

Historic Preservation Commission Meeting

Wednesday, November 05, 2025 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on <u>BCTV</u>, on Sparklight Channel 9 and 113 or on Spectrum Channel 1304.

- I. CALL TO ORDER
- II. ROLL CALL
- III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

- IV. ADOPTION OF MINUTES
 - 1. October 10, 2025 Minutes
- V. PUBLIC COMMENT
- VI. OLD BUSINESS
- **VII. NEW BUSINESS**
 - 54 Stock Farm Road: A request by Amanda Denmark (Pearce Scott Architects), Applicant, on behalf of Erik and Paige Blechinger, Owners, for approval of a Certificate of Appropriateness-Historic District, to allow construction of a 1.5-story Main Residence (an Additional Building Type) of approximately 3,008 SF and a 1-story detached Carriage House of approximately 602 SF located at 54 Stock Farm Road. The property is in Old Town Historic District and zoned Neighborhood Conservation-Historic District (NCV-HD). (COFA-04-25-019626) (Staff Charlotte Moore)
 - 2. 36 Wharf Street: A request by Jamie Guscio (Kingfisher Construction), Applicant, on behalf of Kathy Barbina and Tim Harris, Owners, for approval of an amended Certificate of Appropriateness-HD to allow the construction of a new 2-story Carriage House of 1200 square feet. The property is in Old Town Bluffton Historic District, and zoned Neighborhood General-HD (NG-HD). (COFA-03-25-019657)(Staff Charlotte Moore)

- 3. Adoption of 2026 Historic Preservation Commission Meeting Dates: (Staff Charlotte Moore)
- Adoption of 2026 Historic Preservation Review Committee Meeting Dates: (Staff Charlotte Moore)

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, December 3, 2025

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

October 01, 2025

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin

Vice Chairman Joe DePauw

Commissioner Carletha Frazier

Commissioner Jim Hess

Commissioner Tim Probst

Commissioner Lisa Sulka

ABSENT

Commissioner Debbie Wunder

III. ADOPTION OF MINUTES

1. September 3, 2025 Minutes

Commissioner Sulka made a motion to adopt the minutes as written.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Sulka

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

1. 36 Wharf Street: A request by Jamie Guscio (Kingfisher Construction), Applicant, on behalf of Kathy Barbina and Tim Harris, Owners, for approval of a Certificate of Appropriateness-HD to allow the construction of a new 2-story Carriage House of 1200 square feet. The property is in Old Town Bluffton Historic District, and zoned Neighborhood General-HD (NG-HD). (COFA-03-25-019657) (Staff - Charlotte Moore)

Staff presented. The applicant was present. The commissioners discussed the column spacing on the front elevation. There was discussion regarding the overhang of the roof on the side of the house. The Commission asked for clarification on the details missing from the submission. There were questions regarding the material being used in the exposed portion of the wall section.

Vice Chairman DePauw made a motion to approve the application with the following conditions:

- 1. Correct the porch foundation and design the porch columns to be no farther apart than they are tall and to not overhang the porch foundation (UDO Sec. 5.15.6.H.). The spacing of the columns is to be modified by doubling the columns in the center of the bay, and by moving the outside columns inward. Window and doors are to be recentered in the bays.
- 2. Provide a door and window schedule on the plans.
- 3. Show that a minimum of 75% tree canopy coverage at maturity will be provided for the entire lot, not to include roofs (UDO Sec.5.3.3.G.1.).
- 4. Provide details for the porch, eave, beam, foundation, service yard, stair and railings to show compliance with the UDO.
- 5. Show the lower bearing of the main roof.

Seconded by Commissioner Sulka.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Sulka

All were in favor and the motion passed.

VI. NEW BUSINESS

5 Lawton Street: A request by Ansley Manuel (Manuel Studio), Applicant, on behalf James W. Jeffcoat Revocable Trust (Owner), for approval of a Certificate of Appropriateness-Historic District to allow construction of a detached Carriage House of approximately 1,180 SF located at 5 Lawton Street. The property is located in the Old Town Historic District and is zoned Neighborhood Center-Historic District (NC-HD). (COFA-09-25-019856)(Staff - Charlotte Moore)

Staff presented. The applicant was present. The Commission asked for the height of main building to compare to the carriage house structure. They asked for clarification on the difference in design details between the existing structure and the proposed. There was discussion regarding the window spacing on the east elevation.

Commissioner Sulka made a motion to approve the application with the following conditions and determinations:

- 1. A Site-Feature-HD permit will be required for future signage (UDO Sec. 3.19 and Sec. 5.15.6.Q.)
- 2. Change the lap siding to board and batten for better consistency with the main structure.
- 3. The cove moulding with PVC material is an acceptable alternative material.
- 4. The windows in the east elevation are appropriate as proposed.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Sulka

All were in favor and the motion passed.

VII. DISCUSSION

October 01, 2025

1. Historic District Monthly Update. (Staff)

Staff presented. The Commission did not have any questions about the report submitted

VIII. ADJOURNMENT

Commissioner Sulka made a motion to adjourn.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Sulka

All were in favor and the motion passed. The meeting adjourned at 6:55 pm.



HISTORIC PRESERVATION COMMISSION



STAFF REPORT

Department of Growth Management

MEETING DATE:	November 5, 2025
PROJECT:	COFA-04-25-019723 54 Stock Farm Road New Construction: Single-Family and Carriage House
APPLICANT:	Amanda Denmark (Pearce Scott Architects)
PROPERTY OWNERS:	Erik and Paige Belchinger
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Amanda Denmark, on behalf of owners, Erik and Paige Belchinger, requests that the Historic Preservation Commission approve the following application:

A Certificate of Appropriateness to allow the construction of a 1.5-story Main Residence (an Additional Building Type) of approximately 3,008 heated SF and a 1.5-story detached Carriage House of approximately 602 SF located at 54 Stock Farm Road in Old Town Historic District and zoned Neighborhood Conservation-Historic District (NCV-HD).

INTRODUCTION: The subject property, 0.85 acres, is located on Stock Farm Road outside of the boundaries of the Stock Farm development. The property is undeveloped except for a tabby shell chimney remnant (± 4'-2" x 9'-8"), which is identified as an historic resource on the South Carolina Statewide Survey of Historic Properties. The chimney will remain intact in the rear yard of the proposed house.

The property was previously addressed as 45 Verdier Cove Road but was readdressed to 54 Stock Farm Road earlier this year as vehicular access to the property will be via Stock Farm Road. In the southeast corner of the property, as shown in the survey (Attachment 4), the current roadway encroaches onto the property. Per the survey notation, the road configuration will remain for the foreseeable future, and the property owners will maintain it until such time as the land is conveyed.

The primary structure, a 1.5 story (±30'-4" tall) single-family residence of approximately 3,008 square feet, is an Additional Building Type as it does not have full characteristics of any one of the allowed building types within the NCV-HD district. The development setbacks are met, including the front build-to line.

The home will be constructed on a raised tabby shell foundation and features a partial-façade front porch and a near full-façade rear porch on the main mass, two small wings, two brick chimneys, Hardie lap board with 7" exposure and board and batten siding, and a standing seam metal roof with exposed rafter tails. Windows are a combination of double-hung and casement of unspecified clad material. Doors are identified as wood on the application. False vents of unspecified material are proposed in the gable-ends of the main mass and the small right mass. Powder-coated stair rails are proposed for all staircases.

The detached Carriage House will be constructed with the main mass underneath a side-facing gable. A smaller lean-to mass will extend most of the length of the front elevation. In the rear, an unenclosed lean-to with a mid-roof connection is proposed and will be supported by wood columns with tabby bases. The carriage house will include 2-bays on the south elevation and two sets of French doors on the west elevation.

A fence with wood posts and hog wire infill will be constructed in a portion of the yard, connecting to an existing stockade fence in the rear yard along Verdier Road right-of-way.

This project was initially presented to the Historic Preservation Review Committee for Concept Plan review on May 19, 2025.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date

- 1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.
 - a. <u>Finding</u>. The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. <u>Finding</u>. The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House add to the

district and helps provide completeness to the neighborhood and overall district.

2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. Findings. Town Staff finds that if the conditions noted below are met and
 positive determinations made by the HPC, the proposed construction will be in
 conformance with applicable architectural design provisions provided in Article
 5:
 - Service Yards: Waste receptacles are not shown in the service yard. If receptacles are to be stored on the exterior of the main structure or carriage house, the service yard may need to be expanded or second service yard provided that conforms to the requirements of UDO Sec. 5.15.5.F.9. The gate in front of the electric meter must be removed per the instruction of the electric utility.
 - 2) Chimney Cap: The proposed chimney caps are a single course of brick rowlock, which is not a traditional configuration for Old Town Bluffton. While UDO Sec. 5.15.6.B. states that "[c]himney caps provide the opportunity for a wide variety of details," the HPC should determine if the proposed configuration is appropriate.
 - 3) **Columns and Posts:** Identification of the material(s) to be used for all posts and columns must be identified on the plan. The porch detail in Attachment 5 also lacks material information for some related trim pieces (UDO Sec. 5.15.6.H. and UDO Sec. 5.15.6.P.).
 - 4) **Doors:** The Project Analysis sheet indicates that wood will be used for exterior doors, which complies with the UDO. All exterior doors must be labeled on the plan, with operation shown, and match the door material that is to be indicated in the door schedule. Consider changing the four-lite door with panel in the rear of the main structure to match the six-lite doors at the porch and the carriage house.
 - 5) **Vents:** False vents are proposed in most of the gable ends of the main structure but a detail, including vent material, has not been provided and must be identified in the Final Plan.
 - 6) **Railings:** A non-traditional powder-coated aluminum railing is proposed with horizontal balusters for all exterior stairs. The distance between balusters is 3.5" (the UDO requires a minimum of 4" o.c.). The handrail dimension is not provided (the UDO requires a minimum of 2-3/4"). Railings, balusters and

handrails are permitted to be wood (termite resistant), painted or natural wrought iron (UDO Sec. 5.15.6.H.2.d.). A determination of the HPC is required for this alternative railing.

7) **Details:** Some details required of the UDO do not have proposed material identified, which must be shown to shown compliance with applicable UDO Sections, including UDO Sections 5.15.6.N., O. and P.

8) Landscape Plan:

- a. Along the front elevation of the main structure, a foundation planting area at least eight feet wide shall be maintained. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers in order to soften the building façade (UDO Sec. 5.3.3.E.)
- b. A Tree Permit will be required to remove trees that are 14 or more inches in diameter at breast height (UDO Sec. 3.22.2.B.3.).
- 3. Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.

<u>Finding.</u> If the conditions noted in #2 of this report are met, a compatible visual relationship will be demonstrated with surrounding properties, streetscapes and open spaces.

4. Compliance with applicable requirements in the Applications Manual.

<u>Finding.</u> The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. If waste receptacles are to be stored on the exterior of the main structure or carriage house, the service yard may need to be expanded or second service yard provided that conforms to the requirements of UDO Sec. 5.15.5.F.9.

2. Remove the service yard gate in front of the electric meter.

- 3. Identify the material(s) to be used for all posts and columns, as well as all trim pieces in the porch detail to show compliance with UDO Sec. 5.15.6.H. and UDO Sec. 5.15.6.P.
- 4. Provide door operations and label exterior doors to match doors provided in the door schedule; the schedule must also be updated to show door materials (UDO Sec. 5.15.6.I.).
- 5. Provide a vent detail.
- 6. For the details (Sheets A501 and A502), provide applicable missing materials and dimensions, which must be shown to shown compliance with applicable UDO Sections, including UDO Sections 5.15.6.N., O. and P.
- Along the front elevation of the main structure, provide a foundation planting area at least eight feet wide to include a mixture of trees, shrubs, and ground covers (UDO Sec. 5.3.3.E.)
- 8. A Tree Permit will be required to remove trees that are 14 or more inches in diameter at breast height (UDO Sec. 3.22.2.B.3.)

Further, Town Staff requests a determination by the Historic Preservation Commission regarding the appropriateness of the following:

- 1. The proposed chimney caps.
- 2. The proposed railings.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

- 1. Approve the application as submitted by the Applicant;
- 2. Approve the application with conditions; or
- 3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

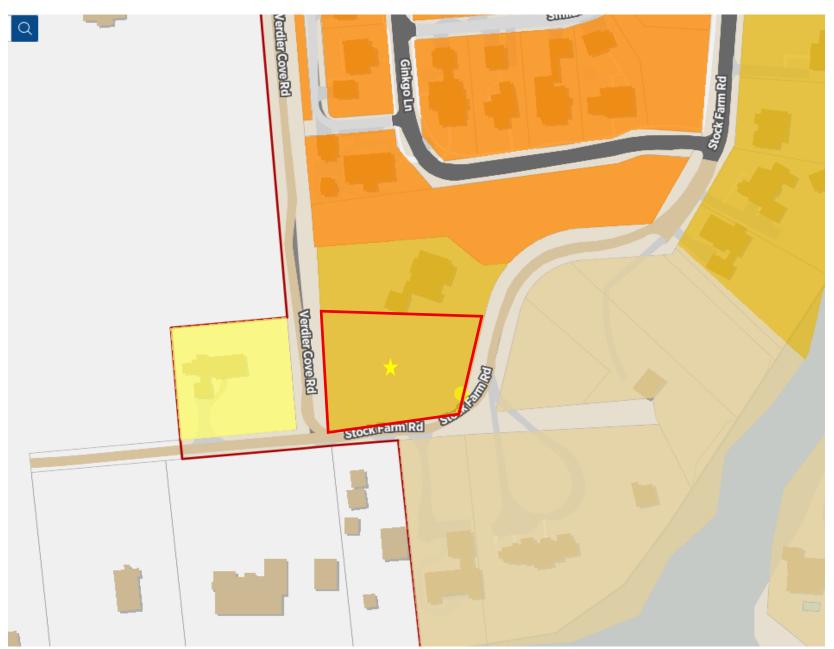
- 1. Location & Zoning Map
- 2. Application
- 3. Narrative
- 4. Survey

- 5. Plans
- 6. Landscape Plan
- 7. HPRC Comments 05.19.2025
- 8. Photos

LOCATION & ZONING MAP

54 Stock Farm Road

Neighborhood Conservation-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESSOLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #1.

Bluffton, SC 29910 (843)706-4500 wnofbluffton.sc.gov

www.townofbluffton.sc.gov applicationfeedback@townofbluffton.com

Applicant	Property Owner				
Name: Pearce Scott Architects	Name: Erik & Paige Blechinger				
Phone: 843.837.5700	Phone: 402.321.6275				
Mailing Address: 6 State of Mind Street, Suite 200 Bluffton, SC 29910	Mailing Address: 5794 Yaupon Road Bluffton, SC 29910				
E-mail: Amanda@pscottarch.com	E-mail: erikblechinger@gmail.com				
Town Business License # (if applicable):					
Project Information (tax map info av	ailable at http://www.townofbluffton.us/map/)				
Project Name: 54 Stock Farm Road	Conceptual: Final: Amendment:				
Project Address: Stock Farm	Application for:				
Zoning District: Neighborhood Conservation - HD	✓ New Construction				
Acreage: 0.85	Renovation/Rehabilitation/Addition				
Tax Map Number(s): R610 039 000 1589 0000 R610 039 000 0324 0000	Relocation				
Project Description: New Single Family Residence	e with Detached Garage				
Minimum Requiren	nents for Submittal				
 ✓ 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. ✓ 2. Digital files drawn to scale of the Site Plan(s). ✓ 3. Digital files of the Architectural Plan(s). ✓ 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. ✓ 5. All information required on the attached Application Checklist. ✓ 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton. 					
Note: A Pre-Application Meeting is requir	ed prior to Application submittal.				
	egal or financial liability to the applicant or any ng the plans associated with this permit.				
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.					
Property Owner Signature: Date:					
Applicant Signature: Amanda Denmark	Date: 09.29.25				
For Office Use					
Application Number:	Date Received:				
Received By:	Date Approved:				

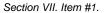




ATTACHMENT 2 TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW	PHASE		CONCEPTUAL REVIEW	✓ FINAL REVIEW	
2. SITE DATA					
Identification of Propo	sed Building T	ype (as defined in	n Article 5):		
Building Setbacks	Front: 20	Rear: 30	Rt. Side: 10	Lt. Side: 10	
3. BUILDING DATA					
Building	(Main House,	ription Garage, Carriage e, etc.)	Existing Square Footage	Proposed Square Footage	
Main Structure	Main	House		3008 heated	
Ancillary	Ga	rage		602 footprint	
Ancillary				323 boat shed	
4. SITE COVERAGE					
Imperv	vious Covera	ge	Covera	ige (SF)	
Building Footprint(s)			4686 sf		
Impervious Drive, Wa	lks & Paths		500 sf		
Open/Covered Patios					
A. TOTA	L IMPERVIO	US COVERAGE	5186		
	В. ТО	TAL SF OF LOT	17422		
% CO	VERAGE OF I	OT (A/B= %)	29.8%		
5. BUILDING MATE	RIALS				
Building Element		s, Dimensions, Operation	Building Element	Materials, Dimensions, and Operation	
Foundation	Tabby St	ucco	Columns	Wood	
Walls	Hardie H	oriz. / B&B	Windows	Clad	
Roof	Standing	Seam Metal	Doors	Wood	
Chimney	Tabby St	ucco	Shutters	N/A	
Trim	Hardie / \	Nood	Skirting/Underpinning		
Water table	Wood		Cornice, Soffit, Frieze	Hardie / Wood	
Corner board	Hardie		Gutters	Metal	
Railings	Railings Powder Coated Alum.		Garage Doors	Metal	
Balusters			Green/Recycled Materials		
Handrails Powder Coated Alum.		Coated Alum.	Green/Recycleu iviaterials		

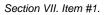




TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project

At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.							
Concept	Final	BACKGROUND INFORMATION.					
	\checkmark	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A competed and signed application providing general project and contact information.					
	✓	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.					
	✓	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.					
		DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.					
		ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.					
Concept	Final	SITE ASSESSMENT.					
	\checkmark	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.					
	\checkmark	 PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and North arrow, graphic scale, and legend identifying all symbology. 					
		 SITE PLAN: Showing layout and design indicating, but not limited to: All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements. 					





CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

		PHOTOS: Labeled comprehensive color pho exterior facades, and the features impacted b should be at a minimum of 300 dpi resolution	y the proposed work. If digital, images
Concept	Final	ARCHITECTURAL INFORMATION.	
		CONCEPTUAL ARCHITECTURAL SKETCH renderings, and/or additional product informa	•
		FLOOR/ROOF PLANS: Illustrate the roof proposed uses, walls, door & window location	s, overall dimensions and square footage(s).
	\triangleright	ELEVATIONS: Provide scaled and dimer appearance of all sides of the building(s). De include all building height(s) and heights of all grade, first floor finished floor elevations, floot finish grades for each elevation.	opurtenance(s) as they relates to adjacent
	\triangleright	ARCHITECTURAL DETAILS: Provide scal configuration and operation of all doors, wind and dimensional information for columns and cupolas and roof appurtenances, gutters and colonnades, arcades, stairs, porches, stoops a	ows, shutters as well as the configuration porch posts, corner boards, water tables, downspouts, awnings, marquees, balconies, and railings.
		MANUFACTURER'S CUT SHEET/SPECIFIC elements and materials not expressly permitted finishes noted.	31
Concept	Final	LANDSCAPE INFORMATION.	
		TREE REMOVAL PLAN: A site plan indicatir	ng location, species, and caliper of existing
		trees and trees to be removed.	and wheat materials including mores
		LANDSCAPE PLAN: Plan must include prop quantities, sizes and location, trees to be rem water features, extent of lawns, and areas to on the landscape plan as well as existing and	oved/preserved/relocated, areas of planting, be vegetated. Plant key and list to be shown
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
		FINAL DEVELOPMENT PLAN APPLICA along with all required submittal items as dep submitted prior to a Final Certificate of Appro application being heard by the Historic Preser	icted on the application checklist, must be priateness submittal and approved prior to the
	S	IGN AND RETURN THIS CHECKLIST WITH	
understand	that fail	I certify that I have reviewed and provided ure to provide a complete, quality application opplication(s).	
Signature of	f Proper	ty Owner or Authorized Agent	Date
Duint I BI -	o of D	mouth Change on Arthonized Agent	
rinted Nam	ie ot Pro	perty Owner or Authorized Agent	
An	randa	Denmark	09.29.25
Signature of	Applica	nt	Date
Am	anda De	enmark	
Printed Nan	ne of Ap	plicant	

MEMORANDUM

Date: 24 April 2025

To: Town of Bluffton

From: Erik and Paige Blechinger

Subject: Authorization of Representative for Design and Permitting

We, Erik Blechinger and Paige Blechinger, hereby authorize **Amanda Jackson Denmark**, **Assoc. AIA**, **of Pearce Scott Architects** to act as my official representative for all matters related to the design and permitting of my new home (Lot 1A & 1B Stock Farm Road) in the Town of Bluffton.

Ms. Denmark is fully empowered to engage with relevant departments, submit applications, review documents, and coordinate necessary approvals on my behalf. Please direct all inquiries and correspondence regarding this project to her as my designated representative.

If any additional documentation or verification is required, please do not hesitate to contact me.

Sincerely,

Erik Blechinger

Erikblechinger@gmail.com

Paige Blechinger

paigeblechinger@gmail.com



October 01, 2025

54 Stock Farm Road Narrative

On behalf of the owner, we would like to propose a Single Family Residence with a detached Garage. The house will be located on Stock Farm Road behind the Stock Farm neighborhood.

The building type is a 1 1/2 story Additional Building type.

The house is 3,008 heated square feet and the garage footprint is 602 sf with a boat shed in the rear, 323 footprint.

All details and materials will follow the UDO requirements.

As per the HPRC comments from 05/16/25:

- O Windows in the kitchen and laundry room were added to the rear elevation.
- o A window was added to the front elevation of the garage.
- The primary suite roof was a hipped roof and has changed to a Gable.

Please find attached pictures and drawings in this submittal.

Thank you for your consideration,

Amanda Jackson Denmark Project Manager



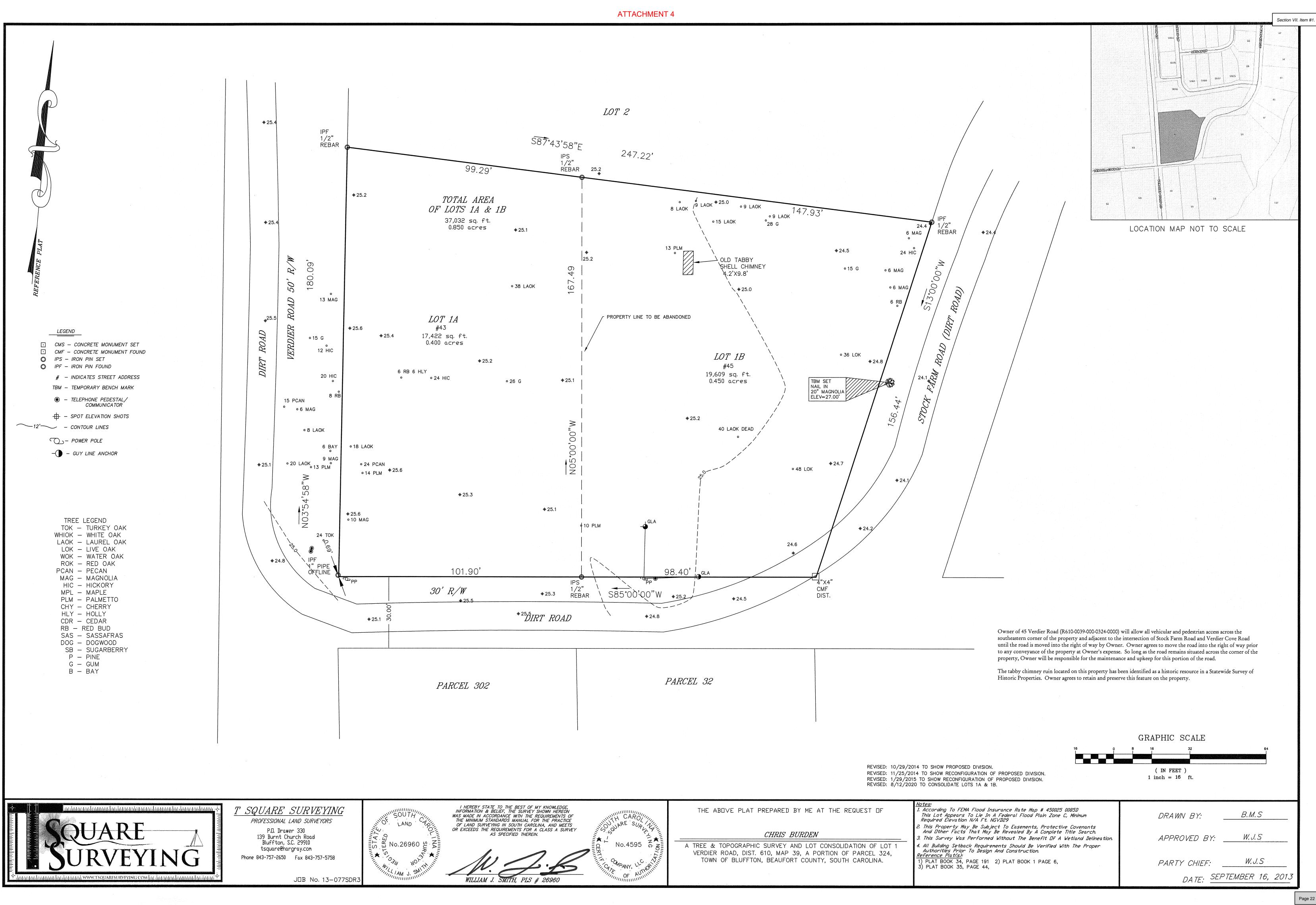














BLECHINGER RESIDENCE

54 Stock Farm Road Final HPC - 10.01.2025

	DRAWING INDEX			PROJECT TEAM	PROJECT INFORMATION			
CVR	COVER SHEET & DRAWING INDEX	A301	BUILDING SECTIONS	ARCHITECT:	AREA CALCULATIONS: (BRH- 0	95.30.2025)	PROJECT ANALYSIS: (BRH- 0	n5 30 2025)
9001	SYMBOLS & ABBREVIATIONS	A302	BUILDING SECTIONS	Pearce Scott Architects			1100E017111/E1010. (BITT)	<u>.0.00.2020)</u>
3002	AREA PLANS			H. Pearce Scott, AIA	MAIN HOUSE:		FRONT SETBACK:	20'-0"
		A401	WALL SECTIONS	6 State of Mind, Suite 200	FIRST FLOOR HEATED	2,230	REAR SETBACK:	30'-0"
	SURVEY		== ==	Bluffton, SC 29910	SECOND FLOOR HEATED	778	RIGHT SETBACK:	10-0"
	3311121	A501	DETAILS	P: 843.837.5700	MAIN HOUSE HEATED	7 <u>78</u> 3,008	LEFT SETBACK:	10'-0"
001	SITE PLAN	A502	DETAILS	C: 843.816.6067	W/ W/ 110 002 112/ (125	3,000	LEFT SETDACK.	10 -0
70 1	OHE LEMA	A503	WINDOW & DOOR DETAILS	E: pearce@pscottarch.com	ENTRY PORCH	237	DDIVEWAY ACCECC.	STREET
-A100	ARCHITECTURAL FOUNDATION PLAN	7,000	WINDOW & BOOK BETALLO	L. pearce@pscottarcri.com	SCREENED PORCH	475	DRIVEWAY ACCESS:	SIREEI
-7 100	ANOMITECTORAL FOUNDATION FEAR	A601	WINDOW & DOOR SCHEDULES		STOOP		ACTUAL EINIGH ELD. ELEV	. / . 01. 011
101	FIRST FLOOR PLAN	Addi	WINDOW & DOOK SCHEDULES	LANDOGADE ADQUITEGE	MAIN HOUSE UNHEATED	<u>41</u> 753	ACTUAL FINISH FLR. ELEV.:	+/- 3'-0"
101	SECOND FLOOR PLAN	E101	FIRST FLOOR ELECTRICAL PLAN	LANDSCAPE ARCHITECT:	MAIN HOUSE UNHEATED	753		
				Brightview	ODOGO LINIDED DOGE	0.704	ACTUAL BUILDING HGT.:	+/- 30'-4"
103	ROOF PLAN	E102	SECOND FLOOR & GARAGE ELECTRICAL PLAN	Derek Stetter PLA	GROSS UNDER ROOF	3,761		
104	GARAGE PLANS			184 Simmonsville Road			MAX HEATED SF:	5,500
000	OVERALL ELEVATIONS			Bluffton, SC 29910	2.2.2		ACTUAL HEATED SF:	3,008
200	OVERALL ELEVATIONS			P: 843.757.5040	GARAGE	602		
201	EXTERIOR ELEVATIONS			C: 843.325.4199	BOAT SHED	<u>323</u> 925	ACTUAL SITE COVERAGE:	11%
.202 .203	EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS			E: derek.stetter@brightview.com	TOTAL UNHEATED	925		
				GENERAL CONTRACTOR: Kendrick Construction Mark Kendrick 5752 Guilford Place, Suite 201 Bluffton, SC 29910 P: 843.757.9351 C: 843.683.9351 E: Mark@kendrick.us STRUCTURAL ENGINEER: Thomas & Reel Engineering Mike Thomas MEng, PE	OVERALL PROJECT TOTAL HEATED GROSS UNDER ROOF	3,008 4,686		
				9100 White Bluff Road, Bldg. 300 Ste. 306 Savannah, GA 31406 P: 912.920.0950 C: 912.272.7068 E: mthomas@thomasreel.com				

GENERAL NOTES:

- The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
- All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
- For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
- For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
- Contractor shall verify all existing field conditions.
 Any discrepancies shall be brought to the attention of the Architect.
- Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
- Contractor to provide a job sign in accordance with the neighborhood/development regulations.
- 8. The site is to be kept clean at all times for the duration of the project.
- 9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
- The design documents are to be used for design intent and in coordination with supplemental engineering documents.
- All walls are dimensioned to the face of stud or masonry unless noted otherwise.
- See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
- The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings
- 14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

DO NOT SCALE FROM DRAWINGS						1		
				AJD	AJD	AJD	INITIAL	
				10.01.25 AJD	07.08.25	04.25.25 AJD	DATE	
				FINAL HPC SUBMITTAL	PRICING SET	HPC CONCEPTUAL SUBMITTAL	DESCRIPTION / REVISION LOG	
							NO.	
2025 DEADOE SCOTT ADOUTECTS								

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PAIGE BLECHINGER CK FARM ROAD 30RHOOD CONSERVATION -

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2074
DATE	09.29.25
DRAWN BY	AJD
CHECKED BY	DAM

COVER SHEET & DWG INDEX

SHEET NO.

CVR

24X36 PAPER SIZE

GRAPHIC SYMBOL LEGEND ROOM NAME **ELEVATION NUMBER** SLOPE **ROOM NUMBER** SHEET NUMBER **EXT. ELEVATION** DOOR NUMBER WINDOW TAG SLAB ELEV. CHANGE NOTE TAG SHEET NUMBER **BUILDING SECTION CUT** WALL TYPE NORTH ARROW SECTION NUMBER SPOT ELEVATION TAG SHEET NUMBER BREAK LINE ——/\/___ **WALL SECTION CUT** ROD AND SHELF R & S CENTER LINE 2x4 STUD WALL @ 12" O.C. SHEET NUMBER STUB OUT FOR GAS GAS **DETAIL CALLOUT REVISION TAG** HOSE BIB (OWNER CONFIRM LOCATION) **ELEVATION NUMBER** SHEET NUMBER INT. ELEVATION

ABBREVIATIONS

ABBH	REVIATIONS	I		1	
A.F.F.	ABOVE FINISHED FLOOR	G.C.	GENERAL CONTRACTOR	RAD.	RADIUS
A.F.G.	ABOVE FINISHED GRADE	GALV.	GALVANIZED	RCP	REFLECTED CEILING PLAN
A/C	AIR CONDITION(ING)	GYP. BD.	GYPSUM BOARD	RD	ROOF DRAIN
A/V	AUDIOVISUAL	H.B.	HOSE BIB	REF.	REFRIGERATOR, REFERENCE
APPROX	APPROXIMATE(LY)	H/C	HANDICAP	REQD.	REQUIRED
ARCH	ARCHITECT(URAL)	HDR.	HEADER	RM.	ROOM
B.O.	BOTTOM OF	HDWR	HARDWARE	s	SOUTH
BLDG	BUILDING	HM	HOLLOW METAL	S.F.	SQUARE FEET
BSL	BUILDING SETBACK LINE	HORIZ.	HORIZONTAL	S.S.	STAINLESS STEEL
BTW.	BETWEEN	HT.	HEIGHT	S.Y.	SERVICE YARD
C.O.	CASED OPENING	HVAC	HEATING, VENTILATION & AIR	sc	SOLID CORE
CAB.	CABINET		CONDITIONING	SECT.	SECTION
CAB.	CABINET	IN.	INCH	SH.	SHELVES
CJ	CONTROL JOINT	INCL.	INCLUDE(D), (ING)	SIM.	SIMILAR
CL	CENTER LINE	INFO.	INFORMATION	SPEC	SPECIFICATION
CLG.	CEILING	INSUL.	INSULATION	SPKR	SPEAKER
CLG. HT.	CEILING HEIGHT	INT.	INTERIOR	SQ.	SQUARE
CLOS.	CLOSET	KDAT	KILN DRIED AFTER TREATMENT	STOR.	STORAGE
CLR	CLEAR(ANCE)	KIT.	KITCHEN	T&G	TONGUE & GROOVE
CMU	CONCRETE MASONRY UNIT	LAM.	LAMINATE	T.	TRANSOM, TREAD
CONC	CONCRETE	LIN.	LINEN	T.O.	TOP OF
CONT.	CONTINUE. CONTINUOUS	M.O.	MASONRY OPENING		
		MAINT.	MAINTENANCE	T.O.M.	TOP OF MASONRY
D.	DRYER	MATL.	MATERIAL	T.O.P.	TOP OF PARAPET
D.W.	DISHWASHER	MAX.	MAXIMUM	T.O.S.	TOP OF SLAB
DEMO	DEMOLISH	MECH.	MECHANICAL	TEMP.	TEMPORARY
DIA.	DIAMETER	MFR.	MANUFACTURER	TYP.	TYPICAL
DIM.	DIMENSION	MICRO.	MICROWAVE	U.L.	UNDERWRITERS LABORATORIES
DN. 	DOWN	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DR.	DOOR	MISC.	MISCELLANEOUS	VERT.	VERTICAL
DS	DOWNSPOUT	MTL.	METAL	VEST	VESTIBULE
DWR.	DRAWER	N	NORTH	W	WEST, WASHER
E	EAST	N.I.C.	NOT IN CONTRACT	W.C.	WATER CLOSET
EA.	EACH	N.T.S.	NOT TO SCALE	W.H.	WATER HEATER
EJ	EXPANSION JOINT	N/A	NOT APPLICABLE	W/	WITH
ELEC.	ELECTRIC(AL)	O.C.	ON CENTER	W/D	WASHER AND DRYER
ELEV.	ELEVATION	OPT.	OPTION(AL)	W/O	WITHOUT
EOB	EDGE OF BEAM	P.T.	PRE-TREATED	WD.	WOOD
EOS	EDGE OF SLAB	PDR.	POWDER ROOM	WIN.	WINDOW
EQ.	EQUAL	PLAM	PLASTIC LAMINATE	WP	WATERPROOFING
EQUIP.	EQUIPMENT	PLYWD	PLYWOOD	WWF	WELDED WIRE FABRIC
EXIST.	EXISTING	PREFAB	PREFABRICATED		
EXT.	EXTERIOR	PREFIN	PREFINISH		
F.D.	FLOOR DRAIN	PSA	PEARCE SCOTT ARCHITECTS		
F.E.C.	FIRE EXTINGUISHER CABINET	PTD	PAINTED		
F.F.	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE		
F.F.E.	FINISH FLOOR ELEVATION		(PLASTIC)		
FIN.	FINISH	QTY	QUANTITY		
FT.	FOOT, FEET	R&S	ROD AND SHELF		
		R.	RISER	1	
FTG.	FOOTING	R.O.	ROUGH OPENING		

NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES

GENERAL CONTRACTOR NOTE:

Adjust the top of slab at porch and house as needed to accommodate owner selections and existing site conditions.

G.C. / owner to coordinate all in-slab electrical and plumbing requirements with appropriate subcontractor trades prior to placing

DIMENSION NOTES:

Dimensions are to the edge of foundation and framing, u.n.o. Do not scale drawings. Contact architect with any discrepancies.

CABINET & EQUIPMENT NOTES: Cabinet layouts are provided for design configuration only. Exact layout and placement of fixtures, appliances, cabinets, and countertops are to be determined in coordination with owner and general contractor.

FINISH NOTES:

The floor, wall, ceiling, finishes and interior trim are to be determined by the general contractor and owner.

If adjustments to slab, walls, and ceiling are needed to accommodate owner specific finishes and trim, G.C. to contact architect.

G.C. / owner to coordinate final location of exterior hose bibbs.

FRAMING NOTES:

Structural engineering documents supersede architectural documents and schedules with regard to size of structural members, placement, and connection details. For any discrepancies, contact architect for intent.

Door openings set 6" off intersecting wall, unless otherwise dimensioned.

FRAMING IS TO BE AS FOLLOWS, U.N.O.:

Exterior: 1/2" plywood sheathing (exterior side) on 2x6's at 16" o.c. with blocking at midspan. Thermal batt insulation R-20 (5 1/2") typical at 2x6 wood stud

Interior: 2x4's and 2x6's at 16" o.c. with blocking at midspan. Provide sound damp batt insulation around each bedroom and bathroom.

FIRST FLOOR SYSTEM:

Concrete slab floor with 3/4" t&g plywood, glued & nailed over vapor barrier.

SECOND FLOOR SYSTEM:

3/4" t&g plywood, glued and nailed on 18" open web wood truss system (layout and spacing by structural eng). See typical wall sections and details for connections. If truss joists (or sim.) are used, provide shop drawings for architect/engineer approval. Provide sound dampening insulation w/in floor system. Additional 1/4" acoustical cork underlayment under second f.f. recommended.

PORCH FLOOR SYSTEM:

Concrete slab floor with tabby floor finish and brick edging. See typical wall sections and details for various connection details.

ATTIC FLOOR SYSTEM: (only extent to be determined by G.C.) wall sections and details for connections. If truss joists (or sim.) are used provide shop drawings for architect/engineer approval.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8's at 16" o.c. (2x10's for certain spans, per stuctural).

Ext sheathing, nailed on 2x8's (2x10's for certain spans) with Simpson hurricane clips, located per structural. Open cell spray foam insulation R-26 (7 1/4") typical at wood roof rafters. If pre-engineered wood roof trusses are installed in lieu of specified materials, truss manufacturer is to provide shop drawings, support and connection details, and sizes for architect/engineer approval.

Note: see structural engineering documents for size, location and placement of all work described.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF PORCH BRICK BORDER RECESS WITH FOUNDATION SLAB AND DETAILS

DO NOT SCALE FROM DRAWINGS

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K & PAIGE BLECHINGER STOCK FARM ROAD SHBORHOOD CONSERVATION -FFTON, SC 29910 FOR:

SIDENCE



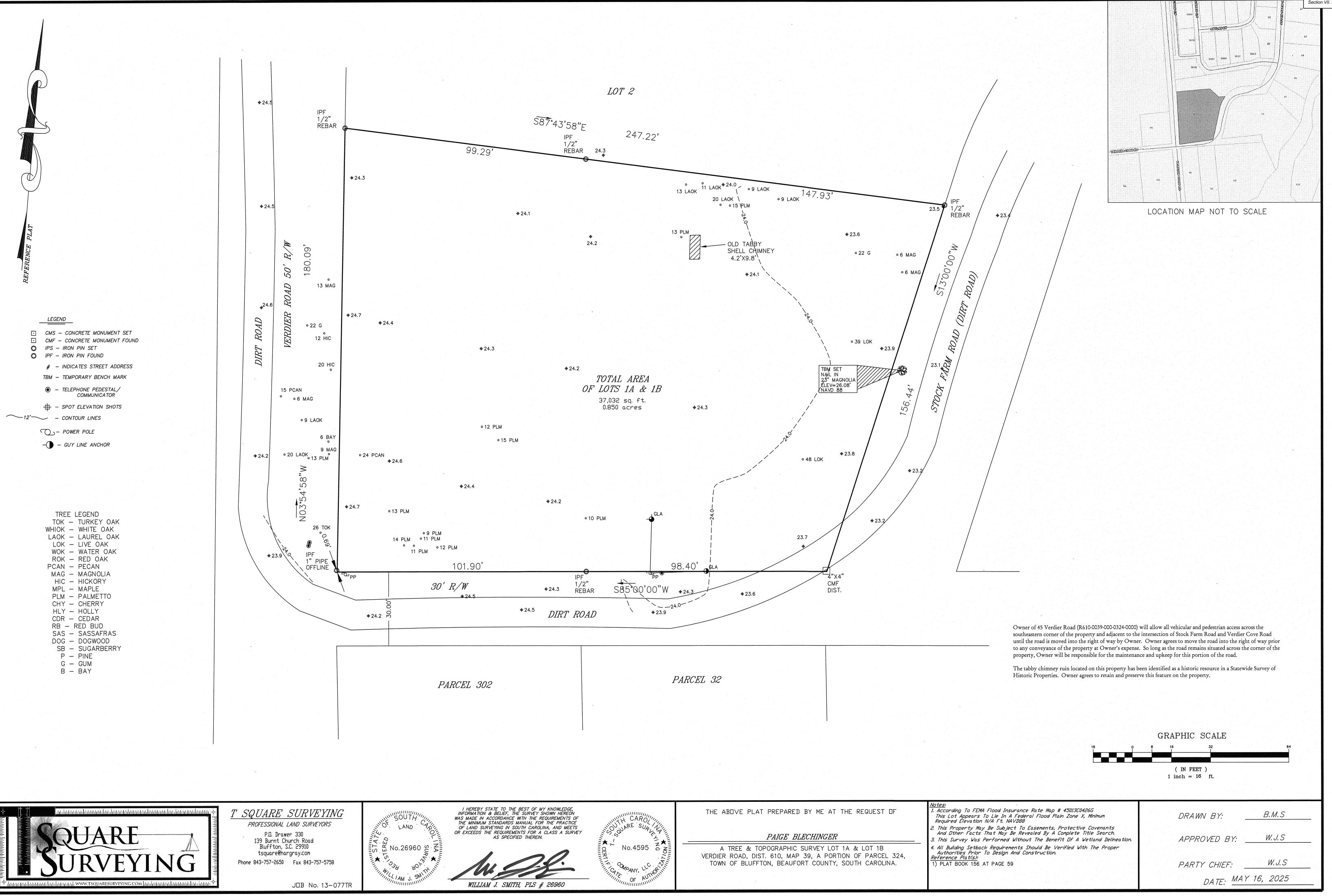
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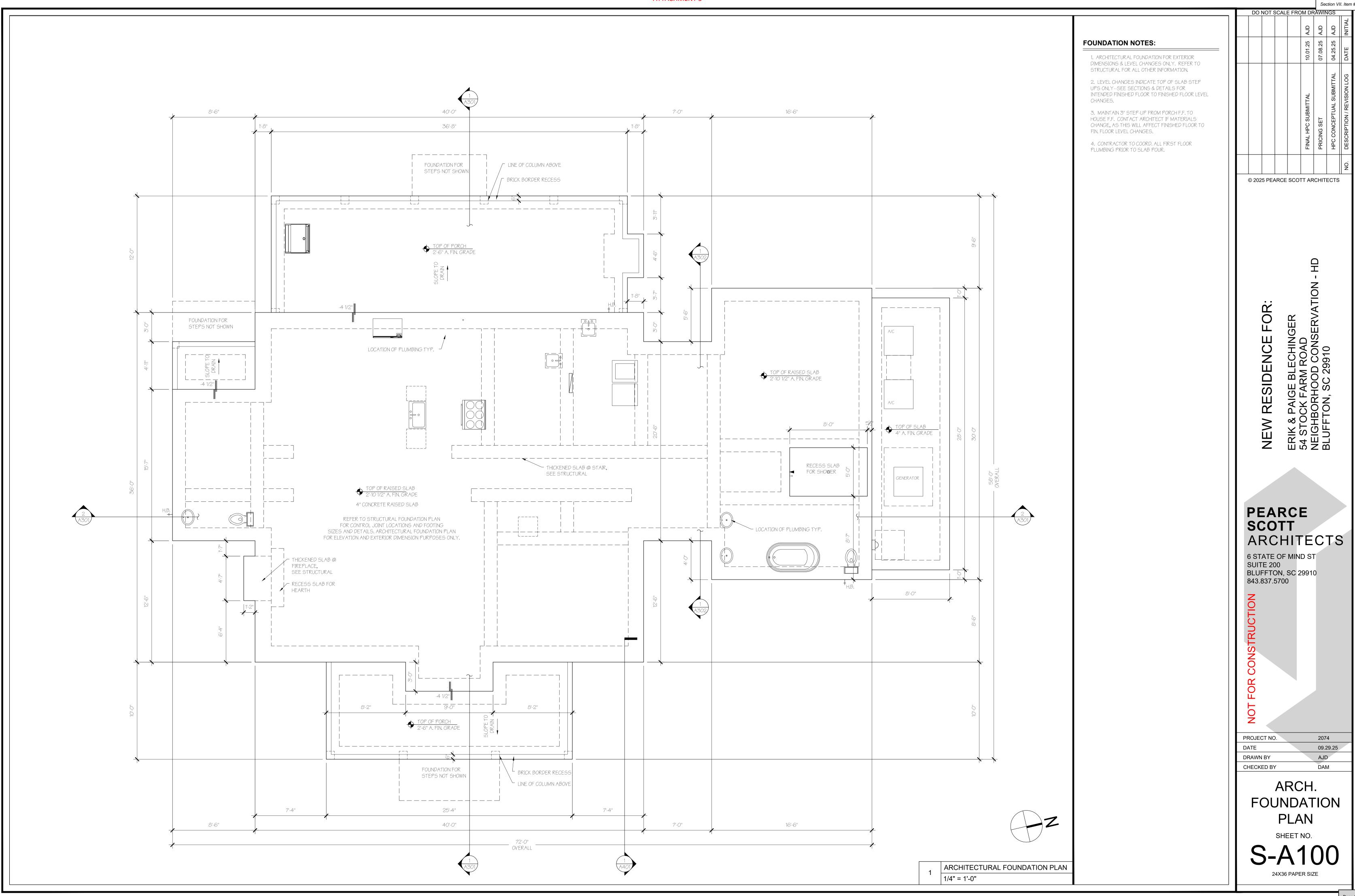
SYMBOLS & ABBREVIATIONS

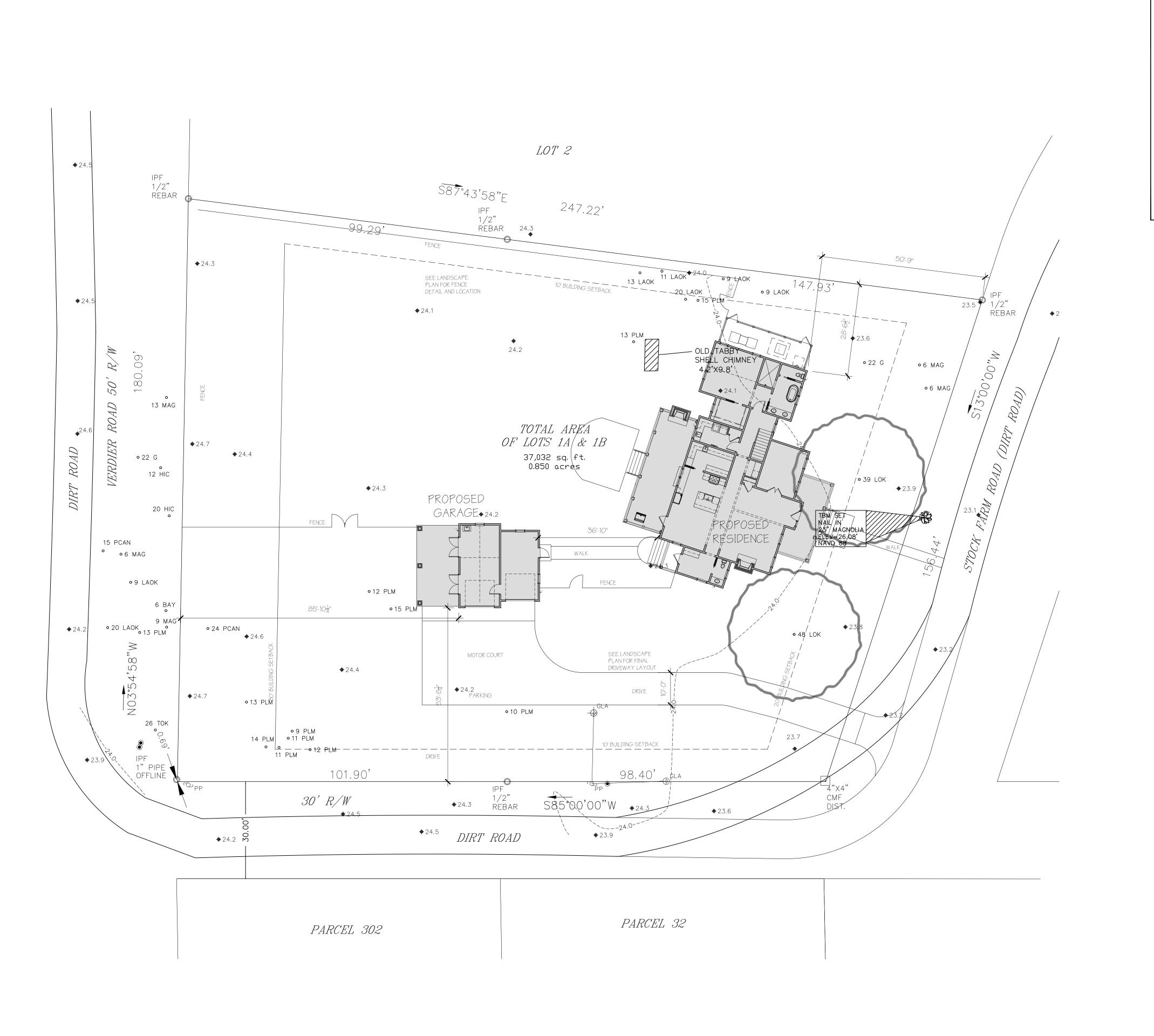
SHEET NO.

24X36 PAPER SIZE

ATTACHMENT 5 DO NOT SCALE FROM DRAWINGS REAR PORCH UNHEATED 452 S.F. SIDE PORCH UNHEATED 42/S.F. PRIMARY DINING HEATED (146 S.F.) BEDROOM HEATED 270 S.F. KITCHEN BACK KITCHEN LAUNDRY HEATED 207 S.F. HEATED 118 S.F. HEATED 112 S.F. PRIMARY WIC HEATED 81 S.F. © 2025 PEARCE SCOTT ARCHITECTS SIDE ENTRY HEATED 94 S.F. HALL HEATED 152 S.F. HEATED 40 S.F. GARAGE UNHEATED HEATED BOAT SHED UNHEATED POWDER HEATED 38 S.F. 134 S.F. 296 S.F. 602 S.F. PRIMARY BATH HEATED EXERCISE ROOM **ENTRY** LIVING AREA & PAIGE BLECHINGER OCK FARM ROAD HBORHOOD CONSERVATION -FTON, SC 29910 HEATED 194 S.F. HEATED 281 S.F. HEATED 195 S.F. ENTRY PORCH UNHEATED 226 S.F. 1/8" = 1'-0" 1/8" = 1'-0" GARAGE AREA PLAN FIRST FLOOR AREA PLAN **PEARCE** SCOTT ARCHITECTS 6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700 NOT FOR CONSTRUCTION BEDROOM 3 STORAGE UNHEATED STORAGE HEATED 248 S.F. UNHEATED BATH 2 HEATED 59 S.F. BATH 3 HEATED 59 S.F. BEDROOM 2 HEATED 173 S.F. LOFT/OFFICE HEATED 280 S.F. STORAGE UNHEATED STORAGE UNHEATED 107 S.F. 131 S.F. PROJECT NO. 2074 DATE 09.29.25 AJD DRAWN BY DAM CHECKED BY AREA PLANS SHEET NO. 1/8" = 1'-0" 24X36 PAPER SIZE SECOND FLOOR AREA PLAN







SITE NOTES:

1. VERIFY FINISHED GRADES W/ LANDSCAPE ARCHITECT.

PLUMBING SUB-CONTRACTOR.

- 2. VERIFY LOCATION OF GAS, CABLE, POWER AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
- 3. VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/
- 4. REFER TO STAKING PLAN FOR BUILDING LOCATION DIMENSIONS.
- 5. REFER TO LANDSCAPE PLANS FOR TREES TO BE REMOVED, TREE PROTECTION, SILT FENCING LOCATIONS, DETAILS, & MOBILIZATION.
- 6. ALL HARDSCAPE / PAVING, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT.
- 7. CONTRACTOR TO COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.

TREES TO BE REMOVED (COORDINATE W/ LANDSCAPE PLAN)

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PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700

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PROJECT NO.	2074
DATE	09.29.25
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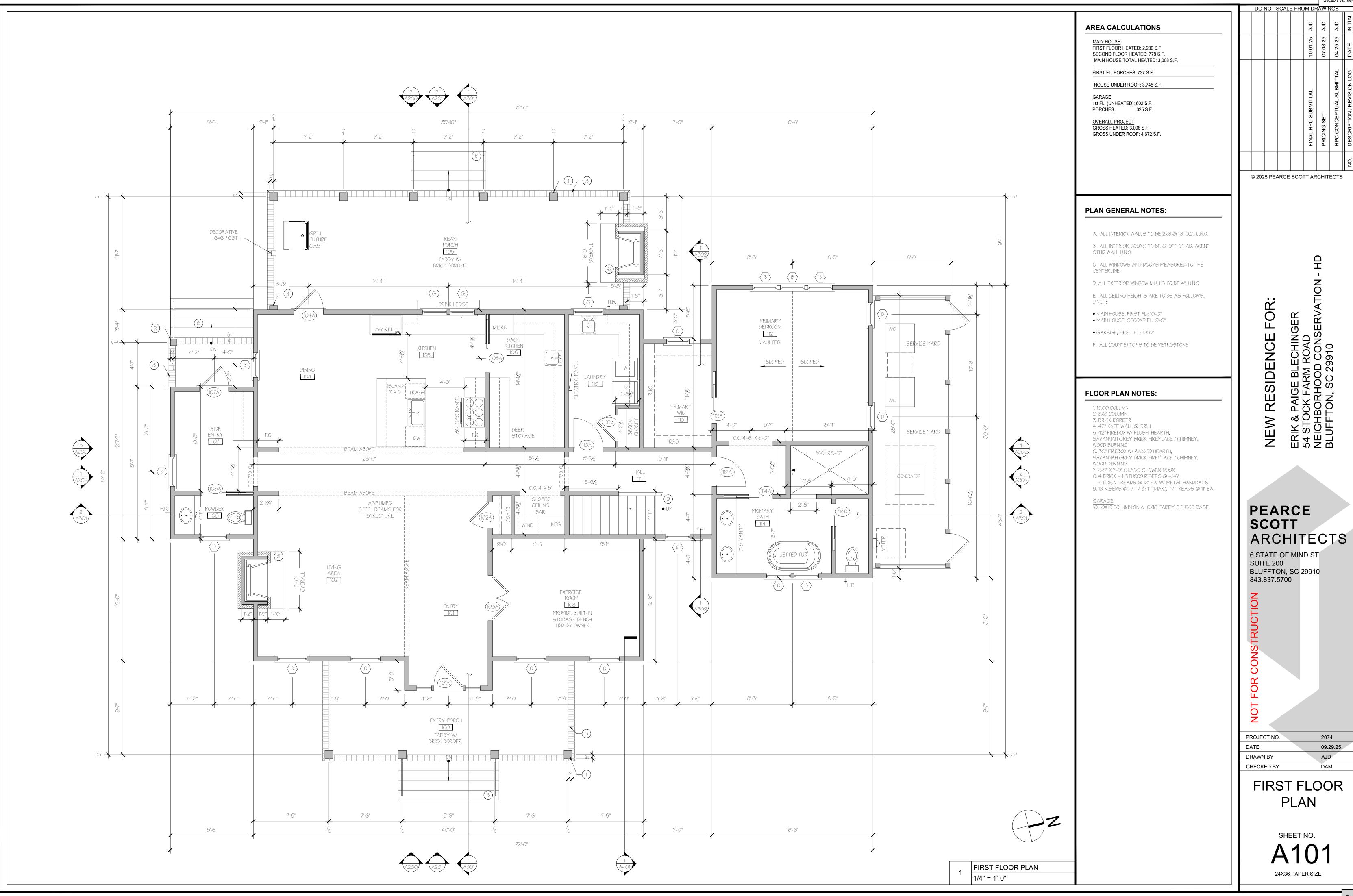
SITE PLAN

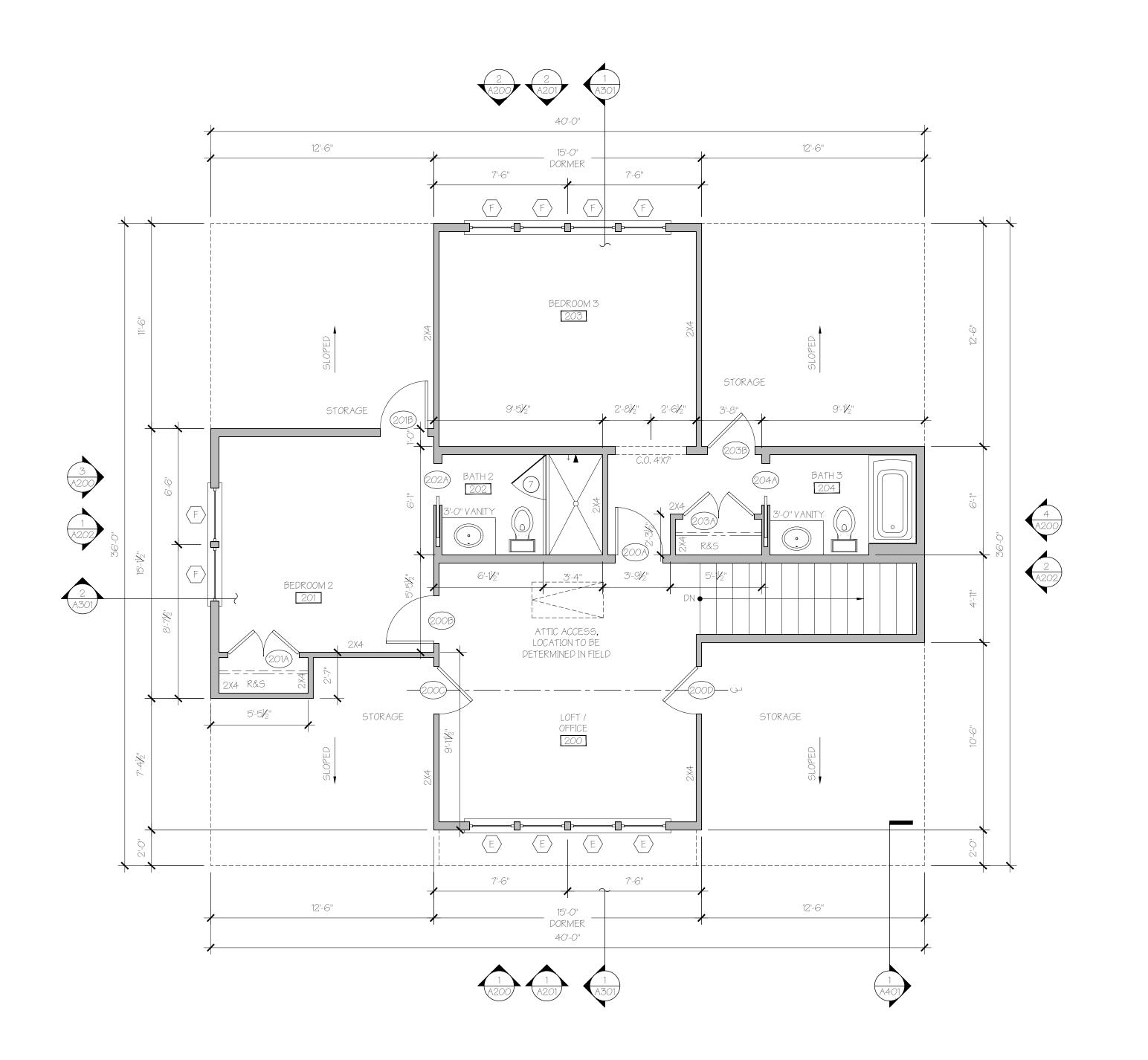
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SHEET NO. 24X36 PAPER SIZE

1/16" = 1'-0"

SITE PLAN







MAIN HOUSE FIRST FLOOR HEATED: 2,230 S.F. SECOND FLOOR HEATED: 778 S.F. MAIN HOUSE TOTAL HEATED: 3,008 S.F.

FIRST FL. PORCHES: 737 S.F.

HOUSE UNDER ROOF: 3,745 S.F.

GARAGE

1st FL. (UNHEATED): 602 S.F.
PORCHES: 325 S.F.

OVERALL PROJECT
GROSS HEATED: 3,008 S.F.
GROSS UNDER ROOF: 4,672 S.F.

DO NOT SCALE FROM DRAWINGS

PLAN GENERAL NOTES:

A. ALL INTERIOR WALLS TO BE 2x6 @ 16" O.C., U.N.O.

B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL U.N.O.

C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

D. ALL EXTERIOR WINDOW MULLS TO BE 4", U.N.O.

E. ALL CEILING HEIGHTS ARE TO BE AS FOLLOWS,

MAIN HOUSE, FIRST FL.: 10'-0"

• MAIN HOUSE, SECOND FL.: 9'-0"

• GARAGE, FIRST FL.: 10'-0"

F. ALL COUNTERTOPS TO BE VETROSTONE

FLOOR PLAN NOTES:

1. 10X10 COLUMN
2. 8X8 COLUMN
3. BRICK BORDER
4. 42" KNEE WALL @ GRILL
5. 42" FIREBOX W/ FLUSH HEARTH,
SAVANNAH GREY BRICK FIREPLACE / CHIMNEY,
WOOD BURNING
6. 36" FIREBOX W/ RAISED HEARTH

6. 36" FIREBOX W/ RAISED HEARTH,
SAVANNAH GREY BRICK FIREPLACE / CHIMNEY,
WOOD BURNING
7. 2'-8" X 7'-0" GLASS SHOWER DOOR
8. 4 BRICK + 1 STUCCO RISERS @ +/-6"

8. 4 BRICK + 1 STUCCO RISERS @ +/-6" 4 BRICK TREADS @ 12" EA. W/ METAL HANDRAILS 9. 18 RISERS @ +/- 7 3/4" (MAX.), 17 TREADS @ 11" EA.

<u>GARAGE</u> 10. 10X10 COLUMN ON A 16X16 TABBY STUCCO BASE

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700

FOR:

E BLECHINGER RM ROAD SOD CONSERVA C 29910

NOT FOR CONSTRUCTION

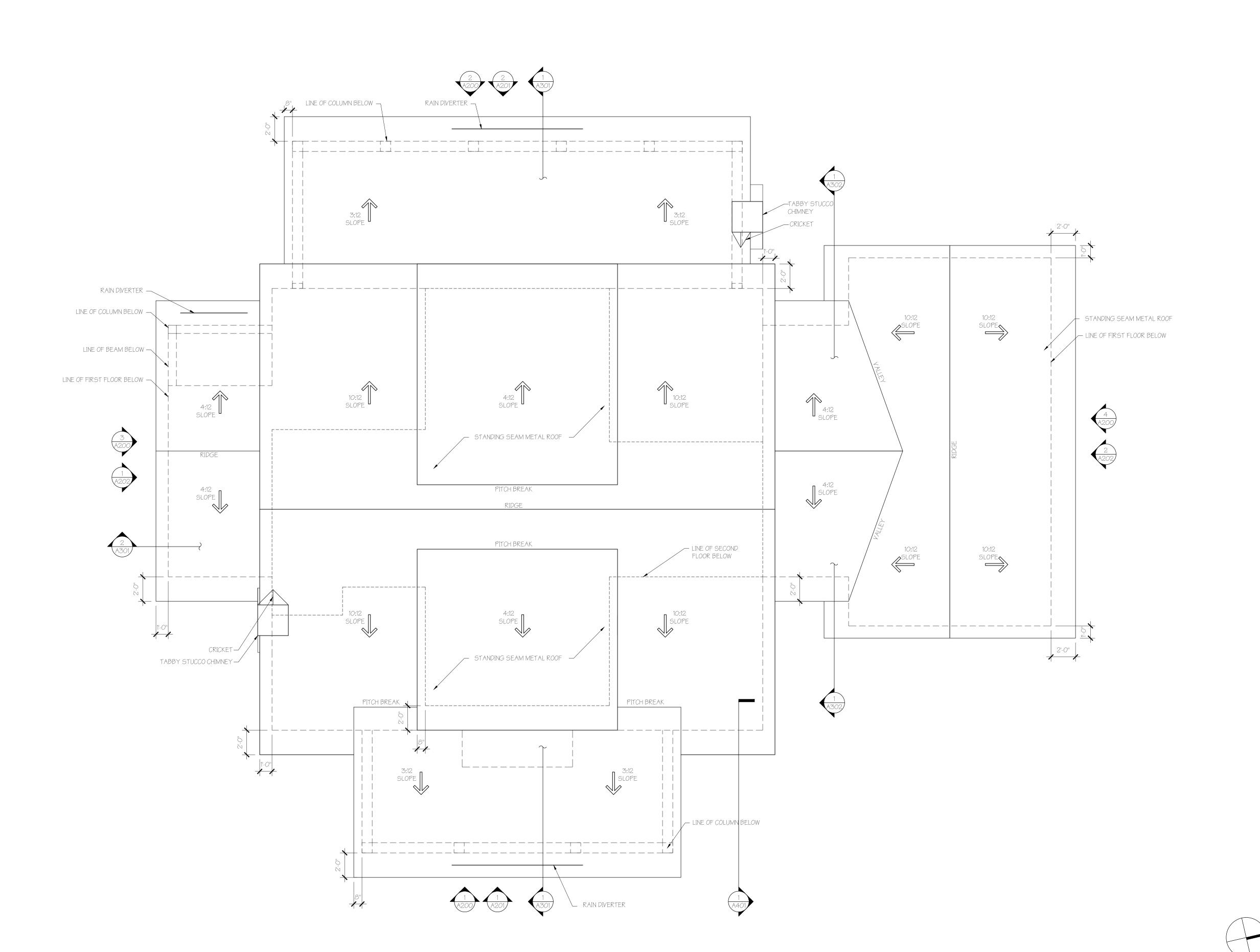
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SECOND FLOOR PLAN

A102

24X36 PAPER SIZE

SECOND FLOOR PLAN
1/4" = 1'-0"



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6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700

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ROOF PLAN

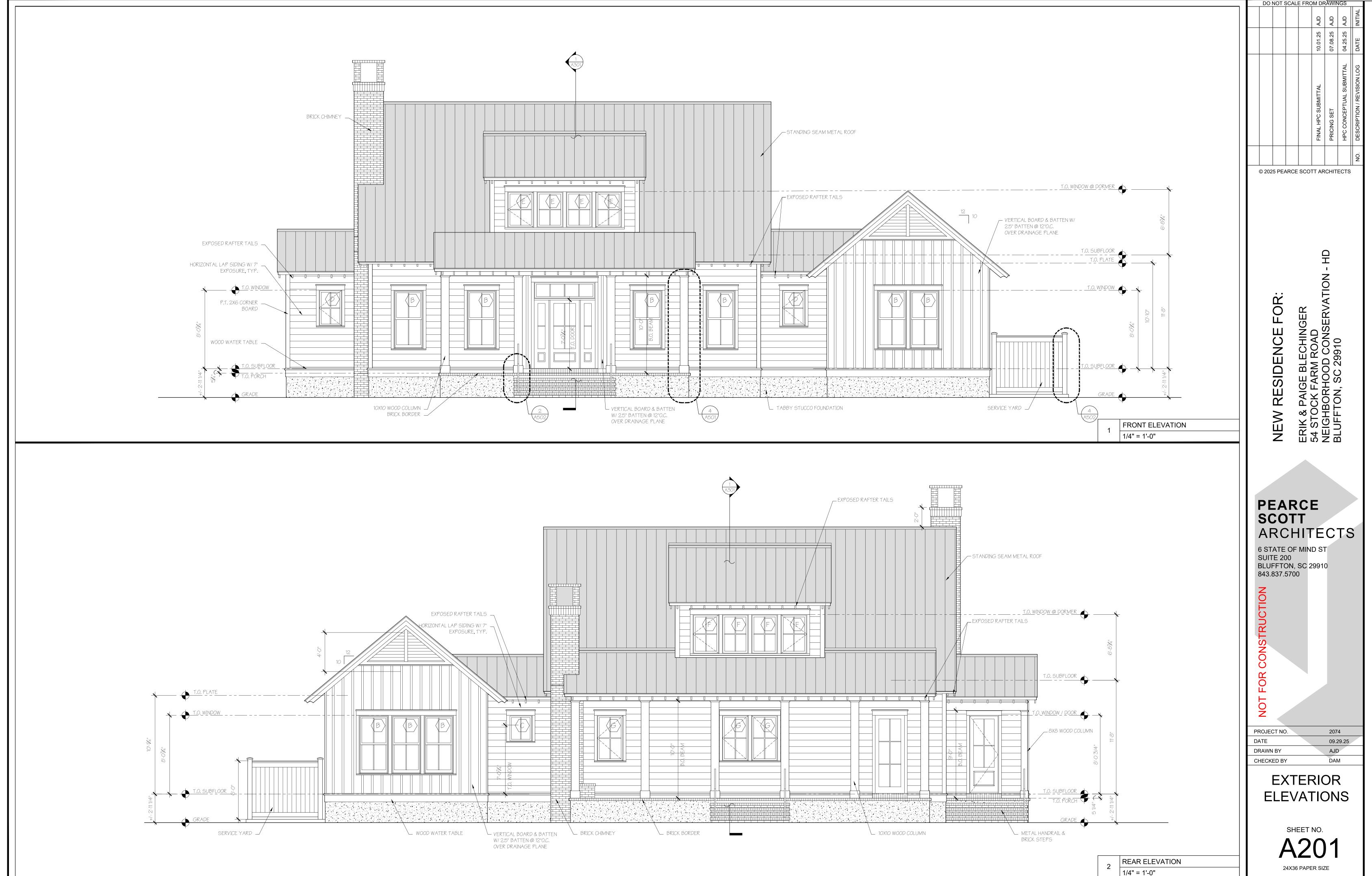
24X36 PAPER SIZE

ROOF PLAN 1/4" = 1'-0"

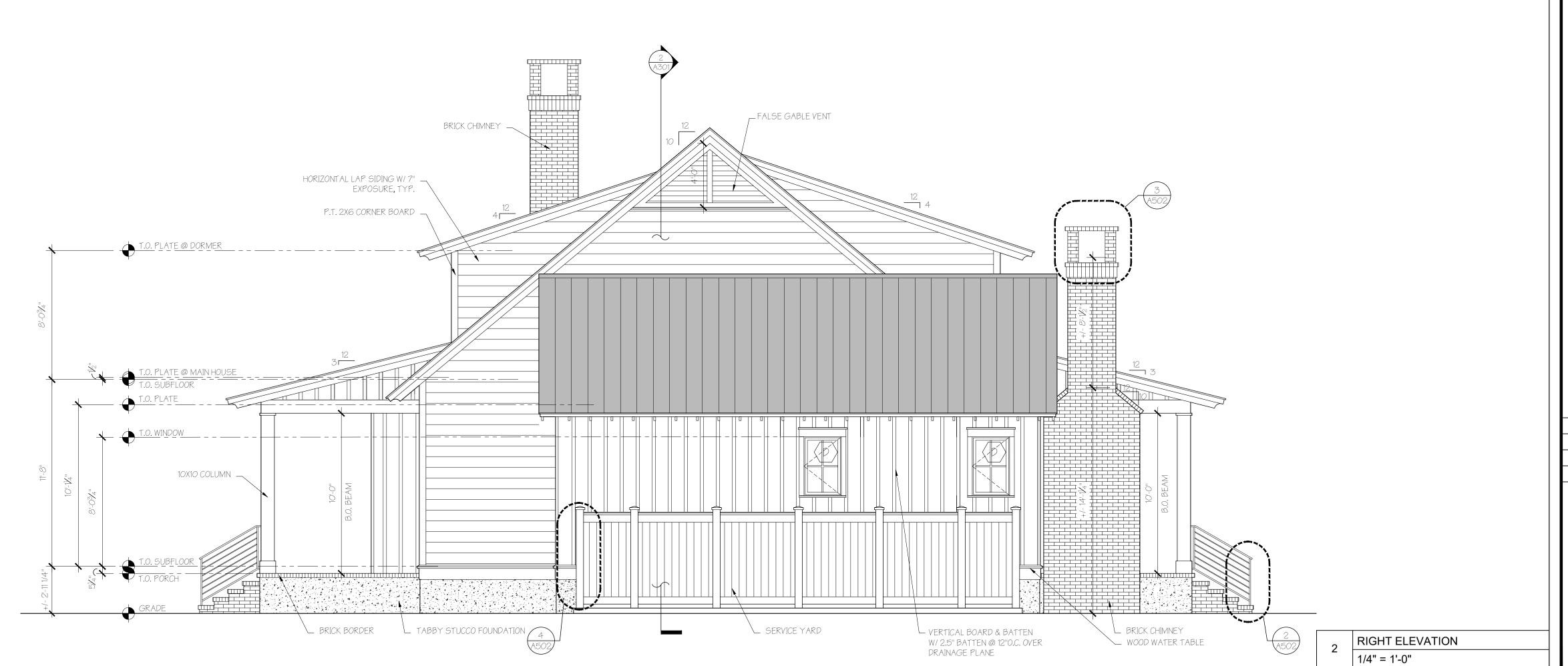
ATTACHMENT 5 Section VII. Item #1. DO NOT SCALE FROM DRAWINGS © 2025 PEARCE SCOTT ARCHITECTS FRONT ELEVATION
1/8" = 1'-0" ERIK & PAIGE BLECHINGER 54 STOCK FARM ROAD NEIGHBORHOOD CONSERVATION BLUFFTON, SC 29910 NEW RESIDENCE FOR: REAR ELEVATION 1/8" = 1'-0" **PEARCE** SCOTT ARCHITECTS 6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700 NOT FOR CONSTRUCTION LEFT ELEVATION 1/8" = 1'-0" PROJECT NO. 2074 09.29.25 AJD DRAWN BY DAM CHECKED BY OVERALL **EXTERIOR ELEVATIONS** SHEET NO. RIGHT ELEVATION 24X36 PAPER SIZE 1/8" = 1'-0"

Page 3

ATTACHMENT 5 DO NOT SCALE FROM DRAWINGS



ATTACHMENT 5 DO NOT SCALE FROM DRAWINGS FALSE GABLE VENT HORIZONTAL LAP SIDING W/7" -EXPOSURE, TYP. © 2025 PEARCE SCOTT ARCHITECTS - VERTICAL BOARD & BATTEN W/ 3" BATTEN @ 12"O.C. & PAIGE BLECHINGER OCK FARM ROAD HBORHOOD CONSERVATION -FTON, SC 29910 10X10 COLUMN _ _ 10X10 COLUMN └ CRICKET METAL HANDRAIL & _/ BRICK STEPS 8X8 WOOD COLUMN WOOD WATER TABLE _/ 6X6 POST _ LEFT ELEVATION 1/4" = 1'-0" PEARCE SCOTT



PROJECT NO. 2074

DATE 09.29.25

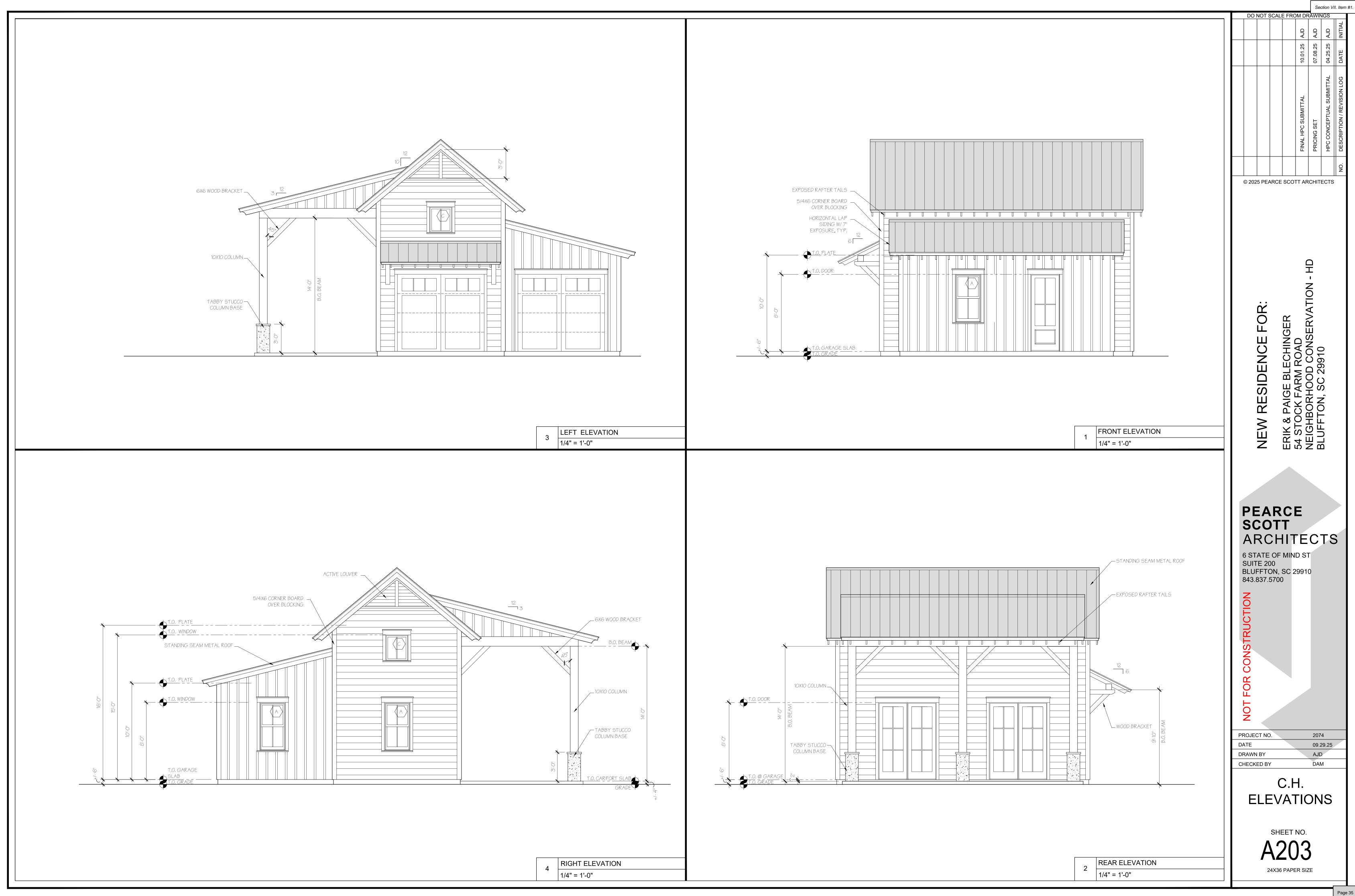
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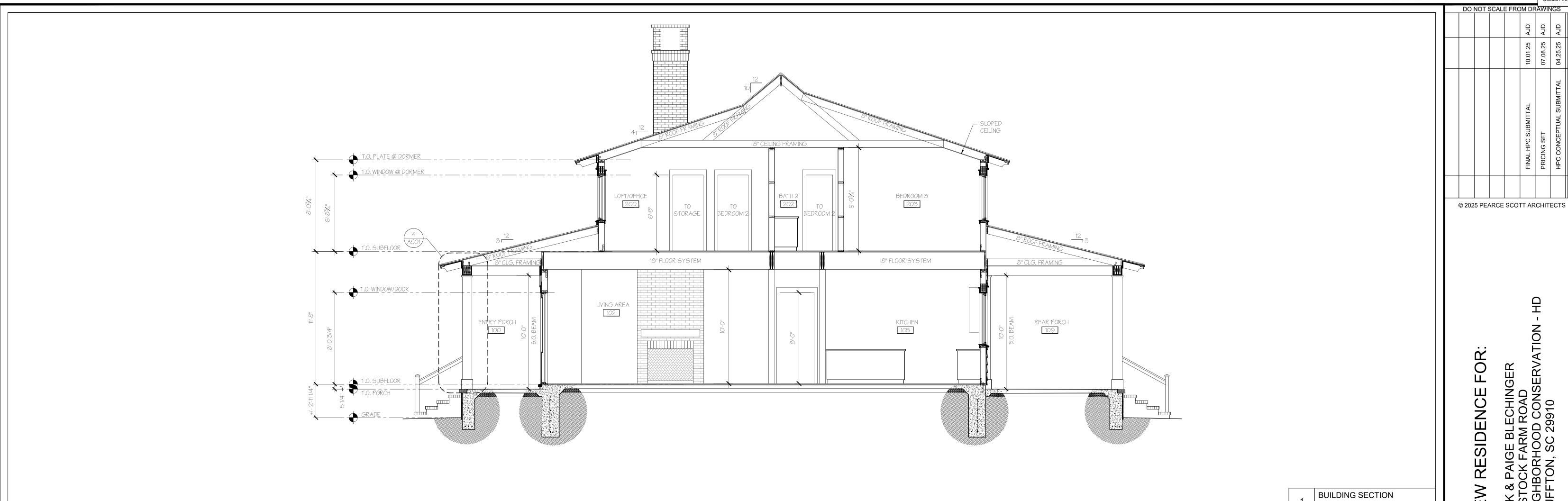
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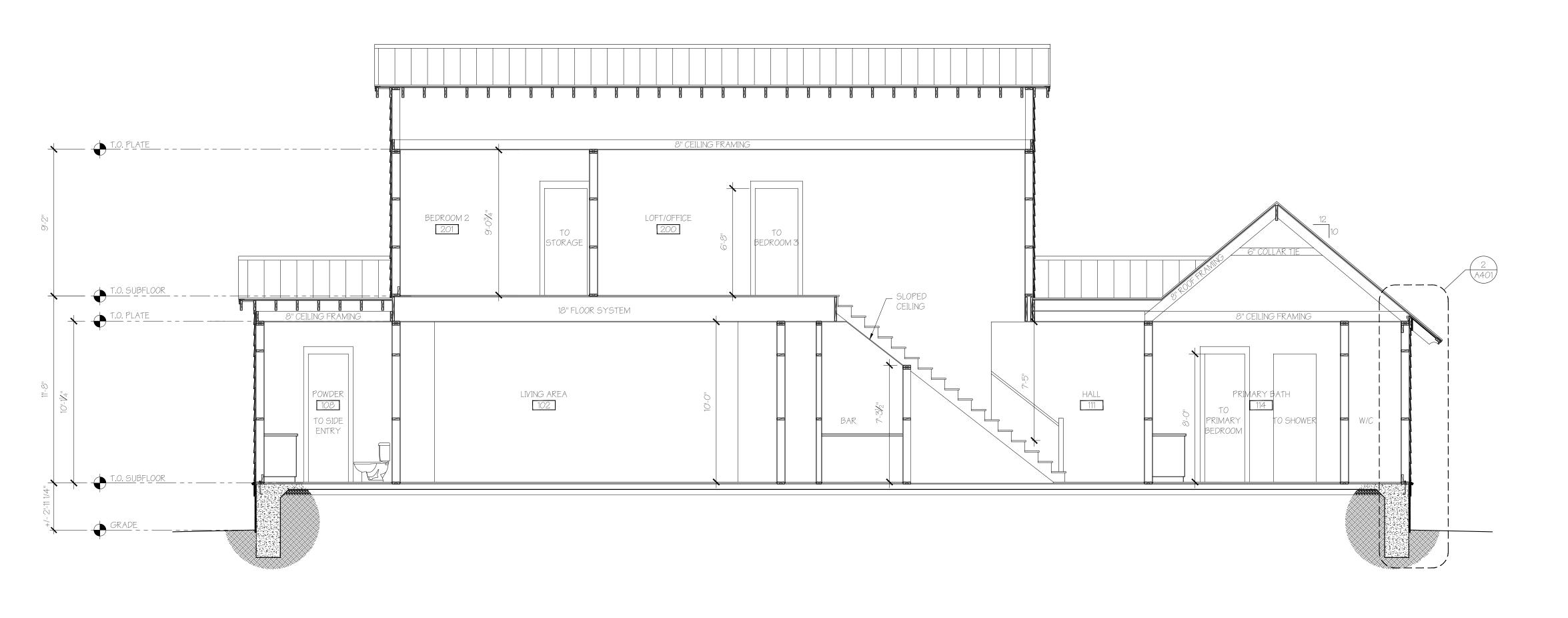
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EXTERIOR ELEVATIONS

SHEET NO. **A202**24X36 PAPER SIZE







PEARCE SCOTT ARCHITECTS 6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700 NOT FOR CONSTRUCTION

& PAIGE BLECHINGER OCK FARM ROAD HBORHOOD CONSERVATION -FTON, SC 29910

PROJECT NO. 2074 09.29.25 DATE DRAWN BY AJD DAM CHECKED BY

> BUILDING SECTIONS

SHEET NO. 24X36 PAPER SIZE

BUILDING SECTION 1/4" = 1'-0"

1/4" = 1'-0"

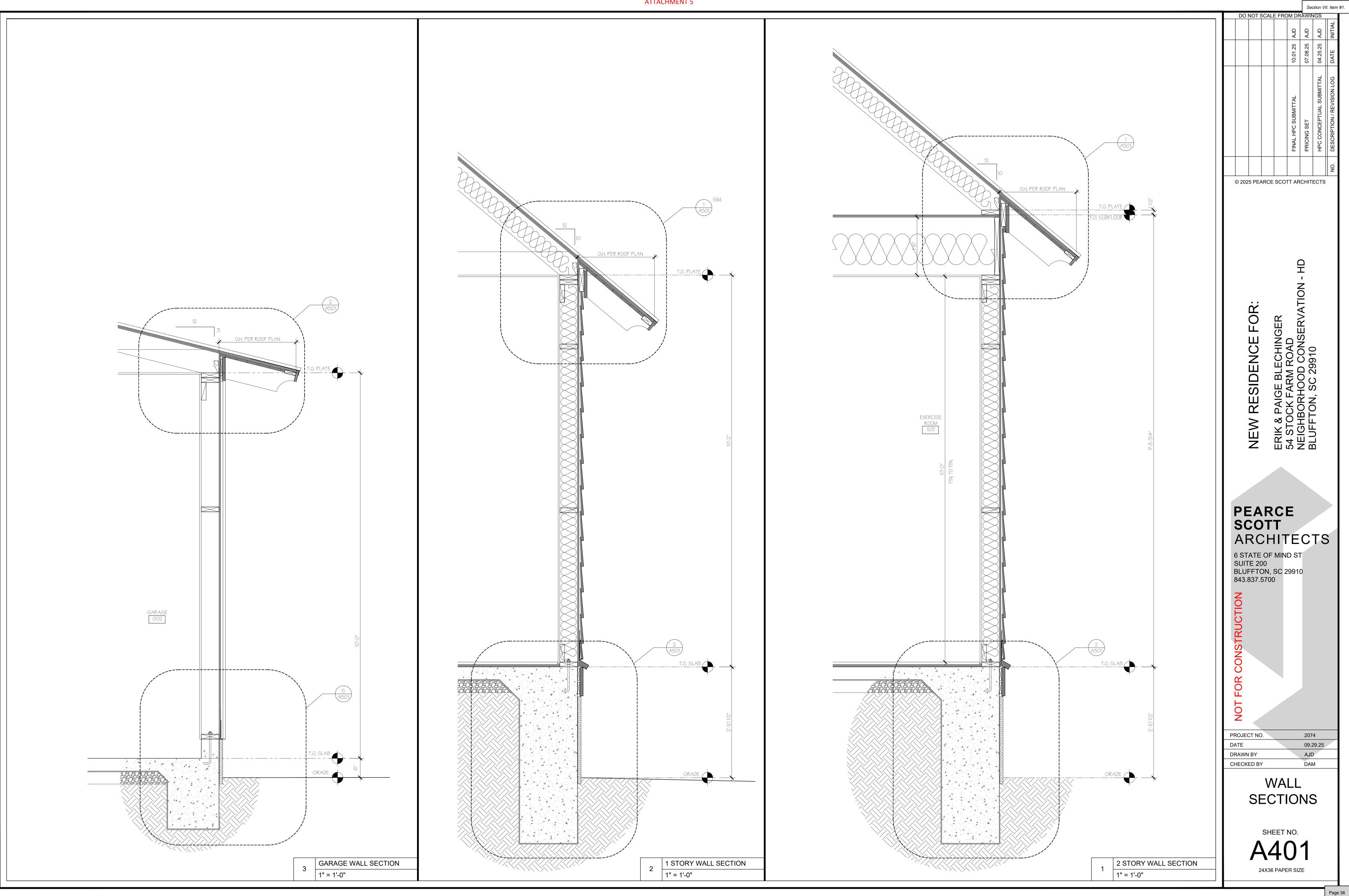
ATTACHMENT 5 DO NOT SCALE FROM DRAWINGS © 2025 PEARCE SCOTT ARCHITECTS ERIK & PAIGE BLECHINGER 54 STOCK FARM ROAD NEIGHBORHOOD CONSERVATION - I BLUFFTON, SC 29910 NEW RESIDENCE FOR: PEARCE SCOTT ARCHITECTS 6 STATE OF MIND ST SUITE 200 BLUFFTON, SC 29910 843.837.5700 NOT FOR CONSTRUCTION PRIMARY WIC 113 PROJECT NO. 2074 09.29.25 DRAWN BY AJD DAM CHECKED BY BUILDING STAIRS BEYOND SECTIONS SHEET NO.

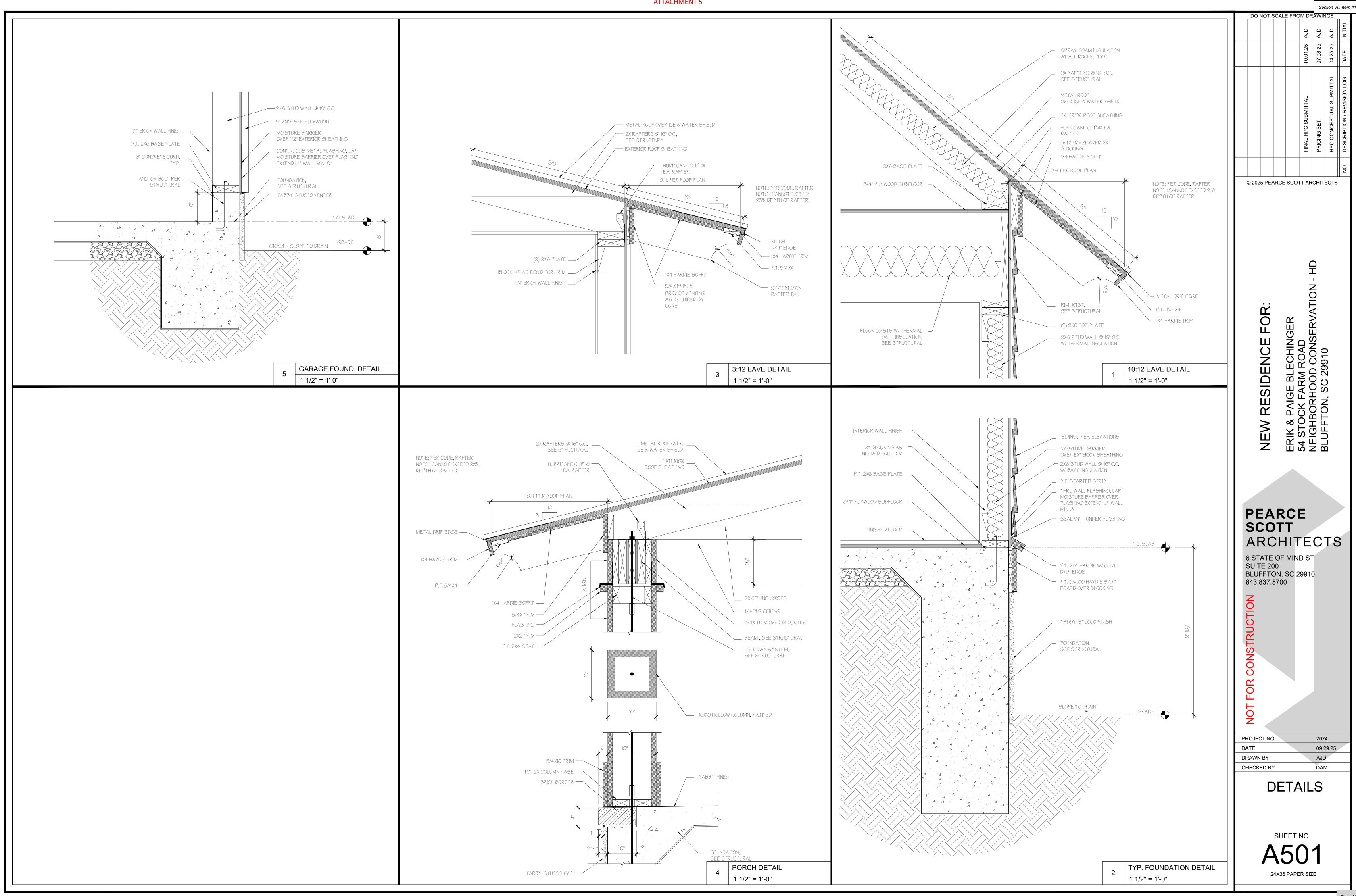
Page 37

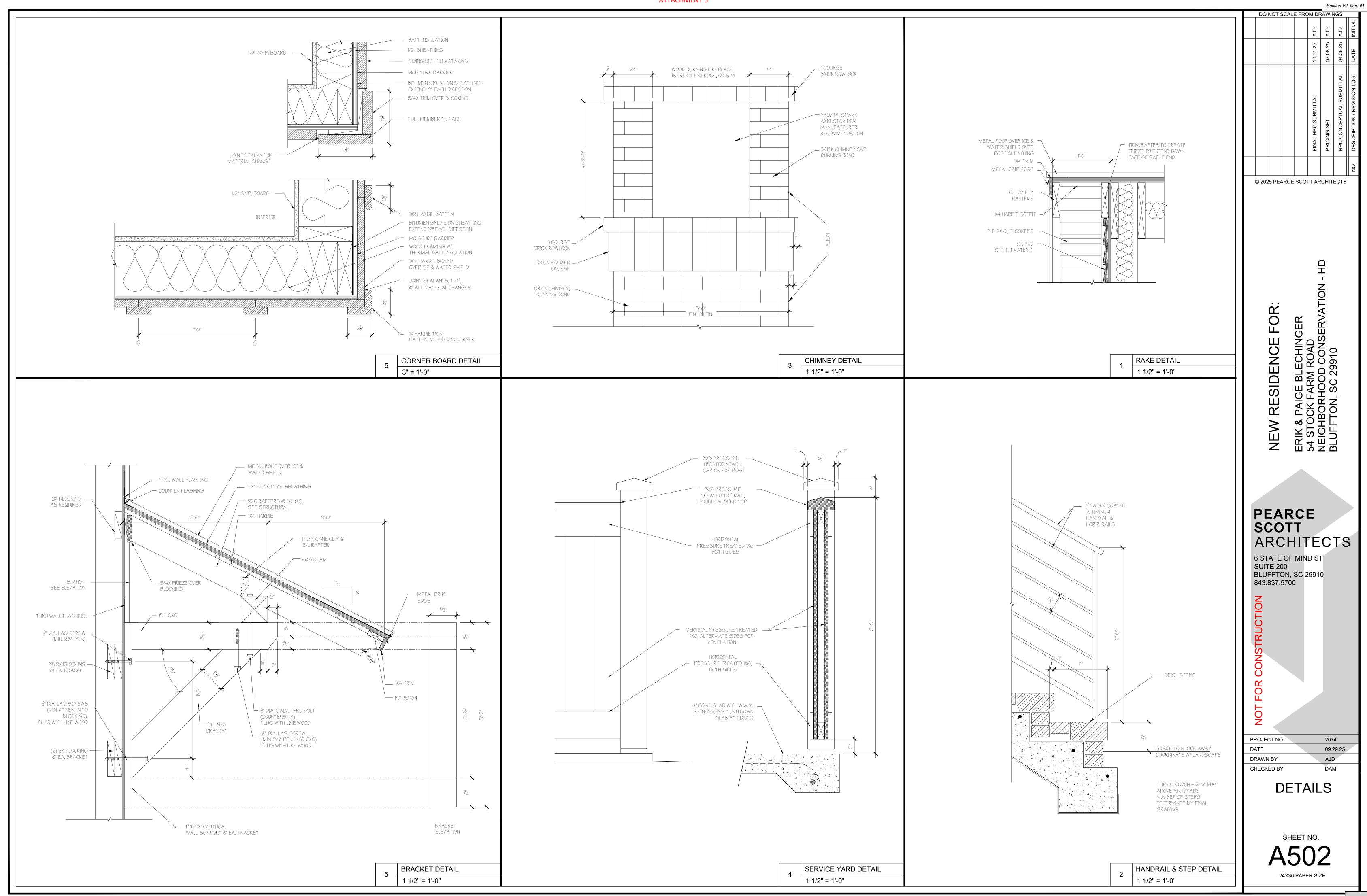
24X36 PAPER SIZE

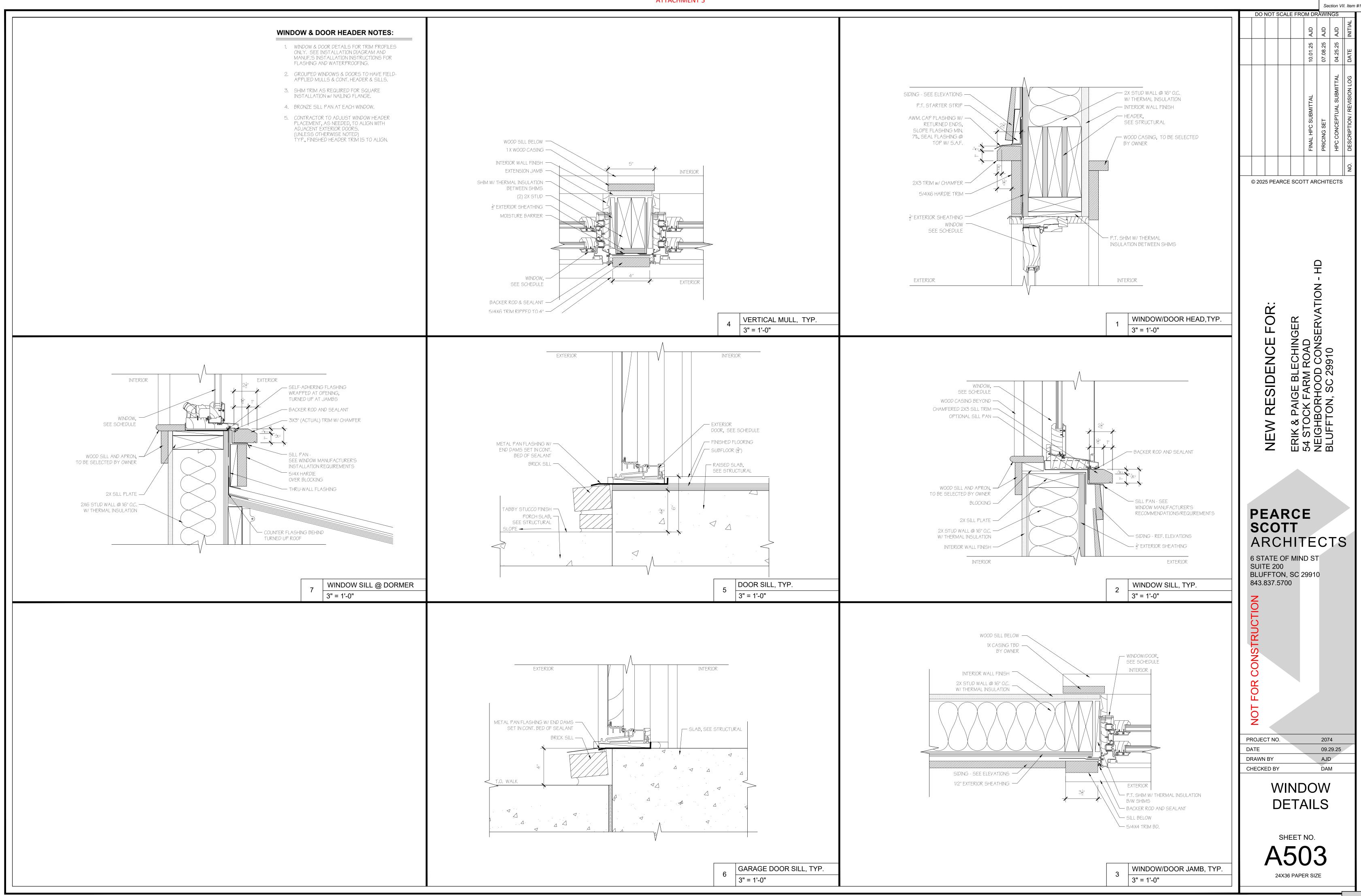
BUILDING SECTION

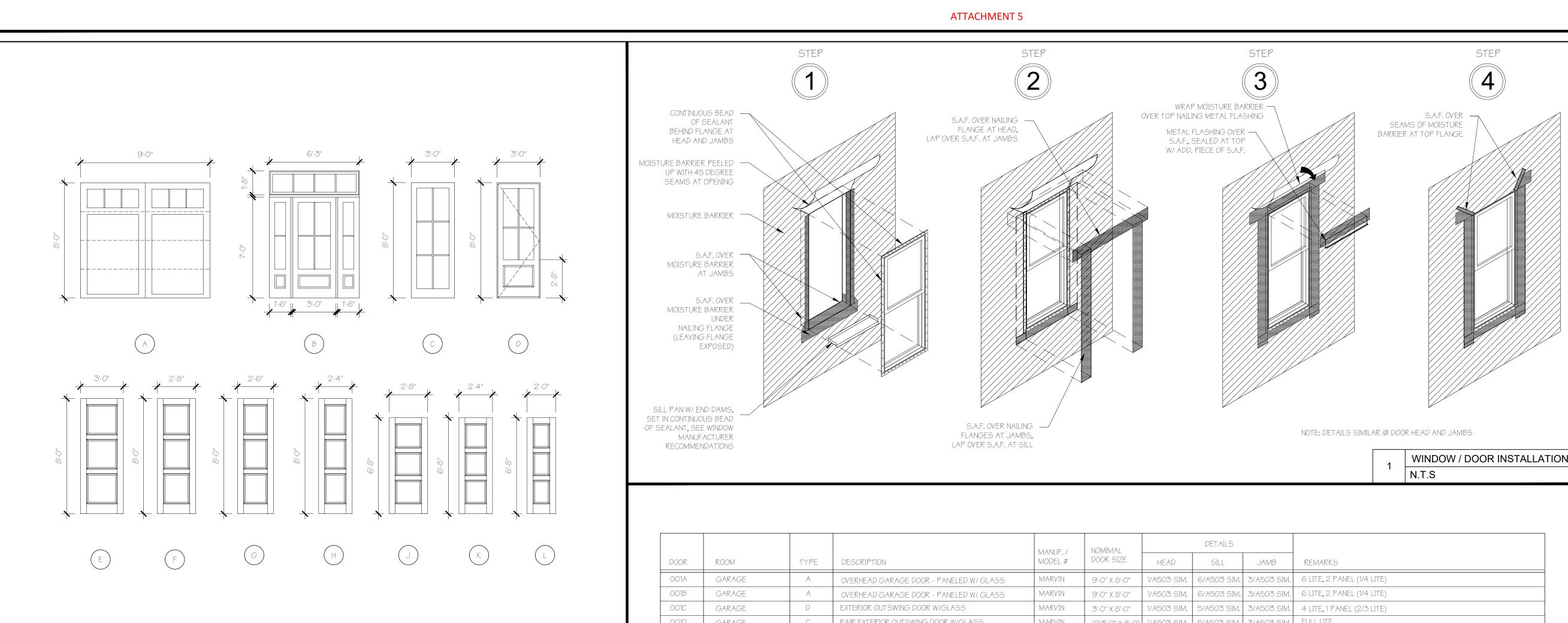
1/4" = 1'-0"











				MANUF./	NOMIMAL		DETAILS		
DOOR	ROOM	TYPE	DESCRIPTION	MODEL #	DOOR SIZE	HEAD	SILL	JAMB	REMARKS
001A	GARAGE	Α	OVERHEAD GARAGE DOOR - PANELED W/ GLASS	MARVIN	9'-0" X 8'-0"	1/A503 SIM.	6/A503 SIM.	3/A503 SIM.	6 LITE, 2 PANEL (1/4 LITE)
001B	GARAGE	Α	OVERHEAD GARAGE DOOR - PANELED W/ GLASS	MARVIN	9'-0" X 8'-0"	1/A503 SIM.	6/A503 SIM.	3/A503 SIM.	6 LITE, 2 PANEL (1/4 LITE)
001C	GARAGE	D	EXTERIOR OUTSWING DOOR W/GLASS	MARVIN	3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	4 LITE, 1 PANEL (2/3 LITE)
001D	GARAGE	С	PAIR EXTERIOR OUTSWING DOOR W/GLASS	MARVIN	(2)3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	FULL LITE
001E	GARAGE	С	PAIR EXTERIOR OUTSWING DOOR W/GLASS	MARVIN	(2)3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	FULL LITE
001F	GARAGE	E	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	3'-0" X 8'-0"				PANEL DESIGN TBD BY CLIENT
101A	ENTRY	В	EXTERIOR MAHOGANY INSWING ENTRY DOOR W/GLASS	MARVIN	3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	
102A	LIVING AREA	F	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 8'-0"				PANEL DESIGN TBD BY CLIENT
103A	EXERCISE ROOM	Н	PAIR INTERIOR MASONITE SOLID CORE DOOR	MASONITE	(2) 2'-4" X 8'-0"				PANEL DESIGN TBD BY CLIENT
104A	DINING	С	EXTERIOR OUTSWING DOOR W/GLASS	MARVIN	3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	FULL LITE
105A	KITCHEN	Е	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	3'-0" X 8'-0"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
107A	SIDE ENTRY	D	EXTERIOR OUTSWING DOOR W/GLASS	MARVIN	3'-0" X 8'-0"	1/A503 SIM.	5/A503 SIM.	3/A503 SIM.	4 LITE, 1 PANEL (2/3 LITE)
108A	POWDER	G	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-6" X 8'-0"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
110A	LAUNDRY	E	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	3'-0" X 8'-0"				PANEL DESIGN TBD BY CLIENT
110B	LAUNDRY	F	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 8'-0"				PANEL DESIGN TBD BY CLIENT
112A	PRIMARY BEDROOM	E	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	3'-0" X 8'-0"				PANEL DESIGN TBD BY CLIENT
113A	PRIMARY WIC	F	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-8" X 8'-0"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
114 A	PRIMARY BATH	G	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-6" X 8'-0"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
114B	PRIMARY BATH	Н	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-4" X 8'-0"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
200A	LOFT/OFFICE	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
200B	LOFT/OFFICE	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
200C	LOFT/OFFICE	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
200D	LOFT/OFFICE	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
201A	BEDROOM 2	L	PAIR INTERIOR MASONITE SOLID CORE DOOR	MASONITE	(2) 2'-0" X 6'-8"				PANEL DESIGN TBD BY CLIENT
201B	BEDROOM 2	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
202A	BEDROOM 2	K	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-4" X 6'-8"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR
203A	BEDROOM 3	L	PAIR INTERIOR MASONITE SOLID CORE DOOR	MASONITE	(2) 2'-0" X 6'-8"				PANEL DESIGN TBD BY CLIENT
203B	BEDROOM 2	J	INTERIOR MASONITE SOLID CORE DOOR	MASONITE	2'-8" X 6'-8"				PANEL DESIGN TBD BY CLIENT
204A	BATH 3	K	INTERIOR MASONITE SOLID CORE POCKET DOOR	MASONITE	2'-4" X 6'-8"				PANEL DESIGN TBD BY CLIENT, POCKET DOOR

WINDOW SCHEDULE

DOOR SCHEDULE

BE PAINT GRADE ENG. CONSTRUCTION, 7/8" RAISED MDF PANEL, QUARTER BEAD STICKING w/ "A-RAISED" PANÉL, FACTORY PRIME INT.

PRE-FINISH.

HARDWARE.

4. INTERIOR TRUSTILE DOOR:

WINDOW NOTES:

1. DESIGN BASED ON MARVIN "ELEVATE" SERIES WINDOWS. ALL WINDOWS TO HAVE SIMULATED

GENERAL WINDOW / DOOR NOTES:

FOR COORDINATION.

ORDERING.

DOOR NOTES:

1. IF DIFFERENT MANUFACTURER THAN SPECIFIED IS USED, CONTACT ARCHITECT IMMEDIATELY

2. IF WINDOW/DOOR SIZES OR LOCATIONS ARE

3. WINDOW/DOOR PACKAGES TO BE SUBMITTED

TO ARCHITECT FOR APPROVAL BEFORE

1. EXTERIOR DOOR DESIGN BASED ON MARVIN

LITES W/ SPACER BARS (SDLS).

ROUGH OPENING REQUIREMENTS.

CLAD SERIES OR CUSTOM WOOD DOORS.

ALL GLAZING TO HAVE SIMULATED DIVIDED

2. REFER TO MANUFACTURER'S SPECIFICATIONS

3. PROVIDE TEMPERED GLAZING AT ALL DOORS

2-PANEL, 13/8" THICK MDF, STILES & RAILS TO

AND SIDE LITES, AS REQUIRED BY CODE.

5. POCKET DOORS TO HAVE FOUR-WHEEL HEAVY

DUTY TRACK ASSEMBLY BY JOHNSON

FOR VARIOUS INTERIOR AND EXTERIOR DOOR

ARCHITECT IMMEDIATELY FOR COORDINATION.

DIFFERENT FROM SCHEDULE, CONTACT

2. ALL WINDOWS ARE TO BE IMPACT RATED FOR HURRICANE PROTECTION, AS REQ. BY CODE.

DIVIDED LITES W/ SPACER BARS (SDLS).

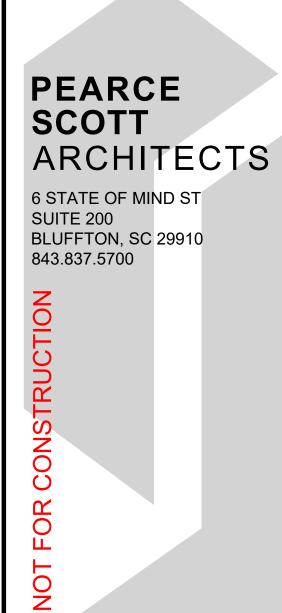
- 3. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQ.
- 4. PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
- 5. VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
- 6. ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
- 7. IF WINDOW MANUFACTURER CHANGES, COORD. W/ ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
- 8. IF WINDOWS ARE GROUPED, MAINTAIN MULL WIDTH PER DETAIL.

IF WINDOWS DO NOT APPEAR ON FLOOR PLAN, TAGS ARE SHOWN ON ELEVATIONS.

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DO NOT SCALE FROM DRAWINGS

OR E BLECHINGER ARM ROAD OOD CONSERVA SC 29910



PROJECT NO. 2074 09.29.25 AJD DRAWN BY DAM CHECKED BY

> WIN. & DOOR SCHEDULES

> > SHEET NO.

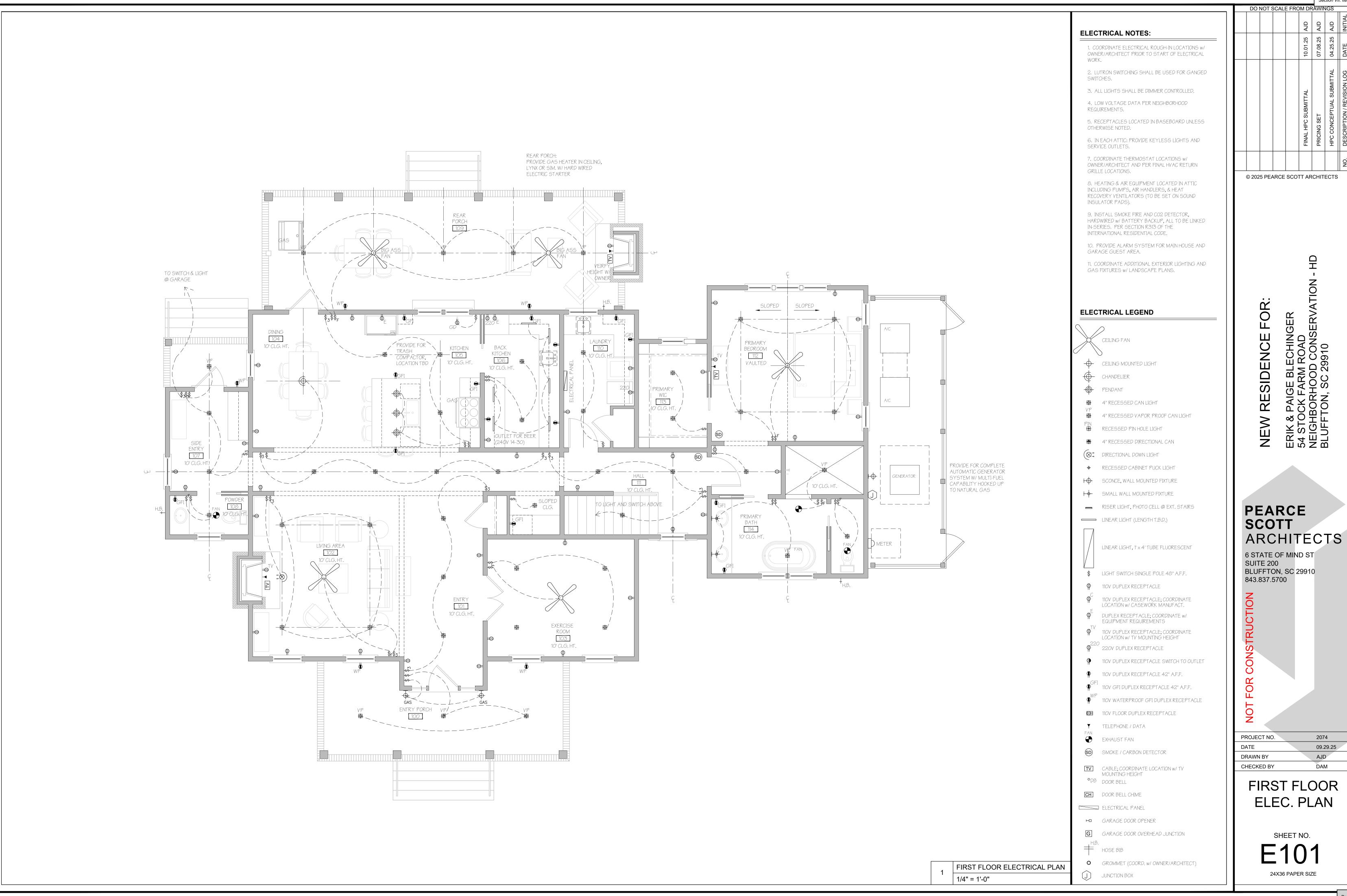
24X36 PAPER SIZE

WINDOW ELEVATIONS

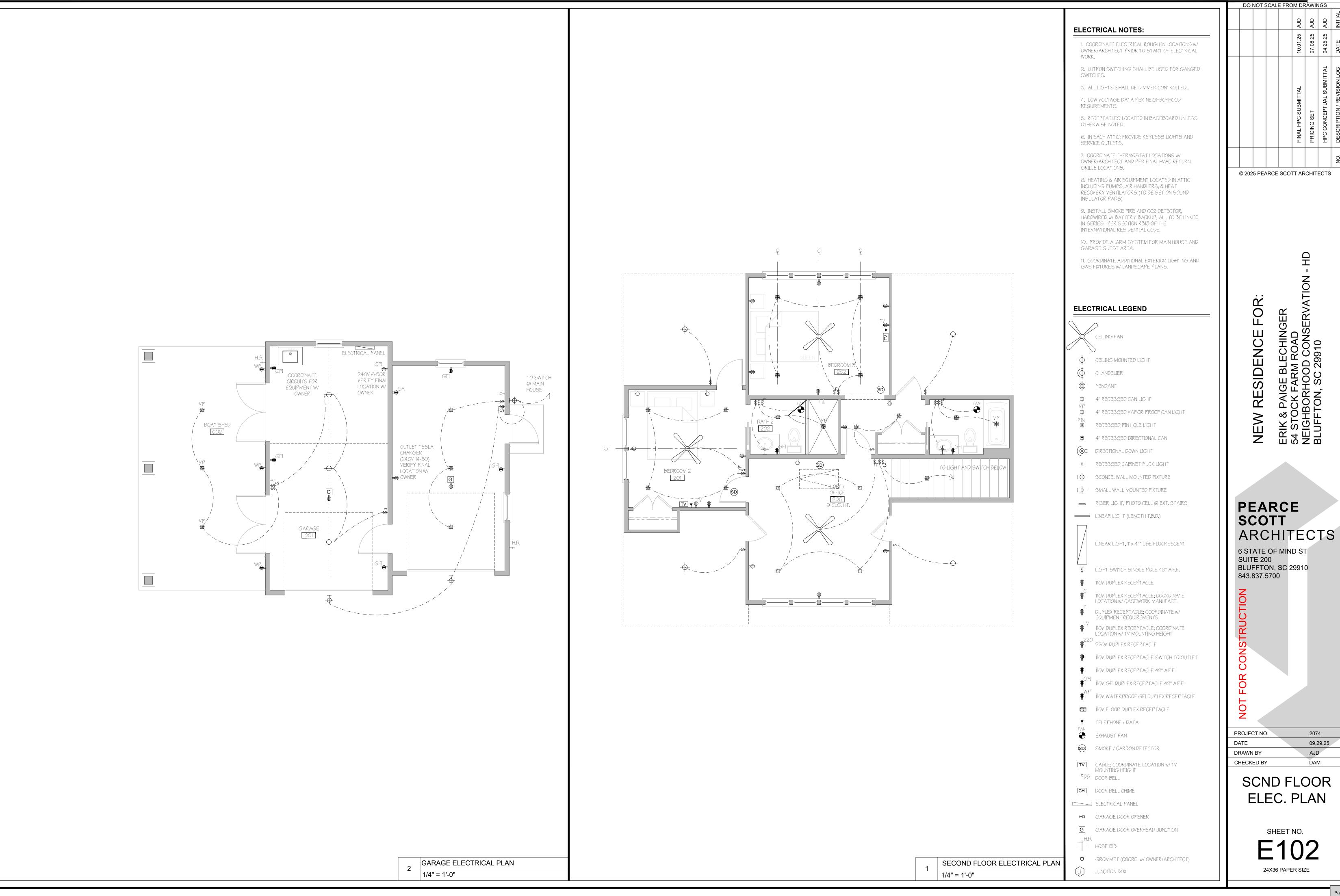
DOOR ELEVATIONS

1/4" = 1'-0"

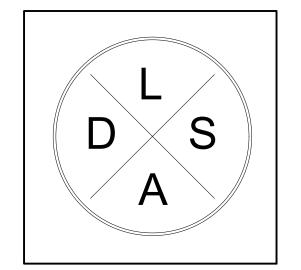
WINDOW DETAILS TYPE | MODEL NO. NOM. FRAME SIZE MANUF. DESCRIPTION LITE CONFIG. JAMB HEAD SILL MULL REMARKS A ELDH 3260 2'-8" X 5'-0" MARVIN ELEVATE CLAD DOUBLE HUNG 2 OVER 2 1/A503 2/A503 3/A503 B* ELDH 3672 E MARVIN ELEVATE 2 OVER 2 1/A503 2/A503 3/A503 4/A503 3'-0" X 6'-0" CLAD DOUBLE HUNG MARVIN ELEVATI CLAD CASEMENT 4 LITE 1/A503 2/A503 3/A503 ELCA 2931 2'-4" X 2'-8" 3/A503 2'-4" X 3'-8" MARVIN ELEVATE CLAD CASEMENT 4 LITE 1/A503 2/A503 ELCA 2943 E MARVIN ELEVATI CLAD CASEMENT 4 LITE 1/A503 7/A503 3/A503 4/A503 ELCA 3343 E 2'-8" X 3'-8" ELCA 3347 E 2'-8" X 4'-0" MARVIN ELEVATI CLAD CASEMENT 4 LITE 1/A503 2/A503 & 7/A503 3/A503 4/A503 3/A503 ELCA 3355 E 2'-8" X 4'-8" MARVIN ELEVATI CLAD CASEMENT 1/A503 4/A503



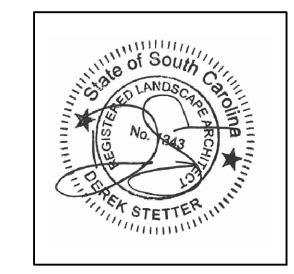
Page 43



BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



PLAN By:
DSLA - LANDSCAPE
ARCHITECTURE
DEREK STETTER
LANDSCAPE
ARCHITECT
843.325.4199



Drawn By: DEREK STETTER

Checked By:

Date: 9.26.25

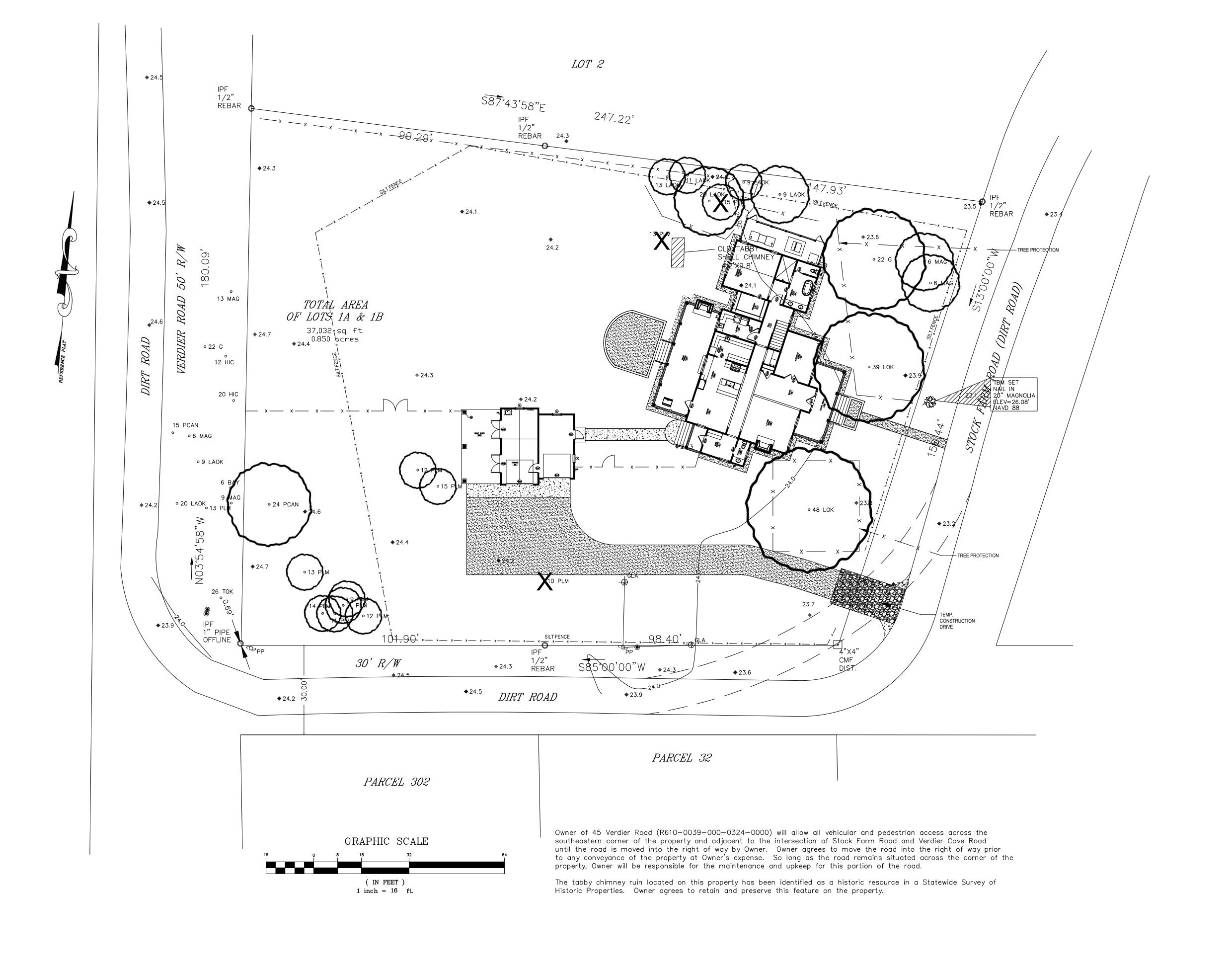
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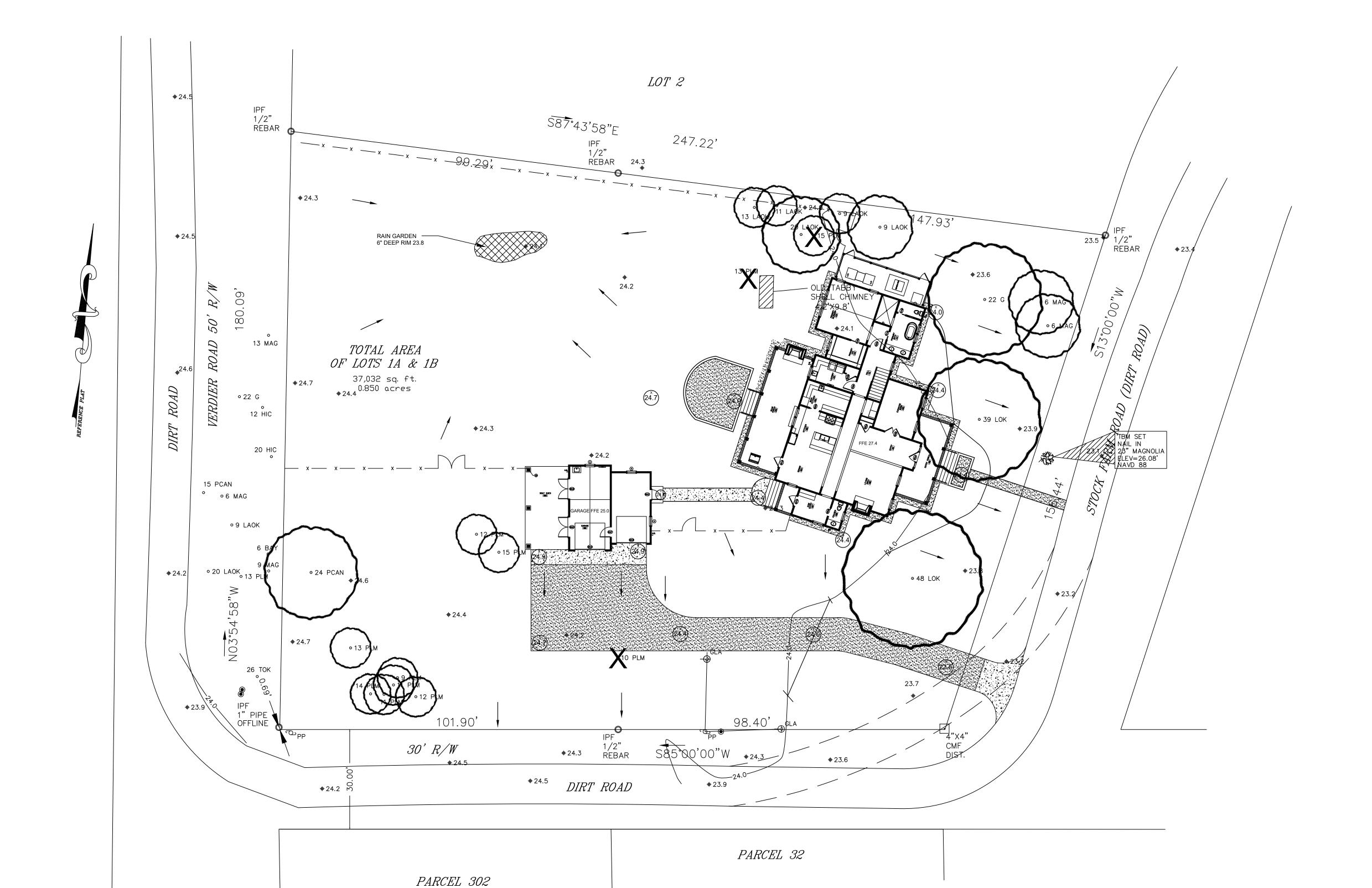
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MOBILIZATION PLAN

Sheet No.: L-001

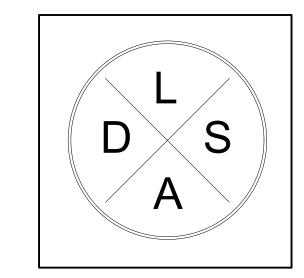




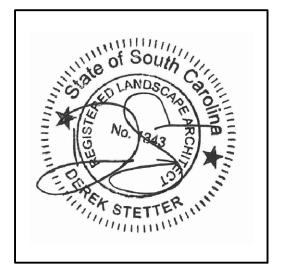
GRAPHIC SCALE

(IN FEET) 1 inch = 16 ft. Owner of 45 Verdier Road (R610-0039-000-0324-0000) will allow all vehicular and pedestrian access across the southeastern corner of the property and adjacent to the intersection of Stock Farm Road and Verdier Cove Road until the road is moved into the right of way by Owner. Owner agrees to move the road into the right of way prior to any conveyance of the property at Owner's expense. So long as the road remains situated across the corner of the property, Owner will be responsible for the maintenance and upkeep for this portion of the road.

The tabby chimney ruin located on this property has been identified as a historic resource in a Statewide Survey of Historic Properties. Owner agrees to retain and preserve this feature on the property. BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



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Date: 9.26.25

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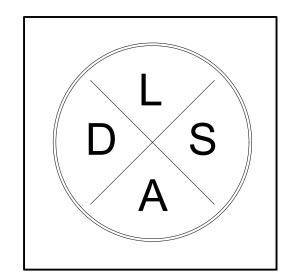
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DRAINAGE PLAN

Sheet No.:

L-002

BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



PLAN By: DSLA - LANDSCAPE ARCHITECTURE DEREK STETTER LANDSCAPE ARCHITECT 843.325.4199



Drawn By: DEREK STETTER

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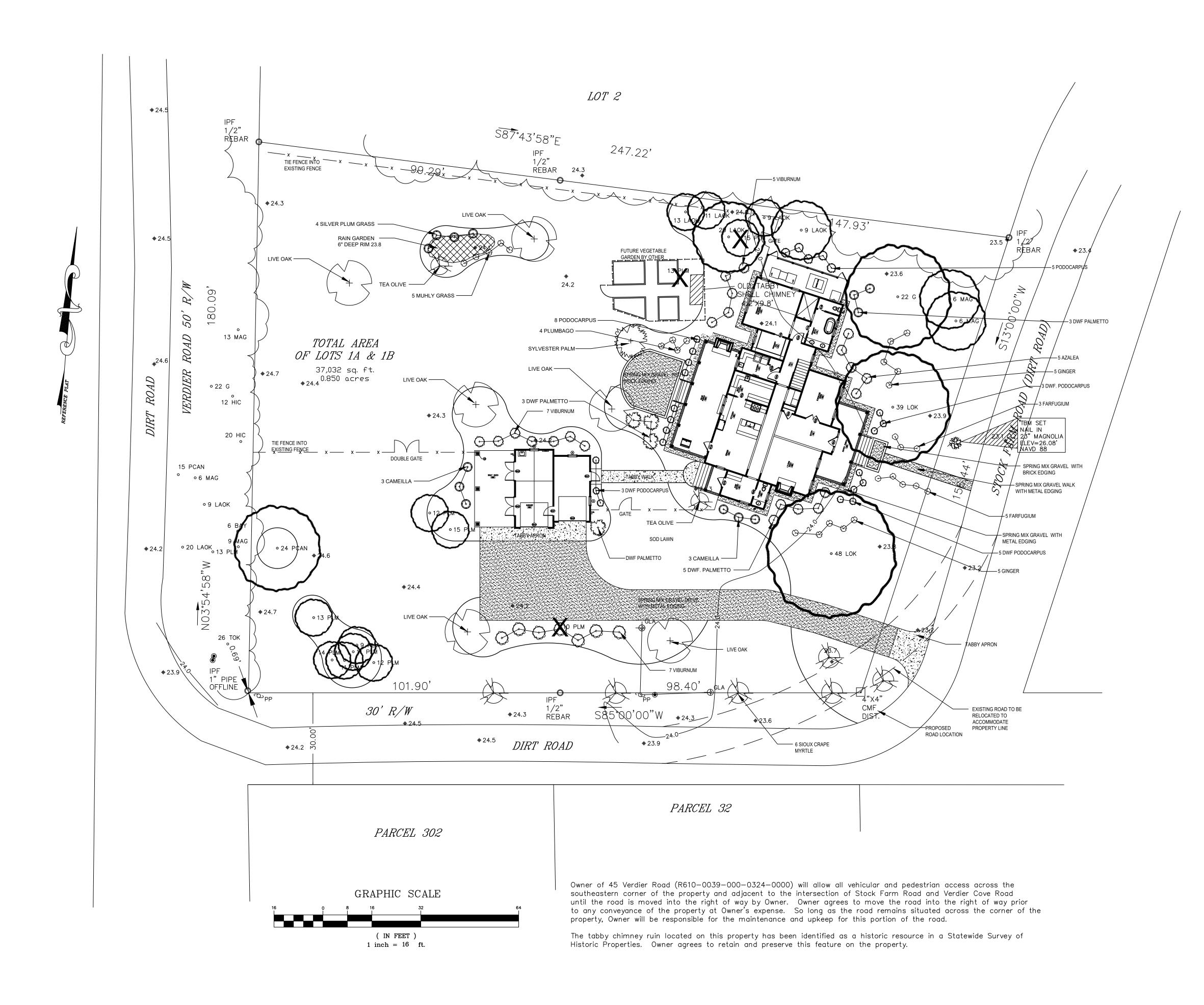
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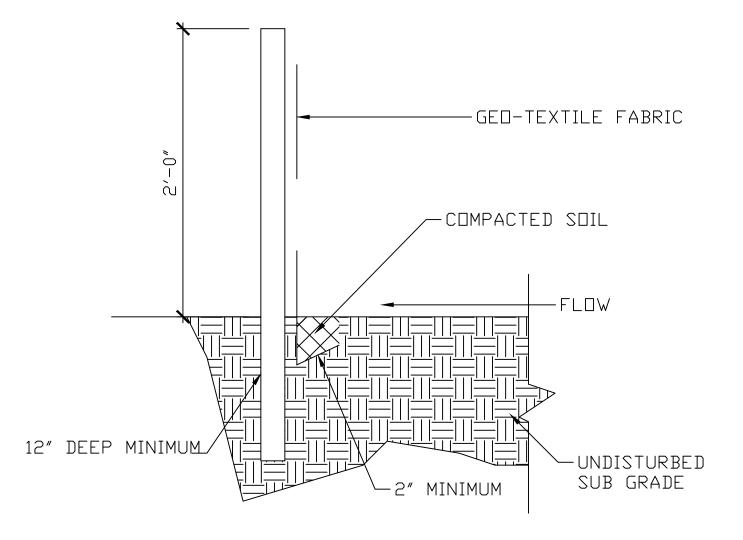
LANDSCAPE PLAN

L-003 Sheet No.:

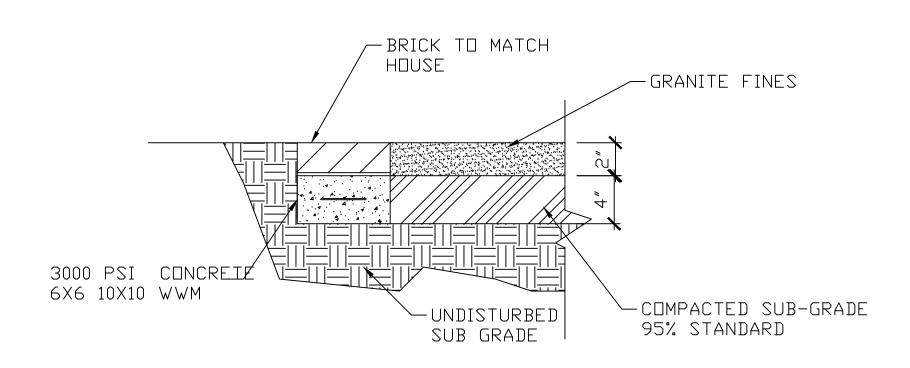


GENERAL NOTES:

- 1. Any changes to these plans must be approved by the Landscape Architect or Owner's representative.
- 2. Landscape Architect or Owner's Representative must be notified of any site condition which may change or modify the plan.
- 3. All landscape and grading areas shall be sloped away from the structure.
- Any discrepancy in site conditions must be brought to the attention of the Landscape Architect.
- 5. Landscape bed lines may be adjusted in the field to tie into any adjacent site as to provide continuity to the landscape design.
- 6. All utilities must be located by the contractor and any damage to these utilities is the contractor's responsibility.
- 7. Contractor to supply irrigation to all planting beds and lawn areas. Irrigation will be below ground and automatic. Irrigation will have 100% coverage in all areas.
- 8. Irrigation head cannot be installed within 10' of the roadway edge.
- 9. All planting beds will be covered with 4" of long leaf needle pine straw or 3" of double shredded mulch (black or brown in color selected by homeowner). Community standards may dictate which material is allowed.
- 10. The planting schedule was prepared for estimating purpose only. The Landscape Architect is not responsible for any discrepancies in the planting schedule and the contractor is responsible for his/her own takeoffs when submitting a bid.
- 11. All trees that need to be staked are the contractors' responsibility.
- 12. The Landscape Architect is not responsible for any discrepancies on the site plan or information on the site plan that was used for the landscape and/or drainage plan.
- 13. Since the Landscape Architect will not be included during the construction phase of the project, interpretation of the drainage plan, specifications, and other instruments of service, this waives any claims against the Landscape Architect for the Contractor's work and performance.
- 14. Some plant material may be poisonous to humans and pets. No part of any plant is meant to be eaten by humans or pets.



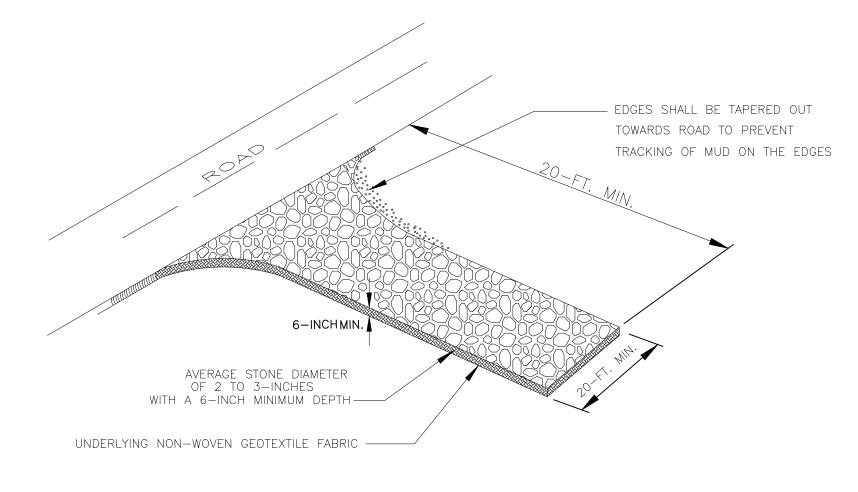
SILT FENCE SCALE: NTS



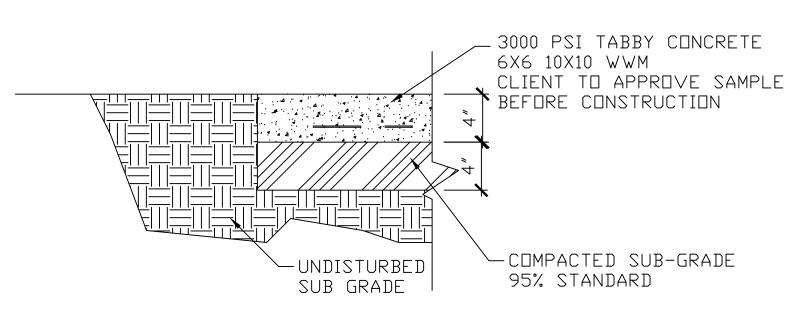
BACK TERRACE/FRONT LANDING SCALE: NTS

DRAINGE PLAN NOTES:

- 1.Construction Drive to be installed by contractor.
- 2.Construction Drive grade to meet up with grade at road.
- 3. Maintain swale in ROW for construction entrance (if applicable).
- 4.Construction entrance to have compacted gravel base.
- 5. Contractor to provide shaker pad at construction entrance (if applicable).
- 6.Tree protection is required to minimize disturbance around all trees in the construction zone. Protection of the trunk and roots will be by post and rail fence 2"x4" posts on 8' centers with 2"x4" rail.
- 7.Swales created to direct water away from house and adjacent properties.
- 8. Swales to be directed toward road or wetland buffer (if applicable). Water will not be directed to adjacent properties. No drainage allowed on adjacent properties owner's side lots.
- 9.Contractor shall provide structural subgrade for drive. Contractor shall adjust grade to provide positive drainage to roadways and natural areas.
- 10. Contractor to supply sleeves under driveway at homeowner's direction.
- 11. Contractor to install silt fence around entire site to prevent any runoff onto adjacent properties. Silt fence should be inspected regularly to ensure fence is installed and working properly.



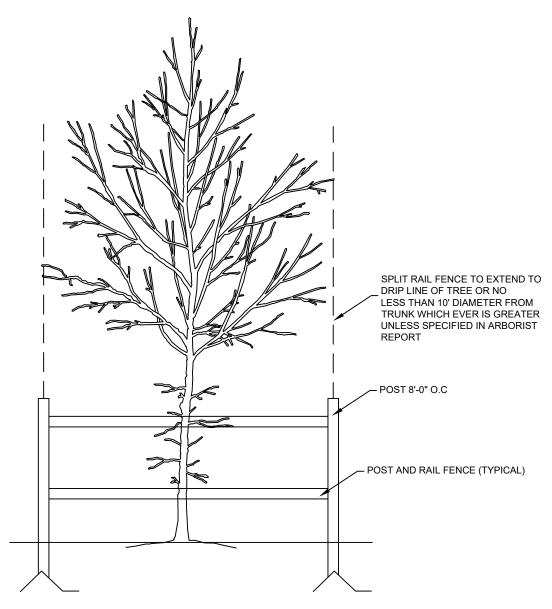
CONSTRUCTION DRIVE SCALE: NTS



APRON/ WALK FROM GARGAGE SCALE: NTS

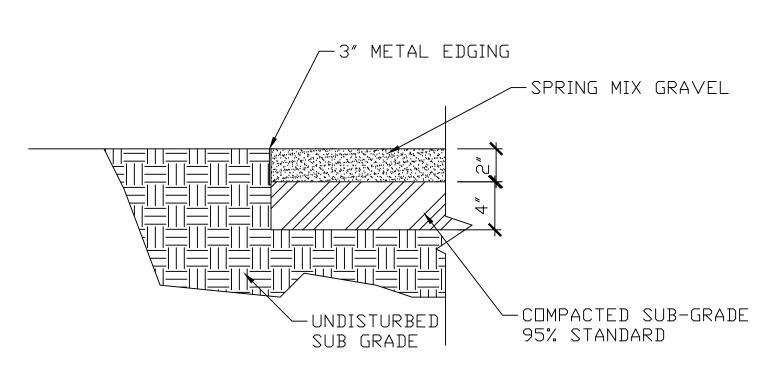
PLANT SCHEDULE

Qty	Botanical Name	Common Name	Size	Height				
Overstory Trees								
6	Quercus virginiana	Live Oak	4"	12-15'				
	_							
Underst	ory Trees							
6	Lagerstroemia indica x fauriei 'Sioux'	Crape Myrtle	# 30	10-12'				
1	Phoenix Sythvetris	Sylvester Palm	# 30	10'				
Shrubs								
13	Podocarpus macrophyllus	Podocarpus	# 7	36"				
12	Sabal Monor	Dwf. Palmetto	#3	18"				
19	Viburnum suspensum	Viburnum	#7	36"				
4	Plumbago auriculata	Plumbago	# 3	12"				
5	Azalea indica 'Encore"	Azalea (pink)	# 7	24"				
2	Osmanthus fragrans	Tea Olive	# 7	36-42"				
6	Camellia sasanqua	Camellia	# 15	3-4'				
11	Podocarpus macrophyllus 'Pringles'	Dwf. Podocarpus	#7	24"				
Groundcover, Perennials, Grasses & Vines								
5	Muhlenbergia capillaris	Pink Muhly Grass	# 3	18"				
8	Farfugium japonicum	Farfugium	# 3	15"				
10	Alpinia zerumbet 'Variegata'	Varigated Ginger	# 3	12-18"				
4	Saccharum alopecuroides	Silver Plume Grass	# 3	24"				



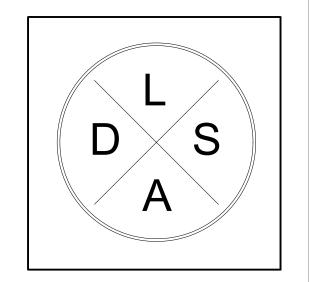
TREE PROTECTION

SCALE: NTS

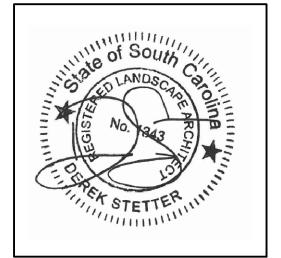


FEONT WALK/ BAND AT FOUNDATION SCALE: NTS

BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



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DEREK STETTER
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ARCHITECT
843.325.4199



Drawn By: DEREK STETTER
Checked By:

Date: 9.26.25

Project No.:

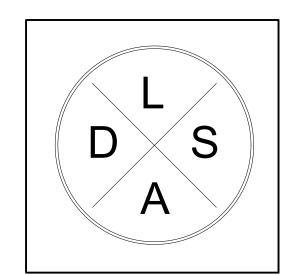
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DETAILS

Sheet No.: L-004

BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



PLANTS IN 2-3" MULCH

6' PONDING DEPTH

10' MIN. FROM
HOUSE FOUNDATION

4-8" BERM PROVIDE
SPILLWAY ALONG
BERM FOR OVERFLOW

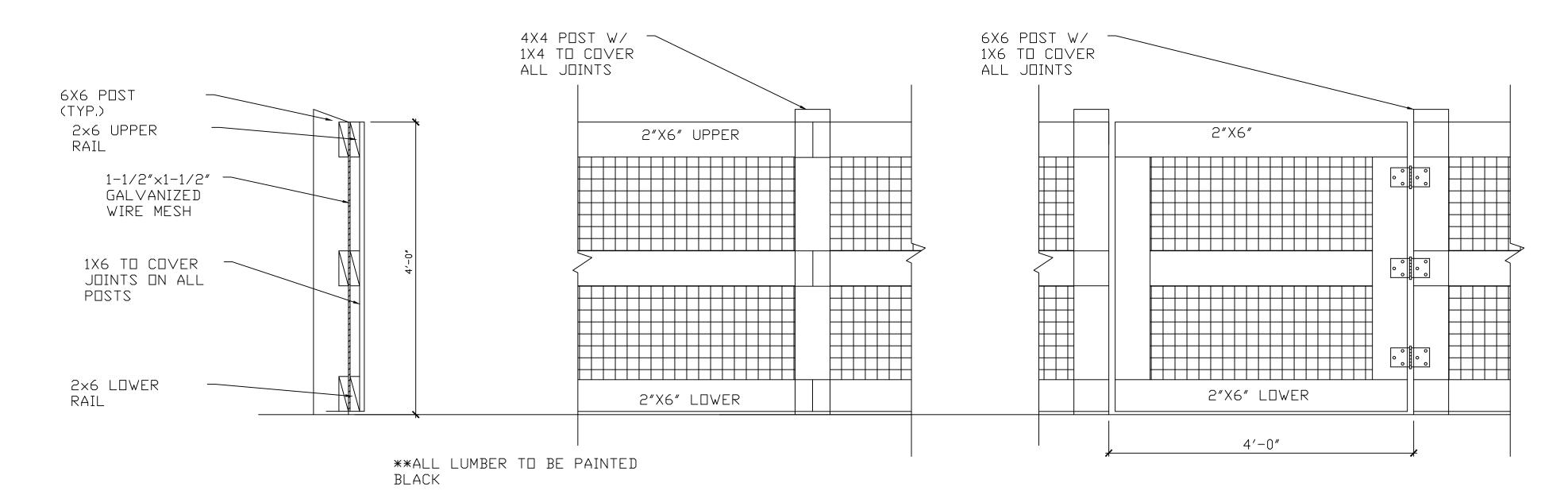
20-30% EXISTING SOIL
20-30% COMPOST
40-60%SAND

SWALE DETAIL SCALE: NTS

SWALE 1% MIN.

FLOW DIRECTED TO SWALE

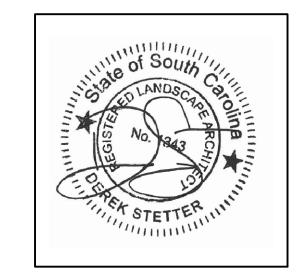
RAIN GARDEN
SCALE: NTS



-6" MAX BERM TO PREVENT WATER FROM BEING DIRECTED ONTO ADJACENT

FENCE DETAIL SCALE: NTS

PLAN By:
DSLA - LANDSCAPE
ARCHITECTURE
DEREK STETTER
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Drawn By: DEREK STETTER

Checked By:

Date: 9.26.25

Project No.:

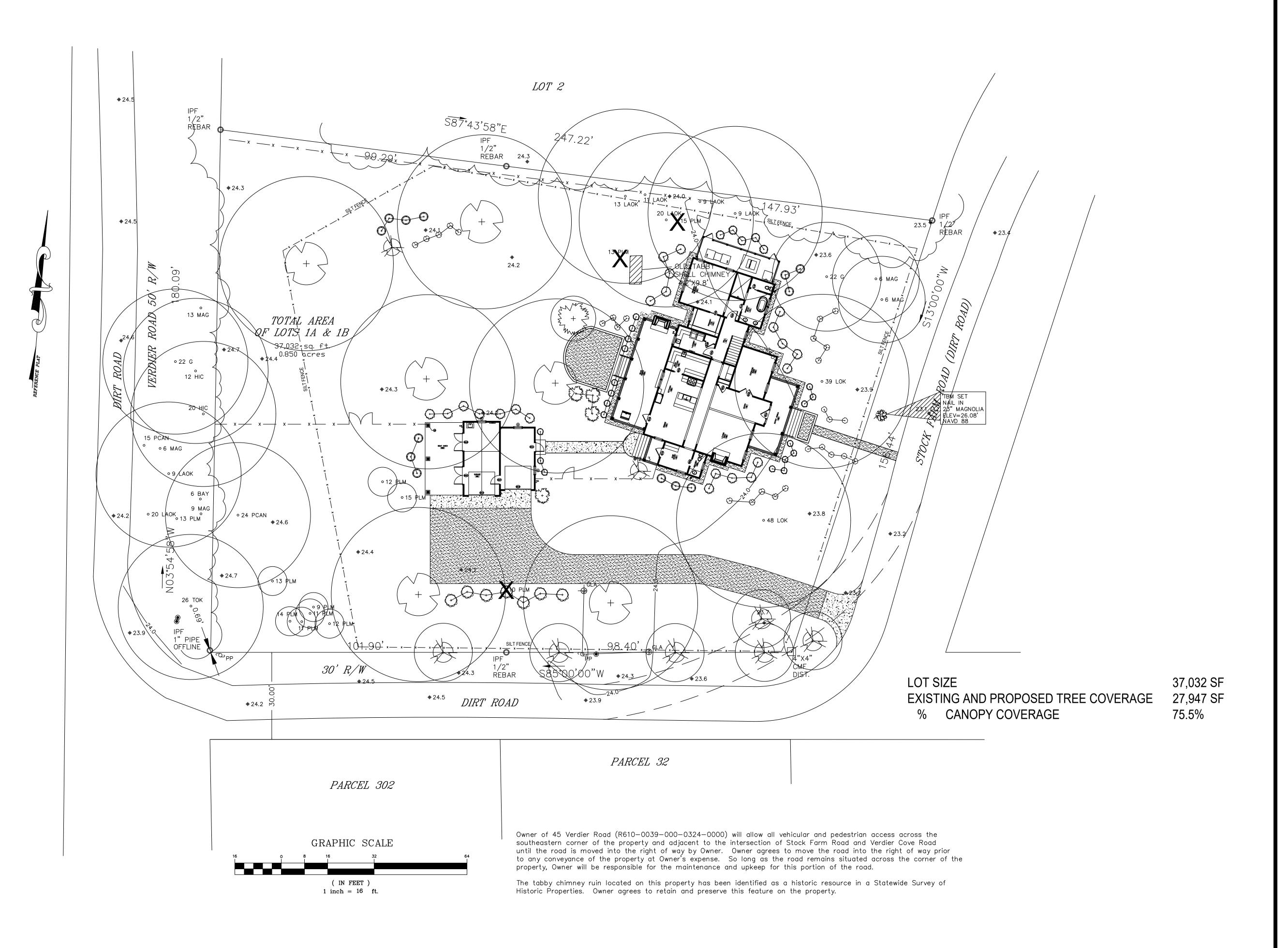
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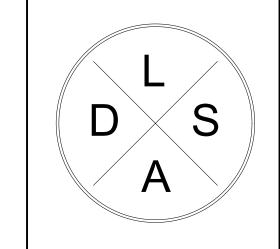
DETAILS

Sheet No.: L-C

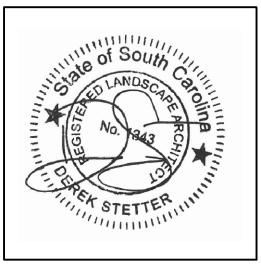
Scale:



BLECHINGER RESIDENCE 54 STOCK FARM ROAD BLUFFTON, SC 29910



PLAN By:
DSLA - LANDSCAPE
ARCHITECTURE
DEREK STETTER
LANDSCAPE
ARCHITECT
843.325.4199



Drawn By: DEREK STETTER

Checked By:

Date: 9.26.25

Project No.:

Drawing Title:

TREE COVERAGE

Sheet No.:

L-00



ATTACHMENT 7 PLAN REVIEW COMMENTS FOR COFA-04-25-019723

Section VII. Item #1.

Town of Bluffton

Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District Apply Date: 04/24/2025

Plan Status: Active Plan Address: 45 Verdier Cove Rd Road

BLUFFTON, SC 29910

Case Manager: Charlotte Moore Plan PIN #: R610 039 000 0324 0000

Plan Description: A request by Amanda Denmark (Pearce Scott Architects), on behalf of the owners, Erik and Paige Blechinger,

for review of a Certificate of Appropriateness-Historic District, to allow construction of a 1.5-story Main Residence (an Additional Building Type) of approximately 3,008 SF and a 1-story detached Carriage House of approximately 602 SF located at 43 Verdier Cove Road (Parcel R610 039 000 0324 0000). The property is in Ole Town Historic District and zoned Neighborhood Conservation-Historic District (NCV-HD). (COFA-04-25-01962)

STATUS (05.10.2025) To be reviewed by at the May 19 HPRC meeting.

Staff Review (HD)

Submission #: 1 Recieved: 04/24/2025 Completed: 05/16/2025

Reviewing Dept. Complete Date Reviewer Status

Growth Management Dept Review 05/16/2025 Charlotte Moore Approved with Conditions

(HD)

Comments:

1. Note: Pre-application meeting was not held.

 Note: Pre-application meeting was not held. ATTACHMENT 7
 See note on plat regarding Stock Farm Road/Verdier Cove location of property—owner responsible for upk not re-established outside of the property boundaries. Proposed driveway overlaps road.

Section VII. Item #1.

- Reviewed as an Additional Building Type with some Center Hall building type characteristics.
- A deviation of unknown distance has been requested in the narrative for the front build-to zone. The required front build-to zone is 10-35' for an Additional Building Type. The 20' building setback identified on the plan is not correct and must be updated on the Final Plan to show the Front Build-to Zone with the deviation needed (if any). (UDO Sec. 5.15.5.D.)
- Explain the future Guest Suite (465 SF) and Porch (65 SF) note for the main house (Sheets A101 and A102). Bedroom 3 lacks a closet.
- The square footages shown in the Impervious Coverage section on the Project Analysis sheet indicate more square footage than is shown in the "Area Calculations" shown on the plans. Update all applicable square footages for correctness.
- 7. Two (2) stories are shown on the plan; the narrative indicates 1.5 stories. Correct for Final Plan and show the number of stories for Carriage House. Provide height to roof ridge for both buildings.
- 8. The Carriage House Front Elevation has a door for the only fenestration on this elevation. Windows on both sides of the door would break up the blank space.
- In the shed dormers, the wall siding appears too wide between the edge of the window jamb casing and corner boards (Traditional Construction Patterns, UDO Sec. 5.15.6.A.). Widening the dormer to add a fifth window could resolve this.
- 10. On the Rear elevation, the double-hung window is not centered between the porch columns and does not align with the windows in the shed dormer. Vertical rhythm must be established in the façade through alignment of windows and columns (UDO Sec. 5.15.5.F.4.d.)
- 11. On the Rear elevation, a small window appears to be a slider, which is not a permitted window configuration (UDO Sec. 5.15.6.I.3.b.). Consider changing this window to match the smaller windows on the Front elevation.
- 12. On the Carriage House, it appears that slider windows are proposed on the Left and Right elevations. Sliders are not permitted configuration per UDO Sec. 5.15.I.
- 13. The metal to be used for the roof and gutters is not identified. Roof material may be galvanized, copper, aluminum or zinc-alum. Gutters may be copper, galvanized steel, aluminum (14-18 gauge). Gutters are not shown on the plan. Show on Final Plan. (UDO Sec. 5.15.6.J.)
- 14. The louvered element under the Carriage House gables seems disproportionately large for the space.
- 15. A fence is shown on the plan but details have not been provided. See UDO Sec.5.15.6.K. for permissible fences, materials and configurations.
- 16. On the Rear elevation, the porch walls appears to have too much black space, and the windows should be aligned between the porch columns and the shed dormer.
- 17. A sidewalk should be provided connecting the front porch stairs to the Stock Farm Road right-of-way.
- 18. Details for the following are needed to ensure compliance with the specified UDO section:
- Floor Height Plan to confirm compliance with floor height requirements (UDO Sec. 5.15.6.E.5.F.1.d.)
- Service Yard Details (UDO Sec. 5.15.5.10.). Show location for the Carriage House, if applicable. Provide screening details for Main House service yard and size accordingly for all service equipment. Electric meters must be screened.
- Columns: See UDO Sec. 5.15.6.H.
- Hand Rails: See UDO Sec. 5.15.6.H.
- Windows: See UDO Sec. 5.15.6.I. Show operations and provide window schedule. e.
- Doors: See UDO Sec. 5.15.6.I. Show material, operations and provide door schedule, including for garage doors. f.
- Shutters: Show compliance with UDO Sec. 5.15.6.M., including shutter dogs.
- Provide a section showing architectural detail through the wall and eave that demonstrates compliance with water table (UDO Sec. 5.15.6.N.), cornice, soffit, and frieze requirements (UDO Sec. 5.15.6.P.).
- Elevations in the recessed areas (the hyphen) are not shown. Provided details.
- Brackets: Provide dimensioned details for the Carriage House brackets. į.
- Fence: See UDO Sec. 5.15.6.K.
- 19. Provide a Landscape Plan with the Final Plan, showing the main house and Carriage House, noting requirement foundation plantings (UDO Sec. 5.3.7.E.) that includes a planting area of at least eight feet along the Front elevation. Large trees are required to be planted along the street no more than 50 feet apart (UDO Sec. 5.3.7.A.1.). A 75% tree canopy coverage at maturity is required (UDO Sec. 5.3.3.G.1.). If any trees are proposed to be removed at are 14" or more in diameter at breast height, a Tree Removal Permit will be required. Include proposed driveway material.
- 20. Note: The existing tabby shell chimney has been identified as a historic resource in a Statewide Survey of Historic Properties.

HPRC Review 05/16/2025 Sam Barrow Approved with Conditions

Comments:

- The (2) hip roofs look a little foreign to the massing of the house. Every other roof configuration is shed or gable end.
- The back wall on the porch appears too blank; windows in the laundry room or back kitchen would help.
- Can the kitchen window be centered between the columns?

Watershed Management Review 05/16/2025 Samantha Crotty Approved with Conditions

Comments:

Comments may be provided at time of building permittetormwater permit-review.

Beaufort Jasper Water and Sewer 05/16/2025 Matthew Michaels

Review

Comments:

Comments may be provided upon final submission.

Transportation Department 04/28/2025

Review - HD

Comments:
No comments

. . .

04/28/2025 Mark Maxwell

Approved

Approved

Section VII. Item #1.

Plan Review Case Notes:







HISTORIC PRESERVATION COMMISSION

Section VII. Item #2.

STAFF REPORT

Department of Growth Management

MEETING DATE:	November 5, 2025
	COFA-03-25-019657
PROJECT:	36 Wharf Street
	Two-story Carriage House – New Construction
APPLICANT:	Jamie Guscio (Kingfisher Construction)
PROPERTY OWNERS:	Kathy Barbina and Tim Harris
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Jamie Guscio (Kingfisher Construction), on behalf of Kathy Barbina and Tim Harris, Owners, requests that the Historic Preservation Commission approve the following:

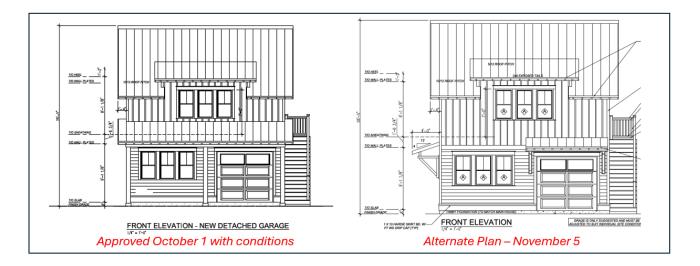
An amended Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new 2-story carriage house of 1200 square feet. The property is in Old Town Bluffton Historic District, and zoned Neighborhood General-HD (NG-HD).

BACKGROUND: This application was heard and approved with conditions at the October 1, 2025 HPC meeting. The conditions included the following:

- Correct the porch foundation and design the porch columns to be no farther apart than they are tall and to not overhang the porch foundation (UDO Sec. 5.15.6.H.). The spacing of the columns is to be modified by doubling the columns in the center of the bay, and by moving the outside columns inward. Window and doors are to be recentered in the bays.
- 2. Provide a door and window schedule on the plans.
- 3. Show that a minimum of 75% tree canopy coverage at maturity will be provided for the entire lot, not to include roofs (UDO Sec. 5.3.3.G.1.).
- 4. Provide details for the porch, eave, beam, foundation, service yard, stair and railings to show compliance with the UDO.
- 5. Show the lower bearing of the main roof.

After the meeting, the owners reevaluated the porch and determined that an alternative approach would be more desirable, thus the amendment of the approved Final Plan. This amendment was not reviewed by the Historic Preservation Review Committee.

The graphic below shows the front elevation of the carriage house as presented to the HPC on October 1 (left) and the alternate amended elevation (right). The porch and columns have been removed and replaced with an eyebrow roof supported by brackets over the garage door. Additionally, an eyebrow roof is shown over the ground floor entry door on the left side of the carriage house.



Regarding conditions #2 through #5, all information has been provided except the following:

- 1. Identification of the door and window materials in the door and window schedules.
- 2. Demonstration that a minimum of 75% tree canopy coverage at maturity will be provided for the entire lot, not to include roofs (UDO Sec.5.3.3.G.1.).

The Final Plan was initially reviewed at the August 6 HPC meeting and tabled by the applicant to the October 1 meeting to allow revisions to be made. This amendment is the third HPC review of the Final Plan.

INTRODUCTION: The proposed carriage house is a 2-story structure under a side-facing gable roof with two shed dormers and will include a second-story residence over a one-bay garage. The ground floor will serve as a combination of garage, and home office and gym with a full bathroom. As one accessory dwelling is permitted per lot, the ground floor space would not be able to serve as an additional residence or short-term rental in the future.

The carriage house features cementitious lap and board and batten siding, cementitious trim, a 5-V crimp roof, vinyl single-hung windows, metal doors and a turned down slab that will include a tabby finish to match the foundation of the main house.

Regarding the existing trees: concern was expressed at the August 6 HPC meeting that two trees (a 13" DBH gum and 40" DBH water/laurel oak) would be removed. The attached arborist's report, not available at that time, states that the oak is "showing signs of Phytophthora canker as well as crown die-back" (Attachment 11). The gum tree is healthy. A Tree Removal Permit has been submitted for both these trees and third tree (a 20" DBH willow oak) in the side yard of the main house. The permit has not yet been approved as additional information is needed and the COFA is not yet approved.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec. 3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

- 1. <u>Section 3.18.3.B.</u> Consistency with the principles set forth in the Old Town Master Plan.
 - a. <u>Finding</u>. The Old Town Master Plan states that "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."
 - Old Town Bluffton Historic District is a locally designated historic district. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met
 - b. <u>Finding</u>. The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.
- 2. <u>Section 3.18.3.C.</u> The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

<u>Findings.</u> Town Staff finds that if the conditions noted below are met, the proposed carriage house will be in conformance with applicable provisions provided in Article 5.

- 1) Eyebrow Roof: The proposed eyebrow roof is provided only over the garage bay, roughly half the width of the front elevation. This design seems to emphasize the garage door, and it creates an asymmetrical and overly vertical appearance on the left side of the front elevation. Extending the eyebrow roof across the width of the building together with proportional bracket placement could eliminate this concern and provide a better visual relationship with the shed dormer.
- 2) **Doors and Windows:** Identify the door and window materials in the door and window schedules to confirm consistency with materials permitted by UDO Sec. 5.15.6.I.
- 3) **Tree Canopy Coverage:** Tree canopy coverage to be provided after the carriage house and related improvements are constructed is not shown. The canopy coverage must be a minimum of 75% at time of tree canopy maturity excluding rooftops (UDO Sec. 5.3.3.G.1.).
- 3. <u>Section 3.18.3.D.</u> Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

<u>Finding.</u> Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood if revisions are made to address the applicable items in #2.

4. <u>Section 3.18.3.F.</u> The historic, architectural, and aesthetic features of the structure, including the extent to which its alteration or removal would be detrimental to the public interest.

<u>Finding</u>. If the conditions #2 of this report are met, the proposed plans would be sympathetic in design to the neighboring historic and non-historic resources; therefore, the carriage house with the recommended revisions would appear to not adversely affect the public interest.

5. <u>Section 3.18.3.H.</u> The application must comply with applicable requirements in the Applications Manual.

<u>Finding.</u> The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

- 1. Extend the eyebrow roof across the width of the building with brackets spaced proportionally.
- 2. Identify door and window materials in the door and window schedules.
- 3. Show that a minimum of 75% tree canopy coverage at maturity will be provided for the entire lot, not to include roofs (UDO Sec.5.3.3.G.1.).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

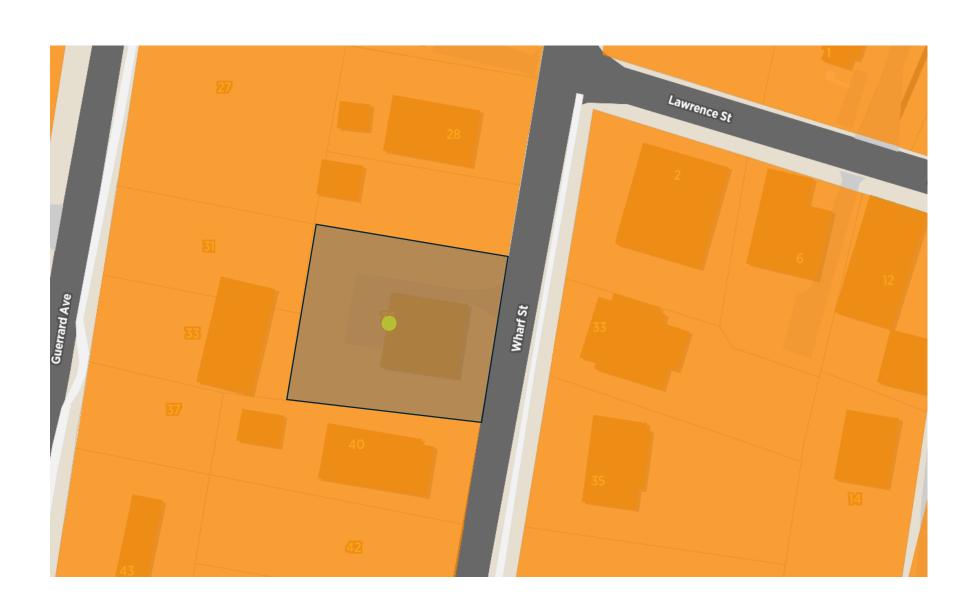
- 1. Approve the application as submitted by the Applicant;
- 2. Approve the application with conditions; or
- 3. Deny the application as submitted by the Applicant.

- 1. Location and Zoning Map
- 2. Application
- 3. Narrative
- 4. As-Built Survey and Site Plan
- 5. Photos-Existing House
- 6. Alternate Plan 10.22.2025
- 7. Photos-Trees to be Removed
- 8. Tree Permit (with additional photos)
- 9. HPR Comments 04.14.2025
- 10. Previous Plan (HPC Review 10.01.2025)
- 11. Arborist Report

LOCATION & ZONING MAP

36 Wharf Street

Neighborhood General-HD District





TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESSOLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

		Property Ov	wner	
Name: Kingfisher Construction	Name: Kathy Barbina/Tim Harris			
Phone: 843-368-3905	Phone: 808-351-7813			
Mailing Address: 56 Calhoun Street Bluffton	Mailing Address: 36 Wharf Street Bluffton			
E-mail: jamie@kingfishercc.com	E-mail: kathy.barbina@charter.com			
Town Business License # (if applicable): 24-05-3257				
Project Information (tax map info a	vailable at http://www	v.townofbluffto	n us/man/\	
Project Name: 36 Wharf Carriage	Conceptual:	Final: X	Amendment:	
Project Address: 36 Shraf Street	Tanonament L			
Zoning District: NG-HD	Application for: New Construction Renovation/Rehabilitation/Addition Relocation			
Acreage: .1910				
Tax Map Number(s): R610 039 00A 041				
Minimum Poquiros	mante for Cub.			
Minimum Requirer 1. Mandatory Check In Meeting to administratively revenues place prior to formal submittal. 2. Digital files drawn to scale of the Site Plan(s). 3. Digital files of the Architectural Plan(s). 4. Project Narrative describing reason for application at 5. All information required on the attached Application 6. An Application Review Fee as determined by the Toto to the Town of Bluffton.	riew all items required	for conceptua	ticle 3 of the UDO.	
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Section VII. Item #2.



TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS — OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW	N PHASE		CONCEPTUAL REVIEW	FINAL REVIEW
2. SITE DATA				
Identification of Prop	oosed Building 7	Type (as defined in	CAMPOO	
Building Setbacks	Front: _	Rear: 5'	Rt. Side: 51	Lt. Side:
3. BUILDING DATA				
Building Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage	Proposed Square Footage	
Main Structure				
Ancillary	Carriag	e	NA	nov.
Ancillary	Conj		7 47 1	
4. SITE COVERAGE	3			
Impe	rvious Covera	ge	Covera	age (SF)
Building Footprint(s)				
Impervious Drive, W	alks & Paths			
Open/Covered Pation	S			
A. TOT	AL IMPERVIO	OUS COVERAGE		
	B. TO	TAL SF OF LOT		
% C	OVERAGE OF	LOT (A/B= %)		
5. BUILDING MAT	ERIALS			
Building Element		s, Dimensions, Operation	Building Element	Materials, Dimensions, and Operation
Foundation	Tuenedd	own slas tally	Columns	PT wood - 6x6.
Walls	2x6 eferors	rome - Sob/Lap of	Windows	single hung viny
Roof	5V metal g		Doors	metal
Chimney			Shutters	NA
Trim 1x6 hardis //x4hardis		Skirting/Underpinning	Na	
Water table	1x/U hard	hi	Cornice, Soffit, Frieze	Macrie w/exposed At
Corner board	holo hard		Gutters	Macrie in/exposed of to NA DALTON-METAL
Railings	Zxle pt		Garage Doors	DALTON-MOTAL
Balusters 2x2 pt		Green/Recycled Materials		
Handrails	1.11 06		o. co., reception reactions	

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ATTACHMENT 2 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

At a minin proposed	num, the	of Appropriateness application information will vary depending on the activities proposed. following items (signified by a grayed checkbox) are required, as applicable to the
Concept	Final	BACKGROUND INFORMATION.
		COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A competed and signed application providing general project and contact information.
		PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
		PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
		DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
		ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
		LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
		 PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and North arrow, graphic scale, and legend identifying all symbology.
		 SITE PLAN: Showing layout and design indicating, but not limited to: All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; Pedestrian circulation elements and ensuring design shows ADA accessibility compliance Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.

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ATTACHMENT 2

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

		PHOTOS: Labeled comprehensive color photograph documentation of the property, all					
	ш	should be at a minimum of 300 dpi resolution.					
Concept	Final	ARCHITECTURAL INFORMATION.					
		CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.					
		FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).					
		appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.					
		ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.					
		MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.					
Concept	Final	LANDSCAPE INFORMATION.					
		TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.					
		LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.					
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).					
		FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.					
f processin	e below that faile g my ap Propert	IGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL I certify that I have reviewed and provided the submittal items listed above. Further, ure to provide a complete, quality application or erroneous information may result in the delephication(s). 3-17-2035 by Owner or Authorized Agent Date					
inted Nam	e of Pro	perty Owner or Authorized Agent					
gnature of	Applicar	3.5-25					
11	ES 6	Date					
rinted Nam		Account M.					

Proposed Construction 36 Wharf Carriage

A Thoughtful Design for Multi-Generational Living

We are excited to propose the construction of a 1200 square foot carriage house, a versatile and functional space designed to meet the needs of a growing and multigenerational family. This thoughtfully planned structure will offer a perfect blend of practicality and comfort, providing ample space for both daily activities and leisure pursuits.

Ground Floor Design

The ground floor of the carriage house will serve multiple purposes, combining essential facilities into a cohesive and efficient layout. Upon entering, you will find a spacious garage, ideal for vehicle storage and additional storage needs. The garage area is designed to accommodate contemporary vehicles while also providing space for bicycles, tools, and other miscellaneous items.

Home Office

Adjacent to the garage, a dedicated home office will be created, offering a serene and focused environment for work or study. In today's fast-paced world, the importance of a quiet and well-equipped workspace cannot be overstated. This office will be equipped with modern amenities, including high-speed internet access, adequate lighting, and ergonomic furniture to ensure productivity and comfort.

Gym

For those who value health and fitness, the carriage house will include a home gym. This space will be tailored to meet various exercise needs, featuring equipment such as treadmills, weights, and yoga mats. The inclusion of a gym within the home ensures that fitness can be seamlessly integrated into daily routines, promoting a healthy lifestyle for all family members.

Bathroom

Convenience is a priority, and the ground floor will also house a fully functional bathroom. This ensures that whether you're working in the office, exercising in the gym, or simply spending time in the garage, you have easy access to necessary facilities. The bathroom will be designed with modern fixtures, ensuring both comfort and style.

Second Floor Design

The second floor of the carriage house will be dedicated to creating a cozy and self-sufficient living space. This one-bedroom apartment will serve as an ideal residence for a family member or guest, providing privacy while still being connected to the main household.

Living Area

The living area will be an open-plan space, integrating the kitchen, dining, and lounging areas. This design promotes a sense of openness and community, making it perfect for small gatherings and daily interactions. The kitchen will be equipped with modern appliances, ample counter space, and storage solutions to meet the needs of any home cook.

Bedroom

A comfortable bedroom will be the highlight of the second floor, offering a tranquil retreat for rest and relaxation. The room will be designed with attention to detail, featuring adequate closet space, large windows for natural light, and a calming color palette to enhance the sense of peace and comfort.

Bathroom

In addition to the bedroom, the apartment will include a separate bathroom, ensuring convenience and privacy for its occupants. The bathroom will be equipped with contemporary fixtures, providing a luxurious experience in a compact space.

The Versatility of Multi-Generational Living

The combination of two families necessitates thoughtful and efficient use of space. The construction of this carriage house addresses the need for additional living areas while fostering a sense of togetherness. The proposed design ensures that all members of the family have access to the facilities they need, while also allowing for personal space and privacy.

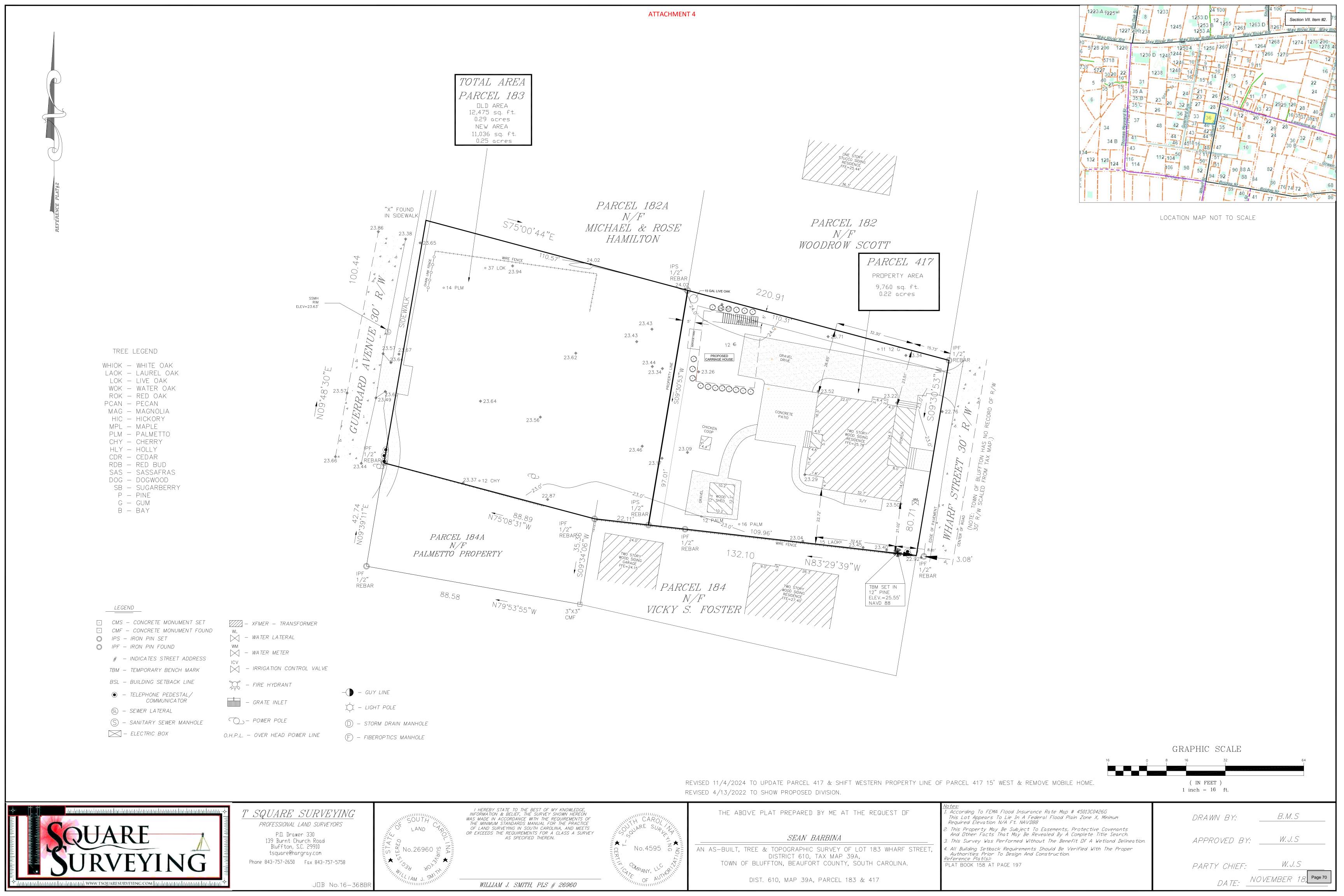
Benefits of the Carriage House

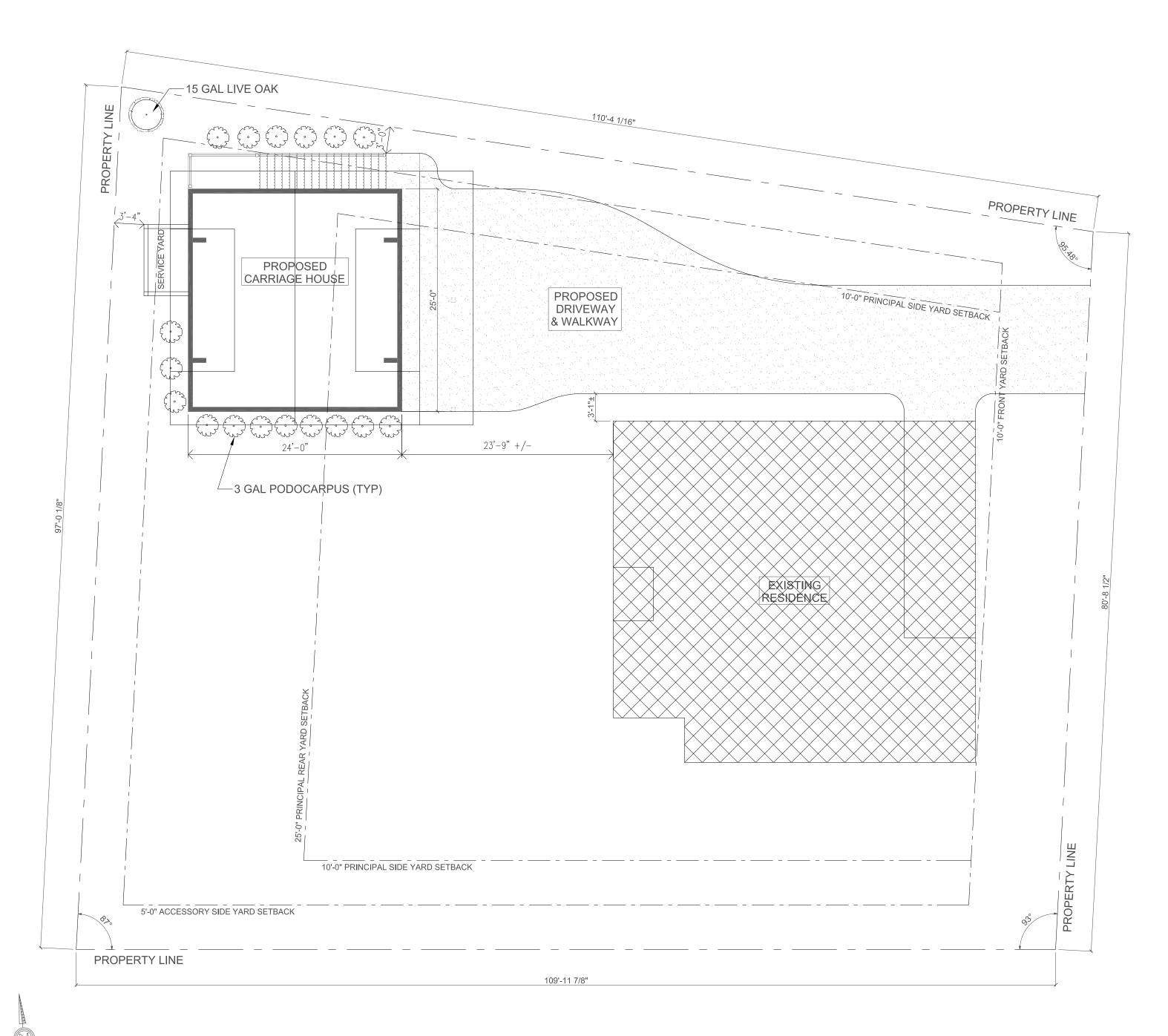
- Enhanced family bonding through shared spaces and activities
- Increased property value with the addition of versatile living quarters
- Flexibility to adapt the space for future needs, such as guest accommodations or rental opportunities

• Improved quality of life with dedicated areas for work, exercise, and relaxation

Conclusion

The proposed construction of a 1200 square foot carriage house is a forward-thinking solution to the challenges of multi-generational living. By providing functional spaces for work, fitness, and living, this carriage house will meet the needs of all family members, enhancing their quality of life and fostering a harmonious living environment. We look forward to seeing this vision come to fruition and to the many benefits it will bring to the family.





SITE PLAN

SCALE: 1/8" = 1'-0"

SURVEYOR TO CONFIRM ALL

DIMENSIONS, LOT ANGLES, SETBACKS

AND LOCATION OF EASEMENTS.

REVISION	DATE		tion VII. Item #2.	
REVISION #1	12/12/2024		KJC	
REVISION #2	12/18/2024		KJC	
REVISION #3	12/21/202	12/21/2024		
REVISION #4	01/08/202	01/08/2025		
REVISION #5	01/14/2025		KJC	
REVISION #6	01/19/2025		KJC	
REVISION #7	01/28/2025		KJC	
REVISION #8	02/05/202	KJC		
REVISION #9	02/08/2025		KJC	

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Since 1949

Head Office: Highway 16 West & RR 15 Mail: 6609-44 St., Lloydminster, AB T9V 2X1 www.nlc.ca

PROJECT: HARRIS & BARBINA GARAGE

NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 996 SQ FT

DRAWN BY: KJC 02/25/2025

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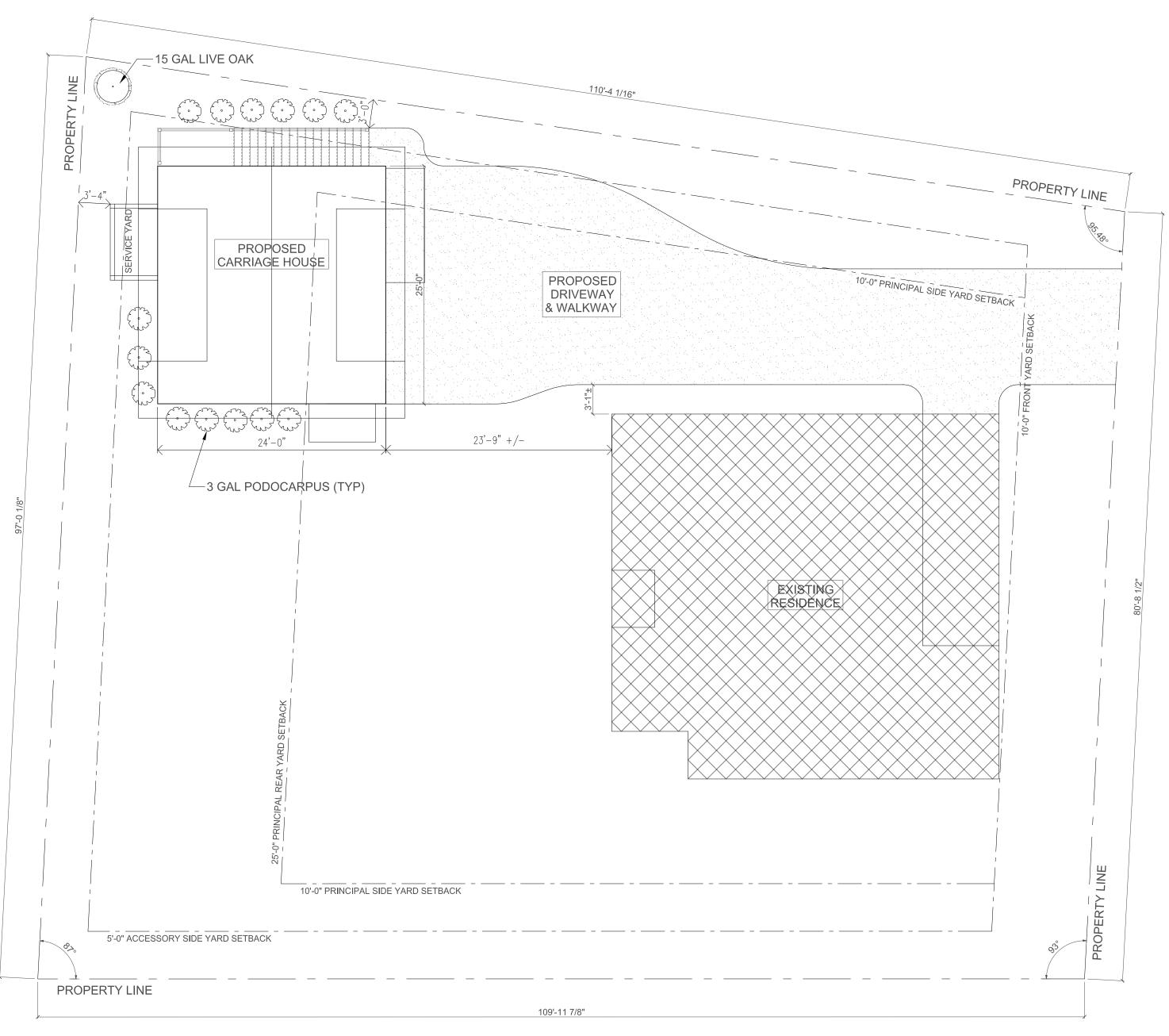
Section VII. Item #2.













SITE PLAN

SCALE: 1/8" = 1'-0"

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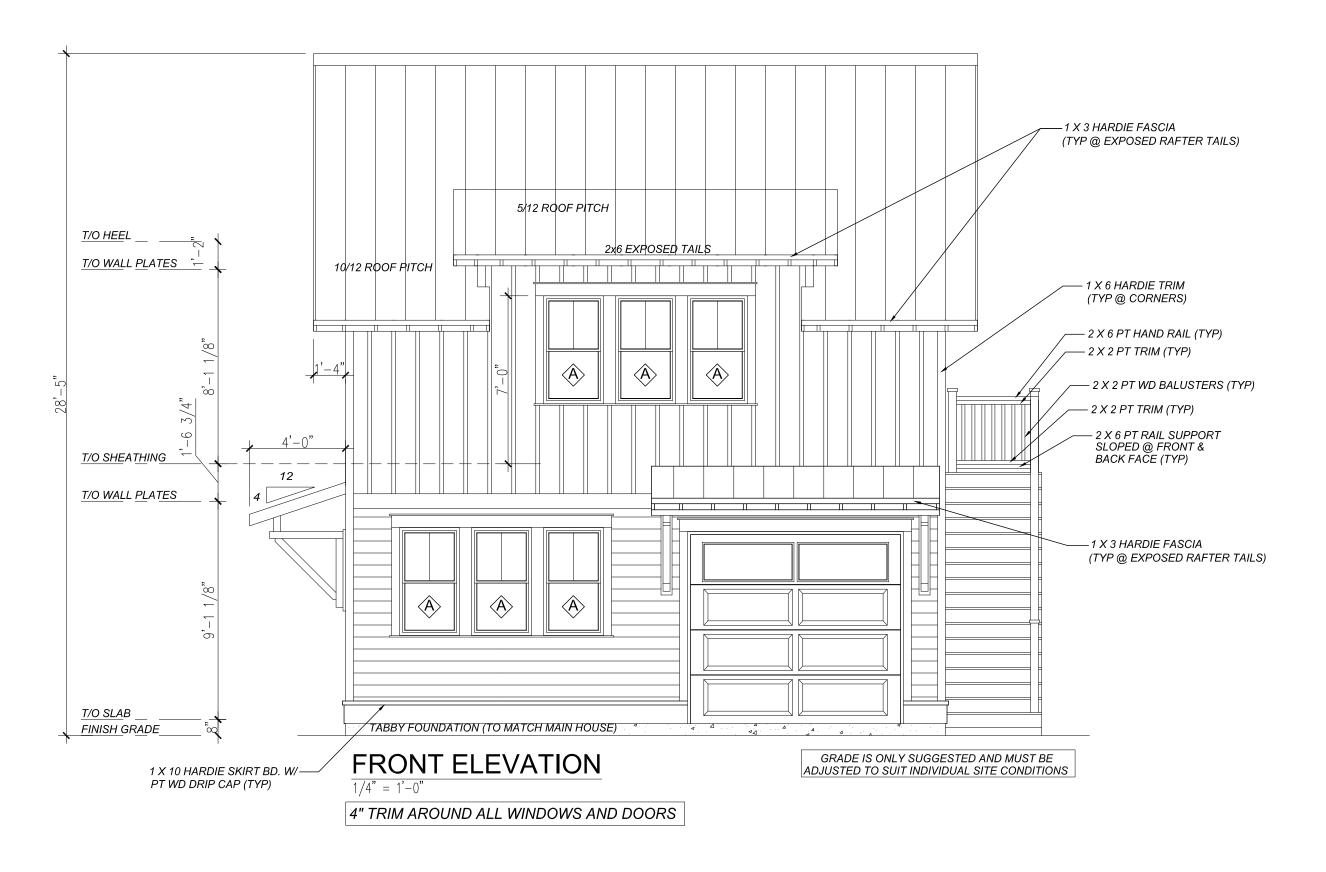
PROJECT: HARRIS & BARBINA GARAGE

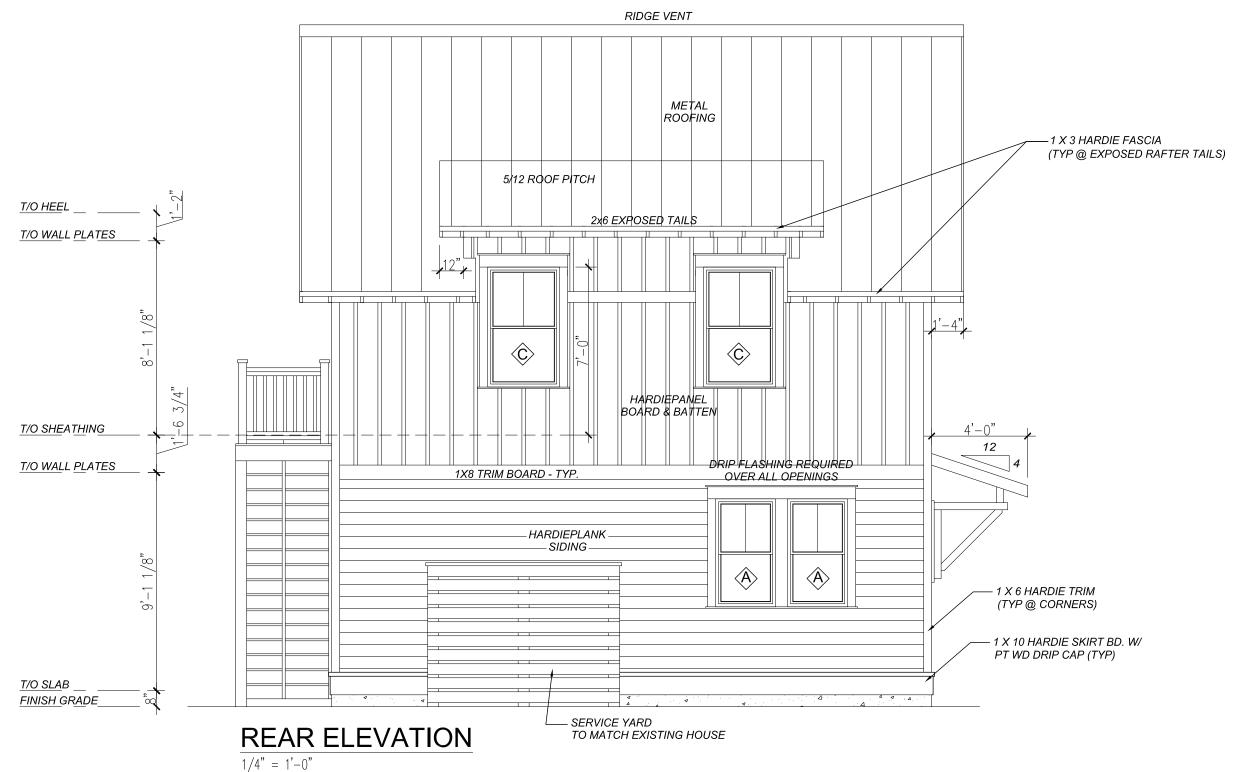
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025





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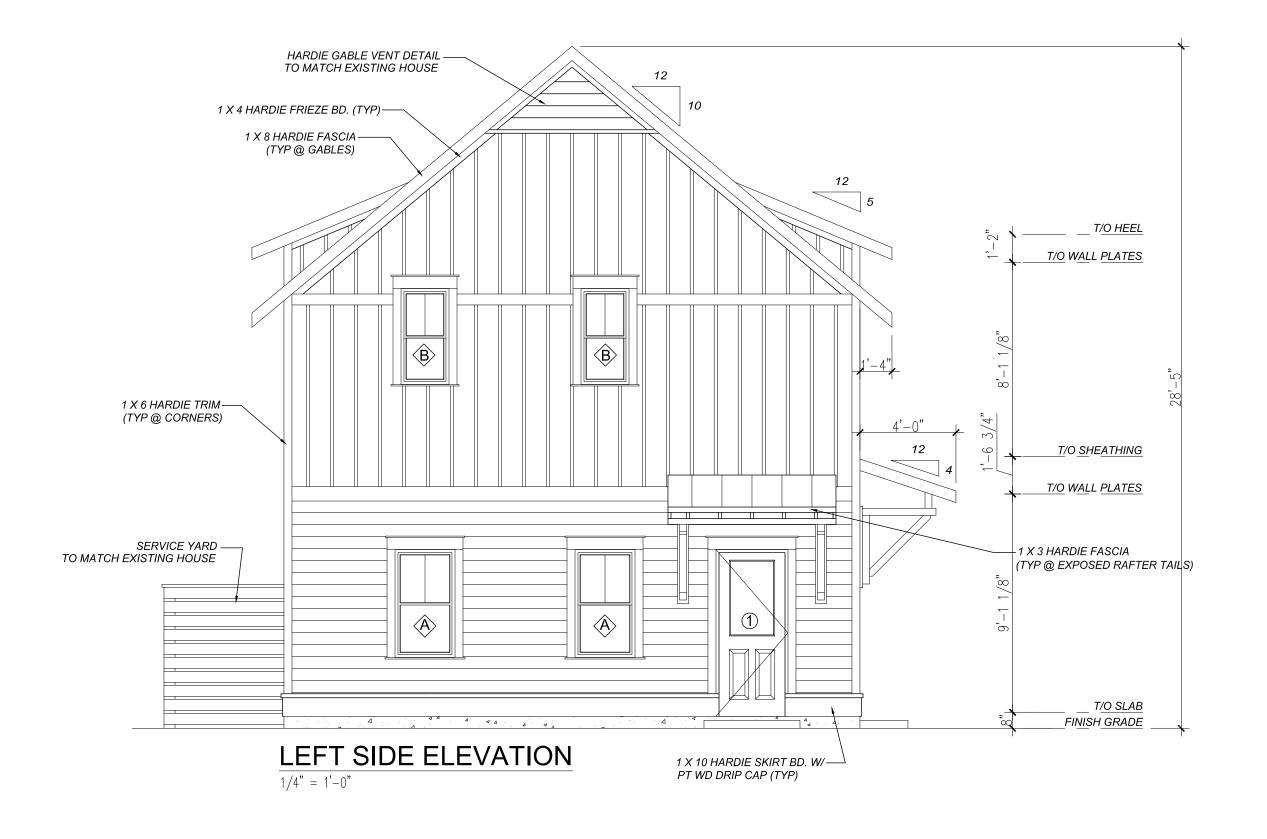
PROJECT: HARRIS & BARBINA GARAGE

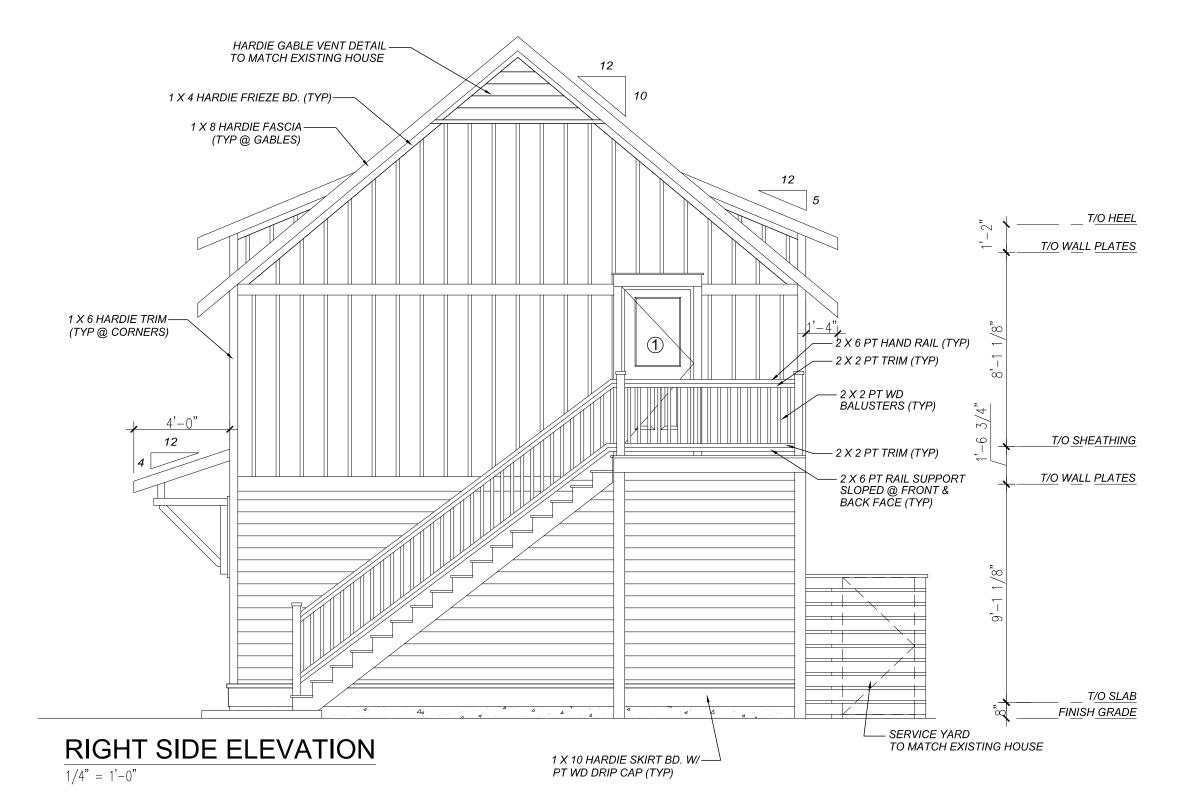
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE:1200 SQ FT

2 O<u>F 11</u> DRAWN BY: KJC 02/25/2025





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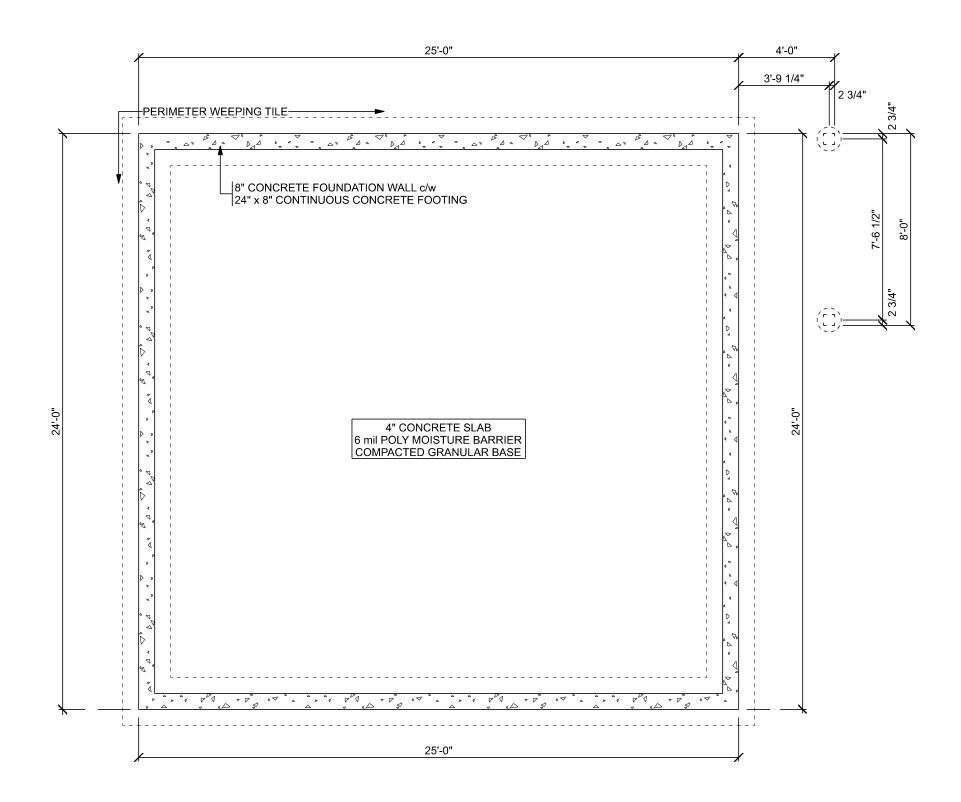
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LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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FOUNDATION PLAN SCALE: 1/4" = 1'-0"

SLAB ON GRADE FOUNDATION DESIGN BY P. ENG.

THE FOUNDATION DESIGN AND ALL SPECIFICATIONS MUST BE CONFIRMED BY A PROFESSIONAL ENGINEER AND/OR LOCAL BUILDING OFFICIALS BASED ON LOCAL SOIL CONDITIONS.

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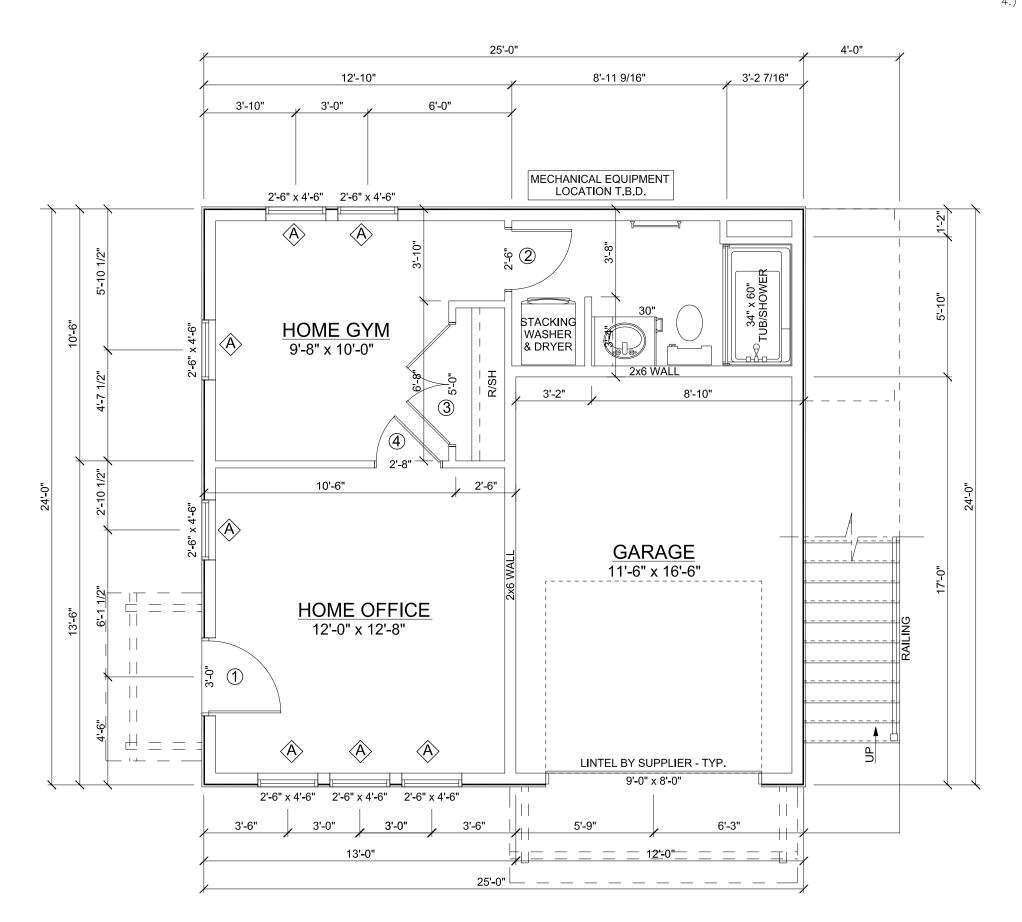
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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WINDOW SCHEDULE			
WINDOW	SIZE	TYPE	HEAD HEIGHT
А	2'-6" X 4'-6"	DOUBLE HUNG	8'-0" / 7'-0"
В	2'-0" X 4'-0"	DOUBLE HUNG	7'-0"
С	3'-0" X 5'-0"	DOUBLE HUNG	7'-0"

DOOR WINDOW NOTES:

- 1.) WINDOWS EMERGENCY EGRESS TO COMPLY WITH IRC SECTION R310.2.1.
 2.) WINDOWS ARE TO COMPLY WITH IRC TABLE 402.1.1
 3.) DESIGN PRESSURE RATING IN ACCORDANCE WITH IRC SECTION 609.2.
- 4.) GLAZING IN DOORS TO BE TEMPERED.

	DOOR SCHEDULE	
DOOR NO.	SIZE	DESCRIPTION
1	3'-0" X 6'-8"	HALF LITE EXTERIOR DOOR
2	2'-6" X 6'-8"	INTERIOR DOOR
3	(2) 2'-6" X 6'-8"	DOUBLE INTERIOR DOOR
4	2'-8" X 6'-8"	INTERIOR DOOR
5	2'-6" X 6'-8"	INTERIOR POCKET DOOR
6	2'-8" X 6'-8"	INTERIOR POCKET DOOR
7	(2) 2'-0" X 6'-8"	DOUBLE INTERIOR DOOR

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PROJECT: HARRIS & BARBINA GARAGE

NH PROJECT No.: M0660

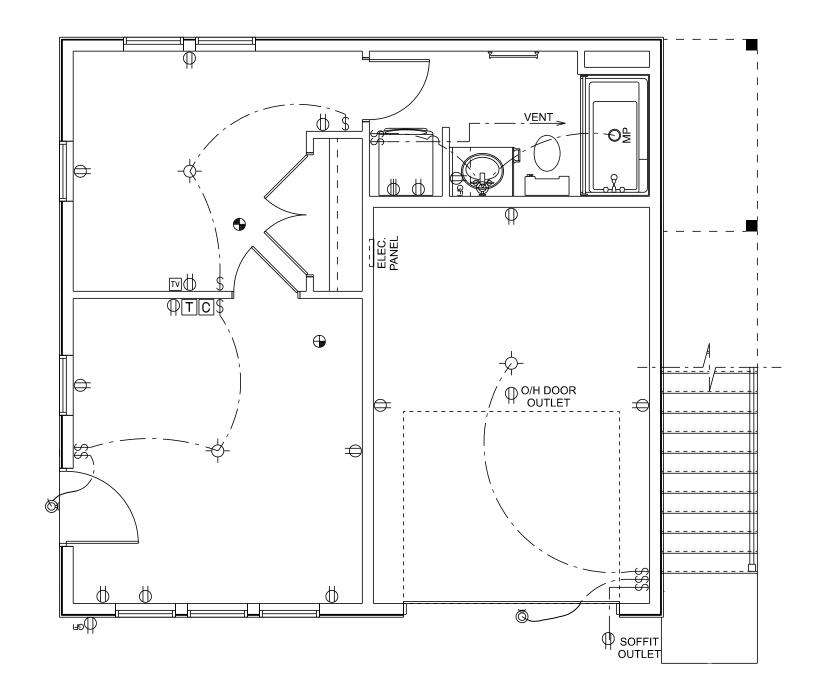
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

02/25/2025 DRAWN BY: KJC

MAIN FLOOR PLAN SCALE: 1/4" = 1'-0" 396 SQ FT (LIVING) 204 SQ FT (GARAGE)

9'-1 1/8" HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE



ELECTRICAL LAYOUT SCALE: 1/4" = 1'-0"

ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDE ONLY AND MAY BE ADJUSTED ON SITE AS REQUIRED.

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ELECTRICAL LEGEND		
ELECTRICAL	SYMBOL	
Door Chime	C	
Electrical Panel	17	
Light	\(\rightarrow \)	
Outlet	Ф	
Outlet 220V	•	
Outlet GFI	∯ ^{GFI}	
Pot Light	0	
Smoke & CO Detector	9	
Smoke Detector	•	
Switch	\$	
TV Outlet	TV	
Thermostat	Т	
Wall Mount Light	©	



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PROJECT: HARRIS & BARBINA GARAGE

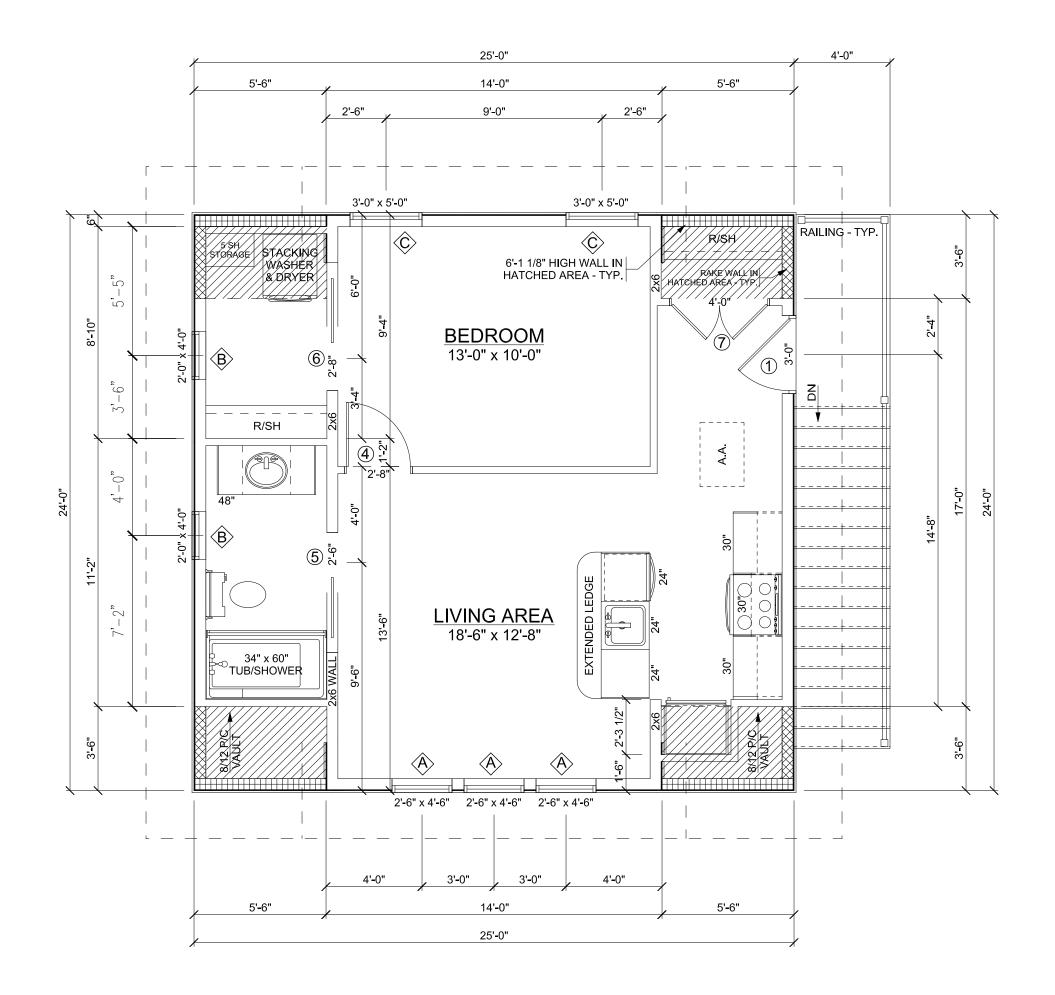
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

600 SQ FT

8'-1 1/8" HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

REVISION	DATE	Sec	tion VII. Item #2.	
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	, ,			
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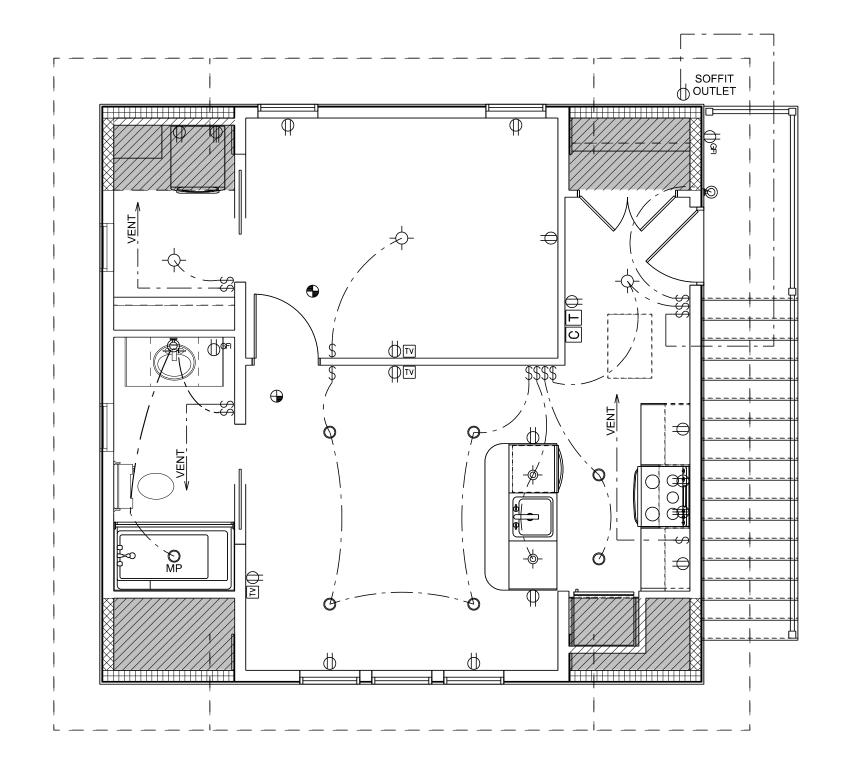
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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ELECTRICAL LAYOUT SCALE: 1/4" = 1'-0"

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ELECTRICAL LEGEND		
ELECTRICAL	SYMBOL	
Door Chime	C	
Light	- ф-	
Outlet	Ф	
Outlet 220V		
Outlet GFI	∯ ^{GFI}	
Pendant Light	- ∳-	
Pot Light	0	
Smoke & CO Detector	⊕	
Smoke Detector	•	
Switch	\$	
TV Outlet	TV	
Thermostat	T	
Wall Mount Light	<u> </u>	



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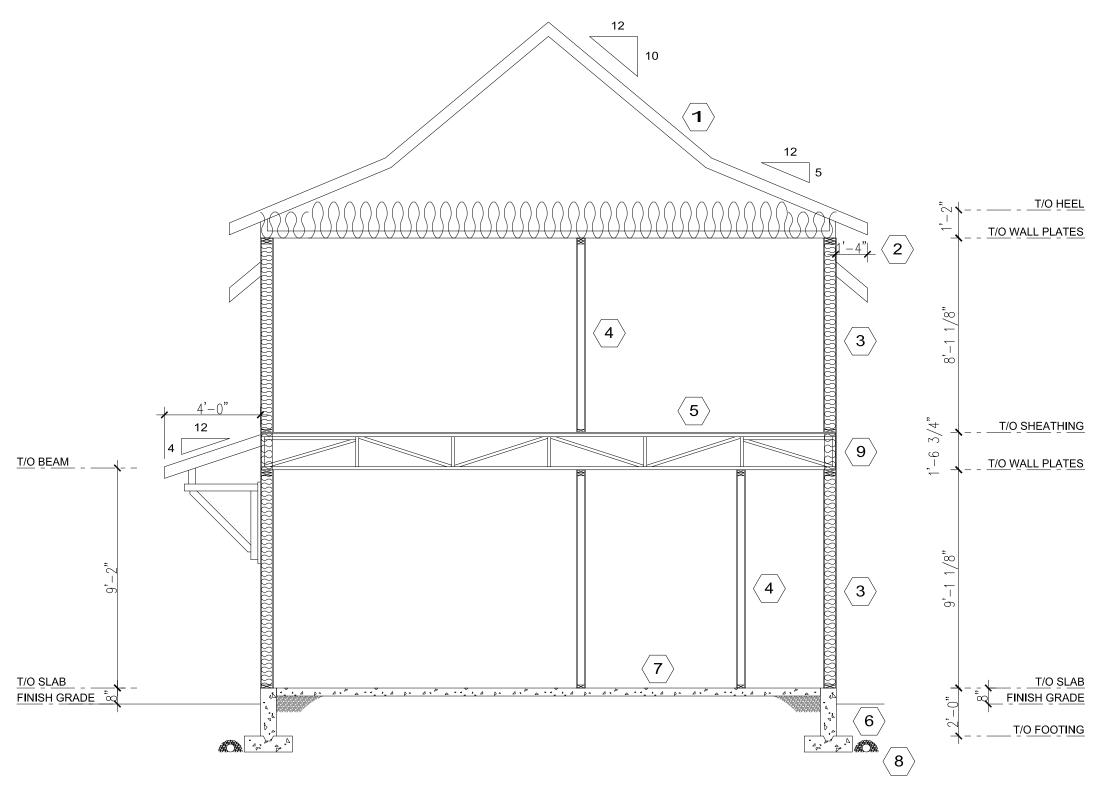
PROJECT: HARRIS & BARBINA GARAGE

NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT 02/25/2025 DRAWN BY: KJC

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BUILDING SECTION A SCALE: 1/4" = 1'-0"

- ROOF SYSTEM
 METAL ROOFING
 SYNTHETIC MEMBRANE ROOF UNDERLAYMENT
 OVER ENTIRE ROOF
 5/8" PLYWOOD ROOF SHEATHING c/w H-CLIPS
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 TRUSS BRACING AS PER MANUFACTURERS
 RECOMMENDATIONS
 R40 FIBREGLASS BATT INSULATION
 INSULATION STOPS AT EAVES
 6 mil POLY V.B.
 5/8" CD DRYWALL
- 2 EAVES
 2x6 EXPOSED TAILS
 (NO SOFFIT OR FASCIA)
- EXTERIOR WALL
 EXTERIOR FINISH AS PER ELEVATIONS
 BUILDING PAPER or HOUSEWRAP
 7/16" OSB WALL SHEATHING
 2x6 STUDS @ 16" o.c. U.N.O.
 R22 FIBREGLASS BATT INSULATION
 6 mil POLY V.B.
 1/2" DRYWALL
- 4 INTERIOR WALL
 1/2" DRYWALL
 2x4 STUDS U.N.O. @ 16" o.c.
 1/2" DRYWALL

- FLOOR SYSTEM
 FINISHED FLOORING
 3/8" OVERLAY (OPTIONAL)
 3/4" T & G FIR PLYWOOD FLOOR SHEATHING
 18" FLOOR TRUSSES @ 16.0" o.c.
 5/8" CD DRYWALL
- 6 FOUNDATION WALL
 DAMPPROOF EXTERIOR BELOW GRADE
 PARGING ABOVE GRADE
 CONCRETE FOUNDATION WALL
 (SIZE AND REINFORCING BY P. ENG.) on
 CONTINUOUS CONCRETE FOOTING
 (SIZE AND REINFORCING BY P. ENG.)
- 7 SLAB FLOOR
 CONCRETE SLAB ON GRADE
 (DESIGN BY OTHERS)
 6 mil POLY MOISTURE BARRIER
 8" MIN CRUSHED ROCK
- 8 WEEPING TILE
 4" DIA. SOCKED WEEPING TILE IN
 6" CRUSHED STONE (CLEAR)
 CONNECTED TO SUMP PUMP
 OR STORM DRAIN AS REQUIRED
 (SLOPE EXCAVATION TO SUMP)
- 9 RIM JOIST INSULATION
 SPRAYFOAM INSULATION c/w FIREGUARD
 IN ALL PERIMETER JOIST SPACES.
 CONTRACTOR TO ENSURE CONTINUITY OF
 INSULATION & AVB REQUIREMENTS ARE MET.

REVISION	DATE	Sect	ion VII. Item #2.
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REVISION #9	02/08/2025		KJC

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Head Office: Highway 16 West & RR 15 Mail: 6609-44 St., Lloydminster, AB T9V 2X1 www.nlc.ca

PROJECT: HARRIS & BARBINA GARAGE

NH PROJECT No.: M0660

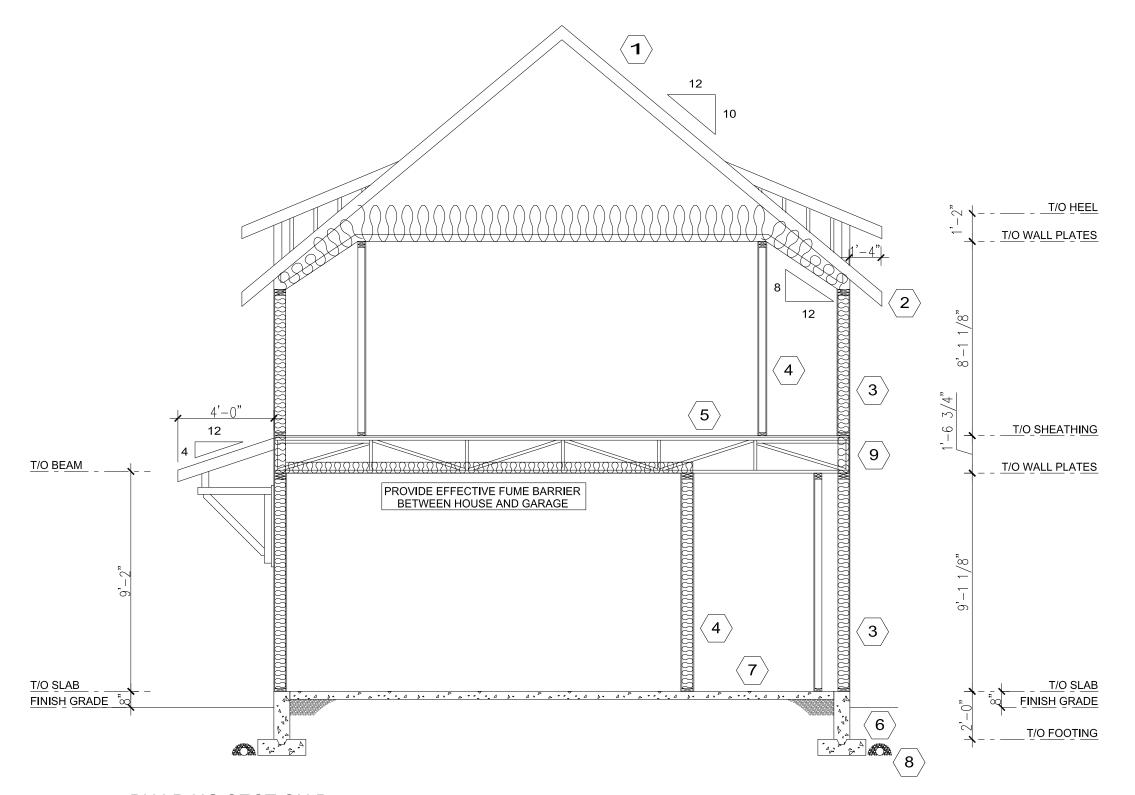
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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BUILDING SECTION B SCALE: 1/4" = 1'-0"

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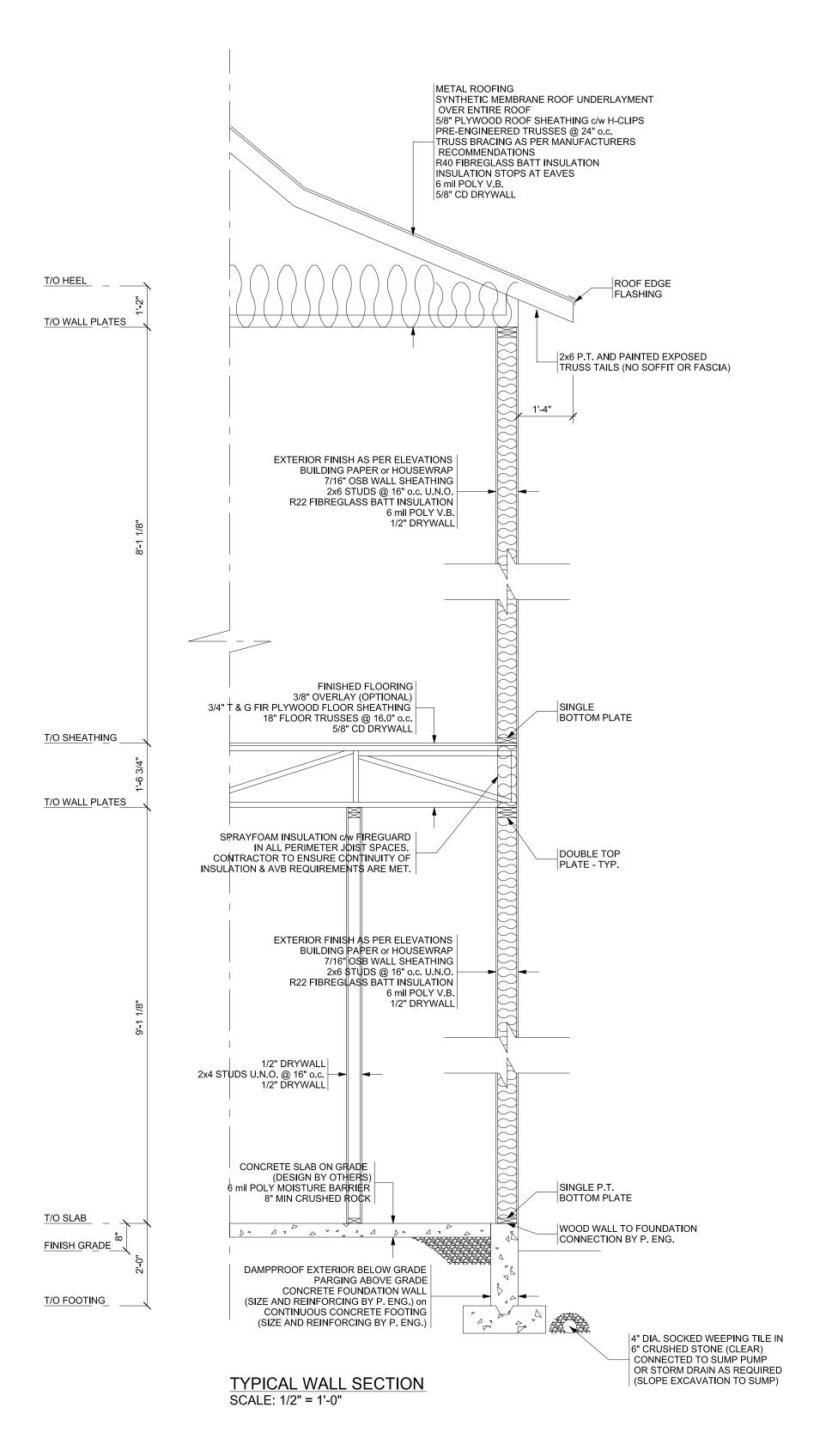
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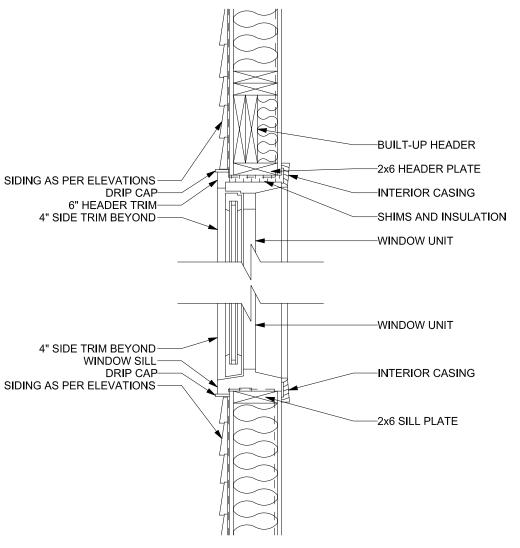
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

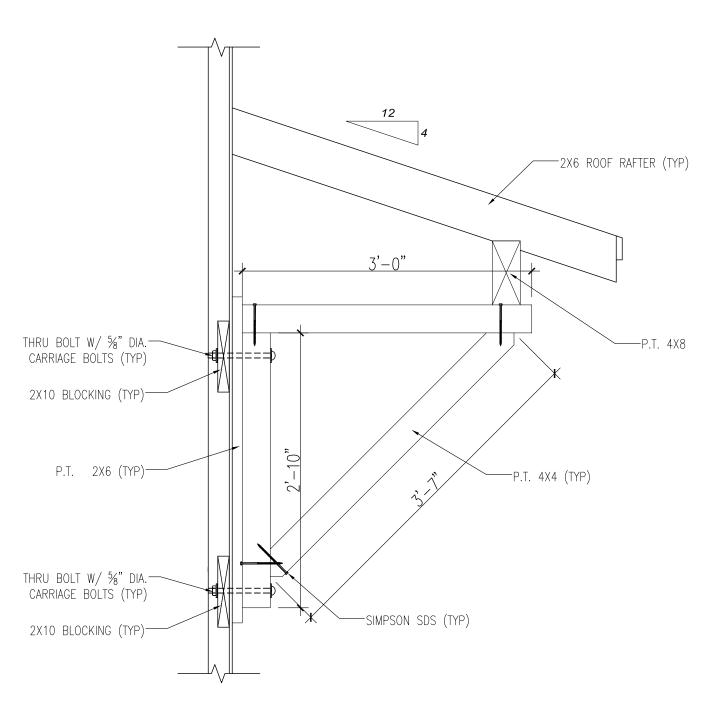
DRAWN BY: KJC 02/25/2025







TYPICAL WINDOW HEADER & SILL DETAIL NTS



BRACKET DETAIL

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PROJECT: HARRIS & BARBINA GARAGE

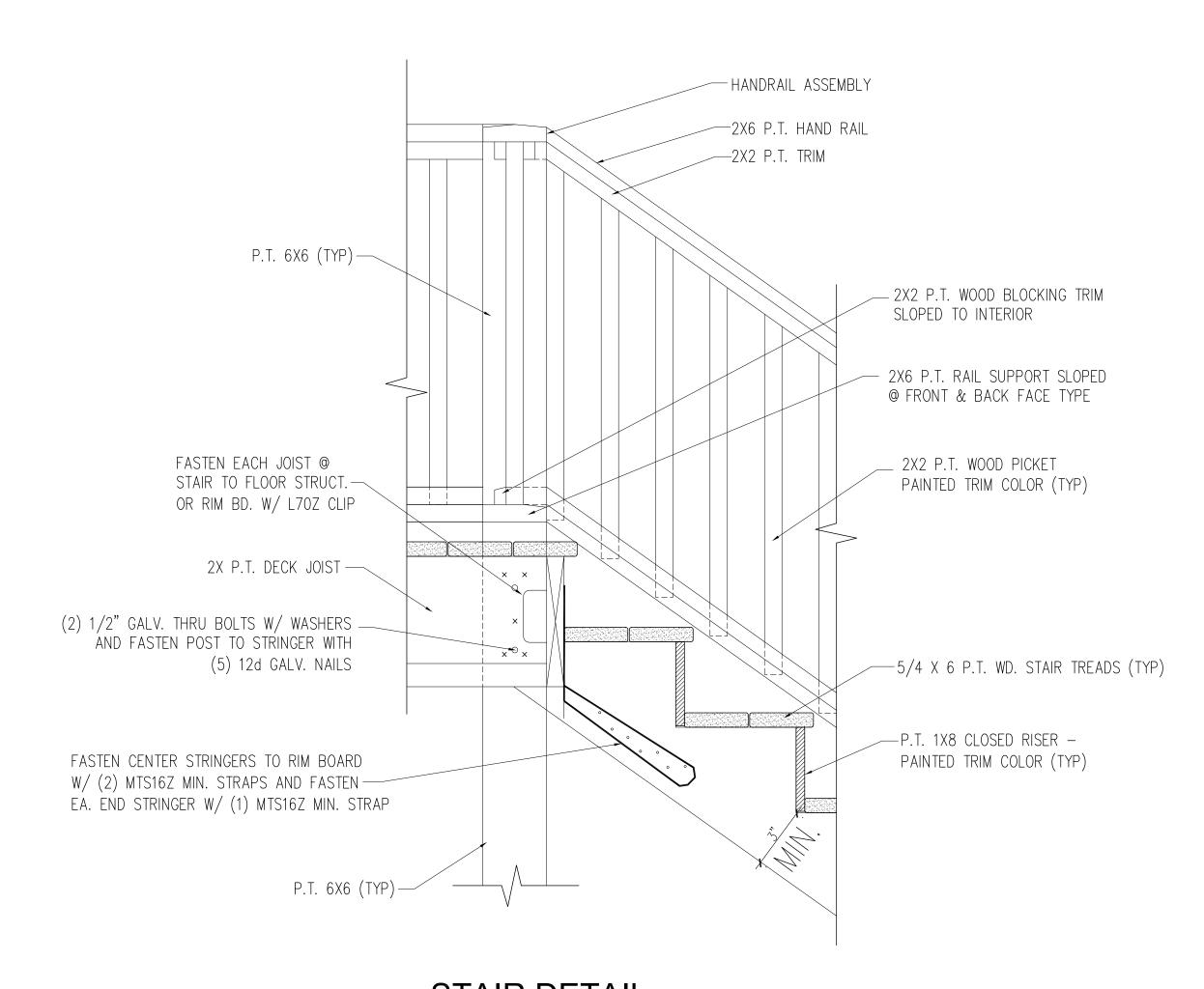
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

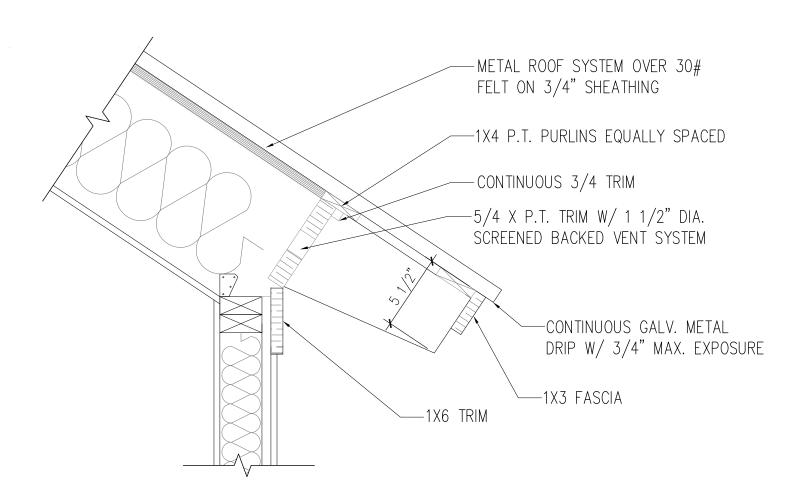
11 **OF 11** Page 85

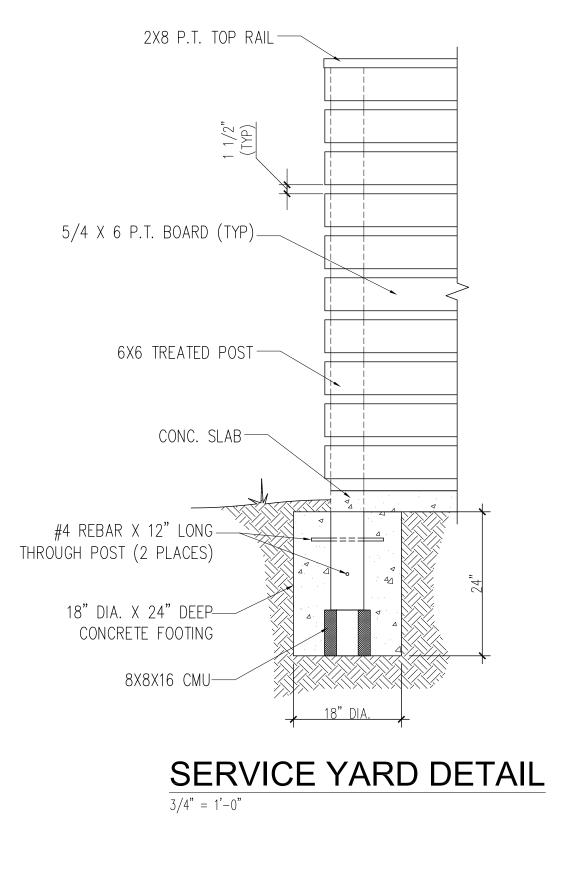


1 1/2" = 1'-0"

TYPICAL EAVE DETAIL

NOTE: ALL EAVE AND TRIM DETAILS TO MATCH EXISTING HOUSE





6X6 TREATED POST

18" DIA. X 24" DEEP— CONCRETE FOOTING

MITER CORNERS (TYP)___

<u>PLAN VIEW</u>

5/4 X 6 P.T. BOARD (TYP)

PROJECT: HARRIS & BARBINA GARAGE NH PROJECT No.: M0660 LOCATION: 36 WHARF STREET, BLUFFTON, SC SIZE:1200 SQ FT SHEET 12 DRAWN BY: MM 10/20/25

Section VII. Item #2.



ATTACHMENT 8



TOWN OF BLUFFTON TREE REMOVAL APPLICATION

Growth Management Custon

Section VII. Item #2.

ZU Bridge Street
Bluffton, SC 29910
(843)706-4500
v.townofbluffton.sc.gov

www.townofbluffton.sc.gov applicationfeedback@townofbluffton.com

Applicant	Property Owner			
Name: Barragan Tree and Stump	Name: Tim Harris			
none: 8433681618 Phone: 8036730810				
lailing Address: 46 Fish Haul Rd Mailing Address: 36 Wharf St				
E-mail: jonathanb12588@gmail.com	E-mail: Timharris03@yahoo.com			
Town Business License # (if applicable): 24-04-2864				
Project In	formation			
Project Address: 36 Wharf St				
Zoning District:	Acreage: .1910			
Tax Map Number(s):				
Tree Species and Diameter: 2 water oak, 1 gumtree				
Location of Tree to be Removed: Left side of house(1 leaning towards house), Back right side of house(1 gumtree, removal for future space), right side of house(1)				
Reason for Tree Removal: Dangerous to house, lean	ing over, and for future precautions			
Minimum Requirem	ents for Submittal			
 Recorded deed and plat showing proof of property ownership. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO, which may include mitigation An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton. 				
Note: A Pre-Application Meeting is require	ed prior to Application submittal.			
	gal or financial liability to the applicant or any g the plans associated with this permit.			
I hereby acknowledge by my signature below that the foreg the owner of the subject property. As applicable, I authorize				
Property Owner Signature: Date: 10-11-24				
Applicant Signature:	Date: 10-11-24			
For Offi	ice Use			
Application Number:	Date Received:			
Received By:	Date Approved:			





TOWN OF BLUFFTON TREE REMOVAL APPLICATION PROCESS NARRATIVE

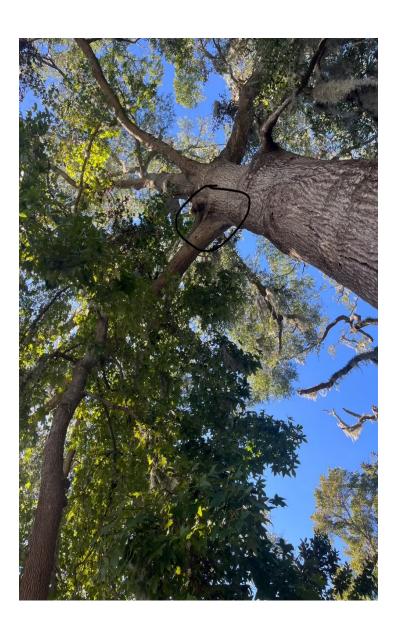
The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's Unified Development Ordinance. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Tree Removal Application, the Applicant is required to con Pre-Application Meeting for comments and advice on the appropriate application and applicable standards required by the UDO.	
Step 2. Application Submittal	Applicant
The Applicant shall submit the Tree Removal Application and required submittal	materials.
Step 3. Review by UDO Administrator or designee	Staff
If the UDO Administrator or designee determines that the Tree Removal Applica with the criteria and provisions in the UDO. The UDO Administrator or designee application.	
Step 4. Issue Tree Removal Permit	Staff
If the Tree Removal Application is in compliance with the criteria and provisions shall issue the Tree Removal Permit.	in the UDO, the UDO Administrator or designee













PLAN REVIEW COMMENTS FOR COFA-03-25-019657

Section VII. Item #2.

Town of Bluffton

Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District Apply Date: 03/19/2025

Plan Status: Active Plan Address: 36 Wharf Street

BLUFFTON, SC 29910

Case Manager: Charlotte Moore Plan PIN #: R610 039 00A 0417 0000

Plan Description: A request by Jaime Guscio (Kingfisher Construction), on behalf of owners, Kathy Barbina and Tim Harris, for

review of a Certificate of Appropriateness-Historic District, to allow construction of a detached Carriage House of approximately 1200 SF located at 36 Wharf Street (Parcel R610 039 00A 0417 0000). The property is

within the Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD).

STATUS (04.01.2025): Scheduled for April 14 HPRC meeting.

Staff Review (HD)

Submission #: 1 Recieved: 04/10/2025 Completed: 04/10/2025

Reviewing Dept. Complete Date Reviewer Status

Growth Management Dept Review 04/10/2025 Charlotte Moore Approved with Conditions

(HD)

Comments:

- 1. These items were not provided as required by the Concept Plan submission: letter of agency from the property owner, survey to scale with all required information mentioned on the application, and photos. Revise project narrative to address the information required by the application. (Applications Manual).
- 2. The site plan is not consistent with the survey, which includes a missing service yard in the rear of the Carriage House. Please correct on the Final Plan submission.
- 3. For the ground floor office and gym, there is no internal connection to the second-floor residence and, therefore, cannot be considered as part of that residence. If there is a future desire to convert this space into a dwelling (or a Short Term Rental Unit), it would be a second accessory dwelling unit for the lot and would not be permitted.
- 4. Height: Provide the height of the carriage house to the roof ridge. The height cannot be taller than the main residence per UDO Sec. 4.4.1.A.3. The maximum allowed height is two stories. It's unclear if there may be a possible half story. A half-story is a "space under a sloping roof that has the line of intersection of the roof and the exterior wall supporting the roof not more than 3 feet above the floor level, and in which space the possible floor area with head room of 5 feet or more occupies between 30 and 70 percent of the total floor area of the story directly beneath." (UDO Sec. 9.3.E.5.).
- 5. Setbacks (UDO Sec. 9.3.D.4.): A service yard shows on the site plan but is not shown in the plan set. The service yard and stairs must be at least three (3) feet from the property line.
- 6. Service Yard (UDO Sec. 5.15.5.F.10.): A service yard detail is missing. Service yards may be enclosed by louvers, lattice, vertical board or board-onboard panels, or such other styles typical of earlier styling. The height of the service yard enclosure shall be sufficient to screen equipment from public vantages; however, may not exceed six (6') feet in height. The service yard location is shown on the site plan, but there is not a detail of the screening material. Provide a detail showing the material and configuration of the proposed service yard.
- 7. Windows (UDO Sec. 5.15.5.F.4.E.): The rear elevation lacks window verticality. Consider moving the lower windows for a left alignment with the above second-story window.
- 8. Landscape Plan (UDO Sec. 5.3.3.G.): Provide a Landscape Plan with the Final Plan. The proximity of the large tree in the side yard is of concern, as well as a tree in the rear yard. We are aware that a Tree Permit request has already been submitted (10-24-2342). A residential lot must contain sufficient landscaping, either existing or planted, to have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. Replace the dead tree that was required as part of the main structure COFA approval.
- 9. For the Final Plan, provide a project analysis sheet that shows all the applicable information, including information for proposed materials, dimensions and operation (this will need to be shown on Final Plan). Provide all required items indicated in the COFA-HD applications, including the details (foundation, doors, windows, columns, water table, railings, materials, detailed wall section through eave, etc). The Final Plan will not be scheduled for the HPC until all applicable items are received.

Section VII. Item #2.

Comments:

- 1. The structure appears very tall, especially the second floor. Consider reducing the plate for the roof by at least one (1) foot or so.
- 2. Provide a drawing of the existing house and the proposed carriage to view the mass.
- 3. Provide the detailing of the roof over the garage door, including soffit detail. The header should be wrapped.
- 4. The windows in the dormer appear too small in the mass. Consider moving the roof down to change this.
- 5. The left side elevation appears too blank on the second floor.

Beaufort Jasper Water and Sewer 04/10/2025 Matthew Michaels Approved Review

Comments:

No comments at this time.

Transportation Department 04/10/2025 Mark Maxwell Approved
Review - HD

Comments:

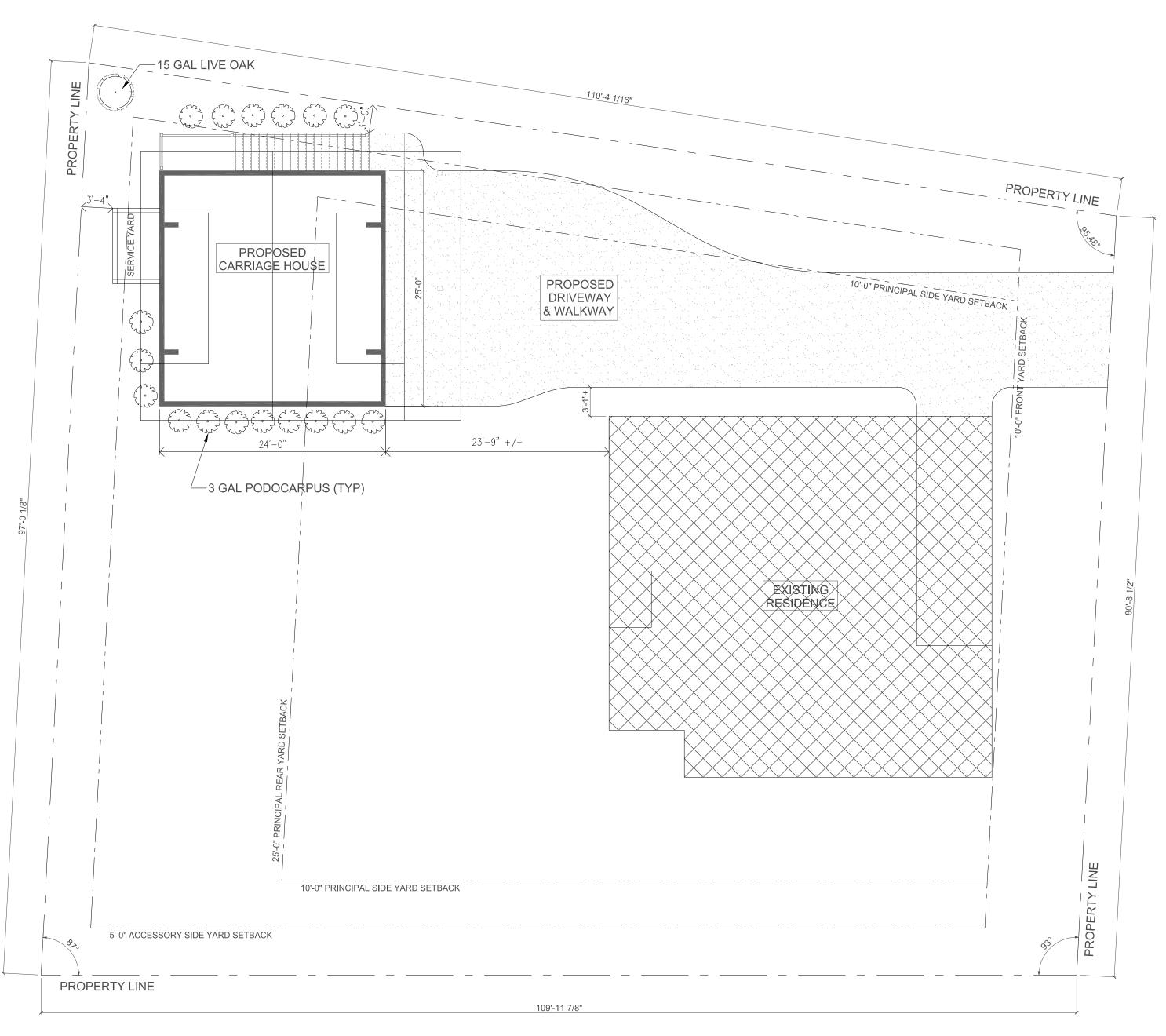
No comments.

Watershed Management Review 04/10/2025 Samantha Crotty Approved

Comments:

Comments may be provided at time of Final submission.

Plan Review Case Notes:



SITE PLAN

SCALE: 1/8" = 1'-0"

SURVEYOR TO CONFIRM ALL DIMENSIONS, LOT ANGLES, SETBACKS AND LOCATION OF EASEMENTS.

DIMENSIONS, LOT ANGLES, SETBACKS AND LOCATION OF EASEMENTS.

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REVISION PROVIDED BY THE APPLICANT (AUGUST 26, 2025)



Since 1949

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PROJECT: HARRIS & BARBINA GARAGE

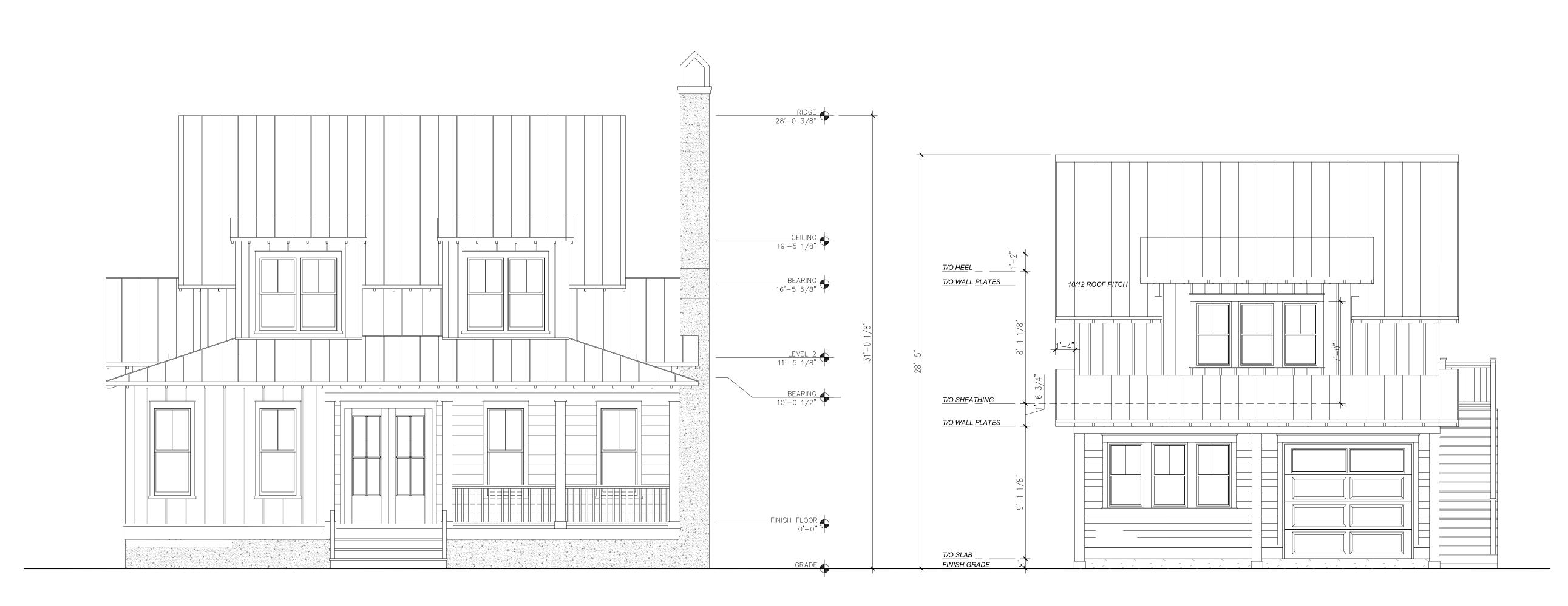
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025



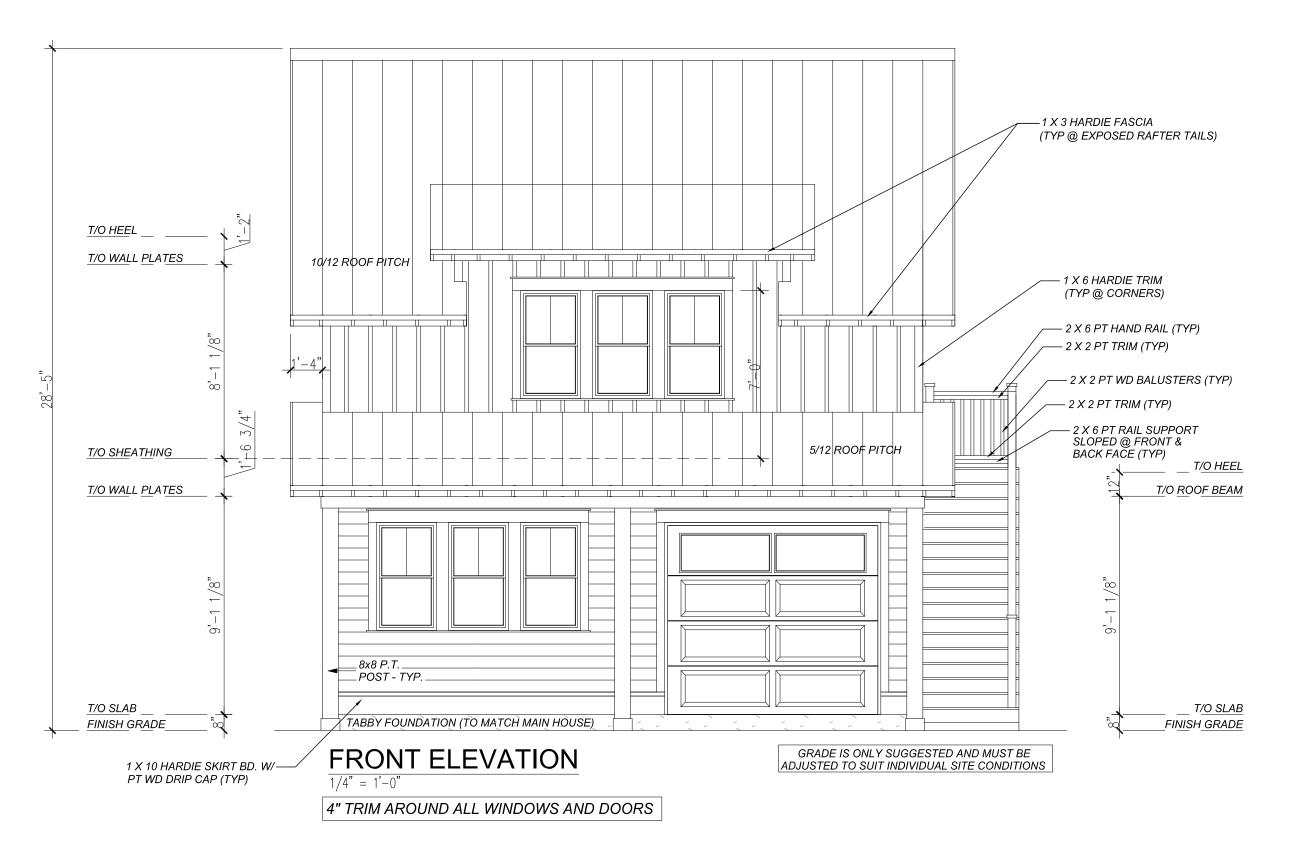


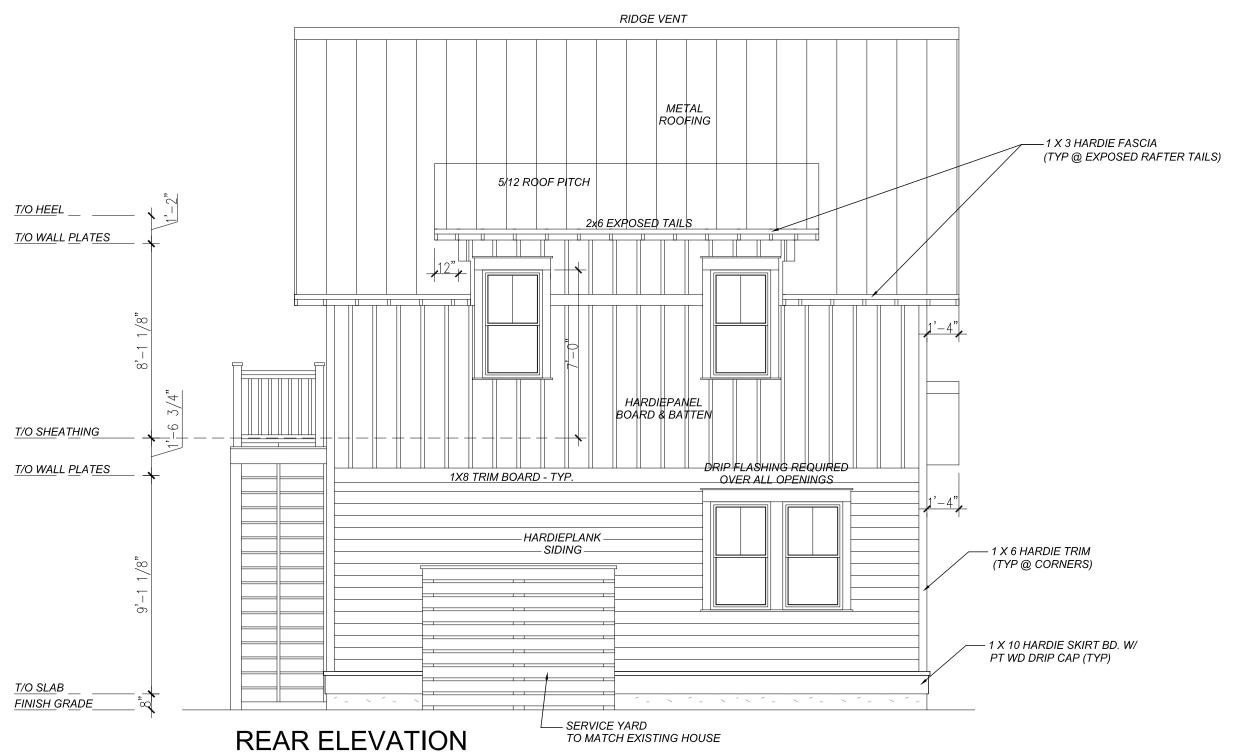
FRONT ELEVATION - EXISTING MAIN HOUSE

1/4" = 1'-0"

FRONT ELEVATION - NEW DETACHED GARAGE

1/4" = 1'-0"





1/4" = 1'-0"

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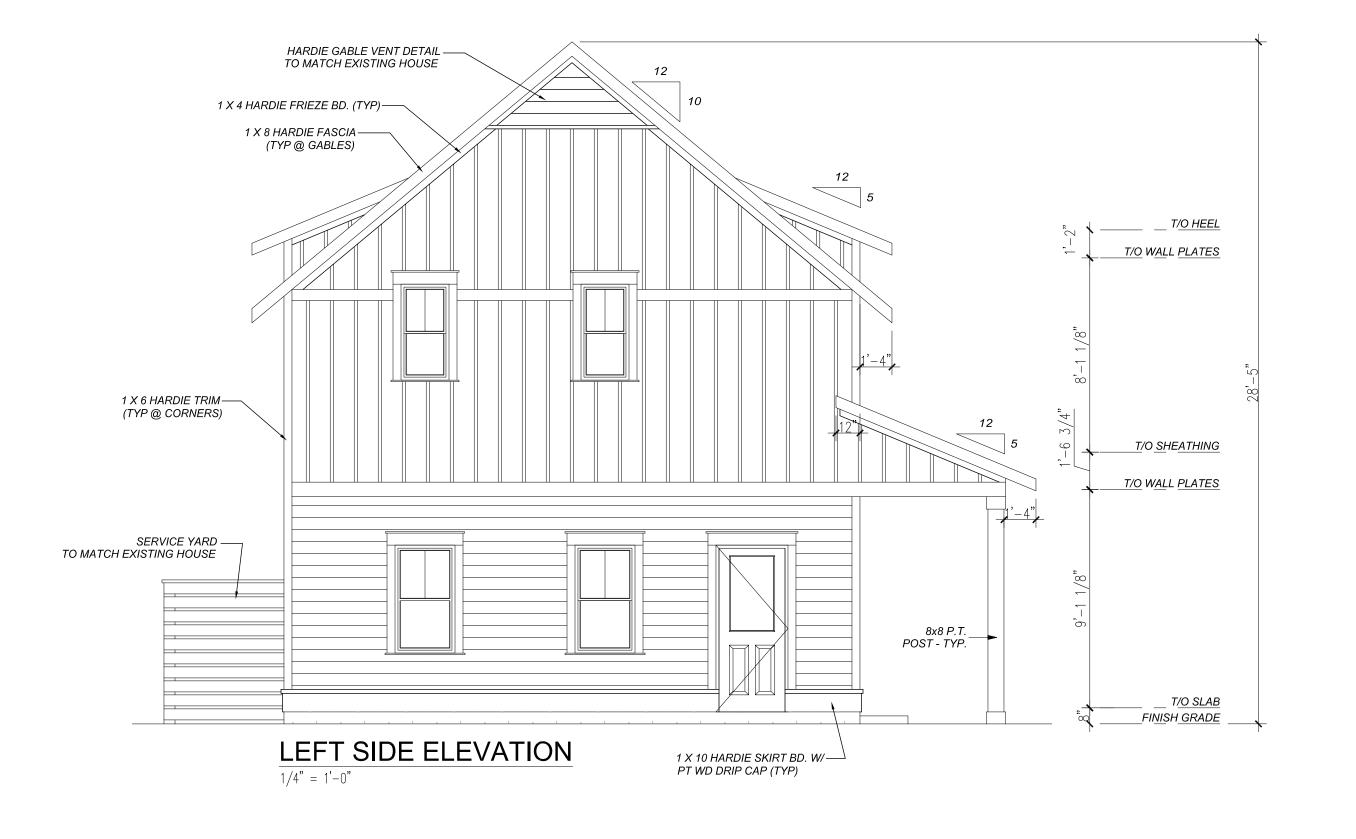
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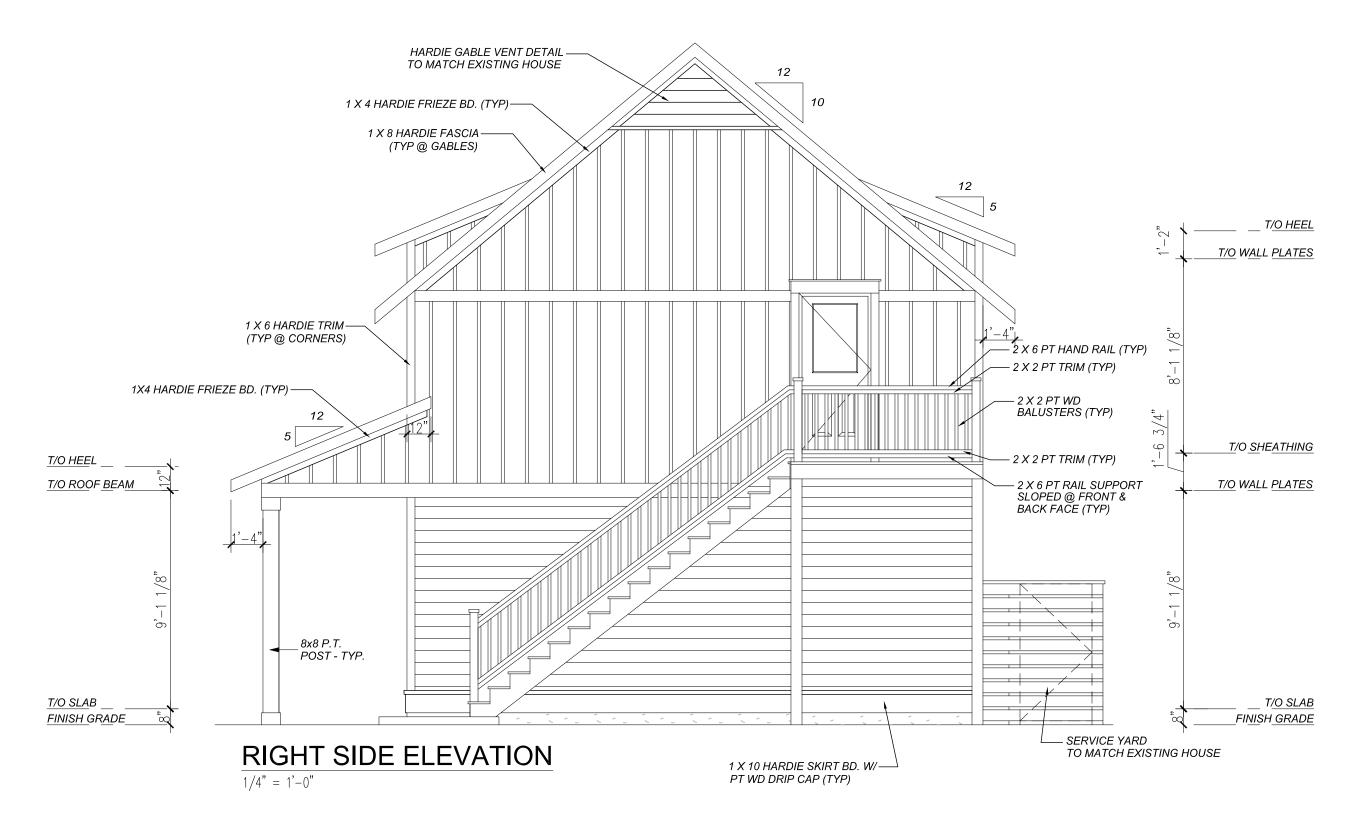
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE:1200 SQ FT

DRAWN BY: KJC

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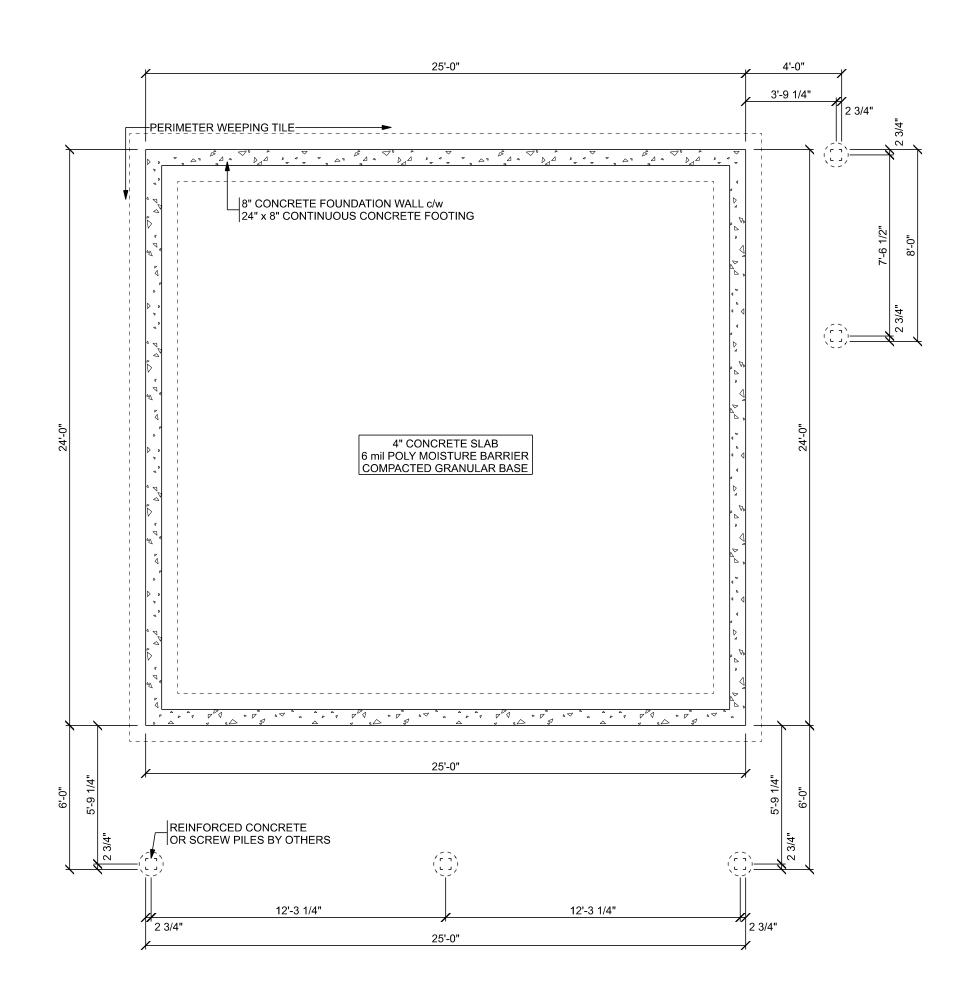
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LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

02/25/2025 DRAWN BY: KJC





FOUNDATION PLAN SCALE: 1/4" = 1'-0"

SLAB ON GRADE FOUNDATION DESIGN BY P. ENG.

THE FOUNDATION DESIGN AND ALL SPECIFICATIONS MUST BE CONFIRMED BY A PROFESSIONAL ENGINEER AND/OR LOCAL BUILDING OFFICIALS BASED ON LOCAL SOIL CONDITIONS.

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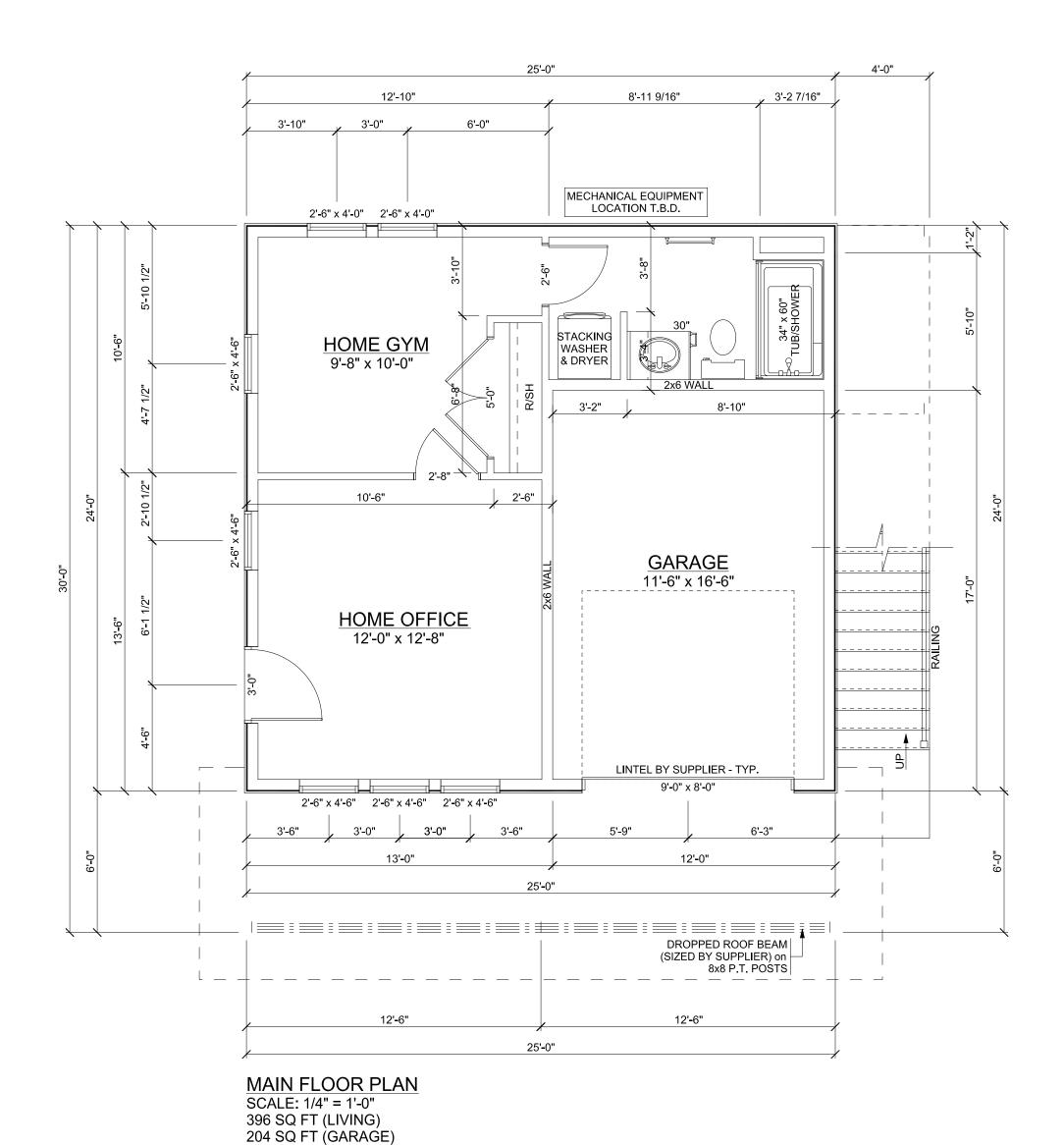
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LOCATION: 36 WHARF STREET,
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SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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9'-1 1/8" HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

REVISION DATE Section VII. Item #2. REVISION #1 12/12/2024 KJC KJC REVISION #2 12/18/2024 REVISION #3 12/21/2024 KJC KJC REVISION #4 01/08/2025 REVISION #5 01/14/2025 KJC REVISION #6 01/19/2025 KJC REVISION #7 01/28/2025 KJC KJC REVISION #8 02/05/2025 REVISION #9 02/08/2025 KJC

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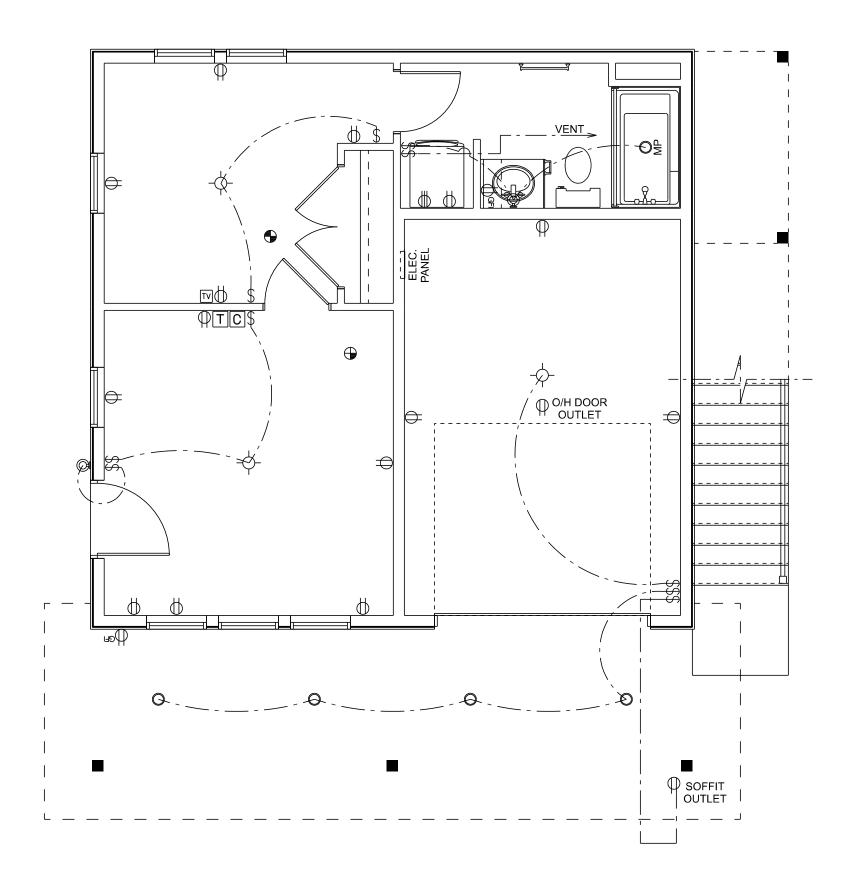
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

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ATTACHMENT 6



ELECTRICAL LAYOUT SCALE: 1/4" = 1'-0"

ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDE ONLY AND MAY BE ADJUSTED ON SITE AS REQUIRED.

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DO NOT SCALE DRAWINGS. REPORT ANY ERRORS OR OMISSIONS TO OWNER BEFORE PROCEEDING.

ELECTRICAL LEGEND			
ELECTRICAL	SYMBOL		
Door Chime	C		
Electrical Panel	11		
Light	- \(-		
Outlet	Ф		
Outlet 220V	•		
Outlet GFI			
Pot Light	0		
Smoke & CO Detector	•		
Smoke Detector	•		
Switch	\$		
TV Outlet	TV		
Thermostat	T		
Wall Mount Light	Q		



Head Office: Highway 16 West & RR 15 Mail: 6609-44 St., Lloydminster, AB T9V 2X1 www.nlc.ca

PROJECT: HARRIS & BARBINA GARAGE

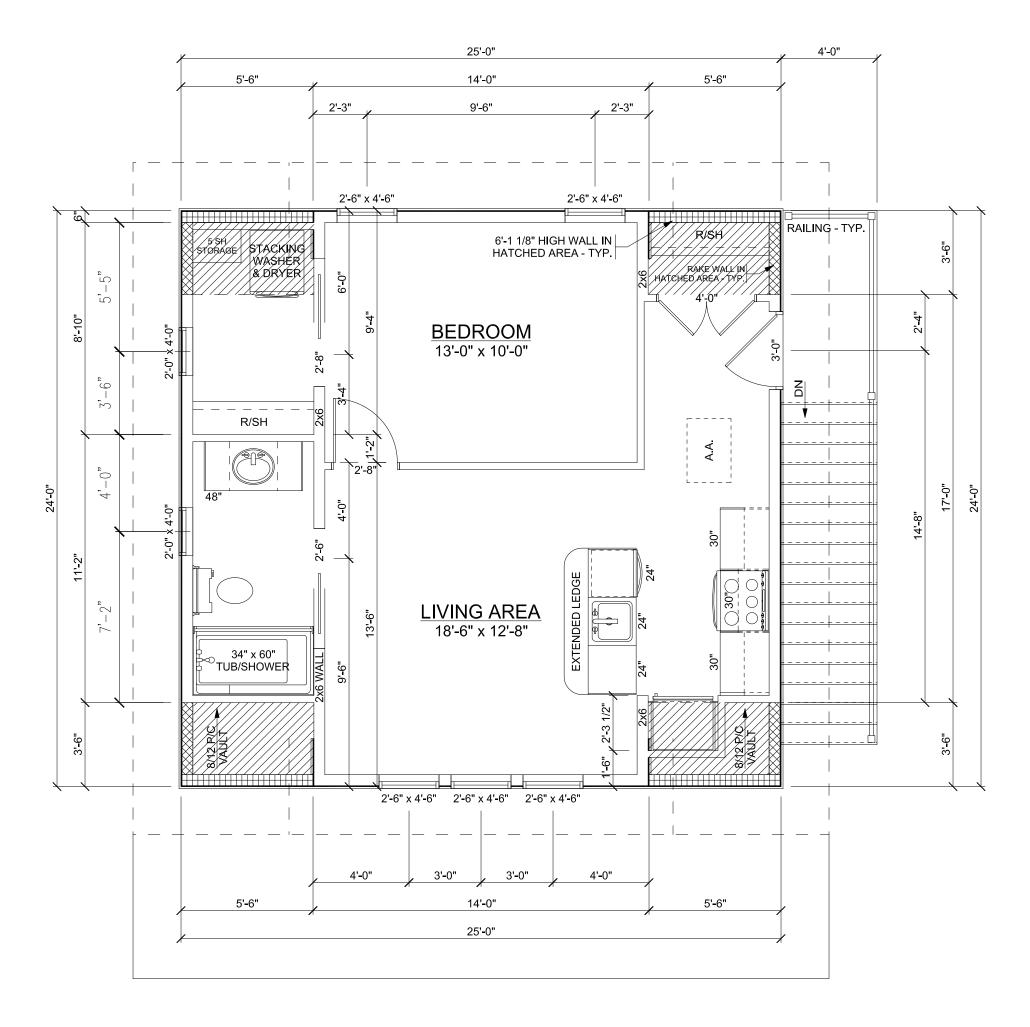
NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025

6 QF 11



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

600 SQ FT

8'-1 1/8" HIGH CEILINGS THROUGHOUT UNLESS NOTED OTHERWISE

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REVISION #8	02/05/2025		KJC
REVISION #9	02/08/2025		KJC

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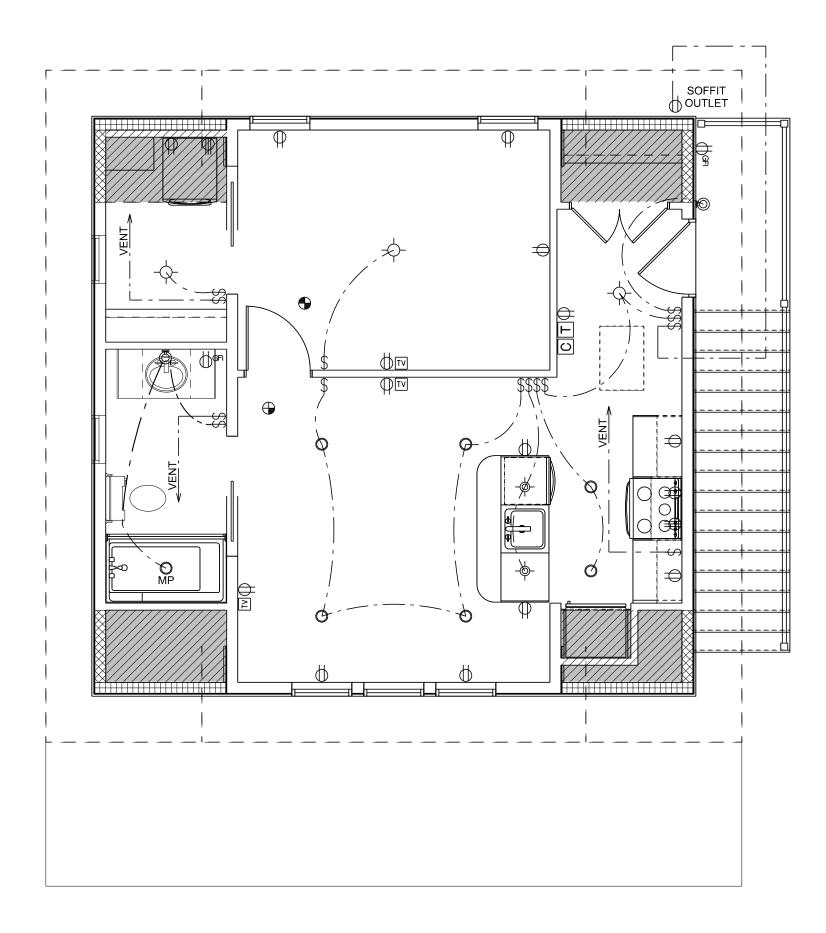
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NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

DRAWN BY: KJC 02/25/2025 7 OF 11



ELECTRICAL LAYOUT SCALE: 1/4" = 1'-0"

ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDE ONLY AND MAY BE ADJUSTED ON SITE AS REQUIRED.

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ELECTRICAL	SYMBOL	
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Light	-	
Outlet	Ф	
Outlet 220V	₩	
Outlet GFI	∯ ^{GFI}	
Pendant Light	<i>-</i> ∳-	
Pot Light	0	
Smoke & CO Detector	9	
Smoke Detector	•	
Switch	\$	
TV Outlet	TV	
Thermostat	Т	
Wall Mount Light	Q	



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www.nlc.ca

PROJECT: HARRIS & BARBINA GARAGE

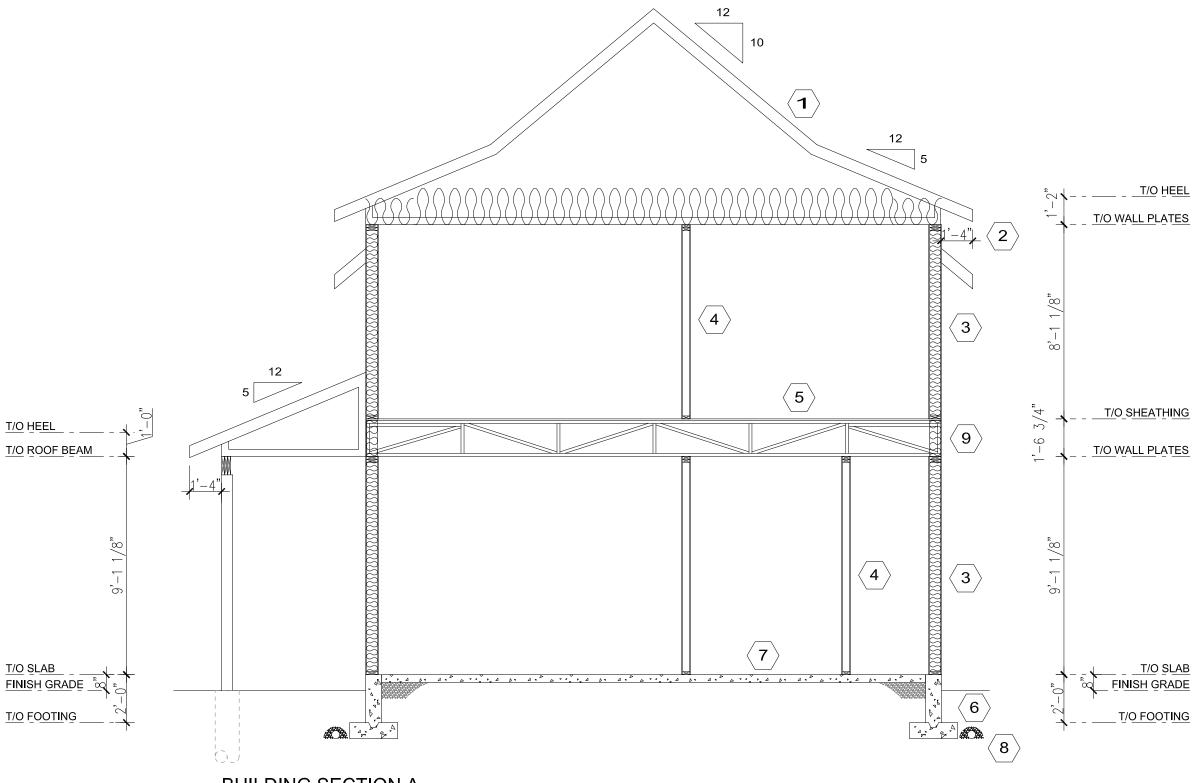
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ATTACHMENT 6



BUILDING SECTION A SCALE: 1/4" = 1'-0"

- ROOF SYSTEM
 METAL ROOFING
 SYNTHETIC MEMBRANE ROOF UNDERLAYMENT
 OVER ENTIRE ROOF
 5/8" PLYWOOD ROOF SHEATHING c/w H-CLIPS
 PRE-ENGINEERED TRUSSES @ 24" o.c.
 TRUSS BRACING AS PER MANUFACTURERS
 RECOMMENDATIONS
 R40 FIBREGLASS BATT INSULATION
 INSULATION STOPS AT EAVES
 6 mil POLY V.B.
 5/8" CD DRYWALL
- 2 EAVES
 2x6 EXPOSED TAILS
 (NO SOFFIT OR FASCIA)
- 3 EXTERIOR WALL
 EXTERIOR FINISH AS PER ELEVATIONS
 BUILDING PAPER or HOUSEWRAP
 7/16" OSB WALL SHEATHING
 2x6 STUDS @ 16" o.c. U.N.O.
 R22 FIBREGLASS BATT INSULATION
 6 mil POLY V.B.
 1/2" DRYWALL
- 4 INTERIOR WALL
 1/2" DRYWALL
 2x4 STUDS U.N.O. @ 16" o.c.
 1/2" DRYWALL

- 5 FLOOR SYSTEM
 FINISHED FLOORING
 3/8" OVERLAY (OPTIONAL)
 3/4" T & G FIR PLYWOOD FLOOR SHEATHING
 18" FLOOR TRUSSES @ 16.0" o.c.
 5/8" CD DRYWALL
- 6 FOUNDATION WALL
 DAMPPROOF EXTERIOR BELOW GRADE
 PARGING ABOVE GRADE
 CONCRETE FOUNDATION WALL
 (SIZE AND REINFORCING BY P. ENG.) on
 CONTINUOUS CONCRETE FOOTING
 (SIZE AND REINFORCING BY P. ENG.)
- 7 SLAB FLOOR
 CONCRETE SLAB ON GRADE
 (DESIGN BY OTHERS)
 6 mil POLY MOISTURE BARRIER
 8" MIN CRUSHED ROCK
- 8 WEEPING TILE
 4" DIA. SOCKED WEEPING TILE IN
 6" CRUSHED STONE (CLEAR)
 CONNECTED TO SUMP PUMP
 OR STORM DRAIN AS REQUIRED
 (SLOPE EXCAVATION TO SUMP)
- 9 RIM JOIST INSULATION
 SPRAYFOAM INSULATION c/w FIREGUARD
 IN ALL PERIMETER JOIST SPACES.
 CONTRACTOR TO ENSURE CONTINUITY OF
 INSULATION & AVB REQUIREMENTS ARE MET.

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NH PROJECT No.: M0660

LOCATION: 36 WHARF STREET, BLUFFTON, SC

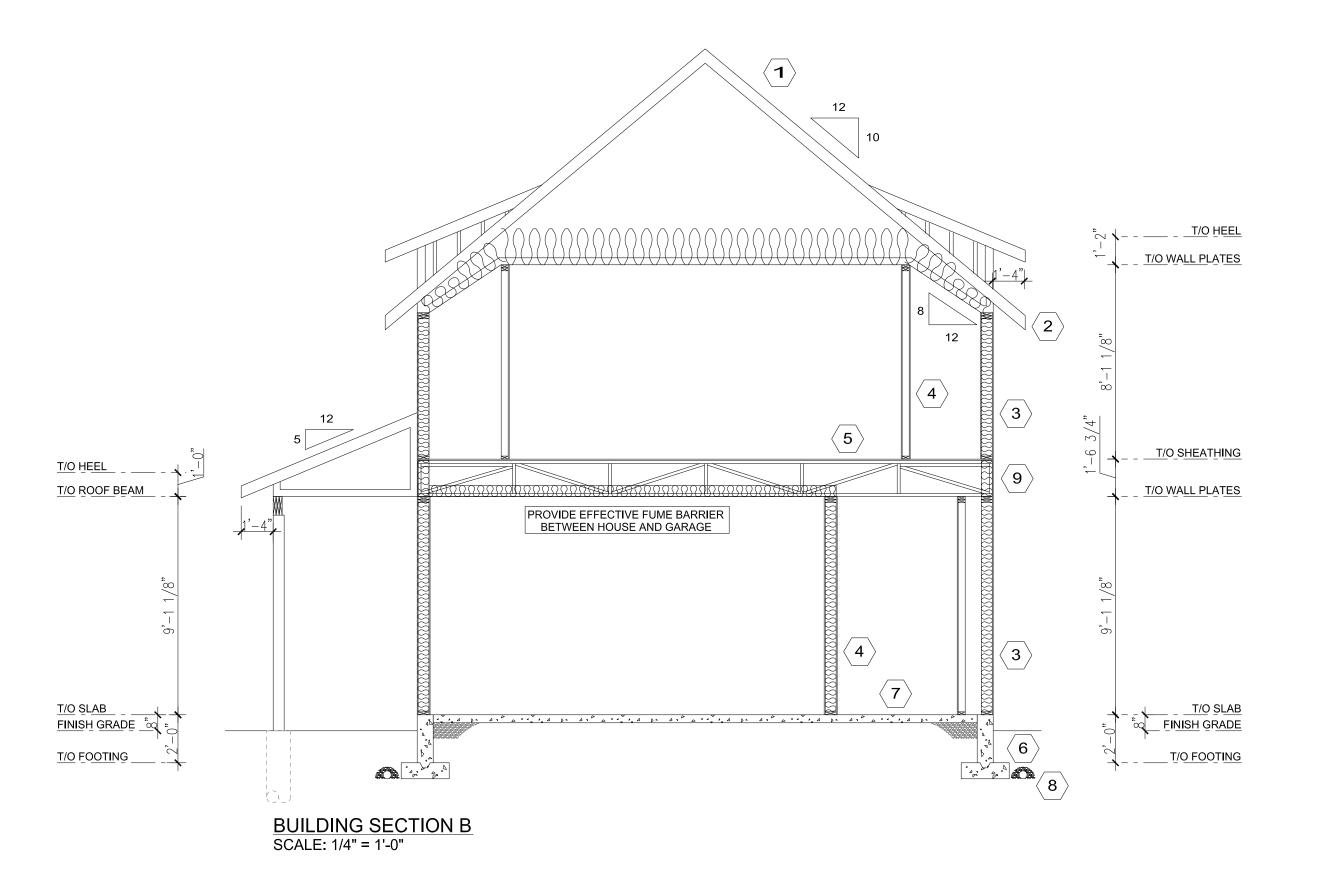
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ATTACHMENT 6



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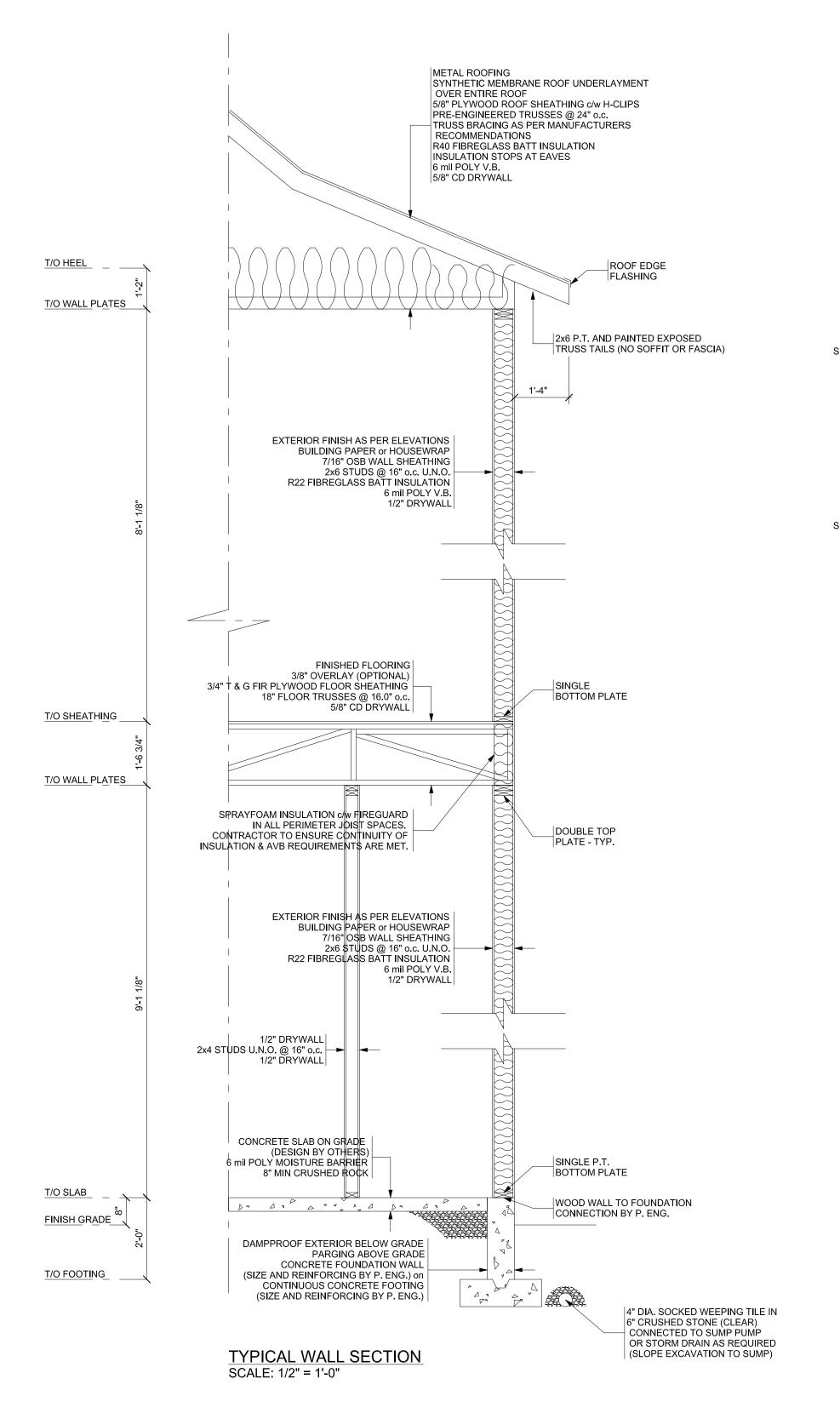
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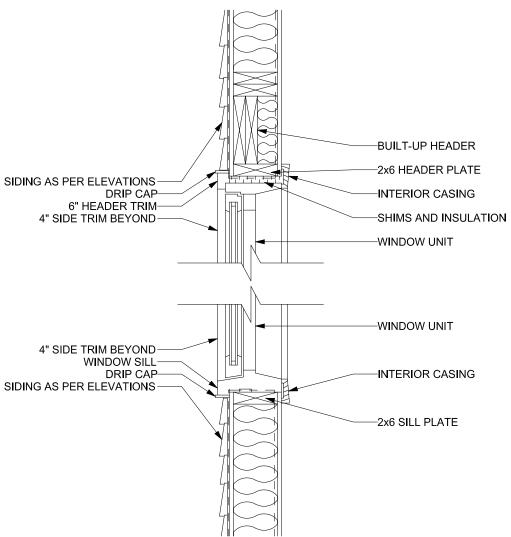
LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

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TYPICAL WINDOW HEADER & SILL DETAIL NTS

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LOCATION: 36 WHARF STREET, BLUFFTON, SC

SIZE: 1200 SQ FT

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Kolcun Tree Care, LLC

41 ULMER ROAD BLUFFTON, S.C. 29910 PHONE (843) 757-8050 FAX (843) 757-8095

Arborist Report for 36 Wharf Street, Bluffton, SC

September 26, 2025

To Whom It May Concern,

I was asked to inspect a few trees located at 36 Wharf Street. They consist of a 40 inch Laurel Oak, 13 inch Gum and 20 inch Willow Oak. The Gum and Laurel are located on the right rear corner of the property at the end of the driveway. The Oak is showing signs of Phytophthora Canker as well as crown die-back.

The Willow Oak located left of the house has a severe lean over the roof and house. Weight reduction, in my opinion, is not an option as there is not a good point to cut back to.

With strong wind events becoming more normal in recent years. All three trees should be removed to eliminate all risks to people or buildings.

Arborists use their education, knowledge, and past experiences to make the best possible recommendations they can. However, trees are a valuable part of mother nature. Nature can be highly unpredictable and outside or unknown influences can affect the health of trees. To live near trees, one must assume a certain amount of risk.

Should you have any questions or concerns, please contact me.

Thank You,

Jaime Matthews

ISA Certified Arborist, T.R.A.Q.: SO-10595A



TOWN OF BLUFFTON 2026 HISTORIC PRESERVATION COMMISSION Meeting and Application Submission Schedule

MEETING DATES	APPLICATION SUBMISSION DEADLINES
January 7, 2026	December 10, 2025
February 4, 2026	January 7, 2026
March 4, 2026	February 4, 2026
April 1, 2026	March 4, 2026
May 6, 2026	April 8, 2026
June 3, 2026	May 6, 2026
July 1, 2026	June 3, 2026
August 5, 2026	July 8, 2026
September 2, 2026	August 5, 2026
October 7, 2026	September 9, 2026
November 4, 2026	October 7, 2026
December 2, 2026	November 4, 2026
January 6, 2027	December 9, 2026

REGULAR MEETINGS ARE HELD THE 1st WEDNESDAY OF EACH MONTH AT 6:00 P.M.

Please Note:

- 1. For submission requirements and information please consult www.townofbluffton.sc.gov or phone (843) 706-4500.
- 2. The proper forms and filing fee (as indicated on the Master Fee Schedule) must accompany all submittals. Incomplete submittals will NOT be accepted.
- 3. Meetings will be held on scheduled meeting dates unless otherwise advertised with FOIA compliance.
- 4. All new applications, required revisions and information related to previously submitted applications must be submitted four (4) weeks prior to the meeting date in order to be placed on the agenda.

Section VII. Item #4.



TOWN OF BLUFFTON

2026 HISTORIC PRESERVATION REVIEW COMMITTEE Meeting and Application Submission Schedule

HPRC MEETINGS ARE HELD <u>EVERY MONDAY</u> FROM 4:00 P.M. – 5:00 P.M. APPLICATION SUBMISSION DATES ARE FIFTEEN (15) BUSINESS DAYS PRIOR TO HPRC MEETING DATES

Please Note:

- 1. For applications, submission requirements, and general information please consult www.townofbluffton.sc.gov or call 843.706.4500.
- 2. Incomplete submittals will not be scheduled for HPRC until all required Concept Plan items are received.
- 3. The proper forms and filing fee (as indicated on the <u>Master Fee Schedule</u>) must accompany all submittals.
- 4. Meetings will be held on scheduled meeting dates unless otherwise advertised.
- 5. Minimum requirements for specific applications are listed on project applications. Applications must be submitted a minimum of fifteen (15) business days days prior to the HPRC meeting date.

Meetings are subject to change based on conflicts due to scheduling, meeting locations and observed holidays.





MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from September 17, 2025 to October 16, 2025

DATE: November 1, 2025

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
8 Wharf St	Residential - Generator	Angie Castrillon	Approved
1250 May River Rd	Howard Hanna Allen Tate Real Estate -	Angie Castrillon	Approved
	Sign		