



Historic Preservation Commission Meeting

Wednesday, May 06, 2026 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 417 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) March 4, 2026 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness (204 Bluffton Road):** A request by Thomas Michaels, Jr. (SM7 Design, LLC), Applicant, on behalf of 204 Bluffton Road, LLC, Owner, for approval of a Certificate of Appropriateness to allow the construction of a 3-story 3,978 SF Main Street Building at 204 Bluffton Road. The property is in the Promenade development in Old Town Historic District and zoned Neighborhood Core-Historic District (NC-HD). (COFA-12-25-020072) (Staff-Charlotte Moore)

VIII. DISCUSSION

- [1.](#) Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, June 3, 2026

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

March 04, 2026

I. CALL TO ORDER

Chairman DePauw called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Joe DePauw

Vice Chair Carletha Frazier

Commissioner Tim Probst

Commissioner Debbie Wunder

Commissioner Lisa Sulka

ABSENT

Commissioner Jim Hess

Commissioner Michael Sutcliffe

III. ADOPTION OF MINUTES

1. February 4, 2026 Minutes

Commissioner Sulka made a motion to adopt the minutes as written.

Seconded by Vice Chair Frazier.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

- Certificate of Appropriateness (2 Blue Crab Street, Lot 52):** A request by William Court of Court Atkins Group (Applicant) on behalf of Blue Crab Bluffton, LLC (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,839 SF and an attached carriage house of approximately 880 SF at 2 Blue Crab Street. The property is located in the Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25-019925) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the porch height and the associated railing requirements. The commissioners also raised questions about the removal of trees and the required mitigation measures. The Commission reviewed the use of shutter dogs, the detailing of the louvered panels, and the roof slope.

Chairman DePauw made a motion to approve the application with the following conditions:

1. Provide a front porch railing that is consistent with the second-story porch railing style and UDO Sec. 5.15.6.E.5.c.
2. Provide a shutter dog that is an "S" or rat-tail type to comply with UDO Section 5.15.6.M.1.d.
3. Provide two hardwood trees on-site (or five caliper inches) to mitigate the loss of trees to be removed unless otherwise determined by the UDO Administrator.
4. Change louver panel detail (1/A5.1) to show false wood louvers in the opening instead of lap siding.
5. Revise details 2/A5.1 and 5/A5.1 to remove the flat ceiling and revise it to follow the roof slope of the bracketed roof.

And the following were determined to be appropriate:

1. The use of boral for porch columns, corner boards, drip caps, fascia, vents, the top rail at the second-story rear porch, service yard gate elements, and sills.
2. The use of welded powder-coated aluminum for porch handrails and balustrades (but not the product as shown in the cut sheet provided with the submission).
3. The use of composite material as an overlay on the garage doors.
4. The use of composite shutters (as shown in the cut sheet provided with the submission).

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

Chairman DePauw made a motion to amend the approved motion for clarification purposes.

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

Commissioner Sulka made a motion to clarify that the following condition is not required:

1. Provide a front porch railing that is consistent with the second-story porch railing style and UDO Sec. 5.15.6.E.5.c.

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

- 2. Certificate of Appropriateness (4 Blue Crab Street, Lot 51):** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,800 SF and an attached carriage house of approximately 886 SF at 4 Blue Crab Street. The property is in Tabby Roads Development in

Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019927) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the porch height and the associated railing requirements. The commissioners also raised questions about the removal of trees and the required mitigation measures. The Commission discussed the inconsistency in the railing on the elevations. There were comments regarding the slope of the roof on the house and of the garage.

Chairman DePauw made a motion to approve the application with the following conditions:

1. Change the railings on second floor porch to match the styling of the bay over the front door, limiting the diagonal elements to two bays, then transitioning the pickets to the sides to complete the space between the columns, and vertical pickets for the space between the columns that are close together.
2. Provide six hardwood trees on-site (or fifteen caliper inches) to mitigate the loss of trees to be removed unless otherwise determined by the UDO Administrator. If the UDO Administrator determines that mitigation trees cannot be provided on the site, a fee-in-lieu of planting may be required per UDO Section 5.3.8.; and,
3. Revise the beam for the bracketed roof over the garage door to be solid timber.

And the following were determined to be appropriate:

1. The use of boral for porch columns, corner boards, drip caps, fascia, vents, the top rail at the second-floor rear porch, service yard gate elements, and sills.
2. The use of welded powder-coated aluminum for porch handrails and balustrades (not the material shown on the cut sheet provided with the submission).
3. The use of composite material as an overlay on the garage doors.

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

3. **Certificate of Appropriateness (6 Blue Crab Street, Lot 50):** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,846 SF and an attached carriage house of approximately 884 SF at 6 Blue Crab Street, Lot 50. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019628) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the porch height and the associated railing requirements. The commissioners also raised questions about the removal of trees and the required mitigation measures.

Chairman DePauw made a motion to approve the application with the following conditions:

1. Provide 11 hardwood trees on-site (or 27.5 caliper inches) to mitigate the loss of trees to be removed unless otherwise determined by the UDO Administrator. If the UDO

Administrator determines that mitigation trees cannot be provided on the site, a fee-in-lieu of planting may be required per UDO Section 5.3.8.;

2. Revise details 1 and 3 on Sheet A5.3 to remove the flat ceiling and revise the ceiling to follow the slope of the bracketed roof.

And the following were determined to be appropriate:

1. The use of boral for porch columns, corner boards, drip caps, fascia, vents, the top rail at the second-story rear porch, service yard gate elements, and sills.
2. The use of welded powder-coated aluminum for porch handrails and balustrades (not the product shown on the cut sheet submitted).
3. The use of composite material as an overlay on the garage doors.

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

4. **Certificate of Appropriateness (8 Blue Crab Street, Lot 49):** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,741 SF and an attached carriage house of approximately 933 SF at 8 Blue Crab Street, Lot 49. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019929) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the porch height and the associated railing requirements. The commissioners also raised questions about the removal of trees and the required mitigation measures.

Chairman DePauw made a motion to approve the application with the following conditions:

1. Provide a minimum front porch height of 30-inches (UDO Sec. 5.15.6.E.5.c.).
2. Provide a shutter dog that is an "S" or rat-tail type to comply with UDO Section 5.15.6.M.1.d.
3. Provide four hardwood trees on-site (or eleven caliper inches) to mitigate the loss of trees to be removed unless otherwise determined by the UDO Administrator. If the UDO Administrator determines that mitigation trees cannot be provided on the site, a fee-in-lieu of planting may be required (UDO Section 5.3.8.).

And the following were determined to be appropriate:

1. The use of boral for porch columns, corner boards, drip caps, fascia, vents, the top rail at the second-story rear porch, service yard gate elements, and sills.
2. The use of welded powder-coated aluminum for porch handrails and balustrades (but not as shown on the cut sheet provided with the submission).
3. The use of composite material as an overlay on the garage doors.
4. The use of composite shutters as shown in the cut sheet provided with the submission.

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

VI. NEW BUSINESS

- 1. Certificate of Appropriateness (1 Garfields Way):** A request by Ansley Manuel of Manuel Studios (Applicant) on behalf of Samuel Kopotic (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 2,478 SF and a 2-story attached Carriage House (garage) of approximately 1,188 SF to be constructed at 1 Garfields Way in the Moss Oaks Subdivision within Old Town Bluffton Historic District and zoned Neighborhood General-HD (NG-HD). (COFA-09-25-019941) (Staff - Charlotte Moore)

Staff presented. The applicant was present. The Commission discussed the rear elevation, noting concern with the long, unbroken roofline. There was concern raised regarding the request to remove a large oak tree due to insufficient documentation. There was discussion regarding window alignment and sizing on the right elevation

Commissioner Sulka made a motion to approve the application with the following conditions:

1. Provide Town staff a letter from a certified arborist regarding the health of the 24"/15" Live Oak tree which is proposed to be removed. This letter must be dated after March 4, 2026 HPC.
2. Add a shed dormer at the center of the rear elevation with appropriately sized windows. The Historic Preservation Review Committee is to review the dormer addition.
3. Reposition the second-floor window on the right elevation to align with the first-floor window.

And the following were determined to be appropriate:

1. The use of welded powder-coated aluminum for handrails on the front and rear porches and front balustrade.
2. The use of polymer composite shutters (as indicated in the cut sheet submitted as part of the agenda package).

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

VII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff presented. The Commission did not have any questions about the report submitted.

VIII. ADJOURNMENT

Commissioner Sulka made a motion to adjourn.

Seconded by Vice Chair Frazier.

Voting Yea: Chairman DePauw, Vice Chair Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed. The meeting adjourned at 7:43pm.

DRAFT



HISTORIC PRESERVATION COMMISSION

STAFF REPORT
Department of Growth Management

MEETING DATE:	May 6, 2026
PROJECT:	COFA-12-25-020072 204 Bluffton Road (Lot 8) – New Construction
APPLICANT:	Thomas Michaels, Jr. (SM7 Design, LLC)
PROPERTY OWNER:	204 Bluffton Road, LLC
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Thomas Michaels, Jr. (SM7 Design, LLC) on behalf of the owner, 204 Bluffton Road, LLC, requests that the Historic Preservation Commission (HPC) approve the following application:

A Certificate of Appropriateness-Historic District to allow the construction of a new 3-story 3,978 SF Main Street Building at 204 Bluffton Road. The property is in the Promenade development in Old Town Historic District and zoned Neighborhood Core-Historic District (NC-HD).

INTRODUCTION: The 3-story mixed-use building, with a footprint of approximately 1,326 SF and total square footage of approximately 3,978 SF, is designed as a Mainstreet Building type (Attachment 7).

The building will be located underneath a hip roof. The first story will be clad with brick. The second and third stories will be clad with Hardie horizontal lap siding. Trim, including soffits, will be cementitious material.

The front elevation includes three stories of porches with a length of approximately 75% of the building width. The ground level porch will be supported by two 1'-2" wide brick columns that frame the storefront entrance. The second and third story porches will have 1'-0" wide wood columns and powder coated aluminum railings. The third-story porch will be located underneath a metal shed roof with exposed rafter tails and 6x6 wood brackets.

Porches will also be located on the rear elevation underneath a metal hip roof with exposed rafter tails and the same columns and railings as the front elevation. The ground floor porch will be a service area screened by horizontal wood louvers. The left elevation will include a staircase to separate second-story residential entrances. The landing will be located underneath a hip roof that will be supported by two wood columns. The area underneath the landing will be screened with wood louvers.

Overall, the building is reflective of the vernacular characteristics of Bluffton, as well as the Calhoun Street Promenade, with architectural volume and styling. The Calhoun Street Promenade Owners' Association Architectural Committee has approved the plan (Attachment 10).

This project was initially presented to the Historic Preservation Review Committee for conceptual review at the January 26, 2026 meeting and comments were provided to the Applicant (See Attachment 4). A second conceptual review with HPRC was held on March 23, 2026 as the initial HPRC comments were numerous.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.

- a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The amendments will be in conformance with those standards if the conditions noted in #2 of this Section are met.

2. Conformance with the approved Final Development Plan, Subdivision Plan, and any other agreements or plans that are applicable.

- a. *Finding.* This lot was previously approved with the September 1, 2010, development plan for the Calhoun Street Promenade. Amendments since that time have not affected this lot, and neither will the COFA-HD.

3. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Findings.* The following findings include items that do not appear to comply or that require a determination of appropriateness from the HPC.

(1) Columns: UDO Section 5.15.6.H.1.a. requires that columns and porch posts be spaced no farther apart than they are tall as measured from the

centerlines of the columns and posts. The front porch columns ($\pm 11'-1"$ tall and $\pm 17'-6"$ wide), as well as the second and third-story porch posts ($\pm 10'-4"$ tall and $\pm 17'-6"$ wide; $\pm 8'-2"$ and $\pm 17'-6"$ wide, respectively) do not comply with this requirement. Likewise, the rear service area and porch posts are also farther apart than tall ($\pm 11'-0"$, $\pm 10'-3"$ and $\pm 8'-2"$ tall and $\pm 13'-9"$ wide), as well as the posts at the staircase landing on the left elevation ($\pm 9'-8"$ tall and $\pm 11'-0"$ wide). The HPC must determine if the beforementioned column and porch posts widths are appropriate.

(2) Railings: UDO Section 5.15.6.H.2.d. requires railings to be made of wood (termite resistant), or painted or natural wrought iron. Powder coated aluminum is proposed for front and rear porch railings, balusters and handrails. The railing at the stairwell landing is identified as both powder coated aluminum and wood "rails and pickets." A railing detail has not been provided nor has a cut sheet to confirm the dimensions required by UDO Sec. 5.16.6.H.3.d. will be met. A determination must be made on the appropriateness of the use of powder coated aluminum as a substitute material.

(3) Windows:

- a. UDO Section 5.15.5.F.4.e. states that "[v]ertical rhythms should be established in the façade through alignment of windows..." UDO Sec. 5.15.6.I.1.b. also provides that the window openings should be oriented vertically. Both the right and left elevations include four different window types that mostly lack vertical alignment and appear to have random placement from the exterior, unlike the windows in the adjacent buildings at 202 and 206 Bluffton Road. However, as these elevations have limited public view, the HPC may consider the appropriateness of window placement in these elevations.
- b. The window material is not identified in the plan set but is shown as "Glastra" material on the application project analysis sheet, which references a brochure (Attachment 9). Glastra, according to the brochure, is "a proprietary hybrid of fiberglass and UV stable polymer." While fiberglass is a permitted window material, Glastra is a hybrid and will require a determination of appropriateness by the HPC.
- c. All windows must be labeled by type.

(4) Doors:

- a. The door material is not identified in the plan set but is shown as "Glastra" material on the application project analysis sheet, which references a brochure (Attachment 9). Glastra, according to the brochure, is "a proprietary hybrid of fiberglass and UV stable polymer."

While fiberglass is a permitted door material, Glastra is a hybrid and will require a determination of appropriateness by the HPC.

- b. The door at the service yard has a single-lite, which is inconsistent with four-lite doors used elsewhere on the building, including the adjacent door. This door should be changed to four-lites.
- c. All doors must be labeled by type.

(5) Roof Material: A metal roof (“pre-weathered galvalume”) is proposed for the porches and staircase landing; the configuration has not been identified. UDO Sec. 5.15.6.J.3.a. requires the configuration to be standing seam or 5-V crimp with 24-inch maximum spacing with panel ends exposed at the overhang.

(6) Porch Ceilings: The porch ceiling for the front and rear porches will be a v-groove configuration, but material has not been identified. A side porch detail has not been provided to identify either the material or configuration. A v-groove configuration should be provided for all porches, as well as a consistent material such as pressure-treated wood or cementitious board,

(7) Brick Veneer: The Color Board (Attachment 8) shows that “Old Georgetown” brick is proposed. Additional information is needed to determine the manufacturer of the brick to verify the color. “Old Georgetown” manufactured by General Shale is a red /orange brick that atypical of the area. “Georgetowne” brick is similar to Savannah Grey, a brown, tumbled brick.

(8) Electric Meters: Electric meters are proposed to be placed on the rear wall at the service area. Based on recent experience with meters in Old Town, the meter location may be required to be moved by the utility company. If an alternate location is required, meters must be screened.

(9) Right-of-way (ROW) Encroachment: The walkway connection to the public sidewalk and landscaping in the ROW will require a ROW encroachment permit from the State of South Carolina Department of Transportation (SCDOT). Additionally, any State signage to be relocated will require written proof of approval from SCDOT.

- 4. Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable;**

Finding. The mass and scale of the structure is appropriate for its location and the architectural volume and detailing sensitive to the neighboring properties.

5. Compliance with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application subject to the following conditions and determinations:

Conditions:

1. Revise the plan to show all windows by type.
2. Revise the plan to show a service area door that matches the adjacent four-lite door.
Revise the plan to show all doors by type.
3. Revise the plan to show a standing seam or 5-v roof configuration.
4. Revise the plan to show porch ceilings with pressure-treated wood or cementitious board.
5. Revise the plan to show railing details.
6. Identify the brick manufacturer and specific brick to be used for the front porch columns and first-story wall cladding.
7. If electric meters must be relocated, they shall be screened with landscaping or other screening method as determined by the HPC.
8. Provide a ROW encroachment permit for any work within the Bluffton Road right-of-way.

Determinations: The determinations below must be considered for their appropriateness. If not acceptable, the HPC must provide an alternative or deny the request.

1. The proposed widths of all columns and posts that are farther apart than they are tall.
2. The use of powder-coated aluminum for the porch railings, balusters and handrails.
3. The use of Glastra material for windows and doors.
4. The placement of windows in the right and left elevations.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

1. Application
2. Location and Zoning Map
3. Lot Survey
4. Narrative & HPRC Comments Response
5. Photos
6. Conceptual Rendering with Adjacent Buildings
7. Architectural and Landscape Plans
8. Color Board
9. Window and Door Brochure
10. Promenade Approval Letter



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #1.
20 Bridge Street

Bluffton, SC 29910
(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: SM7 Design LLC - Thomas Michaels Jr.		Name: Elizabeth Drake	
Phone: [REDACTED]		Phone: [REDACTED]	
Mailing Address: PO Box 2287 Bluffton, SC 29910		Mailing Address: 32 Spanish Pointe Dr. Hilton Head Island, SC 29926	
E-mail: [REDACTED]		E-mail: [REDACTED]	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: 204 Bluffton Road	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: 204 Bluffton Road	Application for:		
Zoning District: Neighborhood Core - HD	<input checked="" type="checkbox"/> New Construction		
Acreage: 0.03	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R614 039 00A 0320 0000	<input type="checkbox"/> Relocation		
Project Description: New three story mixed-use building			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:	<i>Elizabeth A Drake</i>	dotloop verified 03/04/26 9:44 AM EST FLE4-HVAE-DUDP-RLQK	Date: 03/04/2026
Applicant Signature:	<i>[Signature]</i>		Date: 03/02/2026
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

Section VII. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and as sure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Main Street Building					
Building Setbacks	Front: n/a	Rear: n/a	Rt. Side: n/a	Lt. Side: n/a	
3. BUILDING DATA					
Building	Description <small>(Main House, Garage, Carriage House, etc.)</small>	Existing Square Footage	Proposed Square Footage		
Main Structure	3 story mixed-use	0	3,978		
Ancillary	n/a	n/a	n/a		
Ancillary	n/a	n/a	n/a		
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1,326		
Impervious Drive, Walks & Paths			0		
Open/Covered Patios			0		
A. TOTAL IMPERVIOUS COVERAGE			1,326		
B. TOTAL SF OF LOT			1,326		
% COVERAGE OF LOT (A/B= %)			0		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete Slab	Columns	Brick / Wood		
Walls	Brick / Cementitious Siding	Windows	Glastra (See brochure)		
Roof	Shingles / Metal	Doors	Glastra (See brochure)		
Chimney	n/a	Shutters	n/a		
Trim	Cementitious	Skirting/Underpinning	Wood. Painted		
Water table	Brick	Cornice, Soffit, Frieze	Cementitious		
Corner board	Cementitious	Gutters	n/a		
Railings	Aluminum, Powder Coated	Garage Doors	n/a		
Balusters	Aluminum, Powder Coated	Green/Recycled Materials	n/a		
Handrails	Aluminum, Powder Coated				



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #1.

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to:</p> <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>SITE PLAN: Showing layout and design indicating, but not limited to:</p> <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #1.

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

03/02/2026

Date

Thomas Michaels Jr.

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

03/02/2026

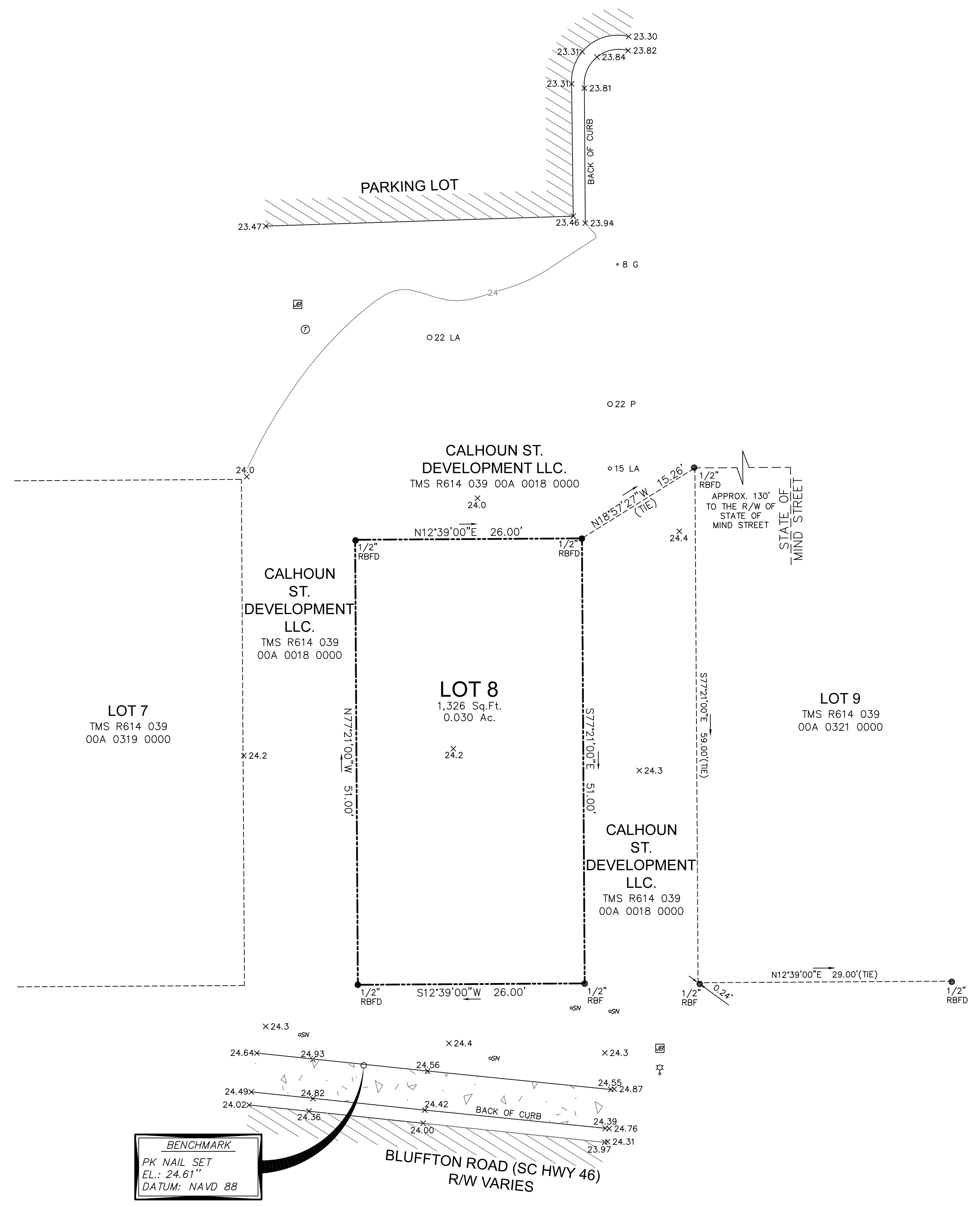
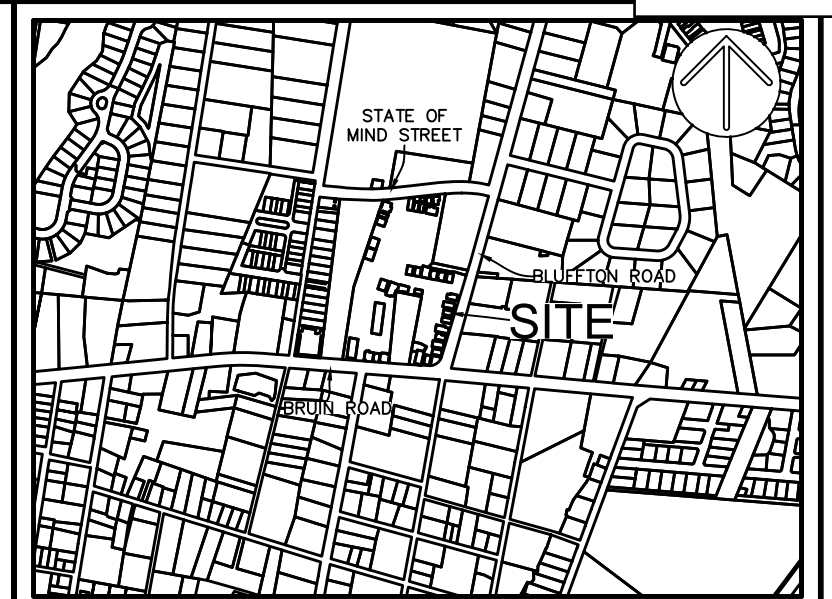
Date

Thomas Michaels Jr.

Printed Name of Applicant

LOCATION MAP
204 Bluffton Road
Neighborhood Core-HD District





BENCHMARK
PK NAIL SET
EL.: 24.61"
DATUM: NAVD 88

VICINITY MAP NOT TO SCALE

- LEGEND
- RBF ● IRON REBAR FOUND
 - RBFD ● IRON REBAR FOUND DISTURBED
 - ⊠ JUNCTION BOX
 - ⊕ LIGHT POLE
 - x 12.9 SPOT ELEVATION
 - ⊖ SW SIGN
 - ⊙ TELEPHONE MANHOLE
 - G SWEET GUM
 - LA LAUREL OAK
 - P PINE
 - CONTOUR LINE
 - CONCRETE
 - EDGE OF PAVEMENT

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X, COMMUNITY 450025, MAP NUMBER 45013004266.
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NAVD 88.
 4. THERE ARE NO BUILDING SETBACKS, PER EMAIL FROM THE TOWN OF BLUFFTON (2-7-2022), AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

- REFERENCES
1. PB:143 PG:44
 2. DB:4017 PG:1022

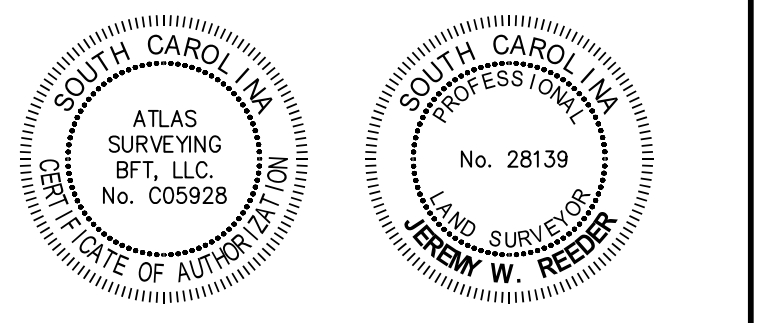
PREPARED FOR:
SM7 DESIGN

A TREE AND TOPOGRAPHIC SURVEY OF
LOT 8
#204 BLUFFTON ROAD
PROMENADE

TAX PARCEL No. R614 039 00A 0320 0000
BLUFFTON
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: LKW
FIELD CHECK: JWR
DRAWN BY: DTJ
DATE: 02-07-2022
SCALE: 1"=5'
PROJECT No.: BFT-15258
FILE: 15258 T11906

ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.





April 7, 2026

Town of Bluffton
20 Bridge Street
Bluffton, SC 29910

RE: 204 Bluffton Road

HD Review Members:

We are requesting conceptual approval of a new building located at 204 Bluffton Road. Along with this project narrative, we have included the following documents for your review:

- Historic District Application / Project Analysis
- Project Narrative
- Comments and Responses from Conceptual Meeting
- Existing site survey (Exhibit A)
- Existing photos with location key (Exhibit B)
- Architectural Design Drawings (Exhibit C)
- Proposed Color Palette (Exhibit D)
- Window Brochure for Kolbe Gastra Windows (Exhibit E)
- Conceptual Streetscape Rendering (Exhibit F)

We are very excited to add this project to the Promenade and the current fabric of downtown. I look forward to discussing this project further at the next available Historic District meeting.

Thank you,



Thomas Michaels Jr. - RA

Project Narrative

Project Narrative U.D.O Information:

The proposed building type used for the development of the design is the Main Street Building which is permitted under the Neighborhood Core Historic District Zoning. The following are the requirements for the main street building lot standards as defined in section 5.15.5.A General Standards.

Building Type	Front Build-to Zone	Lot Width	Frontage Requirement	Setback (from rear property line)	Side Setback (from side property line)	Height (in stories)
Main Street Building	10-20'	50-100'	70%-90%	25'	5'	2-3
Proposed Building	N/A*	N/A*	N/A*	N/A*	N/A*	3

*Note: The building lot is a designated building pad and not a traditional lot, so some requirements are not applicable.

The Main Street Building characteristics are outlined in the U.D.O in Section 5.15.8.A. Below are the requirements and information on how the proposed building complies with them.

- Size Range: NC-HD: 2,000 – 8,000 sq. ft.
 - The proposed building has a conditioned area of 3,978 sq. ft. With exterior porches and stairs, the total building area is approximately 4,560 sq. ft.
- Maximum Footprint (not including porches): NC-HD: 3,500 sq. ft.
 - The proposed building footprint is 1,326 sq. ft.
- Height: NC-HD: 2-3 Stories
 - The proposed building is 3 stories.
- Characteristics: A shopfront building. Retail/office space on ground floor. Office/living space on upper levels. Must have an arcade, colonnade, marquee or awning at the front façade (arcades / colonnades are preferred)
 - The first floor is developed as a real estate office with shopfront windows. The second and third floors have living areas. A colonnade is provided at the front elevation. Due to the site limitation with the angled street right-of-way, the clear distance of the colonnade is 5'-4" feet with an overall of 6'-6" feet finish to finish.

Project Narrative Additional Information:

Site:

The project is located at 204 Bluffton Road (Lot 8) in the Bluffton Promenade. It is one of the last remaining building pads to be developed. The building pad measures 26 feet wide by 51 feet deep and totals 1,326 square feet. An existing survey of the property has been provided and labeled Exhibit A. The Town of Bluffton zoning is Neighborhood Core – HD.

The site is situated between two existing structures located at 202 Bluffton Road to the North and 206 Bluffton Road to the South. The photos and location key provides existing photos looking at the property and looking out from the property. Images 1-3 are views from across Bluffton Road. Image 6 is a view of the lot from the rear parking court. Images 4, 5, 7 and 8 are taken from the center of the building pad.

Structure:

The project consists of a new three-story building of approximately 3,978 square feet conditioned. The first floor is planned to be a new real estate office. It will have a main entry located off Bluffton Road and a rear entry with access from the parking court. The second and third floors will be residential units. These units will be accessed from an exterior stair from the first floor as well as an interior elevator.

The front elevation addresses the street with a first-floor storefront protected by the weather with a three-story covered porch. Both residential units also have access to covered porches on the second and third levels of the structure. The building has two primary finishes. The first floor will be a brick veneer while floors two and three will be a horizontal siding. The main roof will be an architectural shingle and metal accents will be located on the front porch and rear porch. Addition clarification can be found on the architectural drawings.

Comments and Responses: March 23 meeting

The following are modifications to the plans based upon the meeting on March 23rd.:

- Soffits, porch ceilings and exposed roofing areas have been identified as a V-Grove finish compared to the previous smooth finish.
- All windows, besides transoms, have been changed to operable windows. These are either designated as double hung or casement.
- Caps and bases have been added to the columns at the first level to match the second and third levels.
- The horizontal lattice has been removed under the small stair landing.
- A new elevation drawing (1/A204) has been added to show the building behind the horizontal service yard screening.
- The service yard and rear porch have been enlarged to accommodate three condenser units, trash storage and electrical services

Comments and Responses: January 26 meeting

Growth Management Review Comments

Comment 1 Site: Show the location of staircases and service yards for adjacent buildings on the site plan to confirm proximity from the proposed staircase and service yard. Show connection to public sidewalk. As the colonnade, service yard and staircase extend beyond the property line, an updated letter of approval addressing these items will be required from the Promenade POA. SCDOT approval required to relocate sign (if relocation needed).

Response: The adjacent stairwells and service have been shown on the site plans as shaded areas. The service yard on Lot 9 as well as an undocumented drainage inlet required the building to be flipped so that the second-floor access in from the Lot 7 side. All new proposed connections have been illustrated on the site plan. We have submitted to the Promenade POA with the new modifications and will present and approvals or comments when they are received prior to the meeting. We are working with SCDOT for the sign relocation and the required encroachment permits.

Comment 2 Brick: A light-colored brick is proposed for the columns, which is not a brick color that is common to this area. For consistency with Old Town, brick must be a Savannah Grey color (brownish-grey) with a tumbled texture (UDO Sec. 5.15.6.G.3.h.).

Response: The brick that has been selected is Old Georgetown. It is similar to Savannah Grey. We have included a color image on the color board and will bring in a full-size sample to present at the HD meeting.

Comment 3 Columns: The colonnade columns are bulky given their width (2'-6") and reduce full visibility of the storefront. Show the location of the rear porch columns on the site plan (Sheet A001).

Response: The front columns have been reduced to a finished width of 2'-0". All column locations have been shown on the site plan (Sheet A001) and the Landscape Plan (Sheet A002)

Comment 4 Service Yard Fence: The fence is shown to be 6'-6"; fence height must be no taller than 6 feet (UDO Sec. 5.15.5.F.9.c.).

Response: Due to the repositioning of the building on the site (please refer to Comment 1 above) the service area was relocated to the rear of the building under the porch. This area will be for service and access to the fire riser room. The horizontal boards for screening have been extended to full height to match the side porch and stairs.

Comment 5 Signage: Signage is not reviewed with the COFA application. Per Section 3.19 of the UDO, a Site Feature-HD is required for any signs proposed on the site.

Response: We have removed any building signage from the submittal. When a signage design is selected, we shall submit the appropriate application and documents

Comment 6: Final Plan Submission: The Final Plan, to be reviewed by the Historic Preservation Commission (HPC), must include all required materials, as indicated on the COFA application. A complete application includes providing a written response to these HPRC comments, identification of all materials, configurations and dimensions that are consistent with UDO requirements. If variations are sought, they must be identified in the narrative to submitted with the application. Details must include corner boards, wall section through eave, corner boards, balustrade/railings, window and door schedules, gutters, and other applicable items. Please review UDO Section 5.15 (Old Town Bluffton Historic District) for specific requirements. An incomplete submission will not be scheduled for HPC review until such time as all required items are provided.

Response: We feel we have prepared a submittal that addresses the UDO and the comments from the January meeting.

HPRC Review Comments

Comment 1 Height: The building appears much taller than neighboring buildings; consider lowering each story by one foot. [Note: The height to the top of the cupola is 48'-8 3/8". The height of the adjacent properties to the roof ridge are 43'-0" (202 Bluffton) and 41'-9" (206 Bluffton).]

Response: The overall height of the structure to the peak of the roof has been reduce to +/- 42'-11". This has been accomplished by the following methods:

- Reducing the plate height of the first floor by one foot to a plate height of 11'-0".
- Reducing the plate height of the third floor by 6" to a plate height of 9'-6"
- Altering the main roof pitch from an 8:12 pitch to a 7:12 pitch.
- Deletion of the cupola.

These modifications have brought the height more in line with the neighboring buildings.

Comment 2: Front Porch Entry / Columns: The front porch entry should be restudied. The columns are too tall, lack detailing and should be no taller than one-story. For a masonry application, they are also too skinny. Traditional brick masonry should visually ground a structure and provide scale. The relationship between the windows and columns should also be restudied as the windows continue past the porch.

Response: The front entry porch has been redesigned to address the comments. The brick columns have been reduced to a single story, and the second-floor column has been modified to a more traditional wood appearance.

Comment 3 Side Porch / Stairs: Restudy the side porch structure. The skinny deck posts are too slender and would benefit from a thoughtful cross bracing or screening detail. Related to the porch, the underside of the stairs should appear finished from the street if they are left exposed.

Response: The side entry porch and stairs have been redesigned. Larger columns and horizontal screening have replaced the previous design. The side entry is now similar to other structures in the Promenade.

Comment 4 Rear Porch: Restudy the size of the rear porch columns which are disproportionate to the height of the porch. Consider changing the column size/design as the floors process upward.

Response: The rear porch columns have been restudied and adjusted to be similar with the front and side porches. The horizontal boards for the service area add a base to the upper porch levels.

Comment 5 Porch Roofs: Consider creating more interest in the porch roofs, such as adding exposed rafters.

Response: The soffit design for the front porch, rear porch and side entry have been redesigned to include exposed rafter tails.

Comment 6 Cupola: The cupola on the top of the roof should serve a purpose, create a unique detail, or be removed. A cupola that lacks detailing and makes more lap siding and corner boards is not appropriate. The structure is already taller than its neighbors based on its taller floor heights, so a strong argument as to why the cupola should be a part of the design is necessary.

Response: The cupola has been removed from the design to assist in reducing the overall height of the structure. (Please reference Comment 1 above)

Comment 7 Brackets: Front porch brackets should support a beam which supports the rafters. The beam appears to be missing. This comment also applies to the back door bracketed roof.

Response: Beam have been added in the appropriate locations for both the front poch and the rear door awning.

Comment 8 Windows: Restudy the window details in the brick walls. A brick header and sill detail is more appropriate to the Bluffton vernacular than wood casing. Window lites should have vertical proportions (UDO Sec. 5.15.6.I.). Consider making the square windows on the right elevation taller, even if they already meet the UDO requirement.

Response: The windows in the brick wall have been modified to show the appropriate brick header and sill. All of the windows have been restudied, and additional windows have been added to both side elevations to create a better interior environment

Comment 9 Doors: The Riser Room door appears to have three horizontal divides which do not match the architecture of the adjacent door.

Response: The rear riser room door has been changed to a flat door. It shall be screened from public view from the horizontal lattice.

Comment 10 Water Table: Consider a brick water table on the brick between floors.

Response: We have restudied the elevations and have added a brick water table between the first and second floor, replacing the wood skirting on the previous submission. We have also added a base to the first floor to provide additional interest and a bottom termination.



VICINITY MAP NOT TO SCALE

LEGEND

- RBF ● IRON REBAR FOUND
- Rbfd ● IRON REBAR FOUND DISTURBED
- ☒ JUNCTION BOX
- ☒ LIGHT POLE
- × 12.9 SPOT ELEVATION
- ⊙ SIGN
- ⊙ TELEPHONE MANHOLE
- G SWEET GUM
- LA LAUREL OAK
- P PINE
- CONTOUR LINE
- ▨ CONCRETE
- ▨ EDGE OF PAVEMENT

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X, COMMUNITY 450025, MAP NUMBER 45013C0426G.
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NAVD 88.
 4. THERE ARE NO BUILDING SETBACKS, PER EMAIL FROM THE TOWN OF BLUFFTON (2-7-2022), AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

- REFERENCES
1. PB:143 PG:44
 2. DB:4017 PG:1022

PREPARED FOR:
SM7 DESIGN

A TREE AND TOPOGRAPHIC SURVEY OF
LOT 8
#204 BLUFFTON ROAD
PROMENADE

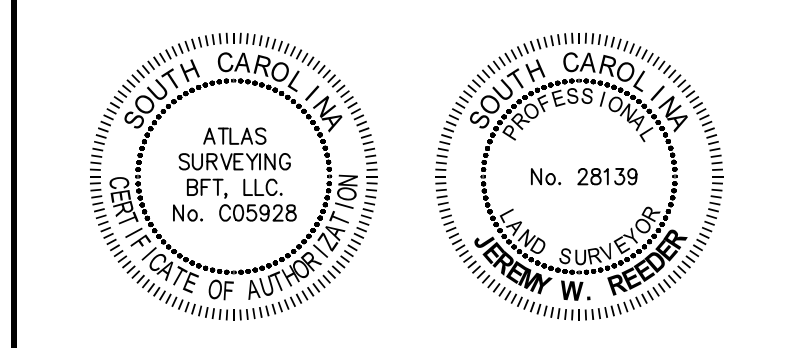
TAX PARCEL No. R614 039 00A 0320 0000

BLUFFTON
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: LKW
FIELD CHECK: JWR
DRAWN BY: DTJ
DATE: 02-07-2022
SCALE: 1"=5'
PROJECT No.: BFT-15258
FILE: 15258 T1.DWG

ATLAS
SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS COMPIED WITH SEAL

IMAGE 6. VIEW OF LOT LOOKING EAST



IMAGE 7. VIEW FROM LOT LOOKING WEST



IMAGE 5. VIEW FROM LOT LOOKING EAST



IMAGE 4. VIEW FROM LOT LOOKING NORTH

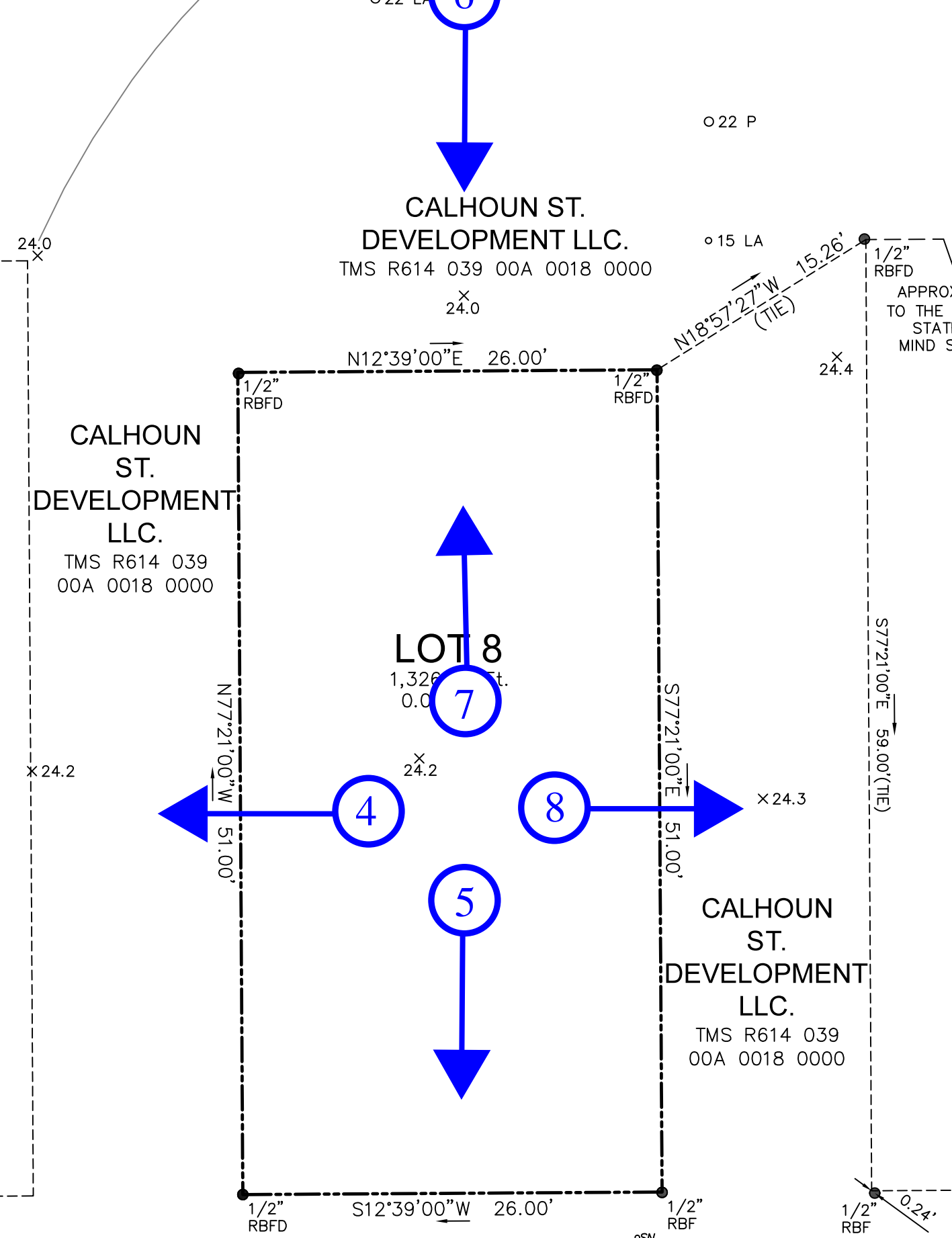


IMAGE 8. VIEW FROM LOT LOOKING SOUTH



IMAGE 3. VIEW OF LOT LOOKING NORTHWEST

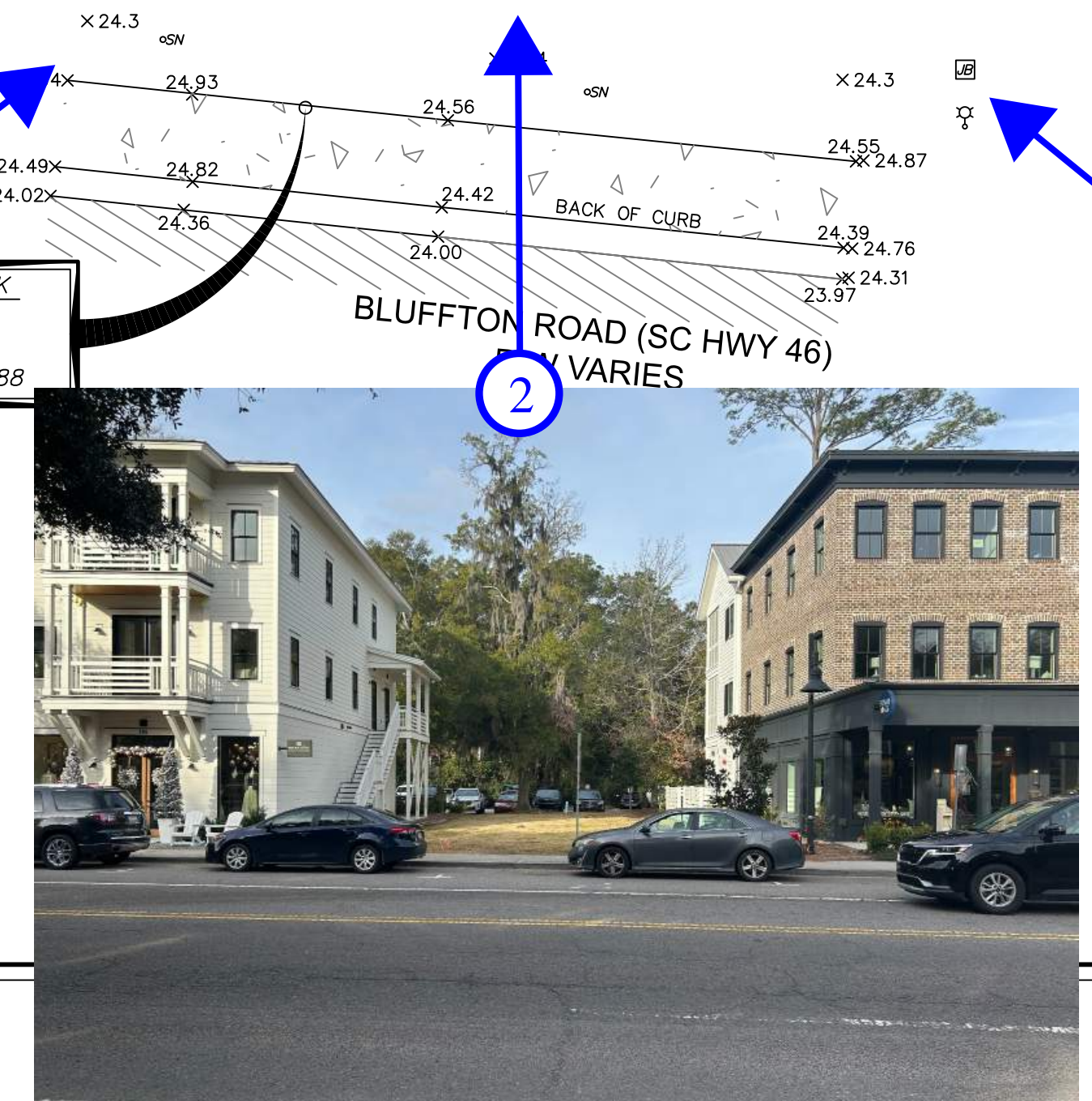
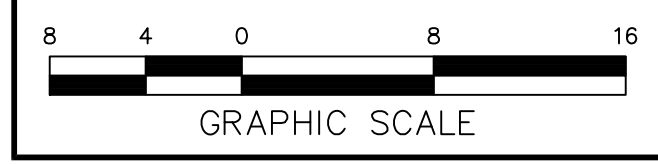


IMAGE 2. VIEW OF LOT LOOKING WEST



IMAGE 1. VIEW OF LOT LOOKING SOUTHWEST



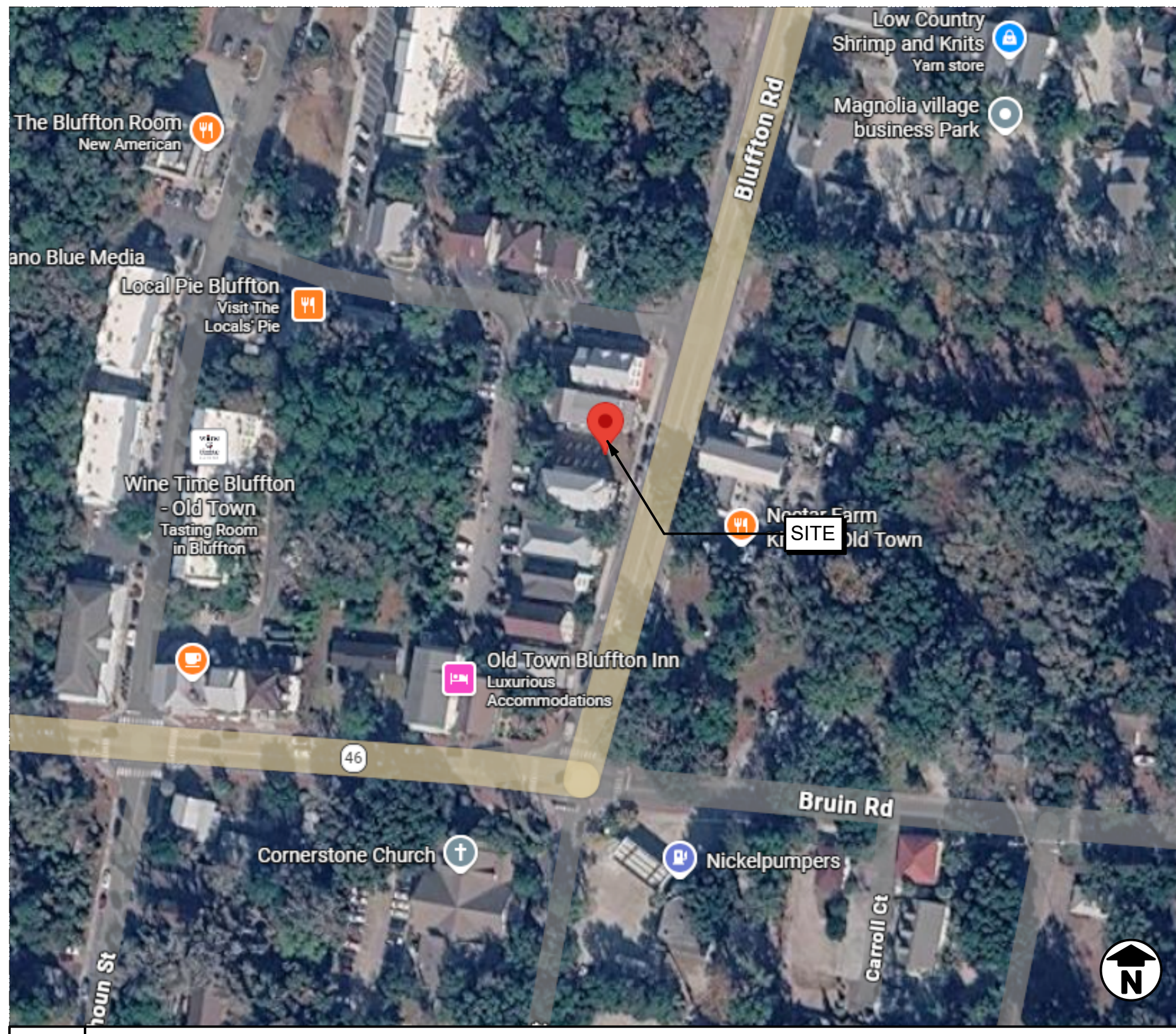


204 Bluffton Road
conceptual rendering



NEW COMMERCIAL

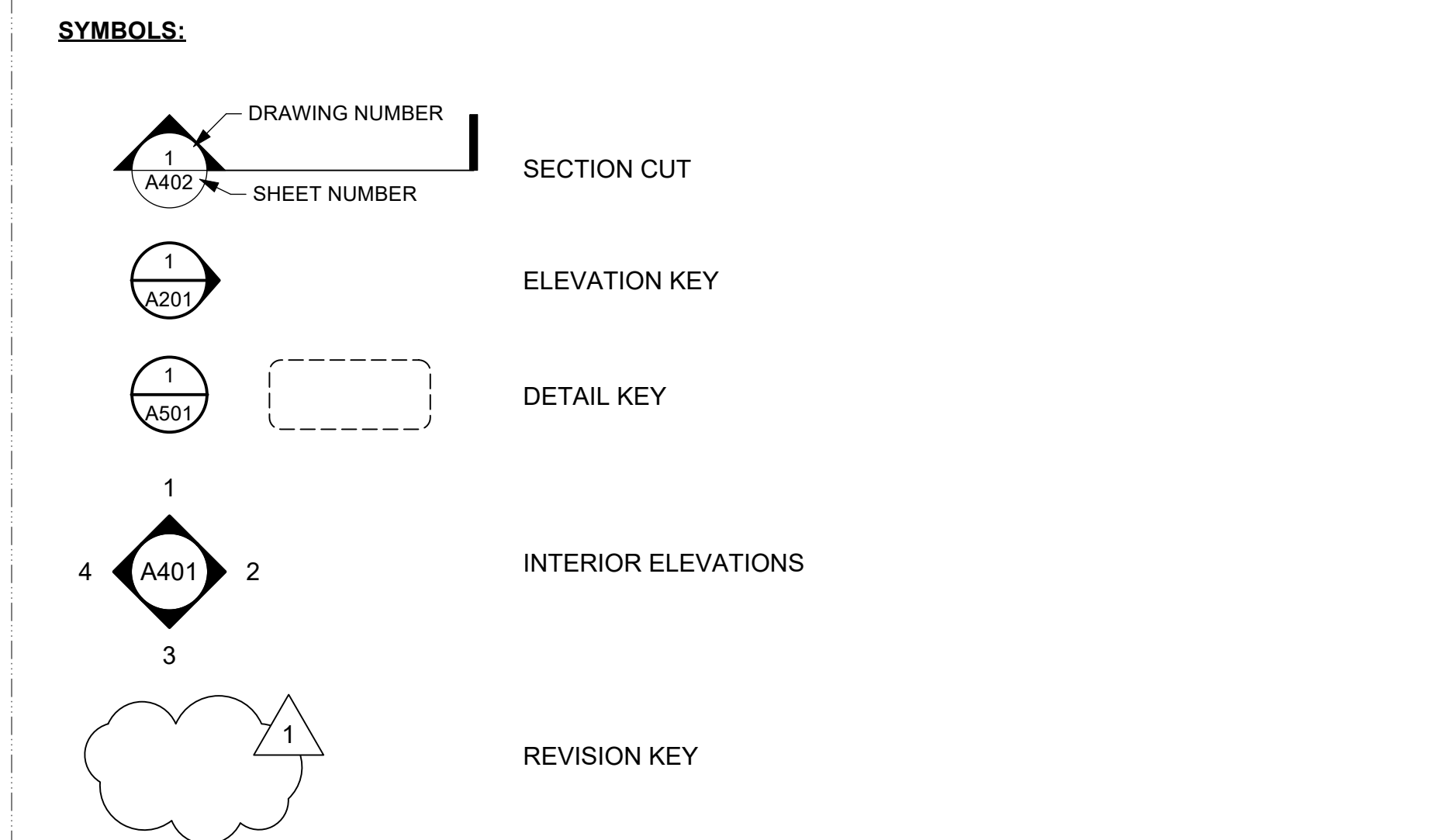
204 BLUFFTON RD, BLUFFTON, SC 29910



5 VICINITY MAP
Scale: NTS

ABBREVIATIONS:

A ABV. ABOVE ADJ. ADJACENT A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE ANG. ANGLE APPROX. APPROXIMATE	B BD. BOARD BLDG. BUILDING BLKG. BLOCKING BM. BEAM BSMT. BASEMENT BOT. BOTTOM	C CAB. CABINET CL. CENTER LINE C.T. CERAMIC TILE CLG. CEILING CLO. CLOSET CM. CENTIMETER CMU. CONCRETE MASONRY UNIT	D DEPT. DEPARTMENT DTL. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN. DOWN DS. DOWN SPOUT DWG. DRAWING	E E.A. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL EMER. EMERGENCY EQ. EQUAL EQUIP. EQUIPMENT E.W. EACH WAY E. EXISTING EXT. EXTERIOR	F F.D. FLOOR DRAIN FL. FLOOR F.J. FLOOR JOIST FT. FOOT	G GA. GAUGE GALV. GALVANIZED GYP. GYPSUM BOARD	H H.B. HOSE BIB H.C.WD. HOLLOW CORE WOOD H.M. HOLLOW METAL HORIZ. HORIZONTAL HGT. HEIGHT	L LAM. LAMINATE LAV. LAVATORY LT. LIGHT	M MAS. MASONRY MAX. MAXIMUM MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING	N N.I.C. NOT IN CONTRACT # NUMBER N.T.S. NOT TO SCALE	O O.C. ON CENTER O.D. OUTSIDE DIAMETER OPNG. OPENING OPT. OPTIONAL	P P.C. PRECAST PL. PLATE P. LAM. PLASTIC LAMINATE P.T. PRESSURE TREATED PLYWD. PLYWOOD PR. PAIR P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH PTD. PAINTED P.V.C. POLYVINYL CHLORIDE	Q QTY. QUANTITY	R R. RISER RAD. RADIUS R.D. ROOF DRAIN REF. REFRIGERATOR REINF. REINFORCING REV. REVISION REQD. REQUIRED R.J. ROOF JOIST RM. ROOM R.O. ROUGH OPENING	S SCHEW. SCHEDULE SCWD. SOLID CORE WOOD S.F. SQUARE FOOT SH. SHELF SHT. SHEET SIM. SIMILAR S.M.P. SOLID MASONRY PIER SPEC. SPECIFICATION SQ. SQUARE S.S. STAINLESS STEEL STD. STANDARD STL. STEEL SUSP. SUSPENDED	T T. TREAD TEL. TELEPHONE THK. THICK THRES. THRESHOLD THRU. THROUGH T.O.P. TOP OF PLATE T.O.S. TOP OF STEEL T.O.SH. TOP OF SHEATHING T.O.SL. TOP OF SLAB TYP. TYPICAL	U UON. UNLESS OTHERWISE NOTED VCT. VINYL COMPOSITION TILE VERT. VERTICAL V.I.F. VERIFY IN FIELD	W W. WITH WD. WOOD W/O. WITHOUT WP. WATERPROOFING WT. WEIGHT WWF. WELDED WIRE FABRIC
---	--	---	--	---	---	--	--	---	--	---	---	---	---------------------------	---	---	--	--	---



4 SYMBOLS AND ABBREVIATIONS
Scale: NTS

PROJECT SCOPE NOTES:

THIS SET OF DRAWINGS INDICATES THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE STRUCTURAL SYSTEM, THE ELECTRICAL SYSTEM, AND THE ELECTRICAL OUTLETS AND FIXTURE LOCATIONS, AND AN OUTLINE OF MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION. AS A "SCOPE" DOCUMENT, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL OF THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE PROJECT. PRICING WILL BE BASED ON THESE DOCUMENTS WITH THE UNDERSTANDING THAT THE CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIERS ARE TO FURNISH ALL ITEMS FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO THE CONTRACT OR SUBCONTRACT PRICE. IT IS INTENDED THAT THE WORK BE OF SOUND, QUALITY CONSTRUCTION IN FULL COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR IMPLIED. THE ARCHITECT SHALL BE THE SOLE INTERPRETER OF THE SCOPE DOCUMENTS. DECISIONS OF THE ARCHITECT AS TO ITEMS OF WORK WITHIN THE "SCOPE" OF THESE DRAWINGS SHALL BE FINAL.

ENVIRONMENTAL CONDITIONS NOTE:

OTHER HAZARDOUS SUBSTANCES, OR THE LIKELIHOOD OF THEIR PRESENCE ON THIS SET OF DRAWINGS IS NOT INTENDED TO MAKE RECOMMENDATIONS REGARDING THE DETECTION OR REMOVAL OF ASBESTOS, LEAD OR ANY AND ALL HAZARDOUS MATERIALS. HAZARDOUS MATERIAL DETECTION AND REMOVAL IS THE RESPONSIBILITY OF THE OWNER.

GENERAL NOTES:

- ALL WORK TO BE PERFORMED AND ALL MATERIALS AND FINISHES TO BE INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES, STANDARDS AND ORDINANCES ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION (AHJ) OF THE WORK. THIS SHALL INCLUDE REQUIREMENTS BY ANY AND ALL UTILITY COMPANIES, HEALTH DEPARTMENTS OR OTHER AGENCIES HAVING JURISDICTION. PRIME GENERAL CONTRACTOR TO PROVIDE THE OWNER WITH CERTIFICATE OF OCCUPANCY PRIOR TO RECEIPT OF FINAL PAYMENT.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE AHJ, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE AHJ AS REQUIRED.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THE PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING ALL PROJECT PRIME CONTRACTORS AND SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES AND IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND WORK INCLUDING WORK NOT IN THE CONTRACT AS WELL AS WORK PERFORMED BY SEPARATE SUBCONTRACTORS RETAINED BY THE OWNER UNDER SEPARATE AGREEMENT. ALL SUCH WORK NOT IN CONTRACT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PRIME CONTRACTORS ARE TO FURNISH THE ARCHITECT WITH INSURANCE CERTIFICATES AS REQUIRED PRIOR TO COMMENCEMENT OF THE WORK AND TO FURNISH THE ARCHITECT WITH ALL WAIVERS OF LIENS SPECIFIED BY THE ARCHITECT PRIOR TO THE RECEIPT OF ANY AND ALL PAYMENTS.
- PRIME GENERAL CONTRACTOR IS TO COORDINATE THEIR ACTIVITIES DURING CONSTRUCTION WITH THE ARCHITECT AND TO PROVIDE THE ARCHITECT WITH A PROJECT SCHEDULE FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. THIS PROJECT SCHEDULE SHALL INCLUDE THE SCHEDULES OF ALL OTHER PRIME CONTRACTORS.
- ALL PRIME CONTRACTORS ARE TO KEEP A FULL SET OF COMPLETE AND UP TO DATE PLANS AND SPECIFICATIONS AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR SUCCESSFUL COMPLETION OF THE WORK AND AS REQUIRED BY LAW.
- PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE EXISTING STRUCTURE (IF ANY) DURING THE ENTIRE DEMOLITION AND/OR CONSTRUCTION PROCESS. PRIME GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE TEMPORARY SHORING WHERE AND WHEN NECESSARY. PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE STRUCTURAL INTEGRITY OF EXISTING FRAMING BEFORE THE REMOVAL OF ANY PARTITION OR STRUCTURAL ELEMENT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- ALL MATERIALS SUPPLIED BY THE PRIME CONTRACTORS TO BE NEW AND OF BEST QUALITY AVAILABLE. ALL LABOR AND MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT. THE PRIME CONTRACTORS ARE TO INSTALL ALL MATERIAL AND LABOR, UNLESS SPECIFICALLY NOTED, FOR THE COMPLETE INSTALLATION OF ALL WORK AS SPECIFIED HEREIN. DELIVER PRODUCTS SCHEDULED FOR USE IN THE WORK WITHIN THE MANUFACTURERS ORIGINAL CONTAINER WITH LABELS INTACT. MAINTAIN FINISHED SURFACES CLEAR, UNMARRED AND SUITABLY PROTECTED UNTIL ACCEPTED BY THE OWNER. IN THE EVENT OF DAMAGED, PROMPTLY REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER OR EXTENSION IN THE CONTRACT TIME OF COMPLETION.
- PROJECT CONTRACT CLOSE-OUT SUBMITTALS TO INCLUDE, BUT NOT LIMITED TO: PROJECT RECORD DOCUMENTS, OPERATION AND MAINTENANCE DATA, WARRANTIES AND BONDS, KEYS AND KEYING SCHEDULE, SPARE PARTS AND MATERIAL STOCK, CERTIFICATES OF INSPECTION/OCCUPANCY/INSURANCE, EVIDENCE OF PAYMENT AND RELEASE OF LIENS, AND A LIST OF SUBCONTRACTORS, PRINCIPAL VENDORS AND SERVICE ORGANIZATIONS, INCLUDING EMERGENCY TELEPHONE NUMBERS. INSTRUCT THE OWNER ON PROPER OPERATION AND MAINTENANCE OF SYSTEMS, EQUIPMENT AND SIMILAR ITEMS PRIOR TO RELEASE OF FINAL PAYMENTS TO THE PRIME CONTRACTORS AND/OR RELATED SUBCONTRACTOR.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF THEIR CONSTRUCTION DEBRIS AS PER ALL GOVERNING CODES AND ORDINANCES. FINAL CLEAN UP OF ALL WORK AND MATERIAL SHALL BE TO THE OWNER'S SATISFACTION PRIOR TO COMPLETION. THROUGHOUT THE DEMOLITION AND/OR CONSTRUCTION PERIOD, THE PRIME CONTRACTORS TO MAINTAIN THE BUILDING AND SITE IN A CLEAN MANNER AND STORE ITEMS IN AN ORDERLY ARRANGEMENT ALLOWING MAXIMUM ACCESS, NOT IMPEDING THE CONSTRUCTION PROCESS OF ANY SUBCONTRACTOR AND PROVIDING THE REQUIRED PROTECTION OF MATERIALS. THE PRIME CONTRACTORS SHALL NOT ALLOW THE ACCUMULATION OF SCRAP, DEBRIS AND WASTE MATERIAL. AT THE END OF THE PROJECT, THE PRIME CONTRACTORS ARE TO REMOVE DUST, DEBRIS, OIL STAINS, FINGERPRINTS AND LABELS FROM EXPOSED FINISHED SURFACES, INCLUDING GLAZING.
- SUBSTITUTIONS EQUAL TO THE ITEMS SPECIFIED WILL BE CONSIDERED ONLY WHEN REQUIRED BY CODE OR INSURANCE. WHEN PROVEN UNAVAILABLE OR UNSAFE, OR WHEN A MANUFACTURER REFUSES TO CERTIFY PERFORMANCE, WHEN IT WOULD BE SUBSTANTIALLY TO THE OWNER'S BEST INTEREST IN TERMS OF COST, TIME, OR OTHER CONSIDERATION. ALL SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE ARCHITECT IN ADVANCE OF THEIR PURCHASE OR INSTALLATION BY THE SPECIFIED PRIME CONTRACTOR.
- FURNISH SHOP DRAWINGS (IF APPLICABLE), SAMPLES AND PROJECT DATA WHEN NOTED FOR REVIEW AND APPROVAL BY THE ARCHITECT AFTER CHECKING AND CERTIFYING COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUCH INFORMATION SHALL BE SUBMITTED WITH A SIGNATURE AND DATE MARKED "CONTRACTOR APPROVED".
- PROVIDE TEMPORARY FACILITIES AND CONTROLS REQUIRED FOR THE WORK, INCLUDING BUT NOT LIMITED TO: TEMPORARY UTILITIES SUCH AS HEAT OR AIR CONDITIONING, WATER, ELECTRICITY, TELEPHONE, FIELD OFFICE, SANITARY FACILITIES, ENCLOSURES SUCH AS TARPULINS, BARRICADES AND CANOPIES. GENERAL CONTRACTOR TO PROVIDE NECESSARY SAFETY PROTECTIONS FOR GENERA PUBLIC AT ALL TIMES.
- ALL PRIME CONTRACTORS ARE TO UNCOVER WORK TO PROVIDE FOR AN INSPECTION OF INSTALLATION OF ILL-TIMED WORK. REMOVE AND REPLACE ALL WORK NOT CONFORMING TO REQUIREMENTS OF THE CONTRACT DOCUMENTS AT THE PRIME CONTRACTORS OWN COST.
- ALL PRIME CONTRACTORS ARE TO REVIEW DOCUMENTS WITH THE ARCHITECT AND THE OWNER AND SUBMIT IN WRITING, A DESCRIPTION OF RESPONSIBILITIES IN REGARD TO ALL OWNER SUPPLIED ITEMS, INCLUDING MATERIALS AND DETAILS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- OWNER TO VERIFY THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES AND SEPTIC INSTALLATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALLS PARTITIONS UNLESS OTHERWISE NOTED. VERIFY ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR INSUREING THAT THE FRAMING DIMENSIONS WILL PRODUCE THE FINISH FLOOR PLANS AS SHOWN IN THE DRAWINGS. CONTRACTOR TO HAVE ALL CHANGES APPROVED IN WRITING BY THE ARCHITECT. IN CASE OF DISCREPANCIES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE AHJ.
- EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS (PLUMBING, ELECTRICAL, MECHANICAL, FIRE PROTECTION).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE AHJ AND ALL APPLICABLE CODES.
- EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.
- DUCTS, PIPES AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE SPACES NOT EXCEEDING 1/2 INCH PACKED WITH MINERAL WOOL AND CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS. AGGREGATE AREA OF SUCH OPENINGS SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQ. FT. OF WALL OR FLOOR AREA UNLESS PROTECTED BY RATED SELF-CLOSING DEVICES.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ECT., SHALL BE FIRESTOPPED (EXCEPT WHERE CONCEALED SPACE IS SPRINKLERED) NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED, FITTED AND PERMANENTLY SECURED IN POSITION. FIRE SEAL SHALL MATCH RATING OF WALL.
- CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN SUCH PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
- PENETRATION OF OPENINGS IN WALLS, PARTITIONS OR FLOORS, FOR PIPE SLEEVES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, ELECTRIC DEVICES, ECT., SHALL BE PLACED, SEALED, LINED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED S.T.C. RATINGS.

CONTRACT ADMINISTRATION NOTE:

SHOULD SM7 DESIGN LLC NOT PERFORM CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT, THEN THE OWNER ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND FOR CONSTRUCTION OBSERVATION OR REVIEW AND WAIVES ANY CLAIMS AGAINST SM7 DESIGN LLC THAT MAY BE IN ANY WAY CONNECTED THERETO.

3 GENERAL NOTES
Scale: NTS

PROJECT INFORMATION:

NAME OF PROJECT: NEW PROJECT
 ADDRESS: 204 BLUFFTON RD, BLUFFTON, SC 29910
 PROPOSED USE: _____
 OWNER / AUTHORIZED AGENT: _____
 OWNED BY: CITY/COUNTY PRIVATE STATE
 CODE ENFORCEMENT JURISDICTION: CITY: BLUFFTON COUNTY: BEAUFORT STATE: SC

PROJECT SUMMARY:

THE PROJECT IS A NEW SINGLE FAMILY RESIDENCE WITH THE FOLLOWING AREA:

BUILDING CALCULATIONS	
Conditioned Areas	
First Floor	1,314 SF
Second Floor	1,290 SF
Third Floor	1,223 SF
Total Conditioned Area	3,827 SF
Garages	0 SF
Covered Areas, Screen Porches	0 SF
Exterior Decks, Stairs, Patios, Service Yards	0 SF
Pools	0 SF

APPLICABLE BUILDING CODES:

NEW CONSTRUCTION RENOVATION UPFIT ALTERATION
 - INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH SOUTH CAROLINA AMENDMENTS

ENERGY CODE COMPLIANCE INFORMATION

MINIMUM INSULATION VALUES:
 FLOOR: R-19
 WALL: R-13
 CEILING: R-30

FENESTRATION REQUIREMENTS:
 U-FACTOR: 0.50
 SHGC: 0.30

2 PROJECT DATA
Scale: NTS

SHEET INDEX

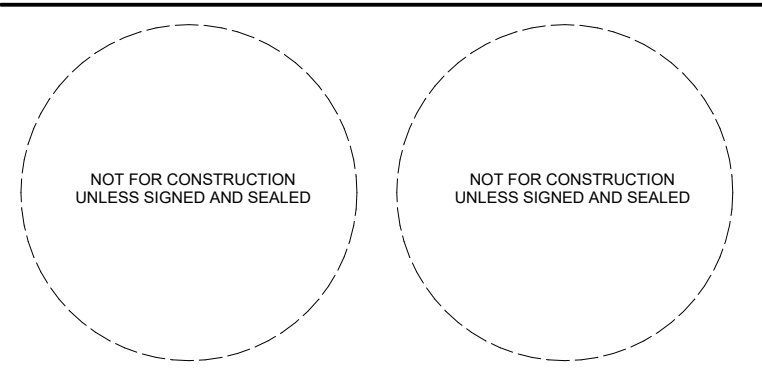
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G000	COVER SHEET			
G001	TITLE SHEET			
A001	ARCHITECTURAL SITE PLAN			
A002	LANDSCAPE PLAN			
A101	FIRST / SECOND FLOOR PLAN			
A102	THIRD FLOOR / ROOF PLAN			
A201	ELEVATIONS			
A202	ELEVATIONS			
A203	ELEVATIONS			
A204	ELEVATIONS			
A401	WALL SECTIONS			
A402	WALL SECTIONS			
A501	DETAILS			
A502	DETAILS			
A503	DETAILS			
A504	DETAILS			
A505	DETAILS			
A602	SCHEDULES			

1 SHEET INDEX
Scale: NTS



architecture + planning

SM7 DESIGN LLC
 19 PROMENADE ST., STE 201
 BLUFFTON SC 29910



PROJECT:
 NEW COMMERCIAL

ADDRESS:
 204 BLUFFTON RD,
 BLUFFTON, SC 29910

ISSUE / REVISION:
 3/4/2026 FINAL HD REVIEW
 SUBMITTAL

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 DRAWING SCALES ARE PROVIDED FOR REFERENCE ONLY. DO NOT SCALE DRAWINGS. ORIGINAL SHEET SIZE - 24"x36"

DRAWN BY: T. MCGILL
 REVIEWED BY: T. MICHAELS
 PROJECT ID:
 SHEET TITLE:

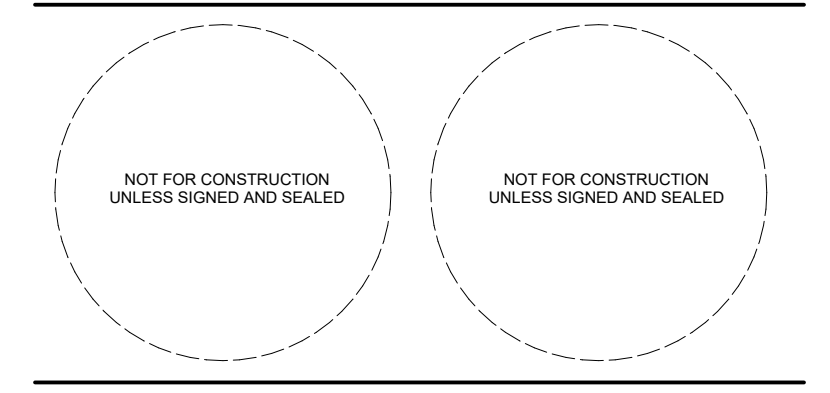
TITLE SHEET

G001



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BLUFFTON SC 29910



PROJECT:
NEW COMMERCIAL

ADDRESS:
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BLUFFTON, SC 29910

ISSUE / REVISION:
3/4/2026 FINAL HD REVIEW
SUBMITTAL

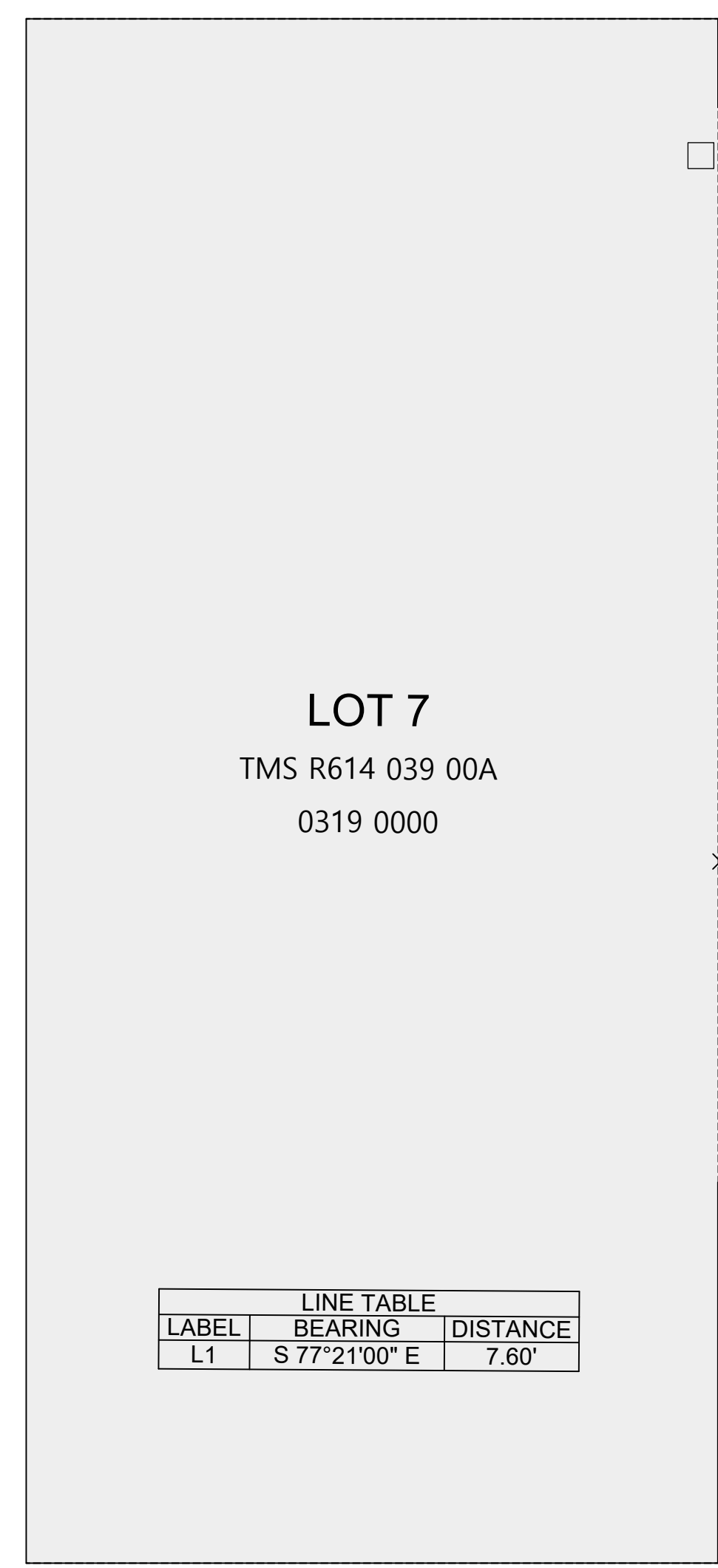
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DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

ARCHITECTURAL
SITE PLAN

A001

CALHOUN ST.
DEVELOPMENT LLC.
TMS R614 039 00A 0018 0000



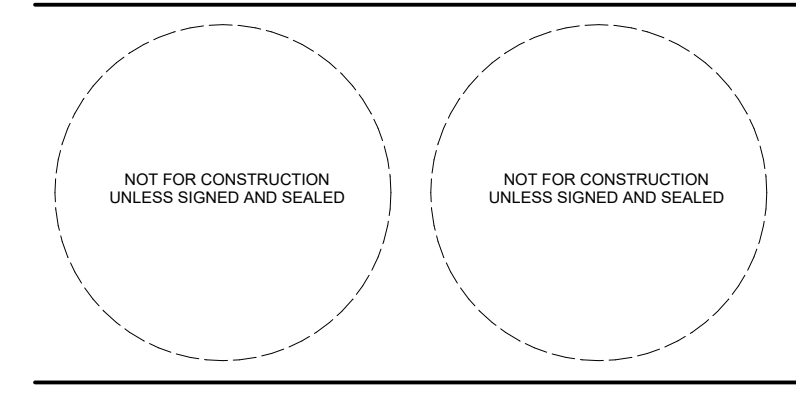
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LABEL	BEARING	DISTANCE
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BENCHMARK
PK NAIL SET
EL.: 24.61"
DATUM: NAVD 88



architecture + planning

SM7 DESIGN LLC
19 PROMENADE ST., STE 201
BLUFFTON SC 29910



PROJECT:
NEW COMMERCIAL

ADDRESS:
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BLUFFTON, SC 29910

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DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

LANDSCAPE PLAN

A002

CALHOUN ST.
DEVELOPMENT LLC.
TMS R614 039 00A 0018 0000

LOT 7
TMS R614 039 00A
0319 0000

LOT 8
1,326 Sq.Ft. 0.030
Ac.

LOT 9
TMS R614 039 00A
0321 0000

PLANT SCHEDULE			
QTY.	SIZE	PLANT	COMMENT
70	1 G	CAREX EVERILLO	
20	3 G	FOXTAIL FERN	
58	4.5"	ANNUAL FLOWERS	DISTRIBUTE IN TWO BEDS
24	7 G	BOXWOOD WINTERGREEN	
3	15 G	TEA OLIVE	
1	15 G	PODOCARPUS	
2	30 G	ITALIAN CYPRESS	
2	30-36"	BOXWOOD PYRAMIDAL	

LANDSCAPE DESIGN BY: PETE KNAPIK



MAKE IT PERFECT.

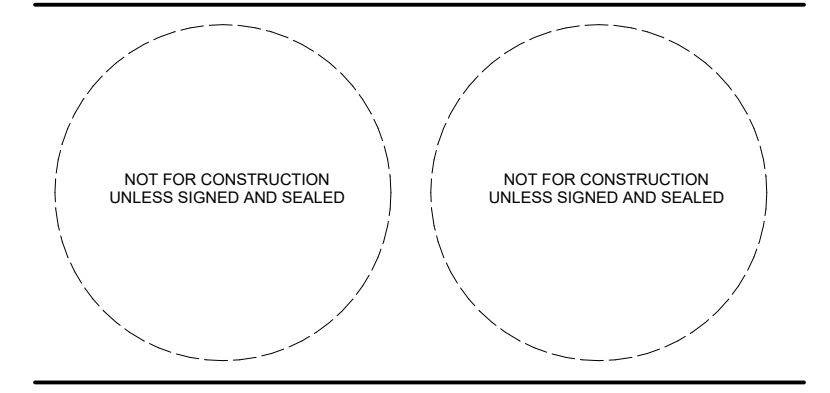
LINE TABLE		
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L1	S 77°21'00" E	7.60'

BENCHMARK
PK NAIL SET
EL.: 24.61"
DATUM: NAVD 88



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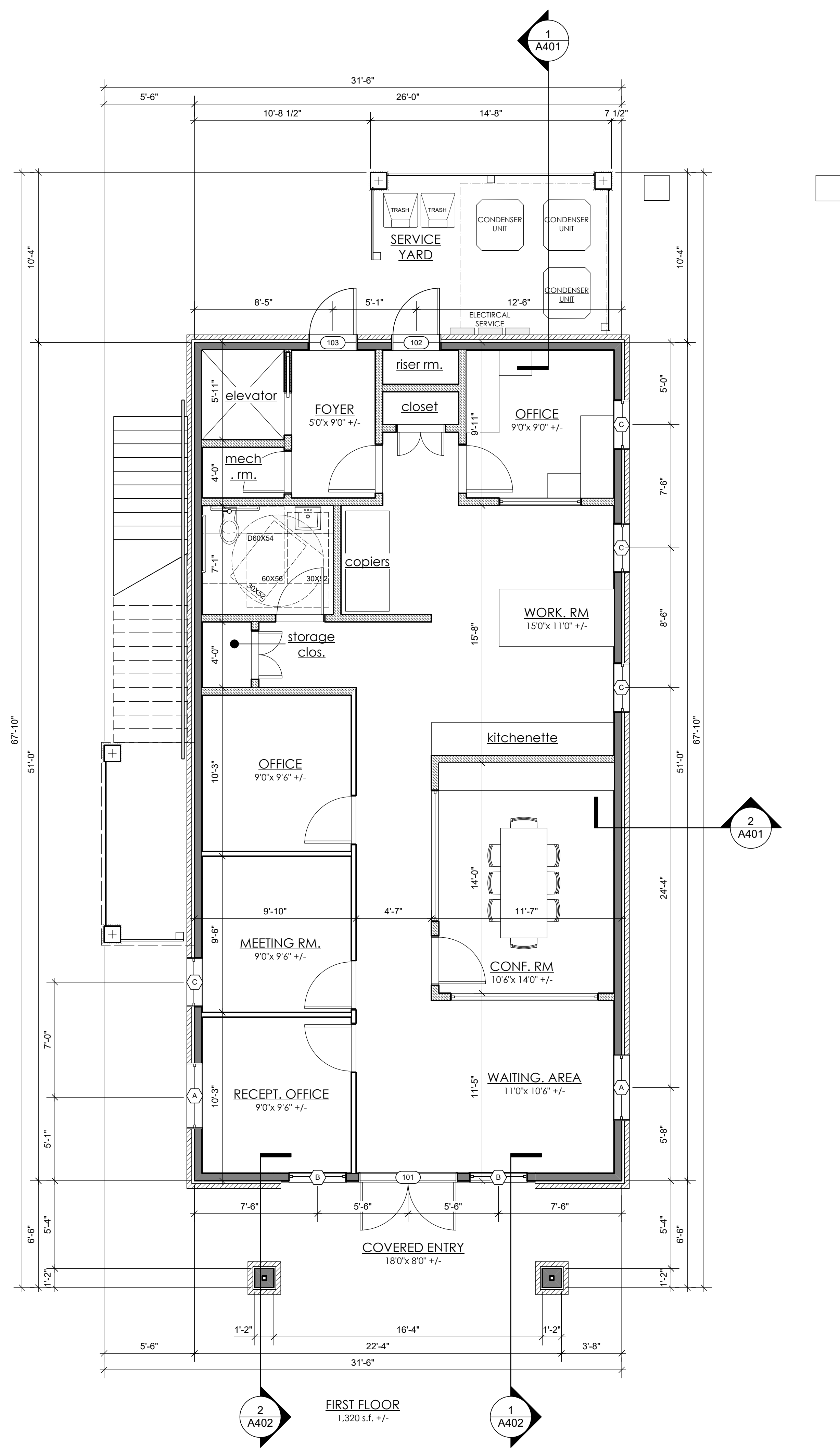
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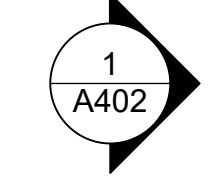
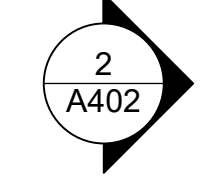
DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

FIRST / SECOND
FLOOR PLAN

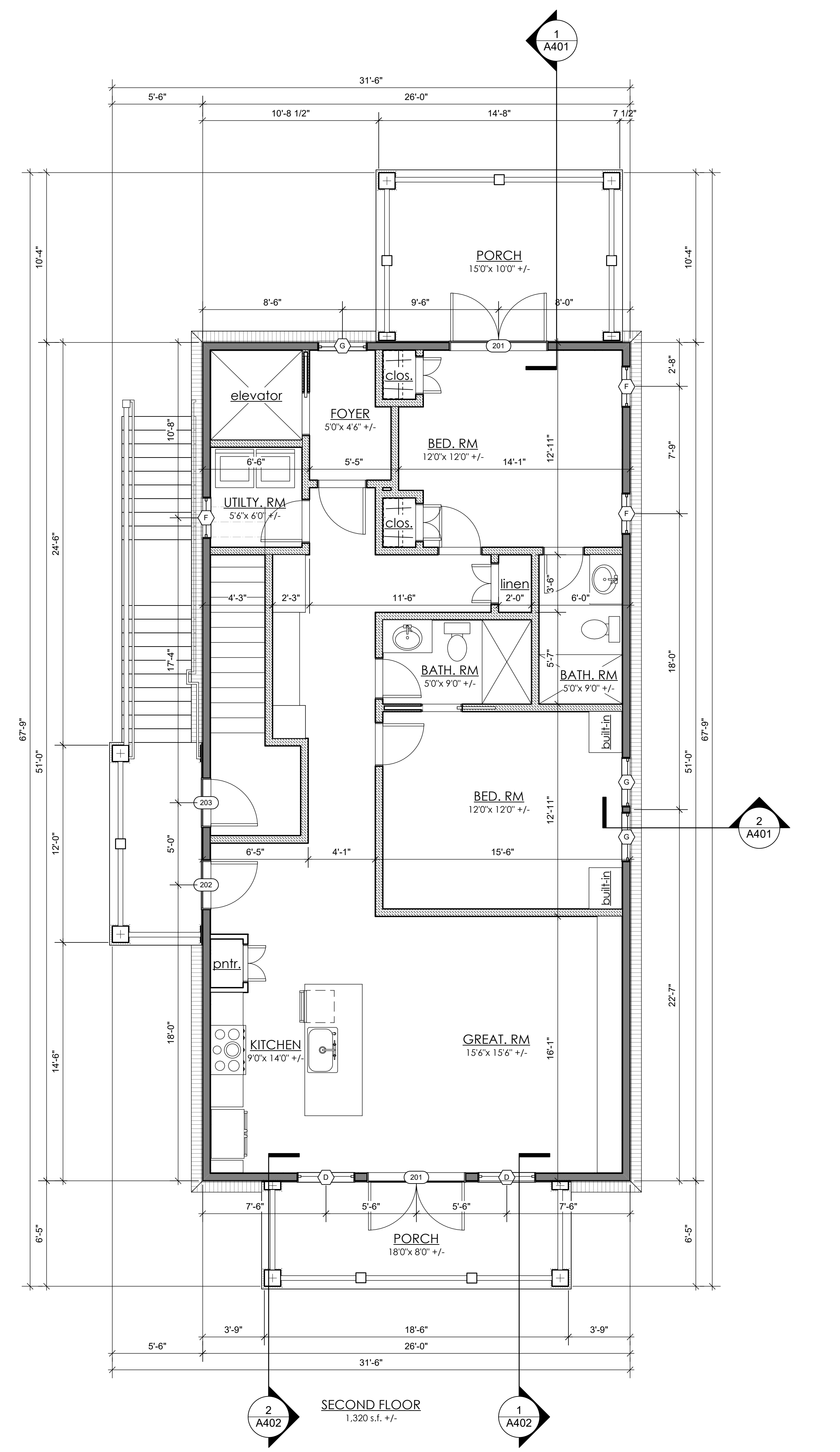
A101



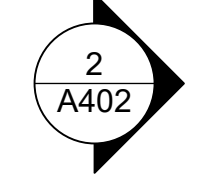
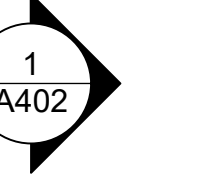
FIRST FLOOR
1,320 s.f. +/-



2 FIRST FLOOR PLAN
Scale: 1/4" = 1'0"



SECOND FLOOR
1,320 s.f. +/-

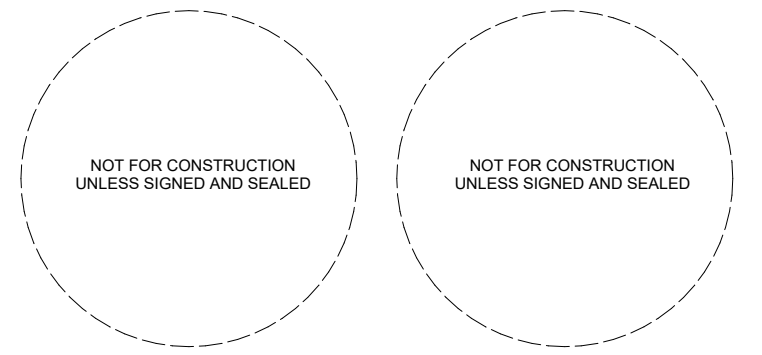


1 SECOND FLOOR PLAN
Scale: 1/4" = 1'0"



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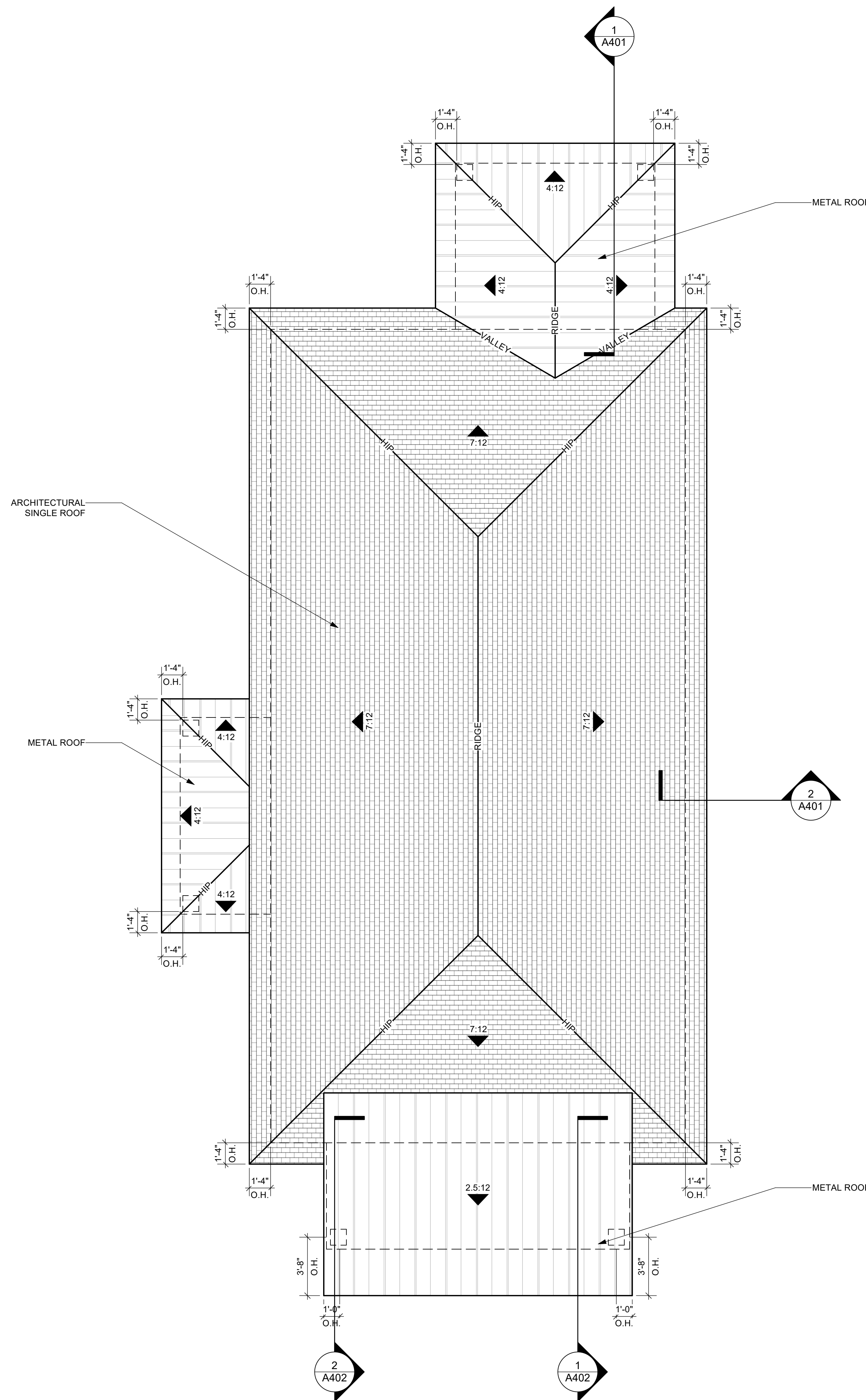
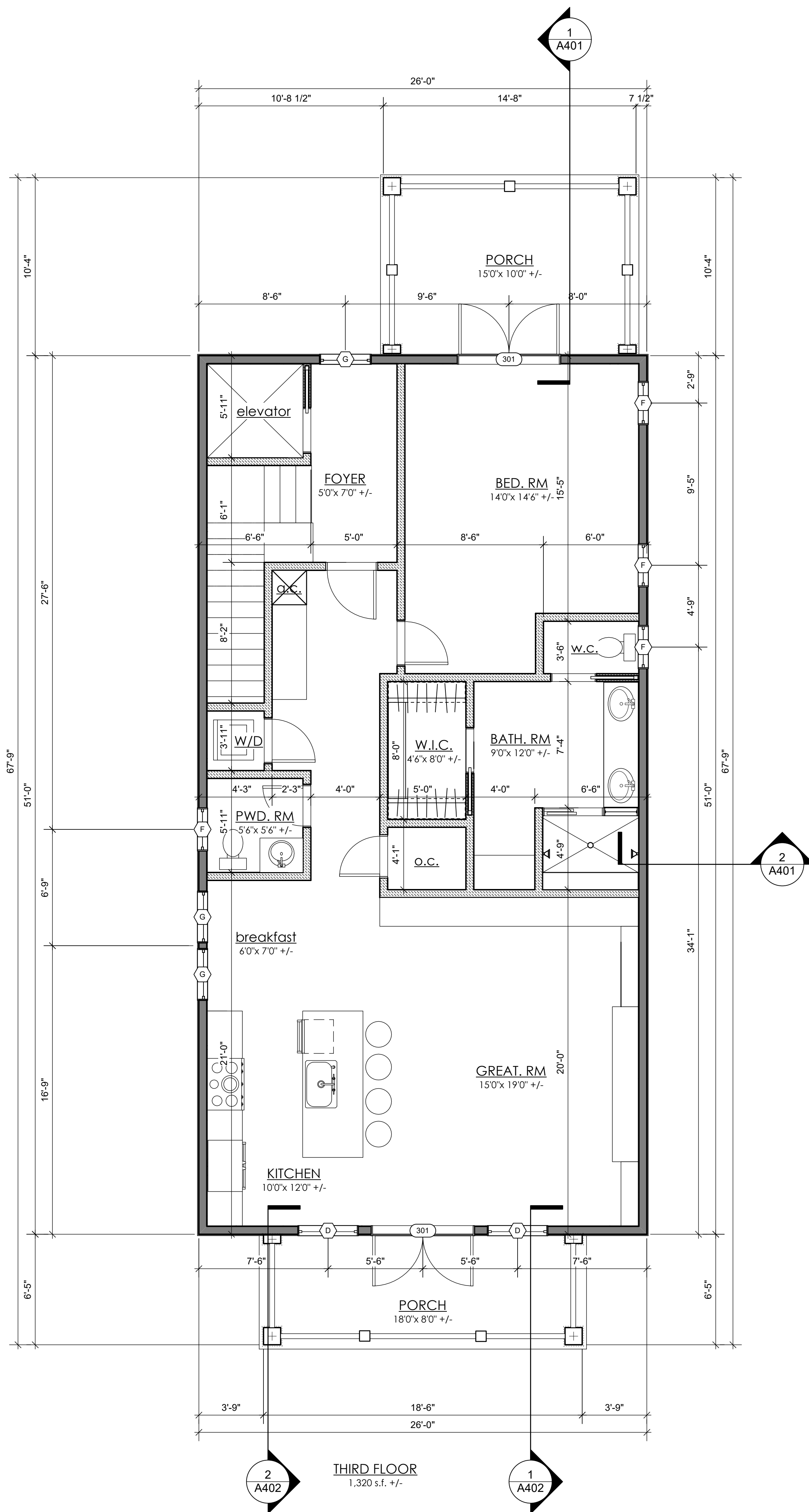
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PROJECT ID:
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THIRD FLOOR /
ROOF PLAN

A102



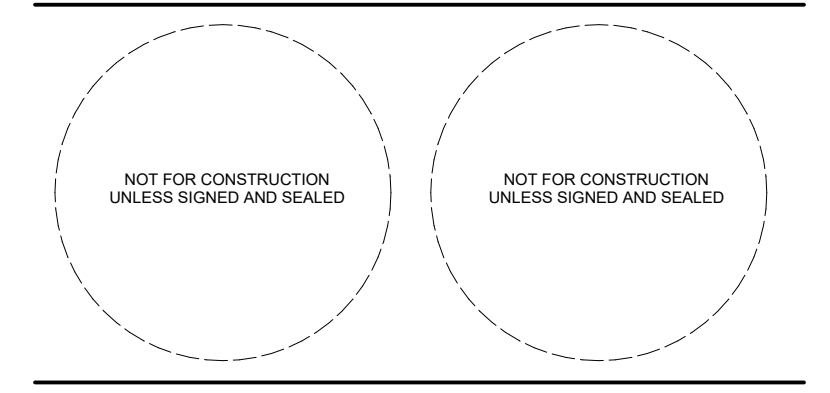
2 THIRD FLOOR PLAN
Scale: 1/4" = 1'0"

1 ROOF PLAN
Scale: 1/4" = 1'0"



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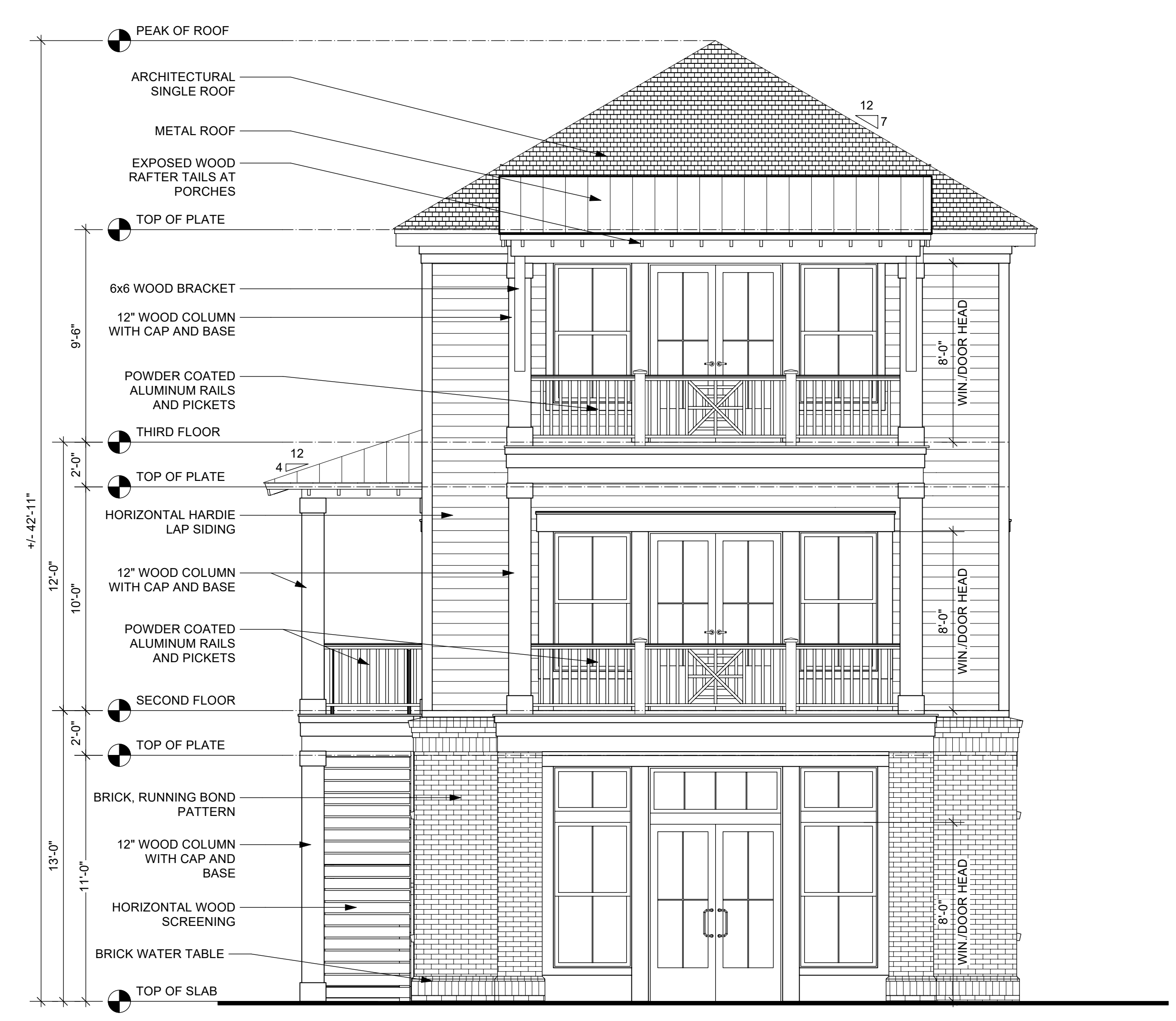
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PROJECT ID:
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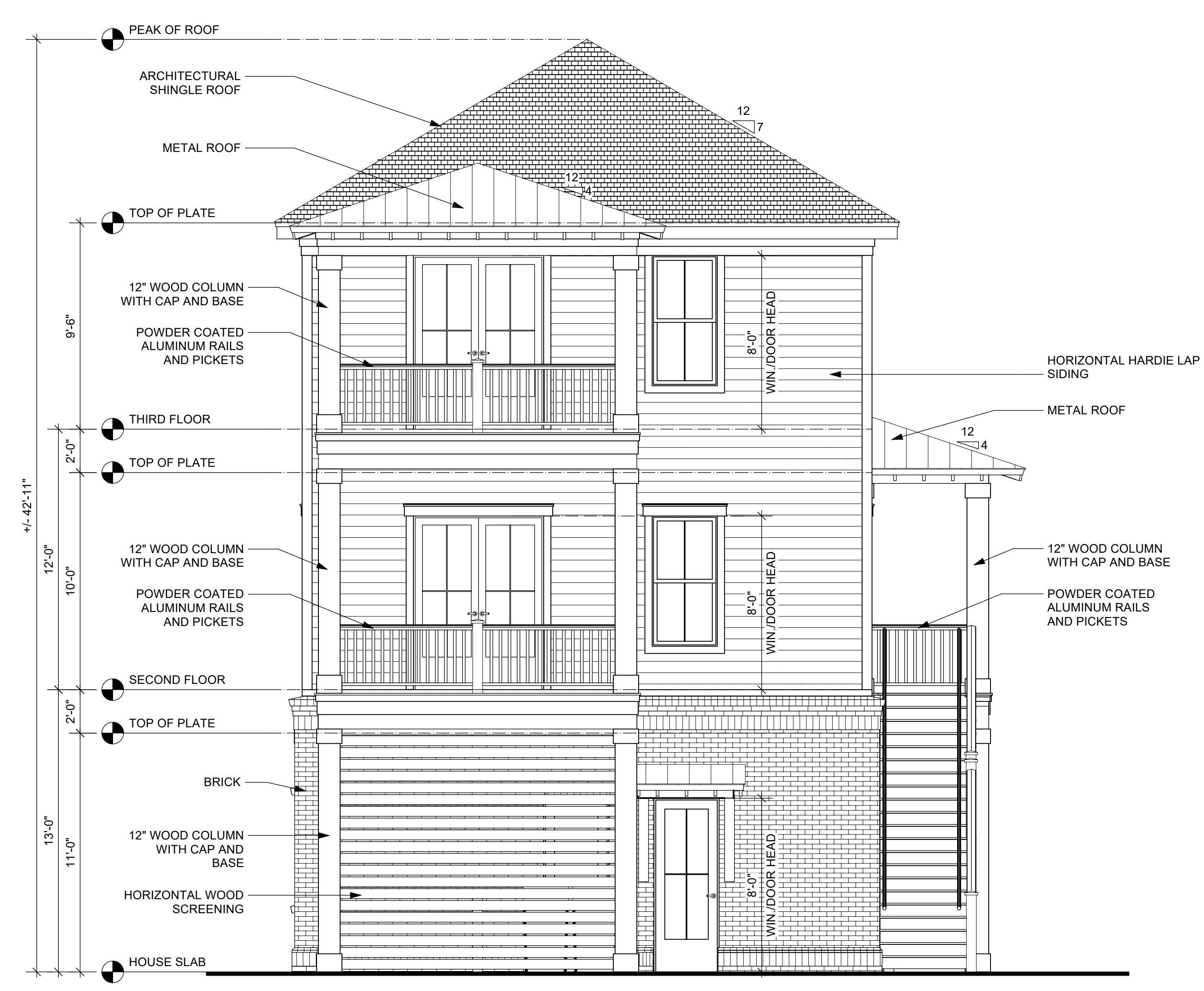
ELEVATIONS

A201

- ELEVATION GENERAL NOTES**
1. ALL SIDING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL ROOFING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 3. ALL WOOD PRODUCTS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 4. SEE ROOF PLAN FOR ADDITIONAL INFORMATION CONCERNING ROOF OVERHANGS AND OTHER ROOF RELATED ITEMS.
 5. GUTTERS AND DOWNSPOUTS HAVE NOT BEEN SHOWN. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
 6. CONTRACTOR TO VERIFY FINAL MATERIAL AND COLOR SELECTION WITH OWNER.



2 FRONT ELEVATION
Scale: 1/4" = 1'-0"

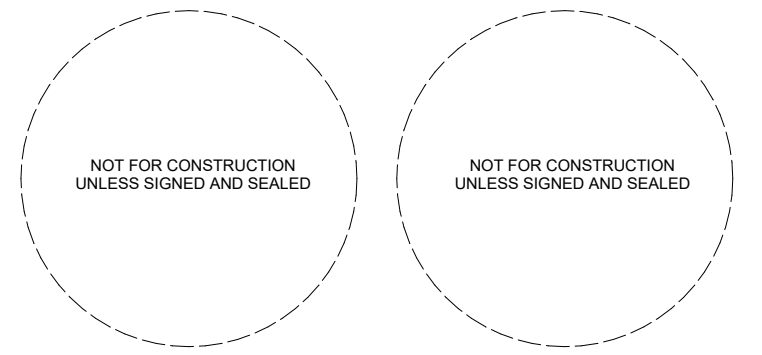


1 REAR ELEVATION
Scale: 1/4" = 1'-0"



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- ELEVATION GENERAL NOTES**
1. ALL SIDING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL ROOFING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
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 4. SEE ROOF PLAN FOR ADDITIONAL INFORMATION CONCERNING ROOF OVERHANGS AND OTHER ROOF RELATED ITEMS.
 5. GUTTERS AND DOWNSPOUTS HAVE NOT BEEN SHOWN. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
 6. CONTRACTOR TO VERIFY FINAL MATERIAL AND COLOR SELECTION WITH OWNER.

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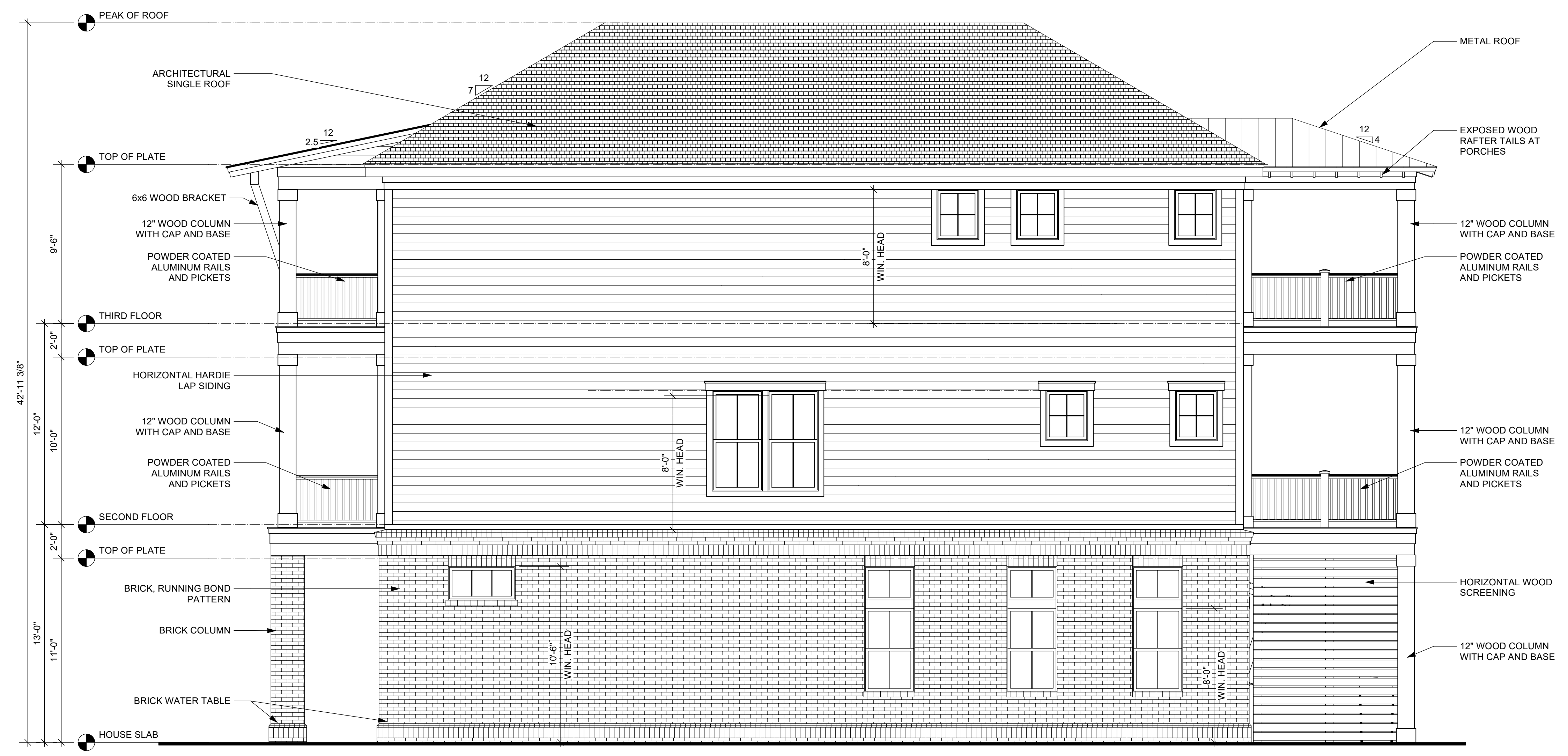
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REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

ELEVATIONS

A202

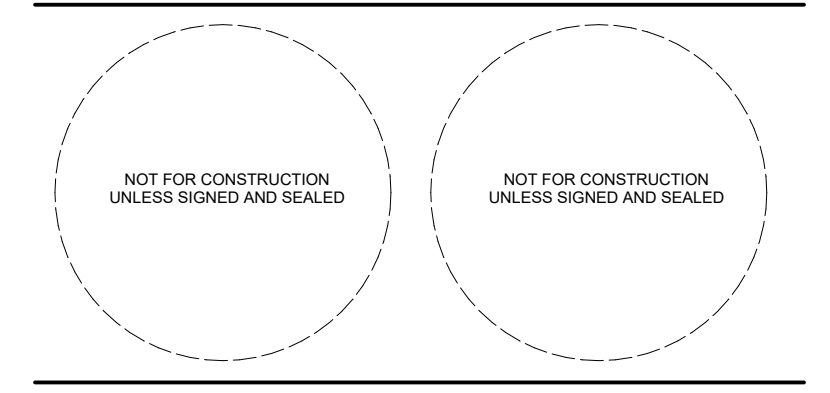


1 RIGHT ELEVATION
Scale: 1/4" = 1'-0"



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DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

ELEVATIONS

A203

- ELEVATION GENERAL NOTES**
1. ALL SIDING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL ROOFING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 3. ALL WOOD PRODUCTS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 4. SEE ROOF PLAN FOR ADDITIONAL INFORMATION CONCERNING ROOF OVERHANGS AND OTHER ROOF RELATED ITEMS.
 5. GUTTERS AND DOWNSPOUTS HAVE NOT BEEN SHOWN. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
 6. CONTRACTOR TO VERIFY FINAL MATERIAL AND COLOR SELECTION WITH OWNER.

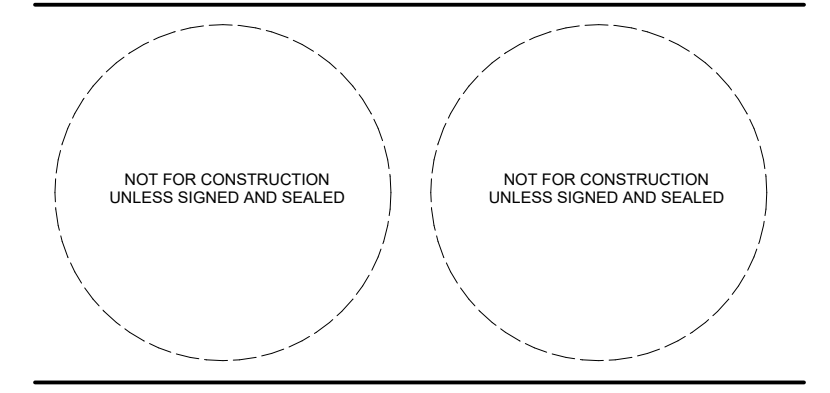


1 LEFT ELEVATION
Scale: 1/4" = 1'-0"



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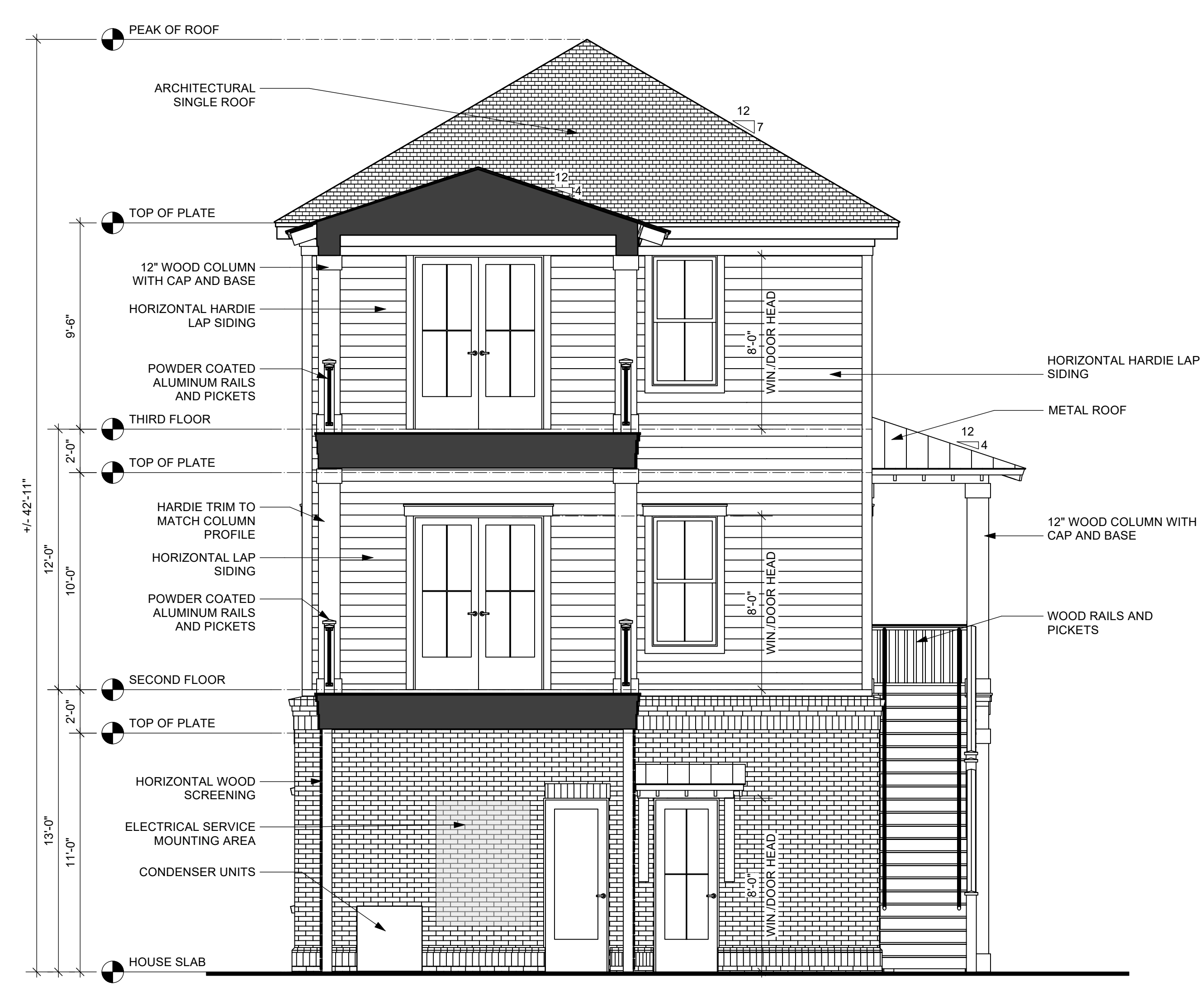
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DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

ELEVATIONS

A204

- ELEVATION GENERAL NOTES**
1. ALL SIDING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL ROOFING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
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 4. SEE ROOF PLAN FOR ADDITIONAL INFORMATION CONCERNING ROOF OVERHANGS AND OTHER ROOF RELATED ITEMS.
 5. GUTTERS AND DOWNSPOUTS HAVE NOT BEEN SHOWN. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
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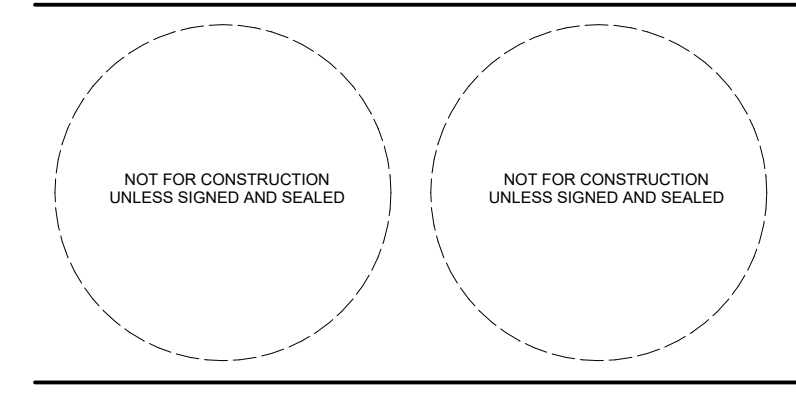


1 SECTION THROUGH REAR PORCH
Scale: Actual Size



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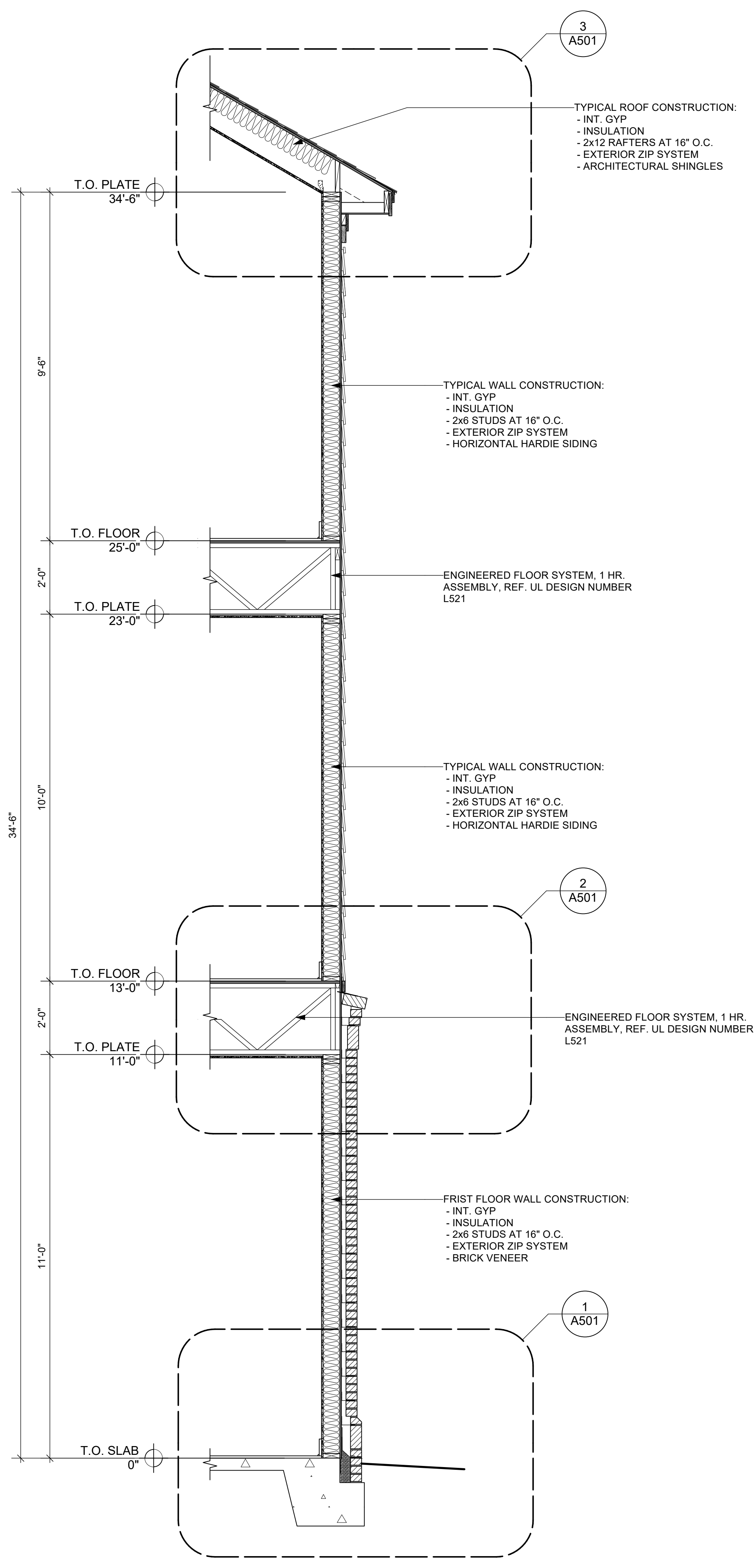
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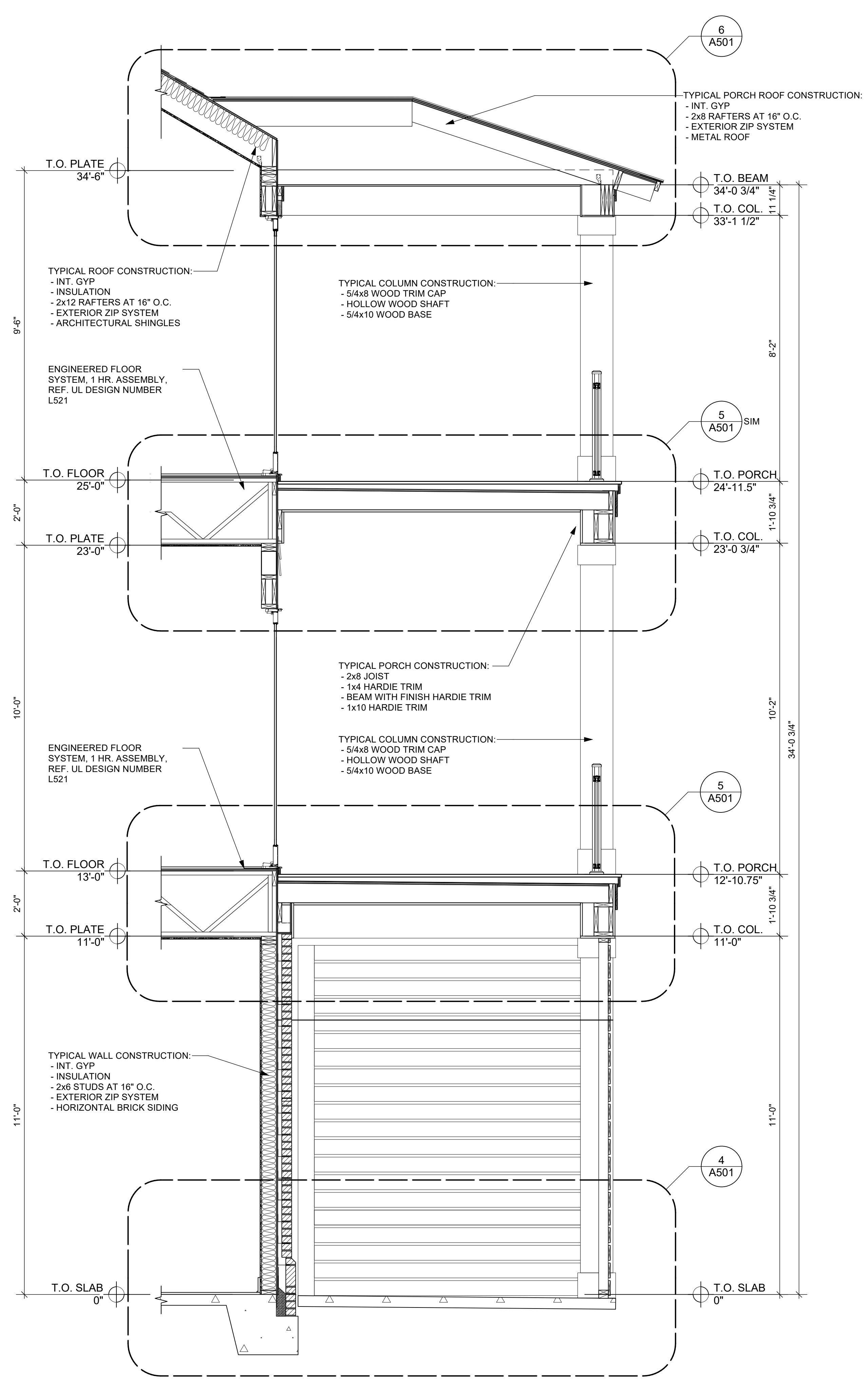
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WALL SECTIONS

A401



2 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"



1 REAR PORCH SECTION
Scale: 1/2" = 1'-0"



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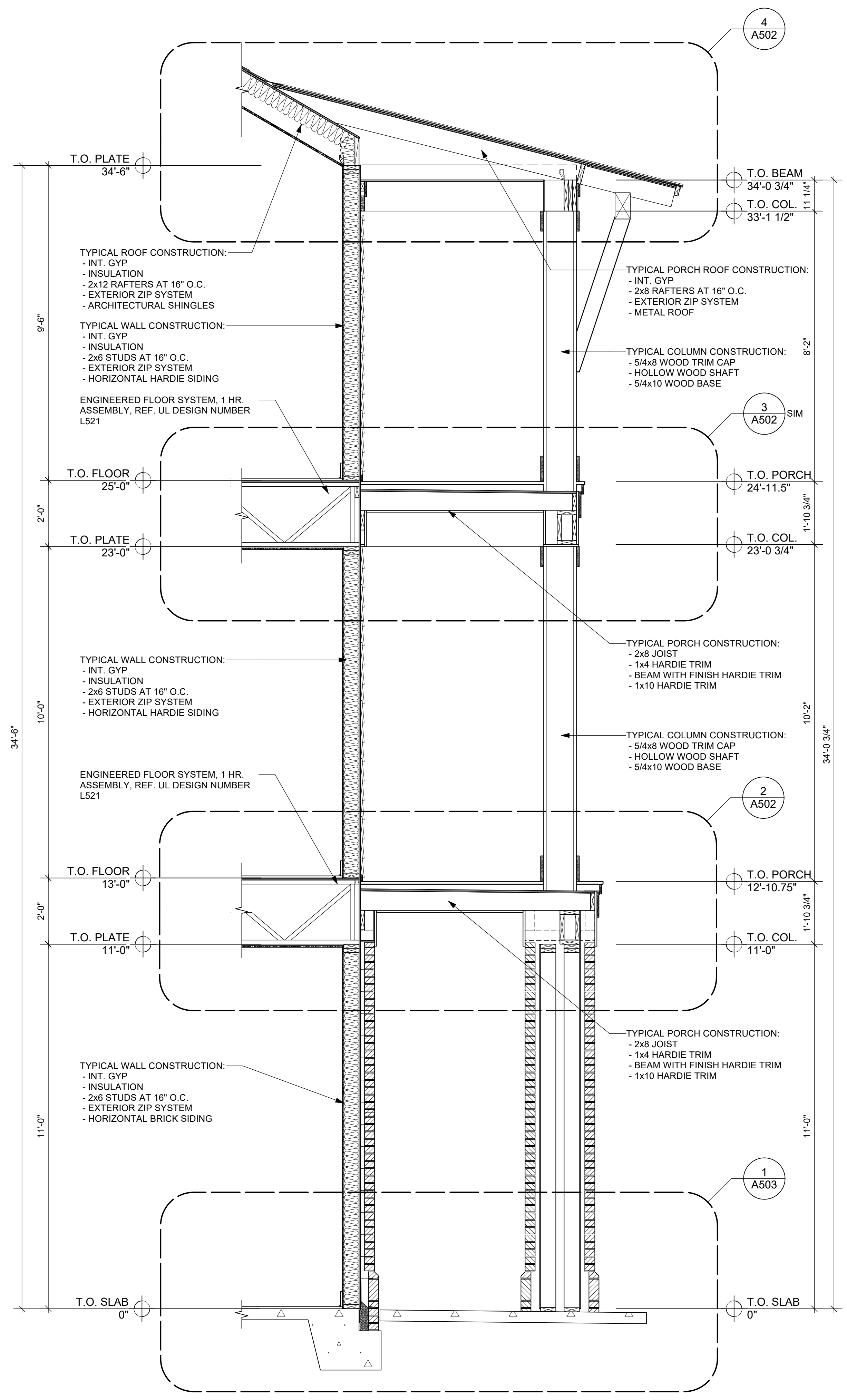
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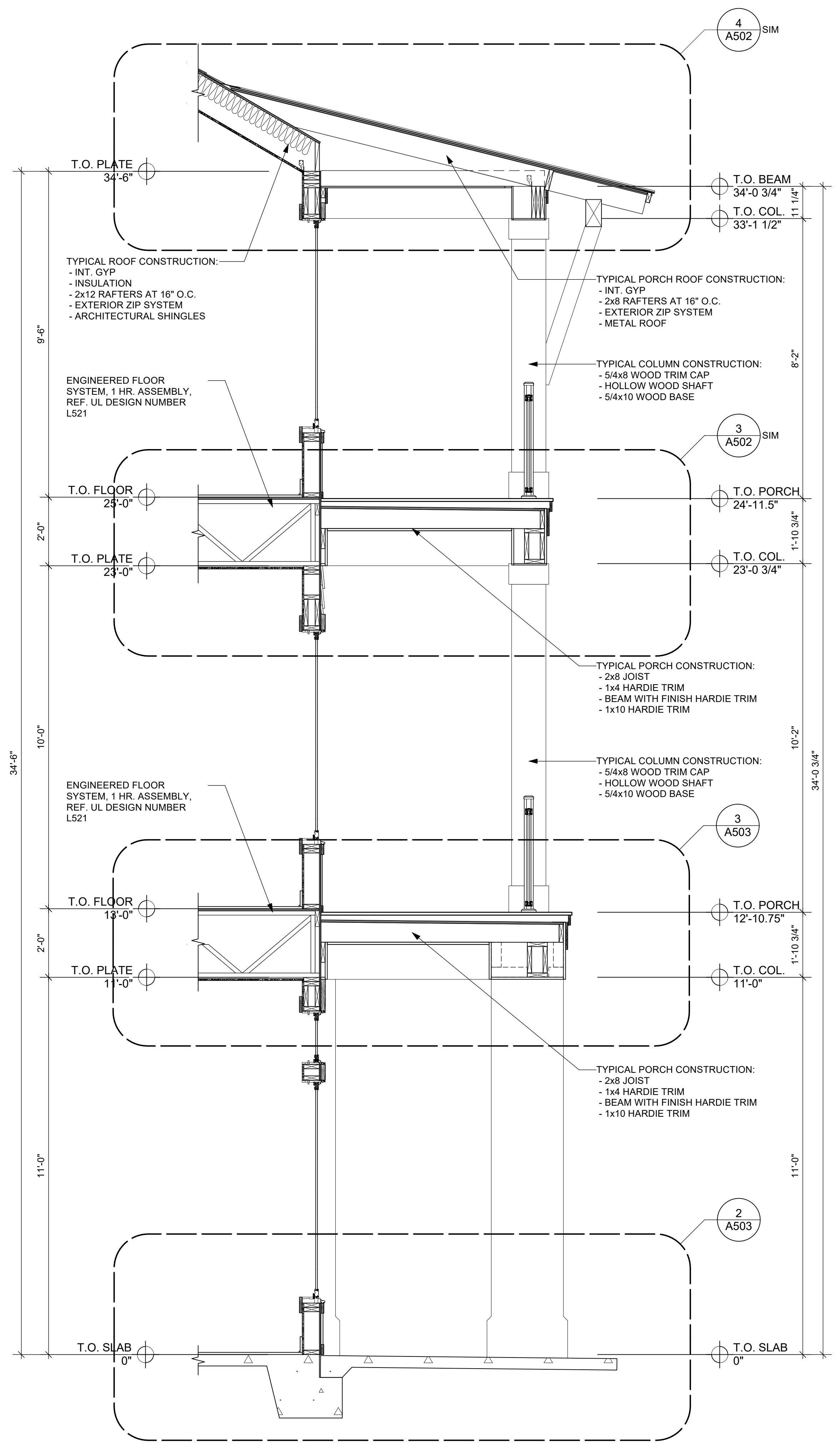
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REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

WALL SECTIONS

A402



2 FRONT PORCH SECTION AT COLUMN
Scale: 1/2" = 1'-0"

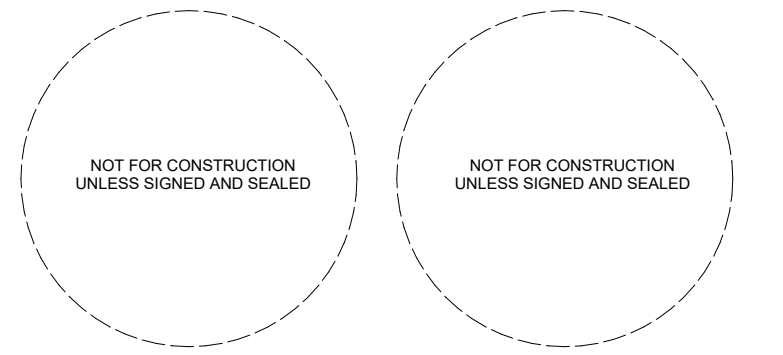


1 FRONT PORCH SECTION AT WINDOW
Scale: 1/2" = 1'-0"



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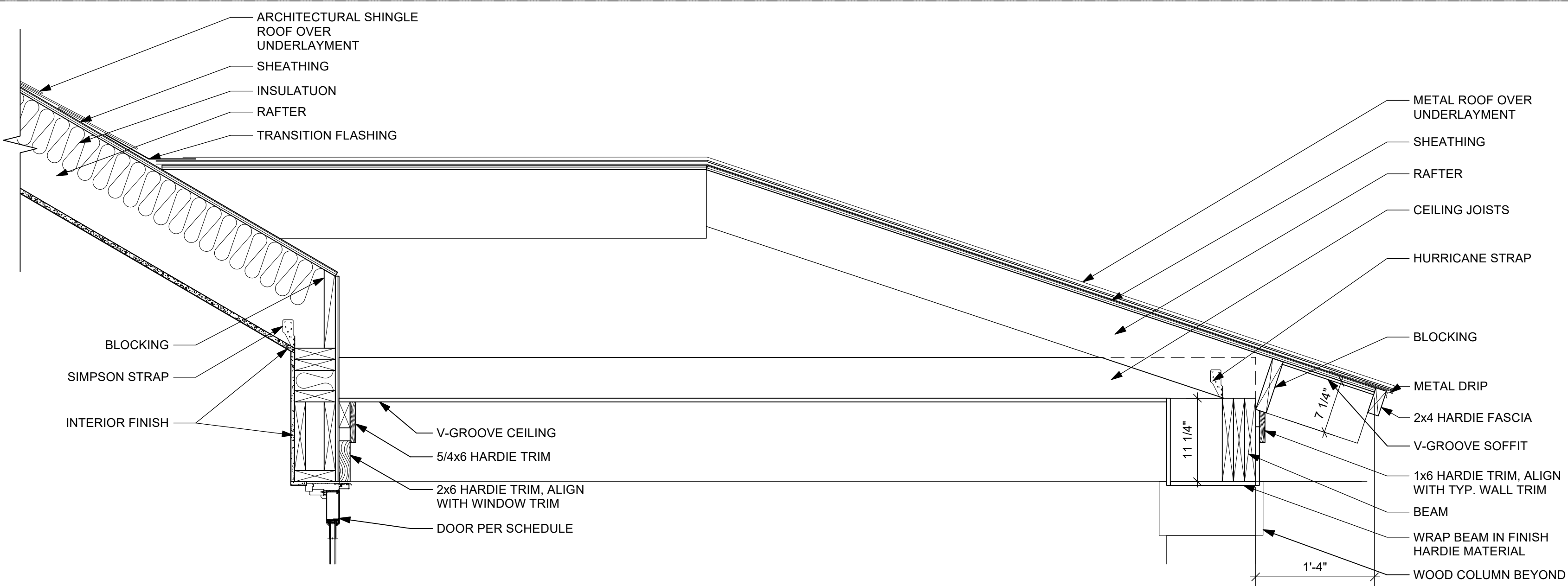
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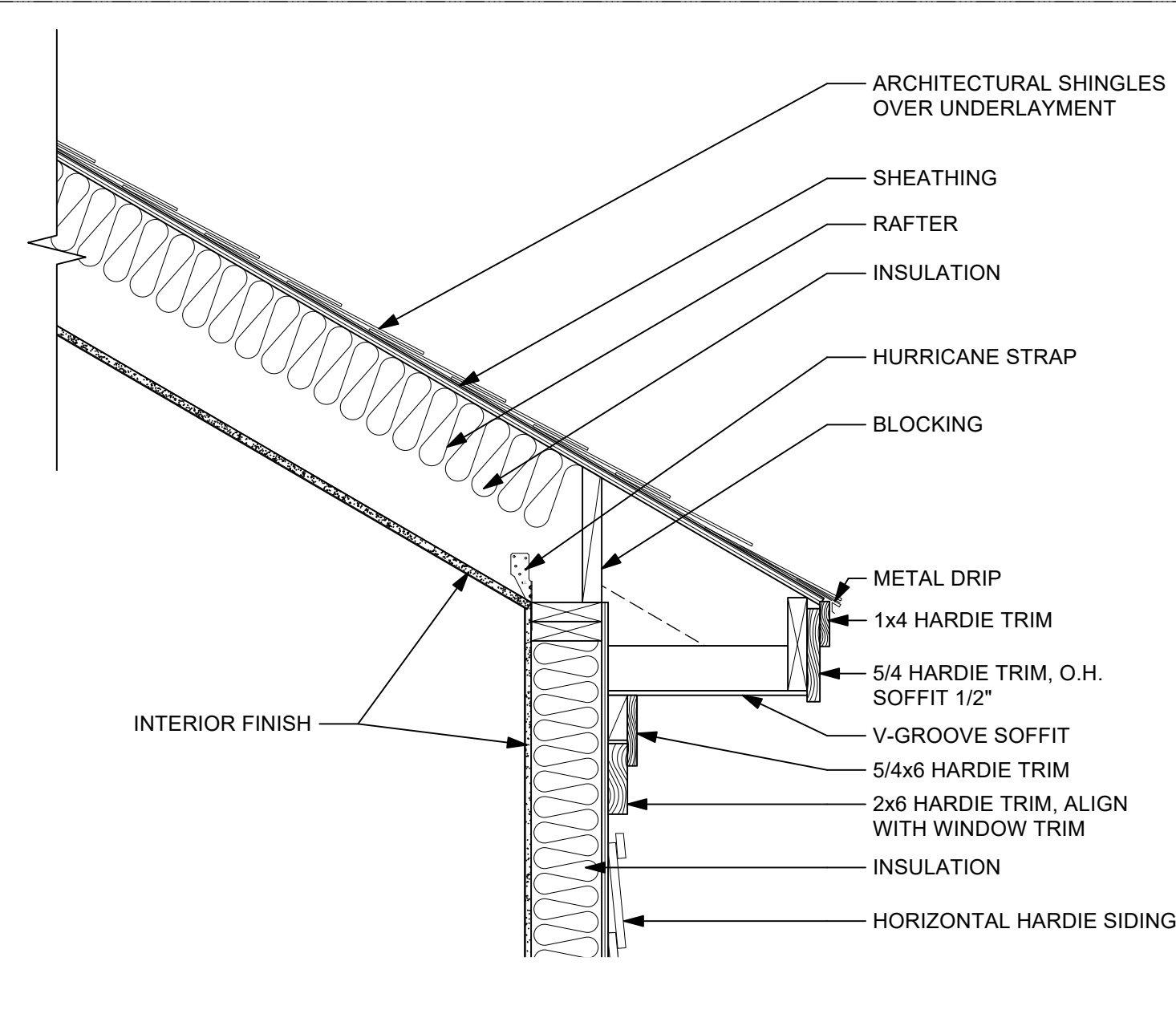
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DETAILS

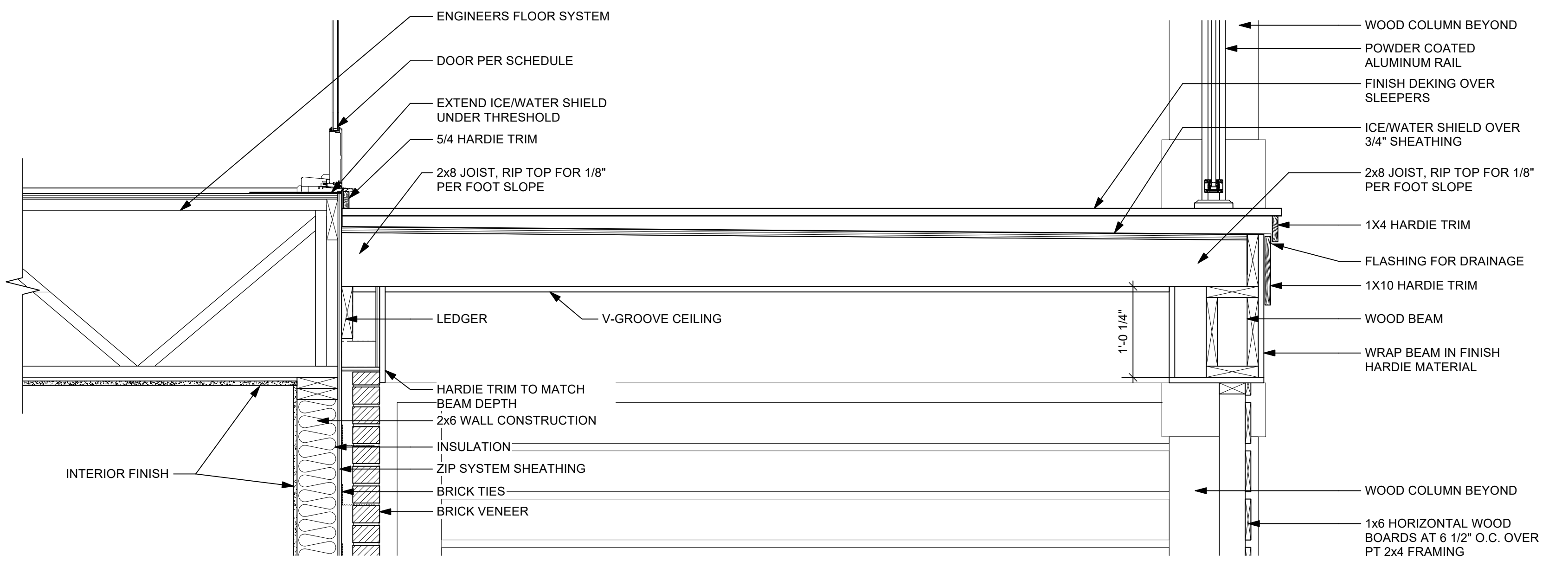
A501



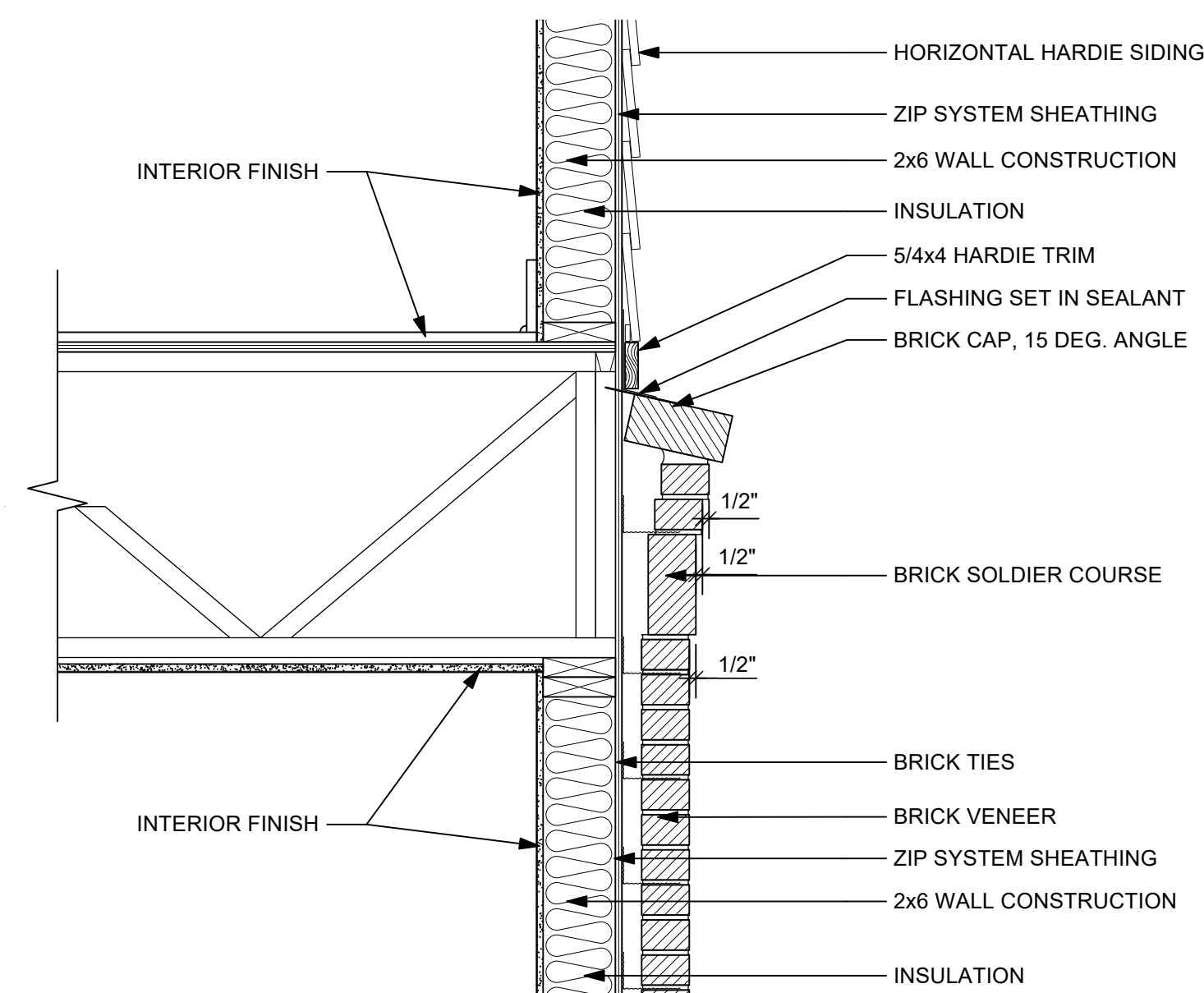
6 REAR PORCH AT ROOF
Scale: 1" = 1'-0"



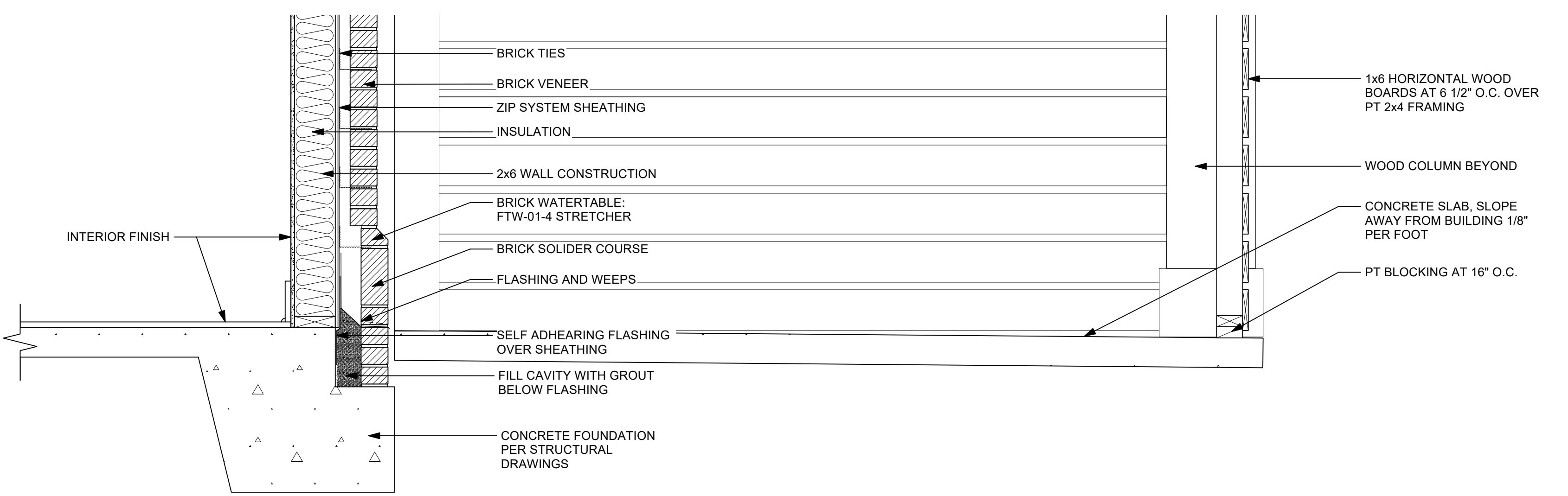
3 TYPICAL ROOF DETAIL
Scale: 1" = 1'-0"



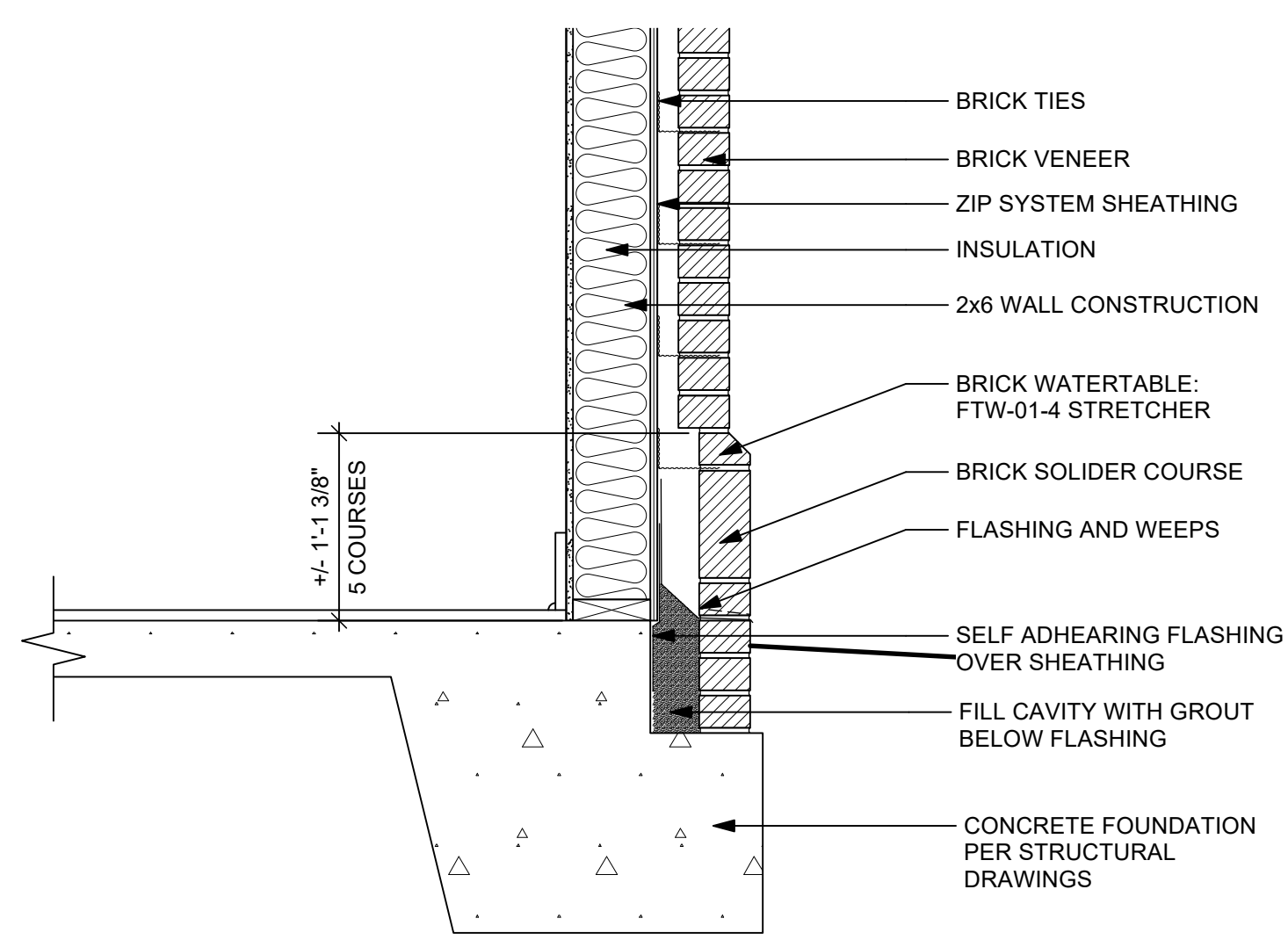
5 REAR PORCH AT SECOND FLOOR
Scale: 1" = 1'-0"



2 TYPICAL SECOND FLOOR DETAIL
Scale: 1" = 1'-0"



4 FOUNDATION AT REAR PORCH
Scale: 1" = 1'-0"

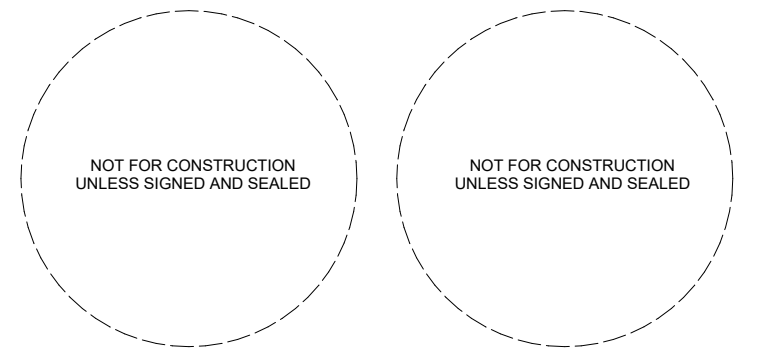


1 TYPICAL WALL FOUNDATION
Scale: 1" = 1'-0"



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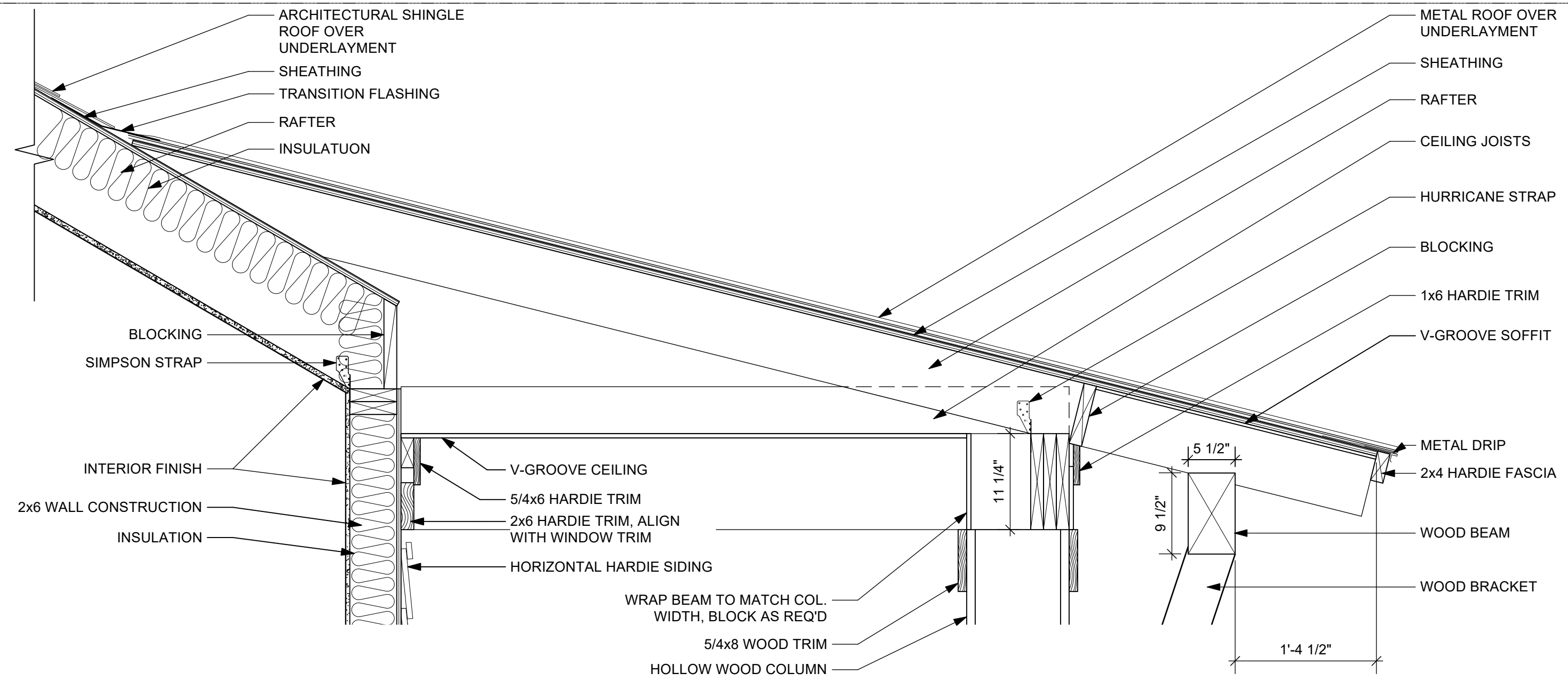
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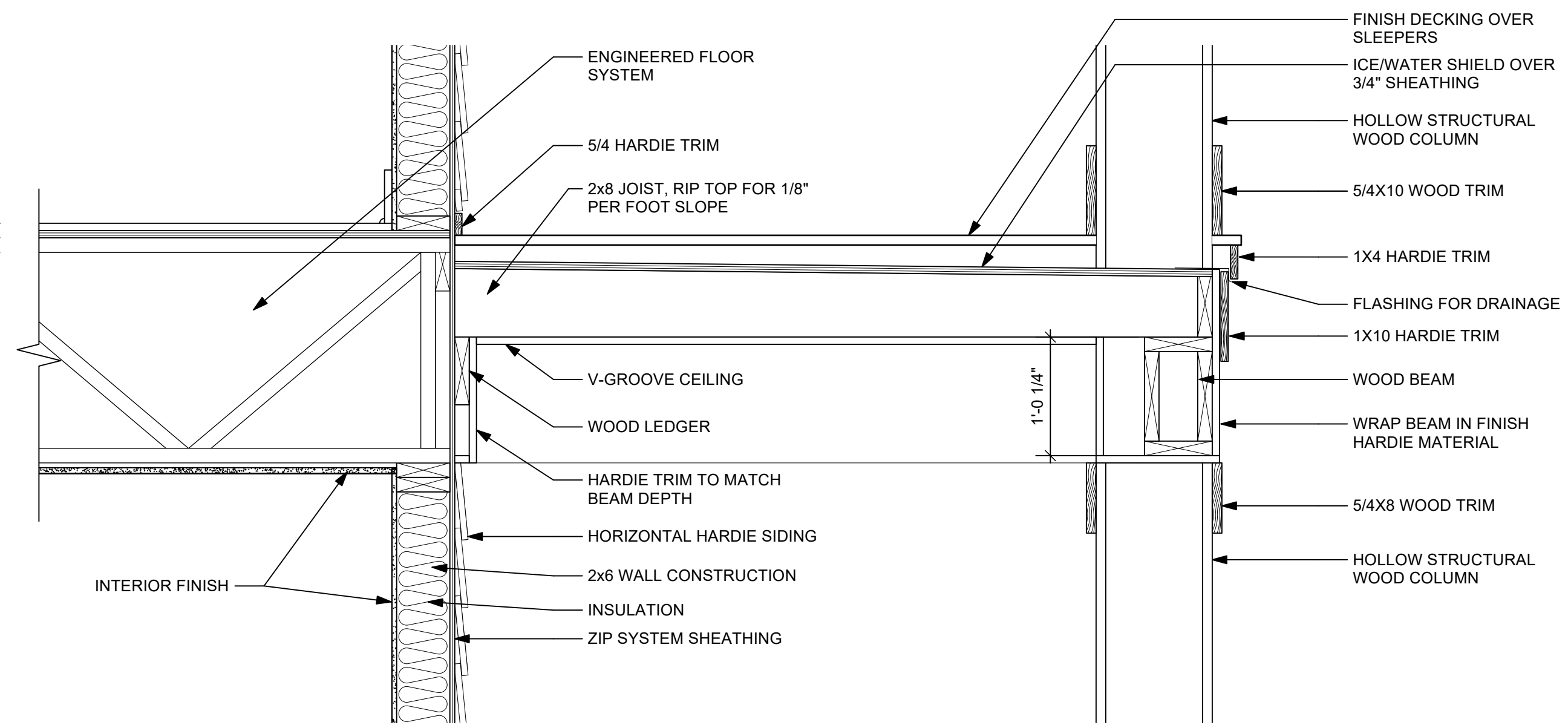
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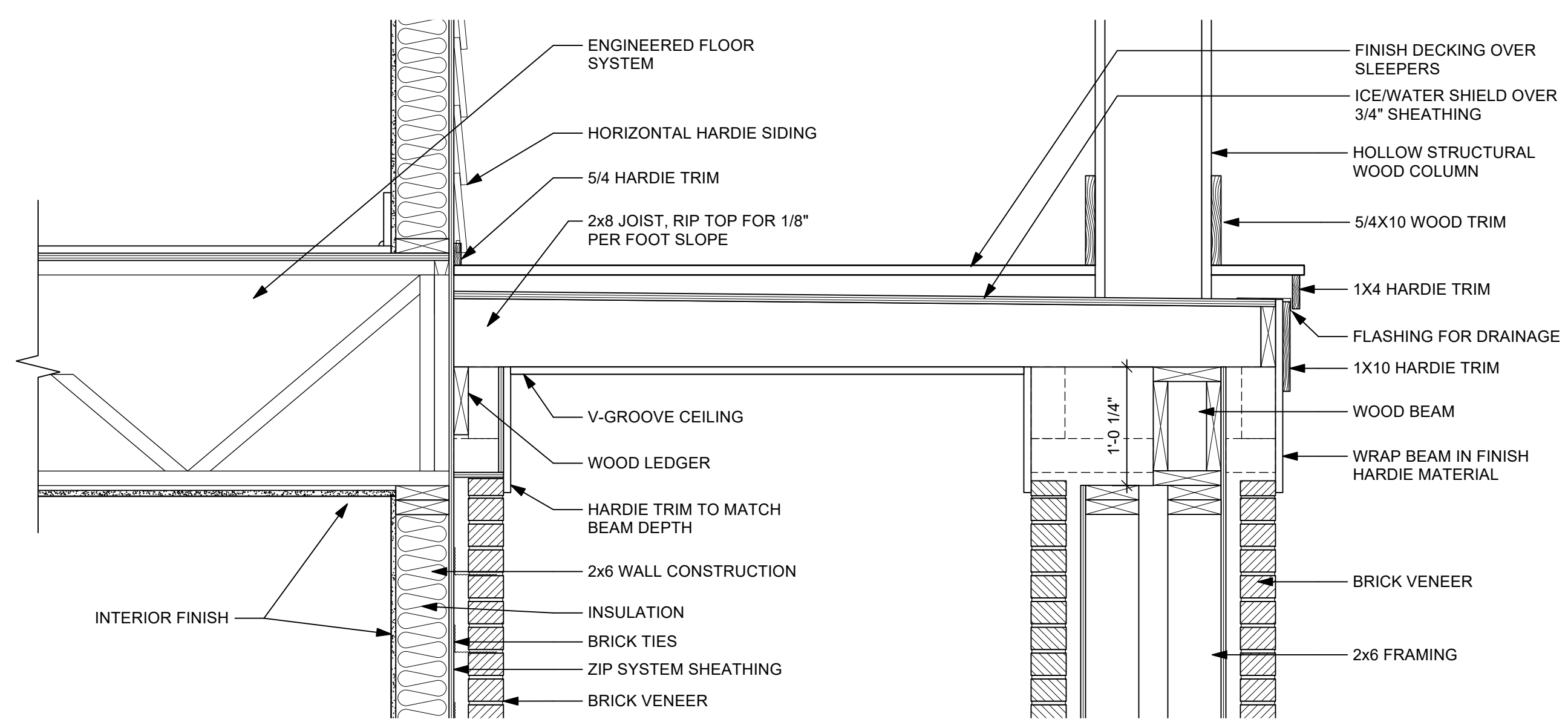
A502



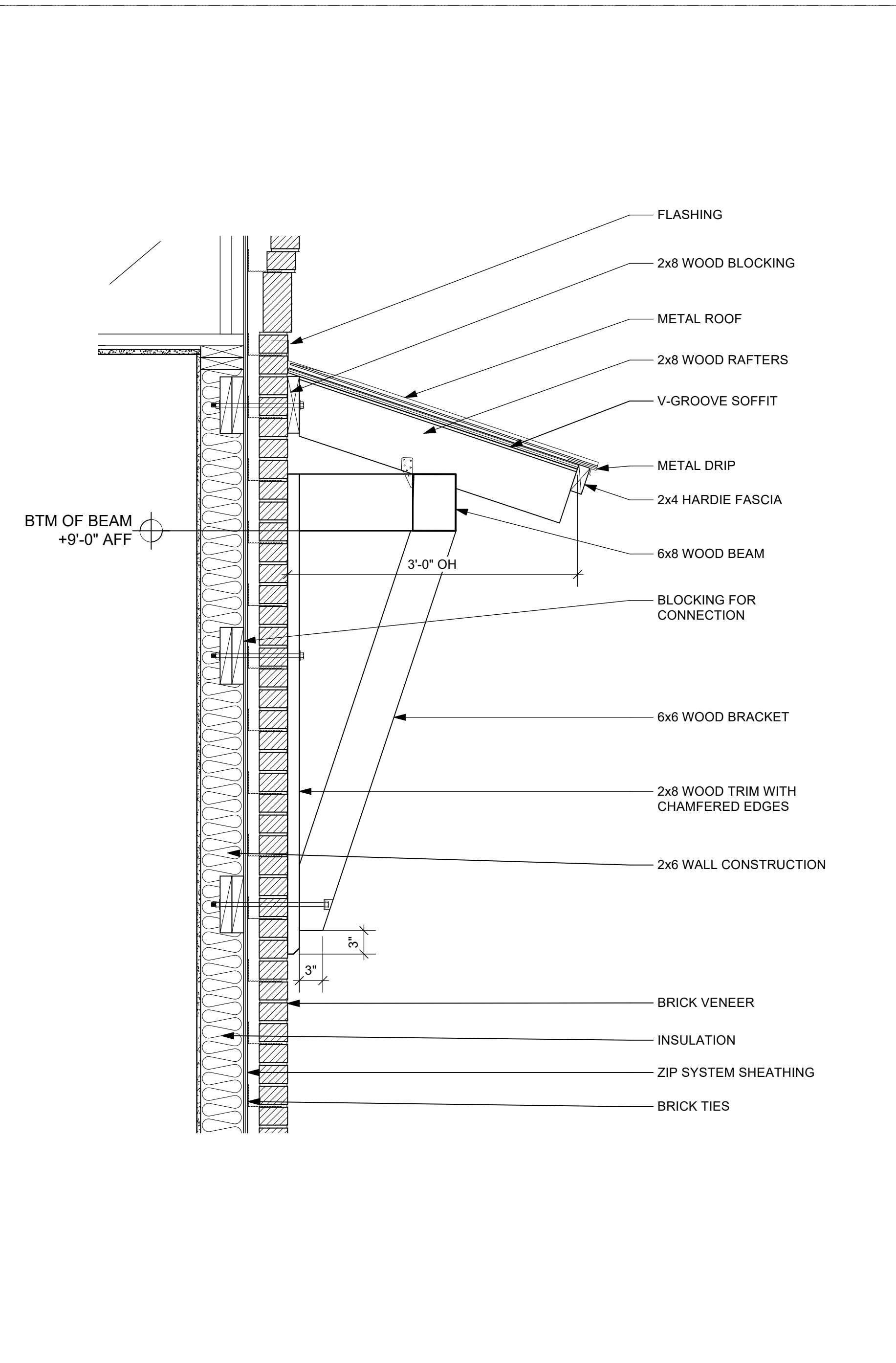
4 FRONT PORCH ROOF DETAIL
Scale: 1" = 1'-0"



3 FRONT PORCH DETAIL AT THIRD FLOOR
Scale: 1" = 1'-0"



2 FRONT PORCH DETAIL AT SECOND FLOOR
Scale: 1" = 1'-0"

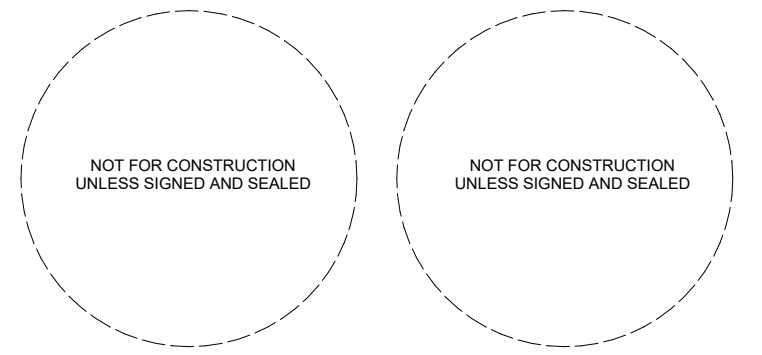


1 BRACKET DETAIL
Scale: 1" = 1'-0"



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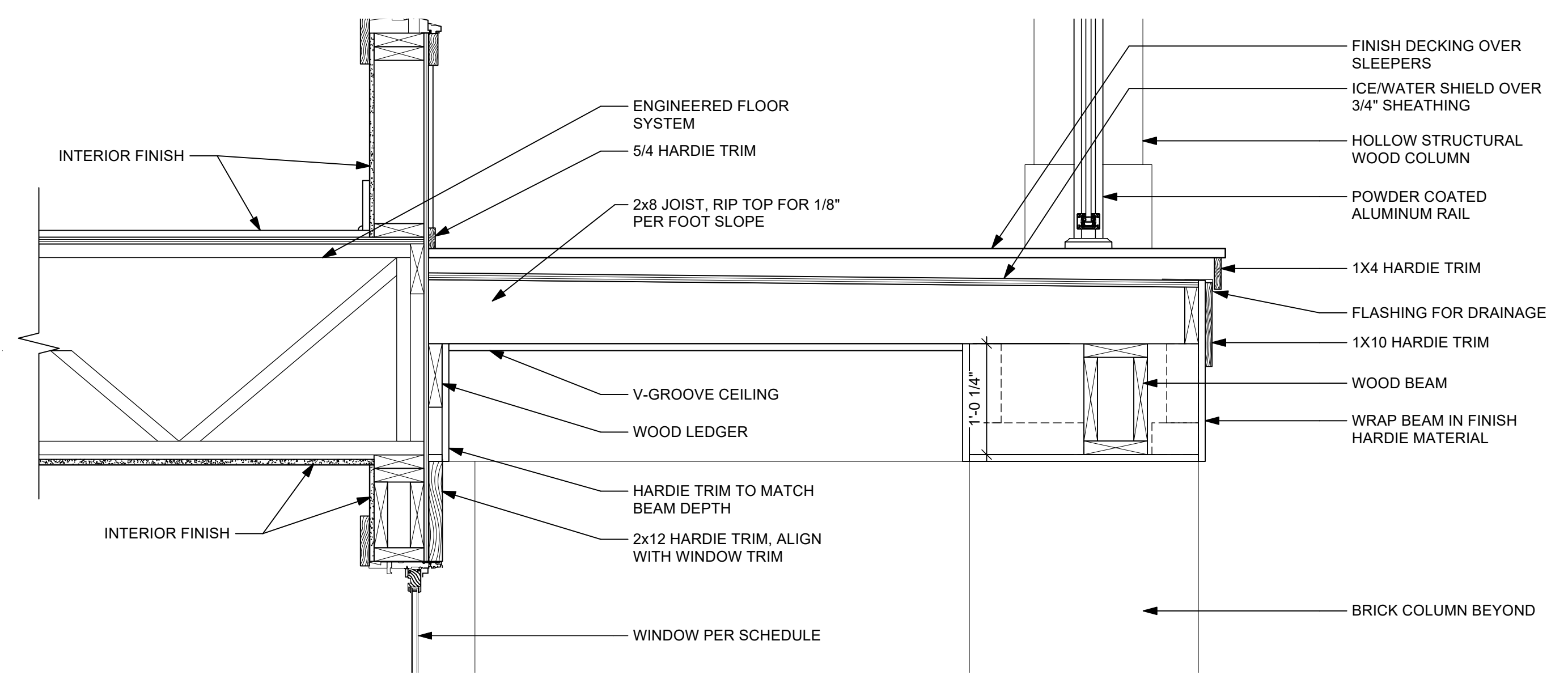
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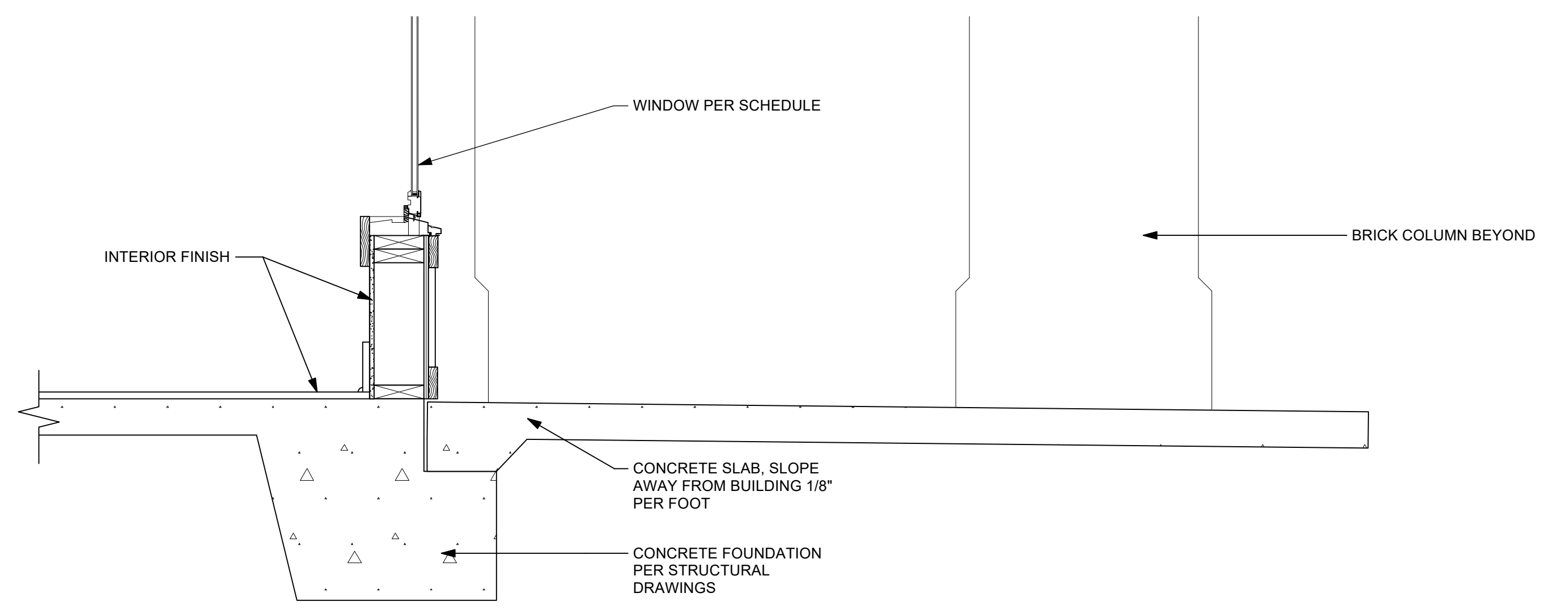
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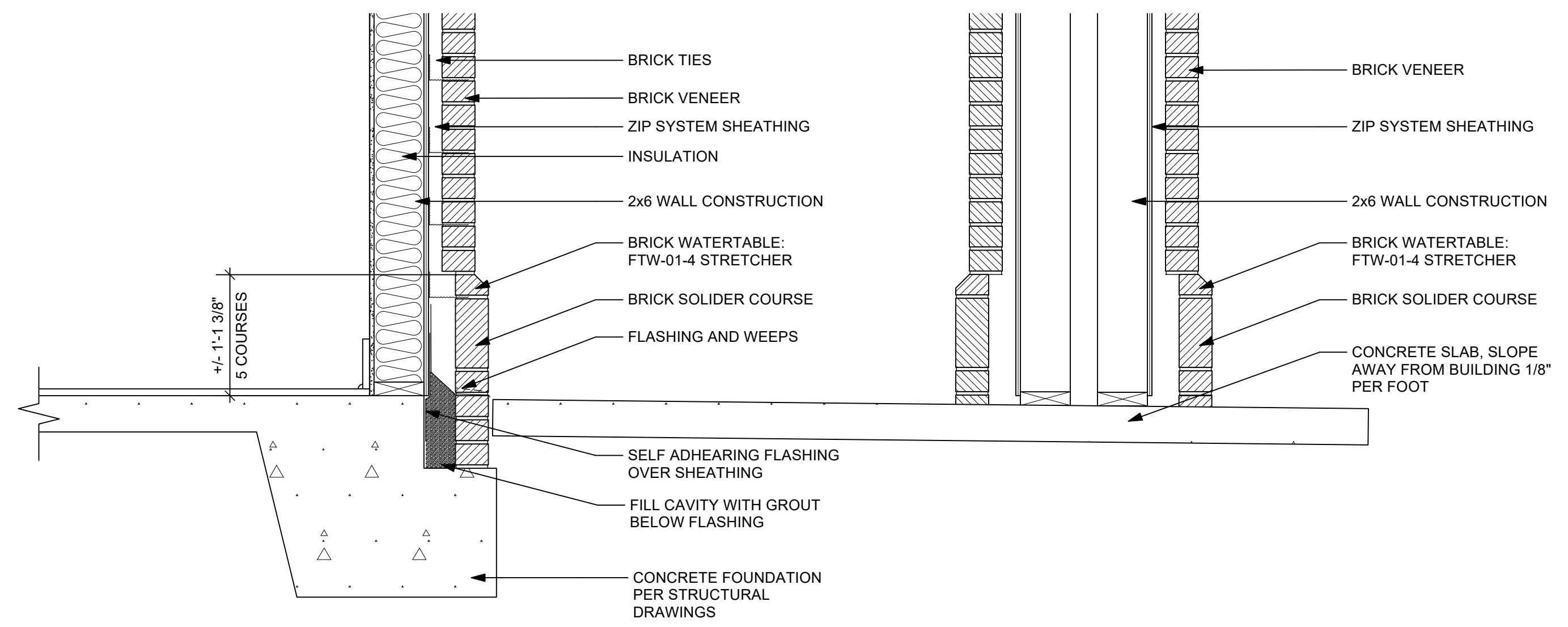
A503



3 FRONT PORCH DETAIL AT SECOND FLOOR
Scale: 1" = 1'-0"



2 TYPICAL WINDOW SILL TRIM DETAIL
Scale: 1" = 1'-0"

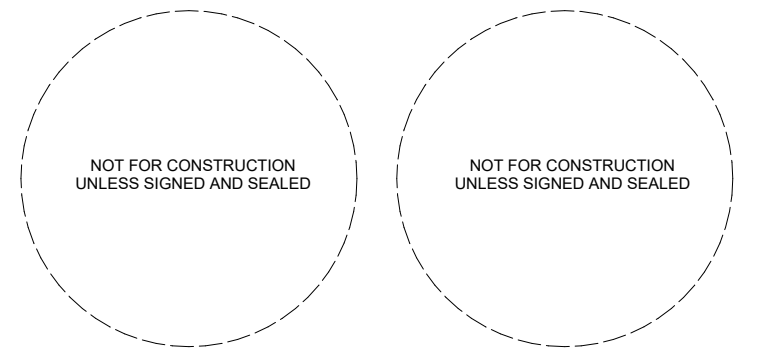


1 FRONT PORCH DETAIL AT COLUMN
Scale: 1" = 1'-0"



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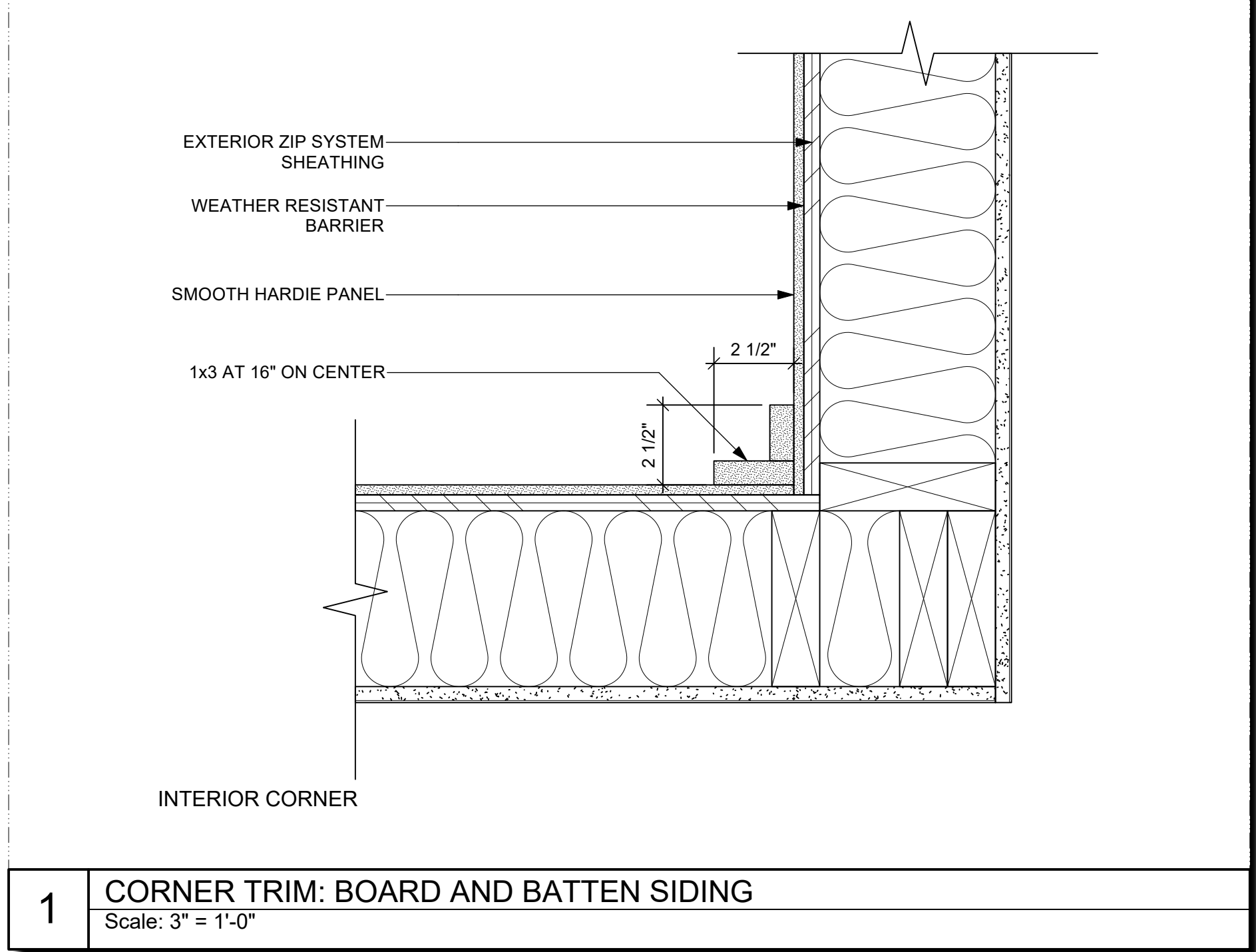
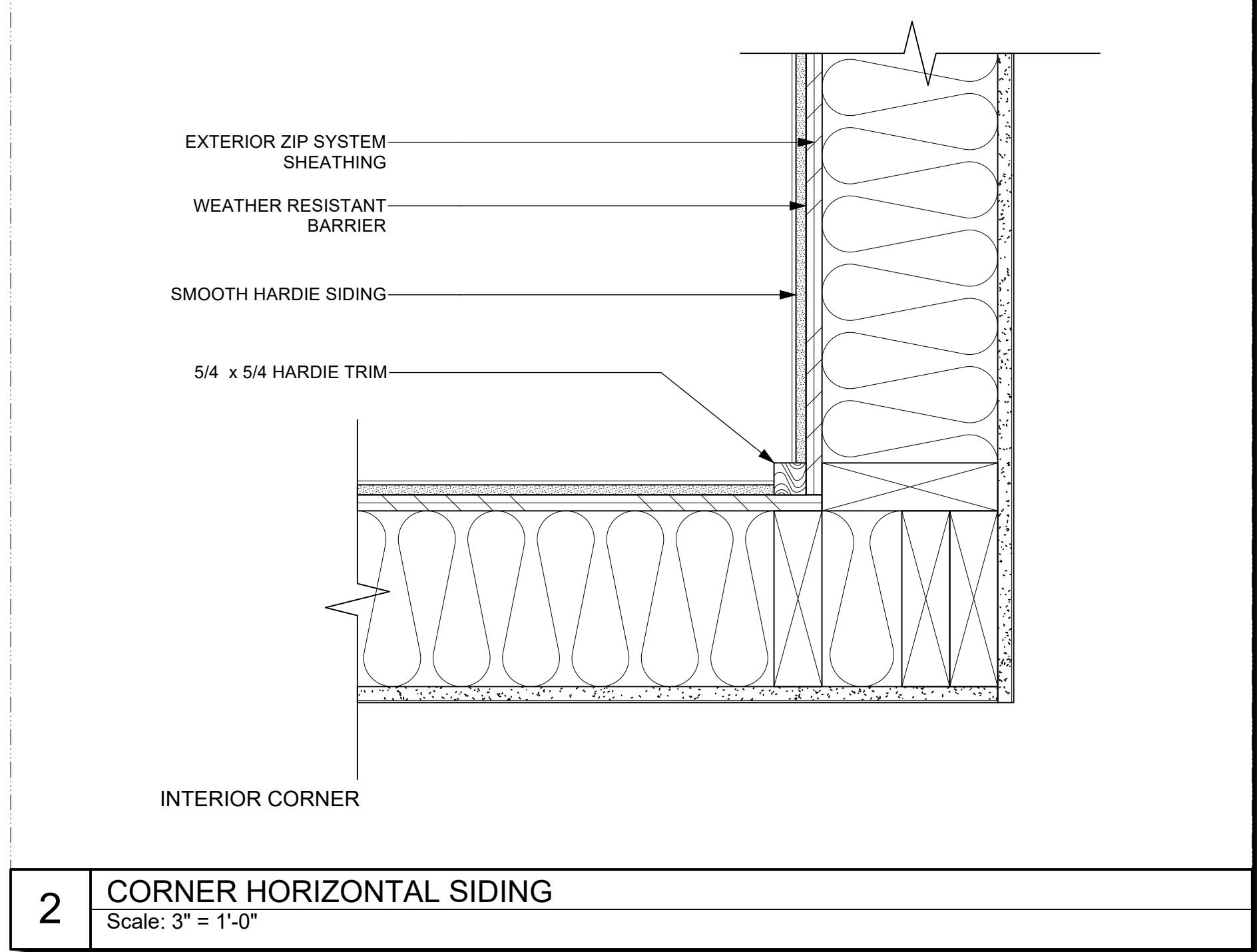
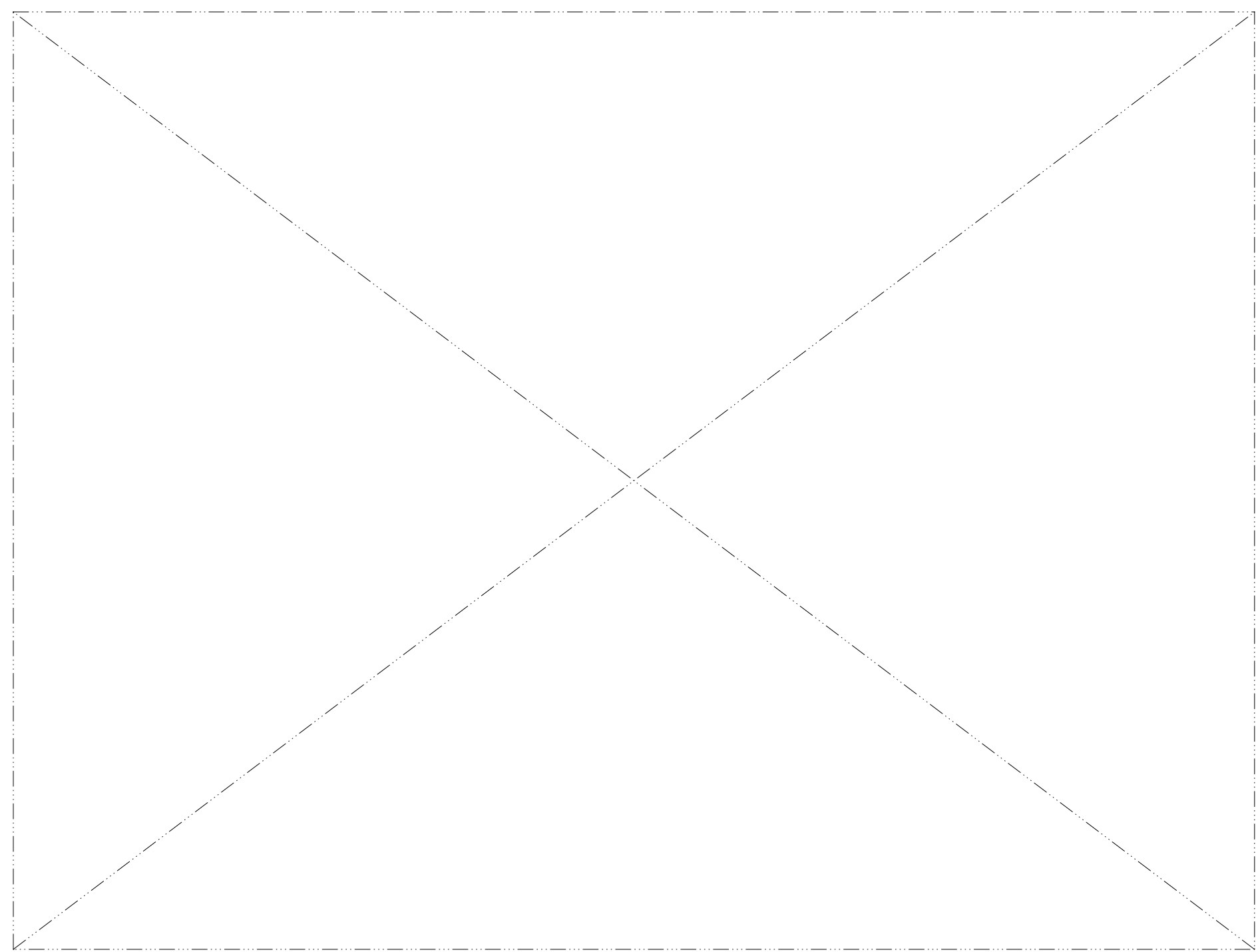
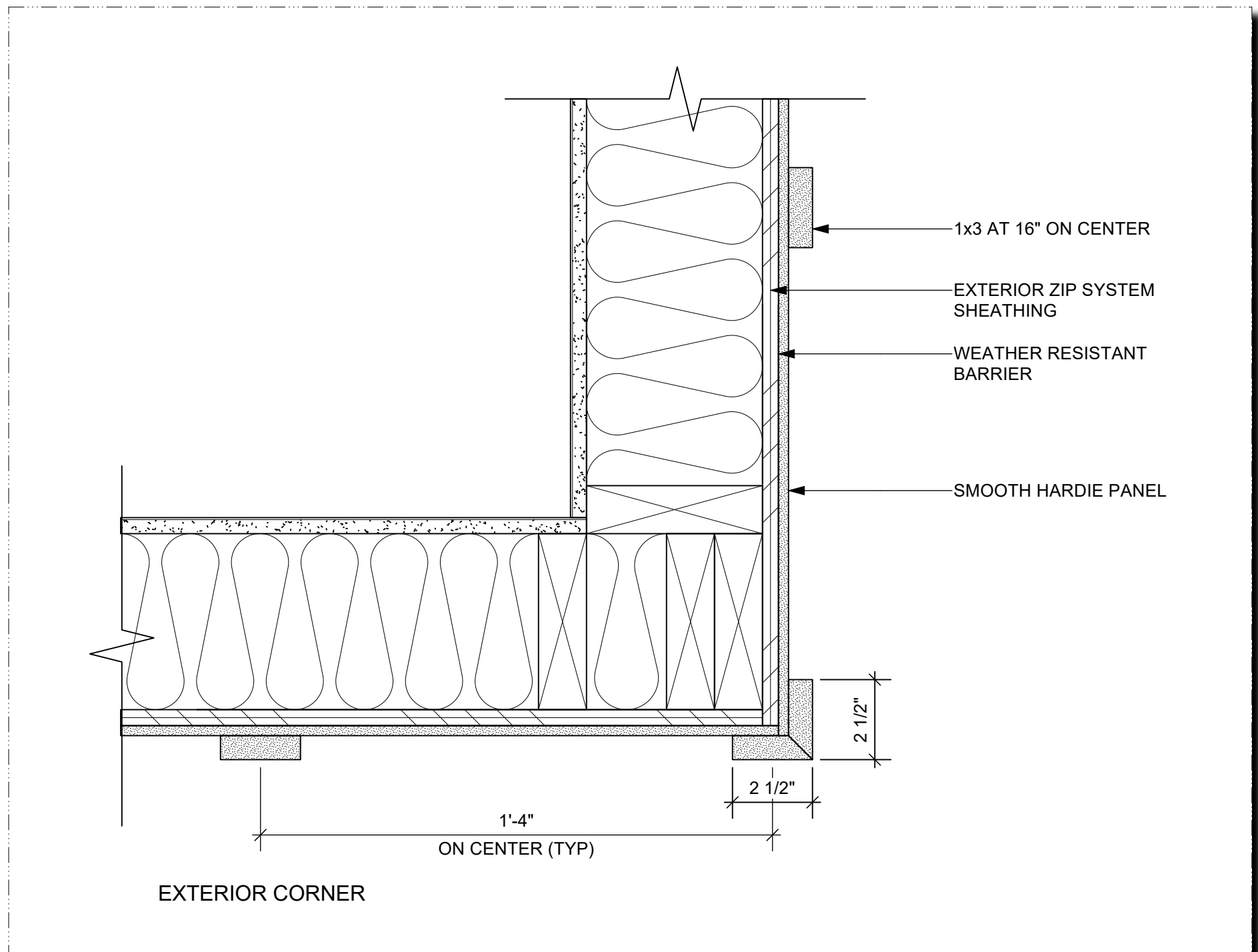
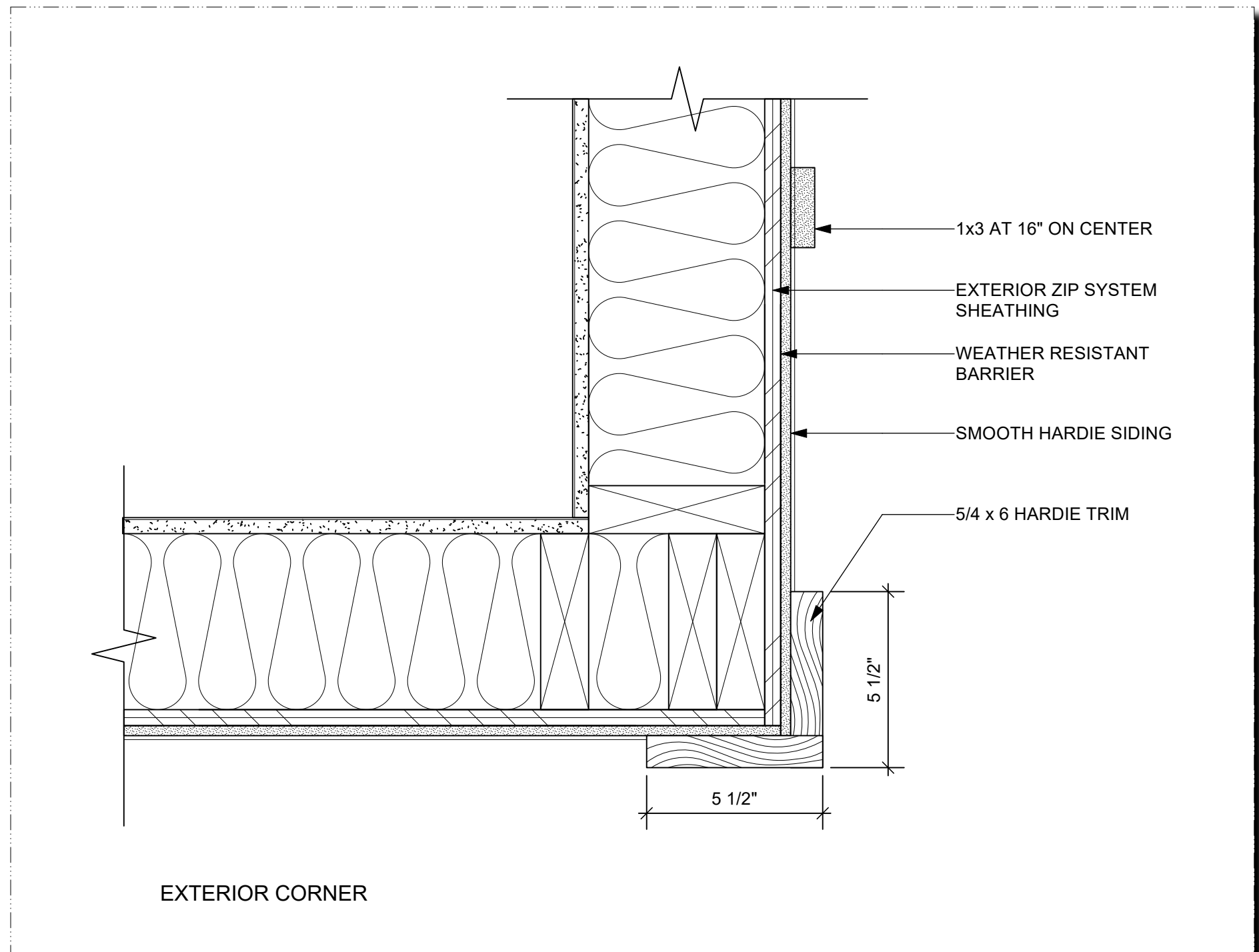
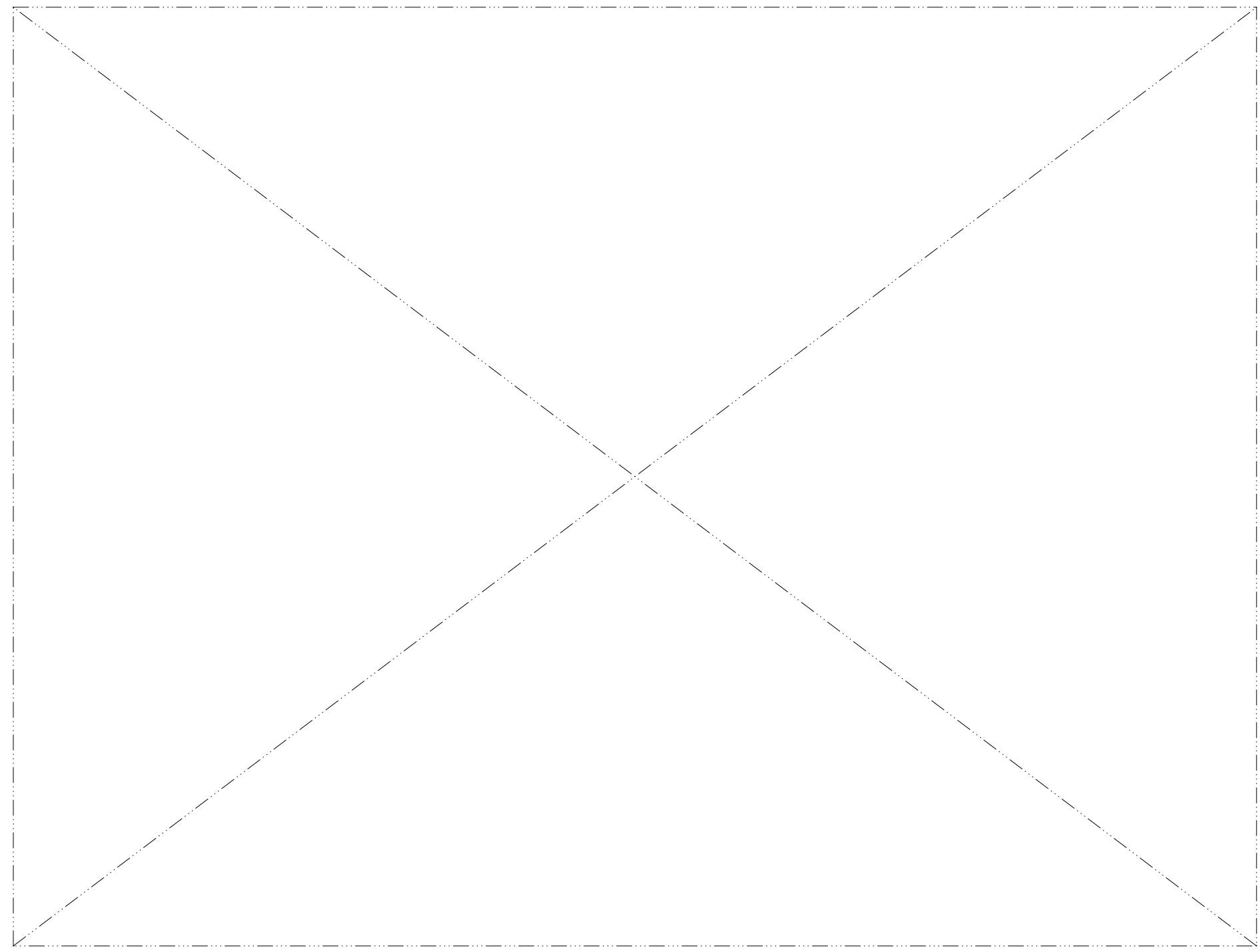
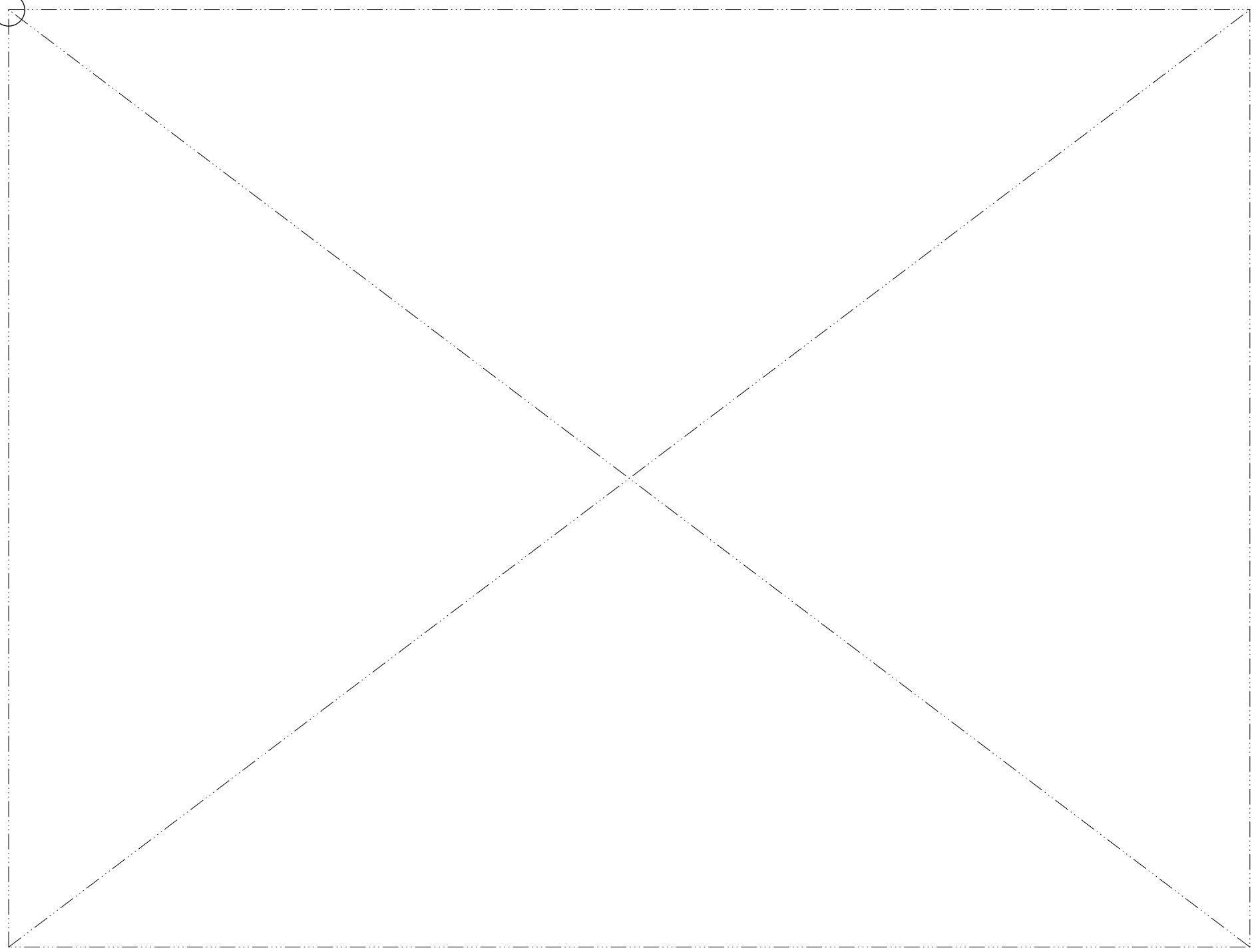
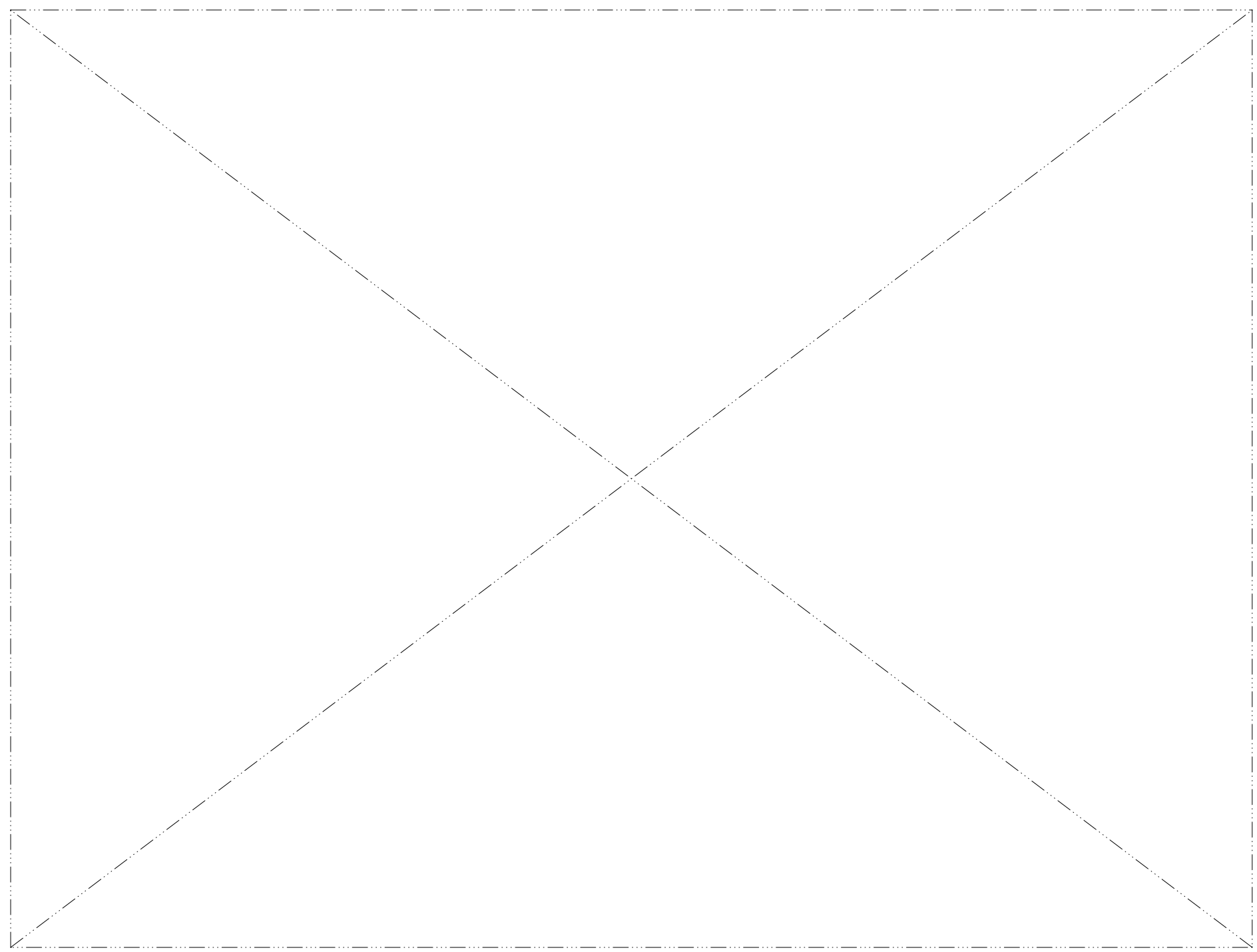
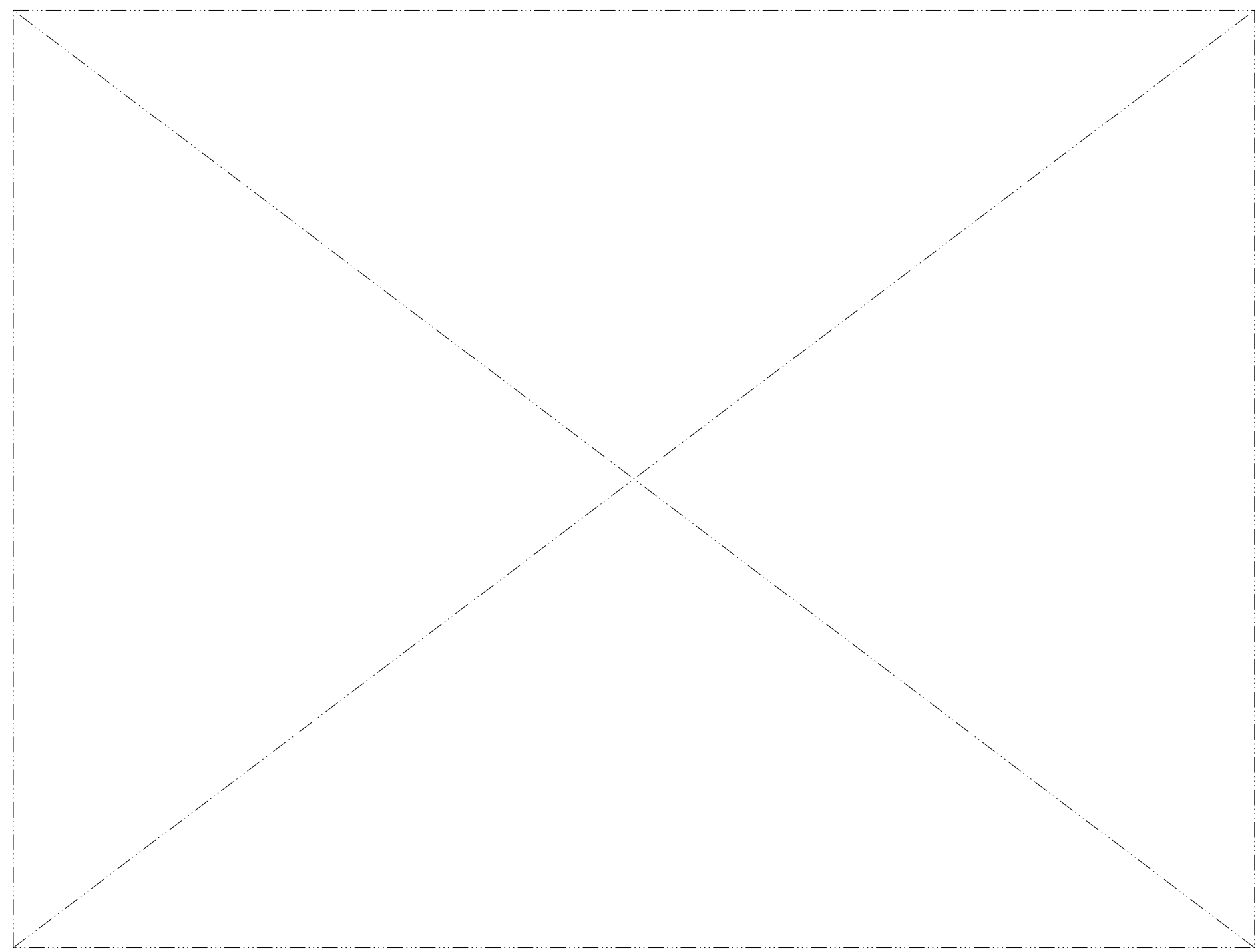
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REVIEWED BY: T. MICHAELS

PROJECT ID:
SHEET TITLE:

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A504



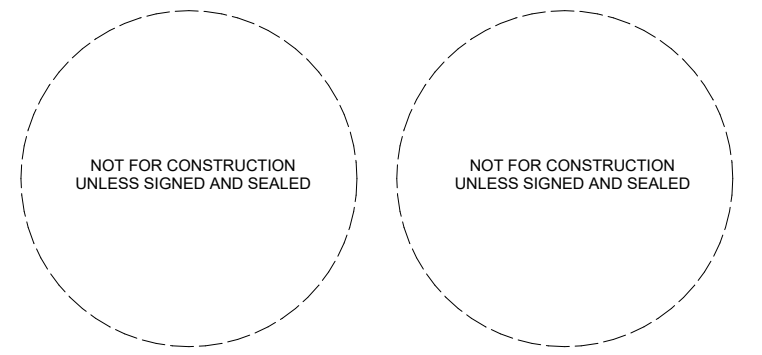
2 CORNER HORIZONTAL SIDING
Scale: 3" = 1'-0"

1 CORNER TRIM: BOARD AND BATTEN SIDING
Scale: 3" = 1'-0"



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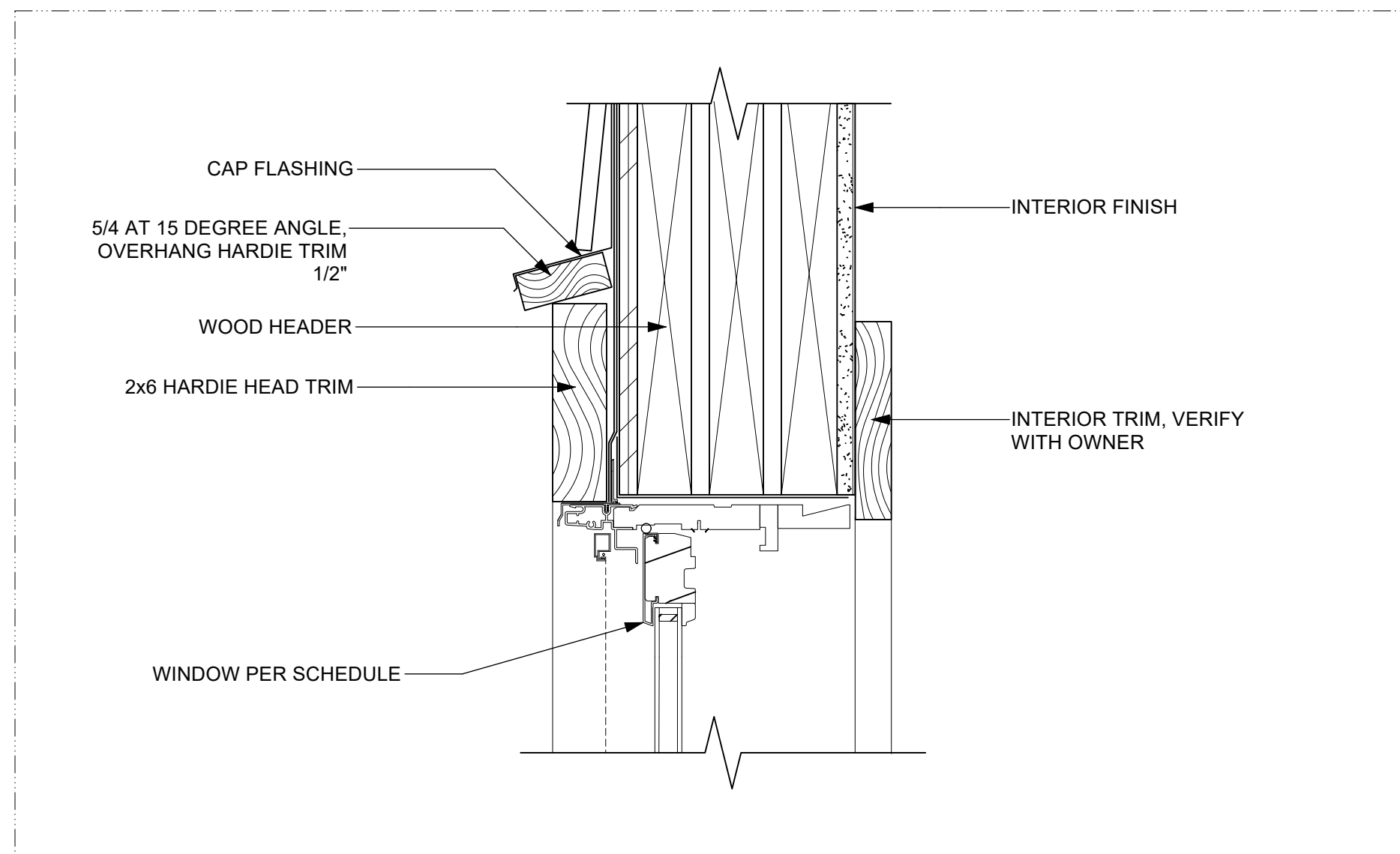
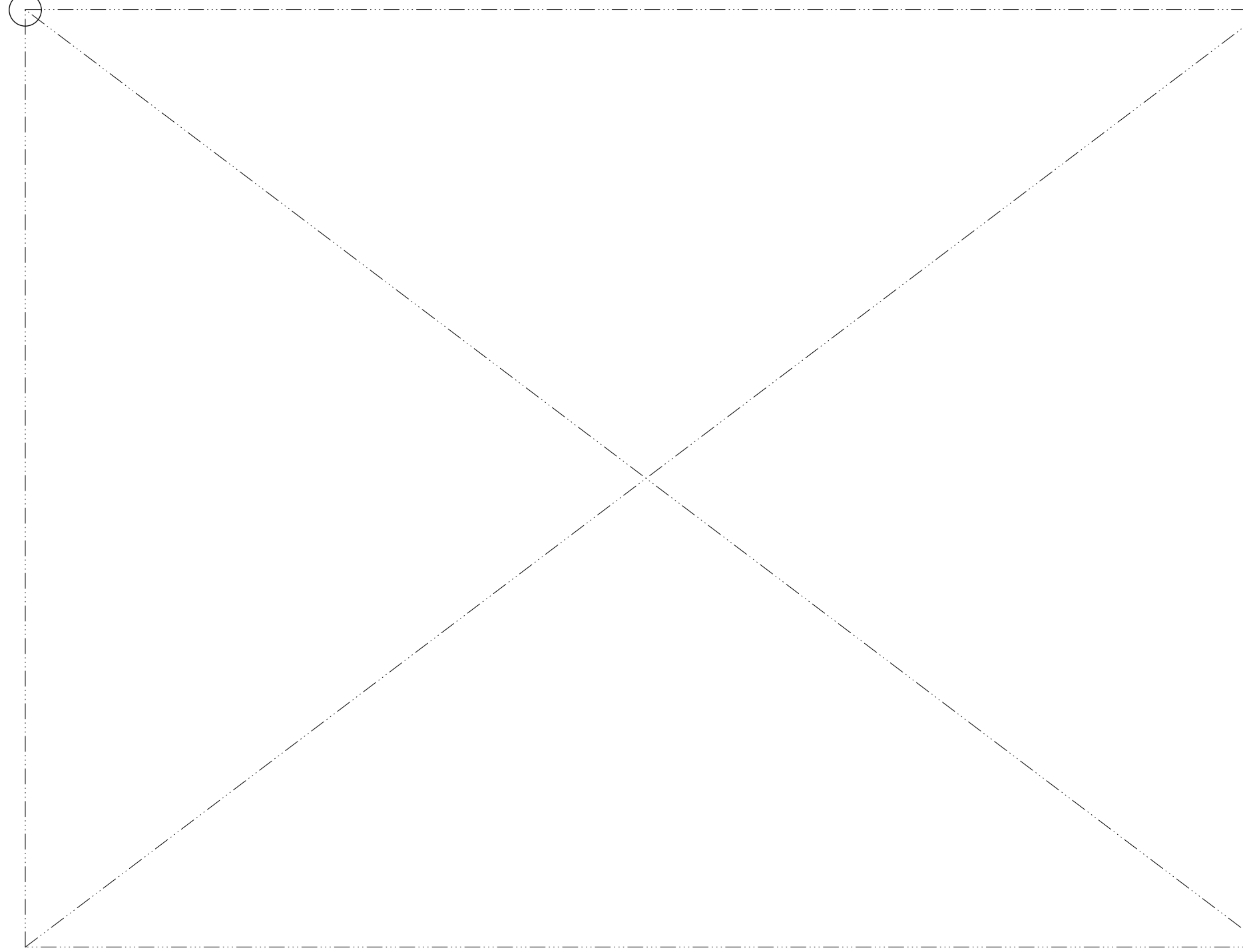
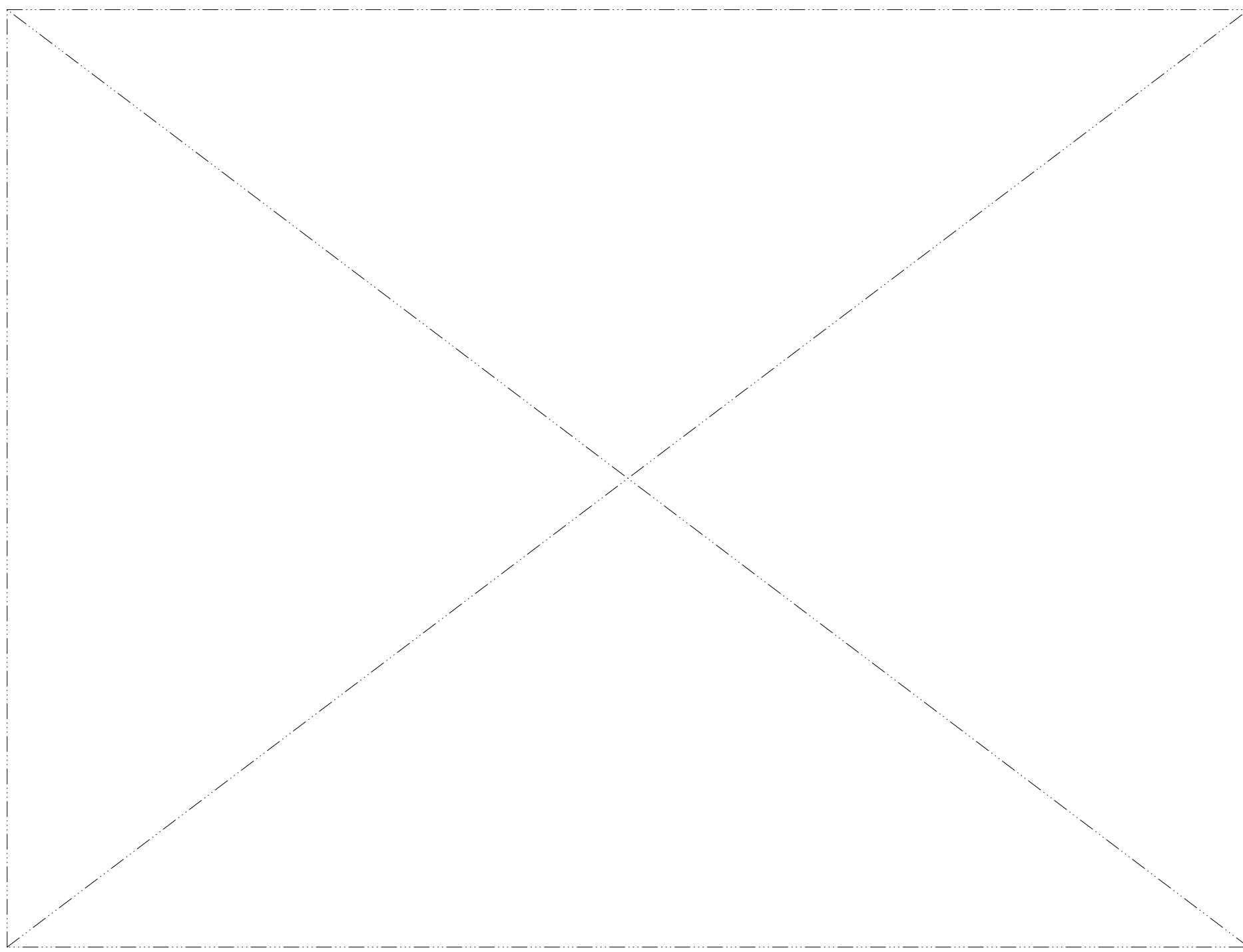
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DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS

PROJECT ID:
SHEET TITLE:

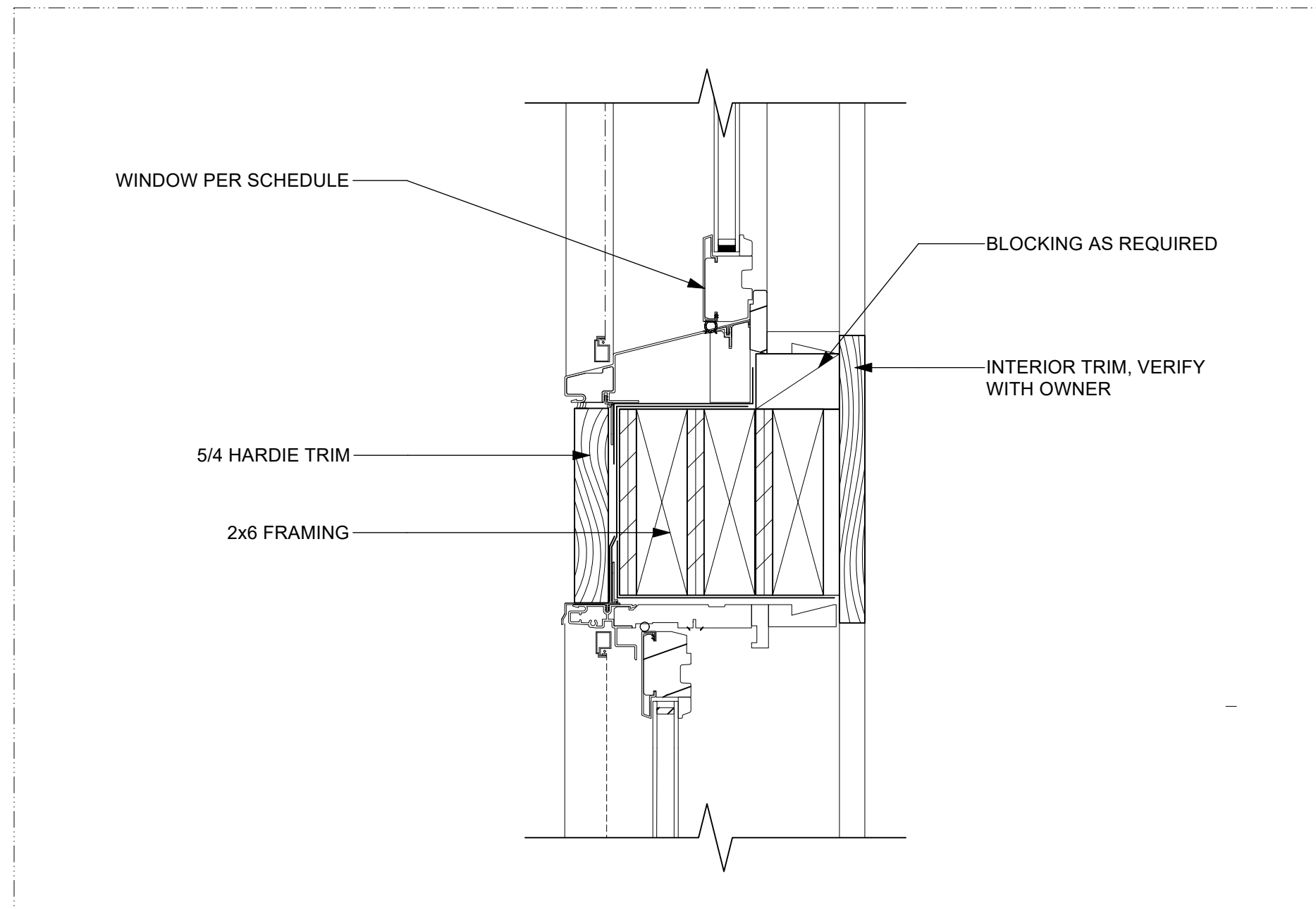
DETAILS

A505

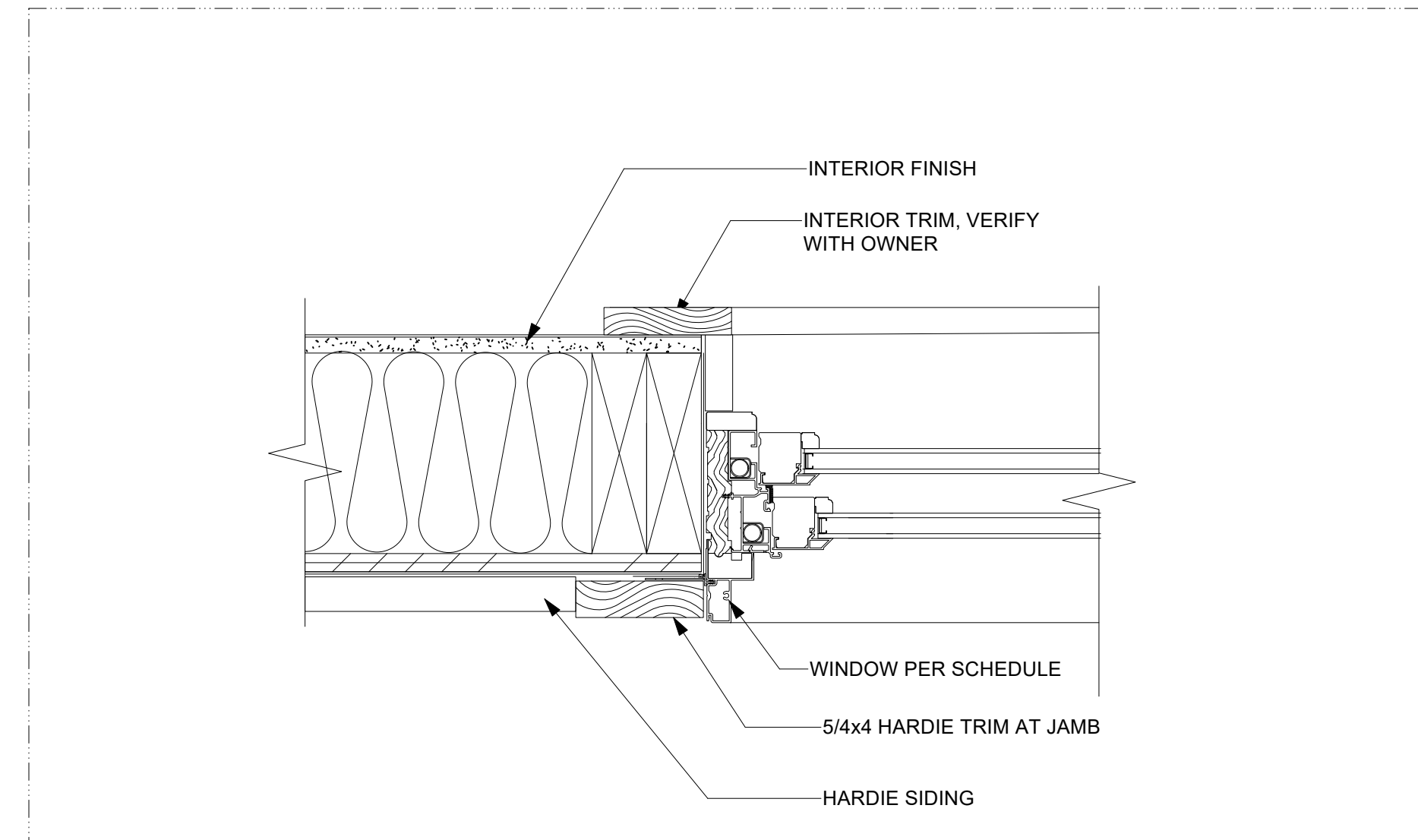


NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

2 TYPICAL WINDOW HEAD DETAIL
Scale: 3" = 1'-0"

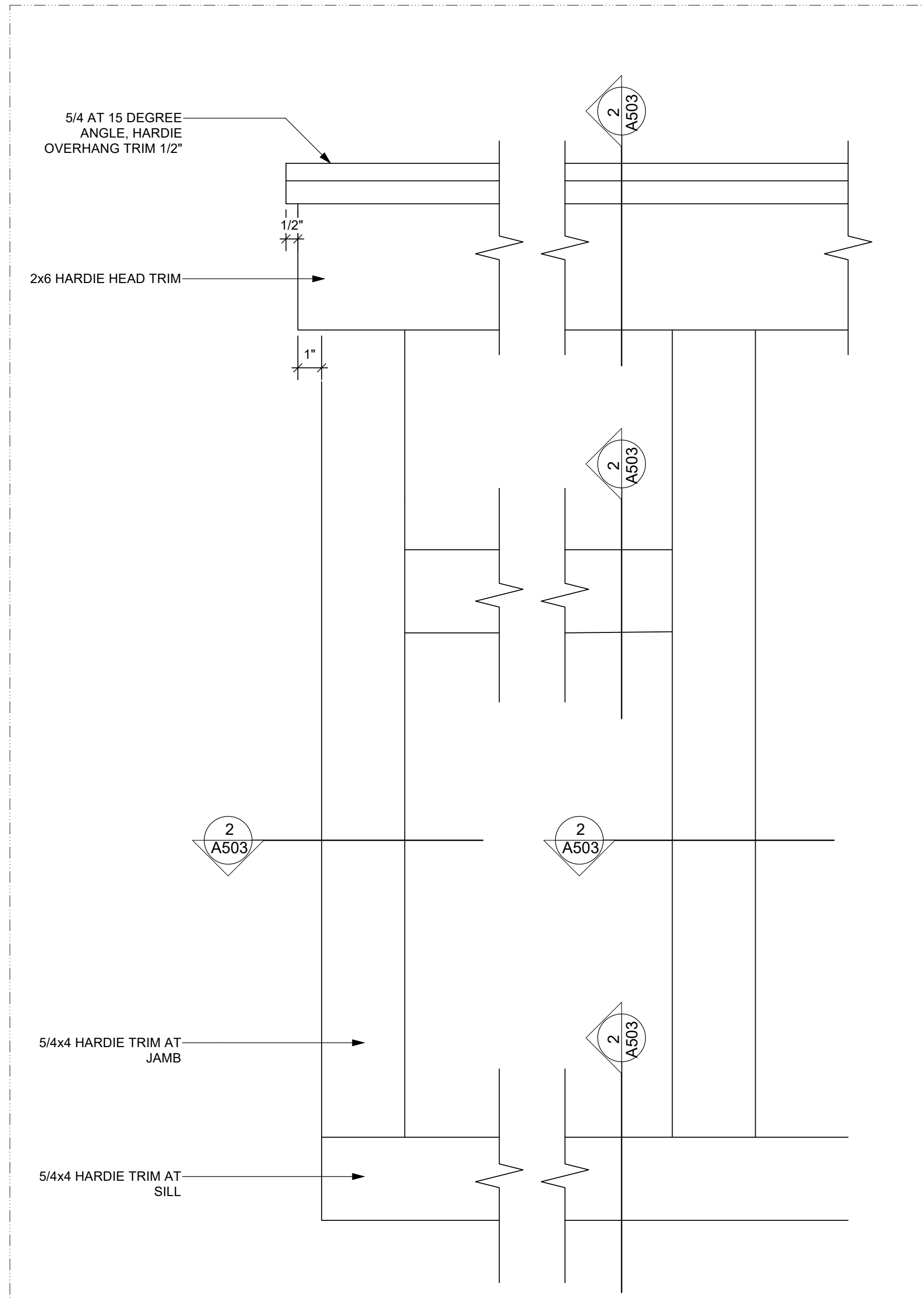


6 WINDOW HORIZONTAL MULL DETAIL
Scale: 3" = 1'-0"



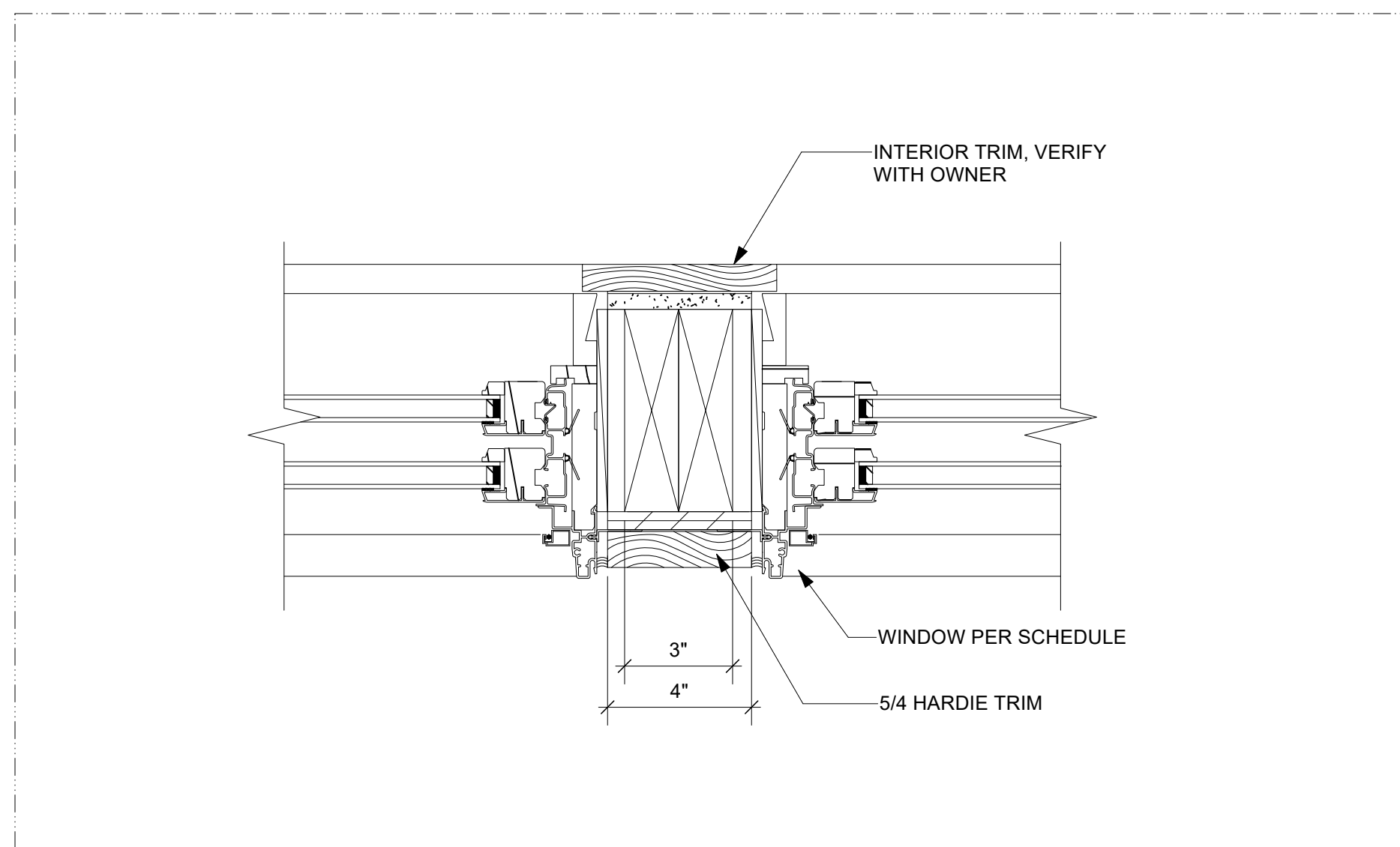
NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

4 TYPICAL WINDOW JAMB DETAIL
Scale: 3" = 1'-0"



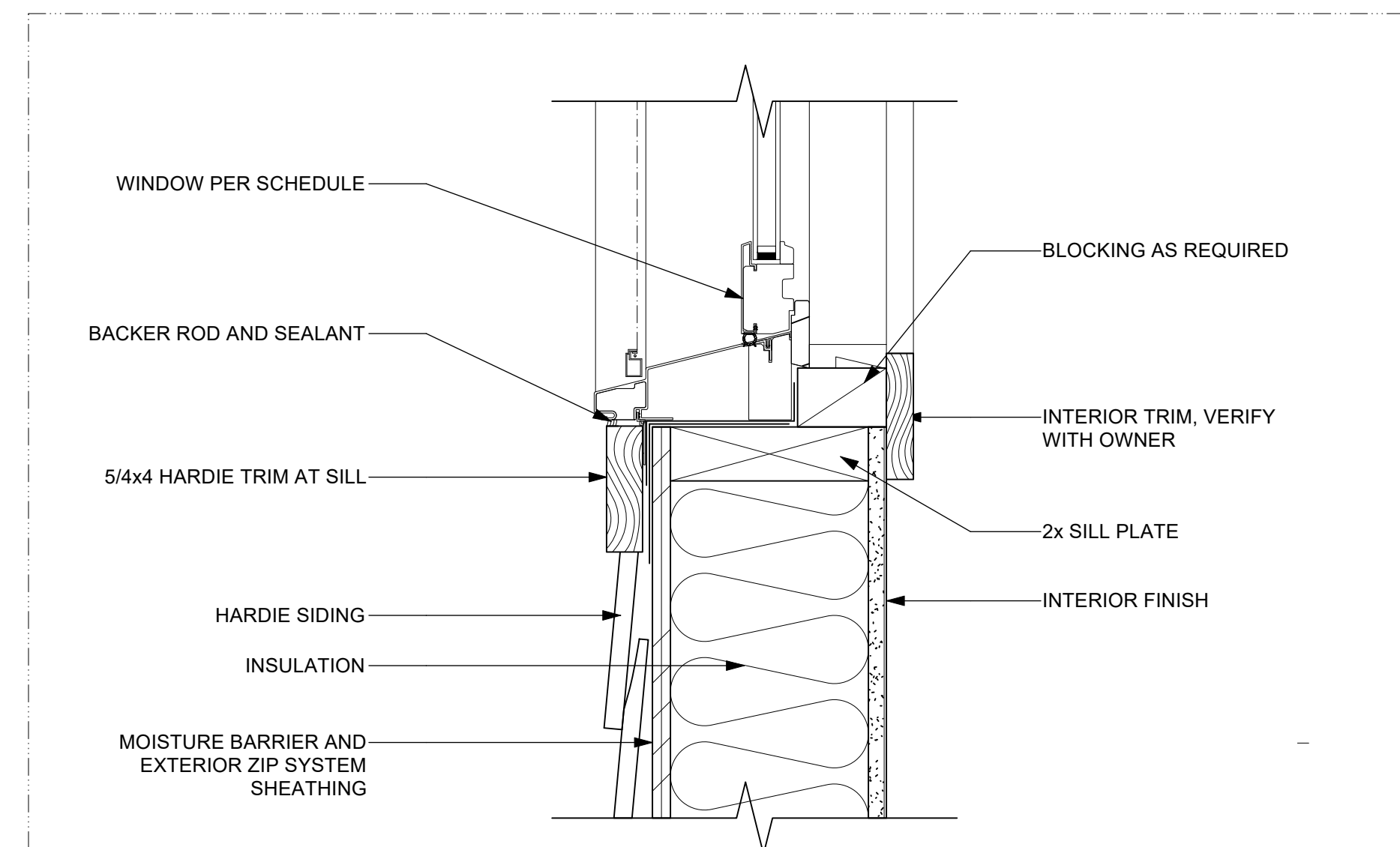
NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

1 PARTIAL WINDOW TRIM ELEVATION
Scale: 3" = 1'-0"



NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

5 WINDOW VERTICAL MULL DETAIL
Scale: 3" = 1'-0"



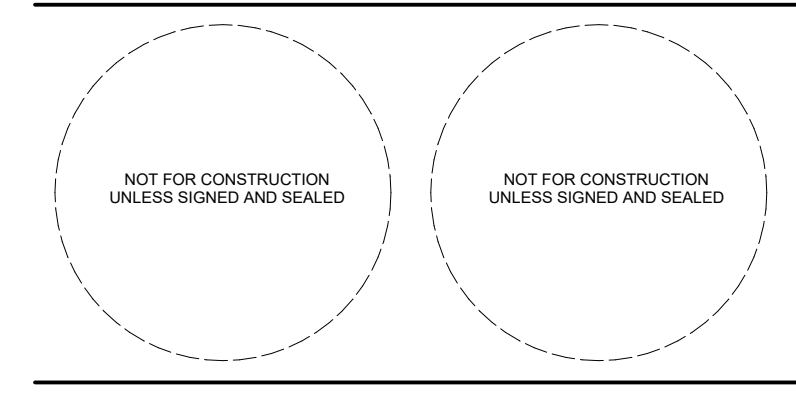
NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

3 TYPICAL WINDOW SILL TRIM DETAIL
Scale: 3" = 1'-0"



architecture + planning

SM7 DESIGN LLC
19 PROMENADE ST., STE 201
BLUFFTON SC 29910



PROJECT:
NEW COMMERCIAL

ADDRESS:
204 BLUFFTON RD,
BLUFFTON, SC 29910

ISSUE / REVISION:
3/4/2026 FINAL HD REVIEW
SUBMITTAL

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SHEET TITLE:

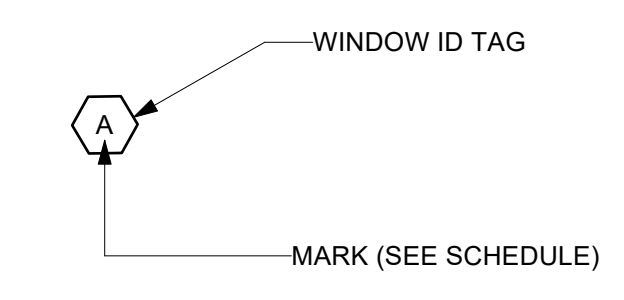
SCHEDULES

A602

WINDOW SCHEDULE

Mark	QTY.	Nominal Size		Window Style	Shutters		Openings	Accessories	Comments
		O.A. Width	O.A. Height		Interior	Exterior			
A	2	4'-0"	2'-0"	Awning	-	-	FALSE		
B	2	3'-6"	9'-0"	Double Hung	-	-	FALSE		WINDOW WITH TRANSOM, REFER TO WINDOW ELEVATIONS
C	4	3'-0"	7'-6"	Double Hung	-	-	FALSE		WINDOW WITH TRANSOM, REFER TO WINDOW ELEVATIONS
D	4	3'-6"	6'-3"	Double Hung	-	-	FALSE		
F	7	2'-6"	3'-0"	Awning	-	-	FALSE		
G	6	3'-0"	6'-0"	Double Hung	-	-	---		

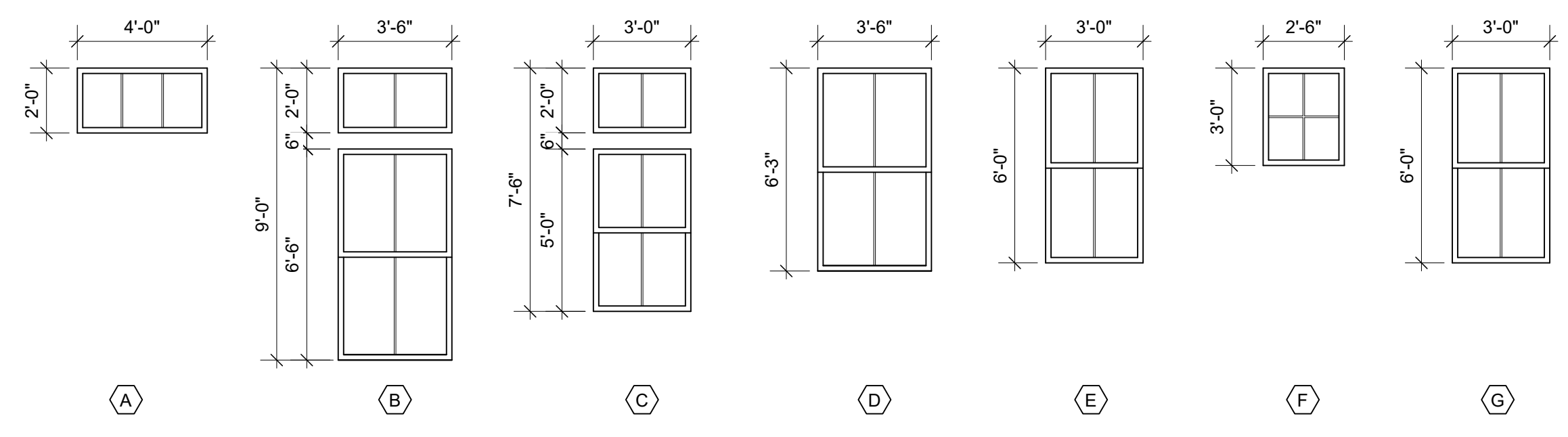
WINDOW IDENTIFICATION



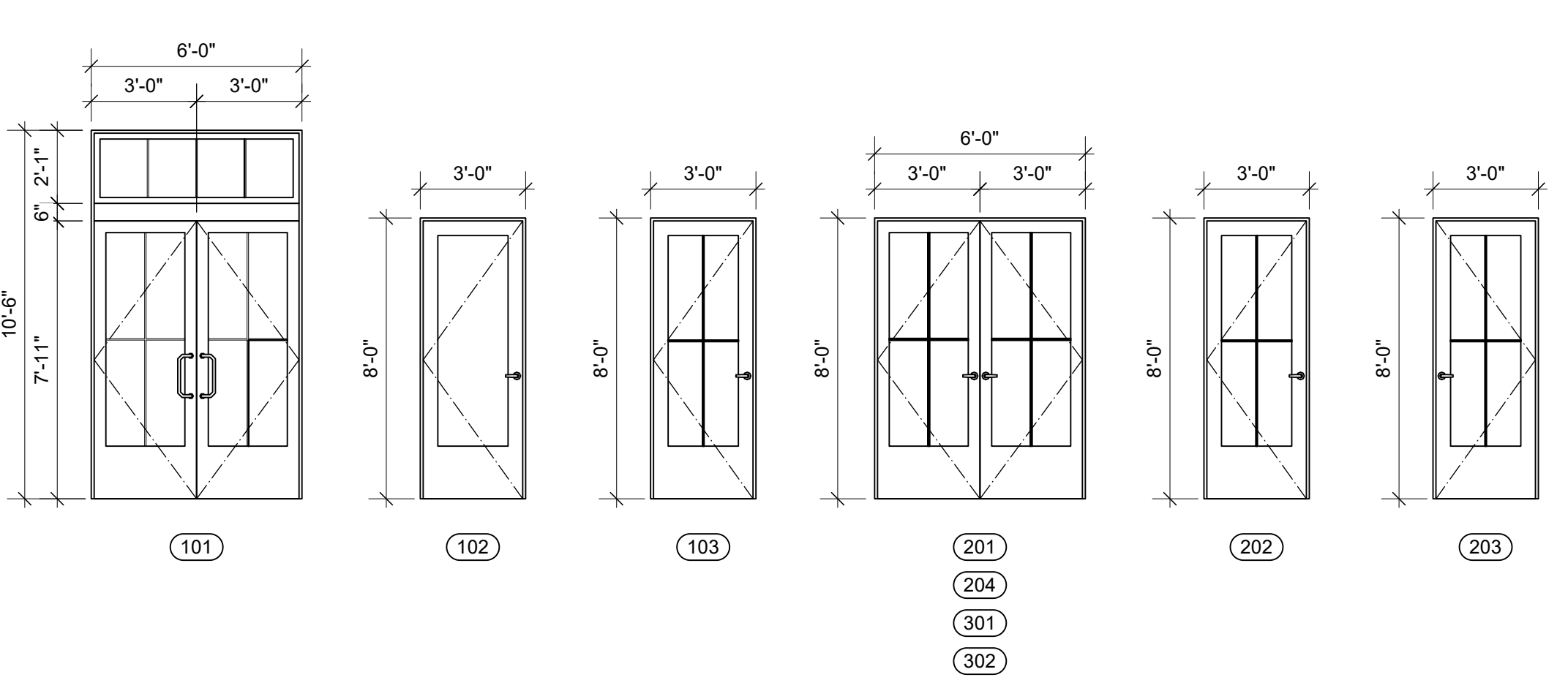
WINDOW SCHEDULE NOTES

1. WINDOW SIZES SHOWN ARE NOMINAL OVERALL SIZES. CONTRACTOR SHALL VERIFY FINAL ROUGH OPENING SIZES WITH SELECTED WINDOW MANUFACTURERS.
2. VERIFY WINDOW MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS PRIOR TO INSTALLING WINDOWS FOR FLASHING AND WATERPROOFING REQUIREMENTS. MANUFACTURER'S DETAILS AND REQUIREMENTS SHALL SUPERCEDE ANY NOTE OR DETAILS ON THESE DRAWINGS. CONTACT ARCHITECT IN WRITING WITH ANY DISCREPENCIES THAT AFFECT THE OVERALL DESIGN OF THE PROJECT.
3. ALL WINDOWS SHALL BE IMPACT RATED OR THE CONTRACTOR SHALL PROVIDE ALTERNATE IMPACT PROTECTION AS REQUIRED BY BUILDING CODES OR AHJ.
4. CONTRACTOR TO VERIFY THAT SELECTED WINDOWS MEET NATIONAL EGRESS CODE FOR FIRE EVACUATION WHERE EGRESS WINDOWS ARE REQUIRED BY BUILDING CODES OR AHJ.

WINDOW ELEVATIONS



Mark	Qty.	Nominal Size			Door Style					Fire Rating			Accessories	Comments
		Width	Height	Thickness	Configuration	Slab Style	Side Lights	L Sidelt Wid	R Sidelt Wid	Frame	Door Slab	HW Set		
101	1	6'-0"	10'-6"	1 3/4"	Swing Bi-part	Glass		N/A	N/A			DHW-#		
102	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Panel		N/A	N/A			DHW-#		
103	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A			DHW-#		
201	2	6'-0"	8'-0"	1 3/4"	Swing Bi-part	Glass		N/A	N/A			DHW-#		
202	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A			DHW-#		
203	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A			DHW-#		
301	2	6'-0"	8'-0"	1 3/4"	Swing Bi-part	Glass		N/A	N/A			DHW-#		



Color Selections

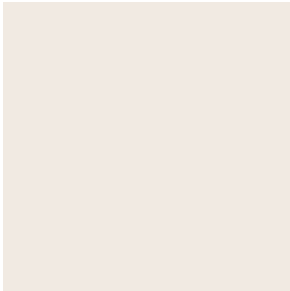
Project: 204 Bluffton Road



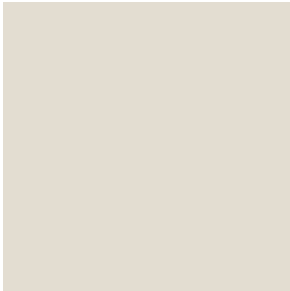
Walls / Columns
Old Georgetown
Material: Brick



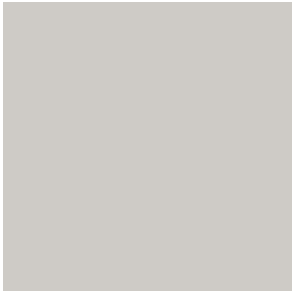
Roof
Shingles - Moire Black
Metal - Pre-Weatherd Galvalume



Trim / Cornice / Columnns
Shell White (SW 8917)
Material: Wood / Compos-



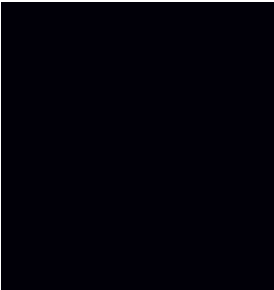
Siding
Oyster White (SW 7637)
Material: Cementicious



Porch Ceilings
Front Porch (SW 7651)
Material: Cementicious



Windows / Doors
Kolbe Forgent Series - Midnight
Material: Glastra



Railings / Balusters / Handrails
Black
Material: Powder Coated Aluminum



FORGENT® SERIES



We're for people who take building to new levels.



We're for people who are passionate about design, who care about the big picture and the smallest detail. We're for people who aren't satisfied with mainstream choices... who push the limits of what's possible with the options and innovations that can only be found in Kolbe® windows and doors.



We're for quality craftsmanship.

We're for a tradition of excellence that outlasts the latest design trend. The Kolbe story began with a family and a vision. Nearly 80 years after the Kolbe brothers began their commitment to producing premium quality windows and doors, products bearing their family name can be found in some of North America's most impressive homes and businesses.

We're for expertise.

We're for people who dream of a personalized design experience. That's why you can't find Kolbe windows and doors in the aisles of a home center. Our products are only available through a Kolbe dealer, because they are as passionate about windows and doors as you are about bringing your vision to life. And they will work with you to make your dream a concrete reality.



We're for possibilities.

We're for people who won't settle for "standard." We're for limitless options and custom solutions that can only be found in Kolbe's made-to-order products. Our team members are craftspeople who focus on building one window or door at a time, to create distinctive products that fulfill your unique vision.

We're for innovation.

We're for people who want to take building to new levels, with advancements in not only extraordinary sizes and shapes, but also ground-breaking products. We're for creative thinking that redefines what's possible, constantly reimagining our windows and doors to elevate style, performance and functionality.



Let us bring your vision to life.



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THE FORGENT® SERIES

Forgent Series windows and doors incorporate innovative design and state-of-the-art technology with a proprietary Glastra® material. Engineered for strength, resilience, and ease-of-installation, this high-performance product line is a perfect choice for new construction or replacement projects.





© The Studio



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Section VII. Item #1.

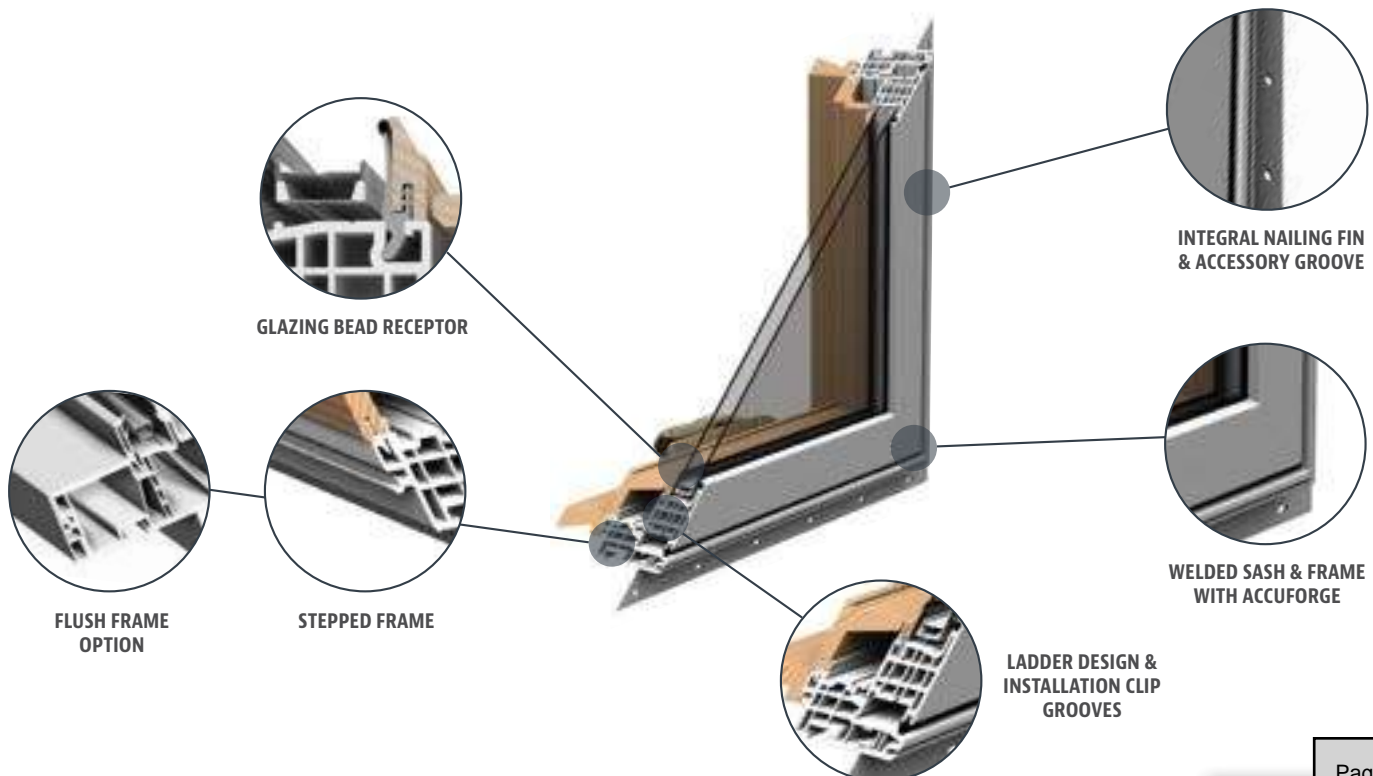
The Forgent Series provides:

STRENGTH & PERFORMANCE:

- Strong and resilient Glastra® exterior with Glastra or Wood interior
- Advanced ladder design with multiple chambers for strength and energy efficiency
- Welded sash and frame with AccuForge® technology for a smooth, air and watertight seam
- Integral nailing fin has fewer sealing points, for rigidity and a watertight installation
- Impact performance capabilities to meet the demands of coastal hurricane zones

EASE OF INSTALLATION:

- Three convenient installation methods: integral nailing fin, installation clips, screw through frame
- Glazing bead receptor helps create a clean break-point during painting and staining
- Accessory groove allows for quick installation of exterior accessories without additional clips
- Dry glazed sash allows for serviceable sash and components



INNOVATION & TECHNOLOGY



© Photo courtesy of Next Polymers Ltd./Brunet Group

MATERIAL

Forgent Series products are comprised of Glastra®, a proprietary hybrid of fiberglass and UV stable polymer. To better match décor and performance requirements, a Glastra exterior with a choice of Glastra or Wood interior is available in select colors and finishes.

Glastra is an innovative, recyclable material that helps form the resilient foundation of Forgent Series products. Manufacturing byproducts are repurposed for use in other industries, such as underground industrial piping.



shown in photo above



GLASTRA EXTERIOR WITH GLASTRA INTERIOR

Both the exterior and interior are comprised of Glastra, with finishes available in Cloud, Sahara, Midnight or Bronze.

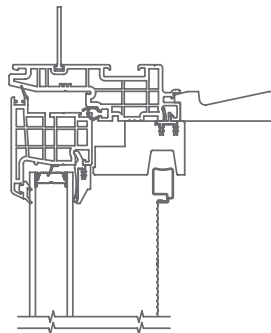


GLASTRA EXTERIOR WITH WOOD INTERIOR

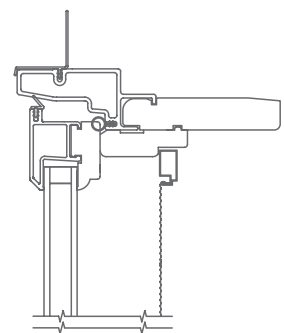
The exterior is comprised of Glastra, while the interior is Pine wood, available in popular pre-finishes including: Double Clear Coat, Latex Primer, Black Paint, White Paint, or a variety of stains.

CONSTRUCTION

Forgent Series windows are constructed of multi-chambered Glastra extrusions in an advanced ladder design for numerous benefits – the chambers add strength and promote energy efficiency. The same structural framework is used for All Glastra and Glastra/Wood products, for consistent performance.



FORGENT SERIES CONSTRUCTION



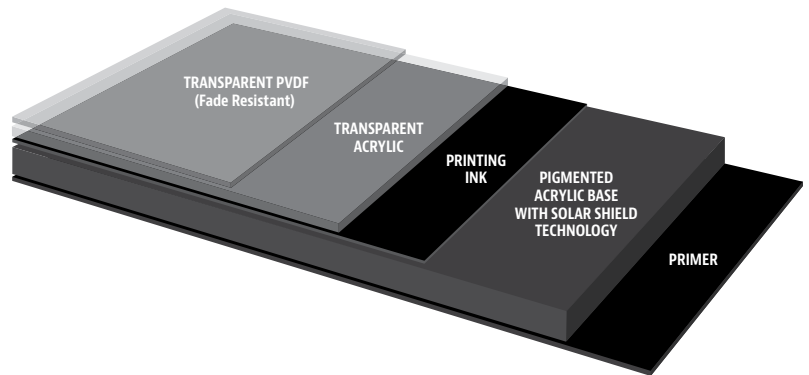
TYPICAL FIBERGLASS CONSTRUCTION



© Kim Smith Photo

ACRYLIC FILM

A Midnight, Bronze or Tungsten film can be applied to Forgent Series products with a Glastra exterior and interior. This film utilizes a pigmented acrylic base technology that reduces heat absorption and resists fading. A profile lamination process permanently bonds the film to the Glastra material, enabling it to withstand the harshest of conditions – from extreme heat to extreme cold. And because the film has a very low surface tension, typical dirt, debris – even paint – can be removed from the surface with mild soap and water.



ACCUFORGE®

Forgent Series window frames* and sash feature AccuForge®, an innovative miter joint technology. This state-of-the-art nip welding process creates a stronger air and watertight seam with a smooth, high-end finish. See AccuForge in action at: kolbewindows.com/product-lines/forgent-series



COMPRESSION SEAL

Forgent Series windows and doors feature EPDM gaskets in the glazing system as well as between the operable sash and frame, to seal the joint and create an air and watertight seal. Similar to those used on commercial windows, cars and airplane doors, they also keep noise out, for a quieter, more comfortable environment.

Thermal Expansion (In/In F° x 10 ⁻⁶)	
Vinyl	0 to 45
Cellular PVC	0 to 25
Glastra	0 to 18
Aluminum	0 to 12
Pine	0 to 5

THERMAL EXPANSION

All materials are subject to some level of expansion as temperatures fluctuate. Forgent Series Glastra material is less affected by these changes, with a lower expansion rate than many composite products, and less than half the rate of vinyl products.

AccuForge® is a registered trademark of Kolbe & Kolbe Millwork Co., Inc.
 *Specialty windows (geometric and radius) and sliding doors are not manufactured with AccuForge technology.
 Forgent Series exterior films are compliant with and have achieved 307-16 certification from the American Architectural Manufacturers Association (AAMA). The AAMA 307-16 designation specifically refers to Voluntary Specifications for Laminates Intended for Use on AAMA Certified Profiles.

STYLE & DESIGN OPTIONS



© Spacecrafting Photography | Denali Custom Homes | Redstone Interiors

Kolbe offers distinctive style and design options to make your spaces unique. For the ultimate in personalization, choose from our numerous options, including hardware, glass, divided lites, screens, sills, exterior trim, and more – plus custom solutions to help bring your unique vision to life.

GLASS

There is so much more to glass than visibility. It can add to the aesthetic, enhance indoor comfort and acoustics, or provide privacy, security, and impact resistance. From smart coatings and smart glass to Sound Transmission Class (STC) glass and EPDM gaskets for high noise areas, Kolbe's numerous glazing options provide optimum energy efficiency, beauty and performance.

DIVIDED LITES

Add architectural detail to windows and doors with performance divided lites. Choose from various widths and patterns to a custom design that accentuates the character and appearance of your home. Or choose grilles-in-the-airspace for a similar aesthetic with reduced cleaning time.

HARDWARE

Kolbe offers numerous hardware styles and finishes to complete your project. Complement your décor or add the finishing touch to a casement and awning combination or a new sliding door. Plus, the added functionality of multi-point locks and automation options on select products adds security and convenience to your living experience.



© Tommy Everson Architect | Near & Streeter Custom Builder | VonDeLinde Photography



© Spacecrafting Photography

FINISH OPTIONS



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EXTERIOR FINISHES

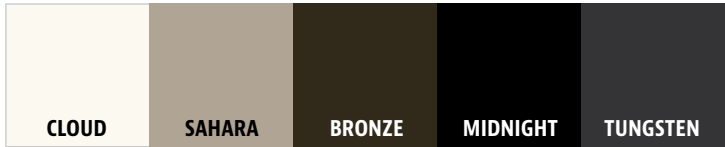
Forgent Series windows and doors feature a durable and resilient Glastra® exterior. The Cloud and Sahara colors are integral to the Glastra material, while Bronze, Midnight and Tungsten can be applied in various combinations, as shown.

INTERIOR FINISHES

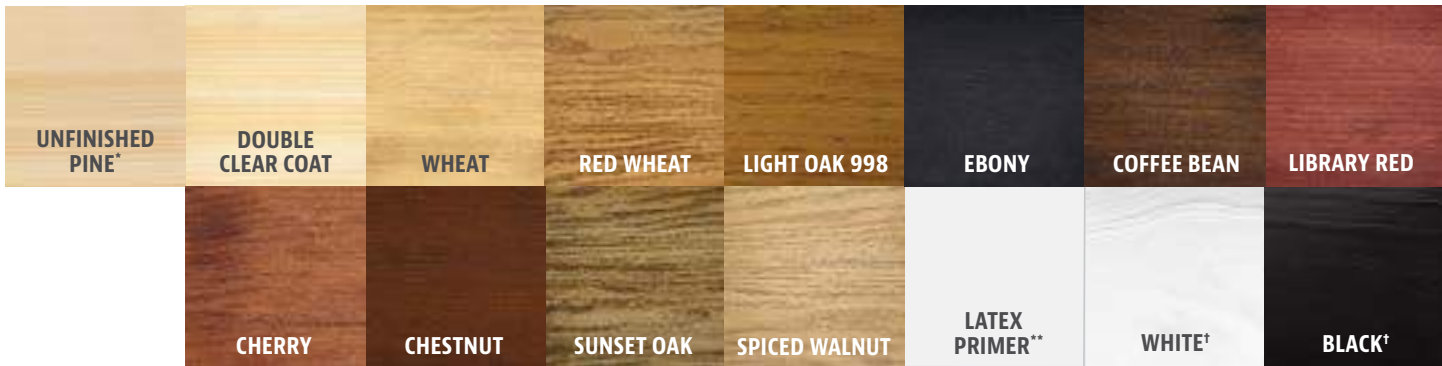
Forgent Series Glastra/Wood windows and doors are offered with a Pine interior. For units that are ready to install upon delivery, Forgent Series windows and doors can be prefinished on the interior with one of the water-based stains or paints shown. Stained units are given two coats of satin clear finish. Because our interior finishes are water-based, low-VOC stains and paints, you can rest assured you've made an environmentally conscious decision.

COMBINATION OPTIONS

		INTERIOR				
		CLOUD	SAHARA	BRONZE	MIDNIGHT	WOOD
EXTERIOR	CLOUD	●				●
	SAHARA		●			●
	BRONZE	●		●		●
	MIDNIGHT	●			●	●
	TUNGSTEN	●				●



NOTE: Tungsten is available as an exterior finish only. Ask your Kolbe dealer for details.



* All units supplied with unfinished pine interiors must be finished in the field.

**Latex primer is not a final finish.

† White and Black are single coat interior paint finishes with some visible wood grain.

Some options for our products may have limited color offerings or may incur a nominal charge. Check with your Kolbe dealer for further details on pricing and availability. Stain colors are shown on pine. Since no two trees are identical, wood can be expected to differ both in color and graining. These factors will influence the stain's final color. Printed images of wood species and stain options will vary from actual product colors. Selections should be made based on color samples available from your Kolbe dealer. Stain colors are shown on pine. A double coat clear finish is also offered. Since no two trees are identical, wood can be expected to differ both in color and graining. These factors will influence the stain's final color.

Color-matched interior paint is available through Sherwin-Williams in the United States and Canada. The color formula for Kolbe's interior paint finishes is in their National Account System.



Click to view more: kolbewindows.com/gallery

CASEMENTS

The design and performance of Forgent® Series casements are the features that make these windows so popular. Casements open from the side to a 90-degree angle, allowing for maximum ventilation up to 36-by-78 inches. Multi-point locking levers offer a convenient way to tightly secure your windows from one locking location. Crank handles fold down when not in use to prevent interference with window treatments.



CASEMENTS

CRANK-OUT | PICTURE | TRANSOM | PICTURE COMBINATION
MULLED CONFIGURATIONS



© Spacecrafting Photography | Denali Custom Homes | Redstone Interiors

STANDARD FEATURES

- ▶ 4-9/16" jam depth *(New Construction)*
- ▶ Flush frame groove filler *(New Construction - no extension jamb)*
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Insect screen with BetterVue® fiberglass mesh and Water Shed Technology™
- ▶ Crank-out nesting handle and multi-point traditional locking levers are color matched to the interior
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening
- ▶ Box-to-box mullion



OPTIONS

(not all options are available on all casement types; custom options also available)

- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Multiple trim accessories *(shipped loose)*
- ▶ Insect screen available with aluminum or UltraVue® mesh
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return *(no extension jamb)*
- ▶ Galvanized steel installation clips
- ▶ Nesting handle & locking lever in a variety of finishes
- ▶ Ashlar handle in a variety of finishes
- ▶ Window Opening Control Device (WOCD)
- ▶ Coastal hardware package
- ▶ Impact performance

GLASTRA/GLASTRA *(additional options specific to Glastra interiors)*

- ▶ 3-1/4" overall frame depth; no nailing fin and pre-drilled for installation *(Replacement)*
- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze *(only on units with Midnight or Bronze exterior)*

GLASTRA/WOOD *(additional options specific to Wood interiors)*

- ▶ 4-1/16" overall frame depth; no nailing fin and pre-drilled for installation *(Replacement)*
- ▶ Unfinished pine interior with no visible fasteners or wood exposed to the exterior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Wood glazing bead receptor

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.

* Latex primer is not a final finish.

BetterVue®, UltraVue® and Water Shed Technology™ are registered trademarks of PHIFER INCORPORATED. Limitations may apply. Please consult your local Kolbe dealer for more details.

Section VII. Item #1.



Click to view more: kolbewindows.com/gallery

AWNINGS

Forgent Series awning windows open outward from the bottom, to allow generous airflow even on rainy or misty days. Awnings offer unique style to any room and are the perfect complement to other Kolbe® windows and doors – with maximum openings up to 5-by-5 feet. Crank-out nesting handles, stylish Ashlar handles and dual-arm operators make these windows easy to open and close. Crank-out handles fold down when not in use.



Page 61

AWNINGS

CRANK-OUT | PICTURE UNITS | PICTURE COMBINATION
MULLED CONFIGURATIONS



Tommy Everson Architect | City Homes | Spacecrafting Photography

STANDARD FEATURES

- ▶ 4-9/16" jamb depth *(New Construction)*
- ▶ Flush frame groove filler *(New Construction - no extension jamb)*
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Insect screen with BetterVue® fiberglass mesh and Water Shed Technology™
- ▶ Crank-out nesting handle and multi-point traditional locking levers are color matched to the interior
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening
- ▶ Box-to-box mullion



OPTIONS

(not all options are available on all casement types; custom options also available)

- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Multiple trim accessories *(shipped loose)*
- ▶ Insect screen available with aluminum or UltraVue® mesh
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return *(no extension jamb)*
- ▶ Galvanized steel installation clips
- ▶ Nesting handle & locking lever in a variety of finishes
- ▶ Ashlar handle in a variety of finishes
- ▶ Coastal hardware package
- ▶ Impact performance

GLASTRA/GLASTRA *(additional options specific to Glastra interiors)*

- ▶ 3-1/4" overall frame depth; no nailing fin and pre-drilled for installation *(Replacement)*
- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze *(only on units with Midnight or Bronze exterior)*

GLASTRA/WOOD *(additional options specific to Wood interiors)*

- ▶ 4-1/16" overall frame depth; no nailing fin and pre-drilled for installation *(Replacement)*
- ▶ Unfinished pine interior with no visible fasteners or wood exposed to the exterior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Wood glazing bead receptor

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.

* Latex primer is not a final finish.

BetterVue®, UltraVue® and Water Shed Technology™ are registered trademarks of PHIFER INCORPORATED. Limitations may apply. Please consult your local Kolbe dealer for more details.



Be Inspired ▶

Click to view more: kolbewindows.com/gallery

DOUBLE HUNGS

Blending seamlessly with traditional architecture, the Colonial American style sash operate easily and tilt inward for convenient cleaning. Handles on both sash allow smooth opening and closing, while a sloped sill helps guard against water damage. Replace older windows with cottage-style units, and a choice of divided lites, hardware, screens, or triple pane glass – for enhanced style and performance.



DOUBLE HUNG

NEW CONSTRUCTION | REPLACEMENT
COTTAGE STYLE | REVERSE COTTAGE STYLE | STUDIO | TRANSOM
PICTURE COMBINATION UNITS | SEGMENT HEAD | HALF-CIRCLE TOP



Photo courtesy of Stacy Zarin-Goldberg

STANDARD FEATURES

- ▶ Flush frame groove filler (*New Construction - no extension jamb*)
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Equal glass sizing provides matching sight lines from sash to sash
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Full frame insect screen with BetterVue® fiberglass mesh and Water Shed Technology™
- ▶ Stainless steel, constant force balance system provides durability and ease of operation
- ▶ Sash lock and tilt latches are color matched to the interior
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening (*New Construction*)

OPTIONS (*custom options are also available*)

- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Fixed top sash
- ▶ Multiple trim accessories (*shipped loose*)
- ▶ Insect screen available with aluminum or UltraVue® mesh
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return (*no extension jamb*)
- ▶ Galvanized steel installation clips
- ▶ Lift handle in various finishes to match hardware
- ▶ Window Opening Control Device (WOCD)
- ▶ Sash limiters for safety (*non by-passable and does not meet WOCD requirements*)
- ▶ Cottage and reverse cottage style
- ▶ Impact performance

GLASTRA/GLASTRA (*additional options specific to Glastra interiors*)

- ▶ 3-1/4" overall frame depth (*Replacement*)
- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze (*only on units with Midnight or Bronze exterior*)
- ▶ Lift handle on bottom sash is color matched to the interior

GLASTRA/WOOD (*additional options specific to Wood interiors*)

- ▶ 4-1/8" overall frame depth (*Replacement*)
- ▶ Unfinished pine interior with no visible fasteners or wood exposed to the exterior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Wood glazing bead receptor



[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.
 * Latex primer is not a final finish.
 BetterVue®, UltraVue® and Water Shed Technology™ are registered trademarks of PHIFER INCORPORATED.
 Limitations may apply. Please consult your local Kolbe dealer for more details.



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Click to view more: kolbewindows.com/gallery

SLIDING WINDOWS

Sliding windows provide space-saving solutions for expansive openings while offering solid performance ratings. The design incorporates a Glastra® exterior, a Glastra or pine interior, and tilt-in sash for easy operation and cleaning. Forgent® Series single and triple sliding windows are best where space is at a premium, with maximum panel heights up to 72".



SLIDING WINDOWS

NEW CONSTRUCTION | REPLACEMENT
SINGLE | DOUBLE | TRIPLE | QUAD



Yellow Tree Construction | Scott Amundson Photography

STANDARD FEATURES

- ▶ Flush frame groove filler (*New Construction - no extension jamb*)
- ▶ Available as Active-Fixed (AF) or Fixed-Active (FA)
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Equal glass sizing provides matching sight lines from sash to sash
- ▶ Dry glazed to the interior with beveled glazing bead
- ▶ Accessory grooves are integral to the extruded frames for the easy addition of accessories
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening (*New Construction*)
- ▶ Full frame insect screen with BetterVue® fiberglass mesh and Water Shed Technology™
- ▶ Nylon rollers for ease-of-operation
- ▶ Sash lock and tilt latches are color matched to the interior
- ▶ Tilt latches placed at the top of the operable sash for ergonomic removal



OPTIONS (*custom options are also available*)

- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Triple sliding 1/4-1/2-1/4 and 1/3-1/3-1/3 splits
- ▶ Multiple trim accessories (*shipped loose*)
- ▶ Insect screen available with aluminum or UltraVue® mesh
- ▶ Half screen
- ▶ Pull handle in various finishes to match hardware
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return (*no extension jamb*)
- ▶ Galvanized steel installation clips
- ▶ Window Opening Control Device (WOCD)
- ▶ Sash limiters for safety (*non by-passable and does not meet WOCD requirements*)
- ▶ Impact performance

GLASTRA/GLASTRA (*additional options specific to Glastra interiors*)

- ▶ 3-1/4" overall frame depth (*Replacement*)
- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze (*only on units with Midnight or Bronze exterior*)
- ▶ Pull handle on active sash is color matched to the interior

GLASTRA/WOOD (*additional options specific to Wood interiors*)

- ▶ 4-1/8" overall frame depth (*Replacement*)
- ▶ Unfinished pine interior with no visible fasteners or wood exposed to the exterior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Wood glazing bead receptor

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

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Section VII. Item #1.



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SPECIALTY WINDOWS

Forgent® Series specialty windows are available in varied sizes and styles. Direct sets are ideal for maximizing daylight when venting is not required. The glass is set directly into the frame, allowing a larger opening for passive lighting and views. Radius windows can stack over other Kolbe® windows and doors to create gracious curves and allow more light to enter. Geometrics can create a focal point, accentuate the architectural design, or comprise a window wall with angled shapes.



DIRECT SETS

NEW CONSTRUCTION | REPLACEMENT



© Spacecrafting Photography | Denali Custom Homes | Redstone Interiors

STANDARD FEATURES

- ▶ Flush frame groove filler (*New Construction - no extension jamb*)
- ▶ Units designed to be mulled directly to other Forgent Series products, either in the factory or in the field
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Dry glazed to the interior with a beveled bead
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening

OPTIONS *(custom options are also available)*

- ▶ Replacement direct sets in casement and new construction double hung profiles
- ▶ Casement and double hung direct set profiles available for a pleasing match
- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Multiple trim accessories (*shipped loose*)
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return (*no extension jamb*)
- ▶ Galvanized steel installation clips
- ▶ Impact performance

GLASTRA/GLASTRA *(additional options specific to Glastra interiors)*

- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze (*only on units with Midnight or Bronze exterior*)

GLASTRA/WOOD *(additional options specific to Wood interiors)*

- ▶ Unfinished pine interior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Square wood stops



[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.
* Latex primer is not a final finish.



RADIUS DIRECT SETS

QUARTER CIRCLE | HALF CIRCLE | FULL CIRCLE
SEGMENT | QUARTER SEGMENT | WITH OR WITHOUT LEGS

STANDARD FEATURES

- ▶ Flush frame groove filler *(New Construction - no extension jamb)*
- ▶ Units designed to be mulled directly to other Forgent Series products, either in the factory or in the field
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Dry glazed to the interior with a beveled bead
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening



**GLASTRA/WOOD
CASEMENT DIRECT SET**

OPTIONS *(custom options are also available)*

- ▶ Replacement direct sets in casement and new construction double hung profiles
- ▶ Casement and double hung direct set profiles available for a pleasing match
- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Multiple trim accessories *(shipped loose)*
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return *(no extension jamb)*
- ▶ Galvanized steel installation clips
- ▶ Impact performance
- ▶ Custom shapes

GLASTRA/GLASTRA *(additional options specific to Glastra interiors)*

- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze *(only on units with Midnight or Bronze exterior)*

GLASTRA/WOOD *(additional options specific to Wood interiors)*

- ▶ Unfinished pine interior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Square wood stops

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.
* Latex primer is not a final finish.

GEOMETRIC DIRECT SETS

PENTOID | PARALLELOGRAM | TRAPEZOID | RIGHT TRIANGLE | ISOSCELES TRIANGLE | CLIPPED CORNER | DOUBLE CLIPPED CORNER | OCTAGON



© Space-Air Photography | Denali Custom Homes | Redstone Interiors

STANDARD FEATURES

- ▶ Flush frame groove filler *(New Construction - no extension jamb)*
- ▶ Units designed to be mulled directly to other Forgent Series products, either in the factory or in the field
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Dry glazed to the interior with a beveled bead
- ▶ Integral 1-1/4" nailing fin provides easier installation and helps seal the window opening

OPTIONS *(custom options are also available)*

- ▶ Replacement direct sets in casement and new construction double hung profiles
- ▶ Casement and double hung direct set profiles available for a pleasing match
- ▶ Exterior acrylic film in Midnight, Bronze or Tungsten
- ▶ Multiple trim accessories *(shipped loose)*
- ▶ Extension jambs available in depths up to 9" overall
- ▶ Offset extension jambs
- ▶ Stepped frame groove filler for drywall return *(no extension jamb)*
- ▶ Galvanized steel installation clips
- ▶ Impact performance
- ▶ Custom shapes



GLASTRA/GLASTRA *(additional options specific to Glastra interiors)*

- ▶ Cloud or Sahara integral color
- ▶ Interior acrylic film in Midnight or Bronze *(only on units with Midnight or Bronze exterior)*

GLASTRA/WOOD *(additional options specific to Wood interiors)*

- ▶ Unfinished pine interior
- ▶ Latex primed interior*
- ▶ Interior prefinishing
- ▶ Square wood stops

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTES: All measurements are nominal.
* Latex primer is not a final finish.

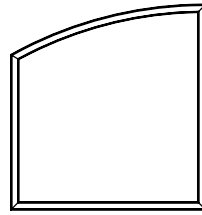
SPECIALTY WINDOW SHAPES



Segment



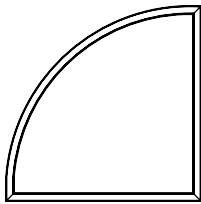
Segment w/o legs



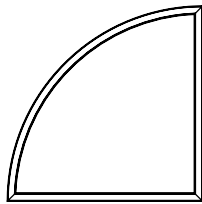
Quarter Segment



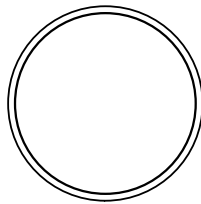
Quarter Segment w/o legs



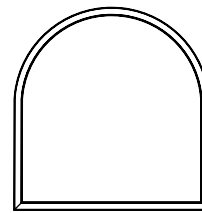
Quarter Circle



Quarter Circle w/o legs



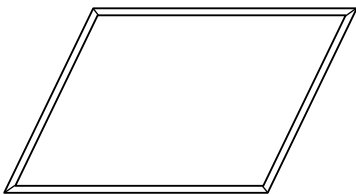
Full Circle*



Half Circle



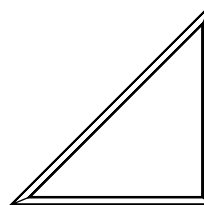
Half Circle w/o legs



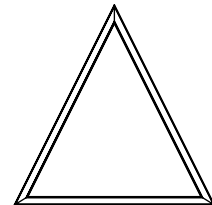
Parallelogram



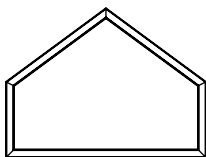
Trapezoid



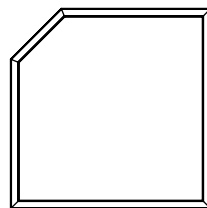
Right Triangle



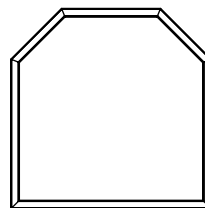
Isosceles Triangle



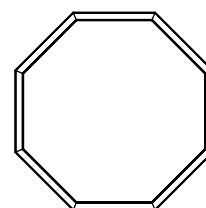
Pentoid



Clipped Corner



Double Clipped Corner



Octagon

*Full Circle is only available in All Glastra.



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COMPLEMENTARY DOORS

Kolbe offers a selection of sliding, multi-slide and swinging doors from our other product lines to complement the Forgent® Series windows used in your design. Mix and match the distinct styles, characteristics and expanded options to achieve your desired aesthetic. The same coordinated lead times will help builders get all of the products needed to complete their project.



COMPLEMENTARY SLIDING DOORS

2-PANEL | 3-PANEL | 4-PANEL | TRANSOMS



STANDARD FEATURES

- ▶ Cloud or Sahara interior and exterior color
- ▶ Standard jamb width is 5-15/16" (4-9/16" behind the nailing fin)
- ▶ Energy efficient, tempered Solar Low-E glass
- ▶ Dry glazed to the interior
- ▶ Accessory grooves are integral to the extruded frames for easy addition of accessories
- ▶ Frame setup for 2-wide doors
- ▶ Equal glass sizing provides matching sight lines from panel to panel
- ▶ Steel panel reinforcement for rigidity
- ▶ Stainless steel panel rollers
- ▶ Allure dual-point handle set in White
- ▶ Low-profile, aluminum-capped self-draining sill in Bronze anodized

OPTIONS (custom options are also available)

- ▶ Exterior in Midnight, Bronze or Tungsten color
- ▶ Interior in Midnight or Bronze color (only on units with Midnight or Bronze exterior)
- ▶ Allure dual-point handle set in Clay
- ▶ Multi-point locking handle sets with arch and bell escutcheons in various finishes
- ▶ Signature handle set in a variety of finishes
- ▶ Contemporary Square handle set in a variety of finishes
- ▶ Secondary security lock (foot bolt)
- ▶ Insect screen with BetterVue® fiberglass mesh and Water Shed Technology™ in extruded aluminum frame
- ▶ Insect screen with UltraVue® fiberglass mesh or aluminum mesh
- ▶ Centor® retractable interior screens and shades in select sizes, configurations and colors
- ▶ Galvanized steel installation clips
- ▶ Three-point lock mechanism
- ▶ AutoSlide™ automation options with four modes: Automatic, Hold Open, Lock, Pet
- ▶ Impact performance

OPERATIONAL OPTIONS

3-Wide Unit

- ▶ Operation = Active-Fixed-Fixed (AFF) or Fixed/Fixed/Active (FFA)

4-Wide Unit

- ▶ Operation = Fixed-Active-Active-Fixed (FAAF)

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

NOTE: All measurements are nominal.

Centor® is a registered trademark of Centor Design Pty Ltd.

BetterVue® and Water Shed Technology™ are registered trademarks of PHIFER INCORPORATED.

AutoSlide™ is a registered trademark of AutoSlide LLC.

Limitations may apply. Please consult your local Kolbe dealer for more details.

COMPLEMENTARY MULTI-SLIDE DOORS

3-PANEL | 6-PANEL

Section VII. Item #1.



STANDARD FEATURES

- ▶ Cloud or Sahara interior and exterior color
- ▶ 3- or 6-panel stacking configurations
- ▶ Energy efficient, tempered Solar Low-E glass
- ▶ Frame shipped knocked down, prepped for assembly
- ▶ Contemporary Square handle set with dual-point lock in White
- ▶ Bronze anodized aluminum-capped, self-draining sill

OPTIONS *(custom options are also available)*

- ▶ Exterior in Midnight, Bronze or Tungsten color
- ▶ Interior in Midnight or Bronze color
- ▶ Galvanized steel installation clips
- ▶ Retractable insect screen in White or Black
- ▶ Centor® retractable interior screens and shades in select sizes, configurations and colors
- ▶ Contemporary Square handle set with dual-point lock in additional finishes
- ▶ AutoSlide™ automation options with four modes: Automatic, Hold Open, Lock, Pet
- ▶ HVHZ impact performance (3-panel only)

OPERATIONAL OPTIONS

3-Wide Unit

- ▶ Active-Active-Fixed (AAF)
Fixed-Active-Active (FAA)

6-Wide Unit

- ▶ Fixed-Active-Active-Active-Active-Fixed (FAAAAF)

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

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ADDITIONAL DOORS

SLIDING | MULTI-SLIDE | SWINGING

See how Kolbe's versatile product lines can help complete your Forgent® Series project.



© Keen Eye Marketing

Ultra Series

Designed for versatility, durability & performance, these wood-and-aluminum-clad doors are ideal for traditional to modern architectural styles. The ability to match design details and colors with a palette of long-lasting, vibrant hues – plus custom blends – allows them to coordinate with any aesthetic.

SLIDING DOORS | MULTI-SLIDE DOORS | SWINGING DOORS

[Learn More ▶](#)



© Zack Benson

VistaLuxe® Collection

Complement your Forgent Series project with clean lines and large expanses of glass. Choose from the VistaLuxe® WD LINE's warm wood interiors with extruded aluminum exteriors, or thermally broken, all-aluminum VistaLuxe® AL LINE doors for contemporary style and functionality.



© Jeeheon Cho

VistaLuxe® WD LINE

SLIDING DOORS | MULTI-SLIDE DOORS | SWINGING DOORS

[Learn More ▶](#)

VistaLuxe® AL LINE

MULTI-SLIDE DOORS (SP68) | SWINGING DOORS (ML8)

[Learn More ▶](#)



Heritage Series

Perfect for restoration projects, these all-wood doors are designed for architectural and historical authenticity. Complement Forgent Series windows with stained wood interiors and high-performance K-Kron II coated exteriors.

SLIDING DOORS | SWINGING DOORS

[Learn More ▶](#)

Kolbe prides itself on offering the tools and resources architects, builders and other industry professionals need to complete their projects. From product specifications and 3D models to continuing education courses and webinars, Kolbe supports all of your project needs.



Project credits: Tommy Everson Architect | Jason Briles | Bennett Bossert
Near & Streefer Custom Homes | Peter VonDeLinde Photography

AIA/CES COURSES

As a Registered AIA Continuing Education Services (CES) provider, Kolbe provides AIA Learning Units (LU) and/or Health, Safety & Welfare (HSW) credits as required per state and/or professional memberships to meet yearly requirements.

ARCHITECT LIBRARY

Kolbe's Architect Library is the main resource for specifying VistaLuxe WD LINE windows and doors. Search detailed product information and technical data, including:

- Cross section drawings
- Elevation charts
- 3D Revit® models
- CSI specifications
- Installation instructions

ADDITIONAL RESOURCES INCLUDE:

- Door configurations
- Clear openings
- Care & maintenance guide
- Acoustic data
- Energy performance
- Performance class & grade
- Product brochures
- Color & design samples
- Warranties

Explore **Professional Tools** ▶

VIRTUAL SHOWROOMS

Experience Kolbe's full capabilities through three interactive showrooms filled with product displays and custom solutions.

kolbewindows.com/virtual-showroom



Navigate the **Virtual Showrooms** ▶

INSPIRATION GALLERY

Browse through photos, videos, project profiles and custom solutions.

kolbewindows.com/gallery



Browse the **Inspiration Gallery** ▶



KOLBE
WINDOWS & DOORS

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**CALHOUN STREET PROMENADE OWNERS' ASSOCIATION
ARCHITECTURAL COMMITTEE**

204 Bluffton Road
Bluffton, SC 29910

Date: March 25, 2026

RE: Architectural Approval – New Construction

Dear Homeowner,

The Calhoun Street Promenade Owners Association Architectural Committee has reviewed your submitted plans and is pleased to inform you that your application for a new build has been **approved** as of November 14, 2025.

This approval is based on the plans and specifications provided and is granted with the understanding that all construction will be completed in accordance with the Association's governing documents, architectural guidelines, and all applicable local building codes and regulations.

Any changes or deviations from the approved plans must be resubmitted to the Architectural Committee for review and approval prior to implementation. We wish you success with your project and appreciate your cooperation in maintaining the community's quality and integrity.

Sincerely,
Architectural Committee
Calhoun Street Promenade Owners Association



MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from February 17, 2026, to April 16, 2026

DATE: May 1, 2026

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
5718 Guildford Place	Residential Fence	Caroline Luke	Approved
82 Boundary St	Repairs to building	Glen Umberger	Approved
132 Bridge St	Residential water heater	Caroline Luke	Approved
45 Calhoun St	Sign: Howard Hannah Allen Real Estate	Caroline Luke	Approved
101 Calhoun St	Temporary Ramp	Glen Umberger	Approved
89 Bridge St	Sign: The Bluffton Bookshop & The Frozen Fiddler	Caroline Luke	Approved
34 Bridge St	Residential Fence	Glen Umberger	Approved
30 Promenade St Unit A	Sign: Ofilia	Caroline Luke	Approved
6 Promenade St Unit 1028	Deck Extension	Caroline Luke	Approved