



Historic Preservation Commission

Wednesday, February 01, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

- [1.](#) December 7, 2022 Minutes

VII. ELECTION OF OFFICERS

1. Election of Historic Preservation Commission Chair and Vice-Chair
2. Election of Historic Preservation Review Committee member.

VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

IX. OLD BUSINESS

X. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness.** A request by Ansley H. Manuel, Architect, on behalf of the owners, Brad and Jacki Rechtfertig, for approval of a Certificate of Appropriateness – HD

application to allow the construction of a new 2 story Single-Family Residential structure of approximately 2,070 SF and Carriage House of approximately 1,158 SF located at 4 Wild Spartina Street, Lot 42 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-22-016795) (Staff - Katie Peterson)

2. **Certificate of Appropriateness.** A request by Court Atkins Architects, Inc., on behalf of the owner, May River Montessori, Inc., for approval of a Certificate of Appropriateness – HD application to allow the construction of a new 2 story private school structure of approximately 5,317 SF located at 58 Calhoun Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. (COFA-11-21-016057) (Staff - Katie Peterson)

XI. DISCUSSION

XII. ADJOURNMENT

NEXT MEETING DATE: Wednesday, March 1, 2023

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment must not exceed three (3) minutes.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

December 07, 2022

I. CALL TO ORDER

Chairman Trimbur called the meeting to order at 6:00pm.

II. ROLL CALL

PRESENT

Commissioner Kerri Schmelter

Commissioner Mary Vaux Bell

Vice Chairman Jesse Solomon

Chairman Bruce Trimbur

Commissioner Josh Simpson (Arrived at 6:02pm)

Commissioner Carletha Frazier

ABSENT

Commissioner Evan Goodwin

III. NOTICE REGARDING PUBLIC COMMENTS*

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IV. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

V. ADOPTION OF THE AGENDA

Commissioner Frazier made a motion to adopt the agenda.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Frazier

Commissioner Simpson had not arrived in time for the vote.

All were in favor and the motion passed.

VI. ADOPTION OF MINUTES

1. November 2, 2022 Minutes

Commissioner Frazier made a motion to adopt the minutes as written.

Seconded by Vice Chairman Solomon.

Voting Yea: Commissioner Schmelter, Vice Chairman Solomon, Chairman Trimbur, Commissioner Frazier

Commissioner Vaux Bell did not vote since she did not attend the meeting.

Commissioner Simpson had not arrived in time to vote.

All were in favor and the motion passed.

VII. OLD BUSINESS

VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

IX. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Colleen Lawrence as owner, for a Certificate of Appropriateness to allow the rehabilitation of the 775 SF Contributing Resource, known as 38 Boundary Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center - HD. (COFA-09-22-017206) (Staff-Glen Umberger)

The applicant, Colleen Lawrence, was in attendance. Staff presented. There were no comments from the Commission.

Commissioner Schmelter made a motion to approve the application as submitted.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

All were in favor and the motion passed.

2. **Certificate of Appropriateness:** A request by Robert Breger as owner, for a Certificate of Appropriateness to allow the construction of a new 1,200 SF Carriage House at 30 Lawrence Street, in the Old Town Bluffton Historic District and zoned Neighborhood General - HD. (COFA-07-22-017007) (Staff-Glen Umberger)

The applicant, Robert Breger, was in attendance. Staff presented. There was a discussion about gutters, if gutters were needed, material types, and the column spacing.

Public Comment

Catherine Harvey, 80 Bridge St. Ms. Harvey owns a neighboring property and is worried that there is no current survey. Ms. Harvey and the applicant have had discussions in the past about their boundary lines.

Town Attorney, Richardson LaBruce, discussed the criteria that HPC needs to review and what is required of submitted applications.

Commissioner Simpson made a motion to approve with the following conditions:

1. Per Section 5.16.6.H., additional information must be provided to ensure that the columns are a permitted material and additional information must be provided to ensure that the spacing arrangement of the porch columns and posts are spaced no farther apart than they are tall as measured from the centerlines of the columns;

2. Section 5.15.6.H., additional information must be provided to ensure that the balustrades are a permitted material;
3. Per Section 5.15.6.I., additional information must be provided to ensure that the window operation is a permitted configuration;
4. Section 5.15.6.J Roofs and Gutters, additional information must be provided to ensure that gutters have a permitted profile; and
5. Per Section 5.15.5.F, a demolition permit will be required to remove the extant workshop structure before the new Carriage House can be built.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

All were in favor and the motion passed.

3. **Certificate of Appropriateness - Demolition:** A request by Nathaniel Pringle, on behalf of the owner, Daisy B. Pringle, to allow the demolition of the structure of approximately 884 SF located at 12 Dubois Lane in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-09-22-017227) (Staff - Glen Umberger)

The applicant's family member, Frank Gadsen, was in attendance to represent the applicant. Staff presented. There no comments from the Commission.

Commissioner Frazier made a motion to approve the application as submitted.

Seconded by Commissioner Vaux Bell.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

All were in favor and the motion passed.

4. **Certificate of Appropriateness - Demolition:** A request by Kurt Weinberger for a Certificate of Appropriateness - HD to allow the demolition of the structure of approximately 1,882 SF located at 25 Bruin Road in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-09-22-017228)(Staff - Glen Umberger)

The applicant was not in attendance. Staff presented. There were no comments from the Commission.

Vice Chairman Solomon made a motion to approve the application as submitted.

Seconded by Commissioner Vaux Bell.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

All were in favor and the motion passed.

5. **Certificate of Appropriateness.** A request by William Court, on behalf of the owners, Bo Holland and Susan Soper, for approval of a Certificate of Appropriateness – HD application to allow the construction of a new 2 story Single-Family Residential structure of approximately 2,610 SF and Carriage House of approximately 126 SF located at 6 Wild Spartina Street, Lot 43

of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-10-22-017241) (Staff - Glen Umberger)

The applicant, Ashley Huffman with Court Atkins Group, was in attendance. Staff presented. There was discussion about the finished floor height, the term "Additional Building Type", fence height and if a hood is needed for the outdoor grill.

Commissioner Simpson made a motion to approve the application with the following conditions:

1. Per Section 5.15.5.F.1.c. of the UDO, the finished floor height must be increased to no less than 36 inches (3 feet) above grade;
2. To allow the use of Boral on the columns as a substitute material for the materials listed in Section 5.15.6.H.2.a of the UDO;
3. Per Section 5.15.6.J of the UDO, as no gutters are proposed on the application, and it is likely just an additional sheet in the cutsheet, should gutters be proposed, additional information on the location, material and profile of the gutter and downspouts must be provided for review;
4. Per Section 5.15.6.K. of the UDO, provide clarification on the accurate fence detail, and if the Landscape Plan detail is intended for use, revise to include a board rail on top;
5. Per Section 5.15.6.M. of the UDO, provide information on the composite shutter material proposed for review, to ensure it is a wood composite material and is of equal or better quality than traditional building materials, as not enough information has been provided to make the determination; and
6. Per Section 5.3.3.G. of the UDO, revise the Landscape Plan to reflect accurate calculations and add additional trees should additional canopy be required.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

All were in favor and the motion passed.

X. DISCUSSION

Chairman Trimbur thanked Vice Chairman Solomon for his service to the Historic Preservation Commission. Vice Chairman Solomon is stepping down from his position after the meeting.

XI. ADJOURNMENT

Vice Chairman Solomon made a motion to adjourn.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Vice Chairman Solomon, Chairman Trimbur, Commissioner Simpson, Commissioner Frazier

The meeting was adjourned at 7:04pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	February 1, 2023
PROJECT:	4 Wild Spartina Street - New Construction: Single-Family and Carriage House
APPLICANT:	Ansley H. Manuel, Architect
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Ansley H. Manuel, Architect, on behalf of the owners, Brad and Jacki Rechtferdig, requests that the Historic Preservation Commission approve the following application:

1. **COFA-05-22-016795.** A Certificate of Appropriateness to allow the construction of a new 2 story Single-Family Residential structure of approximately 2,070 SF and Carriage House of approximately 1,158 SF located at 4 Wild Spartina Street, Lot 42 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant has proposed the construction of a two-story single-family structure with an attached two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,070 SF has the characteristics of a Village House which must meet the requirements for the Building Type within the Neighborhood General-HD zoning district, however, the setbacks are determined by the Tabby Roads Development Plan.

The primary structure features a forward-facing gabled roof with a near full façade one-story front porch under a hip roof. The rear elevation features a full-length two-story, screened porch. The Carriage House features a lower forward-facing gable roof, a balcony on the front and rear elevations and is connected to the primary structure by a gabled connector. The structures are proposed to have horizontal Hardie lap siding with Hardie shingle in the gabled ends. Bracket detailing is proposed along the eave, and the balustrades for both structures feature a decorative design.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 20, 2022 meeting and comments were provided to the Applicant (See Attachment 7).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House add to the district and helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5:
 - 1) Section 5.15.6.G. Building Walls. Exposed foundation walls (below the first-floor elevations), if concrete, may be Tabby, sand finished, or steel trowel. The elevations indicate stucco, but do not specify the finish, and the Wall Section @ Main House detail (Detail A/A8) shows the foundation as an optional solid pour concrete. Clarify the foundation finish to ensure it meets the material requirements.

- 2) Section 5.15.7.H. Garages. Driveways shall be a maximum of 10 feet wide in front of the principal plane of the building. The proposed driveway is 11 feet wide in front of the principal plane of the building. The driveway width must be reduced to no more than 10 feet in front of the principal plane of the building.
 - 3) Section 5.15.6.I. Windows and Doors. Doors may be single or double hung, casement, industrial, tilt or fixed-frame. The Application proposes the use of awning windows. The awning windows must be revised to a permitted operation.
 - 4) Section 5.3.3.G. Replacement of Protected Trees. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. The Landscape Plan canopy coverage calculations do not accurately reflect the proposed plantings for the calculations. Further, the total lot square footage should be 4,891.6 SF. Provide updated canopy coverage calculations to ensure the 75% lot coverage is met.
 - 5) Section 5.15.5.F.4. Building Composition (Proportion, Alignment, Rhythm, and Spacing) and Traditional Construction Patterns Section 32. Overall building proportions and individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. The application proposes the use of nine (9) different types of windows all with different windowpane proportions. Windowpane proportions should be limited to a few similar proportions. A reasonable and achievable standard for the windows is a maximum variation for vernacular designs is 20 percent in pane size (12 percent for classical architectural design). Currently, without consideration for the square window, there is a 23 percent variation pane proportion. The number of windows and the pane proportion variation must be reduced to provide a better proportional relationship with one another.
 - 6) Provide rear elevation behind screens as not enough information was provided to complete the review.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction is consistent with that of the surrounding neighborhood.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this

report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness.

Further, the Tabby Roads HARB issued conditional approval of the proposed architecture, which included the following items which must be addressed:

1. The window lites must be changed to an acceptable configuration per the architectural guides (2/2 or 2/1 configurations. Currently the windows are shown as 6 lites and Window lites must be 2/2 or 2/1.
2. Per the submitted landscape plan there are trees being removed that are off the property boundaries. No trees should be removed that are not on Lot 42 itself without written authorization from adjacent property ownership.
3. Due to expanse of rear carriage house lower-level siding façade with no window presence, the committee requires a higher density of landscaping present. It is suggested that five Florida Sunshine Anise be planted instead of the indicated three on the current landscaping plan. The committee would also consider any alternate means to increase landscaping density at this location.
4. Per the architectural guidelines when present, shutters must be operable and occupy every window on a home that may accept them. The small gable windows do not have shutters. The committee requires these gable windows be slightly enlarged as they were deemed to be disproportionately small as compared to the other windows on their respective elevations. An alternate change would be accepted where the window is changed to a louver design (this louver design would be similar to the crawl space and would not require shutters. Permissible to leave the louver design size as submitted).

Changes to the plans to reflect the above, and sign off from the HARB that these conditions have been met must be provided prior to approval of a Certificate of Appropriateness-HD.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the

conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.G. of the UDO, additional information on the foundation finish must be provided to ensure it meets the material requirements.
2. Per Section 5.15.7.H. of the UDO, the driveway width must be reduced to no more than 10 feet in front of the principal plane of the building.
3. Per Section 5.15.6.I., of the UDO, the awning windows must be revised to a permitted operation.
4. Per Section 5.3.3.G. of the UDO, provide updated canopy coverage calculations to ensure the 75% lot coverage is met.
5. Per Section 5.15.5.F.4. of the UDO, the number of windows and the pane proportion variation must be reduced to provide a better proportional relationship with one another.
6. Provide rear elevation behind screens as not enough information was provided to complete the review.
7. Window lite pattern must be changed to HARB approved version or HARB Letter of Approval indicating the lite pattern is permitted as submitted.
8. HARB Approval of trees off the lot must be provided prior to Town Staff prior to issuance of the Certificate of Appropriateness.
9. HARB Approval of the landscape modifications to the rear elevation must be submitted prior to issuance of the Certificate of Appropriates.
10. The window in the gable must be increased in size and shutter added to the window in the gable, per HARB letter, or revised HARB Letter of Approval provided.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Site Plan & Elevations
5. Landscape Plan & Canopy Coverage
6. HPRC Report

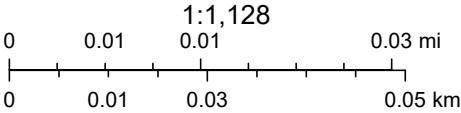
Location Map

Section X. Item #1.



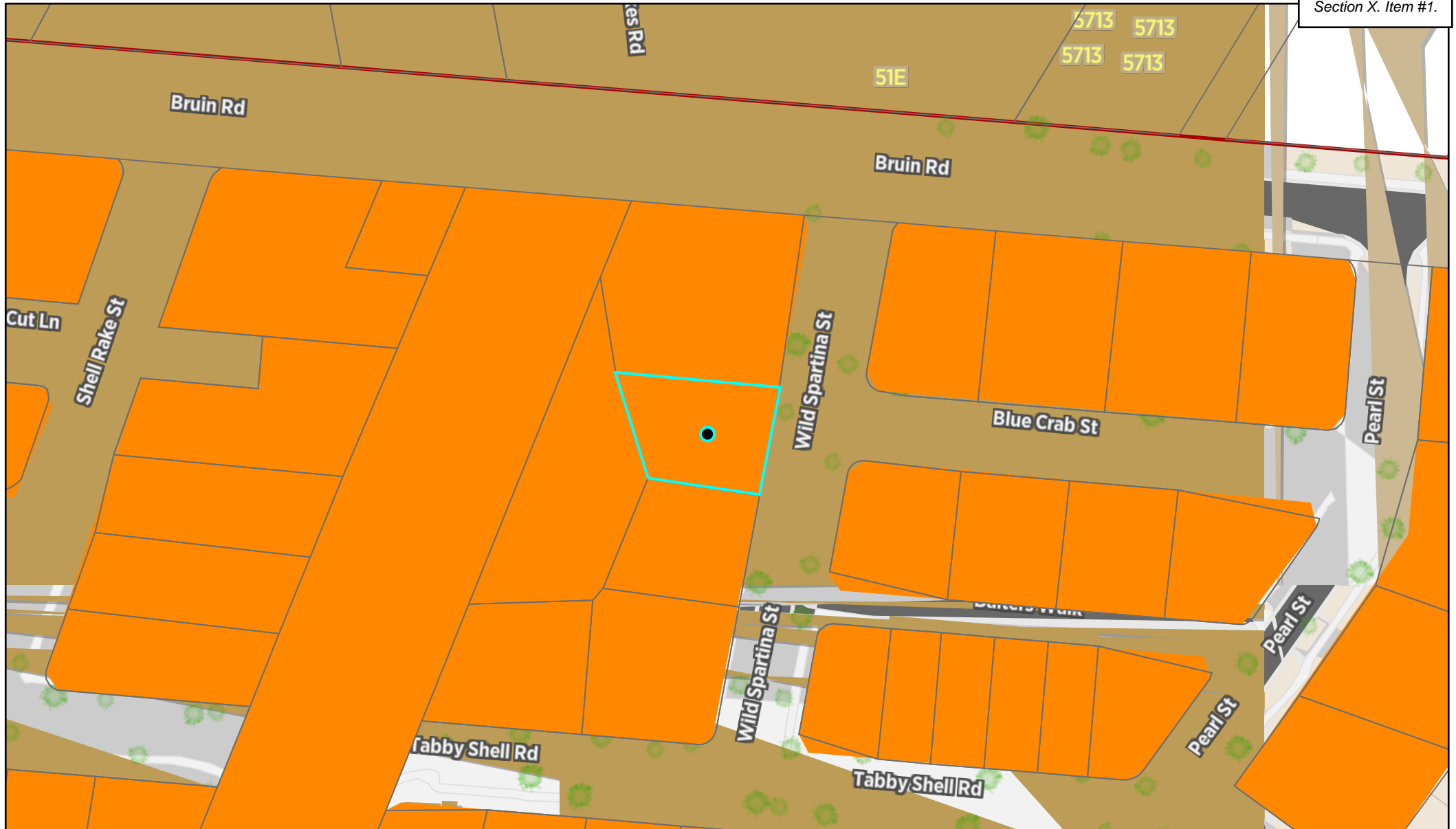
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 Parcel Property Lines



Zoning Map

Section X. Item #1.

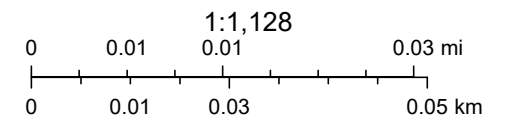


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Parcel Property Lines

Bluffton Zoning Districts

NEIGHBORHOOD GENERAL-HD





ATTACHMENT 3

TOWN OF BLUFFTON

Growth Management Customer

Section X. Item #1.

**CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION**

Bluffton, SC 29910

(843)706-4522

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: <i>Ansley H. Manvel, Architect</i>	Name: <i>Brad and Jacki Rechtfertig</i>		
Phone: <i>843.338.8932</i>	Phone: <i>619.708.1771</i>		
Mailing Address: <i>104 Fritchard Street Bluffton, S.C. 29910</i>	Mailing Address: <i>4 Wild Spartina Street Bluffton, S.C. 29910</i>		
E-mail: <i>manvel.studio@aol.com</i>	E-mail:		
Town Business License # (if applicable): <i>LIC-04-22-044420</i>			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name: <i>Rechtfertig Residence</i>	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location: <i>4 Wild Spartina Street</i>	Application for:		
Zoning District: <i>Neighborhood General</i>	<input checked="" type="checkbox"/> New Construction		
Acreage: <i>0.11</i>	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): <i>R610.039.0001222-000</i>	<input type="checkbox"/> Relocation or Demolition		
Project Description: <i>New Construction of a Main House and Carriage House</i>			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All Information required on the attached Application Checklist. <input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>[Signature]</i>		Date: <i>3 January 2023</i>	
Applicant Signature: <i>[Signature]</i>		Date: <i>3 January 2023</i>	
<i>For Office Use</i>			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 8

CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

Section X. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator and HPC	Staff
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



ATTACHMENT 3 TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT PROJECT ANALYSIS

Section X. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		<input checked="" type="checkbox"/> CONCEPTUAL REVIEW		<input type="checkbox"/> FINAL REVIEW	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): <i>Village House and Carriage House</i>					
Building Setbacks	Front: <i>5'</i>	Rear: <i>5'</i>	Rt. Side: <i>5'</i>	Lt. Side: <i>5'</i>	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage (<i>Netted + Inherited</i>)		
Main Structure	<i>Main House</i>	<i>0</i>	2260 <i>2666</i>		
Ancillary	<i>Carriage House</i>	<i>0</i>	<i>1158</i>		
Ancillary					
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		2130 <i>1748</i>			
Impervious Drive, Walks & Paths		<i>615</i>			
Open/Covered Patios <i>PORCHES</i>		<i>382</i>			
A. TOTAL IMPERVIOUS COVERAGE		<i>2745</i>			
B. TOTAL SF OF LOT		<i>4791.6</i>			
% COVERAGE OF LOT (A/B = %)		<i>57.3%</i>			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	<i>STUCCO</i>	Columns	<i>10x10 Cox hollow core P.T. pine</i>		
Walls	<i>HORIZONTAL LAP HARDIE PLANK MAIN HARDIE SHINGLE & GABLE UPPER SECRETARY OR STANDING SEAM</i>	Windows	<i>aluminum clad ext./wood int.</i>		
Roof		Doors	<i>FRONT - Mahogany others - aluminum clad ext.</i>		
Chimney	<i>N/A</i>	Shutters	<i>P.T. wood</i>		
Trim	<i>P.T. pine</i>	Skirting/Underpinning	<i>P.T. wood</i>		
Water table	<i>P.T. pine 2x12</i>	Cornice, Soffit, Frieze	<i>P.T. wood</i>		
Corner board	<i>P.T. pine 2x4</i>	Gutters	<i>N/A</i>		
Railings	<i>P.T. pine 2x4</i>	Garage Doors	<i>aluminum clad</i>		
Balusters	<i>P.T. pine 2x3</i>	Green/Recycled Materials	<i>N/A</i>		
Handrails	<i>P.T. pine 2x4</i>				



ATTACHMENT 3 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Section X. Item #1.

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 3 TOWN OF BLUFFTON


CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Section X. Item #1.

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relate to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).


Signature of Property Owner or Authorized Agent

3 January 2023
Date

Ansley H. Manuel
Printed Name

The owners of the proposed project, Brad and Jacki Rechtfertig, intend to develop a main residence with a connected carriage house. The project is located in the Historic District and zoned Neighborhood General.

There are deed covenants and restrictions in place with additional approvals required as part of the Tabby Roads PUD. The property owners have a variance approval from Tabby Roads for type of development and the building setbacks. All comments and suggestions have been addressed from the PUD preliminary review.

Architecturally speaking, the main building fits within the standards of a Village House building type. The house has porches on both ends and is more narrow along the street than the depth along the sides. The garage with guest quarters above fits within the standards of a Carriage House. The carriage house is similar and subordinate in size and placement.

Plan review comments from conceptual review for the Historical Preservation Committee and town staff have been addressed. An itemized response is as follows.

GROWTH MANAGEMENT

1. See Landscape Plan. Two car parallel parking will be shifted north and the parking island reduced. All curb, sidewalk and header curb materials to match existing.
2. See second paragraph.
3. Request provided.
4. Vertical height from grade to top of first subfloor is 36". See elevations and wall section.
5. Revised house position to make parallel. See site plan.
6. Both balconies are 3'0" in depth. This is proportionate to size of carriage house and structurally safer.
7. Rear elevation of carriage house has been revised. See A/A7.
8. No revision needed. Column spacing versus height met guidelines.
9. Drawings provided.

WATERSHED MANAGEMENT

1. Property owner will have drainage plan done by professional before building department permit application.

BUILDING SAFETY

1. Wire cloth backing to be behind balustrade. See porch sections.

The Rechtfertigs have relocated from California. After searching different locations in the Southeast they fell in love with Bluffton. I am happy to have them as clients and we respectfully ask the staff and board to grant us final approval.

HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

December 31, 2022

Brad and Jackie Rechtfertig
Lot 42, 4 Wild Spartina,
Bluffton, South Carolina 29910

Dear Applicants,

This letter shall serve as approval with conditions for planned single family residence build on 4 Wild Spartina St. Plans within the following files titled are the basis for this approval:

Tabby Roads Digital Plans.pdf, TabbyRoadsLandscapePlan.pdf, TabbyRoadsDrainagePlan.pdf

This approval is based upon the following items of clarification:

- The window lites must be changed to an acceptable configuration per the architectural guides (2/2 or 2/1 configurations).
- The 10' driveway access between the road apron and the sidewalk shall be constructed from the same paver material (Tremron Pavers, color Sierra) as the driveway. The majority of the pavers shall have a sand base to remain pervious. Use of concrete footings (or other impervious method of securing the edges) around the perimeter is permitted.
- Per the submitted landscaping plan there are trees being removed that are off the property boundaries. No trees should be removed that are not on Lot 42 property itself without written authorization from adjacent property ownership.
- Due to expanse of rear carriage house lower level siding façade with no window presence, the committee requires a higher density of landscaping be present. It is suggested that five Florida Sunshine Anise be planted instead of the indicated three on the current landscaping plan. The committee would also consider any alternate means to increase landscaping density at this location.
- Prior to commencement of the project, garage door specs need to be provided to the committee for final approval. Note - garage doors must be carriage style doors.
- Prior to commencement of the project, colors (including wood stain color) need to be provided for the tabby stucco, crawl space louvers, gable/balcony brackets, front door

and front/rear porch posts. If the porch posts are to be stained, it is requested that the porch header also be stained.

- The number of gable brackets are to match on the front and rear elevations.
- Per the architectural guidelines when present, shutters must be operable and occupy every window on a home that may accept them. The small gable windows do not have shutters. The committee requires these gable windows be slightly enlarged as they were deemed to be disproportionately small as compared to the other windows on their respective elevations. An alternate change would be accepted where the window is changed to a louver design (this louver design would be similar to the crawl space and would not require shutters. Permissible to leave the louver design size as submitted).

Additionally, the committee would like to make the following suggestion. Note these are suggestions and not hard change requirements.

- To protect the doors on the carriage house from sun and rain exposure the committee recommends the applicant consider installation of a “lean to” type awning as shown in Fig 1.



Fig. 1 Awning suggestion

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. No work is permitted to commence until applicant has a build permit for the main house.

ATTACHMENT 3

Section X. Item #1.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

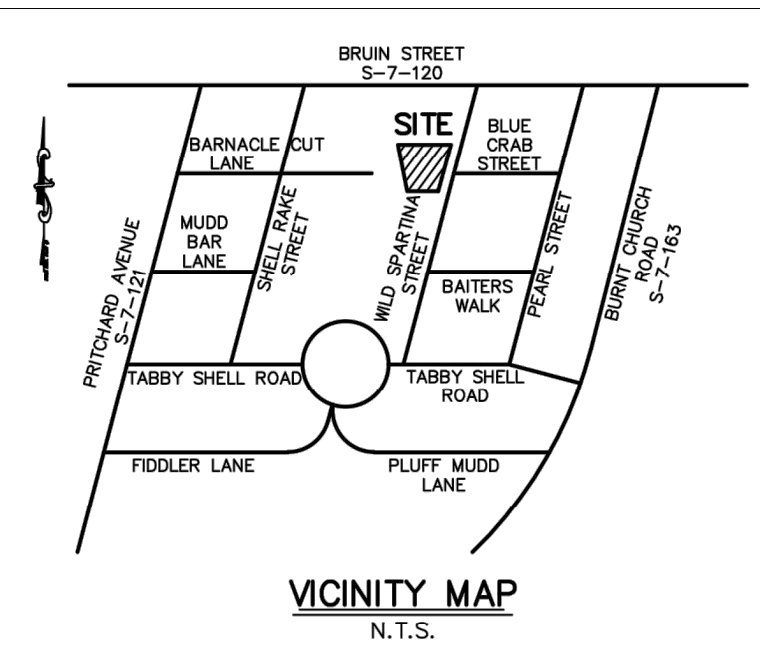
Sincerely,



Robert Nurnberg

On behalf of Tabby Roads HARB

Cc: Katie Peterson
Town of Bluffton



NOTES

- I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) BASE ELEVATIONS N/A. THE MAP NUMBER FOR THIS AREA IS 45013004266; DATED 03/23/2021. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- BUILDING SETBACKS WHICH EXIST FOR THIS LOT, ARE SHOWN PER PLAT REFERENCE #1. EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE BUILDING SETBACKS SHOWN ON THIS PLAT.
- UNDERGROUND UTILITIES NOT LOCATED ON THIS SURVEY. SURVEYING CONSULTANTS DOES NOT CERTIFY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITY.
- NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLIT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. IF THIS DOCUMENT IS TO BE PROVIDED AS A BASE MAP FOR OTHERS, INFORMATION ADDED AFTER THE DATE OF THIS SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- SURVEYING CONSULTANTS DOES NOT PROVIDE ARBORIST SERVICES. TREE IDENTIFICATIONS ARE MADE AS BEST OBSERVANCE/KNOWLEDGE OF A NON-ARBORIST. A CERTIFIED ARBORIST SHOULD BE CONSULTED TO VERIFY TREE IDENTIFICATION, IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT.
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
- THE VERTICAL DATUM SHOWN IS BASED ON NAVD 88 DATUM.
- THE HORIZONTAL DATUM SHOWN IS BASED ON SOUTH CAROLINA STATE PLANE COORDINATES ESTABLISHED FROM THE SC-VRS SURVEY NETWORK.

REFERENCE PLAT:

- A SUBDIVISION PLAT PREPARED FOR REEVES BROTHERS DEVELOPMENT, LLC TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 08/17/2004; LAST REVISED: 03/09/2005, BY: FORREST F. BAUGHMAN, S.C.R.L.S. NO. 4922, RECORDED: P.B. 112, PG. 133, DATE: 03/30/2006.

LEGEND:

SPOT ELEVATION	IRON PIPE, OLD (FOUND)
CONTOUR	IRON REBAR, NEW (SET)
LN.	ACRE
Ac.	BUILDING SETBACK LINE (SEE NOTE #3)
B.S.L.	NOT TO SCALE
NTS	NOW OR FORMERLY
N/E	RIGHT OF WAY
R/W	SN
SN	TEL
TBM	TRNF
TEL	WV
TRNF	
WV	

LEGEND:

TREE SIZES ARE INCHES IN DIAMETER	
GUM	GUM
PLM	PALMETTO
PN	PINE

PREPARED FOR: BRAD RECHTFERTIG

ADDRESS: #4 WILD SPARTINA STREET
TAX PARCEL I.D. NO. R610-039-000-1222-0000BOUNDARY, TREE & TOPOGRAPHIC SURVEY
OFLOT 42
#4 WILD SPARTINA STREET

AS SHOWN ON PLAT PREPARED FOR

REEVES BROTHERS DEVELOPMENT, LLC

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 8' DATE: 04/07/2022 JOB NO: SC220040

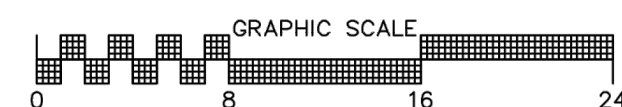


SURVEYING CONSULTANTS

17 Sherrington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3305
GA Telephone: (912) 826-2775
www.SurveyingConsultants.com
Email: SC@SurveyingConsultants.com

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CEN



THE RECHTFERTIG RESIDENCE

4 WILD SPARTINA STREET
BLUFFTON, SOUTH CAROLINA 29910

PROPOSED SITE PLAN

SHEET

C2

DATE: 12/12/22

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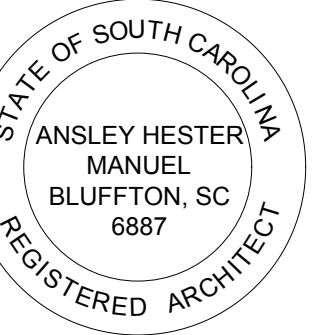
DATE: 12/12/22

MANUEL STUDIO, LLC

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AIE:
12/12/22

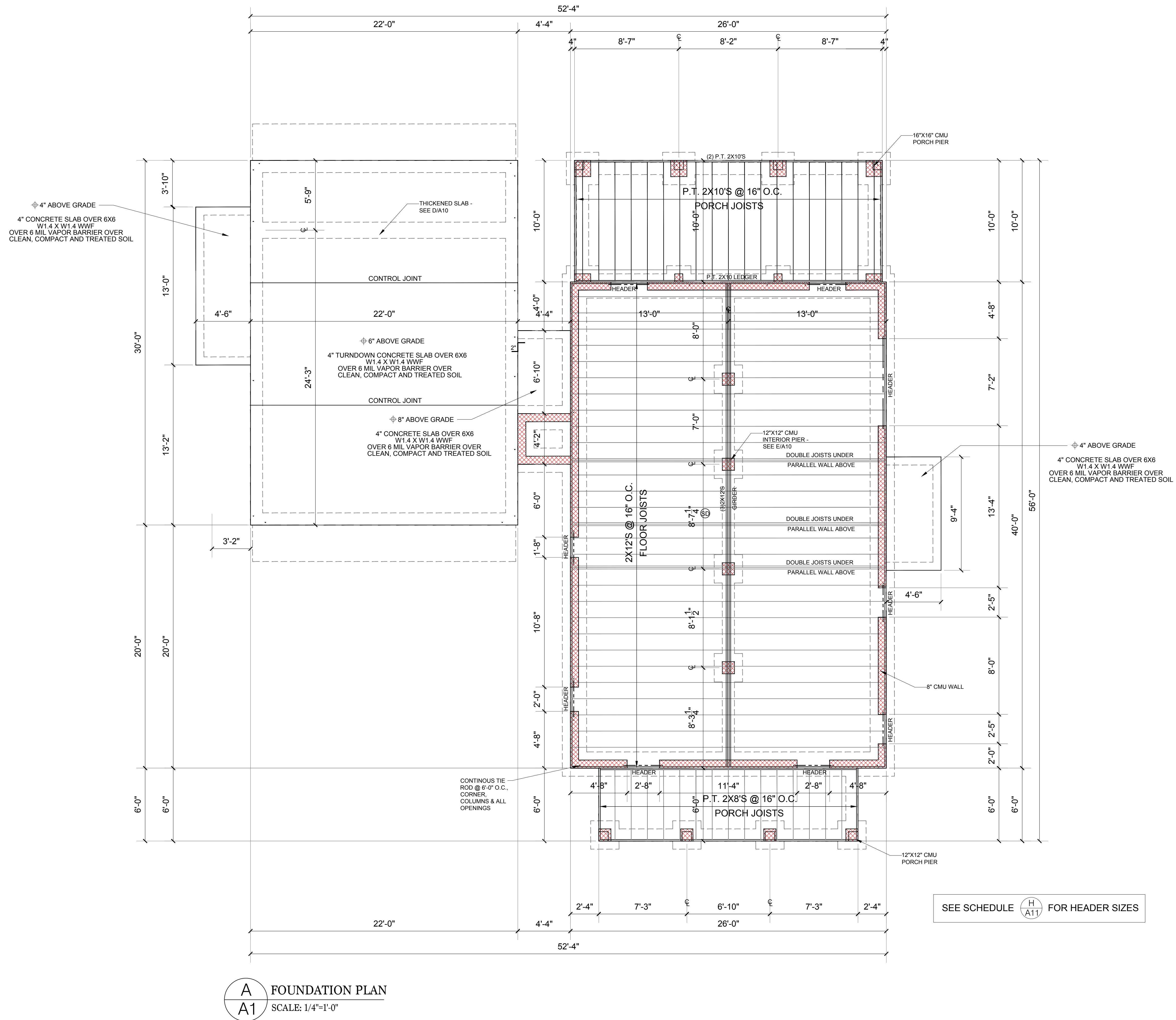
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THE RECHTFERTIG RESIDENCE
4 WILD SPARTNA STREET
BLUFFTON, SOUTH CAROLINA 29910

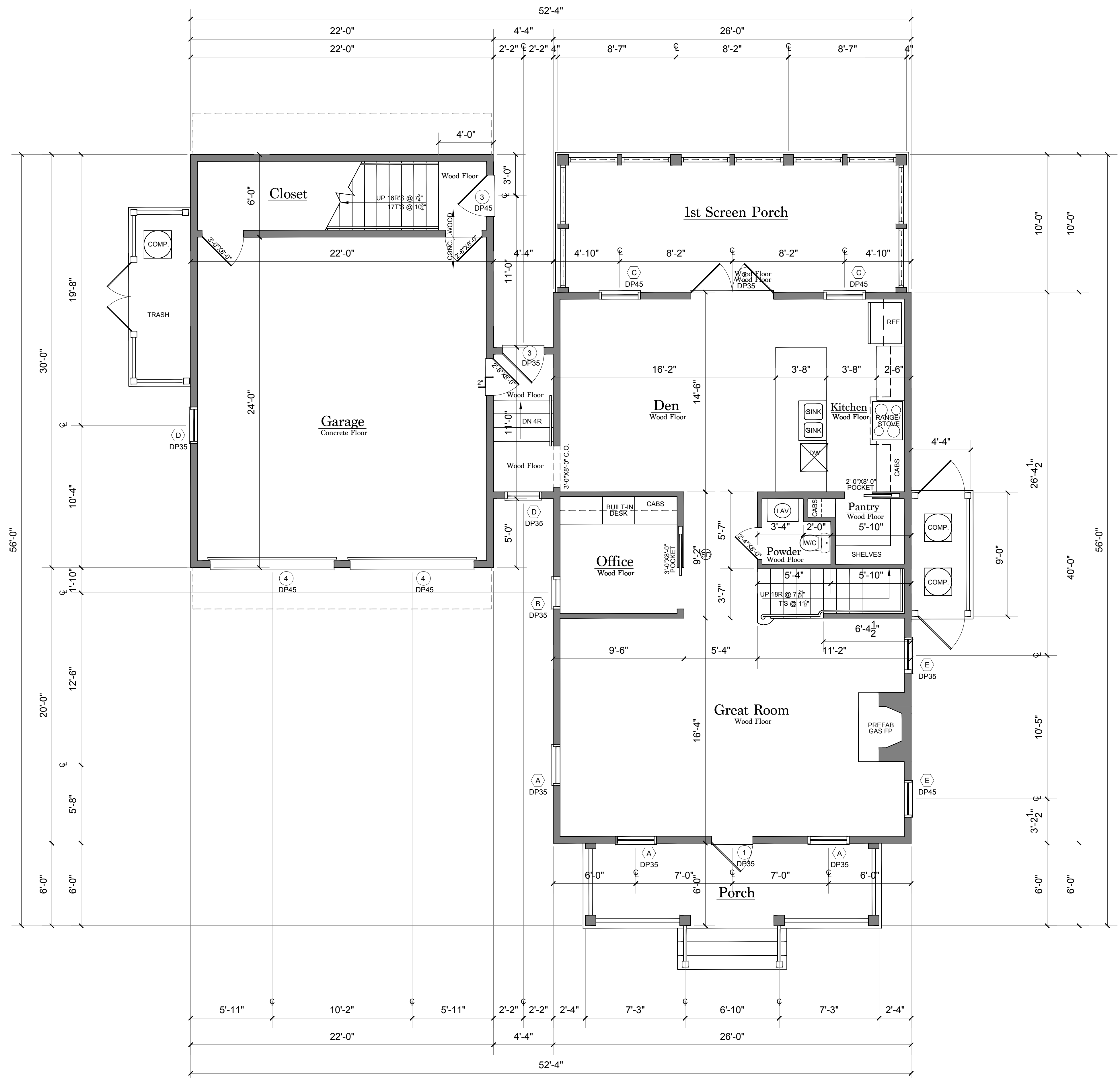
FOUNDATION PLAN

SHEET

A1



A FOUNDATION PLAN
A1 SCALE: 1/4"=1'-0"



HEATED SQUARE FOOTAGES	
1ST FLOOR MAIN -	1018 SQ.FT.
2ND FLOOR MAIN -	1052 SQ. FT.
1ST FLOOR BONUS-	105 SQ.FT.
2ND FLOOR BONUS -	569 SQ. FT.
OVERALL HEATED -	2784 SQ. FT.
PORCHES-	596 SQ.FT.
BALCONIES-	126 SQ.FT.
GARAGE-	494 SQ.FT.
SERVICE YARD-	80 SQ.FT.

A FIRST FLOOR PLAN
A-2 SCALE: 1/4"=1'-0"

Section X, Item #1.

STATE OF SOUTH CAROLINA
MANUEL
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BLUFFTON, SC
100072
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
REGISTERED ARCHITECT

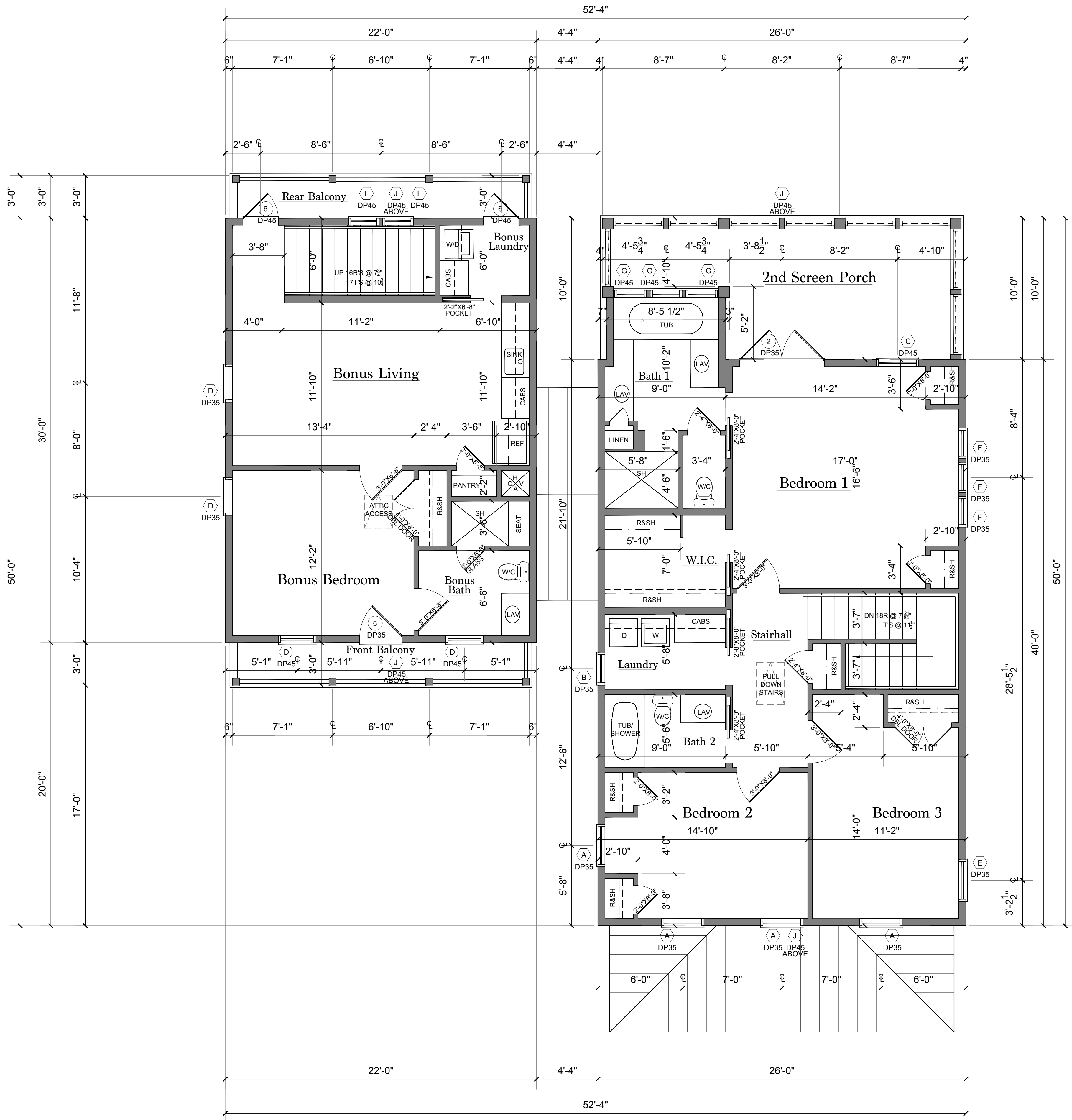
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THE RECHTFERTIG RESIDENCE
4 WILD SPARTINA STREET
BLUFFTON, SOUTH CAROLINA 29910

FIRST FLOOR PLAN

SHEET
A-2



A SECOND FLOOR PLAN
A-3 SCALE: 1/4"=1'-0"

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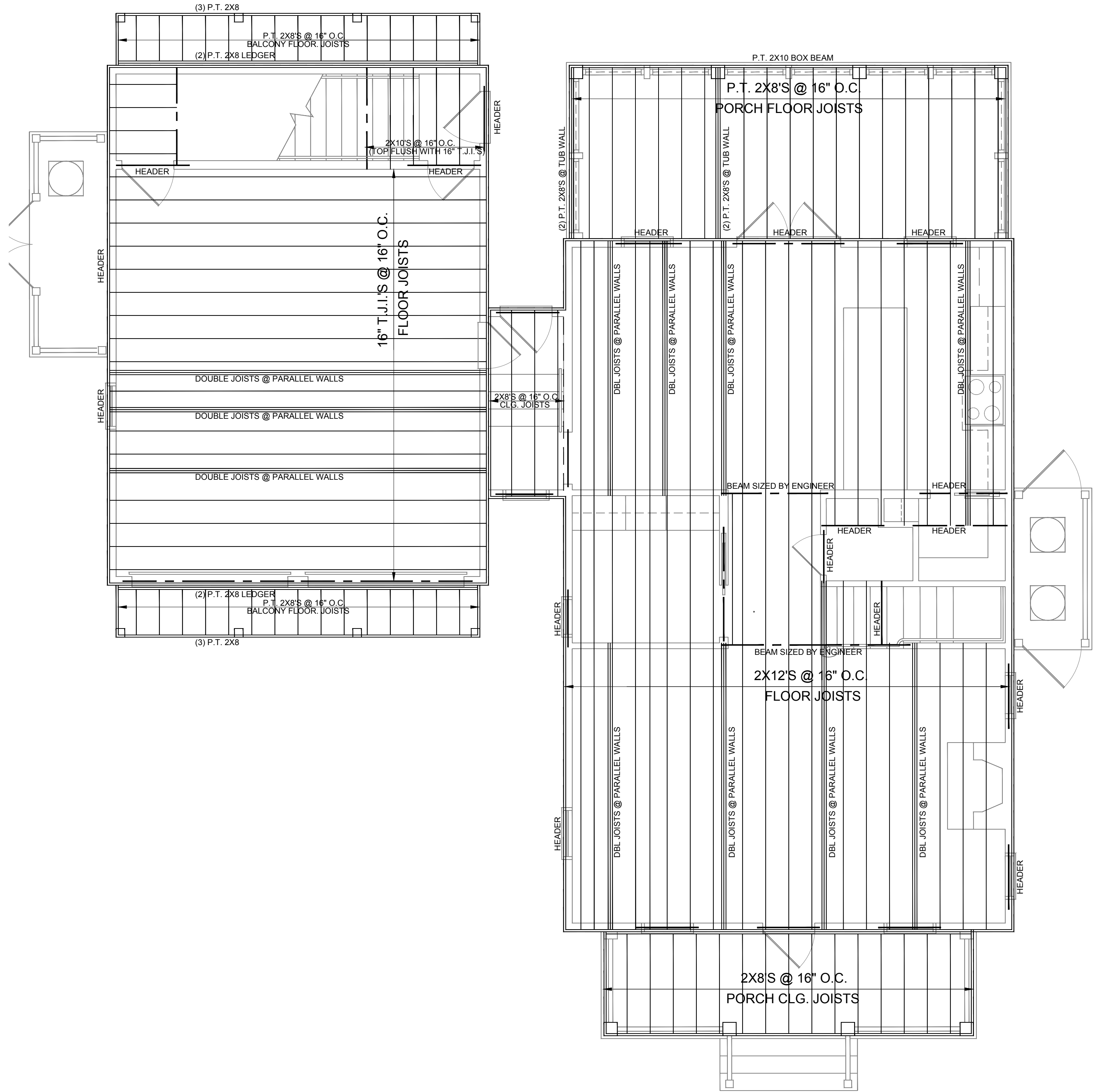
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THE RECHTFERTIG RESIDENCE
4 WILD SPARTINA STREET
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SECOND FLOOR PLAN

SHEET
A-3



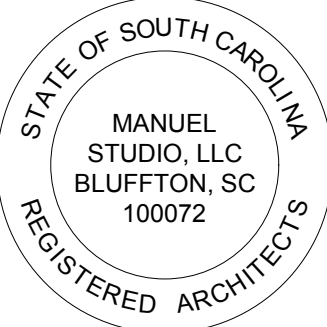
A SECOND FLOOR FRAMING PLAN
A4 SCALE: 1/4"=1'-0"

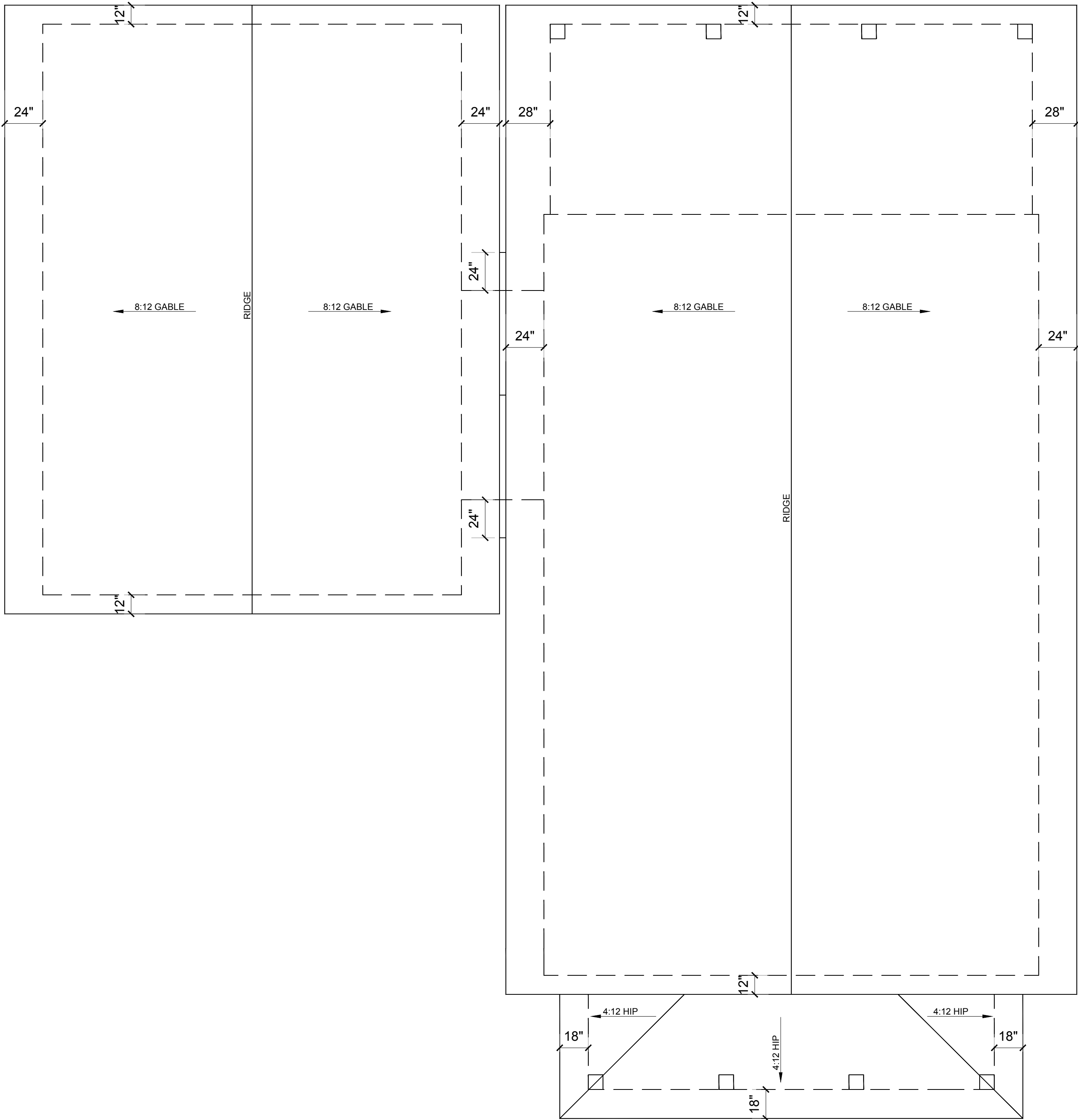
THE RECHTFERTIG RESIDENCE
4 WILD SPARTINA STREET
BLUFFTON, SOUTH CAROLINA 29910
SECOND FLOOR FRAMING PLAN

SHEET
A4

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A ROOF PLAN
A-5 SCALE: 1/4"=1'-0"

Section X, Item #1.

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THE RECHTFERTIG RESIDENCE
4 WILD SPARTINA STREET
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ROOF PLAN

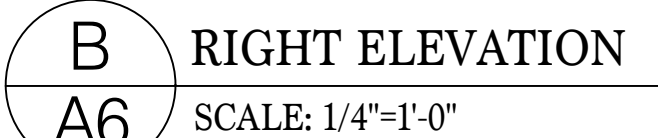
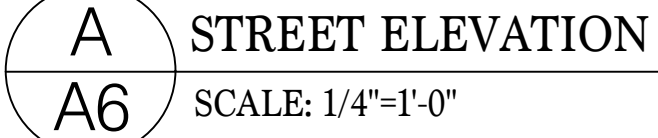
SHEET
A-5



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ELEVATIONS

A6

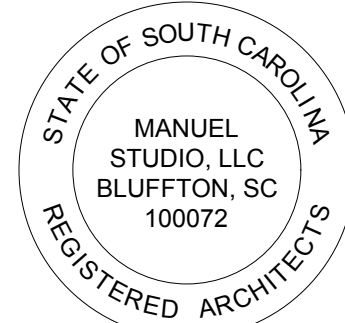




A REAR ELEVATION
A7 SCALE: 1/4"=1'-0"



B LEFT ELEVATION
A7 SCALE: 1/4"=1'-0"



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4 WILD SPARTINA STREET
BLUFFTON, SOUTH CAROLINA 29910

ELEVATIONS

SHEET
A7

Section X, Item #1.

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THE RECHTFERTIG RESIDENCE

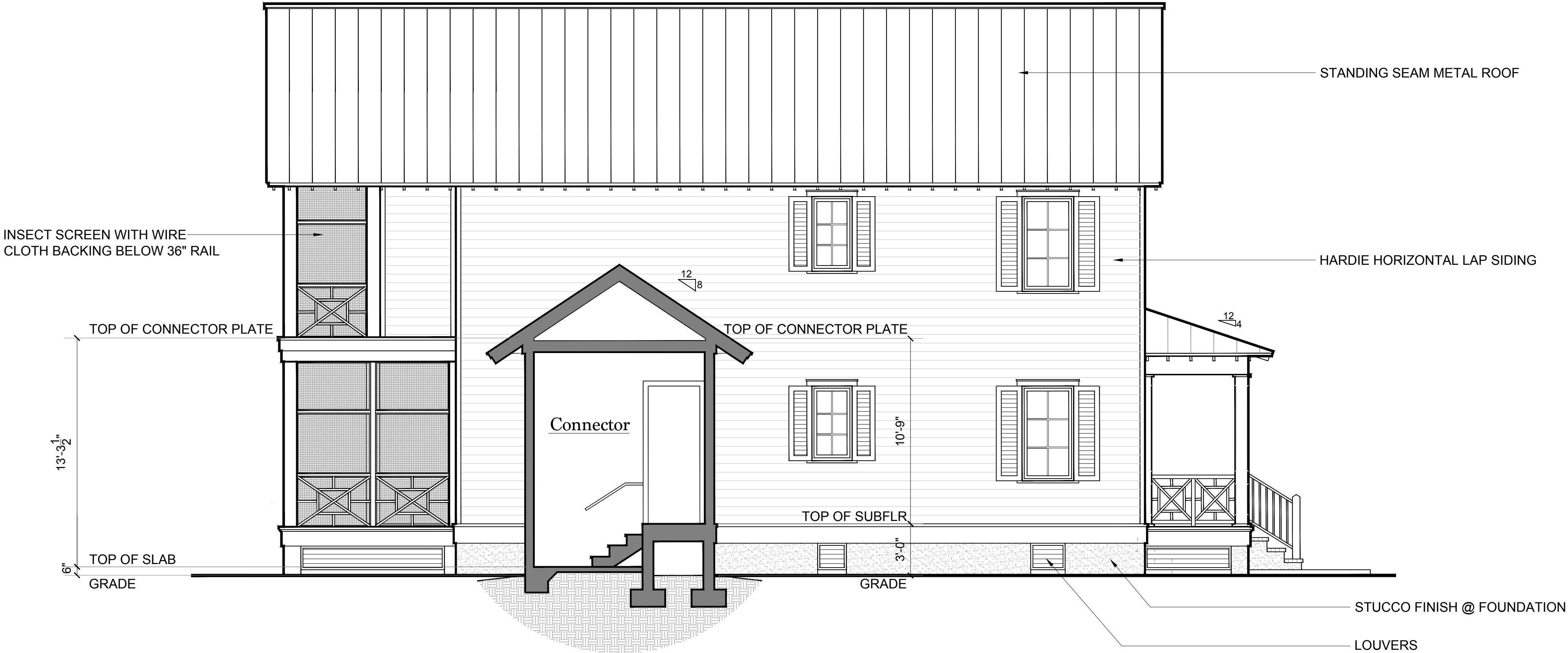
4 WILD SPARTINA STREET

BLUFFTON, SOUTH CAROLINA 29910

ELEVATIONS

SHEET

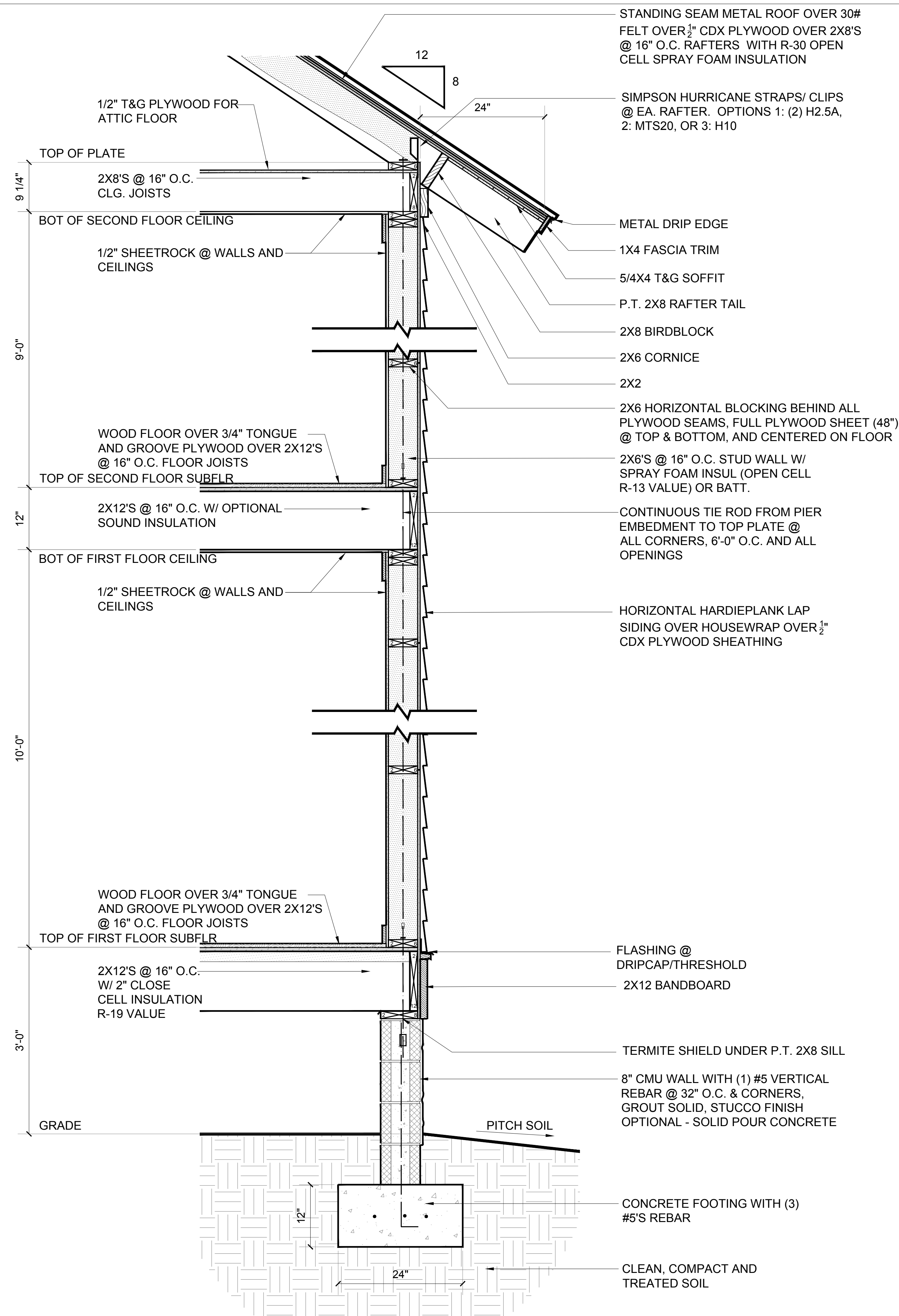
A7.2



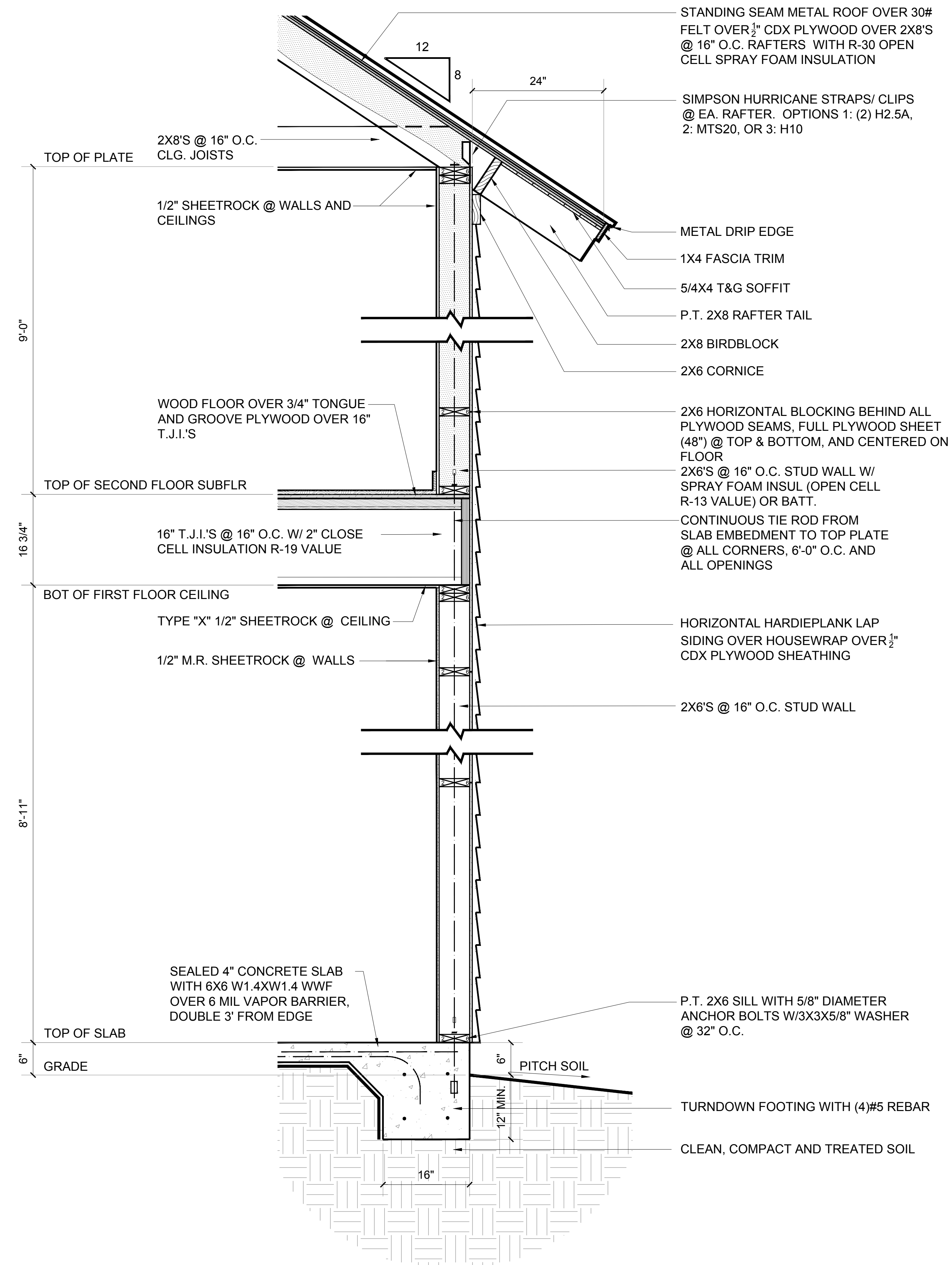
B
A7

LEFT ELEVATION CUT THROUGH CONNECTOR

SCALE: 1/4"=1'-0"



A WALL SECTION @ MAIN HOUSE
A8 SCALE: 1"=1'-0"



B WALL SECTION @ CARRIAGE HOUSE
A8 SCALE: 1"=1'-0"

DATE :
 12/12/22

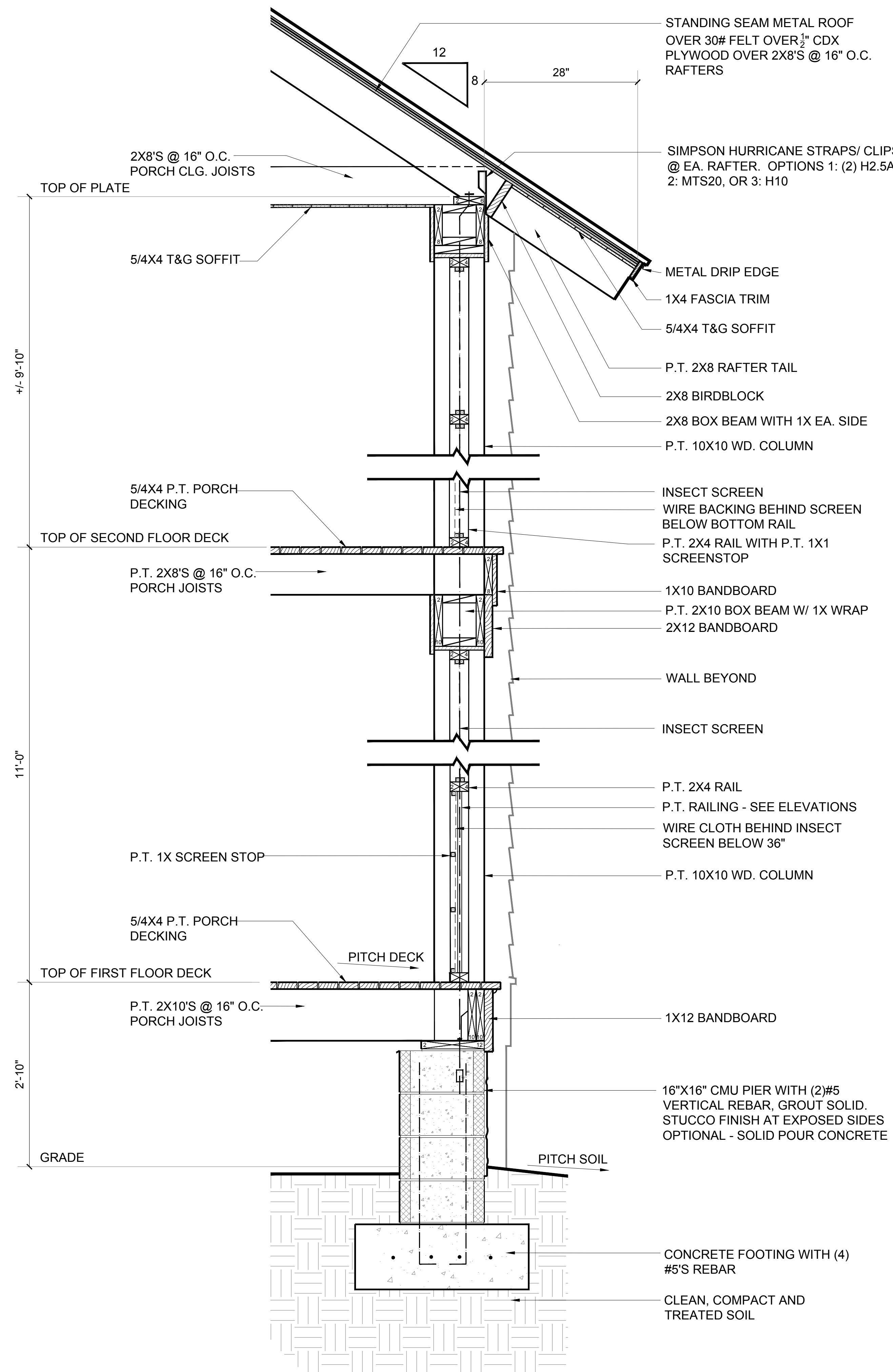
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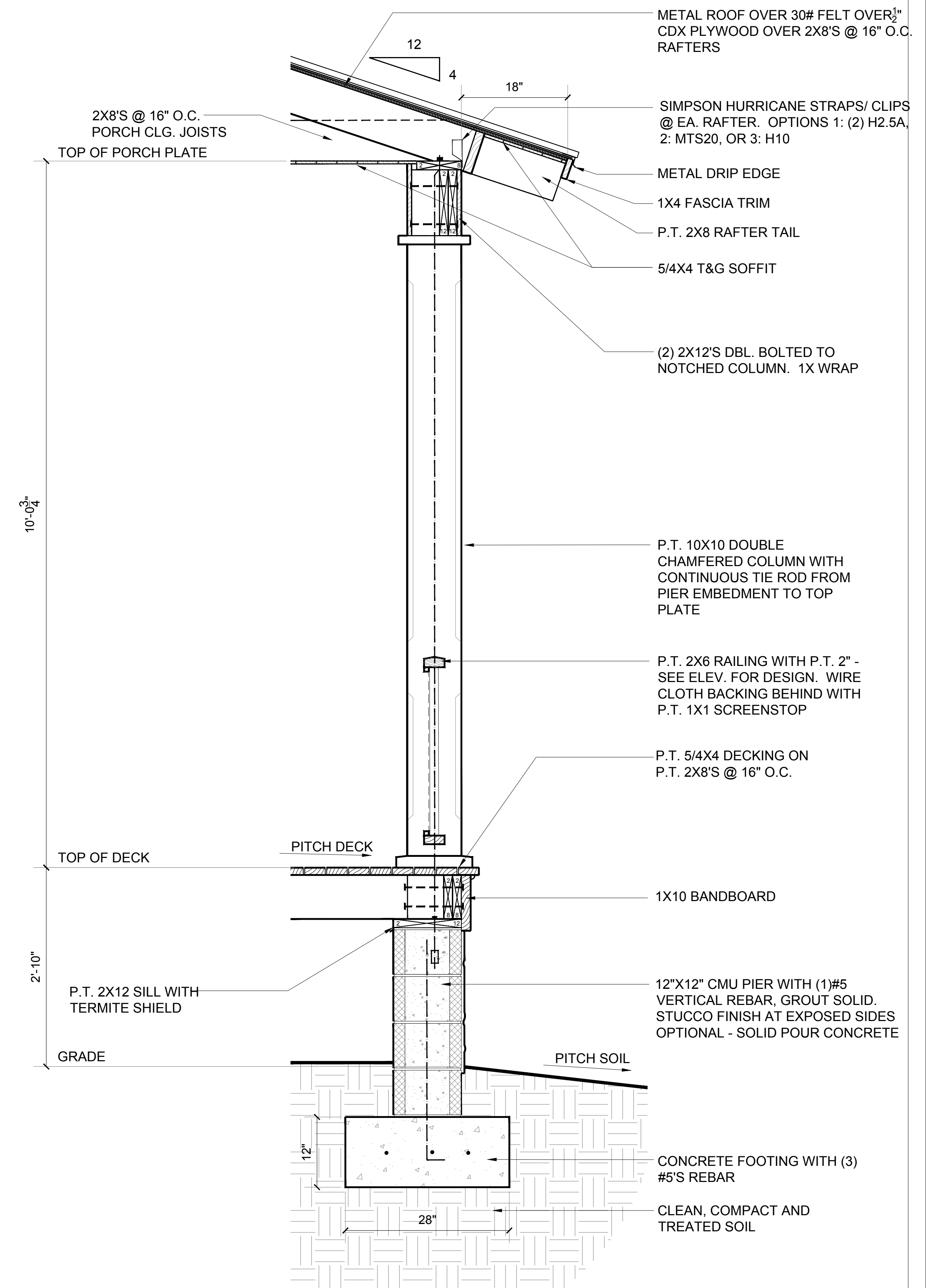
WALL SECTIONS

SHEET

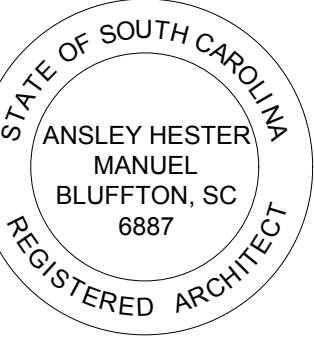
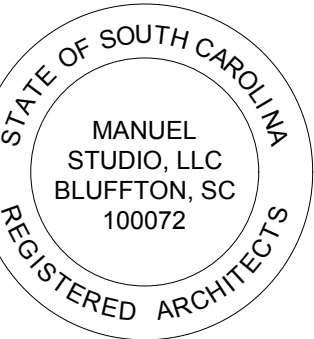
A8



A SCREEN DOUBLE REAR PORCH SECTION @ MAIN HOUSE
A9 SCALE: 1"=1'-0"



B STREET PORCH SECTION @ MAIN HOUSE
A9 SCALE: 1"=1'-0"



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PORCH SECTIONS

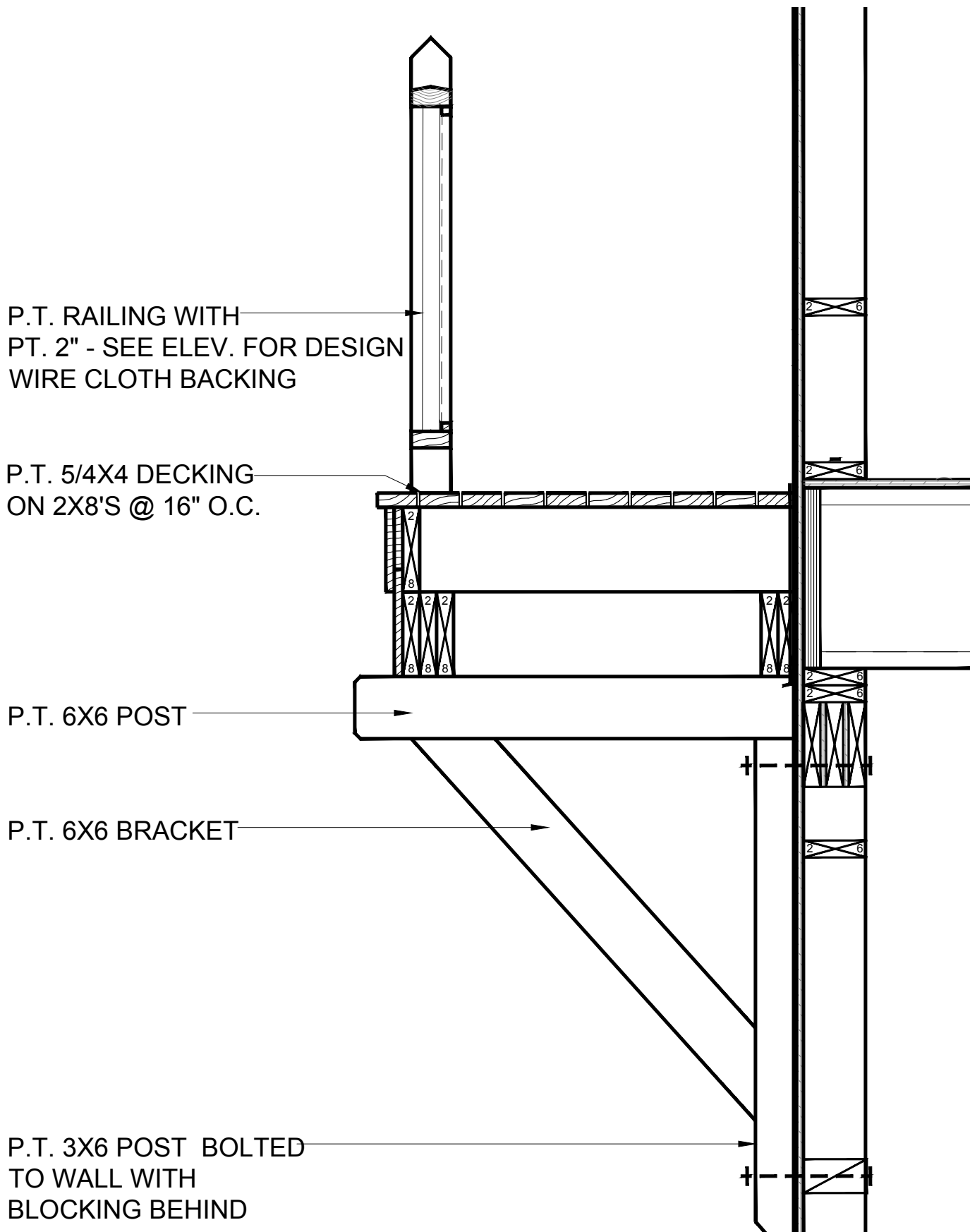
SHEET
A9

DOOR SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	3'-0"X8'-0"	HALF GLASS OUTSWING	6	
2	6'-0"X8'-0"	FRENCH OUTSWING	1/1	
3	3'-0"X6'-8"	HALF GLASS INSWING	6	3'-0"X2'-0" 4-LITE TRANSOM
4	9'-0"X8'-0"	GARAGE OVERHEAD	N/A	
5	3'-0"X7'-0"	HALF GLASS INSWING	6	
6	2'-6"X7'-0"	HALF GLASS OUTSWING	6	

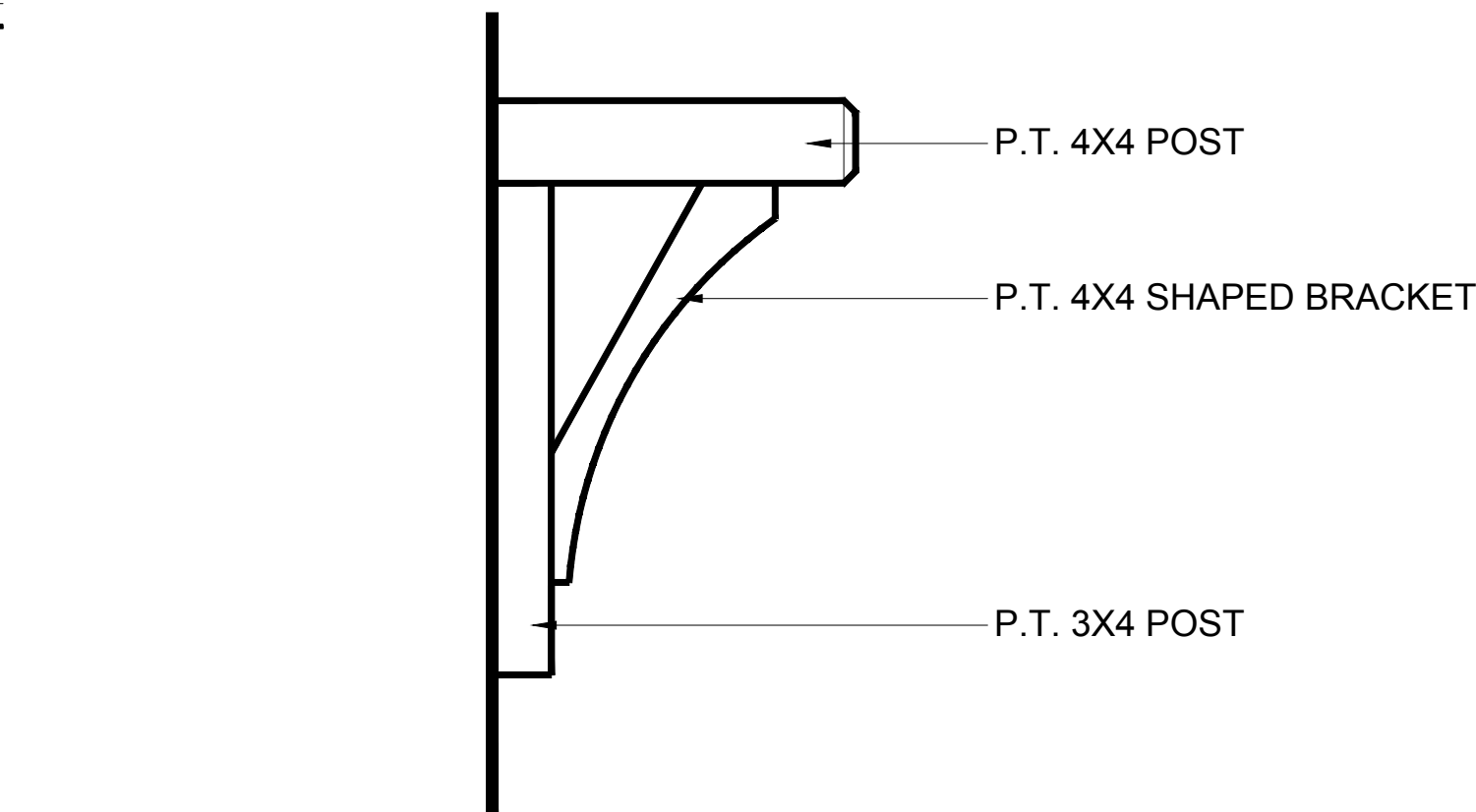
ALL EXTERIOR DOORS TO BE ALUMINUM CLAD (EXTERIOR), WOOD (INTERIOR) UNLESS OTHERWISE NOTED.
ALL INTERIOR DOORS TO BE 5 PANEL COMPOSITE MATERIAL, MDF PREFERRED, UNLESS OTHERWISE NOTED.
ALL GLASS TO BE IMPACT RESISTANT.

WINDOW SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	3'-0" X 5'-6"	CASEMENT	6	
B	2'-4" X 4'-4"	CASEMENT	6	
C	3'-0" X 5'-0"	CASEMENT	6	
D	2'-8" X 5'-0"	CASEMENT	6	
E	2'-8" X 4'-8"	CASEMENT	6	
F	2'-2" X 2'-2"	FIXED	4	2'-2" X 2'-6" PANEL BELOW
G	2'-3" X 4'-8"	FIXED	6	
I	2'-2" X 4'-0"	FIXED	6	
J	1'-8" X 2'-8"	AWNING	4	

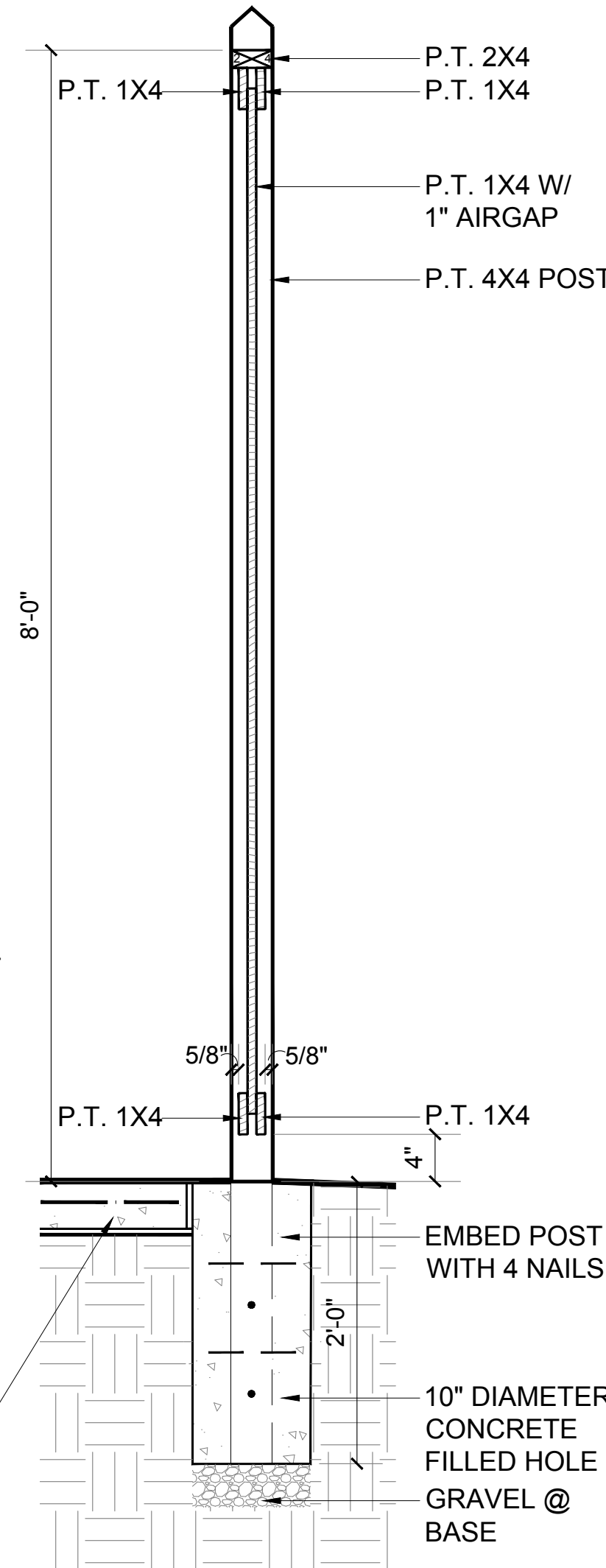
ALL WINDOWS ARE WOOD INTERIOR AND CLAD EXTERIOR.
ALL GLASS TO BE IMPACT RESISTANT.
DP RATINGS ARE 35 IF MORE THAN 4' FROM OUTSIDE CORNER & 45 IF WITHIN 4' FROM OUTSIDE CORNER



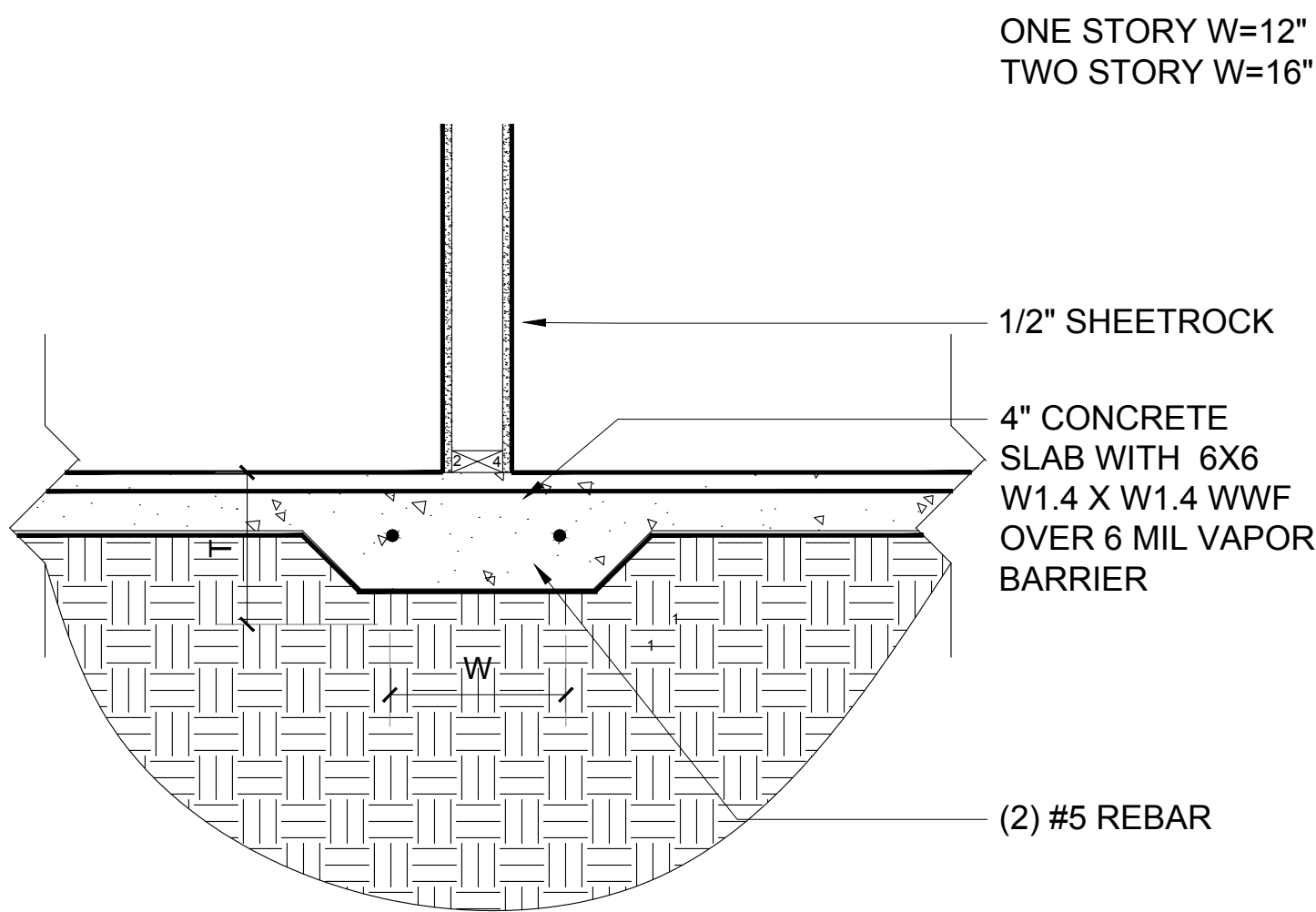
A BALCONY SECTION
A10 SCALE: 1"=1'-0"



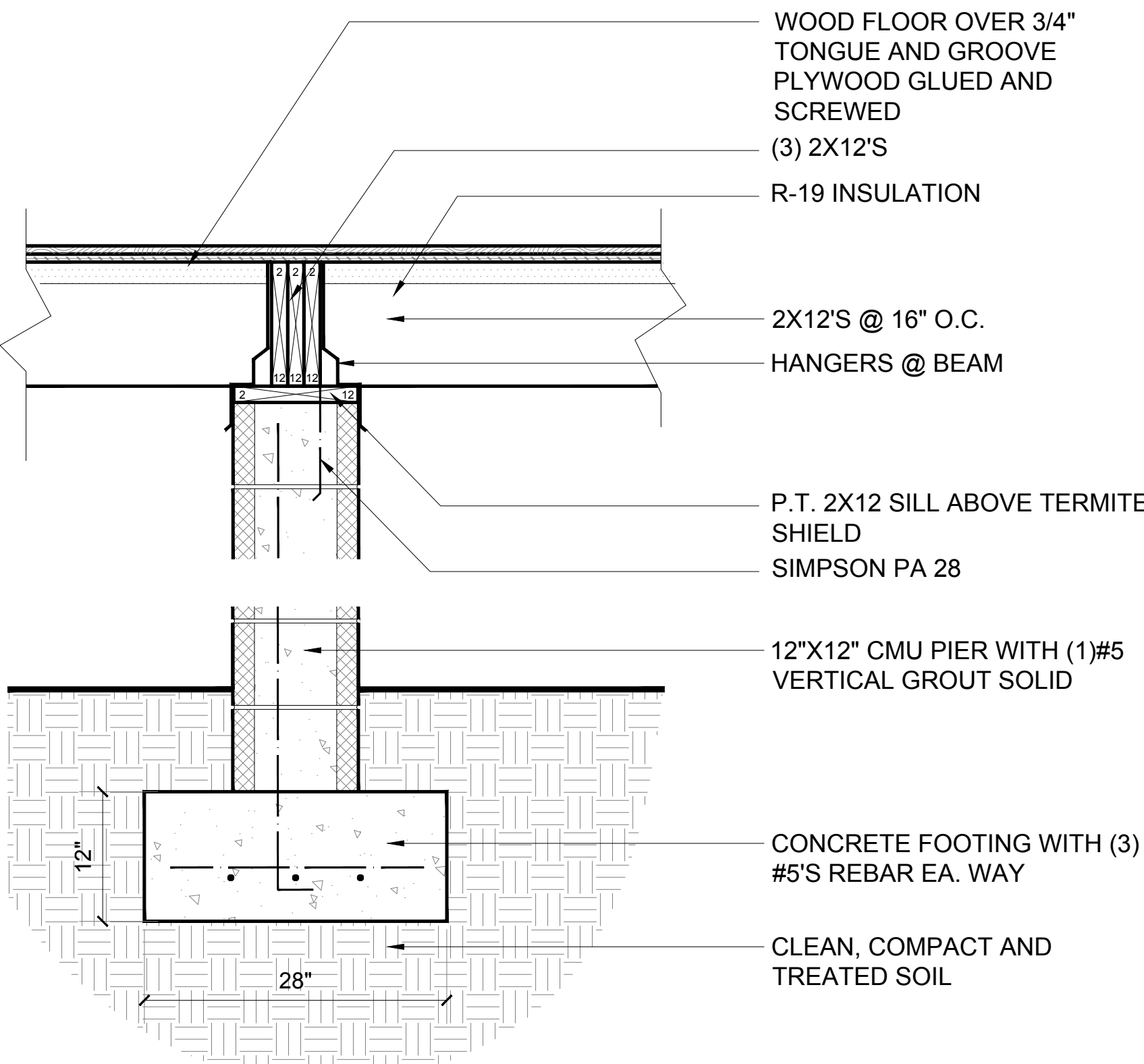
B GABLE BRACKET
A10 SCALE: 1 1/2"=1'-0"



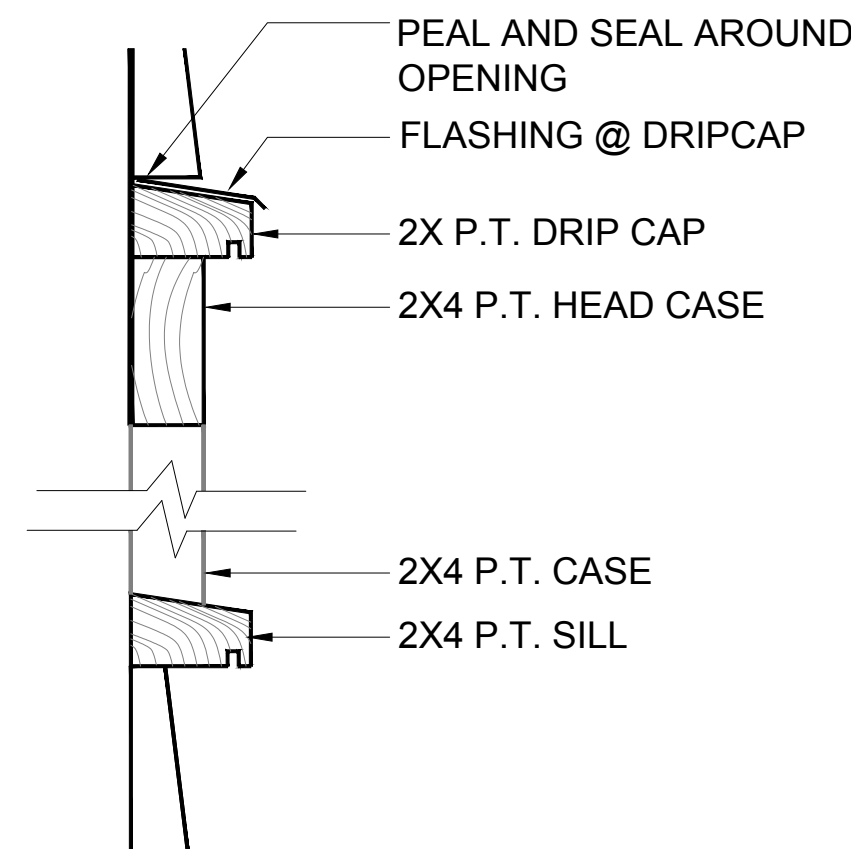
C SERVICE YARD DETAIL
A10 SCALE: 1"=1'-0"



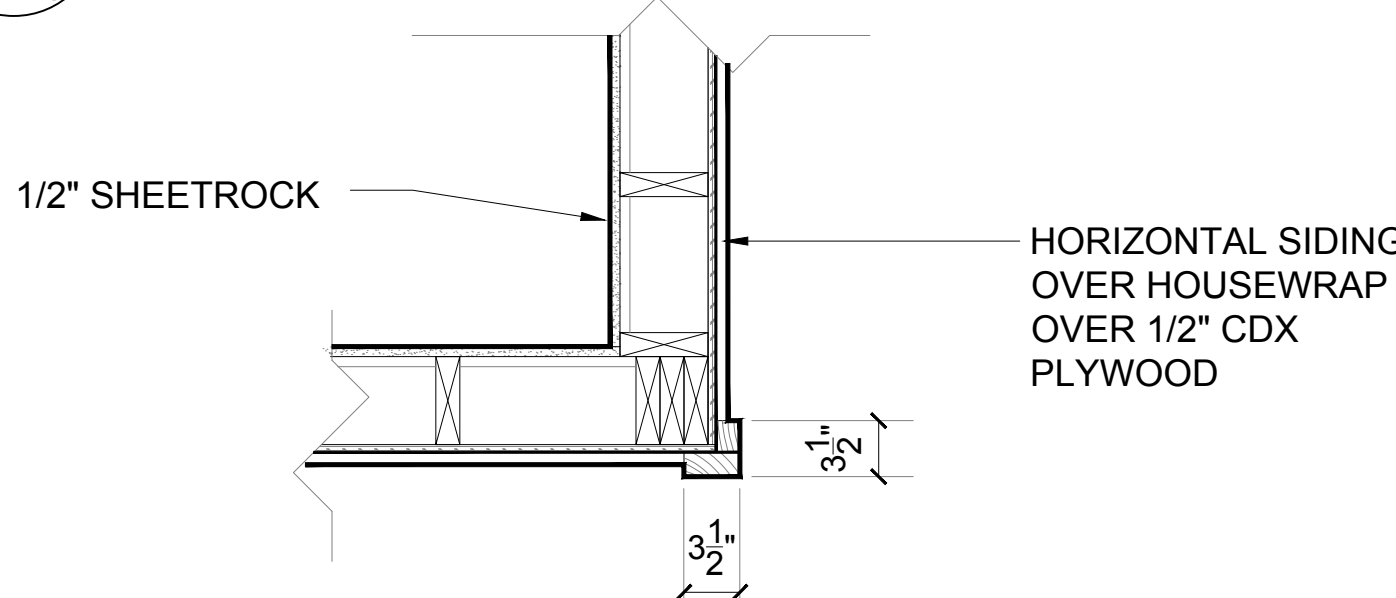
D TYP. THICKENED SLAB
A10 SCALE: 1"=1'-0"



E INTERIOR PIER (TYPICAL)
A10 SCALE: 1"=1'-0"



F WINDOW TRIM DETAIL @ SHIPLAP
A10 SCALE: 3"=1'-0"



G CORNER DETAIL
A10 SCALE: 1"=1'-0"

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STATE OF SOUTH CAROLINA
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BLUFFTON, SC 6887
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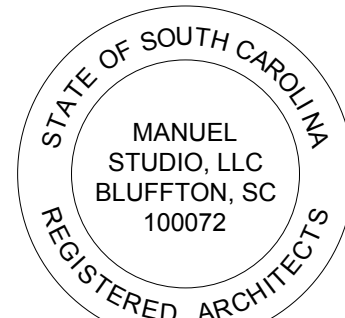
4 WILD SPARTINA STREET

BLUFFTON, SOUTH CAROLINA 29910

SCHEDULES & DETAILS

SHEET

A10



DATE: 12/12/22

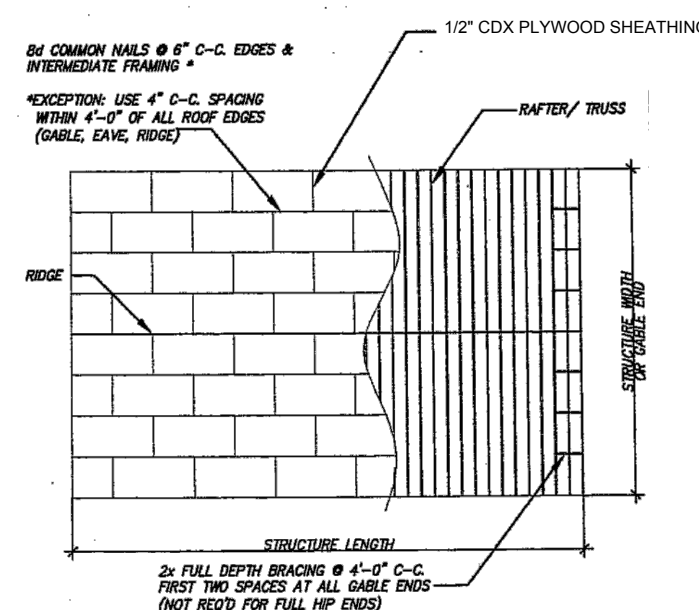
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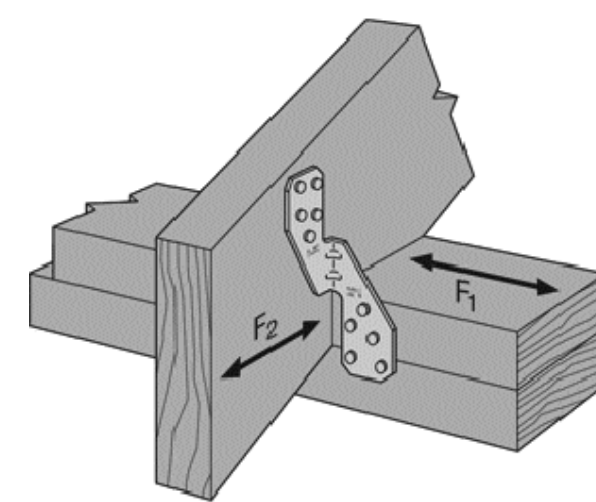
DETAILS

SHEET

A11

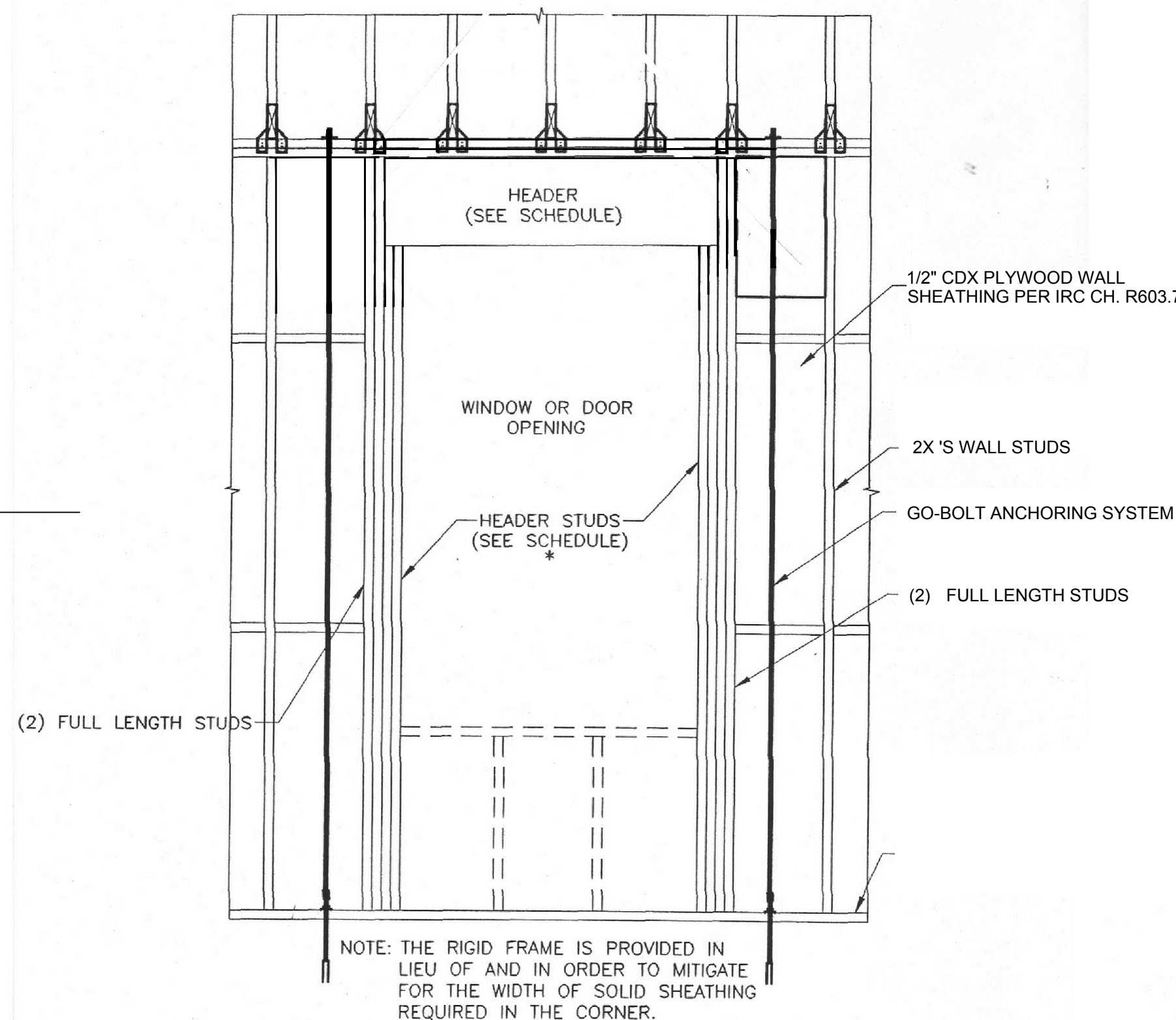


A ROOF SHEATHING & CONSTRUCTION
 A11 SCALE: N.T.S.

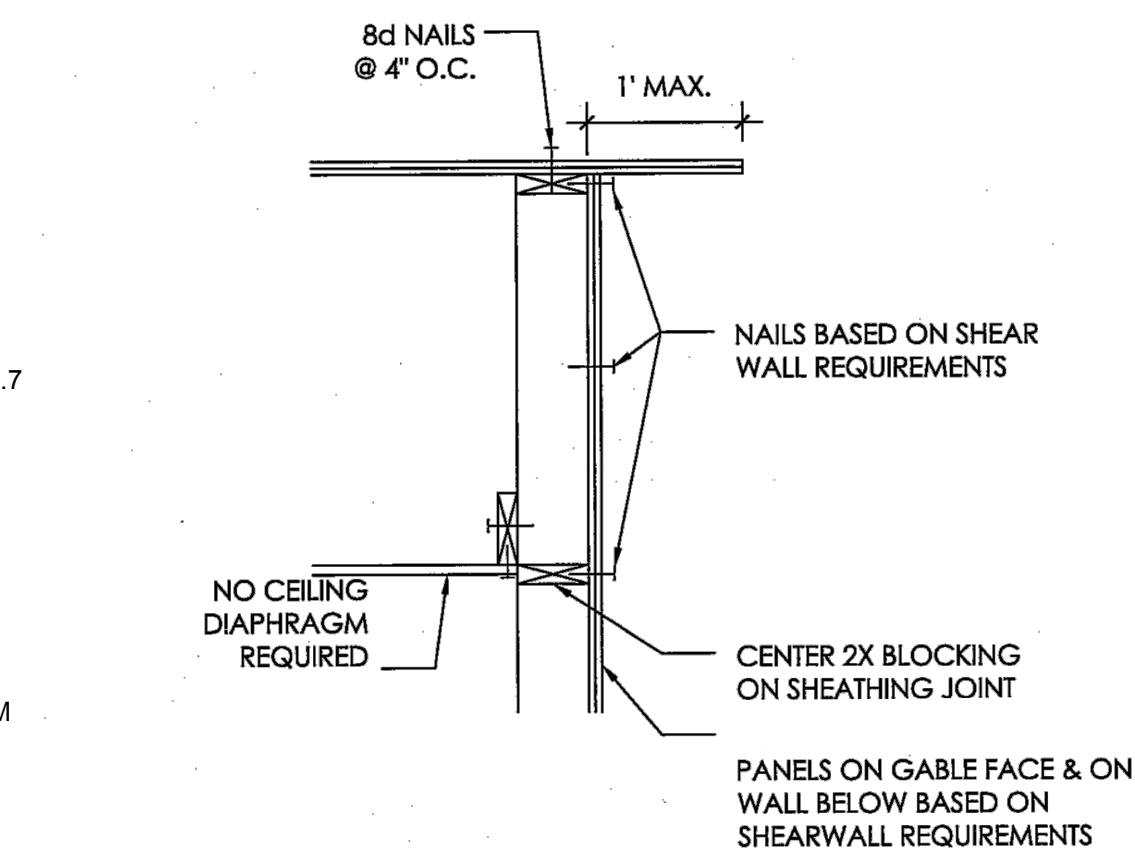


HURRICANE RAFTER STRAPS/CLIP
 OPTIONS - MTS 30, H10 OR (2)H2.5

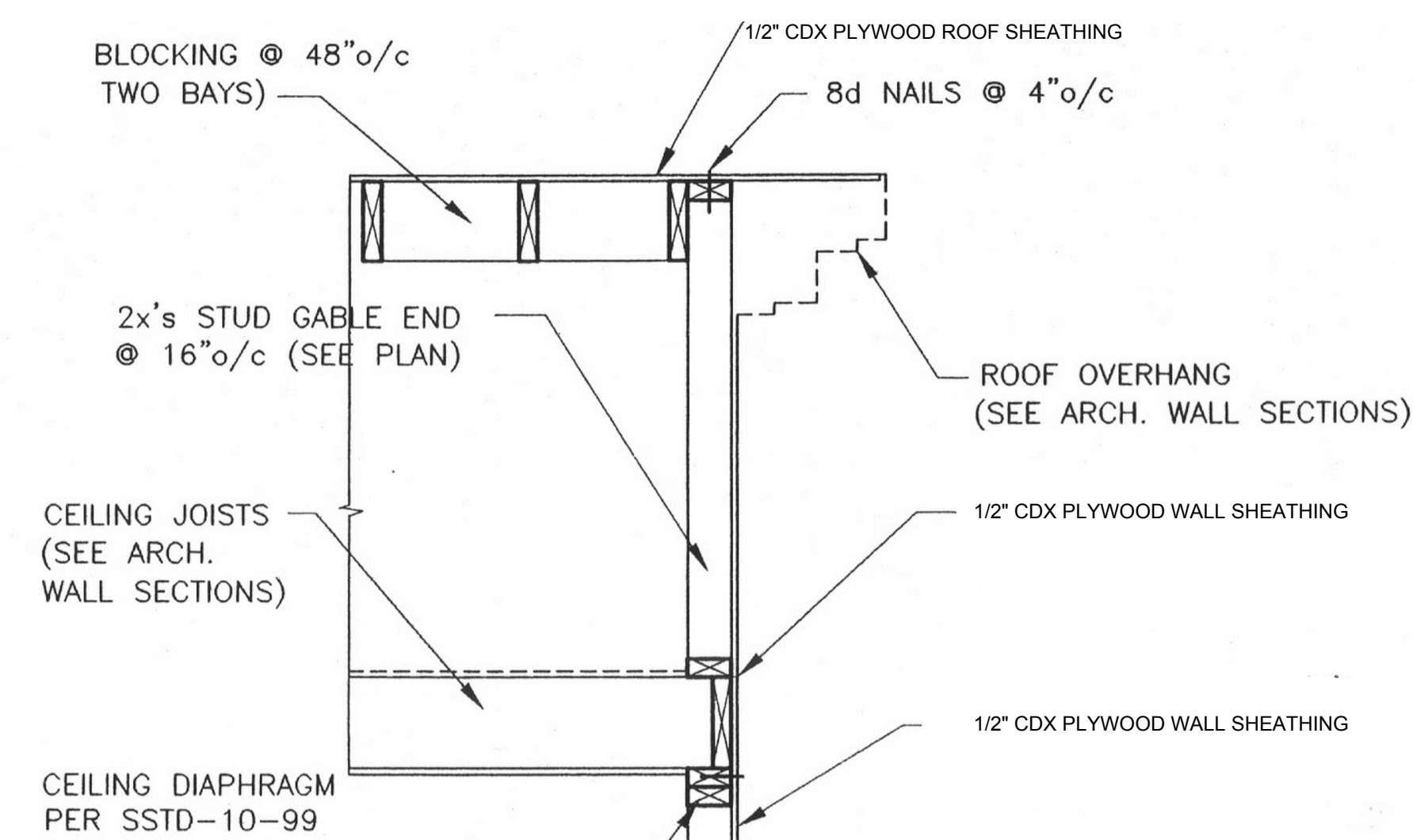
B HURRICANE RAFTER STRAPS
 A11 SCALE: N.T.S.



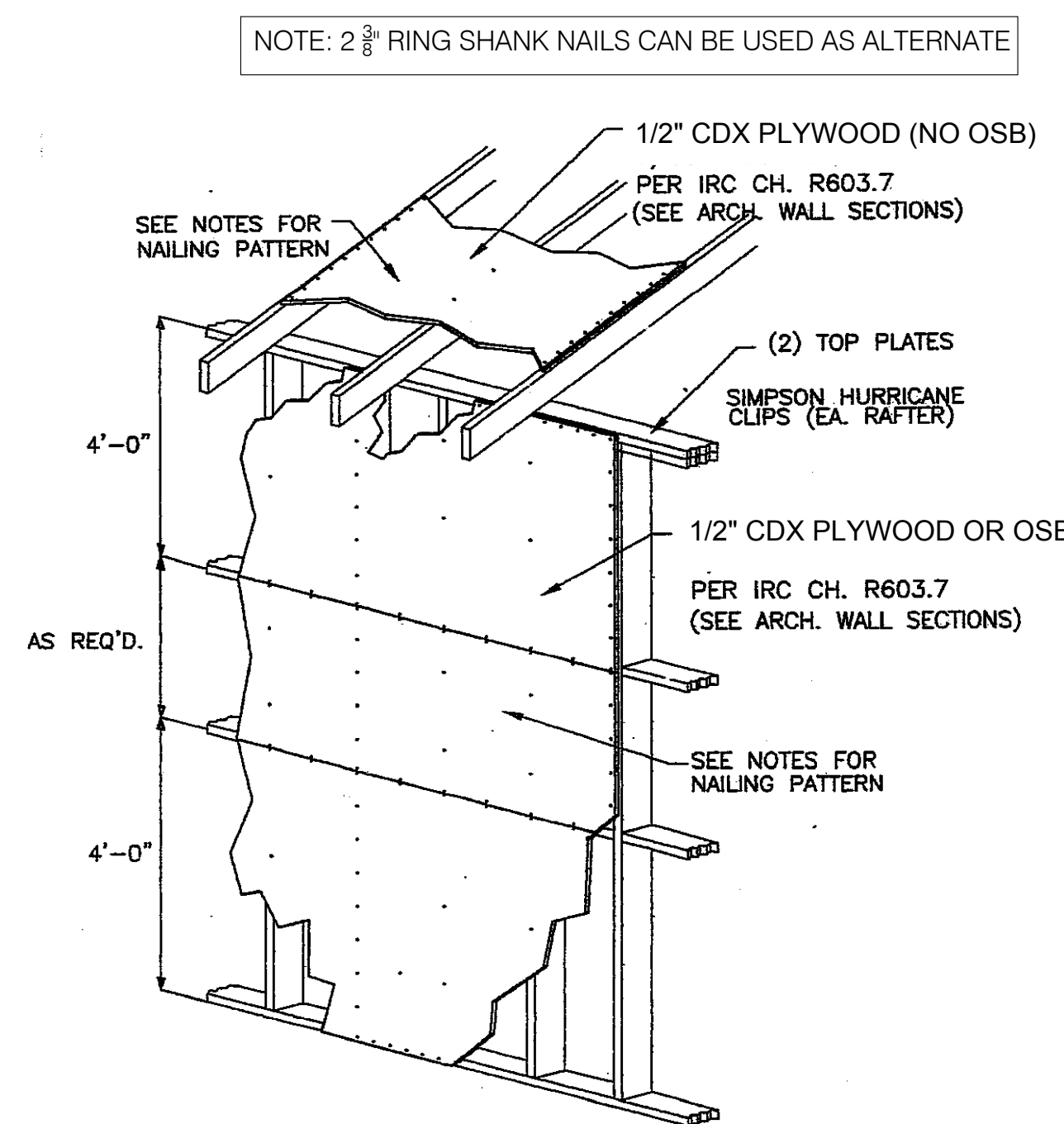
C TYPICAL OPENING FRAME
 A11 SCALE: N.T.S.



D BALLOON FRAMED GABLE DETAIL (PREFERRED)
 A11 SCALE: N.T.S.



E TYP. 2 STORY EXTERIOR WALL ASSEMBLY
 A11 SCALE: N.T.S.



WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK)
 3"o/c AROUND EDGES AND 6"o/c IN FIELD
 OR
 WALL AND ROOF SHEATHING WILL BE NAILED WITH 10d NAILS (TWISTED SHANK)
 4"o/c AROUND EDGES AND 6"o/c IN FIELD
 PROVIDE SHEATHING SPLICES OVER BLOCKING OR FRAMING
 THE SHEATHING MAY BE PLACED EITHER HORIZONTALLY OR VERTICALLY

F SHEATHING NAILING PATTERN
 A11 SCALE: N.T.S.

G PLATFORM FRAMED GABLE DETAIL (ALTERNATE)
 A11 SCALE: N.T.S.

DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x6's @ 16" O.C.)
 (3) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
 (3) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
 (3) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS
DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x4's @ 16" O.C.)
 (2) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
 (2) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
 (2) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

THE CEILING / ATTIC JOISTS WILL BE:

2x6's @ 16"o/c UP TO 10' SPAN
 2x8's @ 16"o/c UP TO 13'-8" SPAN
 2x10's @ 16"o/c UP TO 16' SPAN
 2x12's @ 16"o/c UP TO 20' SPAN

THE ROOF RAFTERS WILL BE:

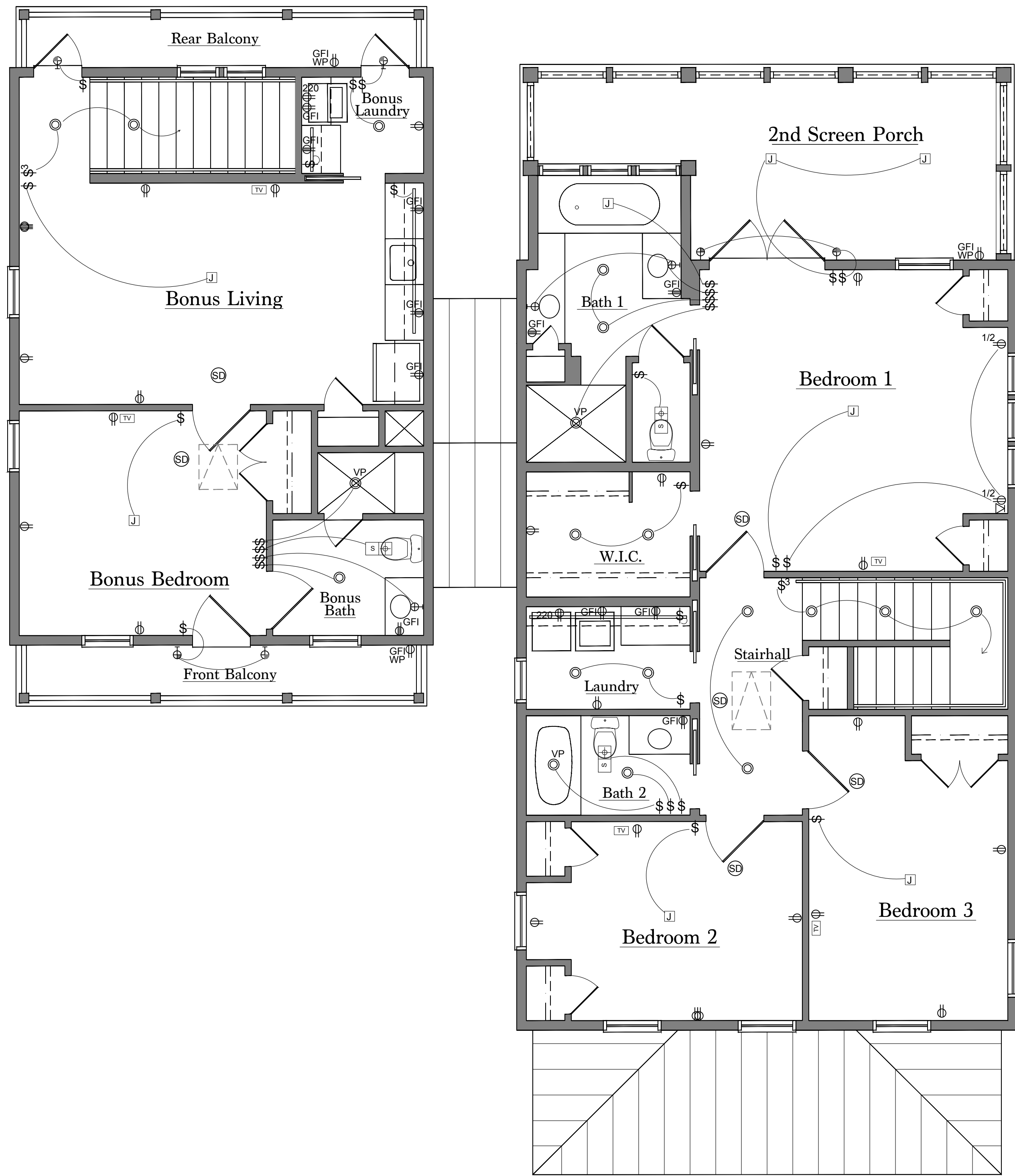
2x6's @ 16"o/c UP TO 8'-0" (UNSHORED) SPAN
 2x8's @ 16"o/c UP TO 12'-0" (UNSHORED) SPAN
 2x10's @ 16"o/c UP TO 15'-0" (UNSHORED) SPAN
 2x12's @ 16"o/c UP TO 18'-0" (UNSHORED) SPAN

THE EXTERIOR WALL STUDS SCHEDULE:

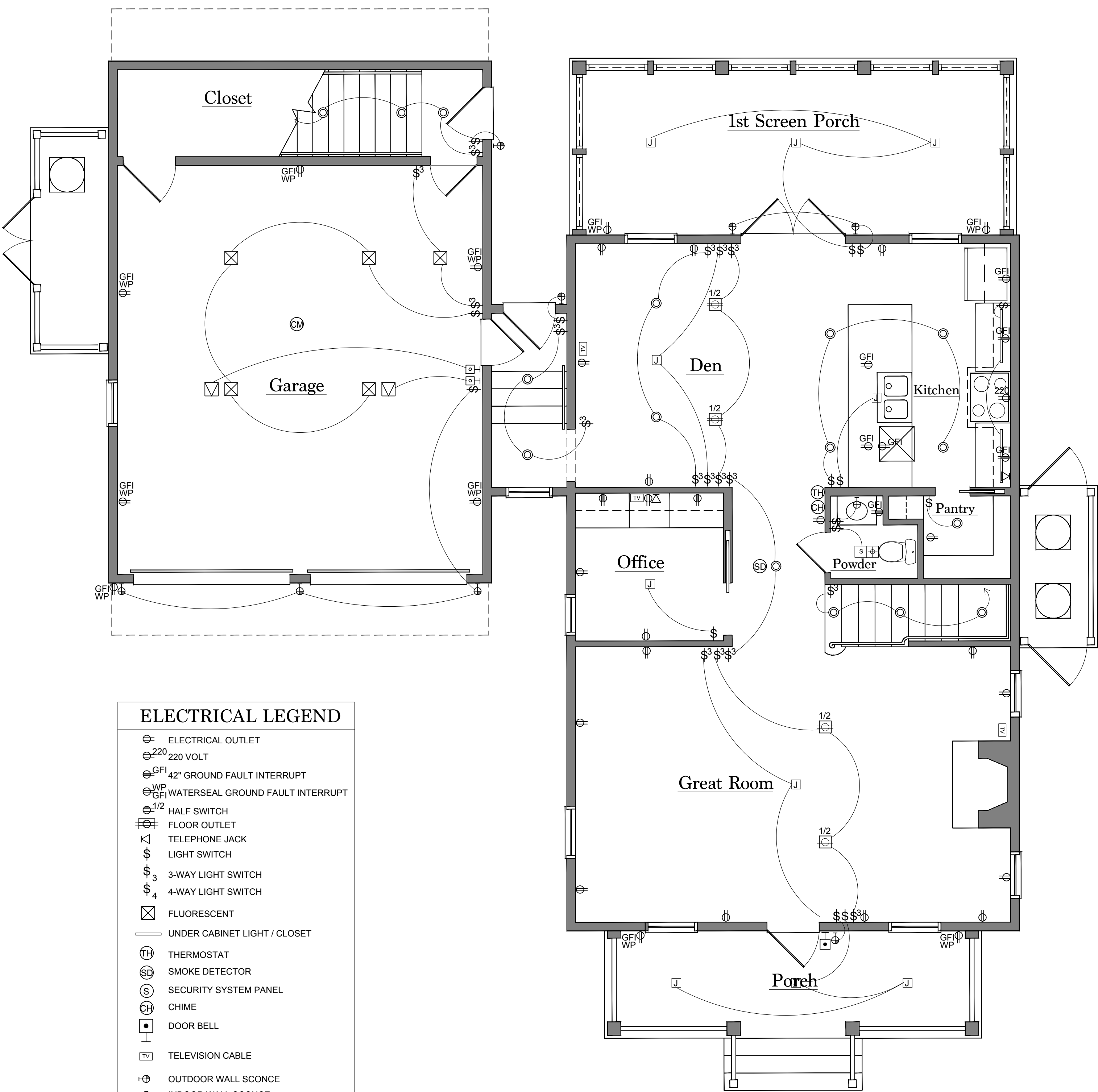
(FOR V₃₅=120 MPH)

2x4's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 9'-1 1/2"
 2x6's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 12'-1 1/2"
 2x8's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 18'-1 1/2"
 OR DOUBLE 2x6's IN LIEU OF 2x8's

H FRAMING SCHEDULE
 A11 SCALE: N.T.S.



A
A12 ELECTRICAL FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



B
A12 ELECTRICAL SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

- ELECTRICAL LEGEND**
- ⊖ ELECTRICAL OUTLET
 - ⊖²²⁰ 220 VOLT
 - ⊖^{GFI} 42" GROUND FAULT INTERRUPT
 - ⊖^{WP} WATERSEAL GROUND FAULT INTERRUPT
 - ⊖^{1/2} HALF SWITCH
 - ⊖^F FLOOR OUTLET
 - ⊖^{TJ} TELEPHONE JACK
 - \$ LIGHT SWITCH
 - \$₃ 3-WAY LIGHT SWITCH
 - \$₄ 4-WAY LIGHT SWITCH
 - ⊖ FLUORESCENT
 - UNDER CABINET LIGHT / CLOSET
 - ⊖ THERMOSTAT
 - ⊖ SMOKE DETECTOR
 - ⊖ SECURITY SYSTEM PANEL
 - ⊖ CHIME
 - ⊖ DOOR BELL
 - ⊖ TELEVISION CABLE
 - ⊖ OUTDOOR WALL SCONCE
 - ⊖ INDOOR WALL SCONCE
 - ⊖ RECESSED CAN LIGHT
 - ⊖^{VP} VAPOR SEALED RECESSED CAN LIGHT
 - ⊖ DIRECTIONAL RECESSED CAN LIGHT
 - ⊖ CHANDELIER
 - ⊖ PENDANT LIGHT
 - ⊖ JUNCTION BOX
 - ⊖ CLG FAN/LIGHT
 - ⊖ CLG FAN
 - ⊖ HOSE BIBB
 - ⊖^S LIGHT/EXHAUST FAN RECESSED
 - ⊖ RECESSED EXHAUST FAN
 - ⊖ PANEL
 - ⊖ METER
 - ⊖ DISCONNECT

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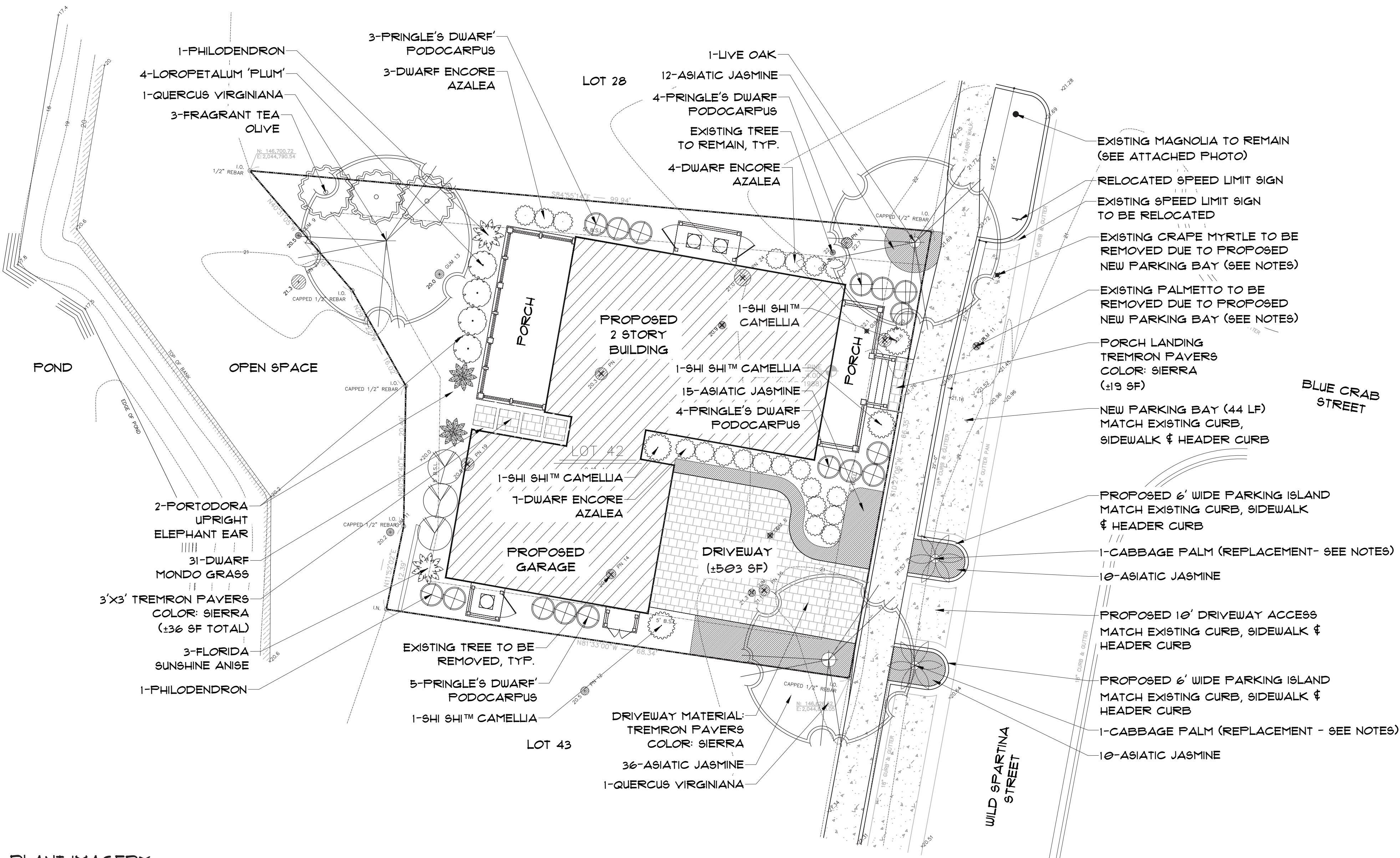
STATE OF SOUTH CAROLINA
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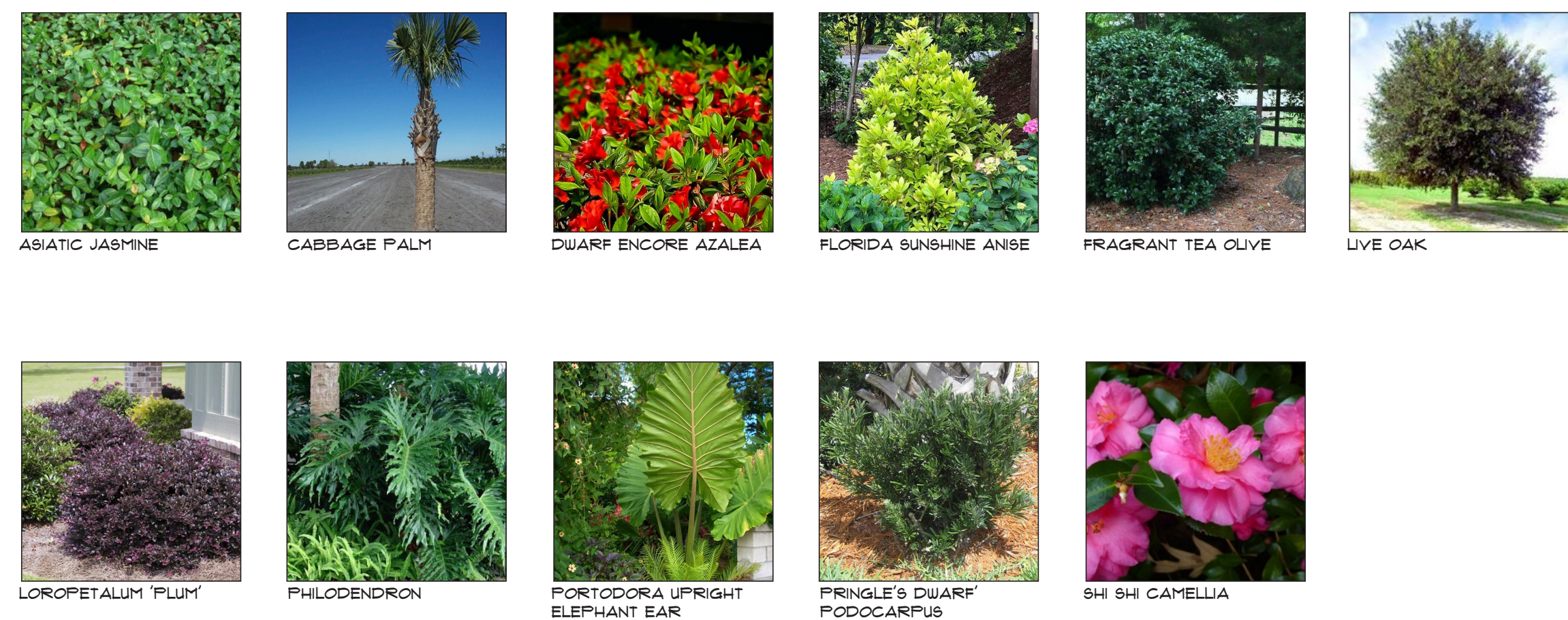
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BLUFFTON, SOUTH CAROLINA 29910
ELECTRICAL FIRST FLOOR PLAN

SHEET
A15

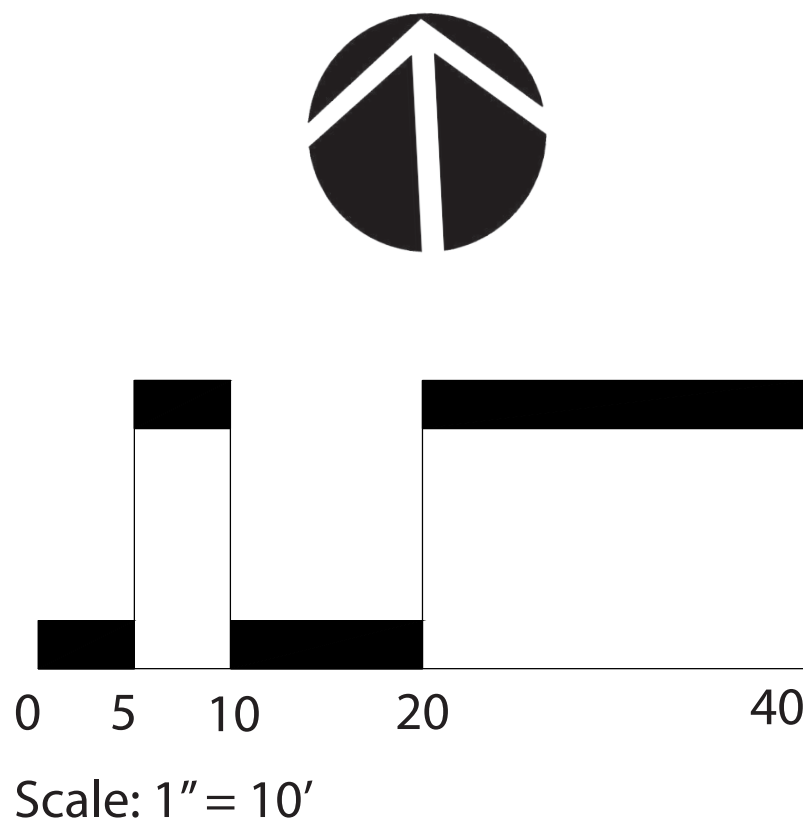


PLANT IMAGERY



PLANT SCHEDULE

Quantity	Common Name	Botanical Name	Container	Height	Spread	Caliper	Notes
2	Cabbage Palm (Refoliated)	Sabal Palmetto		12'-14'			(Refoliated) Replacing 2 Existing Parking Island Trees
3	Live Oak	Quercus virginiana				2" Cal.	
Shrub							
14	Dwarf Encore Azalea	Rhododendron Encore	3 gal.				
4	Shi Shi™ Camellia	Camellia sasanqua Shi Shi	7 gal.				
3	Florida Sunshine Anise	Illicium parviflorum 'Florida Sunshine'	7 gal.	2.5'	1.5'		
3	Fragrant Tea Olive	Osmarthus fragrans	7 gal.	2.5'	1.25'		
4	Loropetalum 'Plum'	Loropetalum chinensis 'Plum'	7 gal.	2'	1.5'		
2	Philodendron	Philodendron bipinnatifidum	7 gal.	2.5'	3.5'		
2	Portodora Upright Elephant Ear	Alocasia Portodora	7 gal.	2'	1.5'		
16	Pringle's Dwarf Podocarpus	Podocarpus macrophyllus 'Pringle's Dwarf'	3 gal.	1'	1'		
Vines/Groundcover							
83	Asiatic Jasmine	Trachelospermum asiaticum	1 gal.				
31	Dwarf Mondo Grass	Ophiopogon japonicus 'Nanus'	1 gal.				1" O.C.
2,475 SF +/-	Pinestraw Mulch	Pinestraw Mulch in Disturbed Areas					



NOTES

PROPOSED TREE REMOVAL AT RIGHT OF WAY:

1. SABAL PALMETTO
2. CRAPE MYRTLE

PROPOSED TREE REPLACEMENT AT RIGHT OF WAY:

1. SABAL PALMETTO 12'-14' HT.
2. SABAL PALMETTO 12'-14' HT.

APPLICANT PROPOSES 2 SABAL PALMETTOS IN LIEU OF 1 SABAL PALMETTO & 1 CRAPE MYRTLE AS 2 SABAL PALMETTOS WILL SATISFY THE NEED FOR VEGETATION IN THE (2) 6' PROPOSED PARKING ISLANDS. THE REMAINING EXISTING SHORTENED ISLAND (ORIGINALLY 45.03') WILL RETAIN ITS MAGNOLIA AND RELOCATED SPEED LIMIT SIGN AND AS SUCH NEEDS NO ADDITIONAL TREES.

APPLICANT WILL COORDINATE TREE REPLACEMENT WITH TABBY ROADS ARB AND PROVIDE A LETTER OF APPROVAL FROM THE ARB.

EXISTING R.O.W. TREES - 4 WILD SPARTINA STREET



EXISTING MAGNOLIA IN RIGHT OF WAY IS NOT IMPACTED BY PARKING ISLAND MODIFICATION

(PHOTO COURTESY OF GOOGLE MAPS STREET VIEW)

FINAL LANDSCAPE DEVELOPMENT PLANS

For

Brad Rechfertig

4 Wild Spartina Street
Bluffton, SC

December 6, 2022



Prepared By:

Maria Drawdy
Landscape Designer

Landscape Plan Drafted by:
Maria Drawdy, Landscape Designer

Architect:
Ansley Hester Manuel, Architect
Manuel Studio, LLC
104 Pritchard Street
Bluffton, SC 29910
(843) 338-8932

Survey Provided by:
Surveying Consultants
17 Sherington Drive
Bluffton, SC 29910
(843) 815-3304

MARIA GHYS DESIGNS LLC

P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565

AERIAL IMAGE OF SITE



SITE ANALYSIS:

EXISTING TREE CANOPIES: +/- 1,079 SF



SITE ANALYSIS:

PROPOSED TREE CANOPIES: +/- 1,111 SF



TREE CANOPY SUMMARY

TOTAL LOT ACREAGE: 4,791.60 SF
TOTAL ROOF SF: 2,133.88 +/- SF
4,791.60 - 2,133.88 = 2,657.72 SF
2,657.72 SF X 75% = 1,993 SF
TOTAL REQUIRED TREE CANOPY COVERAGE @ 75% = +/- 1,993 SF
TOTAL EXISTING ON SITE & ADJACENT TREE CANOPY: +/- 1,079 SF
TOTAL PROPOSED TREE CANOPY: +/- 1,777 SF
TOTAL EXISTING & ADJACENT TREE & PROPOSED TREE CANOPY: +/- 2,856 SF



PLAN REVIEW COMMENTS FOR COFA-05-22-016795

Section X. Item #1.

Town of Bluffton

Department of Growth Management

20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910

Telephone 843-706-4522

OLD TOWN

Plan Type:	Historic District	Apply Date:	05/26/2022
Plan Status:	Active	Plan Address:	4 Wild Spartina St BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 000 1222 0000
Plan Description:	<p>A request by Ansley H Manuel, on behalf of the owners, Brad and Jacki Rechtfertig, for review of a Certificate of Appropriateness- HD to allow the construction of two-story single-family residence of approximately 2,043 SF and a Carriage House of approximately 1,136 SF to be located at 4 Wild Spartina Street, Lot 42 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.</p> <p>STATUS [5/27/2022]: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 20, 2022 meeting.</p>		

Staff Review (HD)

Submission #: 1 Received: 05/26/2022 Completed: 06/17/2022

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	06/17/2022	Katie Peterson	Revisions Required

Comments:

1. Additional information must be provided to ensure no parking spaces are lost in the street parking with the reconfiguration of the landscaped island. Provide additional information showing the parallel spaces will still meet the 22' length requirement, the proposed relocation for the speed limit sign, the materials for the curb, sidewalk, and header curb, and a detailed list of the trees being removed from ROW. Applicant will coordinate with HOA and replace the large palm tree, a crape myrtle tree and a magnolia tree (at least 4" caliper).
2. As the project is within the Tabby Roads Development, a letter of approval from the Tabby Roads HARB is required by time of final submittal. (Applications Manual)
3. Scaled drawings must be submitted with final submittal. As the renderings of the elevations were not provided at scale, additional comments may result from review at Final Submittal. Additionally, additional information regarding the side elevation of the primary structure which is no visible behind the Carriage House roof line must be provided for review. (Applications Manual)
4. Residential structures shall have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. The front elevation has a label at 34", however, it is unclear if this is the porch height or the finished floor height. Provide clarification to ensure this standard has been met. (UDO 5.15.5.F.1.c)
5. The front principal façade of all buildings must be built parallel to the street that it faces. The structure is not proposed parallel to the street. (UDO 5.15.5.F.)
6. Balconies are required a 4 ft. depth minimum, or a depth that is proportionate to the height and width of the building for upper floor balconies. Provide additional information on the Carriage House balcony to ensure the depth requirement has been met. (5.15.6.E.)
7. The rear/pond elevation of the Carriage House appears to change materials on a flat plane and utilize false shutters. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. ... As an additional reference for architectural standards, refer to Traditional Construction Patterns, by Stephen Mouzon (McGraw Hill, 2004). Vertical joints between different materials should occur only at inside corners. Additionally, inoperable shutters are prohibited. Revise pond elevation to remove the material change on the same plane and false shutter. (UDO 5.15.6.F.4 and TCP Section 19)
8. Column spacing appears to be further apart on center than they are tall on the second story pond elevation. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). Revise the second floor balcony to space porch posts no farther apart than they are tall. (UDO 5.15.6.H)
9. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, bracket detail, a section through the eave, service yard detail, and landscape plan showing foundation plantings, street trees and canopy coverage as not enough information was provided in the submittal to review for conformance with the UDO. (Applications Manual)

Comments:

1. Confirm stormwater inlet locations on site plans. Modifications of existing stormwater structures require MS4 approval.
2. The Town will require a Stormwater Affidavit and implementation of the Construction Site BMPs found in Chapter 5 of the Southern Lowcountry Stormwater Design Manual, the SCDHEC Erosion and Sediment Reduction standards, and other Stormwater Management regulations, where applicable before Building Permits will be issued.

Building Safety Review

05/26/2022

Richard Spruce

Revisions Required

Comments:

26 May 22 - The proposed guardrails will not meet the IRC requirements. No opening shall allow a 4-inch sphere to pass through per section 312.

HPRC Review

06/17/2022

Katie Peterson

Approved with Conditions

Comments:

1. No comments provided by reviewers.

Beaufort Jasper Water and Sewer Review

06/17/2022

James Clardy

Approved

Comments:

1. No comments provided.

Transportation Department Review - HD

06/17/2022

Constance Clarkson

Approved

Comments:

1. See Growth Management comments.

Addressing Review

05/26/2022

Nick Walton

Approved

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	February 1, 2023
PROJECT:	58 Calhoun Street -New Construction: May River Montessori School
APPLICANT:	Court Atkins Architects, Inc.
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Court Atkins Architects, Inc., on behalf of the owner, May River Montessori, Inc., requests that the Historic Preservation Commission approve the following application:

1. **COFA-11-21-016057.** A Certificate of Appropriateness to allow the construction of a new 2 story private school structure of approximately 5,317 SF located at 58 Calhoun Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD.

INTRODUCTION: The Applicant is proposing the construction of a two-story school structure of approximately 5,317 SF. The structure has characteristics of the Main Street Building Type.

The two-story structure features a side facing hip roof with a two-story front porch under a shed roof and a two-story rear-addition under a hipped roof. It has a small addition to the front, and a corner, tower element near the Green Street side of the building. It features a combination of horizontal Hardie lap siding and vertical board and batten siding as well as standing seam and asphalt shingle roof materials.

As this project constitutes development, a Development Plan is required. A Preliminary Development Plan (DP-04-22-016574) was approved with conditions at the September 28, 2022 Planning Commission meeting. The Final Development Plan has been submitted and, at the time of this report, is slated to be heard by the Development Review Committee at their February 1, 2023 meeting.

This project was presented to the Historic Preservation Review Committee for conceptual review at the December 6, 2022 meeting and comments were provided to the Applicant (See Attachment 7).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;

2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* The Setbacks for the structure have been met. Main Street Buildings within the NCE-HD are required to have a Front Build-To zone of 10-25 feet, 8-foot side setbacks and 25-foot rear setback.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5:
 - 1) Section 5.15.5.B. Neighborhood Center – HD: Building Types. Town Staff finds that the design of the primary structure falls within the category of Main Street Building Type as allowed in the Neighborhood Center- Historic District (NCE-HD), however, it exceeds the maximum total square footage permitted. The Application proposes a 5,317 SF structure (2,498 SF first floor, 2,819 SF second floor), while a Main Street Building Type within the NCE-HD is permitted a range of 2,000-5,000 SF with a maximum footprint of 2,500 SF. The building must be reduced in size to be no more than 5,000 total SF.

- 2) Section 5.15.6.I. Columns, Arches, Piers, Railings, Balustrades. Railings and Balustrades are permitted to be wood (termite resistant), painted or natural wrought or cast iron. The application proposes the use of powder coated aluminum. A determination must be made on the appropriateness of the use of powder coated aluminum as a substitute for those materials listed in the UDO for use.
 - 3) Section 5.15.5.K. Garden Walls, Fences, and Hedges. Fences in front yards must be a minimum of 24 inches in height and a maximum of 42 inches. The Landscape plan shows the Double Gate (1/L401), Single Gate (6/L400) and Fence (5/L400) at 4 feet (48 inches) in the front yard. The fence height must be reduced to no more than 42 inches in height.
 - 4) Section 5.15.5.N. Corners and Water Tables. Skirt boards shall be a minimum 5/4 stock and furred out to sit just beyond the face of the foundation wall. The skirt board is proposed as a 1x4 material (8/A5.0). The skirt board must be increased to a minimum of 5/4 stock.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction is consistent with that of the surrounding neighborhood so long as the conditions in Section 2 of this report have been met.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structures, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, any signage will require a Site Feature-HD permit to be reviewed through the Site Feature -HD process.

Finally, as the project constitutes development, all conditions of the Development Plan DP-04-22-016574 must be met prior to final approval of a Certificate of Appropriateness. It should be noted that should the site need to be modified based on the Development Plan requirements, it may result in the need to resubmit a Certificate of Appropriateness as this application could

not be amended to reflect the changes until it has been fully approved by meeting the conditions of approval, including the approved development plan.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with due to the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have not been met and recommends that the Historic Preservation Commission deny the application based on the following criteria:

1. Per Section 5.15.5.B. of the UDO, the building must be reduced in size to be no more than 5,000 total SF.
2. Per Section 5.15.6.I. of the UDO, a determination must be made on the appropriateness of the use of powder coated aluminum as a substitute for those materials listed in the UDO for use.
3. Per Section 5.15.5.K. of the UDO, the fence height must be reduced to no more than 42 inches in height in the front yard.
4. Section 5.15.5.N. of the UDO, the skirt board must be increased to a minimum of 5/4 stock.
5. Per the Applications Manual, any proposed signage must be reviewed through the Site Feature-HD Application process.
6. Per the Applications Manual, all conditions of the Development Plan must be met prior to final approval of this Certificate of Appropriates.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Site Plan & Elevations
5. Renderings
6. Landscape Plan
7. HPRC Report

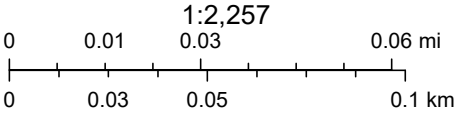
Location Map

Section X. Item #2.

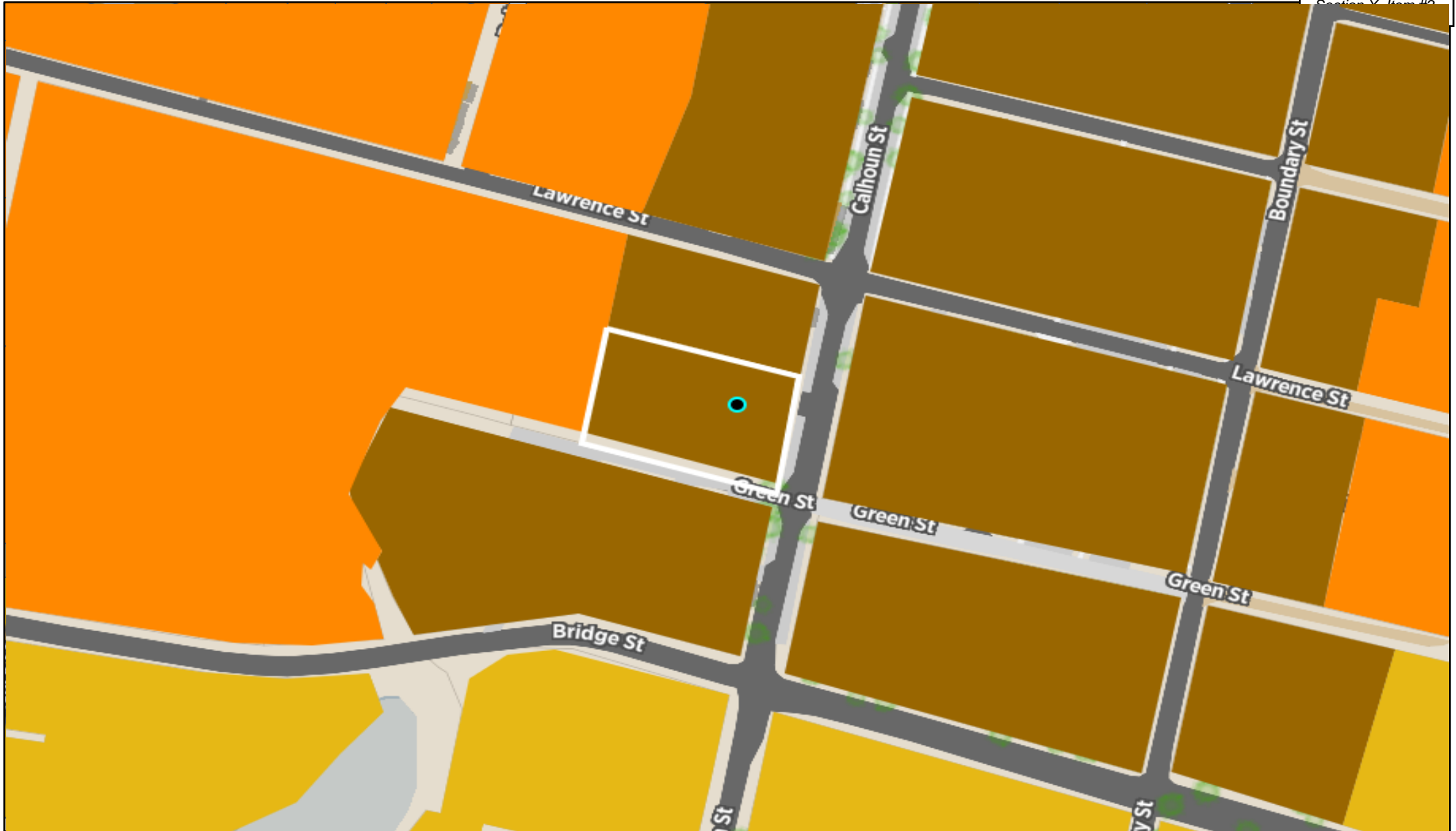


1/25/2023, 11:55:06 PM

 Parcel Property Lines



Zoning Map



1/25/2023, 11:53:40 PM

Parcel Property Lines

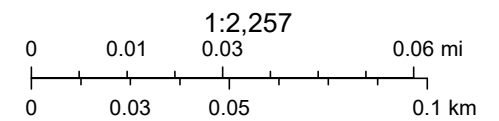
Bluffton Zoning Districts

NEIGHBORHOOD CENTER-HD

NEIGHBORHOOD CONSERVATION-HD

NEIGHBORHOOD GENERAL-HD

RIVERFRONT EDGE-HD



ATTACHMENT 3

Section X. Item #2.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Court Atkins Architects, Inc.		Name: May River Montessori, Inc.	
Phone: 843-815-2557		Phone: 843-757-2312	
Mailing Address: P.O. Box 3987 Bluffton, SC 29910		Mailing Address: 60 Calhoun Street #7014 Bluffton, SC 29910	
E-mail: james.atkins@courtatkins.com		E-mail: mquigley@mayrivermontessori.com	
Town Business License # (if applicable): LIC-04-19-028962			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: May River Montessori Classroom Building		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/> Amendment: <input type="checkbox"/>
Project Address: 58 Calhoun Street		Application for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation	
Zoning District: Neighborhood Center NCE-H			
Acreage: 0.65206			
Tax Map Number(s): R610 039 00A 0123 0000			
Project Description: New two-story +/- 5,300 sqft. classroom building and childcare building on the open site at the corner of Green and Calhoun Street			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Sch to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 1/4/2023	
Applicant Signature:			
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

ATTACHMENT 3

Section X. Item #2.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

CONCEPTUAL REVIEW				FINAL REVIEW	
Identification of Proposed Building Type (as defined in Article 5): Main Street Building					
Building Setbacks	Front: 10'	Rear: 25'	Rt. Side: 8'	Lt. Side: 8'	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	School Classroom Building		5,317 SQFT		
Ancillary					
Ancillary					
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		2,498			
Impervious Drive, Walks & Paths		1,173			
Open/Covered Patios		1,743			
A. TOTAL IMPERVIOUS COVERAGE		5,414			
B. TOTAL SF OF LOT		28,404			
% COVERAGE OF LOT (A/B= %)		19.1%			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete	Columns	Cementitious		
Walls	Cementitious	Windows	Aluminum Clad		
Roof	Standing Seam / Shingles	Doors	Aluminum Clad		
Chimney	N/A	Shutters	P.T. Wood		
Trim	Cementitious	Skirting/Underpinning	N/A		
Water table	P.T. Wood	Cornice, Soffit, Frieze	Cementitious		
Corner board	Cementitious	Gutters	Half Round		
Railings	Metal	Garage Doors	N/A		
Balusters	Metal	Green/Recycled Materials	N/A		
Handrails	Metal				

ATTACHMENT 3

Section X. Item #2.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipal project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking a patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.

ATTACHMENT 3

Section X. Item #2.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

1/4/2023
Date

Michele E. Quigley
Printed Name of Property Owner or Authorized Agent

Signature of Applicant

1/4/2023
Date

James Ark
Printed Name of Applicant



Bluffton Studio
32 Bruin Road
Bluffton
SC 29910

Savannah Studio
2408 De Soto Ave
Savannah
GA 31401

Interior Design
Studio
32 Bruin Road
Bluffton
SC 29910

P: (843) 815-2557

January 4, 2023

Town of Bluffton
Katie Peterson, AICP
Senior Planner
20 Bridge Street
Bluffton, SC 29910

Re: Final HPRC Meeting Request for May River Montessori New Classroom Building

Dear Katie,

I am writing this letter on behalf of May River Montessori and Court Atkins Group and requesting to be placed on the next available Final HPRC meeting agenda to review the May River Montessori New Classroom Building project located at 58 Calhoun Street in the Neighborhood Center – HD zoning district. The project is a new wood framed two-story classroom building for May River Montessori. The building's first floor is designed for daycare students and the second floor for 7th and 8th grade students. These students will be relocating for other buildings / rooms on the campus. The building will incorporate sloped shingle and metal roofs, front and rear porches with columns, and traditional Lowcountry detailing to include, board and batten siding, horizontal siding, operable window shutters, wood bracketed awnings. Enclosed in this application are the application form, application fee, site survey, site plan, and architectural drawings including the first and second floor plans, elevations, and architectural details. Also included are the landscape plan, tree removal plan and streetscape elevation.

Please see below for our responses to the Plan Review comments for Certificate of Appropriateness Comments below:

Beaufort Jasper Water and Sewer Review 12/1/2021 James Clardy | Revisions Required

1. Pending formal submittal / approval of water and sewer.

CAG Response: *Noted.*

Growth Management Dept Review (HD) 12/3/2021 Katie Peterson | Revisions Required

1. As the scope of work proposed in the application constitutes development, a Development Plan is required prior to final submittal. (UDO 3.10 & Application's Manual)

CAG Response: *A development plan has been submitted.*

2. The front setback is shown on the site plan as 6'. The structure has characteristics of the Main Street building, however it exceeds the maximum footprint for a Main Street Building within the Neighborhood Center-HD zoning District. As such, it is reviewed as an Additional Building Type, which within the Neighborhood Center- HD zoning district have a front build-to requirement of 10'- 25'. Revise the site plan to meet the minimum front setback. (UDO 5.15.5.B.)

CAG Response: *Front setback is now 8'. Footprint has been reduced below 2,500 SF to comply with the Main Street Building requirement.*

3. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). The columns on the second floor of the west elevation are spaced 9'6" and 10' apart and 9' in height. Reconfigure column spacing to be spaced no further apart than they are tall. (UDO 5.15.6.H.)

CAG Response: *Columns have been reconfigured.*

4. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, shutters and shutter dog, a section through the eave, material details and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. (Applications Manual)

CAG Response: *The required details have been included in the new drawings, please see sheets A5.0 & A5.1.*

5. The purpose of the Old Town Bluffton Historic District is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, and/ or architecturally-worthy structures and areas of the Town; and to maintain such structures as visible reminders of the history and cultural heritage of the Town. Building heights and widths shall be visually similar to those in the neighboring vicinity. The proposed structure is located on the parcel next to two contributing structures (Peeple's Barn and Peeple's Store). The Barn is a 1 story structure; the Store, which will be more visually impacted by the new construction, is a 1.5 story structure much smaller in scale. Provide a study of the street scape to clarify the impact of the proposed structure which is 34.5' in height. (UDO 5.15.1. and 5.15.5.F.1.a.)

CAG Response: *Both the heights and overall footprint of the building have been reduced. The main tower is now 32'-2" and the main roof ridge reaches 29'-11". The heights of the adjacent Bridge Development each sit at over 33'. Please see our attached streetscape elevation of Calhoun Street.*

HPRC Review 12/03/2021 Katie Peterson | Revisions Required

1. Rooflines shall be simple, utilizing gables, hips, and sheds, or combinations of these basic forms. Roofs shall correspond to the major massing of the building; roof forms that overwhelm the mass of the primary building form and complicated rooflines are to be avoided. The roof appears overly complicated with a lot of different of pitches. Simplify the roof lines. (UDO 5.15.5.F.2.b.)

CAG Response: *Rooflines have been simplified and the varying slopes have been reduced to two.*

2. Building elements and the spaces between them shall be organized into a logical sequential manner. Horizontal rhythm should be established by the organization of the building facade into horizontal bands which provides human scale and proportion to the facade. Vertical rhythms should be established in the façade through alignment of windows, openings, pilasters, and columns. The building seems complicated with many different elements which do not have consistent rhythm. Revise the elements to be more sequential. (UDO 5.15.5.F.4)

CAG Response: *Sill heights, door heights and trim have been adjusted to create a stronger rhythm.*

3. Provide additional information on the fence along the back of the patio. As not enough information was provided to complete the review. Note: It will be prominent and you will see it in front of Middle School Porch.

CAG Response: *Please see updated elevations showing fences. Existing split rail fence to remain with new split rail fence at the patio tying into it. See landscape drawings for new split rail fence detail.*

4. Provide additional information on the hardscape transition to Calhoun Street. Specifically near the large patio space adjacent to Marketing building. Will existing two rail fence remain? There will be a lot of fences and types.

***CAG Response:** New split rail fence to tie into existing at patio space. Please see landscape drawings.*

Transportation Department Review 11/30/2021 Constance Clarkson | Revisions Required

1. TOB/CIP will need a permanent drainage easement over the existing ditch located in the Green Street ROW to allow for the potential to improve drainage in the Future with the Calhoun Street Streetscape project (FY 24+/-).

***CAG Response:** Acknowledged.*

2. One of the primary goals for the Calhoun Street Streetscape project would be to widen the existing sidewalks from the existing 4.5' to a proposed 6' width. This would likely require a +/- 2' permanent easement along the Calhoun Street frontage to accommodate the expanded sidewalks and street lighting. CIP would like the applicant to be aware of this future TOB/CIP request and would like to see the site plan prepared to accommodate the possibility of an expanded sidewalk along Calhoun Street. Further questions, please contact Pat Rooney (prooney@townofbluffton.com)

***CAG Response:** Acknowledged*

Watershed Management Review 11/30/2021 Lidia Delhomme | Revisions Required

1. It appears an existing ditch is proposed to be piped. Provide clarification. If the ditch is to be piped, the proposed pipe should be 24" at a minimum to correspond with existing pipes at Str2 and Str3. If not, it is required to meet the ultimate development conditions.

***CAG Response:** Per civil drawings / development plan.*

2. This project involves the creation and/or replacement of more than 5,000 square feet of impervious surface. A Stormwater Management Plan abiding by the current Stormwater Ordinances and Design Manual is required. (UDO 5.10.1.C).

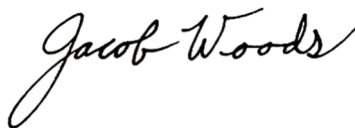
***CAG Response:** Per civil drawings / development plan.*

3. Provide permanent drainage easements required for pipe or ditch. (SWDM 3.7.3)

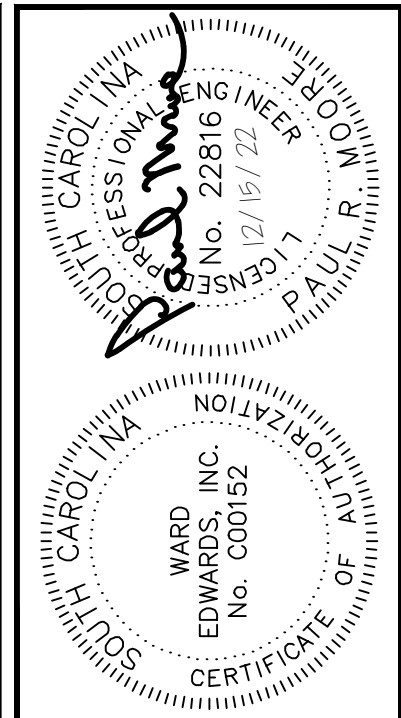
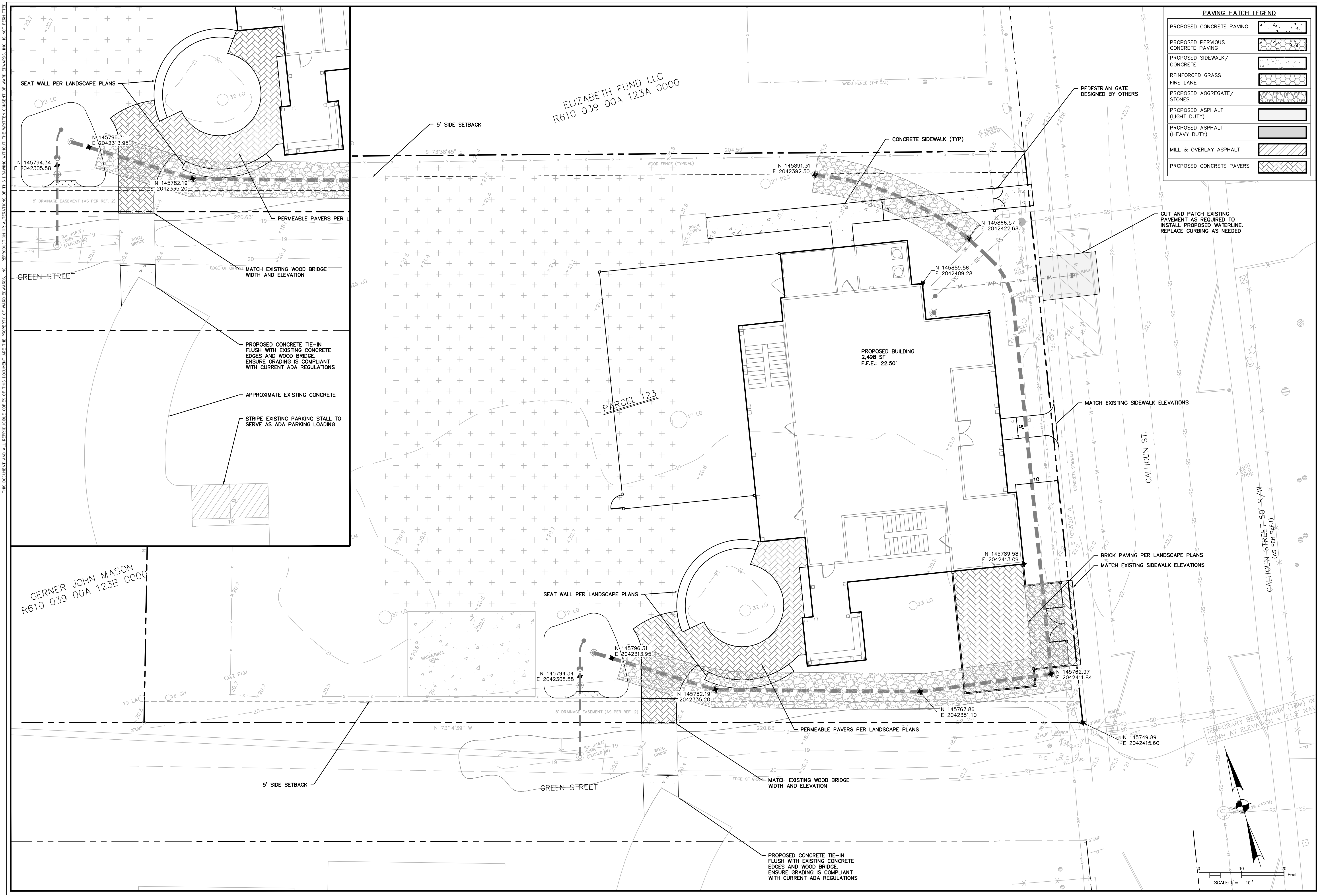
***CAG Response:** Per civil drawings / development plan.*

If you have any questions or need any additional information, please let me know.

Sincerely,



Jacob Woods
Project Designer
Court Atkins Group



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards ENGINEERING
P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910
PH (803) 827-5252 FAX (843) 827-2556
WWW.WARDEDWARDS.COM

MAY RIVER MONTESSORI
TOWN OF BLUFFTON, SOUTH CAROLINA
May River Montessori, Inc.
Bluffton, State

SITE & PAVING LAYOUT PLAN

VERTICAL DATUM:	NAVD88
PROJECT #:	210141
DATE:	12/15/22
DESIGNED BY:	JCH
CHECKED BY:	PRM

SHEET C401

FINAL HPC SUBMITTAL

MAY RIVER MONTESSORI - NEW CLASSROOM BUILDING

58 CALHOUN STREET, BLUFFTON SC 29910



POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547
WWW.COURTATKINS.COM

MAY RIVER MONTESSORI - NEW CLASSROOM BUILDING
58 CALHOUN STREET, BLUFFTON SC 29910

NOT FOR CONSTRUCTION

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PROJECT INFO

Date
2023.01.04
Project No.
21-079

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

COVER
A0.0

PROJECT INFORMATION			
NAME OF PROJECT:		MAY RIVER MONTESSORI NEW CLASSROOM BUILDING	
ADDRESS:		60 CALHOUN STREET BLUFFTON, SC 29910	
PROPOSED USE:		EDUCATIONAL (E)	
OWNER CONTACT:		MICHELE QUIGLEY	
CODE ENFORCEMENT JURISDICTION:		TOWN OF BLUFFTON	
INTERNATIONAL BUILDING CODE (IBC):		2018	
INTERNATIONAL MECHANICAL CODE:		2018	
INTERNATIONAL PLUMBING CODE:		2018	
THE NATIONAL ELECTRICAL CODE:		2017	
INTERNATIONAL FUEL GAS CODE:		2018	
INTERNATIONAL FIRE CODE:		2018	
INTERNATIONAL ENERGY CONSERV. CODE:		2009	
ICC(ANSI) A117.1:		2017	
INTERNATIONAL RESIDENTIAL CODE		2018	
PROJECT TEAM			
OWNER CONTACT		ARCHITECT	
MICHELE QUIGLEY, DIRECTOR 60 CLAHOUN STREET BLUFFTON, SC, 29910 (843) 757-2312 PH		COURT ATKINS ARCHITECTS, INC. 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX	
STRUCTURAL ENGINEER		GENERAL CONTRACTOR	
CRANSTON ENGINEERING GROUP 14 WESTBURY PARK WAY, SUITE 202 BLUFFTON, SC, 29910 (843) 815-3191 PH		JTV'S BUILDERS, INC. 7 EAST CONGRESS STREET # 309 SAVANNAH, GA 31401 (912) 233-1717 PH	
MECHANICAL PLUMBING & FIRE PROTECTION		LANDSCAPE ARCHITECT	
DELTA ENGINEERING GROUP, LLC. 204-A PITCAIRN WAY AUGUSTA, GA, 30909 (706) 364-1770 PH		WITMER-JONES-KEEFER, LTD. 23 PROMENADE STREET, SUITE 201 BLUFFTON, SC 29910 (843) 757-7411 PH	
ELECTRICAL ENGINEER		CIVIL ENGINEER	
SDC ENGINEERING 1 DIAMOND CAUSEWAY, STE. 7 SAVANNAH, GA, 31406 (912) 677-7716 PH		CONOR BLANEY WARD EDWARDS 119 PALMETTO WAY, SUITE C BLUFFTON, SC 29910 (843) 837-5250	
DESIGNER OF RECORD			
DISCIPLINE	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
STRUCTURAL	JAKE BAVENSON	SC #33500	(843) 815-3191
ELECTRICAL	WARREN LAW	SC #20699	(912) 677-7716
PLUMBING	CAPRICE BAUMERT	SC #30527	(706) 364-1770
MECHANICAL	CAPRICE BAUMERT	SC #30527	(706) 364-1170
CIVIL	CONOR BLANEY	SC #34273	(843) 837-5250
LANDSCAPE	DAN KEEFER	SC #837	(843) 757-7411
VICINITY MAP - N.T.S.			

GENERAL NOTES	
NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNERS REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.	
THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.	
SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.	
SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.	
SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.	
SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.	
BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.	
THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.	
FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.	
CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.	
THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.	
SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN, THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.	
INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.	
WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.	

BUILDING DATA		
PROJECT DESCRIPTION: CONSTRUCTION OF A 2 STORY EDUCATIONAL BUILDING		
BUILDING CONSTRUCTION: LOAD BEARING WOOD STUDS, WOOD ROOF TRUSSES & CONCRETE SLAB ON GRADE.		
OCCUPANCY CLASSIFICATION: EDUCATIONAL (E)		
MIXED OCCUPANCY: YES _____ NO <u> X </u> SEPARATION <u> 0 </u> HR.		
CONSTRUCTION TYPE: I-A I-B II-A II-B III-A III-B IV V-A <u> V-B </u>		
MIXED CONSTRUCTION: YES _____ NO <u> X </u> TYPE _____		
SPRINKLERED: YES <u> X </u> NO _____		
FIRE DISTRICT: YES _____ NO <u> X </u>		
BUILDING HEIGHT: 32'-2" AFF NUMBER OF STORIES: 2		
MEZZANINE: YES _____ NO <u> X </u>		
HIGH RISE: YES _____ NO <u> X </u>		
ALLOWABLE HEIGHT & AREA (PER IBC TABLE 504.3 & 504.4 & 506.2):		
CATAGORY HEIGHT (RES.): STORIES(RES.): AREA TOTAL:	ALLOWABLE 60'-0" 2 ST. 28,500 SF	ACTUAL 32'-2" 2 ST. 6,317 SF
AREA INCREASE? HEIGHT INCREASE? Yes _____ No <u> X </u> Yes _____ No <u> X </u>		
GROSS BUILDING AREA		
LEVEL 01: LEVEL 02:	HEATED & COOLED HEATED & COOLED	2,498 SF 2,819 SF
TOTAL GROSS AREA (H/C): 5,317 SF (H/C)		
EXITS (IBC TABLE 1006.3.2)		
NUMBER OF EXITS:	REQUIRED 2	PROVIDED 2
TRAVEL DISTANCE		
EXIT ACCESS DESIGN REQUIREMENTS, PER MOST RESTRICTIVE		
CATAGORY	MAX. ALLOWABLE	ACTUAL MAX
EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2) :	250 FT	58FT 7IN
COMMON PATH OF TRAVEL (IBC TABLE 1006.2.1)	75FT	23FT
DEAD END CORRIDOR (IBC TABLE 1020.4)	50 FT	N/A

FIRE SEPARATION						
IBC TABLE 601, 602, 508.3.3	REQ'D HR	DETAIL #	% WALL OPENING	UL RATED ASSEMBLY		
PRIMARY STRUCTURAL FRAME	0			N/A		
BEARING WALLS: EXTERIOR INTERIOR	0 0			N/A		
NON-BEARING WALLS: EXTERIOR INTERIOR	0 0			N/A		
FIRE SEPARATION WALLS: EXTERIOR INTERIOR	0 0			N/A		
FLOOR CONSTRUCTION	0			N/A		
ROOF CONSTRUCTION	0			N/A		
ALL INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH IBC-2018, TABLE 803.13						
IBC TABLE 803.13	SPRINKLERED			UNSPRINKLERED		
GROUP	VERT. EXITS / EXIT PASSAGE- WAYS	EXIT ACCESS CORRIDORS / OTHER EXITS	ROOMS & ENCLOSED SPACES	VERT. EXITS / EXIT PASSAGE- WAYS	EXIT ACCESS CORRIDORS / OTHER EXITS	ROOMS & ENCLOSED SPACES
EDUCATIONAL (E)	B	C	C	A	B	C
MINIMUM REQUIRED PLUMBING FIXTURES: PER IBC TABLE 2902.1						
	REQUIRED FIXTURE RATIO		REQUIRED FIXTURES		FIXTURES PROVIDED	
ITEM	MEN	WOMEN	MEN	WOMEN	MEN	WOMEN UNISEX
TOTAL WATER CLOSETS	1 PER 50		2	2	2	2 1
TOTAL LAVATORIES	1 PER 50		2	2	2	2 1
DRINKING FOUNTAINS	1 PER 100		2		2	
SERVICE SINK	1 REQUIRED		1		1	
PLUMBING CALCULATIONS						
TOTAL OCCUPANCY = 181 PERSONS						
OCCUPANCY, 50% MALE / 50% FEMALE 90 MALE OCCUPANTS & 91 FEMALE OCCUPANTS						
SYMBOL KEY						
A3.0	EXTERIOR ELEV. SYMBOL	1 AS.0	WALL SECTION	A	COLUMN GRID REFERENCE	
A7.0	INTERIOR ELEVATION SYMBOL	1 AS.0	DETAIL SECTION CALLOUT	LEVEL 1 100' - 0"	LEVEL/ELEVATION REFERENCE	
1 AA.0	BUILDING SECTION	1 AS.0	ENLARGED PLAN/ DETAIL CALLOUT	Comments	ROOM TAG	
H	WINDOW TAG	101.1	DOOR TAG	1	REVISION CLOUD & TAG	

INDEX OF DRAWINGS	
FINAL	SHEET NAME
A0.0	COVER
A0.2	ABBREVIATIONS, SYMBOLS & ACCESS, DIAGS.
A0.3	LIFE SAFETY PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A4.0	BUILDING SECTIONS
A5.0	WALL SECTIONS AND DETAILS
A5.1	DETAILS
A6.0	DOOR AND WINDOW SCHEDULE
A7.1	FIRST FLOOR REFLECTED CEILING PLAN
A7.2	SECOND FLOOR REFLECTED CEILING PLAN
SURVEY	

FINAL HPC 1/4/2023
ISSUE 2
ISSUE 3
ISSUE 4
ISSUE 5

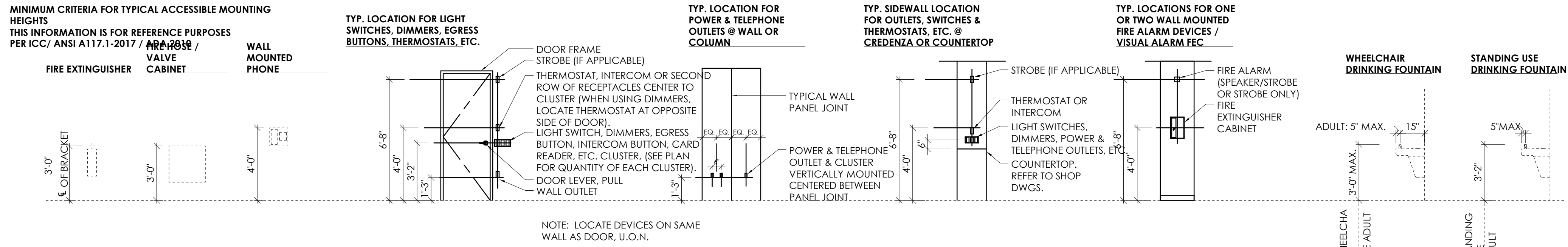
ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KDAT	KILN DRIED AFTER TREATMENT
AF	ABOVE FINISH FLOOR	KS	KNEE SPACE
ASF	ABOVE SUBFLOOR	LAM	LAMINATE
A/C	AIR CONDITIONER	LL	LIVE LOAD
AHU	AIR HANDLING UNIT	LT	LIGHT
ALUM	ALUMINUM	LIN	LINER
AMSL	ABOVE MEAN SEA LEVEL	MA	MASONITE
APPROX	APPROXIMATE	MAS	MASONRY
A/V	AUDIO/VISUAL	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BF	BI-FOLD	MED	MEDIUM
BLKG	BLOCKING	MFR	MANUFACTURER
BLDG	BUILDING	MID	MIDDLE
B.O.	BOTTOM OF	MIN	MINIMUM
BOD	BASIS OF DESIGN	MISC	MISCELLANEOUS
BRG	BEARING	MUL	MULLION
BTW	BETWEEN	N/A	NOT APPLICABLE
CAB	CABINET	N.I.C.	NOT IN CONTRACT
CANT	CANTILEVER	NTS	NOT TO SCALE
CB	FIBER CEMENT BOARD	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CJ	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PAIR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLITION	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
EXST	EXISTING	SH	SHELF
EXT	EXTERIOR	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDIN	FOUNDATION	SQ	SQUARE FEET
FF	FIRST FLOOR	STD	STANDARD
FFE	FINISH FLOOR ELEVATION	STL	STEEL
FIN	FINISH	STOR	STORAGE
FIX	FIXTURE	SYS	SYSTEM
FIXT	FIXTURE	T	TREAD
FLUOR	FLUORESCENT	T.B.D.	TO BE DETERMINED
FLR	FLOOR	TREAD	TREAD
F.O.F.	FACE OF FINISH	T & G	TONGUE & GROOVE
F.O.S.	FACE OF STUD	TEL	TELEPHONE
FRZ	FREEZER	TEMP	TEMPORARY/TEMPERATURE
FRMG	FRAMING	THK	THICK
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TV	TELEVISION
GA	GAUGE	TYP	TYPICAL
GALV	GALVANIZE	UC	UNDERCOUNTER
G.C.	GENERAL CONTRACTOR	UNFIN	UNFINISHED
GFI	GROUND FAULT INTERRUPTER	U.N.O.	UNLESS NOTED OTHERWISE
GL	GLASS	U.N.N.	UNLESS OTHERWISE NOTED
GYP	GYPSON	VB	VAPOR BARRIER
HB	HOSE BIB	VER	VERIFY
HDR	HEADER	V.I.F.	VERIFY IN FIELD
HORIZ	HORIZONTAL	VERT	VERTICAL
HT	HEIGHT	W/D	WASHER-DRYER
HVAC	HEATING, VENTILATION & AIR CONDITIONING	WH	WATER HEATER
IN	INCH	WLF	WELED WIRE FABRIC
INCL	INCLUDE		
INSUL	INSULATION		
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

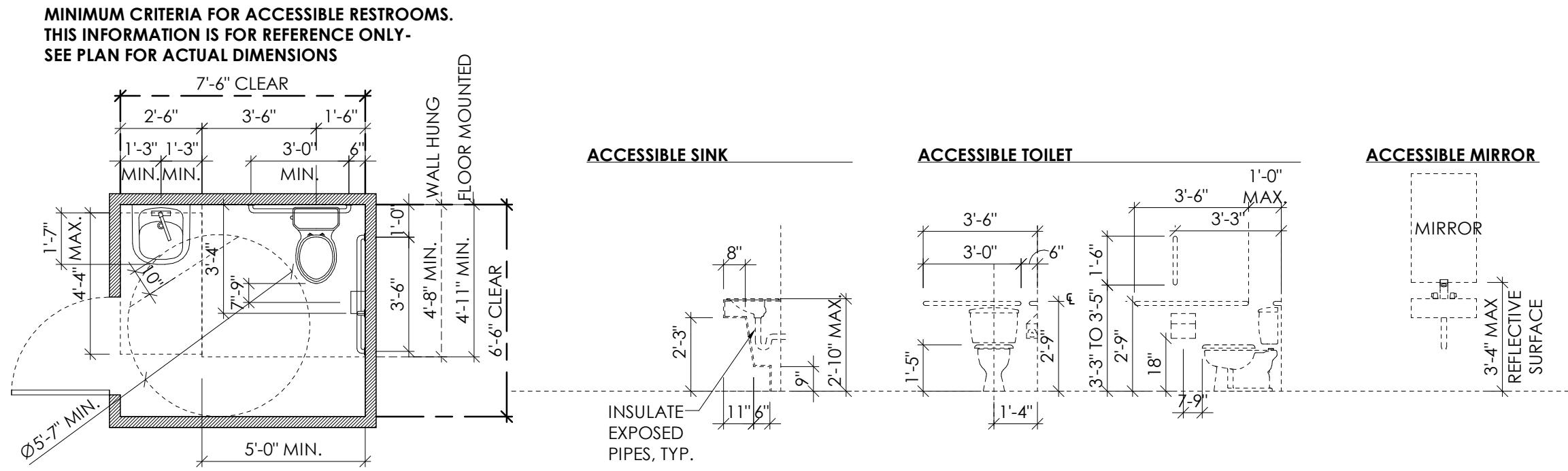
REFERENCE SYMBOLS

	EXTERIOR ELEVATION SYMBOL		COLUMN GRID REFERENCE
	INTERIOR ELEVATION SYMBOL		LEVEL/ELEVATION REFERENCE
	BUILDING SECTION	Comments	ROOM TAG
	WALL SECTION		WINDOW TAG
	DETAIL SECTION CALLOUT		DOOR TAG
	ENLARGED PLAN/DETAIL CALLOUT		REVISION CLOUD & TAG

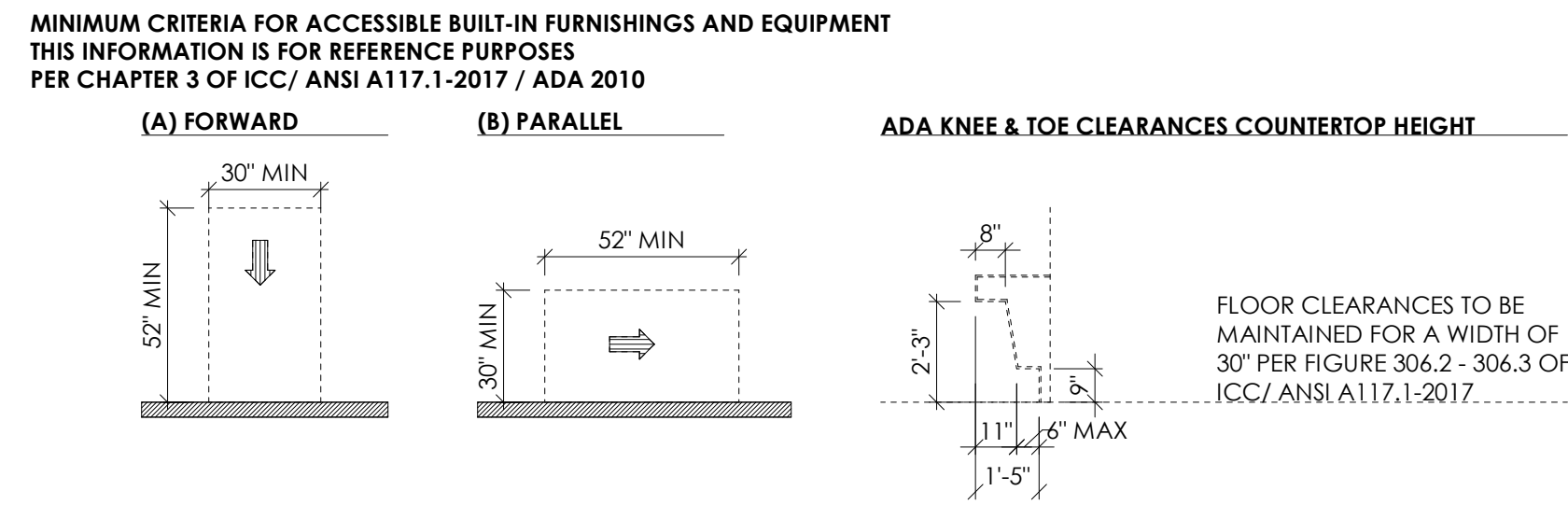
MOUNTING HEIGHTS



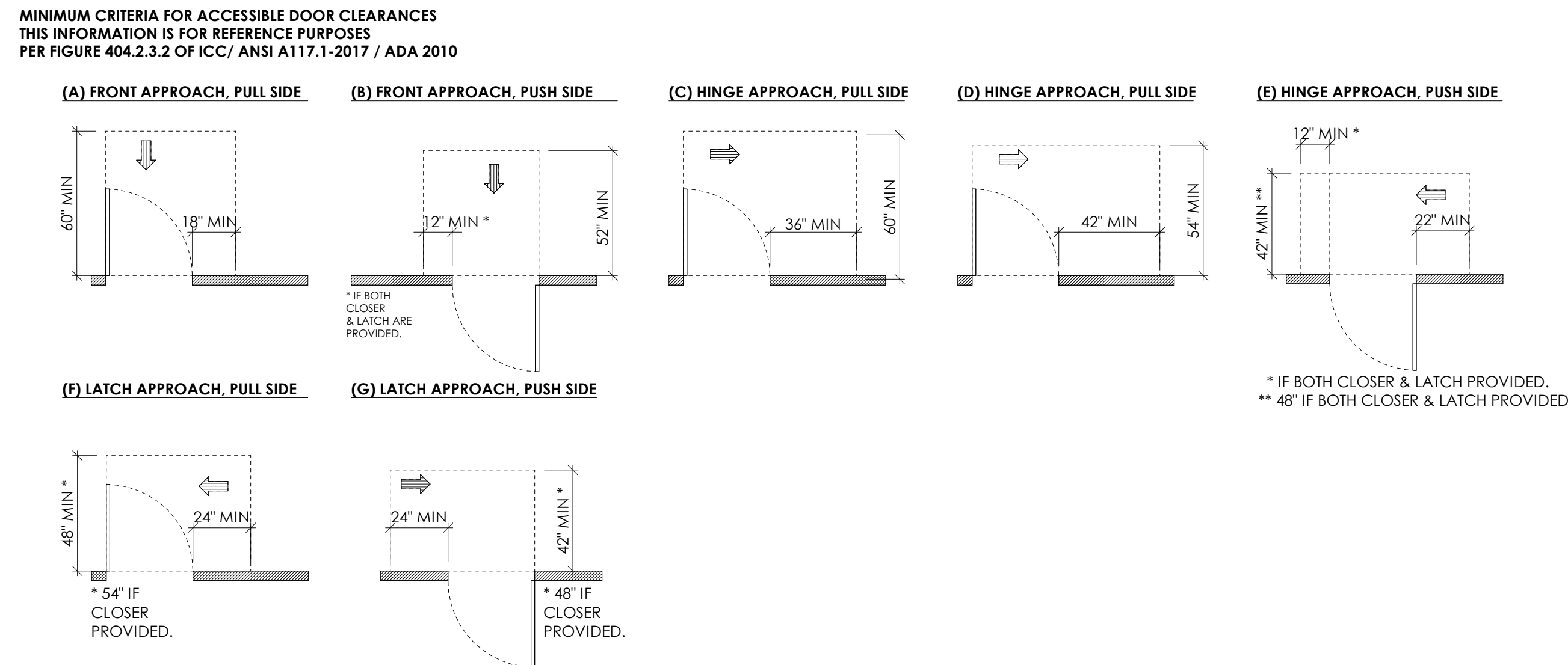
ACCESSIBLE RESTROOMS



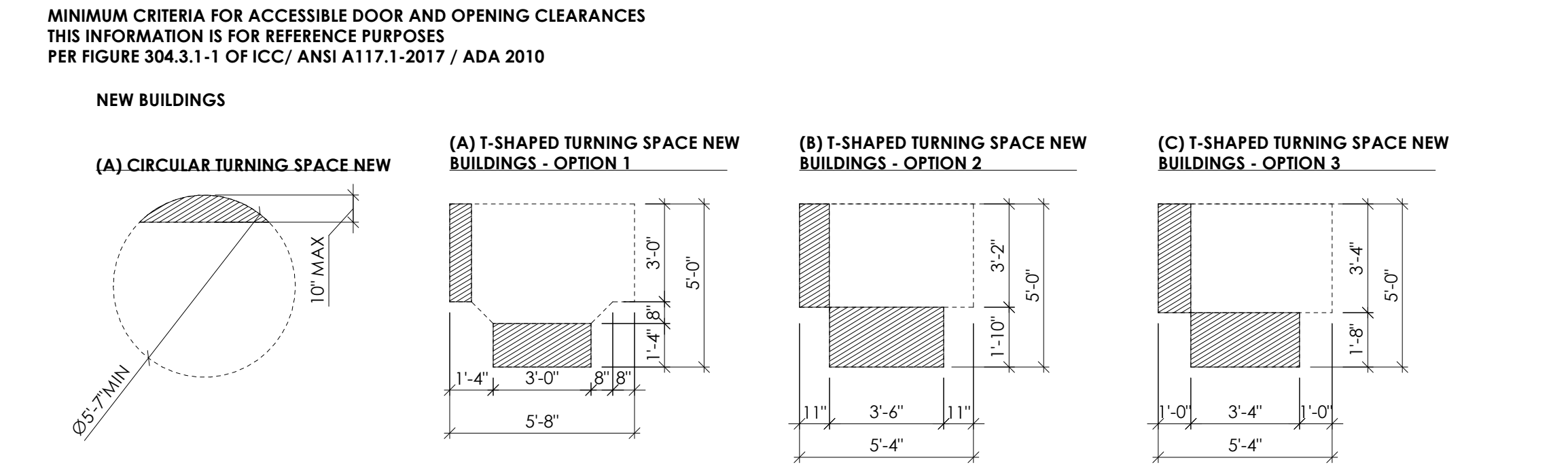
ACCESSIBLE BUILT-IN FURNISHINGS & EQUIPMENT CLEARANCES



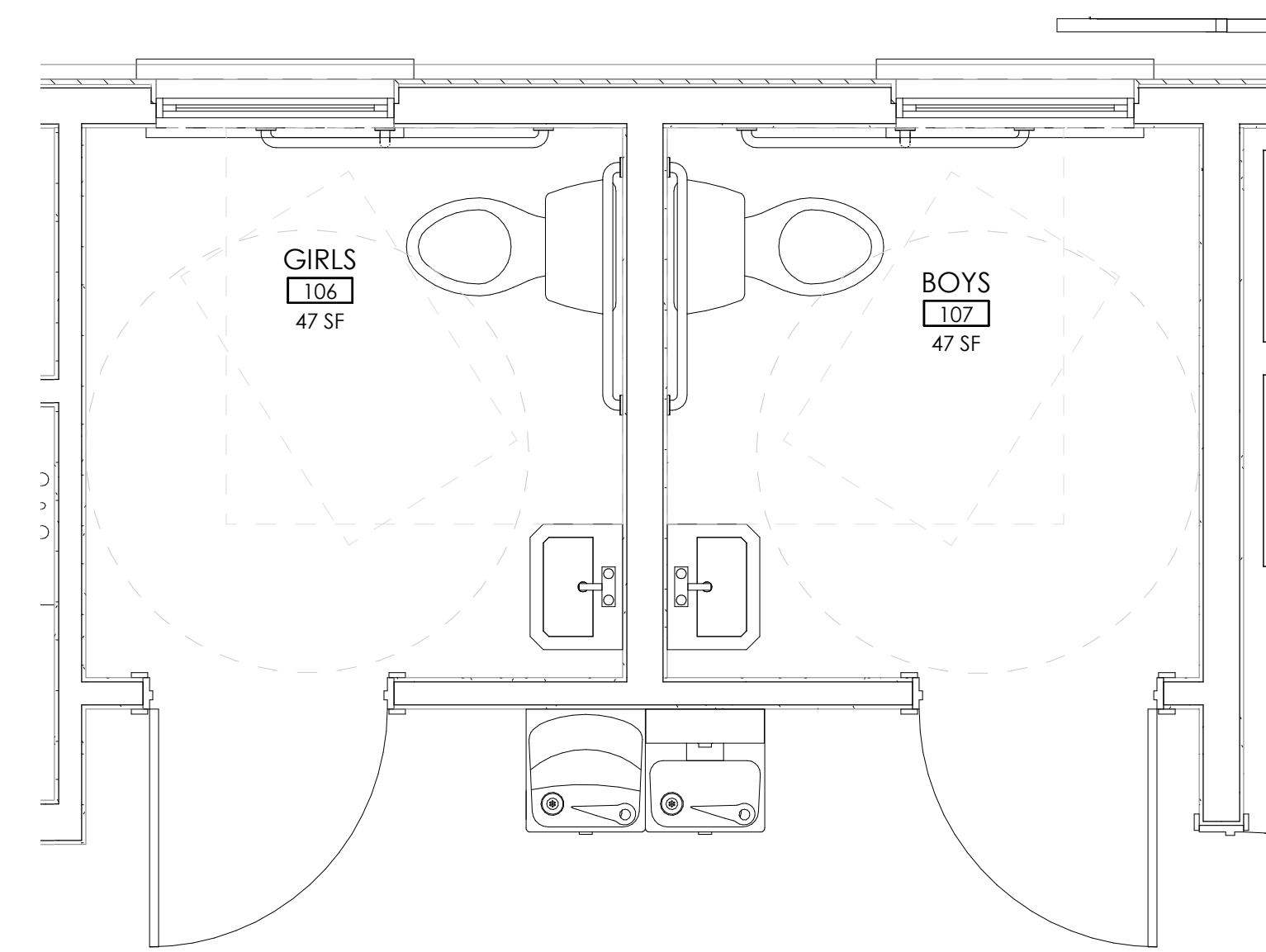
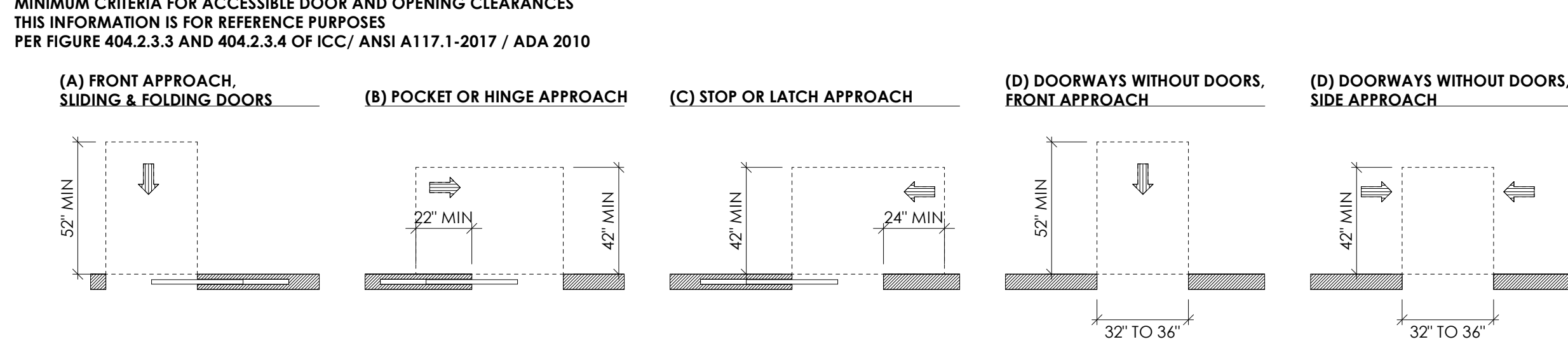
ACCESSIBLE SWINGING DOOR CLEARANCES



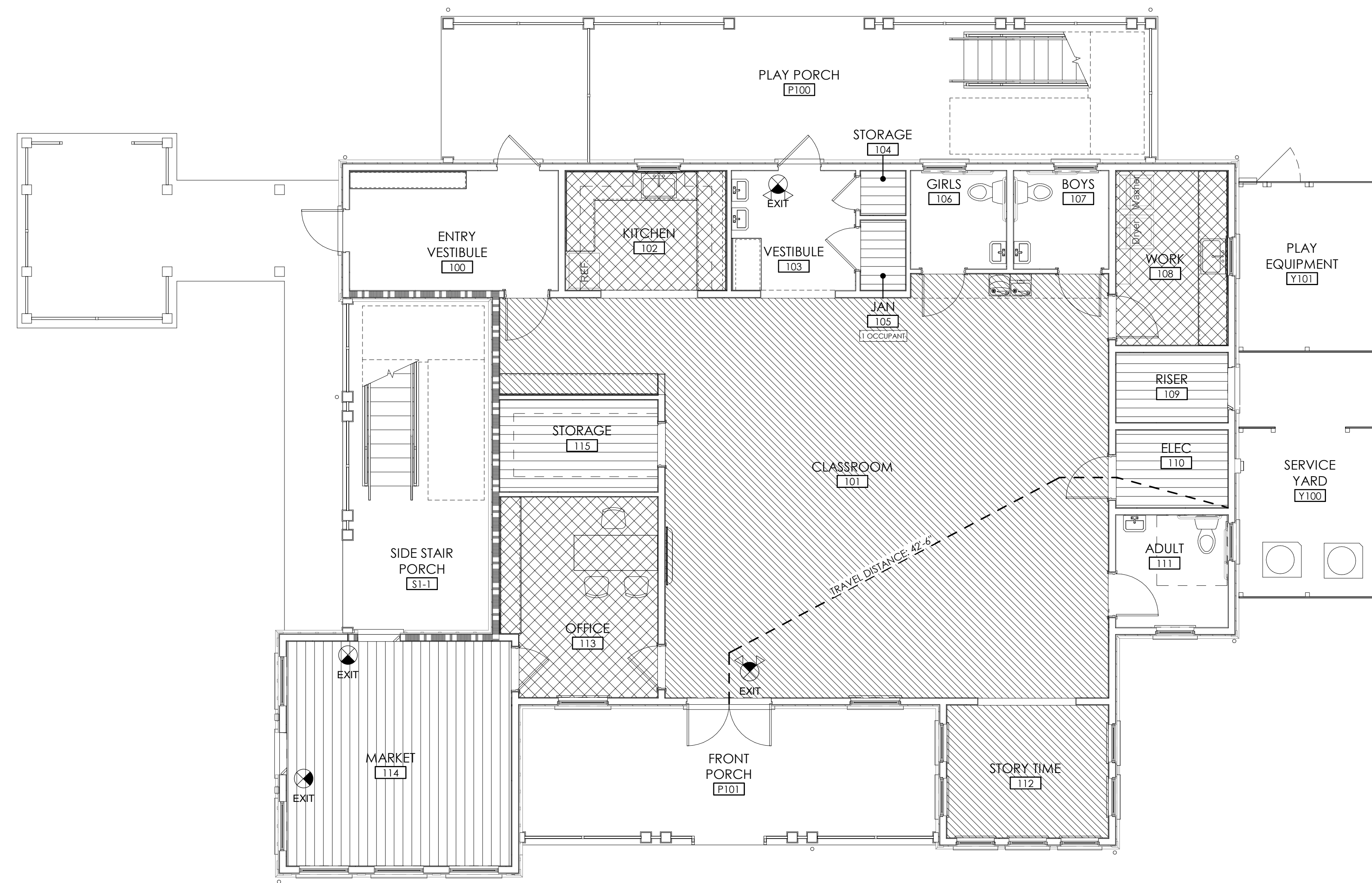
TURNING SPACE



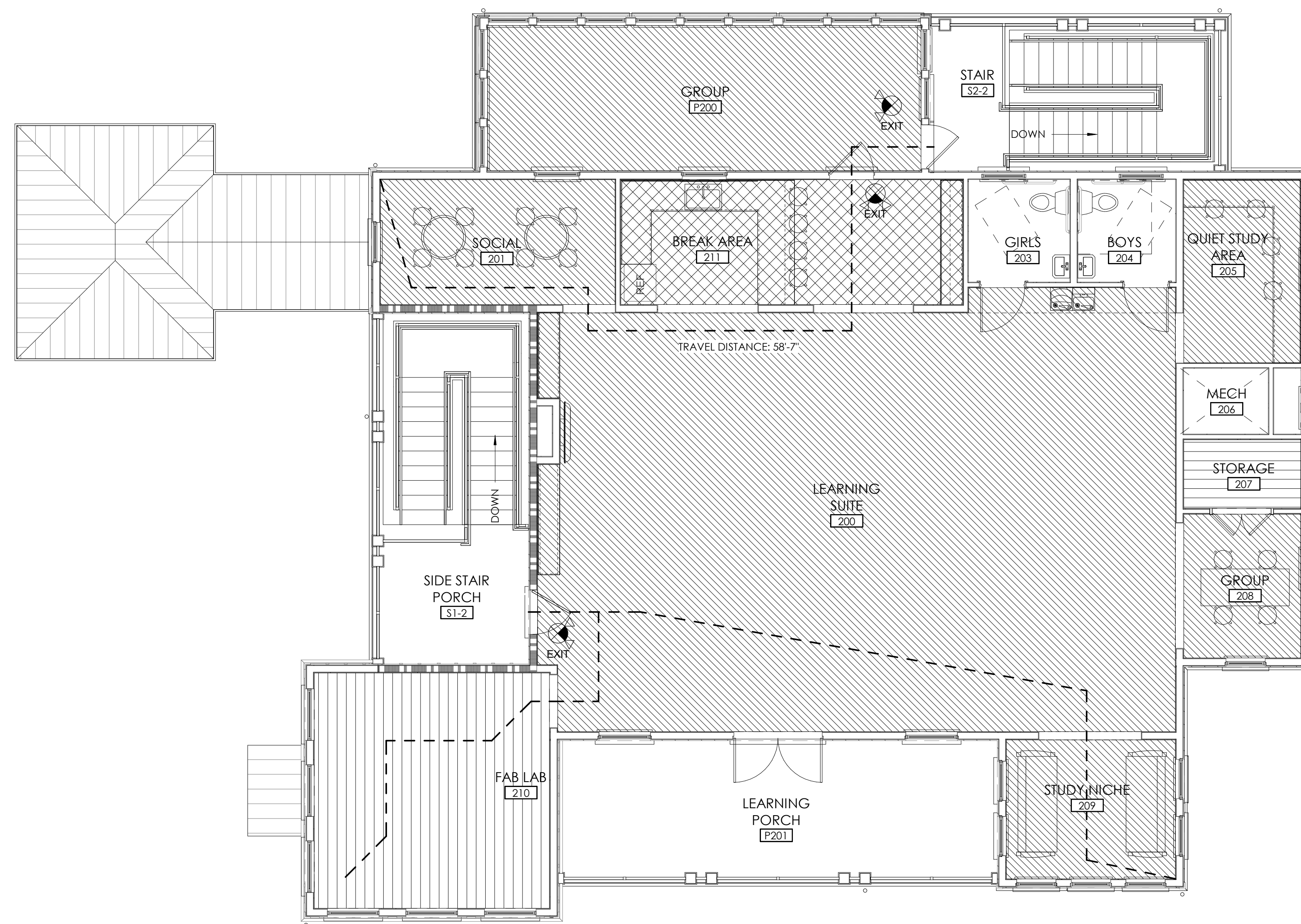
ACCESSIBLE DOOR & OPENING CLEARANCES



ENLARGED PLAN AT STUDENT RESTROOMS
1/2" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN
A0.3 3/16" = 1'-0"



2 SECOND FLOOR LIFE SAFETY PLAN
A0.3 3/16" = 1'-0"

LIFE SAFETY KEY	
	EDUCATIONAL (CLASSROOM AREA) 20 NET SF / OCCUPANT
	EDUCATIONAL (VOCATIONAL AREA) 50 NET SF / OCCUPANT
	BUSINESS 150 GROSS SF / OCCUPANT
	STORAGE / MECHANICAL / ELECTRICAL 300 GROSS SF / OCCUPANT
	EGRESS PATH
	FE FIRE EXTINGUISHER - SURFACE MOUNTED ALL EXTINGUISHERS TO BE MADE OF NON-FERROUS MATERIAL TO MEET MR COMPATIBILITY
	EXIT SELF POWERED EXIT SIGN (APPROXIMATE LOCATION); ARROW DENOTES DIRECTION OF EXIT PATH.
	EXIT SELF POWERED COMBO EMERGENCY LIGHT / EXIT SIGN (APPROXIMATE LOCATION); ARROW DENOTES DIRECTION OF EXIT PATH.
	WALL MOUNTED EMERGENCY LIGHT
LIFE SAFETY NOTES	
1. PROVIDE ILLUMINATED EXIT SIGNAGE AND EMERGENCY LIGHTING AS REQUIRED BY THE CODES LISTED ON SHEET A0.0.	
2. PROVIDE FIRE EXTINGUISHERS PER NFPA 10, INTERNATIONAL FIRE CODE AND LOCAL JURISDICTION REQUIREMENTS. LOCATION AND NUMBER TO BE DETERMINED BY FIRE MARSHAL.	
3. SEE A0.0 FOR ADDITIONAL CODE ANALYSIS.	
4. FOR FIRE ALARM PLAN SEE SHEET E3.1	

MAY RIVER MONTESSORI - NEW CLASSROOM BUILDING
58 CALHOUN STREET, BLUFFTON SC 29910

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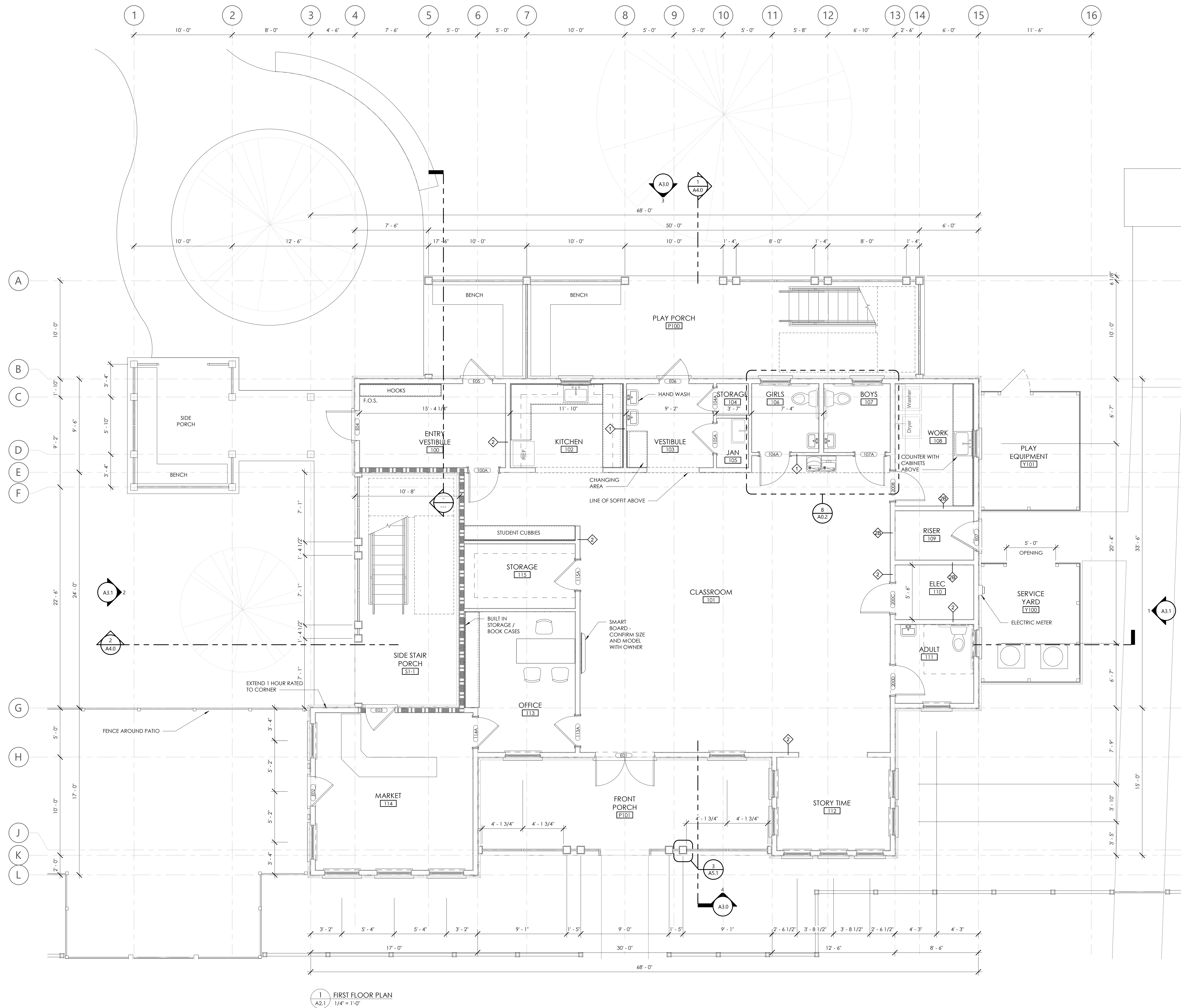
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Project No.	21-079

ISSUE	
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SHEET TITLE

LIFE SAFETY PLAN
A0.3



GENERAL FLOOR PLAN NOTES:

1. EXTERIOR DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
2. INTERIOR DIMENSIONS ARE TO THE FACE OF FRAMING OR CENTERLINE OF FRAMING UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
3. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
4. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
5. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
6. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
7. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
8. WALL TYPE SHALL BE TYPE '1' UNLESS NOTED OTHERWISE.
9. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.
10. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
11. STOREFRONT / GLAZING UNITS TO BE CENTERED BETWEEN COLUMN LINES U.N.O., TYP.

BUILDING SQUARE FOOTAGES

CONDITIONED AREAS

FIRST FLOOR PLAN	2,498 SF
SECOND FLOOR PLAN	2,819 SF
TOTAL	5,317 SF

COVERED PORCH AREAS

LEVEL 01 PLAY PORCH	533 SF
LEVEL 01 MIDDLE SCHOOL	243 SF
LEVEL 01 FRONT PORCH	278 SF
LEVEL 01 STAIR 1	256 SF
LEVEL 02 LEARNING PORCH	266 SF
LEVEL 02 STAIR 1	102 SF
LEVEL 02 STAIR 2	204 SF
TOTAL	1,882 SF

FLOOR PLAN - SYMBOL KEY

- 2x4 WALL WITH 5/8" GYPSUM WALLBOARD
- 2x6 WALL WITH 5/8" GYPSUM WALLBOARD
- SOUND BATT INSULATION
- 1 HOUR FIRE RATED WALL (U305 & U348)
- NEW WINDOW
- NEW DOOR
- WINDOW TAG
- WALL TAG
- DOOR TAG

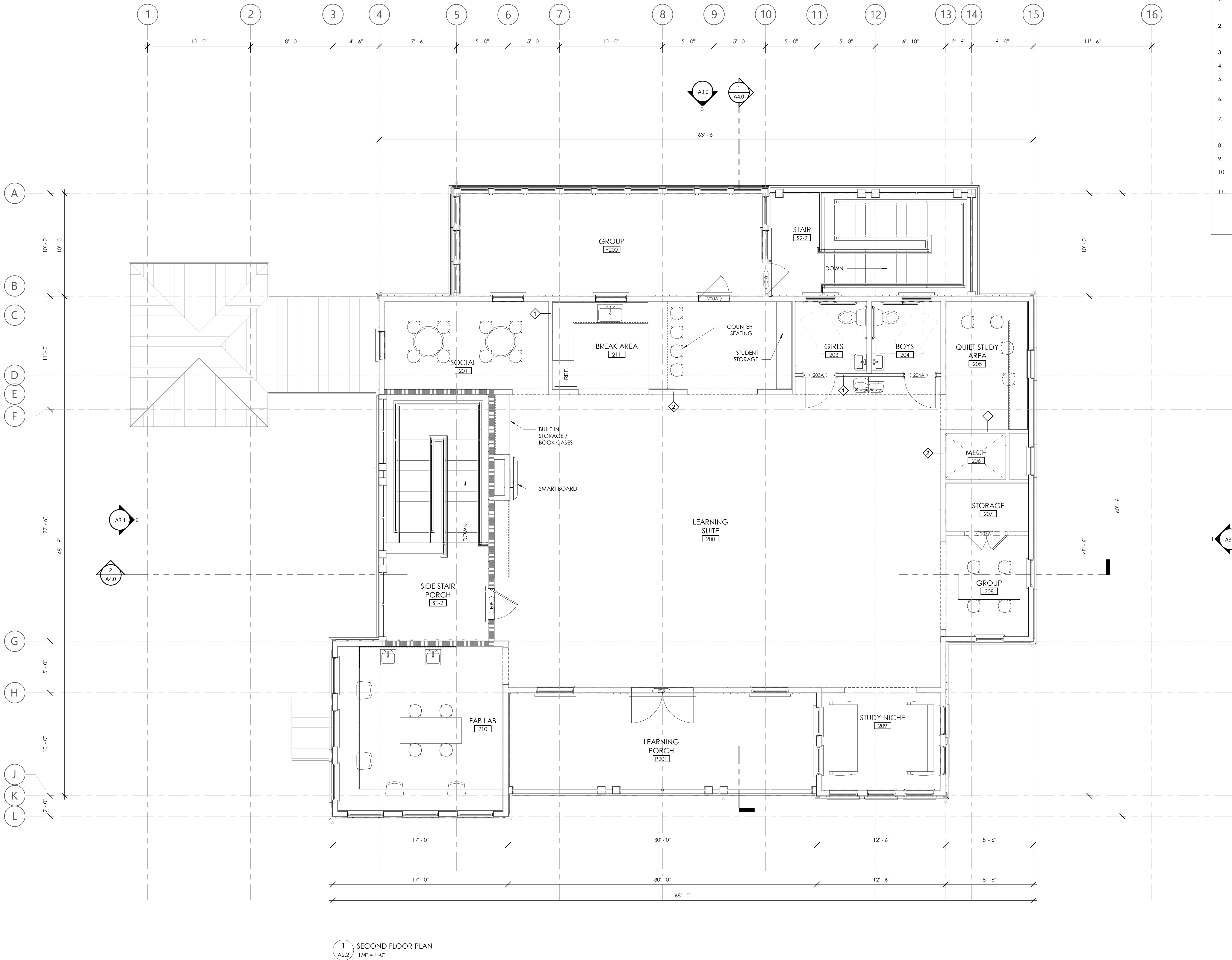
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3. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
4. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
5. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
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PROJECT INFO

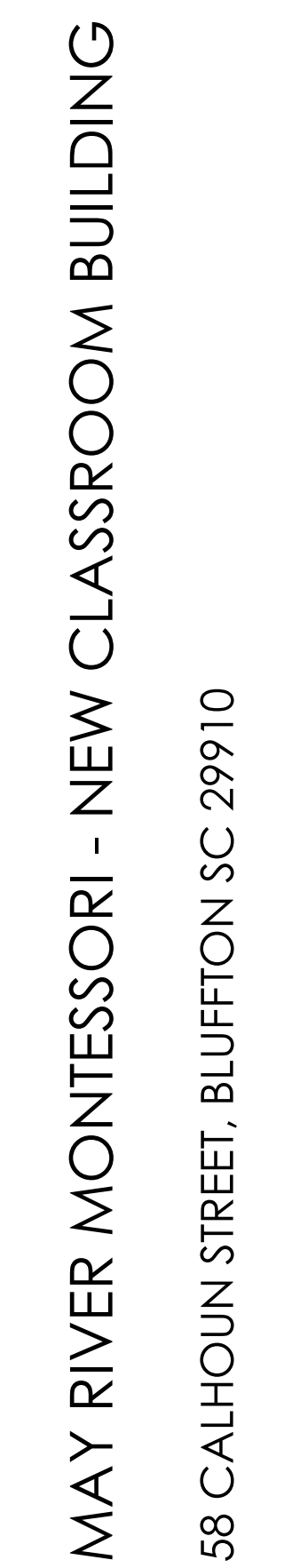
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SHEET TITLE

1. AT ALL ROOF RIDGES AND HIPs USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2' BOTH WAYS.
2. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY
3. VERIFY ROOF TOP EQUIPMENT CLEARANCES W/ MANUFACTURERS TO VERIFY EQUIPMENT LAYOUTS.



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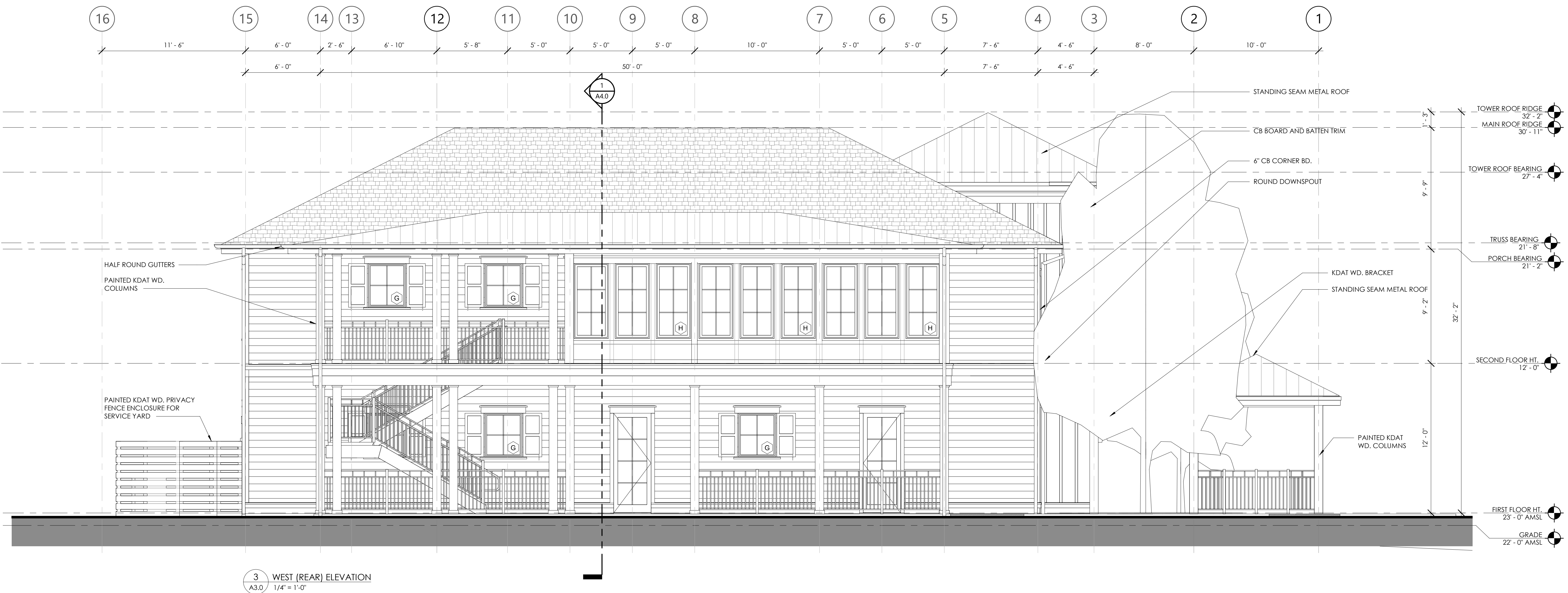
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Q.	REV. DATE	DESCRIPTION
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HEET TITLE

ROOF PLAN

A2.3



GENERAL EXTERIOR ELEVATION NOTES:

- G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK

ABBREVIATIONS:

CB FIBER CEMENT BOARD
KDAT KILN DRIED AFTER TREATMENT

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GENERAL EXTERIOR
ELEVATION NOTES:

1. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.

ABBREVIATIONS:

CB FIBER CEMENT BOARD
KDAT KILN DRIED AFTER TREATMENT

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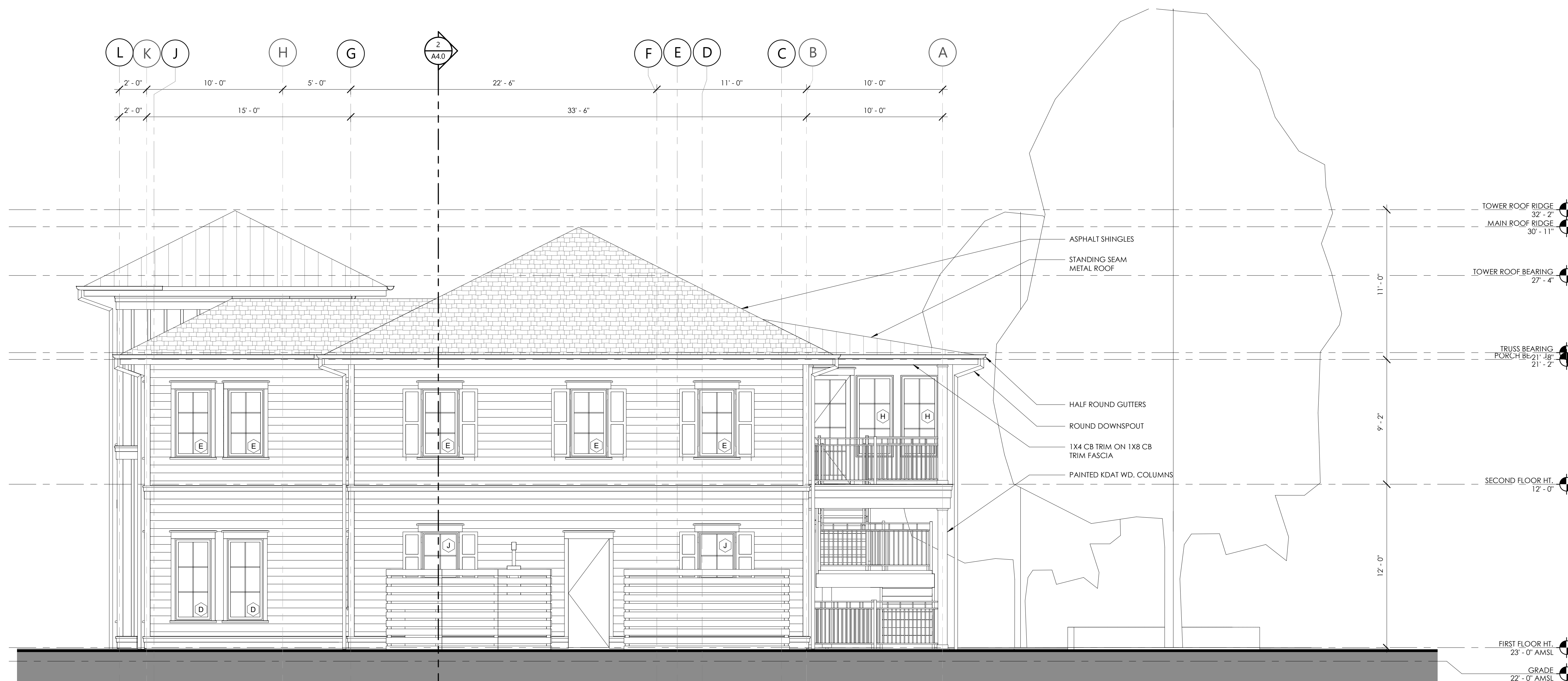
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SHEET TITLE

BUILDING
ELEVATIONS
A3.1



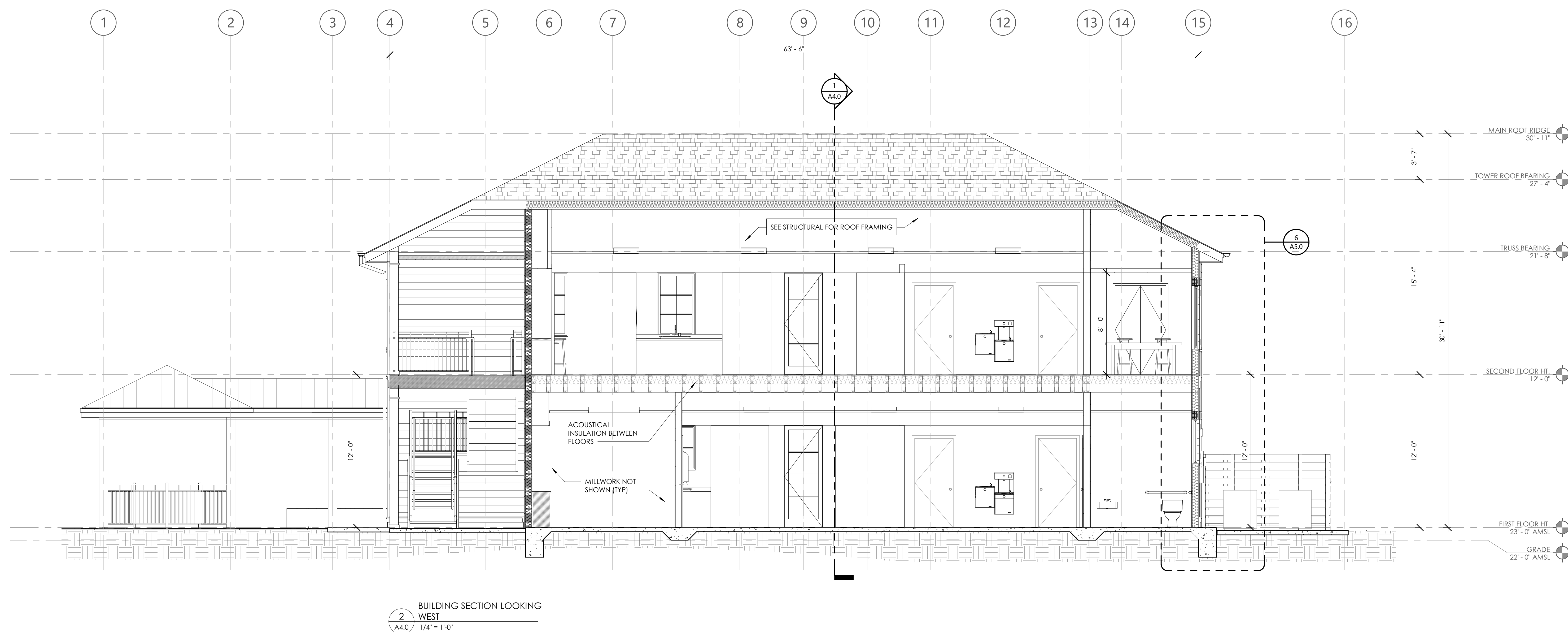
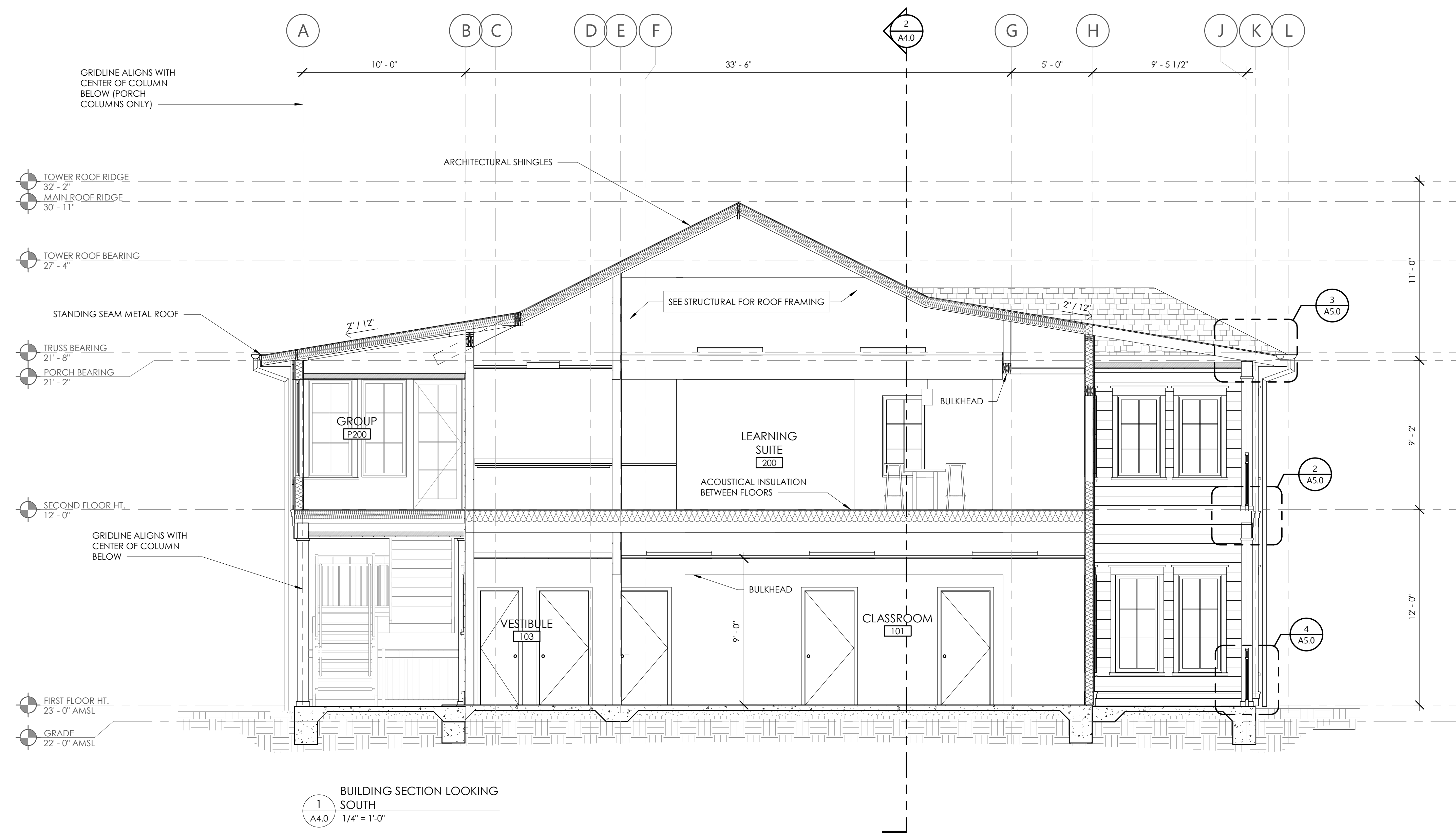
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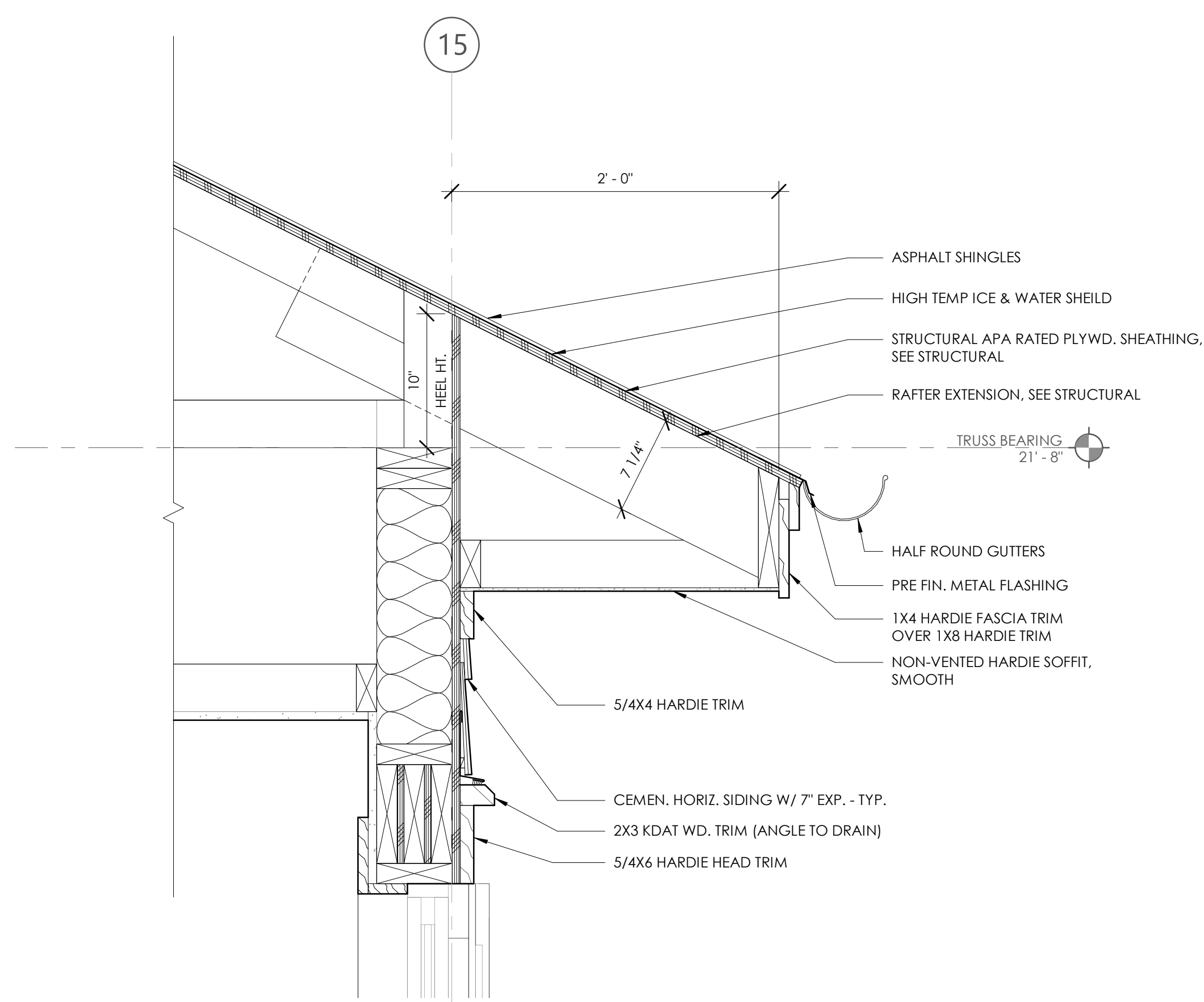
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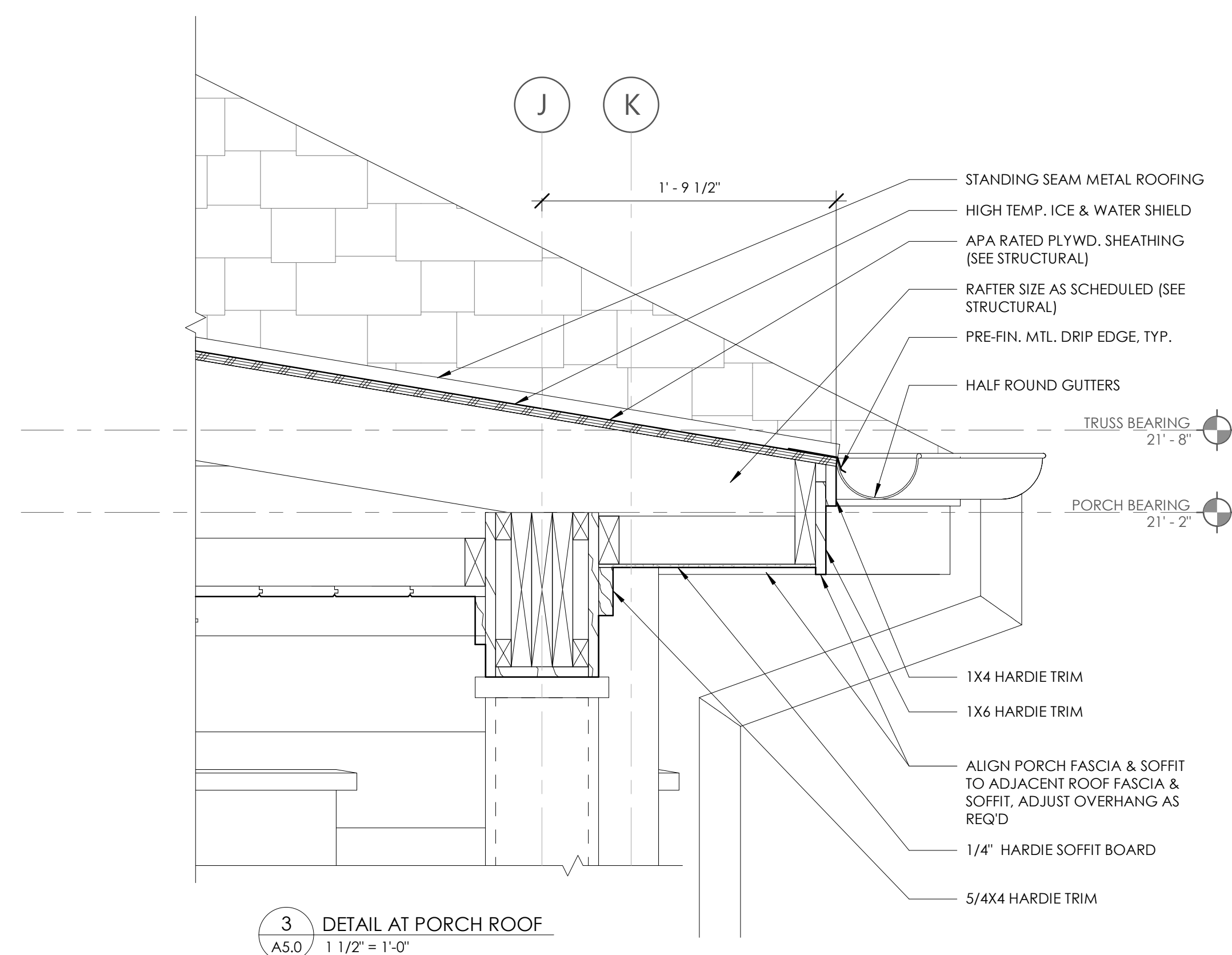
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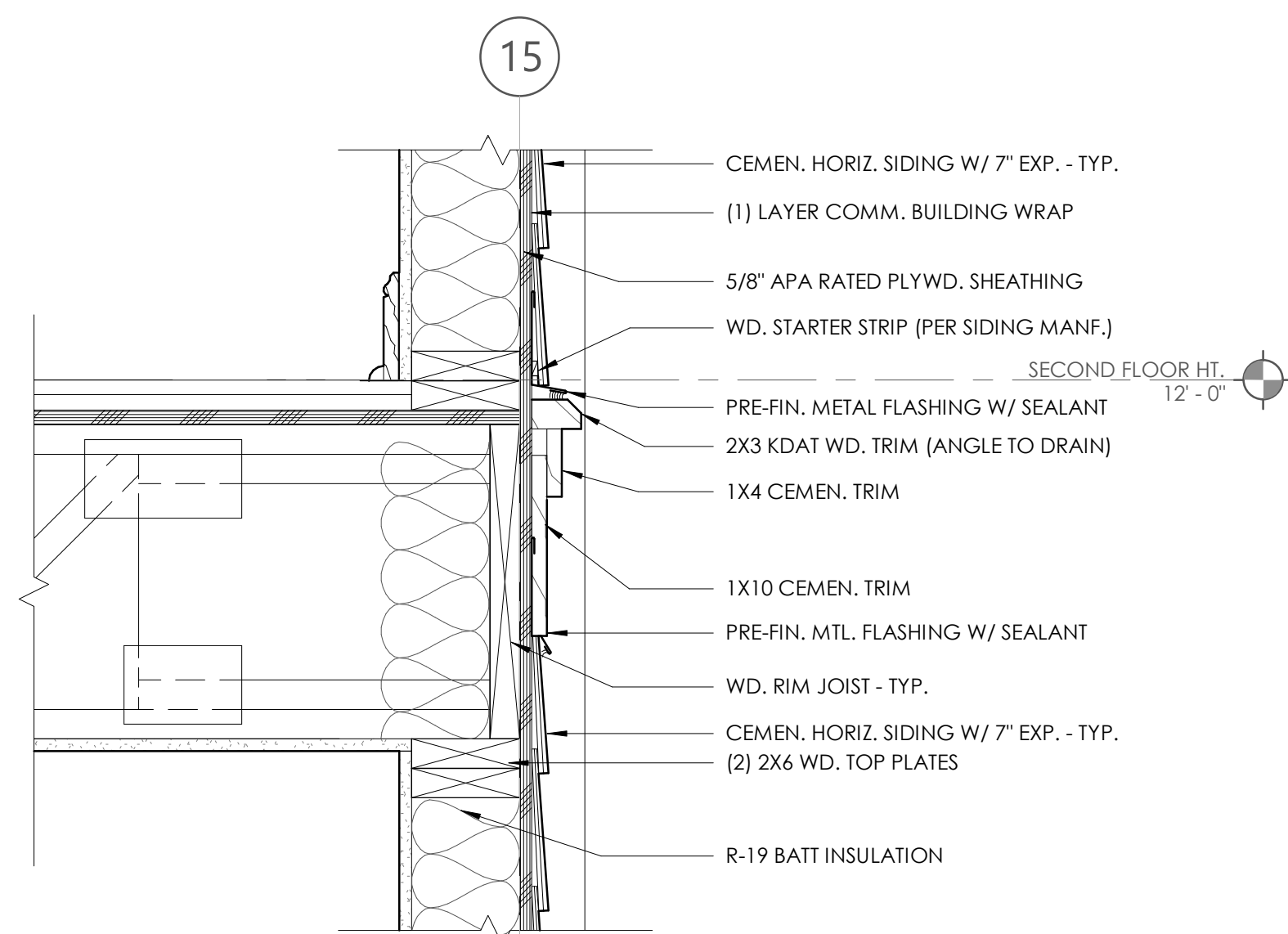




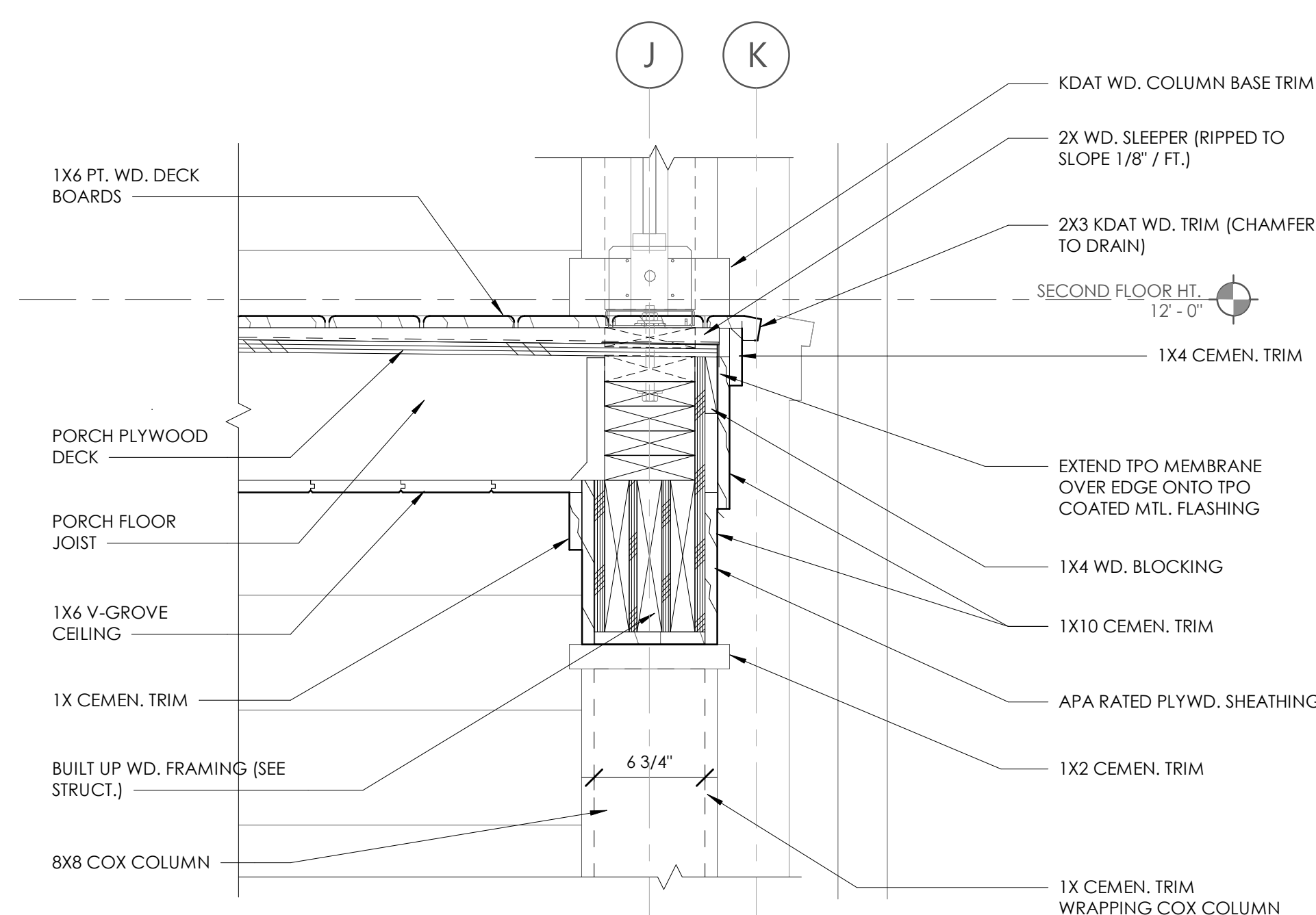
9
A5.0 / 1 1/2" = 1'-0"



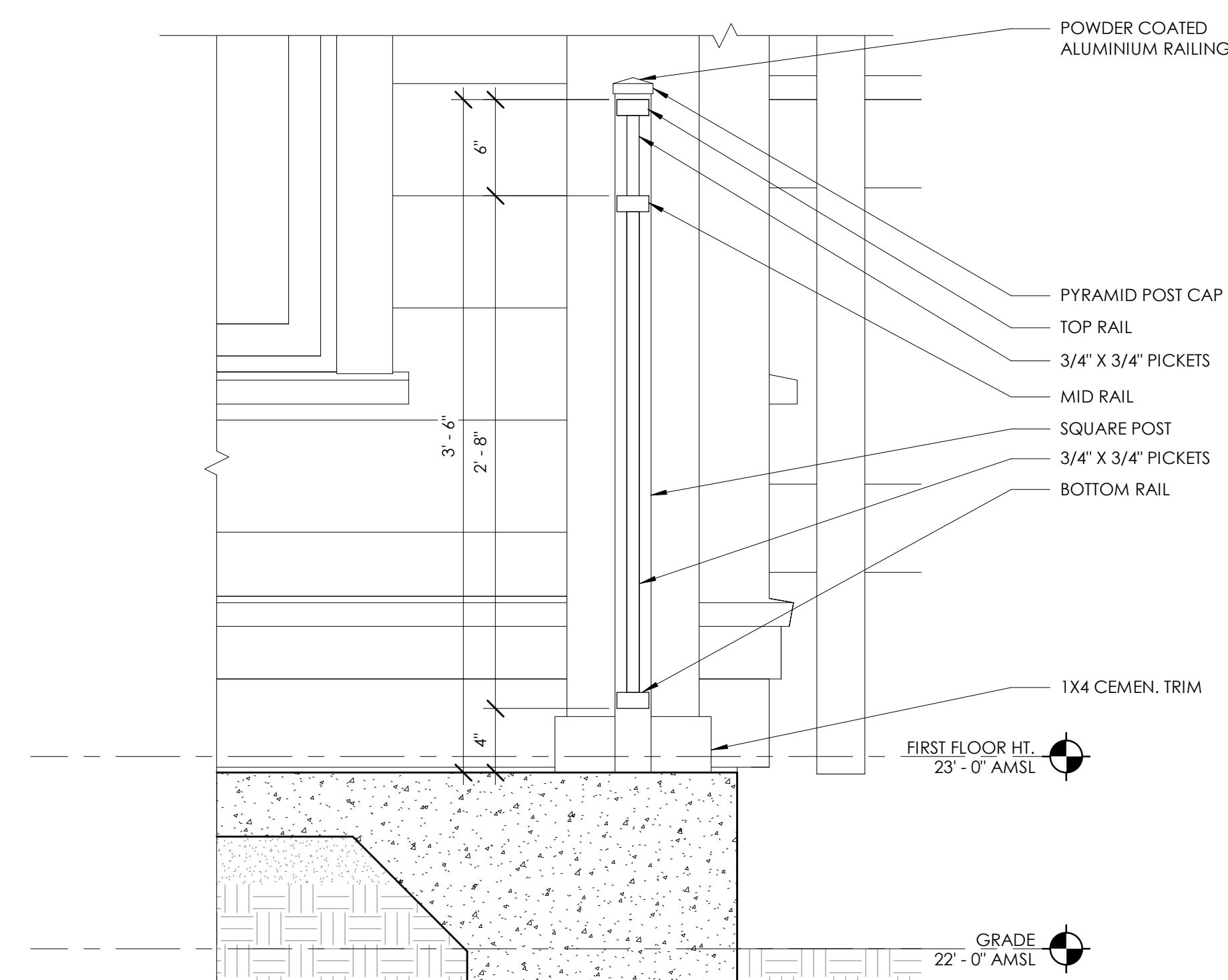
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A5.0 / 1 1/2" = 1'-0"



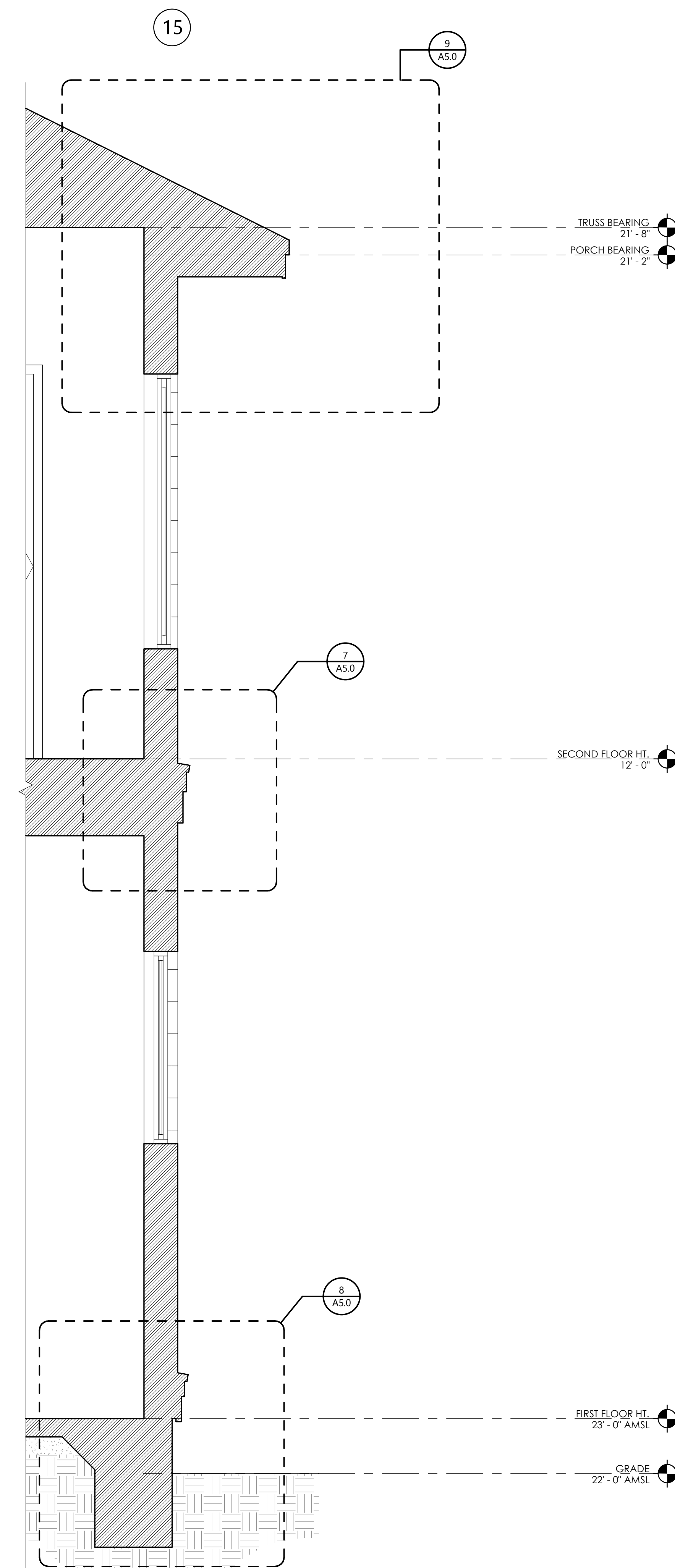
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A5.0 / 1 1/2" = 1'-0"



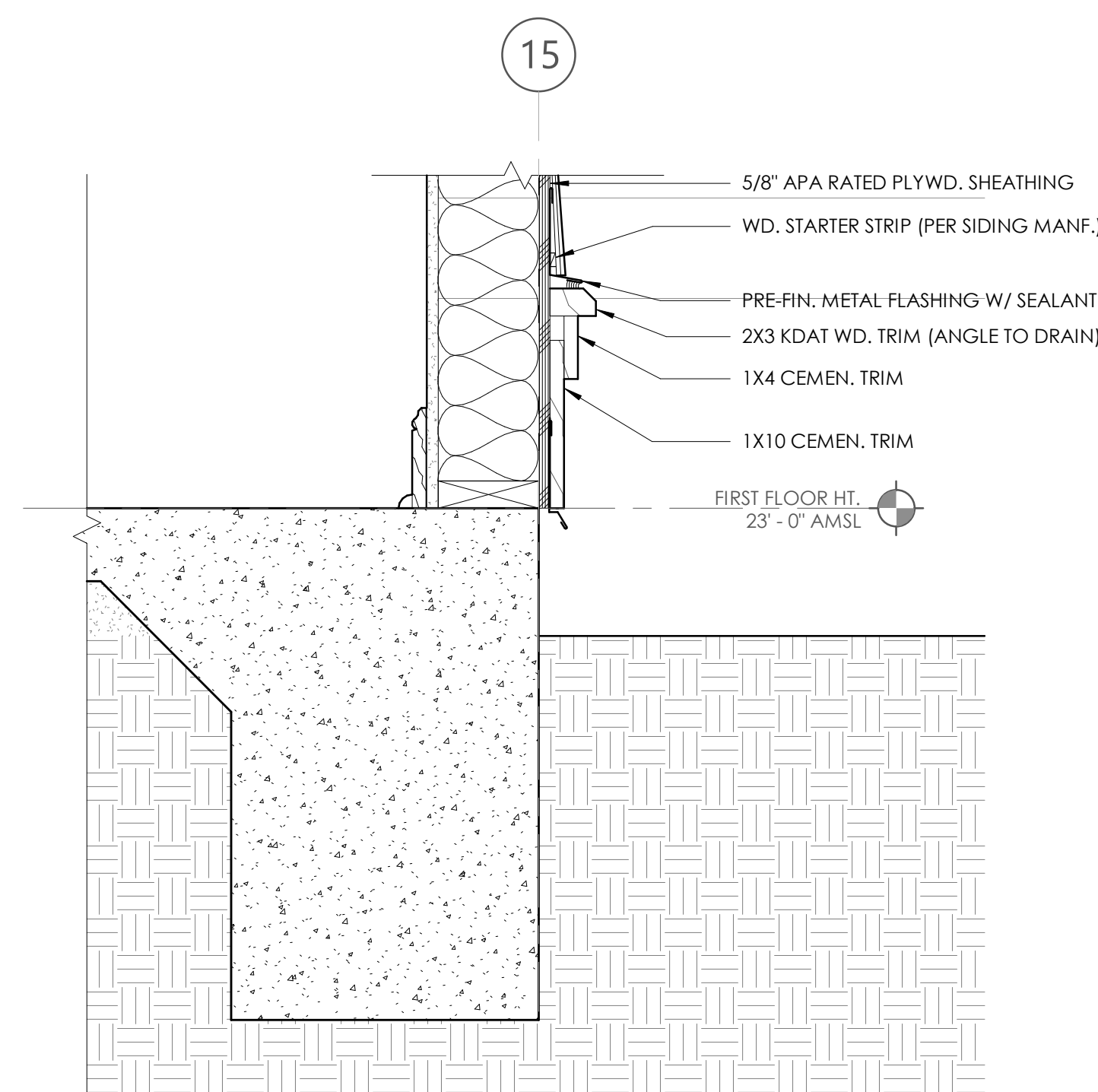
2
A5.0 / 1 1/2" = 1'-0"



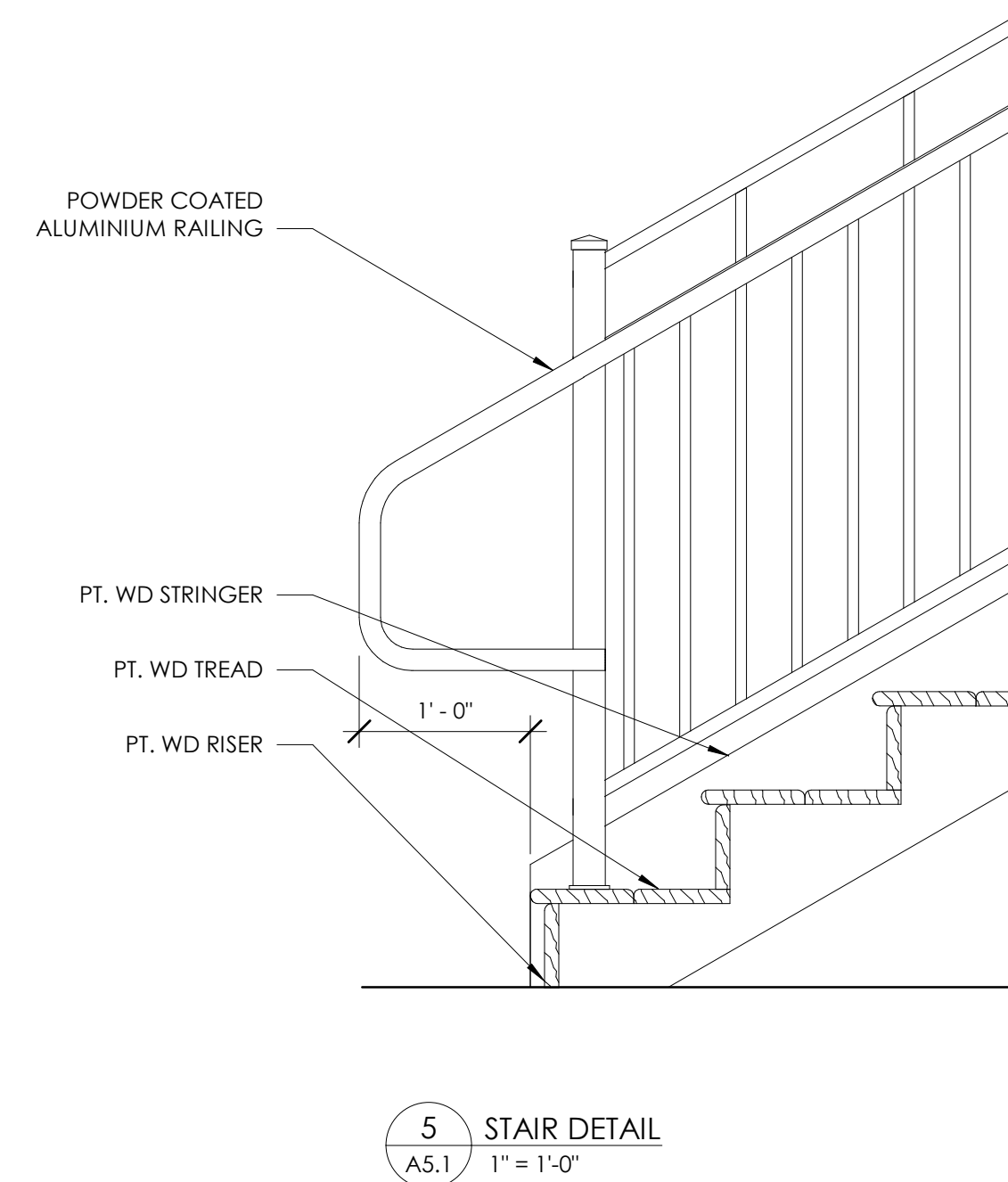
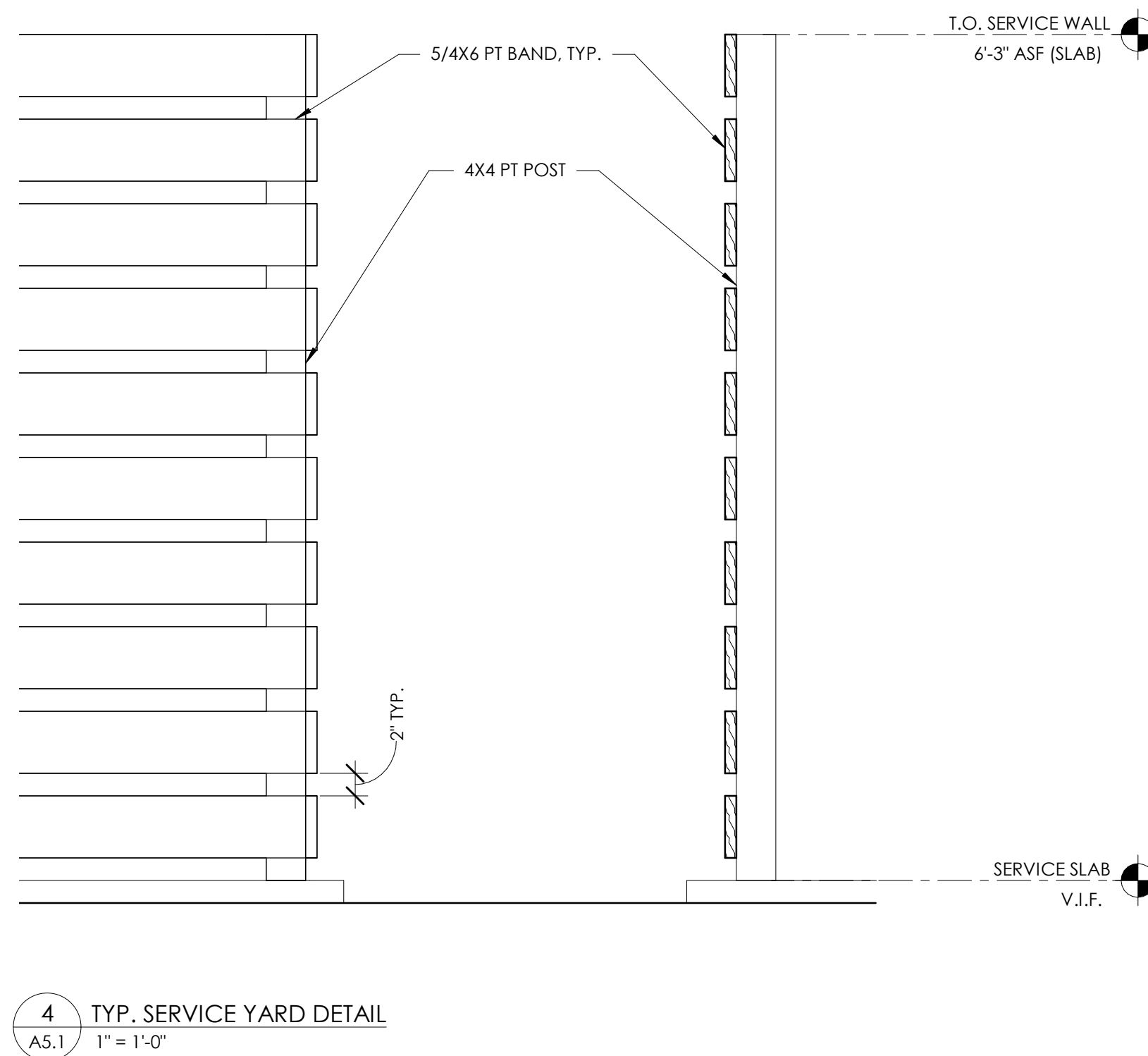
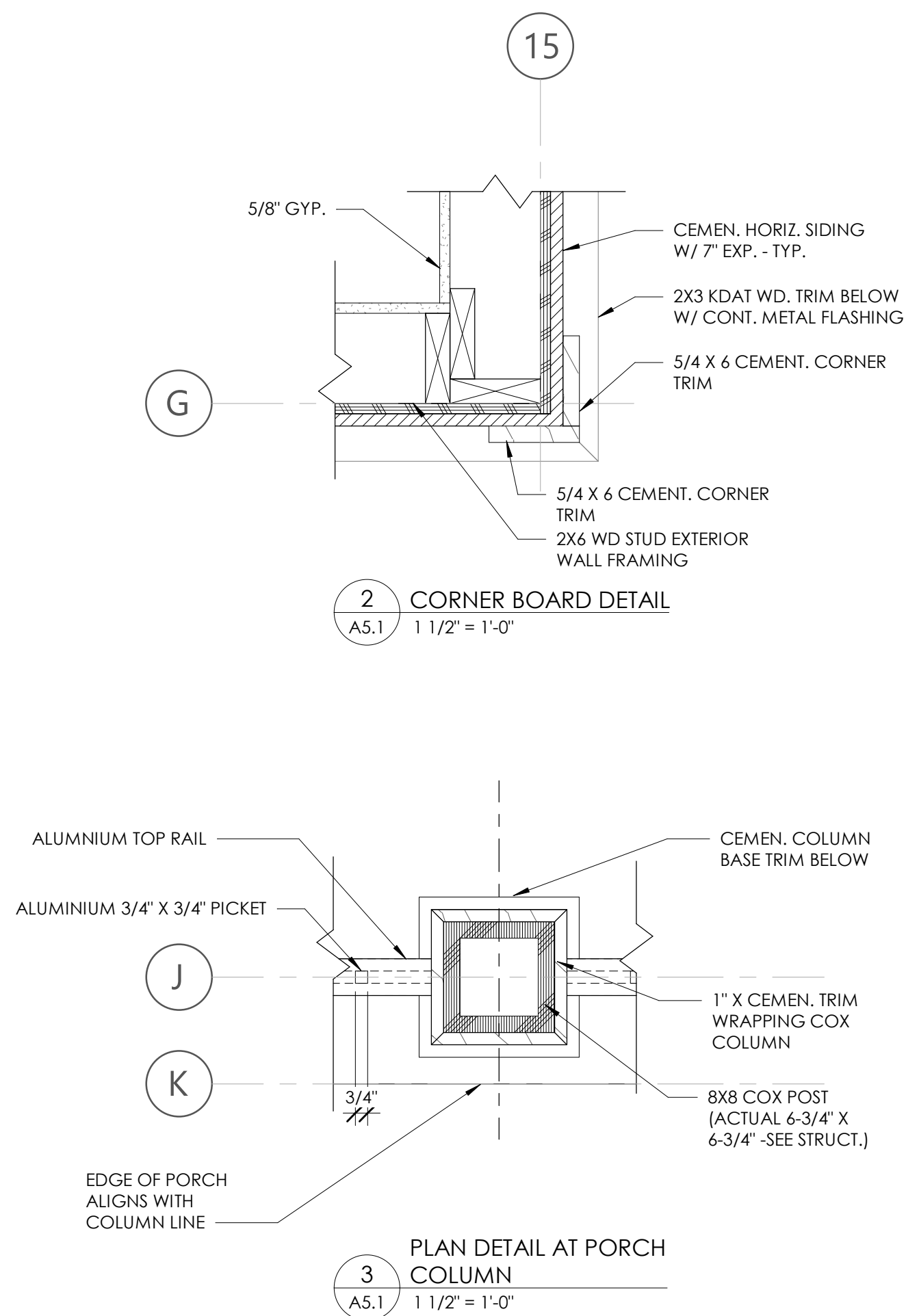
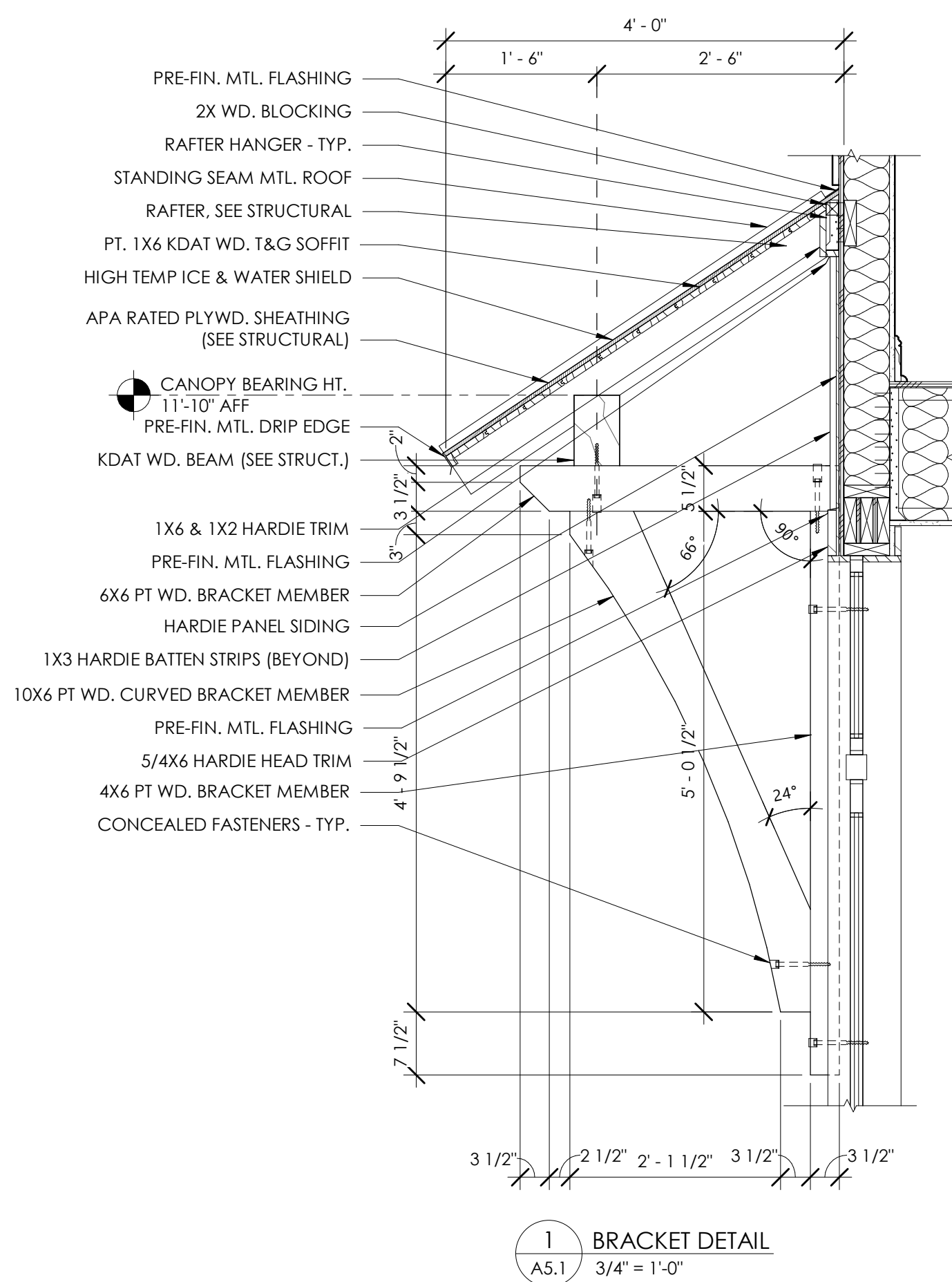
4
A5.0 / 1 1/2" = 1'-0"



6
A5.0 / 3/4" = 1'-0"

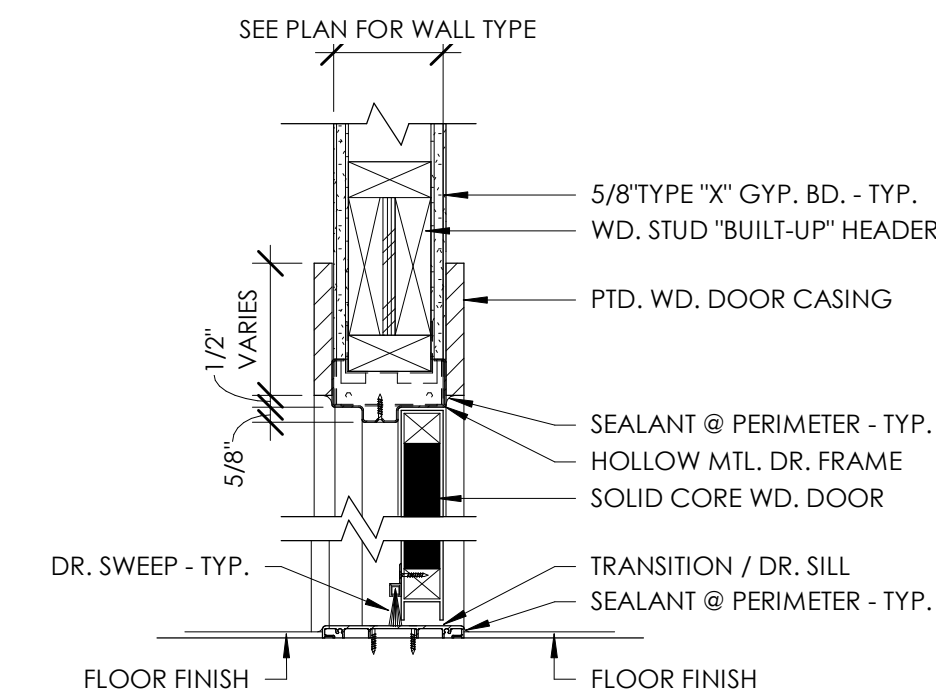


8
A5.0 / 1 1/2" = 1'-0"



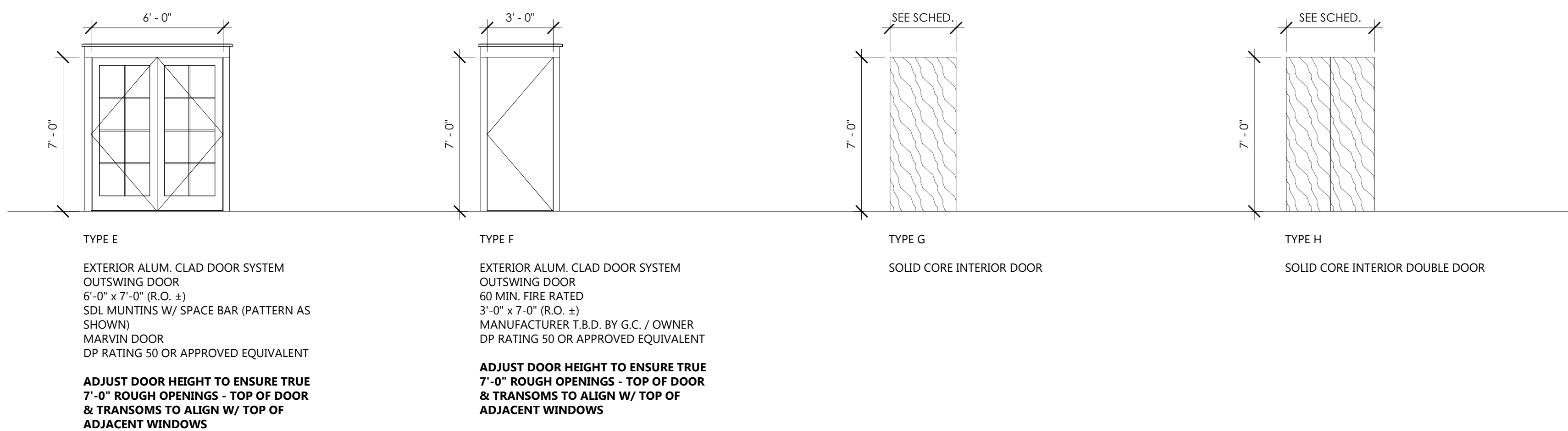
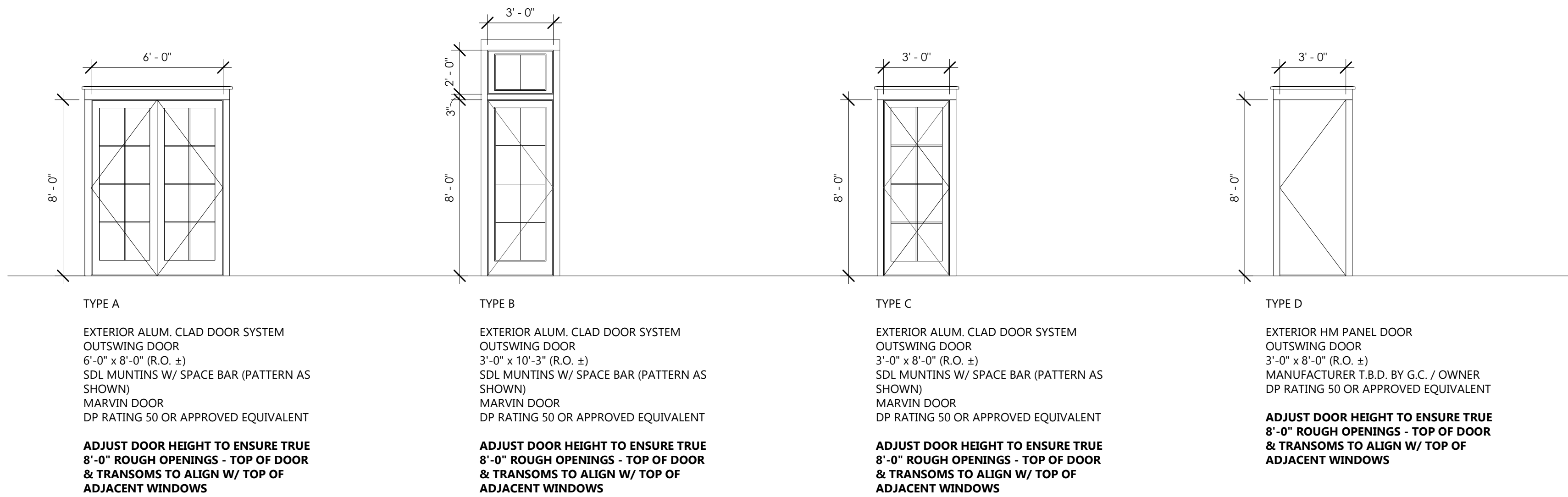
GENERAL DOOR / DOOR SCHEDULE, STOREFRONT & WINDOW NOTES:

- EGRESS DOORS AND HARDWARE SHALL COMPLY WITH 2018 IBC, SECTION 1010.1.9 WHEN BUILDING IS OCCUPIED.
- DOOR HARDWARE TO BE ADA COMPLIANT PER 2018 IBC & ANSI 117.1 2017.
- DOOR BOTTOM RAILS SHALL COMPLY WITH ANSI 117.1 2017 SECTION 404.2.9 (10' MIN. SMOOTH BOTTOM RAIL)
- DOOR SWING PER FLOOR PLANS, SEE A2.1 & A2.2.
- PROVIDE IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL WINDOWS AND DOORS IN ACCORDANCE WITH 2018 IBC, SECTION 1609.2.
- G.C. TO SUBMIT SHOP DRAWINGS FOR REVIEW.
- DESIGN PRESSURE RATING (DP) SHALL MEET THE REQUIREMENTS AS NOTED ON THE STRUCTURAL DRAWINGS AND MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS.
- G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
- G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.
- GLAZING TYPES:
 - IG - IMPACT GLAZING
 - S - SAFETY GLAZING PER IBC 2406.4.1 THROUGH 2406.4.3 & TABLE 2406.2 (1) OR TABLE 2406.2 (2)
- GLAZING (BOTH IN DOORS AND STOREFRONT SYSTEM) TO MEET THE FOLLOWING CRITERIA:
 - SHGC - 0.30
 - U-FACTOR - 0.60

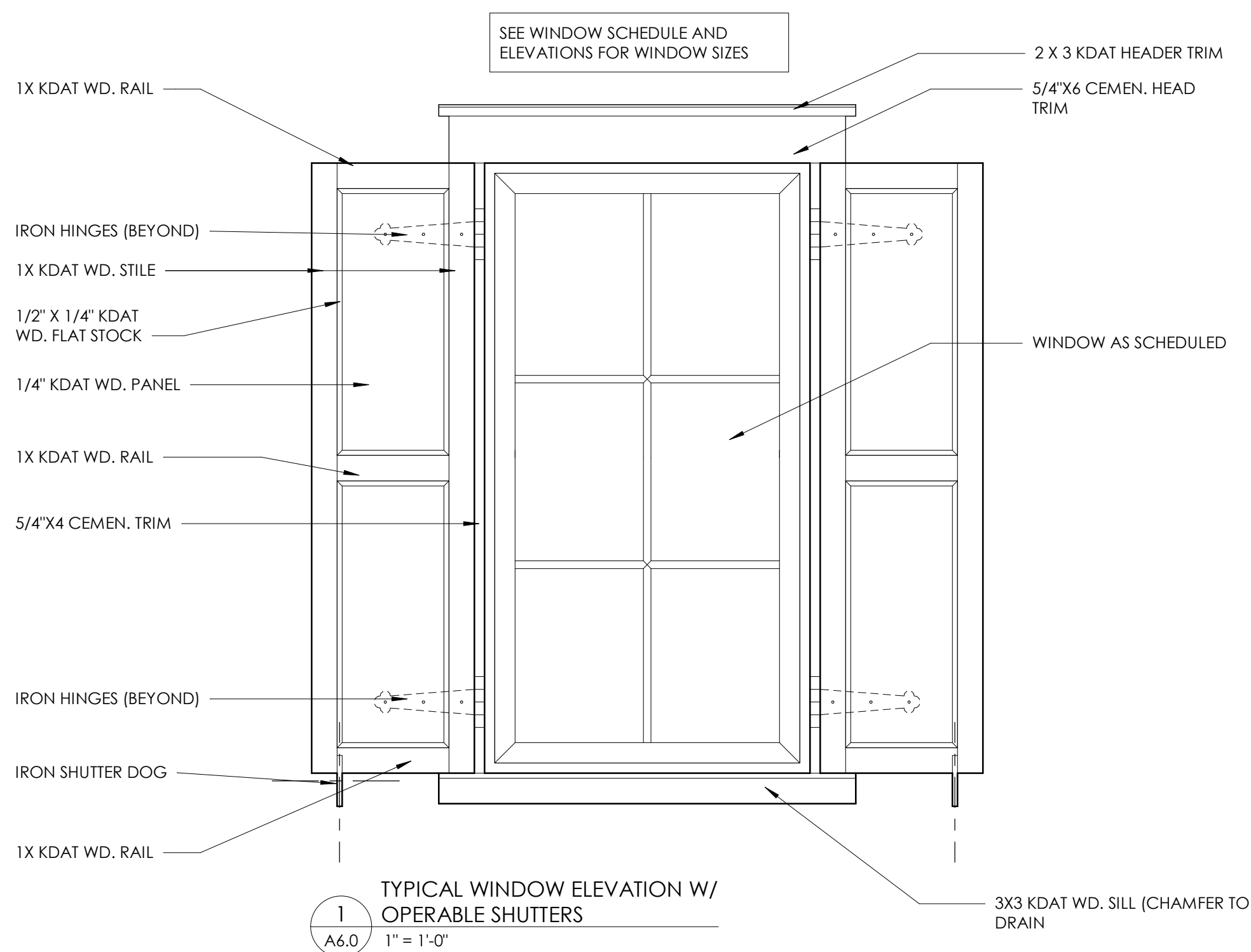


2
A6.0

TYPICAL HOLLOW METAL FRAME
1 1/2\" = 1'-0"



DOOR TYPES



WINDOW NOTES:

- WINDOWS TO BE MARVIN, ALUMINUM CLAD
- GLAZING VALUES SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

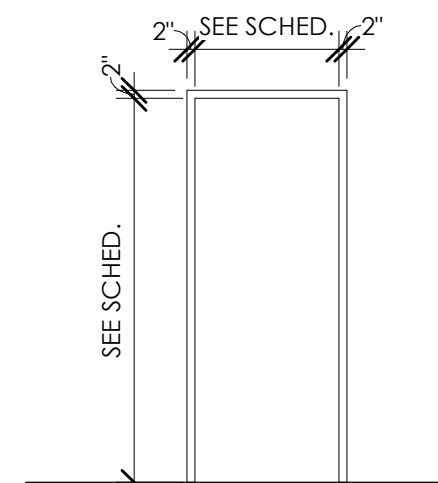
U-VALUE	0.60
SOLAR HEAT GAIN COEFFICIENT	0.30
- DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.
- ALL GLAZING IN HAZARDOUS LOCATIONS SHALL UTILIZE SAFETY GLAZING
- T = TEMPERED

DOOR SCHEDULE

DOOR NO.	ROOM	DOOR				FRAME				HARDWARE				COMMENT
		TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH	JAMB	HEAD	LOCK	CLOSER	STOP	
E01	FRONT PORCH	A	6'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
E02	MARKET	B	3'-0"	10'-3"	ALUM. CLAD / GLASS		ALUM. CLAD							
E03	SIDE STAIR PORCH	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		HM RATED	PREFINISHED						60 MIN.
E04	ENTRY VESTIBULE	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
E05	ENTRY VESTIBULE	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
E06	PLAY PORCH	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
E07	RISER	D	3'-0"	8'-0"	INSULATED METAL	PAINTED		PREFINISHED						
E08	LEARNING PORCH	E	6'-0"	7'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
E09	LEARNING SUITE	F	3'-0"	7'-0"	INSULATED METAL	PAINTED	HM RATED	PREFINISHED						60 MIN.
E10	GROUP	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
100A	ENTRY VESTIBULE	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
104A	STORAGE	G	2'-4"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
105A	JAN	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
106A	GIRLS	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
107A	BOYS	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
113A	OFFICE	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
114A	OFFICE	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
115A	STORAGE	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
200A	GROUP	C	3'-0"	8'-0"	ALUM. CLAD / GLASS		ALUM. CLAD							
200B	WORK	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
200C	ELC	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
200D	ADULT	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
203A	GIRLS	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
204A	BOYS	G	3'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						
207A	STORAGE	H	4'-0"	7'-0"	SOLID CORE WOOD	PAINTED	WOOD	PAINTED						

DOOR NOTES:

- DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCT. ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REG. REQUIREMENTS.
- HINGE TYPE, STYLE & FINISH - MANUFACTURER (T.B.D.)
- LOCKSET TYPE, STYLE & FINISH MANUFACTURER (T.B.D.)
- ALL DOOR HANDLES SHALL BE ADA COMPLIANT & MOUNTED 36" O.C. A.F.F. U.O.N.
- ALL GLAZING IN HAZARDOUS LOCATIONS SHALL UTILIZE SAFETY GLAZING
- T = TEMPERED
- TOP OF DOOR & TRANSOMS TO ALIGN W/ TOP OF ADJACENT WINDOWS



HOLLOW METAL FRAME TYPES

WINDOW SCHEDULE

Type Mark	Window Type	R.O.		Head Height	Comments
		Width	Height		
A	FIXED WINDOW W/ 2'-0" TRANSOM	3'-6"	8'-3"	<varies>	
B	FIXED WINDOW	3'-6"	6'-0"	8'-0"	
C	FIXED WINDOW	3'-6"	5'-0"	7'-0"	
D	FIXED WINDOW	2'-8"	6'-0"	8'-0"	
E	FIXED WINDOW	2'-8"	5'-0"	<varies>	
G	FIXED WINDOW	3'-0"	3'-6"	8'-0"	
H	FIXED WINDOW	2'-9"	6'-0"	8'-0"	
J	FIXED WINDOW	2'-8"	3'-6"	8'-6"	
K	FIXED WINDOW	3'-0"	5'-0"	8'-0"	

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SHEET TITLE

FIRST FLOOR
REFLECTED CEILING
PLAN

A7.1

REFLECTED CEILING PLAN GENERAL NOTES:

- A. THIS DRAWING INDICATES THE GENERAL LOCATION OF FIXTURES, ARCHITECTURAL DETAILS AND FINISHES. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
- B. SEE FINISH SCHEDULE, FINISH PLANS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- C. PROVIDE ACT HOLD DOWN CLIPS WITHIN 20'-0" OF ENTRY DOORS.
- D. ALL CEILING TILE TO BE CENTERED IN BOTH DIRECTIONS IN EACH ROOM OR SPACE U.N.O.
- E. SEE ELECTRICAL DRAWINGS FOR FIXTURE LOCATIONS. VERIFY MOUNTING HEIGHTS OF DECORATIVE FIXTURES WITH ARCHITECT PRIOR TO INSTALLATION.
- F. ALL DOWN LIGHTS AND WALL WASHERS TO BE CENTERED IN CEILING TILE OR SOFFIT, U.N.O.
- G. SEE MECHANICAL DRAWINGS FOR DUCT AND EQUIPMENT LAYOUT.
- H. COORDINATE LOCATION OF ELECTRICAL FIXTURES, MECHANICAL GRILLES AND DIFFUSERS, SPRINKLER HEADS, AND OTHER CEILING MOUNTED ITEMS, NOTIFY ARCHITECT OF CONFLICTS PRIOR TO FINAL INSTALLATION.

ACOUSTIC CEILING TILE. SEE FINISH LEGEND FOR MORE INFORMATION

PAINTED GYP. BD. CEILING, BULKHEAD, HEADER, OR SOFFIT

ACT-1
10'-6 1/2"

CEILING TAG

PROPOSED LIGHT FIXTURE LOCATIONS.
COORDINATE W/ ELECTRICAL

PROPOSED EXIT LIGHT LOCATIONS.
COORDINATE W/ ELECTRICAL & LIFE SAFETY PLANS

EXTERIOR FAN WITH LIGHT

WATERPROOF CAN LIGHT

PENDANT LIGHT

WALL SCONCE

EXHAUST FAN

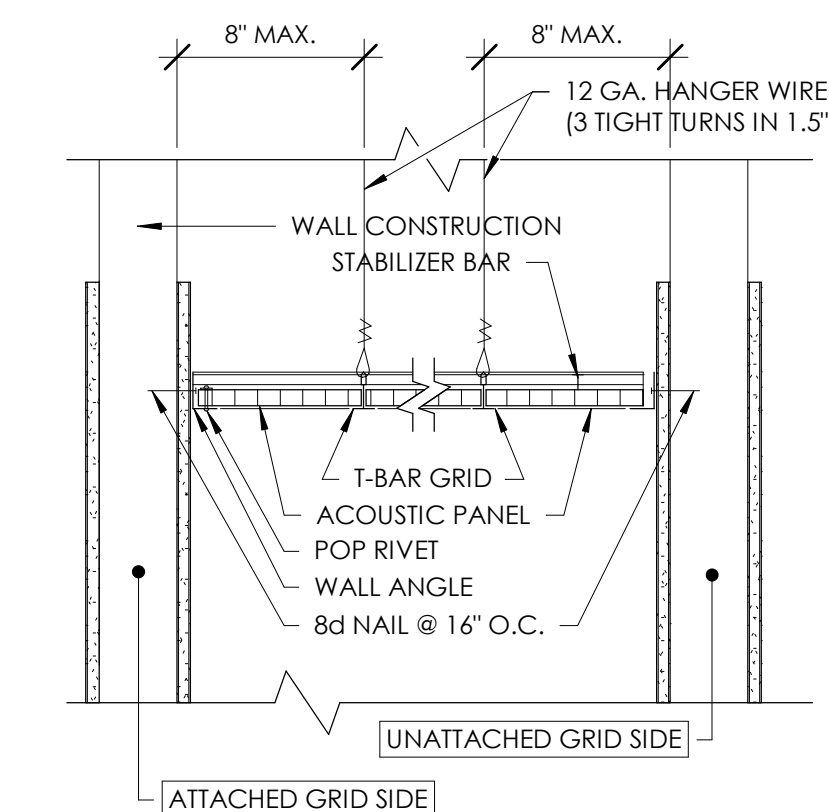
ELECTRIC METER

NOTE: SEE ELECTRICAL DERAWINGS FOR FINAL LOCATION. PROVIDE
CLEARANCE PER 2015 IRC SECTION E3405.1

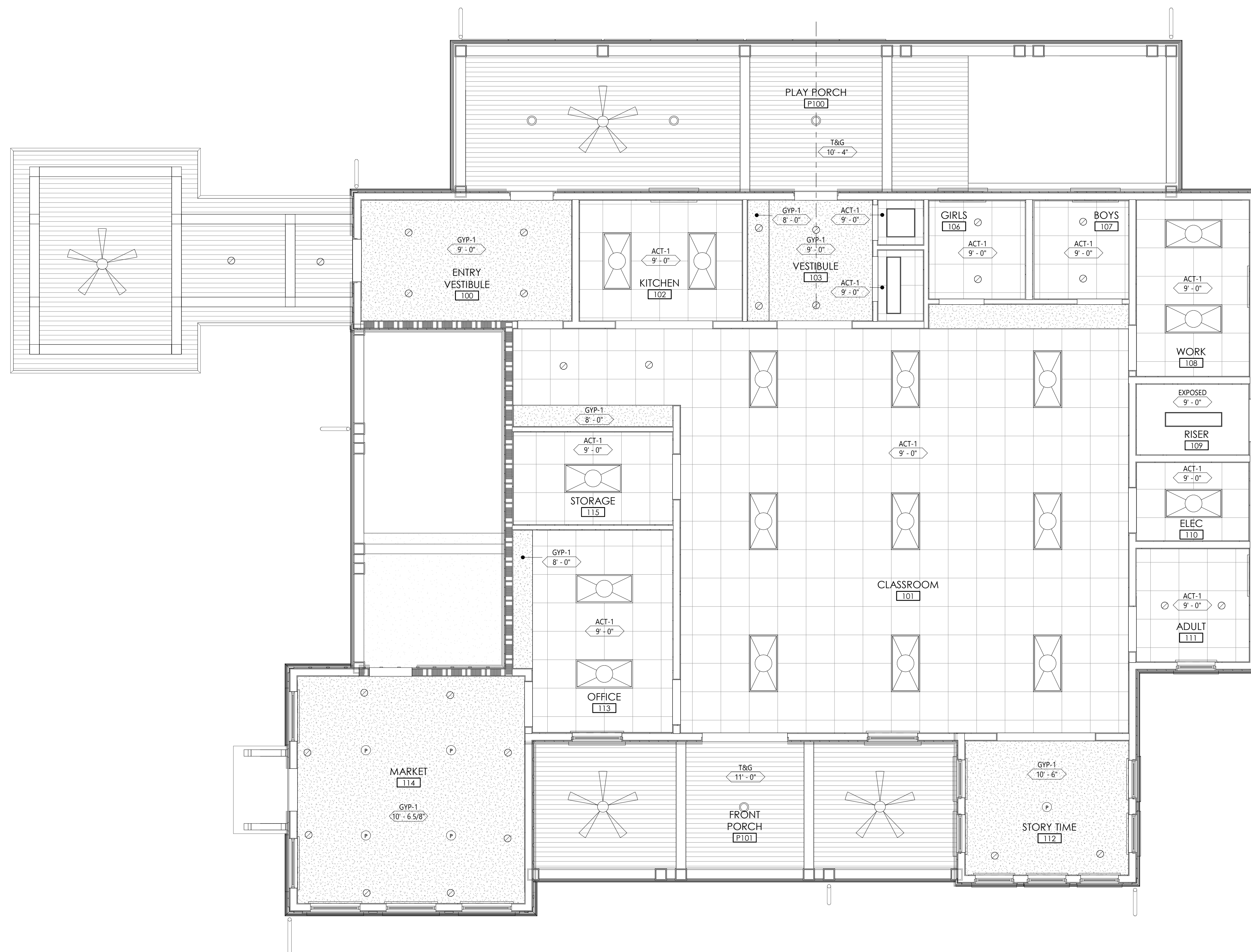
CIRCUIT PANEL BOX

NOTE: SEE ELECTRICAL DERAWINGS FOR FINAL LOCATION PROVIDE
CLEARANCE PER 2015 IRC SECTION E3405.1

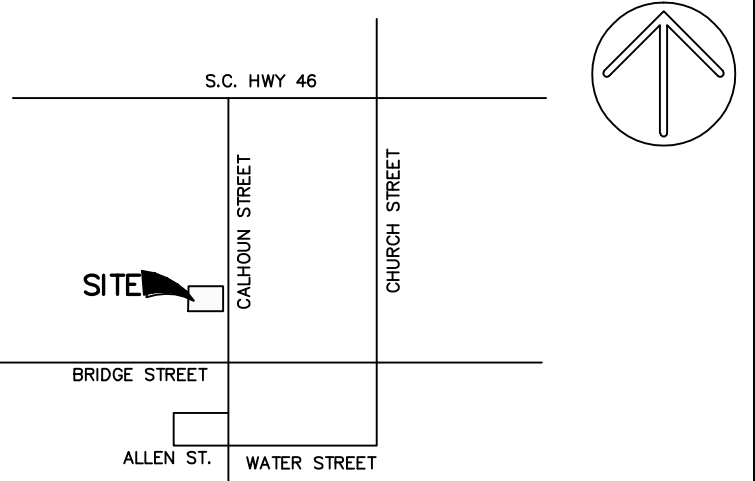
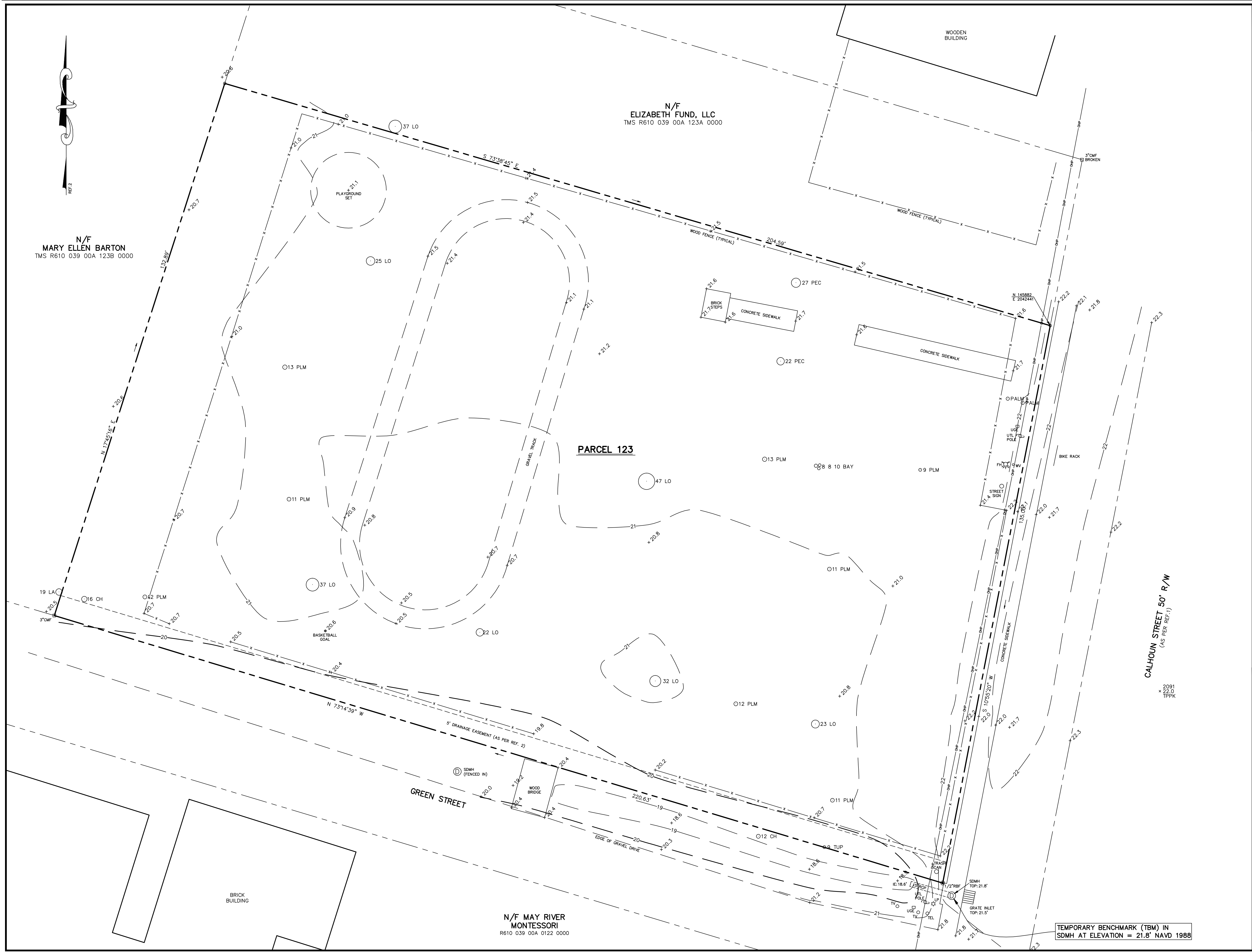
CEILINGS TO BE INSTALLED TO MEET REQUIREMENTS
OF SEISMIC DESIGN CATEGORY "C"



1
A7.1
ACT SEISMIC DETAIL
1 1/2" = 1'-0"



2
A7.1
FIRST FLOOR REFLECTED CEILING
PLAN
1/4" = 1'-0"



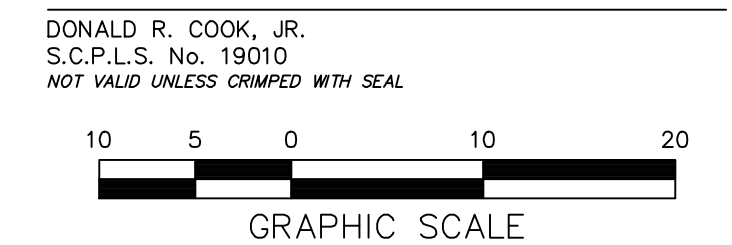
VICINITY MAP NOT TO SCALE

- NOTES:
1. THIS LOT APPEARS TO LIE IN FLOOD ZONE X AS SHOWN PER FIRM MAP 45013C0426G, COMMUNITY No. 450251, DATED 03/23/21.
 2. TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
 3. SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83, REFERENCE 1.
 4. PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

- REFERENCE(S):
1. PLAT BOOK 123, PAGE 156.
 2. SURVEY BY T-SQUARE
DATED: 04-28-99
PROJECT NO: 99-064AT

LEGEND:

CMF	CONCRETE MONUMENT FOUND
RBF	REBAR FOUND
PKF	PK NAIL FOUND
PP	POWER POLE
-OHP-	OVER HEAD POWER LINE
UGE	UNDERGROUND ELECTRIC BOX
TEL	TELEPHONE PEDESTAL
TRNF	TRANSFORMER
TV	CABLE TELEVISION PEDESTAL
WM	WATER METER
SSMH	SANITARY SEWER MANHOLE
LO	LIVE OAK
HIC	HICKORY
LA	LAUREL OAK
PLM	PALMETTO
G	GUM
POP	POPLAR
x10.0	SPOT ELEVATION
-10-	CONTOUR



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A TREE & TOPOGRAPHIC SURVEY OF
PARCEL 123
CALHOUN STREET/BRIDGE STREET

TMS R610 039 00A 0123 0000
TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA
PREPARED FOR:



PROJECT No.: 10040002
DRAWN BY: DRC PROJECT NAME: 10040002
DATE: 06.14.21 FILE: 10040002T 061021.dwg
SCALE: 1"= 10' SHEET 1 OF 1

TEMPORARY BENCHMARK (TBM) IN
SDMH AT ELEVATION = 21.8' NAVD 1988



MAY RIVER MONTESSORI - FRONT ELEVATION

January 4, 2023



MAY RIVER MONTESSORI - STREETSCAPE

January 4, 2023



① Exterior View 1



② Exterior View 2



④ Exterior View 4



③ Exterior View 3

MAY RIVER MONTESSORI - EXTERIOR PERSPECTIVES

January 4, 2023

1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. REFER TO ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES AND ROADS
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE.
4. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
5. THE REQUIREMENTS, SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES
6. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
7. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
8. W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MAKE INFIELD MODIFICATIONS, IF NECESSARY.
9. CONTRACTOR SHALL PROVIDE, FURNISH, MAINTAIN, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
10. BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTRACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
11. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
12. CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
13. CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES, NATURAL AREAS AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
14. ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF BEAUFORT COUNTY AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNING AGENCIES.
15. CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
16. CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
17. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
18. ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

1. THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
2. ALL DEMOLITION DEBRIS SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS APPLICABLE PER BEAUFORT COUNTY CODE[S].
3. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
5. ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE CONTRACTOR SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK. ALL UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE. ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AUTHORITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND THAT ARE APPLICABLE TO THE WORK AND EQUIPMENT.
7. REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
8. THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
9. SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE RELOCATED DUE TO UNDERGROUND UTILITIES.
10. BARRIERS AND/OR FLAG MEN MAY BE REQUIRED FOR SAFETY, VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
11. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATION IS MADE.

- CONTRACTOR SHALL IMPLEMENT ALL SILT FENCE OR OTHER SEDIMENT CONTROL MEASURES AROUND ALL DISTURBED AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
- ALL TEMPORARY CONSTRUCTION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. IF SITE INSPECTIONS IDENTIFY B.M.P.s THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL.
- CONTRACTOR TO PROVIDE SILT FENCE AND / OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED INTO ANY WATERWAY OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND / OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD AND DUST FROM PAVED SURFACES, AS REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND / OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED BY A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 100-FOOT BUFFER SHALL BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL W.O.S.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FORTY (40) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

1. ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFER, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
4. ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS SHALL BE STAKED AND REVIEWED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
5. ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
6. ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
7. CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
8. ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

1. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES.
2. CROSS SLOPES ON ALL PATHWAYS RUNNING WAYS / PATHWAYS ARE NOT TO EXCEED 2%.
3. ALL ACCESSIBLE WALKWAYS / PATHWAYS WALKING SLOPE (GRADE) MAY NOT EXCEED 4.9%, UNLESS OTHERWISE INSTALLED. 4.9% IS INSTALLED. THE RUNNING SLOPE (GRADIENT) SHALL NOT EXCEED 8.33% AND HANDRAILS SHALL BE INSTALLED ON BOTH SIDES (MINIMUM 36" CLEARANCE BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6'.
4. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
5. CONTRACTOR RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
7. ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
8. IF REQUIRED, POP UP EMITTER SHALL BE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
9. LANDSCAPE DRAIN SHALL BE AS SPECIFIED ON PLANS.
10. LANDSCAPE DRAIN SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

1. THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING ON ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
2. THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING DISTRIBUTION AND CONTROL SYSTEM.
3. CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
6. THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH APPROVED REPRESENTATIVE OF OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
7. FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
8. THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDCAPE INSTALLATION.
9. ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
10. CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
11. CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FUTURE ADJUSTMENT.
12. ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
13. CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
14. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
15. ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
16. SITE INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY CONTRACTOR FOR ONE YEAR.
17. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
18. IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

1. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
2. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE UPON THE DISCOVERY OF ANY SUCH REQUIRED ADJUSTMENTS.
4. THE CONTRACTOR SHALL PROVIDE FILL AS IS REQUIRED TO OBTAIN PROPER RELATIONSHIP OF FOOTING TO FINISH GRADE REQUIREMENTS - FEATHER FILL TO ADJACENT EXISTING GRADE TO ASSURE A COORDINATED AND DESIRED EFFECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONDITIONS SCHEDULED TO REMAIN DURING CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES DURING CONSTRUCTION.
7. 'IN-FIELD MODIFICATIONS' MAY BE NECESSARY TO PRODUCE DESIRED EFFECT. MODIFICATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
8. ALL WELDS TO BE CONTINUOUS.
9. FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
10. CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO JOINTING. CONTRACTOR TO REPORT ANY DISCREPANCIES TO OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
11. ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG, SEAL AND PRIME.
12. PRIME AND PAINT ALL SURFACES AFTER ALL CUTS WITH TWO COATS OF PRIMER PAINT FOR EXTERIOR USE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (PRIME ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
13. SAND ALL WOOD MEMBERS ON ALL SURFACES AFTER ALL CUTS. APPLY SEALANT AND STAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (SEAL AND STAIN ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
14. FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING. ALL CONNECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THREADED RODS, AND STRUCTURAL HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNULAR STAINLESS STEEL.
16. ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION. MINIMUM 3" APART.

1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - 1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
 - 1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
 - 1.3. CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
 - 1.4. TOPSOIL SHALL BE BETWEEN FIVE (5) AND SEVEN (7) INCHES DEEP.
2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
3. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
4. PRIOR TO STOCKPILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SCREEN. STOCKPILE LOCATIONS SHALL BE DESIGNATED WITH PROPER DRAINAGE AND LOCATIONS WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
5. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
6. SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS NOT INCLUDING BUILDING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULK WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

1. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
3. LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
4. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
5. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
6. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
7. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS TO CORRELATE DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
8. GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
10. ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEAR CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
11. ALL PLANT MATERIAL [EXCEPT SEASONAL COLOR] SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
12. ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
2. SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
3. ALL AREAS IN WHICH THE EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSSED WITH TEMPORARY GRASS.
4. AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY, AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
5. SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
6. THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
7. UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
9. LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
10. MAINTENANCE OF GRASSSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
12. EROSION CONTROL AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
14. SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.

1. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
2. NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
3. LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
4. LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
5. CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
6. ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
7. ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
8. CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

CS - COVER SHEET
L100 - KEY SHEET
L200 - PLANTING PLAN
L300 - PLANT SCHEDULE AND DETAILS
L400 - SITE DETAILS- 01
L401 - SITE DETAILS- 02

**ISSUED:
DECEMBER 21, 2022**

WITMER JONES KEEFER
BLUFFTON, SC
(843) 757.7411

ALL ARCHITECTURAL
INFORMATION WAS TAKEN FROM
DIGITAL FILES PROVIDED BY:

COURT ATKINS ARCHITECTS
BLUFFTON, SC.
(843) 815.2557

ALL TOPOGRAPHY, EXISTING TREES,
SITE BOUNDARY, SITE SURVEY DATA,
ETC. WERE TAKEN FROM DIGITAL
FILES PROVIDED BY:

COOK LAND SURVEYING
BLUFFTON, SC.
(843) 247.1311

WATERBODY INFORMATION	
NAME OF NEAREST RECEIVING WATERBODY(S)	MAY RIVER
NAME OF ULTIMATE RECEIVING WATERBODY(S)	CALIBOGUE SOUND
DISTANCE TO NEAREST RECEIVING WATERBODY(S) (FEET)	+/- 1,175 FT.
PROJECT DISTURBED AREA (TO NEAREST TENTH OF AN ACRE)	0.4AC

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SITE DEVELOPMENT PLANS
FOR
MAY RIVER MONTESSORI
BLUFFTON, SOUTH CAROLINA

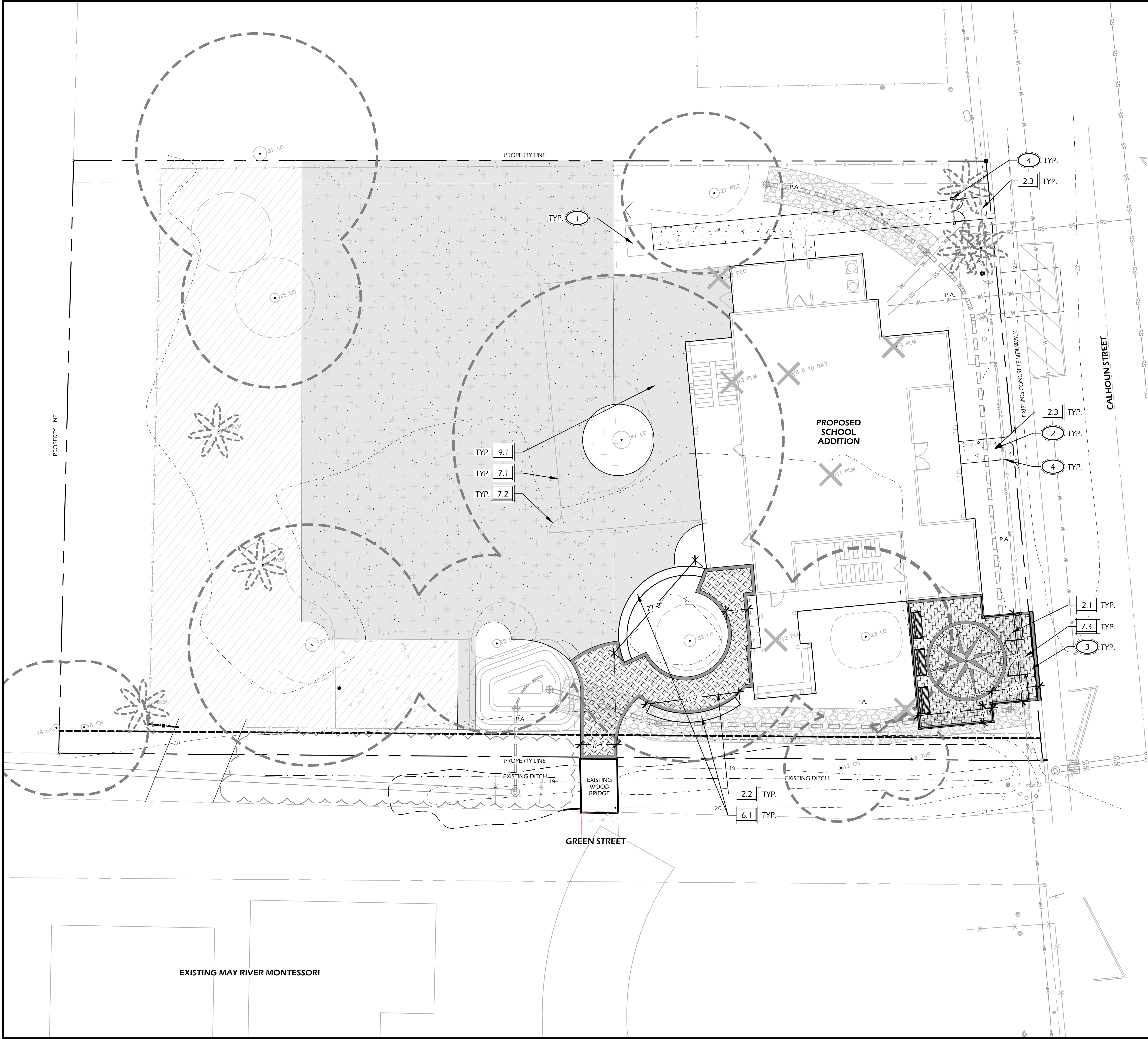
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PROGRESS PLAN,
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DRAWING TITLE
COVER SHEET AND
PROJECT NOTES

DRAWING NUMBER

CS



PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		BRICK PAVER WALK	1/L400
2.2		PERMEABLE PAVER WALK	2/L400
2.3		TABBY CONCRETE WALK	3/L400

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
6.1	SEAT WALL	4/L400
7.1	FENCE	5/L400
7.2	SINGLE GATE	6/L400
7.3	DOUBLE GATE	1/L401
9.1	ARTIFICIAL TURF	2/L401

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- 1 MAINTAIN EXISTING STEPS.
- 2 TIE PROPOSED TABBY CONCRETE INTO EXISTING CONCRETE WALK EVENLY AND SMOOTHLY.
- 3 TIE PROPOSED PAVERS INTO EXISTING CONCRETE WALK EVENLY AND SMOOTHLY.
- 4 REMOVE SECTION OF EXISTING FENCE TO ALLOW FOR THE INSTALLATION OF NEW TABBY WALK.

Section X, Item #2.

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SITE DEVELOPMENT PLANS
FOR
MAY RIVER MONTESSORI
BLUFFTON, SOUTH CAROLINA

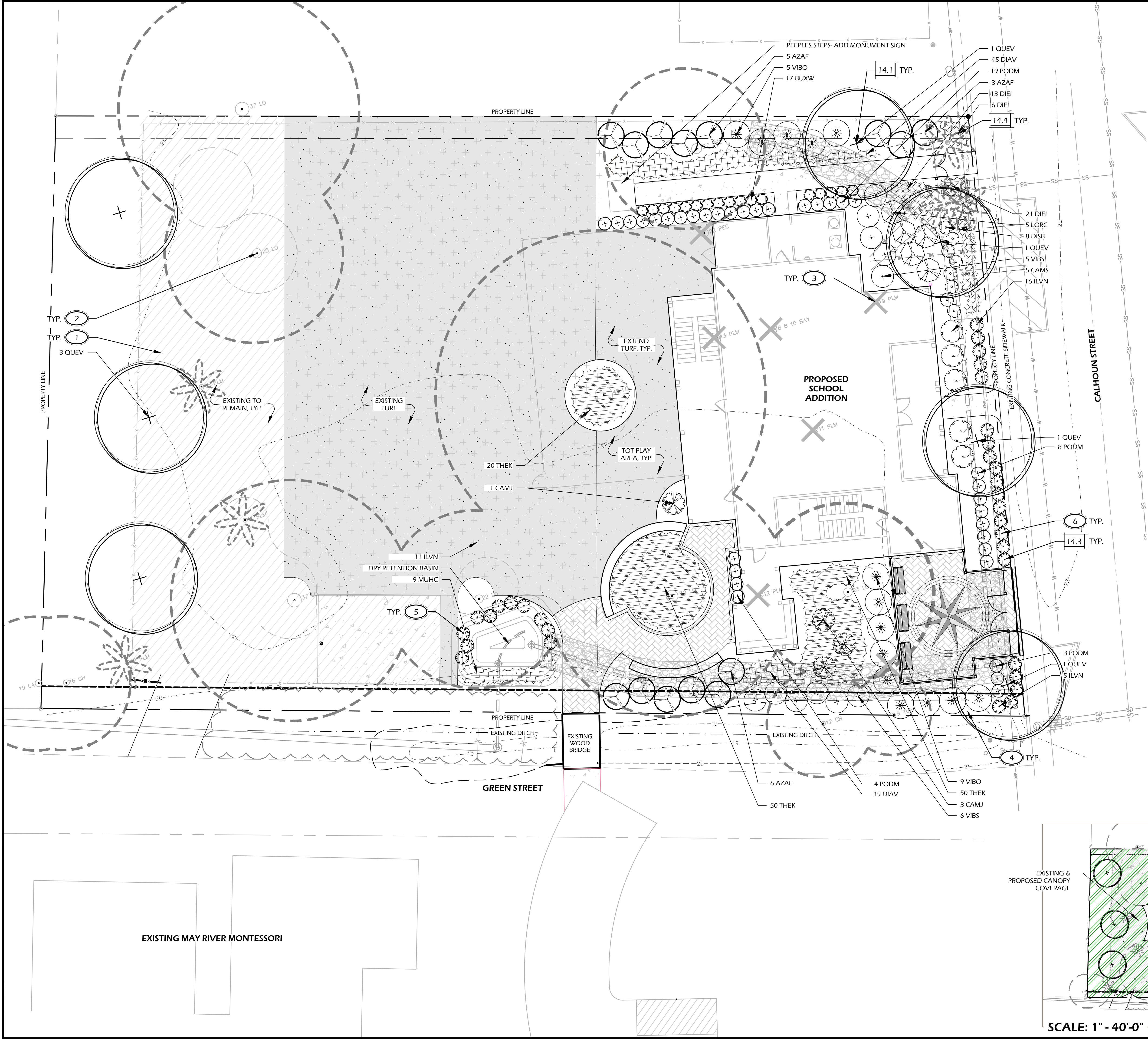
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KEY SHEET

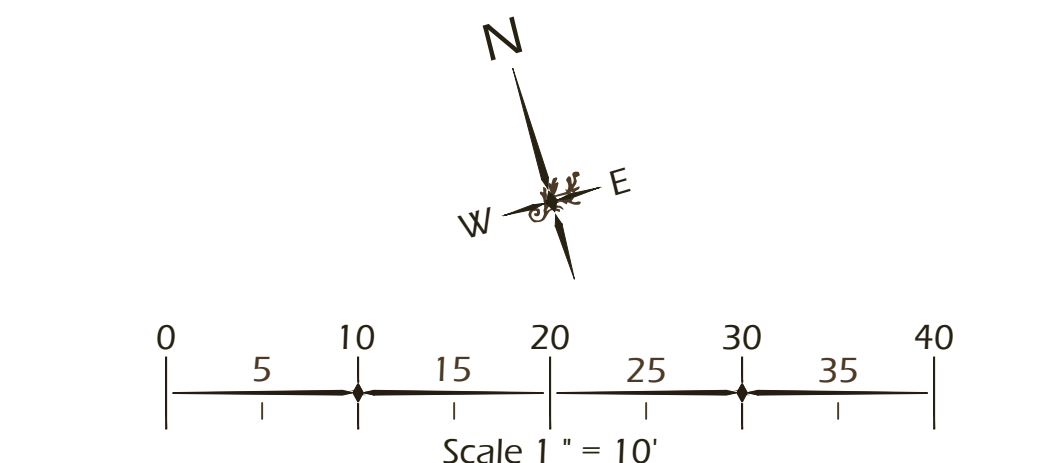
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- PLANTING REFERENCE NOTES:**
- 1 EXISTING VEGETATION TO REMAIN.
 - 2 EXISTING TREES TO BE REMAIN.
 - 3 EXISTING TREES TO BE REMOVED.
 - 4 MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - 5 CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
 - 6 COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.

PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L300
14.2	PALM TREE PLANTING	2/L300
14.3	SHRUB PLANTING	3/L300
14.4	GROUND COVER PLANTING	4/L300

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
SHRUBS		
AZAF	Azalea indica 'Formosa'	Formosa Azalea
BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood
CAMJ	Camellia japonica	Japanese Camellia
CAMS	Camellia sasanqua	Sasanqua Camellia
DISB	Distylium 'Blue Cascade' (PIDIST-II PP24409)	Blue Cascade Distylium
ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower
PODM	Podocarpus macrophyllus	Podocarpus
VIBO	Viburnum odoratissimum	Sweet Viburnum
VIBS	Viburnum suspensum	Sandankwa Viburnum
ORNAMENTAL GRASSES & FERNS		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
THEK	Thelypteris kunthii	Southern Shield Fern
GROUND COVERS, VINES & PERENNIALS		
DIAM	Dianella tasmanica 'Variegata'	Variegated Flax Lily
DIEI	Diets iridioides	White African Iris



CANOPY COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	28,293 S.F.
BUILDING FOOTPRINT	±4,277 S.F.
REMAINING SITE AREA	24,016 S.F.
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	19,463 S.F.
% CANOPY COVERAGE (75% MIN.)	81%



Section X, Item #2.

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SITE DEVELOPMENT PLANS
FOR
MAY RIVER MONTESSORI
BLUFFTON, SOUTH CAROLINA

DATE: DEC. 21, 2022
PROJECT NO.: 21235.01
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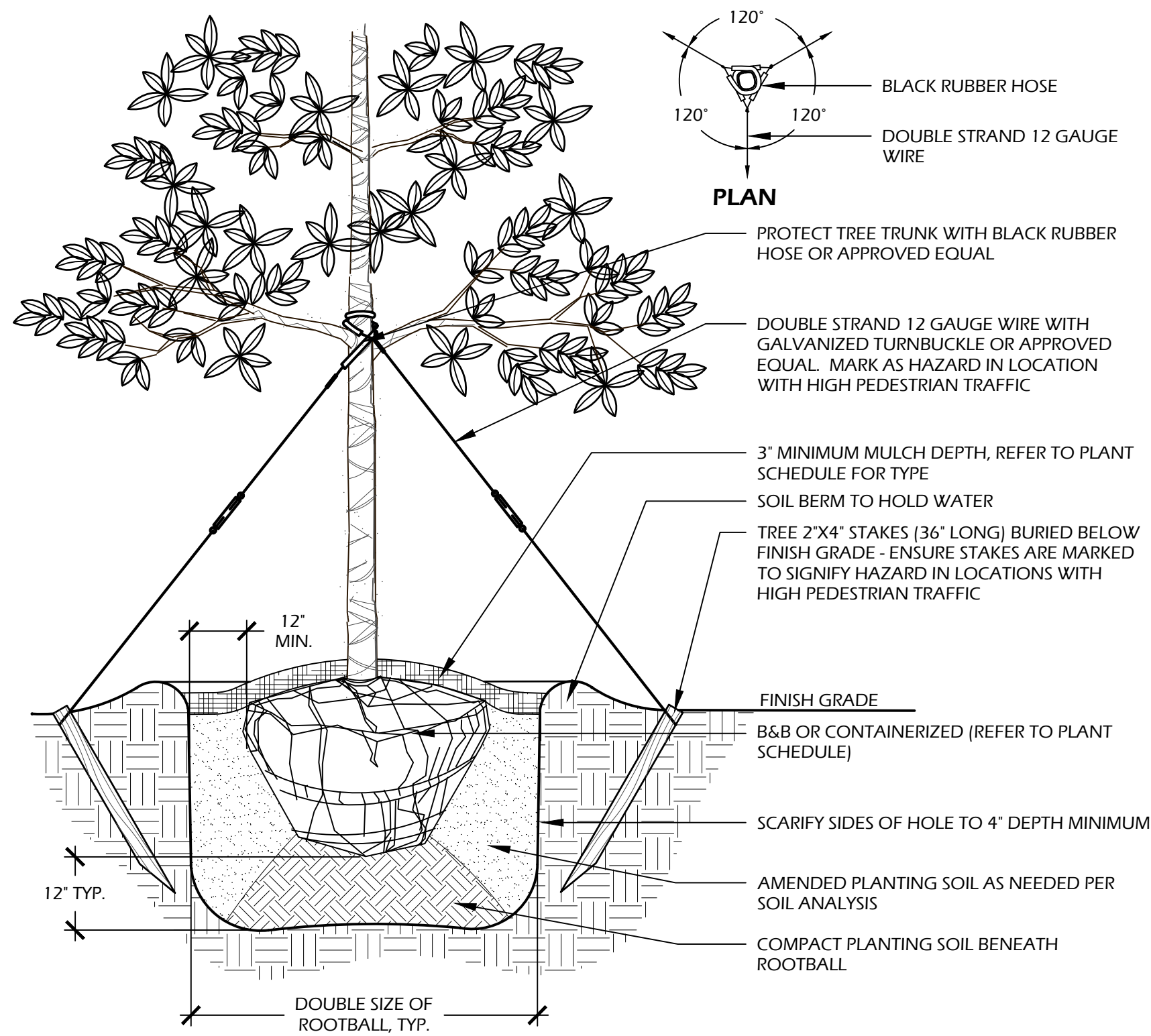
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PLANTING PLAN

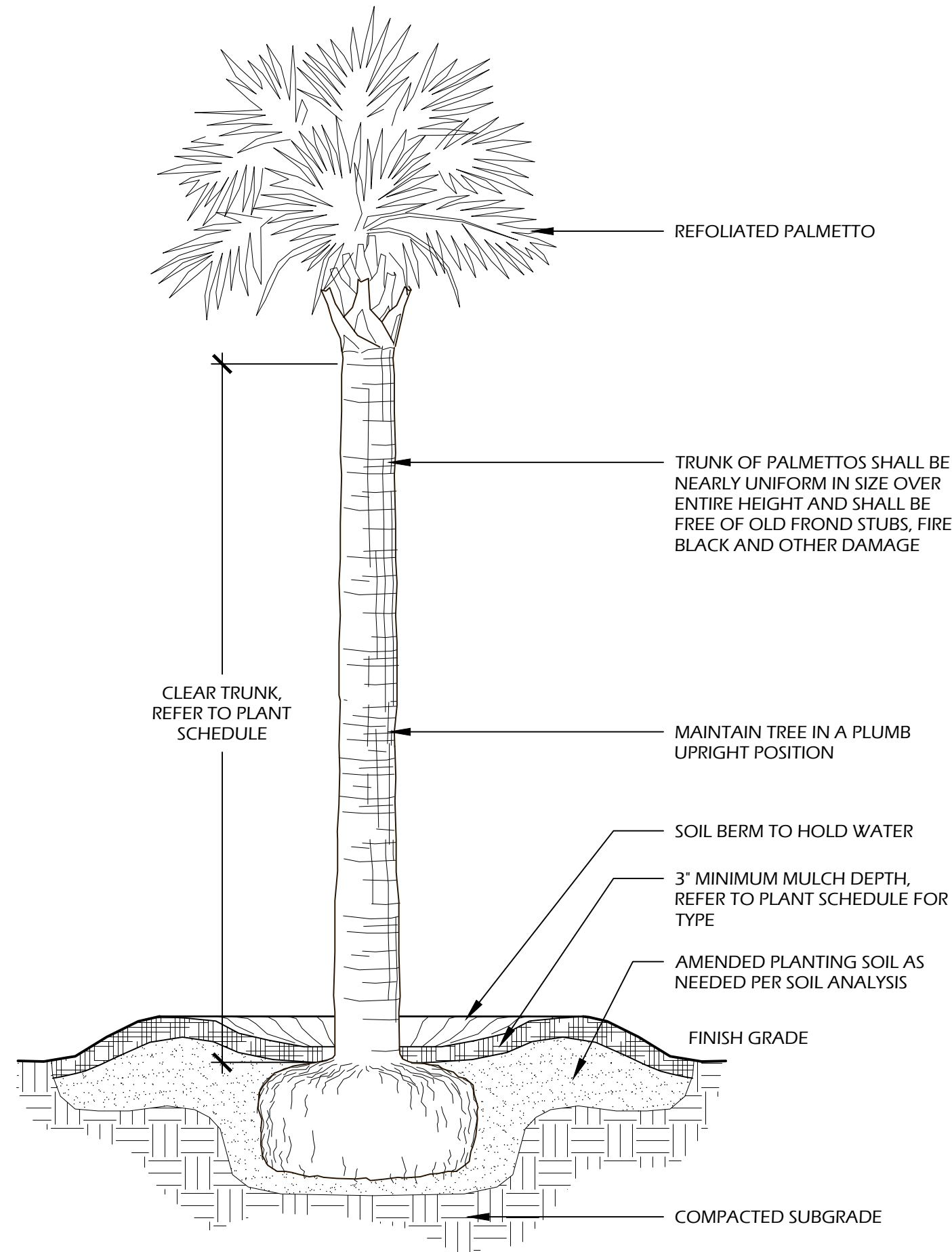
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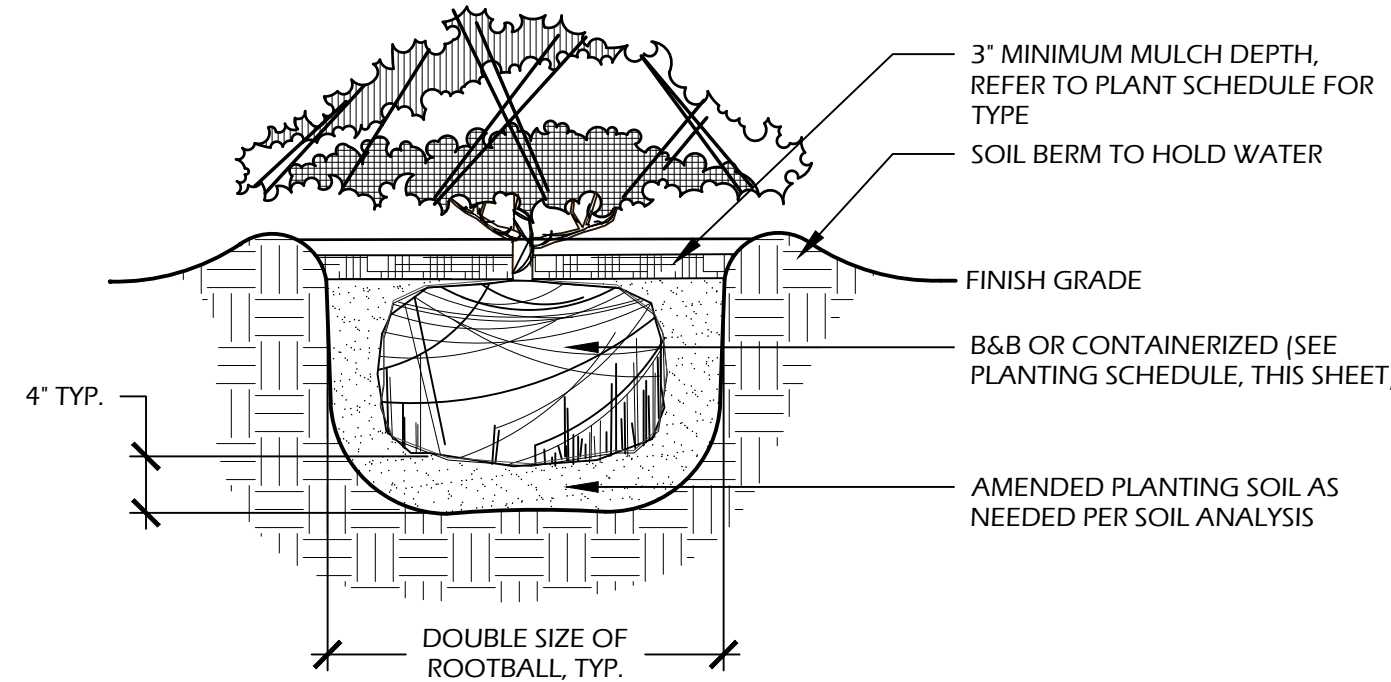
- NOTES:**
- TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNERS REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L300 TREE PLANTING
SCALE: N.T.S.



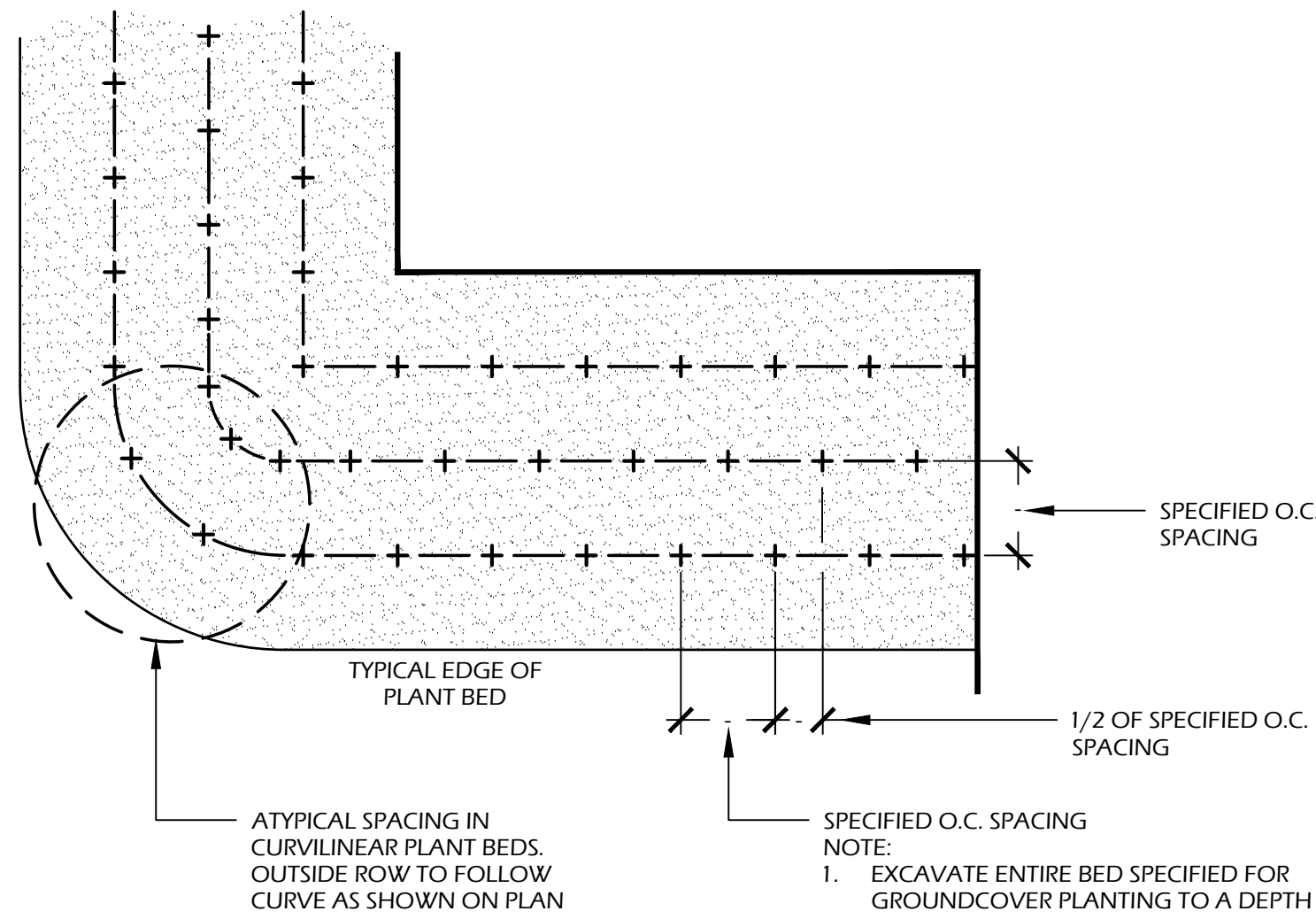
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L300 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE ±2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

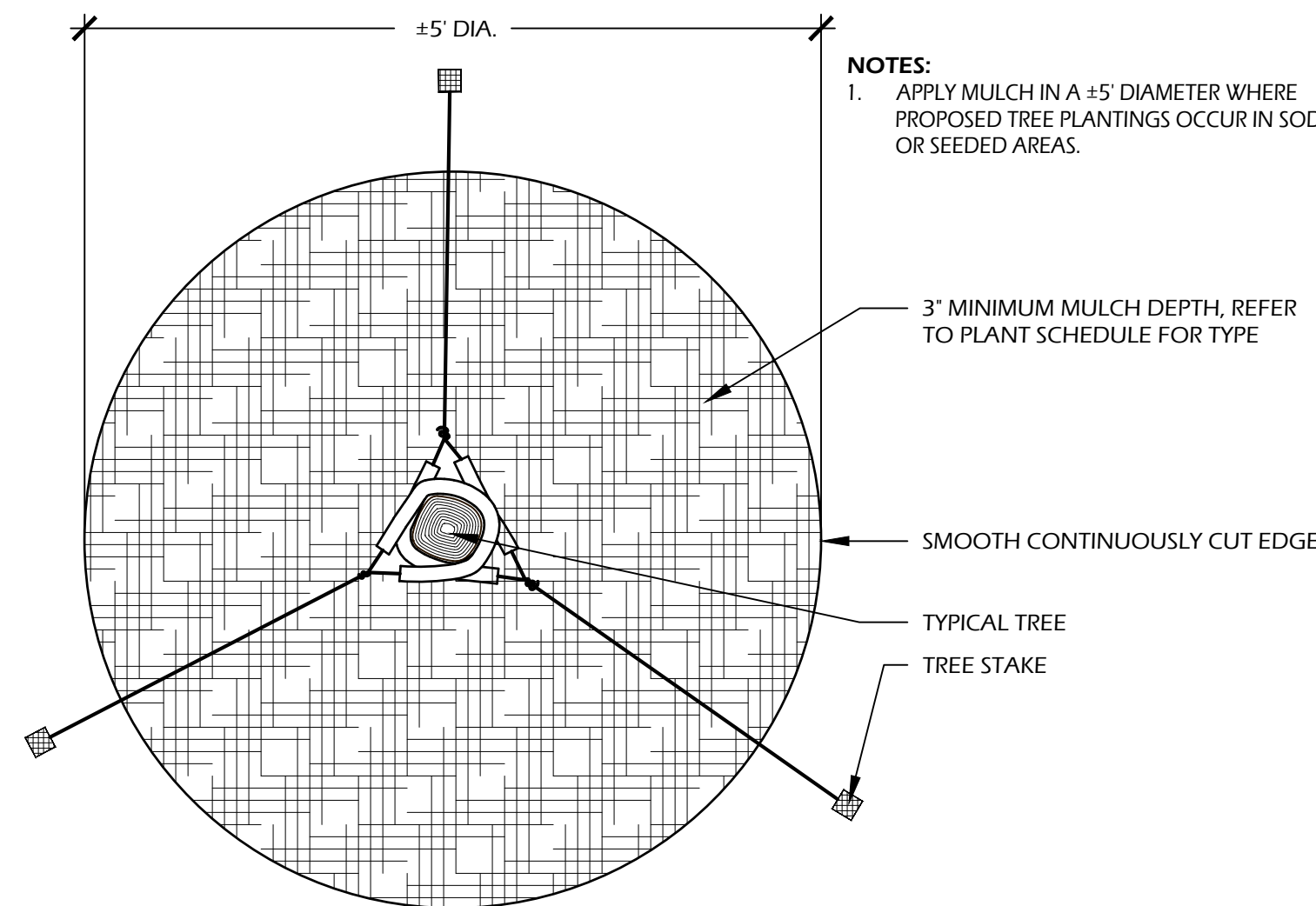
3 // L300 SHRUB PLANTING
SCALE: N.T.S.



4 // L300 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
7	QJEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
SHRUBS								
14	AZAF	Azalea indica 'Formosa'	Formosa Azalea	30'-36"	24'-30"	7 gal.	-	Full
17	BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	12'-18"	12'-18"	7 gal.	-	Full
4	CAMJ	Camellia japonica	Japanese Camellia	3'-4'	2'-3'	15 gal.	-	Full
5	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
8	DISB	Distylium 'Blue Cascade' (PIDIST# PP24409)	Blue Cascade Distylium	24'-30"	24'-30"	7 gal.	-	Full
32	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18'-24"	18'-24"	7 gal.	-	Full
5	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
34	PODM	Podocarpus macrophyllus	Podocarpus	36'-42"	24'-30"	15 gal.	-	Full
14	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
11	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
9	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
120	THEK	Thelypteris kunthii	Southern Shield Fern	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
60	DIIV	Dianella tasmanica 'Variegata'	Variegated Flax Lily	12'-18"	12'-18"	1 gal.	24" O.C.	Full
40	DIEI	Dietes iridioides	White African Iris	12'-18"	8'-12"	1 gal.	24" O.C.	Full
SOD & MULCH								
1,400	SODSF	-	Artificial Turf	-	-	-	-	-
3,500	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-
-	IRRIGATION	Irrigate Plant beds and sod	-	-	-	-	-	-



5 // L300 TREE STAKING
SCALE: N.T.S.

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FOR
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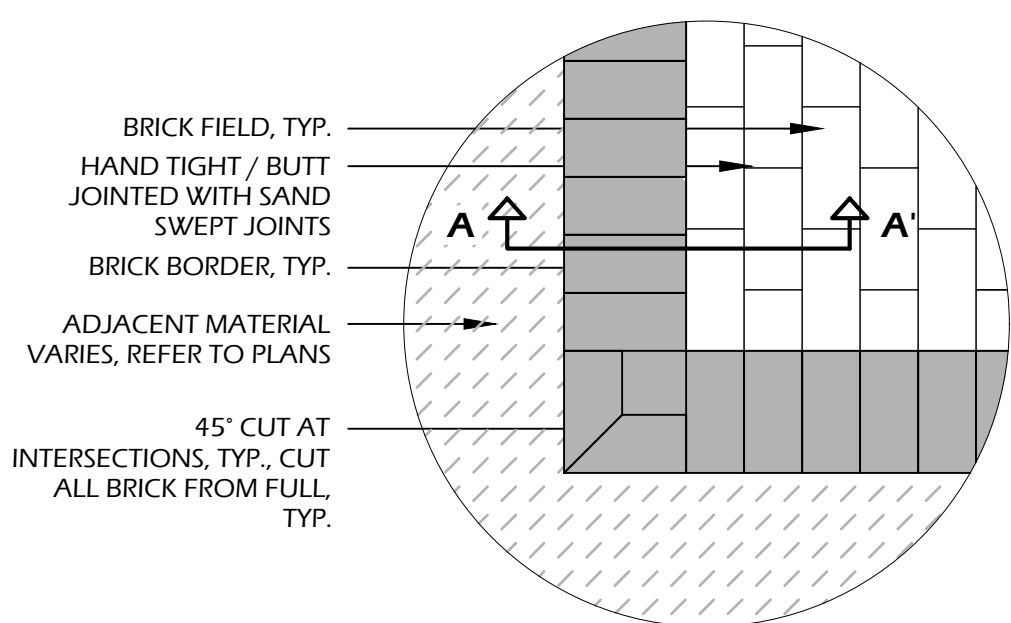
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**PLANT SCHEDULE AND
DETAILS**

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BRICK MANUFACTURER INFORMATION:

MANUFACTURER: TO MATCH ARCHITECTURE

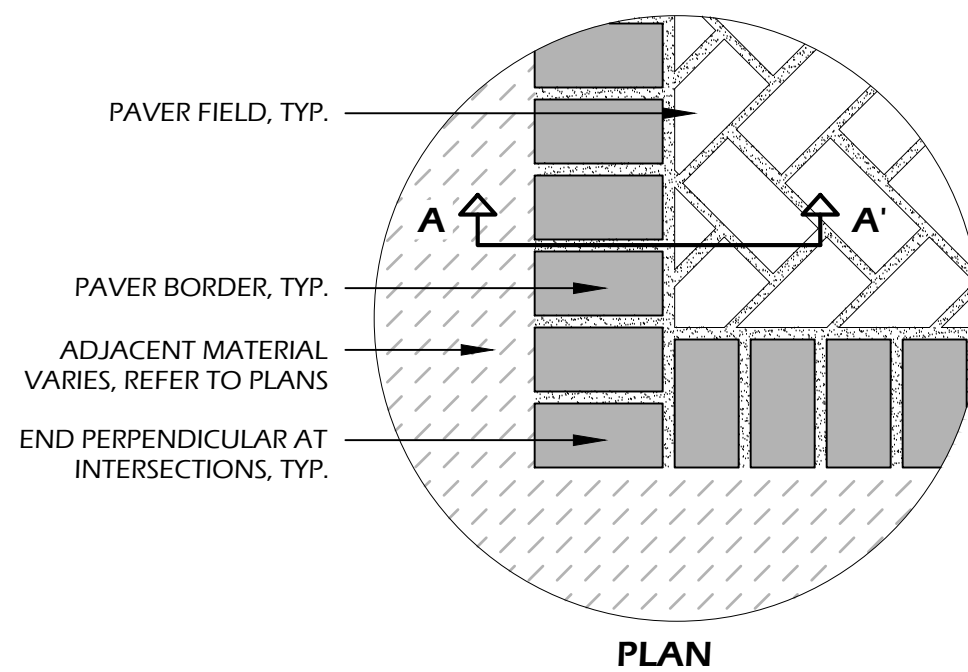
BRICK: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: RUNNING BOND FIELD (REFER TO PLAN, SHEET L2, FOR DIRECTION) WITH SINGLE HEADER COURSE BORDER
JOINTS: HAND TIGHT / BUTT JOINTED, SAND SWEEP

OTHER INFORMATION:

CONCRETE: 3,000 P.S.I. AT 28 DAYS
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR

NOTES:

1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN (SHEET L100) FOR WIDTHS OF DRIVE AND LOCATION OF BRICK BORDERS.
3. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
5. DECORATIVE PAVING PATTERN BY OTHERS.



NOTES:

1. CONTRACTOR SHALL OBTAIN MANUFACTURER'S SPECIFICATIONS TO ENSURE PROPER LOADS, COURSE DEPTHS AND INSTALLATION FOR PEDESTRIAN USE.
2. #2 STONE SUBBASE VARIES WITH DESIGN, CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVING MANUAL.
3. CONTRACTOR SHALL INSTALL EDGE RESTRAINT WHERE PAVERS BORDER PLANTING / SOD / MULCHED AREAS, REFER TO PLANS FOR LOCATION.
4. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
5. REFER TO PLAN (SHEET L100) FOR LOCATION OF BORDERS.
6. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
7. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

PAVER MANUFACTURER INFORMATION:

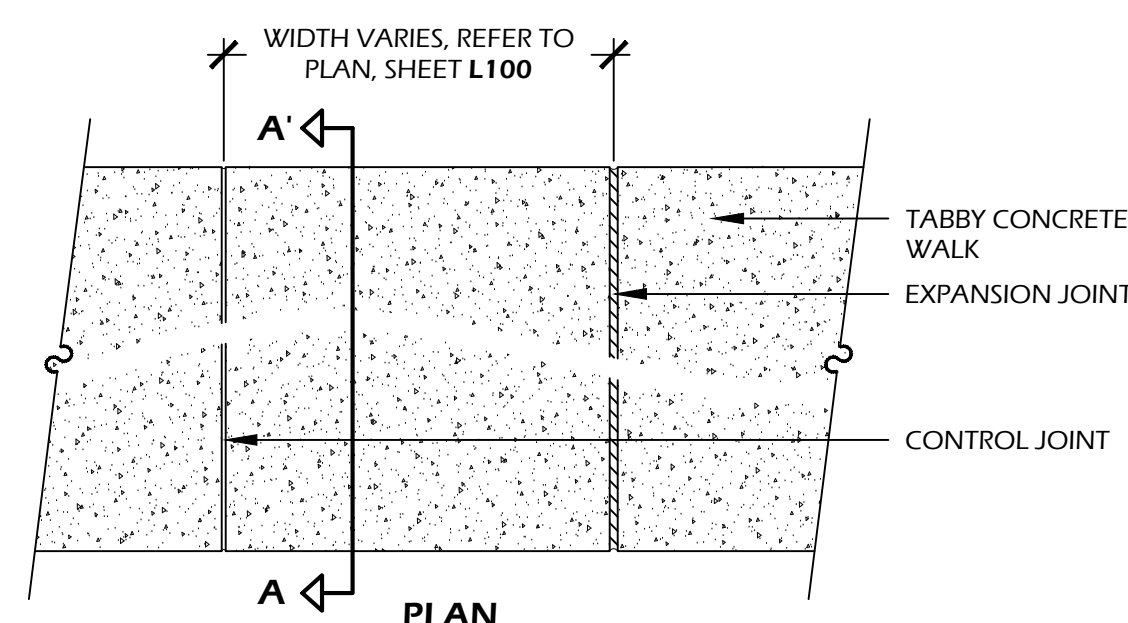
LOWCOUNTRY PAVER
535 STINEY ROAD
HARDEEVILLE, SC 29927
PHONE: (866) 468.3561
WEB: WWW.LCPAVER.COM

PAVER: HYDRASHED, 2-3/8" THICK
COLOR: TO MATCH EXISTING ON SITE
PATTERN: RUNNING BOND FIELD (REFER TO PLAN, SHEET L100, FOR DIRECTION) WITH SINGLE HEADER COURSE BORDER

JOINTS: TYP. #8 AGGREGATE IN OPENINGS
BEDDING COURSE: TYP. #8 AGGREGATE
OPEN GRATED BASE: #57 STONE
SUBBASE: #2 STONE

GEOTEXTILE INFORMATION:

GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL



CONCRETE INFORMATION:

CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

SOIL INFORMATION:

SOIL COMPACTION: 95% STANDARD PROCTOR

TABBY SPEC:

1. SHELL FINISH SHALL BE OYSTER SHELL MIX (EQUAL PARTS, SIZE #2, AND #3) HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
2. HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.

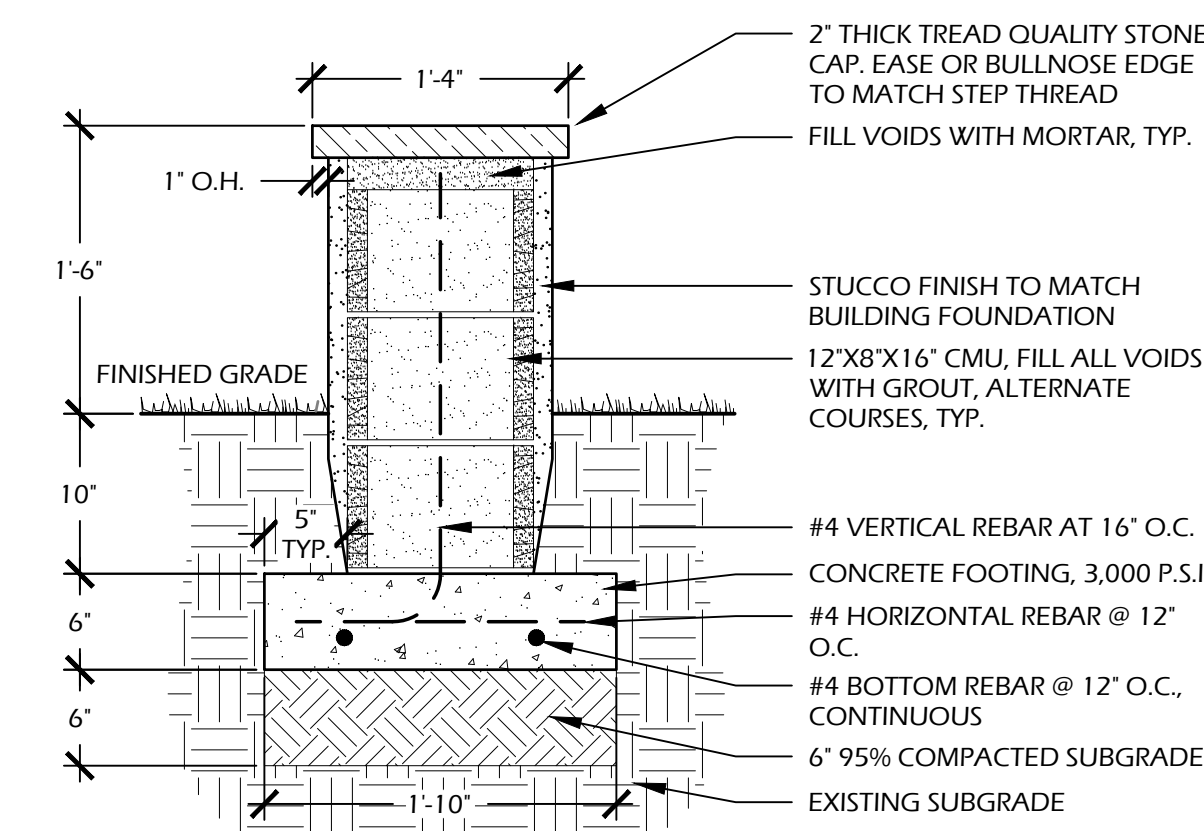
NOTES:

1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN (SHEET L100) FOR WIDTHS OF WALK.
3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

1 // L400 BRICK PAVER WALK
SCALE: 1" = 1'-0"

2 // L400 PERMEABLE PAVER WALK
SCALE: 1" = 1'-0"

3 // L400 TABBY CONCRETE WALK
SCALE: 1" = 1'-0"



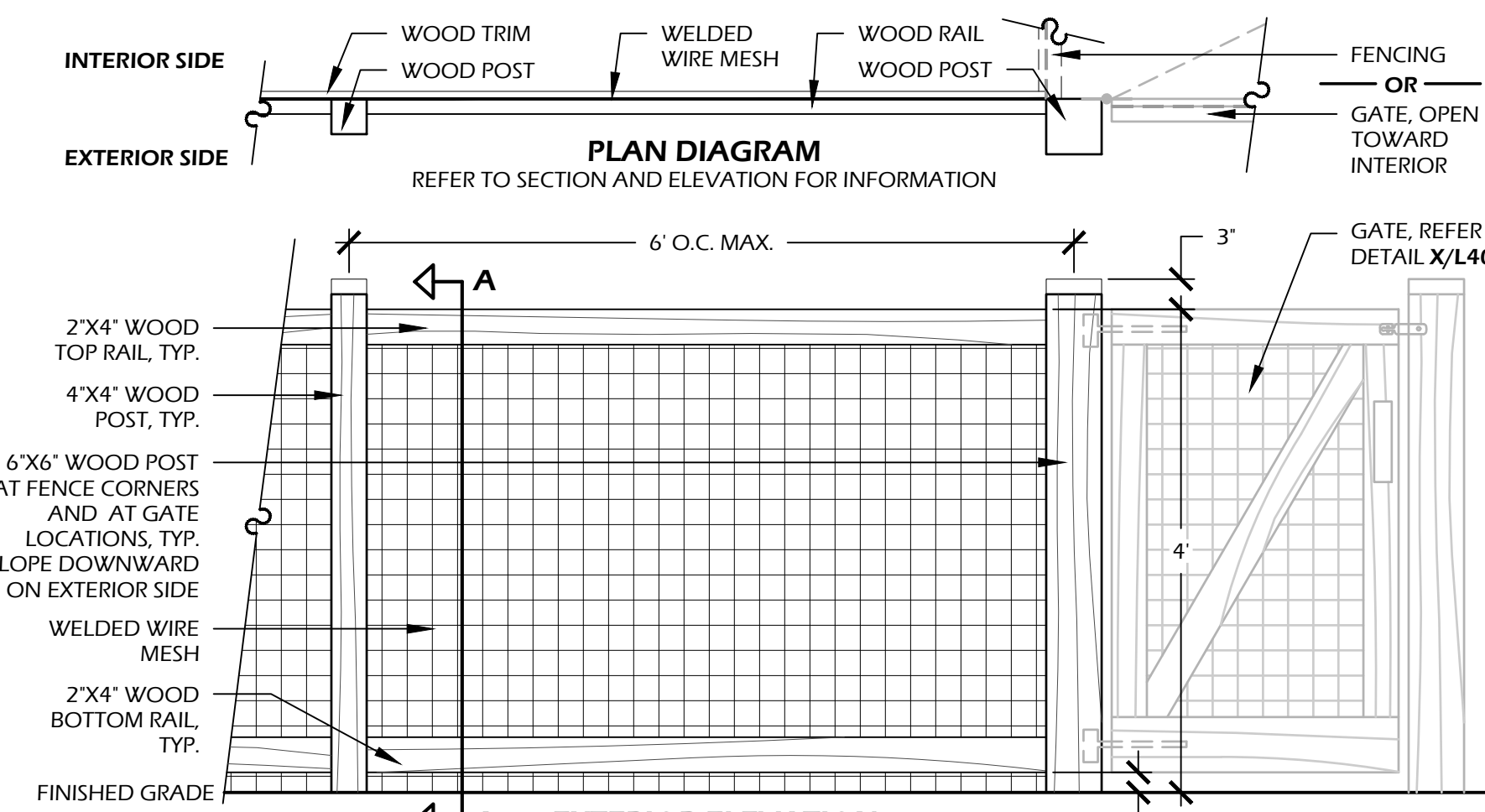
STONE MANUFACTURER INFORMATION:

MANUFACTURER: TO MATCH ARCHITECTURE

STONE: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: SINGLE COURSE BORDER
JOINTS: MORTAR JOINTS TO MATCH ARCHITECTURE

NOTES:

1. REFER TO LAYOUT PLAN (SHEET L100) FOR OVERALL DIMENSIONS OF SEAT WALL.



MATERIAL SPECIFICATION:

WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED CHARLESTON GREEN

WELDED WIRE MESH: 14 GAUGE, 2'X2' GRID
MESH COLOR: PAINTED CHARLESTON GREEN

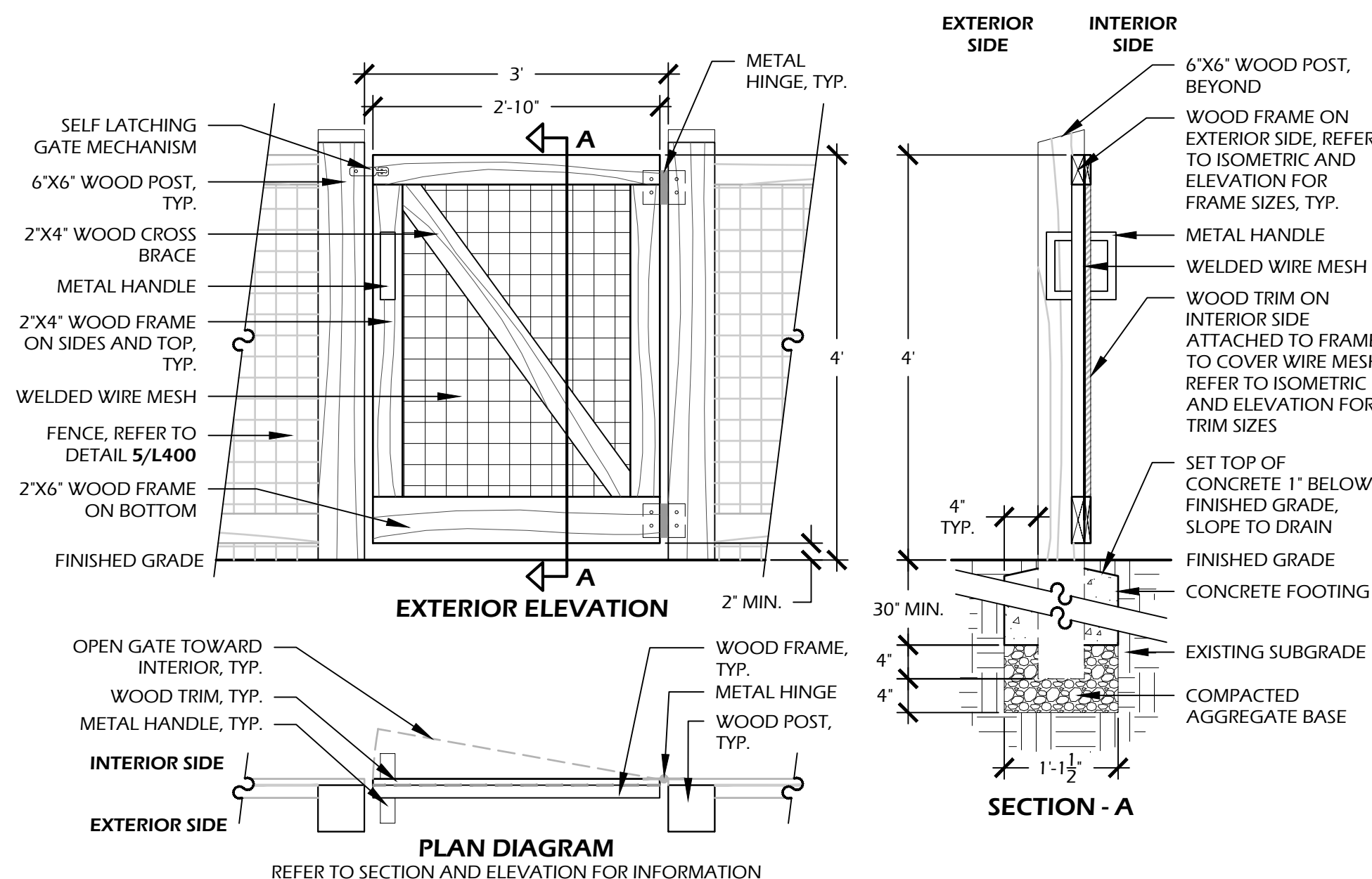
CONCRETE: 3,000 P.S.I. @ 28 DAYS

NOTES:

1. REFER TO PLANS FOR GATE / CORNER LOCATIONS.
2. SLOPE ALL WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
3. WELDED WIRE MESH SHALL RUN CONTINUOUS ON INTERIOR SIDE OF FENCE. SEAMS, IF ANY SHALL BE COVERED BY WOOD TRIM PER DETAIL.
4. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
5. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.

4 // L400 SEAT WALL
SCALE: 1" = 1'-0"

5 // L400 FENCE
SCALE: 3/4" = 1'-0"



MATERIAL SPECIFICATION:

WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED CHARLESTON GREEN
WELDED WIRE MESH: 14 GAUGE, 2'X2' GRID
MESH COLOR: PAINTED CHARLESTON GREEN

CONCRETE: 3,000 P.S.I. @ 28 DAYS

LATCH AND HINGE INFORMATION:

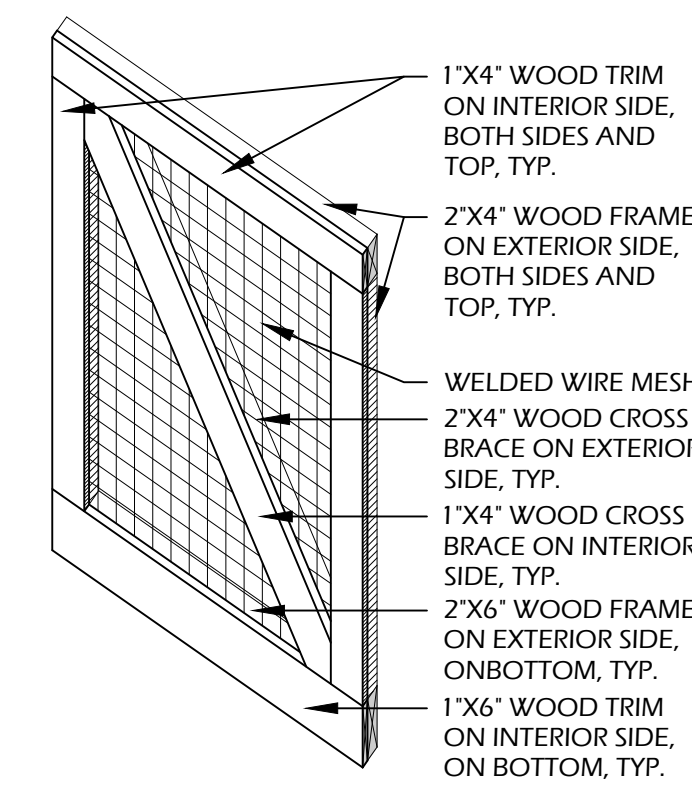
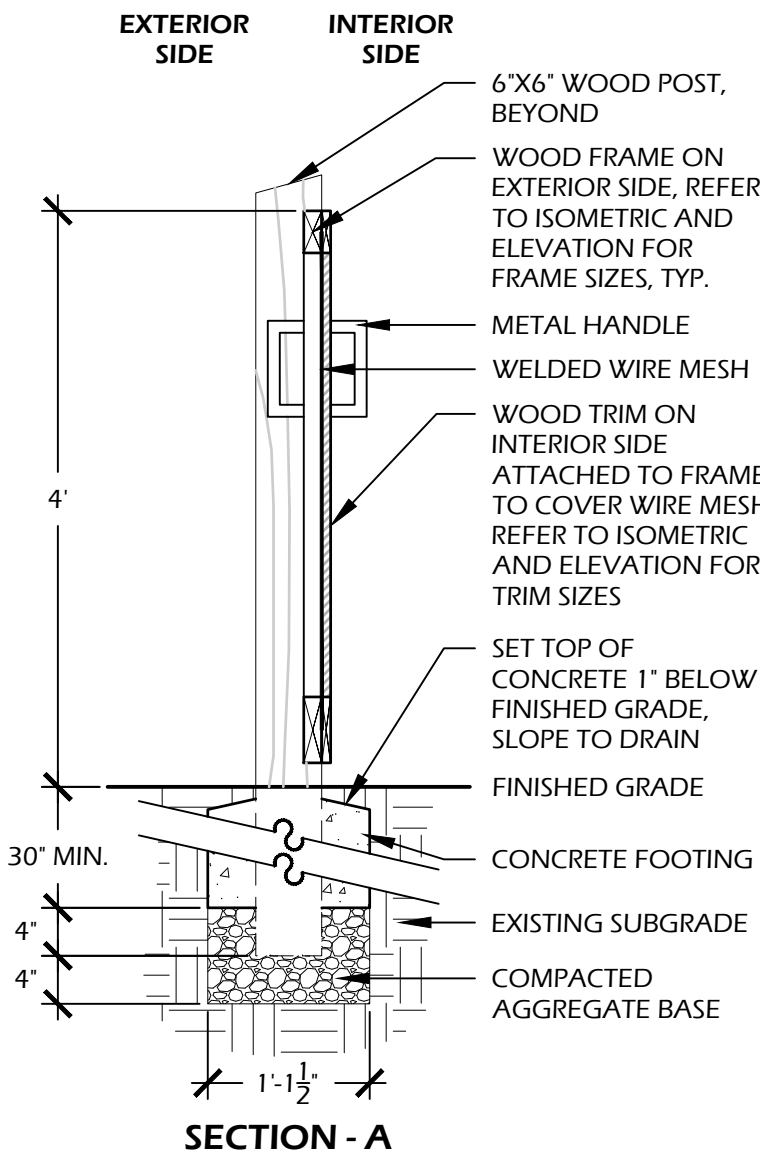
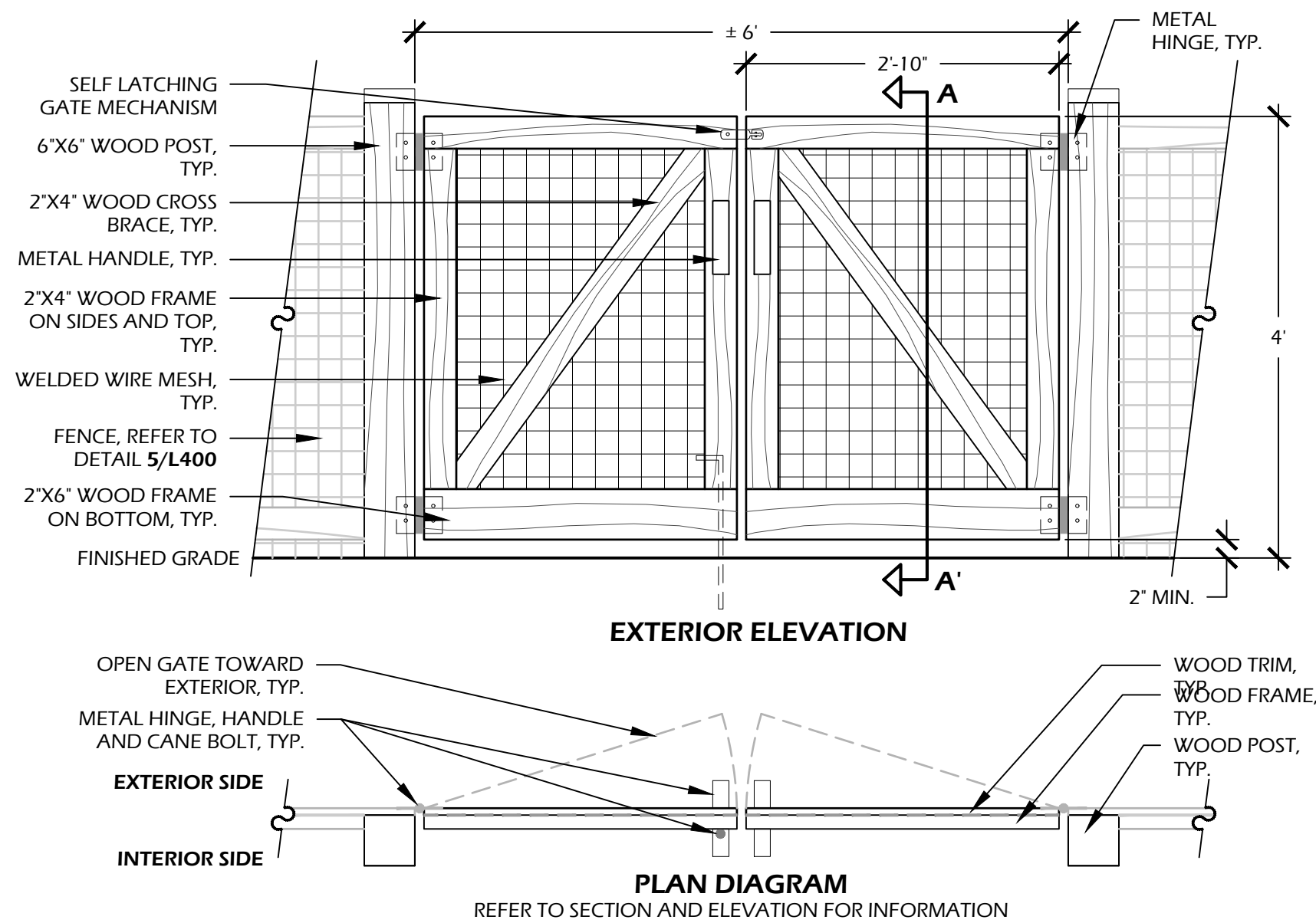
LATCH: (METAL) SELF LATCHING, BLACK IN COLOR, MODEL BY OWNER, MOUNT ON INTERIOR SIDE OF FENCE
HINGE: (METAL) BLACK IN COLOR, MODEL BY OWNER, MOUNT ON INTERIOR SIDE OF FENCE / GATE
HANDLE: (METAL), BLACK IN COLOR, MODEL BY OWNER, MOUNT ON BOTH SIDES OF GATE

ISOMETRIC DIAGRAM
N.T.S.

NOTES:

1. REFER TO PLANS FOR GATE LOCATIONS.
2. SLOPE WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
3. CONTRACTOR SHALL PROVIDE SAMPLES OF LATCH, HINGE AND HANDLE FOR APPROVAL BY OWNER PRIOR TO ORDERING.
4. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL CONFIRM GATE OPENING AND HINGE ATTACHMENTS TO WOOD POST PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND / OR LANDSCAPE ARCHITECT.
6. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.

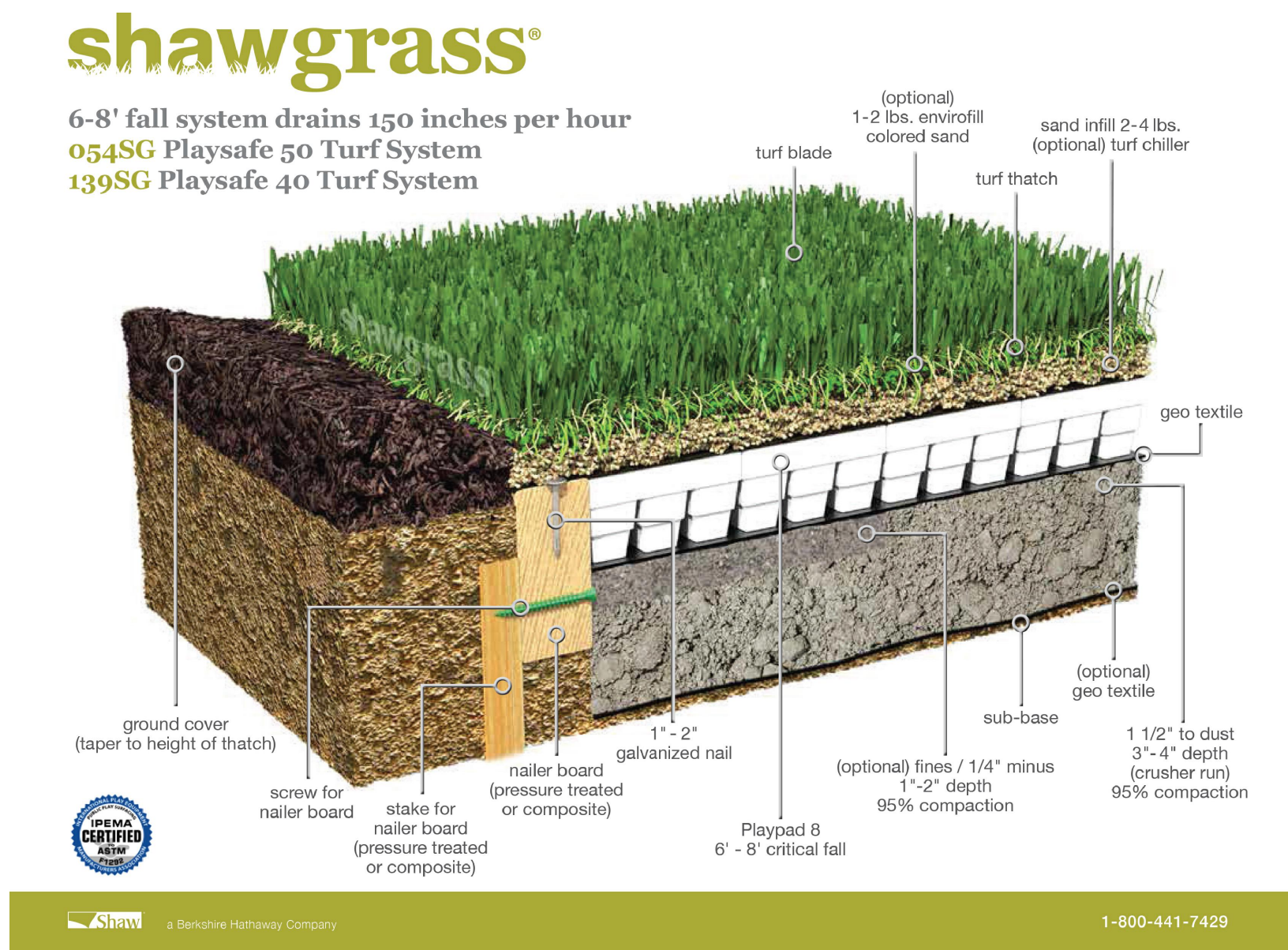
6 // L400 SINGLE GATE
SCALE: 3/4" = 1'-0"



- NOTES:**
1. REFER TO PLANS FOR GATE LOCATIONS.
 2. SLOPE WOOD POSTS DOWNWARD ON EXTERIOR SIDE TO DRAIN.
 3. CONTRACTOR SHALL PROVIDE SAMPLES OF LATCH, HINGE AND HANDLE FOR APPROVAL BY OWNER PRIOR TO ORDERING.
 4. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
 5. CONTRACTOR SHALL CONFIRM GATE OPENING AND HINGE ATTACHMENTS TO WOOD POST PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND / OR LANDSCAPE ARCHITECT.
 6. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.

MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED CHARLESTON GREEN
WELDED WIRE MESH: 14 GAUGE, 2'X2' GRID
MESH COLOR: PAINTED CHARLESTON GREEN
CONCRETE: 3,000 P.S.I. @ 28 DAYS

LATCH AND HINGE INFORMATION:
LATCH: (METAL) SELF LATCHING, BLACK IN COLOR, MODEL BY OWNER, MOUNT ON INTERIOR SIDE OF FENCE
HINGE: (METAL) BLACK IN COLOR, MODEL BY OWNER, MOUNT ON INTERIOR SIDE OF FENCE / GATE
HANDLE: (METAL), BLACK IN COLOR, MODEL BY OWNER, MOUNT ON BOTH SIDES OF GATE
CANE BOLT: (METAL), BLACK IN COLOR, BY OWNER, MOUNT ON INTERIOR SIDE OF GATE



SITE DEVELOPMENT PLANS
FOR
MAY RIVER MONTESSORI
BLUFFTON, SOUTH CAROLINA

DATE:	DEC. 21, 2022
PROJECT NO.:	21235.01
DRAWN BY:	MC / AK
CHECKED BY:	DK

PROGRESS PLAN,
NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS- 02

DRAWING NUMBER
L401

© 2022 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

Wimmer Jones-Heefer Ltd. landscape architecture land planning
www.wjkltd.com
28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.787.7777

Section X, Item R2.

ATTACHMENT 7



PLAN REVIEW COMMENTS FOR COFA-11-21-016057

Section X. Item #2.

Town of Bluffton

Department of Growth Management

20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910

Telephone 843-706-4522

OLD TOWN

Plan Type: Historic District **Apply Date:** 11/04/2021

Plan Status: Active **Plan Address:** 58 Calhoun St
BLUFFTON, SC 29910

Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0123 0000

Plan Description: A request by Court Atkins Architects, Inc., on behalf of the owner, May River Montessori, for review of a Certificate of Appropriateness- HD to allow the construction of a new 2-story building of approximately 5,800 SF located at 58 Calhoun Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD.
STATUS [11/5/2021]: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the December 6, 2021 meeting.

Staff Review (HD)

Submission #: 1 Recieved: 11/04/2021 Completed: 12/03/2021

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	12/01/2021	James Clardy	Revisions Required

Comments:

1. Pending formal submittal / approval of water and sewer.

Growth Management Dept Review (HD)	12/03/2021	Katie Peterson	Revisions Required
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Comments:

1. As the scope of work proposed in the application constitutes development, a Development Plan is required prior to final submittal. (UDO 3.10 & Application's Manual)

2. The front setback is shown on the site plan as 6'. The structure has characteristics of the Main Street building, however it exceeds the maximum footprint for a Main Street Building within the Neighborhood Center-HD zoning District. As such, it is reviewed as an Additional Building Type, which within the Neighborhood Center- HD zoning district have a front build-to requirement of 10'- 25'. Revise the site plan to meet the minimum front setback. (UDO 5.15.5.B.)

3. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). The columns on the second floor of the west elevation are spaced 9'6" and 10' apart and 9' in height. Reconfigure column spacing to be spaced no further apart than they are tall. (UDO 5.15.6.H.)

4. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, shutters and shutter dog, a section through the eave, material details and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. (Applications Manual)

5. The purpose of the Old Town Bluffton Historic District is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, and/ or architecturally-worthy structures and areas of the Town; and to maintain such structures as visible reminders of the history and cultural heritage of the Town. Building heights and widths shall be visually similar to those in the neighboring vicinity.

The proposed structure is located on the parcel next to two contributing structures (Peeple's Barn and Peeple's Store). The Barn is a 1 story structure; the Store, which will be more visually impacted by the new construction, is a 1.5 story structure much smaller in scale. Provide a study of the street scape to clarify the impact of the proposed structure which is 34.5' in height. (UDO 5.15.1. and 5.15.5.F.1.a.)

HPRC Review	12/03/2021	Katie Peterson	Revisions Required
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Comments:

ATTACHMENT 7

1. Rooflines shall be simple, utilizing gables, hips, and sheds, or combinations of these basic forms. Roofs shall correspond to the major massing of the building; roof forms that overwhelm the mass of the primary building form and complicated avoided. The roof appears overly complicated with a lot of different of pitches. Simplify the roof lines. (UDO 5.15.5.F.4)
2. Building elements and the spaces between them shall be organized into a logical sequential manner. Horizontal rhythm should be established by the organization of the building facade into horizontal bands which provides human scale and proportion to the facade. Vertical rhythms should be established in the façade through alignment of windows, openings, pilasters, and columns. The building seems complicated with many different elements which do not have consistent rhythm. Revise the elements to be more sequential. (UDO 5.15.5.F.4)
3. Provide additional information on the fence along the back of the patio. As not enough information was provided to complete the review. Note: It will be prominent and you will see it in front of Middle School Porch.
4. Provide additional information on the hardscape transition to Calhoun Street. Specifically near the large patio space adjacent to Marketing building. Will existing two rail fence remain? There will be a lot of fences and types.

Section X. Item #2.

Transportation Department Review 11/30/2021 Constance Clarkson Revisions Required
- HD

Comments:

1. TOB/CIP will need a permanent drainage easement over the existing ditch located in the Green Street ROW to allow for the potential to improve drainage in the Future with the Calhoun Street Streetscape project (FY 24+/-)
2. One of the primary goals for the Calhoun Street Streetscape project would be to widen the existing sidewalks from the existing 4.5' to a proposed 6' width. This would likely require a +/- 2' permanent easement along the Calhoun Street frontage to accommodate the expanded sidewalks and street lighting. CIP would like the applicant to be aware of this future TOB/CIP request and would like to see the site plan prepared to accommodate the possibility of an expanded sidewalk along Calhoun Street. Further questions, please contact Pat Rooney (prooney@townofbluffton.com)

Watershed Management Review 11/30/2021 Lidia Delhomme Revisions Required

Comments:

1. It appears an existing ditch is proposed to be piped. Provide clarification. If the ditch is to be piped, the proposed pipe should be 24" at a minimum to correspond with existing pipes at Str2 and Str3. If not, it is required to meet the ultimate development conditions.
2. This project involves the creation and/or replacement of more than 5,000 square feet of impervious surface. A Stormwater Management Plan abiding by the current Stormwater Ordinances and Design Manual is required. (UDO 5.10.1.C)
3. Provide permanent drainage easements required for pipe or ditch. (SWDM 3.7.3)

Addressing Review 12/01/2021 Nick Walton Approved

Comments:

1. No comment.

Plan Review Case Notes: