



Planning Commission Meeting

Wednesday, November 19, 2025 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Planning Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) October 22, 2025 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

- [1.](#) **Adoption of 2026 Planning Commission Meeting Dates:** (Staff - Dan Frazier)
- [2.](#) **Adoption of 2026 Development Review Committee Meeting Dates:** (Staff - Dan Frazier)
- [3.](#) **Chipotle at May River Crossing (Development Plan):** A request by OnPoint Partners, LLC on behalf of First Chatham Bank, for approval of a Preliminary Development Plan application. The project consists of the construction of a single-story 2,385 SF restaurant with associated infrastructure. The property is within the Jones Estate Planned Unit Development (PUD) consists of 1.12 acres identified by tax map number R610 036 000 3211 0000 within the May River Crossing Master Plan at the intersection of May River Crossing Road and Pondberry Road. (DP-08-25-019908) (Staff - Dan Frazier)

VIII. DISCUSSION

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, December 17, 2025

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Planning Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

October 22, 2025

I. CALL TO ORDER

Chairman Wetmore called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Charlie Wetmore
Commissioner Michael Brock
Commissioner Rich Delcore
Commissioner Daniel Grove
Commissioner Will Howard

ABSENT

Vice Chairman Jim Flynn
Commissioner Lydia DePauw

III. ADOPTION OF MINUTES

1. September 24, 2025 Minutes

Commissioner Delcore made a motion to approve the minutes as written.

Seconded by Commissioner Brock.

Voting Yea: Chairman Wetmore, Commissioner Brock, Commissioner Delcore, Commissioner Grove, Commissioner Howard

All were in favor and the motion passed.

IV. PUBLIC COMMENT

Jordan Holloway, 1060 S Innovation Dr, Bluffton - Mr. Holloway shared concerns regarding the S Innovation Dr connection being proposed as part of the Novant Health Bluffton Medical Center Development Plan.

V. OLD BUSINESS

VI. NEW BUSINESS

1. Unified Development Ordinance Amendments (Public Hearing): Amendments to the Town of Bluffton's Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance, Article 5 – Design Standards - Accessory Buildings. (Staff - Angie Castrillon)

Chairman Wetmore opened the public hearing. He asked for the first, second and third call for public comment. There were no public comments. The public hearing was closed.

Staff presented. The commissioners questioned what would happen to carports structures that are already in place but do not meet the proposed standards. There was discussion regarding the maximum lot coverage percentage being proposed and how to keep them

standard across the board. The Commission shared concerns regarding if lot size should be a factor in allowing more than one carport on a site.

Commissioner Howard made the motion to recommend approval of the amendments to the Town of Bluffton Code of Ordinances Chapter 23 – Unified Development Ordinance, as submitted by Town Staff with the exception of the Maximum Lot Coverage being proposed.

Seconded by Commissioner Delcore.

Voting Yea: Chairman Wetmore, Commissioner Brock, Commissioner Delcore, Commissioner Grove, Commissioner Howard

All were in favor and the motion passed.

2. **Novant Health Bluffton Medical Center (Development Plan):** A request by Hilton Head Medical Center, LLC, for approval of a Preliminary Development Plan application. The project consists of a three (3) story 243,800 SF hospital with associated drives, parking, landscape, and utility infrastructure. The property is within the Buckwalter Planned Unit Development (PUD) and consists of approximately 17.8 acres identified by the tax map numbers R610 029 000 2487 0000 and R600 029 000 2410 0000 located west of Buckwalter Parkway south of Bluffton Parkway within the Parkway Corners Initial Master Plan. (DP-07-25-019862) (Staff - Dan Frazier)

Staff presented. The applicant was present. There was discussion regarding the Innovation Dr connector being proposed and the concerns with it connecting to a private road. The commissioners questioned if any other secondary access points were considered.

Commissioner Brock made a motion to approve the application with the following stipulation:

1. Innovation Drive South cannot serve as the secondary access off-site improvement for the hospital.

Seconded by Commissioner Howard.

Chairman Wetmore made a motion to amend the motion to include the following to the stipulation:

1. Innovation Drive South, "through the Retreat at Grande Oaks neighborhood", cannot serve as the secondary access off-site improvement for the hospital.

Seconded by Commissioner Delcore.

Voting Yea to amend the motion: Chairman Wetmore, Commissioner Brock, Commissioner Delcore, Commissioner Grove, Commissioner Howard

Voting Yea to the amended motion: Chairman Wetmore, Commissioner Brock, Commissioner Delcore, Commissioner Grove, Commissioner Howard

All were in favor and the motion passed.

VII. DISCUSSION

VIII. ADJOURNMENT

Commissioner Howard made a motion to adjourn.

Seconded by Commissioner Grove.

Voting Yea: Chairman Wetmore, Commissioner Brock, Commissioner Delcore, Commissioner Grove, Commissioner Howard

All were in favor and the motion passed. The meeting adjourned at 7:03pm.

DRAFT



TOWN OF BLUFFTON 2026 PLANNING COMMISSION Meeting and Application Submission Schedule

MEETING DATES	APPLICATION SUBMISSION DATES
January 28, 2026	December 31, 2025
February 25, 2026	January 28, 2026
March 25, 2026	February 25, 2026
April 22, 2026	March 25, 2026
May 27, 2026	April 29, 2026
June 24, 2026	May 27, 2026
July 22, 2026	June 24, 2026
August 26, 2026	July 29, 2026
September 23, 2026	August 26, 2026
October 28, 2026	September 30, 2026
November 18, 2026**	October 21, 2026
December 16, 2026**	November 18, 2026
January 27, 2027	December 30, 2026

REGULAR MEETINGS ARE HELD THE 4th WEDNESDAY OF EACH MONTH AT 6:00 P.M.

**** The November 25, 2026 meeting will be held one week earlier due to holiday.**

****The December 23, 2026 meeting will be held one week earlier due to the holiday.**

Please Note:

1. For submission requirements and information please consult www.townofbluffton.sc.gov or phone (843) 706-4500.
2. The proper forms and filing fee (as indicated on the Master Fee Schedule) must accompany all submittals. Incomplete submittals will NOT be accepted.
3. Meetings will be held on scheduled meeting dates unless otherwise advertised with FOIA compliance.
4. All new applications, required revisions and information relative to previously submitted applications must be submitted four (4) weeks prior to the meeting date in order to be placed on the agenda.



TOWN OF BLUFFTON

2026 DEVELOPMENT REVIEW COMMITTEE

Meeting and Application Submission Schedule

Section VII. Item #2.

DRC MEETINGS ARE HELD EVERY WEDNESDAY FROM 1:00 P.M. – 3:00 P.M.
APPLICATION SUBMISSION DATES ARE TWENTY (20) BUSINESS DAYS PRIOR TO DRC MEETING DATES

Please Note:

1. For applications, submission requirements, and general information, please consult www.townofbluffton.sc.gov or call 843.706.4500.
2. No incomplete submittals will be accepted.
3. The proper forms and filing fee (as indicated on the [Master Fee Schedule](#)) must accompany all submittals.
4. Meetings will be held on scheduled meeting dates unless otherwise advertised.
5. Minimum requirements for specific applications or resubmittals are listed on project applications.

Meetings are subject to change based on conflicts due to scheduling, meeting locations and observed holidays.

PLANNING COMMISSION

STAFF REPORT

Department of Growth Management



MEETING DATE:	November 19, 2025
PROJECT:	Chipotle at May River Crossing Preliminary Development Plan
APPLICANT:	OnPoint Partners, LLC
PROJECT NUMBER:	DP-08-25-019908
PROJECT MANAGER:	Dan Frazier Planning Manager Department of Growth Management

REQUEST: The Applicant, OnPoint Partners, LLC, on behalf of the property owner First Chatham Bank, is requesting approval of a Preliminary Development Plan application. The project consists of a single-story 2,385 SF restaurant with associated infrastructure (Attachment 1).

INTRODUCTION: The property is zoned Jones Estate Planned Unit Development (PUD) and consists of approximately 1.12 acres identified by tax map number R610 036 000 3211 0000 located within the May River Crossing Master Plan (Attachment 2).

BACKGROUND: This application is for a Preliminary Development Plan located within the Jones Estate PUD and is subject to the standards set forth in the Jones Estate PUD Development Agreement and Concept Plan, the May River Crossing Master Plan, and the Unified Development Ordinance Sections 5.3 and 5.10 (Attachment 3).

As reflected in the revised site plan, the application proposes a 2,385 SF restaurant with a pull-up window and associated parking, accesses, landscaping, and water, sewer, and drainage utilities. The subject property, Parcel A-4, is governed by the May River Crossing Master Plan, as such, any proposed building on this parcel must front the adjacent park amenity. The site is accessible from May River Crossing Road and Pondberry Road within the May River Crossing development. The subject parcel is an outparcel within May River Crossing and utilities have been stubbed to serve this site (Attachment 4).

In support of the proposed development, 29 onsite parking spaces are required (Jones Estate PUD, ZDSO 90/3 Modifications Section 5.2.1.1) calculated at 12 spaces per 1,000 SF of gross floor area. The Applicant proposes 27 spaces on-site and utilizing 2 adjacent off-street parking spaces, in an effort to minimize potential impacts to the onsite 52" Live Oak. If the concrete area adjacent to the restaurant is to serve as an outdoor seating patio, three additional parking spaces will be required. The allocation of off-site parking spaces must be provided in the letter of approval from the May River Crossing POA at time of Final Development Plan submittal.

The Preliminary Development Plan was reviewed at the October 8, 2025, Development Review Committee (DRC) meeting (Attachment 5). To demonstrate conformance with the May River Crossing Master Plan, the item was reviewed again at the October 22, 2025, DRC meeting (Attachment 6). The Applicant provided a response to comments and revised plans on October 23, 2025. An updated site plan reflecting a minor change in foundation plantings and patio area was provided on October 31, 2025 (Attachment 7 and 4).

The subject parcel is within the Highway Corridor Overlay District and will require a Certificate of Appropriateness reviewing landscaping, lighting, and architecture at time of final development plan approval.

REVIEW CRITERIA & ANALYSIS: The Planning Commission shall consider the criteria set forth in Section 3.10.3.A of the Unified Development Ordinance in assessing an application for a Preliminary Development Plan. The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.10.3.A.1. Conformance with the applicable provisions provided in Article 5, Design Standards.

Finding. The property lies within the Jones Estate PUD and therefore is subject to, and in conformance with, the standards set forth in the Jones Estate PUD Development Agreement and Concept Plan, the May River Crossing Master Plan, and the Unified Development Ordinance Sections 5.3 and 5.10.

2. Section 3.10.3.A.2. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.

Finding. Town Staff finds that the Preliminary Development Plan is in conformance with the Jones Estate PUD Development Agreement and Concept Plan, the May River Crossing Master Plan, and the Unified Development Ordinance Sections 5.3 and 5.10.

3. Section 3.10.3.A.3. If the proposed development is associated with a previously approved Master Plan, then the traffic and access plans shall adhere to the previously approved traffic impact analysis or assessment, where applicable. If an application is not associated with a previously approved PUD Master Plan, then a traffic impact analysis shall be required at final development plan submittal.

Finding. The traffic and access plan adheres to the previously approved traffic impact analysis. The overall May River Crossing development provides one point of access to May River Road and two points of access to Okatie Highway (SC Highway 170).

4. Section 3.10.3.A.4. The proposed development must be able to be served by adequate public services, including, but not limited to, water, sanitary sewer,

roads, police, fire, and school services. For developments that have the potential for significant impact on infrastructure and services, the applicant shall be required to provide an analysis and mitigation of the impact on transportation, utilities, and community services.

Finding. The subject parcel is an outparcel within May River Crossing and utilities have been stubbed to serve this site.

Finding. Letters from the agencies providing public services will be required at time of Final Development Plan submittal per the Applications Manual.

5. **Section 3.10.3.A.5. The phasing plan, if applicable, is logical and is designed in a manner that allows each phase to fully function independently regarding services, utilities, circulation, facilities, and open space, irrespective of the completion of other proposed phases.**

Finding. The project is proposed to be completed in a single phase.

6. **Section 3.10.3.A.6. The application must comply with applicable requirements in the Applications Manual.**

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

PLANNING COMMISSION ACTIONS: The Planning Commission has the authority to take the following actions with respect to the application as authorized by Section 2.2.6.C.5 of the UDO:

1. Approve the application as submitted;
2. Approve the application with conditions; or
3. Deny the application as submitted.

RECOMMENDATION: Should the Planning Commission choose to approve the application with conditions, Town Staff finds that the following condition should be met prior to final development plan approval to be in accordance with the requirements of Section 3.10.3.A:

1. The allocation of off-site parking spaces must be provided in a letter of approval from the May River Crossing POA at time of Final Development Plan submittal.

ATTACHMENTS:

1. Application and Narrative
2. Vicinity Map
3. May River Crossing Master Plan
4. Revised Site Development Plans 10 31 25
5. DRC Comments 10 8 25 and Original Site Plan 08 22 25
6. DRC Comments 10 22 25
7. Response to DRC Comments 10 23 25



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION

ATTACH
Growth Management Custom Section VII, Item #3.
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: OnPoint Partners, LLC		Name: N/F First Chatham Bank / <i>Cadence Bank by merger</i>	
Phone: 803-261-8776		Phone: <i>314.488.9832</i>	
Mailing Address: 1315 Whittaker Drive, Columbia, SC 26206		Mailing Address: <i>9994 Manchester Rd Ste 63119</i>	
E-mail: oppartnerscre.com		E-mail: <i>Tom.brown@cadencebank.com</i>	
Town Business License # (if applicable):			
Project Information			
Project Name: May River Crossing - Chipotle	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Final	
Project Location: Old Moreland Road	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment	
Zoning District: PUD	Acreage: +/- 1.55		
Tax Map Number(s): R610-036-000-3211-0000			
Project Description: Development of Parcel A-4 in May River Crossing commercial center. Development consists of paving, grading, and water, sewer, and drainage utility installation to serve the proposed building.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) full sized copies and digital files of the Preliminary or Final Development Plans. <input checked="" type="checkbox"/> 2. Project Narrative and digital file describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 3. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>[Signature]</i>		Date: <i>8/27/25</i>	
Applicant Signature: <i>Taylor Wolfe</i>		Date: 9/3/2025	
C04BC84FD3F3480...			
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

THOMAS & HUTTON

50 PARK OF COMMERCE WAY | SAVANNAH, GA 31405
912.234.5300 | WWW.THOMASANDHUTTON.COM

MAY RIVER CROSSING - CHIPOTLE **BLUFFTON, SOUTH CAROLINA**

PROJECT NARRATIVE

J – 26430.2000

October 22, 2025

Project Introduction and Overview

This application is for Preliminary Development Plan approval of the Outparcel A-4, now or formerly owned by First Chatham Bank, of the previously approved May River Crossing development, located within the Jones Estate PUD.

The Town of Bluffton approved the Concept Plan and a Development Agreement for the Jones Estate PUD in April 2000. The Concept Plan defines the allowed land uses in the various areas of the Jones Estate Planned Unit Development Area. The documents also define the development standards, which govern all development activity within the Concept Plan, including May River Crossing. These negotiated land uses and development standards are binding upon the Town and this Applicant. The Concept Plan and Development Agreement set the binding framework for this Application.

Development of this portion of May River Crossing is largely governed by the May River Crossing Master Plan as well, which was originally approved in 2016. Since that time, developmental Master Plan compliance has been evaluated based on interpretations by the Town of Bluffton. Specifically, given the adjacency of Parcel A-4 to a park amenity in May River Crossing, it is required that any proposed building on Parcel A-4 must front the park without any on-site drive aisles splitting them to be considered Master Plan compliant.

Project Specific Description

May River Crossing is continuing development with the development of Outparcel A-4. The project is located within the Jones Estate PUD, and is located at the intersection of May River Crossing Road and Pondberry Road, near the intersection with SC HWY 170. The project area includes parcels R610-036-000-3211-0000. The total area submitted for permitting is +/- 1.12 acres, however the total project limits amount to +/- 0.71 acres. The project scope consists of water and sewer laterals, storm drainage infrastructure and an asphalt roadway to serve the proposed commercial Chipotle building.

Existing Conditions

The property is predominantly cleared, and in some areas filled, per site development plans for May River Crossing Phase 1. Similarly, water, sewer, and drainage utilities, as well as established accesses have been provided to the project site in compliance with the previously approved Master Plan. The building footprint has been sited to be master plan compliant, and paved areas have been laid out to minimize potential impacts to existing significant trees.

Soil Conditions

Existing soil conditions information was compiled from the Soil Survey of Beaufort County South Carolina, USDA Soil Conservation Service. The project area generally contains Seabrook (Sk) and Wando (Wd) fine sands. Hydrologic Soil Groups (HSG) within the project area are generally classified as A.

Wetland Verification

An Approved Jurisdictional Determination (AJD) was received from the United States Army Corps of Engineers confirming no jurisdictional wetlands exist on the subject site.

Topography

May River Crossing is situated on a predominantly sandy site with elevations ranging from elevation 36 along the Highway 170 right-of-way to 44 in the southwestern quadrant of the property with the site primarily draining to the east.

The project site was previously filled to a crowned finished pad elevation of 38, per site development plans for May River Crossing Phase 1 with the site primarily draining to catch basins located within the roads that bound the site.

Parking Standards

Parking shall comply with section 5.2.1.1 of the Development Standards Ordinance Modifications dated April 19, 2000 in the Jones Estate Plan Development Concept Plan based on use. Given the commercial use of the project site, this portion of development will comply with 12 spaces per 1,000 square feet of gross floor area.

Total Gross Floor Area:	2385 SF
Total Parking Stalls Required:	29
ADA Stalls Required per Total Required:	2

Similarly, parking standards will be reviewed in accordance with Publix CORE Outparcel Parking Requirements. Section 4.1.h.i states that each Outparcel should contain no less than 5 spaces per 1,000 square feet of Leasable Floor Area.

Total Parking Stalls Required:	12
--------------------------------	-----------

Per conversations held with Town Staff, and in an effort to minimize potential impacts to the onsite 52" Live Oak, we respectfully request allowance to deviate from Section 5.2.1.1 of the UDO by proposing two less parking stalls than what would be typically required. This allowance would bring our parking density to 11 spaces per 1,000 square feet of gross floor area.

Total Parking Stalls Proposed:	27
ADA Stalls Provided:	2

Access & Construction Traffic

The property will be accessed from Pondberry Road, which can be accessed from SC HWY 170.

Site Design and Development Standards

Architectural guidelines are currently governed by the Declaration of Covenants, Conditions and Restrictions for Towne Centre at New Riverside. The project site also falls within the Highway Corridor Overlay District (HCOD) and shall comply to these standards. The applicant intends to responsibly exercise the design functions entrusted to the applicant as the private developer under the Concept Plan and Development Agreement.

Stormwater Management System

May River Crossing is situated within the New River watershed, a 303(d) impaired waterbody as classified by the state of South Carolina. The stormwater detention pond on parcel R610-036-000-0593-0000 is the primary management device for the entire development to intercept and treat runoff prior to discharging to the Great Swamp tributary. Stormwater runoff will be attenuated to pre-development levels for the 2-, 10-, 25-, 50-, and 100-year, 24-hour rainfall events.

At the project site, an underground storm piping system has been stubbed out for use of the commercial development. The preliminary SoLoCo Compliance Calculator, provided with this submittal, takes into account the "Project Limits" (PL) boundary shown on sheet C1.1. The required treatment and retention volume is planned to be met through pervious paver parking spaces, we anticipate HSG A, highly infiltrative soils in this area (>0.5 in./hr.) and therefore do not plan to use underdrains at this time. However, an underdrain may be required should the geotechnical results show unfavorable soil conditions. The geotechnical report for this site will be provided with the stormwater review package.

Setbacks

All buildings are required to meet Fire & Building Code requirements prior to construction.

Ownership and Maintenance of Common Areas

Common infrastructure, open space and drainage development in May River Crossing will be maintained in accordance with existing and proposed maintenance agreements between property owners.

Utility Service

- Power and gas will be provided by Dominion Energy.
- Telephone services will be provided by Sparklight.
- Fire Protection will be provided by the Bluffton Township Fire District.
- Water & Sewer will be owned and operated by BJWSA.

Proposed Roadway Section

The May River Crossing - Chipotle Pavement Section will consist of the following:

- Width = Varies
- Section = Pitched
- Material = Standard Asphalt Pavement and Pervious Paver Parking Spaces
- Right-of-way = N/A
- Drainage = Pervious pavers, curb Inlets, and drainage piping

VICINITY MAP

CHIPOTLE AT MAY RIVER CROSSING

DEVELOPMENT PLAN



LEGEND

Symbol	Use	Area	Sq. Ft.	Parking Ratio	Parking Provided	Parking Provided
A	Major Grocery Anchor		52,000		260	
A1	Retail/Restaurant		3,500		18	
A2	Retail/Restaurant		6,060		30	
A3	Retail/Restaurant		6,060		30	
A4	Retail/Restaurant		5,000		25	
A5	Retail/Restaurant		1,225		6	
SUBTOTAL		13.16	73,845	5/1,000 sq.ft.	369	369
B	Restaurant	1.33	7,500	12/1,000 sq.ft.	30	30
C	Restaurant	1.34	2,500	12/1,000 sq.ft.	30	30
E	Restaurant	1.44	7,250	12/1,000 sq.ft.	87	87
G	Restaurant	1.52	4,500	12/1,000 sq.ft.	54	54
F	Office	3.82	44,000	3.5/1,000 sq.ft.	154	154
TOTAL		22.61	134,595		724	724

OUT PARCEL USES AND SQUARE FOOTAGE YIELDS AS SHOWN ARE AN ESTIMATE AT THIS TIME AND SHALL NOT BE LIMITED TO THOSE SHOWN.

REFER TO THE NARRATIVE FOR PARKING REQUIREMENTS

REFER TO THE MAY RIVER CROSSING GREENSPACE PLAN FOR SPECIFICS REGARDING OPEN SPACE AND PERVIOUS / IMPERVIOUS SUMMARIES.

EXISTING TREES
60' COMMERCIAL
BUFFER
75' COMMERCIAL
SETBACK
PARK

FUNCTIONAL OPEN
SPACE
75' COMMERCIAL
SETBACK
60' COMMERCIAL
BUFFER

50' BUFFER

NOTES:
1) PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE UPON REVIEW OF VARIOUS GOVERNMENTAL AGENCIES.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY LOCATION & DEPTH OF ALL UTILITIES PRIOR TO BEGINNING WORK & NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE EXISTING TREES WHICH ARE TO REMAIN.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- CONTRACTOR SHALL LIMIT CLEARING ACTIVITIES & TREE REMOVAL TO AREAS INDICATED ON PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AREA CLEARED OUTSIDE THE LIMITS AND ANY DAMAGE TO REMAINING TREES.
- ALL VERTICAL ELEVATIONS REFER TO NAVD 88 DATUM.
- ALL HORIZONTAL GEOMETRIES REFER TO NAD83 DATUM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL COORDINATE ALL WORK WITH THE OWNER AND UTILITY COMPANIES.
- THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANY WAY INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THOMAS & HUTTON.
- ALL EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ARE TOP OF PAVEMENT OR FINAL DIRT GRADE (INCLUDING TOPSOIL) IN GRASSED AREAS UNLESS OTHERWISE INDICATED.
- CALL BEFORE YOU DIG: 1-800-282-7411. FOR COUNTY WATER AND SANITARY SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- GRASSED AND LANDSCAPE AREAS SHALL BE GRADED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT TREES RETAINED. PROVIDE 4" MIN. TOPSOIL IN ALL LANDSCAPE AREAS.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. A MINIMUM 18 INCHES VERTICAL SEPARATION MUST BE MAINTAINED.
- WHEN CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, THE WATER MAIN MAY BE LAID CLOSER TO A SEWER (ON A CASE-BY-CASE BASIS) PROVIDED THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. IT IS ADVISED THE SEWER BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND BE PRESSURE TESTED TO ASSURE WATER-TIGHTNESS PRIOR TO BACKFILLING.
- THE MINIMUM DEPTH OF COVER OVER WATER LINES SHALL NOT BE LESS THAN 36" IN ANY CASE. WHERE IT IS IMPOSSIBLE TO MAINTAIN 36" COVER AND 18" MINIMUM SEPARATION, THE 36" COVER WILL BE MAINTAINED AND BOTH WATER AND SEWER LINES WILL BE CONSTRUCTED OF ONE SECTION EACH OF DUCTILE IRON PIPE. THE PIPES SHALL BE SUPPORTED AND CENTERED AT THE CROSSING WITH MECHANICAL JOINTS ON EACH LINE AT BOTH SIDES OF THE CROSSING.
- THE REQUIRED MINIMUM 3 FT. OF COVER SHALL BE MAINTAINED ON THE EXISTING DOMESTIC AND FIRE SERVICE LINES. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING WATER VALVES AND HYDRANTS. AT NO TIME SHALL FLOW TO DOMESTIC WATER AND FIRE PROTECTION SUPPLY LINES BE DISRUPTED.
- PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC; THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY ACCEPTABLE MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY ACCEPTABLE MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
- FLUSH THE NEW WATER, SEWER, AND NON-POTABLE PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE COMPLETED AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. A MINIMUM FLUSHING VELOCITY OF 2.5 ft/sec MUST BE ACHIEVED TO PURGE ALL FOREIGN MATERIAL FROM ALL PROPOSED MAINS.
- ALL JURISDICTIONAL WETLANDS ARE SUBJECT TO FEDERAL PROSECUTION BY THE ARMY CORPS OF ENGINEERS FOR WETLAND VIOLATIONS.
- THERE ARE NO PROPOSED JURISDICTIONAL WETLAND IMPACTS AS PART OF THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR CONNECTING BUILDING ROOF LEADS, WATER CONNECTIONS, AND SANITARY CONNECTIONS. ALL LOCATIONS AND ELEVATIONS TO BE VERIFIED WITH BUILDING ARCHITECTURAL, PLUMBING AND FIRE PROTECTION PLANS. CONTRACTOR REQUIRED TO COORDINATE ALL BUILDING LEAD LOCATIONS AND ELEVATIONS WITH BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- REFERENCE SURVEYS: THOMAS & HUTTON
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN ACCEPTABLE BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM EFFINGHAM COUNTY.
- AN ACCEPTABLE WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL MATERIALS USED AND COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
- IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTION TO THE COUNTY SYSTEM. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO BEAUFORT COUNTY SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE TIE-IN OF NEW WATER AND SEWER FACILITIES WITH BJWSA.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ENGINEER AS-BUILT SURVEY IN AUTOCAD FORMAT. AS-BUILT SURVEY TO INCLUDE TWO COPIES OF SURVEY AND BE SIGNED BY REGISTERED LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA.
- GROUNDWATER RECHARGE - PERMANENT STORMWATER INFILTRATION BASINS SHALL NOT BE CONSTRUCTED IN SIGNIFICANT RECHARGE AREAS HAVING HIGH POLLUTION AND SUSCEPTIBILITY.

SPOT ELEVATION LEGEND

DESCRIPTION	PROPOSED	EXISTING
FINISHED GRADE	FG 16.90	FG 16.90
TOP OF PAVEMENT	TP 16.90	TP 16.90
TOP OF CURB	TC 16.90	TC 16.90
TOP OF WALK	TW 16.90	TW 16.90
TOP OF WALL	WT 16.90	WT 16.90
BOTTOM OF WALL	WB 16.90	WB 16.90

ABBREVIATIONS

DBL	DOUBLE	FM	FORCE MAIN (SANITARY SEWER)	OC	ON CENTER	SS	SANITARY SEWER
BOT	BOTTOM	FP	FINISH PAD	PC	POINT OF CURVE	TC	TOP OF CURB
CB	CATCH BASIN	FPW	FIRE PROTECTION	PH	POST HYDRANT	TH	THROAT ELEVATION
CI	CURB INLET	FR	FRAME	PT	POINT OF TANGENT	TG	TOP OF GUTTER
CO	CLEAN OUT	GI	GRATE INLET	PVC	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT
CPP	CORRUGATED PLASTIC PIPE	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
DBL	DOUBLE	HDPE	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TYP	TYPICAL
DI	DITCH INLET	HI	HOODED INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET
DIP	DUCTILE IRON PIPE	IINV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
EL	ELEVATION	JB	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	W/	WITH
ES	END SECTION	LF	LINEAR FEET	R/W	RIGHT-OF-WAY	WV	WATER VALVE
FES	FLARED END SECTION	MAX	MAXIMUM	SD	STORM DRAINAGE	YI	YARD INLET
FG	FINISH GRADE	MIN	MINIMUM	SDMH	STORM DRAINAGE MANHOLE		
FH	FIRE HYDRANT	MH	MANHOLE	SF	SQUARE FEET		

GENERAL PROJECT/SITE INFORMATION

COUNTY: BEAUFORT COUNTY

MUNICIPALITY: TOWN OF BLUFFTON

ZONING: PUD

PROPERTY OWNER
COMPANY/DEPT.: N/F FIRST CHATHAM BANK
ADDRESS: 111 BARNARD STREET, SAVANNAH, GA 31401
TELEPHONE: (912) 629-2936

DEVELOPER
NAME/TITLE: TAYLOR WOLFE
COMPANY/DEPT.: ONPOINT PARTNERS, LLC
ADDRESS: 1315 WHITTAKER DRIVE, COLUMBIA, SC 29206
TELEPHONE: (803) 261-8776

ENGINEER
NAME/TITLE: GRIFFIN SAVEDGE, P.E.
COMPANY/DEPT.: THOMAS & HUTTON
ADDRESS: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405
TELEPHONE: (912) 234-5300

ARCHITECT
COMPANY/DEPT.: WILKUS ARCHITECTS
ADDRESS: 15 NINTH AVE N. HOPKINS, MN 55343
TELEPHONE: (952) 941-8660

GEOTECHNICAL ENGINEER
NAME/TITLE: TBD
COMPANY/DEPT.: TBD
ADDRESS: TBD
TELEPHONE: TBD

TOPOGRAPHIC AND BOUNDARY SURVEYOR
COMPANY/DEPT.: THOMAS & HUTTON
ADDRESS: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405
TELEPHONE: (912) 234-5300

BUILDING DEPARTMENT
NAME/TITLE: ROB CURRALL
COMPANY/DEPT.: TOWN OF BLUFFTON/BUILDING OFFICIAL
ADDRESS: 20 BRIDGE STREET, BLUFFTON, SC 29910
TELEPHONE: (843) 706-7810

FIRE DEPARTMENT:
NAME/TITLE: DAN WILTSE
COMPANY/DEPT.: BLUFFTON FIRE DISTRICT
ADDRESS: 357 FORDING ISLAND ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 757-2800

SANITARY & WATER SERVICE:
NAME/TITLE: MATTHEW MICHAELS
COMPANY/DEPT.: BEUFORT JASPER WATER & SEWER AUTHORITY
ADDRESS: 6 SNAKE ROAD, OKATIE, SC 29909
TELEPHONE: (843) 967-9250

COMMUNICATION SERVICE:
NAME/TITLE: TRACY TRIMMER
COMPANY/DEPT.: SPARKLIGHT
ADDRESS: 925 FORDING ISLAND RD, BLUFFTON, SC 29928
TELEPHONE: (912) 291-8341

ELECTRIC & NATURAL GAS SERVICE:
NAME/TITLE: DE KELLY PITTINGER
COMPANY/DEPT.: DOMINION ENERGY
ADDRESS: 81 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 816-2907

STORMWATER MANAGEMENT (TOWN):
NAME/TITLE: ANDREA MORENO
COMPANY/DEPT.: TOWN OF BLUFFTON
ADDRESS: 1261 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 706-4500

STORMWATER MANAGEMENT (STATE):
COMPANY/DEPT.: PAMELA WINKLER
COMPANY/DEPT.: SCDHEC-OCRM
ADDRESS: 13662 MCMLLIAN AVE. SUITE 400, CHARLESTON, SC 29405
TELEPHONE: (843) 953-5324

XX1.99

PREFIX SHEET/PAGE NUMBER

PREFIX		L1	LANDSCAPE - PLAN/DETAILS
C0	COVER SHEET	M	MECHANICAL/HVAC
G0	GENERAL NOTES/ LEGENDS	A	ARCHITECTURAL
G1	GENERAL INFORMATION PLAN	P	PLUMBING
EX1	EXISTING CONDITIONS & DEMOLITION PLAN/PROFILE/DETAILS	E	ELECTRICAL
C1	SITE LAYOUT - PLAN/PROFILES/DETAILS	V	SURVEY/MAPPING
C2	WATER & SEWER - PLAN/PROFILES/DETAILS		
C3	PAVING & DRAINAGE PLAN/PROFILE/DETAILS		
C4	GRADING - PLAN/PROFILES/DETAILS		
EC0	EROSION CONTROL - NOTES/LEGENDS		
EC1	EROSION CONTROL PHASE 1 - PLAN		
EC2	EROSION CONTROL PHASE 2 - PLAN		
EC3	EROSION CONTROL PHASE 3 - PLAN		
EC4	EROSION CONTROL DETAILS		

SHEET NUMBERING DETAIL

SCALE: NOT TO SCALE

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	---	---
DITCH		→---
CURB INLET	□	■
GRATE INLET	□	■
JUNCTION BOX	□	■
OUTLET STRUCTURE	□	■

WATER LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	10" W	10" W
SINGLE SERVICE LATERAL	---	---
DOUBLE SERVICE LATERAL	---	---
VALVE AND BOX	⊗	⊗
FIRE HYDRANT W/VALVE & BOX	⊗	⊗
POST HYDRANT	⊗	⊗
REDUCER	▱	▱
BACKFLOW PREVENTOR	▱	▱
CROSS	┌┐	┌┐
TEE	┌┐	┌┐
90° BEND - HORIZONTAL	└┘	└┘
45° BEND - HORIZONTAL	└┘	└┘
22½° BEND - HORIZONTAL	└┘	└┘
11½° BEND - HORIZONTAL	└┘	└┘
BEND - VERTICAL	┌┐	┌┐
CAP	┌┐	┌┐

OTHER UTILITIES LEGEND

DESCRIPTION	EXISTING
NATURAL GAS	UGG
TELEPHONE	OHT
UNDERGROUND TELEPHONE	UTL
ELECTRICITY	OHP
UNDERGROUND ELECTRICITY	UGP

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	---	---
DITCH		→---
CURB INLET (CI)	□	■
CATCH BASIN (CB)	□	■
CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB)	□ OR □	■ OR ■
CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB)	□ OR □	■ OR ■
CURB INLET - BOTH (CI) OR CATCH BASIN - LEFT (CB)	□ OR □	■ OR ■
CONTROL STRUCTURE (CS)	□	■
DITCH INLET (DI)	□	■
GRATE INLET (GI)	□	■
HOODED INLET (HI)	□ OR □	■ OR ■
JUNCTION BOX (JB)	□	■
MANHOLE (SDMH)	□	■
ROLL CURB INLET (RC)	□	■
ROOF INLET (RI)	□	■
YARD INLET (YI)	□	■
FLARED END SECTION (FES)	□	■

GENERAL NOTES & INDEX

MAY RIVER CROSSING - CHIPOTLE

PROJECT LOCATION:
MAY RIVER CROSSING
BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

CLIENT/OWNER:
ONPOINT PARTNERS, LLC
1315 WHITTAKER DRIVE
COLUMBIA, SOUTH CAROLINA 26206

DATUM: HORIZ.: NAD 83

VERT.: NAVD 88

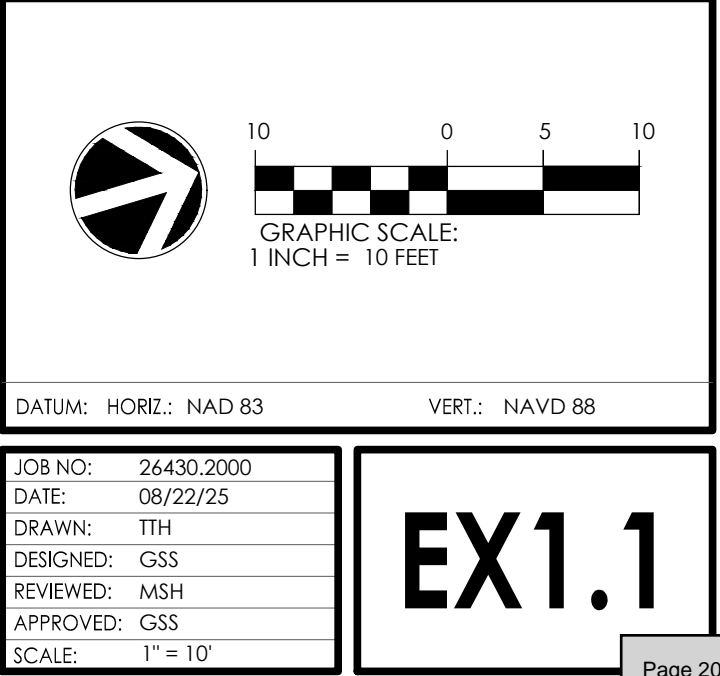
JOB NO: 26430.2000
DATE: 08/22/25
DRAWN: THH
DESIGNED: GSS
REVIEWED: MSH
APPROVED: GSS
SCALE:

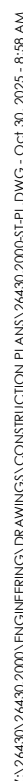
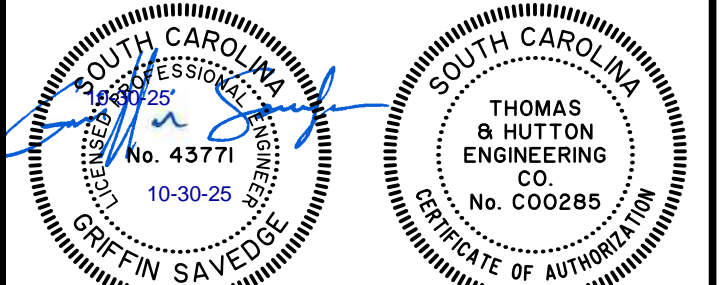
G0.1

SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 10-30-25
 No. C3771
 10-30-25
 OFFIN SAEVDE

SOUTH CAROLINA
 PROFESSIONAL ENGINEER
 10-30-25
 No. C00285
 EXPIRATED

EXISTING CONDITIONS & DEMO PLAN	
<hr/> <hr/>	
MAY RIVER CROSSING - CHIPOTLE	
<hr/> <hr/>	
PROJECT LOCATION:	
MAY RIVER CROSSING BLUFFTON BEAUFORT COUNTY SOUTH CAROLINA	
<hr/> <hr/>	
CLIENT/OWNER:	
ONPOINT PARTNERS, LLC 1315 WHITTAKER DRIVE COLUMBIA, SOUTH CAROLINA 29206	



[illegible]

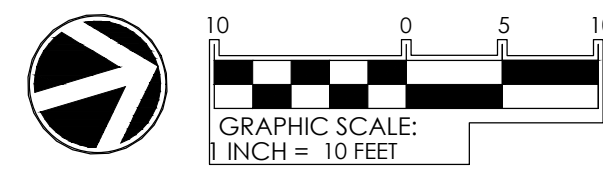
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

SITE PLAN

MAY RIVER CROSSING -
CHIPOTLE

PROJECT LOCATION:
MAY RIVER CROSSING
BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

CLIENT/OWNER:
ONPOINT PARTNERS, LLC
1315 WHITTAKER DRIVE
COLUMBIA, SOUTH CAROLINA 26206



DATUM: HORIZ.: NAD 83

VERT.: NAVD 88

JOB NO:	26430.2000
DATE:	08/22/25
DRAWN:	TTH
DESIGNED:	GSS
REVIEWED:	MSH
APPROVED:	GSS
SCALE:	1" = 10'

C1.1



Larry C. Toomer
Mayor

Dan Wood
Mayor Pro Tempore

Stephen Steese
Town Manager



Bridgette Frazier

Emily Burden
Council Members

Marcia Hunter
Town Clerk

October 8, 2025

Development Review Committee Comments

DP-08-25-019908

Chipotle at May River Crossing (Development Plan): A request by OnPoint Partners, LLC on behalf of First Chatham Bank, for approval of a Preliminary Development Plan application. The project consists of the construction of a single-story 2,385 SF restaurant with associated infrastructure. The property is within the Jones Estate Planned Unit Development (PUD) consists of 0.75 acres identified by tax map number R610 036 000 3211 0000 within the May River Crossing Master Plan at the intersection of May River Crossing Road and Pondberry Road. (DP-08-25-019908) (Staff - Dan Frazier)

Watershed Management – Revisions Required

1. Post Development Land Cover Totals must match (or be very similar to) Contributing Drainage Area Totals in the Compliance Calculator. Revise.

Planning Review – Revisions Required

1. The site plan does not meet the design requirements of the approved May River Crossing Master Plan. Resubmit the site plan to conform to the approved master plan or request to amend the master plan.
2. To conform to the master plan, the building must move eastward to front on the park amenity. A drive through lane cannot wrap around the building and route between the restaurant building and the park amenity. These comments were provided at the pre-application meeting and not addressed with the current application.
3. A preliminary development plan resubmittal is required to address non-conformance with the approved master plan. The revised application will return to the Development Review Committee for review and comment.
4. An approval letter from the applicable POA/ARB is required prior to development plan approval.
5. The subject parcel is within the Highway Corridor Overlay District (HCOD) and will require a Certificate of Appropriateness – Highway Corridor Overlay District (COFA-HCOD) reviewing landscaping, lighting, and architecture at time of final development plan approval.

Building Safety Review – Approved

Planning Review Addressing – Approved with Conditions

1. If applicable, contact Ryan Coleman, Town of Bluffton GIS Manager (843-706-4570 / rcoleman@townofbluffton.com) to request addressing.

Planning Commission Review – Approved with Conditions

*Theodore D. Washington Municipal Building
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone (843) 706-4500 Fax (843) 757-6720
www.townofbluffton.sc.gov*

1. Planning Commission comments may be provided at time of Development Review Committee meeting.

Transportation Department Review – Approved

Police Department Review - Approved

BJWSA – Approved

Fire Department Review – Approved

J:\24430\24430.2000\ENGINEERING\DRAWINGS\CONSTRUCTION\LAND\24430.DWG - AUG 21, 2025 2:59PM



SITE DEVELOPMENT PLAN OF MAY RIVER CROSSING - CHIPOTLE

MAY RIVER CROSSING
BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

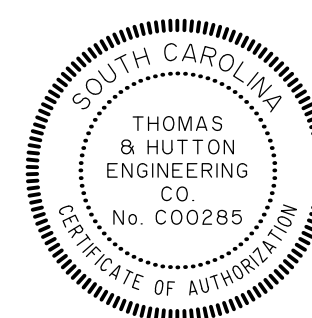
PREPARED FOR:
ONPOINT PARTNERS, LLC
1315 WHITTAKER DRIVE
COLUMBIA, SOUTH CAROLINA 26206

TM# R610-036-000-3211-0000

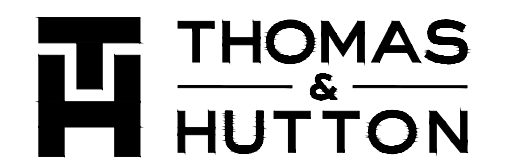
AUGUST 22, 2025

J-26430.2000

PREPARED BY:



Know what's below.
Call before you dig.



50 Park of Commerce Way
Savannah, GA 31405
p.912.234.5300
www.thomasandhutton.com



VICINITY MAP
SCALE: 1" = 1000'

Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
G0.1	GENERAL NOTES & INDEX
EX1.1	EXISTING CONDITIONS & DEMO PLAN
C1.1	SITE PLAN
C1.2	SITE DETAILS

OWNER CERTIFICATION STATEMENT:

I, HEPBLUFF, LLC, CERTIFY THAT THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED ACCORDING TO THE PLAN ACCEPTED BY THE OWN OF BLUFFTON AND SCDHEC. I, HEPBLUFF, LLC, ACKNOWLEDGE AS THE PROPERTY OWNER AND PERSON ULTIMATELY RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY AT THIS SITE AND THE RIGHT OF THE TOWN OF BLUFFTON OR SCDHEC TO CONDUCT ON-SITE INSPECTIONS.

ENGINEER CERTIFICATION STATEMENT:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

SCDHEC OCRM STORMWATER
PERMIT #0000000000

SCDHEC # 00000-WW
SCDHEC # 00000-WS

TOWN OF BLUFFTON STORM WATER
PERMIT #SWP-

TOWN OF BLUFFTON
PERMIT #DP-00-00-000000

BJWSA #

VERTICAL DATUM: NAVD 88

GENERAL NOTES

- CONTRACTOR SHALL VERIFY LOCATION & DEPTH OF ALL UTILITIES PRIOR TO BEGINNING WORK & NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE EXISTING TREES WHICH ARE TO REMAIN.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- CONTRACTOR SHALL LIMIT CLEARING ACTIVITIES & TREE REMOVAL TO AREAS INDICATED ON PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AREA CLEARED OUTSIDE THE LIMITS AND ANY DAMAGE TO REMAINING TREES.
- ALL VERTICAL ELEVATIONS REFER TO NAVD 88 DATUM.
- ALL HORIZONTAL GEOMETRIES REFER TO NAD83 DATUM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL COORDINATE ALL WORK WITH THE OWNER AND UTILITY COMPANIES.
- THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANY WAY INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THOMAS & HUTTON.
- ALL EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ARE TOP OF PAVEMENT OR FINAL DIRT GRADE (INCLUDING TOPSOIL) IN GRASSED AREAS UNLESS OTHERWISE INDICATED.
- CALL BEFORE YOU DIG: 1-800-282-7411. FOR COUNTY WATER AND SANITARY SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- GRASSED AND LANDSCAPE AREAS SHALL BE GRADED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT TREES RETAINED. PROVIDE 4" MIN. TOPSOIL IN ALL LANDSCAPE AREAS.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. A MINIMUM 18 INCHES VERTICAL SEPARATION MUST BE MAINTAINED.
- WHEN CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, THE WATER MAIN MAY BE LAID CLOSER TO A SEWER (ON A CASE-BY-CASE BASIS) PROVIDED THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. IT IS ADVISED THE SEWER BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND BE PRESSURE TESTED TO ASSURE WATER-TIGHTNESS PRIOR TO BACKFILLING.
- THE MINIMUM DEPTH OF COVER OVER WATER LINES SHALL NOT BE LESS THAN 36" IN ANY CASE. WHERE IT IS IMPOSSIBLE TO MAINTAIN 36" COVER AND 18" MINIMUM SEPARATION, THE 36" COVER WILL BE MAINTAINED AND BOTH WATER AND SEWER LINES WILL BE CONSTRUCTED OF ONE SECTION EACH OF DUCTILE IRON PIPE. THE PIPES SHALL BE SUPPORTED AND CENTERED AT THE CROSSING WITH MECHANICAL JOINTS ON EACH LINE AT BOTH SIDES OF THE CROSSING.
- THE REQUIRED MINIMUM 3 FT. OF COVER SHALL BE MAINTAINED ON THE EXISTING DOMESTIC AND FIRE SERVICE LINES. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING WATER VALVES AND HYDRANTS. AT NO TIME SHALL FLOW TO DOMESTIC WATER AND FIRE PROTECTION SUPPLY LINES BE DISRUPTED.
- PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY ACCEPTABLE MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY ACCEPTABLE MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
- FLUSH THE NEW WATER, SEWER, AND NON-POTABLE PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE COMPLETED AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. A MINIMUM FLUSHING VELOCITY OF 2.5 ft/sec MUST BE ACHIEVED TO PURGE ALL FOREIGN MATERIAL FROM ALL PROPOSED MAINS.
- ALL JURISDICTIONAL WETLANDS ARE SUBJECT TO FEDERAL PROSECUTION BY THE ARMY CORPS OF ENGINEERS FOR WETLAND VIOLATIONS.
- THERE ARE NO PROPOSED JURISDICTIONAL WETLAND IMPACTS AS PART OF THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR CONNECTING BUILDING ROOF LEADS, WATER CONNECTIONS, AND SANITARY CONNECTIONS. ALL LOCATIONS AND ELEVATIONS TO BE VERIFIED WITH BUILDING ARCHITECTURAL, PLUMBING AND FIRE PROTECTION PLANS. CONTRACTOR REQUIRED TO COORDINATE ALL BUILDING LEAD LOCATIONS AND ELEVATIONS WITH BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- REFERENCE SURVEYS: THOMAS & HUTTON
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN ACCEPTABLE BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM EFFINGHAM COUNTY.
- AN ACCEPTABLE WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL MATERIALS USED AND COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
- IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTION TO THE COUNTY SYSTEM. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO BEAUFORT COUNTY SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE TIE-IN OF NEW WATER AND SEWER FACILITIES WITH BJWSA.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ENGINEER AS-BUILT SURVEY IN AUTOCAD FORMAT. AS-BUILT SURVEY TO INCLUDE TWO COPIES OF SURVEY AND BE SIGNED BY REGISTERED LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA.
- GROUNDWATER RECHARGE - PERMANENT STORMWATER INFILTRATION BASINS SHALL NOT BE CONSTRUCTED IN SIGNIFICANT RECHARGE AREAS HAVING HIGH POLLUTION AND SUSCEPTIBILITY.

SPOT ELEVATION LEGEND

DESCRIPTION	PROPOSED	EXISTING
FINISHED GRADE	FG 16.90	FG 16.90
TOP OF PAVEMENT	TP 16.90	TP 16.90
TOP OF CURB	TC 16.90	TC 16.90
TOP OF WALK	TW 16.90	TW 16.90
TOP OF WALL	WT 16.90	WT 16.90
BOTTOM OF WALL	WB 16.90	WB 16.90

ABBREVIATIONS

DBL	DOUBLE	FM	FORCE MAIN (SANITARY SEWER)	OC	ON CENTER	SS	SANITARY SEWER
BOT	BOTTOM	FP	FINISH PAD	PC	POINT OF CURVE	TC	TOP OF CURB
CB	CATCH BASIN	FPW	FIRE PROTECTION	PH	POST HYDRANT	TH	THROAT ELEVATION
CI	CURB INLET	FR	FRAME	PT	POINT OF TANGENT	TG	TOP OF GUTTER
CO	CLEAN OUT	GI	GRATE INLET	PVC	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT
CPP	CORRUGATED PLASTIC PIPE	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
DBL	DOUBLE	HDPE	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TYP	TYPICAL
DI	DITCH INLET	HI	HOODED INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET
DIP	DUCTILE IRON PIPE	IINV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
EL	ELEVATION	JB	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	W/	WITH
ES	END SECTION	LF	LINEAR FEET	R/W	RIGHT-OF-WAY	WV	WATER VALVE
FES	FLARED END SECTION	MAX	MAXIMUM	SD	STORM DRAINAGE	YI	YARD INLET
FG	FINISH GRADE	MIN	MINIMUM	SDMH	STORM DRAINAGE MANHOLE		
FH	FIRE HYDRANT	MH	MANHOLE	SF	SQUARE FEET		

GENERAL PROJECT/SITE INFORMATION

COUNTY: BEAUFORT COUNTY

MUNICIPALITY: TOWN OF BLUFFTON

ZONING: PUD

PROPERTY OWNER

COMPANY/DEPT.: N/F FIRST CHATHAM BANK
ADDRESS: 111 BARNARD STREET, SAVANNAH, GA 31401
TELEPHONE: (912) 629-2936

DEVELOPER

NAME/TITLE: TAYLOR WOLFE
COMPANY/DEPT.: ONPOINT PARTNERS, LLC
ADDRESS: 1315 WHITTAKER DRIVE, COLUMBIA, SC 29206
TELEPHONE: (803) 261-8776

ENGINEER

NAME/TITLE: GRIFFIN SAVEDGE, P.E.
COMPANY/DEPT.: THOMAS & HUTTON
ADDRESS: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405
TELEPHONE: (912) 234-5300

ARCHITECT

COMPANY/DEPT.: WILKUS ARCHITECTS
ADDRESS: 15 NINTH AVE N, HOPKINS, MN 55343
TELEPHONE: (952) 941-8660

GEOTECHNICAL ENGINEER

NAME/TITLE: TBD
COMPANY/DEPT.: TBD
ADDRESS: TBD
TELEPHONE: TBD

TOPOGRAPHIC AND BOUNDARY SURVEYOR

COMPANY/DEPT.: THOMAS & HUTTON
ADDRESS: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405
TELEPHONE: (912) 234-5300

BUILDING DEPARTMENT

NAME/TITLE: ROB CURRALL
COMPANY/DEPT.: TOWN OF BLUFFTON/BUILDING OFFICIAL
ADDRESS: 20 BRIDGE STREET, BLUFFTON, SC 29910
TELEPHONE: (843) 706-7810

FIRE DEPARTMENT:

NAME/TITLE: DAN WILTSE
COMPANY/DEPT.: BLUFFTON FIRE DISTRICT
ADDRESS: 357 FORDING ISLAND ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 757-2800

SANITARY & WATER SERVICE:

NAME/TITLE: MATTHEW MICHAELS
COMPANY/DEPT.: BEUFORT JASPER WATER & SEWER AUTHORITY
ADDRESS: 6 SNAKE ROAD, OKATIE, SC 29909
TELEPHONE: (843) 967-9250

COMMUNICATION SERVICE:

NAME/TITLE: TRACY TRIMMER
COMPANY/DEPT.: SPARKLIGHT
ADDRESS: 925 FORDING ISLAND RD, BLUFFTON, SC 29928
TELEPHONE: (912) 291-8341

ELECTRIC & NATURAL GAS SERVICE:

NAME/TITLE: DE KELLY PITTINGER
COMPANY/DEPT.: DOMINION ENERGY
ADDRESS: 81 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 816-2907

STORMWATER MANAGEMENT (TOWN):

NAME/TITLE: ANDREA MORENO
COMPANY/DEPT.: TOWN OF BLUFFTON
ADDRESS: 1261 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 706-4500

STORMWATER MANAGEMENT (STATE):

COMPANY/DEPT.: PAMELA WINKLER
COMPANY/DEPT.: SCDHEC-OCRM
ADDRESS: 13662 MCMILLIAN AVE, SUITE 400, CHARLESTON, SC 29405
TELEPHONE: (843) 953-5324

XX1.99

PREFIX

SHEET/PAGE
NUMBER

PREFIX

- C0 COVER SHEET
- G0 GENERAL NOTES/ LEGENDS
- G1 GENERAL INFORMATION PLAN
- EX1 EXISTING CONDITIONS & DEMOLITION PLAN/PROFILE/DETAILS
- C1 SITE LAYOUT - PLAN/PROFILES/DETAILS
- C2 WATER & SEWER - PLAN/PROFILES/DETAILS
- C3 PAVING & DRAINAGE PLAN/PROFILE/DETAILS
- C4 GRADING - PLAN/PROFILES/DETAILS
- EC0 EROSION CONTROL - NOTES/LEGENDS
- EC1 EROSION CONTROL PHASE 1 - PLAN
- EC2 EROSION CONTROL PHASE 2 - PLAN
- EC3 EROSION CONTROL PHASE 3 - PLAN
- EC4 EROSION CONTROL DETAILS

- L1 LANDSCAPE - PLAN/DETAILS
- M MECHANICAL/HVAC
- A ARCHITECTURAL
- P PLUMBING
- E ELECTRICAL
- V SURVEY/MAPPING

SHEET NUMBERING DETAIL

SCALE: NOT TO SCALE

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	---	---
DITCH	---	---
CURB INLET	□	■
GRATE INLET	□	■
JUNCTION BOX	□	■
OUTLET STRUCTURE	□	■

WATER LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	10" W	10" W
SINGLE SERVICE LATERAL	---	---
DOUBLE SERVICE LATERAL	---	---
VALVE AND BOX	⊗	⊗
FIRE HYDRANT W/VALVE & BOX	⊗	⊗
POST HYDRANT	⊗	⊗
REDUCER	▱	▱
BACKFLOW PREVENTOR	▱	▱
CROSS	┌┐	┌┐
TEE	┌┐	┌┐
90° BEND - HORIZONTAL	└┘	└┘
45° BEND - HORIZONTAL	└┘	└┘
22½° BEND - HORIZONTAL	└┘	└┘
11½° BEND - HORIZONTAL	└┘	└┘
BEND - VERTICAL	┌┐	┌┐
CAP	┌┐	┌┐

OTHER UTILITIES LEGEND

DESCRIPTION	EXISTING
NATURAL GAS	UGG
TELEPHONE	OHT
UNDERGROUND TELEPHONE	UTL
ELECTRICITY	OHP
UNDERGROUND ELECTRICITY	UGP

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE	---	---
DITCH	---	---
CURB INLET (CI)	□	■
CATCH BASIN (CB)	□	■
CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB)	□ OR □	■ OR ■
CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB)	□ OR □	■ OR ■
CURB INLET - BOTH (CI) OR CATCH BASIN - LEFT (CB)	□ OR □	■ OR ■
CONTROL STRUCTURE (CS)	□	■
DITCH INLET (DI)	□	■
GRATE INLET (GI)	□	■
HOODED INLET (HI)	□ OR □	■ OR ■
JUNCTION BOX (JB)	□	■
MANHOLE (SDMH)	□	■
ROLL CURB INLET (RC)	□	■
ROOF INLET (RI)	□	■
YARD INLET (YI)	□	■
FLARED END SECTION (FES)	□	■

GENERAL NOTES & INDEX

MAY RIVER CROSSING - CHIPOTLE

PROJECT LOCATION:
MAY RIVER CROSSING
BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

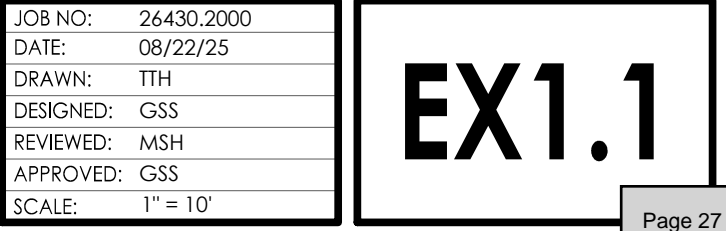
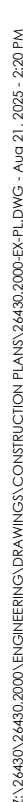
CLIENT/OWNER:
ONPOINT PARTNERS, LLC
1315 WHITTAKER DRIVE
COLUMBIA, SOUTH CAROLINA 26206

DATUM: HORIZ.: NAD 83

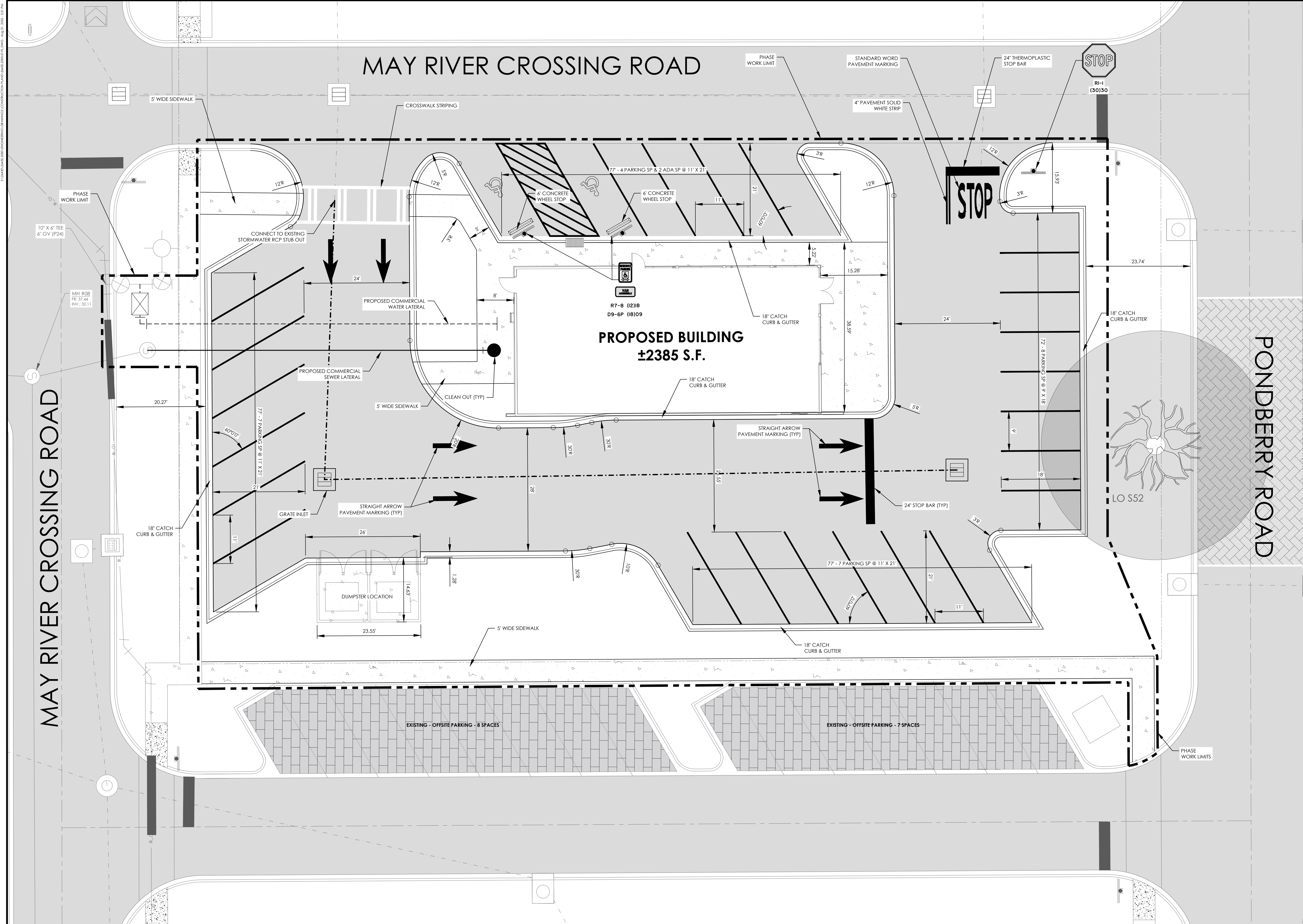
VERT.: NAVD 88

JOB NO: 26430.2000
DATE: 08/22/25
DRAWN: THT
DESIGNED: GSS
REVIEWED: MSH
APPROVED: GSS
SCALE:

G0.1



EX1.1



NO.	REVISIONS	BY	DATE

THOMAS & HUTTON

50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

THOMAS & HUTTON

ENGINEERING CO.
No. C00285

SITE PLAN

MAY RIVER CROSSING - CHIPOTLE

PROJECT LOCATION:
MAY RIVER CROSSING
BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

CLIENT/OWNER:
ONPOINT PARTNERS, LLC
1315 WHITTAKER DRIVE
COLUMBIA, SOUTH CAROLINA 26206

10 0 5 10
GRAPHIC SCALE:
1 INCH = 10 FEET

DATUM: HORIZ.: NAD 83 VERT.: NAVD 88

JOB NO:	26430.2000
DATE:	06/22/25
DRAWN:	THH
DESIGNED:	GSS
REVIEWED:	MSH
APPROVED:	GSS
SCALE:	1" = 10'

C1.1



PLAN REVIEW COMMENTS FOR DP-08-25-019908

ATTACH

Section VII. Item #3.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
TOWNE CENTRE AT NEW RIVERSIDE

Plan Type: Development Plan **Apply Date:** 08/22/2025
Plan Status: Active **Plan Address:** 20 Pondberry Street
BLUFFTON, SC 29910
Case Manager: Dan Frazier **Plan PIN #:** R610 036 000 3211 0000
Plan Description: A request by OnPoint Partners, LLC on behalf of First Chatham Bank, for approval of a Preliminary Development Plan application. The project consists of the construction of a single-story 2,385 SF restaurant with associated infrastructure. The property is within the Jones Estate Planned Unit Development (PUD) consists of 0.75 acres identified by tax map number R610 036 000 3211 0000 within the May River Crossing Master Plan at the intersection of May River Crossing Road and Pondberry Road.
STATUS: This item was heard at the October 8, 2025 Development Review Committee meeting. Per mutual agreement, the Applicant to submit new site plan by 10/10/25 for a 2nd DRC meeting on 10/22/25. Resubmit b 10/24/25 to tentatively be placed on 11/19/25 PC Agenda.

Technical Review

Submission #: 2 Received: 10/17/2025 Completed: 10/17/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Planning Review - Principal	10/17/2025	Dan Frazier	Approved with Conditions

Comments:

1. The site plan is consistent with the design requirements of the approved May River Crossing Master Plan.
2. An approval letter from the applicable POA/ARB is required prior to development plan approval.
3. The subject parcel is within the Highway Corridor Overlay District (HCOD) and will require a Certificate of Appropriateness – Highway Corridor Overlay District (COFA-HCOD) reviewing landscaping, lighting, and architecture at time of final development plan approval.
4. A foundation planting area at least 8' wide shall be maintained around all structures (UDO Section 5.3.7.E). A foundation planting width less than 8 feet wide can be approved subject to staff review.
5. Widen the Splitter Island to allow landscape plantings.
6. Relocate dumpster enclosure to adjacent to building. Extend building wall to serve as the shelter enclosure wall between the dumpster and park amenity. This creates a wider facade for the building, more in accordance with the Initial Master Plan exhibit.
7. Relocate the two parking spaces closest to the tree to the area where the dumpster is currently shown.
8. Realign stormwater infrastructure further from tree.
9. Coordinate with the declarant to relocate the ADA parking currently shown adjacent to the dumpster to the existing parking closest to the restaurant building.
10. For the crosswalk, use a different surface material (such as pavers) or incorporate a speed hump.
11. Provide parking stops in all parking stalls.

Watershed Management Review 10/17/2025 Samantha Crotty Approved with Conditions
DRC

Comments:

Comments may be provided at time of DRC meeting.

October 9, 2025

Mr. Dan Frazier, Planning Manager
Town of Bluffton
20 Bridge Street
Bluffton, SC 29910

Re: May River Crossing – Chipotle
Bluffton, South Carolina
PDP Comment Response
DP-08-25-019908

Dear Mr. Frazier:

On behalf of our client OnPoint Partners, LLC, regarding comments for May River Crossing - Chipotle, Preliminary Development Plan review that were issued on October 3, 2025, we offer our responses (***in bold italics***). Also, please find the following items enclosed per your request:

- Revised Preliminary Development Plans
- Revised Preliminary Compliance Calculator

Watershed Management – Revisions Required

1. Post Development Land Cover Totals must match (or be very similar to Contributing Drainage Area Totals in the Compliance Calculator. Revise
Response: The preliminary compliance calculator for this project has been revised to show a closer approximation to runoff land cover expected to drain toward pervious paver parking spaces and impervious surface disconnection. The majority of the "Turf Cover" left over in post-development is non-impacted area left over from pre-development and therefore is not proposed to drain to a BMP. The majority of the proposed impervious areas are draining to BMP(s) prior to entering the offsite drainage system.

While the area submitted for permitting is +/- 1.12 acres, the total project limits considered for the preliminary compliance calculator("PL" on Sheet C1.1) is +/- 0.71 acres.

Planning Review – Revisions Required

1. The site plan does not meet the design requirements of the approved May River Crossing Master Plan. Resubmit the site plan to conform to the approved master plan or request to amend the master plan
Response: Revised. The updated layout, as seen and discussed at DRC on 10/8/2025, has been provided with this resubmittal, with minor changes including:

- ***Asphalt pavement under the dumpster location***

The updated site layout features a building footprint that has been shifted to front the adjacent park amenity while maintaining UDO requirements for parking spaces and drive aisles.

Mr. Dan Frazier
Town of Bluffton
October 9, 2025
Page 2

2. To conform to the master plan, the building must move eastward to front on the park amenity. A drive through lane cannot wrap around the building and route between the restaurant building and the park amenity. These comments were provided at the pre-application meeting and not addressed with the current application
Response: Revised. See above response.
3. A preliminary development plan resubmittal is required to address non-conformance with the approved master plan. The revised application will return to the Development Review Committee for review and comment
Response: Acknowledged understanding a review timeline and schedule as laid out in an email from the Town on 10/8/2025, pending resubmittal package completion and comment response letter.
4. An approval letter from the applicable POA/ ARB is required prior to development plan approval
Response: Acknowledged.
5. The subject parcel is within the Highway Corridor Overlay District (HCOD) and will require a Certificate of Appropriateness – Highway Corridor Overlay District (COFA-HCOD) reviewing landscaping, lighting, and architecture at time of final development plan approval
Response: Acknowledged.

Planning Review Addressing – Approved with Conditions

1. If applicable, contact Ryan Colman, Town of Bluffton GIS Manager to request addressing
Response: Acknowledged.

We thank you for your attention to this project and look forward to receiving your approval. Please feel free to contact our office with any questions.

Sincerely,

THOMAS & HUTTON



Griffin Savedge, PE

Enclosures