



## Historic Preservation Commission Meeting

Wednesday, February 05, 2025 at 6:00 PM

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 113 or on Spectrum Channel 1304.

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. ADOPTION OF MINUTES

- [1.](#) January 8, 2025 Minutes

#### V. ADOPTION OF MINUTES

1. Election of Historic Preservation Commission Chair
2. Election of Historic Preservation Commission Vice Chair
3. Election of Two Historic Preservation Review Committee members.

#### VI. PUBLIC COMMENT

#### VII. OLD BUSINESS

- [1.](#) **Certificate of Appropriateness:** A request by Clear Cut Construction, on behalf of the owner, William Glover, for the review of a Certificate of Appropriateness-HD to allow the construction of a new 2-story Single Family Residential Structure of approximately 2,325 SF and Carriage House structure of approximately 1,174 SF, located at 34 Tabby Shell Road, Lot 18 in the Tabby Roads Development, in the Old Town Bluffton Historic District, within the Neighborhood General-HD zoning district. (COFA-03-24-019047) (Staff – Charlotte Moore)

#### VIII. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Christopher Epps (Incircle Architecture), on behalf of owners, Jay and Lori Sofianek, for review of a Certificate of Appropriateness - HD to allow the construction of a 2-story Carriage House of approximately 1199 SF located at 17 Lawrence Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-11-24-019458)(Staff - Charlotte Moore)
2. **Public Project:** A request by Meadors, Inc. on behalf of the Town of Bluffton for a recommendation to the UDO Administrator to allow the reconstruction of the Sarah Riley Hooks Cottage, a Contributing Resource, located at 76 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD (DP-10-24-019422) (Staff - Glen Umberger)

## IX. DISCUSSION

1. Historic District Monthly Update. (Staff)

## X. ADJOURNMENT

**NEXT MEETING DATE: Wednesday, March 5, 2025**

*"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

*<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>*

*Public comment is limited to 3 minutes per speaker.*



# Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20  
Bridge Street, Bluffton, SC

January 08, 2025

## I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

## II. ROLL CALL

### PRESENT

Chairman Evan Goodwin

Vice Chairman Joe DePauw

Commissioner Carletha Frazier

Commissioner Jim Hess

Commissioner Tim Probst

### ABSENT

Commissioner Debbie Wunder

## III. ADOPTION OF MINUTES

### 1. December 4, 2024 Minutes

Commissioner Frazier made a motion to adopt the minutes as written.

Seconded by Commissioner Hess.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst

All were in favor and the motion passed.

## IV. PUBLIC COMMENT

## V. OLD BUSINESS

- Certificate of Appropriateness:** A request by Clear Cut Construction, on behalf of the owner, William Glover, for approval of a Certificate of Appropriateness-HD to allow the construction of a new two-story Single-Family Residential structure of approximately 2,874 SF and an attached Carriage House of approximately 1,100 SF located at 34 Tabby Shell Road, Lot 18 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-Historic District. (COFA-03-24-019047) (Staff - Charlotte Moore)

Staff presented. The applicant representative was in attendance. There was discussion about column and porch detail, request for clarification of material being used and review of previous meeting comments.

Vice Chairman DePauw made a motion to table the application until the applicant has been able to meet with the Historic Preservation Review Committee (HPRC) to go over plan details.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst

All were in favor and the application was tabled.

## VI. NEW BUSINESS

- 1. Certificate of Appropriateness:** A request by Ansley H. Manuel, architect, on behalf of the owner, Beth McHugh, for review of a Certificate of Appropriateness-HD to allow the construction of a rear addition of approximately 591 SF to an existing 2-story residence of 1,524 SF, a side deck addition, and a new metal front porch roof in Old Town Bluffton Historic District and zoned Neighborhood General-Historic District. (COFA-08-24-019280) (Staff - Charlotte Moore)

Staff presented. The applicant was in attendance. There was discussion about the roof type, window operation on the first floor, and shutter placement.

Commissioner Hess made a motion to approve with the following conditions:

1. The stucco application for the foundation must be a sand-finished or steel-trowel application (UDO Sec. 5.15.6.G.1.a.).
2. The standing seam metal roof must be galvanized, copper, aluminum or zinc-alum and the metal type (UDO 5.15.6.J.2.).

And that the following are appropriate for the addition:

1. A standing seam metal roof; and
2. The absence of shutters.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst

All were in favor and the motion passed.

- 2. Certificate of Appropriateness:** A request by Sarah Kepple of Pearce Scott Architects, on behalf of owner, Prestige Worldwide Properties, LLC, for review of a Certificate of Appropriateness - HD to construct a new 2.5-story commercial office structure of approximately 4,220 SF and commercial carriage house of approximately 1,100 SF at 60 Bruin Road, Lot 23 in the Tabby Roads Development, in the Old Town Bluffton Historic District. The property is zoned Neighborhood General-Historic District. (COFA-08-24-019268) (Staff - Charlotte Moore)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about parking requirements, storage space in the attic, landscape plan, tree coverage, and the front door wood type and size.

Commissioner Hess made a motion to approve the application with the following conditions:

1. The service yard must be large enough to include HVAC units, utilities and receptacles for all businesses. Utility meters must be screened from public view. (UDO Sec. 5.15.5.F.10.).

2. Confirm whether the attic/storage space in the main structure is a true half-story applying the calculation in UDO Sec. 5.15.5.F.1.f. and, provide Sheet A103 missing from the plan set.
3. The exposed concrete foundation shall be tabby stucco (mixed shell size only) or stucco over block or concrete (sand-finished or steel trowel only). (UDO Sec. 5.15.6.G.1.a.).
4. Identify the permitted material to be used for the stair and ramp railings (wood, painted or natural cast or wrought iron). (UDO Sec. 5.15.6.H.2.d.).
5. Provide a door schedule to show material compliance with UDO Sec. 5.15.6.I.2.b. (*Note: Schedule provided but material not called out; identify materials to be used for all exterior doors.*).
6. Identify the permitted material to be used for gutters and downspouts. (UDO Secs. 5.15.6.J.1.b. and 2.c.). (*Note: Provide the type of metal.*)
7. Provide details for the “garden” walls proposed adjacent to the Pearl Street and Bruin Road rights-of-way to show compliance with UDO Sec. 5.15.6.K. (*Note: This was provided with the Landscape Plan.*)
8. Per the Applications Manual, a site plan (survey) indicating location, species, and caliper of existing trees to be removed must be provided. (Applications Manual and UDO Section 3.22.2.A.). Replacement trees will be required as specified in UDO Sec. 5.3.7.F.4. Additionally, a tree canopy of 75% lot coverage, not including roof tops must be provided and canopy coverage calculations shown per UDO Sec. 5.3.7.G. At least one large canopy street tree, and a foundation planting area at least eight feet wide shall be maintained around all structures (UDO Sec. 5.3.7.A.) The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E. A Tree Removal Permit will be required.
9. The setback between any public right-of-way and an off-street parking area shall contain a combination of landscaping (a variety of trees and shrubs capable of providing year-round screening) and architectural features such as, but not limited to, garden walls, fences and columns designed in accordance with the Old Town Bluffton Historic District Architectural Standards. The visual buffer shall be a minimum of 42 inches in height and should have a minimum 50% opacity. Shrubs shall be projected to reach their required height and opacity within one year of installation. Further, “the buffer between any public right-of-way and an off-street parking area shall contain pedestrian amenities such as, but not limited to, benches, fountains, or other features to create visual interest and continuity in the streetscape.” The Landscape Plan must be revised to show compliance with UDO Sec. 5.15.7.D.
10. Provide proof of approval of any landscaping, hardscaping or other potential encroachments into the State-owned right-of-way (SC 46/Bruin Road) and the utility easement.
11. Show that the on-street parking space to remain on Pearl Street will be at least 18 feet in length to comply with the UDO. If the length is not available, the Tabby Road HARB must be consulted to determine an alternate treatment of the space.
12. If exterior lighting is to be provided, a light plan shall be provided to show compliance with UDO Sec. 5.12.
13. Per UDO Sec. 3.19, a Site Feature-HD permit is required for applicable future signage.
14. For the Carriage House, install a second-story window above the front entry door.

15. For the front porch of the main structure, extend the slab one-to-two inches forward of the columns.
16. Match the roof pitches of the main structure and Carriage House by lowering the pitch of the Carriage House roof.

And that the following are appropriate:

1. The use of smooth-face Hardie panel for soffits.
2. The location of the transom window over the front door (Pearl Street elevation) in relation to the adjacent windows.
3. The use of awning windows on the rear ground-floor elevation of the main structure adjacent to the service area.
4. The use of Boral material at the base of both the main structure and Carriage House.

Seconded by Commissioner Probst.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst

All were in favor and the motion passed.

## VII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Chairman Goodwin returned to the dais. Staff presented. The Commission did not have any questions about the report submitted.

## VIII. ADJOURNMENT

Vice Chairman DePauw made a motion to adjourn.

Seconded by Commissioner Probst.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst

All were in favor and the motion passed. The meeting was adjourned at 7:21pm.



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	February 5, 2025
<b>PROJECT:</b>	34 Tabby Shell Road, Lot 18 - New Construction: Single-Family and Carriage House
<b>APPLICANT:</b>	Sea Island Construction Group
<b>PROPERTY OWNER:</b>	William Glover
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant, Sea Island Construction Group, on behalf of the owner, William Glover, requests that the Historic Preservation Commission (HPC) approve the following application:

**COFA-03-24-019047.** A Certificate of Appropriateness to allow the construction of a new two-story Single-Family Residential structure of approximately 2,874 SF and an attached Carriage House of approximately 1,100 SF located at 34 Tabby Shell Road, Lot 18 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

*Note: This application was initially heard at the November 6, 2024 HPC meeting but continued to allow the Applicant an opportunity to make revisions discussed at the meeting. Additional revisions were required at the January 8, 2025 HPC meeting, to be reviewed with the Historic Preservation Review Committee (HPRC) prior to returning to the HPC. The Applicant met with the HPRC on January 23, 2025 and provided the revised drawings based on discussion from that meeting (Attachment 3).*

**INTRODUCTION:** The Applicant has proposed the construction of a two-story single-family structure with an attached two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,324 SF has the characteristics of a Center Hall House which must comply with the requirements for the Building Type within the Neighborhood General-HD zoning district.

The primary structure features a double front porch with a hipped roof. The east side elevation features a partial enclosed, screened porch. The attached Carriage House features a second story rear-facing hipped roof, and a two-bay garage. The structure is proposed to have horizontal Hardie lap siding on the first floor and Hardie shake siding on the second floor.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 15, 2024 meeting and comments were provided to the Applicant (See Attachment 7). The Tabby Roads Habitat and Architectural Review Board provided its last review comments in July, 2024 (Attachment 8).

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date

**1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.**

- a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House add to the district and helps provide completeness to the neighborhood and overall district.

**2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Findings.* Town Staff finds that if the conditions noted below are met, the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5:
  - 1) **Windows.** Provide a window schedule to show compliance with permitted materials (wood, aluminum, copper, steel, vinyl, clad wood, fiberglass) (UDO Sec. 5.15.6.l.2.a.).

- 2) **Doors.** Provide a door schedule, including garage doors, to show compliance with permitted materials (wood, metal and metal-clad). Identify the type of composite material identified for the garage doors on the project sheet. The HPC may approve the use of wood composite if the doors are consistent with the character of the Historic District and the materials to be used are of equal or better quality than traditional building materials. (UDO Sec. 5.15.6.I.2.b.)
  - 3) **Railings and Balusters.** Powder-coated steel is proposed for the second- floor porch railings. UDO compliant materials include wood, painted or natural wrought or cast iron. The Historic Preservation Commission must determine that steel is an acceptable alternate material. (UDO Sec. 5.15.5.H.3.)
  - 4) **Roofs and Gutters.**
    - a. A standing seam metal roof is proposed but the finish has not been identified. Acceptable materials include galvanized, copper, aluminum and zinc-alum and must be identified with the final submission. (UDO Sec. 5.15.5.J.2.a.)
    - b. Metal half-round gutters will be provided but the type of metal material type is not shown. Provide information to show compliance with one of the following permitted material types: copper, galvanized steel, aluminum, 14-18 gauge. Downspouts must match gutters. (UDO Sec. 5.15.5.J.2.c.)
  - 5) **Service Yard.** With the final submission, identify the location of electric panels, which must be screened from public view. If panels are located within the service yard, the gate must be removed as free access is required by the utility company.
  - 6) **Landscape Plan.**
    - a. A tree canopy with a minimum of 75% lot coverage, not including roof tops shall be provided where land disturbance is proposed for sites less than one (1) acre. The Landscape Plan canopy coverage calculations do not accurately reflect the proposed plantings for the calculations. Provide updated canopy coverage calculations to ensure the 75% lot coverage is met. (UDO Sec. 5.3.3.G.)
    - b. Per the Applications Manual, a Tree Removal Permit will be required.
3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass,**

**scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

*Finding.* If the conditions noted in #2 of this report are met, a compatible visual relationship will be demonstrated with surrounding properties, streetscapes and open spaces.

#### **4. Compliance with applicable requirements in the Applications Manual.**

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Provide a window schedule to show compliance with permitted materials (wood, aluminum, copper, steel, vinyl, clad wood, fiberglass) (UDO Sec. 5.15.6.I.2.a.).
2. Provide a door schedule, including garage doors, to show compliance with permitted materials (wood, metal and metal-clad)(UDO Sec. 5.15.6.I.2.b.).
3. Identify the type of standing seam metal to be used (UDO Sec. 5.15.5.J.2.a.).
4. Identify the type of material to be used for the gutters and show consistent materials for the downspouts. (UDO Sec. 5.15.5.J.2.c.)
5. Show location of electric panels and ensure they are screened from public view (UDO Sec. 5.15.5.F.10).
6. Show that 75% tree canopy coverage will be provided (UDO Sec. 5.3.3.G.).
7. Provide a Tree Removal Permit per the Applications Manual.

Further, Town Staff requests a determination by the Historic Preservation Commission regarding the following:

1. The use of powder-coated steel as an alternate material for the second-floor porch railing (top rail and balusters) (UDO Sec. 5.15.6.H.3.).



2. The use of wood composite as an alternate material for the garage doors (UDO Sec. 5.15.6.I.2.b.).

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

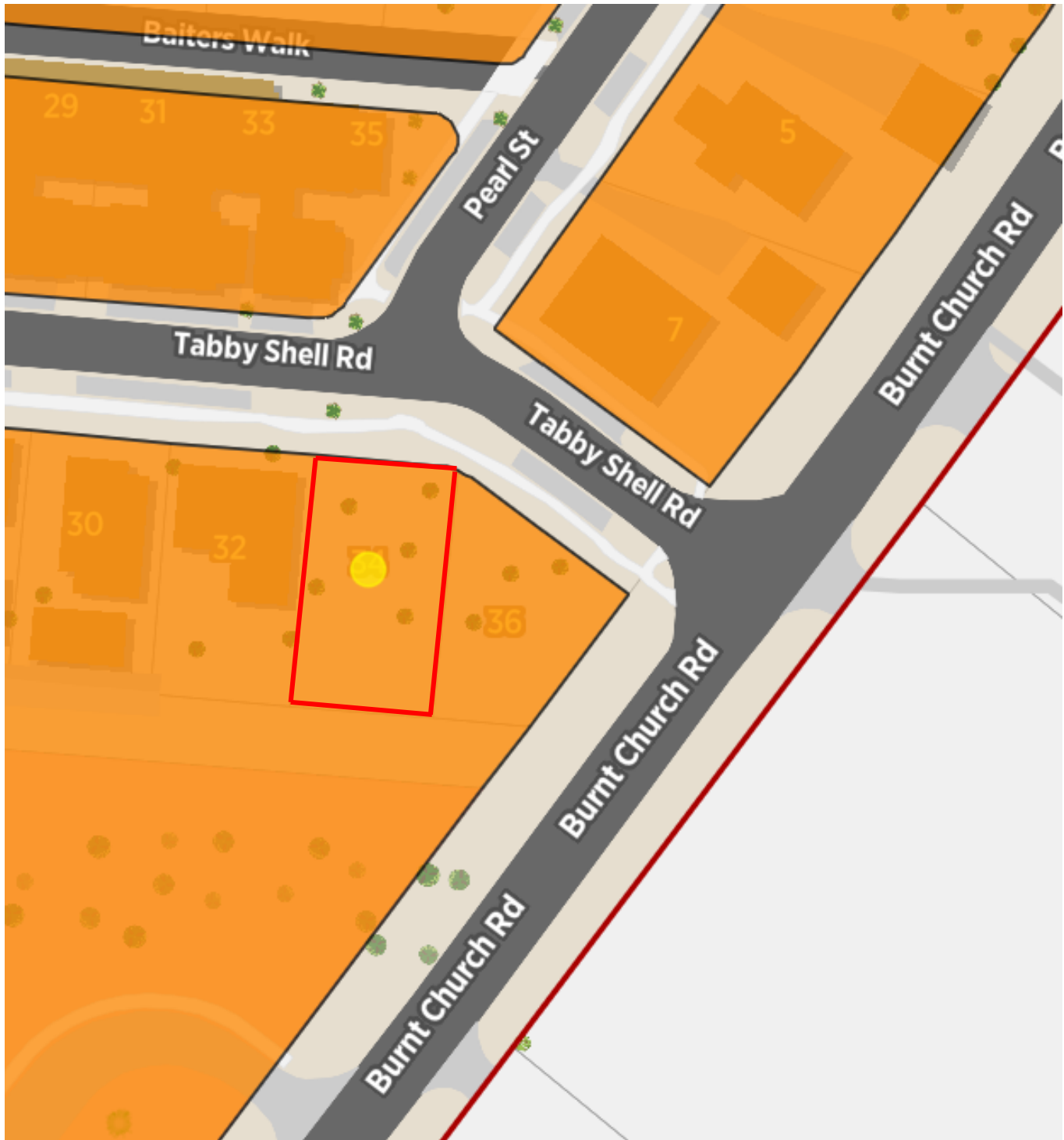
**ATTACHMENTS:**

1. Location & Zoning Map
2. Cover Letter & Application
3. Revised Drawings – 01.28.2025
4. Tree Removal Narrative
5. Landscape Plan
6. HPRC Comments, April 2024

ATTACHMENT 1  
**LOCATION & ZONING MAP**

Section VII. Item #1.

**34 Tabby Shell Street**  
Neighborhood General-HD District



**34 Tabby Shell Road**

Project Submission

Bluffton Historic Preservation Commission  
20 Bridge Street  
Bluffton, South Carolina  
29910

In the attached drawing updates for 34 Tabby Shell Road, you will see all the wall details and Exterior Elevations have been reworked and updated. The Updated Details call out all the Exterior Materials. Along with a couple of added Wall Details to help clarify some outstanding questions.

The remaining drawings within the package are the same as previously submitted.

As you review the attached project, please let us know if you have any questions or if there is anything that we can do to help.

Thanks



J.S. LEONARD - SAWYER DESIGN

Jonathan Leonard  
Sawyer Design  
912-704-1955



**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custom

Section VII. Item #1.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Sea Island Construction Group		Name: William Glover	
Phone: (854) 345-0925		Phone: (843) 304-2455	
Mailing Address: 23 Whispering Oaks Circle, Okatie, SC 29909		Mailing Address: 40 Sugaree Dr, Bluffton, SC 29910	
E-mail: sgconstructionhhi@gmail.com		E-mail: billyglover77@gmail.com	
Town Business License # (if applicable): LIC-24-08-4372			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: Glover Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 34 Tabby Shell Rd, Bluffton, SC		Amendment: <input type="checkbox"/>	
Zoning District: General HD		Application for:	
Acreage: .11		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1198 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage approx. 2,874.52 cooled sf.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Wm R. Glover</i>		Date: 09/13/24	
Applicant Signature: <i>SG</i>		Date: 09/13/24	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2  
**TOWN OF BLUFFTON**

Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>			<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>	<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>
<b>2. SITE DATA</b>				
Identification of Proposed Building Type (as defined in Article 5): Center Hall House				
Building Setbacks	Front: 5'	Rear: 10.5'	Rt. Side: 7.5'	Lt. Side: 5'
<b>3. BUILDING DATA</b>				
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage	
Main Structure	Main House	0	2324.52	
Ancillary	Bonus Room/Garage	0	1100 (550 cooled)	
Ancillary				
<b>4. SITE COVERAGE</b>				
<b>Impervious Coverage</b>		<b>Coverage (SF)</b>		
Building Footprint(s)		1770.41		
Impervious Drive, Walks & Paths		332		
Open/Covered Patios		632.93		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>		2735.34		
<b>B. TOTAL SF OF LOT</b>		4937		
<b>% COVERAGE OF LOT (A/B= %)</b>		55.4%		
<b>5. BUILDING MATERIALS</b>				
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation	
Foundation	concrete turndown (mixture)	Columns	Primed PT Pine / Hardie	
Walls	2x4/2x6 spruce	Windows	Marvin Vinyl	
Roof	standing seam metal	Doors	Wood	
Chimney	mixed tabby stucco	Shutters	N/A	
Trim	Hardie Plank	Skirting/Underpinning	Hardie Plank	
Water table	PT Pine	Cornice, Soffit, Frieze	Hardie Plank	
Corner board	Hardie Plank	Gutters	Metal (half round)	
Railings	Powder Coated Metal	Garage Doors	Painted Composite	
Balusters	Powder Coated Metal	Green/Recycled Materials	N/A	
Handrails	Powder Coated Metal			



# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): Center Hall House					
Building Setbacks	Front: 5'	Rear: 10.5'	Rt. Side: 7.5'	Lt. Side: 5'	
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>		
Main Structure	Main House	0	2324.52		
Ancillary	Bonus Room/Garage	0	1100 (550 cooled)		
Ancillary					
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>		<b>Coverage (SF)</b>			
Building Footprint(s)		1770.41			
Impervious Drive, Walks & Paths		332			
Open/Covered Patios		632.93			
<b>A. TOTAL IMPERVIOUS COVERAGE</b>		2735.34			
<b>B. TOTAL SF OF LOT</b>		4937			
<b>% COVERAGE OF LOT (A/B= %)</b>		55.4%			
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	concrete turndown (mixture)	Columns	Primed PT Pine / Hardie		
Walls	2x4/2x6 spruce	Windows	Marvin Vinyl		
Roof	standing seam metal	Doors	Wood		
Chimney	mixed tabby stucco	Shutters	N/A		
Trim	Hardie Plank	Skirting/Underpinning	Hardie Plank		
Water table	PT Pine	Cornice, Soffit, Frieze	Hardie Plank		
Corner board	Hardie Plank	Gutters	Metal (half round)		
Railings	Powder Coated Metal	Garage Doors	Painted Composite		
Balusters	Powder Coated Metal	Green/Recycled Materials	N/A		
Handrails	Powder Coated Metal				



# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



ATTACHMENT 2  
TOWN OF BLUFFTON

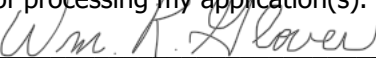
Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.


**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

  
Signature of Property Owner or Authorized Agent

09/13/24  
Date

William Glover  
Printed Name of Property Owner or Authorized Agent

  
Signature of Applicant

09/13/24  
Date

Sawyer Graham  
Printed Name of Applicant



GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURES WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURES PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX. AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY THROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAMS BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS LOSSES DAMAGES OR ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAMS TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

I.R.C. - 2018  
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,220.41 Square feet  
SECOND FLOOR LIVING AREA: 1,104.11 Square feet  
BONUS FLOOR LIVING AREA: 550.00 Square feet

FRONT COVERED PORCH LOWER AREA: 188.83 Square feet  
FRONT COVERED PORCH UPPER AREA: 188.83 Square feet  
BACK COVERED PORCH AREA: 308.33 Square feet

GARAGE AREA: 550.00 Square feet  
CART AREA: 135.77 Square feet

( FOR REFERENCE ONLY )  
AREAS SUBJECT TO CHANGE WITHOUT NOTICE  
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

TOTAL COOLED LIVING AREA: 2,874.52 Square feet

TOTAL FRAMED AREA: 4,246.28 Square feet

( FOR REFERENCE ONLY )  
AREAS SUBJECT TO CHANGE WITHOUT NOTICE  
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

SITE AREA:

SITE AREA (PER SURVEY) 0.11 ACRES  
4,937 square feet

BUILDING FOOT PRINT: 2,618.63 square feet

LOT COVERAGE: 53%

DRAWING SYMBOLS

DESIGNATES - C.M.U. WALL

DESIGNATES - BRICK

DESIGNATES - 2x4 @ 16" O.C. STUD WALL 2 x 4

DESIGNATES - 2x6 @ 16" O.C. STUD WALL 2 x 6

DESIGNATES - 2x8 @ 16" O.C. STUD WALL 2 x 8

DESIGNATES - UNFINISHED CONCRETE

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION

DOOR DESIGNATION

POINT ELEVATION

ELEVATION CHANGE

INTERIOR DETAIL VIEW DIRECTION

DETAIL DESIGNATION

ABBREVIATIONS

CONCRETE MASONRY UNIT C.M.U.  
¢ Cased Opening CO  
DOWN DN.  
UP UP  
DESIGN PRESSURE D.P.  
EQ.  
WELDED WIRE MESH W.W.M.  
ON CENTER O.C.

INSULATION INFORMATION

INSULATION  
WALLS R-13  
FLOORS R-19  
CEILINGS R-30

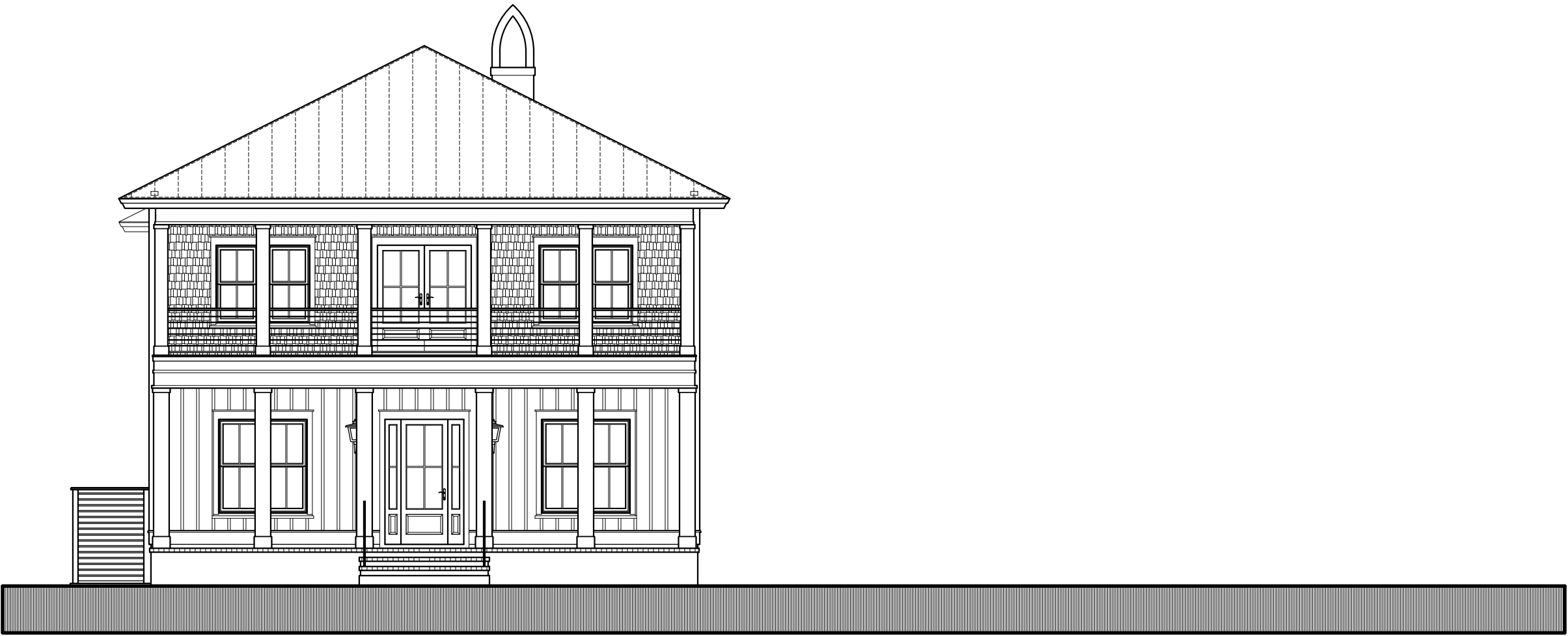
ALL INSULATION TO BE SPRAY IN TYPE AND WILL BE IN COMPLIANCE WITH I.R.C. SECTION 316.1 I.E.C.C. SECTION 402.1.1

FINISH SYMBOLS

CULTURED MARBLE CM  
GRANITE G  
MARBLE M  
LAMINATED TOP L  
TILE T  
GLASS GL  
SOLID SURFACE SS  
CAST IRON CI  
FIBERGLASS FG  
STONE S  
DRYWALL DW

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

( FOR REFERENCE ONLY )  
SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S  
C - 100 - 2

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
CITY OF BLUFFTON  
BEAUFORT COUNTY

DESIGN TEAM

OWNER

WILLIAM GLOVER  
34 TABBY SHELL

GENERAL CONTRACTOR

SEA ISLAND CONSTRUCTION GROUP  
P.O. Drawer 330  
139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910  
843-757-2650  
tsquare@hargray.com  
JOB NUMBER: 21-014T

SURVEY

T SQUARE SURVEYING  
P.O. Drawer 330  
139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910  
843-757-2650  
tsquare@hargray.com  
JOB NUMBER: 21-014T

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,  
22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA  
912.704-1955  
jleonard@sawyerdd.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.  
P.O. BOX 22324 - SAVANNAH - GEORGIA -31403  
912-232-7130  
smboyles@bellsouth.net

CIVIL ENGINEER

KEY ENGINEERING  
P.O. BOX 2569 - BLUFFTON - SOUTH CAROLINA -29910  
843-227-3031  
keyengineering@hargray.com

LANDSCAPE

ROSE LANDSCAPING  
25 PALMETTO BEACH DRIVE  
BLUFFTON - SOUTH CAROLINA 29910  
843-816-3518  
b.rose@roselandscape.com

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2018

DESIGN LOAD BASED ON WIND SPEED V33 = 140 MPH I.R.C. - 2018

EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY N/A Ft. NGVD29

MINIMUM F.F.F. PER SURVEY

DRAWING INDEX

- 1 C - 100 COVER
- 2 L - 100 SITE PLAN
- 3 A - 100 FIRST FLOOR PLAN
- 4 A - 101 SECOND FLOOR PLAN
- 5 A - 102 WINDOW AND DOOR NOTES
- 6 A - 200 EXTERIOR ELEVATIONS
- 7 A - 201 EXTERIOR ELEVATIONS
- 8 A - 300 BUILDING SECTIONS - ROOF PLAN
- 9 A - 400 WALL DETAILS
- 10 A - 401 WALL DETAILS
- 11 S - 100 FOUNDATION PLAN
- 12 S - 101 STRUCTURAL PLANS
- 13 E - 100 ELECTRICAL PLANS
- 14 E - 100 ELECTRICAL PLANS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

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FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2018

DESIGN LOAD BASED ON WIND SPEED V33 = 140 MPH I.R.C. - 2018

EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY N/A Ft. NGVD29

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

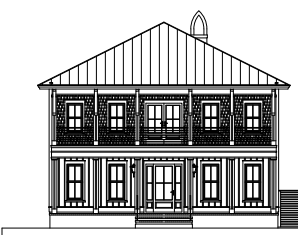


TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



COVER 24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C., AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C., WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C., AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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TABBY HOUSE  
SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
REV

22 - 018  
01.28.2025

01 - 14 SINGLE USE ONLY

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DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B" ICC 600-2018  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY  
ZONE C  
N/A Ft. NGVD29

GENERAL PROJECT NOTES

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STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B" ICC 600-2018  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY  
ZONE C  
N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

DRIVEWAY

DRIVEWAY AND SIDEWALK TO BE BROOM FINISHED CONCRETE WITH STANDARD EXPANSION JOINTS

REQUIRED FILL DIRT

THIS SITE WILL REQUIRE FILL DIRT UNDER MAIN STRUCTURE TO BRING EXISTING GRADE UP TO ALLOW FOR DRAINAGE

FINAL ELEVATIONS

REFER TO CERTIFIED DRAINAGE PLAN FOR ALL FINAL FLOOR AND GRADING ELEVATION VERIFY WITH MASTER DRAWING SET PRIOR TO CONSTRUCTION

SITE DRAINAGE

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

VERIFY TREE REMOVAL WITH DRAINAGE PLAN

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

SOIL BEARING

SOIL BEARING PRESSURE ASSUMED AT 2,500 P.S.F. OWNER OR CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE DESIGN TEAM AND STRUCTURAL ENGINEER HARMLESS

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED SOUTH CAROLINA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

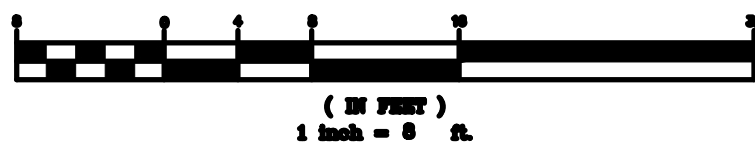
ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

FINISH ELEVATIONS

NOTE THAT FINISHED ELEVATIONS DO NOT STATE FINISHED HEIGHT OF CONCRETE UNDER BRICK FINISHES

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES PORTICOS PATIOS AND DRIVEWAYS

GRAPHIC SCALE



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	8.47'	25.00	8.43	N74°30'02"W

Notes:

1. According to FEMA Flood Insurance Rate Map # 4503C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F.T. NGVD88
  2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
  3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
  4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction
- Reference: 761623  
PLAT BOOK 112 AT PAGE 133

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

SEA ISLAND CONSTRUCTION GROUP

A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

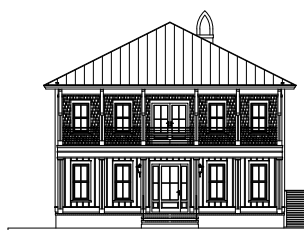
DIST 614, MAP 37, PARCEL 358

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: APRIL 10, 2022



SITE PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

REV

L - 100

02 - 14 SINGLE USE ONLY

Page 20



LEGEND

- OMS - CONCRETE MONUMENT SET
- OMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND

# - INDICATES STREET ADDRESS

TBM - TEMPORARY BENCH MARK

BSL - BUILDING SETBACK LINE

☎ - TELEPHONE PEDESTAL/COMMUNICATOR

☎ - SEWER LATERAL

☎ - SANITARY SEWER MANHOLE

☎ - ELECTRIC BOX

☎ - SPOT ELEVATION SHOTS

☎ - CONTOUR LINES

☎ - XFMR - TRANSFORMER

☎ - WATER LATERAL

☎ - WATER METER

☎ - IRRIGATION CONTROL VALVE

☎ - FIRE HYDRANT

☎ - GRATE INLET

☎ - POWER POLE

O.H.P.L. - OVER HEAD POWER LINE

☎ - GUY LINE

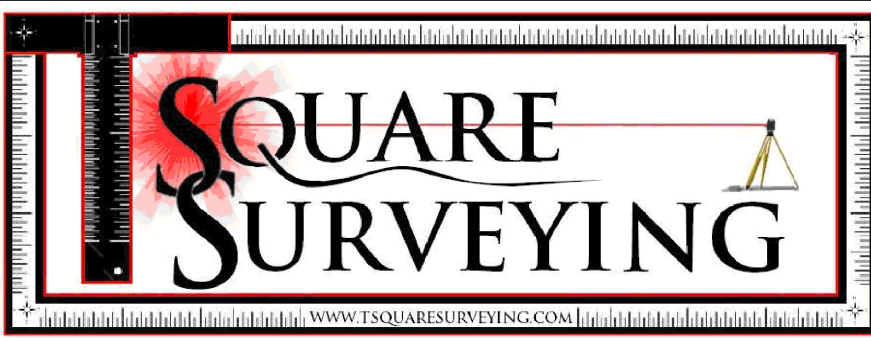
☎ - LIGHT POLE

☎ - STORM DRAIN MANHOLE

☎ - FIBEROPTICS MANHOLE

TREE LEGEND

- WHOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- FLM - PALMETTO
- CHY - CHERRY
- HLV - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY



T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330

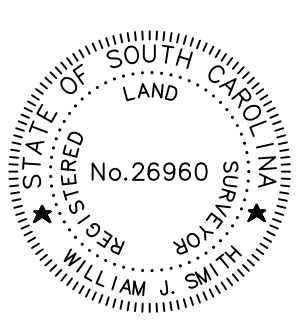
139 Burnett Church Road

Bluffton, S.C. 29910

tsquare@tsgsurvey.com

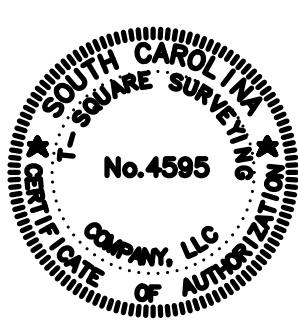
Phone 843-757-2650 Fax 843-757-5758

JOB No. 14-243TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

SEA ISLAND CONSTRUCTION GROUP

A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST 614, MAP 37, PARCEL 358



SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITES TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

REV



Section VII, Item #1.

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

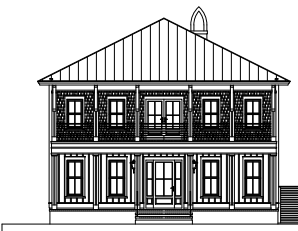
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FLOOR PLAN

24 x 36

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A - 100

03 - 14 SINGLE USE ONLY

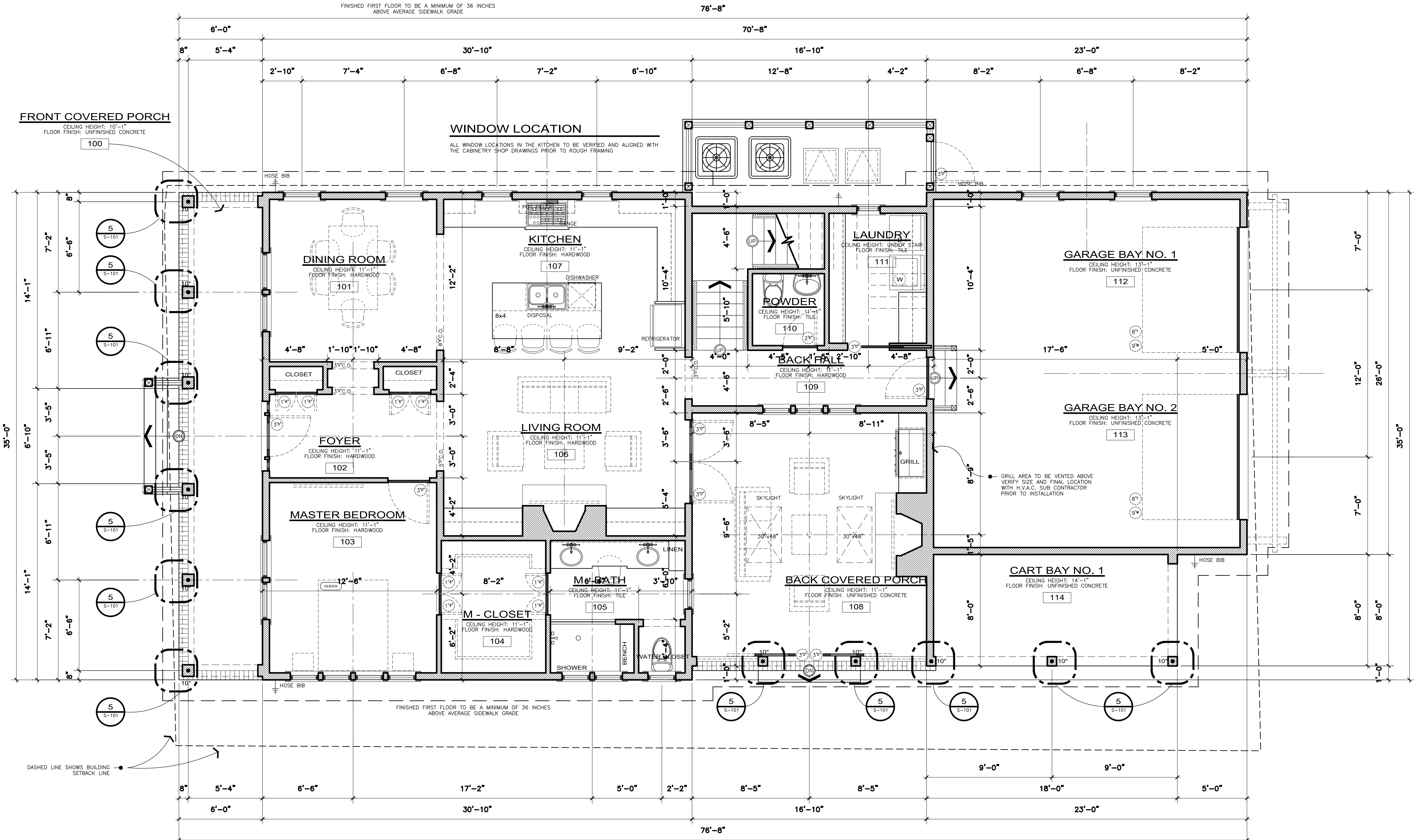
Page 21

FRONT COVERED PORCH

CEILING HEIGHT: 10'-1"  
FLOOR FINISH: UNFINISHED CONCRETE

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING



DASHED LINE SHOWS BUILDING SETBACK LINE

FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
A - 100 - 1

0 1' 4' 8' 16'

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

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THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

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STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

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FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITES TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"  
9'-1"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-0"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"  
6'-8"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"  
6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"  
6'-8"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

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SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

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IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

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SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN  
FOR ADDITIONAL  
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND  
SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

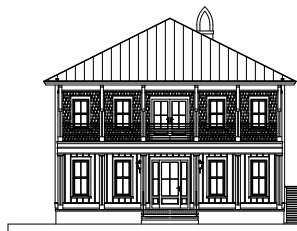
REV

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

A.R.B. REVIEW

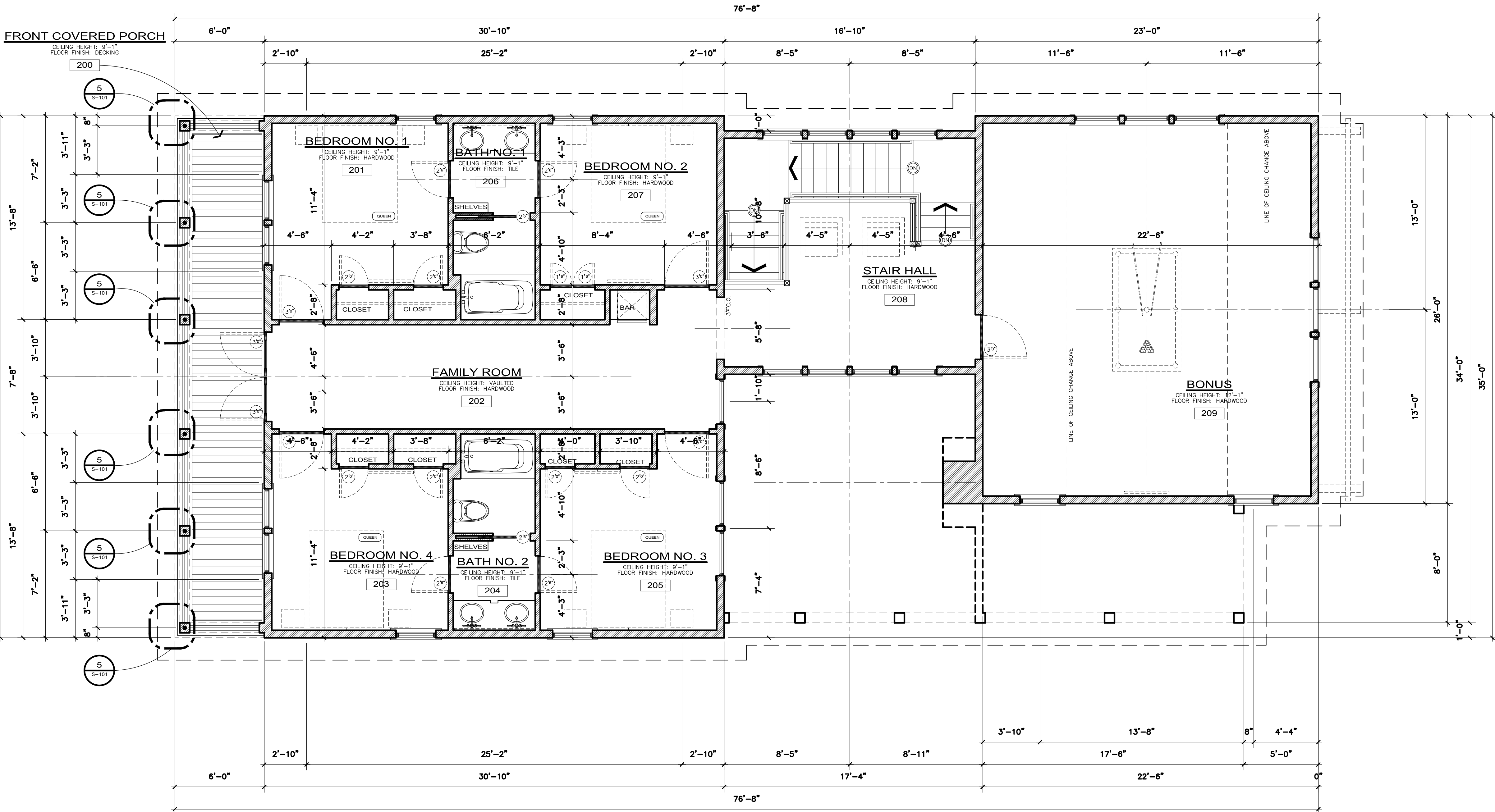
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A - 101

04 - 14 SINGLE USE ONLY

Page 22



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A - 101 - 1

0 1' 4' 8' 16'

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND  
SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

WINDOWS

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW  
HEAD HEIGHT  
ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED  
AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

EGRESS

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW  
LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW  
MANUFACTURE SELECTION

MANUFACTURE

ALL WINDOWS AND DOORS ARE SHOW TO TYPICAL SIZES THE GENERAL  
CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE  
SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR  
INSTALLATION

SHOP DRAWINGS

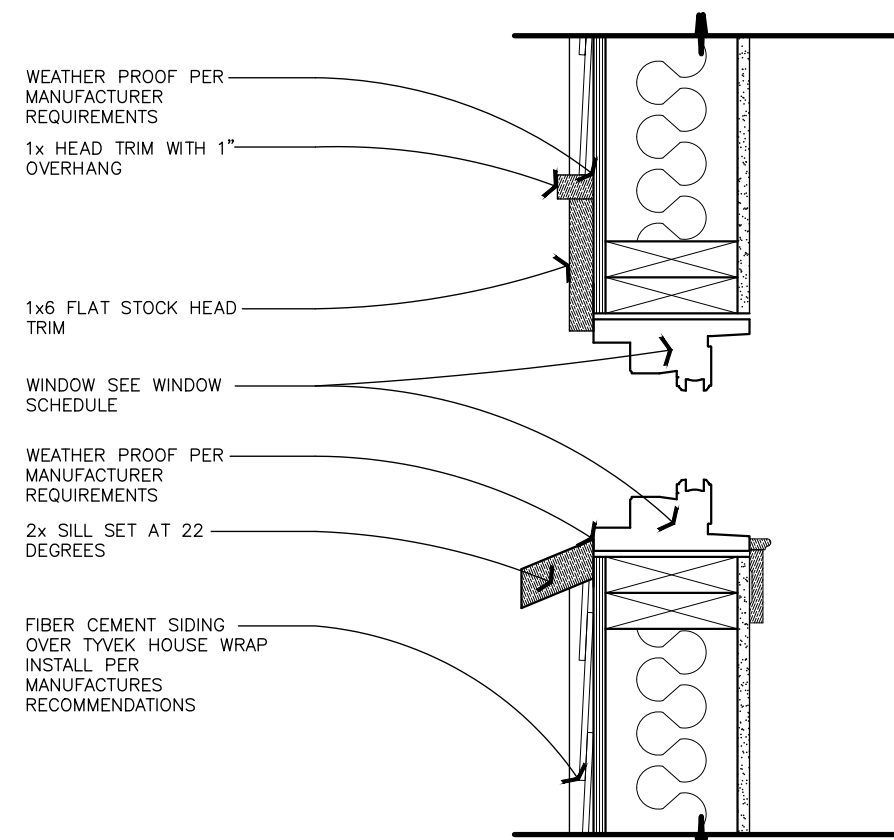
ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY  
THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

WINDOW DIMENSIONS

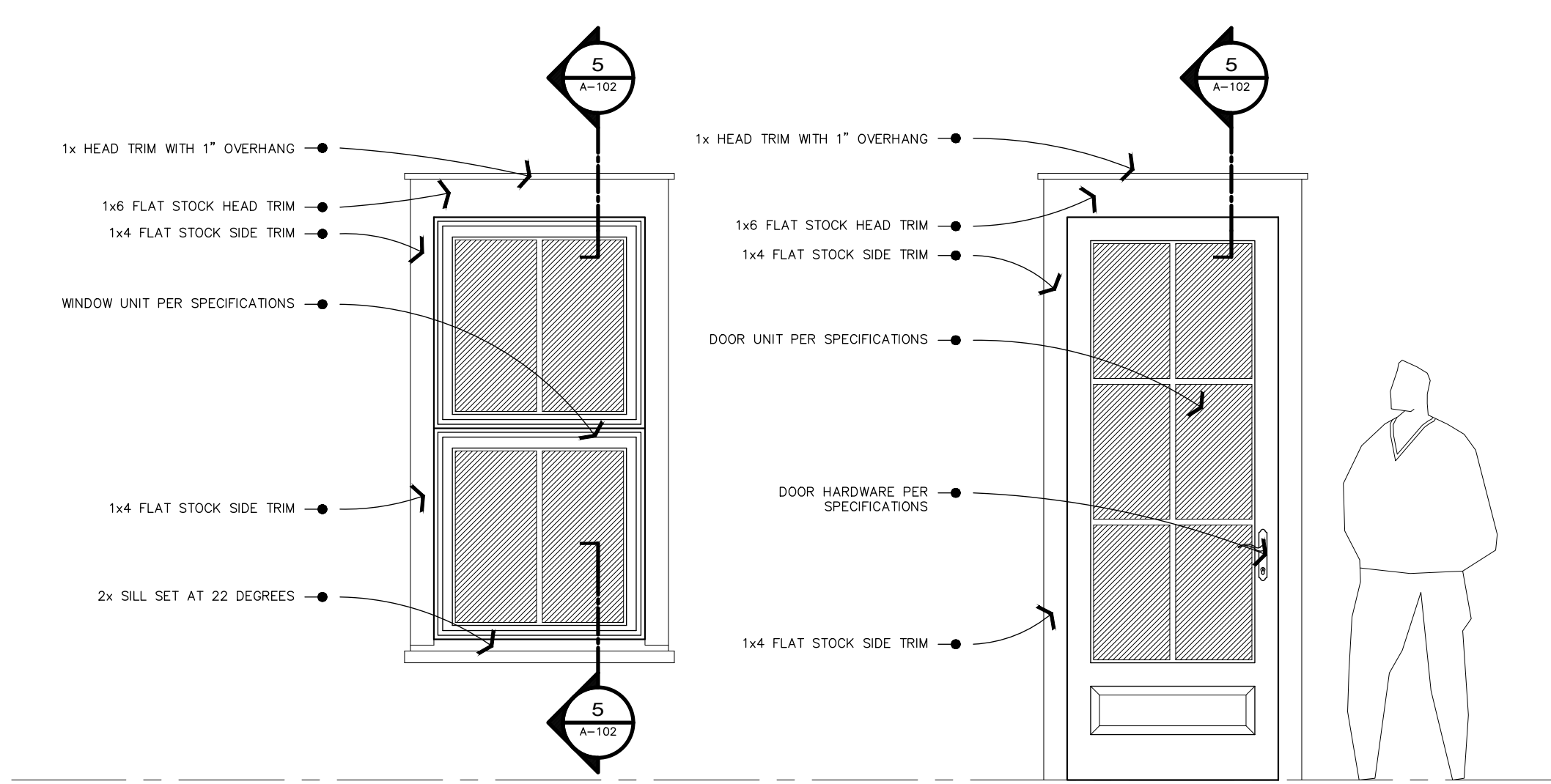
ALL WINDOW DIMENSIONS ARE FOR REFERENCE ONLY THE GENERAL  
CONTRACTOR IS TO VERIFY AND ALIGN ALL WINDOW WITH THE EXTERIOR  
ELEVATIONS AND BUILDING SECTIONS PRIOR TO ORDER AND INSTALLATION

NOTES

ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER  
SIZES  
ALL WINDOWS AND DOOR SIZES AND EGREES REQUIREMENTS TO BE VERIFIED  
BY THE BUILD TEAM  
FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE  
DESIGN TEAM PRIOR TO ORDER  
ALL NEW WINDOW AND DOOR UNITS TO MATCH THE EXISTING MAIN HOUSE  
DOOR AND WINDOW UNITS

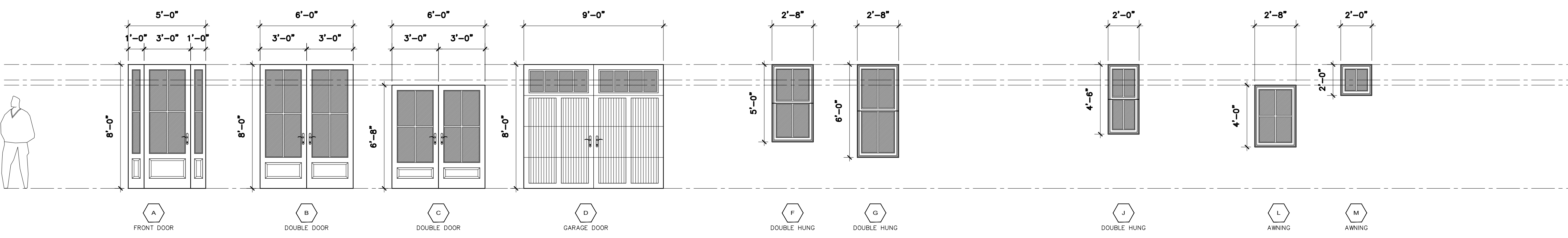


WALL DETAIL - WINDOW AND DOOR TRIM  
SCALE: 1/4" = 1'-0"  
A - 102 - 5



WINDOW AND DOOR TRIM  
SCALE: 1/4" = 1'-0"  
A - 102 - 4

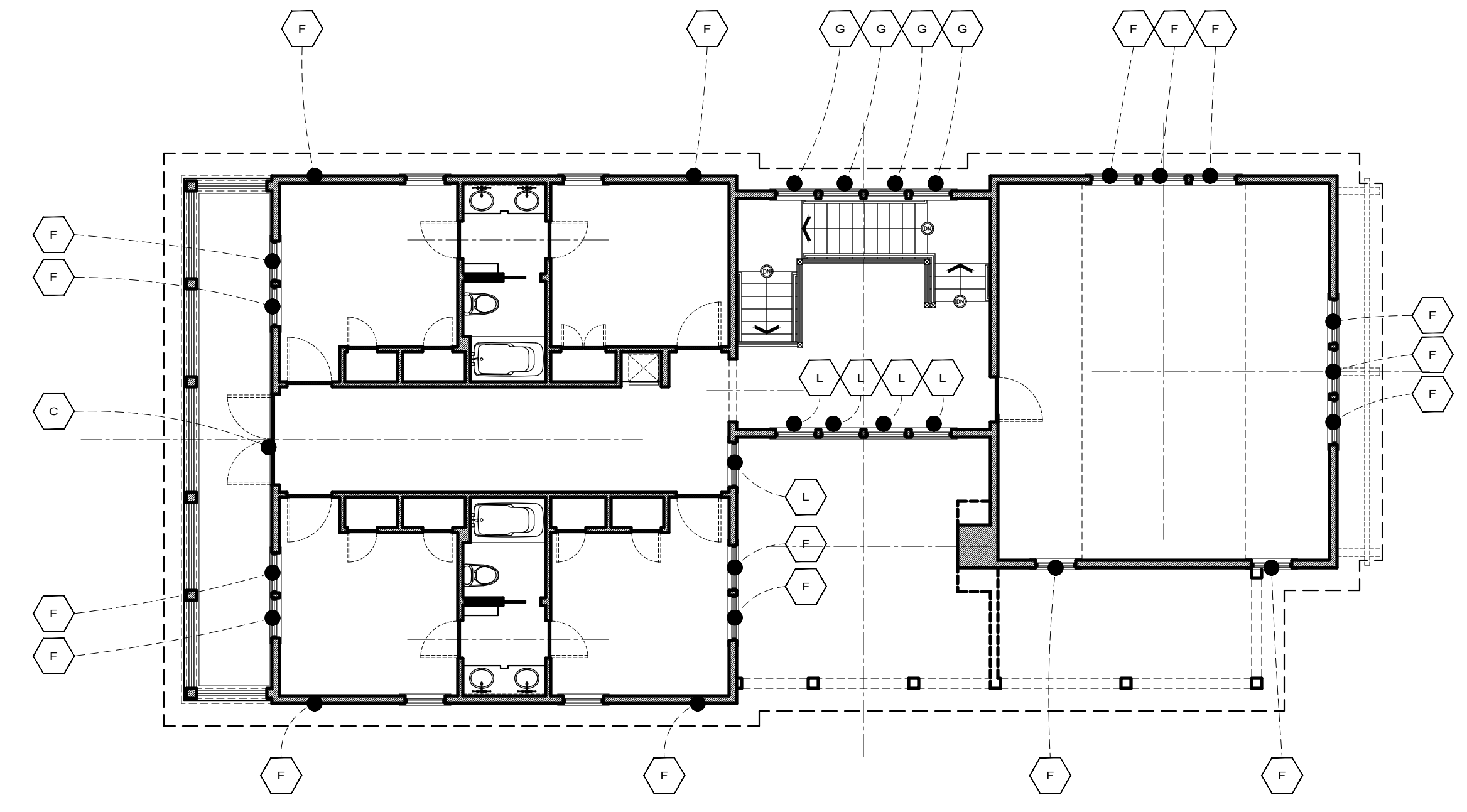
HEAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY - VERIFY WITH EXTERIOR ELEVATIONS



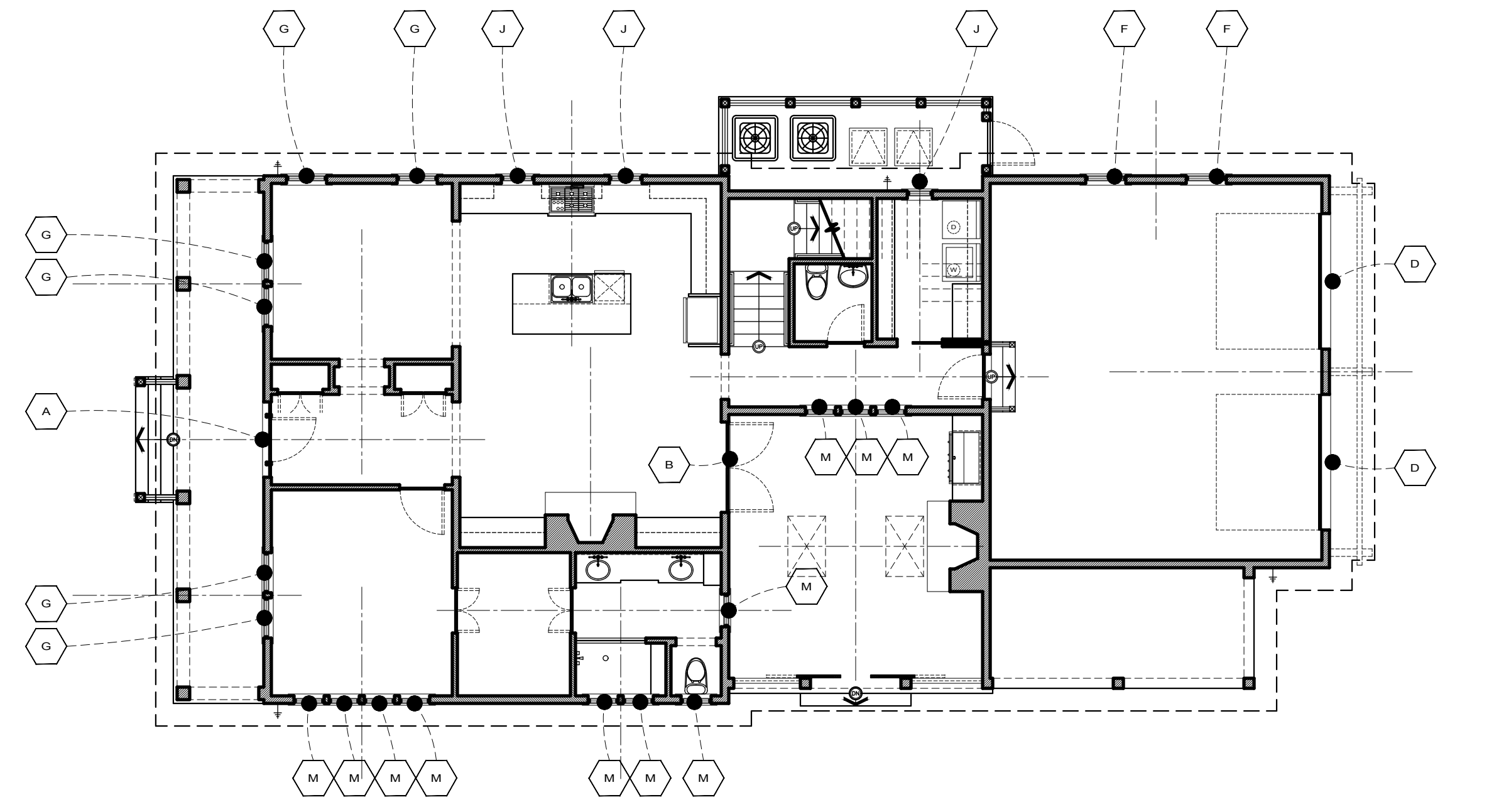
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

WINDOW AND DOOR NOTES  
SCALE: 1/4" = 1'-0"  
A - 102 - 3



SECOND FLOOR - WINDOW AND DOOR NOTES  
SCALE: 1/8" = 1'-0"  
A - 102 - 2



FIRST FLOOR - WINDOW AND DOOR NOTES  
SCALE: 1/8" = 1'-0"  
A - 102 - 1

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY  
CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C.  
UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C.  
UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH  
"J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL  
HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE  
FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A  
OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND  
FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE  
UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5  
TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL  
DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS  
AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU PIER FILL SOLID WITH GROUT WITH (2) #5 BARS  
16" x 16" CMU PIER FILL SOLID WITH GROUT WITH (4) #5 BARS  
UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH  
WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED -  
VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED -  
VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL  
VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE  
LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB -  
UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:  
SECOND FLOOR CEILING HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE  
NOTED

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE  
NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:  
SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS  
PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:  
SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE  
NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC  
SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD  
ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA  
STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF  
RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND  
SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.  
IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION  
PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND  
TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST  
MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND  
IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE  
ATTACHED PER MANUFACTURERS REQUIREMENTS  
SEE SPECIFICATION PRIOR TO ANY  
INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

SEE FOUNDATION PLAN  
FOR ADDITIONAL  
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND  
SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO  
CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

REV

22 - 018  
01.28.2025

05 - 14

SINGLE USE ONLY

Page 23

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND  
DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH  
THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND  
INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND  
OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE  
RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN  
THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND  
OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION  
AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY  
GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS  
PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH  
OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE  
CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK.  
EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE  
REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL  
REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY  
DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN  
TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF  
RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND  
DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL  
BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB.  
THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT"  
INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY  
CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

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I.R.C. - 2018

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N/A Ft. NGVD29

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ICC 600-2018

I.R.C. - 2018

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MINIMUM F.F.F. PER SURVEY

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ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

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SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

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DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
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ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY  
CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-1"

AND SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH

ALL PRIMARY ROOF PITCHES ARE:

6-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HPS ARE:

4-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION

SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS

ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES

DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS

DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS

ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 324.2.2

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 31610 CLASS F PER IRC SECTION 905.2.4.1

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH  
6 - 12  
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN  
FOR LOCATION ONLY VERIFY  
WITH SPECIFICATION  
FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED  
ELEVATION HEIGHTS  
WITH FLOOR PLANS  
AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES  
SEE THE INTERIOR DESIGN DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

ZONE C

FLOOD ZONE PER SURVEY

N/A Ft. NGVD29

MINIMUM F.F.F. PER SURVEY

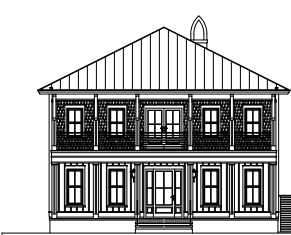
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATIONS

24 x 36

A.R.B. REVIEW

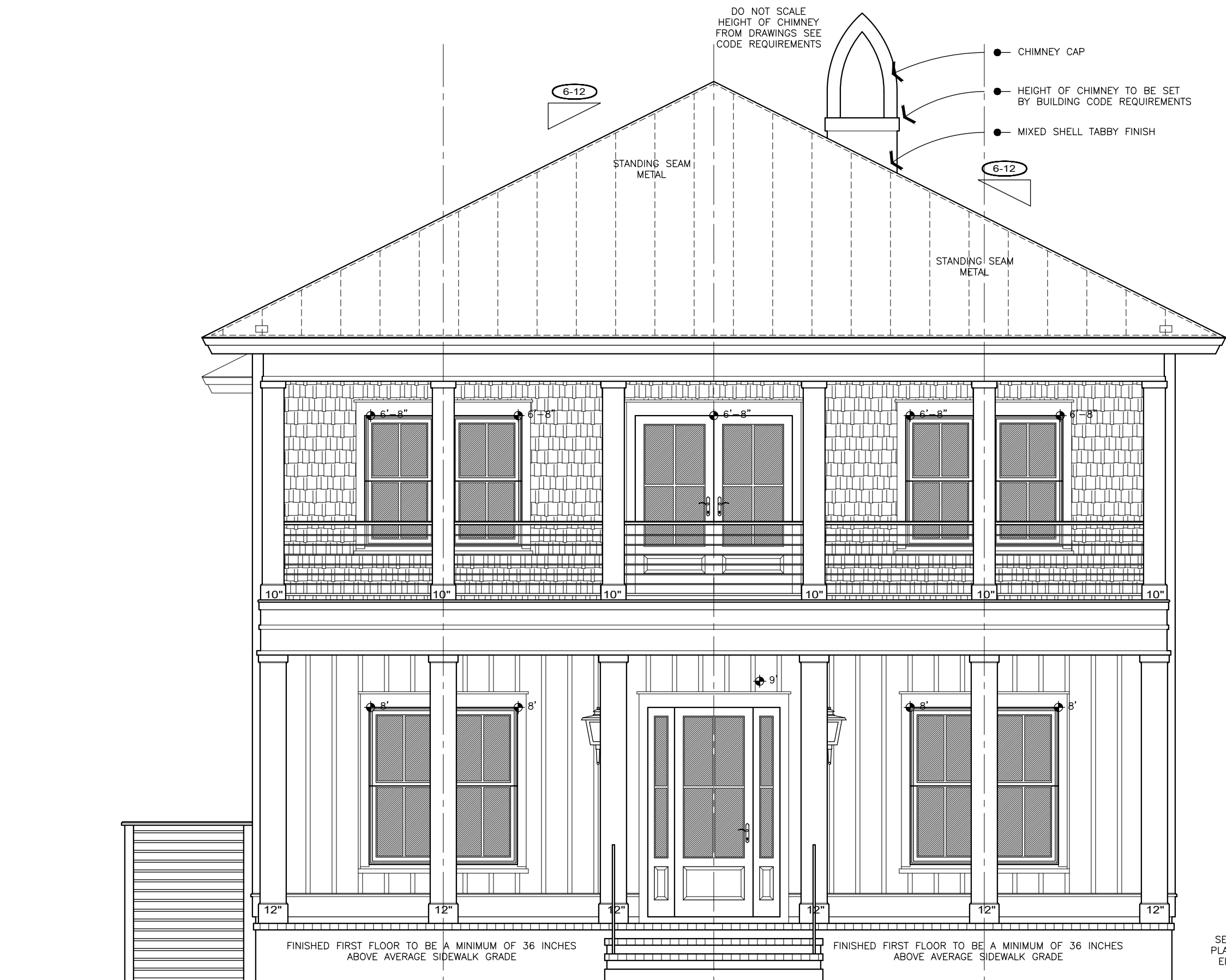
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Page 24



DETAIL - CHIMNEY  
SCALE: 1" = 1'-0"  
A - 200 - 3

0 6" 1' 2'

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

GARAGE

BONUS FLOOR CEILING HEIGHT  
12'-1" A.F.F.

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

BONUS FLOOR

GARAGE CEILING HEIGHT  
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

EXTERIOR ELEVATION - FRONT

SCALE: 1/4" = 1'-0"  
A - 200 - 2

APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 24" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

SEE SITE DRAINAGE  
PLAN FOR ALL FINAL  
ELEVATION POINTS  
AND GRADES

FINISHED FIRST FLOOR TO BE A MINIMUM OF 36 INCHES  
ABOVE AVERAGE SIDEWALK GRADE

DO NOT SCALE  
HEIGHT OF CHIMNEY  
FROM DRAWINGS SEE  
CODE REQUIREMENTS

CHIMNEY CAP  
HEIGHT OF CHIMNEY TO BE SET  
BY BUILDING CODE REQUIREMENTS  
MIXED SHELL TABBY FINISH

6-12

6-12

8'-6" A.F.F.

EXTERIOR ELEVATION - RIGHT

SCALE: 1/4" = 1'-0"  
A - 200 - 1

0 1' 4' 8' 16'

TABBY HOUSE

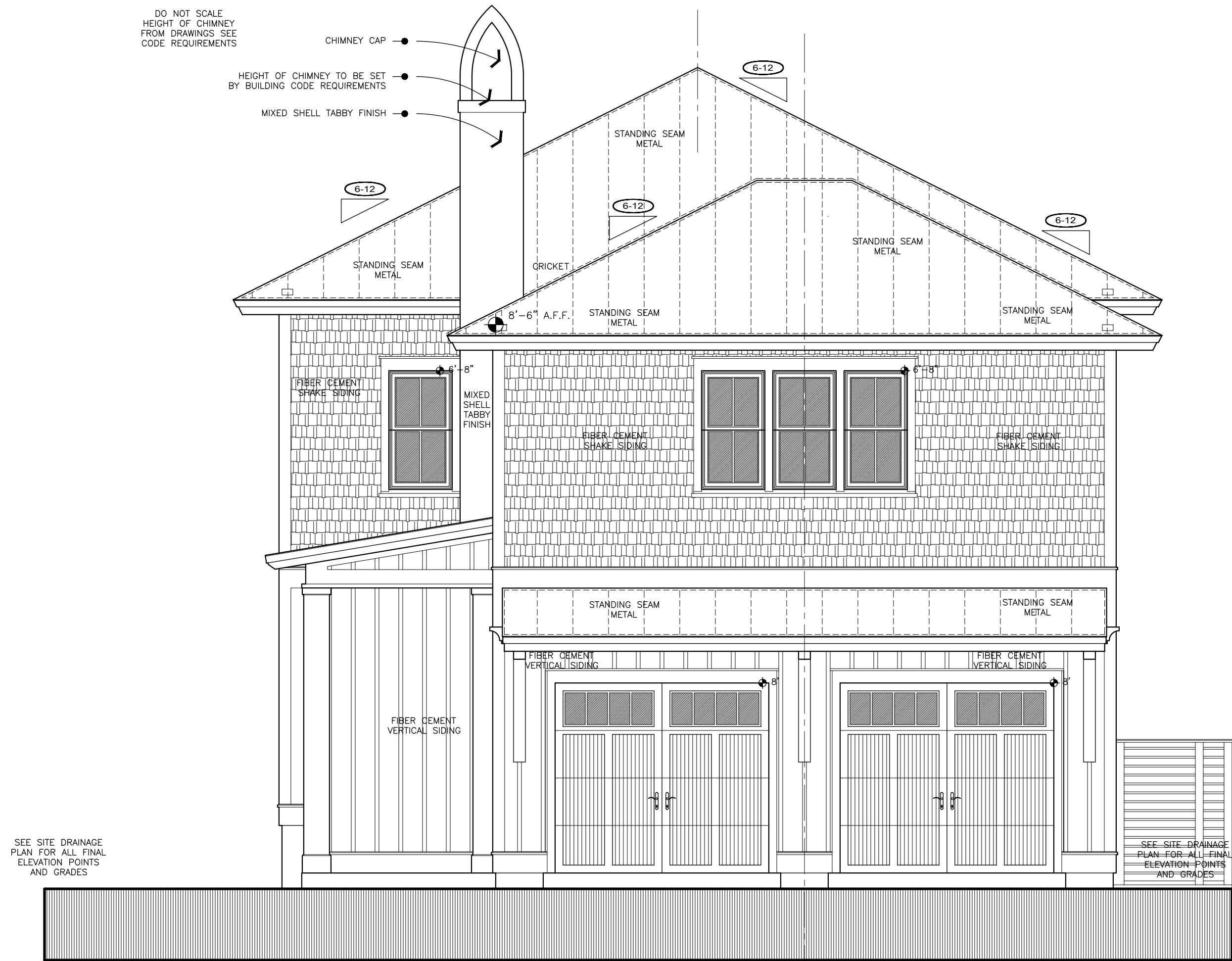
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

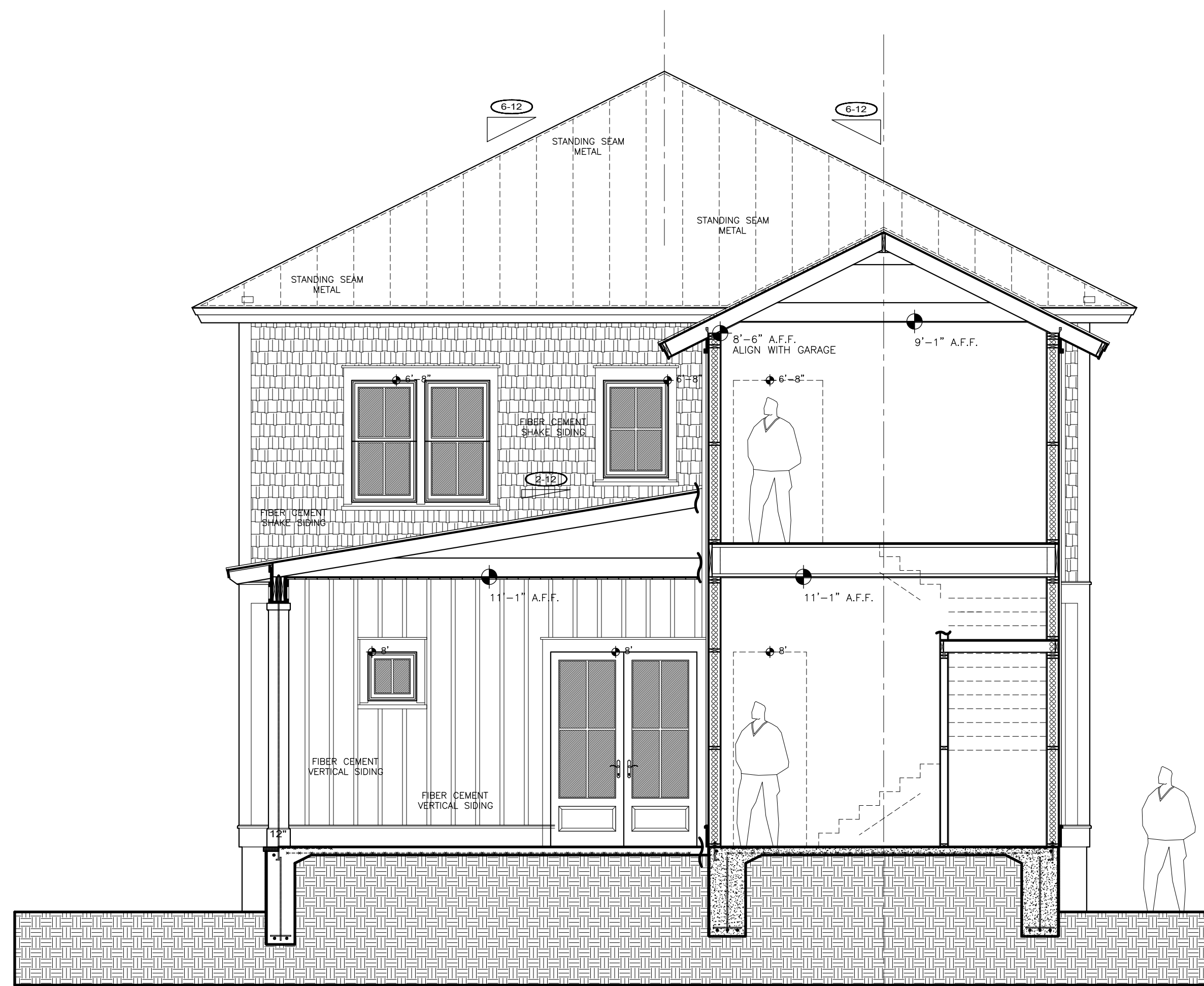
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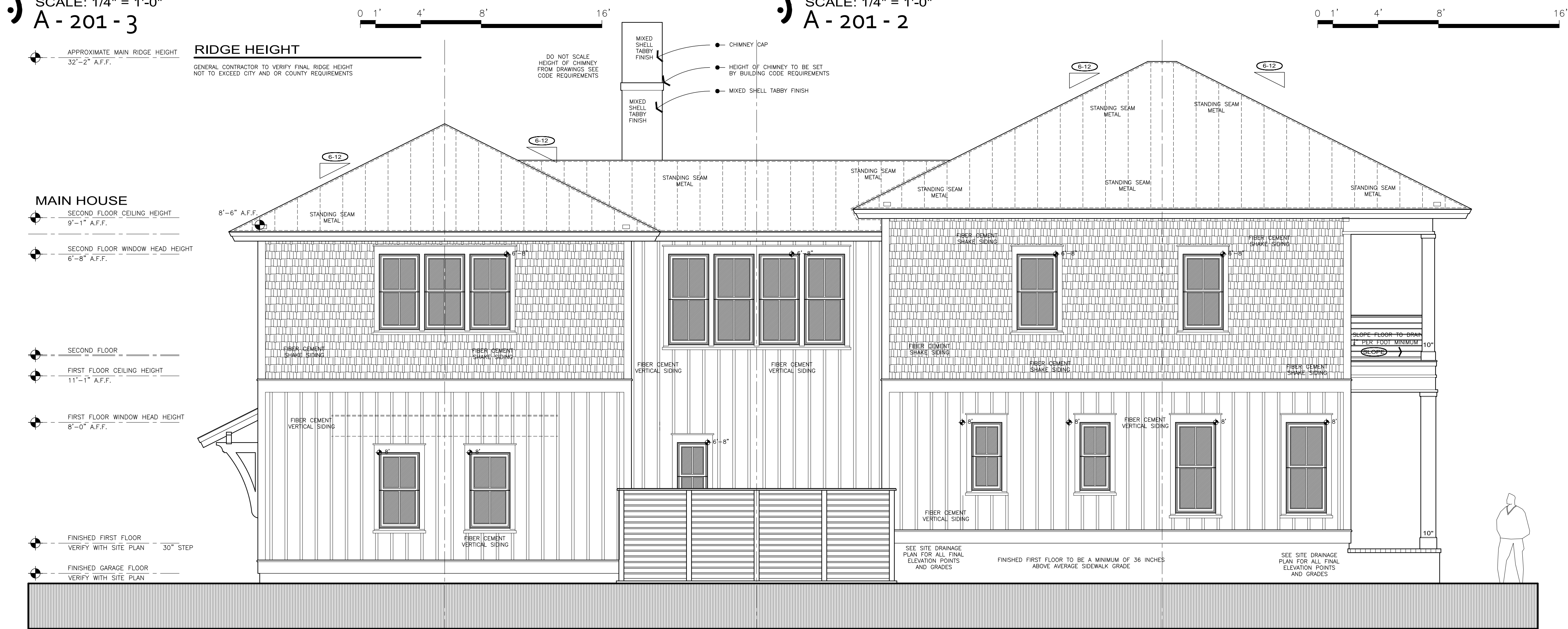
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EXTERIOR ELEVATION - BACK  
SCALE: 1/4" = 1'-0"  
A - 201 - 3



EXTERIOR ELEVATION - BACK - GARAGE REMOVED  
SCALE: 1/4" = 1'-0"  
A - 201 - 2



EXTERIOR ELEVATION - LEFT  
SCALE: 1/4" = 1'-0"  
A - 201 - 1

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

ALL FIRST FLOOR CEILING HEIGHTS ARE:  
AND SECOND FLOOR CEILING HEIGHTS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH  
ALL PRIMARY ROOF PITCHES ARE:  
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN  
ALL CABLE MODIFIED HIPS ARE:  
UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION  
SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS  
ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES  
DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING  
SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD  
VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS  
DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS  
ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS  
ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 504.2.2

## ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH  
6 - 12  
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN  
FOR LOCATION ONLY VERIFY  
WITH SPECIFICATION  
FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED  
ELEVATION HEIGHTS  
WITH FLOOR PLANS  
AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES  
SEE THE INTERIOR DESIGN DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS

## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

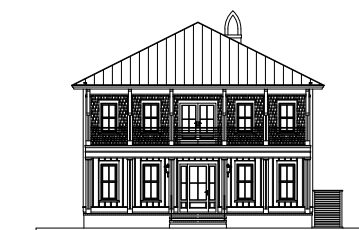
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

## TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATIONS

24 x 36

## A.R.B. REVIEW

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TABBY HOUSE  
SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
22 - 018  
01.28.2025  
REV

A - 201

07 - 14 SINGLE USE ONLY

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DRAWING NOTES  
ROOF PLAN - DETAILS

**HIP OVERHANGS**  
ALL ROOF OVERHANGS AT HIPS ARE TO BE 1'-6" UNLESS OTHERWISE NOTED

**GABLE OVERHANGS**  
ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED

**ROOF PITCH**  
ALL GABLE END MODIFIED HIPS TO BE 4-12 PITCH UNLESS OTHERWISE NOTED

**STRAPPING**  
ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED

**RAFTERS**  
SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

**SHEATHING**  
PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES

**PRELIMINARY WATER PROOFING**  
ALL VALLEYS CRICKETS CHIMNEY TRANSITIONS FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRADE ICE AND WATER SHIELD AND OR EQUAL VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS

**STRUCTURAL HARDWARE**  
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

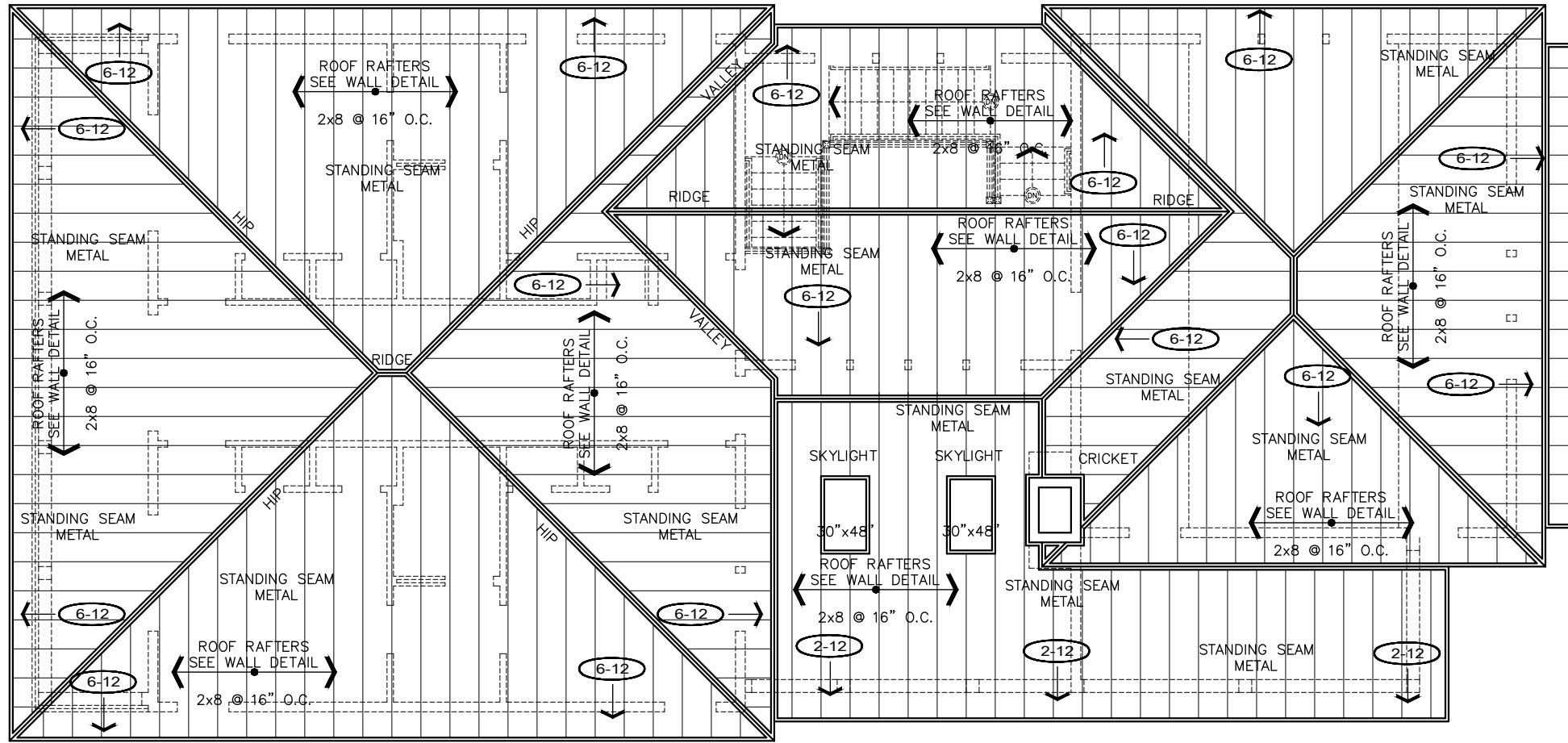
**TREATED WOOD FASTENERS**  
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-35) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS (ISOLATE UNLIKE MATERIALS IF NECESSARY)

ROOF PITCH  
6 - 12  
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

ROOF PLAN  
SCALE: 1/8" = 1'-0"  
A - 300 - 2



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

GENERAL PROJECT NOTES

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

MAIN HOUSE

APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

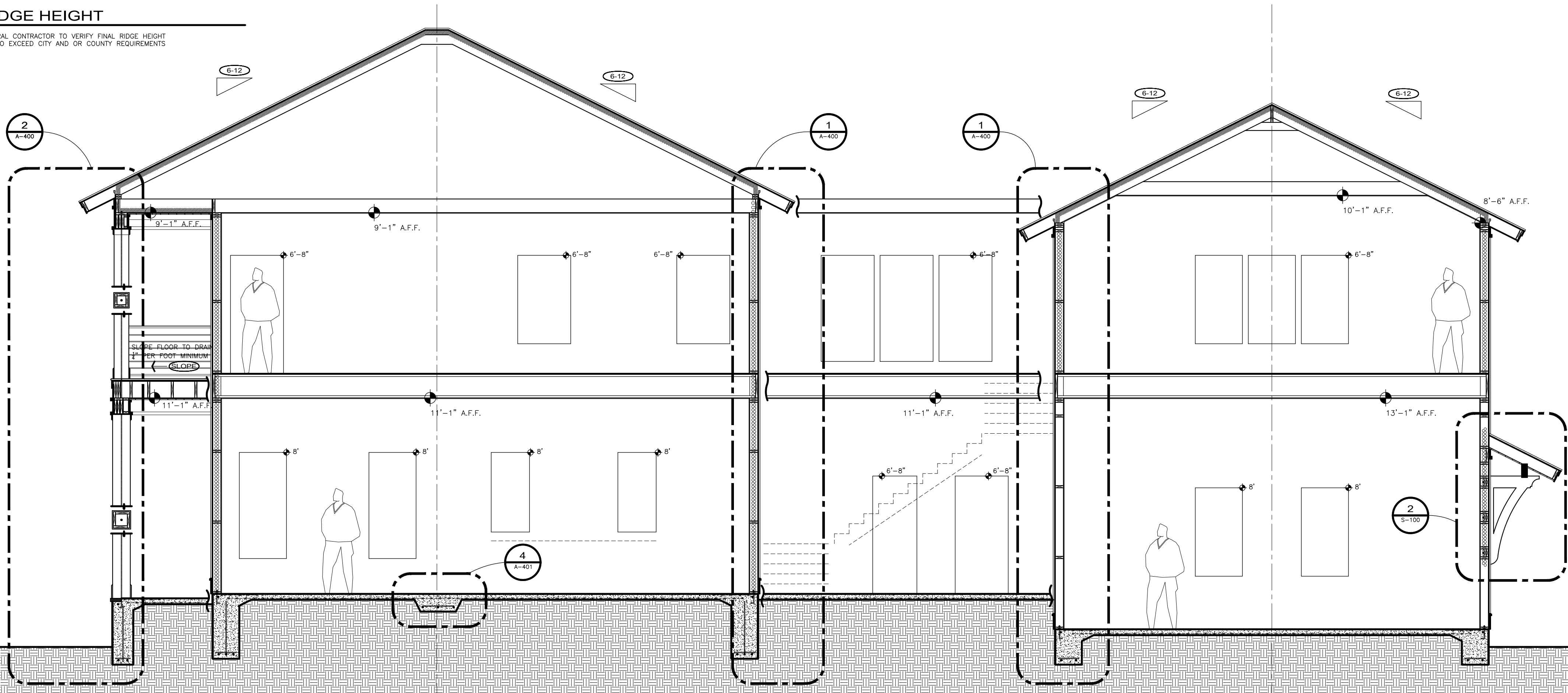
SECOND FLOOR

FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN



GARAGE

BONUS FLOOR CEILING HEIGHT  
12'-1" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

BONUS FLOOR

GARAGE CEILING HEIGHT  
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

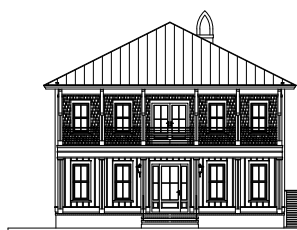
FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



BUILDING SECTIONS - ROOF PLAN

24 x 36

A.R.B. REVIEW

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BUILDING SECTION - MAIN HOUSE  
SCALE: 1/4" = 1'-0"  
A - 300 - 3

0 1' 4' 8' 16'

BUILDING SECTION - GARAGE  
SCALE: 1/4" = 1'-0"  
A - 300 - 1

0 1' 4' 8' 16'

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

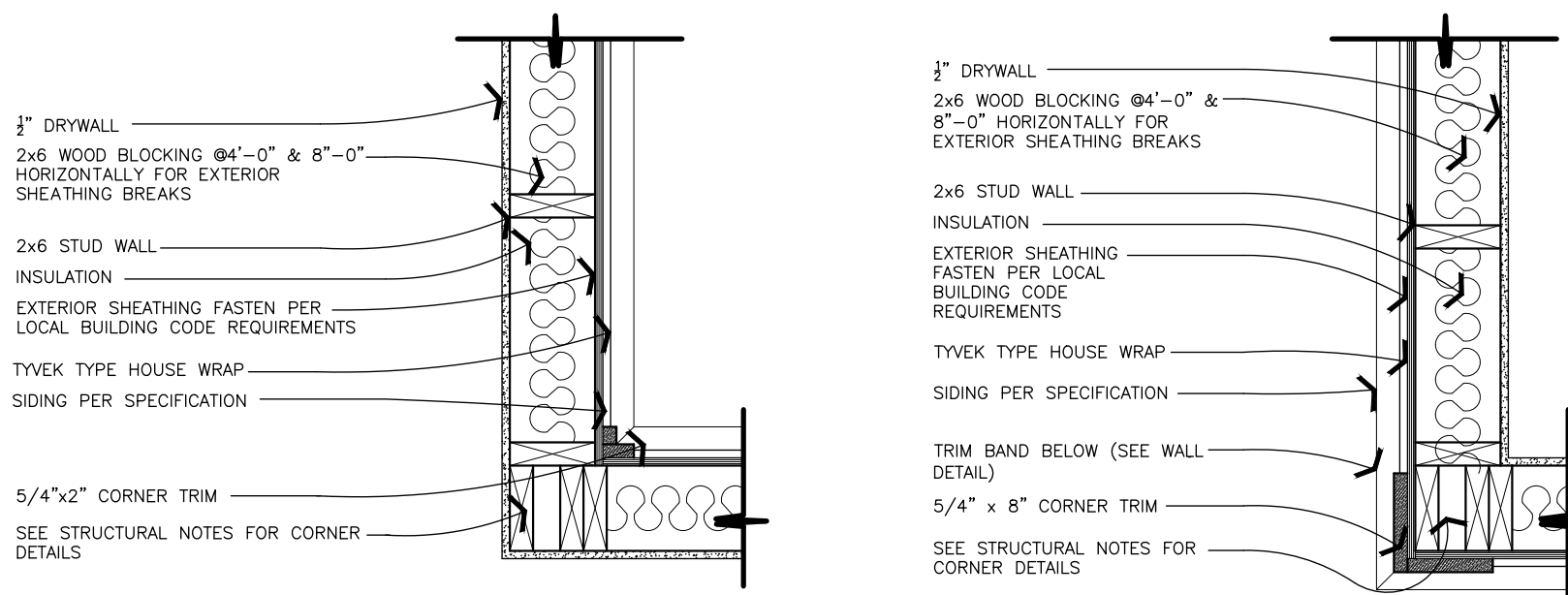
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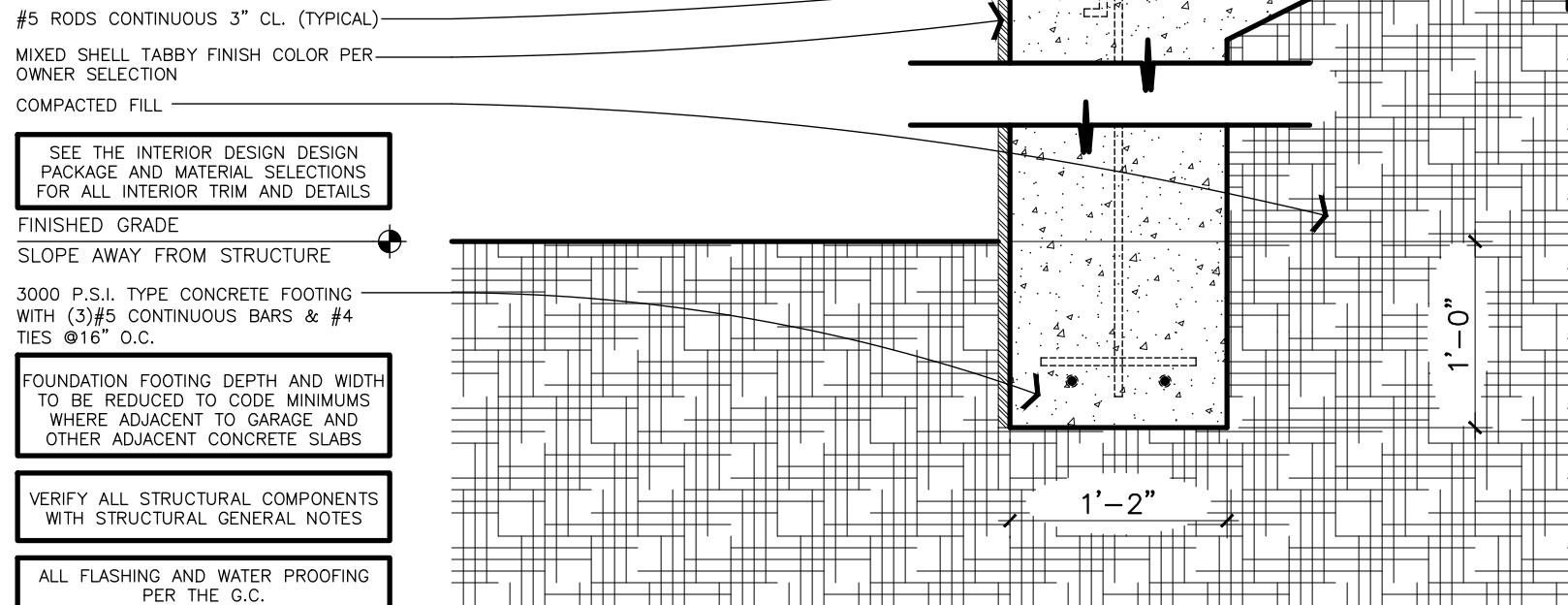
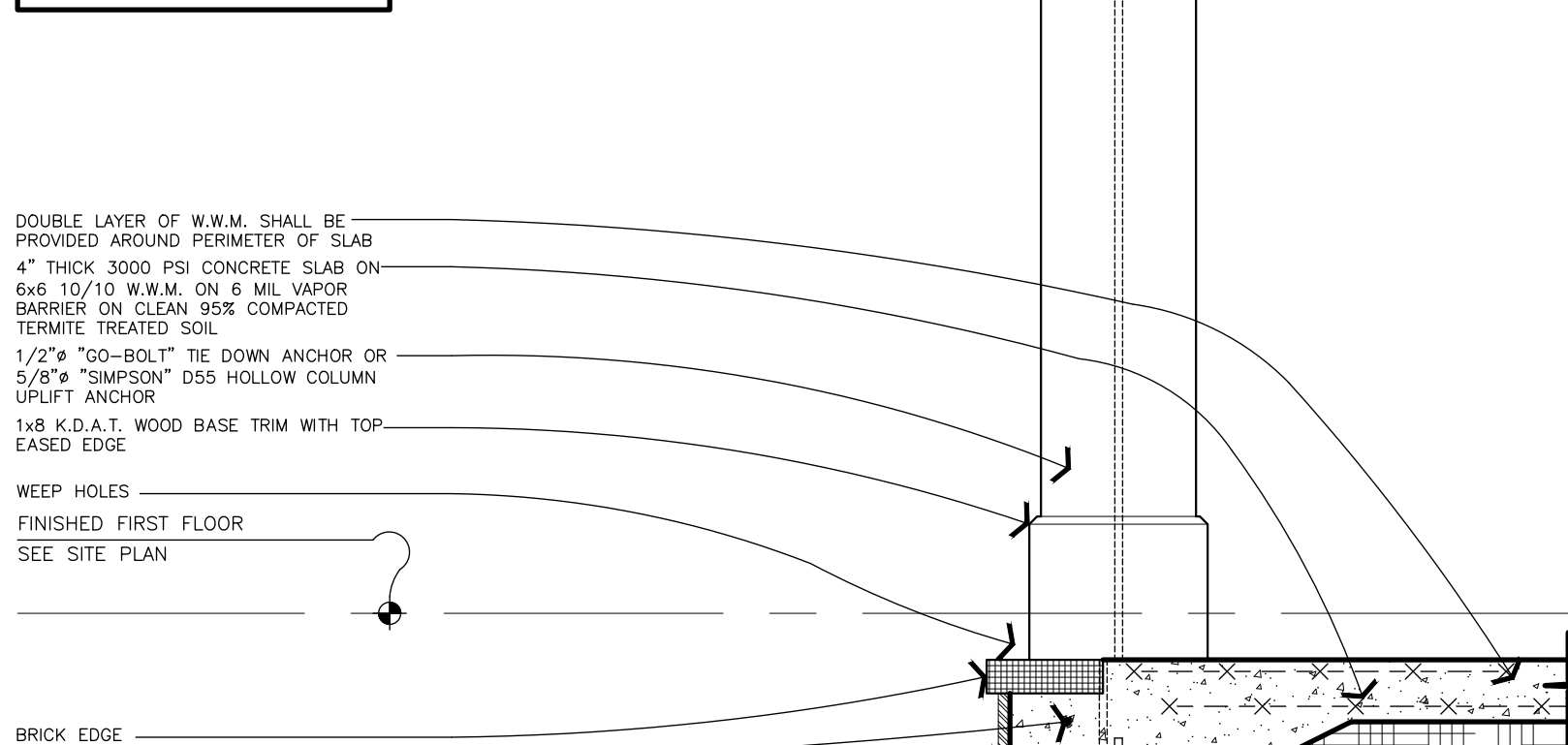
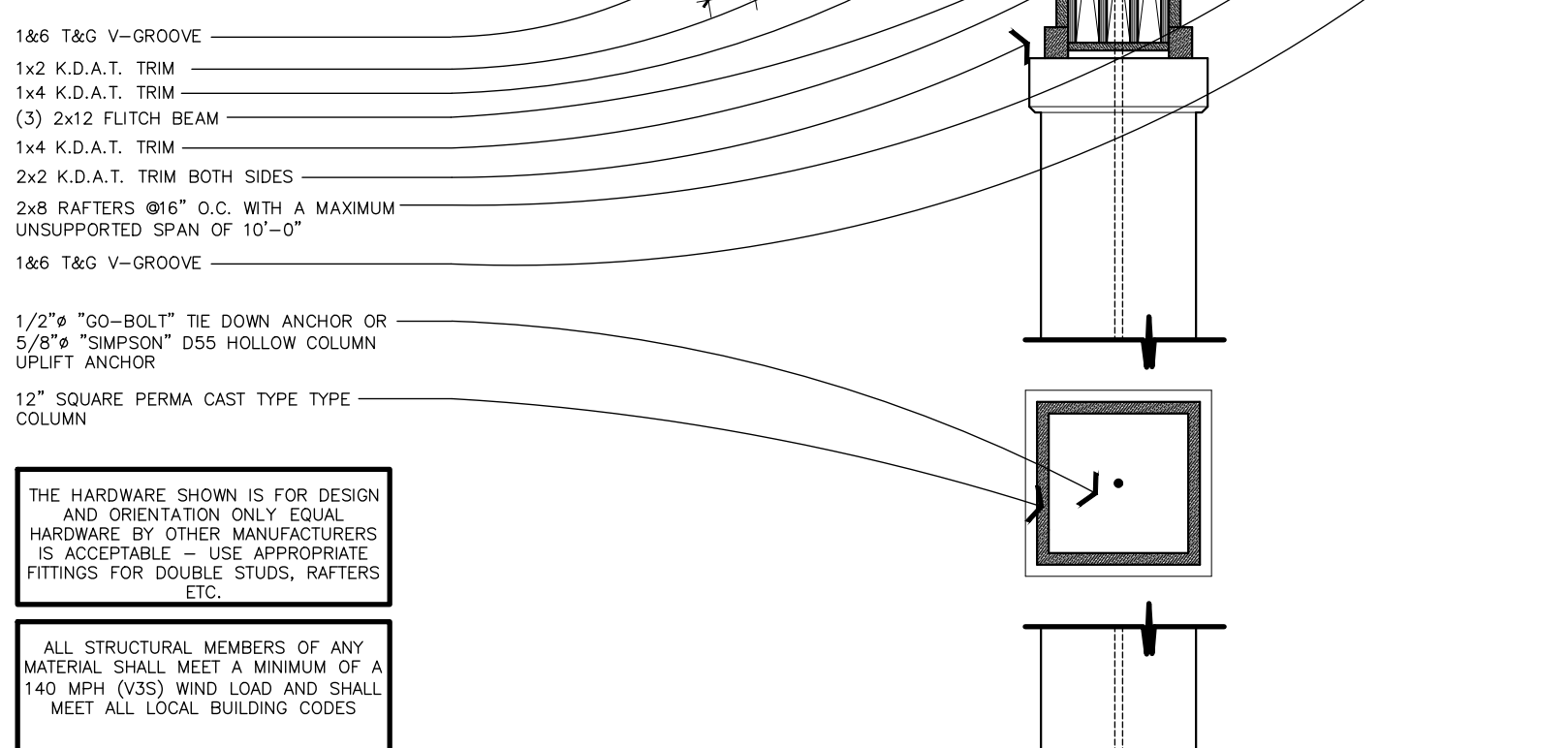
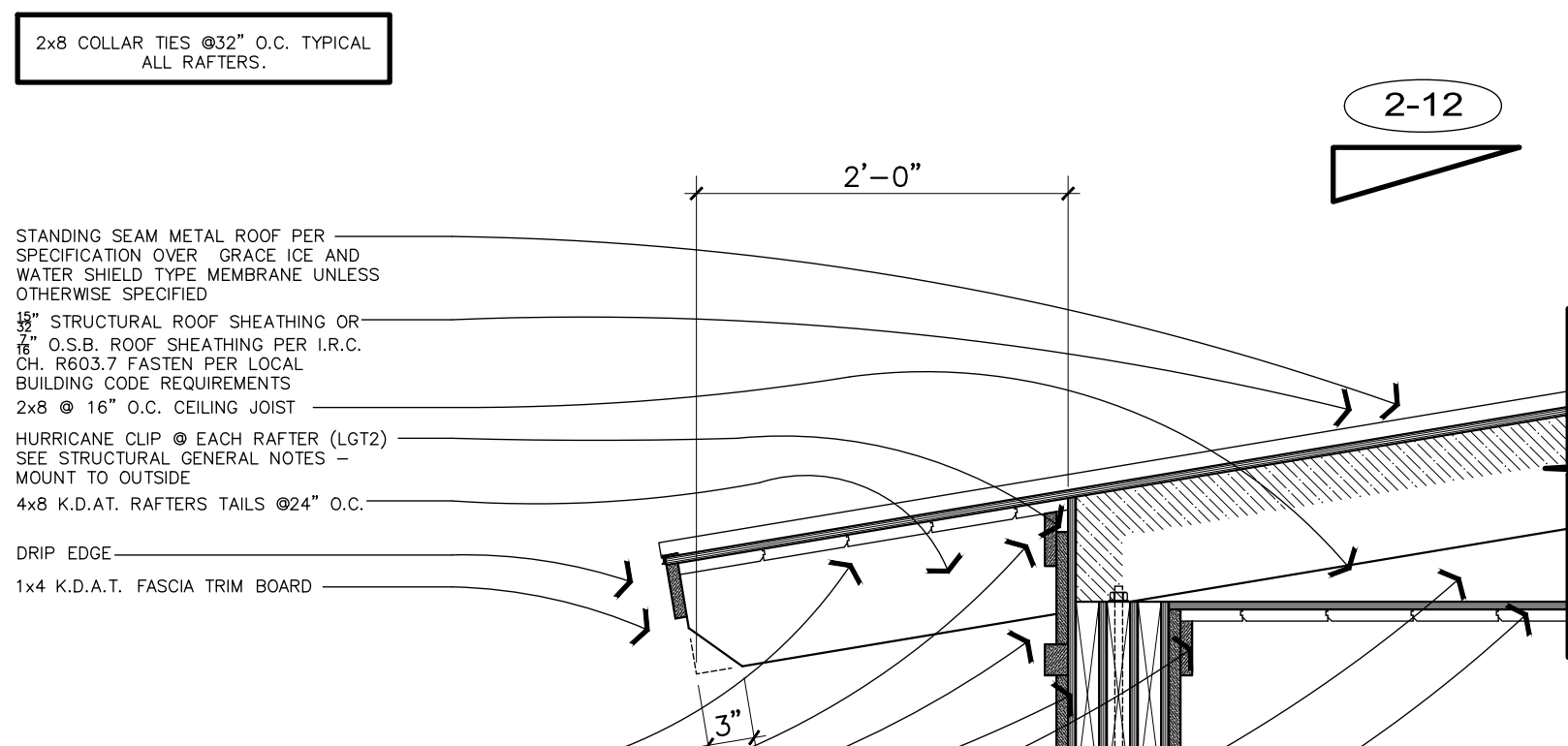
08 - 14 SINGLE USE ONLY

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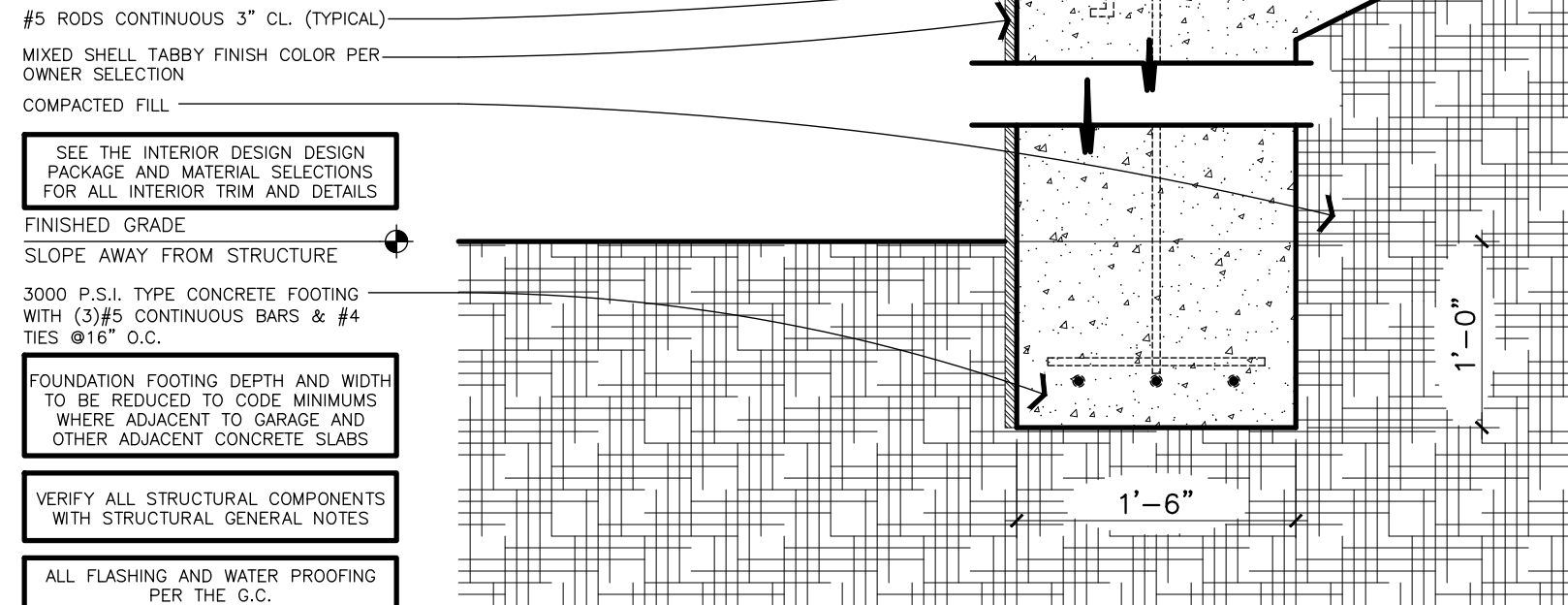
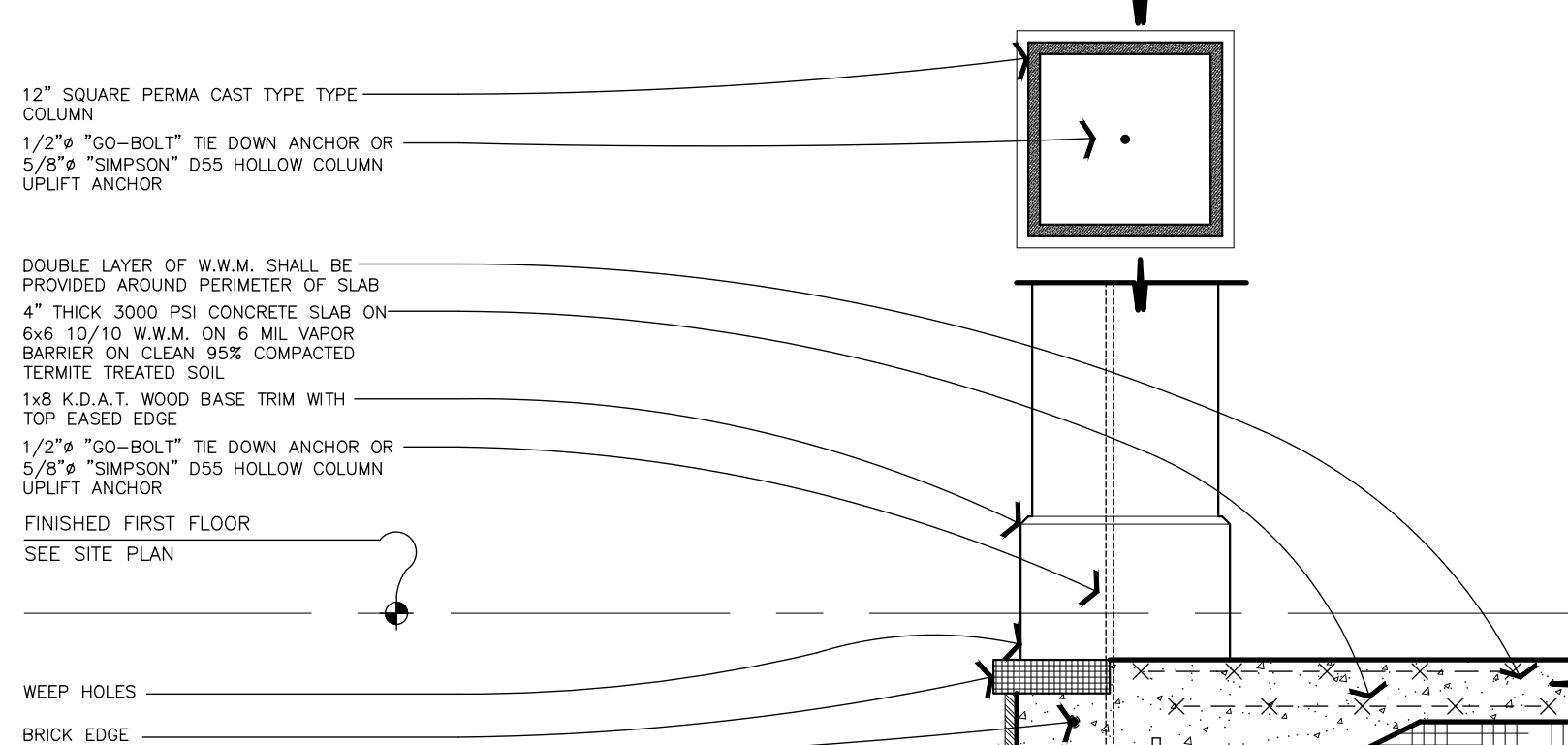
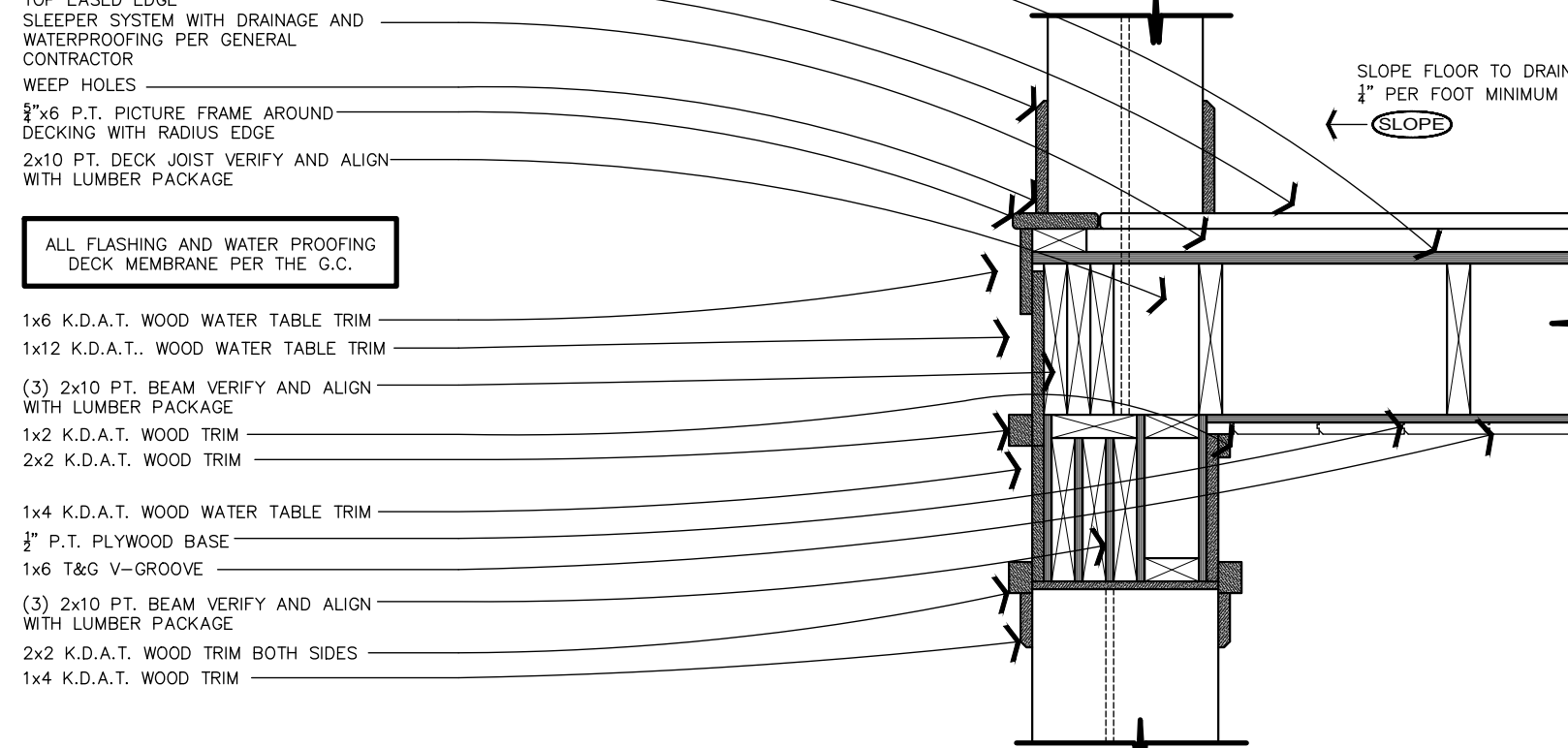
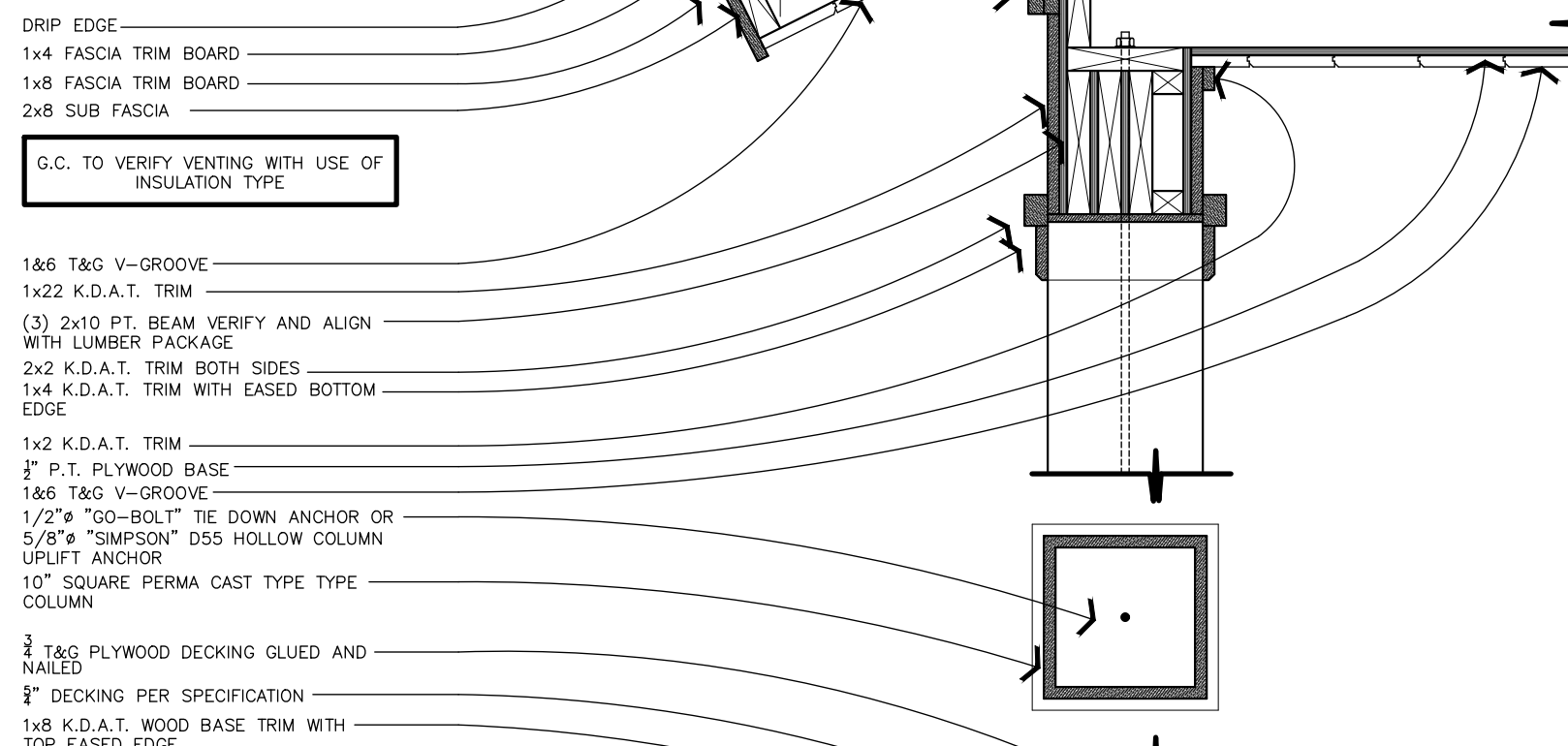
**WALL DETAIL - TYPICAL CORNER**  
SCALE: 1" = 1'-0"  
A - 400 - 4



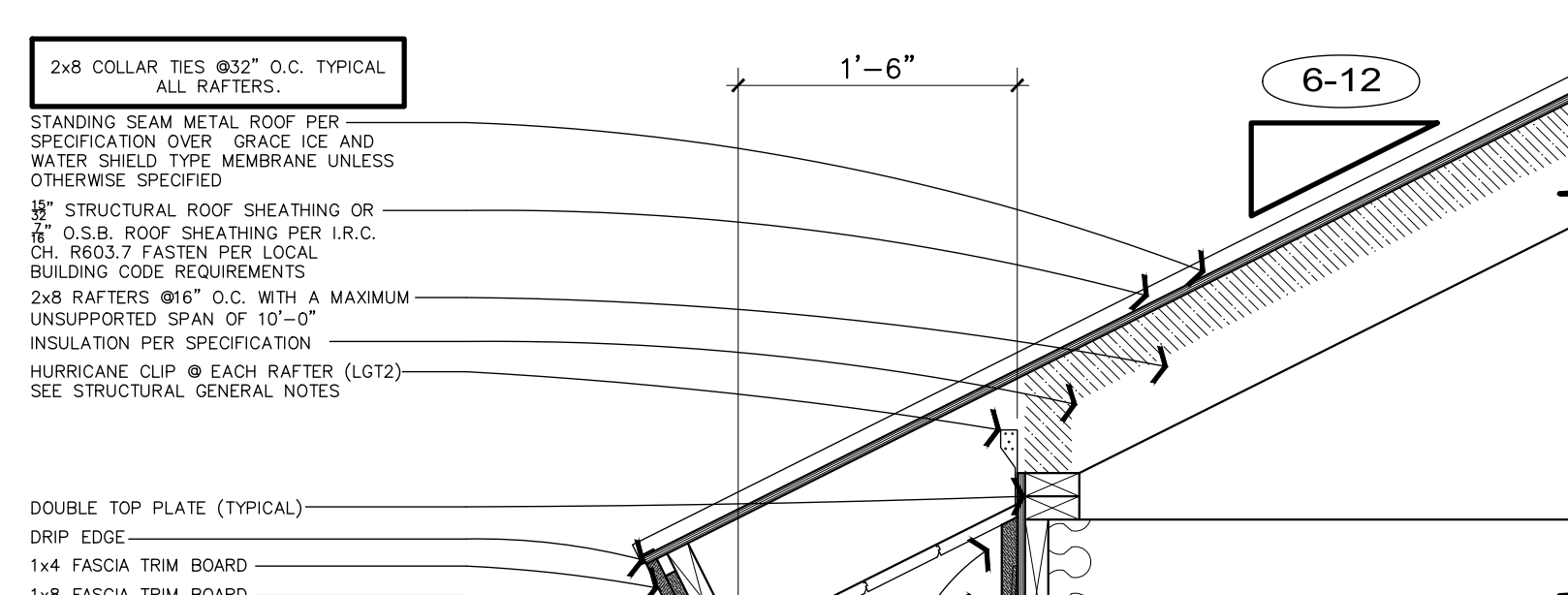
**WALL DETAIL - BACK SCREENED PORCH**  
SCALE: 1" = 1'-0"  
A - 400 - 3



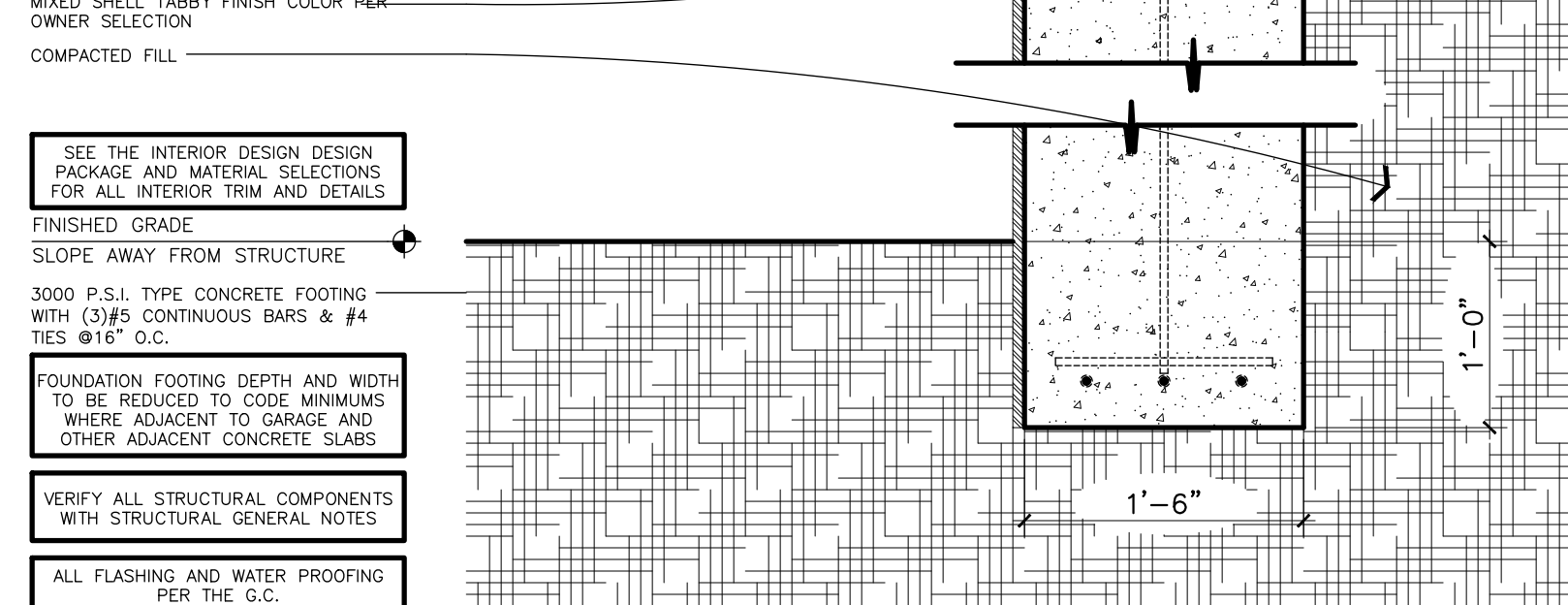
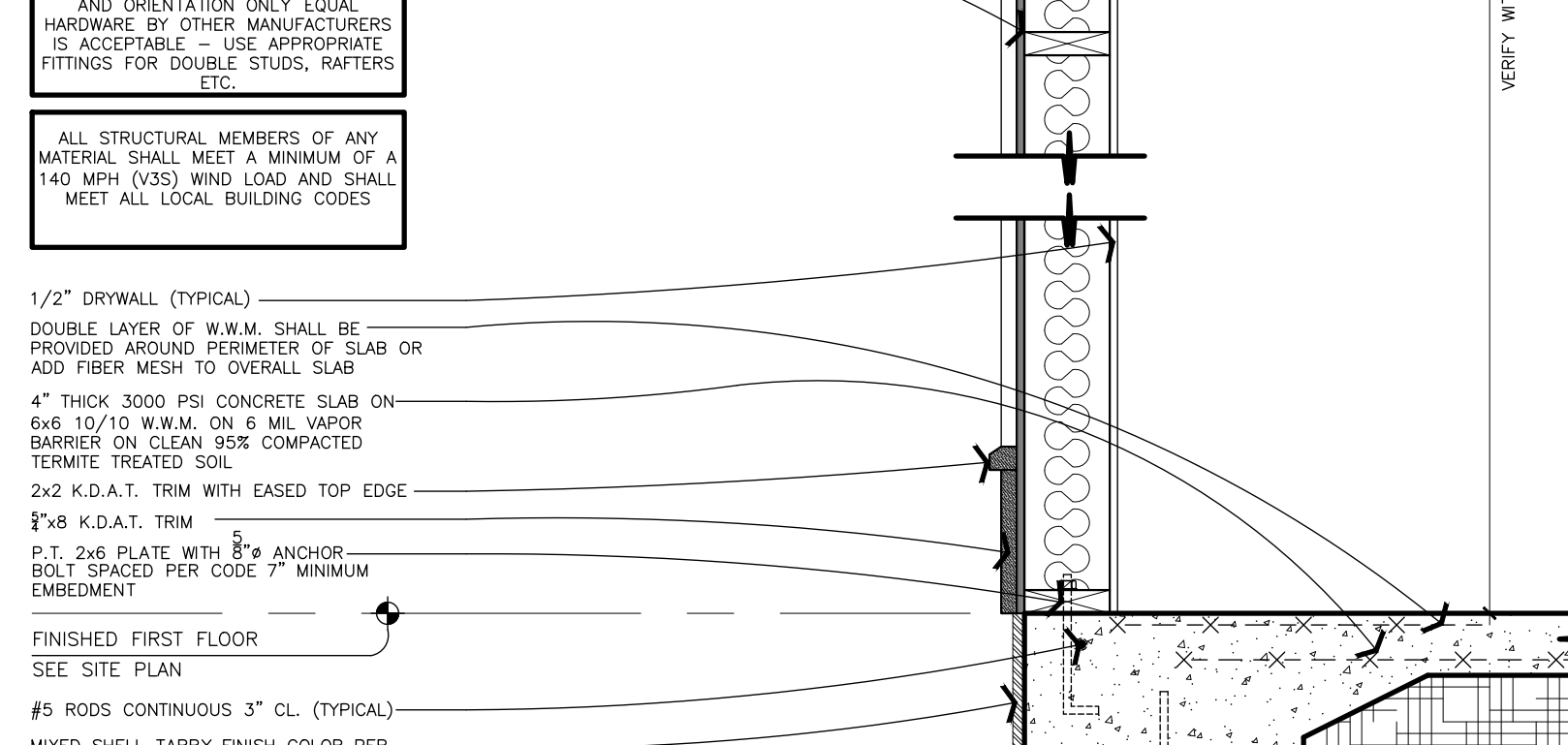
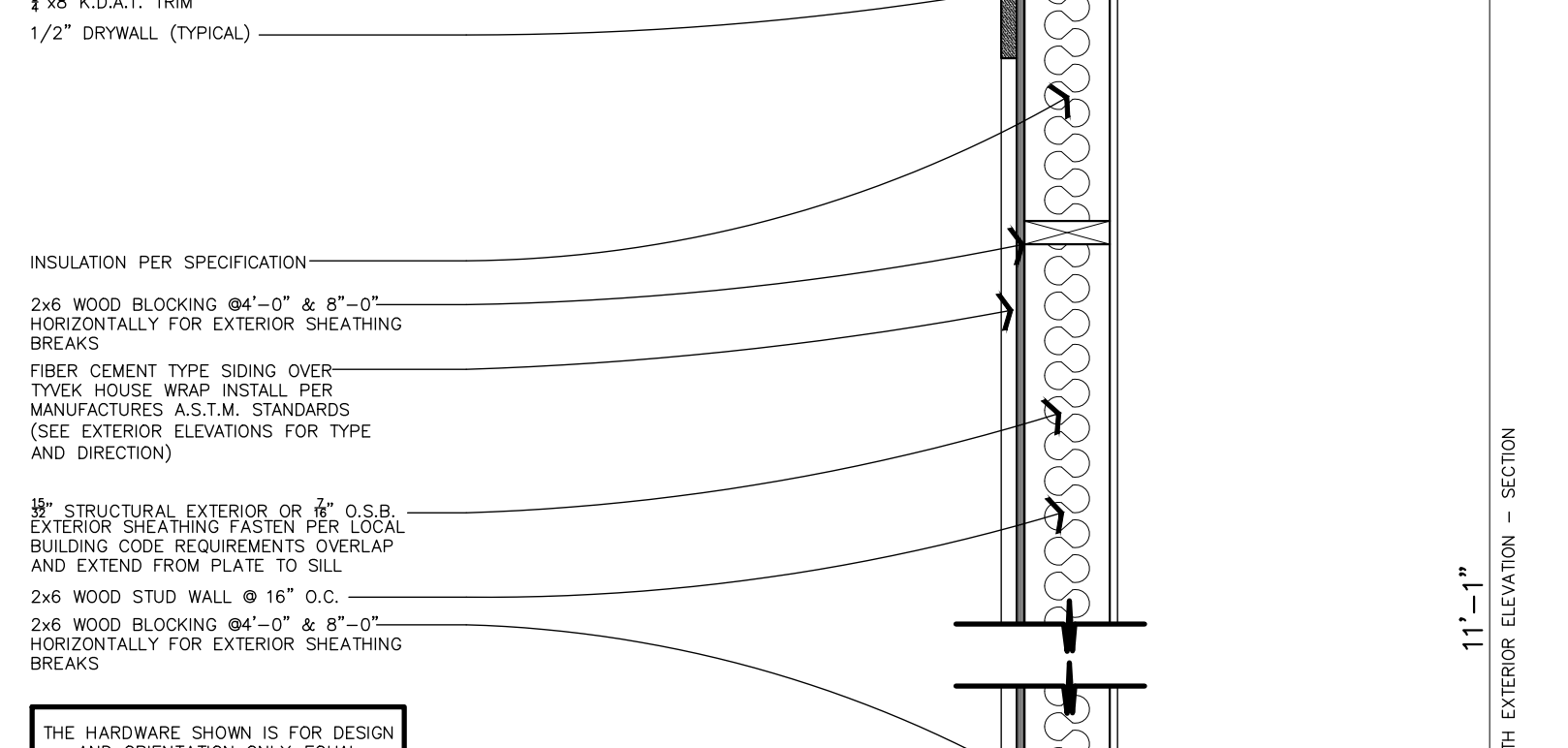
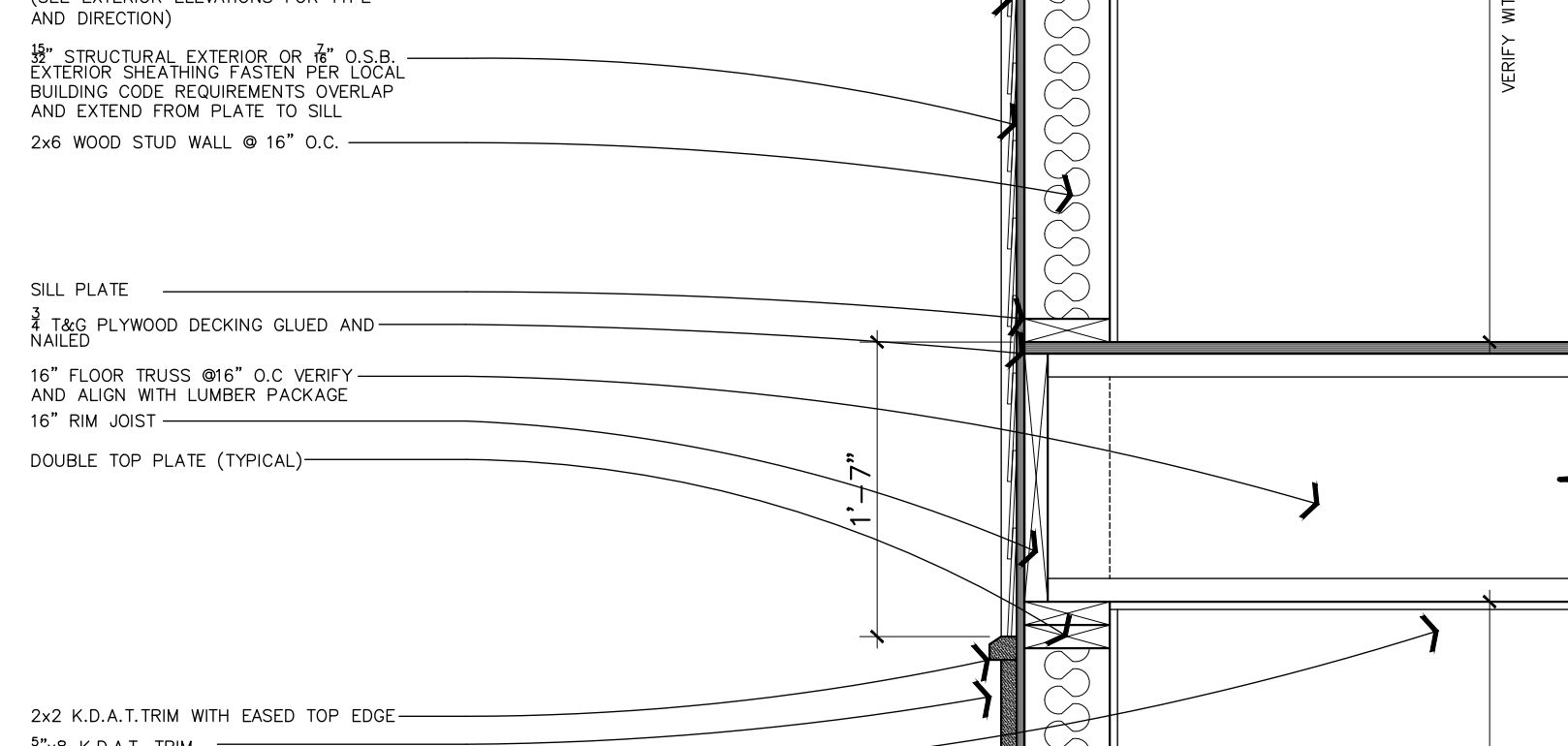
**WALL DETAIL - TYPICAL CORNER**  
SCALE: 1" = 1'-0"  
A - 400 - 4



**WALL DETAIL - FRONT COVERED PORCH**  
SCALE: 1" = 1'-0"  
A - 400 - 2



**WALL DETAIL - TYPICAL CORNER**  
SCALE: 1" = 1'-0"  
A - 400 - 4



**WALL DETAIL - TYPICAL**  
SCALE: 1" = 1'-0"  
A - 400 - 1

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

**FLOOD ZONE PER SURVEY**  
MINIMUM F.F.F. PER SURVEY

**ICC 600-2018**  
**I.R.C. - 2018**  
**ZONE C**  
**N/A Ft. NGVD29**

**EXTERIOR WALLS**  
ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**INTERIOR WALLS**  
ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**FRAMING**  
FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

**STRUCTURAL HARDWARE**  
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE. USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.

**TREATED WOOD FASTENERS**  
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

**FOOTINGS**  
3000 P.S.I. TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @ 48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU WALLS**  
8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU PIERS**  
12" x 12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**BRICK VENER**  
BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE LINTELS**  
6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE SLABS**  
4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CEILING HEIGHTS**  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
SECOND FLOOR CEILING HEIGHTS ARE:

**WINDOW - HEAD HEIGHTS**  
ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:  
SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

**INTERIOR DOORS - HEAD HEIGHTS**  
ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:  
SECOND FLOOR DOOR HEADER HEIGHTS ARE:

**HVAC**  
ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

**FRAMING PLAN**  
FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

**SOIL CONDITIONS**  
REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

**GEO TECHNICAL**  
THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.  
IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

**EXTERIOR SITE WORK**  
SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

**BRICK - STONE**  
ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS. SEE SPECIFICATION PRIOR TO ANY INSTALLATION

**SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION**  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

**INTERIOR FINISHES**  
SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

**TABBY HOUSE**  
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

09 - 14 SINGLE USE ONLY

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DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3000 P.S.I. TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 P.S.I. CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-0"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-0"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS

VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

22 - 018 01.28.2025

REV

SINGLE USE ONLY

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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18

BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

24 x 36

WALL DETAILS

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SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY O.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

O.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

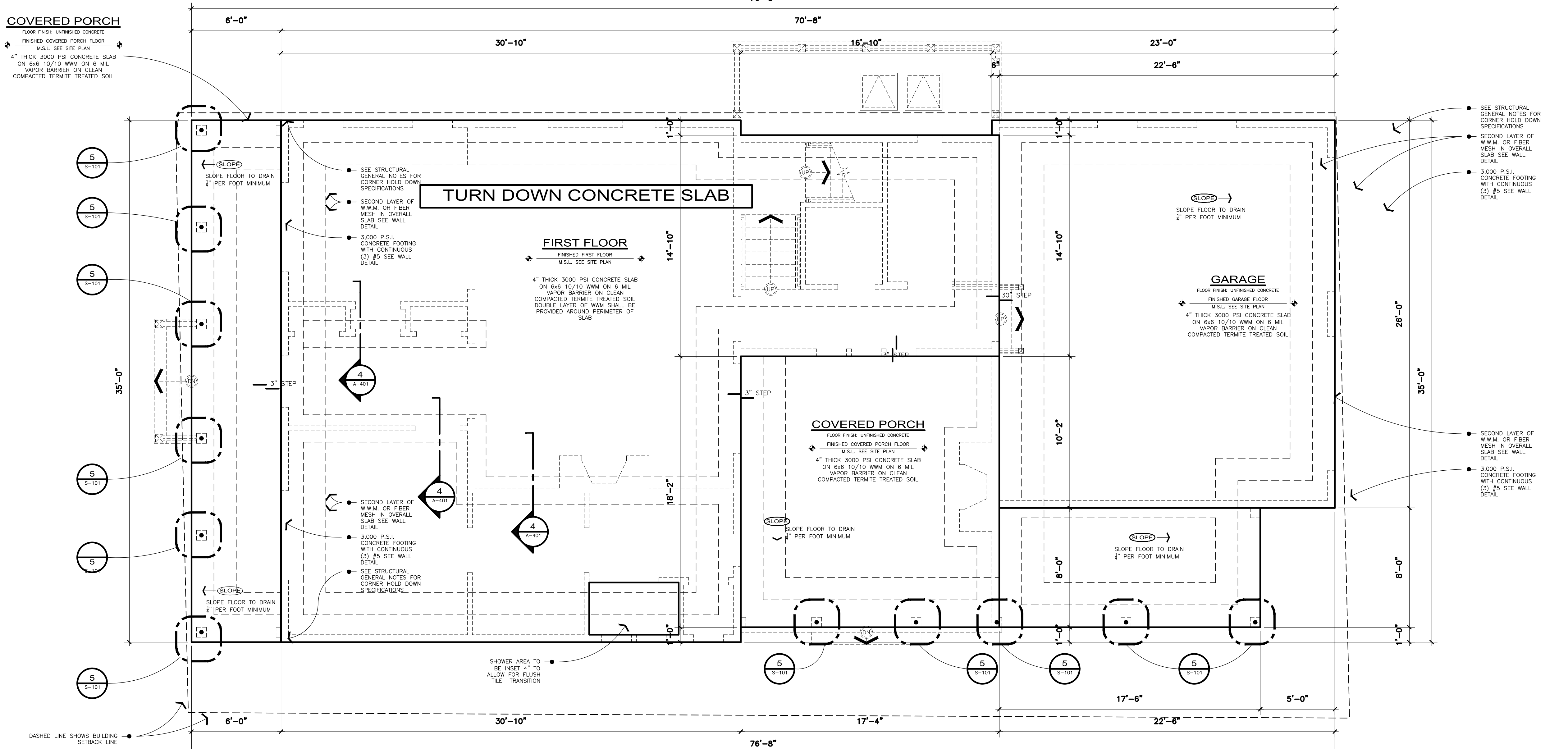
KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

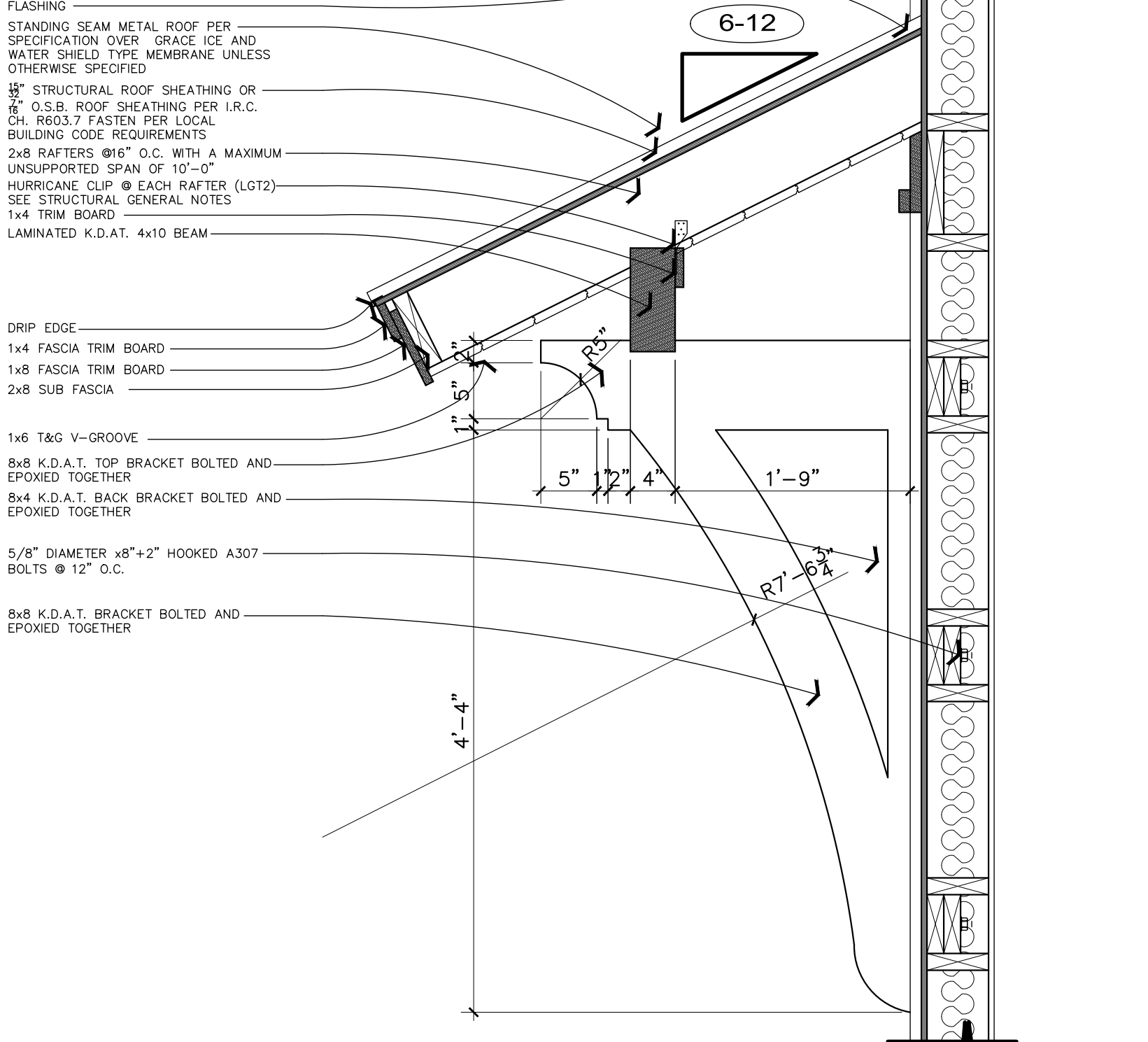
COVERED PORCH

FLOOR FINISH UNFINISHED CONCRETE  
FINISHED COVERED PORCH FLOOR  
M.S.L. SEE SITE PLAN  
4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 WWM ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL



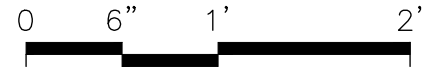
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"  
S - 100 - 1



WALL DETAIL - GARAGE BRACKET

SCALE: 1" = 1'-0"  
S - 100 - 2



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

ZONE C  
N/A Ft. NGVD29

EXTERIOR WALLS  
ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS  
ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING  
FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE  
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS  
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZNC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS  
3000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS  
8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS  
12" x 12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER  
BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS  
8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS  
4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
SECOND FLOOR CEILING HEIGHTS ARE:

11'-0"

9'-2"

FIRST FLOOR CEILING HEIGHTS ARE:  
ALL FIRST FLOOR CAVED OPENINGS ARE:

9'-0"

WINDOW - HEAD HEIGHTS  
ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:  
SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

6'-8"

INTERIOR DOORS - HEAD HEIGHTS  
ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:  
SECOND FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.  
IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE  
ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES  
SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE  
SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON  
22 - 018  
01.28.2025  
REV



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

ZONE C  
N/A Ft. NGVD29

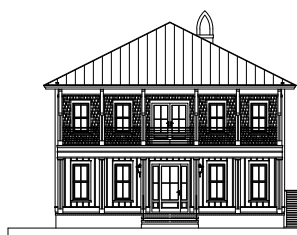
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FOUNDATION PLAN

A.R.B. REVIEW

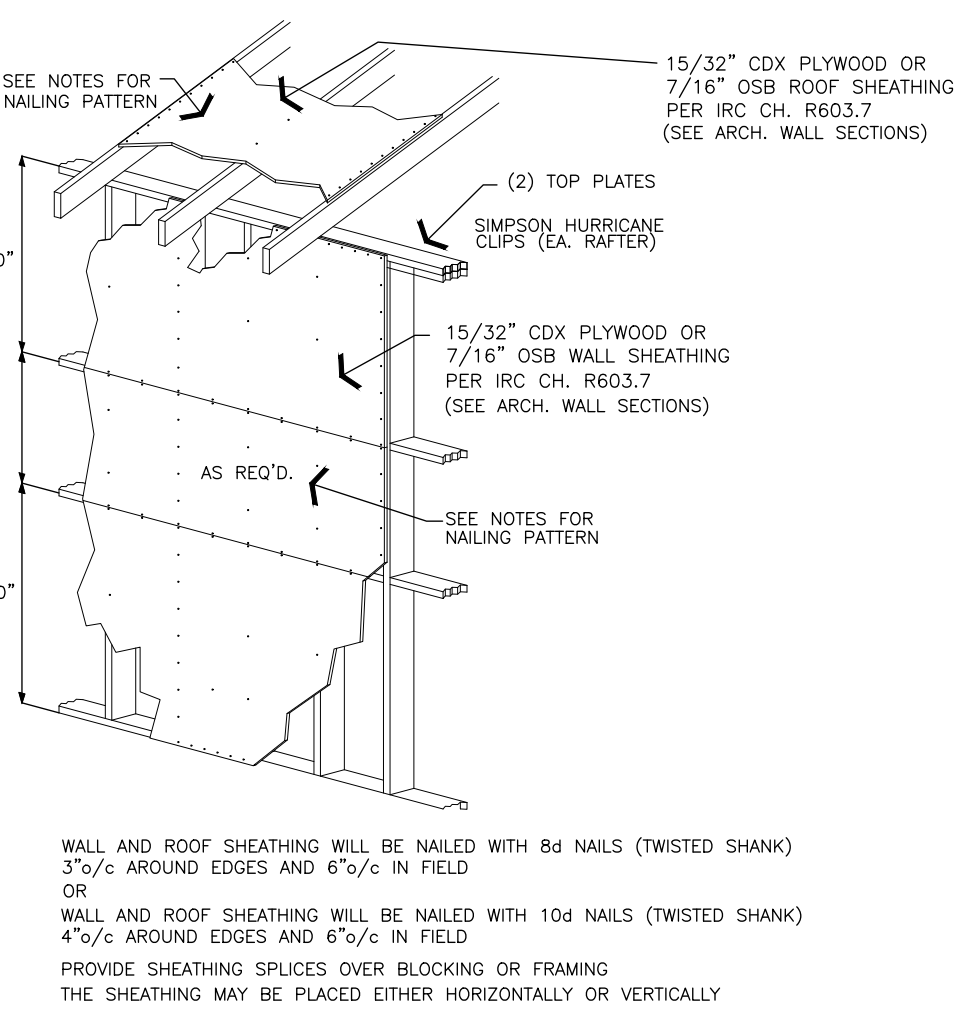
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S - 100  
11 - 14 SINGLE USE ONLY  
Page 29

	FASTENER	NUMBERS OR SPACING
JOIST TO BAND JOIST, FACE NAIL	16D COMMON	3
JOIST TO SILL OR GIRDER, TOE-NAIL	8D COMMON	3
BRIDGING TO JOIST, TOENAIL EACH END	8D COMMON	2 @
LEDGER STRIP	16D COMMON	3 @ EACH JOIST
1x6 OR LESS SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1x6 SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2" SUB FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	16D COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D COMMON	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16D COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8D COMMON	4
DOUBLE STUDS, FACE NAIL	10D COMMON	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10D COMMON	16" O.C.
TOP PLATES, LAP AND INTERSECTIONS FACE NAIL	-	2-16D OR 3-10D COMMON
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOENAIL	8D COMMON	3
CONTINUOUS HEADER TO STUD, TOE NAIL	8D COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	-	3-16D OR 4-10D COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	-	3-16D OR 4-10D COMMON
RAFTER TO PLATE, TOENAIL	8D COMMON	3
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	8D COMMON	2
1x8 OR LESS SHEATHING TO EACH BEARING, FACE NAIL	8D COMMON	2
BUILT-UP CORNER STUDS	16D COMMON	3
BUILT-UP GIRDERS AND BEAMS, OF THREE MEMBERS	16D COMMON	24" O.C.
STUDS TO SOLE PLATE, END NAIL	16D COMMON	16D COMMON

PER TABLE NO. 2306.1 SSTD 10-99  
APPLIES UNLESS NOTED OTHERWISE ON DRAWINGS



WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK)  
3/4\"/>

## GENERAL CONCRETE NOTES

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS
- ALL CONCRETE WORK SHOULD BE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- ALL REINFORCING STEEL TO BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60
- WELDED WIRE FABRIC SHALL CONFORM TO A-185 POLYPROPYLENE FIBER MESH OR FIBER MESH STRANDS MAY BE SUBSTITUTED FOR WELDED WIRE FOR NON STRUCTURAL SLAB REINFORCEMENT
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS SLEEVES ANCHOR BOLTS INSERTS ETC. AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED, NO SLEEVES OPENINGS OR INSERTS MAY BE PLACED IN BEAMS OR SLABS UNLESS APPROVED BY THE STRUCTURAL ENGINEER AND SHOWN CLEARLY ON THE APPROVED SHOP DRAWINGS
- ALL REINFORCING DETAILS ARE TO CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 318 UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS
- PROVIDE SPACERS CHAIRS BOLTERS ETC. AS REQUIRED TO ASSEMBLE PLATE AND SUPPORT ALL REINFORCING IN PLAN
- PROVIDE CORNER BARS FOR ALL FOOTINGS ALL FOOTING BOWEL BARS SHALL HAVE A STANDARD 90 DEGREE HOOK AND SHALL BE EMBEDDED 5" INTO INTERIOR FOOTINGS AND A MINIMUM OF 7" INTO ALL OTHERS. BOWEL BARS LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 25"
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRETREATED
- SOIL UNDER SLAB TO BE PRETREATED FOR TERMITES AS PER THE 2006 INTERNATIONAL BUILDING CODE
- ALL FOOTINGS TO BE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 2500 P.S.F. OWNER AND CONTRACTOR ARE TO HAVE THE SOIL PRESSURE VERIFIED AND IF CONTACT PRESSURE IS LESS THAN 2500 P.S.F. THE FOUNDATION WILL HAVE TO BE RE-DESIGNED. COMPACT FILL SOIL TO 98% STANDARD PROCTOR DENSITY DOWN TO 2'-0" BELOW ALL SLABS AND FOOTINGS
- PLUMBING WASTE PIPES PENETRATING CONCRETE FOOTINGS SHALL BE CAST IRON OR SCHEDULE 40 PVC GROUP W/ AS PER ASTM C47613. MASONRY WORK PER ACI 530.1-02

## FOUNDATION DESIGN ASSUMPTIONS

THE FOUNDATION SHALL BE PLACED ON UNDISTURBED SOIL OR ROCK WITH A BEARING CAPACITY WITH A SAFE WORKING DESIGNATION BY A GEOTECHNICAL ENGINEER. IF PORTIONS OF THE SLAB OR FOUNDATION IS ON PREPARED FILL, A REGISTERED GEOTECHNICAL ENGINEER SHALL VERIFY SUITABILITY OF THE FILL FOR USE AND ITS FOUNDATION BEARING CAPACITY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SOIL AND OR SITE LOCATION PRIOR TO COMMENCING WORK AND NOTIFYING THE STRUCTURAL ENGINEER AND ARCHITECT IMMEDIATELY IN THIS DESIGN IMMEDIATELY

## SOIL BEARING PRESSURE

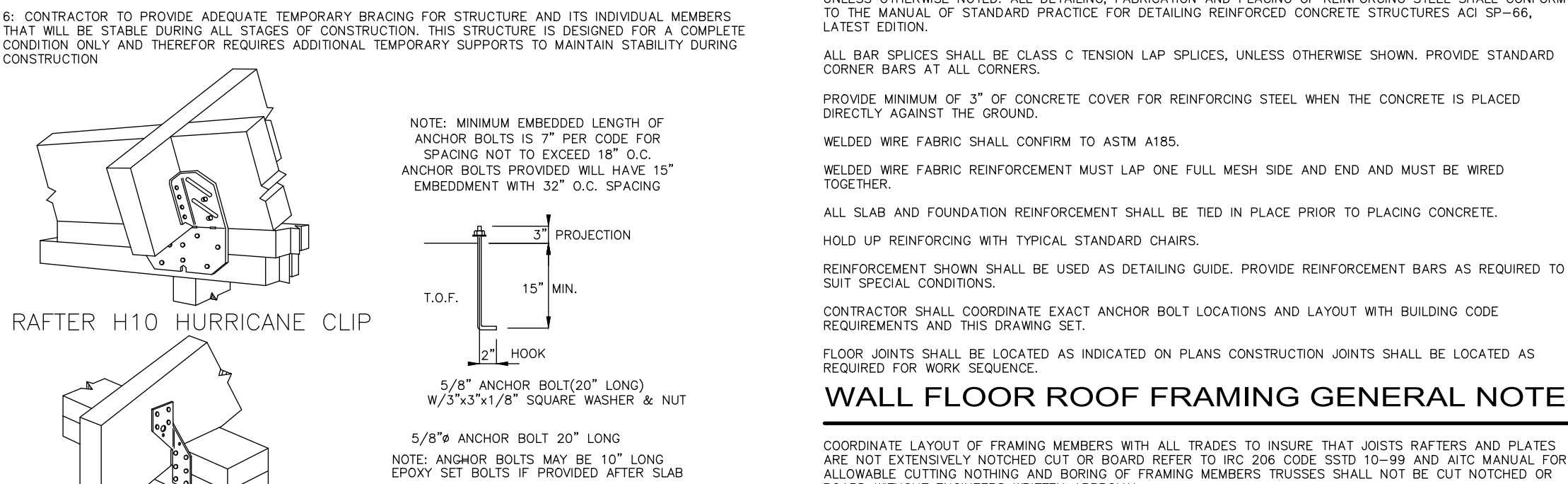
SOIL BEARING PRESSURE ASSUMED AT 2500 P.S.F.  
OWNER DID NOT FURNISH TEST TO ESTABLISH SOIL BEARING PRESSURE. THE OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE STRUCTURAL ENGINEER AND THE ENTIRE DESIGN TEAM HARMLESS

## STRUCTURAL STEEL COMPONENTS - TIE DOWNS

- SHAPES ANGLES CHANNELS: ASTM A 36  $F_y = 36$ KSI ROUND AND SQUARE METAL PIPE: ASTM A 53 GRADE B  $F_y = 36$  KSI SQUARE METAL TUBING: ASTM A 500, GRADE B  $F_y = 36$  KSI
- FASTENERS AND THE DOWNS SHALL CONSIST OF BUTT ARE NOT LIMITED TO:  
HIGH STRENGTH BOLTS: ASTM A325  
MACHINE BOLTS: GALVANNEZED ASTM A 307
- SHEET METAL ACCESSORIES SHALL CONFORM TO: ASTM A446 OR ASTM A 526  $F_y = 33$  KSI WITH G90 GALVANIZED COATING IN ACCORDANCE WITH ASTM A 525
- NAILS SHALL CONSIST OF RING SHANK NAILS WITH A MINIMUM DIAMETER AS FOLLOWS:  
8D = 0.131"  
10D = 0.148"  
16D = 0.162"
- ALL FASTENERS AND THE DOWNS EMBEDDED IN CONCRETE OR USED IN AN EXTERIOR APPLICATION ARE TO RECEIVE AN ANTI-CORROSIVE COATING PRIOR TO INSTALLATION
- ALL FASTENERS AND THE DOWNS ARE TO PROVIDE UPLIFT CAPACITY CALLED FOR IN THE PLANS AS A MINIMUM
- ALL FASTENER TIE DOWNS BEAM HANGERS JOIST HANGERS AND FLOOR TRUSS STRAPPING ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANS AND MANUFACTURERS SPECIFICATIONS
- CONCRETE EMBEDDED "J" BOLTS USED FOR UPLIFT ARE TO BE WET SET PRIOR TO INITIAL SET ON THE CONCRETE SPACING AND ALIGNMENT ARE TO BE IN ACCORDANCE WITH THE DESIGN PLANS
- CONCRETE EMBEDDED THE DOWNS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT
- FASTENERS ARE TO BE GALVANIZED ROOFING NAILS WITH A MINIMUM OF 12 GAUGE SHANK AND A MINIMUM 3/8" DIAMETER HEAD
- FASTENERS ARE TO BE LONG ENOUGH SO AS TO PENETRATE THE SHINGLES AND STILL PROTRUDE AT LEAST 3/4" INTO OR THROUGH THE ROOF SHEATHING. USE 1" NAILS MINIMUM.

## GENERAL STRAPPING NOTES

- ALL EXTERIOR WALLS TO BE SHEAR WALLS WITH NAILING PATTERNS: 7/16" OSB 3" EDGE NAILS AND 12" FIELD NAILS
- 5/8" GALVANIZED ANCHOR BOLTS @ 24" O.C. MAXIMUM AT EXTERIOR AND SHEAR WALLS UNLESS OTHERWISE NOTED
- CONTINUE QUICK TIES TO SECOND FLOOR T.P. WHERE APPLICABLE
- THE DOWN TO EACH HEADER WITH:  
(1) W/2x4 @ EACH END OF HEADER  
(1) L212 @ EACH END OF HEADER  
L212 @ 48" O.C. ACROSS HEADER
- INSTALL SIMPSON TYPE AND OR EQUAL (1) H10A OR (2) H2.5 @ EACH RAFTER TO TOP PLATE

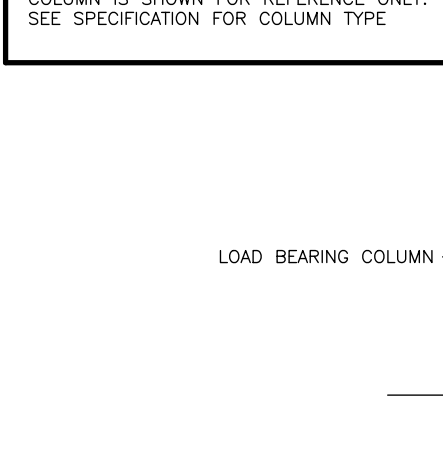


## TYPICAL CLIPS - ANCHOR BOLT

SCALE: N.T.S.

S - 102 - 6

NOTE: COLUMN IS SHOWN FOR REFERENCE ONLY. SEE SPECIFICATION FOR COLUMN TYPE



## TYPICAL COLUMN TIE DOWN

SCALE: N.T.S.

S - 101 - 5

## GENERAL CONSTRUCTION NOTES

- WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES - ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WEATHER SHOWN IN THESE DOCUMENTS OR NOT.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY THE FUNDING INSTITUTION. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT AND THE DESIGN TEAM LEADER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK WITH ALL TRADED INVOLVED WITHIN THE CONTRACT SCOPE OF THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT - DESIGN TEAM LEADER AND OR THE STRUCTURAL ENGINEER PRIOR TO ANY CONSTRUCTION OR FABRICATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IRC 2006 CODE, OSHA, AIA, AISC AND AISC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS
- THE GENERAL CONTRACTOR SHALL REFER TO THE DESIGN TEAM, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND OR BENEATH SLABS.
- THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE THROUGH ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED AS A COMPLETED STRUCTURED WILL NEED TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION.
- ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOIST AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING BEING REMOVED.
- TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY ON THE GENERAL CONTRACTOR AND OR ENGINEER. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE DESIGN TEAM AND OR THE STRUCTURAL ENGINEER.

## SUBGRADE PREPARATION NOTES

REFER TO GEOTECHNICAL REPORTS FOR ALL SOIL INVESTIGATION RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO ANY CONSTRUCTION ALL BUILDING AREA PLUS APPROXIMATELY FIVE FEET ON EACH SIDE OF THE STRUCTURE SHOULD BE STRIPPED OF ALL VEGETATION TOP SOIL ROOT SYSTEMS FOREIGN OBJECTS DEBRIS AND ANY EXISTING PAVEMENT

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER POUNDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUNOFF.

IF NECESSARY THE SITE DRAINAGE WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DRAINAGE METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM ARCHITECT AND STRUCTURAL ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE SHOULD BE RELOCATED AND THE TRENCHES BACK FILLED WITH ADEQUATE SUITABLE BACK FILL SOIL. THE BACK FILL IS TO BE PLACED SIX INCH THICK LIFTS AND COMPACTED TO A 98% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE LEVELED COMPACTED AND TREATED FOR TERMITES.

ALL EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL SOIL UNDER FOOTINGS AND SLABS HAVE REACHED A DENSITY OF 98% IN ACCORDANCE WITH ASTM-D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF FOOTINGS AND SLABS.

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSTABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERGO TO FIRM SOIL AND THE EXCAVATED AREA BACKFILLED WITH APPROVED FILL COMPACTED TO 98% OF ITS DENSITY IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHALL CONSIST OF A CLEAN FREE DRAINING SAND WITH A MAXIMUM OF 15% FINE. THE FILL WILL BE FREE OF ROOTS, CLAY, LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS ASSUMED TO BE 2500 PSF. OWNER SHOULD CONTRACT WITH GEOTECHNICAL ENGINEER TO VERIFY ACTUAL BEARING PRESSURE.

## CAST IN PLACE CONCRETE FOOTINGS FOUNDATIONS AND FLOOR SLABS

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 318

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION, FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 308.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM - ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT TIME OF CONSTRUCTION

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISHES FOR SURFACES INTENDED TO RECEIVE BROAD APPLIED FINISHES. TROWEL FINISH FOR EXPOSED INTERIOR SURFACES, NONSTOP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHED SHALL BE A MINIMUM CLASS B TOLERANCES EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 305.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615 GRADE 60.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STANDARD CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST THE GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH SIDE AND END AND MUST BE WIRED TOGETHER.

ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.

HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE REINFORCEMENT BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.

## WALL FLOOR ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED OUT OR BOARD REFER TO IRC 206 CODE SSTD 10-99 AND AISC MANUAL FOR ALLOWABLE CUTTING NOTCHES AND BORING OF FRAMING MEMBERS TRUSSES SHALL NOT BE CUT NOTCHED OR BOARD WITHOUT ENGINEERS WRITTEN APPROVAL

THE ENGINEERING OF FRAMING MEMBERS SI BASED ON #2 SPUCE OR #2 SOUTHERN YELLOW PINE FB=1200 PSI E=1,200,000 PSI SUBSTITUTION MUST BE APPROVED BY THE ENGINEER BEFORE USING

ALL CONNECTION STEEL ANGLES PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A-153.

ALL LUMBER IN CONTACT WITH CONCRETE MASONRY GROUND OR OTHERWISE NOTED ON THE DRAWING SET WILL BE PREASURE TREATED IN ACCORDANCE WITH AWPA STANDARD LP-2.

ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108 WILL BE CLASSIFIED AS "EXTERIOR" APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.

WALL AND ROOF SHEATHING WILL BE NAILED WITH 8D NAILS (TWISTED SHANK) 3" O/C AROUND EDGES AND 6" O/C IN FIELD SEE DIAGRAM

## GLAZED OPENINGS GENERAL NOTES

WINDOWS GLASS DOORS AND SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.

ALL GLAZING IN DOORS WINDOWS SKYLIGHTS SHALL BE TESTED FOR LARGE MISSILE IMPACT RESISTANCE AS NOTED BELOW. OPTION FOR TWO STORY OR LESS WOOD FRAME STRUCTURE, WOOD STRUCTURAL PANELS FOR 8'-0" PANELS MUST BE PRECUT TO SIZE AND ATTACHMENT HARDWARE PROVIDED. 3" LONG 1/4" DIAMETER SIMPSON SCREWS AT 12" O.C. AT PERIMETER OF PANEL EACH PANEL SHALL BE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER (IRC 301.2.1.2 AND SSTD 1099.604)

TEST REQUIREMENTS NOTES:  
WINDOWS ARE TESTED IN ACCORDANCE WITH AAMA 101/15.2.97 SPECIFICATIONS  
TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM E1886/E1996  
TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2  
DEGLAZING TESTED TO ASTM E987  
TESTED WATER RESISTANCE TO ASTM E 283  
TEST REPORTS AVAILABLE UPON REQUEST

## STRUCTURAL NOTES

SCALE: N.T.S.

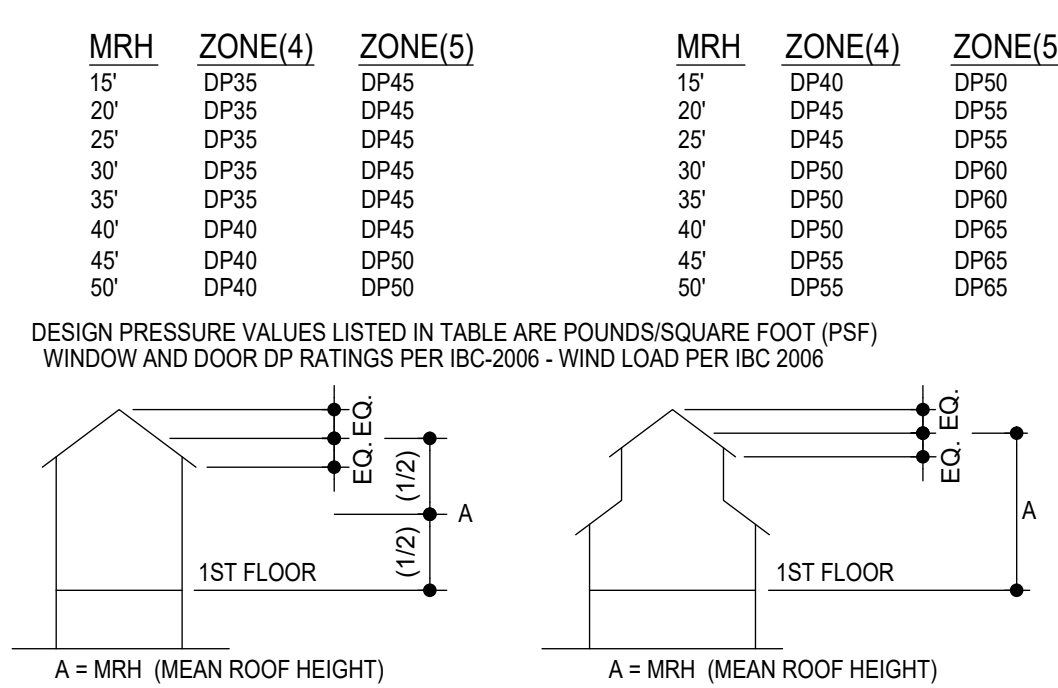
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## GENERAL DESIGN CRITERIA

### DESIGN CRITERIA

FOR ONE AND TWO FAMILY DWELLINGS		
1. FLOOR DEAD LOADS:	PARTITIONS FIXED EQUIPMENT FINISHES	20 PSF ACTUAL WEIGHT ACTUAL WEIGHT
2. FLOOR LIVE LOADS:	OFFICE/ASSEMBLY ATTIC W/ STORAGE ATTIC W/O STORAGE DECKS BALCONIES GUARDRAILS & HANDRAILS	40 PSF 20 PSF 10 PSF 40 PSF 60 PSF 200#
3. ROOF DEAD LOAD:	ROOFING DECKING INSULATION HANGING & MISC. FRAMING CEILING FIXED EQUIPMENT	2.0 PSF 2.0 PSF 6.0 PSF 9.0 PSF 5.0 PSF 5.0 PSF ACTUAL WEIGHT
4. ROOF LIVE LOADS:	TRIBUTARY AREA: 0 TO 200 SF 201 TO 600 SF  OVER 600 SF	LIVE LOAD: 20 PSF $L_f = 20 \times R$ $R_f = 1.2 - 0.001 A$ (400 SF 16 PSF) 12 PSF
5. WIND LOAD:	3 SECOND GUST WIND SPEED $V$ (FIG. 1609) EQUIVALENT BASIC WIND SPEED (TAB. 1609.3.1)	$3s = 140$ MPH $V_{fm} = 114$ MPH ROOF NET UPLIFT = 20 PSF

DESIGN PRESSURE VALUES LISTED IN TABLE ARE POUNDS/SQUARE FOOT (PSF)  
WINDOW AND DOOR DP RATINGS PER IBC-2006 - WIND LOAD PER IBC 2006



A = MRH (MEAN ROOF HEIGHT)  
A = MRH (MEAN ROOF HEIGHT)  
6. SEISMIC CRITERIA: (2018 IBC - SECT. 1613)  
SITE CLASSIFICATION: SITE CLASS "D"  
AVERAGE "N" VALUES: BETWEEN 15 TO 50  
SPECTRAL RESPONSE ACCELERATION:  
SITE COEFFICIENT VALUES:  $F_a = 1.1$ ,  $S_s = 1.0$ ,  $S_1 = 0.3$   
BUILDING DESIGN CATEGORY "C"

## WINDOW AND DOOR OPENING NOTES

SCALE: N.T.S.

S - 101 - 3

WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.  
ALL GLAZING IN DOORS, WINDOWS, OR SKYLIGHTS SHALL BE TESTED FOR "LARGE MISSILE IMPACT RESISTANCE" AS NOTED BELOW. OPTION: PROVIDE WOOD STRUCTURAL PANELS FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" INCHES AND A MAXIMUM SPAN OF 8' PANELS MUST BE PRECUT TO SIZE, AND ATTACHMENT HARDWARE PROVIDED. (3" LONG, 1/4" DIAMETER SIMPSON SCREWS AT 12" O.C. AT PERIMETER OF PANEL). EACH PANEL SHALL BE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER. (IRC 301.2.1.2 AND SSTD 10-99, 604).

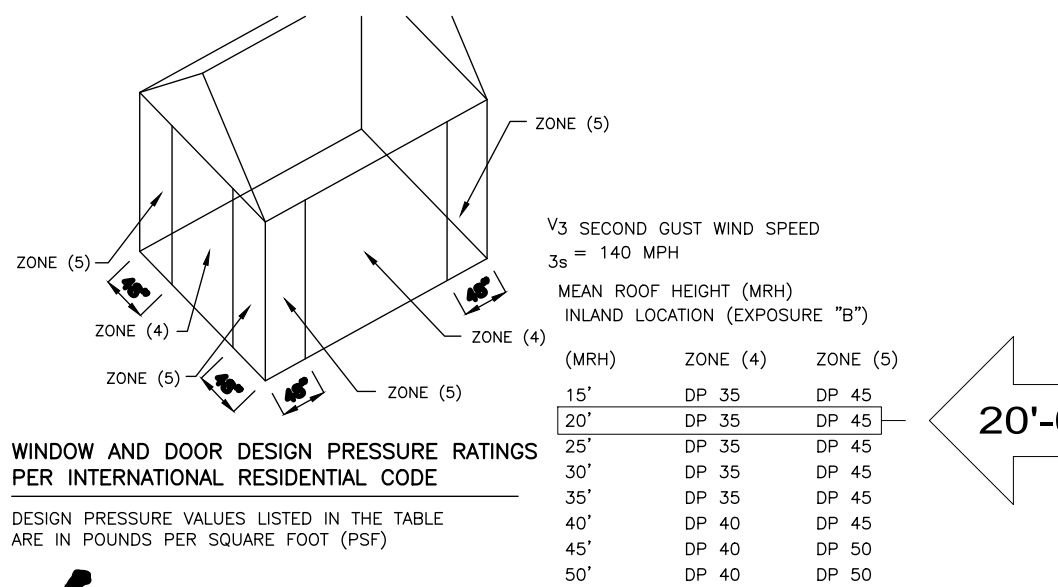
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- TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2.  
- DEGLAZING TESTED TO ASTM E987.  
- TESTED WATER RESISTANCE TO ASTM E547/331.  
- TESTED AIR INFILTRATION TO ASTM E 283.  
- TEST REPORTS AVAILABLE UPON REQUEST

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2. IF APPROVED DOORS, WINDOWS, OR SKYLIGHTS ARE NOT USED, THEN WOOD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" INCHES AND A MAXIMUM SPAN OF 8 FEET. PANELS MUST BE PRECUT TO SIZE WITH ATTACHMENT HARDWARE PROVIDED AND NUMBERED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. (IRC 301.2.1.2 AND SSTD 604)

## GLAZED OPENING GENERAL NOTES

SCALE: N.T.S.

S - 101 - 2



WINDOW AND DOOR DESIGN PRESSURE RATINGS PER INTERNATIONAL RESIDENTIAL CODE

DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)

## WINDOW AND DOOR OPENING NOTES

SCALE: N.T.S.

S - 101 - 1



## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

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### STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
VSB = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018  
ZONE C

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. FOR SURVEY  
N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

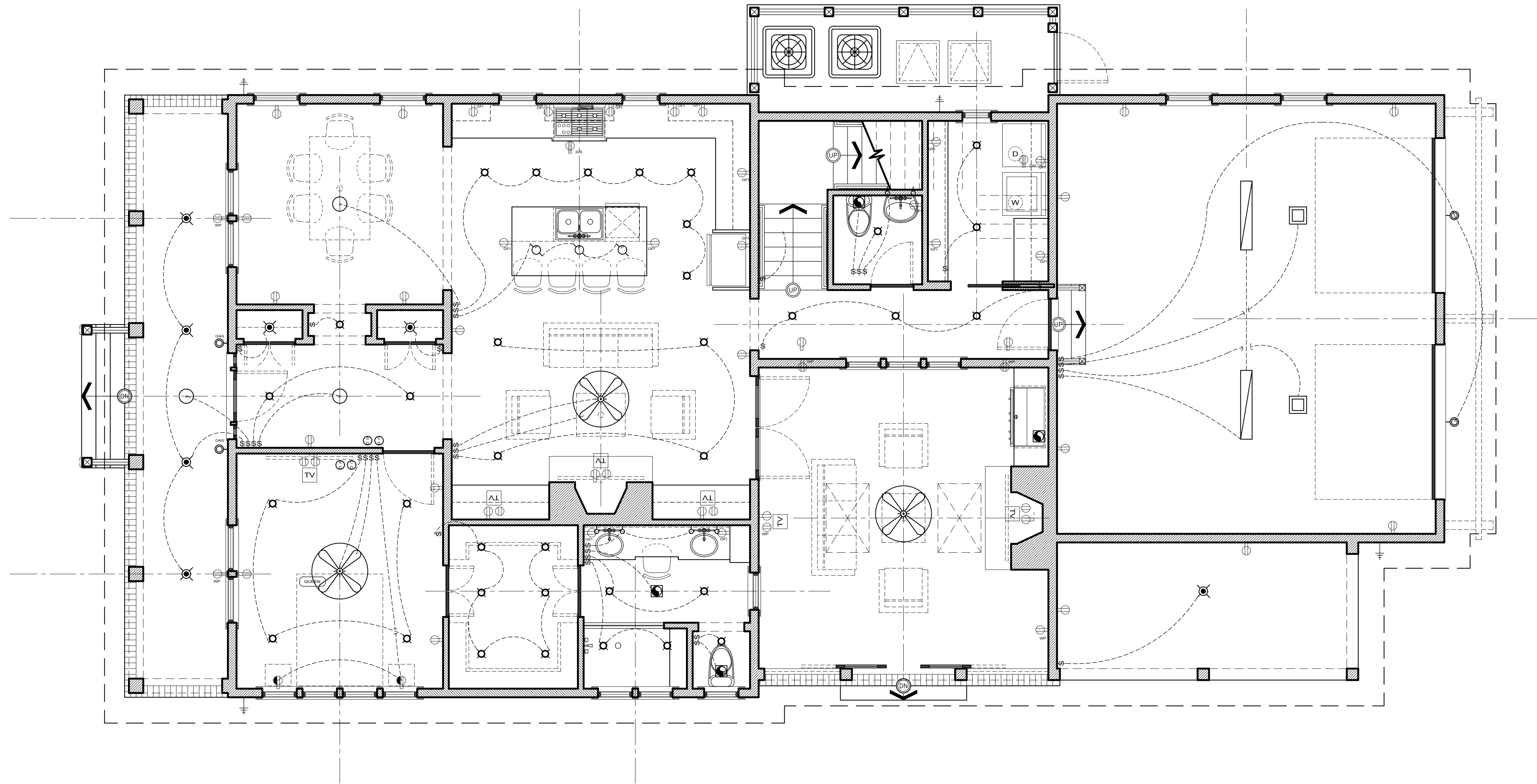
STRUCTURAL GENERAL NOTES

24 x 36

A.R.B. REVIEW

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OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

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I.R.C. - 2018  
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ELECTRICAL INDEX

- DUPLEX RECEPTACLE 12" A. F. F.
- DUPLEX FLOOR RECEPTACLE
- DUPLEX W/ OUTLET SWITCHED
- WATER PROOF RECEPTACLE
- GROUND FAULT INTERRUPTER
- 220 VOLT OUTLET
- SINGLE POLE SWITCH 48" A. F. F.
- DOOR ACTIVATED SWITCH
- DOORBELL BUTTON
- CHIME
- TELEPHONE JACK
- CABLE TELEVISION JACK
- J BOX
- SCONCE
- DECORATIVE LIGHT FIXTURE
- RECESSED CEILING MOUNTED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- DIRECTION TYPE SPOT LIGHT
- CEILING COVE LIGHTS
- PORCELAIN LAMP BARE BULB INCANDESCENT
- EXHAUST FAN / LIGHT COMBINATION
- FLOOD LIGHTS
- MOTION FLOOD LIGHTS
- LOW VOLTAGE UNDER COUNTER LIGHT
- SPEAKER
- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE  
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES  
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

GENERAL PROJECT NOTES

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FLOOD ZONE PER SURVEY

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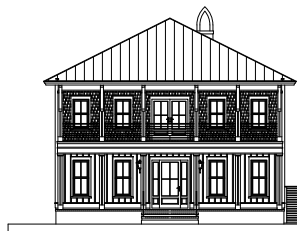
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STRUCTURAL ENGINEER SEAL



FIRST FLOOR ELECTRICAL PLAN

24 x 36

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TABBY HOUSE

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TOWN OF BLUFFTON

22 - 018  
01.28.2025

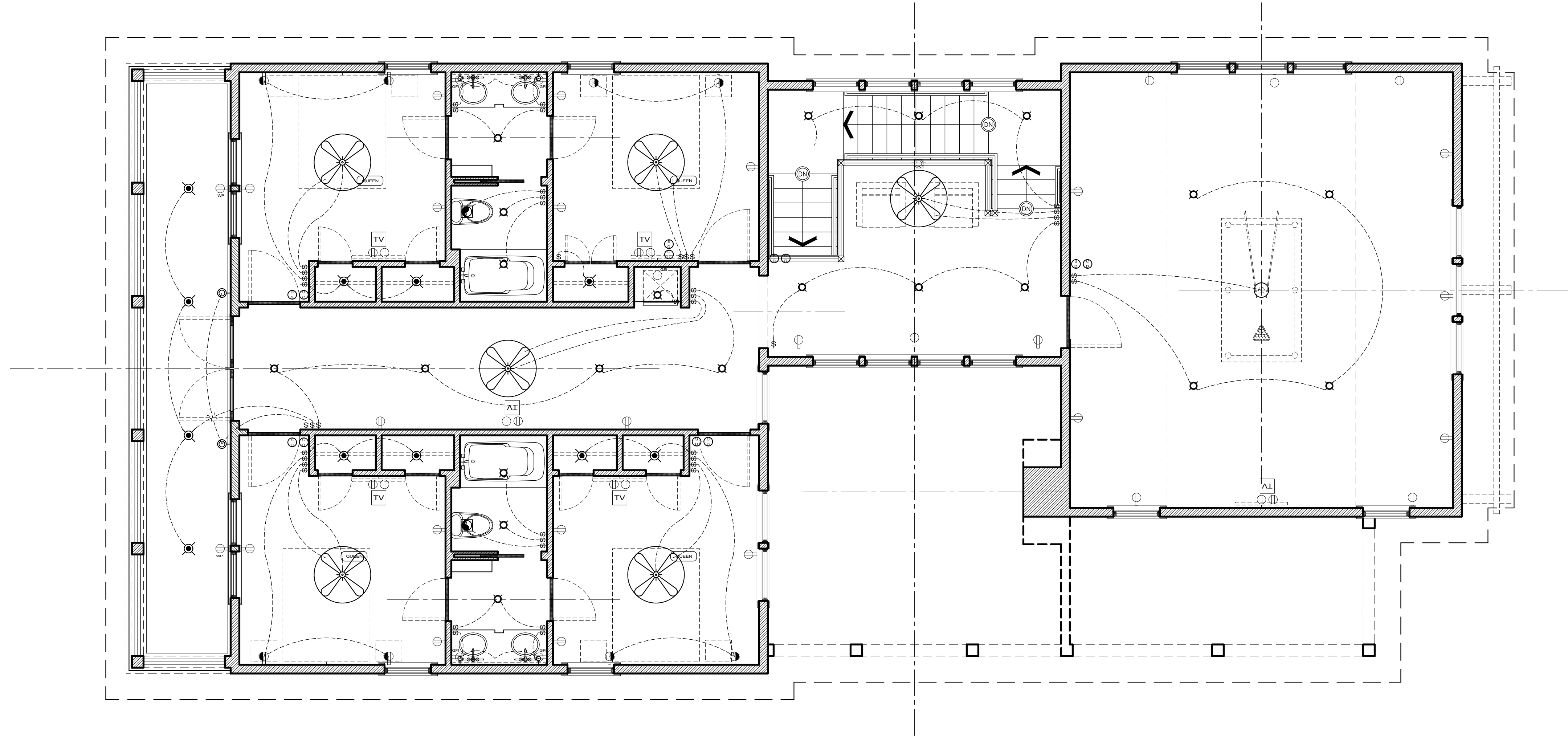
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OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

DRAWING NOTES

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- WATER PROOF RECEPTACLE
- GROUND FAULT INTERRUPTER
- 220 VOLT OUTLET
- SINGLE POLE SWITCH 48" A. F. F.
- DOOR ACTIVATED SWITCH
- DOORBELL BUTTON
- CHIME
- TELEPHONE JACK
- CABLE TELEVISION JACK
- J BOX
- SCONCE
- DECORATIVE LIGHT FIXTURE
- RECESSED CEILING MOUNTED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- DIRECTION TYPE SPOT LIGHT
- CEILING COVE LIGHTS
- PORCELAIN LAMP BARE BULB INCANDESCENT
- EXHAUST FAN / LIGHT COMBINATION
- FLOOD LIGHTS
- MOTION FLOOD LIGHTS
- LOW VOLTAGE UNDER COUNTER LIGHT
- SPEAKER
- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX
- CEILING FAN WITH LIGHT (OPTIONAL)

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE  
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES  
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

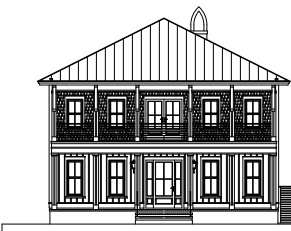
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
01.28.2025

REV

E - 101

14 - 14 SINGLE USE ONLY

Page 32

0 1' 4' 8' 16'

Tree Removal Application Narrative - 34 Tabby Shell Rd

We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage in the Tabby Roads community. The lot is approximately .11 acres and is wooded.

We have included with this application our drainage & grading plan and future landscape plan. The trees that we propose to remove are x'd in black. The trees (5) that we intend to keep are circled in red. The remaining trees within the property boundaries will need to be removed. The size and orientation of the lot limits our available site plan options. In order to construct a main house, garage, and driveway we must remove approximately 30 trees (20 Pines, 6 Gumtrees, 2 LOK & 1 WOK). Of these, none are categorized as mature, historic trees and all are 24 inches or less in diameter.

With goals to minimize disturbance to the vegetative community and to protect the Town of Bluffton's tree canopy, we have coordinated with our landscape designer to satisfy the 75% canopy coverage by planting as many trees as needed.









# ATTACHMENT 7 PLAN REVIEW COMMENTS FOR COFA-03-24-019047

Section VII. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
TABBY ROADS PHASE 1

**Plan Type:** Historic District **Apply Date:** 03/15/2024  
**Plan Status:** Active **Plan Address:** 34 Tabby Shell Rd Road  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 000 1198 0000  
**Plan Description:** A request by Clear Cut Construction, on behalf of the owner, William Glover, for the review of a Certificate of Appropriateness-HD to allow the construction of a new 2-story Single Family Residential Structure of approximately 2,325 SF and Carriage House structure of approximately 1,174 SF, located at 34 Tabby Shell Road, Lot 18 in the Tabby Roads Development, in the Old Town Bluffton Historic District, within the Neighborhood General - HD zoning district.  
**Status:** The Application is being reviewed and has been placed on the April 15, 2024 HPRC Agenda.

## Staff Review (HD)

**Submission #: 1** Received: 03/15/2024 Completed: 04/12/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/08/2024	Matthew Michaels	Approved with Conditions

### Comments:

1. Water and Sewer services are already installed at property corner. Please reach out to Mandy Anderson (BJWSA's New Service Coordinator) to set up the account and pay fees.

Growth Management Dept Review (HD)	04/12/2024	Katie Peterson	Approved with Conditions
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### Comments:

1. As there are trees proposed for removal larger than 14" DBH, a Tree Removal Permit required. (UDO 3.22)
- 2 .SF needs to be updated to include all enclosed SF.
3. Doors are permitted to be Wood, Metal or Metal-Clad. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for doors provided the UDO Administrator determines that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. The application proposes the front door to be wood, but all other exterior doors to be vinyl, which is not permitted. Revise door material to a permitted material. Should a wood composite door be proposed, a material sample must be provided of the door material at time of final submittal for consideration. (UDO 5.15.6.I.2.b.)
4. At time of final submittal, HARB Approval must be provided. (Application Manual)
5. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. Currently, there are 9 different window sizes proposed, with 8 proportions, along with 4 different lite patterns on the doors, which do not appear to match any of the window lite proportions. Reduce the number of pane variations to provide better a proportional relationship between the elements. (UDO 5.15.5.F.4.)

HPRC Review	04/12/2024	Katie Peterson	Approved with Conditions
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### Comments:

Comments may be provided at HPRC meeting by reviewers.

Watershed Management Review	03/28/2024	Samantha Crotty	Approved with Conditions
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### Comments:

Comments may be provided at time of building permit/stormwater permit submittal.

**Comments:**  
No comments

**Plan Review Case Notes:**



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	February 5, 2025
<b>PROJECT:</b>	COFA-11-24-019458 17 Lawrence Street New Two-story Carriage House
<b>APPLICANT:</b>	Christopher Epps (InCircle Architecture)
<b>PROPERTY OWNERS:</b>	Jay & Lori Sofianek
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant requests that the Historic Preservation Commission approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new two-story Carriage House of approximately 1,199 enclosed square feet. The property is zoned Neighborhood General-HD (NG-HD).

**INTRODUCTION:** The proposed Carriage House is a two-story structure under a side-facing gable with an upper-story residence over a two-bay garage. The Carriage House will have a footprint of 662 square feet and 1,199 square feet. The second-floor residence will be accessed by an exterior wood staircase. The exterior siding is proposed to be horizontal, smooth cementitious fiberboard. The main roof structure will consist of architectural asphalt shingles and the “lean-to” roof and awnings will be standing seam metal.

The location of the structure complies with the side and rear yard setbacks for the NG-HD district. Both the staircase and the second floor porch are permitted to encroach into the setback (UDO Sec. 9.3.D.4.) but must be (and are) at least three (3) feet from the property line.

A 42-inch live oak tree is located approximately 15 feet in front of a portion of the proposed Carriage House location. As the tree requires protection and may affect access to the left bay, the Site Plan should be revised to show the proposed driveway reconfiguration and proximity to the tree.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the December 16, 2024 meeting. HPRC comments are provided as Attachment 6.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

**1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed building has been designed to be sympathetic to the architectural character of the neighboring structures and will enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed Carriage House contributes to the district as well as helps to provide completeness to the neighborhood and overall district.

**2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) **Railings** (UDO Sec. 5.15.6.H.3.d.): The stairwell will be wood, including balustrades and the top rail. The top rail is shown to be 2-inches in height but must be at least 2-¾ inches. Consider extending the top rail forward of the ground level stairwell posts to match main structure stairwell, and the use of caps on porch posts.
  - 2) **Gutters** (UDO Sec. 5.15.6.J.) Metal gutters are indicated on the project analysis but not shown on the plan set. Gutters must be shown on the final submission, and the metal must be copper, galvanized steel or aluminum (14-18 gauge) (Sec. 5.15.6.J.2.c.) in a rectangular, square or half-round configuration (Sec. 5.15.6.J.3.c.) and downspouts must match gutters in material and finish (5.15.6. J.1.b.).
  - 3) **Corner Boards** (UDO Sec. 5.15.6.N.3.): Corner boards must be beaded or have ¼ round inset trim mold. This is not shown on the wall section.
  - 4) **Soffit** (UDO Sec. 5.15.6.P.5.): The soffit material is not identified in the wall section. According to the project analysis provided on the COFA-HD application, it is either cementitious fiberboard or wood. The material and configuration (beaded or v-groove tongue and groove) must be identified with the final submission.
  - 5) **Brackets** (UDO Sec. 5.15.6.P.): Brackets are proposed underneath the awnings of ground and second-floor doors, as well as at the awning over the two-bay garage but details, including material, were not included and must be provided.
3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing, with revisions to address the items in #2 above, will be sensitive to the neighboring properties.

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure, including the extent to which its alteration or removal would be detrimental to the public interest.**

*Finding.* If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources;

therefore, the structure, with the recommended revisions, will have no adverse effect on the public interest.

5. **Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Show how the driveway will be reconfigured for access to the left bay of the Carriage House.
2. Provide a top rail that is a minimum of 2-¾ inches (UDO Sec. 5.15.6.H.3.d.).
3. Provide a beaded or ¼ round inset trim mold for the corner boards (UDO Sec. 5.15.6.N.3).
4. Identify soffit material and configuration (UDO Sec. 5.15.6.P.5).
5. Provide bracket details. (UDO Sec. 5.15.6.P.)
6. Show building materials indicated in the project analysis on the plan set, to include but not limited to door and window materials.

The Applicant may want to consider the following:

1. Extension of the top rail forward of the ground level stairwell posts to match main structure stairwell, and the use of caps on porch posts.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

**ATTACHMENTS:**

1. Location and Zoning Map
2. Application and Narrative
3. Site Photos
4. Site Info
5. Building Plans
6. HPRC Report

**Christopher R. Epps, AIA, NCARB**

Principle Architect  
 Incircle Architecture  
 PO Box 3378  
 Bluffton, SC 29910  
 843.593.9506  
[cre@incirclearchitecture.com](mailto:cre@incirclearchitecture.com)

**Kevin Icard**

Principal Planner – Growth Management  
 Town of Bluffton, South Carolina  
 20 Bridge Street  
 Bluffton, SC 29910  
 843.706.7802  
[dfrazier@townofbluffton.com](mailto:dfrazier@townofbluffton.com)

1/3/2025

• • •

**Re:** Pre-App. Meeting Request for COFA Approval at 17 Lawrence St. (R610 039 00A 0271 0000)

**Dear Mr. Icard,**

We are pleased to submit a pre-application meeting request for COFA (Certificate of Appropriateness) approval for the proposed development at 17 Lawrence Street, Bluffton, SC 29909, located within the Neighborhood General Historic District (NG-HD). This project aims to complement the existing residential structure by adding a two-story detached garage with a one-bedroom apartment on the second floor, contributing to the neighborhood's vibrant character while ensuring adherence to historic preservation standards.

**Project Overview**

- **Location:** 17 Lawrence Street, Bluffton, SC 29909  
 (Parcel ID: R610 039 00A 0271 0000)
- **Zoning District:** Neighborhood General Historic District (NG-HD)

**Project Vision:** The proposed project consists of a new 24' x 28' two-story detached garage, for a total footprint of approximately 662 sqft. And the total square footage is 1,199 sqft. The upper level of the structure will contain a one-bedroom apartment, integrating residential space that aligns with the neighborhood's mixed-use character.

**Key Design Components:**

- **Two-Story Detached Garage and Apartment:** The first floor will function as a garage, providing essential storage and parking, while the second floor will accommodate a one-bedroom apartment. This approach enhances the mixed-use potential of the property while preserving the historic district's character.



- **Architectural Conformance:** The proposed structure will be designed to align with the architectural guidelines specified in the UDO for Bluffton's Historic District, with attention given to building height, façade materials, and roof pitch to ensure the new development complements the existing historic aesthetic of the neighborhood.
- **Historic Compliance:** This project will adhere to the historic preservation codes of the Town of Bluffton as outlined in the UDO, particularly regarding compatibility of materials, massing, and scale in relation to neighboring structures. Recognizing the importance of maintaining the historic character of Bluffton, our design approach prioritizes compatibility with the existing historic fabric of the area.

**Documents Attached:**

- Narrative
- COFA Form
- Email with Property Owner Consent
- Site Photos

**Via Separate Submittal**

- Existing Site Survey
- Concept Site Plan
- Conceptual Building Plans

**Application Scope:** This application is specifically for architectural approval, and a phased approach will be undertaken for planning and construction components. We understand that each phase must receive the appropriate level of detail and review to ensure compliance with all applicable standards.

**Conclusion:** The proposed addition aims to enhance the property's functionality while preserving and contributing to the unique character of Bluffton's Historic District. We look forward to discussing this project further and are committed to working closely with the Town of Bluffton to ensure the development meets all community standards and expectations.

Thank you for your consideration of our pre-application request.

Sincerely,



**Christopher R. Epps, AIA, NCARB, CPTED**  
Principal Architect  
Incircle Architecture  
843.593.9506  
cre@incirclearchitecture.com

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**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer

Section VIII. Item #1.



20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Incircle Architecture - Christopher Epps		Name: Jay & Lori Sofianek	
Phone: 843.593.9506		Phone:	
Mailing Address: PO Box 3378, Bluffton, SC 29910		Mailing Address: 35 Woodfield Dr, Webster, NY 14580	
E-mail: cre@incirclearchitecture.com		E-mail: js Sofianek@gmail.com	
Town Business License # (if applicable): 24-03-047			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: 17 Lawrence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 17 Lawrence St, Bluffton, SC 29910		Amendment: <input type="checkbox"/>	
Zoning District: NG-HD		Application for:	
Acreage: .324		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 00A 0271 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: New construction of a 1199 SF Carriage House with 2-car garage.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 11.22.2024	
Applicant Signature: 		Date: 11.22.2024	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

Section VIII. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <b>mandatory</b> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
<b>Step 3. Review by UDO Administrator or designee and HPRC</b>	<b>Staff</b>
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VIII. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>			<b>CONCEPTUAL REVIEW</b>	<input checked="" type="checkbox"/>	<b>FINAL REVIEW</b>	<input type="checkbox"/>
<b>2. SITE DATA</b>						
Identification of Proposed Building Type (as defined in Article 5):						
Building Setbacks	Front:	Rear: 5	Rt. Side: 5	Lt. Side: 5		
<b>3. BUILDING DATA</b>						
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)		<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>		
Main Structure			2112			
Ancillary				1199		
Ancillary						
<b>4. SITE COVERAGE</b>						
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>			
Building Footprint(s)			1700.0			
Impervious Drive, Walks & Paths			582.6			
Open/Covered Patios			758.8			
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			3041.4			
<b>B. TOTAL SF OF LOT</b>			11570.45			
<b>% COVERAGE OF LOT (A/B= %)</b>			26.2			
<b>5. BUILDING MATERIALS</b>						
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	Concrete		Columns	PT Wood		
Walls	Hardie		Windows	Wood		
Roof	Architectural Asphalt / Metal		Doors	Wood		
Chimney			Shutters	PT Wood		
Trim	PT Wood		Skirting/Underpinning			
Water table	PT Wood		Cornice, Soffit, Frieze	Hardie / PT Wood		
Corner board	PT Wood		Gutters	Metal		
Railings	PT Wood		Garage Doors	Metal		
Balusters	PT Wood		Green/Recycled Materials			
Handrails	PT Wood					



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VIII. Item #1.

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Section VIII. Item #1.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Chris Epps  
Signature of Property Owner or Authorized Agent

01.03.2025  
Date

Christopher Epps - INCIRCLE ARCHITECTURE  
Printed Name of Property Owner or Authorized Agent

Chris Epps  
Signature of Applicant

01.03.2025  
Date

Christopher Epps - INCIRCLE ARCHITECTURE  
Printed Name of Applicant

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Christopher Epps &lt;cre@incirclearchitecture.com&gt;

---

**17 Lawrence St COFA**

2 messages

---

**Jay Sofianek** <jsofianek@gmail.com>  
To: Christopher Epps <cre@incirclearchitecture.com>

Tue, Sep 3, 2024 at 12:19 PM

Hi Chris,

I'm sending this to allow work to begin on 17 Lawrence St to obtain a COFA (Certificate of Appropriateness) and any necessary permits required for the carriage house (Garage and second floor apartment) as we have discussed in emails and on the phone.

I can be reached by email or cell 585 721 5155,

Thank you

Jay Sofianek

---

**Christopher Epps** <cre@incirclearchitecture.com>  
To: Jay Sofianek <jsofianek@gmail.com>

Tue, Sep 3, 2024 at 12:20 PM

Received, thank you.

**Christopher Epps, RA, NCARB, AIA, CPTED**

Incircle Architect - Principal

SC License: AR-9505

Email: [cre@incirclearchitecture.com](mailto:cre@incirclearchitecture.com)

Phone: (843) 593-9506

Cell: (843) 564-8622

**Please Note:**

If you have received this email outside of regular working hours, please keep in mind that managing work and life responsibilities varies and is unique for everyone. I have sent this email at a time that best suits my schedule. Please feel free to respond at a time that works best for you.

**DISCLAIMER:**

Any electronic files transmitted herewith are for your use on this particular project. Incircle Architecture makes no guarantees, express or implied, that the attached electronic data file is free from errors or omissions or is secure in its original content. This digital information is provided for your convenience and the preparation of other documents. The original prints from this office are the official records of this drawing and should be compared to the digital file before use. Incircle Architecture assumes no responsibility for damages resulting from the use of digital information.

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This electronic message and any attachments are the confidential property of Incircle Architecture. The information is intended only for the use of the person(s) to whom it is addressed. Any other interception, copying, accessing, or disclosure of this message is prohibited. If you have received this message in error, please immediately notify Incircle Architecture and purge the received message. Do not forward this message to anyone without permission.

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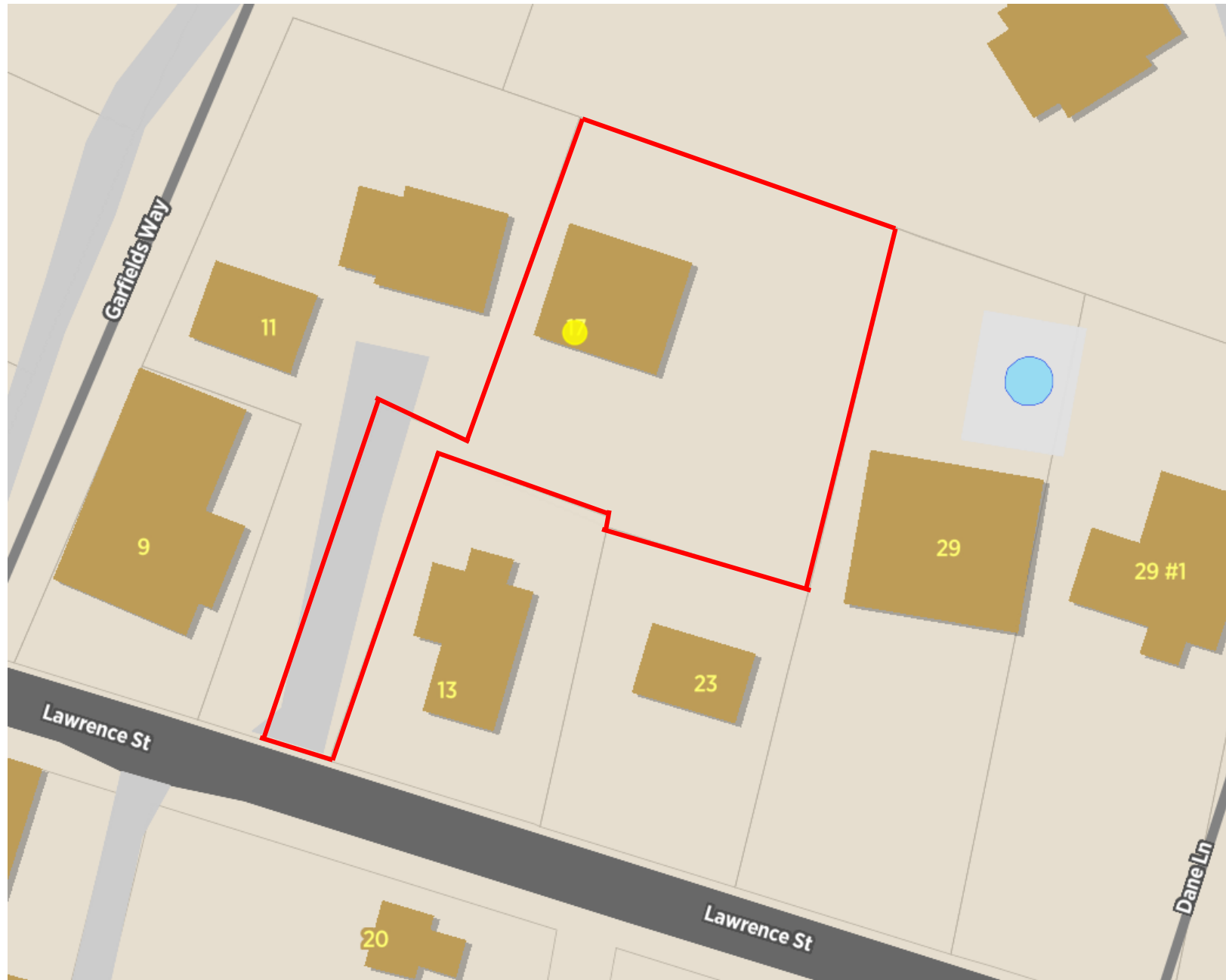


# LOCATION & ZONING MAP

Section VIII. Item #1.

## 17 Lawrence Street

Neighborhood General-HD District











































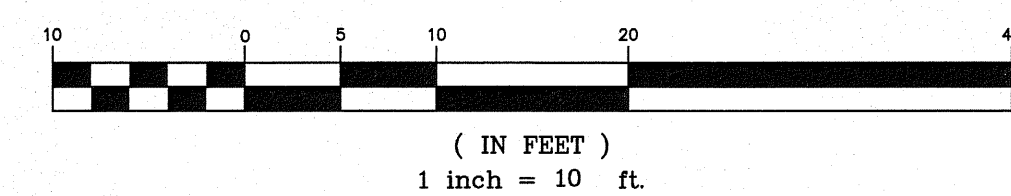




LOCATION MAP NOT TO SCALE

PARCEL 143  
#29

GRAPHIC SCALE



DRAWN BY: W.J.S

APPROVED BY: W.J.S

PARTY CHIEF: B.M.S

DATE: JUNE 27, 2024

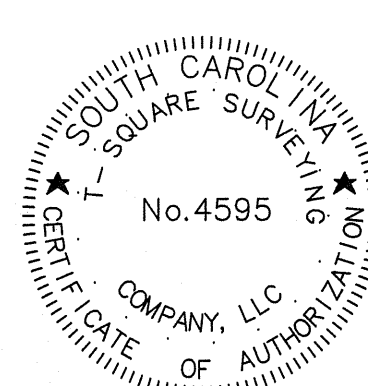
NOTES:  
 1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88  
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.  
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.  
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.  
 Reference Plat(s)  
 PLAT BOOK 111 AT PAGE 108

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

WEBB CONSTRUCTION

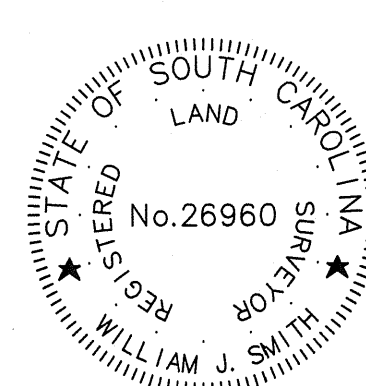
AN AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF LOT 4 LAWRENCE STREET, A PORTION OF THE HALL FAMILY TRUST SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 271



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

W.J. Smith  
 WILLIAM J. SMITH, PLS # 26960



T SQUARE SURVEYING  
 PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330  
 139 Burnt Church Road  
 Bluffton, S.C. 29910  
 tsquare@charleston.com

Phone 843-757-2650 Fax 843-757-5758

JOB No. 16-042ATR

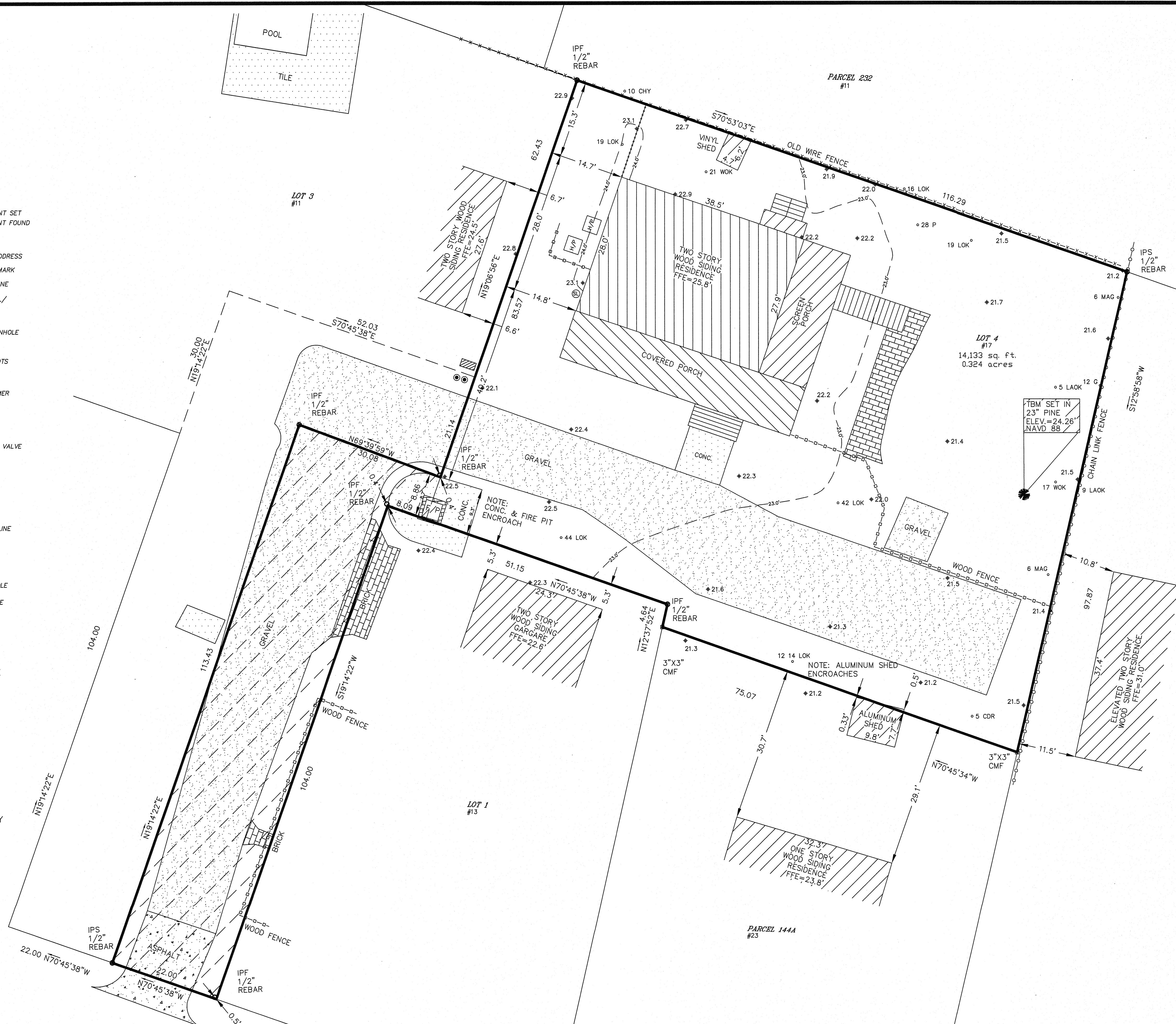
## LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
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- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

REFERENCE PLAT





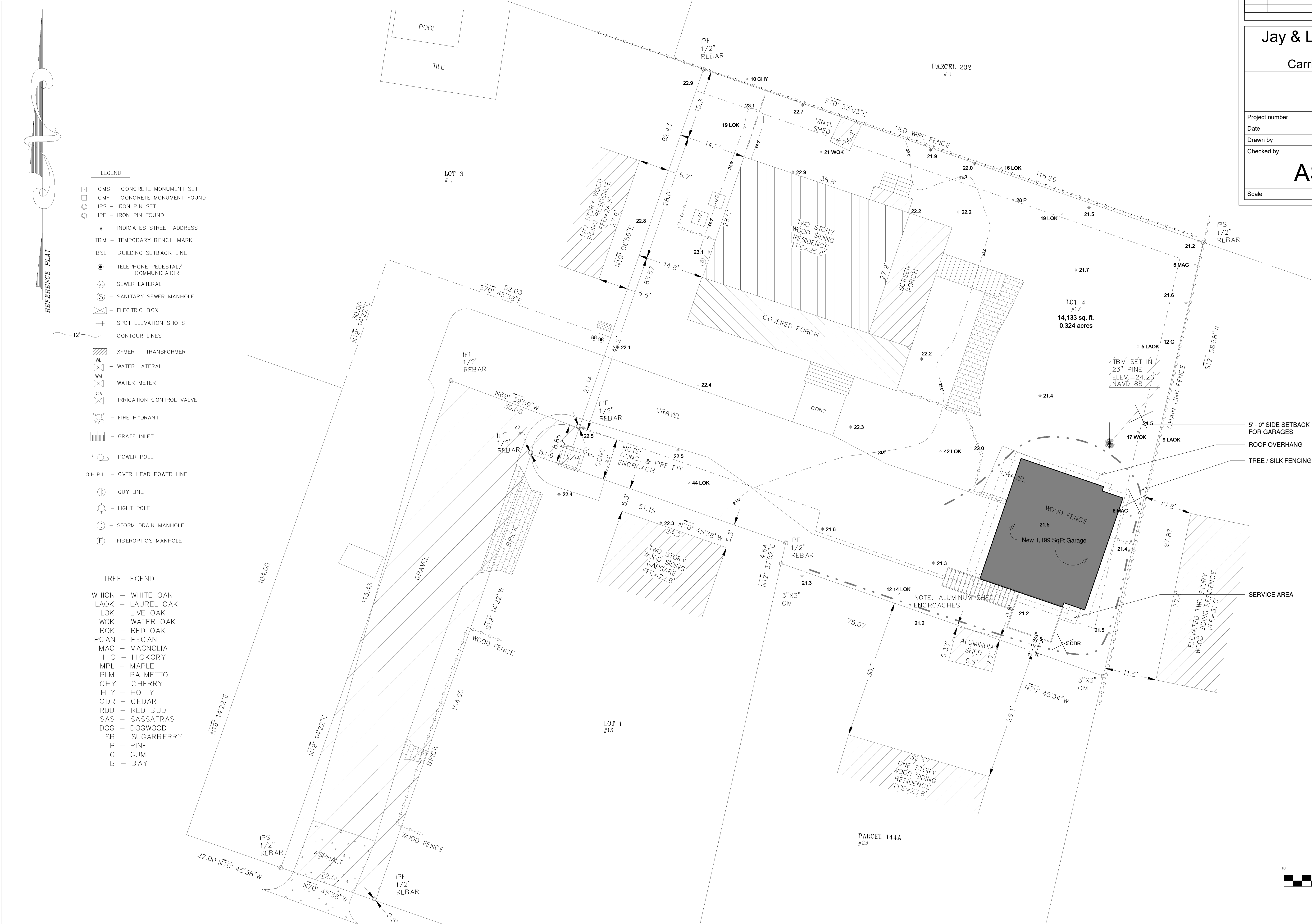
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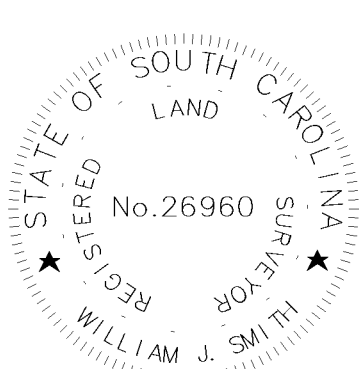
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No.	Description	Date
Jay & Lori Sofianek		
Carriage House Site		
Project number	2024_0904_001	
Date	06.04.2024	
Drawn by	CRE	
Checked by	CRE	
AS001		
Scale	1" = 10'-0"	

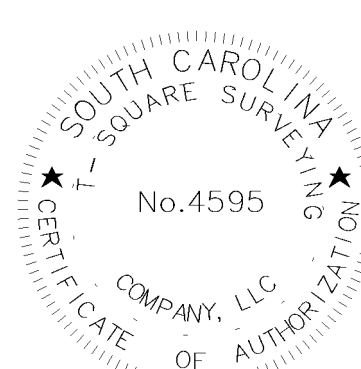


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tsquare@hargray.com  
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WILLIAM J. SMITH DIS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

**WEBB CONSTRUCTION**

AN AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF LOT 4 LAWRENCE STREET, A PORTION OF THE HALL FAMILY TRUST SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 271

**Notes:**

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A FT, NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
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4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):  
PLAT BOOK 111 AT PAGE 108

DRAWN BY: W.J.S.

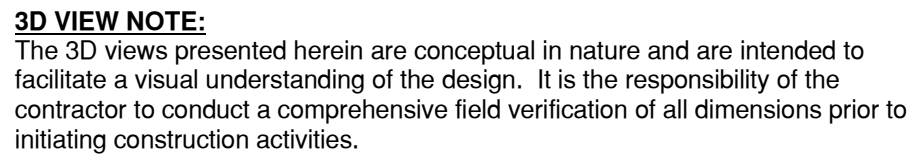
APPROVED BY: W.J.S.

PARTY CHIEF: B.M.S.

DATE: JUNE 27, 2024

17 Lawrence Street, Bluffton, SC 29909

Sheet List



SITE



## SITE

**NARRATIVE:**  
New construction of a 1199 SF Carriage House with 2-car garage

NARRATIVE

**New construction of a 1199 SF Carriage House with 2-car garage**

### PROJECT LOCATION

R610 039 00A 0271 0000  
17 Lawrence Street,  
Bluffton, SC 29909

Project Type: New Construction

Building Footprint Area: 662 +/- SqFt  
Total Building Area: 1199 +/- SqFt

### APPLICABLE CODES

2021 International Residential Code

**OWNER CONTACT**

JAY & LORI SOFIANEK  
35 WOODFIELD DR  
WEBSTER, NY 14580  
JSOFIANEK@GMAIL.COM

GENERAL CONTRACTOR

BRIAN WEBB  
WEBB CONSTRUCTION  
WEBBCONSTRUCTION96@GMAIL.COM  
843.247.7883

**LANDSCAPE DESIGNER**

TBD

**ARCHITECT**

INCIRCLE ARCHITECTURE  
PO BOX 3378  
BLUFFTON, SC 29910  
843.593.9506  
CRE@INCIRCLEARCHITECTURE.COM

**General Disclaimer:** These drawings and specifications, issued by the Architect, were created under a limited services agreement with the owner of the property. They delineate design intent and are intended to facilitate the construction of the described project. In scenarios where engineering input is integrated, the documents are to be utilized in conjunction with supplemental engineering documents. They do not serve as standalone construction documents, but rather as collaborative instruments encompassing architectural and engineering efforts. In instances where details may not be explicitly provided within these documents, it is incumbent upon the contractors and material/equipment suppliers to adhere to manufacturer specifications and employ best professional practices to ensure the integrity and functionality of the work.

Contractors and suppliers are responsible for conducting a thorough review of all project documents prior to finalizing their proposals. Any discovered discrepancies, errors, or omissions must be immediately communicated to Architect for clarification or amendment.

The general contractor for the project is responsible for the coordination of work amongst the various trades involved in the project. This responsibility encompasses adherence to all applicable local, state, and federal codes, regulations, and jurisdictional requirements, and to industry practices, irrespective of the level of detail provided in the project documents. The documents do not absolve the general contractor, subcontractors, or suppliers from the obligation of full compliance with all necessary requirements and standards for the project.

Upon initiating the building permit application process or commencing construction based on the documents herein, the owner explicitly agrees the liability of Incircle Architecture for and in connection with the project shall in no event exceed the total fees paid for professional services rendered to Incircle Architecture on this project. This limitation applies to all claims, losses, damages, or expenses that may arise in relation to the project.

In accordance with South Carolina regulations, Incircle Architecture hereby specifies that it has not been contracted to provide minimum construction administration services for this project, as outlined by Regulation 11-12.b.4 and 5.

**Regulation 11-2-b.4 and 5 State:**

(4) On a project where a building permit has been issued and the sealing Architect and the firm of record have not been engaged to perform at least Minimum construction administration services, as defined in subsection (5) below, the sealing architect and firm must report to the permitting authority and the building owner that he and the firm have not been so engaged. (5) the minimum construction administration services expected to be provided by the architect shall be defined as: (a) the architect shall be periodic and/or continuous observations of the construction progress and quality, review of contractor submittal data and drawings, and reporting to the building official and owner any violations of codes or substantial deviations from the contract documents which the Architect observed.

Sheet List				
Sheet Number	Sheet Name	Provided By	Sheet Issue Date	Current Revision Date
A001	Cover Page	Incircle Architect	01.03.2025	
AS001	Site	Incircle Architect	01.03.2025	
A101	Plans	Incircle Architect	01.03.2025	
A102	Electrical & Lighting Plans	Incircle Architect	01.03.2025	
S101	Foundation & Roof Plans	Incircle Architect	01.03.2025	
A251	Sections	Incircle Architect	01.03.2025	
A252	Schedules & Details	Incircle Architect	01.03.2025	
A301	Elevations	Incircle Architect	01.03.2025	
A302	Elevations	Incircle Architect	01.03.2025	
A303	Elevations	Incircle Architect	01.03.2025	
A304	Elevations	Incircle Architect	01.03.2025	
S001	Structure Notes	Incircle Architect	01.03.2025	
S002	Uplift, Framing Notes, & Foundation Notes	Incircle Architect	01.03.2025	

Grand total: 13

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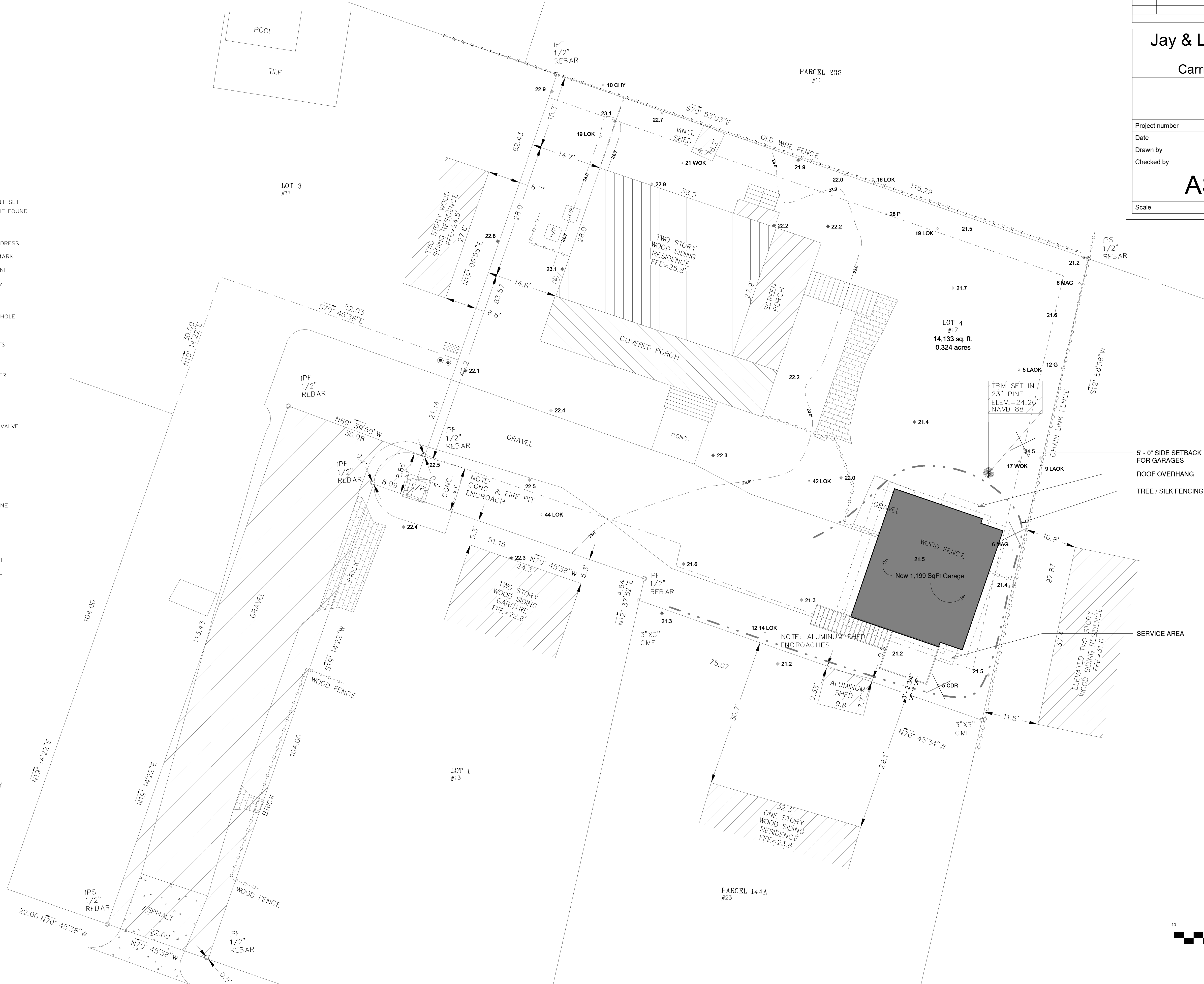
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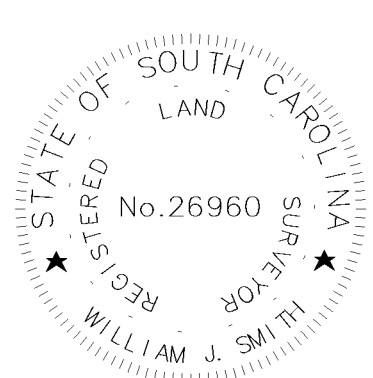
REFERENCE PLAT

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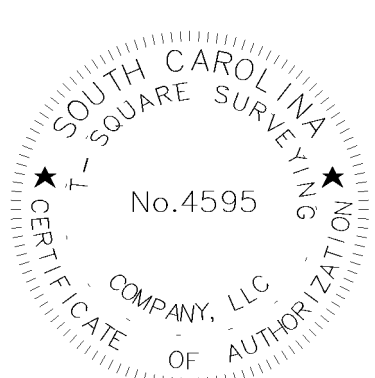


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WILLIAM J. SMITH DIS # 26960



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DIST. 610, MAP 39A, PARCEL 271

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4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):  
PLAT BOOK 111 AT PAGE 108

DRAWN BY: W.J.S.

APPROVED BY: W.J.S.

PARTY CHIEF: B.M.S.

DATE: JUNE 27, 2024

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

**ge House**  
**ori Sofianek**  
**reet, Bluffton, SC 29909**

# Carriage House

Jay & Lori Sofianek

Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909

**Architect:** Incircle Architecture      **Phone:** 843.593.9506      **Email:** CRE@incirclearchitecture.com      **Web:** incirclearchitecture.com

The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or discrepancies in the architect's documents. If errors or discrepancies are noticed within the construction documents and built as such, it is the contractor's responsibility to ensure that the satisfaction of the building owner, architect, and building inspector.

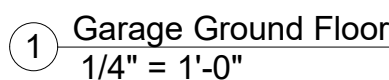
Copyright © 2024

Project number	2024_0904_00
Designed By	CR
Drawn By	CR
Checked By	CR

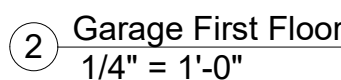
# A101

## Plans

<b>Issue Date</b>	01.03.2025
<b>Print Date</b>	1/3/2025 12:02:39 PM
<b>Scale</b>	1/4" = 1'-0"



1. **Bathrooms:** providing blocking for future grab bars and verify clearances for future wheelchair accessibility
2. **Dryer:** Dryer vent to be directed through wall or floor w/ cleanout then out through exterior wall.
3. **Walls:** all wood exterior walls are 2 x 6 studs, except for otherwise noted. All wood interior walls are 2 x 4 studs, except for otherwise noted.
4. **Dimensioning:** Dimensions provided are for preliminary planning purposes only and are intended to offer a general representation of design It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.

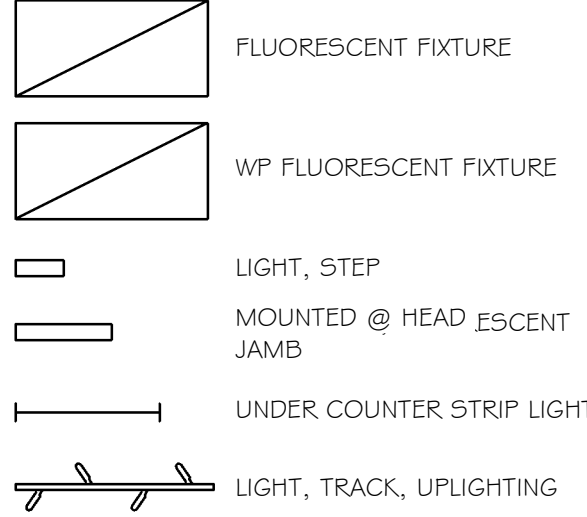


1. **Bathrooms:** providing blocking for future grab bars and verify clearances for future wheelchair accessibility
2. **Dryer:** Dryer vent to be directed through wall or floor w/ cleanout then out through exterior wall.
3. **Walls:** all wood exterior walls are 2 x 6 studs, except for otherwise noted. All wood interior walls are 2 x 4 studs, except for otherwise noted.
4. **Dimensioning:** Dimensions provided are for preliminary planning purposes only and are intended to offer a general representation of design It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.

Floor Schedule		
Area	Level	Comments
662 SF	Garage Ground Floor	Garage
537 SF	Garage First Floor	Heated
1199 SF		

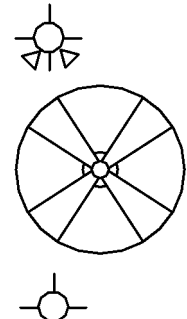


### LIGHT FIXTURES



UP

SECURITY FIXTURE WALL  
FLOOD LIGHTS  
GROUND SPOT FIXTURE  
SECURITY FIXTURE CLG  
  
CLG FAN  
  
CLG. MOUNTED FIXTURE



WEATHERPROOF CLG FIXTURE  
WALL MOUNTED FIXTURE  
WP WALL MOUNTED FIXTURE  
RECESSED CLG FIXTURE (5")  
WP RECESSED CLG FIXTURE  
PULL CHAIN CLG FIXTURE  
RECESSED ADJ. FIXTURE

RECESSED MINI CAN (4")

JUNCTION BOX, CLG MOUNT  
WITH ELECTRIC LIFT

ROPE LIGHTING

PENDANT FIXTURE / CHANDEL

WP PENDANT FIXTURE

POST LIGHTING

## SWITCHES

\$	SINGLE POLE SWITCH
\$ <sub>3</sub>	3- WAY SWITCH
\$ <sub>4</sub>	4- WAY SWITCH
\$ <sub>D</sub>	DIMMER SWITCH
\$ <sub>D</sub> <sup>3</sup>	3- WAY DIMMER SWITCH
\$ <sub>F</sub>	FAN SWITCH
\$ <sub>D</sub>	DOOR SWITCH
\$ <sub>WP</sub>	WEATHERPROOF SWITCH
\$ <sub>P</sub> <sup>3W</sup>	3-WAY WEATHERPROOF SWITCH

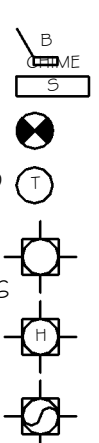
RECEPTACLES

DUPLEX RECEPTACLE  
QUAD RECEPTACLE  
RECEP. @ COUNTER HEIGHT  
RECEP. 1/2 SWITCHED  
RECEP. GROUND FAULT INSULATED  
RECEP. GFI/WEATHER PROOF  
RECEP. 220 VHERPROOF  
VOLT  
RECEP. FLOOR OUTLET  
(OWNER TO PROVIDE EXACT LOCATION)  
RECEP. RECESSED

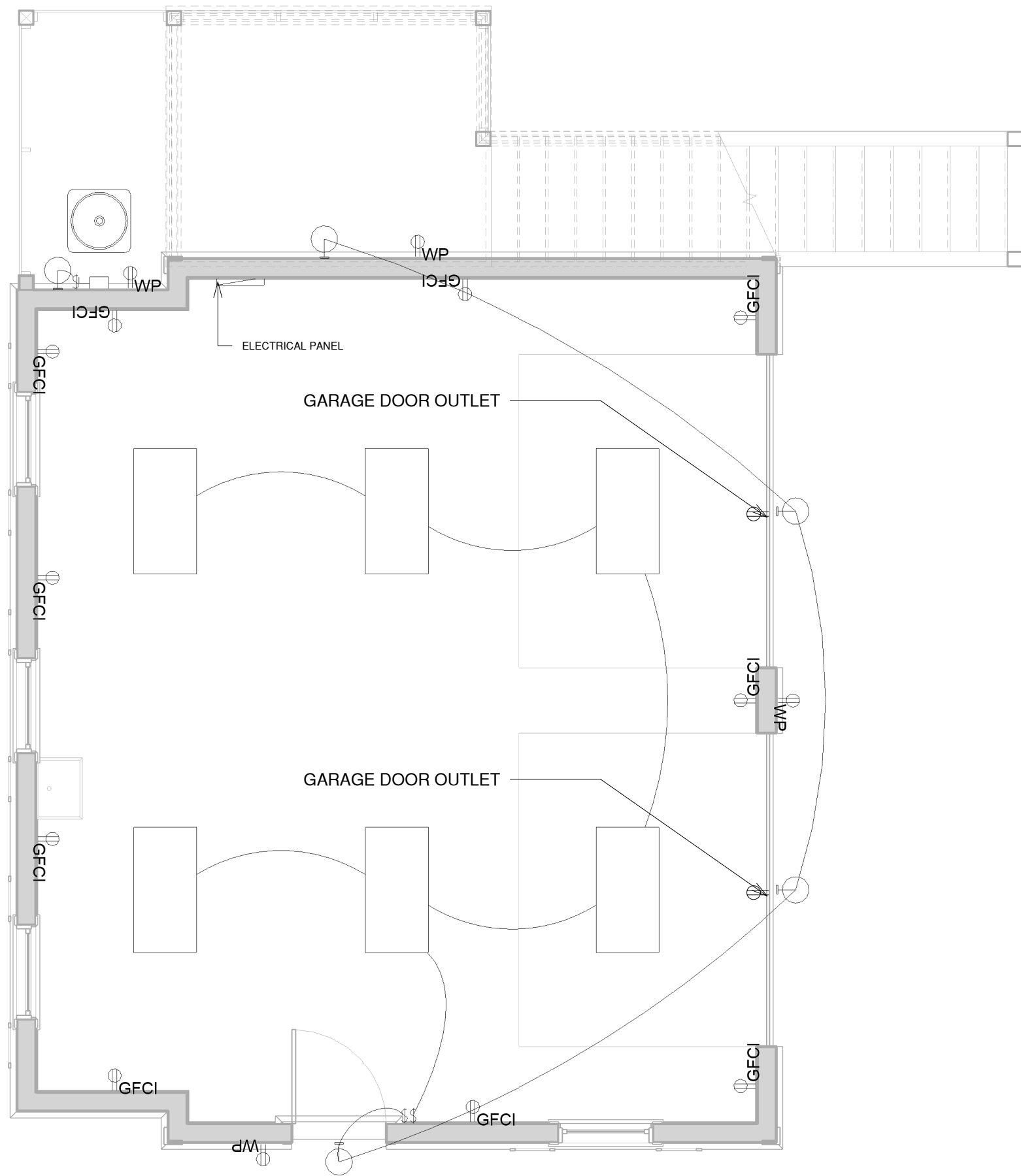
MISC.  
FIXTURES



SMOKE DETECTOR (PER CODE)  
GARAGE DOOR OPENER  
TELEPHONE OUTLET @ 16" A.F.F.  
TELEPHONE OUTLET WALL MOUNT  
COMPUTER OUTLET @ 16"  
A.F.F.  
STRUCTURED WIRE OUTLET @ 16"  
A.F.F. [(2)CAT5e,(2)OPTICAL,(2)R  
COAX]  
CABLE TV OUTLET  
ELECTRIC PANEL  
ELECTRIC METER



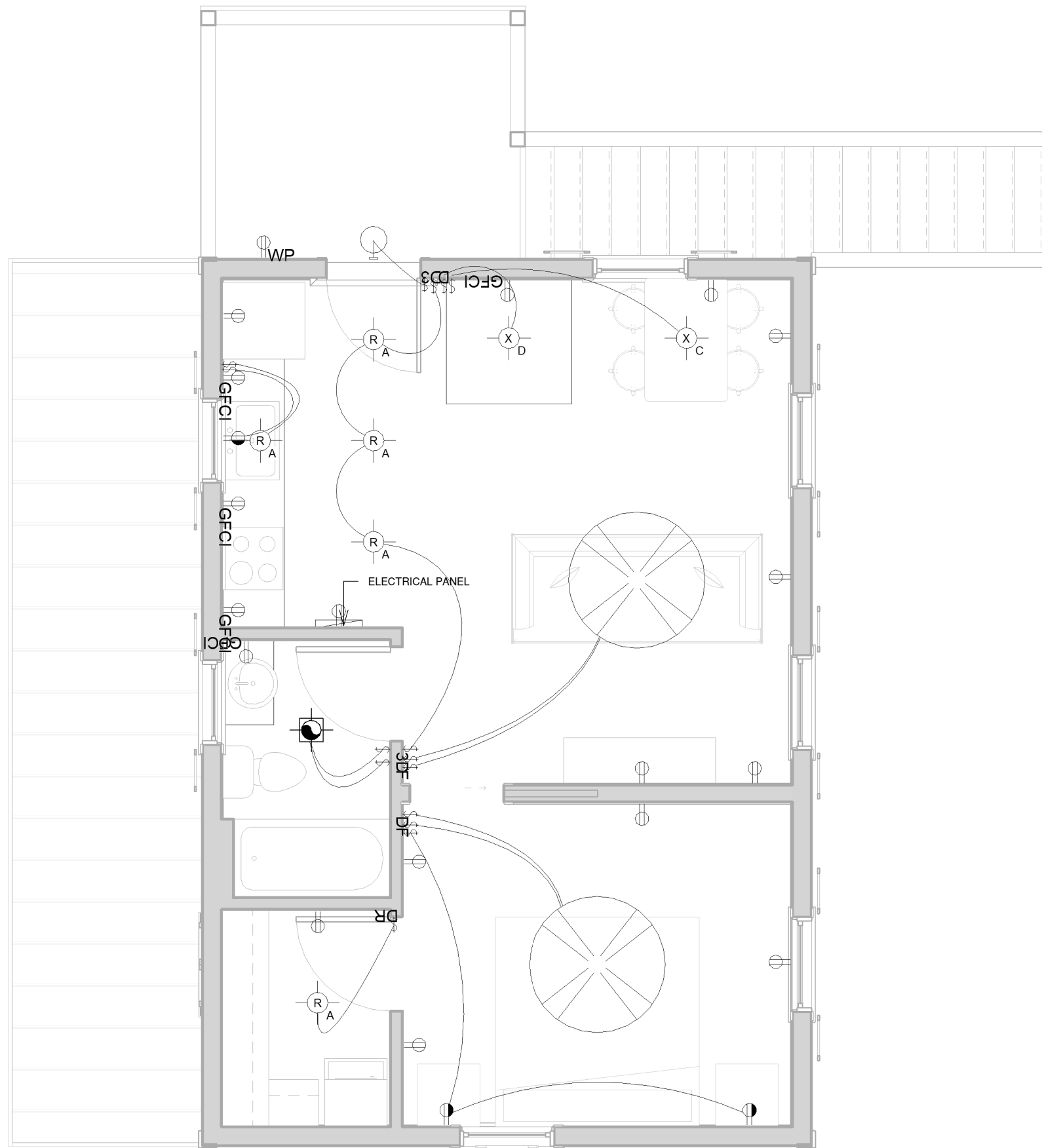
DOOR CHIMES  
EXIT SIGN  
THERMOSTAT  
EXHAUST FAN /FIXTURE  
HEAT/EXHAUST FAN /FIXTURE  
EXHAUST FAN



**NOTES:**

1. Plans provided are for illustrative purposes only; all fixtures and equipment should be field verified by the contractor in coordination with the owner.
2. Trust in contractor to finalize the placement of fixtures and outlets directly on-site during the construction phase.
3. Location of USB duplex device locations should be jointly managed by the owner and contractor.
4. Coordination of electrical installations for lifts requires coordination between the owner and the electrical contractor.
5. All 125-volt to 250-volt receptacles in garages must include ground-fault circuit-interrupter (GFCI) protection, particularly in areas susceptible to water.
6. Electrical fixtures in garages should be installed at elevations recommended by local floodplain management guidelines to mitigate flood risks.
7. In flood-prone or wet areas, receptacles must be weather-resistant and equipped with weatherproof covers to ensure sustained functionality and safety under adverse conditions.

② Garage Ground Floor Electrical & Lighting  
1/4" = 1'-0"



NOTES:

1. Plans provided are for illustrative purposes only; all fixtures and equipment should be field verified by the contractor in coordination with the owner.
2. Upon contract award, the contractor shall finalize the placement of fixtures and outlets directly on-site during the construction phase.
3. Coordination of USB device charge locations should be jointly managed by the owner and contractor.
4. Location of electrical installations for lifts requires coordination between the owner and the electrical contractor.
5. All 125-volt to 250-volt receptacles in garages must include ground-fault circuit-interrupter (GFCI) protection, particularly in areas accessible to the general public.
6. Electrical fixtures in garages should be installed at elevations recommended by local floodplain management guidelines to mitigate flood risks.
7. In flood-prone or wet areas, receptacles must be weather-resistant and equipped with weatherproof covers to ensure sustained functionality and safety under adverse conditions.

1 Garage First Floor Electrical & Lighting  
1/4" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

**Carriage House**  
Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909  
**Architect:** Incline Architecture   **Phone:** 843.593.3506   **Email:** CRE@inclinearchitecture.com   **Web:** inclinearchitecture.com

Project number	2024_0904_00
Designed By	CR
Drawn By	CR
Checked By	CR

# A102

## Electrical & Lighting Plans

<b>Issue Date</b>	01.03.2025
<b>Print Date</b>	1/3/2025 12:02:41 PM
<b>Scale</b>	As indicated

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

**Carriage House**  
Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909

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<b>Architect:</b> Incircle Architecture	Phone: 943.593.9506      Email: CRE@incirclearchitecture.com      Web: incirclearchitecture.com
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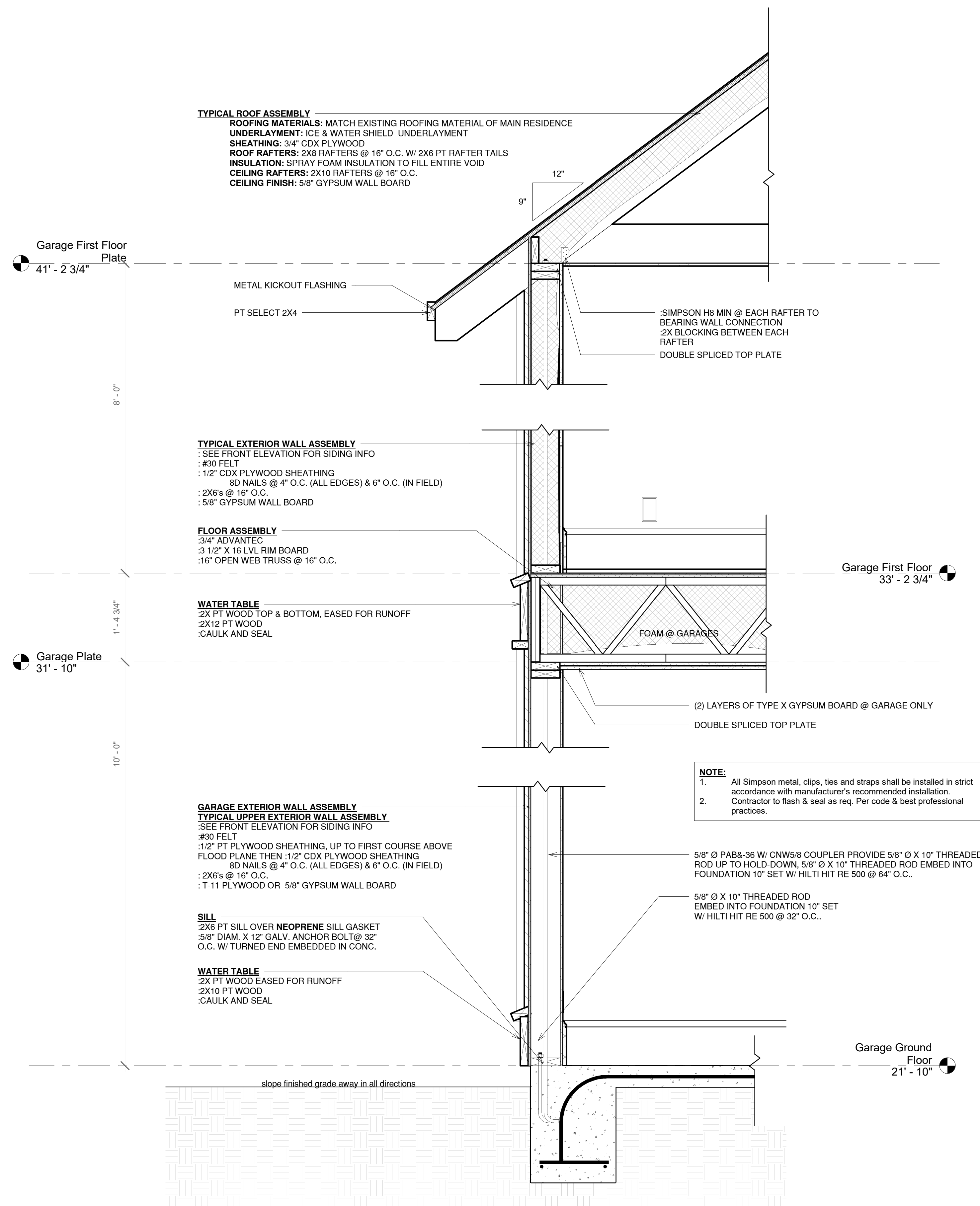
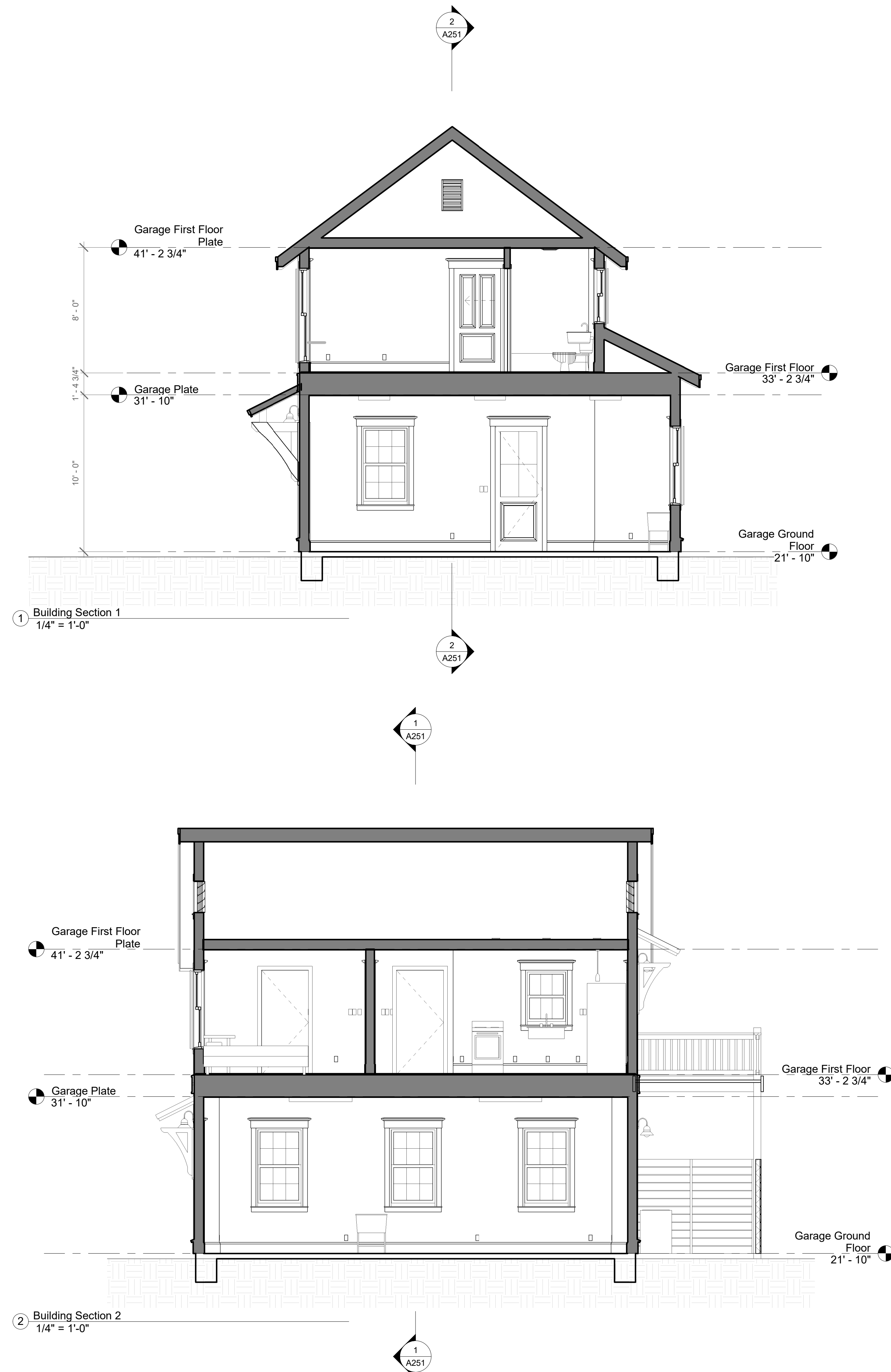
The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately if any errors or inconsistencies in the construction documents, if errors or inconsistencies exist within the construction documents but are such as to the contractor's responsibility to ensure the completion of the building owner, architect and building inspector.

Project number	2024_0904_00
Designed By	CR
Drawn By	CR
Checked By	CR

A251

## Sections

<b>Issue Date</b>	01.03.2025
<b>Print Date</b>	1/3/2025 12:02:43 PM
<b>Scale</b>	As indicated



③ Typical Wall Section  
1" = 1'-0"





NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

**3D VIEW NOTE:**  
The 3D views presented herein are conceptual in nature and are intended to facilitate a visual understanding of the design. It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.

**Carriage House**  
Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909

**Architect:** Incircle Architecture  
**Phone:** 843.993.9506  
**Email:** CRE@incirclearchitecture.com  
**Web:** incirclearchitecture.com

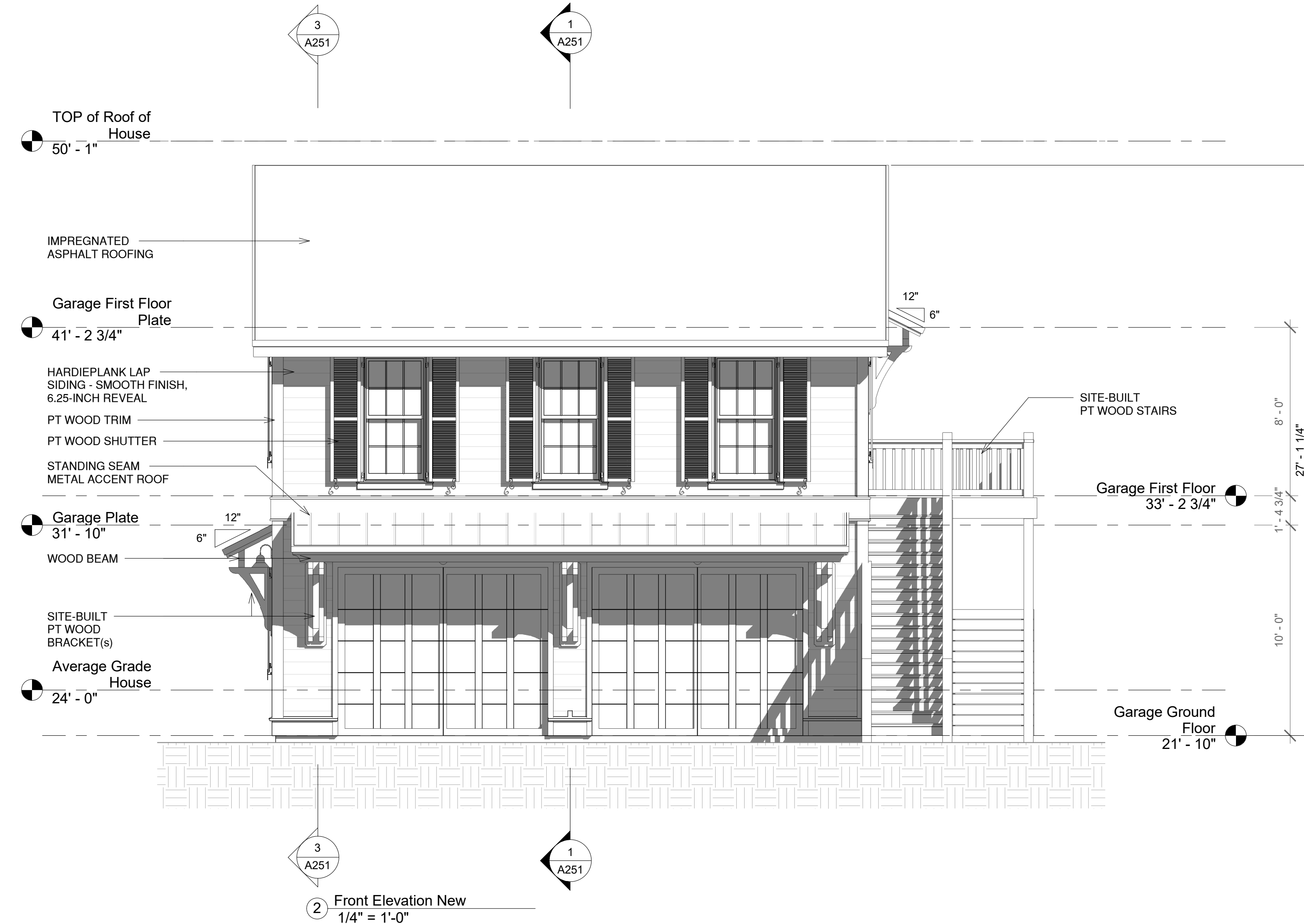
The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies are noted within the construction documents and built, as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.

Project number	2024_0904_001
Designed By	CRE
Drawn By	CRE
Checked By	CRE

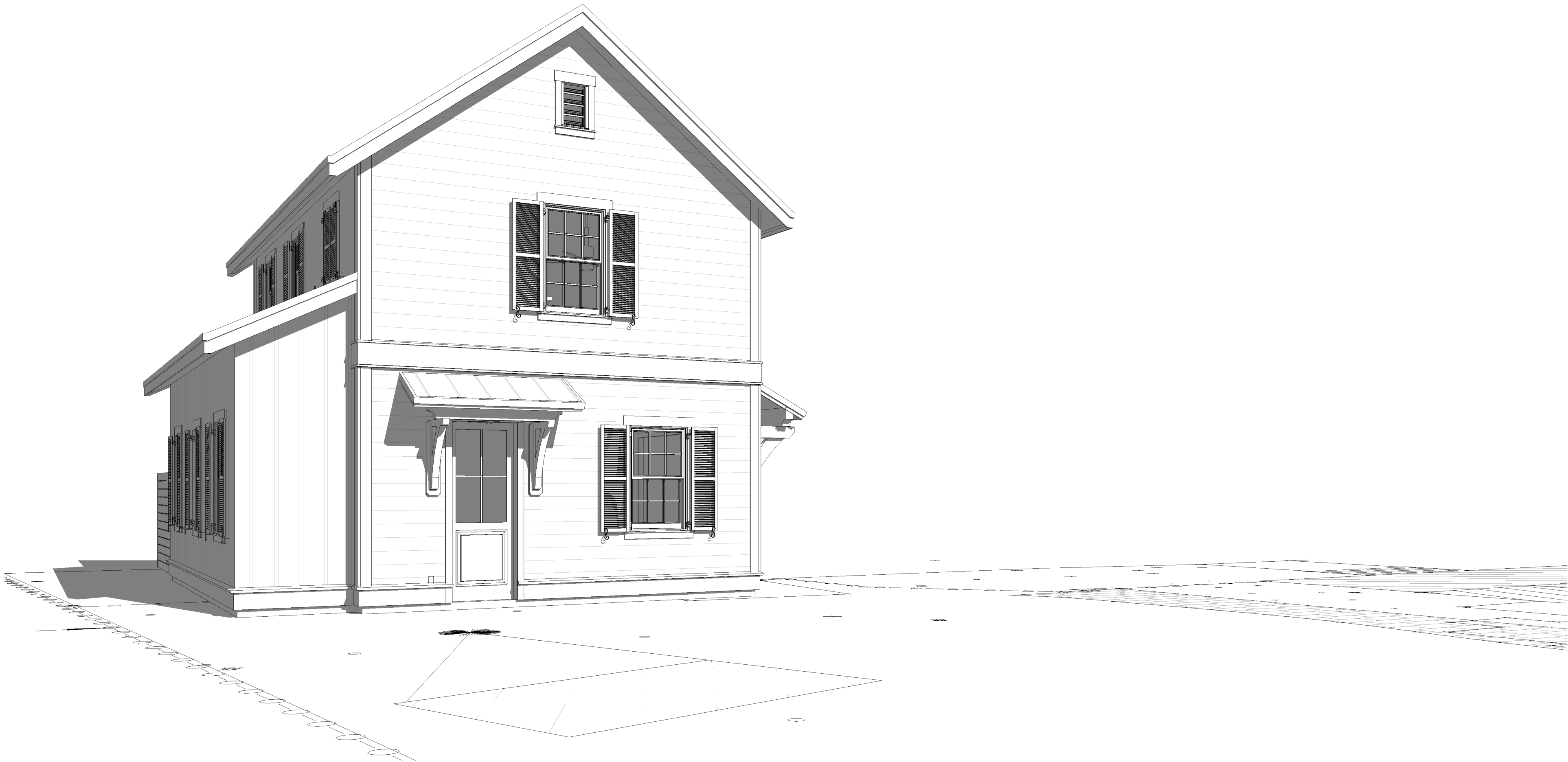
A301

## Elevations

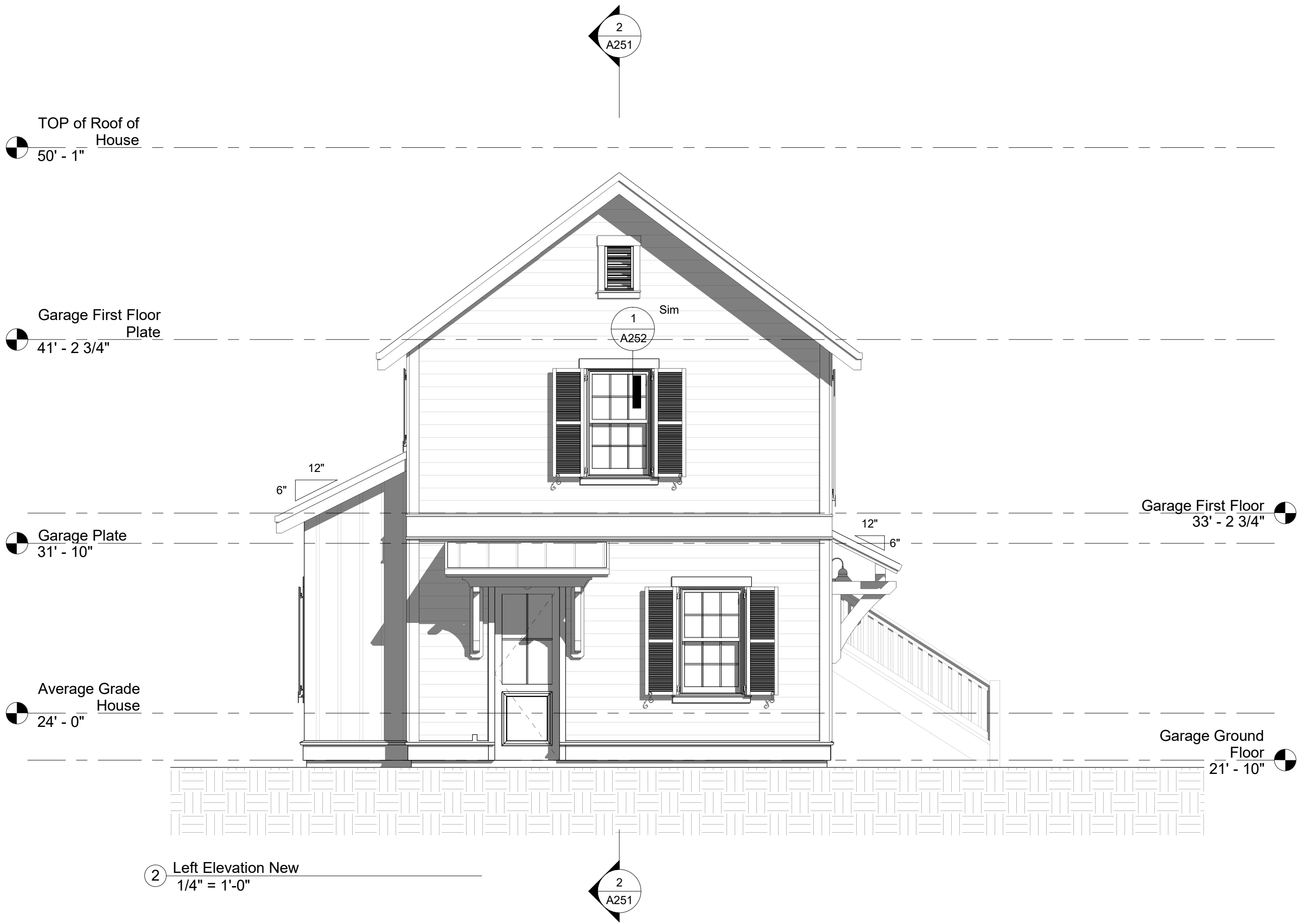
<b>Issue Date</b>	01.03.2025
<b>Print Date</b>	1/3/2025 12:02:47 PM
<b>Scale</b>	1/4" = 1'-0"







**3D VIEW NOTE:**  
The 3D views presented herein are conceptual in nature and are intended to facilitate a visual understanding of the design. It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.



② Left Elevation New  
1/4" = 1'-0"

Carriage House

Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909

Architect: Incircle Architecture  
Phone: 843.553.9506  
Email: CRE@incirclearchitecture.com  
Web: incirclearchitecture.com  
The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies exist with the construction documents and that is known, it is the contractor's responsibility to inform the architect immediately. The contractor shall be responsible for obtaining all necessary permits. Copyright © 2024.

Project number 2024\_0904\_001  
Designed By CRE  
Drawn By CRE  
Checked By CRE

A302

Elevations

Issue Date 01.03.2025  
Print Date 1/3/2025 12:02:50 PM  
Scale 1/4" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

**Architect:** Incircle Architecture  
**Phone:** 843.593.9906 **Email:** CRE@incirclearchitecture.com **Web:** incirclearchitecture.com

# Carriage House

Jay & Lori Sofianek

17 Lawrence Street, Bluffton, SC 29909

This contract is null and void unless all the parties below starting with "I," certify their understanding of its contents. The contractor acknowledges its responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector within the certification documents and built as such. It is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.

Copyright © 2024

Project number	2024_0904_001
Designed By	CRE
Drawn By	CRE
Checked By	CRE

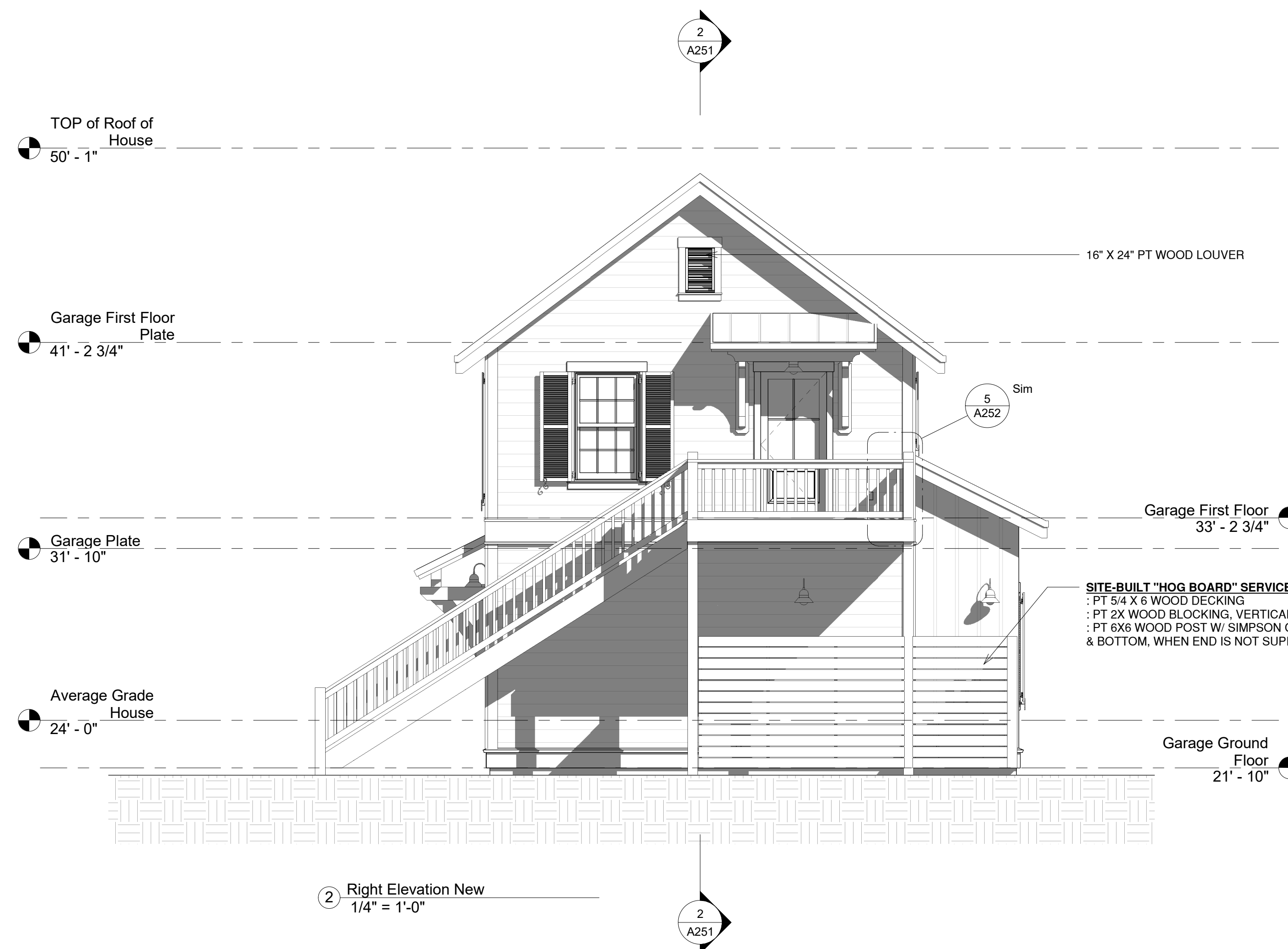
# A303

## Elevations

<b>Issue Date</b>	01.03.2025
<b>Print Date</b>	1/3/2025 12:02:53 PM
<b>Scale</b>	1/4" = 1'-0"



**3D VIEW NOTE:**  
The 3D views presented herein are conceptual in nature and are intended to facilitate a visual understanding of the design. It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.



② Right Elevation New  
1/4" = 1'-0"





**3D VIEW NOTE:**  
The 3D views presented herein are conceptual in nature and are intended to facilitate a visual understanding of the design. It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.



② Rear Elevation New  
1/4" = 1'-0"

**Carriage House**  
Jay & Lori Sofianek  
17 Lawrence Street, Bluffton, SC 29909

**Architect:** Incircle Architecture  
**Phone:** 843.553.9506  
**Email:** CRE@incirclearchitecture.com  
**Web:** incirclearchitecture.com  
The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies exist with the construction documents and that is not in writing, it is the contractor's responsibility to the building owner, architect, and building department. Copyright © 2024.

**Project number** 2024\_0904\_001  
**Designed By** CRE  
**Drawn By** CRE  
**Checked By** CRE

**A304**

**Elevations**

**Issue Date** 01.03.2025  
**Print Date** 1/3/2025 12:02:56 PM  
**Scale** 1/4" = 1'-0"



# PLAN REVIEW COMMENTS FOR COFA-11-24-019458

Section VIII. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 11/22/2024  
**Plan Status:** Active **Plan Address:** 17 Lawrence St Street  
BLUFFTON, SC 29910  
**Case Manager:** Charlotte Moore **Plan PIN #:** R610 039 00A 0271 0000  
**Plan Description:** A request by Christopher Epps (Incircle Architecture), on behalf of owners, Jay and Lori Sofianek, for review a Certificate of Appropriateness - HD to allow the construction of a 2-story Carriage House of approximately 1199 SF located at 17 Lawrence Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.  
**STATUS (12.09.2024):** To be reviewed at 12.16.2024 HPRC meeting.

## Staff Review (HD)

**Submission #: 2** Recieved: 12/13/2024 Completed: 12/13/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	12/13/2024	Matthew Michaels	Not Required

Growth Management Dept Review (HD)	12/13/2024	Charlotte Moore	Approved with Conditions
------------------------------------	------------	-----------------	--------------------------

### Comments:

1. Metal gutters are identified on the application as to be provided but are not shown on the plans. Downspouts must match gutters in material and finish. Provide details to show compliance with UDO Sec. 5.15.6.J. 2. Asphalt shingles are proposed but the type is not identified; only dimensional asphalt shingles are permitted. A metal roof will also be used but the type of metal is not specified. The following materials are permitted—galvanized, copper, aluminum and zinc-alum—and must be identified. (UDO Sec. 5.15.6.J.2.b.). 3. The 20"x30" vents appear to be somewhat large and the louvers too wide. Consider reducing the overall vent and louver size to be more proportionate for the size of the structure. 4. An expression line or cornice must delineate the tops of the facades and be proportionate for the structure's size. Provide the expression line or cornice on both gable end walls and include details. (UDO Sec. 5.15.6.G.2.a.) 5. If a service yard is to be provided, the location and details must be provided to show compliance with UDO Sec. 5.15.5.F.10. 6. When shutters are used, they are intended to match openings. An opening is not provided where the closed shutter is shown. While sized to match adjacent windows and appearing to be operable, the HPC will need to determine that a permanently closed shutter without an opening is appropriate. (UDO Sec. 5.15.6.M.) 7. The top rail is shown is two (2) inches; the minimum requirement is 2-3/4". (UDO Sec. 5.15.6.H.3.d.) The handrail material must be identified—the application specifies wood and the plan set shows "TBD." 8. Update the wall section to show to include additional water table/corner board details, soffit and fascia materials and dimensions, as applicable (UDO Sec. 5.15.6.N. and P.) 9. A Town of Bluffton tree removal permit is required for the removal of any tree that is eight (8) inches in diameter at breast height (DBH). (UDO Section 3.22.2.A.) 10. Identify all applicable materials, dimensions and operations on the plan set (transfer from application)

Watershed Management Review	12/13/2024	Samantha Crotty	Approved with Conditions
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### Comments:

Comments may be provided at time of building permit/stormwater permit review.

Transportation Department Review - HD	12/13/2024	Mark Maxwell	Approved
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## MEMORANDUM

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TO: Historic Preservation Commission  
FROM: Glen Umberger, Historic Preservationist  
RE: Recommendation for the Demolition and New Construction of the Sarah Riley Hooks Cottage (76 Bridge Street) (DP-10-24-019422)  
DATE: February 5, 2025  
CC: Kevin Icard, AICP, Director of Growth Management

---

**BACKGROUND:** At the request of the Town of Bluffton Historic Preservation Commission (HPC), Town Council adopted an ordinance at their April 9, 2019 meeting that amended the Unified Development Ordinance (UDO) Article 3 Application Process and Article 5 Design Standards to allow the HPC to review Public Projects and provide comment to the UDO Administrator for consideration. Additionally, Town Council revised the Town of Bluffton Process Table by resolution to incorporate the review and recommendation of Public Projects by the HPC with the final review authority to remain with the UDO Administrator.

The Sarah Riley Hooks Cottage, a Contributing Resource to the Old Town Bluffton Historic District, located at 76 Bridge Street has been owned by the Town of Bluffton since December 2020. The structure has been vacant since the time of Mrs. Hooks' death in 2002 and exhibits a condition of neglect. The documents in this application are for the proposed demolition of the Sarah Riley Hooks Cottage and the construction of a new structure to allow for its reuse. Note that approval of this application shall not remove the "Contributing Resource" designation from the property.

**APPLICATION REQUEST:** The Applicant, Meadors, Inc., on behalf of the Town of Bluffton, requests that the Historic Preservation Commission recommend that the UDO Administrator approve the following application:

**DP-10-24-019422.** A Public Project to allow for the demolition of the Sarah Riley Hooks Cottage, a Contributing Resource, and the construction of a new structure, using as much salvaged historic materials as possible, to be located at 76 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

**INTRODUCTION:** The Applicant has proposed to demolish the Sarah Riley Hooks Cottage, which was designated a Contributing Resource to the Old Town Bluffton Historic District in 2008, and to construct a new structure in its place to resemble the residential cottage in its earlier historic configuration for a new commercial use with public restroom facilities located in the rear. A new low-profile ramp to allow for ADA access will be added to the rear elevation. Any historic materials that can be salvaged will be reused in the construction of the new structure (see Attachments 2 and 3).

**REVIEW CRITERIA & ANALYSIS:** Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO, as amended April 9, 2024 in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the principles set forth in the *Old Town Master Plan* and *Town of Bluffton Comprehensive Plan*, "Blueprint Bluffton."
  - a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The work proposed as part of this request is in conformance with those standards.
  - b. *Finding.* The Old Town Master Plan states that the Town should actively work to acquire properties for green space to further complete the green network through Old Town. While the Contributing Resource is not specifically green space, it is located on a parcel adjacent to the Huger Cove that will be used as public space, which specifically helps to complete the goals listed in the Plan.
  - c. *Finding.* *The Comprehensive Plan*, "Blueprint Bluffton" dated November 2, 2022 states that "A survey of the property and master plan will be undertaken in FY-2023 to determine the best use of the property and accordingly, with this Application, this goal has been met.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
  - a. *Finding.* Town Staff finds that the proposed work conforms with the other applicable provisions provided in Article 5.
3. Section 3.18.3.D. Demonstration of a compatible visual relationship between new construction and existing buildings, streetscapes, and open spaces.
  - a. *Finding.* Town Staff finds that nature and character of the work is consistent and harmonious with that of the surrounding neighborhood. The mass and scale are appropriate for the location and the architectural detailing is sensitive to the neighboring properties.
4. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.
  - a. *Finding.* The application has been reviewed by Town Staff and has been determined to be complete.
5. Section 3.18.5.B. The demolition of a Contributing Resource is detrimental to the integrity and status of the Old Town Bluffton Historic District as its significance is embodied by its contributing resources.



- a. *Finding.* Town Staff finds that the based on the history of the resource and the reason of the request (3.18.5.B.1.a.), the report submitted by Meadors, Inc. as part of this application (3.18.5.B.1.b.), the evidence that demolition is required and that there is no other reasonable alternatives to demolition exist in this present situation (3.18.5.B.1.c.), the work proposed satisfies this requirement.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E., Town Staff finds the application meets the requirements of Section 3.18.3 of the UDO and pursuant to Section 3.24.3.C., recommends that the HPC makes a recommendation to the UDO Administrator to approve the application.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As described in UDO Section 5.15.1.C., Old Town Bluffton Historic District Intent, the regulatory requirements, design guidelines and materials are “not by any means intended to discourage creativity or force the replication of historic models” [r]ather ... to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow.” It is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

As granted by the powers and duties set forth in Section 2.2.6.E. of the UDO, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Recommend the UDO Administrator approve the application as submitted by the Applicant;
2. Recommend the UDO Administrator approve the application with HPC comments; or
3. Recommend that the UDO Administrator deny the application as submitted by the Applicant.

**ATTACHMENTS:**

1. Application
2. Narrative
3. Plan & Elevations



## ATTACHMENT 1

**TOWN OF BLUFFTON  
CERTIFICATE OF APPROPRIATENESS-  
OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4500  
[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Section VIII. Item #2.

Applicant		Property Owner	
Name: Betty Prime		Name: Town of Bluffton (Brian Osbourne PM)	
Phone: 843-532-7291		Phone: 843.706.7817	
Mailing Address: 2811 Azalea Drive Charleston, SC 29405		Mailing Address: 20 Bridge Street Bluffton, South Carolina 29910	
E-mail: betty@meadorsinc.com		E-mail: bosbourne@townofbluffton.com	
Town Business License # (if applicable): 24-05-3636			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: Sarah Riley Hooks		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 74, 75, and 76 Bridge Street		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General - HD		Application for:	
Acreage: .95 acres		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610-039-00A-0159A-0000		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
<b>Project Description:</b> The scope of work for this project includes but is not limited to salvaging sound historic materials and replacing the compromised structural systems in the original footprint of the house. Salvaged historic materials will be reinstalled once the new structural systems are in place. The building will be used as a gallery and artisan workspace and will have an occupancy classification of business. Two (2) accessible bathrooms have been integrated into the original building footprint. A new rear deck and ramp addition will be constructed to provide an accessible route into the building.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 01.08.2025	
Applicant Signature:		Date: 01.08.2025	
<b>For Office Use</b>			
Application Number: DP-10-24-019422		Date Received: JAN 9 2024	
Received By:		Date Approved: BY:	



**From:** [Betty Prime](#)  
**To:** [Rooney, Pat](#); [andy@barrierislandeng.com](mailto:andy@barrierislandeng.com)  
**Cc:** [Osborne, Brian](#); [Joe DePauw](#); [Frazier, Dan](#); [Moore, Charlotte](#); [Umberger, Glen](#)  
**Subject:** RE: 11/27/24 DRC Comments - Sarah Riley Hooks Public Project  
**Date:** Tuesday, November 26, 2024 2:26:10 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image004.png](#)

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Pat-

Thank-you for sharing the assessment at the meeting.

Below is a summary of our findings:

- Termites have damaged the wall and floor framing system. The damage is extensive and the framing system cannot be salvaged. Due to the structural components' condition, the structure's preservation would require a nearly complete reconstruction with new materials.
- Ceiling panels at the front porch, exterior wall framing, and flooring were exposed during site investigation to view hidden conditions. Termite damage was found in all areas examined during selective demolition. In some cases, the exterior finish was the only intact element; with the framing members beyond retaining little to no structural integrity.
- Extensive water and termite damage were also observed on the interior walls of the living room and hallway walls extending to the rear addition. In some areas, studs have disintegrated due to a pervasive termite infestation.
- As seen in many of the photographs, over time water has infiltrated the roof and caused flooring systems to collapse as well as the roof of the rear addition. Mold growth on the interior is prolific and hazardous.

I have worked on over a hundred historic buildings- this is the only one I have ever recommended from reconstruction as opposed to preservation. The condition is the worst I've come across. If there was a way to save it, we would also want to do so.

Thanks

Betty

**Betty Prime, Architectural Conservator, AIA**  
**Meadors Conservation**

2811 Azalea Drive  
Charleston, SC 29405  
Cell: 843-532-7291  
Office: 843-723-8585  
Fax: 843-577-3107

[www.meadorsinc.com](http://www.meadorsinc.com)



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**From:** Rooney, Pat <prooney@townofbluffton.com>  
**Sent:** Monday, November 25, 2024 2:22 PM  
**To:** Betty Prime <betty@meadorsinc.com>; andy@barrierislandeng.com  
**Cc:** Osborne, Brian <bosborne@townofbluffton.com>; Joe DePauw <joe@depauw.studio>; Frazier, Dan <dfrazier@townofbluffton.com>; Moore, Charlotte <cmoore@townofbluffton.com>; Umberger, Glen <gumberger@townofbluffton.com>  
**Subject:** RE: 11/27/24 DRC Comments - Sarah Riley Hooks Public Project

Betty:

No need to attend the meeting. I will share the 2022 preservation assessment with the DRC, but please email me a few general statements responding to Mr. De Pauw's comments. The condition of the structure has deteriorated a lot since 2022.

Pat

---

**From:** Betty Prime <[betty@meadorsinc.com](mailto:betty@meadorsinc.com)>  
**Sent:** Monday, November 25, 2024 1:34 PM  
**To:** Rooney, Pat <[prooney@townofbluffton.com](mailto:prooney@townofbluffton.com)>; [andy@barrierislandeng.com](mailto:andy@barrierislandeng.com)  
**Cc:** Osborne, Brian <[bosborne@townofbluffton.com](mailto:bosborne@townofbluffton.com)>  
**Subject:** RE: 11/27/24 DRC Comments - Sarah Riley Hooks Public Project

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Pat-

I am heading out of town for the Thanksgiving holiday on Wednesday early afternoon. Is it



possible for me to attend the meeting virtually?

I reviewed the comments that came through. I had assumed that our previous presentation and building assessments had been shared and that everyone was aware of the severe state of the building. Do you need me to present at the DRC Meeting to review the conditions assessment and provide justification for the project approach?

Thanks

Betty

**Comments:**

*1. Any application located in the Old Town Bluffton Historic District shall be reviewed for comment only by the Historic Preservation Commission (HPC) using the criteria in Section 3.18 Certificate of Appropriateness – Historic District (HD) (UDO Section 3.24.3.C.).*

*The following comments were provided by HPRC member Joseph DePauw:*

*1. The architectural plans state: THE INTENT OF THE PROJECT IS TO SALVAGE SELECT HISTORIC MATERIALS, DEMOLISH THE BUILDING, AND REBUILD THE STRUCTURE BASED ON THE ORIGINAL FOOTPRINT. THE NEW BUILDING WILL HAVE AN*

*ADA RAMP AND TWO ADA BATHROOMS. No information or justification in support of demolishing the of the existing building have been provided for review. Previous efforts to take a similar approach to small structures in the town have left a lot to be desired.*

*The case needs to be made to the HPC of why this is a project is not a restoration effort but rather a project to demolish a contributing structure and then reconstruct it as an all modern structure with historic cladding applied.*

*2. The discussion noted above should come before providing feedback on the demolition and reconstruct project.*

**Betty Prime, Architectural Conservator, AIA**

**Meadors Conservation**

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**From:** Rooney, Pat <[prooney@townofbluffton.com](mailto:prooney@townofbluffton.com)>  
**Sent:** Friday, November 22, 2024 12:47 PM  
**To:** [andy@barrierislandeng.com](mailto:andy@barrierislandeng.com); Betty Prime <[betty@meadorsinc.com](mailto:betty@meadorsinc.com)>  
**Cc:** Osborne, Brian <[bosborne@townofbluffton.com](mailto:bosborne@townofbluffton.com)>  
**Subject:** FW: 11/27/24 DRC Comments - Sarah Riley Hooks Public Project

Andy and Betty:

Please find attached the staff comments for the Sarah Riley Hooks Cottage DRC review. Are either of you available to attend this DRC meeting?

Pat

---

**From:** Frazier, Dan <[dfrazier@townofbluffton.com](mailto:dfrazier@townofbluffton.com)>  
**Sent:** Friday, November 22, 2024 12:24 PM  
**To:** Kathleen Duncan <[K.duncan@jktiller.com](mailto:K.duncan@jktiller.com)>  
**Cc:** Rooney, Pat <[prooney@townofbluffton.com](mailto:prooney@townofbluffton.com)>  
**Subject:** 11/27/24 DRC Comments - Sarah Riley Hooks Public Project

Kathleen and Pat,

Attached are staff's plan review comments for the Sarah Riley Hooks Public Project application. This item is on the DRC agenda for November 27, 2024, which will be held at 1pm at Town Hall within Council Chambers. Please let me know if you or a representative cannot attend.

Thanks,  
Dan

Dan Frazier, AICP  
Planning Manager

Office | 843-706-7802  
Mobile | 843-540-4582



Town of Bluffton  
PO Box 386  
20 Bridge Street  
Bluffton, SC 29910  
[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)



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# SARAH RILEY HOOKS COTTAGE PROJECT

CONTACTS

Client:

Town of Bluffton  
20 Bridge Street  
Bluffton, South Carolina 29910

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Town of Bluffton  
Capital Improvements Program Projects 20  
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PO Box 386  
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Architect:

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Kalen McNabb  
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Structural Engineer:

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1133 Club Terrace  
Mt. Pleasant, South Carolina 29464  
Tel: 843.856.2649

Michael Hance, PE  
Principal and Structural Engineer  
Email: mhancepe@comcast.net

Mechanical, Electrical, Plumbing, & Fire Protection Engineer:

Charleston Engineering  
125 Wappoo Creek Drive #B  
Charleston, South Carolina 29412  
Tel: 843.762.4242

Rob Turner, PE  
Principal and Mechanical Engineer  
Email: rob@charlestonengineering.com

PROJECT DATA

General Information:

Address: #74, 75, and 76 Bridge Street  
Bluffton, SC 29910

TMS number: R610-039-00A-0159A-0000  
Flood Zone: X - outside the 0.2% annual chance floodplain  
Base Flood Elevation: N/A  
F.E.M.A. Flood Map: Community No. 450251, Panel 0426G  
Dated 03/23/21  
Zoning Class.: Neighborhood General - HD  
Site Area: 0.95 Acres  
Building Square Footage.: 737 sq. ft. (reconstruction sq. ft.)  
1363 sq. ft. (existing sq. ft.)

Site & Property Information taken from combination of a 3D scan of the site done by Meadors Inc. and survey dated 12/17/2020 by TERRY G. HATCHELL PLS, S.C. Reg. No. 11059

CODE NOTES

This scope of work shall maintain code compliance with the following codes as adopted by the South Carolina Building Codes Council:

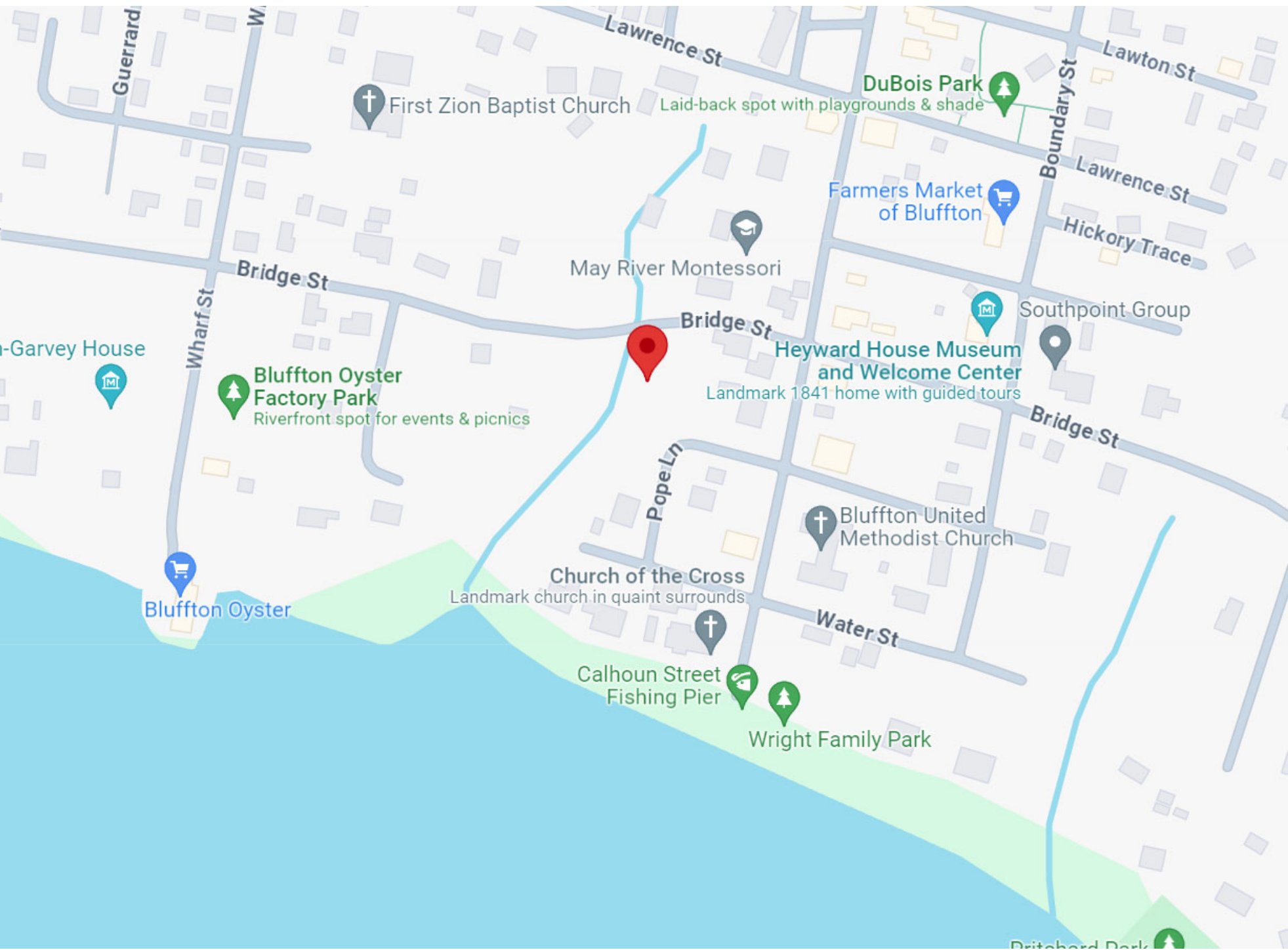
2021 South Carolina Building Code or the 2021 International Building Code with SC modifications  
2021 South Carolina Residential Code or the 2021 International Residential Code with SC modifications  
2021 South Carolina Fire Code or the 2021 International Fire Code with SC modifications  
2021 South Carolina Plumbing Code or the 2021 International Plumbing Code with SC modifications  
2021 South Carolina Mechanical Code or the 2021 International Mechanical Code with SC modifications  
2021 South Carolina Fuel Gas Code or the 2021 International Fuel Gas Code with SC modifications  
2020 National Electrical Code (NFPA 70) with SC modifications

2009 International Energy Conservation Code (Energy Standard Act)  
ANSI A117.1 2017 Edition - Accessible & Usable Buildings & Facilities  
Federal Emergency Management Agency (FEMA)

DRAWING LIST

A000	COVER/TITLE SHEET	A504	EQUIPMENT PAD & ENCLOSURE DETAILS
A001	NOTES & SPECIFICATIONS	A601	WINDOW SCHEDULE & ELEVATIONS
A002	NOTES, SPECIFICATIONS, & CODE REVIEW	A602	DOOR SCHEDULE & ELEVATIONS
A003	STANDARD ADA DETAILS	A603	WINDOW DETAILS
A004	EXISTING CONDITIONS - EXTERIOR	A604	DOOR DETAILS
A005	EXISTING CONDITIONS - INTERIOR	A701	AIR SEAL DETAILS & NOTES
R-001	EXISTING CONDITIONS - SITE SURVEY	A702	AIR & MOISTURE BARRIER DIAGRAMS
R-002	SITE PLAN - LANDSCAPE SITE PLAN	A703	STANDARD FLEXIBLE FLASHING DETAILS
LS101	LIFE SAFETY PLAN	A704	CEMENTITIOUS SIDING AND TRIM DETAILS
D100	EXISTING SITE PLAN WITH DEMO NOTES	A705	TYP. METAL 5V ROOF DETAILS
D101	1ST FLR EXISTING & DEMO PLANS	A801	INTERIOR ELEVATIONS - GALLERY
D102	INVENTORY OF ITEMS TO BE SALVAGED	A802	INTERIOR ELEVATIONS - ARTIST STUDIO
D103	ROOF EXISTING & DEMO PLANS	A803	INTERIOR ELEVATIONS - GALLERY/FLEX SPACE
D201	EXISTING & DEMO BUILDING ELEVATIONS	A804	INTERIOR ELEVATIONS - ADA BATHROOM 1
A100	GRADE PLAN	A805	INTERIOR ELEVATIONS - ADA BATHROOM 2
A101	PROPOSED 1ST FLR PLAN	A806	INTERIOR ELEVATIONS - HALLWAY AND CLOSET
A101.1	1ST FLR DIMENSION PLAN	AE101	1ST FLR RCP & FIXTURE SCHEDULE
A102	ROOF PLAN	E101	ELECTRICAL PLAN
A201	BUILDING ELEVATIONS	E201	ELECTRICAL SPECS. & SCHEDULES
A202	BUILDING ELEVATIONS	M101	HVAC PLAN
A301	BUILDING SECTIONS	M201	HVAC DETAILS
A302	BUILDING SECTIONS	P101	PLUMBING PLAN
A303	BUILDING SECTIONS	P201	PLUMBING SPECS. & SCHEDULES
A401	GRADE PLAN @ RAMP	S-1	FOUNDATION PLAN
A402	1ST FLR PLAN @ RAMP	S-2	THICKENED SLAB PLAN
A403	EXTERIOR RAMP DETAILS	S-2A	SLAB CONTROL JOINT PLAN
A404	EXTERIOR RAMP DETAILS	S-3	PORCH FRAMING PLAN
A405	CHIMNEY & HEARTH DETAILS	S-4	CEILING FRAMING PLAN
A501	WALL SECTIONS	S-5	ROOF FRAMING PLAN
A502	WALL SECTIONS	S-6	RAMP DETAILS
A503	PORCH DETAILS	S-7	DETAILS

LOCATION MAP



PROJECT RENDERING



PROJECT DESCRIPTION

The Sarah Riley Hooks Cottage is an historic structure built circa 1940 with later additions, located in the Bluffton Historic District. The scope of work for this project includes but is not limited to salvaging sound historic materials and replacing the compromised structural systems in the original footprint of the house. Salvaged historic materials will be reinstalled once the new structural systems are in place. The building will be used as a gallery and artisan workspace and will have an occupancy classification of business. Two (2) accessible bathrooms have been integrated into the original building footprint. A new rear deck and ramp addition will be constructed to provide an accessible route into the building.

MEADORS



SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

#	DATE	NOTES
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COVER/TITLE  
SHEET

A000



THE BUILDING IS HISTORIC, CARE SHALL BE TAKEN TO PROTECT THE BUILDING ELEMENTS SCHEDULED TO BE SALVAGED FROM DAMAGE DURING ALL WORK. ALL EFFORT SHALL BE MADE TO PROTECT, RETAIN, AND PRESERVE AS MUCH EXISTING ORIGINAL MATERIAL AS POSSIBLE.

2. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

3. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.

4. SCOPE OF WORK, THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.

5. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

6. IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

7. THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.

8. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.

9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.

10. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.

11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.

12. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.

13. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.

15. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.

16. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.

17. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.

18. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.

19. PROVIDE AND MAINTAIN WEATHER BARRIERS AS NECESSARY TO PREVENT THE INTRUSION OF WATER AND WEATHER INTO THE BUILDING.

20. THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.

21. NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.

22. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.

23. DIMENSIONS ON LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS ON SMALL SCALED DRAWINGS.

24. PROVIDE BLOCKING, IN-FILL FRAMING, FURRING, AND SHIMS AS NECESSARY TO COMPLETE THE PROJECT.

The diagram illustrates four types of architectural symbols and their components:

- ELEVATION:** A diamond-shaped symbol with a circle inside. The circle contains the number '1' and the text 'A101'. Labels point to the 'View Name' (top and bottom), 'ELEVATION' (left), 'DIRECTION OF VIEW' (top right), 'ELEVATION NUMBER' (bottom right), and 'SHEET DRAWN' (right).
- DETAIL:** A circular symbol with a circle inside. The circle contains the number '1' and the text 'A101'. Labels point to the 'DETAIL NUMBER' (top), 'SIM' (top right), 'INDICATES SIMILAR DETAIL FROM OTHER LOCATION' (right), and 'SHEET DRAWN' (bottom right).
- SECTION:** A rectangular symbol with a circle inside. The circle contains the number '1' and the text 'A101'. Labels point to the 'DIRECTION OF VIEW' (top right), 'SIM' (top right), 'INDICATES SIMILAR DETAIL FROM OTHER LOCATION' (right), 'DRAWING NUMBER' (bottom right), and 'SHEET DRAWN' (bottom right).
- DRAWING TITLE:** A circular symbol with a circle inside. The circle contains the number '1'. Labels point to the 'DRAWING TITLE' (left), 'View Name' (top right), '1/8" = 1'-0"' (bottom right), and 'SCALE DRAWN' (bottom right).

WALL TAG	1	2. Underground Plumbing	12. Mechanical Rough
		3. Underground Electrical	13. Plumbing Rough
WINDOW TAG	1f	4. Underground Fire Sprinkler	14. Fire Rough
		5. Underground Flush	15. Rough Historic District
DOOR TAG	101	6. Footing	16. Insulation
		7. Slab	17. Special Inspections
		8. 200lb Pressure Test	18. Permanent Service
		9. Above Ceiling	19. Final Historic District
		9. Block	20. Fire Final
		10. Framing	21. Building Final
		11. Electrical Rough	

**SPECIAL INSPECTIONS: CONTRACTOR TO ENGAGE QUALIFIED TESTING AGENCY TO PERFORM TESTS & INSPECTIONS.**

- Termite
  - Pre-treat soils for termites prior to installing new foundations and slab.
  - Provide termite treatment bond per specifications and visual inspection requirements for bonded termite policy.
- Concrete- PSI Testing at Slab. See structural drawings for additional information.
- Soils- Soil Compaction Testing. See structural drawings for additional information.
- Air Barrier
 

Blower door tests: (3) Required. 1- Following installation of air & moisture barrier and sealing all other penetrations, before insulating 2- After systems are up and running and 3- Before turning the house over to the owner.

*\*See structural drawings for additional information on special inspections.*
- Air Barrier
 

Install Aerosol-applied, interior-surface sealant for air sealing. Basis of Design AeroBarrier Select. The intent is to seal all remaining gaps in the building envelope prior to the application of interior finishes. See additional information about the installation included in the project manual.

- A. PLANS ARE GENERAL AND DIAGRAMMATIC IN NATURE. THE PLANS ARE NOT INTENDED TO REPRESENT THE TOTAL SCOPE OF WORK. THESE PLANS DO NOT SHOW EACH ITEM THAT IS REQUIRED TO BE REMOVED. EACH CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL CONDITIONS AS THEY EXIST IN THE FIELD THROUGH SITE INSPECTION AND REVIEW OF THESE DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND COORDINATE THE REMOVAL AND DEMOLITION WORK AS REQUIRED TO ACHIEVE THE FINAL PRODUCT AS INDICATED IN THESE DOCUMENTS.
- B. REMOVE, CLEAN, PATCH/REPAIR EXISTING SURFACES/FINISHES AS NECESSARY FOR THE INSTALLATION OF NEWLY SCHEDULED FINISHES. REFER TO KEYED REPAIR PLAN FOR SCOPE.
- C. THE OWNER AND HIS DESIGNATED REPRESENTATIVES HAVE FIRST RIGHT OF REFUSAL REGARDING SALVAGEABLE ITEMS. CONTRACTOR SHALL COORDINATE WITH OWNER. SALVAGEABLE ITEMS SCHEDULED TO BE RETAINED HAVE BEEN NOTED IN THE DRAWING SET.
- D. REMOVE EXISTING ITEMS AS REQUIRED FOR REUSE IN THE NEW PLAN OR NEW FINISH. CATALOG AND STORE ITEMS IN A SAFE STORAGE AREA SUBJECT TO THE OWNER'S APPROVAL UNTIL THE TIME OF REINSTALLATION. LOST ITEMS SHALL BE REPLACED WITH COMPARABLE NEW ITEM AT NO COST TO THE OWNER.
- E. CONTRACTOR SHALL KEEP A TRACKING LOG OF ALL HISTORIC BUILDING ELEMENTS THAT ARE SALVAGED AND REMOVED FROM THE BUILDING; LOG SHALL STATE ORIGINAL LOCATION, WHEN REMOVED & BY WHOM, WHERE TAKEN, AND WHEN RETURNED. GENERAL CONTRACTOR SHALL UPDATE LOG REGULARLY AND PRESENT TO OWNER & ARCHITECT AS REQUIRED.
- F. DURING THE COURSE OF DEMOLITION, IF ITEMS OR AREAS OF HISTORIC SIGNIFICANCE ARE DISCOVERED, CONTRACTOR SHALL CEASE WORK ON ITEM OR AREA OF INTEREST AND IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT.
- G. EACH EXISTING HISTORICAL COMPONENT MAY VARY SLIGHTLY IN SIZE, SHAPE, AND DETAIL. VERIFY EACH COMPONENT IN THE FIELD PRIOR TO PERFORMING WORK IN THAT AREA.
- H. ANY ITEMS NOT TO BE RETAINED BY THE OWNER SHALL BE DISPOSED OF BY THE CONTRACTOR PER APPROPRIATE REGULATIONS.
- I. COORDINATE LOCATION OF CONSTRUCTION PORTALET AND DUMPSTER WITH OWNER. DUMPSTER SHALL HAVE A COVER TO AVOID WIND-BLOWN DEBRIS ONTO THE SITE.
- J. PROVIDE DUST & CONSTRUCTION DEBRIS CONTROL & CONTAINMENT IN AREAS WHERE WORK IS BEING PERFORMED.
- K. CLEAN AND RETURN EACH SPACE TO PRE-CONSTRUCTION CONDITION READY FOR USE BY OWNER PRIOR TO PROCEEDING TO NEXT WORK AREA.
- L. NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IF MATERIALS ARE EXPOSED THAT ARE DAMAGED AND WERE NOT SCHEDULED FOR REPLACEMENT.
- M. PROVIDE SIGNAGE FOR ACCESS TO BUILDING & MAINTAIN EMERGENCY EGRESS THROUGHOUT CONSTRUCTION.
- N. REMOVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS COMPLETE.
- O. REMOVE ABANDONED TELEPHONE, SMOKE DETECTORS, AND EXTRANEIOUS FASTENERS, BRACKETS, CONDUITS, WIRES, HARDWARE, AND EQUIPMENT ETC. THAT IS NO LONGER IN USE.
- P. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS FOR ACCOMPLISHING THE SCOPE OF WORK OUTLINED IN DRAWING INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF NEW STRUCTURAL AND MEPFR SYSTEMS, AND REPAIRING ALL AREAS DISTURBED WITH NEW IN-KIND MATERIALS OR APPROVED EQUALS.

	AND AT	KDAT	KILN DRIED AFTER TREATMENT
@	AC		
ACOUS	ACOUSTICAL	LT WT	LIGHT WEIGHT
ACT	ACOUSTICAL CEILING TILE	LLH	LONG LEG HORIZONTAL
ADA	AMERICANS WITH DISABILITY ACT	LLV	LONG LEG VERTICAL
AFF	ABOVE FINISHED FLOOR	LP	LOW POINT
ALT	ALTERNATE	LVL	LAMINATED VENEER LUMBER
ALUM	ALUMINUM		
APPROX	APPROXIMATE	MAT'L	MATERIAL
ARCH	ARCHITECTURAL	MAX	MAXIMUM
		MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BM	BEAM	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MO	MASONRY OPENING
		MTL	METAL
CAT	CATALOGUE		
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CENTERLINE	NOM	NOMINAL
CLG	CEILING	NON-COM	NON-COMBUSTIBLE
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
COL	COLUMN		
CONC	CONCRETE	OC	ON CENTER
CONN	CONNECTION	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS		
		PLUMB	PLUMBING
DET / DTL	DETAIL	PR	PAIR
DIAG	DIAGONAL	PRE-FAB	PRE-FABRICATED
DIA	DIAMETER	PT	PAVER TILE
DIM	DIMENSION	PT	PRESSURE-TREATED
DN	DOWN	PVB	POLY VAPOR BARRIER
DR	DOOR		
DS	DOWNSPOUT	RAD	RADIUS
DWGS	DRAWINGS	RD	ROOF DRAIN
		REF	REFERENCE
EA	EACH	REINF	REINFORCING
EJ	EXPANSION JOINT	REQ'D	REQUIRED
ELEV	ELEVATION	REV	REVISION
EOS	EMERGENCY OVERFLOW SCUPPER	RO	ROUGH OPENING
EQ	EQUAL		
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EX/EXIST	EXISTING	SEC	SECURE / SECURITY
EXT	EXTERIOR	SECT	SECTION
		SIM	SIMILAR
FACP	FIRE ALARM CONTROL PANEL	SOG	SLAB ON GRADE
FD	FLOOR DRAIN	SPECS	SPECIFICATIONS
FDN	FOUNDATION	SQ	SQUARE
FE	FIRE EXTINGUISHER	SQ FT	SQUARE FEET
FEC	FIRE EXTINGUISHER & CABINET	STD	STANDARD
FFE	FURNITURE, FIXTURES, & EQUIPMENT	STL	STEEL
FIG	FIGURE	STRUCT	STRUCTURE / STRUCTURAL
FIN	FINISH	SYM	SYMMETRICAL
FLR	FLOOR		
FRP	FIBERGLASS REINFORCED PLASTIC	TEMP	TEMPORARY
FTG	FOOTING	THK'NS	THICKNESS
		T.O.	TOP OF
GALV	GALVANIZED	TRTD	TREATED
GA	GAUGE OR GAGE	T.T.W.	TO THE WEATHER
GYP BD	GYP SUM BOARD	TYP	TYPICAL
GIR	GIRDER		
GRD BM	GRADE BEAM	UNO	UNLESS NOTED OTHERWISE
H/C	HANDICAPPED	VCT	VINYL COMPOSITION TILE
HB	HOSE BIB	VERT	VERTICAL
HM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VL	VINYL
HP	HIGH POINT		
HT	HEIGHT	W/	WITH
HVAC	HEATING, VENTILATION, & AIR CONDITIONING	W/O	WITHOUT
		WP	WATERPROOFING
		WS	WATER STOP
INSUL	INSULATION	WT	WEIGHT
INTR	INTERIOR		
INV	INVERT		
JT	JOINT		

THIS DRAWING SET IS TO BE PAIRED WITH PROVIDED OUTLINE SPECIFICATIONS DOCUMENT. NEITHER THE DRAWINGS NOR THE OUTLINE SPECIFICATIONS DOCUMENT ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. BOTH THE DRAWINGS AND THE OUTLINE SPECIFICATIONS DOCUMENTS ARE TO BE CONSIDERED IN THE SCOPE OF WORK FOR THIS PROJECT.

\*\*\* Contractor is responsible to verify all dimensions and relevant bidding criteria.

ALTERNATE 1: INSTALL WOOD SIDING AND TRIM AT BUILDING EXTERIOR. ALL WOOD TO BE PRE-PRIMED ELITE TREATED OR EQUIVALENT. BASE BID: CEMENTITIOUS SIDING AND TRIM.

ALTERNATE 2: INSTALL WOOD CEILING BOARDS AT REAR HALLWAY AND GALLERY SPACES. BOARDS TO BE APPLIED ON TOP OF DRYWALL. INCLUDES ANGLED PORTION OF VAULTED CEILING. BASE BID: GYPSUM BOARD CEILINGS.

**NOT FOR CONSTRUCTION**

SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/202

#	DATE	NOTES
1	Date 1	Revision 1

[illegible]

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

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NOTES &amp;

NOTES &amp; SPECIFICATIONS

## SPECIFICATIONS

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CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- INSTALL FIXTURES, MATERIALS, AND EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS. SHOULD THOSE SPECS CONFLICT WITH THE DRAWINGS, IMMEDIATELY NOTIFY THE ARCHITECT.
- VERIFY CLEARANCES FOR FIXTURES, VENTS, CHASES, ETC. BEFORE ORDERING OR INSTALLING RELATED WORK ITEMS.
- INSTALL SMOKE DETECTORS AND FIRE EXTINGUISHERS IN CONFORMANCE TO LOCAL FIRE MARSHALL REQUIREMENTS.
- ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, GAS LINES, AND DRAINAGE LINES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REGULARLY REMOVING THE WASTE MATERIALS OF ALL SUBCONTRACTORS, AND MAINTAIN STRICT CONTROL OVER JOB CLEANING TO PREVENT DUST AND RUBBISH FROM INTERFERING WITH OPERATIONS. THIS STATEMENT DOES NOT RELIEVE THE SUBCONTRACTOR FROM PLACING THEIR WASTE MATERIALS IN THE SPECIFIED WASTE CONTAINERS. SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR WORK AND KEEPING THE CONSTRUCTION SITE CLEAN.
- CONSTRUCTION EQUIPMENT NOISE AND VIBRATIONS SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

FOUNDATION NOTES

- CONSULT SOILS REPORT AND STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION RELATED TO THE WORK AND EXISTING SITE.
- FOOTINGS SHALL BE INSTALLED PER STRUCTURAL AND ARCHITECTURAL DRAWINGS AND COORDINATED WITH RECOMMENDATIONS FOUND WITHIN SOILS REPORT.
- ALL DOWNSPOUTS TO BE DIVERTED AWAY FROM BUILDING FOUNDATION BY USE OF SPLASH BLOCKS OR EXTENSIONS SO THAT DISCHARGE IS A MINIMUM OF 3 FEET AWAY FROM FOUNDATION. NO DOWNSPOUT SHALL DISCHARGE IN AN AREA THAT DOES NOT POSITIVELY DRAIN AWAY FROM FOUNDATION. IT IS PREFERABLE FOR DOWNSPOUTS TO DISCHARGE IN SUBGRADE PIPING AND DIVERTED TO DESIGNATED DRY WELL LOCATIONS OR CONNECTED TO LOCAL MUNICIPAL STORM WATER.

FINISHES NOTES

- CONTRACTOR TO ENSURE THAT INTERIOR SHEATHING IS FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS.
- FLOOR MATERIAL TRANSITIONS OCCUR AT THE CENTERLINE OF DOORS OR FRAMED OPENINGS.
- ANY CUT OR NOTCHED WOOD SHALL BE COATED WITH AN EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT INTERIOR AND EXTERIOR SURFACES. SEE ADDITIONAL PAINT NOTES.
- ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS.
- THE MINIMUM STAIRCASE TREAD SHALL BE 13 INCHES AND THE MAXIMUM RISER SHALL BE 7.75 INCHES.
- HANDRAILS TO BE LOCATED 34-38 INCHES ABOVE STAIR TREADS AS MEASURED FROM THE NOSINGS.
- GUARDRAILS MUST BE LOCATED ALONG FLOOR SURFACES THAT ARE LOCATED 30 INCHES OR MORE ABOVE THE FLOOR OR GROUND BELOW.
- DO NOT USE FINGER-JOINTED WOOD.

INTERIOR AND EXTERIOR PAINTING NOTES

GENERAL NOTE ON INTERIOR AND EXTERIOR PAINTING:

- THE INTERIOR AND EXTERIOR OF THE BUILDING ARE SCHEDULED TO BE PAINTED COMPLETE.

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATION IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT ON SALVAGED ELEMENTS, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- PROVIDE 1 COAT OIL-BASED PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW WOOD TO HAVE AN ADDITIONAL COAT OF OIL-BASED PRIMER.
- REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- INTERIOR AND EXTERIOR WOOD-PATCHING AND HOLE FILLER COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P, OR APPROVED EQUAL).

SITEWORK/GRADING NOTES

- GRADING AND SITEWORK TO BE MINIMAL IN ALL AREAS NOT DIRECTLY AFFECTED BY THE WORK. FOLLOW BEST PRACTICES AND LOCAL REQUIREMENTS IN ORDER TO MINIMIZE ENVIRONMENTAL DAMAGE.
- PLUMBING LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, DOMESTIC WATER LINES, GAS LINES, TELECOMMUNICATIONS CABLING, AND IRRIGATION LINES ARE TO BE INSTALLED ON A DESIGN-BUILD BASIS.
- FINISH GRADE MUST SLOPE AWAY FROM EXTERIOR FOUNDATION WALL, AT A HEIGHT OF 6 INCHES OVER A 10 FOOT DISTANCE.
- ANY SURVEY MARKERS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED. IF A MARKER IS ALTERED BY A CONTRACTOR, IT SHALL BE RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE COST OF THAT CONTRACTOR.
- BEFORE GRADING OPERATIONS, A TEMPORARY PROTECTION FENCE SHALL BE CONSTRUCTED AROUND ANY TREE WITHIN 30 FEET OF THE FOUNDATION, AND A SILT FENCE MUST BE CONSTRUCTED DOWN SLOPE OF ANY AREA WHERE THE SOIL IS DISTURBED.

WEATHERPROOFING & AIR SEALING NOTES

- DESIGN INTENT: ADHERE TO IECC 2009.
- DEPICTED WEATHERPROOFING METHODS (SUCH AS SEALANT, CAULKING, AND FLASHING) ARE NOT COMPREHENSIVE. FOLLOW THE REQUIREMENTS AND RECOMMENDATIONS FROM BUILDING CODES, PRODUCT MANUFACTURER'S AND AGENCIES THAT DEVELOP STANDARDS.
- ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- CONTRACTOR SHALL SEAL THE BUILDING ENVELOPE TO PREVENT CONDITIONED AIR FROM LEAKING AROUND DOORS, WINDOWS, AND OTHER CRACKS. ANY PENETRATION IN THE BUILDING ENVELOPE MUST BE THOROUGHLY SEALED DURING THE CONSTRUCTION PROCESS, INCLUDING HOLES MADE FOR THE INSTALLATION OF PLUMBING, ELECTRICAL, AND HEATING/COOLING SYSTEMS. CONTRACTOR IS RESPONSIBLE FOR CAULKING, GASKETING, WEATHERSTRIPPING, WRAPPING, OR OTHERWISE SEALING TO LIMIT UNCONTROLLED AIR MOVEMENT. AREAS OF CONCERN INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
  - ALL JOINTS, SEAMS, AND PENETRATIONS
  - WINDOWS AND DOOR
  - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
  - UTILITY PENETRATIONS
  - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
  - KNEE WALLS
  - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
  - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
  - COMMON WALLS
  - ATTIC ACCESS OPENINGS
  - RIM JOIST JUNCTION
- CONTRACTOR TO TEST BUILDING ENVELOPE TIGHTNESS. **PERFORM BLOWER DOOR TESTS: THREE (3) REQUIRED. 1- FOLLOWING INSTALLATION OF AIR & MOISTURE BARRIER AND SEALING ALL EXTERIOR PENETRATIONS, BEFORE INSULATING 2- AFTER SYSTEMS ARE UP AND RUNNING AND 3- BEFORE TURNING THE HOUSE OVER TO THE OWNER .**
  - DURING TESTING:
    - EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED
    - DAMPERS SHALL BE CLOSED, BUT NOT SEALED, INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS
    - INTERIOR DOORS SHALL BE OPEN
    - EXTERIOR OPENINGS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED
    - HEATING AND COOLING SYSTEMS SHALL BE TURNED OFF
    - HVAC DUCTS SHALL NOT BE SEALED
    - SUPPLY AND RETURN REGISTERS SHALL NOT BE SEALED
- INSTALL AEROSOL-APPLIED, INTERIOR-SURFACE SEALANT FOR AIR SEALING. BASIS OF DESIGN AEROBARRIER. THE INTENT IS TO SEAL ALL REMAINING GAPS IN THE BUILDING ENVELOPE PRIOR TO THE APPLICATION OF INTERIOR FINISHES. SEE ADDITIONAL INFORMATION ABOUT THE INSTALLATION INCLUDED IN THE PROJECT MANUAL.**
- VISUAL INSPECTION LIST FOR AIR SEALING AND INSULATION COMPLIANCE.

Table 2: 2009 IECC 402.4.2 "Visual Inspection List for Air Sealing and Insulation Compliance"

Component	Criteria
Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air permeable insulation is not used as a sealing material. Air permeable insulation is inside of an air barrier.
Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jams and framing is sealed.
Rim joists	Rim joists are insulated and include air barrier.
Floors (including above garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl space is covered with class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, knee walls, and flue shafts opening to exterior or unconditioned space are sealed.
Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage separation	Air sealing is provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures are airtight, IC rated, and sealed to drywall. Exception – fixtures in conditioned space.
Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and air barrier separating them from the exterior wall.
Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
Common wall	Air barrier is installed in common wall between dwelling units.
HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Fireplace	Fireplace walls include an air barrier.

BASIC SITE INFORMATION

PROJECT ADDRESS	74, 75, and 76 Bridge Street Bluffton, South Carolina 29910
PROPERTY ID NUMBER	R610-039-00A-0159A-0000
ZONING DISTRICT	Neighborhood General (HD)
SITE AREA	0.95 acres
FLOOD ZONE:	X - outside the 0.2% annual chance floodplain
DESIGN WIND SPEED	138 MPH
SEISMIC DESIGN CATEGORY	Class C

SOILS AND SITE:

**SOILS INVESTIGATION PERFORMED BY xxxxxx. A COPY OF THE SHALLOW SUBSURFACE EXPLORATION/SHALLOW FOUNDATION DESIGN EVALUATION REPORT DATED xxxxxx CAN BE FOUND IN THE PROJECT MANUAL.**

SOIL INVESTIGATION (IF REQUIRED) ☐ no ☒ yes per IBC Table 1803.2

SOILS CLASSIFICATION

xxxxxx

Note for BO: Geotechnical investigations shall be conducted in accordance with Sections 1803.3 through 1803.5. Exception: The building official shall be permitted to waive the requirement for a geotechnical investigation where satisfactory data from adjacent areas is available that demonstrates an investigation is not necessary for any of the conditions in Sections 1803.5.1 through 1803.5.6 and Sections 1803.5.10 and 1803.5.11.

BASIC BUILDING CODE INFORMATION

OCCUPANCY GROUP (indicate all)	ASSEMBLY, A
OCCUPANCY GROUP (indicate most restrictive)	ASSEMBLY, A
CONSTRUCTION CLASSIFICATION	TYPE VB
FIRE PROTECTION	NOT SPRINKLERED
Does building have Accessory Occupancy (ies)? If so, what percent of story is Accessory Occupancy?	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes IBC 508.2
Mixed Occupancy	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes IBC 508
Non separated	<input type="checkbox"/> no <input checked="" type="checkbox"/> yes IBC 508.3
Separated	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes IBC 508.4 IBC 508.5
Does building require Incidental Use Area Separation?	<input checked="" type="checkbox"/> no <input type="checkbox"/> yes IBC 509.1

BRIAN- I DONT HAVE A SOILS REPORT. DO YOU HAVE SOMETHING FROM AN ADJACENT PROPERTY AVAILABLE THAT WILL DEMONSTRATE THE SOIL CONDITION?

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8395

Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Construction & Preservation Consulting ■ Estate Management



SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

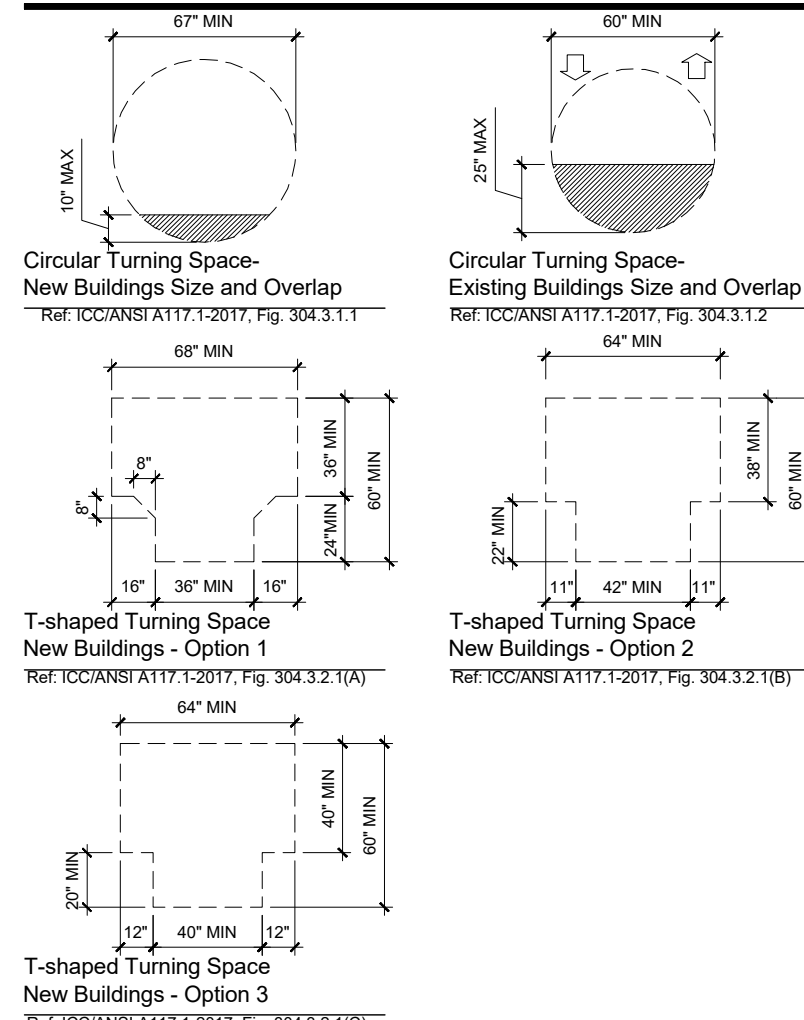
#	DATE	NOTES
1	Date 1	Revision 1

NOTES,  
SPECIFICATIONS,  
& CODE REVIEW

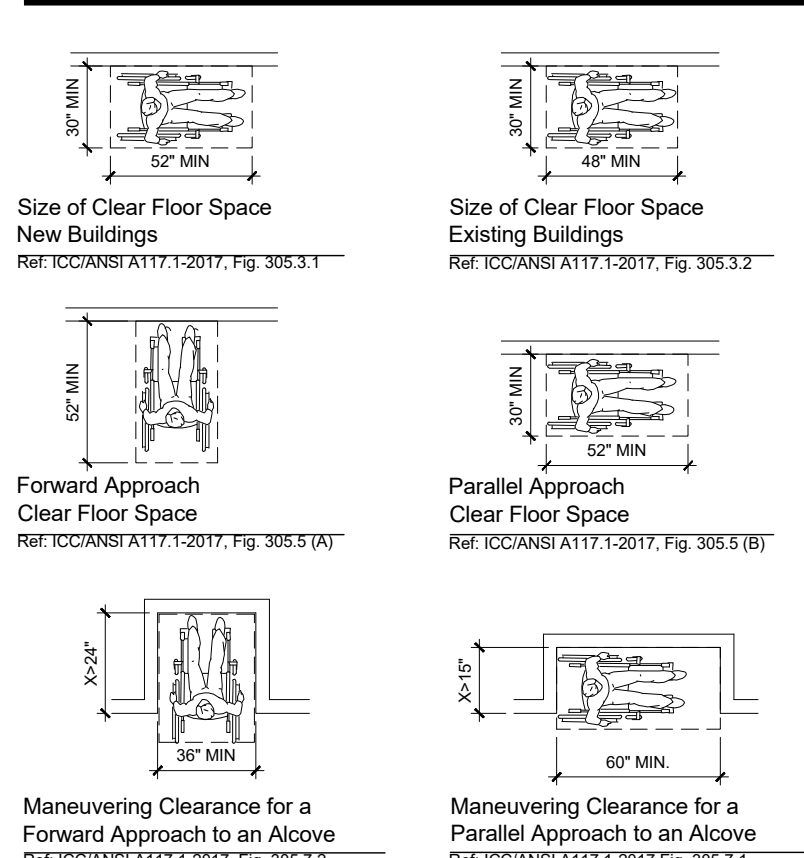
A002



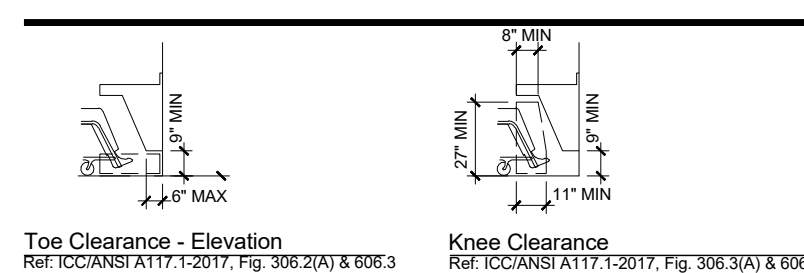
## 304 WHEELCHAIR TURNING SPACE



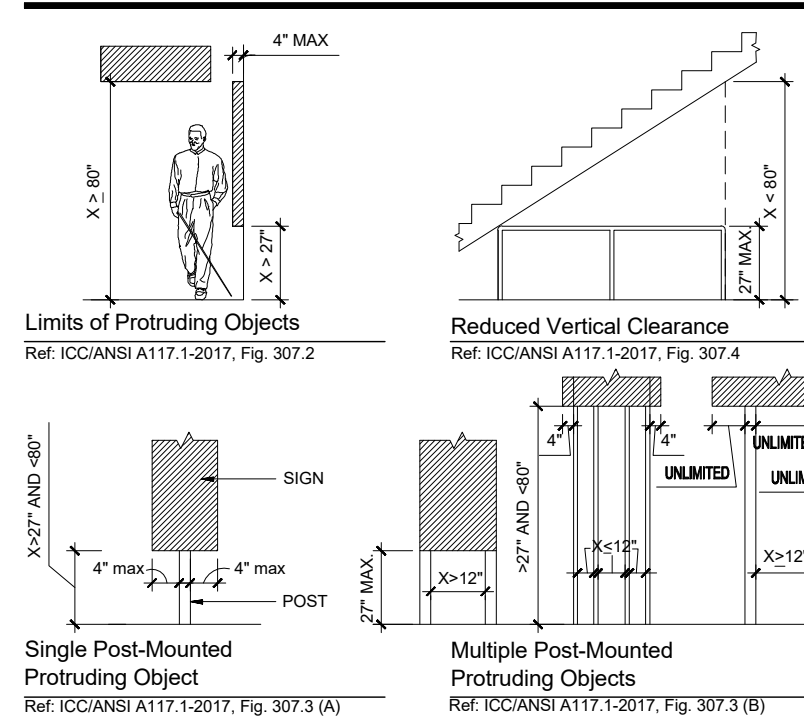
## 305 CLEAR FLOOR SPACE



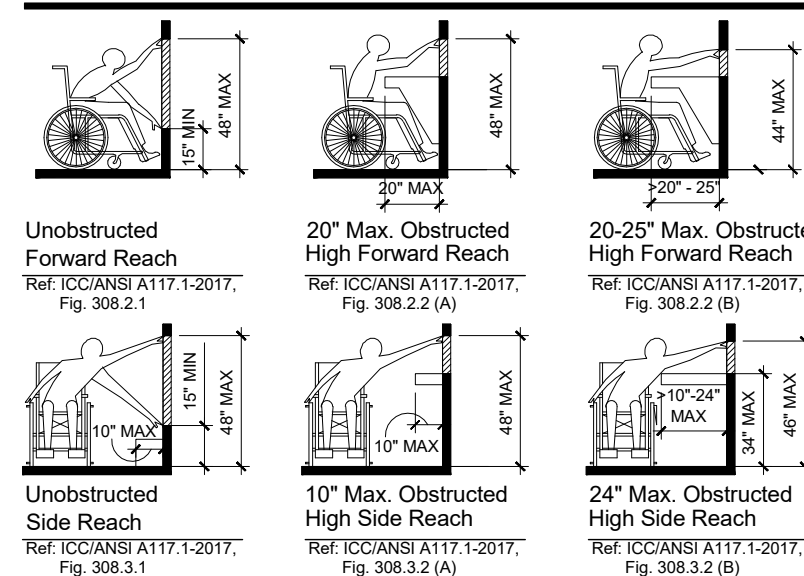
## 306 KNEE &amp; TOE CLEARANCE; 606 LAVATORIES &amp; SINKS; 902 SEATING AT TABLES, COUNTERS, &amp; WORK SURFACES



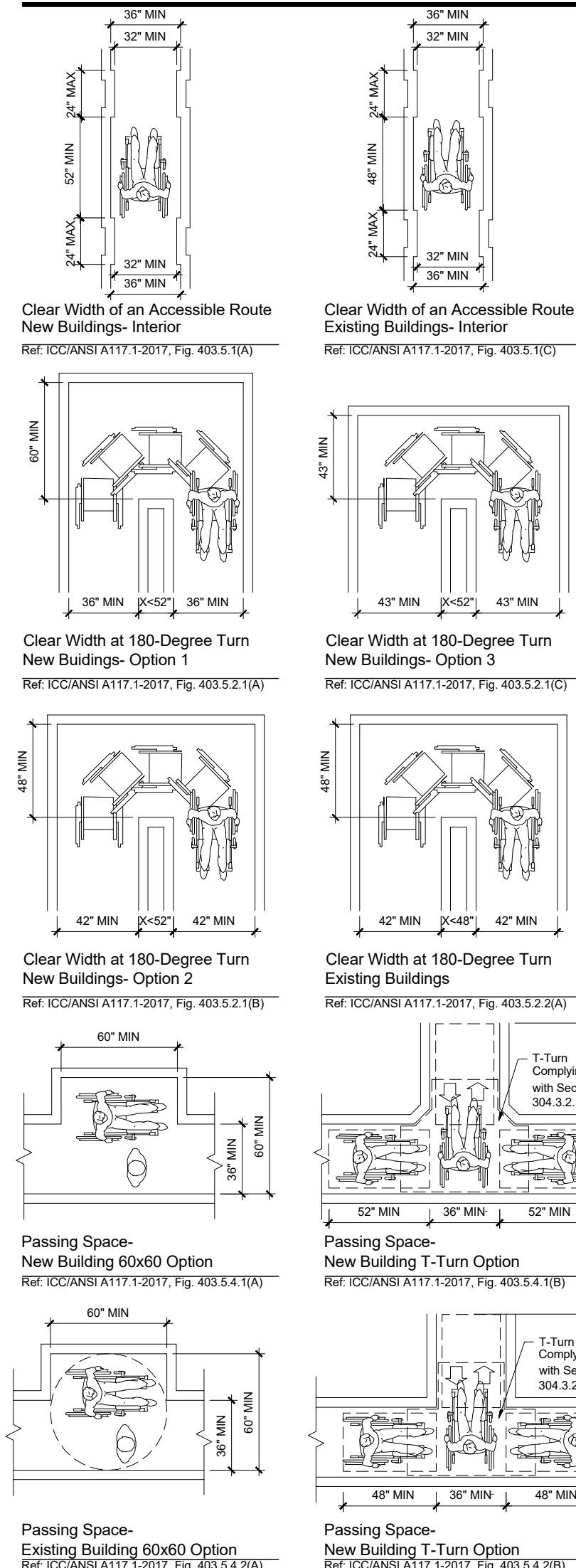
## 307 PROTRUDING OBJECTS



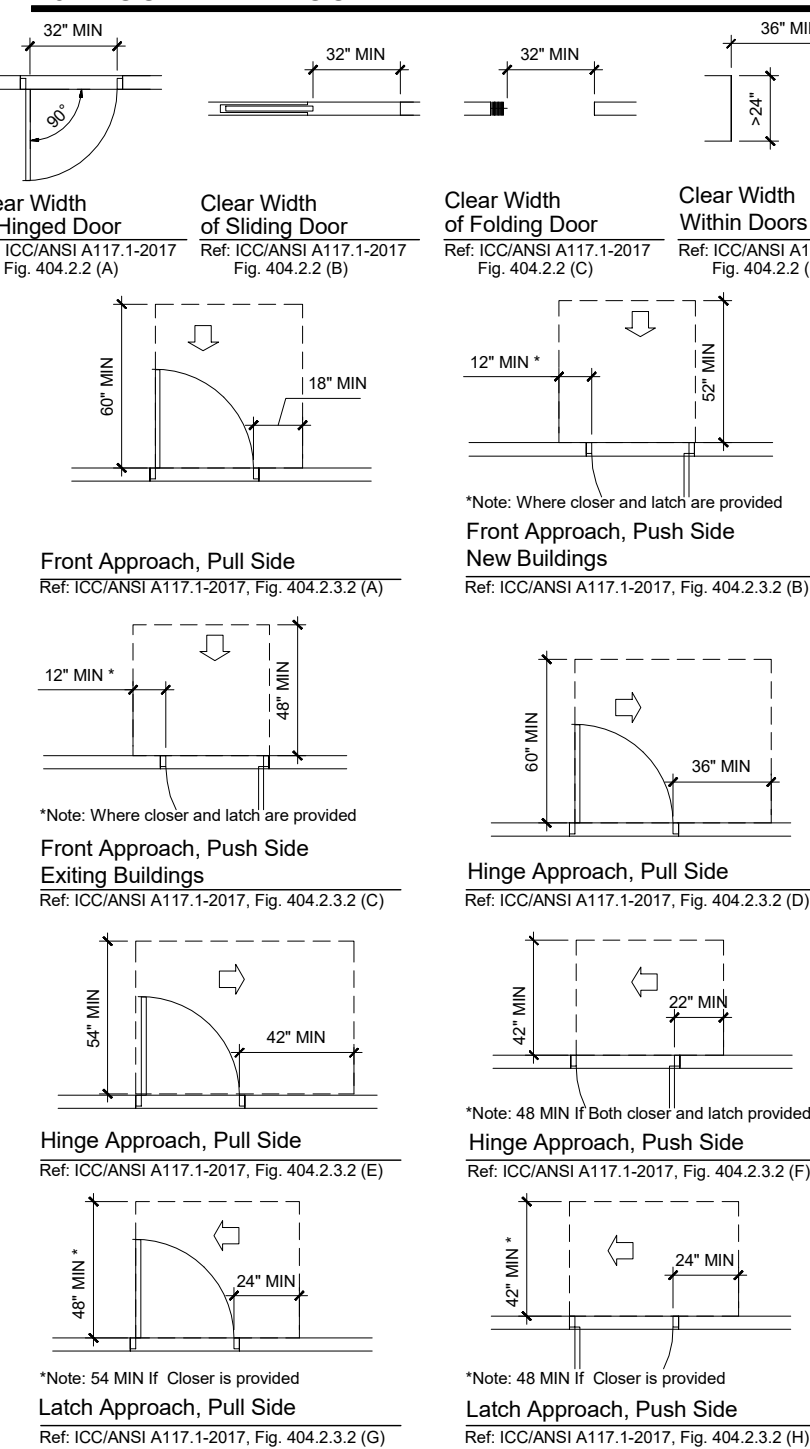
## 308 REACHING RANGES



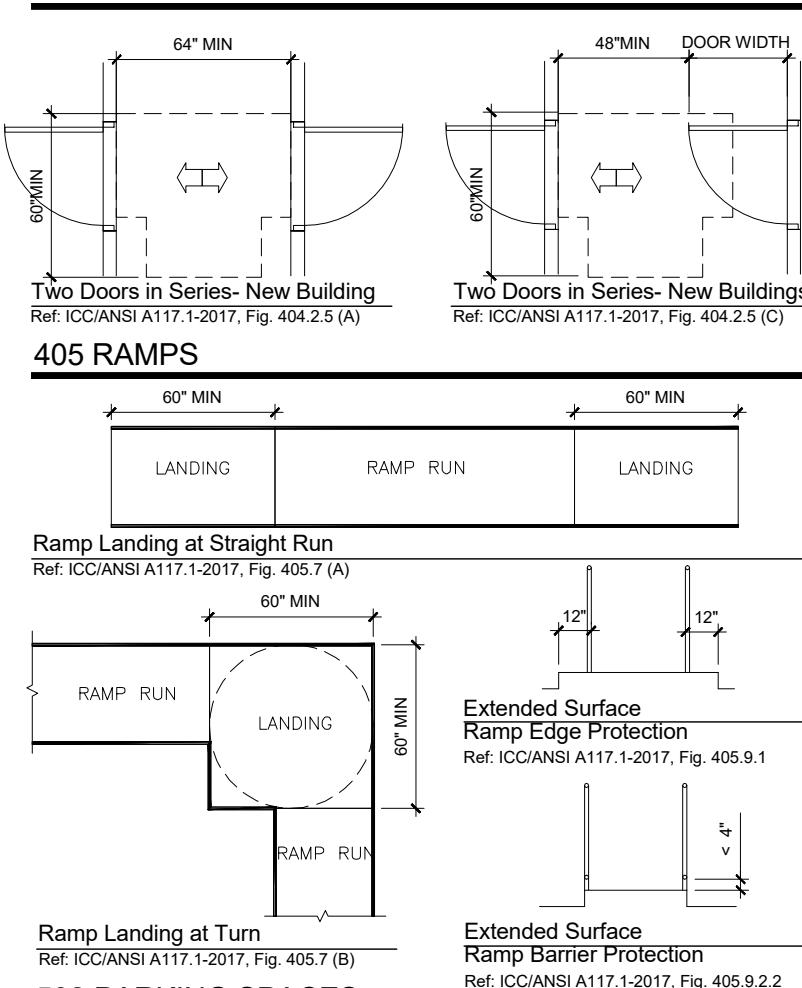
## 403 ACCESSIBLE ROUTES



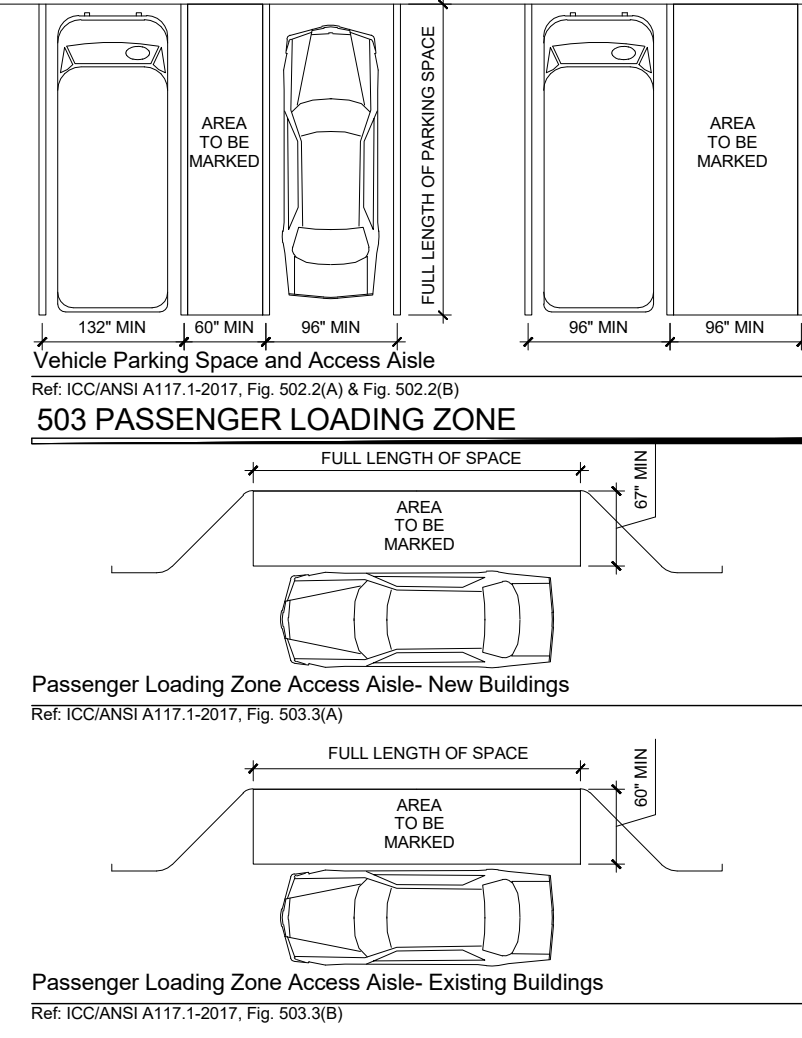
## 404 DOORS AND DOORWAYS



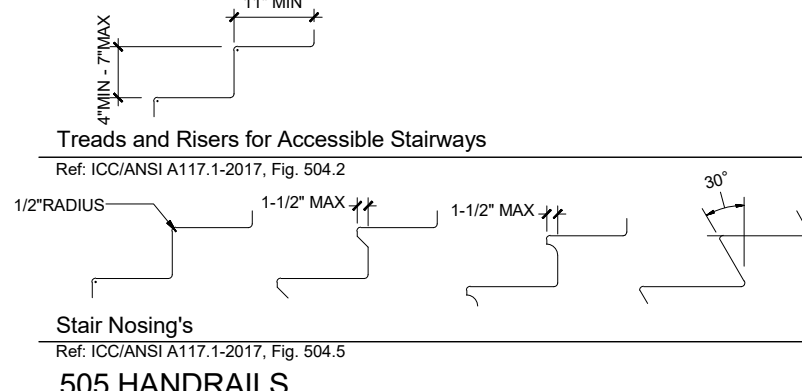
## 404 DOORS AND DOORWAYS (CONTINUED)



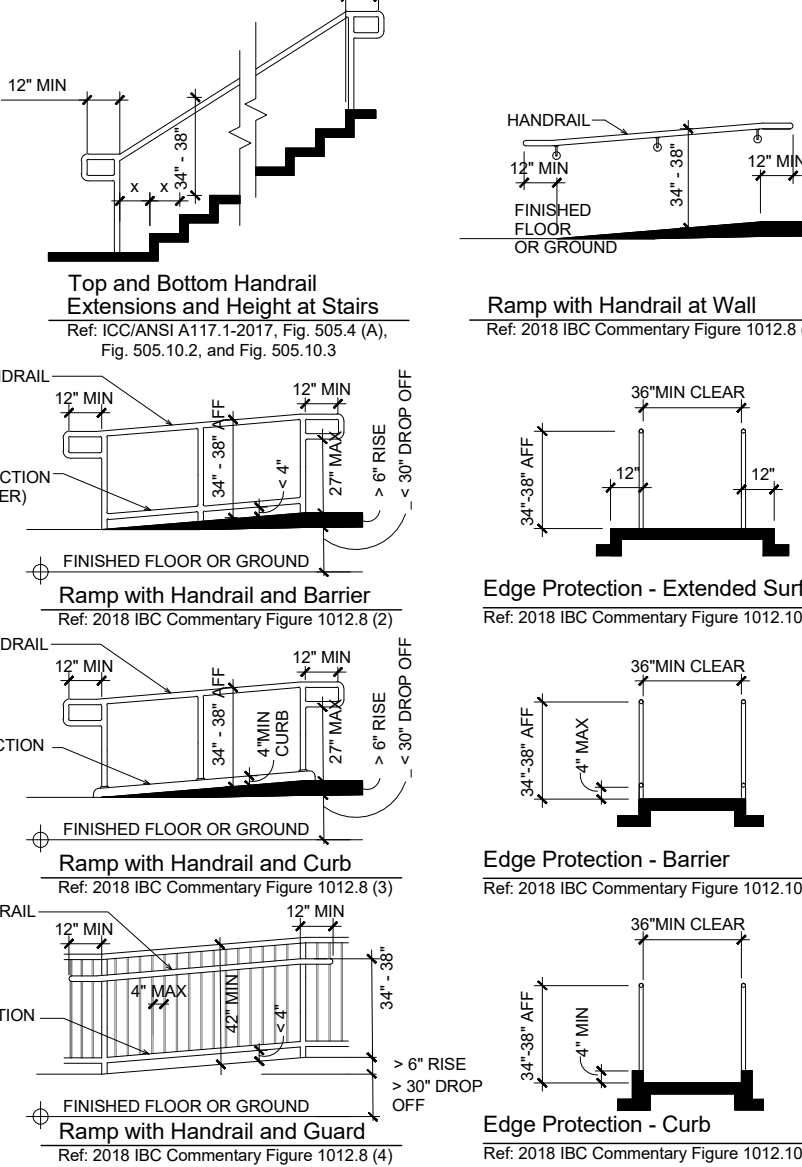
## 502 PARKING SPACES



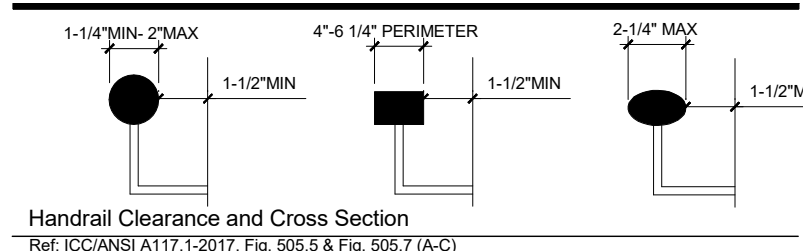
## 504 STAIRWAYS



## 505 HANDRAILS



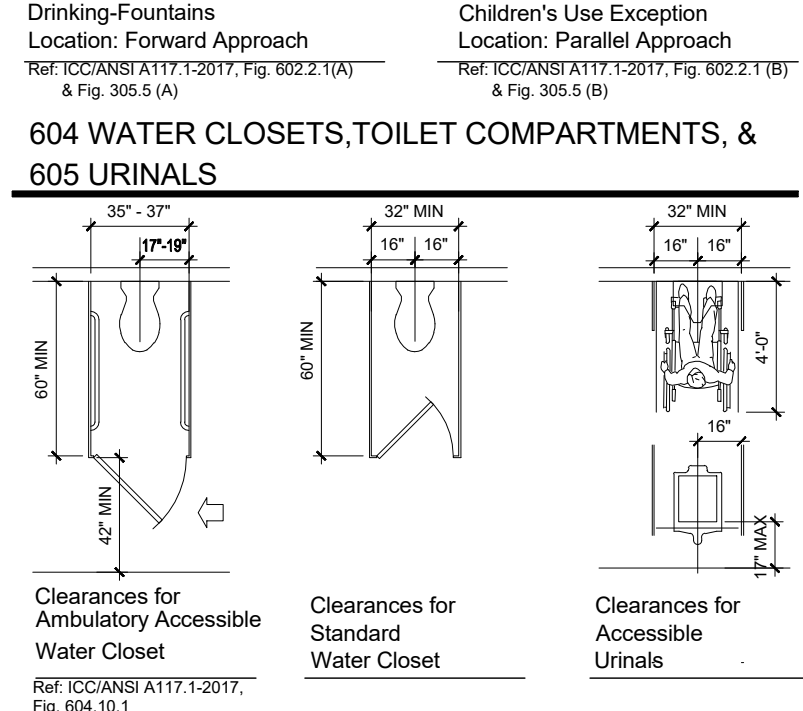
## 505 HANDRAILS (CONTINUED)



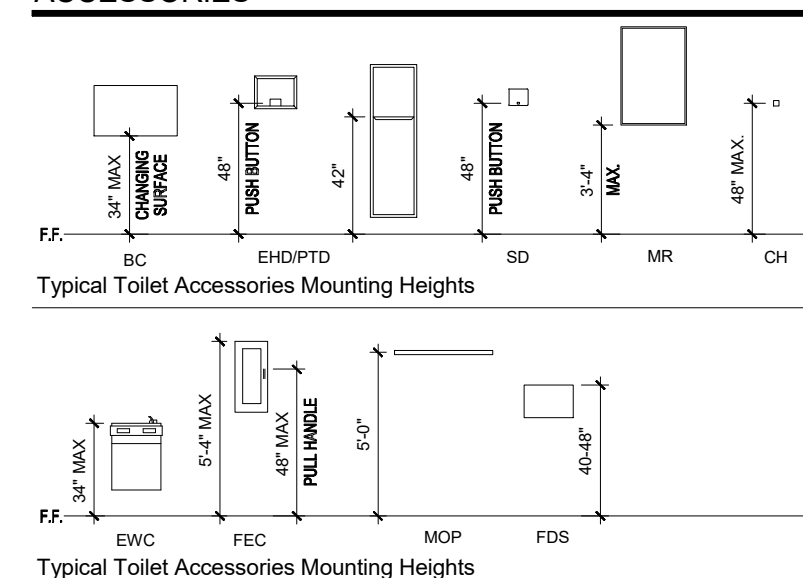
## 602 DRINKING FOUNTAINS AND WATER COOLERS



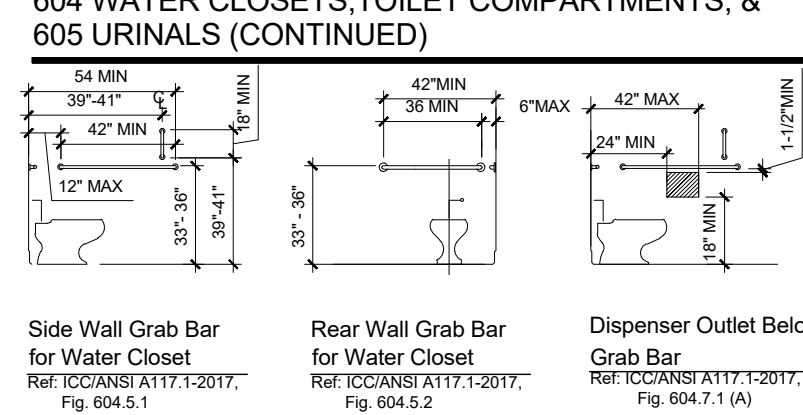
## 604 WATER CLOSETS, TOILET COMPARTMENTS, &amp; 605 URINALS



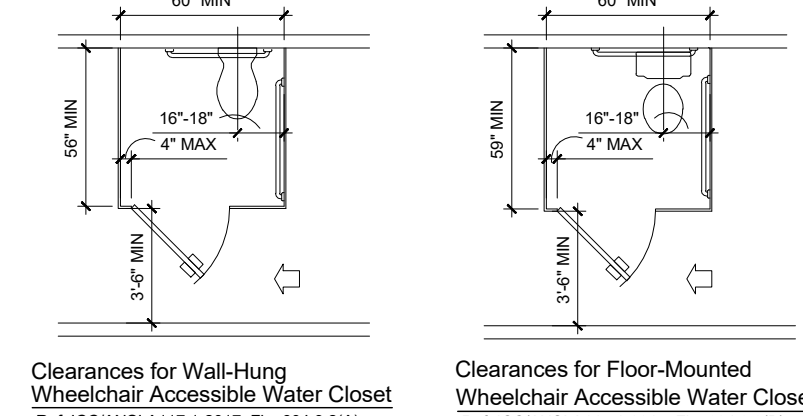
## ACCESSORIES



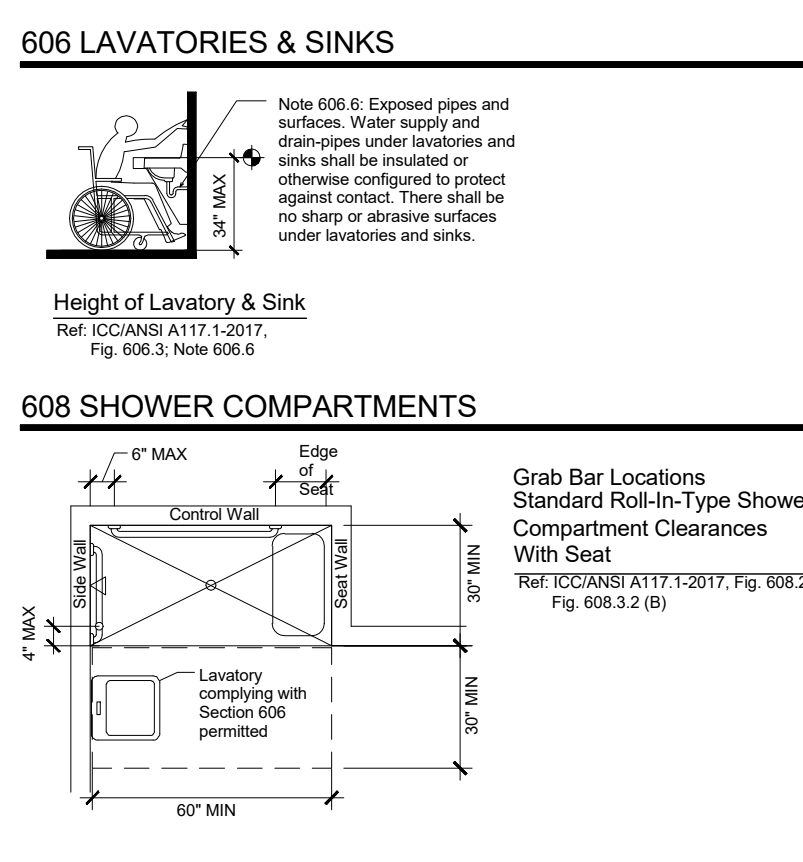
## 604 WATER CLOSETS, TOILET COMPARTMENTS, &amp; 605 URINALS (CONTINUED)



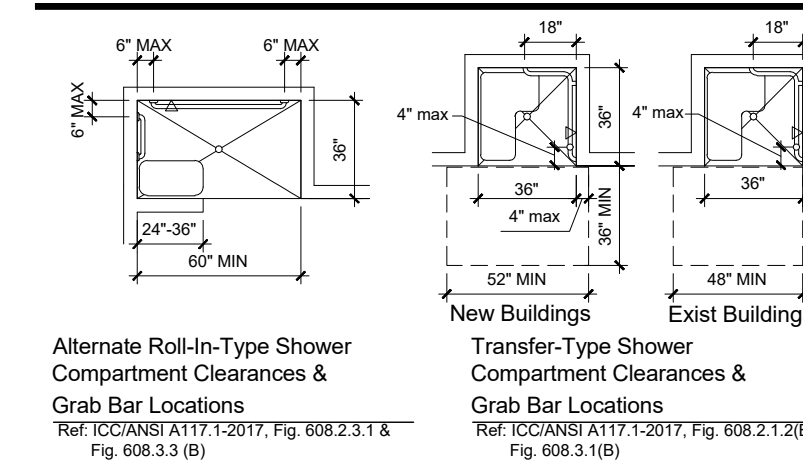
## 606 LAVATORIES &amp; SINKS



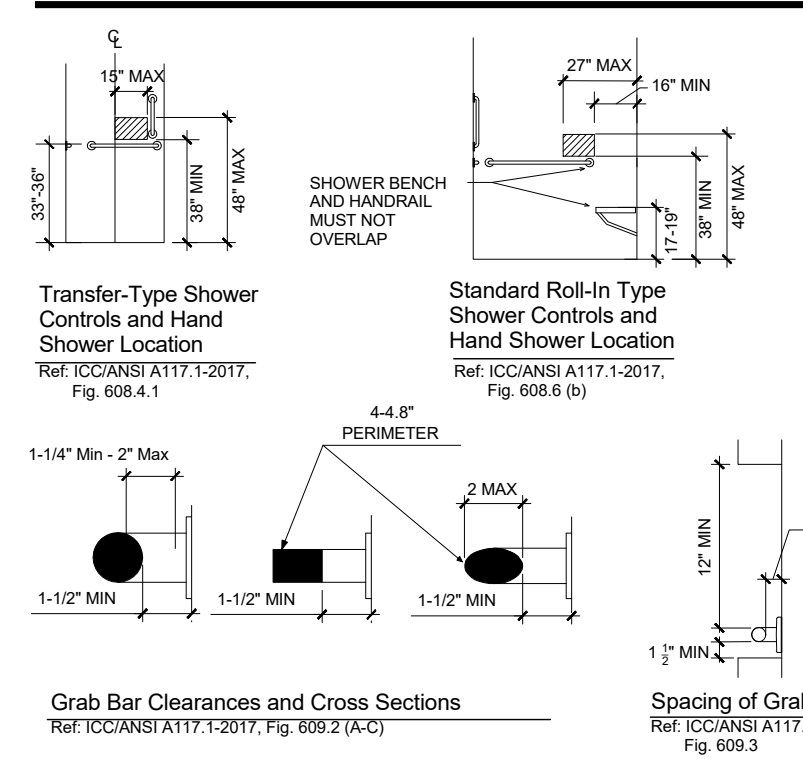
## 606 LAVATORIES &amp; SINKS



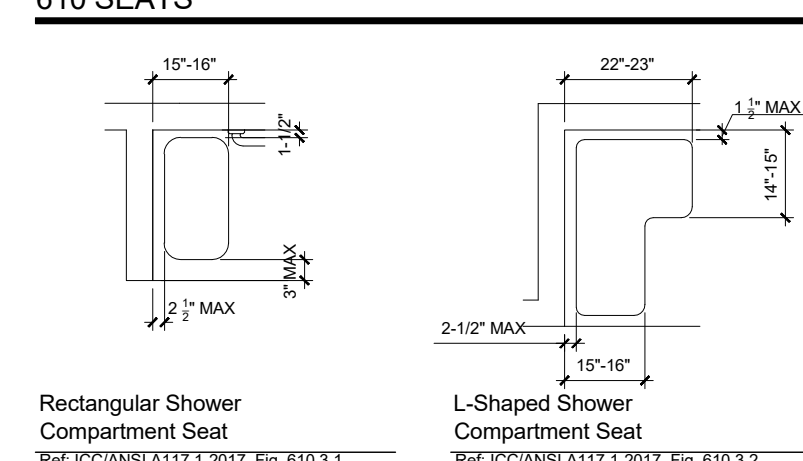
## 608 SHOWER COMPARTMENTS (CONTINUED)



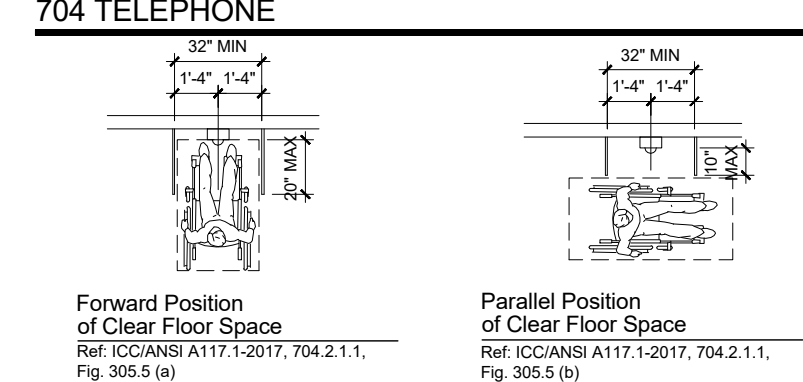
## 609 GRAB BARS



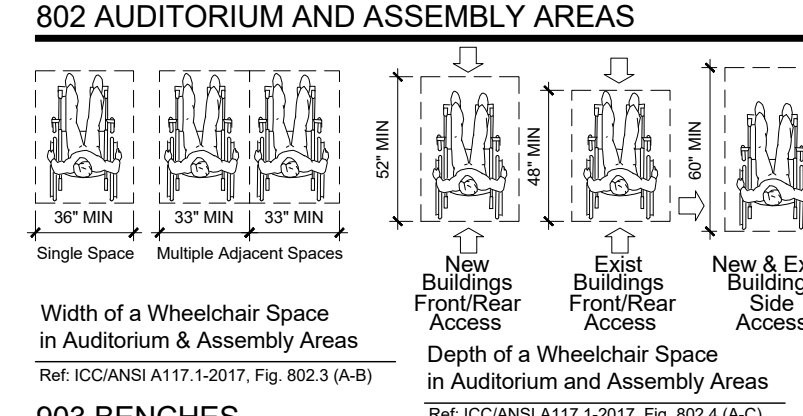
## 610 SEATS



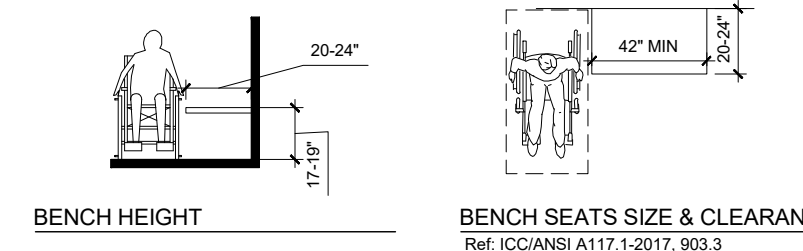
## 704 TELEPHONE



## 802 AUDITORIUM AND ASSEMBLY AREAS



## 903 BENCHES



THIS DRAWING HAS BEEN PREPARED, IN PART, WITH REFERENCE TO ICC A117.1-2017 STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. THE ARCHITECT HAS STRIVED TO ENSURE THAT ALL DETAILS ARE ACCURATE IN REPRESENTING THE INTENT OF ICC A117.1-2017. CONTRACTOR TO REVIEW ICC A117.1-2017 IN REGARDS TO SPECIFIC CONDITIONS THAT EXIST WITHIN THIS PROJECT RELATED TO ACCESSIBILITY AND COMPLY WITH THOSE REQUIREMENTS.

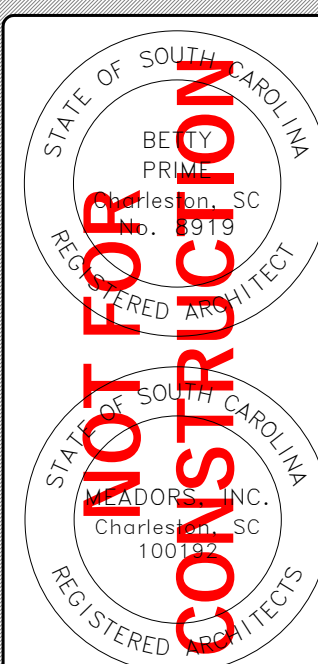
THESE DRAWINGS ONLY REPLICATE ILLUSTRATIONS FOUND WITHIN ICC A117.1-2017, BUT THEY LACK ALL OF THE COMMENTARY REQUIRED TO FULLY ADHERE TO COMPLIANCE REQUIREMENTS.

MEADORS

SINCE 1984

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Architecture ■ Construction ■ Design Services ■ Cemetery &amp; Memorial Planning ■ Estate Management

SARAH RILEY HOOKS  
COTTAGE PROJECT76 Bridge Street  
Bluffton, SC 29910PUBLIC  
PROJECT  
SUBMITTALPROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

# DATE NOTES

STANDARD ADA  
DETAILS

A003



EXISTING CONDITIONS- EXTERIOR PHOTOGRAPHS



EXISTING CONDITIONS- SOUTH ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- EAST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- PORCH  
NOT TO SCALE



EXISTING CONDITIONS- SOUTH ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- NORTHWEST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- SOUTHWEST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- WEST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- PORCH  
NOT TO SCALE



EXISTING CONDITIONS- PORCH  
NOT TO SCALE

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76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL  
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

EXISTING  
CONDITIONS -  
EXTERIOR  
A004



EXISTING CONDITIONS- INTERIOR PHOTOGRAPHS



EXISTING CONDITIONS- LIVING ROOM  
NOT TO SCALE



EXISTING CONDITIONS- REAR COMMON AREA  
NOT TO SCALE



EXISTING CONDITIONS- PORCH  
NOT TO SCALE



EXISTING CONDITIONS- BEDROOM 1  
NOT TO SCALE



EXISTING CONDITIONS- BEDROOM 1  
NOT TO SCALE



EXISTING CONDITIONS- SOUTHWEST ELEVATION  
NOT TO SCALE



EXISTING CONDITIONS- BEDROOM 2  
NOT TO SCALE



EXISTING CONDITIONS- BEDROOM 1  
NOT TO SCALE



EXISTING CONDITIONS- PORCH  
NOT TO SCALE

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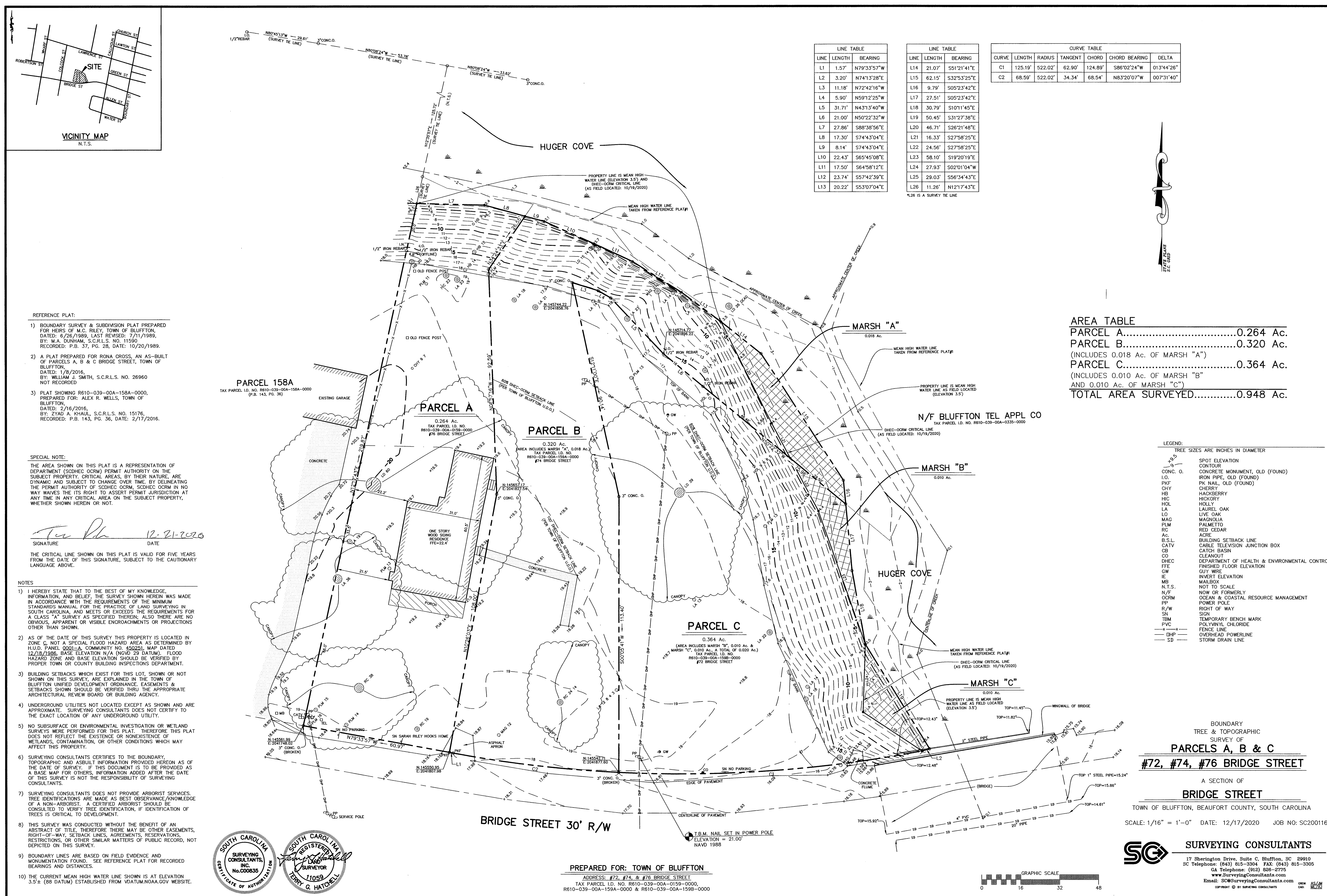
PUBLIC  
PROJECT  
SUBMITTAL  
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

EXISTING  
CONDITIONS -  
INTERIOR  
A005



## EXISTING CONDITIONS- SITE SURVEY



SURVEY

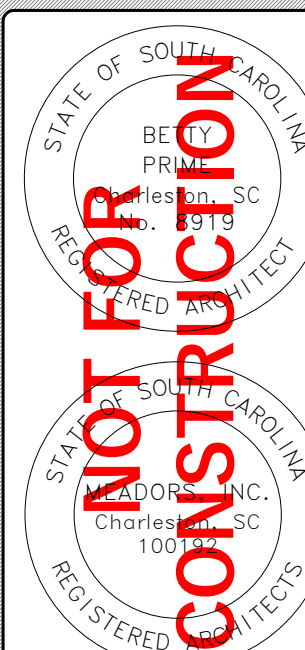
NOT TO SCALE

## MEADORS NOTES:

- SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO EXISTING SITE CONDITIONS AND SCOPE OF SITE WORK.
- PARCELS A, B & C HAVE BEEN COMBINED AND THE PROPERTY BOUNDS REVISED. SEE LANDSCAPE DRAWINGS.

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"x36"

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**SARAH RILEY HOOKS**  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

**PUBLIC PROJECT SUBMITTAL**

PROJ. NO. 22-0140  
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## REVISIONS

#	DATE	NOTES

EXISTING CONDITIONS -  
SITE SURVEY

**R-001**



1. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
2. THE OWNER'S OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE "INFIELD MODIFICATIONS".
3. LOCATE ALL EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
4. PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.












**PAVING AND MATERIAL KEY:**

	4" CONCRETE PAVING	+/-2206 SF
	6" CONCRETE PAVING	+/-1220 SF
	PERVIOUS PAVING (CRUSHED SHELL)	+/-2,654 SF

**DEVELOPMENT SUMMARY:**

PROPERTY ID:	NO. R610-039-00A-159A-0000
ADDRESS:	#14, #15, #16 BRIDGE STREET
PROPERTY ACREAGE:	0.95 ACRES
LIMIT OF DISTURBANCE	0.17 ACRES / 33, 463.7 SF
PARKING SPACES	3 (INCLUDING 1 ADA PARKING)
OPEN SPACE	0.86 ACRES / 37,610.7 SF

**PLANTING KEY:**

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b><u>TREES</u></b>		
	QV12	<i>Quercus virginiana</i> / Southern Live Oak
<b><u>PALM TREES</u></b>		
	SAFA	Sabal palmetto / Cabbage Palmetto
<b><u>SHRUBS</u></b>		
	AZAE	Azalea Encore TM / Encore Azalea
	CASA	Camellia sasanqua / Christmas Camellia
	HYMN	<i>Hydrangea macrophylla</i> 'Nikko Blue' / Nikko Blue Hydrangea
	ILVN	<i>Ilex vomitoria</i> 'Nana' / Dwarf Yaupon
	MAES	<i>Mahonia eurybracteata</i> 'Soft Caress' / Mahonia Soft Caress
	POPR	<i>Podocarpus macrophyllus</i> 'Pringies' / Dwarf Podocarpus
	VISU	<i>Viburnum suspensum</i> / Sandankina Viburnum
<b><u>GROUND COVERS</u></b>		
	TRAS	<i>Trachelospermum asiaticum</i> 'Asiatic' / Asiatic Jasmine
<b><u>SOD/SEED</u></b>		
	ZOYE	<i>Zoysia japonica</i> 'Empire' / Korean Grass

1 00 - PROPOSED SITE PLAN  
N.T.S.

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"x36"

**MEADORS NOTES:**

1. REFERENCE DRAWING PROVIDED BY JK TELLER ASSOCIATES INC.
2. MEADORS SCOPE OF WORK IS LIMITED TO THE SARAH RILEY HOOKS COTTAGE BUILDING.
3. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION RELATED TO SITE WORK.
4. LANDSCAPE LIGHTING TO TIE INTO HOUSE PANEL

**M E A D O R S**

S I N C E 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8185  
Charleston • Columbia • Greenville • Myrtle Beach • Savannah • Virginia Beach

NOT FOR CONSTRUCTION

SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/202

## REVISIONS

#	DATE	NOTES
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SITE PLAN -  
LANDSCAPE  
SITE PLAN

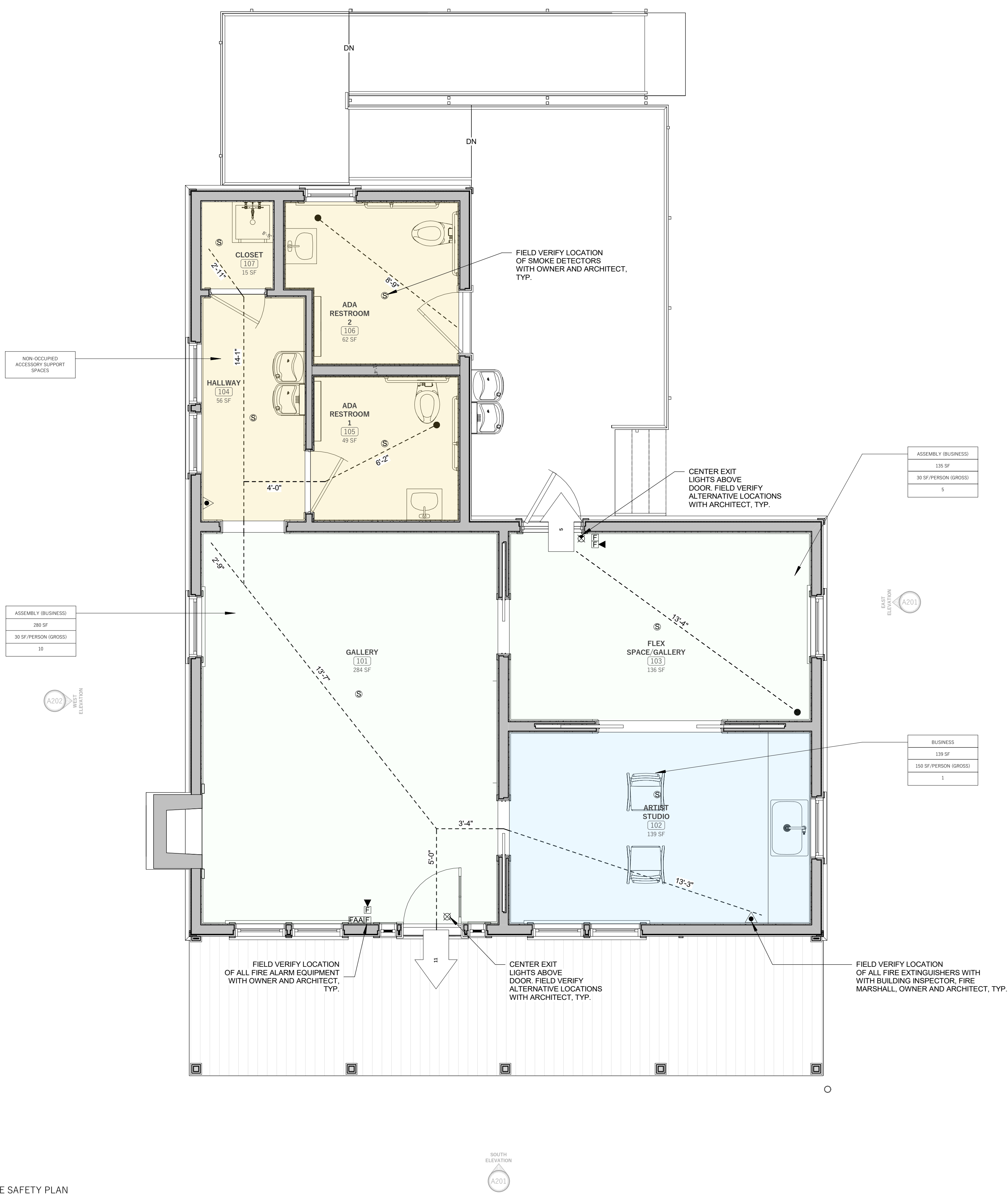
R-002



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1 LIFE SAFETY PLAN  
3/8" = 1'-0"

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"



LIFE SAFETY PLAN LEGEND

EGRESS COUNT & DIRECTION

PATH OF TRAVEL / TRAVEL DISTANCE

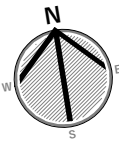
OCCUPANCY GROUP  
AREA - SF  
OCC. LOAD FACTOR  
# OF OCCUPANTS  
DOOR WIDTH

OCCUPANCY AREA TAG

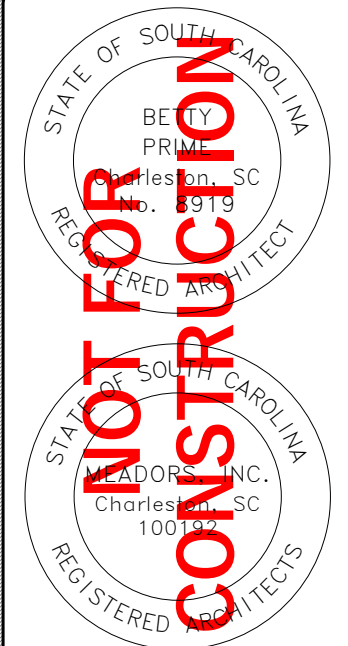
FIRE EXTINGUISHER  
EXIT SIGN  
FIRE ALARM STROBE  
FIRE ALARM HORN / STROBE  
FIRE ALARM PULL STATION  
2 HEAD EMERGENCY BATTERY PACK  
SMOKE DETECTOR

\* ALL FIRE EXTINGUISHERS TO BE TYPE 2-A UNLESS OTHERWISE NOTED. INSTALLATION TO COMPLY WITH IFC 906.9.1-906.9.3.

OCCUPANT LOAD				
Name	Occupancy Floor Area	Gross/Net	Floor Area in SF/ Occupant	Design Occupant Load
01 - 1ST FLR				
Room 101	280 SF	Net	30 SF	10
Room 102	138 SF	Gross	150 SF	1
Room 103	135 SF	Net	30 SF	5
Grand Total				16



MEADORS  
SINCE 1984  
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843.723.8855  
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SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC PROJECT SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

LIFE SAFETY PLAN

LS101





EXISTING CONDITION - VIEW FROM BRIDGE STREET

NOT TO SCALE



EXISTING CONDITIONS- PORCH

NOT TO SCALE



EXISTING CONDITIONS- REAR, NORTH ELEVATION & ROOF

NOT TO SCALE



EXISTING CONDITIONS- EAST ELEVATION & ROOF

NOT TO SCALE

**MEADORS**  
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**SARAH RILEY HOOKS**  
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76 Bridge Street  
Bluffton, SC 29910

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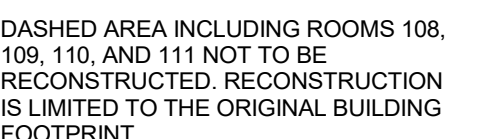
EXISTING SITE PLAN WITH DEMO NOTES

**D100**

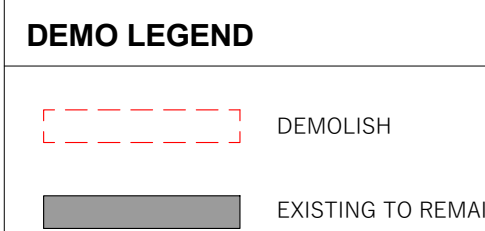
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— DASHED PORTION TO BE RECONSTRUCTED.



- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.
- A. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK.
- B. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THEIR ENTIRETY.
- C. CONSTRUCT AND RESTORE THE BUILDING TO ITS ORIGINAL FOOTPRINT WITHOUT LATER ADDITIONS. INTEGRATE THE HISTORIC MATERIALS SALVAGED FROM THE BUILDING.
- B. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION
- C. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- D. HAZARDOUS MATERIALS TESTING WAS COMPLETED IN NOVEMBER OF 2023. REFERENCE COMPREHENSIVE ASBESTOS/LEAD-BASED PAINT SURVEY REPORT IN THE PROJECT MANUAL. FOR ADDITIONAL INFORMATION, ASSUME THE PRESENT OR EXISTING BUILDING IS NOT CONTAMINATED BY ASBESTOS (SASH, DOORS, MANTEL), ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- A. TRIDENT ENVIRONMENTAL SUBMITTED A VARIANCE REQUEST FOR ALTERNATIVE WORK METHODS TO DHEC. A COPY OF THE VARIANCE IS INCLUDED IN THE TRIDENT REPORT.
- B. BASED ON THE FINDINGS OF THE SURVEY AND STRUCTURAL EVALUATION, TRIDENT REQUESTED A REGULATED DEMOLITION OF THE COMPROMISED SUBJECT STRUCTURE WITH THE UNDERSTANDING THAT ALL BUILDING MATERIALS WILL BE HANDLED AND DISPOSED AS COM-1/FIBERGLASS ASBESTOS. VARIANCE REQUEST FOR ALTERNATE WORK METHODS ARE CONTINGENT UPON APPROVAL OF THE STATE AND THE ACCEPTANCE OF AN ASBESTOS ABATEMENT PROJECT DESIGN DETAILING THE MEANS, METHODS, AND REGULATORY REQUIREMENTS.
- C. STATE REGULATIONS REQUIRE REGULATED DEMOLITIONS TO BE PERFORMED BY SCDCHE LICENSED ABATEMENT CONTRACTOR, SUPERVISOR, AND WORKERS UNDER CONTROLLED CONDITIONS AND USING THE ESTABLISHED PROTOCOL BY THE DEPARTMENT. CONTRACTOR WILL OBTAIN APPLICABLE PERMITS FROM THE TOWN, CITY AND/OR THE COUNTY AS REQUIRED BY ESTABLISHED CODES.
- D. AN ASBESTOS ABATEMENT PROJECT DESIGN WRITTEN BY A SCDCHE LICENSED PROJECT DESIGNER SHALL BE SUBMITTED WITH A COPY OF THE COMPREHENSIVE SURVEY, AN ABATEMENT PROJECT LICENSE APPLICATION, AND APPLICABLE FEES BY THE CONTRACTOR. PERIMETER AIR MONITORING SHALL BE CONDUCTED FOR THE DURATION OF THE PROJECT BY A SCDCHE LICENSED AIR SAMPLING PROFESSIONAL NOT UNDER EMPLOYMENT OF THE ABATEMENT ENTITY.
  - a. OWNER TO PROVIDE 3RD PARTY AIR MONITORING.
- E. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE IDENTIFIED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

D101



MATERIALS SCHEDULED TO BE SALVAGED

MATERIALS SCHEDULE TO BE SALVAGED			
DESCRIPTION	LOCATION	NOTES	COUNT
10 BRICK FROM CHIMNEY	WEST ELEVATION	REFERENCE DEMO FLOOR PLAN FOR LOCATION	10
WOOD WINDOW SASH	WINDOW SASH AT WINDOWS 1, 2, 5, 6, 9, 10, 11, 12	REFERENCE DEMO FLOOR PLAN FOR LOCATION	8 PAIR
INTERIOR DOORS	DOORS 2, 3, 4, 7	REFERENCE DEMO FLOOR PLAN FOR LOCATION	4
SIDELIGHTS	FRONT ENTRY DOOR AT PORCH, SIDELIGHTS 3, 4	REFERENCE DEMO FLOOR PLAN FOR LOCATION	2
EXTERIOR DOOR	FRONT ENTRY DOOR AT PORCH, DOOR 1	REFERENCE DEMO FLOOR PLAN FOR LOCATION	1
MANTEL	ROOM 101	REFERENCE DEMO FLOOR PLAN FOR LOCATION	1
PORCH LIGHT	ADJACENT TO FRONT ENTRY DOOR AT PORCH, DOOR 1	REFERENCE DEMO FLOOR PLAN FOR LOCATION	1
INTERIOR FLOOR BOARDS	ORIGINAL BUILDING	SALVAGE 3 FLOOR BOARDS FOR REFERENCE WHEN SELECTING NEW FLOOR MATERIAL	3
INTERIOR BASEBOARD	ORIGINAL BUILDING	SALVAGE 3 BOARDS OF EACH PROFILE TYPE FOR REFERENCE WHEN SELECTING NEW MATERIALS	3
INTERIOR CEILING BOARDS	ORIGINAL BUILDING	SALVAGE 3 BOARDS OF EACH PROFILE TYPE FOR REFERENCE WHEN SELECTING NEW MATERIALS	3
INTERIOR WALL BOARD	ORIGINAL BUILDING	SALVAGE 3 BOARDS OF EACH PROFILE TYPE FOR REFERENCE WHEN SELECTING NEW MATERIALS	3
INTERIOR WINDOW & DOOR TRIM	ORIGINAL BUILDING	SALVAGE 3 BOARDS OF EACH PROFILE TYPE FOR REFERENCE WHEN SELECTING NEW MATERIALS	3

\*\* REFERENCE EXISTING WINDOW AND DOOR SCHEDULES.

\*\* SALVAGED ELEMENTS ARE SCHEDULED TO BE INTEGRATED INTO THE NEW STRUCTURE.



FRONT PORCH LIGHT- SALVAGE GLOBE

NOT TO SCALE



5-PANEL WOOD DOORS- SALVAGE

NOT TO SCALE



MANTEL & WOOD WINDOWS- SALVAGE

NOT TO SCALE



MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8855

Architecture • Construction • Design Services • Cemetery & Mausoleum • Conservation & Preservation Planning • Estate Management

STATE OF SOUTH CAROLINA

BEFORE ME, the undersigned authority, on this day personally appeared SARAH RILEY HOOKS, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

NOTARIAL PUBLIC IN AND FOR THE STATE OF SOUTH CAROLINA

My Commission Expires 12/31/2024

SARAH RILEY HOOKS

COTTAGE PROJECT

76 Bridge Street

Bluffton, SC 29910

PUBLIC PROJECT SUBMITTAL

PROJ. NO. 22-0140

ISSUE DATE: 12/11/2024

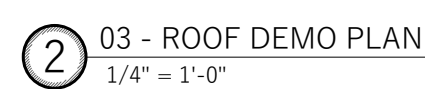
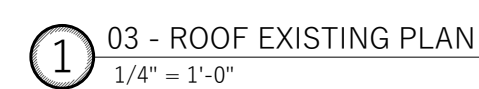
REVISIONS

#	DATE	NOTES
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INVENTORY OF ITEMS TO BE SALVAGED

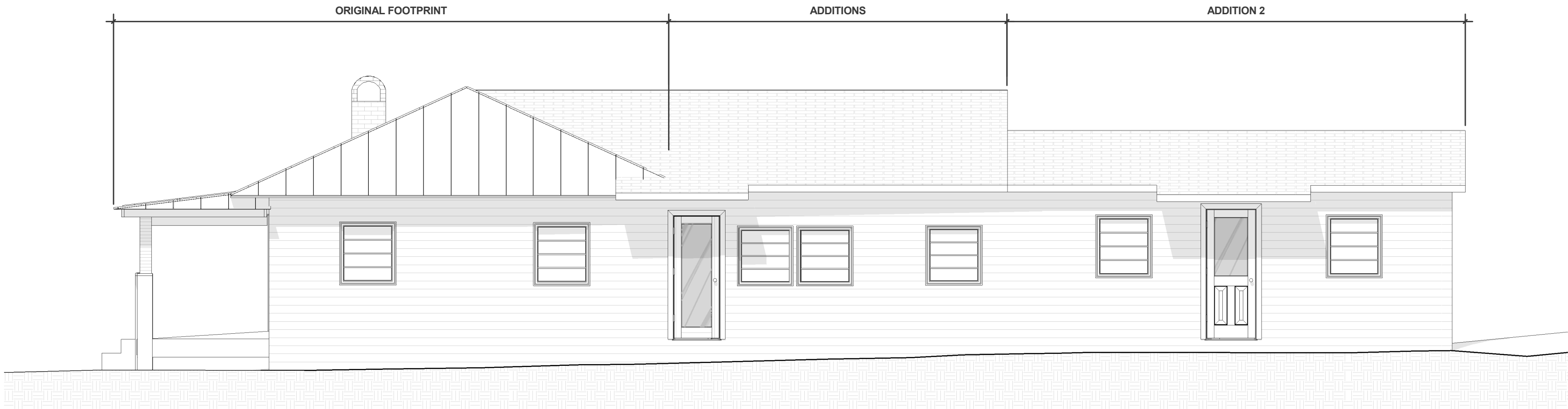
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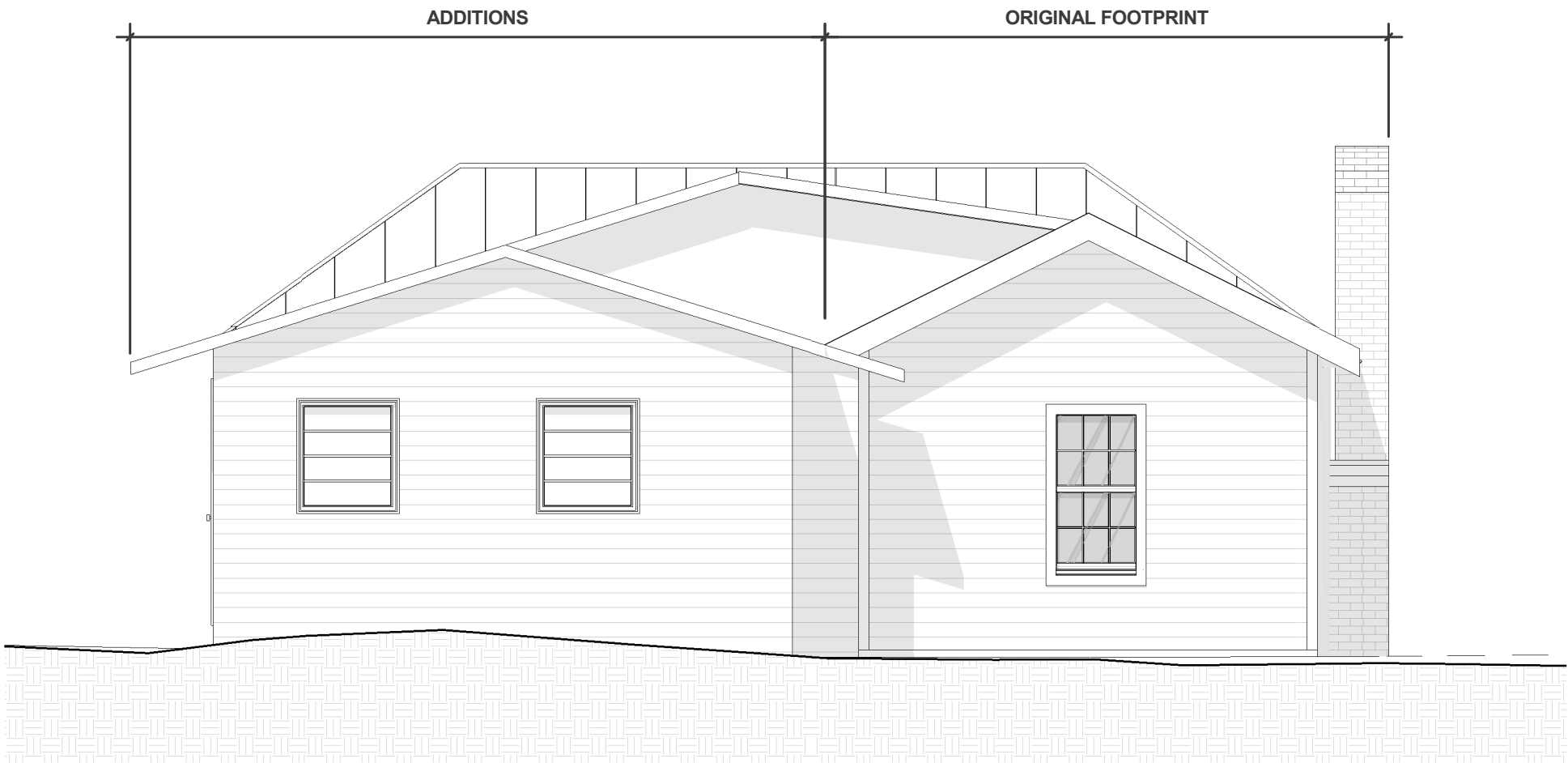


- D103

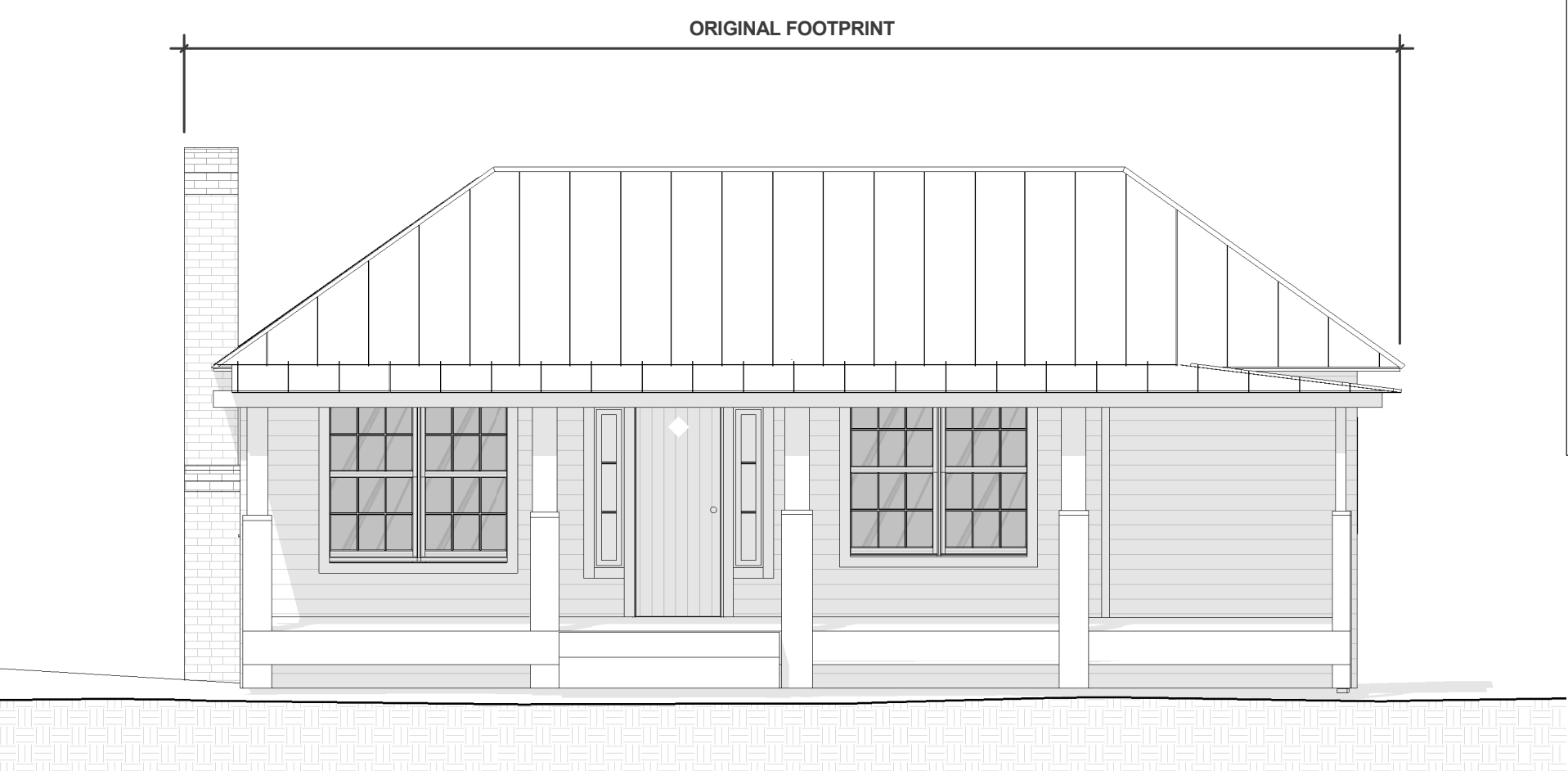




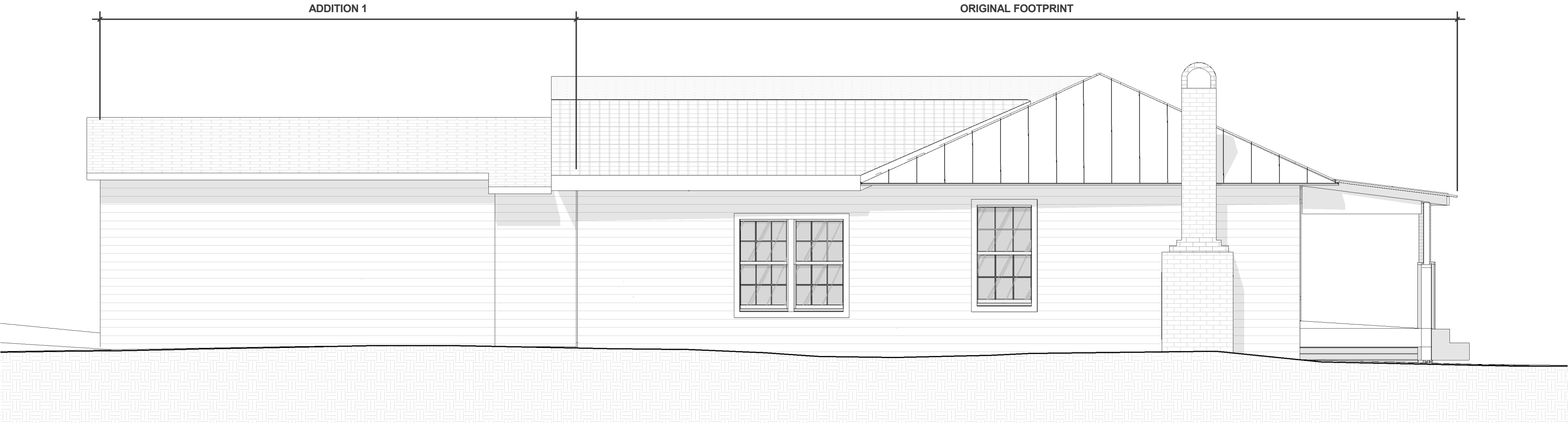
1 EXISTING EAST ELEVATION  
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



4 EXISTING WEST ELEVATION  
1/4" = 1'-0"

### GENERAL ELEVATION NOTES- EXISTING CONDITIONS

- REFERENCE MEADORS, INC. PRESERVATION PLAN REPORT DATED 12/21/22 FOR EXISTING CONDITIONS AND BUILDING CONDITIONS
- EXISTING ARCHITECTURAL ELEMENTS SHOULD BE USED AS TEMPLATES FOR NEW WORK AND FOR RESTORATION OF ELEMENTS. ALL NEW AND RESTORATION RELATED WORK SHOULD MATCH PROFILES OF EXISTING MATERIALS

### GENERAL DEMOLITION NOTES

- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.
- A. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK.
- B. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THEIR ENTIRETY.
- C. CONSTRUCT AND RESTORE THE BUILDING TO ITS ORIGINAL FOOTPRINT WITHOUT LATER ADDITIONS. INTEGRATE THE HISTORIC MATERIALS SALVAGED FROM THE BUILDING.
- B. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- C. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- D. HAZARDOUS MATERIALS TESTING WAS COMPLETED IN NOVEMBER OF 2023. REFERENCE COMPREHENSIVE ASBESTOS/LEAD-BASED PAINT SURVEY REPORT IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION. ASSUME LEAD IS PRESENT ON SALVAGED HISTORIC WOOD ELEMENTS (WINDOW SASH, DOORS, MANTEL). ALL WORK IS TO BE EXECUTED IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, AND APPLICABLE CONSTRUCTION STANDARDS AND CODES.
- A. TRIDENT ENVIRONMENTAL SUBMITTED A VARIANCE REQUEST FOR ALTERNATIVE WORK METHODS TO DHEC. A COPY OF THE VARIANCE IS INCLUDED IN THE TRIDENT REPORT.
- B. BASED ON THE FINDINGS OF THE SURVEY AND STRUCTURAL EVALUATION, TRIDENT RECOMMENDS REGULATED DEMOLITION OF THE COMPROMISED SUBJECT STRUCTURE WITH THE UNDERSTANDING THAT ALL BUILDING MATERIALS WILL BE HANDLED AND DISPOSED AS RACM - FRIABLE ASBESTOS. VARIANCE REQUEST FOR ALTERNATE WORK METHODS ARE CONTINGENT UPON APPROVAL OF THE STATE AND THE ACCEPTANCE OF AN ASBESTOS ABATEMENT PROJECT DESIGN DETAILING THE MEANS, METHODS, AND REGULATORY REQUIREMENTS.
- C. STATE REGULATIONS REQUIRE REGULATED DEMOLITIONS TO BE PERFORMED BY SCDHEC LICENSED ABATEMENT CONTRACTOR, SUPERVISOR, AND WORKERS UNDER CONTROLLED CONDITIONS AND USING THE ESTABLISHED PROTOCOL BY THE DEPARTMENT. CONTRACTOR WILL OBTAIN APPLICABLE PERMITS FROM THE TOWN, CITY AND/OR THE COUNTY AS REQUIRED BY ESTABLISHED CODES. AN ASBESTOS ABATEMENT PROJECT DESIGN WRITTEN BY A SCDHEC LICENSED PROJECT DESIGNER MUST BE SUBMITTED WITH A COPY OF THE COMPREHENSIVE SURVEY, AN ABATEMENT PROJECT LICENSE APPLICATION, AND APPLICABLE FEES BY THE CONTRACTOR. PERIMETER AIR MONITORING IS REQUIRED FOR THE DURATION OF THE PROJECT BY A SCDHEC LICENSED AIR SAMPLING PROFESSIONAL NOT UNDER EMPLOYMENT OF THE ABATEMENT ENTITY.
- a. OWNER TO PROVIDE 3RD PARTY AIR MONITORING.
- E. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8385

Architecture ■ Construction ■ Design Services ■ Cemetery & Burial ■ Construction & Preservation Planning ■ Estate Management



SARAH RILEY HOOKS

COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

#### REVISIONS

#	DATE	NOTES
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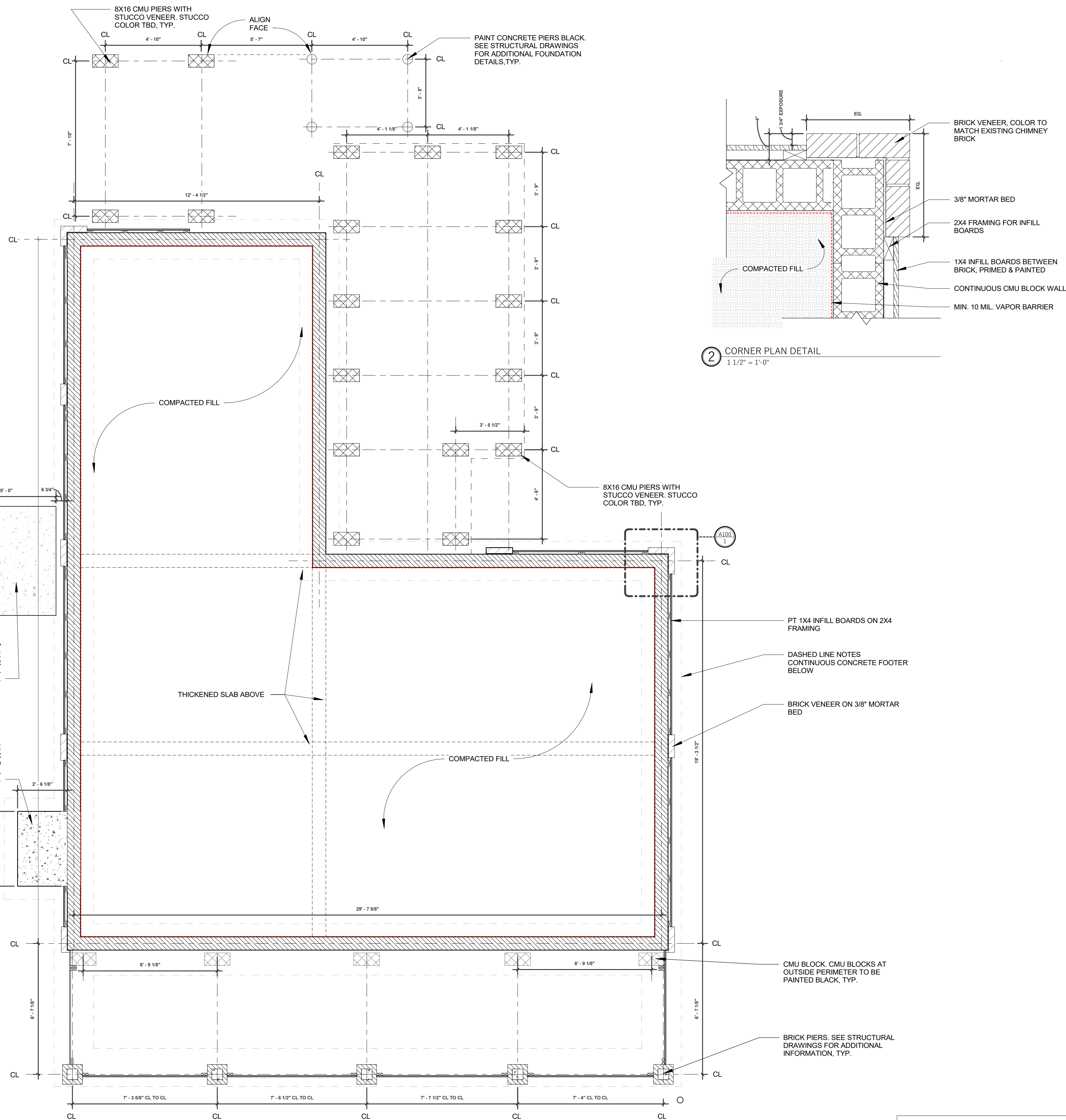
EXISTING &  
DEMO BUILDING  
ELEVATIONS

D201



PRINTED ON: 11/18/2025 3:59:21 PM FILE LOCATION: C:\Users\Betsy\Documents\Draws\Bluff House\Draws - WORKING\CD DRAWINGS - 11/18/2025\BP\_0001.mxd @meadorsinc.com

1 00 - GRADE PLAN  
3/8" = 1'-0"



GENERAL CONSTRUCTION NOTES

- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.
- A. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK.
- B. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THEIR ENTIRETY.
- C. CONSTRUCT AND RESTORE THE BUILDING TO ITS ORIGINAL FOOTPRINT WITHOUT LATER ADDITIONS. INTEGRATE THE HISTORIC MATERIALS SALVAGED FROM THE BUILDING.
- B. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- C. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. REFERENCE HAZARDOUS MATERIALS REPORT FOR LOCATION OF HAZARDOUS MATERIALS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL WHERE RELEVANT TO SCOPE OF WORK.
- A. REFER TO SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- D. THE EXISTING BUILDING IS HISTORIC. SPECIAL CARE SHALL BE TAKEN TO PROTECT THE ELEMENTS SCHEDULED TO BE SALVAGED. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD UNLESS OTHERWISE NOTED.
- E. THE SITE IS LOCATED IN A RESIDENTIAL AREA. CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.
- F. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- H. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- I. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- J. REFERENCE ENLARGED FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
- K. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- L. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.

FLOOR PLAN LEGEND

Room name	
101	ROOM NUMBER REFER TO ROOM FINISH SCHEDULE
150 SF	
(101)	EXISTING DOOR NUMBER (SALVAGED MATERIAL) REFER TO DOOR SCHEDULE
(ND#)	NEW DOOR NUMBER REFER TO DOOR SCHEDULE
#	EXISTING WINDOW NUMBER (SALVAGED MATERIAL) REFER TO WINDOW SCHEDULE
N#	NEW WINDOW NUMBER REFER TO WINDOW SCHEDULE
3	NEW CONSTRUCTION NUMBERED NOTE REFER TO DESCRIPTIONS ON THIS PAGE
	TILE FLOORING
	TONGUE AND GROOVE WOOD FLOORING

- NOTES (TERMITE TREATMENT, TERMITE BOND, & SYSTEMS LAYOUT REQUIREMENTS):
- PRE-TREAT SOILS FOR TERMITES PRIOR TO INSTALLING NEW FOUNDATIONS.
  - PROVIDE TERMITE TREATMENT BOND PER SPECIFICATIONS AND VISUAL INSPECTION REQUIREMENTS FOR BONDED TERMITE POLICY.
  - CONTRACTOR TO CONFIRM LAYOUT OF SPRINKLER SYSTEM (IF APPLICABLE), LIGHTING, EMERGENCY FIXTURES, AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.

MEADORS



SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

GRADE PLAN

A100

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8385  
Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Construction & Preservation Planning ■ Urban Management



**Room name**

- 101** → ROOM NUMBER
- 150 SF** → REFER TO ROOM FINISH SCHEDULE
- 101** → EXISTING DOOR NUMBER  
REFER TO DOOR SCHEDULE
- ND#** → NEW DOOR NUMBER  
REFER TO DOOR SCHEDULE
- #** → EXISTING WINDOW NUMBER  
REFER TO WINDOW SCHEDULE
- N#** → NEW WINDOW NUMBER  
REFER TO WINDOW SCHEDULE
- 3** → NEW CONSTRUCTION NUMBERED NOTE  
REFER TO DESCRIPTIONS ON THIS PAGE
- [Tiled Pattern]** → TILE FLOORING
- [Grooved Pattern]** → TONGUE AND GROOVE WOOD FLOORING

A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTATEMENT OF THE NEW STRUCTURAL SYSTEMS AFTER THE PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.

B. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK.

C. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THE ORIGINAL FOOTPRINT.

D. CONSTRUCT AND RESTORE THE BUILDING TO ITS ORIGINAL FOOTPRINT WITHOUT LATER ADDITIONS. INTEGRATE THE HISTORIC MATERIALS SALVAGED FROM THE BUILDING.

E. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.

F. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND ALL CURRENTLY ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.

G. REFERENCE HAZARDOUS MATERIALS REPORT FOR LOCAL, STATE, AND FEDERAL CODES. CONTRACTOR IS RESPONSIBLE FOR REMOVAL WHERE RELEVANT TO SCOPE OF WORK.

H. REFER TO SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.

I. THE EXISTING BUILDING IS HISTORIC. SPECIAL CARE SHALL BE TAKEN TO PROTECT THE ELEMENTS SCHEDULED TO BE SALVAGED. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD UNLESS OTHERWISE NOTED.

J. THE SITE IS LOCATED IN A RESIDENTIAL AREA. CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

K. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

L. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.

M. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.

N. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.

O. REFERENCE ENLARGED FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.

P. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

Q. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.

ROOM NUMBER	ROOM NAME	CONDITIONED	AREA
01 - 1ST FLR FINISH			
101	GALLERY	Yes	284 SF
102	ARTIST STUDIO	Yes	139 SF
103	FLEX SPACE/GALLERY	Yes	136 SF
104	HALLWAY	Yes	56 SF
105	ADA RESTROOM 1	Yes	49 SF
106	ADA RESTROOM 2	Yes	62 SF
107	CLOSET	Yes	15 SF
Grand total			740 SF
			740 SF

**A**

- 5/8" GYPSUM
- 2X6 PT FRAMING WITH SPRAY FOAM INSULATION
- 1/2" T&G EXTERIOR RATED PLYWOOD SHEATHING
- WEATHER RESISTANT BARRIER
- WOOD LAP SIDING WITH 5" EXPOSURE

**B**

- 2X6 PT FRAMING WITH BATT INSULATION
- 5/8" GYPSUM

**C**

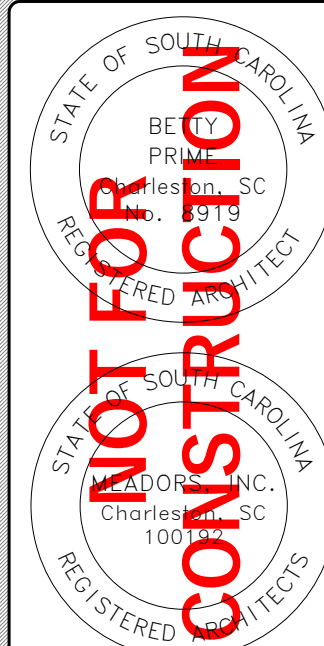
- 2X6 STUDS WITH BATT INSULATION
- 5/8" MOLD AND MILDEW RESISTANT GYPSUM
- TILE

**D**

- 2X4 STUDS WITH BATT INSULATION
- 5/8" MOLD AND MILDEW RESISTANT GYPSUM
- TILE

1. PRE-TREAT SOILS FOR TERMITES PRIOR TO INSTALLING NEW FOUNDATIONS.
2. PROVIDE TERMITE TREATMENT BOND PER SPECIFICATIONS AND VISUAL INSPECTION REQUIREMENTS FOR BONDED TERMITE POLICY.
3. CONTRACTOR TO CONFIRM LAYOUT OF SPRINKLER SYSTEM (IF APPLICABLE), LIGHTING, EMERGENCY FIXTURES, AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
4. PERFORM BLOWER DOOR TESTS: THREE (3) REQUIRED. 1-FOLLOWING INSTALLATION OF A MOISTURE BARRIER AND SEALING ALL EXTERIOR PENETRATIONS, BEFORE INSULATING 2-AFTER SYSTEMS ARE UP AND RUNNING AND 3-BEFORE TURNING THE HOUSE OVER TO THE OWNER.
5. INSTALL AEROSOL-APPLIED, INTERIOR-SURFACE SEALANT FOR AIR SEALING. BASIS OF DESIGN AEROBARRIER. THE INTENT IS TO SEAL ALL REMAINING GAPS AND CRACKS PRIOR TO APPLICATION OF INTERIOR FINISHES. SEE ADDITIONAL INFORMATION ABOUT THE INSTALLATION INCLUDED IN THE PROJECT MANUAL.

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8895  
Commercial • Office • Retail • Restaurant • Kitchen • Bar • Home Remodeling



SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/2023

## REVISIONS

#	DATE	NOTES
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PROPOSED 1ST  
FLR PLAN

A101





SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"x36"

## GENERAL CONSTRUCTION NOTES

- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE RESULT. SEE PLANS.
- A. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK
- B. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THEIR ENTIRETY.
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- G. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
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- I. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- J. REFERENCE ENLARGED FLOOR PLANS AND ELEVATIONS FOR ADDITIONAL INFORMATION.
- K. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- L. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.

**Room name**

101  
150 SF

ROOM NUMBER  
REFER TO ROOM FINISH SCHEDULE

101

EXISTING DOOR NUMBER  
(SALVAGED MATERIAL)  
REFER TO DOOR SCHEDULE

ND#

NEW DOOR NUMBER  
REFER TO DOOR SCHEDULE

#

EXISTING WINDOW NUMBER  
(SALVAGED MATERIAL)  
REFER TO WINDOW SCHEDULE

N#

NEW WINDOW NUMBER  
REFER TO WINDOW SCHEDULE

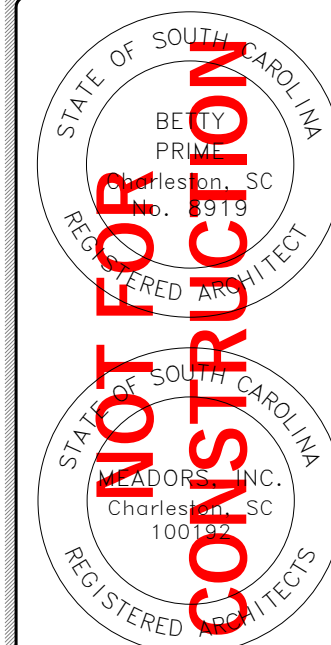
3

NEW CONSTRUCTION NUMBERED NOTE  
REFER TO DESCRIPTIONS ON THIS PAGE

TILE FLOORING

TONGUE AND GROOVE WOOD FLOORING

**MEADORS**  
SINCE 1984  
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8885  
Charleston • Columbia • Greenville • Florence • Georgetown • Myrtle Beach • North Charleston • Summerville • Charleston, SC



SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/2023

## REVISIONS

#	DATE	NOTE
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1ST FLR  
DIMENSION  
PLAN  
A101.1



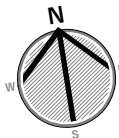
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1 03 - 1ST FLR ROOF PLAN

3/8" = 1'-0"

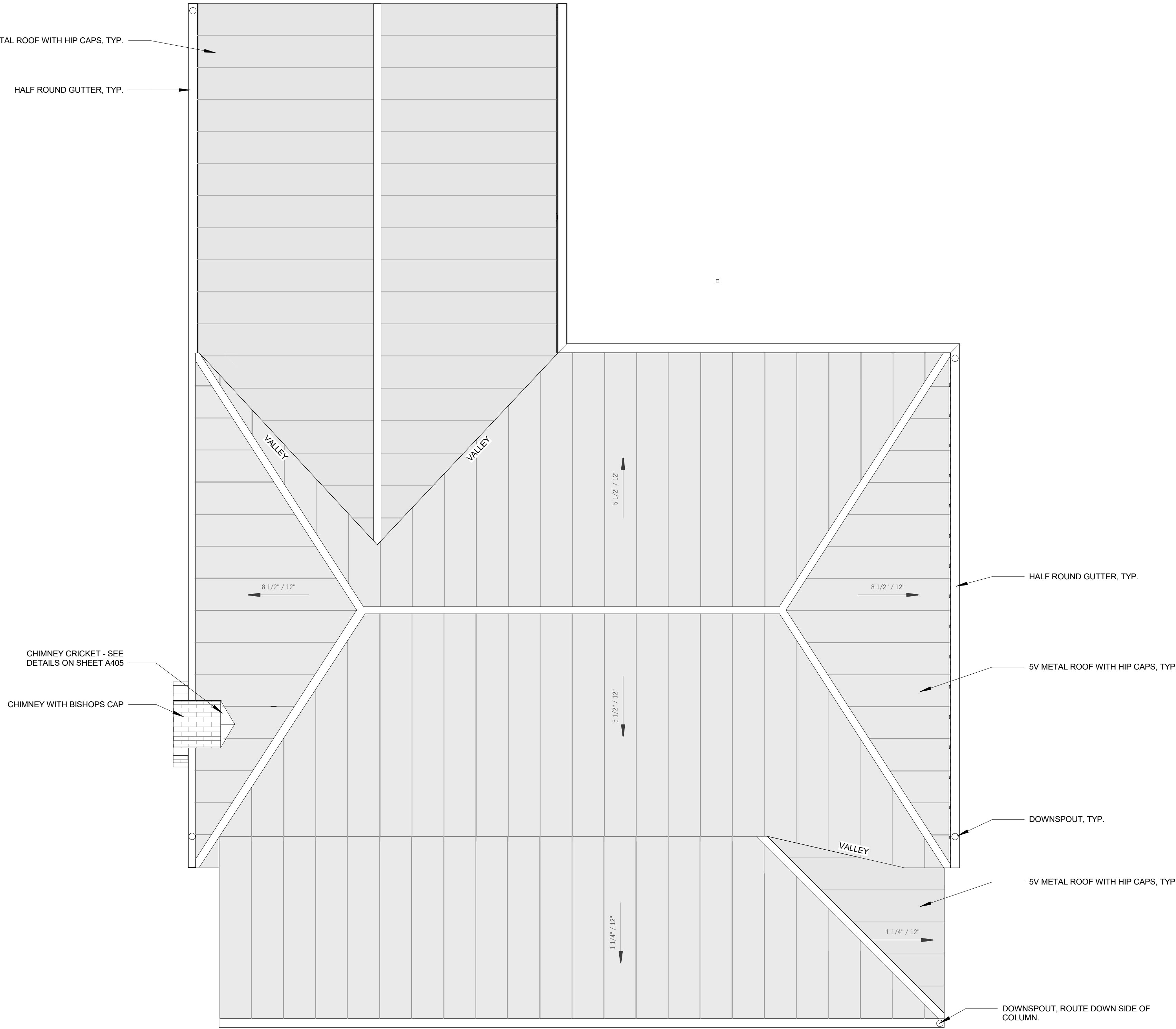


SEE SHEET A706 FOR 5V METAL ROOF DETAILS.



ROOF PLAN

A102



GENERAL CONSTRUCTION NOTES

- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.
- A. SALVAGE SOUND HISTORIC MATERIALS FROM BUILDING PRIOR TO STARTING WORK.
- B. REMOVE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE BUILDING. MATERIALS NOT SCHEDULED TO BE SALVAGED TO BE REMOVED. REMOVE THE LATER BUILDING ADDITIONS IN THEIR ENTIRETY.
- C. CONSTRUCT AND RESTORE THE BUILDING TO ITS ORIGINAL FOOTPRINT WITHOUT LATER ADDITIONS. INTEGRATE THE HISTORIC MATERIALS SALVAGED FROM THE BUILDING.
- B. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- C. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND ALL CURRENT ADOPTED BUILDING CODES, ORDINANCES, AND REGULATIONS OF ALL PUBLIC AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE, AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. REFERENCE HAZARDOUS MATERIALS REPORT FOR LOCATION OF HAZARDOUS MATERIALS. CONTRACTOR IS RESPONSIBLE FOR REMOVAL WHERE RELEVANT TO SCOPE OF WORK.
- A. REFER TO SPECIFICATIONS IN THE PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- D. THE EXISTING BUILDING IS HISTORIC. SPECIAL CARE SHALL BE TAKEN TO PROTECT THE ELEMENTS SCHEDULED TO BE SALVAGED. NEW MATERIAL MUST MATCH THE ORIGINAL IN LOCATION, SIZE, MATERIAL, PROFILE (WHERE APPLICABLE) AND INSTALLATION METHOD UNLESS OTHERWISE NOTED.
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- F. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- G. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- H. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
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- K. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
- L. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.

MEADORS



SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8855

Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Conservation & Preservation Planning ■ Estate Management



SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

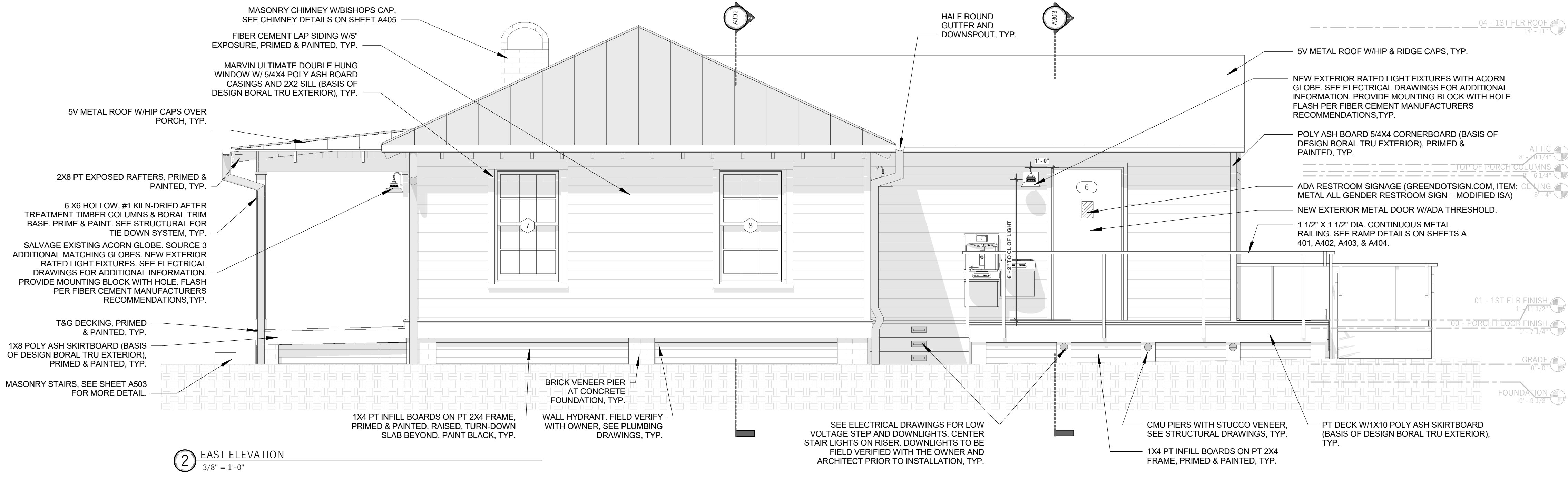
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

#	DATE	NOTES
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- GENERAL CONSTRUCTION NOTES**
- A. THE INTENT OF THE PROJECT IS TO SALVAGE SOUND HISTORIC MATERIALS AND REPLACE THE COMPROMISED STRUCTURAL SYSTEMS IN THE ORIGINAL FOOTPRINT OF THE HOUSE. SALVAGED HISTORIC MATERIALS WILL BE REINSTALLED ONCE THE NEW STRUCTURAL SYSTEMS ARE IN PLACE. LATER ADDITIONS TO THE BUILDING WILL NOT BE REBUILT. SEE PLANS.
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**MEADORS**  
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2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8895  
Architecture ■ Construction ■ Design Services ■ Cultural & Preservation Planning ■ Estate Management



**SARAH RILEY HOOKS  
COTTAGE PROJECT**  
76 Bridge Street  
Bluffton, SC 29910

**PUBLIC  
PROJECT  
SUBMITTAL**  
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

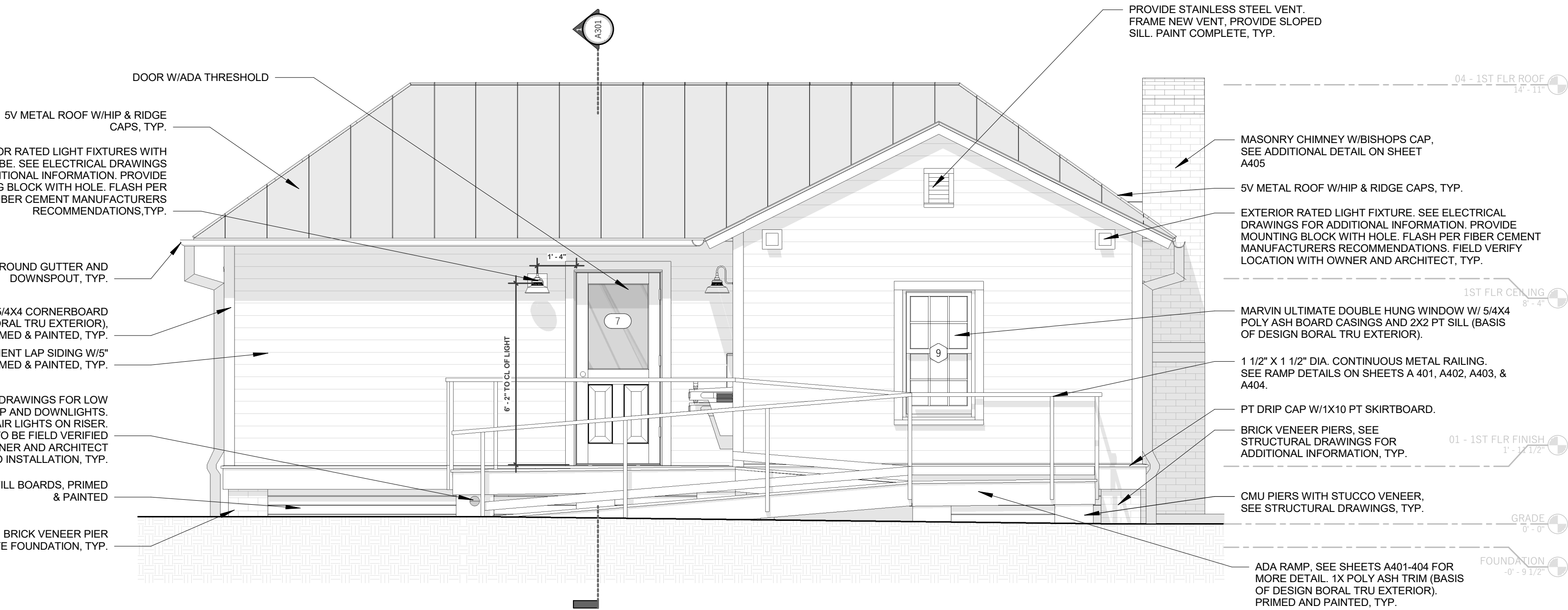
REVISIONS		
#	DATE	NOTES

BUILDING  
ELEVATIONS  
**A201**

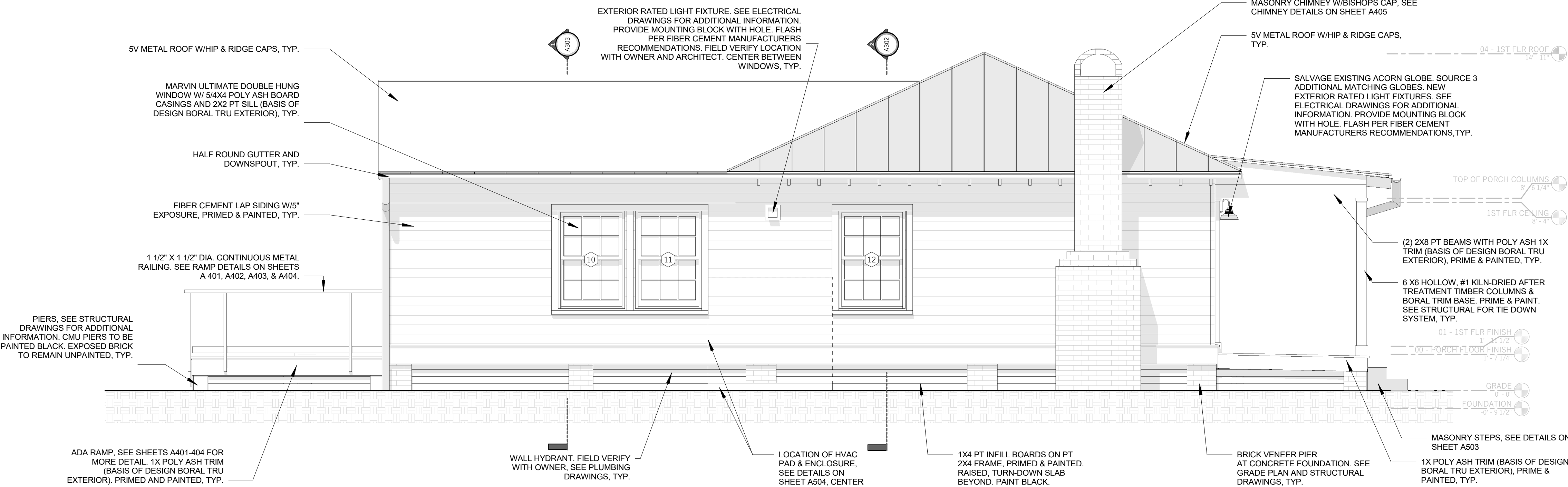
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1 NORTH ELEVATION  
3/8" = 1'-0"



2 WEST ELEVATION  
3/8" = 1'-0"

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MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8985  
Architecture • Construction • Design Services • Cemetery & Mausoleum • Conservation & Preservation Planning • Estate Management



SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

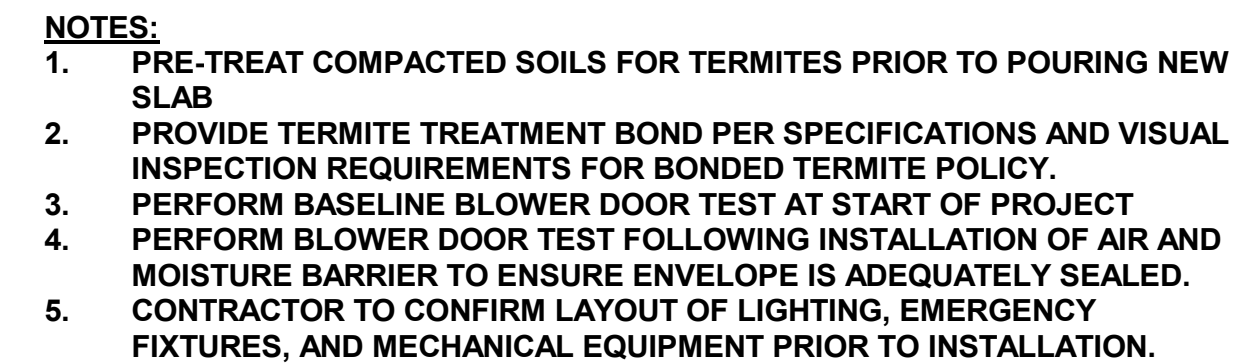
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BUILDING  
ELEVATIONS

A202

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"





**MATERIALS NOTES:**

1. ALL STRUCTURAL WOOD WITHIN 8" OF GROUND MUST BE PRESERVATIVE TREATED CONFORMING TO AWPA U1 AND M4.
2. ALL TRIM WITHIN 2" VERTICAL OF CONCRETE STEPS, SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED WOOD PER IBC 2304.12.1.5.

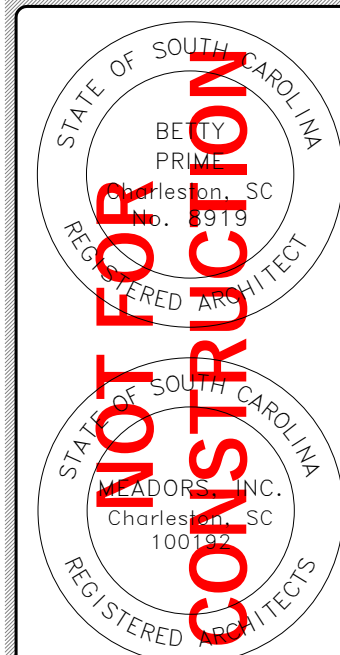
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SARAH RILEY HOOKS  
COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/202

## REVISIONS

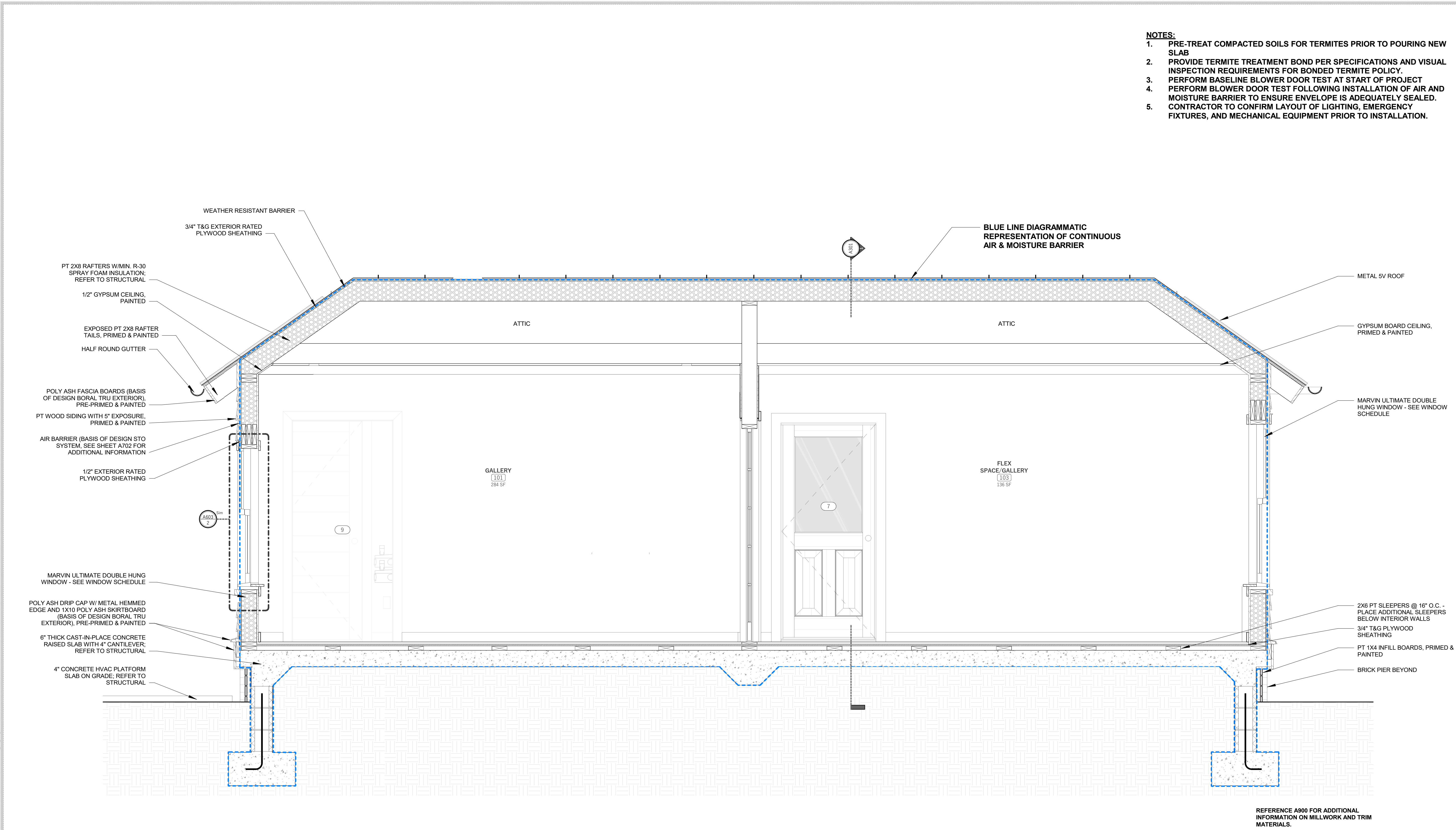
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BUILDING  
SECTIONS

A301



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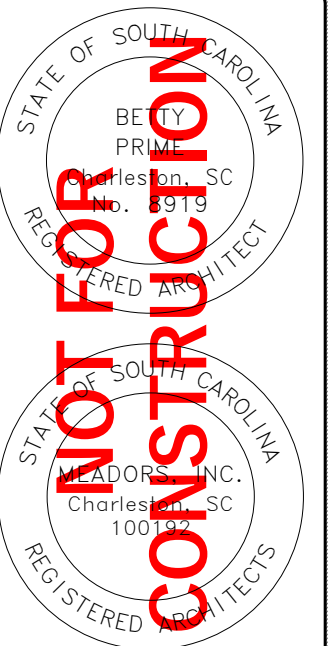


- NOTES:**
1. PRE-TREAT COMPACTED SOILS FOR TERMITES PRIOR TO POURING NEW SLAB
  2. PROVIDE TERMITE TREATMENT BOND PER SPECIFICATIONS AND VISUAL INSPECTION REQUIREMENTS FOR BONDED TERMITE POLICY.
  3. PERFORM BASELINE BLOWER DOOR TEST AT START OF PROJECT
  4. PERFORM BLOWER DOOR TEST FOLLOWING INSTALLATION OF AIR AND MOISTURE BARRIER TO ENSURE ENVELOPE IS ADEQUATELY SEALED.
  5. CONTRACTOR TO CONFIRM LAYOUT OF LIGHTING, EMERGENCY FIXTURES, AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.

**MEADORS**  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8855

Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Construction & Preservation Planning ■ Estate Management



**SARAH RILEY HOOKS**  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

**PUBLIC PROJECT SUBMITTAL**

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

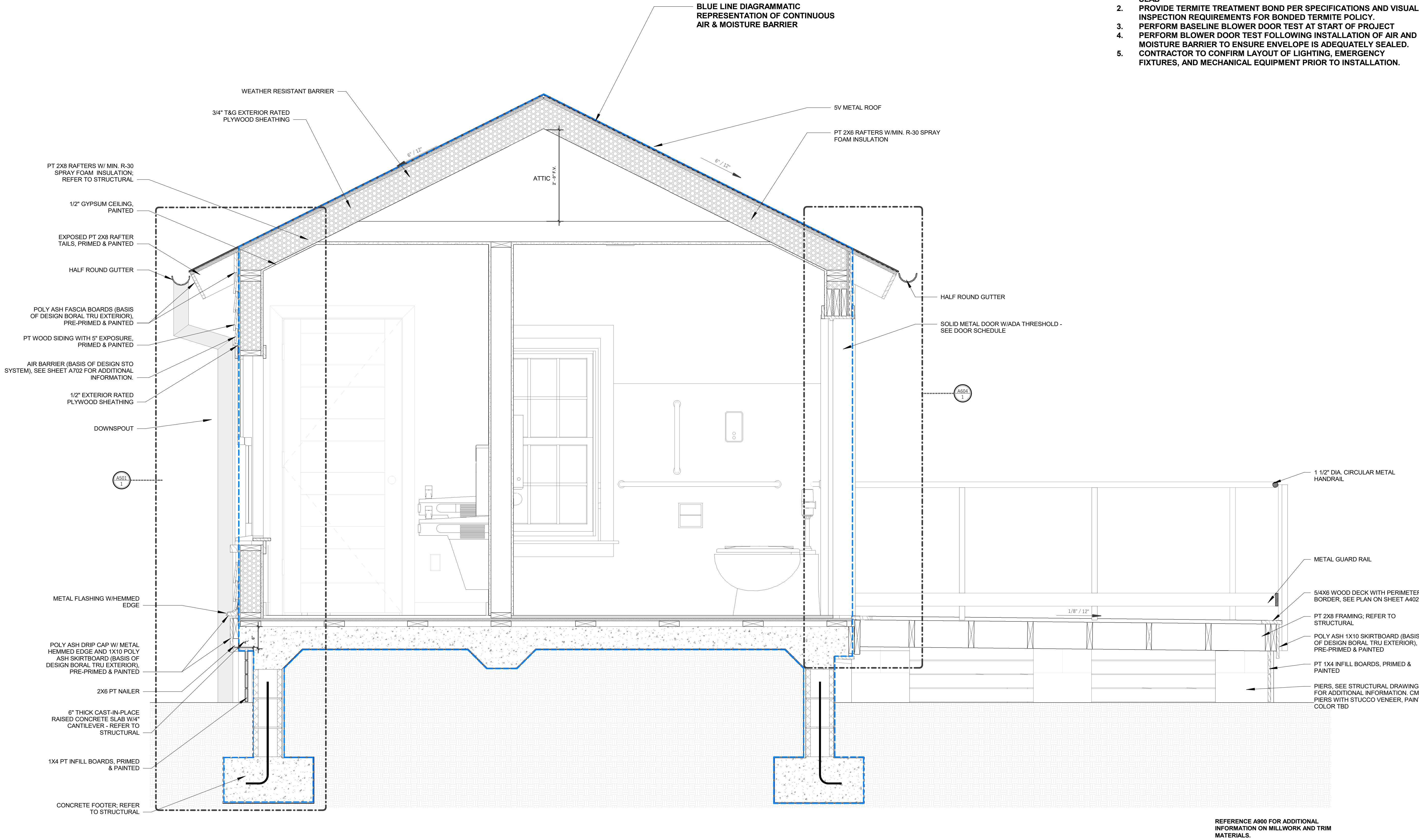
BUILDING SECTIONS

**A302**

- MATERIAL NOTES:**
1. ALL STRUCTURAL WOOD WITHIN 8" OF GROUND MUST BE PRESERVATIVE TREATED CONFORMING TO AWPA U1 AND M4.
  2. ALL TRIM WITHIN 2" VERTICAL OF CONCRETE STEPS, SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED WOOD PER IBC 2304.12.1.5.



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1 E/W SECTION #2  
1" = 1'-0"

- MATERIAL NOTES:
- 1. ALL STRUCTURAL WOOD WITHIN 8" OF GROUND MUST BE PRESERVATIVE TREATED CONFORMING TO AWWA U1 AND M4.
  - 2. ALL TRIM WITHIN 2" VERTICAL OF CONCRETE STEPS, SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED WOOD PER IBC 2304.12.1.5.

MEADORS  
SINCE 1984  
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Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Construction & Preservation Planning ■ Estate Management



SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

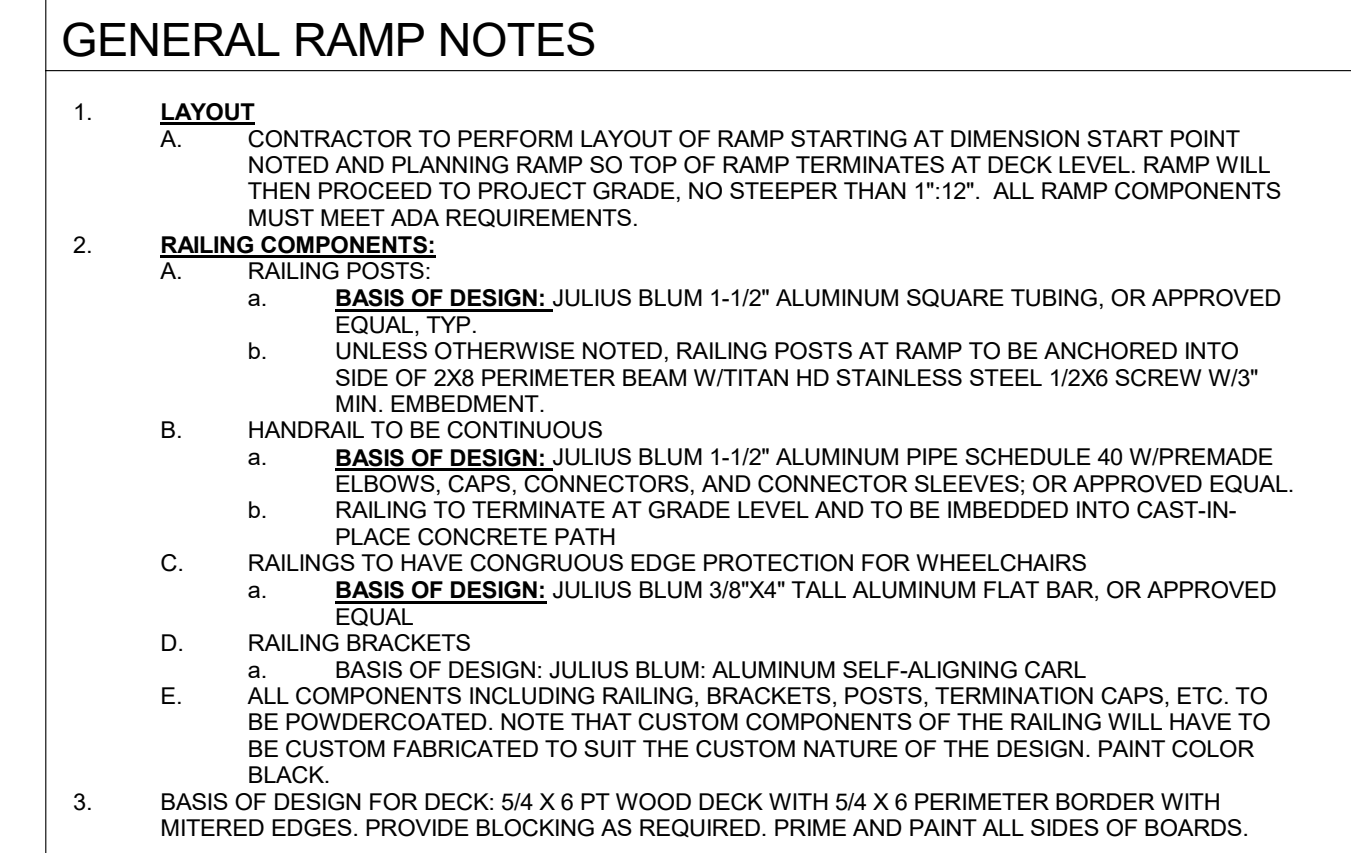
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REVISIONS		
#	DATE	NOTES

BUILDING  
SECTIONS

A303





**NOT FOR CONSTRUCTION**

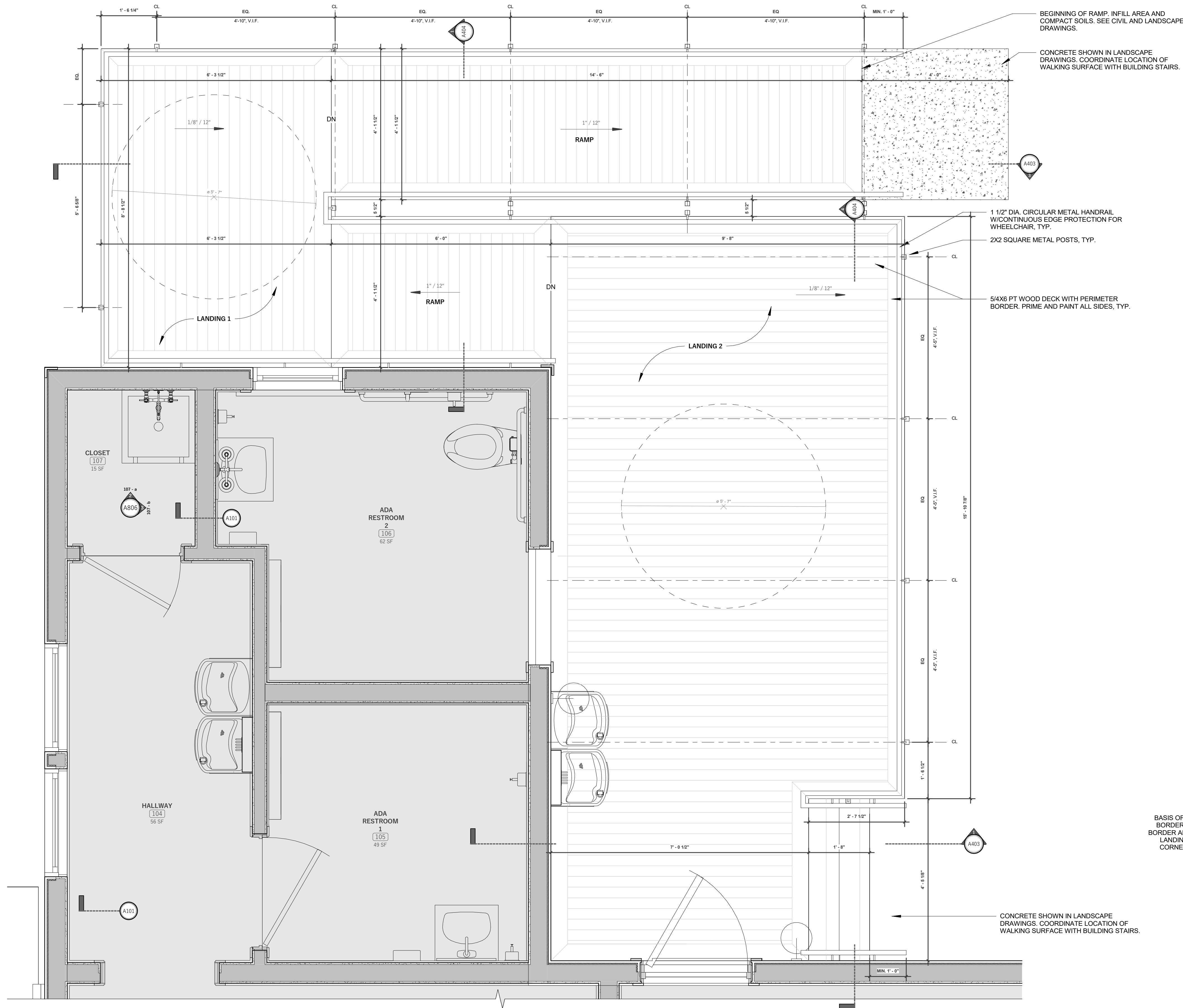
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PROJECT  
SUBMITTAL

REVISIONS		
#	DATE	NOTES

GRADE PLAN @  
RAMP

A401





1 RAMP 1ST FLR PLAN  
3/4" = 1'-0"

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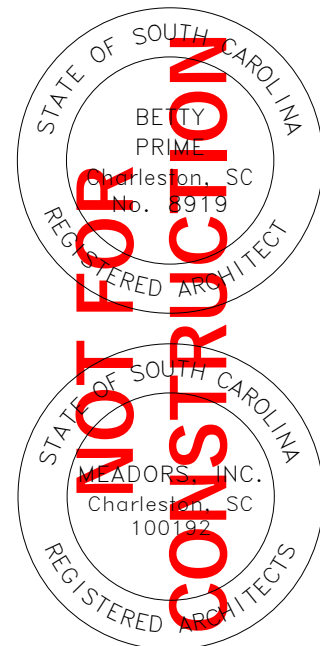
GENERAL RAMP NOTES

- LAYOUT**  
A. CONTRACTOR TO PERFORM LAYOUT OF RAMP STARTING AT DIMENSION START POINT NOTED AND PLANNING RAMP SO TOP OF RAMP TERMINATES AT DECK LEVEL. RAMP WILL THEN PROCEED TO PROJECT GRADE, NO STEEPER THAN 1":12". ALL RAMP COMPONENTS MUST MEET ADA REQUIREMENTS.
- RAILING COMPONENTS:**  
A. **RAILING POSTS:**  
a. **BASIS OF DESIGN:** JULIUS BLUM 1-1/2" ALUMINUM SQUARE TUBING, OR APPROVED EQUAL, TYP.  
b. UNLESS OTHERWISE NOTED, RAILING POSTS AT RAMP TO BE ANCHORED INTO SIDE OF 2X8 PERIMETER BEAM W/TITAN HD STAINLESS STEEL 1/2X6 SCREW W/3" MIN. EMBEDMENT.  
B. **HANDRAIL TO BE CONTINUOUS**  
a. **BASIS OF DESIGN:** JULIUS BLUM 1-1/2" ALUMINUM PIPE SCHEDULE 40 W/PREMADE ELBOWS, CAPS, CONNECTORS, AND CONNECTOR SLEEVES; OR APPROVED EQUAL.  
b. RAILING TO TERMINATE AT GRADE LEVEL AND TO BE IMBEDDED INTO CAST-IN-PLACE CONCRETE PATH.  
C. **RAILINGS TO HAVE CONGRUOUS EDGE PROTECTION FOR WHEELCHAIRS**  
a. **BASIS OF DESIGN:** JULIUS BLUM 3/8"x4" TALL ALUMINUM FLAT BAR, OR APPROVED EQUAL.  
D. **RAILING BRACKETS**  
a. **BASIS OF DESIGN:** JULIUS BLUM: ALUMINUM SELF-ALIGNING CARL.  
E. ALL COMPONENTS INCLUDING RAILING, BRACKETS, POSTS, TERMINATION CAPS, ETC. TO BE POWDERCOATED. NOTE THAT CUSTOM COMPONENTS OF THE RAILING WILL HAVE TO BE CUSTOM FABRICATED TO SUIT THE CUSTOM NATURE OF THE DESIGN. PAINT COLOR BLACK.  
3. **BASIS OF DESIGN FOR DECK:** 5/4 X 6 PT WOOD DECK WITH 5/4 X 6 PERIMETER BORDER WITH MITERED EDGES. PROVIDE BLOCKING AS REQUIRED. PRIME AND PAINT ALL SIDES OF BOARDS.

BASIS OF DESIGN FOR DECK BORDER - 5/4X6 PERIMETER BORDER AROUND ALL RAMPS, LANDINGS, AND BORDERS. CORNERS TO BE MITERED.



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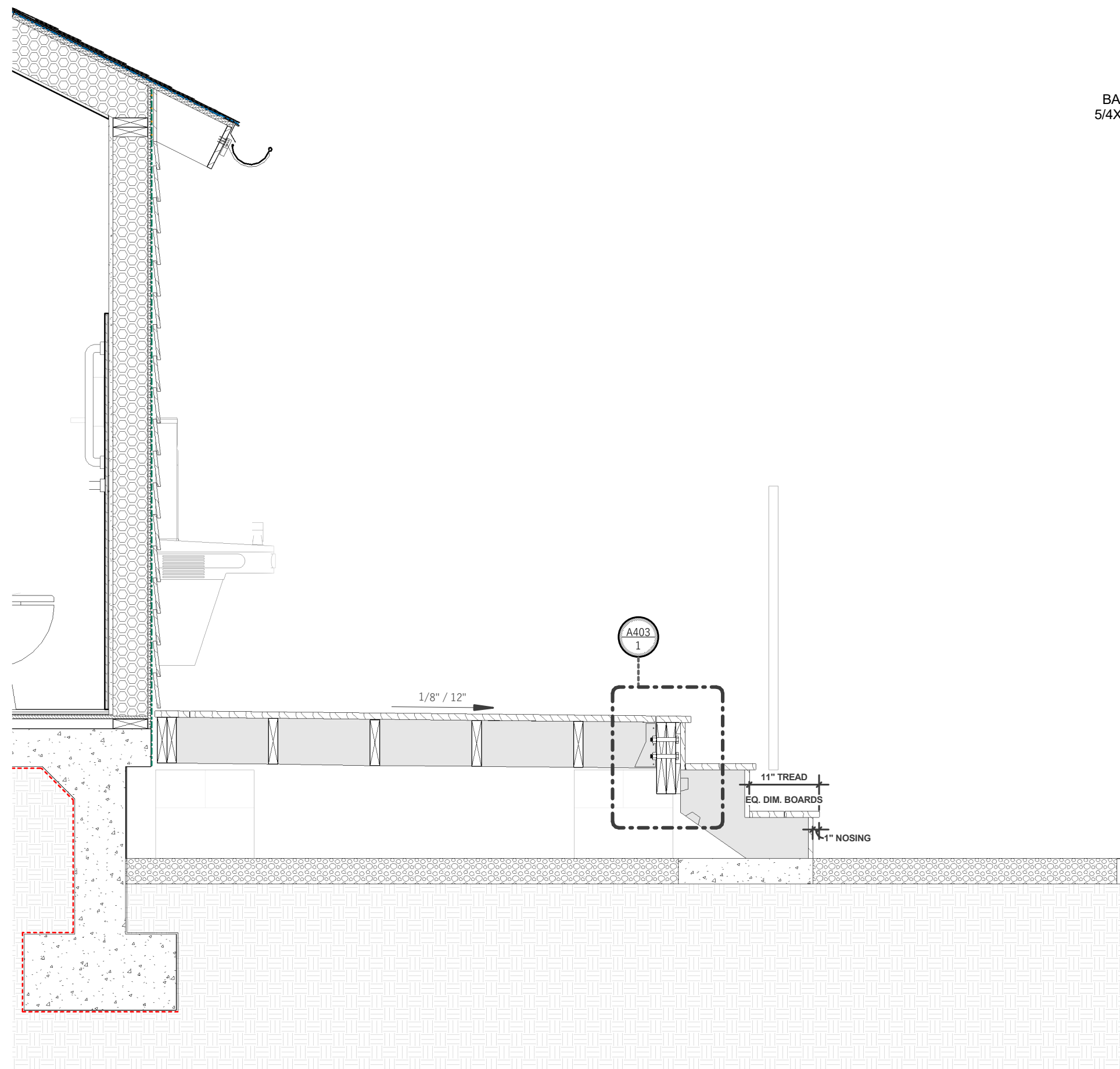
SARAH RILEY HOOKS  
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76 Bridge Street  
Bluffton, SC 29910

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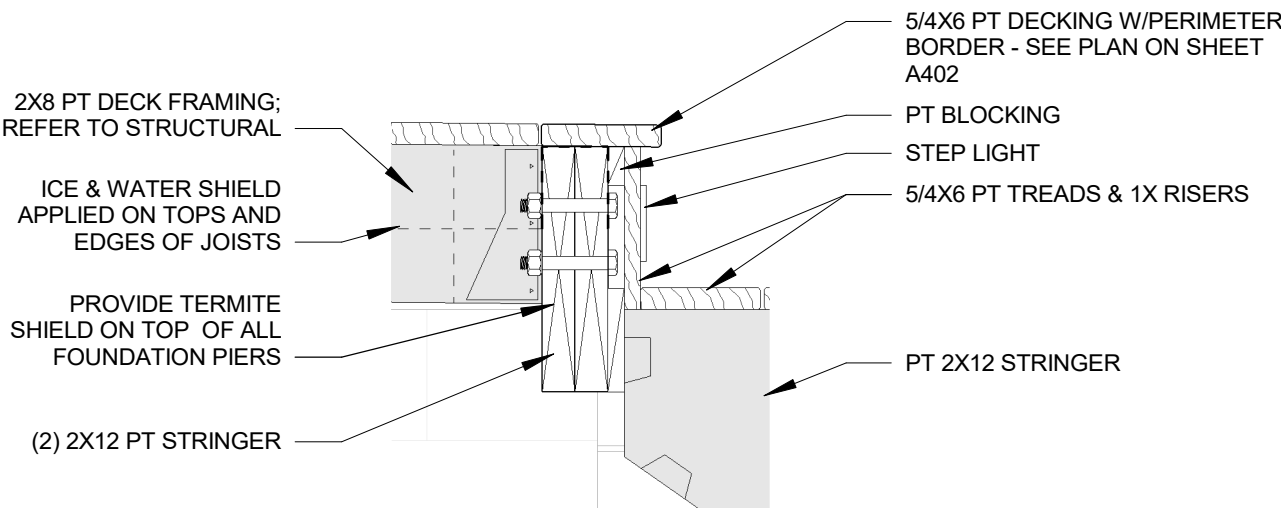
REVISIONS		
#	DATE	NOTES

1ST FLR PLAN @  
RAMP  
**A402**





BASIS OF DESIGN FOR DECK BORDER -  
5/4X6 PERIMETER BORDER AROUND ALL  
RAMPS, LANDINGS, AND BORDERS.  
CORNERS TO BE MITERED.



GENERAL RAMP NOTES

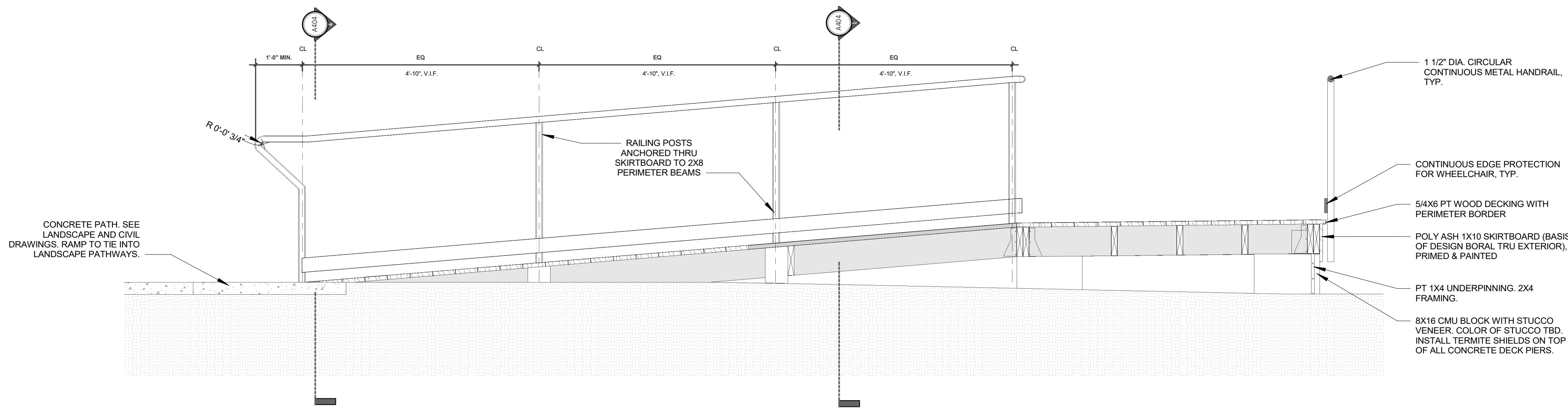
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    - BASIS OF DESIGN:** JULIUS BLUM: ALUMINUM SELF-ALIGNING CARL
  - ALL COMPONENTS INCLUDING RAILING, BRACKETS, POSTS, TERMINATION CAPS, ETC. TO BE POWDERCOATED. NOTE THAT CUSTOM COMPONENTS OF THE RAILING WILL HAVE TO BE CUSTOM FABRICATED TO SUIT THE CUSTOM NATURE OF THE DESIGN. PAINT COLOR: BLACK.**
- BASIS OF DESIGN FOR DECK:** 5/4 X 6 PT WOOD DECK WITH 5/4 X 6 PERIMETER BORDER WITH MITERED EDGES. PROVIDE BLOCKING AS REQUIRED. PRIME AND PAINT ALL SIDES OF BOARDS.

MEMBRANE LEGEND

- BUILDING WRAP** -----  
TO BE APPLIED CONTINUOUSLY OVER ALL EXTERIOR WALLS AS A WATER-RESISTANT MEMBRANE
- AIR BARRIER** -----  
APPLIED CONTINUOUSLY WITH SEALANT OR TAPE AT ALL EDGES TO PREVENT THE PASSAGE OF AIR BUT BE VAPOR-PERMEABLE
- FLEX/FLASHING TAPE** -----  
USED AT EXTERIOR BUILDING PLANE TRANSITIONS LIKE WALL OPENINGS AND ROOF/WALL TRANSITIONS
- ROOF UNDERLAYMENT** -----  
TO BE APPLIED CONTINUOUSLY BENEATH THE ROOFING MATERIAL AS A PEAL-AND-STICK MEMBRANE, OVERLAPPED ON THE EDGES
- VAPOR BARRIER** -----  
TO BE APPLIED CONTINUOUSLY BENEATH THE CONCRETE SLAB/FOUNDATIONS BELOW ENCLOSED BUILDING SPACES

1 E/W SECTION #1 @ RAMP  
3/4" = 1'-0"

2 E/W SECTION #1 @ RAMP - RISER TO DECK CONNECTION  
1 1/2" = 1'-0"



3 E/W SECTION #2 @ RAMP  
3/4" = 1'-0"

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SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

#	DATE	NOTES
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EXTERIOR RAMP  
DETAILS

A403



- GENERAL RAMP NOTES
1.

LAYOUT

CONTRACTOR TO PERFORM LAYOUT OF RAMP STARTING AT DIMENSION START POINT NOTED AND PLANNING RAMP SO TOP OF RAMP TERMINATES AT DECK LEVEL. RAMP WILL THEN PROCEED TO PROJECT GRADE, NO STEEPER THAN 1":12". ALL RAMP COMPONENTS MUST MEET ADA REQUIREMENTS.
2.

RAILING COMPONENTS:

A.

RAILING POSTS:

a.

BASIS OF DESIGN: JULIUS BLUM 1-1/2" ALUMINUM SQUARE TUBING, OR APPROVED EQUAL, TYP.

b.

UNLESS OTHERWISE NOTED, RAILING POSTS AT RAMP TO BE ANCHORED INTO SIDE OF 2X8 PERIMETER BEAM W/TITAN HD STAINLESS STEEL 1/2X6 SCREW W/3" MIN. EMBEDMENT.

B.

HANDRAIL TO BE CONTINUOUS

a.

BASIS OF DESIGN: JULIUS BLUM 1-1/2" ALUMINUM PIPE SCHEDULE 40 W/PREMADE ELBOWS, CAPS, CONNECTORS, AND CONNECTOR SLEEVES; OR APPROVED EQUAL.

b.

RAILING TO TERMINATE AT GRADE LEVEL AND TO BE IMBEDDED INTO CAST-IN-PLACE CONCRETE PATH

C.

RAILINGS TO HAVE CONGRUOUS EDGE PROTECTION FOR WHEELCHAIRS

a.

BASIS OF DESIGN: JULIUS BLUM 3/8"X4" TALL ALUMINUM FLAT BAR, OR APPROVED EQUAL

D.

RAILING BRACKETS

a.

BASIS OF DESIGN: JULIUS BLUM: ALUMINUM SELF-ALIGNING CARL

E.

ALL COMPONENTS INCLUDING RAILING, BRACKETS, POSTS, TERMINATION CAPS, ETC. TO BE POWDERCOATED. NOTE THAT CUSTOM COMPONENTS OF THE RAILING WILL HAVE TO BE CUSTOM FABRICATED TO SUIT THE CUSTOM NATURE OF THE DESIGN. PAINT COLOR BLACK.

3.

BASIS OF DESIGN FOR DECK: 5/4 X 6 PT WOOD DECK WITH 5/4 X 6 PERIMETER BORDER WITH MITERED EDGES. PROVIDE BLOCKING AS REQUIRED. PRIME AND PAINT ALL SIDES OF BOARDS.

MEMBRANE LEGEND

BUILDING WRAP

TO BE APPLIED CONTINUOUSLY OVER ALL EXTERIOR WALLS AS A WATER-RESISTANT MEMBRANE

AIR BARRIER

APPLIED CONTINUOUSLY WITH SEALANT OR TAPE AT ALL EDGES TO PREVENT THE PASSAGE OF AIR BUT BE VAPOR-PERMEABLE

FLEX/FLASHING TAPE

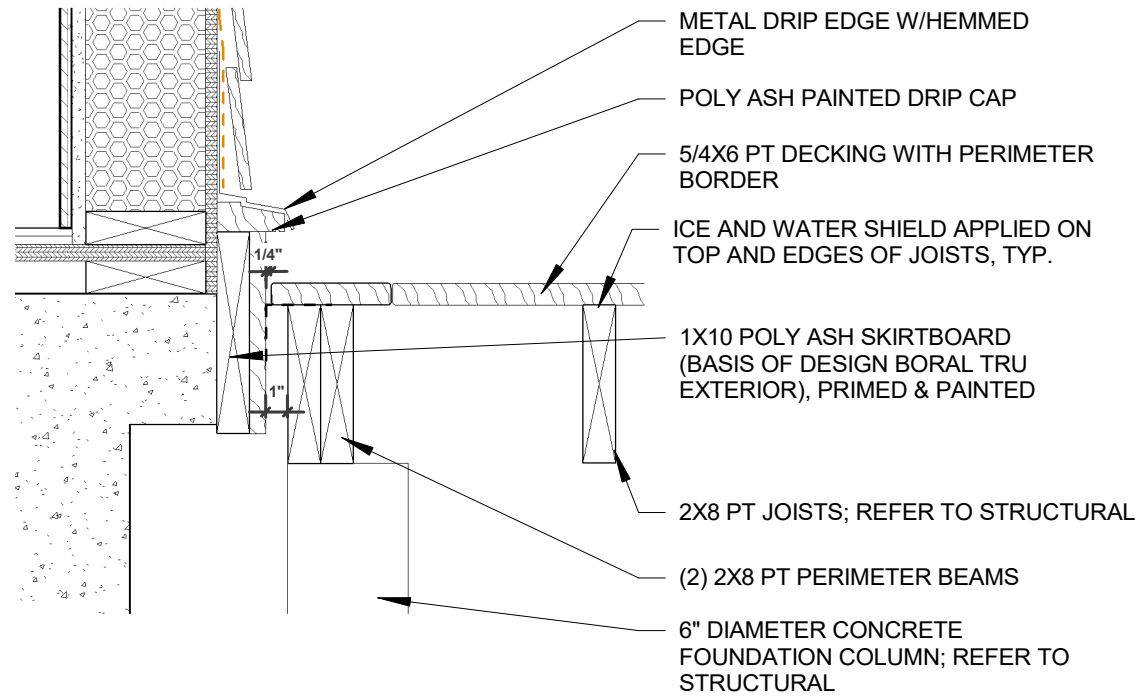
USED AT EXTERIOR BUILDING PLANE TRANSITIONS LIKE WALL OPENINGS AND ROOF/WALL TRANSITIONS

ROOF UNDERLAYMENT

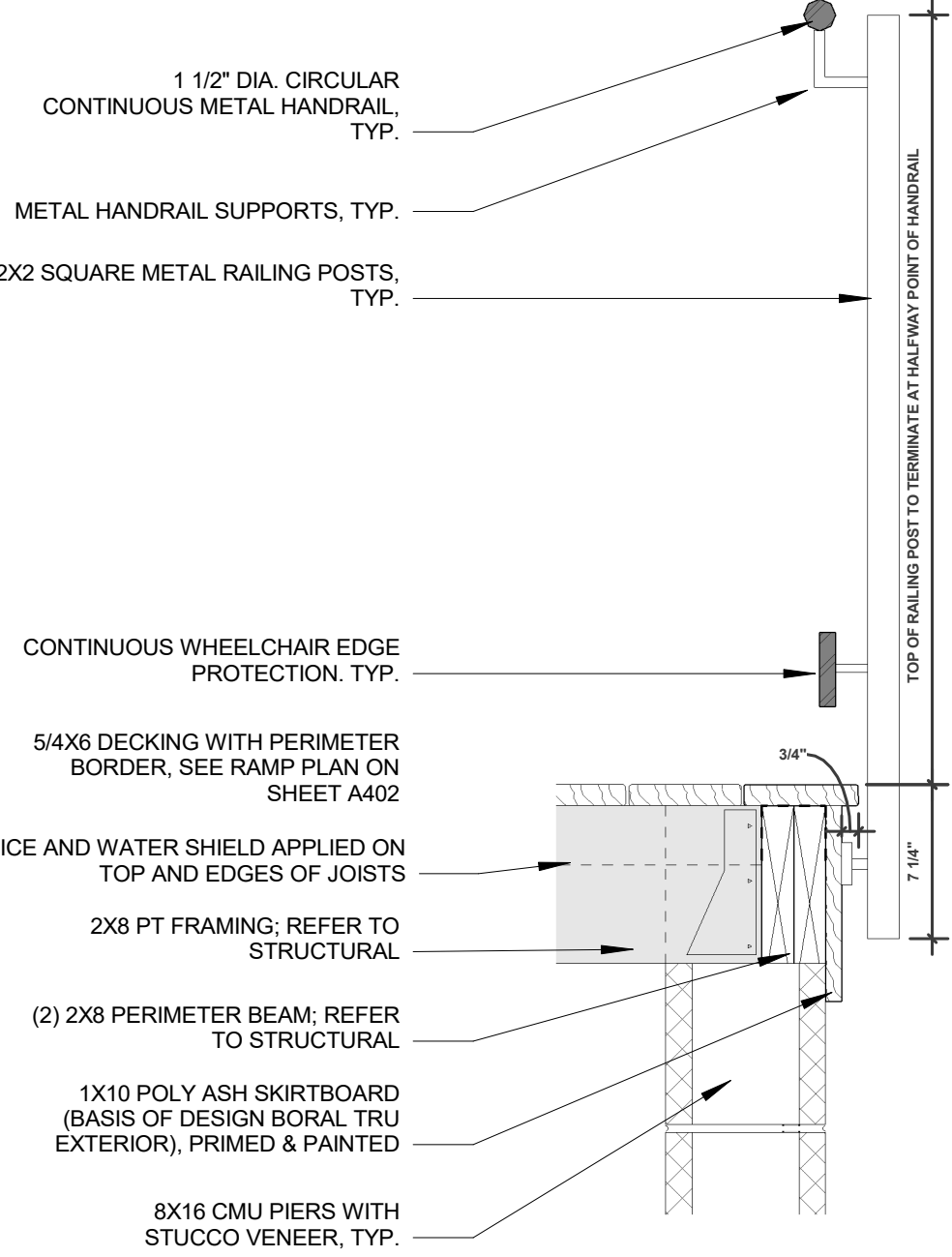
TO BE APPLIED CONTINUOUSLY BENEATH THE ROOFING MATERIAL AS A PEAL-AND-STICK MEMBRANE, OVERLAPPED ON THE EDGES

VAPOR BARRIER

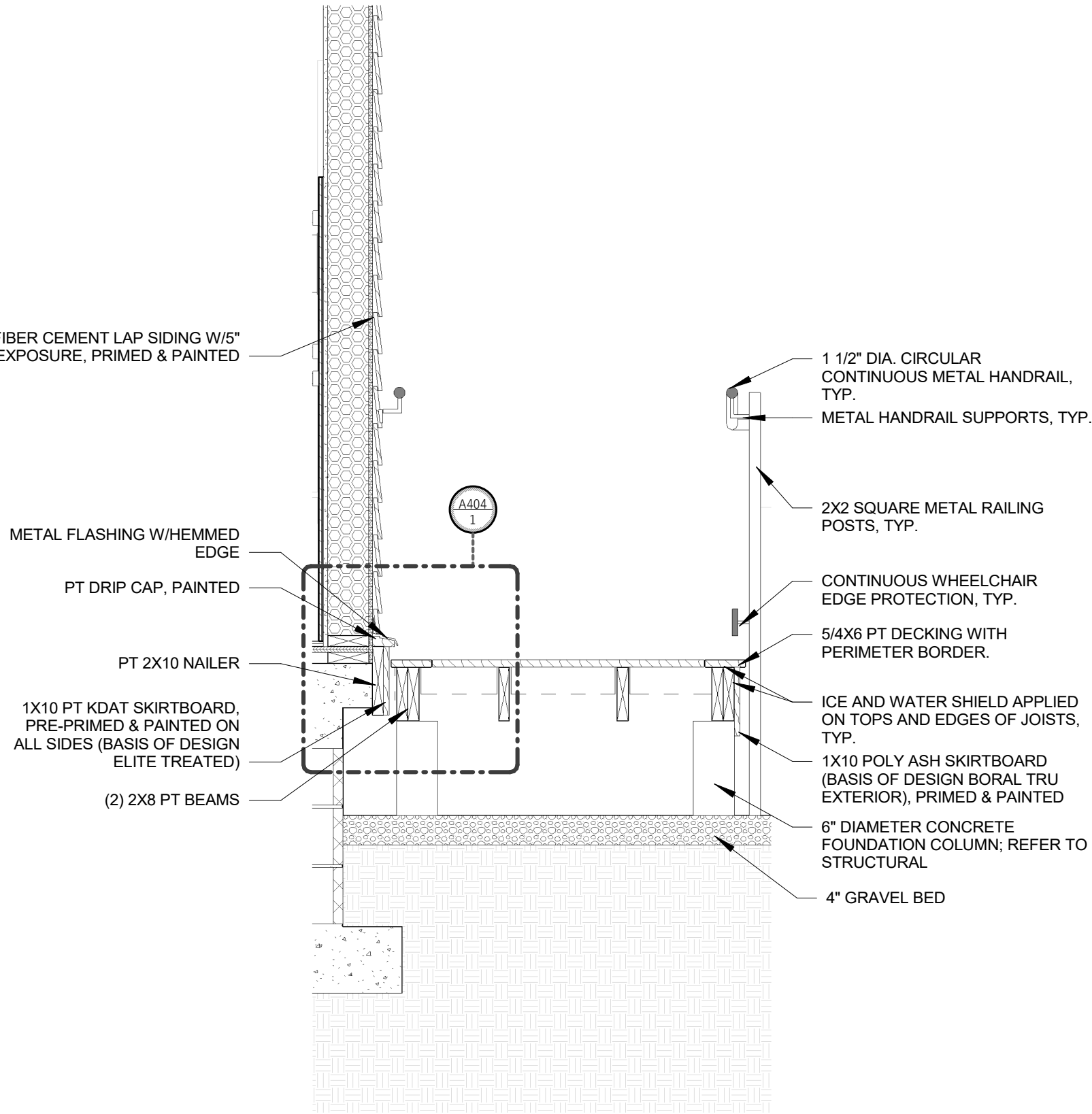
TO BE APPLIED CONTINUOUSLY BENEATH THE CONCRETE SLAB/FOUNDATIONS BELOW ENCLOSED BUILDING SPACES



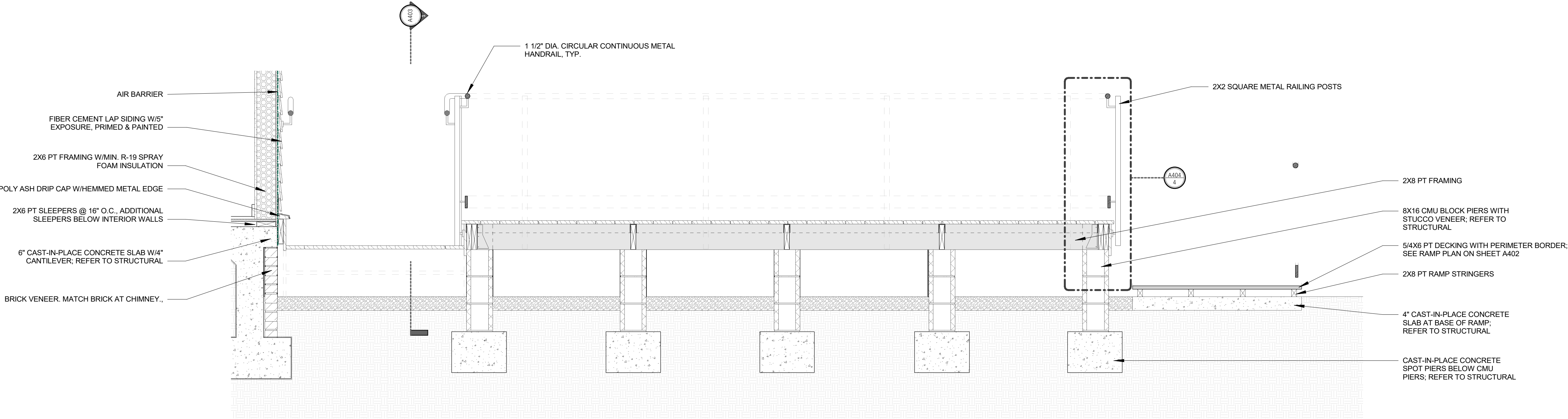
3 N/S SECTION #1 @ RAMP - CONNECTION @ WALL  
1 1/2" = 1'-0"



2 N/S SECTION #2 @ RAMP - TYP. POST DETAIL  
1 1/2" = 1'-0"



1 N/S SECTION #1 @ RAMP  
3/4" = 1'-0"



4 N/S SECTION #2 @ RAMP  
3/4" = 1'-0"

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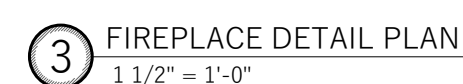
REVISIONS

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EXTERIOR RAMP  
DETAILS

A404



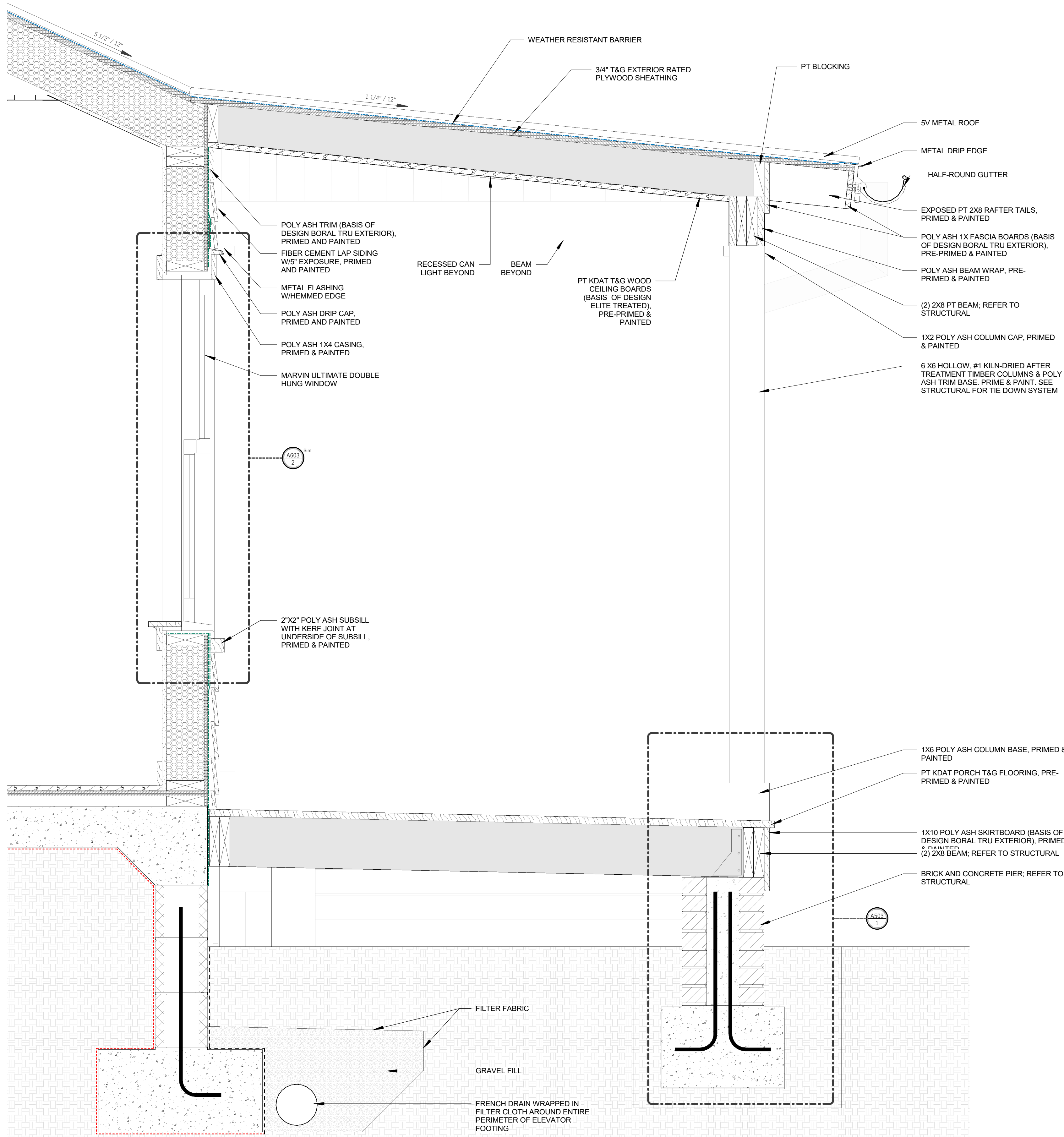


A405









1 N/S SECTION #1 - Callout 1  
1 1/2" = 1'-0"

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

MEMBRANE LEGEND		
<b>BUILDING WRAP</b>	-----	
TO BE APPLIED CONTINUOUSLY OVER ALL EXTERIOR WALLS AS A WATER-RESISTANT MEMBRANE		
<b>AIR BARRIER</b>	-----	
APPLIED CONTINUOUSLY WITH SEALANT OR TAPE AT ALL EDGES TO PREVENT THE PASSAGE OF AIR BUT BE VAPOR-PERMEABLE		
<b>FLEX/FLASHING TAPE</b>	-----	
USED AT EXTERIOR BUILDING PLANE TRANSITIONS LIKE WALL OPENINGS AND ROOF/WALL TRANSITIONS		
<b>ROOF UNDERLAYMENT</b>	-----	
TO BE APPLIED CONTINUOUSLY BENEATH THE ROOFING MATERIAL AS A PEAL-AND-STICK MEMBRANE, OVERLAPPED ON THE EDGES		
<b>VAPOR BARRIER</b>	-----	
TO BE APPLIED CONTINUOUSLY BENEATH THE CONCRETE SLAB/FOUNDATIONS BELOW ENCLOSED BUILDING SPACES		

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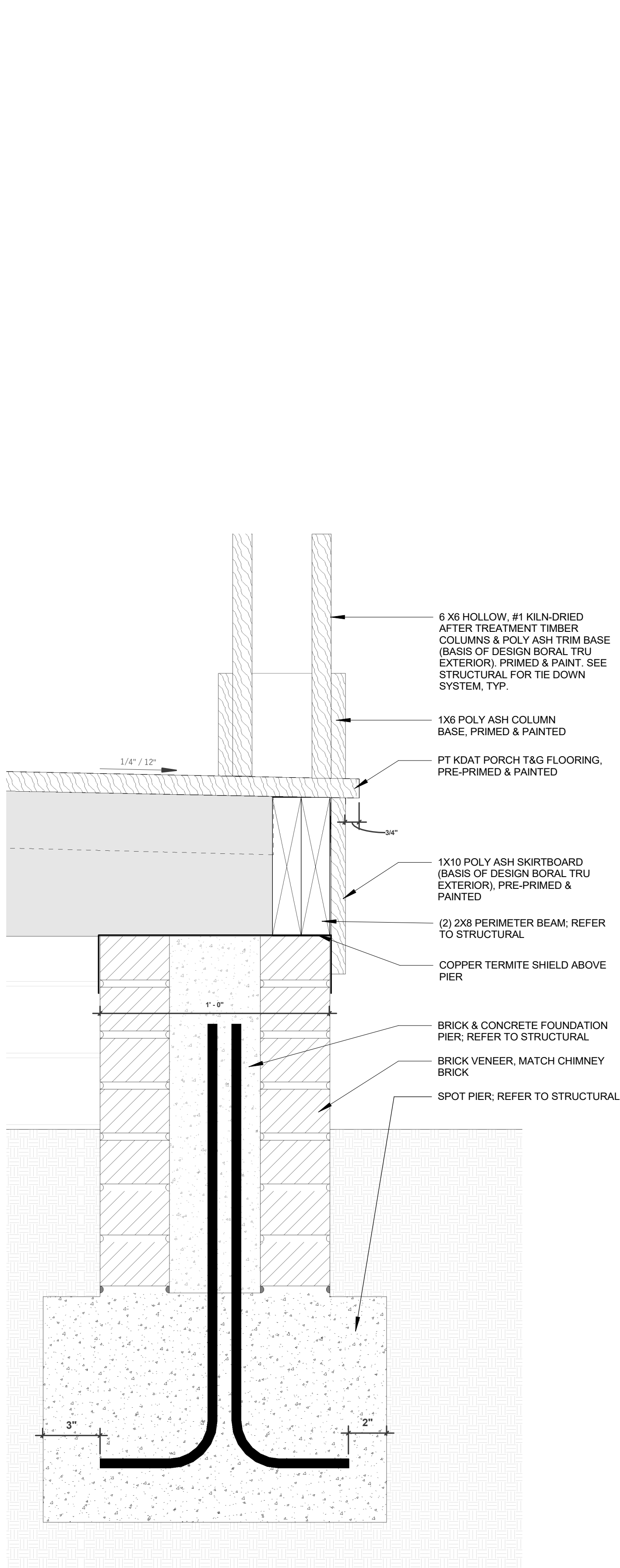
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#	DATE	NOTES

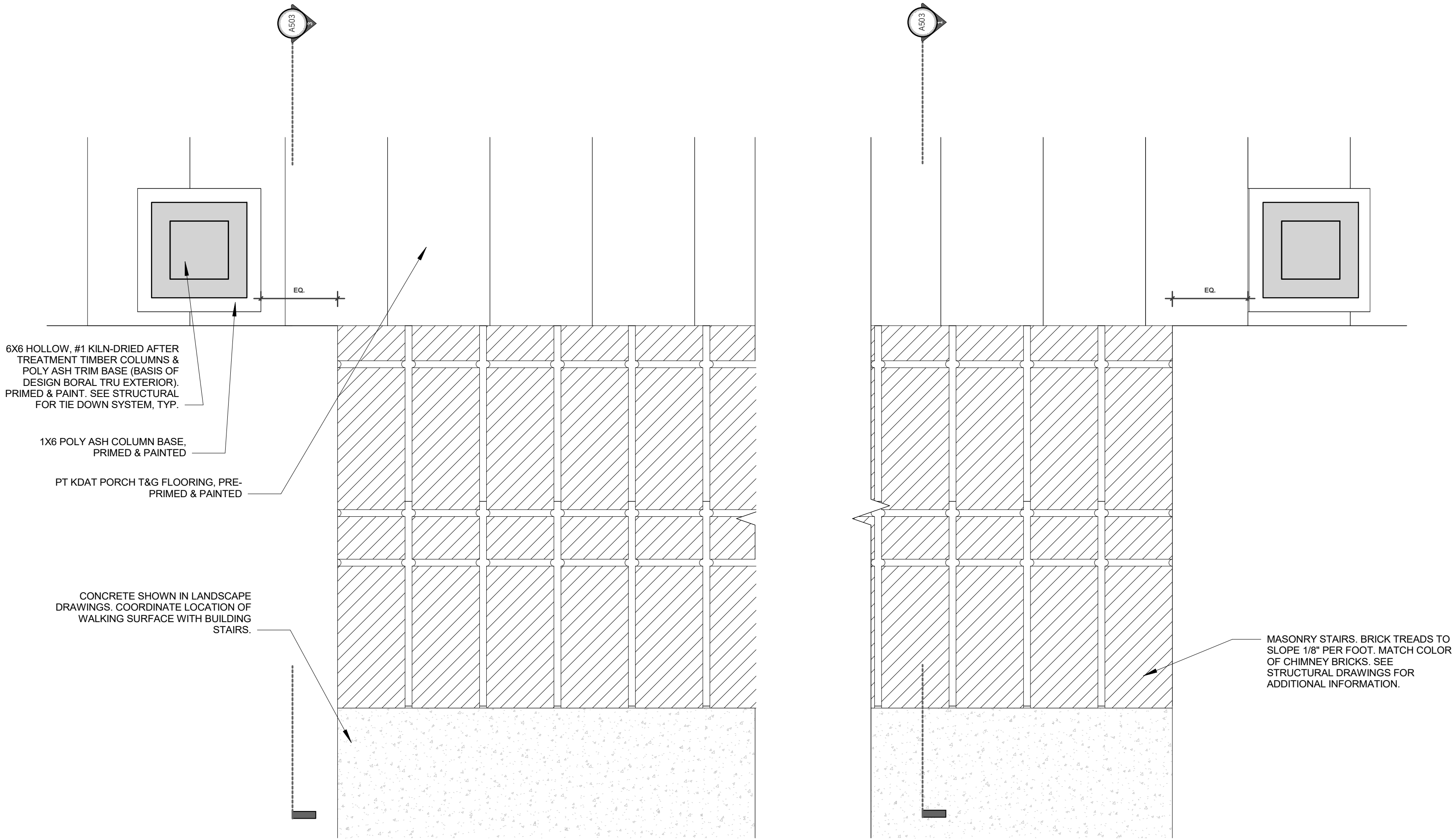
WALL SECTIONS

A502

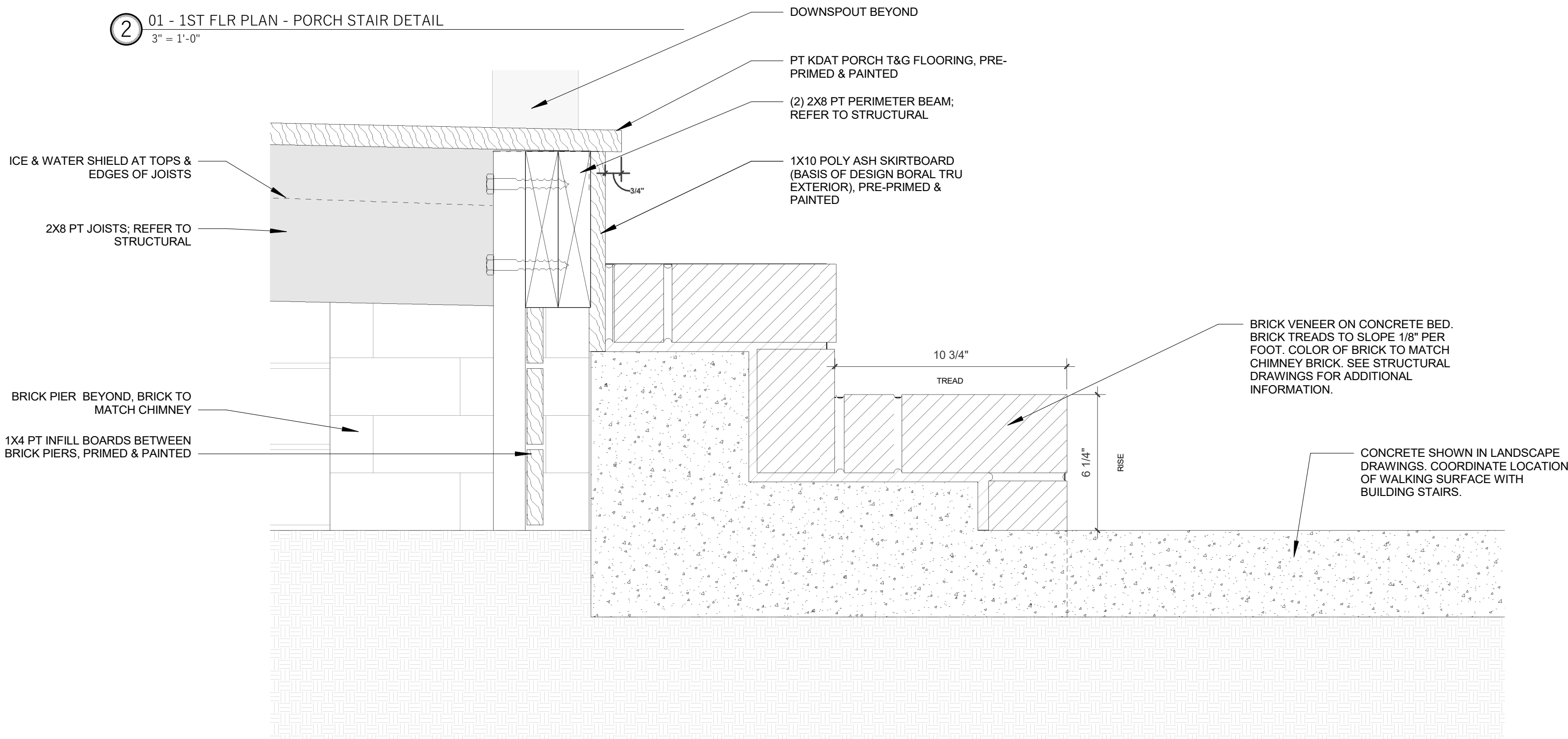




3 PORCH SECTION @COLUMNS  
3" = 1'-0"



2 01 - 1ST FLR PLAN - PORCH STAIR DETAIL  
3" = 1'-0"

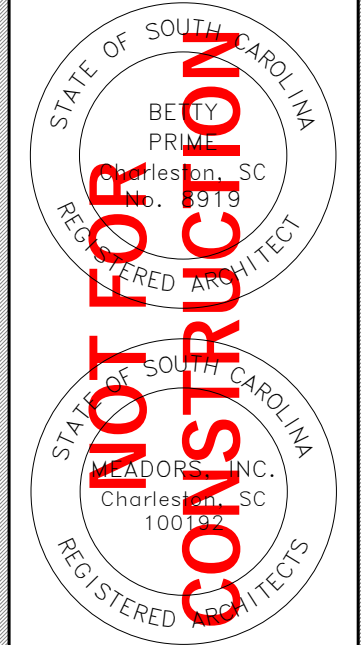


1 PORCH SECTION @ STAIRS  
3" = 1'-0"

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PORCH DETAILS

A503



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1 DETAIL PLAN - EQUIPMENT ENCLOSURE PAD  
1 1/2" = 1'-0"

- EQUIPMENT & ENCLOSURE NOTES:
- ALL STRUCTURAL WOOD WITHIN 8" OF GROUND MUST BE PRESERVATIVE TREATED CONFORMING TO AWPA U1 AND M4.
  - ALL TRIM WITHIN 2" VERTICAL OF CONCRETE STEPS, SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL BE PRESERVATIVE TREATED WOOD PER IBC 2304.12.1.5.
  - PROVIDE 2 MIN. 36" GATES FOR STAFF TRASH CANS. USE CONTINUOUS BLACK ALUMINUM HINGE. SEE LINK BELOW: (<https://www.trudoor.com/select/sl11-concealed-geared-continuous-hinge/>)

NEW 4 X 4 TREATED WOOD POSTS. CHAMFER TOP OF POSTS. POSTS TO BE SET IN CONCRETE, TYP.

NEW TREATED WOOD FENCE ENCLOSURE SURROUNDING EQUIPMENT. SEE SECTION DETAIL.

NEW MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

NEW CONCRETE PAD AT GROUND LEVEL.

NEW TREATED WOOD FENCE PANELS. PROVIDE TWO ACCESS GATES TO ALLOW HVAC UNITS TO BE SERVICED, TYP.

AREA TO REMAIN OPEN. FUTURE LANDSCAPING NOT TO IMPEDE AREA. GROUND TO BE LEVELED, TYP.

48" x 30" WORKING SPACE

MECHANICAL EQUIPMENT

48" x 30" WORKING SPACE

HALLWAY  
104  
56 SF

GALLERY  
101  
284 SF

SECTION DETAIL - NEW EQUIPMENT PAD & ENCLOSURE  
1 1/2" = 1'-0"

BRIAN WHERE WILL THE TRASH CANS BE STORED?

TREATED WOOD POST TOP, SLOPED FOR DRAINAGE, TYP.

HEIGHT OF NEW MECHANICAL EQUIPMENT. VERIFY HEIGHT WITH ACTUAL EQUIPMENT; MAINTAIN 4" FROM TOP OF EQUIPMENT TO TOP OF POST.

TREATED WOOD 2 X 6 FRAME. SLOPE TOP OF SUPPORT BOARD FOR DRAINAGE, TYP.

NEW 4X4 TREATED WOOD POSTS, CHAMFER TOP OF POSTS, TYP.

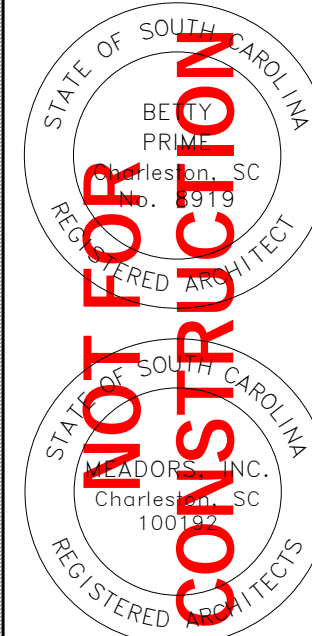
PROVIDE 2 MIN. 36" GATES FOR STAFF TRASH CANS. USE CONTINUOUS BLACK ALUMINUM HINGE. SEE LINK BELOW: (<https://www.trudoor.com/select/sl11-concealed-geared-continuous-hinge/>)

NEW TREATED WOOD FENCE ENCLOSURE SURROUNDING EQUIPMENT.

TREATED WOOD 2 X 6 FRAME. SLOPE TOP OF SUPPORT BOARD FOR DRAINAGE, TYP.

NEW CONCRETE PAD AT GROUND LEVEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

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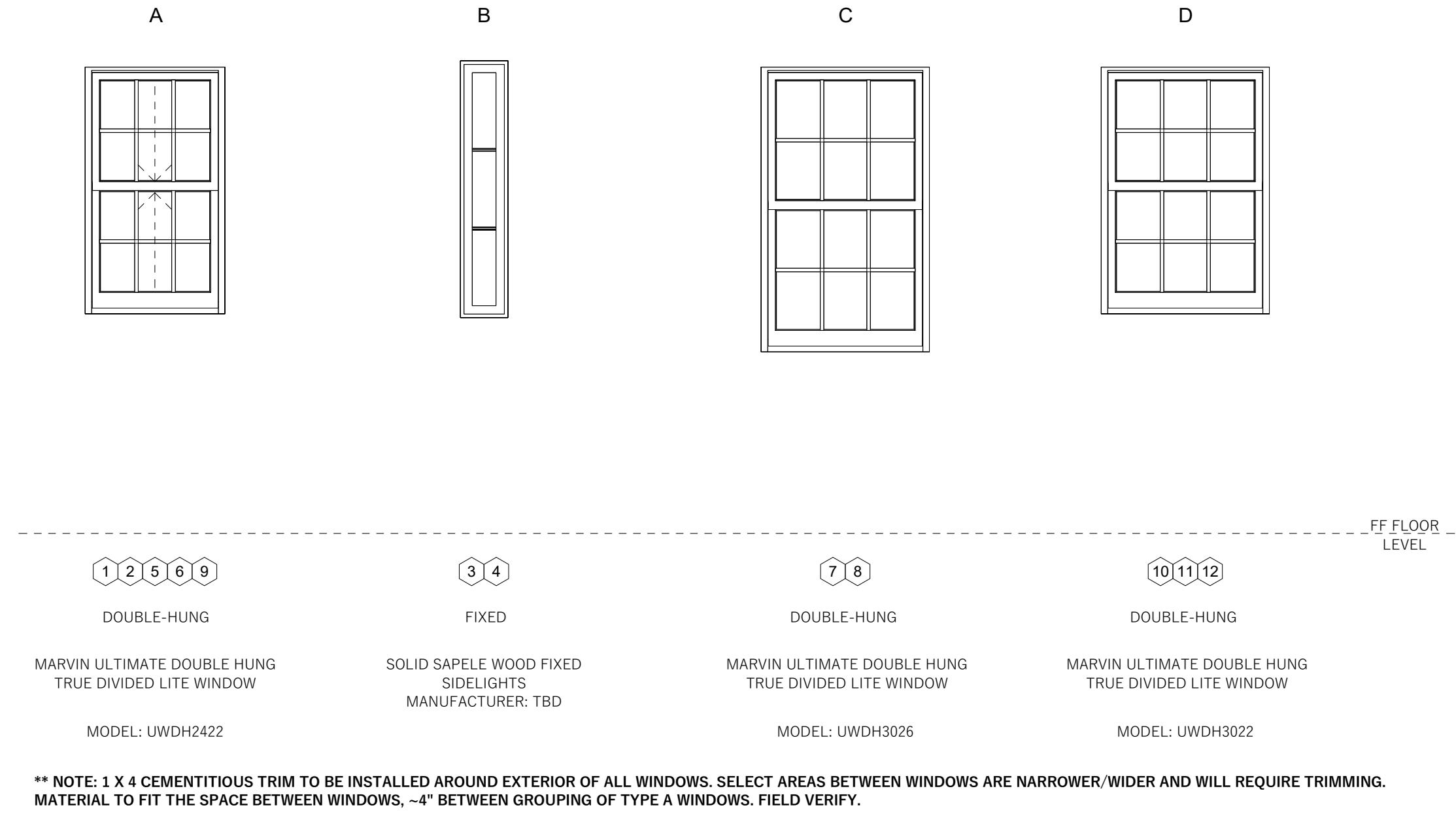
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1	Date 1	Revision 1

EQUIPMENT  
PAD &  
ENCLOSURE  
DETAILS  
A504

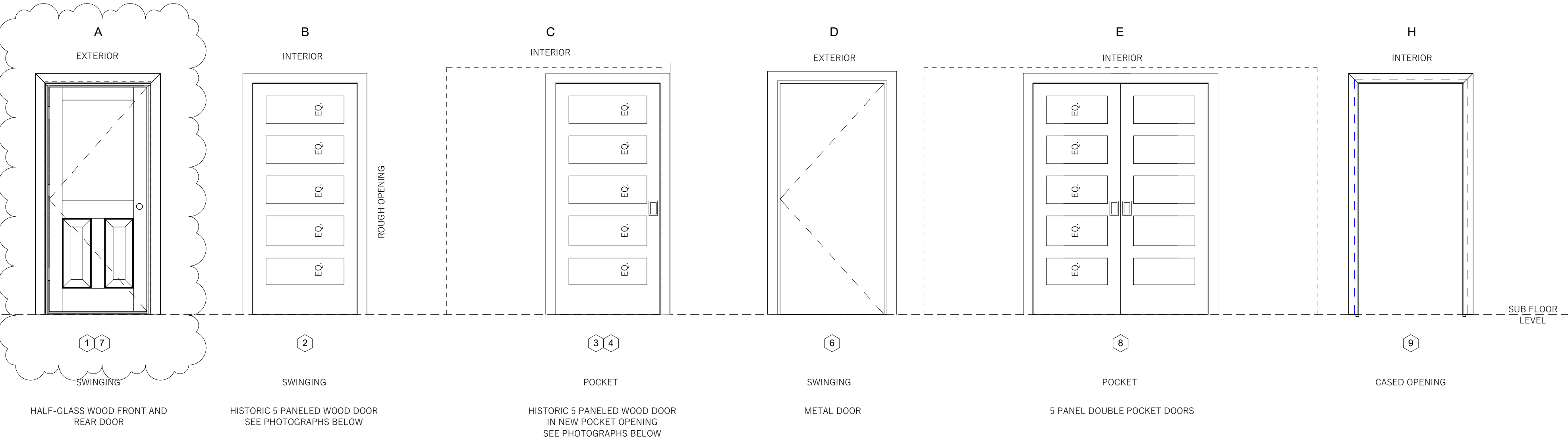


NEW WINDOW SCHEDULE																
Window ID	Type	Manufacturer	Series	Window Type	Model	Ext. Finish	Glass Type	Grille Type	Impact Rated	Design Pressure	Width	Height	Sill Height	Rough Width	Rough Height	
1	A	Marvin Windows and Doors	Ultimate	Double Hung	UWDH2422	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 5 3/8"	4' - 5"	1' - 9 1/2"	2' - 6 3/8"	4' - 5 1/2"	
2	A	Marvin Windows and Doors	Ultimate	Double Hung	UWDH2422	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 5 3/8"	4' - 5"	1' - 9 1/2"	2' - 6 3/8"	4' - 5 1/2"	
3	B	Custom Fabrication, Manufacturer TBD	Custom Fabrication	Match Salvaged Side Lite	Side Light	Painted Wood	Single-Pane	True DL	Yes	DP50	0' - 10"	4' - 6"	1' - 5"	0' - 0"	F.V. 0' - 0"	
4	B	Custom Fabrication, Manufacturer TBD	Custom Fabrication	Match Salvaged Side Lite	Side Light	Painted Wood	Single-Pane	True DL	Yes	DP50	0' - 10"	4' - 6"	1' - 5"	0' - 0"	F.V. 0' - 0"	
5	A	Marvin Windows and Doors	Ultimate	Double Hung	UWDH2422	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 5 3/8"	4' - 5"	1' - 9 1/2"	2' - 6 3/8"	4' - 5 1/2"	
6	A	Marvin Windows and Doors	Ultimate	Double Hung	UWDH2422	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 5 3/8"	4' - 5"	1' - 9 1/2"	2' - 6 3/8"	4' - 5 1/2"	
7	C	Marvin Windows and Doors	Ultimate	Double Hung	UWDH3026	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 11 3/8"	5' - 1"	1' - 7"	3' - 0 3/8"	5' - 1 1/2"	
8	C	Marvin Windows and Doors	Ultimate	Double Hung	UWDH3026	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 11 3/8"	5' - 1"	1' - 7"	3' - 0 3/8"	5' - 1 1/2"	
9	A	Marvin Windows and Doors	Ultimate	Double Hung	UWDH2422	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 5 3/8"	4' - 5"	1' - 7"	2' - 6 3/8"	4' - 5 1/2"	
10	D	Marvin Windows and Doors	Ultimate	Double Hung	UWDH3022	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 11 3/8"	4' - 5"	1' - 7"	3' - 0 3/8"	4' - 5 1/2"	
11	D	Marvin Windows and Doors	Ultimate	Double Hung	UWDH3022	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 11 3/8"	4' - 5"	1' - 7"	3' - 0 3/8"	4' - 5 1/2"	
12	D	Marvin Windows and Doors	Ultimate	Double Hung	UWDH3022	Painted Wood	IG Low E II with Argon	True DL	Yes	DP50	2' - 11 3/8"	4' - 5"	1' - 7"	3' - 0 3/8"	4' - 5 1/2"	





NEW DOOR SCHEDULE												
Door ID	Type	Function	Comments	Exterior Finish	Interior Finish	Jamb Width	R.O. Width	Jamb Height	Frame Height	R.O. Height	Jamb Depth	Door Thickness
1	K	Exterior	Solid Wood Door, Bottom Panel Solid, Upper Glass	N/A	Painted Wood	2' - 10"	3' - 6"	6' - 8"		7'-0"		0' - 1 3/4"
2	B	Interior	Restore Salvaged 5 Panel Door, Adjust Height and Width of Door to Fit Opening	N/A	Painted Wood	2' - 8"	2' - 10 1/4"	6' - 8"	6' - 9 1/8"	6'-9 7/8"		Salvaged, F.V.
3	C	Interior	Restore Salvaged 5 Panel Door, Adjust Height and Width of Door to Fit Opening	N/A	Painted Wood	2' - 8"	5' - 6 1/2"	6' - 8"	6' - 9 1/2"	6'-10"	0' - 6 3/4"	Salvaged, F.V.
4	C	Interior	Restore Salvaged 5 Panel Door, Adjust Height and Width of Door to Fit Opening	N/A	Painted Wood	2' - 8"	5' - 6 1/2"	6' - 8"	6' - 9 1/2"	6'-10"	0' - 6 3/4"	0' - 1 3/8"
5	B	Interior	Solid Wood Door, Match Salvaged 5 panel doors	N/A	Painted Wood	3' - 0"	3' - 2 1/4"	6' - 8"	6' - 9 1/8"	6'-9 7/8"		0' - 1 3/8"
6	D	Exterior	Single Panel Metal Door	Painted Metal	Painted Wood	3' - 0"	3' - 8"	6' - 8"		7'-0"		0' - 1 3/8"
7	A	Exterior	Solid Wood Door, Bottom Panel Solid, Upper Glass	Painted Wood	Painted Wood	3' - 0"	3' - 0 3/4"	6' - 8"	6' - 8"	6'-8 3/4"		0' - 1 3/8"
8	E	Interior	Solid Wood Pocket Doors, Match Salvaged 5 Panel Doors	Painted Wood	Painted Wood	6' - 0"	12' - 2 1/2"	6' - 8"	6' - 9 3/4"	6'-10 1/4"	0' - 6 3/4"	0' - 1 3/8"
9	F	Interior	No Door, Cased Opening	N/A	N/A	3' - 0"	3' - 3"	6' - 8"	6' - 9 3/4"	6'-10 1/4"	0' - 6 3/4"	



NOTE: 1 X 6 CEMENTITIOUS TRIM TO BE INSTALLED AROUND EXTERIOR OF ALL DOORS. SELECT AREAS BETWEEN WINDOWS ARE NARROWER/WIDER AND WILL REQUIRE TRIMMING MATERIAL TO FIT THE SPACE BETWEEN THE DOOR AND SIDELIGHTS, FIELD VERIFY. CONTRACTOR TO CONFIRM DIMENSIONS OF ALL SALVAGED DOORS.

DOOR ELEVATION LEGEND  
1/2" = 1'-0"



DOOR TYPE LEGEND  
N.T.S.

EXISTING DOOR SCHEDULE						
Door ID	Type Mark	Function	Width	Height	Description	Assessment Notes
1	A	Exterior	2' - 5"	6' - 8"	Single Swinging Front Door w/Diamond Lite	Salvage Door and Sidelight Sash, clean, and return to owner
2	B	Interior	2' - 6"	6' - 3"	Single Swinging Door	Salvage for reuse, repair and restore
3	B	Interior	2' - 6"	6' - 5"	Single Swinging Door	Salvage for reuse, repair and restore
4	B	Interior	2' - 6"	6' - 4"	Single Swinging Door	Salvage for reuse, repair and restore
5	F	Interior	2' - 2"	6' - 7"	Cased Opening	Demo
6	C	Interior	2' - 8"	6' - 8"	2x2 Paneled Wood Door	Salvage Door, clean, and return to owner
7	B	Interior	1' - 6"	6' - 8"	Single Swinging Door	Salvage Door, clean, and return to owner
8	F	Interior	3' - 0"	6' - 1"	Cased Opening	Demo
9	F	Interior	1' - 9"	6' - 0"	Cased Opening	Demo, to be replaced with single swinging door
10	F	Interior	6' - 4"	6' - 3"	Cased Opening	Demo
11	F	Exterior	2' - 4"	6' - 4"	Single Swinging Solid Door	Demo
12	F	Interior	3' - 11"	6' - 4"	Cased Opening	Demo
13	G	Interior	2' - 0"	6' - 8"	Single Swinging Solid Door	Demo
14	D	Exterior	2' - 6"	6' - 8"	Half-Glass Single Swing Door	Demo

**\*\* CONTRACTOR TO SALVAGE SELECT WOOD DOORS. CATALOGUE LOCATION PER NUMBERINGS SYSTEM USED ON FLOOR PLANS. CLEAN DOORS SCHEDULED FOR REUSE. REMOVE ALL PAINT FROM DOOR PANELS (PAINTR CONTAINS LEAD). REPAIR DOORS AND MODIFY AS REQUIRED FOR REUSE IN THE NEW BUILDING. DOORS TO BE MADE SQUARE. CONTRACTOR TO CONFIRM THE ACTUAL WIDTH AND HEIGHT OF SALVAGE DOORS. SELECT DOORS ARE BEING CONVERTED TO POCKET DOORS AND REQUIRE WIDTH MODIFICATION TO WIDEN THE PANEL. ALL DOORS MUST MEET ADA; ADJUST WIDTH AS REQUIRED. SHOP DRAWINGS OF INTENDED DOOR MODIFICATIONS TO BE PROVIDED TO THE ARCHITECT FOR APPROVAL.**

**NOTE: ORIGINAL 1X5 PANELED LEAFS TO BE REUSED FOR DOORS 2-5 ARE TO BE MODIFIED TO MEET MIN. 32" WIDTH FOR ADA COMPLIANCE.**

GENERAL DOOR NOTES

- IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURERS RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- DO NOT SCALE OFF DRAWINGS.
- INSTALL DOORS PER MANUFACTURERS INSTRUCTIONS. CONFIRM ALL DOOR SIZES (INCLUDING SALVAGED DOOR PANELS) AND FIELD MEASURED OPENINGS WITH DOOR MANUFACTURER.
- REFER TO SPECIFICATIONS, AIR & MOISTURE BARRIER, AND DOOR DETAILS FOR ADDITIONAL INFORMATION.

DOORS: SCOPE OF WORK

**INTENT OF WORK: PREPARE ROUGH OPENINGS TO RECEIVE NEW AND RESTORED, SALVAGED DOORS. FLASH OPENINGS AS SPECIFIED, INSTALL DOORS AT ALL OPENINGS, PROVIDE EXTERIOR AND INTERIOR TRIM, CLEAN, AND INSTALL HARDWARE.**

- INSTALL TEMPORARY WEATHERPROOFING AS REQUIRED DURING CONSTRUCTION.
- DOOR ROUGH OPENINGS TO BE FLASHED WITH AIR AND MOISTURE BARRIER TO INTERIOR FACE OF STUD.  
A. INSTALL STO GUARD AIR AND MOISTURE BARRIER SYSTEM ON SHEATHING AND ROUGH OPENINGS. INSTALL STO GUARD SYSTEM PER MANUFACTURERS GUIDELINES AND INSTALLATION RECOMMENDATIONS. SEE DETAILS ON SHEET A702.
- INSTALL NEW SOLID WOOD, SAPEL ENTRY DOORS.  
A. GLASS TO BE IMPACT RATED.  
B. ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AS LISTED IN THE *CURRENT INTERNATIONAL BUILDING CODE*.
- INSTALL SALVAGED WOOD, INTERIOR DOORS.  
A. ALL EXISTING HARDWARE TO BE REMOVED. VOIDS TO BE FILLED WITH DUTCHMAN WOOD REPAIRS. USE SAPEL WOOD FOR REPAIRS.  
B. MODIFY DOORS TO FIT SQUARED OPENING. MODIFY DOORS TO FIT SPECIFIED OPENING SIZE. INTERIOR DOOR OPENINGS MUST MEET ADA REQUIREMENTS.
- INSTALL NEW INTERIOR TRIM 4S4 MAPLE. ALL INTERIOR TRIM AT DOORS AND WINDOWS TO BE PREASSEMBLED WITH CONCEALED FASTENERS IN POCKET HOLE JOINTS AT CORNERS.
- INSTALL NEW EXTERIOR POLY ASH DOOR TRIM. BASIS OF DESIGN BORAL TRU EXTERIOR.
- INSTALL NEW DOOR SILLS AND THRESHOLDS. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOOR OPENINGS.
- ALL DOORS TO BE PAINTED COMPLETE, UNLESS OTHERWISE NOTED. MODERN FACTORY FINISHED DOORS THAT ARE CLAD, METAL, OR VINYL ARE NOT SCHEDULED TO RECEIVE PAINT.
- CLEAN ALL GLASS.

GENERAL DOOR & WINDOW NOTES

- FRAME ALL DOOR AND WINDOW HEADERS TO THE UNDERSIDE OF THE WALL'S TOP PLATE.
- ROUGH OPENING (R.O.) HEIGHT IS MEASURED FROM THE SUB FLOOR.
- PAINT BLACK ALL POCKET DOOR FRAMING CAVITIES.
- CONTRACTOR TO CONFIRM WINDOW ROUGH OPENINGS WITH THE DOOR MANUFACTURER.
- INSTALL ALL WINDOWS AND DOORS PER MANUFACTURERS INSTRUCTIONS.
- ALL GLASS DOORS ARE TO BE SAFETY GLASS.
- IMPACT RATED WINDOWS & DOORS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E1966 AND ASTM E1886 AS MODIFIED IN THE CURRENT INTERNATIONAL BUILDING CODE.

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**SARAH RILEY HOOKS**  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

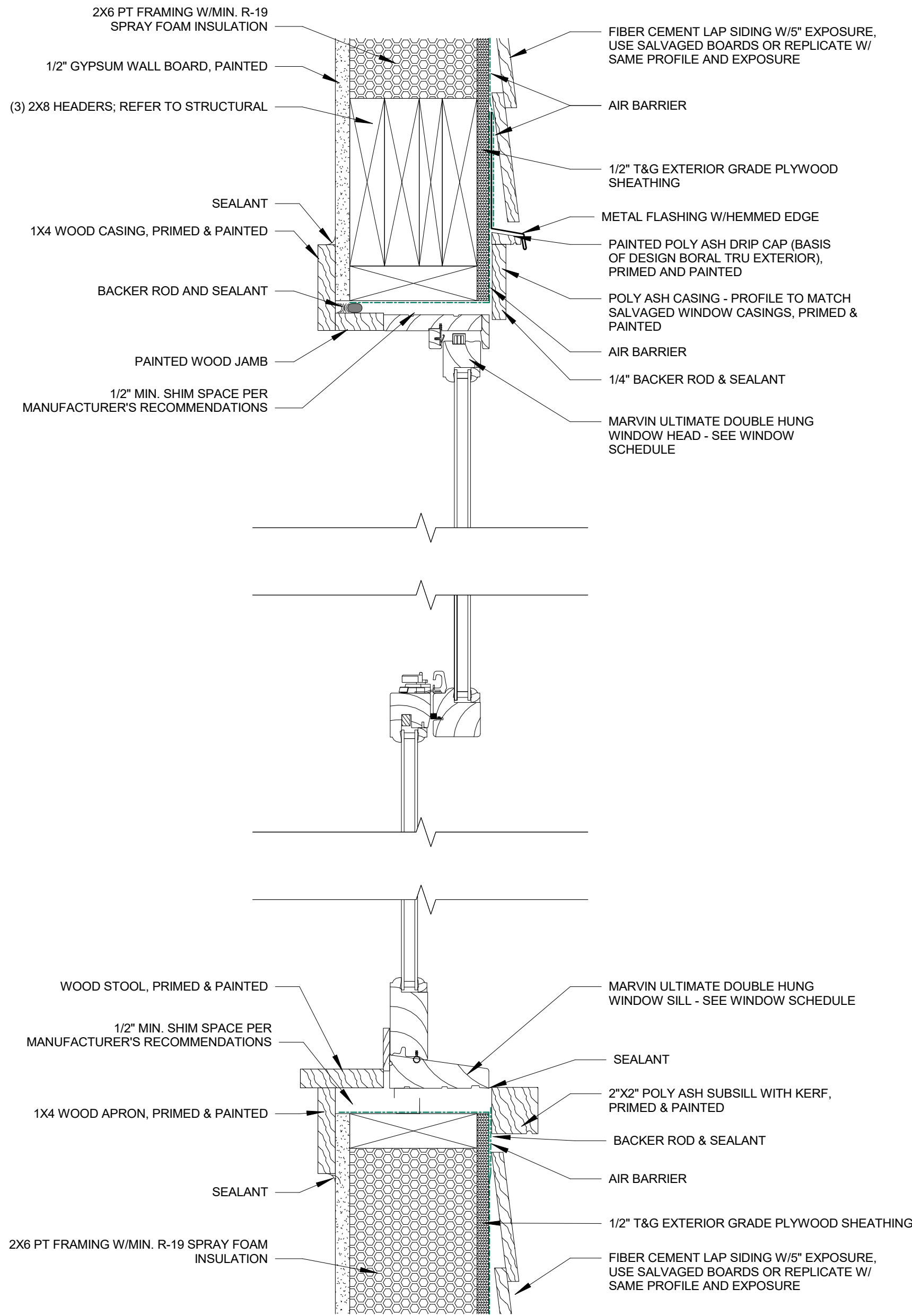
**PUBLIC PROJECT SUBMITTAL**

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES
1	Date 1	Revision 1

DOOR SCHEDULE & ELEVATIONS  
**A602**

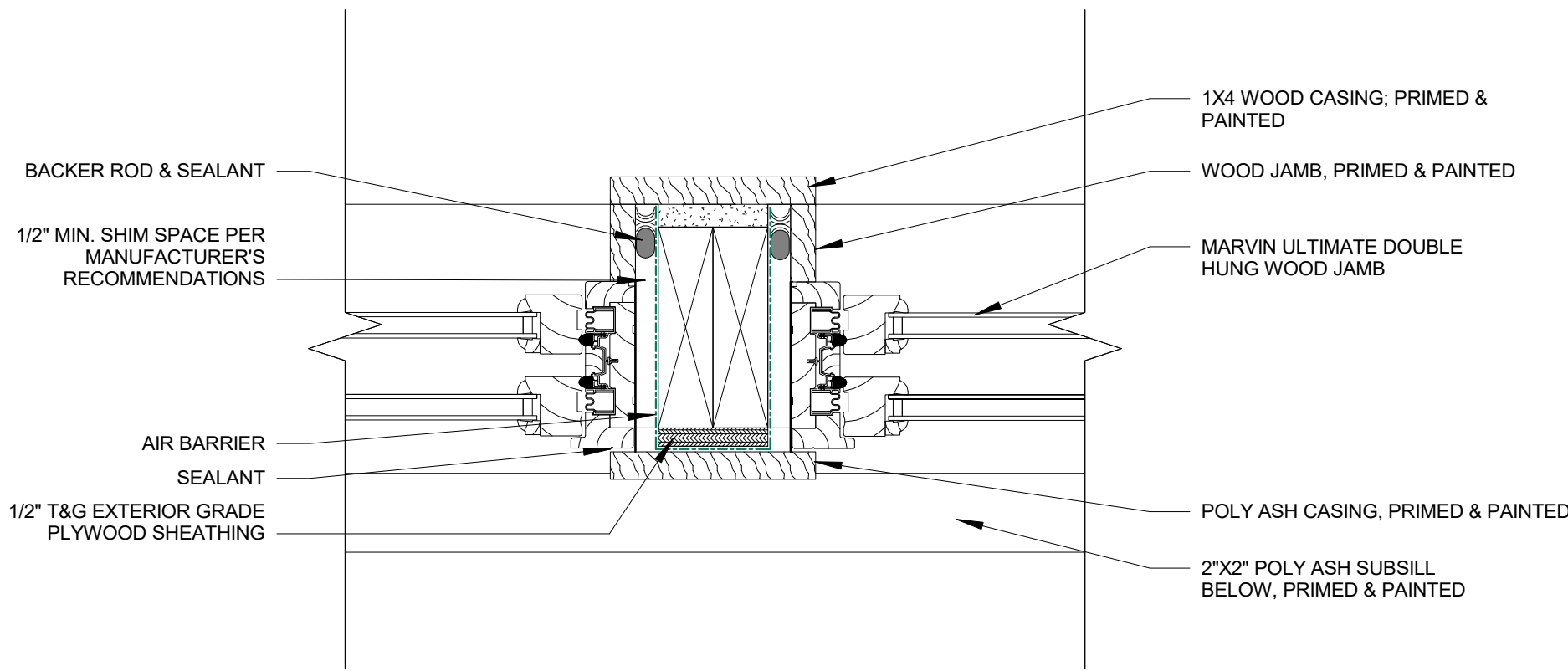




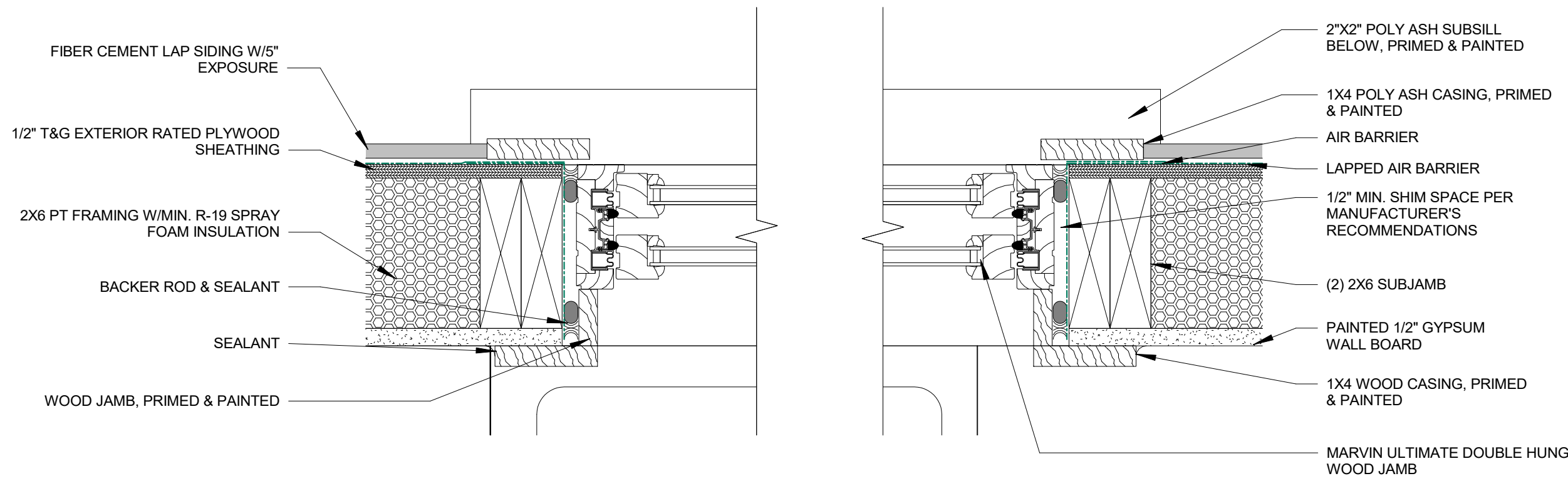
1 TYPICAL HEAD & SILL DETAIL - ULTIMATE DOUBLE HUNG  
3" = 1'-0"

NOTE: CONTRACTOR TO COORDINATE INSTALLATION OF THE NEW WINDOWS AND AIR BARRIER.

NOTE: THESE DRAWINGS ARE FOR REFERENCE ONLY. ROUGH OPENINGS OF ALL WINDOWS TO BE FIELD VERIFIED AFTER FRAMING IS COMPLETE.



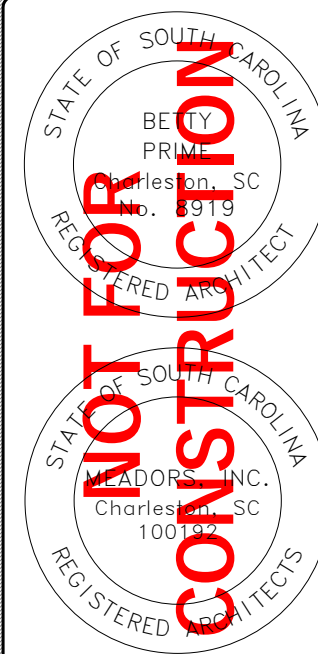
2 TYPICAL GANGED WINDOW DETAIL - ULTIMATE DOUBLE HUNG  
3" = 1'-0"



3 TYPICAL PLAN DETAIL - ULTIMATE DOUBLE HUNG  
3" = 1'-0"

\*\*\* REFERENCE AIR AND MOISTURE BARRIER DETAILS ON SHEET A701 & A702.

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PROJECT  
SUBMITTAL

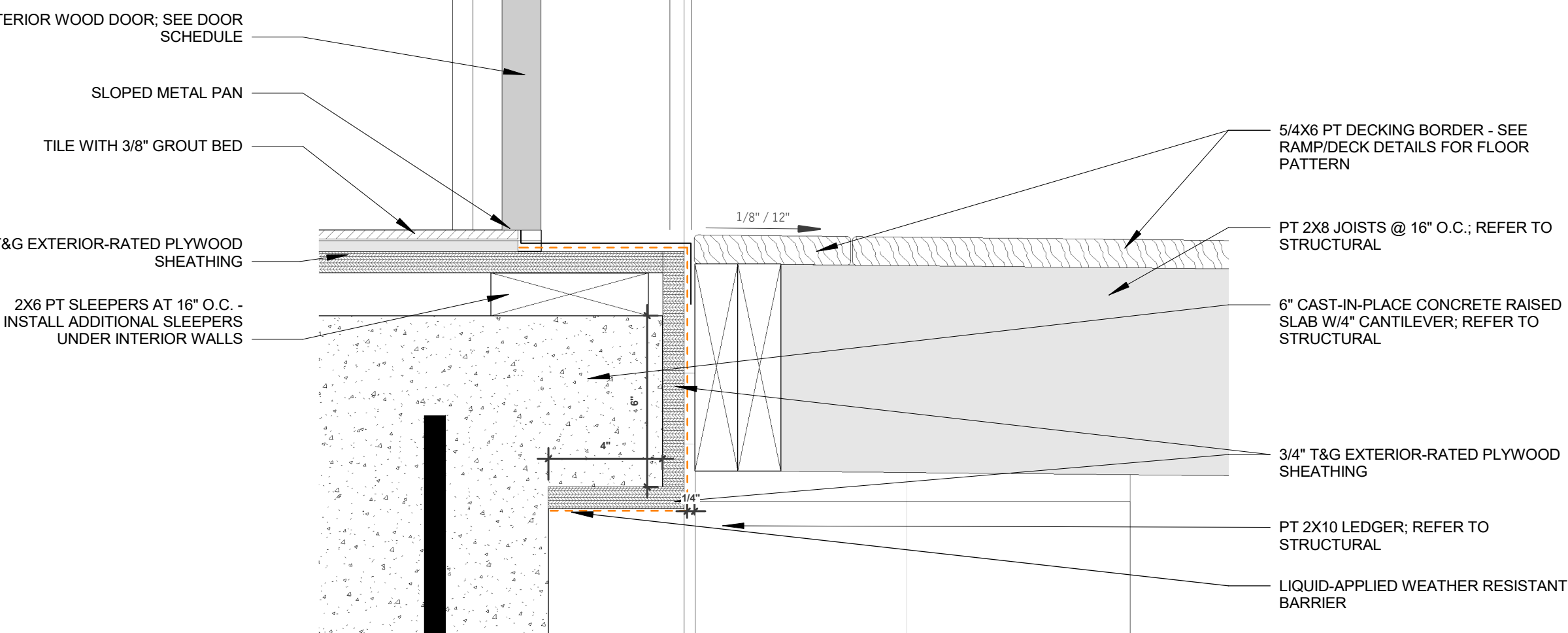
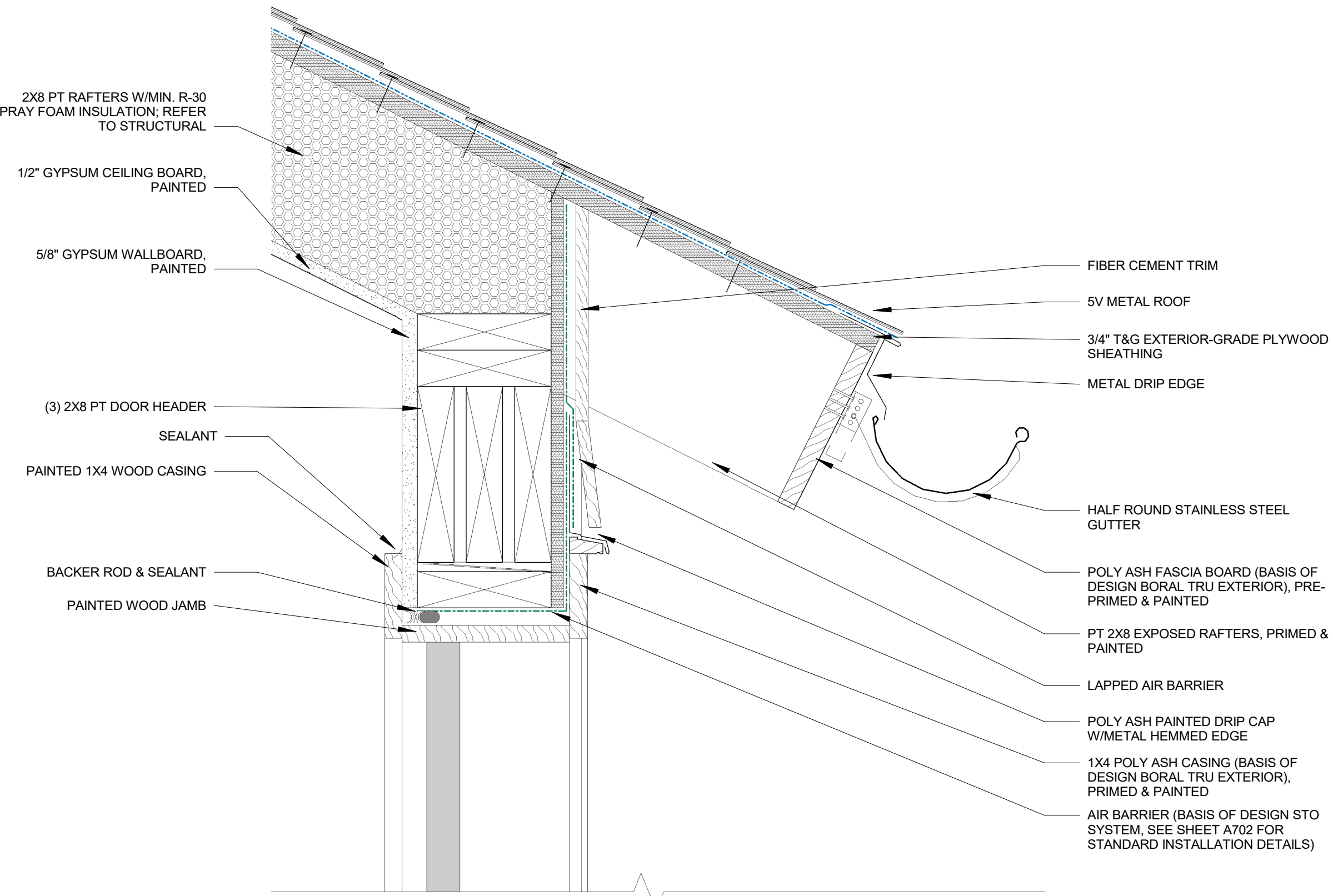
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ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

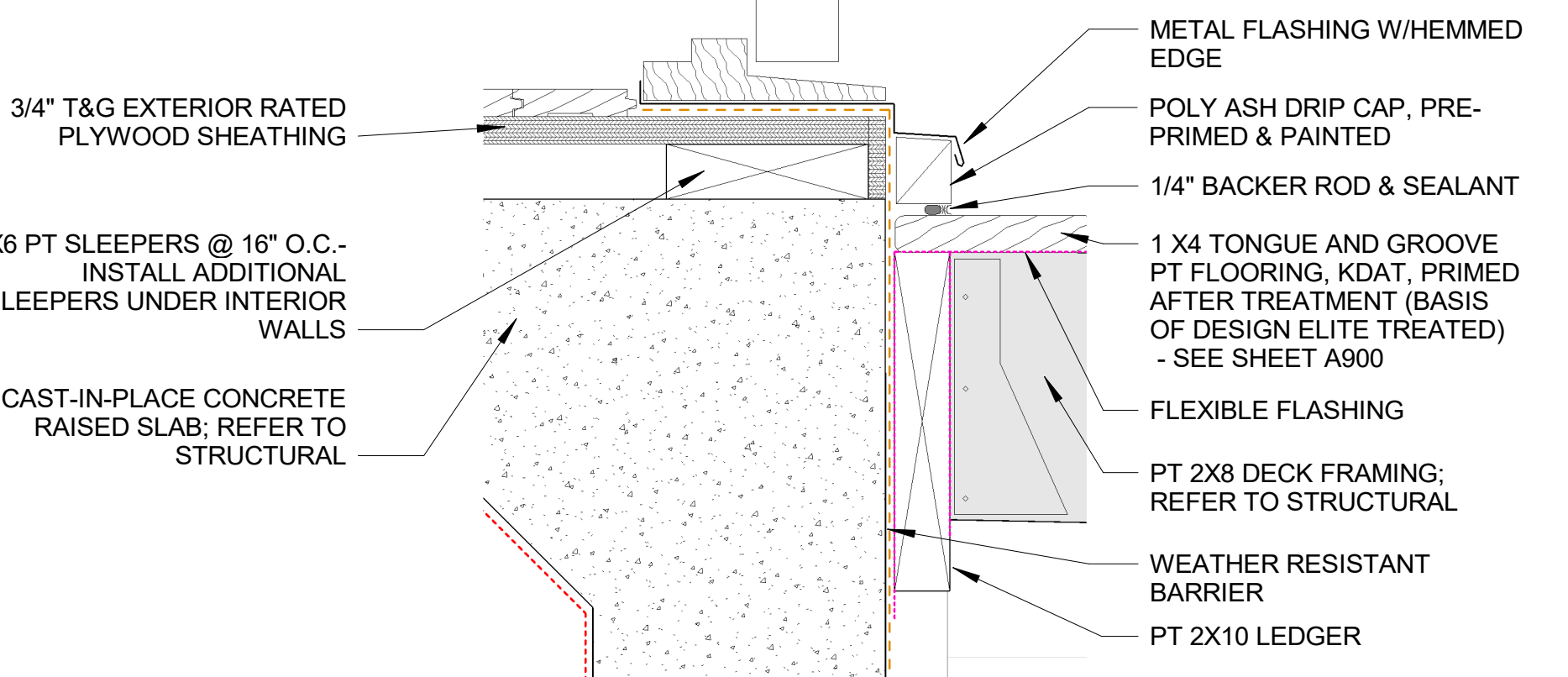
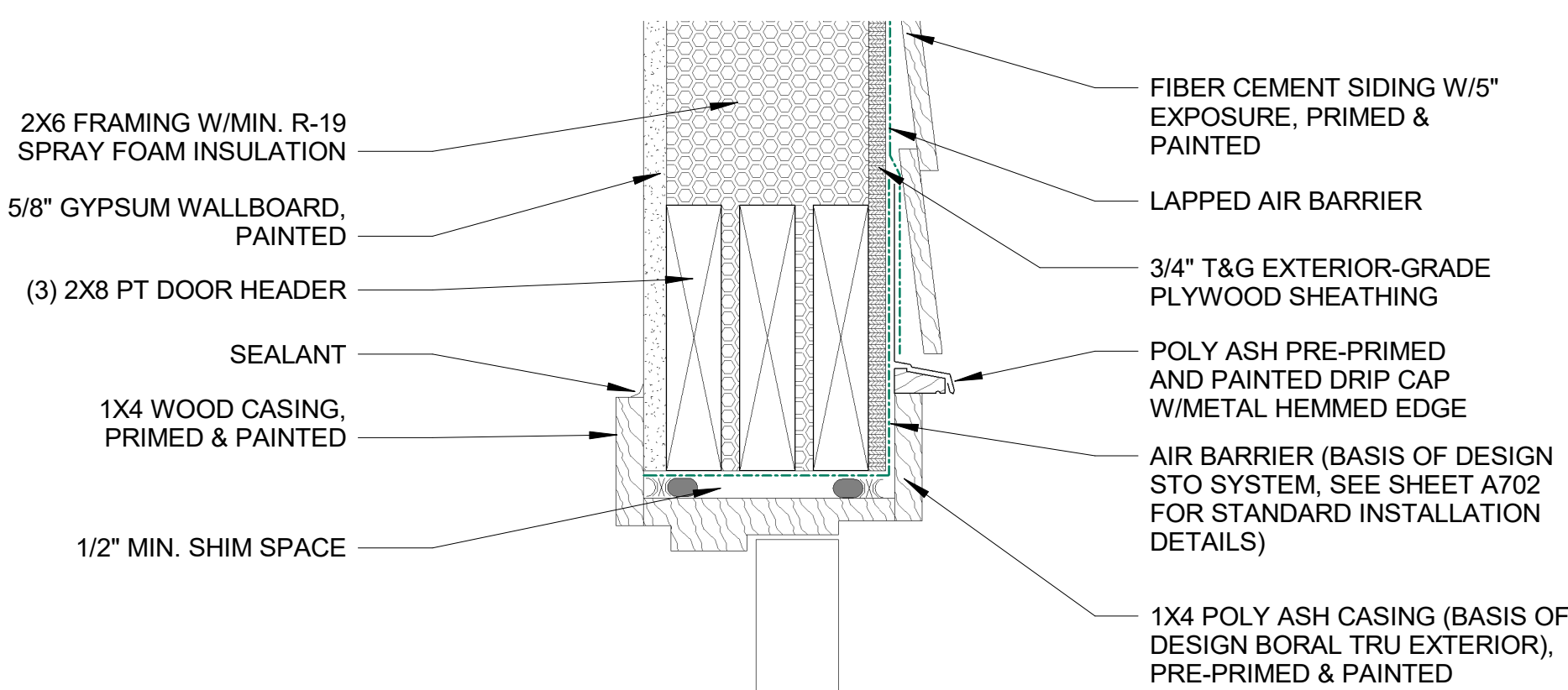
WINDOW  
DETAILS

A603





5 DOOR DETAIL @ ADA EXTERIOR BATHROOM  
3" = 1'-0"



2 HEAD & SILL DETAILS - FRONT DOOR  
3" = 1'-0"

MEMBRANE LEGEND	
<b>BUILDING WRAP</b>	TO BE APPLIED CONTINUOUSLY OVER ALL EXTERIOR WALLS AS A WATER-RESISTANT MEMBRANE
<b>AIR BARRIER</b>	APPLIED CONTINUOUSLY WITH SEALANT OR TAPE AT ALL EDGES TO PREVENT THE PASSAGE OF AIR BUT BE VAPOR-PERMEABLE
<b>FLEX/FLASHING TAPE</b>	USED AT EXTERIOR BUILDING PLANE TRANSITIONS LIKE WALL OPENINGS AND ROOF/WALL TRANSITIONS
<b>ROOF UNDERLAYMENT</b>	TO BE APPLIED CONTINUOUSLY BENEATH THE ROOFING MATERIAL AS A PEAL-AND-STICK MEMBRANE, OVERLAPPED ON THE EDGES
<b>VAPOR BARRIER</b>	TO BE APPLIED CONTINUOUSLY BENEATH THE CONCRETE SLAB/FOUNDATIONS BELOW ENCLOSED BUILDING SPACES

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STATE OF SOUTH CAROLINA

BEFORE ME, Notary Public in and for the State of South Carolina, on this 12th day of November, 2024, personally appeared SARAH RILEY HOOKS, known to me to be the person whose name is subscribed to the foregoing instrument, acknowledged to me that she executed the same for the purposes and consideration therein expressed.

NOTARY PUBLIC

STATE OF SOUTH CAROLINA

COMMISSION EXPIRES 10/01/2026

SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC PROJECT SUBMITTAL  
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

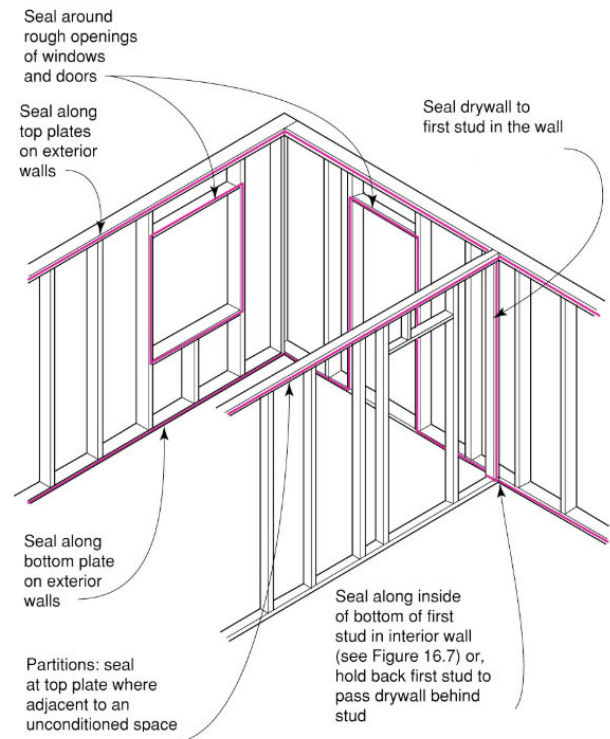
REVISIONS		
#	DATE	NOTES

DOOR DETAILS  
A604



BSC Information Sheet 401  
Air Barriers—Airtight Drywall Approach  
for All Climates

Sealing Perimeter of Drywall Assemblies



This information sheet has been prepared by Building Science Corporation for the Department of Energy's Building America Program, a partnership gathering the best design energy solutions for new and existing homes. The views and opinions of authors expressed herein do not necessarily state or reflect those of the United States government or any agency thereof. For more information about Building America go to [www.buildingamerica.gov](http://www.buildingamerica.gov)

**Air Barriers—Airtight Drywall Approach**  
Gypsum board drywall is, itself, a suitable air barrier material. The taping of drywall seams results in a plane of airtightness at the field of the wall. However, several steps must be taken to use this material property to create a continuous and complete air barrier system. To do this, it is important to create air barrier continuity at the perimeter of drywall assemblies, at all penetrations through the drywall, and, finally, in areas of the enclosure without interior drywall.

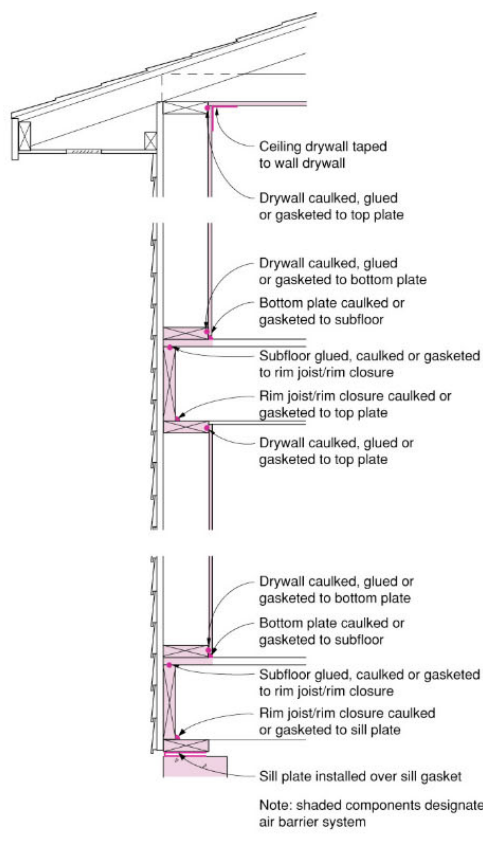
**Drywall Assembly Perimeter**  
Air barrier continuity at the perimeter of drywall assemblies is achieved by sealing the edges of the drywall to solid framing materials. This requires a continuous bead of sealant along:

- all exterior wall bottom and top plates,
- all top plates at insulated ceilings,
- rough opening perimeters, and
- both sides of the first interior stud of partition walls.

The air seal at the partition wall intersection is shown in greater detail below.

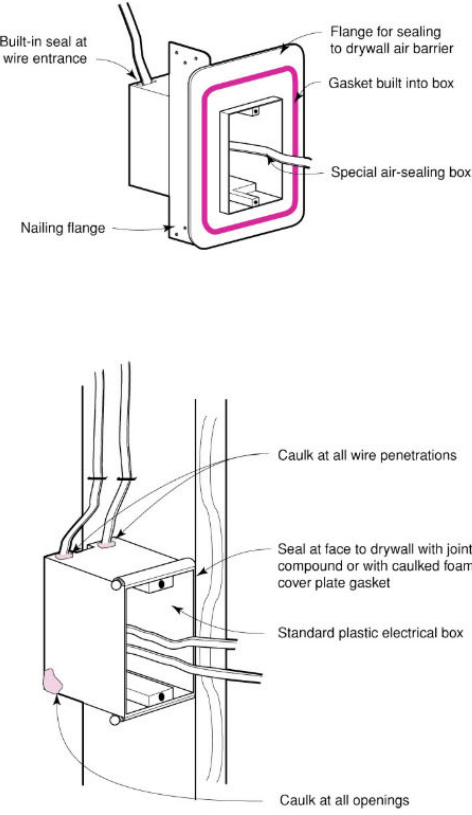
BSC Information Sheet 401  
for All Climates

Airtight Drywall Approach – Interior Air Barrier Using Drywall and Framing



Airtight Drywall Approach

Electric Box Penetrations

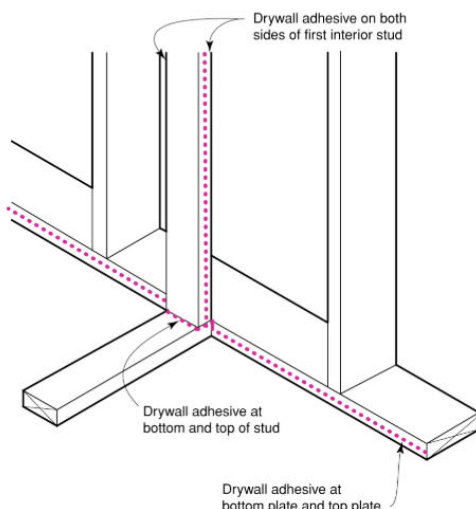


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2 of 4

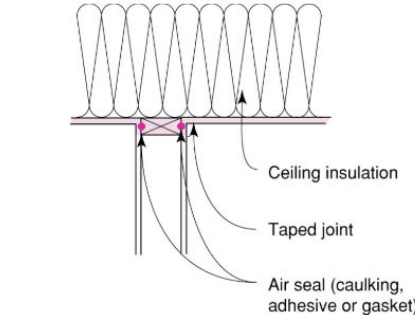
BSC Information Sheet 401  
for All Climates

Air Sealing at Partition



- Adhesive at bottom and top of partition stud allows air barrier to transition uninterrupted to other side of partition
- Penetrations through first partition stud must also be sealed

Top Plate with Unconditioned Space Above



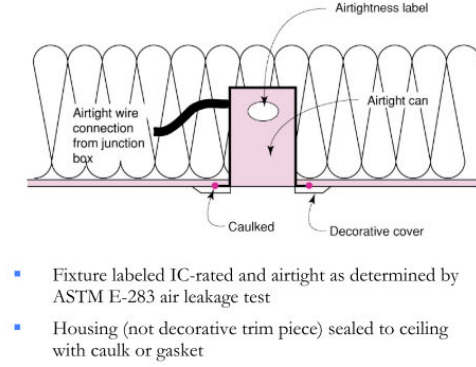
Airtight Drywall Approach

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3 of 4

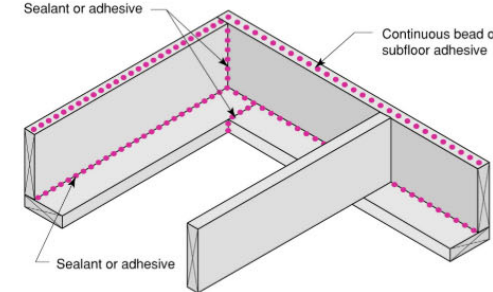
BSC Information Sheet 401  
for All Climates

Recessed Fixture in Insulated Ceiling



- Fixture labeled IC-rated and airtight as determined by ASTM E-283 air leakage test
- Housing (not decorative trim piece) sealed to ceiling with caulk or gasket

Air Barrier Continuity at Rim Joist/Band Joist



- Continuous filter bead applied at bottom of rim closure board
- Continuous bead of adhesive applied to top of rim closure board
- Sealant applied at all butt joints in rim closure board and sill plate/top plate
- Spray foam may also be used to seal between the sill/top plate, rim/band joist, and floor deck. Note that joints in the sill/top plate may not be tested by the foam application.

Suggestions for Further Research:

“Understanding Air Barriers”, Building Science Digest-104, [www.buildingscience.com](http://www.buildingscience.com).  
“READ THIS: Before You Design, Build, or Renovate,” Building Science Primer-040, [www.buildingscience.com](http://www.buildingscience.com).  
Lstiburek, Joseph W.; *Builder's Guide Series*, Building Science Press, 2006.

Airtight Drywall Approach

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4 of 4

1 AIR SEAL DETAILS  
N.T.S.

WEATHERPROOFING & AIR SEALING NOTES

- DESIGN INTENT: ADHERE TO IECC 2009.
- DEPICTED WEATHERPROOFING METHODS (SUCH AS SEALANT, CAULKING, AND FLASHING) ARE NOT COMPREHENSIVE. FOLLOW THE REQUIREMENTS AND RECOMMENDATIONS FROM BUILDING CODES, PRODUCT MANUFACTURER'S AND AGENCIES THAT DEVELOP STANDARDS.
- ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- CONTRACTOR SHALL SEAL THE BUILDING ENVELOPE TO PREVENT CONDITIONED AIR FROM LEAKING AROUND DOORS, WINDOWS, AND OTHER CRACKS. ANY PENETRATION IN THE BUILDING ENVELOPE MUST BE THOROUGHLY SEALED DURING THE CONSTRUCTION PROCESS, INCLUDING HOLES MADE FOR THE INSTALLATION OF PLUMBING, ELECTRICAL, AND HEATING/COOLING SYSTEMS. CONTRACTOR IS RESPONSIBLE FOR CAULKING, GASKETING, WEATHERSTRIPPING, WRAPPING, OR OTHERWISE SEALING TO LIMIT UNCONTROLLED AIR MOVEMENT. AREAS OF CONCERN INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
  - ALL JOINTS, SEAMS, AND PENETRATIONS
  - WINDOWS AND DOOR
  - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
  - UTILITY PENETRATIONS
  - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
  - KNEE WALLS
  - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
  - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
  - COMMON WALLS
  - ATTIC ACCESS OPENINGS
  - RIM JOIST JUNCTION
- CONTRACTOR TO TEST BUILDING ENVELOPE TIGHTNESS. PERFORM BLOWER DOOR TESTS: THREE (3) REQUIRED. 1- FOLLOWING INSTALLATION OF AIR & MOISTURE BARRIER AND SEALING ALL EXTERIOR PENETRATIONS, BEFORE INSULATING 2- AFTER SYSTEMS ARE UP AND RUNNING AND 3- BEFORE TURNING THE HOUSE OVER TO THE OWNER.
  - DURING TESTING:
    - EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED
    - DAMPERS SHALL BE CLOSED, BUT NOT SEALED, INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS
    - INTERIOR DOORS SHALL BE OPEN
    - EXTERIOR OPENINGS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED
    - HEATING AND COOLING SYSTEMS SHALL BE TURNED OFF
    - HVAC DUCTS SHALL NOT BE SEALED
    - SUPPLY AND RETURN REGISTERS SHALL NOT BE SEALED
- INSTALL AEROSOL-APPLIED, INTERIOR-SURFACE SEALANT FOR AIR SEALING. BASIS OF DESIGN AEROBARRIER. THE INTENT IS TO SEAL ALL REMAINING GAPS IN THE BUILDING ENVELOPE PRIOR TO THE APPLICATION OF INTERIOR FINISHES. SEE ADDITIONAL INFORMATION ABOUT THE INSTALLATION INCLUDED IN THE PROJECT MANUAL.
- VISUAL INSPECTION LIST FOR AIR SEALING AND INSULATION COMPLIANCE.

Table 2: 2009 IECC 402.4.2 “Visual Inspection List for Air Sealing and Insulation Compliance”

Component	Criteria
Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air permeable insulation is not used as a sealing material. Air permeable insulation is inside of an air barrier.
Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jams and framing is sealed.
Rim joists	Rim joists are insulated and include air barrier.
Floors (including above garage and cantilevered floors)	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
Crawl space walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl space is covered with class I vapor retarder with overlapping joints taped.
Shafts, penetrations	Duct shafts, utility penetrations, knee walls, and flue shafts opening to exterior or unconditioned space are sealed.
Narrow cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage separation	Air sealing is provided between the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures are airtight, IC rated, and sealed to drywall. Exception – fixtures in conditioned space.
Plumbing and wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower/tub on exterior wall	Showers and tubs on exterior walls have insulation and air barrier separating them from the exterior wall.
Electrical/phone box on exterior walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
Common wall	Air barrier is installed in common wall between dwelling units.
HVAC register boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Fireplace	Fireplace walls include an air barrier.

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**NOT FOR CONSTRUCTION**  
STATE OF SOUTH CAROLINA  
BETTY RILEY HOOKS  
Professional Engineer  
No. 10070  
Exp. 12/31/19  
STATE OF SOUTH CAROLINA  
BETTY RILEY HOOKS  
Professional Architect  
No. 10070  
Exp. 12/31/19

SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS  
# DATE NOTES

AIR SEAL  
DETAILS &  
NOTES

A701



# sto

## StoGuard® Air and Moisture Barrier Nail Fin Window - Source Drawing

**Detail No. 22s-23B**  
**Date: September 2018**  
**Page 3 of 3**

**Notes:**

1. Sto Guard® Transition Component taped into window flange along joint. Island not required. (1/2" min) minimum onto surface of wall. Do not apply to bottom flange of window.
2. Sto Guard® Transition Component taped into window flange along joint. Island not required. (1/2" min) minimum onto surface of wall. Do not apply to bottom flange of window.
3. Glass must per seum sheathing in compliance with ASTM C1177, exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing, or cementitious sheathing in compliance with ASTM C1177.
4. The complete installation of window or mechanical equipment must include an air seal between the object and the StoGuard product. Removal of the outer perimeter weather seal.
5. Components not identified as Sto Guard are furnished by other manufacturers and are not treated with the Sto products. Refer to product specific data sheets for details.

**ATTENTION**

No products are intended for use by qualified professional contractors, not contractors, as a component of a larger construction assembly as specified in a qualified technical presentation, general contract or other "fine print" to be installed in accordance with those specifications and fine print details. No Sto products are intended for use, testing or other application, to reproduce material properties, or to reproduce information, or in a part of a separately developed or modified assembly. The Sto products remain the intellectual property of Sto Corporation or its subsidiaries. Other companies may have developed products similar to the products of Sto building in components.

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## StoGuard® Air and Moisture Barrier Pipe Penetration

**Detail No: 22s.70**  
**Date: September 2018**  
**Page 1 of 2**

**Notes:**

1. See Guard Chart (22s.50) for transition components, joint treatment, joint preparation, joint protection, joint priming and flashing protection product options.
2. Class III non-ferrous sheathing in compliance with ASTM C117 exterior grade and Exposure 1 wood based sheathing, or cementitious sheathing in compliance with ASTM C555.
3. Components not identified in this detail are standard and are not necessarily installed by trades who install the Sto-Guard products. Refer to project specific contract documents.

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**ATTENTION:** This product is intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified in a detailed design document. Please contact your supplier for details on how to use this product. This detail is not intended to be used as a guide for construction. The design detail is not intended to be used as a guide for construction. The design detail is not intended to be used as a guide for construction. The design detail is not intended to be used as a guide for construction.

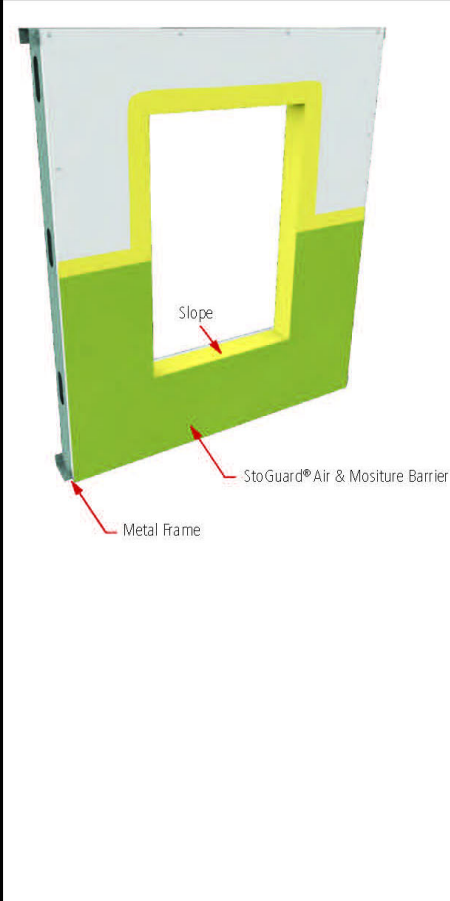
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# StoGuard® Air and Moisture Barrier

## Rough Opening Protection with Sto RapidGuard™

**Detail No. 226.200**  
**Date: September 2018**  
**Page 2 of 2**




**Notes:**

1. See **Section 12-01.00** for the number of components, joint treatment, and application of the protection product.
2. Glass and gypsum sheathing barrier is compliant with ASTM C1171, exterior grade and facer's wood based sheathing, or cementitious sheathing in compliance with ASTM C1325.
3. Acoustic caulking as illustrated in detail 226.200 other details where blocking is required. The blocking is to be made for positive slope to exterior of wall.
4. The complete installation of window or enclosure equipment must include an air seal between the edge and the finished protection, rebound of the edge perimeter sheathing product.
5. See **Detail 226.21** for preparation of finished studs in order to frame final openings.
6. Verify substrate adhesion to Sloe rough opening protection (also tested with a StoGuard air and moisture barrier).
7. Components not identified as jo are furnished by other manufacturers and are not necessary or required by trades who install the Sto products. Refer to project specific contract documents.

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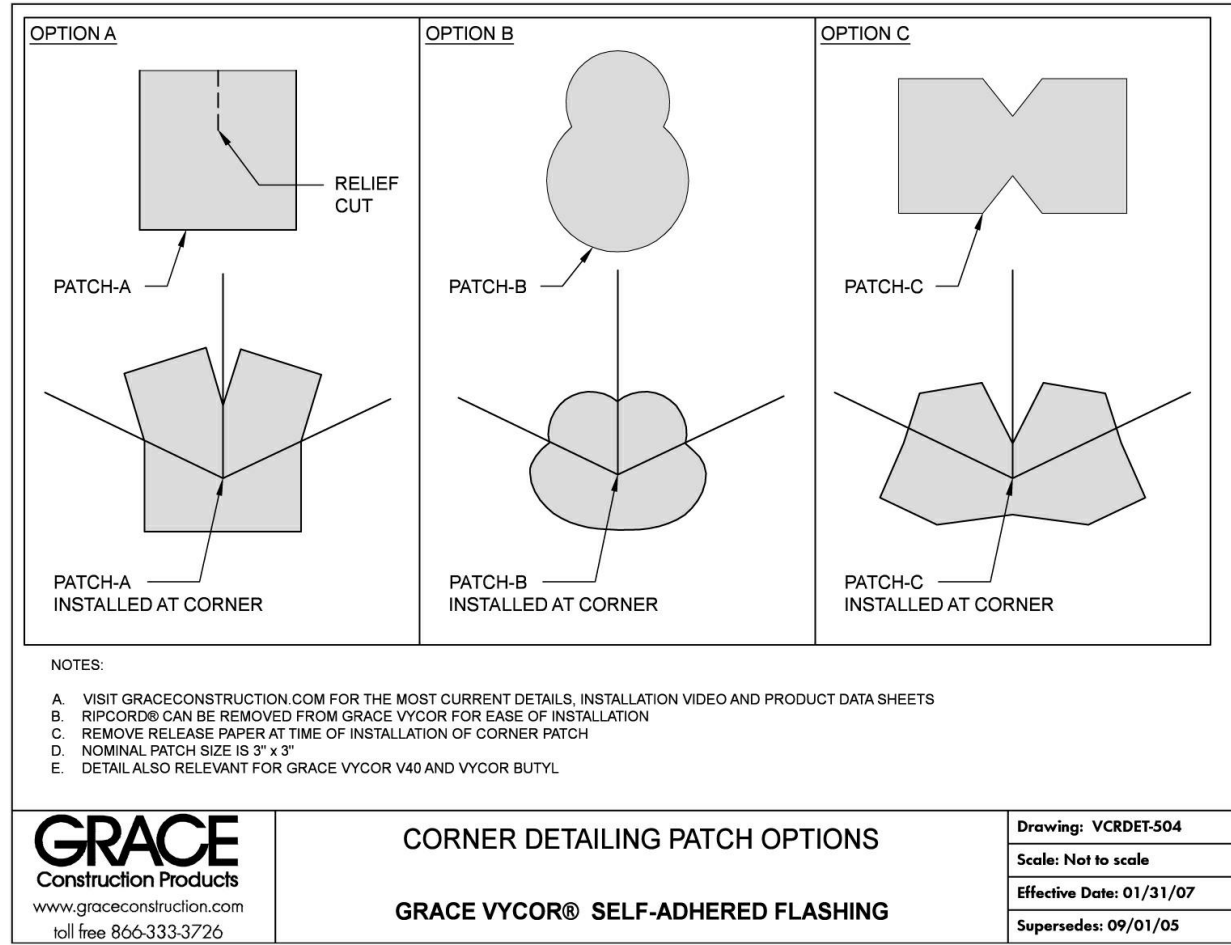
**ATTENTION:** This document is for qualified professional contractors. Notwithstanding, as a representative of a contractor manufacturer, we specified a qualified design professional, architect or builder. You should consult your architect or engineer before using this document. The design professional, architect or builder is responsible for determining the appropriateness of the application of this document. The contractor is responsible for determining the appropriateness of the application of this document. The contractor is responsible for determining the appropriateness of the application of this document. The contractor is responsible for determining the appropriateness of the application of this document.

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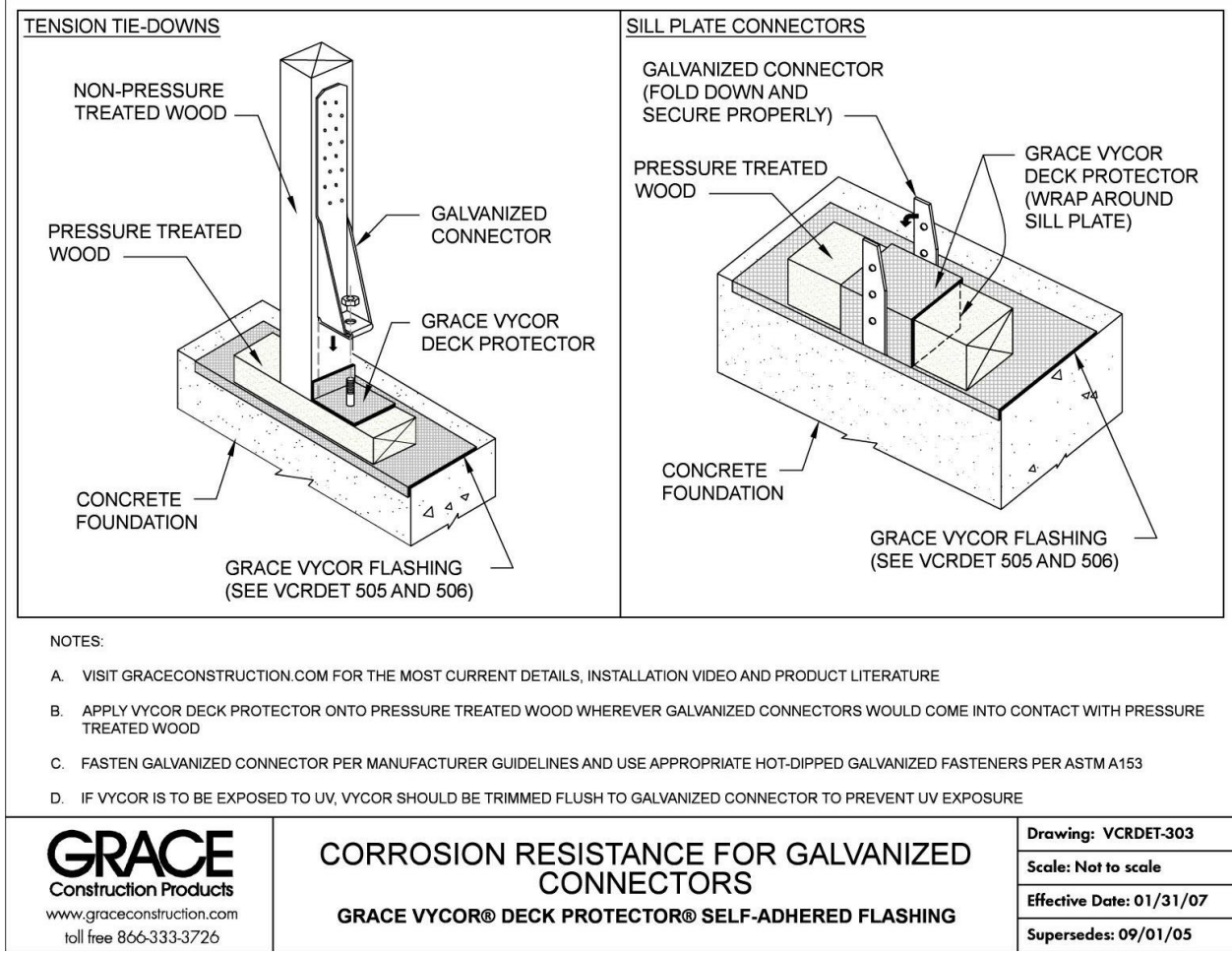


AIR & MOISTURE  
BARRIER  
DIAGRAMS  
**A702**

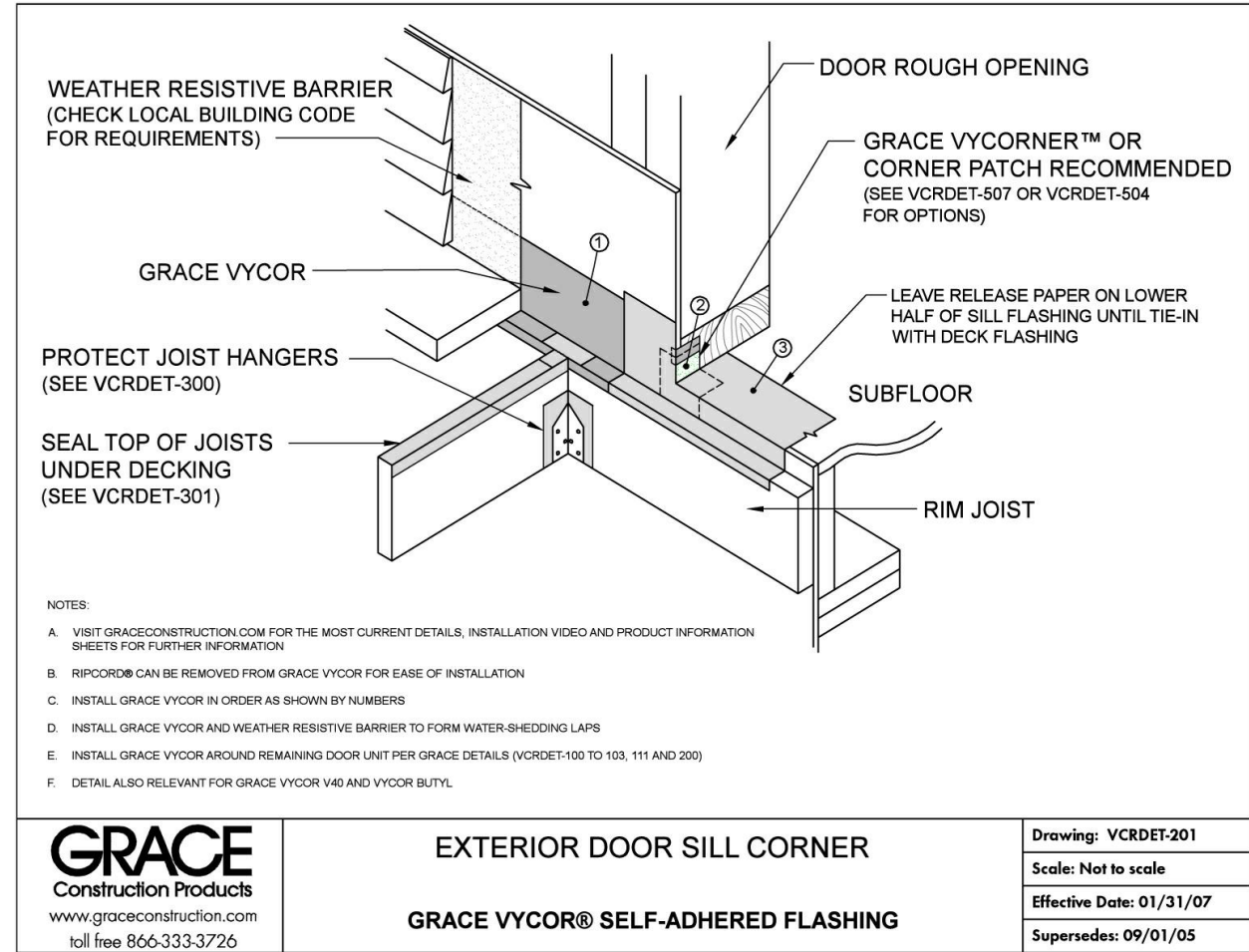




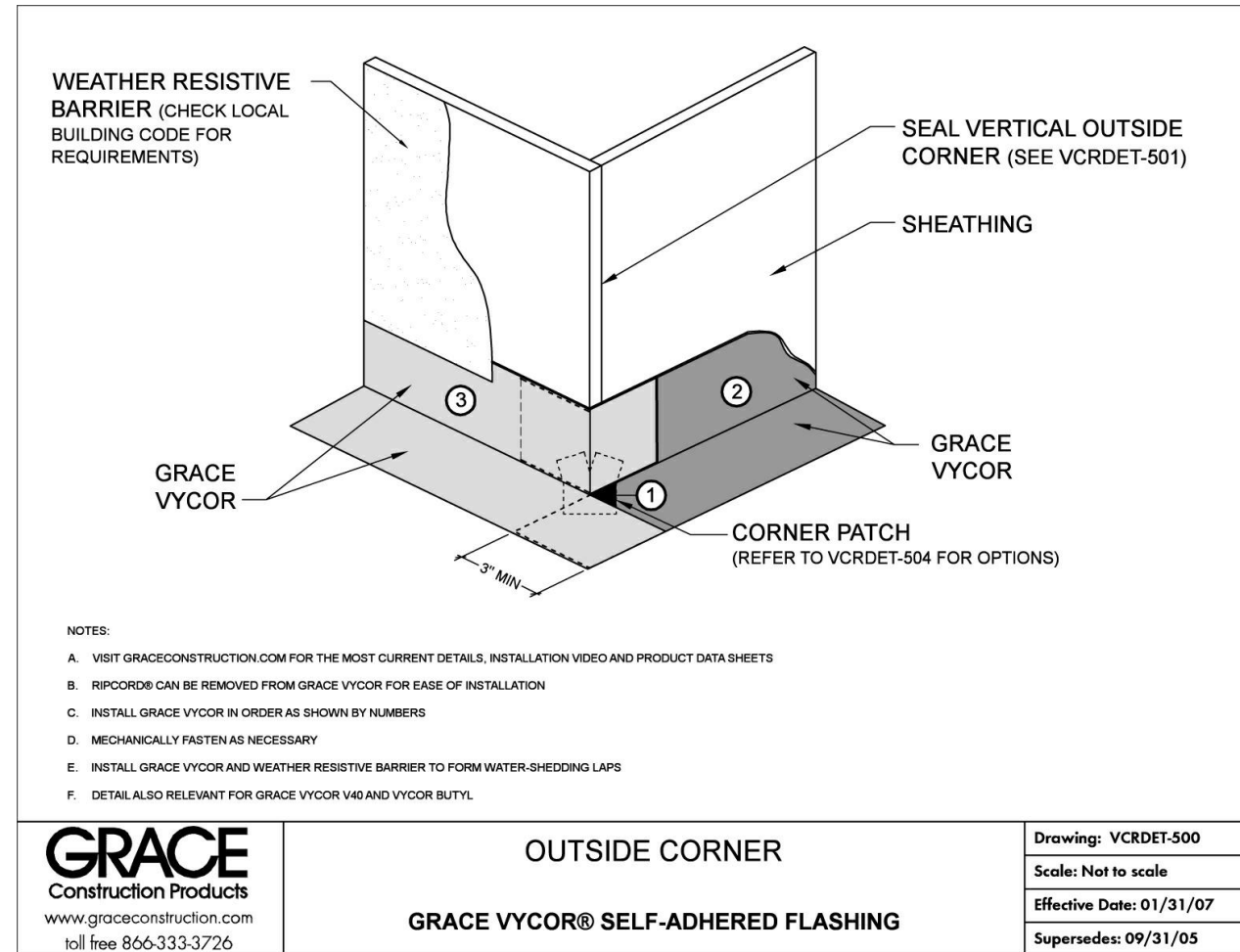
1 CORNER DETAILING PATCH OPTIONS  
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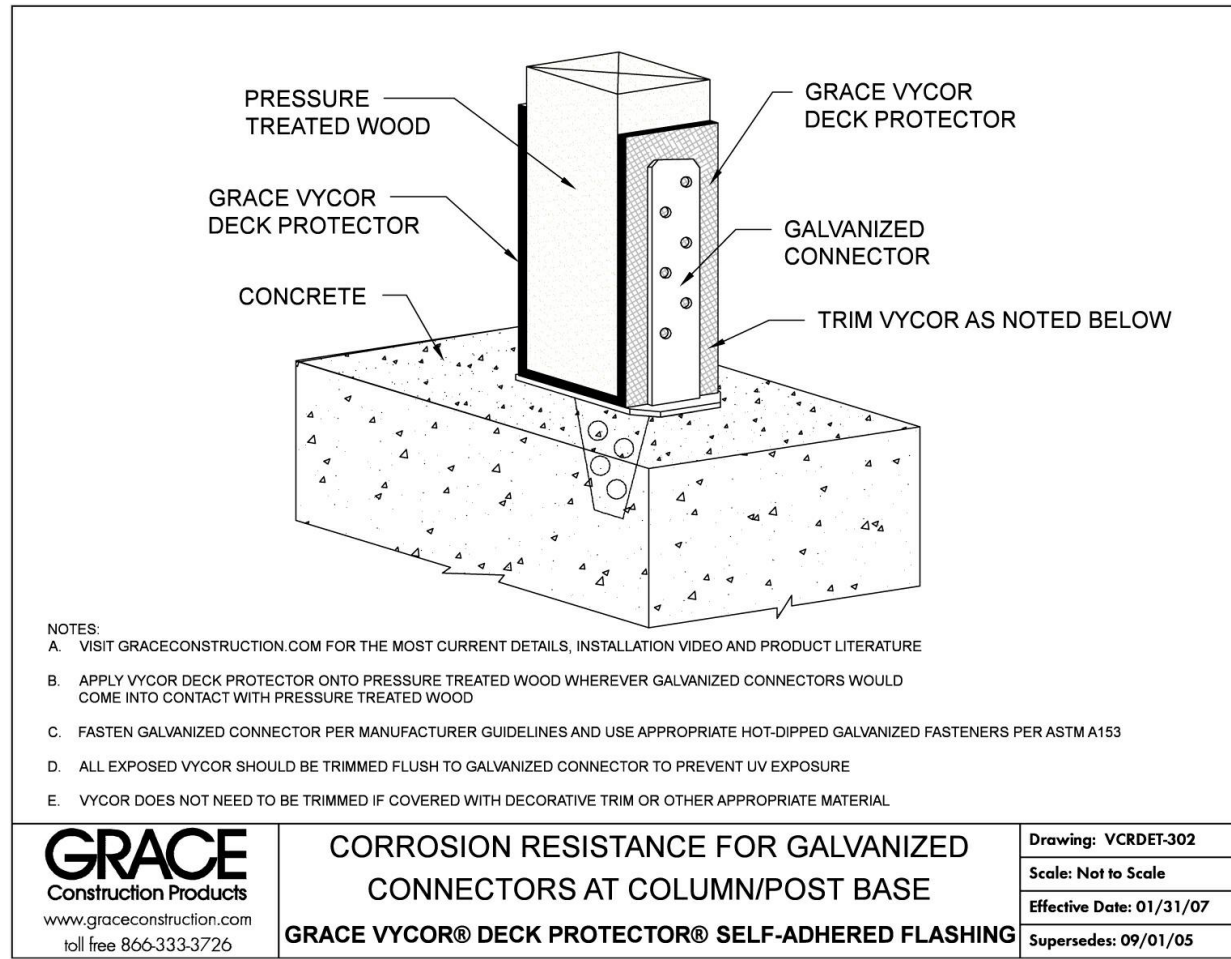
2 CORROSION RESISTANCE FOR GALVANIZED CONNECTORS  
N.T.S.



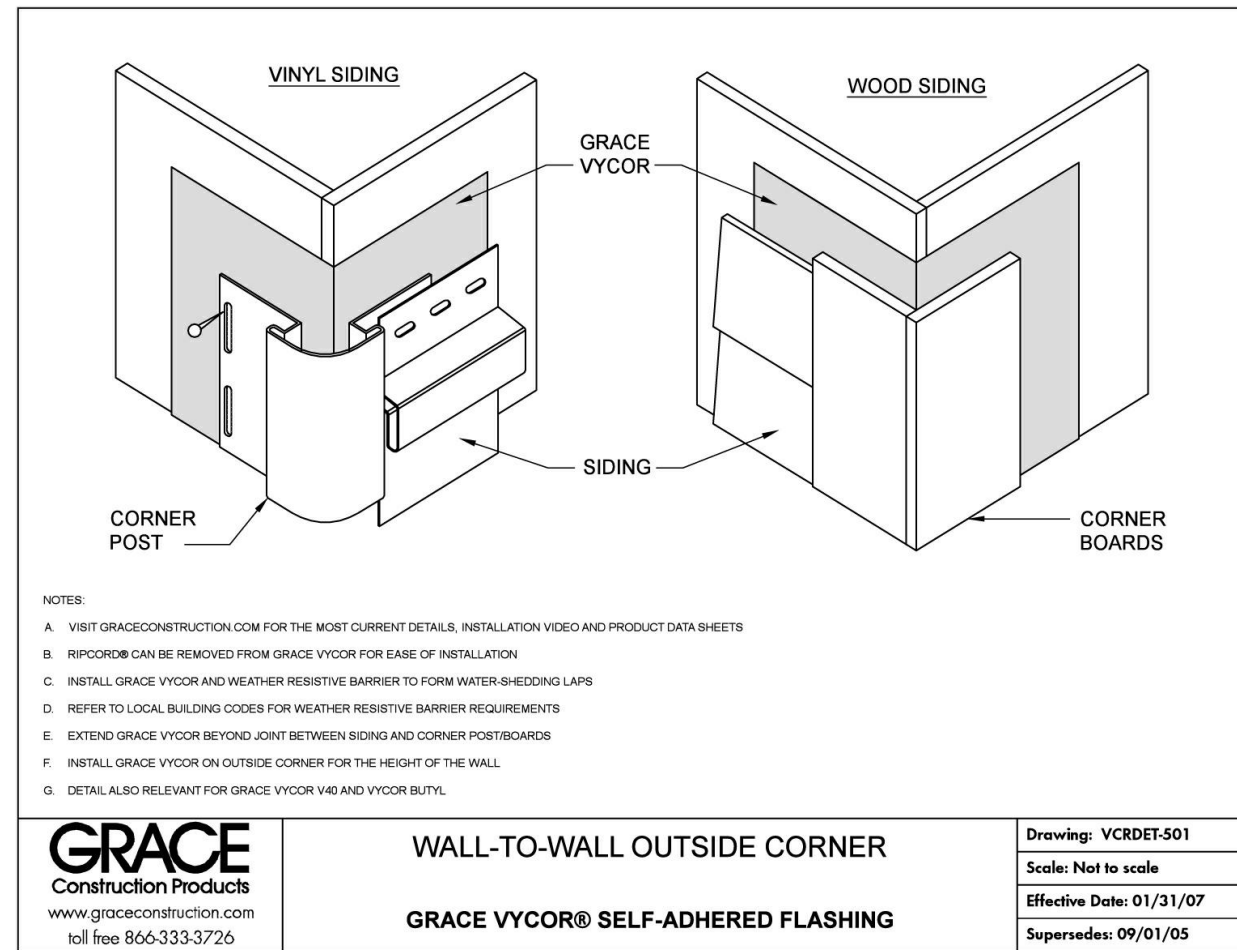
3 EXTERIOR DOOR SILL CORNER  
N.T.S.



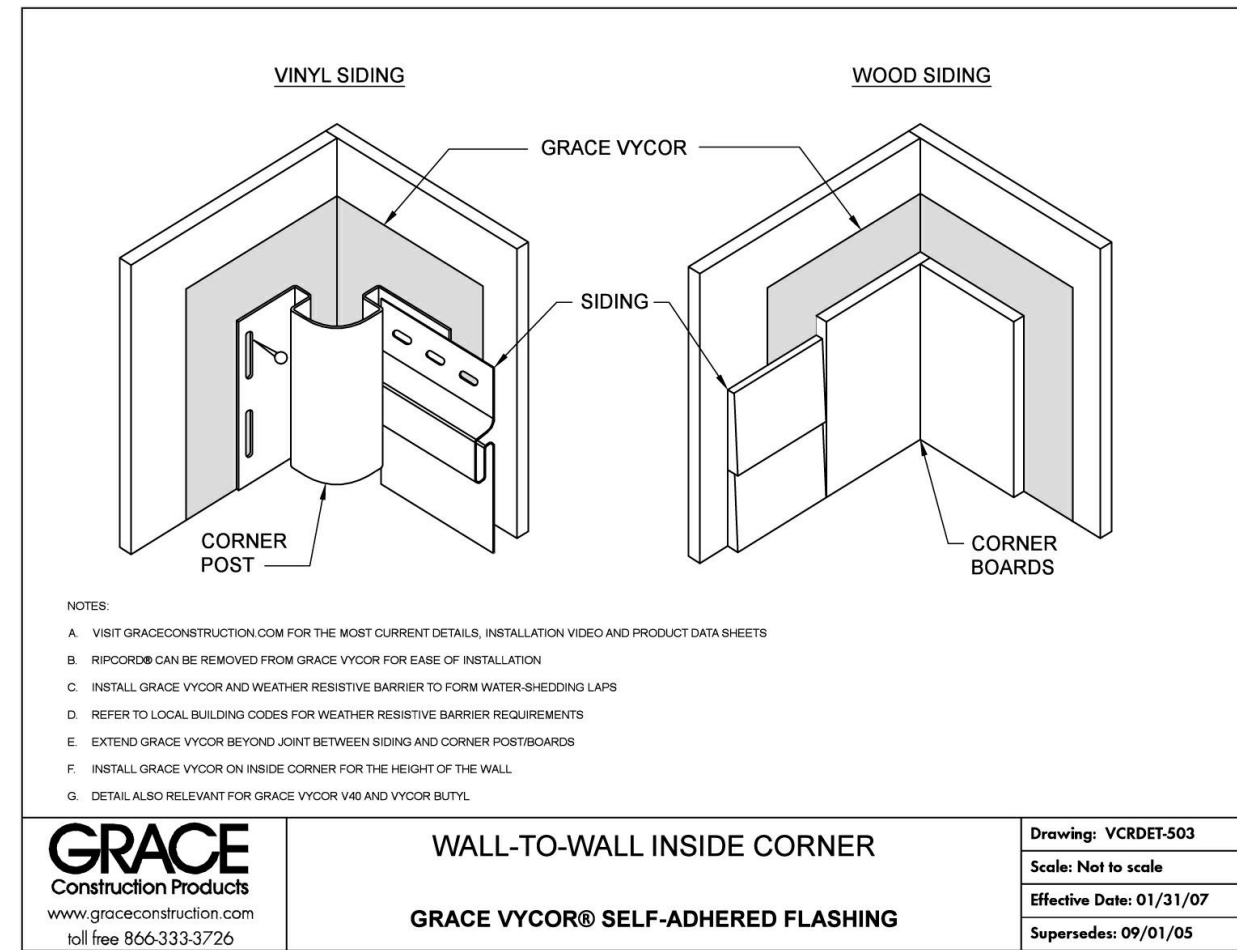
4 OUTSIDE CORNER  
N.T.S.



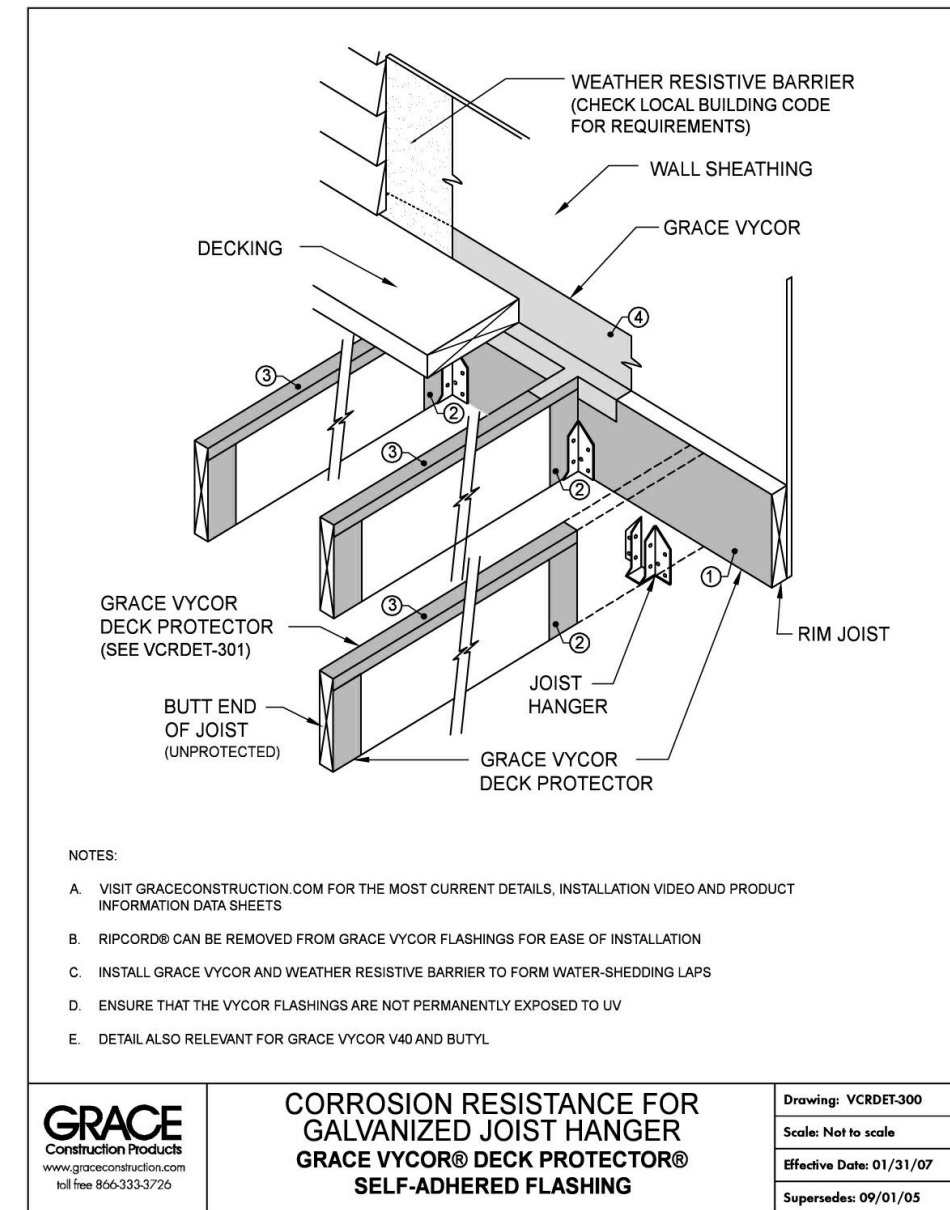
5 CORROSION RESISTANCE FOR GALVANIZED CONNECTORS AT COLUMN/POST BASE  
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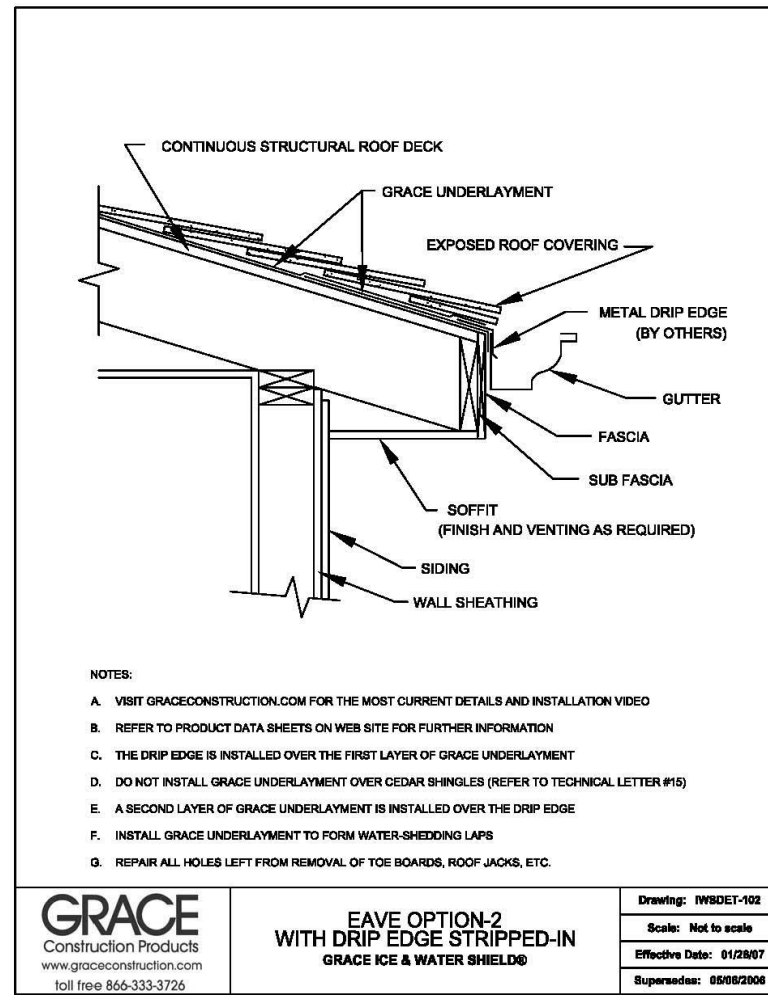
6 WALL-TO-WALL OUTSIDE CORNER  
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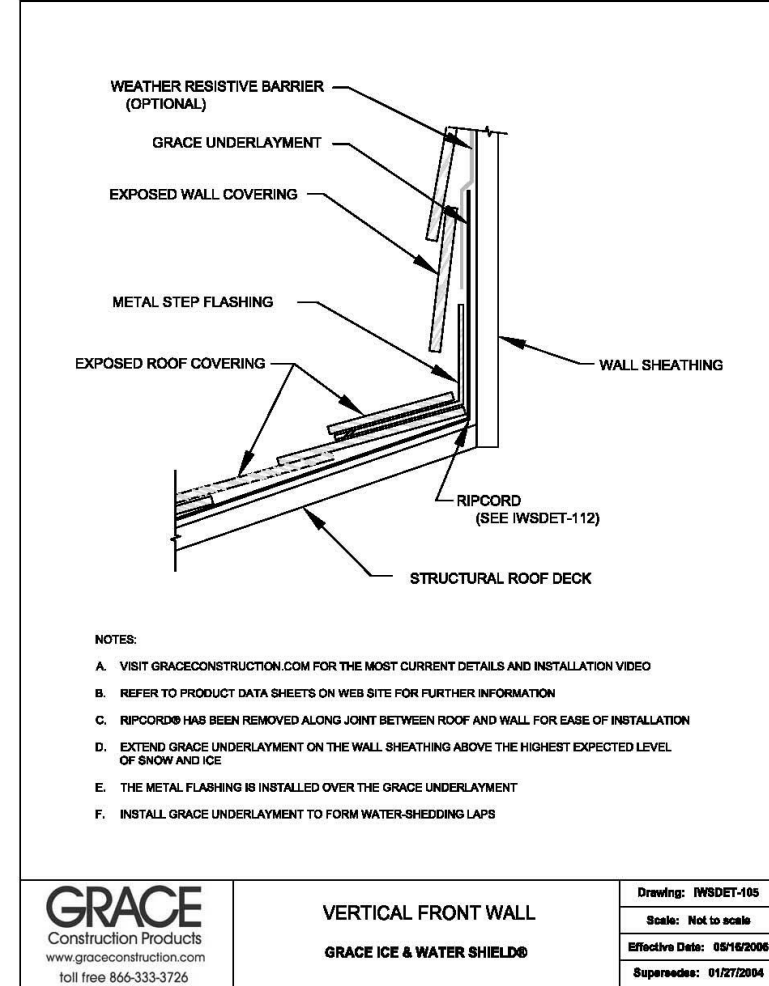
7 WALL-TO-WALL INSIDE CORNER  
N.T.S.



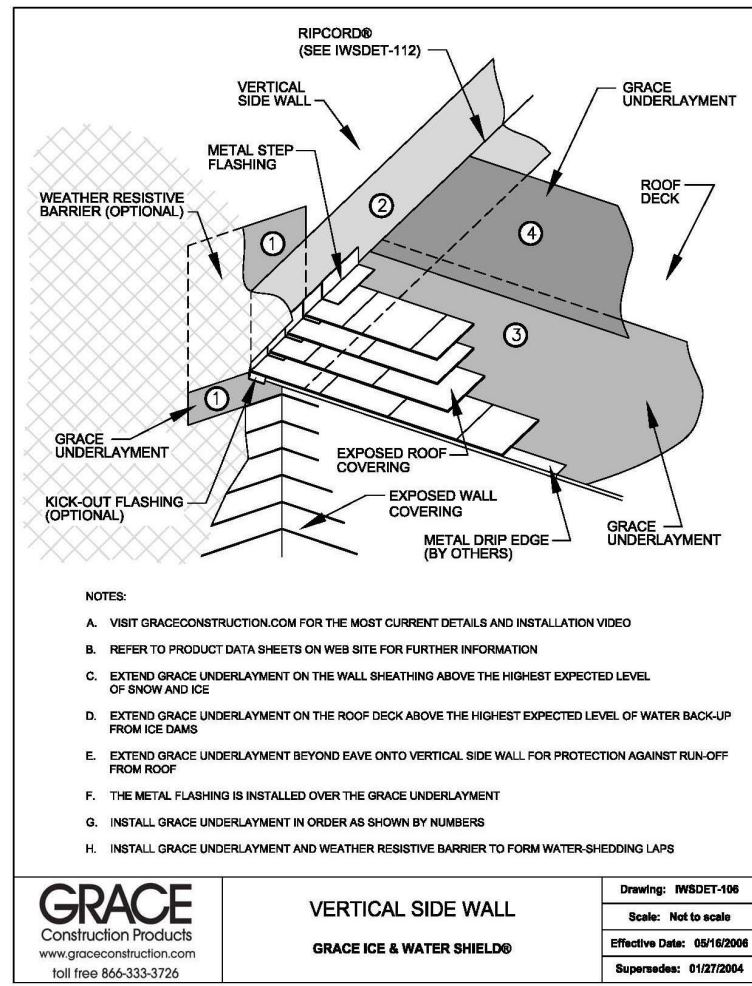
8 CORROSION RESISTANCE FOR GALVANIZED JOIST HANGER  
N.T.S.



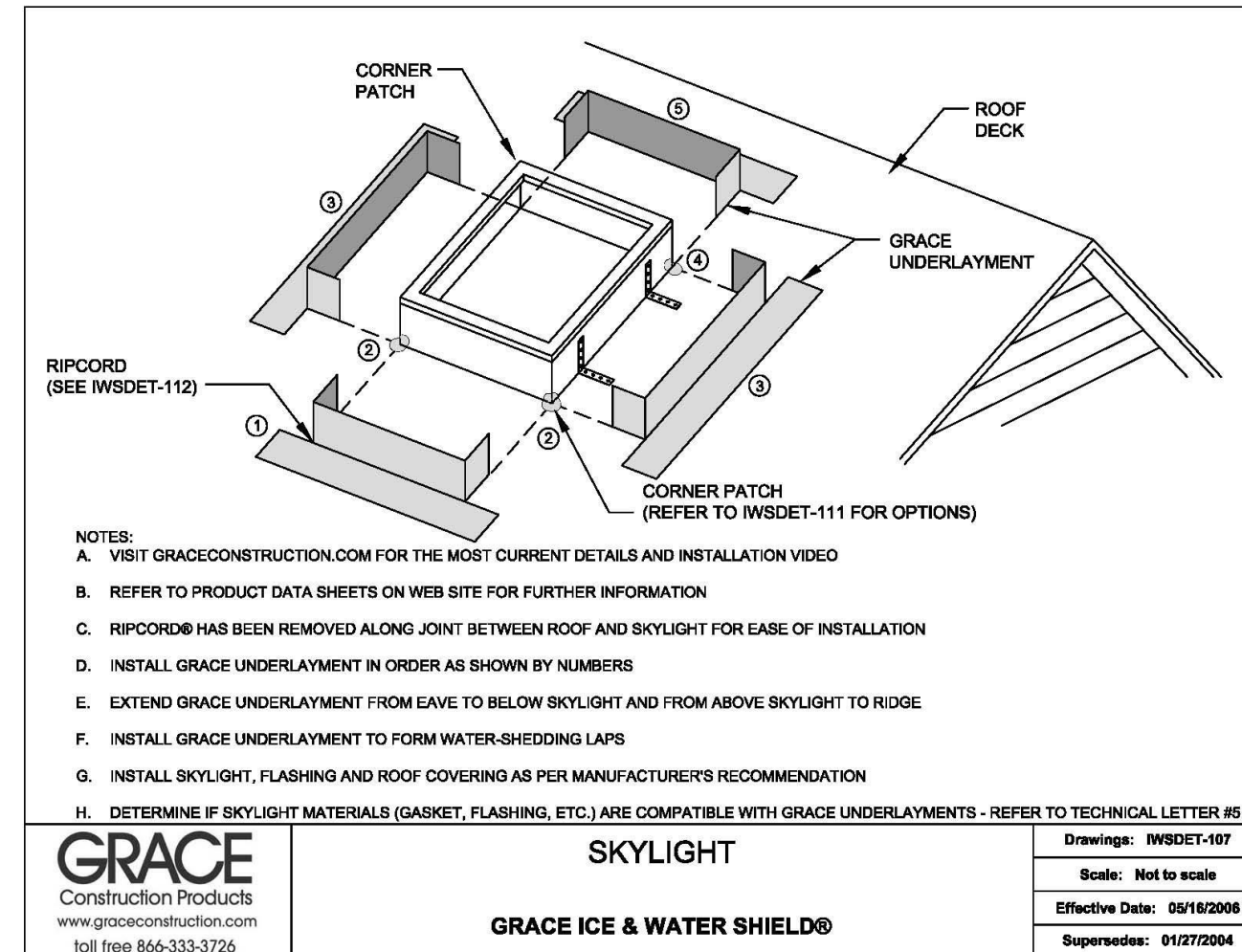
9 EAVE WITH Drip EDGE STRIPPED-IN  
N.T.S.



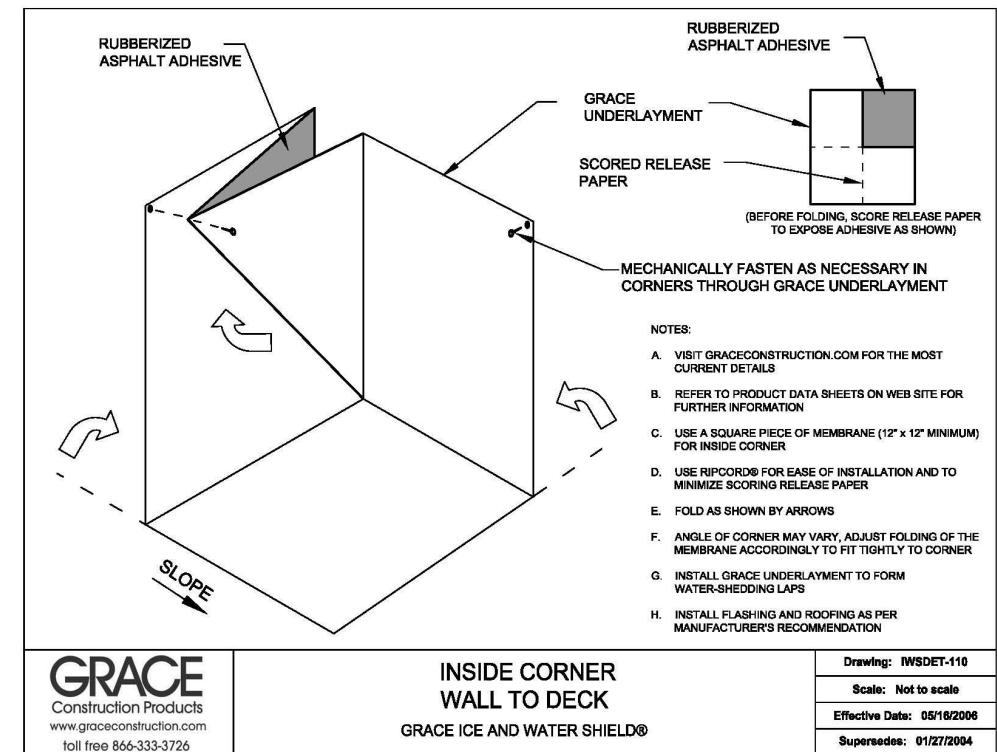
10 VERTICAL FRONT WALL  
N.T.S.



11 VERTICAL SIDE WALL  
N.T.S.



12 SKYLIGHT FLASHING  
N.T.S.



13 INSIDE CORNER WALL TO DECK  
N.T.S.

PUBLIC PROJECT SUBMITTAL

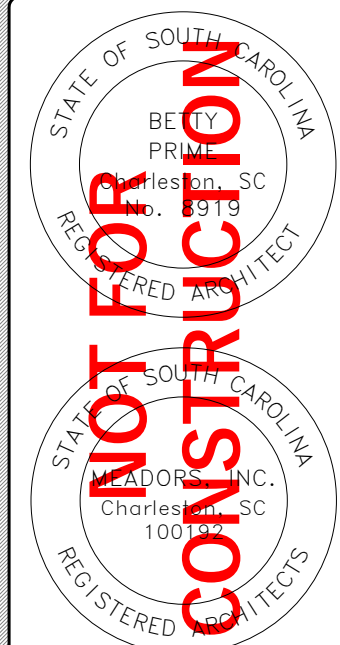
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

#	DATE	NOTES
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STANDARD FLEXIBLE FLASHING DETAILS  
A703

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COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

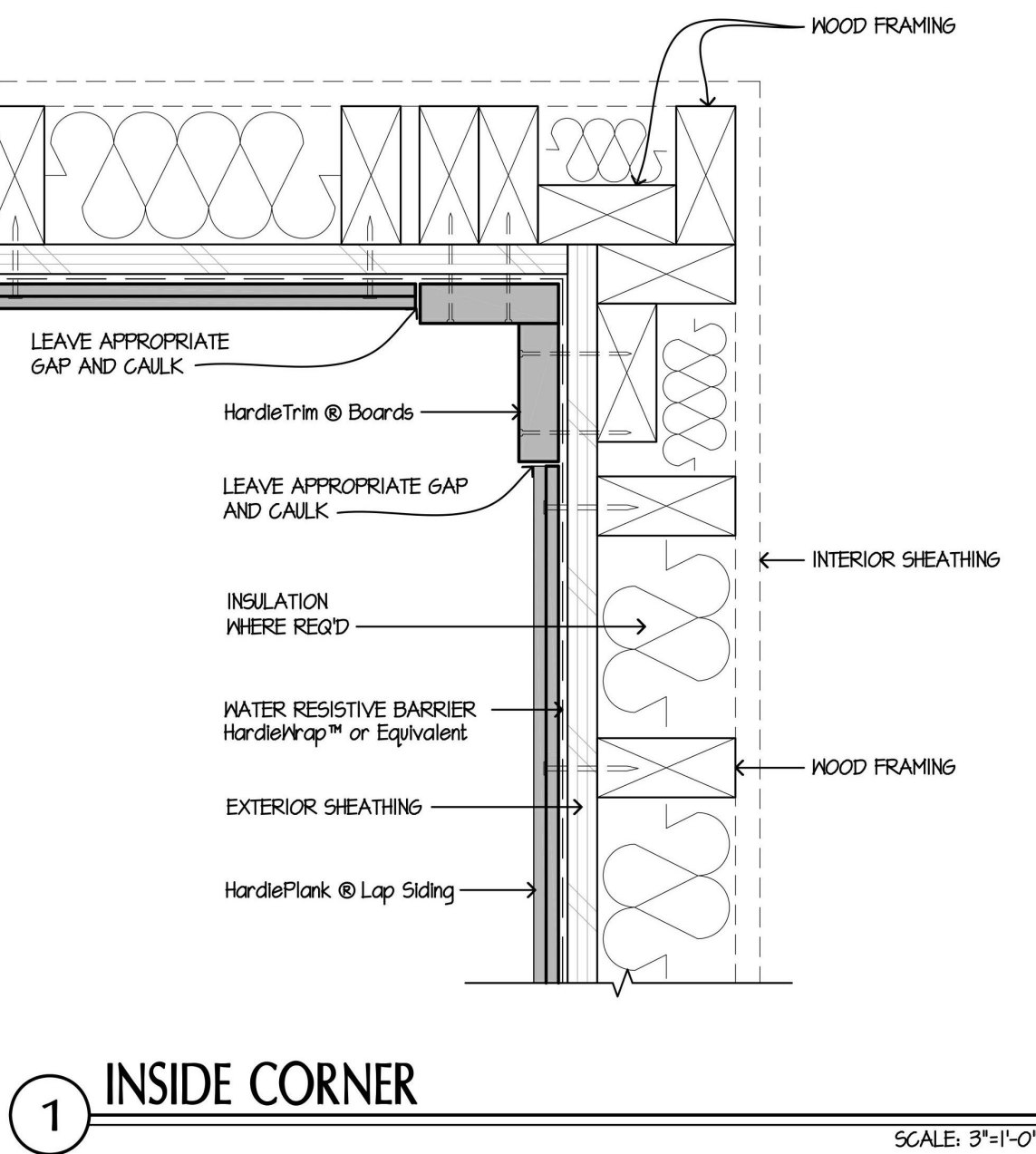
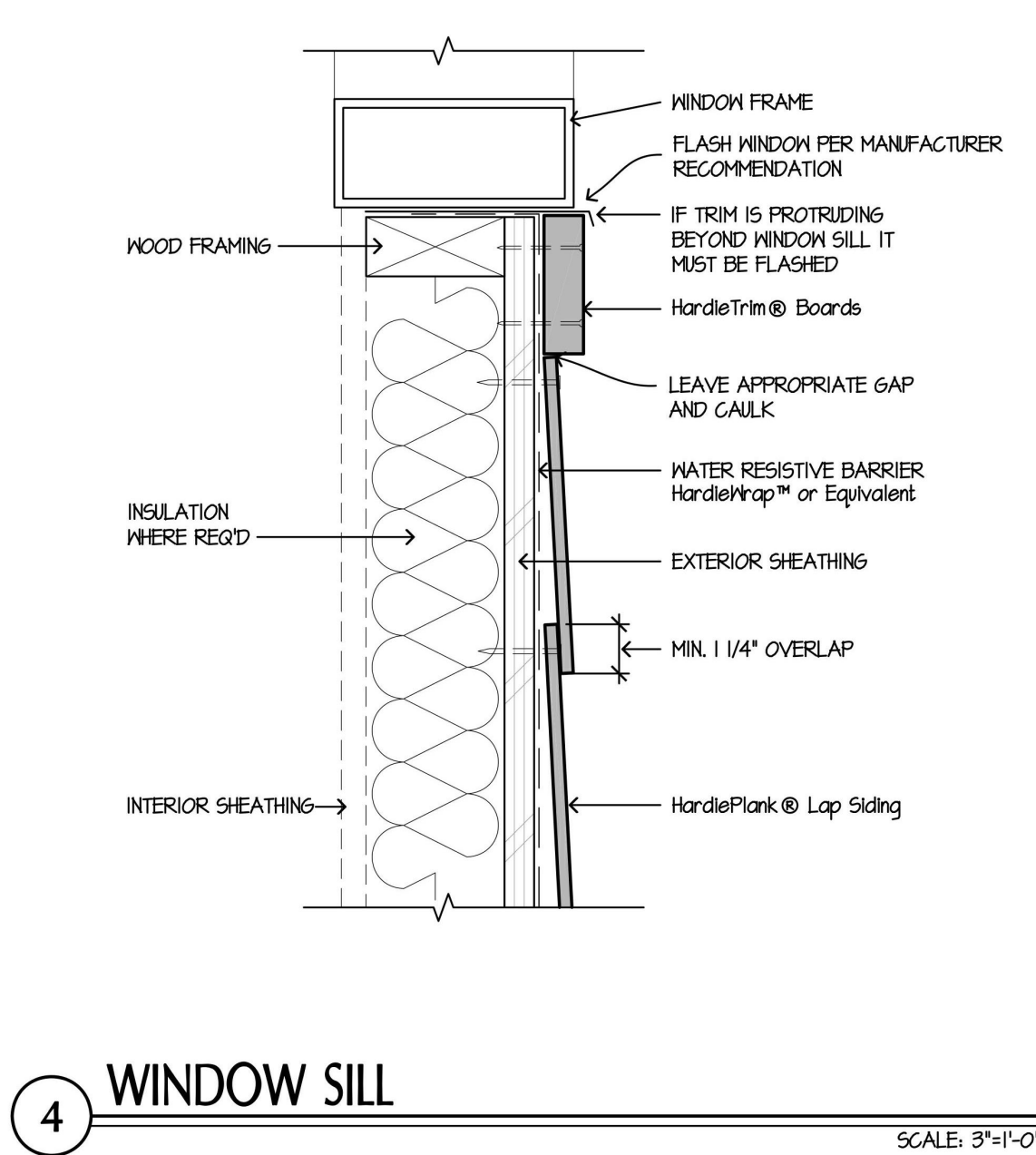
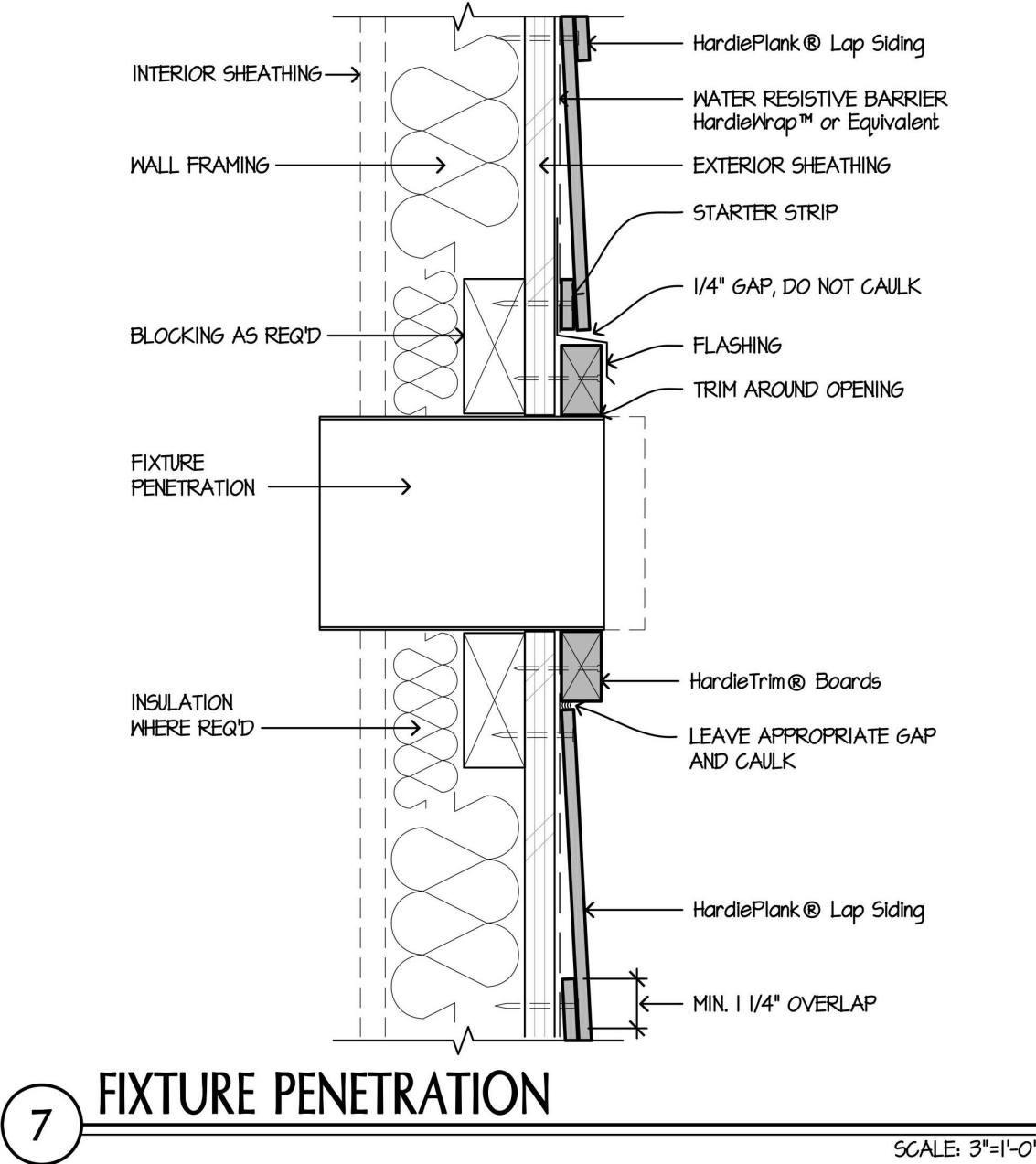
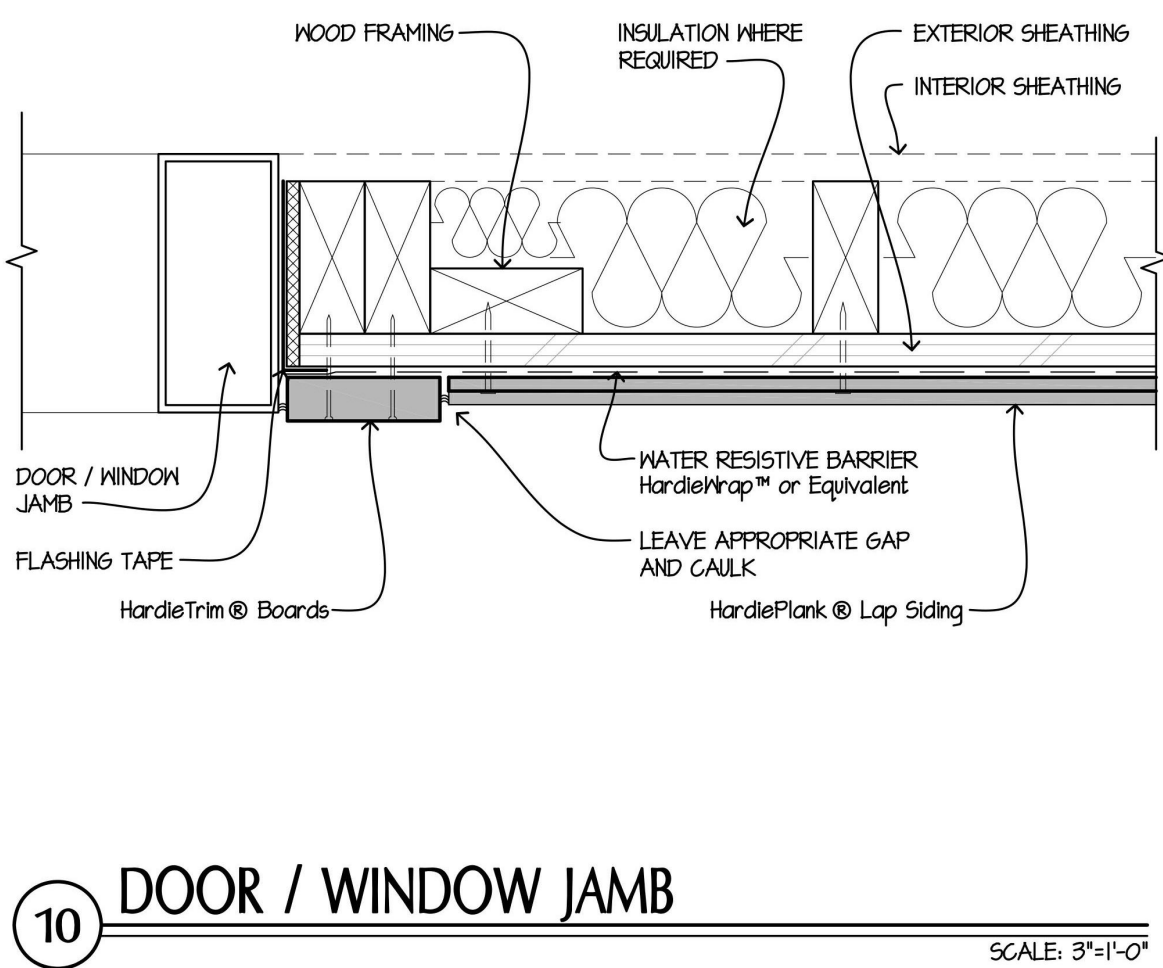
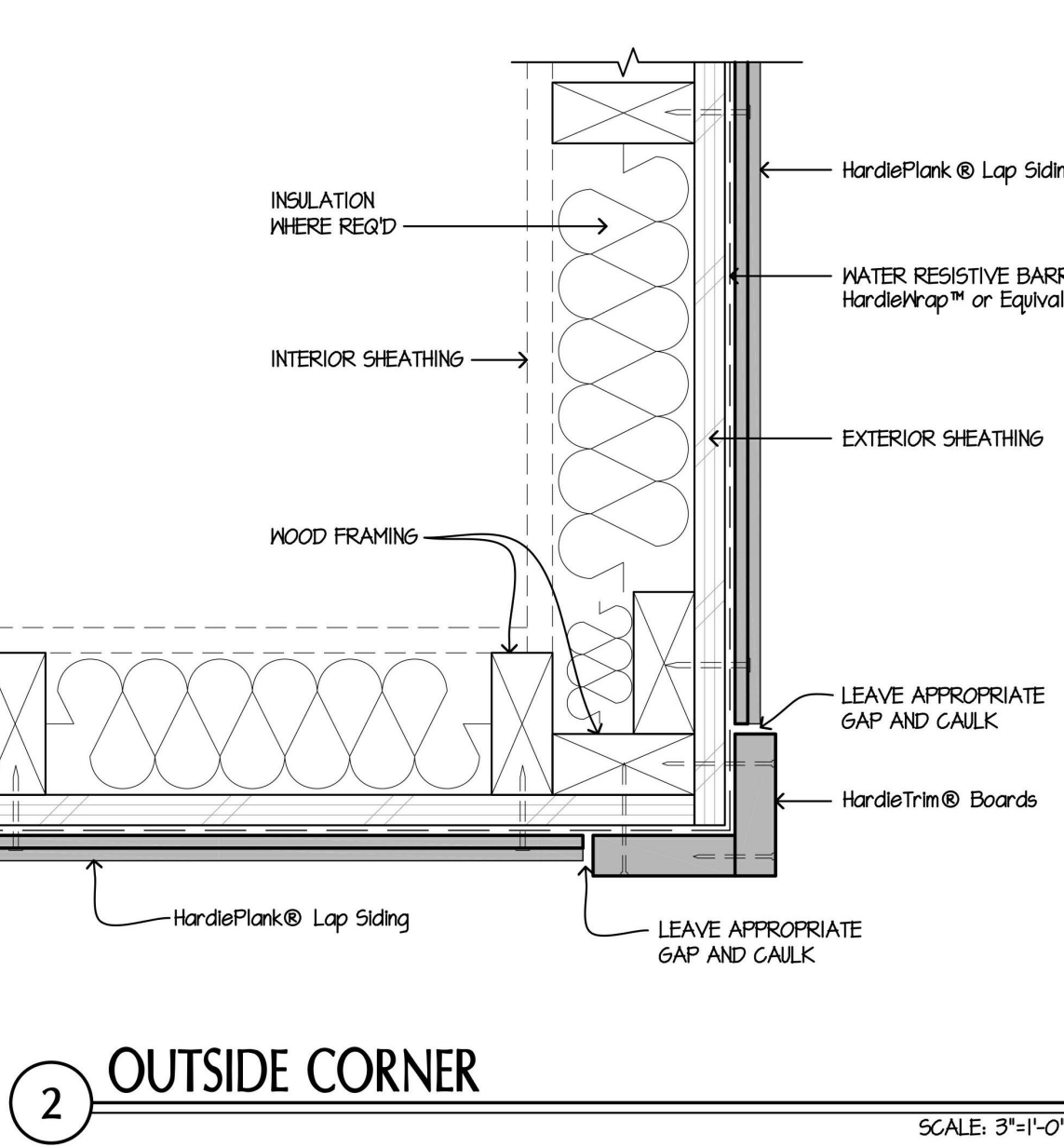
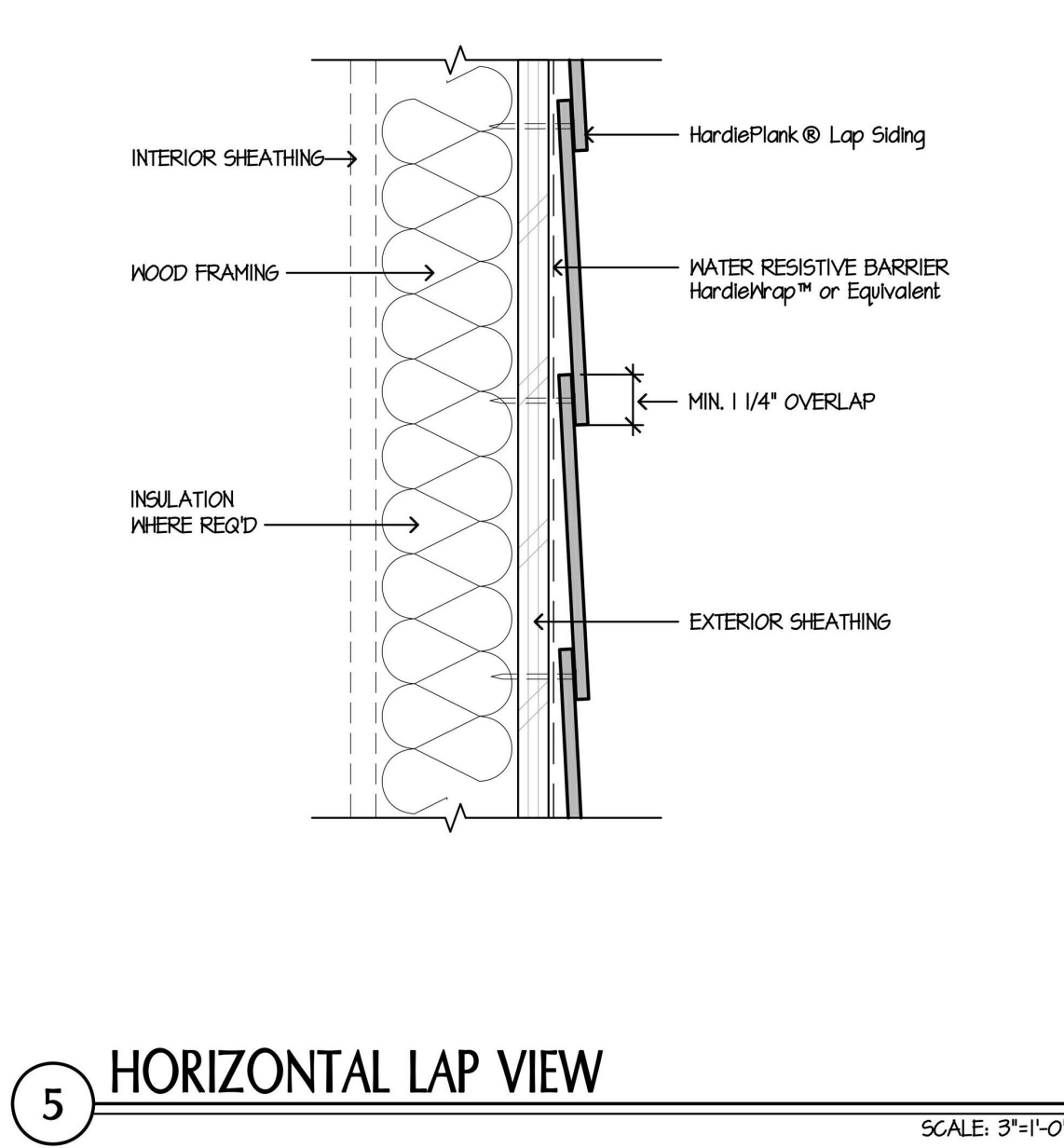
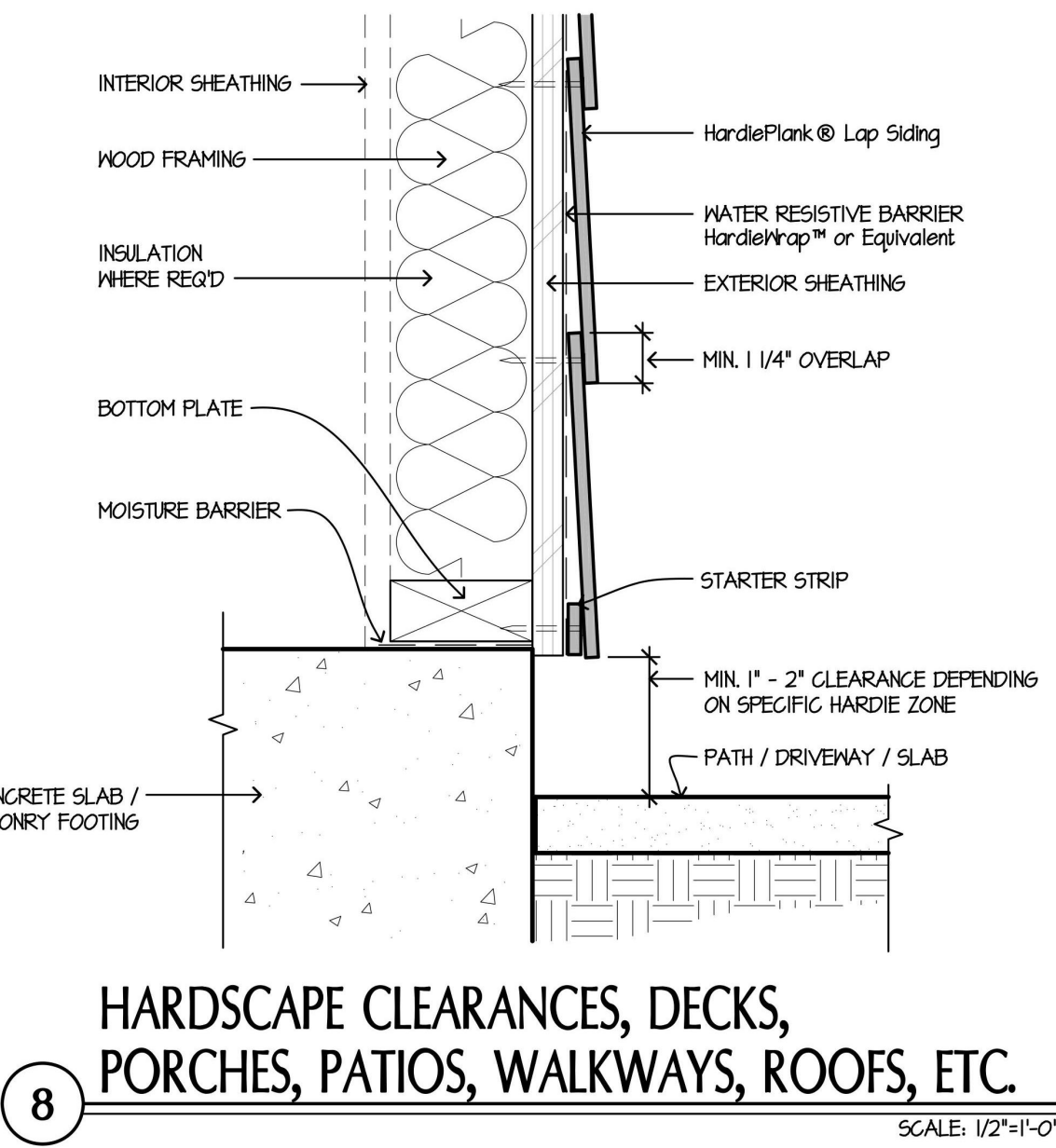
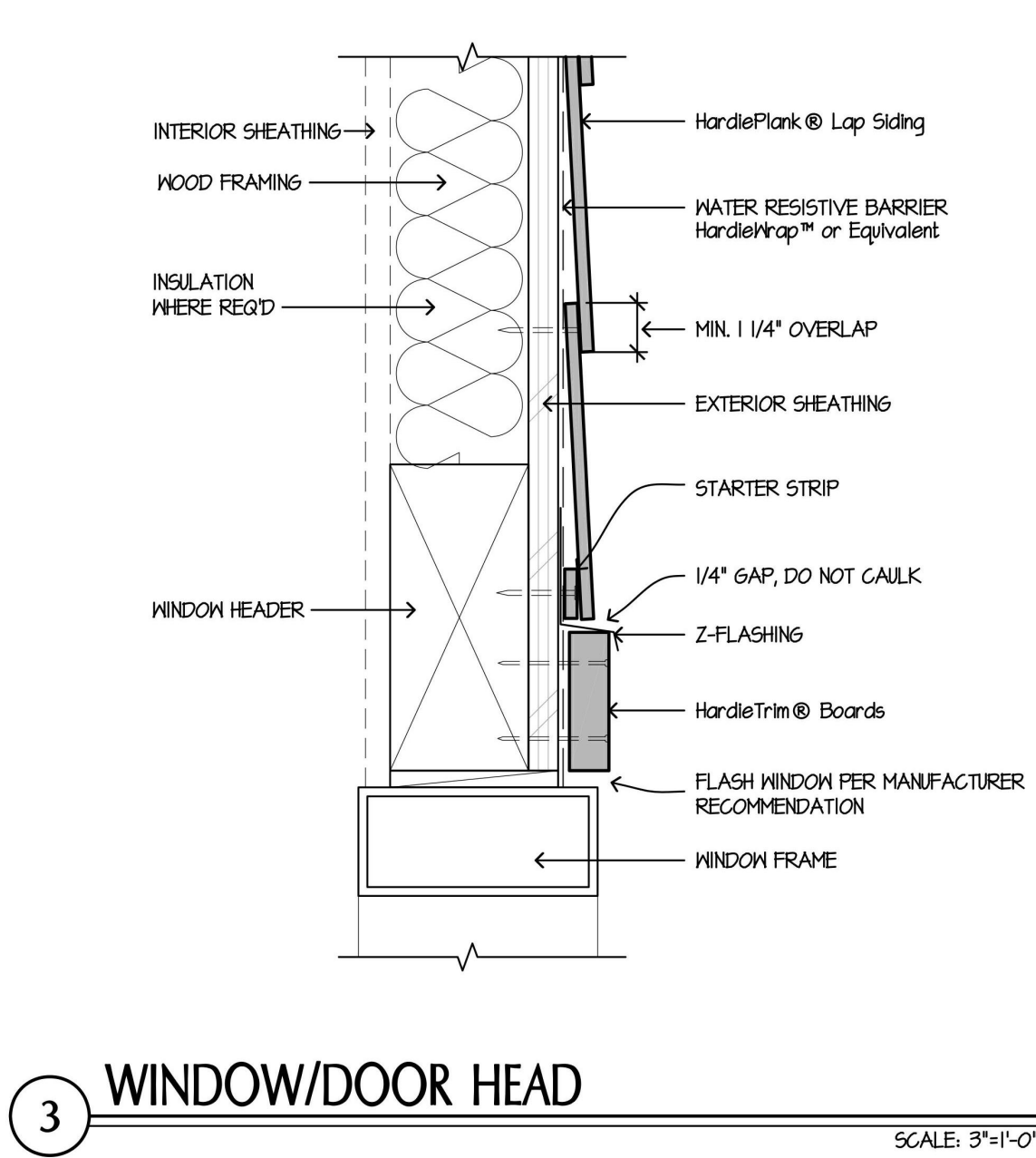
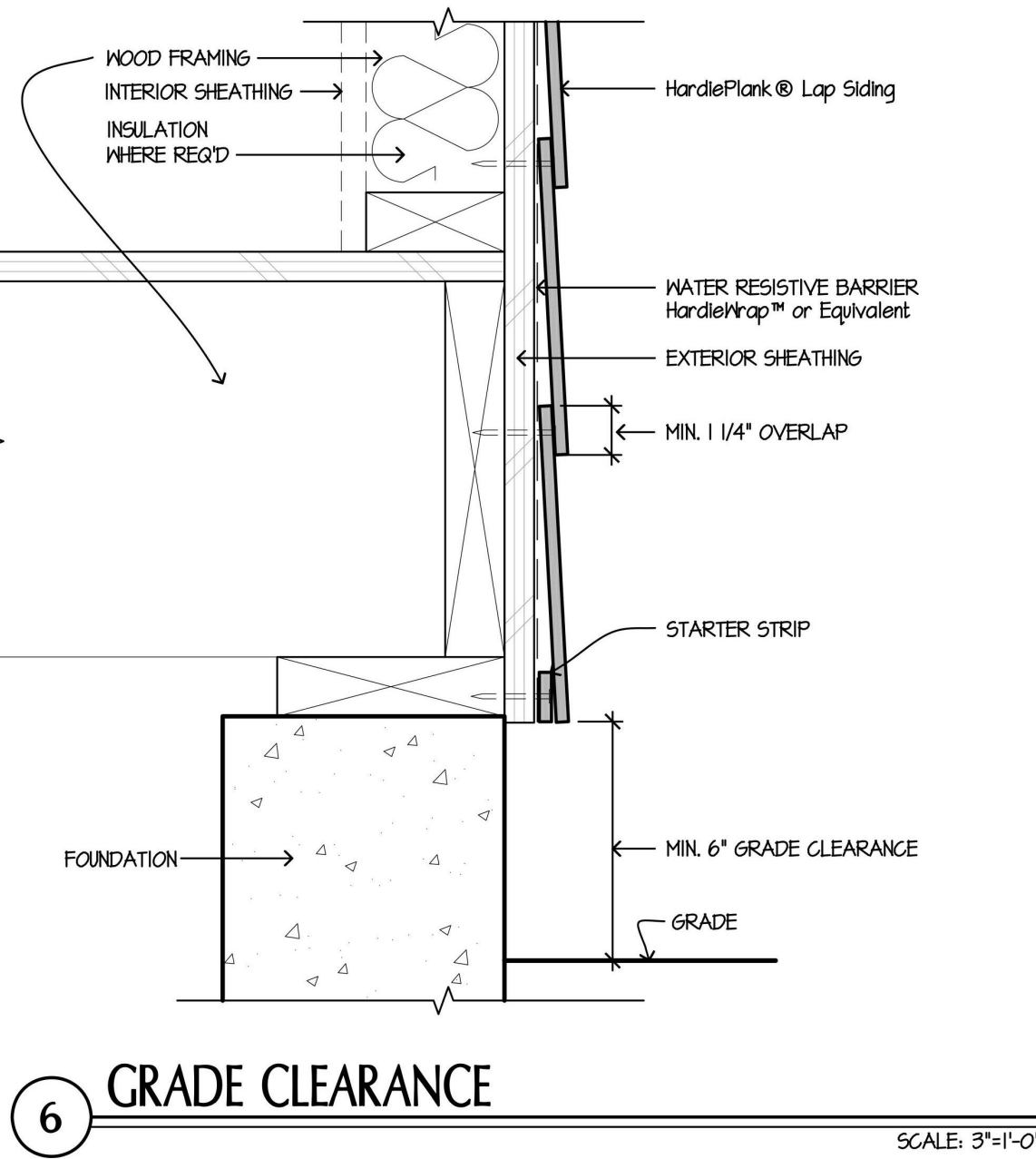
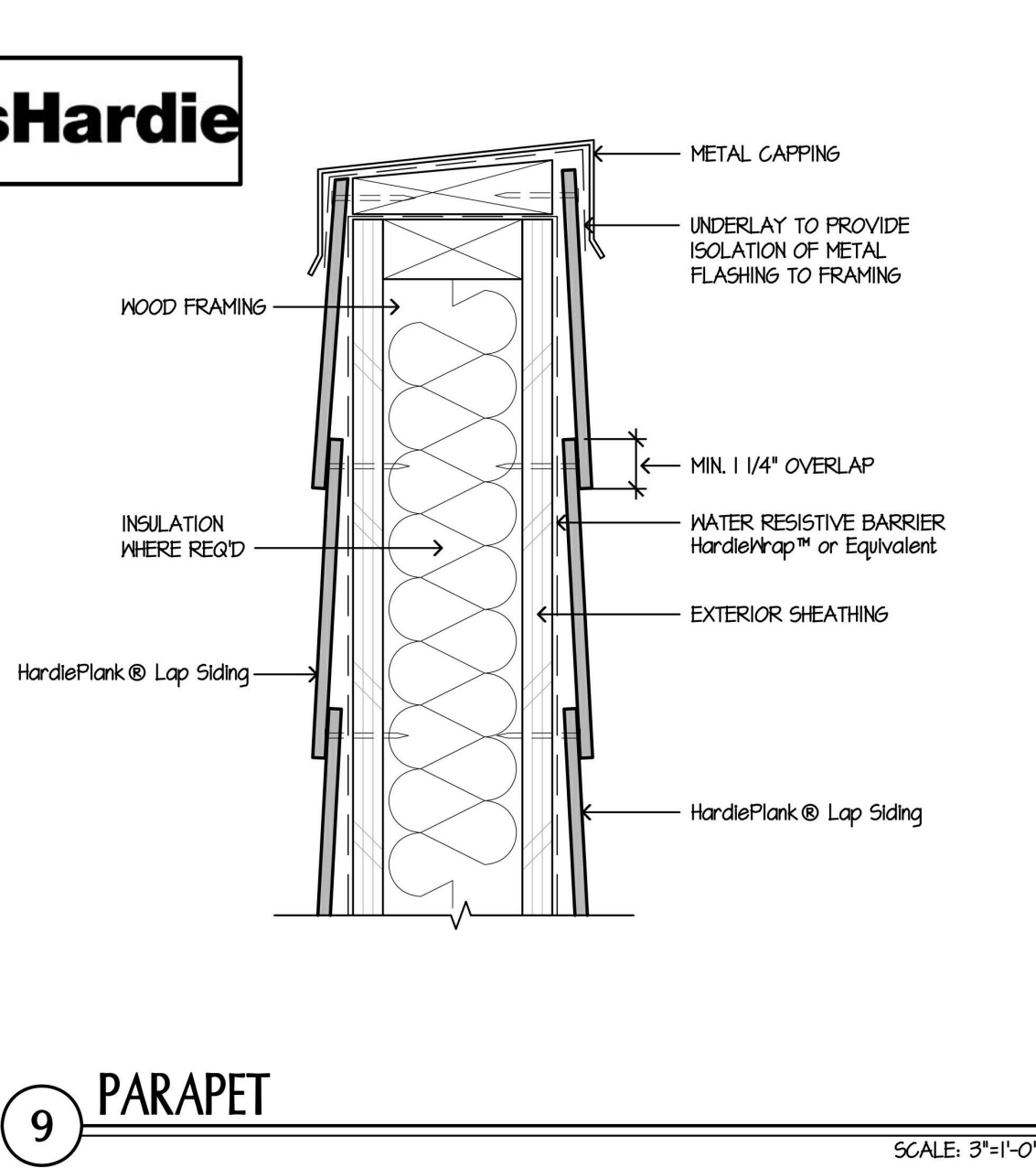


HardiePlank® Lap Siding Details

- Wood Framing
- OSB or Plywood Sheathing
- Shown with Siding Nails Blind Fastened into Framing



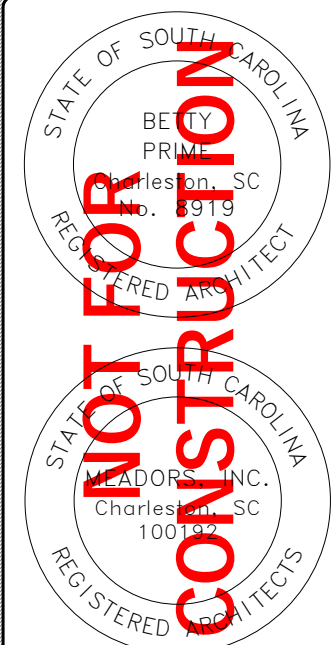
- NOTE:**
- BASIS OF DESIGN: HARDIE ARTISAN PLANK LAP SIDING, SMOOTH, 5/8" THICK, 6 1/4" BOARDS WITH 5" EXPOSURE AND 3 1/2" BORAL TRU EXTERIOR TRIM BOARDS SMOOTH 5/4 BOARDS.**
  - REFER TO JAMES HARDIE WEBSITE FOR FASTENER SPECIFICATIONS AND COMPLETE INSTALLATION INSTRUCTIONS AND GUIDELINES. REFER TO APPROPRIATE DOCUMENTATION AT [www.JamesHardie.com](http://www.JamesHardie.com). THE DETAILS ON SHEETS A705 ARE FOR REFERENCE ONLY.**
    - INSTALLATION TO ADHERE TO JAMES HARDIE WARRANTY REQUIREMENTS AND HZ10 BEST PRACTICES- INSTALLATION OF SIDING AND TRIM PRODUCTS.**
  - PAINT OR PRIME ALL FIELD CUT EDGES. SEE JAMES HARDIE GUIDELINES.**
  - CUT SIDES OF SIDING AND TRIM TO FACE INSIDE.**
  - HARDIE DETAILS BELOW ARE STANDARD. AIR BARRIER AND FLASHING SYSTEM BASIS OF DESIGN: STO GUARD AIR AND MOISTURE BARRIER. REFERENCE SHEET A702 FOR AIR & MOISTURE BARRIER AND FLASHING SYSTEM DETAILS.**



PRINTED ON: 12/11/2024 4:01:08 PM FILE LOCATION: C:\Users\Bry\Documents\Draws\Draws\Draws - WORKING\CD DRAWINGS - 12/11/24\JP-JamesHardie.com-A705

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"

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**SARAH RILEY HOOKS**  
**COTTAGE PROJECT**  
76 Bridge Street  
Bluffton, SC 29910

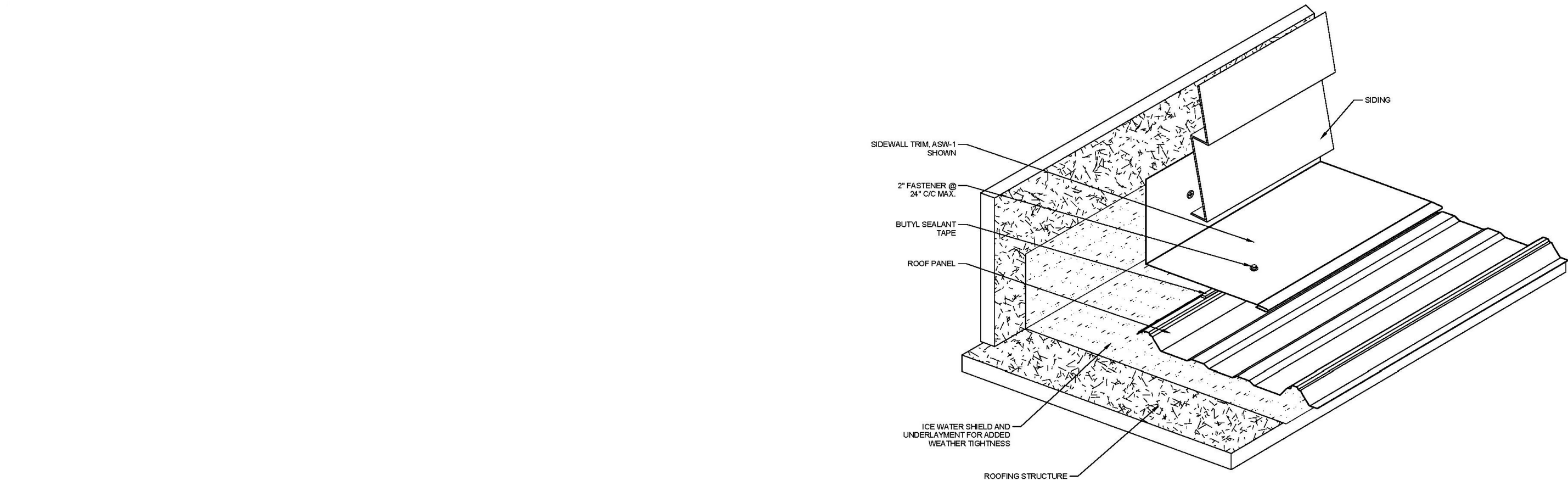
**PUBLIC PROJECT SUBMITTAL**  
PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS		
#	DATE	NOTES

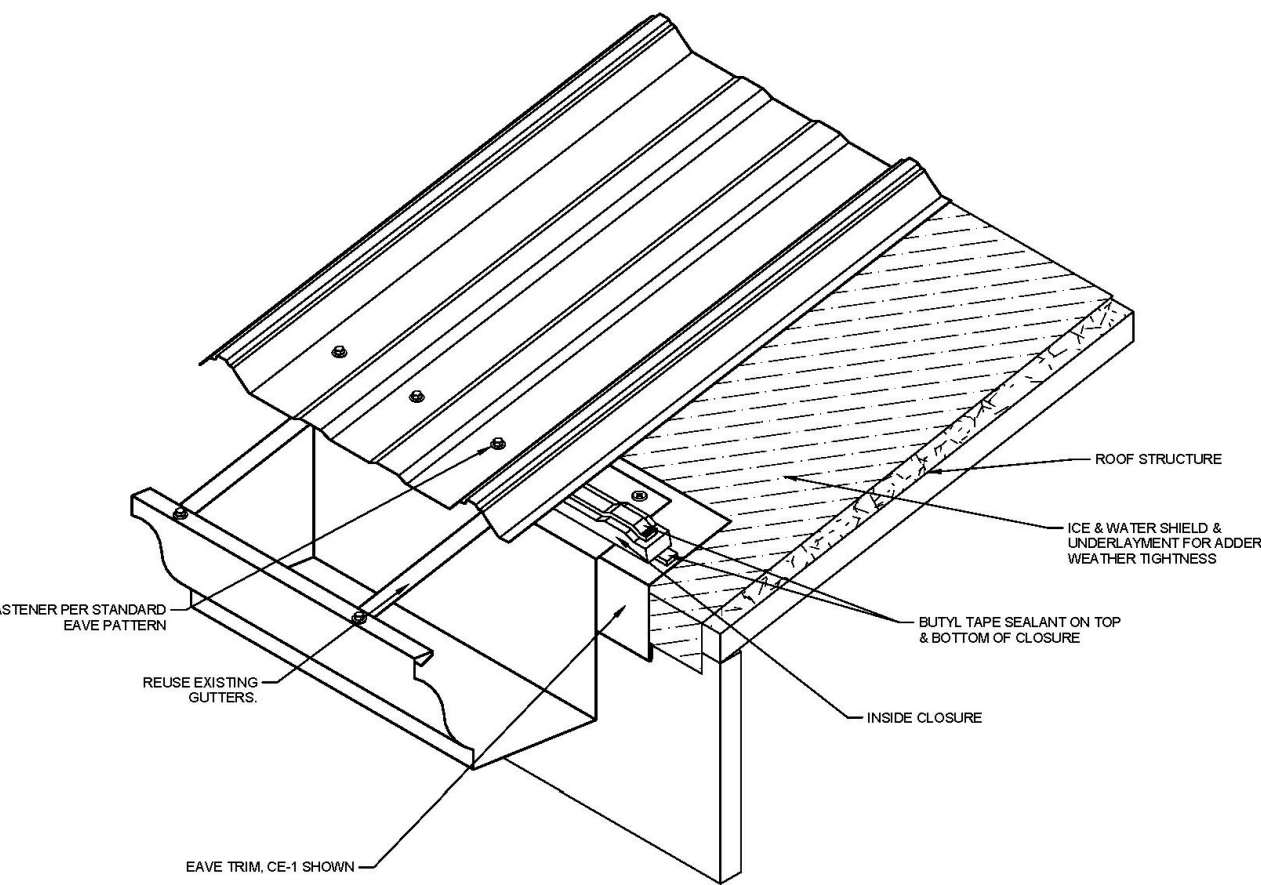
CEMENTITIOUS SIDING AND TRIM DETAILS  
**A704**



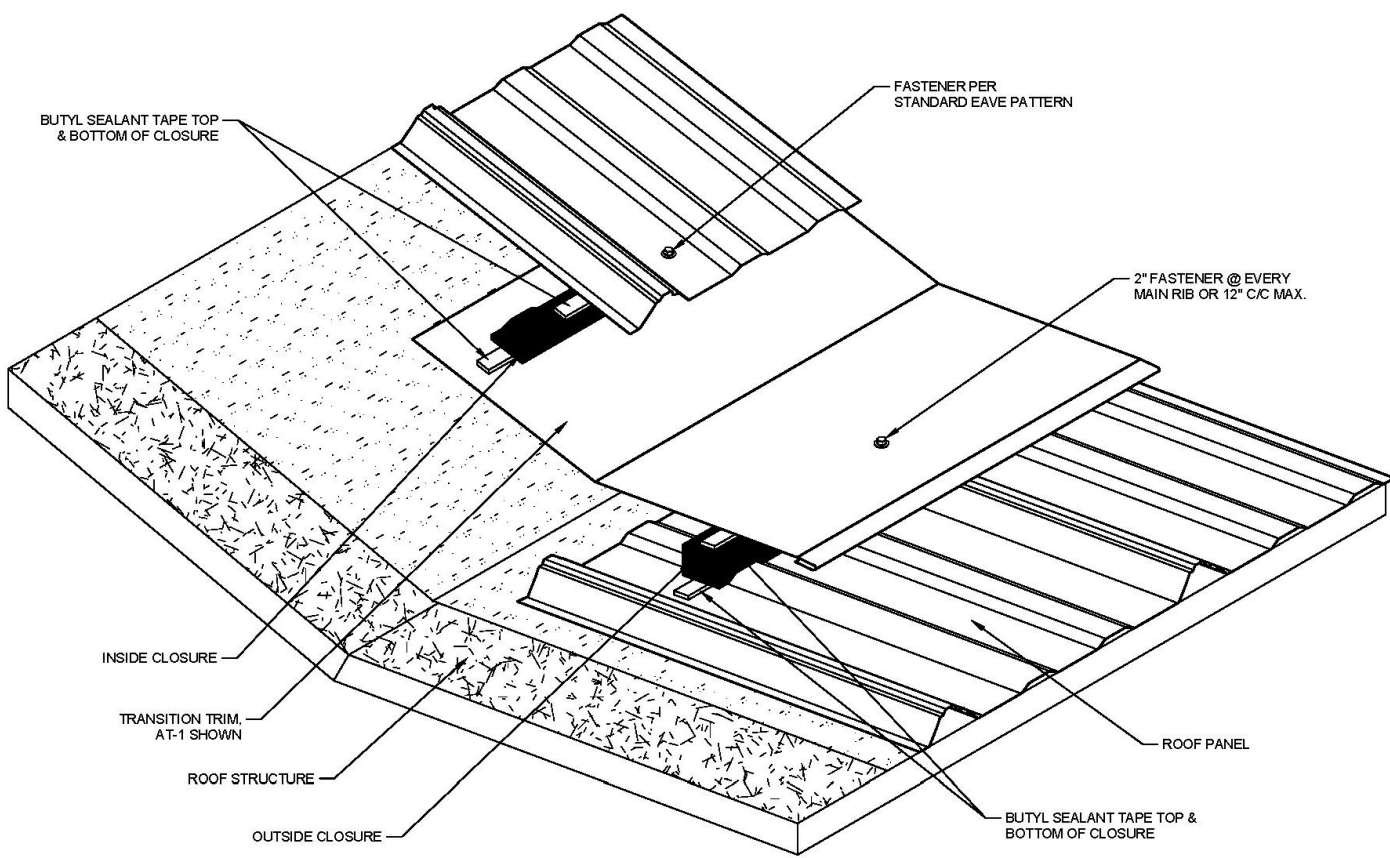
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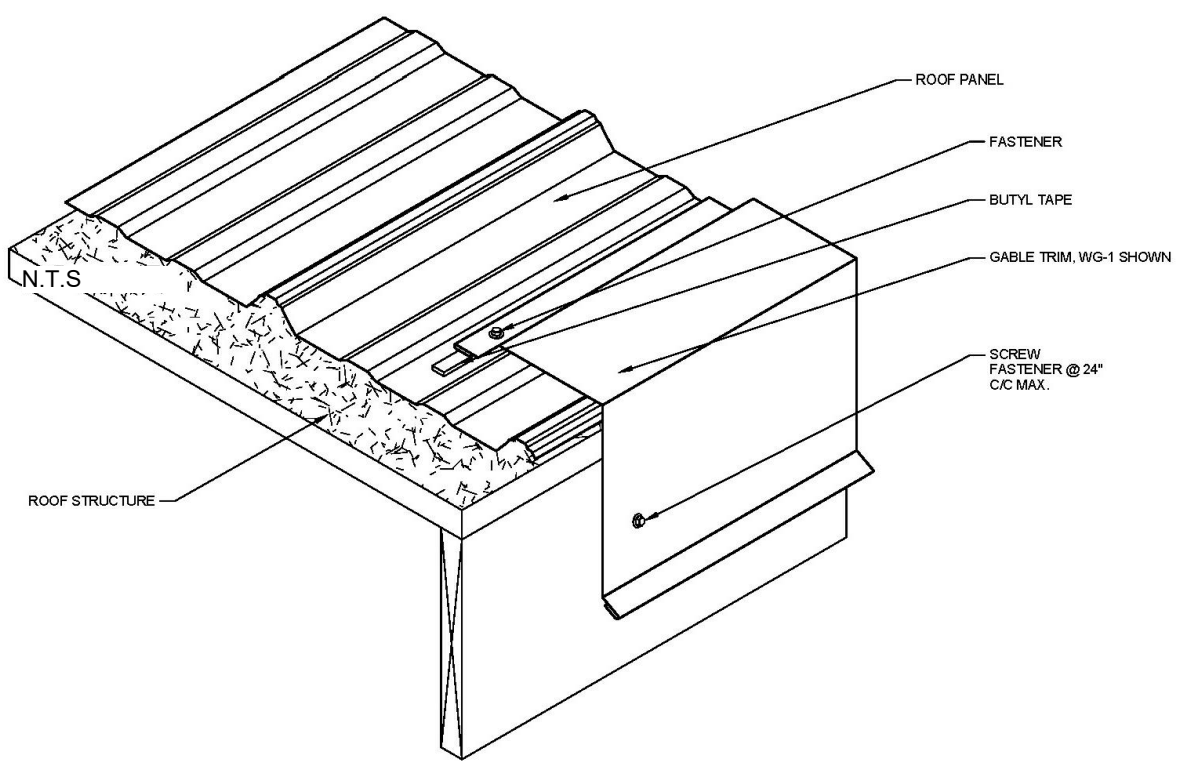
○ SIDEWALL  
N.T.S.



○ EAVE WITH GUTTER  
N.T.S.

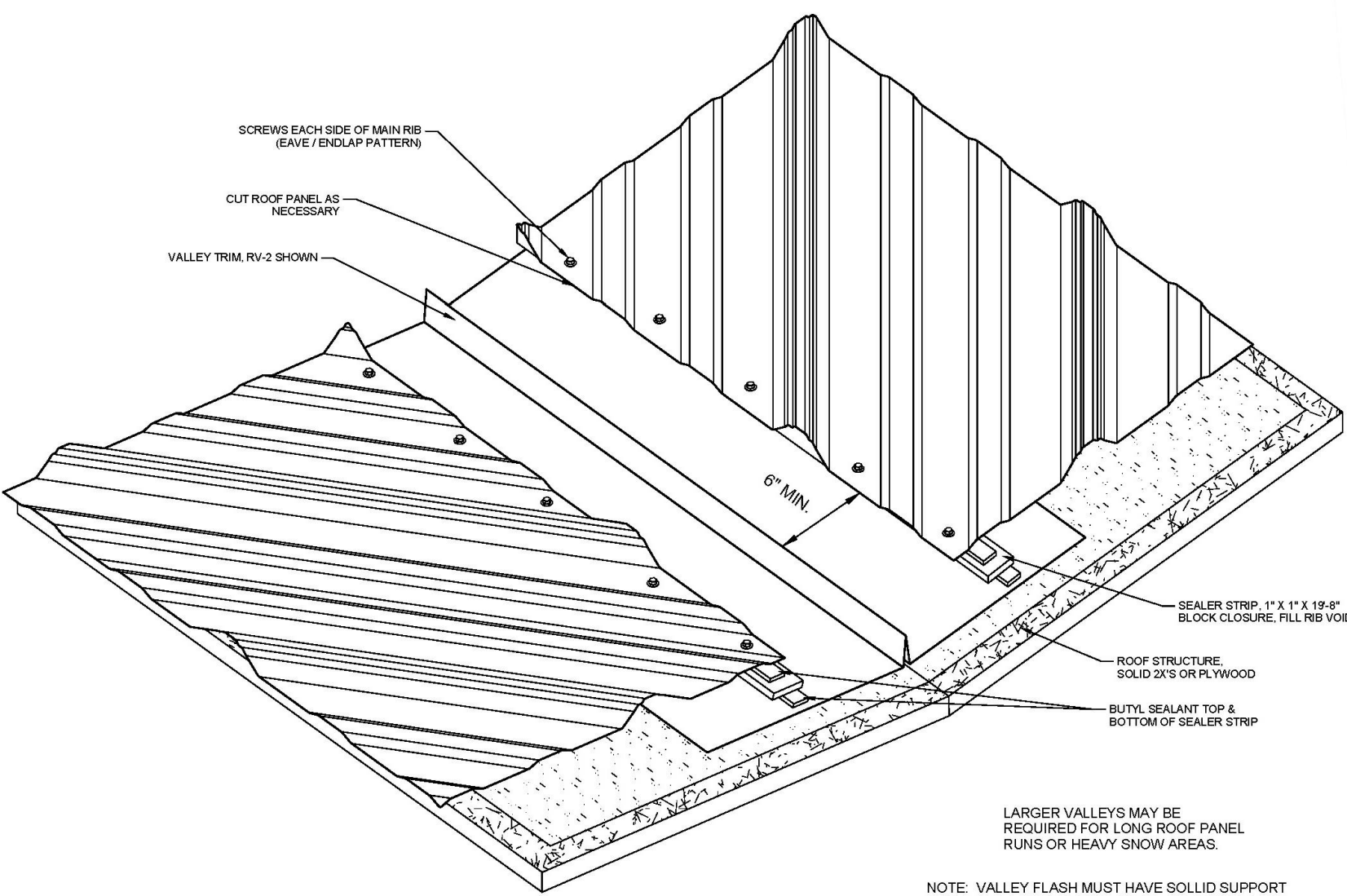


○ TRANSITION  
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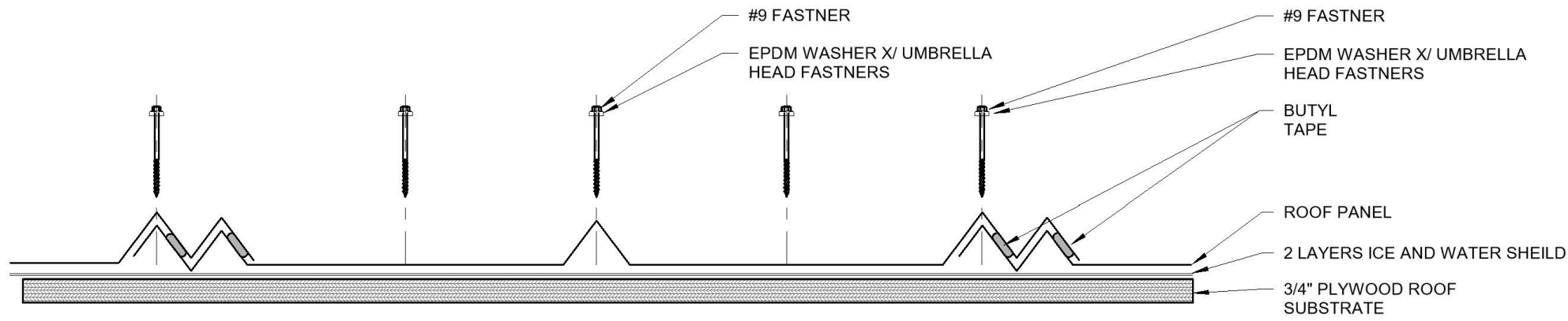


○ GABLE  
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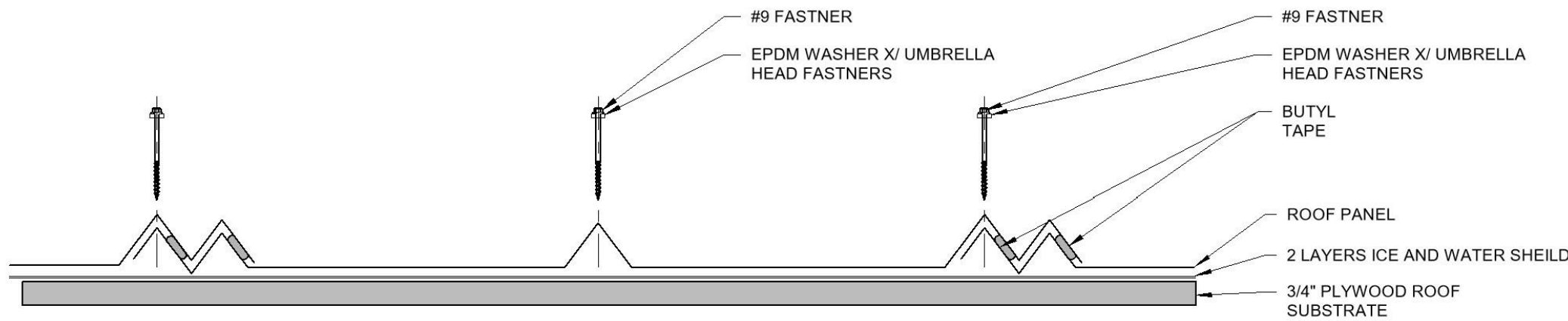
○ 5V METAL ROOF DETAILS  
1 1/2" = 1'-0"



○ VALLEY  
N.T.S.



○ HIGH WIND UPLIFT FASTENING PATTERN - ENDS OF PANEL  
3" = 1'-0"



○ HIGH WIND UPLIFT FASTENING PATTERN - FIELD OF PANEL  
3" = 1'-0"

- NOTE: INSTALLATION OF 5V ROOF**
1. FASTENER WITH WASHER WILL BE INSTALLED IN THE PEAK IN THE FIELD.
  2. FASTENER WITH WASHER ONLY ALLOWED TO BE INSTALLED IN THE PANEL VALLEY AT PANEL ENDS.
  3. DETAILS SHOWN ARE TYPICAL DETAILS PROVIDED BY MANUFACTURER AND DO NOT REPRESENT THE 5V PANEL SPECIFIED FOR THIS PROJECT.
  4. SEE DETAIL 12 AND 13 FOR 5V FASTNER PATTERN.

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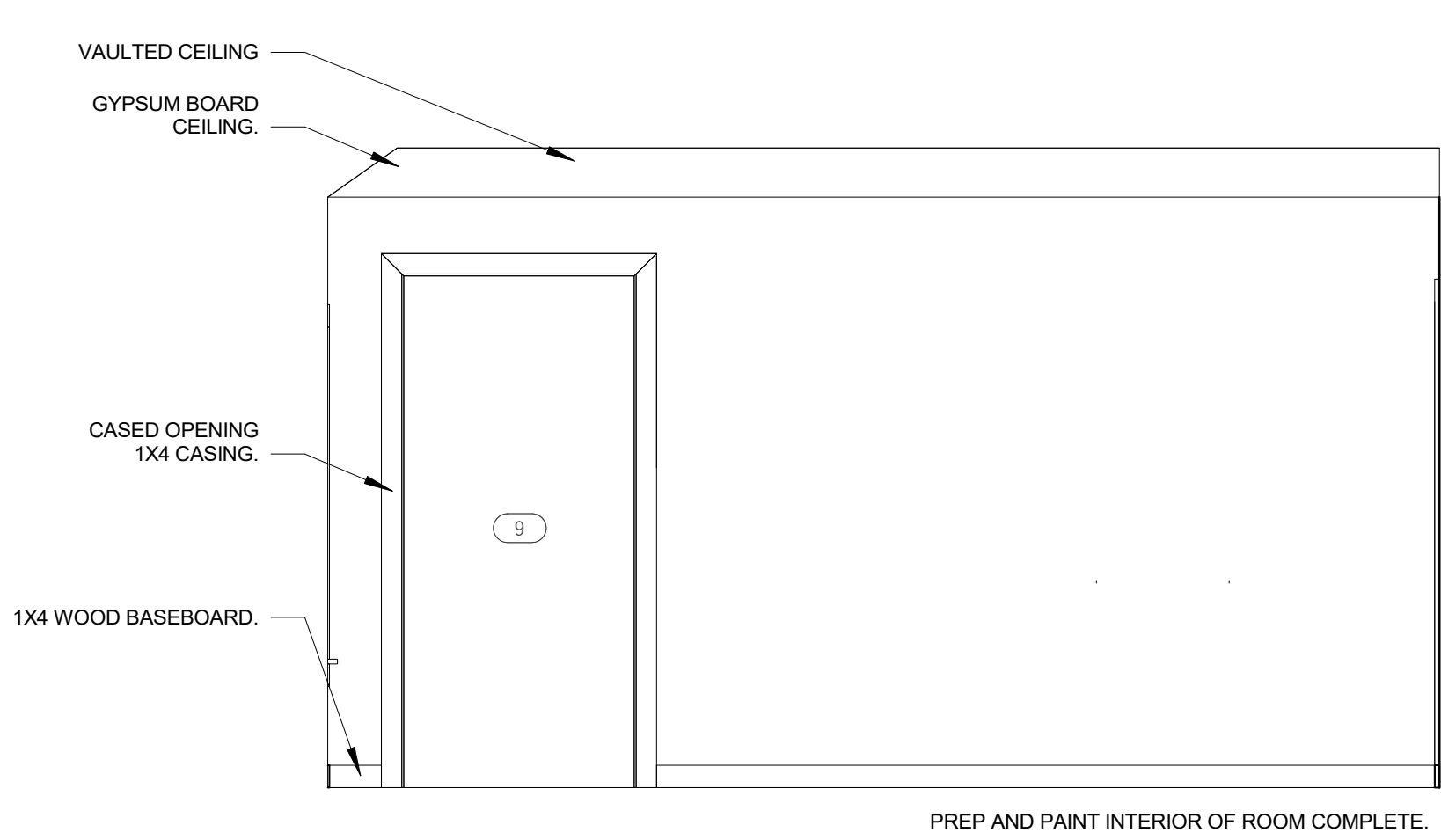
REVISIONS		
#	DATE	NOTES

TYP. METAL 5V  
ROOF DETAILS

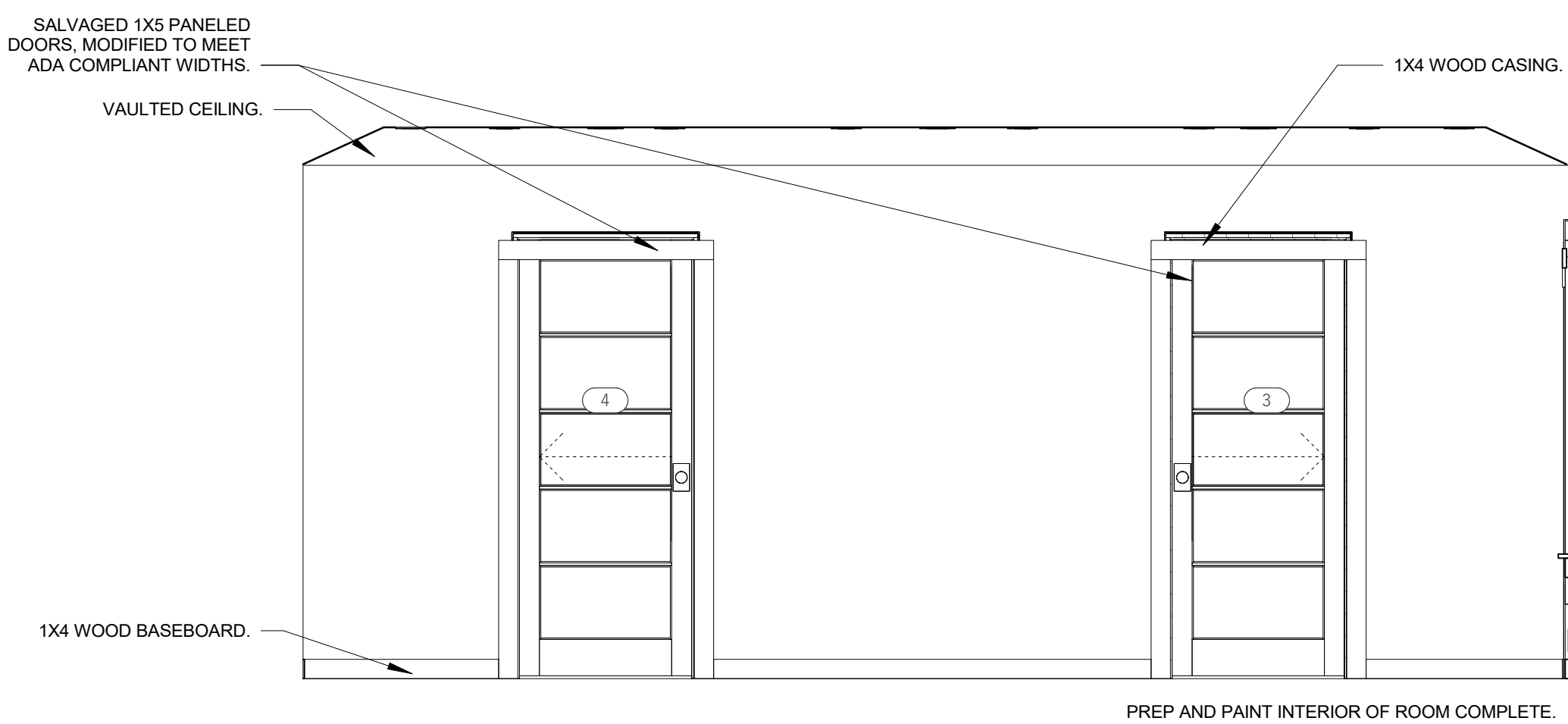
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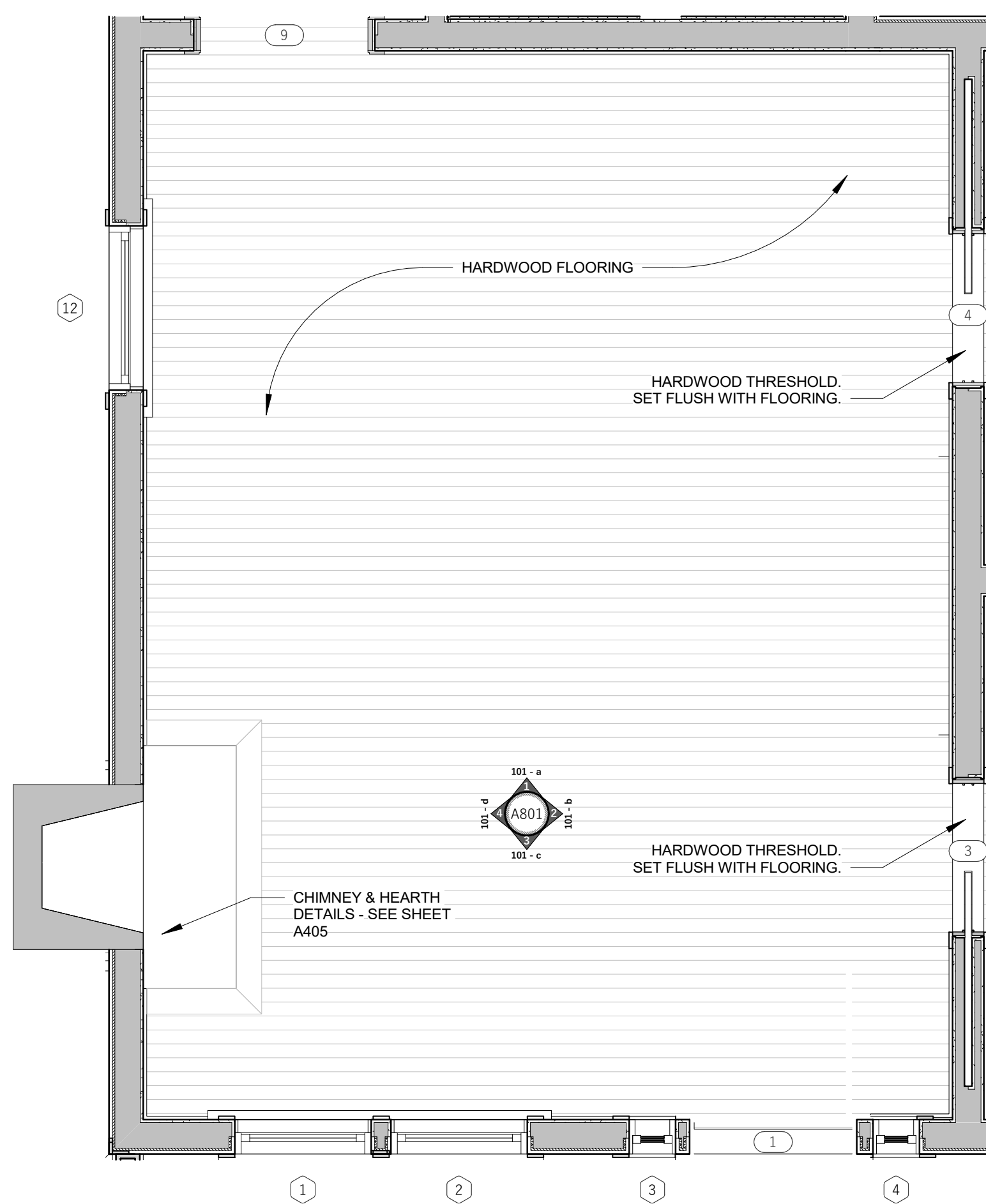
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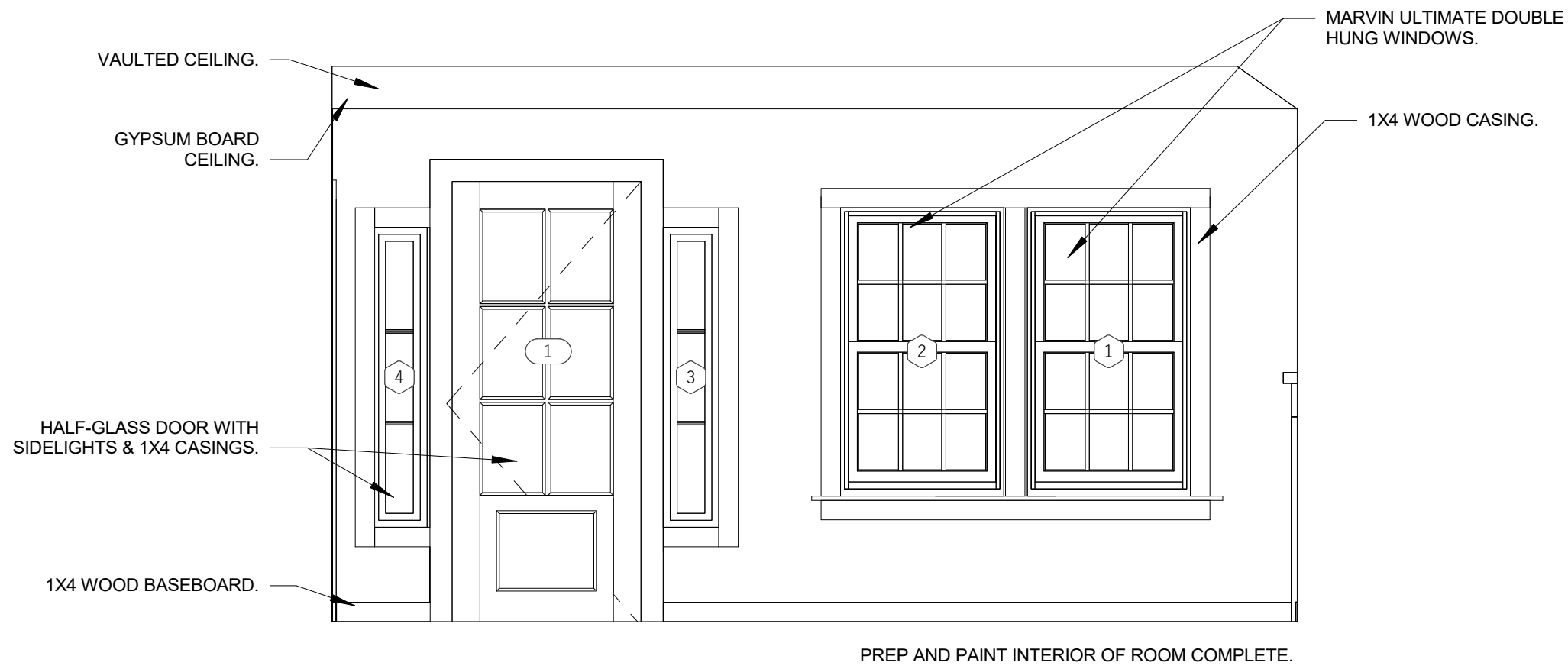
1 101 - a  
1/2" = 1'-0"



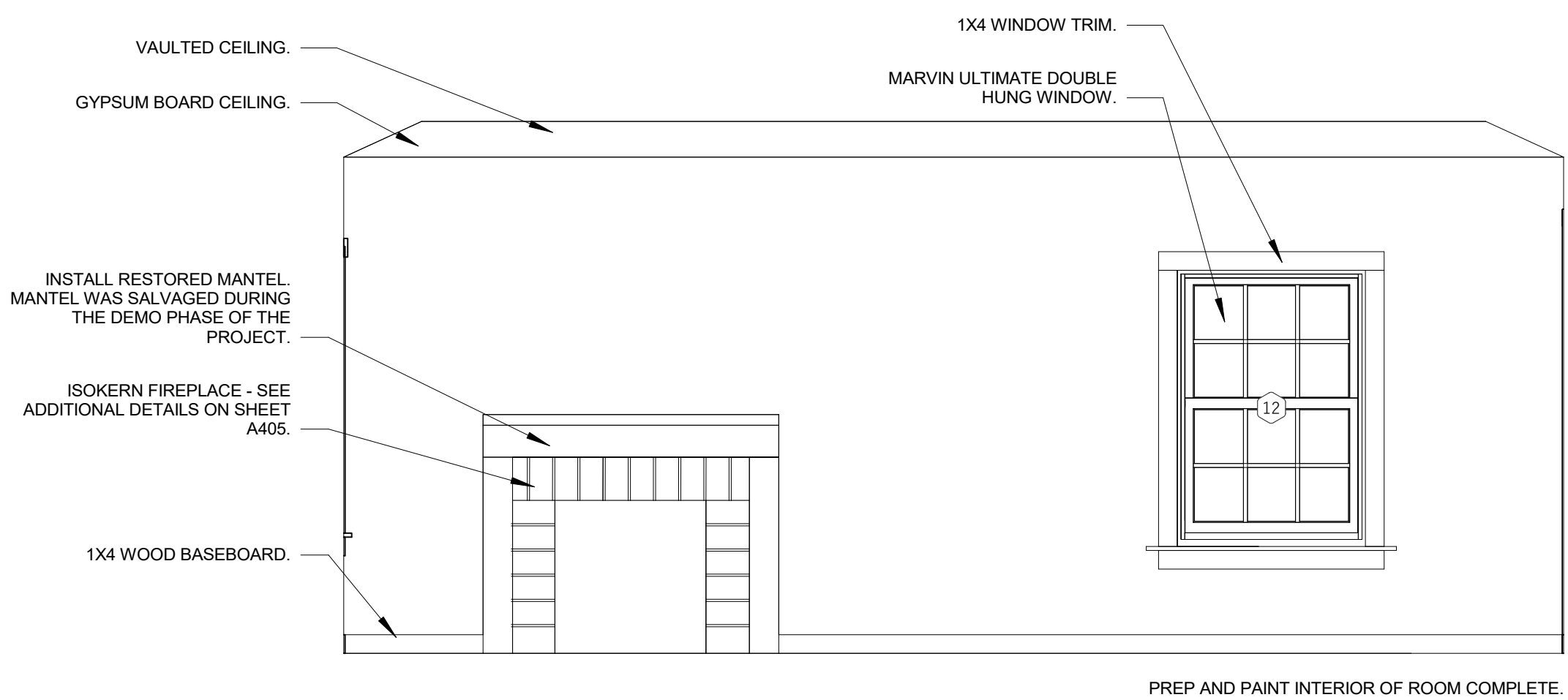
2 101 - b  
1/2" = 1'-0"



5 01 - 1ST FLR PLAN - GALLERY  
1/2" = 1'-0"



3 101 - c  
1/2" = 1'-0"



4 101 - d  
1/2" = 1'-0"

## GENERAL INTERIOR TRIM NOTES- APPLICABLE TO ALL ROOMS

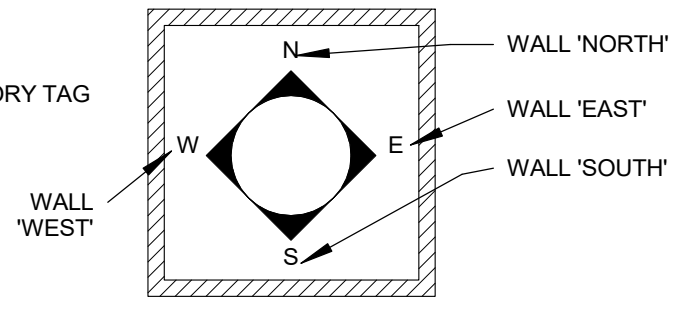
- CONTRACTOR TO ENSURE THAT ALL MILLWORK AND TRIM IS FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS.
- MILLWORK/TRIM SHALL BE LAMINATED AND FORMED, PRESHAPED, OR MACHINED TO THE DIMENSION/RADIUS AND FABRICATED IN THE LONGEST PRACTICAL LENGTHS TO MINIMIZE INSTALLER JOINTS.
- ALL MILLWORK AND TRIM SHALL BE MINIMUM CUSTOM GRADE AND CLEAR OF KNOTS, DEFECTS, AND BLEMISHES. UNLESS NOTED OTHERWISE, MILLWORK AND TRIM IS INTENDED FOR OPAQUE FINISH.
- MILLWORK SHALL BE PRIME COATED ALL SIDES PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE MILLWORK SHOULD BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
- UNLESS NOTED OTHERWISE, INTERIOR MILLWORK/TRIM SHALL BE MAPLE WOOD. LUMBER SHALL BE AT A MINIMUM PRIME COATED PRIOR TO REACHING THE JOBSITE. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
  - SPECIES AND GRADE:
    - MAPLE
  - PATTERN: OVERALL DIMENSIONS AND PATTERN AS SPECIFIED IN DRAWINGS.
- PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT INTERIOR SURFACES.
- REINFORCE TRIM AT MITER JOINTS USING POCKET HOLE JOINERY. DRILL POCKET HOLES ON THE INSIDE FACE OF EACH MITERED PIECE, NEAR THE EDGE, AND THEN SCREW THE PIECES TOGETHER WITH POCKET SCREWS. SCREWS ARE INTENDED TO BE HIDDEN WITHIN THE JOINT.
- DO NOT USE FINGER-JOINTED WOOD.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING STRUCTURAL MEMBERS, GROUNDS, IN WALL BLOCKING, BACKING, FURRING, BRACKETS, OR OTHER ANCHORAGE REQUIRED FOR ARCHITECTURAL WOODWORK INSTALLATION THAT BECOMES AN INTEGRAL PART OF WALLS, FLOORS, OR CEILINGS TO WHICH ARCHITECTURAL WOODWORK, SUCH AS APPLIED SURFACING, STANDING AND RUNNING TRIM, WALL MOUNTED SHELF STANDARDS AND DOOR/WINDOW FRAMES SHALL BE INSTALLED.
- WALL, CEILING, AND/OR OPENING VARIATIONS IN EXCESS OF 1/4" OR FLOORS IN EXCESS OF 1/2" IN 144" OF BEING PLUMB, LEVEL, FLAT, STRAIGHT, SQUARE, OR OF THE CORRECT SIZE ARE NOT ACCEPTABLE FOR THE INSTALLATION OF ARCHITECTURAL WOODWORK, NOR IS IT THE RESPONSIBILITY OF THE INSTALLER TO SCRIBE OR FIT TO TOLERANCES IN EXCESS OF SUCH.
- CONTRACTOR SHALL VERIFY THAT INSTALLATION SITE IS PROPERLY VENTILATED, PROTECTED FROM DIRECT SUNLIGHT, EXCESSIVE HEAT AND/OR MOISTURE, AND THAT THE HVAC SYSTEM IS FUNCTIONING AND MAINTAINING THE APPROPRIATE RELATIVE HUMIDITY AND TEMPERATURE.
- CONTRACTOR SHALL VERIFY THAT THE REQUIRED PRIMING OF WOODWORK HAS BEEN COMPLETED BEFORE WOODWORK IS INSTALLED.
- CONTRACTOR SHALL VERIFY THAT THE WOODWORK HAS BEEN ACCLIMATED TO THE FIELD CONDITIONS FOR A MINIMUM OF 72 HOURS BEFORE INSTALLATION IS COMMENCED.
- WOODWORK SPECIFICALLY BUILT OR ASSEMBLED IN SEQUENCE FOR MATCH OF COLOR AND GRAIN SHALL BE INSTALLED TO MAINTAIN THAT SAME SEQUENCE.
- WOODWORK SHALL BE SECURELY FASTENED AND TIGHTLY FITTED WITH FLUSH JOINTS, AND; JOINERY SHALL BE CONSISTENT THROUGHOUT THE PROJECT; OF MAXIMUM AVAILABLE AND/OR PRACTICAL LENGTHS; TRIMMED EQUALLY FROM BOTH SIDES WHEN FITTED FOR WIDTH; SPLINED OR DOWELED WHEN MITERS ARE OVER 4' LONG; PROFILED OR SELF MITERED WHEN TRIM ENDS ARE EXPOSED; MITERED AT OUTSIDE CORNERS; MITERED FOR S4S AT INSIDE CORNERS; PROFILED TRIM COPEL AT INSIDE CORNERS; INSTALLED PLUMB, LEVEL, SQUARE, AND FLAT WITHIN 1/8" IN 96"; INSTALLED FREE OF WARP, TWISTING, CUPPING, AND/OR BOWING THAT CANNOT BE HELD TRUE; SMOOTH AND SANDED WITHOUT CROSS SCRATCHES; AND SCRIBED AT FLAT AND SHAPED SURFACES.
- FASTENING AND FASTENERS SHALL: INCLUDE THE USE OF CONSTRUCTION ADHESIVE, FINISH NAILS, TRIM SCREWS, PINS AND/OR STAPLES, EXCEPT STAPLES WITH A CROWN EXCEEDING 3/16" ARE NOT PERMITTED; NOT PERMIT THE USE OF DRYWALL OR BUGLE HEAD SCREWS; REQUIRE EXPOSED FASTENERS TO BE COUNTERSUNK; REQUIRE EXPOSED FASTENERS TO BE SET IN QUIRKS AND RELIEFS WHERE POSSIBLE; REQUIRE EXPOSED FASTENERS TO BE INCONSPICUOUS WHEN VIEWED AT 24"; NOT PERMIT EXPOSED FASTENING THROUGH DECORATIVE LAMINATE; REQUIRE ALLOWABLE FASTENER HOLES, WHEN: PREFINISHED MATERIALS TO BE FILLED BY THE INSTALLER WITH MATCHING FILLER BY THE MANUFACTURER, UNFINISHED MATERIALS TO BE FILLED BY THE PAINT CONTRACTOR OR OTHERS. FILLER TO BE USED FOR HOLES UP TO 1/4" IN DIAMETER; PLUGS TO BE USED FOR ANY HOLES LARGER THAN 1/4" IN DIAMETER.
  - ANY FASTENERS USED AT PRESSURE TREATED MATERIALS MUST BE STAINLESS STEEL OR HOT DIPPED GALVANIZED
  - WOOD FILLER / PATCHING COMPOUND: TWO-PART, EPOXY RESIN PATCHING SYSTEM; KNIFE-GRADE FORMULATION AS RECOMMENDED BY THE MANUFACTURER FOR TYPE OF WOOD REPAIR INDICATED; TOOLING TIME REQUIRED FOR THE DETAIL OF WORK, AND SITE CONDITIONS. COMPOUND SHALL BE DESIGNED FOR FILLING VOIDS IN DAMAGED WOOD MATERIALS THAT HAVE DETERIORATED DUE TO WEATHERING AND DECAY. COMPOUND SHALL BE CAPABLE OF FILLING DEEP HOLES AND SPREADING TO FEATHER EDGE.
  - PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
    - WEST SYSTEMS INC. WEST SYSTEM
    - AN APPROVED EQUAL
  - USE A BISPHENOL A BASED LOW VISCOSITY LIQUID EPOXY RESIN WITH APPROPRIATE HARDENER THAT CURES TO A HIGH STRENGTH PLASTIC SOLID UNDER ROOM TEMPERATURES.
  - EPOXY TO HARDENER RATIO SHALL NOT EXCEED 5:1.
  - PRODUCT SHALL BE SPECIFICALLY DESIGNED TO BOND WITH HISTORIC WOOD FIBER AND MUST BE ABLE TO BE SANDED AND SHAPED WHEN CURED.
- GLUE AND FILLER RESIDUE IS NOT PERMITTED ON EXPOSED FACES.
- EQUIPMENT CUTOUTS, INCLUDING ELECTRICAL AND PLUMBING, SHALL BE CUT OUT BY THE INSTALLER, PROVIDED TEMPLATES ARE FURNISHED PRIOR TO INSTALLATION, AND SHALL BE NEATLY CUT AND PROPERLY SIZED TO BE COVERED BY STANDARD COVER PLATES OR ROSETTES AND CUTOUTS IN HPDL SHALL HAVE RADIUS INSIDE CORNERS.
- HARDWARE SHALL BE: INSTALLED NEATLY WITHOUT TEAR OUT OF SURROUNDING STOCK; INSTALLED PER MANUFACTURER'S INSTRUCTIONS; INSTALLED USING FURNISHED FASTENERS AND FASTENERS' PROVISIONS; AND ADJUSTED FOR SMOOTH OPERATION, WITHIN LIMITS OF THE SPECIFIED HARDWARE.
- AREAS OF INSTALLATION SHALL BE LEFT BROOM CLEAN. DEBRIS SHALL BE REMOVED AND DUMPED IN CONTAINERS PROVIDED BY THE CONTRACTOR. ITEMS INSTALLED SHALL BE CLEANED OF PENCIL OR INK MARKS.
- FIRST CLASS WORKMANSHIP IS REQUIRED IN COMPLIANCE WITH THESE STANDARDS.
- COMPLIANCE TOLERANCES FOR MILLWORK AND TRIM SHALL BE IN COMPLIANCE WITH AMERICAN WOODWORKERS INSTITUTE (AWI).

### LEGEND

1 WALL TYPE, SEE LEGEND ON SHEET A002

XX TOILET ACCESSORY TAG

WALL ELEVATION DESIGNATIONS:

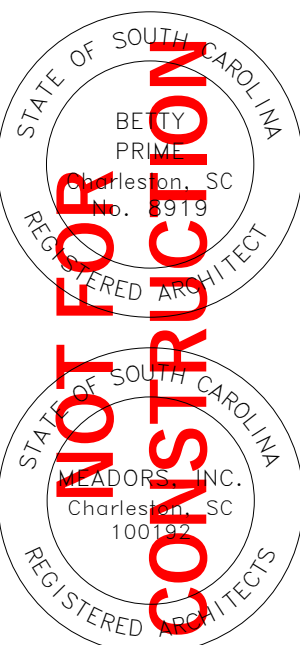


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SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

### REVISIONS

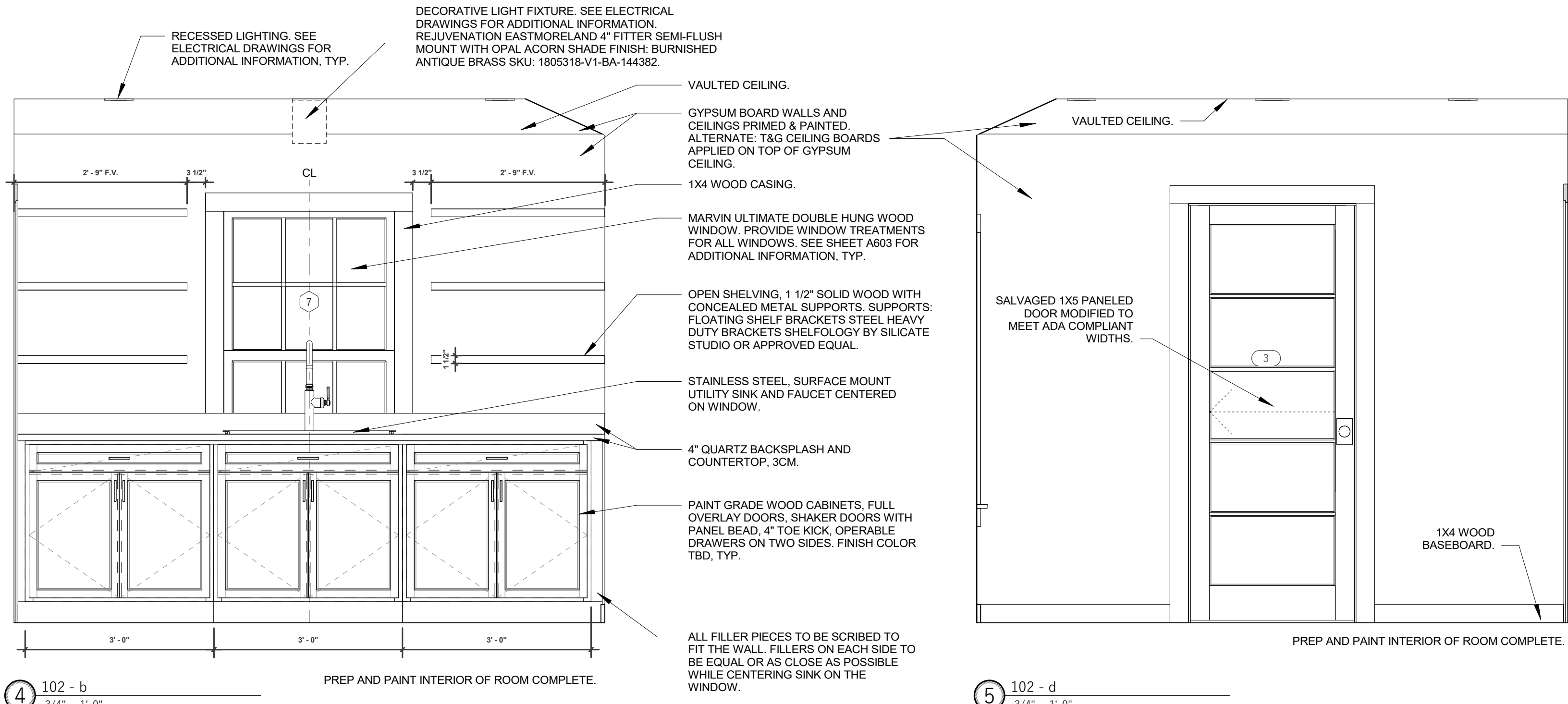
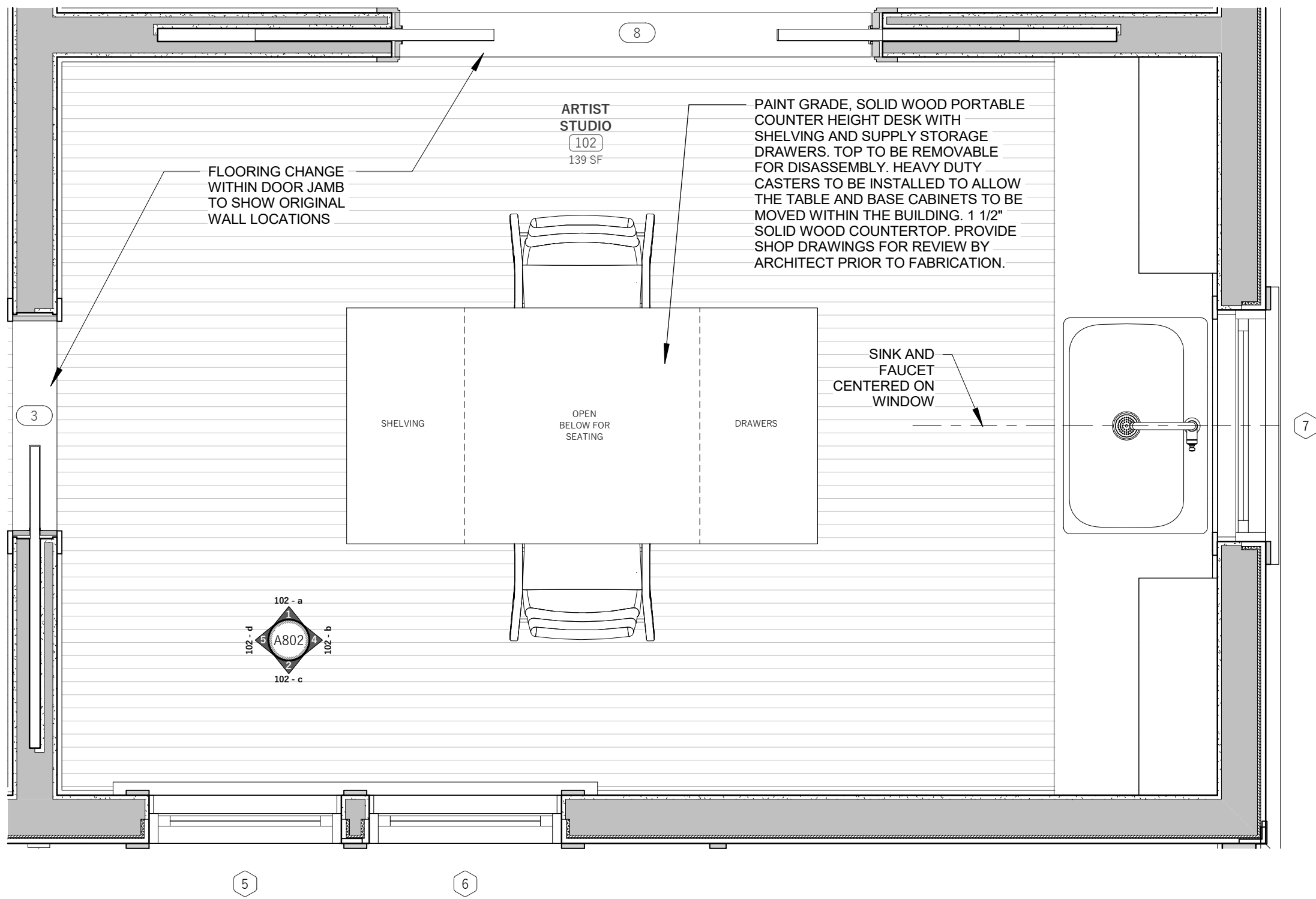
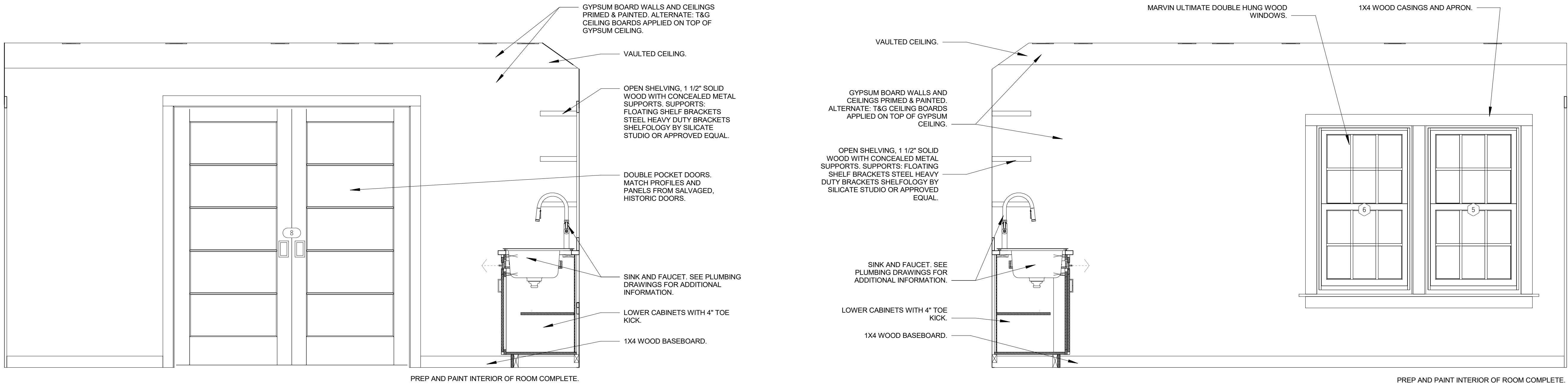
# DATE NOTES

INTERIOR  
ELEVATIONS -  
GALLERY

A801

SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"





#### GENERAL ARTIST STUDIO NOTES

1. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE.
2. PLAN DIMENSIONS ARE TO FACE OF FRAMING EXCEPT FOR EXISTING WALLS WHERE DIMENSIONS ARE TO FACE OF FINISH.
3. REFER TO FLOOR PLANS & ELEVATIONS FOR OTHER INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
4. SEE SHEET A900 FOR FINISH SCHEDULE.
5. PROVIDE BLOCKING AS REQUIRED TO INSTALL CABINETS, SHELVING, FINISHES, AND ACCESSORIES. ALL ACCESSORIES TO HAVE BLOCKING AT POINTS OF ATTACHMENT.
6. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
7. CABINET DOORS TO BE A SHAKER WITH BEAD.

#### NEW CONSTRUCTION NOTES

- 1 RESTORE SALVAGED DOORS. MODIFY AS REQUIRED TO MEET ADA DIMENSIONAL REQUIREMENTS. INSTALL NEW WINDOWS. REFER TO WINDOW AND DOOR SCHEDULES.
- 2 NEW PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE EQUIPMENT FIXTURES. SEE ENGINEERING DRAWINGS.
- 3 NEW CABINETS AND COUNTERTOPS. SEE ENLARGED ARTIST STUDIO PLANS AND ELEVATIONS. PROVIDE FRAMING AND BLOCKING AS REQUIRED. MODIFY TRIM UNDER WINDOW STOOL TO FIT STONE BACKSPLASH HEIGHT.
- 4 PAINT INTERIOR COMPLETE.
- 5 INSTALL NEW WOOD FLOOR. MATCH ORIGINAL BOARD THICKNESS AND MATERIAL. SATIN FINISH. STAIN COLOR TBD BY OWNER AND ARCHITECT.
- 6 INSTALL NEW TRIM. MATCH PROFILE OF ORIGINAL TRIM.
- 7 INSTALL NEW ACCESSORIES AS SPECIFIED IN DRAWINGS AND SPECIFICATIONS.

#### KITCHEN DECORATIVE LIGHT SELECTIONS

\* REFERENCE ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
CLT	CEILING LIGHT	REJUVENATION	EASTMORELAND 1805318-V1-BA-144382	4" SEMI-FLUSH CEILING LIGHT WITH OPAL ACORN SHADE, FINISH: ANTIQUE BRASS	1

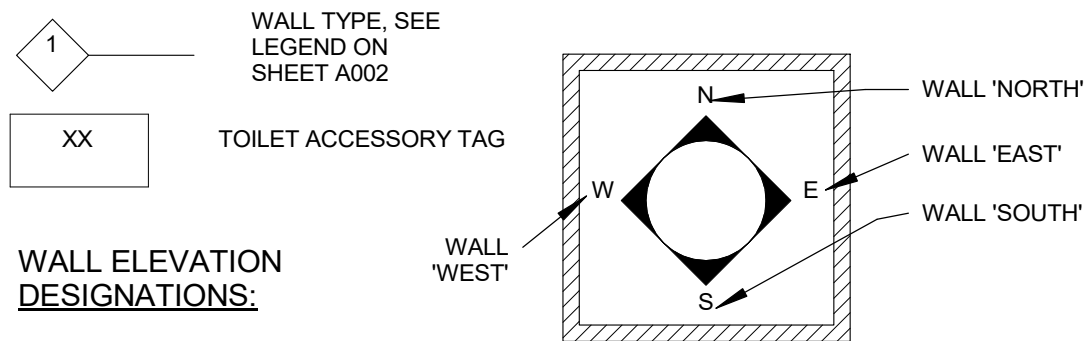
#### KITCHEN HARDWARE SELECTIONS

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
CP	CABINET PULL	REJUVENATION	#6076722	6" KENNEDY DRAWER PULL, FINISH: TBD	9

#### KITCHEN COUNTERTOPS

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
CT	COUNTERTOP	MSI SURFACES	QSL-SHAGRY-3CM	COLOR: SHADOW GRAY, 3 CM	1

#### LEGEND



#### PUBLIC PROJECT SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

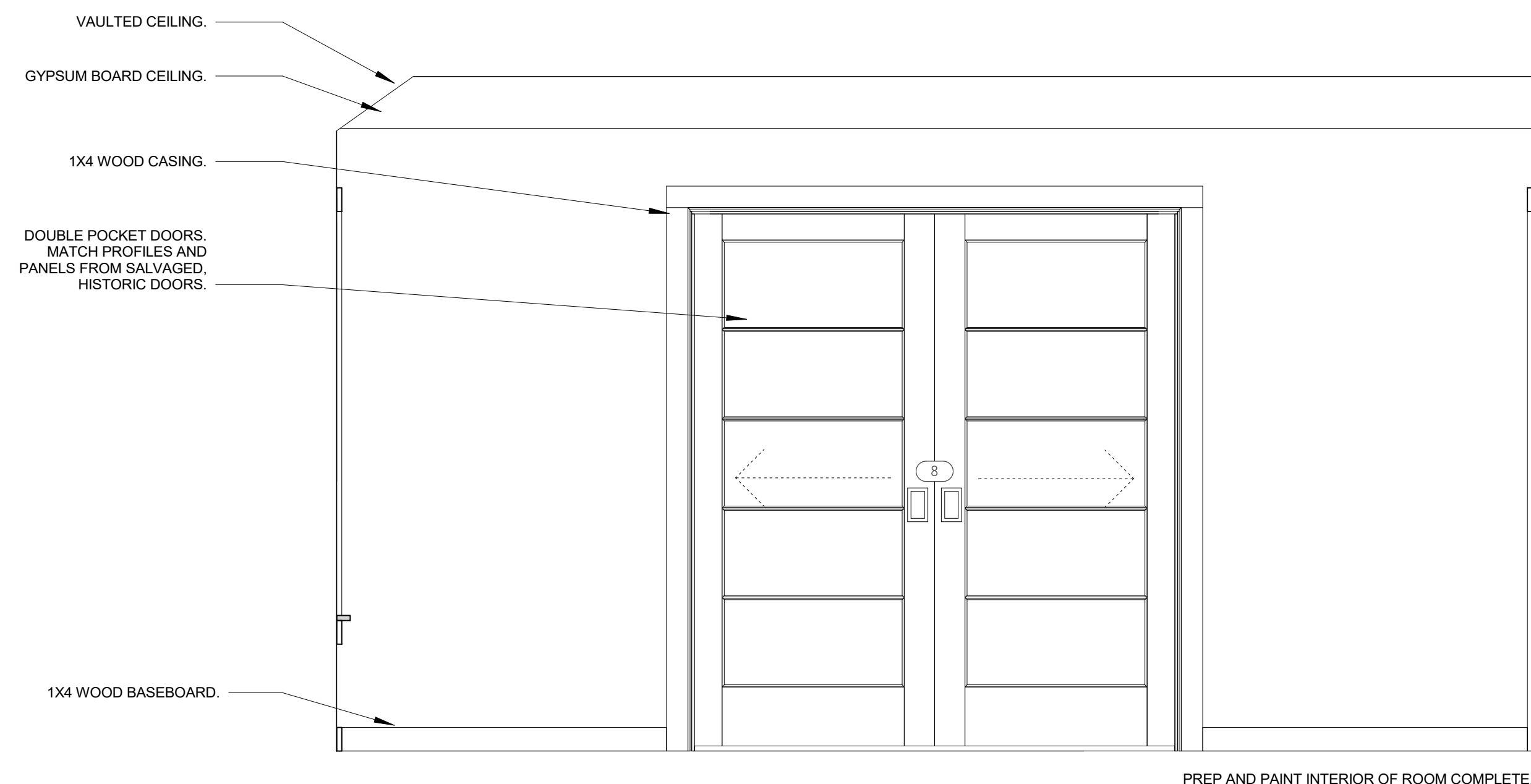
#### REVISIONS

#	DATE	NOTES
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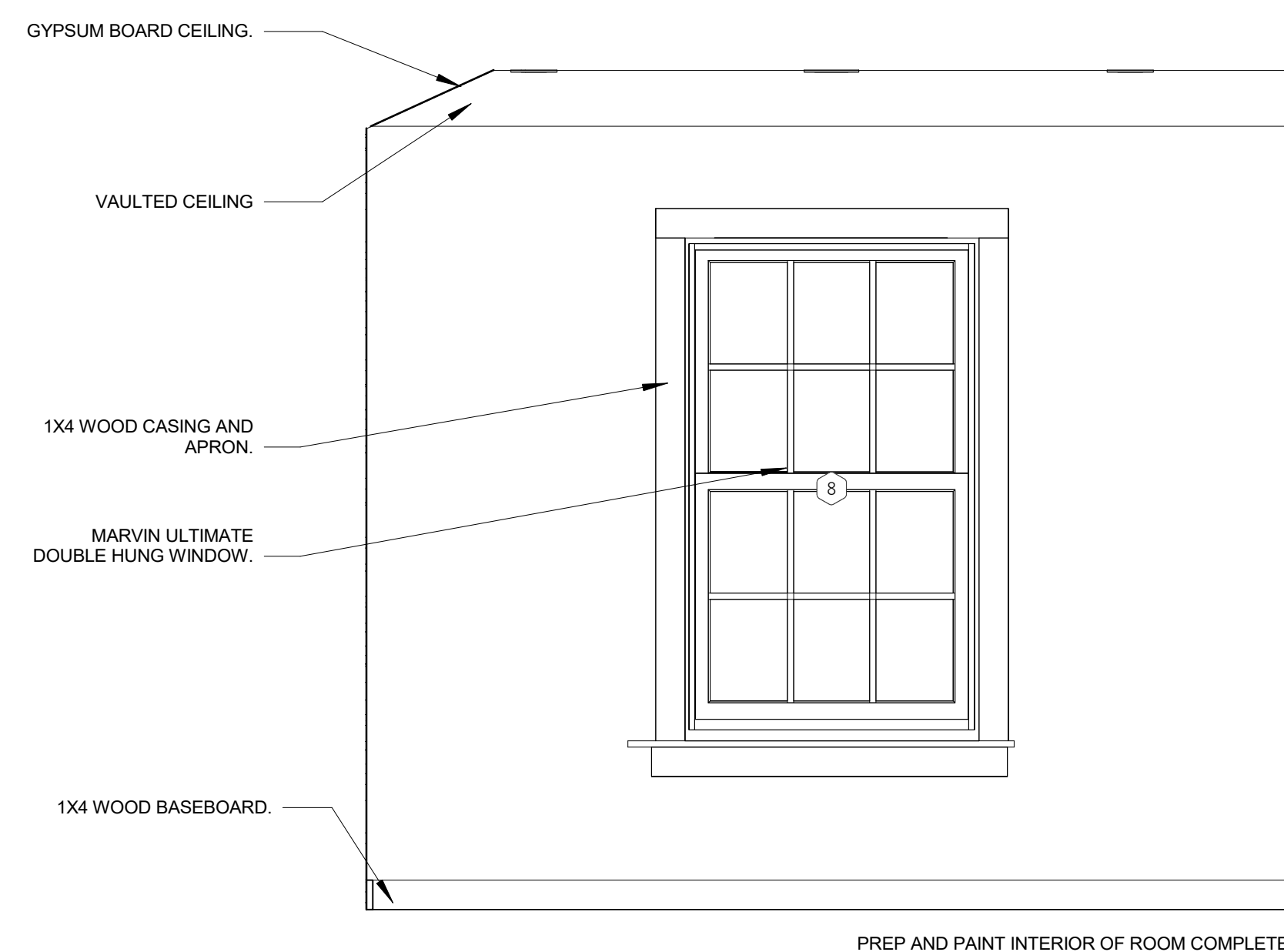
#### INTERIOR ELEVATIONS - ARTIST STUDIO

A802

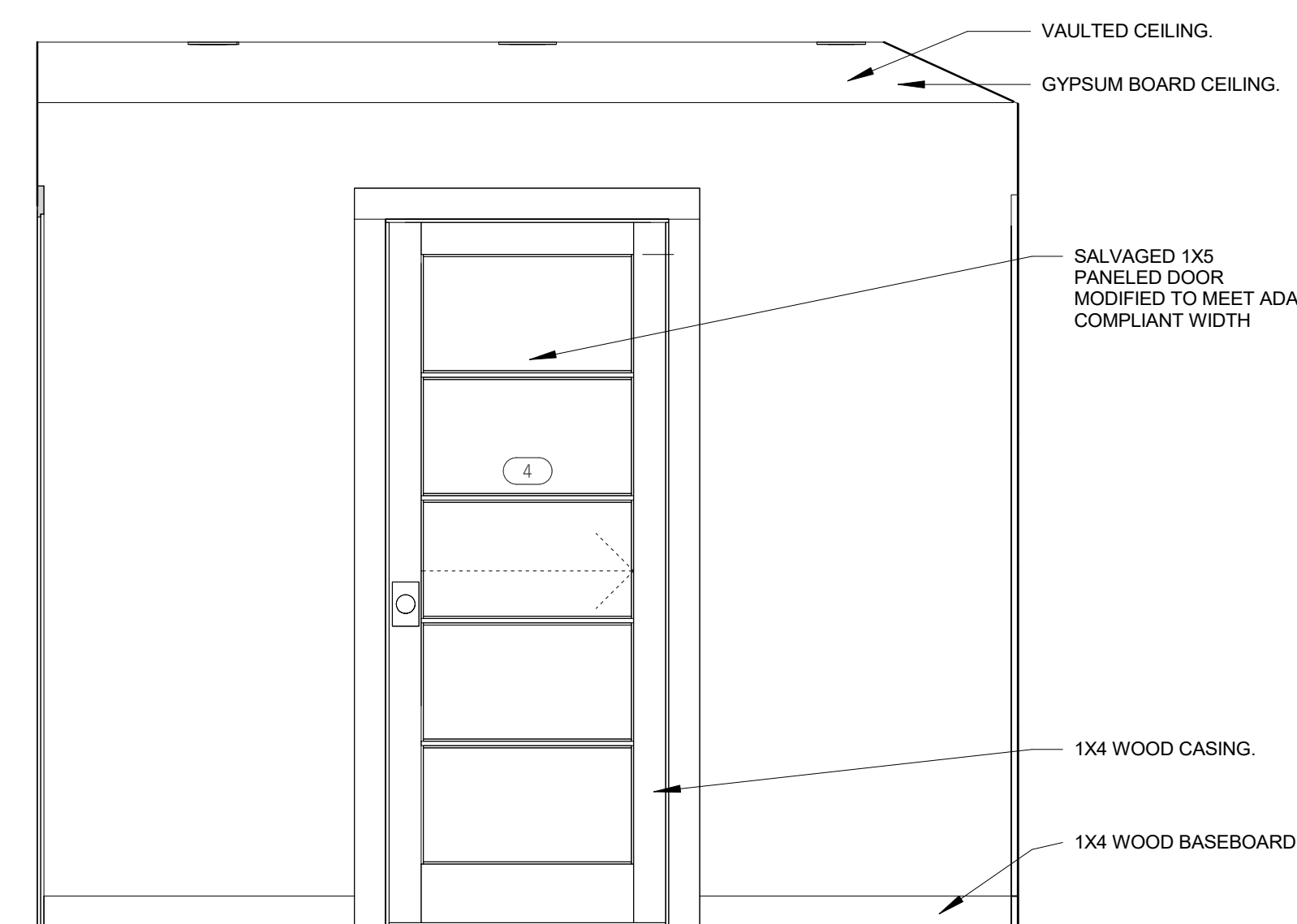




②  $\frac{103 - c}{3/4''} = 1'-0''$



PREP AND PAINT INTERIOR OF ROOM COMPLETE



PREP AND PAINT INTERIOR OF ROOM COMPLETE

③ 01 - 1ST FLR PLAN - GALLERY/FLEX SPACE  
3/4" = 1'-0"

- 1 RESTORE SALVAGED DOORS. MODIFY AS REQUIRED TO MEET ADA DIMENSIONAL REQUIREMENTS. INSTALL NEW WINDOWS. REFER TO WINDOW AND DOOR SCHEDULES.
- 2 NEW PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE EQUIPMENT FIXTURES. SEE ENGINEERING DRAWINGS.
- 3 PAINT INTERIOR COMPLETE.
- 4 INSTALL NEW WOOD FLOOR. MATCH ORIGINAL BOARD THICKNESS AND MATERIAL. SATIN FINISH. STAIN COLOR TBD BY OWNER AND ARCHITECT.
- 5 INSTALL NEW TRIM. MATCH PROFILE OF ORIGINAL TRIM.
- 6 INSTALL NEW ACCESSORIES AS SPECIFIED IN DRAWINGS AND SPECIFICATIONS.

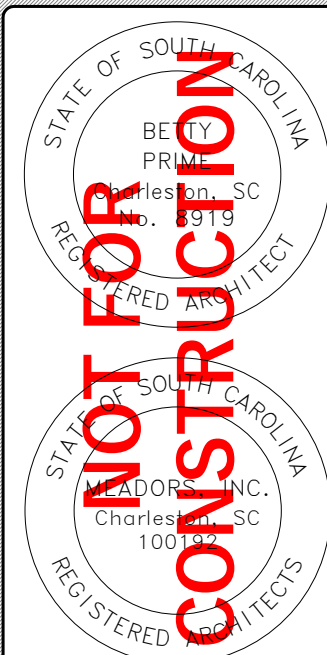
**MEADORS**



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Interiors • Construction • Design Services • Cabinetry & Millwork • Conservation & Preservation Planning • Estate Management



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COTTAGE PROJECT

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-014  
ISSUE DATE: 12/11/202

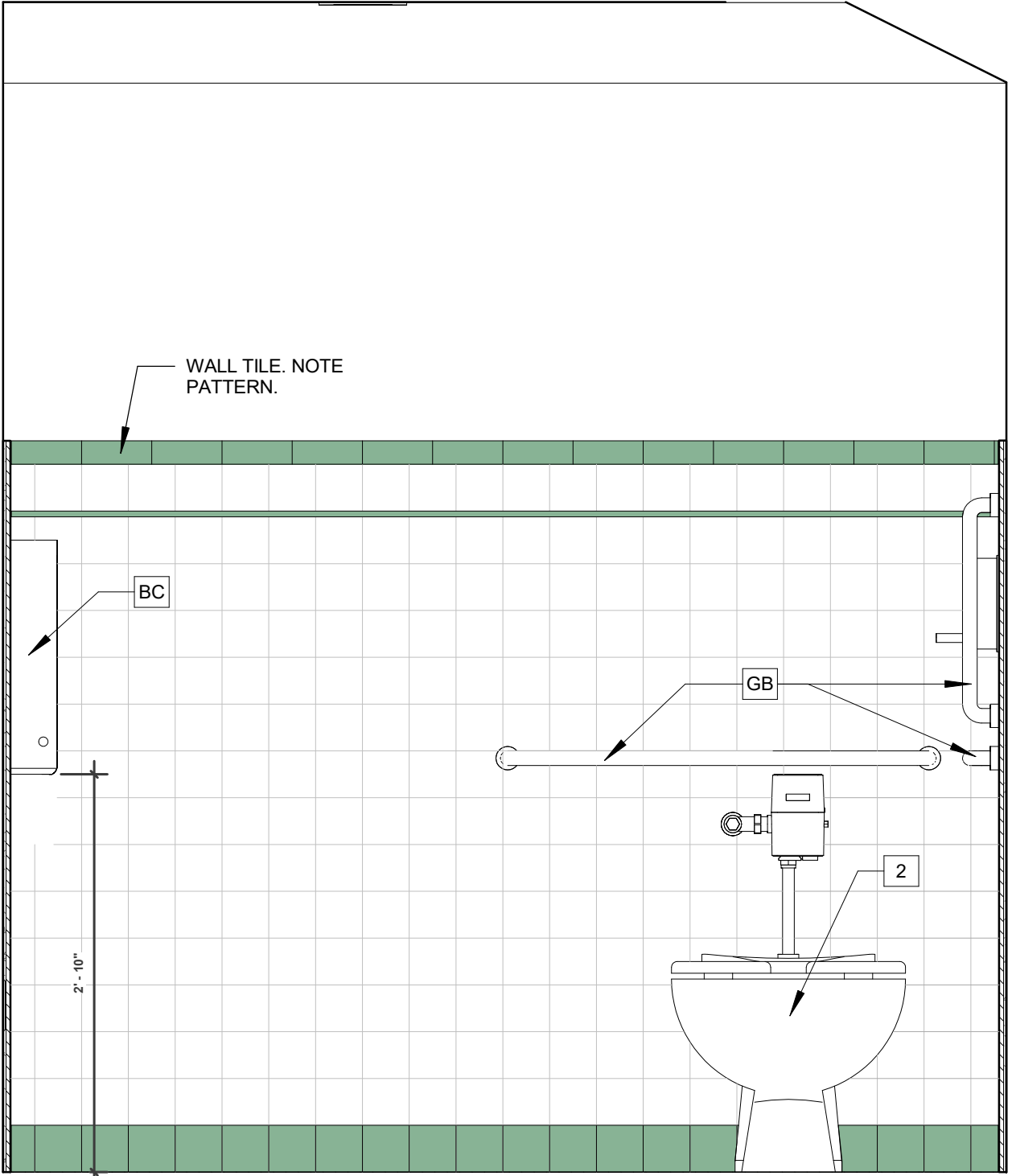
## REVISIONS

#	DATE	NOTE
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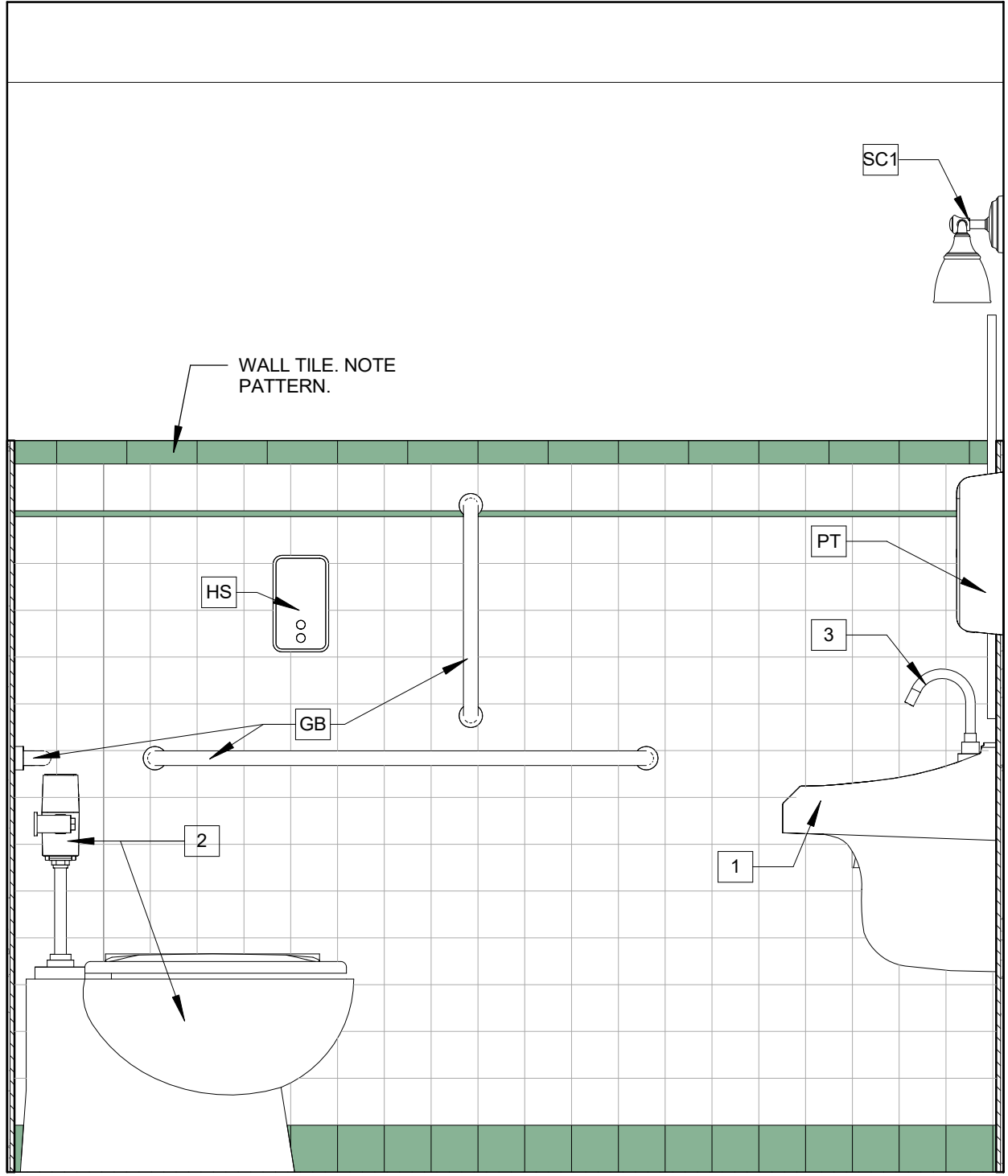
INTERIOR  
ELEVATIONS -  
GALLERY/FLEX  
SPACE  
A803



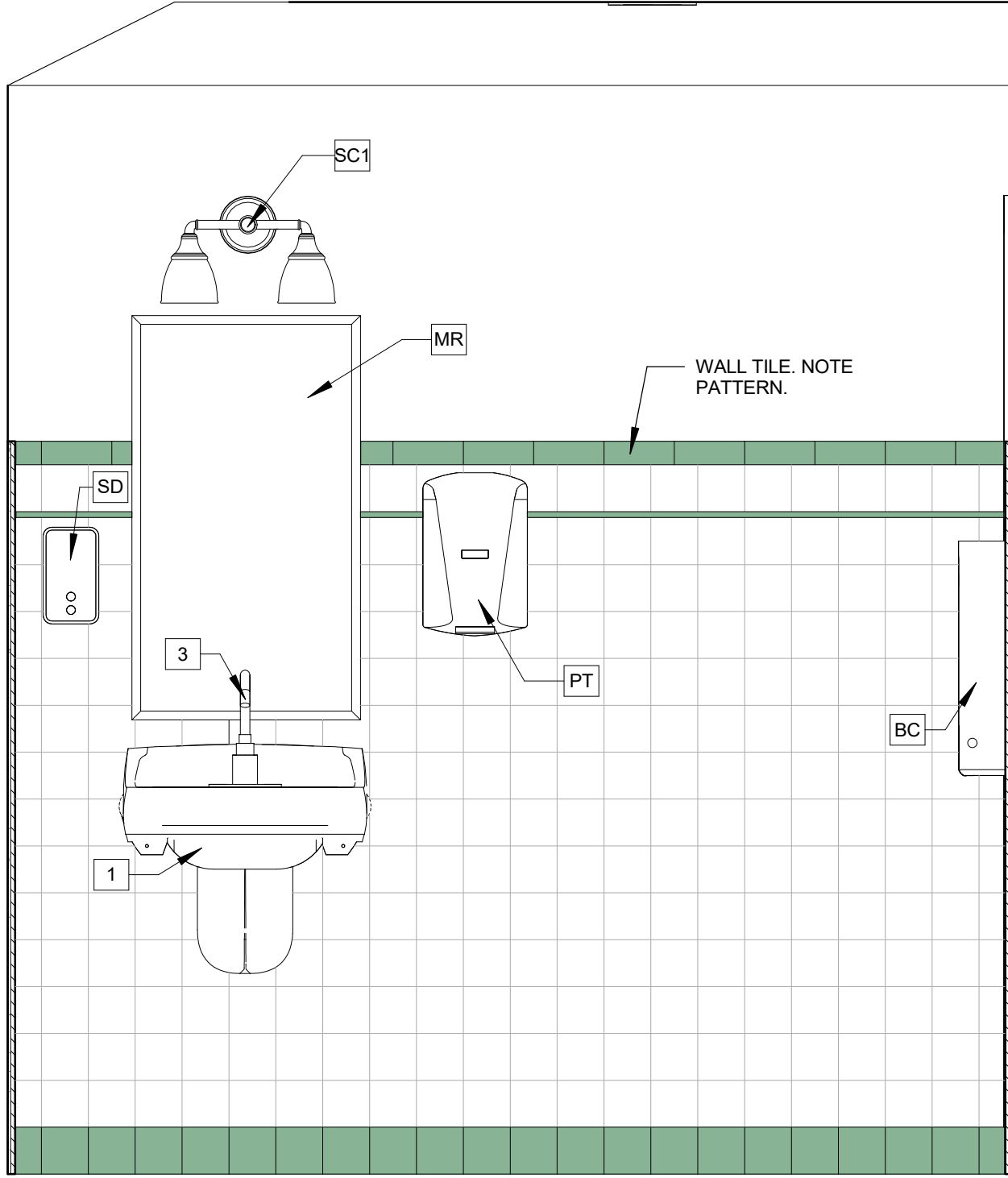
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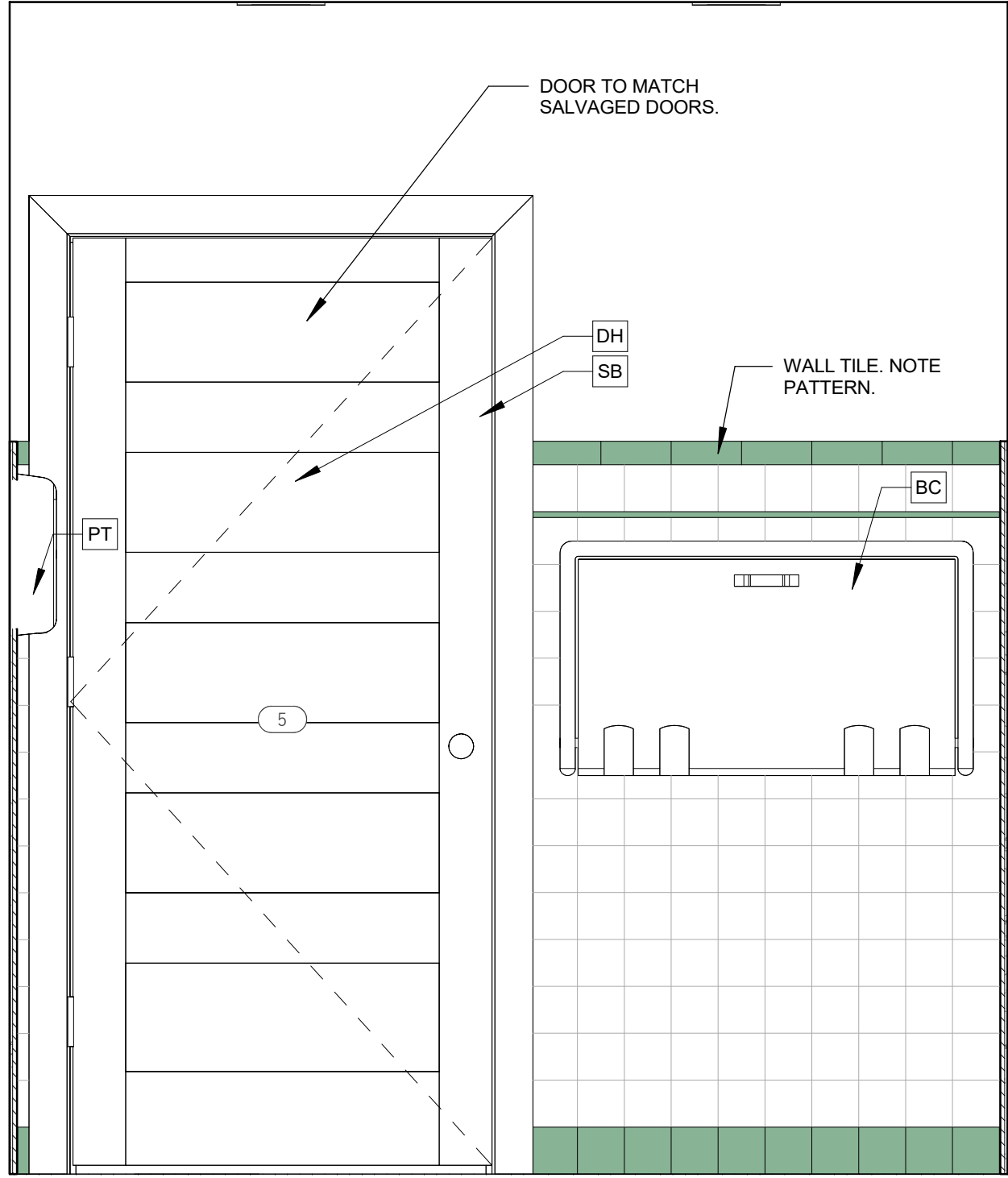
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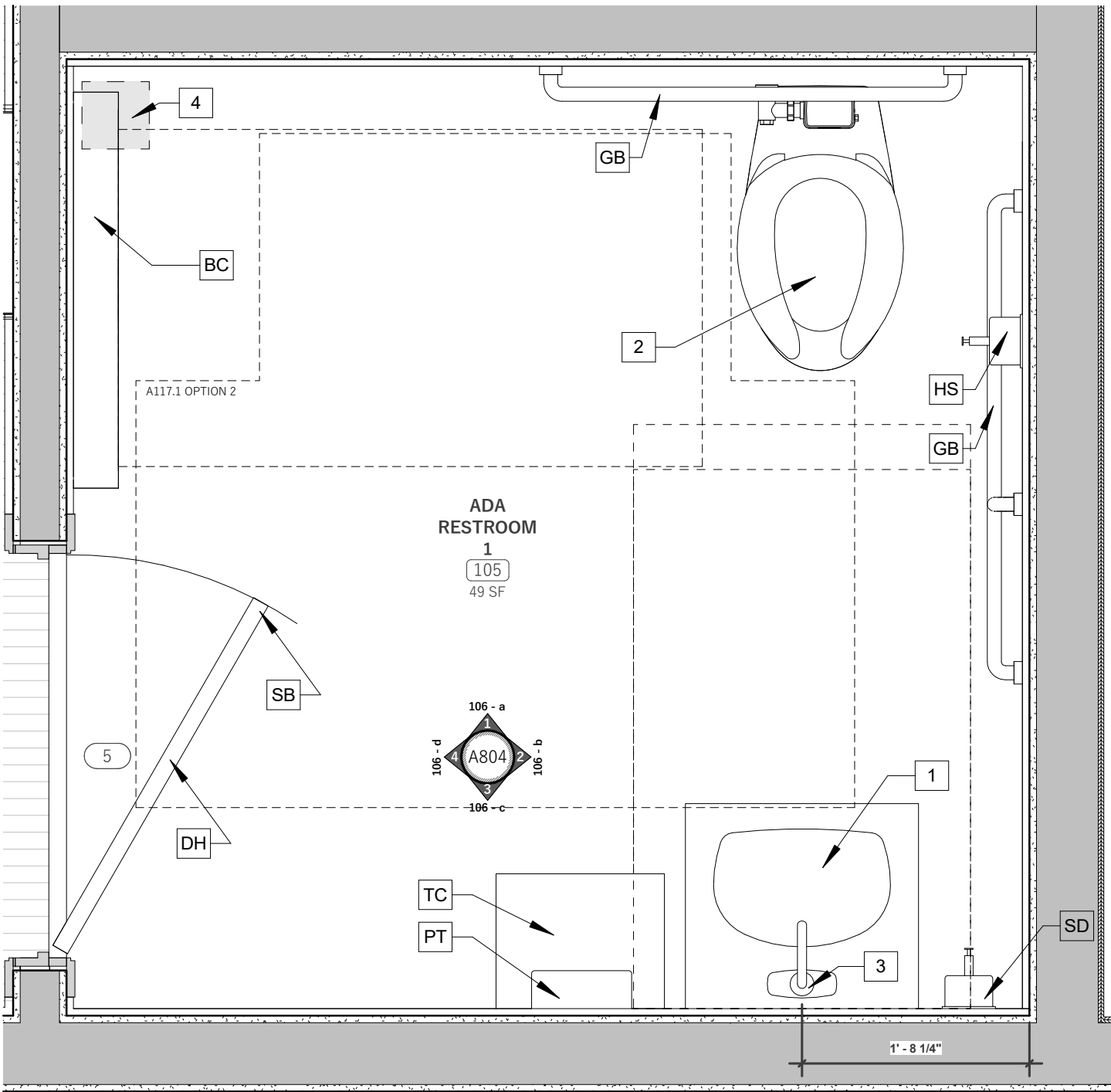
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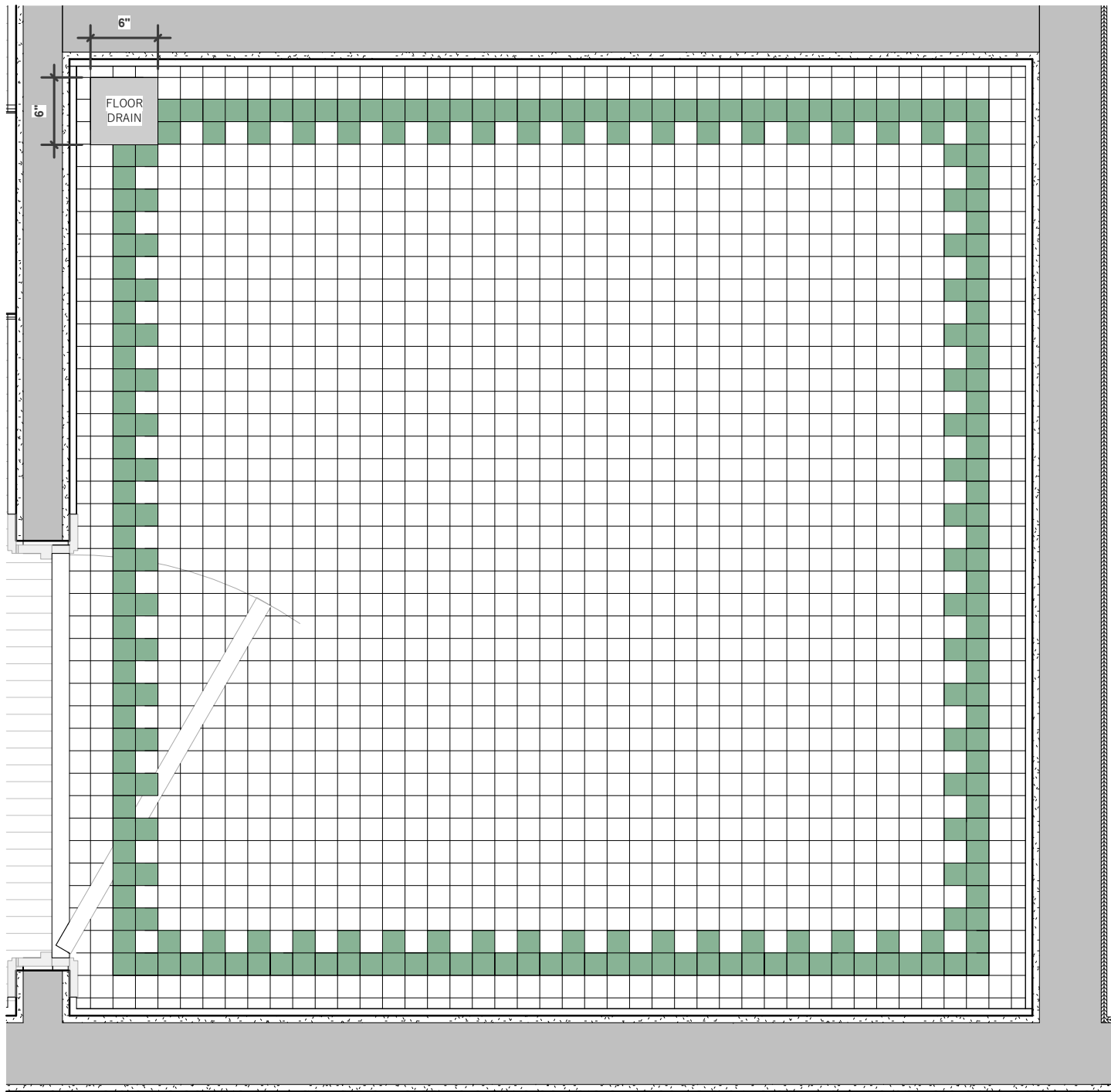
106 - c  
1" = 1'-0"



106 - d  
1" = 1'-0"

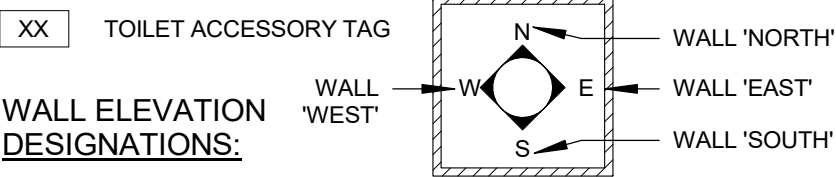


01 - 1ST FLR PLAN - ADA RESTROOM 1  
1" = 1'-0"



ADA RESTROOM 1 - FLOOR TILE PATTERN  
1" = 1'-0"

LEGEND



GENERAL RESTROOM NOTES

1. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE.
2. PLAN DIMENSIONS ARE TO FACE OF FRAMING.
3. REFER TO FLOOR PLANS, ELEVATIONS, AND SCHEDULES FOR TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
4. SEE SHEET A900 FOR ROOM FINISH SCHEDULE.
5. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES. ALL ACCESSORIES TO HAVE BLOCKING AT POINTS OF ATTACHMENT.
6. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
7. INTERIOR AND EXTERIOR DOORS TO RESTROOM TO BE INSTALLED WITH ADA COMPLIANT THRESHOLDS.
8. PAINT INTERIOR COMPLETE.

TOILET ACCESSORY SCHEDULE

TAG	COUNT	DESCRIPTION	MANUF.	MODEL NO.	NOTES
MR	1	MIRROR	BOBRICK	B-2908, 1836	18" X 36", WELDED FRAME, TEMPERED GLASS
TD	1	TOILET PAPER DISPENSER	CINTAS		DISPENSER TO HOLD LARGE COMMERCIAL ROLL, PROVIDED BY OWNER
SD	1	SOAP DISPENSER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
HS	1	HAND SANITIZER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
PT	1	PAPER TOWEL DISPENSER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
TC	1	TRASH CAN	CINTAS		WALL HUNG, PROVIDED BY OWNER
GB	3	GRAB BARS	WWW.GRABBARSPICIALSISTS.COM	1-A5-GBS-1-14-SS-MIRROR-FINISH	1-1/4" DIAMETER STRAIGHT STAINLESS STEEL GRAB BARS HIGH POLISH MIRROR FINISH, 18", 36", 42"
BC	1	BABY CHANGING STATION	KOALA KARE	KB110-SSWM	KOALA KARE WALL MOUNTED HORIZONTAL STAINLESS STEEL BABY CHANGING STATION
DH	1	DOOR HOOK	KOHLER	K-11414-CP	BANCROFT DOUBLE ROBE HOOK, CHROME
SB	1	SLIDE BOLT	BALDWIN	0379	SURFACE BOLT 6", CHROME

RESTROOM DECORATIVE LIGHT SELECTIONS

\* REFERENCE ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
SC	SCONCE	SCHOOLHOUSE	SKU: 107420	IRVINE DOUBLE SCONCE 2.25", STRAIGHT BELL SHADE, PAINTED BLACK STRIPE	1

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	COUNT	MODEL NO.	PRODUCT DESCRIPTION
1	LAVATORY	1	SS-3103	SLOAN WALL MOUNTED LAVATORY FIXTURE WITH 4" BACKSPLASH, SINGLE HOLE
1	LAVATORY SHIELD	1	0365059	SLOAN LAVATORY SHIELD, OPTIMA ACCESSORY IN WHITE
3	LAVATORY FAUCET	1	SF-2250	SLOAN SENSOR FAUCET
2	WATER CLOSET	1	ST-2029	SLOAN VITREOUS CHINA FLOOR-MOUNTED ADA WATER CLOSET- ELONGATED
2	WATER CLOSET SEAT	1	1955CT	BEMIS COMMERCIAL HEAVY-DUTY PLASTIC TOILET SEAT
2	FLUSHOMETER	1	3080058	SLOAN REGAL SENSOR WATER CLOSET FLUSHOMETER
4	FLOOR DRAIN	1	ZN415S-VP	ZURN FLOOR DRAIN, HEAVY DUTY, 6 X 6

RESTROOM TILE SCHEDULE

LOCATION	SIZE	MANUFACTURER	MODEL NO.	PRODUCT DESCRIPTION
FLOOR	2" X 2"	DALTILE	WHITE 0100 & GREEN, 0141	SQUARE TILE, COLOR WHEEL CLASSICS WHITE STRAIGHT JOINT, ACCENT TILE GREEN, SEMI-GLOSS FINISH
WALL BASE TILE	4" X 4"	DALTILE	GREEN, 0141	COVE BASE, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI-GLOSS FINISH
WALL	4" X 4"	DALTILE	WHITE, 0100	SQUARE TILE, COLOR WHEEL CLASSICS, COLOR WHITE, SEMI-GLOSS FINISH
WALL PENCIL	1/2"	DALTILE	GREEN, 0141	RECTANGULAR JOLLY, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI GLOSS FINISH
WALL CAP	2" X 6"	DALTILE	GREEN, 0141	RECTANGULAR BULLNOSE, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI-GLOSS FINISH
GROUT	N/A	LATICRETE	N/A	SPECTROLOCK PRO GROUT, COLOR TBD

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8855  
Architecture ■ Construction ■ Design Services ■ Cemetery & Mausoleum ■ Conservation & Preservation Planning ■ Estate Management



SARAH RILEY HOOKS  
COTTAGE PROJECT

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

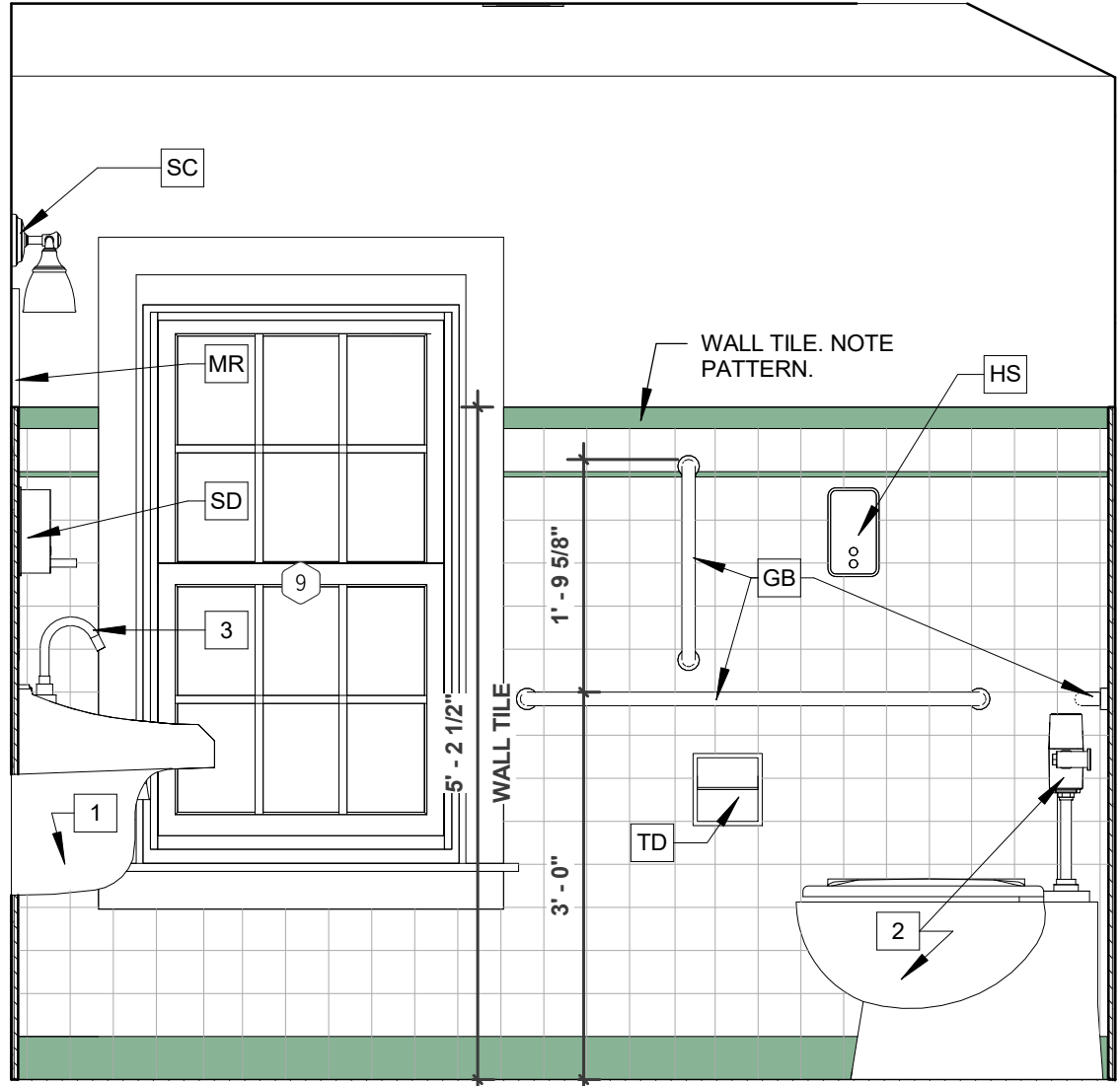
REVISIONS

# DATE NOTES

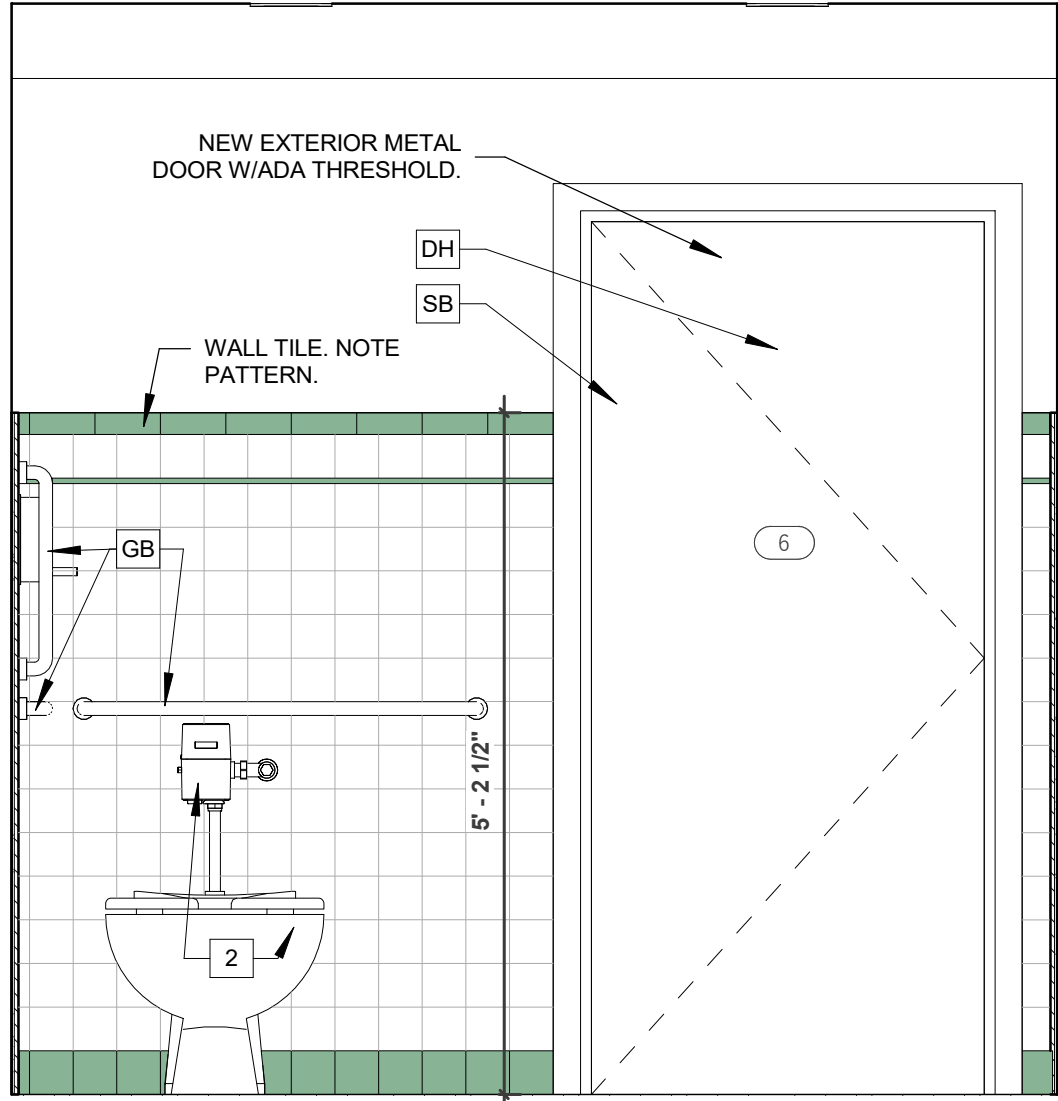
INTERIOR  
ELEVATIONS -  
ADA BATHROOM  
1  
A804



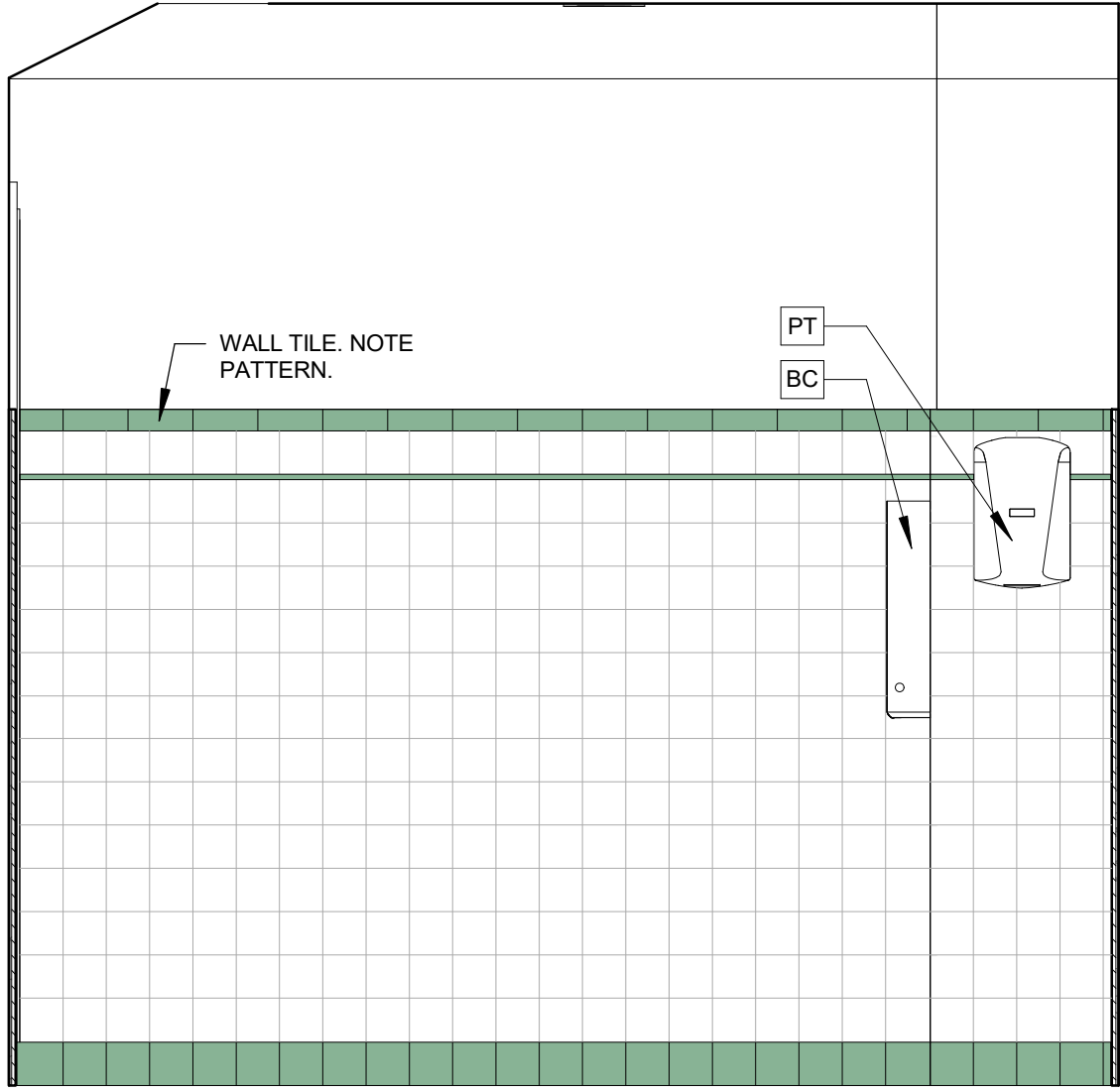
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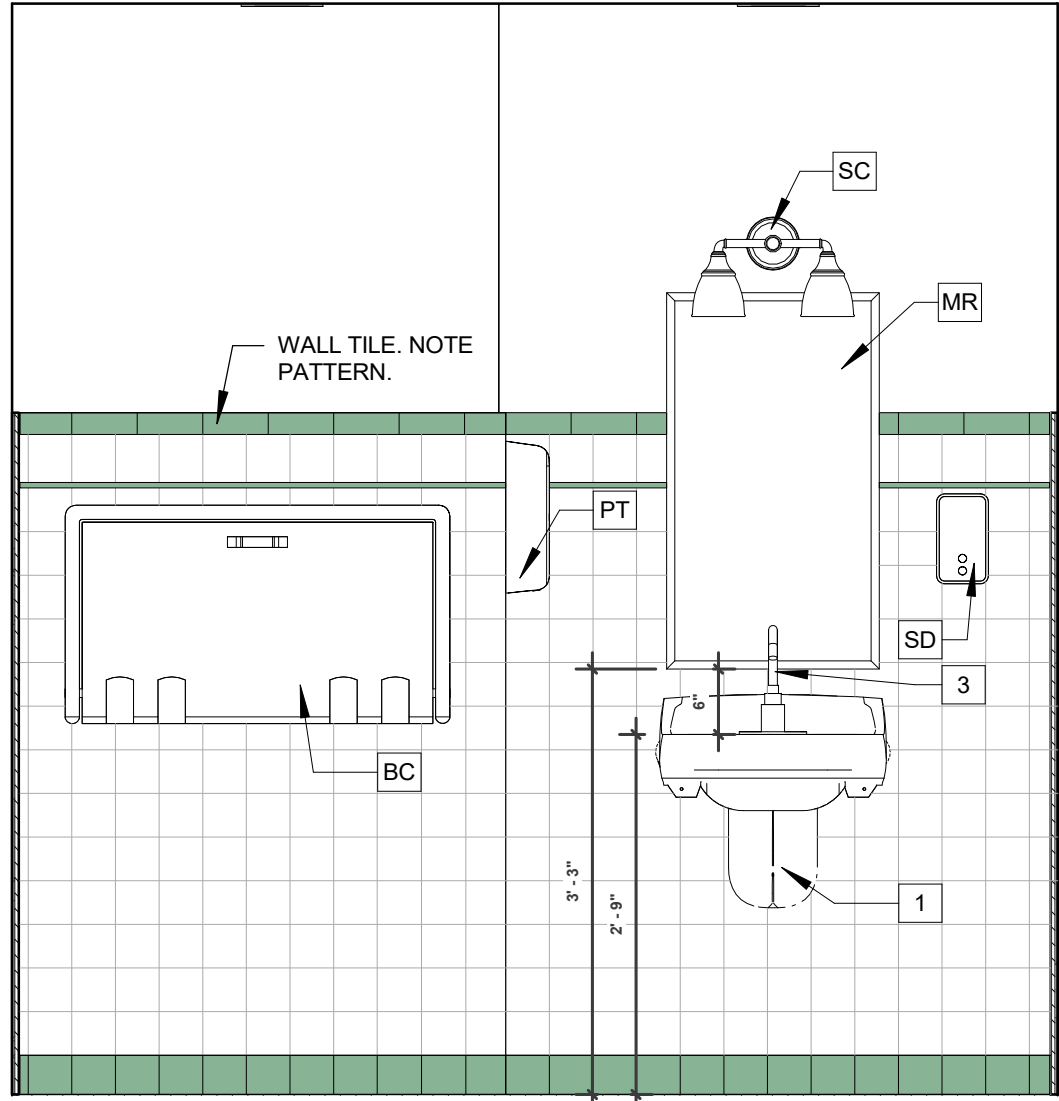
1 105 - a  
3/4" = 1'-0"



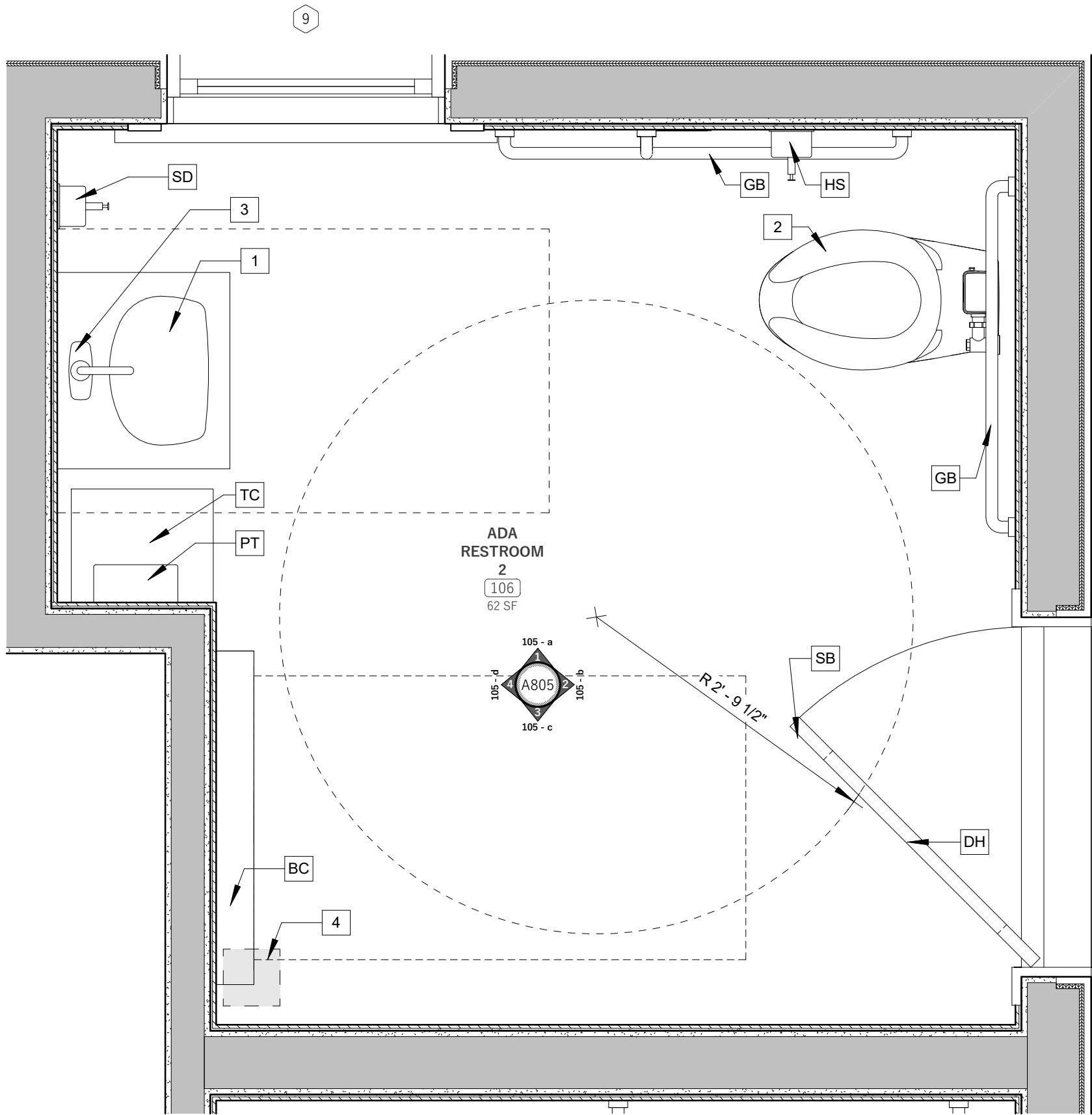
2 105 - b  
3/4" = 1'-0"



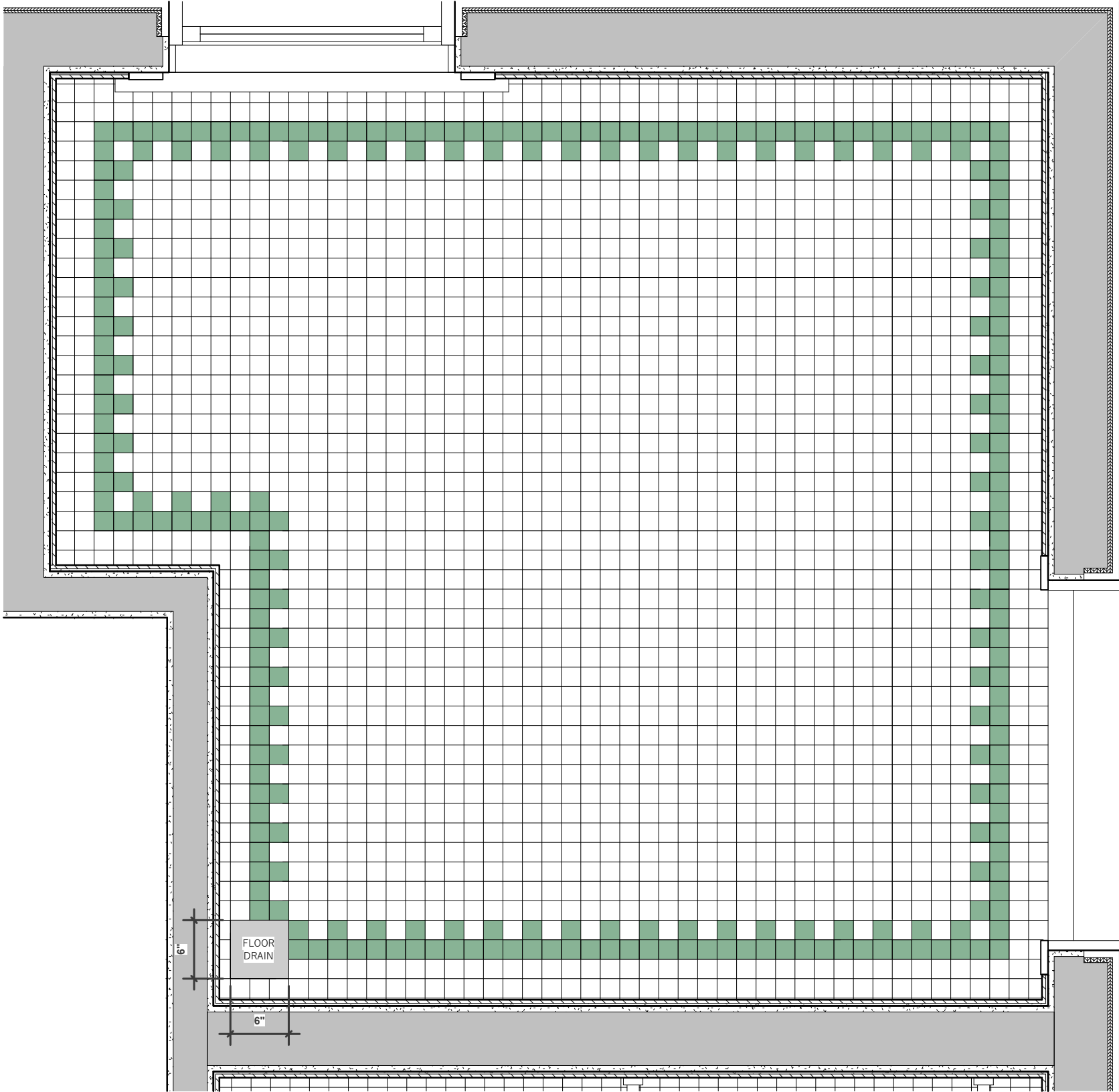
3 105 - c  
3/4" = 1'-0"



4 105 - d  
3/4" = 1'-0"

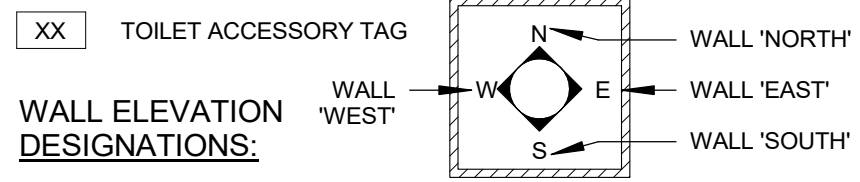


5 01 - 1ST FLR PLAN - ADA RESTROOM 2  
1" = 1'-0"



6 ADA RESTROOM 2 - FLOOR TILE PATTERN  
1" = 1'-0"

LEGEND



GENERAL RESTROOM NOTES

1. MOUNTING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE.
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3. REFER TO FLOOR PLANS, ELEVATIONS, AND SCHEDULES FOR TOILET AREA INFORMATION OR EXTENT OF ACCESSORIES NOT SHOWN ON THESE DRAWINGS.
4. SEE SHEET A900 FOR ROOM FINISH SCHEDULE.
5. PROVIDE BLOCKING AS REQUIRED TO INSTALL FINISHES AND ACCESSORIES. ALL ACCESSORIES TO HAVE BLOCKING AT POINTS OF ATTACHMENT.
6. REFERENCE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
7. INTERIOR AND EXTERIOR DOORS TO RESTROOM TO BE INSTALLED WITH ADA COMPLIANT THRESHOLDS.
8. PAINT INTERIOR COMPLETE.

TOILET ACCESSORY SCHEDULE

TAG	COUNT	DESCRIPTION	MANUF.	MODEL NO.	NOTES
MR	1	MIRROR	BOBRICK	B-2908, 1836	18" X 36", WELDED FRAME, TEMPERED GLASS
TD	1	TOILET PAPER DISPENSER	CINTAS		DISPENSER TO HOLD LARGE COMMERCIAL ROLL, PROVIDED BY OWNER
SD	1	SOAP DISPENSER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
HS	1	HAND SANITIZER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
PT	1	PAPER TOWEL DISPENSER	CINTAS		AUTOMATIC, PROVIDED BY OWNER
TC	1	TRASH CAN	CINTAS		WALL HUNG, PROVIDED BY OWNER
GB	3	GRAB BARS	WWW.GRABBARSPECIALISTS.COM	1-A5-GBS-1-14-SS-MIRROR-FINISH	1-1/4" DIAMETER STRAIGHT STAINLESS STEEL GRAB BARS HIGH POLISH MIRROR FINISH, 18", 36", 42"
BC	1	BABY CHANGING STATION	KOALA KARE	KB110-SSWM	KOALA KARE WALL MOUNTED HORIZONTAL STAINLESS STEEL BABY CHANGING STATION
DH	1	DOOR HOOK	KOHLER	K-11414-CP	BANCROFT DOUBLE ROBE HOOK, CHROME
SB	1	SLIDE BOLT	BALDWIN	0379	SURFACE BOLT 6", CHROME

RESTROOM DECORATIVE LIGHT SELECTIONS

\* REFERENCE ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
SC	SCONCE	SCHOOLHOUSE	SKU: 107420	IRVINE DOUBLE SCONCE 2.25" STRAIGHT BELL SHADE, PAINTED BLACK STRIPE	1

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE TYPE	COUNT	MODEL NO.	PRODUCT DESCRIPTION
1	LAVATORY	1	SS-3103	SLOAN WALL MOUNTED LAVATORY FIXTURE WITH 4" BACKSPASH, SINGLE HOLE
1	LAVATORY SHIELD	1	0365059	SLOAN LAVATORY SHIELD, OPTIMA ACCESSORY IN WHITE
3	LAVATORY FAUCET	1	SF-2250	SLOAN SENSOR FAUCET
2	WATER CLOSET	1	ST-2029	SLOAN VITREOUS CHINA FLOOR-MOUNTED ADA WATER CLOSET- ELONGATED
2	WATER CLOSET SEAT	1	1955CT	BEMIS COMMERCIAL HEAVY-DUTY PLASTIC TOILET SEAT
2	FLUSHOMETER	1	3080058	SLOAN REGAL SENSOR WATER CLOSET FLUSHOMETER
4	FLOOR DRAIN	1	ZN415S-VP	ZURN FLOOR DRAIN, HEAVY DUTY, 6 X 6

RESTROOM TILE SCHEDULE

LOCATION	SIZE	MANUFACTURER	MODEL NO.	PRODUCT DESCRIPTION
FLOOR	2" X 2"	DALTILE	WHITE 0100 & GREEN, 0141	SQUARE TILE, COLOR WHEEL CLASSICS WHITE STRAIGHT JOINT, ACCENT TILE GREEN, SEMI-GLOSS FINISH
WALL BASE TILE	4" X 4"	DALTILE	GREEN, 0141	COVE BASE, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI-GLOSS FINISH
WALL	4" X 4"	DALTILE	WHITE, 0100	SQUARE TILE, COLOR WHEEL CLASSICS, COLOR WHITE, SEMI-GLOSS FINISH
WALL PENCIL	1/2"	DALTILE	GREEN, 0141	RECTANGULAR JOLLY, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI-GLOSS FINISH
WALL CAP	2" X 6"	DALTILE	GREEN, 0141	RECTANGULAR BULLNOSE, COLOR WHEEL CLASSICS, COLOR GREEN, SEMI-GLOSS FINISH
GROUT	N/A	LATICRETE	N/A	SPECTROLOCK PRO GROUT, COLOR TBD

MEADORS



SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

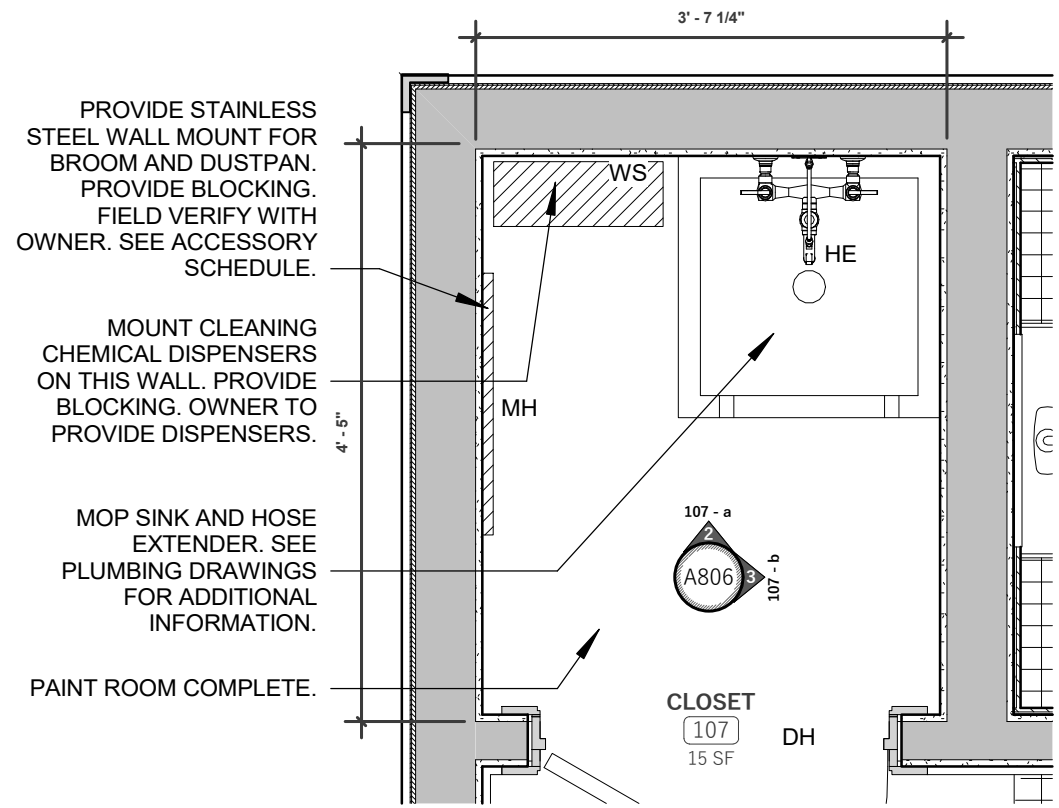
PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/24

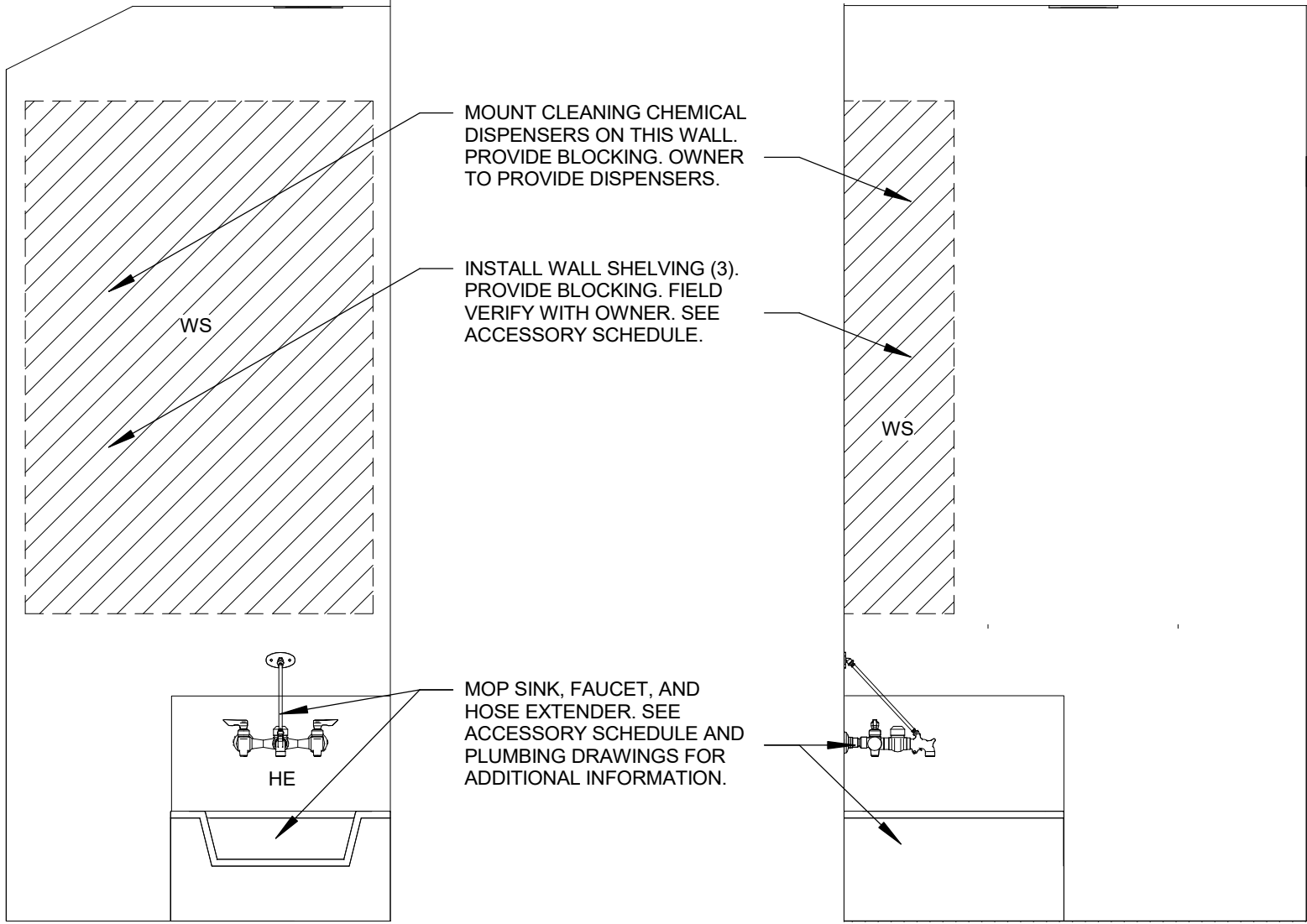
REVISIONS  
# DATE NOTES

INTERIOR  
ELEVATIONS -  
ADA BATHROOM  
2  
A805





1 ENLARGED PLAN- CLOSET  
3/4" = 1'-0"

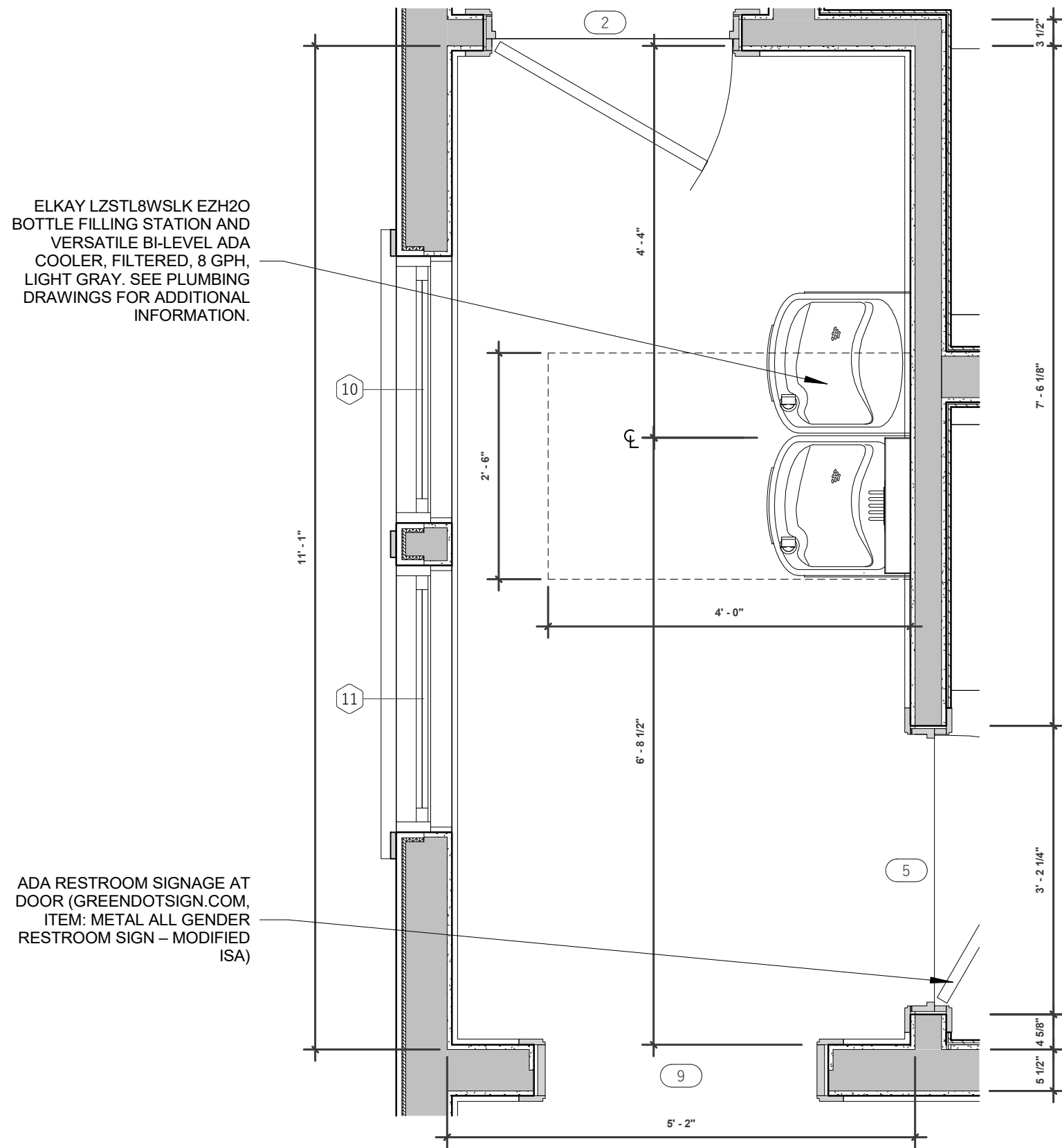


2 107 - a  
3/4" = 1'-0"

3 107 - b  
3/4" = 1'-0"



PROVIDE HOSE EXTENDER & WALL MOUNT HOLDER. SEE ACCESSORY SCHEDULE AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.



4 ENLARGED PLAN - HALLWAY  
3/4" = 1'-0"

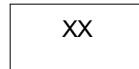
CLOSET ACCESSORY SCHEDULE					
TAG	DESCRIPTION	MANUF.	MODEL NO.	NOTES	COUNT
MH	STANDARD MOP BROOM HOLDER	ULINE	H-2841	STAINLESS STEEL MODEL, NO. OF CLIPS 4, 24 x 3 x 4"	1
HE	FAUCET HOSE EXTENSION & HOLDER	UNSPECIFIED	UNSPECIFIED	HEAVY DUTY, PROVIDE FAUCET HOSE EXTENSION AND HOLDER, STAINLESS STEEL	1
WS	WALL MOUNT SHELVING	ULINE	H-7498	STAINLESS STEEL WALL MOUNT SHELVING, 36 x 12 x 10"	3
DH	DOOR HOOK	KOHLER	K-11414-CP	BANCROFT ROBE HOOK, CHROME	1

CLOSET TILE SCHEDULE				
LOCATION	SIZE	MANUFACTURER	COLOR CODE	PRODUCT DESCRIPTION
FLOOR TILE	4" X 4"	DALTILE	K-2851-RA	SQUARE TILE, COLOR WHEEL CLASSIC, COLOR MATTE CHALKBOARD, MATTE FINISH
WALL BASE TILE	6"	DALTILE	0780	SANITARY BASE COVE, COLOR WHEEL CLASSIC, COLOR MATTE CHALKBOARD, MATTE FINISH
GROUT	N/A	LATICRETE	N/A	SPECTROLOCK PRO GROUT, DARK GRAY, RAVEN

LEGEND

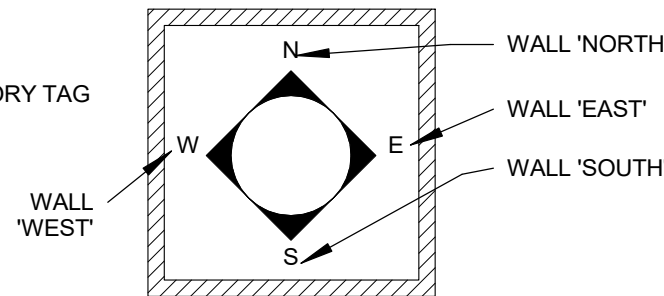


WALL TYPE, SEE LEGEND ON SHEET A002



TOILET ACCESSORY TAG

WALL ELEVATION DESIGNATIONS:



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SARAH RILEY HOOKS  
COTTAGE PROJECT  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
ISSUE DATE: 12/11/2024

REVISIONS

#	DATE	NOTES
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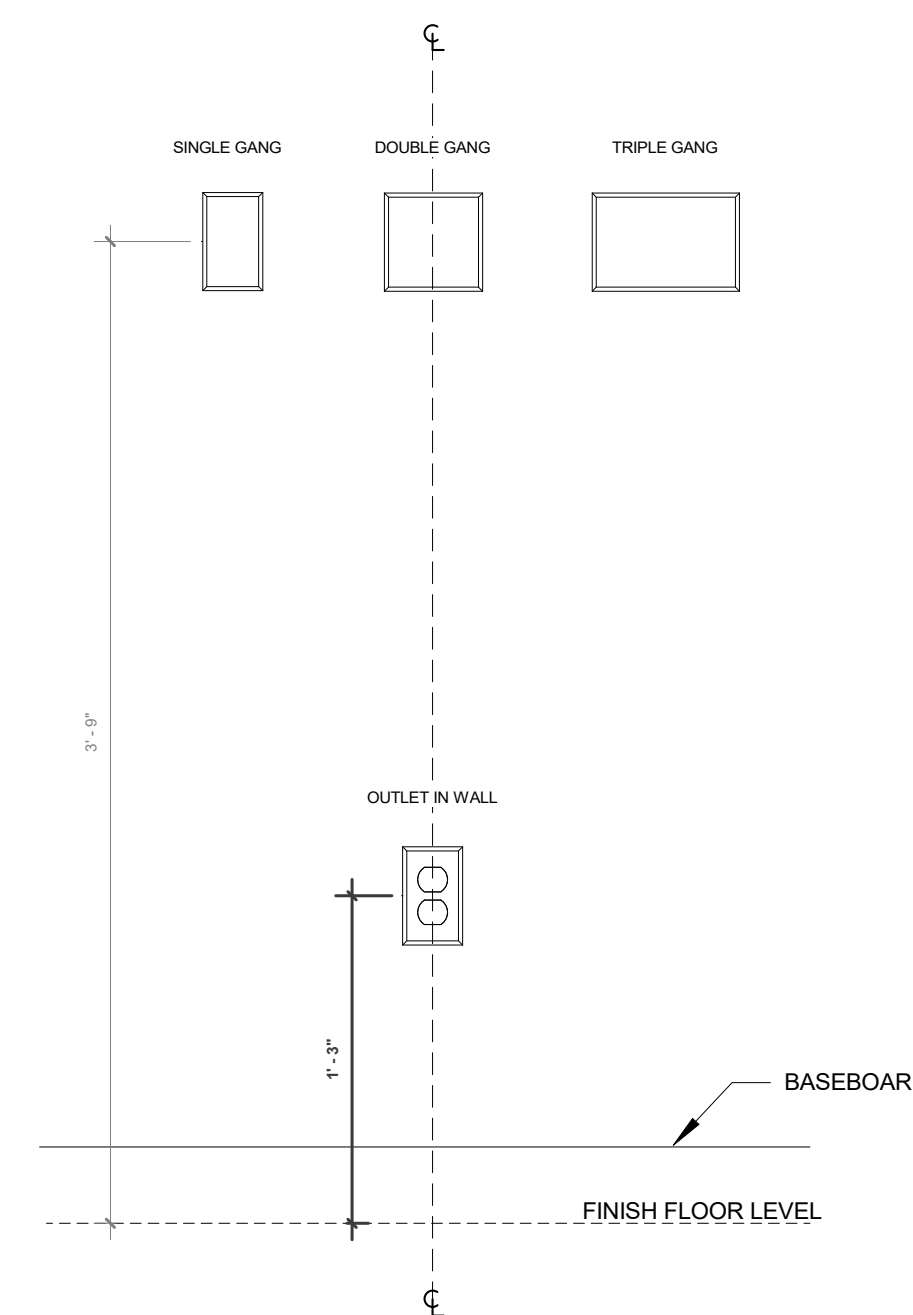
INTERIOR  
ELEVATIONS -  
HALLWAY AND  
CLOSET  
A806



SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"x36"



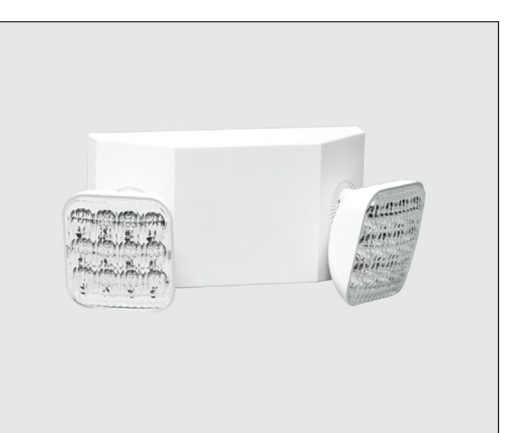
 TYPICAL ELECTRICAL SWITCH DIAGRAM  
1 1/2" = 1'-0"



TYPICAL ELECTRICAL SWITCH DIAGRAM  
1 1/2" = 1'-0"



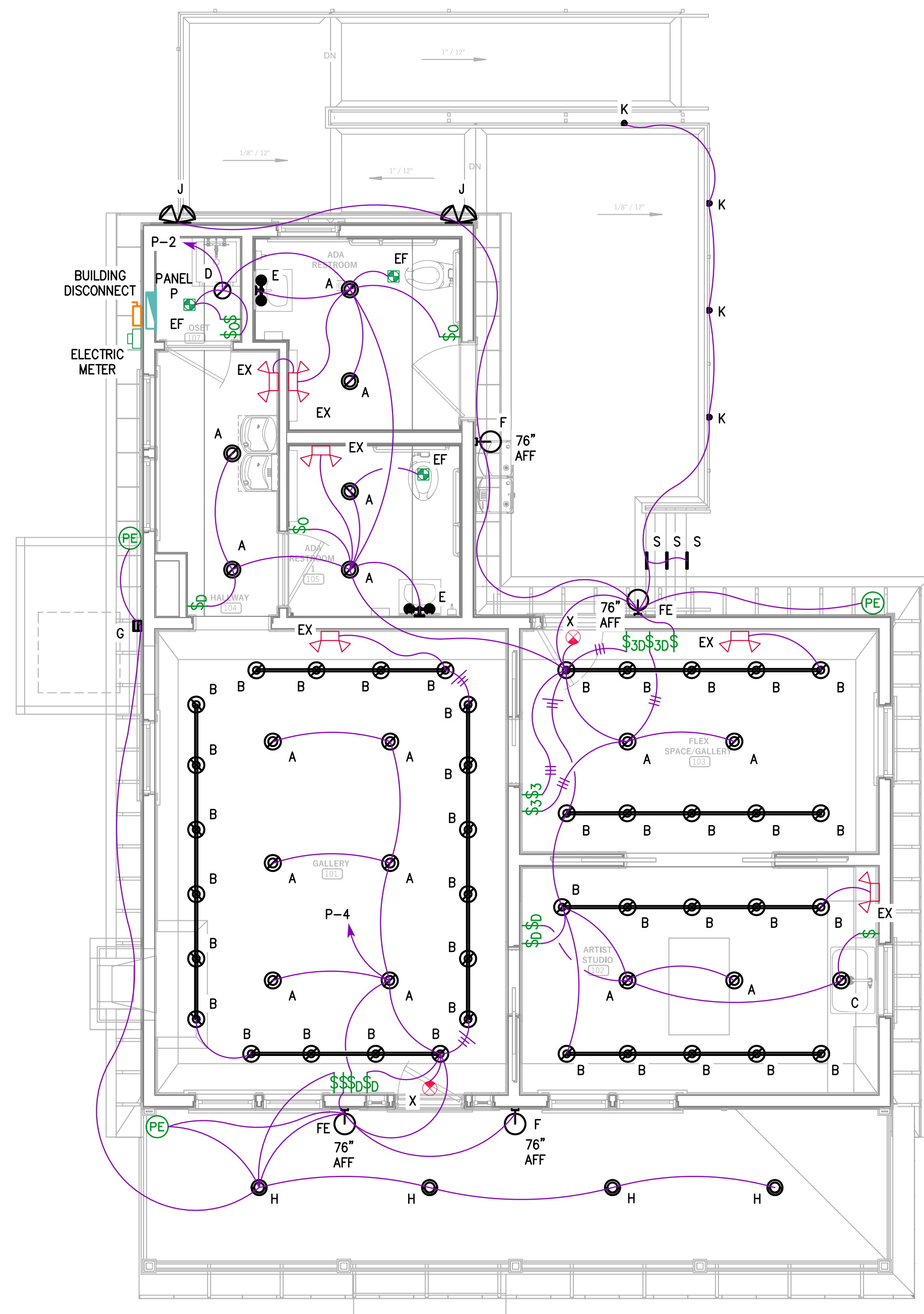
EXIT- WALL MOUNT EXIT  
LIGHT



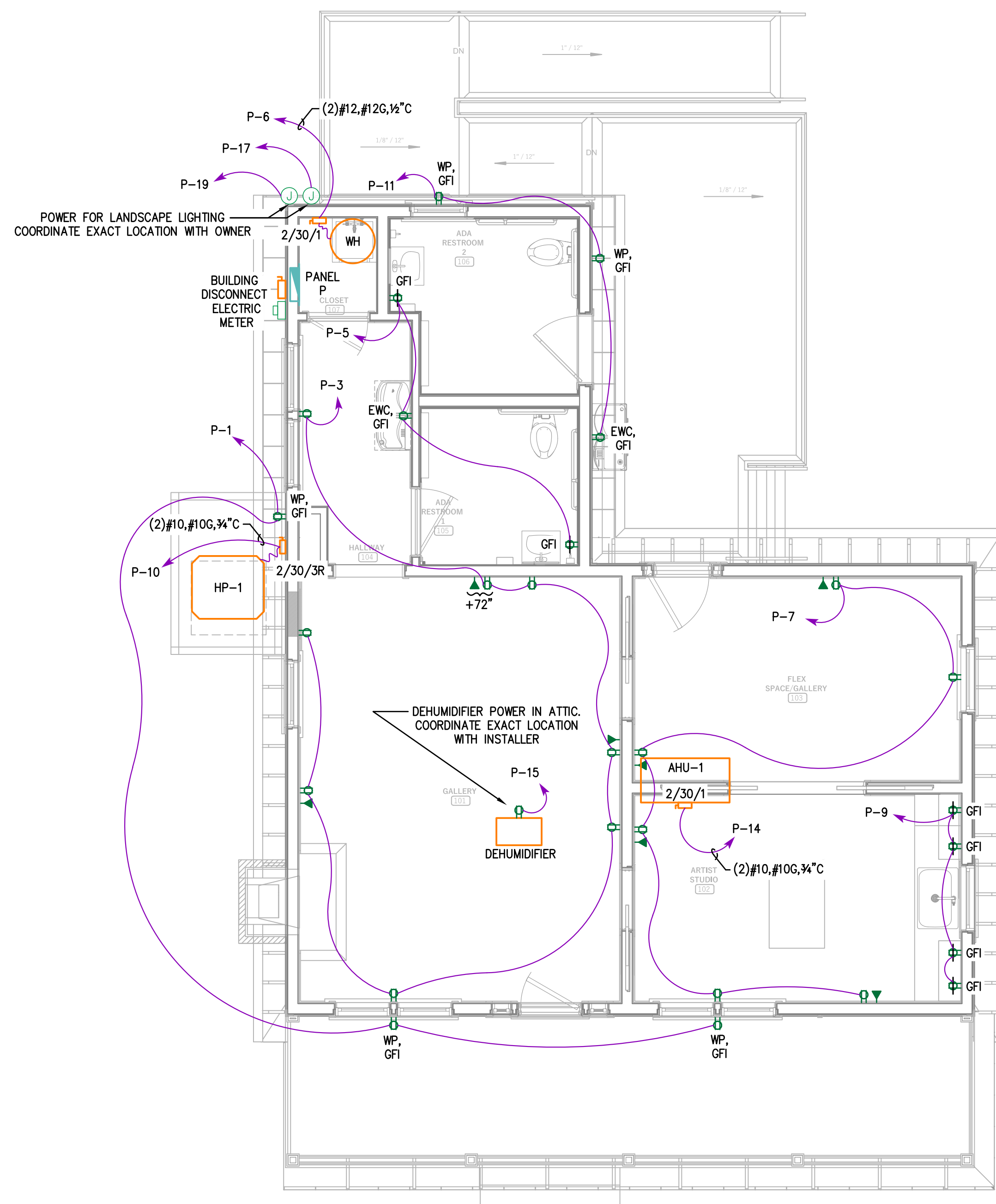
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1ST FLR RCP &  
FIXTURE  
SCHEDULE  
AE101

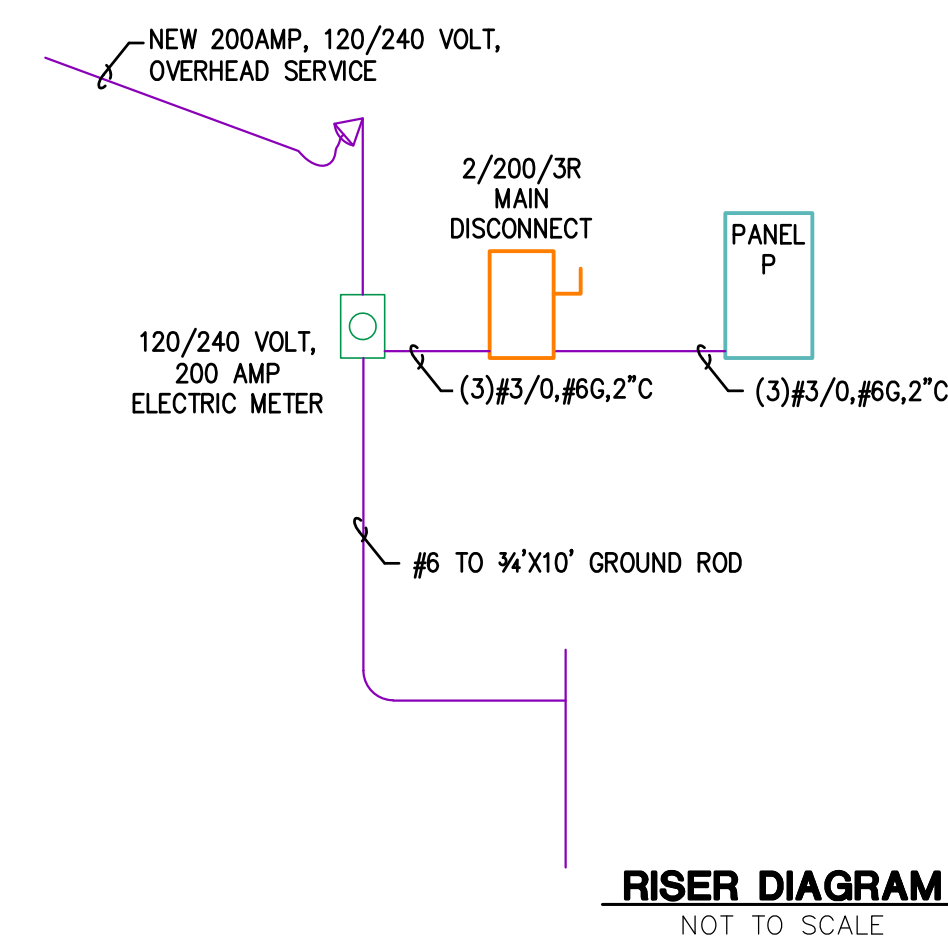
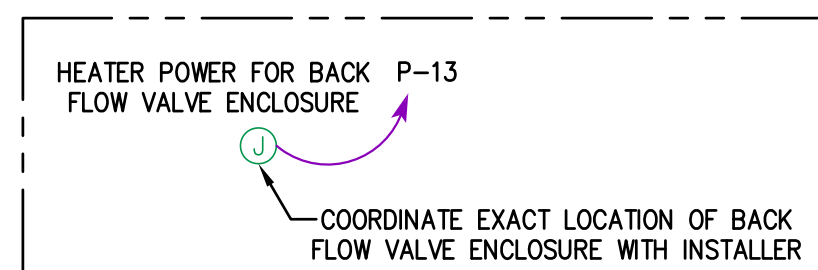




**ELECTRICAL LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"

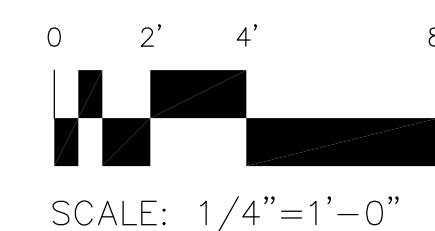


**ELECTRICAL POWER PLAN**  
SCALE: 1/4" = 1'-0"



**RISER DIAGRAM**  
NOT TO SCALE

- ELECTRICAL NOTES:**
1. COORDINATE EXACT LOCATION OF ALL LIGHTING AND EMERGENCY FIXTURES WITH OWNER PRIOR TO INSTALLATION.
  2. COORDINATE EXACT LOCATION OF ALL DATA OUTLETS WITH OWNER PRIOR TO INSTALLATION.



SCALE: 1/4"=1'-0"

**CE** CHARLESTON  
ENGINEERING

125 Wappoo Creek Dr.  
Building B  
Charleston SC 29412  
[OFFICE] 843.762.4242  
charlestonengineering.com  
Mechanical, Plumbing & Electrical

Section VIII, Item #2.

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

Architecture ■ Construction ■ Design Services ■ Cabinetry & Millwork ■ Conservation & Preservation Planning ■ Estate Management

SOUTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
No. C00584

SOUTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER  
No. 34512

11/8/2024

DAVID J. DEED

SARAH RILEY HOOKS  
COTTAGE  
RECONSTRUCTION

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
CE PROJ. NO. 24-71  
ISSUE DATE: 11/08/2024

REVISIONS

#	DATE	NOTES
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ELECTRICAL  
PLAN

**E101**

Page 145



ELECTRICAL SPECIFICATIONS

PART 1 – GENERAL

- 1.01 SCOPE:
- A. FURNISH AND INSTALL A COMPLETELY WIRED AND OPERATIONAL ELECTRICAL SYSTEM AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THESE MAJOR ITEMS:
1. LIGHTING FIXTURES AS INDICATED AND SPECIFIED ON PLANS.
  2. ELECTRICAL PANELS, CONTROLS, SERVICE, DISCONNECTS, CONDUIT, WIRING, ETC., FOR ALL OUTLETS AND EQUIPMENT.
  3. TELEPHONE OUTLETS AND CONDUIT AS INDICATED.
- 1.02 CODES, REGULATIONS AND STANDARDS:
- A. THE INSTALLATION SHALL COMPLY WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, INCLUDING THE REGULATIONS OF THE FOLLOWING:
1. ICC A117.1 ACCESSIBILITY AND USEABLE BUILDING ND FACILITIES STANDARDS – 2017
  2. SOUTH CAROLINA BUILDING CODE – 2021
  3. NATIONAL ELECTRIC CODE WITH SC MODIFICATIONS – 2020
  4. INTERNATIONAL ENERGY CONSERVATION CODE – 2009
  5. LOCAL BUILDING CODES AND ORDINANCES
- B. THE FOLLOWING INDUSTRY STANDARDS, SPECIFICATIONS ARE ALSO MINIMUM REQUIREMENTS:
1. THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION STANDARDS (NEMA).
  2. THE MANUFACTURER'S RECOMMENDATION.
  3. UNDERWRITER LABORATORIES INCORPORATED STANDARDS (UL).
  4. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
- 1.03 PERMITS
- A. OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTION FEES.
- 1.04 INSPECTION OF SITE:
- A. PRIOR TO SUBMITTING A BID, VISIT THE SITE OF THE PROPOSED CONSTRUCTION TO BECOME THOROUGHLY ACQUAINTED WITH EXISTING UTILITIES, WORKING CONDITIONS, ETC. ALLOWANCE WILL NOT BE MADE FOR NONCOMPLIANCE WITH THIS CONDITION AFTER BIDDING.
- 1.05 CLEAN-UP:
- A. KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, OR RUBBISH CAUSED BY EMPLOYEES OR WORK UNDER THIS DIVISION OF THE SPECIFICATION. AT THE COMPLETION OF THE WORK, REMOVE ALL SURPLUS MATERIALS, TOOLS, ETC., AND LEAVE THE PREMISES "BROOM-CLEAN". REMOVE ALL TEMPORARY WIRING UPON PROJECT COMPLETION.
- 1.06 DRAWINGS:
- A. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT AND LOCATIONS OF THE ELECTRICAL WORK. DATA PRESENTED ON THE THESE DRAWINGS ARE AS ACCURATE AS PLANNING CAN DETERMINE, BUT FIELD VERIFICATION OF ALL DIMENSIONS, LOCATIONS, LEVELS, ETC., TO SUIT FIELD CONDITIONS IS REQUIRED. REVIEW ALL ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND ADJUST ALL WORK TO MEET THE REQUIREMENTS OF CONDITIONS SHOWN. THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. DISCREPANCIES BETWEEN DIFFERENT PLANS, OR BETWEEN DRAWINGS AND SPECIFICATIONS, OR REGULATIONS AND CODES GOVERNING THE INSTALLATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING BEFORE THE DATE OF BID OPENING. IF DISCREPANCIES ARE NOT REPORTED, BID THE GREATER QUANTITY OR BETTER QUALITY, AND APPROPRIATE ADJUSTMENTS WILL BE MADE AFTER CONTRACT AWARD. FIELD MEASURE AND CONFIRM MOUNTING HEIGHTS AND LOCATION OF ELECTRICAL EQUIPMENT WITH RESPECT TO COUNTERS, MECHANICAL EQUIPMENT, ETC. DO NOT SCALE DISTANCES OFF THE ELECTRICAL DRAWINGS; USE ACTUAL BUILDING DIMENSIONS.
- B. IN ALL CASES SWITCHES CONTROLLING LIGHTING ARE TO BE LOCATED ON THE STRIKE SIDE OF DOORS. LOCATION INDICATED FOR SWITCHES AND OUTLETS ARE APPROXIMATE. OWNER MAY MAKE MINOR RELOCATIONS AT NO ADDITIONAL CHARGE.
- C. SHOULD STRUCTURAL ELEMENTS PREVENT RUNNING OF CONDUITS, INSTALLATION OF OUTLETS OR CABINETS AS SHOWN ON THE DRAWINGS, THE NECESSARY MINOR CHANGE, AS DETERMINED BY THE ARCHITECT SHALL BE PERMITTED.
- 1.07 CUTTING AND FITTING:
- A. PERFORM CORING, CUTTING, CHOPPING, FITTING, REPAIRING AND FINISHING OF THE WORK NECESSARY FOR THE INSTALLATION OF THE EQUIPMENT OF THIS SECTION. HOWEVER, NO CUTTING OF THE WORK OF OTHER TRADES OR OF ANY STRUCTURAL MEMBER SHALL BE DONE WITHOUT THE CONSENT OF THE ARCHITECT AND LANDLORD. PROPERLY FILL SEAL, FIREPROOF AND WATERPROOF ALL OPENINGS, SLEEVES, AND HOLES IN SLABS. FURNISH AND INSTALL ALL REQUIRED SLEEVES AND INSERTS.
- 1.08 COORDINATION WITH OTHER TRADES:
- A. COOPERATE WITH OTHER TRADES SO THAT INSTALLATION OF ELECTRICAL OUTLETS AND EQUIPMENT WILL BE PROPERLY COORDINATED. CHECK CONDUIT, FIXTURE, AND OTHER EQUIPMENT LOCATIONS WITH THE OTHER TRADES TO AVOID CONFLICT WITH THE PIPING, DUCTWORK, STEEL, PIPING, BEAMS, OR OTHER OBSTRUCTIONS.
- B. CAREFULLY CHECK THE LOCATIONS OF THE OUTLET BOXES AND DETERMINE THAT THEY HAVE NOT BEEN DISTURBED DURING THE INSTALLATION OF MATERIAL OF OTHER TRADES.
- C. VERIFY ALL CIRCUITS FOR HVAC WITH MECHANICAL CONTRACTOR.
- D. COORDINATE WITH CABINETRY.
- 1.09 UTILITY COMPANIES
- A. COORDINATE ALL INCOMING SERVICES (POWER AND TELEPHONE) WITH RESPECTIVE UTILITY COMPANIES. INCLUDE ALL CHARGES IN BID.

PART 2 – PRODUCTS AND EXECUTION

- 2.01 MATERIALS:
- A. ALL MATERIAL SHALL BE NEW AND OF QUALITY AS SPECIFIED ON THE PLANS OR SPECIFICATIONS AND MUST CARRY THE UNDERWRITER'S LABORATORIES APPROVAL COVERING THE PURPOSE FOR WHICH THEY ARE USED, IN ADDITION TO MEETING ALL REQUIREMENTS OF THE CURRENT APPLICABLE CODES AND REGULATIONS.
- 2.02 CONDUIT:
- A. RIGID GALVANIZED STEEL (RGS) MAY BE USED IN ALL AREAS. INTERMEDIATE METALLIC CONDUIT (IMC) MAY BE USED IN INDOOR LOCATIONS. USE ELECTRICAL METALLIC TUBING (EMT) IN INDOOR LOCATIONS NOT IN CONTACT WITH EARTH, NOT IN CONCRETE SLABS OR CONCRETE WALLS AND NOT SUBJECT TO DAMAGE. USE FLEXIBLE STEEL CONDUIT NOT EXCEEDING 36" FOR INDOOR FINAL CONNECTIONS TO MECHANICAL EQUIPMENT AND NOT EXCEEDING 72" AND RECESSED REMOVABLE LIGHT FIXTURES. USE LIQUID-TIGHT FLEXIBLE STEEL CONDUIT NOT EXCEEDING 36" FOR OUTDOOR FINAL CONNECTIONS TO EQUIPMENT OR IN WET LOCATIONS. USE SCHEDULE 40 PVC BELOW GRADE & IN SLAB.
- B. WHERE THE CONDUIT ENTERS OUTLET BOXES, FIXTURES OR CABINETS, FIRMLY FASTEN BY DOUBLE LOCKNUTS AND BUSHINGS. FIRMLY FASTEN CONDUIT TO THE BUILDING CONSTRUCTION. RUN EXPOSED CONDUITS PARALLEL TO THE BUILDING LINES, SUPPORTED BY APPROPRIATE HANGERS (UNISTRUT, T&B OR APPLETON) FROM STRUCTURE. SUPPORT CONDUITS ON 5 FOOT INTERVALS AND WITHIN 3 FEET OF ANY BOX OR FITTING. DO NOT SUPPORT CONDUITS FROM CEILING, PIPING, CEILING SUPPORTS, DUCTWORK, OR OTHER CONDUITS.
- C. CONDUIT CONNECTORS SHALL BE DOUBLE LOCKNUT TYPE, UL LISTED AND LABELED, WITH COMPRESSION FITTINGS.
- D. CONDUIT SIZES SHALL BE AS REQUIRED BY CODE AND AS INDICATED OR SPECIFIED HEREIN. MINIMUM CONDUIT SIZE 1/2".
- E. ALL EMPTY CONDUIT SYSTEMS SHALL HAVE 200 LB. TEST PULL CORD TO FACILITATE INSTALLATION OF FUTURE WIRE.
- F. CONCEAL CONDUITS AND OUTLETS WITHIN THE BUILDING STRUCTURE; EXCEPT THAT CONDUITS MAY BE RUN EXPOSED AT PANELS AND ON CEILING. RUN CONDUIT SHOWN TO BE INSTALLED IN CABINETS, AND CASEWORK DIRECTED BY ARCHITECT.
- 2.03 OUTLET, PULL AND JUNCTION BOXES:
- A. EACH SWITCH, LIGHT, RECEPTACLE OR OTHER OUTLETS SHALL BE PROVIDED WITH A CODE GAUGE, GALVANIZED STEEL OUTLET BOX. JUNCTION AND PULLBOXES SHALL BE CODE GAUGE, GALVANIZED STEEL.
- B. BOXES INSTALLED FOR THE ALARM, COMPUTER AND SECURITY SYSTEM SHALL BE PROVIDED WITH APPROPRIATE COVERPLATES.
- 2.04 CONDUCTORS:
- A. UNLESS OTHERWISE SPECIFIED, ALL WIRE SHALL BE TYPE THW, THWN OR XHHW COPPER. THE WIRES SHALL BE COLOR CODED INDICATING PHASE & VOLTAGE. UNLESS OTHERWISE REQUIRED BY LOCAL ORDINANCES, GROUND WIRES SHALL BE GREEN, NEUTRAL WIRES SHALL BE WHITE. CONDUCTORS SHALL BE #12 AWG, UNLESS OTHERWISE INDICATED.
- B. DO NOT INSTALL CONDUCTORS UNTIL CONDUIT SYSTEM IS COMPLETE. USE MINERALAC #100 OR EQUIVALENT AS A LUBRICANT TO FACILITATE THE INSTALLATION OF THE CONDUCTORS IN THE CONDUIT SYSTEM.
- C. ALL BRANCH CIRCUITS SHALL CONTAIN A GROUND CONDUCTOR.
- D. TYPE MC CABLE MAY BE USED WHERE CONCEALED IN WALLS, FLOORS OR ABOVE CEILING.
- E. TYPE NM CABLE MAY BE USED WHERE CONCEALED IN WALLS, FLOORS OR ABOVE CEILING.

- 2.05 WIRING DEVICES:
- A. 20A, 125 VOLT.
- B. WALL SWITCHES SHALL BE SPECIFICATION GRADE AC SILENT TYPE SWITCHES. RECEPTACLES SHALL BE SPECIFICATION GRADE, DUPLEX TYPE, NEMA 5-20R, 20 AMPERE, 125 VOLT GROUNDED TYPE. DEVICE PLATES SHALL BE STANDARD SIZE SMOOTH FINISH, UNBREAKABLE NYLON. PROVIDE TYPE OF FACEPLATES TO MATCH DEVICES.
- C. COLOR OF DEVICES SHALL BE SELECTED BY ARCHITECT.
- 2.06 PANELBOARDS:
- A. PROVIDE BRANCH CIRCUIT PANELBOARD (LOAD CENTER) AS SHOWN ON DRAWINGS AND AS SPECIFIED HEREIN. PROVIDE TIN-PLATED ALUMINUM BUS BARS. MULTIPLE POLE BREAKERS SHALL HAVE HANDLE TIES SO ALL POLES ACT SIMULTANEOUSLY. MAIN BREAKER SHALL BE CENTER MOUNTED. EQUIPMENT RATINGS SHALL EXCEED AVAILABLE FAULT CURRENT (PANELS MAY BE SERIES FAULT RATED). PROVIDE TYPED CIRCUIT DIRECTORY UNDER PLASTIC COVER IN EACH PANEL DOOR. CIRCUIT BREAKERS SHALL BE SWITCH RATED. MOUNT PANELS 6"-6" TO TOP.
- 2.07 LIGHTING FIXTURES:
- A. PROVIDE LIGHTING FIXTURES, COORDINATE PROCUREMENT OF THESE FIXTURES WITH OWNER'S REPRESENTATIVE IN A TIMELY MANNER TO MEET JOB SCHEDULES. RECEIVE, UNCRATE, INSPECT, STORE AND PROTECT ALL MATERIAL. INSTALL AND LAMP FIXTURES AS NOTED ON DRAWINGS.
- B. SUBMIT ALL LIGHTING FIXTURES TO OWNER FOR APPROVAL.
- 2.08 SAFETY SWITCHES:
- A. SAFETY SWITCHES SHALL BE GENERAL DUTY TYPE, 250 VOLT, WITH NUMBER OF POLES REQUIRED FOR 120/240 VAC SERVICE. SWITCH SIZE SHALL BE AS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS. WHERE OUTSIDE THE BUILDING, THE SWITCHES SHALL BE RAIN TIGHT TYPE NEMA 3R. ALL SWITCHES SHALL BE LOCKABLE. VERIFY DISCONNECT SIZES WITH EQUIPMENT MANUFACTURERS.
- 2.09 MOTOR WIRING:
- A. WIRE ALL MOTORS TO CONFORM WITH MANUFACTURERS RECOMMENDATIONS AND WITH APPLICABLE CODES. PROVIDE NECESSARY MATERIAL, INCLUDING WIRE, CONDUIT, FITTINGS, ETC. REQUIRED TO CONNECT MOTOR. MOTORS, CONTROLS, ETC. SHALL BE FURNISHED BY THE SUPPLIER OF THE DRIVEN EQUIPMENT. VERIFY EQUIPMENT LOCATION AND SIZES WITH THE TRADE SUPPLYING THE MOTOR BEFORE INSTALLING THE CONDUIT OR OUTLETS.
- 2.10 DATA SYSTEM:
- A. DATA WALL OUTLETS SHALL CONSIST OF STANDARD OUTLET BOXES WITH 2 PAIR OF CAT 6 CABLE TO TELEPHONE INTERFACE. DEVICE COVERPLATES SHALL MATCH RECEPTACLES.
- 2.11 TEMPERATURE CONTROL:
- A. UNLESS OTHERWISE INDICATED ON THE PLANS, ALL CONDUIT, WIRING, BOXES, ETC. FOR TEMPERATURE CONTROLS SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.
- 2.12 LABELING
- A. PROVIDE NAMEPLATES TO IDENTIFY PANELBOARDS, DISCONNECT SWITCHES, ELECTRIC METER AND OTHER MAJOR EQUIPMENT.
- 2.13 GUARANTEE
- A. GUARANTEE ALL MATERIAL FURNISHED AND ALL WORKMANSHIP PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIAL FURNISHED AS PART OF THIS SECTION OR WORKMANSHIP PERFORMED HEREUNDER, SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.
- 2.14 CONDITIONS PRECEDENT TO FINAL ACCEPTANCE:
- A. UPON COMPLETION OF PROJECT, PREPARE AND SUBMIT ONE COMPLETE SET OF ELECTRICAL RECORD DRAWING OF "AS-BUILT" CONDITIONS SHOWING ALL WIRING AS ACTUALLY INSTALLED. PRINTS SHALL ALSO SHOW, AS INDICATED BY MARKED-UP NOTATIONS, ALL DEVIATIONS AND CHANGES OF WIRING AND CIRCUIT NUMBER FROM THE ORIGINAL CONTRACT DRAWINGS.

PANEL SCHEDULE P									
120/240 VOLT, 1 PHASE, 3 WIRE, 22,000 AIC, 200 AMP MAIN CIRCUIT BREAKER									
FLUSH MOUNTED									
CKT	DESCRIPTION	VA	TRIP	KVA		TRIP	VA	DESCRIPTION	CKT
				A	B				
1	EXTERIOR RECEPTACLES	540	20/1	0.92		20/1	377	LIGHTING	2
3	RECEPTACLES	1440	20/1		2.94	20/1	322	LIGHTING	4
5	RECEPTACLES	540	20/1	2.04		15/2	1500	WATER HEATER	6
7	RECEPTACLES	1080	20/1		2.81	-	1500	-	8
9	RECEPTACLES	720	20/1	2.45		25/2	1725	HP-1	10
11	EXTERIOR RECEPTACLES	540	20/1		3.88	-	1725	-	12
13	BF VALVE HEATER	1000	20/1	4.34		30/2	3335	AHU-1	14
15	DEHUMIDIFIER	580	20/1		0.58	-	3335	-	16
17	LANDSCAPE LIGHTING	200	20/1	0.20				SPACE	18
19	LANDSCAPE LIGHTING	200	20/1		0.20			SPACE	20
21	SPARE		20/1					SPACE	22
23	SPARE		20/1					SPACE	24
25	SPARE		20/1					SPACE	26
27	SPARE		20/1					SPACE	28
29	SPARE		20/1					SPACE	30
31	SPACE							SPACE	32
33	SPACE							SPACE	34
35	SPACE							SPACE	36
37	SPACE							SPACE	38
39	SPACE							SPACE	40
40	SPACE							SPACE	41
41	SPACE							SPACE	42

TOTAL CONNECTED KVA 20  
TOTAL CONNECTED AMPS 85

LIGHTING FIXTURE SCHEDULE					
FIXTURE LETTER	DESCRIPTION	MANUFACTURER (OR EQUAL)	CATALOG NUMBER	VOLTAGE	LAMPS
A	RECESSED LIGHT	VISUAL COMFORT	ENCL3R-F-L154 / ENCL3R FD930 W-W	120	LED
B	TRACK LIGHTING	VISUAL COMFORT	700FJTLML6W-LED930	120	LED
C	CEILING MOUNT LIGHT	REJUVENATION	1805318-V1-BA-1221719	120	LED
D	5" ROUND SLIM SURFACE MOUNT FIXTURE	ELITE	RL591-600L-MINTR-120-30K-90-WH	120	LED
E	SCONCE	SCHOOLHOUSE ELECTRIC	107420	120	LED
EX	2 HEAD EMERGENCY BATTERY PACK	WILLIAMS	EMER/LED-WHT-D	120	LED
F	EXTERIOR SCONCE	TBD	TBD TO MATCH EXISTING GLOBES	120	LED
G	EXTERIOR SCONCE	AFX	BWSW70050LBK	120	LED
H	EXTERIOR DOWN LIGHT	HALO	HLB6099FSIEMWR	120	LED
J	FLOOD LIGHT	LITHONIA	HGXLED2RHALQ40K120PEHH	120	LED
K	LANDSCAPE LIGHT	VOLT	VDL-600-25-BBK	120	LED
S	STEP LIGHT	VOLT	VHS-610X-X-BBZ	120	LED
X	EXIT FIXTURE WITH EMERGENCY BATTERY PACK	THE EXIT LIGHT CO.	ELR-G-W-RH-SW	120	LED

CE

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COTTAGE  
RECONSTRUCTION  
76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
CE PROJ. NO. 24-71  
ISSUE DATE: 11/08/2024

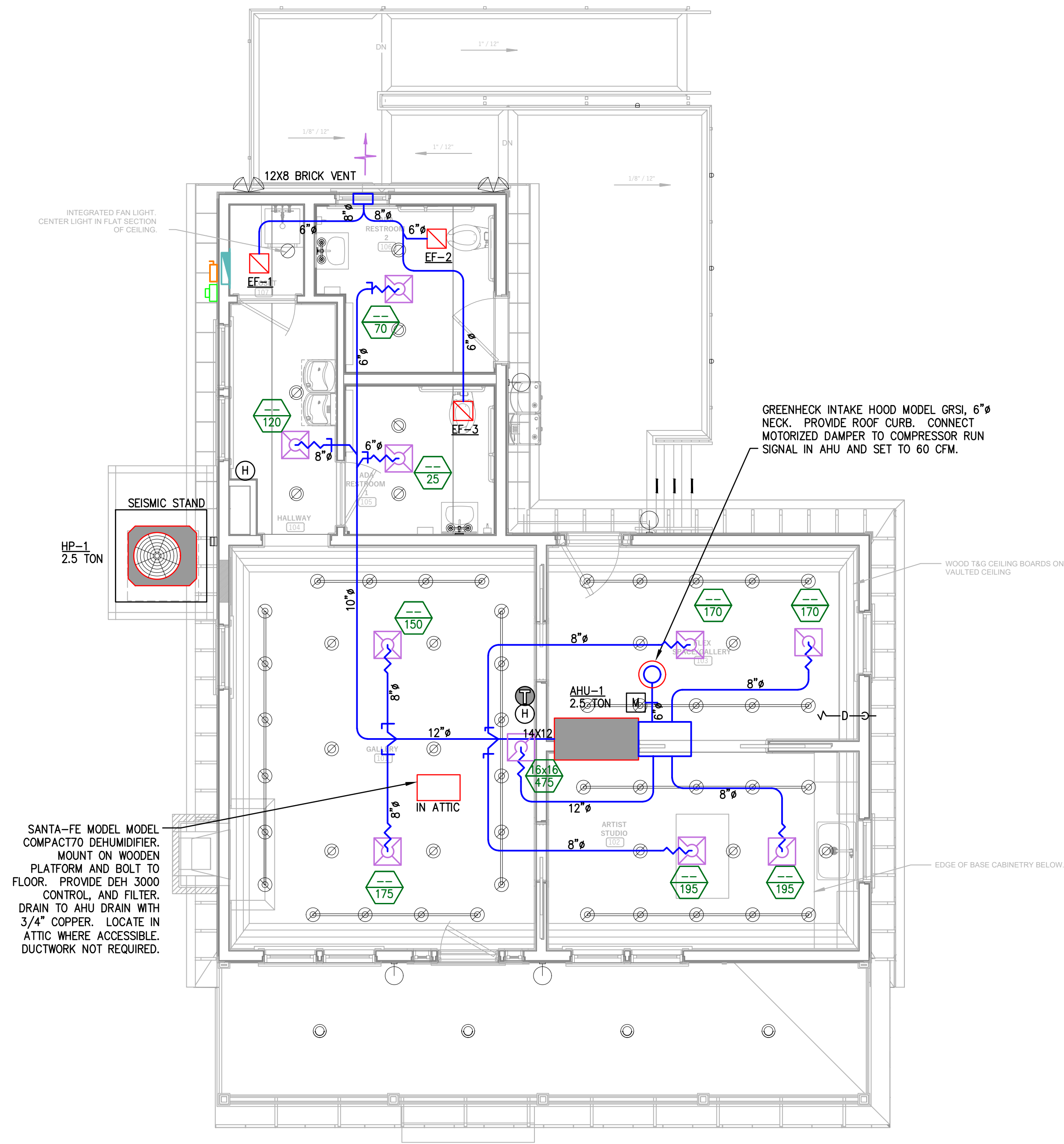
REVISIONS

#	DATE	NOTES
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ELECTRICAL  
SPECS. &  
SCHEDS.

E201





HVAC PLAN  
SCALE: 1/4" = 1'-0"

Air Distribution Device Schedule						
SYMBOL	MAX CFM	MANUFACTURER & MODEL	FACE SIZE	NECK SIZE	SERVICE	REMARKS
①		TITUS CT540			SUPPLY	W/OBD, BORDER 12, TYPE C
①		TITUS CT540			RETURN	W/ BORDER 12, TYPE C
		TITUS 350FL			RETURN	SIZE ON DRAWINGS

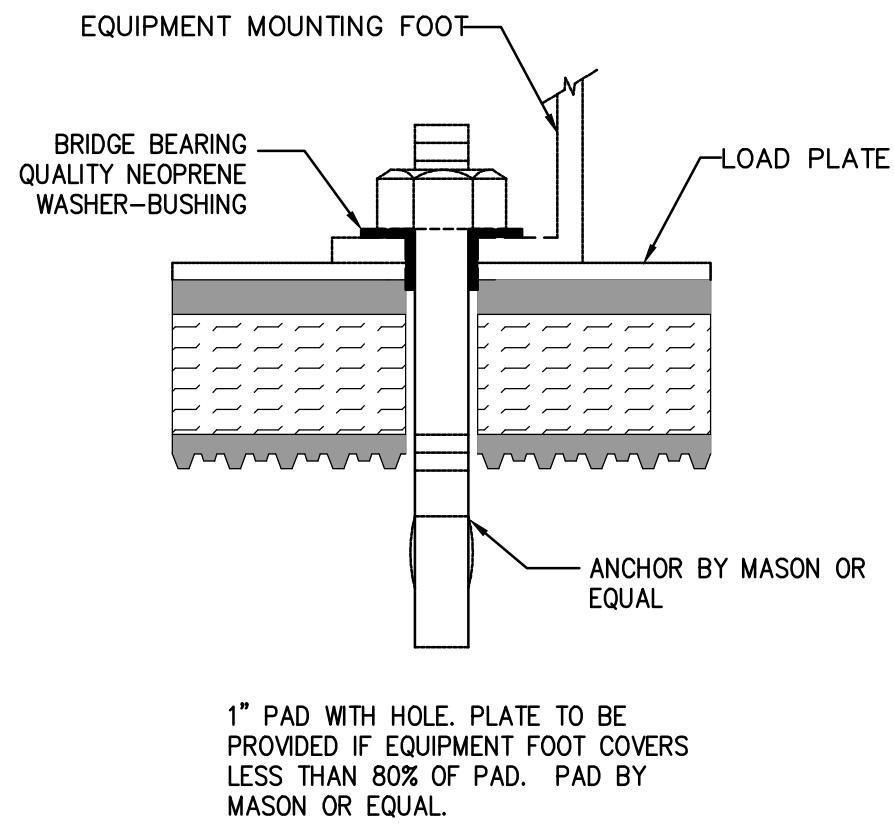
NOTES:

- G.C. MAY SUBSTITUTE ARCHITECTURAL GRILLE IF NECK SIZE AND FREE AREA IS EQUAL. ARCHITECTURAL SUBSTITUTE GRILLES MUST PROVIDE EQUAL THROW AND DISTRIBUTION AS DESIGN GRILLES. SUBSTITUTION GRILLES MUST BE APPROVED BY THE ENGINEER.
- COORDINATE EXACT LOCATIONS WITH REFLECTED CEILING PLANS
- PROVIDE SQUARE-TO-ROUND TRANSITION AS REQUIRED
- COLOR BY ARCHITECT.

GRILLE SPECIAL NOTES:

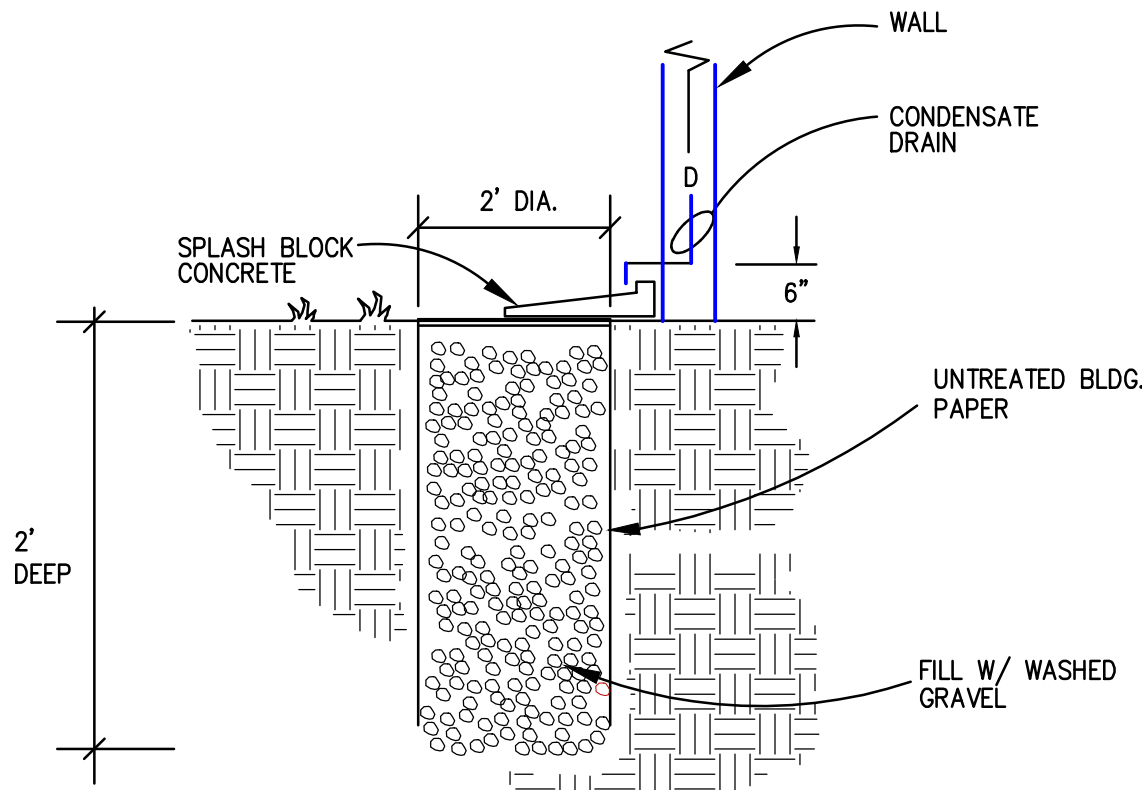
- ① ALL GRILLES ACCEPT LARGE RETURN GRILLES SHALL BE LINEAR BAR GRILLES EQUAL TO TITUS CT 540. FLOOR GRILLES SHALL HAVE BORDER 5, TYPE C HOUSING. ALL LINEAR BAR GRILLES SHALL BE 6 INCHES TALL. LENGTHS OF GRILLES ARE SHOWN ON DRAWING IN INCREMENTS OF 6 INCHES. SEE ARCHITECTURAL DRAWINGS FOR INDICATION OF FLANGE OR FLUSH MOUNT. ALL SUPPLIES SHALL HAVE EITHER A DUCT VOLUME DAMPER OR FACTORY OPPOSED BLADE DAMPER IN THE GRILLE. COLOR BY ARCHITECT. SEE AIR FLOW CHART BELOW:

LINEAR BAR GRILLE LENGTH	MAX CFM
6"	100
12"	200



NOTES:

- FLOOR MOUNTED AHU: BOLT ANGLE FRAME TO FLOOR WITH ANCHOR BOLT AND BUSHING. BOLT THRU NEOPRENE PAD. FRAME MUST BE BOLTED TO FLOOR OUTSIDE OF EMERGENCY PAN.
- PAD-MOUNTED UNIT: BOLT UNIT TO PAD THROUGH VIBRATION PAD WITH ANCHOR BOLT, ANGLE, AND BUSHING.



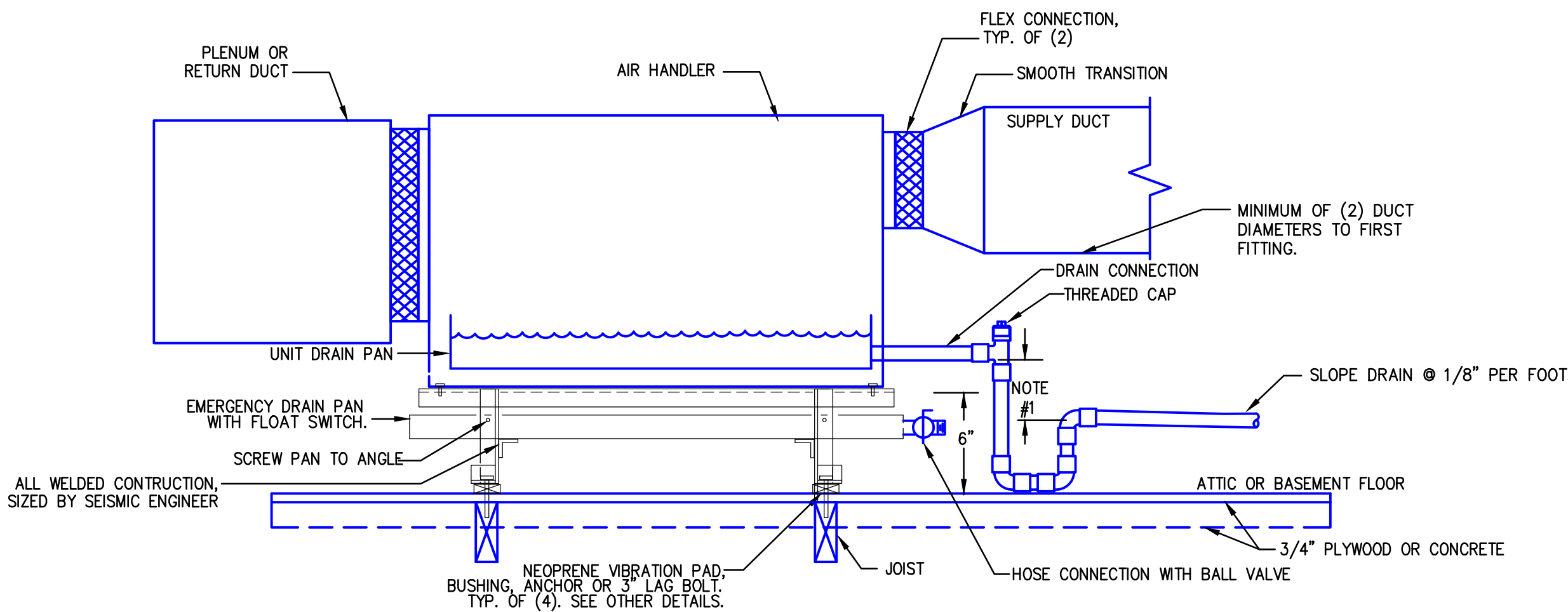
FRENCH DRAIN DETAIL

NO SCALE

- NOTES:
- COORDINATE DRAIN PIPE IN WALL AND ANY PENETRATIONS THROUGH SLABS WITH GC. DO NOT DISCHARGE CONDENSATE ON A SIDE WALK OR DRIVEWAY. COORDINATE ISSUES WITH GC AND ENGINEER.

CONDENSATE DRAIN NOTES:

- GRAVITY DRAIN IS PREFERRED. PUMP CONDENSATE ONLY IF NECESSARY.
- ALL UNITS MUST HAVE FACTORY DRAIN PAN OVERFLOW SENSOR
- FOR CONCEALED HORIZONTAL RUNS, USE 3/4" PVC.
- WHERE CONDENSATE IS EXPOSED, USE 3/4" COPPER.
- IF CONTRACTOR SEES A BETTER PIPE CHASE OTHER THAN WHAT IS INDICATED ON DRAWINGS, HE MAY USE IT. PLEASE NOTIFY ENGINEER.
- PROVIDE ACCESS FOR CLEANOUTS AT MIN. (1) LOCATION PER DRAIN SYSTEM.
- ALL CONDENSATE MUST BE DISCHARGED OUTDOORS AT ROOF, GUTTER, OR PER THE DETAIL.



NOTES:

- DISTANCE SHALL BE 2" OR 1/2" GREATER THAN THE FAN SUCTION PRESSURE (WHICH EVER IS GREATER).
- DRAIN PAN TO BE LARGER THAN UNIT FOOTPRINT & BE WATER TIGHT.
- SEE SPECS. AND OTHER DETAILS FOR ADDITIONAL REQUIREMENTS
- COMPLY WITH CODE SUCH THAT ATTIC INSTALLATIONS HAVE PLYWOOD WALKWAY TO UNIT WITH PLYWOOD ACCESS FLOOR ALL THE WAY AROUND UNIT.

HORIZONTAL FLOOR MOUNTED

AIR HANDLER DETAIL

OPTION #1

NO SCALE

LEGEND

SINGLE LINE	DOUBLE LINE	
		RIGID RECTANGULAR DUCT
		RIGID ROUND DUCT
		FLEX DUCT
		STANDARD BRANCH (CONVERGING OR DIVERGING) W/ 45° ENTRY/EXIT BOOT
		STANDARD BRANCH (CONVERGING OR DIVERGING) W/ 45° ENTRY/EXIT BOOT
		LOCATION OF INCREASER/DECREASER WHEN DUCT CHANGES SIZES.
		RECTANGULAR WYE TURNING VANES
		RECTANGULAR TEE ELBOW W/ TURNING VANES
		ROUND T-FITTING
		RECTANGULAR ELBOW W/ TURNING VANES
		ROUND/OVAL GORED ELBOW (0 TO 90°)
		RECTANGULAR TRANSITION
		ROUND TRANSITION
		AIR DISTRIBUTION DEVICE WITH CFM INDICATED
		SUPPLY
		RETURN/EXHAUST
		THERMOSTAT (4'-0" AFF)
		MANUAL VOLUME DAMPER (BUTTERFLY TYPE)
		DRAIN PIPING
		AHU
		AIR HANDLING UNIT
		HEAT PUMP
		EXHAUST FAN
		HUMIDITY SENSOR
		MOTORIZED DAMPER



DIVISION 15000: HVAC SPECIFICATIONS

GENERAL PROVISIONS:

- A. IN RESPECT TO ALL MATERIALS REQUIRED, THE CONTRACTOR SHALL FURNISH MATERIALS MEETING NEMA, ASME AND ASTM SPECIFICATIONS. THE INSTALLATION OF ALL WORK SHALL CONFORM TO THE 2021 VERSION OF THE INTERNATIONAL MECHANICAL CODE AND ALL AMENDMENTS, AND THE 2009 INTERNATIONAL ENERGY CODE. MECHANICAL CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES FOR MECHANICAL PERMITS PRIOR TO STARTING WORK. MECHANICAL CONTRACTOR SHALL BE LICENSED IN THIS AREA TO PERFORM THE WORK. SEE DIVISION 1, "GENERAL REQUIREMENTS" OF THIS PROJECT SPECIFICATION FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
- B. MATERIALS SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED, AND SHALL BE PROTECTED FROM ALL INJURY UNTIL FINAL ACCEPTANCE OF THE SYSTEM. IF NECESSARY, THE EQUIPMENT MUST BE CLEANED AND SPOT-PAINTED. PROVIDE AN EXTRA SET OF CLEAN FILTERS FOR ALL HVAC UNITS TO OWNER AFTER CONSTRUCTION IS SUBSTANTIALLY COMPLETED.
- C. THIS CONTRACTOR SHALL REMOVE ALL TOOLS, SURPLUS MATERIALS AND DEBRIS OF ALL KINDS FROM HIS WORK AND LEAVE ALL IN A CLEAN, PERFECT CONDITION, FULLY SATISFACTORY TO THE ARCHITECT.
- D. CONTRACTOR SHALL PROVIDE OWNER WITH TWO (2) SETS OF "AS-BUILT" DRAWINGS.
- E. FURNISH ALL MATERIALS, TRANSPORTATION, RIGGING, HOISTING, ETC. TO PROVIDE A COMPLETE AND OPERABLE HEATING, VENTILATING AND AIR CONDITIONING SYSTEM.
- F. ALL EQUIPMENT IS TO BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS, UNLESS NOTED OTHERWISE. GOOD CONSTRUCTION PRACTICES SHALL BE USED IN A TIMELY FASHION THAT DOES NOT DELAY THE WORK OF OTHER TRADES. COORDINATE ALL WORK WITH OTHER TRADES AND WITH THE GENERAL CONTRACTOR TO ENSURE PROPER INSTALLATION OF THE SYSTEM WITH NO INTERFERENCES AND WITH PROPER CLEARANCE.
- G. ALL TEMPERATURE CONTROL WIRING SHALL BE DONE BY THE MECHANICAL CONTRACTOR. USE CONDUIT WHERE EXPOSED. THIS CONTRACTOR SHALL FURNISH ALL REQUIRED CONTROLS AND WIRING DIAGRAMS AND SHALL SUPERVISE INSTALLATION. DELIVER RECORD CONTROLS DRAWINGS TO THE OWNER.
- H. SYSTEM IS TO BE BALANCED BY AN AABC [OR NEBB] CONTRACTOR OR AIRFLOW SERVICES, LLC. . COMPLY WITH SMACNA HVAC TAB TO ACHIEVE AND CONFIRM COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. DELIVER REPORT TO OWNER AND ENGINEER. REPORTS MUST INDICATE A MINIMUM OF THE FOLLOWING MEASUREMENTS: HEATING AND COOLING DELTA-T ACROSS UNITS, CFM OF SUPPLY, RETURN, EXHAUST, AND OUTSIDE AIR AND THEIR ASSOCIATED TEMPERATURES, AND TOTAL AND STATIC PRESSURES. T&B WORK SHALL INCLUDE ANY KITCHEN EXHAUST FANS. ENGINEER REQUIRES T&B TO ADJUST LAST VOLUME DAMPER IN SYSTEM, IF SYSTEM IS ON LOW SPEED, AS NECESSARY TO PREVENT OVER FLOWING OF CFM. THIS INCLUDES MINI SPLITS.
- I. PROVIDE MAINTENANCE MANUALS FOR ALL MECHANICAL SYSTEMS AND EQUIPMENT TO EACH OWNER BEFORE FINAL ACCEPTANCE. ALL SYSTEMS AND EQUIPMENT ARE TO BE GUARANTEED FOR PARTS AND LABOR FOR ONE YEAR (EXCEPT COMPRESSORS SHALL ALSO HAVE 5 YEAR GUARANTEE ON PARTS).
- J. ALL WORK SHALL BE VERIFIED WITH OWNER PRIOR TO PURCHASING ANY EQUIPMENT AND MATERIALS OR PROVIDING ANY LABOR. ANY CHANGES TO THE DESIGN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE ANY WORK IS DONE. MECHANICAL SHALL COORDINATE WITH ANY KITCHEN CONSULTANT DRAWINGS.
- K. CERTIFIED VENDOR SHOP DRAWINGS SHALL BE SUBMITTED FOR EQUIPMENT IDENTIFIED IN JOB SPECIFICATIONS AND DRAWINGS. EXCEPT UNDER SPECIAL PERMISSION, ORDERS SHALL NOT BE PLACED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER. SHOP DRAWINGS SHALL BE UTILIZED FOR DIMENSIONS, CONNECTIONS, ETC., OF ALL EQUIPMENT. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS, CONSTRUCTION DETAILS, ETC.
- L. THE CONTRACTOR MAY SUBSTITUTE ANY EQUIPMENT IN LIEU OF WHAT IS INDICATED ON THE DRAWINGS AND SPECS, PROVIDED IT IS APPROVED BY THE ARCHITECT/ENGINEER. PRE-APPROVED SUBSTITUTE MANUFACTURERS ARE LISTED IN THE SPECS. REQUEST FOR PRIOR APPROVAL OF ANY OTHER MANUFACTURER MUST BE MADE IN WRITING TO THE ARCHITECT/ENGINEER (10) DAYS PRIOR TO THE BID DATE. THE USE OF SUBSTITUTE EQUIPMENT IS THE COMPLETE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AN EQUALLY FUNCTIONAL SYSTEM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE AND COORDINATE ALL REQUIRED CHANGES ASSOCIATED WITH THE SUBSTITUTE EQUIPMENT RELATED TO ELECTRICAL, PLUMBING, PIPING, CONTROLS, STRUCTURAL, DUCTWORK, FIRE PROTECTION, AND OTHER RELATED EQUIPMENT.
- M. SEISMIC EQUIPMENT: ALL NEW, (AND EXISTING IF INCORPORATED INTO THE CONSTRUCTION) MECHANICAL, PLUMBING, AND GAS EQUIPMENT, APPLIANCES, PIPING AND SUPPORTS THAT ARE EXPOSED TO THE WIND AND/OR SEISMIC FORCES, SHALL BE DESIGNED TO RESIST THE WIND AND/OR SEISMIC FORCES IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2021 IMC 301.12, 301.15, 506.3.3, IPC 308.2, 502.4, IFGC 301.10, 301.12). ALL SEISMIC HARDWARE SHALL BE DESIGNED, STAMPED, AND PROVIDED BY A SEISMIC VENDOR SUCH AS CHAPMAN, FAULKNER HAYNES, VIBRO-ACOUSTICS, AND KINETICS. SEISMIC SUBMITTALS ARE TO BE APPROVED AND BECOME PART OF THE CONSTRUCTION DOCUMENTS. BE ADVISED THAT THE GC AND MC MUST WORK WITH STRUCTURAL TO USE THE SEISMIC SUBMITTALS TO ACCOMMODATE THE PARTICULAR EQUIPMENT PURCHASED. SUBSTITUTE EQUIPMENT MAY HAVE DIFFERENT DIMENSIONS. CUSTOM SUPPLEMENTAL METAL SUPPORTS MAY BE REQUIRED. SEISMIC ENGINEERING IS A DELEGATED DESIGN, DELEGATED BY THE MECHANICAL ENGINEER.
- N. ENGINEER/ARCHITECT MUST BE GIVEN FULL OPPORTUNITY TO MAKE ANY INSPECTIONS AS DESIRED, OF ALL PHASES OF CONSTRUCTION AND EQUIPMENT. CONTRACTOR MUST NOTIFY AND PROVIDE ENGINEER WITH OPPORTUNITY TO INSPECT MECHANICAL SYSTEMS BEFORE CEILING IS INSTALLED. ANY WORK WHICH IS BEING IMPROPERLY INSTALLED MAY BE REJECTED AS SPECIFIED IN THE JOB SPECIFICATIONS.
- O. WHEN HVAC EQUIPMENT IS OPERATED DURING CONSTRUCTION, THE MECHANICAL AND GENERAL CONTRACTOR SHALL MAKE EVERY PRECAUTION TO PROTECT THE HVAC SYSTEM DURING OPERATION. CONTRACTORS SHALL KEEP ALL FILTERS CLEAN, NOT OPERATE UNITS WHEN DOORS AND WINDOWS ARE OPEN, AND NOT OPERATE UNITS WHEN SANDING, SWEEPING, PAINTING, ETC. IS BEING DONE. IF UNITS HAVE TO BE OPERATED IN A DIRTY ENVIRONMENT, 2" FILTER MEDIA MUST BE TAPED OVER THE RETURN GRILLS.
- P. ENTIRE SYSTEM INCLUDING ALL EQUIPMENT (HVAC EQUIPMENT, CONTROLS, VALVES, GAUGES, ETC.) SHALL HAVE A ONE YEAR EQUAL PARTS AND LABOR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION AS DEFINED BY THE ARCHITECT. ALL ADDITIONAL WARRANTIES SUCH AS THE AIR CONDITIONING COMPRESSORS, SHALL APPLY AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- Q. SEE ARCHITECTURAL DRAWINGS FOR PHASING REQUIREMENTS AND PLAN CONSTRUCTION AND ADDITIONAL EQUIPMENT NEEDED ACCORDINGLY.
- R. LABEL ALL EQUIPMENT AND PIPING WITH PERMANENT SIGNAGE WITH 1" LETTERING. IDENTIFICATION TAGS SHALL BE BY BRIMAR OR EQUAL.
- S. FOR ANY DEMOLITION WORK, WHEN EQUIPMENT IS HATCHED OR NOTED TO BE DEMOLISHED, CONTRACTOR SHALL ASSUME THAT PATCHING IS REQUIRED FOR ANYTHING THAT REMAINS. IF WALLS, FLOORS, ETC. ARE DAMAGED IN THE DEMOLITION PROCESS, G.C. MUST BE MADE AWARE. IF ADDITIONAL DAMAGE TO WALL, FLOORS, ETC. ARE REQUIRED TO COMPLETE MECHANICAL INSTALLATION, G.C. MUST BE MADE AWARE BEFOREHAND. ALL DAMAGE MUST PATCHED.
- T. OWNER MUST UNDERSTAND THAT WHERE APPLICABLE, THE SYSTEMS ARE DESIGNED UNDER THE INTERNATIONAL ENERGY CODE FOR A TARGET THERMOSTAT SET POINT OF 74 DEGREES. THIS SETTING IS HIGHLY RECOMMENDED DURING THE HOT HUMID SUMMER, NOT ONLY FOR ENERGY EFFICIENCY, BUT ALSO FOR HUMIDITY REDUCTION. IF THE OUTDOORS IS DRY, THE SYSTEM CAN BE SET DOWN TO AS LOW AS 70 DEGREES. ANYTHING LESS THAN 70 IS NOT RECOMMENDED. OWNER MUST PRACTICE GOOD DOOR MANAGEMENT AND KEEP DOORS AND WINDOWS SHUT DURING THE SUMMER. OTHERWISE THERE MAY BE HUMIDITY PROBLEMS. BUILDING ENVELOPE TESTING IS HIGHLY RECOMMENDED AS PART OF THE CONSTRUCTION PROCESS.

DUCTWORK:

- A. LOW PRESSURE (2" PRESSURE CLASS), HIGH PRESSURE (6" PRESSURE CLASS): PER SMACNA "DUCT CONSTRUCTION" CLASSIFICATION. DUCTWORK AND PLENUMS: SEAL CLASS A. LEAKAGE SHALL NOT EXCEED 5%.
- B. LOW PRESSURE DUCT FABRICATION AND INSTALLATION SHALL BE AS FOLLOWS:
- ALL RIGID DUCTWORK SHALL BE GALVANIZED SHEET METAL, UNLESS SPECIFIED DIFFERENTLY BELOW OR ON DRAWINGS. ALL METAL AND FLEXIBLE DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH STANDARDS SET FORTH IN LATEST EDITION OF THE SMACNA "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE".
  - THE GENERAL ROUTES OF THE DUCTS AND PIPES ARE VERBALIZED AND/OR SHOWN ON THE PLANS. THE EXACT ROUTE SHALL BE DETERMINED BY JOB CONDITIONS AND SHALL BE COORDINATED WITH ALL OTHER TRADES. FIELD COORDINATE ROUTING OF DUCTWORK AND PIPING PRIOR TO FABRICATION. ADDITIONAL OFFSETS, FITTINGS, ETC., MAY BE REQUIRED DUE TO CONFLICTS WITH TRADES AND/OR TO MEET FIELD CONDITIONS. OFFSETS, FITTINGS, ETC. SHALL BE FURNISHED AND INSTALLED AS NECESSARY. CONTRACTOR HAS THE OPTION TO PROVIDE SKETCH/PLANS FOR ALTERNATE ROUTING. MUST GET APPROVAL FROM ENGINEER. ALSO MUST UNDERSTAND THAT TESTING AND BALANCE IS REQUIRED TO ACHIEVE THE ASSOCIATED FLOW RATES.
  - DUCT SIZES SHOWN ON THE PLANS ARE DIMENSIONS, AND SHALL BE ADHERED TO UNLESS JOB CONDITIONS REQUIRE ALTERATIONS. REVISIONS TO DUCT SIZES SHALL BE BASED ON THE SAME EQUAL AREA OF DUCTWORK THAT REQUIRES FIELD CHANGES. IF DUCT IS LINED, THE DUCT SHALL BE BUILT TO ACCOMMODATE THE INSIDE DIMENSION SHOWN. CONTRACTOR HAS THE OPTION TO CONVERT TO EQUIVALENT ROUND DUCTS, BUT THE T&B REPORT MUST BE MET FOR EVERY GRILLE, AND IF NOT, THE CONTRACTOR MUST MODIFY DUCTWORK TO ACHIEVE AT HIS COST.
  - ALL RADIUS ELBOWS IN THE DUCT SYSTEM SHALL BE MADE WITH CENTERLINE RADIUS OF ONE AND ONE-HALF (1 1/2) TIMES THE TURNING WIDTH OF THE DUCT. ALL SQUARE ELBOWS SHALL BE INSTALLED WITH SINGLE THICKNESS TURNING VANES. CHANGES IN DUCT SIZES SHALL BE 15 DEG. DIVERGING AND 60 DEG. CONTRACTING, FLOW MAXIMUM ANGLES.
  - HANGERS TO BE 8 FT. CENTERS MAXIMUM WITH 1" X 20 GAUGE MINIMUM STRAPS FOR DUCTS (BENT UNDER BOTTOM OF DUCT AND ATTACHED WITH INSULATION ON THE OUTSIDE OF THE STRAP AND ALL INSULATION PENETRATION SEALED WITH MASTIC). FOR LARGE DUCTS FOLLOW SMACNA FOR HANGER CONSTRUCTION.
  - INSULATED SHEET METAL DUCTWORK SHALL BE SEALED WITH DUCT SEALANT PRIOR TO THE INSTALLATION OF DUCT INSULATION. JOINTS OF UNINSULATED SHEET METAL (EXHAUST DUCT) SHALL BE SEALED WITH DUCT SEALANT. USE UNITED DUCT SEALER, OR DUCTMATE (WATER OR SOLVENT BASED).
- C. INSULATION SHALL BE AS FOLLOWS:
- ALL SUPPLY, OUTSIDE AIR, AND RETURN AIR (EXCEPT AS INDICATED BELOW) SHEET METAL DUCTWORK SHALL BE INSULATED WITH 2.2" THICK FIBERGLASS ALL-SERVICE DUCT WRAP WITH FACTORY-LAMINATED FRK FOIL REINFORCED KRAFT FACING. SEAL INSULATION WITH (2) COATS OF CHILDERS CP-30 OR CP-35 MASTIC (OR EQUAL) AND WITH AN INTERMEDIATE LAYER OF OPEN WEAVE GLASS FABRIC. TAPE WILL NOT BE ALLOWED. ANY DUCTWORK IN ATTIC ABOVE BUILDING INSULATION SHALL HAVE 3 INCHES OF DUCTWRAP.
  - ALL INSULATION ADHESIVE USED FOR APPLYING INSULATION SHALL HAVE FIRE AND SMOKE HAZARD RATINGS AS TESTED UNDER ASTM-84, NFPA-255, AND U.L. 723 NOT EXCEEDING A FLAME SPREAD 25 AND SMOKE DEVELOPED OF 50.
  - DUCT LINER SHALL BE EQUAL TO CERTAINTED TOUGHGUARD DUCT LINER WITH ENHANCED SURFACE AND WITH AN AIR STREAM SURFACE THAT CONTAINS AN EPA REGISTERED ANTIMICROBIAL AGENT. PROVIDE LINED DUCT FOR ALL RETURN PLENUMS AT AHU'S, AND DUCT DROPS INSIDE ROOF CURBS, AND WHERE INDICATED ON DRAWINGS. DUCT LINER SHALL BE 1" THICK WITH 1.5 PCF DENSITY. INSTALL ALL INSULATION IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. UPSIZE DUCTWORK FOR LINED DUCT.
  - DRAIN LINE AND REFRIGERANT INSULATION SHALL BE RUBBER BASTED CLOSED CELL ELASTOMERIC FOAM INSULATION EQUAL TO ARMAFLEX. INSULATION SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM D 1056 OR D1667, FLEXIBLE, CLOSED CELL, POLYETHYLENE/POLYURETHANE PRE-SLIT TUBING. APPROVED MANUFACTURERS ARE HALSTEAD AND NOWACO. SUPPORT REFRIGERANT PIPING AND COPPER DRAIN EVERY 10 FEET WITH UNISTRUT. PROVIDE SADDLES FOR 5/8" REFRIGERANT PIPE AND LARGER AND 1" AND LARGER DRAIN PIPE. SUPPORT PVC DRAIN PIPE EVERY 6 FEET. PROVIDE 3/4" THICKNESS FOR REFRIGERANT LINE AND 1/2" FOR DRAIN LINE. INSULATION EXPOSED TO THE WEATHER SHALL BE FINISHED WITH TWO COATS OF UV PAINT EQUAL TO ARMACELL WB. COLOR BY OWNER/ARCHITECT.
- D. FLEXIBLE DUCTS SHALL BE EQUAL TO FLEXMASTER TYPE 8M INSULATED (R=6), CONFORMING TO UL181 CLASS 1 AIR DUCT WITH A FLAME SPREAD LESS THAN 25 AND A SMOKE DEVELOPMENT OF LESS THAN 50. FLEXIBLE DUCTS SHALL BE USED TO CONNECT BRANCH DUCTS TO AIR DISTRIBUTION DEVICES AND SHALL NOT EXCEED 8 FEET IN LENGTH. FLEXIBLE DUCTS SHALL BE ROUTED AS STRAIGHT AS POSSIBLE AND WITHOUT CRIMPS OR KINKS. FASTEN TO DUCTS AND DEVICES WITH DUCT STRAPS PER MANUFACTURER'S INSTRUCTIONS. SUBSTITUTES MUST ACHIEVE EQUAL SOUND RATINGS. THERMAFLEX M-KE IS AN APPROVED EQUAL.
- E. SQUARE-TO-ROUND SIDE TAKE-OFFS SHALL BE EQUAL TO FLEXMASTER STO WITH DAMPER FOR SUPPLY AND STO FOR RETURN. PROVIDE 26 GAUGE G-90 GALVANIZED STEEL, 1" WIDE PREPUNCHED MOUNTING FLANGES WITH CORNER CLIP AND ADHESIVE GASKETS. DAMPER NOT REQUIRED FOR RETURNS UNLESS INDICATED ON THE DRAWING.
- F. ROUND-TO-ROUND TAKEOFF COLLARS SHALL BE EQUAL TO FLEXMASTER SPST. PROVIDE DAMPER FOR SUPPLY ONLY. PROVIDE WITH FLANGE, AND FOAM GASKET, BUT WITHOUT SCOOP. SECURE COLLAR TO DUCT WITH SHEET METAL SCREWS AND SEAL TO DUCT AIR TIGHT WITH DUCT SEALANT. DAMPER NOT REQUIRED FOR RETURNS UNLESS INDICATED ON THE DRAWING.
- G. FURNISH AND INSTALL ALL MANUAL DAMPERS INDICATED ON DRAWINGS OR NECESSARY TO PROPERLY DISTRIBUTE AND BALANCE AIR. DAMPERS SHALL BE BUTTERFLY TYPE AND BE EQUAL TO FLEXMASTER SLBO WITH 3/8" SQUARE SHAFT, NYLON BEARINGS, INSULATION BUILD OUT AND HEAVY DUTY LOOKING HAND QUADRANT AND INTEGRAL BEADS ON BOTH ENDS. RECTANGULAR DAMPERS SHALL BE EQUAL TO RUSKIN CD-35. FOR ALL VOLUME DAMPERS ABOVE HARD CEILING, WHICH ARE NOT ACCESSIBLE, USE REMOTE CABLE CONTROL SYSTEM BY ZONING REGULATOR (FAULKNER-HAYNES). PROVIDE 270-896C CONTROLLER AND FACTORY DAMPER. EQUAL AND OPTIONAL PRODUCT IS THE ELECTRONIC TYPE, YOUNG REGULATOR MODEL EDB.
- H. PROVIDE FLEXIBLE DUCT CONNECTORS AT SUPPLY AND RETURN OF ALL AIR HANDLERS.

DIVISION 15000: HVAC SPECIFICATIONS

EQUIPMENT:

- A. SPLIT SYSTEM HEAT PUMP UNITS: SPECIFIED UNIT IS TRANE. AMERICAN STANDARD, CARRIER, BRYANT, ICP, YORK, AND LENNOX ARE APPROVED EQUALS IF THEY MEET THE CAPACITIES AND SEERS SCHEDULED. SCROLL COMPRESSOR REQUIRED. INTERNAL PROTECTION DEVICES SHALL INCLUDE TEMPERATURE AND CURRENT SENSITIVE OVERLOADS, LOSS OF CHARGE PROTECTION, SHORT CYCLING PROTECTION, SLOPED DRAIN PAN, AND PRESSURE RELIEF VALVE. FAN MOTOR SHALL HAVE THERMAL OVERLOAD PROTECTION. PROVIDE COMPRESSOR HARD START KIT AND COIL GUARD. ALL MODELS MUST BE UL OR CSA LISTED AND RATED PER ARI STANDARDS. PROVIDE OWNER WITH AN EXTRA SET OF FILTERS. PROVIDE A MINIMUM WARRANTY OF 1 YEAR PARTS AND 5 YEARS COMPRESSOR. FACTORY STARTUP IS REQUIRED FOR ALL BELT DRIVEN AIR HANDLERS. REFRIGERANT PIPING SHALL BE COPPER PIPE AND FITTINGS. REFRIGERANT LINE SIZING PIPE INSTALLATION ARE TO BE BY MANUFACTURER'S RECOMMENDATIONS, ESPECIALLY FOR LONG RUNS. CONDENSING UNIT TO BE SEISMICALLY FASTENED PER IBC. WHERE INSTALLED ON ROOF, FLASHED CURB RAILS ARE REQUIRED.
- B. PROVIDE THERMOSTATS WITH THE FOLLOWING: AUTOMATIC CHANGE-OVER, ON/OFF/AUTO FAN SWITCH, ON/OFF MODE SWITCH, MOUNTED 48" AFF, AND 7 DAY PROGRAMMABLE WITH NO BATTERIES REQUIRED. (2) HOURS OF TRAINING IN THERMOSTAT OPERATION FOR THE OWNER.
- C. LOUVERS AND BRICK VENTS: LOUVERS SHALL BE DRAINABLE WITH BIRD SCREEN AND EXTENDED SILL. BRICK VENTS SHALL HAVE INTEGRAL WATER STOP, EXTENDED SILL AND 1/4" MESH SCREEN. LOUVERS MUST BE AMCA 550 RATED (INTAKE LOUVERS ONLY) AND RATED FOR WIND BORN DEBRIS AND RAIN (AMCA 540) IN THE GEOGRAPHIC LOCATION OF THE JOB. LOUVERS ABOVE 30 FEET DO NOT HAVE TO BE 540 RATED. LOUVER SHALL BE NAILOR 1608OM OR EQUAL. IF BACKDRAFT DAMPER IS SHOWN, PROVIDE NAILOR 1370CB OR EQUAL. BRICK VENT SHALL BE RUSKIN BV-100 OR EQUAL. EQUAL MANUFACTURERS ARE NAILOR, PENN, RUSKIN, NCA, UNITED ENERTECH, OR POTTORFF. CONSTRUCTION SHALL BE EXTRUDED ALUMINUM WITH ANODIZED BRONZE FINISH OR KYNAR COLOR BY ARCHITECT.
- D. ROUND MOTORIZED DAMPERS FOR FRESH AIR SHALL BE 24 VOLT. ROUND DAMPERS SHALL BE FAIL TO CLOSED HONEYWELL MODEL ARD25 OR YOUNG REGULATOR MODEL 4010 OR EQUAL. T&B TO SET MINIMUM & MAXIMUM BLADE POSITION STOP PER THE AHU SCHEDULE OR NOTES. POWER WIRING FROM 24 VOLT TRANSFORMER IN UNIT BY MECHANICAL. RECTANGULAR MOTORIZED DAMPERS SHALL BE 24 VOLT AND EQUAL TO RUSKIN CD-50. INTERLOCK CONTROL WIRING BY MECHANICAL FOR ALL DAMPERS. WIRE TO TIME CLOCK IF INDICATED.
- L. COIL COATINGS: MUST BE ADD ALTERNATE FOR OWNER TO CONSIDER AS IT IS RECOMMENDED. COIL COATINGS ARE REQUIRED FOR ALL CONDENSER COILS AND ALL 100% FRESH AIR UNIT EVAPORATOR COILS. COATING SHALL BE EITHER 1.) A FACTORY APPLIED BY INFINITY COATING SERVICES, APPROVED EQUALS: ELECTRO-FIN / E-COATING, BRONZ-GLOW, OR ADSIL, OR 2.) AN ON-SITE INSUTU SPRAYED COATING BY INFINITY COATING SERVICES, APPROVED EQUALS: LUVATA ES2 WITH STAINLESS STEEL PARTICLES. ALL ON-SITE COATINGS MUST BE DONE UNDER THE PROTECTION OF A TENT OR GUARD. ALL COATINGS MUST HAVE A 5 YEAR WARRANTY.
- M. [FILTERS: ALL FILTERS SHALL BE A MINIMUM OF MERV 13. PROVIDE OWNER WITH A PRICE ADDER TO INSTALL UV LIGHT FILTER IN ALL DUCTED SYSTEMS. PROVIDE OWNER WITH A PRICE ADDER TO INSTALL I-WAVE NEEDLE POINT AIR CLEANER IN ALL DUCTED SYSTEMS.]

Split System Heat Pump Schedule

TAG	AIR HANDLING UNIT							COOLING CAPACITY (NET)				ELEC. RESIST. HEAT			CONDENSING UNIT					REMARKS
	CFM	CFM O.A.	EXT. S. PRESS	FAN H.P.	VOLTAGE	DRIVE	MFR. & MODEL	EAT db/wb	AMBIENT	SH	TC	KW	VOLT	STAGES	SEER	VOLT	M.C.A.	OR. PROTECT	MFR & MODEL	
AHU-1/HP-1	900	60	0.5	1/3	230/1	DIRECT	TRANE GAM580A30M21	76.4/65	95	20.5	28.3	4.8	230/1	1	15.2	230/1	15	25	TRANE 4TWR5030N1	1,2,3,4,8

- REMARKS:
- MOUNT AHU PER DETAILS ON THESE DRAWINGS.
  - PROVIDE AUX. PAN FLOAT SWITCH. INTERLOCK SWITCH WITH FAN SHUT DOWN.
  - PROVIDE SINGLE POINT WIRING.
  - PROVIDE COIL GUARDS.
  - PROVIDE 151V SMOKE DETECTOR, INSTALL PER IMC AND PER SPECS.
  - PROVIDE CONTROLS FOR COOLING OPERATION DOWN TO 35°F OUTDOOR TEMPERATURE.
  - PROVIDE DIFFERENTIAL PRESSURE SWITCH ACROSS FILTER RACK AND INTERLOCK WITH FAN SHUTDOWN.
  - PROVIDE MOTORIZED FRESH AIR DAMPER POWERED BY UNIT TRANSFORMER, INTERLOCK WITH COMPRESSOR RUN.

- NOTES
- E.S.P. INCLUDES ALL LOSSES EXTERNAL TO CABINET.
  - SEE SPECS FOR ADDITIONAL REQUIREMENTS.
  - CAPACITIES ARE NET VALUES.

Exhaust Fan Schedule

TAG	MANUFACTURER OR EQUAL	MODEL	CFM	SP IN WG	HP OR WATTS	DRIVE	ELECTRICAL V/ø	FAN RPM	SONES	MOUNTING	REMARKS
EF-1	GREENHECK	SP-B70	50	0.25	45	DIRECT	115/1	618	2.0	CEILING	1,2,3
EF-2,3	GREENHECK	SP-B110	75	0.25	80	DIRECT	115/1	748	1.1	CEILING	1,2,3

- REMARKS:
- DISCONNECT SWITCH
  - BACKDRAFT DAMPER
  - FAN SPEED CONTROL (MOUNT ABOVE CEILING)

- NOTES:
- EQUALS ARE COOK, PENN, TWIN CITY, AMERICAN COOL AIR, AND SOLER & PALAU
  - SEE ELECTRICAL DRAWINGS FOR SWITCHING.

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CE PROJ. NO. 24-71  
ISSUE DATE: 11/08/2024

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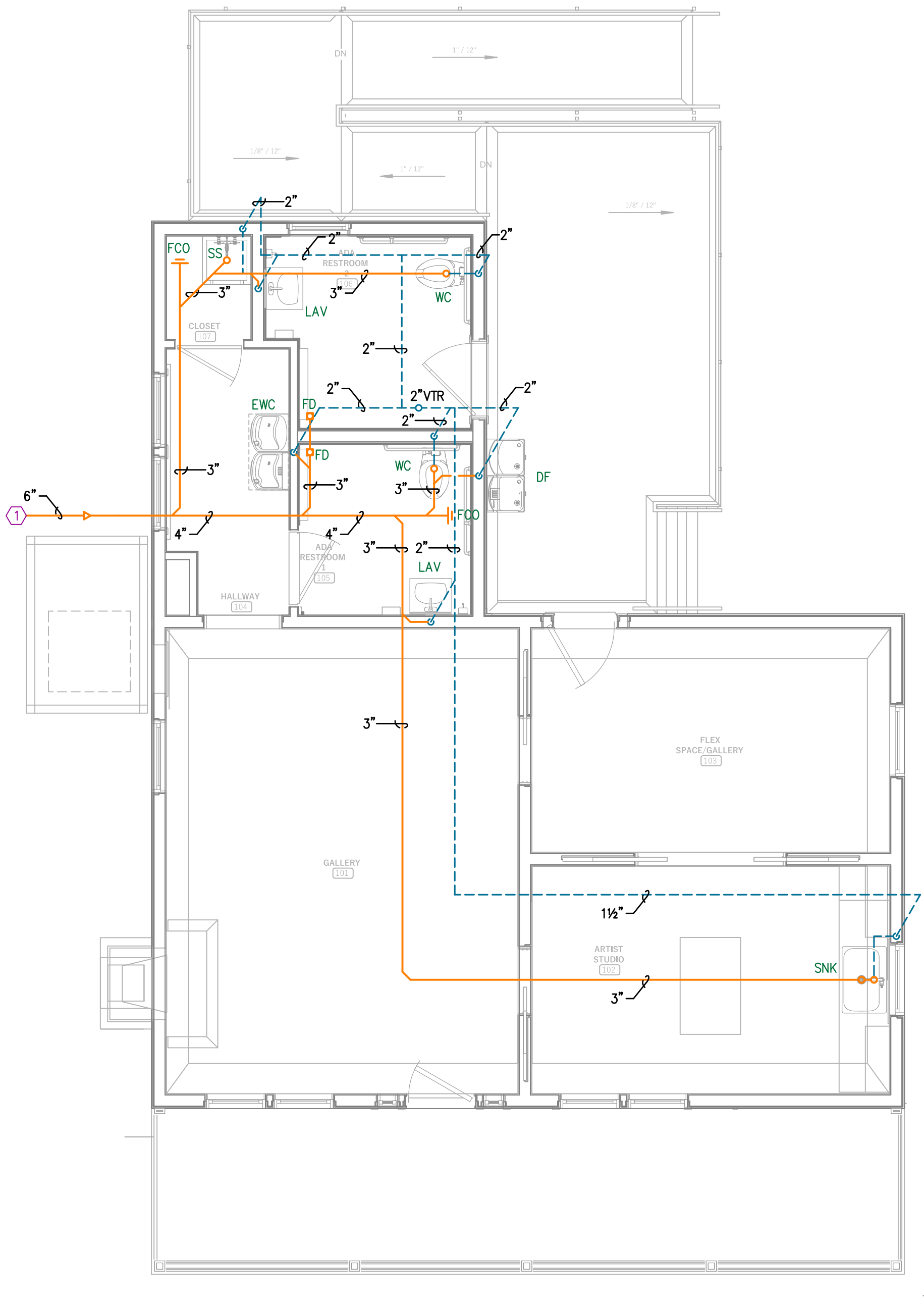
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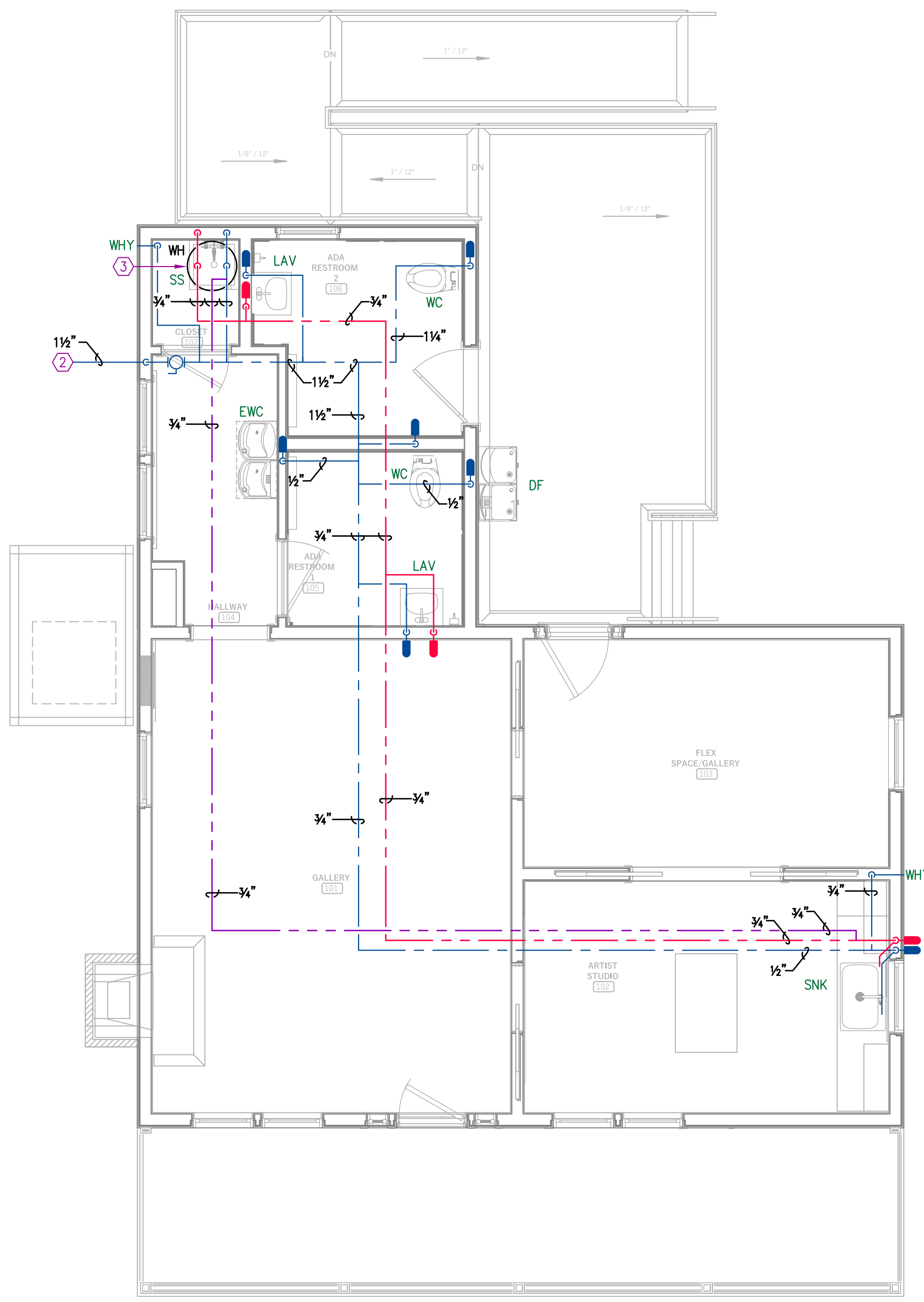
HVAC DETAILS

M201





PLUMBING WASTE PLAN  
SCALE: 1/4" = 1'-0"



PLUMBING WATER PLAN  
SCALE: 1/4" = 1'-0"

PLUMBING NOTES: (APPLICABLE ALL PLUMBING SHEETS)

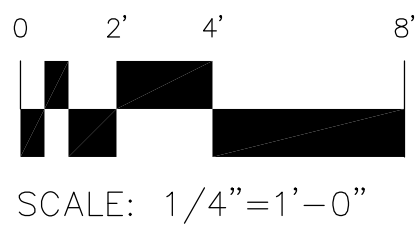
- P1. PLUMBING CONTRACTOR SHALL COORDINATE ALL PIPING WITH GENERAL, HVAC, AND ELECTRICAL CONTRACTORS PRIOR TO FABRICATION AND DURING INSTALLATION. AVOID CONFLICT WITH ELECTRICAL CONDUIT, FIXTURE STEMS, DUCTWORK, EQUIPMENT, ETC. HVAC DUCTWORK SHALL TAKE PRECEDENCE. OFFSET PIPING AS REQUIRED.
- P2. SEE ARCHITECTS PLANS AND STRUCTURAL SHOP DRAWINGS FOR ALL DIMENSIONING.
- P3. PLUMBING CONTRACTOR SHALL CHECK AND VERIFY ALL CLEARANCES PRIOR TO FABRICATION OF INSTALLATION OF ALL PIPING SYSTEMS.
- P4. INSTALL ALL PLUMBING IN ACCORDANCE WITH 2021 INTERNATIONAL PLUMBING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION.
- P5. PLUMBING CONTRACTOR SHALL MAINTAIN THE RATING OF WALLS AND FLOOR FOR ALL PIPE PENETRATIONS THROUGH RATED ASSEMBLIES.
- P6. INSULATE ALL WATER PIPING. INSULATION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND SUBJECT TO APPROVAL BY THE OWNER AND LOCAL AUTHORITY.
- P7. INSULATE ALL ABOVE GROUND PIPING AS SPECIFIED. INSULATION DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND SUBJECT TO APPROVAL BY THE ENGINEER. SEE SPECIFICATIONS FOR INSULATION TYPE AND THICKNESS REQUIRED.
- P8. WHERE JOB CONDITIONS REQUIRE CHANGES FROM THE CONTRACT DOCUMENTS THAT DO NOT CHANGE THE SCOPE OR NATURE OF THE WORK REQUIRED, THE CONTRACTOR SHALL MAKE SUCH CHANGES WITHOUT ADDITIONAL COST TO THE OWNER. NO OTHER CHANGES MAY BE MADE WITHOUT WRITTEN PERMISSION OF THE OWNER.
- P9. PENETRATIONS THRU ANY BEAMS SHALL BE COORDINATED WITH GENERAL CONTRACTOR AND STRUCTURAL ENGINEER OF RECORD PRIOR TO ANY WORK. FAILURE TO DO SO WITHOUT APPROVAL PRIOR TO CUTTING STRUCTURAL MEMBERS SHALL BE SUBJECT TO RETAINAGE OF ALL LIABILITY TO ANY/ALL DAMAGES AT NO ADDITIONAL COST TO OWNER OR GENERAL CONTRACTOR.
- P10. ALL WATER HAMMER ARRESTORS ARE "AA" UNLESS NOTED OTHERWISE.

KEYED NOTES: (APPLICABLE TO THIS SHEET ONLY)

- ① AFTER 4" SANITARY LEAVES THE FOOTING, INCREASE PIPE TO 6". SEE CIVIL FOR CONTINUATION.
- ② SEE CIVIL FOR CONTINUATION.
- ③ SEE WATER HEATER DETAIL FOR PIPING DIAGRAM.

LEGEND	
	EXISTING PIPE
	SOIL OR WASTE
	VENT
	COLD WATER
	HOT WATER
	HOT WATER RECIRC
	CLEANOUT
	FLOOR CLEANOUT
	GRADE CLEANOUT
	GATE VALVE
	CHECK VALVE
	BALANCE VALVE
	BALL VALVE
	VENT THROUGH ROOF
	ROOF DRAIN
	ABOVE FINISHED FLOOR
	FLOOR DRAIN
	ABOVE CEILING
	UNDERGROUND
	FLOOR SINK
	WATER HAMMER ARRESTOR (WHA), P.D.I. = "A"
	CONNECT NEW TO EXISTING
	OWNER FURNISHED CONTRACTOR INSTALLED

NOTE: THESE ARE STANDARD SYMBOLS AND MAY NOT ALWAYS APPEAR ON THE DRAWINGS, HOWEVER, WHERE THE SYMBOL DOES APPEAR, THE ITEM SHALL BE PROVIDED.



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No. 20539

11/18/2024

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PUBLIC  
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PLUMBING  
PLAN

P101

Page 149

NOT FOR CONSTRUCTION

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SCALE SHOWN ON DRAWINGS IS ONLY CORRECT IF THIS SHEET IS PRINTED AT 24"X36"



PLUMBING SPECIFICATIONS

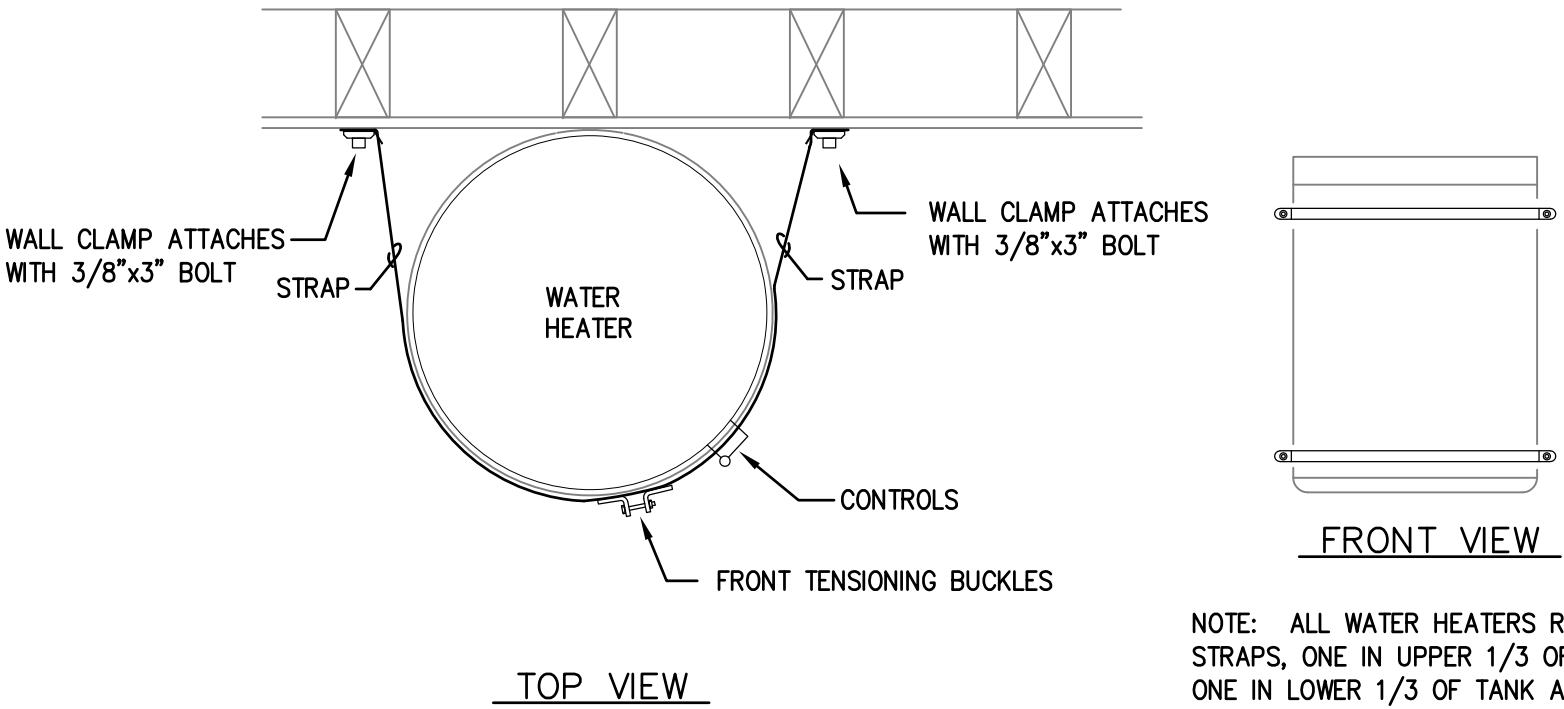
- A. ALL PLUMBING WORK SHALL CONFORM TO 2021 SC PLUMBING CODE, LOCAL CODE REQUIREMENTS, AND THE OWNER'S REQUIREMENTS. PLUMBING CONTRACTOR SHALL BE LICENSED IN THIS AREA TO PERFORM THE WORK.
- B. SANITARY SEWERS AND VENTS INSIDE OF THE BUILDING SHALL BE PVC (ASTM D 2665; ASTM F 891; ASTM F 1488).
- C. ALL WATER LINES SHALL BE TYPE "L" COPPER (WITH LEAD-FREE SOLDER AND FLUXES AND/OR PROPPRESS) AND PEX-A (UPONOR OR APPROVED EQUAL). INSTALLATION SHALL BE IN STRICT REQUIREMENTS OF THE PIPING MANUFACTURER, THE PROPPRESS MANUFACTURER, SPC 2021, AND THE PLASTIC PIPE AND FITTING ASSOCIATION (FOR PLASTIC PIPE). ANY WORK INSTALLED INCORRECTLY SHALL BE REPLACED AT NO COST TO THE OWNER AND/OR ARCHITECT.
- D. INSULATE ALL NEW COLD WATER PIPING INSIDE WALLS AND THROUGHOUT BUILDING COMPLETE (NO EXCEPTIONS) WITH 1/2" THICK INSULATION (EQUAL TO AP ARMAFLEX PIPE INSULATION) WITH SEALED JOINTS PER MANUFACTURER'S INSTALLATION REQUIREMENTS. INSULATE ALL NEW HOT WATER PIPING INSIDE WALLS AND THROUGHOUT BUILDING COMPLETE (NO EXCEPTIONS) WITH 3/4" THICK INSULATION (EQUAL TO AP ARMAFLEX PIPE INSULATION) WITH SEALED JOINTS PER MANUFACTURER'S INSTALLATION REQUIREMENTS. MITER ALL ELS. DO NOT TAPE ANY JOINTS: ALL JOINTS SHALL BE THOROUGHLY SEALED BY THE MANUFACTURER'S REQUIRED SEALING METHOD.
- E. PLUMBING CONTRACTOR SHALL INSTALL SHOCK ARRESTORS IN PIPING SYSTEM TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER. BRANCH PIPING SHALL HAVE ACCESSIBLE SERVICE VALVES. PROVIDE SHUTOFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- F. PLUMBING CONTRACTOR SHALL PROVIDE 2 SETS OF "AS-BUILT" DRAWINGS TO THE OWNER.
- G. LABOR SHALL BE PERFORMED IN A WORKMAN LIKE MANNER BY MECHANICS SKILLED IN THEIR PARTICULAR TRADE. PIPE AND EQUIPMENT SHALL BE INSTALLED SQUARE AND PLUMB AND ACCESSIBLE FOR PROPER OPERATION AND SERVICE.
- H. CUTTING NECESSARY TO PERMIT THE INSTALLATION OF ANY WORK UNDER THIS CONTRACT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR, HOWEVER MUST BE COORDINATED WITH THE GENERAL CONTRACTOR PRIOR TO ANY CUTTING. PATCHING SHALL BE BY GENERAL CONTRACTOR.
- I. PIPING
- ALL PIPING SHALL BE RUN CONCEALED EXCEPT WHERE SHOWN OTHERWISE ON DRAWINGS.
  - VALVES, TRAPS, CLEANOUTS AND OTHER APPARATUS SHALL BE INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
  - SOIL WASTE, VENT, OFFSETS AND HOUSE DRAINS SHALL BE INSTALLED WITH A MINIMUM UNIFORM GRADE OF 1/8" TO THE FOOT.
  - HOT AND COLD WATER LINES SHALL BE AT LEAST 12" APART WHERE PIPING IS PARALLEL.
  - ESCUTCHEON PLATES SHALL BE PROVIDED WHERE ALL PIPE PASSES THROUGH A FINISHED WALL.
  - PROVIDE HANGERS AND SPACING PER SC PLUMBING CODE 2021.
  - WATER PIPING SHALL BE SUPPORTED AT INTERVALS NOT TO EXCEED 6'-0" AND AT EACH CHANGE IN HORIZONTAL OR VERTICAL.

- J. CLEAN OUT ALL NEW LINES, ADJUST ALL VALVES AND CLEAN ALL NEW PLUMBING FIXTURES AND EQUIPMENT.
- K. ALL PARTS OF THE PLUMBING FIXTURES AND ASSOCIATED EQUIPMENT SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE GUARANTEE PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE BUILDING.

L. NOTE: ALL PIPE INSULATION (HOT, COLD PIPE INSULATION) SHALL CONFORM TO THE FIRE AND SMOKE RATINGS BELOW:

FLAME SPREAD - 25 OR LESS  
SMOKE DEVELOPED - 50 OR LESS

- M. GENERAL REQUIREMENTS OF PLUMBING FIXTURES AND TRIM:
- PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL STOPS (HEAVY DUTY), TRAPS, ESCUTCHEONS, CONNECTIONS, AS NECESSARY.
  - TERMINATE ALL WATER ROUGH-INS WITH SHUTOFF VALVES BEFORE CONNECTING EQUIPMENT AND FIXTURES.
  - PURGE ALL WATER LINES BEFORE MAKING FINAL CONNECTIONS.
  - SHOCK ARRESTORS SHALL BE PROVIDED AT AREAS SHOWN AND SHALL BE P.D.I. SIZE AS INDICATED BY SIOUX CHIEF HYDRA-RESTER (NO SUBSTITUTIONS). ALL ARRESTORS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - WHERE THE WORD "FURNISH" OR "INSTALL" APPEARS FOR THE PLUMBING CONTRACT, IT SHALL BE INTERPRETED TO MEAN THE PLUMBING CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SUPPLIES NECESSARY TO INSTALL AND PLACE IN OPERATING CONDITION.
- O. ALL BARE COPPER TUBING SHALL BE ISOLATED FROM CONCRETE AND CONCRETE BLOCK MATERIALS WITH AN INERT BARRIER, A WRAPPING OF INSULATING TAPE, A COATING OF AN ASPHALTUM PAINT OR SOME OTHER APPROVED MATERIAL TO PROTECT PIPING FROM CORROSION.
- P. ALL SANITARY DWV AND DOMESTIC WATER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH IPC SECTION 312.
- Q. ALL NEW POTABLE WATER SYSTEMS SHALL BE DISINFECTED IN ACCORDANCE WITH SCPC SECTION 610.
- R. ALL BALL VALVES IN WATER SERVICE SHALL BE HEAVY DUTY, FULL PORT, QUARTER-TURN BY APOLLO (77FLF-100 SERIES - NO SUBSTITUTIONS).
- S. LABELING: PROVIDE LABELS ON ALL WATER PIPING IN THE OVERHEAD INDICATING FLUID TYPE (COLD WATER, HOT WATER) AND DIRECTION OF FLOW. LABELS SHALL BE INSTALLED NO GREATER THAN 20 FEET APART. DESIGN BASIS IS ELECTROMARK ADHESIVE PIPE MARKERS IN ANSI YELLOW.
- T. PRIOR TO FINAL INSPECTION, A LETTER FROM THE GENERAL CONTRACTOR SHALL BE SENT TO THE ARCHITECT AND ENGINEER OF RECORD THAT
- DOMESTIC WATER PIPING HAS BEEN FLUSHED CLEAN.
  - THAT ALL AERATORS AND SCREENS HAVE BEEN THOROUGHLY CLEANED AND READY FOR USE.
  - THAT ALL SENSOR VALVES HAVE BEEN CALIBRATED PROPERLY AND READY FOR USE.
  - THAT THE THERMOSTATIC MIXING VALVE AT THE WATER HEATER HAS BEEN TESTED AND SET @ 110°F.
  - THAT THE THERMOSTATIC MIXING VALVES AT ALL LAVATORIES HAVE BEEN TESTED AND SET @ 104°F.

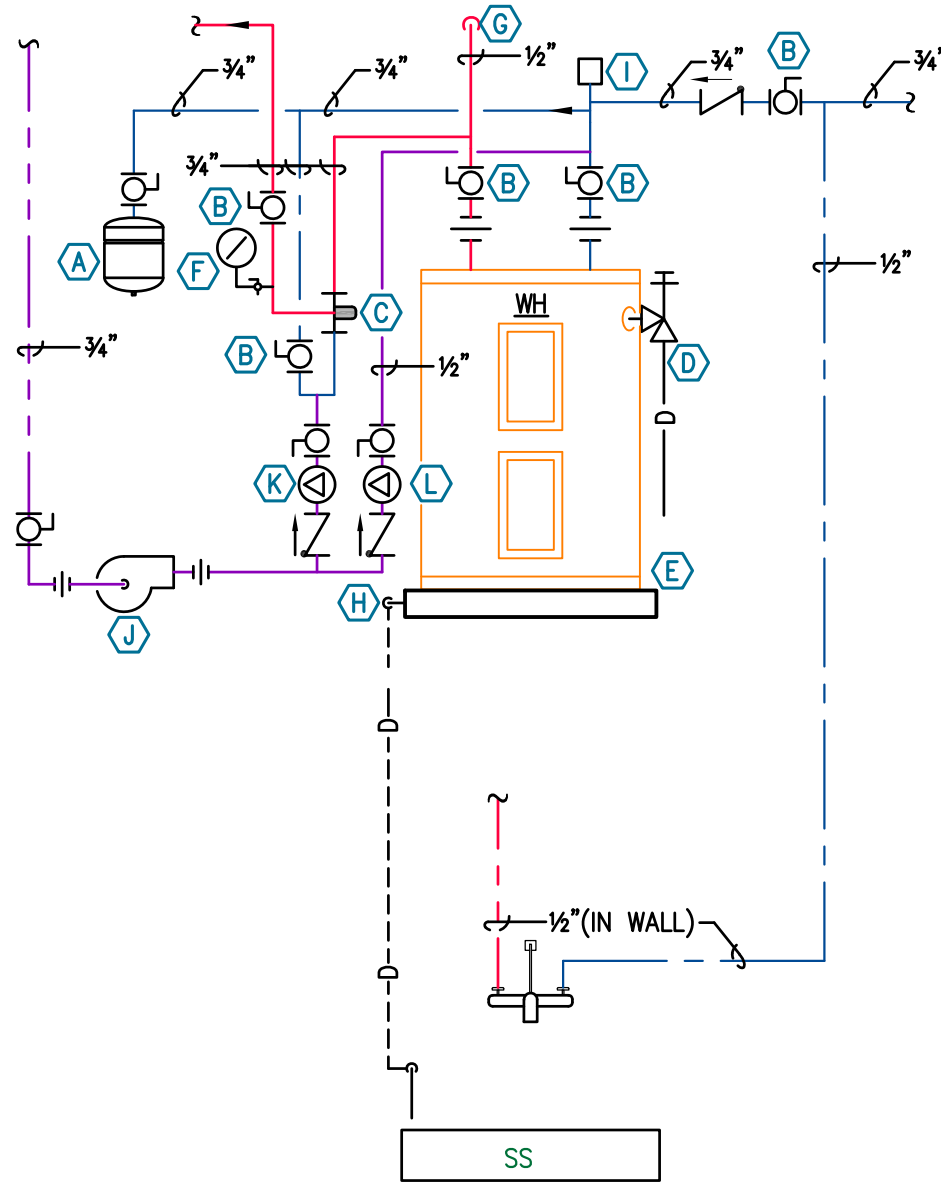


NOTE: ALL WATER HEATERS REQUIRE TWO STRAPS, ONE IN UPPER 1/3 OF TANK AND ONE IN LOWER 1/3 OF TANK AT LEAST 4" AWAY FROM CONTROLS.

SEISMIC DETAIL FOR WATER HEATER  
NOT TO SCALE

Plumbing Fixture Schedule						
SYMBOL	FIXTURE TYPE	WASTE	WATER		VENT	DESCRIPTION
			COLD	HOT		
WC	WATERCLOSET	3"	1 1/4"	-	2"	ADA HEIGHT, FLUSH VALVE, FLOOR MOUNTED, FLOOR OUTLET VITREOUS CHINA WATER CLOSET (SLOAN ST-2029) WITH SENSOR TYPE SLUSH VALVE (SLOAN REGAL 111 SFSM-1.28-TWO). WATER CLOSET SHALL BE FITTED WITH OPEN FRONT SOLID WHITE PLASTIC ANTI-MICROBIAL SEAT (BEMIS 1955CT). PROVIDE HEAVY DUTY STOP (EBC CAH12-CF).
LAV	LAVATORY	1 1/4"	1/2"	1/2"	1 1/4"	WALL MOUNTED WHITE VITREOUS CHINA LAVATORY (SLOAN SS-3103) WITH SENSOR FAUCET (SLOAN SF-2250). INSTALL TO MEET ADA GUIDELINES. PROVIDE HEAVY DUTY STOPS (EBC LAH12-CF) AND ADA PROTECTORS (SLOAN 0365059). PROVIDE GRID DRAIN. PROVIDE THERMOSTATIC MIXING VALVE (LEONARD 170-LF) OUTLET TEMPERATURE = 104°F.
EW	ELECTRIC WATER COOLER	1 1/2"	1/2"	-	1 1/2"	DUAL HEIGHT WALL MOUNTED DRINKING FOUNTAIN WITH BUILT IN FILTER AND INTEGRAL BOTTLE FILLER (ELKAY LZSTLBWSLK). PROVIDE 3 FILTERS IN BOX TO OWNER.
DF	DRINKING FOUNTAIN	1 1/2"	1/2"	-	1 1/2"	EXTERIOR DUAL HEIGHT VANDAL RESISTANT WALL MOUNTED DRINKING FOUNTAIN WITH BUILT IN FILTER AND INTEGRAL BOTTLE FILLER (ELKAY VRCTLBWSK). PROVIDE 3 FILTERS IN BOX TO OWNER.
SNK	STAINLESS STEEL SINK	1 1/2"	1/2"	1/2"	1 1/2"	18 GAUGE STAINLESS STEEL DROP-IN SINK (KOHLER K-20060-1) WITH SINGLE HANDLE PULL DOWN FAUCET (KOHLER K-28358).
SS	SERVICE SINK	3"	1/2"	1/2"	2"	FLOOR MOUNTED MOP SINK (FIAT TSB3000) WITH WALL MOUNTED UTILITY FAUCET (FIAT 830AA). PROVIDE 24" X 24" STAINLESS STEEL WALL GUARD (FIAT MSG2424).
WH	WALL HYDRANT	-	3/4"	-	-	WALL MOUNTED NON-FREEZE STAINLESS STEEL WALL HYDRANT (ZURN Z1321-C).
FD	FLOOR DRAIN	3"	-	-	2"	FLOOR MOUNTED SQUARE HEAVY DUTY FLOOR DRAIN (ZURN ZN415S-VP).
FCO	FLOOR CLEANOUT	4"	-	-	-	FLOOR CLEANOUT WITH VANDAL RESISTANT SCREWS (ZURN ZN-1400-T-VP).

- NOTES:
- PROVIDE HEAVY DUTY ANGLE STOP VALVES, SUPPLY TUBING, P-TRAPS, ESCUTCHEON PLATES, CARRIERS, ETC. FOR COMPLETE INSTALLATION.
  - ALL SUPPLY AND WASTE LINES SHALL BE CONCEALED IN ADJACENT WALL, FLOOR AND CEILING UNLESS NOTED OTHERWISE.
  - FINAL RUN OUT OF PIPING SHALL MATCH SIZE FROM TABLE UNLESS NOTED OTHERWISE.



WATER HEATER DIAGRAM  
NO SCALE

DIAGRAM KEYED NOTES:

- A. POTABLE WATER EXPANSION TANK (ZURN XT-8). PROVIDE THERMAL EXPANSION TANK MOUNTING BRACKET (HOLDRITE QUICK STRAP #QS-U).
- B. PROVIDE 3/4" HEAVY DUTY FULL PORT BALL VALVE (APOLLO 77FLF-100 SERIES).
- C. PROVIDE THERMOSTATIC TEMPERING VALVE FOR HOT WATER DISTRIBUTION EQUAL TO POWERS HYDROGUARD (SERIES LFLM490). INSTALL IN STRICT ACCORDANCE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. SET @ 110°F.
- D. ROUTE BLOWOFF FROM PT VALVE FULL SIZE TO DRAIN PAN.
- E. PROVIDE SAFETY DRAIN PAN. GENERAL CONTRACTOR SHALL PROVIDE SHELF FOR WATER HEATER.
- F. 3" FACE BIMETAL & DIAL THERMOMETER (20-240°F).
- G. 1/2" HW TO SERVICE SINK.
- H. PROVIDE 3/4" COPPER DRAIN FROM DRAIN PAN TO SERVICE SINK. ROUTE DRAIN LINE THROUGH WALL AND TERMINATE WALL AT SINK APPROX 6" ABOVE RIM AND ROUTE TO DRAIN INTO SINK BASIN.
- I. VACUUM RELIEF VALVE (B&G #26).
- J. RECIRCULATING PUMP: B&G PL-30B @ 120 V W/CORD & PLUG. PROVIDE AUTOMATIC TIME CONTROL (PER 2009 IECC COMCHECK).
- K. B&G CB-3/4 CIRCUIT SETTER @ 3.2 GPM.
- L. B&G CB-1/2 CIRCUIT SETTER @ 0.8 GPM.

Water Heater Schedule					
MARK	CAPACITY (GALLONS)	RECOVERY (100' F)	VOLTAGE	ELEMENT WATTAGE	REMARKS
WH	28	10 G.P.H.	240/1	3000	1,2

REMARKS:

- DESIGN BASIS IS BRADFORD WHITE LE232LN3-3.
- SET WATER HEATER @ 120°F (TO CONTROL LEGIONELLA).
- PROVIDE SINGLE PHASE CONVERSION KIT FROM MANUFACTURER. FIELD INSTALL KIT.

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SOUTH CAROLINA  
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No. C00584  
STATE OF SOUTH CAROLINA  
1/18/2024

SARAH RILEY HOOKS  
COTTAGE  
RECONSTRUCTION

76 Bridge Street  
Bluffton, SC 29910

PUBLIC  
PROJECT  
SUBMITTAL

PROJ. NO. 22-0140  
CE PROJ. NO. 24-71  
ISSUE DATE: 11/08/2024

REVISIONS		
#	DATE	NOTES





## MEMORANDUM

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TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from December 18, 2024 to January 17, 2025

DATE: February 1, 2025

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**SUMMARY:** Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
36 Guerrard Ave	Residential Reroof	Angie Castrillon	Approved
70 Boundary St	Heyward House – Shutter replacements	Glen Umberger	Applied
81 Calhoun St	Commercial – Addition of concrete walkway	Angie Castrillon	Applied
206 Bluffton Rd Unit 201	Revive Palmetto Aesthetic & Plastic Surgery Sign	Angie Castrillon	Approved
10 Robertson St	First Zion Missionary Baptist Church - Installation of South Carolina Historical Marker	Glen Umberger	Approved