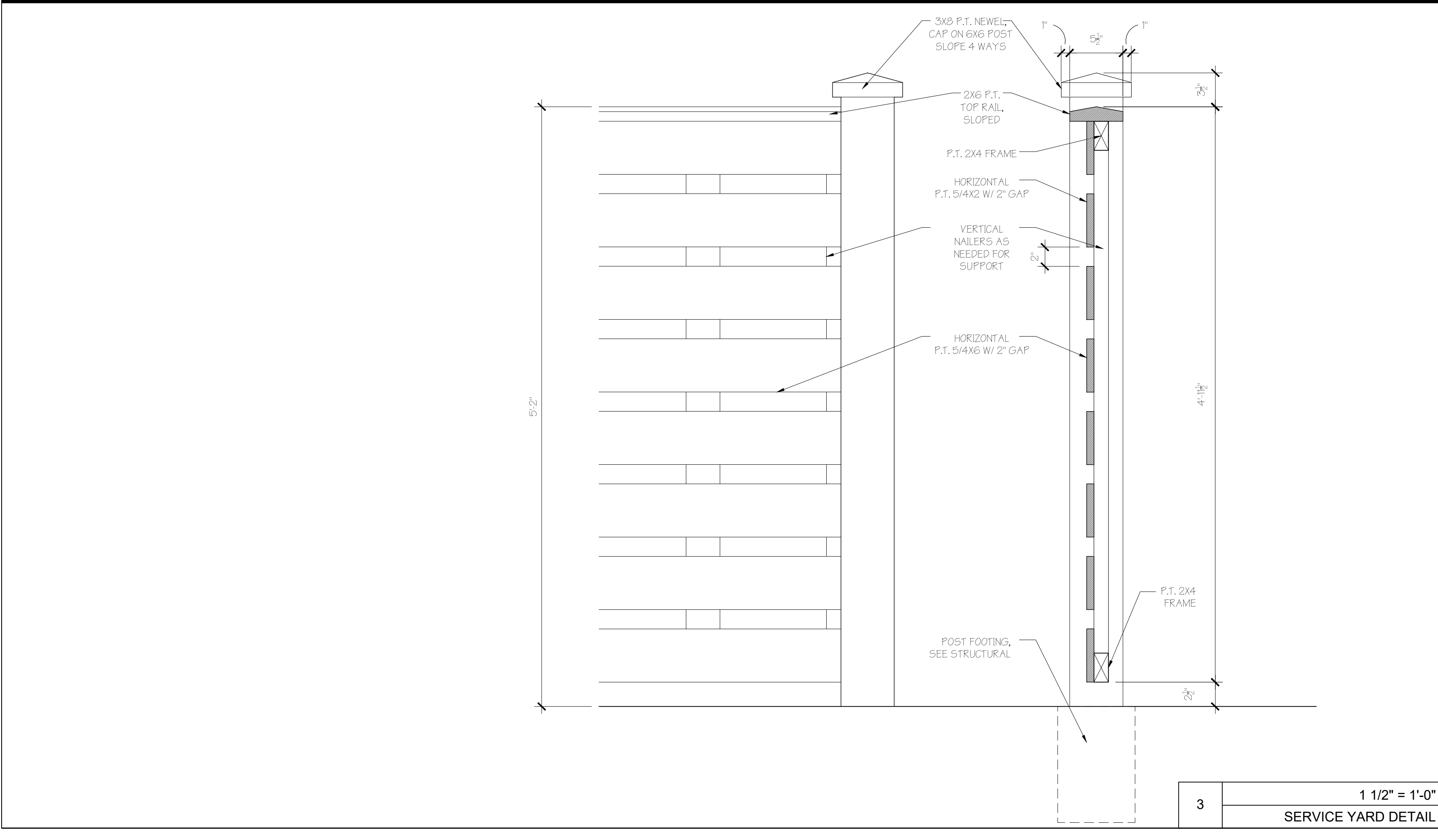
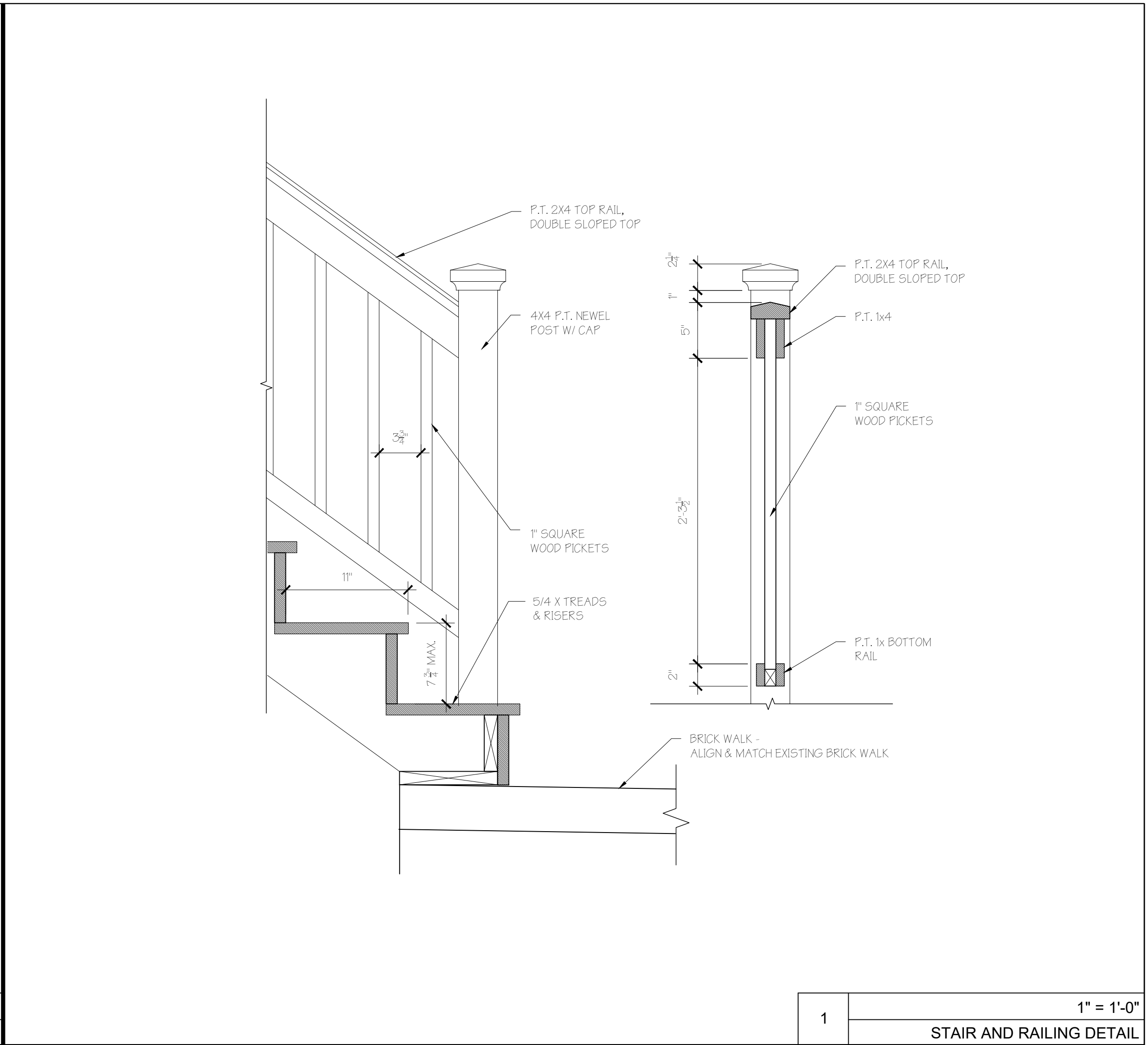
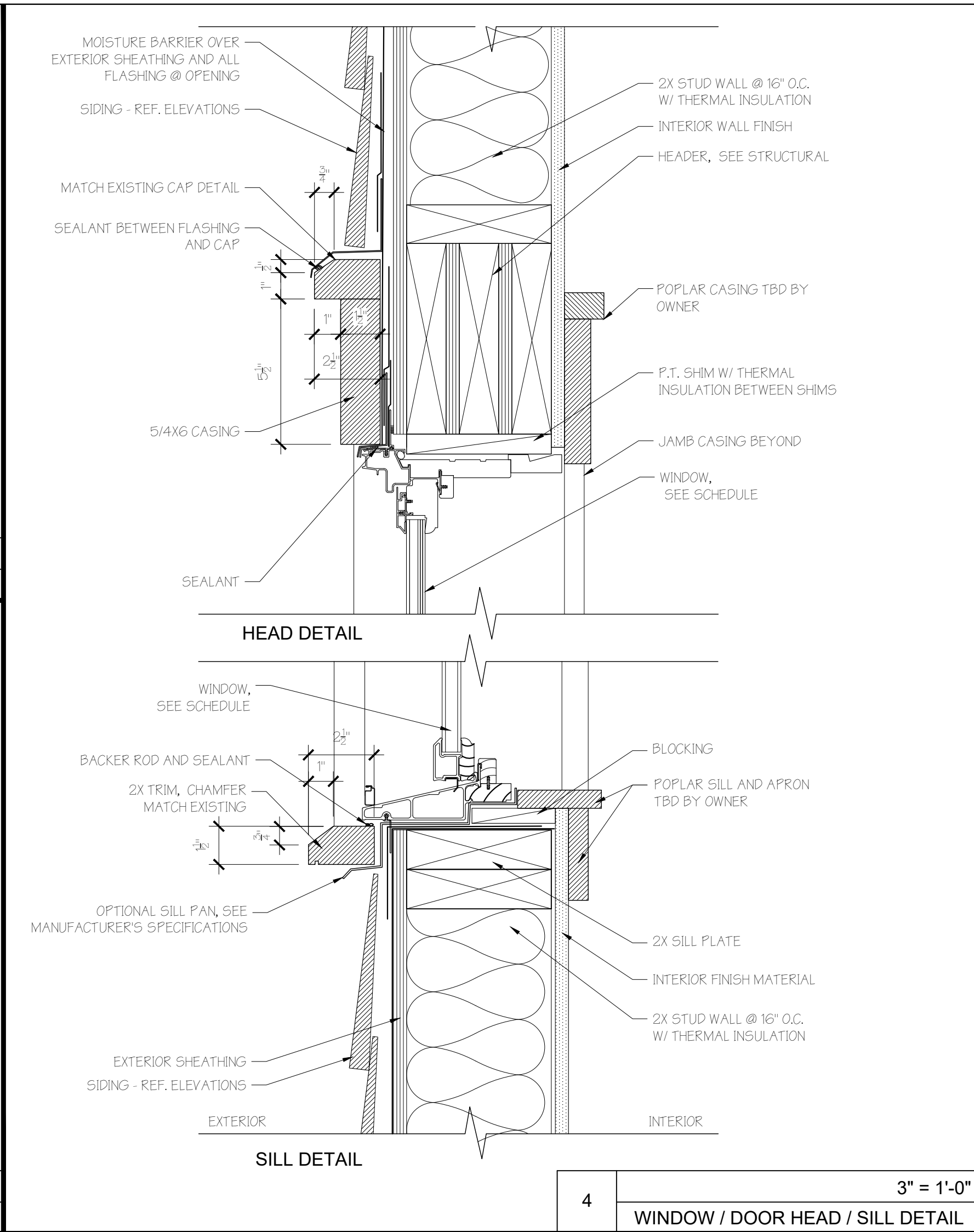
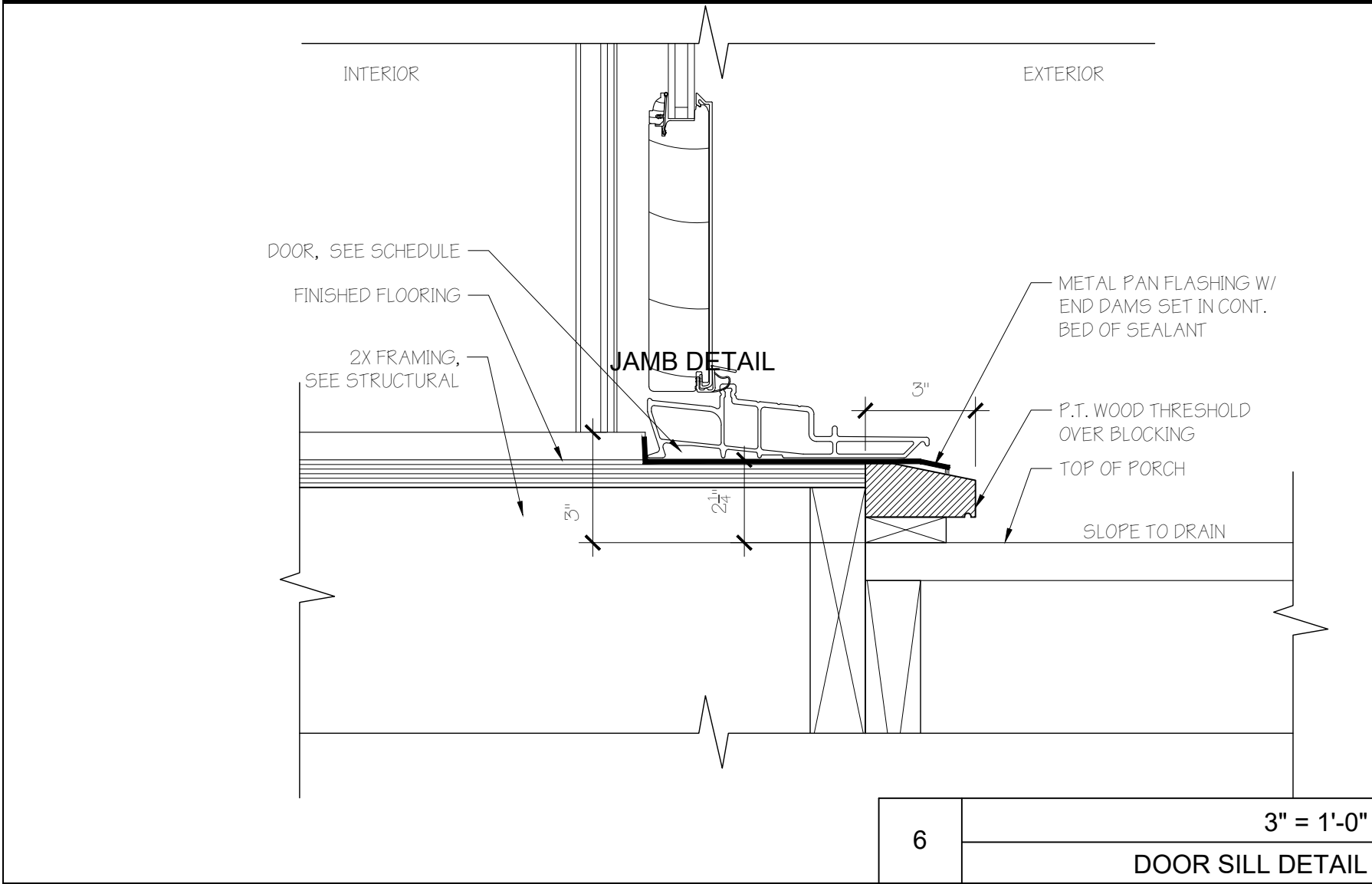
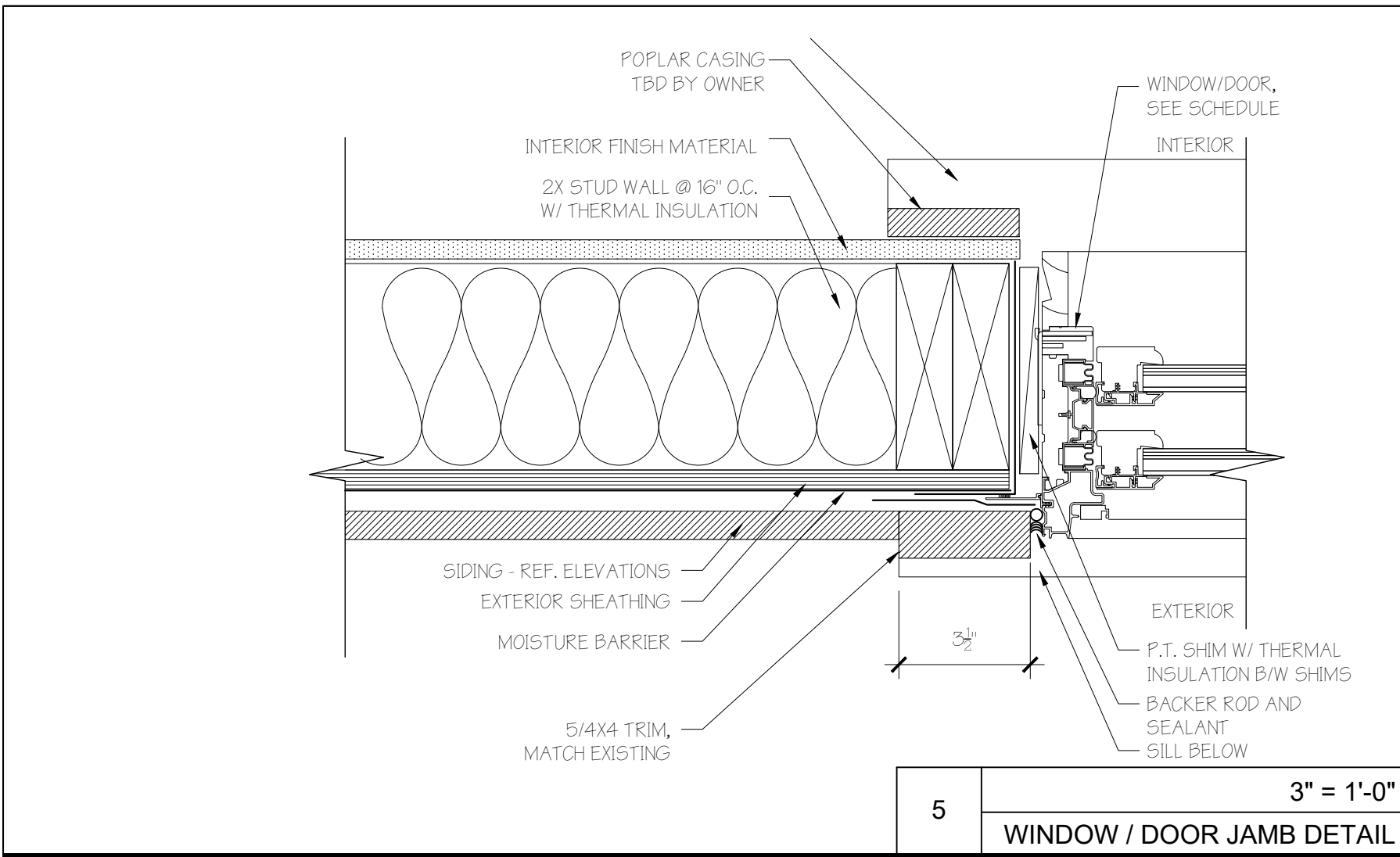
NOTE: VERIFY ALL SIZES, DIMENSIONS AND  
ROUGH OPENING REQUIREMENTS WITH MANUFACTURE

3	1/4" = 1'-0"
	DOOR & WINDOW SCHEDULES

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4X36 PAPER SIZE





DO NOT SCALE FROM DRAWINGS										Section X, Item #1.		
										AJD	AJD	INITIAL
										09.07.23	06.10.23	DATE
										HPC FINAL SUBMITTAL	HPC CONCEPTUAL SUBMITTAL	
										DESCRIPTION / REVISION LOG		
										NO.		

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NEW RESIDENCE FOR:  
DONOVAN CARRIAGE HOUSE  
LOT 8, 12 TABBY SHELL ROAD  
OLD TOWN  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	NO. 2345
DATE	08/31/23
DRAWN BY	AJD
CHECKED BY	AWB

CH DETAILS

SHEET NO.  
CH401

24X36 PAPER SIZE



# ATTACHMENT 4

## PLAN REVIEW COMMENTS FOR COFA-08-23-018375

Section X. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
TABBY ROADS PHASE 1

**Plan Type:** Historic District **Apply Date:** 08/14/2023  
**Plan Status:** Active **Plan Address:** 12 Tabby Shell Rd Road  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 000 1188 0000  
**Plan Description:** Carriage house

### Staff Review (HD)

**Submission #: 1** Received: 08/14/2023 Completed: 08/24/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	08/24/2023	Katie Peterson	Approved with Conditions
<b>Comments:</b> 1. At time of final submittal, a letter of approval from the Tabby Roads HARB is required.			
HPRC Review	08/24/2023	Katie Peterson	Approved with Conditions
<b>Comments:</b> 1. At time of final submittal, provide additional information about the gravel/hardscape. Clarify which areas will remain from the existing pad and which will go away/be added.			
Beaufort Jasper Water and Sewer Review	08/24/2023	James Clardy	Approved
<b>Comments:</b> No comments provided by reviewer.			
Transportation Department Review - HD	08/16/2023	Megan James	Approved
<b>Comments:</b> No comments			
Watershed Management Review	08/18/2023	Samantha Crotty	Approved

### Plan Review Case Notes:

## HABITAT ARCHITECTURAL REVIEW BOARD

### TABBY ROADS

### BLUFFTON, SC

Sept 26, 2023

DONOVAN MATTHEW R & DONOVAN DIANNE C,  
Lot 8, Tabby Roads  
12 Tabby Shell Rd  
Bluffton, South Carolina 29910

Dear Matthew and Diane,

This letter shall serve as approval with conditions for planned carriage house build on 12 Tabby Shell Road. Plans within the following files titled are the basis for this approval:

2023-09-07\_DONOVAN\_Final Conditions.pdf, 2023-09-07\_DONOVAN\_Final Conditions Response.pdf, 2023-08-31\_DONOVAN\_Tabby Roads Application - Copy.pdf, Aug 31,2023 email outlining color selection

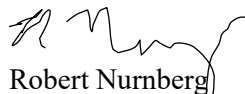
This approval is based upon the following items of clarification:

- Prior to beginning construction, garage door specifications must be delivered to HARB for review and approval.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. Additionally, no work shall commence on the project until building permits have been obtained for the structure.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,



Robert Nurnberg  
On behalf of Tabby Roads HARB  
Cc: Katie Peterson, Town of Bluffton



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT Department of Growth Management

<b>MEETING DATE:</b>	October 4, 2023
<b>PROJECT:</b>	1268 May River Road – Addition/Remodel: Contributing Resource, Office Use
<b>APPLICANT:</b>	Shifting Tides LLC
<b>PROJECT MANAGER:</b>	Katie Peterson, AICP, Senior Planner

**APPLICATION REQUEST:** The Applicant, Shifting Tides LLC, on behalf of the owner May River Project LLC, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-23-018141.** A Certificate of Appropriateness to allow the renovation of the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General- HD.

**INTRODUCTION:** The Applicant has proposed the renovation of the one-story, single-family structure known as Nathaniel Brown's Cottage. The structure is characterized by its brick masonry, wood detailing in its gables, low front porch and windows with horizontal lite patterns. The building was first surveyed in the 2008 Historic Resources Survey of Bluffton (Identified as 1268 May River Road, Site #046-0047), and subsequently resurveyed in the Town of Bluffton Historic Resources Update (July 2019).

On August 9, 2022, a Site Feature-HD (SFHD-08-22-2057) was approved to replace the existing asphalt roof with the same, using Landmark Asphalt Shingles in the color Weathered Wood. On October 31, 2022, work beyond the scope of the Site Feature and associated building permit was found to be in progress, including exterior work in the form of window replacement and framing on the rear porch, and a stop work order was issued. The work proposed in this application is intended to bring the structure, as currently exists, into compliance with the Unified Development Ordinance and maintain the historic integrity of the structure.

The Applicant proposes to replace the existing porch columns with 4x4 wood posts in the same location with a 2x4 horizontal guard rail to maintain the opening pattern of the historic porch. They have proposed soffit repairs using plywood to match the existing material in several locations identified on the architectural plans. They have proposed to replace the windows which were installed without Town

approval with Andersen 400 Series Tilt-Wash double-hung windows which maintain the historic window lite pattern. The historic windows removed from the structure were damaged beyond repair and cannot be reused.

The Applicant has proposed to enclose the rear porch using board and batten siding from the accessory structure's lean-to and detailed with trim work where the columns were to maintain the visual opening pattern on the porch. New brick steps on the rear porch have been proposed to the rear, to allow the drive aisle to be wider between the two structures. A new front and left side porch have been proposed using wood pickets and underpinning to differentiate from the historic portion of the porch.

On the non-contributing accessory structure, the Applicant has proposed to remove the shed roofed side addition of the structure, retaining the CMU block portion of the structure. New windows, including a glass garage door, to maintain the openings as they currently exist.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 17, 2023 meeting and comments were provided to the Applicant (See Attachment 4).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

- a. *Finding.* This criterion is only applicable to Nathaniel Brown's Cottage, not the accessory structure. Town Staff has reviewed the ten Standards for the Contributing Resource as follows:

*1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

*Finding.* The Applicant proposes to change the use of the property to office. While this is not the historic purpose of the structure, the changes required for this use are minimal and Staff finds this Standard has been met.

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*Finding.* The renovations proposed retain the features and special relationships of the historic structure. While repairing the historic windows would have been preferred, as they are no longer on the site, the windows proposed will help retain the historic character of the structure. All other historic material is proposed to be retained except for the soffit material where there is damage and replacing the 2x4 columns with 4x4 columns. Town Staff finds this Standard has been met.

*3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

*Finding:* The proposed modifications do not create a false sense of historical development, and do not add conjectural features or architectural elements from other buildings. Town Staff finds this Standard has been met.

*4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

*Finding.* Town Staff finds the work proposed to under this application does not destroy features which may have acquired historic significance in their own right and this Standard has been met.

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

*Finding.* Town Staff finds that the changes proposed to the structure do not remove distinctive features, finishes, and construction techniques and this Standard has been met.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

*Finding.* The Applicant proposes repair soffits, replace windows which are no longer at the site, and leave most of the historic material in place. Town Staff finds this Standard to have been met.

- 7. Deteriorated Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

*Finding.* No chemical or physical treatments which may cause damage to the structure have been proposed. This Standard has been met.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

*Finding.* No digging is proposed. Should any archeological resources be discovered during the project, Town Staff must be notified to determine if any mitigation measures are needed.

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

*Finding.* Town Staff has found that the proposed enclosure of the rear porch and new side porch is differentiated slightly from the old with the proposed material and is compatible with the massing, size, scale, and architectural features and protects the historic integrity of the property and its environment and, as such, this Standard has been met.

- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

*Finding.* Town Staff has found that the rear porch being enclosed and the porch addition to the primary structure have been designed in such a manner that if removed in the future, the essential form and integrity of the historic resource would be unimpaired, as such, this Standard has been met.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant has proposed minimal repairs to the main mass of the structure, leaving the brick, wood paneled gables, and much of the eaves intact. Repairing the soffit in kind, installing windows which match the historic pattern, and repairing the porch, the historic nature of the structure will be enhanced and allow for its reuse as a commercial site. It currently sits vacant. The renovation and remodel have been designed to be sympathetic to the architectural character structure, so the proposed changes will both protect the integrity of the existing historic structure and enhance the neighborhood by allowing it to be occupied.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
1. Section 5.15.6.I. Windows and Doors. The Applicant has proposed the Andersen 400 Series Tilt-Wash Double Hung Windows with the horizontal lite pattern to match the historic windows which are no longer in the building. The product guide does not show the ability to configure the muntins in this manner, however, the Applicant has indicated they will be able



to special order. Should the window configuration in this product be unable to meet the configuration shown on the Architectural Drawings, the Applicant will need to bring alternate window information to Town Staff for review and approval prior to installation.

2. Section 5.15.6.P. Cornice, Soffit, and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. The Applicant proposes the use of plywood to repair areas of the soffit that are damaged. While plywood is not a permitted material, the soffit material on the existing is plywood and Staff recommends approval of a deviation from the permitted soffit materials.
4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

*Finding.* Town Staff finds the nature and character of the renovation to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing will be sensitive to the neighboring properties.

5. Section 3.18.3.E. Preservation of the existing building's historic character and architecture;

*Finding.* This Standard has been met. See Secretary of Interior Standards above for additional information.

6. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* The Applicant seeks approval for the renovation of a Contributing Resource. By renovating the structure to allow for its continued use, using designs sensitive to the character of the structure and district, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the proposed construction will have no adverse effect on the public interest.

7. Section 3.18.3.G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider: 1. The existing and historical ownership and use and reason for requesting demolition; and 2. Information that establishes clear and convincing evidence that: a. The demolition of the structure is necessary to alleviate a threat to public health or public safety; and b. No other reasonable alternatives to demolition exist; and c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property;

*Finding.* The Applicant seeks to demolish the enclosed shed roof addition on the non-contributing structure but does not propose demolition of the Contributing Resource.

8. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

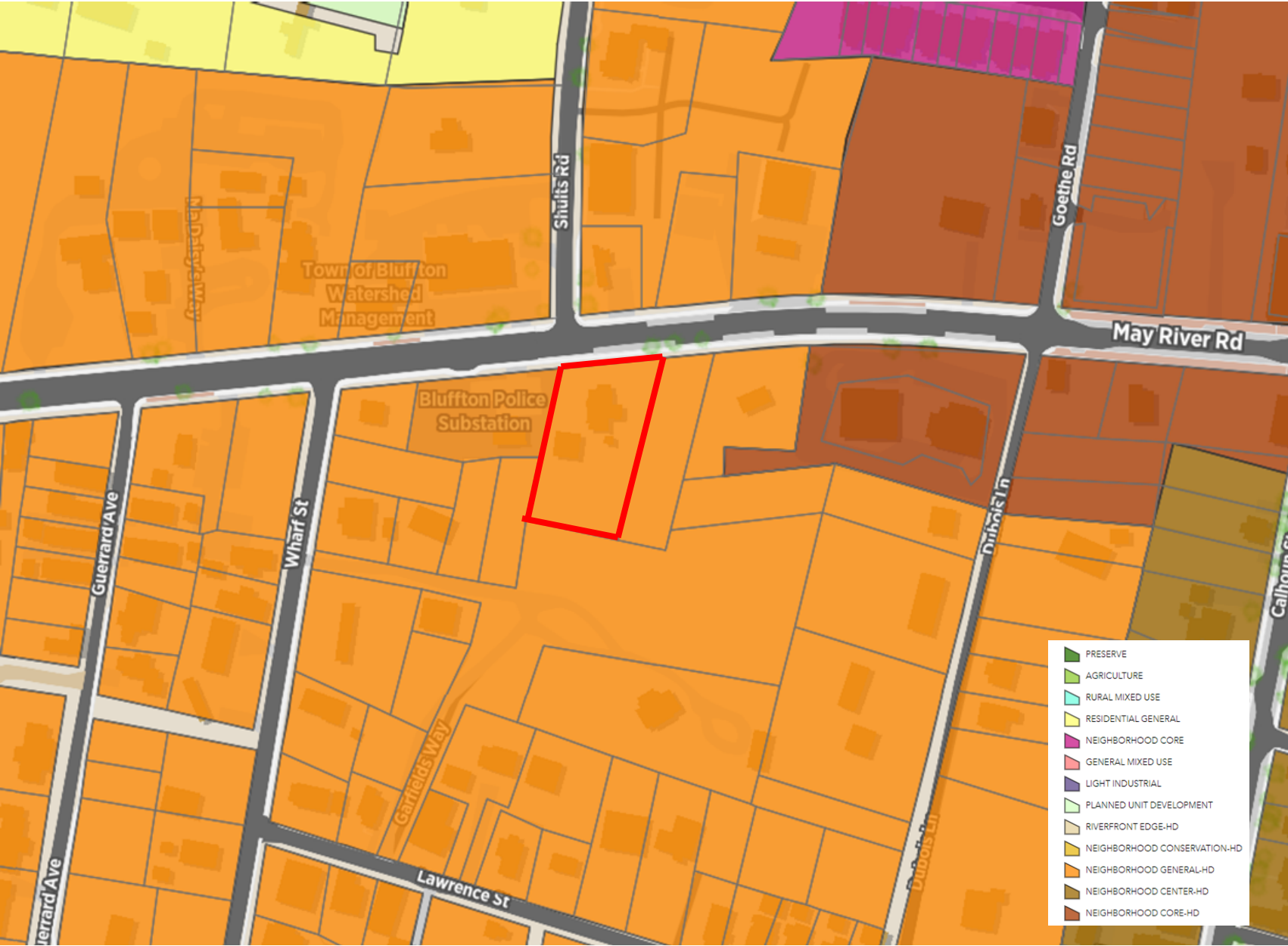
**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Should the window configuration of the Andersen 400 series be unable to meet the lite pane configuration shown on the Architectural Drawings, the Applicant will need to bring alternate window information to Town Staff for review and approval prior to installation.
2. The HPC must determine the appropriateness of the use of plywood for the soffit repairs, which matches the existing soffit material of the Contributing Resource but is not permitted by UDO Section 5.15.6.P. of the UDO.

**ATTACHMENTS:**

1. Location and Zoning Map
2. Application
3. Site Plan & Elevations
4. HPRC Report
5. Supplemental Pictures

ATTACHMENT 1 – Location and Zoning Map, 1268 May River Road





## ATTACHMENT 2

**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer

Section X. Item #2.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Shifting Tides LLC		Name: May River Project LLC	
Phone: 330-285-2075		Phone: 330-285-2075	
Mailing Address: 25 Pritchard St. Bluffton		Mailing Address: 25 Pritchard St. Bluffton	
E-mail: Andrewjpietz@gmail.com		E-mail: Andrewjpietz@gmail.com	
Town Business License # (if applicable): 05-21-037165			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: 1268 May River Rd		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 1268 May River Rd.		Amendment: <input type="checkbox"/>	
Zoning District: Historic General		Application for:	
Acreage: .65		<input type="checkbox"/> New Construction	
Tax Map Number(s): R-610-039-00A-0147-		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: Contributing Structure 1323 SF. Ancillary CMU bld 475 SF			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Andrew Pietz</i>		Date: 8/25/23	
Applicant Signature: <i>Andrew Pietz</i>		Date: 8/25/23	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

## CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <b>mandatory</b> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
<b>Step 3. Review by UDO Administrator or designee and HPRC</b>	<b>Staff</b>
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



# ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): <b>Contributing Structure/CMU</b>					
Building Setbacks		Front:	Rear:	Rt. Side:	Lt. Side:
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure	Main House	1506		1506	
Ancillary	CMU Block Bld	800		464	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			2003 SF		
Impervious Drive, Walks & Paths			2020 SF		
Open/Covered Patios			310 Patio SF		
A. TOTAL IMPERVIOUS COVERAGE			4333 SF		
B. TOTAL SF OF LOT			28314 SF		
% COVERAGE OF LOT (A/B= %)			15%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Brick	Columns	PT Wood		
Walls	Brick	Windows	wood Clad		
Roof	Shingle	Doors	Wood		
Chimney	Brick	Shutters			
Trim	PT Wood	Skirting/Underpinning	PT wood		
Water table	Brick	Cornice, Soffit, Frieze	Pt wood		
Corner board		Gutters			
Railings	PT wood	Garage Doors	Metal/glass		
Balusters	PT wood	Green/Recycled Materials			
Handrails	Pt wood				



# ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



# ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Andrew Pietz  
Signature of Property Owner or Authorized Agent

8/25/23  
Date

Andrew Pietz  
Printed Name of Property Owner or Authorized Agent

Andrew Pietz  
Signature of Applicant

8/25/23  
Date

Andrew Pietz  
Printed Name of Applicant

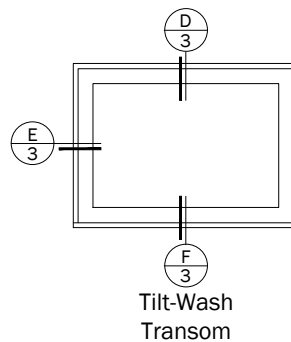
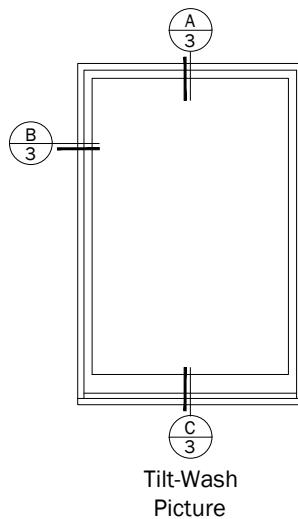
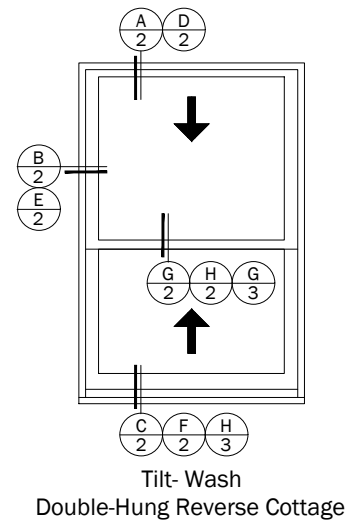
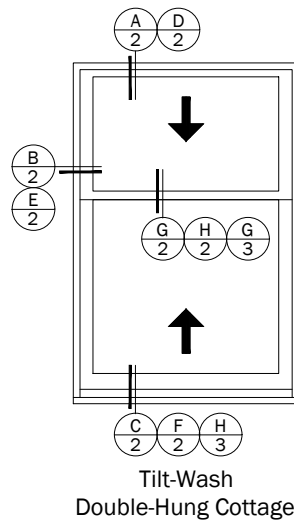
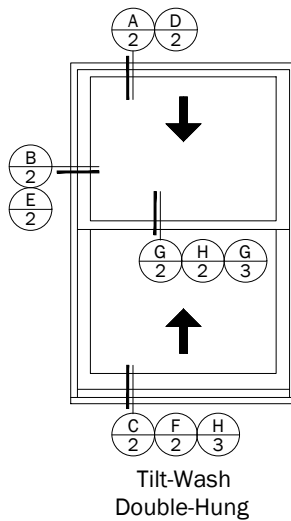


# ATTACHMENT 2

## 400 SERIES

Tilt-Wash Double-Hung Full-Frame Windows

Andersen<sup>®</sup> WINDO Section X. Item #2.



### Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

See Pages 4 Thru 6 for Accessories

Andersen Windows, Inc. reserves the right to change drawing specifications without notice

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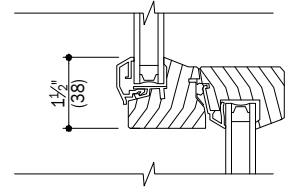
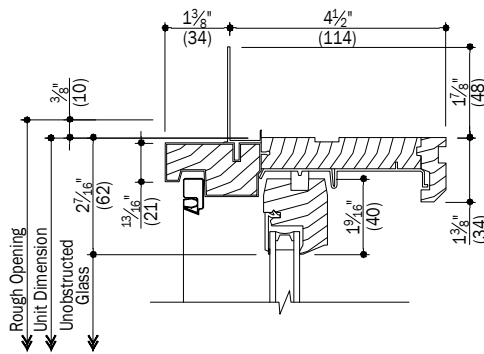
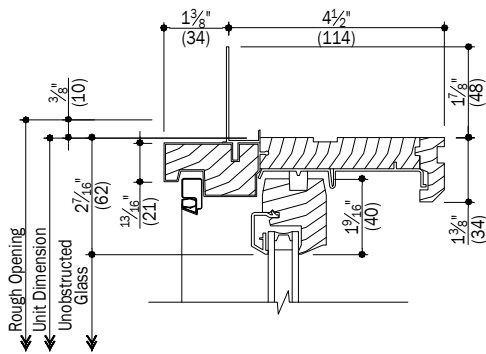
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# ATTACHMENT 2

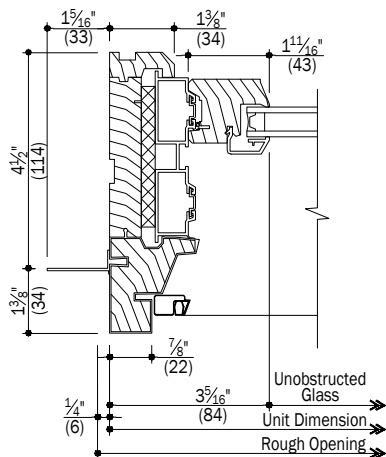
## 400 SERIES

### Tilt-Wash Double-Hung Full-Frame Windows

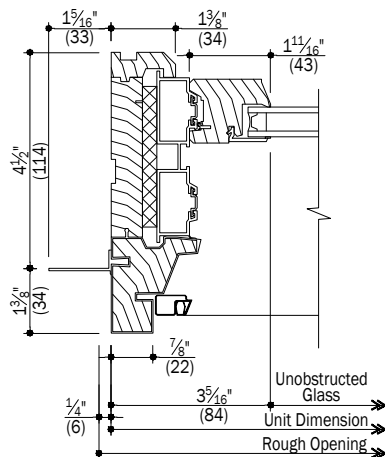
Section X. Item #2.



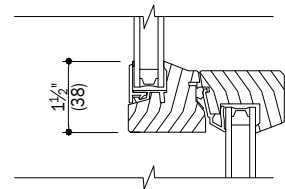
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2 Operating



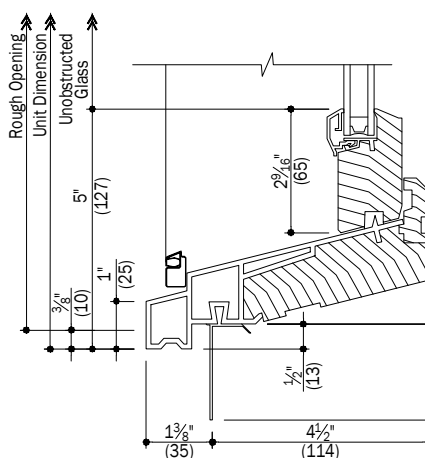
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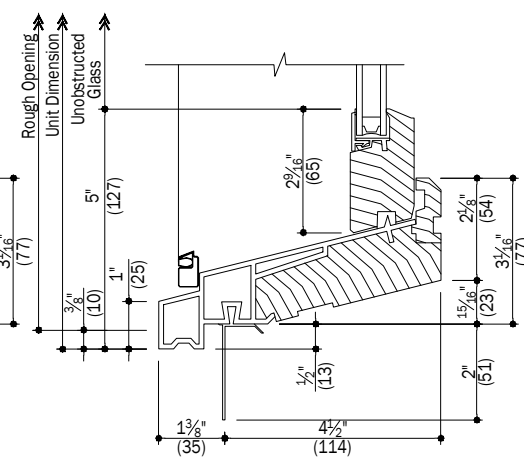
G Check Rail - High Definition Chamfer  
2



B Jamb - High Definition Chamfer  
2 Operating



E Jamb - High Definition Chamfer  
2 Operating



H Check Rail  
2

C Sill - High Definition Chamfer  
2 Operating



F Sill - High Definition Chamfer  
2 Operating



#### Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

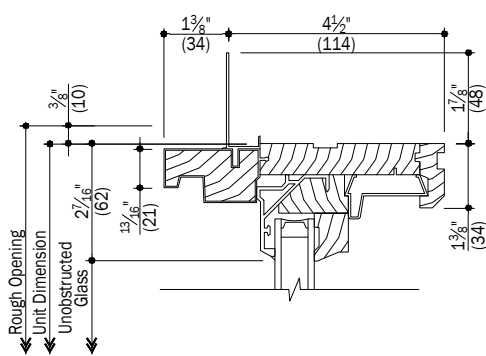
See Pages 4 Thru 6 for Accessories

# ATTACHMENT 2

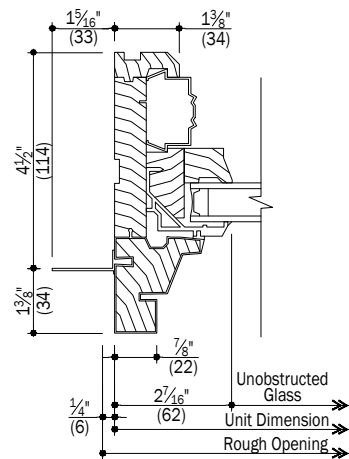
## 400 SERIES

### Tilt-Wash Double-Hung Full-Frame Windows

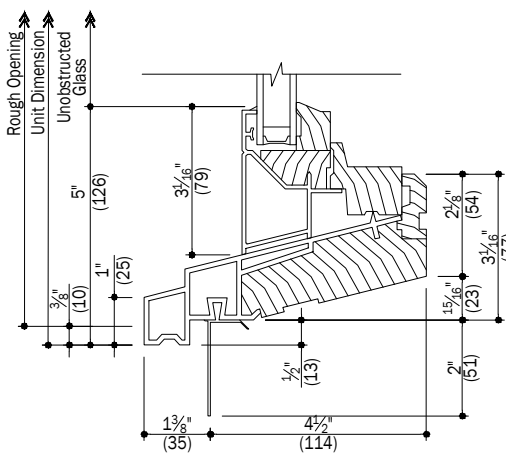
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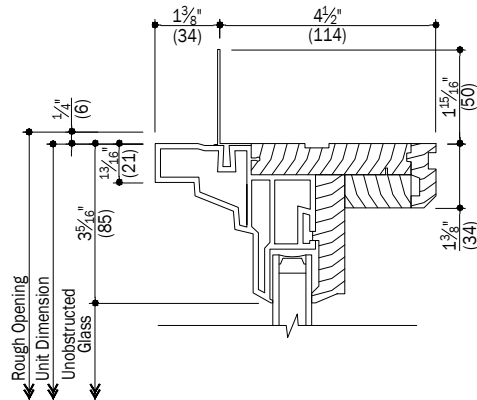
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Fixed



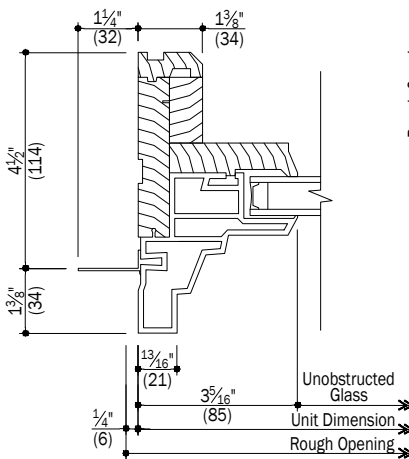
B  
3 Jamb  
Fixed



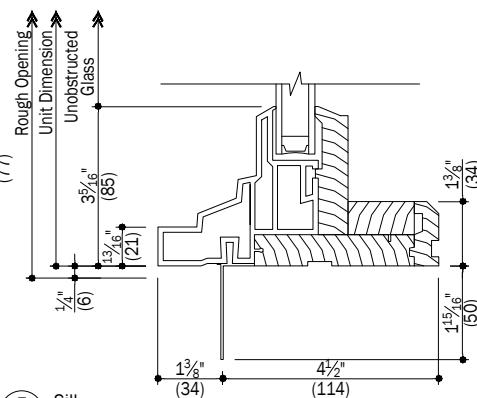
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Fixed



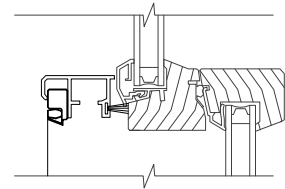
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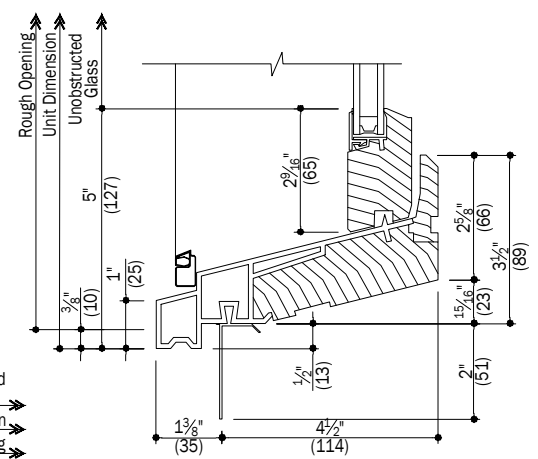
E  
3 Jamb  
Fixed



F  
3 Sill  
Fixed



G  
3 Half Screen at Check Rail



H  
3 Sill  
With performance grade upgrade

#### Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

See Pages 4 Thru 6 for Accessories

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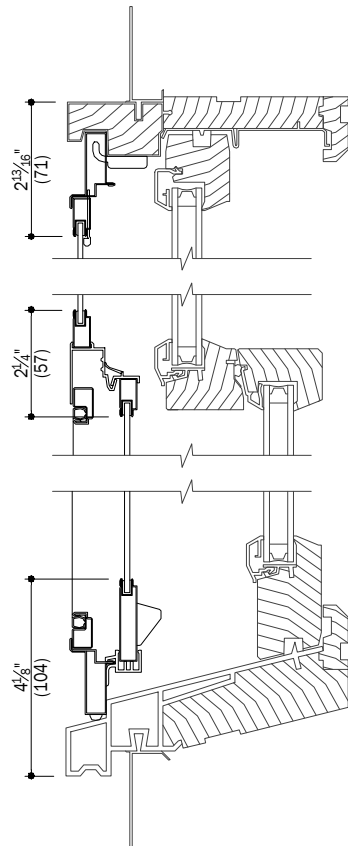
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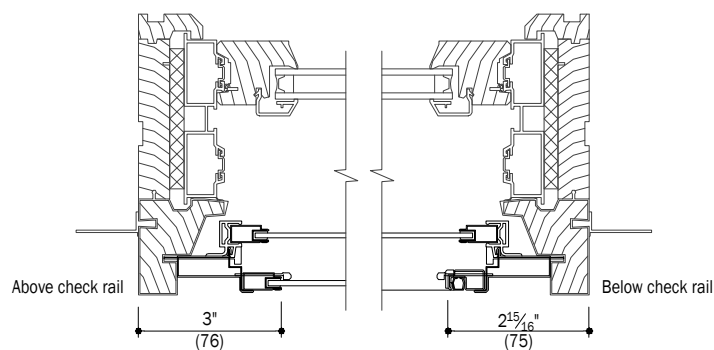
# 400 SERIES

## ATTACHMENT 2

### Tilt-Wash Double-Hung Full-Frame Windows Accessories



**A**  
4 Storm/Insect Screen Combination Unit



**B**  
4 Storm/Insect Screen Combination Unit

#### Notes:

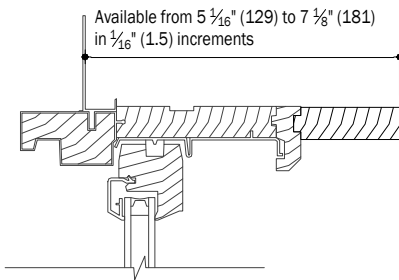
Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

# ATTACHMENT 2

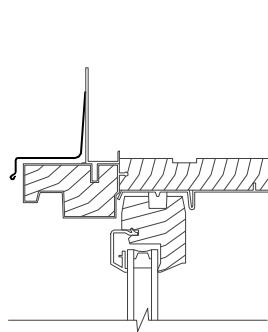
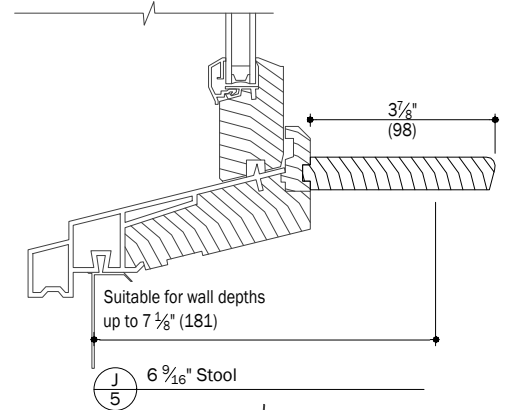
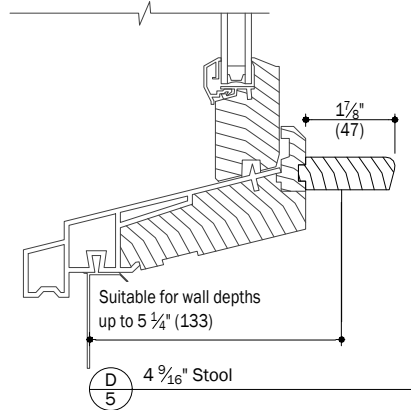
## 400 SERIES

### Tilt-Wash Double-Hung Full-Frame Windows Accessories

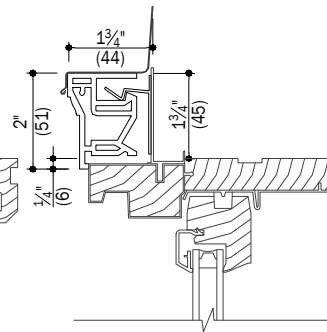
Section X. Item #2.



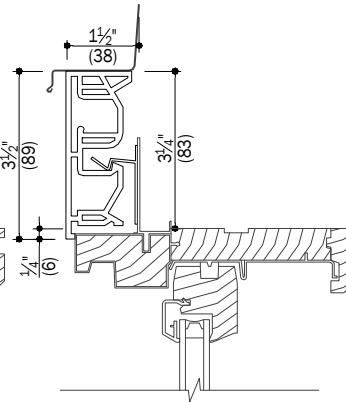
A  
5 Extension Jamb



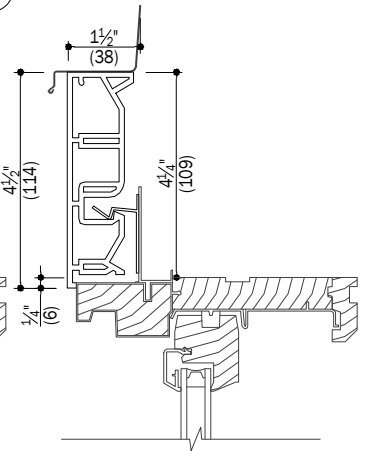
B  
5 Drip Cap



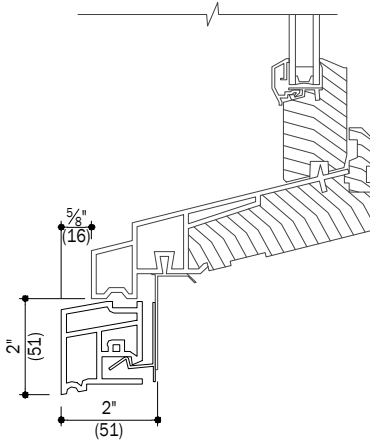
E  
5 2" Brick Mould



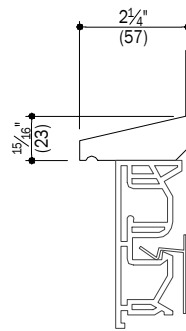
G  
5 3 1/2" Flat Casing



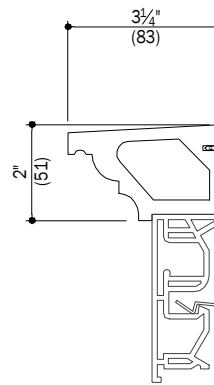
K  
5 4 1/2" Flat Casing



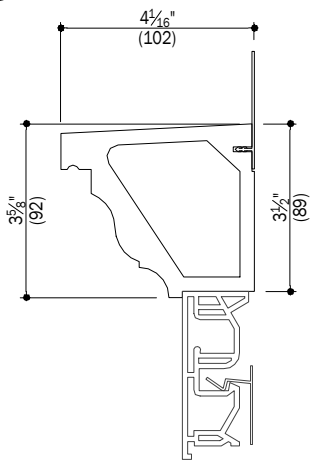
C  
5 Sill Nose



F  
5 Decorative Drip Cap



H  
5 2" Cornice



L  
5 3 5/8" Cornice

#### Notes:

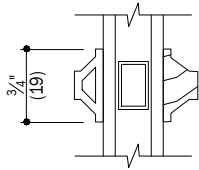
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Dimensions in parentheses are in millimeters.

# ATTACHMENT 2

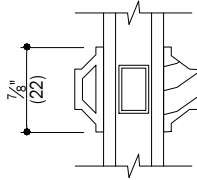
## 400 SERIES

### Tilt-Wash Double-Hung Full-Frame Windows Accessories

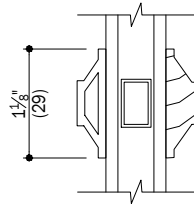
Andersen® WINDO Section X. Item #2.



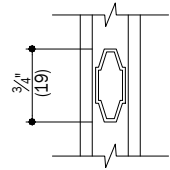
**A**  
6 3/4" Full Divided Light



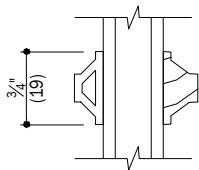
**E**  
6 7/8" Full Divided Light



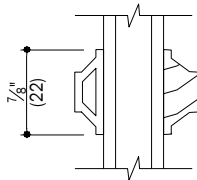
**J**  
6 1 1/8" Full Divided Light



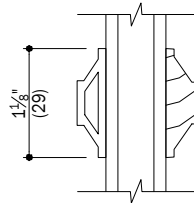
**M**  
6 3/4" Finelight



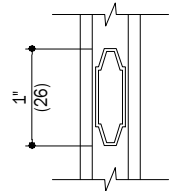
**B**  
6 3/4" Simulated Divided Light  
Removable interior is available



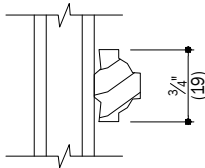
**F**  
6 7/8" Simulated Divided Light  
Removable interior is available



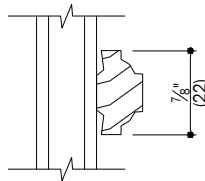
**K**  
6 1 1/8" Simulated Divided Light  
Removable interior is available



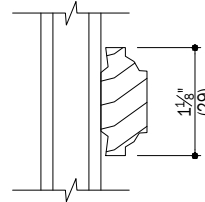
**N**  
6 1" Finelight



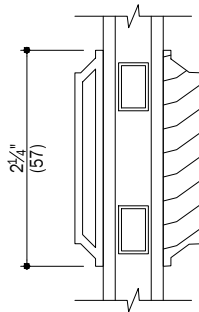
**C**  
6 3/4" Removable Interior Grille



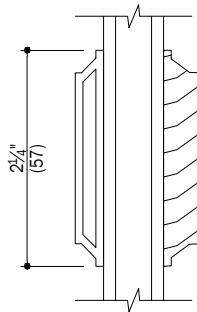
**G**  
6 7/8" Removable Interior Grille



**L**  
6 1 1/8" Removable Interior Grille



**D**  
6 2 1/4" Full Divided Light  
Simulated check rail  
Only available on picture units



**H**  
6 2 1/4" Simulated Divided Light  
Simulated check rail  
Only available on picture units

#### Notes:

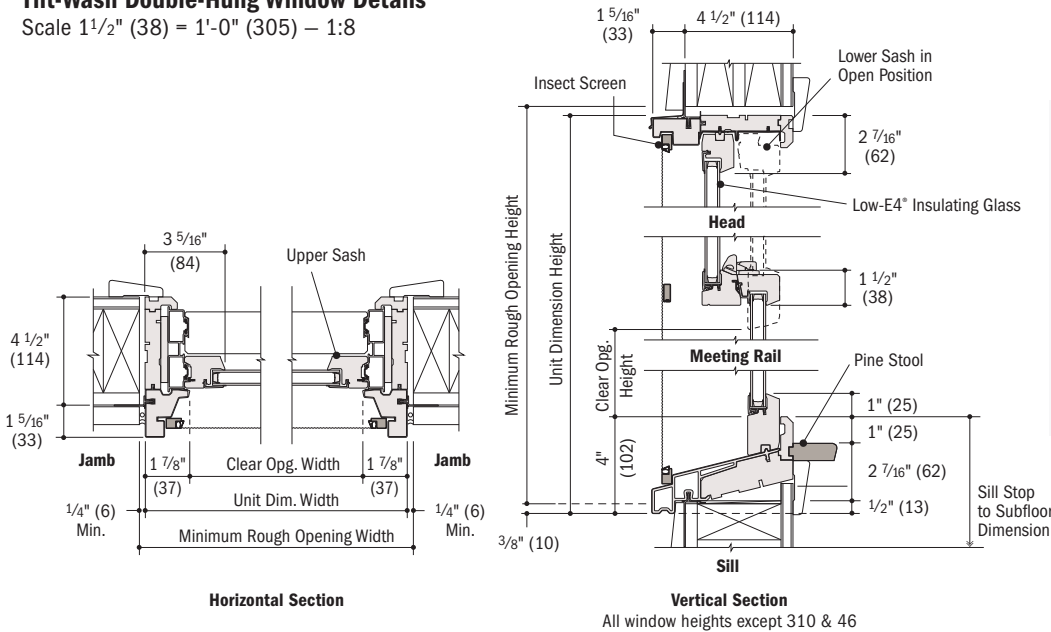
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Dimensions in parentheses are in millimeters.



# 400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

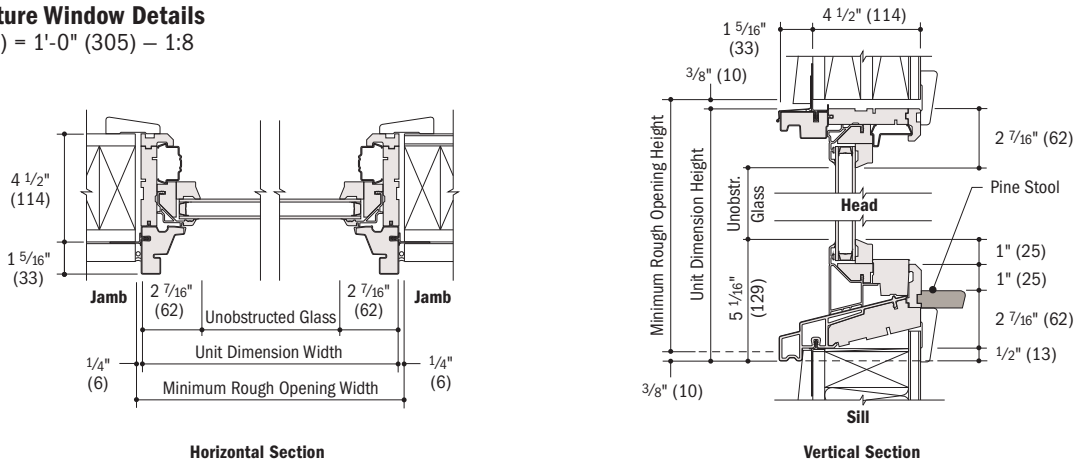
## Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



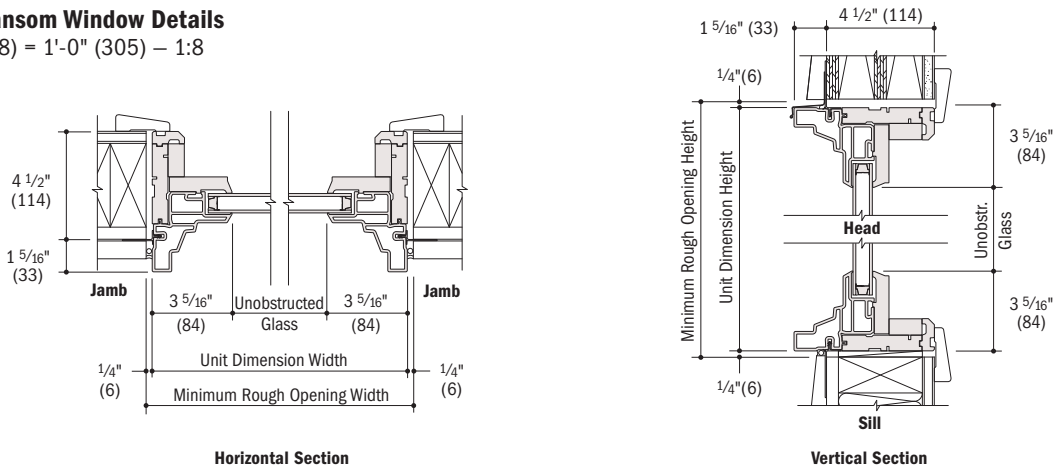
## Tilt-Wash Picture Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

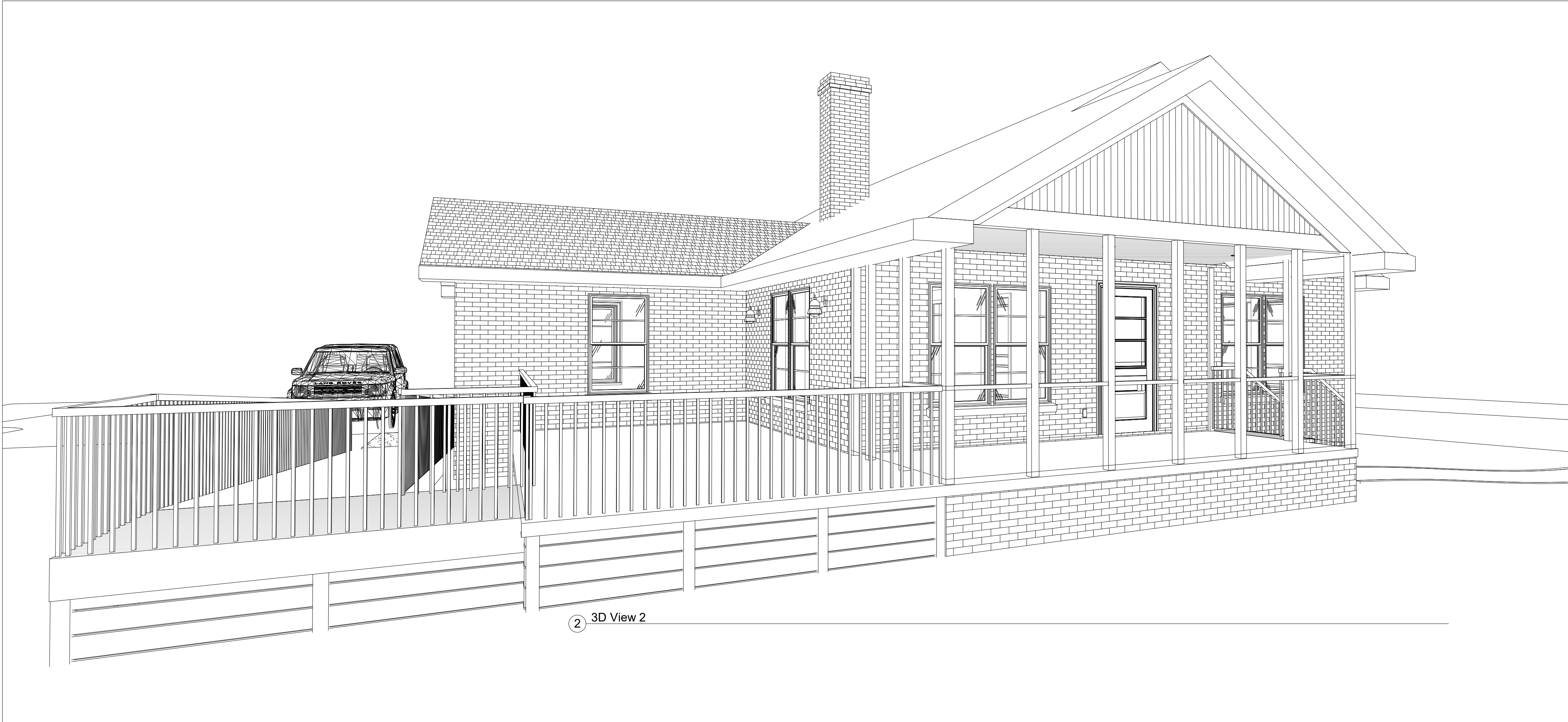


## Tilt-Wash Transom Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](http://andersenwindows.com).
- Dimensions in parentheses are in millimeters.



VICINITY MAP

GENERAL NOTES

ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMPANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.

ALL WORK SHALL CONFORM TO PREVAILING CODES, ORDINANCES AND REQUIREMENTS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES.

EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER). THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.

THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS, REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.

PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

ALL CONSTRUCTION SHALL COMPLY WITH IBC SECTION 1612 AS IT RELATED TO FLOOD LOADS AND MATERIALS

PROJECT PARTICIPANTS

OWNER

CONTACT:

ARCHITECT

WOODS DENDY ARCHITECTS, LLC

893 GRAYS HIGHWAY  
RIDGELAND, SC 29936

CONTACT: GRADY L. WOODS, AIA, NCARB  
PHONE: 843 726 6730  
EMAIL: gwoods@woodsdeny.com

CONTRACTOR

CONTACT:  
PHONE:

STRUCTURAL

MEP

LANDSCAPE

PROJECT INFO

NAME OF PROJECT:

ADDRESS: 1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

CONTRACTOR / CONTACT PERSON:  
ANDREW J. PIETZ 330-285-2075

CODE REFERENCES

CODE ENFORCEMENT JURISDICTION: BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IBC) W/ SC 2021  
MODIFICATIONS:  
INTERNATIONAL MECHANICAL CODE W /SC MODIFICATION: 2021  
INTERNATIONAL PLUMBING CODE W /SC MODIFICATION: 2021  
INTERNATIONAL FUEL GAS CODE W /SC MODIFICATION: 2021  
INTERNATIONAL FIRE CODE W /SC MODIFICATION: 2021  
INTERNATIONAL ENERGY CODE: 2009  
THE NATIONAL ELECTRICAL CODE (NFPA 70) 2020  
W /SC MODIFICATION:  
ICC/ANSI A117.1: 2021

SHEET LIST	
Sheet Number	Sheet Name
A100	LIFE SAFETY PLAN
A101	FLOOR PLAN
A103	ELEVATIONS
A104	SECTIONS
A105	PERSPECTIVE
A106	PERSPECTIVE
A107	PERSPECTIVE
A108	SCHEDULES
A109	PHOTOS
E001	ELECTRICAL POWER AND LIGHTING PLAN
G-001	COVER SHEET
G-002	SURVEY
G-003	SITE

CONSTRUCTION TYPE:

☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A  
☐ I-B ☐ II-B ☐ III-B ☒ V-B  
SPRINKLERS: ☒ NO ☐ PARTIAL ☐ YES

ZONING DISTRICT 2  
OVERLAY DISTRICT -  
USE OF PROPERTY: OFFICE  
GROSS SITE ACRES -  
GROSS PARCEL ACRES - .67  
ALLOWED TOTAL DENSITY - 1.330 AC X 10,000 GFA = 13,300 SF  
EXISTING BUILDING SQUARE FOOTAGE - 1304 SF  
EXISTING BUILDING HT - 17FT  
MAXIMUM ALLOWED IMPERVIOUS COVER - 65% (18,970)  
EXISTING IMPERVIOUS COVER - 0% (0 SF)  
PROPOSED IMPERVIOUS COVER 34% (1,506)  
FLOOD ZONE - C

OCCUPANCY CLASSIFICATION:

ASSEMBLY ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5  
BUSINESS ☒ X  
EDUCATIONAL ☐  
FACTORY ☐ F-1 MODERATE ☐ F-2 LOW  
HAZARDOUS ☐ H-1 DETONATE ☐ H-2 DEFLAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM  
INSTITUTIONAL ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4  
CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5  
MERCANTILE ☐  
RESIDENTIAL ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4  
STORAGE ☐ S-1 MODERATE ☐ S-2 LOW  
☐ HIGH-PILED  
☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE  
UTILITY AND MISCELLANEOUS ☐

ACCESSORY OCCUPANCY CLASSIFICATION(S): N/A ACCESSORY OCCUPANCY % OF FLOOR AREA       
INCIDENTAL USES: N/A SEPARATION:      HR.

SPECIAL USES (CHAPTER 4): N/A  
SPECIAL PROVISIONS (CHAPTER 5): N/A

MIXED OCCUPANCY: X NO ☐ YES NON-SEPARATED USE SECOND OCCUPANCY:       
☐ YES SEPARATED USE SECOND OCCUPANCY:       
SEPARATION:      HR.

BUILDING DATA:

NO STORIES: 1  
BUILDING AREA:      SF

EXIT ACCESS TRAVEL DISTANCE: N/A FT. MAX ALLOWABLE: 100 FT. TABLE 1014.3  
CORRIDOR: RATING: N/A MINIMUM WIDTH: 36 INCHES

LIFE SAFETY SYSTEMS:

EMERGENCY LIGHTING: ☐ NO ☒ YES  
EXIT SIGNS: ☒ NO ☐ YES  
FIRE ALARM: ☒ NO ☐ YES  
SMOKE DETECTION SYSTEM: ☒ NO ☐ YES ☐ PARTIAL  
CARBON MONOXIDE DETECTION: ☒ NO ☐ YES

WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY  
RIDGELAND, SC 29936  
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801

STATE OF SOUTH CAROLINA  
WOODS DENDY ARCHITECTS, LLC  
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA  
GRADY L. WOODS  
REGISTERED ARCHITECT

NEW CONSTRUCTION FOR:  
**ANDREW PIETZ REALTY ONE**  
1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

REV. NO. REV. DATE

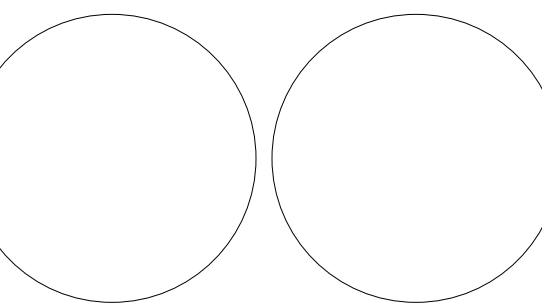
Project Status  
DATE: 8 AUGUST 23

COVER SHEET

G-001

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S.C. HWY 46

←

←

CALHOUN STREET

←

MAY RIVER ROAD

←

HARRY STREET

←

OVERLAND STREET

VICINITY MAP

NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO LIE IN FLOOD ZONE X SHOWN ON FIRM MAP 45013C04286, COMMUNITY No. 450251, DATED 03/23/21.
- TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83, SCVRS NETWORK.
- PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REFERENCE(S):

- PLAT BOOK 121, PAGE 45

LEGEND:

CMF	CONCRETE MONUMENT, OLD (FOUND)
IPF	IRON PIPE FOUND
RRS	RERAIL SET
-CHP-	OVER HEAD POWER LINE
-SD-	STORM DRAINAGE PIPE
TEL	TELEPHONE PEDESTAL
WM	WATER METER
GV	GAS VALVE
LP	LAMP POST
SSCO	SANITARY SEWER CLEANOUT
SYC	SYCAMORE
PER	PERSIMMON
LO	LIVE OAK
+10.0	SPOT ELEVATION
-10-	CONTOUR

REVISION(S):

- 06.16.22 UPDATED SURVEY TO NAVD 1988 DATUM & GENERAL REVISIONS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

DONALD R. COOK, JR.  
S.C. P.L.S. No. 19900  
NOT VALID UNLESS CRAWPED WITH SEAL

20 10 0 10 20 40  
GRAPHIC SCALE

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AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF  
0.67 Ac.  
S.C. HIGHWAY 46  
TMS R610 039 00A 0147 0000  
TOWN OF BLUFFTON, BEAUFORT COUNTY,  
SOUTH CAROLINA  
PREPARED FOR:  
ANDREW PIETZ

COOK LAND SURVEYING INC. No. 3290

Fast & Better.

Fast & Better.

843.247.1311

www.cooklandsurveying.com

PROJECT No.: 17050003

DRAWN BY: DRC DATE: 06.16.22 SCALE: 1"= 20'

PROJECT NAME: 17050003

FILE: 17050003.dwg rev: 061622.dwg

SHEET 1 OF 1

1 SURVEY  
1" = 20'-0"

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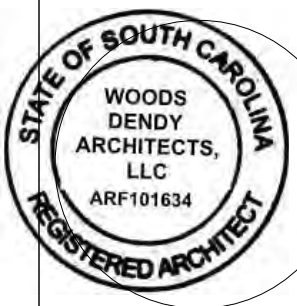


Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY  
RIDGELAND, SC 29936  
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:  
**ANDREW PIETZ REALTY ONE**

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE  
REV. NO. REV. DATE

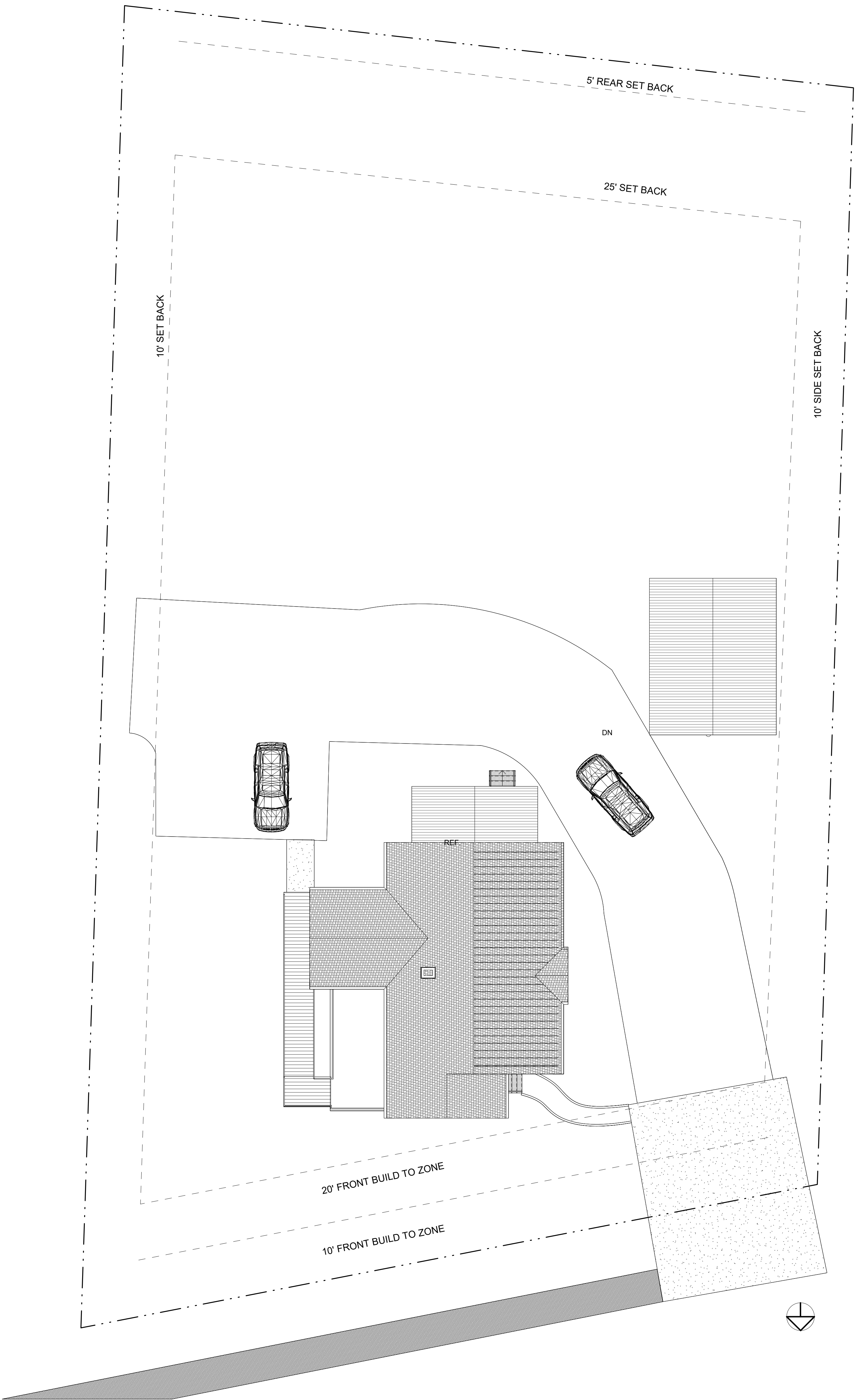

Project Status  
DATE: 8 AUGUST 23

SITE

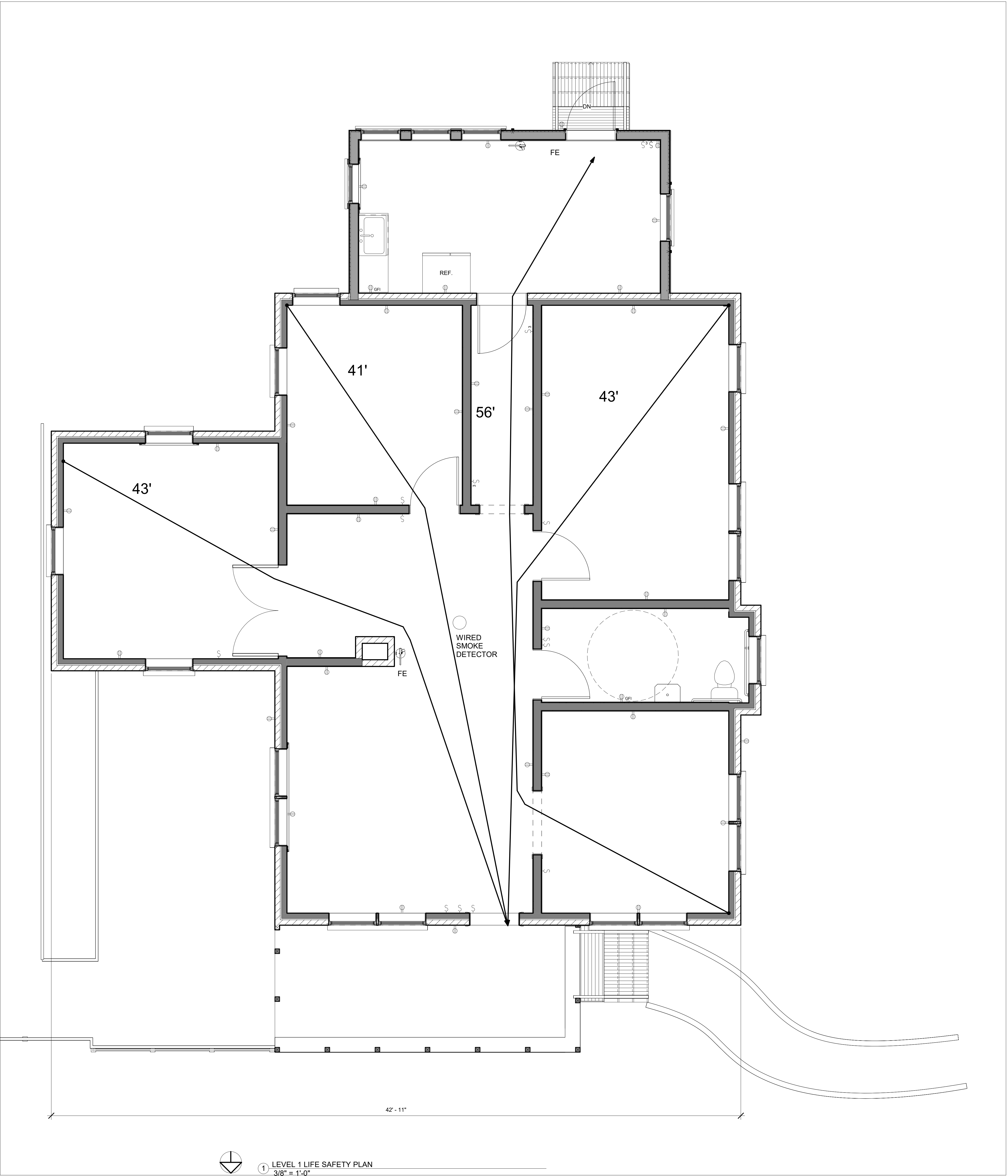
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1 Site  
1" = 10'-0"



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1 LEVEL 1 LIFE SAFETY PLAN  
3/8" = 1'-0"

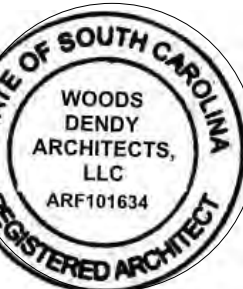


Woods Dendy  
Architects, LLC

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RIDGELAND, SC 29936  
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801



NEW CONSTRUCTION FOR:

ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO.

22044

DRAWN BY: Author

CHECKED BY: Checker

REVISION SCHEDULE  
REV. NO. REV. DATE

Project Status

DATE: 8 AUGUST 23

LIFE SAFETY PLAN

A100

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WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

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RIDGELAND, SC 29936  
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:  
**ANDREW PIETZ REALTY ONE**

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO.

22044

DRAWN BY: Author

CHECKED BY: Checker

REVISION SCHEDULE

REV. NO.

REV. DATE

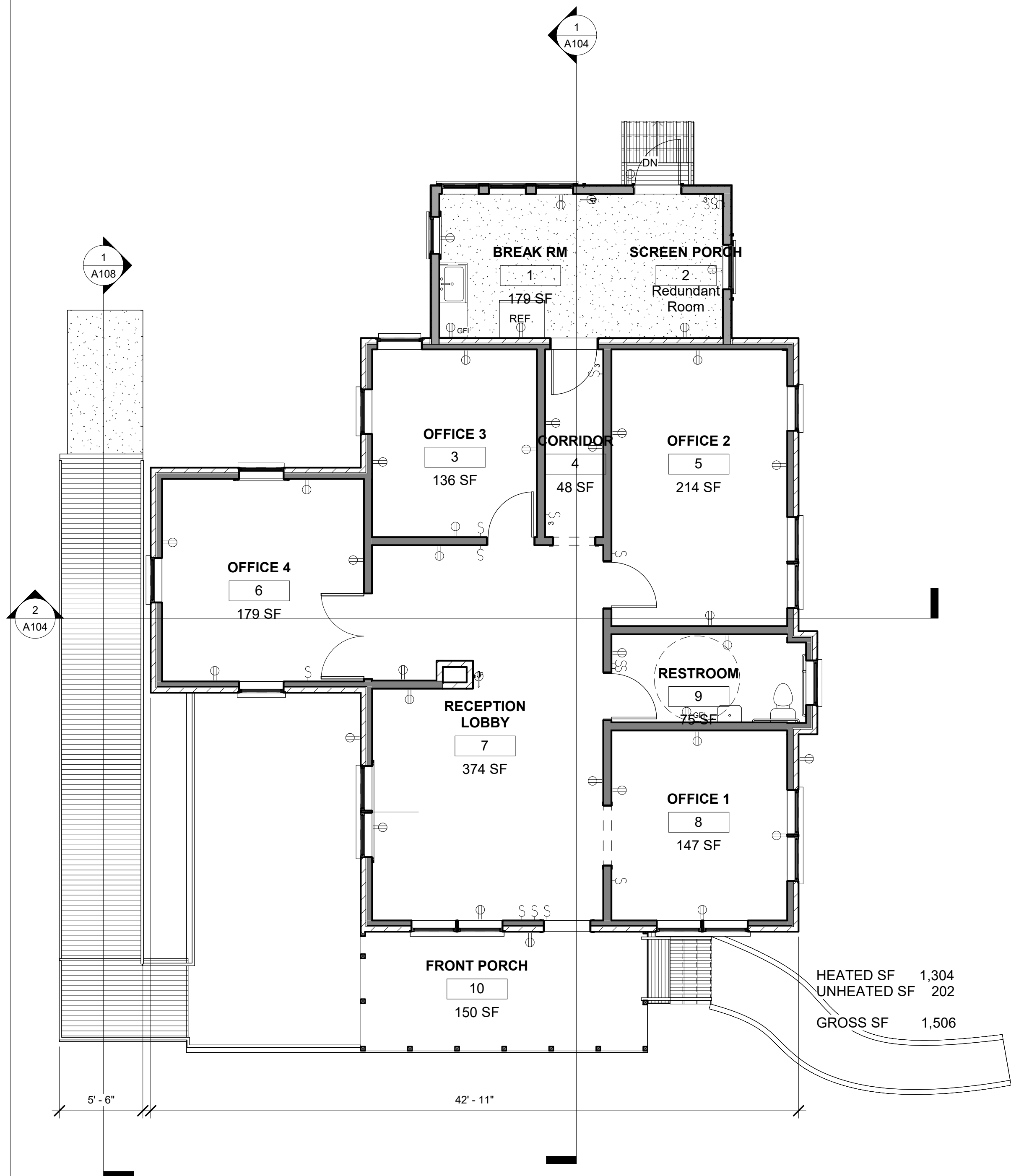
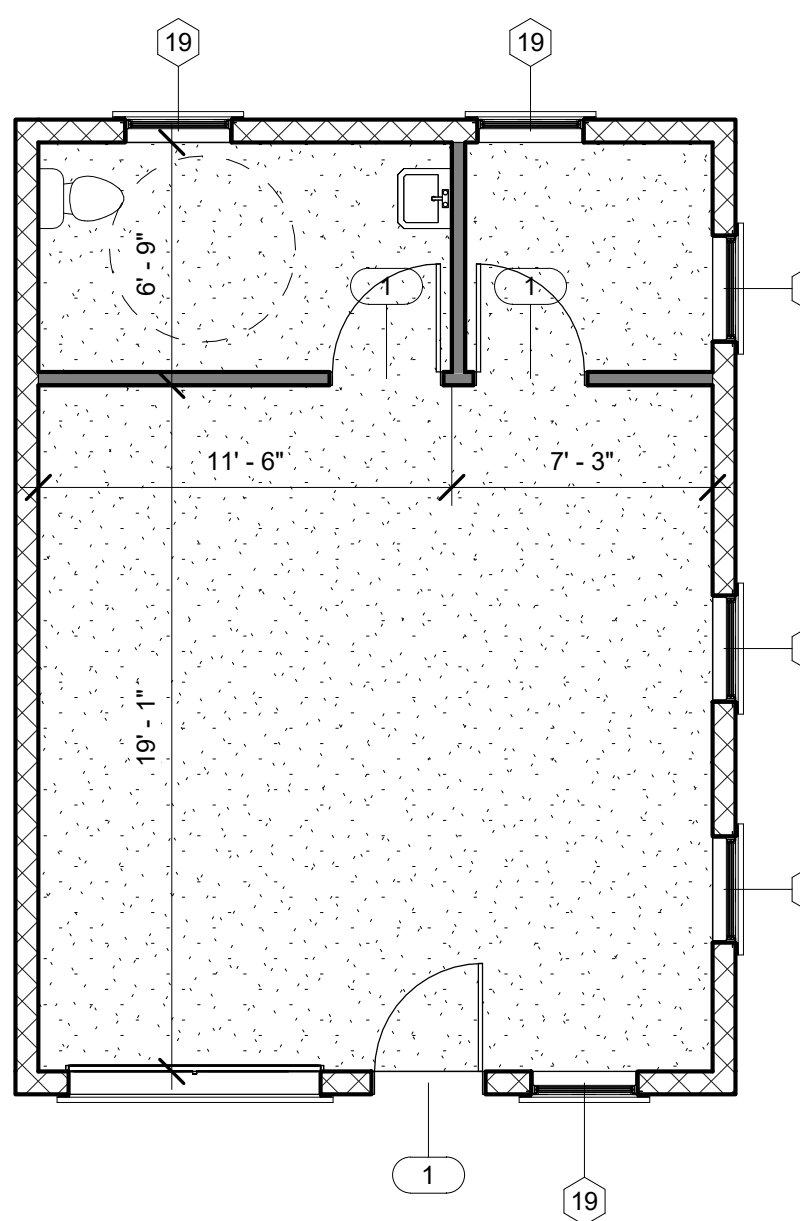
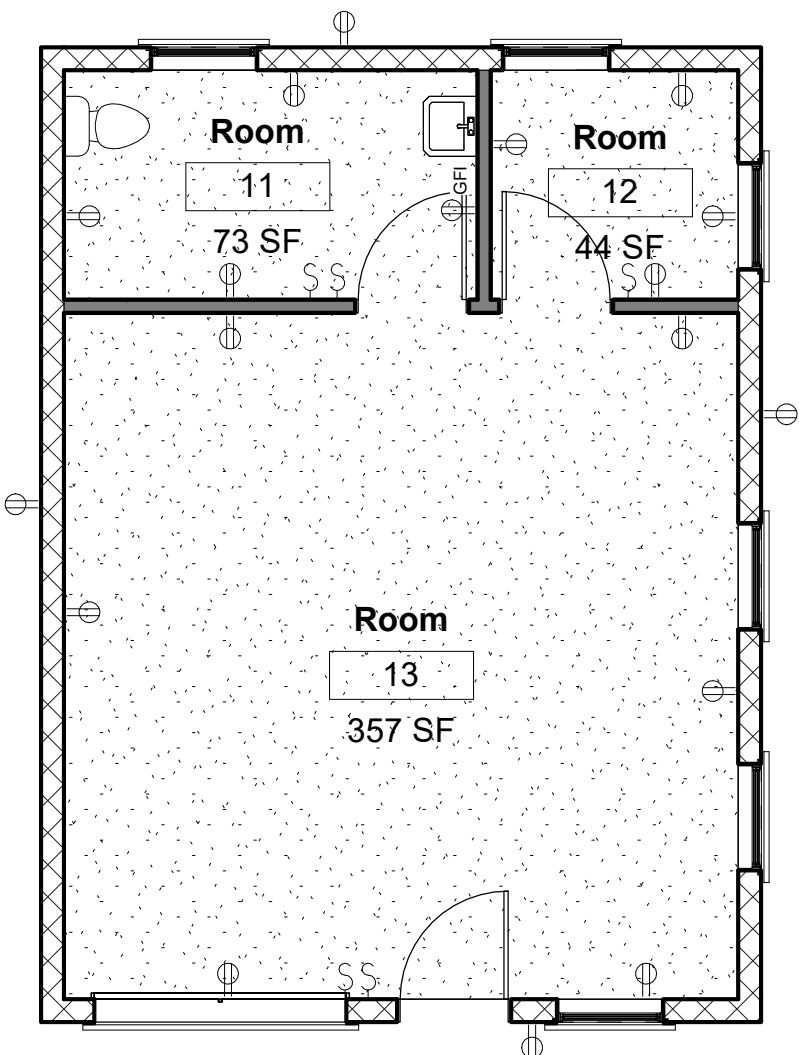
Project Status

DATE: 8 AUGUST 23

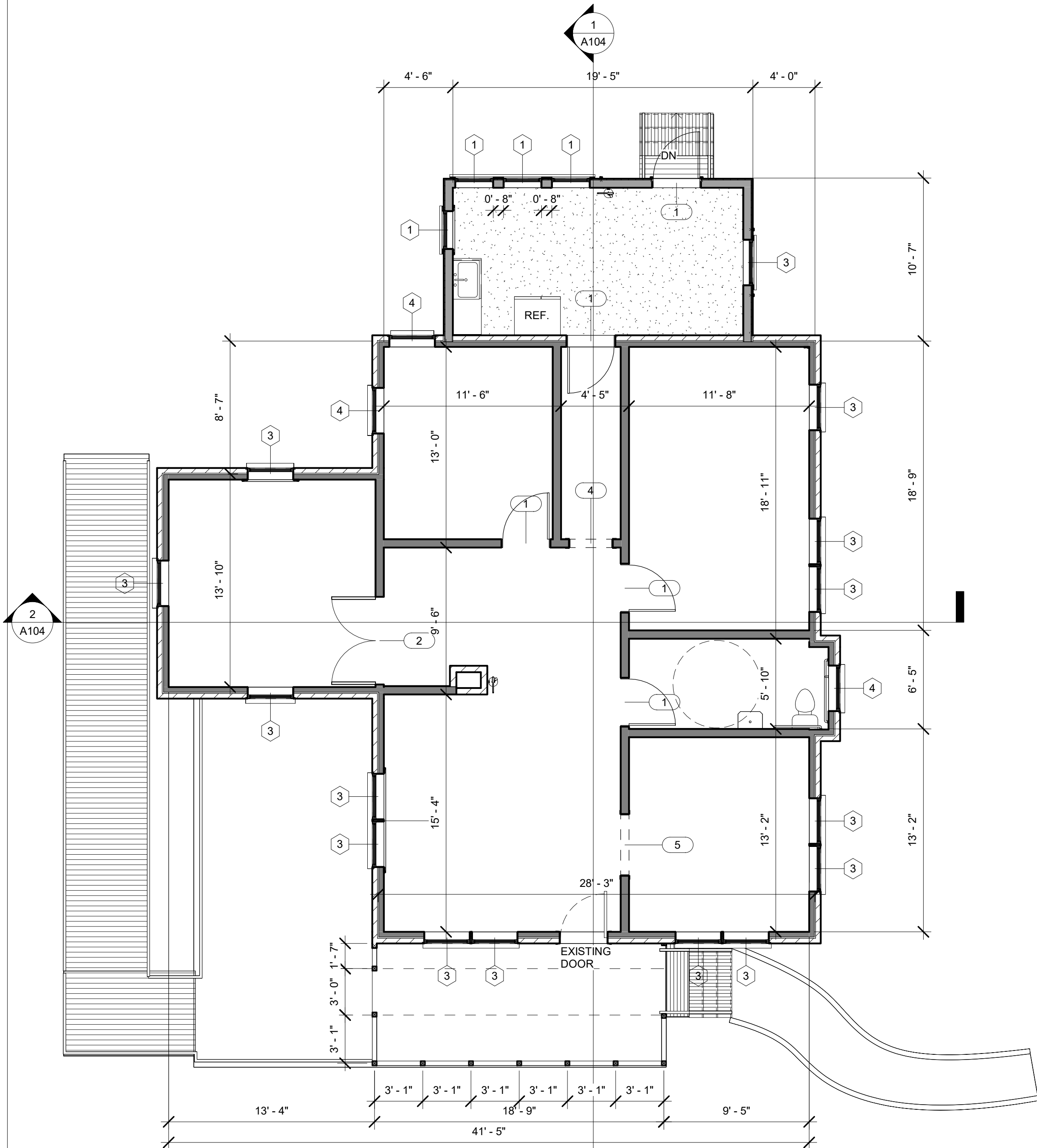
FLOOR PLAN

A101

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2 LEVEL 1 SQ FOOTAGE  
3/16" = 1'-0"



1 LEVEL 1  
3/16" = 1'-0"



WDA

Woods Dendy  
Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY  
RIDGELAND, SC 29936  
PHONE: 843-726-67301 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801

PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:

ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO.

22044

DRAWN BY: Author

CHECKED BY: Checker

REVISION SCHEDULE

REV. NO.

REV. DATE

Project Status

DATE: 8 AUGUST 23

ELEVATIONS

A103

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REV. DATE

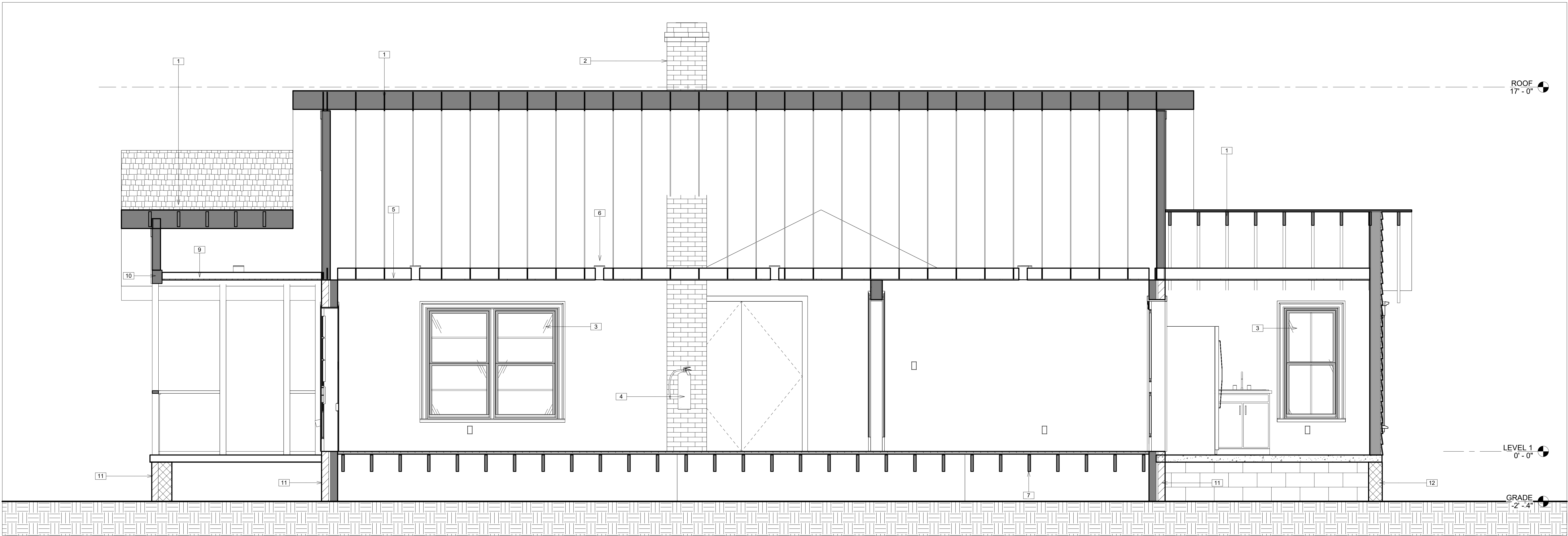
Project Status

DATE: 8 AUGUST 23

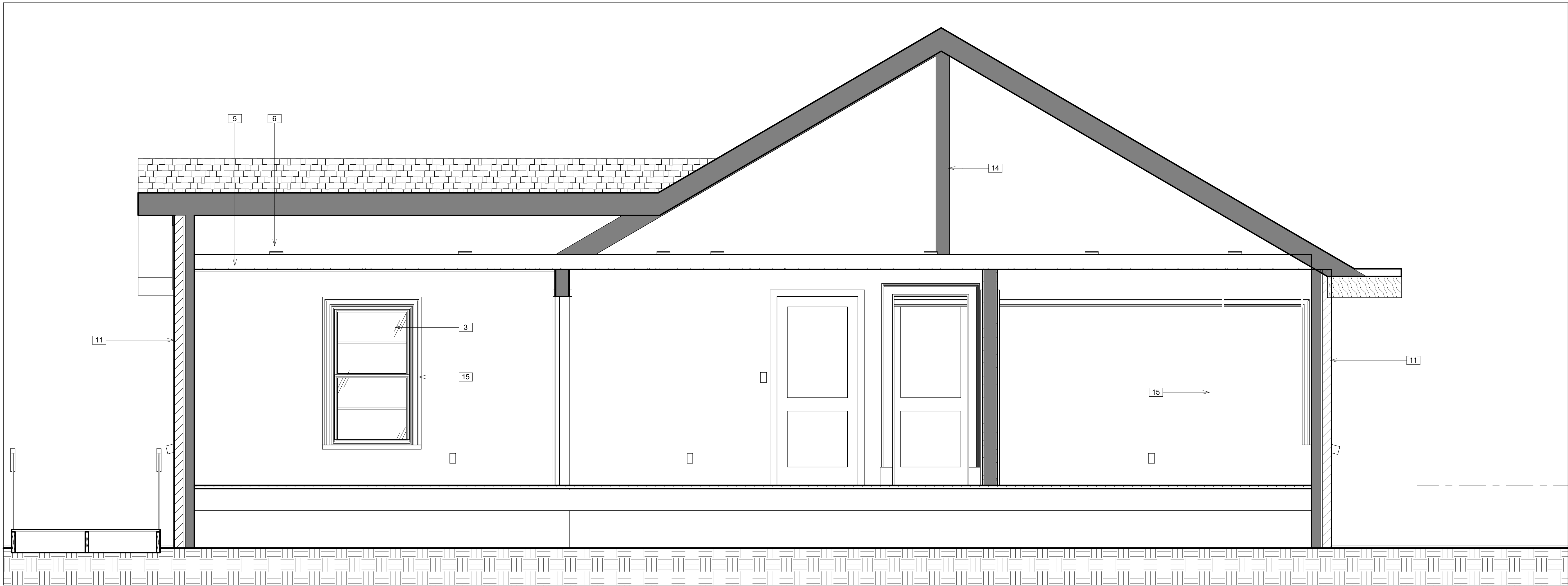
SECTIONS

A104

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1 LONGITUDINAL SECTION  
1/2" = 1'-0"



2 CROSS SECTION  
1/2" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
1	EXISTING ROOF TRUSS
2	EXISTING CHIMNEY
3	NEW WINDOWS AS PER SCHEDULE
4	FIRE EXTINGUISHER
5	GYPSUM BOARD CEILING
6	RECESSED LIGHT FIXTURES
7	EXISTING FLOOR JOIST
9	NEW T & G CEILING
10	6 X 8 BEAM
11	EXISTING BRICK
12	EXISTING CMU
14	NEW 2 X 6 KING POST
15	WINDOW TRIM AND SILL





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BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE  
REV. NO. REV. DATE


Project Status  
DATE: 8 AUGUST 23

PERSPECTIVE

A105

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① 3D View 1



WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

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RIDGELAND, SC 29936  
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PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:  
**ANDREW PIETZ REALTY ONE**

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

REV. NO. REV. DATE


Project Status  
DATE: 8 AUGUST 23

PERSPECTIVE

A106

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3D View 1 Copy 1



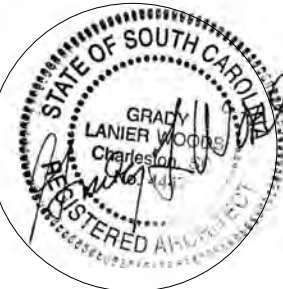


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1 HAYWOOD ST., Ste 421  
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PERMIT SET 24 MARCH 23

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DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE  
REV. NO. REV. DATE


Project Status  
DATE: 8 AUGUST 23

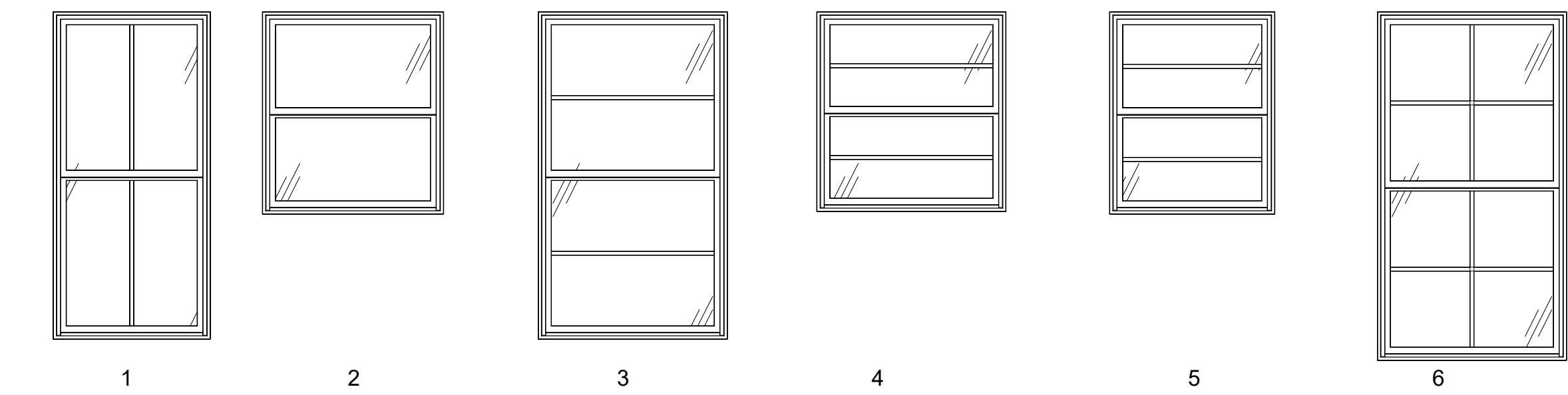
PERSPECTIVE

A107

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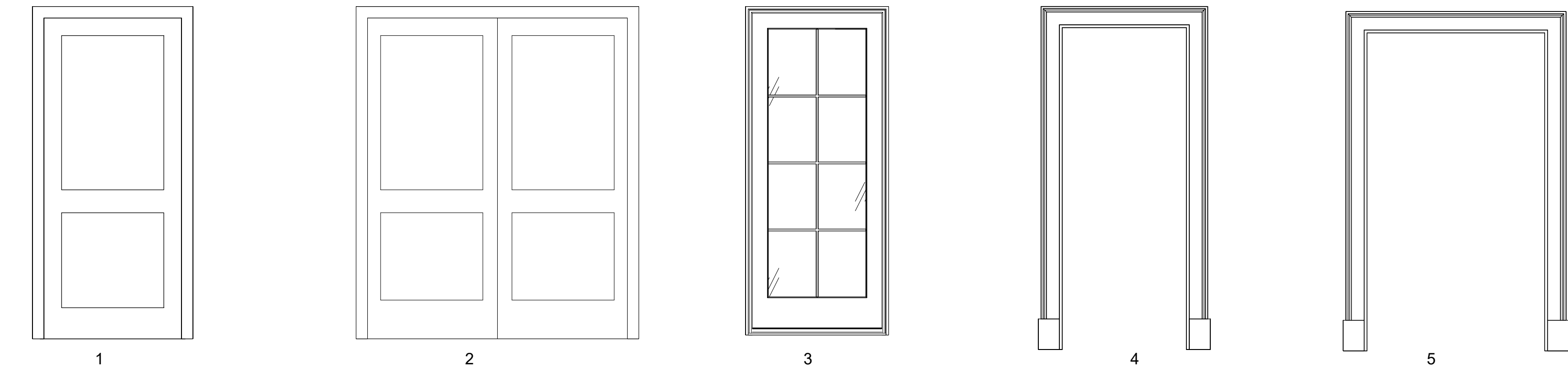






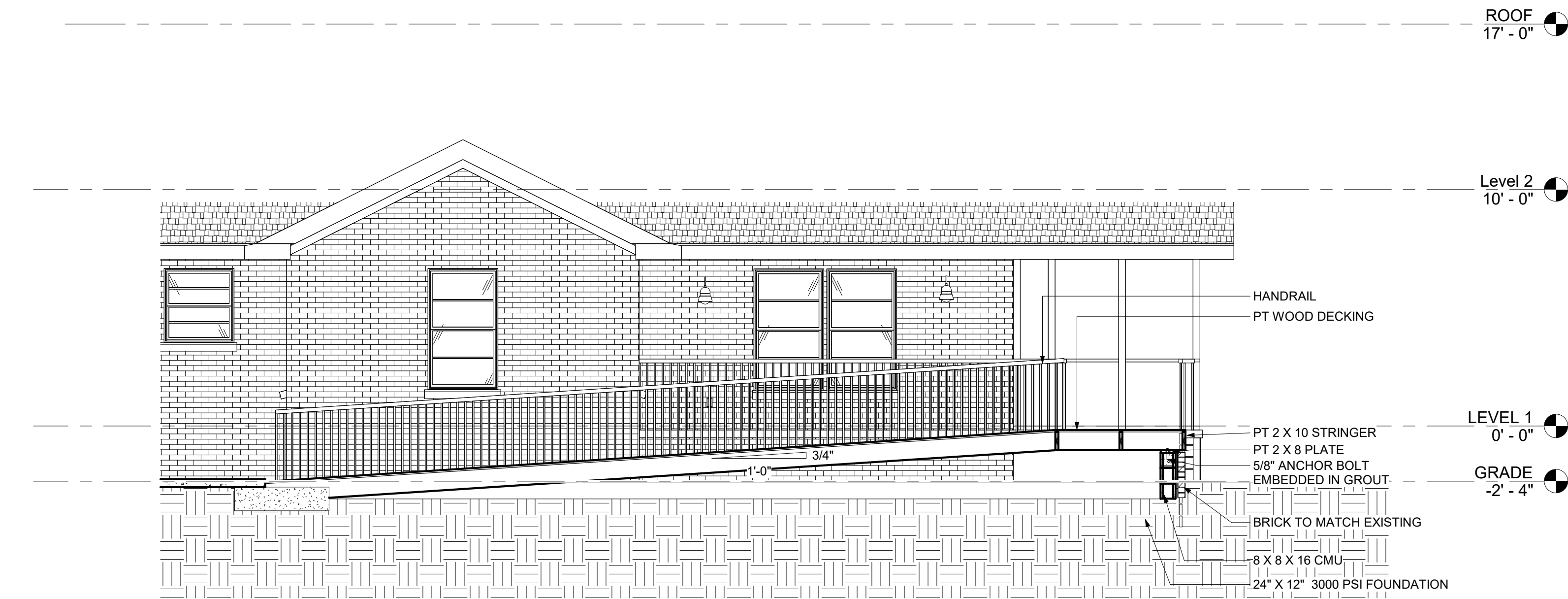
WINDOW SCHEDULE		
Mark	Width	Height
1	2' - 6"	5' - 2"
2	3' - 0"	5' - 2"
3	3' - 0"	5' - 2"
4	3' - 0"	3' - 2"
5	3' - 0"	3' - 2"
6	3' - 0"	5' - 6"

○ WINDOW  
1/2" = 1'-0"



DOOR SCHEDULE		
Mark	Width	Height
1	3' - 0"	7' - 0"
2	5' - 8"	7' - 0"
4	2' - 10"	7' - 1"
5	4' - 0"	7' - 0"
8	7' - 0"	7' - 0"
10	3' - 0"	6' - 8"

○ DOOR  
1/2" = 1'-0"



① RAMP SECTION  
1/4" = 1'-0"



Woods Dendy Architects, LLC

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PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

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**ANDREW PIETZ REALTY ONE**

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO.	
22044	
DRAWN BY: Author	CHECKED BY: Checker
REVISION SCHEDULE	
REV. NO.	REV. DATE
Project Status	
DATE: 8 AUGUST 23	

SCHEDULES

A108

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WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS  
893 GRAYS HIGHWAY  
RIDGELAND, SC 29936  
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421  
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:  
**ANDREW PIETZ REALTY ONE**

1268 MAY RIVER ROAD  
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

REV. NO. REV. DATE

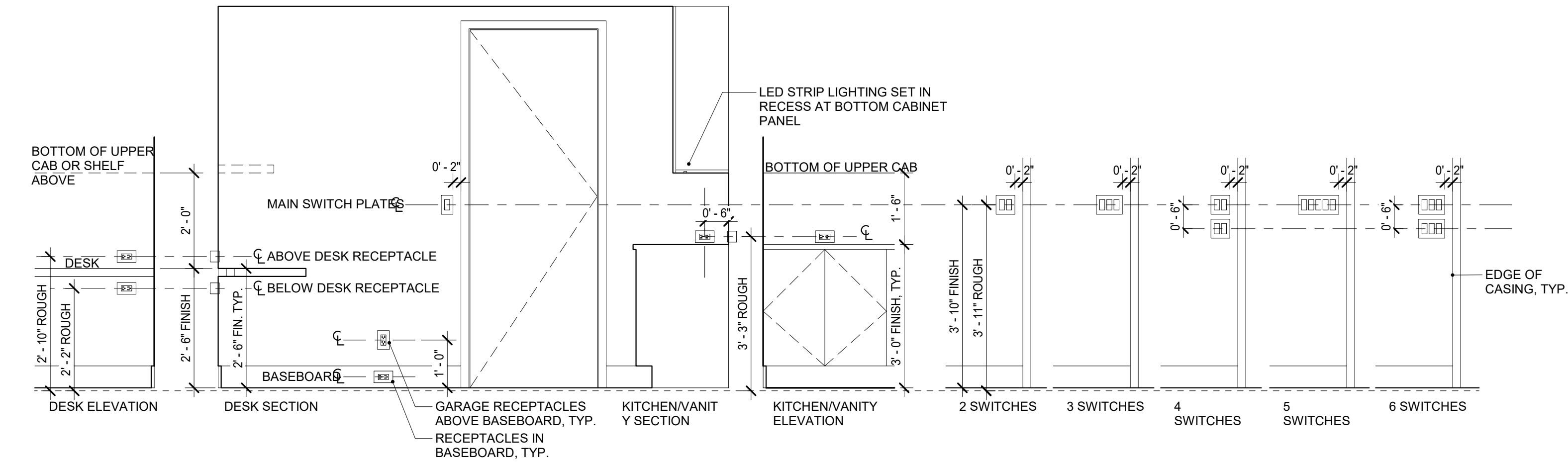
Project Status  
DATE: 8 AUGUST 23

PHOTOS

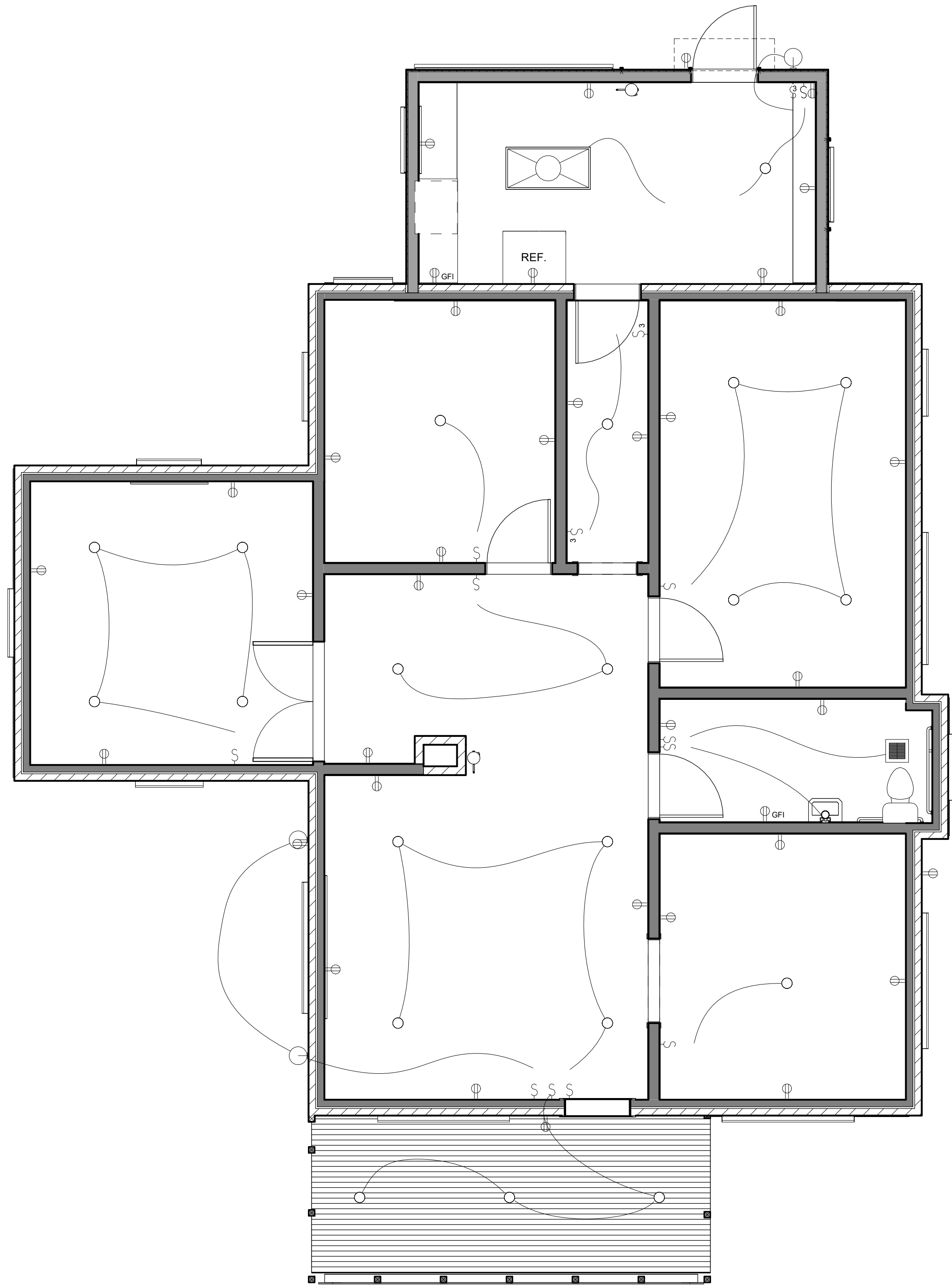
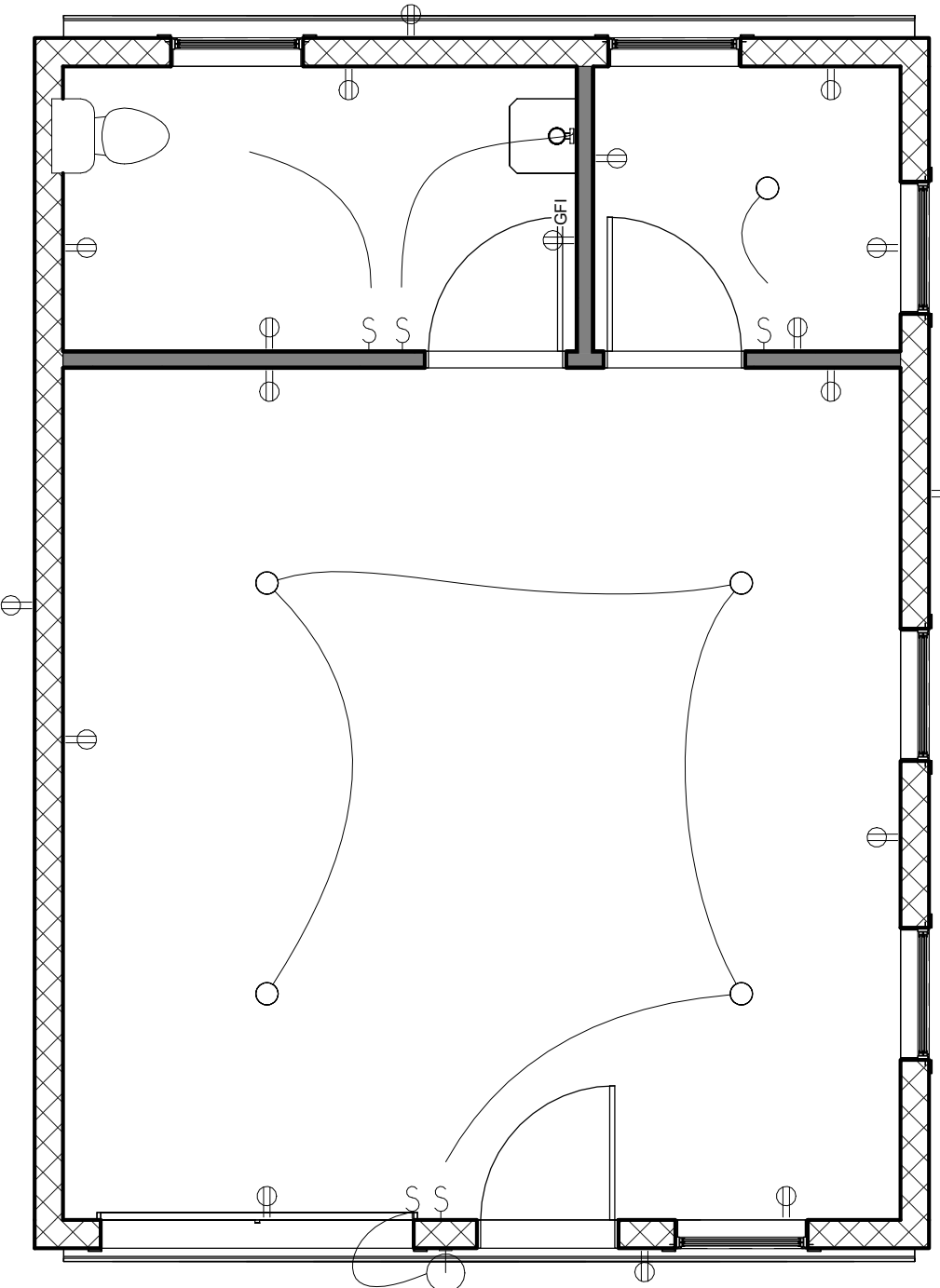
A109

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1 ELECTRICAL MOUNTING HEIGHTS  
1/2" = 1'-0"



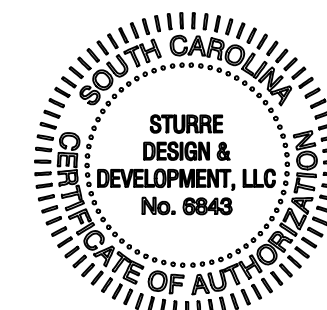
2 LEVEL 1 POWER & LIGHTING PLAN  
1/4" = 1'-0"

ELECTRICAL LEGEND

SWITCH - SINGLE POLE	CEILING FAN
SWITCH - THREE WAY	ALARM SYSTEM HORN
SWITCH - FOUR WAY	ALARM SYSTEM HORN / STROBE
SWITCH - WITH DIMMER	ALARM SYSTEM PULL STATION
SWITCH - FAN CONTROL	EMERGENCY BATTERY LIGHT
SWITCH - SPEAKER CONTROL	EXIT LIGHT
SWITCH - DOOR JAMB	"FANTECH" LIGHT/FAN FIXTURE
SWITCH - MOTION SENSOR	HARD-WIRED TOWEL WARMER
SWITCH - AIR SWITCH	TAPE LIGHTING
SWITCH - DIGITAL TIMER W/ OVERRIDE	PLUGMOLD
DOOR SWITCH	LOW-VOLTAGE CABLE LIGHTING
110V SINGLE RECEPTACLE	RECESSED TRACK LIGHTING
110V DUPLEX RECEPTACLE	JUNCTION BOX
110V DUPLEX RECEPTACLE COUNTER TOP HEIGHT	EXHAUST FAN
110V DUPLEX RECEPTACLE WITH USB CHARGER	EXHAUST FAN WITH LIGHT
110V DUPLEX RECEPTACLE - HALF SWITCHED	SMOKE DETECTOR
110V DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTOR	CARBON MONOXIDE DETECTOR
110V DUPLEX RECEPTACLE - FLOOR OUTLET	HEAT DETECTOR
110V DUPLEX RECEPTACLE - WATERPROOF	MOTION DETECTOR
110V QUADRIplex RECEPTACLE	TELEPHONE JACK
220V RECEPTACLE	COMPUTER/DATA COMMUNICATIONS JACK
RECESSED CLOCK RECEPTACLE	CATV JACK
DEDICATED REFRIGERATOR RECEPTACLE	THERMOSTAT
DEDICATED ICEMAKER RECEPTACLE	PUSHBUTTON
DEDICATED WINE COOLER RECEPTACLE	CEILING MOUNTED SPEAKER
DEDICATED DISHWASHER RECEPTACLE	LANDSCAPE SPEAKER
DEDICATED GARBAGE DISPOSAL RECEPTACLE	WALL MOUNTED SPEAKER
DEDICATED MICROWAVE RECEPTACLE	SOUND SYSTEM - CENTRAL CONTROL
110V DUPLEX RECEPTACLE: CEILING OUTLET	LOW VOLTAGE TRANSFORMER
CEILING MOUNTED LIGHT FIXTURE	PANELBOARD
WALL MOUNTED LIGHT FIXTURE	ALARM SYSTEM KEYPAD
RECESSED LIGHT FIXTURE	FIRE ALARM CONTROL PANEL
STEPPATH FIXTURE	GARAGE DOOR KEYPAD
UTILITY LIGHT	HOME AUTOMATION TOUCHPAD
	APPLIANCE OUTLET
	VERIFY VOLTAGE REQUIREMENTS
	AND APPLIANCE SPECIFIC OUTLET LOCATION

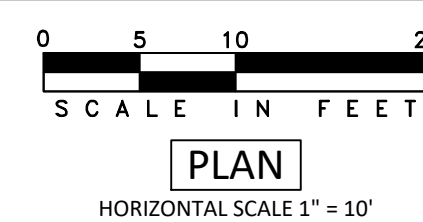
2 ELECTRICAL LEGEND  
1" = 1'-0"





PREPARED FOR:  
**MAY RIVER PROJECT,  
LLC**

PROJECT:  
**1268 MAY RIVER  
ROAD SITE  
IMPROVEMENTS**



REV #	DATE	DESCRIPTION
1	7/17/2023	ISSUED FOR CONSTRUCTION

DATE 07/17/2023

SHEET NAME

LANDSCAPE PLAN

SHEET NO.







# ATTACHMENT 4

## PLAN REVIEW COMMENTS FOR COFA-06-23-018141

Section X. Item #2.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 06/07/2023  
**Plan Status:** Active **Plan Address:** 1268 May River Road  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 00A 0147 0000  
**Plan Description:** A request by Shifting Tides, LLC on behalf of the owner, May River Project, LLC, for a review of a Certificate of Appropriateness - HD to renovate the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General- HD.

Status 6.12.23: The Application is slated to be on the July 3, 2023 HPRC agenda.

### Staff Review (HD)

Submission #: 1 Received: 06/07/2023 Completed: 06/30/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Watershed Management Review	06/20/2023	Samantha Crotty	Revisions Required

**Comments:**  
Pending Stormwater MS4 conditional approval.

Building Safety Review	06/07/2023	Richard Spruce	Revisions Required
------------------------	------------	----------------	--------------------

**Comments:**  
1. Handrails are required on both sides of the stairs.

Growth Management Dept Review (HD)	06/28/2023	Glen Umberger	Approved with Conditions
------------------------------------	------------	---------------	--------------------------

**Comments:**

Summary: 1268 May River Road, alternatively known as "Nathaniel Brown's Cottage," was designated by Town Council as a Contributing Resource to the Old Town Bluffton Historic District in 2008. These Contributing Resources are to be visible reminders of the history and cultural heritage of the Town of Bluffton as well as the lowcountry region in accordance with the Standards set forth in the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (UDO 3.18.1.B). Under the Standards, "rehabilitation" is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions, while preserving those portions or features which convey its historical, cultural, or architectural values." Since 1268 May River Road has been vacant for some time, and is not presently being used for its original purpose, rehabilitation is permitted to ensure it remains a "visual reminder of the history and cultural heritage of the Town." Further, rehabilitation "allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building." However, since "some exterior and interior alterations to a historic building are generally needed as part of a rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes (See Guidelines). Accordingly, a Certificate of Appropriateness-HD application is required for any alterations, additions, or renovations which must be done in a manner that is consistent with the Secretary of Interior's Standards and Guidelines (UDO 3.18.3.A.). Further, "the existing building's historic character and architecture" must be preserved (UDO 3.18.3.E.) and the HPC will consider "the historic, architectural, and aesthetic features of the [Contributing Resource] including the extent to which its alteration or removal would be detrimental to the public interest" (UDO 3.18.3.F.). While the narrative states that "front porch on the current plan is missing the middle support on this plan but will be added back to be more consistent with existing," the current drawings as submitted do not meet the Guidelines, which states that "[r]emoving or substantially changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished" (Guidelines, p. 110). As such, to meet this Guideline, the final drawings must be updated to ensure that the front porch, which is a character-defining feature of the Resource, is preserved.

Growth Management Dept Review (HD)	06/30/2023	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

**Comments:**

1. At time of final submittal, provide photograph documentation of the existing site. (Applications Manual)
2. At time of final submittal, ensure plans all reflect the materials and configurations intended for construction, including the changes currently listed in the Narrative.
3. At time of final submittal, provide additional information on the windows and doors, proposed for use to ensure compliance with the UDO.
4. Provide additional information indicating the locations where replacement material will need to be used to replace historic material (walls, trim, soffits, etc.). Highlighted areas on elevations may be adequate.

HPRC Review	06/30/2023	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

**Comments:**

1. At time of final submittal, provide all sections and details as required by the Applications Manual.

Beaufort Jasper Water and Sewer Review	06/30/2023	James Clardy	Approved
--	------------	--------------	----------

**Comments:**

No comment provided by Reviewer.

Transportation Department Review - HD	06/08/2023	Megan James	Approved
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**Comments:**

No comments

**Plan Review Case Notes:**

































































## MEMORANDUM

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TO: Historic Preservation Commissioners  
FROM: Town of Bluffton Growth Management Staff  
RE: Site Feature Permits from August 15, 2023 to September 15, 2023  
DATE: 10/4/2023

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**SUMMARY:** Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
5796 Guilford Place	Hanging Sign for Nelson Law Firm	Katie Peterson	Approved
1302 Promenade Street	Hanging Sign for Whip Salon	Katie Peterson	Approved
38 Boundary Street	Service Yard Fence	Glen Umberger	Approved