



Historic Preservation Commission

Wednesday, January 03, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

[1.](#) December 6, 2023 Minutes

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

[1.](#) **Certificate of Appropriateness:** A request by DePauw Architects, on behalf of the owners, Jill and Steve Duncan, for approval of a Certificate of Appropriateness - HD to construct a new 1-story Carriage House of approximately 754 SF, to be located at 4 Tabby Shell Road, Lot ,4 in the Tabby Roads Development, in the Old Town Bluffton Historic district and zoned Neighborhood General- HD zoning District. (COFA-11-23-018622)(Staff - Katie Peterson)

- 2. Certificate of Appropriateness:** A request by Nicki Jacoby on behalf of the owner, King Tide Custom Homes, for approval of a Certificate of Appropriateness - HD to construct a new 2-story mixed-use building of approximately 2,894 SF for office use on the first floor and one dwelling unit above, to be located at 10 Carroll Court, in the Old Town Bluffton Historic district and zoned Neighborhood Core - HD zoning District. (COFA-09-23-018484)(Staff - Katie Peterson)
- 3. Certificate of Appropriateness:** A request by Court Atkins Architects, Inc. on behalf of the owner, Tidal Creek Investments, LLC for approval of a Certificate of Appropriateness - HD to construct a new 2.5-story mixed-use building of approximately 3,717 SF for office use on the first floor and one dwelling unit above, to be located at 213 Goethe Road, in the Old Town Bluffton Historic district and zoned Neighborhood Core - HD zoning District. (COFA-09-23-018463)(Staff - Katie Peterson)
- 4. Certificate of Appropriateness:** A request by William Court, on behalf of the owners, David and Susan Sewell, for approval of a Certificate of Appropriateness - HD for the construction of a new 2-story single-family residential structure of approximately 2,477 SF and a new 2-story Carriage House of approximately 905 SF to be located at 26 Tabby Shell Road, Lot 14 in the Tabby Roads development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-10-23-018547)(Staff - Katie Peterson)

X. DISCUSSION

- 1.** Discussion Regarding Potential Amendments to the Town of Bluffton Code of Ordinances, Chapter 23 - Unified Development Ordinance (UDO) Relating to Contributing Resources and Architectural Standards in Old Town Bluffton Historic District (Staff - Charlotte Moore)

XI. ADJOURNMENT

NEXT MEETING DATE: Wednesday, February 7, 2024

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers
December 06, 2023

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin
Vice Chairwoman Carletha Frazier
Commissioner Joe DePauw
Commissioner Jim Hess
Commissioner Kerri Schmelter
Commissioner Debbie Wunder

ABSENT

Commissioner Will Guenther

III. ADOPTION OF THE AGENDA

Vice Chairwoman Frazier made a motion to adopt the agenda as written.

Seconded by Commissioner Schmelter.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

IV. ADOPTION OF MINUTES

1. October 4, 2023 Minutes

Commissioner Schmelter made a motion to adopt the minutes as written.

Seconded by Commissioner Hess.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

V. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VI. OLD BUSINESS

VII. NEW BUSINESS

- Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the Owner, Billy Watterson, for review of a Certificate of Appropriateness - HD to allow the construction of a new 3,517 SF 2-story restaurant building, 1,200 SF restaurant Carriage House structure, and 120 SF commercial garden structure in the Ma Daisy's Porch Development Planed area,

on the parcel currently addressed as 1255 May River Road, in the Old Town Bluffton Historic District and zoned Neighborhood General - HD. (COFA-09-23-018501) (Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. The Commission, staff and the applicant discussed each of the staff's conditions in detail.

Commissioner Schmelter made a motion to approve the application with the following conditions:

1. Per Section 3.10 of the UDO, all conditions of the Development Plan Amendment review (DP-02-22-016417) must be addressed, and the Development Plan Amendment approved prior to issuance of a Certificate of Appropriateness.
2. Per Section 5.15.6.G.2. of the UDO, as required for all buildings except single-family houses, an expression line shall delineate the division between the first story and the second story of the accessory structure, as proposed during the meeting to be located at the sill of the second story window.
3. Per Section 5.15.6.H.1.a. of the UDO, the column spacing on the Carriage House must be revised or dimensioned appropriately on plans to show they are spaced no farther apart than they are tall when measured on center.
4. It was determined that the Type F, which is sliding in operation, is appropriate as a deviation to the operations permitted in Section 5.15.6.3.b. of the UDO, due to the use of the building, location of the building on the lot, and placement of the window towards the back of the structure, interior to a porch, and facing interior to the site.
5. Per the Applications Manual, any proposed signage requires separate Site Feature-HD approval.
6. Per Section 5.15.6.G.3. of the UDO, provide additional detail on the metal siding for the Garden Structure to ensure it is either reclaimed from the site or recycled material for use as a wall material.
7. In accordance with Section 5.15.5.F.4.e. of the UDO, align the door on the left elevation to be centered under the window and between the columns if possible, or to get it as close as possible to aligned. Final placement to be reviewed by staff.
8. Work with staff on the placement of the hood system, service platform, and access ladder. The hood system is to remain on the back portion of the roof, with the platform minimized using a restraint anchorage connector device rather than railings with flashing and curbing painted to match the roof or may be relocated to the rear elevation in the gable end. Ladder length should be minimized where possible.
9. Work with staff on downspout locations as they are not currently shown on the elevations.

Seconded by Commissioner Hess.

Voting Yea: Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

2. **Certificate of Appropriateness- Demolition:** A request by Ansley Hester Manuel, Architect, on behalf of the owner, Sara Harwell Kelly, for the review of a Certificate of Appropriateness - HD Demolition for the removal, in whole, of the existing 800 SF single-family residence and 120 SF

shed located at 77 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation -HD. (COFA-07-23-018245) (Staff - Katie Peterson)

Chairman Goodwin returned to the dais. Staff presented. The applicant was in attendance. There were no comments from the Commission nor the applicant.

Commissioner DePauw made a motion to approve the application for demolition.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

- 3. Certificate of Appropriateness:** A request by Ansley Hester Manuel, Architect, on behalf of the owner, Sara Harwell Kelly, for the review of a Certificate of Appropriateness - HD for the construction of a new one-story single-family residential structure of approximately 1,710 SF and a new one-story Carriage House of approximately 705 SF to be located at 77 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation -HD. (COFA-06-23-018189)(Staff - Katie Peterson)

Staff presented. The applicant was in attendance. The Commission had no questions for the applicant.

Commissioner Schmelter made a motion to approve the application with the following condition:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required, and any mitigation associated with the permit satisfied prior to Final-HD inspection approval.

Seconded by Commissioner Hess.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

- 4. Adoption of 2024 Historic Preservation Commission Meeting Dates:** (Staff - Katie Peterson)

Commissioner DePauw made a motion to adopt the 2024 Historic Preservation Commission meeting dates.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

- 5. Adoption of 2024 Historic Preservation Review Committee Meeting Dates:** (Staff - Katie Peterson)

Commissioner DePauw made a motion to adopt the 2024 Historic Preservation Review Committee meeting dates.

Seconded by Commissioner Schmelter.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff reviewed the Site Feature Report for the previous month.

IX. ADJOURNMENT

Vice Chairwoman Frazier made a motion to adjourn.

Seconded by Commissioner Schmelter.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

The meeting was adjourned at 7:22pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	January 3, 2024
PROJECT:	4 Tabby Shell Road, Lot 4 - New Construction: Carriage House
APPLICANT:	DePauw Architects, Joe DePauw
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, DePauw Architects, on behalf of the owners, Jill and Steve Duncan, request that the Historic Preservation Commission approve the following application:

1. **COFA-11-23-018622.** A Certificate of Appropriateness- HD to construct a new 1-story Carriage House of approximately 754 SF, to be located at 4 Tabby Shell Road, Lot ,4 in the Tabby Roads Development, in the Old Town Bluffton Historic district and zoned Neighborhood General- HD zoning District.

INTRODUCTION: The Applicant has proposed the construction of a one-story Carriage House in the Old Town Bluffton Historic District. The proposed structure, of approximately 754 SF has characteristics of a Carriage House Building Type and meets the setbacks for the same. The site is located within the Tabby Roads Development Plan.

The structure features two forward-facing gable roofed masses connected by a main, side-facing gabled roof. The right side contains a 168 SF enclosed storage space, with the remainder of the structure unenclosed. The materials include 5-V metal roof to match the primary structure, smooth Hardie Plank siding and wood slat screening on the open end of the structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the December 4, 2023 meeting and comments were provided to the Applicant (See Attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user

friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a Carriage House structure will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 1. 5.15.6.F. Carriage House. Carriage House structures must be of the same general character as the primary structure. The primary structure includes brackets perpendicular to the ground in the gabled end, simple 6" columns without caps and bases, and a variety of casement windows with wide horizontal rails for Double Hung appearance. The Carriage House proposes a more truss style bracket detail in the gabled ends, 8" box columns with base, and double hung windows with smooth Hardie panels below. Provide a better relationship between the proposed Carriage House and primary structure through consistency in the detailing of the two structures.

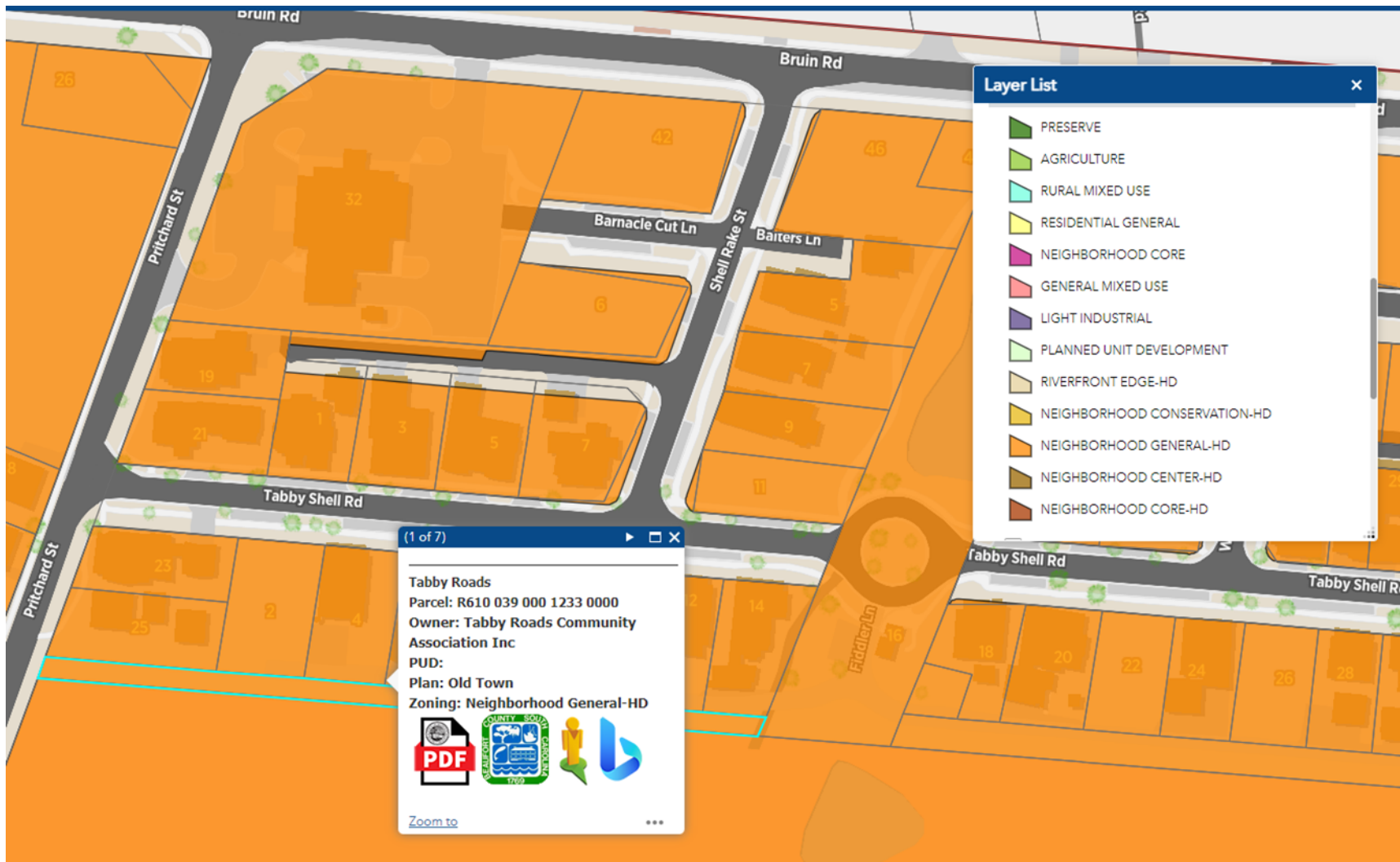
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.
 - a. *Finding.* Town Staff finds that if the architectural and landscaping items in Section 2 have been met, the nature and character of the new construction will be consistent with that of the surrounding neighborhood.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.
 - a. *Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.
5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.
 - a. *Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Provide a better relationship between the proposed Carriage House and primary structure through consistency in the detailing (bracketing, columns, windows) of the two structures.
2. Update Slat Application Concept to indicate left elevation, as reflected on elevations.

ATTACHMENTS:

1. Location Map and Zoning Maps
2. Application
3. Narrative
4. Site Plan & Elevations
5. HARB Approval Letter
6. HPRC Report





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
 20 Bridge Street
 Bluffton, SC 29910
 (843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: DePauw Architects, Joe DePauw		Name: Jill & Steve Duncan	
Phone: 843-284-7848		Phone: 508-277-9300	
Mailing Address: PO Box 688 Bluffton, SC 29910		Mailing Address: 4 Tabby Shell Road Bluffton, SC 29910	
E-mail: joe@depauw.studio		E-mail: jill.gaston1@gmail.com	
Town Business License # (if applicable): LIC-04-23-048835			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: A Parking Pavilion for the Duncan Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 4 Tabby Shell Road		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General HD		Application for:	
Acreage: 0.15		<input type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1184 0000		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: A new two-bay carport with storage room.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Signature: <u>Jill Duncan</u> <small>Jill Duncan (Dec 4, 2023 20:05 EST)</small>	Date: 04/12/2023
Applicant Signature: <u>[Signature]</u>		Email: <u>jill.gaston1@gmail.com</u>	Date: <u>12/4/23</u>
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION
PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATT 2

Section IX. Item #1.

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Accessory Structure CARRIAGE HOUSE					
Building Setbacks	Front: 6	Rear: 3	Rt. Side: 3	Lt. Side: 3	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure	Existing Main House	1,970			
Ancillary	Parking Pavilion	0		754	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			2,415		
Impervious Drive, Walks & Paths			88		
Open/Covered Patios			0		
A. TOTAL IMPERVIOUS COVERAGE			2,503		
B. TOTAL SF OF LOT			6,740		
% COVERAGE OF LOT (A/B= %)			37%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete w Rock Salt Finish	Columns			
Walls	Hardieplank Lap Siding	Windows	Clad Wood		
Roof	5-V Metal Roofing	Doors	Wood		
Chimney	N/A	Shutters	N/A		
Trim	Hardietrim	Skirting/Underpinning	N/A		
Water table	N/A	Cornice, Soffit, Frieze	Hardietrim		
Corner board	Hardietrim	Gutters	N/A		
Railings	N/A	Garage Doors	N/A		
Balusters	N/A	Green/Recycled Materials			
Handrails	N/A				



ATT 2

TOWN OF BLUFFTON **CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON** **HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATT 2

Section IX. Item #1.

TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature: Jill Duncan

04/12/2023

Signature of Property Owner or Authorized Agent
 Email: jill.gaston1@gmail.com

Date

Jill Duncan

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

Date

JOSEPH DERAUN

Printed Name of Applicant

December 6, 2023

Growth Management Service Center
20 Bridge Street
Bluffton, SC 29910

Re: Final COA-HD Submission
A Parking Pavilion for the Duncan Residence
4 Tabby Shell Road
Bluffton, SC 29910



Katie,

In support of our Final COA-HD submission for the Parking Pavilion for the Duncan Residence, we are providing the following project narrative.

Project Narrative

The Duncan's aim to add covered off-street parking and storage for outdoor needs to their home. Rather than build an enclosed garage, they intend to build an open structure to maintain open views to the woods from their screened porch and breezes across their back yard. The carport bays are organized to allow the space to be used as a covered porch for family gatherings.

The resulting structure is a two-bay parking pavilion with attached storage room. The structure is primarily open with horizontal hog fencing on the open end to provide limited screening and a tie-in to the existing fencing. The storage room will be lap siding to match the home is organized below the same unbundled roof structure.

In addition, we are providing the below responses to the comments received during HPRC review:

1. Items identified by the HarB in their prelim approval all need to be addressed and a letter indicating the changes meet their requirements provided at the time of final submittal.
 - a. We have revised the plans per the HARB's approval conditions.
2. Setback for Carriage House structures is 5.
 - a. We have relocated the structure inside the 7'-6" side setbacks as required by the conditions of the HARB approval.

ATTACHMENT 3

Section IX. Item #1.

3. Provide information on left elevation of storage area.
 - a. Section 5/A201 has been added which depicts this elevation.
4. As the project moved toward final submittal, provide architectural details for the typical window and door, water table trim, corner board, a section through the eave.
 - a. These drawings may be found on sheet A501.

We look forward to the HPC's review. If you require additional information about the project ahead of the meeting, please let me know.

Thank you for your time and consideration,

A handwritten signature in dark ink, appearing to read "Joseph DePauw". The signature is stylized with a large, looped "D" and "P".

Joseph DePauw, AIA
Principal, DePauw Architects

MAIN RESIDENCE

SCREEN PORCH

PAVILION

STORAGE

PORCH

NEW 6'-0" TALL
SERVICE YARD
ENCLOSURE

EXISTING FENCE
TO REMAIN

EXISTING LANDSCAPE
SCREENING TO REMAIN

7'-6" BUILDING SETBACK

7'-6" BUILDING SETBACK

3'-0" ACCESSORY STRUCTURE SETBACK

16.75% REAR
BUILDING SETBACK

EXISTING ALLEY GRADING TO REMAIN

10'-0" ACCESS EASEMENT

FIN. GRADE
+4'-0"-7"

FIN. GRADE
+4'-0"-5"

FIN. GRADE
+4'-0"-6"

T.O.S.
+4'-0"-7"

T.O.S.
+4'-0"-8"

T.O.S.
+4'-0"-6"

EXISTING
GRADE
+0'-0"-5"

RAISE GRADE TO
PROVIDE POSITIVE
DRAINAGE AROUND
NEW STRUCTURE

SLOPE GRADE 2% MIN.

SLOPE GRADE 2% MIN.

EXISTING GRADE
(REFERENCE POINT)
+4'-0"-0"

EXISTING GRADE
(REFERENCE POINT)
+4'-0"-0"

MAINTAIN EXISTING GRADE

MAINTAIN EXISTING GRADE

REMOVE
FENCE AS
INDICATED

REMOVE
GRAVEL DRIVE

CONCRETE APRON W/
ROCK SALT FINISH

TR. 2x6 TOP CAP
- SLOPE TO DRAIN
TOWARDS
INTERIOR OF YARD

EXTERIOR

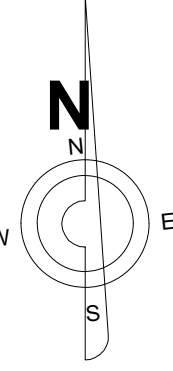
INTERIOR

GROUND CONTACT
TR. 5/4x6'S W/ 1" GAP

GROUND CONTACT
TR. 4x4 POST
- SET POST IN
CONCRETE
- 6" OF # 57 STONE
IN FILTER CLOTH

NEW FENCE DETAIL

1" = 1'-0"

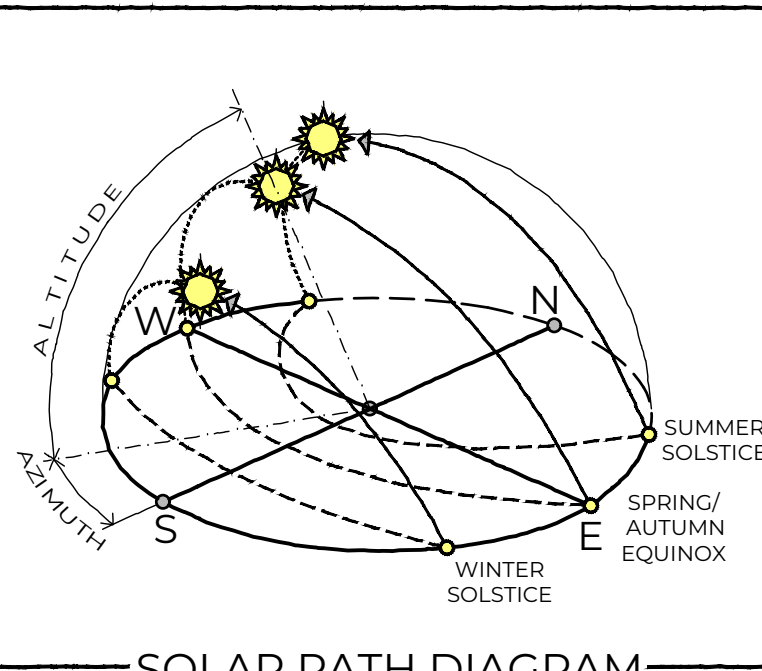


SITE PLAN

1/4" = 1'-0"



VICINITY MAP



SOLAR PATH DIAGRAM

Section IX, Item #1.

DePAUW
ARCHITECTS

POST OFFICE BOX 688
BLUFFTON, SC 29910

(843) 284-7848
WWW.DEPAUW.STUDIO

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A PARKING PAVILION FOR
THE DUNCAN RESIDENCE
4 TABBY SHELL ROAD
TABBY ROADS
BLUFFTON, SC 29910

REVISIONS	
PROJECT NO.	2328
CONTACT	JAD
DATE	12.5.2023
SHEET	

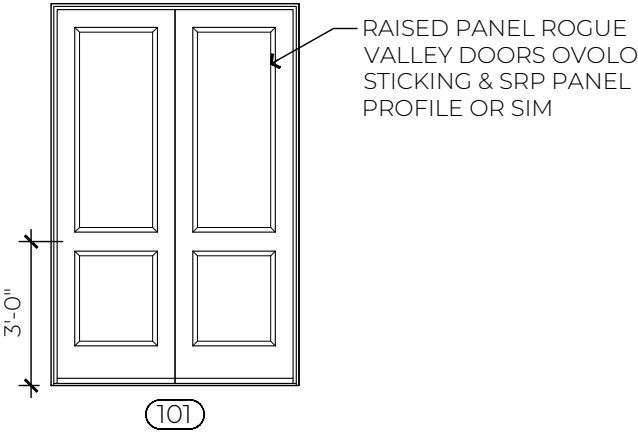
A101

DOOR SCHEDULE

DOOR NO.	NOMINAL SIZE (SEE NOTES)			LABEL	HEAD JAMB HEIGHT (SEE NOTE 2)	TYPE	MATERIAL	REMARKS
	W	H	Th					
101	(2) 2'-6"	8'-0"	1 1⁄2"	---	±8'-0"	PANELED PAIR	WOOD	SEE ELEVATION, PAINT WHITE TO MATCH HOUSE DOORS

NOTE 1: NOT USED

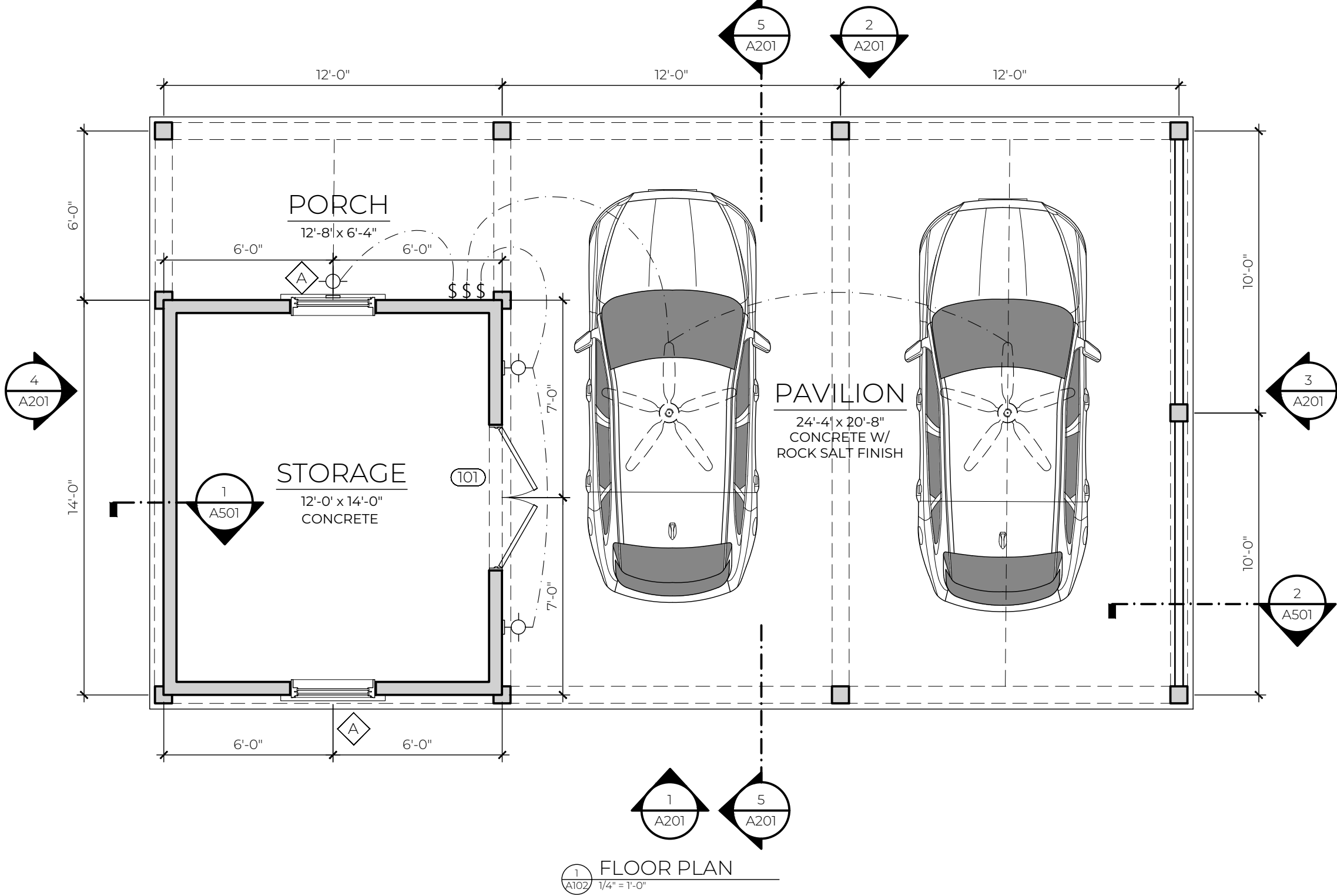
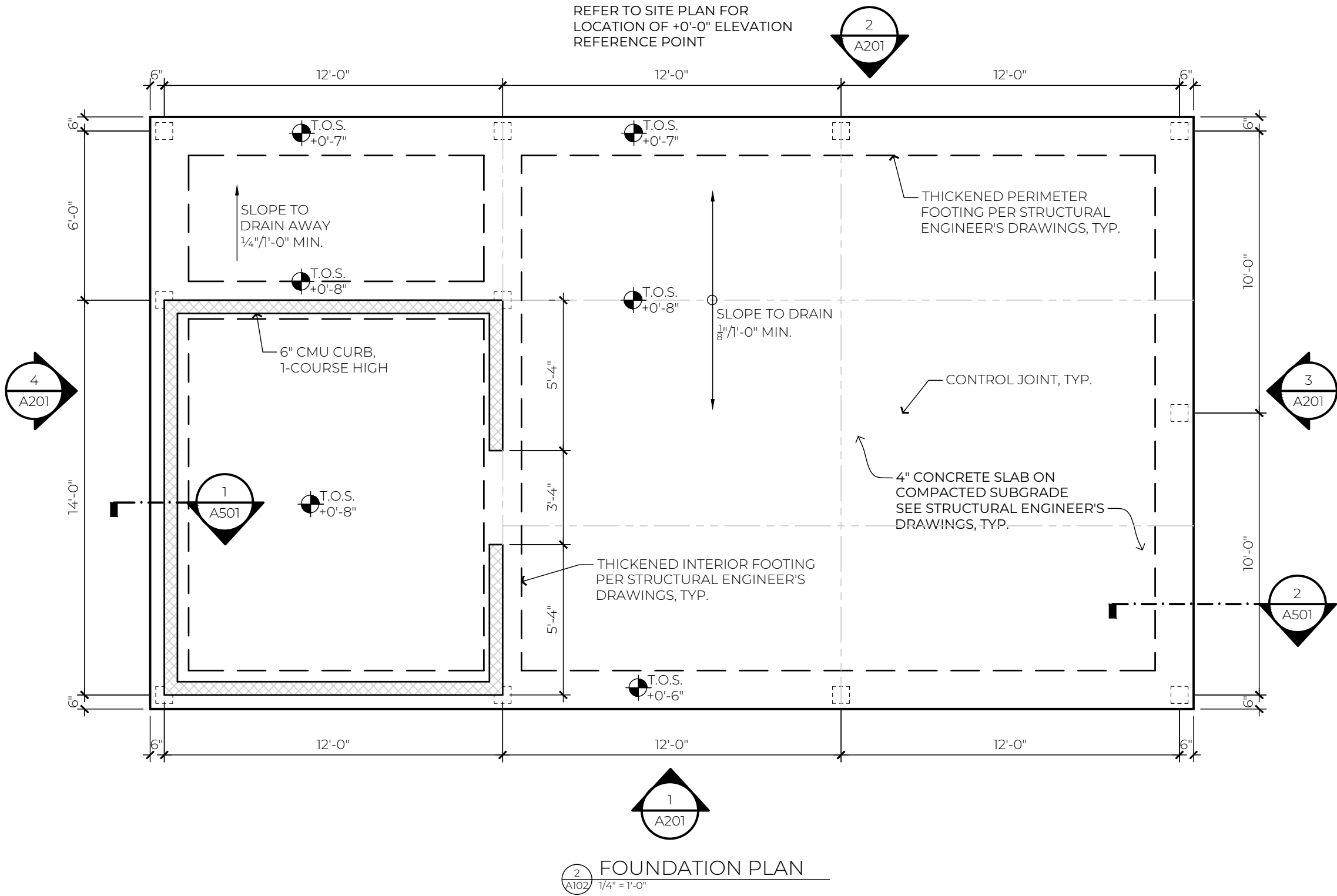
- NOTE 2: G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT./EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL DOORS AND TRANSOMS TO HAVE 3⁄8" OGEE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLs) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: NOT USED
- NOTE 5: ALL OVERHEAD GARAGE DOORS TO BE CHI; PVC OVERLAY CARRIAGE HOUSE; SQUARETOP #3; SINGLE SQUARE TOP MADISON WINDOWS; PLAIN GLASS
- NOTE 6: NOT USED
- NOTE 7: ALL INTERIOR DOORS TO BE MASONITE; G.C. TO ADJUST HEIGHT AS REQUIRED TO ALIGN T.O. HEAD JAMB WITH ALL APPLICABLE EXTERIOR WINDOW AND DOOR HEAD JAMBS.
- NOTE 8: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-01.
- NOTE 9: DP 50 RATING OR APPROVED EQUIVALENT AS SPECIFIED BY STRUCTURAL ENGINEER TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 10: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 11: PROVIDE EGRESS AS REQUIRED TO MEET IRC 2018 SECTION R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 12: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC 2018 SECTION R308 FOR DOOR GLAZING.
- NOTE 13: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH 2018 IRC SECTION R301.2.1.2. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



WINDOW SCHEDULE

MARK	TYPE	LABEL	HEAD JAMB HEIGHT (SEE NOTE 2)	EXTERIOR MATERIAL	EXTERIOR FINISH	HARDWARE FINISH
A	DH	ELDH3664	±9'-0"	ULTREX CLAD	STONE WHITE	T.B.D.

- NOTE 1: SIZES ARE BASED ON MARVIN ELEVATE. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: G.C. TO COORDINATE ALL WINDOW/DOOR HEAD JAMB HEIGHTS WITH EXTERIOR DOOR MANUFACTURER & INSTALLATION INSTRUCTIONS TO ENSURE BOTTOM OF ALL INT./EXT. WINDOW & DOOR HEAD JAMBS ALIGN WHERE APPLICABLE.
- NOTE 3: ALL WINDOWS TO HAVE 3⁄8" OGEE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLs) AS SHOWN - SEE ELEVATIONS.
- NOTE 4: G.C. TO COORDINATE BRICK MOULD CASING ON ALL APPLICABLE WINDOWS.
- NOTE 5: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-01.
- NOTE 6: DP 50 RATING OR APPROVED EQUIVALENT AS SPECIFIED BY STRUCTURAL ENGINEER TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 7: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 8: PROVIDE EGRESS AS REQUIRED TO MEET IRC 2018 SECTION R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 9: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC 2018 SECTION R308 FOR WINDOW GLAZING.
- NOTE 10: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.1.2 OF THE 2018 IRC. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

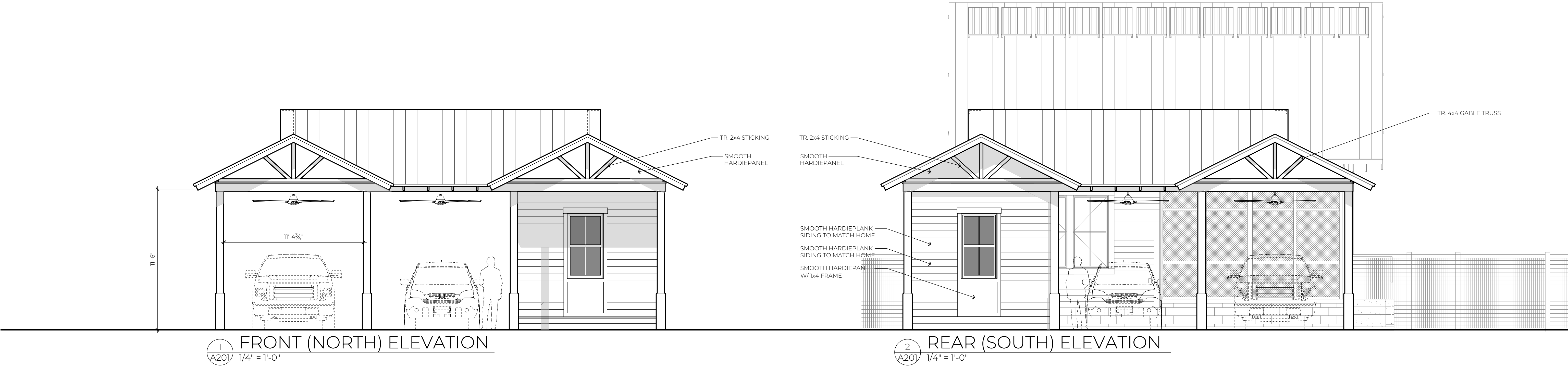


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A PARKING PAVILION FOR
THE DUNCAN RESIDENCE
4 TABBY SHELL ROAD
TABBY ROADS
BLUFFTON, SC 29910

REVISIONS	
PROJECT NO.	2328
CONTACT	JAD
DATE	12.5.2023
SHEET	



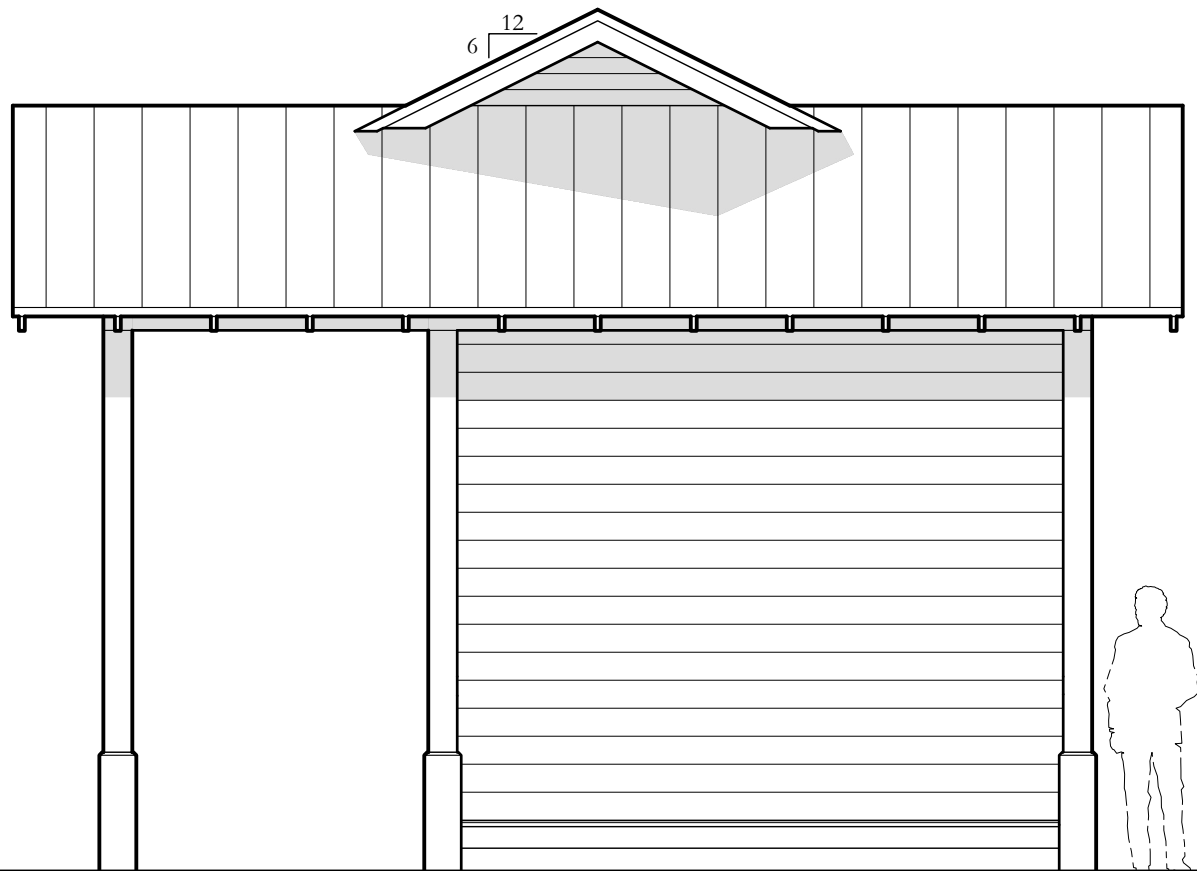
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SLAT APPLICATION CONCEPT
(SLATS WILL ONLY BE ON THE RIGHT SIDE)

- First Floor
3' - 0"
- Ground ELEV 23'-0"

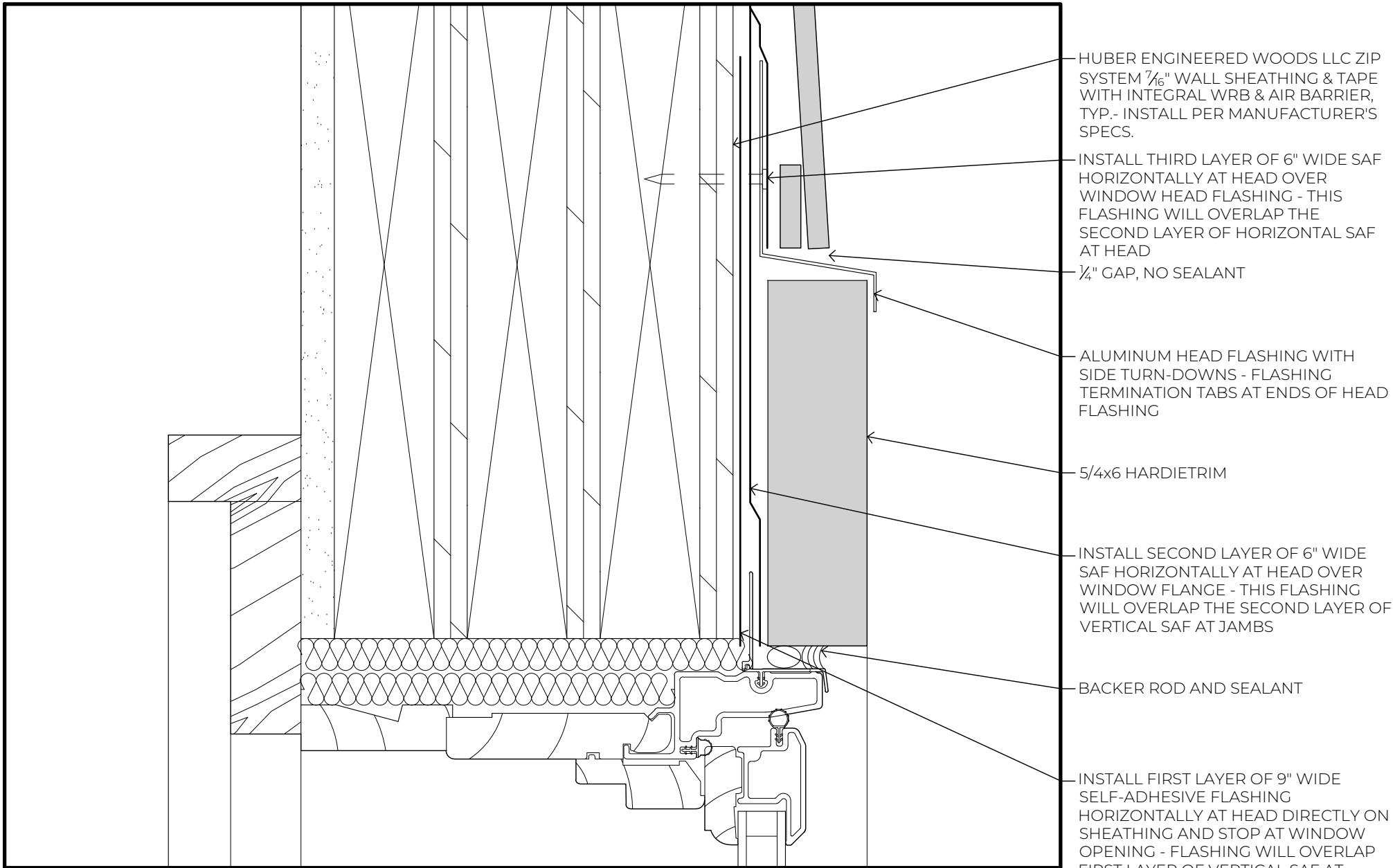


RIGHT (WEST) ELEVATION
1/4" = 1'-0"

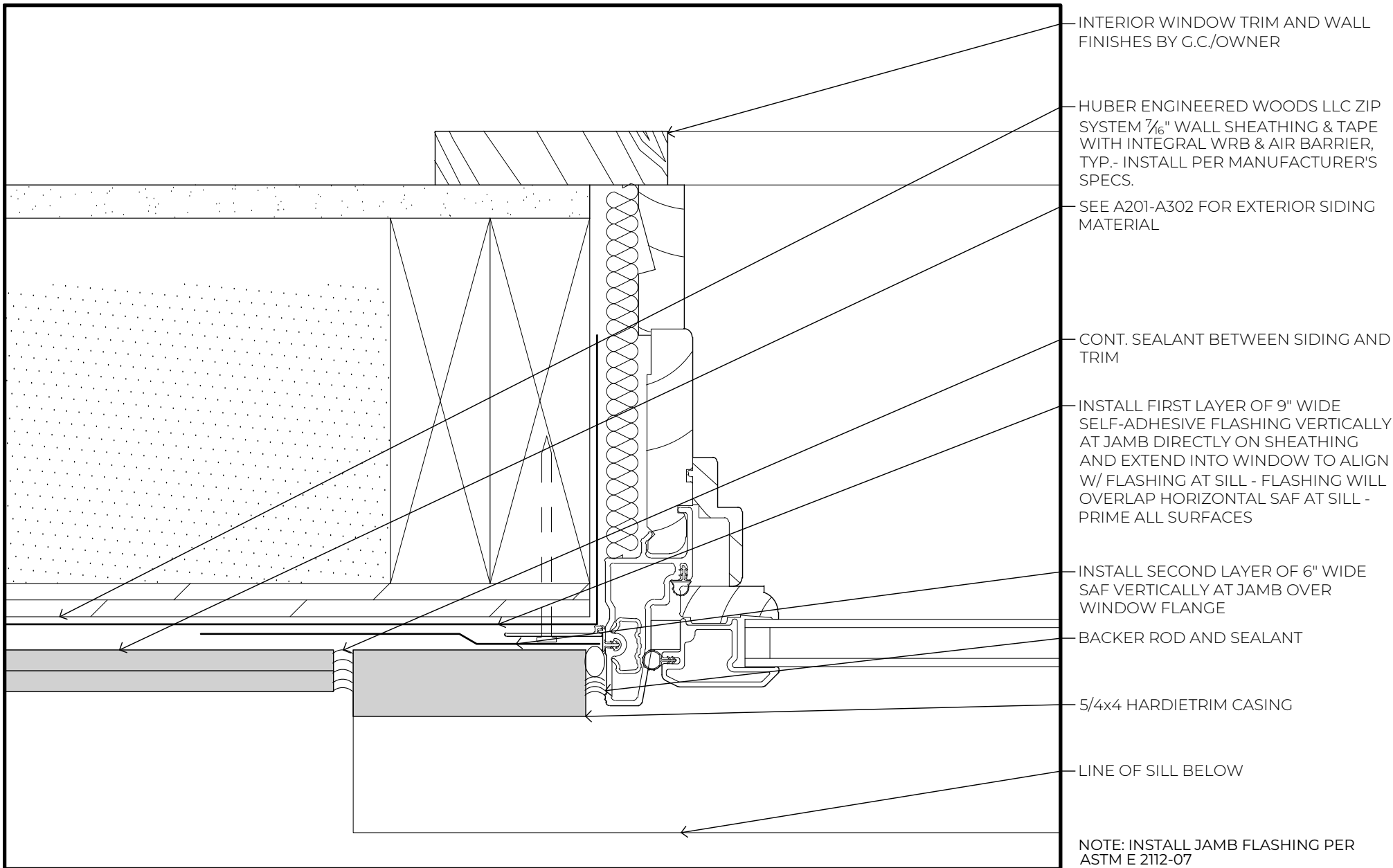
A PARKING PAVILION FOR
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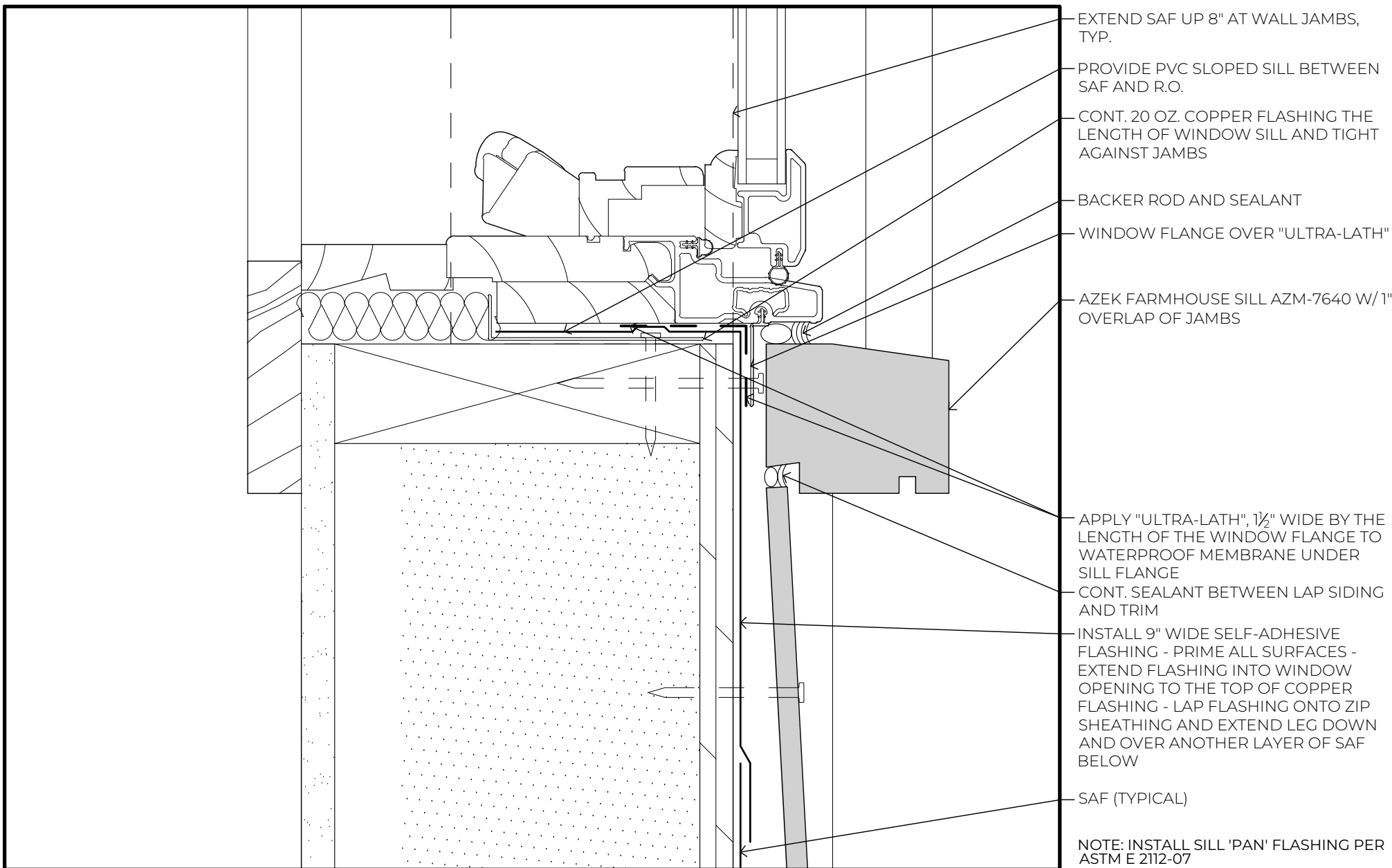
A201



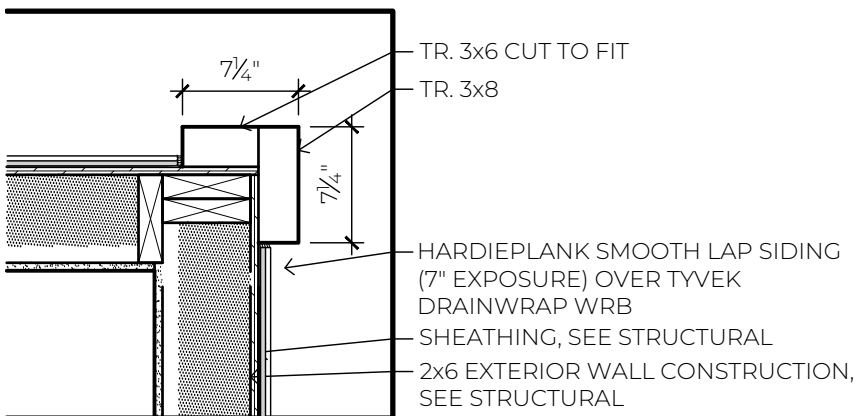
5A WINDOW HEAD
1" = 1'-0"



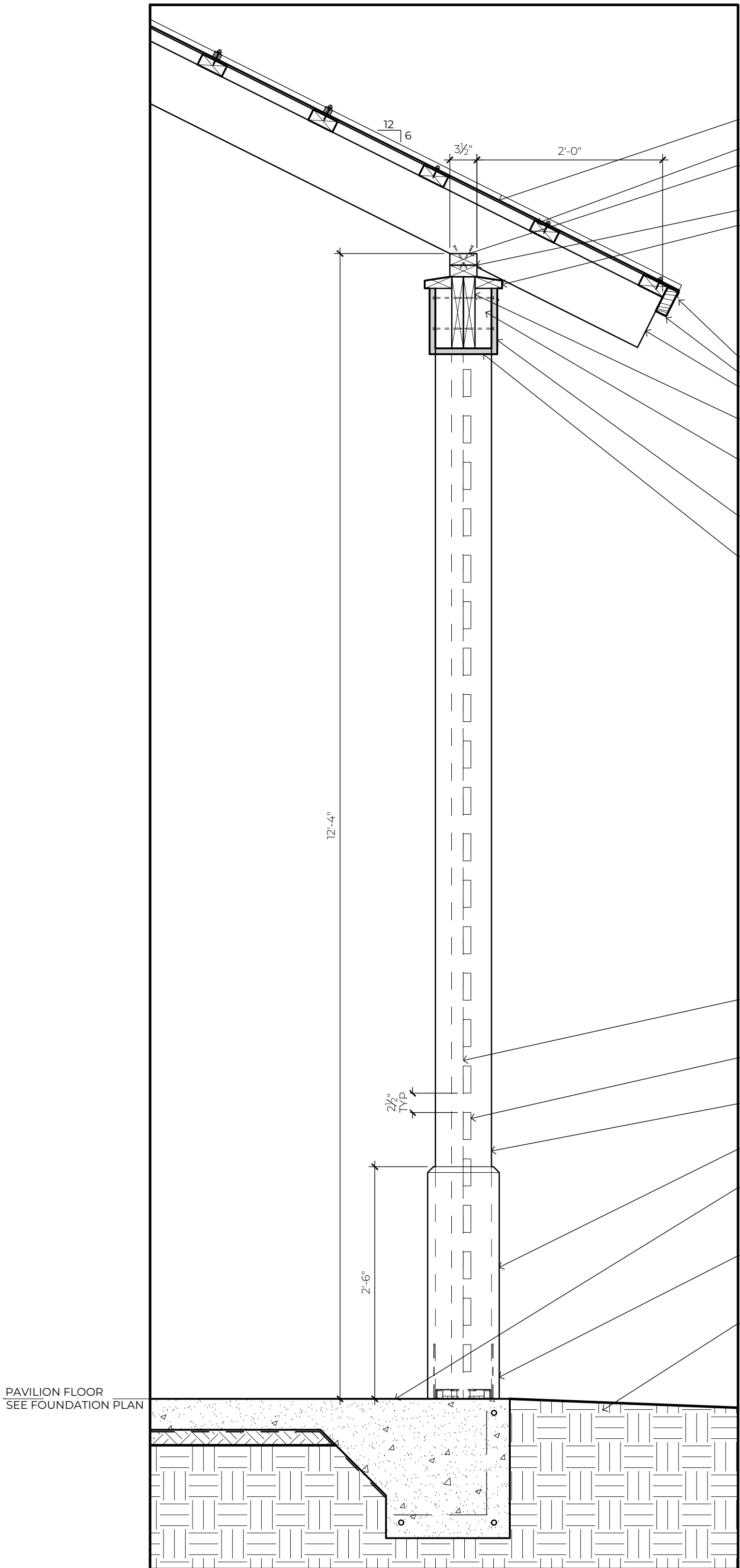
5B WINDOW JAMB
1" = 1'-0"



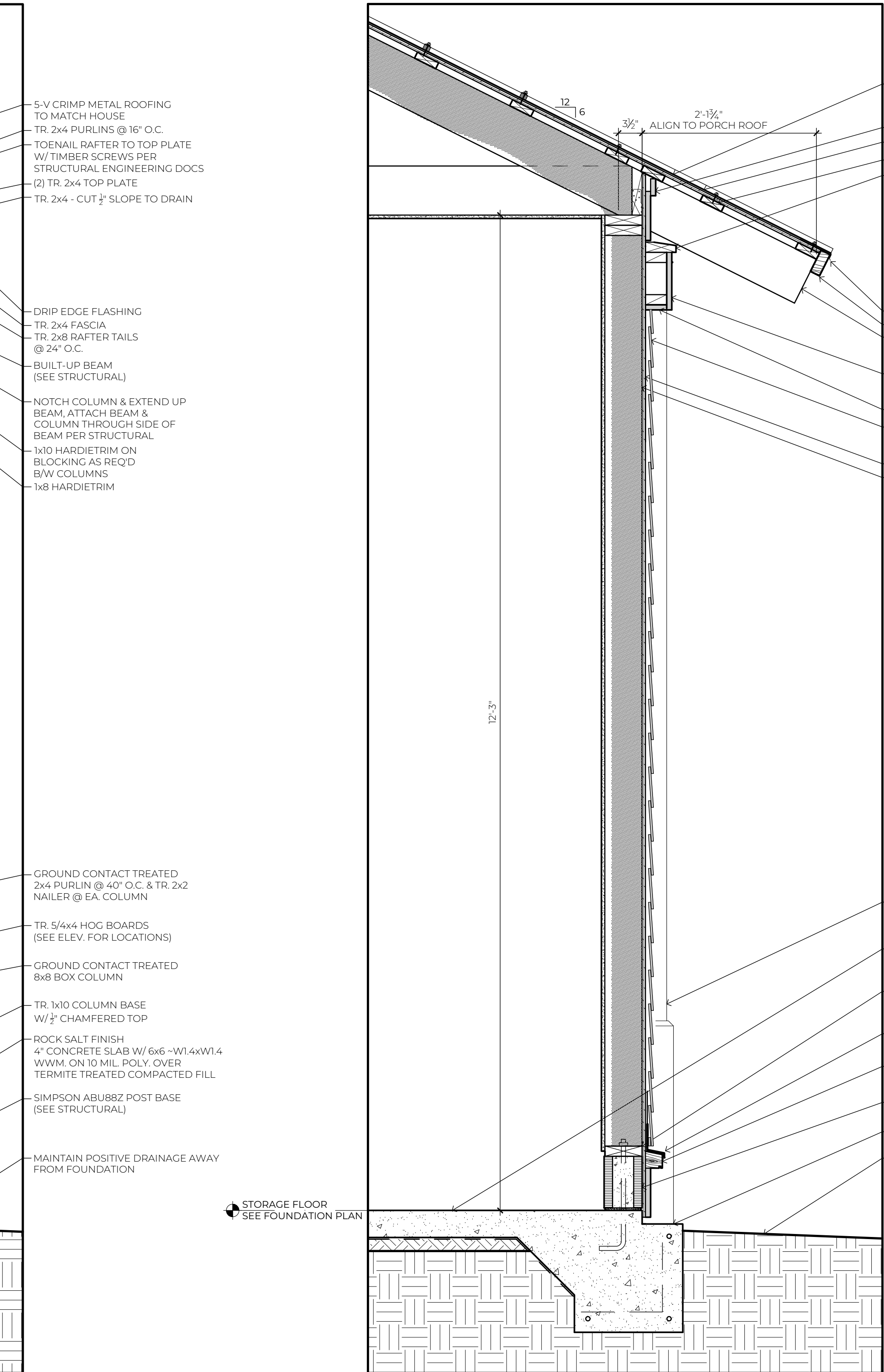
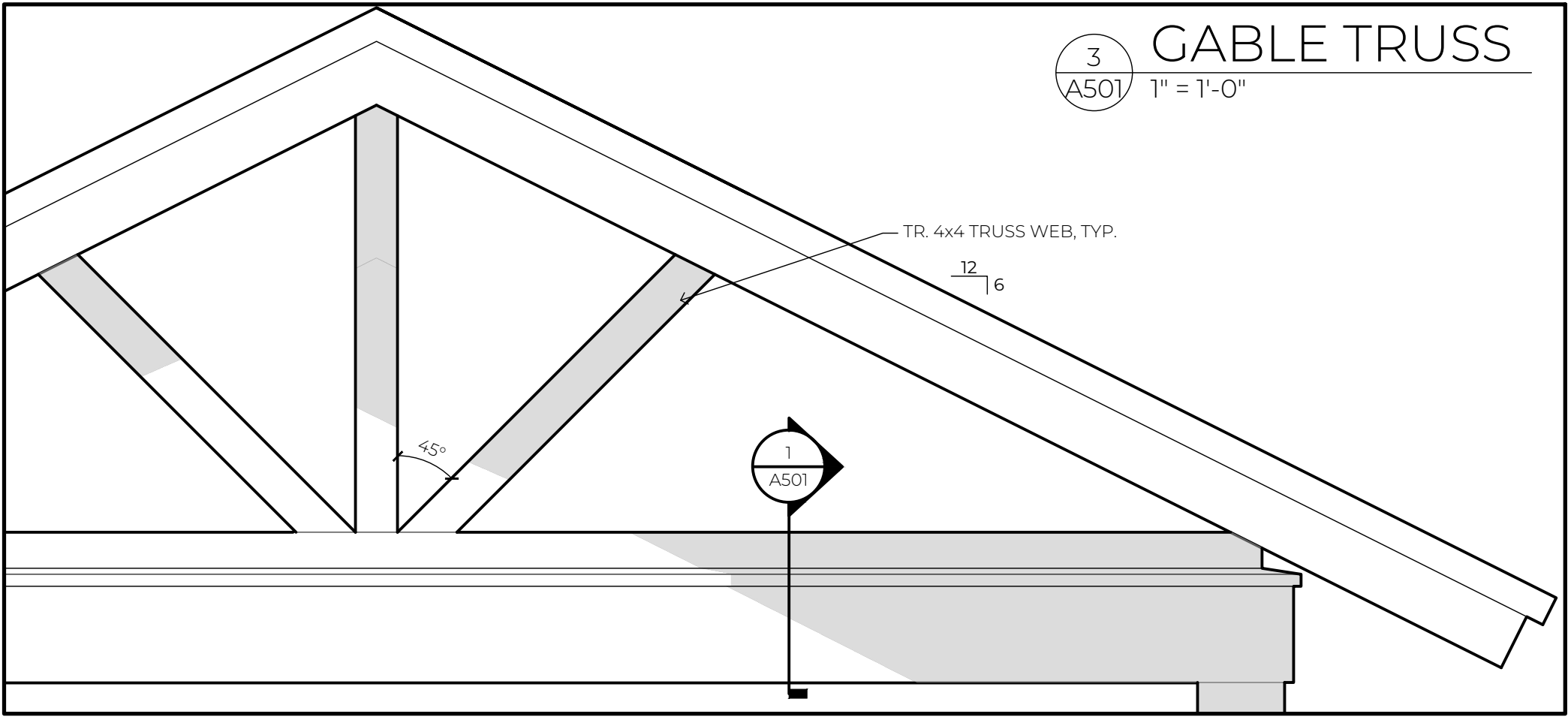
5C WINDOW SILL
1" = 1'-0"



4 CORNER BOARDS
1" = 1'-0"



2 PORCH SECTION
1" = 1'-0"



1 STORAGE ROOM WALL SECTION
1" = 1'-0"

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BLUFFTON, SC 29910

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HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

Dec 6, 2023

Joe Depauw, on behalf of DUNCAN STEVEN M DUNCAN JILL M,
Lot 4, Tabby Roads
4 Tabby Shell Rd
Bluffton, South Carolina 29910

Dear Applicants,

This letter shall serve as approval with conditions for planned pavilion build on 4 Tabby Shell Road. Plans within the following files titled are the basis for this approval:

23.12.05 Duncan Residence Addition.pdf , HARB Application Signature - signed.pdf , & 4 Tabby Shell Narrative.pdf , 4 Tabby Shell Cover Letter.pdf

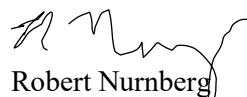
This approval is based upon the following items of clarification:

- Service yard shall be the same color or complimentary tone to the main house. Some amount of vegetation of the homeowners choosing must be added between the new service yard and the front plane of the home to soften the appearance of that region. The committee deemed that area too sparsely landscaped and requires additional plantings.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. Additionally, no work shall commence on the project until building permits have been obtained for the structure.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,



Robert Nurnberg
On behalf of Tabby Roads HARB
Cc: Katie Peterson, Town of Bluffton



ATTACHMENT 6

PLAN REVIEW COMMENTS FOR COFA-11-23-018622

Section IX. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 11/01/2023
Plan Status: Active **Plan Address:** 4 Tabby Shell Road
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1184 0000
Plan Description: A request by DePauw Architects, on behalf of the owners, Jill and Steve Duncan for a review of a Certificate of Appropriateness - HD to construct a new 1-story Carriage House of approximately 726 SF, to be located at 4 Tabby Shell Road, Lot ,4 in the Tabby Roads Development, in the Old Town Bluffton Historic district and zone Neighborhood General- HD zoning District.
Status: The Application is being reviewed and is slated to be on the December 4, 2023 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Received: 11/01/2023 Completed: 11/27/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	11/27/2023	Katie Peterson	Approved with Conditions

Comments:

- Items identified by the HARB in their prelim approval all need to be addressed and a letter indicating the changes meet their requirements provided at time of final submittal. (Applications Manual)
- Setback for Carriage House structures is 5'. Structure must be relocated to be no less than 5 feet from the side property line. Porch may encroach within the 5' setback, however, no portion of the structure may be within 3 feet of the side property line. (UDO 5.15.5.C.)
- Carriage House structures must be of the same general character as the primary structure. Provide better relationship between the two structures. Potential areas which may help address could include: Matching the columns (no base), window fenestration (removing panel), gabled end treatment (vertical brackets over horizontal siding) to the primary structure. (UDO 5.15.8.F.)
- Provide information on left elevation of storage area.
- As the project moves toward Final submittal, provide architectural details for the typical window and door, water table trim, corner board, a section through the eave. (Applications Manual)

Watershed Management Review	11/27/2023	Samantha Crotty	Approved with Conditions
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Comments:

Comments may be provided at time of building permit/stormwater permit submittal.

Beaufort Jasper Water and Sewer Review	11/27/2023	James Clardy	Approved
--	------------	--------------	----------

Comments:

- No comment.

HPRC Review	11/20/2023	Katie Peterson	Approved
-------------	------------	----------------	----------

Comments:

- No comments.

Transportation Department Review - HD	11/07/2023	Megan James	Approved
---------------------------------------	------------	-------------	----------

Comments:

No comments

ATTACHMENT 6

Plan Review Case Notes:

Section IX. Item #1.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	January 3, 2024
PROJECT:	10 Carroll Court- New Construction: Mixed-Use, Office and Residential Unit
APPLICANT:	Ansley H. Manuel, Architect
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Ansley H. Manuel, Architect, on behalf of the owner, King Tide Custom Homes, LLC, requests the Historic Preservation Commission approve the following application:

1. **COFA-09-23-018484.** A Certificate of Appropriateness- HD to construct a new 2-story mixed-use building of approximately 2,894 SF for office use on the first floor and one dwelling unit above, to be located at 10 Carroll Court, in the Old Town Bluffton Historic district and zoned Neighborhood Core - HD zoning District.

INTRODUCTION: The Applicant has proposed the construction of a two-story mixed-use structure with office space on the first floor and a single dwelling unit above. The proposed structure, of approximately 2,894 SF has characteristics of a Main Street building, but as it is not a shopfront building, so it has been reviewed as an Additional Building Type within the Neighborhood Core-HD zoning district. The setbacks, which include a 5-foot front, 25-foot rear and 8-foot side setback are determined by the Carroll Court Development Plan.

The primary structure features a side-facing hipped roof with a nearly full façade colonnade which partially wraps the right-side elevation. The two bays on the first-floor, left side of the front elevation have been enclosed with a louvered wall. The second story of the whole colonnade area, including the area over the louvered wall, is a porch. It has a door under a small shed roofed awning on the rear elevation and a door on the left side elevation. The materials include a sanding seam metal roof, and a combination of Hardi board and batten and horizontal siding.

This project was presented to the Historic Preservation Review Committee for conceptual review at the October 10, 2023 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed mixed-use structure will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 1. Section 5.3.3. Tree Conservation During Construction. Tree protection fencing shall consist of 4 to 6 feet high orange laminated plastic or chain link fence and be mounted on sturdy posts (wooden or metal) spaced no more than 10 feet apart. Tree protection fencing shall be erected before demolition, grading, or construction begins and remain in place until final

inspection and approval of the project by the UDO Administrator. Tree Protection Zone shall be around the drip line of the trees. Indicate the Tree Protection Zone surrounding the two large trees at the rear of the lot on the Landscape Plan, and indicate fence installation practices which will most effectively protect the root systems of the protected trees.

2. Section 5.3.7.A. Street Trees. All roadways on which development is proposed shall include large canopy street trees that are planted no greater than 50 feet apart. Sassafras trees are considered understory trees. Further, large canopy trees shall be a minimum of 12 feet in height and have a caliper of at least 2.5 inches at time of planting. Change tree type for Street Trees and include minimum height at time of planting.
3. Section 5.15.6.G. Building Walls. Walls are permitted to be wood, cement fiber siding, concrete masonry units with stucco, reinforced concrete with stucco, shingle, vertical board and batten. Composite materials must be located out of reach of pedestrians and visually appear to have a hand trowel finish. Wherever possible, green building materials shall be used in the construction of building walls. The louvered screen walls are proposed as a composite material, which is not permitted as a wall material unless it is a green or recycled material. As requested at HPRC, additional information on the louvered screen wall at the stairs must be provided to ensure the composite material is a green or recycled material, or it be must be revised to a permitted wall material.
4. Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. Railings are proposed as powder coated aluminum. Railings are permitted to be wood (termite resistant), wrought or cast iron (painted or natural). The railing, balusters and handrails must be revised to a permitted material.
5. Section 5.15.6.J. Roofs and Gutters. The Application indicates aluminum gutters, however, they are not shown on the elevations and no profile was provided for review. Gutters need to be shown on the elevation and may be rectangular, square or half-round in section. Provide additional information on the location and profile of the gutters to ensure compliance.
6. Section 5.15.6.K. Garden Walls, Fences, and Hedges. In front yards (in front of the primary structure) the minimum height of a garden wall or fence shall be 24" with a maximum height of 42 inches. The Low Brick Wall is proposed at 18" and must be increased in height to meet the minimum height requirement. Further, the Brick Column Detail shows the height to be 18", however, the scale indicates it to be 6'3", and it is identified as 2' on the Landscape Plan view. Provide revised detail indicating

accurate height.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.
 - a. *Finding.* Town Staff finds that if the architectural and landscaping items in Section 2 have been met, the nature and character of the new construction will be consistent with that of the surrounding neighborhood.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.
 - a. *Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.
5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.
 - a. *Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, the site coverage data must be updated. The impervious calculations do not appear to include all three of the brick and tabby landings. The open and covered patios have been excluded.

In addition to the Certificate of Appropriateness – HD application, as there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness. Further, as this site contains commercial use, no signage may be displayed without a Site Feature – HD approval.

Finally, as this site is within the Carroll Court Development Planned area, all infrastructure associated with the Development Plan (DP-03-16-009548) including sidewalk, and required parking associated with this lot must be completed and a Certificate of Construction Compliance issued prior to receiving Final-HD inspection approval during the building process.

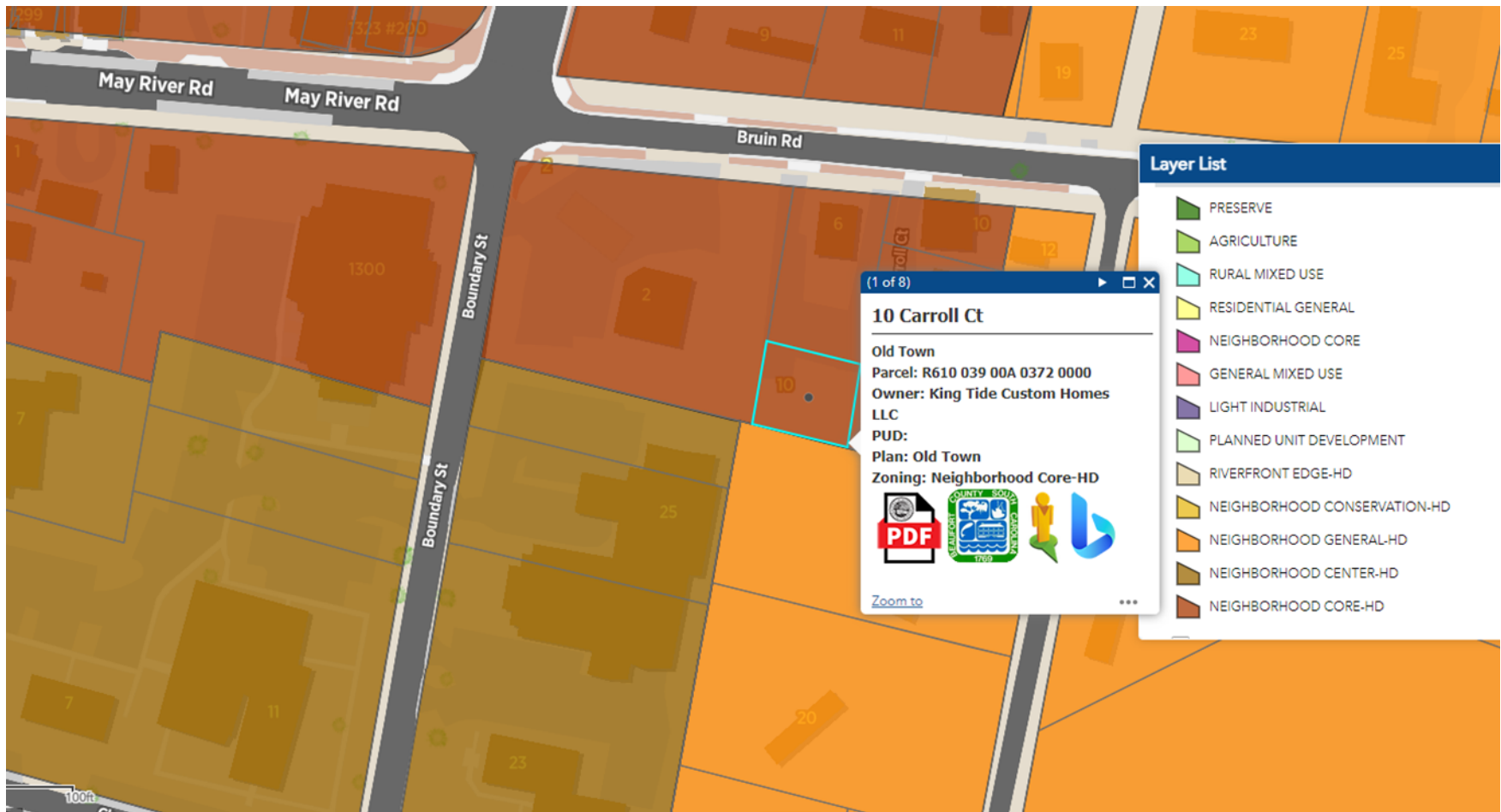
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified

Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Provided updated Site Coverage calculations to include impervious and porch area calculations on the application.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
3. Per the Applications Manual, no signage may be displayed without a Site Feature – HD approval.
4. A Certificate of Construction Compliance must be issued to ensure infrastructure related to the approved Development Plan has been adequately installed prior to issuance of a Final-HD inspection approval.
5. Per UDO Section 5.3.3., indicate the Tree Protection Zone surrounding the two large trees at the rear of the lot on the Landscape Plan, and indicate fence installation practices which will most effectively protect the root systems of the protected trees.
6. Per UDO Section 5.3.7.A., revise the Sassafras trees to a large canopy overstory tree for the required street tree and include minimum height at time of planting.
7. Per UDO Section 5.15.6.G., information on the louvered wall must be provided to ensure it is green or recycled building material if composite, or it be revised to a permitted wall material.
8. Per UDO Section 5.15.6.H., railing, balusters and handrails must be revised to a permitted material.
9. Per UDO Section 5.15.6.J., provide additional information on the location and profile of the gutters to ensure compliance.
10. Per UDO Section 5.15.6.K., the Low Brick Wall must be increased to meet the 24" minimum height requirement, and the Brick Column Detail revised to meet the height requirement and be consistent across all portions of the plan.

ATTACHMENTS:

1. Location Map and Zoning Maps
2. Application and Narrative
3. Site Plan & Elevations
4. Landscape Plan & Canopy Coverage
5. HPRC Report





ATTACHMENT 2

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

Section IX. Item #2.

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: <i>Ansley H. Manuel, Architect</i>	Name: <i>King Tide Custom Homes, LLC</i>		
Phone: <i>843.338.8932</i>	Phone: <i>843.837.9800</i>		
Mailing Address: <i>109 Pritchard Street Bluffton, S.C. 29910</i>	Mailing Address: <i>160 Victoria Drive Bluffton, S.C. 29910</i>		
E-mail: <i>manuel.studio@aol.com</i>	E-mail:		
Town Business License # (if applicable): <i>LIC-03-23-048128</i>			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: <i>10 Carroll Court</i>	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: <i>10 Carroll Court</i>	Application for:		
Zoning District: <i>Neighborhood Core-HD</i>	<input checked="" type="checkbox"/> New Construction		
Acreage: <i>.1080</i>	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): <i>R61003900A03720000</i>	<input type="checkbox"/> Relocation		
Project Description: <i>New construction proposed for a two-story mixed-use building (residential above / commercial below)</i>			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Nicki Jacoby</i>		Date: <i>12/5/23</i>	
Applicant Signature: <i>Ansley H. Manuel</i>		Date: <i>5 December 2023</i>	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): <i>Main Street Building</i>					
Building Setbacks	Front: <i>5'</i>	Rear: <i>25'</i>	Rt. Side: <i>8'</i>	Lt. Side: <i>8'</i>	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	<i>Office / Apartment</i>	<i>0</i>	<i>2894 heated / 1042 porches</i>		
Ancillary					
Ancillary					
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		<i>1968</i>			
Impervious Drive, Walks & Paths		<i>50</i>			
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE		<i>2018</i>			
B. TOTAL SF OF LOT		<i>4704</i>			
% COVERAGE OF LOT (A/B = %)		<i>43%</i>			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	<i>concrete</i>	Columns	<i>p.t. wood</i>		
Walls	<i>hardie siding / hardie board/batten</i>	Windows	<i>vinyl clad</i>		
Roof	<i>standing seam metal</i>	Doors	<i>wood</i>		
Chimney	<i>n/a</i>	Shutters	<i>n/a</i>		
Trim	<i>hardie</i>	Skirting/Underpinning	<i>composite louvers</i>		
Water table	<i>n/a</i>	Cornice, Soffit, Frieze	<i>pt wood / hardie / pt wood</i>		
Corner board	<i>hardie</i>	Gutters	<i>aluminum</i>		
Railings	<i>powder coat aluminum</i>	Garage Doors	<i>n/a</i>		
Balusters	<i>powder coat aluminum</i>	Green/Recycled Materials	<i>n/a</i>		
Handrails	<i>powder coat aluminum</i>				



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Nicki Jacoby
Signature of Property Owner or Authorized Agent

12/5/23
Date

Printed Name of Property Owner or Authorized Agent

Ansley H. Manuel
Signature of Applicant

5 December 2023
Date

Ansley H. Manuel
Printed Name of Applicant



Project Narrative

Location: **10 Carroll Court**

The property falls within the Neighborhood Core – Historic District zone. The building will fall into the Main Street Building category. The concept for the structure will be slab on grade office on the first level and living space on the second level. The structure has a metal hipped roof with porches on the front facing Carroll Court and the side facing Maggie and Me. It will have Hardie horizontal siding and trim.

The layout/footprint for this structure was previously approved with the 6 Bruin Road submission. Parking has all been addressed and is inclusive within the preapproved development plan.

ATTACHMENT 2

Section IX. Item #2.

King Tide Custom Homes, LLC
160 Victoria Drive
Bluffton, South Carolina 29910

5 December 2023

Town of Bluffton Planning Department
20 Bridge Street
Bluffton, South Carolina 29910

To Whom It May Concern:

I give Ansley Hester Manuel permission to work with the Town of Bluffton Planning Department for the property located at 10 Carroll Court.



Nicki Jacoby, Property Owner

Mixed Use Building for King Tide Custom Homes

Physical Address
10 Carroll Court
Bluffton, South Carolina 29910

Property Owner
King Tide Custom Homes, LLC

Applicable Codes
2021 International Building Code with SC modifications
2021 International Fire Code with SC modifications
2021 International Mechanical Code with SC modifications
2021 International Plumbing Code with SC modifications
2020 National Electrical Code (NFPA 70) with SC modifications
2009 International Energy Conservation Code

Project Description
New construction for mixed use building with commercial below and one residential unit above. Building will have sprinklers.

Proposed Square Footage
Heated Square Footage = 2738 square feet (excludes perimeter wall)
Porches = 1024 square feet

First Story
Heated = 1369 square feet
Porches = 512 square feet
Second Story
Heated= 1369 square feet
Porches = 512 square feet

Proposed Construction Makeup
Wood-framed walls, floors and roof with concrete slab foundation.

Occupancy Classification
First Floor
(Section 304)
Group B - Business
Second Floor
(Section 310.4)
Group R-3 - Residential

Type of Construction
Section 602.5
Type VB

Allowable Building Height
Table 504.3
60 feet height.

Allowable Numbers of Stories
Table 504.4
3 Stories

Allowable Building Area
Table 506.2
27,000 sq. ft.

Fire Resistance Rating Requirements for Building Elements
Table 601

Type VB construction requires zero hours for the structural frame, exterior and interior bearing walls, exterior and interior nonbearing walls, floor construction and roof construction.

Minimum Number of Exits or Access to Exits per Story
Table 1006.3.3
Two Exits Required
Table 1006.2.1
Allows one exit for each story

Maximum Exit Access Travel Distance
Table 1017.2
Group R = 250 feet
Group B = 300 feet

Maximum Floor Area per Occupant
Table 1004.5
First Floor Business
1369 square feet/150 gross = 9.13 =10 Occupants
Second Floor Residential
1369 square feet/200 gross = 6.85 =7 occupants

Required Separation of Occupancies
Table 508.4
1 Hour Separation is Required Between Group B and Group R

Horizontal Assemblies
Section 711.2.4.1
1-Hour Rated between Group B and Group R-3

Corridors - Fire Resistance
1020.2 Exception 2
Not Required for Group R
1020.2 Exception 4

Manual Fire Alarm System
[F] 907.2.2
Group B Not Required

Smoke Alarms
[F]907.2.11.2
Group R-3 Required

Sprinklers
Section [F]903.2.8
Required

Portable Fire Extinguishers
[F] 906.1
Required for Group B
Fire Marshal to determine number, location and type

Stove Hood
Residential Type

Means of Egress Illumination
Section 1008

Exit Signs
Section 1013

Doors
Section 1010

Stairs
Section 1011
Minimum Width = 36"
Minimum Headroom = 80"
Riser Height = 7" maximum, 4" minimum
Tread Depth = 11" minimum

Handrails
Section 1014

Guards
Section 1015

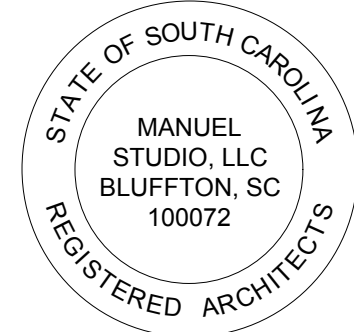
Interior Finishes
Table 803.13
See Table for Group B and R3 Sprinkled

Fire Safety
Section 501.2
Approved numbers or addresses shall be provided in a position that is visible and legible from the street or roadway. Letters and numbers shall be a minimum of 4 inches in height with a minimum 0.5-inch stroke.
Fire alarm plans and fire sprinkler plans can come in deferred but shall be provided for review and approved prior to work starting on these systems. Stamped plans must be on site while work is being performed.
The plans review approval from BJWSA shall be provided prior to the permit being issued. The RPZ shown on the site plan may not be installed underground.
A Knox Box will be required for emergency access after business hours.
FDC shall be on the street side of the building.

Accessibility
Chapter 11
First floor Group B must be accessible. See A-7 for ANSI Details.

INDEX

- C-1 CODE ANALYSIS, INDEX
- C-2 PROPOSED SITE PLAN
- A-1 FIRST & SECOND FLOOR PLANS
- A-2 ROOF PLAN
- A-3 ELEVATIONS
- A-4 WALL SECTIONS
- A-5 PORCH SECTION
- A-6 SCHEDULES & DETAILS
- A-7 ANSI ILLUSTRATIONS

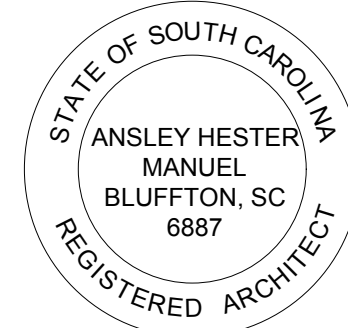
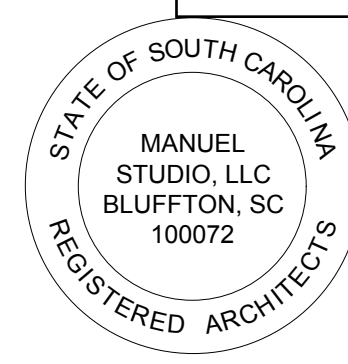


DATE :
12/6/23

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910
CODE ANALYSIS AND INDEX

SHEET
C-1

DATE :
12/6/23

MANUEL STUDIO, LLC

Ansley Hester Manuel, Architect

104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.comMIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES10 CARROLL COURT
BLUFFTON, SC 29910

PROPOSED SITE PLAN

SHEET
C2

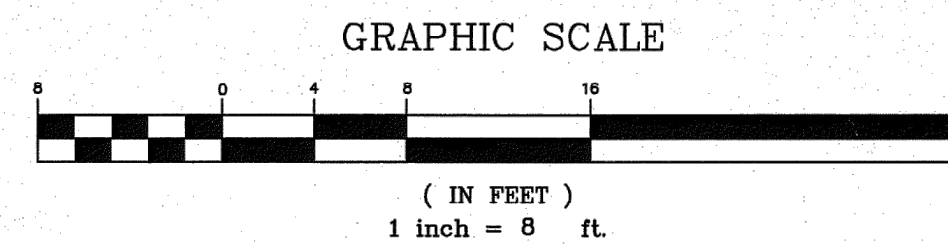
- LEGEND
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - - TELEPHONE PEDESTAL / COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊠ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⚡ - XFMR - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - ⚡ - FIRE HYDRANT
 - ⊠ - GRATE INLET
 - ⚡ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - ⚡ - GUY LINE
 - ⊙ - LIGHT POLE
 - ⊙ - STORM DRAIN MANHOLE
 - ⊙ - FIBEROPTICS MANHOLE

- TREE LEGEND
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

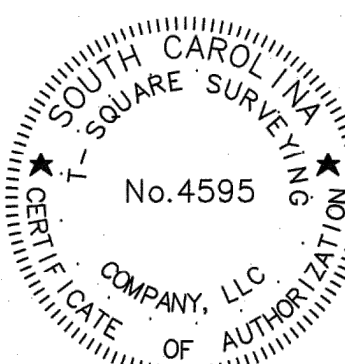
PARCEL 77
N/F
PAWAN PROPERTY 5 LLCPARCEL 78
N/F
ISAAC BRYANT & FRANCES EDWARD LAWYERPARCEL 74
N/F
HEIRS OF WILLIS WRIGHTPARCEL 258
N/F
6B BRUN ROAD LLCPARCEL 372
#10
4,695 sq. ft.
0.11 acresPARCEL 76
N/F
ETBC LLC

LINE	LENGTH	BEARING
L1	6.32	N76°17'15"W

LOCATION MAP NOT TO SCALE

A PROPOSED SITE PLAN
C2 SCALE: 1"=8'-0"I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

KING TIDE CUSTOM HOMES

A TREE & TOPOGRAPHIC SURVEY OF PARCEL 372 CARROLL COURT,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 372

Notes:

1. According To FEMA Flood Insurance Rate Map # 4501300426G
This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum
Required Elevation N/A Ft. NAVD88.
 2. This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
Authorities Prior To Design And Construction.
 4. All Building Setback Requirements Should Be Verified With The Proper
Reference Plats.
- PLAT BOOK 147 AT PAGE 1

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

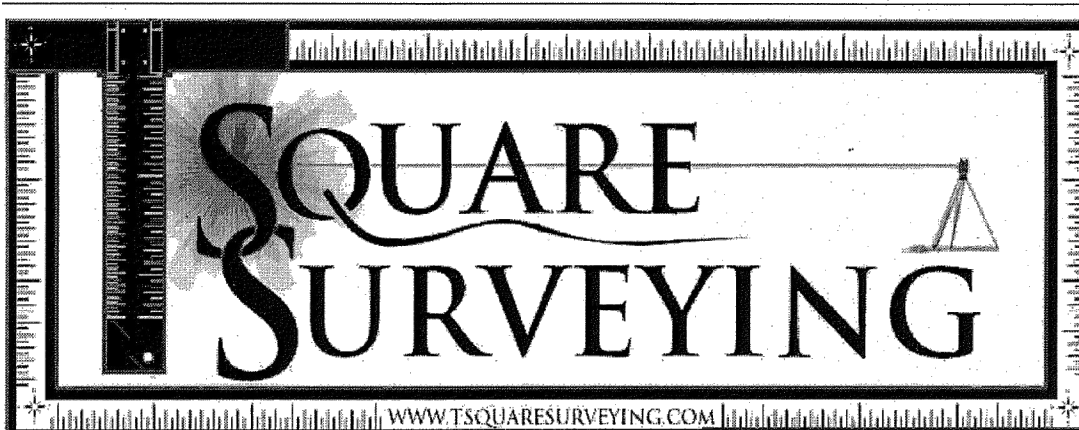
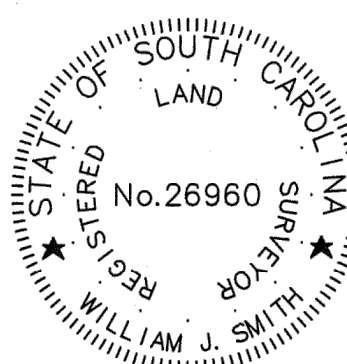
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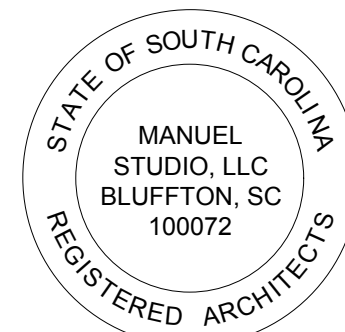
T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@earthlink.net
Phone 843-757-2650 Fax 843-757-5758

JOB No. 23-291T





DATE :
12/6/23

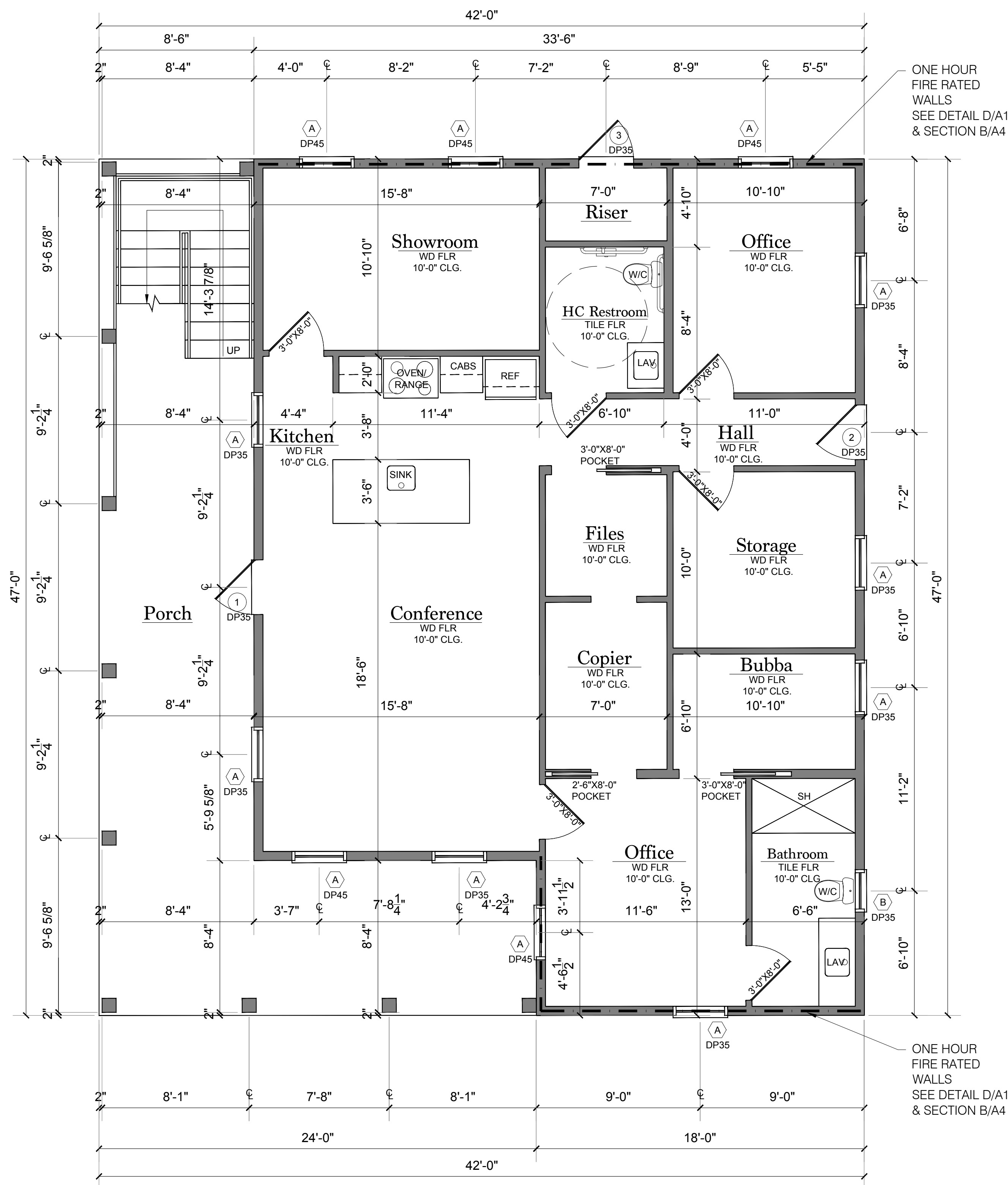
MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

FIRST & SECOND FLOOR PLANS

SHEET

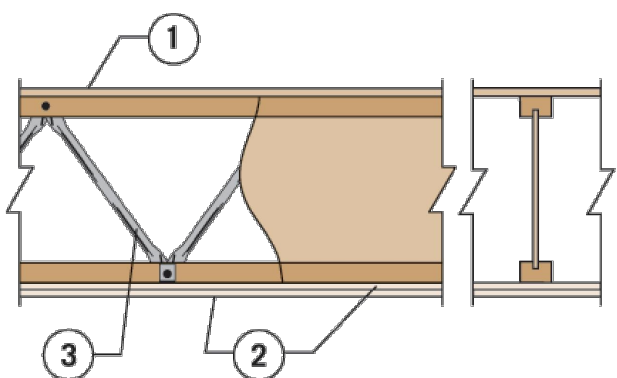
A1



A FIRST FLOOR PLAN

A1 SCALE: 1/4"=1'-0"

RedBuilt Assembly B (1 Hour Fire Rated Assembly)
The following fire resistant designs are listed in accordance with ASTM-E119 and CANULC-S101



C ONE HOUR FIRE RATED FLOOR/CEILING DETAIL

A1 SCALE: N.T.S.

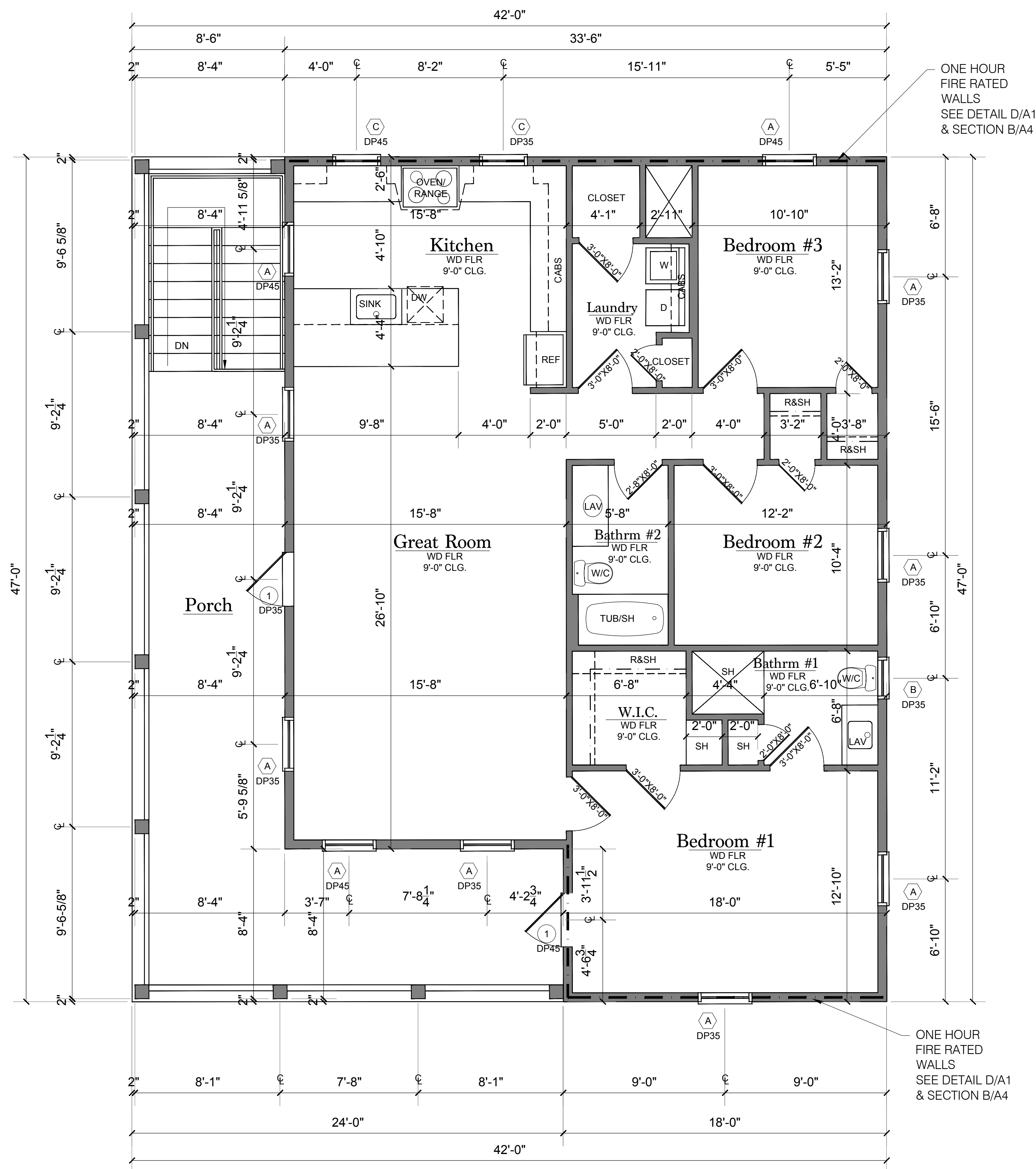
- Finished Flooring:** The flooring must consist of a single layer of 48/24 span-rated, tongue-and-groove, wood-based, structural-use (Exposure 1). When used as a roof-ceiling assembly, the decking is permitted to be any wood deck recognized in the code. All butt joints of the sheathing must be located over framing members.
- Ceiling:** The ceiling membrane must consist of two layers of 1/2-inch-thick (12.7 mm) Type X gypsum board complying with ASTM C 36, attached to the Red-I joist or OpenWeb bottom flange / chord. The first layer of gypsum board must be installed perpendicular to the Red-I joists or OpenWeb trusses and attached using 1"-5/8-inch-long (41 mm), Type S screws spaced 12 inches (305 mm) on center. The second layer must be installed with the joints staggered from the first layer. The second layer must be fastened to the Red-I joists or OpenWeb trusses with 2-inch-long (51 mm), Type S screws spaced 12 inches (305 mm) on center in the field and 8 inches (203 mm) on center at the butt joints.
- Structural Members:** Red-I joists or OpenWeb trusses must be installed in accordance with ICC ESR-2994/1774, with a maximum spacing of 24 inches (610 mm) on center for floor-ceiling assemblies. When used in roof-ceiling assemblies, the joists or trusses are permitted to be spaced a maximum of 48 inches (1219 mm) on center.

Optional:

Resilient Channels (RC-1): Are permitted to be used as part of the ceiling attachment system, provided they are spaced 16 inches (406 mm) on center [24 inches (610 mm) on center if the joists or trusses are spaced 16 inches (406 mm) on center] and fastened perpendicular to the Red-I joists or OpenWeb trusses using 1-inch-long (25.4 mm), Type S screws. When resilient channels are used, the first layer of the ceiling membrane must be installed perpendicular to the channels and attached to the resilient channels using 1-inch-long (25.4 mm), Type S screws spaced 12 inches (305 mm) on center. The second layer must be installed with the joints staggered from the first layer and attached using 1-5/8-inch-long (41 mm), Type S screws. The screw spacing for the second layer of gypsum board must be a maximum of 12 inches (305 mm) on center in the field and 8 inches (203 mm) on center at the butt joints.

Type G screws, 1-1/2 inches (38 mm) long, must be spaced 8 inches (203 mm) on center and 6 inches (152 mm) from each side of the transverse joints of the second layer. The second layer must be finished with joint tape and compound.

Insulation: Minimum 3-1/2-inch-thick (89 mm) glass fiber insulation rated R-30 or less may be installed in the joist or truss plenum when resilient channels are used. The insulation must be placed above the resilient channels between the joist or truss bottom flanges / chords.



B SECOND FLOOR PLAN

A1 SCALE: 1/4"=1'-0"

EXTERIOR WOOD-FRAMED WALL



Hourly Rating: **1-hour**

STC Rating: **30-34 STC**

Fire Test Reference: **UL U305, ULC W301¹ and 3, cUL U305**

Sound Test Reference: **OR 64-8**

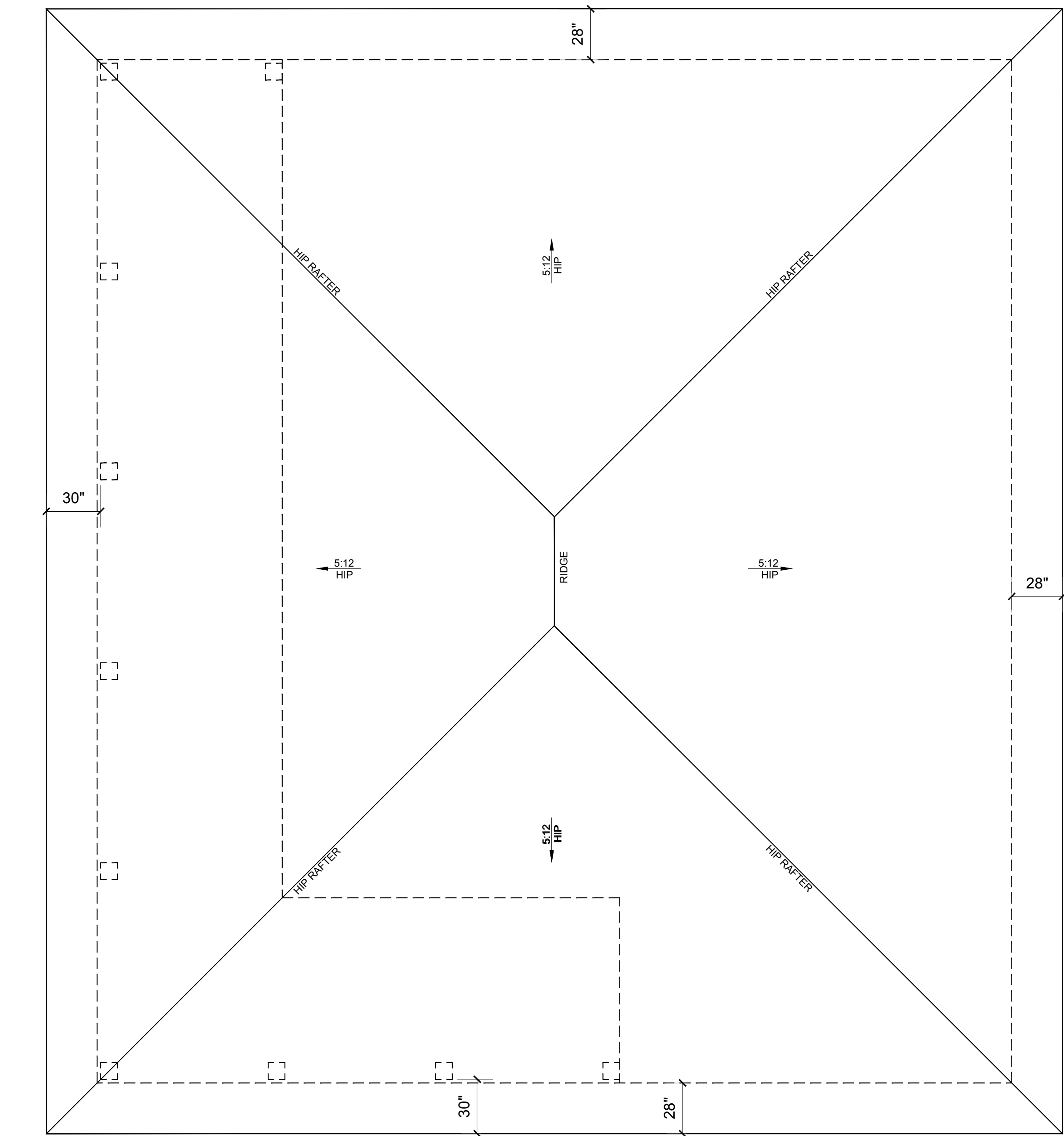
D ONE HOUR FIRE RATED EXTERIOR WALL DETAIL

A1 SCALE: N.T.S.

Exterior Side: 5/8" (15.9 mm) DensGlass® Fireguard® Sheathing or ToughRock® Fireguard X® Sheathing applied vertically or horizontally to 2"x 4" wood studs 16" (406 mm) o.c. with 1-3/4" (45 mm) galvanized roofing nails 7" (178 mm) o.c. Exterior surface covered with weather exposed cladding or finish system. Interior Side: One layer 5/8" (15.9 mm) ToughRock® Fireguard X™ Products or 5/8" (15.9 mm) DensArmor Plus® Fireguard® gypsum board applied vertically or horizontally to studs with 1-7/8" (48 mm) 6d coated 7" (178 mm) o.c. Stagger joints each side. ULC W301 allows vertical application only.

Approved for Assembly:

DensArmor Plus® Fireguard C® Products, DensArmor Plus® Fireguard® Products, DensElement™ Barrier Sheathing, DensGlass® Fireguard® Sheathing, DensShield® Fireguard® Tile Backer, ToughRock® Fireguard C® Products, ToughRock® Fireguard X™ Mold-Guard™ Products, ToughRock® Fireguard X™ Products, ToughRock® Lite-Weight Fire-Rated Products



A ROOF PLAN
A2 SCALE: 1/4"=1'-0"

Section IX, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
100072
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
REGISTERED ARCHITECT

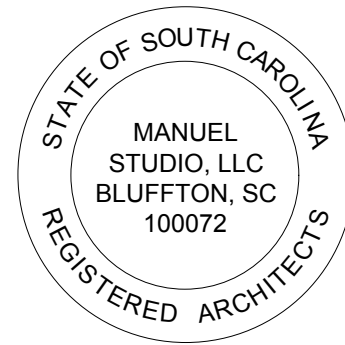
DATE :
12/6/23

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

ROOF PLAN

SHEET
A2



DATE :
12/6/23

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Ansley Hester Manuel, Architect
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843.338.8932 cell manuel.studio@aol.com

MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

ELEVATIONS

SHEET
A3



A
A3 EAST (CARROLL COURT) ELEVATION
SCALE: 1/4"=1'-0"



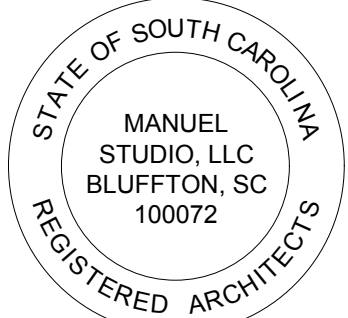
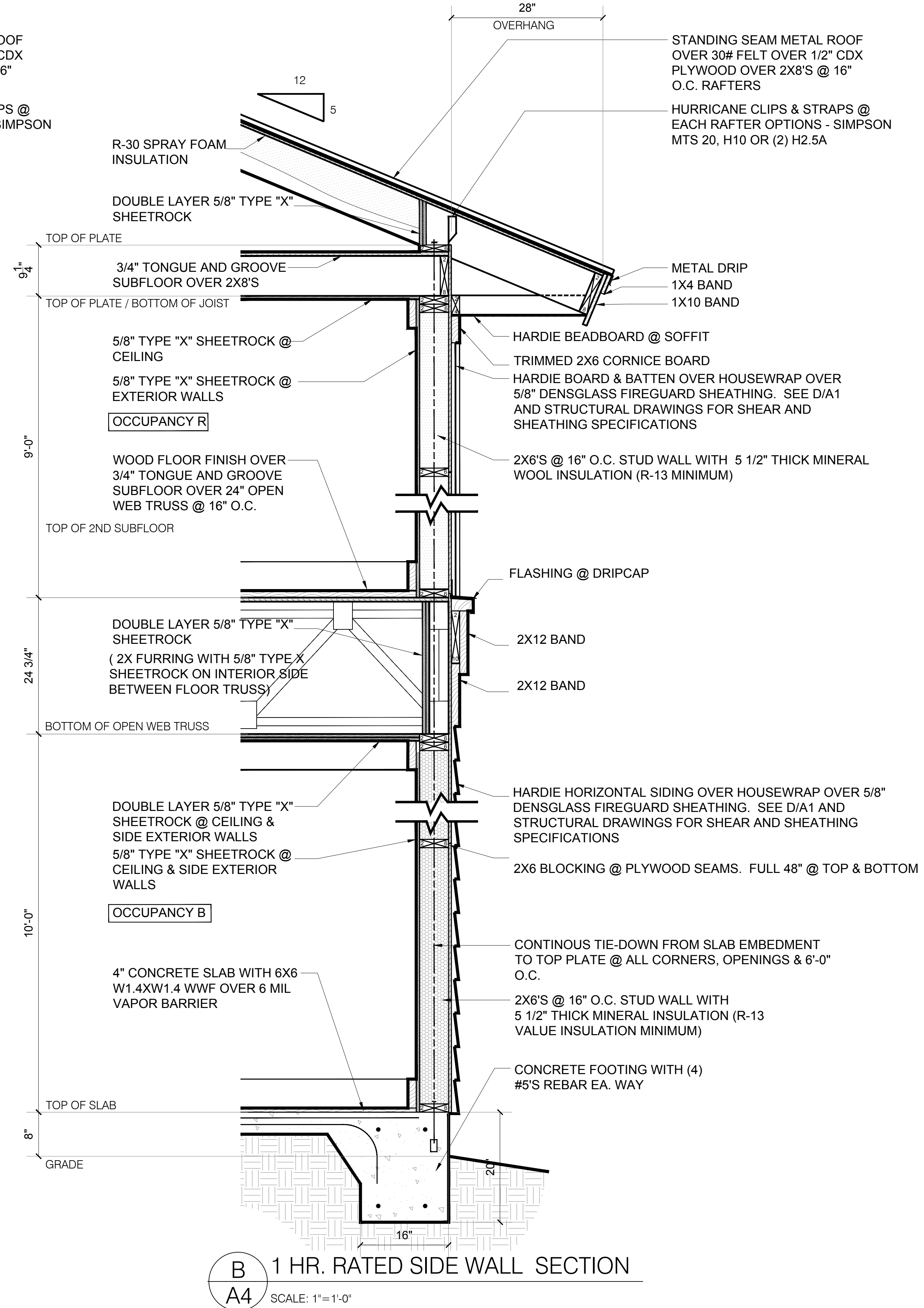
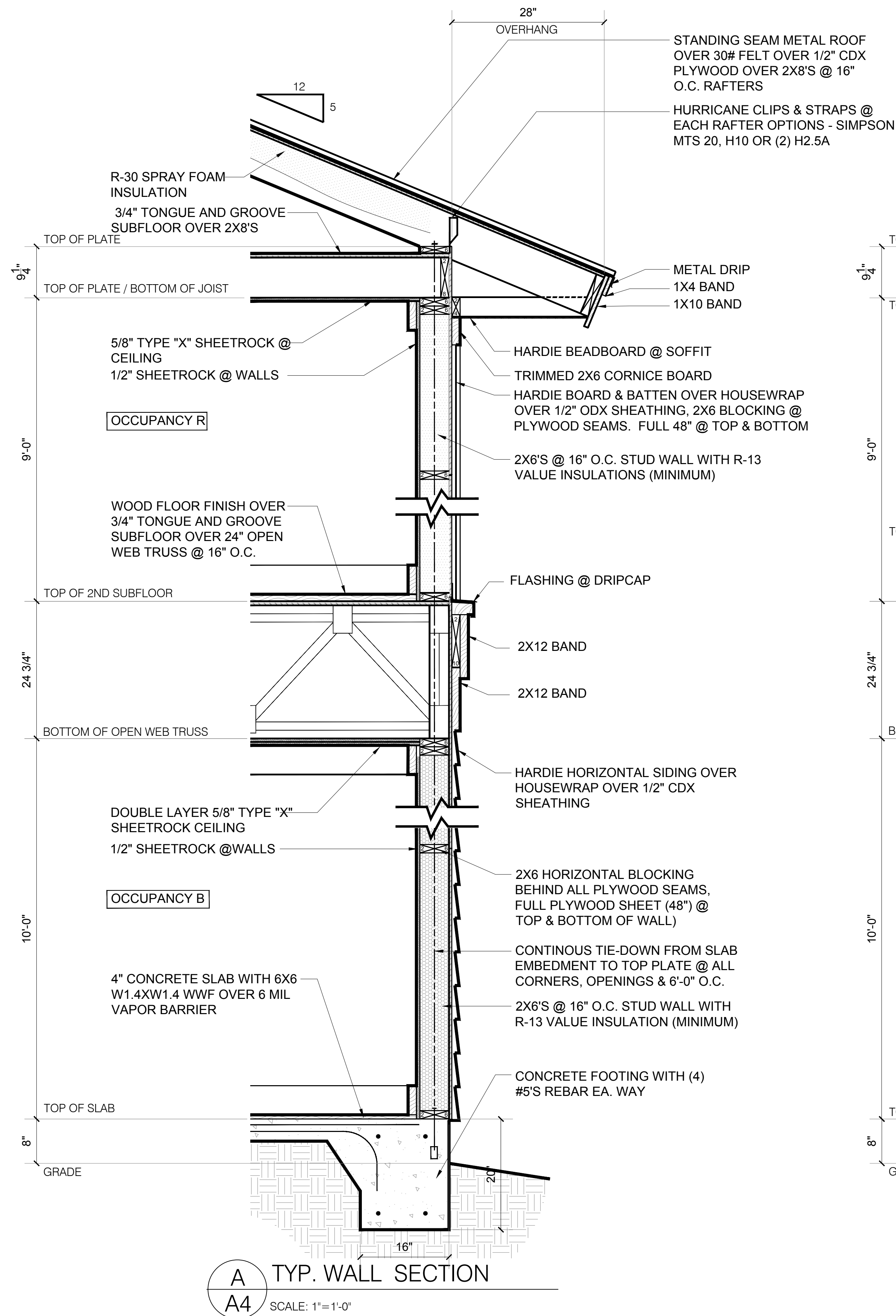
B
A3 NORTH ELEVATION
SCALE: 1/4"=1'-0"



C
A3 WEST ELEVATION
SCALE: 1/4"=1'-0"

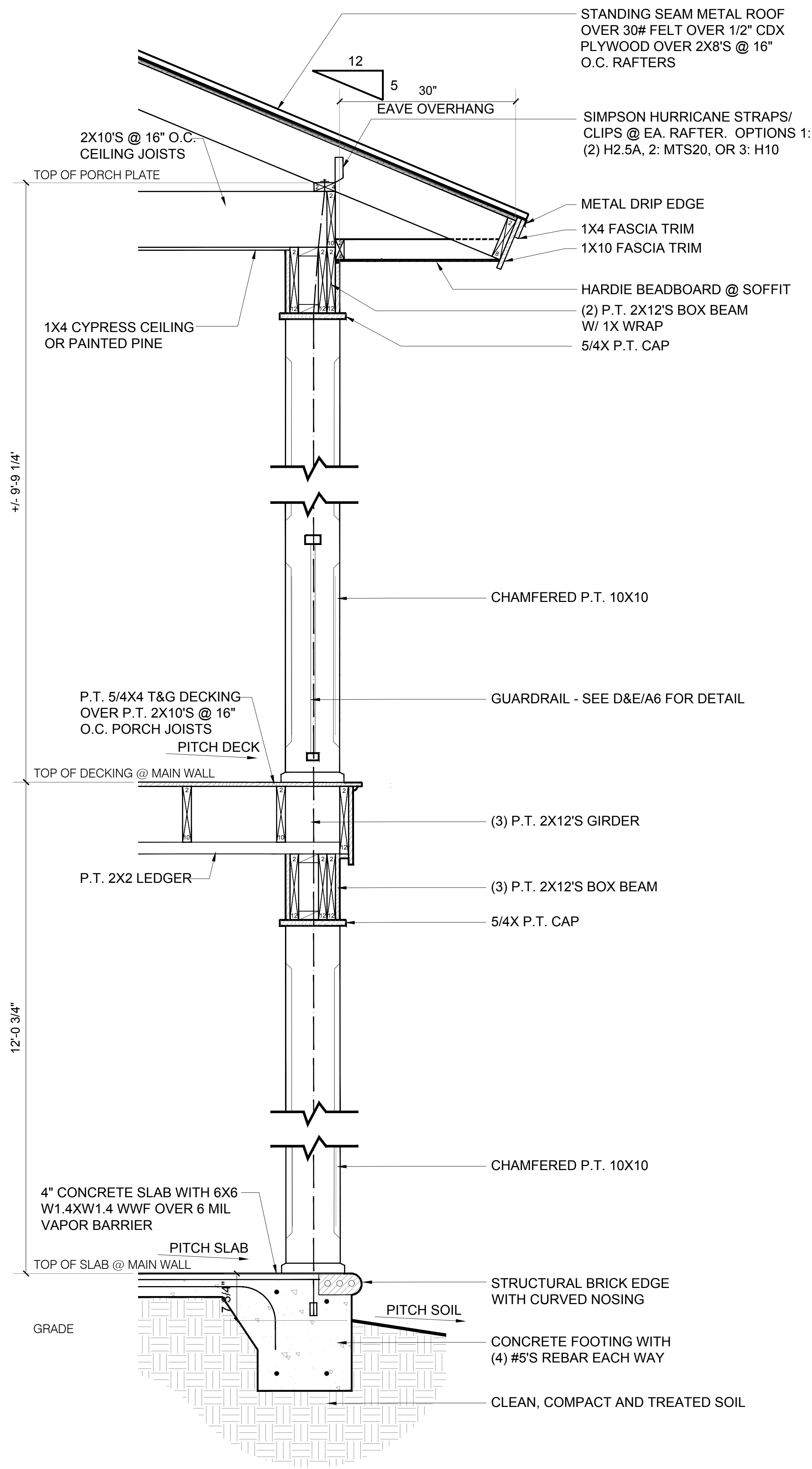


D
A3 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

DATE :
12/6/23MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.comMIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910
WALL SECTIONS

SHEET

A4



A
A5 PORCH SECTION
SCALE: 1"=1'-0"

Section IX, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
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REGISTERED ARCHITECT'S

STATE OF SOUTH CAROLINA
ANSLEY HESTER
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MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

PORCH SECTION

SHEET
A5

ROOM SCHEDULE

ROOM	FLOOR	WALL	CEILING	BASE	CASE	CROWN
PORCH						
CONFERENCE						
KITCHEN						
SHOWROOM						
H/C RESTROOM						
OFFICE						
HALL						
STORAGE						
FILES						
COPIER						
OFFICE						
BUBBA						
BATHROOM						
SECOND FLOOR PORCH						
GREAT ROOM						
KITCHEN						
LAUNDRY						
BEDROOM #1						
BATHROOM #1						
W.I.C.						
BEDROOM #2						
BATHROOM #3						
BEDROOM #3						

DOOR SCHEDULE

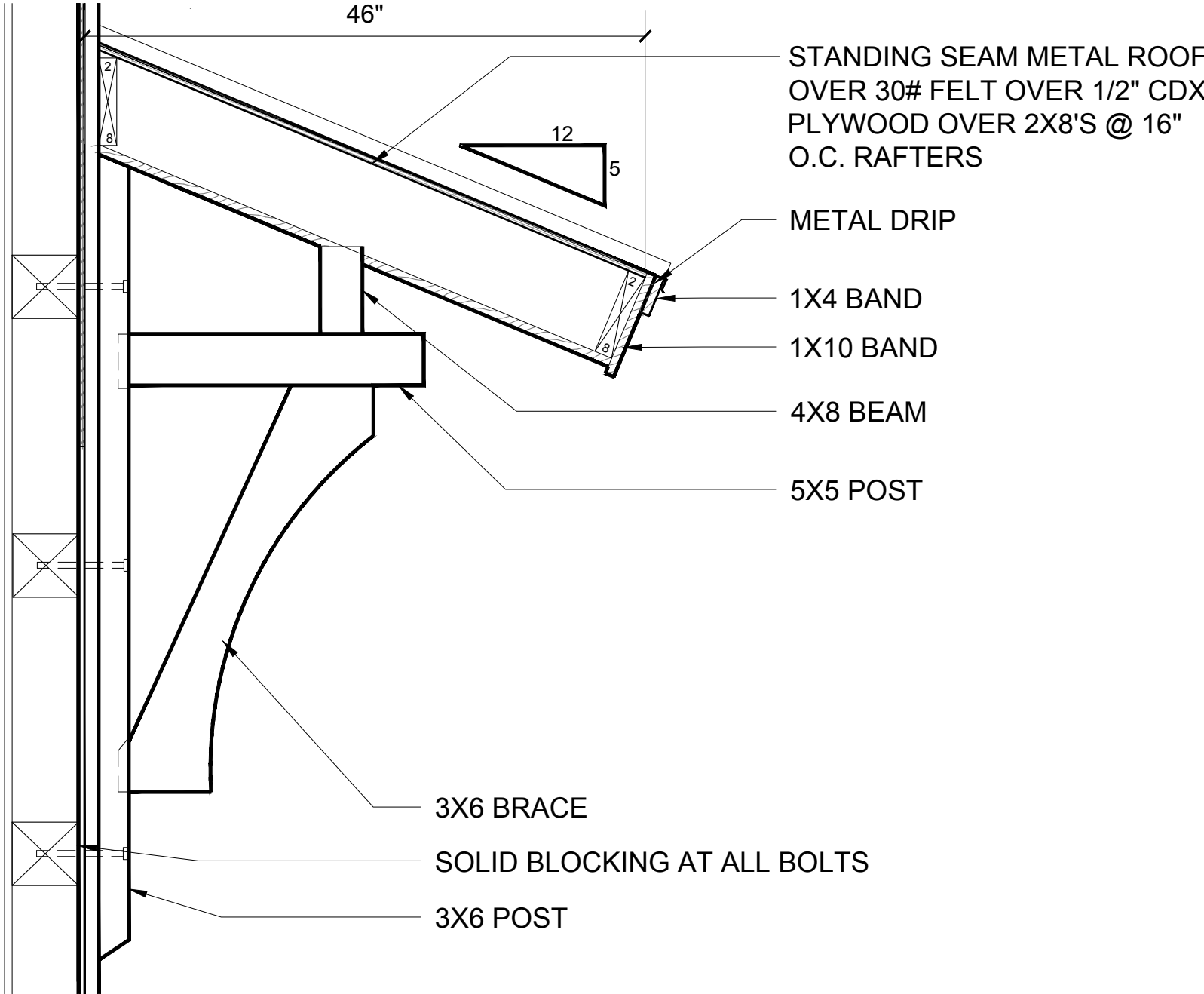
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	3'-0"X8'-0"	HALF GLASS, OUTSWING	4	
2	3'-0"X8'-0"	HALF GLASS, INSWING	4	
3	3'-0"X8'-0"	4-PANEL, OUTSWING	N/A	

ALL EXTERIOR DOORS TO BE ALUMINUM CLAD (EXTERIOR), WOOD (INTERIOR) UNLESS OTHERWISE NOTED.
7/8" MUNTIN WIDTHS SIMULATED DIVIDED LITES.
ALL GLASS TO BE IMPACT RESISTANT.
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER

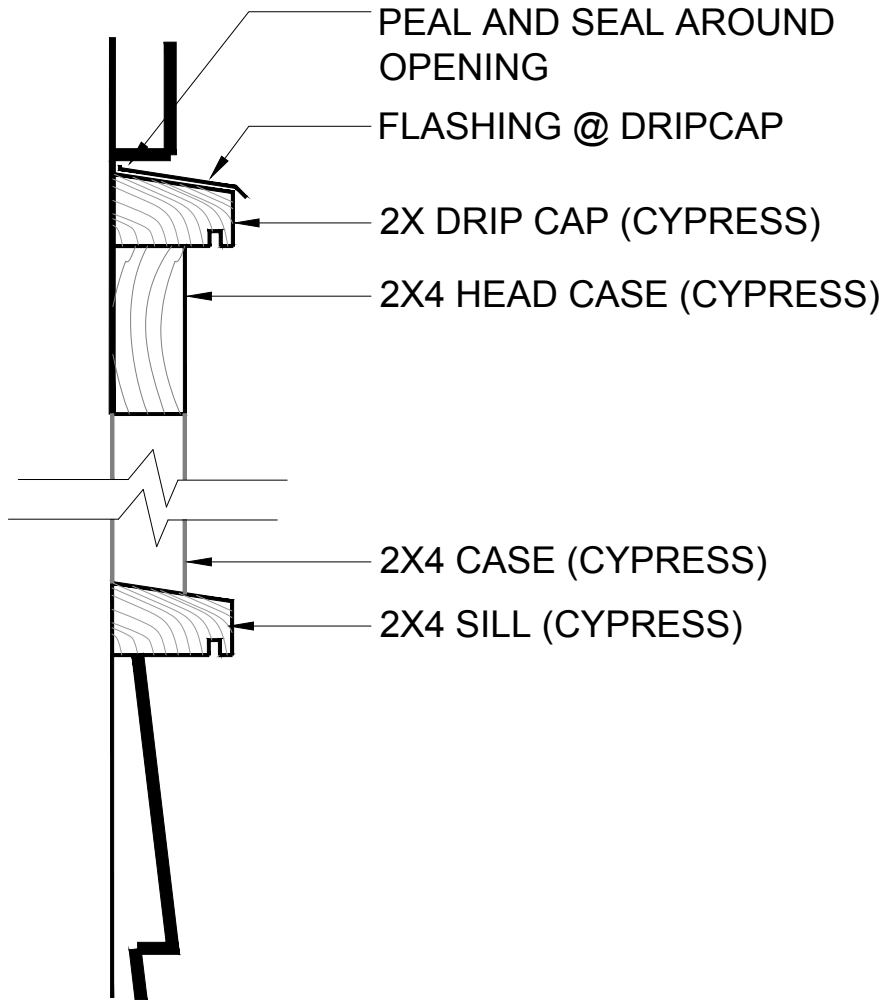
WINDOW SCHEDULE

MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	3'-0" X 5'-4"	CASEMENT	4	
B	2'-4" X 3'-8"	CASEMENT	4	
C	2'-8" X 4'-8"	CASEMENT	4	

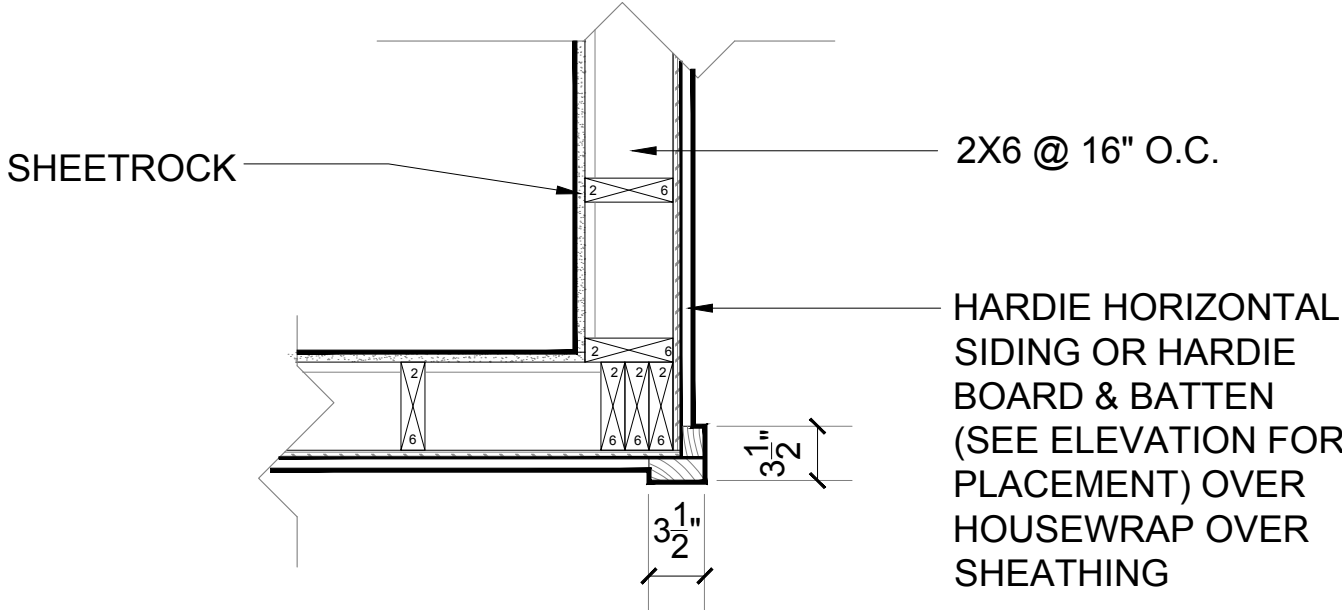
ALL WINDOWS ARE WOOD INTERIOR AND CLAD EXTERIOR.
7/8" MUNTIN WIDTHS SIMULATED DIVIDED LITES.
ALL GLASS TO BE IMPACT RESISTANT.
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER



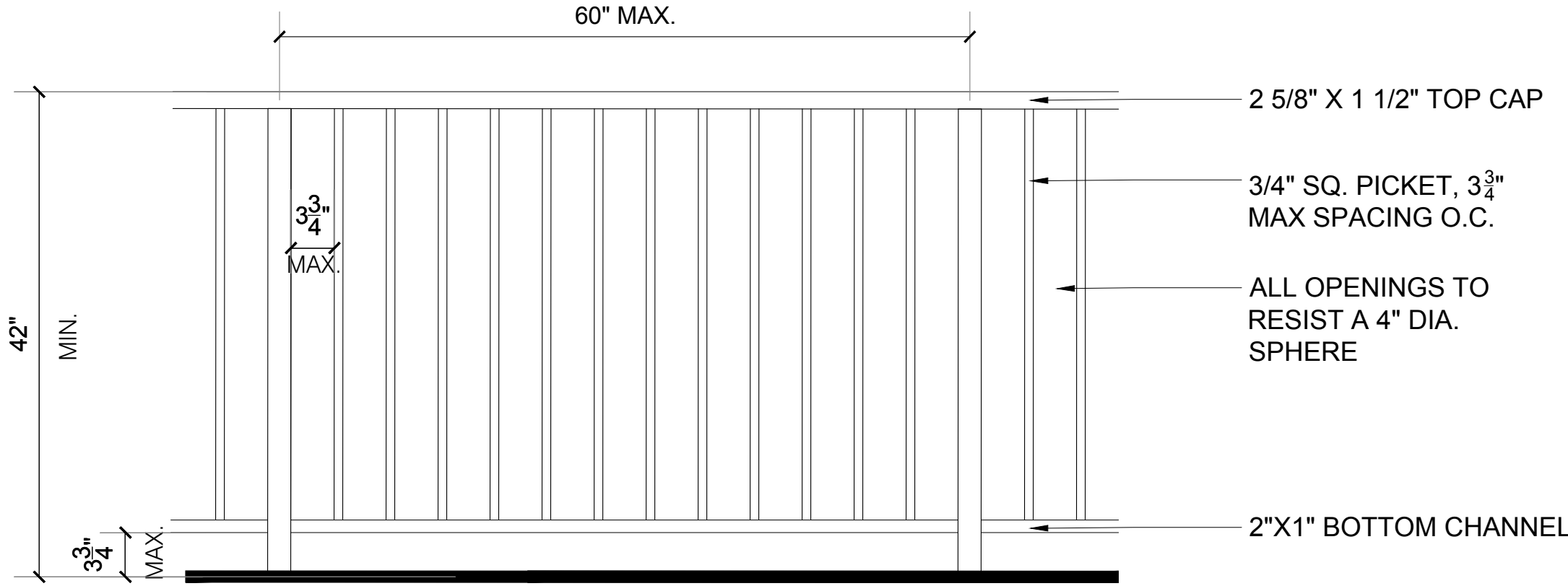
A ROOF OVERHANG @ DOOR DETAIL
A6 SCALE: 1"=1'-0"



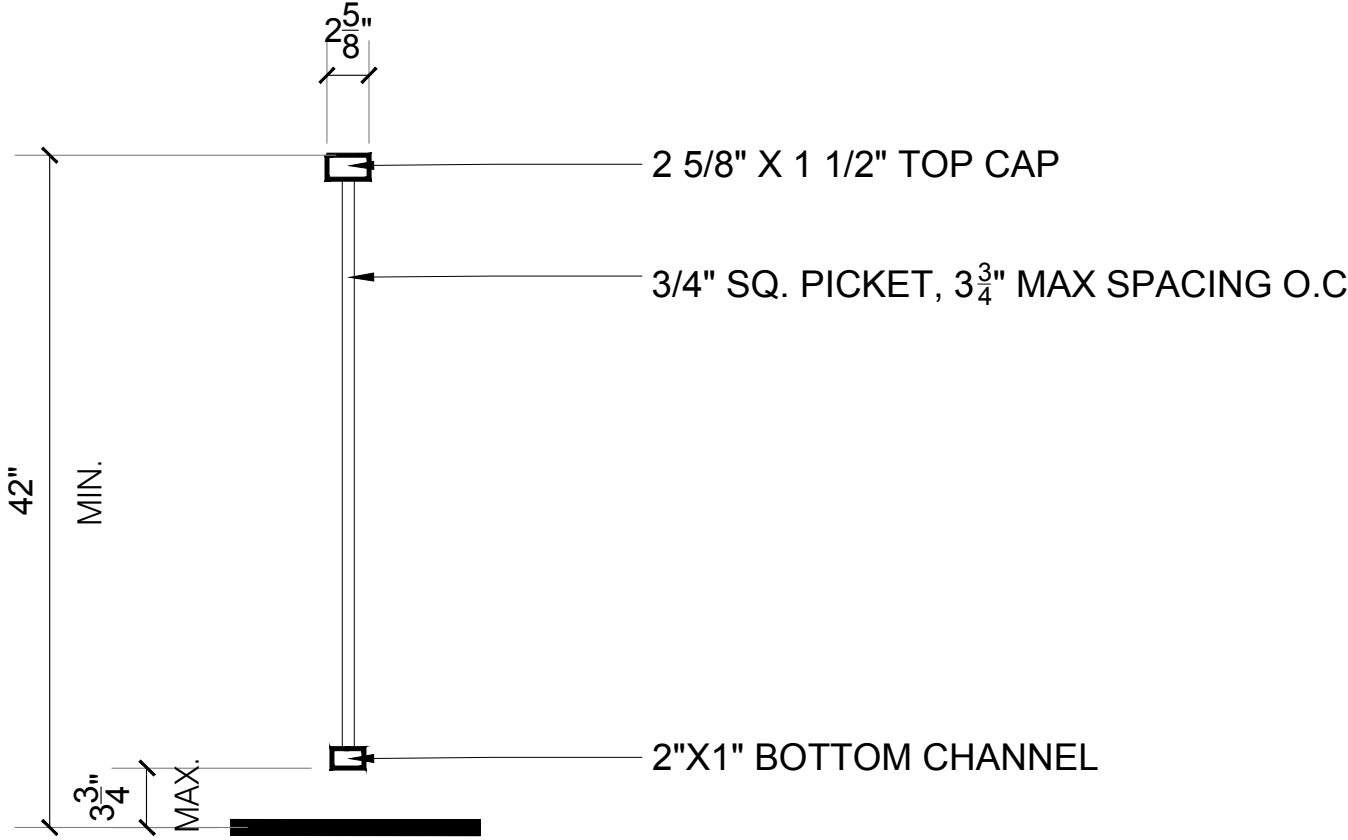
B WINDOW TRIM DETAIL
A6 SCALE: 3"=1'-0"



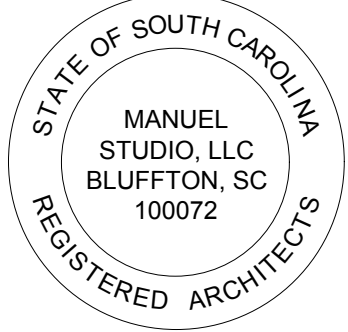
C TYPICAL CORNER PLAN DETAIL
A6 SCALE: 1"=1'-0"



D POWDER COATED ALUMINUM GUARD RAIL ELEVATION
A6 SCALE: 1"=1'-0"



E POWDER COATED ALUMINUM GUARD RAIL DETAIL
A6 SCALE: 1"=1'-0"



DATE :
12/6/23

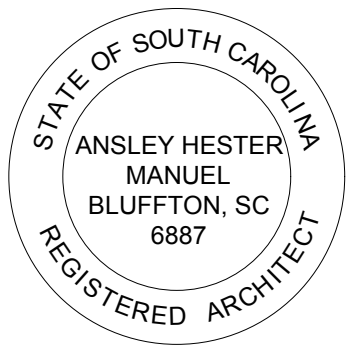
MANUEL STUDIO, LLC
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MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

SCHEDULES & DETAILS

SHEET

A6



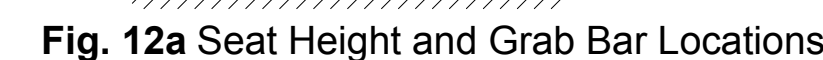
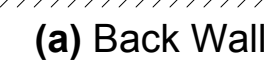
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1104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

MIXED USE BUILDING FOR
KINGTIDE CUSTOM HOMES
10 CARROLL COURT
BLUFFTON, SC 29910

ANSI ILLUSTRATIONS

A-7

NOTE: equipment permitted in dashed area



E	SURFACE MOUNTED TOILET SEAT COVER DISPENSER (MOUNTS BELOW GRAB BAR)
F	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER (MOUNTS BELOW GRAB BAR)
G	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL (MOUNTS BELOW GRAB BAR)

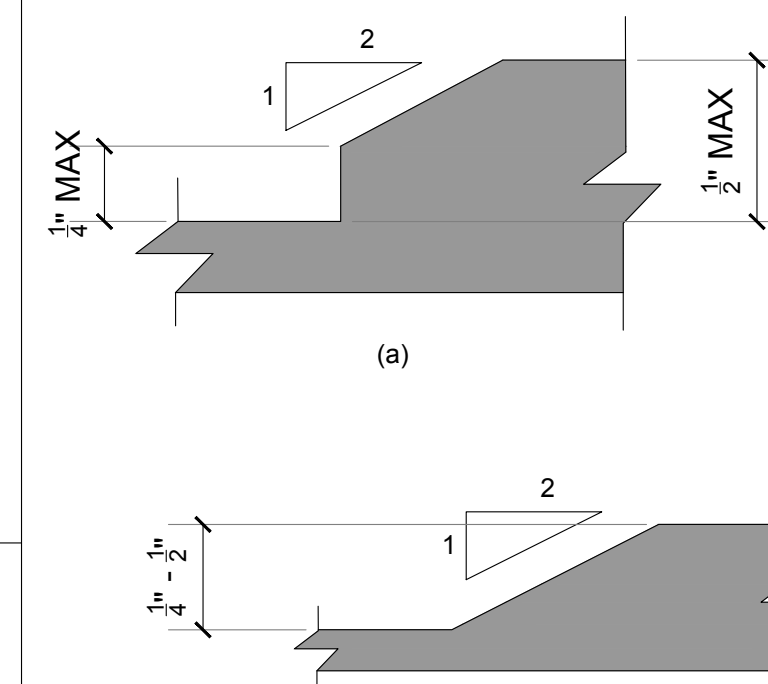
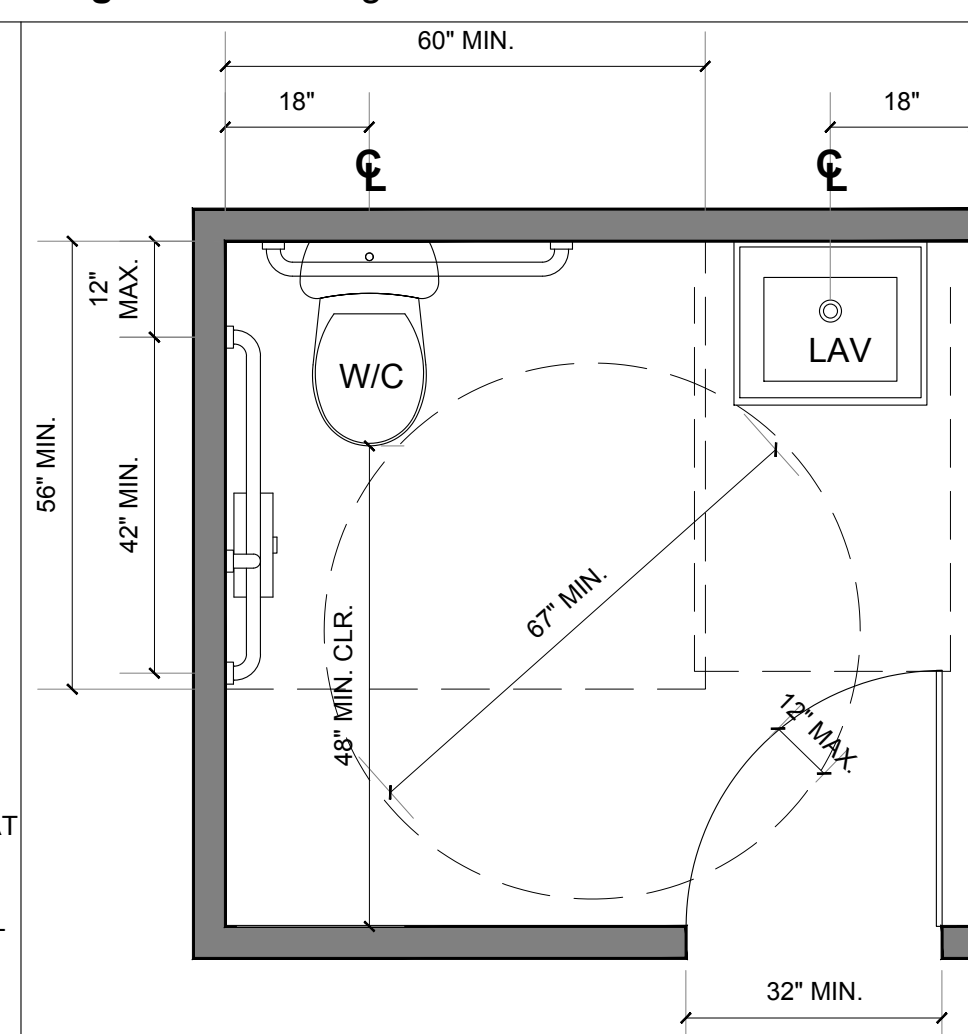
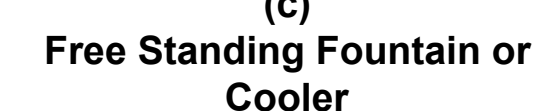


Fig. 2a 60 inch (1525 mm) Diameter Turning Space

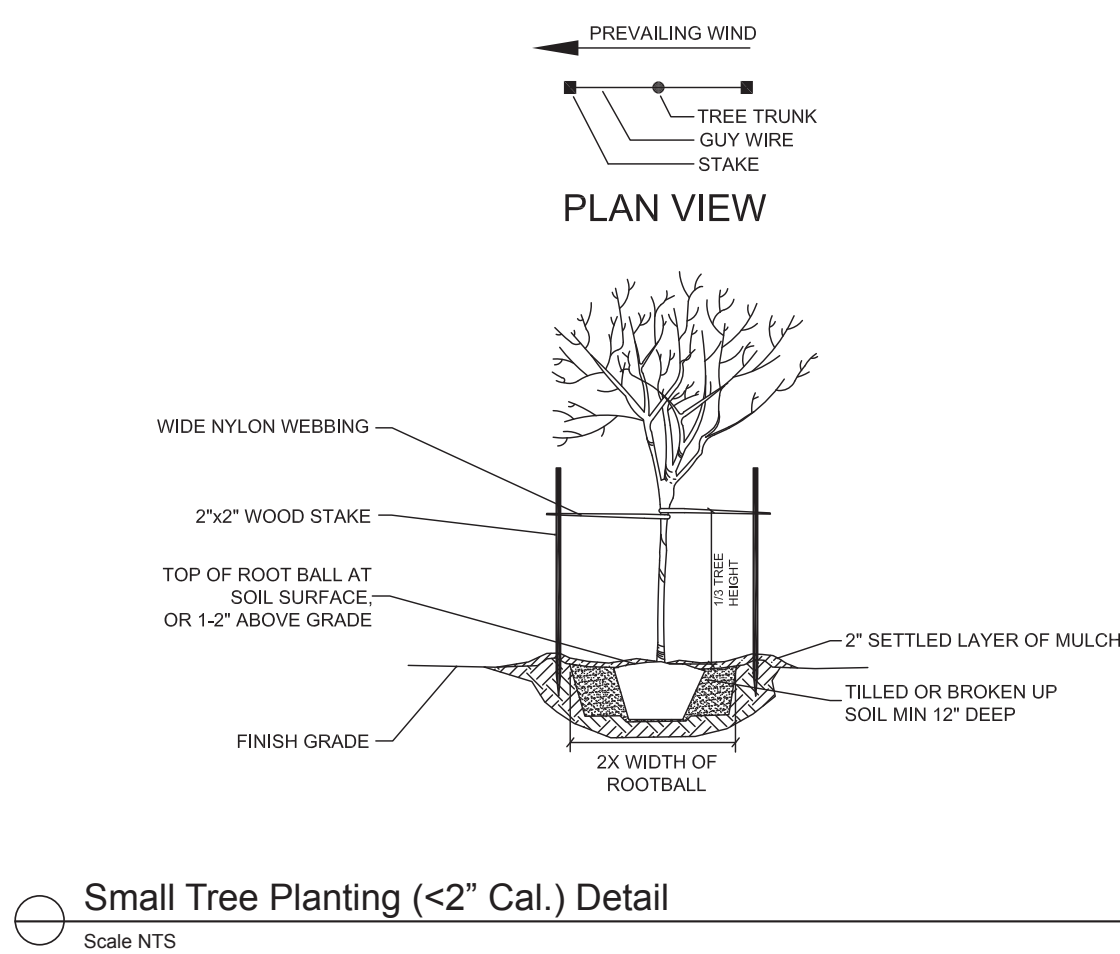


(b)
Clear Floor Space

not to exceed fountain depth



Quantity	Common Name	Botanical Name	Container	Height	Spread	Caliper	Notes
<u>Tree</u>							
2	Sassafras	Sassafras albidum				2.5" Cal.	
<u>Shrub</u>							
12	Dwarf Encore Azalea	Rhododendron Encore	3 gal.	1.5'-2'	1.5'		
	Fragrant Tea Olive	Osmanthus fragrans	7 gal.	3'-4'	2'-3'		
39	Japanese Barberry	Berberis thunbergii	5 gal.	2'-2.5'	1.5'		
20	Pringle's Dwarf Podocarpus	Podocarpus macrophyllus 'Pringle's Dwarf'	3 gal.	1.25'	1.25'		
4	Sasanqua camellia - Dwarf	Camellia sasanqua	7 gal.	2.5'			
<u>Vines/Groundcover</u>							
22	Asiatic jasmine	Trachelospermum asiaticum	1 gal.				
615 SF +/-	Empire Zoysia Sod	Empire Zoysia Sod					
1,585 SF +/-	Pinestraw Mulch	Pinestraw Mulch in Disturbed Areas					





ATTACHMENT 5

PLAN REVIEW COMMENTS FOR COFA-09-23-018484

Section IX. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 09/15/2023
Plan Status: Pending **Plan Address:** 10 Carroll Court
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0372 0000
Plan Description: A request by Nicki Jacoby on behalf of the owner, King Tide Custom Homes, for a review of a Certificate of Appropriateness - HD to construct a new 2-story mixed-use building of approximately 2,846 SF for office use on the first floor and one dwelling unit above, to be located at 10 Carroll Court, in the Old Town Bluffton Historic district and zoned Neighborhood Core - HD zoning District.
Status: The Application will be heard at the 10.9.2023 HPRC meeting.

Staff Review (HD)

Submission #: 1 Received: 09/15/2023 Completed: 10/04/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Building Safety Review	10/04/2023	Richard Spruce	Approved with Conditions

Comments:

18 Sep 23 - RAS

Could not tell if the guardrails are 42-inches or not.

A few exterior walls will have to be fire rated. Shouldn't change the appearance.

Some windows will have to be fire rated. May not change the appearance.

The front elevation will have a fire department connection. The building will require a fire sprinkler system be installed.

Growth Management Dept Review (HD)	10/04/2023	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

1. Doors are permitted to be casement or French in operation. There is no vehicle access to the North Elevation. Revise the garage door to be casement or French in operation. 5.15.6.I.3.c.

2. Railings & Balusters are permitted to be wood (termite resistant), painted or natural wrought or cast Iron. The application proposes aluminum. Revise to a permitted material. 5.15.6.H.2.d.

3. Provide additional information regarding the wood louvers at the stair.

4. Provide street tree at the front of the lot. 5.3.7.A.

5. Update the application for the footprint, impervious and porches calculations. it shows 52 SF of impervious - landings at exterior doors etc. need to be shown on the site plan and included in calculation.

6. Fences in the front yard (in front of the primary structure) are permitted a maximum height of 42 inches. It appears the Tall wood fence extends beyond the front of the primary façade. Provide additional information showing it is behind the primary facade, or revise. Further, at time of final, provide detail of both types of fences. 5.15.6.K.2.

7. During the site planning for any property, consideration shall be given to the existing tree canopy and every reasonable effort made to maximize the preservation of the existing canopy. The two trees at the rear of the property, as they are within a setback and do not effect the ability to use the lot, need to be retained. Revise fence placement to protect the existing canopy. 5.3.3.

HPRC Review	10/04/2023	Katie Peterson	Approved with Conditions
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Comments:

ATTACHMENT 5

Section IX. Item #2.

1. At time of final submittal, provide a landscape plan noting location of plantings, street tree locations, and canopy coverage calculations; as well provide architectural details of the railing and baluster, gutter profile, roof profile, a typical wall corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and (Applications Manual)
2. In order to better conceal the hood systems, consider the vent to go up to the second floor chase and then vent out the side wall and not through the roof on the primary structure.
3. Consider adding a dove cove in the gable ends of the Bakery structure to match the main building. 5.15.6.F.

Watershed Management Review	09/25/2023	Samantha Crotty	Approved with Conditions
-----------------------------	------------	-----------------	--------------------------

Comments:

Grading/drainage plans will be reviewed at time of stormwater permit submittal.

Beaufort Jasper Water and Sewer Review	10/04/2023	James Clardy	Approved
--	------------	--------------	----------

Comments:

No comment provided by reviewer.

Transportation Department Review - HD	09/18/2023	Megan James	Approved
---------------------------------------	------------	-------------	----------

Comments:

No comments

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	January 3, 2024
PROJECT:	213 Goethe Road- New Construction: Mixed-Use, Office and Residential Unit
APPLICANT:	Court Atkins Architects, Inc.
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Court Atkins Architects, Inc., on behalf of the owner, Tidal Creek Investments, LLC, request that the Historic Preservation Commission approve the following application:

1. **COFA-09-23-018463.** A Certificate of Appropriateness- HD to construct a new two and a half-story mixed-use building of approximately 3,717 SF for office use on the first floor and one dwelling unit above, to be located at 213 Goethe Road, in the Old Town Bluffton Historic district and zoned Neighborhood Core - HD zoning District.

INTRODUCTION: The Applicant has proposed the construction of a two and a half-story mixed-use structure with office space on the first floor and a residential unit on the second and third (half) story. The Cart Garage and riser room have been indicated to be for Residential Use on the first floor. The proposed structure, of approximately 3,717 SF has some characteristics of a Main Street Building, but does not have an arcade, colonnade, marque, or awning along the front façade, so it has been classified as an Additional Building Type within the Neighborhood Core-HD zoning district. The 0-foot front, 0-foot rear and 5.5-foot side setbacks are determined by the May River Road, LLC Development Plan, which was approved in 2007.

The main mass of the primary structure is under a side-facing gable roof, with a forward-facing gabled addition to the front and a large shed-roofed dormer to the rear. It features a two-story addition to the rear, which acts as a residential porch on the third (half) floor and houses the rooftop HVAC units for the residential and commercial units. Materials include Hardie Lap Siding with 7" exposure, board and batten siding, asphalt shingle and standing seam metal roofs.

This project was presented to the Historic Preservation Review Committee for conceptual review at the October 2, 2023 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed mixed-use structure will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 1. Section 5.3.3.G. Replacement of Removed Protected Trees. A tree canopy coverage with a minimum of 75% pf the lot, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing trees to be saved, including trees

located within a required buffer, together with the mature canopy of proposed replacement trees. Canopy coverage calculations have not been provided. Canopy Coverage plan, including required street tree, must be provided showing the minimum 75% canopy lot coverage has been provided. Further the Live Oak which is proposed in the Access Easement must be relocated to be outside of the Access Easement.

2. Section 5.15.6.M Shutters. Shutters shall be constructed of durable wood. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for shutters provided the UDO Administrator determines that the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. The Applicant has proposed composite shutters. No materials have been provided for UDO Administrator review. Shutter material must be revised to durable wood.

Further, shutter dogs may be the standard "S" hook, rat-tail hooks, generally less decorative iron butterfly, or other style shutter dog typical of the Old Town Bluffton Historic District's period of significance. A shutter dog detail must be provided.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.
 - a. *Finding.* Town Staff finds that if the architectural and landscaping items in Section 2 have been met, the nature and character of the new construction will be consistent with that of the surrounding neighborhood.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.
 - a. *Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.
5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.
 - a. *Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be incomplete. As the project is located within the May River Road subdivision, a letter

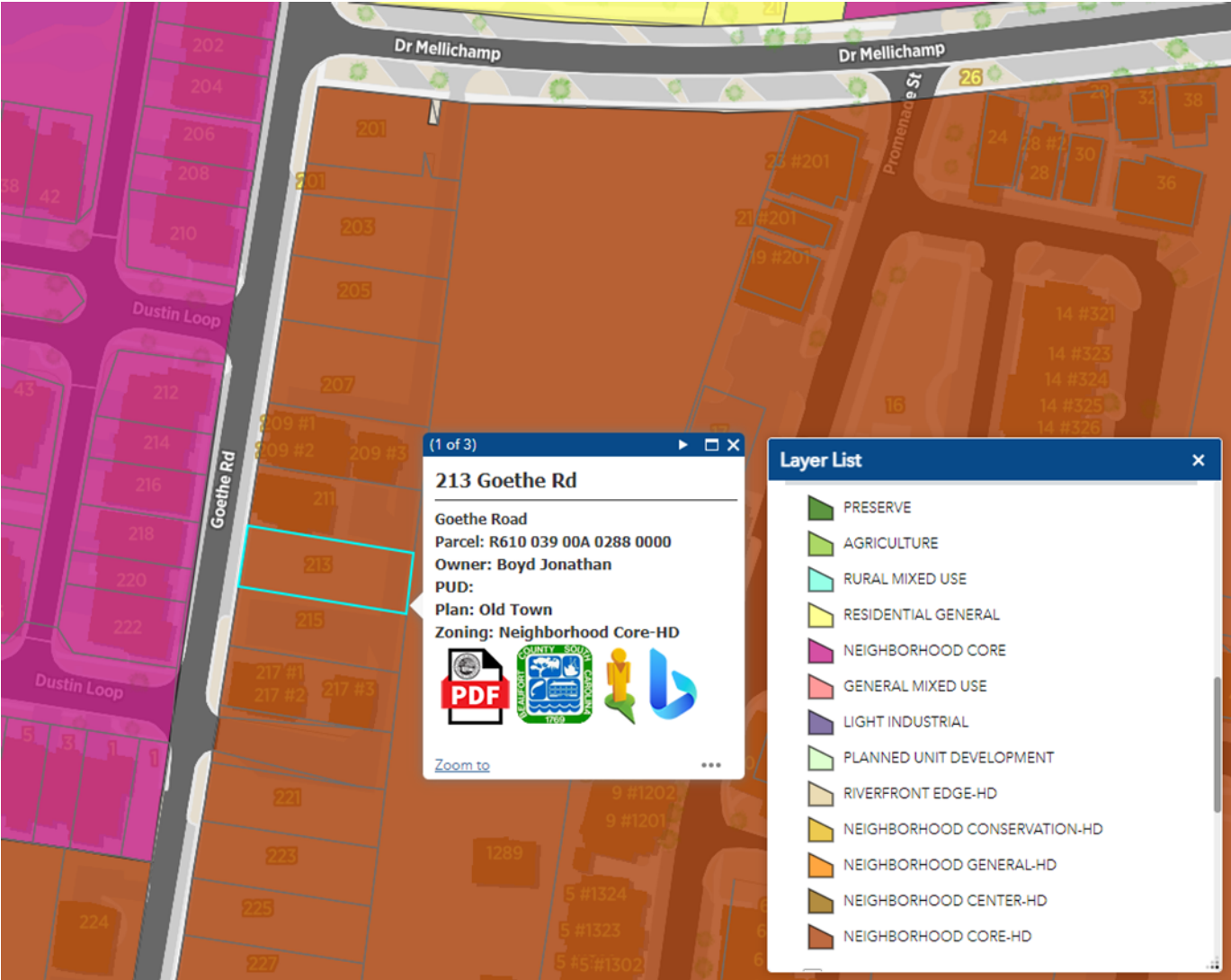
of approval from the Architectural Review Board is required. In addition to the Certificate of Appropriateness-HD, as there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness. Finally, as this site contains commercial use, no signage may be displayed without a Site Feature – HD approval.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Update floor plans to specifically indicate residential use only for the Cart Garage, as the square footage is indicated, but not which portions of the floor plan it incorporates. This will ensure it is maintained after the drawings have been separated from the narrative for construction.
2. Per the Applications Manual, a letter of approval from the May River Road subdivision Architectural Review Board is required.
3. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
4. Per the Applications Manual, no signage may be displayed without a Site Feature – HD approval.
5. Per UDO Section 5.3.3.G. a canopy coverage plan, including required street tree, must be provided showing the minimum 75% canopy lot coverage has been provided.
6. Live Oak must be relocated outside of the Access Easement.
7. Per UDO Section 5.15.6.M., shutter material must be revised to durable wood.
8. Per UDO Section 5.15.6.M., a shutter dog detail must be provided to ensure the profile is appropriate.

ATTACHMENTS:

1. Location Map and Zoning Maps
2. Application and Narrative
3. Site Plan & Elevations
4. Landscape Plan & Canopy Coverage
5. HPRC Report





ATTACHMENT 2

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section IX. Item #3.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Court Atkins Architects, Inc.		Name: Tidal Creek Investments, LLC	
Phone: 843-815-2557		Phone: 843-540-1149	
Mailing Address: P.O. Box 3978 Bluffton, SC 29910		Mailing Address: 212 Gascoigne Bluff Road Bluffton, SC 29910	
E-mail: jacob.woods@courtatkins.com		E-mail: jb@tidalcreekinvestments.com	
Town Business License # (if applicable): LIC-04-19-028962			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Tidal Creek Investments Building		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 213 Goethe Road		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood Core (NC-HD)		Application for:	
Acreage: 0.11		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 00A 0288 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: A 2.5 story building with an office for Tidal Creek Investments on the ground floor and a living space on the upper floor and a half.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 12-3-23	
Applicant Signature: 		Date: 12/04/2023	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #3.

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type					
Building Setbacks	Front:5'	Rear:20'	Rt. Side:5.5'	Lt. Side:5.5'	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage	Proposed Square Footage	
Main Structure	Main Buidling			3,717 SF	
Ancillary					
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1,600 SF		
Impervious Drive, Walks & Paths			628 SF		
Open/Covered Patios			190 SF		
A. TOTAL IMPERVIOUS COVERAGE			2,418 SF		
B. TOTAL SF OF LOT			5,000 SF		
% COVERAGE OF LOT (A/B= %)			48.4%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation	
Foundation	Concrete		Columns	Cementitious Trim	
Walls	Cement. Lap Siding & Board and Batten		Windows	Alum. Clad	
Roof	Asphalt Shingles & Standing Seam		Doors	Alum. Clad	
Chimney	N/A		Shutters	Composite	
Trim	Cementitious & KDAT WD.		Skirting/Underpinning	TBD	
Water table	KDAT WD.		Cornice, Soffit, Frieze	Cementitious	
Corner board	Cementitious		Gutters	Half-Round Metal	
Railings	KDAT WD.		Garage Doors	Metal	
Balusters	KDAT WD.		Green/Recycled Materials		
Handrails	KDAT WD.				



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

Date

12.3.23

Printed Name of Property Owner or Authorized Agent

12/04/2023

Date

Signature of Applicant

Jacob Woods

Printed Name of Applicant



December 5, 2023

Katie Peterson, Senior Planner
Town of Bluffton
20 Bridge Street
P.O. Box 386
Bluffton, SC 29910

Project: Tidal Creek Investments Building (213 Goethe Road)

Subject: Project Narrative for Certificate of Appropriateness – HPC Final Design Submittal Review

Katie,

Project Description

The Tidal Creek Investments Building is a proposed 2.5 Story Building in Bluffton, located on the East Side of Goethe Road.

Existing Conditions

Currently, 213 Goethe Road is an empty lot with a small grove of trees. It is adjacent to another empty lot, 215 Goethe Road and a 2.5 Story building (211 Goethe Road).

Proposed Building Construction

The proposed architectural program for the project is a single 2 1/2 story building, with a single commercial space for Tidal Creek Investments on the first floor and a single-family residential space on the upper floor and a half. The ground floor totals 1,600 SF, including a cart garage serving the upper floor. There is a 9.5' deep front entry porch that leads to the Tidal Creek Investments entry and an interior stair serving the residential area. The upper floor and a half totals 2,117 SF of living space, in addition to a flat roof for the HVAC to sit.

The architectural massing of the building are multiple gables with a shed dormer and a flat roof with a parapet. The exterior materials for the building will be cementitious fiber siding (Lap, Board and Batten & Hardie Panel). The front entry porch has cementitious wrapped columns with a brick base. The porch railing will be KDAT wood.

The building has a fully automated sprinklered system per the building code. The building is likely to be wood construction.

The building is considered an "Additional Building Type" building type per the Town of Bluffton Unified Development Ordinance (UDO)

Building Safety Review Comments & Responses

1. Plans show a ramp from accessible parking area on side of building. There is a door to the cart barn that swings out over the ramp. Where does this ramp go to? Does not appear to create a path of travel to the front door.
Ramp has been revised to a gently sloping path from the rear to the front door.

Growth Management Department Review Comments & Responses

1. At time of final submittal, show required 35% open space per development plan.
Please see A1.0 for open space calculation.
2. At time of final provide information on the shaded area in the 3rd floor with possible head height of 5' or more. (UDO 5.15.5.F1.e.)
All areas shaded have a head height less than 5'.
3. Update ridge height to be from grade, rather than from finished floor, as the maximum height permitted by the Development is 35' and it may not go over that height.
Ridge height, measured from grade, is 35'. See elevations.
4. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy coverage calculations; as well provide architectural details of the railing and baluster, a typical window detail, window and door tables, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
Please see landscape drawings and sheets A5.0, A5.1 & A6.0.
5. Provide additional information on utilities which are not located on the roof (electric meters, commercial HVAC units etc.) for placement and screening. (UDO 5.15.5.F.10)
All HVAC units are located on the roof. See A2.0 for electric meter enclosure.
6. Provide clarification on the stair access as it relates to commercial access to the residential space. It appears the first floor commercial has direct access to the single residential unit on the second and third floor.
There will be a lockout at the door to the interior stair at door 100A and another lock at E02.
7. If the cart garage is intended to be residential space, pedestrian connection to the unit needs to be provided.
The cart garage is for residential use and it can be accessed using the outdoor path.

HPC Review Comments & Responses

1. Provide clarification on the residential vs. commercial spaces on the first floor. It appears the Cart Garage may be residential, but the commercial riser room access is through the residential space. If owned by the residential tenant it seems problematic to have risers room access through that garage.
The cart garage is residential and the riser room (considered neither commercial or residential) will be able to be accessed through the riser room door.
2. There seems to be a problematic separation between the commercial and residential space as the only HVAC units shown are accessed through the residential space. Similarly Door 100A does not seem necessary as it separates the two uses.
There will be an agreement to access the roof for HVAC maintenance. Optionally, a ladder may be used to access the roof, see A2.2.
3. 2:12 shed roof on back is shown as shingle. Recommend revising to a metal roof for moisture management or increasing the pitch of the roof in this location.
2:12 shed roof has been changed to standing seam.
4. I'd like to see some more articulation on the left and right side elevations of the rear board-and-batten massing. Windows in those bedrooms? Something other than a blank wall.
Windows have been added to both elevations into the bedrooms.

5. It would be nice to see the front gable lift up on a kneewall to get some breathing room between the roof and the bracketed roof over the second floor windows. Maybe some more articulation up there (a faux louver, additional window, etc.).

Front gable has been lifted and a faux louver has been added.

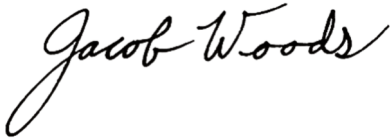
6. There are two separate heights of the bandboard around the building. The height of the bandboard on the right side elevation at the small gable and the rear mass feels more appropriate, so perhaps this could continue around the entire structure (leaving the second floor porch bandboard as its own element)?

The band board has been raised to match the height at the right side.

7. How does the flat roof on the third floor drain? Are there scuppers / gutters / downspouts somewhere? Perhaps incorporating this feature into the design might help with further articulation of the rear element?

The roof on the third floor drains towards the rear elevation. See revised 1/A3.1 for collectors with downspouts.

Regards,



Jacob Woods, Project Designer

FINAL HPC REVIEW

TIDAL CREEK INVESTMENTS BUILDING

213 GOETHE ROAD, BLUFFTON, SC 29910

SHEET INDEX:

		SCHEMATIC SET 08/03/2023			
		CONCEPT HPC 09/05/2023			
		DESIGN DEVELOPMENT SET 10/27/2023			
		FINAL HPC SUBMITTAL 12/05/2023			
SHT. #	SHEET NAME				
A0.0	COVER	X	X	X	X
A0.1	GENERAL NOTES AND CODE SUMMARY	X	X	X	
A0.2	ABBREVIATIONS, SYMBOLS & ACCESS. DIAGS.	X	X	X	
A0.3	LIFE SAFETY PLANS			X	
A1.0	ARCHITECTURAL SITE PLAN	X	X	X	X
A2.0	FIRST FLOOR PLAN	X	X	X	X
A2.1	SECOND FLOOR PLAN	X	X	X	X
A2.2	THIRD FLOOR PLAN	X	X	X	X
A2.3	ROOF PLAN	X	X	X	X
A3.0	EXTERIOR ELEVATIONS	X	X	X	X
A3.1	EXTERIOR ELEVATIONS	X	X	X	X
A4.0	BUILDING SECTIONS	X		X	X
A4.1	BUILDING SECTIONS	X		X	X
A5.0	WALL SECTIONS			X	X
A5.1	WALL SECTION & DETAILS				X
A6.0	DOOR & WINDOW SCHEDULE				X
A7.0	VERTICAL CIRCULATION			X	
A8.0	FIRST FLOOR RCP			X	
A8.1	SECOND FLOOR RCP			X	
A8.2	THIRD FLOOR RCP			X	
A9.4	PERSPECTIVES	X	X	X	X
-	SURVEY	X	X	X	X

PROJECT INFORMATION:

NAME OF PROJECT:	TIDAL CREEK INVESTMENT BUILDING
ADDRESS:	213 GOETHE ROAD BLUFFTON, SC 29910
PROPOSED USE:	BUSINESS (B)
OWNER CONTACT:	JONATHAN BOYD
CODE ENFORCEMENT JURISDICTION:	TOWN OF BLUFFTON
INTERNATIONAL BUILDING CODE (IBC):	2021
INTERNATIONAL MECHANICAL CODE:	2021
INTERNATIONAL PLUMBING CODE:	2021
THE NATIONAL ELECTRICAL CODE:	2020
INTERNATIONAL FUEL GAS CODE:	2021
INTERNATIONAL FIRE CODE:	2021
INTERNATIONAL ENERGY CONSERVATION CODE:	2009
ICC/ANSI A117.1:	2017

DESIGNER OF RECORD:			
DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
PLUMBING/FIRE PROTECTION	ENGINEER NAME	XX #XXXX	(###) ###-####
MECHANICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
STRUCTURAL	ENGINEER NAME	XX #XXXX	(###) ###-####
CIVIL	ENGINEER NAME	XX #XXXX	(###) ###-####
LAND PLANNING/	ENGINEER NAME	XX #XXXX	(###) ###-####
LANDSCAPE	LANDSCAPE NAME	XX #XXXX	(###) ###-####

PROJECT TEAM:

OWNER CONTACT	ARCHITECT
JONATHAN BOYD	COURT ATKINS ARCHITECTS, INC.
TIDAL CREEK INVESTMENTS, LLC	32 BRUIN ROAD
121 GASCOIGNE BLUFF ROAD	P.O. BOX 3978
BLUFFTON, SC 29910	BLUFFTON, SC 29910
(843) 540-1149 PH	(843) 815-2557 PH
	(843) 815-2547 FAX

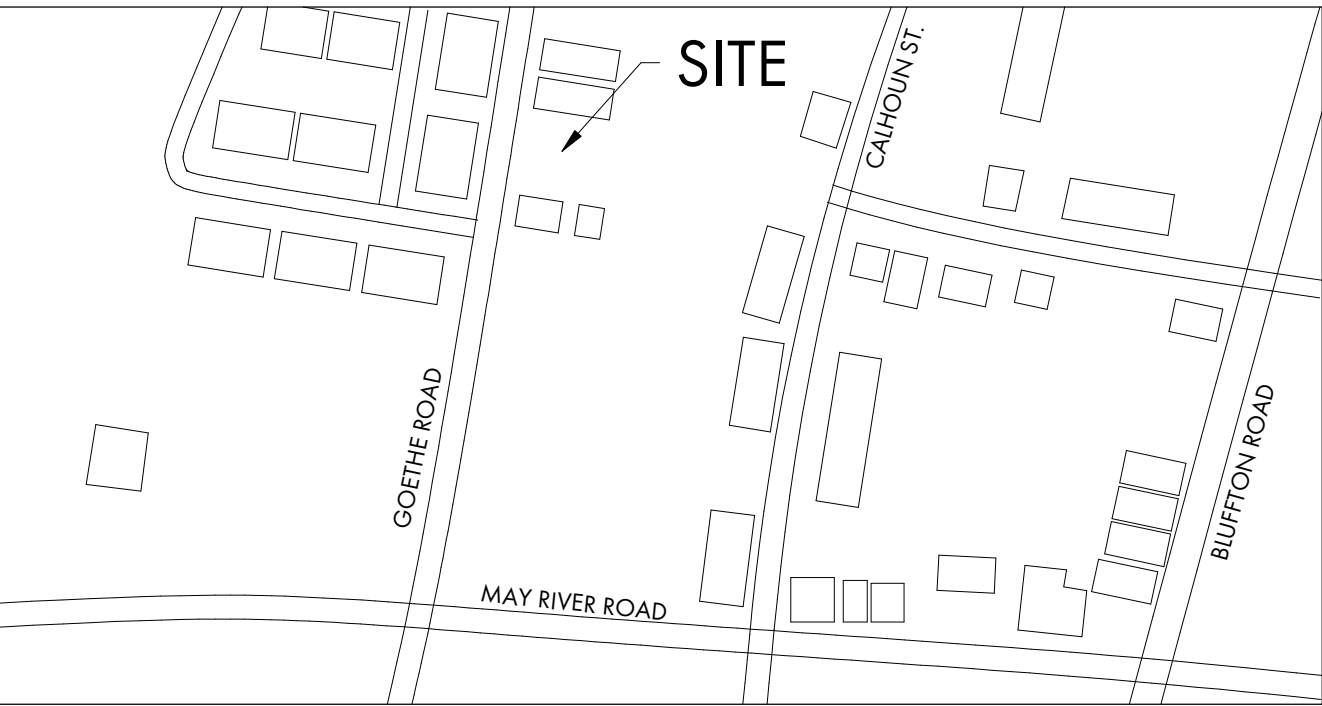
STRUCTURAL ENGINEER	GENERAL CONTRACTOR
T.B.D.	T.B.D.

MECHANICAL PLUMBING & FIRE PROTECTION	LANDSCAPE ARCHITECT
T.B.D.	T.B.D.

ELECTRICAL ENGINEER	CIVIL ENGINEER
T.B.D.	T.B.D.

INTERIOR DESIGNER
T.B.D.

VICINITY MAP - N.T.S.



GENERAL NOTES:

- A. NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- B. THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- C. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- D. SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- E. SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- F. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- G. BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- H. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- I. THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- J. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- K. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- L. THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- M. SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- N. INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- O. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

BUSINESS (B) & RESIDENTIAL (R-2) OCCUPANCIES

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY; REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

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TIDAL CREEK INVESTMENTS
BUILDING
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PROJECT INFO

Date
12.05.2023

Project No.
23-053

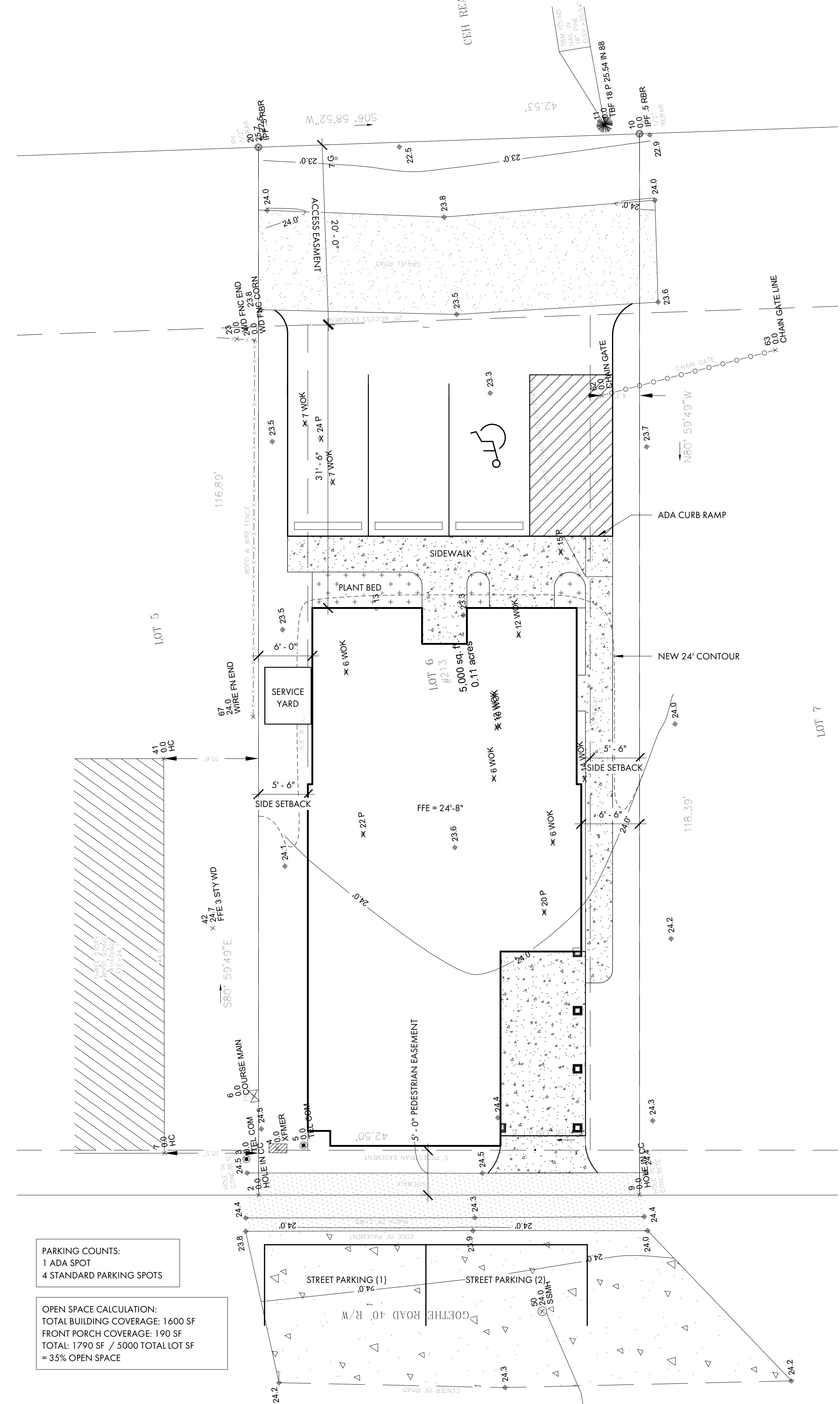
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SHEET TITLE

COVER

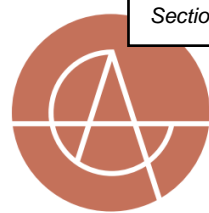
A0.0



PARKING COUNTS:
1 ADA SPOT
4 STANDARD PARKING SPOTS

OPEN SPACE CALCULATION:
TOTAL BUILDING COVERAGE: 1600 SF
FRONT PORCH COVERAGE: 190 SF
TOTAL: 1790 SF / 5000 TOTAL LOT SF
= 35% OPEN SPACE

1 ARCHITECTURAL SITE PLAN
A1.0 1/8" = 1'-0"



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FIRST FLOOR PLAN

A2.0

GENERAL FLOOR PLAN NOTES:

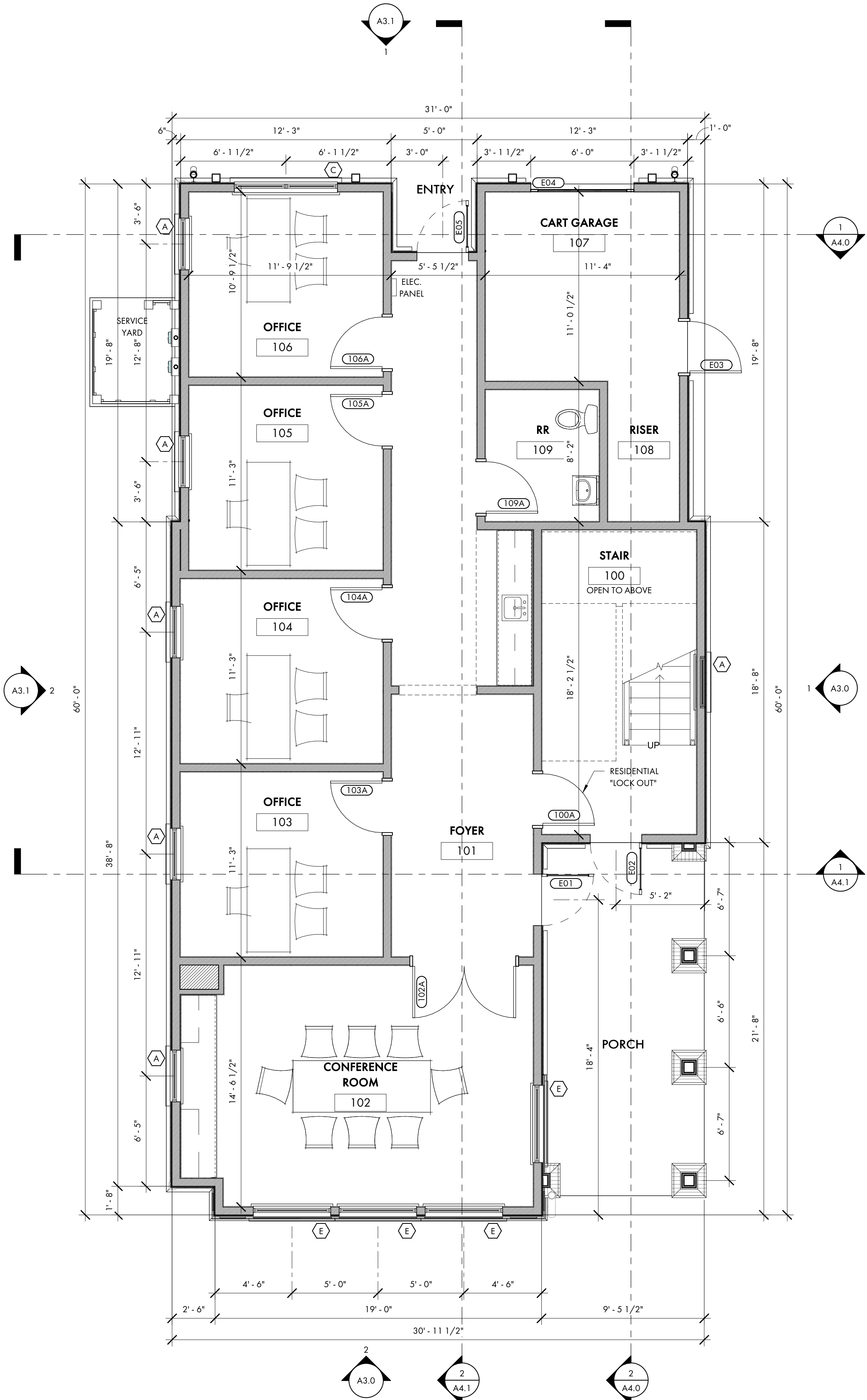
- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- E. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- F. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- G. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'A'.
- I. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.
- J. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.

FLOOR PLAN - SYMBOL KEY

- 3 5/8" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- 6" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- SOUND BATT INSULATION
- 1 HOUR FIRE RATED WALL
- WINDOW TAG
- WALL TAG
- DOOR TAG

AREAS

FIRST FLOOR:	1,228 SF (BUSINESS) 372 SF (RESIDENTIAL) 1,600 (B + R)
SECOND FLOOR:	1,435 SF (RESIDENTIAL)
THIRD FLOOR:	682 SF (RESIDENTIAL)
TOTAL:	1,228 SF (BUSINESS) 2,489 SF (RESIDENTIAL) 3,717 SF (B + R)



1 FIRST FLOOR PLAN
A2.0 1/4" = 1'-0"



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SECOND FLOOR PLAN

A2.1

GENERAL FLOOR PLAN NOTES:

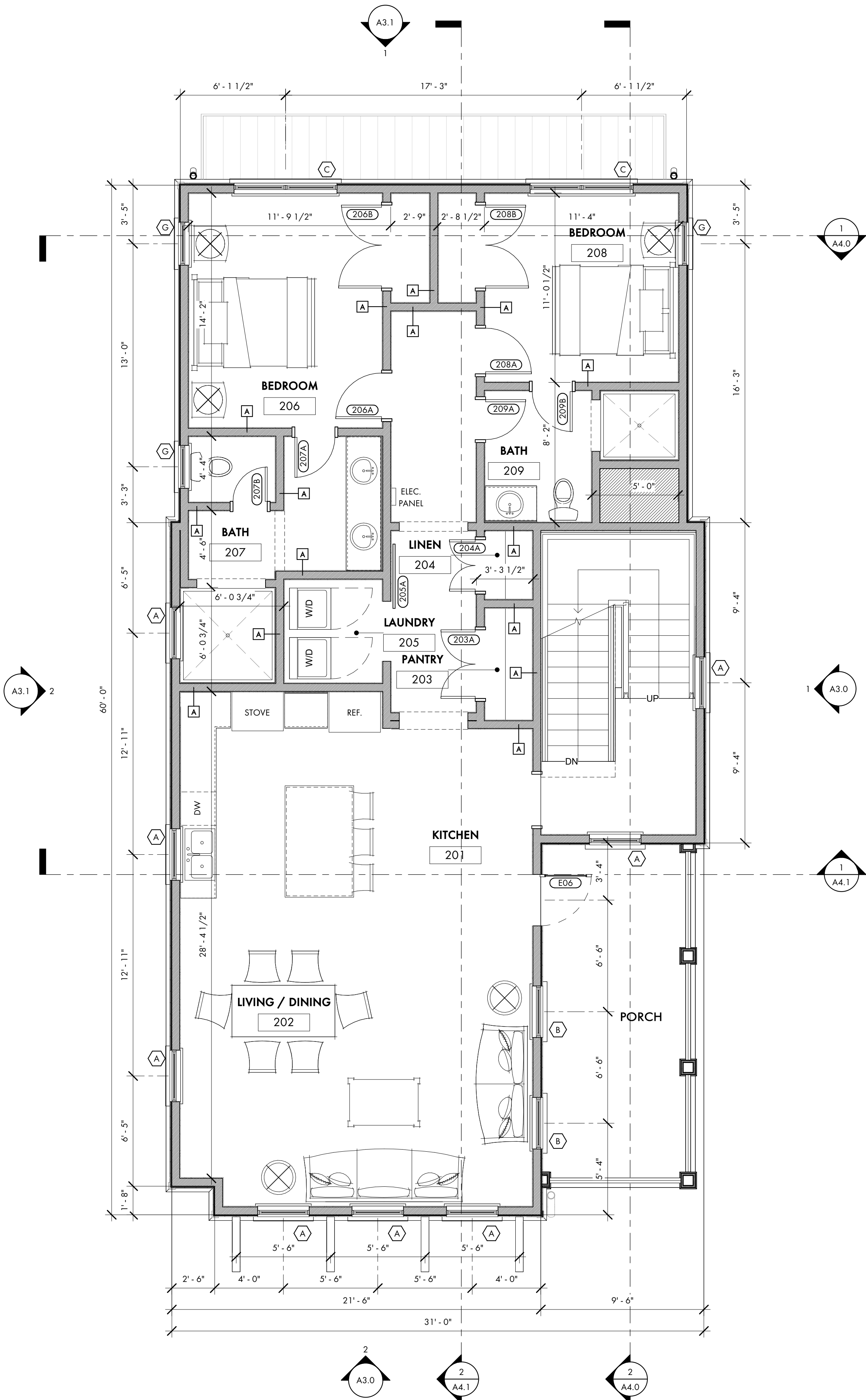
- G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
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- DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- U.N.O. WALL TYPE SHALL BE TYPE 'A'.
- DOOR OPENINGS SET 4" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.
- WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.

FLOOR PLAN - SYMBOL KEY

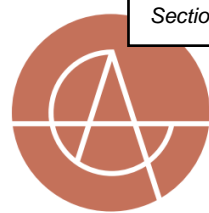
- 3 5/8" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- 6" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- SOUND BATT INSULATION
- 1 HOUR FIRE RATED WALL
- WINDOW TAG
- WALL TAG
- DOOR TAG

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THIRD FLOOR:	682 SF (RESIDENTIAL)
TOTAL:	1,228 SF (BUSINESS) 2,489 SF (RESIDENTIAL) 3,717 SF (B + R)



1 SECOND FLOOR PLAN
A2.1 1/4" = 1'-0"



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ROOF PLAN

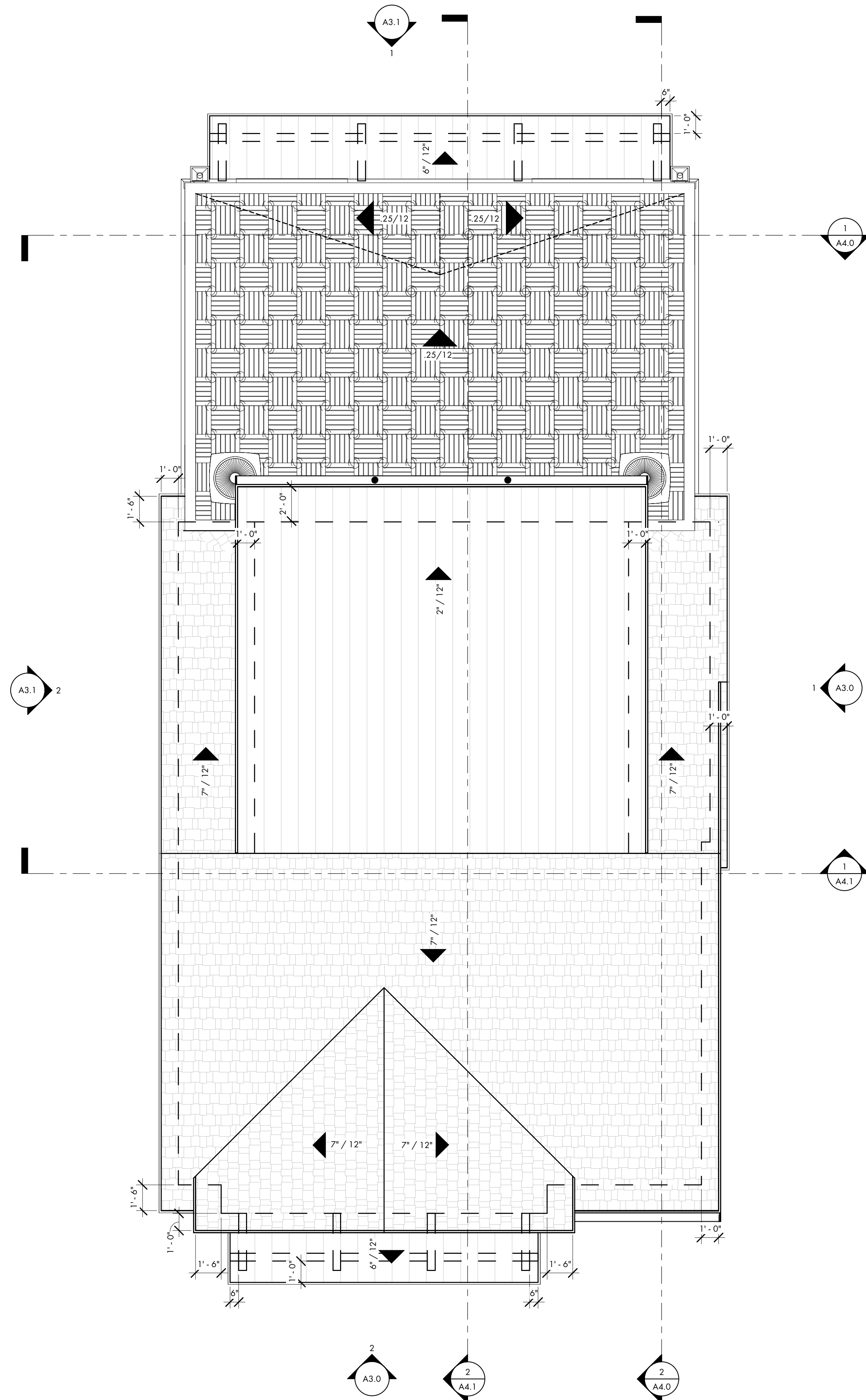
A2.3

GENERAL ROOF PLAN NOTES:

- A. AT ALL ROOF RIDGES AND HIPS USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2" BOTH WAYS.
- B. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY
- C. VERIFY ROOF TOP EQUIPMENT CLEARANCES W/ MANUFACTURERS TO VERIFY EQUIPMENT LAYOUTS.

ROOF PLAN LEGEND

- 3/12 — RISE / RUN
- ▲ — SLOPE DIRECTION
- STANDING SEAM METAL ROOF
- ASPHALT SHINGLE ROOF



1 ROOF PLAN
A2.3 1/4" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES:
A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK

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EXTERIOR ELEVATIONS

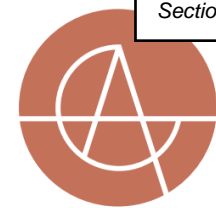
A3.0



1 RIGHT ELEVATION
A3.0 1/4" = 1'-0"



2 FRONT ELEVATION
A3.0 1/4" = 1'-0"



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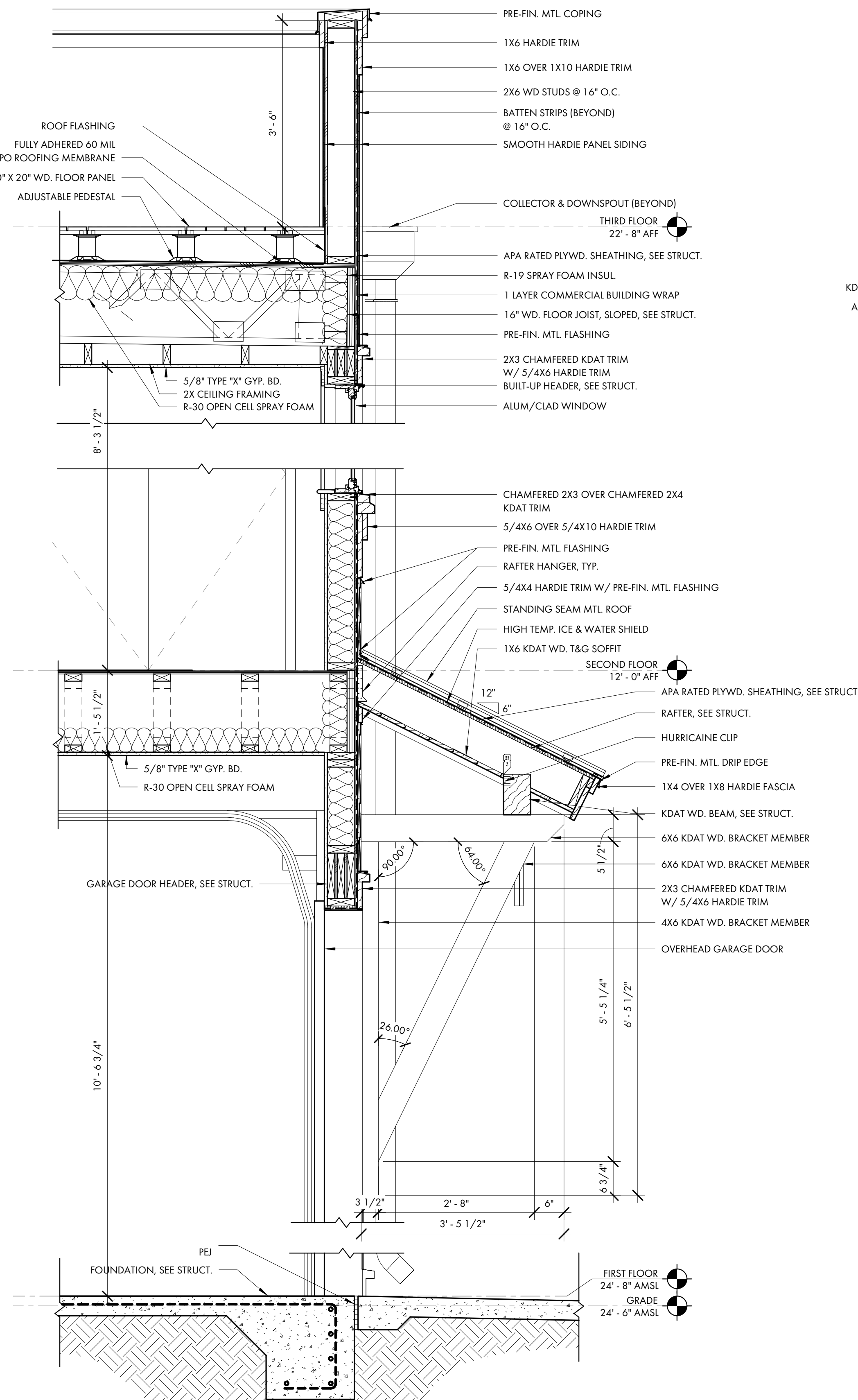
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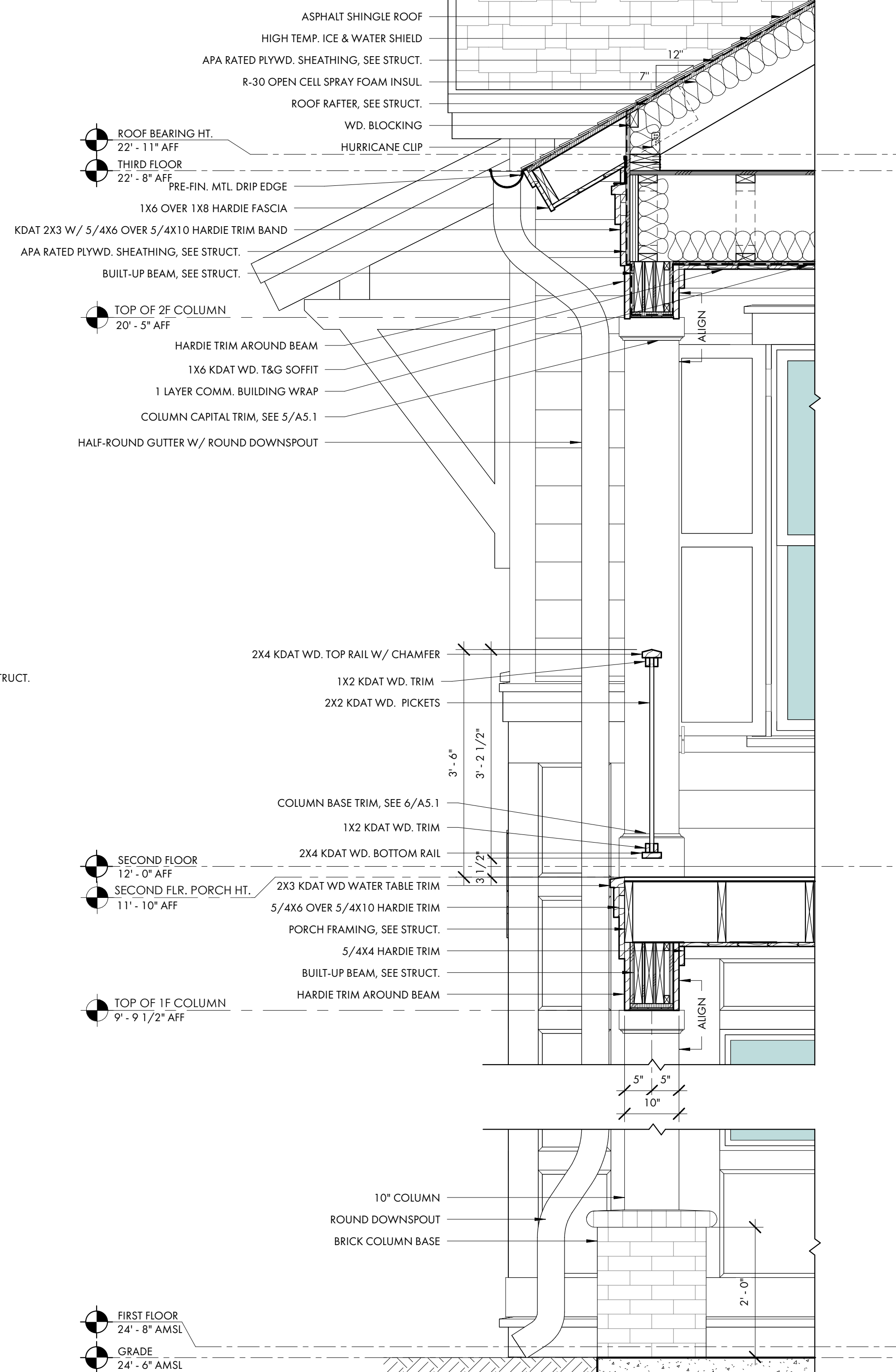
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WALL SECTIONS

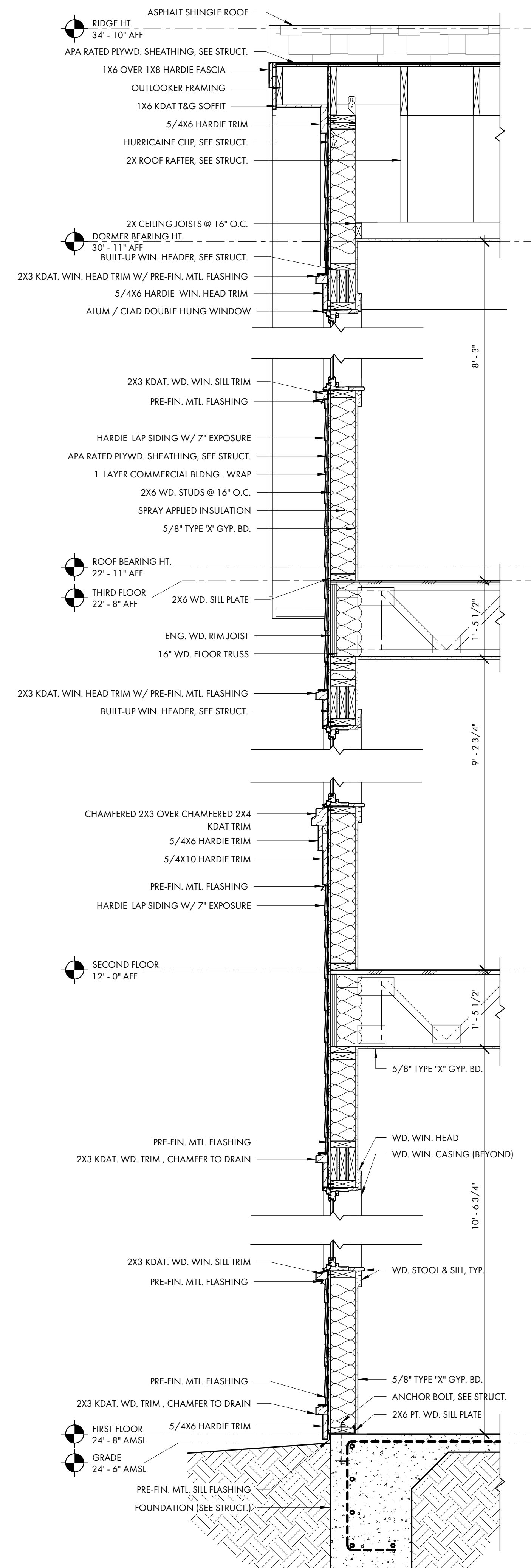
A5.0



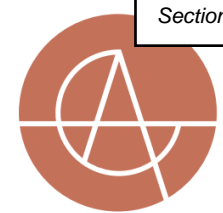
3 SECTION @ FLAT ROOF
A5.0 3/4\"/>



2 SECTION @ PORCH
A5.0 3/4\"/>



1 WALL SECTION @ SIDE WALL
A5.0 3/4\"/>



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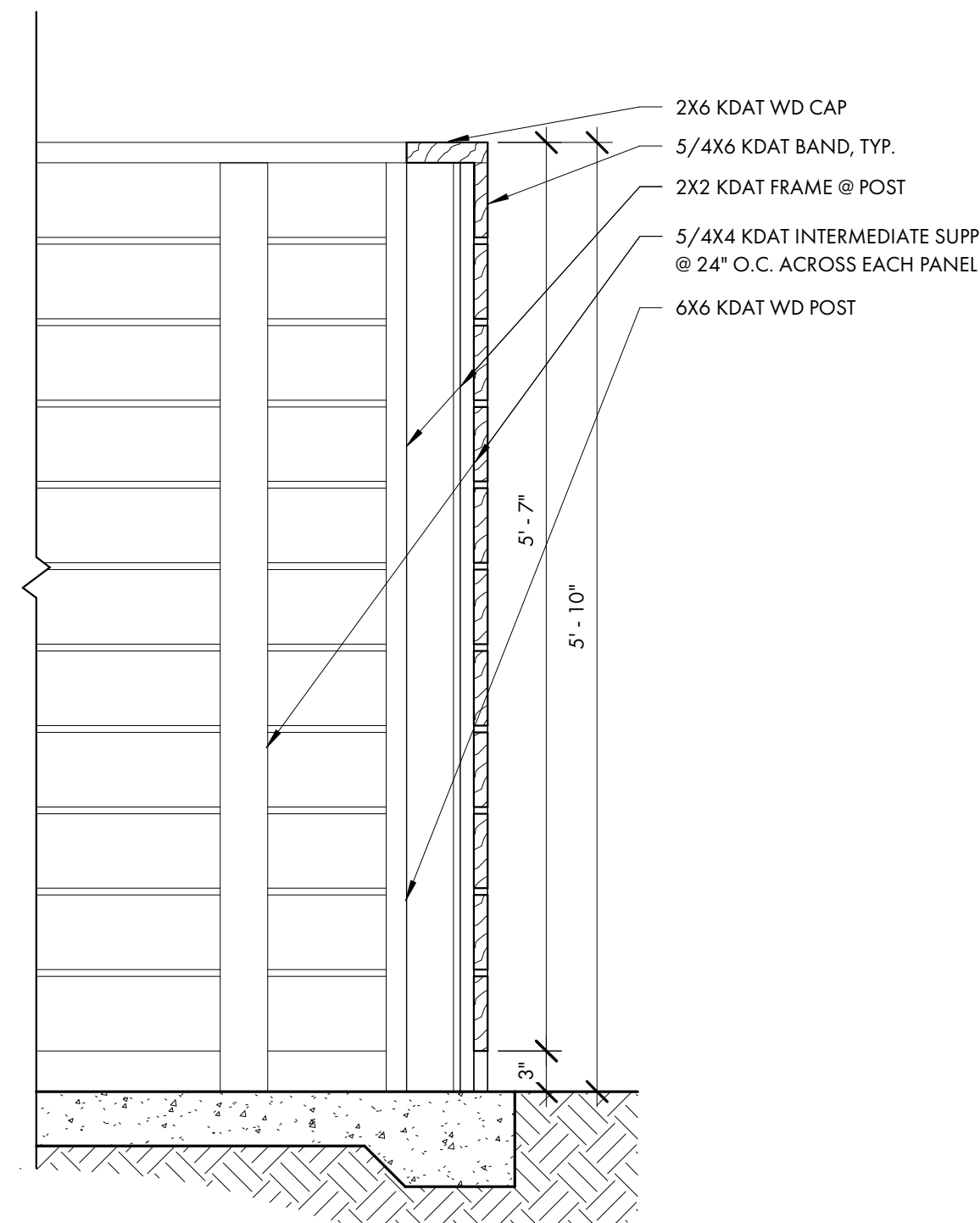
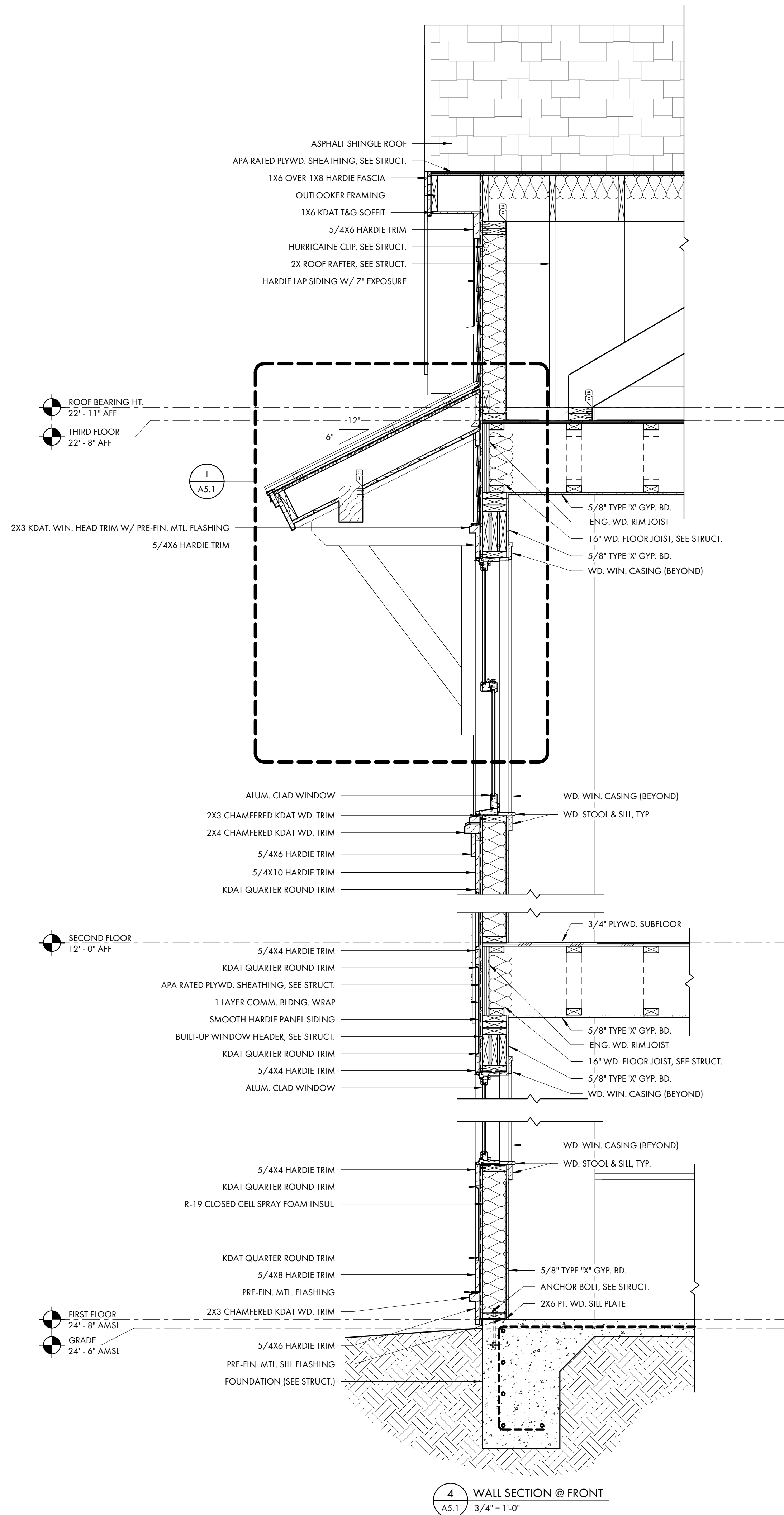
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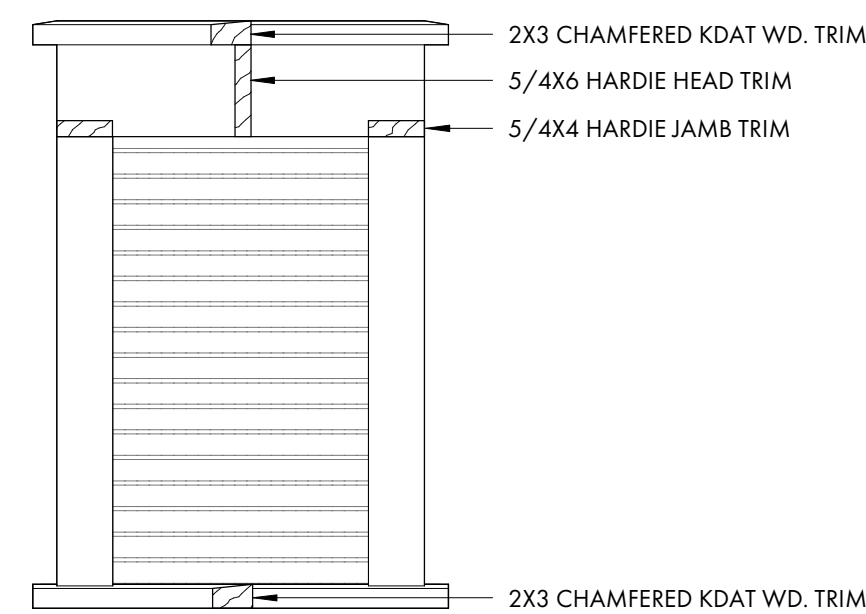
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WALL SECTION &
DETAILS

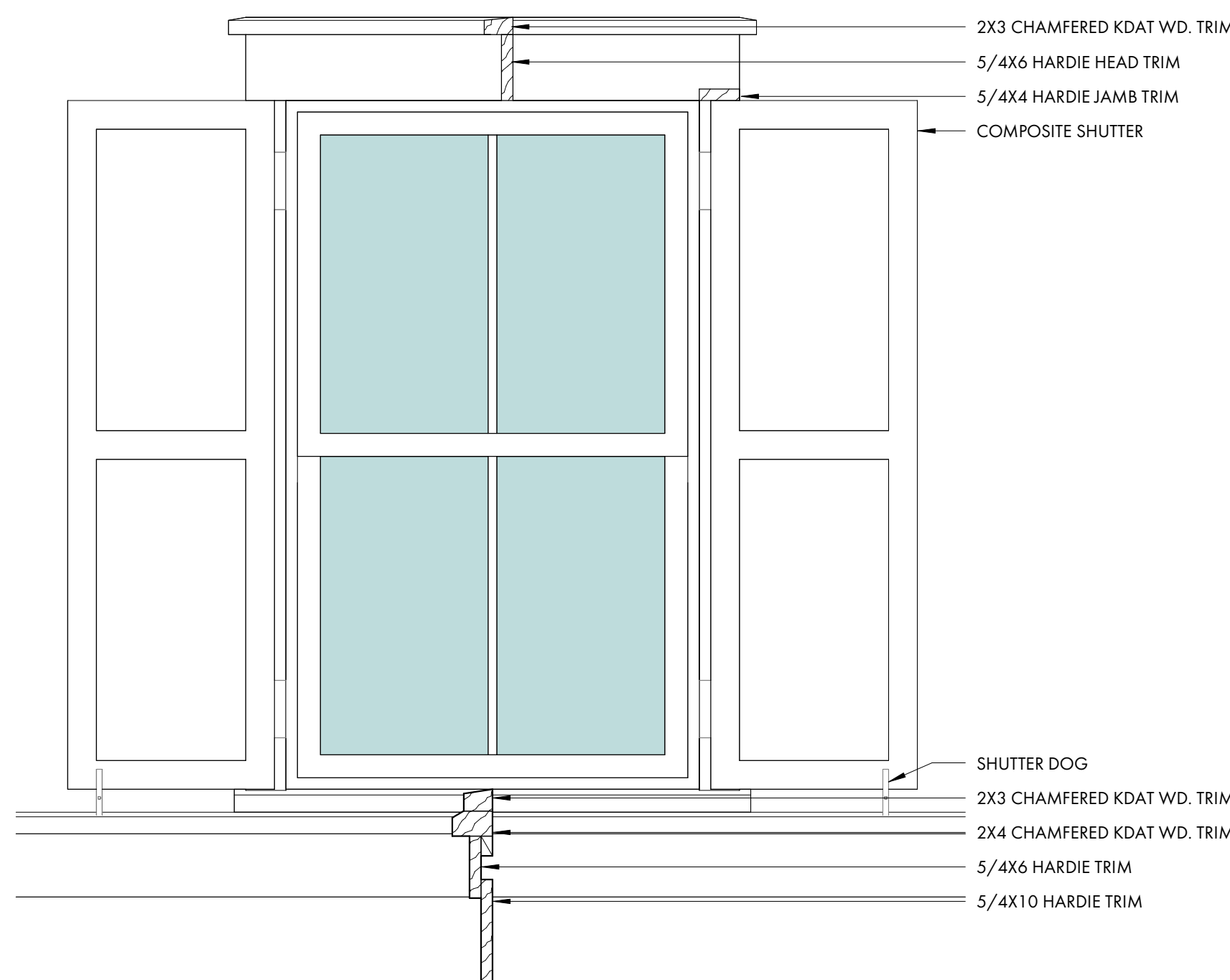
A5.1



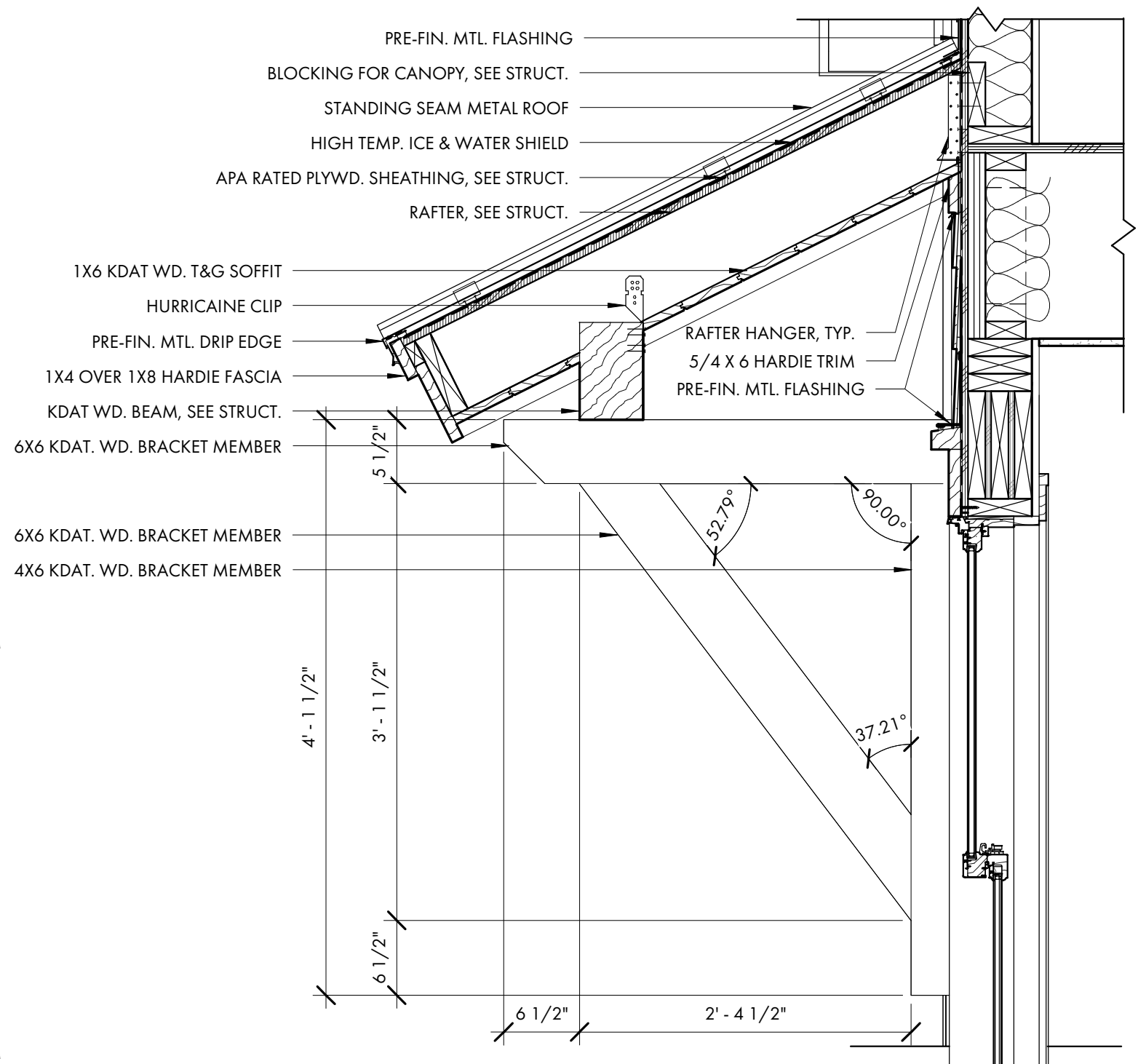
8 SERVICE YARD DETAIL
A5.1 1" = 1'-0"



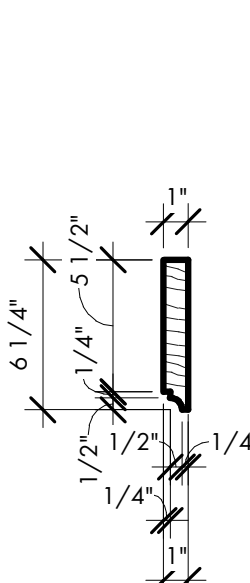
7 FAUX LOUVER ELEVATION
A5.1 1" = 1'-0"



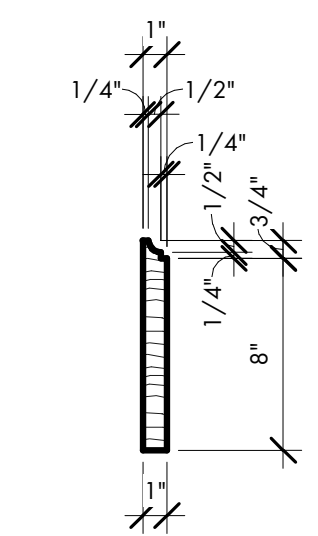
2 WINDOW ELEVATION, TYP.
A5.1 1" = 1'-0"



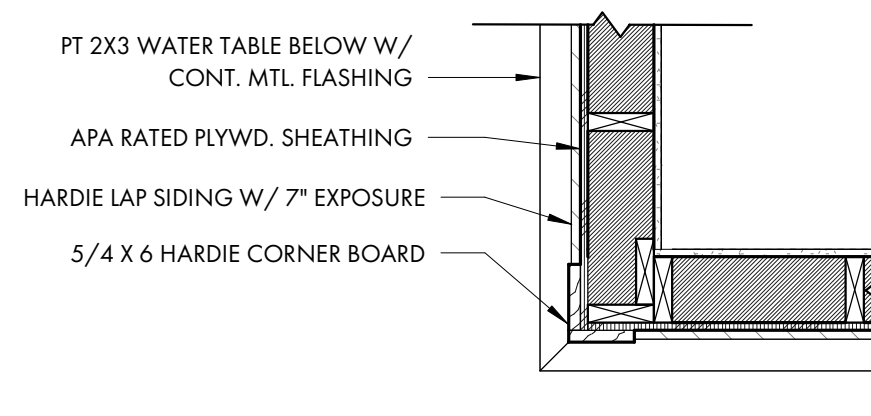
1 FRONT BRACKET DETAIL
A5.1 1" = 1'-0"



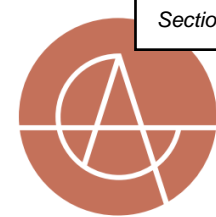
5 COLUMN CAPITAL TRIM
A5.1 1 1/2" = 1'-0"



6 COLUMN BASE TRIM
A5.1 1 1/2" = 1'-0"



3 CORNER BOARD PLAN DETAIL
A5.1 3/4" = 1'-0"



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A.	EGRESS DOORS AND HARDWARE SHALL COMPLY WITH 2021 IBC, SECTION 1010.1.9 WHEN BUILDING IS OCCUPIED.
B.	DOOR HARDWARE TO BE ADA COMPLIANT PER 2021 IBC & ANSI 117.1 2017.
C.	DOOR BOTTOM RAILS SHALL COMPLY WITH ANSI 117.1 2017 SECTION 404.2.9 (10" MIN. SMOOTH BOTTOM RAIL)
D.	DOOR SWING PER FLOOR PLANS
E.	PROVIDE IMPACT RESISTANT GLAZING FOR OPENING PROTECTION AT ALL WINDOWS AND DOORS IN ACCORDANCE WITH 2021 IBC, SECTION 1609.2.
F.	G.C. TO SUBMIT SHOP DRAWINGS FOR REVIEW.
G.	DESIGN PRESSURE RATING (DP) SHALL MEET THE REQUIREMENTS AS NOTED ON THE STRUCTURAL DRAWINGS AND MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS.
H.	G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
I.	G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.
J.	GLAZING TYPES: 1. IG - IMPACT GLAZING 2. S- SAFETY GLAZING PER IBC 2406.4.1 THROUGH 2406.4.3 & TABLE 2406.2 (1) OR TABLE 2406.2 (2)
K.	GLAZING TO MEET THE FOLLOWING CRITERIA: 1. SHGC - 0.29 2. U-FACTOR - 0.55

WINDOW SCHEDULE							
TYPE MARK	WINDOW TYPE	DESCRIPTION	R.O.		HEAD HEIGHT	DESIGN PRESSURE	COMMENTS
			WIDTH	HEIGHT			
A	CLAD DOUBLE HUNG UNIT	3'-0" X 5'-0"	3' - 0"	5' - 0"	<varies>		
B	CLAD DOUBLE HUNG UNIT	3'-0" X 6'-0"	3' - 0"	6' - 0"	8' - 0"		
C	CLAD DOUBLE HUNG UNITS	3'-0" X 5'-0"	3' - 0"	5' - 0"	8' - 0"		
D	CLAD CASEMENT UNIT	2'-6" X 3'-6"	2' - 6"	3' - 6"	7' - 0"		
E	CLAD DIRECT SET UNIT	4'-6" X 6'-6"	4' - 6"	6' - 6"	9' - 6"		
G	CLAD DOUBLE HUNG UNIT	2'-6" X 5'-0"	2' - 6"	5' - 0"	8' - 0"		

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A6.0

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PROJECT INFO

Date
12.05.2023

Project No.
23-053

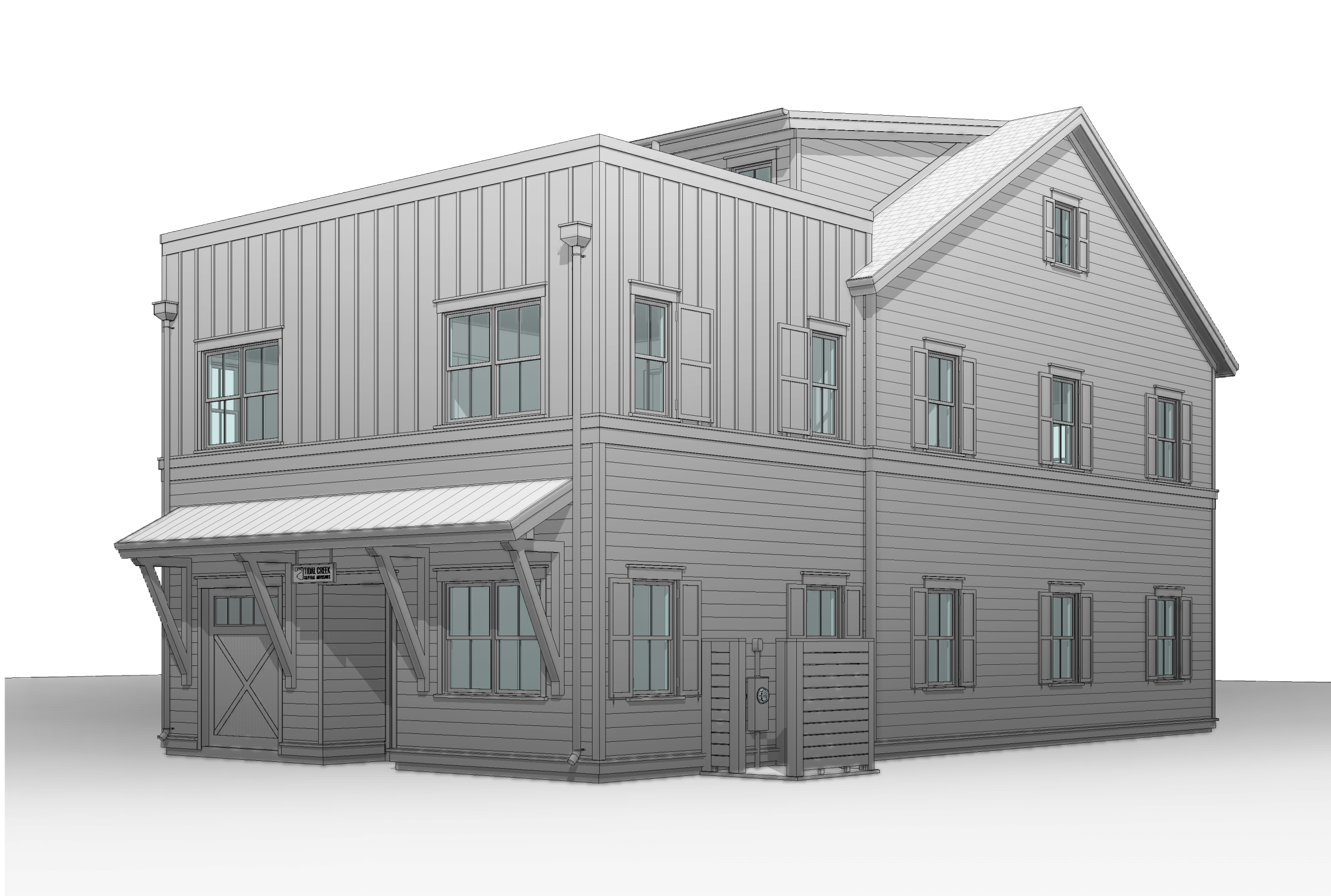
ISSUE

NO.	REV.	DATE	DESCRIPTION
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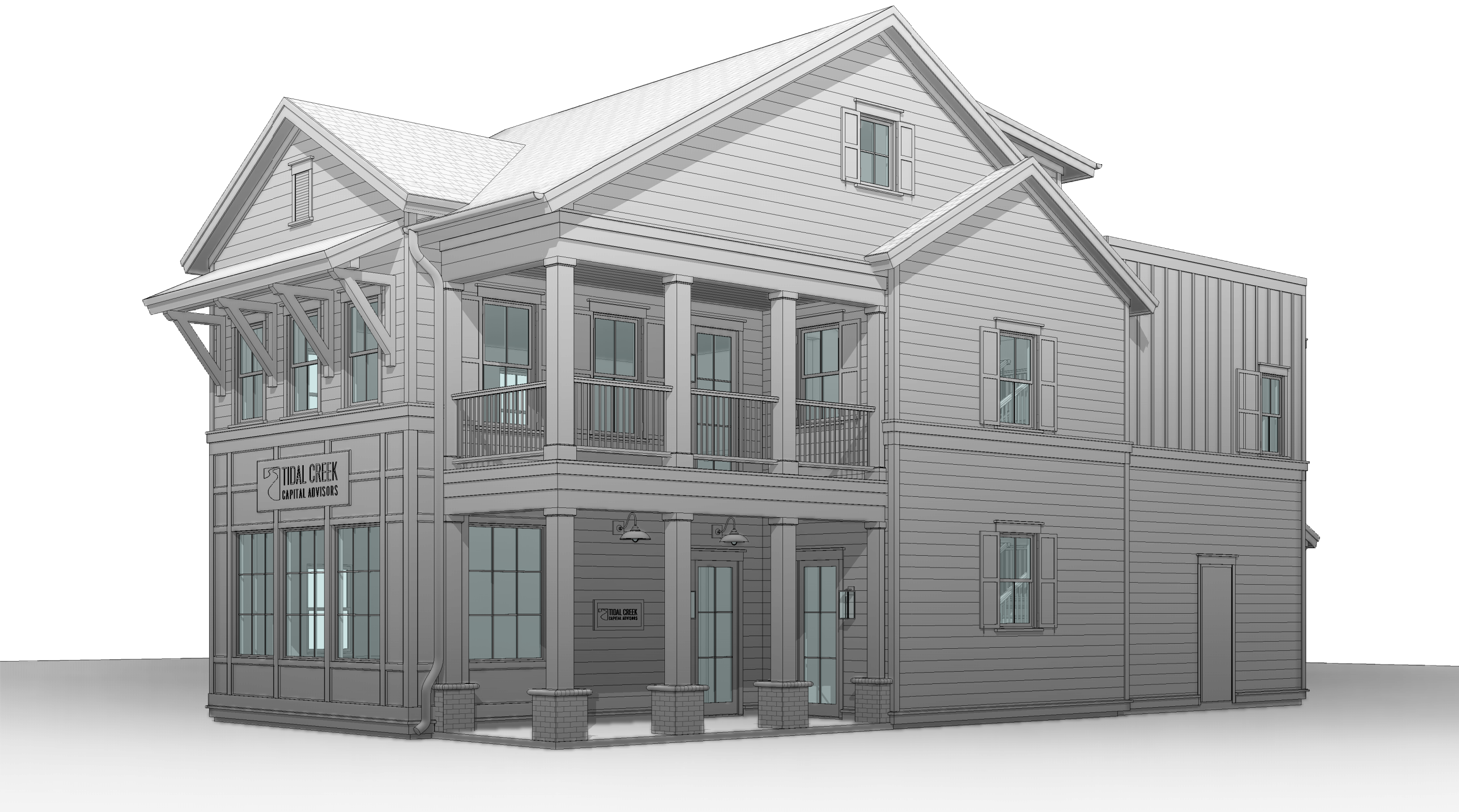
SHEET TITLE

PERSPECTIVES

A9.4



2 REAR PERSPECTIVE
A9.4



1 FRONT PERSPECTIVE
A9.4

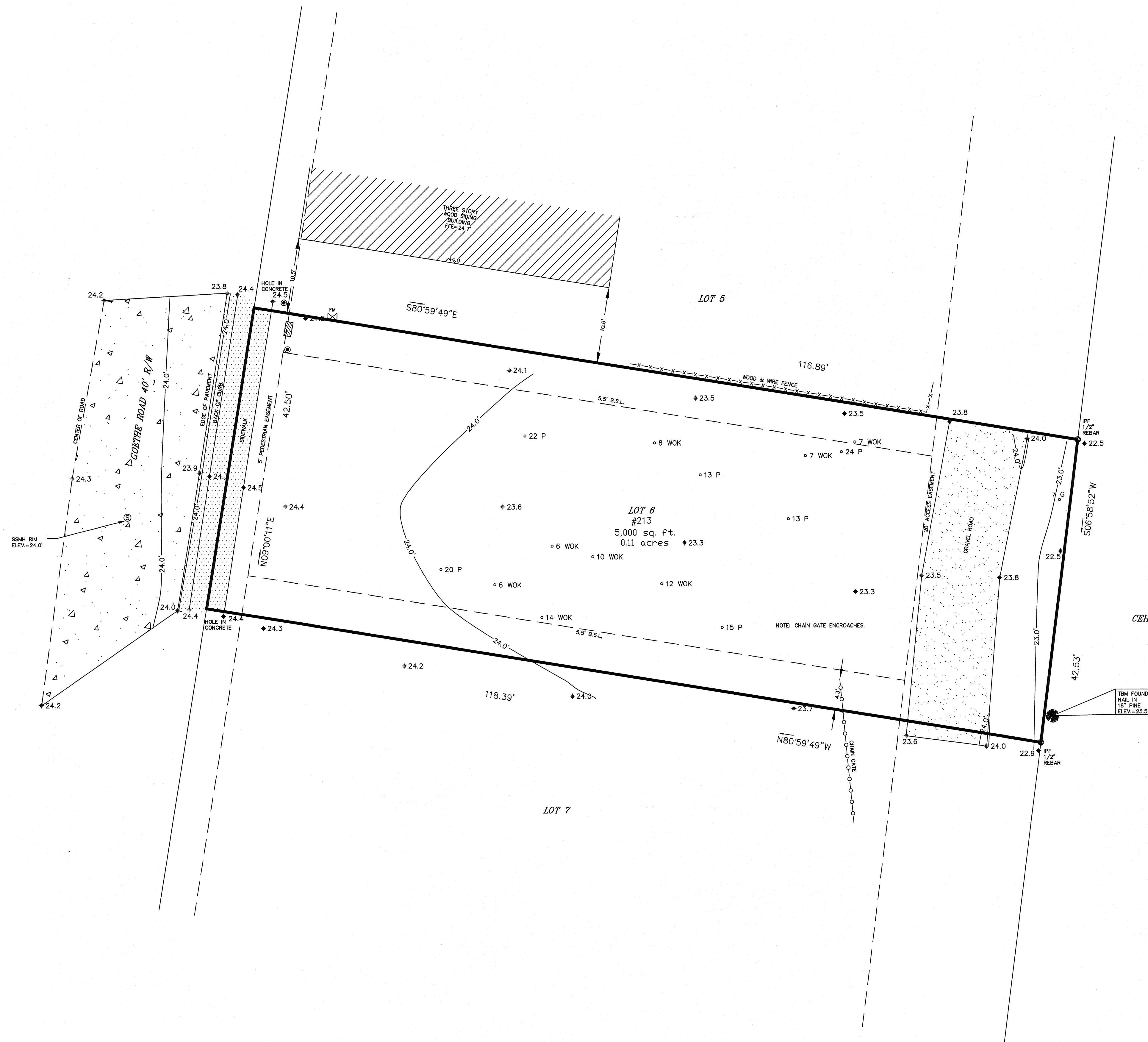


LEGEND

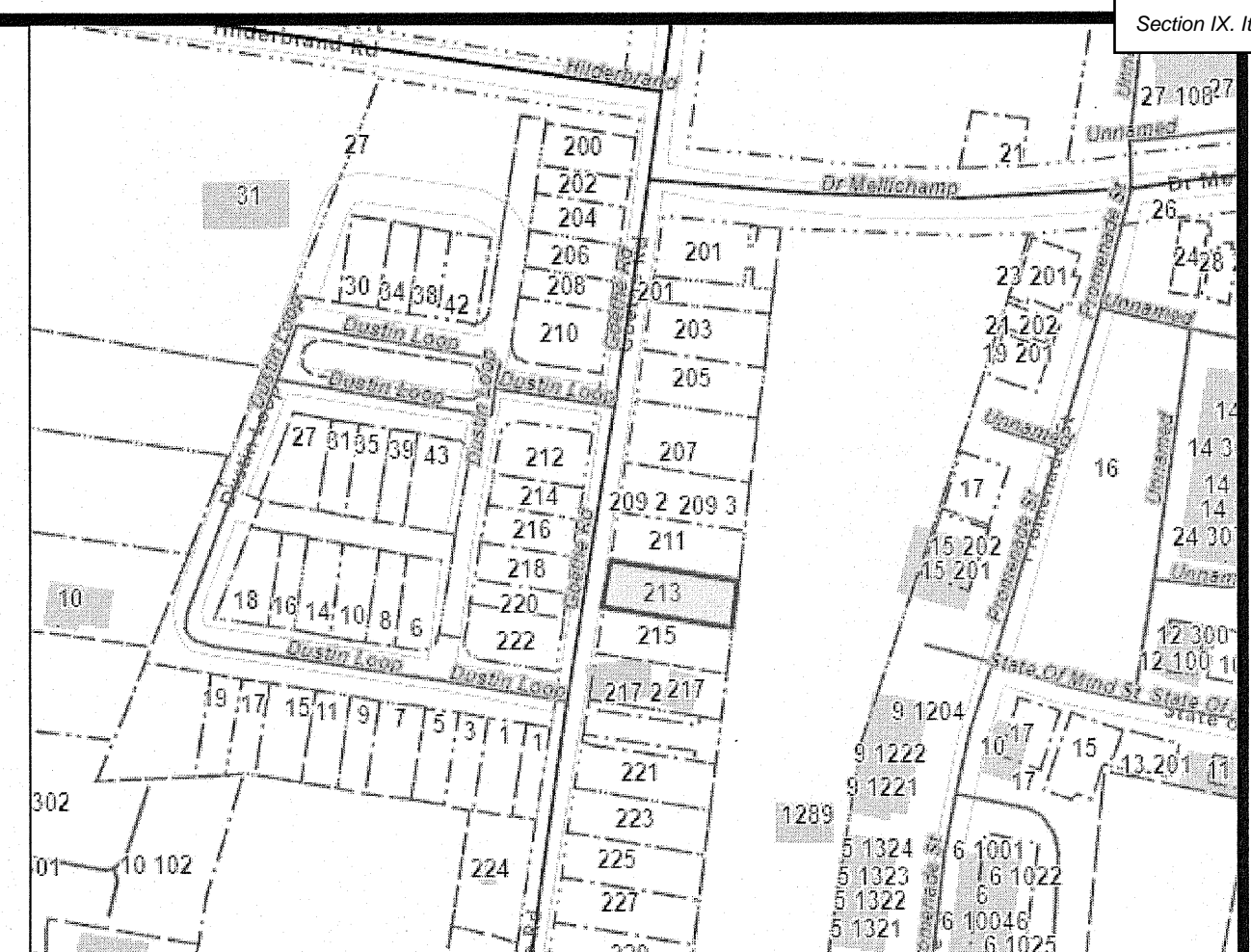
- CMS - CONCRETE MONUMENT SET
 CMF - CONCRETE MONUMENT FOUND
 IPS - IRON PIN SET
 IPF - IRON PIN FOUND
 # - INDICATES STREET ADDRESS
 TBM - TEMPORARY BENCH MARK
 BSL - BUILDING SETBACK LINE
 - TELEPHONE PEDESTAL/COMMUNICATOR
 - SEWER LATERAL
 - SANITARY SEWER MANHOLE
 - ELECTRIC BOX
 - SPOT ELEVATION SHOTS
 - CONTOUR LINES
 - XFMR - TRANSFORMER
 FM - FORCE MAIN
 WM - WATER METER
 - IRRIGATION CONTROL VALVE
 - FIRE HYDRANT
 - GRATE INLET
 - POWER POLE
 O.H.P.L. - OVER HEAD POWER LINE
 - GUY LINE
 - LIGHT POLE
 - STORM DRAIN MANHOLE
 - FIBEROPTICS MANHOLE

TREE LEGEND

- WHIOK - WHITE OAK
 LAOK - LAUREL OAK
 LOK - LIVE OAK
 WOK - WATER OAK
 ROK - RED OAK
 PCAN - PECAN
 MAG - MAGNOLIA
 HIC - HICKORY
 MPL - MAPLE
 PLM - PALMETTO
 CHY - CHERRY
 HLY - HOLLY
 CDR - CEDAR
 RDB - RED BUD
 SAS - SASSAFRAS
 DOG - DOGWOOD
 SB - SUGARBERRY
 P - PINE
 G - GUM
 B - BAY

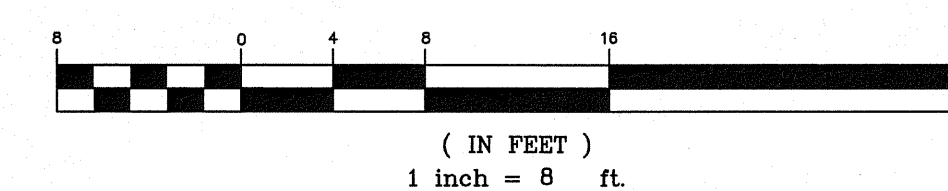


PARCEL 19
N/F
CEH REAL ESTATE BLUFFTON LLC



LOCATION MAP NOT TO SCALE

GRAPHIC SCALE



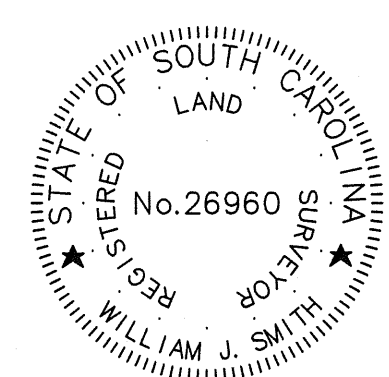
T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330
139 Burnt Church Road
Bluffton, SC. 29910
tsquare@hargray.com

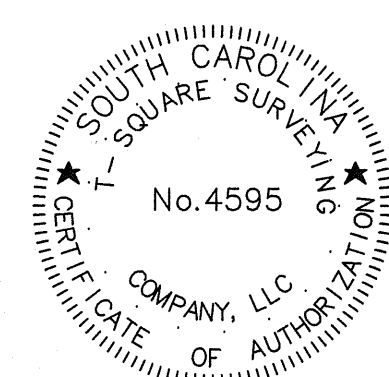
Phone 843-757-2650 Fax 843-757-5758

JOB No. 23-201T



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

JOHN BOYD

A TREE & TOPOGRAPHIC SURVEY OF LOT 6 GOETHE ROAD,
A PORTION OF MAY RIVER SUBDIVISION,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 288

Notes:

1. According To FEMA Flood Insurance Rate Map # 4501300426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F.T. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

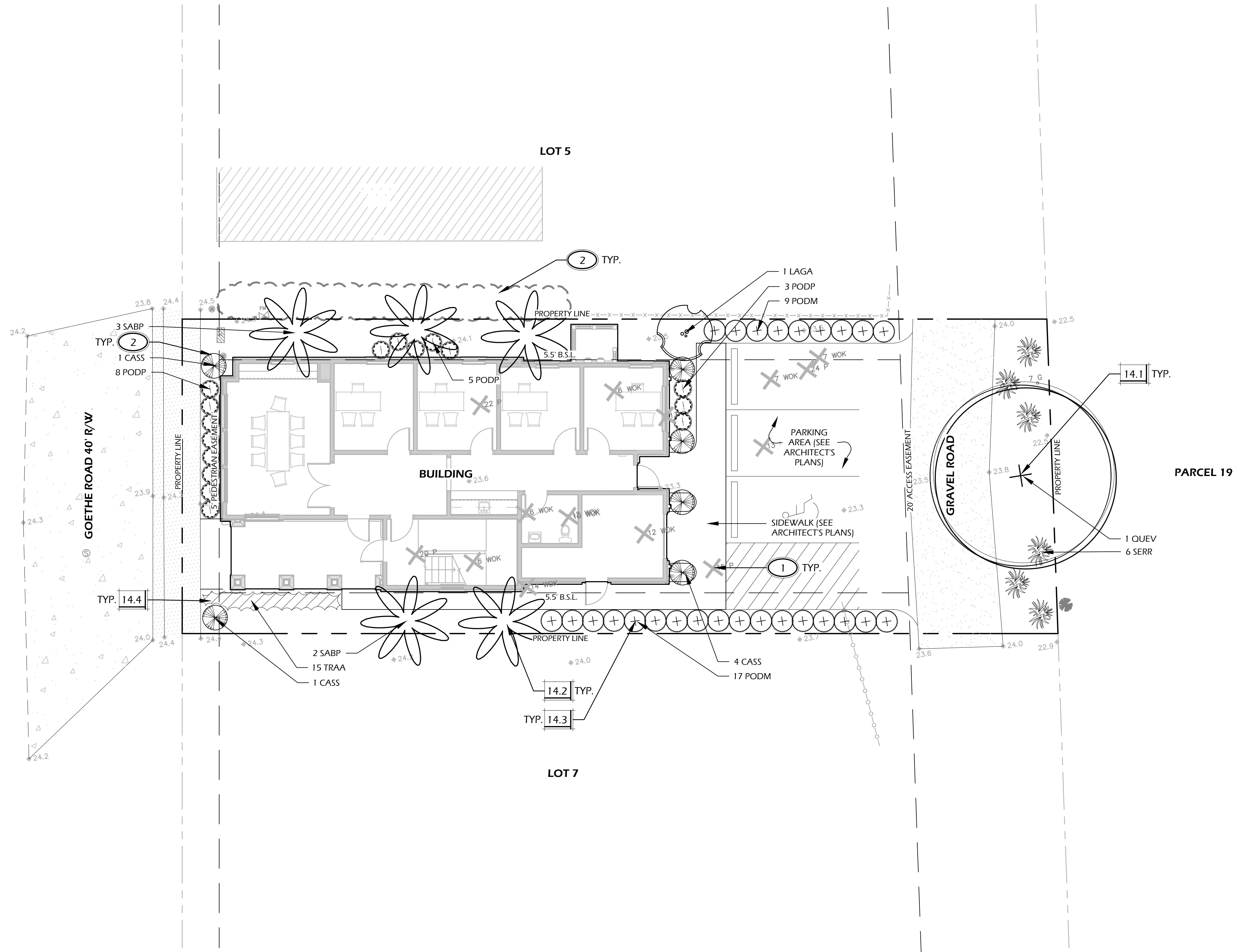
PLAT BOOK 119 AT PAGE 1

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: MAY 17, 2023



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L501
14.2	PALM TREE PLANTING	X/L501
14.3	SHRUB PLANTING	X/L501
14.4	GROUND COVER PLANTING	X/L501

PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
LAGA	Lagerstroemia indica x fauriei 'Acoma'	Acoma Crape Myrtle
SHRUBS		
CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
GROUND COVERS, VINES & PERENNIALS		
TRAA	Trachelospermum asiaticum	Asiatic Jasmine

PLANTING REFERENCE NOTES:

- EXISTING TREES TO BE REMOVED.
- UNDISTURBED BUFFER.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.

Section IX, Item #3.

Winters Jones-Keefe

landscape architecture

land planning

www.wjkltd.com

289 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.797.7777

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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR

TIDAL CREEK INVESTMENTS

213 GOETHE ROAD
BLUFFTON, SOUTH CAROLINA

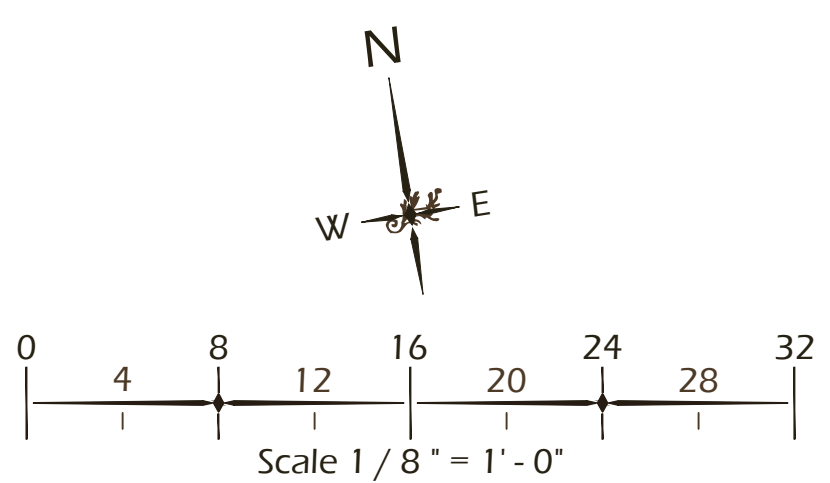
DATE:	DEC. 06, 2023
PROJECT NO.:	XXXXXX
DRAWN BY:	JM / AS
CHECKED BY:	DK

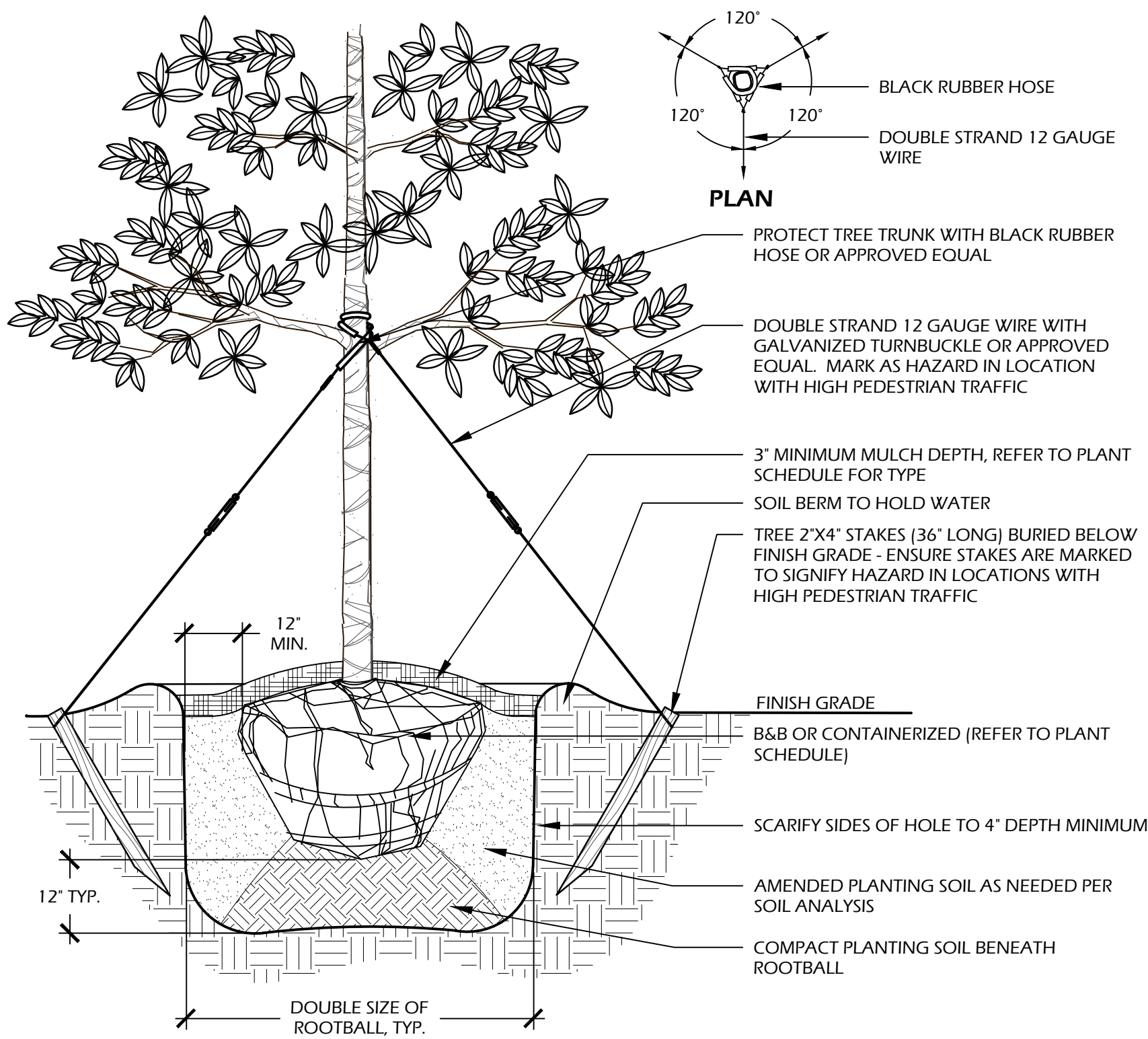
PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

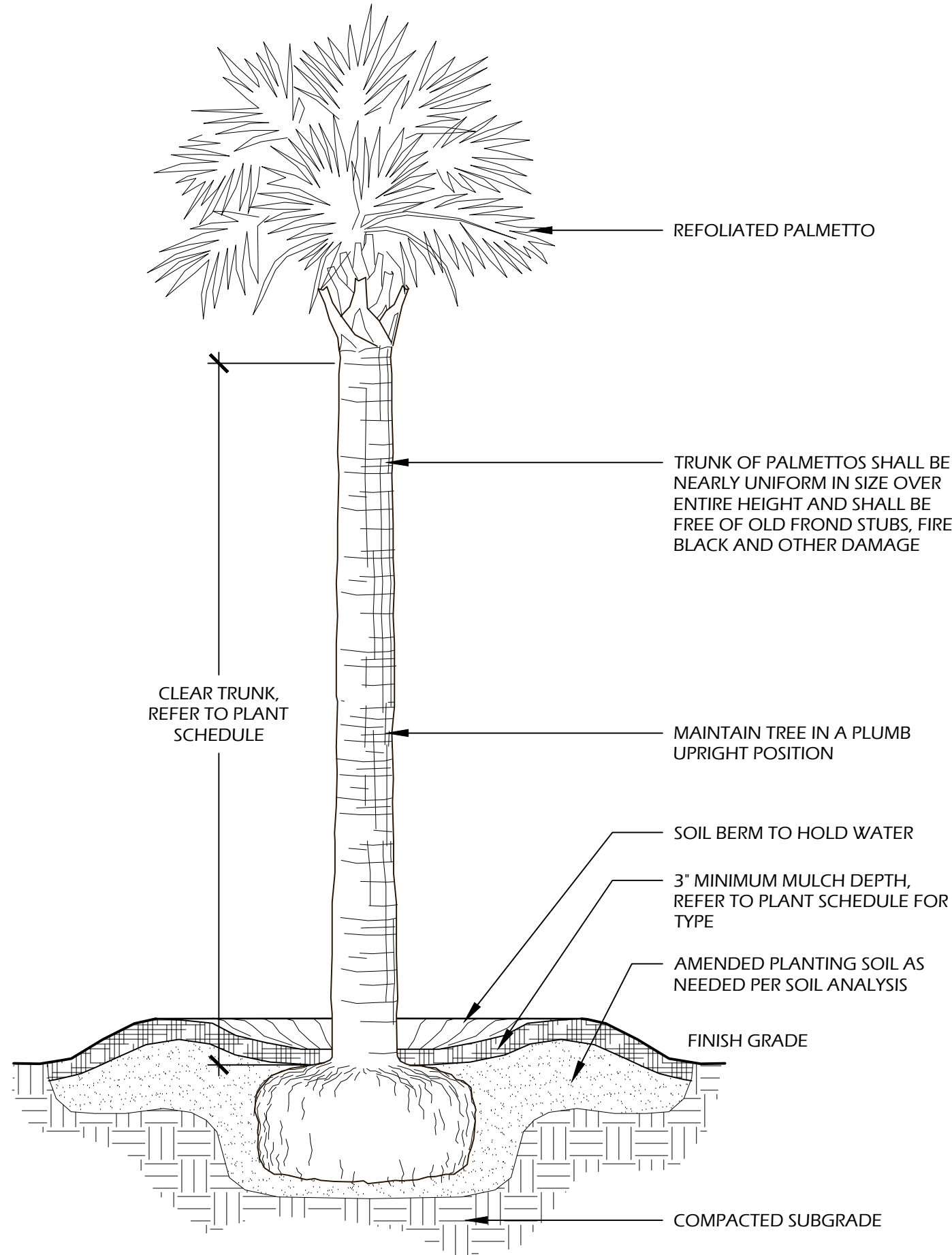
DRAWING NUMBER
L500





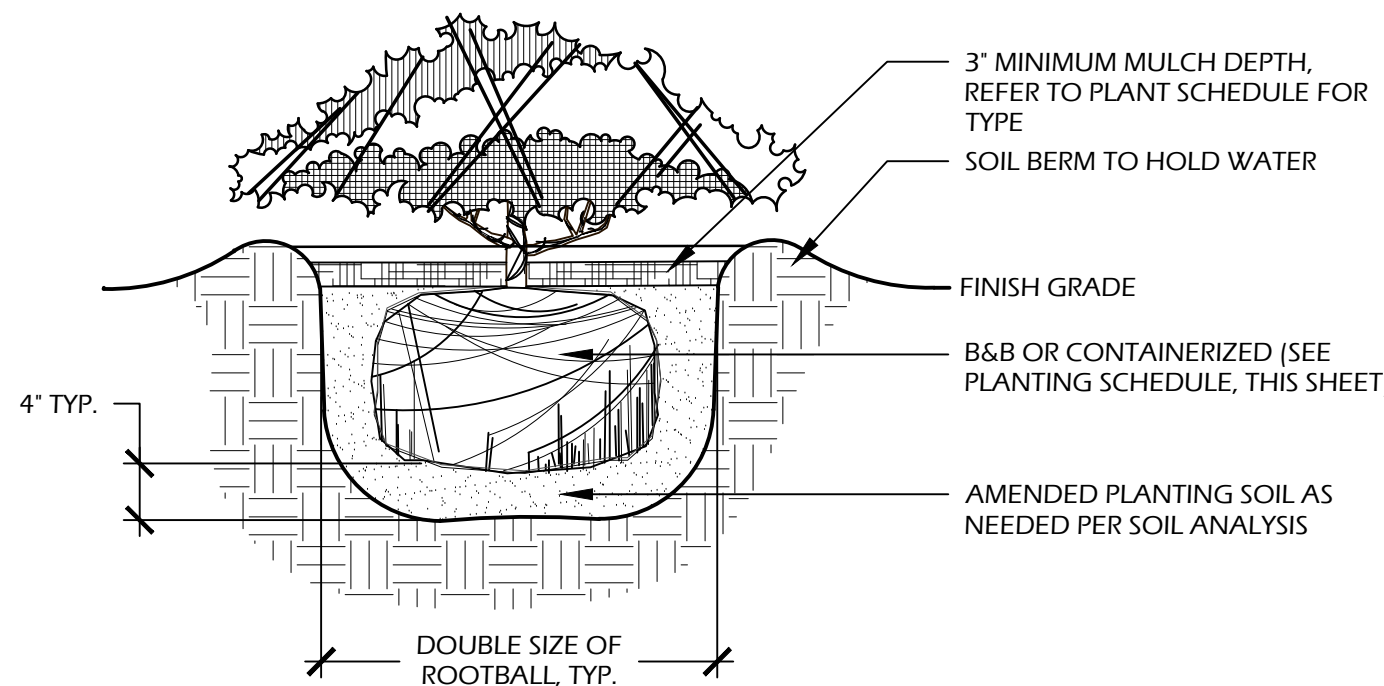
- NOTES:**
1. TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



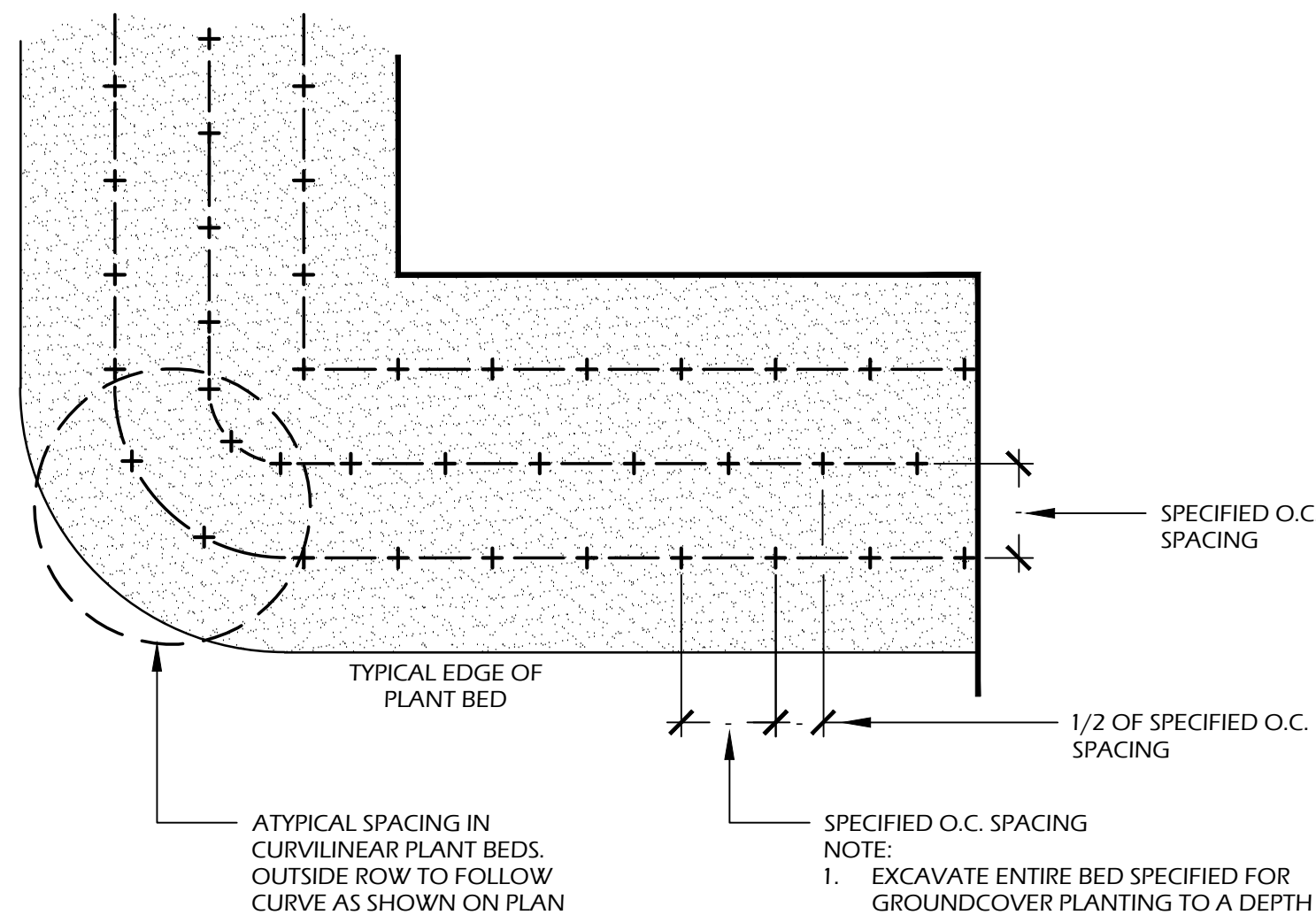
- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

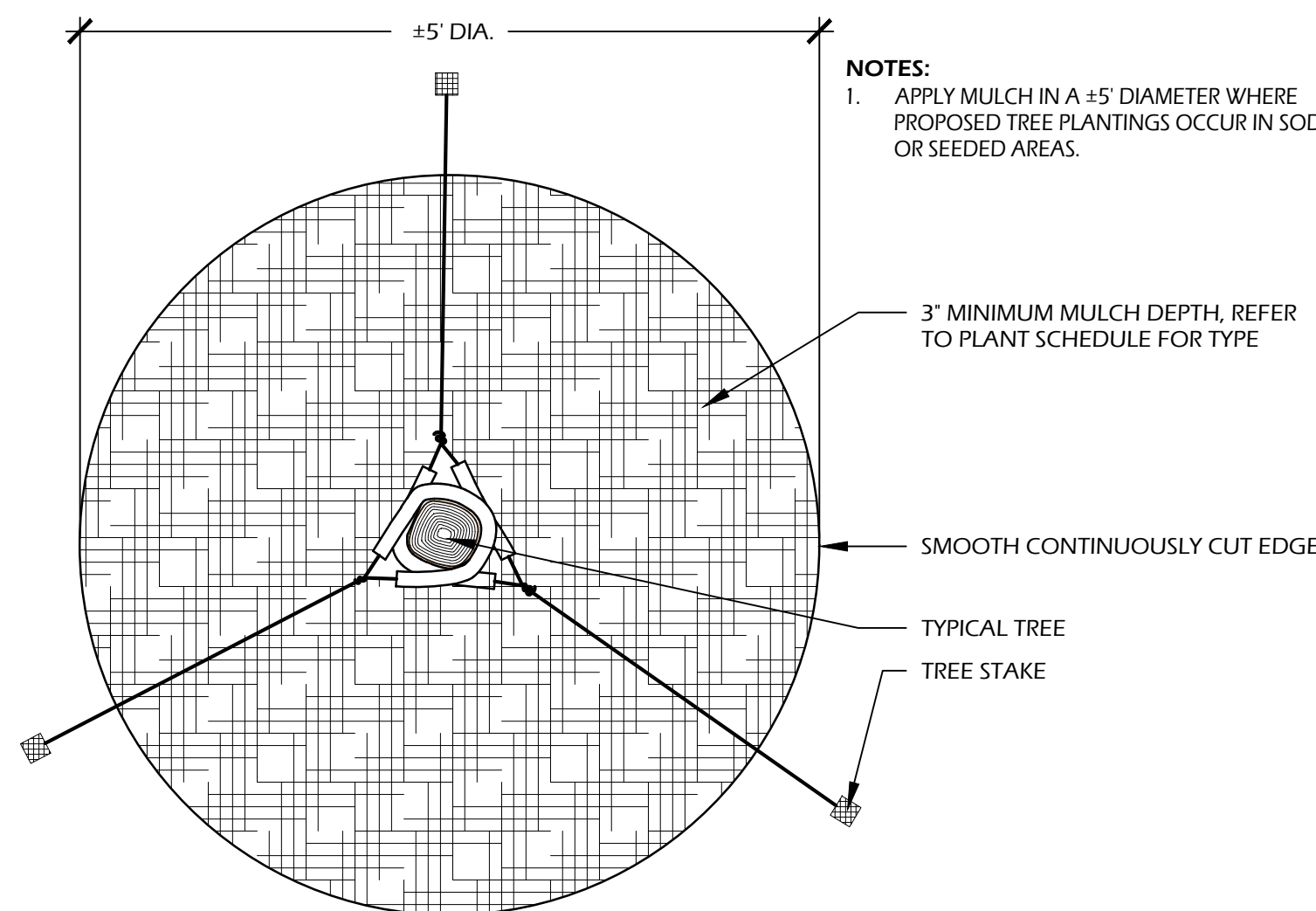
3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
1	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
5	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
1	LAGA	Lagerstroemia indica x fauriei 'Acoma'	Acoma Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
SHRUBS								
7	CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia	18"-24"	2'-3'	7 gal.	-	Full
26	PODM	Podocarpus macrophyllus	Podocarpus	36"-42"	24'-30"	15 gal.	-	Full
16	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18"-24"	16'-20"	7 gal.	-	Full
6	SERR	Serenoa repens	Saw Palmetto	24'-30"	24'-30"	15 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
15	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
1,300	MULCH5F	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



- NOTES:**
1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREAS.

5 // L501 TREE STAKING
SCALE: N.T.S.

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR
TIDAL CREEK INVESTMENTS
213 GOETHE ROAD
BLUFFTON, SOUTH CAROLINA

DATE: DEC. 06, 2023
PROJECT NO.: XXXXXX.XX
DRAWN BY: JM / AS
CHECKED BY: DK

**PRELIMINARY
SUBMITTAL PLAN,
NOT FOR
CONSTRUCTION**

REVISIONS:

**DRAWING TITLE
PLANT SCHEDULE AND
DETAILS**

**DRAWING NUMBER
L501**



ATTACHMENT 5

PLAN REVIEW COMMENTS FOR COFA-09-23-018463

Section IX. Item #3.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522

Plan Type:	Historic District	Apply Date:	09/07/2023
Plan Status:	Active	Plan Address:	213 Goethe Road BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 00A 0288 0000
Plan Description:	<p>The building is a single 2 ½ story structure, with a single commercial space for Tidal Creek Investments on the first floor and a single-family residential space on the upper floor and a half. The ground floor totals 1,600 SF including a cart garage serving the upper floor. There is a 9.5' deep front entry porch that leads to the Tidal Creek Investments entry and an interior stair serving the residential area. The upper floor and a half totals 2,000 SF of living space, in addition to a flat roof for the HVAC to sit.</p> <p>The architectural massing of the building are multiple gables with a shed dormer and a flat roof with a parapet. The exterior materials for the building will be cementitious fiber siding (Lap, Board and Batten & Hardie Panel). The front entry porch has cementitious wrapped columns with a brick base. The porch railing will be an approved Town of Bluffton material.</p> <p>The building has a fully automated sprinklered system per the building code. The building is likely to be wood construction.</p> <p>The building is considered an "Additional Building Type" building type per the Town of Bluffton Unified Development Ordinance (UDO)</p>		

Staff Review (HD)

Submission #: 1 Received: 09/07/2023 Completed: 09/29/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Building Safety Review	09/11/2023	Richard Spruce	Revisions Required

Comments:

11 Sep 23 - RAS

Plans show a ramp from accessible parking area on side of building. There is a door to the cart barn that swings out over the ramp. Where does this ramp go to? Does not appear to create a path of travel to the front door.

Beaufort Jasper Water and Sewer Review	09/29/2023	James Clardy	Approved with Conditions
--	------------	--------------	--------------------------

Comments:

Pending submittal of the project in accordance with BJWSA's 2023 DPPM.

Growth Management Dept Review (HD)	09/29/2023	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

ATTACHMENT 5

Section IX. Item #3.

1. At time of final submittal, show required 35% open space per Development Plan.
2. At time of final provide information on the shaded area in the 3rd floor with possible head height of 5' or more (UDO 5.15.5.F1.e.)
3. Update ridge height to be from grade, rather than from finished floor, as the maximum height permitted by the Development is 35' and it may not go over that height.
4. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy coverage calculations; as well provide architectural details of the railing and baluster, a typical window detail, window and door tables, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
5. Provide additional information on utilities which are not located on the roof (electric meters, commercial HVAC units etc.) for placement and screening. (UDO 5.15.5.F.10)
6. Provide clarification on the stair access as it relates to commercial access to the residential space. It appears the first floor commercial has direct access to the single residential unit on the second and third floor.
7. If the cart garage is intended to be residential space, pedestrian connection to the unit needs to be provided.

HPRC Review 09/29/2023 Katie Peterson Approved with Conditions

Comments:

1. Provide clarification on the residential vs. commercial spaces on the first floor.
It appears the Cart Garage may be residential, but the commercial riser room access is through the residential space. If owned by the residential tenant it seems problematic to have risers room access through that garage.
2. There seems to be a problematic separation between the commercial and residential space as the only HVAC units shown are accessed through the residential space. Similarly Door 100A does not seem necessary as it separates the two uses.
3. 2:12 shed roof on back is shown as shingle. Recommend revising to a metal roof for moisture management or increasing the pitch of the roof in this location.
4. I'd like to see some more articulation on the left and right side elevations of the rear board-and-batten massing. Windows in those bedrooms? Something other than a blank wall.
5. It would be nice to see the front gable lift up on a kneewall to get some breathing room between the roof and the bracketed roof over the second floor windows. Maybe some more articulation up there (a faux louver, additional window, etc.).
6. There are two separate heights of the bandboard around the building. The height of the bandboard on the right side elevation at the small gable and the rear mass feels more appropriate, so perhaps this could continue around the entire structure (leaving the second floor porch bandboard as its own element)?
7. How does the flat roof on the third floor drain? Are there scuppers / gutters / downspouts somewhere? Perhaps incorporating this feature into the design might help with further articulation of the rear element?

Watershed Management Review 09/25/2023 Samantha Crotty Approved with Conditions

Comments:

Grading/drainage plans will be reviewed at the time of stormwater permit submittal.

Transportation Department 09/07/2023 Megan James Approved
Review - HD

Comments:

No comments

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	January 3, 2024
PROJECT:	26 Tabby Shell Road, Lot 14- New Construction: Single-Family Residential
APPLICANT:	William Court
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, William Court, on behalf of the owners, David and Susan Sewell, requests the Historic Preservation Commission approve the following application:

1. **COFA-10-23-018547.** A Certificate of Appropriateness- HD to construct a new two-story single-family residential structure of approximately 2,477 SF and a new two-story Carriage House of approximately 905 SF to be located at 26 Tabby Shell Road, Lot 14 in the Tabby Roads development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant has proposed the construction of a one and a half-story single-family structure and two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,477 SF has some characteristics of a Vernacular House, but does not feature a full-length front porch and is not quite as wide as a typical Vernacular House, so it has been classified as an Additional Building Type within the Neighborhood General-HD zoning district, however, the setbacks are determined by the Tabby Roads Development Plan.

The primary structure features a side-facing gable roof with a forward-facing gable addition to the front. It has gabled dormers on the front elevation and a partial façade front porch under a shed roof. The rear elevation features a nearly full-façade porch under a shed roof. The materials include Hardie straight edge shake siding, Hardie plank lap siding with 7" exposure, a combination of asphalt shingle and standing seam metal roofs, and a Tabby Stucco foundation and chimney. The Carriage House, of approximately 905 SF, features many of the same details including the gabled primary mass with a shed roof over the carport area, shake and horizontal Hardie siding, and similar columns and trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the November 6, 2023 meeting and comments were provided to the Applicant (See Attachment 9).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the residential structure and Carriage House will add to the district and help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

1. Section 5.3.3. Tree Conservation During Construction. Tree protection fencing shall consist of 4 to 6 feet high orange laminated plastic or chain link fence and be mounted on sturdy posts (wooden or metal) spaced no more than 10 feet apart. Tree protection fencing shall be erected before demolition, grading, or construction begins and remain in place until final inspection and approval of the project by the UDO Administrator. Tree Protection Zone shall be around the drip line of the trees. Indicate the Tree Protection Zone surrounding the conservation easement on the Landscape Plan, and indicate fence installation practices which will most effectively protect the root systems of the protected trees.
2. Section 5.3.4.D. General Tree and Landscape Material Standards. Large and Medium Canopy Tree species shall be a minimum of 12 feet in height and have a caliper of at least 2.5 inches at time of planting. The Live Oak and Tuscarora Crape Myrtle are indicated as 10'-12' in height. Increase the minimum height to 12' to meet the minimum height requirement at time of planting.
3. Section 5.15.5.F.1.c. General Standards. Residential structures shall have a first finished floor height raised a minimum of 3' above average adjacent sidewalk grade. The finished floor height is proposed at approximately 30" above average adjacent sidewalk grade and must be revised to meet the minimum height requirement.
4. Section 5.15.5.F.4.e. General Standards and 5.15.6.E.7. Dormers. Vertical rhythms should be established in the façade through alignment of windows, openings, pilasters, and columns. Dormer centerlines shall align with the building elements below (centered between columns or directly above windows). The front door, and dormer above are not centered over the columns of the front porch, and neither set of French doors on the rear elevation are not centered between columns. The doors and dormer should be centered to establish vertical rhythms through their alignment.
5. Section 5.15.6.E.5. Porches. Porches shall have a minimum height of 30" from grade to top of stairs. The porch is proposed at 26" and must be revised to meet the minimum height requirement.
6. Section 5.15.6.E.8. Chimneys, Roof Appurtenances, and Roof Penetrations. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, or pre-fabricated chimney caps are not permitted. The application proposes the use of a metal windscreen. Revise to a permitted material.

7. Section 5.15.6.H.2.a. Columns. Columns are permitted to be wood (termite resistant), cast iron (painted or natural), concrete with smooth finish, brick, stone, steel or tabby. The Applicant has proposed the use of Boral, a bio-based polymer and coal-combustion byproduct blend. The HPC must make a determination on the appropriateness of the use of Boral as a substitute for those materials listed in Section 5.15.6.H.2.a of the UDO.
8. Section 5.15.6.H.2.d. Railings and Balusters. Railings and Balusters are permitted to be wood (termite resistant), wrought or cast iron (painted or natural). The application and elevations indicate the use of wrought iron railings, but detail 3/A5.1 indicates the use of powder coated aluminum. Revise detail 3/A5.1 to match the application and elevations which show a permitted material.
9. Section 5.15.6.M.1.e. Shutters. Shutters shall be constructed of durable wood. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for shutters provided the UDO Administrator determines that the shutters will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. The Applicant has proposed composite shutters. No materials have been provided for UDO Administrator review. Shutter material must be revised to durable wood.

Further, shutter dogs may be the standard "S" hook, rat-tail hooks, generally less decorative iron butterfly, or other style shutter dog typical of the Old Town Bluffton Historic District's period of significance. A shutter dog detail must be provided.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.
 - a. *Finding.* Town Staff finds that if the architectural and landscaping items in Section 2 have been met, the nature and character of the new construction will be consistent with that of the surrounding neighborhood.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.
 - a. *Finding.* The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans will be sympathetic in design to the neighboring historic and non-historic

resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.
 - a. *Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, as there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness. Additionally, the Building Data portion of the Application must be updated to include all enclosed square footage for the Carriage House, and Site Coverage to reflect all areas under rooftops, except porches, which should be captured under the open/covered patios section.

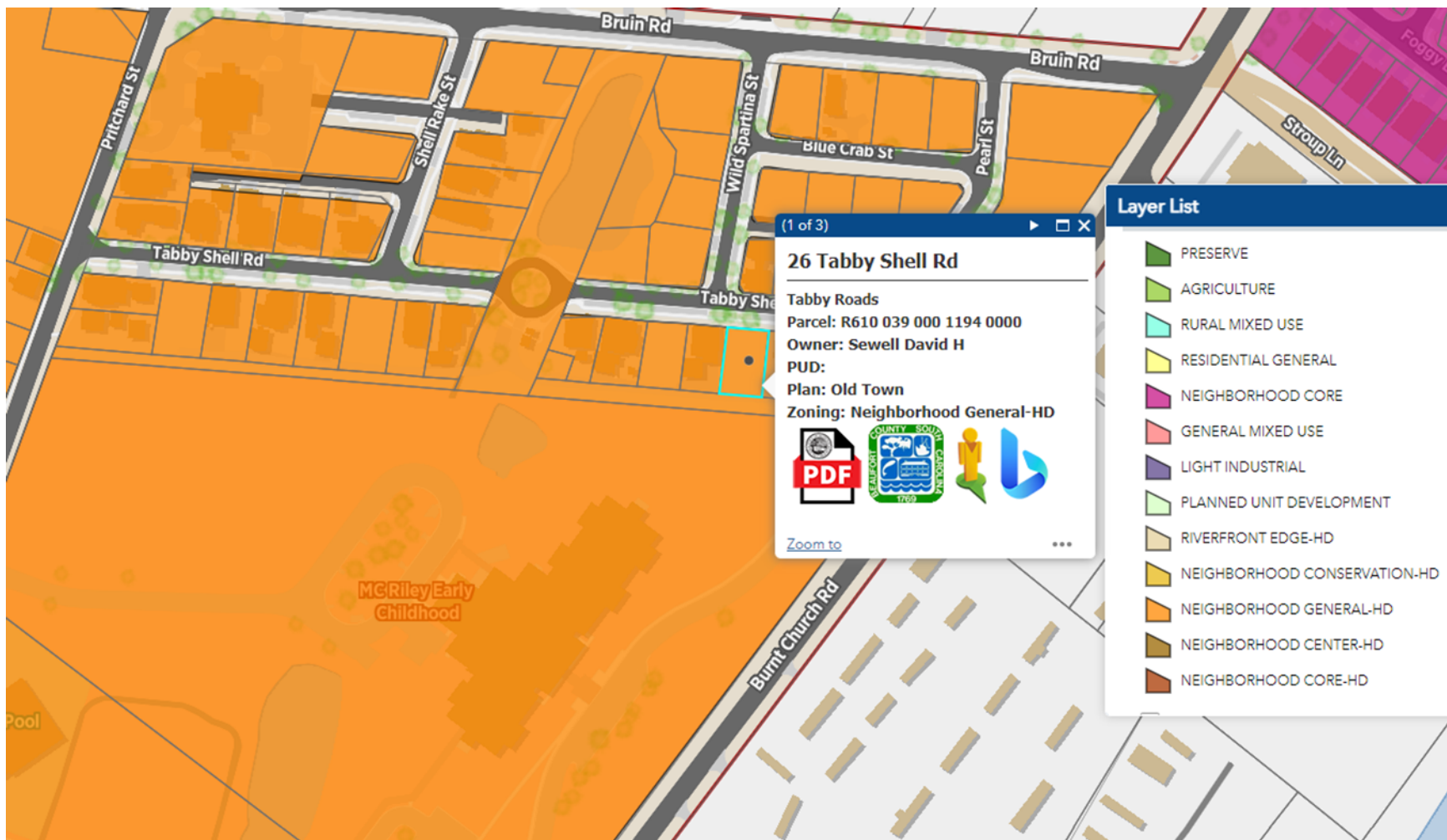
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Update the Building Data on the application to include all enclosed square footage for the Carriage House (both stories) and Site Coverage to reflect all areas under roofs for footprints, except porches, which should be listed under open/covered patios.
3. Per UDO Section 5.3.3., indicate the Tree Protection Zone surrounding the conservation easement on the Landscape Plan, and indicate fence installation practices which will most effectively protect the root systems of the protected trees.
4. Per UDO Section 5.3.4.D., increase the minimum height of the Tuscarora Crape Myrtle and Live Oak to 12' to meet the minimum height requirement at time of planting.
5. Per UDO Section 5.15.5.F.1.c., the first finished floor height must be raised to meet the minimum height requirement of 3' above average adjacent sidewalk grade.
6. Per UDO Sections 5.15.5.F.4.e. and 5.15.6.E.7, vertical rhythms should be established in the façade through alignment of the front door and dormer between the columns and both sets of French doors on the rear elevation between the columns.
7. Per UDO Section 5.15.6.E.5., the porch shall be raised to have a minimum height of 30" from grade to top of stairs.
8. Per UDO Section 5.15.6.E.8., the metal windscreen must be revised to a permitted material.

9. The HPC must make a determination on the appropriateness of the use of Boral as a substitute for those materials listed in Section 5.15.6.H.2.a of the UDO.
10. Per UDO Section 5.15.6.H.2.d., revise detail 3/A5.1 to match the application and elevations which show wrought iron, a permitted material for the railings.
11. Per UDO Section 5.15.6.M., shutter material must be revised to durable wood.
12. Per UDO Section 5.15.6.M., a shutter dog detail must be provided to ensure the profile is appropriate.

ATTACHMENTS:

1. Location Map and Zoning Maps
2. Application and Narrative
3. Site Plan & Elevations
4. Landscape Plan & Canopy Coverage
5. Roof Cutsheet
6. Trim Cutsheet
7. Color and Material Information
8. HARB Letter
9. HPRC Comments





ATTACHMENT 2

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section IX. Item #4.


20 Bridge Street

Bluffton, SC 29910

(843)706-4522

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: William Court		Name: David & Susan Sewell	
Phone: (843) 815-2557		Phone: 843.247.202	
Mailing Address: PO Box 3978 Bluffton, SC 29910		Mailing Address: 153 Regent Avenue. Bluffton, SC 29910	
E-mail: william.court@courtatkins.com		E-mail:	
Town Business License # (if applicable): 100019			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: Sewell Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Location: Lot 14, 26 Tabby Shell Road		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General-HD		Application for:	
Acreage: 0.127		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610-039-000-1194		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation or Demolition	
Project Description: Construction of a new single family, 2-story home			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final			
<input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 12/06/2023	
Applicant Signature: 		Date: 12/06/2023	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #4.

CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator and HPC	Staff
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #4.

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5):					
Building Setbacks	Front: 6'	Rear: 10.5'	Rt. Side: 7.5'	Lt. Side: 5'	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	Main House	-	2307		
Ancillary	Carriage House	-	268		
Ancillary		-			
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		2,489			
Impervious Drive, Walks & Paths		35			
Open/Covered Patios		503			
A.TOTAL IMPERVIOUS COVERAGE		2524			
B.TOTAL SF OF LOT		5541			
% COVERAGE OF LOT (A/B= %)		45.8%			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Tabby Stucco	Columns	Boral		
Walls	Wood-Framed, Shake Siding	Windows	Vinyl		
Roof	Wood-Framed, Metal and Shingle	Doors	Fir		
Chimney	Tabby Stucco	Shutters	Wood Composite		
Trim	Boral	Skirting/Underpinning	N/A		
Water table	KDAT or Boral	Cornice, Soffit, Frieze	Boral		
Corner board	KDAT	Gutters	N/A		
Railings	Wrought Iron	Garage Doors	Clad/Wood		
Balusters	Wrought Iron	Green/Recycled Materials			
Handrails	Wrought Iron				

Does not include total SF -KP



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #4.

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #4.

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

12/06/2023

Date

William Court

Printed Name

December 06, 2023

Town of Bluffton
Attn: Katie Peterson, AICP
20 Bridge Street
Bluffton, SC 29910

Re: 26 Tabby Shell Road – Tabby Roads

Dear Robert,

We are writing this letter on behalf of David and Susan Sewell and Court Atkins Group, as a request to be placed on the agenda for the next meeting of the Town of Bluffton, we are requesting Revised Final review with architectural approval/comments.

We received feedback from the Town of Bluffton's review of a Certificate of Appropriateness and the responses to comments from the letter dated 11/01/2023 are as follows:

1. Proposing the removal of two trees within the recorded conservation easement is not permitted. Further the home is placed within the easement. Relocate the house outside the easement area and provide tree protection fencing around the area.
 - a. **We relocated the house outside of the easement area and provided tree protection fencing around the area. Please see site plan on the architectural drawings.**
2. A determination on the use of Boral as column material is required by the HPC.
 - a. **We have proceeded to use boral as the column material.**
3. Provide wood composite detail at final for HPC Determination as there is not enough information to make a determination at this time.
 - a. **We will include a wood composite detail when submitting for the Town's final review.**
4. At time of final, provide a section through the eave showing the materials and configuration, a corner detail, water table detail, service yard material, shutter detail and shutter dog profile, type and finish for all exterior doors.
 - a. **We included exterior details, please see sheets A5.0, A5.1, and A5.2.**
5. On Sheet A3.0, the dormer roofs look to be higher than the plate height listed on the front elevation and seem a bit too tall proportionately.
 - a. **We verified the dormer height is a 9'-0" bearing height and would like to maintain that height due to the window casing and second floor ceiling heights.**
6. Consider lowering the top of the water table at the main house to align with the first floor finish height, as this would match what would have been done historically.
 - a. **We adjusted the main house water table to be aligned with the first-floor height.**

7. Consider using standing seam metal for all 3:12 sloped roofs for long-term water management.
 - a. **We appreciate the Town's suggestions and after consulting with the Sewells, we have decided to continue with our asphalt roof at the rear porch due to cost constraints.**
8. Grading plans will be reviewed formally at time of buildings permit submittal. Ensure invert elevations on all inlets are provided at that time.
 - a. **Please refer to landscape drawings.**
9. Service yard not large enough to provide the 30 x 30 inch clearance on the control side of each compressor per IRC section 1305.1.
 - a. **We expanded the service yard to provide the 30 x 30 inch clearance. Please see architectural plans.**

Additionally, we received feedback from Tabby Roads HARB and the responses to comments from the revised final approval letter dated 12/02/2023 are as follows:

1. The committee has decided against allowing the mixing of different brick/paver colors in close proximity to one another on the front elevation. The walkway on the front elevation must be either all savannah grey brick matching the steps and porch lining or tabby stucco covered concrete matching the existing sidewalk.
 - a. **The client has agreed to changing the front walkway to tabby concrete with a savannah grey brick board to match the sidewalk. Please see email chain attached.**

HARB recommendations:

1. It is recommended that either a different paver color or an alternate design be considered to separate the savannah grey brick and cocoa pavers. It is the opinion of the committee that these two tones together are not aesthetically pleasing.
 - a. **The client has agreed to change the walkway to tabby concrete with a savannah grey brick boarder. Please see email chain attached.**

The enclosed documents include the following:

- Cover Letter
- Application
- HARB Approval letter & email from HARB
- Color Board
- Architectural Drawings
- Landscape Drawings
- Survey

In addition, we would be more than happy to provide the review board with any further explanation and answer any questions. Should you have any questions or concerns, please do not hesitate to call.

Sincerely,



Ashley Huffman
Court Atkins Group, Inc.

cc: // David and Susan Sewell

ISSUED FOR TOWN OF BLUFFTON, COFA, FINAL REVIEW

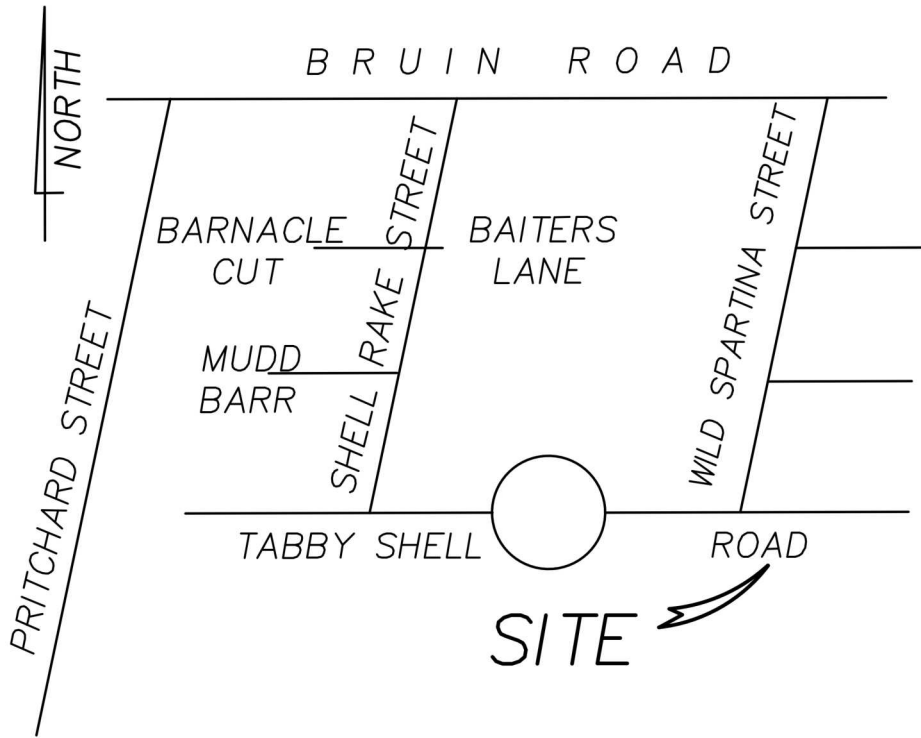
SEWELL RESIDENCE

26 TABBY SHELL ROAD, TABBY ROADS, BLUFFTON, SC 29910

SHEET INDEX:

A0.0	COVER
A0.1	GENERAL NOTES
A1.0	SITE PLAN
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A2.4	CH PLANS
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	CH BUILDING ELEVATIONS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS
A5.2	DETAILS
A6.0	DOOR AND WINDOW SCHEDULE
E2.1	FIRST FLOOR ELEC. PLAN
E2.2	SECOND FLOOR ELEC. PLAN
E2.3	CH ELEC. PLANS
SURVEY	

VICINITY MAP - N.T.S.



BUILDING AREA:

GARAGE HT.	
HEATED AND COOLED	82
COVERED AND ENCLOSED	268
FIRST FLOOR HT.	
HEATED AND COOLED	1348
BONUS HT.	
HEATED AND COOLED	268
SECOND FLOOR HT.	
HEATED AND COOLED	609
TOTAL COVERED AND ENCLOSED	
TOTAL HEATED AND COOLED	
Total Gross Area (H/C & C/E)	
2575	



N.T.S.

PROJECT INFORMATION:

NAME OF PROJECT: SEWELL RESIDENCE
ADDRESS: 26 TABBY SHELL ROAD, TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: DAVID AND SUSAN SEWELL
CODE ENFORCEMENT JURISDICTION: BEAUFORT COUNTY
INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2021

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	WHITMER JONES KEEFER		(843) 757-7411

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes _____ No ☒ Separation _____ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes _____ No ☒ Type _____
SPRINKLERED: Yes _____ No ☒
FIRE DISTRICT: Yes _____ No ☒
BUILDING HEIGHT: 28'-6" A.F.F. Number of Stories: 2
MEZZANINE: Yes _____ No ☒
HIGH RISE: Yes _____ No ☒

GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION / ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECT'S WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

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FX: 843.815.2547

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PROJECT INFO

Date
12/06/2023

Project No.
23-065

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

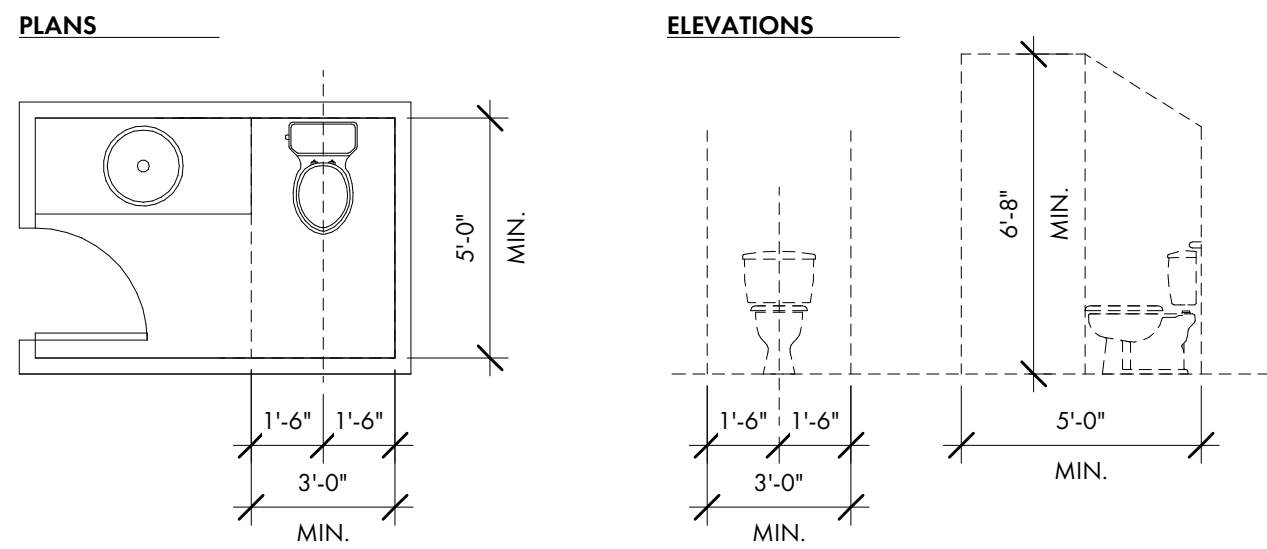
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ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
ABF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LIVE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BLKG	BLOCKING	MID	MIDDLE
BLDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MULLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CJ	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
EXST	EXISTING	SH	SHELF
EXT	EXTERIOR	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDTN	FOUNDATION	SQ	SQUARE FEET
FF	FIRST FLOOR	STD	STANDARD
FFE	FINISH FLOOR ELEVATION	STL	STEEL
FIN	FINISH	STOR	STORAGE
FIX	FIXTURE	SYS	SYSTEM
FIXT	FIXTURE	T	TREAD
FLUOR	FLUORESCENT	T.B.D.	TO BE DETERMINED
FLR	FLOOR	TR	TREAD
FRZ	FREEZER	T & G	TONGUE & GROOVE
FRMG	FRAMING	TEL	TELEPHONE
FT	FEET	TEMP	TEMPORARY/TEMPERATURE
FTG	FOOTING	THK	THICK
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZE	TV	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	UC	UNDERCOUNTER
GL	GLASS	UNFIN	UNFINISHED
GYP	GYPSUM	U.N.O.	UNLESS NOTED OTHERWISE
HB	HOSE BIBB	U.O.N.	UNLESS OTHERWISE NOTED
HDR	HEADER	VB	VAPOR BARRIER
HORIZ	HORIZONTAL	VER	VERIFY
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VERT	VERTICAL
IN	INCH	W/D	WASHER-DRYER
INCL	INCLUDE	WH	WATER HEATER
INSUL	INSULATION	WWF	WELED WIRE FABRIC
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

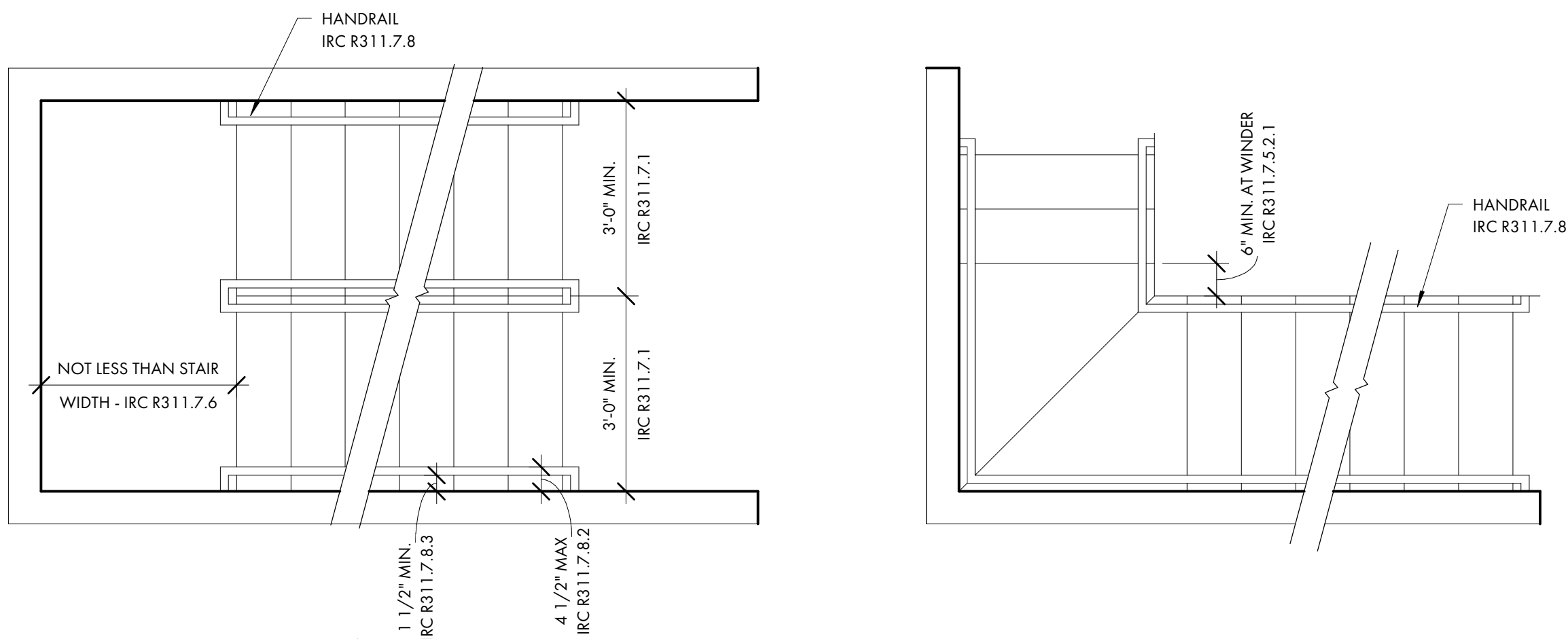
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS

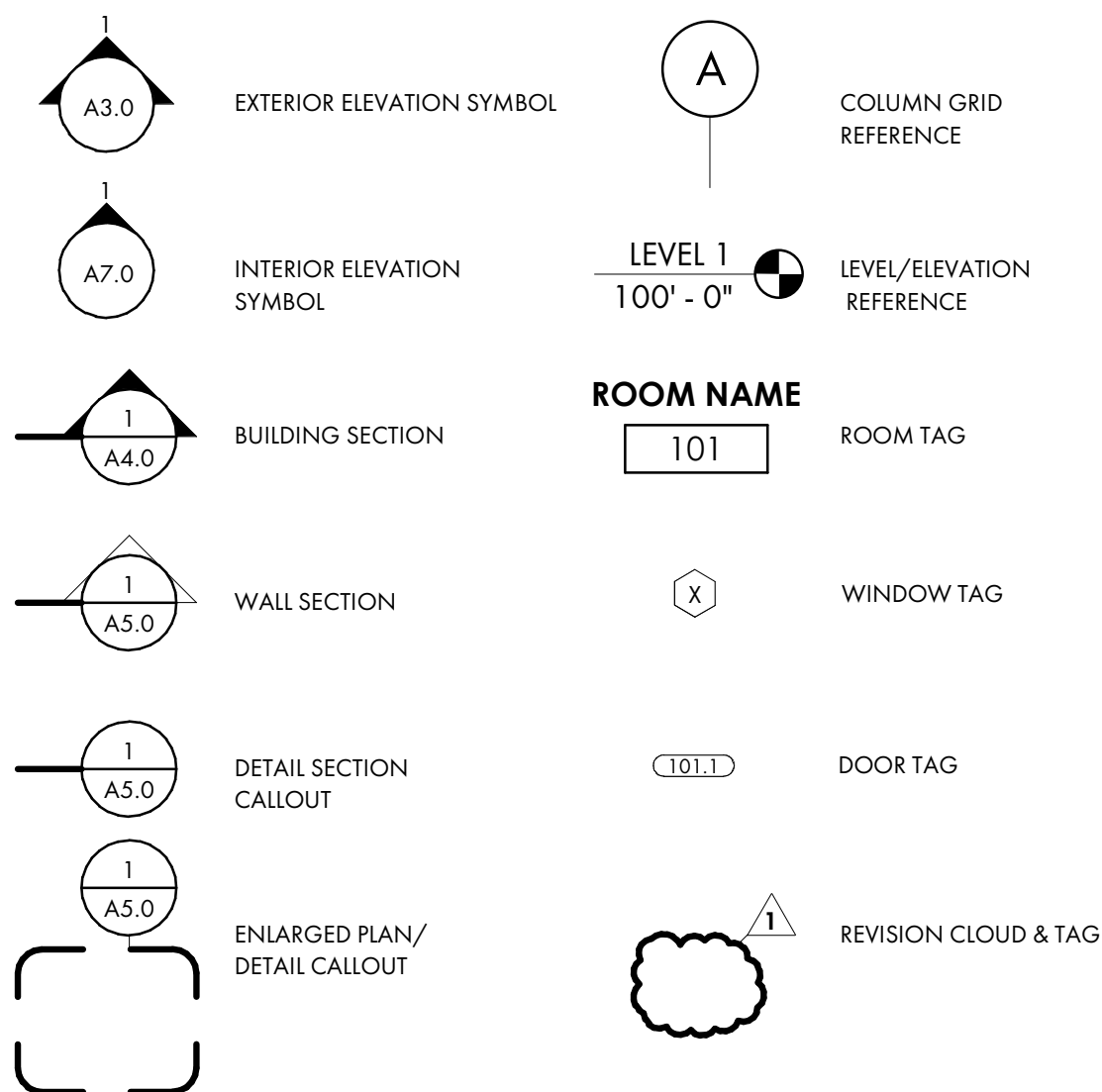


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS





Section IX, Item #4.

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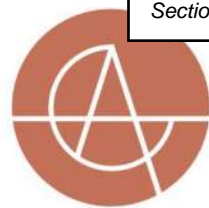
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GENERAL NOTES

A0.1

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SITE PLAN CALCS:

TOTAL LOT AREA	5,541 SQ. FT.
BUILDABLE AREA	3,404 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,489 SQ. FT.
WALKS, DRIVES & DECKS(IMPervIOUS)	35 SQ. FT.
IMPervIOUS COVER (LOT AREA)	2,524 SQ. FT.
IMPervIOUS TO LOT RATIO	45.8 %

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

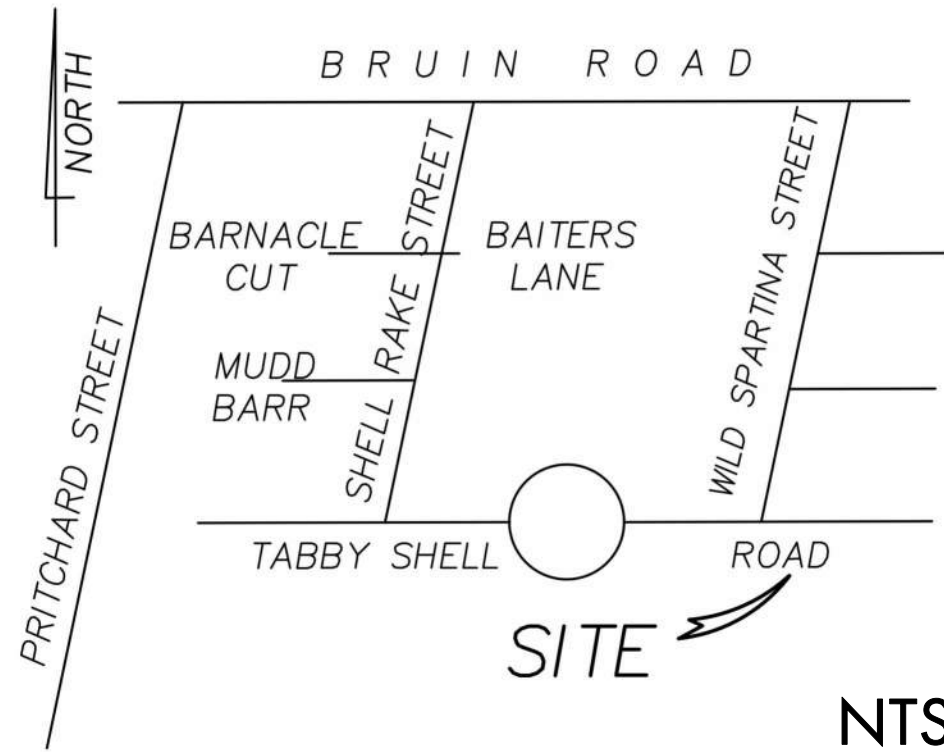
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:

ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

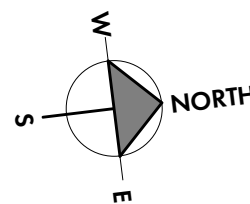
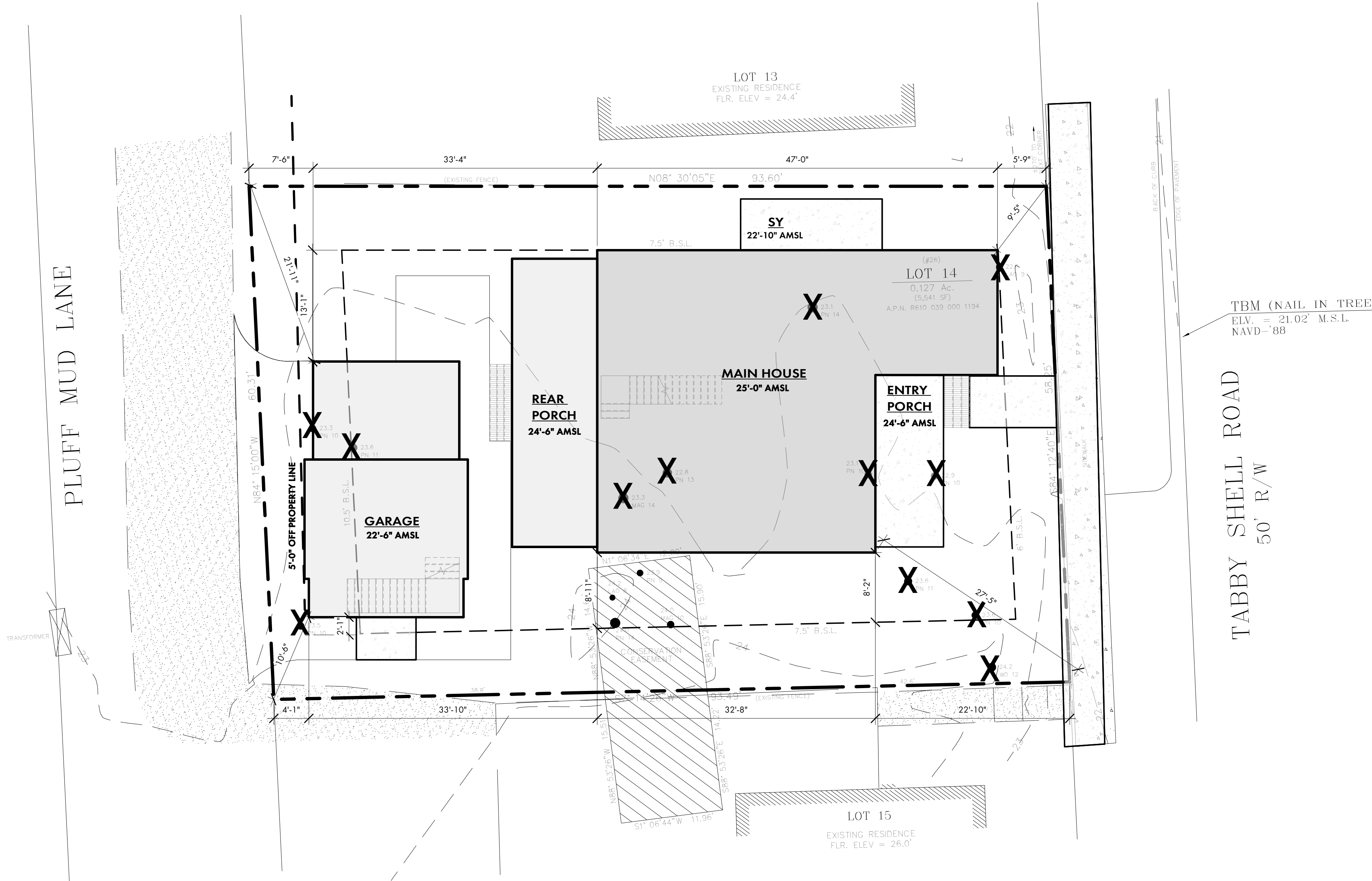


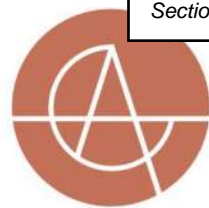
LEGEND

B.S.L.	BUILDING SETBACK LINE
CMF	CONCRETE MONUMENT FOUND
IPF	IRON PIN (OLD) FOUND
LAO	LAUREL OAK
MAG	MAGNOLIA
PN	PINE
PP	POWER POLE
TELE	TELEPHONE PEDESTAL
WO	WATER OAK

NOTES :

1. THIS LOT LIES IN ZONE "X", NO B.F.E. PER F.I.R.M. PANEL 45013C 0426 G, COMMUNITY No. 450251, EFFECTIVE: 03/23/21.
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
3. ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
4. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.





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FOUNDATION PLAN NOTES:

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

FOUNDATION NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:
THICKENED SLAB AT CRITICAL BEARING POINTS IS TO BE A MINIMUM OF 1'-0" DEEP BY 1'-8" WIDE, CENTERED ON WALL, UNLESS OTHERWISE NOTED, WITH (2) #5 REINFORCING BARS, CONTINUOUS WITH 6x6 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

TYPICAL CONNECTING/CONTINUOUS GRADE BEAM:
FOOTINGS AT CONNECTING GRADE BEAM ARE TO BE 12" DEEP x 36" WIDE, CAST IN PLACE CONCRETE WITH (2) #5 REINFORCING BARS, CONTINUOUS. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR GRADE BEAM/FOOTING CONNECTION DETAILS. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

TYPICAL SLAB ON GRADE:
SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE ON 6 MIL POLYETHYLENE VAPOR BARRIER WITH MINIMUM 16"x20" (20"x20" AT ANY TWO STORY LOCATIONS) TURNED DOWN EDGE (EXTENDING MINIMUM 1'-0" INTO UNDISTURBED SOIL) WITH (2) #5 REINFORCING BARS, CONTINUOUS AND 6x6 10'/10 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS, U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

	12" PIER
	8" CMU WALL
	6" CMU PLANTER WALL
	4" CMU WALL
	BRICK VENEER
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
	CONCRETE SLAB
	BACKFILL DIRT
	ENG. BEAM BY OTHERS TYP.

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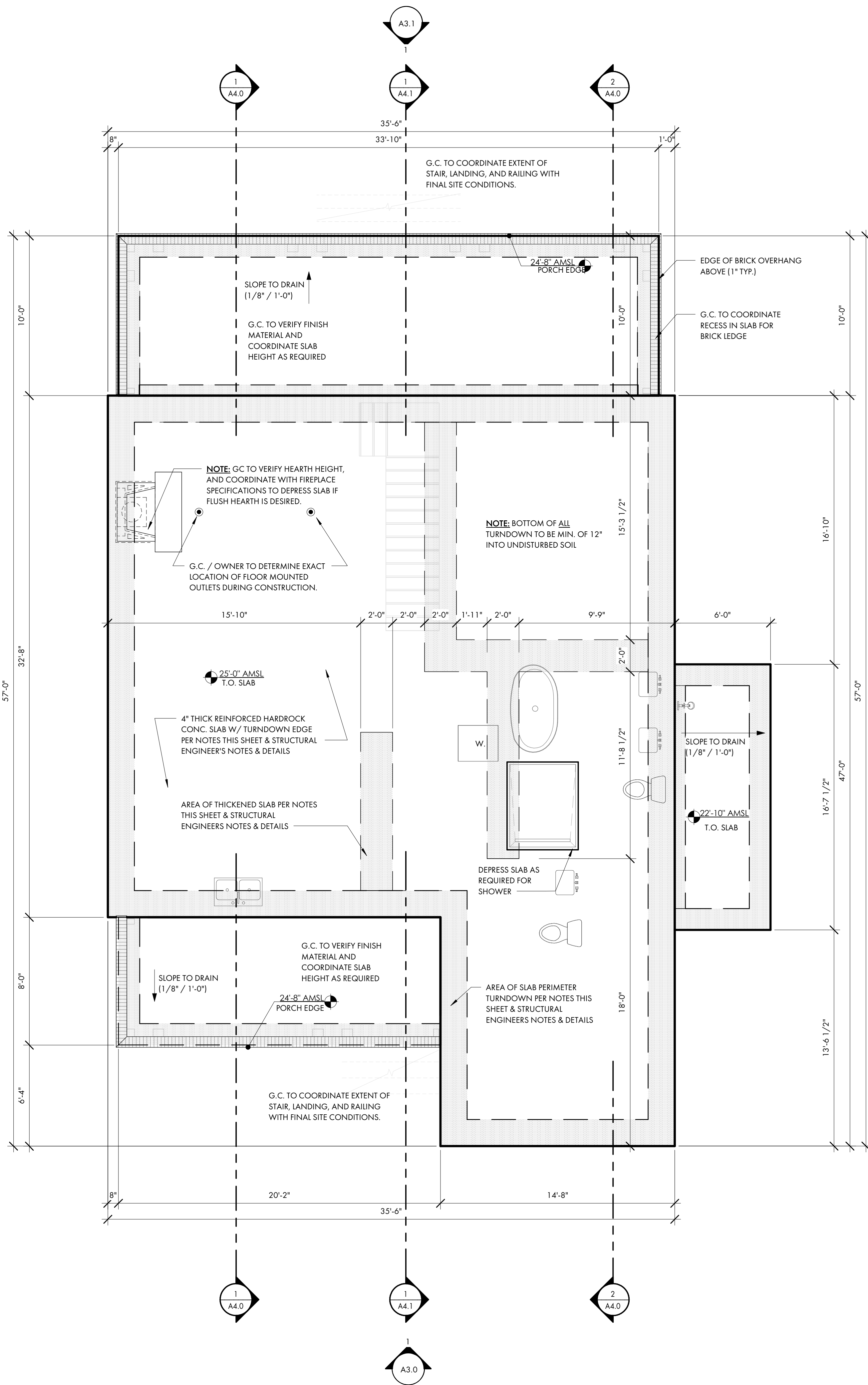
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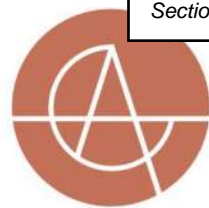
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SHEET TITLE

FOUNDATION PLAN

A2.0





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SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.
OR
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON P.T. 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 10" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 12" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY FLOOR FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

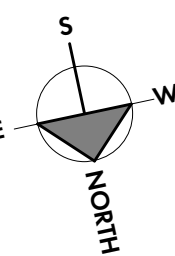
ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.
OR
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
- EXISTING WALL TO REMAIN
- BRICKWORK



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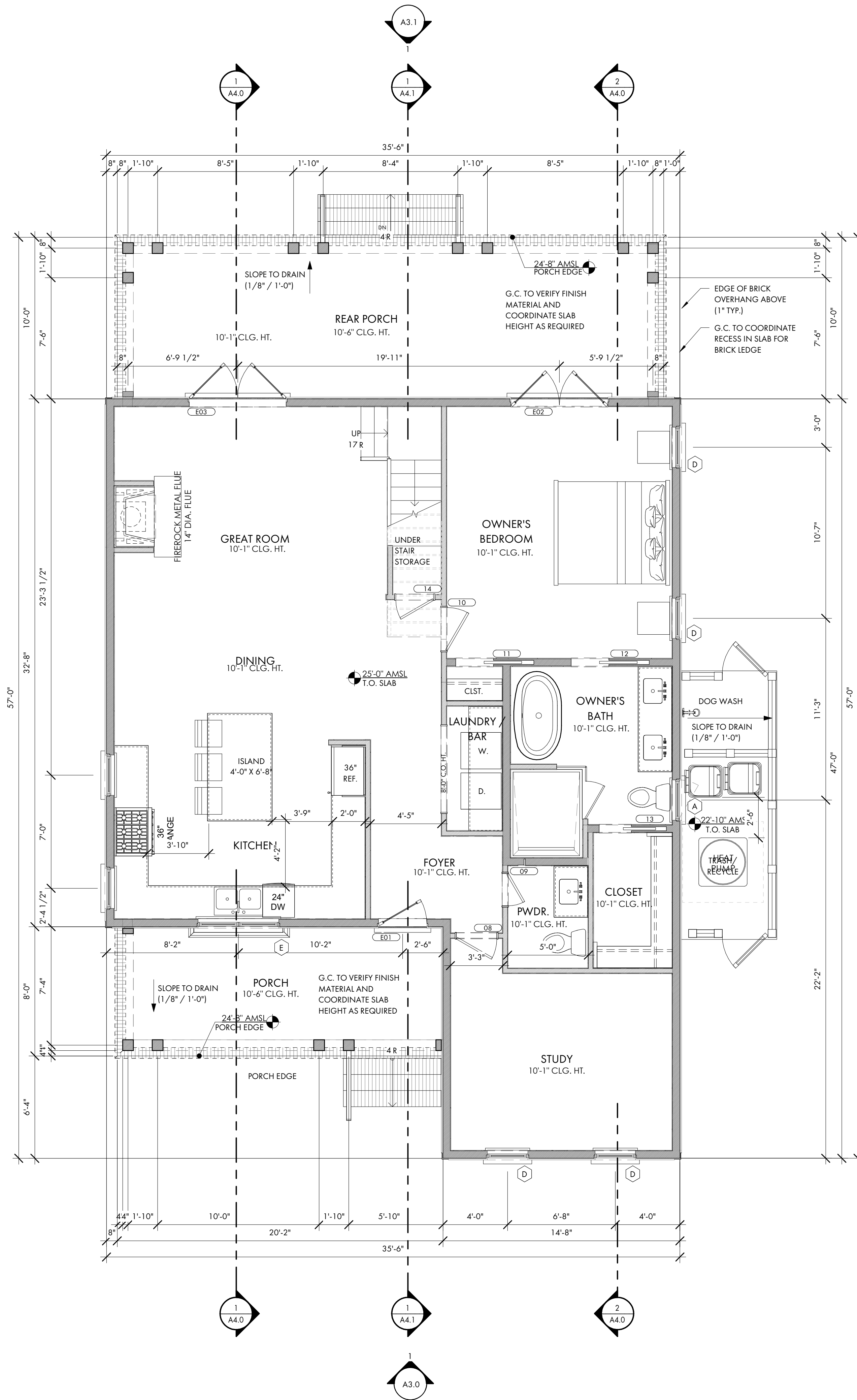
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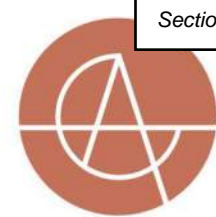
SHEET TITLE

FIRST FLOOR PLAN

A2.1



1
A2.1
FIRST FLOOR PLAN
1/4" = 1'-0"



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SECOND FLOOR PLAN

A2.2

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

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WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON P.T. 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 10" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 12" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY FLOOR FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

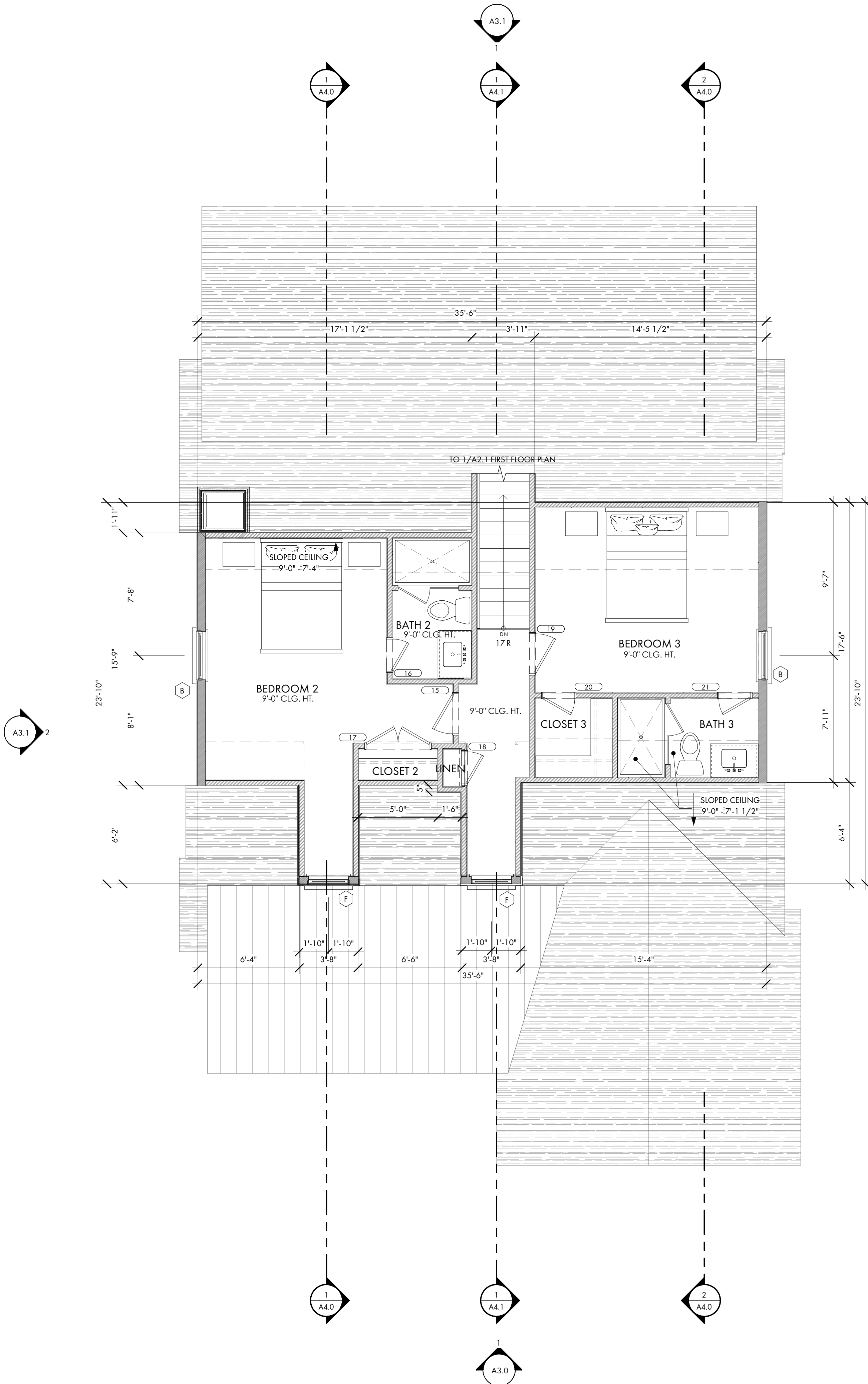
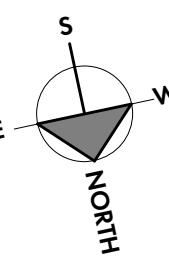
ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.
OR
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

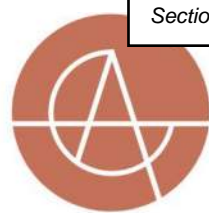
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O.. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
- EXISTING WALL TO REMAIN
- BRICKWORK



1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"



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SHEET TITLE

ROOF PLAN

A2.3

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.
OR
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

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BONUS ROOM FLOOR SYSTEM:
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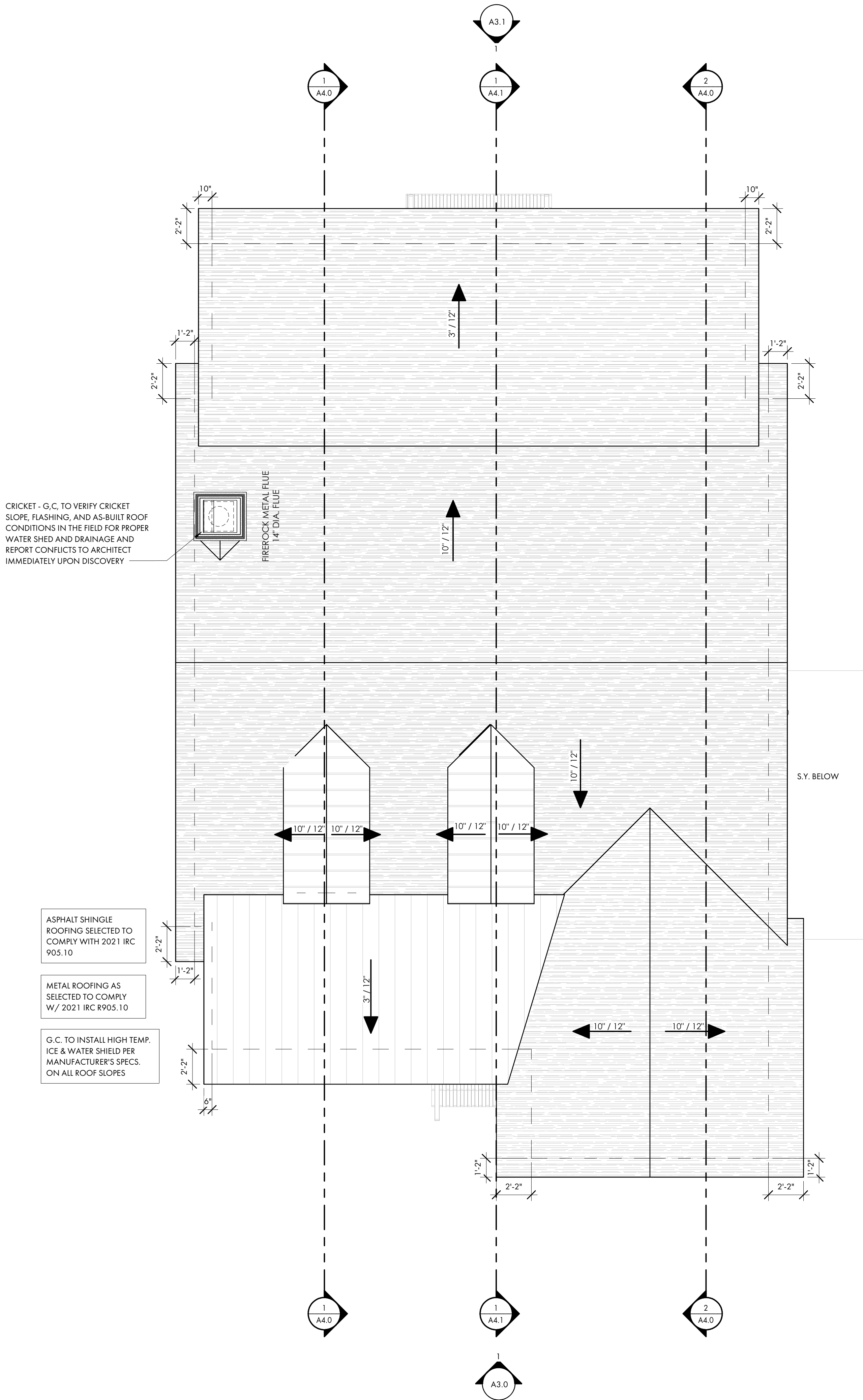
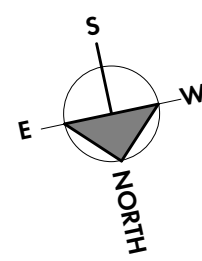
ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

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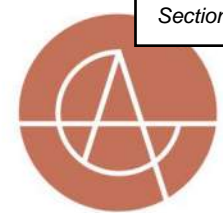
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FLOOR PLAN - SYMBOL KEY

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2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
EXISTING WALL TO REMAIN
BRICKWORK



1 ROOF PLAN
A2.3 1/4" = 1'-0"



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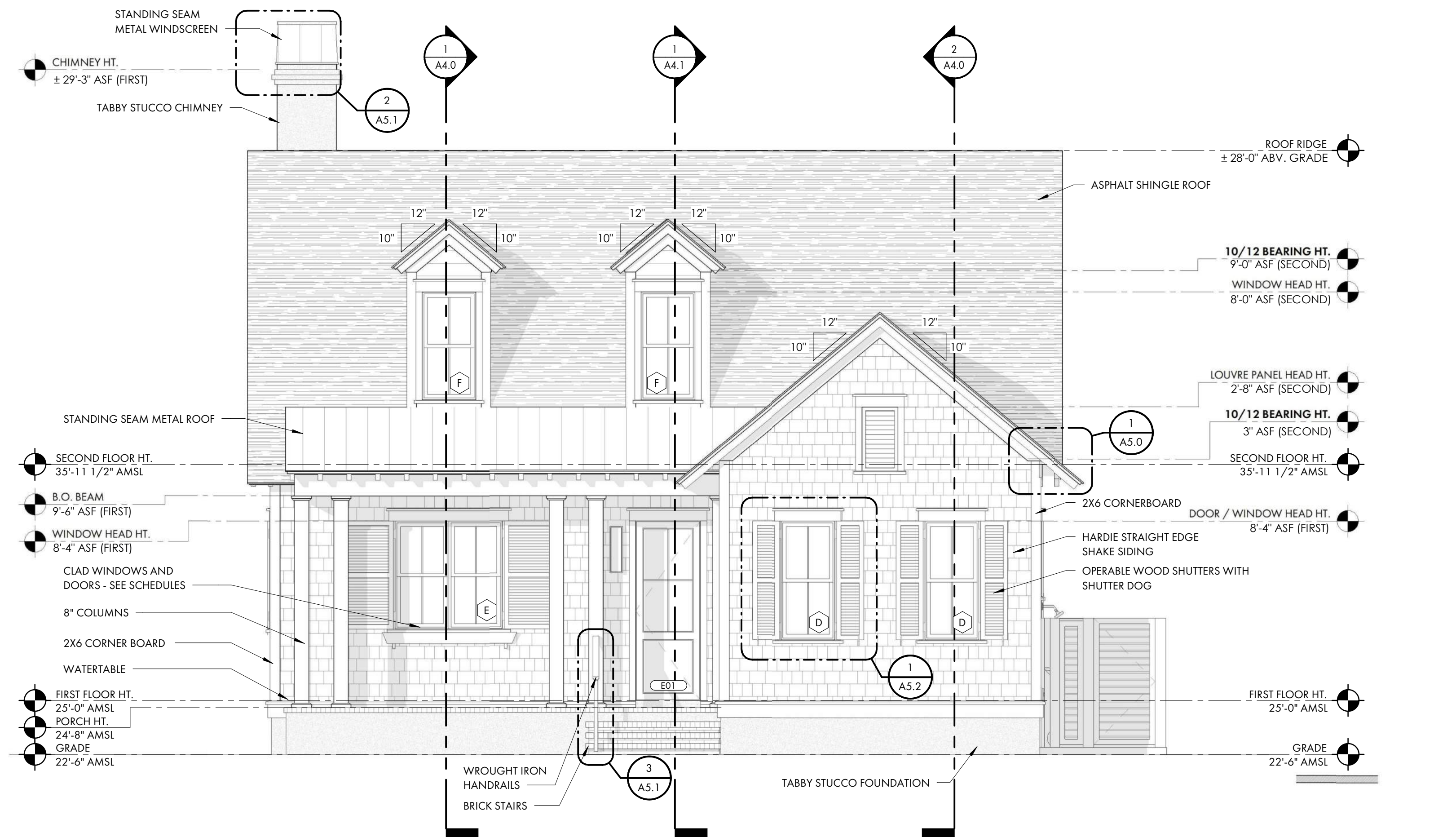
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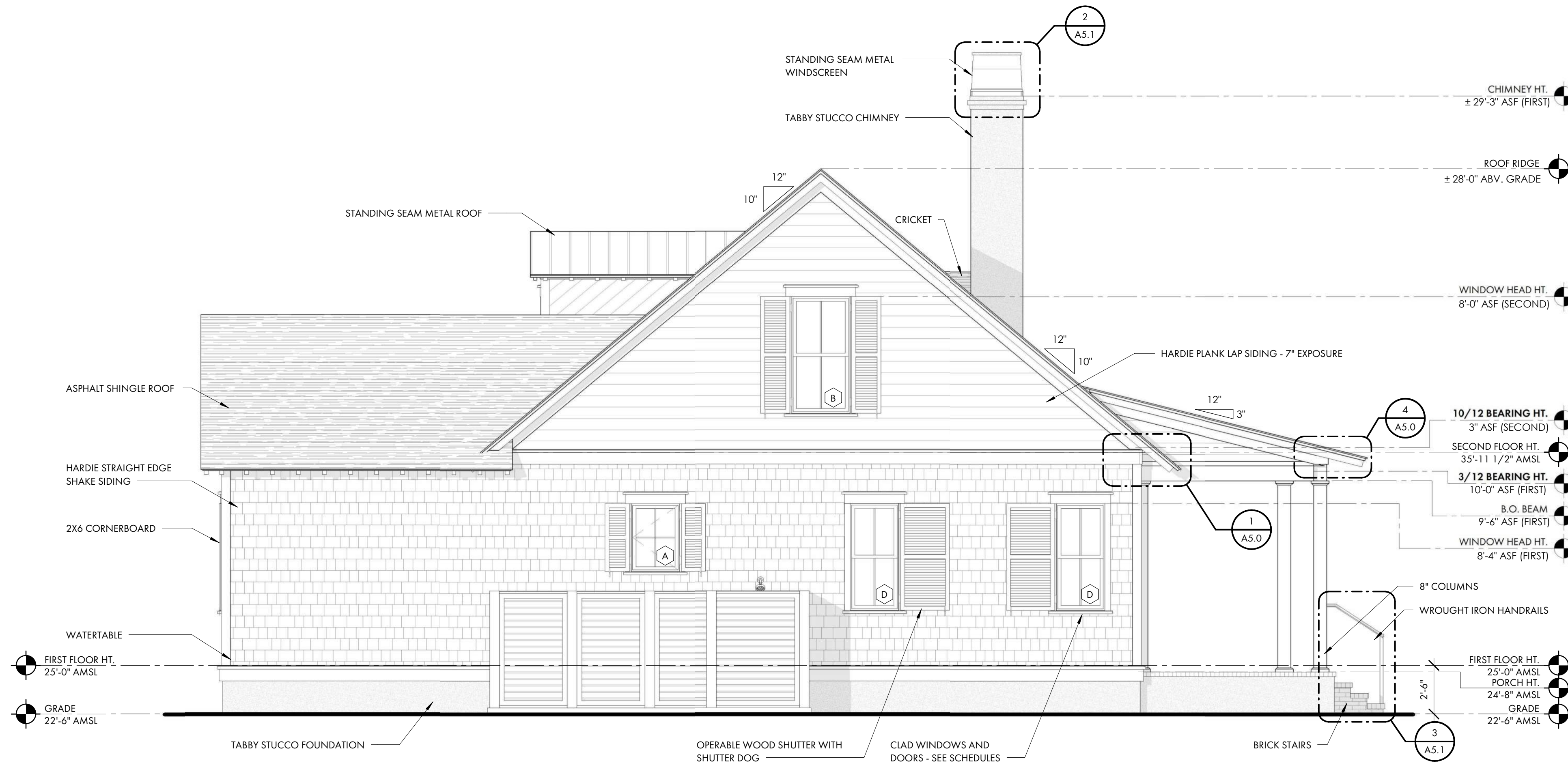
SHEET TITLE

BUILDING ELEVATIONS

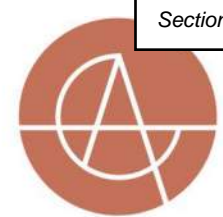
A3.0



1 FRONT ELEVATION
A3.0 1/4" = 1'-0"



2 RIGHT ELEVATION
A3.0 1/4" = 1'-0"



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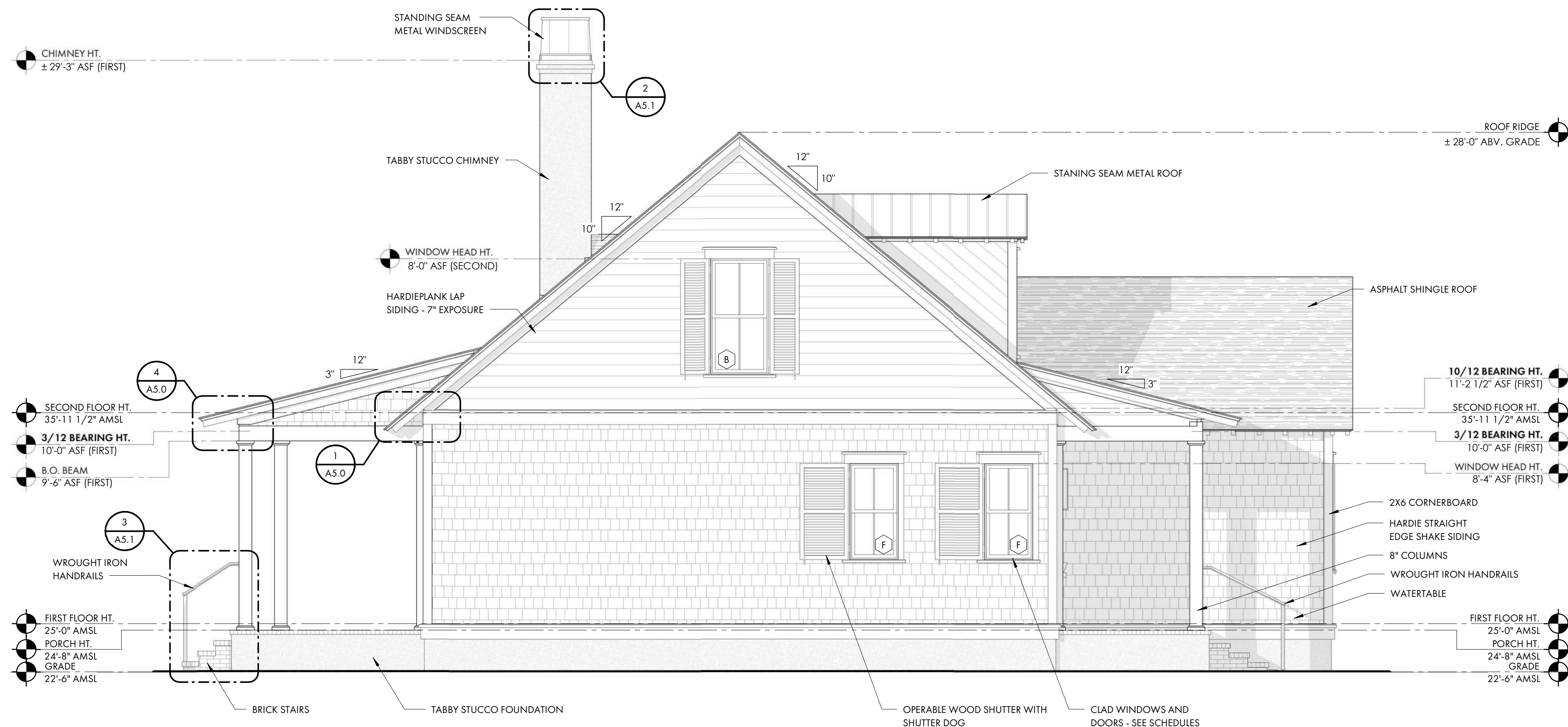
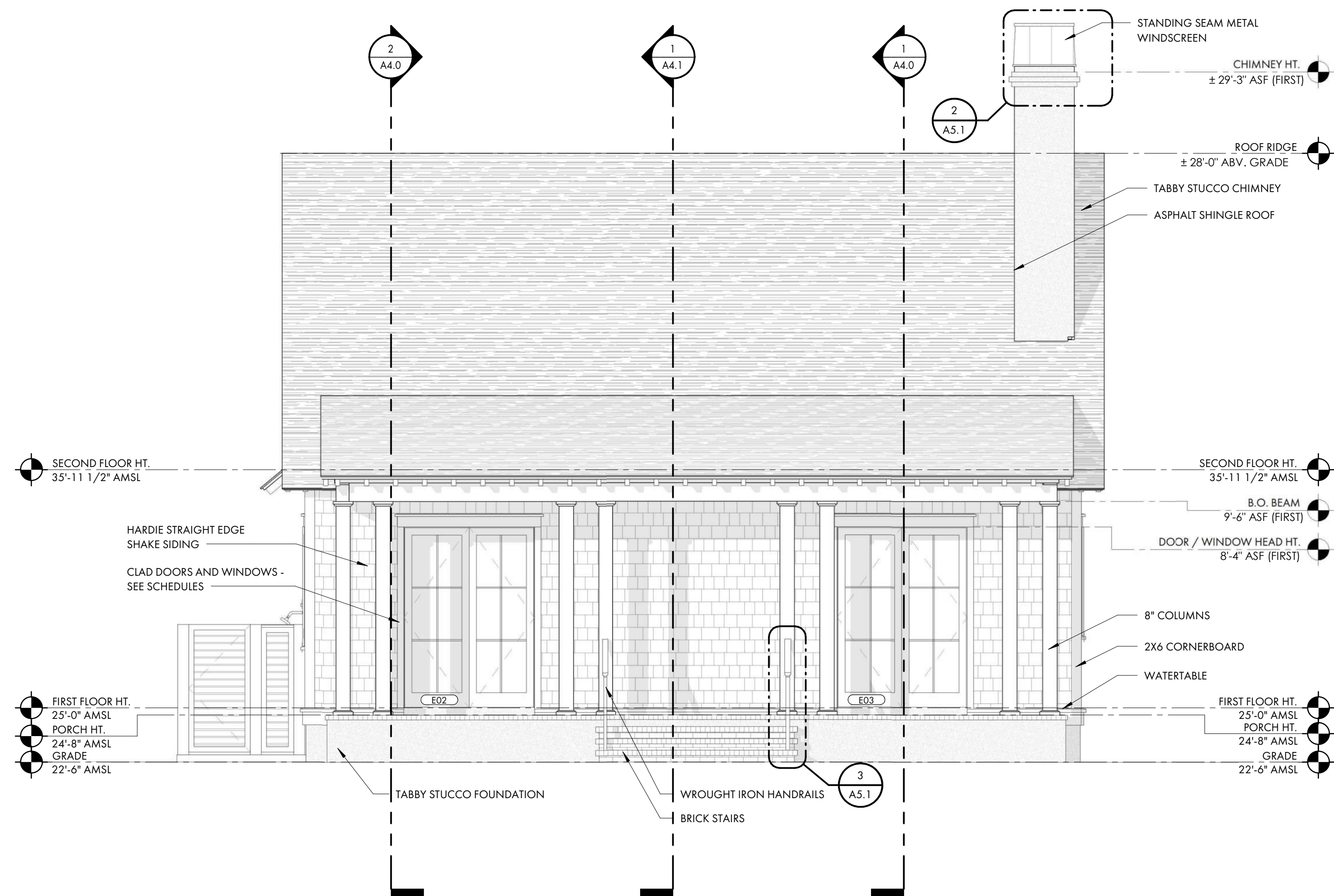
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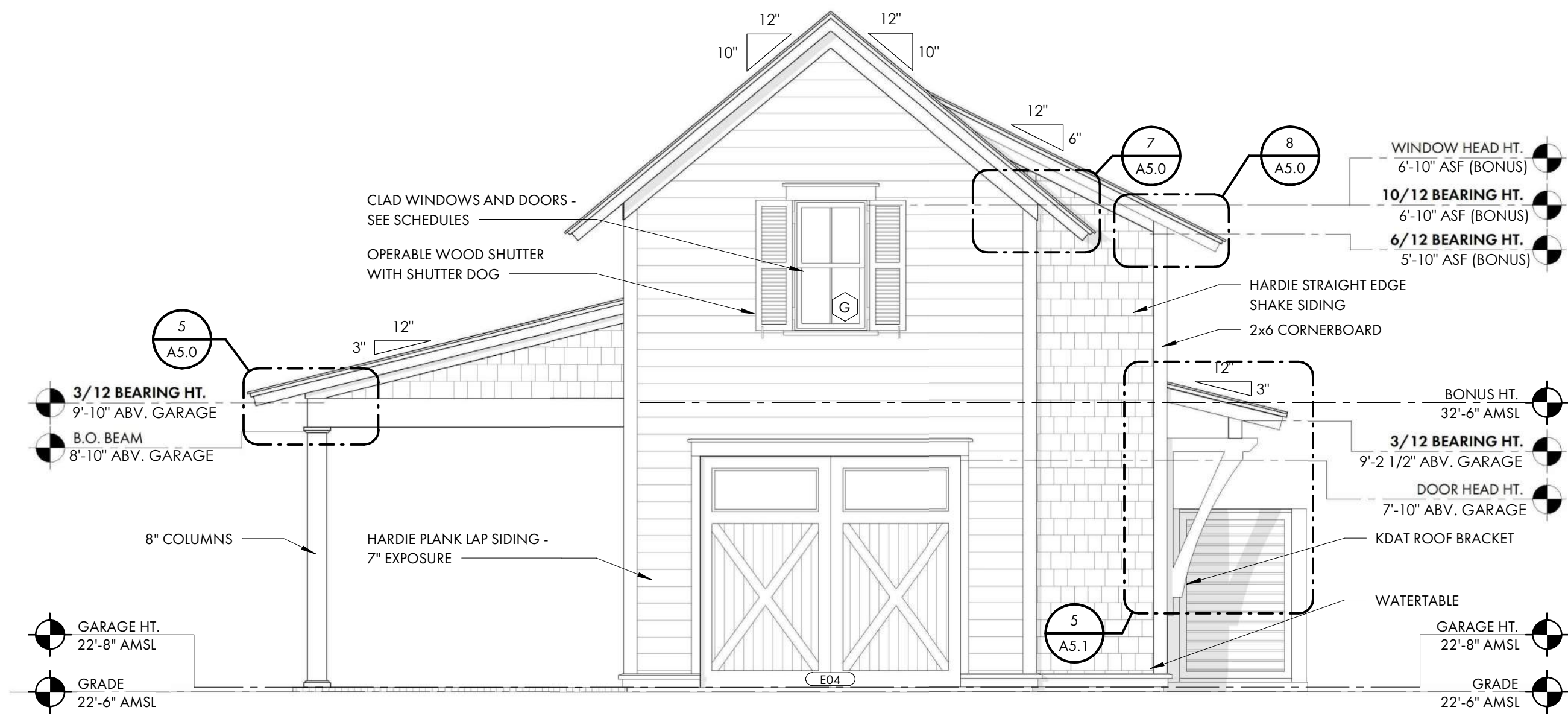
BUILDING ELEVATIONS

A3.1

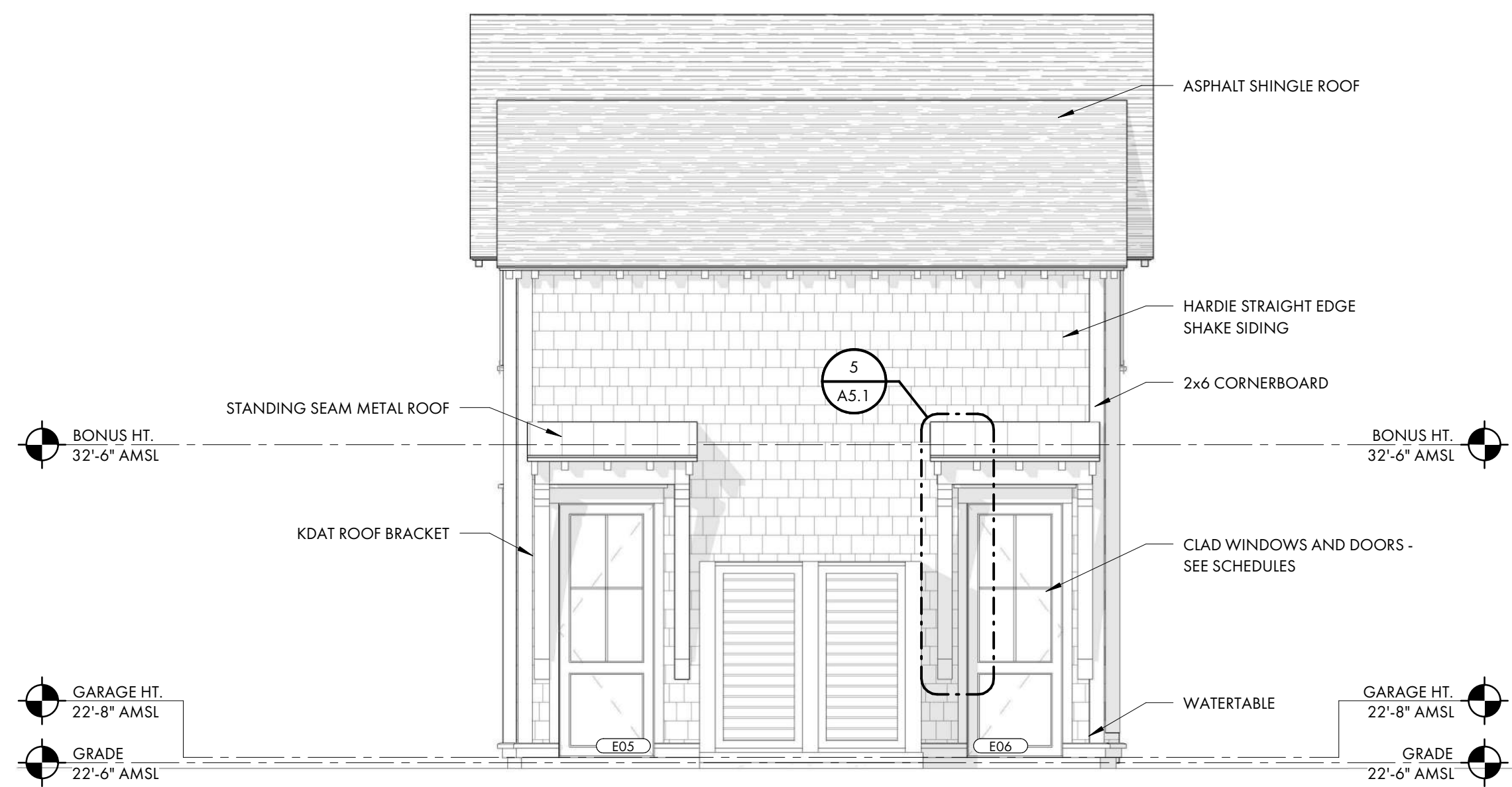
1 REAR ELEVATION A3.1 1/4" = 1'-0"



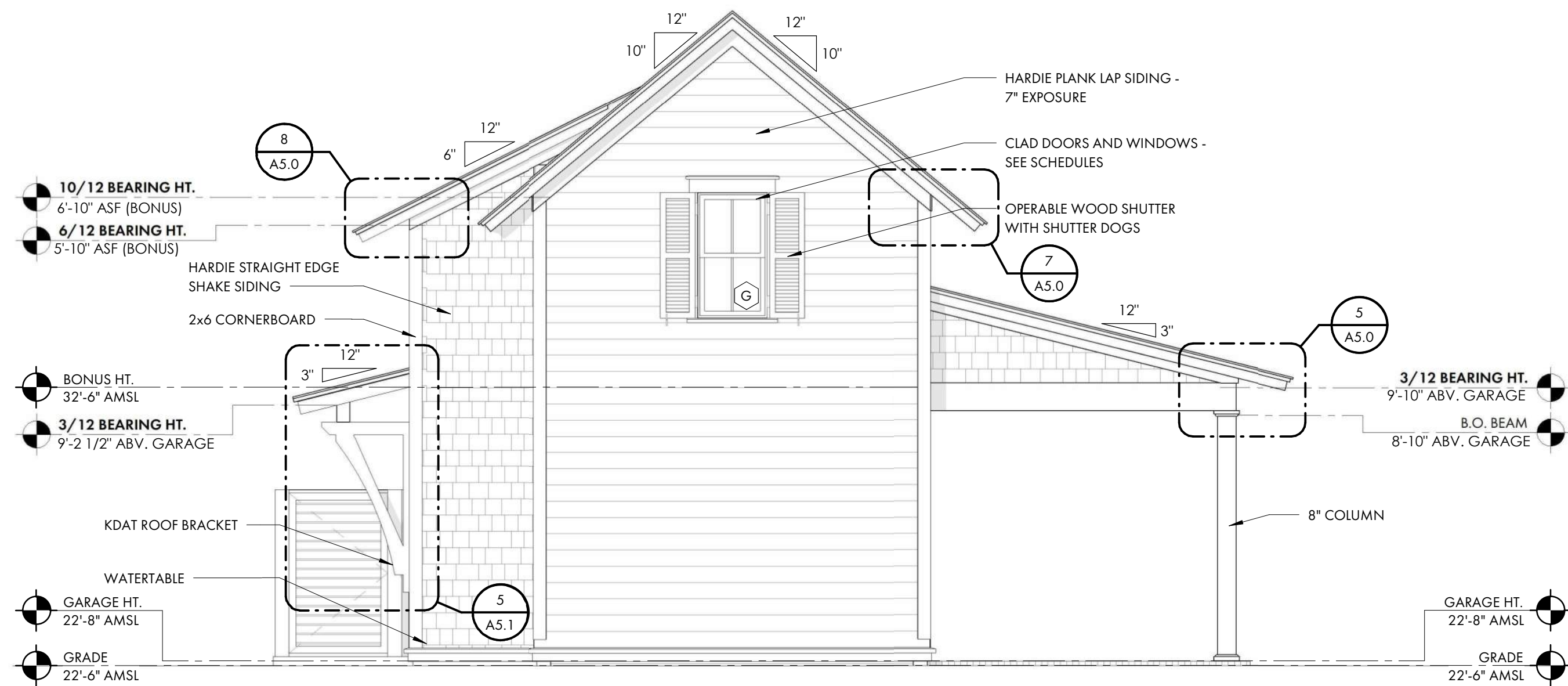
2 LEFT ELEVATION A3.1 1/4" = 1'-0"



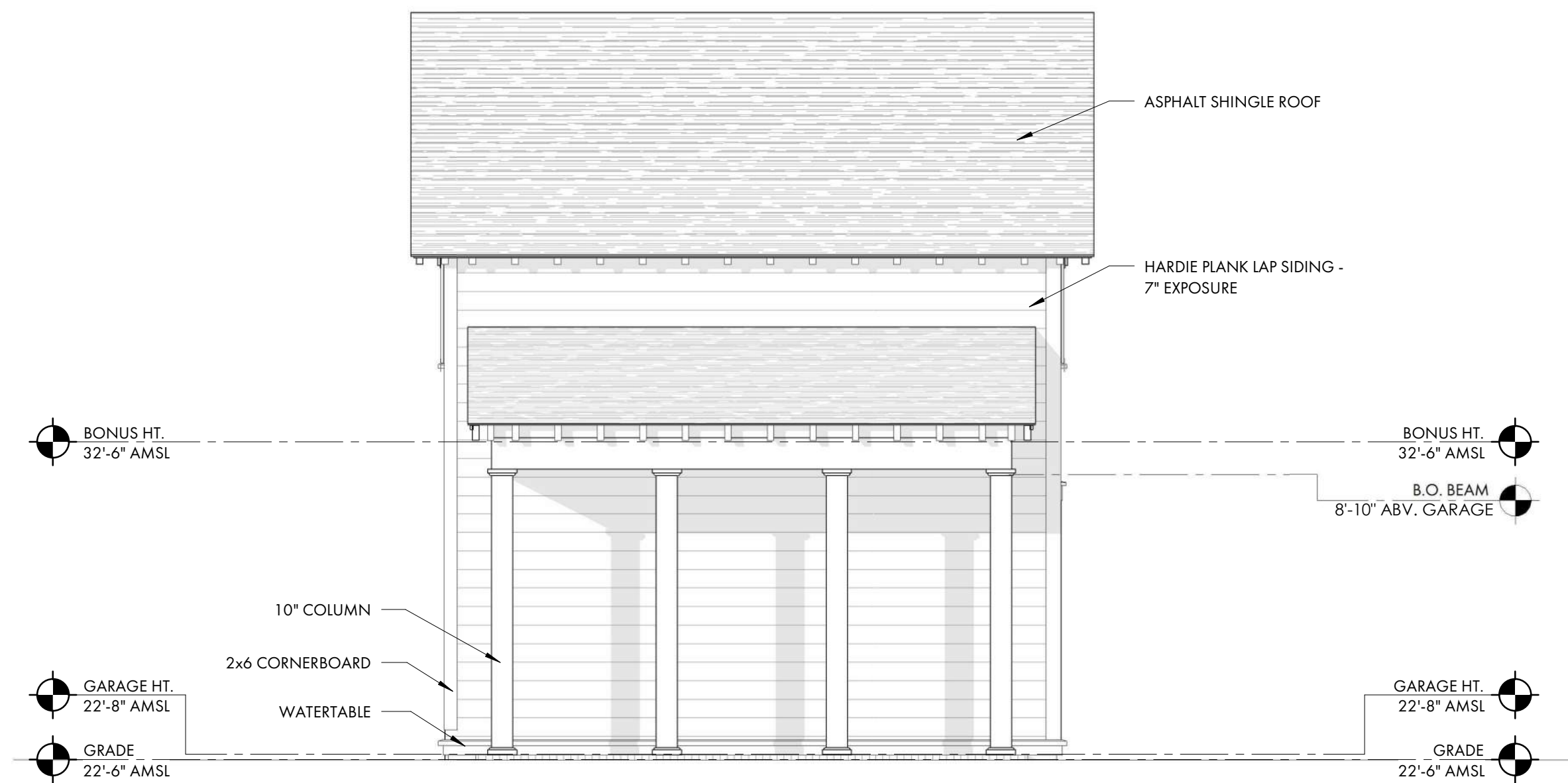
1 CH FRONT ELEVATION
A3.2 1/4" = 1'-0"



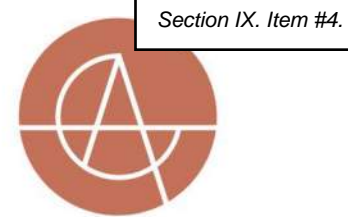
2 CH RIGHT ELEVATION
A3.2 1/4" = 1'-0"



3 CH REAR ELEVATION
A3.2 1/4" = 1'-0"



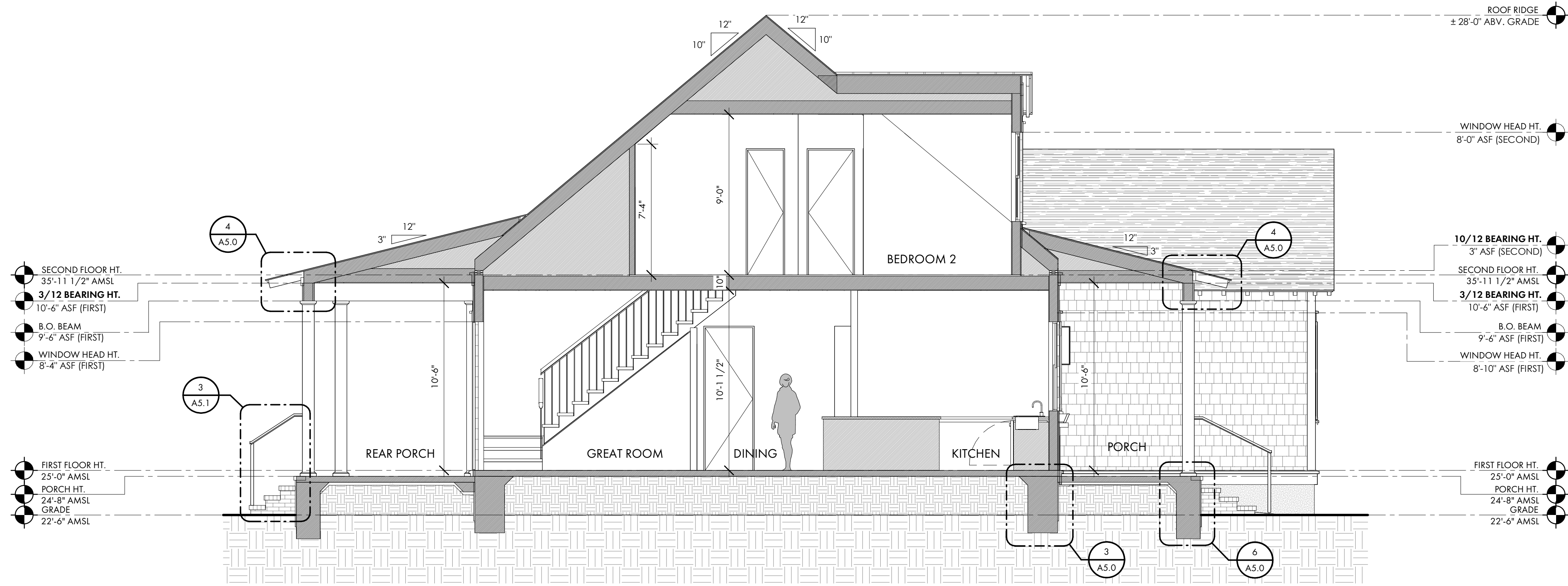
4 CH LEFT ELEVATION
A3.2 1/4" = 1'-0"



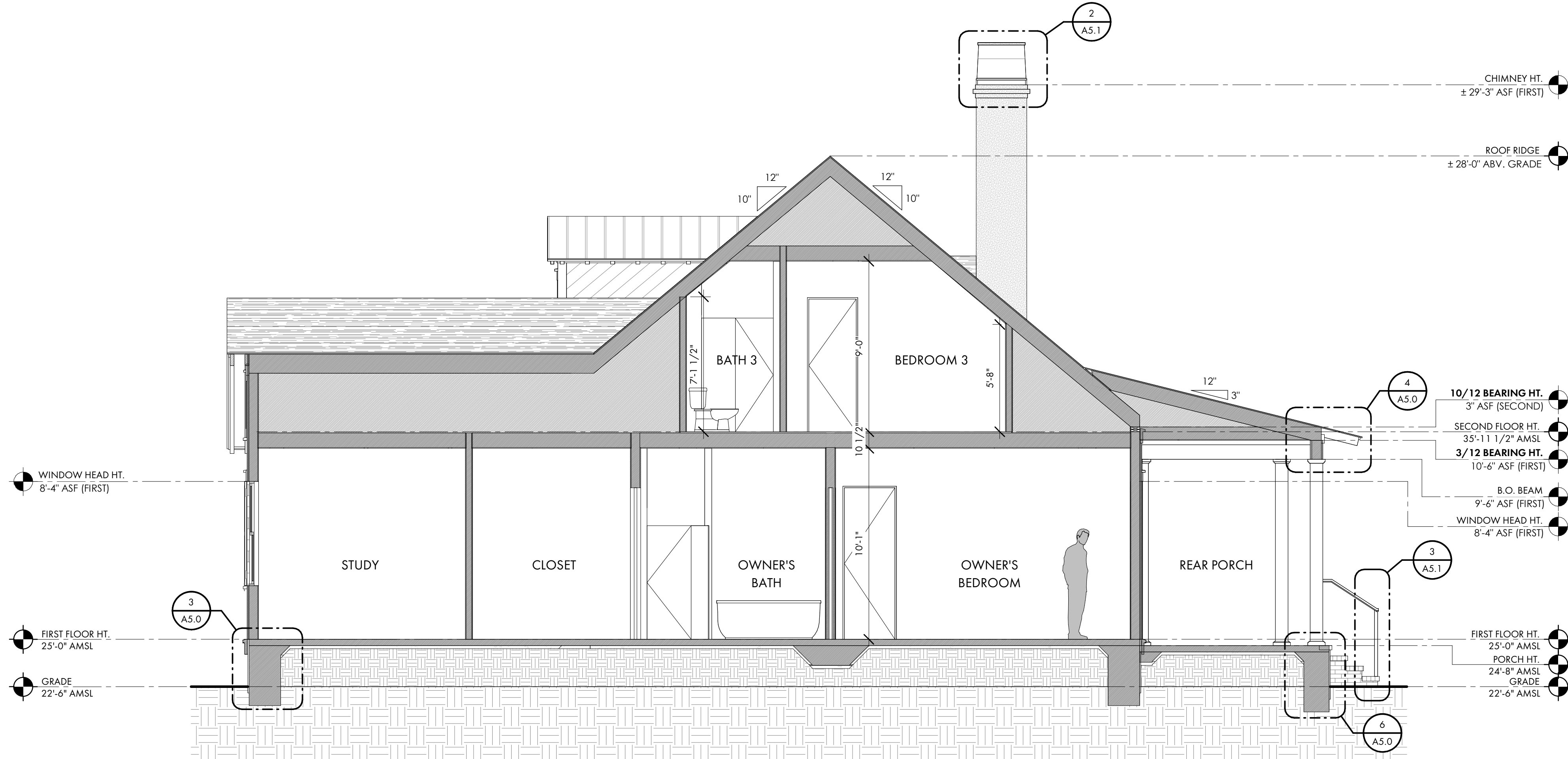
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1 SECTION THROUGH GREAT ROOM AND KITCHEN
A4.0 1/4" = 1'-0"



2 SECTION THROUGH OWNER'S SUITE
A4.0 1/4" = 1'-0"

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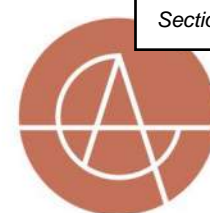
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SHEET TITLE

BUILDING SECTIONS

A4.0



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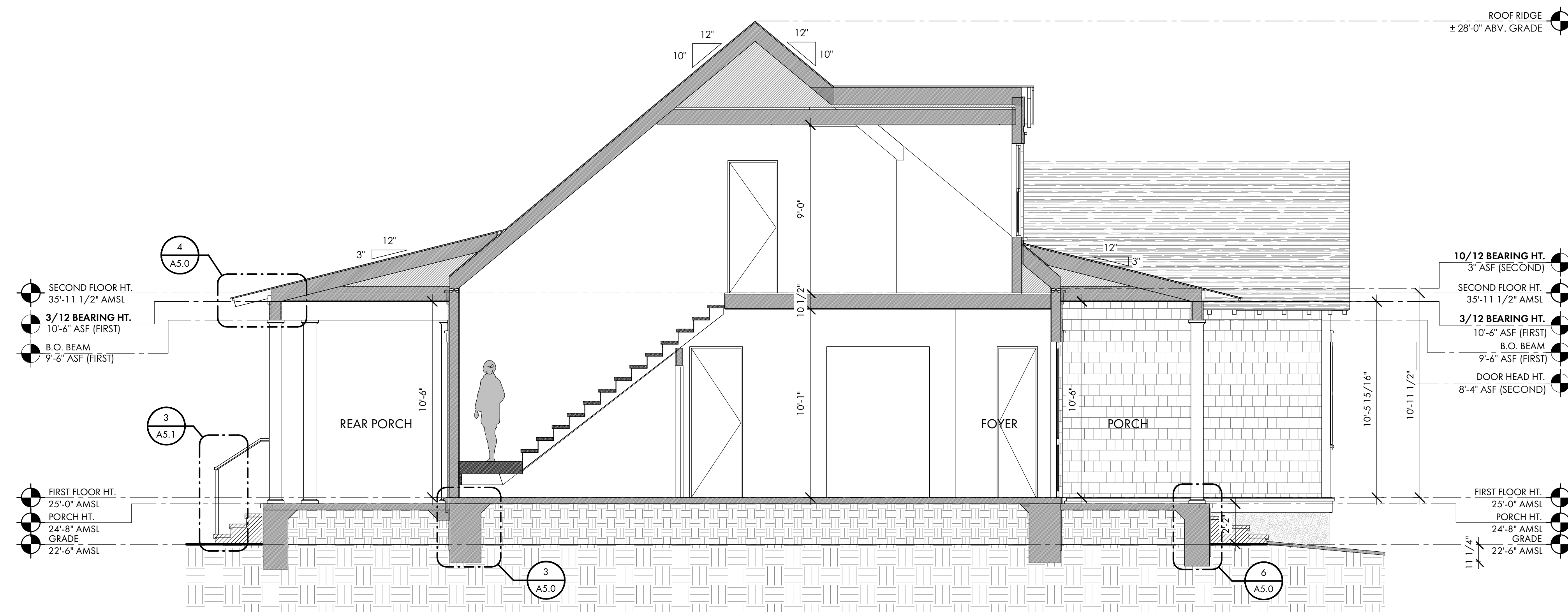
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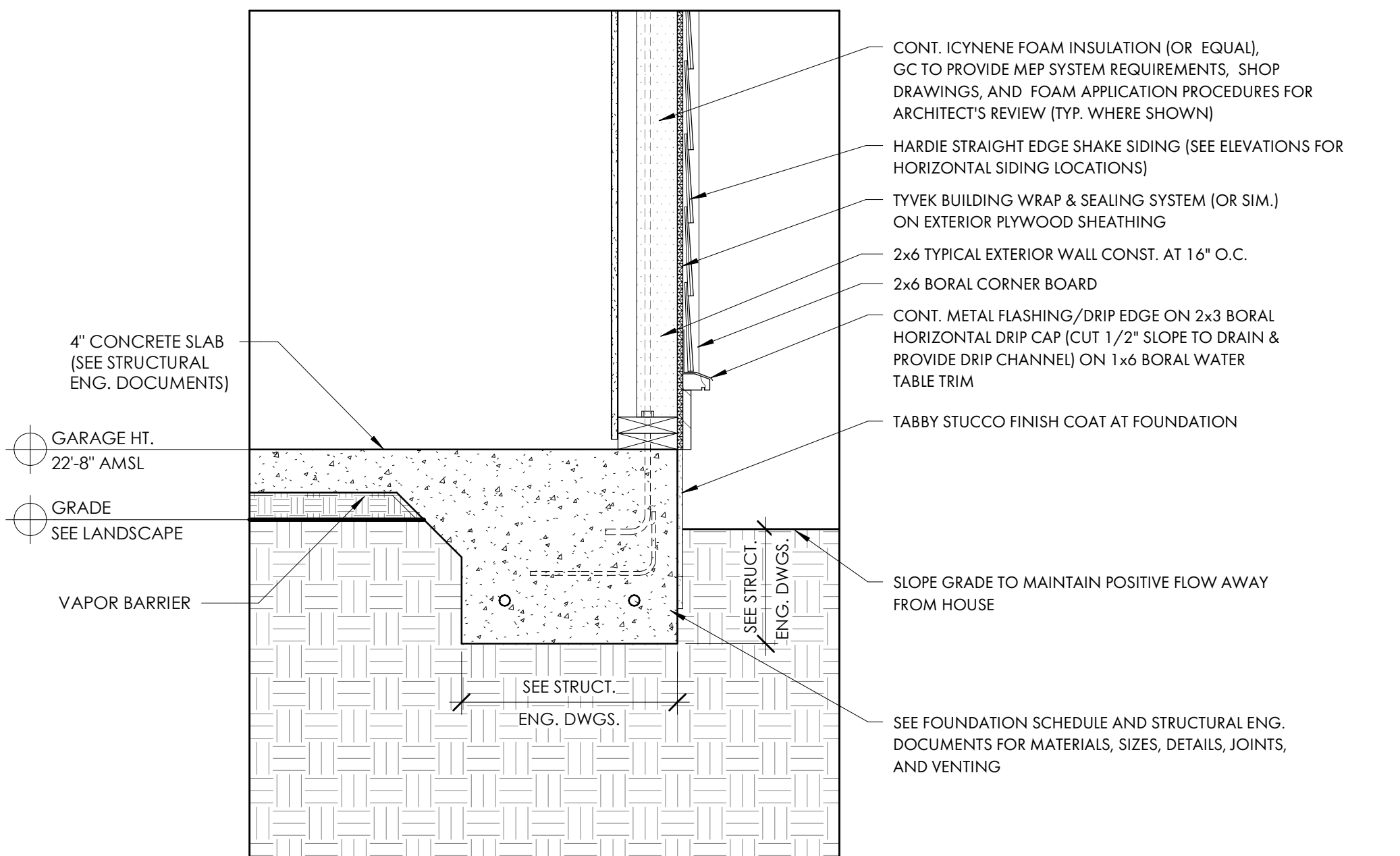
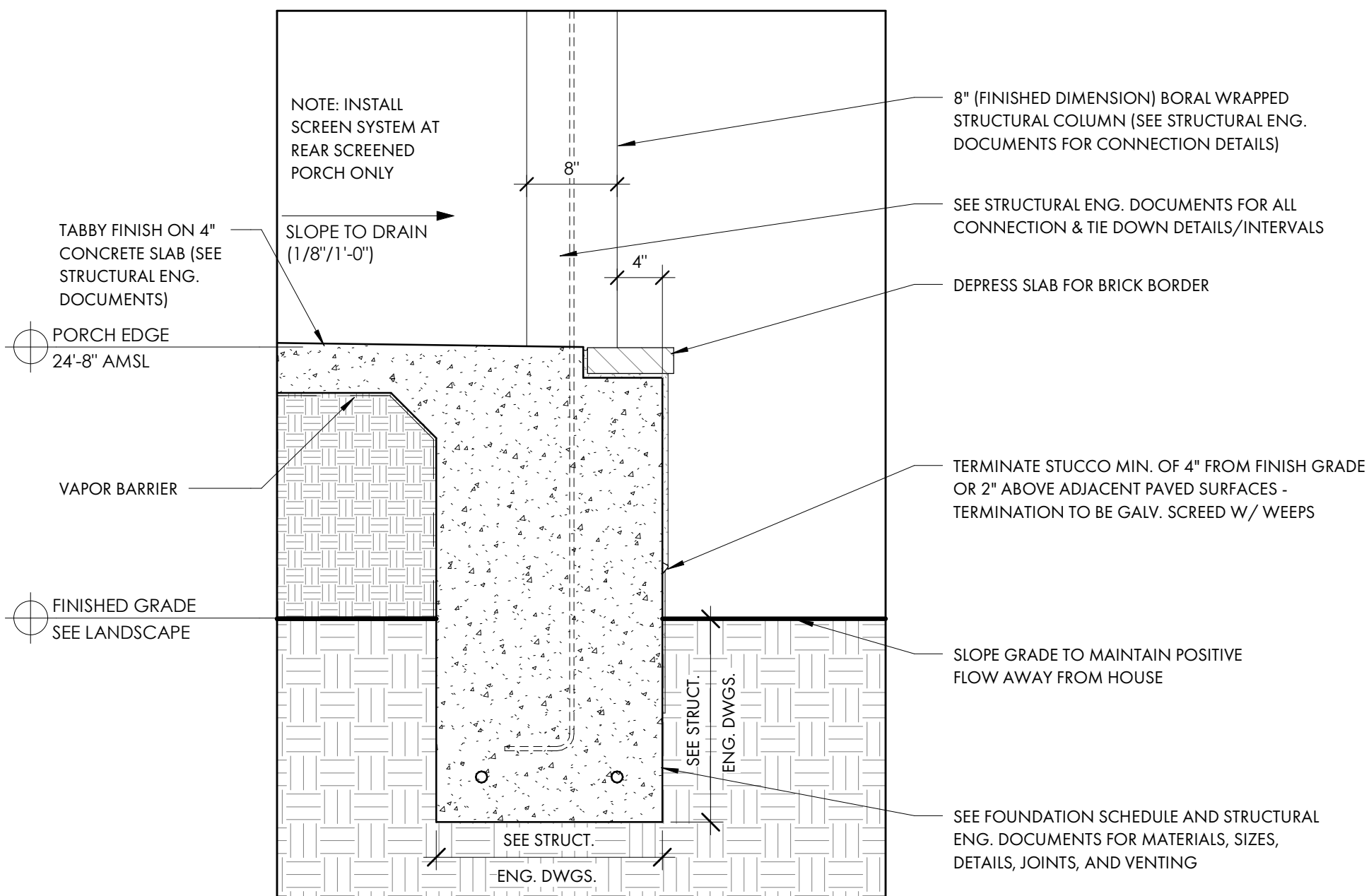
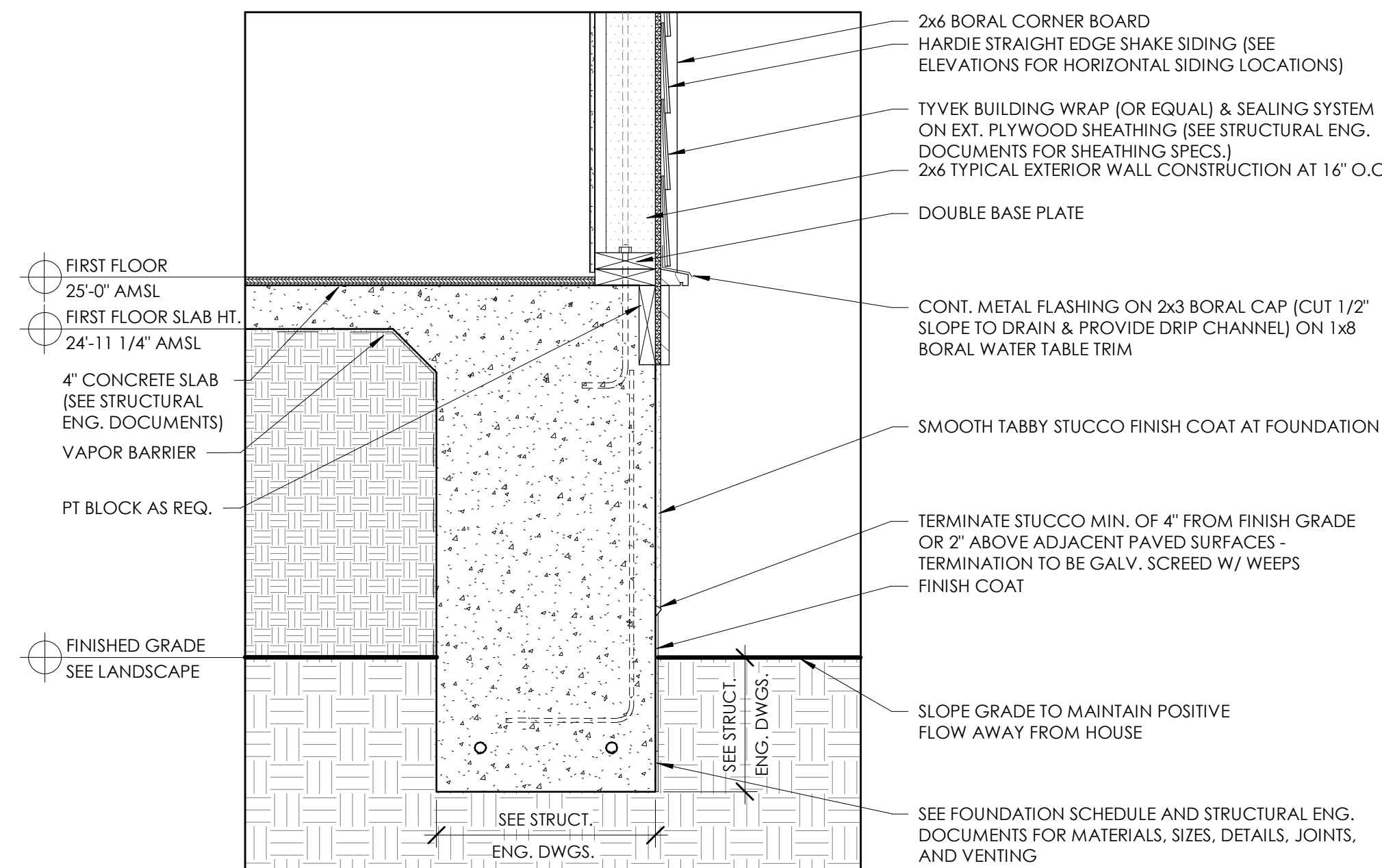
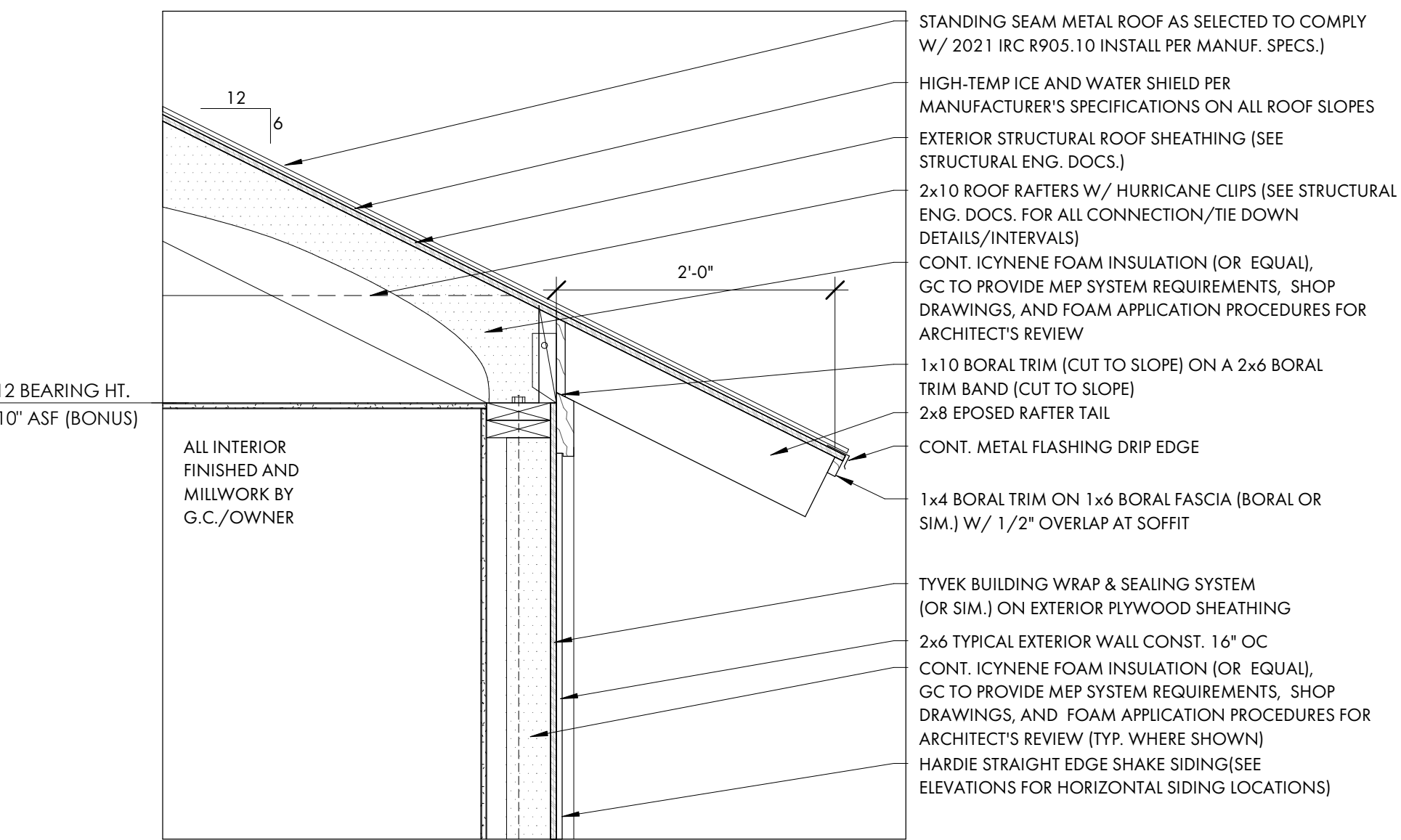
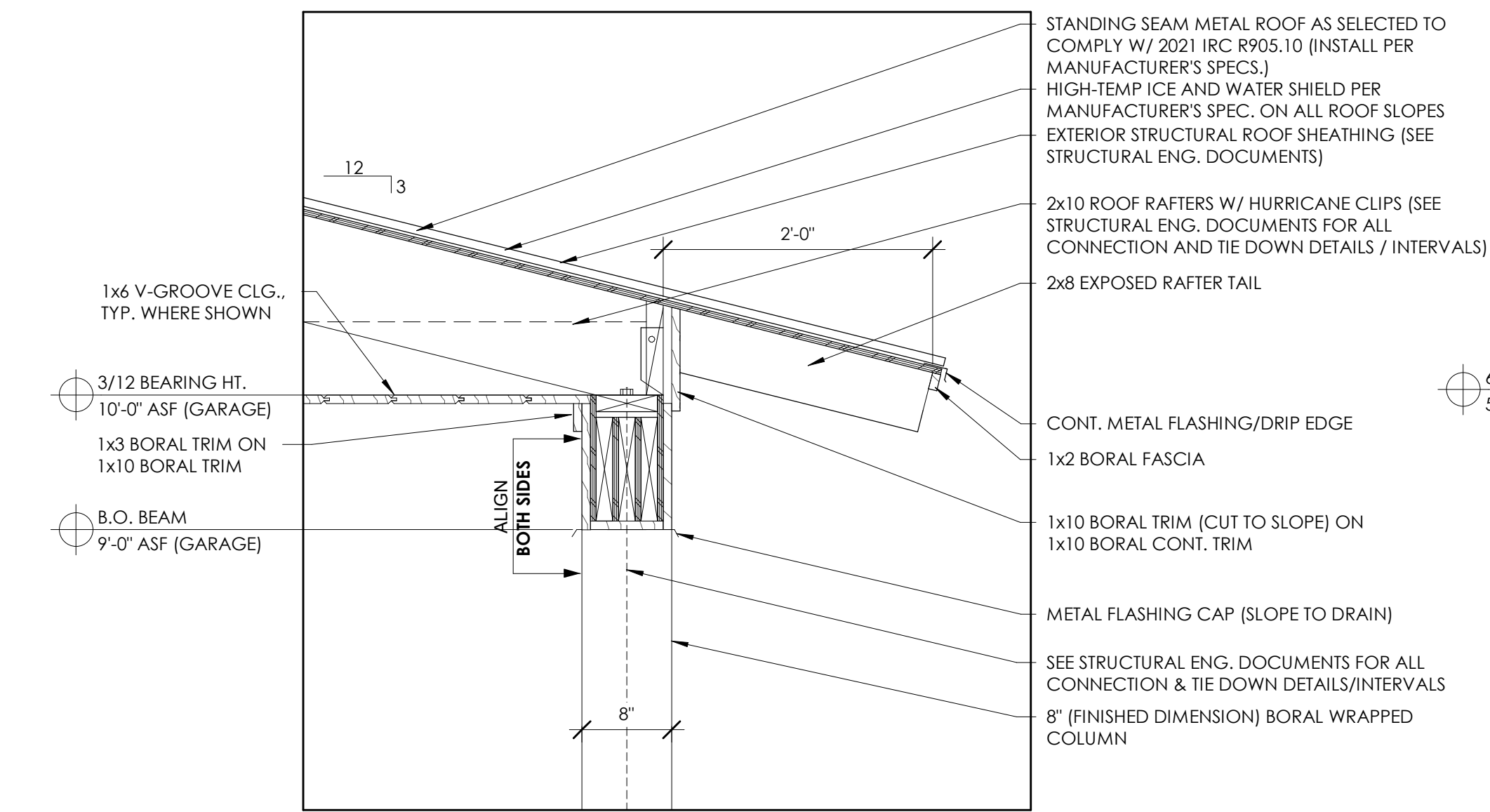
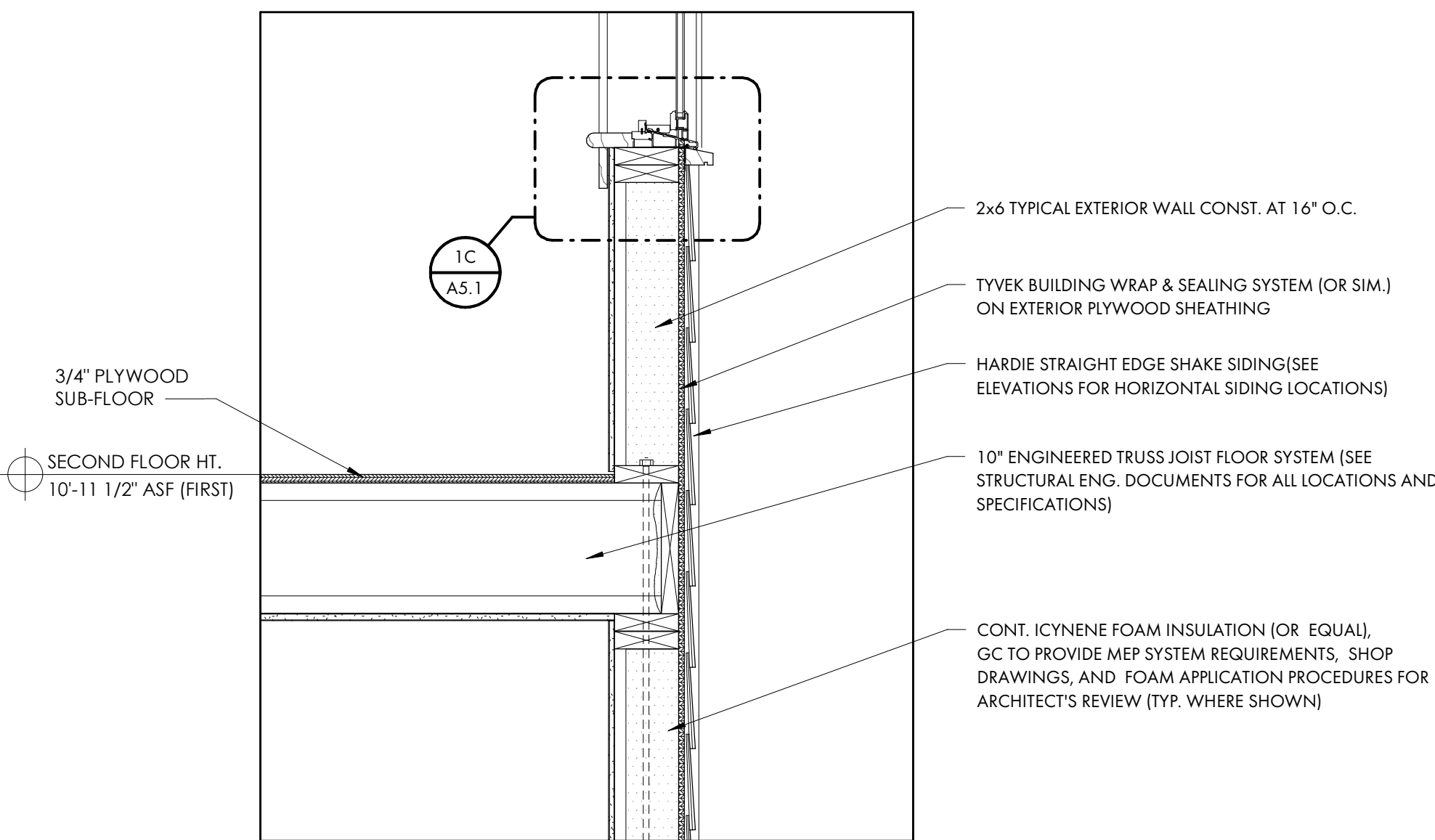
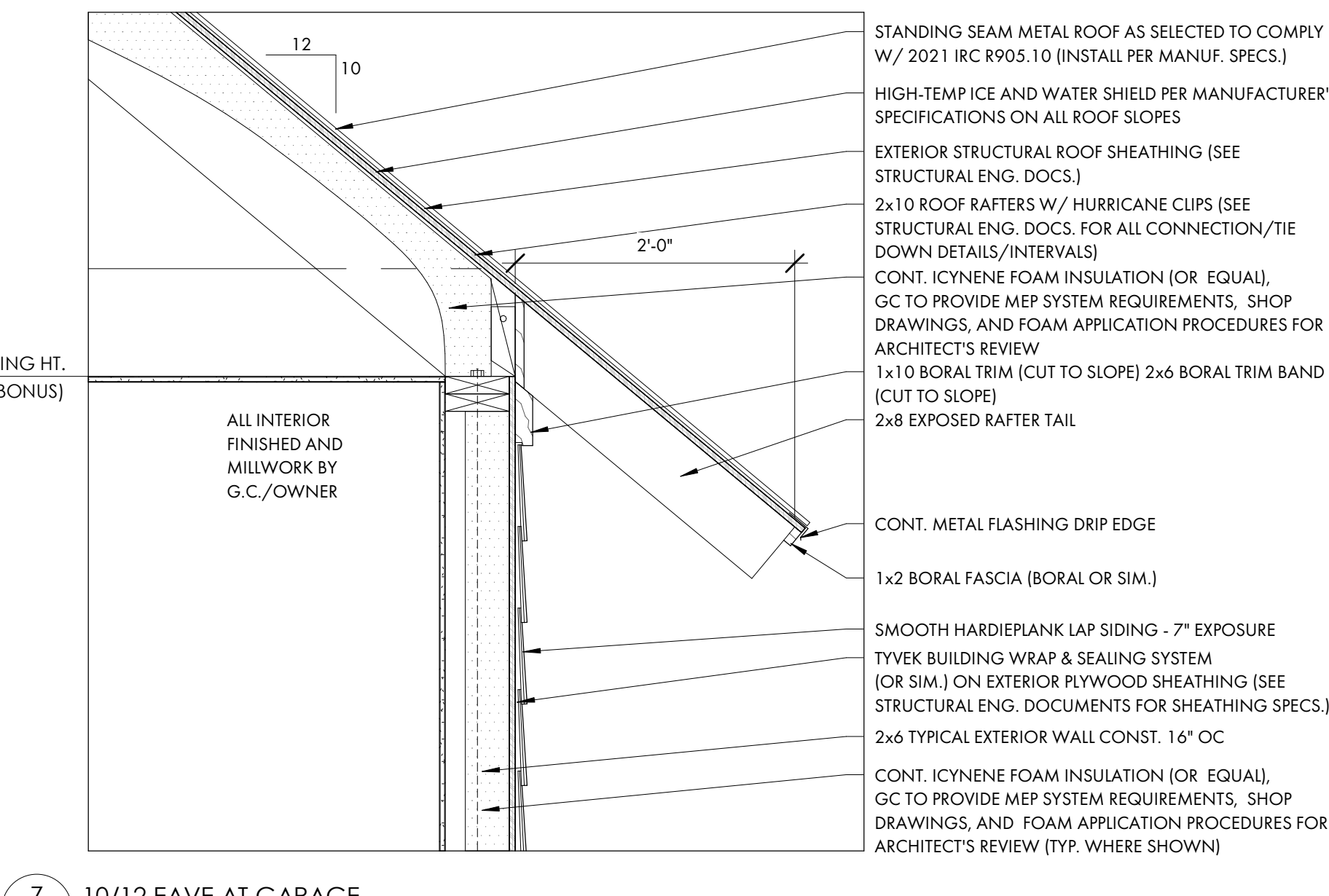
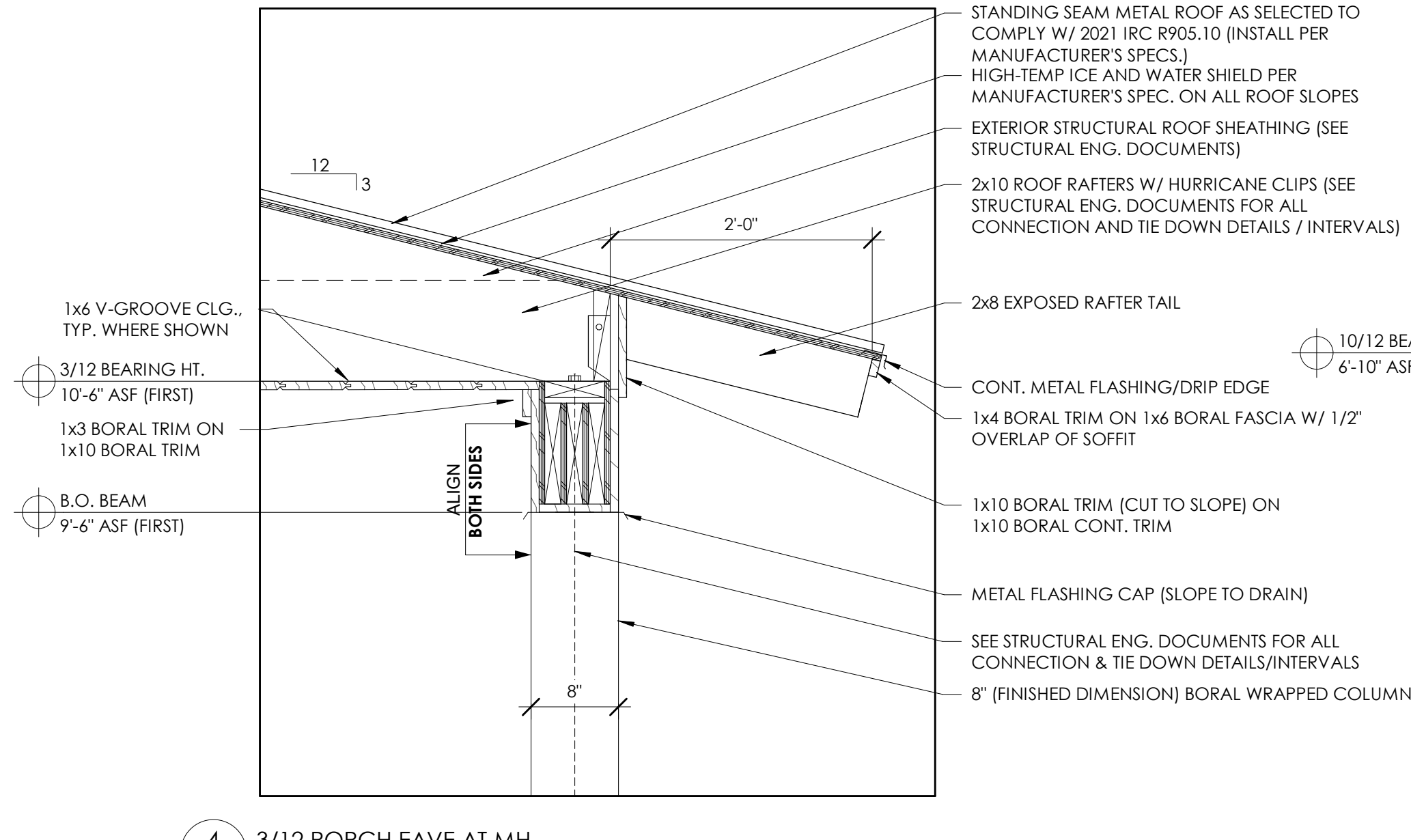
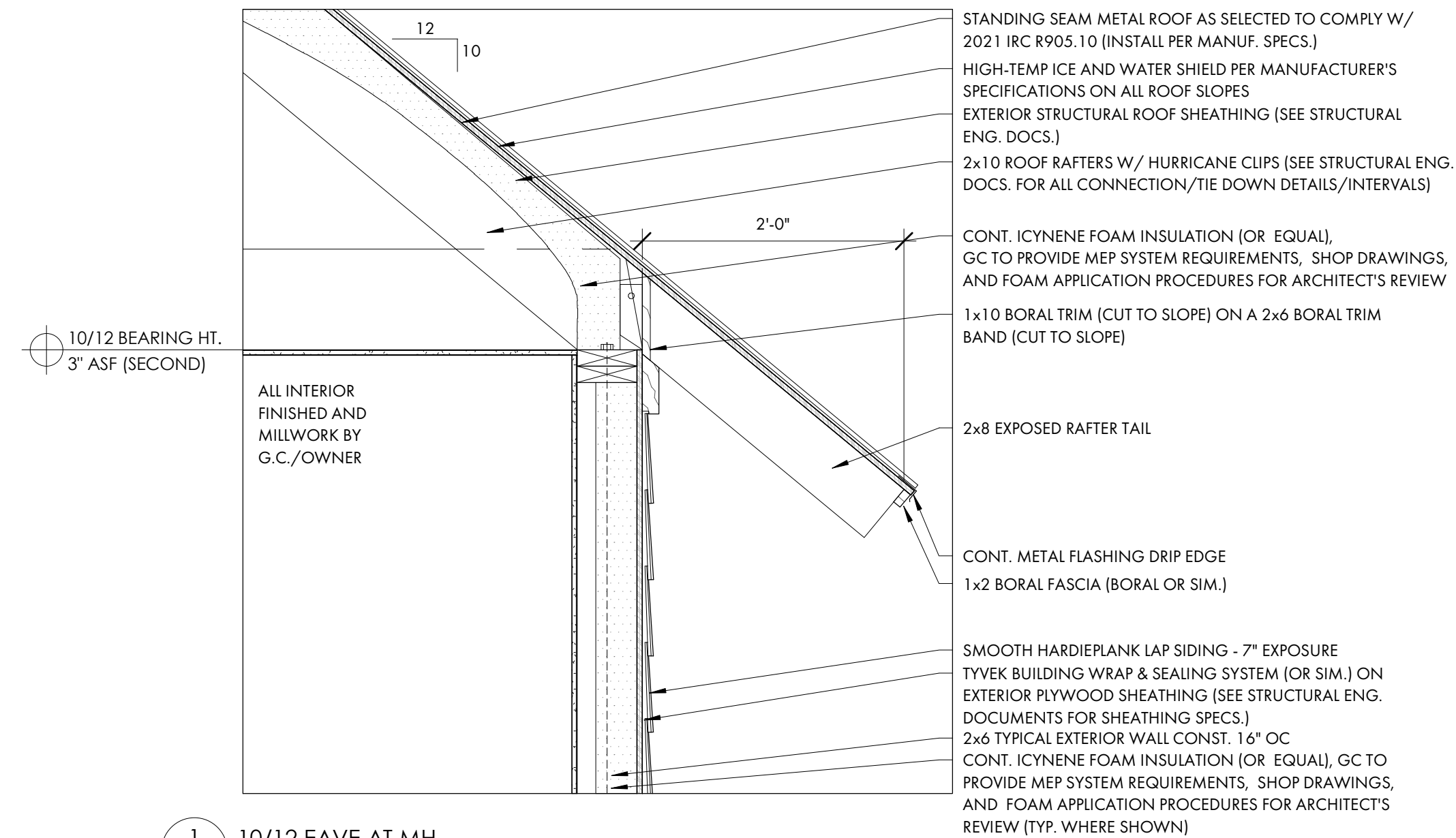
BUILDING SECTIONS

A4.1

Page 110



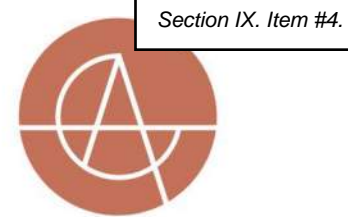
1 SECTION THROUGH MAIN STAIRS
A4.1 1/4" = 1'-0"



3 MAIN HOUSE FOUNDATION
1" = 1'-0"

6 PORCH FOUNDATION, TYP.
1" = 1'-0"

9 GARAGE FOUNDATION, TYP.
1" = 1'-0"



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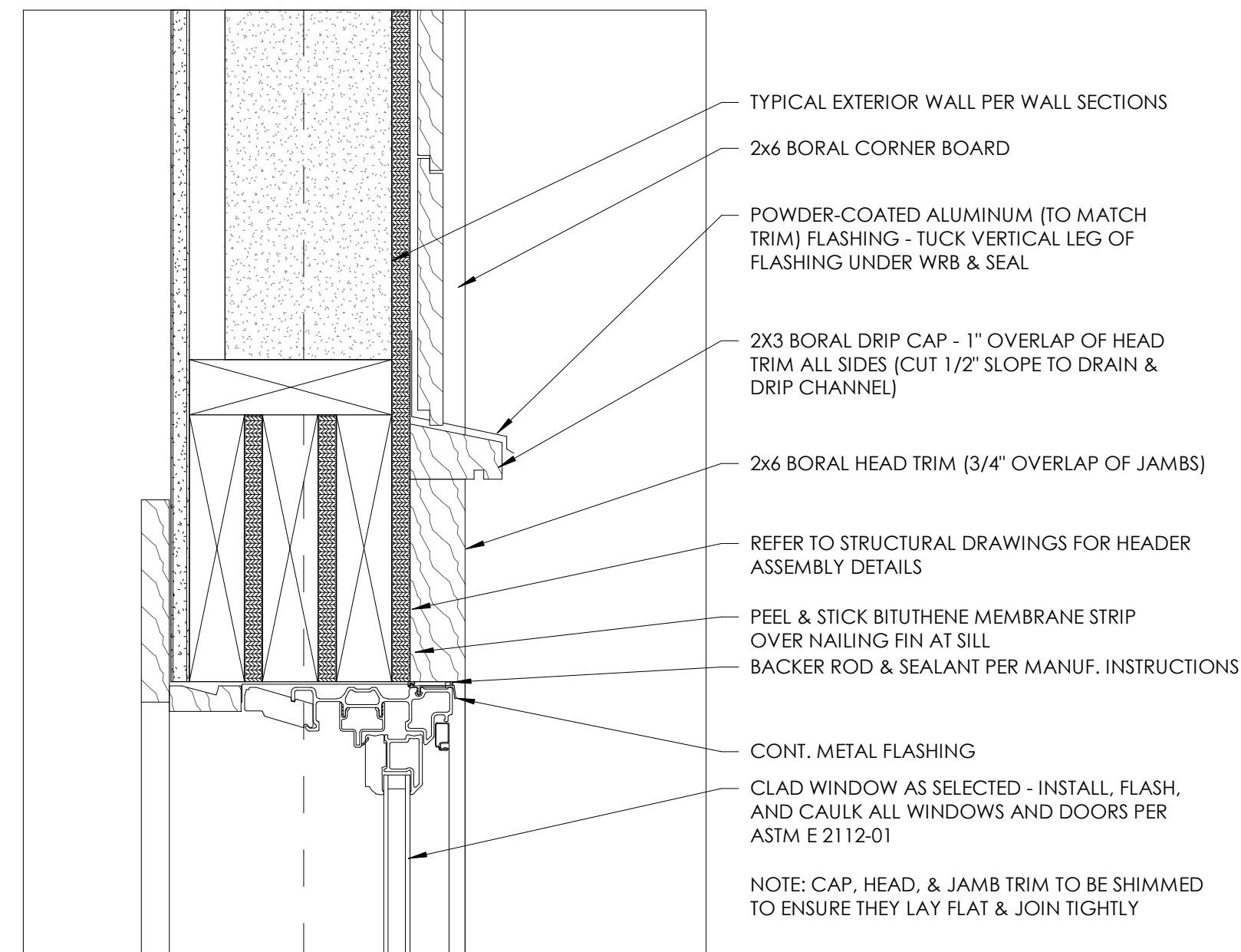
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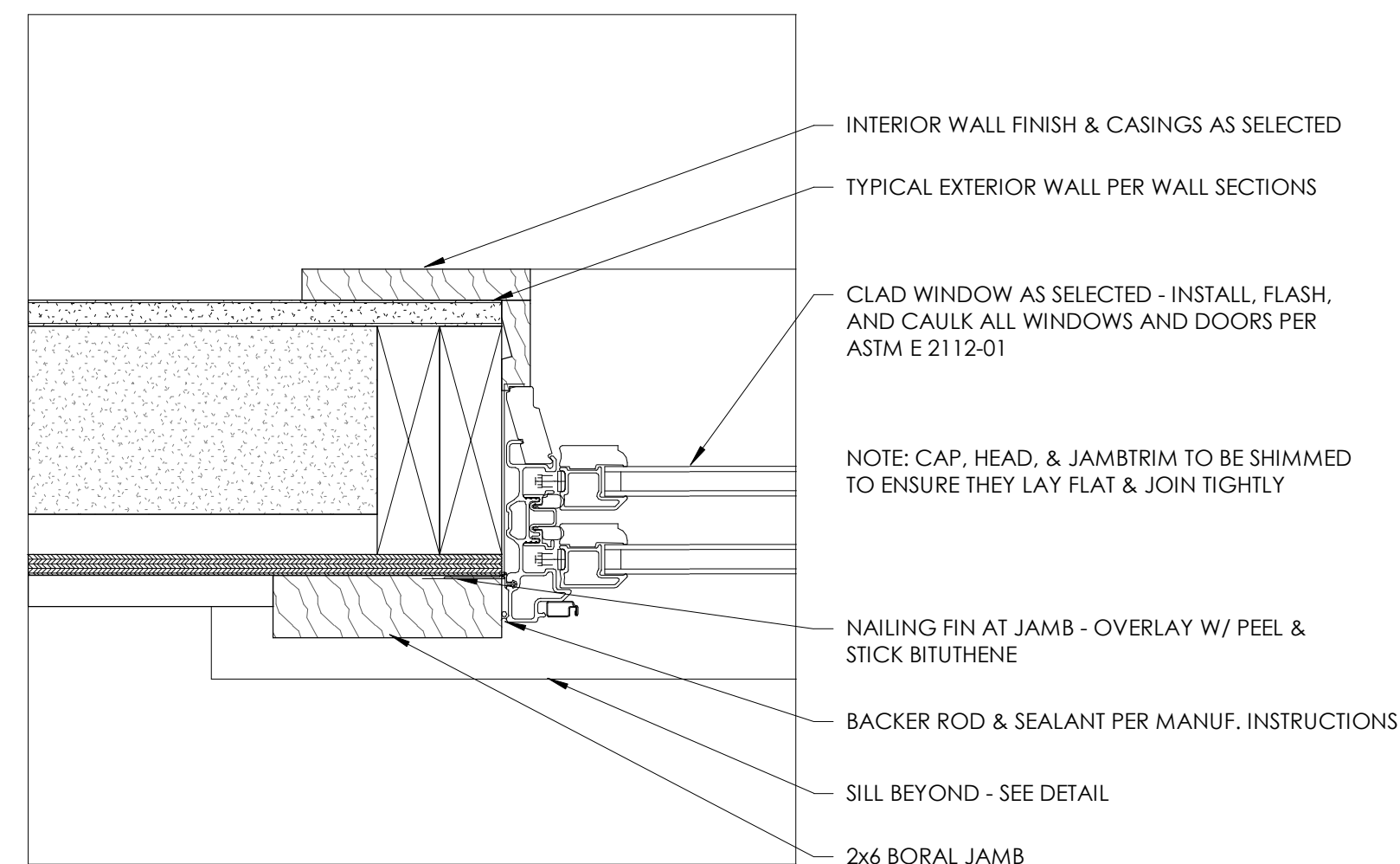
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DETAILS

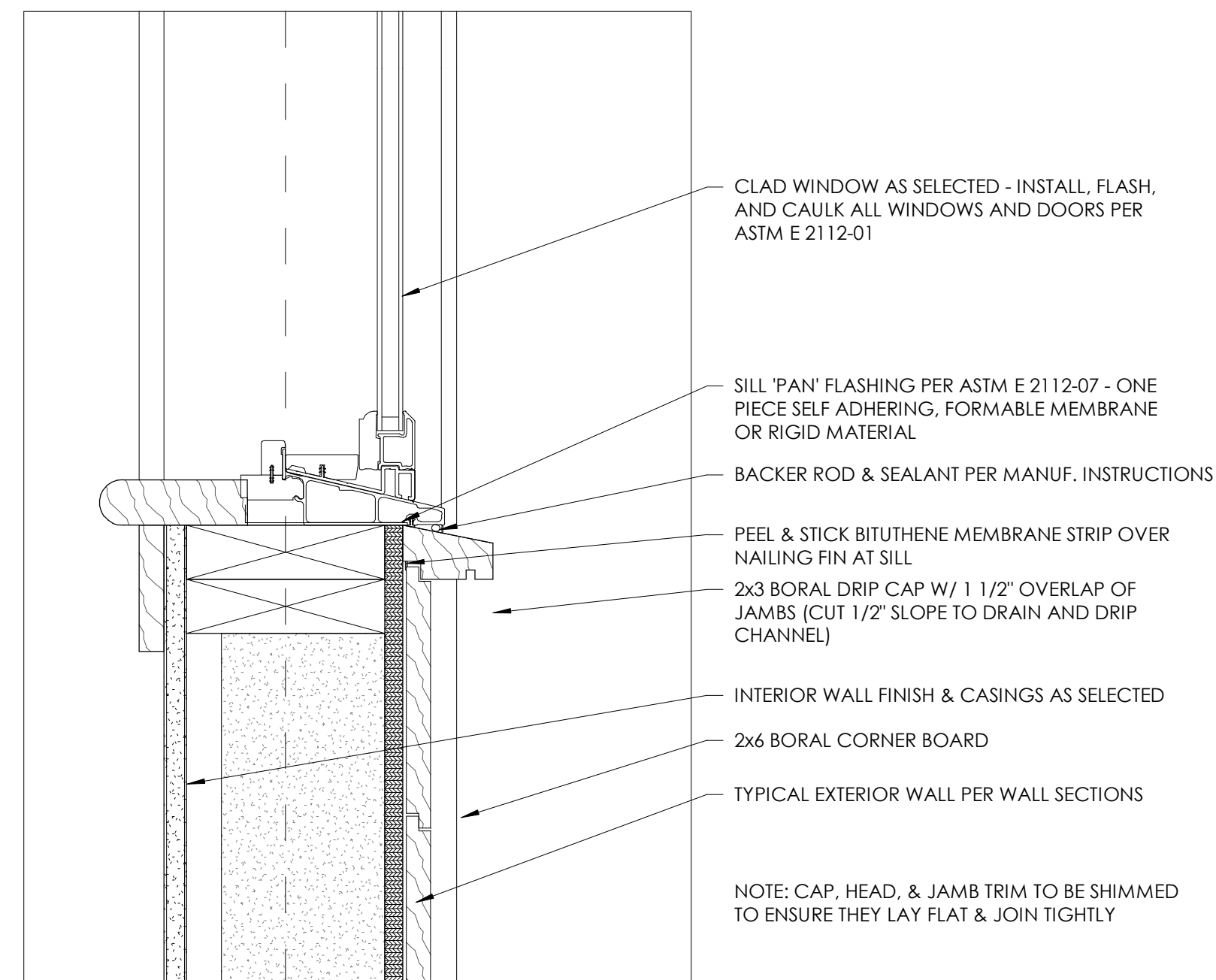
A5.1



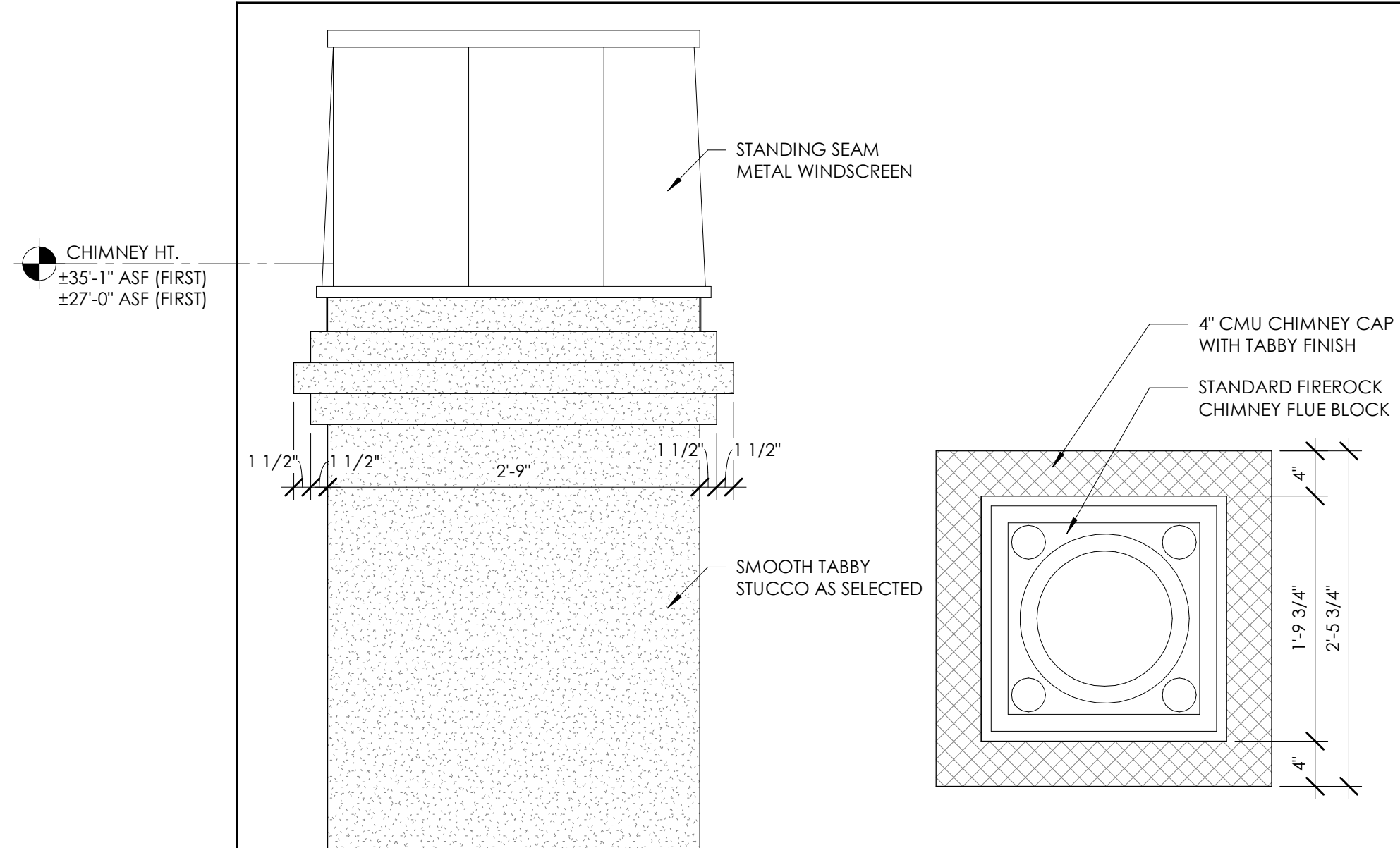
1A WINDOW HEAD DETAIL
A5.1 3" = 1'-0"



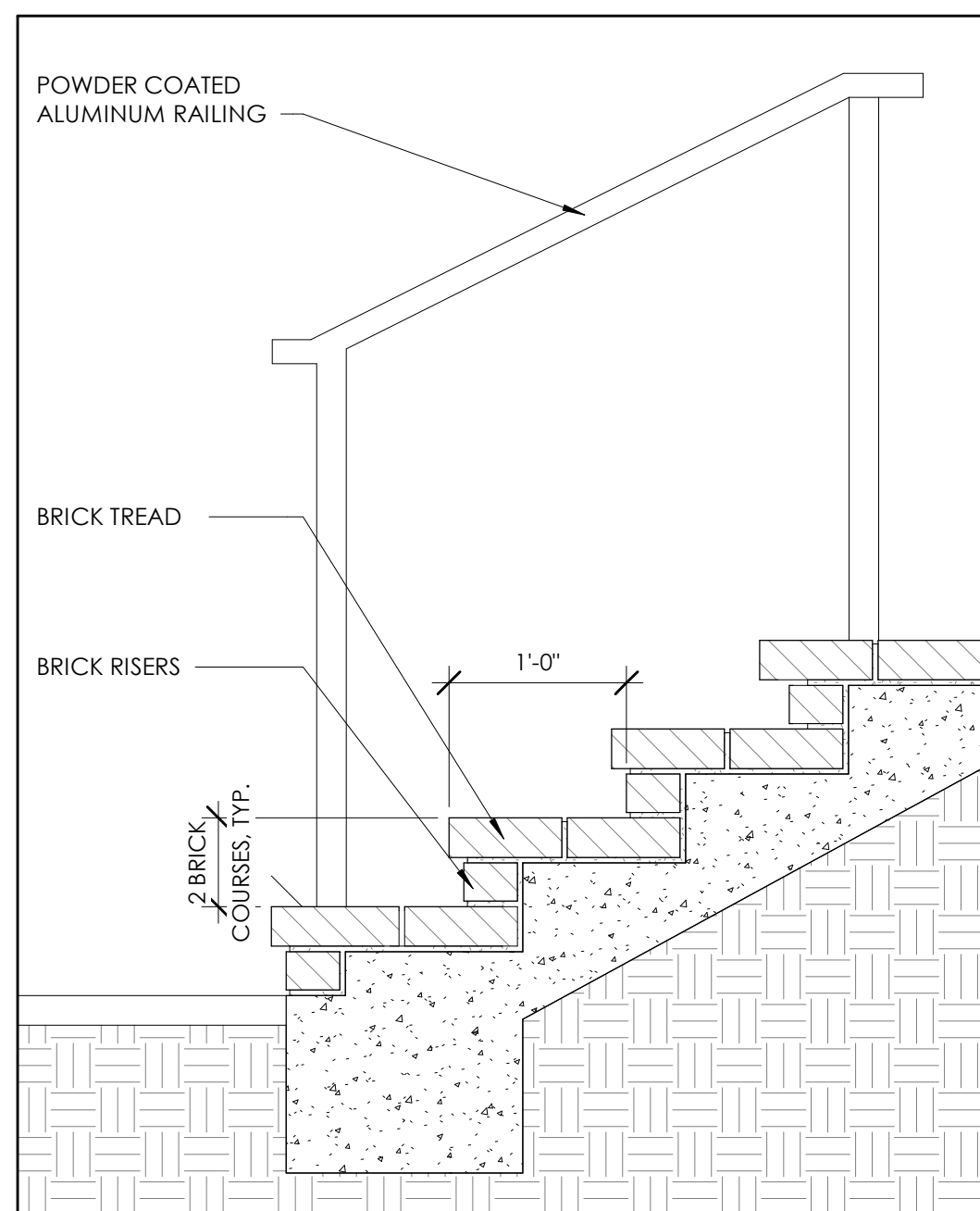
1B WINDOW JAMB DETAIL
A5.1 3" = 1'-0"



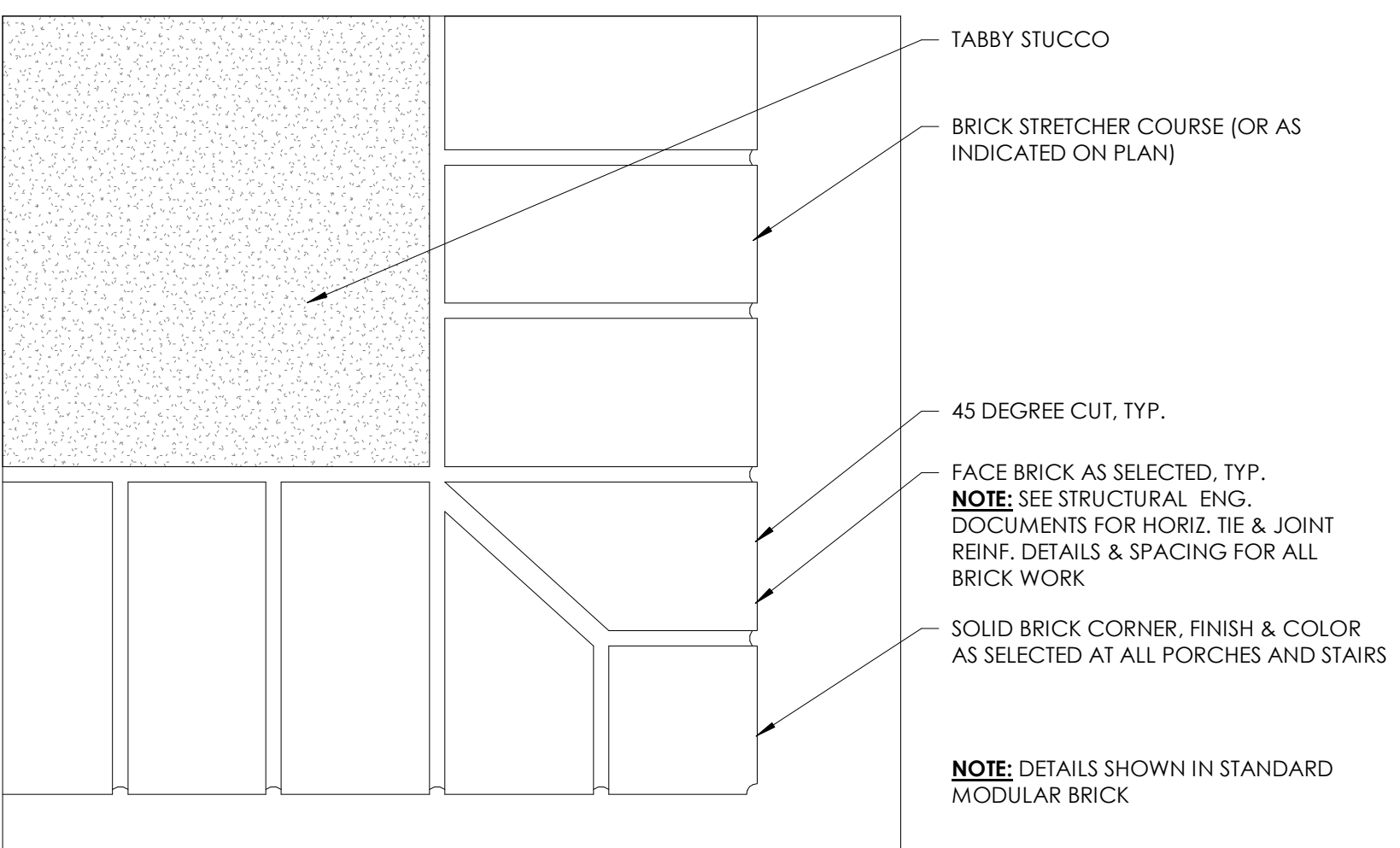
1C WINDOW SILL DETAIL
A5.1 3" = 1'-0"



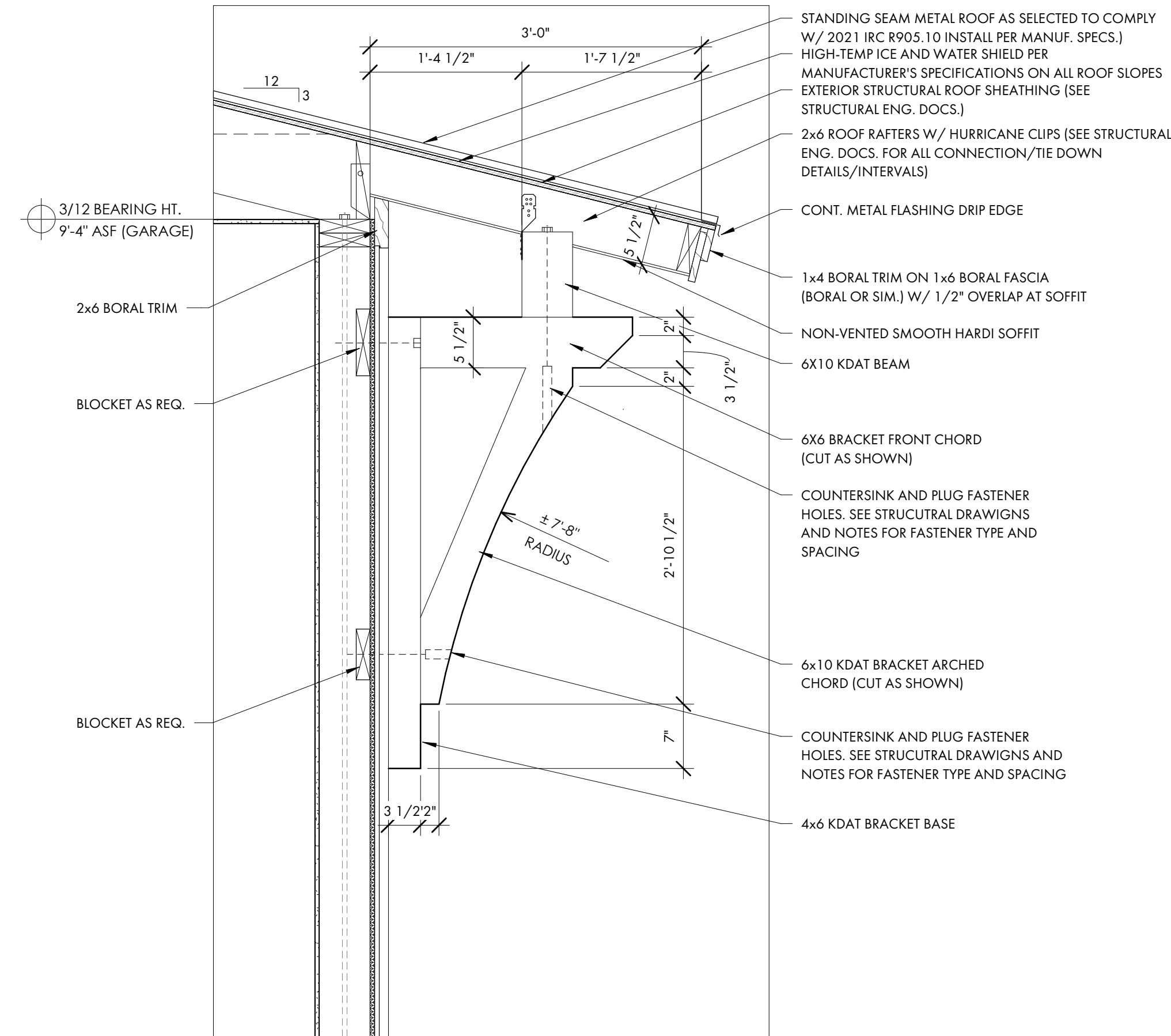
2 CHIMNEY DETAIL, TYP.
A5.1 1" = 1'-0"



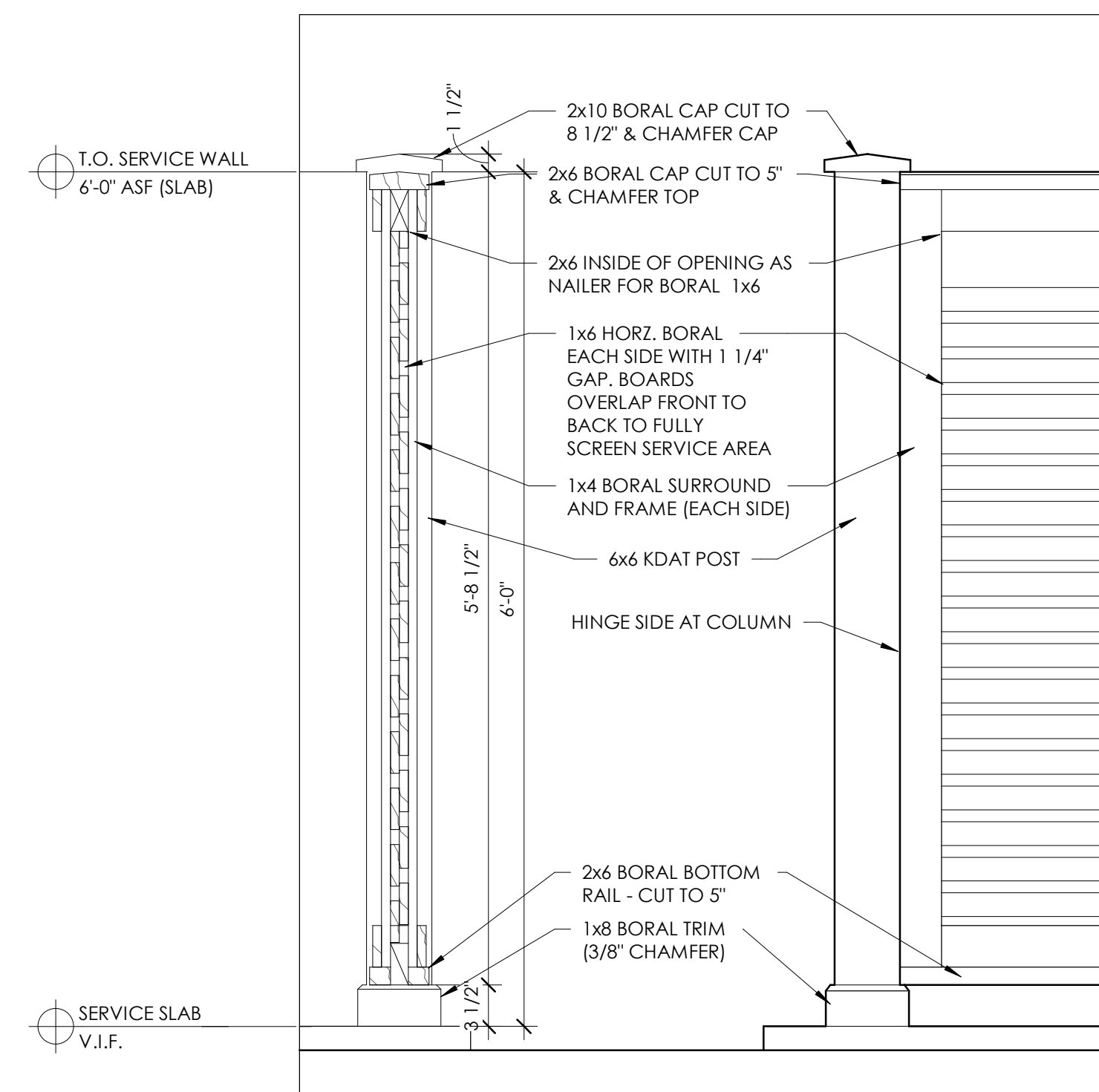
3 BRICK STAIR DETAIL, TYP.
A5.1 1" = 1'-0"



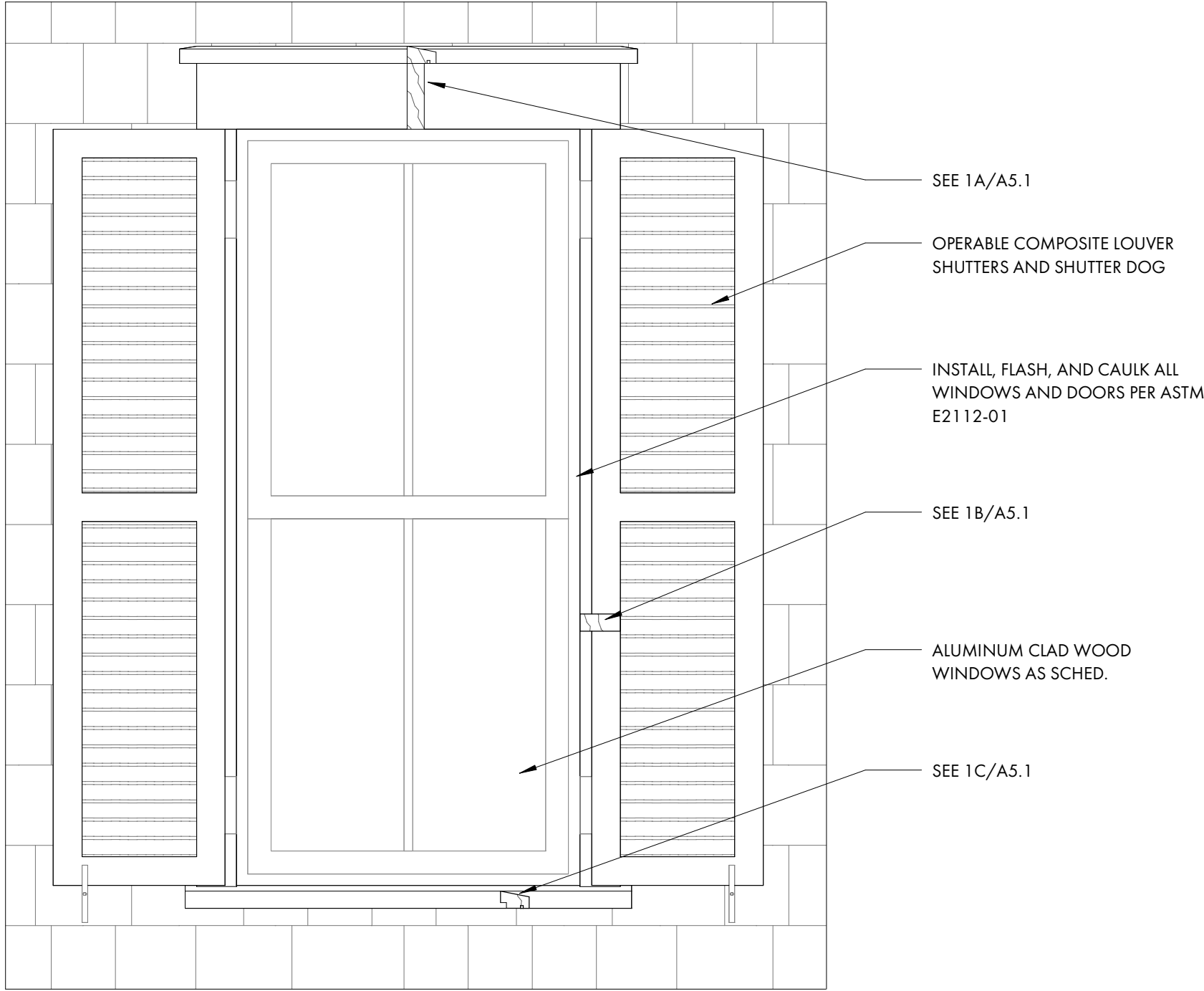
4 PORCH CORNER, TYP.
A5.1 3" = 1'-0"



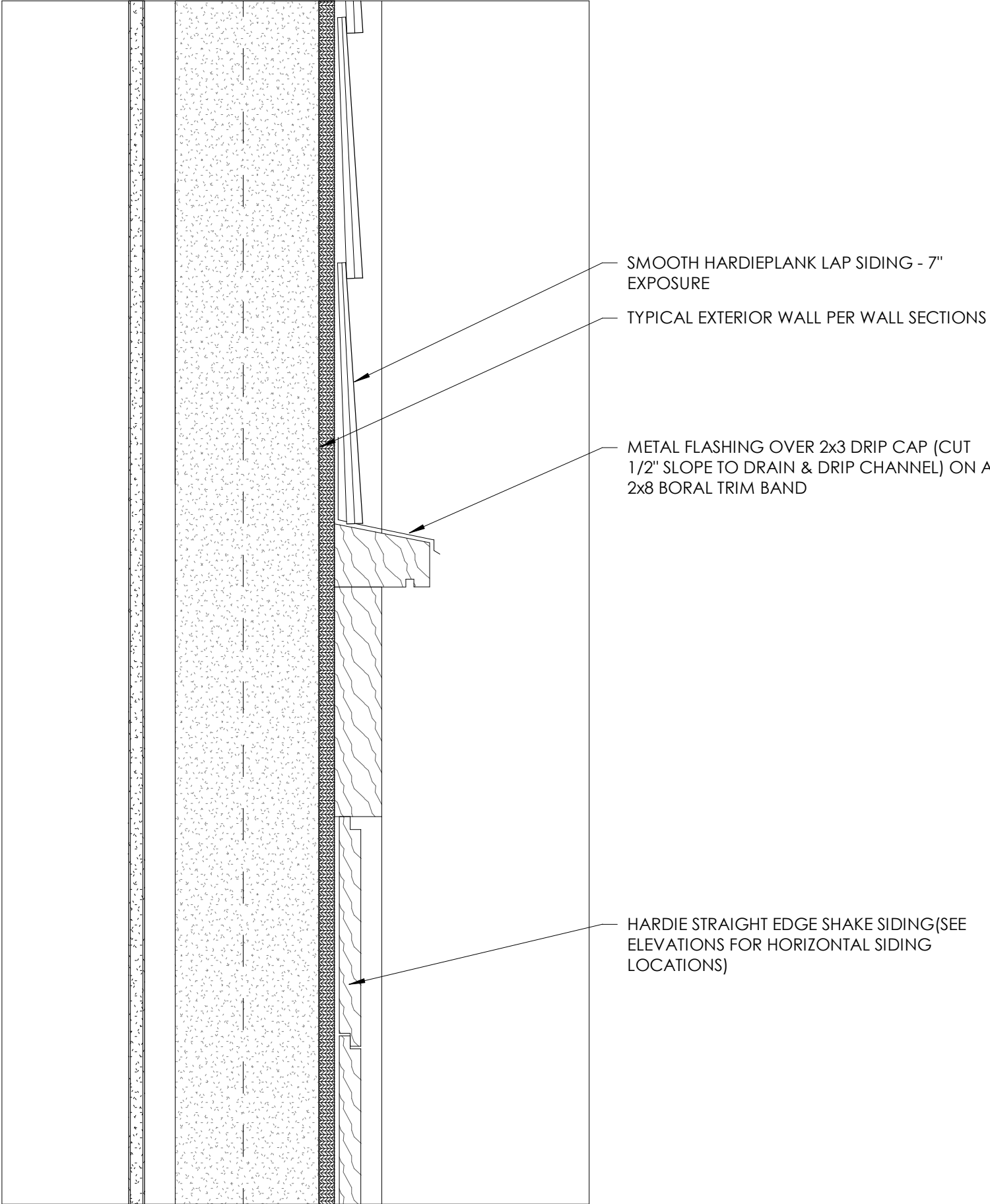
5 3/12 BRACKET DETAIL AT GARAGE
A5.1 1" = 1'-0"



6 SERVICE YARD DETAIL
A5.1 1" = 1'-0"



1 WINDOW SHUTTER DETAIL
A5.2 1" = 1'-0"



2 TRIM BAND SECTION
A5.2 3" = 1'-0"

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PROJECT INFO

Date
12/06/2023

Project No.
23-065

ISSUE

NO.	REV.	DATE	DESCRIPTION
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SHEET TITLE

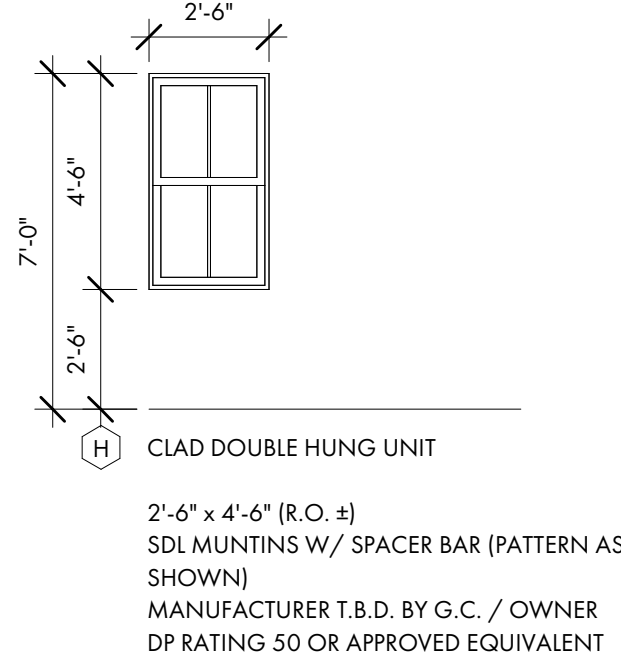
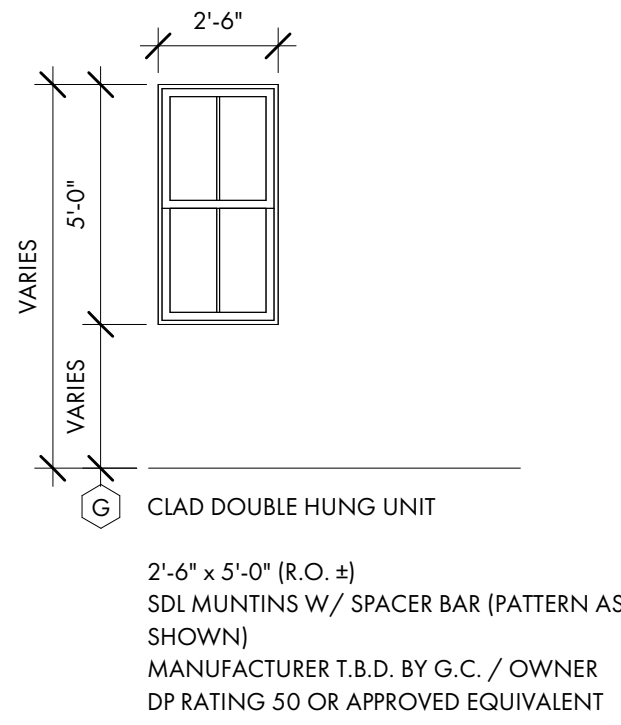
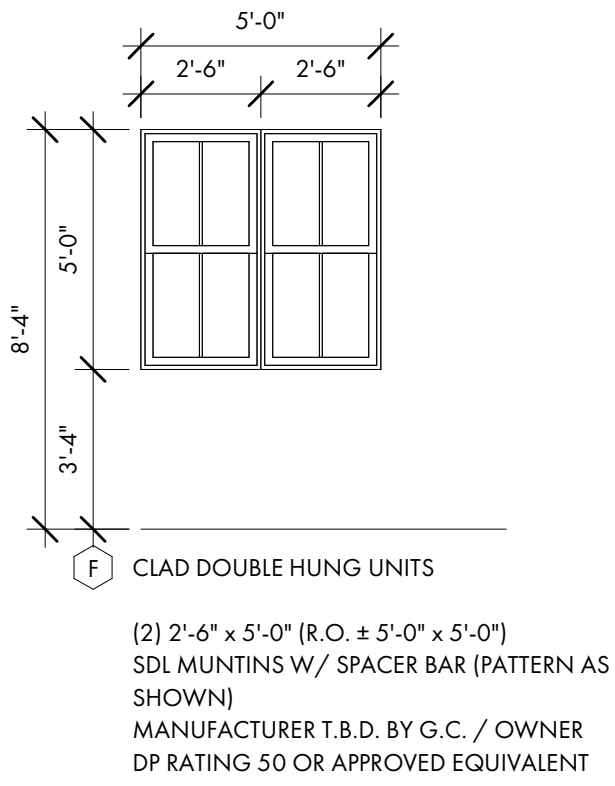
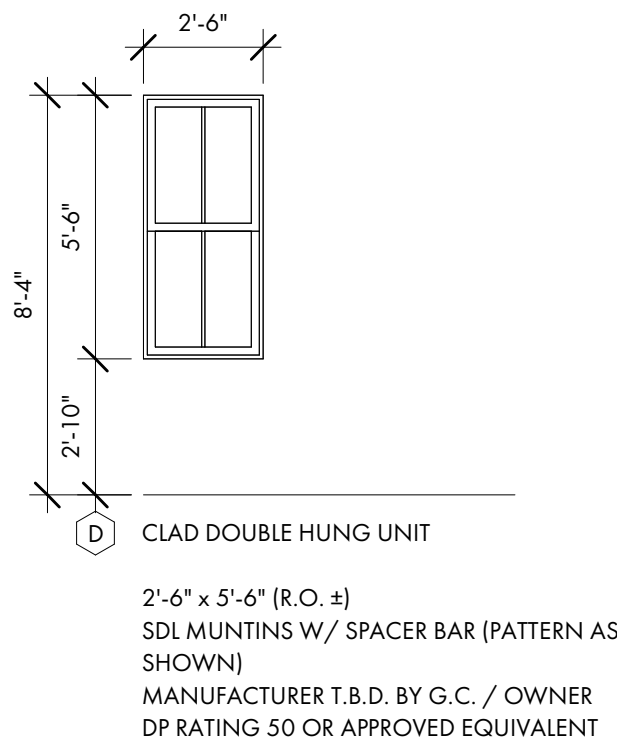
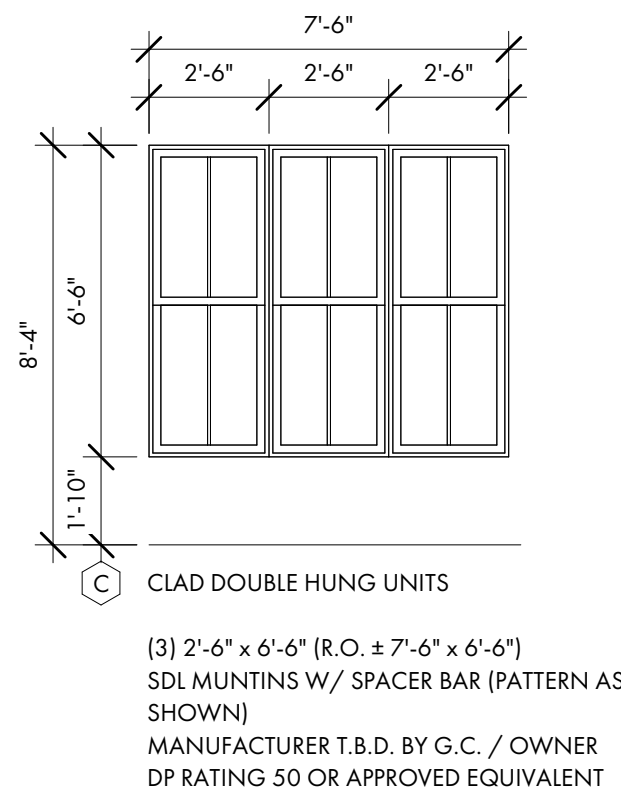
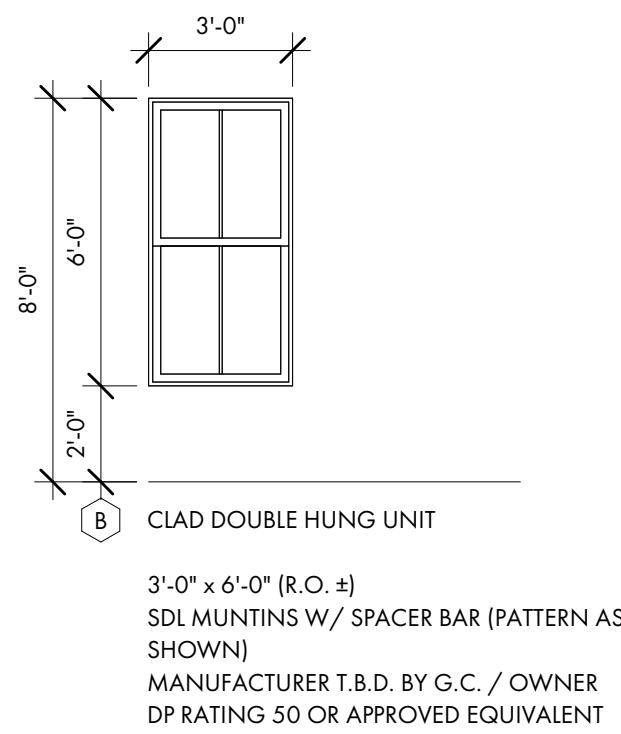
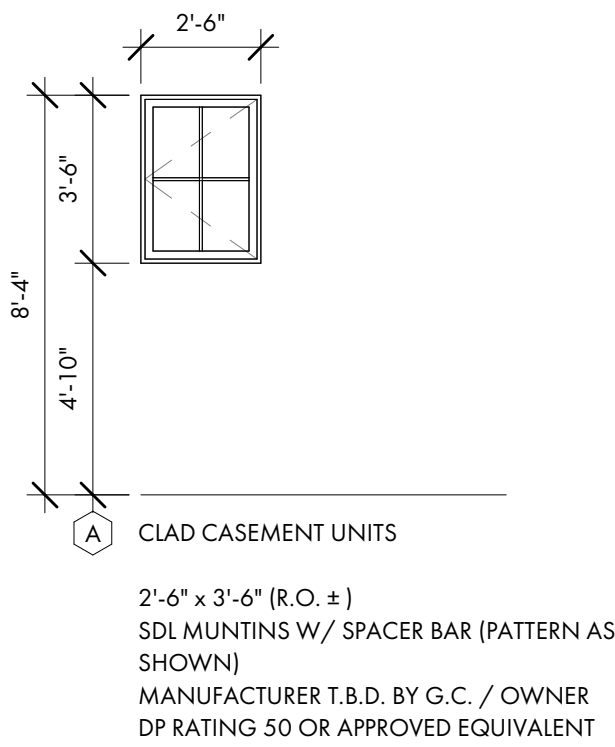
DETAILS

A5.2

CAG - WINDOW SCHEDULE							
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30							
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.							
Type Mark	Window Type	Description	Rough Width	Rough Height	Head Height	Design Pressure	Comments
A	CLAD CASEMENT UNIT	2'-6" x 3'-6"	2'-6"	3'-6"	8'-4"		SEE ELEVATION
B	CLAD DOUBLE HUNG UNIT	3'-0" x 6'-0"	3'-0"	6'-0"	8'-0"		SEE ELEVATION
D	CLAD DOUBLE HUNG UNIT	2'-6" x 5'-6"	2'-6"	5'-6"	8'-4"		SEE ELEVATION
E	CLAD DOUBLE HUNG UNITS	(2) 2'-6" x 5'-0"	5'-0"	5'-0"	8'-4"		SEE ELEVATION
F	CLAD DOUBLE HUNG UNIT	2'-6" x 5'-0"	2'-6"	5'-0"	<varies>		SEE ELEVATION - HEAD HT. VARIES
G	CLAD DOUBLE HUNG UNIT	2'-6" x 4'-6"	2'-6"	4'-6"	7'-0"		SEE ELEVATION

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

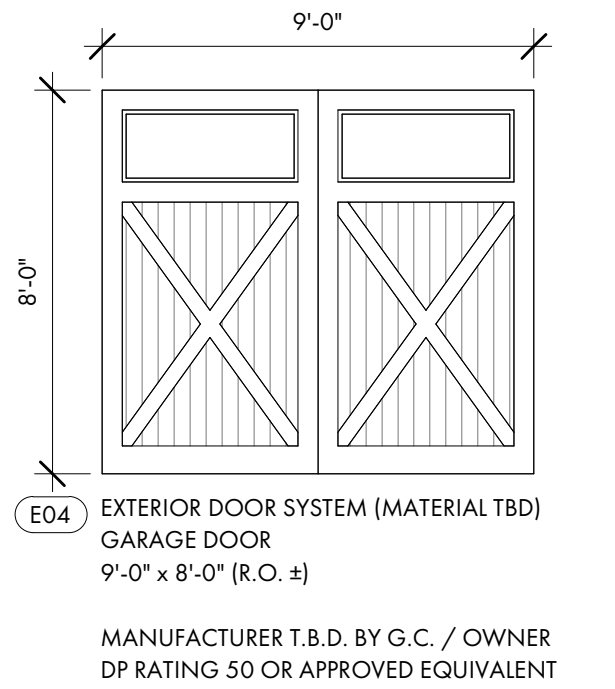
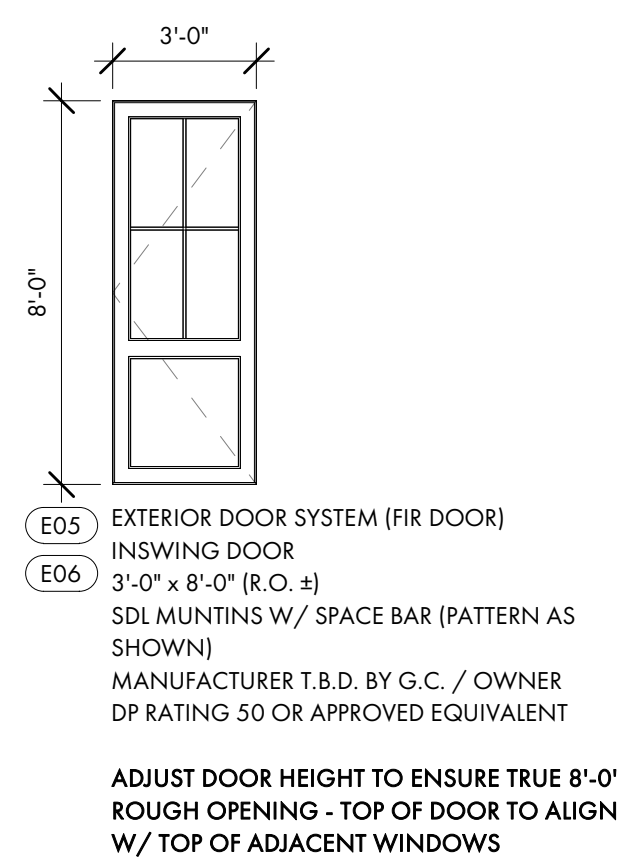
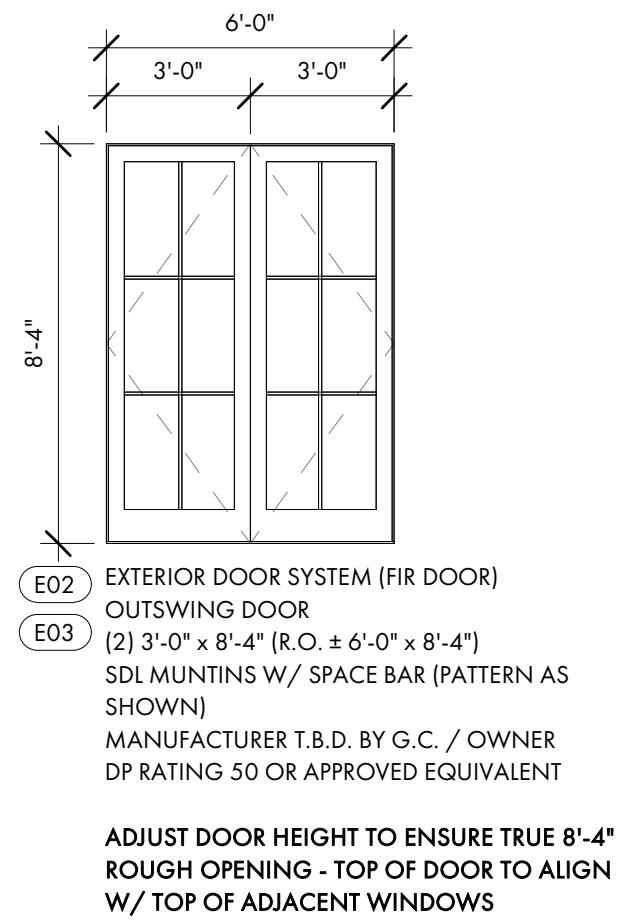
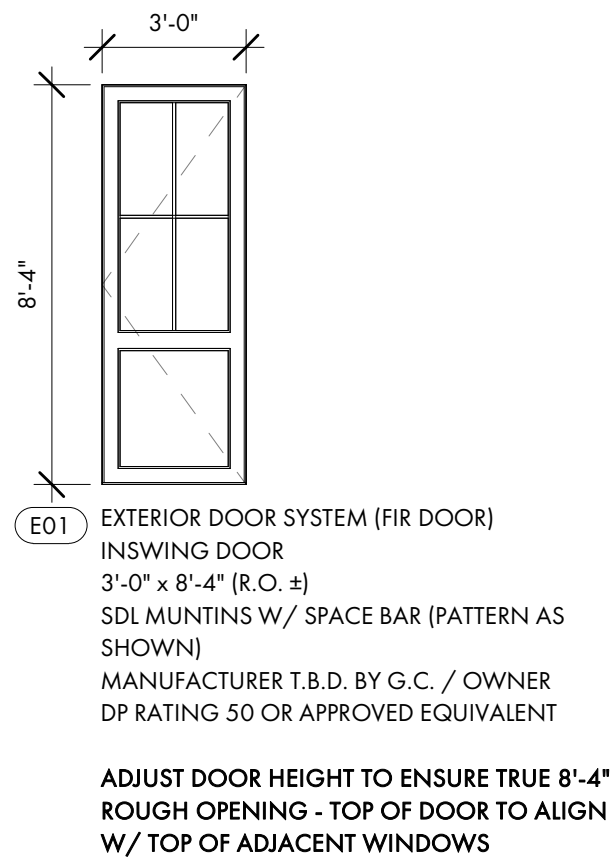


CAG - DOOR SCHEDULE - EXT.										
Mark	Door Type	Description	R.O.		Head Height	Thickness	Hardware	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height						
E01	EXTERIOR CLAD DOOR	3'-0" x 8'-4" 2	3'-0"	8'-4"	8'-4"	1 3/4"		DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO COMPLY W/ ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENT U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30		TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E02	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-4"	8'-4"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E03	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-4"	8'-4"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E04	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E05	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E06	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
08	INTERIOR DOOR	2'-6" x 8'-0"	2'-6"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
09	INTERIOR DOOR	2'-0" x 8'-0"	2'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
10	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
11	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
12	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
13	INTERIOR POCKET DOOR	2'-0" - 8'-0"	2'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
14	INTERIOR DOOR	2'-4" x 7'-0"	2'-4"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
15	INTERIOR DOOR	2'-6" x 7'-0"	2'-6"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
16	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
17	INTERIOR DOUBLE DOOR	(2) 2'-0" x 7'-0"	4'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
18	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
19	INTERIOR DOOR	2'-6" x 7'-0"	2'-6"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
20	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
21	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

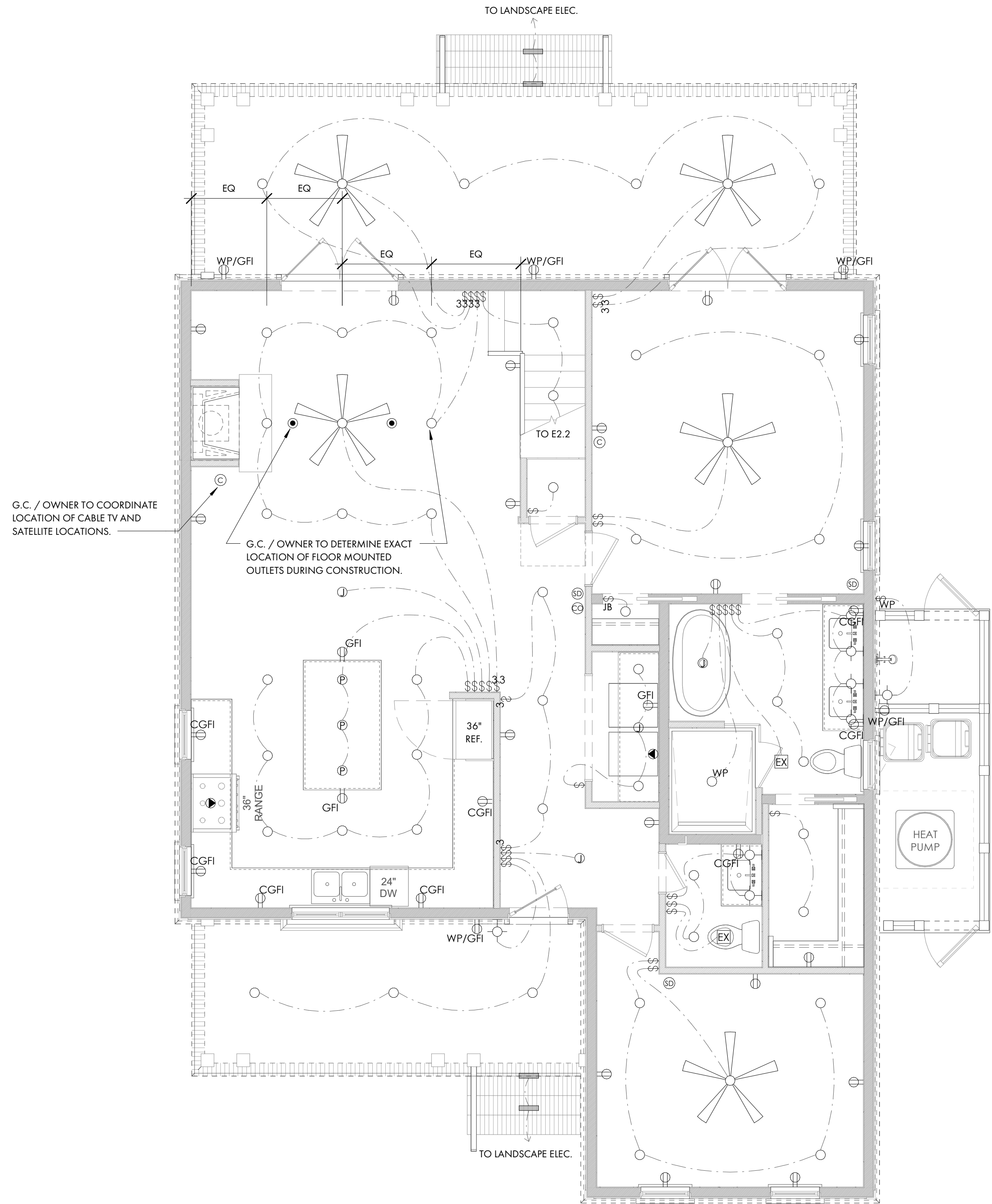
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



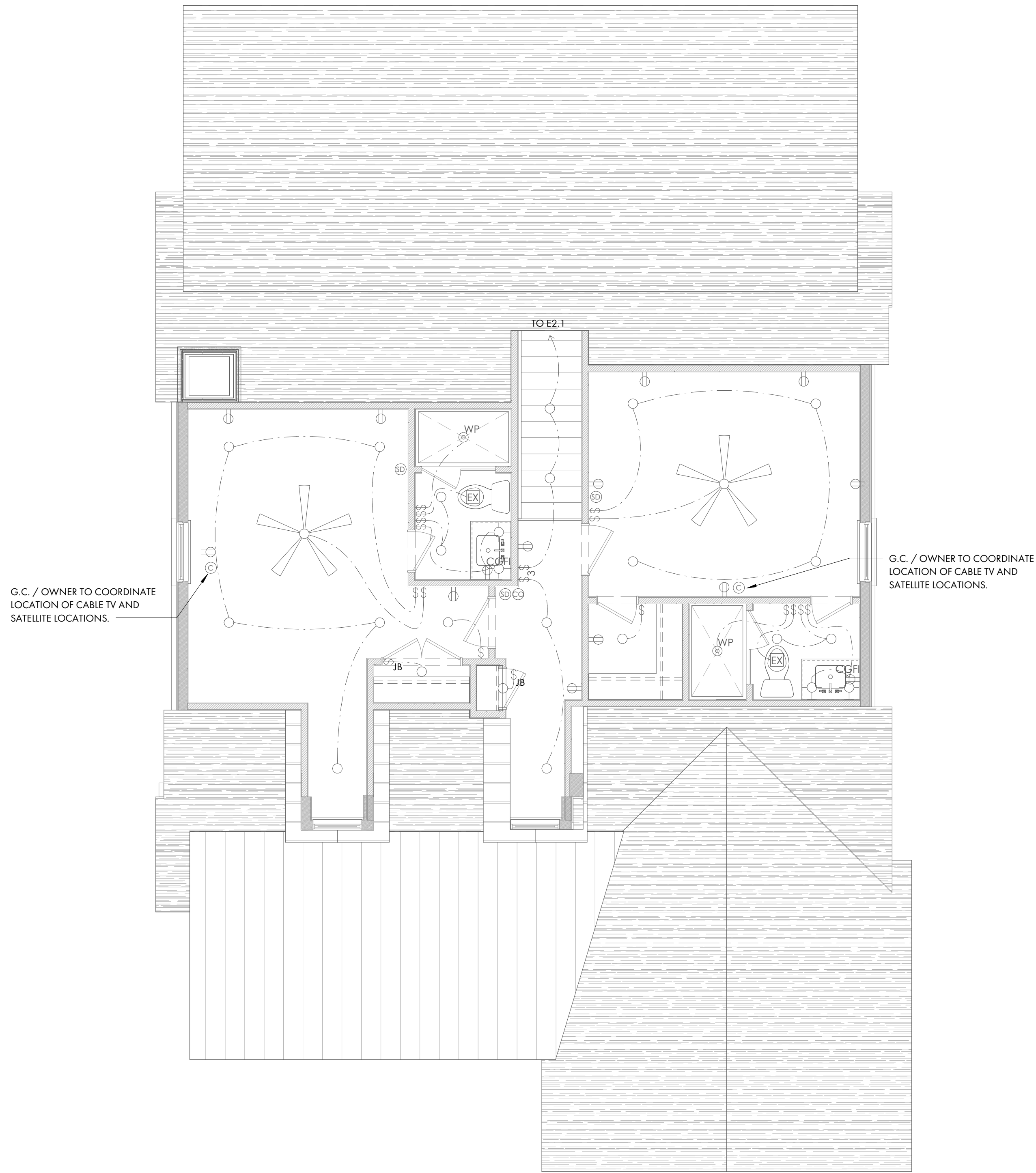
ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	SWITCH	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	3-WAY SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	4-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
	WATERPROOF SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	DIMMER SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	CABLE	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
	SMOKE DETECTOR	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	CARBON MONOXIDE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	RECESSED CAN LIGHT	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	DIRECTIONAL CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	WATERPROOF CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	JUNCTION BOX	20.	OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3.
	PENDANT LIGHT	21.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	WALL SCONCE	22.	ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607-3611.
	UNDERCABINET LIGHT	23.	AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1.
	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1
	CIRCUIT PANEL BOX		NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1



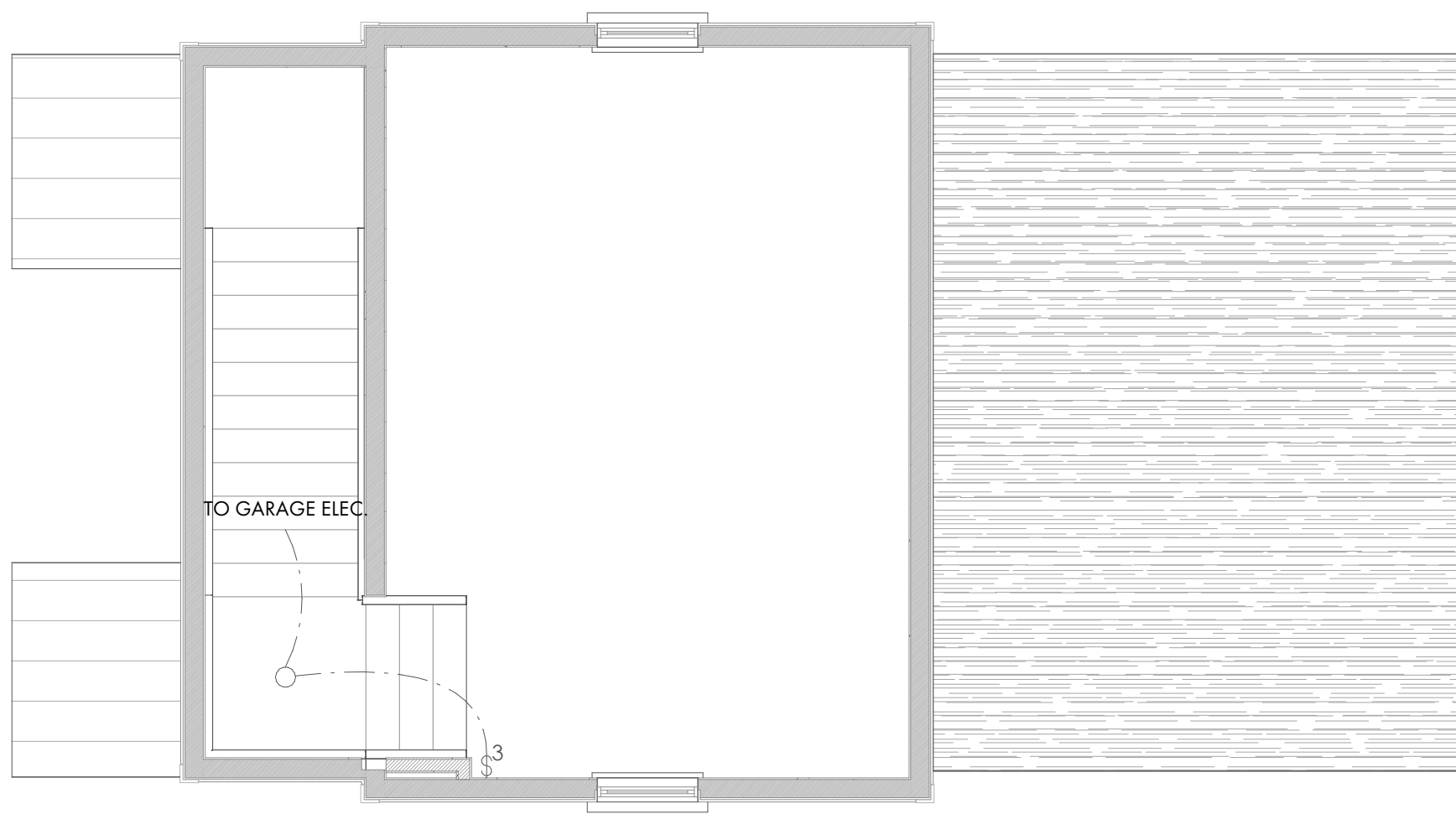
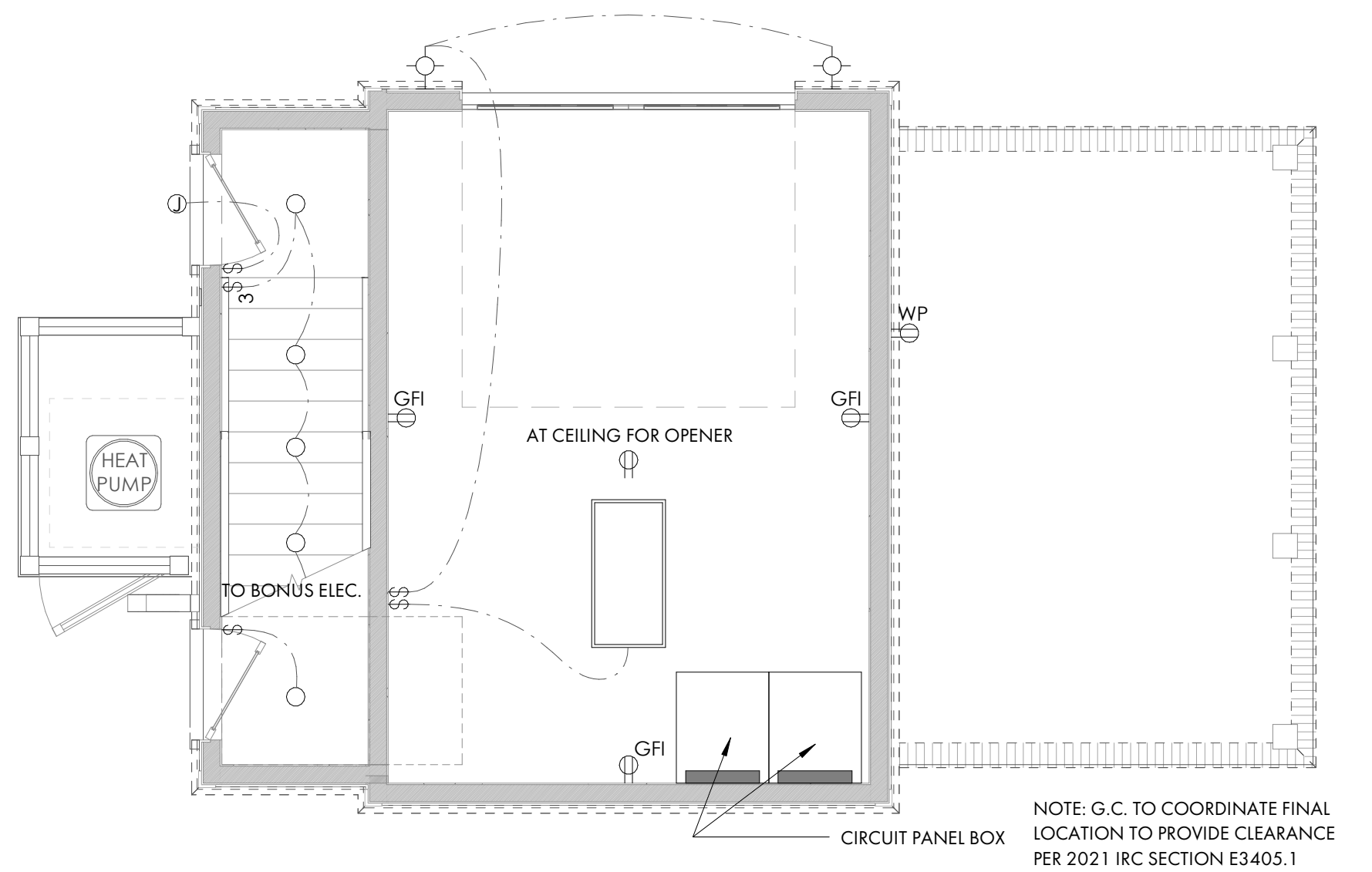
ELECTRICAL PLAN - SYMBOL KEY

- | | | | |
|--|---------------------------------|-----|--|
| | DUPLEX RECEPTACLE | 1. | COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER |
| | GFI RECEPTACLE | 2. | VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD. |
| | COUNTERTOP LEVEL GFI RECEPTACLE | 3. | ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED. |
| | GFI IN WATERPROOF BOX | 4. | GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD. |
| | UNDER-COUNTER RECEPTACLE | 5. | ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL. |
| | SWITCH DUPLEX RECEPTACLE | 6. | ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED. |
| | 220V RECEPTACLE | 7. | ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE. |
| | FLOOR RECEPTACLE | 8. | SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C. |
| | SWITCH | 9. | OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS. |
| | 3-WAY SWITCH | 10. | OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS. |
| | 4-WAY SWITCH | 11. | OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS. |
| | WATERPROOF SWITCH | 12. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENEAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM. |
| | DIMMER SWITCH | 13. | OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND 'DIAL-IN' TECHNOLOGY. |
| | CABLE | 14. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE. |
| | SMOKE DETECTOR | 15. | OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING. |
| | CARBON MONOXIDE DETECTOR | 16. | OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS. |
| | RECESSED CAN LIGHT | 17. | KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES. |
| | DIRECTIONAL CAN LIGHT | 18. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX. |
| | WATERPROOF CAN LIGHT | 19. | ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16. |
| | JUNCTION BOX | 20. | OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3. |
| | PENDANT LIGHT | 21. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314. |
| | WALL SCONCE | 22. | ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607-3611. |
| | UNDERCABINET LIGHT | 23. | AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1. |
| | PIN LIGHT | | |
| | STEP LIGHT | | |
| | EXHAUST FAN | | |
| | DOOR BELL | | |
| | DOOR BELL CHIME | | |
| | 2' X 2' FLUORESCENT | | |
| | 2' X 4' FLUORESCENT | | |
| | CEILING FAN | | |
| | ELECTRIC METER | | NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1 |
| | CIRCUIT PANEL BOX | | NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1 |



ELECTRICAL PLAN - SYMBOL KEY

- | | | | |
|--|---------------------------------|-----|--|
| | DUPLEX RECEPTACLE | 1. | COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER LOCATIONS IN FIELD. |
| | GFI RECEPTACLE | 2. | VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD. |
| | COUNTERTOP LEVEL GFI RECEPTACLE | 3. | ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED. |
| | GFI IN WATERPROOF BOX | 4. | GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD. |
| | UNDER-COUNTER RECEPTACLE | 5. | ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL. |
| | SWITCH DUPLEX RECEPTACLE | 6. | ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED. |
| | 220V RECEPTACLE | 7. | ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE. |
| | FLOOR RECEPTACLE | 8. | SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C. |
| | SWITCH | 9. | OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS. |
| | 3-WAY SWITCH | 10. | OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS. |
| | 4-WAY SWITCH | 11. | OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS. |
| | WATERPROOF SWITCH | 12. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM. |
| | DIMMER SWITCH | 13. | OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY. |
| | CABLE | 14. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE. |
| | SMOKE DETECTOR | 15. | OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING. |
| | CARBON MONOXIDE DETECTOR | 16. | OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS. |
| | RECESSED CAN LIGHT | 17. | KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES. |
| | DIRECTIONAL CAN LIGHT | 18. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX. |
| | WATERPROOF CAN LIGHT | 19. | ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16. |
| | JUNCTION BOX | 20. | OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3. |
| | PENDANT LIGHT | 21. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314. |
| | WALL SCONCE | 22. | ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607-3611. |
| | UNDERCABINET LIGHT | 23. | AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1. |
| | PIN LIGHT | | |
| | STEP LIGHT | | |
| | EXHAUST FAN | | |
| | DOOR BELL | | |
| | DOOR BELL CHIME | | |
| | 2' X 2' FLUORESCENT | | |
| | 2' X 4' FLUORESCENT | | |
| | CEILING FAN | | |
| | ELECTRIC METER | | |
| | CIRCUIT PANEL BOX | | |

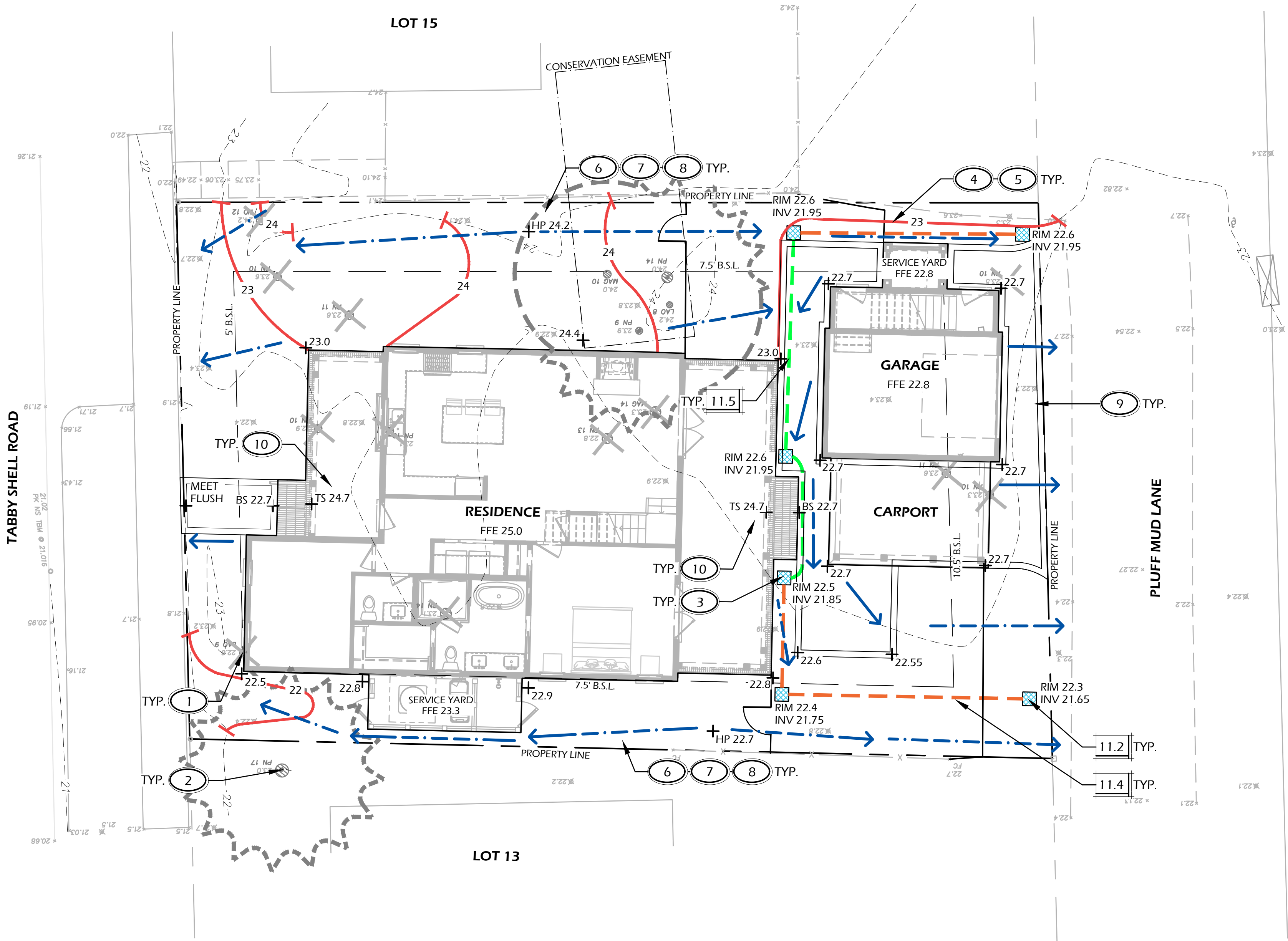


1 GARAGE ELECTRICAL PLAN

1/4" = 1'-0"

2 BONUS ELECTRICAL PLAN

1/4" = 1'-0"



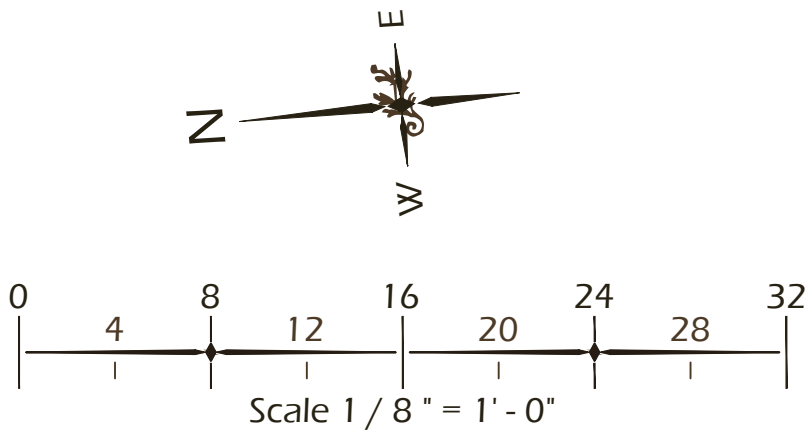
DRAINAGE LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
11.1		6' AREA DRAIN	1/L4
11.2		12' AREA DRAIN TYPE 1	2/L4
11.3		12' AREA DRAIN TYPE 2 (ATRIUM GRATE)	3/L4
11.4		6' FRENCH DRAIN	4/L4
11.5		TRENCH DRAIN	3/L5

NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS. IF NOT LOCATED ON PLAN AND SUB SURFACE DRAINAGE IS NEEDED, CONTRACTOR SHALL SUPPLY AREA DRAINS, FRENCH DRAINS AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE (REFER TO DRAINAGE DETAILS, SHEET L4, L5)

GRADING LEGEND	
SYMB.	DESCRIPTION
+	SPOT GRADE
	DRAINAGE ARROW
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING GRADE

GRADING ABBREVIATIONS			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
BC	BOTTOM OF COLUMN	HP	HIGH POINT
BOC	BOTTOM OF CURB	RIM	TOP OF DRAIN
BS	BOTTOM OF STEP	TC	TOP OF COLUMN
BW	BOTTOM OF WALL	TOC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FG	FINISHED GRADE	TW	TOP OF WALL
LP	LOW POINT	INV	INVERT ELEVATION

- GRADING REFERENCE NOTES:**
- MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
 - FIELD LOCATE DRAIN LINE TO AVOID EXISTING TREE ROOTS.
 - CONTRACTOR SHALL TIE GUTTER DOWNSPOUTS INTO SUBSURFACE DRAINAGE SYSTEM WHENEVER POSSIBLE.
 - TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
 - FEATHER BOTTOM OF SLOPE SMOOTHLY TO MEET EXISTING CONDITIONS.
 - CREATE SWALE AND BERM TO DIRECT WATER AWAY FROM HOUSE AND ADJACENT PROPERTIES. BERM TO BE INSTALLED ON INTERIOR OF PROPERTY LINE AND FENCES. SWALE TO BE INSTALLED WITH FENCE RUNNING LEVEL ABOVE ALLOWING WATER TO FLOW BELOW THE FENCE AND OR GATE.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTY LINES.
 - DIRECT STORMWATER TOWARDS STREET OR ALLEY, DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. **CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO SITE DETAILS.**
 - GENERAL CONTRACTOR SHALL PROVIDE STRUCTURAL SUBGRADE FOR DRIVEWAY. CONTRACTOR SHALL ADJUST GRADES TO PROVIDE POSITIVE DRAINAGE TO ROADWAY AND NATURAL AREAS.
 - RAIN DIVERTER TO BE INSTALLED ABOVE STAIR LOCATIONS



Section IX, Item #4.

Witmer Jones-Keefe

landscape architecture
land planning

www.wjkltd.com

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DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
SEWELL RESIDENCE
TABBY SHELL ROAD / LOT 14 (#26)
TABBY ROADS / BLUFFTON, SOUTH CAROLINA

DATE:	DEC. 01, 2023
PROJECT NO.:	23160.01
DRAWN BY:	MC/ER
CHECKED BY:	BW

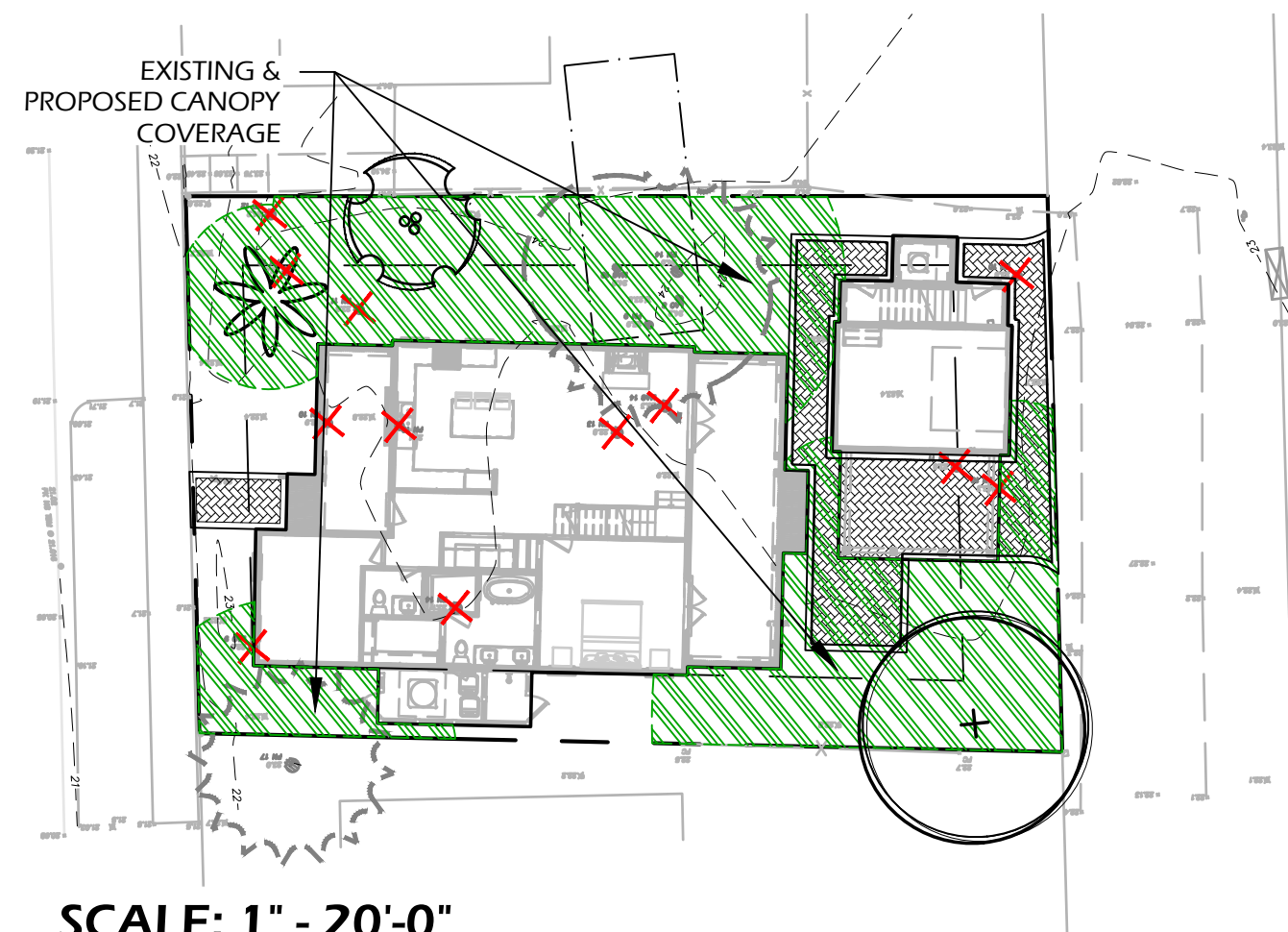
**FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

REVISIONS:

DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L1

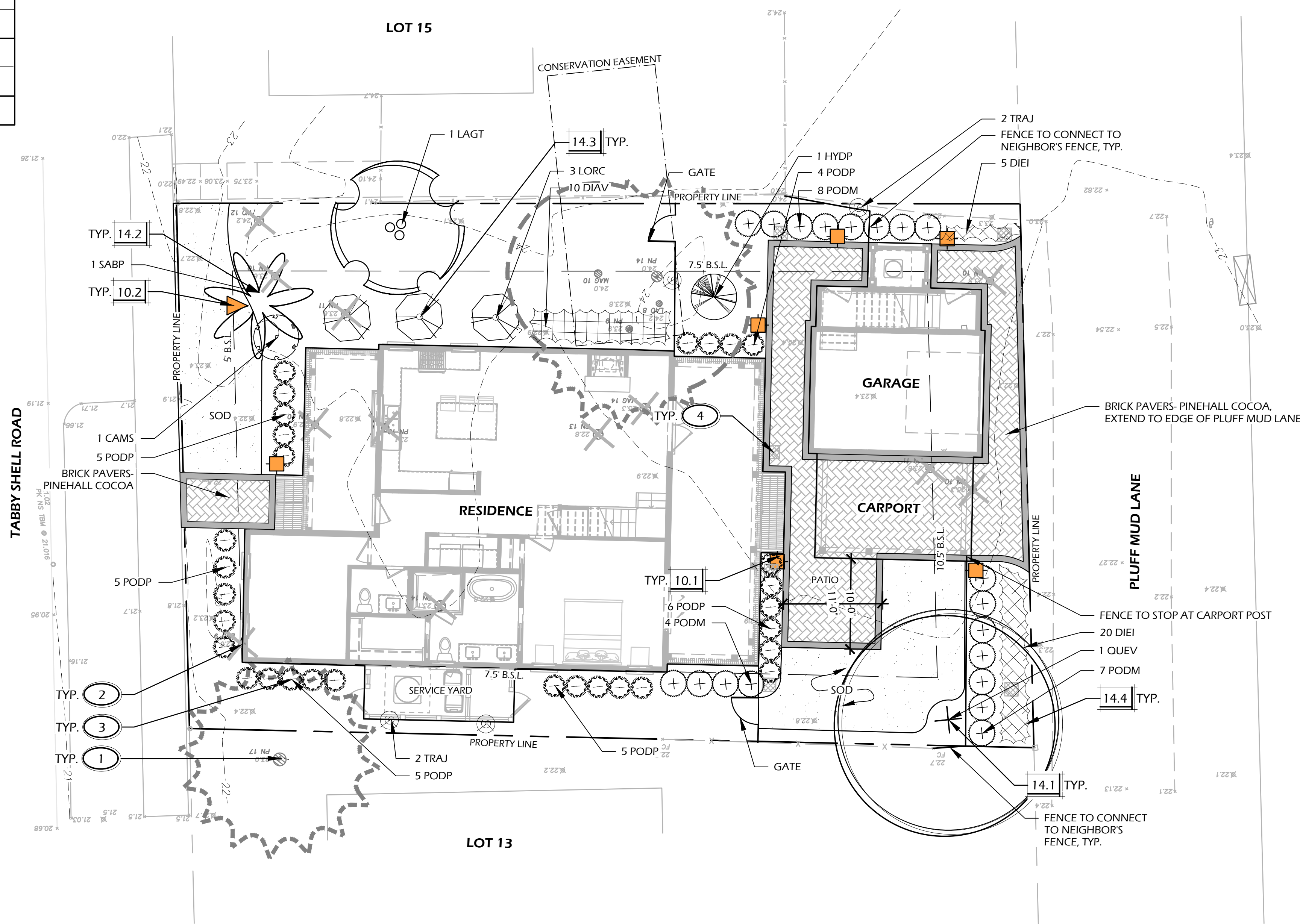
CANOPY COVERAGE PLAN:





SCALE: 1" - 20'-0"

CANOPY COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	5,541 S.F.
BUILDING FOOTPRINT	±2,617 S.F.
REMAINING SITE AREA	2,924 S.F.
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	2,252 S.F.
% CANOPY COVERAGE (75% MIN.)	77%

ATTACHMENT 4



LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		6	PATH LIGHT	8/L4
10.2		1	DOWN LIGHT	9/L4

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

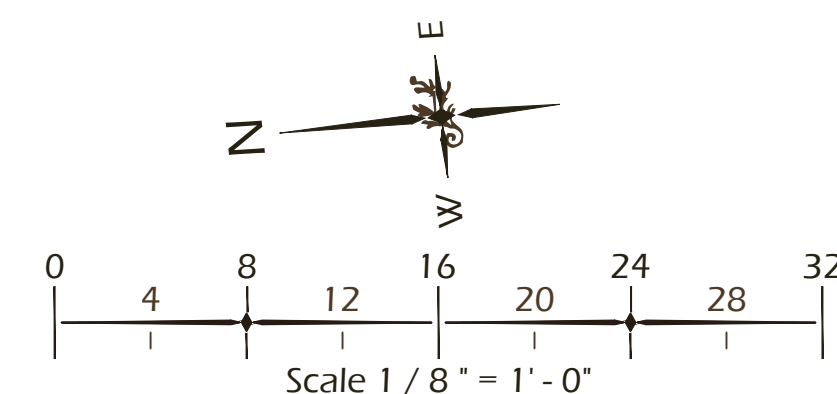
Planting Details		
Call-Out	Description	Detail
14.1	TREE PLANTING	1/L3
14.2	PALM TREE PLANTING	2/L3
14.3	SHRUB PLANTING	3/L3
14.4	GROUND COVER PLANTING	4/L3

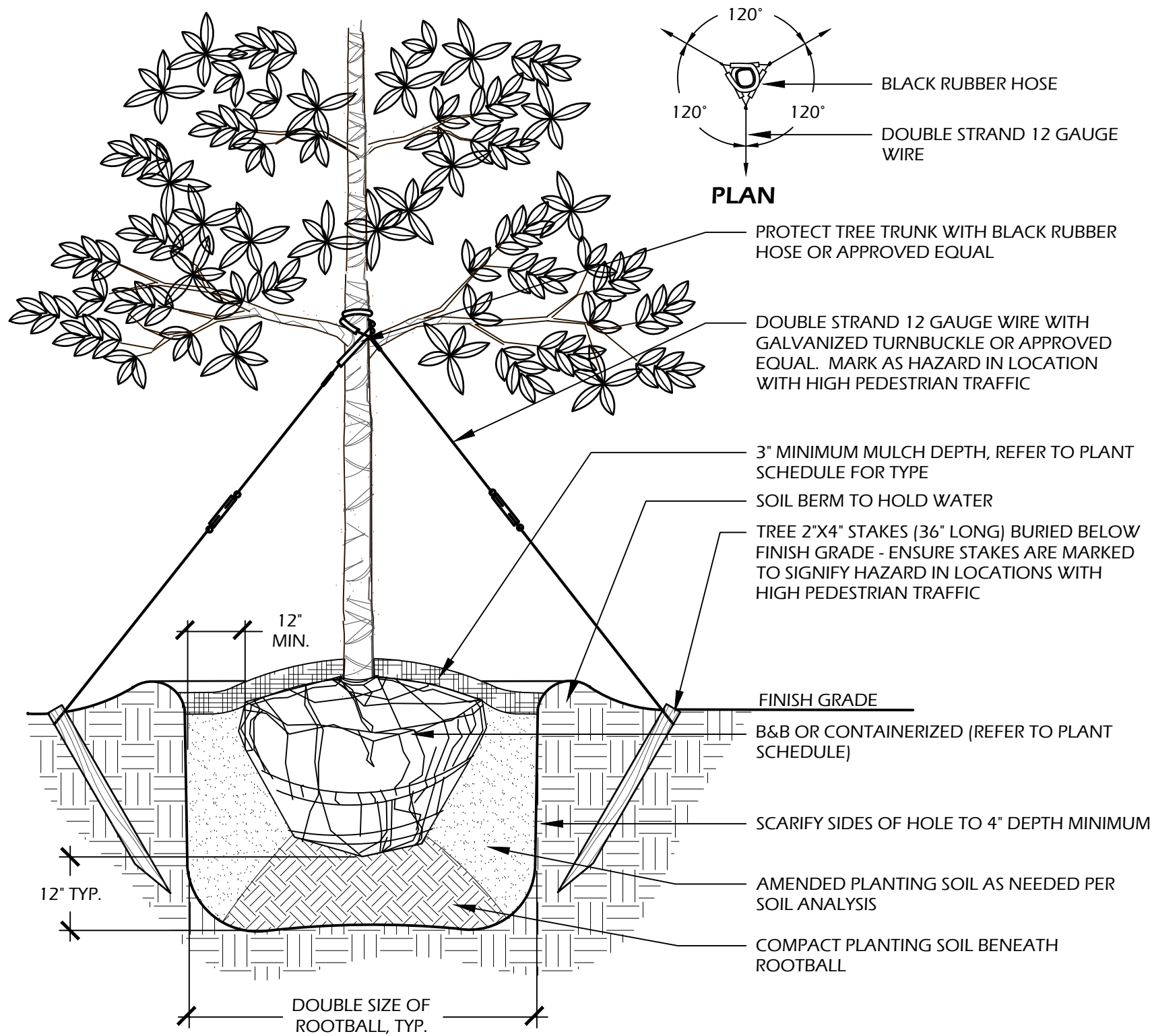
PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginilana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
LAGT	Lagerstroemia indica x fauriei "Tuscarora"	Tuscarora Crape Myrtle
SHRUBS		
CAMS	Camellia sasanqua	Sasanqua Camellia
HYDP	Hydrangea paniculata "Limelight"	Limelight Hydrangea
LORC	Loropetalum chinense "Chang Nian Hong"	Ever Red Fringe Flower
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus "Pringles Dwarf"	Dwarf Podocarpus
GROUND COVERS, VINES & PERENNIALS		
DIAY	Dianella tasmanica "Variegata"	Variegated Flax Lily
DIEI	Diets idioides	White African Iris
TRAJ	Trachelospermum jasminoides	Confederate Jasmine

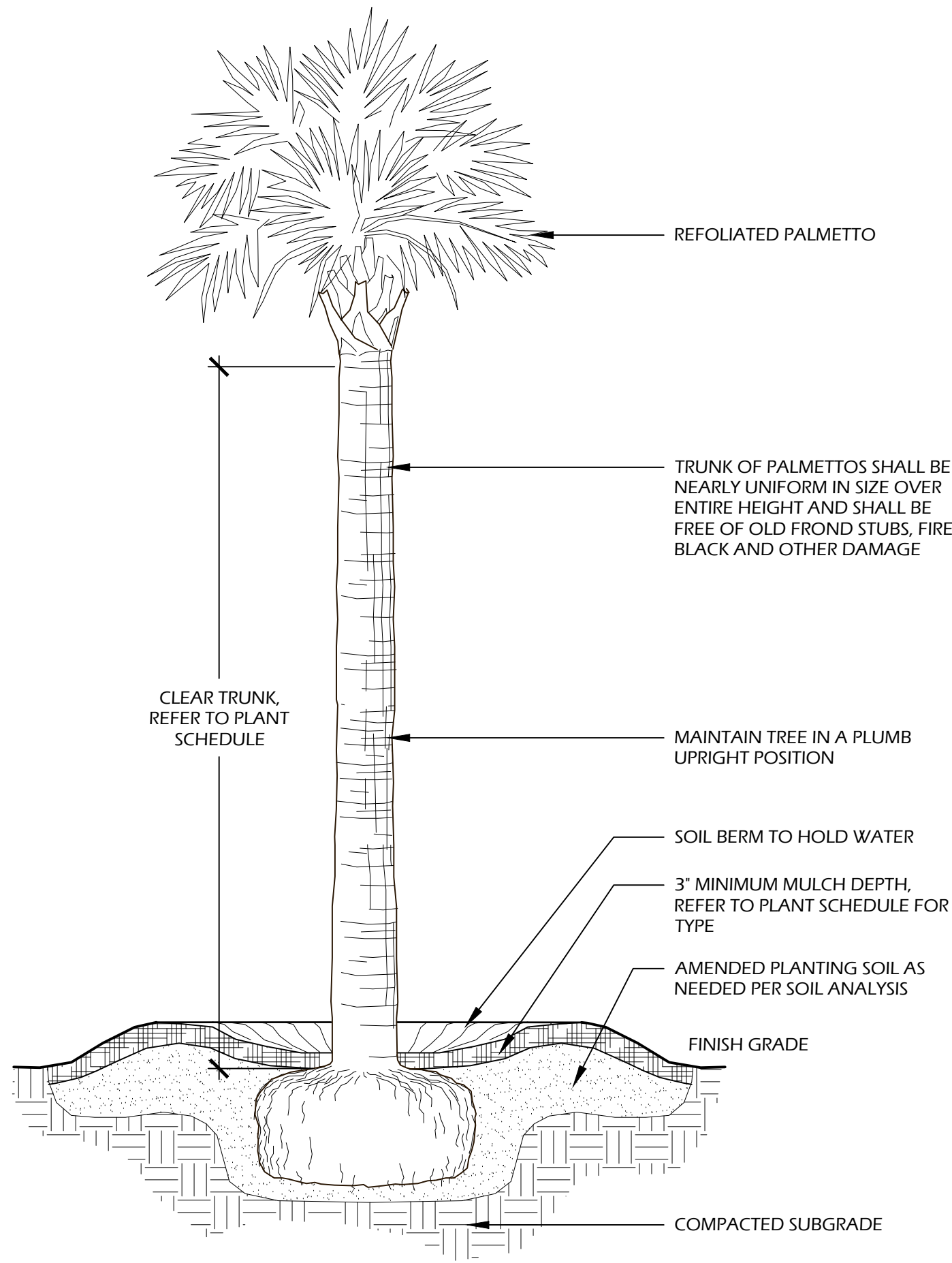
PLANTING REFERENCE NOTES:

- 1 EXISTING TREES TO REMAIN.
- 2 EXISTING TREES TO BE REMOVED.
- 3 CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- 4 PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.





- NOTES:**
1. TREE STAKING OPTIONAL HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.



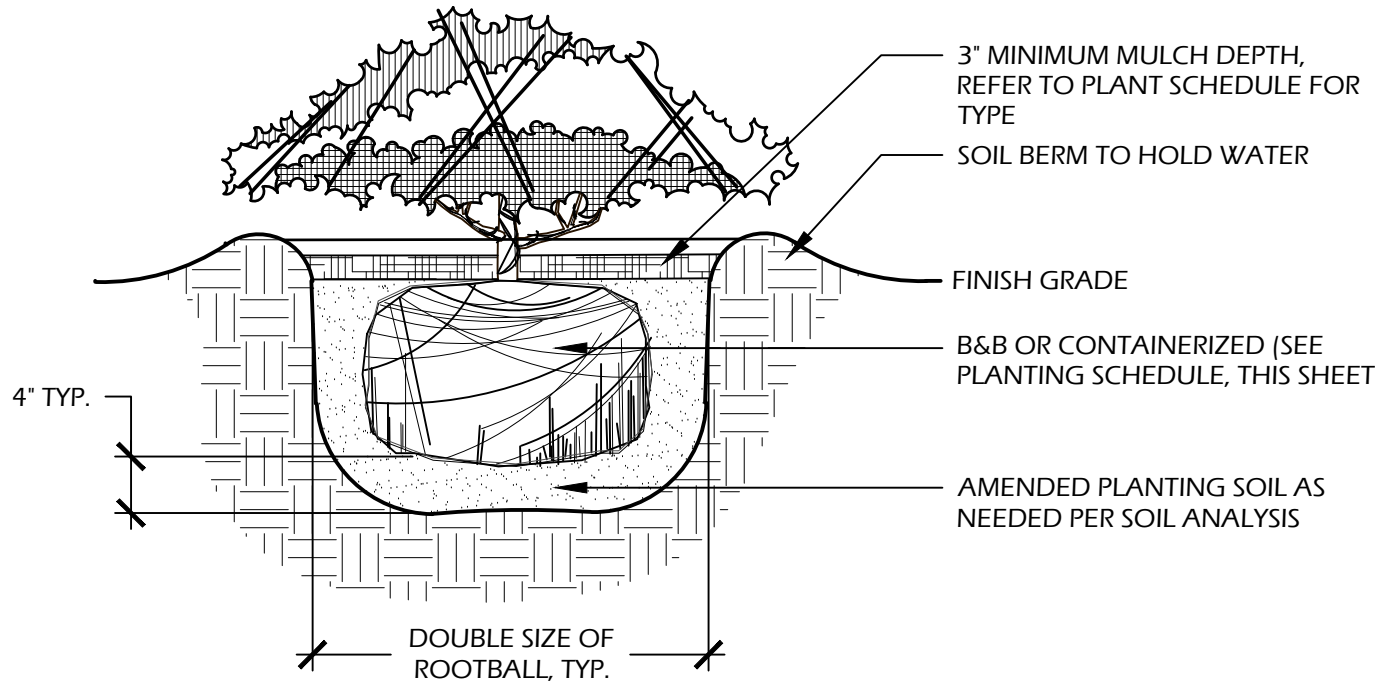
- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

PLANT SCHEDULE:

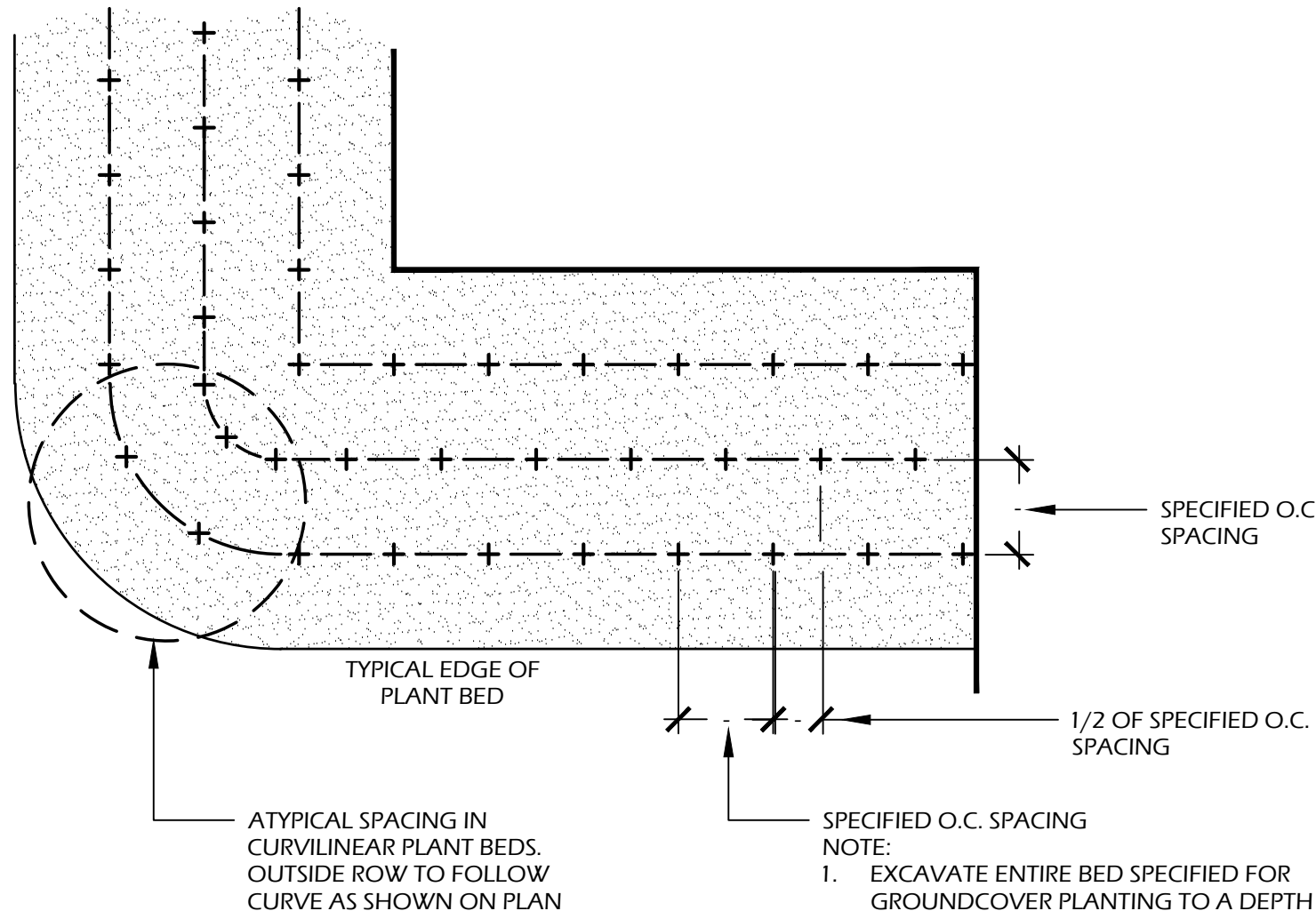
Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
1	QUEV	Quercus virginiana	Live Oak	10'-12'	4'-5'	45 gal.	-	Full
1	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
1	LAGT	Lagerstroemia indica x fauriei 'Tuscarora'	Tuscarora Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
SHRUBS								
1	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
1	HYDP	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	24'-30'	24'-30'	7 gal.	-	Full
3	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36'	24'-30'	7 gal.	-	Full
19	PODM	Podocarpus macrophyllus	Podocarpus	36'-42'	24'-30'	15 gal.	-	Full
30	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24'	16'-20'	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
10	DIAM	Dianella tasmanica 'Variegata'	Variegated Flax Lily	12'-18"	12'-18"	1 gal.	24" O.C.	Full
25	DIEI	Dietes iridioides	White African Iris	12'-18"	8'-12"	1 gal.	24" O.C.	Full
8	TRAJ	Trachelospermum jasminoides	Confederate jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
550	SOD-SF	-	Empire Zoysia Sod	-	-	-	-	-
2,350	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

1 // L3 TREE PLANTING
SCALE: N.T.S.

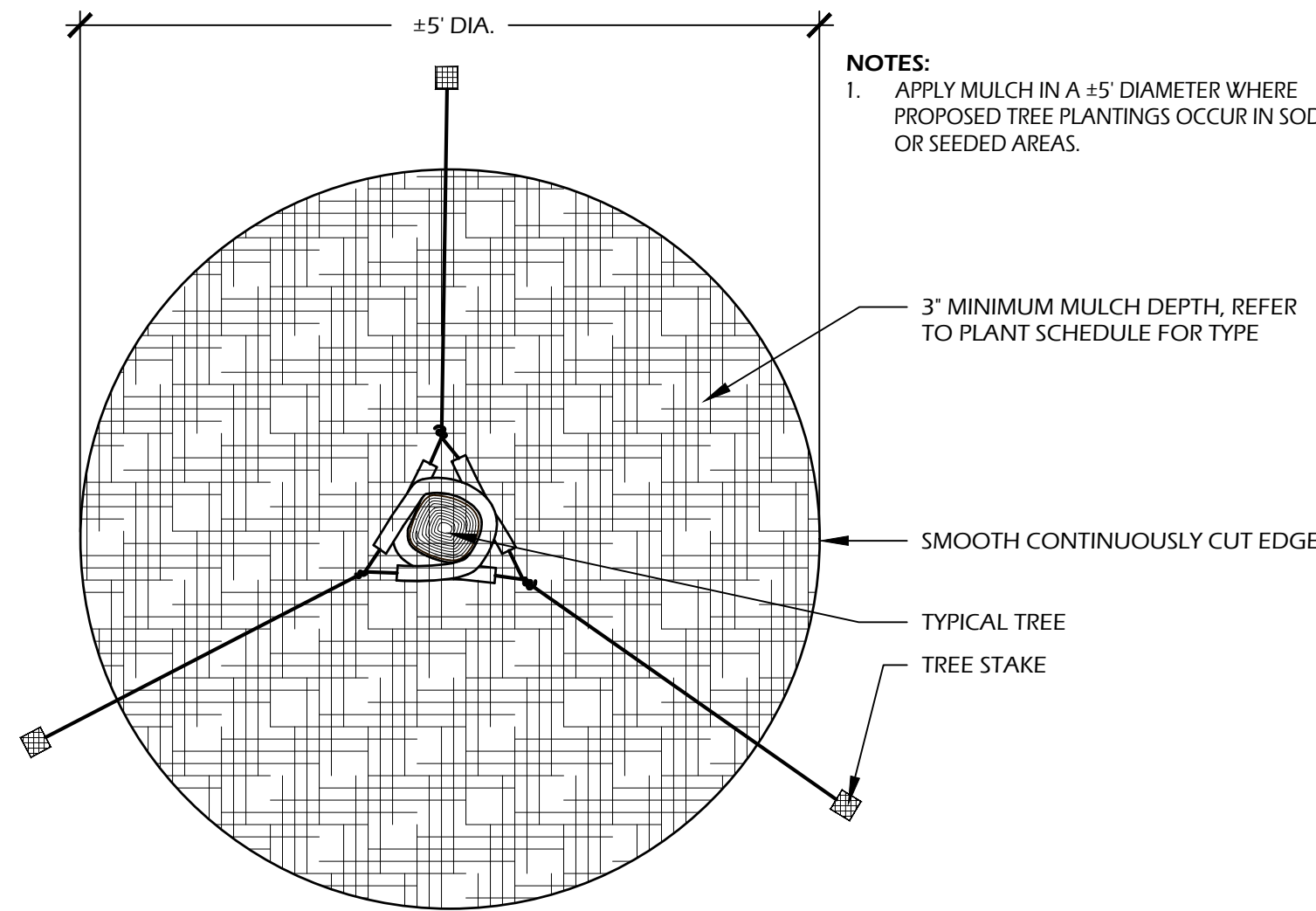
2 // L3 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
1. WHEN GROUND COVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE ±2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.



4 // L3 GROUND COVER PLANTING
SCALE: N.T.S.



- NOTES:**
1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDING AREAS.

5 // L3 TREE STAKING
SCALE: N.T.S.

3 // L3 SHRUB PLANTING
SCALE: N.T.S.

SITE DEVELOPMENT PLANS
FOR
SEWELL RESIDENCE
TABBY SHELL ROAD / LOT 14 (#26)
TABBY ROADS / BLUFFTON, SOUTH CAROLINA

DATE: DEC. 01, 2023
PROJECT NO.: 23160.01
DRAWN BY: MC/ER
CHECKED BY: BW

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

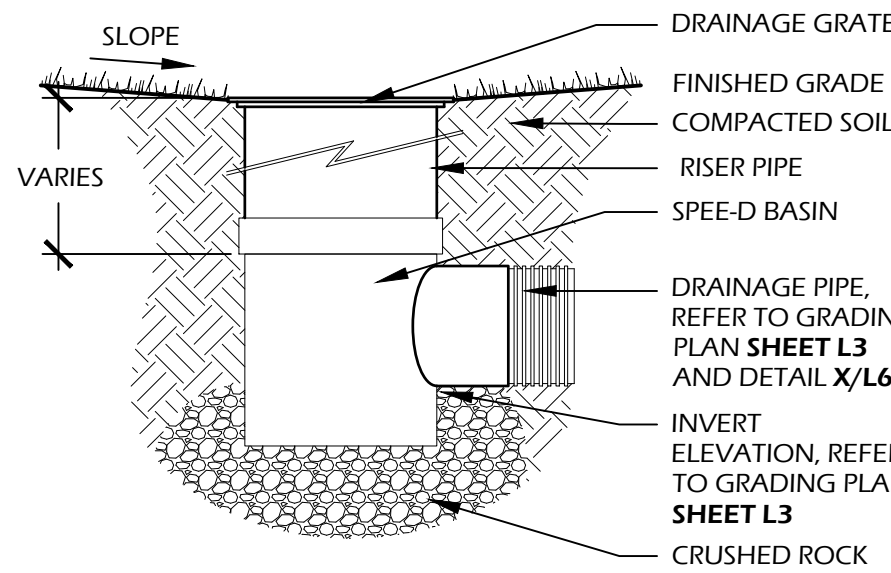
DRAWING TITLE
PLANT SCHEDULE AND
DETAILS

DRAWING NUMBER
L3

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ATTACHMENT 4



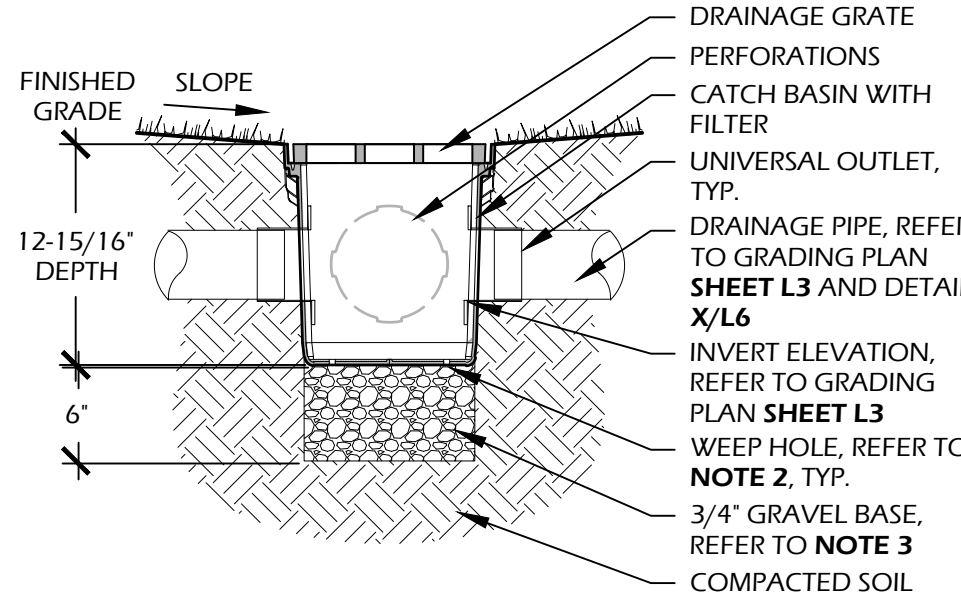
- NOTES:
1. INSTALL TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTOR, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-206

MANUFACTURER INFO:
NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA. 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #40, 6" ROUND GRATE
PIPE COLOR: BLACK
PIPE INFO: STRUCTURAL FOAM POLYOLEFIN GRATE WITH U.V. INHIBITOR

CATCH BASIN: #101, 6" ROUND SPEED BASIN WITH 3" AND 4" LOCKING OUTLET
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH

RISER: #66, 6" SEWER AND DRAIN RISER PIPE, LENGTH AND USE AS REQUIRED



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NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
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PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #1211, 12"x12" SQUARE GRATE
GRATE COLOR: BLACK
GRATE INFO: STRUCTURAL FOAM POLYOLEFIN GRATE WITH U.V. INHIBITOR

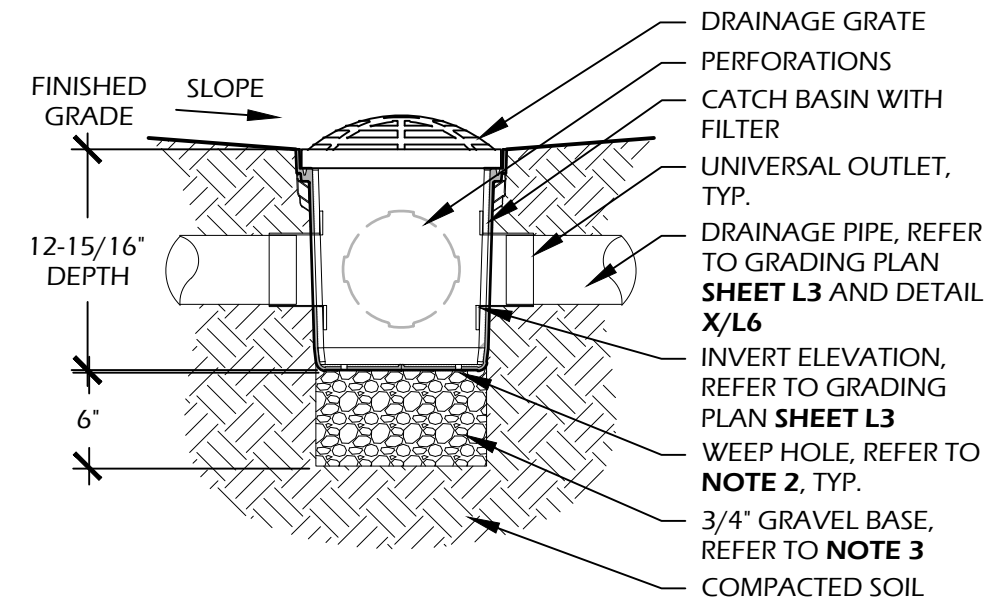
CATCH BASIN: #1200, 12"x12" CATCH BASIN, 2 OPENINGS
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH

FILTER: #1200FF, 12" CATCH BASIN FILTER
PIPE COLOR: BLUE FRAME / BLACK BAG

UNIVERSAL OUTLET: #1266, 6" UNIVERSAL LOCKING OUTLET AND #1206, 6" UNIVERSAL ADAPTER PLUG
OUTLET COLOR: BLACK
OUTLET INFO: STYRENE, USE ADAPTER PLUG AS REQUIRED (WHERE ONLY ONE DRAIN LINE RUNS INTO CATCH BASIN)

RISER: #1216, 12"x12" CATCH BASIN RISER, BLACK, STYRENE, USE AS REQUIRED

- NOTES:
1. THIS DETAIL IS USED FOR DESIGN INTENT ONLY. REFER TO TO MANUFACTURERS DETAIL AND SPECIFICATIONS FOR ACTUAL INSTALLATION.
 2. DRILL WEEP HOLE TYPICAL OF 4 PLACES AT BOTTOM CORNERS.
 3. GRAVEL BASE SHALL BE USED TO PREVENT STANDING WATER. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW(S) PROVIDED AT TIME OF INSTALLATION.
 4. RISER (IF NEEDED) CAN BE CUT TO ACHIEVE EXACT ELEVATION, DO NOT USE OVER FIVE (5) RISERS WITH CATCH BASIN.
 5. N.D.S. ADAPTERS THAT FIT THIS CATCH BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, AND #1889, USE #1206 IF PLUGGING AN OUTLET.
 6. PERFORATION ON NON OPEN SIDES AND BOTTOM TO BE CUT OUT WHEN ADDING EXTRA OUTLETS.
 7. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
 8. DO NOT SCALE DRAWING.
 9. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 10. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 11. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-187 AND / OR 558-192.



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LINDSAY, CA. 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #1290, 12"x12" SQUARE GRATE
GRATE COLOR: BLACK
GRATE INFO: STRUCTURAL FOAM POLYOLEFIN DOME ATRIUM GRATE WITH U.V. INHIBITOR

CATCH BASIN: #1200, 12"x12" CATCH BASIN, 2 OPENINGS
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH

FILTER: #1200FF, 12" CATCH BASIN FILTER
PIPE COLOR: BLUE FRAME / BLACK BAG

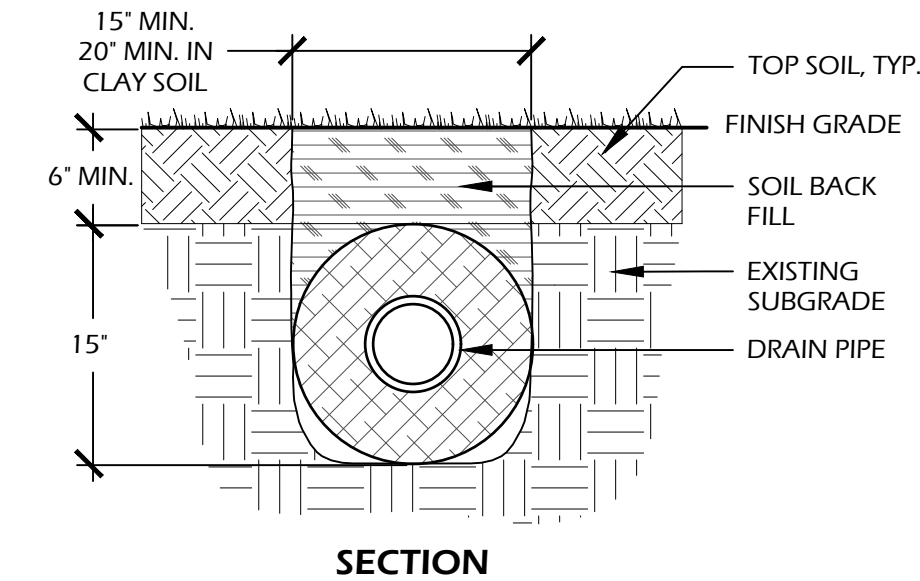
UNIVERSAL OUTLET: #1266, 6" UNIVERSAL LOCKING OUTLET AND #1206, 6" UNIVERSAL ADAPTER PLUG
OUTLET COLOR: BLACK
OUTLET INFO: STYRENE, USE ADAPTER PLUG AS REQUIRED (WHERE ONLY ONE DRAIN LINE RUNS INTO CATCH BASIN)

RISER: #1216, 12"x12" CATCH BASIN RISER, BLACK, STYRENE, USE AS REQUIRED

- NOTES:
1. THIS DETAIL IS USED FOR DESIGN INTENT ONLY. REFER TO TO MANUFACTURERS DETAIL AND SPECIFICATIONS FOR ACTUAL INSTALLATION.
 2. DRILL WEEP HOLE TYPICAL OF 4 PLACES AT BOTTOM CORNERS.
 3. GRAVEL BASE SHALL BE USED TO PREVENT STANDING WATER. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW(S) PROVIDED AT TIME OF INSTALLATION.
 4. RISER (IF NEEDED) CAN BE CUT TO ACHIEVE EXACT ELEVATION, DO NOT USE OVER FIVE (5) RISERS WITH CATCH BASIN.
 5. N.D.S. ADAPTERS THAT FIT THIS CATCH BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, AND #1889, USE #1206 IF PLUGGING AN OUTLET.
 6. PERFORATION ON NON OPEN SIDES AND BOTTOM TO BE CUT OUT WHEN ADDING EXTRA OUTLETS.
 7. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
 8. DO NOT SCALE DRAWING.
 9. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
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 11. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-187 AND / OR 558-192.



1 // L4 6" AREA DRAIN
SCALE: N.T.S.



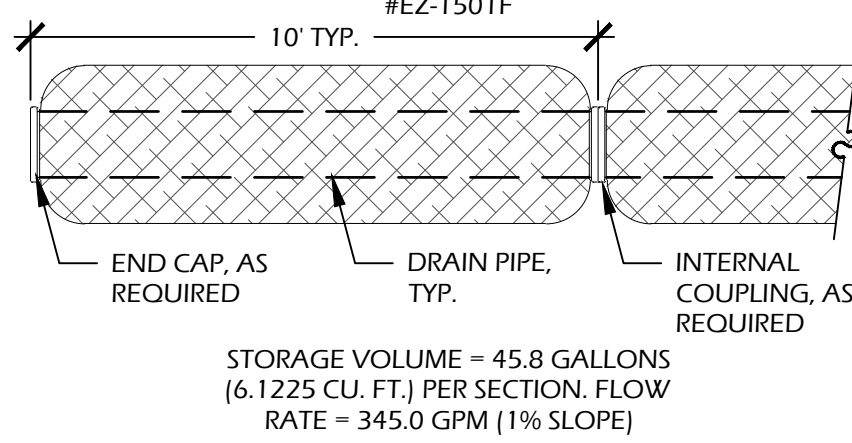
- NOTES:
1. INSTALL PER MANUFACTURERS SPECIFICATIONS.
 2. ADDITIONAL COVER MAY BE REQUIRED BASED ON SITE CONDITIONS.
 3. 12" COVER REQUIRED TO OBTAIN AN H-10 LOAD RATING.
 4. DO NOT SCALE DRAWING.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 6. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-028

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NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA. 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

PIPE: #EZ-1501F, 15" MESH WITH 6" CORRUGATED PERFORATED PIPE
PIPE COLOR: BLACK
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH

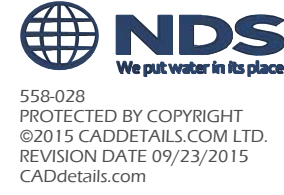
SOIL INFO:
SOIL BACK FILL: TOP SOIL BACK FILL, OR GRAVEL WITH 3" TOP SOIL IN CLAY AREAS

STORAGE AND FLOW INFO:

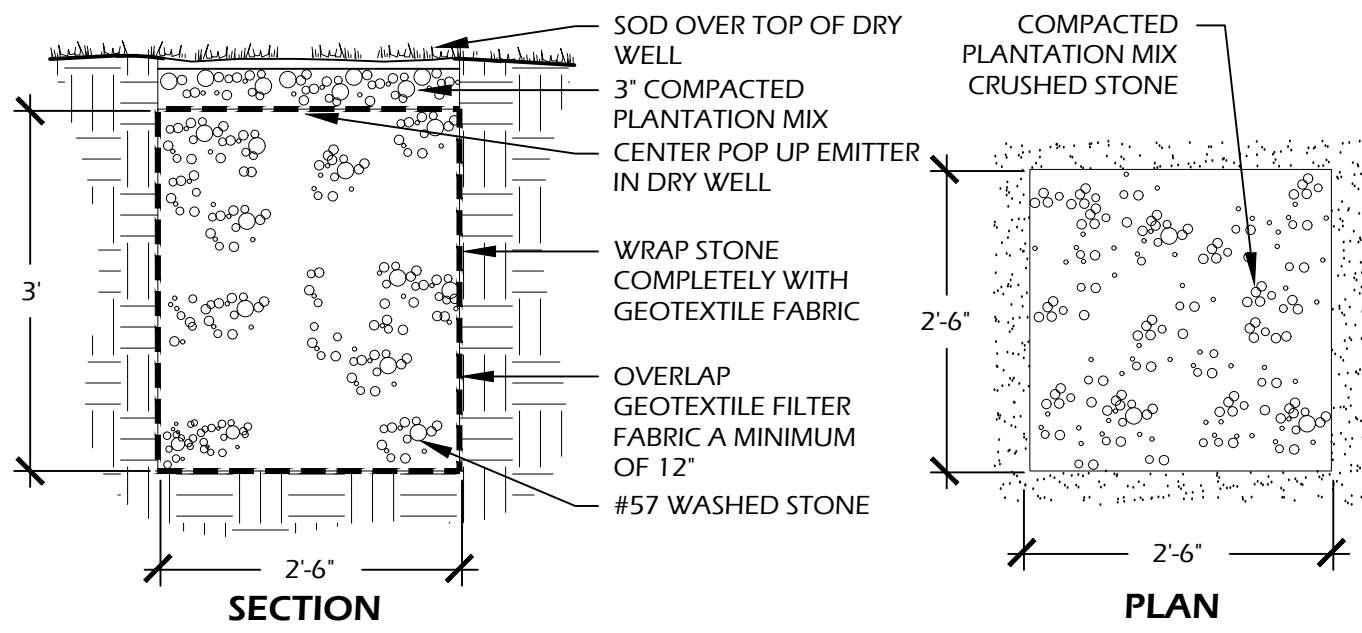
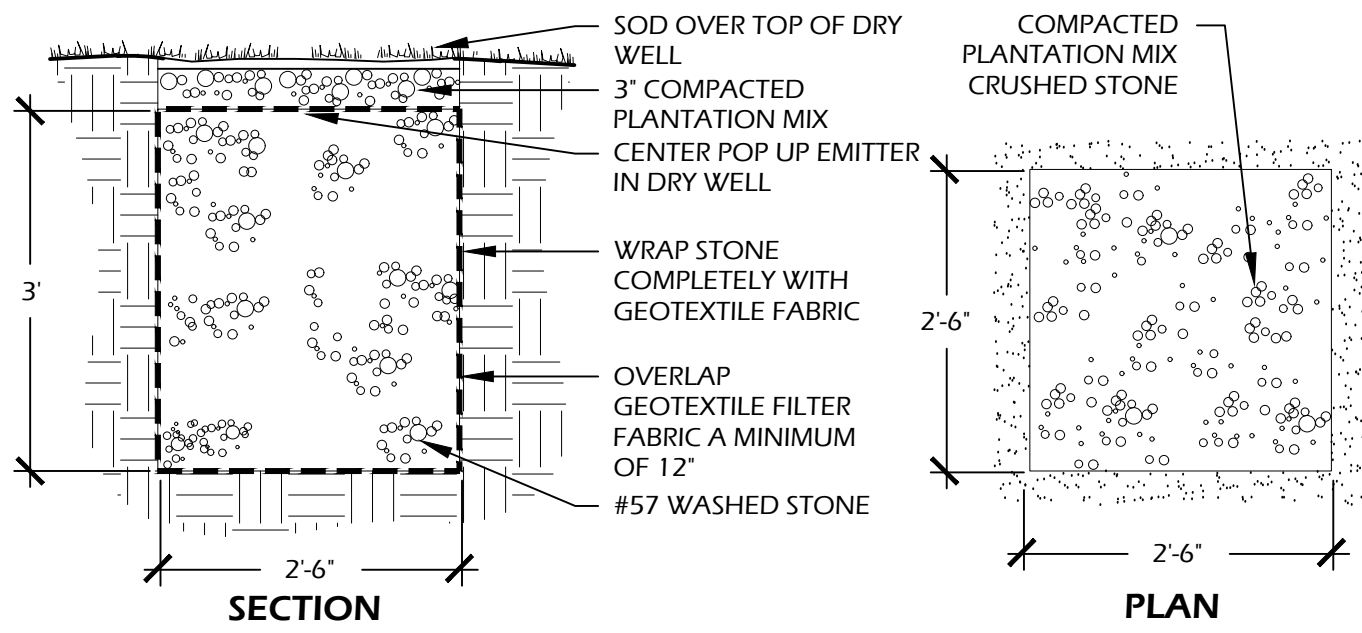


STORAGE VOLUME = 45.8 GALLONS
(6.1225 CU. FT.) PER SECTION. FLOW RATE = 345.0 GPM (1% SLOPE)

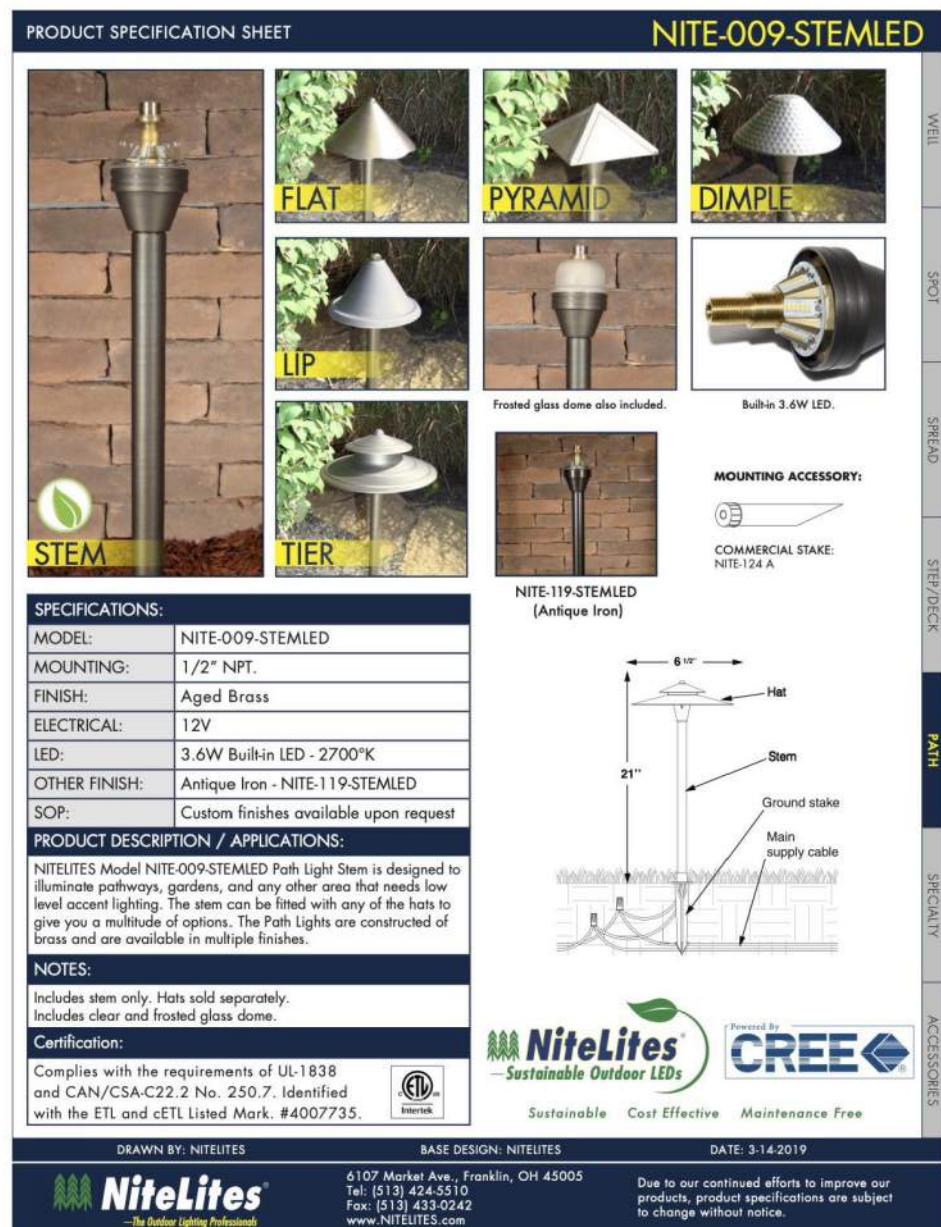
COUPLING: #6C07, 6" CORRUGATED INTERNAL COUPLING, AS REQUIRED
COUPLING COLOR: BLACK
END CAP: #6C06, 6" CORRUGATED END CAP, AS REQUIRED.
END CAP COLOR: BLACK



2 // L4 ATRIUM DRAIN TYPE 1
SCALE: N.T.S.



5 // L4 DRY WELL
SCALE: N.T.S.

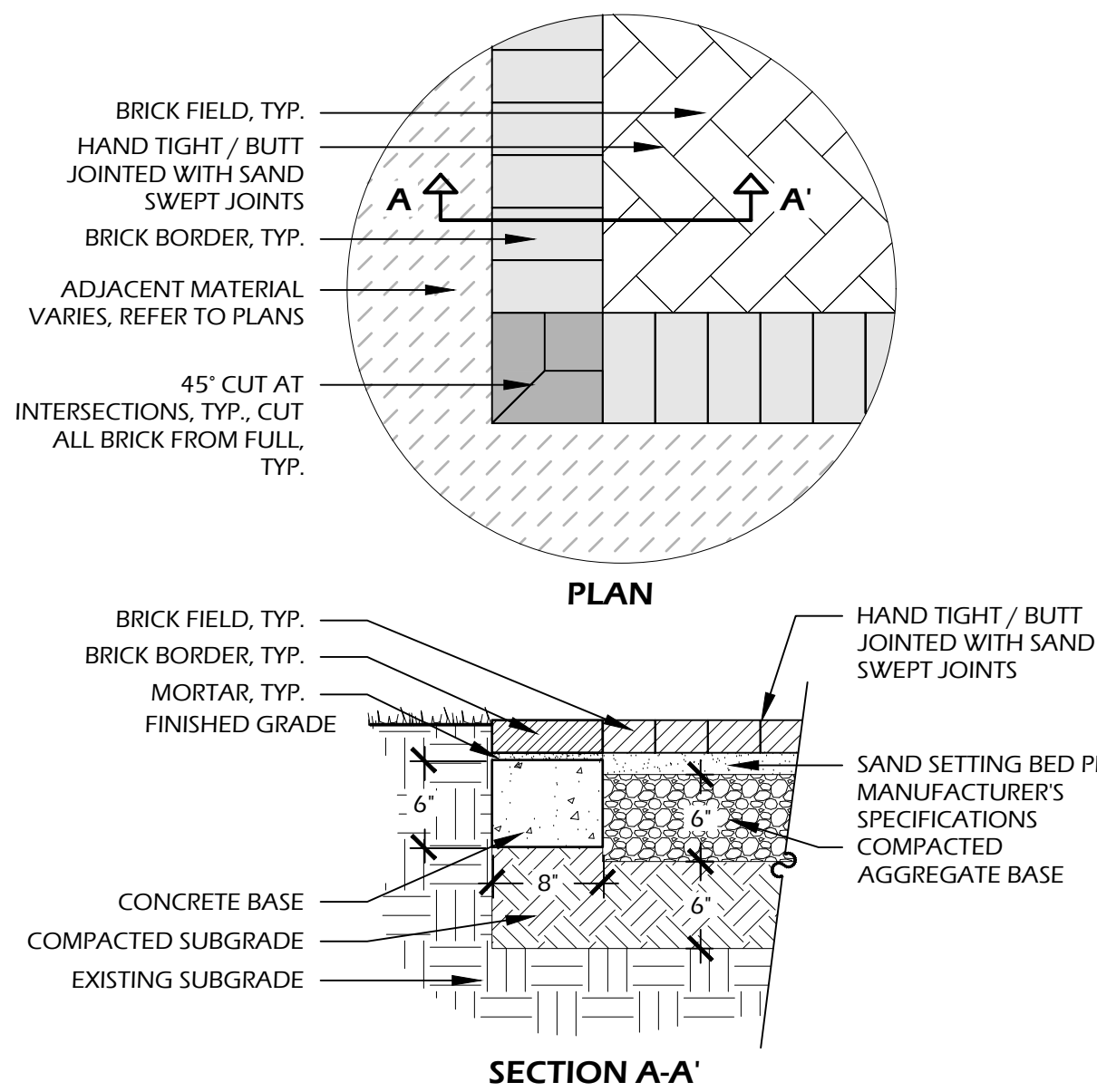


MANUFACTURER INFORMATION:
NITELITES
6107 MARKET AVE.
FRANKLIN, OH 45005
PHONE: (513) 424.5510
WEB: WWW.NITELITES.COM

MODEL: NITE-009-STEMLED
FINISH: AGED BRASS
HAT: TIER
WATTAGE: 3.6 WATTS
TEMPERATURE: 2700K
MOUNTING: GROUND STAKE

OR APPROVED EQUAL

3 // L4 12" AREA DRAIN TYPE 2 (ATRIUM DRAIN)
SCALE: N.T.S.



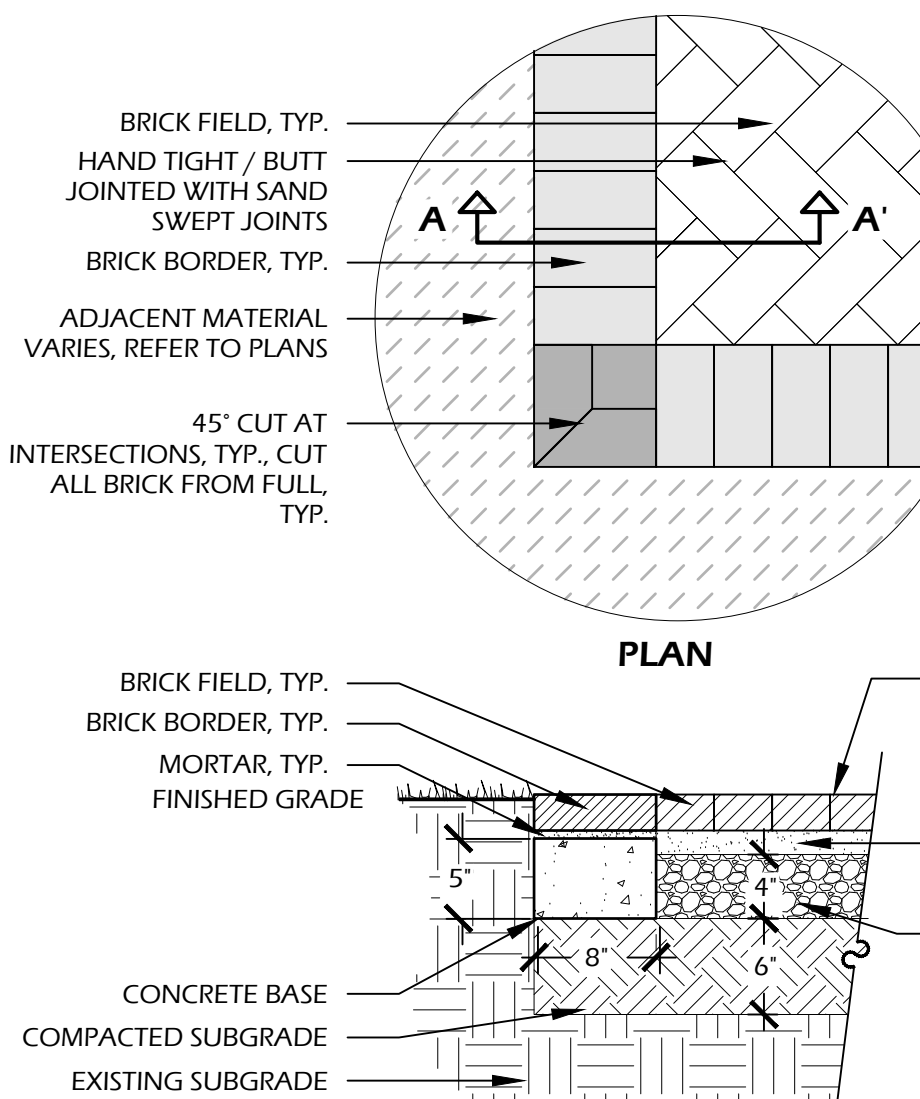
BRICK MANUFACTURER INFORMATION:
MANUFACTURER: PINE HALL BRICK

BRICK: PINE HALL 4"x8" PAVERS
COLOR: COCOA
PATTERN: HERRINGBONE FIELD (REFER TO PLAN, SHEET L2, FOR DIRECTION)
JOINTS: HAND TIGHT / BUTT JOINTED, SAND SWEEP

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN (SHEET L2) FOR WIDTHS OF DRIVE AND LOCATION OF BRICK BORDERS.
 3. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4"x4" PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

4 // L4 6" FRENCH DRAIN
SCALE: N.T.S.



BRICK MANUFACTURER INFORMATION:
MANUFACTURER: PINE HALL BRICK

BRICK: PINE HALL 4"x8" PAVER
COLOR: COCOA
PATTERN: HERRINGBONE FIELD (REFER TO PLAN, SHEET L100, FOR DIRECTION)
JOINTS: HAND TIGHT / BUTT JOINTED, SAND SWEEP

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN (SHEET L100) FOR WIDTHS OF WALKS AND LOCATION OF BRICK BORDERS.
 3. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4"x4" PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

6 // L4 BRICK DRIVE
SCALE: 1" = 1'-0"



MANUFACTURER INFORMATION:
NITELITES
6107 MARKET AVE.
FRANKLIN, OH 45005
PHONE: (513) 424.5510
WEB: WWW.NITELITES.COM

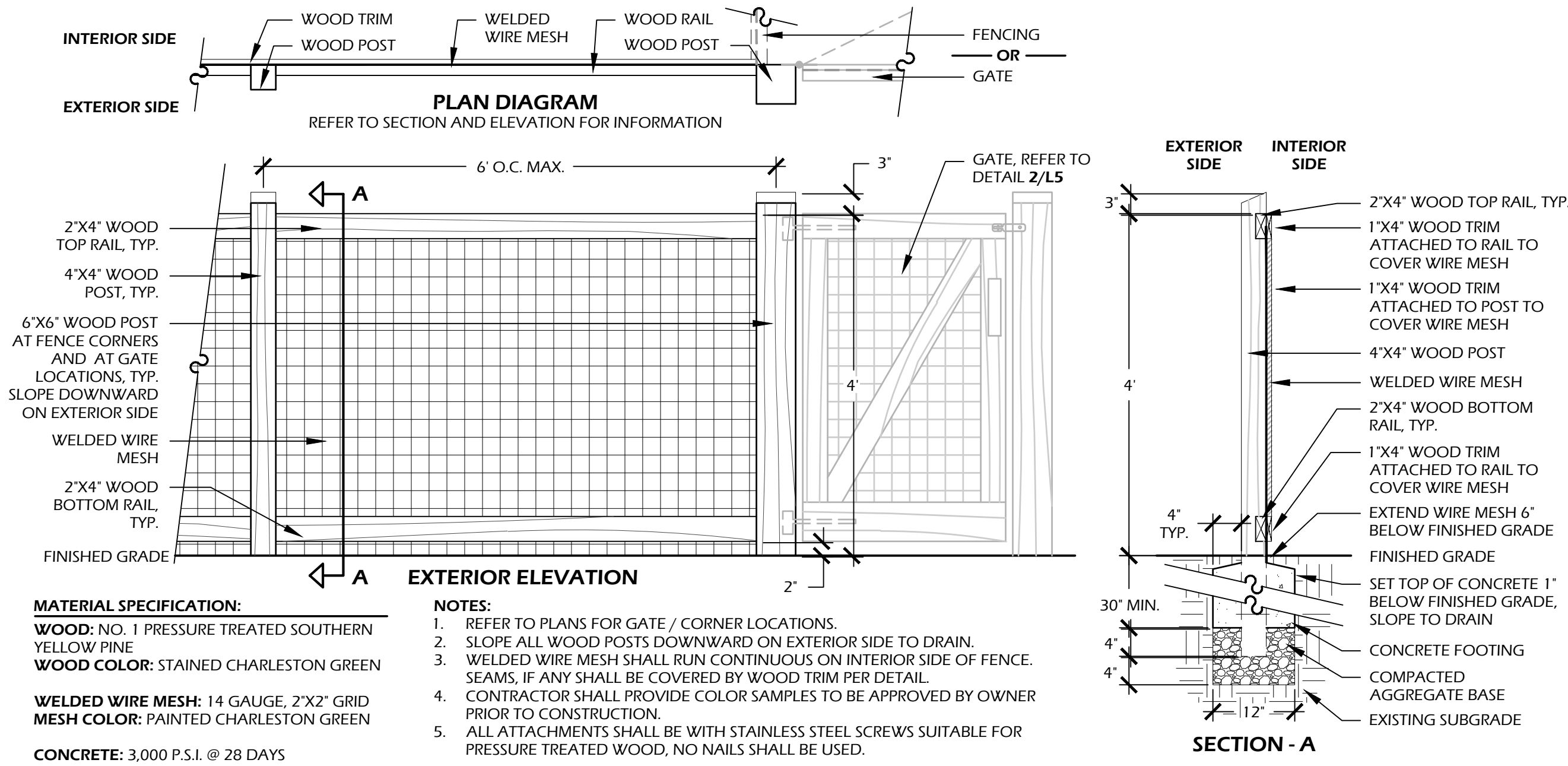
MODEL: NITE-025DL DOWN LIGHT
FINISH: AGED BRASS
BULB: NITE-429B7W MR16 LED
WATTAGE: 7 WATTS
TEMPERATURE: 2700K
MOUNTING: TREE MOUNT

OR APPROVED EQUAL

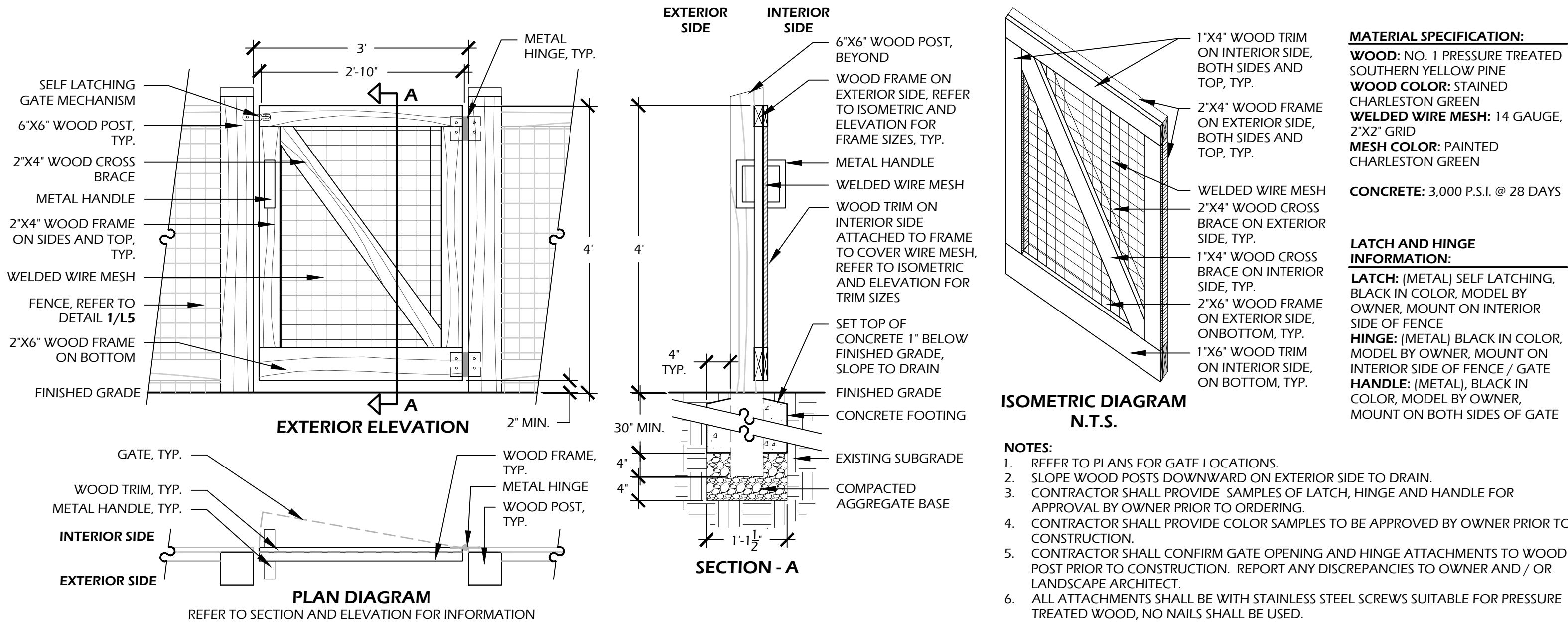
7 // L4 BRICK WALK
SCALE: 1" = 1'-0"

8 // L4 PATH LIGHT
SCALE: N.T.S.

9 // L4 DOWN LIGHT
SCALE: N.T.S.



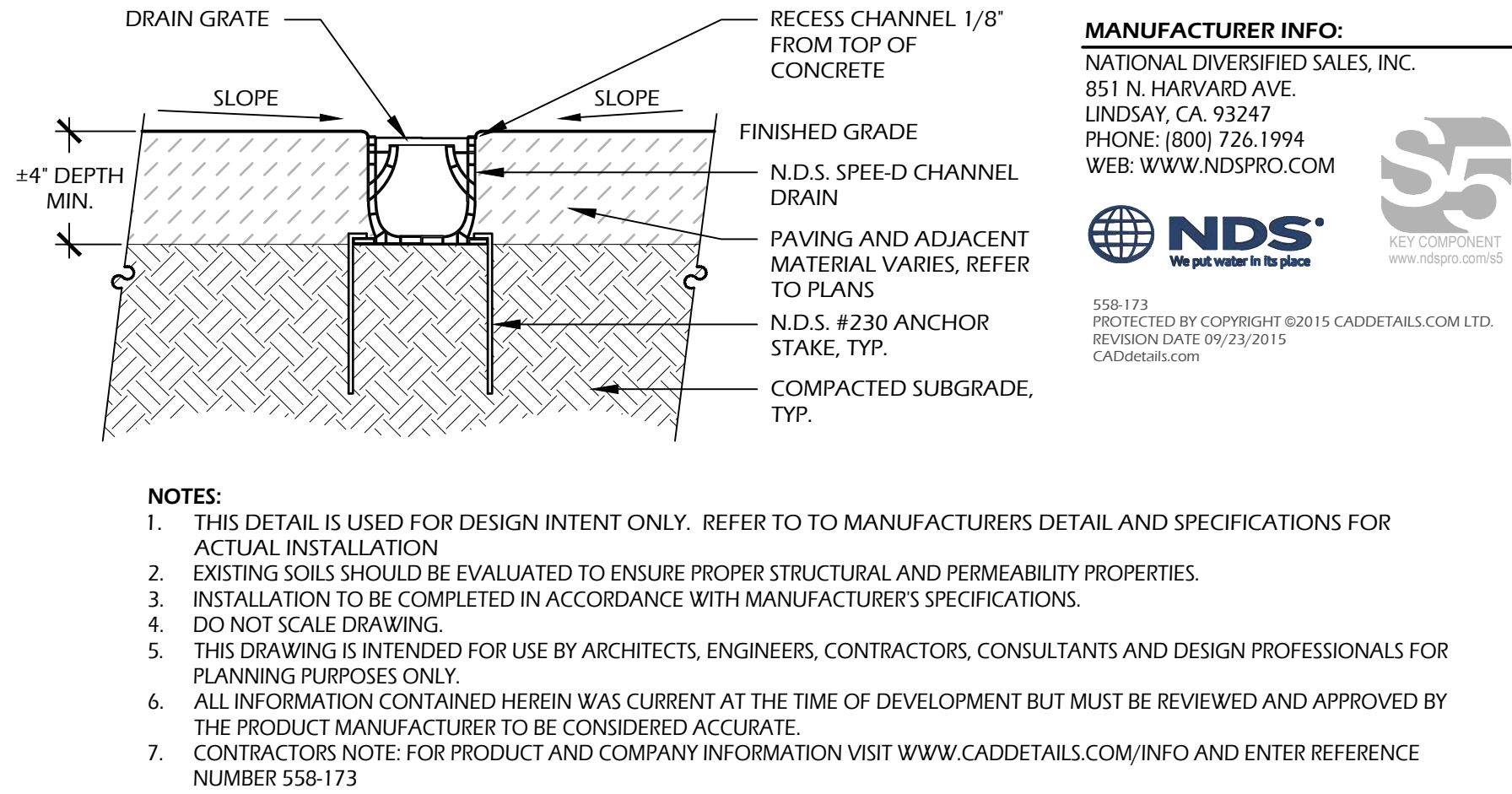
1 // L5 FENCE
SCALE: 3/4" = 1'-0"



2 // L5 GATE
SCALE: 3/4" = 1'-0"



4 // L5 SAVANNAH GRAY BRICK & COCOA 4"x8" BRICK PAVER EXAMPLE
SCALE: N.T.S.



3 // L5 TRENCH DRAIN
SCALE: N.T.S.

Section IX, Item #4.

Wimmer Jones-Keefe

landscape architecture
land planning

www.wjkltd.com

289 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.297.7

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DESIGN: CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS. WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.

THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR

SEWELL RESIDENCE

TABBY SHELL ROAD / LOT 14 (#26)
TABBY ROADS / BLUFFTON, SOUTH CAROLINA

DATE:	DEC. 01, 2023
PROJECT NO.:	23160.01
DRAWN BY:	MC/ER
CHECKED BY:	BW

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

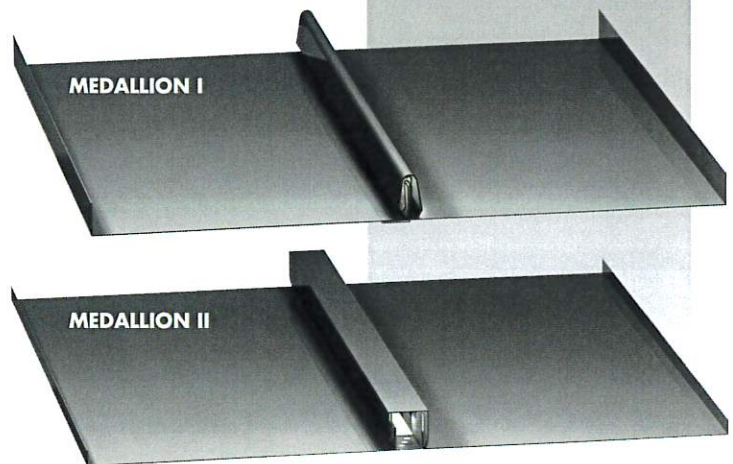
REVISIONS:

DRAWING TITLE
SITE DETAILS- 02

DRAWING NUMBER
L5



MEDALLION I MEDALLION II



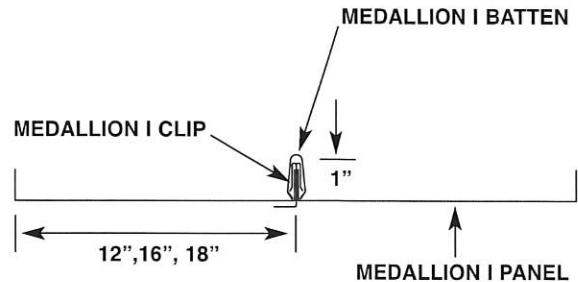
Panel / Trim /Accessories



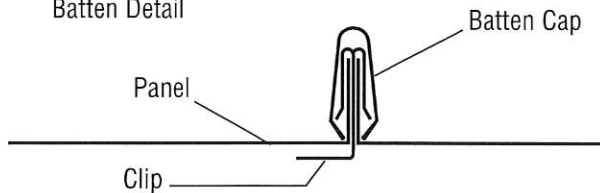
MEDALLION I





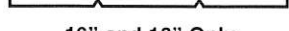
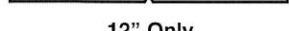
Medallion I



Medallion I
Seam &
Batten Detail



Medallion I Pan Conditions

MEDALLION I STRIATED*	
	12", 16", 18"
MEDALLION I FLAT PAN	
	12", 16", 18"
MEDALLION I DOUBLE PENCIL RIBS	
	16" and 18" Only
MEDALLION I SINGLE PENCIL RIB	
	12" Only

*Recommended Pan Condition

For any available Testing Data, Section Properties, or Load Tables, please visit www.mcelroymetal.com. For additional information, please contact the **McElroy Engineering Department at 1-800-950-9082**.

Details:

- Minimum slope: 3:12
- Must be installed over solid decking
- Curving: Medallion I only - minimum radius 30"
- Oil canning is a natural occurrence in metal panels and is not a cause for panel rejection

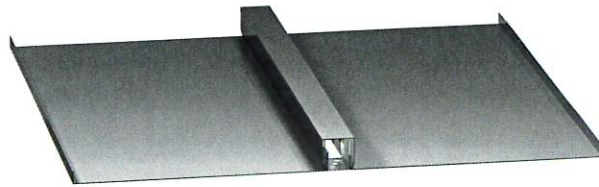
Panel Options:

- Panel width: 12", 16", and 18"
- Panel configurations: striated, ribbed or flat pan (striated recommended)
- Coating:
 - Kynar 500® (PVDF)
- Substrate:
 - Standard 24 GA Galvalume®

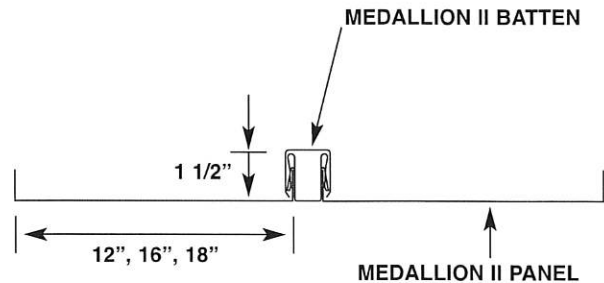
Notes:

- Please contact a McElroy representative for specific pricing, lead times, special colors or gauges that may not be on a McElroy Metal color chart.
- Contents in this manual are subject to change without notice. To confirm this book is the most current copy, please visit McElroy's website at www.mcelroymetal.com.

MEDALLION II

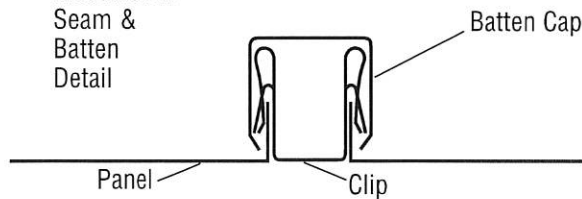


Medallion II







Cover width is pan width plus 1".

Medallion II
Seam &
Batten
Detail



Medallion II Pan Conditions

MEDALLION II STRIATED*	
	12", 16", 18"
MEDALLION II FLAT PAN	
	12", 16", 18"
MEDALLION II DOUBLE PENCIL RIBS	
	16" and 18" Only
MEDALLION II SINGLE PENCIL RIB	
	12" Only

*Recommended Pan Condition

For any available Testing Data, Section Properties, or Load Tables, please visit www.mcelroymetal.com. For additional information, please contact the **McElroy Engineering Department** at 1-800-950-9082.

Details:

- Minimum slope: 3:12
- Must be installed over solid decking
- Curving: Medallion I only - minimum radius 30"
- Oil canning is a natural occurrence in metal panels and is not a cause for panel rejection

Panel Options:

- Panel width: 12", 16", and 18"
- Panel configurations: striated, ribbed or flat pan (striated recommended)
- Coating:
 - Kynar 500® (PVDF)
- Substrate:
 - Standard 24 GA Galvalume®

Notes:

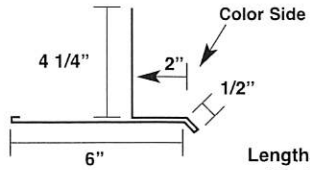
- Please contact a McElroy representative for specific pricing, lead times, special colors or gauges that may not be on a McElroy Metal color chart.
- Contents in this manual are subject to change without notice. To confirm this book is the most current copy, please visit McElroy's website at www.mcelroymetal.com.

MEDALLION I

TRIM

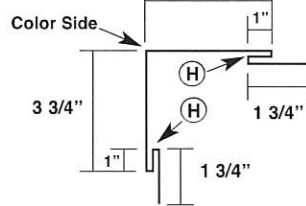
24 GA

Soffit Base Trim
MDSB



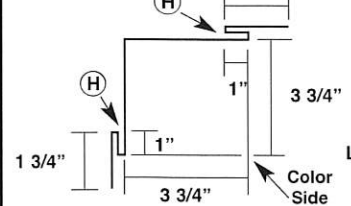
Lengths:
10' - 3"
20' - 3"

Outside Corner
MDOC



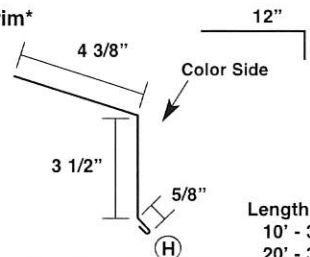
Lengths:
5' - 3"
10' - 3"

Inside Corner
MDIC



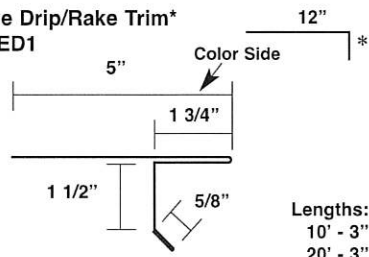
Lengths:
5' - 3"
10' - 3"

Eave Trim*
MDET



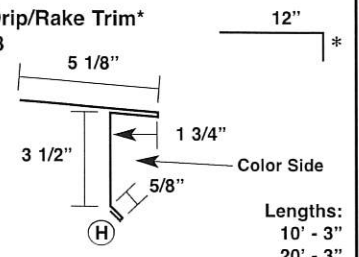
Lengths:
10' - 3"
20' - 3"

Eave Drip/Rake Trim*
MDED1



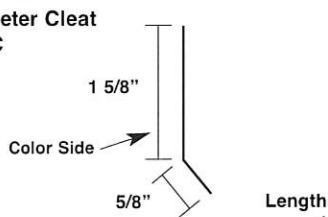
Lengths:
10' - 3"
20' - 3"

Eave Drip/Rake Trim*
MDED3



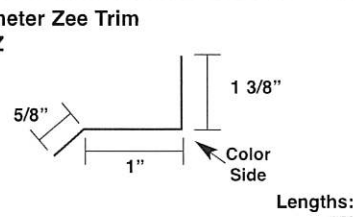
Lengths:
10' - 3"
20' - 3"

Perimeter Cleat
MDPC



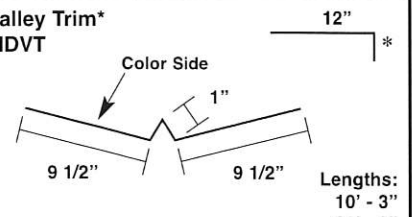
Lengths:
10'

Perimeter Zee Trim
M1PZ



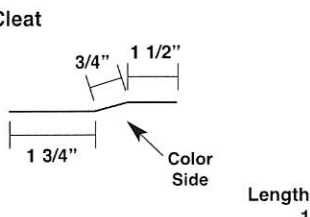
Lengths:
10'

Valley Trim*
MDVT



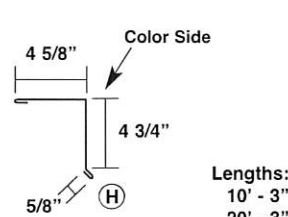
Lengths:
10' - 3"
20' - 3"

Offset Cleat
MDOF



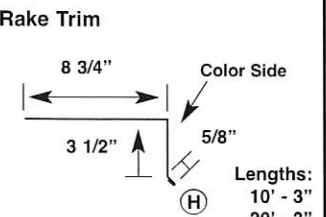
Lengths:
10'

Rake Trim
M1RT



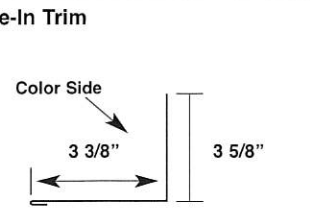
Lengths:
10' - 3"
20' - 3"

Alternate Rake Trim
MDAR



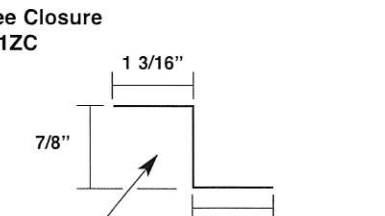
Lengths:
10' - 3"
20' - 3"

Rake Tie-In Trim
MDEW



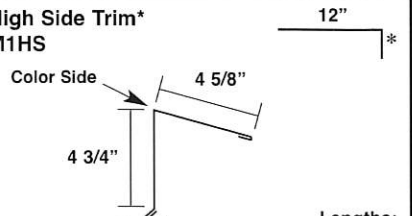
Lengths:
10' - 3"

Zee Closure
M1ZC



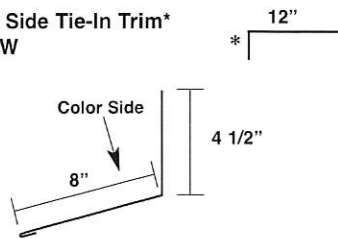
Lengths:
10'

High Side Trim*
M1HS



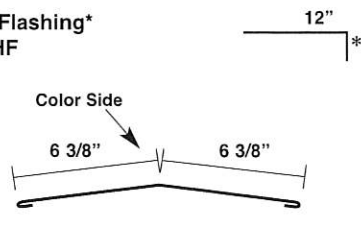
Lengths:
10' - 3"
20' - 3"

High Side Tie-In Trim*
MDSW



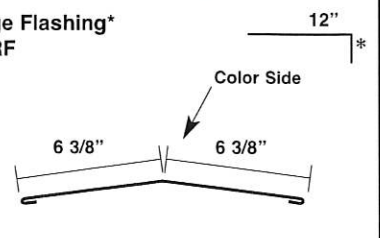
Lengths:
10' - 3"

Hip Flashing*
MDHF



Lengths:
10' - 3"
20' - 3"

Ridge Flashing*
MDRF



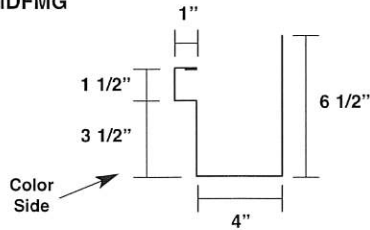
Lengths:
10' - 3"
20' - 3"

MEDALLION I

TRIM

24 GA

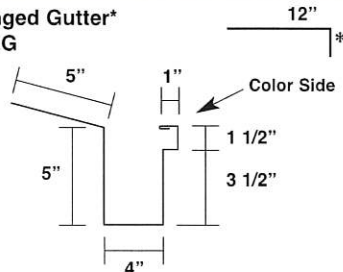
****Face Mounted Gutter**
MDFMG



****Snow guards required to prevent damage caused by sliding snow.**

Lengths:
10' - 3"
20' - 3"

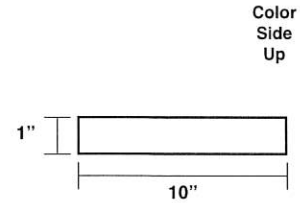
****Flanged Gutter***
MDFLG



****Snow guards required to prevent damage caused by sliding snow.**

Lengths:
10' - 3"
20' - 3"

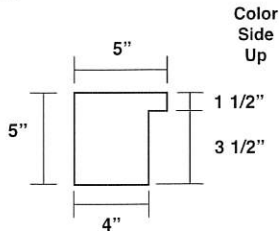
Gutter Strap
MD-GS



Color
Side
Up

Lengths:
10"

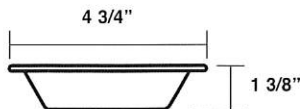
Gutter End Cap
MDGEC



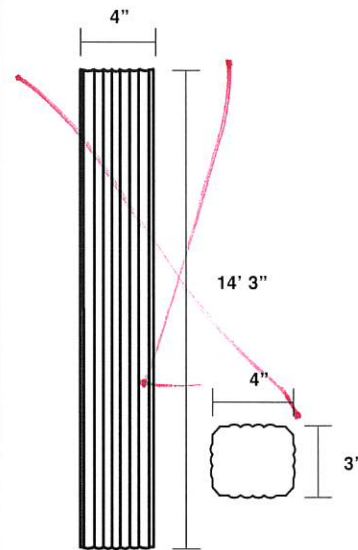
Color
Side
Up

26 Ga.

Aluminium Downspout Outlet
BBPOUT

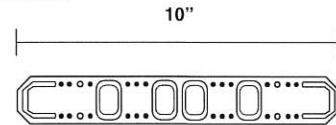


Downspout 3" x 4"
26 Ga. = BBPDS



Lengths:
14' - 3"

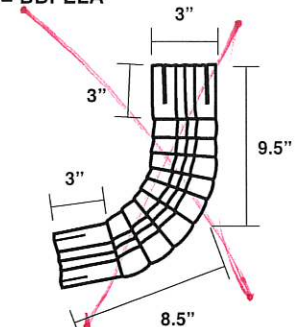
Downspout Strap
BBPDSS



Lengths:
10"

Only available in 26 Ga.

3" x 4" Downspout Elbow A-Style
26 Ga. = BBPELA



29 Ga. only available at the
Marshall and Lewisport locations.

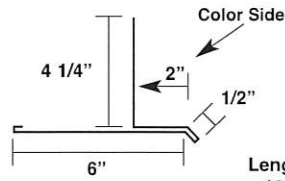
Notes:

MEDALLION II

TRIM

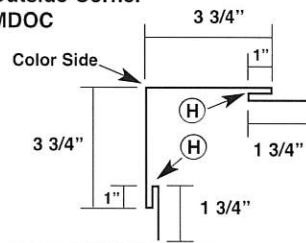
24 GA

Soffit Base Trim
MDSB



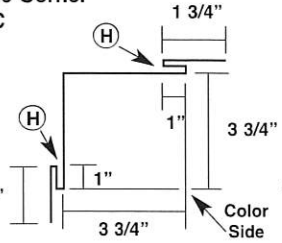
Lengths:
10' - 3"
20' - 3"

Outside Corner
MDOC



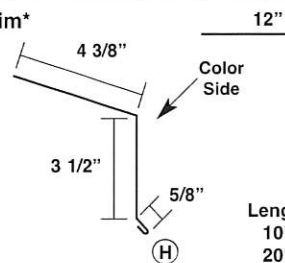
Lengths:
5' - 3"
10' - 3"

Inside Corner
MDIC



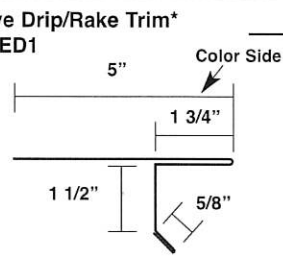
Lengths:
5' - 3"
10' - 3"

Eave Trim*
MDET



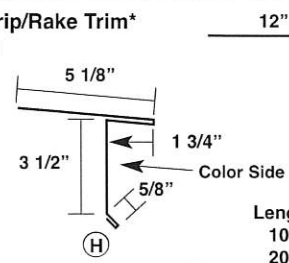
Lengths:
10' - 3"
20' - 3"

Eave Drip/Rake Trim*
MDED1



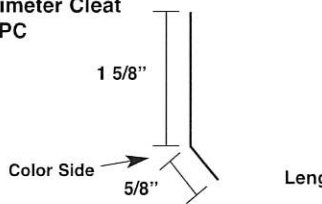
Lengths:
10' - 3"
20' - 3"

Eave Drip/Rake Trim*
MDED3



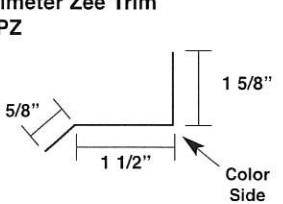
Lengths:
10' - 3"
20' - 3"

Perimeter Cleat
MDPC



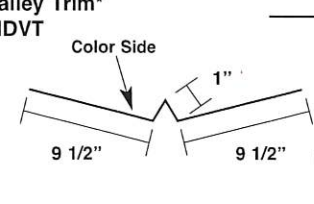
Lengths:
10'

Perimeter Zee Trim
M2PZ



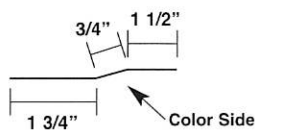
Lengths:
10'

Valley Trim*
MDVT



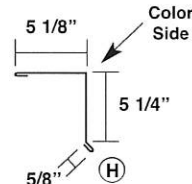
Lengths:
10' - 3"
20' - 3"

Offset Cleat
MDOF



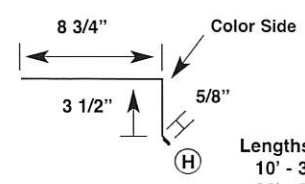
Lengths:
10'

Rake Trim
M2RT



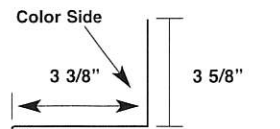
Lengths:
10' - 3"
20' - 3"

Alternate Rake Trim
MDAR



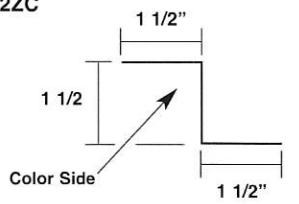
Lengths:
10' - 3"
20' - 3"

Rake Tie-In Trim
MDEW



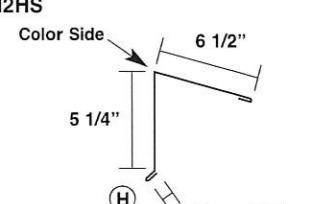
Lengths:
10' - 3"

Zee Closure
M2ZC



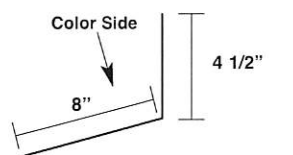
Lengths:
10'

High Side Trim*
M2HS



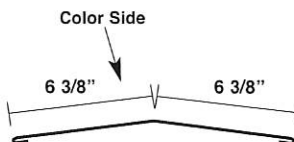
Lengths:
10' - 3"
20' - 3"

High Side Tie-In Trim*
MDSW



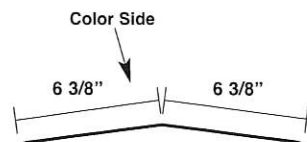
Lengths:
10' - 3"

Hip Flashing*
MDHF



Lengths:
10' - 3"
20' - 3"

Ridge Flashing*
MDRF



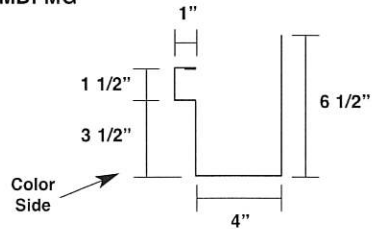
Lengths:
10' - 3"
20' - 3"

MEDALLION II

TRIM

24 GA

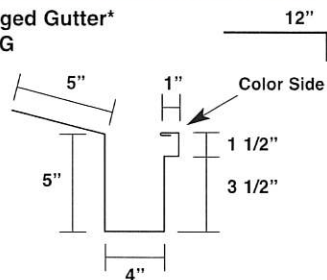
**Face Mounted Gutter MDFMG



**Snow guards required to prevent damage caused by sliding snow.

Lengths:
10' - 3"
20' - 3"

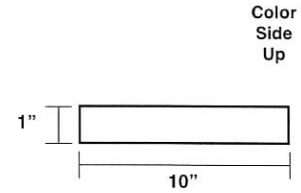
**Flanged Gutter* MDFLG



**Snow guards required to prevent damage caused by sliding snow.

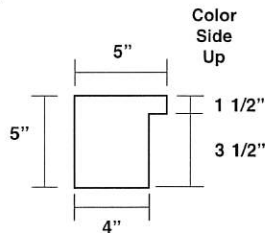
Lengths:
10' - 3"
20' - 3"

Gutter Strap MD-GS



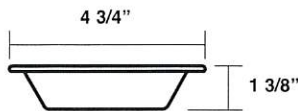
Lengths:
10"

Gutter End Cap MDGEC

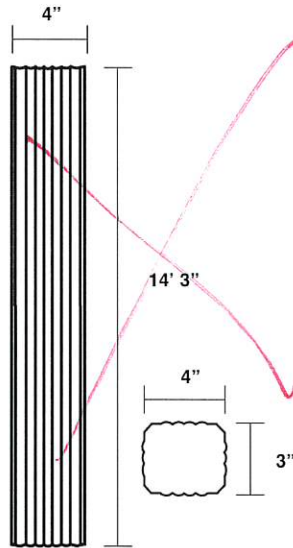


26 Ga.

Aluminum Downspout Outlet BBPOUT

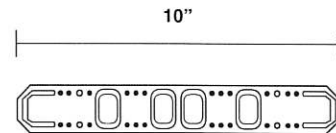


Downspout 3" x 4" 26 Ga. = BBPDS



Lengths:
14' - 3"

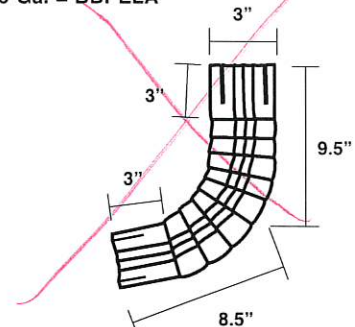
Downspout Strap BBPDSS



Only available in 26 Ga.

Lengths:
10"

3" x 4" Downspout Elbow A-Style 26 Ga. = BBPELA



29 Ga. only available at the Marshall and Lewisport locations.

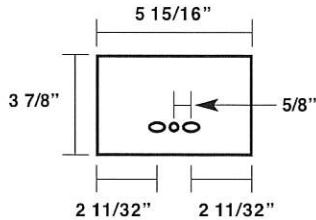
Notes:

MEDALLION I & II

ACCESSORIES

26 GA

Bearing Plate
Item #: 94599 Primed
Item #: 203541 Galvanized



#9 - 15 x 1" Woodgrip
W/O Washer - Plain
Item #: 36115



1/4 - 14 x 1 1/4" TEK 2
W/O Washer - Plain
Item #: 10969



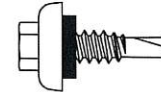
#10 - 12 x 1" Type A
Pancake Head
Woodgrip
Item #: 36116001



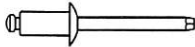
#10 - 16 x 1" TEK2
Pancake Head
Self-Driller
Item #: 36117



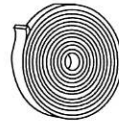
1/4" - 14 x 7/8"
LAPTEK ZAC
Self-Driller
(Part # Varies by Color)



43D Pop Rivets
(Part # Varies by Color)



Butyl Tape Sealant
3/32" x 1" x 45'
Item #: 95335



Titebond Caulk Sealant
(Part # varies by color)



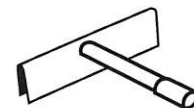
White Urethane Sealant
Item #: 95320



Sikalastomer Tube Sealant
Item #: 95342



Hemming Tool
Item #: 36120



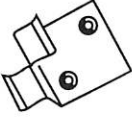
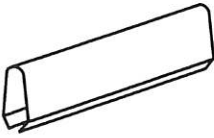
Touch-Up Paint Pen
(Part # Varies by Color)





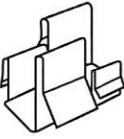
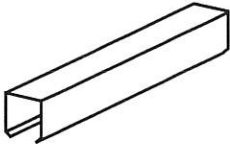
ATTACHMENT 5

MEDALLION I BATTEN and CLIP

BATTEN & CLIP		26 GA
<div>Medallion I Clip Item #: 36500</div> 	<div>Medallion I Batten</div> 	



MEDALLION II BATTEN and CLIP

BATTEN & CLIP		
<div>Medallion II Clip Item #: 36510</div> 	<div>Medallion II Batten</div> 	

Notes:



☆ MANUFACTURING LOCATIONS ● SERVICE CENTERS ★ MANUFACTURING AND SERVICE CENTER



CORPORATE OFFICE

1500 HAMILTON RD.
BOSSIER CITY, LA 71111

MANUFACTURING LOCATIONS

ADELANTO, CA	ASHBURN, GA	BOSSIER CITY, LA	CLINTON, IL	DIAMOND, MO
HOUSTON, TX	LEWISPORT, KY	MARSHALL, MI	MAUSTON, WI	MERKEL, TX
	PEACHTREE CITY, GA	SUNNYVALE, TX	WINCHESTER, VA	

McELROY METAL SERVICE CENTER

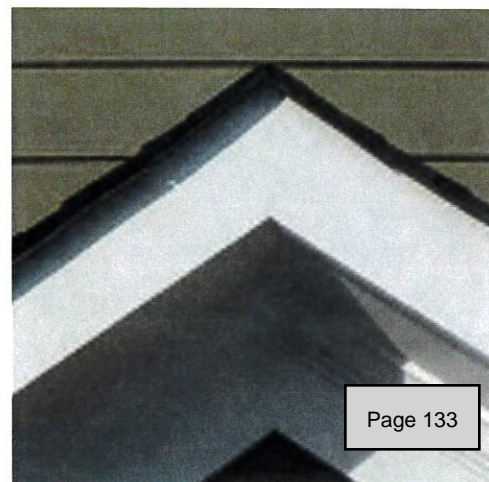
17031 Koala Road Adelanto, CA 92301	5215 Leo St. Alexandria, LA 71301	1007 Wilso Dr, Baltimore, MD 21223	1500 Hamilton Rd. Bossier City, LA 71111
3052 Yadkin Road Chesapeake, VA 23323	9476 Meadowbrook Rd. Clinton, IL 61727	3215 Highway 59 Diamond, MO 64840	390 N. Valley Dell Dr. Fenton, MO 63026
409 Lovejoy Road Ft. Walton Beach, FL 32548	3014 Lincoln Court Garland, TX 75041	1440 Aldine Bender Road Houston, TX 77032	10504 E. 59th Street Indianapolis, IN 46236
9435 US Hwy. 60 W. Lewisport, KY 42351	1020 Veterans Street Mauston, WI 53948	5123 Terminal Dr. McFarland, WI 53558	514 Cave Road Nashville, TN 37210
8304 Hwy. 70 E. North Little Rock, AR 72117	613 North Bierdeman Rd. Pearl, MS 39208	8511 Industrial Drive Pearland, TX 77584	7450 Tower Street Richland Hills, TX 76118
8200 Berry Ave. Suite 100 Sacramento, CA 95828	1365 Dean Forest Rd. Savannah, GA 31405	7355 Oakley Industrial Blvd. Union City, GA 30291	
	1144 Silstar Rd. West Columbia, SC 29170	325 McGhee Rd. Winchester, VA 22603	

Website: www.mcelroymetal.com • E-mail: info@mcelroymetal.com



Boral TruExterior® Trim

PRODUCT & INSTALLATION GUIDE



Boral Bricks



Boral Roofing



Cultured Stone® by Boral®



Boral TruExterior® Trim



Boral Limited

Boral is an international building and construction materials group, headquartered in Sydney, Australia. With annual sales over \$5.0 billion, Boral has roughly 14,000 employees working across over 580 operating sites. Boral produces and distributes a broad range of Construction Materials including quarry products, cement, fly ash, pre-mix concrete and asphalt; and Building Products including clay brick, clay and concrete roof tiles, masonry products, plasterboard, windows and timber. Boral serves customers in the building and construction industries in three key geographical markets - Australia, the USA and Asia.

Boral USA

Headquartered in Roswell, Georgia, Boral USA has been in operation for more than 30 years—with a focus on being a leading manufacturer and supplier of building products and construction materials.

- Boral USA currently holds a variety of leadership positions in the building products and construction materials markets.
- The company is active in categories that show long-term growth opportunities.
- Boral USA is a leading manufacturer and marketer of:

Boral Bricks – #1 brand of clay brick

Boral Roofing – Largest manufacturer of clay & concrete roof tiles in the U.S.

Cultured Stone® by Boral® – #1 brand of manufactured stone veneer

Boral Material Technologies – A leading marketer of fly-ash

Boral Composites - Producer of Boral TruExterior® Trim and other innovative poly-ash products

ATT L

Boral TruExterior® Trim
has created an entirely
new category of exterior
trim, bringing new levels of
performance, features, and
benefits. It truly is like no other.

A New Category of Exterior Trim

ATTN

A New Category of Exterior Trim

- The first and only Poly-ash trim product, consisting of a blend of proprietary polymers and coal combustion products (ash).
- Poly-ash composition provides consistency throughout the material with virtually no moisture cycling⁺ or expansion and contraction⁺.
- Developed with years of rigorous internal and 3rd party testing, proven with thousands of installations.
- Composed of more than 70% recycled materials.
- Boral TruExterior® Trim is a product you can trust to provide exceptional performance, superior workability and a lasting appearance for exterior applications.

An Excellent Exterior Trim Alternative

Like Wood, Boral TruExterior® Trim...

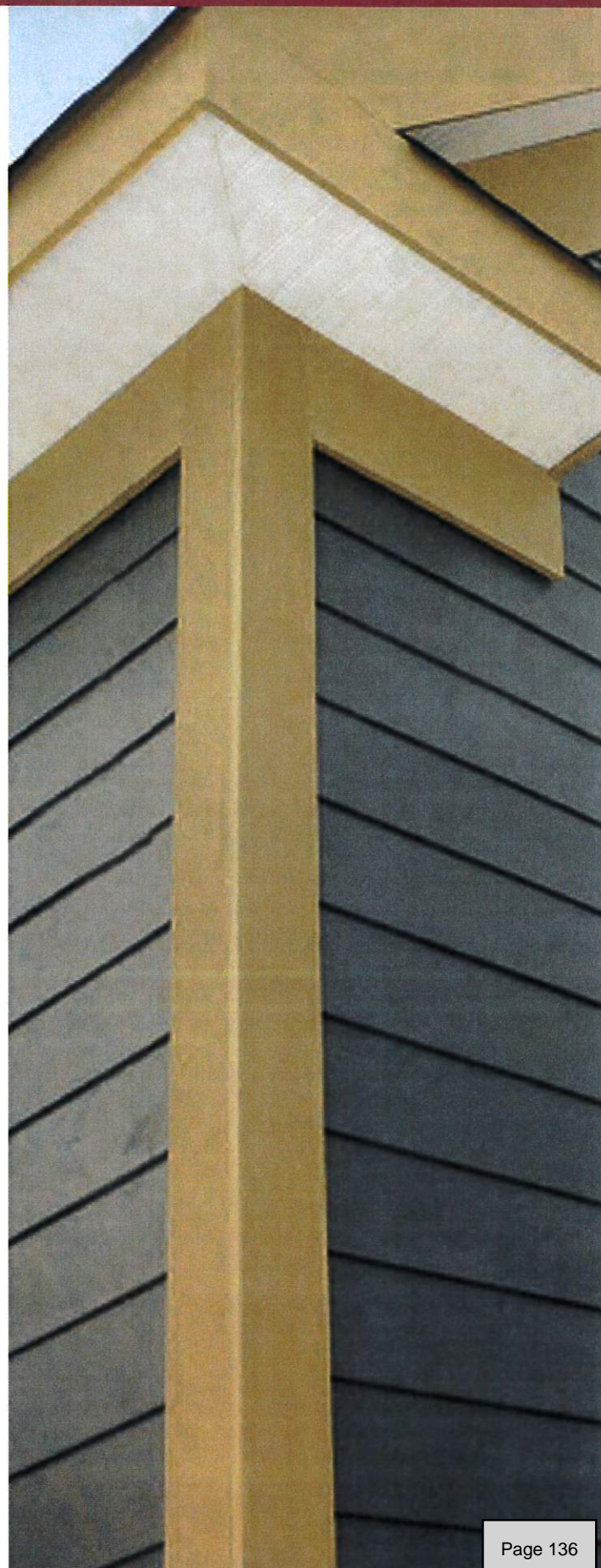
- is easy to handle (similar weight)
- is reversible with an authentic wood grain and smooth side
- is easy to cut, rout, drill and fasten
- can be installed with the same tools

Unlike Wood, Boral TruExterior® Trim...

- is a low maintenance product
- has exceptional durability
- is resistant to rotting, cracking, splitting from moisture and virtually free from termites⁺
- offers excellent workability

Unlike most other trim products, Boral TruExterior® Trim...

- maintains a high level of dimensional stability during periods of moisture and temperature change⁺
- is suitable for ground contact
- does not require end-sealing, special adhesives or other cumbersome and costly installation techniques
- can be painted any color
- contains one of the highest levels of recycled content



⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Like No Other

ATT 6

Boral TruExterior® Trim satisfies the exterior trim customer's need for a product that is:

- Easy to install
- Long-lasting, withstanding nature's elements
- Competitively priced compared to other products in the marketplace

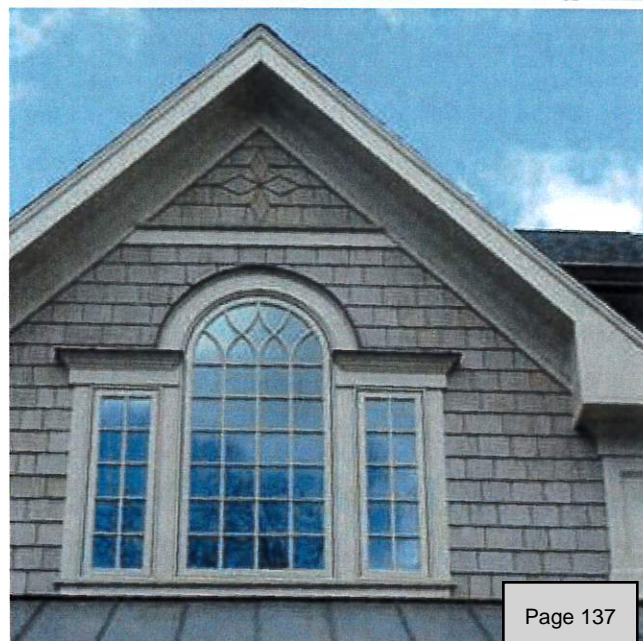
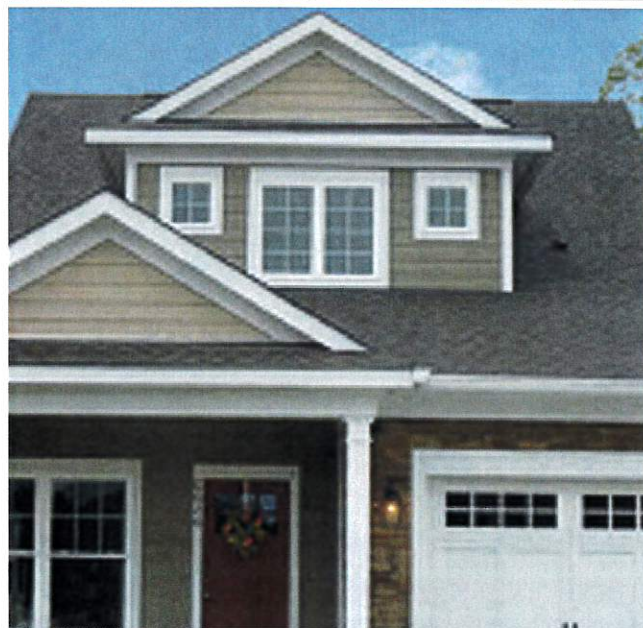
Superior Workability

Boral TruExterior® Trim is creating an entirely new category of reliable exterior trim that offers phenomenal performance, remarkable workability, and a lasting look without the limitations that plague other exterior trim products. Plus it can be installed using proven woodworking tools and methods.

Applications

Designed to be used in non-structural applications, Boral TruExterior® Trim is suited for ground contact, which makes it ideal for exterior trim applications such as:

- Corners
- Soffits
- Fascia
- Batten strips
- Frieze boards
- Rake boards
- Garage door casings
- Window surrounds
- Door trim
- Other non-structural exterior trim applications



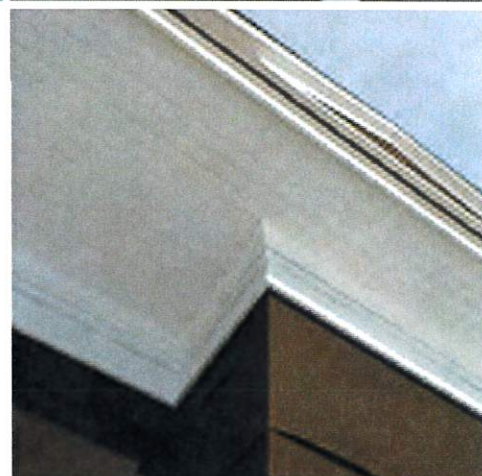
Boral TruExterior® Beadboard



Boral TruExterior® Beadboard

Complimenting the 1x and 5/4 profiles, Boral TruExterior® Beadboard offers the traditional look of wood beadboard without the problems that plague wood products, such as rotting, cupping and twisting. Boral TruExterior® Beadboard can be installed in either parallel, perpendicular, or diagonal directions. And its high level of dimensional stability[†] allows fastening up to 24" on center without the need for additional support backing.

Boral TruExterior® Beadboard is designed for non-structural applications and is ideal for soffits, porch ceilings, decorative wall applications and other moisture-prone areas.



Boral TruExterior® Beadboard Facts

- Maintains high level of dimensional stability[†]
- No need to prime end or field cuts
- Easily accepts paint of any color
- Reversible edge & center bead and V-groove profiles
- Workability exceeds wood beadboard
- Resists rot and termite attacks[†]
- Installs with standard woodworking tools and methods
- No cracking or splitting from moisture
- Accepts a wide variety of fasteners
- Spans up to 24" on center and can be ran parallel to the house for soffit applications
- Made in the USA
- 20-year limited warranty



[†]Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Boral TruExterior® Trim

ATT 6

Available Sizes

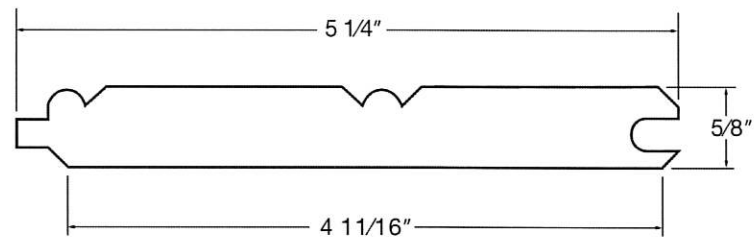
Boral TruExterior® Trim is reversible with wood grain on one side and a smooth finish on the reverse. It comes in 16' lengths and is available in both 4/4 and 5/4 thicknesses (3/4" and 1" actual, respectively).

4/4 Nominal Thickness <i>nominal size</i>	3/4" Actual Thickness <i>actual size</i>	5/4 Nominal Thickness <i>nominal size</i>	1" Actual Thickness <i>actual size</i>	2" Nominal Thickness <i>nominal size</i>	1 1/2" Actual Thickness <i>actual size</i>
1 x 4	3/4" x 3 1/2"	5/4 x 4	1" x 3 1/2"	2 x 4	1 1/2" x 3 1/2"
1 x 5*	3/4" x 4 1/2"	-	-	-	-
1 x 6	3/4" x 5 1/2"	5/4 x 6	1" x 5 1/2"	2 x 6	1 1/2" x 5 1/2"
1 x 8	3/4" x 7 1/4"	5/4 x 8	1" x 7 1/4"	2 x 8	1 1/2" x 7 1/4"
1 x 10	3/4" x 9 1/4"	5/4 x 10	1" x 9 1/4"	2 x 10	1 1/2" x 9 1/4"
1 x 12	3/4" x 11 1/4"	5/4 x 12	1" x 11 1/4"	2 x 12	1 1/2" x 11 1/4"

*Subject to regional availability.

Beadboard Product Dimensions

Nominal Dimensions	Actual Dimensions
5/8 x 6 x 16	5/8" x 5 1/4" x 16'



The Exterior Trim Landscape

ATT 6

Boral TruExterior® Trim compared to Other Trim Options

	BORAL TRUEXTERIOR® TRIM	WOOD TRIM	CELLULAR PVC TRIM	FIBER CEMENT TRIM	ENGINEERED/ COMPOSITE TRIM
No Special Tools Required	•	•	•		•
Easily Routed	•	•	•	✓	✓
Consistent Density	•		✓	•	
Fasten Close to Edge of Product	•		•		
Readily Accepts Wide Variety of Fasteners	•	✓	✓		
No Special Paint Needed For Light or Dark Colors	•	•		•	•
No Additional Safety Precautions Needed While Cutting	•	•	•		•
Installs the Same Way at All Temperatures	•	•		•	•
No Need to Prime End or Field Cuts	•		•		
No Need for Adhesives to Limit Movement	•	•		•	•
Dimensionally Stable After Installation ⁺	•	✓		•	
Suitable for Ground and Masonry Contact	•		•		
No Cracking or Splitting from Moisture ⁺	•		•	✓	✓
Resistant to Fungal Decay ⁺	•		•		
Over 70% Recycled Content ⁺	•				
Made in the USA	•	✓	✓	✓	✓

● All in Category ✓ Some in Category

⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

The Sustainable Solution

ATT 6

In the U.S., Boral continues the company's mission of being a leader in sustainability by engaging in such areas as alternative fuel sources and waste water management systems.



- Boral is committed to global environmental stewardship, which is reflected in Boral TruExterior® Trim – the first and only exterior trim product to be awarded a Cradle to Cradle certification (C2C). C2C is a multi-attribute, eco-label that assesses a product's safety to humans, environment and design for future life cycles. Within the terms of the certification program, this means pursuing the following ideals:
 - Using material that is safe for human health and the environment
 - Designing products and systems for material recovery and reutilization, such as recycling or composting
 - Using renewable energy
 - Efficiently using water and realizing maximum water quality associated with production
 - Instituting strategies for social responsibility

For more information on Cradle to Cradle Certification, please visit www.C2Ccertified.com

Cradle to Cradle Certified™ is a certification licensed by the Cradle to Cradle Products Innovation Institute.



- Boral TruExterior® Trim boasts the highest recycled content among all exterior trim products with a SCS Global Certified minimum 70% recycled content. The SCS Recycled Content certification is designed to help manufacturers make credible claims about their products by increasing the use of recycled materials which reduces solid waste and natural resource consumption. All claims are certified in accordance with U.S. Federal Trade Commission's Guides for the Use of Environmental Marketing.

For more information on SCS Global, please visit www.SCSglobalservices.com



- Coal Combustion products are endorsed by the U.S. Green Building Council for use in construction materials.

For more information on the U.S. Green Building Council, please visit www.USGBC.org

- Boral TruExterior® Trim is produced in a state of the art LEED Silver Certified facility in East Spencer, NC.



Warranty

ATL

This express Limited Product Warranty ("Warranty") covers performance of trim product ("Trim Product") manufactured by Boral Composites Inc. ("BCI"). This Warranty extends only to the original owner of the structure in which the Trim Product is installed ("Qualified Owner").

BCI warrants to the Qualified Owner that each Trim Product will be free from manufacturing defects such that the Trim Product: 1) will not decay due to rot; 2) will not excessively swell from moisture; and 3) will resist termite damage in each case to the extent such properties are proven in the tests set forth in the Boral TruExterior® Trim Product Data Sheet, as amended from time to time, which is located at the www.BoralTruExterior.com website. The duration of this Warranty is twenty (20) years from the date the Trim Products were originally purchased from an approved BCI vendor. This warranty is conditioned on and subject to the additional terms and conditions set forth below.

To make a Warranty claim, the Qualified Owner must: (1) notify BCI in writing within ninety (90) days after the facts on which the claim is based become known, (2) provide BCI an opportunity to investigate and approve the claim, and (3) provide BCI an opportunity to inspect and test the Trim Product, its installation, and the environment in which it was used prior to removal by the original purchaser. Warranty claims must be made during the duration of the Warranty. Failure to comply with these notice and inspection provisions shall void this Warranty.

If BCI finds that any of your Trim Product does not meet the Warranty set forth herein, after inspecting and testing the Trim Product, BCI will furnish at its sole option new Trim Product, free of charge, to replace each defective area of Trim Product or refund the purchase price of the defective Trim Product. These remedies are the Qualified Owner's exclusive remedies for breach of warranty. BCI shall not be responsible for labor costs and shall not be liable for any other losses or damages.

Specific Exclusions: This Warranty does not cover (a) damage to the Trim Product caused during installation; (b) Trim Product not installed in accordance with appropriate local building codes and acceptable trade practices in that specified area; (c) damage caused due to failure to follow painting guidelines provided by BCI; (d) intentional or unintentional misuse of or damage to the Trim Product; (e) damage to Trim Product or structure caused by impact of foreign objects, earthquakes, fire, flood, lightning, ice, tornado, hurricane, windstorm, or any other Acts of God; (f) movement, settlement, distortion, warping or cracking of the Trim Product's structural supports or accessories used in connection therewith; (g) physical abuse, vandalism, riot, insurrection, improper maintenance, use of incompatible accessories; (h) color fading, color changes or variations of

the color hue or physical deterioration of the color for any reasons including, but not limited to pollution, mold, mildew, acid rain, weathering, oxidation, air pollutants, or application of harmful chemicals or vapors to the Trim Product. This Warranty also does not cover trim manufactured by others, accessory materials, or installation labor provided by others.

This is the entire Warranty between BCI and the Qualified Owner with respect to Trim Product. This Warranty supercedes all prior and contemporaneous agreements, representations, or understandings, whether oral or written, relating to Trim Products. Statements contained in BCI's advertising materials do not constitute a warranty. THIS WARRANTY IS THE SOLE WARRANTY GIVEN BY BCI WITH RESPECT TO THE TRIM PRODUCTS. BCI DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU. IF YOU LIVE IN A STATE WHERE THE DISCLAIMER OF IMPLIED WARRANTIES IS NOT ALLOWED, THEN THE DURATION OF ANY IMPLIED WARRANTY IS HEREBY LIMITED TO THE DURATION OF THE EXPRESS WARRANTIES. OTHERWISE, THIS WARRANTY IS THE QUALIFIED OWNER'S SOLE AND EXCLUSIVE REMEDY.

BCI reserves the right, in its sole discretion, to modify or withdraw this Warranty, in which event this Warranty will not be applicable to any purchases of Trim Products that occur after the date of modification or withdrawal.

BCI shall in no event be liable under any circumstances for incidental, punitive, consequential, exemplary or other damages, or for any damages to any structure or its contents or its occupants, whether any such claim is based upon theories of contract, warranty, negligence, tort, strict liability or otherwise. This express Warranty excludes all costs of labor, installation, reinstallation, freight, taxes or any other charge related to defective Trim Product. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation may not apply to you.

This Warranty gives the Qualified Owner specific legal rights, and the Qualified Owner may have other rights which may vary from state to state.

For further information concerning this Warranty or to report claims, contact:

Boral Composites Inc.
Attention: Director of Sales and Marketing
200 Mansell Court East, Suite 305
Roswell, Georgia 30076

Installation Guidelines

ATTN

The following information offers typical installation techniques when working with Boral TruExterior® Trim. This product should never be used in structural or load bearing applications. These directions are guidelines. As with installing any building material, care should be taken to adhere to local code requirements and construction best practices to ensure installation is adequate for each specific application.

Storage and Handling

Boral TruExterior® Trim should be stored on a flat, level surface. Pallets are shipped from the manufacturing facility in a protective covering and each board has a factory applied primer, so care should be taken to keep the board covered and free of dirt and debris. If the board gets dirty, make sure to clean and dry it prior to painting.

Working With Boral TruExterior® Trim

This product is an excellent replacement for wood trim and can be installed using proven woodworking tools and methods. For ease of use, consider the following before working:

- **Cutting** – Boral TruExterior® Trim can be cut using standard saw blades. However, for longer tool life carbide tipped blades are recommended.
- **Routing & Drilling** – Boral TruExterior® Trim can be drilled and routed using standard woodworking tools, but a carbide tipped router and drill bits are recommended.
- **Fastening**
 - Use fasteners designed for exterior trim and siding
 - Use 2 fasteners per every framing member and 3 fasteners for all 12" wide boards.
 - Fasteners should be installed every 24" OC or less. For best results, place fasteners within 2" of the edge of each board.

For 2x applications:

- Use a fastener that is long enough to penetrate a solid wood substrate a minimum of 1 1/2"
- Fasteners should penetrate a framing member. Sheathing alone may not provide adequate support or holding power.
- **Safety** – In working with any product that may cause airborne debris such as nuisance dust, be sure to take proper measures to protect against eye and inhalation hazards.

Standard nail guns and screws can be used to install Boral TruExterior® Trim as it takes a variety of fasteners with ease and does not mushroom at the screw head nor require pre-drilling.

Boral TruExterior® Trim is a non-structural building material and should never be used in load-bearing or structural applications. Fasteners should be installed every 24" OC or less. For best results, be sure to place fasteners within 2" of the end of every board. Proper care should be taken to understand the desired application and ensure that proper framing and fasteners are adequate for the installation.

Expansion and Contraction – Boral TruExterior® Trim is very stable* during periods of temperature and moisture change; no special precautions are necessary to control or limit movement.

Use at Grade – Since Boral TruExterior® Trim is virtually impervious to water absorption, termite attacks and won't rot*, it is approved for ground contact.

Nail Holes and Repair – Filling nail and screw holes or repairing any minor damage caused by handling may be done using high-grade acrylic caulk or wood fillers.

Painting Boral TruExterior® Trim is a requirement, and failure to do so will void the warranty. As in preparing for any painting project, be sure the surface of the product is free of dirt, debris or other contaminants prior to paint application. Boral TruExterior® Trim can be painted using any high grade exterior paint. Make sure to follow the paint manufacturer's application recommendations.

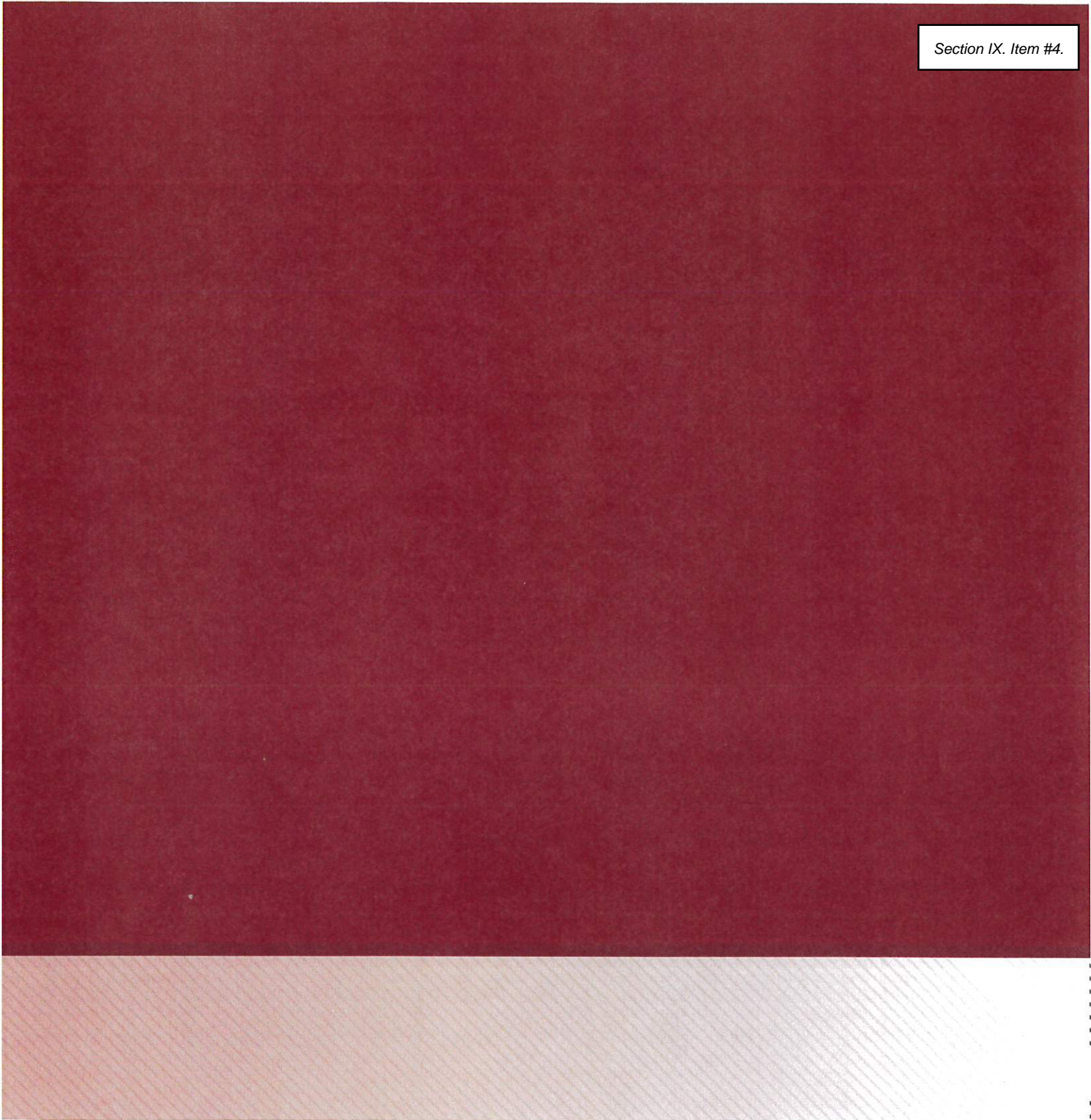
More information can be found in Boral's technical bulletin for paint or in the product warranty. Both documents can be found at www.BoralTruExterior.com.

Boral TruExterior® Trim may be painted any color without special precaution as the product is not prone to excessive movement due to heat buildup.*

Boral TruExterior® Trim is virtually impervious to moisture*, so there is no need to prime or paint end-cuts or field-cut edges.

Moisture cycling is a primary cause for paint failure on wood products. Since Boral TruExterior® Trim is resistant to this moisture cycling*; paint will perform better.

*Please see the Boral TruExterior® Trim Product Data Sheet at www.BoralTruExterior.com for property test results.

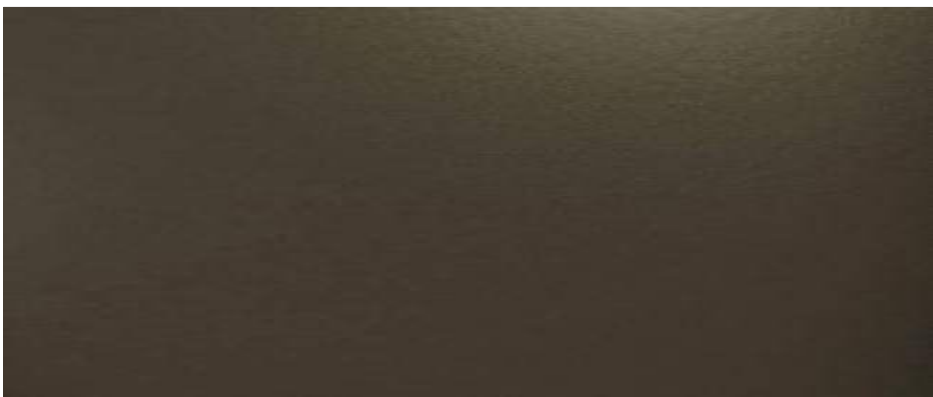


Download a QR
Code reader app for
your smartphone,
then take a photo to
visit our website



METAL ROOF

PATRICIAN BRONZE



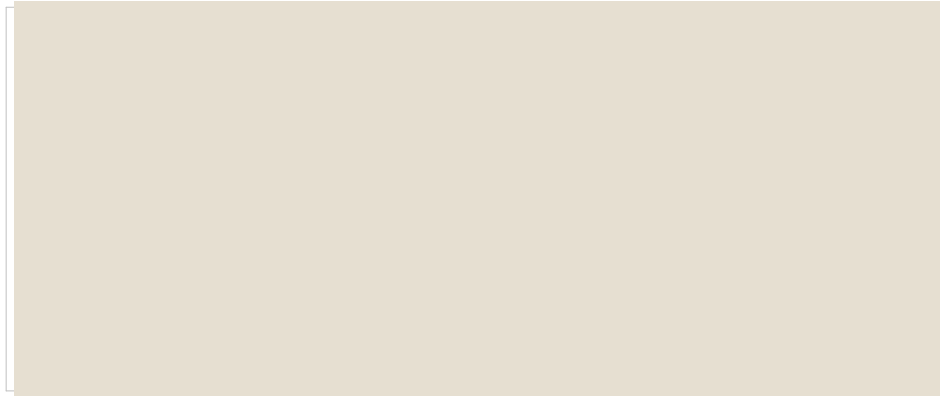
SHINGLE ROOF

CERTAINTED - WEATHERED WOOD



SIDING

DURON - AUNT BETTY'S CHINA - DCR101



COLUMNS, TRIM, FASCIA

SHERWIN WILLIAMS - SW 7005 - PURE WHITE
DURON - AUNT BETTY'S CHINA - DCR101



WINDOWS

BRONZE (DARK)



DOORS

MAHOGANY STAIN



FOUNDATION/BRICK/PAVERS

TABBY STUCCO
SAVANNAH GREY WITH IVORY BUFF MORTAR



SHUTTERS

DURON - DCR090 - TRADD STREET GREEN



FENCE

DURON - DCR099 - HISTORIC CHARLESTON GREEN



SEWELL RESIDENCE

26 TABBY SHELL ROAD, TABBY ROADS, BLUFFTON, SC 29910
PROPOSED EXTERIOR MATERIALS & COLORS
12/06/2023

HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

Dec 2, 2023

Ashley Hoffman on behalf of David and Susan Sewell
Lot 14, Tabby Roads
26 Tabby Shell Rd
Bluffton, South Carolina 29910

Dear Applicants,

This letter shall serve as approval with conditions for the planned build on 26 Tabby Shell Road. Plans within the following files titled are the basis for this approval:

26 Tabby Road.Sewell Residence.Final HARB Application.Signed.pdf, 26 Tabby Shell Road.Sewell Residence.Revised Final HARB Review.Architectural Drawings.pdf, 26 Tabby Shell Road.Sewell Residence.Revised Final HARB Review.Cover Letter.pdf, 26 Tabby Shell Road.Sewell Residence.Revised Final HARB Review.Colorboard.pdf, & 26 Tabby Shell Road.Sewell Residence.Revised Final HARB Review.Landscape Drawings.pdf

This approval is based upon the following items of clarification:

- The committee has decided against allowing the mixing of different brick/paver colors in close proximity to one another on the front elevation. The walkway on the front elevation must be either all savannah grey brick matching the steps and porch lining or tabby stucco covered concrete matching the existing sidewalk.

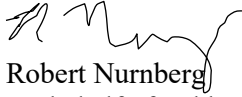
HARB is recommending you consider the following suggestions. Please note that the following are suggestions and not hard change requirements.

- It is recommended that either a different paver color or an alternate design be considered to separate the savannah grey brick and cocoa pavers. It is the opinion of the committee that these two tones together are not aesthetically pleasing.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. Additionally, no work shall commence on the project until building permits have been obtained for the structure.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Nurnberg', with a stylized, cursive script.

Robert Nurnberg

On behalf of Tabby Roads HARB

Cc: Katie Peterson, Town of Bluffton

Ashley Huffman

From: Robert Nurnberg <nurnbergs4440@gmail.com>
Sent: Monday, December 4, 2023 8:42 AM
To: David Sewell
Cc: Ashley Huffman; DAVID SEWELL; William Court
Subject: Re: Revised Approval Letter

That is a great idea! I will forward to the rest of the committee. I am 100% confident they will support that design direction (so unless you hear back from me consider this as your approval).

On Mon, Dec 4, 2023 at 8:31 AM David Sewell <dhsewell168@gmail.com> wrote:

Rob,

Thank you for the quick turnaround on the response.

Susan and I are fine with changing the front walkway to tabby concrete to match the sidewalk. We would like to add a Sav Grey brick/Ivory Buff mortar border to that small portion of sidewalk; will be the best of both worlds.

David

Sent from my iPhone

Begin forwarded message:

From: David Sewell <dhsewell168@gmail.com>
Date: December 4, 2023 at 8:19:30 AM EST
To: David Hampton Sewell <DHsewell@drhorton.com>
Subject: Fwd: Revised Approval Letter

Sent from my iPhone

Begin forwarded message:

From: Robert Nurnberg <nurnbergs4440@gmail.com>
Date: December 4, 2023 at 7:17:21 AM EST
To: Ashley Huffman <ashley.huffman@courtatkins.com>, Susan Sewell <dhsewel@aol.com>, David Sewell <dhsewell168@gmail.com>
Cc: "Peterson, Katie" <kpeterston@townofbluffton.com>
Subject: Revised Approval Letter

Please see your attached revised approval with conditions letter for your proposed project at 26 Tabby Shell Rd. There is still one small item to be addressed involving a small change to the front walkway. I don't know if this meets the bar of a change to "building elements" or not. It really has to do more with the colors selected more than anything else. Hopefully you can move forward and still avoid what Katie refers to as the "circle of doom" but that is something you will have to discuss with her. Let us know if you have any questions or concerns.

R. Nurnberg
Tabby Roads HARB member

ATTACHMENT 8

505-835-9091

Section IX. Item #4.



ATTACHMENT 9

PLAN REVIEW COMMENTS FOR COFA-10-23-018547

Section IX. Item #4.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 10/09/2023
Plan Status: Active **Plan Address:** 26 Tabby Shell Rd Road
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1194 0000
Plan Description: A request by William Court, on behalf of the owners, David and Susan Sewell, for the review of a Certificate of Appropriateness - HD for the construction of a new two-story single-family residential structure of approximately 2,477 SF and a new two-story Carriage House of approximately 900 SF to be located at 26 Tabby Shell Road, Lot 14 in the Tabby Roads development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.
Status 10.23.2023: The Conceptual application is being reviewed and has been placed on the November 6, 2023 HPRC Agenda for review.

Staff Review (HD)

Submission #: 1 Received: 10/09/2023 Completed: 11/01/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	11/01/2023	Katie Peterson	Approved with Conditions

Comments:

1. Proposing the removal of two trees within the recorded conservation easement is not permitted. Further the home is placed within the easement. Relocate the house outside the easement area and provide tree protection fencing around the area.
2. A determination on the use of Borl as column material is required by the HPC.
3. Provide wood composite detail at final for HPC Determination as there is not enough information to make a determination at this time.
4. At time of final submittal, approval letter from HARB must be provided.

HPRC Review	11/01/2023	Katie Peterson	Approved with Conditions
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Comments:

1. At time of final, provide a section through the eave showing the materials and configuration, a corner detail, water table detail, service yard material, shutter detail and shutter dog profile, type and finish for all exterior doors.
2. On Sheet A3.0, the dormer roofs look to be higher than the plate height listed on the front elevation and seem a bit too tall proportionately.
3. Consider lowering the top of the water table at the main house to align with the first floor finish height, as this would match what would have been done historically.
4. Consider using standing seam metal for all 3:12 sloped roofs for long-term water management.

Watershed Management Review	10/26/2023	Samantha Crotty	Approved with Conditions
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Comments:

1. Grading plans will be reviewed formally at time of buildings permit submittal. Ensure invert elevations on all inlets are provided at that time.

Beaufort Jasper Water and Sewer Review	10/31/2023	James Clardy	Approved
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Comments:

1. No comments.

Building Safety Review	10/18/2023	Richard Spruce	Approved
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ATTACHMENT 9

Comments:

9 Oct 23 - RAS

Service yard not large enough to provide the 30 x 30 inch clearance on the control side of each compressor per IRC section 1305.1.

Section IX. Item #4.

Transportation Department
Review - HD

10/09/2023

Megan James

Approved

Comments:

No comments

Plan Review Case Notes:

HISTORIC PRESERVATION COMMISSION

STAFF REPORT
Growth Management Department



MEETING DATE:	January 3, 2024
PROJECT:	Discussion Regarding Amendments to the Town of Bluffton’s Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance Related to Contributing Resources and Architectural Standards in Old Town Bluffton Historic District, Specifically Article 3 –Sec. 3.18 (Certificate of Appropriateness-Historic District), Sec. 3.19 (Site Feature-Historic District Permit) and Sec. 3.25 (Designation of Contributing Resources); Article 5 – Design Standards, Sec. 5.15 (Old Town Bluffton Historic District); and, certain terms in Article 9 – Definitions and Interpretations, Sec. 9.2 (Defined Terms).
PROJECT MANAGER:	Charlotte Moore, AICP Principal Planner

REQUEST: Discussion to seek input regarding potential amendments to the Town of Bluffton Code of Ordinances, Chapter 23 – Unified Development Ordinance (UDO) relating to contributing resources and architectural standards in Old Town Bluffton Historic District. For UDO amendments, the HPC serves in an informal advisory capacity to the Planning Commission and Town Council. As such, no votes will be taken on these amendments.

HISTORY: These amendments were previously discussed by the HPC on March 1, 2023, recommended for approval by the Planning Commission on April 26, 2023 with a couple of modifications, approved by Town Council on first reading (July 11, 2023), and subsequently withdrawn by Town Council at the public hearing/final reading held on September 12, 2023.

Given lengthy discussion regarding some of the Old Town Bluffton Historic District preservation and parking-related amendments at the public hearing, it was determined that further discussion at a joint Town Council-Planning Commission meeting in January, 2024 might be in order. This resulted in the amendments being withdrawn rather than continued. With additional information since the public hearing, as well as a joint Town Council-Planning Commission meeting held earlier this year to discuss these same amendments (among others), it was determined that a joint meeting would be unnecessary. Town staff has made some minor additional amendments, including minor reformatting.

BACKGROUND: From time to time, amendments to the UDO are necessary to address insufficient procedural processes and standards that are inadequate or that may allow development that is inconsistent with Old Town Bluffton’s traditional development. To address this, amendments to the following sections are proposed:

Article 3 – Sec. 3.18: Certificate of Appropriateness – Historic District and Sec. 3.25: Designation of a Contributing Resource;

Article 5 – Design Standards, Sec. 5.15: Old Town Bluffton Historic District and Sec. 5.15.8.F. (et al): Carriage House Building Form, Sheds & Garden Structures; and,

Article 9 – Definitions and Interpretations, Sec. 9.2: Terms.

Procedurally, amendments are proposed to provide for a process to remove the “contributing” status for a contributing resource to the Old Town Bluffton Historic District. Additionally, amendments are proposed to provide processes to potentially relocate and demolish contributing and non-contributing structures within the district.

Amendments are also proposed to revise front build-to zones for certain building types on the Neighborhood Center-HD and Neighborhood Core-HD districts, to add or update definitions, and correct typos.

In addition, changes to standards for gardens structures, sheds and carriage houses are proposed. Presently, the UDO is silent regarding accessory structures that are between 121 square feet and 249 square feet. Any accessory structure less than 121 square feet is a “garden structure,” and any accessory structure greater than 249 square feet is a “carriage house” building type (which could be a stand-alone accessory dwelling, garage, or combination thereof). The amendments are proposed to close this gap, including providing necessary definitions. Amendments to the Carriage House building type are also proposed to update the characteristics of this building type.

SUMMARY: Town Staff will present this item for discussion only. Input from the Historic Preservation Commission will inform the recommendation to the Planning Commission.

ATTACHMENTS:

1. Proposed Amendments

3.18 Certificate of Appropriateness – Historic District (HD)

Multiples changes are proposed for Sec. 3.18. An explanation of the proposed change is provided for each sub-section.

3.18.1 Intent

Proposed Change: This sub-section has been restructured so that the intent no longer reads as “criteria,” which is found in Sec. 13.8.3. Most of the content has been retained.

~~This Section is intended to provide procedures and standards to facilitate the review of Certificate of Appropriateness Applications within the Old Town Bluffton Historic District (HD) designated zoning districts. Review of Certificate of Appropriateness Applications HD shall consider the following objectives:~~

~~A. Maintenance of the educational, cultural and general welfare of the public through the preservation, protection and enhancement of Historic Resources and Old Town Bluffton Historic District;~~

~~B. Maintenance of Contributing Resources as visible reminders of the history and cultural heritage of the Town of Bluffton as well as the Lowcountry region in accordance with the standards set forth in the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings; and~~

~~C. Ensure that proposed activities foster the development of quality and innovative designs that respect and complement the eclectic character of the Old Town Bluffton Historic District.~~

This Section provides procedures and criteria to facilitate the review of Certificates of Appropriateness – Historic District (HD) applications within Old Town Bluffton Historic District (HD) zoning districts. The COFA-HD ensures that the historic, cultural, and general welfare of Old Town Bluffton Historic District is protected and preserved and that infill development that respects and complements the character of the district is fostered.

3.18.2 Applicability

Proposed Change: The section has been reformatted to identify criteria specific to new construction and alterations vs. criteria specific to contributing resources. Additionally, to avoid conflict between Development Plans and Certificate of Appropriateness-HDs during the approval process, we are clarifying the order of submittal. Doing so should streamline the process and prevent undue delays, un-approvable plans, and should reduce the number of conditions associated with the COFA review as it is brought before the HPC.

~~3.18.2 Applicability Except for the removal or replacement of an existing manufactured home, no structure located within a HD designated zoning district or constructed 50 or more years ago within the limits of the Town, may be erected, renovated, demolished, relocated or removed, in whole or in part, nor may the exterior architectural character of such structure be altered until a Certificate of~~

~~Appropriateness HD has been issued for the project. The Historic Preservation Commission shall review applications for a Certificate of Appropriateness HD for any activity which:~~

- ~~A. Increases the area of the structure or building footprint;~~
 - ~~B. Results in the cutting away of any exterior wall, partition, or portion thereof;~~
 - ~~C. The removal or cutting of any structural beam or load-bearing support or the removal or change of any required means of egress;~~
 - ~~D. Changes in fenestration location;~~
 - ~~E. Requires a development plan or demolition permit;~~
 - ~~F. Results in the alteration of the exterior architectural character; and,~~
 - ~~G. Is not otherwise able to be reviewed through a Site Feature Permit HD.~~
- ~~3.18.3 Application Review Criteria Any application for a Public Project located in the Old Town Bluffton Historic District shall be reviewed "for comment only" by the Historic Preservation Commission (HPC) using the criteria in Section 3.18 Certificate of Appropriateness — Historic District (HD). The UDO Administrator will maintain approval authority and may consider the comments of the HPC. The application shall not require a Certificate of Appropriateness HD to proceed.~~

A. The Historic Preservation Commission shall review applications for a Certificate of Appropriateness-HD for new construction, alterations, relocation, or demolition of structures and other activities as may be described herein and that are not otherwise able to be reviewed through a Site Feature-Historic District Permit.

Except for the replacement or demolition of an existing manufactured home, no structure located within Old Town Bluffton Historic District can be constructed, altered, relocated, or demolished, in whole or in part, without an approved Certificate of Appropriateness-HD.

B. Any application for a Public Project located in Old Town Bluffton Historic District shall be reviewed "for comment only" by the Historic Preservation Commission using the criteria in this Section. The UDO Administrator will maintain approval authority and may consider the comments of the Historic Preservation Commission. The application shall not require a Certificate of Appropriateness-HD to proceed.

3.18.3 Application Review Criteria New Construction and Alterations

Proposed Change: This sub-section has been reformatted to identify criteria specific to new construction and alterations, including criteria specific to contributing resources. Presently, the review criteria are intermingled and some are not applicable (e.g., applying Secretary of Interior standards to new construction). Other substantive changes include requiring an approved Final Development Plan, Subdivision plan and other agreements, as applicable, to avoid potential multiple COFA reviews when those plans and agreements are in the review process. Improvements have also been made to existing criteria.

The Historic Preservation Commission shall consider the following criteria in assessing an application for Certificate of Appropriateness HD:

~~A. Consistency with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings;~~

~~B. Consistency with the principles set forth in the Old Town Bluffton Master Plan;~~

~~C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards;~~

~~D. The nature and character of the surrounding area and consistency of the resource with the scale, form and building proportions of the surrounding neighborhood;~~

~~E. Preservation of the existing building's historic character and architecture;~~

~~F. The historic, architectural, and aesthetic features of the resource including the extent to which its alteration or removal would be detrimental to the public interest;~~

~~G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider: 1. The existing and historical ownership and use and reason for requesting demolition; and 2. Information that establishes clear and convincing evidence that: a. The demolition of the structure is necessary to alleviate a threat to public health or public safety; and b. No other reasonable alternatives to demolition exist; and c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property;~~

~~H. The application must comply with applicable requirements in the Applications Manual.~~

To maintain the character of Old Town Bluffton Historic District, new construction and alterations shall be consistent with the standards, criteria and guidelines developed for the district. The Historic Preservation Commission shall consider the following criteria in its consideration of an application for a Certificate of Appropriateness-HD for new construction and alterations:

1. Consistency with applicable principles set forth in the *Old Town Bluffton Master Plan* and *Town of Bluffton Comprehensive Plan*;
2. Conformance with the approved Final Development Plan, Subdivision Plan, and any other agreements or plans that are applicable;
3. Conformance with applicable provisions in Article 5, Design Standards;
4. Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable;
5. Compliance with applicable requirements in the Applications Manual.

In addition to 1-5 above and as applicable, the Historic Preservation Commission shall consider the following criteria for a Contributing Resource:

6. Compliance with the *U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures*;
7. Demonstration that historic architectural features will be preserved to maintain the resource as a Contributing Resource to the Old Town Bluffton Historic District. Additions shall not destroy any

features that characterize the Contributing Resource. New work shall be differentiated from and be compatible with the size, scale, material, and character of the property and surroundings.

8. Demonstration that any new additions will be undertaken in such a manner that the essential form and integrity of the structure would be unimpaired if such additions were to be removed in the future; and,
9. In the case of a Contributing Resource approved for relocation, the Historic Integrity shall be maintained to the greatest extent possible, including siting the relocated structure as close to the original site as possible, in a setting similar to its historic placement including building orientation setback from the street, and lot coverage. The new foundation shall match the original foundation in height, design, and materials to the extent possible.

3.18.4 Demolition of a Contributing Structure Relocation

Proposed Change: This is a new section to provide specific and improved criteria for the relocation of any structure—contributing resource or not—within, into or out of the Old Town Bluffton Historic District.

~~A. In addition to the Application Review Criteria set forth in Section 3.18.3, in reviewing and recommending action on, or approving, approving with conditions, or denying, applications that include the demolition of any Contributing Structure, either in whole or in part, the Historic Preservation Commission may find that the preservation and protection of the Contributing Structure and the public interest will best be served by postponing the demolition for a designated period not to exceed 180 days. During the period of postponement, the Historic Preservation Commission shall consider what alternatives to demolition may exist and then, as appropriate, make such recommendations to Town Council and the Applicant. Such consideration by the Historic Preservation Commission shall, at a minimum, include the following:~~

- ~~1. Alternatives for preservation of the structure, either in whole or in part, including consultation with civic groups, interested private citizens, and other boards or agencies (both public and private); or,~~
- ~~2. If other alternatives for preservation cannot be identified and the preservation of a given structure is clearly in the interest of the general welfare of the community and of certain historic and architectural significance, investigation of the potential use of the power of eminent domain by the Town to acquire the property.~~

~~B. If after the postponement period has expired and an alternative for preservation has not been recommended, action regarding the application shall be taken in accordance with this Section at the next regularly scheduled Historic Preservation Commission meeting.~~

A. Non-Contributing Structures

The relocation of non-contributing structures into or within Old Town Bluffton Historic District shall be reviewed as new construction and the criteria in Sec. 3.18.3. shall be applied.

B. Contributing Resources

The relocation of any Contributing Resource is detrimental to the integrity of Old Town Bluffton Historic District and, where applicable, the Bluffton Historic District (listed in the National Register 1996), as significance of the resource is embodied in location, context, and setting, as well as the

resource itself. Relocation of a Contributing Resource may destroy the relationship between the resource and its surroundings, associations with historic events and persons, historic features (such as landscaping, foundation, chimneys), and known or potential archaeological resources. Relocation may also create a false sense of historic development. For these reasons, relocation of a Contributing Resource that is individually listed in the National Register of Historic Places, contributes to the Bluffton National Register Historic District, or that was designated as contributing to the Old Town Bluffton Historic District on or after June 19, 2007 shall not be permitted except in extraordinary circumstances.

1. The Historic Preservation Commission shall consider the following in its consideration of an application for a Certificate of Appropriateness-HD for relocation:
 - a. The reason for the relocation and evidence that one or more extraordinary circumstances exists to support relocation;
 - b. The construction date, history of ownership, development, use(s), and any other pertinent history of the Contributing Resource;
 - c. Relocation alternatives on the existing site of the Contributing Resource that were explored and why they are not feasible;
 - d. Demonstration that the proposed relocation site will approximate the historic character and development of the original location, and the proximity of the relocation site to the original location;
 - e. Demonstration through a report prepared by a State of South Carolina registered professional structural engineer with demonstrated experience in historic preservation that the structure can be relocated without irreparable harm, supported by findings. If the report finds that intact relocation is not possible, findings shall also be provided for relocation by partial or complete disassembly of the Contributing Resource for reassembly in another location without irreparable loss of Historic Integrity.
2. **Effect of Approval**

If relocation of the Contributing Resource is approved, the approval shall be conditional until the following are provided:

 - a. An approved Certificate of Appropriateness-HD for the receiving site if located within Old Town Bluffton Historic District;
 - b. An approved Final Development Plan for the receiving site, when applicable;
 - c. Compliance with the relocation and documentation guidelines approved by Town Council; and,
 - d. Compliance with applicable requirements in the Applications Manual.

3.18.5 Effect and Expiration of Approvals Demolition

Proposed Change: Provides demolition standards for both contributing and non-contributing resources.

A. Approval.

- ~~1. Following approval of an application for a Certificate of Appropriateness-HD the Applicant may apply for a building permit or any other plan approval, if applicable. In the event such additional~~

~~approvals are not applicable or necessary, the Applicant may commence the activity(ies) as authorized by the approved application.~~

~~2. Following approval of an application for a Certificate of Appropriateness HD that includes the demolition, either in whole or in part, of any Contributing Structure and prior to the commencement of any demolition activities, the Applicant shall document the structure according to the documentation standards of the Historic American Building Survey and the Historic American Engineering Record for archival purposes and submit such recording to the UDO Administrator for review and approval.~~

~~B. Expiration. Approval of a Certificate of Appropriateness HD shall expire two years from the date of its issue unless an appreciable amount of improvement or development commences and proceeds to completion in a timely and customary manner in accordance with the Certificate of Appropriateness HD.~~

A. Non-contributing Structures

The below items shall be provided by the Applicant and reviewed by the Historic Preservation Commission in its consideration of a request for demolition of any structure, in whole or in part, in Old Town Bluffton Historic District that is not designated as a Contributing Resource:

1. The construction date, history of ownership, development, use(s), and the reason for the demolition request; and,
2. Compliance with all applicable requirements in the Applications Manual.

B. Contributing Resources

The demolition of a Contributing Resource, either in whole or in part, is detrimental to the integrity and status of Old Town Bluffton Historic District and, where applicable, the Bluffton National Register Historic District, as significance of these districts is embodied by their contributing resources. Demolition of a Contributing Resource that is individually listed in the National Register of Historic Places, contributes to the Bluffton National Register Historic District, or that was designated as contributing to the Old Town Bluffton Historic District on or after June 19, 2007, shall not be permitted except in extraordinary circumstances and when all preservation alternatives have been exhausted.

1. The Historic Preservation Commission shall consider the following in its consideration of an application for a Certificate of Appropriateness-HD for demolition, either in whole or in part:
 - a. The construction date, history of ownership, development, use(s), and other pertinent history of the Contributing Resource, and the reason for the request;
 - b. A report prepared by a State of South Carolina registered professional structural engineer with demonstrated experience in historic preservation detailing the structural soundness of the Contributing Resource supported by findings, including clear and convincing evidence that demolition is necessary, in whole or in part, to alleviate a threat to public health or public safety;

- c. Evidence that demolition is required to avoid exceptional practical difficulty or undue hardship upon the owner of the property and that no other reasonable alternatives to demolition exist, including but not limited to relocation. If exceptional practical difficulty or undue hardship is claimed, evidence shall be provided to demonstrate that the applicant did not have the opportunity to discover the nature of the difficulty or undue hardship and that application of the standards would deprive the applicant of reasonable use and economic return on the property.
- d. Consistency with applicable principles set forth in the *Old Town Bluffton Master Plan* and *Town of Bluffton Comprehensive Plan*; and,
- e. Compliance with all applicable requirements in the Applications Manual.

The applicant should provide, at a minimum, the following information:

- (1) Nature of ownership (individual, business, or nonprofit) or legal possession, custody, and control;
- (2) Financial resources of the owner and/or parties in interest;
- (3) Cost of repairs;
- (4) Assessed value of land and improvements;
- (5) Real estate taxes for the previous two years;
- (6) Amount paid for the property, date of purchase, and party from whom purchased, including a description of the relationship between the owner and the person from whom the property was purchased, or other means of acquisition of title, such as by gift or inheritance;
- (7) Annual debt service, if any, for previous two (2) years received;
- (8) Any listing of the property for sale or rent, price asked, and offers received, if any;
- (9) In addition, for an income-producing property, the following information from the previous two years: the annual gross income from the property, itemized operating and maintenance expenses, and annual cash flow; and
- (10) The timeline and circumstances under which the applicant learned of the condition of the Contributing Structure which gave rise to the applicant's decision to request approval to demolish it.

2. Delay of Decision Regarding Demolition

In considering the criteria for demolition, the Historic Preservation Commission may find that the preservation and protection of the Contributing Resource and the public interest will best be served by postponing a decision for a designated period not to exceed 180 days. During the period of postponement, the Historic Preservation Commission shall consider what alternatives to demolition may exist. Consideration by the Historic Preservation Commission shall include:

- a. Alternatives for preservation of the structure, either in whole or in part, including consultation with civic groups, interested private citizens, and other boards or agencies (both public and private); and,
- b. If other alternatives for preservation cannot be identified, including relocation, and the preservation of the Contributing Resource is clearly in the interest of the general welfare of the community, investigation of the potential of the Town to acquire the property.

3. Effect of Approval

- a. In granting a Certificate of Appropriateness-HD for demolition, the Historic Preservation Commission may impose such reasonable and additional conditions, which may include deconstruction of historic building components for re-use.
- b. The process for demolishing a Contributing Resource, including documentation to be provided, shall comply with demolition guidelines approved by Town Council.

3.18.6 Amendments to Approvals **Expiration of Approvals**

Proposed Change: To have this sub-section be specifically for expiration of an approved COFA-HD. Amendments to an approved COFA-HD would have its own sub-section (3.18.7).

3.18.6 Amendments to Approvals

~~A. An Applicant who has been granted a Certificate of Appropriateness HD shall notify the UDO Administrator of any proposed amendments to approved plans.~~

~~B. Changes may be approved by the UDO Administrator if the proposed revision complies with the standards of this Ordinance and does not substantially alter the basic design approved by the Historic Preservation Commission.~~
~~C. If the UDO Administrator determines that the requested modification to the approved plans substantially deviates from the basic design approved by the Historic Preservation Commission in accordance with the Certificate of Appropriateness HD, a new, separate application shall be submitted.~~

Approval of a Certificate of Appropriateness-HD shall expire two years from the date of approval unless an appreciable amount of improvement, development or other activity approved by the Historic Preservation Commission commences, as determined by the UDO Administrator, and proceeds to completion in a timely and customary manner in accordance with the Certificate of Appropriateness HD.

3.18.7 Amendments to Approvals

Proposed Change: To provide the amendment process with its own sub-section.

- A. An Applicant who has been granted a Certificate of Appropriateness HD shall notify the UDO Administrator of any proposed amendments to approved plans.
- B. Changes may be approved by the UDO Administrator if the proposed revision complies with the standards of this Ordinance and does not substantially alter the approval by the Historic Preservation Commission.
- C. If the UDO Administrator determines that the requested modification to the approved plans substantially deviates from the approval by the Historic Preservation Commission in accordance with the Certificate of Appropriateness HD, a new application shall be submitted.

3.19.2 Site Feature – Historic District Permit, Applicability

Proposed Change: Includes the addition of “shed,” which is presently a type of “garden structure.” As a roofed structure less than 121 square feet, a shed can be for both residential and commercial storage, including commercial freezers. Garden structures are yard elements, such as fences, walls, and trellises.

A. **Permit Required.** A Site Feature - Historic District (HD) Permit is required for the following:

1. Sign, to include new signs, modifications to existing signs, or replacement of existing signs. Certain signs, as indicated in Sec. 5.13.3, are exempt from the Site-Feature-Historic District (HD) Permit requirement.
2. Modifications or improvements to site elements such as changes to parking lots, sidewalks, landscaping, and lighting;
3. Garden Structures and Sheds; as specified in Sec. 5.15.5;
4. *[No change.]*
5. *[No change.]*

Sec. 3.25 Designation of Contributing Resources

Proposed Change: The process for designating a contributing resource exists, but a formal process to remove contributing status does not. Removal of the designation has been a policy decision that includes a recommendation from the HPC for consideration by Town Council.

~~3.25 Designation of Contributing Resources~~ **Contributing Resource Procedure and Criteria**

Proposed Change: Renaming this section as it is proposed to include a process to remove a contributing resource designation.

3.25.1 Intent

This Section is intended to provide procedures and criteria to facilitate designation or the removal of designation as a ~~of~~ Contributing Resources ~~s-within-to the~~ Old Town Bluffton Historic District.

3.25.2 Applicability

Applications to designate or remove the designation as a Contributing Resources to or from the Old Town Bluffton Historic District may be initiated by the property owner, UDO Administrator, Historic Preservation Commission or Town Council. ~~When the applicant is not the property owner, written consent of the property owner is required at time of application.~~

3.25.3 Application Review Criteria

A. Except as provided elsewhere in this Section, any ~~resource building, structure, object, site~~ that is at least 50 years old, as applicable, and retains integrity of location, design, setting, materials, workmanship, feeling, and association may be considered for a Contributing Resource designation by Town Council upon a recommendation of the Historic Preservation Commission. At least one of the following criteria must be present:

1. ~~The resource is associated~~ An association with events that have made a significant contribution to the broad patterns of our history;
2. ~~The resource is associated~~ An association with the lives of persons significant in our past;
3. ~~The resource embodies~~ Embodiment of the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses ion of high artistic values, or ~~represents representation of~~ a significant and distinguishable entity whose components lack individual distinction; or
4. ~~The resource has yielded, or is likely to yield, information~~ Information important in prehistory or history has been yielded or is likely to be yielded.

B. Resource of Exceptional Importance

Any ~~resource building, structure, or object~~ that is less than 50 years old may be designated as a Contributing Resource by Town Council, upon a recommendation of the Historic Preservation Commission, if ~~the resource it~~ is of 'exceptional importance.' In consideration of the designation, the Historic Preservation Commission and Town Council shall consider the following:

1. Significance ~~of the resource~~ in history, architecture, archeology, engineering, or culture when evaluated within the historic context of the Town, State or Nation;
2. Integrity of location, design, setting, materials, workmanship, feeling and association ~~of the resource~~, as applicable; and,
3. Compliance with Criterion G, as provided in the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation*, as amended.

C. The application must comply with applicable requirements in the Applications Manual.

3.25.4 ~~Effect of Approval~~ Application Review Criteria to Remove the Designation as a Contributing Resource

~~Upon designation, Town Council shall amend the 'Contributing Resources' map to include the approved Contributing Resource.~~

1. Any Contributing Resource that no longer meets the criteria for designation because the qualities which caused it to be originally designated have been lost or destroyed, or the designation criteria in Sec. 3.25.3.A. no longer applies, Town Council may remove the designation as a Contributing Resource upon a recommendation of the Historic Preservation Commission.
2. The application shall comply with applicable requirements in the Applications Manual.

3.25.5 Effect of Approval

Upon designation or the removal of the designation, Town Council shall amend the 'Contributing Resources' map accordingly to include the approved Contributing Resource.

Sec. 5.15 Miscellaneous Old Town Bluffton Historic District

Proposed Changes: The increase in the minimum front build-to zone in the NC-HD and NCE-HD zoning districts increases the area between the buildings and the right-of-way by 5 feet, which does not include porches or stoops. At present, the front build-to, which typically has a 6-10 feet front porch area, extends beyond the front build-to. Since the minimum porch depth is 6 feet, a 5-foot build-to line is not possible should a front porch be proposed. The increase allows more flexibility to set the structure back farther on the lot and ensures there is at least a small amount of space at the front of the lot for the required street trees, foundation plantings, and will help to save large trees at the front of lots.

Sec. 5.15.5.A. Neighborhood Core Historic District, Building Type Requirements, Front Build-to Zone

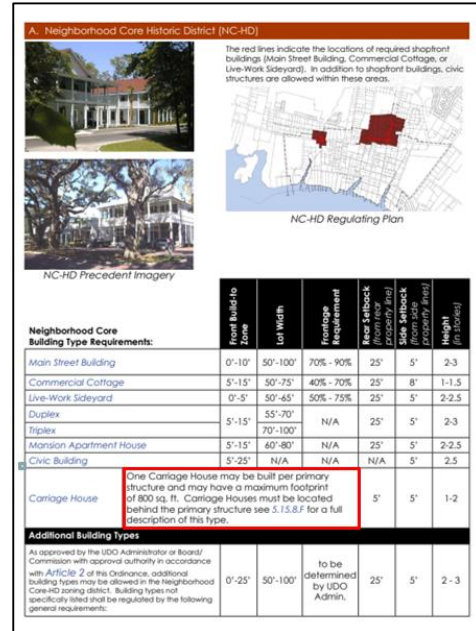
Neighborhood Core Building Type Requirements	Front Build-to Zone
Main Street Building	0' – 10' <u>10' – 20'</u>
Commercial Cottage	5' – 15' <u>10' – 15'</u>
Live-Work Sideyard	0' – 5' <u>10' – 15'</u>
Duplex	5' – 15' <u>10' – 15'</u>
Triplex	5' – 15' <u>10' – 15'</u>
Mansion Apartment House	5' – 15' <u>10' – 25'</u>
Civic Building	5' – 25' <u>10' – 25'</u>
Additional Building Type	0' – 25' <u>10' – 25'</u>

Sec. 5.15.5.B. Neighborhood Center Historic District, Building Type Requirements, Front Build-to Zone

Neighborhood Center Building Type Requirements	Front Build-to Zone
Main Street Building	10' – 25'
Commercial Cottage	5' – 20' <u>10' – 20'</u>
Live-Work Sideyard	0' – 5' <u>5' – 10'</u>
Duplex	5' – 15' <u>10' – 15'</u>
Triplex	5' – 15' <u>10' – 15'</u>
Mansion Apartment House	5' – 15' <u>10' – 25'</u>
Cottage	5' – 15' <u>10' – 15'</u>
Village House	5' – 15' <u>10' – 15'</u>
Sideyard House	5' – 10' <u>10' – 15'</u>
Vernacular House	10' – 20'
Civic Building	5' – 25' <u>10' – 25'</u>
Additional Building Type	10' – 25'

5.15.5.A-E. General Standards

[Editor's Note: Example graphic provided to show where change is proposed in Secs. A-E. See below for proposed amendments.]

**5.15.5.A. Neighborhood Core Historic District**

Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq.ft. Carriage Houses must be located behind the primary structure see 5.15.8.F. for a full description of this type. <u>See Sec. 5.15.8.F. for placement and other requirements.</u>
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5.15.5.B. Neighborhood Center Historic District

Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq.ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F. for a full description of this type. <u>See Sec. 5.15.8.F. for placement and other requirements.</u>
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5.15.5.C. Neighborhood General Historic District

Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq.ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F. for a full description of this type. <u>See Sec. 5.15.8.F. for placement and other requirements.</u>
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5.15.5.D. Neighborhood Conservation Historic District

Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq.ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F. for a full description of this type. See <u>Sec. 5.15.8.F. for placement and other requirements.</u>
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5.15.5.E. Riverfront Edge Historic District

Carriage House	Two carriage houses may be built per primary structure and may have a maximum footprint of 800 sq.ft. each. They must be placed between the primary structure and the street. See Sec. 5.15.8.F. for placement and other <u>requirements.</u>
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5.15.5.C. Neighborhood General Historic District (NG-HD)

Proposed Change: Reformatting for consistency and clarification on the residential character requirement..

- ~~1. The Neighborhood General HD zoning district shall be primarily residential in nature. All commercial or mixed-use development within this zoning district must maintain a predominantly residential character.~~
- ~~2. A waiver of the mandatory residential component may be granted by the UDO Administrator for commercial properties with direct frontage on SC Highway 46 or Bruin Road. While these commercial properties may have retail shopfronts or have awning/marquees or colonnades/arcades and be at grade, in accordance with this Ordinance, they must still maintain residential scale.~~

Within the NG-HD district, building form and scale shall be primarily residential to maintain the predominantly residential character component of this district. The UDO Administrator may waive the mandatory residential component for properties with frontage on SC Highway 46 and Bruin Road; buildings on these properties may be constructed with retail shopfronts, awnings, marquees, colonnades, or arcades in accordance with this UDO but must be residential in form and scale.

Sec. 5.15.5.E. General Standards, Riverfront Edge Historic District

Proposed Change: Zoning districts are used in place of transect zones.

In the Riverfront Edge ~~Transect Zone-~~ HD district, the river shall be the focus of each lot abutting it and therefore acts as the “front” of the lot.

Sec. 5.15.5.F.11. Old Town Bluffton Historic District, General Standards, Large Footprint Buildings

Proposed Change: To remove the “large footprint building” standards from General Standards. They directly conflict with the maximum size permitted for buildings, which was an amendment added to the Additional Building Type in 2021. Should this be amended in the future to allow large footprint buildings, it should fall under the Building Types for each district rather than the General Standards for Architecture. This subsection will be for sheds and identify the number permitted.

11. Large Footprint Buildings Sheds

- a. Large footprint buildings can only be located in the Neighborhood Core Historic District Zoning District.
- b. Buildings may be one story in height, but shall be at least 24 feet in height. This may be accomplished with ~~Liner Buildings or higher ceiling heights and/ or parapets.~~
- c. ~~To encourage use by pedestrians and decrease the need for solely auto-oriented patronage, Large Footprint Buildings must reinforce the character of the Old Town Bluffton Historic District and shall therefore front the buildings to the sidewalks, providing windows and doors at frequent intervals. Operable doorways should occur on an average of every 50 feet for the whole length of the street frontage.~~
- d. ~~Building footprints shall not be larger than a single block. Floor area of buildings shall not cantilever over public rights-of-way.~~
- e. ~~Loading docks, service areas and trash disposal facilities shall not face streets, parks, squares, waterways, or significant pedestrian spaces.~~
Sheds shall not be taller than one-story, exceed 121 square feet, and no more than three (3) are permitted per lot.

Sec. 5.15.6.E.8.b., Chimneys, Roof Appurtenances, and Roof Penetrations

Format issue—move standard “b” to correct location (appears under “Chimneys Precedent Imagery”)

Sec. 5.15.6.E.8.d., Chimneys, Roof Appurtenances, and Roof Penetrations

Proposed Change: To provide concealment of arrestors, flues and caps from street view. This change was proposed by the Planning Commission.

- d. In keeping with masonry building technology, metal spark arrestors, exposed metal flues, ~~or~~ and pre-fabricated chimney caps are ~~not~~ permitted only when concealed within a masonry architectural feature and screened from a street.

Sec. 5.15.6.G. OTBHD, Architectural Standards, Building Walls

Proposed Change: Removal of an incorrect term (“bulkhead”) to prevent confusion.



Sec. 5.15.6.N.7.a. OTBHD, Architectural Standards, General Standards, Corners and Water Tables, Water Table Trim

- a. Drip boards shall be a minimum 5/4 stock with a bevel (any exposed flashing must be copper or match color of water table trim);

Table 5.15.6.Q.4.a. OTBHD, Architectural Standards, Signs

S.R. SC 46 / Bruin Road Square Footage & Height (Maximum)

5.15.8.A. thru M. Building Types “Note”

Change the word “Notes” to “Characteristics” for building types “A” (Main Street Building) thru “M” (River House). This includes: 1) “A” (Main Street Building); 2) “B” (Commercial Cottage); 3) “C” Live-Work Sideyard; 4) “D” Duplex/Triplex; 5) “E” (Mansion Apartment House); 6) “F” Carriage House; 7) “G” Bungalow Court; 8) “H” (Cottage); 9) “I” (Village House); 10) “J” (Sideyard House); 11) “K” Vernacular House; 12) “L” (Center Hall House); and, 13) “M” (River House).

Sec. 5.15.5 Old Town Bluffton Historic District, General Standards

Proposed Changes: Creating a Medium House Type which will help span the gap between the small Cottage and the large Village House. Many buildings come through as this and end up defaulting into the Additional Building Type, causing the appearance of something abnormal. This addition will allow for ease of review, but should not negatively impact any proposed structure that will fall within this type, nor should it cause existing structures to be non-conforming. Buildings which do not meet the characteristics of this type may still be reviewed as ABTs, but it will reduce the number. Allows for smaller setbacks for this smaller structure than would be permitted under ABT – which is intended for structures that are typically larger, but do not quite meet shape or massing of those building types already existing.

Trees located in setbacks and buffers are supposed to be saved. With a 5’ side setback, this is nearly impossible as the roots are disturbed beyond the ability to save. The other side of the lot typically has a driveway, which also requires all trees to be removed. For commercial structures, there is an 8’ foundation planting requirement, which cannot be met with the current setbacks. The increase in side setbacks will allow for side entry stoops (which cannot happen given the required Finished Floor Height), foundation plantings, tree preservation etc. It should be noted that porches, bay windows, roof overhangs, stairs, chimneys, service yards and other uninhabited appurtenances may encroach into setbacks (but no closer than 3’ from prop line).

B. Neighborhood Center Historic District (NCE-HD)

[Note: No change to photos or text above chart.]

Neighborhood Center-HD Building Type Requirements		Front Build-to Zone	Lot Width	Frontage Requirements	Rear Setback (from rear property line)	Side Setback (from side property line)	Height (in stories)
Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq. ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F for a full description of this type.				5'	5'	1-2
Main Street Building		10'-25'	50'-80'	75%-90%	25'	8'	2-2.5
Commercial Cottage		5'-20'	50'-60'	50%-70%	25'	8'	1-1.5
Live-Work Sideyard		0'-5'	50'-60'	40%-75%	25'	5' 8'	1.5-2.5
Duplex		10'-20'	55'-70'	N/A	25'	8'	1.5-2.5
Triplex			70'-100'				
Mansion Apartment House		10'-20'	60'-80'	N/A	25'	10'	2-2.5
Cottage		5'-15'	50'-60'	N/A	25'	5' 8'	1-1.5
Medium House		5'-15'	50'-60'	N/A	25'	5' 8'	1-2
Village House		5'-15'	50'-60'	N/A	25'	5' 8'	2-2.5
Sideyard House		5'-10'	50'-65'	N/A	25'	8'	2-2.5
Vernacular House		10'-20'	60'-80'	N/A	25'	10'	1.5
Civic Building		5'-25'	N/A	N/A	N/A	5' 8'	2
Additional Building Types							
As approved by the UDO Admin. or Board/Comm. with approval authority in accordance with Article 2 of this Ordinance, additional building types may be allowed in the Neighborhood Conservation-HD zoning district. Building types not specifically listed shall be regulated by the following general requirements:		10'-25'	50'-100'	To be determined by UDO Admin	25'	8'	1-2.5

C. Neighborhood General Historic District (NG-HD)

[Note: No change to photos or text above chart.]

Neighborhood General Building Type Requirements		Front Build-to Zone	Lot Width	Frontage Requirements	Rear Setback (from rear property line)	Side Setback (from side property line)	Height (in stories)
Carriage House	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq. ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F for a full description of this type.				5'	5'	1-2
Live-Work Sideyard		10'-20'	50'-100'	N/A	25'	10'	1-2.5
Commercial Cottage		10'-20'	50'-100'	N/A	25'	10'	1-1.5
Bungalow Court		10'-20' for foremost bungalow	60'-100'	N/A	25'	15'	1-1.5
Cottage		10'-20'	50'-60'	N/A	25'	10'	1-1.5
Medium House		<u>10'-20'</u>	<u>50'-60'</u>	<u>N/A</u>	<u>25'</u>	<u>10'</u>	<u>1-2</u>
Village House		10'- 15 20'	50'-65'	N/A	30'	15'	2-2.5
Vernacular House		10'-20'	60'-100'	N/A	30'	15'	1.5
Center Hall House		15'-25'	70'-100'	N/A	30'	15'	2-2.5
Civic Building		15'-35'	N/A	N/A	N/A	10'	2
Additional Building Types							
As approved by the UDO Admin. or Board/Comm. with approval authority in accordance with Article 2 of this Ordinance, additional building types may be allowed in the Neighborhood Conservation-HD zoning district. Building types not specifically listed shall be regulated by the following general requirements:		10'-35'	50'-100'	N/A	30'	10'	1-2.5

D. Neighborhood Conservation Historic District (NCV-HD)

Neighborhood Conservation Building Type Requirements		Front Build-to Zone	Lot Width	Frontage Requirements	Rear Setback (from rear property line)	Side Setback (from side property line)	Height (in stories)
<i>Carriage House</i>	One Carriage House may be built per primary structure and may have a maximum footprint of 800 sq. ft. Carriage Houses must be located behind the primary structure. See 5.15.8.F for a full description of this type.				5'	5'	1-2
<i>Cottage</i>		10'-20'	50'-60'	N/A	30'	10'	1-1.5
<i>Medium House</i>		10'-20'	50'-70'	N/A	30'	10'	1-2
<i>Village House</i>		10'-20'	50'-70'	N/A	30'	10'	2-2.5
<i>Vernacular House</i>		15'-25'	60'-100'	N/A	30'	10'	1.5
<i>Center Hall House</i>		20'-35'	80'-100'	N/A	30'	15'	2-2.5
<i>Civic Building</i>		15'-40'	N/A	N/A	N/A	10'	1.5
Additional Building Types							
As approved by the UDO Admin. or Board/Comm. with approval authority in accordance with Article 2 of this Ordinance, additional building types may be allowed in the Neighborhood Conservation-HD zoning district. Building types not specifically listed shall be regulated by the following general requirements:		10'-35'	50'-100'	N/A	30'	10'	1-2.5

Sec. 5.15.5.F.7. OTBHD, General Standards, Garden Structures

Proposed Change: Garden Structure is proposed to become a definition (see Sec 9.2).

~~7. **Garden Structures.** Garden structures are small accessory buildings which may contain storage space, trash receptacles, or other garden uses. Structures such as sheds, fences, pergolas, and gazebos are considered to be garden structures. Garden structures shall not be greater than 120 square feet in footprint, shall not exceed 1 story in height, and must comply with the architectural standards.~~

Cupolas**Sec. 5.15.6.E.4. Cupolas/Small Footprint Towers**






Proposed Changes: Formatting and providing clarity regarding maximum height.

- ~~Plan Area Footprint:~~ =20' x 20' Maximum ~~Footprint~~
- ~~Height:~~ Cupolas and towers may extend a maximum of 15 feet above the ~~Zoning District height limit.~~ roof ridge but shall not be taller than 50 feet above the adjacent grade level.

Sec. 5.15.8, Building Types**5.15.8.F. Building Types, Carriage House**

Proposed Changes: 1) Revise minimum size range from 200 sf to 121 sf to eliminate the square footage gap between carriage houses and garden structures (garden structures presently includes sheds); 2) Change characteristics, including allowing two carriage houses in the Riverfront Edge zoning district; 3) To be clearer as to how the Carriage House building form can be used, including as a dwelling or garage; 4) To clarifying that an “opening” is for vehicles and is intended to be limited as to the number of openings; and, 5) To allow the placement of a Carriage House to be considered in an alternate location when on the same lot as a Contributing Resource—other than behind the Contributing Resource—if approved by the UDO Administrator.


Note: The sections proposed to be amended are highlighted on the next page with a red box. The proposed text is shown on the following page.

F. Carriage House		<div style="display: flex; flex-direction: column; align-items: center;"> <div style="display: flex; justify-content: space-around; width: 100%;"> <div style="text-align: center;">CORE ●</div> <div style="text-align: center;">CENTER ●</div> </div> <div style="text-align: center;">GENERAL ●</div> <div style="text-align: center;">CONSERVE ●</div> <div style="text-align: center;">RIVER EDGE ●</div> </div>
General: Accessory Structure.		
Size Range: 200 – 1,200 sq. ft. (per unit).		
Maximum Footprint (not including porches): 800 sq. ft.		
Height: 1 – 2 stories.		
Notes: Must be an accessory structure. Only one permitted per lot, unless otherwise noted. May be used as a garage, living unit or home business (or combination). May function as a small-scale shop, studio or workshop. Garages are limited to 2 cars, with maximum garage door widths of 12' each. Must be of same general character as primary structure. Must be placed behind the primary structure and towards the back of the lot		
		
<i>Carriage House Precedent Imagery</i>		
<div style="display: grid; grid-template-columns: 1fr 1fr; gap: 10px;">     </div>		
<p>*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.</p>		

F. Carriage House
General: Accessory Structure
Size Range: 200-121 – 1,200 sq.ft. (per unit)
Maximum Footprint (not including porches): 800 sq.ft.
Height: 1-2 stories
<p><u>Notes: Characteristics:</u></p> <p>Must be <u>A detached or an attached</u> accessory structure. <u>An attached structure must be clearly incidental to, smaller than, and distinguished from the principal building form.</u></p> <p>Only one permitted per lot, unless otherwise noted <u>except within the RV-HD district where two may be allowed for lots of at least one acre.</u></p> <p>May be used as a garage, living unit or home business (or combination).</p> <p>May function as a small scale shop, studio or workshop. <u>May be used as a garage, carport, dwelling unit, shop, studio, workshop (or combination thereof) as permitted by Sec. 4.3.</u></p> <p>Garages are limited to 2 cars, with maximum garage door widths of 12' each. Garages are limited to two vehicular openings not exceeding 12ft in width each. One additional vehicular opening not exceeding 6ft in width may be allowed provided the building footprint is not exceeded.</p> <p>Must be of the same general character as primary structure.</p> <p>Must be placed behind the primary structure and towards the back of the lot. <u>For lots with a Contributing Resource, the UDO Administrator may consider an alternate location.</u></p>

Sec. 5.15.8 Old Town Bluffton Historic District, Building Types

Proposed Change: To provide the Medium House Type category, requirements, and characteristics.

I. Medium House Type		
<u>General: Detached Single Family Residence</u>		<u>CORE</u>
<u>Size Range: 1,300 – 3,000 sq. ft.</u>		<u>CENTER</u> •
<u>Maximum Footprint: (not including porches)</u> <u>1,300 sq. ft.</u>		<u>GENERAL</u> •
<u>Height: 1-2 stories</u>		<u>CONSERVE</u> •
<u>Characteristics:</u>		<u>RIVER EDGE</u>
<p><u>Larger than a Cottage, smaller than a Village House.</u></p> <p><u>The street elevation must have a front porch that is at least 50% of the façade.</u></p> <p><u>Shall be narrower along the street front than it is deep.</u></p> <p><u>May have dormers.</u></p>		

Medium House Precedent Imagery

*Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples and shall not imply that every element in the photograph is permitted.

Note: The addition of the Medium House Building Type would be most appropriately located between the Cottage and Village House Building Types. This addition will cause all building types to be re-lettered as follows, without any changes to the associated text, drawings and photos:

- ~~I.~~ J. Village House
- ~~J.~~ K. Sideyard House
- ~~K.~~ L. Vernacular House
- ~~L.~~ M. Center Hall House
- ~~M.~~ N. River House
- ~~N.~~ O. Civic Building
- ~~O.~~ P. Church Building
- ~~P.~~ Q. Manufactured Homes

Sec. 9.2, Defined Terms

Garden Structure

Structure, Garden: Any unenclosed and unroofed Accessory Structure, including but not limited to fences, walls, pergolas, decks and patios. Garden structures shall comply with all applicable architectural standards of this Ordinance.

Historic Integrity

Historic Integrity: The ability of a property to convey its historical associations or attributes through seven aspects that include location, setting, design, materials, workmanship, feeling and association. The National Register Bulletin "How to Apply the National Register Criteria for Evaluation" produced by the National Park Service, and as amended, shall serve as the reference document for interpretation of these aspects.

Principal Building

Building, Principal: ~~The building in which is conducted the principal use of the zone lot on which it is located. Zone lots with multiple principal uses may have multiple principal buildings, but storage buildings, garages, and other clearly accessory uses shall not be considered principal buildings.~~

The building in which the principal use of a lot is conducted. Accessory buildings, such as carriage houses, Sheds, and garages shall not be considered principal buildings.

Shed

Shed: A one-story detached and roofed Accessory Structure that is clearly incidental and compatible with the Principal Building or Use located on the same lot. Such structures shall not be used as a Dwelling Unit or for an independent commercial enterprise.

Structure, Accessory

Structure, Accessory: A Structure that is clearly incidental and compatible with the Principal Building or Use located on the same lot, including carriage houses, Sheds and Garden Structures. Accessory Structures shall comply with applicable architectural standards of this Ordinance.