



## Historic Preservation Review Committee Meeting

Monday, May 05, 2025 at 4:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. PUBLIC COMMENT

#### IV. OLD BUSINESS

#### V. NEW BUSINESS

1. **135 Bridge Street:** A request by Tom Parker Jr, on behalf of owner, Brenda Dunaway, for review of a Certificate of Appropriateness-Historic District, to allow construction of a Center Hall House of approximately 4,318 SF, and a Carriage House of approximately 1,198 SF located at 135 Bridge Street (Parcel R61003900A198B). The property is within the Old Town Historic District and is zoned Riverfront Edge Historic District (RV-HD). (COFA-04-25-019700) (Staff - Sam Barrow)
2. **15 Meriwether Court:** A request by BFL Builders, owner and applicant, for review of a Certificate of Appropriateness-Historic District, to allow construction of a single-family residence of approximately 1,637 SF and a detached Carriage House of approximately 840 SF located at 15 Meriwether Court in the Landon Oaks Development (Parcel R610 039 00A 0388 000). The property is in Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD). (COFA-01-25-019522) (Staff - Sam Barrow)

#### VI. DISCUSSION

#### VII. ADJOURNMENT

**NEXT MEETING DATE: Monday, May 12, 2025**

*“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

*<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>*

*Public comment is limited to 3 minutes per speaker.*



# PLAN REVIEW COMMENTS FOR COFA-04-25-019700

Section V. Item # 1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 04/10/2025  
**Plan Status:** Active **Plan Address:** 135 Bridge St Street  
BLUFFTON, SC 29910  
**Case Manager:** Charlotte Moore **Plan PIN #:** R610 039 00A 198B 0000  
**Plan Description:** A request by Tom Parker Jr, on behalf of owner, Brenda Dunaway, for review of a Certificate of Appropriateness-Historic District, to allow construction of a Center Hall House of approximately 4318 SF, and a Carriage House of approximately 1,198 SF located at 135 Bridge Street (Parcel R61003900A198B). The property is within the Old Town Historic District and is zoned Riverfront Edge Historic District (RV-HD). STATUS (04.10.2025): Scheduled for May 1 HPRC meeting.

## Staff Review (HD)

**Submission #: 1** Recieved: 04/10/2025 Completed: 05/02/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	05/02/2025	Sam Barrow	Approved with Conditions

### Comments:

1. Per UDO Section 5.3.3 and TREE-02-25-0381, a tree canopy with a minimum 75% lot coverage at maturity, not including roof tops, shall be provided.
2. Letter of Agency required for Applicant to act on behalf of property owner.
3. Manufacturers specifications for windows and doors required for final submission.
4. Breezeway. Please provide more information on breezeway materials and construction. The breezeway appears very tall. Flat Roofs are not permitted. (5.14.3.B.1.2)
5. Dormers. Please provide additional information on dormer construction. (5.15.6.E.7)
6. Shutters. Wood composite is permissible if proposed material is consistent with the Historic District and of equal or better quality than traditional materials. Please provide shutter manufacturer specifications (5.15.5.F.4.b; 5.15.6.M.e)
7. Columns. Please provide spacing for second floor porch columns (5.15.6.H.1.a)
8. Railings. Powder coated aluminum is not a permitted railing material. (5.15.6.H.2.d)
9. Please provide additional information on column, pier, and porch railing configurations. (5.15.6.H.3)
10. Foundation. The pierced brick perforations on the Carriage House (Master Suite) right elevation appear too high to be consistent with the design. (5.15.6.O)
11. Window Spacing. Center and evenly space windows on Carriage House (Master Suite) right elevation to achieve horizontal rhythm. (5.15.5.F.4.d)
12. Carriage House Service Yard. The service yard is not permitted to be located on the front elevation. (5.15.5.F.9)

Watershed Management Review	04/25/2025	Samantha Crotty	Approved with Conditions
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### Comments:

1. Stormwater will be reviewed at time of building permit submittal.

Beaufort Jasper Water and Sewer Review	05/02/2025	Matthew Michaels	Approved
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### Comments:

Comments may be provided at final submission

HPRC Review	05/02/2025	Sam Barrow	Approved
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### Comments:

Comments may be provided at final submission.

**Comments:**  
No comments

Plan Review Case Notes:



# PLAN REVIEW COMMENTS FOR COFA-01-25-019522

Section V. Item # 2.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 01/03/2025  
**Plan Status:** Active **Plan Address:** 15 Meriwether Court  
BLUFFTON, SC 29910  
**Case Manager:** Charlotte Moore **Plan PIN #:** R610 039 00A 0388 0000  
**Plan Description:** A request by BFL Builders, owner and applicant, for review of a Certificate of Appropriateness-Historic District to allow construction of a single-family residence of approximately 1,637 SF and a detached Carriage House of approximately 840 SF located at 15 Meriwether Court in the Landon Oaks Development (Parcel R610 039 00A 0388 000). The property is in Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD).  
**STATUS (04.17.2025):** Scheduled for May 5, 2025 HPRC meeting

## Staff Review (HD)

**Submission #: 1** Recieved: 01/03/2025 Completed: 05/02/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	05/02/2025	Matthew Michaels	Approved with Conditions

### Comments:

Comments may be provided at time of Final Plan submission.

HPRC Review	05/02/2025	Charlotte Moore	Approved with Conditions
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### Comments:

- Overall, there are multiple window types and proportions. Consider using one to two types and make the windows more proportional with each other.
- All of the exposed rafters should match. It appears that breezeway, front porch, and garage brackets are different.
- The overhang for the garage bracket detail needs to be greater. Dimension that overhang, but it needs to be the same or greater than the house. Consider increasing the pitch of that roof as there is too much space between it and the second floor windows.
- Study the windows on front garage elevation; they look too small in that mass and are not proportional to the rest of the windows in that elevation.
- Study the windows on the second floor on the north elevation; they appear too far under the soffit.
- Study the windows on the south elevation; there are a lot of window types and too many head heights. There is also too much blank wall space on that elevation.
- In the west garage elevation, there is too much blank wall space. Suggest adding a window and repositioning the upper window to get it away from the roof.
- In the east side elevation, the window is too close to the roof; consider repositioning away from the roof.
- Wood blocking on exposed rafters against the house should be parallel to the wall.
- Change the soffit material on the typical wall section to match the brackets and the breezeway.
- Instead of wrapping the porch beams, consider making them heavy timber like the garage brackets and breezeway.
- Advise against using clips for rafter to beam details on the breezeway and garage brackets. Suggest using angle brackets or Simpson screws at these locations.

Watershed Management Review	05/02/2025	Samantha Crotty	Approved with Conditions
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### Comments:

- Show location of adjacent drainage inlet between property and Thomas Heyward Street on plans.
- Recommendation to provide slope stability analysis at time of stormwater submittal.
- Show location of 30-foot drainage easement.

**Comments:**

1. Square Footage: Update the footprint for the main house and Carriage House, as well as the overall square footage (which is heated and unheated areas).
2. Porches: Porch height, as measured from grade to the top of stairs, is shown as 2'-2 1/2". UDO Sec. 5.15.6.E.5.c. requires 30" minimum. A sidewalk from the front porch stairs is usually required to extend to the property line, but this line is adjacent to common area. Should there be a sidewalk connection to the driveway, and a connection from the driveway to the breezeway?
3. Walls: Identify all wall materials on the Final Plan to ensure compliance with permitted wall materials (UDO Sec. 5.15.6.G.3.) Provide details for the "wood panel" and the trim on the East elevation.
4. Columns: Columns for the front porch and deck are shown to be "hollow" without an identified wrapping material. Show material on the Final Plan that complies with a material permitted by UDO Sec. 5.15.6.H.2.a. (termite resistant wood that is painted or natural, cast iron, concrete with smooth finish, brick, stone, tabby or steel). Provide details for the Carriage House stairwell posts. Note: Column base and trim cannot overhang the porch or stoop.
5. Balustrades: Provide balustrade details to show compliance with UDO Sec. 5.15.6.H.2.d. and 3.d. (i.e., material, the top rail must be a minimum of 2-3/4" and balusters spaced a 4"-5" o.c.). The HPC must approve the hog fence railing proposed for the front porch as an alternative material as it does comply with UDO Sec. 5.15.6.2.d. (termite resistant wood, painted or natural wrought iron or cast iron).
6. Windows: The use of four different types of windows with 10 different window pane proportions is proposed. Window pane proportions should be limited to a few similar proportions. The awning window underneath the single-hung window on the East elevation is awkward. The lack of alignment of some windows, as well as placement, is not typical of homes in Old Town, and the grouping of windows in the South elevation creates too much blank space. The West elevation of the Carriage House also appears too blank.
7. Doors: More information for all doors, including the breezeway and garage doors, is needed. Doors must comply with UDO Sec. 5.15.6.I.
8. Roof: The shed roof configuration may cause water to drain into a portion of the rear second floor wall.
9. Trim Details: Provide a typical wall section through the eave for both the main house and the Carriage House with trim details, configurations and dimensions. Some detailing is provided but is not complete. Corner board and water table trim details have not been provided, other than mention of Hardie material on the Project Analysis sheet. Include on the Final Plan to show compliance with UDO Sec. 5.15.6.N. Will a water table be provided for the Carriage House? Cornice, soffit and frieze details must comply with UDO Sec. 5.15.6.P.
10. Skirting: The use of pig-board is permitted, but material and placement to the pier must be provided on the Final Plan. Underpinning must be at least 1" behind the face of the pier per UDO Sec. 5.15.6.).1. Also, information is needed for the vertical skirting for the breezeway porch rear elevation.
11. Breezeway: Provide the Front elevation for the breezeway as details are difficult to see with the views provided. Include stair details.
12. Service Yard: There is only one service yard shown (rear of the Carriage House). Is this intended to serve the main residence, as well? The rear garage door may impede the usefulness of the space. If the door is to remain, it should be aligned with the second-story door. Service yards must be screened per UDO Sec. 5.15.5.F.9. and shown on the Final Plan. Electric meters must also be screened from public view.
13. Landscape Plan: Provide an updated Landscape Plan showing the main house and Carriage House, noting required foundation plantings (UDO Sec. 5.3.7.E.) that includes a planting area of at least eight feet along the Front elevation, and 75% tree canopy coverage at maturity of all trees (UDO Sec. 5.3.3.G.1.). If sidewalks/pathways are to be added, they must also be shown. A Tree Removal Permit is required for trees that are 14" or more in diameter at breast height.
14. Final Plan Submission: For the Final Plan, all required Final Plan items must be completed and provided the COFA application. Applicable materials, dimensions and details must be provided and shown on the Final Plan Additionally, provide a response to the HPRC comments. Failure to provide complete items could delay scheduling the Final Plan for HPC review.
15. For Information: During a staff meeting, it was noted that a material staging area and related activities (parking, dumpster, port-o-lets, etc) would need to be demonstrated prior to receiving a building permit.

Transportation Department  
Review - HD

01/07/2025

Mark Maxwell

Approved

**Comments:**

No comments

**Plan Review Case Notes:**