



Planning Commission Meeting

Wednesday, January 22, 2025 at 6:00 PM

Held Virtually via Teams

AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Planning Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) December 18, 2024 Minutes

V. ELECTION OF OFFICERS

1. Election of Planning Commission Chair
2. Election of Planning Commission Vice-Chair
3. Election of Development Review Committee Member

VI. PUBLIC COMMENT

If you wish to make Public Comment, please reach out to Keiry Ponce (kponce@townofbluffton.com) to coordinate via Teams

VII. OLD BUSINESS

VIII. NEW BUSINESS

- [1.](#) **CVS Pharmacy 2745 (Certificate of Appropriateness - Highway Corridor Overlay):** A request by Shelbi D'Avignon of Boos Development Group, Inc. on behalf of CVS 7651 SC, LLC, for review of a Certificate of Appropriateness - Highway Corridor Overlay application. The project consists of an 11,286 SF retail, clinic and pharmacy with drive through and associated infrastructure. The property is zoned Jones Estate PUD and consists of approximately 1.911 acres, identified by tax map number R610 036 000 0979 0000 located within the May River

Crossing Master Plan and falls within the Town of Bluffton Highway Corridor Overlay District. (COFA-09-24-019355) (Staff - Charlotte Moore)

- 2. Culver's Bluffton (Development Plan):** A request by William Heintz of Kimley-Horn, on behalf of Rolling Dough Properties, LLC, for approval of a Preliminary Development Plan. The project consists of a 4,400 SF quick service restaurant with associated parking and infrastructure. The property is zoned Buckwalter PUD and consists of approximately 1.52 acres identified by tax map number R610 030 000 2002 0000 and located at the southeast corner of Buckwalter Place Blvd and Innovation Drive within the Buckwalter Place Master Plan. (DP-10-24-019406) (Staff - Dan Frazier)

IX. DISCUSSION

X. ADJOURNMENT

NEXT MEETING DATE: Wednesday, February 26, 2025

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Planning Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

December 18, 2024

I. CALL TO ORDER

Chairwoman Denmark called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairwoman Amanda Jackson Denmark

Vice Chairman Charlie Wetmore

Commissioner Michael Brock

Commissioner Lydia DePauw

Commissioner Jim Flynn

Commissioner Daniel Grove

ABSENT

Commissioner Rich Delcore

III. ADOPTION OF MINUTES

1. November 20, 2024 Minutes

Commissioner Brock made the motion to adopt the minutes as written.

Seconded by Commissioner Flynn.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Brock,
Commissioner DePauw, Commissioner Flynn, Commissioner Grove

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

VI. NEW BUSINESS

- Pickup USA Fitness Club (Development Plan Application):** A request by Brad Buss of Ward Edwards Inc., on behalf of Eric Zwilsky of 1 Corinthians, LLC, for approval of a Preliminary Development Plan. The project consists of a 15,400 SF basketball-focused fitness facility with associated access, parking, utilities and stormwater infrastructure. The property is zoned General Mixed Use (GMU) and consists of approximately 6.0 acres identified by tax map numbers R610 031 000 0212 0000 and R610 031 000 0173 0000. (DP-10-24-019391) (Staff - Dan Frazier)

Staff presented. The applicant was present. The commissioners had questions regarding the process for recombining the two lots shown on the site plan. There was discussion regarding access to the building via sidewalk from the overflow parking and if more ADA parking spots would be required if an expansion to the building is proposed in the future.

Commissioner Flynn made the motion to approve the PickUp USA Fitness Club Preliminary Development Plan application as submitted.

Seconded by Commissioner Brock.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Brock, Commissioner DePauw, Commissioner Flynn, Commissioner Grove

All were in favor and the motion passed.

VII. DISCUSSION

VIII. ADJOURNMENT

Commissioner Brock made the motion to adjourn.

Seconded by Commissioner Flynn.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Brock, Commissioner DePauw, Commissioner Flynn, Commissioner Grove

All were in favor and the motion passed. The meeting adjourned at 6:09 pm

TOWN OF BLUFFTON



STAFF REPORT

Department of Growth Management

MEETING DATE:	January 22, 2025
PROJECT:	CVS (Store 2745) at May River Crossing - Certificate of Appropriateness-Highway Corridor Overlay District (HCO)
PROJECT MANAGER:	Charlotte Moore, AICP Principal Planner

APPLICATION REQUEST: The Applicant, Shelbi D’Avignon (Boos Development Group, Inc.), on behalf of CVS 75651 SC, LLC, requests approval from the Planning Commission of the following application:

COFA-09-24-019355. A Certificate of Appropriateness-HCO for the construction of an 11,286 square foot retail building to include a clinic and pharmacy with a drive-through. The property is zoned Jones Estate PUD and consists of approximately 1.911 acres, identified by tax map number 6R610 036 000 0979 0000 located within the May River Crossing Master Plan and within the Town of Bluffton Highway Corridor Overlay District.

INTRODUCTION: The Applicant is requesting approval of a Certificate of Appropriateness – Highway Corridor Overlay application which is subject to review by the Planning Commission, for the review of architecture, landscaping and lighting design per the applicable regulations identified in the next section of this report.

A separate Preliminary Development Plan (DP-04-24-019111) was approved by the Planning Commission on August 28, 2024. A stormwater permit has not yet been issued for the project, and a Final Development Plan has not been submitted.

APPLICABLE REGULATIONS: The Conceptual Plan and Development Agreement for the Jones Estate PUD was initially approved by Bluffton Town Council on April 14, 2000. As approved, the plan organized the 4,400-acre Jones Estate into planning areas or tracts to provide for the arrangement and regulation of land uses, as well as the allocation of residential densities.

The subject parcel is located within the Church Point Planning Tract which was approved by Town Council on the same date. The subject parcel is also within the May River Crossing Master Plan, which was approved by Town Council on September 20, 2018. The May River Crossing Master Plan replaced Towne Centre at New Riverside Master Plan, which had been approved on September 18, 2007. This parcel is in the May River Crossing Master Plan and is located on Evan Way between SC Highway 170 to the west and May River Crossing to the east.



REVIEW CRITERIA & ANALYSIS: Town Staff and Planning Commission are required to consider the criteria set forth in Section 3.17.3 of the UDO in assessing an application for a Certificate of Appropriateness-HCO. These criteria are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Section 3.17.3.A. The proposed development must be in conformance with applicable architectural, landscaping and lighting provisions provided in Article 5, Design Standards.
 - a) *Finding.* The project is located within the Jones Tract PUD, part of the Church Point Planning Area, and May River Crossing Master Plan. The PUD established specific design standards via the Beaufort County 1990/3 Zoning and Development Standards Ordinance and the Town of Bluffton Highway Corridor Overlay District (HCOD) within the Town of Bluffton Zoning and Development Standards Ordinance (ZDSO), which are attached to the PUD.
2. Section 3.17.3.B. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.

- a) **Finding.** The property is identified a “Mixed-Use Community” in the Church Point Planning Tract for the Jones Tract PUD. Therefore, the property is subject to the Beaufort County 1990/3 Zoning and Development Standards Ordinance and the Town of Bluffton Zoning and Development Standards Ordinance and Design Guidelines, which contain architectural, landscaping, and lighting design standards for properties located in the Highway Corridor Overlay District (HCOD).

A. JONES ESTATE PUD/PUD CONCEPT PLAN

The Jones Estate PUD references the Beaufort County 1990/3 Zoning and Development Standards Ordinance (ZDSO) and The Town of Bluffton Zoning and Development Standards Ordinance Highway Corridor Overlay District (HCOD) for development standards. Compliance has been demonstrated except for the following findings:

1. Architecture (See Attachment 4 for Building Elevations Plan)

Applying Section 5.15.9. (Town of Bluffton Highway Corridor Overlay District, June 20, 2000, Architectural Design), architectural styles should be reflective of, or at least compatible with, architectural styles which exemplify the unique character of the Lowcountry region and conform to the general standards of architectural quality. Sub-section 5.15.9.(D) provides that materials and elements not specifically listed may be considered by the Planning Commission provided consistency with general principles for Lowcountry architecture is demonstrated.

The Applicant redesigned that building from the initial submittal to better reflect Lowcountry vernacular architecture and materials, which includes the use of fiber cementitious lap and board and batten siding, a brick base, and standing seam metal awnings.

Findings include:

- a. **Finding – Roof.** A flat roof is proposed. Pitched roofs (4:12 pitch or greater) are more compatible and appropriate for the Lowcountry aesthetic as provided in Section 5.15.9(D)(2). Further, Sec. 5.15.9.(E)(2) identifies flat roofs without a pediment and long, unarticulated roofs as incompatible. Pitched roofs can be found on the Wendy’s and Parker’s business on Evan Way; and, flat roofs with more architectural treatment than proposed for CVS, exist on outparcel buildings located within May River Crossing. The Planning Commission must determine if the proposed roof form is appropriately representative of Lowcountry architecture and that all rooftop equipment is adequately screened. (See Attachment 5 for Roof Plan).

- b. **Finding- Accent Colors.** Black is the proposed color for parapet coping, decorative shutters, and window mullions. Sec. 5.15.9.(D)(5) allows black to be used as an accent color on a limited basis and at the discretion of the Planning Commission. Of particular concern is the use of a black parapet coping as the contrast against lighter colors appears to emphasize the lack of roofline variation.
- c. **Finding – Shutters.** Non-operational shutters are atypical of Bluffton’s architecture. If shutters are proposed to suggest a window where none exist (Front and Right elevations), an appropriately sized Bahama shutter would be a preferred treatment. Further, the awning over the shutters should be removed. The ornamental elements between the shutters are unclear as details were not provided.
- d. **Finding – Window/Panel Configuration.** The proposed fiber cement panels with an “X” pattern seem disproportionately large and evoke a barn-like appearance. On the “Left Side” (Evan Way) elevation, it would be preferable for the three windows over the “X” panels to have a similar treatment as the windows to the right of the main entrance. This treatment should also be considered for the other elevations where the same window/panel configuration is proposed.
- e. **Finding – Brick Base.** As the building is proposed to be 25 feet tall (approximately two stories), the brick base should be higher to provide the appearance of a more substantial foundation and to provide more visual interest.
- f. **Finding – Rear (SC Hwy 170) Elevation.** The elevation identified as “Rear” is visible from SC Hwy 170, which is a secondary frontage. While there is a 60-foot buffer in which existing trees will be preserved, any underbrush in the buffer that lacks sufficient density now or in the future, or that is lacking completely, will allow portions of this elevation to be visible. As such, architectural treatment should be reconsidered to have a similar elevation as the “Front Side,” which is visible from May River Crossing. Therefore, it is recommended for the Hwy 170 elevation to have similar treatment as the May River Crossing elevation.

2. Landscaping (See Attachment 6 for Landscaping Plan)

- a. **Finding – Trees.** The Landscape Plan has been revised to increase the size of the 13 Willow Oaks from 2-1/2-inch caliper to 4-inch caliper. The Landscape Plan meets the street tree, tree mitigation, and open space requirements of UDO Section 5.3. No additional tree mitigation is required.

- b. **Finding – Drive-through Landscape Strip.** Section 5.15.8.(D) requires a landscaped buffer of eight (8) feet between the structure and the parking area or driving area. While not required in the drive through area per this section, the conversion of the proposed stripped paved area along the “Rear” elevation into a narrow landscape bed could help the elevation appear less like a rear elevation and increase visual interest.

3. **Lighting** (See Attachment 7 for Lighting Plan)

Applying Section 5.15.11., (Highway Corridor Overlay District, Lighting), findings include:

- a. **Finding – Fixture (Luminaire).** Per Section 5.15.11(E)(1), all light fixtures must be a cutoff luminaire whose source is completely concealed within an opaque housing, and which shall not be visible from any street, and including lights mounted on poles, architectural display and decorative lighting. Lighting fixture details have not been provided with this submittal.
- b. **Finding – Light Source (Lamp).** Per Section 5.15.11(E)(2), only incandescent, fluorescent, metal halide, mercury vapor or color corrected high-pressure sodium light may be used. The same type must be used for the same or similar type of lighting on any one site. The Applicant proposes the use of LED luminaries in the parking area and for the wall pack lighting on the building. As such, the Planning Commission must determine the appropriateness of the use of LED lighting as a substitute for those listed in Section 5.15.11.

B. **PUD MASTER PLAN**

1. **Finding – May River Crossing Master Plan.** The Master Plan states that “[a]rchitectural guidelines are currently governed by the Declaration of Covenants, Conditions and Restrictions for Town Centre at New Riverside as found in Book 3706, Pages 3276-3290, in the Register of Deeds for Beaufort County. The property also falls within the Highway Corridor Overlay District (HCOD) and shall comply with these standards. The applicant intends to exercise the design functions entrusted to the applicant as the private developer under the Concept Plan and Development Agreement.”

C. **DEVELOPMENT PLAN**

The Preliminary Development Plan has been reviewed and Town Staff is awaiting the submission of a Final Development Plan

1. **Finding –** As the work proposed in the scope of this project do not modify the parking, landscaping or open space calculations for the site, the UDO Administrator has determined the work is in compliance with the approved Preliminary Development Plan (DP-04-24-019111).

D. DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS

The Declaration of Covenants, Conditions, and Restrictions for the May River Crossing Master Plan.

1. ***Finding - Declaration of Covenants, Conditions, and Restrictions for Towne Centre at New Riverside.*** The applicant shall confirm conformance with the covenants, conditions and restrictions which are recorded with the Towne Centre at New Riverside Master Plan, Book 3706, Pages 3276-3290, Register of Deeds for Beaufort County. A letter from the Declarant is required prior to issuance of this Certificate of Approval.

E. APPLICATIONS MANUAL

The application must comply with applicable requirements in the Application Manual (Section 3.17.3.C).

1. ***Finding – Applications Manual.*** The application has been reviewed by Town Staff and has been determined to be complete and that it meets all requirements of the Applications Manual. Per the Town of Bluffton Applications Manual, a separate Sign Permit will be required for all signage that is being proposed in association with this development.

PLANNING COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.C.6. of the Unified Development Ordinance (UDO), the Planning Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

TOWN STAFF RECOMMENDATION: The requirements of Section 3.17.3 of the UDO will be met if the Planning Commission approves the application with the following conditions:

1. Demonstrate that all rooftop equipment will be screened from view.
2. Provide lighting details to show that all light fixtures will be cutoff luminaires to comply with ZDSO Sec. 5.15.11(E)(1).
3. Provide a letter of approval from the Master Plan Declarant responsible for the covenants and restrictions for the community.
4. Per the Applications Manual, a Town of Bluffton Sign Permit must be submitted for review and approval of any future signage.

Additionally, Town Staff finds that the Planning Commission must determine if certain architectural, landscaping and lighting elements satisfy the requirements of the ZDSO, including the following:

Architecture

5. Determine whether the proposed roof form is appropriately representative of Lowcountry architecture and complies with ZDSO Sec. 5.15.9.(E)(2).
6. Determine if the color black is appropriate for the parapet wall coping, decorative shutters, and window mullions per ZDSO Sec. 5.15.9.(D)(5).
7. Determine if non-operational shutters are appropriate on the Front and Right elevations, and whether the associated awnings should be removed.
8. Determine whether the fiber cement panels with an “X” pattern should remain on the Left (Evan Way) elevation, as well as other elevations with the same window/panel configuration.
9. Determine whether the brick base should be higher to provide the appearance of a more substantial foundation.
10. Determine if the Rear (SC Hwy 170) elevation should appear similar to the Front (May River Crossing) elevation as it is a secondary frontage.

Landscaping

11. In the drive through area along the Rear (SC Hwy 170) elevation, determine if the striped area should be converted into a landscape bed.

Lighting

12. Determine if the use of LED lighting is an appropriate substitute for those lighting types permitted by ZDSO Sec. 5.15.11.

ATTACHMENTS:

1. Application and Narrative
2. Location Map
3. Site Plan
4. Elevations & Dumpster
5. Roof & Floor Plan
6. Survey & Landscape Plan
7. Lighting Plan
8. Response to COFA-HCO Review



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
HIGHWAY CORRIDOR OVERLAY (HCO)
APPLICATION

Growth Management Customer Service Center
 20 Bridge Street
 Bluffton, SC 29910
 (843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Shelbi D'Avignon		Name: CVS 75651 SC, LLC	
Phone: (727) 669-2900		Phone: 1 (800) 746-7287	
Mailing Address: 380 Park Place Blvd. Suite 200, Clearwater, FL 33759		Mailing Address: 1 CVS Drive, Woonsocket, RI 02895	
E-mail: sdavignon@boosdevelopment.com		E-mail: bryan.cook@cvshealth.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: CVS Pharmacy 2745	Conceptual: <input checked="" type="checkbox"/>	Final: <input type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: 9220 Evan Way, Bluffton, SC	Application for:		
Zoning District: Jones Estate PUD & H.C.O.D. (Overlay)	<input checked="" type="checkbox"/> New Construction		
Acreage: 1.911	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R610 036 000 0979 0000			
Project Description: Proposed CVS Retail and Pharmacy			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s) and Architectural Plan(s). <input checked="" type="checkbox"/> 3. Recorded deed and plat showing proof of property ownership. <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. Material samples and color swatches for all proposed materials. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 9/16/24	
Applicant Signature:		Date: 9/16/24	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



960 Morrison Drive, Suite 200
Charleston, South Carolina 29403
o | 770.368.1399
f | 770.368.1944
w | www.foresitegroup.net

September 10, 2024

VIA EMAIL

Town of Bluffton
Development Review Committee
20 Bridge Street
Bluffton, SC 29910

applicationfeedback@townofbluffton.com

RE: 9220 Evan Way Highway Corridor Application Project Narrative

To whom it may concern,

We are working in conjunction with Boos Development Group, Inc. and the owner CVS 75651 SC, LLC. regarding the development of 9220 Evan Way. The site is a part of the Jones Estate Planned Unit Development (Church Point Planning Area) and Highway Corridor Overlay District. The site is currently covered by heavy, densely wooded vegetation, and is intended to be developed into a 11,286 SF CVS Pharmacy with retail as the primary use with a clinic, drive through, and associated parking lot. Existing vegetation will be retained where possible including the 60' buffer on the north portion of the property near Okatie Highway and additional tree plantings will be utilized to supplement removed vegetation in adherence to the Bluffton Town Ordinance. A water extension will be required across Evan Way to service the site for domestic, irrigation, and fire service. A storm drainage extension shall be required to connect the on-site inlets to the master stormwater system for the adjacent Publix development which is understood to provide detention for the CVS site.

The development will adhere to the Bluffton County Unified Development Ordinance. Please don't hesitate to contact me if you should have any questions or require further information for the proposed development.

Thank you for your time and consideration.

Sincerely,
FORESITE GROUP, LLC

A handwritten signature in black ink, appearing to read "B. Morris".

Brian F. Morris, P.E.
Senior Project Manager
bmorris@fg-inc.net
404-771-9988



Y:\SHARED\PROJECTS\103-BOOS DEVELOPMENT\103.073 SEC OF OKATIE HIGHWAY AND EVAN WAY (BLUFFTON, SOUTH CAROLINA)_CIVIL_GSCADDWG\103.073 (S2-1) OKATIE HIGHWAY AND EVAN WAY.DWG

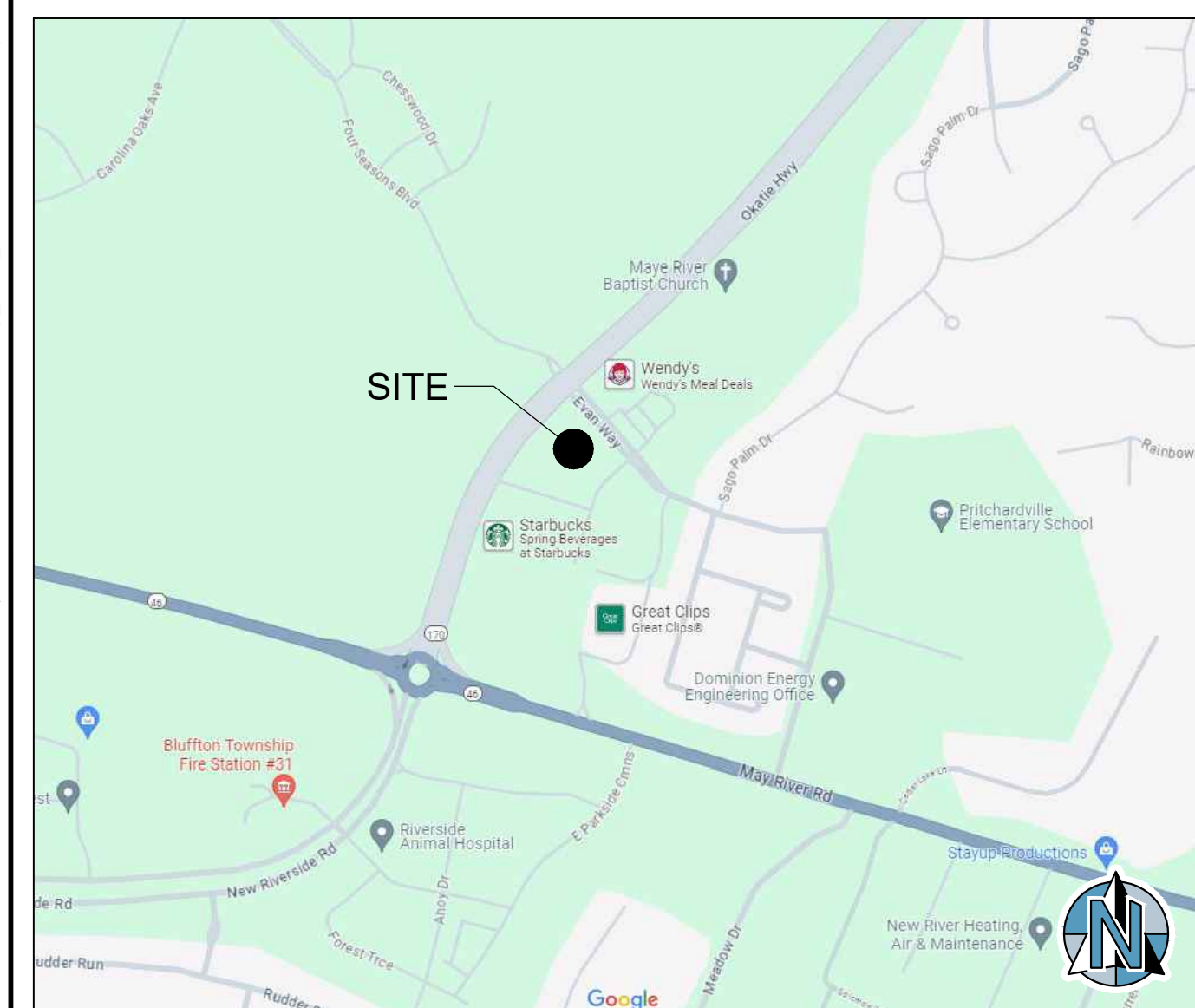
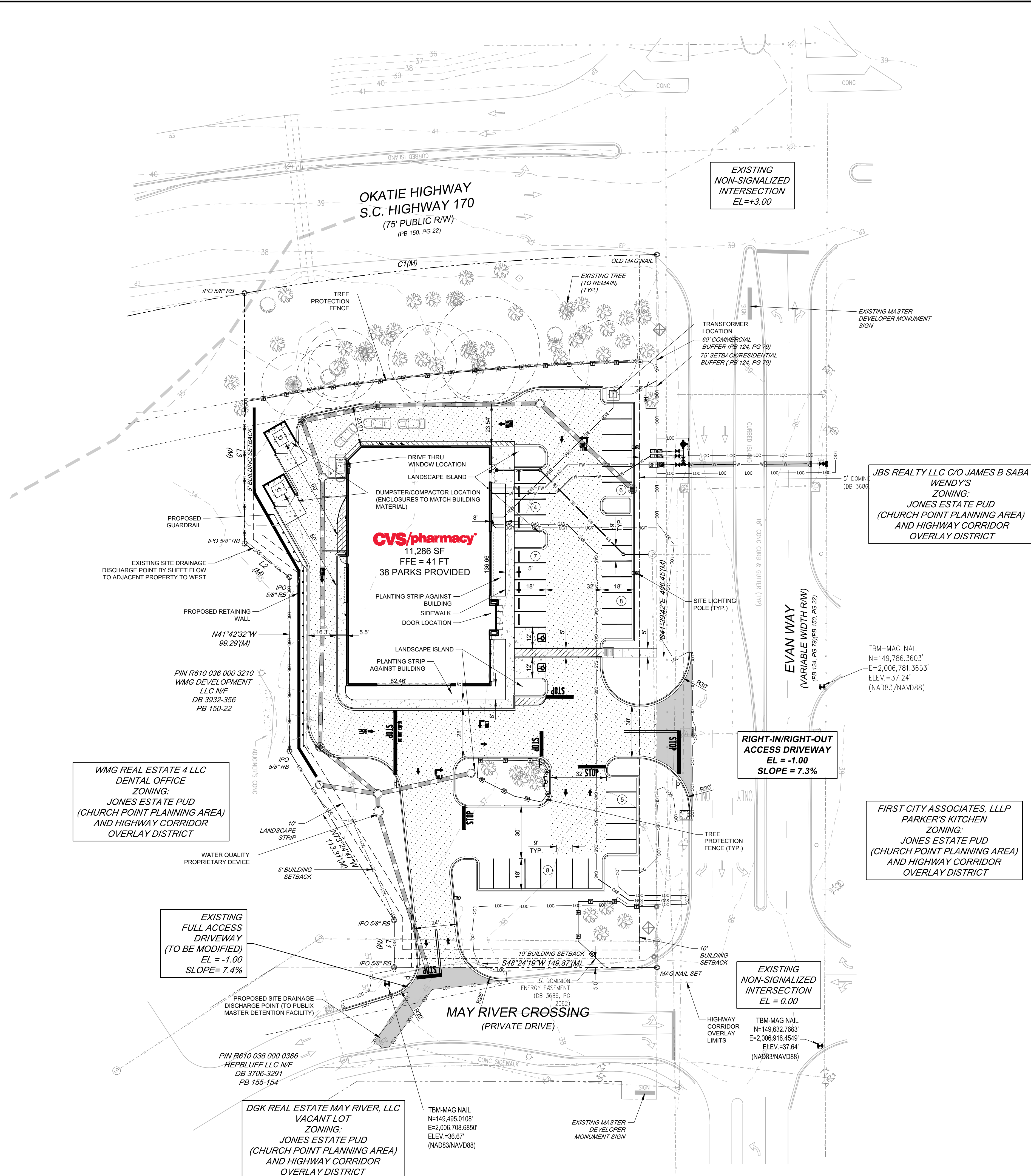
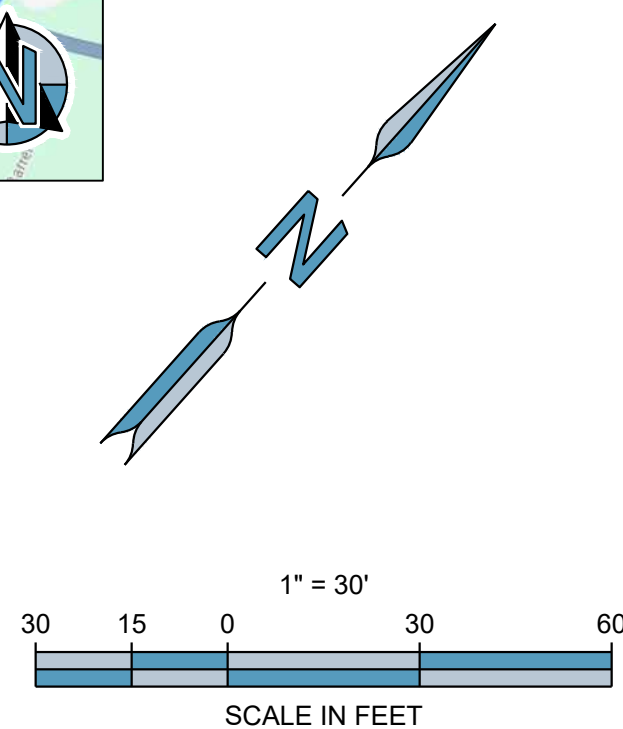
LEGEND		SITE DATA	
	ACCESSIBLE PARKING SPACES	TOTAL SITE AREA	1.91 ACRES
	NUMBER OF PARKING SPACES	PROPOSED PROJECT AREA	1.91 ACRES
	TRANSFORMER BOX ON PAD	PERVIOUS AREA/OPEN SPACE	0.84 ACRES
	EXISTING TREE	IMPERVIOUS AREA	1.07 ACRES (56%)
	STANDARD DUTY ASPHALT PAVING	BUILDING AREA	11,286 SF
	HEAVY DUTY ASPHALT PAVING	BUILDING DENSITY	11,286 SF (BLDG) / 83,264 SF (LOT) = 13.55%
	BEAUFORT COUNTY SPECIFICATION PAVING	PARKING REQUIRED	46 SPACES (1 SPACE/250 SF MAX.) (20% REDUCTION ALLOWED W/ PARKING ANALYSIS)
	CONCRETE PAVING SPECIFICATION	PARKING PROVIDED	38 SPACES (1 SPACE/297 SF)

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1(M)	236.34	1525.00	N42°59'39"E	236.10
C2(R)	236.26	1525.00	N43°03'17"E	236.02

LINE TABLE		
LINE #	BEARING	LENGTH
L1 (M)	N41°39'00"W	26.80
L2 (M)	S85°09'16"W	31.83
L3 (M)	N41°40'08"W	142.77

LINE TABLE		
LINE #	BEARING	LENGTH
L4 (R)	N41°35'41"W	27.07
L5 (R)	S85°02'13"W	31.79
L6 (R)	N41°38'20"W	142.90

NOTES	
1. PROPERTY OWNER (APPLICANT):	CVS 75051 SC, LLC 1 CVS DR, WOODSOCKET, RI 02895
2. PAST DEVELOPMENT PERMIT APPROVAL NUMBERS:	N/A
3. SITE IS LOCATED AT 9220 EVAN WAY WITHIN BEAUFORT COUNTY (TOWN OF BLUFFTON)	
4. PARCEL IDENTIFICATION #	R610 036 000 0070 0000
5. THE SITE IS NOT LOCATED WITHIN THE ONE-HUNDRED (100) YEAR FLOOD ZONE PER FEMA MAP 45013C04050 DATED 3/23/2021 AND NO WETLANDS OR PROTECTED LANDS ARE LOCATED ON SITE.	
6. THE STORMWATER MANAGEMENT SYSTEM FOR THE SITE SHALL BE COMPLIANT WITH THE BLUFFTON STORMWATER DESIGN MANUAL. STORMWATER DETENTION IS UNDERSTOOD TO BE PROVIDED FOR THE SITE BY THE MASTER DETENTION POND FOR THE PUBIX SHOPPING CENTER.	
7. WATER QUALITY WILL BE PROVIDED BY PROPRIETARY DEVICE PRIOR TO CONNECTION TO THE PUBIX MASTER STORMWATER SYSTEM.	
8. SOILS ON SITE:	WD - WANDO FINE SAND SK - SEABROOK FINE SAND
9. THE SITE IS UNDERSTOOD TO BE SUPPLIED WITH ADEQUATE UTILITIES TO SERVICE THE DEVELOPMENT BASED ON THE UTILITIES IDENTIFIED FROM THE SURVEY BY SITE DESIGN, INC. DATED 10/17/2023.	
10. PROPOSED OFFSITE IMPROVEMENTS INCLUDE A WATER LINE EXTENSION AND A STORM DRAINAGE EXTENSION.	
11. REFER TO LANDSCAPE PLAN FOR SUMMARY OF EXISTING TREE CANOPY COVERAGE AND TREE INVENTORY.	

VICINITY MAP
NOT TO SCALE

NON-PROTO 11,286-RIGHT
BUMP-OUT-DRIVE THRU
STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON, SC 29910
PROJECT TYPE: NEW CONSTRUCTION
DEAL TYPE: TURN-KEY
CS PROJECT NUMBER: 46506

ENGINEER:



CONSULTANT:



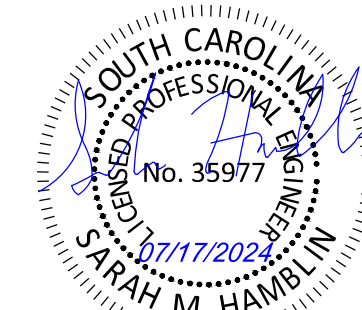
960 MORRISON DR.
SUITE 200
CHARLESTON, SC 29403
803.727.8177

DEVELOPER:



BOOS DEVELOPMENT GROUP, INC.
410 PARK PLACE BLVD, SUITE 100
CLEARWATER, FL 33759
TEL (727) 669-2900
CONTACT: MS. SHELBI D'AVIGNON

SEAL:



REVISIONS:

CITY COMMENTS 2024-7-17

DRAWING BY: SC

DATE: 2024-4-26

JOB NUMBER: 163.573

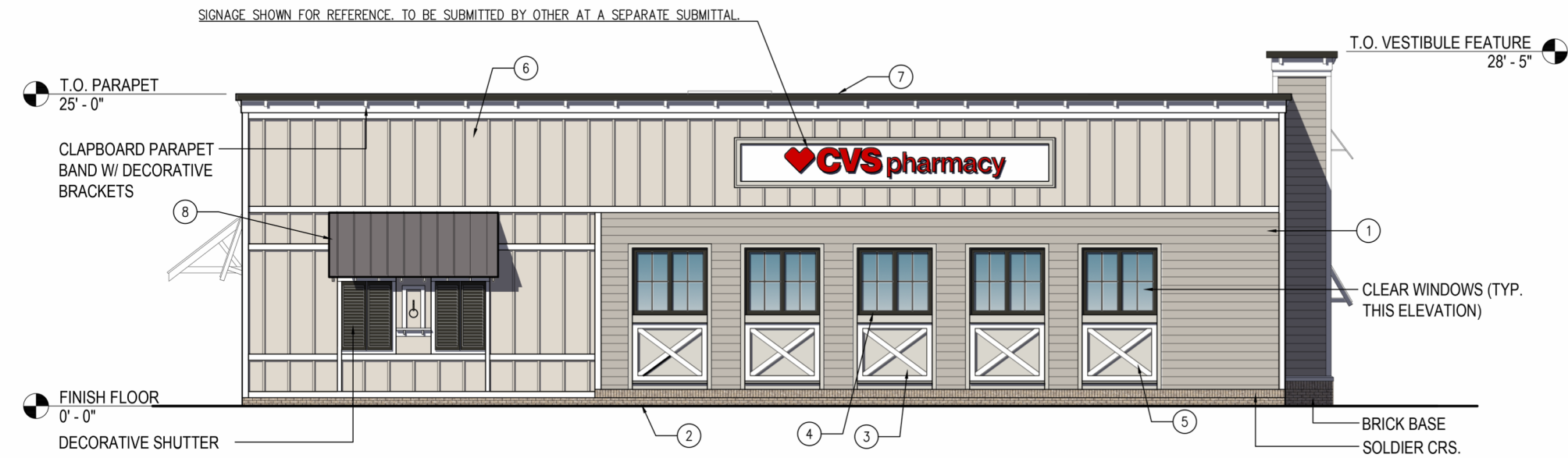
TITLE:

PRELIMINARY PLAN

SHEET NUMBER:

1 OF 1

COMMENTS:
NOT RELEASED FOR CONSTRUCTION



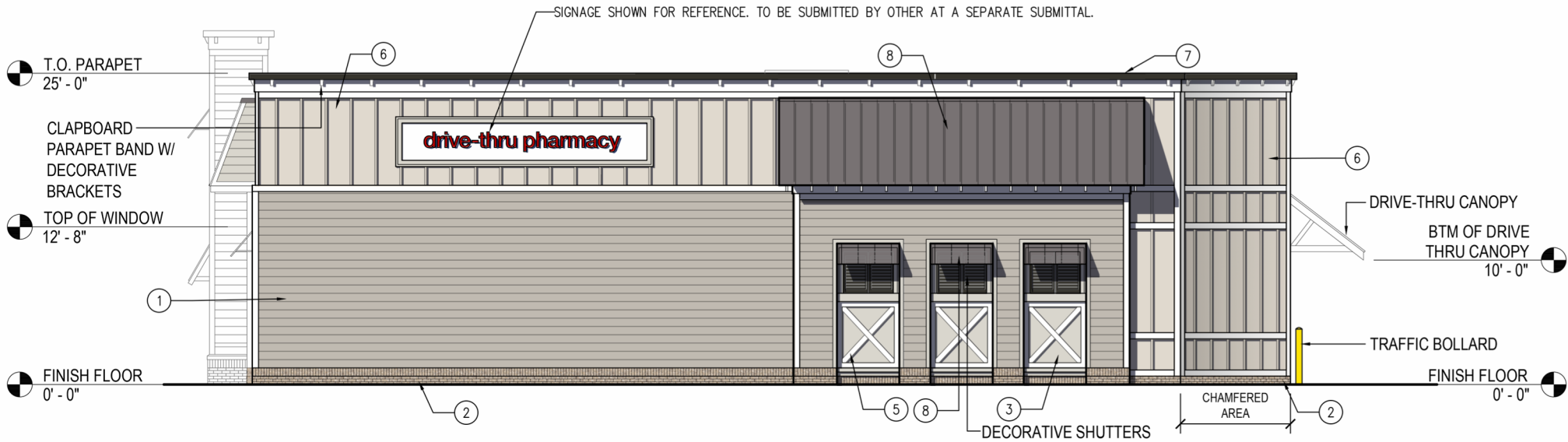
FRONT SIDE ELEVATION

EXTERIOR FINISH SCHEDULE	
TAG	MATERIAL / DESCRIPTION
①	FIBER CEMENT LAP: ALLURA "AGREEABLE GREY"
②	BRICK: PINEHALL "OYSTER PEARL"
③	FIBER CEMENT PANEL: ALLURA "ALLABASTER"
④	WINDOW / DOOR FRAMING: "MATTE BLACK"
⑤	TRIM/ DOOR TRIM: BENJAMIN MOORE "OXFORD WHITE"
⑥	ALLURA FIBER CEMENT BOARD AND BATTEN: "CREAMY"
⑦	METAL COPING: ATAS "MATTE BLACK"
⑧	S.S. METAL: ATAS "SLATE GREY"

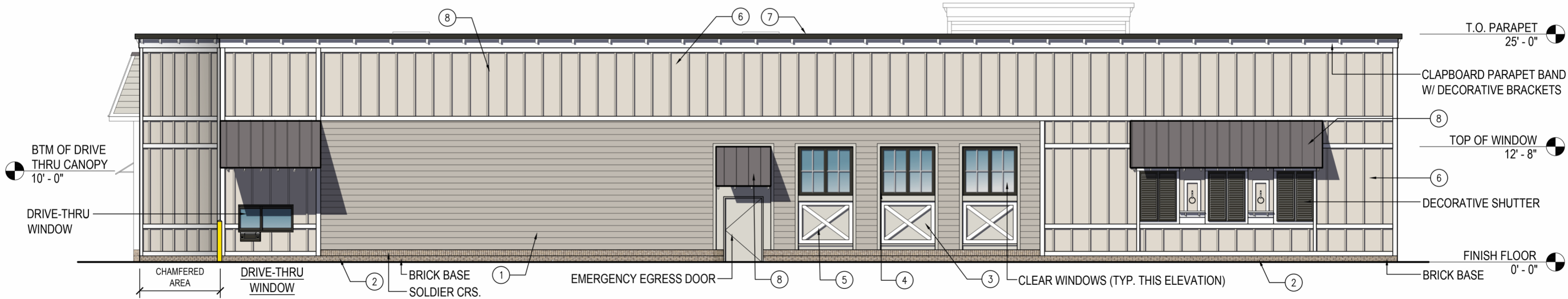


LEFT SIDE ELEVATION

EXTERIOR FINISH SCHEDULE	
TAG	MATERIAL / DESCRIPTION
①	FIBER CEMENT LAP: ALLURA "AGREEABLE GREY"
②	BRICK: PINEHALL "OYSTER PEARL"
③	FIBER CEMENT PANEL: ALLURA "ALLABASTER"
④	WINDOW / DOOR FRAMING: "MATTE BLACK"
⑤	TRIM/ DOOR TRIM: BENJAMIN MOORE "OXFORD WHITE"
⑥	ALLURA FIBER CEMENT BOARD AND BATTEN: "CREAMY"
⑦	METAL COPING: ATAS "MATTE BLACK"
⑧	S.S. METAL: ATAS "SLATE GREY"



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT BUMPOUT DRIVE-THRU

STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON, SC 29910

PROJECT TYPE: NEW STORE
DEAL TYPE: TURNKEY

CS PROJECT NUMBER: 46506

ARCHITECT OF RECORD:



615 South College St., Suite 1600, Charlotte, NC 28202
T: 704.525.6350 F: 704.561.8700

www.littleonline.com

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CONSULTANT:

DEVELOPER:



BOOS DEVELOPMENT GROUP, INC.
410 PARK PLACE BLVD. #100
CLEARWATER, FL 33759
(727) 669-2915

SEAL:

REVISIONS

1	DRB REVISION COMMENTS	07/15/2024
2	DRB REVISION COMMENTS	11/22/2024
3	CVS COMMENTS	12/12/2024

CVS SPM: XXX
DRAWING BY: RW
DATE: 12/12/2024
JOB NUMBER: 121-19384-00
TITLE:

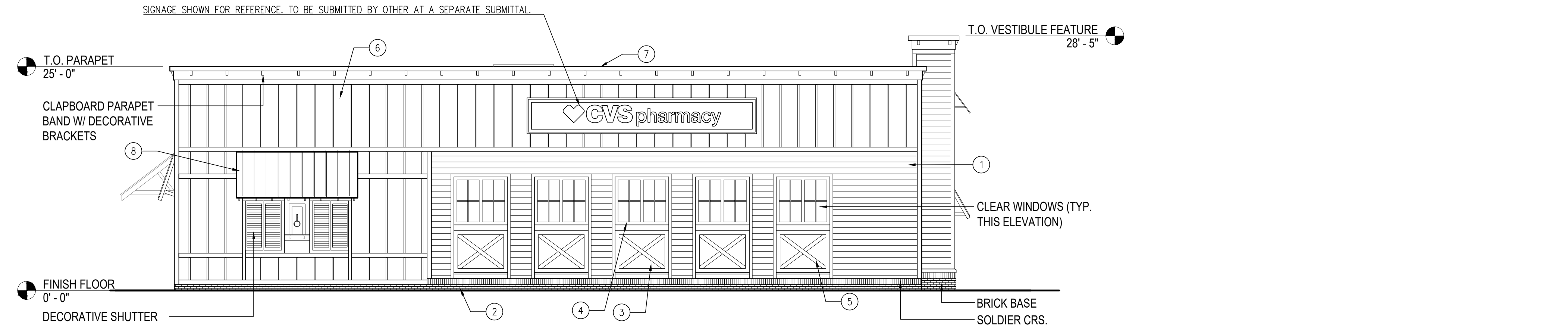
EXTERIOR ELEVATIONS

SHEET NUMBER:

A3

COMMENTS:

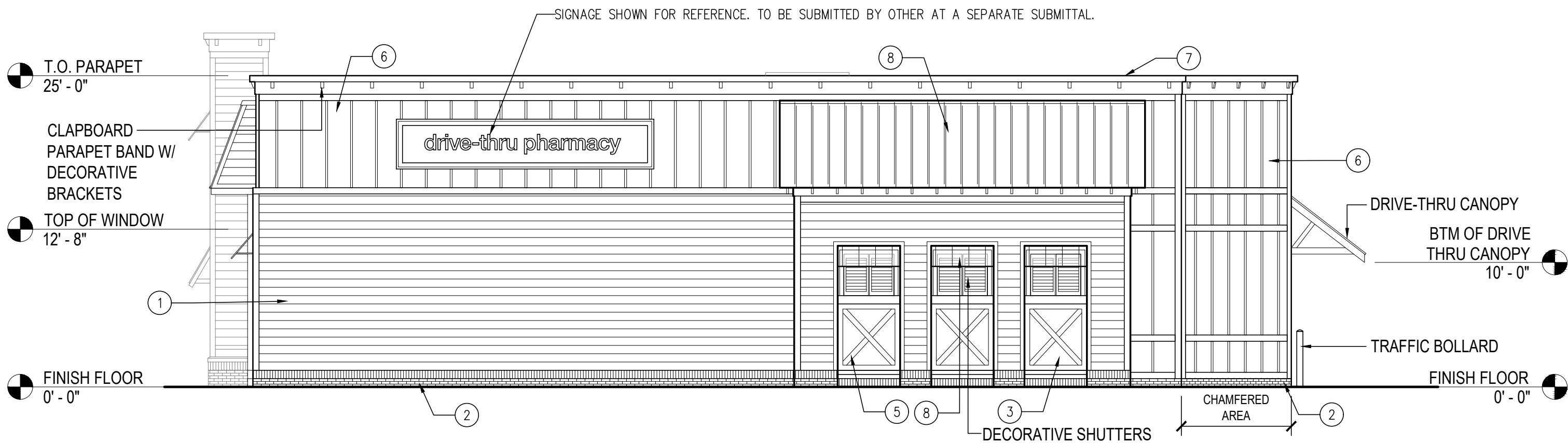
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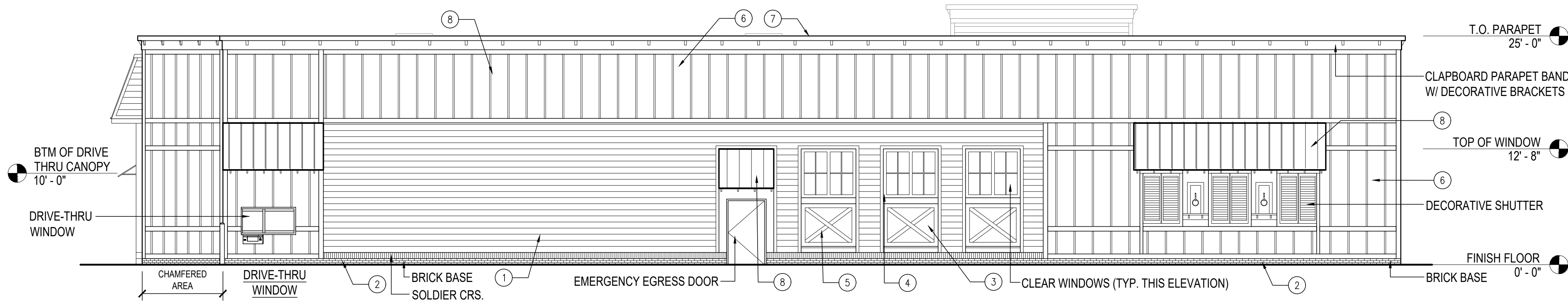
FRONT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



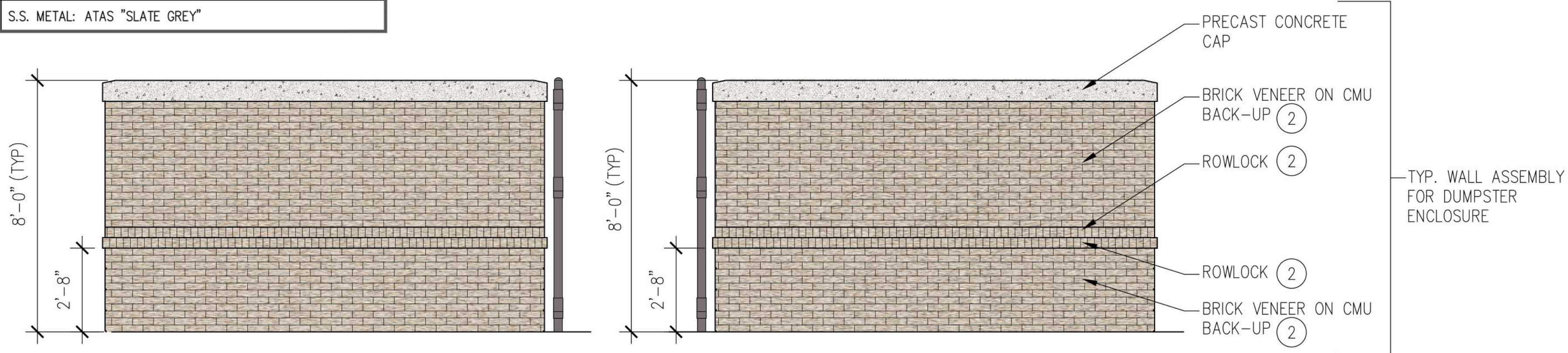
RIGHT SIDE ELEVATION

CVS #2745 - BLUFFTON, SC

US HWY 170 (OKATIE HWY) & US HWY 46 (MAY RIVER ROAD)

DECEMBER 12, 2024

EXTERIOR FINISH SCHEDULE	
TAG	MATERIAL / DESCRIPTION
①	FIBER CEMENT LAP: ALLURA "AGREEABLE GREY"
②	BRICK: PINEHALL "OYSTER PEARL"
③	FIBER CEMENT PANEL: ALLURA "ALLABASTER"
④	WINDOW / DOOR FRAMING: "MATTE BLACK"
⑤	TRIM / DOOR TRIM: BENJAMIN MOORE "OXFORD WHITE"
⑥	ALLURA FIBER CEMENT BOARD AND BATTEN: "CREAMY"
⑦	METAL COPING: ATAS "MATTE BLACK"
⑧	S.S. METAL: ATAS "SLATE GREY"



4

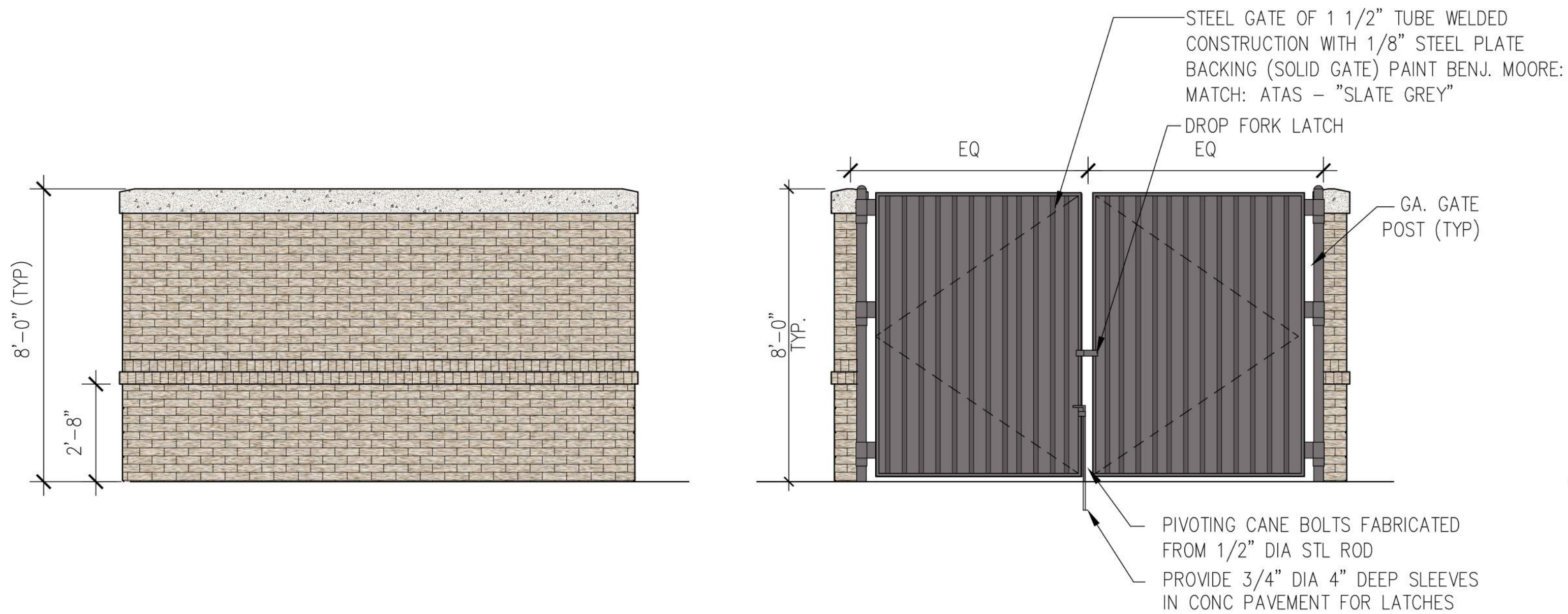
LEFT SIDE ELEVATION

SCALE: 1/2" = 1' - 0"

5

RIGHT SIDE ELEVATION

SCALE: 1/2" = 1' - 0"



1

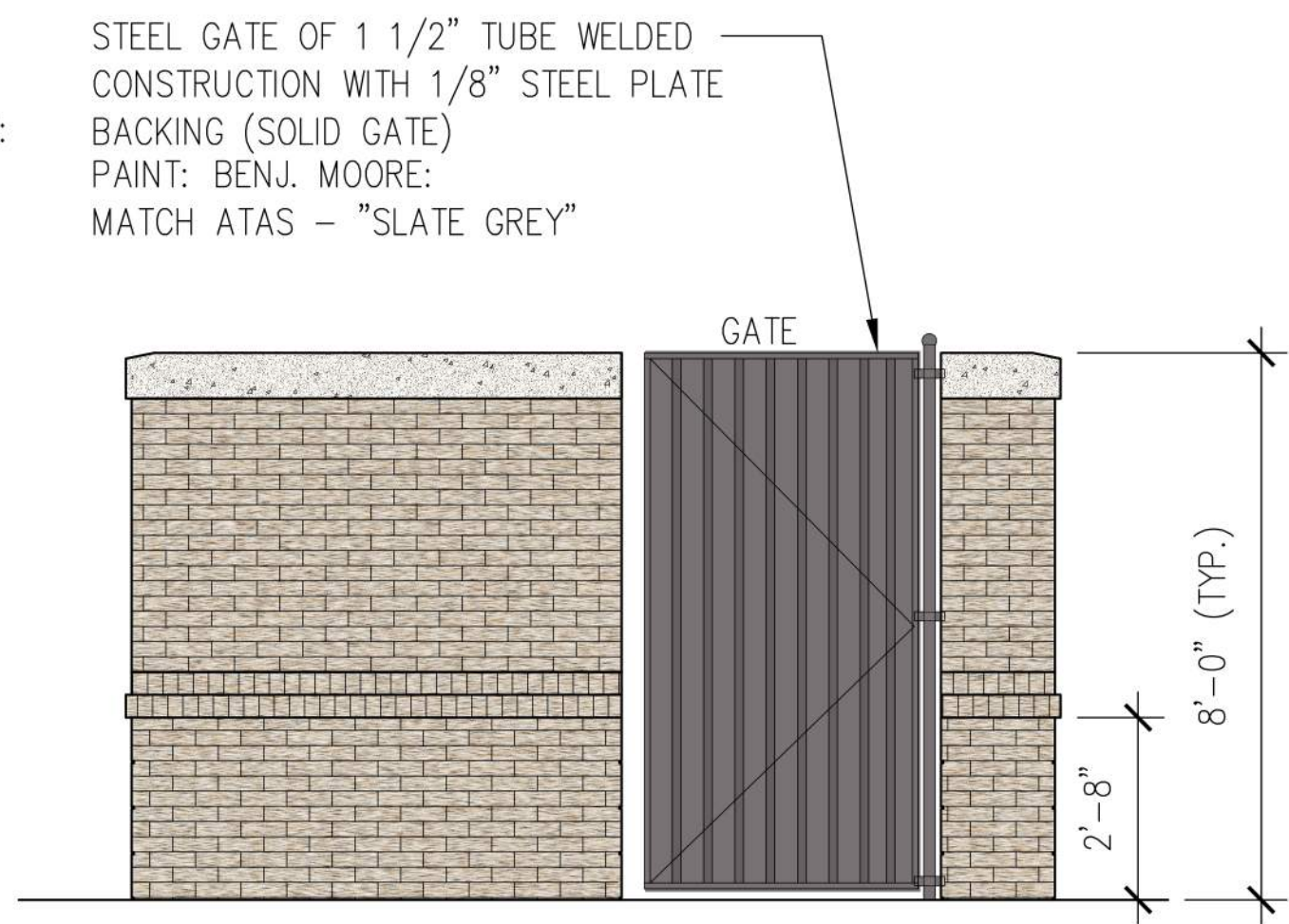
REAR ELEVATION

SCALE: 1/2" = 1' - 0"

2

FRONT ELEVATION

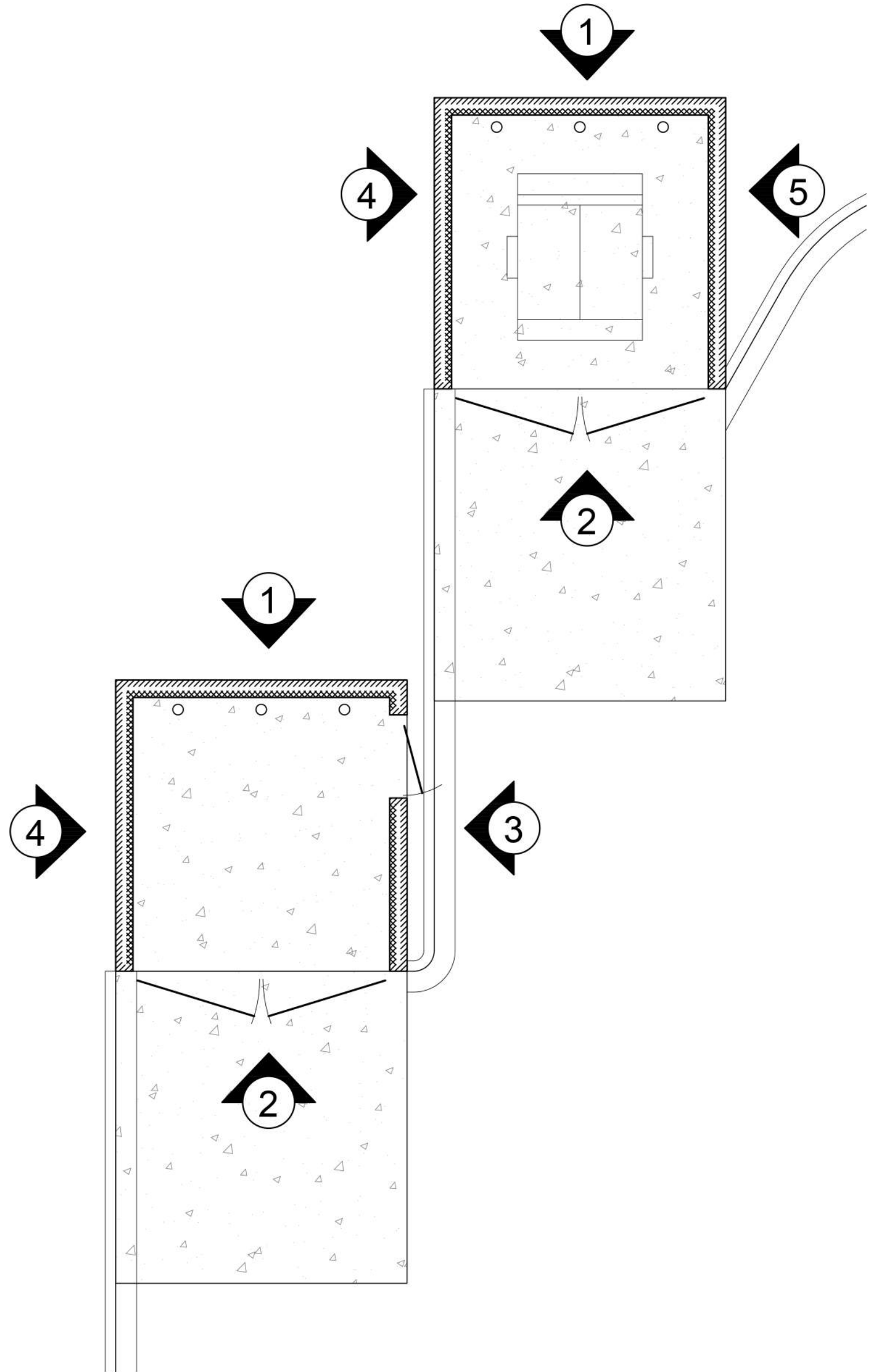
SCALE: 1/2" = 1' - 0"



3

RIGHT SIDE ELEVATION

SCALE: 1/2" = 1' - 0"



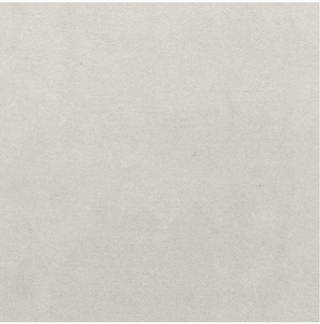
DUMPSTER KEY PLAN



PINEHALL BRICK
"OYSTER PEARL"



ALLURA FIBER CEMENT
TRADITIONAL LAP SIDING
"AGREEABLE GREY"

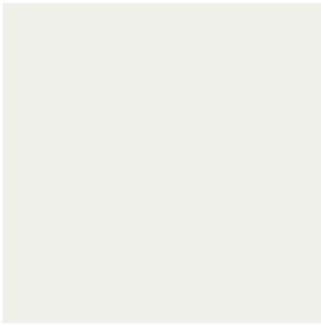


ALURE FIBER CEMENT
PANEL (SMOOTH)
"ALABASTER"



ALUMINUM STOREFRONT AND
WINDOW MULLIONS
"MATTE BLACK"

TRIM



BENJAMIN MOORE
"OXFORD WHITE"

BOARD & BATTEN



ALLURA FIBER CEMENT
"CREAMY"

COPING



ATAS
"MATTE BLACK"

S.S. METAL

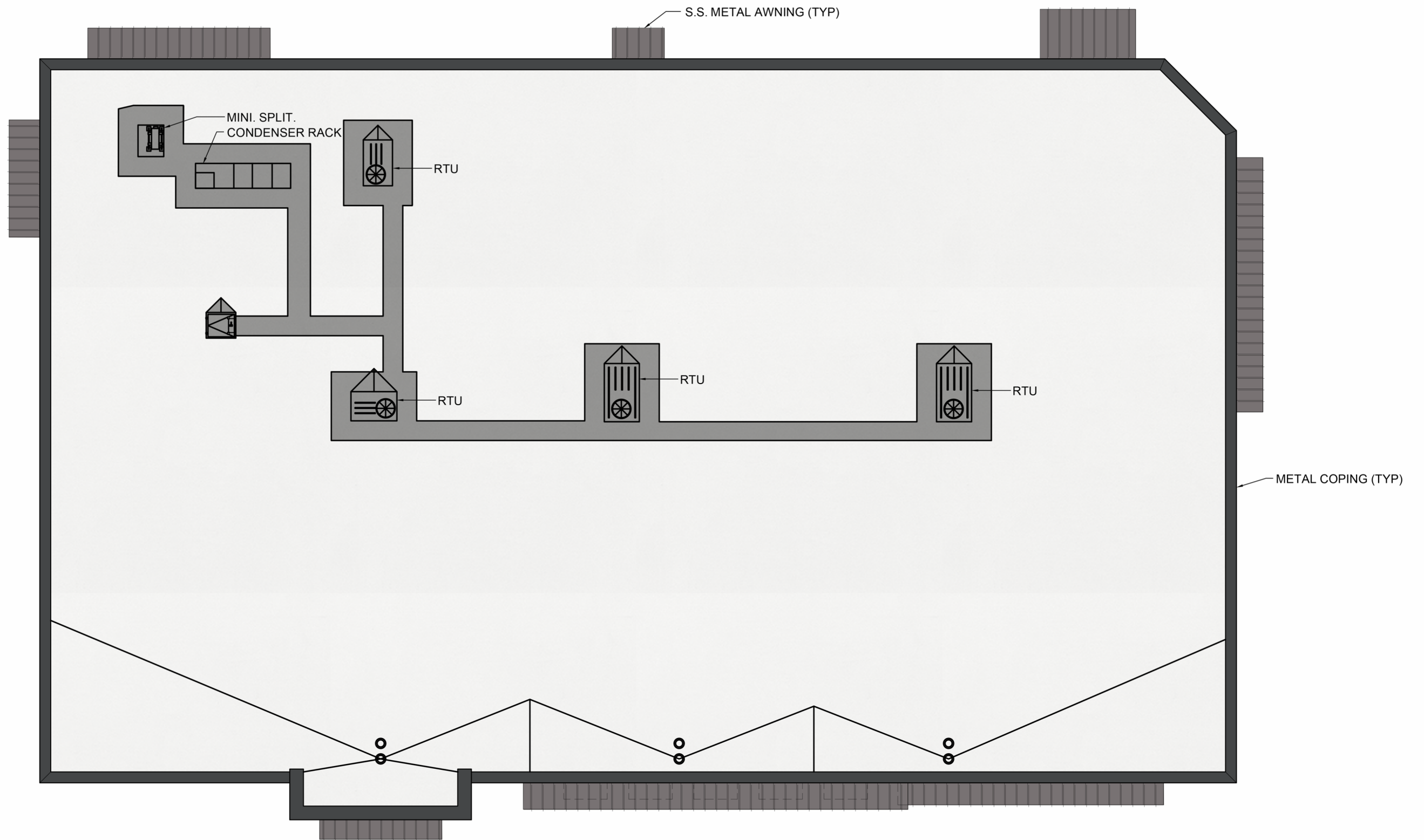


ATAS
"SLATE GREY"

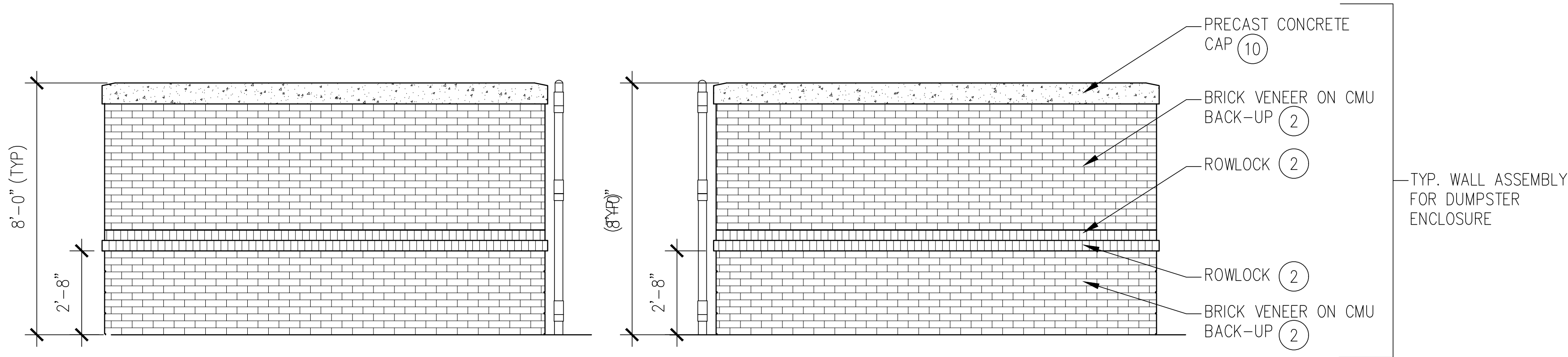
CVS #2745 - BLUFFTON, SC

US HWY 170 (OKATIE HWY)
DECEMBER 12, 2024

Section VIII. Item #1.

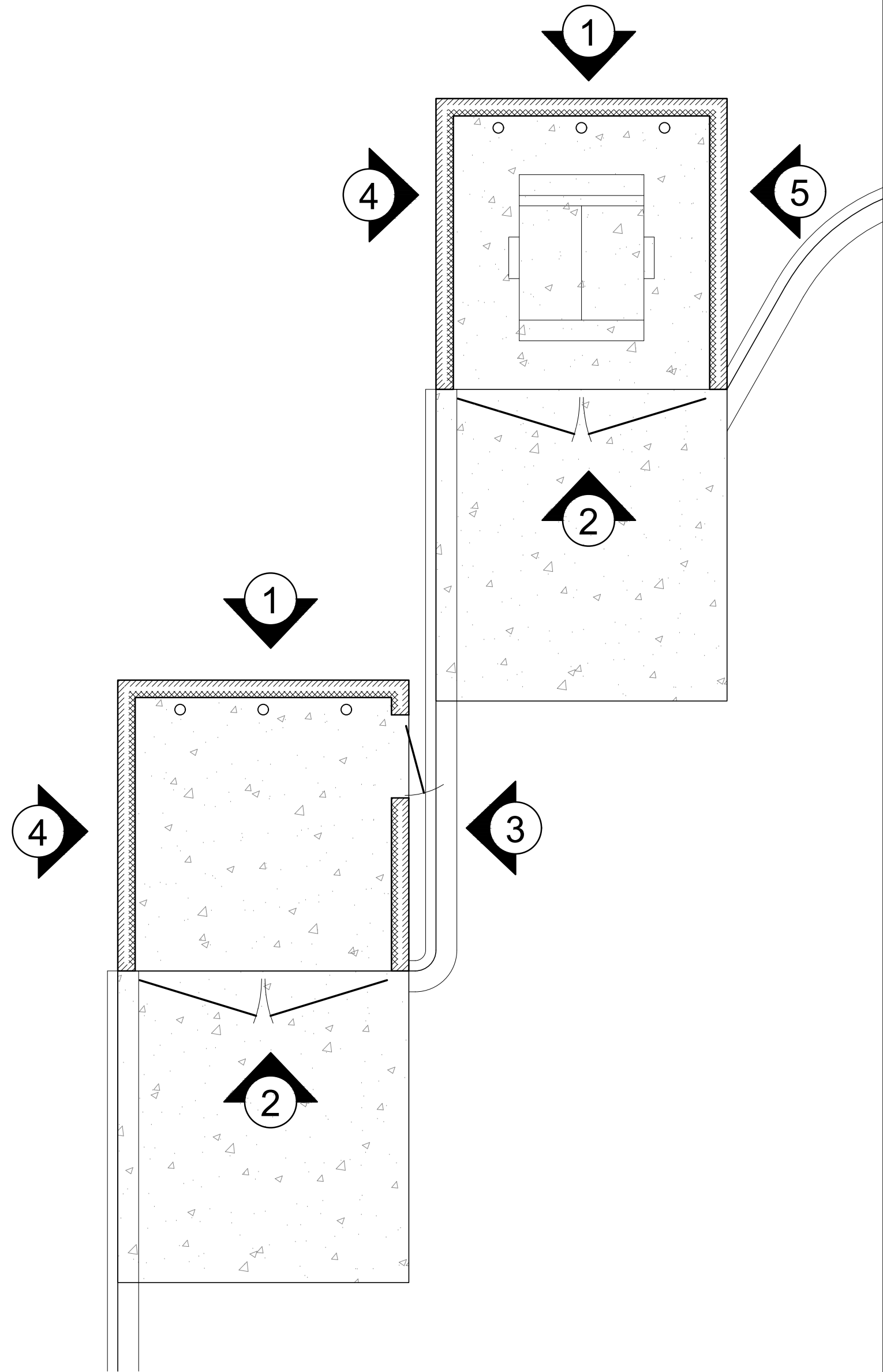


EXTERIOR FINISH SCHEDULE	
TAG	MATERIAL / DESCRIPTION
①	FIBER CEMENT LAP: ALLURA "AGREEABLE GREY"
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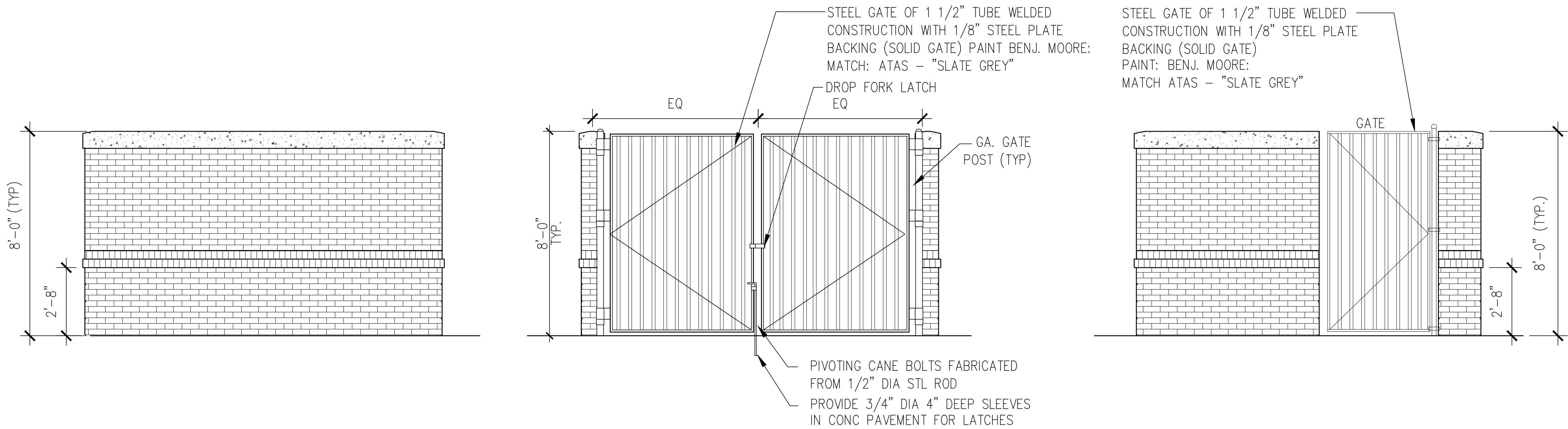


4 LEFT SIDE ELEVATION
SCALE: 1/2" = 1' - 0"

5 RIGHT SIDE ELEVATION
SCALE: 1/2" = 1' - 0"



DUMPSTER KEY PLAN



1 REAR ELEVATION
SCALE: 1/2" = 1' - 0"

2 FRONT ELEVATION
SCALE: 1/2" = 1' - 0"

3 RIGHT SIDE ELEVATION
SCALE: 1/2" = 1' - 0"



LEFT BUMPOUT DRIVE-THRU
STORE NUMBER: 2745
9220 EVAN WAY
BLUFFTON, SC 29910
PROJECT TYPE: NEW STORE
DEAL TYPE: TURNKEY
CS PROJECT NUMBER: 46506

ARCHITECT OF RECORD:



DIVERSIFIED ARCHITECTURAL CONSULTING

615 South College St., Suite 1600, Charlotte, NC 28202
T: 704.525.6350 F: 704.561.8700

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CONSULTANT:

DEVELOPER:



BOOS DEVELOPMENT GROUP, INC.
410 PARK PLACE BLVD. #100
CLEARWATER, FL 33759
(727) 669-2915

SEAL:

REVISIONS

1	DRB REVISION COMMENTS	07/15/2024
2	DRB REVISION COMMENTS	11/22/2024
3	CVS COMMENTS	12/12/2024

CVS SPM: XXX

DRAWING BY: RW

DATE: 12/12/2024

JOB NUMBER: 121-19384-00

TITLE:

DUMPSTER ENCLOSURE
ELEVATIONS

SHEET NUMBER:

A3.1

COMMENTS:

NOT RELEASED FOR CONSTRUCTION



LEFT BUMPOUT DRIVE-THRU

STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON , SC 29910

PROJECT TYPE: NEW STORE
DEAL TYPE: TURNKEY

CS PROJECT NUMBER: 46506

ARCHITECT OF RECORD:



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3	CVS COMMENTS	12/12/2024

CVS SPM: XXX
DRAWING BY: RW
DATE: 12/12/2024
JOB NUMBER: 121-19384-00
TITLE:

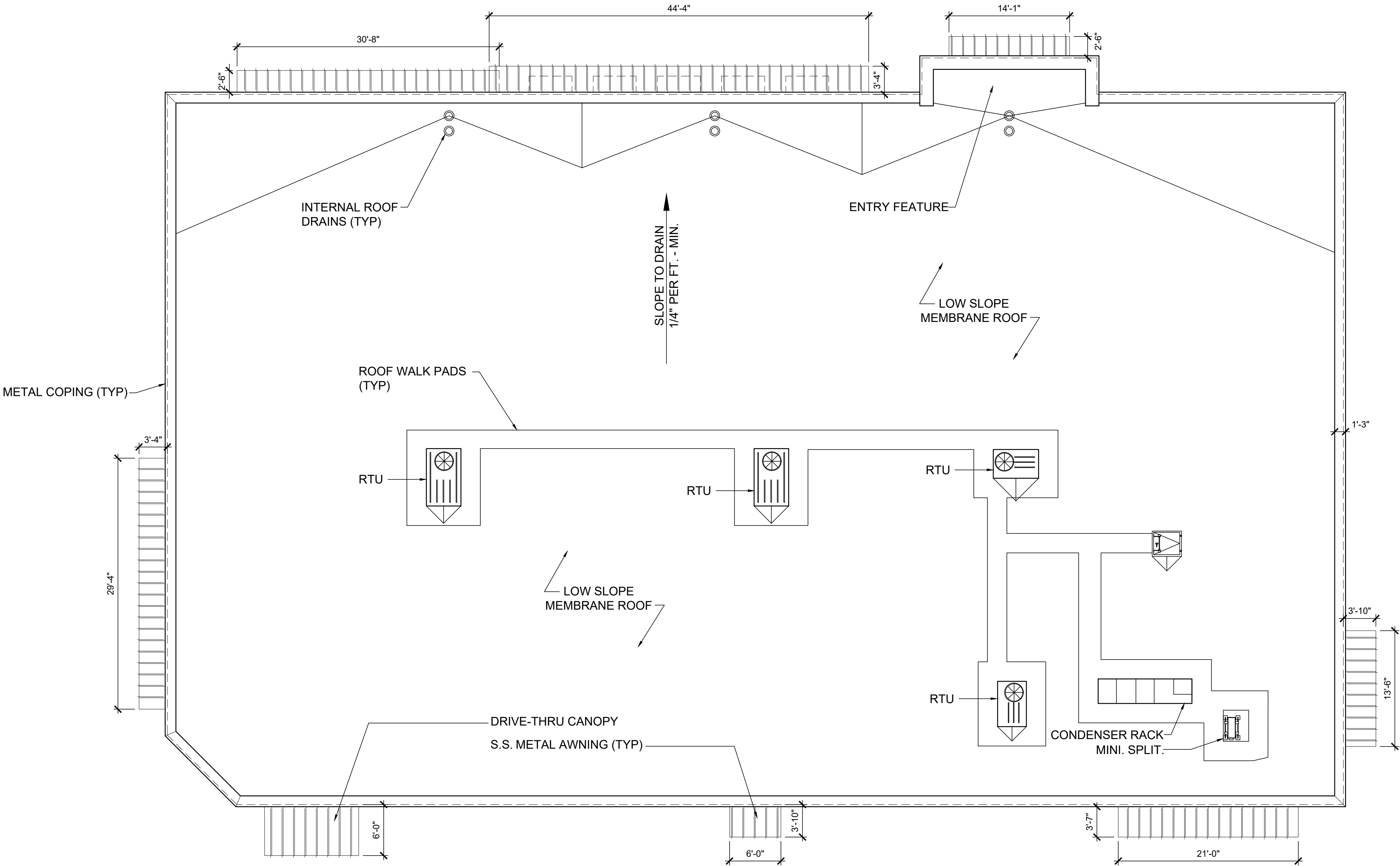
ROOF PLAN

SHEET NUMBER:

A2

COMMENTS:

NOT RELEASED FOR CONSTRUCTION



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



LEFT BUMPOUT DRIVE-THRU

STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON, SC 29910

PROJECT TYPE: NEW STORE
DEAL TYPE: TURNKEY

CS PROJECT NUMBER: 46506

ARCHITECT OF RECORD:



615 South College St., Suite 1600, Charlotte, NC 28202
T: 704.525.6350 F: 704.561.8700
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DEVELOPER:



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CLEARWATER, FL 33759
(727) 669-2915

SEAL:

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2	DRB REVISION COMMENTS	11/22/2024
3	CVS COMMENTS	12/12/2024

CVS SPM: XXX

DRAWING BY: RW

DATE: 12/12/2024

JOB NUMBER: 121-19384-00

TITLE:

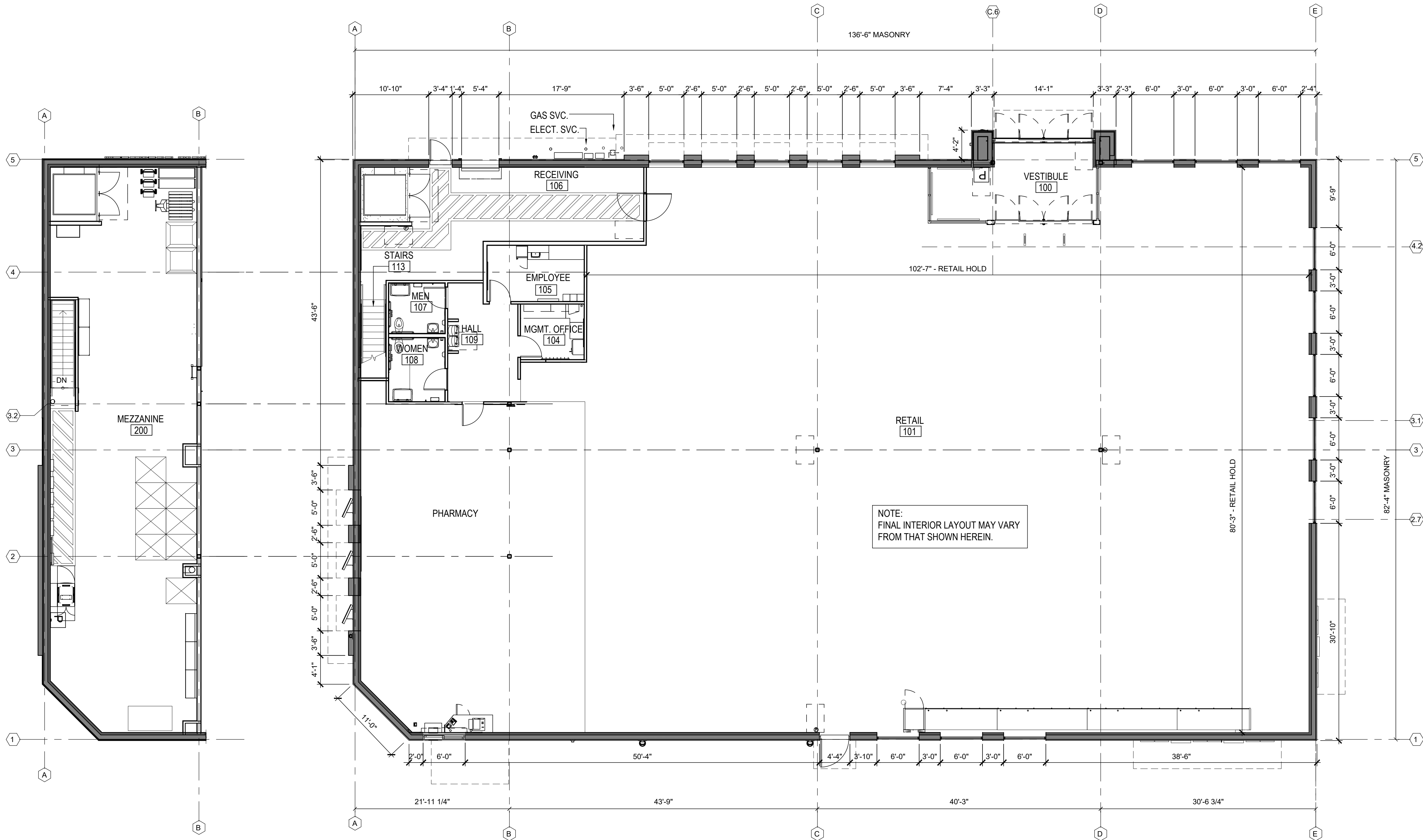
FLOOR PLAN

SHEET NUMBER:

A1

COMMENTS:

NOT RELEASED FOR CONSTRUCTION



2 FLOOR PLAN - MEZZANINE
SCALE: 1/8" = 1'-0"

1 FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"

EXCEPTIONS

NUMBERS CORRESPOND TO SCHEDULE B EXCEPTION ITEMS
CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO.: CVS-ds
DATED: OCTOBER 30, 2023

- ⑦ TERMS AND CONDITIONS OF THAT CERTAIN DEVELOPMENT AGREEMENT BY AND AMONG NEW RIVER FARMS, L.P., HOLLY BRANCH FARMS, L.P., JONES ASSOCIATES, L.P., BARBARA J. BAILEY LIMITED PARTNERSHIP, DOROTHY R. ZETTEROWER, LILLIAN R. STEPHENSON, CHRISTOPHER C. RYALS AND TOWN OF BLUFFTON, SOUTH CAROLINA, DATED JUNE 21, 2000, AND RECORDED IN THE BEAUFORT COUNTY RECORDS IN BOOK 1315 AT PAGE 1099; AS AMENDED BY FIRST AMENDMENT RECORDED IN BOOK 2065 AT PAGE 1784; AND FURTHER AMENDED BY AMENDMENT RECORDED IN BOOK 2256 AT PAGE 174; AND ASSIGNMENT OF DEVELOPMENT RIGHTS TO MID-POINT INVESTORS, INC. DATED DECEMBER 30, 2005, RECORDED IN BOOK 2341 AT PAGE 1085; AND ASSIGNMENT OF DEVELOPMENT RIGHTS RECORDED IN BOOK 2407 AT PAGE 377; AND ASSIGNMENT OF DEVELOPMENT RIGHTS TO WESTCO DEVELOPMENT #37, L.L.C., RECORDED IN BOOK 2522 AT PAGE 1269; AND ASSIGNMENT OF DEVELOPMENT RIGHTS TO DUMLER PROPERTIES, L.L.C., RECORDED IN BOOK 2522 AT PAGE 1303; AND ASSIGNMENT OF DEVELOPMENT RIGHTS TO CVS 75651 SC, L.L.C., RECORDED IN BOOK 2782 AT PAGE 190. DEED BOOK 1315, PAGE 1099 — **UNABLE TO DETERMINE LOCATION BASED ON DEED DESCRIPTION, LEGAL DESCRIPTION IN DEED ILLEGIBLE**

DEED BOOK 2256, PAGE 174 — **UNABLE TO DETERMINE LOCATION BASED ON DEED DESCRIPTION, PLAT BOOK 100, PAGE 173 DESCRIBED IN DEED NOT PROVIDED**

DEED BOOK 2341, PAGE 1085 — **UNABLE TO DETERMINE LOCATION BASED ON DEED DESCRIPTION, PLAT BOOK 112, PAGE 74 DESCRIBED IN DEED NOT PROVIDED**

DEED BOOK 2065, PAGE 1784; DEED BOOK 2522, PAGE 1303; DEED BOOK 2782, PAGE 190; DEED BOOK 2522, PAGE 1269; DEED BOOK 2407, PAGE 377; DEED BOOK 2407, PAGE 383 — **BLANKET IN NATURE**

- ⑧ TERMS AND CONDITIONS OF THAT CERTAIN PRIVATE ROAD CONSTRUCTION AND MAINTENANCE AGREEMENT BY AND AMONG DUMLER PROPERTIES, LLC, FIRST CITY ASSOCIATES, LLP, AND JAMES SABA RECORDED IN THE BEAUFORT COUNTY RECORDS IN BOOK 2670 AT PAGE 442. **DOES NOT BENEFIT OR BURDEN SUBJECT PROPERTY**

- ⑨ TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT AND MAINTENANCE AGREEMENT BY AND AMONG PALMETTO POINTE PROPERTIES, LLC, DUMLER PROPERTIES, LLC, AND PORTRAIT HOMES-PALMETTO POINTE, LLC RECORDED IN THE BEAUFORT COUNTY RECORDS IN BOOK 2618 AT PAGE 66. **UNABLE TO DETERMINE LOCATION BASED ON DEED DESCRIPTION, PLAT BOOK 119, PAGE 90 & PLAT BOOK 105, PAGE 155 NOT PROVIDED**

- ⑩ TERMS, CONDITION, AND RESTRICTIONS CONTAINED IN THAT CERTAIN ACCESS AND PARKING EASEMENT AND RESTRICTIONS AGREEMENT BY AND BETWEEN DUMLER PROPERTIES, LLC AND JAMES B. SABA RECORDED IN THE BEAUFORT COUNTY RECORDS IN BOOK 2623 AT PAGE 195, AND RE-RECORDED IN BOOK 2645 AT PAGE 1575, AND ASSIGNMENT OF RIGHTS CONTAINED IN RESTRICTIVE COVENANT RECORDED IN BOOK 2670 AT PAGE 440. **DOES NOT BENEFIT/BURDEN SUBJECT PROPERTY**

- ⑪ TERMS AND CONDITIONS OF THAT CERTAIN AGREEMENT REGARDING EASEMENTS BY AND BETWEEN MID-POINT INVESTORS, INC. AND PALMETTO POINT DEVELOPERS, LLC AND ONE CHURCH, LLC, RECORDED IN BOOK 2407 AT PAGE 352, BEAUFORT COUNTY RECORDS. **UNABLE TO DETERMINE LOCATION OF RETAINED PROPERTY DESCRIBED IN DEED, PLAT BOOK 105, PAGE 155 DESCRIBED IN DEED NOT PROVIDED — OTHERWISE BLANKET IN NATURE**

- ⑫ TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT AGREEMENT BY AND BETWEEN MID-POINT INVESTORS, INC. AND ONE CHURCH, LLC RECORDED IN BOOK 2407 AT PAGE 360, BEAUFORT COUNTY RECORDS. **DOES NOT TOUCH SURVEYED PROPERTY**

- ⑬ TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT BY AND BETWEEN ONE CHURCH, LLC AND PALMETTO POINT DEVELOPERS, LLC RECORDED IN BOOK 2407 AT PAGE 362, BEAUFORT COUNTY RECORDS. **DOES NOT TOUCH SURVEYED PROPERTY**

- ⑭ TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT AGREEMENT BY AND BETWEEN NEW RIVER FARMS, L.P., ET AL. AND ONE CHURCH, LLC, RECORDED IN BOOK 2407 AT PAGE 364, BEAUFORT COUNTY RECORDS. **PARCEL C EASEMENT DESCRIBED IN EXHIBIT A BENEFITS SUBJECT PROPERTY, 30' RELOCATABLE DRAINAGE EASEMENT SHOWN ON PLAT BOOK 114, PAGE 126 AS DESCRIBED IN DEED DOES NOT TOUCH SURVEY PROPERTY — UNABLE TO LOCATE SHUBRICK LAKE REMAINDER EASEMENT, PLAT BOOK 114, PAGE 125 DESCRIBED IN EXHIBIT A NOT PROVIDED**

- ⑰ DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR TOWNE CENTRE AT NEW RIVERSIDE DATED NOVEMBER 4, 2008, AND RECORDED IN THE BEAUFORT COUNTY RECORDS IN BOOK 2782 AT PAGE 110. **BLANKET IN NATURE**

- ⑱ TERMS AND CONDITIONS OF THAT CERTAIN EASEMENT AND RESTRICTION AGREEMENT BY AND BETWEEN CVS 75651 SC, AND DUMLER PROPERTIES, LLC DATED NOVEMBER 6, 2008, AND RECORDED IN BOOK 2782 AT PAGE 197, BEAUFORT COUNTY RECORDS. **BENEFITS & BURDENS SUBJECT PROPERTY, UNABLE TO PLOT BASED ON DEED DESCRIPTION, EXHIBIT IN DEED ILLEGIBLE**

- ⑲ EASEMENT BY AND BETWEEN CVS 75651 SC, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, AND DOMINION ENERGY SOUTH CAROLINA, INC., A SOUTH CAROLINA CORPORATION, DATED MAY 12, 2020 AND RECORDED IN BOOK 3868 AT PAGE 2062. **BURDENS SUBJECT PROPERTY, PLOTTED/SHOWN HEREON**

TITLE COMMITMENT LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE, PARCEL, OR TRACT OF LAND SITUATE, LYING, AND BEING LOCATED IN THE TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA AND CONTAINING 1.911 ACRES, MORE OR LESS, AND MORE PARTICULARLY SHOWN AND DESIGNATED AS PARCEL "A-1" ON THAT CERTAIN PLAT ENTITLED A BOUNDARY SURVEY OF PARCEL "A-1", TOTALING 1.911 ACRES, A PORTION OF TAX MAP NO. R610 036 000 0386 0000, BEAUFORT COUNTY, SOUTH CAROLINA, DATED MARCH 11, 2008, PREPARED BY WILLIAM H. GRAY, S.C.P.L.S. NO. 22744, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR BEAUFORT COUNTY, SOUTH CAROLINA IN PLAT BOOK 124 AT PAGE 79. FOR A MORE DETAILED DESCRIPTION AS TO THE METES, BOUNDS, COURSES, DISTANCES AND ALL OTHER MATTERS SHOWN AND DESCRIBED THEREON, REFERENCE TO SAID PLAT OF RECORD SHALL BE HAD.

TOGETHER WITH ALL REAL PROPERTY RIGHTS APPURTENANT TO THE PROPERTY DESCRIBED ABOVE, INCLUDING BUT NOT LIMITED TO, NON-EXCLUSIVE EASEMENTS GRANTED IN THE FOLLOWING RECORDED INSTRUMENTS:

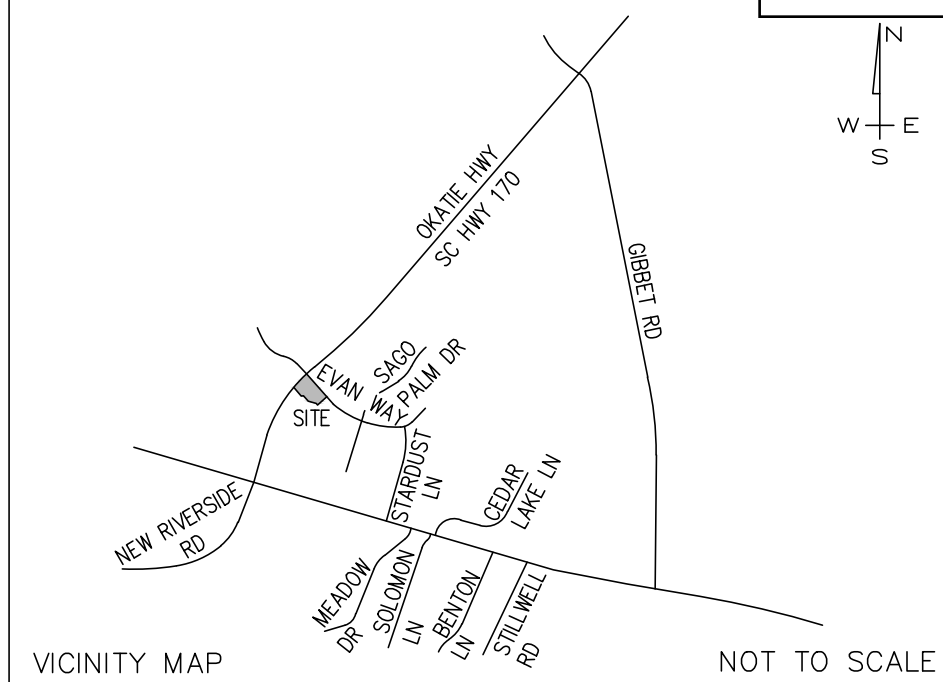
- EASEMENT AGREEMENT BY AND BETWEEN MID-POINT INVESTORS, INC. AND ONE CHURCH, LLC RECORDED IN BOOK 2407 AT PAGE 360, BEAUFORT COUNTY RECORDS.
- EASEMENT AGREEMENT BY AND BETWEEN NEW RIVER FARMS, L.P., ET AL. AND ONE CHURCH, LLC, RECORDED IN BOOK 2407 AT PAGE 364, BEAUFORT COUNTY RECORDS.

SURVEYOR'S NOTES

- THERE IS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- THERE ARE NO KNOWN CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION AND REFERENCE PLAT INFORMATION
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVED EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE LOCATED ON SUBJECT PROPERTY.
- NO GAPS OR OVERLAPS OBSERVED.
- WITH REGARD TO TABLE A, ITEM 11, SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- SCHEDULE B EXEMPTION DOCUMENTS NOT PROVIDED TO THE SURVEY AT THIS TIME.

SITE AREA

83,252 SQ.FT.
1.911 ACRES

**SURVEYOR'S CERTIFICATE**

TO: CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 8, 9, 11(A), 13, 16, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 17, 2023.

DATE OF PLAT OR MAP: OCTOBER 20, 2017

BY: A. CLAY JONES, P.L.S.

S.C. REG. NO 26210
STATE OF SOUTH CAROLINA

THIS BEING THE SAME PROPERTY AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NO. CVS-ds BEARING AN EFFECTIVE DATE OF OCTOBER 30, 2023.

ACCESS NOTE

INDIRECT ACCESS TO SUBJECT PROPERTY VIA THE PRIVATE DRIVE OF MAY RIVER CROSSING & THE RIGHT OF WAY OF EVAN WAY TO THE PUBLIC RIGHT OF WAY OF OKATIE HIGHWAY (S.C. HIGHWAY 170) WITHOUT THE BENEFIT OF A KNOWN EASEMENT.

TAX ASSESSOR PARCEL NO.

R610 036 000 0979

BASIS OF BEARINGS

SOUTH CAROLINA STATE PLANE COORDINATES WERE USED AS THE BASIS OF BEARINGS FOR THIS SURVEY

REFERENCE PLAT

1. PLAT ENTITLED "DUMLER PROPERTIES, LLC", PREPARED BY ATLAS SURVEYING & MAPPING, INC, DATED MARCH 11, 2008 AND RECORDED IN PLAT BOOK 124, PAGE 79.

TOPO NOTES:
1. ELEVATIONS ARE BASED ON NAVD83 (SCVRS)
2. CONTOURS ARE SHOWN AT 1' INTERVALS

CAUTION

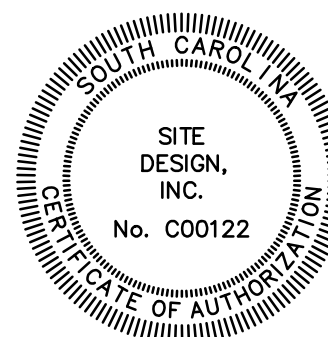


Know what's below.
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

LEGEND

BL BUILDING LINE	CATV CABLE TV PEDESTAL	⑦ GREASE TRAP MANHOLE
CL CENTERLINE	TEL TELEPHONE PEDESTAL	TW/BW TOP/BOTTOM CURB
CMP CORRUGATED METAL PIPE	⑨ ELECTRIC METER	TP/BW TOP/BOTTOM WALL
CT CRIMP TOP	GB CATCH BASIN	VDP VITRIFIED GLAY PIPE
DE DRAINAGE EASEMENT	⑩ WATER METER	WV WATER VALVE
EP EDGE OF PAVEMENT	⑪ ELEC TRANS	WV WATER VALVE
IPO IRON PIN OLD	⑫ GAS METER	WV WATER VALVE
IPS IRON PIN SET	⑬ GAS VALVE	WV WATER VALVE
N&C NAIL & CAP	⑭ GAS VALVE	WV WATER VALVE
OT OPEN TOP	⑮ FIRE HYDRANT	WV WATER VALVE
RB REBAR	⑯ GAS METER	WV WATER VALVE
RCP REINFORCED CONC PIPE	⑰ GUY ANCHOR	WV WATER VALVE
R/W RIGHT OF WAY	⑱ SANITARY MANHOLE	WV WATER VALVE
SD STORM DRAIN	⑲ SANITARY MANHOLE	WV WATER VALVE
SS SANITARY SEWER	⑳ SANITARY MANHOLE	WV WATER VALVE
SSE SS EASEMENT	㉑ TELEPHONE MANHOLE	WV WATER VALVE
	㉒ CLEAN OUT	WV WATER VALVE

**"ALTA / NSPS LAND TITLE SURVEY"**

FOR

TBD

9220 EVAN WAY
BEAUFORT COUNTY
BLUFFTON, SOUTH CAROLINA

DATE 10/17/2023 FIELD CREW BHB/BB/MS DRAWN BY ZT CHECKED BY JFG

SCALE 1"=30' 30 0 30 60

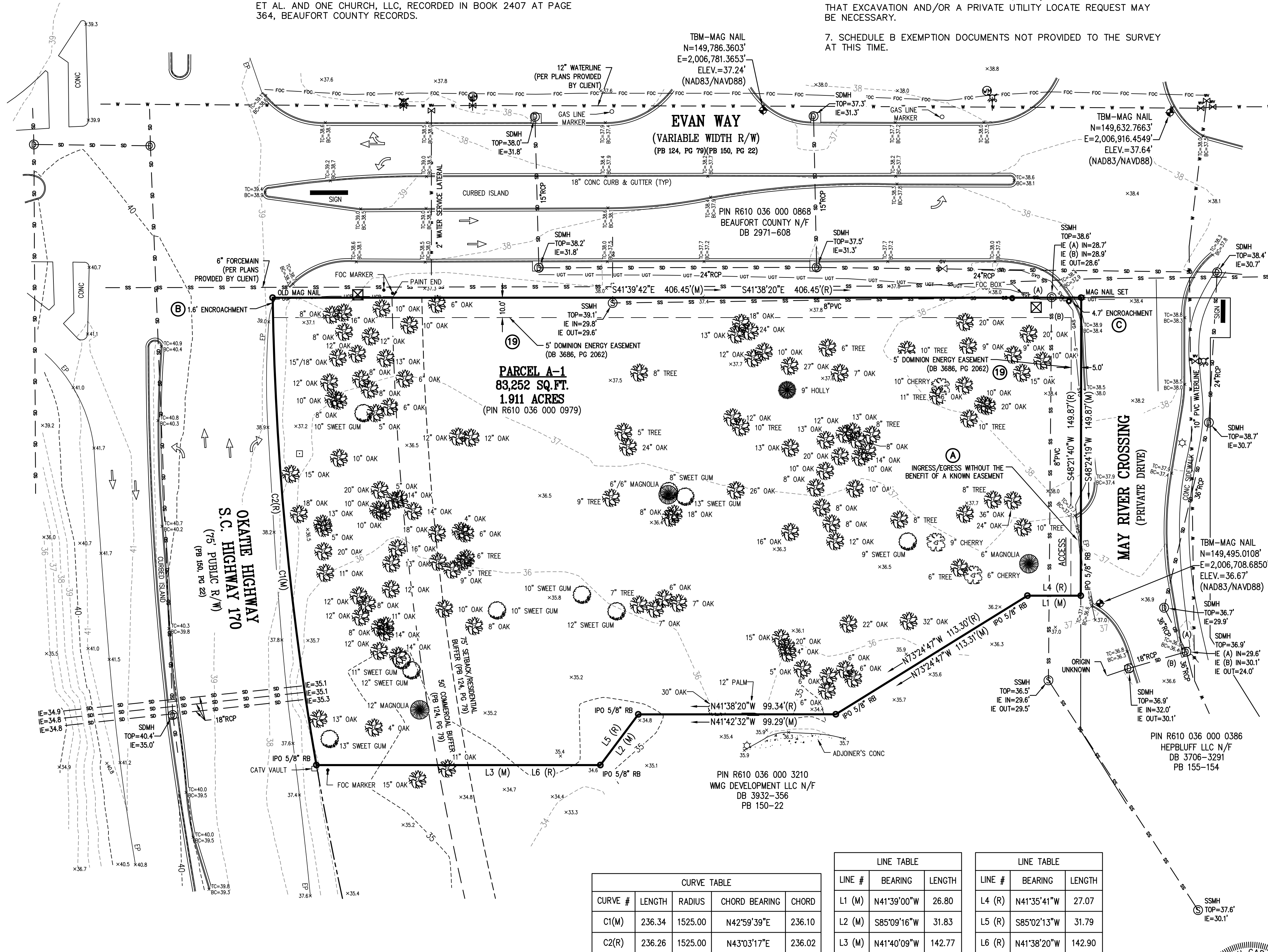
12/19/23 TITLE DOCUMENTS RECEIVED ZT ACJ

DATE REVISION BY AP/VD

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

225 ROCKY CREEK ROAD, GREENVILLE, SC 29615
PH: (864)271-0496
www.sitedesign-inc.com

**ENCROACHMENTS/PROJECTIONS**

- (A) — INGRESS/EGRESS WITHOUT THE BENEFIT OF A KNOWN EASEMENT
(B) — ASPHALT ENCROACHES 1.6'
(C) — ADJOINER'S CURB/GUTTER ENCROACHES 4.7'

FLOOD ZONE

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS, BEAUFORT COUNTY, STATE OF SOUTH CAROLINA WITH AN EFFECTIVE DATE OF MARCH 23, 2021, THE PROPERTY SURVEYED AND SHOWN HEREON LIES WITHIN ZONE "X" PER COMMUNITY MAP NO. 45013C0405G.

ZONE "X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1(M)	236.34	1525.00	N42°59'39"E	236.10
C2(R)	236.26	1525.00	N43°03'17"E	236.02

LINE TABLE		
LINE #	BEARING	LENGTH
L1 (M)	N41°39'00"W	26.80
L2 (M)	S85°09'16"W	31.83
L3 (M)	N41°40'09"W	142.77

LINE TABLE		
LINE #	BEARING	LENGTH
L4 (R)	N41°35'41"W	27.07
L5 (R)	S85°02'13"W	31.79
L6 (R)	N41°38'20"W	142.90

GENERAL LANDSCAPE NOTES:

- WARRANTY: ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE, HEALTHY, AND IN THRIVING CONDITION FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE
- PLANTS SHALL MEET DOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.
- PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED
- PLANTS SHALL BE SUBJECT TO REVIEW BY OWNER'S REPRESENTATIVE. OWNER'S REPRESENTATIVE SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO OWNER REPRESENTATIVE'S APPROVAL SHALL BE DONE WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN OWNER REPRESENTATIVE'S APPROVAL PRIOR TO PLANT INSTALLATION.
- PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UTILITY LINES.
- PROVIDE SHOVEL-CUT TRENCH AT SHRUB BEDS IN LAWN AREAS UNLESS OTHERWISE NOTED.
- PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH MUST BE 3" THICK AT TIME OF FINAL WALK-THROUGH. MULCH IN SHRUB AND TREE PLANTING BEDS SHALL BE SHREDDED HARDWOOD UNLESS OTHERWISE NOTED. MULCH IN GROUNDCOVER BEDS TO BE SHREDDED HARDWOOD UNLESS OTHERWISE NOTED.
- MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
- CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWING SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE OWNER'S REPRESENTATIVE ASSUMES NO LIABILITY FOR OMISSION OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- WHERE LANDSCAPING AREAS ADJOIN GRASSED RIGHTS-OF-WAY, SUCH AREAS SHALL BE CONSIDERED PART OF THE LANDSCAPED AREA FOR PURPOSES OF MAINTENANCE. AS OF COMPLETION OF SITE IMPROVEMENTS, THE PROPERTY OWNER SHALL HAVE AN IMPLIED EASEMENT OF THE RIGHT-OF-WAY EXTENDING FROM THE SITE TO THE ROAD PAVEMENT IN ORDER TO COMPLETE THE REQUIRED MAINTENANCE.
- CONTRACTOR TO DESIGN-BUILD IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF NEW PLANT MATERIAL. IRRIGATION HEADS TO BE INSTALLED FLUSH WITH GRADE.

LANDSCAPE REQUIREMENTS:

STREET TREES

(1) TREE / 50 LF
EVAN WAY
 407 LF / 50 LF = 9 TREES REQUIRED
 3 TREES PROPOSED / 6 EXISTING TREES TO REMAIN

OPEN SPACE

20% OF GROSS SITE AREA TO BE PRESERVED AS OPEN SPACE.
 83,252 SF X 20% = 16,650 SF REQUIRED
 16,226 SF PROPOSED

PARKING LOT ISLANDS

ALL PARKING LOT ISLAND SHALL CONTAIN ONE SHADE TREE & SHRUBS.
 10 PARKING LOT ISLANDS X 1 TREE = 10 TREES REQUIRED
 9 TREES PROPOSED / 1 EXISTING TREE TO REMAIN

REPLACEMENT TREES

REPLACEMENT TREES SHALL BE A MINIMUM OF 2.5 CALIPER INCHES.

FEE IN LIEU OF TREE REPLACEMENT AND/OR SPECIFIC LANDSCAPING

PER THE TOWN OF BLUFFTON UNIFIED DEVELOPMENT ORDINANCE SEC. 5.3.8, IF THE UDO ADMINISTRATOR DETERMINES THAT REQUIRED TREE AND/OR LANDSCAPING CANNOT BE PROVIDED ON-SITE, THE UDO MAY AUTHORIZE THE APPLICANT TO PAY A FEE-IN-LIEU OF PLANTING. FOR EACH REQUIRED TREE CALIPER INCH THAT IS NOT PLANTED ON-SITE, A FEE PER CALIPER INCH REQUIRED SHALL BE ASSESSED. THE FEE FOR TREES AND LANDSCAPING IS BASED ON 125% OF THE CURRENT MARKET RATE FOR THE PURCHASE, INSTALLATION, AND ONE YEAR MAINTENANCE. ANY COLLECTED FEES SHALL BE DEPOSITED INTO THE TOWN OF BLUFFTON TREE FUND.



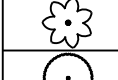

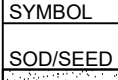

SEE L-1.1 FOR EXISTING TREE INVENTORY

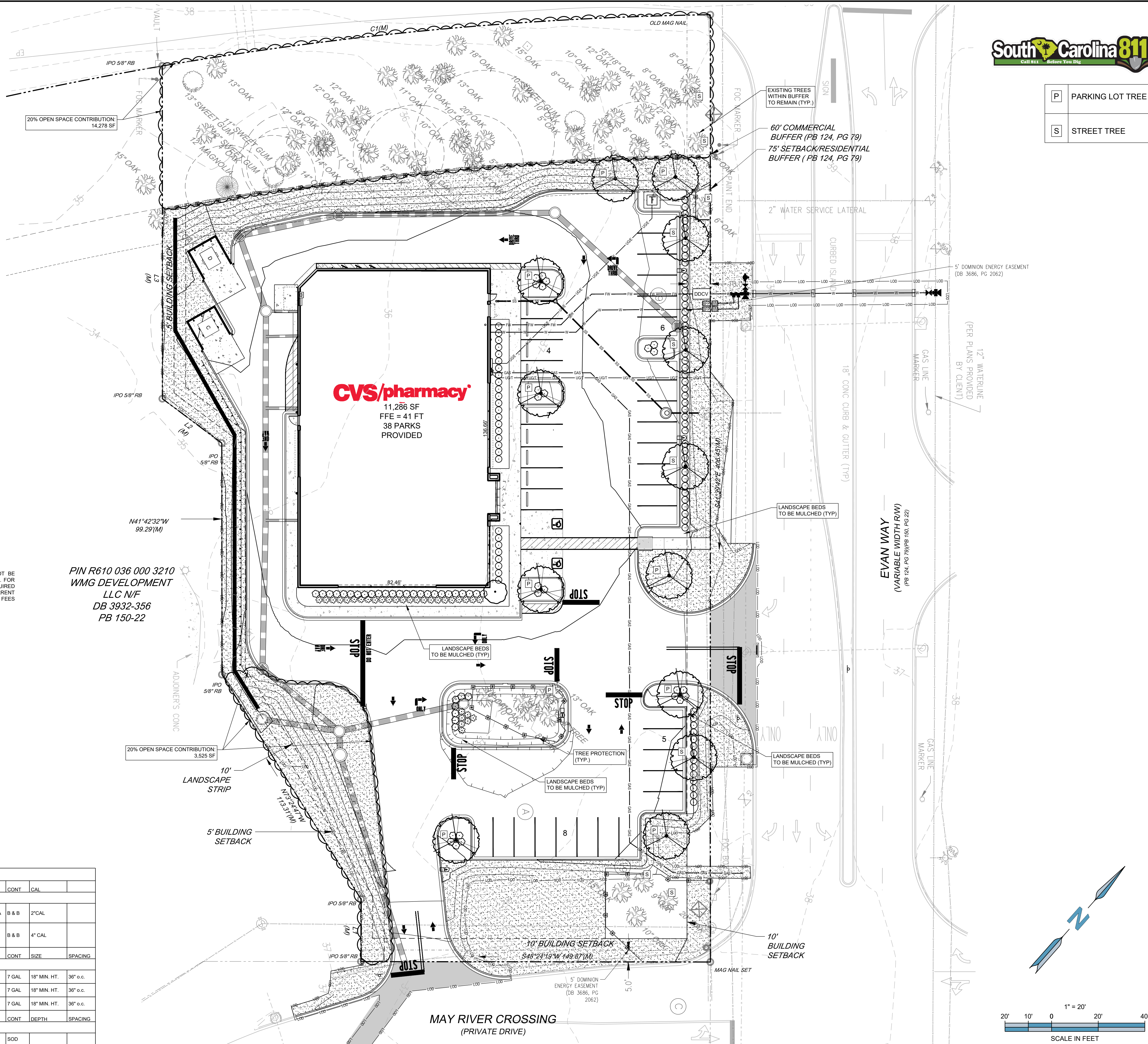
ON-SITE CANOPY TOTALS (SQUARE FEET)	
18048	ALL TREE CANOPY SURVEYED (INSIDE OF PARCEL)
6141	ALL TREE CANOPY TO REMAIN
11907	ALL TREE CANOPY TO BE REMOVED
6013	PROTECTED TREE CANOPY TO REMAIN
6343	PROTECTED TREE CANOPY TO BE REMOVED
0	SIGNIFICANT TREE CANOPY TO REMAIN
4987	SIGNIFICANT TREE CANOPY TO BE REMOVED

ON-SITE SIGNIFICANT / PROTECTED TREE TOTALS	
102	PROTECTED TREES TOTAL
48	PROTECTED TREES TO REMAIN
54	PROTECTED TREES TO BE REMOVED
8	SIGNIFICANT TREES TOTAL
0	SIGNIFICANT TREES TO REMAIN
8	SIGNIFICANT TREES TO BE REMOVED
11	TOTAL PROTECTED TREES - REPLACE

- % LOT COVERAGE PROVIDED BY ON-SITE TREES TO REMAIN = 7%
- % LOT NOT COVERED BY ON-SITE TREE CANOPY = 93%
- NO TREES ON SITE ARE LISTED IN AMERICA'S HISTORIC TREE REGISTER AS MAINTAINED BY AMERICAN FORESTS.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL	
TREES					
	1	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA	B & B	2" CAL	
	13	QUERCUS PHELLOS / WILLOW OAK	B & B	4" CAL	
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
SHRUBS					
	31	ANDROPOGON VIRGINICUS / BROOMEDGE BLUESTEM	7 GAL	18" MIN. HT.	36" o.c.
	88	ILEX CORNUTA 'NEEDLEPOINT' / NEEDLEPOINT HOLLY	7 GAL	18" MIN. HT.	36" o.c.
	56	MYRICA CERIFERA 'DON'S DWARF' / DON'S DWARF WAX MYRTLE	7 GAL	18" MIN. HT.	36" o.c.
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	DEPTH	SPACING
SOD/SEED					
	18,872 SF	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD		



P	PARKING LOT TREE
S	STREET TREE

60' COMMERCIAL
 BUFFER (PB 124, PG 79)
 75' SETBACK/RESIDENTIAL
 BUFFER (PB 124, PG 79)

5' DOMINION ENERGY EASEMENT
 (DB 3686, PG 2062)

EVAN WAY
 (VARIABLE WIDTH R/W)
 (PB 124, PG 79/PB 150, PG 22)



NON-PROTO 11,286-RIGHT
 BUMP-OUT-DRIVE THRU
 STORE NUMBER: 2745

9220 EVAN WAY
 BLUFFTON, SC 29910
 PROJECT TYPE: NEW CONSTRUCTION
 DEAL TYPE: TURN-KEY
 CS PROJECT NUMBER: 46506

ENGINEER:

FORESITE
 group

960 MORRISON DR.
 SUITE 200
 CHARLESTON, SC 29403
 803.727.8777

CONSULTANT:

DEVELOPER:

BOOS
 DEVELOPMENT GROUP
 BOOS DEVELOPMENT GROUP, INC.
 380 PARK PLACE BLVD, SUITE 200
 CLEARWATER, FL 33759
 TEL (727) 451-2675
 CONTACT: MS. SHELBI DAVIGNON

SEAL:



REVISIONS:

DRAWING BY: SE
 DATE: 2024-4-19
 JOB NUMBER: 163.573
 TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L-1.0

COMMENTS:
 NOT RELEASED FOR CONSTRUCTION

F:\183.573 CVS (BLUFFTON, SC)\DWG\L-1 LANDSCAPE PLAN.DWG

#	SPECIES	DIAM.	COVERAGE SF	#	SPECIES	DIAM.	COVERAGE SF	#	SPECIES	DIA.	COVERAGE SF
1	OAK	8	50.24	51	OAK	11	94.985	101	OAK	18	254.34
2	OAK	8	50.24	52	OAK	14	153.86	102	OAK	24	452.16
3	OAK	18	254.34	53	OAK	14	153.86	103	OAK	10	78.5
4	OAK	12	113.04	54	GUM	11	94.985	104	OAK	27	572.265
5	OAK	12	113.04	55	GUM	12	113.04	105	TREE	6	28.26
6	OAK	10	78.5	56	MAGNOLIA	12	113.04	106	HOLLY	9	63.585
7	OAK	8	50.24	57	OAK	11		107	OAK	7	38.465
8	GUM	10	78.5	58	OAK	15		108	OAK	13	132.665
9	OAK	15	176.625	59	TREE	8	50.24	109	OAK	12	113.04
10	OAK	10	78.5	60	TREE	5	19.625	110	OAK	13	132.665
11	OAK	18	254.34	61	OAK	24	452.16	111	TREE	8	50.24
12	OAK	13	132.665	62	TREE	9	63.585	112	OAK	8	50.24
13	OAK	5	19.625	63	MAGNOLIA	6	28.26	113	OAK	14	153.86
14	OAK	20	314	64	OAK	8	50.24	114	OAK	10	78.5
15	OAK	11	94.985	65	OAK	18	254.34	115	TREE	8	50.24
16	OAK	12	113.04	66	GUM	8	50.24	116	GUM	9	63.585
17	OAK	12	113.04	67	GUM	13	132.665	117	TREE	6	28.26
18	OAK	8	50.24	68	OAK	26	530.66	118	CHERRY	6	28.26
19	OAK	12	113.04	69	OAK	10	78.5	119	CHERRY	9	63.585
20	OAK	13	132.665	70	OAK	8	50.24	120	MAGNOLIA	6	28.26
21	GUM	13	132.665	71	GUM	10	78.5	121	OAK	36	1017.36
22	OAK	4	12.56	72	GUM	12	113.04	122	TREE	8	50.24
23	OAK	16	200.96	73	TREE	7	38.465	123	TREE	10	78.5
24	OAK	10	78.5	74	OAK	7	38.465	124	OAK	24	452.16
25	OAK	6	28.26	75	OAK	6	28.26	125	TREE	11	94.985
26	OAK	10	78.5	76	OAK	7	38.465	126	CHERRY	10	78.5
27	OAK	12	113.04	77	OAK	30	706.5	127	TREE	10	78.5
28	OAK	13	132.665	78	PALM	12	113.04	128	OAK	20	314
29	OAK	6	28.26	79	OAK	6	28.26	129	OAK	10	78.5
30	OAK	8	50.24	80	OAK	5	19.625	130	OAK	6	28.26
31	OAK	8	50.24	81	OAK	6	28.26	131	TREE	10	78.5
32	OAK	6	28.26	82	OAK	15	176.625	132	OAK	15	176.625
33	OAK	5	19.625	83	OAK	4	12.56	133	OAK	9	63.585
34	OAK	12	113.04	84	OAK	6	28.26	134	OAK	10	78.5
35	OAK	12	113.04	85	OAK	6	28.26	135	OAK	9	63.585
36	OAK	20	314	86	OAK	22	379.94	136	OAK	20	314
37	OAK	5	19.625	87	OAK	32	803.84	137	OAK	20	314
38	OAK	14	153.86	88	OAK	20	314	138	OAK	20	314
39	OAK	10	78.5	89	OAK	16	200.96	139	GUM	10	78.5
40	OAK	4	12.56	90	OAK	12	113.04				
41	OAK	14	153.86	91	OAK	8	50.24				
42	OAK	6	28.26	92	OAK	8	50.24				
43	OAK	18	254.34	93	OAK	10	78.5				
44	TREE	6	28.26	94	OAK	8	50.24				
45	OAK	16	200.96	95	OAK	10	78.5				
46	OAK	13	132.665	96	OAK	13	132.665				
47	TREE	5	19.625	97	TREE	10	78.5				
48	OAK	9	63.585	98	OAK	12	113.04				
49	OAK	12	113.04	99	OAK	12	113.04				
50	OAK	8	50.24	100	OAK	13	132.665				

LEGEND	
#	PROTECTED TREE
#	SIGNIFICANT TREE
#	NOT PROTECTED TREE & NOT SIGNIFICANT TREE
DIAM.	OUTSIDE OF PARCEL
DIAM.	REMOVE
DIAM.	REMAIN

ON-SITE CANOPY TOTALS (SQUARE FEET)	
18048	ALL TREE CANOPY SURVEYED (INSIDE OF PARCEL)
6141	ALL TREE CANOPY TO REMAIN
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0	SIGNIFICANT TREES TO REMAIN
8	SIGNIFICANT TREES TO BE REMOVED
11	TOTAL PROTECTED TREES - REPLACE



NON-PROTO 11,286-RIGHT
BUMPOUT-DRIVE THRU

STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON, SC 29910
PROJECT TYPE: NEW CONSTRUCTION
DEAL TYPE: TURN-KEY

CS PROJECT NUMBER: 46506

ENGINEER:



960 MORRISON DR.
SUITE 200
CHARLESTON, SC 29403
803.727.8777

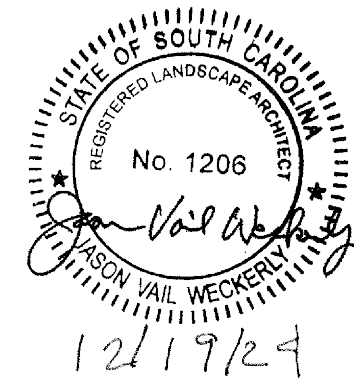
CONSULTANT:

DEVELOPER:



BOOS DEVELOPMENT GROUP
BOOS DEVELOPMENT GROUP, INC.
380 PARK PLACE BLVD, SUITE 200
CLEARWATER, FL 33759
TEL (727) 451-2675
CONTACT: MS. SHELBI D'AVIGNON

SEAL:



REVISIONS:

DRAWING BY: SE

DATE: 2024-4-19

JOB NUMBER: 163.573

TITLE:

TREE INVENTORY

SHEET NUMBER:

L-1.1

COMMENTS:
NOT RELEASED FOR CONSTRUCTION

URBAN TREE FOUNDATION © 2014
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0000-01

NOTE: INSTALL SOD SO THAT TOP OF SOIL AND
ROOT LAYER IS LEVEL WITH TOP OF PAVEMENT

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OPEN SOURCE FREE TO USE

FX-PL-FX-TRMT-02

PLAN

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0003-01

NOTES:
1- SHRUBS SHALL BE OF SPECIMEN QUALITY.
2- SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

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0001-01



NON-PROTO 11,286-RIGHT
BUMP-OUT-DRIVE THRU
STORE NUMBER: 2745

9220 EVAN WAY
BLUFFTON, SC 29910

PROJECT TYPE:	NEW CONSTRUCTION
DEAL TYPE:	TURN-KEY
CS PROJECT NUMBER:	46506


ENGINEER:
FORESITE
group

960 MORRISON DR.
SUITE 200
CHARLESTON, SC 29403
803.727.8777

CONSULTANT:

DEVELOPER:
 **BOOS**
DEVELOPMENT GROUP
BOOS DEVELOPMENT GROUP, INC.
380 PARK PLACE BLVD, SUITE 200
CLEARWATER, FL 33759
TEL (727) 451-2675
CONTACT: MS. SHELBI D'AVIGNON

SEAL:



STATE OF SOUTH CAROLINA
DEPARTMENT OF NATURAL RESOURCES
GAME WARDEN
No. 1206
W. A. W. W.
12/19/24

REVISIONS:	
DRAWING BY:	SE
DATE:	2024-4-19
JOB NUMBER:	163.573
TITLE:	

LANDSCAPE DETAILS	
SHEET NUMBER:	L-2
COMMENTS:	
NOT RELEASED FOR CONSTRUCTION	



LEFT BUMPOUT DRIVE-THRU

STORE NUMBER: 2745

9220 EVAN WAY

BLUFFTON, SC 29910

PROJECT TYPE: NEW STORE

DEAL TYPE: TURNKEY

CS PROJECT NUMBER: 46506

ARCHITECT OF RECORD:

105 South College St., Suite 800, Charlotte, NC 28202
T: 704.525.8350 F: 704.581.8700

www.littleonline.com

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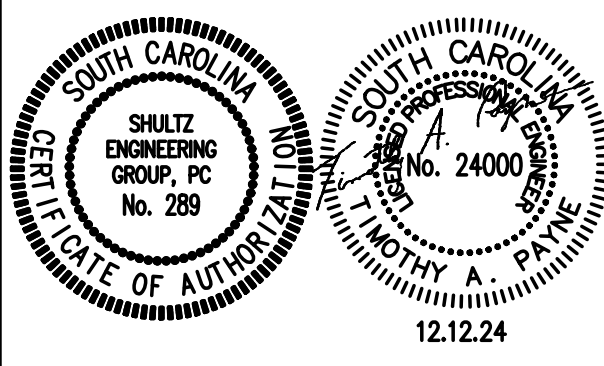
CONSULTANT:

SHULTZ
ENGINEERING
GROUP, PC
212 N. McDowell St., Suite 204
Charlotte, NC 28204
(P) 704.334.7363 | (F) 704.347.0093
www.shultzeng.com | SEG - 24-173
PM: xx, MM: xx, EE: xx, P: xx

DEVELOPER:

BOOS DEVELOPMENT GROUP, INC.
410 PARK PLACE BLVD. #100
CLEARWATER, FL 33759
(727) 669-2915

SEAL:



REVISIONS

1	DRB REVISION COMMENTS	07/16/2024
2	DRC COMMENTS	12/12/2024

CVS SPM: XXX

DRAWING BY: TP

DATE: 04/17/2024

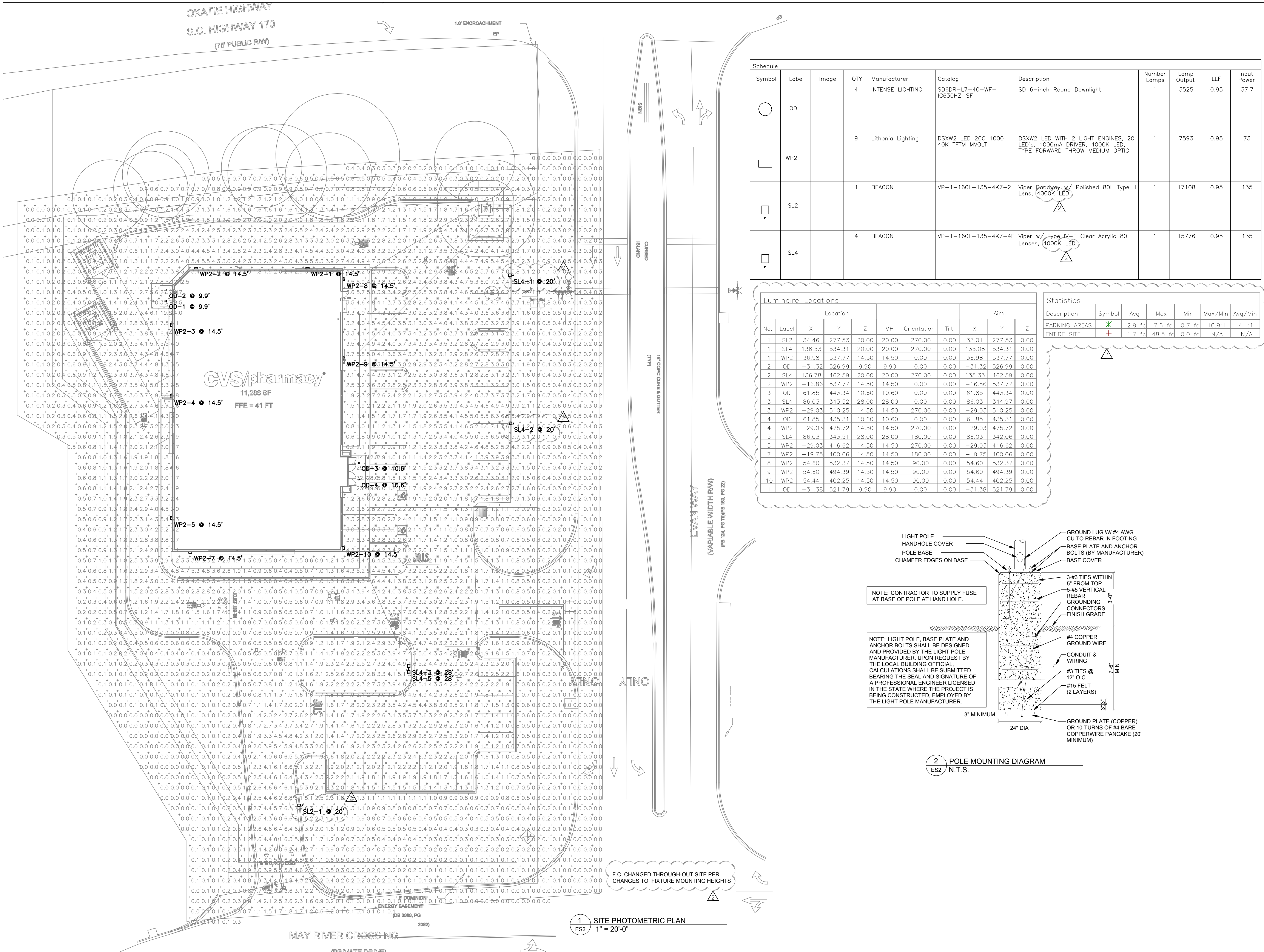
JOB NUMBER: 121-19384-00

TITLE: PHOTOMETRIC SITE PLAN

SHEET
NUMBER:

ES2

COMMENTS:

NOT RELEASED FOR
CONSTRUCTION

December 20, 2024

Town of Bluffton, SC

RE: CVS #2745 – 9220 Evan Way

COFA-09-24-019355

PLAN REVIEW COMMENTS & RESPONSES:

1. *The architecture must demonstrate compliance with Jones Estate PUD Architectural Design requirements (Section 5.15.9), as well as UDO Sec. 5.14 (Highway Corridor Overlay District).*
 - a. We have redesigned the building and replaced the “colonial” aesthetic with a design that attempts to reflect the “low country” vernacular outlined in the UDO. Design elements include lap siding, board and batten cladding, weathered brick veneer, metal standing seam roofing, storm shutters, vertical windows, low base, and proportions, pattern, elements and details that better relate to human scale.
2. *Architectural styles should be reflective of, or at least compatible with, architectural styles which exemplify the unique character of the Lowcountry region and conform to general standards of architectural quality. It has been the practice of the Town to use UDO Sec. 5.15 (Old Town Bluffton Historic District) for design guidance.*
 - a. See response to item #1, above.
3. *As the site is located on three roads (Hwy 170, Evan Way and May River Crossing), architectural treatment of these facades must be elevated beyond what has been provided. Hwy 170 and May River Crossing can be treated as secondary frontages and, therefore, should have at least 50% of a shopfront appearance. Long, unarticulated or blank facades are not permitted but are indicated on the Hwy 170 elevation (“Rear”) and the southern elevation (“Right Side”). The rear elevation is the southern elevation (identified as “Right Side”). Service areas, including doors, must be in the rear of the building, as should any electrical panels. Sec. 5.15.9.E. (3)*
 - a. All facades have been revised to incorporate additional design features, façade articulation, and variation of cladding color, pattern and texture.
4. *The use of three roof types, particularly the hipped roof on the “tower” entry element, seems unnecessarily complicated and doesn’t reflect the building form. A roof plan should be provided. The entry element also seems to reflect franchise design (and showcases a corporate logo), which is atypical of Bluffton’s architecture. Provide the height of all elements that extend beyond the mansard peak. Sec. 5.15.9.(C)(4). Maximum building height is 45 feet.*
 - a. Roof tower revised and hip element eliminated. Features of entry tower adapted to “low country” aesthetic.
 - b. Roof plan has been included in the resubmittal.
 - c. Entry element (corporate logo) has been eliminated from the proposed design.
 - d. Building heights provided. Max height does not exceed 30 ft. for any element of the façade.

5. *Dimensionally, the base and body of the building read awkwardly as the bricked area (the base) is taller than is typical for brick bases in Bluffton (especially as shown on the Rear elevation). Further, the windows are located too high to allow for pedestrian view into the building and create more horizontality; vertical windows are more typical of the area. While there is a partial second story with the store, the building is not designed to reflect the additional floor and appears disproportionately tall.*
 - a. Building base has been reduced. Typical brick foundation base is now 8" – 16" in height (depending on location and corresponding to particular design features).
 - b. Windows have been redesigned to reflect a vertical proportion and a scale more appropriate to the overall building aesthetic. Due to merchandising of perimeter walls, lowering window heights is not a viable option. We have proposed an alternative that incorporates a variety of enhancements, such as window awnings, decorative window infill panels, variations in cladding patterns and colors and separation of windows into bays that establishes a rhythm of elements along the facades.
 - c. This redesign utilizes differing cladding styles, patterns and colors to visually reduce the overall scale of facades.
6. *Wood clapboard, wood board and batten, wood shingle siding brick, stucco, tabby, natural stone, faced concrete block, and artificial siding which closely resembles painted wood clapboard. Wood siding may be painted, stained, weathered or left natural. The use of EIFS as a substitute for true stucco or tabby has not been accepted.*
 - a. EIFS eliminated from design.
7. *Colors considered to be compatible with the Lowcountry or coastal vernacular palette are earth tones (greens, tans, light browns, terra cotta), grays, pale primary and secondary colors (with less than 50% color value), white and cream tones, and oxblood red. Building colors with the area are cream and blue tones, and/or have more contrast than the brown-grey colors selected for the brick and fiber cement siding. The trim colors are not apparent in the plans provided. Any accent color (i.e. black, dark blue, grays, and other dark or strong colors) may be used on a limited basis and will be allowed according to the discretion of the Planning Commission and on the merits of its use in the overall design. The use of corporate logos will be considered on a case-by-case basis. Sec. 5.15.9.(D)(5).*
 - a. Proposed building colors have been revised to compliment a light grey palette, utilizing darker accent colors of charcoal (metal awnings) and matte black (coping, window mullions and decorative shutters) to create a balanced color assemble. The weathered brick tone color provides a touch of warmth to soften the overall palette.
8. *Drive-thru service windows must be located on the façade that is opposite the primary or secondary street and designed in a manner to be integral in massing and design as the principal structure for which it serves. This is not reflected by the proposed canopy. Additionally, the location of the drive-thru window should be located farther from Hwy 17 on the Rear elevation ("Right Side") so that vehicle stacking is not occurring on a street frontage.*

- a. Drive-thru window location was developed and revised to west elevation in conjunction with staff initial comments. Location is limited due to a host of differing constraints affecting this site. Drive thru is unable to adjust further south due to conflicts with approach maneuverability with dumpster/compactor enclosure. Site Plan submitted currently submitted maintains the previous drive thru location. We would like to discuss this comment further at the Planning Commission Meeting.
 - b. Drive-thru canopy has been revised and simplified and unified with other façade elements and design features.
9. *The pilasters are designed to appear as columns supported by a pier, which is not authentic and atypical of local architecture.*
 - a. Pilasters have been eliminated in the current proposed design.
10. *Provide door and window details.*
 - a. Side doors are flat panel metal painted to match surrounding cladding w/ typical 4" trim boards typical of this residential style of cladding. Windows are a aluminum frame with variations of 2" and 4" sightlines.
11. *Signage is to be submitted through a separate Sign Permit application.*
 - a. Notes added acknowledging this. All building signage shown is preliminary and utilized to aid in conveyance of overall building design intent.
12. *Lighting to be provided must comply with the Jones Estate PUD Development Agreement (Sec. 5.15.11).*
 - a. Exterior lighting design modified to comply with the applicable requirements of this document.
13. *Provide more information regarding lighting in the storefront window (Item 7 on the Left Side elevation of the Exterior Finish Schedule). It appears that the heart may be decorative neon tube lighting. All interior lighting shall be so designed to prevent the light source or high levels of light from being visible from the corridor. Sec. 5.15.11.(C).*
 - a. Corporate logo removed from the design. No neon or specialty lighting intended for the interior of the entry vestibule.
14. *Lighting poles mounted within fifty (50') feet from the highway right-of-way may not exceed a height of twenty (20') feet, and only forward-throw or Type IV lights may be used to light entrances. Sec. 5.15.11.(D). The SL2 post is 28ft and must be reduced to 20ft.*
 - a. The (1)-Type SL2 pole-mounted light fixture at the entry drive will be modified to reduce the total mounting height down to 20' a.f.g.
15. *Per Sec. 5.15.11.E. all lighting fixtures designed or placed so as to illuminate any portion of a site shall meet the following requirements: A) Fixture (luminaire) - Any light fixture shall be a cutoff luminaire whose source is completely concealed with an opaque housing and shall not be visible from any street. This provision includes lights on*

mounted poles as well as architectural display and decorative lighting visible from the corridor. Provide cut sheets for each fixture to ensure compliance with this provision. Sec. 5.15.11.(E)(1); and, B) Light Source (Lamp) - Only incandescent, fluorescent, metal halide, mercury vapor or color corrected high-pressure sodium light may be used. The same type must be used for the same or similar type of lighting on any one site or Planned Unit Development. No colors other than white or off-white (light yellow tones) may be used for any light source for the lighting of signs, structures, or the overall site. Show light sources, which cannot include LED lights proposed for the Wall Packs; however, the Planning Commission may consider this option. Sec. 5.15.5.(E).

- a. All exterior light fixtures (building-mounted and pole-mounted) as currently specified are "Full Cut-off" type.
- b. Current design is based on all exterior light fixtures being provided with 4000K color temperature, white, LED lamps.
- c. DRC committee indicated that the Town of Bluffton now allows for the use LED lamps for use in site lighting. We, therefore, request this consideration for this same exception for this project on the basis that the use of incandescent, fluorescent and metal halide light fixtures are difficult to purchase and are less efficient than the LED fixtures specified and are difficult to comply with the Energy Conservation Code.

16. Illumination Levels -Show illumination levels for the various site areas that are consistent with Sec. 5.15.11(E)(4)b.

- a. Refer to revised site lighting / photometric plan for illumination revisions.

17. The Light Plan must include all information identified in Sec. 5.15.11(E)(4)(C).

- a. The required information is already shown on the current drawings, based on the LED fixtures.

18. As currently proposed, resizing the 13 Willow Oaks to 4" caliper at time of planting will result in only 11 trees to be mitigated. Coordinate tree mitigation requirements with Town staff prior to final COFA-HCO submittal.

- a. Please see revised Landscape plan included within submission with Willow Oaks adjusted to 4" caliper to reduce the mitigation amount. In addition, City staff indicated they anticipate furthering the discussion on the final mitigation amount at the Planning Commission meeting.

19. An 8-foot landscape buffer is required between parking and driving areas but is not shown on the Hwy 170 side. Show landscape treatment on this side.

- a. Please note we have concerns for providing 8' landscape strip against the building on the north side of the building as this would cause issues with insufficient space for bailout lane to allow vehicles a bypass around stacked cars from the drive thru. Site Plan submitted has maintained the current configuration and we would like to discuss potential alternate compliance options to meet the intent of the request at the Planning Commission meeting.

20. *Will need to discuss landscaping along the Hwy 170 and May River Crossing frontages, as well as for the dumpsters, and along the adjacent property line.*

- a. Understood, we look forward to discussing this item further at the Planning Commission Meeting.

21. *Additional comments may be provided at the Development Review Committee.*

- a. Acknowledged.

END OF COMMENT RESPONSES

PLANNING COMMISSION

STAFF REPORT

Department of Growth Management



MEETING DATE:	January 22, 2025
PROJECT:	Culver's Bluffton Preliminary Development Plan
APPLICANT:	William Heintz, Kimley-Horn
PROJECT NUMBER:	DP-10-24-019406
PROJECT MANAGER:	Dan Frazier Planning Manager Department of Growth Management

REQUEST: The Applicant, William Heintz of Kimley-Horn, on behalf of Rolling Dough Properties, LLC is requesting approval of a Preliminary Development Plan application. The project consists of a single-story 4,400 square foot quick service restaurant with associated infrastructure and utilities (Attachment 1).

INTRODUCTION: The property is zoned Buckwalter PUD and consists of approximately 1.52 acres identified by tax map numbers R610 030 000 2002 0000 located at the southeast corner of Buckwalter Place Blvd and Innovation Drive within the Buckwalter Plan Master Plan. (Attachment 2).

BACKGROUND: This application is for a Preliminary Development Plan located within the Buckwalter PUD and as such is subject to the standards set forth in the Buckwalter PUD Development Agreement and Concept Plan, Buckwalter Place Master Plan, and Unified Development Ordinance Section 5.3 and 5.10 as applicable (Attachment 3).

Staff comments on the Preliminary Development Plan were reviewed at the November 20, 2024, Development Review Committee meeting (Attachment 4). The Applicant provided a response to comments and revised site plans on December 19, 2024 (Attachment 5).

As reflected in the revised site plan, the proposed Culver's quick-service restaurant operates on a made-to-order model. As such, the drive-through operates with a dedicated order waiting area. Since walk-in customers do not have access to these spaces, they were not included in the parking count. Parking calculations reflect the building and patio area, indicating a requirement of 63 spaces compared to the 61 provided. The Applicant proposes the two additional parking spaces on Innovation Drive, directly adjacent to the building entrance, to meet the required 63 spaces.

REVIEW CRITERIA & ANALYSIS: The Planning Commission shall consider the criteria set forth in Section 3.10.3.A of the Unified Development Ordinance in assessing an application for a Preliminary Development Plan. The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.10.3.A.1. Conformance with the applicable provisions provided in Article 5, Design Standards.**

Finding. The subject property lies within the Buckwalter PUD and therefore is subject to, and in conformance with, the standards set forth in the Buckwalter PUD Development Agreement and Concept Plan, the Buckwalter Place Master Plan, and Unified Development Ordinance Sections 5.3 and 5.10.

2. **Section 3.10.3.A.2. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.**

Finding. Town finds that the preliminary development plan is in conformance with the Buckwalter PUD Development Agreement and Concept Plan, the Buckwalter Place Master Plan, and the Unified Development Ordinance Sections 5.3 and 5.10.

Finding. Prior to approval of the Final Development Plan, the applicant will be required to provide an approval letter from the Buckwalter Place Property Owners Association.

3. **Section 3.10.3.A.3. If the proposed development is associated with a previously approved Master Plan, then the traffic and access plans shall adhere to the previously approved traffic impact analysis or assessment, where applicable. If an application is not associated with a previously approved PUD Master Plan, then a traffic impact analysis shall be required at final development plan submittal.**

Finding. The proposed development is within the Buckwalter PUD and the Buckwalter Place Master Plan. A comprehensive traffic impact study and master plan was developed for the Buckwalter Tract and included in the Concept Plan approved by the Town of Bluffton in April 2000. Additionally, a Traffic Impact Analysis was approved in conjunction with the Buckwalter Place Master Plan. The traffic and access plan adheres to the previously approved traffic impact analysis and updated Traffic Assessment. The overall Buckwalter Place development provides several points to Buckwalter Place Boulevard and Innovation Drive from Buckwalter Parkway and western segment of Bluffton Parkway.

4. **Section 3.10.3.A.4. The proposed development must be able to be served by adequate public services, including, but not limited to, water, sanitary sewer, roads, police, fire, and school services. For developments that have the potential for significant impact on infrastructure and services, the applicant shall be required to provide an analysis and mitigation of the impact on transportation, utilities, and community services.**

Finding. The subject parcel is an outparcel within the Buckwalter Place Master Plan and the proposed development will utilize the connections provided to ensure adequate water and sanitary sewer services in support of the project.

Finding. Letters from the agencies providing public services will be required at time of Final Development Plan submittal per the Applications Manual.

5. **Section 3.10.3.A.5. The phasing plan, if applicable, is logical and is designed in a manner that allows each phase to fully function independently regarding services, utilities, circulation, facilities, and open space, irrespective of the completion of other proposed phases.**

Finding. The project is proposed to be completed in a single phase.

6. **Section 3.10.3.A.6. The application must comply with applicable requirements in the Applications Manual.**

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

PLANNING COMMISSION ACTIONS: The Planning Commission has the authority to take the following actions with respect to the application as authorized by Section 2.2.6.C.5 of the UDO:

1. Approve the application as submitted;
2. Approve the application with conditions; or
3. Deny the application as submitted.

RECOMMENDATION: Town Staff finds that the requirements of Section 3.10.3.A of the Unified Development Ordinance is met and recommends that the Planning Commission approve the application as submitted.


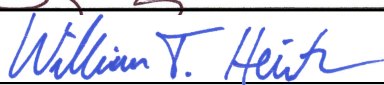
ATTACHMENTS:

1. Application and Project Narrative
2. Vicinity Map
3. Buckwalter Place Master Plan
4. DRC Comments and Original Site Plans 11/20/24
5. DRC Comments Response and Revised Site Plans 12/19/2024



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION

Atta
Growth Management Customer
Section VIII. Item #2.
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: William Heintz		Name: Rolling Dough Properties, LLC	
Phone: 864-403-5147		Phone: 262-436-4760	
Mailing Address: 607 pendleton St. Suite 100 Greenville, SC 29601		Mailing Address: 126 North Forest Beach St Hilton Head, SC 29928	
E-mail: WILLIAM.HEINTZ@kimley-horn.com		E-mail: jay@campbellconstruction.com	
Town Business License # (if applicable):			
Project Information			
Project Name: Culver's Bluffton	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Final	
Project Location: 110 Buckwalter Place Blvd.	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment	
Zoning District: PUD	Acreage: 1.52 AC		
Tax Map Number(s): R610 030 000 2002 0000			
Project Description: 4,400 SF Culver's quick service restaurant with associated infrastructure and utilities.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) full sized copies and digital files of the Preliminary or Final Development Plans.			
<input checked="" type="checkbox"/> 2. Project Narrative and digital file describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 3. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 10/14/2024	
Applicant Signature: 		Date: 10/14/2024	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



October 14th, 2024

20 Bridge St.
P.O. Box 386
Bluffton, SC 29910

RE: *Project Narrative for Culver's Bluffton*

To whom it may concern,

Culver's Bluffton is a project consisting of a proposed 4,400-sf quick service restaurant, 61 surface parking spaces, and utilities. Additionally, the proposed plans include bioretention areas for stormwater detention and two driveways. These driveways shall serve the purpose of accessing the site from the adjacent parking lot east of the site.

The existing plot is grassed open space within the Buckwalter Planned Unit Development. The overall project disturbed area of this lot is 1.52 acres. All designs for this development shall conform to the Town of Bluffton UDO as reasonably required.

Please contact me at (864) 403-5147 or WILLIAM.HEINTZ@kimley-horn.com should you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink that reads "William T. Heintz".

William Heintz, P.E.
Civil Engineer



PREPARED BY:

Witmer Jones Keefe
Ltd.
landscape architecture
land planning

DON RYAN
CENTER FOR INNOVATION

BUCKWALTER PLACE COMMERCE PARK MASTER PLAN

BLUFFTON, SOUTH CAROLINA

APRIL 2019



NOTE: PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

Drawing name: K:\GRE_DS\013210004 - Culver's Bluffton\02 - DWG\Plots\Sheets\CO-00 COVER SHEET.dwg, CO-00 COVER SHEET, Oct 14, 2024, 1:31pm, by: bloke.ericc
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CIVIL CONSTRUCTION DRAWINGS
FOR
CULVER'S BLUFFTON
110 BUCKWALTER PLACE BLVD.,BLUFFTON, SC 29910

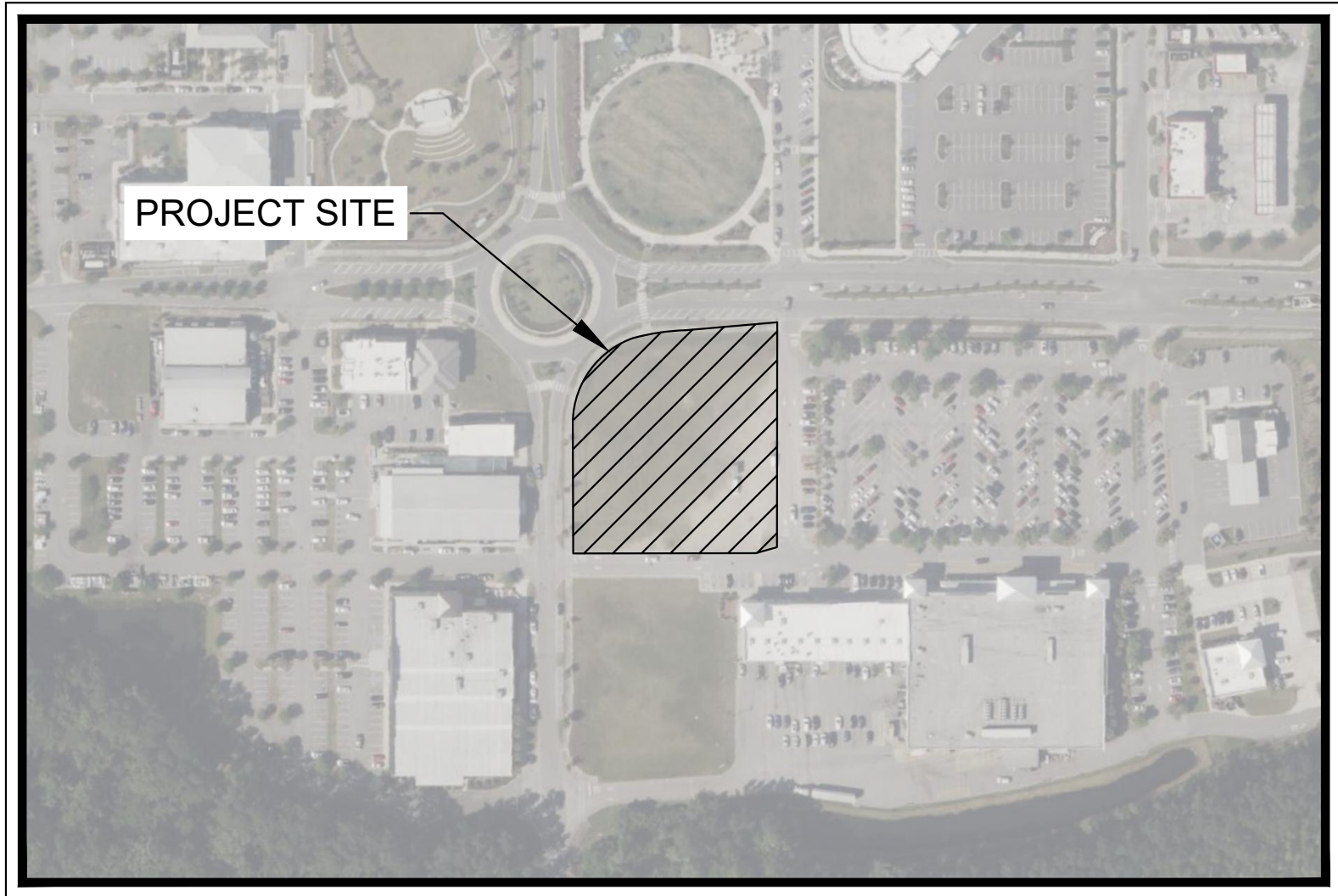


FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM
PANEL 45013C0270G DATED 03/23/2021.

PARCEL NO.: R610 030 000 2002 0000
ZONING: PLANNED UNIT DEVELOPMENT

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
PROPERTY AREA = 1.52 ACRES
TOTAL DISTURBED AREA = 1.52 ACRES
IMPERVIOUS AREA = 0.86 ACRES (56.58%)
PERVIOUS AREA = 0.66 ACRES (43.42%)



VICINITY MAP

N.T.S.



PROJECT CONTACTS

OWNER: ROLLING DOUGH PROPERTIES, LLC.
126 NORTH FOREST BEACH ST
HILTON HEAD ISLAND, SC 29928

DEVELOPER HARRISBURG LAND, LLC.
461 RIVER CREST COURT
MUKWONAGO, WI 53149
PHONE: (262)-436-4760
CONTACT: JAY CAMPBELL
EMAIL: JAY@CAMPBELLCONSTRUCTION.COM

ARCHITECT: OLLMANN ERNEST MARTIN ARCHITECTS
200 S STATE ST
BELVIDERE, IL 61008
PHONE: (815)-544-7790
CONTACT: WENDY MARTIN
EMAIL: WMARTIN@OAARCH.COM

CIVIL ENGINEER: KIMLEY-HORN & ASSOCIATES, INC.
607 PENDLETON ST, SUITE 100
GREENVILLE, SC 29601
PHONE: (843)-737-6390
CONTACT: WILLIAM HEINTZ, P.E.
EMAIL: WILLIAM.HEINTZ@KIMLEY-HORN.COM

SURVEYOR: ATLAS SURVEYING
168 BOARDWALK DRIVE, SUITE A
RIDGELAND, SC 29936
PHONE: (843)-645-9277
CONTACT: RYAN CHESLAK
EMAIL: RCHESLAK@ALSSURVEYING.COM

SWPPP CERTIFICATION:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

PROJECT NARRATIVE:

THIS PROJECT CONSISTS OF A PROPOSED 4,400 SQUARE FOOT QUICK SERVICE RESTAURANT CONTAINING CULVER'S RESTAURANT BUILDING TYPE STANDARD L WITHIN THE BUCKWALTER PLANNED UNIT DEVELOPMENT (DEED BOOK 1288 PAGE 1).

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF 61 SURFACE PARKING SPACES, STORMWATER CONVEYANCE AND DETENTION, UTILITIES, AND OFFSITE ROADWAY IMPROVEMENTS CONSISTING OF TWO NEW TWO WAY DRIVEWAYS INTO THE PROJECT SITE. THE OVERALL PROJECT DISTURBED AREA IS 1.52 ACRES.

ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88. SEE PROJECT SURVEY FOR BENCHMARK INFORMATION

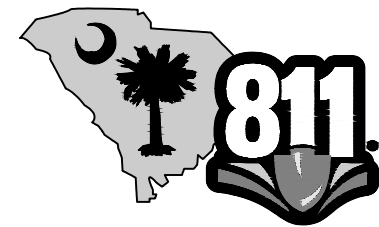
NOTES:

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SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C0-00	COVER SHEET
C0-01	GENERAL NOTES
C1-00	SURVEY
C4-00	SITE PLAN
C5-00	GRADING AND DRAINAGE PLAN
C6-00	UTILITY PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

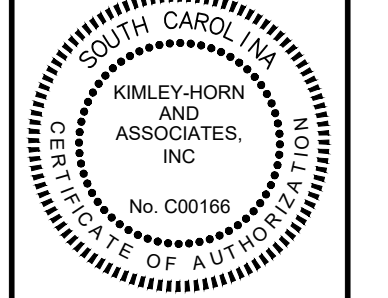
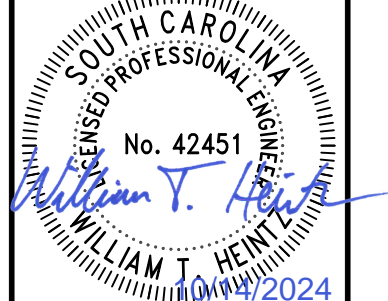


PROJECT: CULVER'S BLUFFTON
BLUFFTON SC

TITLE: COVER SHEET

CLIENT: HARRISBURG
LAND, LLC
461 RIVER CREST CT.
MUKWONAGO, WI 53149

SCALE: AS SHOWN
DRAWN BY: MBE
DESIGNED BY: MBE
CHECKED BY: WTH



Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
607 PENDLETON ST, SUITE 100,
GREENVILLE, SC 29601
PHONE (704) 333-5131
WWW.KIMLEY-HORN.COM

No. REVISIONS

0 ISSUED FOR PRELIMINARY REVIEW
10-14-24 K-H

DATE

DATE
10/14/2024
PROJECT NO.
013210004
SHEET NUMBER
C0-00

PRELIMINARY: NOT FOR CONSTRUCTION

Drawing name: K:\GRG_DS\013210004 - Culvers Bluffton\02 - DWG\Plots\Sheets\C0-00 COVER SHEET.dwg, Plot: C0-01 GENERAL NOTES, Oct 14, 2024, 1:31pm, by: bloke.ericc

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GENERAL NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL, SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY XXXX. DATED XXXX/XXXX.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, AND TOWN OF BLUFFTON INSPECTIONS.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF sCDOT AND THE TOWN OF BLUFFTON.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH SCDOT AND TOWN OF BLUFFTON STANDARDS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT SCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH THE TOWN OF BLUFFTON'S STANDARD SPECIFICATIONS AND DETAILS.
- ALL WORK MUST COMPLY WITH SOUTH CAROLINA STATE BUILDING CODE AND SOUTH CAROLINA ACCESSIBILITY CODE AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS FROM THE PROJECT GEOTECH REPORT PREPARED BY XXXX DATED XXXXXX.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
- ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
- THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

TREE PROTECTION NOTES:

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND SCDOT STANDARDS FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

WETLAND CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE FAMILIAR WITH THE RULES, REQUIREMENTS, AND REGULATIONS ASSOCIATED WITH THE USACE PERMIT FOR THIS PROJECT.
- CONTRACTOR TO PROTECT THE WETLANDS TO REMAIN AT ALL TIMES, INCLUDING WRAPPING THE WETLANDS IN A DOUBLE ROW OF SILT FENCE AS INDICATED ON THE EROSION AND SEDIMENTATION CONTROL PLAN.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND SCDOT STANDARDS FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

RETAINING WALL NOTES

- STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES.
- BOTTOM OF WALL ("BG") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. TOP OF WALL ("TG") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO WALL. REFER TO RETAINING WALL PLANS (BY OTHERS) FOR ALL TG AND BG ELEVATIONS, DRAINAGE AND CONSTRUCTION METHODS.
- RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

FINE GRADING NOTES:

- SIDEWALKS TO HAVE A MAXIMUM 2.00% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2.00% CROSS SLOPE AND MAXIMUM 5.00% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS.

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS TOWN OF BLUFFTON REQUIRED BACKFLOW PREVENTER.
- EACH SCDES / TOWN OF BLUFFTON UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER SCDES / TOWN OF BLUFFTON REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER SCDES / TOWN OF BLUFFTON REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

DRAINAGE:

- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE SCDOT STANDARD DETAILS AND SPECIFICATIONS.
- THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS ARE TO THE GUTTER FLOW LINE.
- DRAINAGE AS-BUILTS WILL BE REQUIRED FOR FINAL INSPECTION.
- ALL STORM CONNECTIONS SHALL BE WATERTIGHT.

UTILITY NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE TOWN OF BLUFFTON'S UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 - 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40
 - 4" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- WATER LINES SHALL BE AS FOLLOWS:
 - 4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150
 - SMALLER THAN 4" - TYPE K COPPER TUBE
- MINIMUM TRENCH WIDTH SHALL BE 3 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
- WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI A21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- THE AUTHORITY HAVE JURISDICTION HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE TOWN OF BLUFFTON WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH THE UTILITY PROVIDER FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH THESE LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE PAD SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.
- GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS.

GRADING:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL THE TOWN OF BLUFFTON AND SCDOT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB LOCATIONS ARE TO THE BOTTOM FACE OF CURB (FLOWLINE), UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS, STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL DEWATERING RECOMMENDATIONS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS FROM THE SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES (SCDES).
- GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 14 WORKING DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE RISK OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF BLUFFTON INSPECTOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SCDES EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE SCDES REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

TOWN OF BLUFFTON STORMWATER MANAGEMENT:

- ALL STORMWATER MANAGEMENT DESIGN SHALL COMPLY WITH ALL THE BLUFFTON STORMWATER DESIGN MANUAL STANDARDS.

PRELIMINARY
NOT FOR CONSTRUCTION



PROJECT: CULVER'S BLUFFTON

CLIENT: HARRISBURG LAND, LLC

TITLE: GENERAL NOTES

DATE: 10/14/2024

PROJECT NO. 013210004

SHEET NUMBER C0-01

SCALE: AS SHOWN

DRAWN BY: MBE

DESIGNED BY: MBE

CHECKED BY: MBE

WITH: WITH

Kimley»Horn

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PHONE (704) 333-5131
WWW.KIMLEY-HORN.COM

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 42451
William T. Hoke
October 2024

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. C00166
Kimley-Horn and Associates, Inc.
Bluffton

Section VIII, Item #2.

10-14-24 K-H

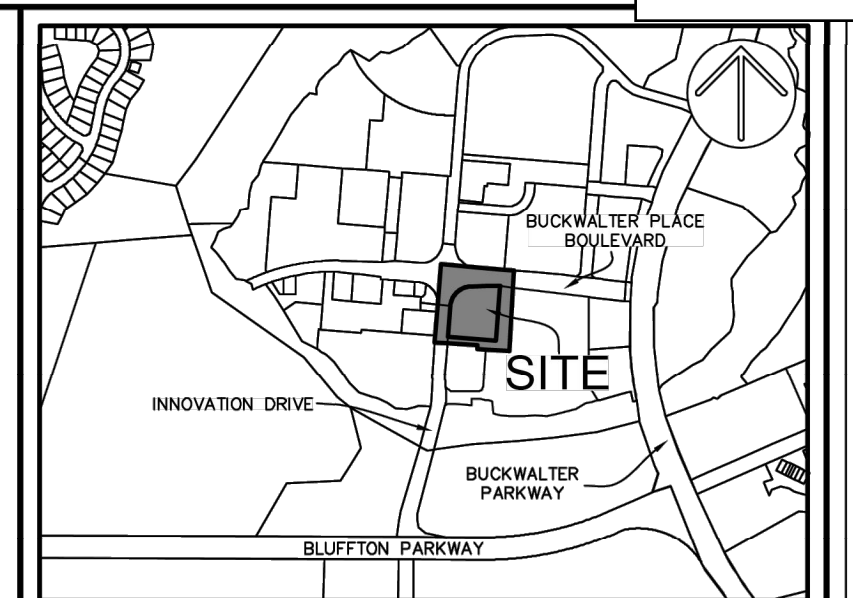
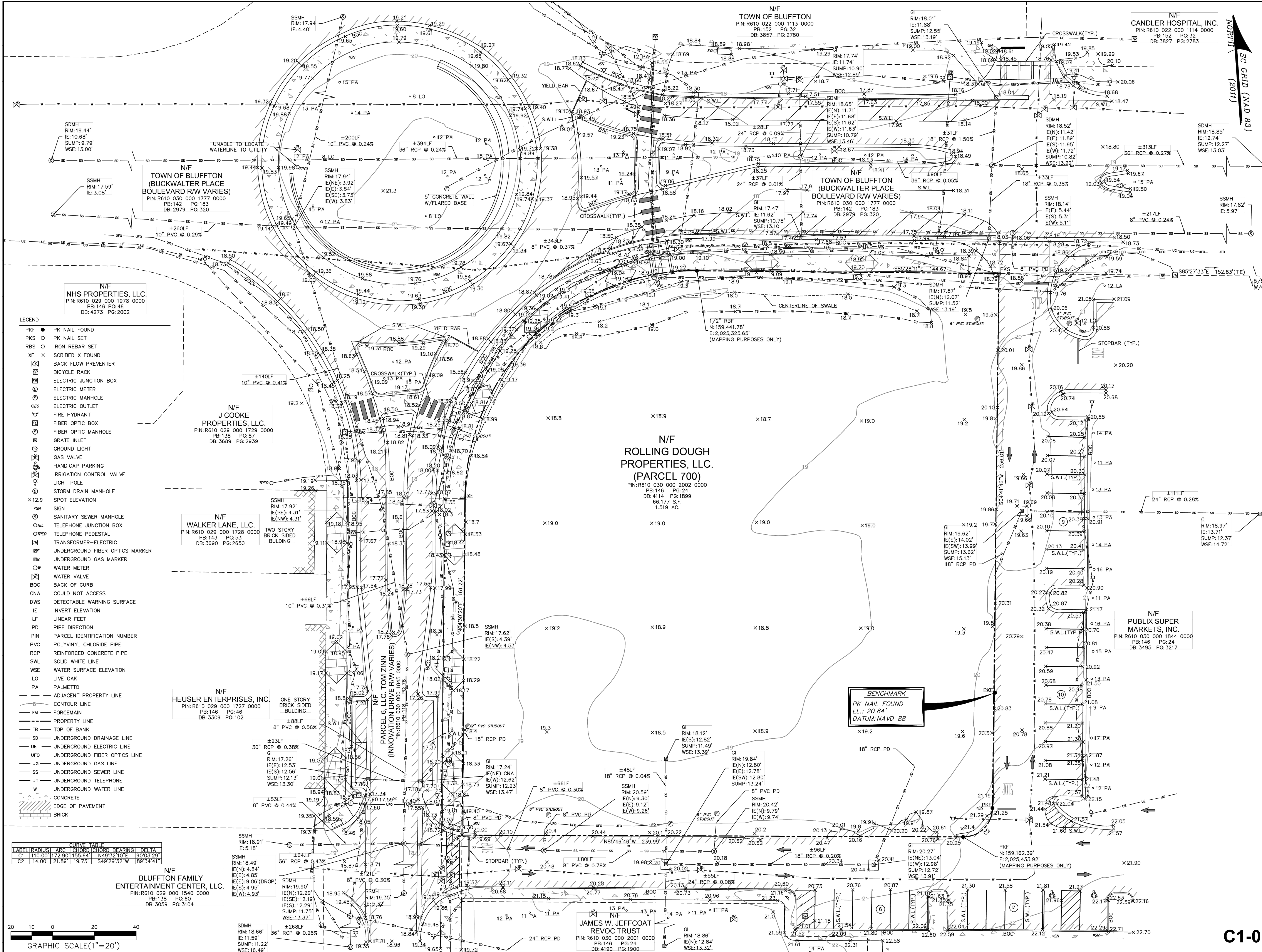
ISSUED FOR PRELIMINARY REVIEW

REVISIONS

DATE

PRELIMINARY: NOT FOR CONSTRUCTION

Page 43



NOT TO SCALE

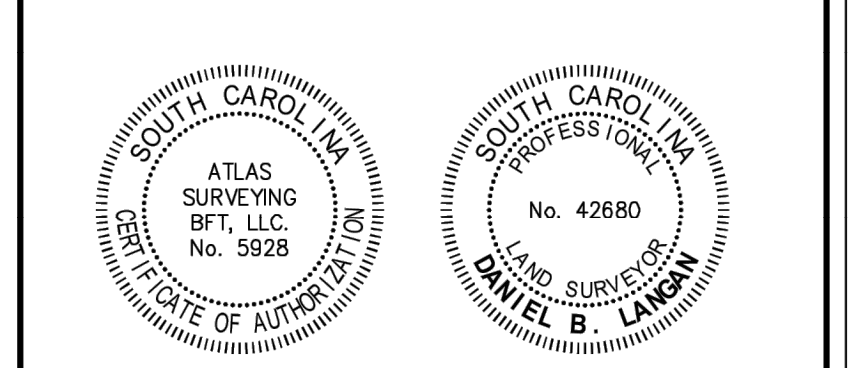
- NOTES**
- THIS AREA APPEARS TO BE IN FLOOD ZONE X. COMMUNITY 450251, MAP NUMBER 4501302270G.
 - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 - VERTICAL DATUM IS NAVD 88.
 - BUILDING SETBACKS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES, AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
 - HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID NAD 83 (2011).
 - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACUSTICAL EVIDENCE AS OF 6-17-2024. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
 - ALL WATER SURFACE ELEVATIONS SHOWN WERE TAKEN ON 6-19-2024.
 - THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 - NO ZONING REPORT WAS PROVIDED AT THE TIME OF THE SURVEY.
 - NO BUILDINGS OBSERVED AT THE TIME SURVEY WAS PERFORMED.

PREPARED FOR:
HARRISBURG LAND LLC,
A WISCONSIN LIMITED LIABILITY COMPANY
AN ALTA/NSPS LAND TILE SURVEY OF
PARCEL 700
#110 BUCKWALTER PLACE BOULEVARD
BLUFFTON
TAX PARCEL No. R610 030 000 2002 0000
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: TNL
FIELD CHECK: WMP
DRAWN BY: DTJ
FIELD DATE: 07-09-2024
PLAT DATE: 07-11-2024
SCALE: 1"=20'
PROJECT No.: BFT-24211
FILE: BFT-24211 ALTA1.DWG

SHEET 1 OF 2

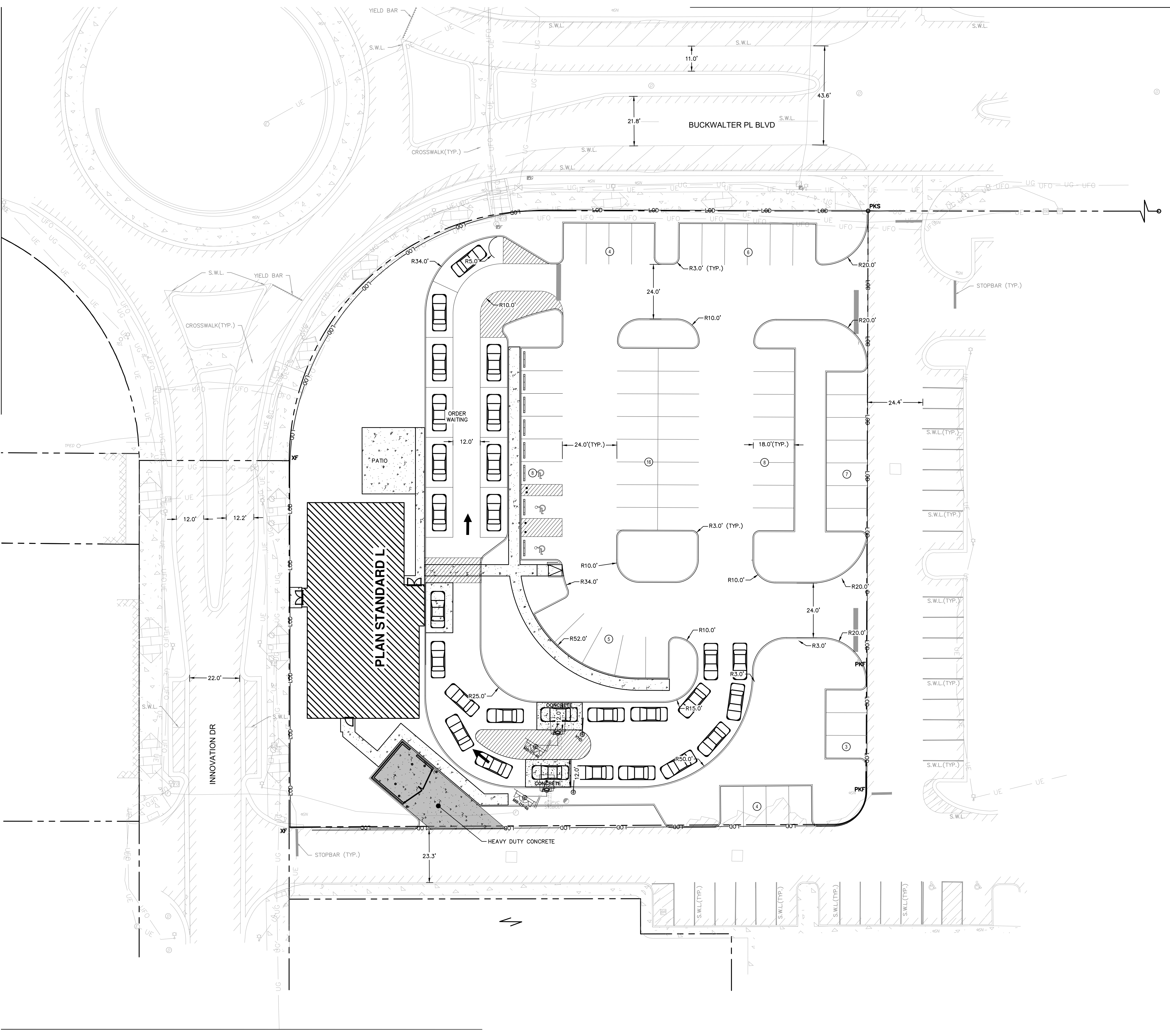
ATLAS SURVEYING, INC.
168 BOARDWALK DRIVE, SUITE A.
RIDGELAND, SC 29936.
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

DANIEL B. LANGAN
S.C.P.L.S. No. 42680
NOT VALID UNLESS CRIMPED WITH SEAL

C1-00



SITE LEGEND

	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE

DEVELOPMENT SUMMARY:

SITE SUMMARY:

PROJECT NAME:	CULVER'S BLUFFTON
ADDRESS:	110 BUCKWALTER PLACE BLVD. BLUFFTON, SC 29678
PROPERTY OWNER:	ROLLING DOUGH PROPERTIES LLC.
PROPERTY DEVELOPER:	HARRISBURG LAND LLC.
TAX PARCEL ID:	R610 030 000 2002 0000
CURRENT ZONING (TOWN OF BLUFFTON):	PLANNED UNIT DEVELOPMENT
SITE AREA:	1.52 AC
PERVIOUS/IMPERVIOUS:	PERVIOUS: 0.47 AC IMPERVIOUS: 1.05 AC
OPEN SPACE:	REQUIRED: 1.52 X 0.20 = 0.30 AC PROPOSED: 0.47 AC
PROPOSED STRUCTURES:	2 STRUCTURES 5,100 SF
SETBACKS:	FRONT: 10' SIDE: 5' REAR: 20'
PARKING REQUIRED:	4,496 SF X (4 SPACES / 1000 SF) = 17 SPACES
PARKING PROVIDED:	61 SPACES
STANDARD:	58 SPACES
ADA:	3 SPACES
ORDER WAITING PROVIDED:	10 SPACES
ORDER WAITING:	10 SPACES

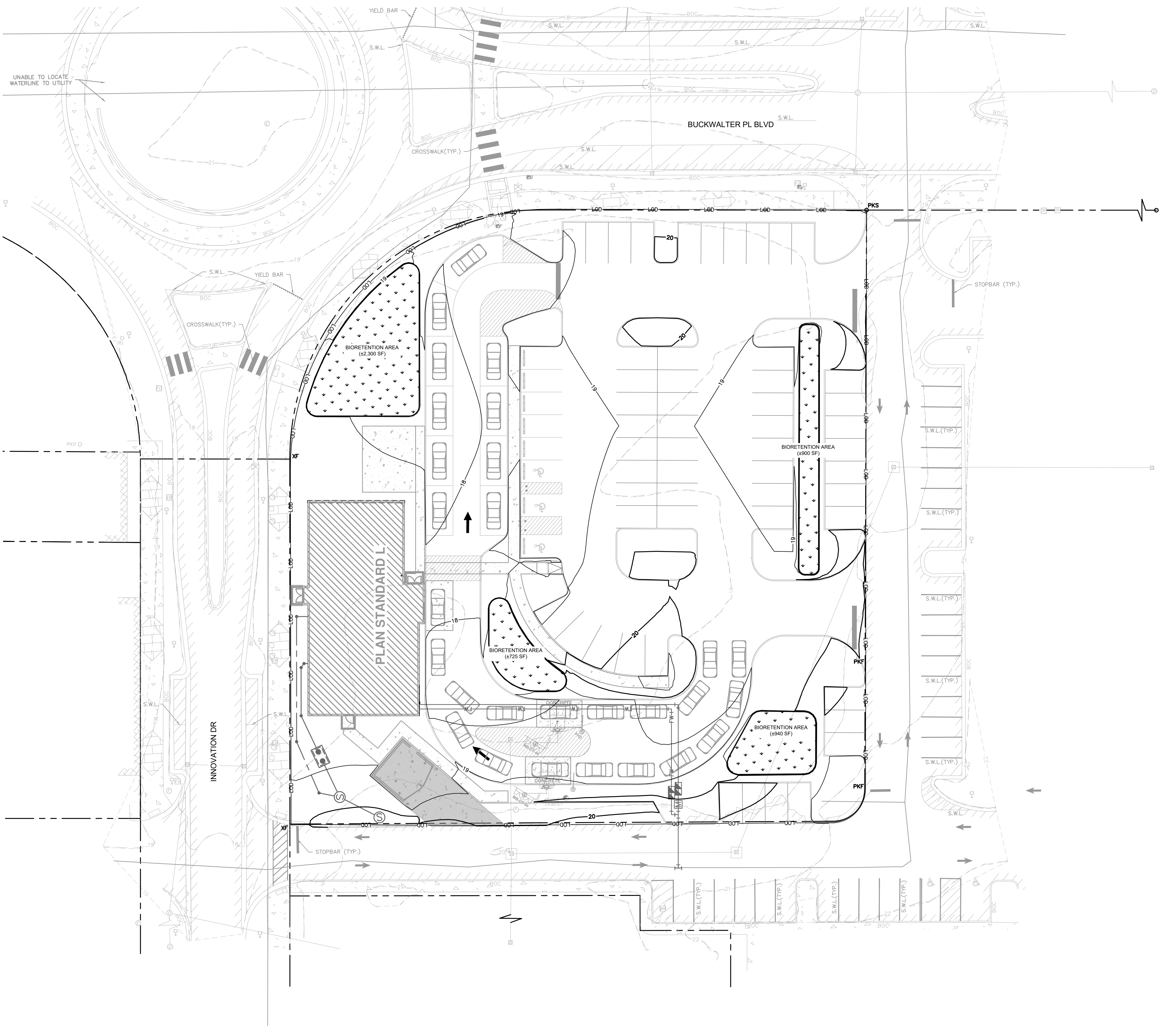
PROJECT: CULVER'S BLUFFTON		CLIENT: HARRISBURG LAND, LLC		DATE: 10/14/2024	
BLUFFTON SC		461 RIVER CREST CT. MUKWONAGO, WI 53149		PROJECT NO. 013210004	
TITLE: SITE PLAN				SHEET NUMBER	
C4-00					

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GREENVILLE, SC 29601
PHONE (704) 333-5131
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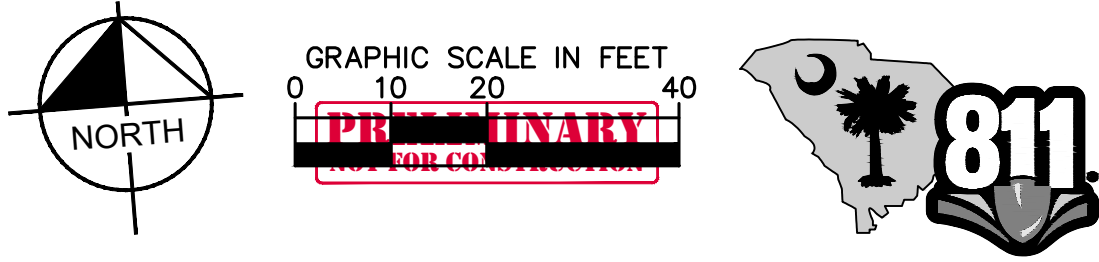
No.	REVISIONS	DATE
0	ISSUED FOR PRELIMINARY REVIEW	10-14-24 KH

PRELIMINARY: NOT FOR CONSTRUCTION

Plotted By: Eric, Blake Sheet SA-CULVER'S BLUFFTON, Levant-C2-00 GRADING AND DRAINAGE PLAN, October 14, 2024, 01:31:23am K:\GPE_DS\013210004 - Culvers Bluffton\02 - DWG\PlanSheets\C5-00 GRADING AND DRAINAGE PLAN.dwg
Drawing Location: K:\GPE_DS\013210004 - Culvers Bluffton\02 - DWG\PlanSheets\C5-00 GRADING AND DRAINAGE PLAN.dwg
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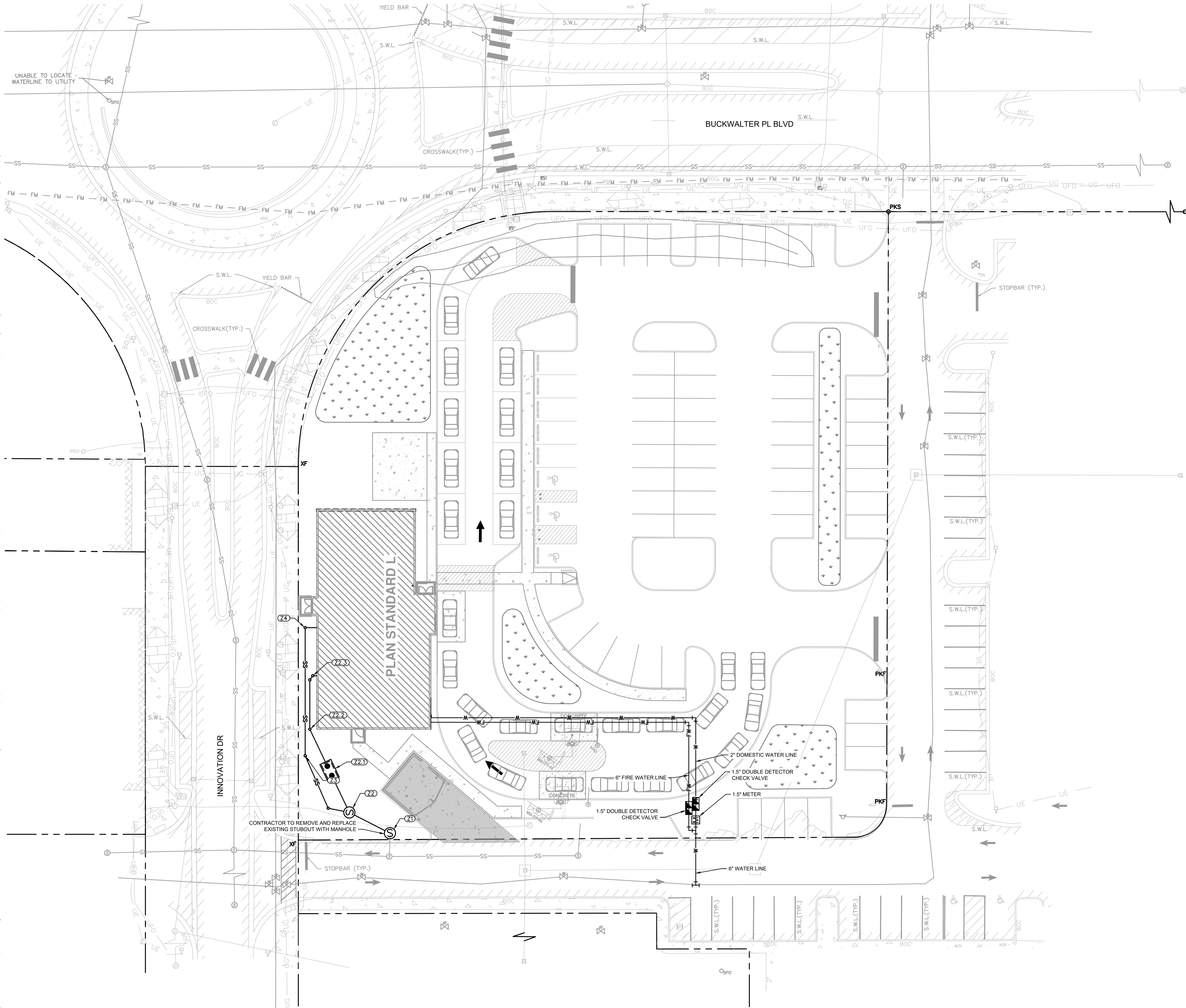


GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)



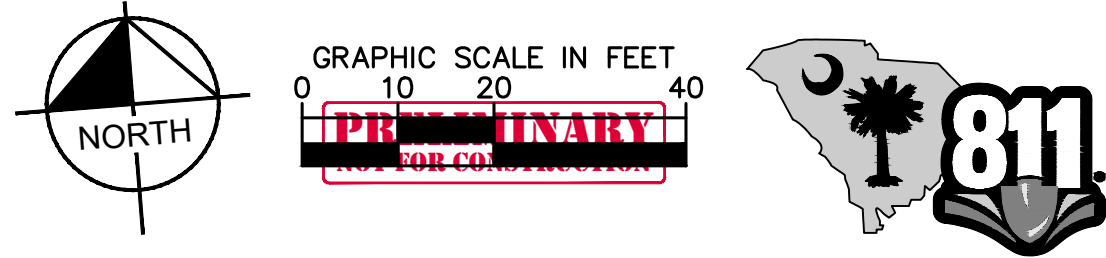
PROJECT: CULVER'S BLUFFTON		CLIENT: HARRISBURG LAND, LLC	
BLUFFTON SC		461 RIVER CREST CT. MUKWONAGO, WI 53149	
TITLE: GRADING AND DRAINAGE PLAN		SCALE: AS SHOWN	
DATE: 10/14/2024		DRAWN BY: MBE	
PROJECT NO.: 013210004		DESIGNED BY: MBE	
SHEET NUMBER: C5-00		CHECKED BY: WTH	
No. REVISIONS		DATE	
0		10-14-24	
ISSUED FOR PRELIMINARY REVIEW		KIMLEY-HORN AND ASSOCIATES, INC.	
		607 PENDLETON ST., SUITE 100, GREENVILLE, SC 29601 PHONE (704) 333-5131 WWW.KIMLEY-HORN.COM	
		SOUTH CAROLINA KIMLEY-HORN AND ASSOCIATES, INC. No. C00166 REGISTERED PROFESSIONAL ENGINEER No. 42451 WILLIAM T. HORN 2024	

PRELIMINARY: NOT FOR CONSTRUCTION

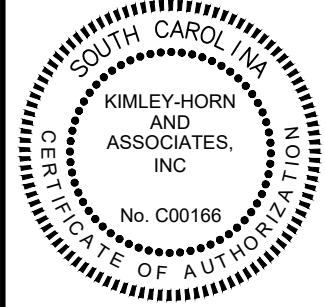


UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
TV	CABLE
□ □ □	LIGHT POLE
M	WATER METER
c s	GATE VALVE
□ □	POINT OF CONNECTION
▢ ▢	BACKFLOW PREVENTOR
┐ ┌	PIPE TEE/BENDS
└ ┘	REDUCER
●	FIRE HYDRANT (FH)
●	FIRE DEPARTMENT CONNECTION (FDC)
○	SANITARY SEWER CLEANOUT (SSCO)
○	SANITARY SEWER MANHOLE (SSMH)
○	SANITARY SEWER GREASE TRAP

PER PRELIMINARY CONVERSATIONS WITH UTILITY PROVIDERS, THIS SITE CAN BE SUPPLIED WITH ADEQUATE UTILITIES.



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PHONE (704) 333-5131
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SCALE:	AS SHOWN
DRAWN BY:	MBE
DESIGNED BY:	MBE
CHECKED BY:	WTH

CLIENT:
HARRISBURG LAND, LLC
461 RIVER CREST CT.
MUKWONAGO, WI 53149

PROJECT: **CULVER'S BLUFFTON**
BLUFFTON SC
TITLE: **UTILITY PLAN**

DATE
10/14/2024
PROJECT NO.
013210004
SHEET NUMBER
C6-00

PRELIMINARY: NOT FOR CONSTRUCTION



PLAN REVIEW COMMENTS FOR DP-10-24-019406

Atta

Section VIII. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
Buckwalter

Plan Type:	Development Plan	Apply Date:	10/16/2024
Plan Status:	Active	Plan Address:	
Case Manager:	Dan Frazier	Plan PIN #:	R610 030 000 2002 0000
Plan Description:	<p>A request by William Heintz of Kimley-Horn, on behalf of Rolling Dough Properties, LLC, for approval of a Preliminary Development Plan. The project consists of a 4,400 SF quick service restaurant with associated parking and infrastructure. The property is zoned Buckwalter PUD and consists of approximately 1.52 acres identified by tax map number R610 030 000 2002 000 and located at the southeast corner of Buckwalter Place Blvd and Innovation Drive within the Buckwalter Place Master Plan.</p> <p>STATUS: This application will be heard at the November 20, 2024 Development Review Committee meeting.</p>		

Technical Review

Submission #: 1 Received: 10/16/2024 Completed: 11/15/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Planning Commission Review	11/15/2024	Angie Castrillon	Revisions Required

Comments:

- Proposed plan has excessive impervious surface. Better Site Design (BSD) should minimize the creation of new impervious cover and reduce a site's impact on the watershed. (UDO Section 5.10)
- Clarify if the outdoor patio is accounted for in parking calculations.
- Proposed parking provides 61 spaces plus 10 order waiting spaces for a total of 71 spaces. Per Buckwalter PUD, 12 spaces per 1,000 SF are required. Reduce the proposed parking by removing the removing the 14 perimeter parking spaces and incorporating this area into open space.

Planning Review - Principal	11/15/2024	Dan Frazier	Revisions Required
-----------------------------	------------	-------------	--------------------

Comments:

- The dumpster's proposed location would impede the through access drive for adjacent commercial properties and would also require approval from the property owner for the use of the drive lane to access dumpster.
- Relocate the dumpster. Orient the dumpster enclosure gates to face the interior of the lot. If the dumpster is relocated to the southeast corner of the property, employees can still access the dumpster by sidewalk from the service door without entering the parking lot.

Watershed Management Review DRC	11/15/2024	Samantha Crotty	Revisions Required
------------------------------------	------------	-----------------	--------------------

Comments:

- Demonstrate the capacity of retaining the 95th percentile storm on-site with approved infiltration/filtering BMPs and meet Water Quality standards by providing the Compliance Calculator.
- Provide more detail for proposed bioretention areas.
- Provide additional information for the existing grate inlet located on-site.
- Provide additional information on how stormwater will enter the proposed BMPs by showing drainage flow patterns.
- Clarify whether there will be any stormwater infrastructure on site.

Beaufort Jasper Water and Sewer Review	11/15/2024	Matthew Michaels	Approved with Conditions
-------------------------------------------	------------	------------------	--------------------------

Comments:

- Per the submitted BJWSA Water and Sewer Availability Letter, design drawings, hydraulic loadings, and calculations must be submitted to BJWSA's Engineering Department for review and approval.

Building Safety Review	11/14/2024	Marcus Noe	Approved	Atta <div>Section VIII. Item #2.</div>
Fire Department Review	11/15/2024	Dan Wiltse	Approved	
Planning Review - Address	11/15/2024	Diego Farias	Approved	
Police Department Review	11/15/2024	Bill Bonhag	Approved	
Transportation Department Review	10/17/2024	Mark Maxwell	Approved	
Comments: No comments				

Plan Review Case Notes:

COMMENTS – PLANNING COMMISSION REVIEW

1. **Comment:** Proposed plan has excessive impervious surface. Better Site Design (BSD) should minimize the creation of new impervious cover and reduce a site's impact on the watershed. (UDO Section 5.10).

Response: The site's impervious cover is needed to provide the building and required parking areas. The Development Summary table also shows that the site still provides additional open space compared to the required 20% in the UDO.

2. **Comment:** Clarify if the outdoor patio is accounted for in parking calculations.

Response: Please see the revised plans for the updated Development Summary. It has been updated to show that the outdoor patio is included in the proposed structures and therefore included in the parking calculations.

3. **Comment:** Proposed parking provides 61 spaces plus 10 order waiting spaces for a total of 71 spaces. Per Buckwalter PUD, 12 spaces per 1,000 SF are required. Reduce the proposed parking by removing the removing the 14 perimeter parking spaces and incorporating this area into open space.

Response: The Culver's model is a made to order restaurant. With this, the drive through cannot operate similar to a typical drive through because the customers will order at the board, pay at the window, and then pull into an order waiting space for a couple minutes while their food is prepared and then brought to them. Therefore, the 10 order waiting spaces are not considered parking spaces for walk-in guests. These spaces are separated from the parking lot through the drive through and the island adjacent. Based on this, a walk-in customer would not be able to get to the order waiting spaces and they should not be counted as parking spaces. The parking spaces calculations have been updated based on building and patio area to show the requirement of 63 spaces compared to the 61 we have provided. To meet the 63 spaces required, customers can use to two parking spaces located in Innovation Drive directly adjacent to the building entrance.

COMMENTS – PLANNING REVIEW

1. **Comment:** The dumpster's proposed location would impede the through access drive for adjacent commercial properties and would also require approval from the property owner for the use of the drive lane to access dumpster.

Response: Please see the updated Site Plan within the revised plans. Dumpster has been turned to face the drive through lanes. Dumpster pick up will be limited to after the property has closed and should not interfere with day-to-day operations.

2. **Comment:** Relocate the dumpster. Orient the dumpster enclosure gates to face the interior of the lot. If the dumpster is relocated to the southeast corner of the property, employees can still access the dumpster by sidewalk from the service door without entering the parking lot.

Response: Please see the updated Site Plan within the revised plans. Dumpster has been oriented to face the interior of the lot.

COMMENTS – WATERSHED MANAGEMENT REVIEW

1. **Comment:** Demonstrate the capacity of retaining the 95th percentile storm on-site with approved infiltration/filtering BMPs and meet Water Quality standards by providing the Compliance Calculator.

Response: Please see the Compliance Calculator included with this resubmittal. Apologies that this was not included with the previous submittal.

2. **Comment:** Provide more detail for proposed bioretention areas.

Response: Please see the updated Grading and Drainage Plan included with the resubmittal. Additional details on the proposed BMPs have been provided.

3. **Comment:** Provide additional information for the existing grate inlet located on-site.

Response: Please see the updated Grading and Drainage Plan included with the resubmittal. This grate inlet will be converted into a junction box during final construction.

4. **Comment:** Provide additional information on how stormwater will enter the proposed BMPs by showing drainage flow patterns.

Response: Please see the updated Grading and Drainage Plan included with the resubmittal. Additional detail has been provided on drainage and how drainage will reach the proposed BMPs.

5. **Comment:** Clarify whether there will be any stormwater infrastructure on site.

Response: Please see the updated Grading and Drainage Plan included with the resubmittal. Additional detail on stormwater infrastructure has been provided.

COMMENTS – BEAUFORT JASPER WATER AND SEWER

6. **Comment:** Per the submitted BJWSA Water and Sewer Availability Letter, design drawings, hydraulic loadings, and calculations must be submitted to BJWSA's Engineering Department for review and approval.

Response: Final construction drawings will be submitted to BJWSA once ready.

Drawing name: K:\GPR_DS\013210004 - Culver's Bluffton\02 - DWG\PlanSheets\CO-00 COVER SHEET.dwg CO-00 COVER SHEET Dec 11, 2024 3:29pm by: william heintz
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CIVIL CONSTRUCTION DRAWINGS
FOR
CULVER'S BLUFFTON
115 INNOVATION DRIVE, BLUFFTON, SC 29910

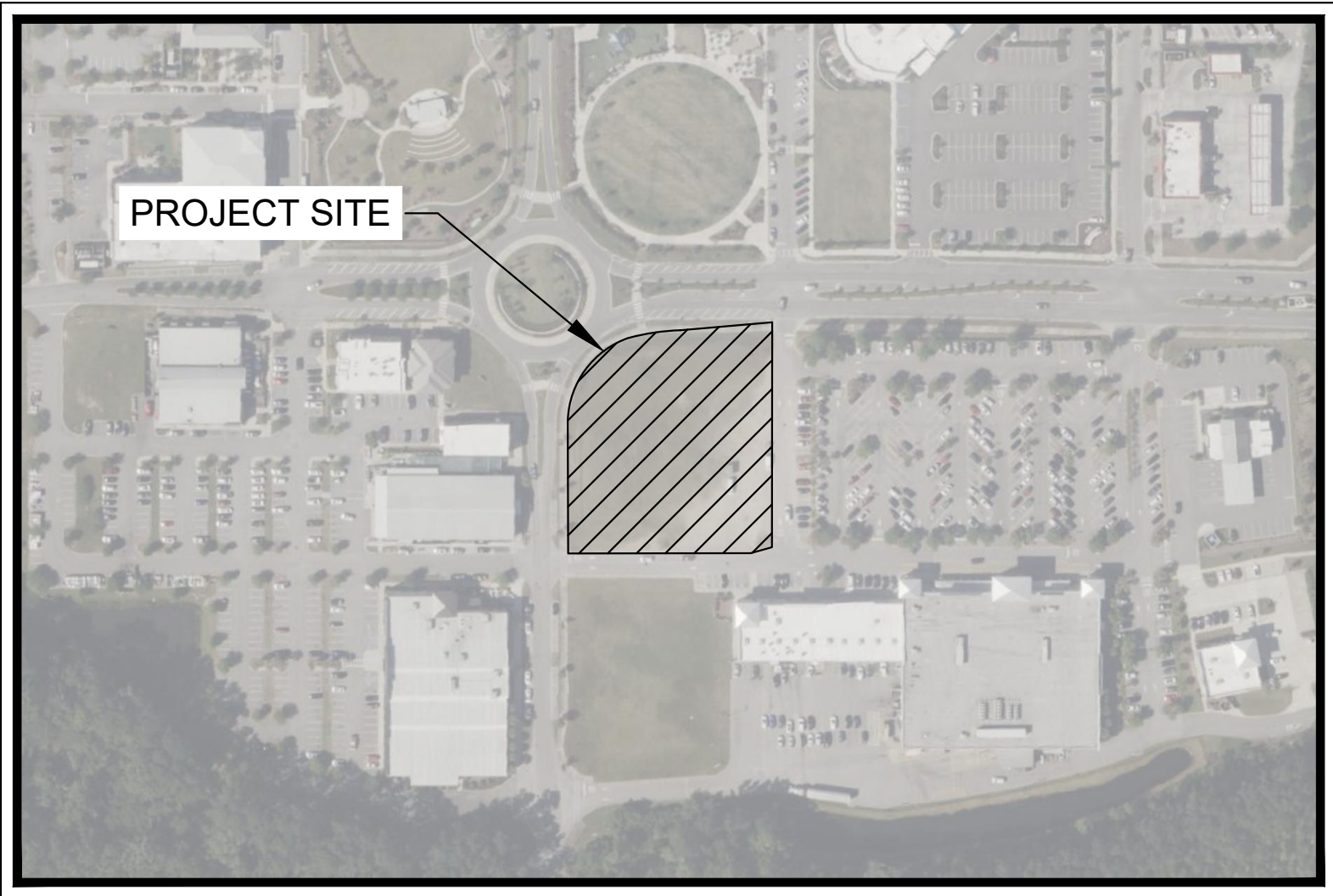


FEMA MAP

THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM
PANEL 45013C0270G DATED 03/23/2021.

PARCEL NO.: R610 030 000 2002 0000
ZONING: PLANNED UNIT DEVELOPMENT

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
PROPERTY AREA = 1.52 ACRES
TOTAL DISTURBED AREA = 1.52 ACRES
IMPERVIOUS AREA = 0.86 ACRES (56.58%)
PERVIOUS AREA = 0.66 ACRES (43.42%)



VICINITY MAP

N.T.S.

PROJECT NARRATIVE:

THIS PROJECT CONSISTS OF A PROPOSED 4,400 SQUARE FOOT QUICK SERVICE RESTAURANT CONTAINING CULVER'S RESTAURANT BUILDING TYPE STANDARD L WITHIN THE BUCKWALTER PLANNED UNIT DEVELOPMENT (DEED BOOK 1288 PAGE 1).

THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF 61 SURFACE PARKING SPACES, STORMWATER CONVEYANCE AND DETENTION, UTILITIES, AND OFFSITE ROADWAY IMPROVEMENTS CONSISTING OF TWO NEW TWO WAY DRIVEWAYS INTO THE PROJECT SITE. THE OVERALL PROJECT DISTURBED AREA IS 1.52 ACRES.

ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88. SEE PROJECT SURVEY FOR BENCHMARK INFORMATION

NOTES:

- ATTENTION IS DRAWN TO THE FACT THAT THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
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- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C0-00	COVER SHEET
C0-01	GENERAL NOTES
C1-00	SURVEY
C4-00	SITE PLAN
C5-00	GRADING AND DRAINAGE PLAN
C6-00	UTILITY PLAN

PROJECT CONTACTS

OWNER:	ROLLING DOUGH PROPERTIES, LLC. 126 NORTH FOREST BEACH ST HILTON HEAD ISLAND, SC 29928
DEVELOPER	HARRISBURG LAND, LLC. 461 RIVER CREST COURT MUKWONAGO, WI 53149 PHONE: (262)-436-4760 CONTACT: JAY CAMPBELL EMAIL: JAY@CAMPBELLCONSTRUCTION.COM
ARCHITECT:	OLLMANN ERNEST MARTIN ARCHITECTS 200 S STATE ST BELVIDERE, IL 61008 PHONE: (815)-544-7790 CONTACT: WENDY MARTIN EMAIL: WMARTIN@OAARCH.COM
CIVIL ENGINEER:	KIMLEY-HORN & ASSOCIATES, INC. 607 PENDLETON ST, SUITE 100 GREENVILLE, SC 29601 PHONE: (843)-737-6390 CONTACT: WILLIAM HEINTZ, P.E. EMAIL: WILLIAM.HEINTZ@KIMLEY-HORN.COM
SURVEYOR:	ATLAS SURVEYING 168 BOARDWALK DRIVE, SUITE A RIDGELAND, SC 29936 PHONE: (843)-645-9277 CONTACT: RYAN CHESLAK EMAIL: RCHESLAK@ALSSURVEYING.COM

SWPPP CERTIFICATION:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

**PRELIMINARY
NOT FOR CONSTRUCTION**

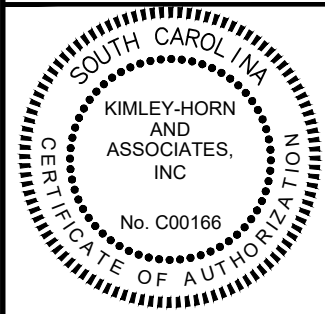


PROJECT: CULVER'S BLUFFTON
BLUFFTON SC

TITLE: COVER SHEET

CLIENT: HARRISBURG
LAND, LLC
461 RIVER CREST CT.
MUKWONAGO, WI 53149

SCALE: AS SHOWN
DRAWN BY: MBE
DESIGNED BY: MBE
CHECKED BY: WTH



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GREENVILLE, SC 29601
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PRELIMINARY: NOT FOR CONSTRUCTION

DATE
10/14/2024
PROJECT NO.
013210004
SHEET NUMBER
C0-00

Drawing name: K:\GRG_DS\013210004 - Culvers Bluffton\02 - DWG\Plots\Sheets\C0-00 COVER SHEET.dwg, 3:29pm, Dec 11, 2024, by: william.heintz

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GENERAL NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL, SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL ISLANDS WITH CURB SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY XXXX. DATED XXXX/XXXX.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, AND TOWN OF BLUFFTON INSPECTIONS.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF sCDOT AND THE TOWN OF BLUFFTON.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH SCDOT AND TOWN OF BLUFFTON STANDARDS.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT SCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH THE TOWN OF BLUFFTON'S STANDARD SPECIFICATIONS AND DETAILS.
- ALL WORK MUST COMPLY WITH SOUTH CAROLINA STATE BUILDING CODE AND SOUTH CAROLINA ACCESSIBILITY CODE AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS FROM THE PROJECT GEOTECH REPORT PREPARED BY XXXX DATED XXXXXX.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
- ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
- THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

TREE PROTECTION NOTES:

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND SCDOT STANDARDS FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

WETLAND CONSTRUCTION NOTES:

- CONTRACTOR SHALL BE FAMILIAR WITH THE RULES, REQUIREMENTS, AND REGULATIONS ASSOCIATED WITH THE USACE PERMIT FOR THIS PROJECT.
- CONTRACTOR TO PROTECT THE WETLANDS TO REMAIN AT ALL TIMES, INCLUDING WRAPPING THE WETLANDS IN A DOUBLE ROW OF SILT FENCE AS INDICATED ON THE EROSION AND SEDIMENTATION CONTROL PLAN.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) AND SCDOT STANDARDS FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

RETAINING WALL NOTES

- STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES.
- BOTTOM OF WALL ("BG") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. TOP OF WALL ("TG") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO WALL. REFER TO RETAINING WALL PLANS (BY OTHERS) FOR ALL TG AND BG ELEVATIONS, DRAINAGE AND CONSTRUCTION METHODS.
- RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

FINE GRADING NOTES:

- SIDEWALKS TO HAVE A MAXIMUM 2.00% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2.00% CROSS SLOPE AND MAXIMUM 5.00% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS.
- SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2.00% SLOPE IN ALL DIRECTIONS.

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS TOWN OF BLUFFTON REQUIRED BACKFLOW PREVENTER.
- EACH SCDES / TOWN OF BLUFFTON UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER SCDES / TOWN OF BLUFFTON REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER SCDES / TOWN OF BLUFFTON REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

DRAINAGE:

- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.

LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE - AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-87 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURERS INSTALLATION GUIDELINES OR SCDOT SPECIFICATION, WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
- ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.

B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.

D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.

E. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.

F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE SCDOT STANDARD DETAILS AND SPECIFICATIONS.
- THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS ARE TO THE GUTTER FLOW LINE.
- DRAINAGE AS-BUILTS WILL BE REQUIRED FOR FINAL INSPECTION.
- ALL STORM CONNECTIONS SHALL BE WATERTIGHT.

UTILITY NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE TOWN OF BLUFFTON'S UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP

8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP

6" PVC SCHEDULE 40

4" PVC SCHEDULE 40

DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- WATER LINES SHALL BE AS FOLLOWS:

4" AND LARGER - DUCTILE IRON PIPE PER AWWA C150

SMALLER THAN 4" - TYPE K COPPER TUBE
- MINIMUM TRENCH WIDTH SHALL BE 3 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
- WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- THE AUTHORITY HAVE JURISDICTION HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE TOWN OF BLUFFTON WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH THE UTILITY PROVIDER FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH THESE LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE PAD SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.
- GREASE INTERCEPTOR SIZING AND DETAILS ARE TO BE INCLUDED WITH BUILDING CONSTRUCTION PLUMBING PLANS.

GRADING:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL THE TOWN OF BLUFFTON AND SCDOT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB LOCATIONS ARE TO THE BOTTOM FACE OF CURB (FLOWLINE), UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS, STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL DEWATERING RECOMMENDATIONS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS FROM THE SOUTH CAROLINA DEPARTMENT OF ENVIRONMENTAL SERVICES (SCDES).
- GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 14 WORKING DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE RISK OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF BLUFFTON INSPECTOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SCDES EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE SCDES REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

TOWN OF BLUFFTON STORMWATER MANAGEMENT:

- ALL STORMWATER MANAGEMENT DESIGN SHALL COMPLY WITH ALL THE BLUFFTON STORMWATER DESIGN MANUAL STANDARDS.

PRELIMINARY
NOT FOR CONSTRUCTION

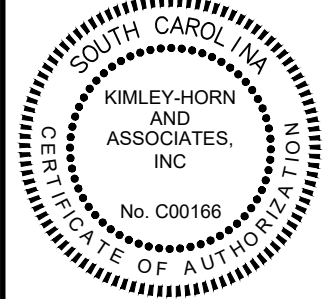


PROJECT: CULVER'S BLUFFTON
BLUFFTON SC

TITLE: GENERAL NOTES

DATE
10/14/2024
PROJECT NO.
013210004
SHEET NUMBER
C0-01

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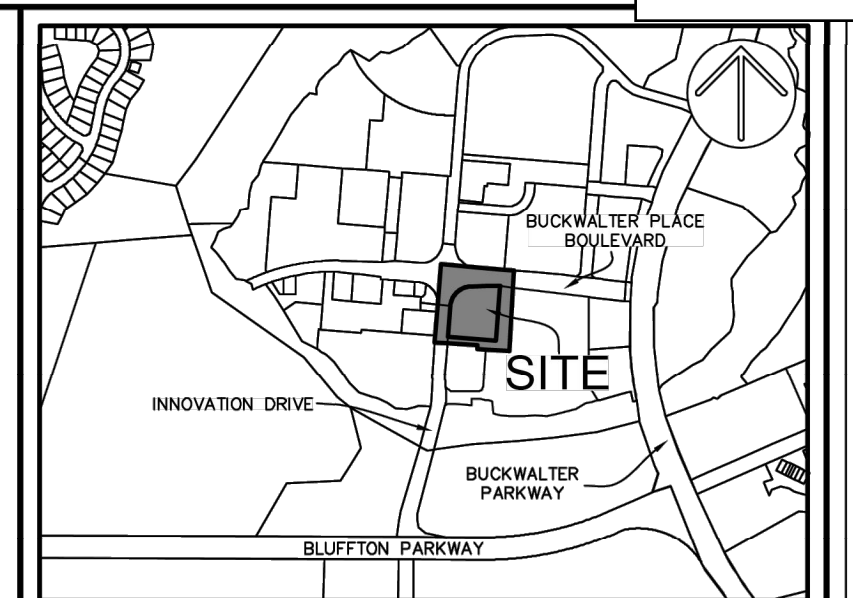
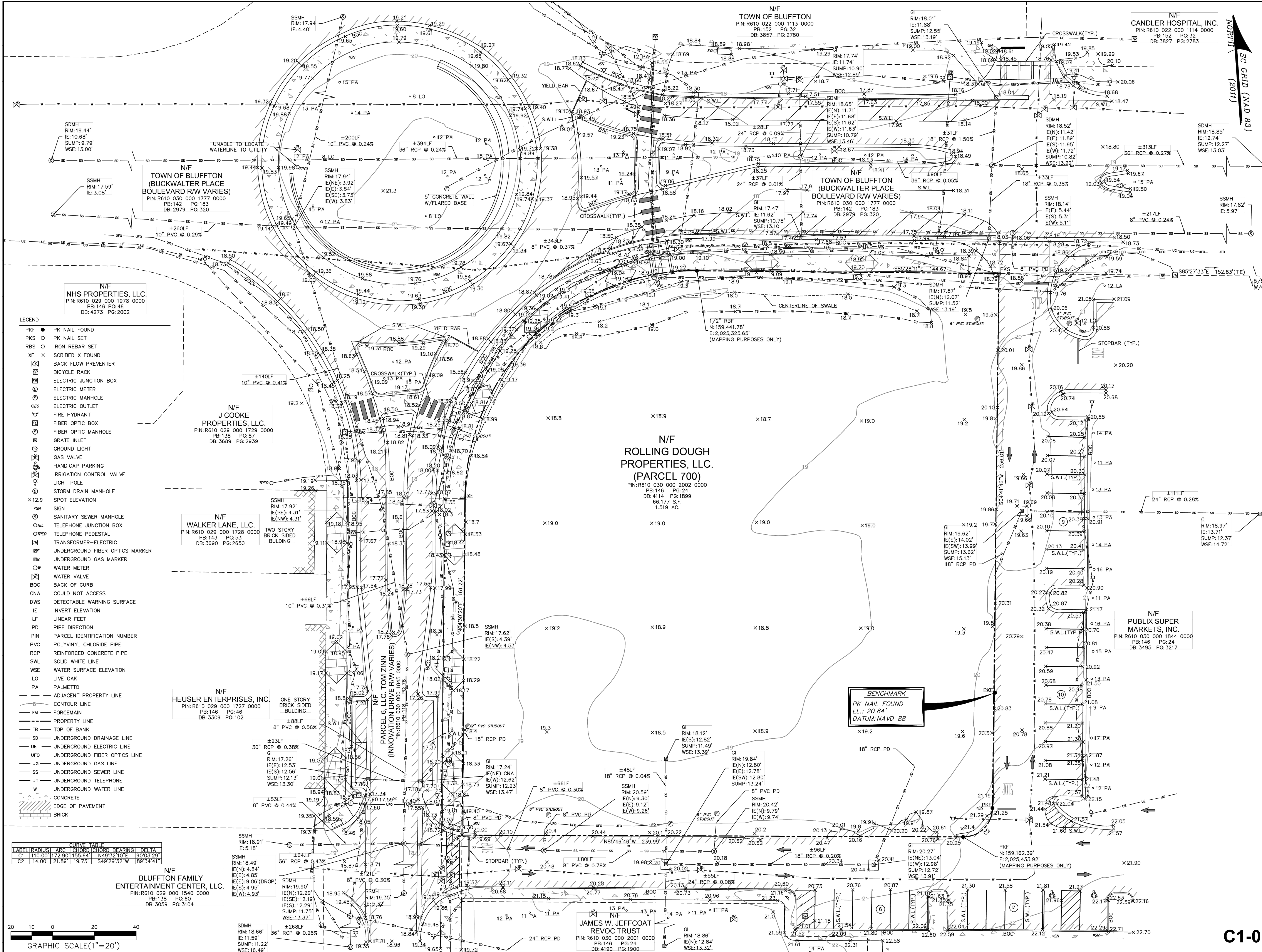
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DRAWN BY: MBE
DESIGNED BY: MBE
CHECKED BY: WTH

CLIENT:

HARRISBURG
LAND, LLC
461 RIVER CREST CT.
MUKWONAGO, WI 53149

NO.	REVISIONS	DATE
0	ISSUED FOR PRELIMINARY REVIEW	10-14-24 KHL

PRELIMINARY: NOT FOR CONSTRUCTION



NOT TO SCALE

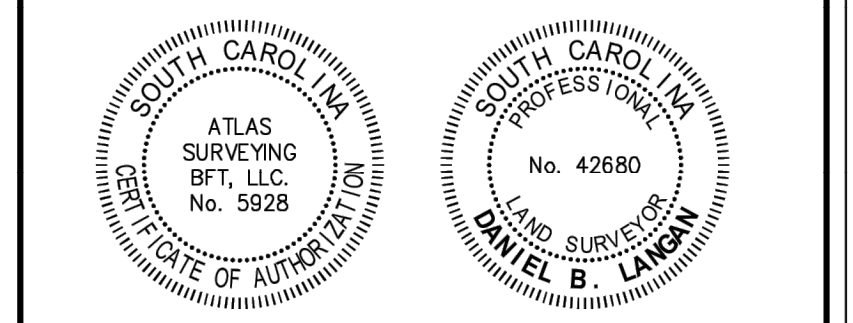
- NOTES**
- THIS AREA APPEARS TO BE IN FLOOD ZONE X, COMMUNITY 450251, MAP NUMBER 4501302270G.
 - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 - VERTICAL DATUM IS NAVD 88.
 - BUILDING SETBACKS ARE TO BE DETERMINED BY THE PROPER AUTHORITIES, AND MUST BE VERIFIED PRIOR TO DESIGN & CONSTRUCTION.
 - HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID NAD 83 (2011).
 - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACUSTICAL EVIDENCE AS OF 6-17-2024. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
 - ALL WATER SURFACE ELEVATIONS SHOWN WERE TAKEN ON 6-19-2024.
 - THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
 - NO ZONING REPORT WAS PROVIDED AT THE TIME OF THE SURVEY.
 - NO BUILDINGS OBSERVED AT THE TIME SURVEY WAS PERFORMED.

PREPARED FOR:
HARRISBURG LAND LLC,
A WISCONSIN LIMITED LIABILITY COMPANY
AN ALTA/NSPS LAND TILE SURVEY OF
PARCEL 700
#110 BUCKWALTER PLACE BOULEVARD
BLUFFTON
TAX PARCEL No. R610 030 000 2002 0000
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: TWP
FIELD CHECK: UNP
DRAWN BY: DTJ
FIELD DATE: 07-09-2024
PLAT DATE: 07-11-2024
SCALE: 1"=20'
PROJECT No.: BFT-24211
FILE: BFT-24211 ALTA1.DWG

SHEET 1 OF 2

ATLAS SURVEYING, INC.
168 BOARDWALK DRIVE, SUITE A.
RIDGELAND, SC 29936.
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM



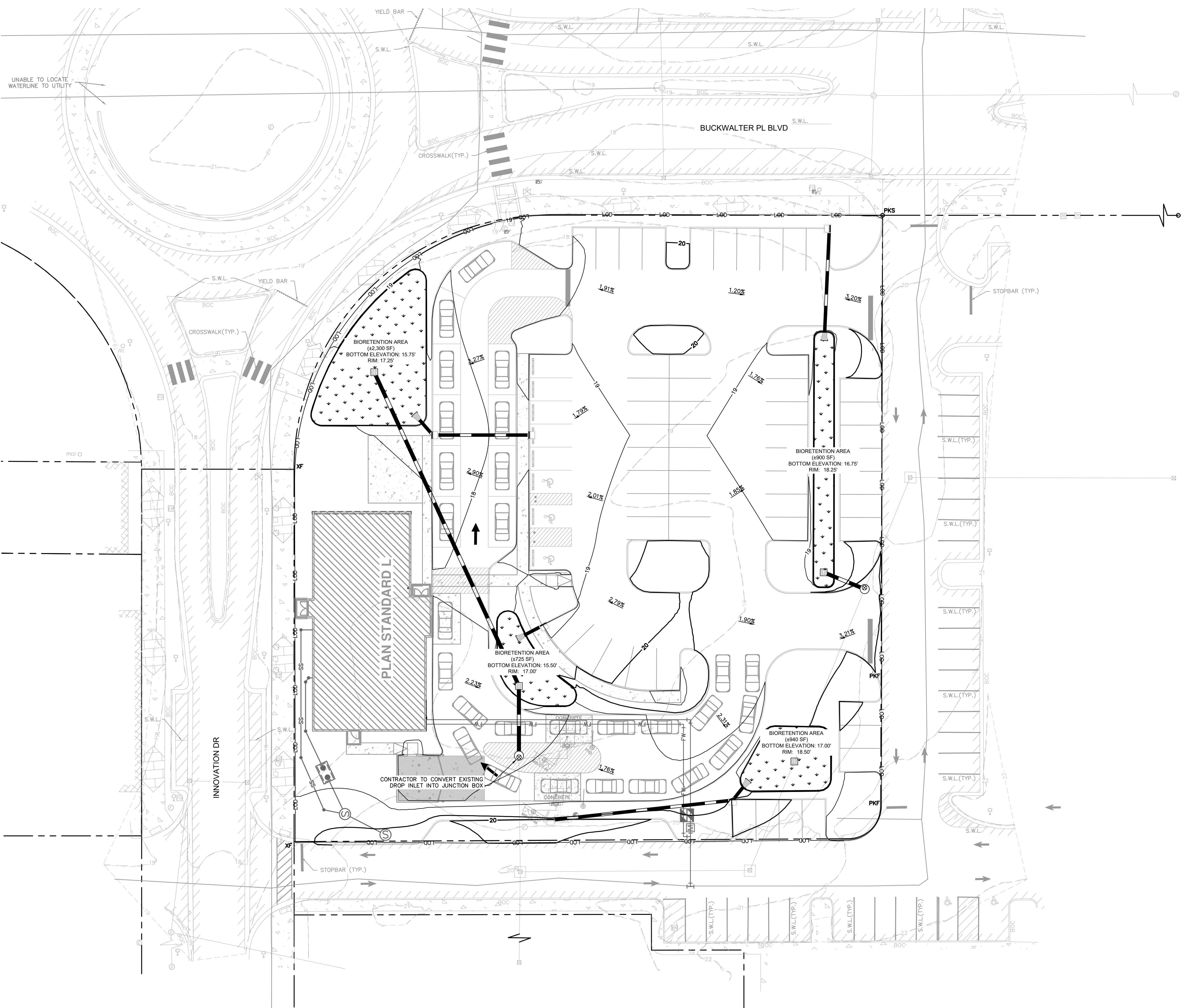
I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

DANIEL B. LANGAN
S.C.P.L.S. No. 42680
NOT VALID UNLESS CRIMPED WITH SEAL

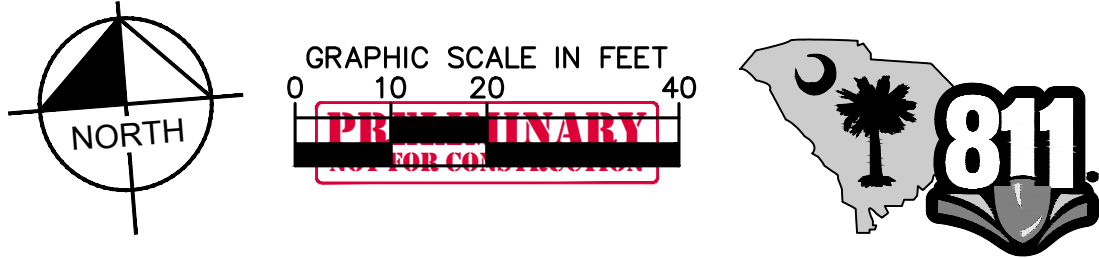
C1-00

SURVEY

Plotted By: Hertz, William, Sheet Set: CULVER'S BLUFFTON, Layout: C2-00 GRADING AND DRAINAGE PLAN, December 11, 2024, 03:29:54pm, K:\GPE_DES\013210004 - CULVER'S BLUFFTON\02 - DWG\BioSheets\C5-00 GRADING AND DRAINAGE PLAN.dwg, Drawing Location: K:\GPE_DES\013210004 - CULVER'S BLUFFTON\02 - DWG\BioSheets\C5-00 GRADING AND DRAINAGE PLAN.dwg, Dec 11, 2024, 3:29pm, by William Hertz
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GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

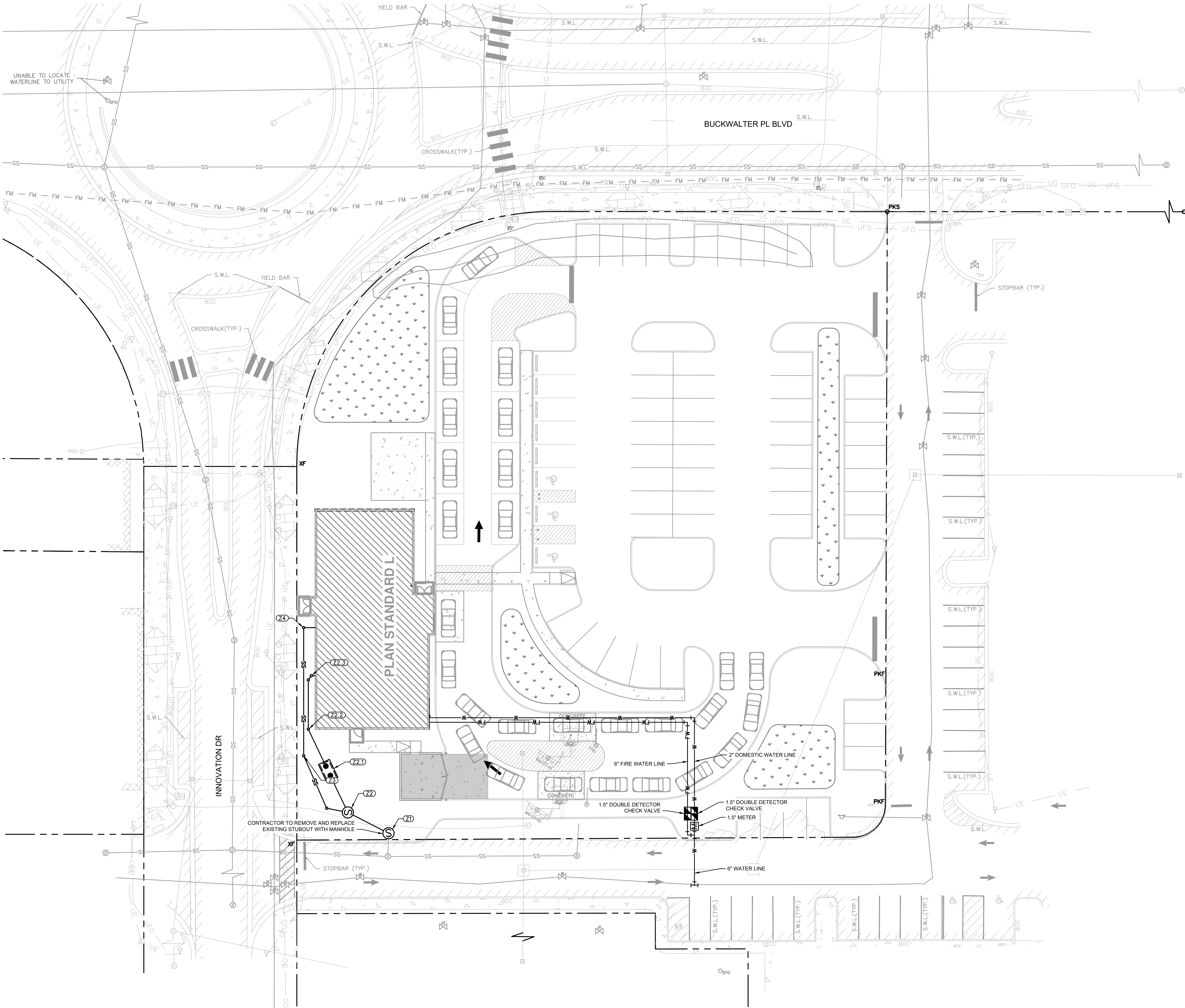


PROJECT: CULVER'S BLUFFTON		CLIENT: HARRISBURG LAND, LLC	
BLUFFTON SC		461 RIVER CREST CT. MUKWONAGO, WI 53149	
TITLE: GRADING AND DRAINAGE PLAN		SCALE: AS SHOWN	
DATE: 10/14/2024		DRAWN BY: MBE	
PROJECT NO. 013210004		DESIGNED BY: MBE	
SHEET NUMBER		CHECKED BY: WTH	
C5-00		No. REVISIONS	
		DATE	
		10-14-24 KH	
		0 ISSUED FOR PRELIMINARY REVIEW	
		Kimley»Horn	
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		SOUTH CAROLINA KIMLEY-HORN AND ASSOCIATES, INC. No. C00166 STATE OF ARCHITECT EXPIRATION DATE 12/31/2025	

PRELIMINARY: NOT FOR CONSTRUCTION

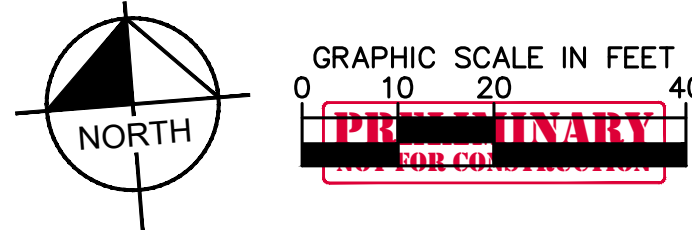
Plotted By: Hertz, William, Sheet Set: CULVER'S BLUFFTON, Layout: C6-00 UTILITY PLAN, December 11, 2024, 03:39:08am, K:\GPE_DS\013210004 - Culvers Bluffton\02 - DWG\PlanSheets\C6-00 UTILITY PLAN.dwg, K:\GPE_DS\013210004 - Culvers Bluffton\02 - DWG\PlanSheets\C6-00 UTILITY PLAN.dwg, Dec 11, 2024, 3:30pm, by: William Hertz, Drawing Number: K:\GPE_DS\013210004 - Culvers Bluffton\02 - DWG\PlanSheets\C6-00 UTILITY PLAN.dwg, Dec 11, 2024, 3:30pm, by: William Hertz

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UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
TV	CABLE
□ □ □	LIGHT POLE
M	WATER METER
X	GATE VALVE
○	POINT OF CONNECTION
▢ ▢	BACKFLOW PREVENTOR
┐ ┌	PIPE TEE/BENDS
└ ┘	REDUCER
●	FIRE HYDRANT (FH)
●	FIRE DEPARTMENT CONNECTION (FDC)
○	SANITARY SEWER CLEANOUT (SSCO)
○	SANITARY SEWER MANHOLE (SSMH)
○	SANITARY SEWER GREASE TRAP

PER PRELIMINARY CONVERSATIONS WITH UTILITY PROVIDERS, THIS SITE CAN BE SUPPLIED WITH ADEQUATE UTILITIES.



PROJECT: CULVER'S BLUFFTON		CLIENT: HARRISBURG LAND, LLC		SCALE: AS SHOWN			
BLUFFTON SC		461 RIVER CREST CT, MUKWONAGO, WI 53149		DRAWN BY: MBE			
TITLE: UTILITY PLAN				DESIGNED BY: MBE			
DATE: 10/14/2024				CHECKED BY: WTH			
PROJECT NO. 013210004							
SHEET NUMBER C6-00							
PRELIMINARY: NOT FOR CONSTRUCTION				No. REVISIONS			
				DATE			
				10-14-24 KH			
				ISSUED FOR PRELIMINARY REVIEW			
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				SOUTH CAROLINA KIMLEY-HORN AND ASSOCIATES, INC. No. C00166 PROJECT NO. 013210004			