



Historic Preservation Commission

Wednesday, October 04, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

1. September 6, 2023 Minutes

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. ADJOURNMENT

IX. OLD BUSINESS

X. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owners, Matt and Dianne Donovan, for the approval of a Certificate of Appropriateness - HD for the construction of a new single-family residential Carriage House of approximately 1,056 SF, to be located at 12 Tabby Shell Road, Lot 24 in the Tabby Roads Development, in the Old Town

Bluffton Historic District and zoned Neighborhood General - HD. (COFA-06-23-018375) (Staff - Katie Peterson)

2. **Certificate of Appropriateness:** A request by Shifting Tides, LLC on behalf of the owner, May River Project, LLC, for a review of a Certificate of Appropriateness - HD to renovate the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General - HD. (COFA-06-23-018141) (Staff - Katie Peterson)

XI. DISCUSSION

1. Historic District Monthly Update. (Staff)

NEXT MEETING DATE: Wednesday, November 1, 2023

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment is limited to 3 minutes per speaker.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry “Emmett” McCracken Jr.
Council Chambers

Wednesday, September 06, 2023 at 6:00 PM

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Commissioner Kerri Schmelter
Chairman Evan Goodwin
Vice Chairwoman Carletha Frazier
Commissioner Debbie Wunder
Commissioner Joe DePauw

ABSENT

Commissioner Will Guenther
Commissioner Jim Hess

III. ADOPTION OF THE AGENDA

Commissioner Schmelter made a motion to adopt the agenda as written.

Seconded by Commissioner DePauw.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

IV. ADOPTION OF MINUTES

1. July 5, 2023 Minutes

Commissioner Schmelter made a motion to adopt the minutes as written.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

V. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VI. OLD BUSINESS

VII. NEW BUSINESS

- Certificate of Appropriateness:** A request by the Applicants, Ernie and Andrea Suozzi, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story single-family structure of approximately 2,295 SF, and Carriage House of approximately 803 SF, located at 7 Blue Crab Street, in the Old Town Bluffton Historic District, identified as Lot 24 of

the Tabby Roads development and zoned Neighborhood General-HD. (COFA-06-23-018105)
(Staff - Katie Peterson)

Commissioner DePauw recused himself. Staff presented. The applicant was in attendance. There was discussion about the centering of the front windows and the porch material detail.

Commissioner Schmelter made a motion to approve with following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. The foundation detail for the porch be updated to reflect the brick border and tabby finish reflected on the elevations.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder

All were in favor and the motion passed.

2. **Designation of a Contributing Resource:** A request by the owners, Eugene and Melanie Marks to recommend to Town Council to have the Contributing Resource, known as the Joiner House, located at 9 Bruin Road, within the Neighborhood Core-HD Zoning District be removed as a Contributing Resource from the Old Town Bluffton Historic District and to have the Contributing Resources Map amended accordingly. (DCR-06-23-018161)(Staff – Glen Umberger)

Commissioner DePauw returned to the dais. The applicant was present. Staff presented.

Public Comment

Joan Heyward, 95 Boundary Street - Ms. Heyward discussed her opinion on whether or not the structure should be on the contributing resource list.

Robert Jones, 22 Bridle Path Lane - Mr. Jones was in attendance on behalf of the Historic Bluffton Foundation. Mr. Jones discussed why he is against moving historic structures. He stated that the Foundation's opinion on this structure is that the structure should be removed from the list.

Mr. LaBruce, attorney for the Historic Preservation Commission, reviewed the procedure for how the meeting should continue and the Commissioners responsibilities.

Melanie and Eugene Marks, the applicant, reviewed the history of the project and what was being requested. They discussed what they were able to keep from the existing structure.

Staff reaffirmed that no historical records would be changed and that no precedent would be set based on the recommendation outcome.

Mr. LaBruce clarified points that were brought up including the difference between the UDO Administrator and the Chief Building Official. The Commission discussed their opinions on the structure, how to protect historic structures of Bluffton, and what the contributing structure list does for structures.

Vice Chairwoman Frazier made a motion to recommend to Town Council that the request to remove the Joiner House, 9 Bruin Rd, from the Contributing Resources Map, be denied.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier

Voting Nay: Commissioner Wunder, Commissioner DePauw

The vote to recommend denial of the applicant's request passed 3 - 2.

- 3. Public Project:** A request by Charles Savino, on behalf of The Town of Bluffton, for recommendation of approval of a Public Project to include improvements to the outdoor pavilion and passive recreation areas located at the existing Oyster Factory Park (55 Wharf Street) in the Town of Bluffton, SC, identified by Tax Map Numbers R610 039 00A 0191 0000, R610 039 00A 0190 0000, R610 039 00A 0165 0000, R610 039 00A 0262 000, and R610 039 00A 0261 0000. (DP-01-22-016299) (Staff - Katie Peterson)

Staff presented. The applicant was present. The Commission asked about the Bahama Limestone and sidewalk locations in relation to oak trees.

Commissioner Schmelter made a motion to recommend approval with the following suggestions for ensuring the existing trees were protected:

1. Ensuring the Bahama Limestone is not placed directly at the base of the live oak trees;
2. Field locating sidewalk to avoid as much disturbance to the surface roots as possible;
3. Hand digging piers to avoid roots.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and the motion passed.

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff presented the site features that were approved in the prior month.

IX. ADJOURNMENT

Commissioner Schmelter made a motion to adjourn.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Wunder, Commissioner DePauw

All were in favor and meeting was adjourned at 7:17pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	October 4, 2023
PROJECT:	12 Tabby Shell Road, Lot 8 – New Construction: Carriage House
APPLICANT:	Pearce Scott Architects
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Pearce Scott Architects, on behalf of the owners, Matt and Dianne Donovan, requests that the Historic Preservation Commission approve the following application:

- 1. COFA-08-23-018375.** A Certificate of Appropriateness to allow the construction of a new single-family residential Carriage House of approximately 1,056 SF, to be located at 12 Tabby Shell Road, Lot 24 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: On July 17, 2007 at a Special Meeting the Historic Preservation Commission approved the primary structure located at 12 Tabby Shell Road, and on October 3, 2018, a second Certificate of Appropriateness-HD was approved to allow the addition of approximately 155 SF to the existing rear porch.

The application subject to this report is a detached Carriage House of approximately 1,056 SF, located in the Old Town Bluffton Historic District. The structure has all attributes of the Carriage House building type and meets the placement requirements of the same within the Neighborhood General-HD zoning district.

The 2-story structure is under a hipped roof with a shed roof over the garage doors. It will contain two garage bays with living space above. The proposed materials include lap siding and asphalt shingle roof to match the approved primary structure and uses traditional water table and corner board details which also match the existing structure (Attachment 3).

This project was presented to the Historic Preservation Review Committee for conceptual review at the August 28, 2023 meeting and comments were provided to the Applicant (See Attachment 4).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The building has been designed to be sympathetic to the architectural character of the neighboring historic structures, so if the conditions of item 2 of this Section are met, their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction

proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed Carriage House adds to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the structure falls within the category of Carriage House Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C.
 - b. *Finding.* Town Staff finds that the proposed addition is in conformance with applicable provisions provided in Article 5.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. The Carriage House proposed reflects the character of the primary structure, surrounding area and is scaled appropriately.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction a new accessory structure in the Old Town Bluffton Historic District. If the conditions Section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic resources; therefore, the accessory structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

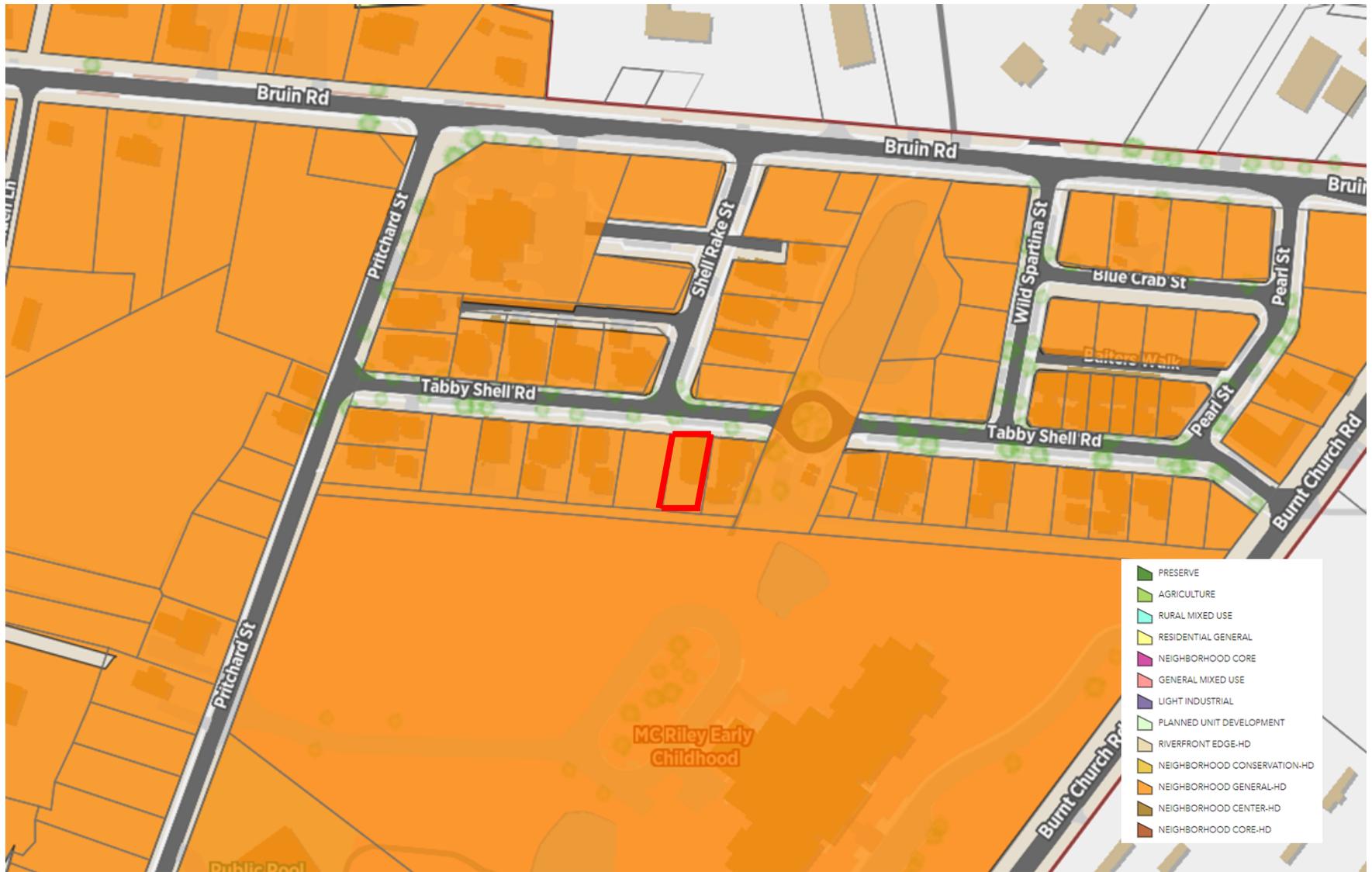
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff

finds that the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends the Historic Preservation Commission approve the application as submitted.

ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative
3. Site Plan & Elevations
4. HPRC Report
5. HARB Approval

ATTACHMENT 1 Location and Zoning Map, 12 Tabby Shell Road, Lot 8



ATTACHMENT 2



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Section X. Item #1.

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant	Property Owner
Name: Pearce Scott Architects	Name: Matt & Dianne Donovan
Phone: 843.837.5700	Phone: 703.672.1964
Mailing Address: 6 State of Mind Street, Ste. 200	Mailing Address: 12 Tabby Shell Road
E-mail: amanda@pscottarch.com	E-mail: mattdon1331@gmail.com
Town Business License # (if applicable):	
Project Information (tax map info available at http://www.townofbluffton.us/map/)	
Project Name: Donovan CH	Conceptual: <input type="checkbox"/> Final: <input checked="" type="checkbox"/> Amendment: <input type="checkbox"/>
Project Address: 12 Tabby Shell Road	Application for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation
Zoning District: NG-HD	
Acreage: 0.13	
Tax Map Number(s): R610 039 000 1188 0000	
Project Description: On behalf of the owner, we would like to submit a request to add a carriage house to the rear of the property.	
Minimum Requirements for Submittal	
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.	
Note: A Pre-Application Meeting is required prior to Application submittal.	
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.	
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.	
Property Owner Signature: <i>Matt Donovan</i>	Date: 9/6/2023
Applicant Signature: <i>Amanda J. Denmark</i>	Date: 09/06/23
For Office Use	
Application Number: COFA - 08 - 23 - 018375	Date Received: 09/07/23
Received By: <i>[Signature]</i>	Date Approved:

ATTACHMENT 2

Section X. Item #1.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2

Section X. Item #1.

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Accessory Structure					
Building Setbacks	Front: 5'	Rear: 10'	Rt. Side: 7.5	Lt. Side: 7.5	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage	Proposed Square Footage	
Main Structure			1666 footprint		
Ancillary	528			528	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			2194		
Impervious Drive, Walks & Paths			200		
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE			2394		
B. TOTAL SF OF LOT			5604		
% COVERAGE OF LOT (A/B= %)			42.7		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation	
Foundation	Slab		Columns	Wood	
Walls	Hardie - match existing		Windows	Clad	
Roof	Shingle - match existing		Doors	Wood	
Chimney	N/A		Shutters	Wood	
Trim	Hardie / wood - match existing		Skirting/Underpinning	N/A	
Water table	Hardie / wood - match existing		Cornice, Soffit, Frieze	Hardie / wood - match existing	
Corner board	Hardie - Match existing		Gutters	N/A	
Railings	Wood		Garage Doors	Metal	
Balusters	Wood		Green/Recycled Materials	N/A	
Handrails	Wood				



ATTACHMENT 2

Section X. Item #1.

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2

Section X. Item #1.

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Matthew Donovan

9/6/2023

Signature of Property Owner or Authorized Agent

Date

Matthew Donovan

Printed Name of Property Owner or Authorized Agent

Amanda J Denmark

Signature of Applicant

09/06/23

Date

AMANDA J. DENMARK

Printed Name of Applicant



September 06, 2023

12 Tabby Shell Road

Narrative

On behalf of the owners Matt & Dianne Donovan, we would like to propose adding a Carriage House to their property in the Tabby Roads Neighborhood. Currently a Main house exists. The carriage house would be in the rear of the property and be accessed by the alley.

The structure will have an unheated 528 SF (2) car garage below and a 528 SF heated space above. There will be an exterior stair. The new brick landing / walk will tie into and match the existing brick walk.

Tabby Roads ARB requires a service yard fence to be put around the existing HVAC units to the main house. The Service yard will match the CH service yard. The outline / location is shown on the site plan. The service yards are gravel.

All details and materials are to match the Existing Main house.

The existing shed in the rear of the property will be removed.

Tabby Roads ARB has reviewed the plans from 08.31.23 and provided comments 09.07.23. We have incorporated those conditions into the Final COFA submittal.

We look forward to your comments.

Thank you,

Amanda Denmark
Project Manager

ATTACHMENT 2

Section X. Item #1.



Rear View from Alley



Front of Existing Main House

PEARCE SCOTT ARCHITECTS | 843.837.5700
14 Promenade St. Suite 303 Bluffton, SC 29910
pearce@pscottarch.com | pscottarch.com



Existing Rear Yard



Existing Walk



ALL MATERIALS, DETAILS &
COLORS TO MATCH EXISTING
MAIN HOUSE





Side of House



Rear of House



Donovan Carriage House

Lot 8, 12 Tabby Shell Road Bluffton, SC

GENERAL NOTES:

1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
7. Contractor to provide a job sign in accordance with the neighborhood/development regulations.
8. The site is to be kept clean at all times for the duration of the project.
9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
10. The design documents are to be used for design intent and in coordination with supplemental engineering documents.
11. All walls are dimensioned to the face of stud or masonry unless noted otherwise.
12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	08.10.23	AJD
	HPC CONCEPTUAL SUBMITTAL	09.07.23	AJD

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NEW RESIDENCE FOR:
 DONOVAN CARRIAGE HOUSE
 LOT 8, 12 TABBY SHELL ROAD
 OLD TOWN
 BLUFFTON, SC 29910

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6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

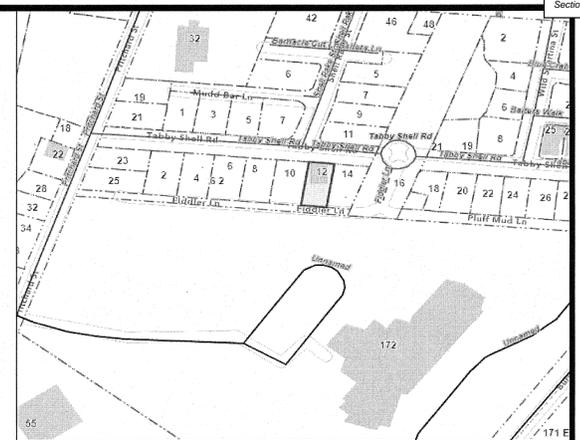
NOT FOR CONSTRUCTION

PROJECT NO.	NO. 2345
DATE	08/31/23
DRAWN BY	AJD
CHECKED BY	AWB

COVER SHEET & DWG INDEX

SHEET NO.
CVR
 24X36 PAPER SIZE

DRAWING INDEX		PROJECT TEAM	PROJECT INFORMATION		
CVR	COVER SHEET & DRAWING INDEX	ARCHITECT: Pearce Scott Architects H. Pearce Scott, AIA 6 State of Mind, Suite 200 Bluffton, SC 29910 P: 843.837.5700 C: 843.816.6067 E: pearce@pscottarch.com LANDSCAPE ARCHITECT: GENERAL CONTRACTOR: STRUCTURAL ENGINEER:	AREA CALCULATIONS: (AJD - 08.10.23)		
	SURVEY		FIRST FLOOR HEATED 528 GARAGE UNHEATED 528 GROSS TOTAL 1,056	PROJECT ANALYSIS: (AJD - 08.10.23)	
A001	SITE PLAN		REGULATING DISTRICT: NEIGHBORHOOD GENERAL - HD BUILDING TYPE: ACCESSORY STRUCTURE	FRONT BUILD TO LINE: 6' REAR SETBACK: 25' RIGHT SETBACK: 7'-6" LEFT SETBACK: 7'-6"	
A101	CH PLANS		DRIVEWAY ACCESS: ALLEY MAX BUILDING FOOTPRINT: 800 ACTUAL FOOT PRINT: 528		
A201	CH ELEVATIONS				
A301	CH SECTIONS & SCHEDULES				
A401	CH DETAILS				



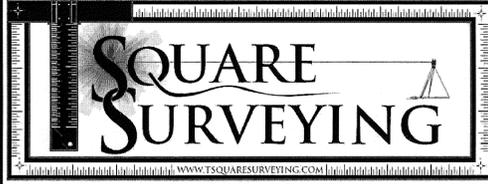
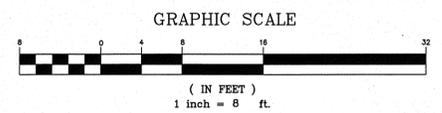
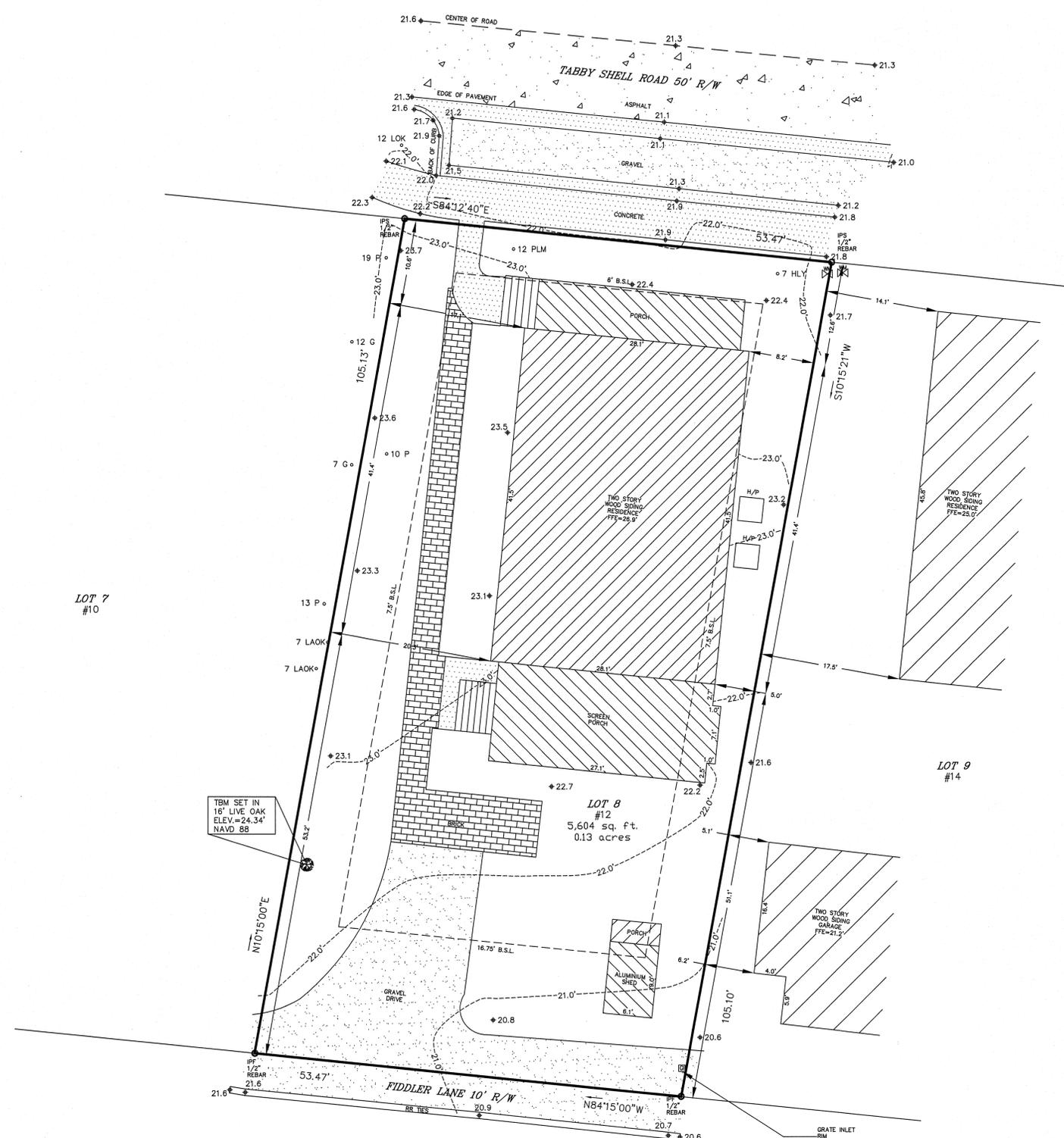
LOCATION MAP NOT TO SCALE

LEGEND

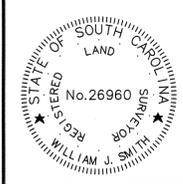
- ◻ CMS - CONCRETE MONUMENT SET
- ◻ CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
- ⊙ - SEWER LATERAL
- ⊙ - SANITARY SEWER MANHOLE
- ⊙ - ELECTRIC BOX
- ⊙ - SPOT ELEVATION SHOTS
- ~ 12' - CONTOUR LINES
- ⊙ - XFMR - TRANSFORMER
- ⊙ - WATER LATERAL
- ⊙ - WATER METER
- ⊙ - IRRIGATION CONTROL VALVE
- ⊙ - FIRE HYDRANT
- ⊙ - GRATE INLET
- ⊙ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊙ - GUY LINE
- ⊙ - LIGHT POLE
- ⊙ - STORM DRAIN MANHOLE
- ⊙ - FIBEROPTICS MANHOLE

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLY - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

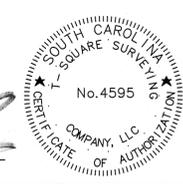


T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.D. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@earthlink.net
 Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

William J. Smith
 WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

MATTHEW DONOVAN & DIANNE DONOVAN

AN AS-BUILT TREE & TOPOGRAPHIC SURVEY OF LOT 8 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCEL 1188

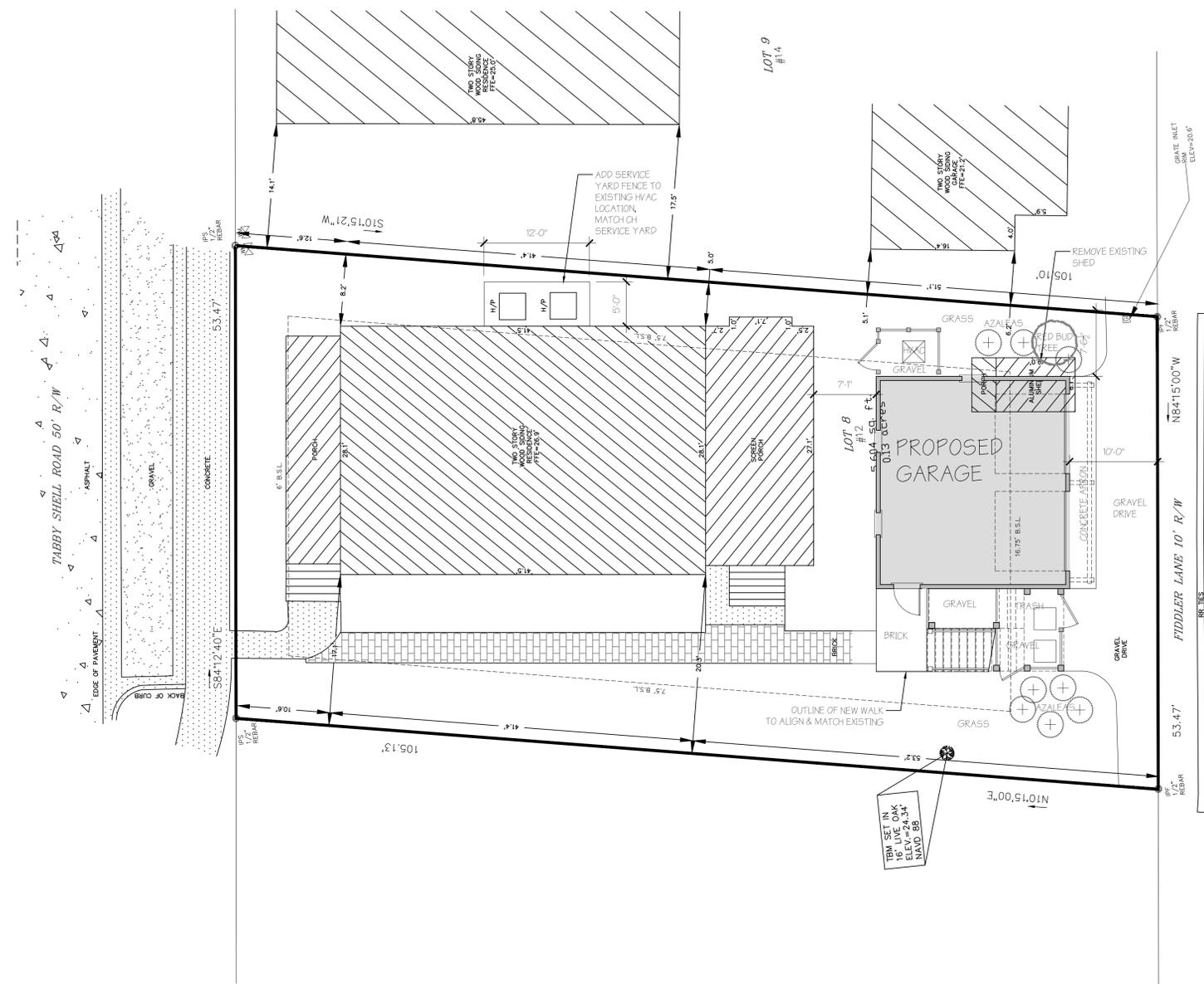
NOTES:
 1. According To FEMA Flood Insurance Rate Map # 45019C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88.
 2. This Property May Be Subject To Easements, Protective Covenants and Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 Reference Plats:
 PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JUNE 30, 2023



- SITE NOTES:**
1. VERIFY FINISHED GRADES W/ LANDSCAPE ARCHITECT.
 2. VERIFY LOCATION OF GAS, CABLE, POWER AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
 3. VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.
 4. REFER TO STAKING PLAN FOR BUILDING LOCATION DIMENSIONS.
 5. REFER TO LANDSCAPE PLANS FOR TREES TO BE REMOVED, TREE PROTECTION, SILT FENCING LOCATIONS, DETAILS, & MOBILIZATION.
 6. ALL HARDSCAPE / PAVING, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT.
 7. CONTRACTOR TO COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.
- ✗ TREES TO BE REMOVED (COORDINATE W/ LANDSCAPE PLAN)

DO NOT SCALE FROM DRAWINGS

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	HPC CONCEPTUAL SUBMITTAL	08.10.23	AJD

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 OLD TOWN
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

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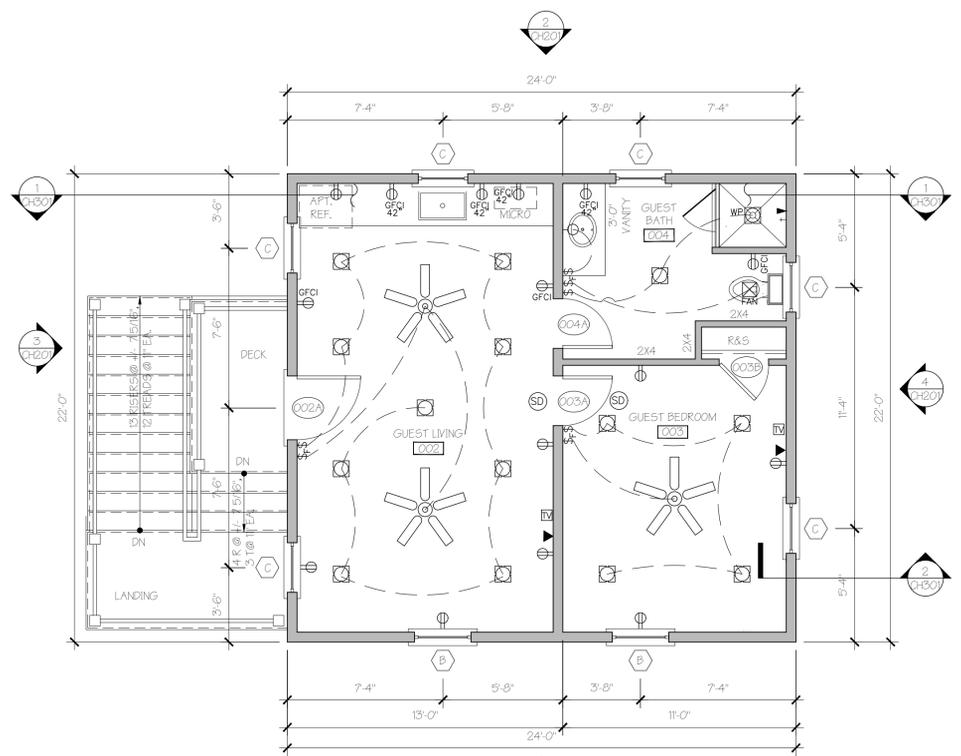
PROJECT NO.	NO. 2345
DATE	08/31/23
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CHECKED BY	AWB

SITE PLAN

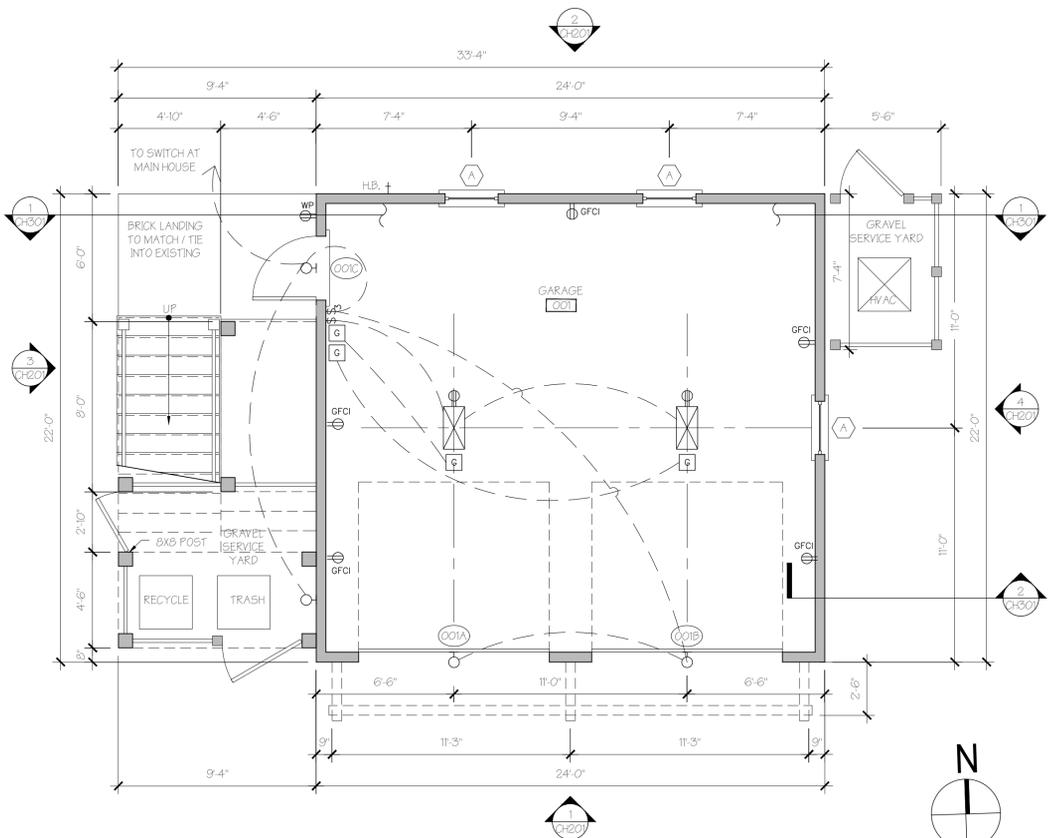
SHEET NO.
A001
 24X36 PAPER SIZE



1 1/8" = 1'-0"
 SITE PLAN



3 1/4" = 1'-0"
SECOND FLOOR & ELECTRICAL PLAN



1 1/4" = 1'-0"
FLOOR & ELECTRICAL PLAN

LEGEND
 R&S: ROD AND SHELF
 H.B.: HOSE BIB LOCATION TO BE CONFIRMED BY OWNER
 2X4: 2X4 STUD WALLS
 C: CENTER LINE

GENERAL NOTES
 A. ALL INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
 B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD UNLESS OTHERWISE NOTED.
 C. ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
 D. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED.
 E. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
 F. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED.

AREA CALCULATIONS
 CARRIAGE HOUSE:
 FIRST FLOOR UNHEATED 528
 SECOND FLOOR HEATED 528
 OVERALL TOTAL 1,056

- ELECTRICAL LEGEND
- DUPLEX OUTLET
 - 220V OUTLET
 - GROUND FAULT CIRCUIT INTERRUPTER
 - WEATHER-PROOF OUTLET
 - RECESSED CAN LIGHT
 - WALL FIXTURE
 - WATER PROOF RECESSED FIXTURE
 - SWITCH
 - THREE-WAY SWITCH
 - FAN SWITCH
 - SMOKE DETECTOR
 - CABLE T.V. JACK
 - TELEPHONE JACK / DATA
 - GARAGE DOOR OPENER
 - EXHAUST FAN
 - CEILING FAN

GENERAL ELECTRICAL PLAN NOTES:
 1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
 2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH SECTION R203 (SMOKE ALARMS) OF THE INTERNATIONAL RESIDENTIAL CODE.
 3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.
 4. COORDINATE LANDSCAPE LIGHTS AND GAS LAMP POST LOCATIONS W/ LANDSCAPE ARCHITECT.

NOTES:
 1. ARCHITECTURAL FOUNDATION FOR EXTERIOR DIMENSIONS & LEVEL CHANGES ONLY. REFER TO STRUCTURAL FOR ALL OTHER INFORMATION.
 2. LEVEL CHANGES INDICATE TOP OF SLAB STEP UPS ONLY--SEE SECTIONS & DETAILS FOR INTENDED FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 3. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 4. REFER TO STRUCTURAL FOUNDATION PLAN FOR CONTROL JOINT LOCATIONS AND FOOTING SIZES AND DETAILS.

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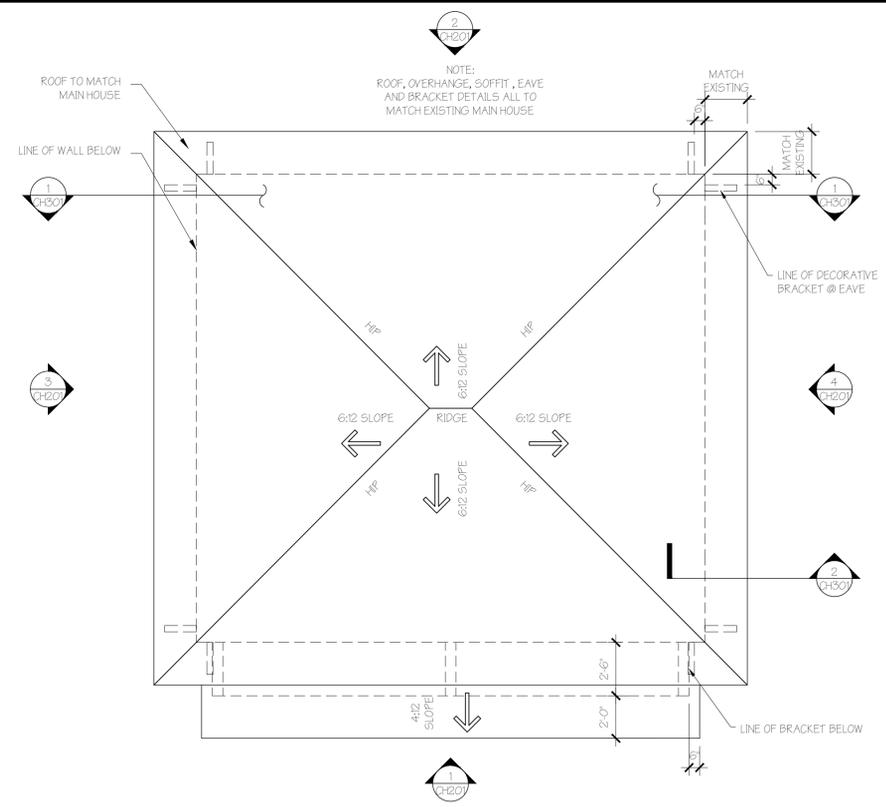
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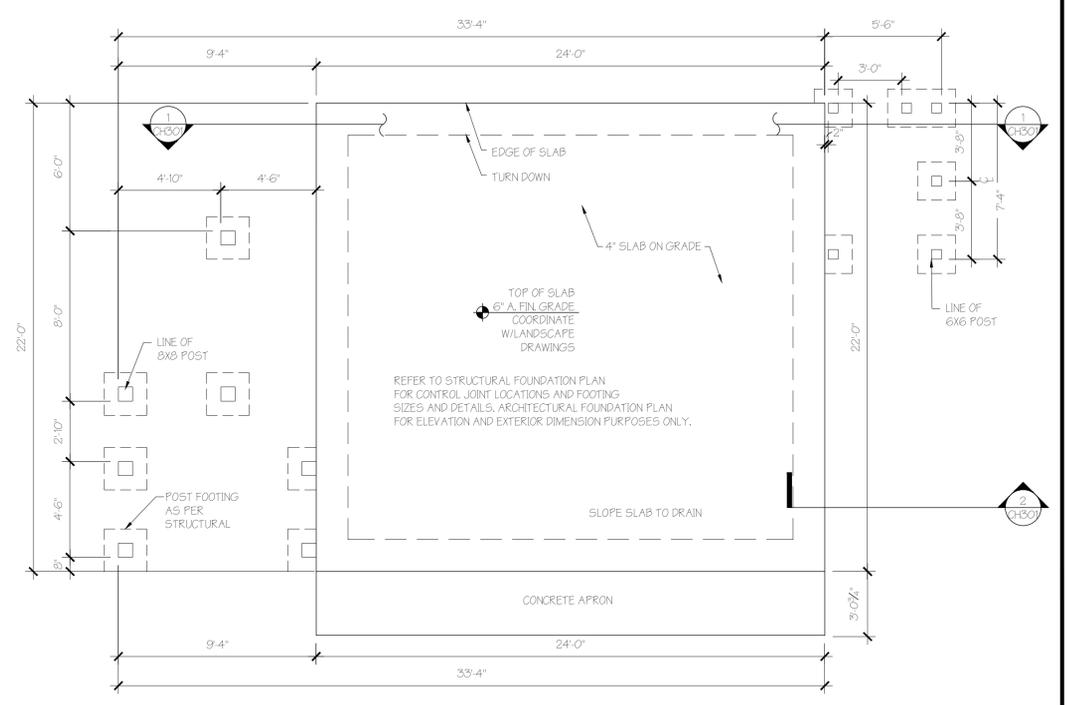
CH PLANS

SHEET NO.
CH101

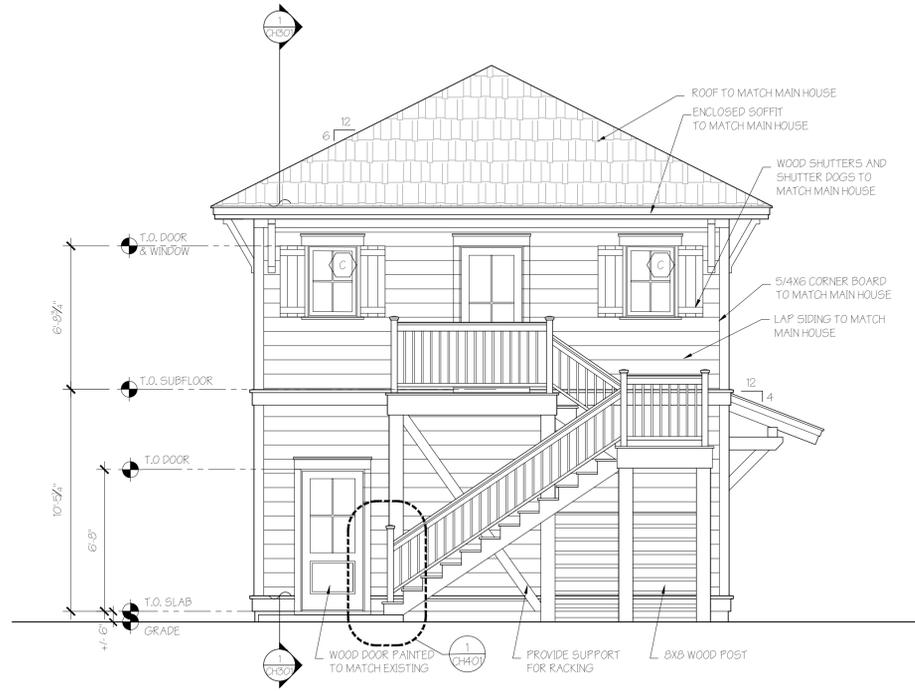
24X36 PAPER SIZE



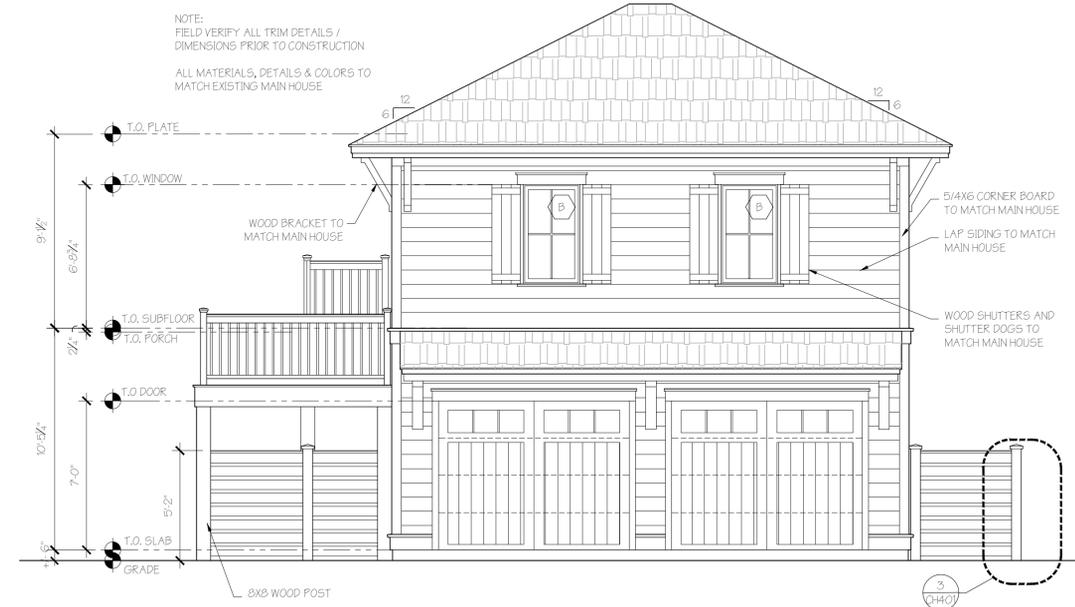
4 1/4" = 1'-0"
ROOF PLAN



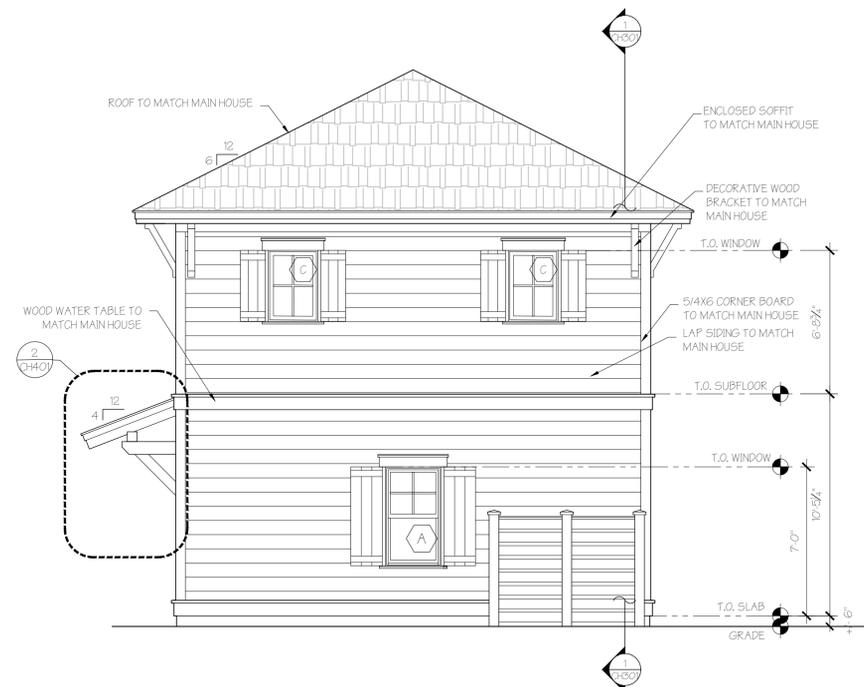
2 1/4" = 1'-0"
ARCH. FOUNDATION PLAN



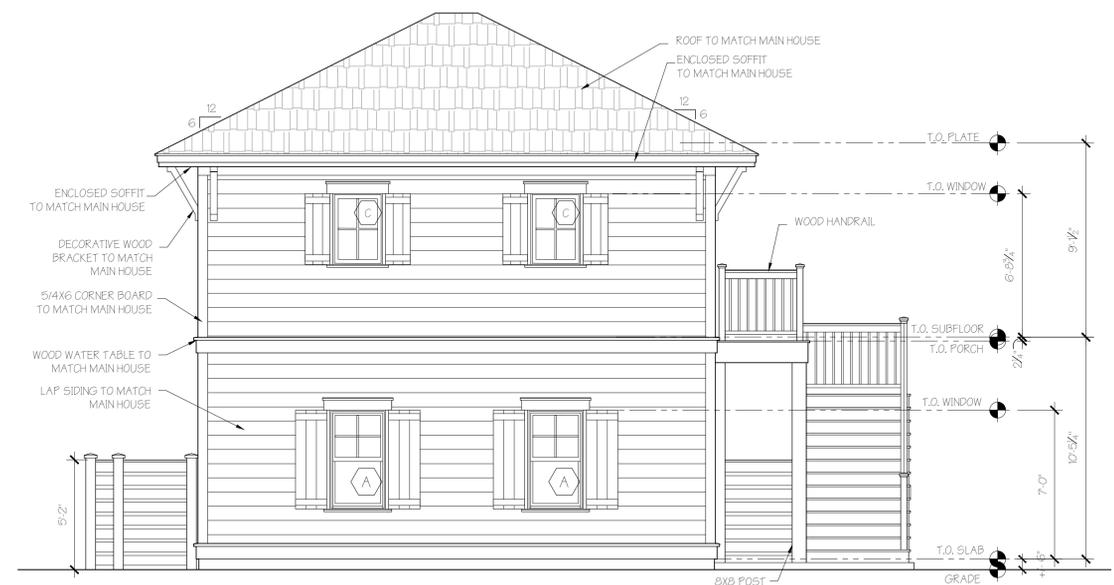
3 1/4" = 1'-0"
RIGHT ELEVATION



1 1/4" = 1'-0"
REAR ELEVATION



4 1/4" = 1'-0"
LEFT ELEVATION



2 1/4" = 1'-0"
FRONT ELEVATION

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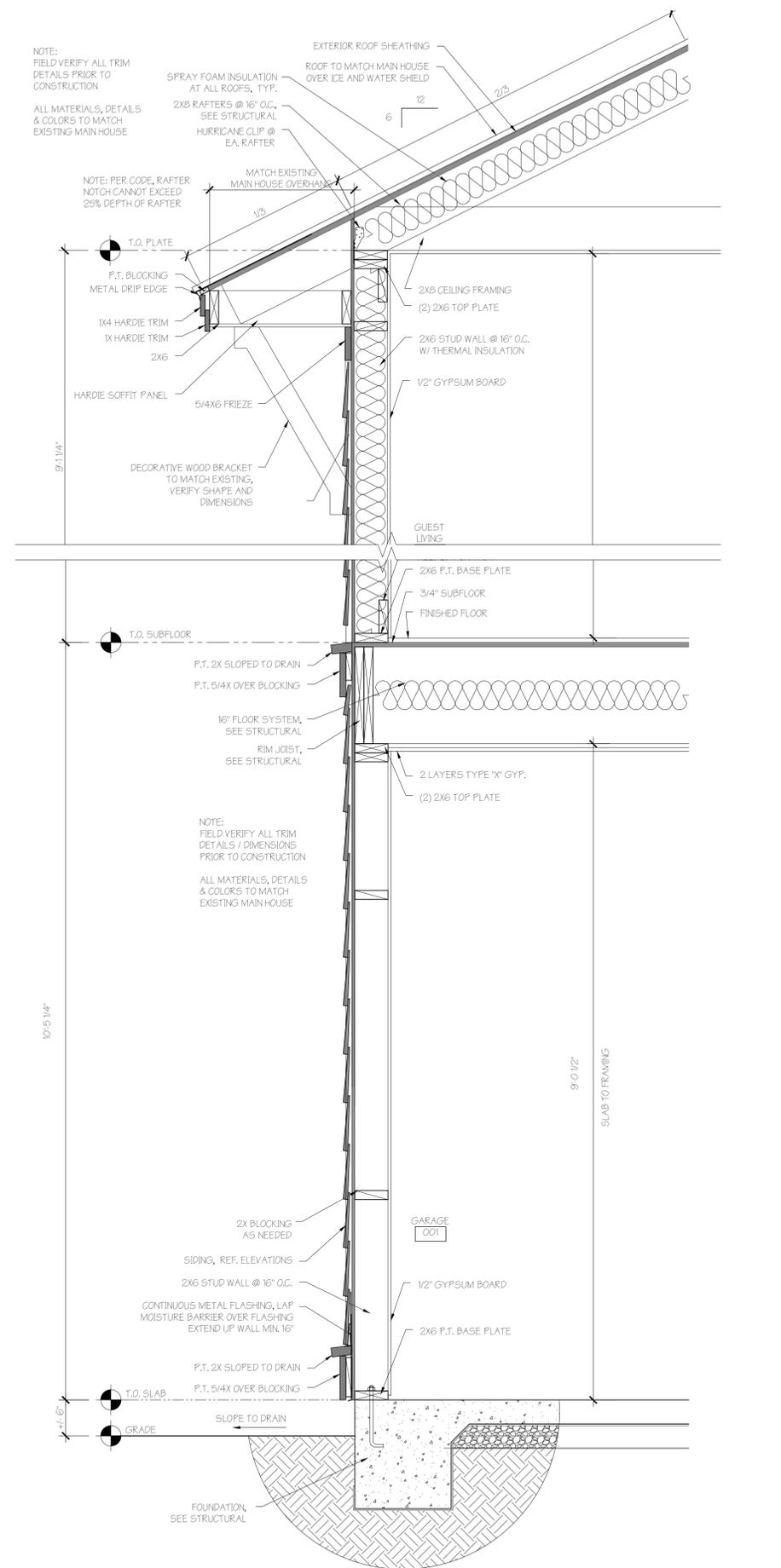
6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
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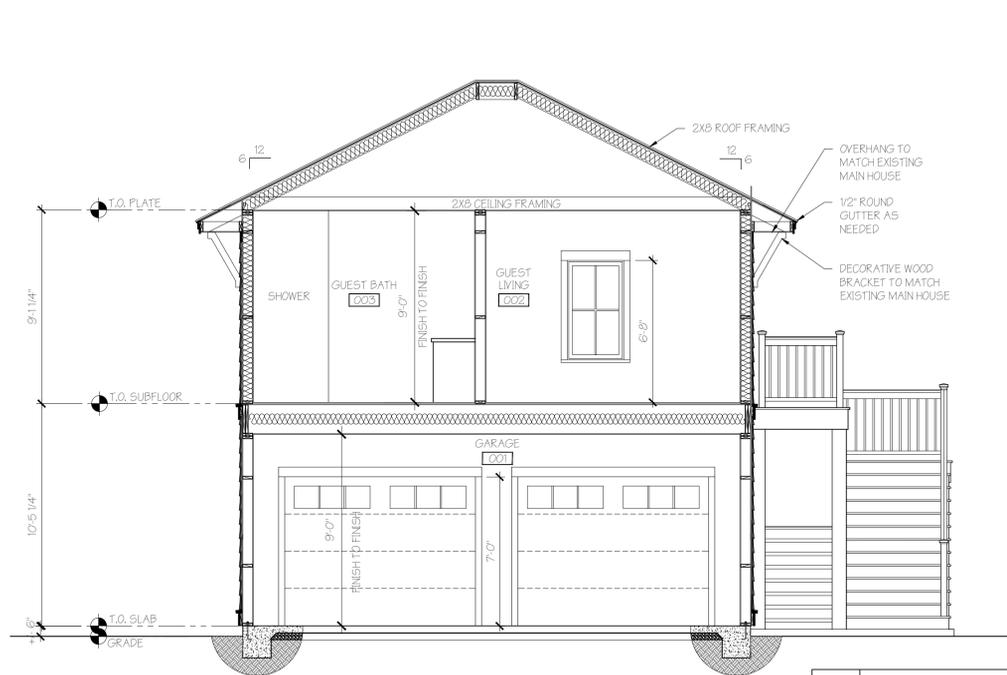
PROJECT NO.	NO. 2345
DATE	08/31/23
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CH ELEVATIONS

SHEET NO.
CH201
24X36 PAPER SIZE



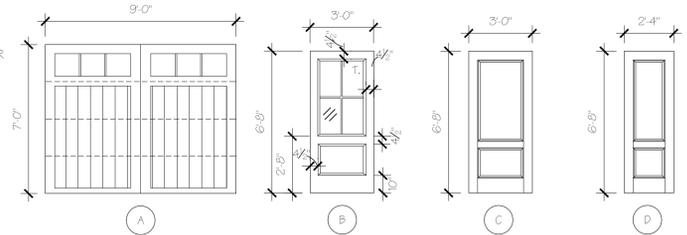
2 1" = 1'-0" WALL SECTION



1 1/4" = 1'-0" BUILDING SECTION

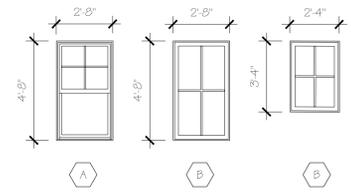
DOOR	ROOM NAME	TYPE	DESCRIPTION	NOMINAL DOOR SIZE	DETAILS			REMARKS
					HEAD	JAMB	SILL	
001A	GARAGE	A	OVERHEAD METAL DOOR - TBD BY BUILDER	9'-0" X 7'-0"	4/CH401	5/CH401		HEAD & JAMB TO MATCH MAIN HOUSE - 6 LITE, 2 PANEL (4 LITE)
001B	GARAGE	A	OVERHEAD METAL DOOR - TBD BY BUILDER	9'-0" X 7'-0"	4/CH401	5/CH401		HEAD & JAMB TO MATCH MAIN HOUSE - 6 LITE, 2 PANEL (4 LITE)
001C	GARAGE	B	EXTERIOR INSWING WOOD DOOR	3'-0" X 6'-8"				HEAD & JAMB TO MATCH MAIN HOUSE - 4 LITE, 1 PANEL (4 lite)
002A	GUEST LIVING	B	EXTERIOR INSWING WOOD DOOR	3'-0" X 6'-8"	4/CH401	5/CH401	6/CH401	HEAD & JAMB TO MATCH MAIN HOUSE - 4 LITE, 1 PANEL (4 lite)
003A	GUEST BEDROOM	C	INTERIOR MDF POCKET DOOR	3'-0" X 6'-8"				
003B	GUEST BEDROOM	D	INTERIOR MDF POCKET DOOR	2'-4" X 6'-8"				
004A	BATH	D	INTERIOR MDF POCKET DOOR	2'-4" X 6'-8"				

- NOTES:
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
 - PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE. SEE DOOR ELEVATIONS FOR LOCATIONS OF TEMPERED GLAZING IN DOORS.
 - DOOR STYLE TO BE SELECTED BY OWNER/CONTRACTOR.



WINDOW TYPE	MODEL NO.	NOMINAL FRAME SIZE	MANUF.	LITE CONFIG.	DESCRIPTION	DETAILS			REMARKS
						HEAD	SILL	JAMB	
A	ELDH3256	2'-8" X 4'-8"	MARVIN ELEVATE	4 OVER 1	DOUBLE HUNG	4/CH401	4/CH401	5/CH401	HEAD, JAMB, SILL TO MATCH MAIN HOUSE
B*	ELCA3355 E	2'-8" X 4'-8"	MARVIN ELEVATE	4 LITE	CASEMENT	4/CH401	4/CH401	5/CH401	HEAD, JAMB, SILL TO MATCH MAIN HOUSE
C	ELCA2943 E	2'-4" X 3'-4"	MARVIN ELEVATE	4 LITE	CASEMENT	4/CH401	4/CH401	5/CH401	HEAD, JAMB, SILL TO MATCH MAIN HOUSE

- NOTES:
- WINDOWS BASED OFF OF WINDOW LEGEND SERIES OR EQUAL. ALL TO BE IMPACT RESISTANT DOUBLE HUNG OR CASEMENT WINDOWS. ALL WINDOWS & DOORS TO HAVE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLs).
 - PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
 - REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQUIREMENTS.
 - * VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.



NOTE: VERIFY ALL SIZES, DIMENSIONS AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER

3 1/4" = 1'-0" DOOR & WINDOW SCHEDULES

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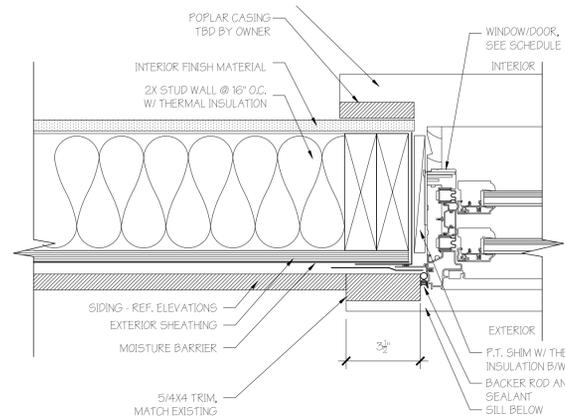
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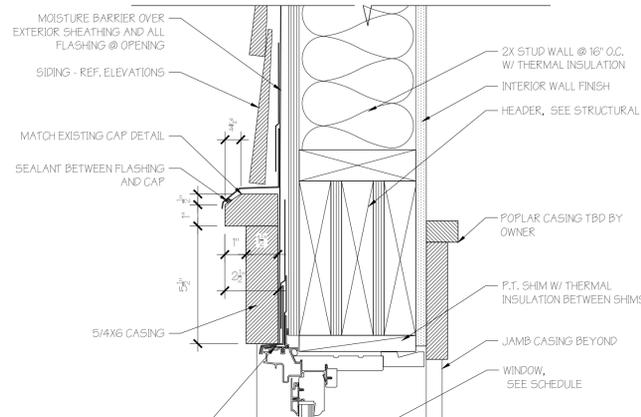
NOT FOR CONSTRUCTION

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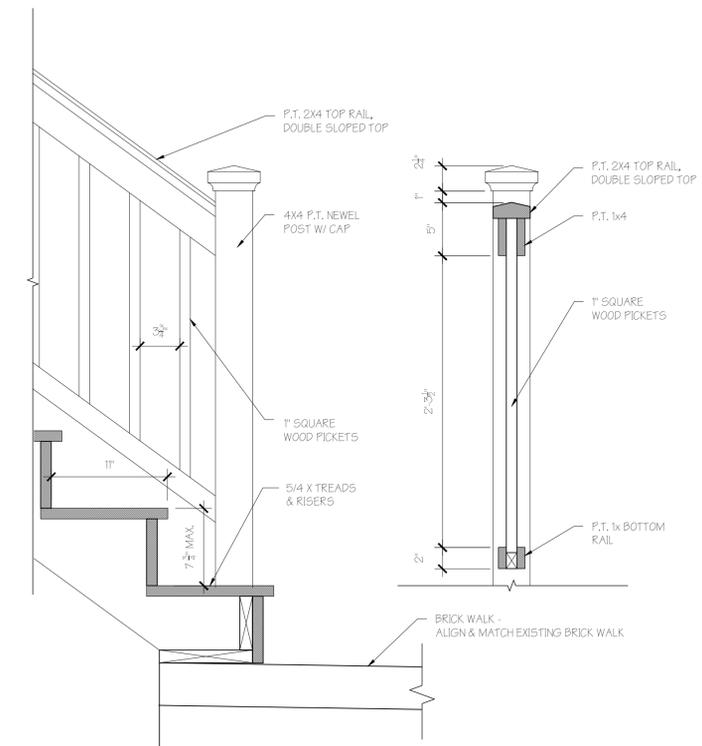
CH SECTIONS & SCHEDULE
SHEET NO.
CH301
24X36 PAPER SIZE



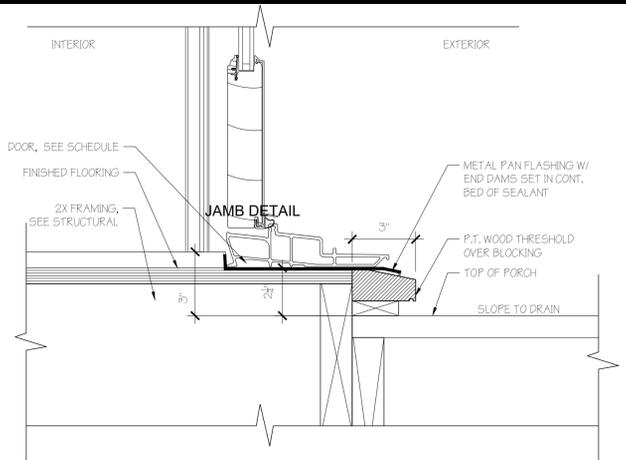
5 3" = 1'-0"
WINDOW / DOOR JAMB DETAIL



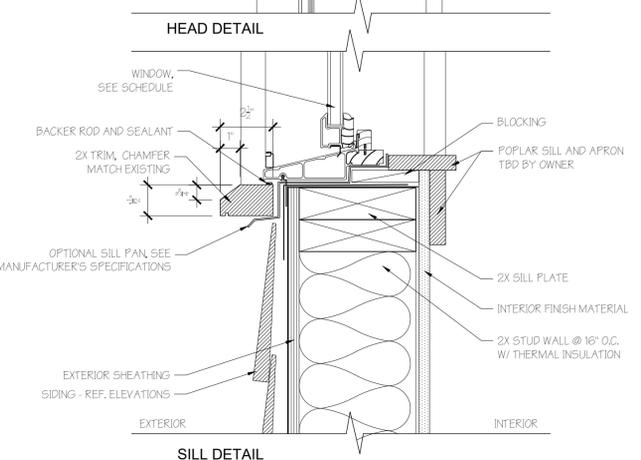
4 3" = 1'-0"
WINDOW / DOOR HEAD / SILL DETAIL



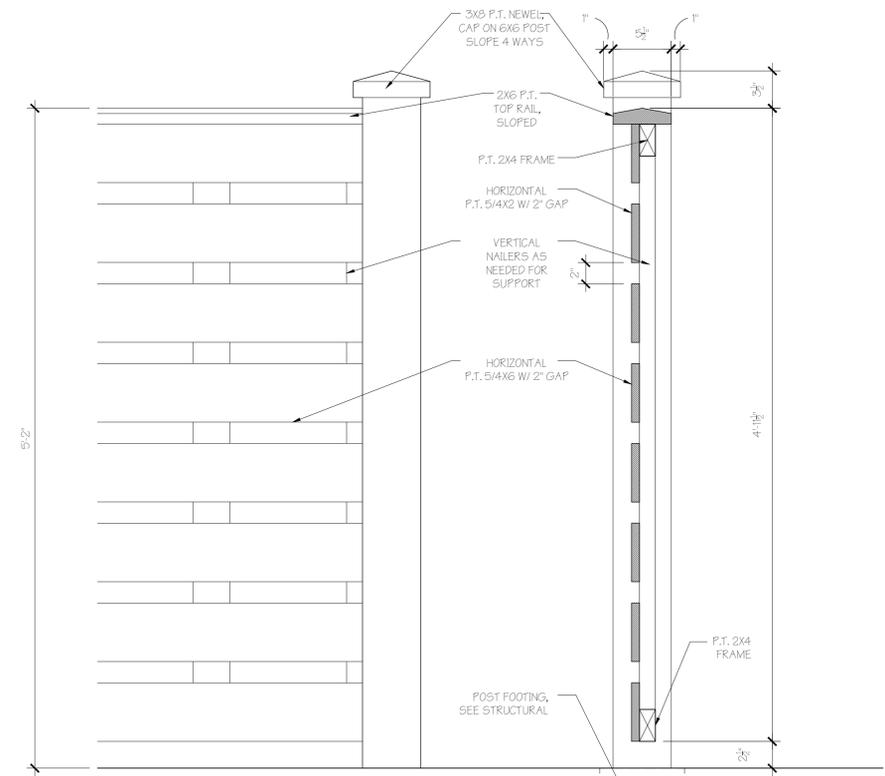
1 1" = 1'-0"
STAIR AND RAILING DETAIL



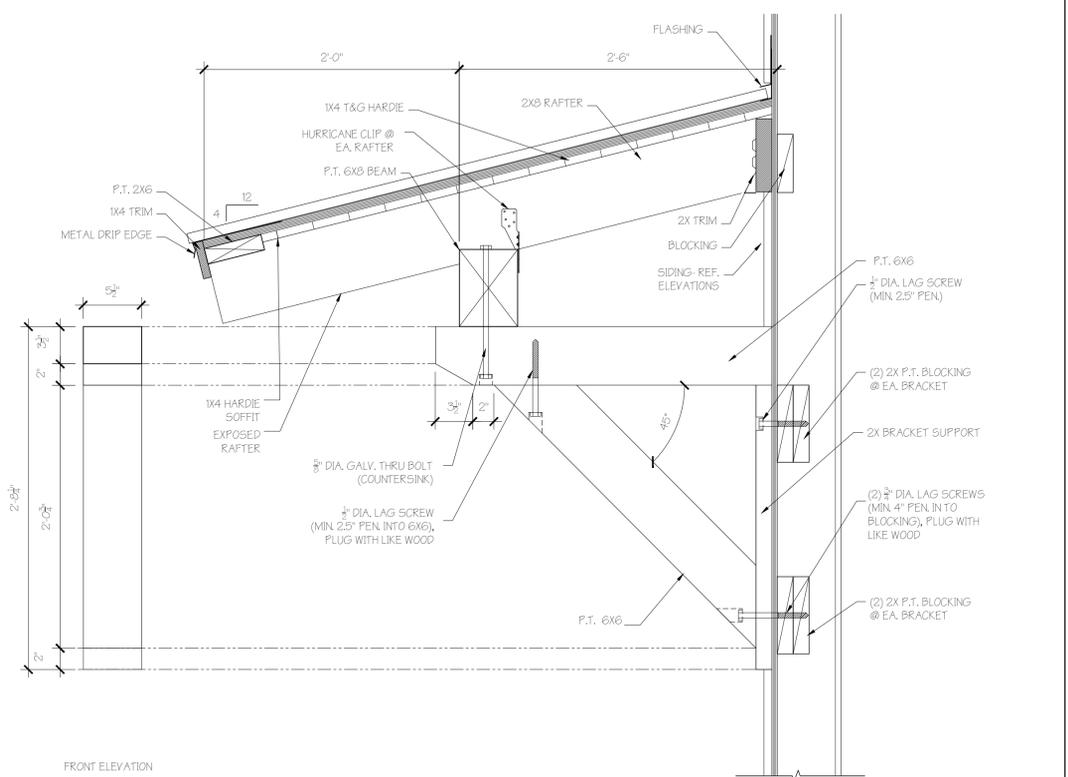
6 3" = 1'-0"
DOOR SILL DETAIL



4 3" = 1'-0"
WINDOW / DOOR HEAD / SILL DETAIL



3 1 1/2" = 1'-0"
SERVICE YARD DETAIL



2 1 1/2" = 1'-0"
BRACKET DETAIL

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BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	NO. 2345
DATE	08/31/23
DRAWN BY	AJD
CHECKED BY	AWB

CH DETAILS

SHEET NO.
CH401
24X36 PAPER SIZE



ATTACHMENT 4 PLAN REVIEW COMMENTS FOR COFA-08-23-018375

Section X. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
TABBY ROADS PHASE 1

Plan Type:	Historic District	Apply Date:	08/14/2023
Plan Status:	Active	Plan Address:	12 Tabby Shell Rd Road BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 000 1188 0000
Plan Description:	Carriage house		

Staff Review (HD)

Submission #: 1 Received: 08/14/2023 Completed: 08/24/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	08/24/2023	Katie Peterson	Approved with Conditions

Comments:

1. At time of final submittal, a letter of approval from the Tabby Roads HARB is required.

HPRC Review	08/24/2023	Katie Peterson	Approved with Conditions
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Comments:

1. At time of final submittal, provide additional information about the gravel/hardscape. Clarify which areas will remain from the existing pad and which will go away/be added.

Beaufort Jasper Water and Sewer Review	08/24/2023	James Clardy	Approved
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Comments:

No comments provided by reviewer.

Transportation Department Review - HD	08/16/2023	Megan James	Approved
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Comments:

No comments

Watershed Management Review	08/18/2023	Samantha Crotty	Approved
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Plan Review Case Notes:

HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

Sept 26, 2023

DONOVAN MATTHEW R & DONOVAN DIANNE C,
Lot 8, Tabby Roads
12 Tabby Shell Rd
Bluffton, South Carolina 29910

Dear Matthew and Diane,

This letter shall serve as approval with conditions for planned carriage house build on 12 Tabby Shell Road. Plans within the following files titled are the basis for this approval:

2023-09-07_DONOVAN_Final Conditions.pdf, 2023-09-07_DONOVAN_Final Conditions Response.pdf, 2023-08-31_DONOVAN_Tabby Roads Application - Copy.pdf, Aug 31,2023 email outlining color selection

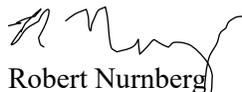
This approval is based upon the following items of clarification:

- Prior to beginning construction, garage door specifications must be delivered to HARB for review and approval.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. Additionally, no work shall commence on the project until building permits have been obtained for the structure.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,



Robert Nurnberg
On behalf of Tabby Roads HARB
Cc: Katie Peterson, Town of Bluffton



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	October 4, 2023
PROJECT:	1268 May River Road – Addition/Remodel: Contributing Resource, Office Use
APPLICANT:	Shifting Tides LLC
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Shifting Tides LLC, on behalf of the owner May River Project LLC, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-23-018141.** A Certificate of Appropriateness to allow the renovation of the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General- HD.

INTRODUCTION: The Applicant has proposed the renovation of the one-story, single-family structure known as Nathaniel Brown’s Cottage. The structure is characterized by its brick masonry, wood detailing in its gables, low front porch and windows with horizontal lite patterns. The building was first surveyed in the 2008 Historic Resources Survey of Bluffton (Identified as 1268 May River Road, Site #046-0047), and subsequently resurveyed in the Town of Bluffton Historic Resources Update (July 2019).

On August 9, 2022, a Site Feature-HD (SFHD-08-22-2057) was approved to replace the existing asphalt roof with the same, using Landmark Asphalt Shingles in the color Weathered Wood. On October 31, 2022, work beyond the scope of the Site Feature and associated building permit was found to be in progress, including exterior work in the form of window replacement and framing on the rear porch, and a stop work order was issued. The work proposed in this application is intended to bring the structure, as currently exists, into compliance with the Unified Development Ordinance and maintain the historic integrity of the structure.

The Applicant proposes to replace the existing porch columns with 4x4 wood posts in the same location with a 2x4 horizontal guard rail to maintain the opening pattern of the historic porch. They have proposed soffit repairs using plywood to match the existing material in several locations identified on the architectural plans. They have proposed to replace the windows which were installed without Town

approval with Andersen 400 Series Tilt-Wash double-hung windows which maintain the historic window lite pattern. The historic windows removed from the structure were damaged beyond repair and cannot be reused.

The Applicant has proposed to enclose the rear porch using board and batten siding from the accessory structure's lean-to and detailed with trim work where the columns were to maintain the visual opening pattern on the porch. New brick steps on the rear porch have been proposed to the rear, to allow the drive aisle to be wider between the two structures. A new front and left side porch have been proposed using wood pickets and underpinning to differentiate from the historic portion of the porch.

On the non-contributing accessory structure, the Applicant has proposed to remove the shed roofed side addition of the structure, retaining the CMU block portion of the structure. New windows, including a glass garage door, to maintain the openings as they currently exist.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 17, 2023 meeting and comments were provided to the Applicant (See Attachment 4).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

- a. *Finding.* This criterion is only applicable to Nathaniel Brown's Cottage, not the accessory structure. Town Staff has reviewed the ten Standards for the Contributing Resource as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Finding. The Applicant proposes to change the use of the property to office. While this is not the historic purpose of the structure, the changes required for this use are minimal and Staff finds this Standard has been met.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Finding. The renovations proposed retain the features and special relationships of the historic structure. While repairing the historic windows would have been preferred, as they are no longer on the site, the windows proposed will help retain the historic character of the structure. All other historic material is proposed to be retained except for the soffit material where there is damage and replacing the 2x4 columns with 4x4 columns. Town Staff finds this Standard has been met.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Finding: The proposed modifications do not create a false sense of historical development, and do not add conjectural features or architectural elements from other buildings. Town Staff finds this Standard has been met.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Finding. Town Staff finds the work proposed to under this application does not destroy features which may have acquired historic significance in their own right and this Standard has been met.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Finding. Town Staff finds that the changes proposed to the structure do not remove distinctive features, finishes, and construction techniques and this Standard has been met.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Finding. The Applicant proposes repair soffits, replace windows which are no longer at the site, and leave most of the historic material in place. Town Staff finds this Standard to have been met.

7. *Deteriorated Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Finding. No chemical or physical treatments which may cause damage to the structure have been proposed. This Standard has been met.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Finding. No digging is proposed. Should any archeological resources be discovered during the project, Town Staff must be notified to determine if any mitigation measures are needed.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Finding. Town Staff has found that the proposed enclosure of the rear porch and new side porch is differentiated slightly from the old with the proposed material and is compatible with the massing, size, scale, and architectural features and protects the historic integrity of the property and its environment and, as such, this Standard has been met.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Finding. Town Staff has found that the rear porch being enclosed and the porch addition to the primary structure have been designed in such a manner that if removed in the future, the essential form and integrity of the historic resource would be unimpaired, as such, this Standard has been met.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant has proposed minimal repairs to the main mass of the structure, leaving the brick, wood paneled gables, and much of the eaves intact. Repairing the soffit in kind, installing windows which match the historic pattern, and repairing the porch, the historic nature of the structure will be enhanced and allow for its reuse as a commercial site. It currently sits vacant. The renovation and remodel have been designed to be sympathetic to the architectural character structure, so the proposed changes will both protect the integrity of the existing historic structure and enhance the neighborhood by allowing it to be occupied.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
1. Section 5.15.6.I. Windows and Doors. The Applicant has proposed the Andersen 400 Series Tilt-Wash Double Hung Windows with the horizontal lite pattern to match the historic windows which are no longer in the building. The product guide does not show the ability to configure the muntins in this manner, however, the Applicant has indicated they will be able

to special order. Should the window configuration in this product be unable to meet the configuration shown on the Architectural Drawings, the Applicant will need to bring alternate window information to Town Staff for review and approval prior to installation.

2. Section 5.15.6.P. Cornice, Soffit, and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. The Applicant proposes the use of plywood to repair areas of the soffit that are damaged. While plywood is not a permitted material, the soffit material on the existing is plywood and Staff recommends approval of a deviation from the permitted soffit materials.
4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the renovation to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing will be sensitive to the neighboring properties.

5. Section 3.18.3.E. Preservation of the existing building's historic character and architecture;

Finding. This Standard has been met. See Secretary of Interior Standards above for additional information.

6. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the renovation of a Contributing Resource. By renovating the structure to allow for its continued use, using designs sensitive to the character of the structure and district, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the proposed construction will have no adverse effect on the public interest.

7. Section 3.18.3.G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider: 1. The existing and historical ownership and use and reason for requesting demolition; and 2. Information that establishes clear and convincing evidence that: a. The demolition of the structure is necessary to alleviate a threat to public health or public safety; and b. No other reasonable alternatives to demolition exist; and c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property;

Finding. The Applicant seeks to demolish the enclosed shed roof addition on the non-contributing structure but does not propose demolition of the Contributing Resource.

8. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

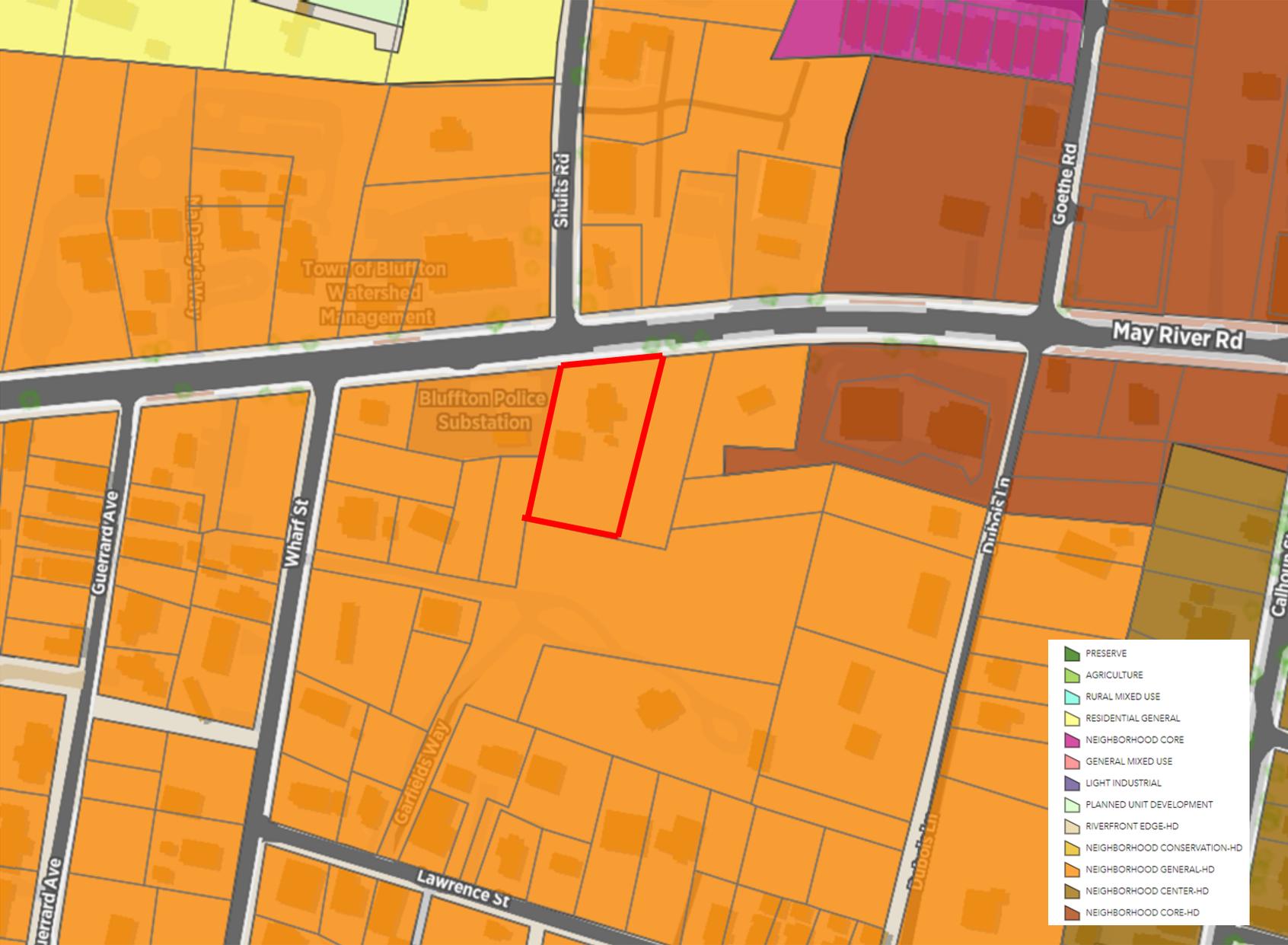
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Should the window configuration of the Andersen 400 series be unable to meet the lite pane configuration shown on the Architectural Drawings, the Applicant will need to bring alternate window information to Town Staff for review and approval prior to installation.
2. The HPC must determine the appropriateness of the use of plywood for the soffit repairs, which matches the existing soffit material of the Contributing Resource but is not permitted by UDO Section 5.15.6.P. of the UDO.

ATTACHMENTS:

1. Location and Zoning Map
2. Application
3. Site Plan & Elevations
4. HPRC Report
5. Supplemental Pictures

ATTACHMENT 1 – Location and Zoning Map, 1268 May River Road





ATTACHMENT 2

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

Section X. Item #2.

20 Bridge Street
Bluffton, SC 29910
(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Shifting Tides LLC		Name: May River Project LLC	
Phone: 330-285-2075		Phone: 330-285-2075	
Mailing Address: 25 Pritchard St. Bluffton		Mailing Address: 25 Pritchard St. Bluffton	
E-mail: Andrewjpietz@gmail.com		E-mail: Andrewjpietz@gmail.com	
Town Business License # (if applicable): 05-21-037165			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: 1268 May River Rd	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: 1268 May River Rd.	Application for:		
Zoning District: Historic General	<input type="checkbox"/> New Construction		
Acreage: .65	<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R-610-039-00A-0147-	<input type="checkbox"/> Relocation		
Project Description: Contributing Structure 1323 SF. Ancillary CMU bld 475 SF			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Andrew Pietz</i>		Date: 8/25/23	
Applicant Signature: <i>Andrew Pietz</i>		Date: 8/25/23	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and as sure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input checked="" type="checkbox"/>
2. SITE DATA			
Identification of Proposed Building Type (as defined in Article 5): Contributing Structure/CMU			
Building Setbacks	Front:	Rear:	Rt. Side: Lt. Side:
3. BUILDING DATA			
Building	Description <small>(Main House, Garage, Carriage House, etc.)</small>	Existing Square Footage	Proposed Square Footage
Main Structure	Main House	1506	1506
Ancillary	CMU Block Bld	800	464
Ancillary			
4. SITE COVERAGE			
Impervious Coverage		Coverage (SF)	
Building Footprint(s)		2003 SF	
Impervious Drive, Walks & Paths		2020 SF	
Open/Covered Patios		310 Patio SF	
A. TOTAL IMPERVIOUS COVERAGE		4333 SF	
B. TOTAL SF OF LOT		28314 SF	
% COVERAGE OF LOT (A/B= %)		15%	
5. BUILDING MATERIALS			
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation
Foundation	Brick	Columns	PT Wood
Walls	Brick	Windows	wood Clad
Roof	Shingle	Doors	Wood
Chimney	Brick	Shutters	
Trim	PT Wood	Skirting/Underpinning	PT wood
Water table	Brick	Cornice, Soffit, Frieze	Pt wood
Corner board		Gutters	
Railings	PT wood	Garage Doors	Metal/glass
Balusters	PT wood	Green/Recycled Materials	
Handrails	Pt wood		



ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Andrew Pietz
Signature of Property Owner or Authorized Agent

8/25/23
Date

Andrew Pietz
Printed Name of Property Owner or Authorized Agent

Andrew Pietz
Signature of Applicant

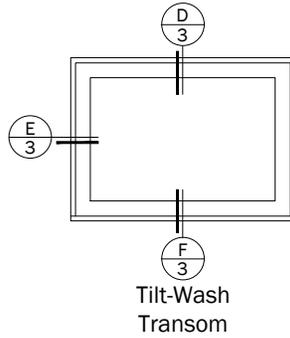
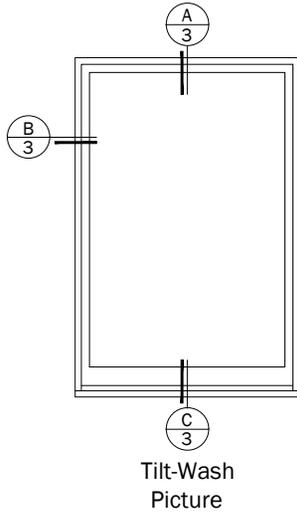
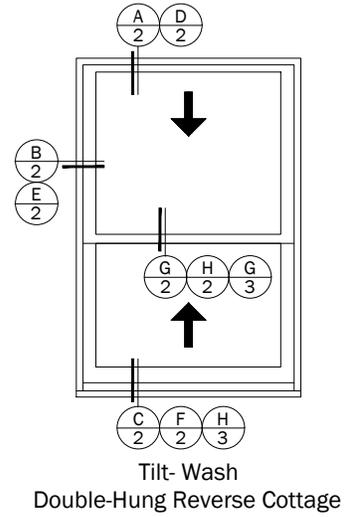
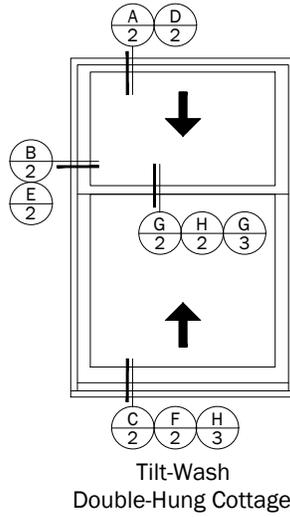
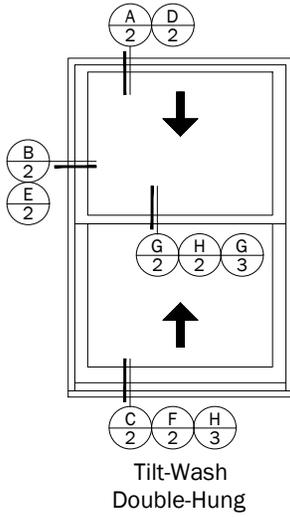
8/25/23
Date

Andrew Pietz
Printed Name of Applicant

ATTACHMENT 2

400 SERIES

Tilt-Wash Double-Hung Full-Frame Windows



Notes:

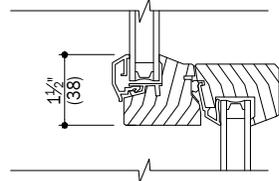
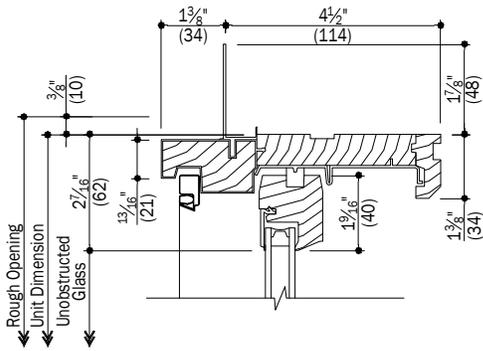
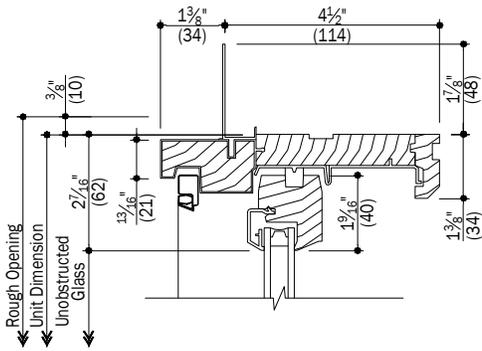
Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

See Pages 4 Thru 6 for Accessories

ATTACHMENT 2

400 SERIES

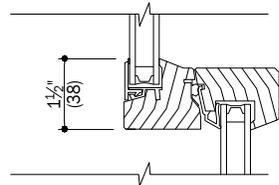
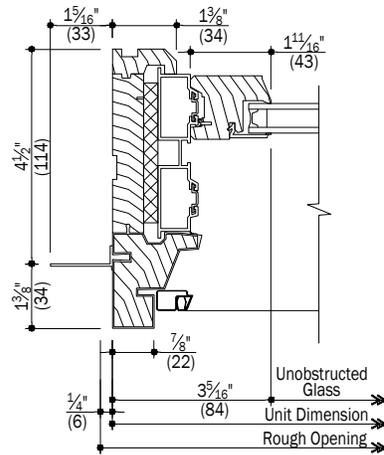
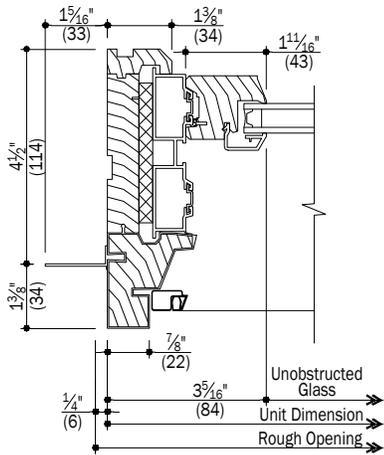
Tilt-Wash Double-Hung Full-Frame Windows



A Head - High Definition Chamfer
2 Operating

D Head
2 Operating

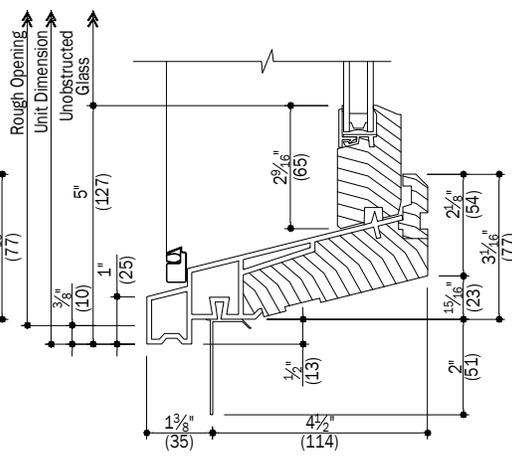
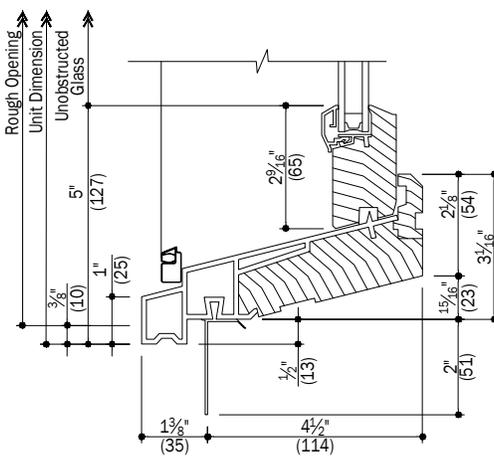
G Check Rail - High Definition Chamfer
2



B Jamb - High Definition Chamfer
2 Operating

E Jamb
2 Operating

H Check Rail
2



C Sill - High Definition Chamfer
2 Operating

F Sill
2 Operating

Notes:

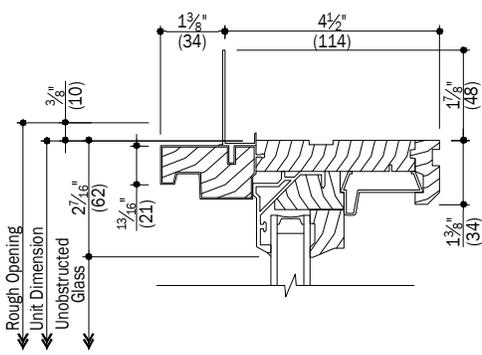
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See Pages 4 Thru 6 for Accessories

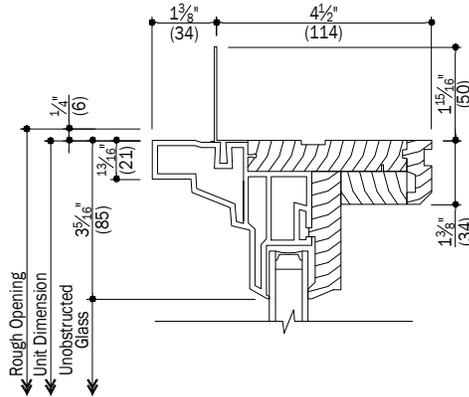
ATTACHMENT 2

400 SERIES

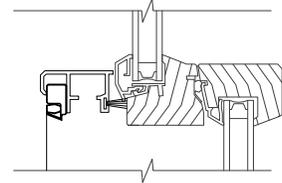
Tilt-Wash Double-Hung Full-Frame Windows



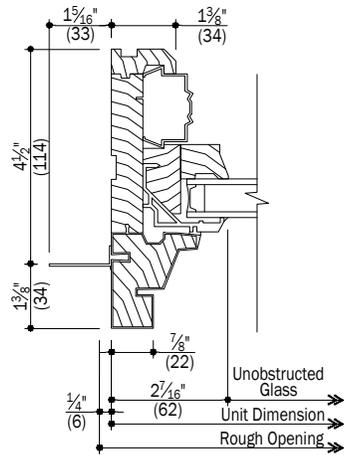
A
3 Fixed



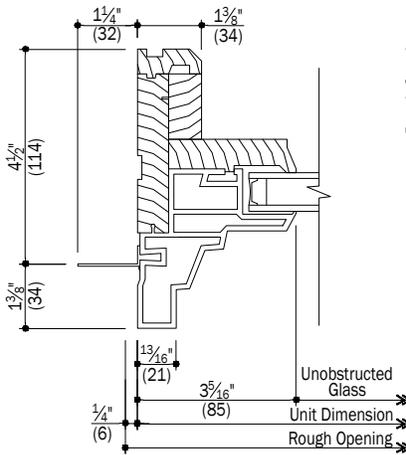
D
3 Fixed



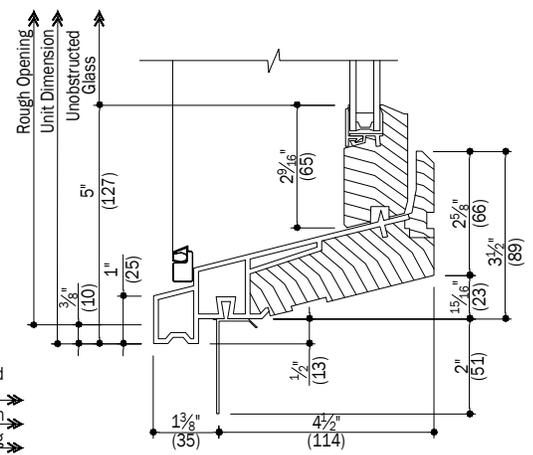
G
3 Half Screen at Check Rail



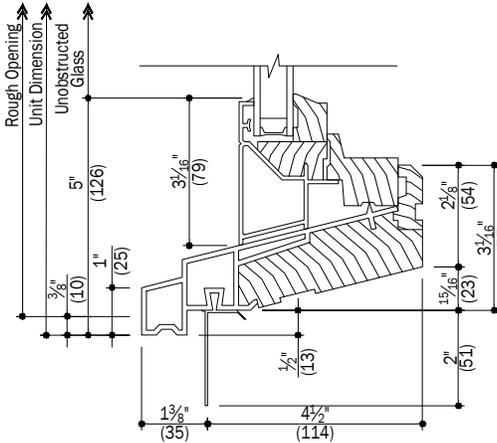
B
3 Fixed



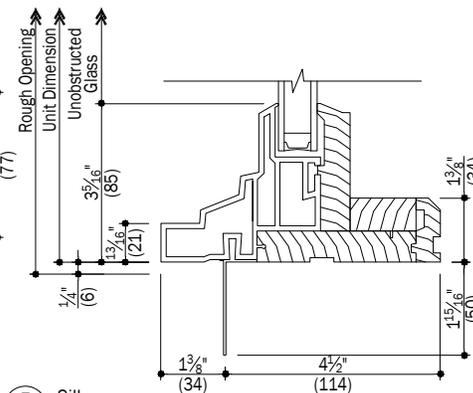
E
3 Fixed



H
3 With performance grade upgrade



C
3 Fixed



F
3 Fixed

Notes:

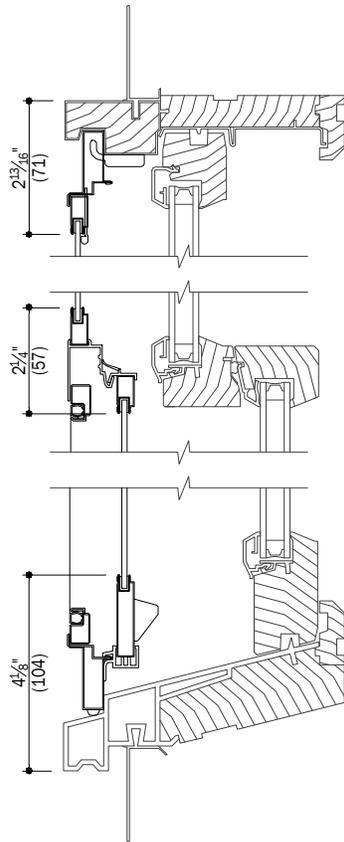
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See Pages 4 Thru 6 for Accessories

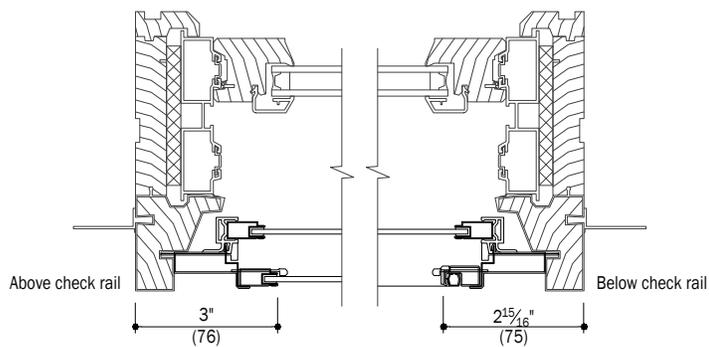
400 SERIES

ATTACHMENT 2

Tilt-Wash Double-Hung Full-Frame Windows Accessories



A
4 Storm/Insect Screen Combination Unit



B
4 Storm/Insect Screen Combination Unit

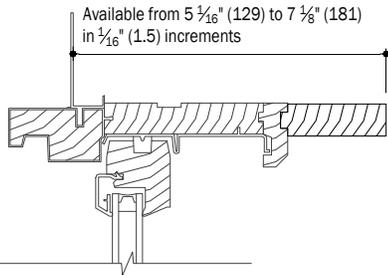
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Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

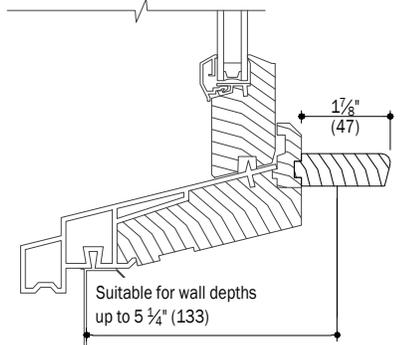
ATTACHMENT 2

400 SERIES

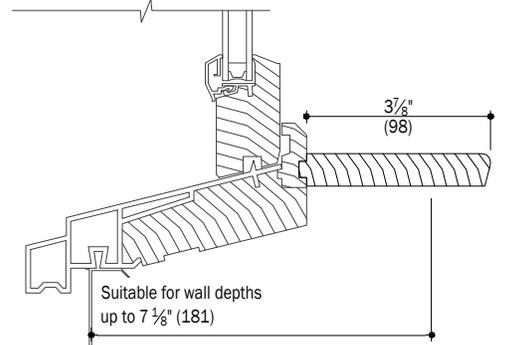
Tilt-Wash Double-Hung Full-Frame Windows Accessories



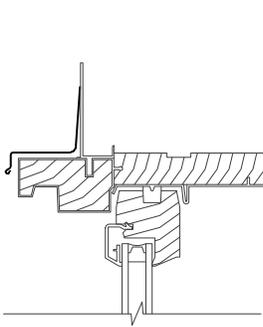
A
5 Extension Jamb



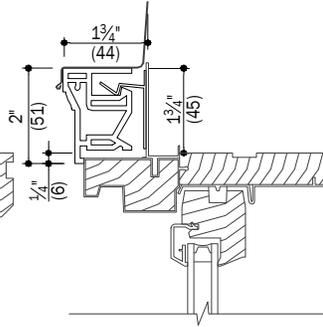
D
5 4 9/16" Stool



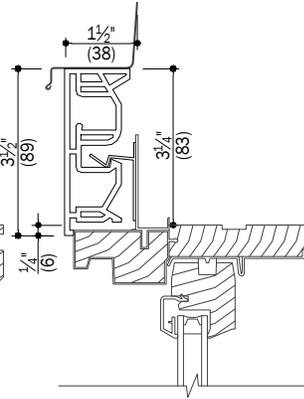
J
5 6 9/16" Stool



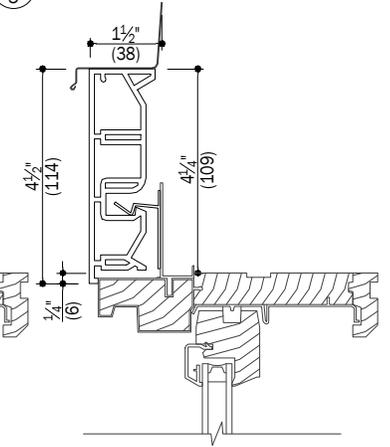
B
5 Drip Cap



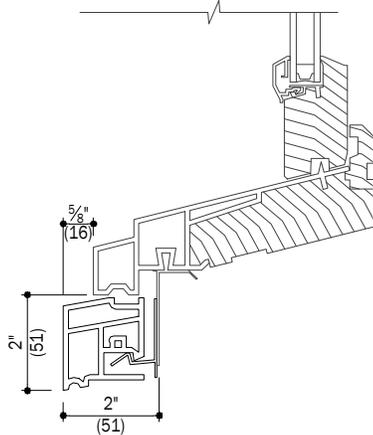
E
5 2" Brick Mould



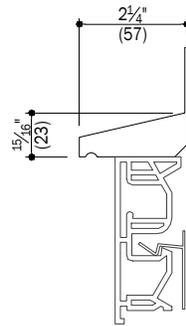
G
5 3 1/2" Flat Casing



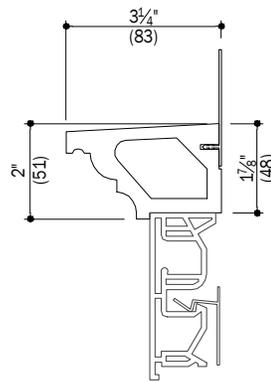
K
5 4 1/2" Flat Casing



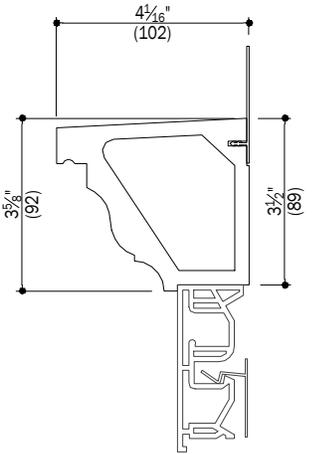
C
5 Sill Nose



F
5 Decorative Drip Cap



H
5 2" Cornice



L
5 3 5/8" Cornice

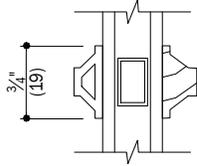
Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

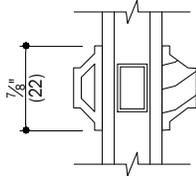
ATTACHMENT 2

400 SERIES

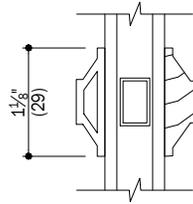
Tilt-Wash Double-Hung Full-Frame Windows Accessories



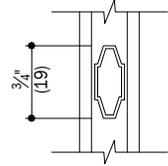
A
 6 3/4" Full Divided Light



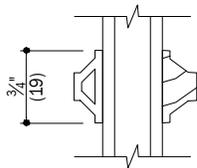
E
 6 7/8" Full Divided Light



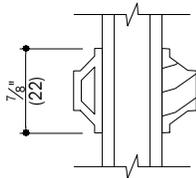
J
 6 1 1/8" Full Divided Light



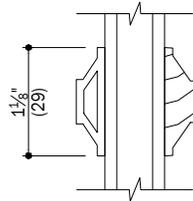
M
 6 3/4" Finelight



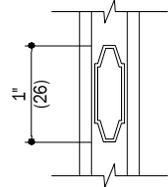
B
 6 3/4" Simulated Divided Light
 Removable interior is available



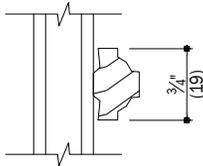
F
 6 7/8" Simulated Divided Light
 Removable interior is available



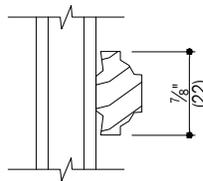
K
 6 1 1/8" Simulated Divided Light
 Removable interior is available



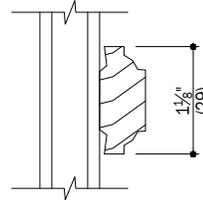
N
 6 1" Finelight



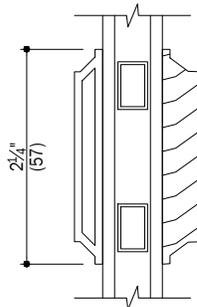
C
 6 3/4" Removable Interior Grille



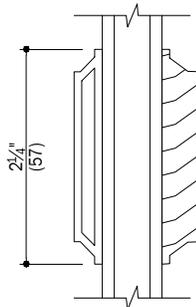
G
 6 7/8" Removable Interior Grille



L
 6 1 1/8" Removable Interior Grille



D
 6 2 1/4" Full Divided Light
 Simulated check rail
 Only available on picture units



H
 6 2 1/4" Simulated Divided Light
 Simulated check rail
 Only available on picture units

Notes:

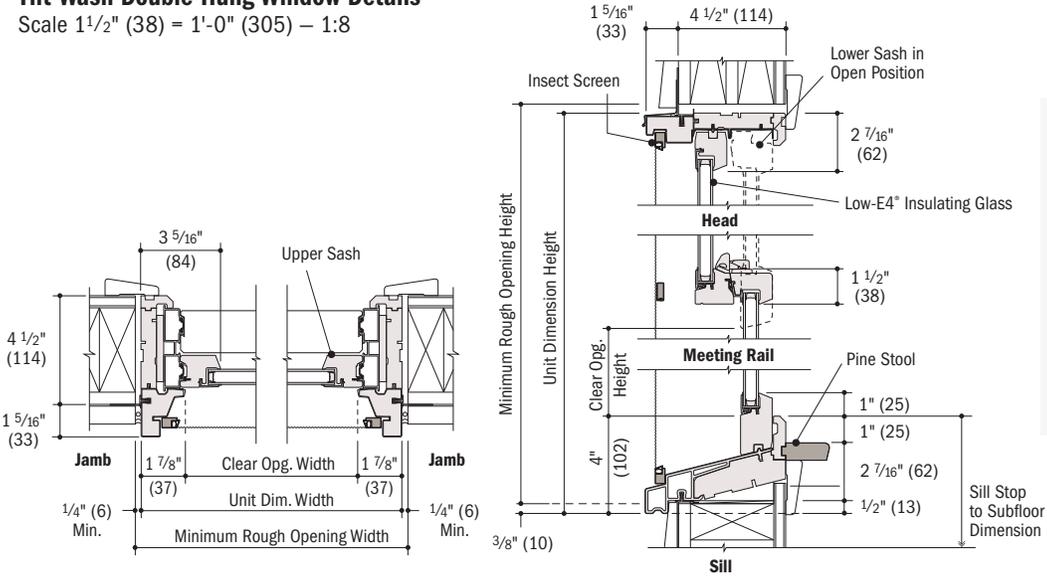
Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

ATTACHMENT 2

400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

Tilt-Wash Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



310 and 46 Height Windows Only:

Upper Sash Meeting Rail (higher location on 310 and 46 heights)

Lower Sash in Open Position (opens higher to maintain clear opening)

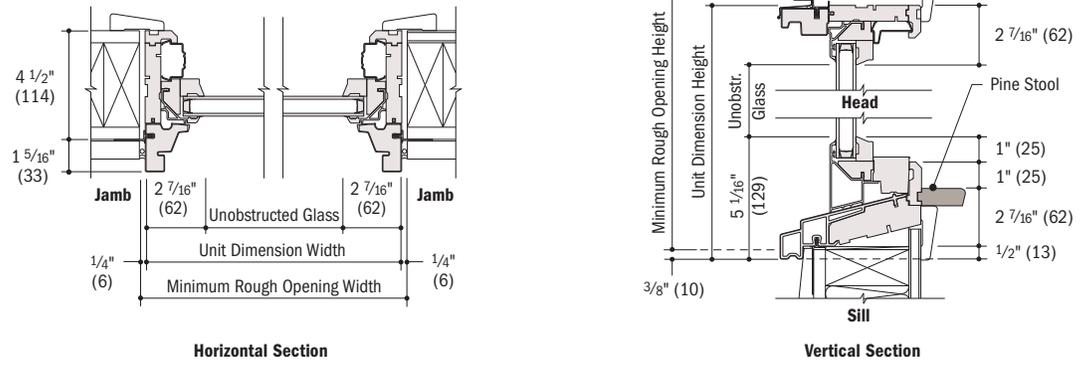
Meeting Rail

Note: Location of support bar on optional insect screen aligns with meeting rail location on 310 and 46 window heights.

All window heights except 310 & 46

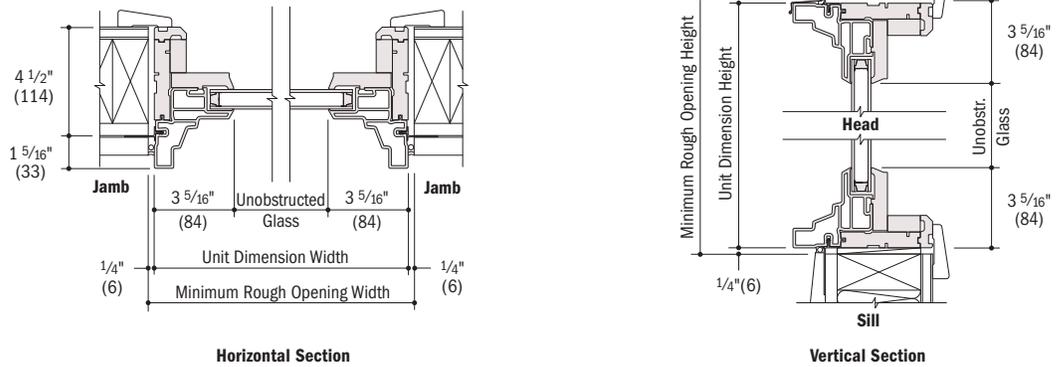
Tilt-Wash Picture Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



Tilt-Wash Transom Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Dimensions in parentheses are in millimeters.



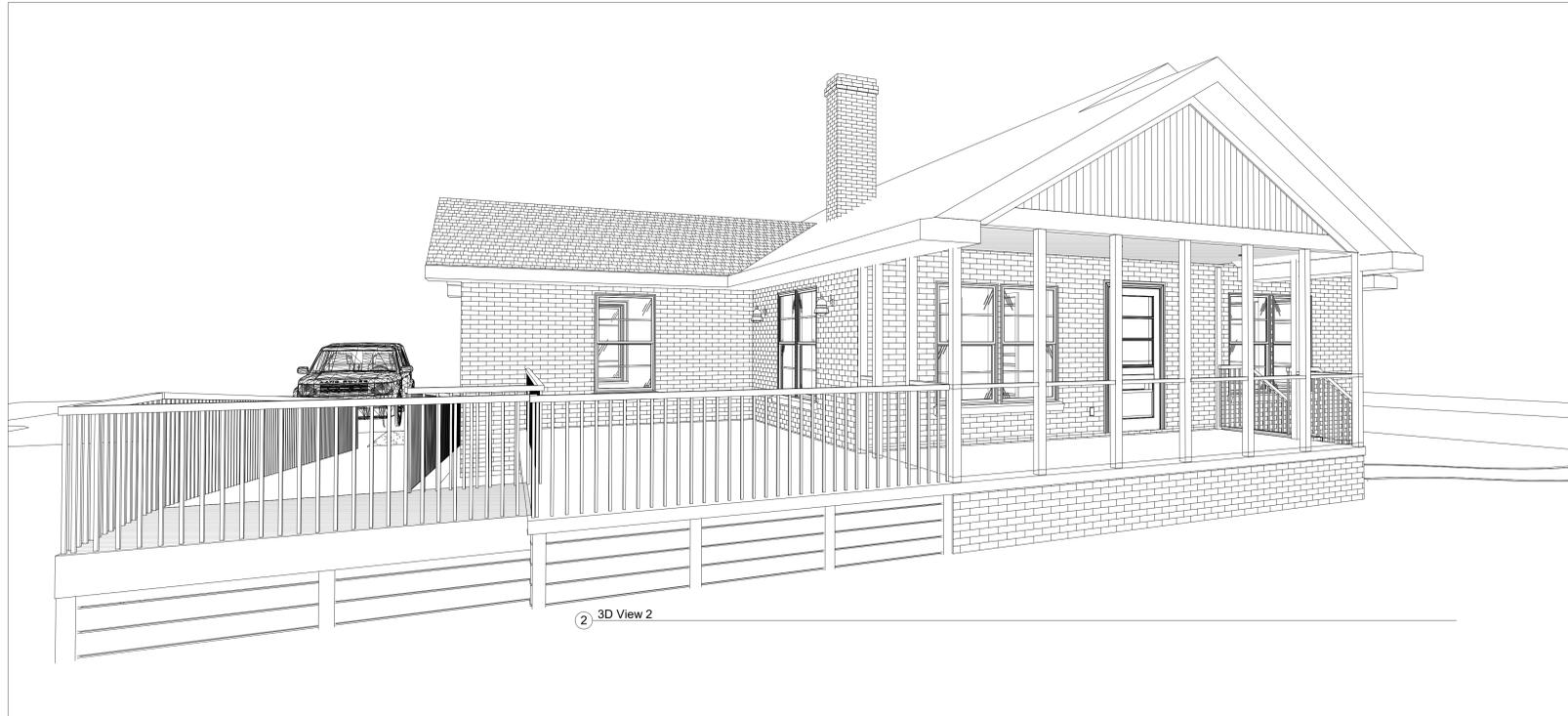
Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS
893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23



2 3D View 2



VICINITY MAP

GENERAL NOTES

ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMPANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.

ALL WORK SHALL CONFORM TO PREVAILING CODES, ORDINANCES AND REQUIREMENTS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES.

EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER). THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.

THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS, REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.

PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

ALL CONSTRUCTION SHALL COMPLY WITH IBC SECTION 1612 AS IT RELATED TO FLOOD LOADS AND MATERIALS

PROJECT PARTICIPANTS

OWNER

CONTACT:

ARCHITECT

WOODS DENDY ARCHITECTS, LLC

893 GRAYS HIGHWAY
RIDGELAND, SC 29936

CONTACT: GRADY L. WOODS, AIA, NCARB
PHONE: 843 726 6730
EMAIL: gwoods@woodsdeny.com

CONTRACTOR

CONTACT:
PHONE:

STRUCTURAL

MEP

LANDSCAPE

PROJECT INFO

NAME OF PROJECT:

ADDRESS: 1268 MAY RIVER ROAD
BLUFFTON, SC 29910

CONTRACTOR / CONTACT PERSON:
ANDREW J. PIETZ 330-285-2075

CODE REFERENCES

CODE ENFORCEMENT JURISDICTION: BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IBC) W/ SC 2021
MODIFICATIONS:
INTERNATIONAL MECHANICAL CODE W /SC MODIFICATION: 2021
INTERNATIONAL PLUMBING CODE W /SC MODIFICATION: 2021
INTERNATIONAL FUEL GAS CODE W /SC MODIFICATION: 2021
INTERNATIONAL FIRE CODE W /SC MODIFICATION: 2021
INTERNATIONAL ENERGY CODE: 2009
THE NATIONAL ELECTRICAL CODE (NFPA 70) 2020
W /SC MODIFICATION:
ICC/ANSI A117.1: 2021

SHEET LIST	
Sheet Number	Sheet Name
A100	LIFE SAFETY PLAN
A101	FLOOR PLAN
A103	ELEVATIONS
A104	SECTIONS
A105	PERSPECTIVE
A106	PERSPECTIVE
A107	PERSPECTIVE
A108	SCHEDULES
A109	PHOTOS
E001	ELECTRICAL POWER AND LIGHTING PLAN
G-001	COVER SHEET
G-002	SURVEY
G-003	SITE

CONSTRUCTION TYPE:

I-A II-A III-A IV V-A
 I-B II-B III-B V-B
SPRINKLERS: NO PARTIAL YES

ZONING DISTRICT 2
OVERLAY DISTRICT -
USE OF PROPERTY: OFFICE
GROSS SITE ACRES -
GROSS PARCEL ACRES - .67
ALLOWED TOTAL DENSITY - 1.330 AC X 10,000 GFA = 13,300 SF
EXISTING BUILDING SQUARE FOOTAGE - 1904 SF
EXISTING BUILDING HT - 17FT
MAXIMUM ALLOWED IMPERVIOUS COVER - 65% (18,970)
EXISTING IMPERVIOUS COVER - 0% (0 SF)
PROPOSED IMPERVIOUS COVER 34% (1,506)
FLOOD ZONE - C

OCCUPANCY CLASSIFICATION:

ASSEMBLY A-1 A-2 A-3 A-4 A-5
BUSINESS X
EDUCATIONAL
FACTORY F-1 MODERATE F-2 LOW
HAZARDOUS H-1 DETONATE H-2 DEFLAGRATE H-3 COMBUST H-4 HEALTH H-5 HPM
INSTITUTIONAL I-1 CONDITION I-2
 I-2 CONDITION I-1 I-2
 I-3 CONDITION I-1 I-2 I-3 I-4 I-5
 I-4
MERCANTILE
RESIDENTIAL R-1 R-2 R-3 R-4
STORAGE S-1 MODERATE S-2 LOW
 HIGH-PILED
 PARKING GARAGE OPEN ENCLOSED REPAIR GARAGE
UTILITY AND MISCELLANEOUS

ACCESSORY OCCUPANCY CLASSIFICATION(S): N/A ACCESSORY OCCUPANCY % OF FLOOR AREA
INCIDENTAL USES: N/A SEPARATION: HR.

SPECIAL USES (CHAPTER 4): N/A

SPECIAL PROVISIONS (CHAPTER 5): N/A

MIXED OCCUPANCY: NO YES NON-SEPARATED USE SECOND OCCUPANCY:
 YES SEPARATED USE SECOND OCCUPANCY:
SEPARATION: HR.

BUILDING DATA:

NO STORIES: 1
BUILDING AREA: SF

EXIT ACCESS TRAVEL DISTANCE: N/A FT. MAX ALLOWABLE: 100 FT. TABLE 1014.3
CORRIDOR: RATING: N/A MINIMUM WIDTH: 36 INCHES

LIFE SAFETY SYSTEMS:

EMERGENCY LIGHTING: NO YES
EXIT SIGNS: NO YES
FIRE ALARM: NO YES
SMOKE DETECTION SYSTEM: NO YES PARTIAL
CARBON MONOXIDE DETECTION: NO YES

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

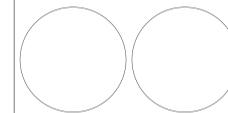
REV. NO. REV. DATE

Project Status
DATE: 8 AUGUST 23

COVER SHEET

G-001

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NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

REV. NO. REV. DATE

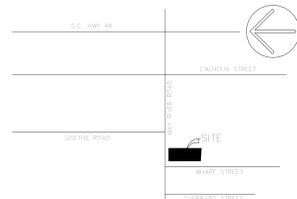
REV. NO.	REV. DATE

Project Status
DATE: 8 AUGUST 23

SURVEY

G-002





VICINITY MAP NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO LIE IN FLOOD ZONE X SHOWN ON FIRM MAP 45013004286G, COMMUNITY No. 450251, DATED 03/23/21.
- TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83, SCVRS NETWORK.
- PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REFERENCE(S):

- PLAT BOOK 121, PAGE 45

LEGEND:

CMF	CONCRETE MONUMENT, OLD (FOUND)
IPF	IRON PIPE FOUND
RRS	RERAIL SET
-OH-	OVER HEAD POWER LINE
-SD-	STORM DRAINAGE PIPE
TEL	TELEPHONE PENESTAL
WM	WATER METER
GV	GAS VALVE
LP	LAMP POST
SSCD	SANITARY SEWER CLEANOUT
SYC	SYCAMORE
PER	PERSIMMON
LO	LINE OF
+10.0	SPOT ELEVATION
-10-	CONTOUR

REVISION(S):

- 06.16.22 UPDATED SURVEY TO NAVD 1988 DATUM & GENERAL REVISIONS

I, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

DONALD R. COOK, JR.
S.C. P.L.S. No. 19900
NOT VALID UNLESS SIGNED WITH SEAL



GRAPHIC SCALE

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AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF
0.67 Ac.
S.C. HIGHWAY 46

TMS R610 039 00A 0147 0000
TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:
ANDREW PIETZ



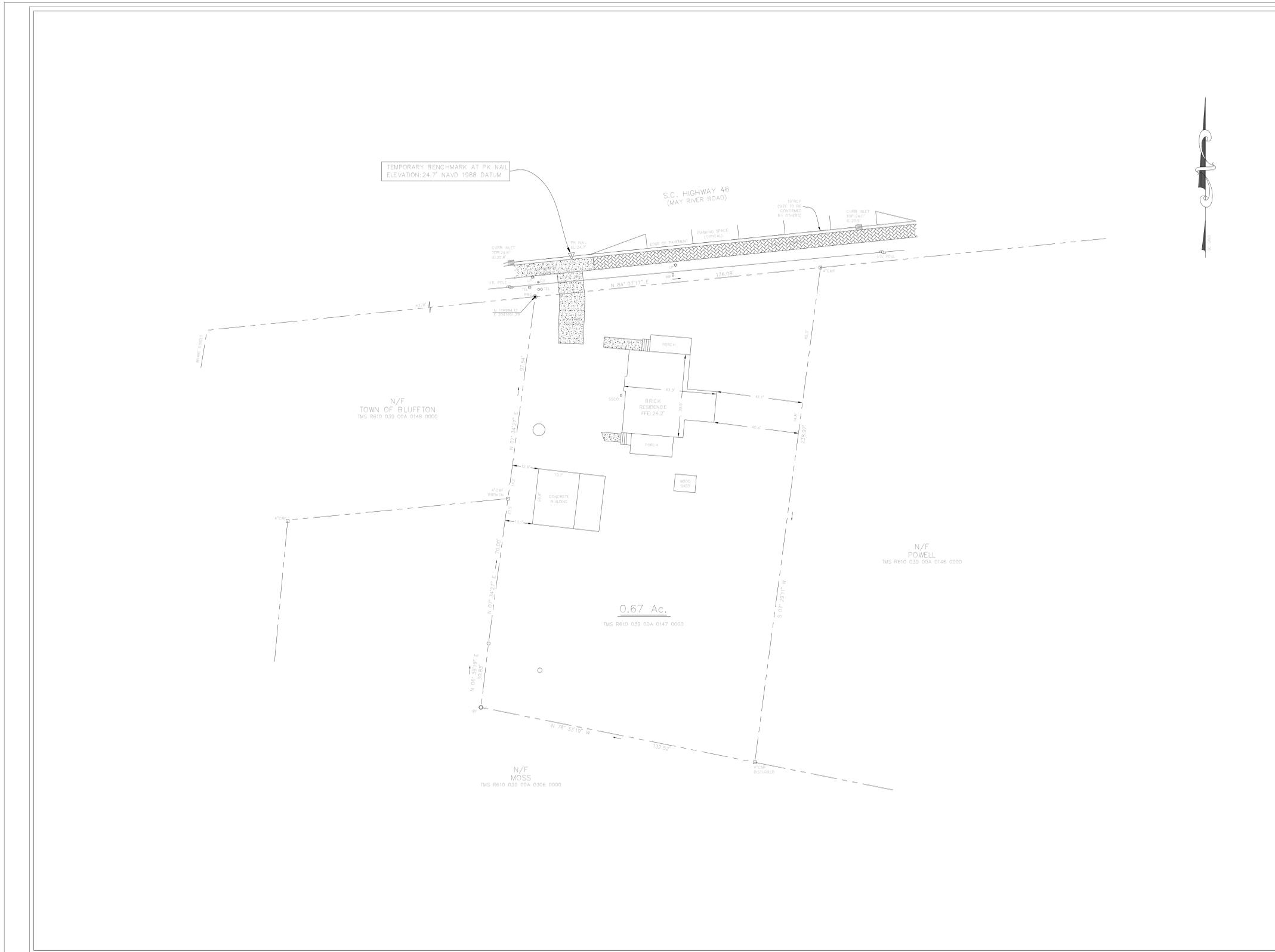
Cook
Land
Surveying
Fast & Better.

2301 W. Highway 29910
Bluffton, SC 29910
p: 843.247.1311 e: cook@cooklandsurveying.com

PROJECT No.: 17050003

DRAWN BY: DRC PROJECT NAME: 17050003
DATE: 06.16.22 FILE: 17050003AT rev: 061622.dwg
SCALE: 1" = 20'

SHEET 1 OF 1



1 SURVEY
1" = 20'-0"



Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

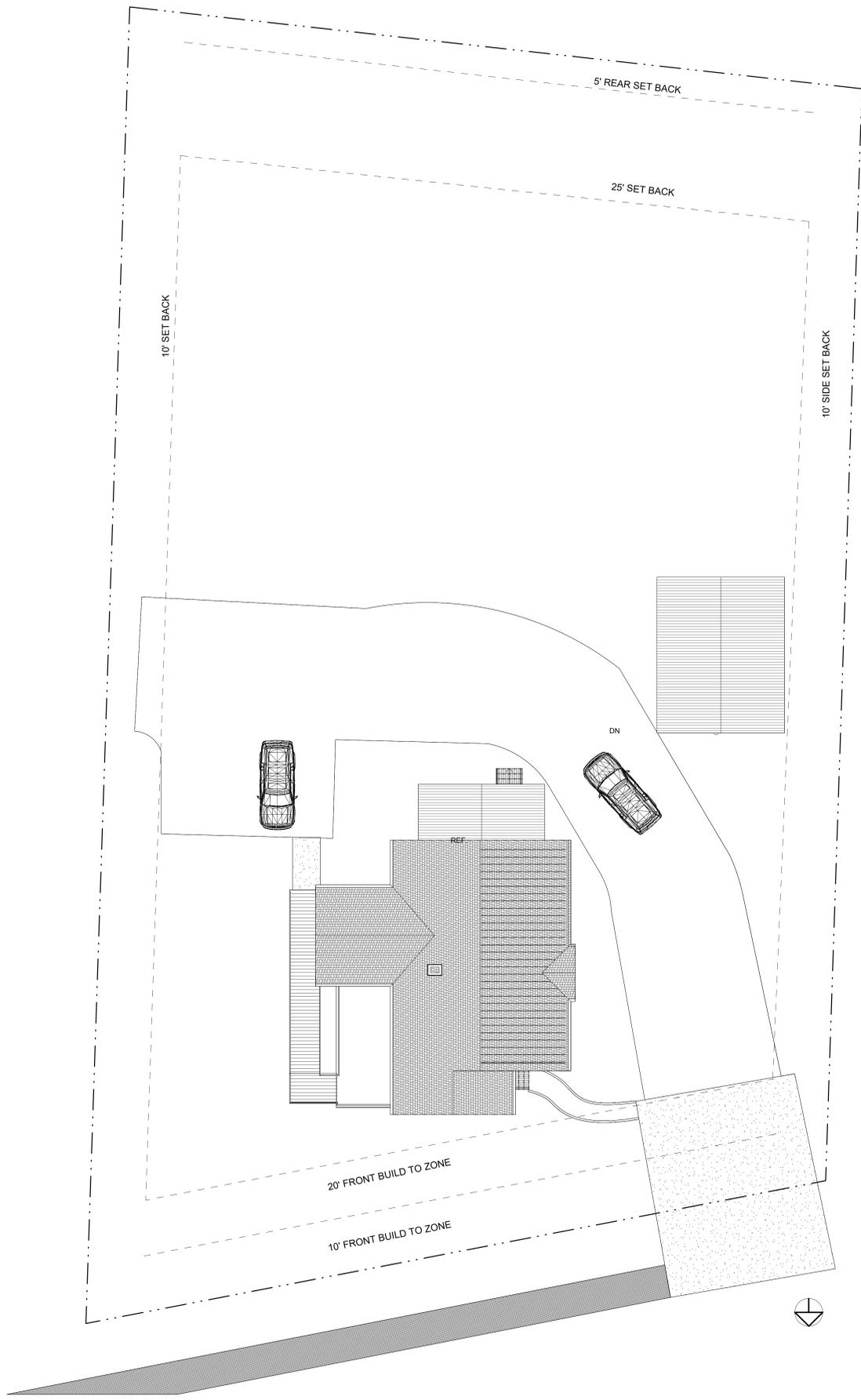
REVISION SCHEDULE	REV. NO.	REV. DATE

Project Status
DATE: 8 AUGUST 23

SITE

G-003

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1 Site
1" = 10'-0"

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8/8/2023 7:52:00 AM



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ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

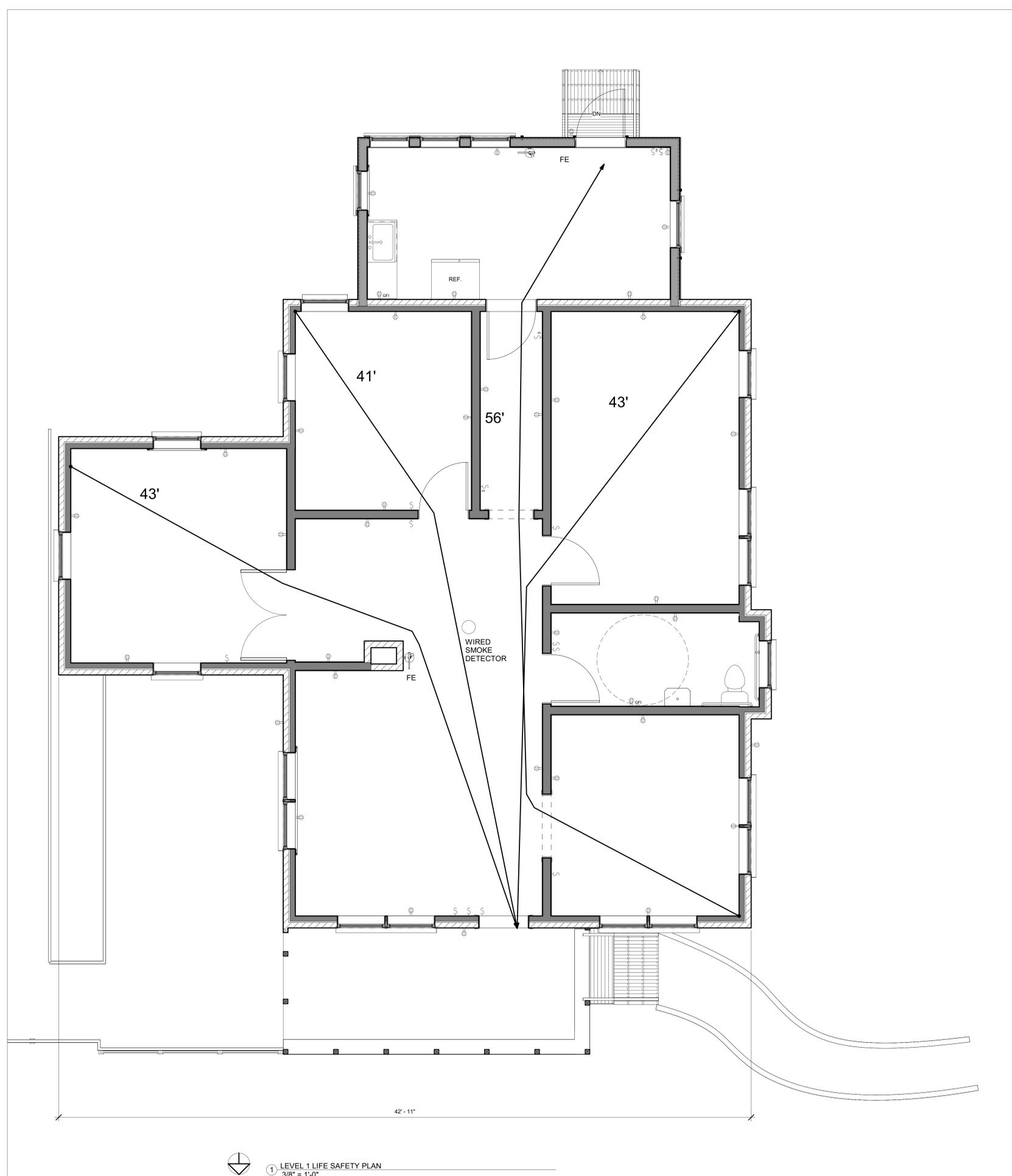
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DRAWN BY: Author	CHECKED BY: Checker
REVISION SCHEDULE	
REV. NO.	REV. DATE

Project Status
DATE: 8 AUGUST 23

LIFE SAFETY PLAN

A100

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① LEVEL 1 LIFE SAFETY PLAN
3/8" = 1'-0"



PERMIT SET 24 MARCH 23

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ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

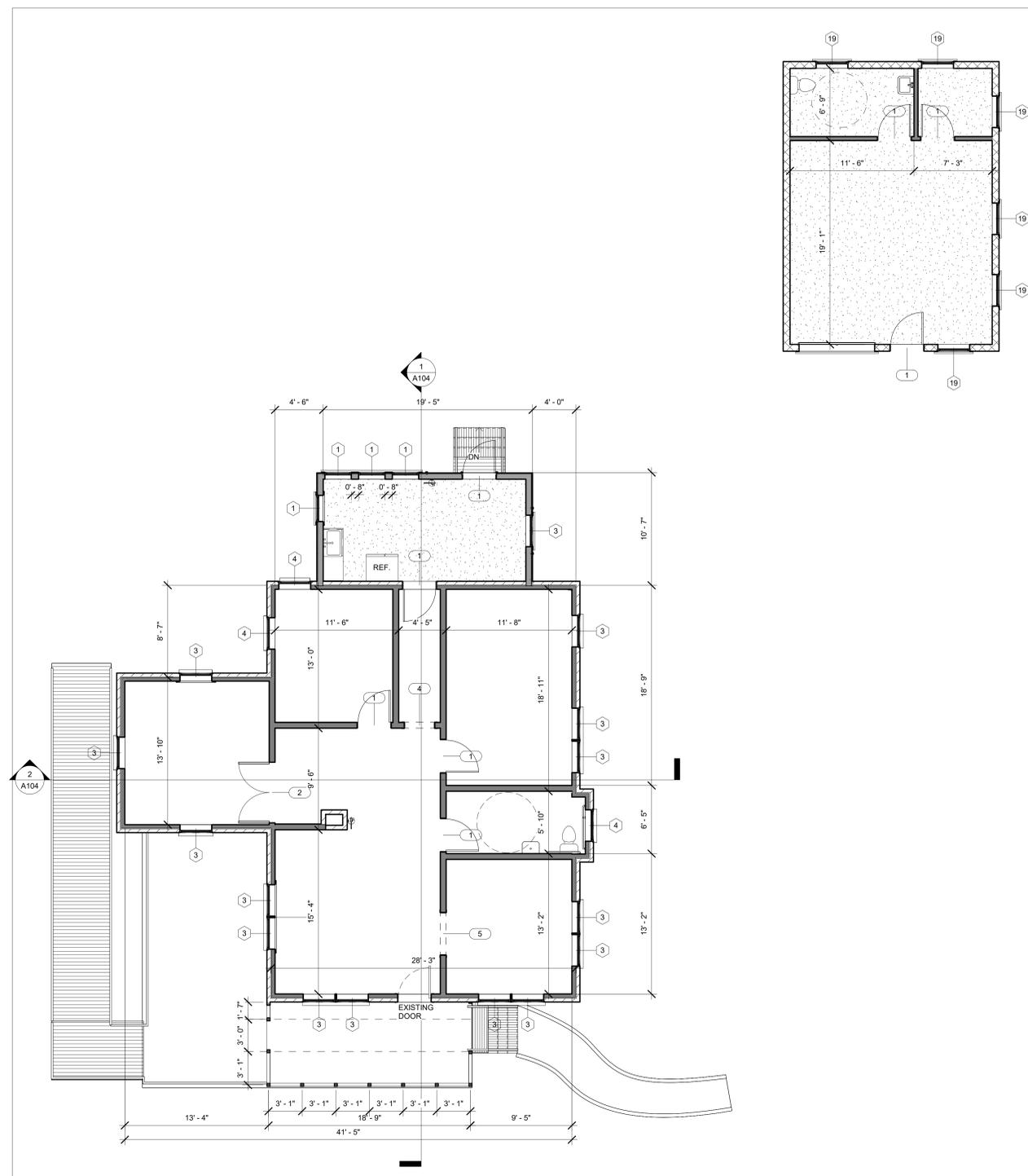
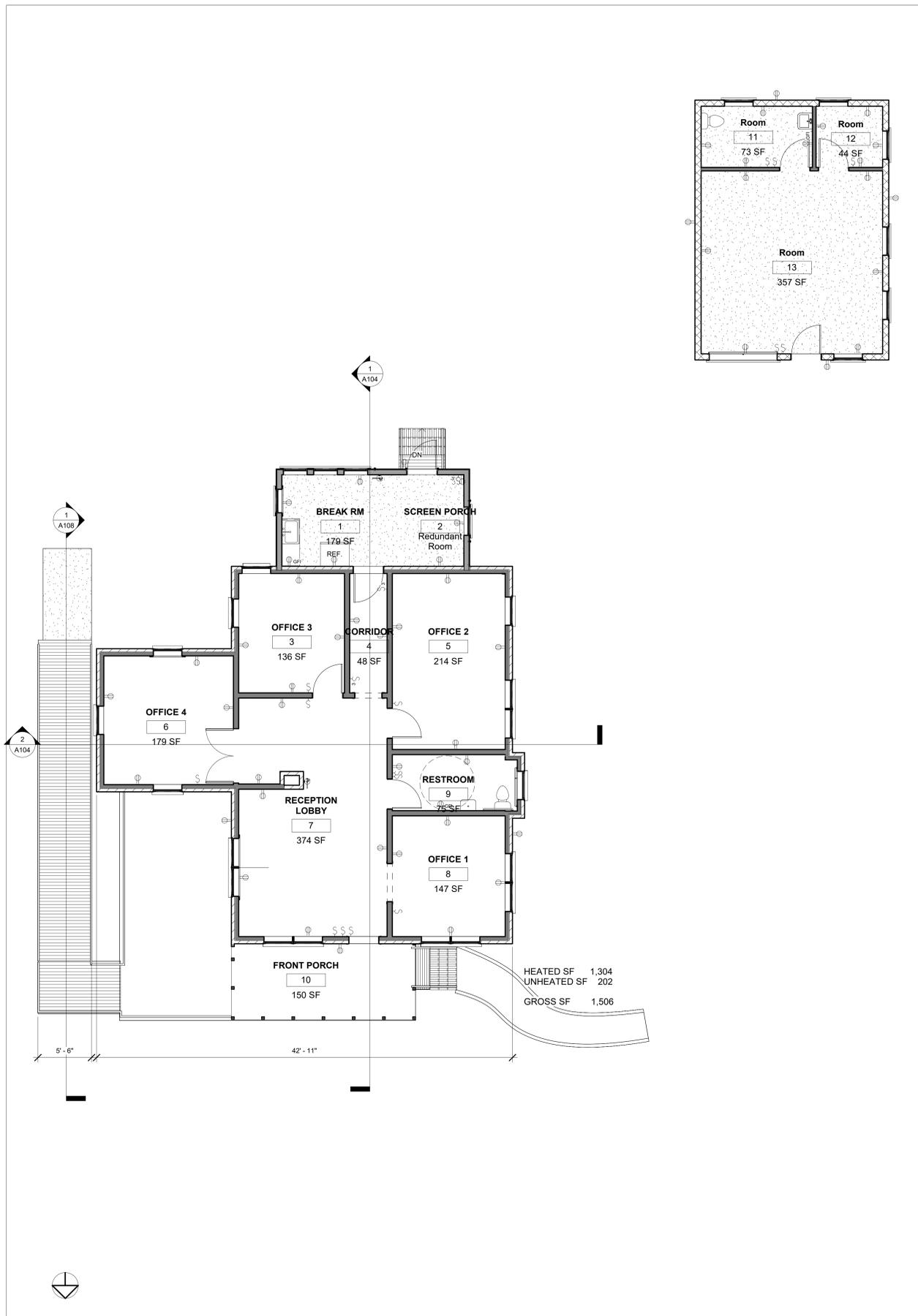
REVISION SCHEDULE REV. NO. REV. DATE

Project Status
DATE: 8 AUGUST 23

FLOOR PLAN

A101

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KEYNOTE LEGEND	
Key Value	Keynote Text
1	EXISTING ROOF TRUSS
2	EXISTING CHIMNEY
3	NEW WINDOWS AS PER SCHEDULE
4	FIRE EXTINGUISHER
5	GYPSUM BOARD CEILING
6	RECESSED LIGHT FIXTURES
7	EXISTING FLOOR JOIST
9	NEW T & G CEILING
10	6 X 8 BEAM
11	EXISTING BRICK
12	EXISTING CMU
14	NEW 2 X 6 KING POST
15	WINDOW TRIM AND SILL



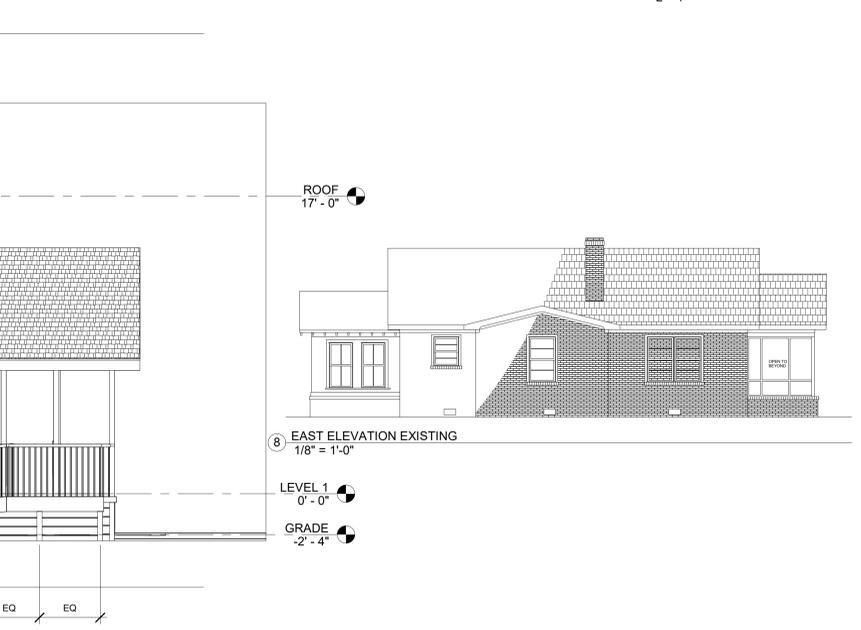
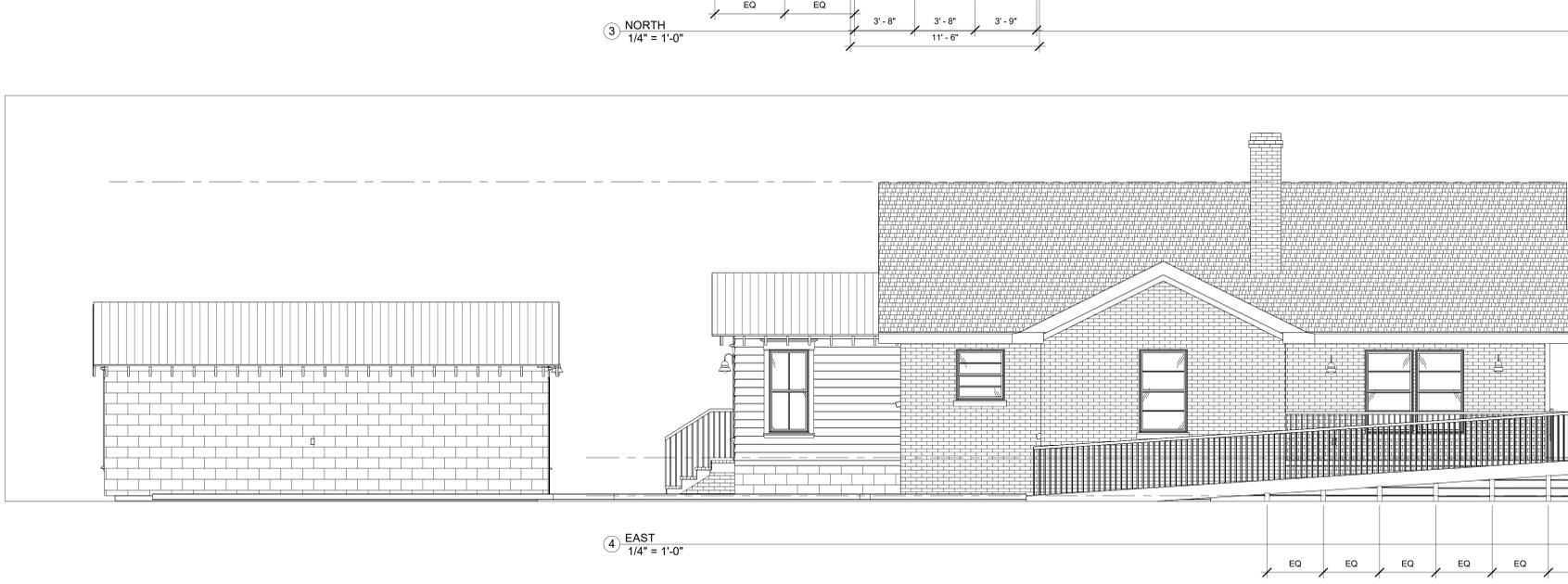
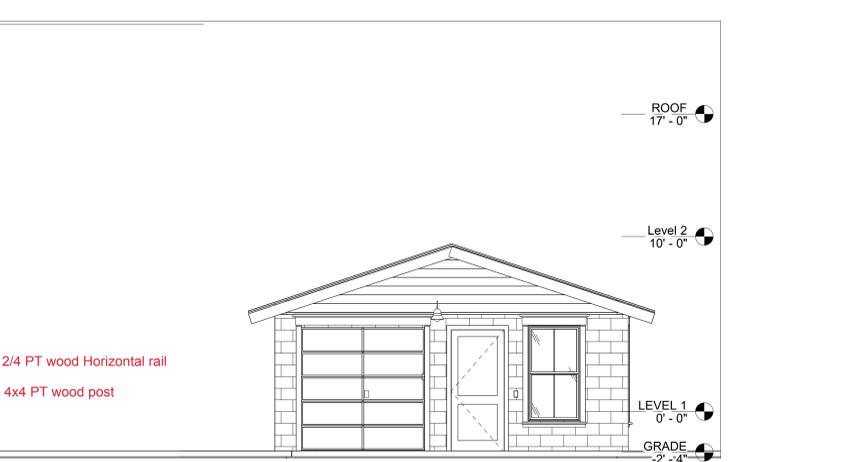
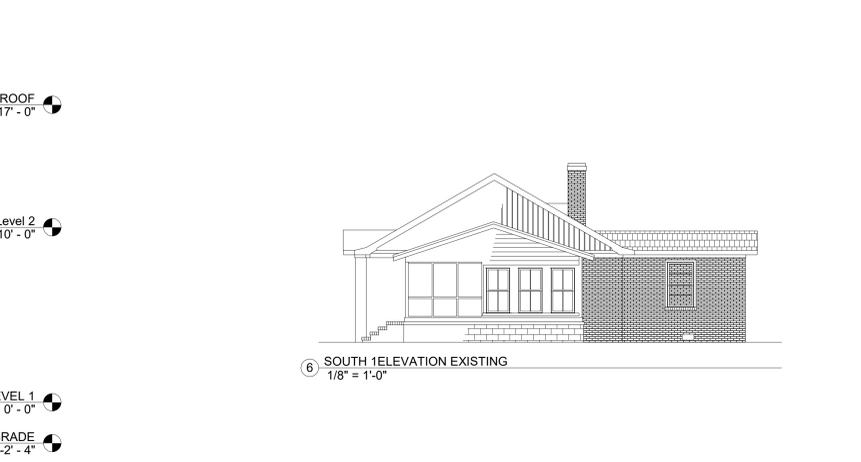
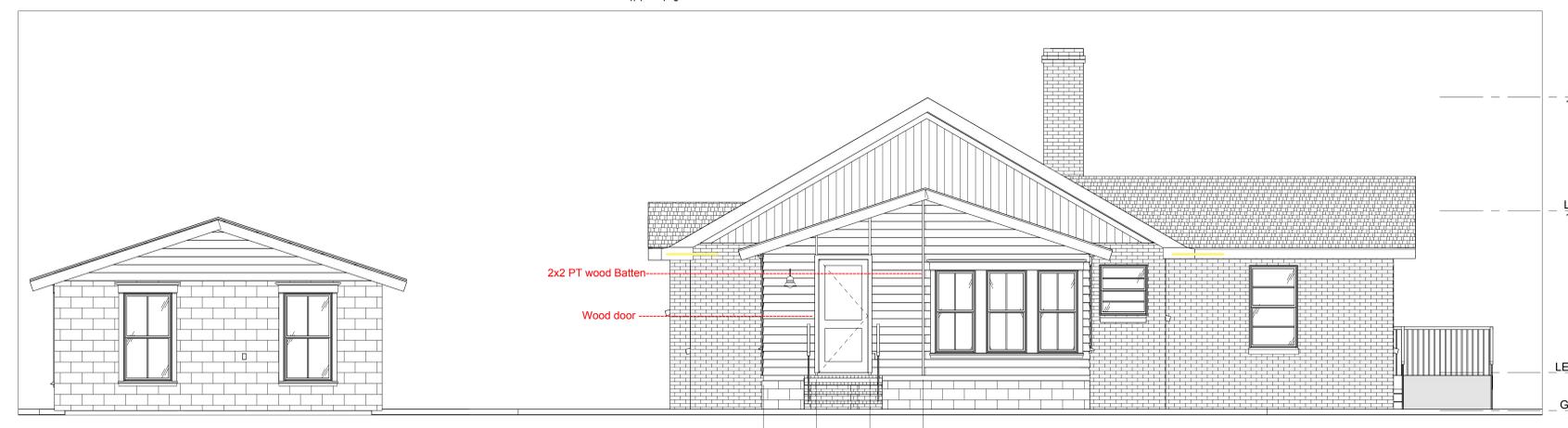
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893 GRAYS HIGHWAY
 RIDGELAND, SC 29936
 PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
 ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23



NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
 BLUFFTON, SC 29910

PROJECT NO.	22044
DRAWN BY: Author	CHECKED BY: Checker
REVISION SCHEDULE	REV. DATE
REV. NO.	REV. DATE
Project Status	
DATE: 8 AUGUST 23	

ELEVATIONS

A103

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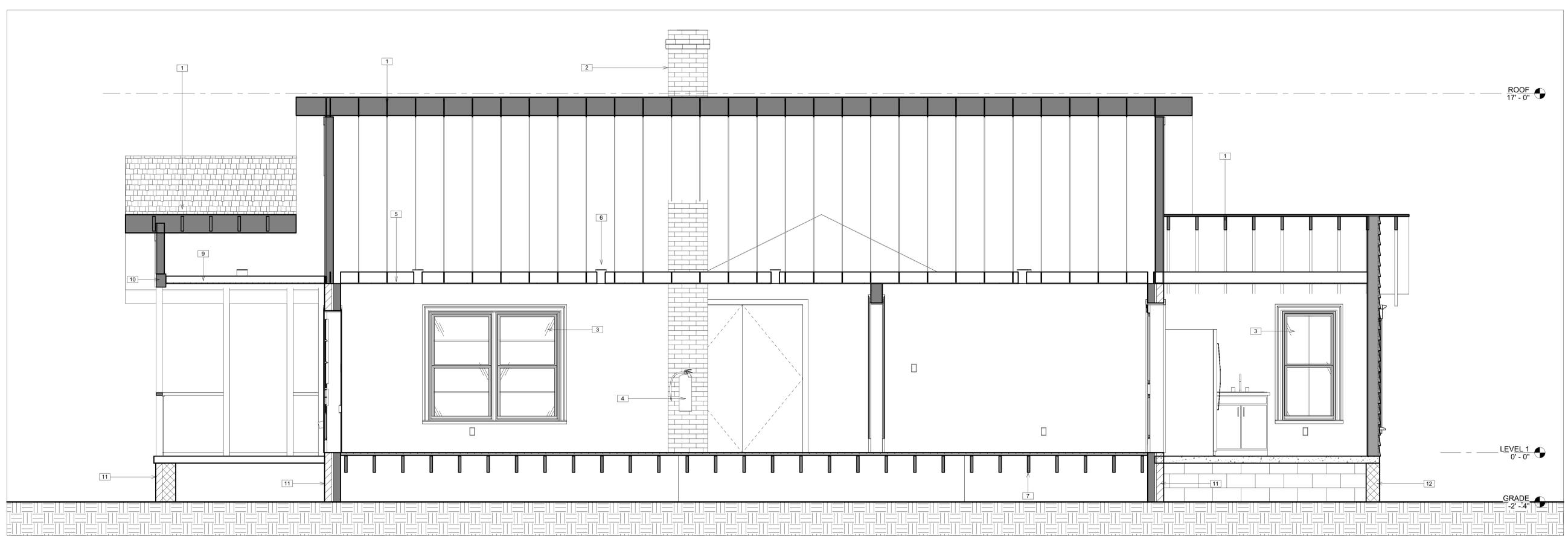
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 PHONE: 843-726-6730

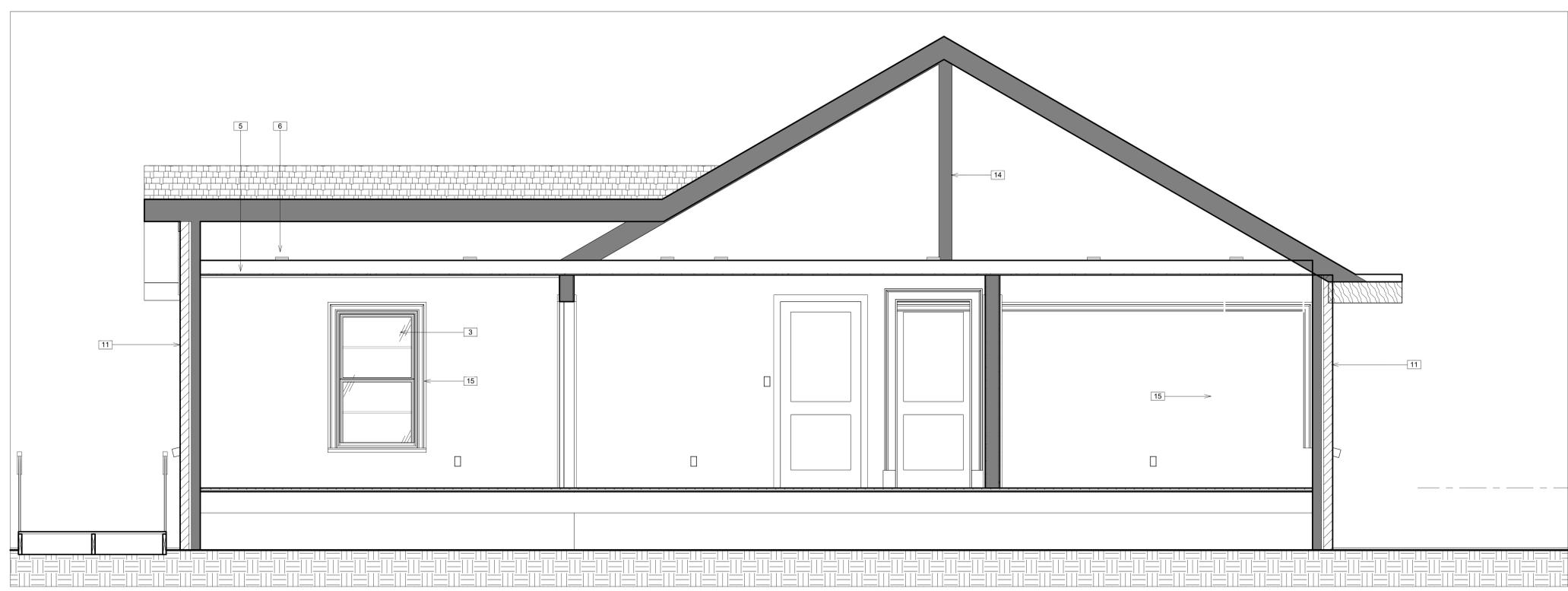
1 HAYWOOD ST., Ste 421
 ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23



1 LONGITUDINAL SECTION
 1/2" = 1'-0"



2 CROSS SECTION
 1/2" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
1	EXISTING ROOF TRUSS
2	EXISTING CHIMNEY
3	NEW WINDOWS AS PER SCHEDULE
4	FIRE EXTINGUISHER
5	GYPSUM BOARD CEILING
6	RECESSED LIGHT FIXTURES
7	EXISTING FLOOR JOIST
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10	6 X 8 BEAM
11	EXISTING BRICK
12	EXISTING CMU
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15	WINDOW TRIM AND SILL

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
 BLUFFTON, SC 29910

PROJECT NO. **22044**

DRAWN BY: Author CHECKED BY: Checker
 REVISION SCHEDULE
 REV. NO. REV. DATE

Project Status
 DATE: 8 AUGUST 23

SECTIONS

A104

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WDA

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RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23



1 3D View 1

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO.	22044
DRAWN BY: Author	CHECKED BY: Checker
REVISION SCHEDULE	REV. DATE
REV. NO.	REV. DATE
Project Status	
DATE: 8 AUGUST 23	

PERSPECTIVE

A105

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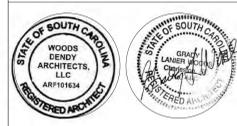
WDA

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PHONE: 843-726-6730

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PERMIT SET 24 MARCH 23



NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE
1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE	REV. NO.	REV. DATE

Project Status
DATE: 8 AUGUST 23

PERSPECTIVE

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1 3D View 1 Copy 1

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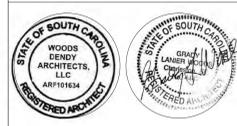


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PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
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NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. **22044**

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE	REV. NO.	REV. DATE

Project Status
DATE: 8 AUGUST 23

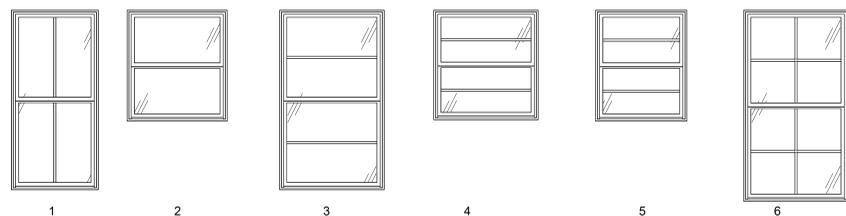
PERSPECTIVE

A107

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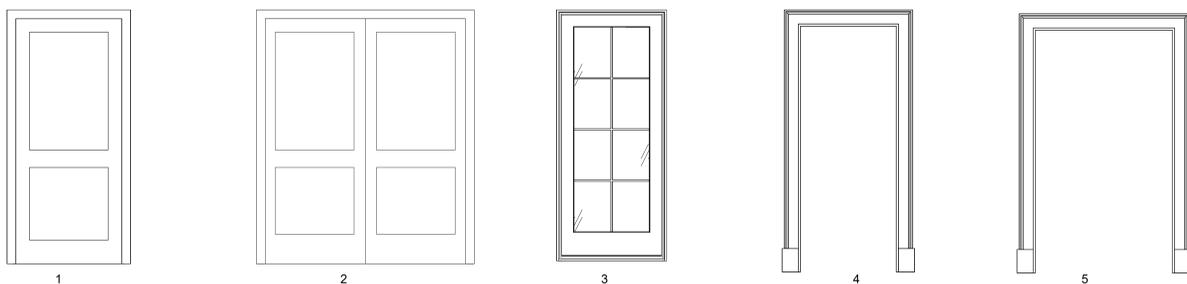


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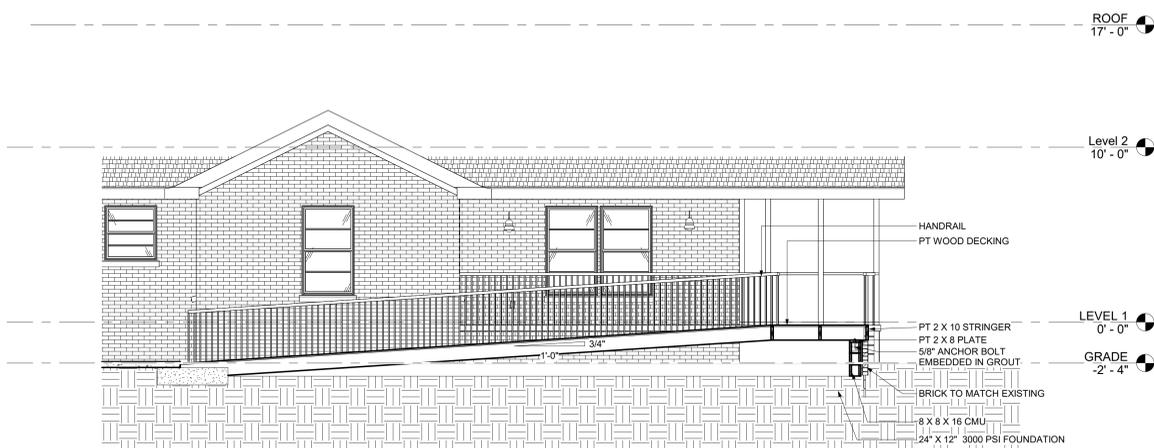
WINDOW SCHEDULE		
Mark	Width	Height
1	2' - 6"	5' - 2"
2	3' - 0"	5' - 2"
3	3' - 0"	5' - 2"
4	3' - 0"	3' - 2"
5	3' - 0"	3' - 2"
6	3' - 0"	5' - 6"

○ WINDOW
1/2" = 1'-0"



DOOR SCHEDULE		
Mark	Width	Height
1	3' - 0"	7' - 0"
2	5' - 8"	7' - 0"
4	2' - 10"	7' - 1"
5	4' - 0"	7' - 0"
8	7' - 0"	7' - 0"
10	3' - 0"	6' - 8"

○ DOOR
1/2" = 1'-0"



① RAMP SECTION
1/4" = 1'-0"

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE

REV. NO. REV. DATE

Project Status
DATE: 8 AUGUST 23

SCHEDULES

A108

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WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS
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RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044
DRAWN BY: Author CHECKED BY: Checker

REVISION SCHEDULE	REV. NO.	REV. DATE

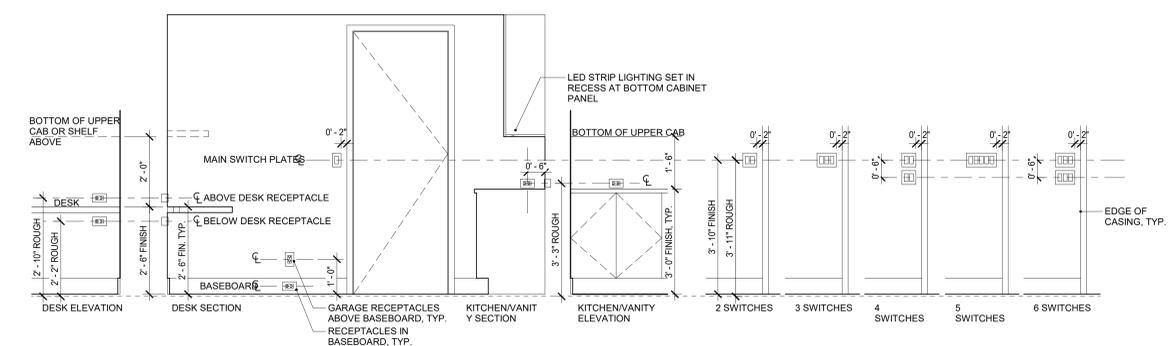
Project Status
DATE: 8 AUGUST 23

PHOTOS
A109

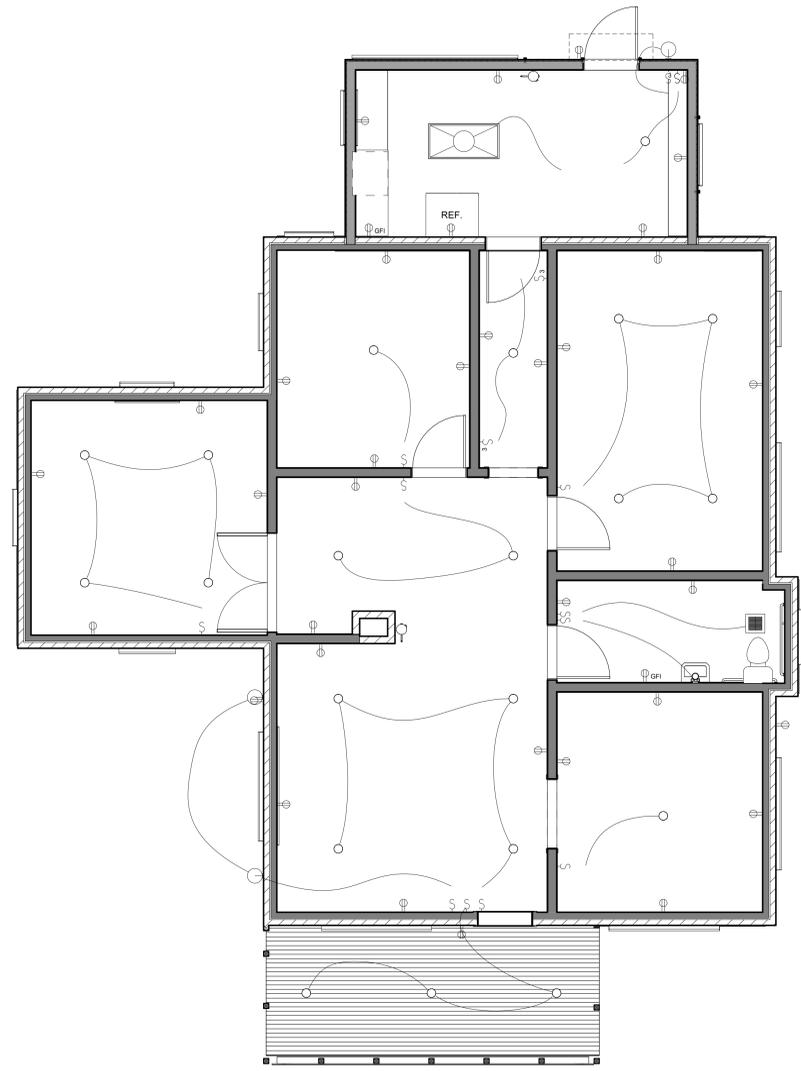
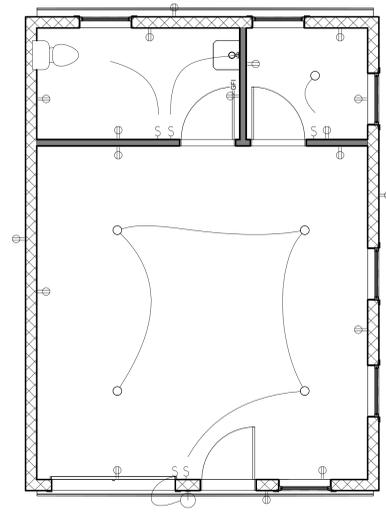
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③ ELECTRICAL MOUNTING HEIGHTS
 1/2" = 1'-0"



① LEVEL 1 POWER & LIGHTING PLAN
 1/4" = 1'-0"

ELECTRICAL LEGEND

<ul style="list-style-type: none"> SWITCH - SINGLE POLE SWITCH - THREE WAY SWITCH - FOUR WAY SWITCH - WITH DIMMER SWITCH - FAN CONTROL SWITCH - SPEAKER CONTROL SWITCH - DOOR JAMB SWITCH - MOTION SENSOR SWITCH - AIR SWITCH SWITCH - DIGITAL TIMER W/ OVERRIDE DOOR SWITCH 110V SINGLE RECEPTACLE 110V DUPLEX RECEPTACLE 110V DUPLEX RECEPTACLE COUNTER TOP HEIGHT 110V DUPLEX RECEPTACLE WITH USB CHARGER 110V DUPLEX RECEPTACLE - HALF SWITCHED 110V DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTOR 110V DUPLEX RECEPTACLE - FLOOR OUTLET 110V DUPLEX RECEPTACLE - WATERPROOF 110V QUADRIplex RECEPTACLE 220V RECEPTACLE RECESSED CLOCK RECEPTACLE DEDICATED REFRIGERATOR RECEPTACLE DEDICATED ICEMAKER RECEPTACLE DEDICATED WINE COOLER RECEPTACLE DEDICATED DISHWASHER RECEPTACLE DEDICATED GARBAGE DISPOSAL RECEPTACLE DEDICATED MICROWAVE RECEPTACLE 110V DUPLEX RECEPTACLE: CEILING OUTLET CEILING MOUNTED LIGHT FIXTURE WALL MOUNTED LIGHT FIXTURE RECESSED LIGHT FIXTURE STEPPED LIGHT FIXTURE UTILITY LIGHT 	<ul style="list-style-type: none"> CEILING FAN ALARM SYSTEM HORN ALARM SYSTEM HORN / STROBE ALARM SYSTEM PULL STATION EMERGENCY BATTERY LIGHT EXIT LIGHT "FANTECH" LIGHT/FAN FIXTURE HARD-WIRED TOWEL WARMER TAPE LIGHTING PLUGMOLD LOW-VOLTAGE CABLE LIGHTING RECESSED TRACK LIGHTING JUNCTION BOX EXHAUST FAN EXHAUST FAN WITH LIGHT SMOKE DETECTOR CARBON MONOXIDE DETECTOR HEAT DETECTOR MOTION DETECTOR TELEPHONE JACK COMPUTER/DATA COMMUNICATIONS JACK CATV JACK THERMOSTAT PUSHBUTTON CEILING MOUNTED SPEAKER LANDSCAPE SPEAKER WALL MOUNTED SPEAKER SOUND SYSTEM - CENTRAL CONTROL LOW VOLTAGE TRANSFORMER PANELBOARD ALARM SYSTEM KEYPAD FIRE ALARM CONTROL PANEL GARAGE DOOR KEYPAD HOME AUTOMATION TOUCHPAD APPLIANCE OUTLET VERIFY VOLTAGE REQUIREMENTS AND APPLIANCE SPECIFIC OUTLET LOCATION
---	---

② ELECTRICAL LEGEND
 1" = 1'-0"

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
 BLUFFTON, SC 29910

PROJECT NO.	22044
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REVISION SCHEDULE	REV. DATE
Project Status	DATE: 8 AUGUST 23

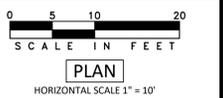
ELECTRICAL POWER AND LIGHTING PLAN

E001



PREPARED FOR:
MAY RIVER PROJECT,
LLC

PROJECT:
1268 MAY RIVER
ROAD SITE
IMPROVEMENTS



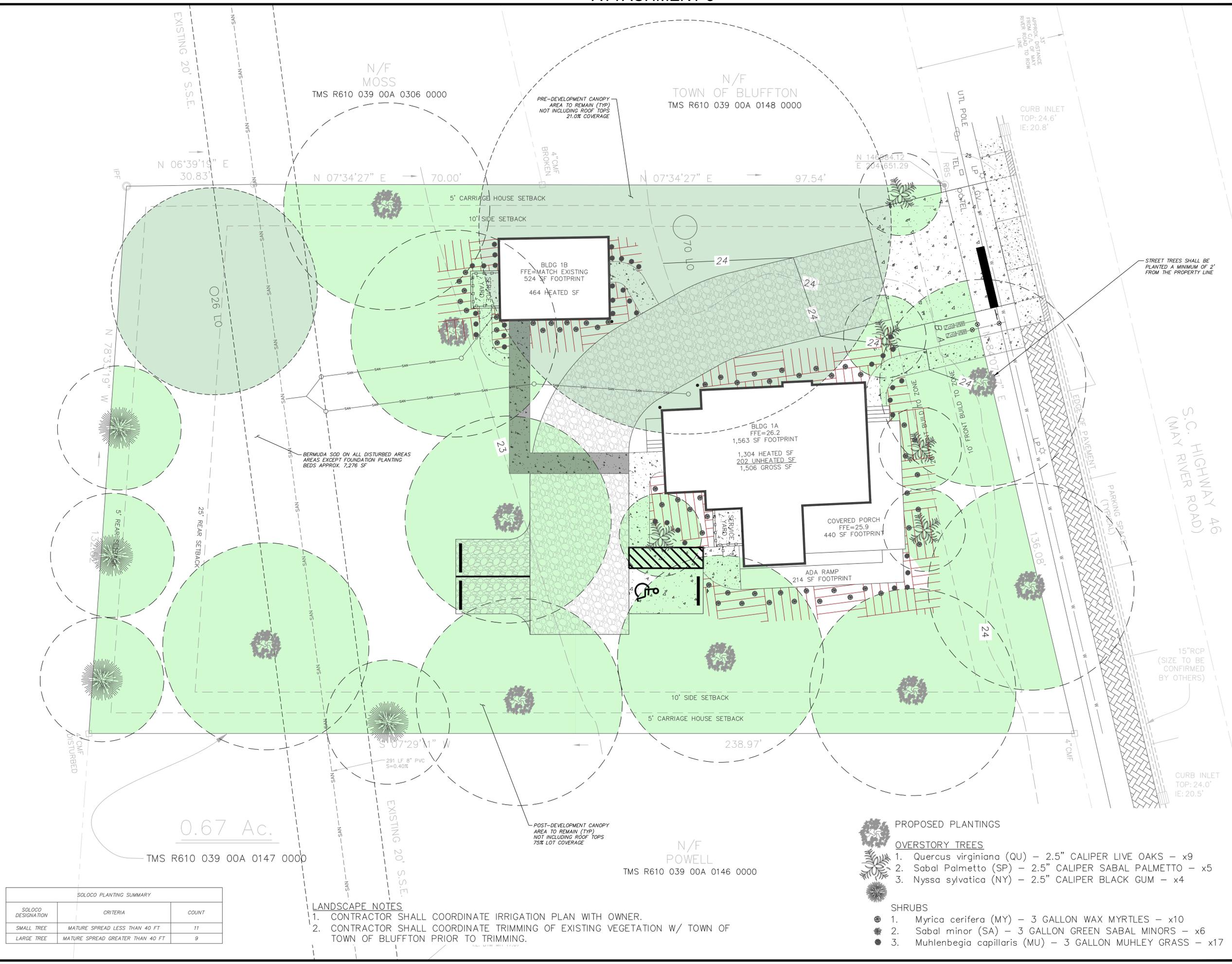
REV #	DATE	DESCRIPTION
1	7/17/2023	ISSUED FOR CONSTRUCTION

DATE 07/17/2023

SHEET NAME

LANDSCAPE PLAN

SHEET NO.



0.67 Ac.

SOLOCO DESIGNATION	CRITERIA	COUNT
SMALL TREE	MATURE SPREAD LESS THAN 40 FT	11
LARGE TREE	MATURE SPREAD GREATER THAN 40 FT	9

LANDSCAPE NOTES

- CONTRACTOR SHALL COORDINATE IRRIGATION PLAN WITH OWNER.
- CONTRACTOR SHALL COORDINATE TRIMMING OF EXISTING VEGETATION W/ TOWN OF BLUFFTON PRIOR TO TRIMMING.

PROPOSED PLANTINGS

OVERSTORY TREES

- Quercus virginiana (QU) - 2.5" CALIPER LIVE OAKS - x9
- Sabal Palmetto (SP) - 2.5" CALIPER SABAL PALMETTO - x5
- Nyssa sylvatica (NY) - 2.5" CALIPER BLACK GUM - x4

SHRUBS

- Myrica cerifera (MY) - 3 GALLON WAX MYRTLES - x10
- Sabal minor (SA) - 3 GALLON GREEN SABAL MINORS - x6
- Muhlenbergia capillaris (MU) - 3 GALLON MUHLEY GRASS - x17



ATTACHMENT 4 PLAN REVIEW COMMENTS FOR COFA-06-23-018141

Section X. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 06/07/2023
Plan Status: Active **Plan Address:** 1268 May River Road
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0147 0000
Plan Description: A request by Shifting Tides, LLC on behalf of the owner, May River Project, LLC, for a review of a Certificate of Appropriateness - HD to renovate the Contributing Resource, known as Nathaniel Brown's Cottage, to include enclosing the rear porch, replacing windows, renovating the front porch, and adding a side patio with ramp, and the renovation of the CMU Carriage House Structure to include removing the shed-roof side addition, and replacing windows and updating the structure. The site is located at 1268 May River Road, in the Old Town Bluffton Historic District and is zoned Neighborhood General- HD.

Status 6.12.23: The Application is slated to be on the July 3, 2023 HPRC agenda.

Staff Review (HD)

Submission #: 1 Received: 06/07/2023 Completed: 06/30/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Watershed Management Review	06/20/2023	Samantha Crotty	Revisions Required

Comments:
Pending Stormwater MS4 conditional approval.

Building Safety Review	06/07/2023	Richard Spruce	Revisions Required
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Comments:
1. Handrails are required on both sides of the stairs.

Growth Management Dept Review (HD)	06/28/2023	Glen Umberger	Approved with Conditions
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Comments:

Summary: 1268 May River Road, alternatively known as "Nathaniel Bluffton's Cottage," was designated by Town Council as a Contributing Resource to the Old Town Bluffton Historic District in 2008. These Contributing Resources are to be visible reminders of the history and cultural heritage of the Town of Bluffton as well as the lowcountry region in accordance with the Standards set forth in the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (UDO 3.18.1.B). Under the Standards, "rehabilitation" is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions, while preserving those portions or features which convey its historical, cultural, or architectural values." Since 1268 May River Road has been vacant for some time, and is not presently being used for its original purpose, rehabilitation is permitted to ensure it remains a "visual reminder of the history and cultural heritage of the Town." Further, rehabilitation "allows alterations and the construction of a new addition, if necessary for a continuing or new use for the historic building." However, since "some exterior and interior alterations to a historic building are generally needed as part of a rehabilitation project to ensure its continued use, but it is most important that such alterations do not radically change, obscure, or destroy character-defining spaces, materials, features, or finishes (See Guidelines). Accordingly, a Certificate of Appropriateness-HD application is required for any alterations, additions, or renovations which must be done in a manner that is consistent with the Secretary of Interior's Standards and Guidelines (UDO 3.18.3.A.). Further, "the existing building's historic character and architecture" must be preserved (UDO 3.18.3.E.) and the HPC will consider "the historic, architectural, and aesthetic features of the [Contributing Resource] including the extent to which its alteration or removal would be detrimental to the public interest" (UDO 3.18.3.F.). While the narrative states that "front porch on the current plan is missing the middle support on this plan but will be added back to be more consistent with existing," the current drawings as submitted do not meet the Guidelines, which states that "[r]emoving or substantially changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished" (Guidelines, p. 110). As such, to meet this Guideline, the final drawings must be updated to ensure that the front porch, which is a character-defining feature of the Resource, is preserved.

Growth Management Dept Review (HD) 06/30/2023 Katie Peterson Approved with Conditions

Comments:

1. At time of final submittal, provide photograph documentation of the existing site. (Applications Manual)
2. At time of final submittal, ensure plans all reflect the materials and configurations intended for construction, including the changes currently listed in the Narrative.
3. At time of final submittal, provide additional information on the windows and doors, proposed for use to ensure compliance with the UDO.
4. Provide additional information indicating the locations where replacement material will need to be used to replace historic material (walls, trim, soffits, etc.). Highlighted areas on elevations may be adequate.

HPRC Review 06/30/2023 Katie Peterson Approved with Conditions

Comments:

1. At time of final submittal, provide all sections and details as required by the Applications Manual.

Beaufort Jasper Water and Sewer Review 06/30/2023 James Clardy Approved

Comments:

No comment provided by Reviewer.

Transportation Department Review - HD 06/08/2023 Megan James Approved

Comments:

No comments

Plan Review Case Notes:

































MEMORANDUM

TO: Historic Preservation Commissioners
 FROM: Town of Bluffton Growth Management Staff
 RE: Site Feature Permits from August 15, 2023 to September 15, 2023
 DATE: 10/4/2023

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
5796 Guilford Place	Hanging Sign for Nelson Law Firm	Katie Peterson	Approved
1302 Promenade Street	Hanging Sign for Whip Salon	Katie Peterson	Approved
38 Boundary Street	Service Yard Fence	Glen Umberger	Approved