



Historic Preservation Commission

Wednesday, June 07, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. CIVILITY PLEDGE

We pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of the Town of Bluffton.

VII. ADOPTION OF MINUTES

1. April 5, 2023 Minutes

VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

IX. OLD BUSINESS

X. NEW BUSINESS

1. **Administrative Appeal:** A request by Eugene & Melanie Marks, owner of 9 Bruin Road to appeal the UDO Administrator's decision to fail the Rough-HD inspection associated with Permit RNEW-08-22-2266, as related to non-approved windows associated with COFA-03-22-016484, on the property located at 9 Bruin Road, commonly referred to as the Joiner House, a Contributing Resource within the Old Town Bluffton Historic District and zoned Neighborhood Core-HD. (ZONE-05-23-017996)
2. **Certificate of Appropriateness:** A request by Andrew Pietz to allow the construction of a new single-family residence of approximately 3,291 SF and a Carriage House of approximately 484 SF to be located at 58 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-03-23-017752) (Staff - Katie Peterson)
3. **Certificate of Appropriateness:** A request by Joseph DePauw, AIA, on behalf of the owner Marti Golson of Caramar Rentals & Investments LLC, to allow the renovation and repair of the approximately 690 SF Contributing Resource, known as the Walker House, including the removal of the 250 SF attached carport and the addition of 53 square feet to the south elevation located at 99 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-04-23-017906) (Staff - Katie Peterson)
4. **Certificate of Appropriateness:** A request by James O. McGhee, Architects, P.C., on behalf of owner, the Board of Trustees of the Campbell Chapel A.M.E. Church, to demolish the non-historic, non-contributing portion of approximately 2,307 SF, to allow the construction of a 1-story free-standing addition of approximately 608 SF, and to renovate the historic 1,780 SF Contributing Resource known as Campbell Chapel A.M.E. (Tax Parcel R610-039-00A-0080-0000) located at 23 Boundary Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. (COFA-04-23-0107894) (Staff - Glen Umberger)

XI. DISCUSSION

XII. ADJOURNMENT

NEXT MEETING DATE: Wednesday, July 5, 2023

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment is limited to 3 minutes per speaker.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

April 05, 2023

I. CALL TO ORDER

Chairman Trimbur called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Commissioner Mary Vaux Bell
Chairman Bruce Trimbur
Vice Chairman Evan Goodwin
Commissioner Carletha Frazier
Commissioner Will Guenther

ABSENT

Commissioner Kerri Schmelter
Commissioner Josh Simpson

III. NOTICE REGARDING ADJOURNMENT

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V. ADOPTION OF THE AGENDA

Commissioner Frazier made a motion to adopt the agenda as written.

Seconded by Vice Chairman Goodwin.

Voting Yea: Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

VI. ADOPTION OF MINUTES

1. March 1, 2023 Minutes

Commissioner Frazier made a motion to adopt the minutes as written.

Seconded by Vice Chairman Goodwin.

Voting Yea: Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

- 1. Certificate of Appropriateness.** A request by Nicholas, Rob, and Michelle Nurnberg for approval of a Certificate of Appropriateness – HD application to allow the addition of a shed roof over the side entry and add an enclosed area of approximately 58 SF to the Carriage House structure along with additional minor architectural modifications to the residential structure currently under construction located at 32 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-02-23-017656)(Staff - Katie Peterson)

Staff presented. The applicant was in attendance. There was no discussion from the Commission.

Vice Chairman Goodwin made a motion to approve the application as submitted.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

X. DISCUSSION

XI. ADJOURNMENT

Commissioner Frazier made a motion to adjourn.

Seconded by Commissioner Guenther.

Voting Yea: Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

The meeting adjourned at 6:13pm.



MEMORANDUM

TO: Historic Preservation Commission

FROM: Growth Management Department

RE: Appeal from Action of the Unified Development Ordinance (UDO) Administrator
(ZONE-05-23-017996)

DATE: June 7, 2023

CC: Stephen Steese, ICMA-CM, Town Manager
Heather C. Colin, AICP, Assistant Town Manager

REQUEST: The Appellants, Eugene and Melanie Marks, of Joha LLC, owners of 9 Bruin Road, have appealed the determination of the Unified Development Ordinance (UDO) Administrator decision dated April 26, 2023, to uphold a failed Rough-HD inspection associated with Building Permit RNEW-08-22-2266 (Attachment 2, pages 3-4).

The Rough-HD inspection was failed by Town Staff because non-approved windows were installed on the building known as 9 Bruin Road (also known as the Joiner House), which do not comply with the approved Certificate of Appropriateness-Historic District, COFA-03-22-016484 (Attachment 2). The Appellants believe that the UDO Administrator's decision to uphold the failed Rough-HD inspection is erroneous, thus the appeals application (Attachments 1).

BACKGROUND: The Joiner House is a Contributing Resource to the Old Town Bluffton Historic District. The house was relocated from the western portion of the subject property by disassembly and reassembled on the eastern side of the same property with the approval of the Historic Preservation Commission (HPC) subject to conditions. The HPC approved the COFA-HD on July 6, 2022, with multiple conditions, including a condition that "[t]he Applicant retain all original components to the maximum degree as reasonably and economically feasible." If retention was not possible, another condition of the COFA-HD approval stated that "...any substitutes to original windows, doors, brick foundation, brick piers, and roofing panels must be submitted to staff for determination as to the appropriateness of the substitute materials."

Existing windows were to have been retained and repaired, if needed, in the older, historic portion of the building. Through the approval of the Building Permit, it was indicated that should any windows need to be replaced as they were beyond repair, Town Staff approved windows manufactured by Marvin Windows from the Elevate collection, which is a fiberglass exterior window with a traditional wood window appearance. During the Rough-HD inspection of the building on April 13, 2023, Town Staff observed that *all* windows on the building were replaced

with vinyl windows manufactured by Pella. Not only were these windows not approved by Town Staff, but the Appellants never contacted Town Staff regarding their desire to use alternate Pella vinyl windows for the entire building. As provided in UDO Sec. 3.18.6.A., “[a]n Applicant who has been granted a Certificate of Appropriateness-HD shall notify the UDO Administrator of any proposed amendments to approved plans.”

In a letter dated April 25, 2023, the UDO Administrator informed Mr. Marks of the reasons why the windows failed the Rough-HD inspection, as well as other items that failed the inspection but that are not subject to this appeal (Attachment 2).

AUTHORITY OF THE HISTORIC PRESERVATION TO HEAR AN APPEAL: The HPC was created by the Town of Bluffton, a South Carolina municipality as defined by S.C. Code Ann. § 5-1-20(1), in accordance with S.C. Code Ann. § 6-29-880. The HPC is authorized, pursuant to S.C. Code Ann. § 6-29-890 and the Town of Bluffton Unified Development Ordinance, to hear, review and decide appeals where it is alleged there is error in an order, requirement, decision, or determination made by an administrative official in the enforcement of a zoning ordinance.

In exercising the above power, the HPC may take one of the following actions regarding the denial of the Rough Inspection-HD as it relates to the installation of the unapproved Pella windows:

- Reverse the determination of the UDO Administrator to allow the installed windows to remain;
- Affirm, wholly or in part, the determination of the UDO Administrator; or,
- Modify the determination of the UDO Administrator.

The HPC’s order, requirements, decisions, or determination, and to that end shall have all the powers of the officer from whom the appeal is taken and may issue or direct the issuance of a permit.

ATTACHMENTS

In accordance with the South Carolina Code of Laws, S.C. Code Ann. § 6-29-890(B), upon receipt of an appeal, Staff is required to immediately transmit to the Historic Preservation Commission all of the papers constituting the record upon which the action appealed from was taken. The record consists of the following documents:

1. Appeals Application and Narrative and Submittal Documents
2. Zoning Letter and Attachments – April 26, 2023
3. Receipt of Public Notice
4. Joiner Follow Up from 4-21-2023 Site Walk

Town Staff and the Appellants reserve the right to submit additional documents at or before the hearing to the extent allowed by the Rules of Procedure for the Historic Preservation Commission.

ATTACHMENT 1



TOWN OF BLUFFTON BOARD OF ZONING APPEALS APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Section X. Item #1.

Applicant		Property Owner	
Name: EUGENE + Melanie MARKS	Name: SAME		
Phone: 203-726-0090	Phone:		
Mailing Address: 24910 55 Flicker Street Bluffton, SC	Mailing Address:		
E-mail: EUGENE MARKS JR@gmail.com	E-mail:		
Town Business License # (if applicable):			
Project Information			
Project Name: 9 Bruin (AKA Joiner House)	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Special Exception	
Project Location: 9 Bruin	<input checked="" type="checkbox"/> Administrative Appeal	(EM)	
Zoning District: NC-HD	Acreage: 0.95		
Tax Map Number(s): R610-039-00A-0021-0000			
Project Description: Reconstruct Joiner House under New Building Permit COFA Attached			
Request: See Attached			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) paper copies and digital files of applicable plans and/or documents depicting the subject property. <input checked="" type="checkbox"/> 2. Recorded deed and plat showing proof of property ownership. <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: [Signature]		Date: 5/1/23	
Applicant Signature: [Signature]		Date: 5/1/23	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

Letter to HPC
From Eugene Marks

I'm offering context for your review in advance of our 6/7 meeting.

Melanie and I have a long planned commitment to watch our grandkids in Ohio that week. Melanie cannot attend the meeting but has commented in the attached with her professional findings and views.

Particularly relating to items "C and D" in the Towns "Fail" letter.

As I will reiterate at the meeting, while I notified staff old windows could not be reused, I did not follow up when Pella became the product we were able to source. I have apologized for not following through.

As I interacted with staff on the Pella installed windows, I was hopeful given the facts, circumstances and supporting documentation - that staff would recommend approval.

Staff did not make that recommendation to Heather and "Failed".

In our opinions, there were options that could have facilitated a fair and reasonable resolution in the context of such a large and well executed overall endeavor.

Aside from direct approval, administrator might have sent to HPC with no opinion, or maybe supporting opinion but elected to "Fail".

With the Fail we were forced to appeal to you - arguing against their position.

- We remain convinced the Pella wood clad windows are superior to the Marvin fiberglass for this historic application.
- We question the relevance of "C and D" in the Fail notification.

This is where I will pick up at the meeting with Melanie watching from Ohio.

Thank you
Eugene

Note: Due to continuing construction, the 6/7 HPC presentation pictures may be updated.

Joiner Family

Bessie in white hat & Bertrum on Joiner house porch steps c.1960



Picture uncovered during dismantling process.



Front of Original Structure - Photo dated November 1, 2022



Joiner Original Side Entrance - Photo dated November 1, 2022.

Note - Most original windows had screens.



Joiner from closest public way – Photo dated April 28, 2023



Front of Cottage – Photo dated May 1, 2023



Original Right Porch Windows – Photo dated November 1, 2022



Pella Window Installed Right Porch Windows – Photo dated May 1, 2023



Pella Window Installed – Photo dated May 1, 2023



Pella Window Installed -Photo dated May 1, 2023



Pella Window Installed – Photo dated May 1, 2023



Pella Window Installed – Photo dated May 1, 2023



Pella Window Installed – Photo dated May 1, 2023



Pella Window Installed – May 1, 2023



Pella Window Installed – Photo dated May 1, 2023



View of East Elevation – Walter (Joiner) Williams’s property line – Photo dated April 28, 2023



Pella Interior All Wood Frame with Exact Joints – Pictures as Being Painted –
Photo dated May 1, 2023

1+6



Pella Interior All Wood Frame with Exact Joints – Picture as Being Painted –
Photo dated May 1, 2023



Pella Interior All Wood Frame with Exact Joints – Pictures as Being Painted –
Photo dated May 1, 2023

HPC Joiner

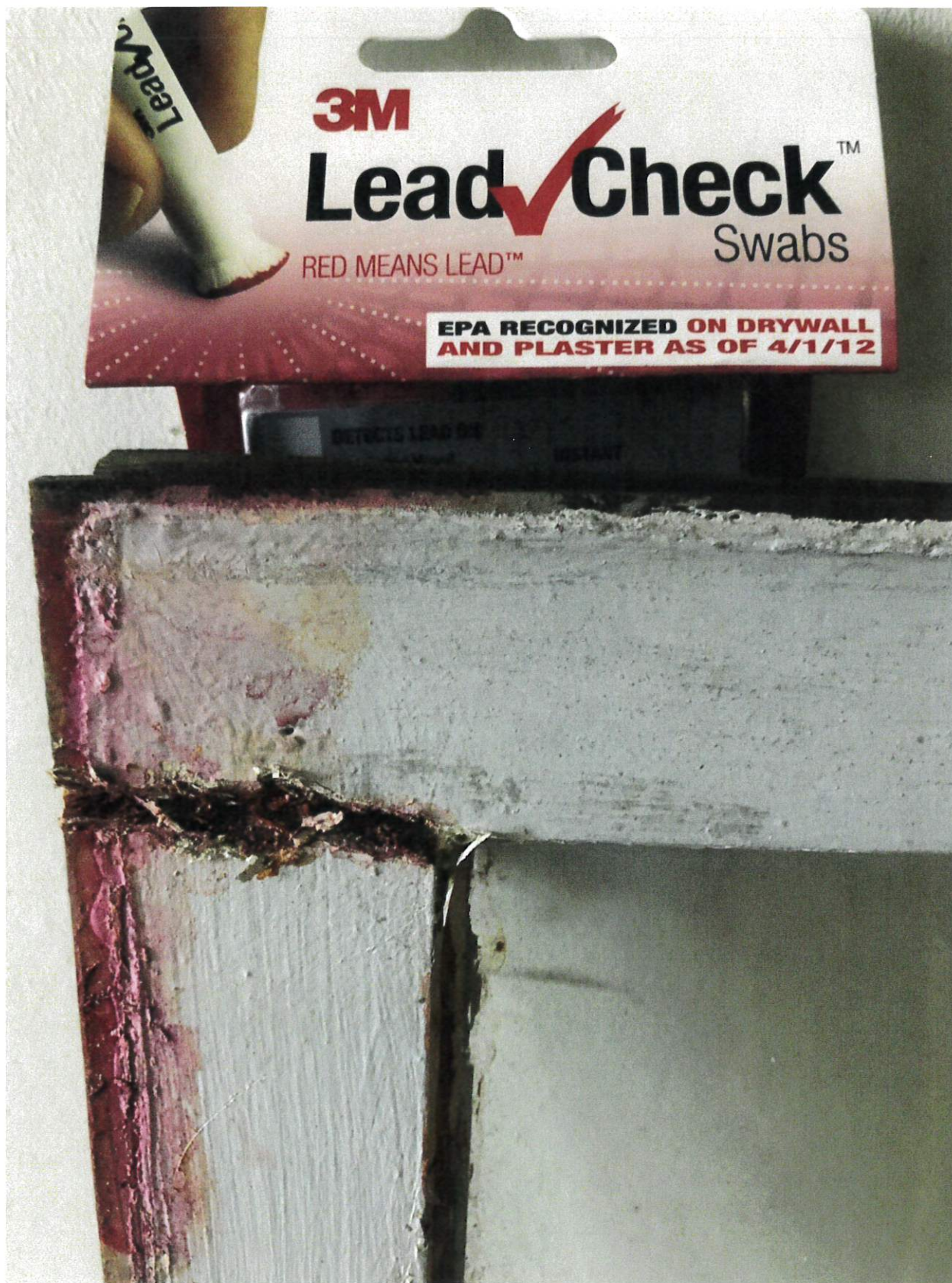
Objective:

Obtain approval from HPC for a COA for the currently installed Pella Lifestyle Wood Aluminum Clad windows.

Background —

After advising Staff the original windows could not be repurposed due to lead paint penetration, dry rot, termite damage, extreme deterioration and black mold... I unfortunately did not follow up with Staff to further advise that I could not source the Marvin Fiberglass windows which were in the stamped new construction building plan – for this oversight, I have apologized.

Pella Wood Lifestyle windows were available in a timely manner and I ordered and installed them.



HPC Joiner

I apologize for being hasty...

- But hasty is not malicious.
- Hasty should not automatically result in required removal and discarding of the currently installed Pella windows.
- Hasty did not result in saving any money or materially alter the look of what the original windows did look like or change the overall wonderful look of this home!
- Any replacement window will have deviations of some sort from the original 1930s windows.

Joiner Windows

Letter from Town 4/26/2023

“Upon inspection the following items were found to be noncompliant with the approved Certificate of Appropriateness – HD (COFA) (COFA -03-22-016484):

c. The Pella Lifestyle windows installed do not meet the Arm’s Length Rule, meaning they are not indistinguishable from the original windows at an arm’s length. (UDO 5.15.6.A. and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21)

d. The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior’s Standards for the Treatment of Historic Properties, Standard 6)”

Kevin P. Icard, AICP

Director of Growth Management

Cc.: Heather Colin, AICP, Assistant Town Manager

Melanie's Comments addressing Windows being non-compliant.

I am only going to address items c) and d). But first, I do want to remind town Staff of comments from our Pre-Application (Staff Review (HD), HPRC Review, Glen Umberger, Revisions Required) the Town Preservationist stated the following regarding windows (See document below):

“Windows: always preferable to repair rather than replace. However, for replacement, recommend not using Anderson windows, as the company is not focused on historic preservation and their products are not a good match to historic windows in the finer details. Would recommend using Marvin or Pella which is a better product for historic preservation. [Underline my emphasis]”



PLAN REVIEW COMMENTS FOR COFA-03-22-016484

Section IX, Item #2.

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type: Historic District **Apply Date:** 03/11/2022
Plan Status: Active **Plan Address:** 9 Bruin Rd
 BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0021 0000
Plan Description: To preserve and revitalize the current setting by cleaning up the property to include removing home, shed, clearing dead trees/brush and removing metal fence

Staff Review (HD)

Submission #: 1 **Received:** 03/11/2022 **Completed:** 04/01/2022

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	04/01/2022	Katie Peterson	Revisions Required

Comments:

1. The front principal façade of all buildings must be built parallel to the street that it faces. (UDO 5.15.5.F.5.)
2. Fences located in the Front Yard (in front of the primary structure) may have a minimum height of 24 inches and a maximum height of 42 inches. Pillars and posts shall extend farther. The site plan shows the chain link fence to be removed and replaced, and the Narrative notes it will be a wood two board fence. Replacement fence detail must be provided to ensure it meets the material and configuration requirements of this section. (UDO 5.15.6.K.)
3. At time of final submittal, provide additional information, including drawings, on the proposed porch reconstruction as not enough information was provided to determine compliance at this time.
4. At time of final submittal, provide additional information regarding the proposed landscape improvements.
5. Provide additional information on the location of the materials which are proposed to be replaced with new material. While there may be minor areas where unexpected changes may need to be made once the permit has been approved, the majority of the areas should be identified prior to approval of a Certificate of Appropriateness to ensure it is in compliance with the criteria found in Section 3.18 of the UDO. (UDO 3.18)

HPRC Review	03/30/2022	Glen Umberger	Revisions Required
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Comments:

Note that "Contributing Resource" is only the historic southern half of current structure; update floor plans and site plan to reflect "contributing" versus "non-contributing" portion of current structure. Proposed work will need to comply with Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Buildings. Accordingly, Exterior: Power-washing: "Surface cleaning of structures...shall be undertaken using the gentlest means possible." Care should be used that power-washing does not do additional harm to historic fabric. Front Porch: Rebuild: New porch structure will need to "match in design, color, texture, and other visual qualities, and where possible, materials." Historic materials should be repaired and not replaced. Brick steps to be repaired using the same historic brick. Foundation: Use of historic foundation materials already on site is preferable for use as new foundation. Windows: always preferable to repair rather than replace. However for replacement, recommend not using Anderson windows, as the company is not focused on historic preservation and their products are not a good match to historic windows in the finer details. Would recommend using Marvin or Pella which is a better product for historic preservation. Proposed first floor plan, bedroom 3, north wall shows new door entry into bathroom--the north wall is the exterior wall of the contributing structure and as such, it should be mindful that "new additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property...would be unimpaired." Please provide comments on how that door could be treated in the future if the "non-contributing" portion of the structure were to be removed.

HPRC Review	04/01/2022	Katie Peterson	Revisions Required
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Comments:

1. Provide additional information on the proposed "Sympathetic Dismantle" to ensure the Secretary of the Interior's standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings will be met and the existing building's historic character, and architecture will be maintained, as not enough information was provided to make this determination. (3.18.3.A&E.)

04/01/2022

Page 60

Marvin AND Pella windows are stated as being a preferable for replacement over Anderson. I accept that Marvin Elevate was the initial window approved in the new building plans, but due to unforeseen circumstances sourcing that specific window, Pella was chosen based in part on that recommendation. To ignore this and say Pella is an inappropriate window is at least *disingenuous*.

Regarding item C and D in Kevin Icard's April 26th letter to us...Quoted:

c) The Pella Lifestyle windows installed do not meet the Arm's Length Rule, meaning they are not indistinguishable from the original windows at an arm's length. (UDO 5.15.6.A) and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21).

Remarks/Comments

In reviewing all 276 pages of the Town of Bluffton's Unified Development Ordinance (UDO) that went into effect August 10, 2011 and amended December 13, 2022, there is absolutely NO reference to "Arm's Length Rule" anywhere in the document.

UDO 5.15.6.A Architectural Standards states the following:

"A. A primary goal of this section is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The UDO Administrator shall have authority to approve substitute materials for those listed as options under the Architectural Standards.

An additional reference for architectural standards, refer to Traditional Construction Patterns, by Stephen Mouzon (McGraw Hill, 2004)." END OF SECTION

As seen, there is NO mention of Arm's Length Rule in the UDO. This subjective Arm's Length Rule is only mentioned in a secondary reference book that isn't even accessible in the UDO Code of Ordinances.

"Arm's Length Rule" is not a binding ordinance nor is there an attachment to the UDO of any part of the book from which we assume this language is coming from. How can the town use this as a basis for denial when the language is not found in our UDO code of ordinances?

Further, what was the test and documentation Staff has used that held the original Marvin windows to this impossible standard?

Letter from Kevin Icard, April 26, 2023:

Quoted

d) – The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior’s Standards for the Treatment of Historic Properties, Standard 6).

Reply/Remarks

Ordinance 3.18.3 Application Review Criteria. The Historic Preservation Commission shall consider the following criteria in assessing an application for Certificate of Appropriateness HD:

A) Consistency with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Standard 6 – Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence”.

This definition applies to REHABILITATION but we are NEW CONSTRUCTION so therefore, this criterion is not applicable to our project.

Further, what was the test and documents Staff has used that held the original Marvin Windows to that subjective standard?

Please note below from Richard Spruce..

From: "Spruce, Richard" <Richard.Spruce@townofbluffton.com>
Date: January 30, 2023 at 4:25:21 PM EST
To: Eugene Marks <eugene.marks.jr@gmail.com>
Cc: "Umberger, Glen" <gumberger@townofbluffton.com>, "Icard, Kevin" <kicard@townofbluffton.com>
Subject: RE: Joiner

The look is historic. Fire and life safety must meet new construction because this is new construction.

I understand that all windows will be new. All foundation and framing are new. All Mechanical, Electrical, plumbing will be new.

This is new construction made to look historic, as much as is possible.

Definitely no Stop Work at this time, just wanted you to be aware of issues that could hold you up in the future.

Richard Spruce
Chief Building Official
MCP, CBO, CFM

Going back to our first HPC meeting on July 6, 2022, Commissioner Simpson asked Staff if the UDO speaks to a replication process.

STAFF STATED IT DOES NOT. This sets the parties up for absolute individual interpretation which then causes unnecessary, confusion and consternation verses more tangible decision criteria. For these reasons, I do not feel that these criteria should be grounds for denial of the Pella Lifestyle Series windows.

Every new product has its own unique aspects when compared to the original – unusable material.

In closing, the Department of the Interior uses four basic parameters for preservation:

- a) Preservation
- b) Renovation
- c) Rehabilitation
- d) Reconstruction

At our July 6, 2022 HPC meeting we were permitted as NEW CONSTRUCTION. It's clear that the town is mixing and matching COFA and New Building Permits with other factors. This has been the case since the permit was issued. It should be noted that the original "contributing structure" no longer exists in its legal form, but rather we now have a newly constructed structure made to look historic by using some of the original fabric from the Joiner house.

As a professional with broad experience sitting on HPC's and Historic Preservation Committees and having worked in the preservation environment for over twenty years, for these reasons, I do not feel that the criteria in item c) and d) should be grounds for denial of the Pella Lifestyle Series windows.

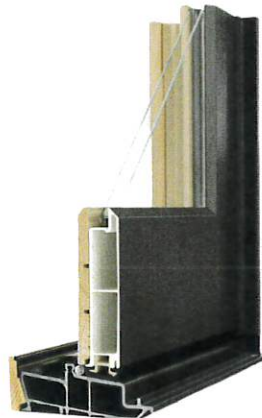
Pella left and Marvin on right.

**Wood
Core**



**Fiberglass
Core**

VS



As Pella Lifestyle are wood, they are regularly approved by Historic Districts over composite fiberglass products. See research attachment.

I did not use the less expensive Pella Composite windows but rather went to the more historically appropriate wood clad product.

Supporting documentation

CITY OF COLUMBIA, SC
HISTORIC WINDOW REVIEW CHEAT SHEET – 15 Historic District
Zoning Overlays

- *Vinyl is not an appropriate material for replacement windows in most historic districts. Replacement windows are typically required to be either wood or aluminum clad wood with exterior muntins.*

WINDOWS IN SAVANNAH'S 13 LOCAL HISTORIC DISTRICTS

Windows on new construction, additions and non-historic buildings should share design characteristics with historic windows.

Windows Not Permitted Include: 1. "Marvin Integrity Wood Ultrex" (Prior Marvin marketing branding for new Elevate series)

See attached sample (at the end of the report) of HDC/HPC approvals which confirm the Pella wood lifestyle window is widely accepted. These examples were approved by numerous Historic District Commission's across the United States for historic, contributing and non-contributing structures in their local historic districts and are only a few of many cases identified in conducting our research. In speaking with all of these Historic District Commission Chairs and Planning Staff members who approved these windows, it also should be noted that many of them indicated that they also adhere to the Secretary of the Interior Standards for the Treatment of Historic Properties, and determined that the Pella Lifestyle Series windows were an appropriate replacement window for original windows that could not be repurposed/reused.

Joiner – Final Thoughts

- We are asking for fact-based – reasoned approval based on the evidentiary information we have provided in our appeal.
- HASTY does not mean MALICIOUS or that the windows chosen are inferior.
- Pella Lifestyle Series Wood Aluminum Clad Windows are respected in numerous Historic District Commission applications across the country as well as in South Carolina.
- Requiring complete removal of exterior siding, interior trim, Pella windows - to install Marvin fiberglass, is not justified or productive or consistent with the evidence provided.

Attachment: Pella Lifestyle Window Approvals:**Pella Lifestyle Series Windows – Historic District Approvals**

1. City of Newport, Newport Historic District Commission
September 20, 2020
10 Cottage Street,
Newport, Rhode Island
c. 1841

“Replace several windows with Pella Lifestyle Series double-hung aluminum clad”

APPROVED



2. Shepherdstown Historic District Commission
November 14, 2022
310 W. German Street
Shepherdstown, West Virginia
Historic Resource Inventory 2009
c. 1800
Shepherdstown Historic District – National Register August 17, 1973, Boundary increase
July 22, 1987

“Pella Lifestyle Series windows will be used throughout the addition in double hung, casement, and awning varieties. Exterior of windows will be white”

APPROVED



3. Old City Historic District Commission
June/July 2022
160-164 (corner of N. 2nd Street and Race Streets
Philadelphia, PA
“The Ben”
New Construction – Non-Contributing

“Windows to be Pella Lifestyle series aluminum-clad wood windows in iron ore”

APPROVED

- In speaking with Justin Veasey – one of the co-founders of the BVG Property Group (developer), he stated they were approved for the Pella Lifestyle double hung aluminum clad wood windows but have since decided seek approval for another window as he said quote “the Pella windows were too pricey” end quote.

4. St. Elmo Historic District
August 8, 2019
A remodel in St. Elmo’s Historic District was approved for installing Pella Lifestyle Series double hung aluminum-clad wood windows by the Historic Planning and Zoning Commission.

(St. Elmo is Tennessee’s largest Historic District. Listed on the National Register as a local historic District since 1982 and they also have several individual buildings and properties on the register. “As a separate but related designation, St. Elmo is also one of Chattanooga’s four residential neighborhoods that are subject to “Design Review”, aka Historic Zoning. This has been in effect in St. Elmo since 1992. Basically, all exterior work EXCEPT for painting and landscaping should be discussed with the City’s Historic Preservation planner.

APPROVED

5. Montgomery County Historic Preservation Commission (HPC)

July 23, 2019

29 Hesketh Street

Chevy Chase, Maryland

c. 1918

Windows and doors alterations

“Replace sliding doors to sunroom with windows. All windows and doors to be wood with aluminum – clad Pella Lifestyle Series”

APPROVED



6. Wilmington Historic District Boundary Expansion (2003)

City of Wilmington, North Carolina

Historic Preservation Commission

January 12, 2021

Zoned – Historic District – Residential (HD-R)

c. 1996 (non-contributing but in the historic district)

Certificate of Appropriateness

208 North 6th Street

Wilmington, NC

Window replacement

“The applicant proposed to remove 14 wood windows and install new Pella Lifestyle series alum-clad wood windows”

APPROVED



7. Montgomery County Historic Preservation Commission/ February 24, 2021

Takoma Park, Maryland

Takoma Park Historic District

Contributing Structure

18 Hickory Avenue, Takoma Park, MD

c. 1888- Queen Ann Style Farm House

Replace existing vinyl windows with historically accurate and energy efficient windows”

Staff Report

“At some point previously, a total of 20 (twenty) windows were removed and replaced with aluminum sash windows. The applicant proposes replacing these windows with one-over-one Pella Lifestyle Series Aluminum-clad wood windows to be installed into the existing openings.”

APPROVED



8. Historic Preservation Commission/ March 22, 2022

City of Plainfield, New Jersey

Van Wyck Historic District

414 Randolph Road, Plainfield, New Jersey

c. 1941 – opted into the historic district as a contributing structure

Applicant to replace existing windows and vinyl windows with Pella Lifestyle series aluminum clad wood windows”

APPROVED



9. Historic District Review Board/ April 5, 2023

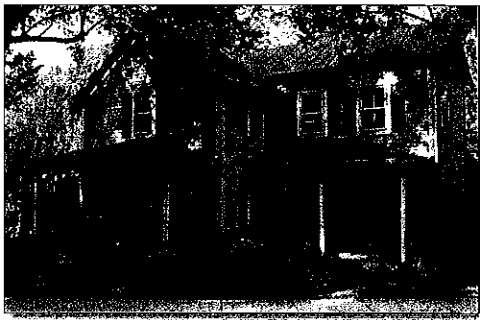
Town of Herndon, Virginia

610 Spring Street, Herndon, VA – Known as the historic Herndon Halloween House
Contributing Structure

c. 1898 – originally built as a one-story wood frame, one-room structure. 2nd story added in 1910 with additional additions later on. Folk Victorian Architectural Style. Staff comments, “Windows: the windows to be replaced are modern windows located on the south elevation which faces Spring Street at an angle. Proposed replacement windows are aluminum clad wood which have been considered an appropriate replacement material for windows within the historic district.”

“Proposal to replace existing opening for one set of double windows... the set of windows will be reduced to a single double-hung window with a new alignment on the wall. The window will be aluminum clad wood double hung (Pella Lifestyle Series).

APPROVED



10. Detroit Historic District Commission/February 24, 2020

Boston – Edison Historic District

City of Detroit, Michigan

748 Longfellow Street, Detroit, Michigan

c. 1911 – Prairie-Style House

Staff Report

“Replace awning windows at rear wing with new one over one wood double hung windows. Remove five (5) existing awning windows and install eight (8) double hung wood windows – each window unit will be a one-over-one, aluminum-clad double-hung window. Proposed Replacement Windows – Pella Lifestyle Series, double-hung wood interior with white aluminum clad exterior. HDC staff recommended the Commission issue a COA”.

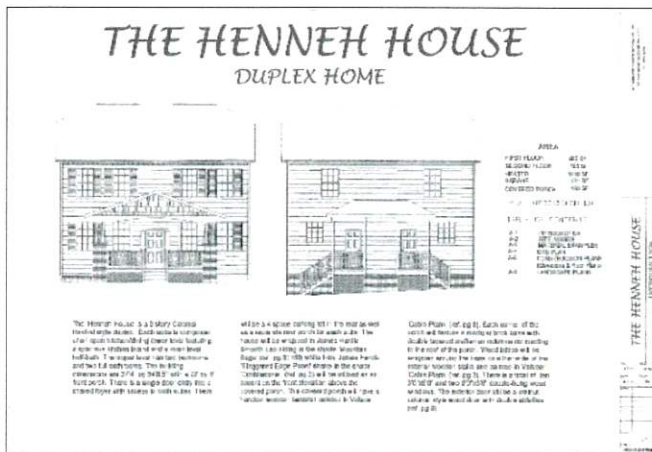
APPROVED



11. Forsyth County Historic Resource Commission/ September 20, 2020
 West End Historic Overlay District #41
 North Spring Street, Winston-Salem, North Carolina
 “The Henneh House – Duplex House” (New Construction- Non-Contributing)
 Colonial Revival

“Proposal to install twenty (20) new Pella Lifestyle Series double hung wood windows with the exterior white”.

APPROVED





Joiner Homestead
9 Bruin Road, Bluffton, SC

DRAWING INDEX		PROJECT TEAM	PROJECT INFORMATION	
C-01	COVER SHEET & DRAWING INDEX	ARCHITECT	AREA CALCULATIONS (SQ. FT.)	
S-01	SURVEY	Pearce Scott Architects A. Thomas Scott, AIA 8 Bluffton Ave., Suite 200 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2411 E: info@pearcescott.com	FIRST FLOOR HEATED	1,112
S-02	STRUCTURAL NOTES		ENTRY PORCH	140
S-03	FOUNDATION AND 1ST FLOOR FRAMING PLAN		REAR PORCH	140
S-04	CEILING AND ROOF TRUSSING PLAN		GROSS UNDER ROOF	1,378
S-05	CEILING AND ROOF TRUSSING PLAN			
S-06	STRUCTURAL DETAILS			
S-07	STRUCTURAL DETAILS			
A-01	SITE PLAN	LANDSCAPE ARCHITECT		
A-02	EXISTING PLANS	Walter Jones Smith, Inc. Dan Smith 22 Thompson St., Ste. 201 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2411 E: info@pearcescott.com		
A-03	PROPOSED FLOOR & ROOF PLANS			
A-04	EXISTING EXTERIOR ELEVATIONS			
A-05	PROPOSED EXTERIOR ELEVATIONS			
A-06	WALL SECTION & DETAILS			
A-07	WINDOW & DOOR DETAILS			
E-01	ELECTRICAL PLAN			
		GENERAL CONTRACTOR		
		General Contractor Bluffton, SC 29910 28 Persimmon Business Park, Ste. 404 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2411 E: info@pearcescott.com		
		STRUCTURAL ENGINEER		
		Sege Structural Engineering Bluffton, SC 29910 300 Highway 17A, Suite 200 Bluffton, SC 29910 C: 843.337.2411 E: info@segestructural.com		
			REGULATING DISTRICT	NEIGHBORHOOD CODE - HD
			BUILDING TYPE	ADDITIONAL BUILDING TYPE
			FRONT BUILDING ELEV.	2' W/ AT D.
			REAR BUILDING ELEV.	2' W/ AT D.
			WALL, FIN. GLEYS	2' W/ AT D.
			ACTUAL FLOOR FIN. GLEYS	2' W/ AT D.
			WALL BUILDING FOOTPRINT	2' W/ AT D.
			ACTUAL FOOTPRINT	1,312

- GENERAL NOTES:**
- The contractor is responsible for completion and shall construct to all applicable local, state, and federal codes and regulations, in accordance with all applicable standards and practices of construction, and per manufacturer's recommendations.
 - All materials shall be new, unless otherwise specified. All materials, fixtures, and workmanship shall meet or exceed industry standards, and shall be consistent with the project's quality and aesthetic objectives. All dimensions are shown unless otherwise noted. All dimensions are shown unless otherwise noted. All dimensions are shown unless otherwise noted.
 - For dimensions not shown or in question, the contractor shall verify. Absence of any discrepancies or conflicts shall be binding.
 - For discrepancies or conflicts between the architect and engineering drawings, the contractor shall request clarification from the architect before proceeding.
 - Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the architect.
 - Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood Development review board and owner.
 - Contractor to provide a job sign in accordance with the Neighborhood Development regulations.
 - The site to be kept clear at all times for the duration of the project.
 - The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used for any other project without the prior written consent of the Architect. The documents are a one-time only use.
 - The design documents are to be used for design intent and in coordination with supplemental engineering documents.
 - All walls are dimensioned to the face of stud or masonry unless noted otherwise.
 - See structural engineering documents for structural details, loads, and materials. Calculation and notes required by code, are shown for use and not construction. Review the design requirements.
 - The design documents do not include required structural details, loads, and materials. Calculation and notes required by code, are shown for use and not construction. Review the design requirements.
 - When the Architect is contacted for consultation or clarification, the contractor shall provide the Architect with the project's location, the project's name, and the project's description. The Architect's response shall be provided to the Architect prior to the meeting to allow the review of plans within the design scope.

NO.	REVISION	DATE
1	REVISION	05/11/2021
2	REVISION	05/11/2021
3	REVISION	05/11/2021
4	REVISION	05/11/2021
5	REVISION	05/11/2021
6	REVISION	05/11/2021
7	REVISION	05/11/2021
8	REVISION	05/11/2021
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13	REVISION	05/11/2021
14	REVISION	05/11/2021
15	REVISION	05/11/2021
16	REVISION	05/11/2021
17	REVISION	05/11/2021
18	REVISION	05/11/2021
19	REVISION	05/11/2021
20	REVISION	05/11/2021

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NEW DEVELOPMENT FOR:
PEARCE SCOTT ARCHITECTS
8 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.337.2411

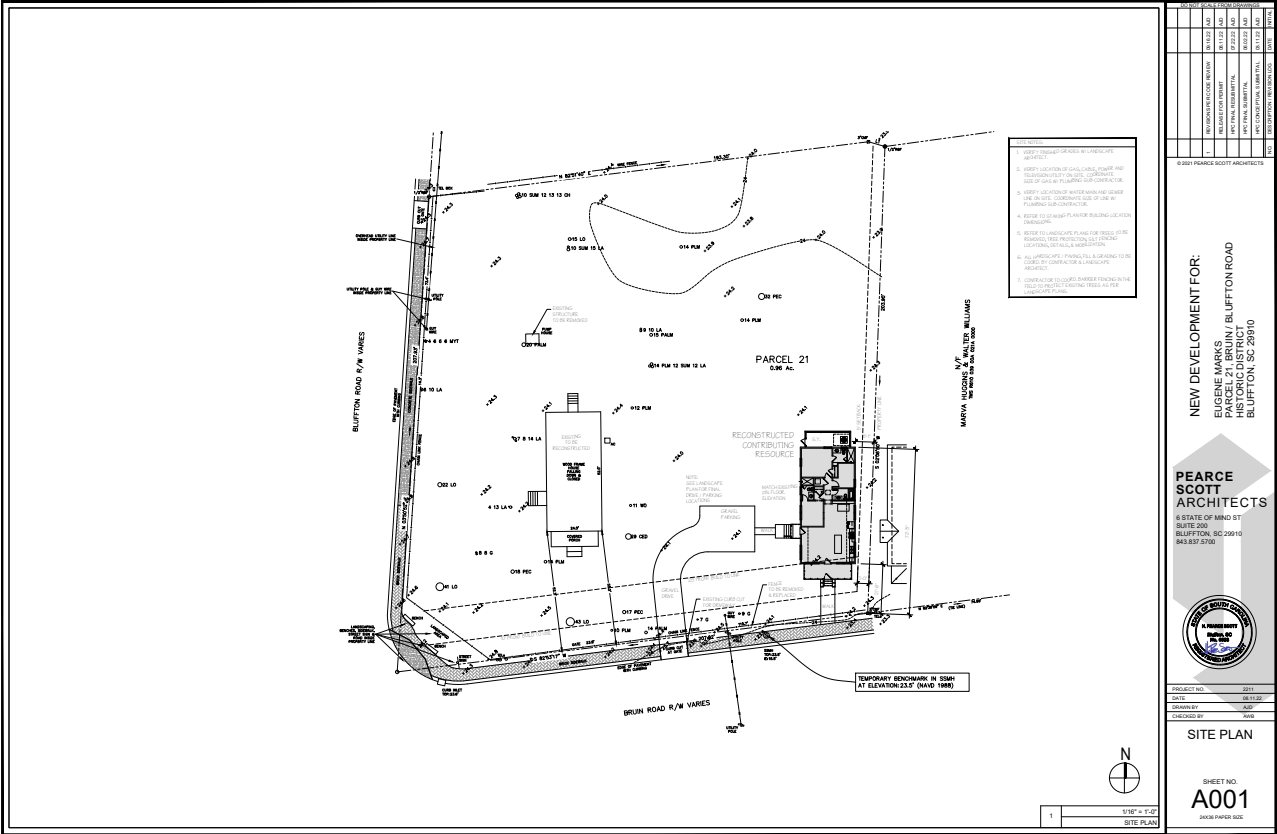
PEARCE SCOTT ARCHITECTS

8 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.337.2411

COVER SHEET & DWG INDEX

SHEET NO. **CVR**

DATE PREPARED: 05/11/2021

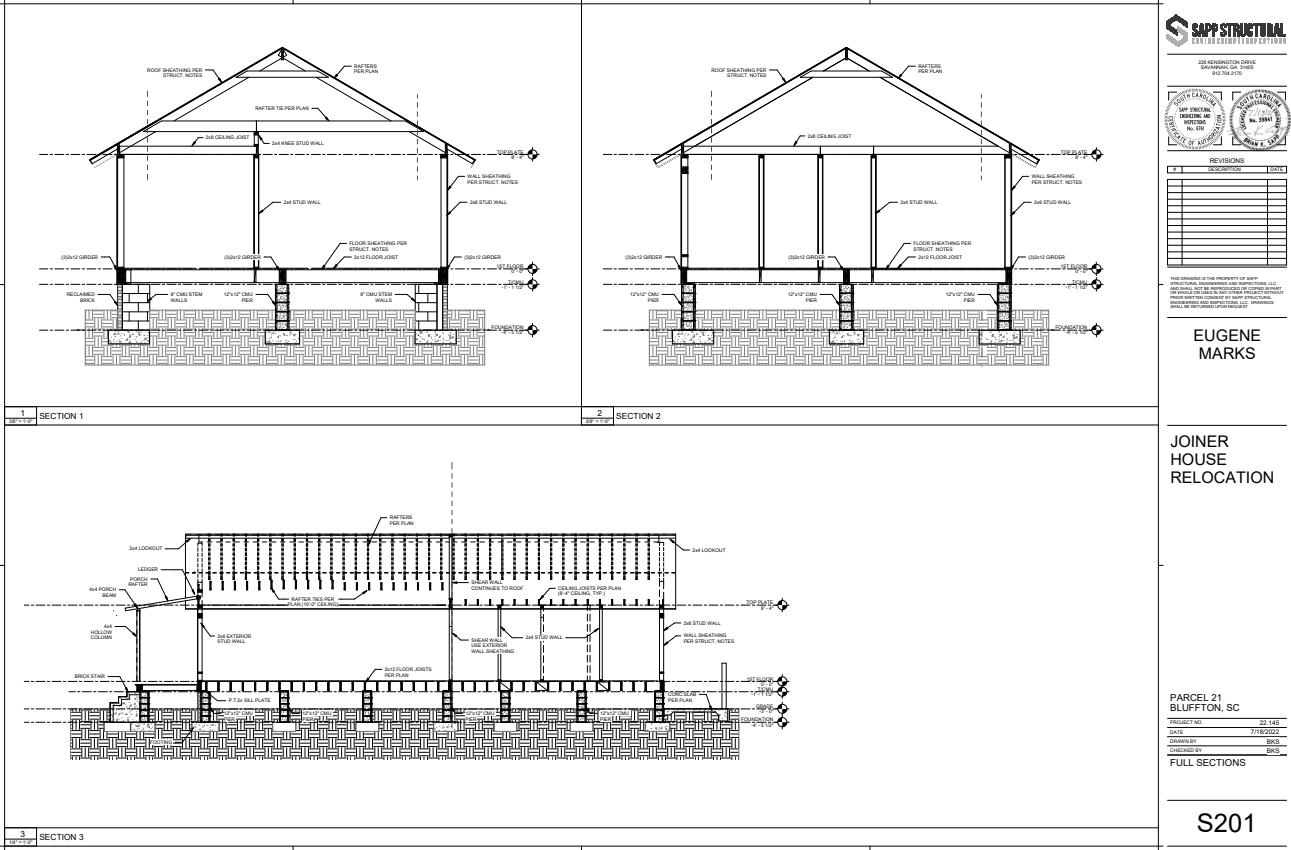


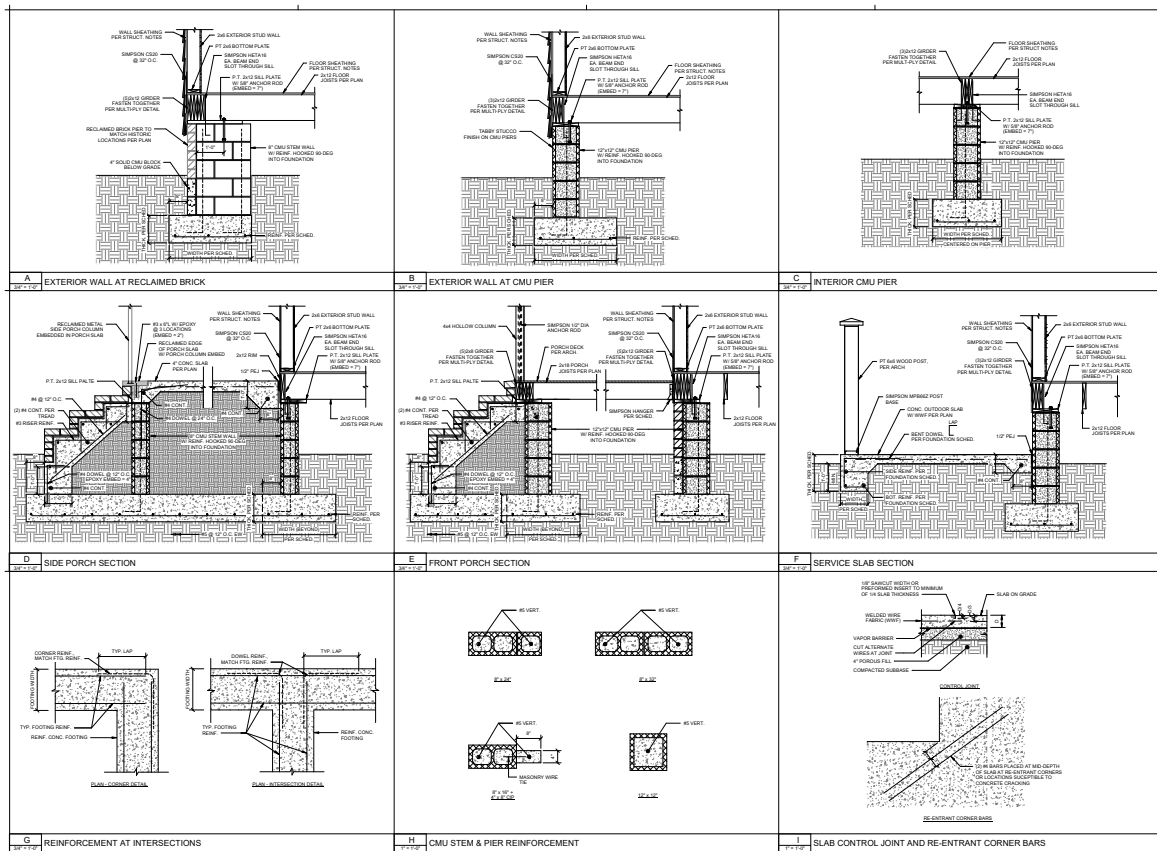
Section X. Item #1.

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Section X. Item #1.





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ATTACHMENT 1

Section X. Item #1.

A REINFORCEMENT LAP AND HOOK LENGTHS

TYPICAL LAP & HOOK SCHEDULE

BAR SIZE	DEVELOPMENT LENGTH (L _D)	STANDARD HOOK (H)	STANDARD HOOK (H)	STANDARD HOOK (H)	STANDARD HOOK (H)
#3	18"	3"	3"	3"	3"
#4	24"	4"	4"	4"	4"
#5	30"	5"	5"	5"	5"
#6	36"	6"	6"	6"	6"
#7	42"	7"	7"	7"	7"
#8	48"	8"	8"	8"	8"
#9	54"	9"	9"	9"	9"
#10	60"	10"	10"	10"	10"
#11	66"	11"	11"	11"	11"
#12	72"	12"	12"	12"	12"

NOTES:
 1. REINFORCEMENT LAPS SHALL BE PLACED AT LEAST 48" ON CENTER.
 2. REINFORCEMENT LAPS SHALL BE PLACED AT LEAST 18" ON CENTER FOR ALL OTHERS.
 3. REINFORCEMENT LAPS SHALL BE PLACED AT LEAST 12" ON CENTER FOR ALL OTHERS.
 4. REINFORCEMENT LAPS SHALL BE PLACED AT LEAST 6" ON CENTER FOR ALL OTHERS.

B HOLDDOWN AT GIRDER

ROOF AND FLOOR SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOF SHEATHING	1	SQ. YD.
2	FLOOR SHEATHING	1	SQ. YD.
3	ROOF TRUSS	1	EA.
4	FLOOR TRUSS	1	EA.
5	ROOF BRACE	1	EA.
6	FLOOR BRACE	1	EA.
7	ROOF HANGING	1	EA.
8	FLOOR HANGING	1	EA.
9	ROOF BRACKET	1	EA.
10	FLOOR BRACKET	1	EA.
11	ROOF JOIST	1	EA.
12	FLOOR JOIST	1	EA.
13	ROOF GIRDER	1	EA.
14	FLOOR GIRDER	1	EA.
15	ROOF WALL	1	EA.
16	FLOOR WALL	1	EA.
17	ROOF CEILING	1	EA.
18	FLOOR CEILING	1	EA.
19	ROOF FLOOR	1	EA.
20	FLOOR FLOOR	1	EA.
21	ROOF ROOF	1	EA.
22	FLOOR ROOF	1	EA.
23	ROOF ROOF	1	EA.
24	FLOOR ROOF	1	EA.
25	ROOF ROOF	1	EA.
26	FLOOR ROOF	1	EA.
27	ROOF ROOF	1	EA.
28	FLOOR ROOF	1	EA.
29	ROOF ROOF	1	EA.
30	FLOOR ROOF	1	EA.

C ROOF AND FLOOR SHEATHING

WALL SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL SHEATHING	1	SQ. YD.
2	WALL TRUSS	1	EA.
3	WALL JOIST	1	EA.
4	WALL BRACE	1	EA.
5	WALL HANGING	1	EA.
6	WALL BRACKET	1	EA.
7	WALL JOIST	1	EA.
8	WALL GIRDER	1	EA.
9	WALL CEILING	1	EA.
10	WALL FLOOR	1	EA.
11	WALL ROOF	1	EA.
12	WALL ROOF	1	EA.
13	WALL ROOF	1	EA.
14	WALL ROOF	1	EA.
15	WALL ROOF	1	EA.
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17	WALL ROOF	1	EA.
18	WALL ROOF	1	EA.
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20	WALL ROOF	1	EA.
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22	WALL ROOF	1	EA.
23	WALL ROOF	1	EA.
24	WALL ROOF	1	EA.
25	WALL ROOF	1	EA.
26	WALL ROOF	1	EA.
27	WALL ROOF	1	EA.
28	WALL ROOF	1	EA.
29	WALL ROOF	1	EA.
30	WALL ROOF	1	EA.

D GENERAL NAILING SCHEDULE

GENERAL NAILING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	GENERAL NAILING	1	SQ. YD.
2	GENERAL NAILING	1	SQ. YD.
3	GENERAL NAILING	1	SQ. YD.
4	GENERAL NAILING	1	SQ. YD.
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25	GENERAL NAILING	1	SQ. YD.
26	GENERAL NAILING	1	SQ. YD.
27	GENERAL NAILING	1	SQ. YD.
28	GENERAL NAILING	1	SQ. YD.
29	GENERAL NAILING	1	SQ. YD.
30	GENERAL NAILING	1	SQ. YD.

E WALL SHEATHING

WALL SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL SHEATHING	1	SQ. YD.
2	WALL TRUSS	1	EA.
3	WALL JOIST	1	EA.
4	WALL BRACE	1	EA.
5	WALL HANGING	1	EA.
6	WALL BRACKET	1	EA.
7	WALL JOIST	1	EA.
8	WALL GIRDER	1	EA.
9	WALL CEILING	1	EA.
10	WALL FLOOR	1	EA.
11	WALL ROOF	1	EA.
12	WALL ROOF	1	EA.
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25	WALL ROOF	1	EA.
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27	WALL ROOF	1	EA.
28	WALL ROOF	1	EA.
29	WALL ROOF	1	EA.
30	WALL ROOF	1	EA.

F ATTACHMENT OF MULTIPLE-PLY MEMBERS

ATTACHMENT OF MULTIPLE-PLY MEMBERS

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
2	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
3	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
4	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
5	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
6	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
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11	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
12	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
13	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
14	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
15	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
16	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
17	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
18	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
19	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
20	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
21	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
22	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
23	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
24	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
25	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
26	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
27	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
28	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
29	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
30	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.

G WALL HEADER SCHEDULE

WALL HEADER SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL HEADER	1	SQ. YD.
2	WALL HEADER	1	SQ. YD.
3	WALL HEADER	1	SQ. YD.
4	WALL HEADER	1	SQ. YD.
5	WALL HEADER	1	SQ. YD.
6	WALL HEADER	1	SQ. YD.
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25	WALL HEADER	1	SQ. YD.
26	WALL HEADER	1	SQ. YD.
27	WALL HEADER	1	SQ. YD.
28	WALL HEADER	1	SQ. YD.
29	WALL HEADER	1	SQ. YD.
30	WALL HEADER	1	SQ. YD.

SAPP STRUCTURAL
CORPORATION

200 HENDERSON DRIVE
BLUFFTON, SC 29910
(803) 335-1111

NO.	REVISION	DESCRIPTION	DATE
1			
2			
3			
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6			
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EUGENE MARKS

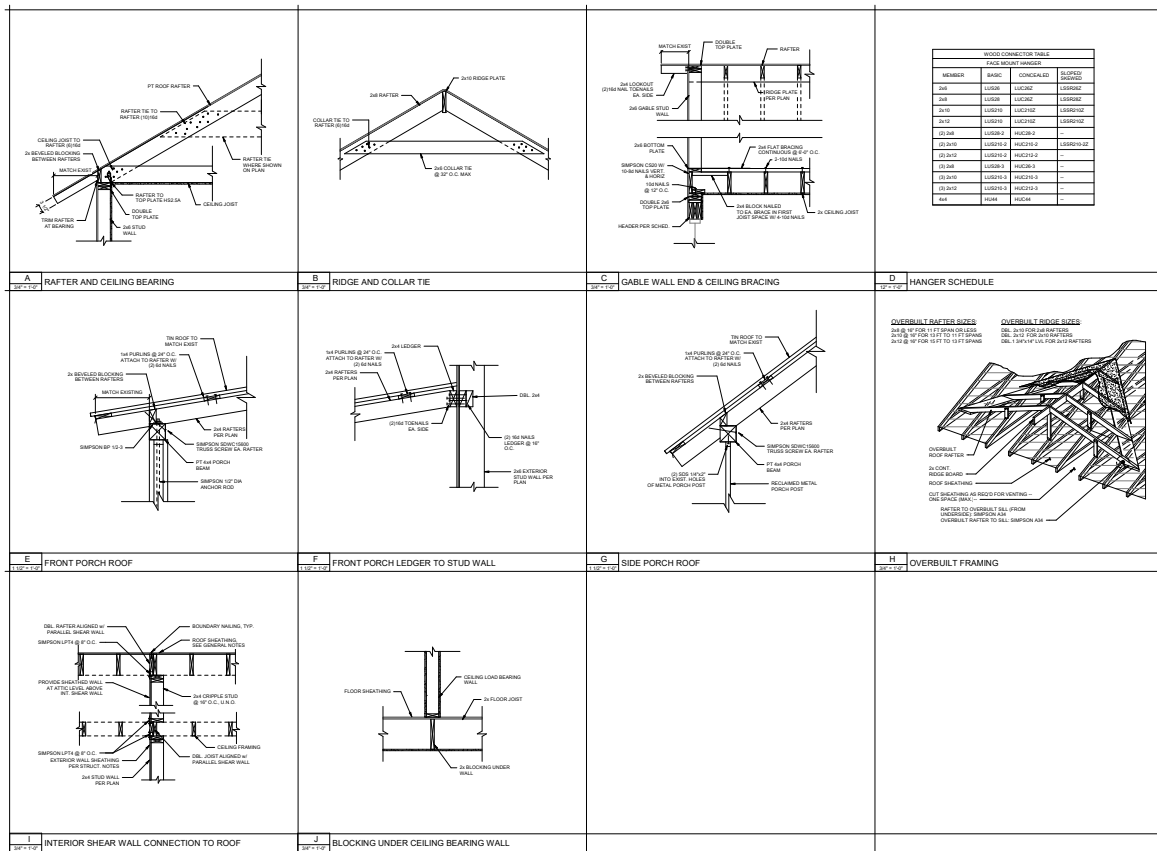
JOINER HOUSE RELOCATION

PARCEL 21
BLUFFTON, SC

PROJECT NO.	22-145
DATE	7/18/2022
DRAWN BY	BRK
CHECKED BY	BRK

STRUCTURAL DETAILS

S302



WOOD CONNECTOR TABLE			
FACE MOUNT HANGER			
MEMBER	BASIC	CONCEALED	SLIP-ON UNWIDED
2x6	USC62	USC62	US662
2x8	USC68	USC62	US668
2x10	USC70	USC102	US690
2x12	USC70	USC102	US690
(2) 2x6	USC62-2	USC62-2	—
(2) 2x8	USC62-2	USC10-2	US690-2
(2) 2x10	USC62-2	USC10-2	—
(2) 2x6	USC62-3	USC62-3	—
(2) 2x8	USC62-3	USC10-3	—
(2) 2x10	USC62-3	USC10-3	—
4x4	USC4	USC4	—

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PRIOR WRITTEN CONSENT BY SAMP STRUCTURAL
ENGINEERING AND INSPECTIONS, LLC. DRAWINGS
SHALL BE RETURNED UPON REQUEST.

EUGENE
MARKS

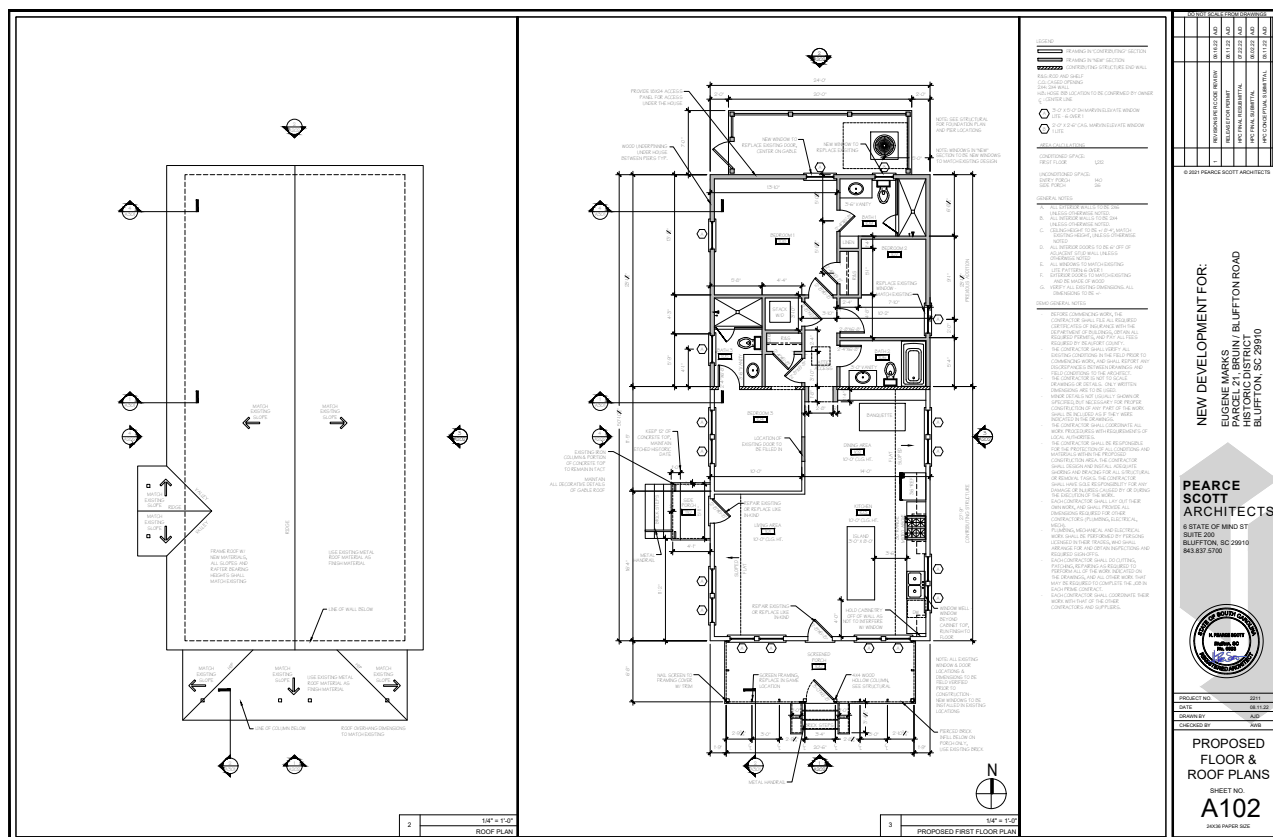
PARCEL 21
BLUFFTON, SC

PROJECT NO.	22.145
DATE	7/18/2022
DRAWN BY	BKS
CHECKED BY	BKS

STRUCTURAL DETAILS

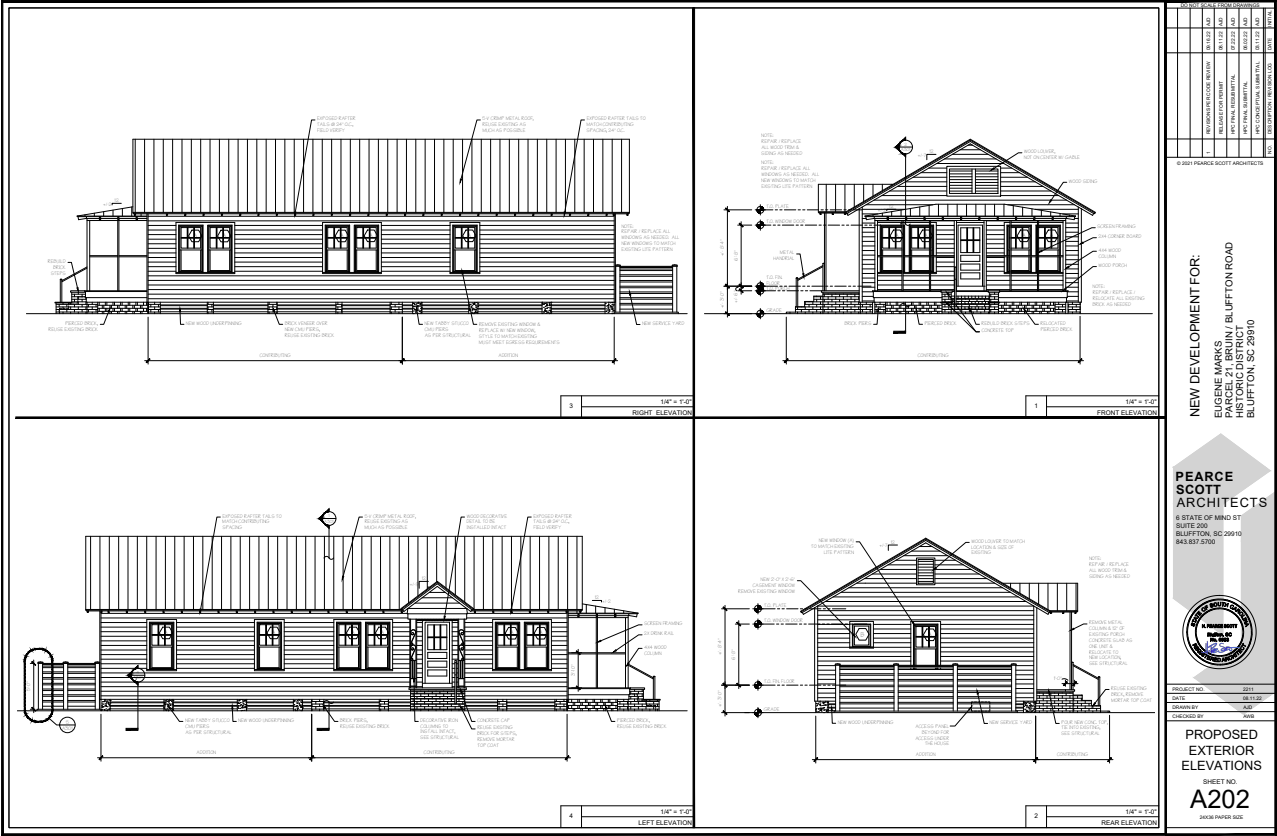
Section X. Item #1.

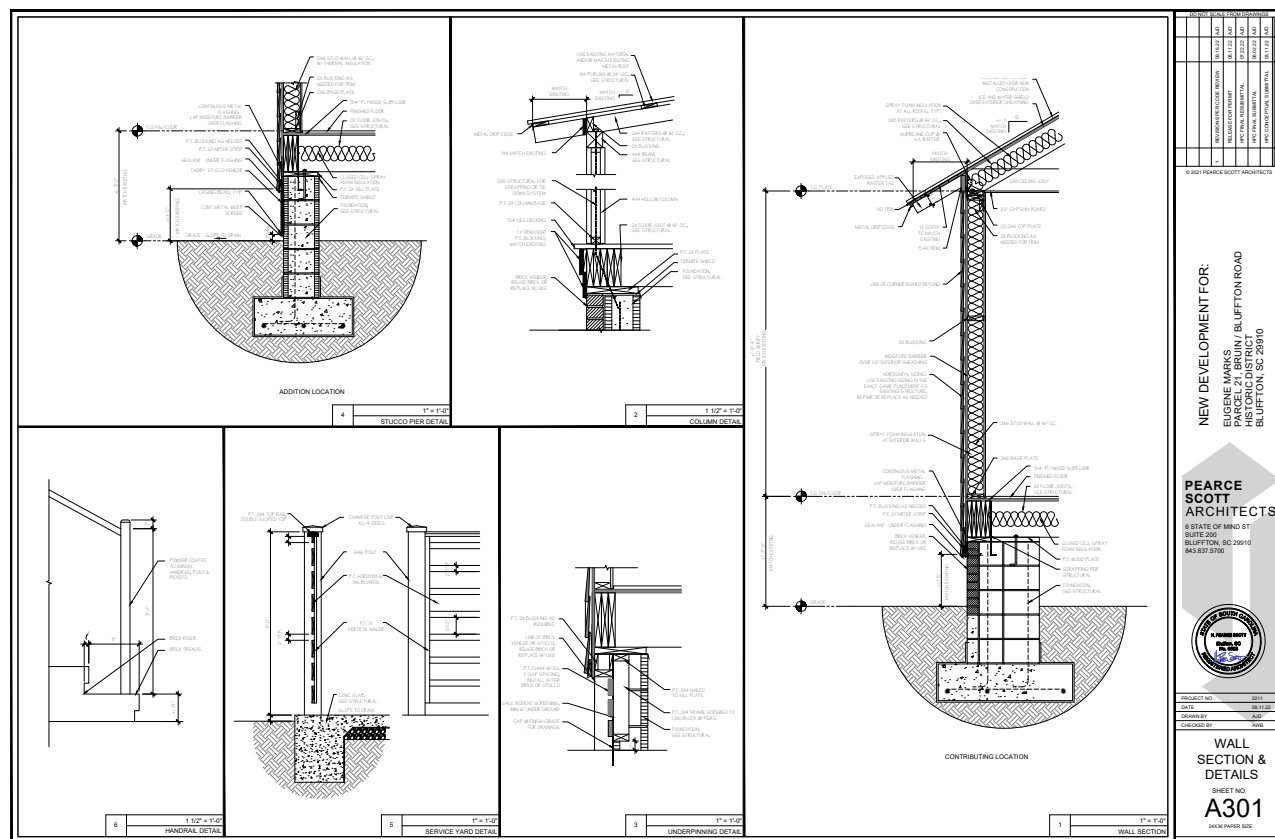


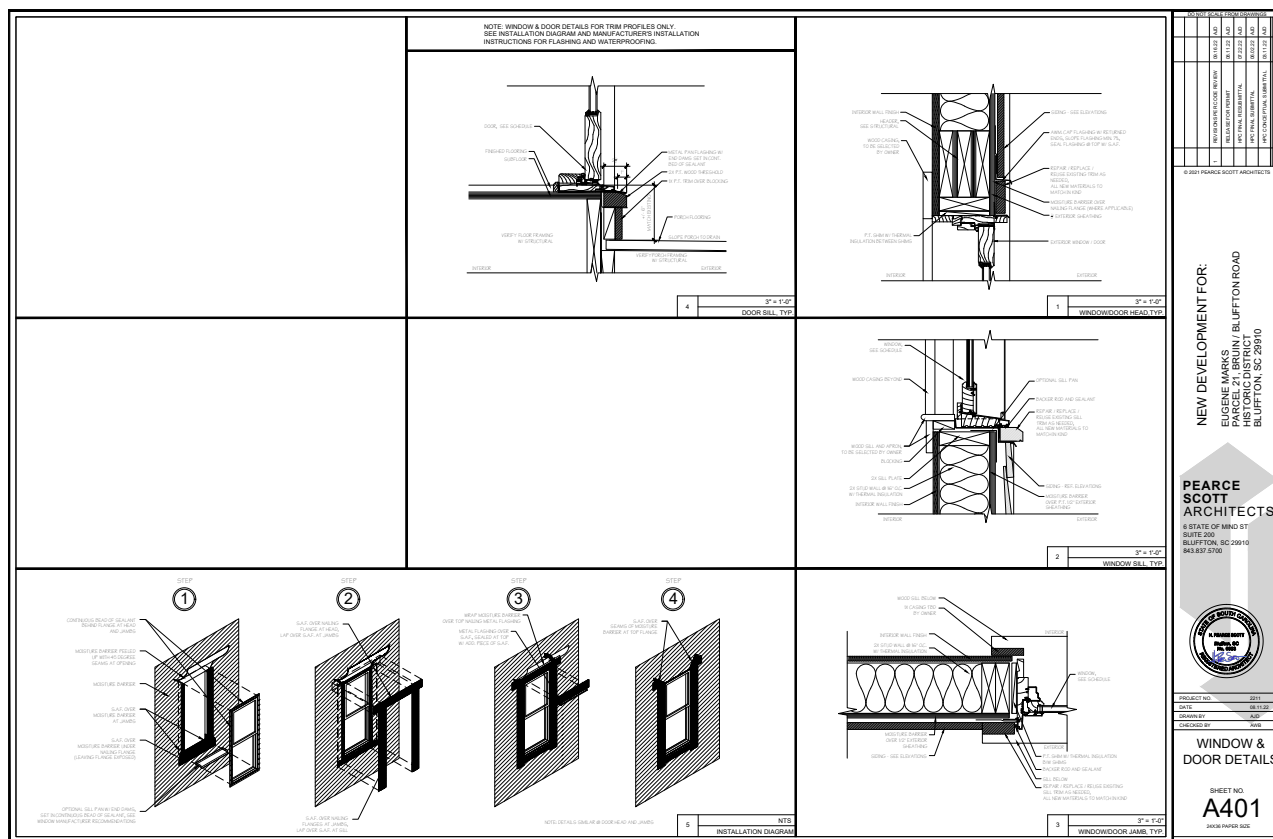


Section X. Item #1.









Section X. Item #1.

[illegible]

ATTACHMENT 1

Section X. Item #1.



Beaufort County, South Carolina

generated on 4/28/2023 10:35:42 AM EDT

Property ID (PIN)	Alternate ID (AIN)	Parcel Address	Data refreshed as of	Assess Year	Pay Year
R610 039 00A 0021 0000	00518871	209 BLUFFTON RD, Town of Bluffton	4/21/2023	2023	2022

Current Parcel Information

Owner	JOHA LLC	Property Class Code	ResImp SingleFamily
Owner Address	55 FLICKER ST BLUFFTON SC 29910	Acreage	.0000
Legal Description	POR OF HUNTING ISLAND TRACT POR OF HUNTING ISLAND TRACT MOBILE HOME SITE		

Historic Information

Tax Year	Land	Building	Market	Taxes	Payment
2022	\$291,500	\$38,300	\$329,800	\$2,318.88	\$2,318.88
2021	\$291,500	\$38,300	\$329,800	\$2,277.86	\$2,277.86
2020	\$291,500	\$38,300	\$329,800	\$1,030.32	\$1,030.32
2019	\$291,500	\$38,300	\$329,800	\$994.76	\$994.76
2018	\$291,500	\$38,300	\$329,800	\$973.49	\$973.49
2017	\$316,000	\$88,100	\$404,100	\$878.65	\$878.65
2016	\$316,000	\$88,100	\$404,100	\$877.37	\$877.37
2015	\$316,000	\$88,100	\$404,100	\$869.48	\$869.48
2014	\$316,000	\$88,100	\$404,100	\$835.73	\$835.73
2013	\$316,000	\$88,100	\$404,100	\$830.93	\$830.93

Sales Disclosure

Grantor	Book & Page	Date	Deed	Vacant	Sale Price
SINGLETON DOROTHY J	4135 3210	3/10/2022	Fu		\$1,100,000
209 BRUIN ROAD LLC	4218 576	3/10/2022	Qu		\$10
JOINER BESSIE HRS OF % DOROTHY J SIN		6/18/2020	Ma		\$0
UNKNOWN OWNER 00518871		12/31/1776	Or		\$0
		12/31/1776	Or		\$0

Improvements

Building	Type	Use Code Description	Constructed Year	Stories	Rooms	Square Footage	Improvement Size
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R01

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1,248

Section X. Item #1.

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Section X. Item #1.

ATTACHMENT 1

RECORDED
2023 Mar -15 08:04 AM


BEAUFORT COUNTY AUDITOR

BEAUFORT COUNTY
BK 4218 Pgs 0576
2023006463 RED
02/14/2023 03:47:02 PM
RCPT# 1120097
RECORDING FEES 15.00

ADD DMP Record 3/14/2023 10:04:44 AM
BEAUFORT COUNTY TAX MAP REFERENCE

Dist	Map	SMap	Parcel	Block	Week
R610	039	00A	0021	0000	00

STATE OF SOUTH CAROLINA)
COUNTY OF BEAUFORT)

QUIT-CLAIM DEED

NOW THEREFORE, know all men by these presents that 209 Bruin Road, LLC, hereinafter referred to as the "Grantor", in the State aforesaid for consideration of Ten and NO/100 (\$10.00) Dollars, intends to convey their interest to:

JOHA, LLC
55 Flicker Street
Bluffton, SC 29910

Hereinafter referred to as the "Grantee". The Grantor has remised, released, and forever quit-claimed, and by these presents does remise, release and forever quit-claim unto the said Grantee, and its successors and assigns, forever, the following described property, to wit:

TAX MAP NUMBER: R610 039 00A 0021 0000

ALL that certain lot, tract or parcel of land situate, lying and being in the City of Bluffton, Beaufort County, South Carolina and being more particularly described as follows:

Commencing at a point at the intersection of the Northern right of way line of Bruin Road and the Eastern right of way line of Bluffton Road, said point also being the point of beginning; thence along the Eastern right of way line of Bluffton Road thence N 15°41'41" E a distance of 207.93 feet to an iron rebar; thence S 85°17'31" E a distance of 193.30 feet to a concrete monument; thence S 61°57'59" E a distance of 7.49 feet to an iron pipe; thence S 13°57'39" W a distance of 203.90 feet to a concrete monument; thence N 85°15'54" W a distance of 207.02 feet to a point, the point of beginning, having an area of 41,608 square feet or 0.955 acres.

This conveyance is made subject to all easements, restrictions, covenants and conditions of record and otherwise affecting the property.

This being the same property conveyed to Grantors by Deed of Dorothy J. Singleton as Representative of the Heirs at Law or Devisees of Bessie Joiner dated March 10, 2022 and recorded April 14, 2022 in the Office of the Register of Deeds for Beaufort County in Book 4135 at Page 3210.

This Deed was prepared in the office of Mikkelson Law Firm, LLC, 214 Bluffton Road, Bluffton, South Carolina 29910, without the benefit of title examination.

TOGETHER with all and singular, the rights, members, hereditaments, and appurtenances to the said premises belonging, or in anywise incident or appertaining;

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned unto the said Grantee, and its successors and assigns forever; subject however to the rights, conditions and restrictions that constitute covenants running with the land, all as set forth herein.

THE REST OF THIS PAGE LEFT INTENTIONALLY BLANK

ATTACHMENT 1

Section X. Item #1.

WITNESS Grantor's hand and seal this 14 day of February, 2022.

**SIGNED, SEALED, AND DELIVERED
IN THE PRESENCE OF:**

GRANTORS:

(2) Michelle Merkel
WITNESS (Sign Name Above)

Michelle Merkel
WITNESS (Print Name Above)

(1) Eugene Marks {L.S}
209 Bruin Road, LLC
By: Eugene Marks
Its: Member

(3) [Signature]
WITNESS TWO (Sign Name Above)

Donald Besedre
WITNESS TWO (Print Name Above)

STATE OF SC)
COUNTY OF Beaufort)

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me this 14 day of February, 2022 by 209 Bruin Road, LLC, by Eugene Marks, its Member.

(4) [Signature]
(Notary Sign Above)
Notary Public for Donald Besedre
Commission Expires: 6-21-29

ATTACHMENT 2

Section X. Item #1.

Lisa Sulka
Mayor
Larry Toomer
Mayor Pro Tempore
Stephen Steese
Town Manager



Council Members
Fred Hamilton
Dan Wood
Bridgette Frazier
Kerry Guzman
Interim Town Clerk

April 26, 2023

Eugene Marks
55 Flicker Street
Bluffton, South Carolina 29910

TRANSMITTED ELECTRONICALLY
eugene.marks.jr@gmail.com

RE: 9 Bruin Road, Joiner House, Failed Rough-HD Inspection

Mr. Marks,

This letter serves as a follow-up to the failed Rough-HD inspection, and subsequent communication further explaining the failed inspection, for the property at 9 Bruin Road, known as the Joiner House.

On April 13, 2023, Katie Peterson, AICP, Senior Planner and I completed the Rough-HD inspection in association with permit RNEW-08-22-2266. Upon inspection the following items were found to be noncompliant with the approved Certificate of Appropriateness – HD (COFA) (COFA-03-22-016484):

1. **Porch Columns:** The approved COFA and Building Permit included the reconstruction of the existing, 7-bay front porch. Upon inspection, it was found that a 5-bay front porch had been framed. While a formal reinspection has not taken place, it appears this item has been addressed as of the date of this letter.
2. **Windows.** One of the conditions of approval for the COFA was that all windows practicable be repaired rather than replaced, and should windows be beyond repair, additional information regarding the proposed replacement windows be provided for review and approval by Staff prior to installation.

The windows installed on the building are noncompliant with UDO Section 3.18.3. Application Review Criteria for the following reasons:

- a. The windows installed were not the same windows approved by Staff and as specified in the Building Permit: DH Marvin Elevate windows.
- b. Staff was not provided additional information regarding the Pella Lifestyle windows prior to installation, and has not approved them as required by the COFA.
- c. The Pella Lifestyle windows installed do not meet the Arm's Length Rule, meaning they are not indistinguishable from the original windows at an arm's length. (UDO 5.15.6.A. and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21)
- d. The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior's Standards for the Treatment of Historic Properties, Standard 6)

Theodore D. Washington Municipal Building
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone (843) 706-4500 Fax (843) 757-6720
www.townofbluffton.sc.gov

ATTACHMENT 2

Page 2
9 Bruin Road – Rough HD Inspection
April 25, 2023

Section X. Item #1.

3. **Piers:** The historic pier locations have brick façade piers, however, they are visibly veneer, only one brick deep and did not reflect the requirements of the Certificate of Appropriateness approval. The façade must wrap towards the center of the house on both sides of the piers to appear as though it is a true pier.
4. **Brick Skirting Between Piers:** Pierced brick skirting has been added between the piers from the stoop on the left side of the house to the principal façade. The COFA and Building Permit reflects hog board panels between the piers. No historical documentation of brick between the piers at this location was a portion of the application. The COFA and Building Permit require any changes from the approved plans to be submitted for review and approval prior to moving forward. As no documentation was provided and any evidence of brick skirting at the building's original location has since been destroyed, the brick skirting must be removed and replaced by the hog boards as indicated on the approved plans.

These items must be corrected prior to passing the Rough-HD Inspection, and subsequent inspections. Alternately, to allow for forward progress on the site, town staff can review a plan, in writing from the Applicant, which outlines a timeline prior to Final-HD inspection for the correction of these items. Should a plan be submitted, it should be noted that a Final Inspection will not be passed until all items are completed.

In accordance with Section 8.B. of the of Historic Preservation Commission Rules of Procedure, as adopted February 6, 2013, Notice of Appeal must be delivered to the Department of Growth Management within (10) days of the decision becoming public record by issuance or denial of a permit, or the filing of a written decision in the office of the UDO Administrator. The Rules of Procedure may be found at the following link:

<https://www.townofbluffton.sc.gov/DocumentCenter/View/2049/HPC-Rules-of-Procedure-PDF>

If you have any questions, comments, or I can be of further assistance, please contact me at (843) 706-4529 or kicard@townofbluffton.com.

Sincerely,



Kevin P. Icard, AICP
Director of Growth Management

Cc: Heather Colin, AICP, Assistant Town Manager

Attachment: Signed Inspection Report Rough-HD 3.17.2023
March 24, 2023 COFA-03-22-016484 Approval Letter

ATTACHMENT 2

INSPECTION WORKSHEET (INSP-253392-2023)

Section X. Item #1.

Case Number:	RNEW-08-22-2266	Case Module:	Permit Management
Inspection Date:	04/17/2023	Inspection Status:	Failed
Inspector:	Katie Peterson	Inspection Type:	R - Rough Historic District
Job Address:	9 1 Bruin Road, 1 Bluffton, SC 29910	Parcel Number:	R610 039 00A 0021 0000

Contact Type	Company Name	Name
Applicant	Element Construction	Brandon Edwards
Electrical Contractor	Maxwell Electric Co. Inc. - USE THIS A	Joseph Maxwell
Engineer	Sapp Structural	Brian Sapp
Local Contact	Element Construction	Brandon Edwards
Mechanical Contractor	Tidelands Air Conditioning	Brett Eason
Owner	209 Bruin Road LLC	NA NA
Plumbing Contractor	Oak Forest Plumbing, LLC - USE THIS	Michael Chapman
Primary Contractor	Element Construction	Brandon Edwards

Checklist Item	Passed	Comments
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ATTACHMENT 2

INSPECTION WORKSHEET (INSP-253392-2023)

Section X. Item #1.

Checklist Item

Other - Comments

Passed

False

Comments

It is the responsibility of the primary contractor to ensure that all requirements set forth by the HPC in approval COFA-03-22-016484 have been met. The following items are noncompliance as of the date of this inspection and must be corrected:

1. Brick lattice has been installed between the piers on the portion between the principal facade (behind the front porch) and the side stoop of the left elevation where there should be horizontal wood slats matching those installed on the rest of the structure.
2. The front porch column configuration is not representative of the historic and approved configuration. The porch has been installed as a 5 bay porch when it should be 7, as indicated on the elevations and in the COFA approval letter.
3. The brick veneer piers are visibly false and do not maintain the appearance of true piers. The veneer must wrap deep enough to maintain the appearance of the historic configuration.
4. The windows which have been installed contain what appear to be snap-in muntins rather than true divided lites, as the historic structure contained. The COFA approval indicates that any new materials which are proposed to replace exterior materials must be provided for review prior to installation for approval by Town Staff. No product materials have been provided to staff at this time. Further, the Building Permit, which indicates the historic windows shall be retained to the greatest extent possible, with any replacement windows to be Marvin Elevate windows, a wood window with a traditional appearance and a simulated divided lite profile very close to a true divided lite product. The Pella windows installed do not meet the requirements of the COFA approval and must be replaced by either the historic windows which were in place, the DH Marvin Elevate wood windows with traditional muntins as shown on the approved COFA and Building Permit plans for new windows when the historic windows could not be reused, or an alternate suitable window provided to staff for review and approval prior to installation.

While this inspection has failed, in order to ensure continued progress on the site while the corrections are being made, this inspection may be conditionally passed once a plan, in writing from the contractor/owner, outlining how the items above will be corrected has been received and satisfactory reviewed by Town Staff.

Date: 2023.04.14
12:15:07 PM

ATTACHMENT 2

Section X. Item #1.

Lisa Sulka
Mayor
Larry Toomer
Mayor Pro Tempore
Stephen Steese
Town Manager



Council Members
Fred Hamilton
Dan Wood
Bridgette Frazier
Kimberly Gammon
Town Clerk

March 24, 2023

Eugene Marks
55 Flicker Street
Bluffton, SC 29910

Mr. Marks:

On July 6, 2022 the Town of Bluffton Historic Preservation Commission approved the Certificate of Appropriateness to allow the reconstruction of the 1,248 SF Contributing Resource, known as the Joiner House towards the eastern property line of the same parcel identified as 9 Bruin Road in the Old Town Bluffton Historic District and zoned Neighborhood Core-HD (COFA-03-22-016484) with the following conditions:

1. Per 3.18.3.A, Secretary of the Interior's Standards for Rehabilitation #5, additional information regarding the proposed reconstruction of the front screened porch and side portico must be provided to staff for staff level review as not enough information has been provided to ensure they meet the standards of this section.
2. Per 3.18.3.A. of the UDO, Secretary of the Interior's Standards for Rehabilitation #6, drawings for features which will be reconstructed (the porch and side portico) must be provided for review as not enough information has been provided to complete this review.
3. Per Section 5.15.6. of the UDO, to ensure the architectural standards have been met for materials, dimensions, and configurations, plans for all areas of the structure which will be dismantled and rebuilt, or new construction must be provided to ensure compliance with this section.
4. Per Section 5.15.6.I. additional information is required regarding the proposed rear elevation as not enough information was provided to complete the review of the proposed window in the location of the existing door.
5. The metal columns on the side portico shall be retained.

Theodore D. Washington Municipal Building
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone (843) 706-4500 Fax (843) 757-6720
www.townofbluffton.sc.gov

ATTACHMENT 2

6. The Applicant retain all original components to maximum degree as reasonably and economically feasible.
7. The Applicant provide any substitutes to original windows, doors, brick foundation, brick piers, and roofing panels must be submitted to staff for a determination as to the appropriateness of the substitute materials.
8. The proposed location is appropriate as it matches the angle of the contributing structure in accordance with section 5.15.5.F.5 of the UDO.
9. Drawings be provided for review, and for approval at Staff level, for the reconstructed porch and side portico.

Drawings dated 07.22.22 were provided to show all four elevations. Town Staff indicated areas which did not meet the conditions above in the stamped plans. A final Certificate of Appropriateness was issued. All conditions of this letter must be reflected in the field. Areas which were shown to not meet the conditions above included:

1. Perimeter piers shall reflect current conditions, specifically in width and material appearance on the new structure;
2. The new porch must reflect current configuration which is 2 bays deep and 7 bays wide, and is not reflected in the existing or proposed drawings as such;
3. Any new materials which are proposed to replace exterior materials must be provided for review prior to installation on the structure for approval by Town Staff;
4. The front and side doors shall be repaired rather than replaced, and windows restored rather than replaced in all locations possible. It should be noted that only bedrooms require 5 SF egress.

Following the issuance of the Certificate of Appropriateness, an amendment to allow revisions to the landscape plan, including the installation of a split rail fence, a maximum of 42" in height to be installed as shown on the Revised Landscape Plans Dated MAR 14, 2023. No changes to the structure are included in this amendment. The proposed amendment was found to be in accordance with the requirements of the UDO and did not substantially deviate from the basic design approved by the HPC; therefore, Town Staff approved and stamped the Landscape Plans dated MAR 14, 2023.

ATTACHMENT 2

Page Section X. Item #1.

Amendment 1 Approval COFA-03-22-016484

March 24, 2023

Any person aggrieved by the decision of the HPC may file an appeal pursuant to the South Carolina Code of Laws, Section 6-29-900 et sequitur within 30 days.

Upon issuance, a Certificate of Appropriateness (COA) remains valid for two (2) years from this approval date (07/06/2022). If the project is not substantially complete within the time limit, the COA expires.

Please be advised that a COA is not a permit to begin construction. All necessary permits and licenses prior shall be obtained prior to commencing construction. Please contact the Town of Bluffton Customer Service Center at (843) 706-4522 if you have any questions.

Sincerely,



Katie Peterson, AICP
Senior Planner
Department of Growth Management

Icard, Kevin

From: Icard, Kevin
Sent: Thursday, May 18, 2023 10:39 AM
To: Eugene Marks
Cc: Melanie Marks; Guzman, Kerry; Colin, Heather
Subject: RE: Confirm receipt - 9 Bruin Road - Public Notice Requirement

Received.

Thanks Eugene!

Kevin P. Icard, AICP
Director of Growth Management

Town of Bluffton
PO Box 386
20 Bridge Street
Bluffton, SC 29910
(Office) 843-706-4529
(Cell) 843-540-2183
www.townofbluffton.sc.gov

bluffton
HEART OF THE LOWCOUNTRY



From: Eugene Marks <eugene.marks.jr@gmail.com>
Sent: Thursday, May 18, 2023 9:44 AM
To: Icard, Kevin <kicard@townofbluffton.com>
Cc: Melanie Marks <tenislady2@aol.com>; Guzman, Kerry <kguzman@townofbluffton.com>; Colin, Heather <hcolin@townofbluffton.com>
Subject: Confirm receipt - 9 Bruin Road - Public Notice Requirement

WARNING!

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ATTACHMENT 3
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

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Bluffton, SC 29910

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$0.00
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☐ Adult Signature Required \$0.00
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Postage \$0.63
Total Postage and Fees \$4.78
Postmark Here
05/18/2023

Sent To Walter Williams
Street and Apt. No., or PO Box No. P.O. Box 1523
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Total Postage and Fees \$4.78
05/18/2023

Sent To 66 Bruin Rd, LLC
Street and Apt. No., or PO Box No. 41 Oyster St
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postage \$0.63
Total Postage and Fees \$4.78
05/18/2023

Sent To Calhoun St Development
Street and Apt. No., or PO Box No. Box 2120
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postage \$0.63
Total Postage and Fees \$4.78
05/18/2023

Sent To Holding Seven
Street and Apt. No., or PO Box No. Box 83
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postage \$0.63
Total Postage and Fees \$4.78
05/18/2023

Sent To Jette Calhoun LLC
Street and Apt. No., or PO Box No. 2 State of Mind #102
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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05/18/2023

Sent To Nectar Holdings
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City, State, ZIP+4® HHI SC 29925
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Total Postage and Fees \$4.78
05/18/2023

Sent To Pawan Property
Street and Apt. No., or PO Box No. 161 Oak Plantation Dr
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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Total Postage and Fees \$4.78
05/18/2023

Sent To Austin N Mark LLC
Street and Apt. No., or PO Box No. 3087 Argent Blvd
City, State, ZIP+4® Ridgeland, SC 29936
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postage \$0.63
Total Postage and Fees \$4.78
05/18/2023

Sent To Unicorn Holdings
Street and Apt. No., or PO Box No. 14 Sweetgrass Ln
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Postage \$0.63
Total Postage and Fees \$4.78
05/18/2023

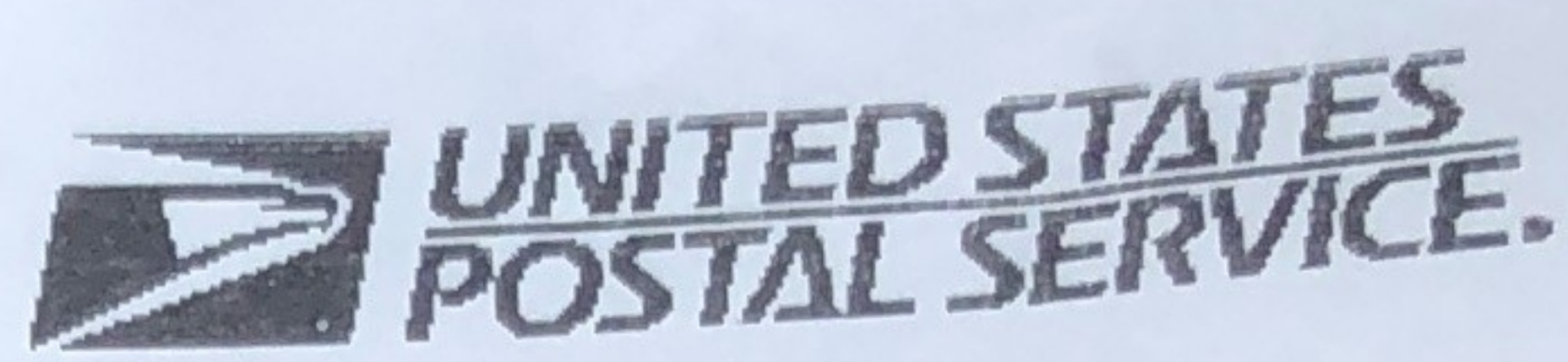
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Bluffton, SC 29910

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☐ Adult Signature Restricted Delivery \$0.00
Postage \$0.63
Total Postage and Fees \$4.78
Postmark Here
05/18/2023

Sent To Wooden Camera
Street and Apt. No., or PO Box No. 29 Pine View Lane
City, State, ZIP+4® Bluffton, SC 29910
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



BLUFFTON
25 THURMOND WAY
BLUFFTON, SC 29910-9998
(800)275-8777

Product	Qty	Unit Price	Price
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05/18/2023
First-Class Mail® 1 Letter
Ridgeland, SC 29936
Weight: 0 lb 0.30 oz
Estimated Delivery Date Sat 05/20/2023
Certified Mail®
Tracking #: 70220410000077483540

Total \$0.63

First-Class Mail® 1 Letter
Bluffton, SC 29910
Weight: 0 lb 0.30 oz
Estimated Delivery Date Sat 05/20/2023
Certified Mail®
Tracking #: 70220410000077483557

Total \$0.63

First-Class Mail® 1 Letter
Bluffton, SC 29910
Weight: 0 lb 0.30 oz

Total \$0.63

First-Class Mail® 1 Letter
Bluffton, SC 29910
Weight: 0 lb 0.30 oz

Total \$0.63

On May 17, 2023, at 12:39 PM, Icard, Kevin <kicard@townofbluffton.com> wrote:

Eugene,

Per the Town of Bluffton Unified Development Ordinance Article 3.2.4., Applicants are required to provide notice via certified mail to all owners of property, including any Property Owners Association (POA) abutting, adjacent or contiguous to the property that is subject of the application within fifteen (15) days of the UDO Administrator's acceptance of a completed application. Please find attached a list of adjacent property owner addresses and a simple template to be used for the notification. Please provide a copy of the receipts of certified mailings no later than **close of business on May 24, 2023** to ensure your item may remain placed on the June 7, 2023 Historic Preservation Commission Agenda.

In addition to the certified mailings, Town Staff will place a small sign with notice of the pending application on the property near the right-of-way by the same date.

The full ordinance can be found at the following link: [Unified Development Ordinance](#) . Section 3.2.4. begins on page 35 of the web document.

Please let me know if you have any questions.

Best regards,

Kevin P. Icard, AICP
Director of Growth Management

Town of Bluffton
PO Box 386
20 Bridge Street
Bluffton, SC 29910
(Office) 843-706-4529
(Cell) 843-540-2183
www.townofbluffton.sc.gov

<image003.jpg>

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ATTACHMENT 3

Section X. Item #1.

recipient is strictly prohibited and punishable to the fullest extent of the law. If you are not the intended recipient, please contact the sender by return email and destroy all copies of the original message.

<9 Bruin Road - Public Notice Letter.docx>

<9 Bruin Road Adjacent Property List.csv>

Icard, Kevin

From: Colin, Heather
Sent: Monday, April 24, 2023 11:40 AM
To: Eugene Marks; Icard, Kevin
Cc: Melanie Marks; Steese, Stephen
Subject: RE: Joiner follow up from 4/21 site walk for items below

Eugene –

Kevin updated me on the site visit on Friday to discuss the windows and brick on the Joiner House. We also further discussed this morning and while I agree with you that the HPC did not approve the specific Marvin window, they did state in the approval that the historic material should be used to the greatest extent possible and any replacements must be approved by staff. The approval of the building permit and specifically the Marvin window is staff's approval as a replacement material. The Marvin window better replicates the wood window. If staff were presented the Pella window as you installed as a replacement we would have denied and would have presented to the HPC for their review and consideration.

I support Kevin's decision and direction to allow the construction to continue and permanent power approved as soon as all building safety issues have been addressed; however, the Pella windows will need to go to the HPC as an appeal of staff's decision and a modification to the certificate of appropriateness.

If you would like to discuss, Kevin and I are available for a quick phone call for the next 2 hours or so. I am traveling with my husband out of the country this week.

Sincerely,

Heather L. Colin, AICP
Assistant Town Manager

Town of Bluffton
20 Bridge Street
Bluffton, SC 29910
Office (843)706-4592
Mobile (843)540-6946
www.townofbluffton.sc.gov



From: Eugene Marks <eugene.marks.jr@gmail.com>
Sent: Monday, April 24, 2023 7:07 AM
To: Icard, Kevin <kicard@townofbluffton.com>; Colin, Heather <hcolin@townofbluffton.com>
Cc: Colin, Heather <hcolin@townofbluffton.com>; Melanie Marks <tenislady2@aol.com>
Subject: Joiner follow up from 4/21 site walk for items below

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I am available to meet today to discuss or talk with Heather by phone.

I also would like to note that HPC did not review original windows.
The Marvin were simply included in building plan and stamped with no specific review.

Thank you.

Eugene Marks
1-203-726-0090

On Apr 21, 2023, at 2:16 PM, Eugene Marks <eugene.marks.jr@gmail.com> wrote:

List order below..

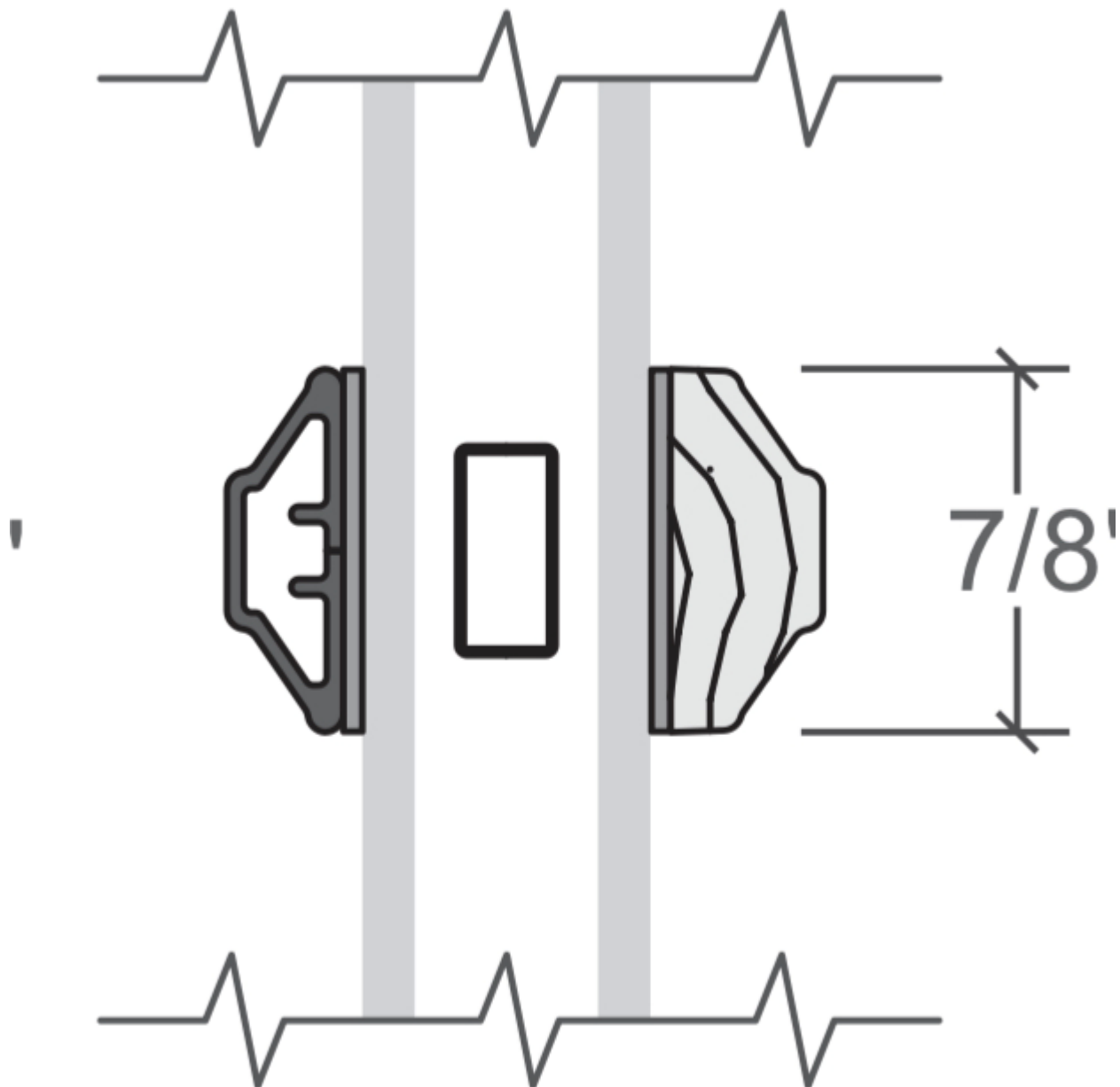
Brick Lattice

While we are confident the original house had such brick between porch and steps, in the interest of moving things along, I will have this section demolished as we clear the list.

Windows

The Pella and Marvin have exactly the same Simulated Divided Lite - SDL and divider system.
I think you took pictures from inside.
This is Pella view with the spacers we included.

Divided Lights



with Optional Spacer

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- Fixed applied divider interior and exterior.

Visual separator between glass to complete traditional look.

No vinyl or snap on things.

You were focused on the exterior corner seams between Marvin and installed Pella.

(Interior is all natural wood frame)

Every window - including all wood original will have seams of some type. Particularly wood with age.

This shows the original frame when we tested for lead.



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I just don't feel the seam aspect rises to a level to ask for window replacement of about \$30,000.
The windows will have screens anyway - covering sashes like original.
Plus in the context of the very stressed original siding - these seams as lost in the views.

Like bricks, in the spirit of moving things forward I hope we can accept these windows.

Doors

We agreed you will inspect the custom mahogany doors next week before installation.
I will advise when on site.

Permanent Power

Once Marcus clears his sign off - hopefully Monday, power can proceed.

Separately, I will raise the stair rail issue with Richard given approved plan maintained historic elevation.

We need to know if Richard wants new added railings.

I'm assuming if Richard requires railings, Historic folks have to agree?

It will change the feel of the original house but we will abide by Town decision.

Thank you for your time and we hope from here we can proceed to CO with a clear slate and ongoing communication.

Eugene and Melanie



On Apr 20, 2023, at 5:00 PM, Icard, Kevin <kicard@townofbluffton.com> wrote:

Eugene,

While you have sent emails after this one, I'm responding to this one with the understanding that it will answer all.

I can make myself available tomorrow around 1pm.

While I do not want to get into a debate over email, your email from February 10th, refers to harassment and legal action. I asked staff to not visit your site or correspondence based on your wishes.

Items for Discussion

1. Brick Lattice – No communication on original building when discovered. Approved plans show horizontal panel. If you would like to appeal, here is the link <https://www.townofbluffton.sc.gov/DocumentCenter/View/1328/Board-of-Zoning-Appeals-Application-and-Narrative>
2. Windows – Marvin was approved based on fiberglass material, verses Pella – unknown material. Provide spec sheets for Pella. The intent of a fiberglass window was to try to keep the integrity of the contributing structure verses having a vinyl window that is used on most all tract built homes.
3. Doors – specs and material. Will review in the field. Concern is that doors were unknown because only dimensions were provided. While mahogany is more expensive door, this was not known until this week.
4. Address – Spoke to Chief of Inspections, Marcus Noe, he agrees that it should be 'just' 9 Bruin Road. I will work with Customer Service and GIS to update.
5. Permanent Power – Based on Marcus' inspection, there were numerous electrical issues to resolve. They are independent of Planning review and Permanent Power can't move forward without their approval. After our meeting, we can determine if conditional approval to move forward is possible.

I'll see you around 1pm tomorrow.

Thanks,

Kevin P. Icard, AICP
Director of Growth Management

Town of Bluffton
PO Box 386
20 Bridge Street

ATTACHMENT 4

Bluffton, SC 29910
(Office) 843-706-4529
(Cell) 843-540-2183
www.townofbluffton.sc.gov

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From: Eugene Marks <eugene.marks.jr@gmail.com>

Sent: Thursday, April 20, 2023 1:12 PM

To: Icard, Kevin <kicard@townofbluffton.com>; Colin, Heather <hcolin@townofbluffton.com>; Peterson, Katie <kpeterson@townofbluffton.com>; Umberger, Glen <gumberger@townofbluffton.com>; Richardson E. LaBruce <erlabruce@fingerlaw.com>; Brandon Edwards <brandon@elementcp.com>

Subject: Joiner Doors follow up

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Below is the background - with pictures, around the doors.

These specification sheets are what we are crafting to exactly replicate what is in the pictures. Including mahogany wood and safety glass.

If this is not sufficient, you are welcome to visit Joiner to inspect before install.

As included below, I asked for door direction in the email with no reply.

Thank you.

----- Forwarded message -----

From: Eugene Marks <eugene.marks.jr@gmail.com>

Date: Fri, Feb 10, 2023 at 11:31 AM

Subject: Joiner

To: Heather Colin <hcolin@townofbluffton.com>

Cc: Brandon Edwards <brandon@elementcp.com>, Icard, Kevin <kicard@townofbluffton.com>, Melanie Marks <Cthousehistories@aol.com>, Richard Spruce

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<Richard.Spruce@townofbluffton.com>, Umberger, Glen
<gumberger@townofbluffton.com>, Amanda
<amanda@pscottarch.com>, H Scott <pearce@pscottarch.com>, Katie
Peterson <kpeterston@townofbluffton.com>, Richardson LaBruce
<erlabruce@fingerlaw.com>

Download full resolution images
Available until Mar 12, 2023

Heather

I need your involvement and assistance.

Staff again showed up on site today unannounced even-though I asked either myself or Element be informed to assure productive communication.

Further, even though I have sent multiple emails to staff relating to windows, doors and siding - providing detailed plans - each such staff visit workers on site are being asked same questions around why, what... in an intimidating fashion.

We have abided by the approved plans and materials plus offered up to date correspondence to the Town.

- By the way I never get replies to my email staff communications with the exception from Richard - who I feel is practical and working in the spirit of the project.

I'm happy to send you all my responsible correspondence.

This is an untenable situation and harassment.

We must immediately find a predictable basis to complete this project. If not and these unannounced and unproductive visits continue I will need to take legal action to end this harassment.

I'm available to discuss as soon as possible.

Eugene Marks
1-203-726-0090

On Jan 31, 2023, at 6:32 PM, Eugene Marks
<eugene.marks.jr@gmail.com> wrote:

Thank you Amanda.

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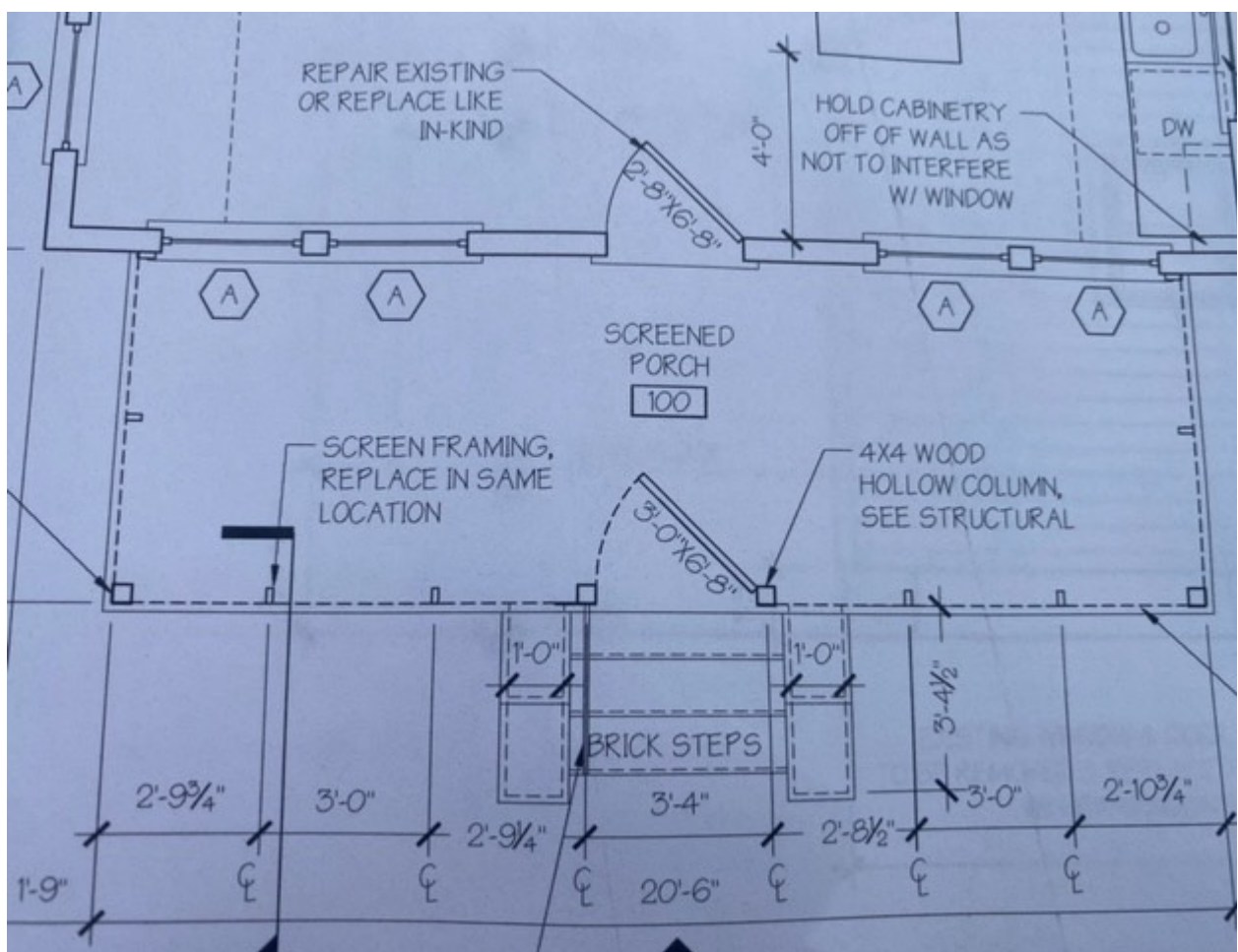
Section X. Item #1.

I would like to respectfully ask if Town Staff plans to walk the site in the future, at least Element Construction be invited as a number of subsequent questions could have been discussed/addressed "real time" vs these follow up emails. I'm always available too.

Regarding the porch..

Here are the approved plans which of course the engineer stamped and so far Element has built to specs.

The porch section was reviewed and discussed a number of times before and during application process. Including the off center gable vent above.



Regarding the exterior doors.

They were tested for lead today as we were preparing for cleaning. They show positive lead in multiple areas.

In prior projects Melanie and I have worked on codes were such that any "friction" surface with lead could not be reused given cover paint would wear off exposing lead surface.

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Please provide direction as we prefer to use new replica doors - distressing them to look period.
Sturdy for security with safety glass - strong rails.
These Joiner doors are c1960's.

Note-

You can see in these pics the condition of the doors including the side rail and other interior structure is rotting. The top of that door has already been extended as shown.

Black mold present.



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Section X. Item #1.



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We are available to meet and discuss.
The roof and siding phase will start soon after we get
the windows delivered and installed.

Eugene and Melanie Marks

On Tue, Jan 31, 2023 at 1:38 PM Amanda Denmark
<amanda@pscottarch.com> wrote:

Richard and Glen -

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There has been some confusion regarding the front porch column placement.



Attached is a picture of the Joiner house. It looks as though the middle columns on the front porch are in the correct location. The other vertical elements will come after the structural aspect when the screen framing is being done.

Thanks,

Amanda Jackson Denmark, Assoc. AIA
Project Manager
[6 State of Mind Street, Suite 200](#)
[Bluffton, SC 29910](#)
o 843.837.5700
amanda@pscottarch.com
www.pscottarch.com

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HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	June 7, 2023
PROJECT:	58 Pritchard Street - New Construction: Single-Family
APPLICANT:	Andrew Pietz
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Andrew Pietz, requests that the Historic Preservation Commission approve the following application:

1. **COFA-03-23-017752.** A Certificate of Appropriateness to allow the construction of a new single-family residence of approximately 3,291 SF and a Carriage House of approximately 484 SF to be located at 58 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant has proposed the construction of a one and a half-story single-family building and Carriage House in the Old Town Bluffton Historic District. The proposed building, of approximately 3,291 SF, meets the requirements of an Additional Building Type within the Neighborhood General-HD zoning district. In addition to the primary structure, a Carriage House has been proposed which meets the design standards for a Carriage House Building Type.

The one and a half-story primary structure is primarily under a hip roof with a single-story gabled roof addition to the rear. It features a full-length front porch under a gabled roof, with a shed roofed balcony on the front elevation. It features vertical Hardie siding and a 5-V metal roof. The Carriage House features the same materials and detailing, including exposed rafters and trellis feature as the primary structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 3, 2023 meeting and comments were provided to the Applicant (See Attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or

3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single-family structure and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make

Old Town more complete. The addition of the proposed single-family structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as defined in Section 5.15.5.C. It meets the placement standards for this building type.

b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. Piers shall be placed directly below the columns or posts which they support. While the porches are slab pours, the louvered detailing creates the profile of a pier porch. The porch columns are not centered on the "piers" for the porch. Further, there are a few areas, specifically near the stairs, where the louvered panels are missing. Revise the louvered panel details so that all areas are consistent, and all columns align with the "piers" supporting them.
- 2) Section 5.15.6.H. Columns, Arches, Piers, Railings, Balustrades. Columns are permitted to be wood (termite resistant), cast iron, concrete with smooth finish, brick, stone, steel or Tabby. The Stair Detail (Sheet A108) indicates the column at the top of the stairs to be a PVC clad post. The detail must be revised to a permitted material which matches the elevations.
- 3) Section 5.15.8.F. Carriage House and 5.15.5.F. General Standards. Carriage Houses must be of the same general character as the primary structure. Further, overall building proportions and individual building features shall have a proportional relationship with one another. The square windows on the Carriage House are 4-lite and should be revised to the same 2-lite pattern as those on the primary structure.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing, with revisions to address the items in section 2 above, will be sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structures, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there as there are several trees 14 inches in diameter at breast height or greater, being proposed for removal, a tree removal permit is required. The Site Plan, included with the Architectural Set, does not reflect the Carriage House proposed as a portion of this application. It must be revised to align with the proposed plans.

Pritchard Street is a Town-owned street. A Town of Bluffton Encroachment Permit for the driveway must be approved prior to approval of a Certificate of Appropriateness-HD. It should be noted that one has been received but may not be issued until BJWSA has approved the relocation of the fire hydrant. Finally, as the current location of the fire hydrant would prevent access to the site for parking, the fire hydrant must be relocated prior to issuance of a Building Permit for the site, as failure to relocate would result in not being able to provide adequate parking which meets the standards of the UDO.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per the Applications Manual, a Town of Bluffton Encroachment Permit is required.
3. The fire hydrant must be relocated prior to issuance of a Building Permit.

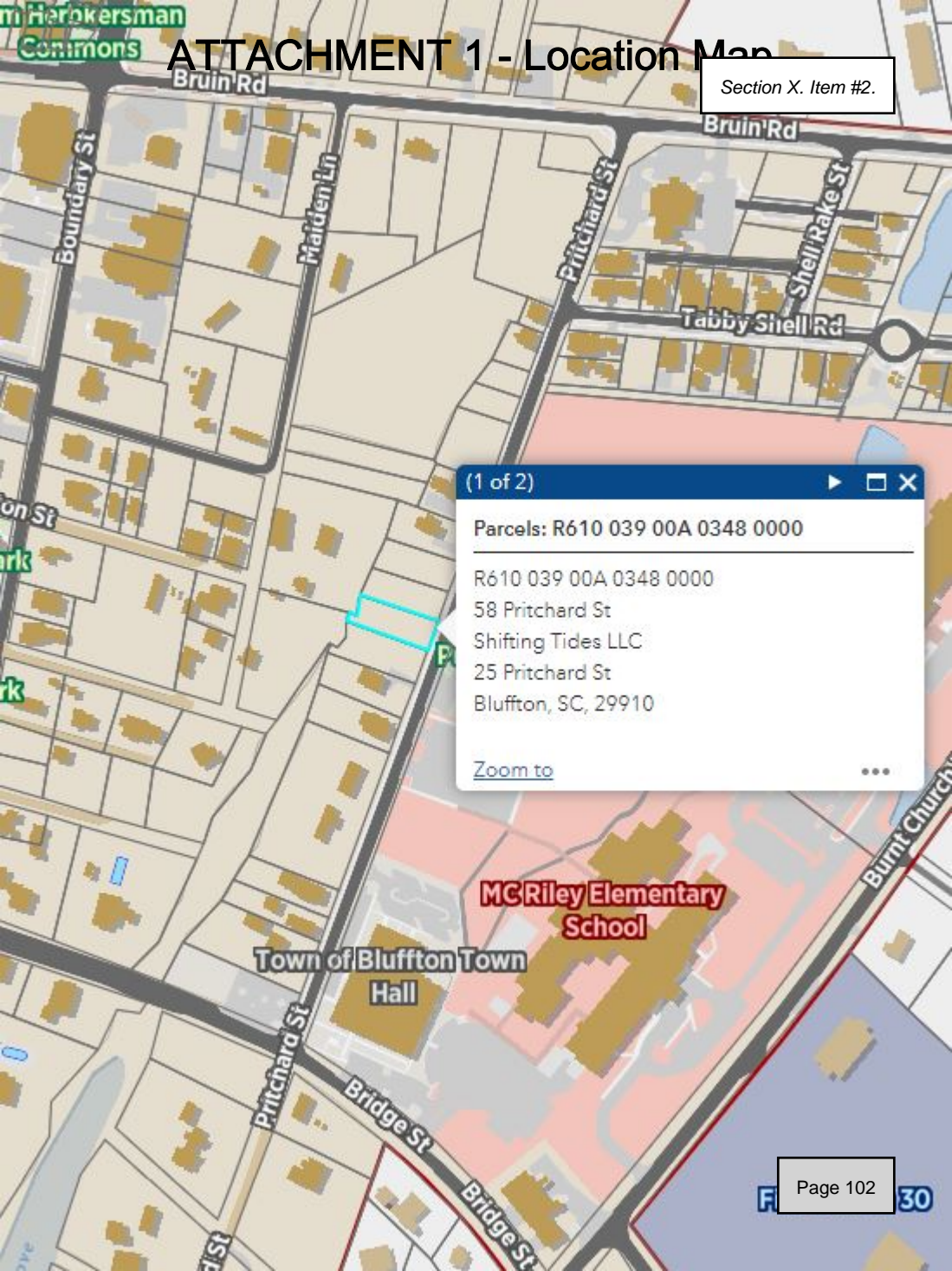
4. The Site Plan (Sheet S100) must be revised to include the driveway and accurate building footprints.
5. Per Sections 5.15.8.F. and 5.15.5.F. the square windows on the Carriage House must be revised to match those on the primary structure.
6. Per Section 5.15.6.H. of the UDO, the PVC clad post shown on stair detail must be revised to a permitted material.
7. Per Section 5.15.6.H. of the UDO, revise the louvered panel details so that all areas are consistent, and all columns align with the "piers" supporting them.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Site Plan & Elevations
5. Landscape Plan & Canopy Coverage
6. HPRC Report

ATTACHMENT 1 - Location Map

Section X. Item #2.



(1 of 2)

Parcels: R610 039 00A 0348 0000

R610 039 00A 0348 0000

58 Pritchard St

Shifting Tides LLC

25 Pritchard St

Bluffton, SC, 29910

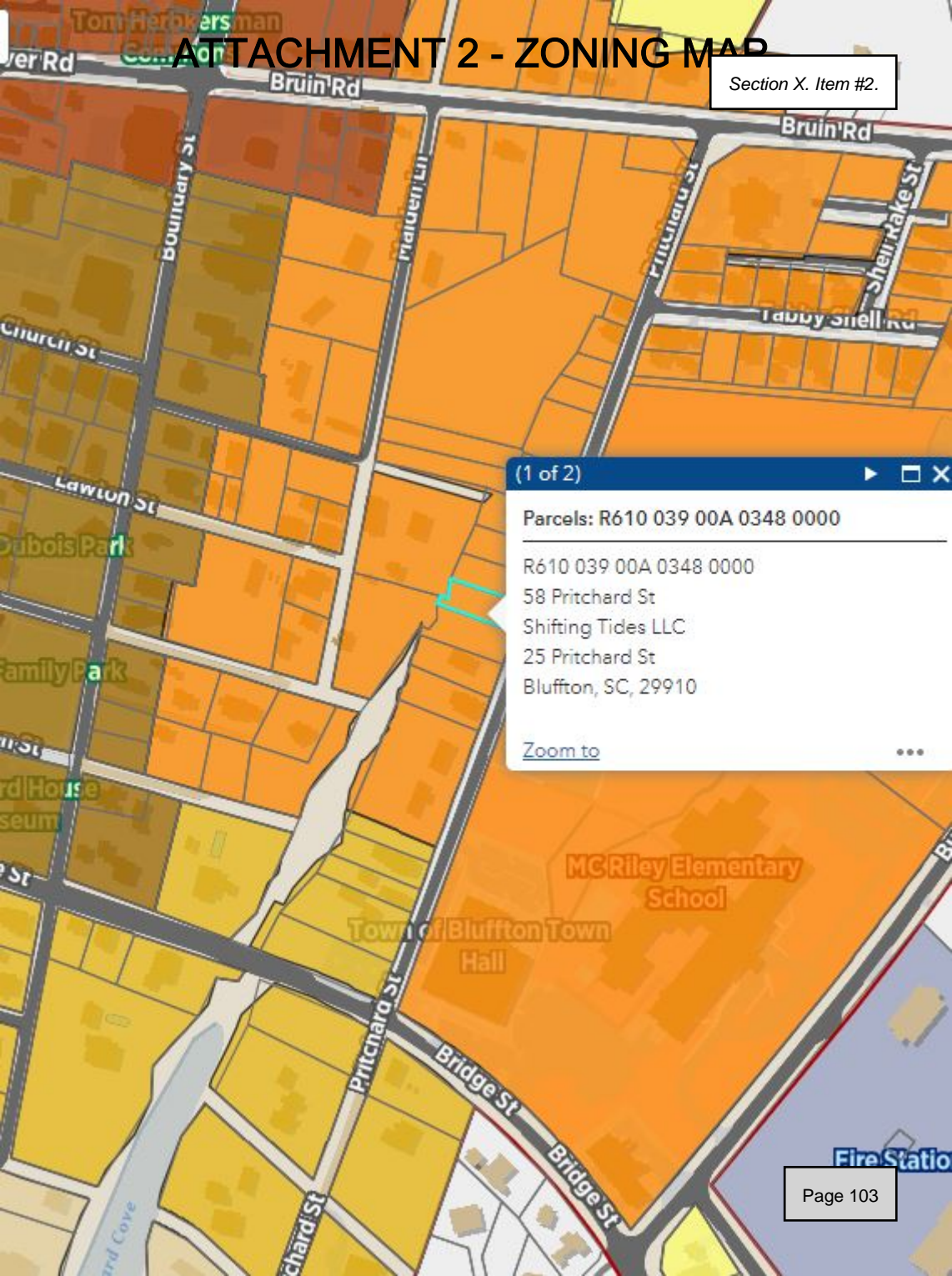
[Zoom to](#)

Town of Bluffton Town
Hall

MGRiley Elementary
School

ATTACHMENT 2 - ZONING MAP

Section X. Item #2.



(1 of 2)

Parcels: R610 039 00A 0348 0000

R610 039 00A 0348 0000

58 Pritchard St

Shifting Tides LLC

25 Pritchard St

Bluffton, SC, 29910

[Zoom to](#)



ATTACHMENT 3

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

Section X. Item #2.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Andrew Pietz	Name: Shifting Tides LLC		
Phone: 3302852075	Phone: 3302852075		
Mailing Address: 25 Pritchard St. Bluffton	Mailing Address: 25 Pritchard St. Bluffton 29910		
E-mail: Andrewjpietz@gmail.com	E-mail: Andrewjpietz@gmail.com		
Town Business License # (if applicable): 03-20-03209			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: 58 Pritchard St.	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: 58 Pritchard St. Bluffton 29910	Application for:		
Zoning District: Historic General	<input checked="" type="checkbox"/> New Construction		
Acreage: 0.217	<input type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): R610-039-00A-0348-0000	<input type="checkbox"/> Relocation		
Project Description: New Residential with detached Garage			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Andrew Pietz</i>		Date: 4/28/2023	
Applicant Signature: <i>Andrew Pietz</i>		Date: 4/28/2023	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type					
Building Setbacks	Front:18	Rear:26	Rt. Side:11	Lt. Side:10	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure	Main House			3291	
Ancillary	Garage			484	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1940 SF House/484 SF Garage=2424		
Impervious Drive, Walks & Paths			370		
Open/Covered Patios			664		
A. TOTAL IMPERVIOUS COVERAGE			3458		
B. TOTAL SF OF LOT			9453		
% COVERAGE OF LOT (A/B= %)			36.5%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Slab	Columns	wood		
Walls	wood	Windows	Vinyl		
Roof	metal	Doors	Wood		
Chimney	N/A	Shutters	N/A		
Trim	Composite	Skirting/Underpinning	wood		
Water table	Composite	Cornice, Soffit, Frieze	Composite		
Corner board	Composite	Gutters	metal Aluminum 14-18 Ga.		
Railings	Wrought Iron	Garage Doors	Metal		
Balusters	Wrought Iron	Green/Recycled Materials			
Handrails	Wrought Iron				



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Andrew Pietz

Signature of Property Owner or Authorized Agent

Andrew Pietz

Printed Name of Property Owner or Authorized Agent

Andrew Pietz

Signature of Applicant

Andrew Pietz

Printed Name of Applicant

4/27/2023

Date

4/27/2023

Date

ATTACHMENT 3

Section X. Item #2.

Project narrative for 58 Pritchard St. Bluffton Sc. 29910

New residential home with a proposed heated of 3291 Sqft. and a detached garage of 484 Sqft. House to be proposed as an additional building type. With a first floor enclosed 1940 Sqft. and 1351 sqft. up. Garage will be a two car garage 22' x 22' with two garage bays.

GENERAL CONDITIONS

- 1) THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND CONDITIONS ON THE JOB. WHERE CONDITIONS PREVENT OBTAINING DIMENSIONS THEY SHOULD BE CHECKED BY ENGINEER.
- 2) CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY TO ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO WORKING HOURS. CONTRACTORS AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- 3) ALL WORK PERFORMED BY THE CONTRACTORS SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, MUNICIPAL, STATE AND FEDERAL LAWS AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON DRAWINGS OR IN SPECIFICATIONS. CONTRACTOR TO BE RESPONSIBLE FOR REQUIRED INSPECTION(S) OF HIS WORK.
- 4) THE CONTRACTORS SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF HE CANNOT COMPLY WITH THE WORK CALLED FOR ON THE DRAWINGS.
- 5) THE CONTRACTORS SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES, SPECIFICATIONS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- 6) CONTRACTOR TO VERIFY NEW WORK WITH SURVEY.
- 7) CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, FITTING OR PATCHING TO COMPLETE THE WORK OR MAKE THE PARTS FIT TOGETHER PROPERLY.
- 8) THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE REMOVAL OR REPLACEMENT OF DAMAGED OR DEFECTIVE MATERIAL OR POOR WORKMANSHIP. THEY SHALL REPLACE OR REPAIR AS DIRECTED BY THE ARCHITECT/ENGINEER. ALL SUCH DAMAGED OR DEFECTIVE MATERIALS, WHICH SHALL APPEAR WITHIN A PERIOD OF TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE JOB.
- 9) THE CONTRACTOR(S) SHALL REMOVE ALL RUBBISH, WASTE MATERIALS AND SURPLUS MATERIALS THAT ARE A BY-PRODUCT OF THEIR WORK.
- 10) CONTRACTORS SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORKERS.
- 11) THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- 12) THE CONTRACTOR(S) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
- 13) NO CHANGES OR MODIFICATIONS TO THE WORK SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/OR ARCHITECT/ENGINEER. FAILURE TO OBTAIN THIS APPROVAL SHALL CAUSE THE CONTRACTOR OR SUB-CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR SUBSEQUENT MODIFICATION OF THE WORK REQUIRED BY OWNER OR ANY REGULATORY AUTHORITY.
- 14) THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRESS IN CONJUNCTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS, NOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.

MASONRY SPECIFICATIONS

1. ALL MASONRY WORK TO COMPLY WITH BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530-02/ASCE 5-02/TMS 402-02.
2. ALL HORIZONTAL AND VERTICAL JOINTS TO BE 3/8" THICK.
3. MORTAR JOINTS BETWEEN CONCRETE BLOCKS SHALL BE MADE STRAIGHT AND WITH UNIFORM THICKNESS. BED JOINTS FOR THE FACE AND WEB SHELLS SHALL BE FULLY MORTARED.
4. HORIZONTAL AND VERTICAL CELLS OF CONCRETE BLOCKS THAT CONTAIN REINFORCING BARS, LEDGER BOLTS OR OTHER INSERTS SHALL BE FILLED SOLID WITH CEMENT GROUT.
5. ALL BRICK SHALL CONFORM TO ASTM SPEC C62 AND C216.
6. ALL PIPES THAT PASS THROUGH THE MASONRY SHALL BE SLEEVED TO PREVENT THEM FROM BONDING WITH THE MASONRY.
7. FOR MASONRY BLOCK, HORIZONTAL JOINT REINFORCEMENT SHALL CONSIST OF AT LEAST (2) WIRES OF W1.1 SPACED NOT MORE THAN 16" ON CENTER VERTICALLY.
8. FOR BLOCK AND VENEER MASONRY, HORIZONTAL MASONRY WALL TIES SHALL BE A 3 WIRE LADDER TYPE NO. 8 GAUGE (W1.1). SPLICES SHALL BE LAPPED A MINIMUM OF 6". MINIMUM EMBEDMENT OF WIRE TO BE 1/2 THE THICKNESS OF THE VENEER UNIT. CROSS LADDER WIRES TO BE SMOOTH NO. 12 GAUGE WIRE 16" ON CENTER. SPACE REINFORCEMENT EVERY 16" VERTICALLY.
9. SELF ADHERING FLASHING SHALL BE USED AT STEEL CORNERS WHERE END DAMS ARE LOCATED ALONG THE WEB. THEY ARE TO BE MADE OF 40 MIL RUBBERIZED ASPHALT.
10. MORTAR SHALL BE TYPE S FOR BLOCK AND N FOR BRICK. SAND IS TO BE FREE OF SALT, DIRT OR ANY OTHER ORGANIC MATTER. WATER IS TO BE POTABLE.
11. BOND BEAMS TO HAVE THEIR HORIZONTAL REBARS CONTINUE AROUND CORNERS 2" OR 40 BAR DIAMETERS WHICH EVER IS MORE. ALL SPLICING OF REBARS TO BE 40 BAR DIAMETERS. BOND BEAMS TO BE LOCATED AT THE TOP AND BOTTOM OF WALL UNLESS OTHERWISE SHOWN.
12. VERTICAL REBARS TO BE LOCATED WITHIN 8" OF CORNERS AND END WALLS. VERTICAL AND HORIZONTAL BARS SHALL BE PLACED AROUND ALL OPENINGS AND EXTEND PAST EACH OTHER A MINIMUM OF 40 BAR DIAMETERS.
13. STEEL LINTEL BEARING TO BE 8" MINIMUM ON CONCRETE BLOCK AND 4" ON BRICK UNITS.
14. STACK BOND TO HAVE INSTALLED A MINIMUM OF (1) #5 REBAR IN EACH PIECE OF BLOCK.
15. WALL REINFORCING SHALL NOT BE LESS THAN #5 #32" ON CENTER VERTICAL AND (2) #5 REBARS FOR BOND BEAM.

CONCRETE SPECIFICATIONS

- 1) FOOTINGS, SLABS, AND WALLS SHALL BE 3000 PSI CONCRETE UNLESS OTHERWISE NOTED.
- 2) CONTRACTOR TO VERIFY SOIL BEARING CAPACITY TO BE NOT LESS THAN 4000 PSF. NO FOOTINGS OR SLABS ARE TO BE CAST ON UNCONTROLLED FILL, LOOSE SOIL, ORGANIC MATERIAL, FROZEN GROUND, MUD, CLAY OR OTHER UNSUITABLE MATERIALS. IF ANY OF THESE SITUATIONS ARE PRESENT IT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 3) CONCRETE SHALL BE AIR-ENTRAINED WITH AN AIR CONTENT NOT LESS THAN 5% OR MORE THAN 7%.
- 4) CONCRETE SLUMP SHALL NOT BE MORE THAN 5". ENGINEER HAS APPROVAL TO REJECT CONCRETE IF SLUMP IS LARGER THAN SPECIFIED.
- 5) THE ADDITION OF ANY ADMIXTURES TO CONCRETE SHALL BE APPROVED BY THE ENGINEER.
- 6) TWO CONCRETE STRENGTH TEST CYLINDERS, 6" IN DIAMETER BY 12" SHALL BE TAKEN FROM EACH TRUCK DELIVERY UNLESS OTHERWISE APPROVED BY THE ENGINEER. COMPRESSIVE STRENGTH TESTS TO BE TAKEN FOR EACH DAY'S POUR EXCEEDING 5 CUBIC YARDS. TWO SPECIMENS TO BE TESTED @ 28 DAYS. FIELD CURED CYLINDERS SHALL BE CURED UNDER FIELD CONDITIONS IN ACCORDANCE WITH "MAKING AND CURING CONCRETE TEST SPECIMENS IN THE FIELD" (ASTM C 31).
- 7) ALL REBARS TO BE GRADE 60 K81 STEEL AND SHALL BE FREE OF RUST, SCALE AND DIRT.
- 8) ALL REBARS SHALL BE SECURELY TIED IN PLACE AND ADEQUATELY SUPPORTED. ALL REBAR SPLICES TO BE MINIMUM 40 BAR DIAMETER. REBAR SHALL BE CONTINUOUS THROUGH CORNERS WITH SPLICES LOCATED NOT CLOSER THAN 3' FROM CORNERS.
- 9) ALL FOOTINGS ARE TO HAVE THEIR REBAR PLACED NO CLOSER THAN 3' TO THE SUPPORTING SOIL.
- 10) NO WEIGHT SHALL BE PLACED UPON FOOTINGS OR WALLS UNTIL 7 DAYS AFTER PLACEMENT AS LONG AS THE CONCRETE STRENGTH HAS REACHED 2500 PSI OR BY ENGINEER'S APPROVAL.
- 11) CONTRACTOR TO NOTIFY ENGINEER FOR INSPECTION OF ALL REBAR WORK PRIOR TO PLACEMENT OF CONCRETE.
- 12) ALL FOOTINGS TO REST ON VIRGIN UNDISTURBED SOIL. IF SOIL IS DISTURBED, MECHANICAL COMPACTION TO 95% RELATIVE COMPACTION IN SOIL LIFTS NOT EXCEEDING 6".
- 13) (2) #5 REBARS TO BE PLACED ON ALL FOUR SIDES OF WINDOW AND DOOR OPENINGS AND OTHER LARGE OPENINGS. EACH END OF THE #5 REBAR TO EXTEND 2' BEYOND THE OPENING.
- 14) STEEL COLUMN TOP PLATE TO BE MINIMUM 1/2" THICK AND COVER ALL SUPPORTING MEMBERS. BASE PLATES TO BE 10" X 10" UNLESS OTHERWISE NOTED.
- 15) WELDED WIRE MESH SHOULD BE POSITIONED IN THE TOP 2" OF THE SLAB. FLAT SHEETS TO BE USED WITH AN OVERLAP OF 1'.
- 16) UNDER THE SLAB SHALL BE PLACED 2" OF COMPACTED SAND OVER A 6 MIL VAPOR RETARDER WITH JOINTS NOT LAPPED LESS THAN 6".
- 17) GRANULAR FILL, SUCH AS GRAVEL OR A MIXTURE OF SAND AND GRAVEL SHALL BE USED AS FILL UNDER THE VAPOR BARRIER. IF SOIL IS DISTURBED, MECHANICAL COMPACTION TO 95% RELATIVE COMPACTION IN SOIL LIFTS NOT EXCEEDING 8".

STRUCTURAL STEEL

1. SHOP DRAWINGS - SUBMIT SHOP DRAWINGS INCLUDING COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBER, PROCEDURES AND DIAGRAM. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLES, AND OTHER PERTINENT DATA. INCLUDE WELDS BY STANDARD AWS SYMBOLS AND SHOW SIZE, LENGTH AND TYPE OF EACH WELD. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES.
2. CODE FOR FABRICATION TO BE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) 9TH EDITION.
3. STRUCTURAL STEEL SHAPES TO BE A992, PLATES AND BARS TO BE A36 STEEL.
4. ANCHOR BOLTS ASTM A325.
5. HIGH STRENGTH THREADED FASTENERS, HEAVY HEXAGON STRUCTURAL BOLTS, NUTS AND WASHERS TO BE A325 OR A490 BOLTS.
6. ELECTRODES FOR WELDING AWS A5.1 OR A5.5 E70XX. WELDING TEMPERATURES SHALL BE IN ACCORDANCE WITH THE AISC AND AWS SPECIFICATIONS. ANY STRUCTURAL STEEL DAMAGED IN WELDING IS TO BE REPLACED OR REINFORCED AS ACCEPTABLE TO THE ENGINEER.
7. STRUCTURAL STEEL PRIMER PAINT TO BE SSPC - PAINT 13. EXPOSED STEEL TO HAVE ONE COAT OF A ZINC RICH PRIMER, AN INTERMEDIATE COAT OF EPOXY AND A FINISH COAT OF URETHANE.
8. NON METALLIC SHRINKAGE RESISTANT GROUT TO BE PREMIXED, NON-CORROSIVE AND NON-STAINING CONSISTING OF SELECTED SILICA SAND, PORTLAND CEMENT, SHRINKAGE COMPENSATING AGENTS, PLASTICIZING AND WATER REDUCING AGENTS.
9. FABRICATE AND ASSEMBLE STRUCTURAL ASSEMBLIES IN SHOP TO GREATEST EXTENT POSSIBLE. FABRICATE ITEMS OF STRUCTURAL STEEL IN ACCORDANCE WITH AISC SPECIFICATIONS AND AS INDICATED ON FINAL SHOP DRAWINGS.
10. ALL CONNECTIONS SHOULD BE CONSTRUCTED AS SHOWN ON THE DRAWINGS. ALTERNATE CONNECTION DESIGNS SHALL ONLY BE ALLOWED WITH PRIOR APPROVAL OF THE ENGINEER. CALCULATION AND SHOP DRAWINGS SHALL BE SUBMITTED BEARING THE ENGINEER'S SEAL AND SIGNATURE.
11. CONNECTIONS MADE WITH UNMARKED BOLTS AND NUTS WILL BE REJECTED.
12. CONNECTIONS SHALL BE DETAILED OR SCHEDULED. NO CONNECTIONS SHALL CONSIST OF WELDS DEVELOPING 10,000 POUND CAPACITY. MINIMUM WELD SIZE SHALL BE 3/16" FILLET.
13. GAS CUTTING TORCHES SHALL NOT BE USED TO CORRECT FABRICATION ERRORS WITHOUT THE APPROVAL OF THE ENGINEER.
14. ALL STRUCTURAL STEEL THAT IS LOCATED IN EXTERIOR UNHEATED SPACES, INCLUDING STEEL DIRECTLY EXPOSED TO WEATHER SHALL BE POWER TOOL CLEANED AND PAINTED WITH THREE COATS OF OIL BASED PAINT IN ACCORDANCE WITH THE STEEL STRUCTURES PAINTING COUNCIL.

STEEL NON-COMPOSITE FLOOR DECK

1. STEEL DECK DESIGN, DETAILING, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE DESIGN MANUAL FOR STEEL DECK DESIGN, DETAILING, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE DESIGN MANUAL FOR DESIGN MANUAL FOR COMPOSITE DECKS, FORM DECKS AND ROOF DECKS BY THE STEEL DECK INSTITUTE (SDI). FORM DECKS AND ROOF DECKS BY THE STEEL DECK INSTITUTE (SDI). FORM DECKS AND ROOF DECKS BY THE STEEL DECK INSTITUTE (SDI). BY THE STEEL DECK INSTITUTE (SDI).
2. STEEL DECK SHALL CONFORM TO ASTM A653 50 GRADE 33 (FY = 33 KSI)
3. STEEL DECK SHALL BE GALVANIZED WITH A PROTECTIVE ZINC COATING CONFORMING TO ASTM A924, WHICH COATING STEEL DECK SHALL BE GALVANIZED WITH A PROTECTIVE ZINC COATING CONFORMING TO ASTM A924, WHICH COATING DESIGNATION G90.
4. PROVIDE A MINIMUM END BEARING OF 2" OVER SUPPORTS. END LAPS OF SHEETS SHALL BE A MINIMUM OF 2" AND PROVIDE A MINIMUM END BEARING OF 2" OVER SUPPORTS. END LAPS OF SHEETS SHALL BE A MINIMUM OF 2" AND SHALL OCCUR OVER SUPPORTS.
5. ALL OPENINGS LARGER THAN 12", AND AS DETAILED, SHALL HAVE STEEL FRAMING SUPPORTING ALL EDGES. SEE ALL OPENINGS LARGER THAN 12", AND AS DETAILED, SHALL HAVE STEEL FRAMING SUPPORTING ALL EDGES. SEE DETAILS.
6. ALL METAL DECK WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY SPECIFICATIONS D13. ALL METAL DECK WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY SPECIFICATIONS D13. PROVIDE WELDING WASHERS FOR ALL FLOOR DECK WELDS.
7. SHOP DRAWINGS - SUBMIT SHOP DRAWINGS INCLUDING COMPLETE DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBER, PROCEDURES AND DIAGRAMS. INCLUDE DETAILS OF CUTS, CONNECTIONS, CAMBER, HOLES, AND OTHER PERTINENT DATA. INCLUDE WELDS BY STANDARD AWS SYMBOLS AND SHOW SIZE, LENGTH AND TYPE OF EACH WELD. PROVIDE SETTING DRAWINGS, TEMPLATES AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGES.
8. PORCH DECK SIDELAPS SHALL BE ATTACHED AT ENDS OF CANTILEVERS AND AT A MAXIMUM SPACING OF 12" O.C. FROM PORCH DECK SIDELAPS SHALL BE ATTACHED AT ENDS OF CANTILEVERS AND AT A MAXIMUM SPACING OF 12" O.C. FROM CANTILEVERED ROOF DECK ENDS. THE ROOF DECK MUST BE COMPLETELY ATTACHED TO THE SUPPORTS AND AT THE SIDE LAPS BEFORE ANY LOAD IS APPLIED TO THE CANTILEVER.
10. ALL STEEL DECK EDGES SHALL BE SUPPORTED BY A L4X4X FOUR STOP ANGLE, UNLESS NOTED OTHERWISE.

SHEET
1
OF
8

PROJECT:

PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

REVISIONS:

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DATE: 4/28/23

SCALE: NOTED

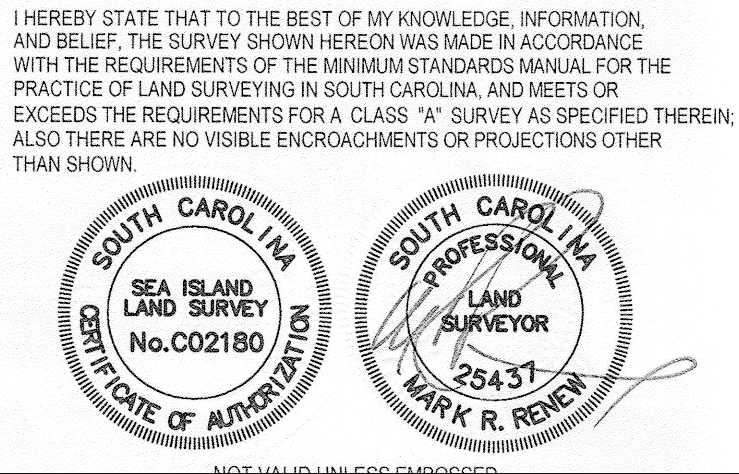
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DRAWING TITLE:

GENERAL NOTES
& SPECIFICATIONS

A001



SILS Sea Island Land Sales
10 Oak Park Drive, Unit C1, Tel: 843-681-1111
Hilton Head Island, SC 29926 Fax: 843-681-1111
E-mail: sils@silshd.com
FILE No : 21135 DW

S1000

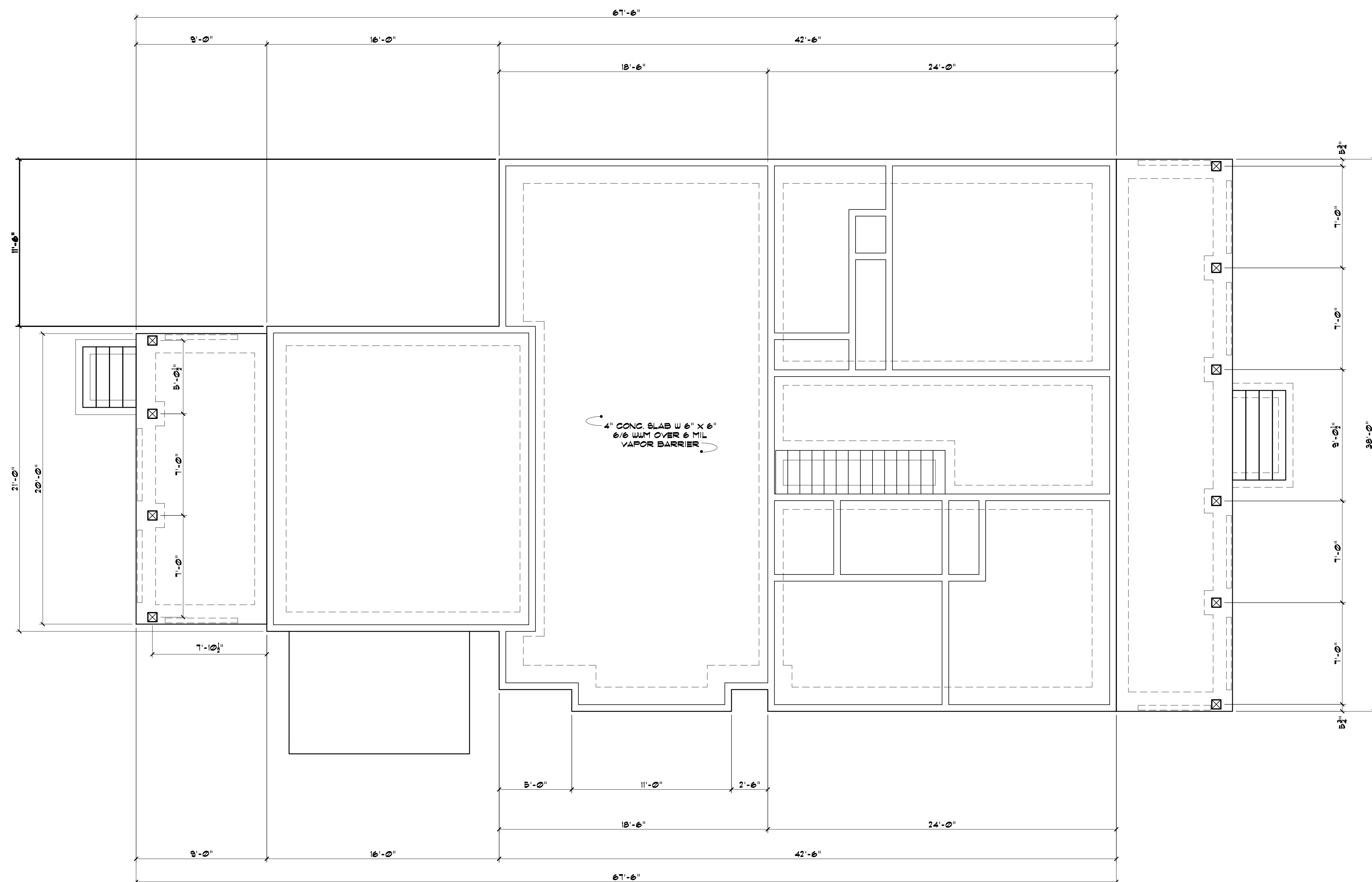
PROJECT:
PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

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FOUNDATION
PLAN

DRAWING NUMBER:
A099

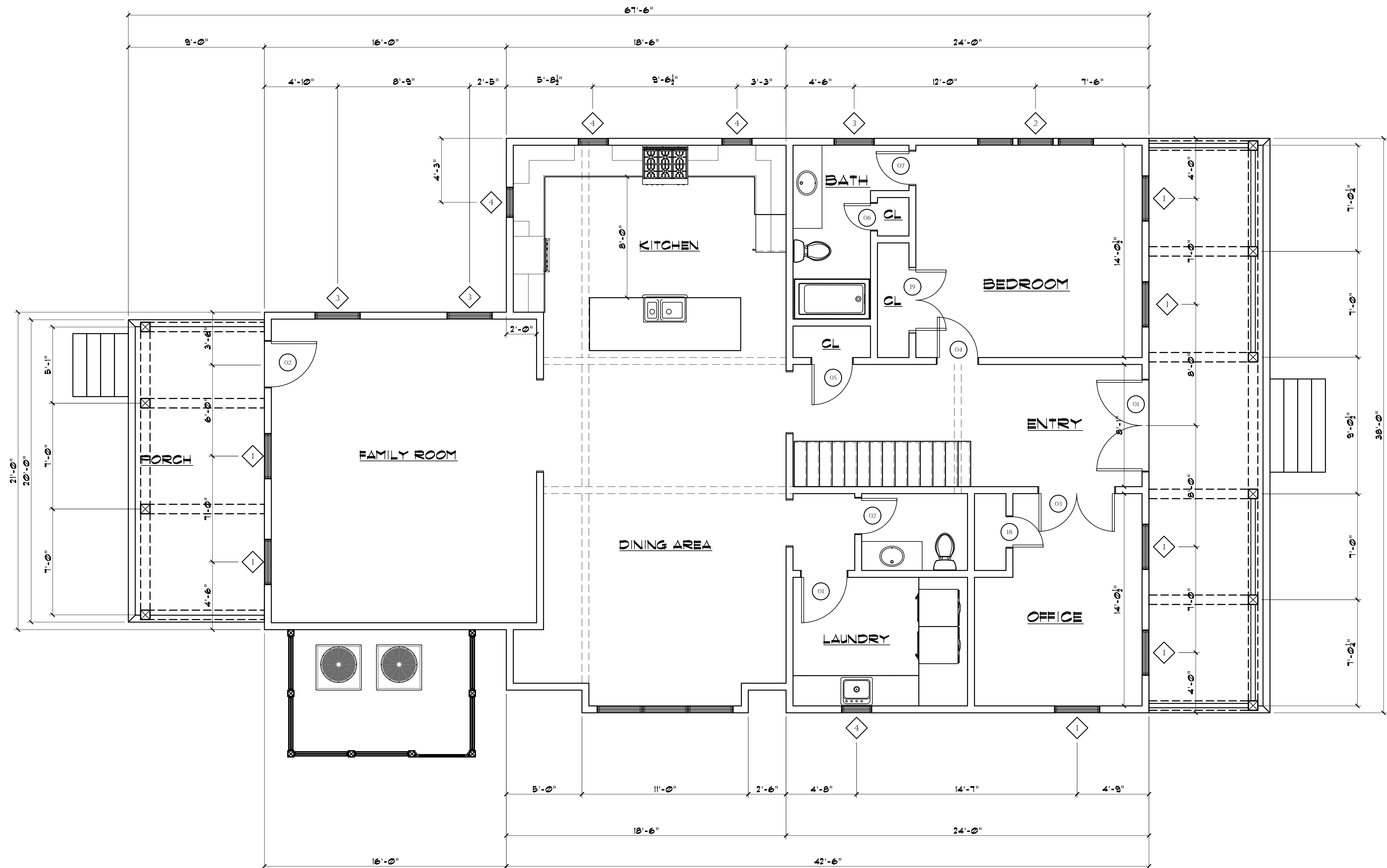


FOUNDATION PLAN

SCALE: 1/4"=1'-0"

DOOR/WINDOW SCHEDULE

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

SHEET
3
OF
8

PROJECT:
PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

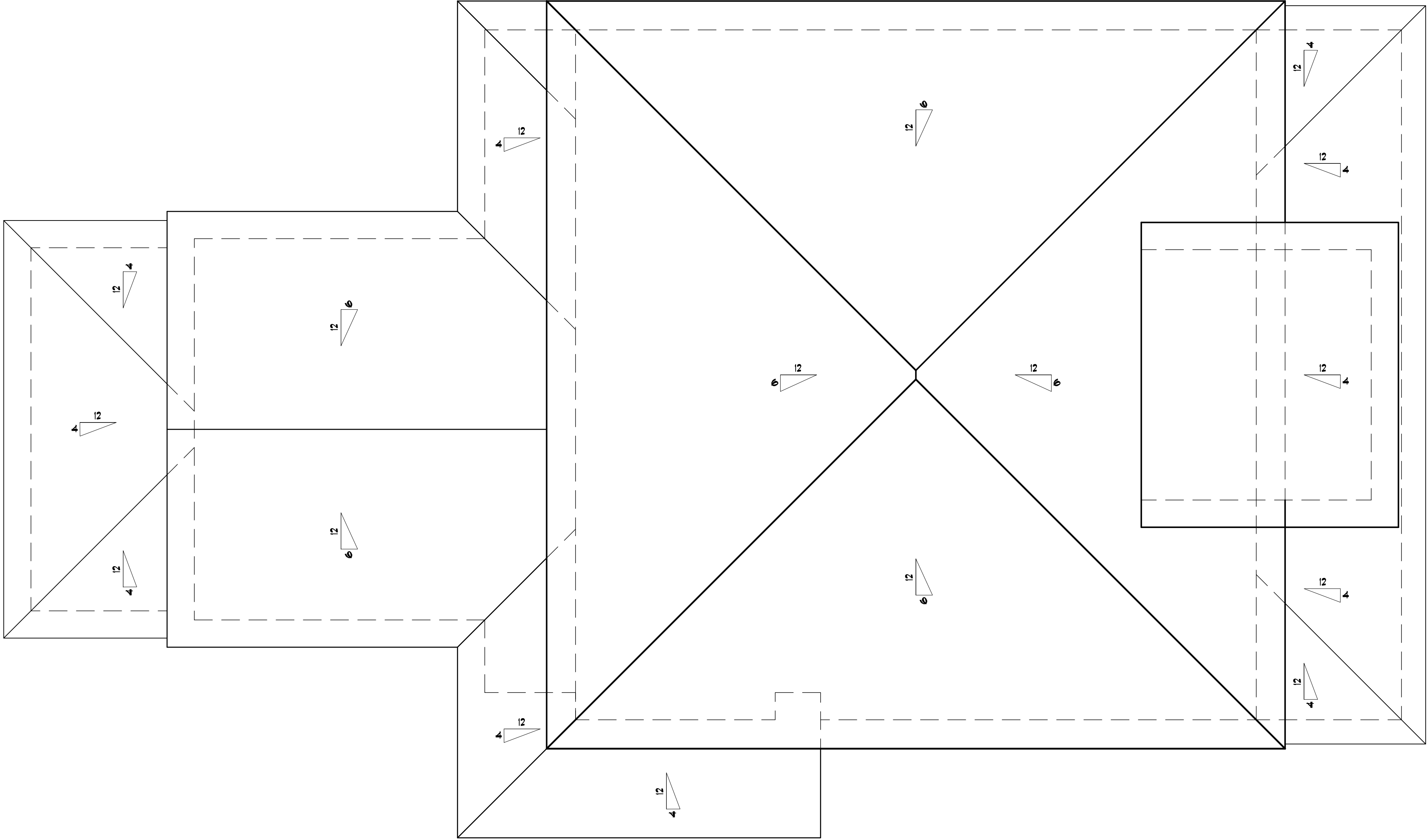
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FIRST FLOOR
PLAN

A100

SHEET
6
OF
8



ROOF PLAN

SCALE: 1/4"=1'-0"

PROJECT:

PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

REVISIONS:

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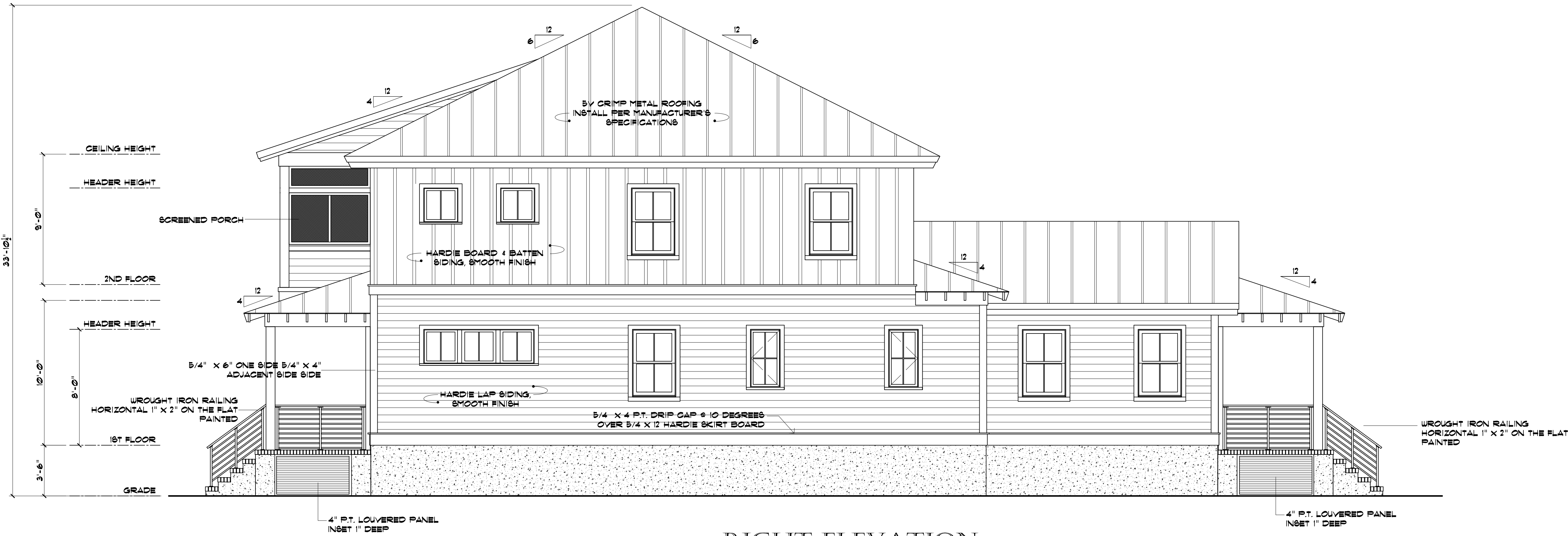
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ROOF
PLAN

DRAWING NUMBER:

A102



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SHEET
4
OF
8

PROJECT:
PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

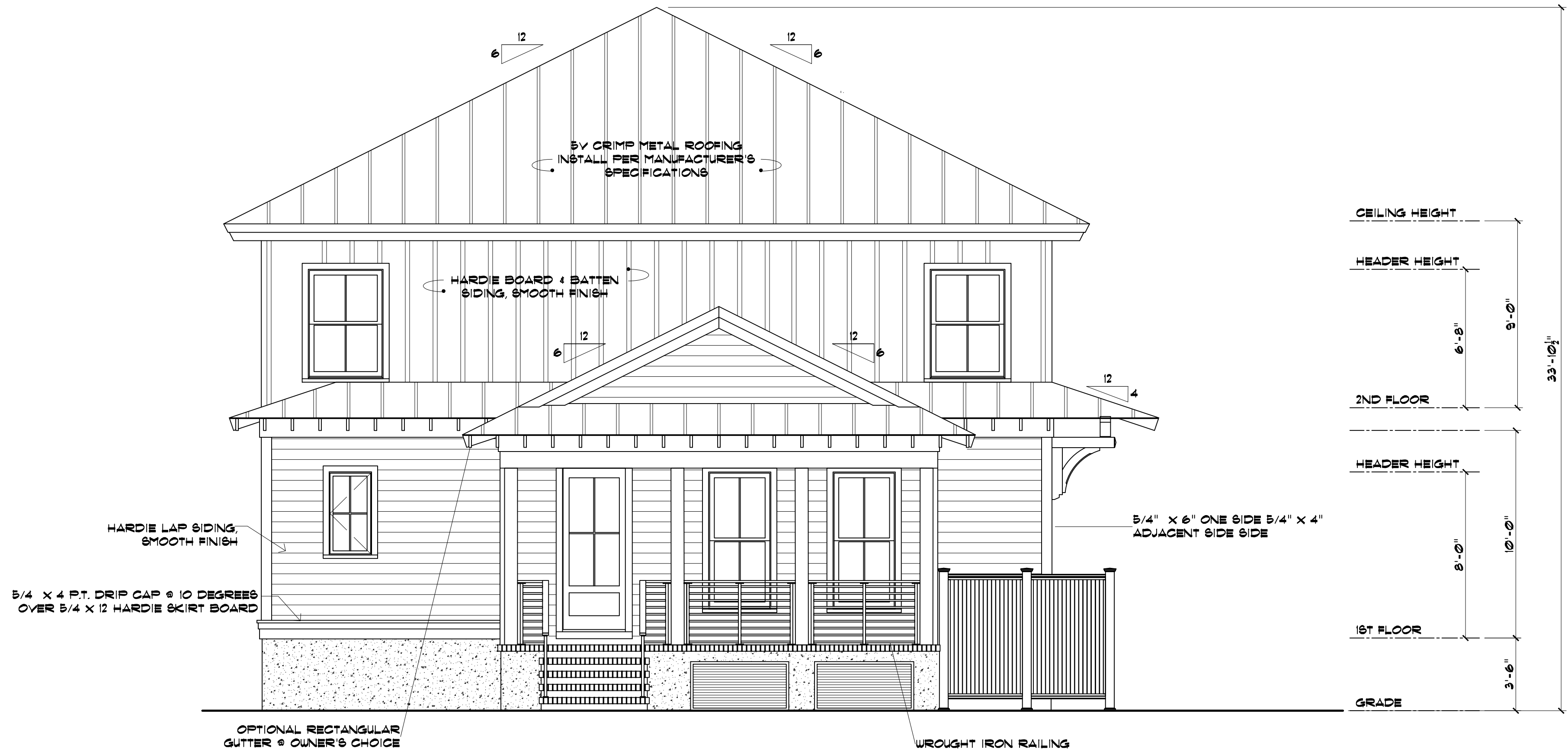
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ELEVATIONS

DRAWING NUMBER:
A200

SHEET
5
OF
8



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

PROJECT:

PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

REVISIONS:

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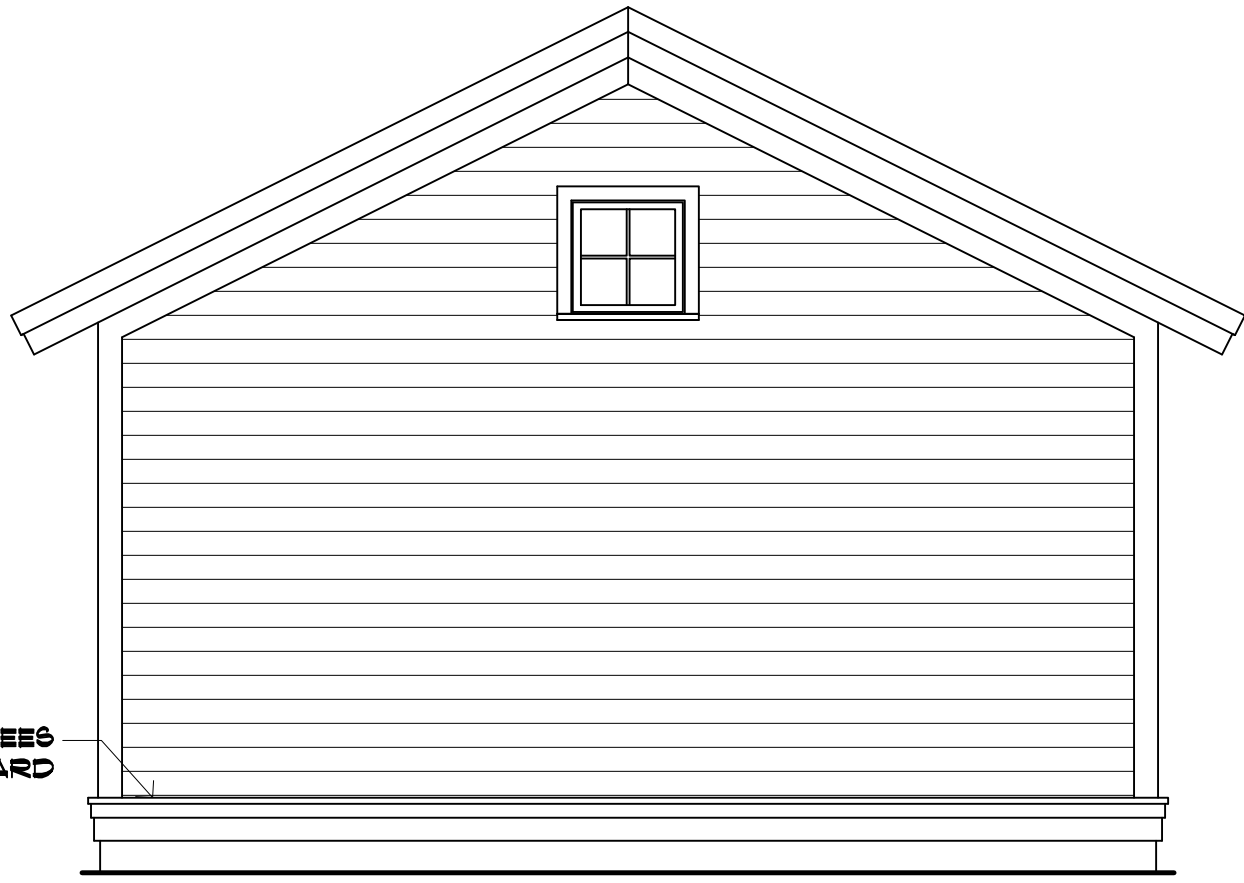
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ELEVATIONS

DRAWING NUMBER:

A201



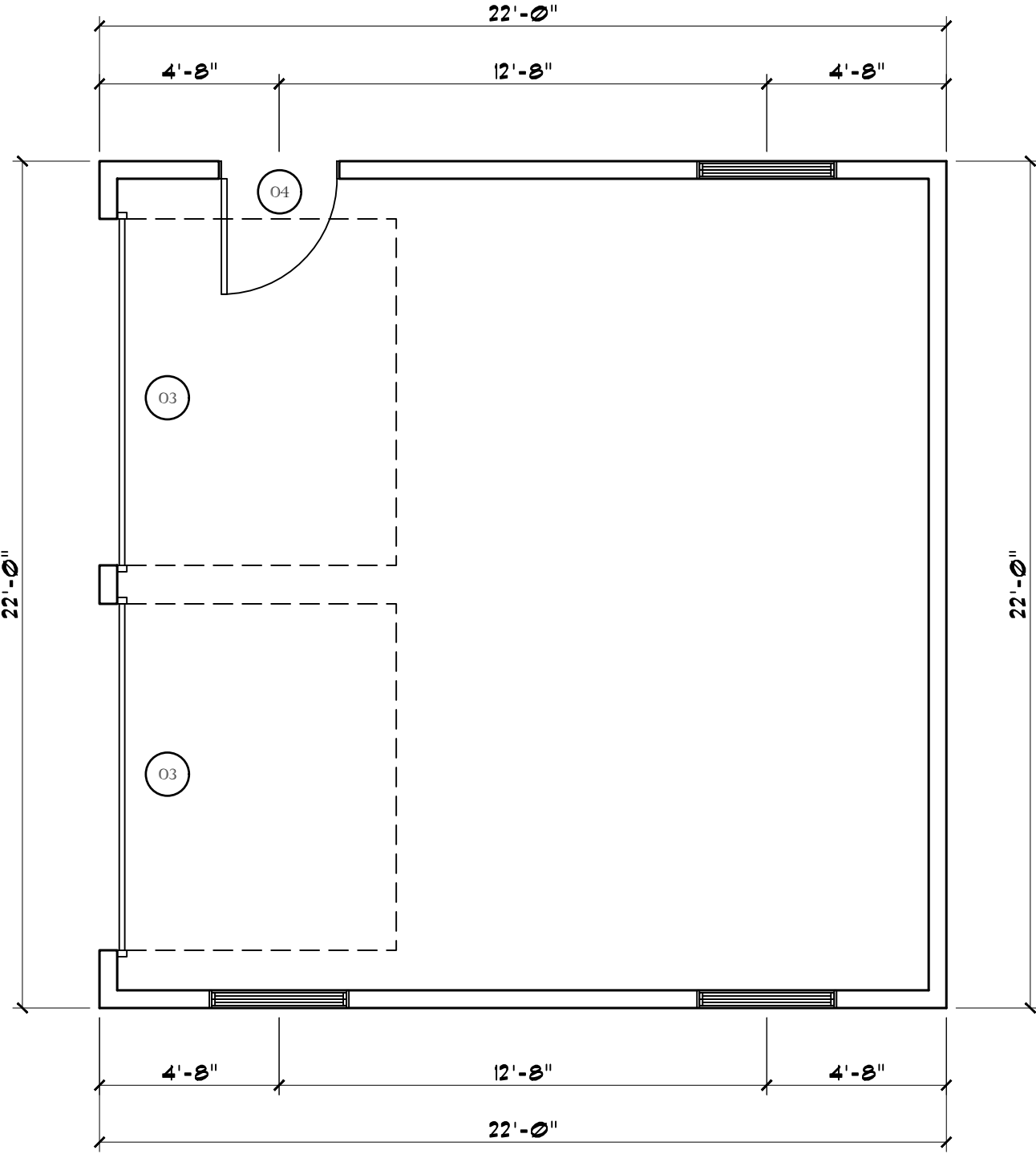
REAR ELEVATION

SCALE: 1/4"=1'-0"



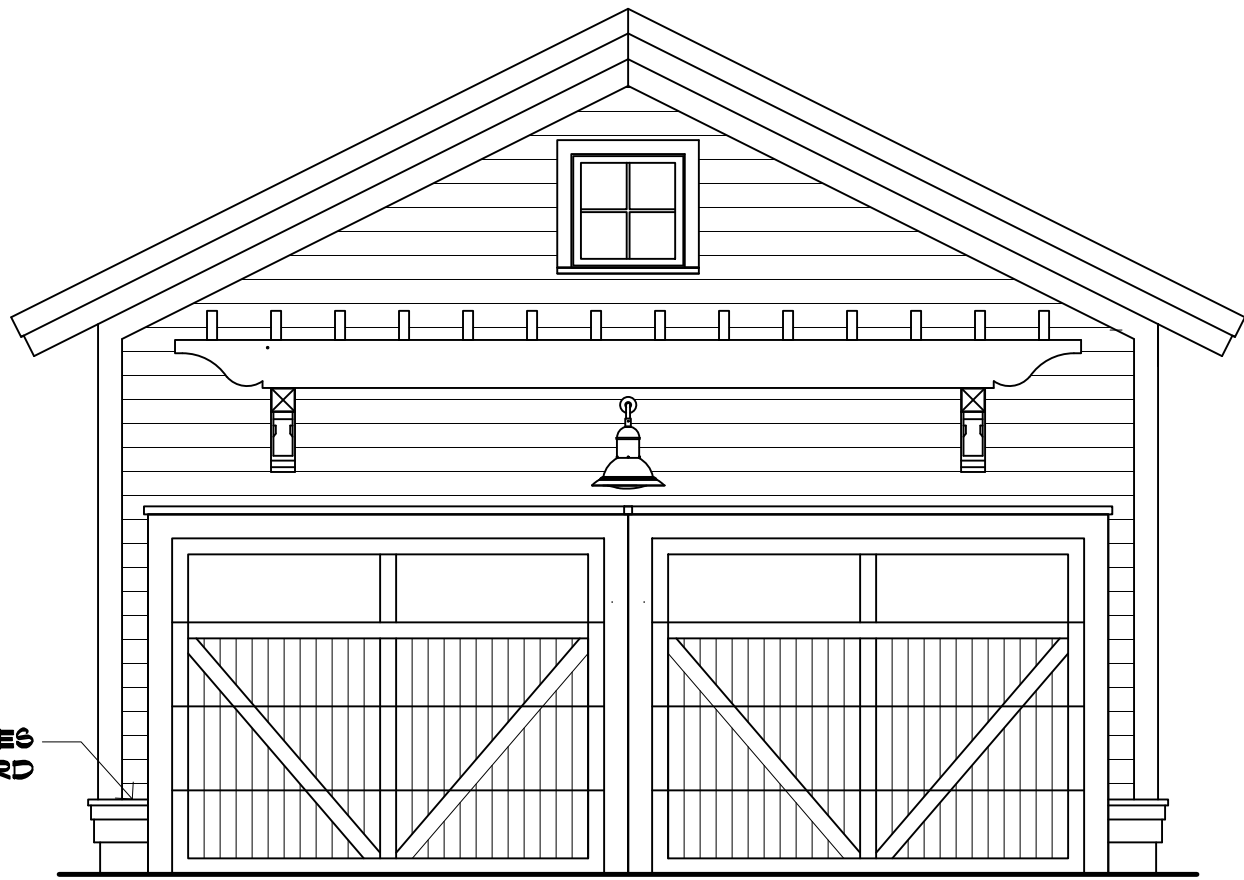
LEFT ELEVATION

SCALE: 1/4"=1'-0"



FLOOR PLAN

SCALE: 1/4"=1'-0"



FRONT ELEVATION



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

SHEET
7
OF
8

PROJECT:

PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

REVISIONS:

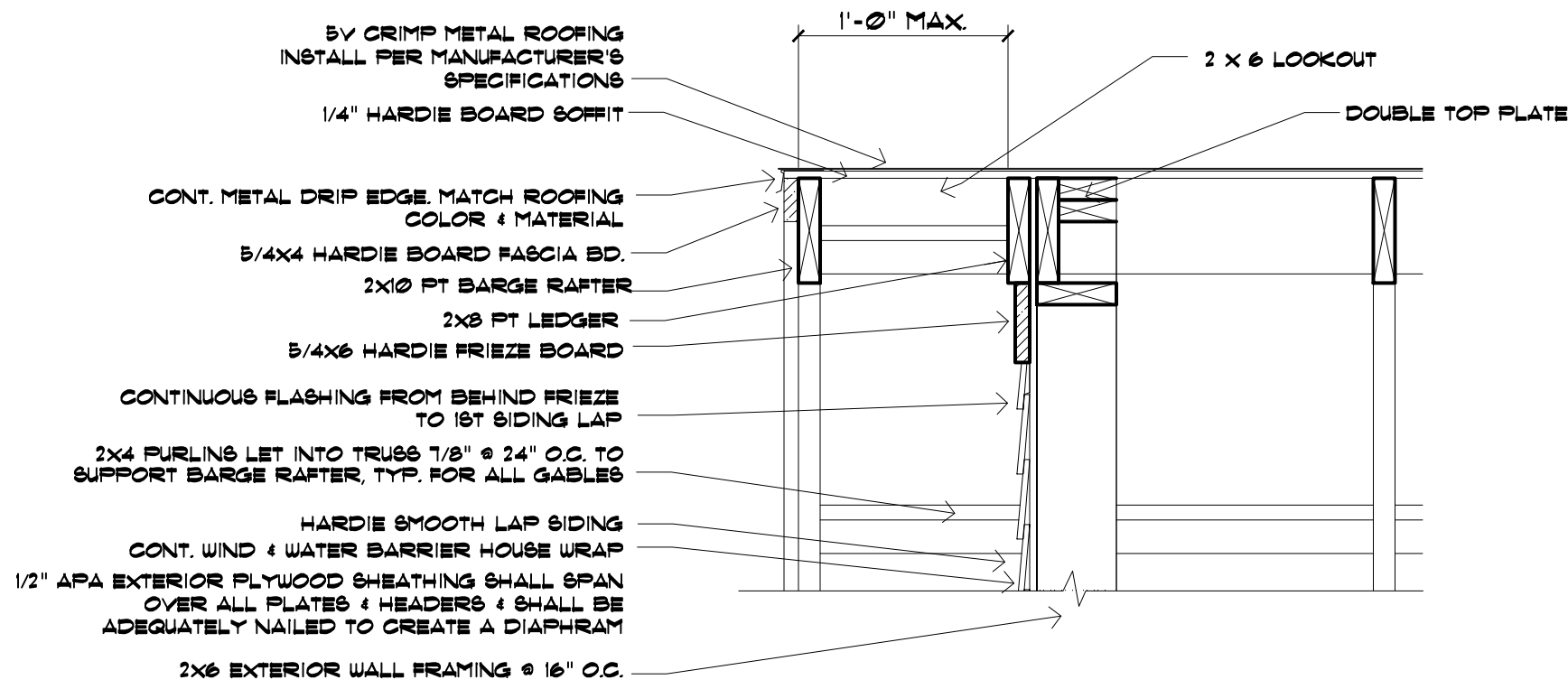
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DATE:	4/28/23
SCALE:	NOTED
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CHECKED BY:	

DRAWING TITLE:
GARAGE

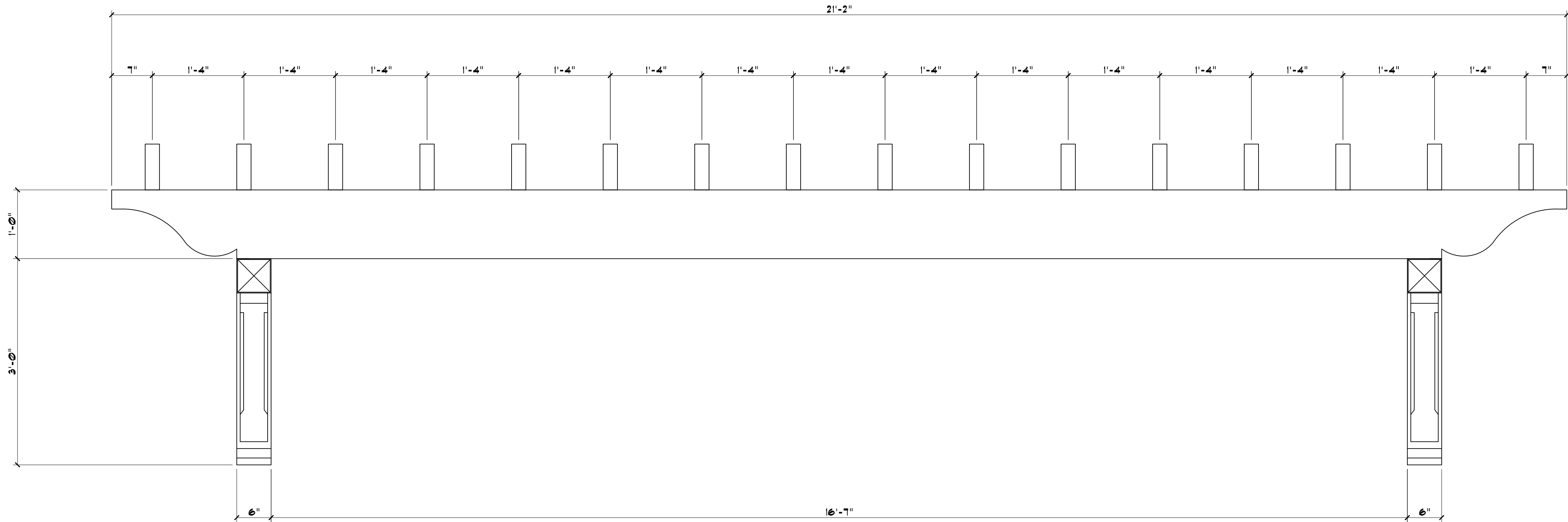
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A106

SHEET
7
OF
8



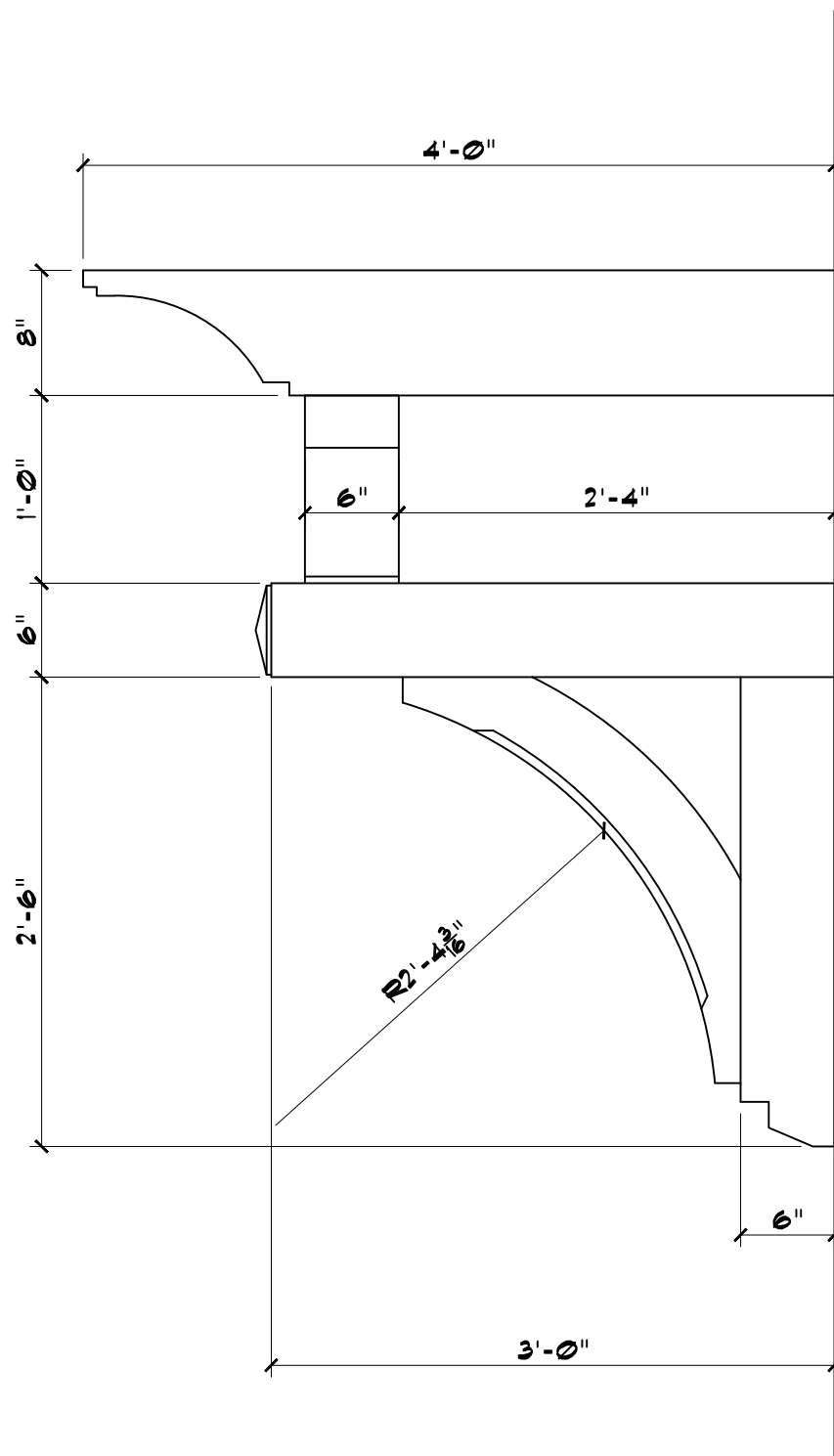
RAKE DETAIL

SCALE: 1"=1'-0"



PERGOLA DETAIL

SCALE: 1"=1'-0"



PROJECT:

REVISIONS:

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DATE: 1/31/21

SCALE: NOTED

DRAWN BY: JGC

CHECKED BY:

DRAWING TITLE:

DRAWING NUMBER:

A107

SHEET
8
OF
8

PROJECT:
PIETZ
RESIDENCE
PRITCHARD ST.
BLUFFTON,
SOUTH CAROLINA

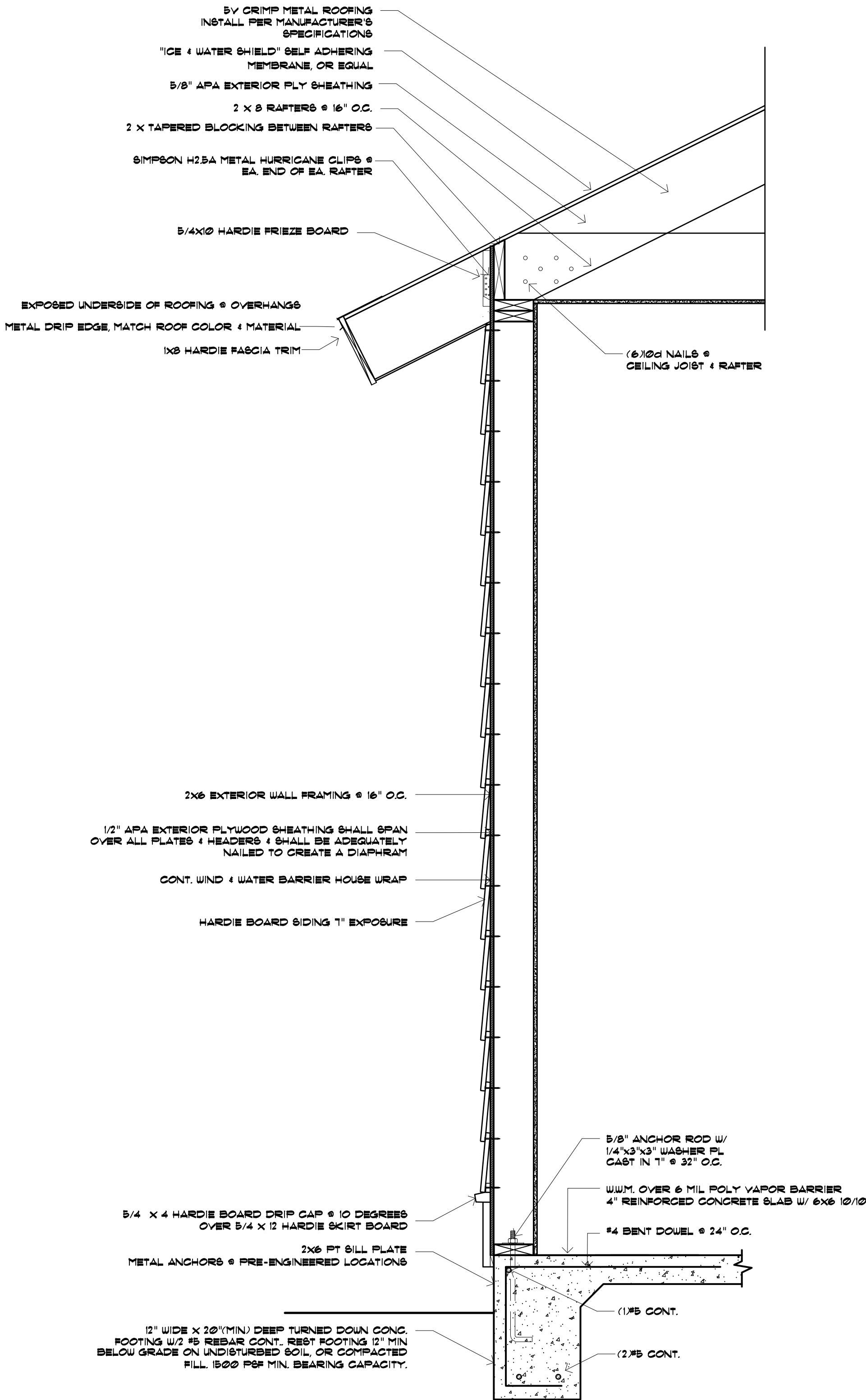
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DATE: 4/28/23
SCALE: NOTED
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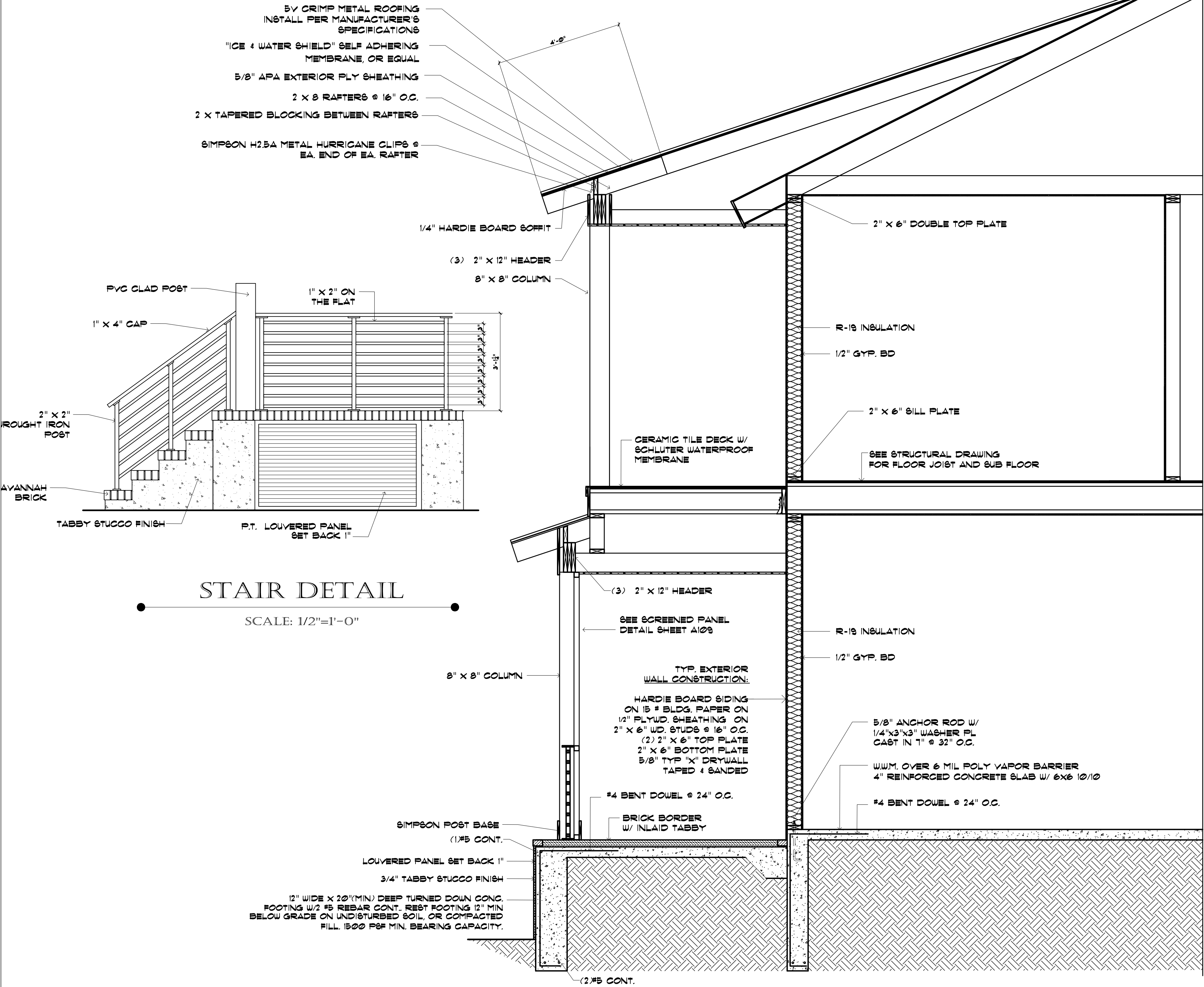
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SECTION
DETAILS

DRAWING NUMBER:
A108



WALL SECTION

SCALE: 1"=1'-0"



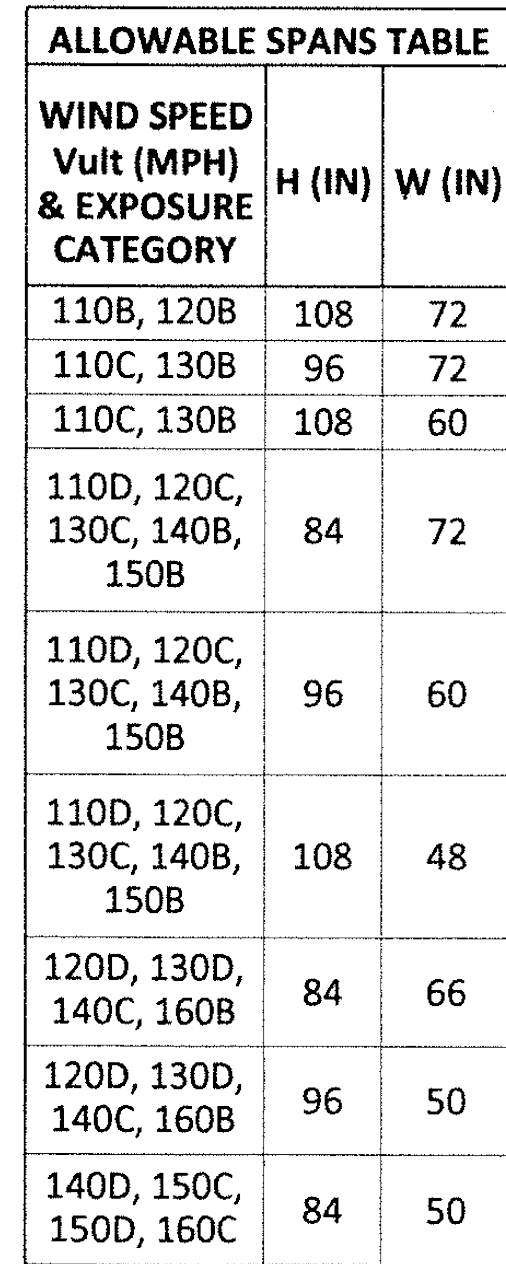
STAIR DETAIL

SCALE: 1/2"=1'-0"

WALL SECTION

SCALE: 1/2"=1'-0"

03/17/2017 - 4:35pm Intern1 V:\Projects\17-4056 Screen Wall MPS\01Drawings\17-4056a - Screen Wall MPS - IBC.dwg





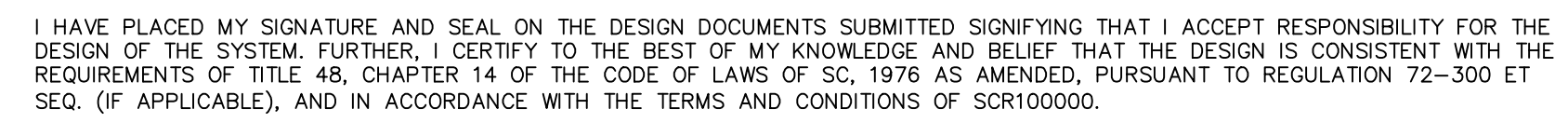
ATTACHMENT 4

Section X. Item #2.



Privacy fence detail
6" Pt Wood Privacy fence

TOWN OF BLUFFTON, SC
SURVEY DATUM: NAVD88



Sheet List Table	
Sheet No.	Sheet Title
1	TITLE SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SWPP PLAN
5	SITE IMPROVEMENTS PLAN
6	GRADING & DRAINAGE PLAN
7	UTILITY PLAN
8	BJWSA DETAILS
9	LANDSCAPE PLAN

PREPARED FOR
SHIFTING TIDES, LLC
25 PRITCHARD STREET
BLUFFTON, SC 29910



REV #	DATE	DESCRIPTION
DATE	04/27/2023	
SHEET NAME		TITLE SHEET
SHEET NO.		1



SHIFTING TIDES, LLC

58 PRITCHARD STREET
BLUFFTON, SC 29910



DATE 04/27/2023

04/27/2023

SHEET NO.

SHEET NO.

2

1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.

- 2) SEA ISLAND LAND SURVEY, LLC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. A HARD COPY AVAILABLE FROM SEA ISLAND LAND SURVEY, LLC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.
- 4) HORIZONTAL DATUM IS LOCAL.
- 5) VERTICAL DATUM IS NAVD88.
- 6) CONTOUR INTERVAL IS 1'
- 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
- 8) BUILDING SETBACKS NG-HD ZONE. SETBACKS CHANGE DEPENDING ON DWELLING CLASSIFICATION AND DETERMINED BY THE LOCAL BUILDING AUTHORITY.
- 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.

1) A TREE AND TOPOGRAPHIC SURVEY ON PARCEL 348, PRITCHARD STREET,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
DRAWN: 8/20/18
RECORDED IN BOOK 150, PAGE 62, DATED 10/19/18
ROD. BEAUFORT COUNTY, SC
BY: WILLIAM J. SMITH S.C.R.L.S. # 26960

ADDRESS: 58 PRITCHARD STREET

DISTRICT: 610 , MAP: 39A , PARCEL: 348

THIS PROPERTY LIES IN F.E.M.A. ZONE X: AE

BASE FLOOD ELEVATION = N/A ; 9.0'

COMMUNITY NO. 450250, PANEL 0426G, DATED: 3/23/21

1. ALL SILT BARRIERS AND OTHER EROSION CONTROL MEASURES MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
2. THE CONTRACTOR SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, AND NO LATER THAN 12:00 PM (NOON) ON THE PREVIOUS FRIDAY, OF ANY CONSTRUCTION EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), BEAUFORT COUNTY SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
5. THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
6. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IF THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.
7. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, VERIFY, AND VERIFY BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
10. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
11. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
12. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THEIR WORK.
14. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE LIMITS OF THE PROJECT SHALL BE PROTECTED AND NOT TO BE CUT OR REMOVED. CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
15. UNSUITABLE AND SUPERFLUOUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFF SITE.
16. THE CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
17. THE DAMAGE TO OR EXTRA EXPENSE CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE.

1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO PREVENT EROSION DURING UTILITY CONSTRUCTION. SILT FENCES SHALL BE BUILT, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE REQUIRED. IF IT RAINS, WATER IS ENCOUNTERED WITHIN THE AREA, THE SILT FENCE MUST BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE CONSTRUCTION ACTIVITIES THAT ARE NOT TO BE INITIATED IMMEDIATELY, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED.
 - A. WHERE STABILIZATION BY THE 14TH DAY IS PRECIPITATED BY SNOW COVER OR FROZEN CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL MAINTAIN A CLEAN SHOULDER FROM PAVED SURFACES TO THE CONSTRUCTION AREA.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
5. TEMPORARY EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGH THE END OF THE YEAR/OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE.
6. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS CONSTRUCTION ACTIVITIES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGH PERMITS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 722-300 & PERMITS OR APPROVALS FOR CONSTRUCTION OF UTILITIES. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGH THE END OF THE YEAR/OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE.
7. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF NOT MORE FREQUENTLY. IF THE INSPECTION REVEALS ANY DEFICIENCIES, THE CONTRACTOR MUST CORRECT OR INCORRECTLY INSTALLED. THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
8. IF STABILIZATION IS REQUIRED ON ANY PORTION OF THE SITE, STABILIZATION MEASURES WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
9. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
10. MINIMIZE POLLUTANTS FROM WASHOUTS IN SEDIMENT BASIN, WHEEL WASH WATER, AND OTHER WASH WATER. WASH WATER MUST BE TREATED IN A WASHING BASIN OR ALTERNATIVE THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
11. MINIMIZE POLLUTANTS FROM WASHOUTS IN SEDIMENT BASIN, WASH WATER, AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.) TO THE WATERS OF THE STATE.
12. WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL, IS FORBIDDEN FROM ENTERING ANY WATERS OF THE STATE, INCLUDING BUT NOT LIMITED TO: FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE.
13. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE SHALL BE PROPERLY STORED IN A CONTAINER, AND NOT TO BE SPILLED OR LEAKED. IF A SPILL OR LEAK DOES OCCUR, IT MUST BE IMMEDIATELY CLEANED UP AND STABILIZATION COMPLETED ON ALL AREAS OF THE CONSTRUCTION SITE.
14. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THE PERMIT AND/OR THE QUALITY STANDARDS OF THE REGULATORY AGENCY, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A MODIFICATION REQUEST. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT, THE MODIFICATION REQUEST SHALL BE SUBMITTED TO THE AGENCY. IF THE BMP'S WILL BE IMPLEMENTED AS SOON AS REASONABLY PRACTICABLE.
15. TEMPORARY DIVERSION BENS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO APPROPRIATE TRAILS OR STABLE OUTLETS.
16. TEMPORARY DIVERSION BENS AND/OR DITCHES, INCLUDING BUT NOT LIMITED TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAILS OR STABLE OUTLETS.
17. TEMPORARY DIVERSION BENS AND/OR DITCHES, INCLUDING BUT NOT LIMITED TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAILS OR STABLE OUTLETS.
18. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE COMPLETED PRIOR TO THE PERMITTEE'S DISTURBANCE OF ANY AREAS WITHIN A 10-FOOT BUFFER SHALL BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
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1. TAX MAP & PARCEL NUMBERS:
2. SITE ADDRESS:
3. ACREAGE OF PROPERTY:
4. ACREAGE OF DISTURBANCE:
5. OWNER /DEVELOPER:

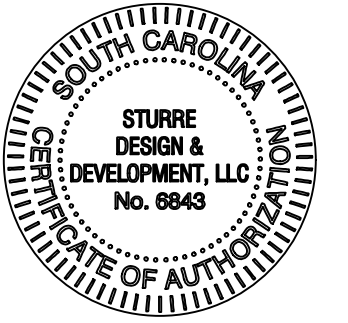
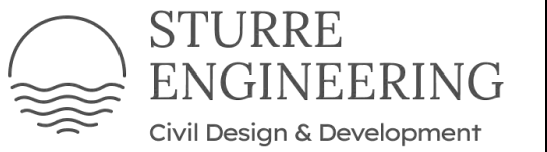
6. ZONING:
7. EXISTING LAND USE:
8. PROPOSED LAND USE:
9. RECEIVING STREAM:
10. ULTIMATE STREAM:

TMS R610 039 00A 0348 0000
58 PRITCHARD STREET, BLUFFTON, SC 29910
0.22 ACRES
0.18 ACRES

SHIFTING TIDES, LLC
25 PRITCHARD STREET
BLUFFTON, SC 29910
NGHD (NEIGHBORHOOD GENERAL-HISTORIC DISTRICT)
UNDEVELOPED
SINGLE FAMILY RESIDENTIAL
HEYWARD COVE
MAY RIVER

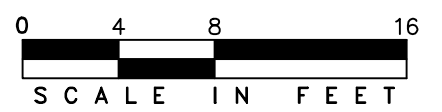
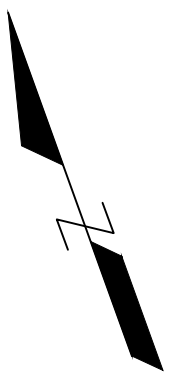
TREE SIZES ARE INCHES IN DIAMETER

- | | |
|-----|--------------------------|
| SP | SPOT ELEVATION |
| — | CONTOUR |
| IPF | 1/2" IRON PIN FOUND |
| OS | 1/2" IRON PIN SET |
| TBM | TEMPORARY BENCH MARK |
| FEE | FINISHED FLOOR ELEVATION |
| LO | LIVE OAK |
| LAO | LAUREL OAK |
| MAG | MAGNOLIA |
| G | GUM |
| HIC | HICKORY |
| PLM | PALM |
| WO | WATER OAK |
| SS | SEWER LATERAL |
| V | VALVE BOX |
| VI | FIRE HYDRANT |



PREPARED FOR:
SHIFTING TIDES, LLC

PROJECT:
58 PRITCHARD STREET
BLUFFTON, SC 29910



PLAN

HORIZONTAL SCALE 1" = 8'



REV #	DATE	DESCRIPTION
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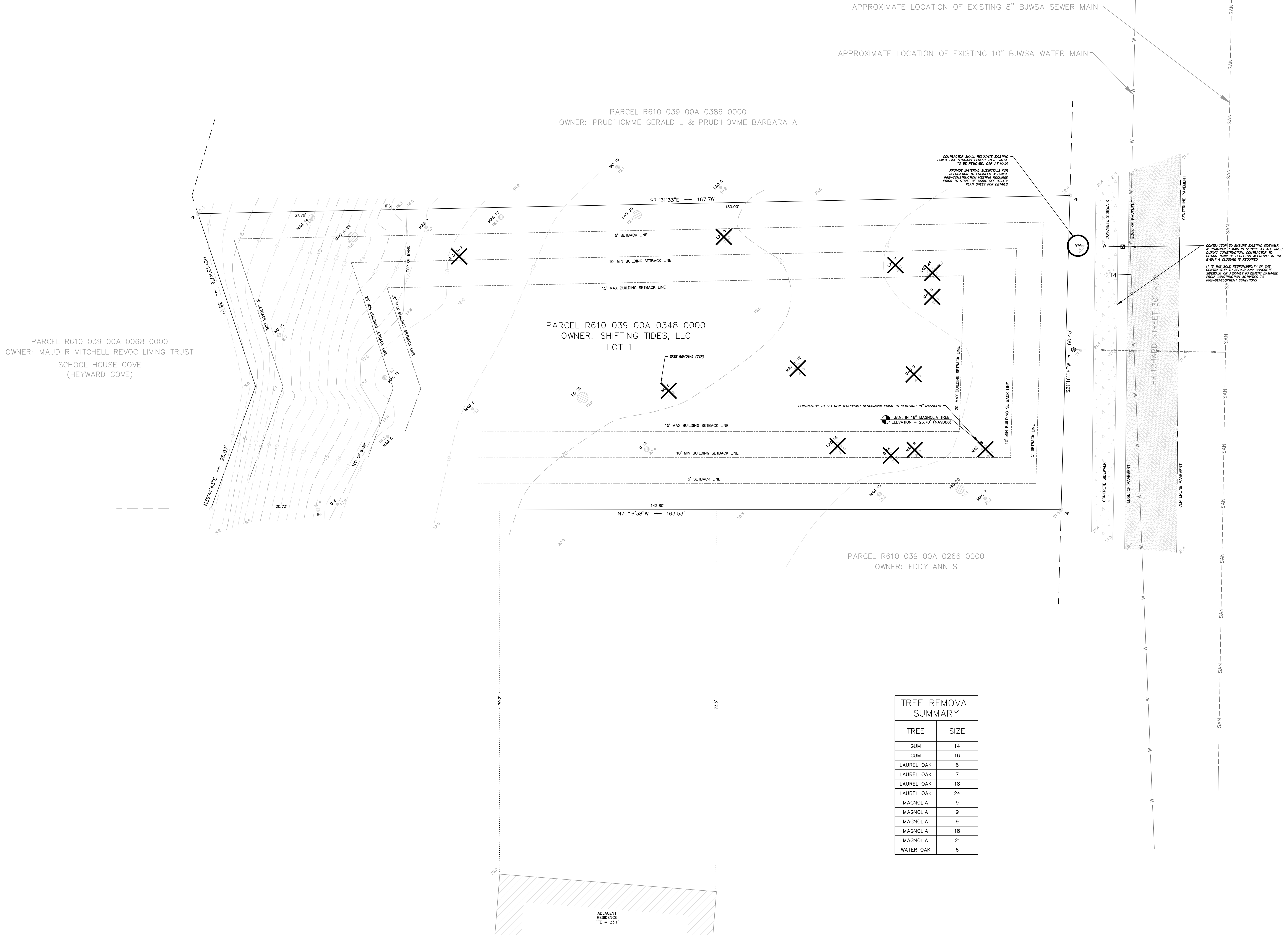
DATE 04/27/2023

SHEET NAME

EXISTING CONDITIONS &
DEMOLITION PLAN

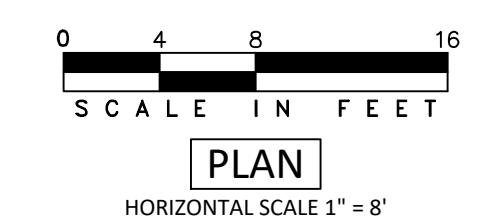
SHEET NO.

ATTACHMENT 5





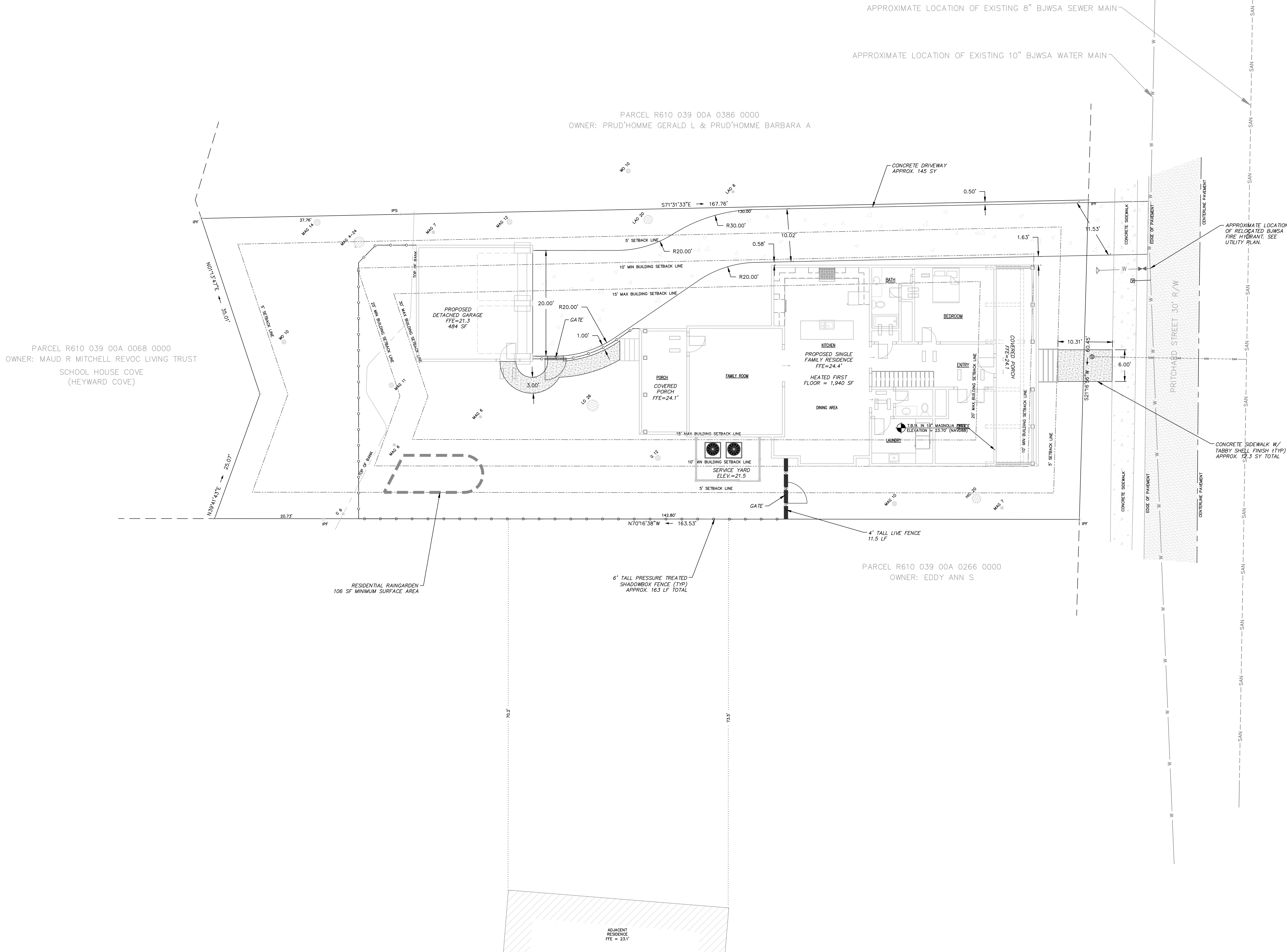
PROJECT:
58 PRITCHARD STREET
BLUFFTON, SC 29910

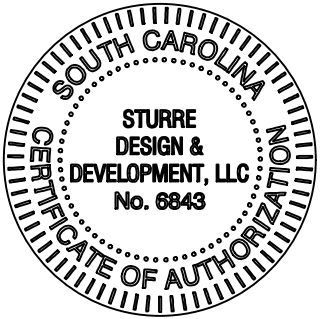
Page 127

SCDCEH STANDARD DETAILS

1. CONCRETE WASHOUT – SCDCEH STANDARD DETAIL RC-07
2. SILT FENCE – SCDCEH STANDARD DETAIL SC-03
3. CONSTRUCTION ENTRANCE (RESIDENTIAL) – SCDCEH STANDARD DETAIL SC-06A
4. TEMPORARY SEEDING – SCDCEH BMP HANDBOOK PAGES 8-10 & APPENDIX C
5. PERMANENT SEEDING – SCDCEH BMP HANDBOOK PAGES 28-28 & APPENDIX C
6. DUST CONTROL – SCDCEH BMP HANDBOOK PAGES 39-40

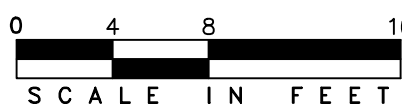
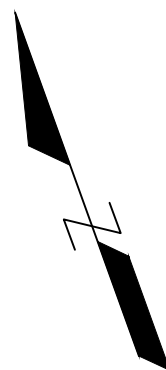
ALL STANDARD DETAILS, NOTES AND INFORMATION CAN BE FOUND AT:
<https://scdceh.gov/bow/stormwater/best-management-practices-bmps/bmp-handbook>





PREPARED FOR:
SHIFTING TIDES, LLC

PROJECT:
58 PRITCHARD STREET
BLUFFTON, SC 29910



PLAN

HORIZONTAL SCALE 1" = 8'



REV #	DATE	DESCRIPTION
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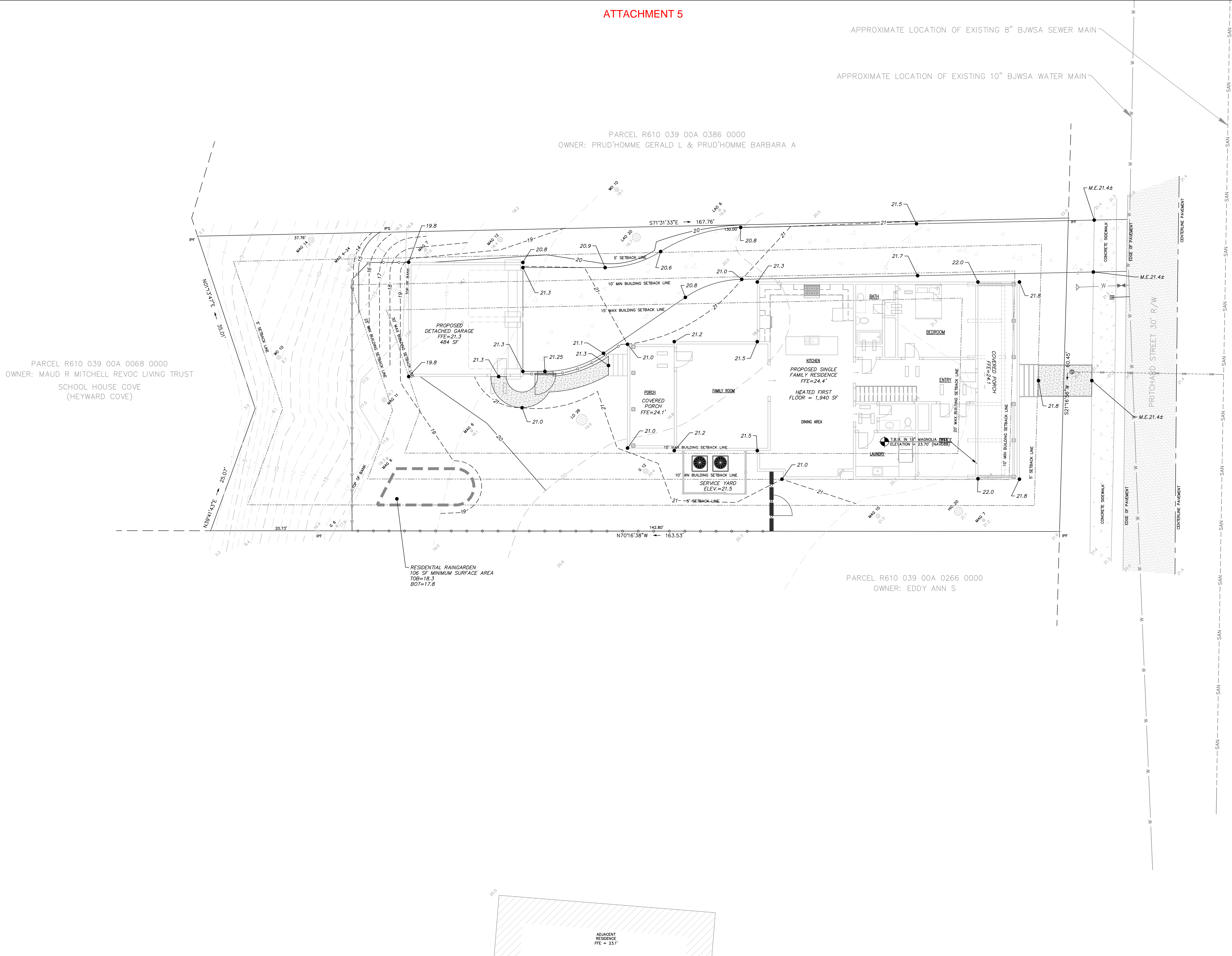
DATE 04/27/2023

SHEET NAME

GRADING & DRAINAGE PLAN

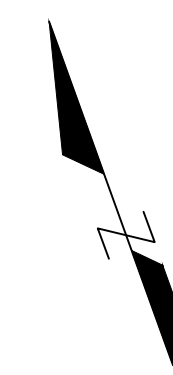
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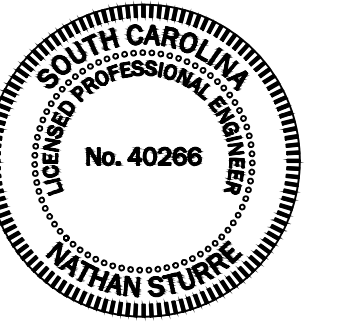
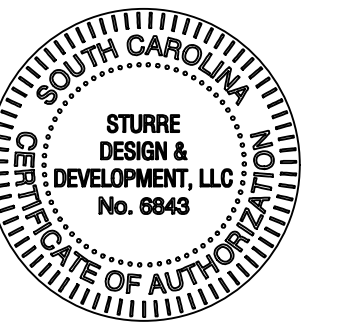
ATTACHMENT 5





PROJECT:
58 PRITCHARD STREET
BLUFFTON, SC 29910

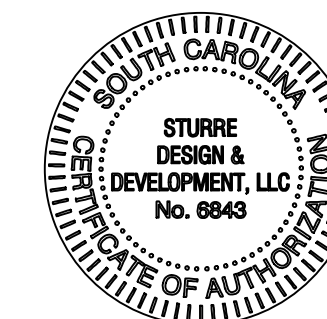
Page 130



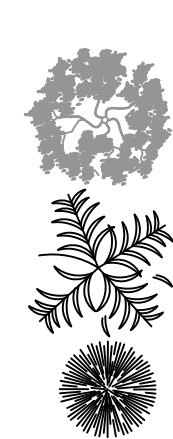
PREPARED FOR:
SHIFTING TIDES, LLC

PROJECT:
58 PRITCHARD STREET
BLUFFTON, SC 29910

8
Page 131



PROJECT:

9

OVERSTORY TREES

-

1. *Myrica cerifera* (MY) - 3 GALLON WAX MYRTLES - x10
2. *Sabal minor* (SA) - 3 GALLON GREEN SABAL MINORS - x6
3. *Muhlenbergia capillaris* (MU) - 3 GALLON MUHLEY GRASS - x12

LANDSCAPE NOTES

1. CONTRACTOR SHALL COORDINATE IRRIGATION PLAN WITH OWNER.
2. CONTRACTOR SHALL COORDINATE TRIMMING OF EXISTING VEGETATION W/ TOWN OF TOWN OF BLUFFTON PRIOR TO TRIMMING.



PLAN REVIEW COMMENTS FOR COFA-03-23-017752

Section X. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 03/09/2023
Plan Status: Active **Plan Address:** 58 Pritchard
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0348 0000
Plan Description: A request by Andrew Pietz, on behalf of the owner, Shifting Tides LLC, for review of a Certificate of Appropriateness - HD for a proposed 1.5-story single family residential structure of approximately 3,291 SF and Carriage House of approximately 484 SF to be located at 58 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood General- HD.
Status: The application is being reviewed by HPRC members and will be palced on the April 4, 2023 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Received: 03/09/2023 Completed: 03/31/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	03/31/2023	Katie Peterson	Approved with Conditions

Comments:

1. Some of the canopy circles included on the Landscape Plan do not appear to have trees associated with them - or do not align with the tree they are associated with. Revise. (UDO 5.3.3.C&G)
2. Provide fence detail at time of final submittal. (UDO 5.15.6.K)
3. Sheet labeled Foundation plan does not show foundation plans or match site plan and elevations. Revise.
4. At time of final, provide corner detail. (UDO 5.15.6.N.)
5. Railings & Balusters are permitted to be wood (termite resistant), painted or natural Wrought or Cast Iron. Application idicates metal but type is not specified. Provide detail. (UDO 5.15.6.H.)
6. Gutters may be copper, galvanized steel, or 14-18 gauge aluminum. They are permitted in a rectangular, square or half-round section. Gutters are indicated on the Application but specific material, profile and location are not indicated on the plans. Provide detail. (UDO 5.15.6.J.)
7. The plans indicate a pier porch with horizontal infill panels. Underpinning must be a minimum of 1" behind face of pier. Provide pier foundation detail at time of final to ensure compliane. (UDO 5.15.6.O.)

HPRC Review	03/31/2023	Katie Peterson	Approved with Conditions
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Comments:

1. At time of final, the driveway must be shown all the way to the street. It currently is shown to the back side of the sidewalk.
2. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy calculations; as well provide a roof and foundation plan, identify all exterior materials on the drawings, and provide details of the railing and baluster, a typical window detail, window and door table, corner board/pilaster trim detail and sections through the eave and wall, porch and balcony depicting the material configuration and dimensions (including a screen detail). Please ensure the louvered vented on the turned down footing is clearly shown as well. (Applications Manual)
3. There appears to be a discrepancy on the left side elevation in the roof, above the bay window in the dining area. On the first floor the dining room steps in from the rest of the 1st floor. On the second floor we do not see this indentation. Something is happening in this location that is not shown on the plans and elevations. Provide clarification.
4. Consider revising the rear addition roofline. Throughout the house there are variations of shed and hip roofs, this is the only location where a gable has been used. To simplify the rooflines, consider revising the a hip roof. (UDO 5.15.5.F.2.b.)
5. Overall building proportions and Individual building features shall have a proportional relationship with one another. There appears to be too wide a variety of window proportions and they should be simplified to be more consistent on both the house and garage. Reduce the number of pane proportions and provide door and window schedule at time of final submittal. (UDO 5.15.5.F.4.a.)
6. Details need to be updated to match the elevations or vice versa (e.g. rake detail calls out asphalt shingles for the roof but the elevations and other notes call out 5V crimp metal roofing; wall section at house porch shows tabby porch floor with a brick border while elevation shows piers with a crawl space underneath and wood flooring with bandboard; wall section at house porch shows trim at base of first floor column while elevation shows no column base, etc.).

Transportation Department
Review - HD

03/31/2023

Dan Frazier

Approved with Conditions

Comments:

1. Pritchard Street is a Town of Bluffton Road. An encroachment permit is required for review and approval prior to issuance of a Certificate of Appropriateness.

Addressing Review

03/31/2023

Ryan Coleman

Approved

Beaufort Jasper Water and Sewer
Review

03/31/2023

James Clardy

Approved

Comments:

No comment provided by reviewer.

Watershed Management Review

03/30/2023

Samantha Crotty

Approved

Transportation Department
Review - HD

03/21/2023

Megan James

Approved

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	June 7, 2023
PROJECT:	99 Pritchard Street – Addition/Remodel: Single-Family
APPLICANT:	DePauw Architects
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Joseph DePauw, AIA, on behalf of the owner Marti Golson of Caramar Rentals & Investments LLC, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-23-017906.** A Certificate of Appropriateness to allow the renovation and repair of the approximately 690 SF Contributing Resource, known as the Walker House, including the removal of the 250 SF attached carport and the addition of 53 square feet to the south elevation located at 99 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD.

INTRODUCTION: The Applicant has proposed the renovation of the one-story, single-family structure known as the Walker House. The structure is characterized by its forward-facing gable roof, screened porch and metal sheets screening the foundation.

The building was first surveyed in the 1994 Historic Resources Survey of Bluffton (Identified as Bridge Street, Site #046-115), and subsequently resurveyed in the Survey of Historic Properties (July 2008, identified as 19 Pritchard Street, Site #046-115); and the Town of Bluffton Historic Resources Update (July 2019). During this COFA-HD review it was determined the Walker House was inadvertently not included on the Contributing Resources Map approved by Town Council on December 14, 2021; however, this oversight does not affect the building's status as a Contributing Resource to the Old Town Bluffton Historic District.

The Applicant proposes to repair the screen porch as needed, repaint the structure, and replace the non-historic windows and front door. The Applicant also proposes to replace the southernmost window on the west elevation with a wood door and add a small, shed roof overhang to protect the new door from elements. Additionally, the Applicant proposes to remove the shed roofed carport from the south elevation and add a 53 SF portion on the same elevation.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 8, 2023 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

a. *Finding.* Town Staff has reviewed the ten Standards are as follows:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Finding. The Applicant proposes to retain the residential use of the structure; therefore, this Standard has been met.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Finding. Much of the historic material on this home has been covered or removed over time. The windows and doors are not historic to the structure (appear to have been replaced between the

1994 and 2008 surveys), weatherboard siding has been covered and/or replaced with vinyl siding. The 1994 and 2008 Historic Resource Surveys both indicate the open garage with shed roof as an alteration from the original form, and the porch has been indicated as substantially altered (and screened) from the original form.

The Applicant proposes to replace the windows with Sierra Pacific Premium Replacement 8500 Series Double Hung windows (Attachment 6). The carport is proposed to be removed from the south elevation which has been damaged by a tree fall and a portion of this enclosed as a small addition. As it has been noted in the Historic Resource Surveys as a later addition, and the windows and doors are not historic to the structure and are more in line with the historic character of the structure, Town Staff finds this Standard has been met.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Finding: The proposed modifications do not create a false sense of historical development, and do not add conjectural features or architectural elements from other buildings. Town Staff finds this Standard has been met.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Finding. While there have been several changes to the building over time, not every change has acquired historic significance. Staff finds that while the attached carport does not detract from the significance of the structure, it has not acquired historic significance at this time and does not need to be retained and preserved. Town Staff finds this Standard has been met.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Finding. Town Staff finds that the changes proposed to the structure do not remove distinctive features, finishes, and construction techniques and this Standard has been met.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Finding. The Applicant proposes replace non historic features. The materials proposed on the end addition are proposed to match the existing features. Town Staff finds this Standard to have been met.

7. Deteriorated Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Finding. No chemical or physical treatments which may cause damage to the structure have been proposed. This Standard has been met.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Finding. No digging is proposed. Should any archeological resources be discovered during the project, Town Staff must be notified to determine if any mitigation measures are needed.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Finding. Town Staff has found that the proposed 53 SF addition is a continuation of the rear of the structure. It is differentiated slightly from the old with the proposed doors on the elevation and is compatible with the massing, size, scale, and architectural features and protects the historic integrity of the property and its environment and, as such, this Standard has been met.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding. Town Staff has found that the removal of historic material is minimal and has designed in such a manner that if removed in the future, the essential form and integrity of the historic resource would be unimpaired. The door on the west elevation has been proposed where a window was placed, and as such, this Standard has been met.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to replace primarily non-historic material and restore the use of this historic structure. The renovation and remodel have been designed to be sympathetic to the architectural character structure, so the proposed changes will both protect the integrity of the existing historic structures and enhance the neighborhood by allowing it to continue its use as a residential structure.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that the structure falls within the category of Cottage Building Type as defined in Section 5.15.5.D.
- b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

1. Section 5.15.6.G. Building Walls. Building walls are permitted to be wood, cement fiber siding, concrete masonry

units with stucco tabby, reinforced concrete with stucco, shingle, and vertical board and batten. The application proposes vinyl siding for the new addition. As this is an existing structure, the materials are proposed to match existing. Town Staff finds this is an appropriate material for the addition due to the existing conditions of the site. The HPC must determine the appropriateness of the use of vinyl siding as a substitute for those listed in the UDO.

4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the renovation to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing will be sensitive to the neighboring properties.

5. Section 3.18.3.E. Preservation of the existing building's historic character and architecture;

Finding. This Standard has been met. See Secretary of Interior Standards above for additional information.

6. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the renovation of a Contributing Resource. By renovating the structure to allow for its continued use, using designs sensitive to the character of the structure and district, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the proposed construction will have no adverse effect on the public interest.

7. Section 3.18.3.G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider: 1. The existing and historical ownership and use and reason for requesting demolition; and 2. Information that establishes clear and convincing evidence that: a. The demolition of the structure is necessary to alleviate a threat to public health or public safety; and b. No other reasonable alternatives to demolition exist; and c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property;

Finding. The Applicant seeks to demolish the enclosed carport addition on the south elevation of the structure. As shown in the Narrative and supported by Beaufort County Tax records, the structure has been in the same family for over 80 years and has just recently been sold to the current owner, who indicates they are of close relation. The portion of the structure which is proposed to be removed is an alteration from the original form of the structure and has been compromised by a tree fall.

8. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following condition:

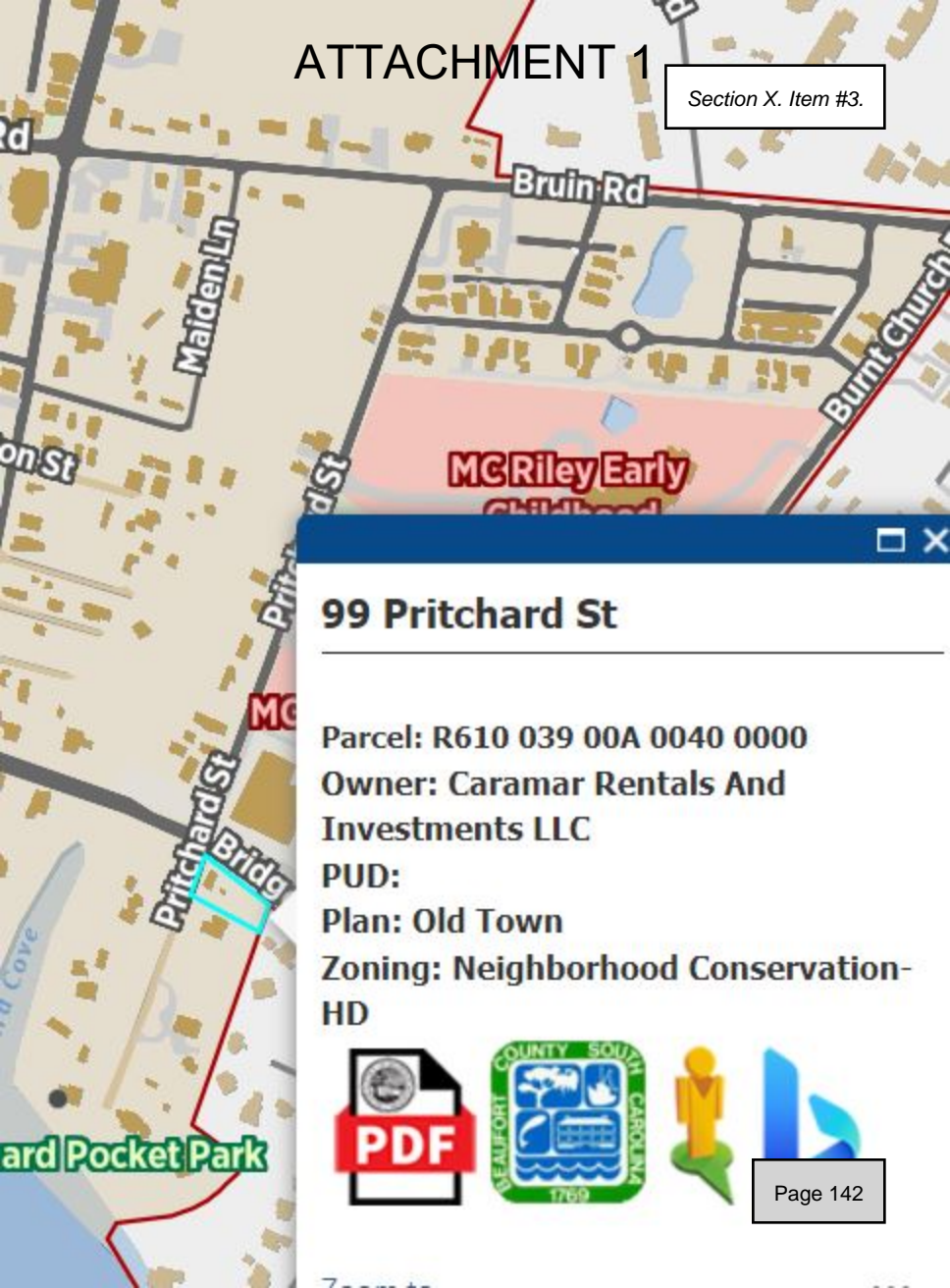
1. The HPC must determine the appropriateness of the use of vinyl siding as a substitute for those materials listed in the UDO, as it is proposed to match the existing siding on the structure.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Site Plan & Elevations
5. HPRC Report
6. Supplemental Pictures

ATTACHMENT 1

Section X. Item #3.



99 Pritchard St

Parcel: R610 039 00A 0040 0000

Owner: Caramar Rentals And
Investments LLC

PUD:

Plan: Old Town

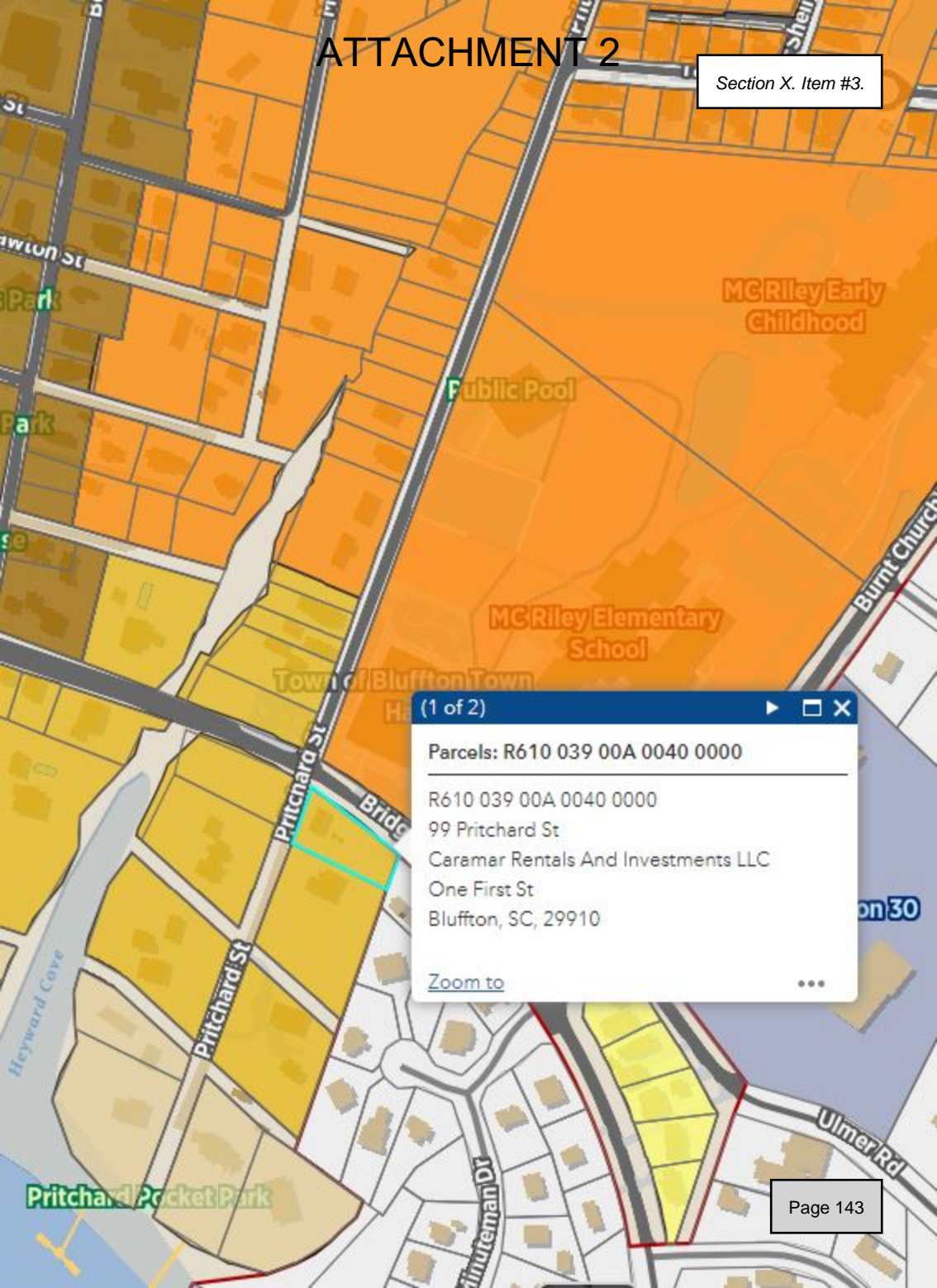
Zoning: Neighborhood Conservation-
HD



Page 142

ATTACHMENT 2

Section X. Item #3.



(1 of 2)

Parcels: R610 039 00A 0040 0000

R610 039 00A 0040 0000

99 Pritchard St

Caramar Rentals And Investments LLC

One First St

Bluffton, SC, 29910

[Zoom to](#)

...



ATTACHMENT 3

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

Section X. Item #3.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: DePauw Architects / Joseph DePauw AIA		Name: Caramar Rentals & Investments LLC, Marti Golson	
Phone: (843) 284-7848		Phone: (843) 384-9338	
Mailing Address: PO Box 688, Bluffton, SC 29910		Mailing Address: PO Box One, Bluffton, SC 29910	
E-mail: joe@depauw.studio		E-mail: caramarllc1st@gmail.com	
Town Business License # (if applicable): LIC-10-22-0047152			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Improvements to 99 Pritchard Street		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 99 Pritchard St		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood Conservation - HD		Application for:	
Acreage: 0.34 ac		<input type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 00A 0040 0000		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: Refer to attached letter.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <u>Martha S. Golson</u>		Date: May 10, 2023	
Applicant Signature: <u>Joseph DePauw</u>		Date: May 9, 2023	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #3.

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Cottage					
Building Setbacks	Front: 10-20	Rear: 30	Rt. Side: 10	Lt. Side: 10	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage		Proposed Square Footage	
Main Structure	Cottage	690		743	
Ancillary					
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1029		
Impervious Drive, Walks & Paths			142		
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE			1171		
B. TOTAL SF OF LOT			14847		
% COVERAGE OF LOT (A/B= %)			7.88		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Vinyl Siding (existing)	Columns	Painted Wood (existing)		
Walls	Vinyl Siding (existing)	Windows	Vinyl (replacements)		
Roof	Galvanized 5-V (existing)	Doors	Wood/Steel (replacements)		
Chimney	Brick (existing)	Shutters			
Trim	Vinyl (existing)	Skirting/Underpinning	Vinyl (existing)		
Water table	Vinyl (existing)	Cornice, Soffit, Frieze	Vinyl / Aluminum (existing)		
Corner board	Vinyl (existing)	Gutters			
Railings	Painted Wood	Garage Doors			
Balusters	Painted Wood	Green/Recycled Materials			
Handrails	Painted Wood				



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 3 TOWN OF BLUFFTON


Section X. Item #3.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.


SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).


 Martha s. Golson / May 10, 2023 11:18 EDT
 Signature of Property Owner or Authorized Agent

May 10, 2023
 Date

Martha s. Golson
 Printed Name of Property Owner or Authorized Agent


 Signature of Applicant

May 9, 2023
 Date

Joseph DePauw
 Printed Name of Applicant

Growth Management Service Center
20 Bridge Street
Bluffton, SC 29910
(843) 706-4500
applicationfeedback@townofbluffton.com

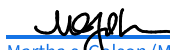
Re: Owner's Consent and Statement of Restrictions
Improvements to 99 Pritchard Street
99 Pritchard Street
Bluffton, SC 29910

Statement of Property Owner Consent

We have hired DePauw Architects as architect for the above referenced project. We authorize DePauw Architects and it's employee's to act on behalf of the property owner Caramar Rentals & Investments LLC in matters pertaining to Town of Bluffton approvals for the project.

Statement of Additional Approvals

To my knowledge, no deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards apply to this project outside of the Town's prevue and the guidelines of the UDO.


Martha s. Golson (May 10, 2023 11:18 EDT)

Signed (Authorized Representative of Caramar Rentals & Investements LLC)

Martha s. Golson

Printed Name

May 10, 2023

Date











Certificate of Appropriateness-HD Application_99 Pritchard Street

Final Audit Report

2023-05-10

Created:	2023-05-09
By:	Lydia DePauw (lydia@depauw.studio)
Status:	Signed
Transaction ID:	CBJCHBCAABAAJgLhqf9nNtOoffCdhwiWaYXfHafOUoV

"Certificate of Appropriateness-HD Application_99 Pritchard Street" History

-  Document created by Lydia DePauw (lydia@depauw.studio)
2023-05-09 - 5:38:24 PM GMT- IP address: 64.203.226.24
-  Document emailed to joe@depauw.studio for signature
2023-05-09 - 5:40:37 PM GMT
-  Email viewed by joe@depauw.studio
2023-05-09 - 5:40:40 PM GMT- IP address: 66.249.92.9
-  Signer joe@depauw.studio entered name at signing as Joseph DePauw
2023-05-09 - 5:52:46 PM GMT- IP address: 174.203.250.125
-  Document e-signed by Joseph DePauw (joe@depauw.studio)
Signature Date: 2023-05-09 - 5:52:48 PM GMT - Time Source: server- IP address: 174.203.250.125
-  Document emailed to martigolson@gmail.com for signature
2023-05-09 - 5:52:49 PM GMT
-  Email viewed by martigolson@gmail.com
2023-05-09 - 5:52:51 PM GMT- IP address: 66.249.92.128
-  Signer martigolson@gmail.com entered name at signing as Martha s. Golson
2023-05-10 - 3:18:16 PM GMT- IP address: 174.245.66.24
-  Document e-signed by Martha s. Golson (martigolson@gmail.com)
Signature Date: 2023-05-10 - 3:18:18 PM GMT - Time Source: server- IP address: 174.245.66.24
-  Agreement completed.
2023-05-10 - 3:18:18 PM GMT

May 10, 2023

Growth Management Service Center
20 Bridge Street
Bluffton, SC 29910
(843) 706-4500
applicationfeedback@townofbluffton.com

Re: Final COA-HD Submission
Improvements to 99 Pritchard Street
99 Pritchard Street
Bluffton, SC 29910



To whom it may concern,

In support of our Final COA Historic District submission for the Improvements to the 99 Pritchard Street Cottage, we are providing the following project narrative.

Goals

The cottage at 99 Pritchard Street has been family owned for over 80 years. The previous owner, Eunice Turner, is a close relative of the owners of Caramar Rentals and Investments. Mrs. Turner agreed to sell Caramar the property in order to keep it in the family. The cottage has been vacant for 9 months since Caramar purchased the home in 2022. This project intends to clean up the vacant cottage for rehabilitation. The interior will be refinished and organized into an efficient one-bedroom plan with a modern bathroom, kitchen and new conveniences like central air, hot water, and laundry appliances.

Exterior Modifications

In support of this goal, we are proposing several exterior improvements to the home. These changes are intended to be small in scope, as required by the project budget, and in support of creating a livable space.

Along Bridge Street, the screen porch will be repaired as needed and repainted. A new front door will be installed with a 2/3 lite window. All exterior windows will be removed and replaced as shown in the plans, which will bring consistency to the lite patterns around the home.

Along Pritchard Street, we will relocate the entry door to replace the rear most window, providing direct access to the kitchen. We are proposing adding a bracket-

supported roof over the door to provide weather protection and a visual anchor on this elevation. New stairs will be provided to access this door. A hog-wire fence will be installed along the property line common with the church parking lot as indicated on the site plan.

The carport behind the home has been structurally compromised by a tree strike and is small for today's vehicles. We are requesting to remove this portion of the structure and enclose a small portion in line with the existing bedroom closet. We would extend the main roofline over this portion, allowing ductwork access from the new equipment closet to the attic. Since the attic space is quite short, and the ceiling is framed with 2x4s, locating the air handler and water heater in the attic is infeasible. These would be accessed from a pair of exterior doors, allowing us to keep the addition minimal while providing required equipment access.



Images: Compromised carport structure.

All new wood and cement board trim will be painted Sherwin Williams SW 7005 Pure White to match the existing home.

We look forward to meeting with the Town and discussing our project further. If you require additional information about the project ahead of your meeting, please let me know.

Thank you for your time and consideration,

A handwritten signature in black ink that reads "Joseph DePauw". The signature is stylized with a large, looped "D" and "P".

Joseph DePauw, AIA
Principal
DePauw Architects

IMPROVEMENTS TO 99 PRITCHARD STREET

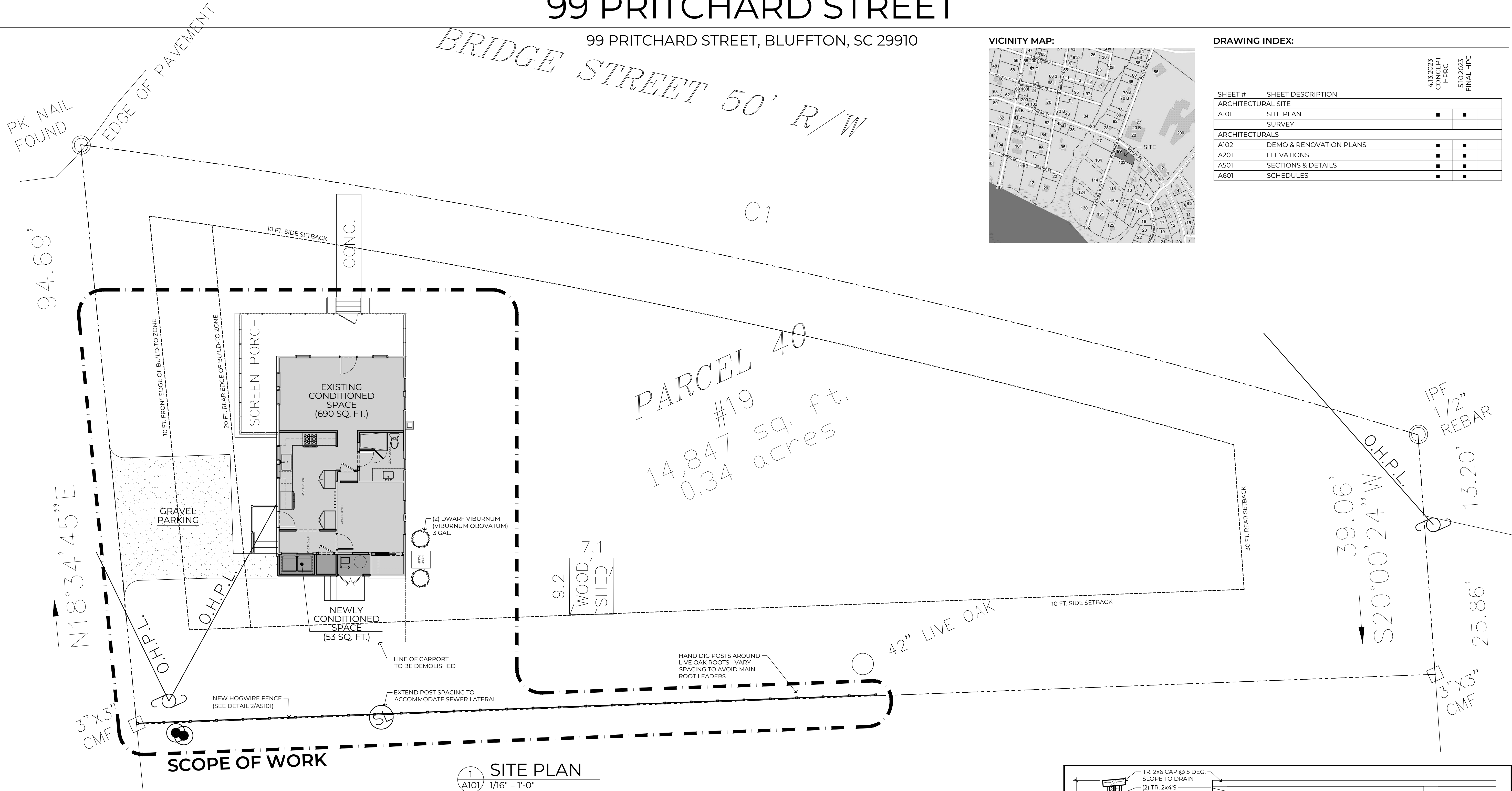
99 PRITCHARD STREET, BLUFFTON, SC 29910

VICINITY MAP:

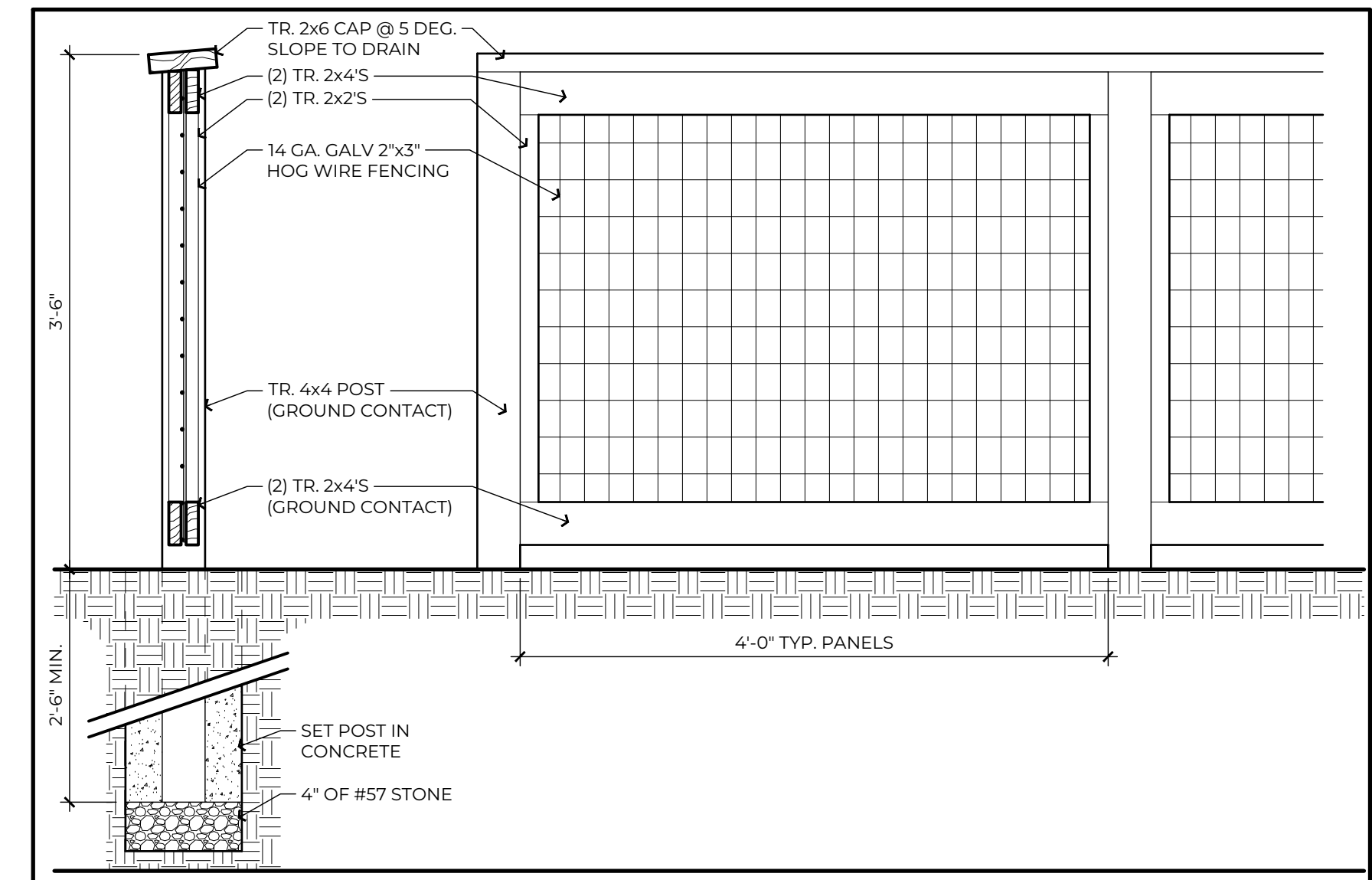


DRAWING INDEX:

SHEET #	SHEET DESCRIPTION	4.13.2023 CONCEPT HPRC	5.10.2023 FINAL HPC
ARCHITECTURAL SITE			
A101	SITE PLAN	■	■
SURVEY			
ARCHITECTURALS			
A102	DEMO & RENOVATION PLANS	■	■
A201	ELEVATIONS	■	■
A501	SECTIONS & DETAILS	■	■
A601	SCHEDULES	■	■



1 SITE PLAN
A101 1/16" = 1'-0"



2 HOG WIRE FENCE
AS101 1" = 1'-0"

BUILDING CODES:

INTERNATIONAL BUILDING CODE:	2021
INTERNATIONAL FIRE CODE:	2021
INTERNATIONAL PLUMBING CODE:	2021
INTERNATIONAL MECHANICAL CODE:	2021
INTERNATIONAL FUEL-GAS CODE:	2021
INTERNATIONAL EXISTING BUILDING CODE:	2021
INTERNATIONAL ENERGY CONSERVATION CODE:	2009
NATIONAL ELECTRICAL CODE:	2017 (NFPA 70)

(ALL CODES WITH SOUTH CAROLINA MODIFICATIONS)

GENERAL NOTES:

1. VERIFY ALL EXISTING CONDITIONS IN THE FIELD. MINOR ADJUSTMENTS PERMITTED. NOTIFY ARCHITECT AND OWNER IMMEDIATELY, IN WRITING AND BY PHONE OF ANY SIGNIFICANT DIFFERENCE BETWEEN DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING CONDITIONS PARTICULAR TO EACH TRADE IN WHOLE BY THE GENERAL CONTRACTOR. EACH SUBCONTRACTOR WILL BE HELD RESPONSIBLE TO HAVE VISITED AND EXAMINED PREMISES PRIOR TO SUBMITTAL OF PROPOSAL.
3. BEGINNING OF WORK BY ANY TRADE SHALL CONSTITUTE ACCEPTANCE & RESPONSIBILITY FOR EXISTING CONDITIONS AND SUBSTRATE AS APPLICABLE UNLESS OTHERWISE INDICATED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
4. UNLESS NOTED OTHERWISE, ALL PAINT, PAPER TILE AND FINISHES ARE PER OWNER SELECTED FROM CONTRACTOR PROVIDED ALLOWANCES.
5. FOR ANY STRUCTURAL ITEMS OR UNCOVERED ISSUES, CONTACT THE ARCHITECT.

LOT COVERAGE

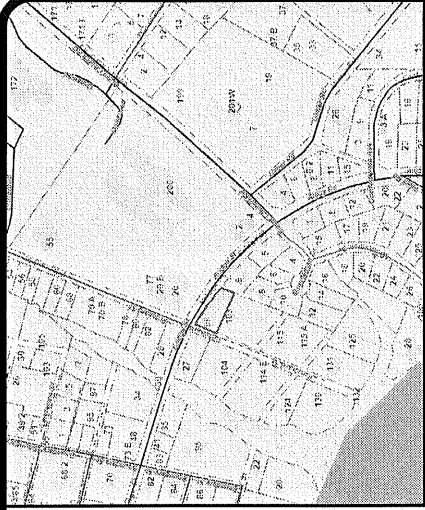
LOT AREA	14,847 SQ. FT.
IMPERVIOUS COVERAGE	1,171 SQ. FT.
% IMPERVIOUS COVERAGE	7.88%

BUILDING AREAS

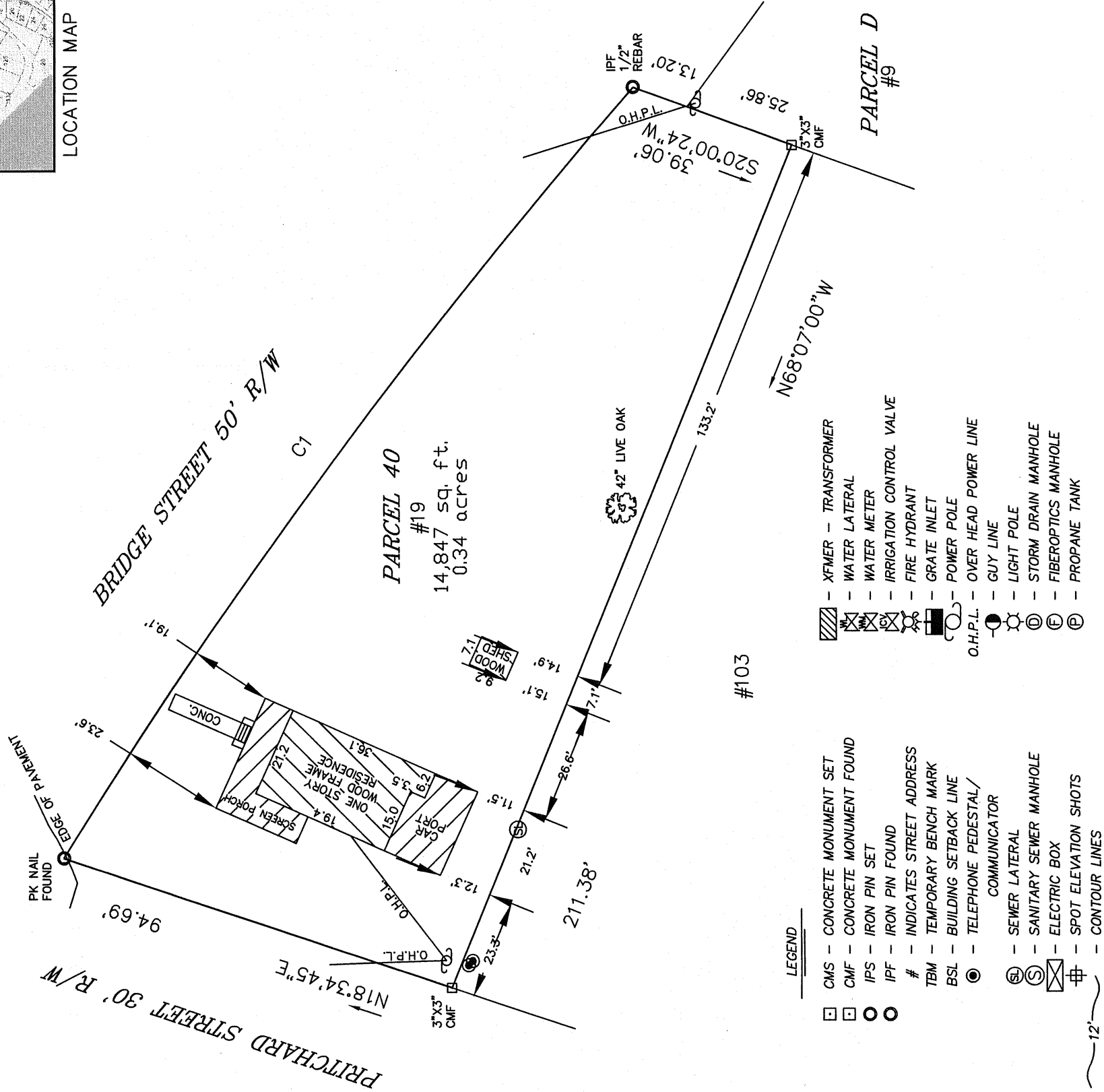
EXISTING CONDITIONED	690 SQ. FT.
NEW CONDITIONED	53 SQ. FT.
TOTAL CONDITIONED	743 SQ. FT.



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	222.83'	1345.10	222.58	N53°40'44"W	9°29'31"



LOCATION MAP NOT TO SCALE



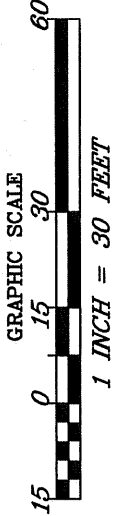
NOTES: 1. According To FEMA Flood Insurance Rate Map # 45013C0426G
This Lot Appears To Lie In A Federal Flood Plain Zone X. Minimum
Required Elevation N/A Ft. NAVD88

2. This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.

3. All Building Setback Requirements Should Be Verified With The Proper
Authorities Prior To Design And Construction.

DIST. 610, MAP 39A, PARCEL 40
REFERENCE PLAT(s):

A PLAT BY MACK W. THOMAS, III OF PARCEL 40 BRIDGE STREET,
DATED 9/24/2000.



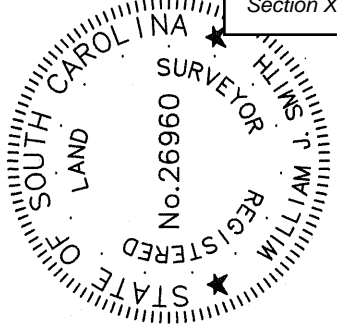
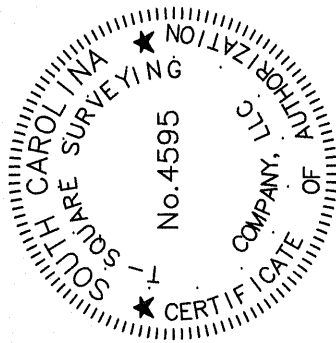
THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

CAROLYN SMITH

AN AS-BUILT SURVEY OF PARCEL 40 BRIDGE STREET,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DATE: OCTOBER 6, 2022

SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@chargray.com
843-757-2650 Fax 843-757-5758



Section X. Item #3.

JOB # 22-655

WILLIAM J. SMITH, PLS #26960

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REVISIONS

SHEET

DEMO & RENOVATION PLAN 1C

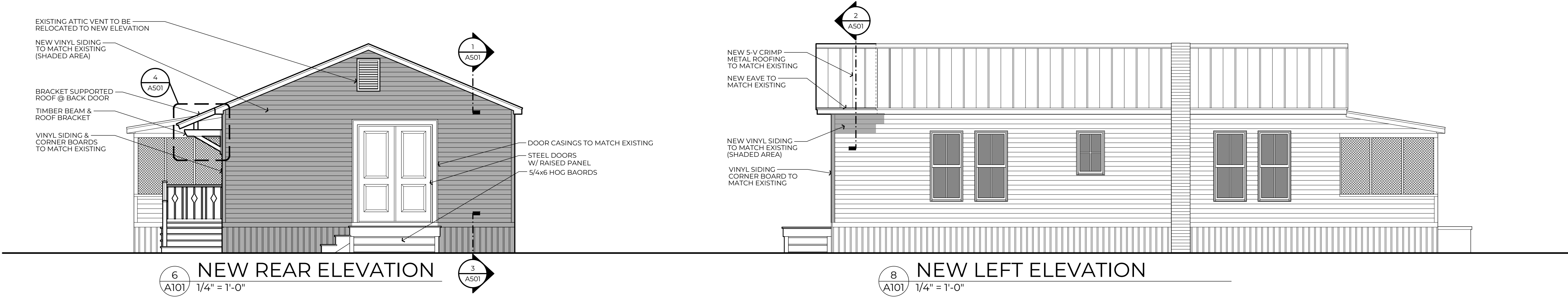
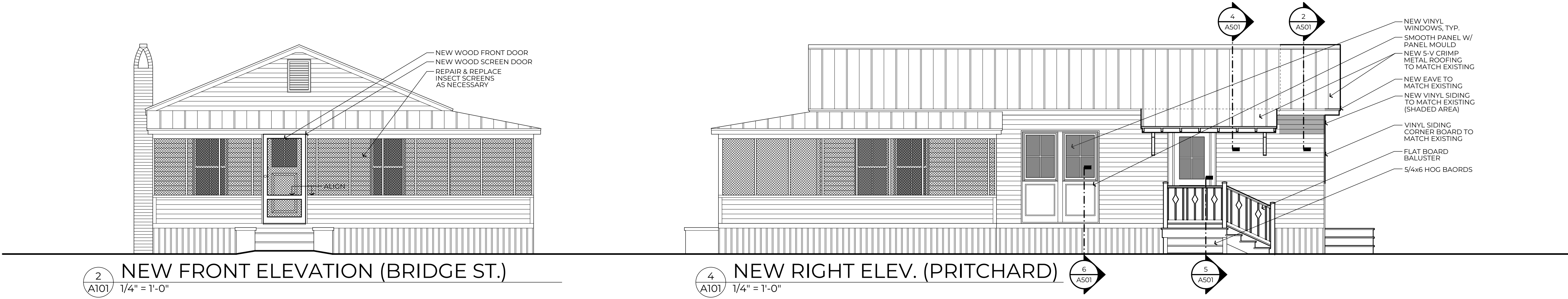
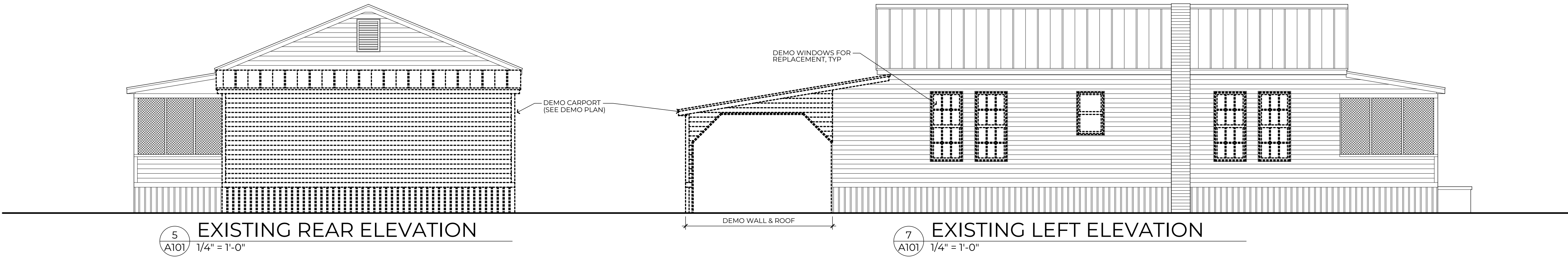
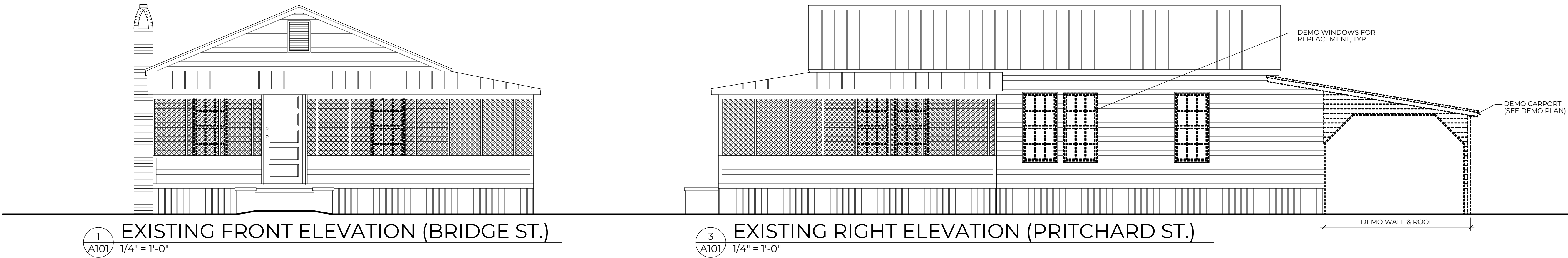
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IMPROVEMENTS TO
99 PRITCHARD STREET
99 PRITCHARD ST
BLUFFTON, SC 29910

REVISIONS	
PROJECT NO.	2302
CONTACT	JAD
DATE	5.10.2023
SHEET	

A201



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IMPROVEMENTS TO
99 PRITCHARD STREET
99 PRITCHARD ST
BLUFFTON, SC 29910

REVISIONS

SHEET

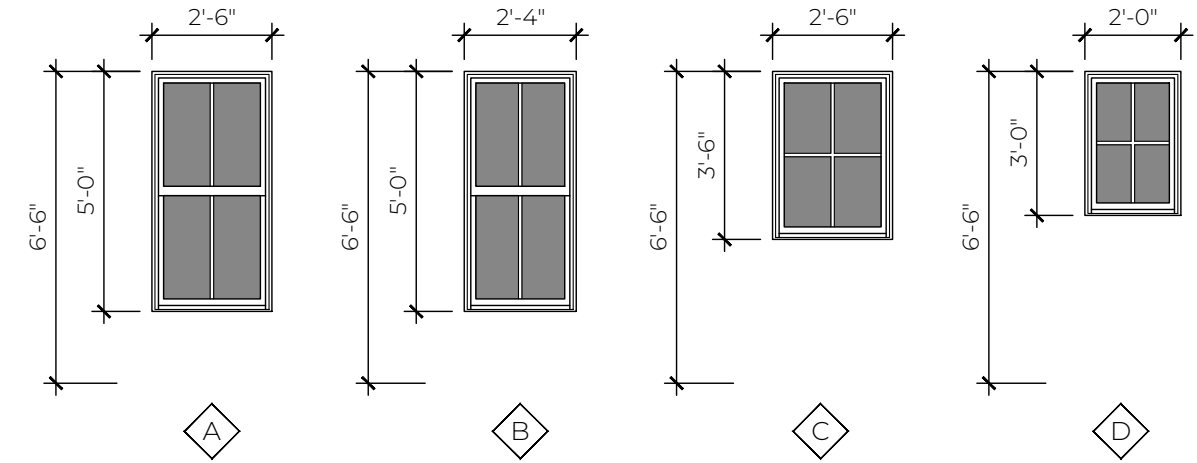
SECTIONS & DETAILS



WINDOW SCHEDULE

MARK	TYPE	SIZE (V.I.F.)	EXTERIOR MATERIAL	EXTERIOR FINISH	HARDWARE FINISH
A	DH	2'-6" x 5'-0"	VINYL	LINEN	T.B.D.
B	DH	2'-4" x 5'-0"	VINYL	LINEN	T.B.D.
C	CM	2'-6" x 3'-6"	VINYL	LINEN	T.B.D.
D	CM	2'-0" x 3'-0"	VINYL	LINEN	T.B.D.

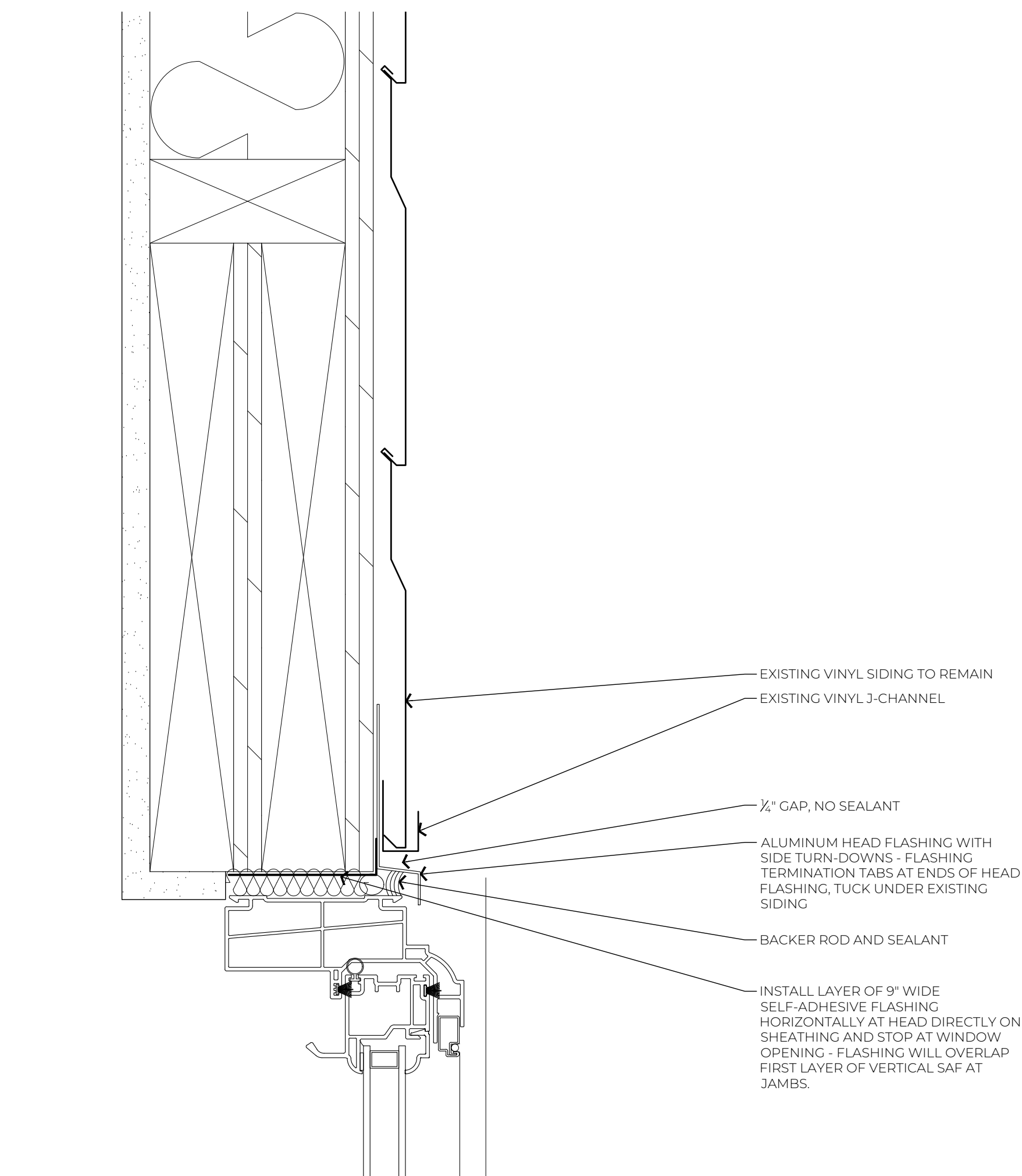
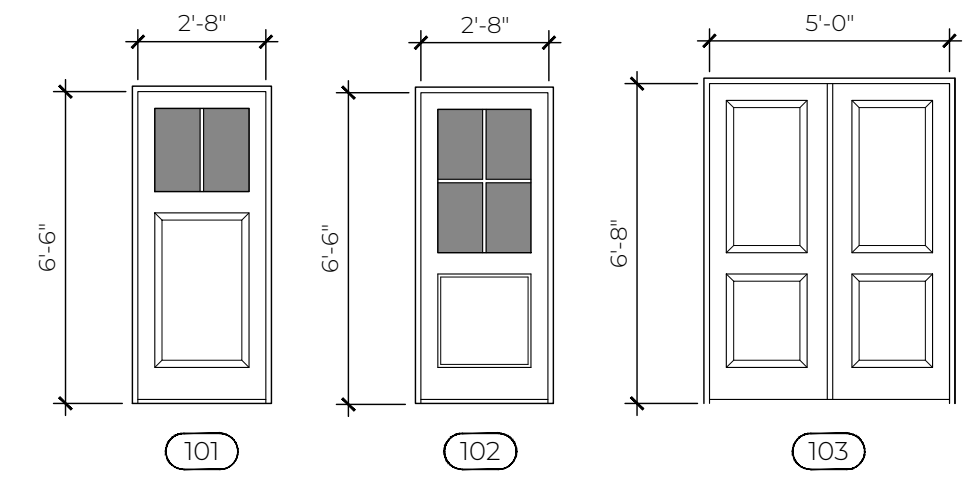
- NOTE 1: SIZES ARE BASED ON SIERRA PACIFIC 8500 PREMIUM REPLACEMENT DOUBLE HUNG W/ 1/2" PUTTY SIMULATED DIVIDED LITE (SDL). IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-01.
- NOTE 3: DP 50 RATING OR APPROVED EQUIVALENT AS SPECIFIED BY STRUCTURAL ENGINEER TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 4: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 5: PROVIDE EGRESS AS REQUIRED TO MEET IRC 2018 SECTION R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 6: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC 2018 SECTION R308 FOR WINDOW GLAZING.
- NOTE 7: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.12 OF THE 2018 IRC. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



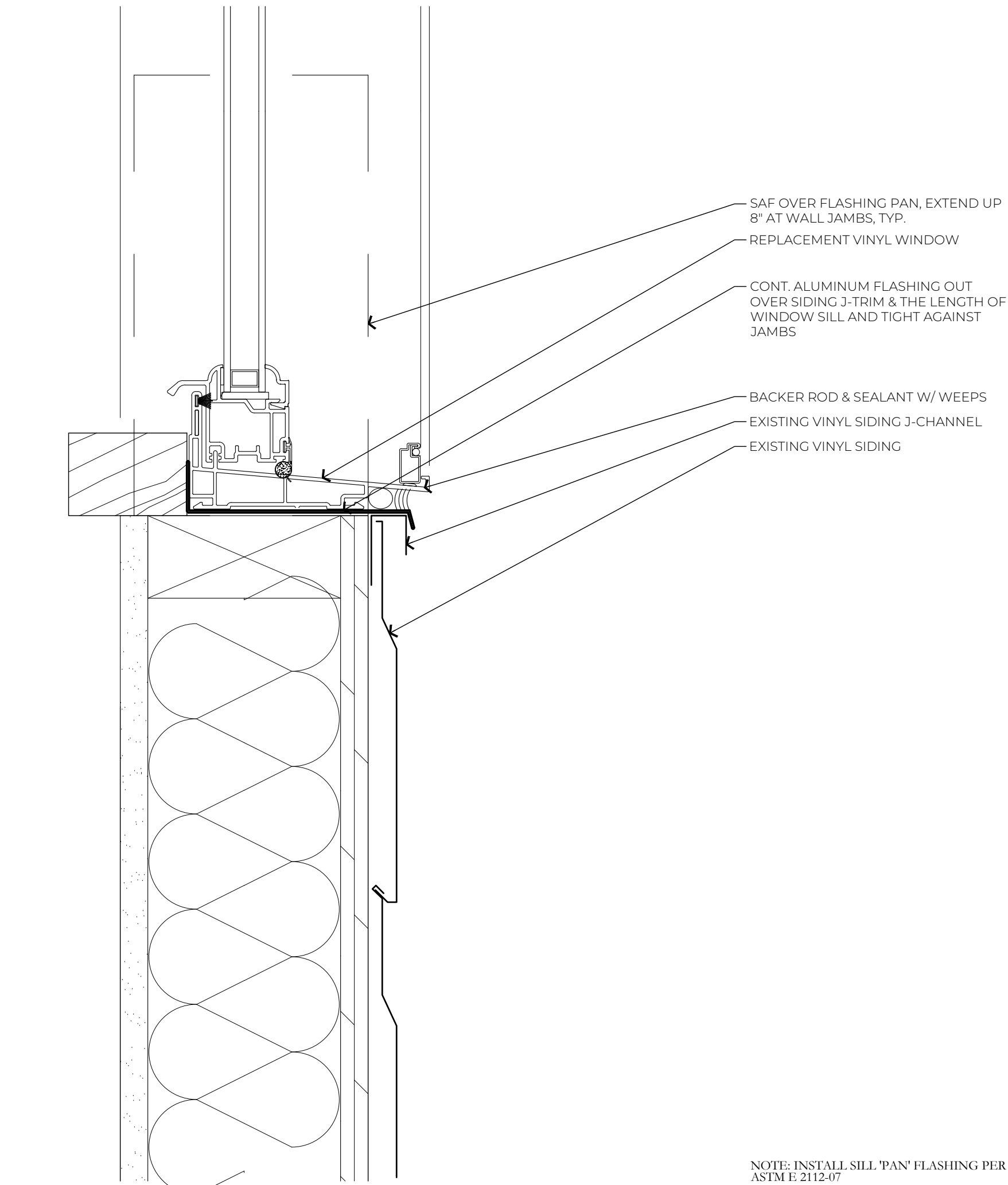
DOOR SCHEDULE

DOOR NO.	NOMINAL SIZE (SEE NOTES)			TYPE	MATERIAL	REMARKS
	W	H	Th			
101	2'-8"	6'-6"	1 1/4"	EXTERIOR INSWING ENTRY DOOR	WOOD	SEE ELEVATION
102	2'-6"	6'-6"	1 1/4"	EXTERIOR INSWING ENTRY DOOR	WOOD	SEE ELEVATION
103	(2) 2'-0"	6'-8"	1 1/4"	EXTERIOR OUTSWING PAIR	INSULATED STEEL	SEE ELEVATION
104	2'-4"	6'-8"	1 1/4"	EXTERIOR INSWING DOOR	MDF	--
105	2'-4"	6'-8"	1 1/4"	INTERIOR DOOR	MDF	--
106	5'-0"	6'-8"	1 1/4"	INTERIOR BY-PASS SLIDING PAIR	MDF	--
107	2'-6"	6'-8"	1 1/4"	INTERIOR DOOR	MDF	--
108	10'-0"	6'-8"	1 1/4"	INTERIOR DOOR	MDF	--
109	(2) 2'-6"	6'-8"	1 1/4"	INTERIOR POCKET DOORS	MDF	--

- NOTE 1: EXTERIOR WOOD DOORS B.O.D. ROGUE VALLEY DOOR, TRADITIONAL SERIES, OGEE STICKING, HBP PANEL, FIR. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: ALL INTERIOR DOORS TO BE ECCO DOOR E2000L INTERIOR TWO-PANEL DOOR; 'A' STANDARD STICKING; 'A' STANDARD PANEL.
- NOTE 3: G.C. TO VERIFY ALL EXISTING ROUGH OPENINGS & COORDINATE NEW DOOR SIZES AS REQ'D.
- NOTE 4: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-01.
- NOTE 5: DP 50 RATING OR APPROVED EQUIVALENT AS SPECIFIED BY STRUCTURAL ENGINEER TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 6: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 7: PROVIDE EGRESS AS REQUIRED TO MEET IRC 2018 SECTION R310 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- NOTE 8: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC 2018 SECTION R308 FOR DOOR GLAZING.
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2
A601
REPLACEMENT WINDOW HEAD
6" = 1'-0"



1
A601
REPLACEMENT WINDOW SILL
6" = 1'-0"



3
A601
REPLACEMENT WINDOW JAMB
6" = 1'-0"

NOTE: INSTALL JAMB FLASHING PER ASTM E 2112-07

NOTE: INSTALL SILL 'PAN' FLASHING PER ASTM E 2112-07



PLAN REVIEW COMMENTS FOR COFA-04-23-017906

Section X. Item #3.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 04/13/2023
Plan Status: Pending **Plan Address:** 99 Pritchard Street
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0040 0000
Plan Description: A request by Joseph DePauw, AIA of DePauw Architects, on behalf of the owner, Marti Golson of Caramar Rentals & Investments LLC, for the review of a Certificate of Appropriateness - HD to renovate and repair the existing 1-story, single-family structure of approximately 690 SF, including the demolition of the 250 SF attached car port and the addition of 53 SF to the right elevation, located at 99 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation -HD.

STATUS: The Application is being reviewed and has been placed on the May 8, 2023 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Received: 04/13/2023 Completed: 05/03/2023

Reviewing Dept.	Complete Date	Reviewer	Status
HPRC Review	05/03/2023	Katie Peterson	Approved with Conditions

Comments:

- For the final application provide architectural details of the railing and baluster at the stoop, a typical window detail, sections through the eave and wall of the new sections depicting the material configuration and dimensions. (Applications Manual)
- For the new wood front door, consider making the glazed portion either a 2-lite (eliminating the horizontal muntin) to be similar to the window proportions or have it match the design of the new door on Pritchard street so that it has similar pane proportions to the rest of the house. (UDO 5.15.5.F.4.a.)

Beaufort Jasper Water and Sewer Review	05/02/2023	James Clardy	Approved
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Comments:

- No comment.

Growth Management Dept Review (HD)	05/03/2023	Katie Peterson	Approved
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Comments:

- Should any landscaping be proposed for disturbance, a landscape plan will be required at final submittal.

Watershed Management Review	04/27/2023	Samantha Crotty	Approved
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Transportation Department Review - HD	04/13/2023	Megan James	Approved
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Comments:

- No comments

Plan Review Case Notes:

Sierra Pacific Window Photos showing exterior construction –



PREMIUM DOUBLE HUNG

THE ULTIMATE VINYL WINDOW.

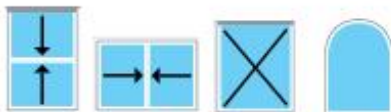


Our Premium Double Hung truly lives up to its name. Even at first glance, you'll recognize that this is the nicest vinyl window on the market.

Look closer, and you'll discover that our Premium Double Hung actually mimics all the details of a premium wood window. Its multi-chamber construction is heavy-duty and first rate. And, of course, you'll find plenty of premium options that are not available from most vinyl window brands—such as painted exteriors, high performance glazing, decorative glazing and grilles.

ADVANCED AUTO TILT.

Lots of double hung windows tilt, but not like this one. Our low profile tilt/lock mechanism makes all the difference for easy tilting, easy cleaning and easy locking...without those tilt pins that hurt your fingers.



Available in matching double horizontal slider, picture windows and transoms.

STANDARD FEATURES

- 3-1/4" Multi-chamber mainframe
- Intercept® warm-edge spacer
- 3/4" or 1" Insulated glass allows for triple IG
- Constant force balances
- Low profile advanced combination auto tilt/lock latch
- Welded sash and frame
- Contoured glazing bead mimics the look of wood glazing bead
- Full or half screen
- Fin-Seal weather-stripping
- NFRC certified

OPTIONS

- Largest offering of performance and decorative glazing
- Decorative grilles
- Window opening control device
- Night latches for security & sash limiters
- Factory mulling
- Premium installation kit with foam wrap, head expander and sill extender

EXTERIOR COLOR OPTIONS

- European white or beige vinyl
- 14 standard Ultrabond exterior colors
- Unlimited custom color-matching capabilities

GRILLE STYLES & PROFILES



Custom grille patterns available.

Simulated divided lite grilles

7/8" Putty
2" grille also available

Grilles between the glass



TESTING CERTIFICATIONS



Sierra Pacific offers some of the best energy efficiency and structural performance in the industry. Products are tested to WDMA & NFRC standards. For full details on our leading thermal U-factors, R-values, SHGC ratings, as well as performance, class and grade (DP) standards, visit Superseawindows.com







HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Growth Management Department



MEETING DATE:	June 7, 2023
PROJECT:	Campbell Chapel, A.M.E., 21 Boundary Street – Rehabilitation of a Contributing Resource
APPLICANT:	The Rev. Dr. Jon R. Black with James O. McGhee Architects, P.C.
PROJECT MANAGER:	Glen Umberger, Historic Preservationist

REQUEST: The Applicant, the Rev. Dr. Jon R. Black with James O. McGhee Architects, P.C., on behalf of owner, the Board of Trustees of the Campbell A.M.E. Church, requests that the Historic Preservation Commission approve the following application:

COFA-04-23-017894. A Certificate of Appropriateness – Historic District to demolish the non-historic, non-contributing portion of approximately 2,307 SF, to allow the construction of a 1-story free-standing addition of approximately 608 SF, and to renovate the historic 1,780 SF Contributing Resource known as Campbell Chapel A.M.E. (Tax Parcel R610-039-00A-0080-0000) located at 23 Boundary Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD.

BUILDING DESCRIPTION AND HISTORY: Campbell Chapel A.M.E. is a one-story rectangular timber-framed vernacular Greek Revival style church building with full width portico on the façade, set on a series of brick piers. The siding is pine board and batten, and the windows are modern metal replacement windows. A non-historic square belfry, replacing an earlier belfry, surmounts the portico which houses the historic cast-iron bell. The metal gable end roof is 5-V tin. The sanctuary was extended in 1957 and a one-story, L-shaped concrete block addition was constructed on the southeast corner of the historic building in 1966.

Originally built in 1853 as the Bluffton Methodist Episcopal Church, the building survived the Burning of Bluffton on June 4, 1863 during the United States Civil War. In 1874, nine freedmen (Renty Fields, Jacob Chisolm, William Ferguson, Jeffrey Buncomb, William Smith, David Heyward, Christopher Bryan, Theodor Wilson, and William Lightburn) purchased the building for \$500.00 and organized the Campbell Chapel African Methodist Episcopal (A.M.E.) Church, named in honor of Jabez Pitt Campbell (1815-1891), the eighth bishop of the A.M.E. Church. The bell, today housed in the cupola, was purchased around 1874, about the time the new congregation completed major renovations. The building survived several catastrophic storms, including the Hurricane of 1893 and the Tornado of 1933. The congregation met here for worship until 2004 when they constructed a new church building next door.

The building was first surveyed in the 1994 *Historic Resources Survey of Bluffton* (Identified as 23 Boundary Street, Site #046-0087), and subsequently resurveyed in the *Historic Architectural Resource Survey Report* (October 2001); the *Survey of Historic Properties* (July 2008); and the *Town of Bluffton Historic Resources Update* (July 2019). Town Council designated Campbell Chapel A.M.E. as a Contributing Resource to the Old Town Bluffton Historic District in 2008. In addition, Campbell Chapel A.M.E. Church was listed in the National Register of Historic Places on April 29, 2019 for its association with the African American community in Bluffton during the Reconstruction Era (1861—1900). In 2022, a South Carolina Historical Marker honoring the history of the congregation was unveiled on Boundary Street in front of the church. On May 8, 2023, it was unanimously accepted into the Reconstruction Era National Historic Network which connects sites across the country which provide education, interpretation, and research related to the period of Reconstruction.

REVIEW CRITERIA & ANALYSIS:

Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

A. Section 3.18.3.A. Consistency with the Secretary of the Interior's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures*.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Finding: Based on the information and materials submitted, Staff believes this Standard has been met as the rehabilitated structure will be brought back to its historic configuration for use as a tourism destination and event space and will retain all of the defining characteristics of the Contributing Resource, its site and environment, and as such, this Standard has been met. Furthermore, the proposed demolition of the non-contributing, non-historic portion of the Contributing Resource and the construction of a 608 SF rear addition will ensure that the new use for the Contributing Resource will not have any negative impact on the defining characteristics of the Contributing Resource, its site and environment, and as such, this Standard has been met.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Finding: Based on the information and materials submitted, the proposed demolition is limited to the non-contributing, non-historic portion of the Contributing Resource, the removal of which ensure that the historic character of the Contributing Resource is retained and preserved. Furthermore, the rehabilitated structure will retain all defining features and spaces that characterize the Contributing Resource. The portico, windows, siding, trim, fascia, and soffit are being replaced with in-kind materials; the belfry will be reconstructed to the 1874 period; and the front doors will be retained and restored: all of which will retain the historic character of the Contributing Resource, and as such, this Standard has been met.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Finding: Based on the information and materials submitted, the proposal meets this Standard as no additional or conjectural features or architectural elements from other buildings are being proposed.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Finding: While there have been several changes to the building over time, not every change has acquired historic significance and shall not be retained and preserved. For example, neither the rear extension to the Sanctuary nor the rear addition have acquired historic significance and shall not be retained and preserved. Furthermore, the proposal to remove the current belfry and replace it with a more historically appropriate one, as determined by photographic evidence, would be appropriate. As such, this Standard has been met.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Finding: Staff finds that based on the information and materials submitted, that the proposed replacement of the c. 1874 belfry using remnants of original belfry framing materials, visual evidence of construction techniques, and examples of craftsmanship will permit the preservation of this distinctive architectural feature, which will meet this Standard. However, the current 5-V metal roof is a distinctive finish that characterizes the Contributing Resource and as such shall be preserved by replacement with in-kind materials and accordingly replacing the current metal roof with wood does not meet this Standard.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new*

feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Finding: The Applicant proposes to recreate the jib doors under one double-hung window on each of the north and south elevations, based on the remains of original jambs, styles, and framing elements discovered *in situ*, which will permit the replacement of these unique and rare missing features, and as such, this Standard has been met. However, since there is no documentary, physical, or pictorial evidence of exterior shutters submitted as part of this application, the installation of shutters are not permitted unless additional documentary, physical, or pictorial evidence becomes available to support the installation of shutters.

7. *Deteriorated Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Finding: No chemical or physical treatments have been proposed as a portion of the application; therefore, this Standard is not applicable.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Finding: No digging beyond that required for the foundation is proposed. Should any archeological resources be discovered during the project, Town Staff must be notified to determine if any mitigation measures are needed.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Finding: Town Staff has found that the proposed 608 SF rear addition is differentiated from the old and is compatible with the massing, size, scale, and architectural features and protects the historic integrity of the property and its environment and, as such, this Standard has been met.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Finding: Town Staff has found that the proposed 608 SF rear addition appears to be designed in such a manner that if removed in the future, the essential form and

integrity of the historic resource would be unimpaired, and as such, this Standard has been met.

B. Section 3.18.3.B. Consistency with the principles set forth in the *Old Town Master Plan*.

Finding. The application is consistent with the principles set forth in the *Old Town Master Plan*. The *Old Town Master Plan* states, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced.”

The rehabilitation of the Contributing Resource, if done in a manner which meets the criteria set forth in Section 3.18 of the UDO, as outlined above, will enhance the District by protecting one of the most visible and architecturally significant structures within the Old Town Bluffton Historic District.

C. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

Finding. If the conditions below are met, the proposed rehabilitation of the Contributing Resource will be in conformance with applicable provisions provided in Article 5:

1. Section 5.15.6.J. Roofs and Gutters. For roofs, metal, standing seam or 5-V Crimp 24” maximum spacing, panel ends exposed at overhang is permitted. The Applicant proposes replacing the roof of the Contributing Resource with wood shingles which is not a permitted material and therefore does not meet this Design Standard. Furthermore, the proposal to install a membrane roof on a portion of the rear addition does not meet this Design Standard as it is not an approved material. The Applicant specifies that the “the employment of a membrane roof requires the use of a parapet to conceal from eye-level view the membrane, flashing, and vents, and to direct water towards collection box, thus eliminating the visual clutter of gutters and downspouts on the addition.” As wood shingles and membrane roof are not permitted materials under the UDO, the HPC will need to determine the appropriateness of the use of this type of roofing material.

D. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form, and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the project to be consistent and harmonious with that of the surrounding area. The structure is an existing Contributing Resource whose mass and scale must be retained. With the proposed demolition of the non-historic, non-contributing rear addition, the recreation of the historic belfry and front portico, and the addition of a new, smaller rear addition, the rehabilitated

Contributing Resource will be consistent with the scale, form and building proportions of the surrounding neighborhood. As such, the proposed rehabilitation is appropriate.

- E. Section 3.18.3.E. Preservation of the existing building's historic character and architecture.

Finding. Based on information and materials submitted, Staff finds that the existing building's historic character and architecture will be preserved.

- F. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. Based on information and materials submitted, Staff finds that the historic, architectural, and aesthetic features of the Contributing Resource will be preserved by the demolition of the non-historic, non-contributing rear addition, the construction of a non-intrusive rear addition, and the rehabilitation of the historic structure with the recreation of the missing historic belfry and reconstruction of the historic front portico, therefore this will not be detrimental to the public interest.

- G. Section 3.18.3.G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider:

1. The existing and historical ownership and use and reason for requesting demolition;

Finding. The Campbell Chapel A.M.E. has been owned continuously by the Trustees since 1874 and has been used by the congregation since that time. In this application, the non-historic, non-contributing portion of the Contributing Resource, constructed in the 1960s as a fellowship hall and kitchen space is proposed to be demolished in order to return the Resource to its original historic appearance and future use as a tourist destination and event space associated with the church. Retaining the 1960s-era rear addition will not accomplish this goal.

2. Information that establishes clear and convincing evidence that:

- a. The demolition of the structure is necessary to alleviate a threat to public health or public safety.

Finding. The Applicant states in their narrative (Attachment 4) that the project, in part, "will remove the latter additions which have produced structural and environmental impacts to this historic [Contributing Resource.]" Accordingly, Staff finds that the demolition of the non-historic, non-contributing portion of the Contributing Resource is necessary.

- b. No other reasonable alternatives to demolition exist.

Finding. The Applicant believes that the demolition is necessary in order to restore the Contributing Resource to its historic configuration and therefore, Staff finds that there are no reasonable alternatives to demolition in this case.

- c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property.

Finding. Denial of the application for demolition may not deny the property owners reasonable economic use and return on the property, therefore the Contributing Resource should be rehabilitated as proposed in this Application in order to provide the Owner with a reasonable economic use of or return on the property.

- 3. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

HISTORIC PRESERVATION COMMISSION ACTIONS:

As described in UDO Section 5.15.1, Old Town Bluffton Historic District Intent, the regulatory requirements, design guidelines and materials are not intended to “discourage creativity or force the replication of historic models” but to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. It is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

As granted by the powers and duties set forth in Section 2.2.6.E.2 of the UDO, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

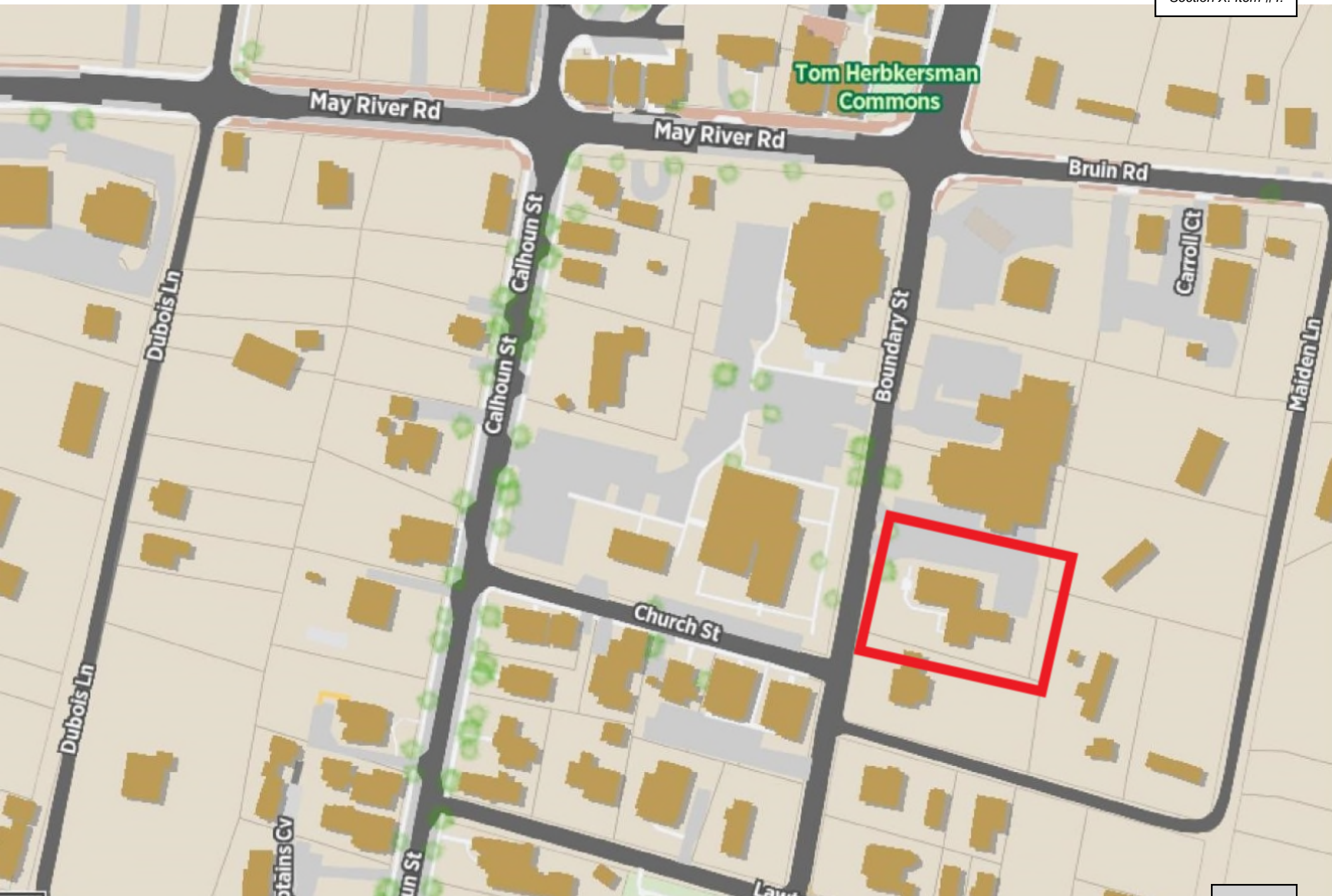
1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

STAFF RECOMMENDATION: Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the UDO have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 3.18.3.A., the current 5-V metal roof is a distinctive finish that characterizes the historic structure and as such shall be preserved by replacement with in-kind materials or per Section 5.15.6.J., the HPC will need to make a determination for the appropriateness of the use of wood roof shingles as a substitute for permitted roof materials on the historic Contributing Resource;
2. Per Section 3.18.3.A., since there is no documentary, physical, or pictorial evidence of exterior shutters submitted as part of this application, the proposed replacement of these missing elements does not meet the Secretary of Interior's *Standards*, and the installation of shutters would be inappropriate;
3. Per Section 5.15.6.J., the HPC will need to make a determination for the appropriateness of the use of a membrane roof as a substitute for permitted roof materials on the proposed 608 SF rear addition;
4. Per Section 3.19., landscape has not been reviewed as part of this application and future review may be required should work be proposed beyond the scope of this application; and
5. Per Sections 3.10 and 3.18, a Development Plan is required to complete site changes to the stormwater, parking layout, circulation, etc., that exceed the scope of work being reviewed under this Certificate of Appropriateness – HD.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application
4. Narrative
5. Restoration Plans
6. Addition Plans
7. Site Plan
8. HPRC Comments, dated May 3, 2023
9. Applicant Comment Letter, dated May 10, 2023
10. Applicant Comments, dated May 10, 2023







ATTACHMENT 3

TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer

Section X. Item #4.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Rev. Dr. Jon R. Black		Name: Board of Trustees of Campbell AME Church	
Phone: 843-757-3652		Phone: 843-757-3652	
Mailing Address: PO Box 83 Bluffton, SC 29910		Mailing Address: PO Box 83 Bluffton, SC 29910	
E-mail: admin@historiccampbellchapel.com		E-mail: admin@historiccampbellchapel.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Campbell Chapel AME		Conceptual: <input checked="" type="checkbox"/>	Final: <input checked="" type="checkbox"/> Amendment: <input checked="" type="checkbox"/>
Project Address: 23 Boundary St		Application for:	
Zoning District: Town of Bluffton		<input type="checkbox"/> New Construction	
Acreage:		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
Tax Map Number(s): R610 039 00A 0080		<input type="checkbox"/> Relocation	
Project Description: Restoration of historic church building and addition of restroom/ADA accommodations			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Jon R. Black</i>		Date: 10 May 23	
Applicant Signature: <i>James G. Fisher</i>		Date: 10 May 23	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 3
TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION
PROCESS NARRATIVE

Section X. Item #4.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 3

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section X. Item #4.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input checked="" type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Church					
Building Setbacks	Front: 15'	Rear: 20'	Rt. Side: 20'	Lt. Side: 20'	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	Church	3860	2157		
Ancillary	n/a				
Ancillary	n/a				
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		16,349			
Impervious Drive, Walks & Paths		2300			
Open/Covered Patios		0			
A. TOTAL IMPERVIOUS COVERAGE		2751			
B. TOTAL SF OF LOT		76,607			
% COVERAGE OF LOT (A/B= %)		24%			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	See attached plans	Columns	Existing		
Walls	See attached plans	Windows	See attached plans		
Roof	See attached plans	Doors	See attached plans		
Chimney	N/A	Shutters	See attached plans		
Trim	See attached plans	Skirting/Underpinning	TBD		
Water table	N/A	Cornice, Soffit, Frieze	See attached plans		
Corner board	N/A	Gutters	N/A		
Railings	See attached plans	Garage Doors	N/A		
Balusters	See attached plans	Green/Recycled Materials	N/A		
Handrails	See attached plans				



ATTACHMENT 3 TOWN OF BLUFFTON

Section X. Item #4.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 3
TOWN OF BLUFFTON

Section X. Item #4.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input checked="" type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent


Date

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

Date

Printed Name of Applicant

JAMES O. MCGHEE ARCHITECTS, P.C.**Town of Bluffton****Application for Certificate of Appropriateness****Campbell Chapel AME****Project Narrative**

600 Caroline St
Suite C
Fredericksburg, Virginia
22401
540.371.1091

The building as it currently exists includes the original 1853 chapel structure with internal and external modifications, as well as 1960's additions to the rear of the building and side. This project will stabilize the structure and correct years' worth of accumulated deterioration and modifications to its original 19th century appearance. This project will also remove the latter additions which have produced structural and environmental impacts to the historic structure. An addition containing restrooms and wheelchair accessibility elements will be built onto the rear of the historic building, with a glass-enclosed hallway to display the original rear of the chapel. The addition's sides will be stepped back behind the historic structure as per the Secretary of the Interior Guidelines.

The ultimate goal of this project is to restore the structure as close to its original 1853 configuration as possible for its intended use as a tourism destination and event space. The construction will include restored and historically appropriate wood-frame windows, wood siding, wood shutters, and a wood shake roof on the original chapel. The addition will include wood siding, wood doors & windows, wood decking, metal guardrails around raised entrance elements, and a standing seam metal roof. The hallway element connecting the original chapel to the bathroom addition will be glass with a metal frame.

The drawings included in this submission shows proposed extent of this project.

1st drawings and photographs of the existing structures

2nd drawings and photographs showing the visible damaged elements.

3rd drawings showing removal of non-contributing elements

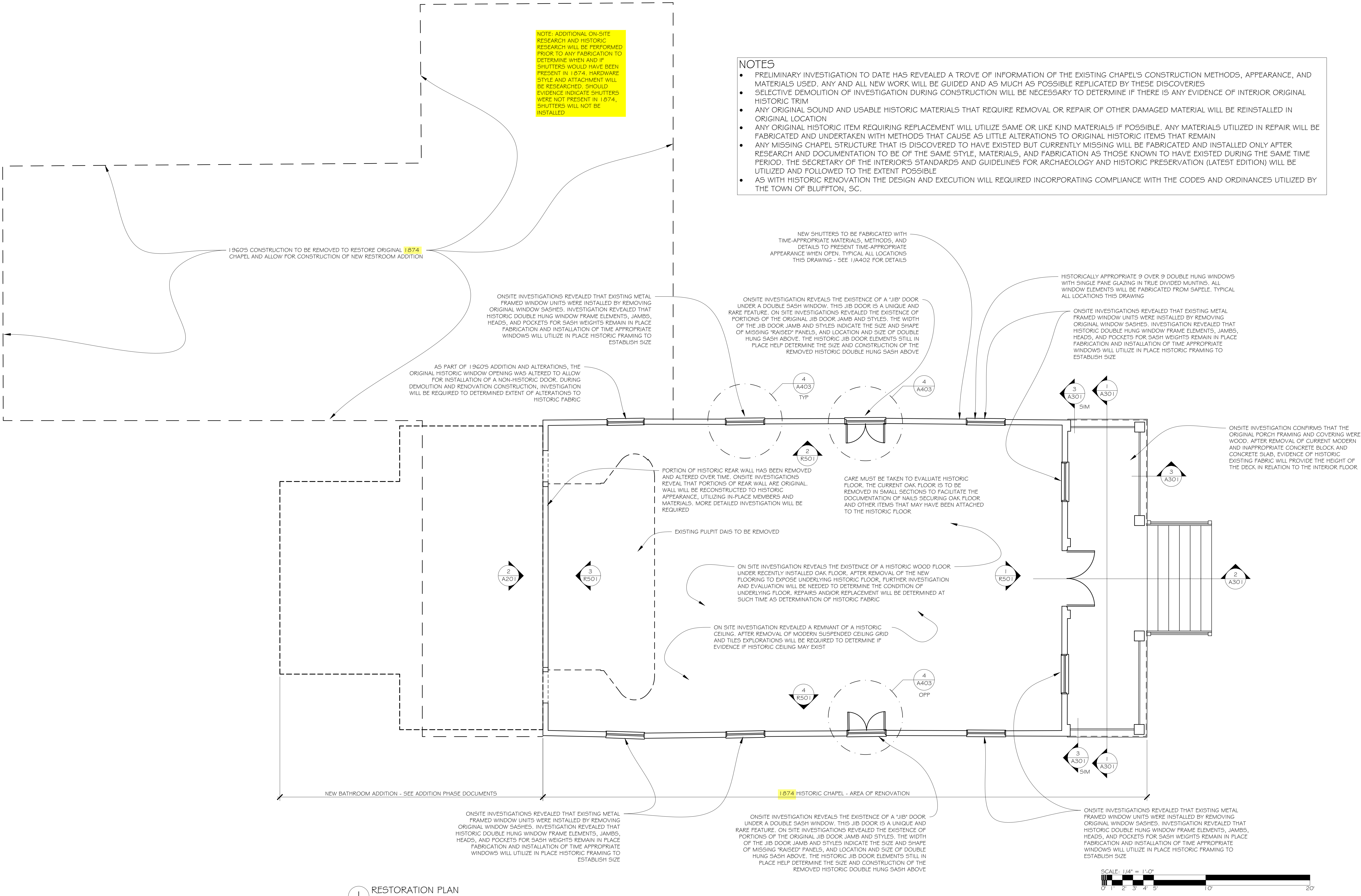
4th drawings and photographs that show the construction details of the restoration phase of the work to the existing chapel

5th drawings showing the construction details of the addition.

Chapel square footage: 1549 sqft

Addition square footage: 608 sqft

Total area of site disturbance: 17,000 sqft



Section X, Item #4.

JAMES O. MCGHEE

A R C H I T E C T S, P. C.

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Phone 540-371-1091 Fax 540-371-5837

31 JANUARY 2023
DRAWN BY:
JDC

REVISED:
2 MAY 2023

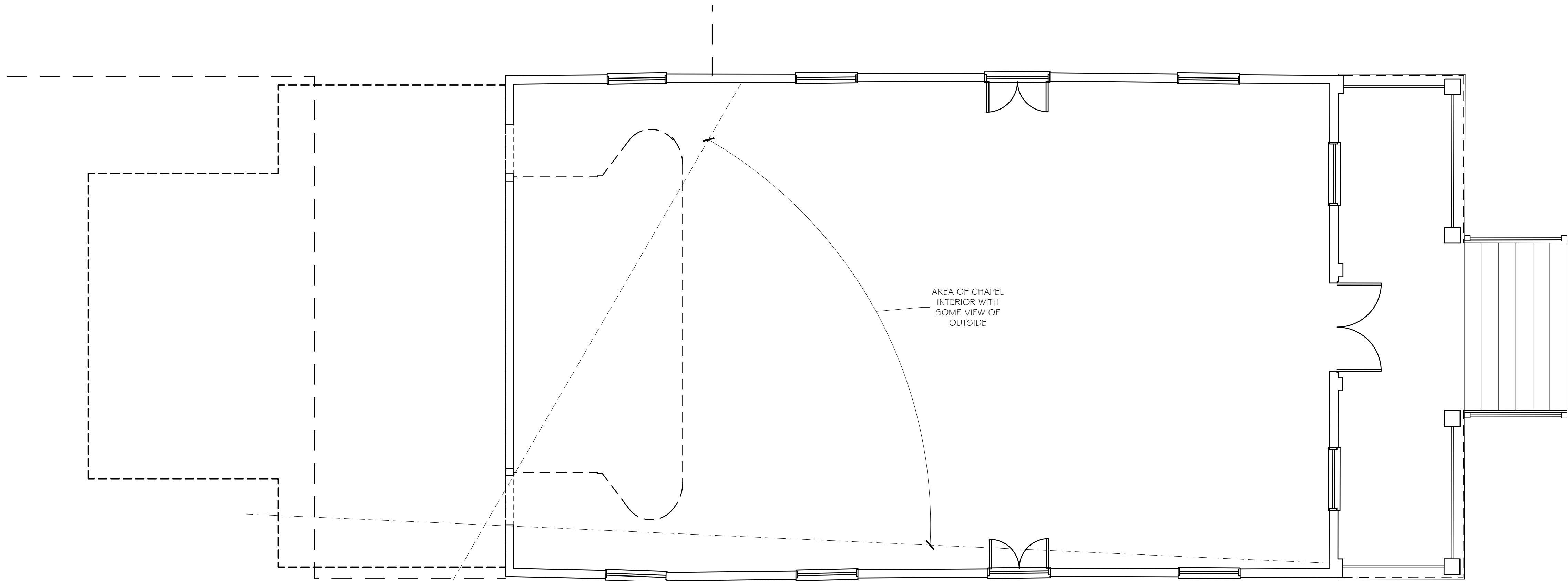
RESTORATION OF HISTORIC CAMPBELL CHAPEL
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BLUFFTON, SC 29910

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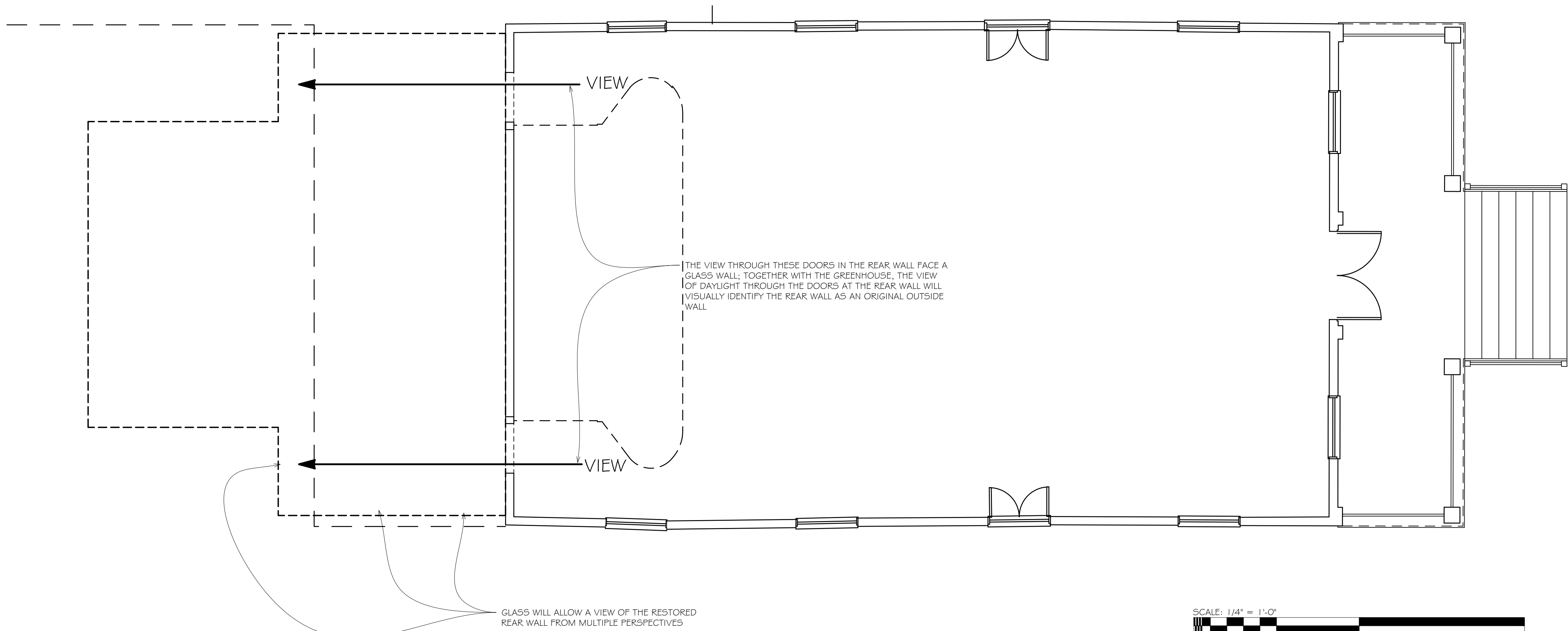
RESTORATION PLAN

R101

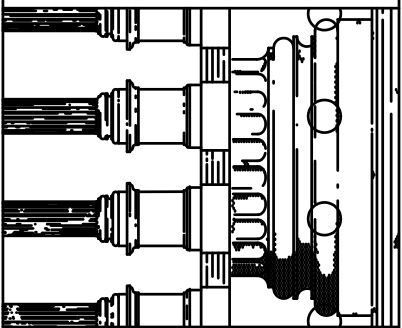
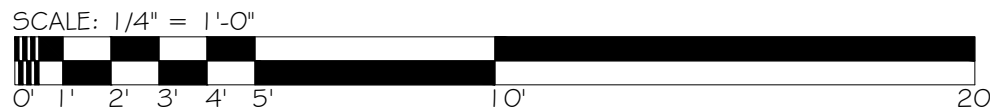
Page 181



2 SIGHTLINES PLAN
SCALE: 1/4" = 1'-0"



1 VIEW PLAN
SCALE: 1/4" = 1'-0"



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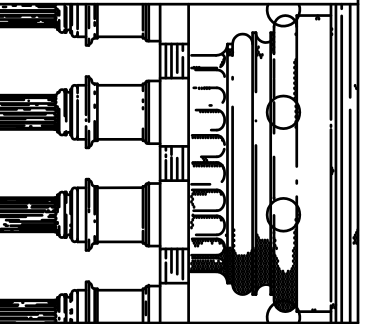
SIGHTLINES

R102

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NOTES

- PRELIMINARY INVESTIGATION TO DATE HAS REVEALED A TROVE OF INFORMATION OF THE EXISTING CHAPEL'S CONSTRUCTION METHODS, APPEARANCE, AND MATERIALS USED. ANY AND ALL NEW WORK WILL BE GUIDED AND AS MUCH AS POSSIBLE REPLICATED BY THESE DISCOVERIES
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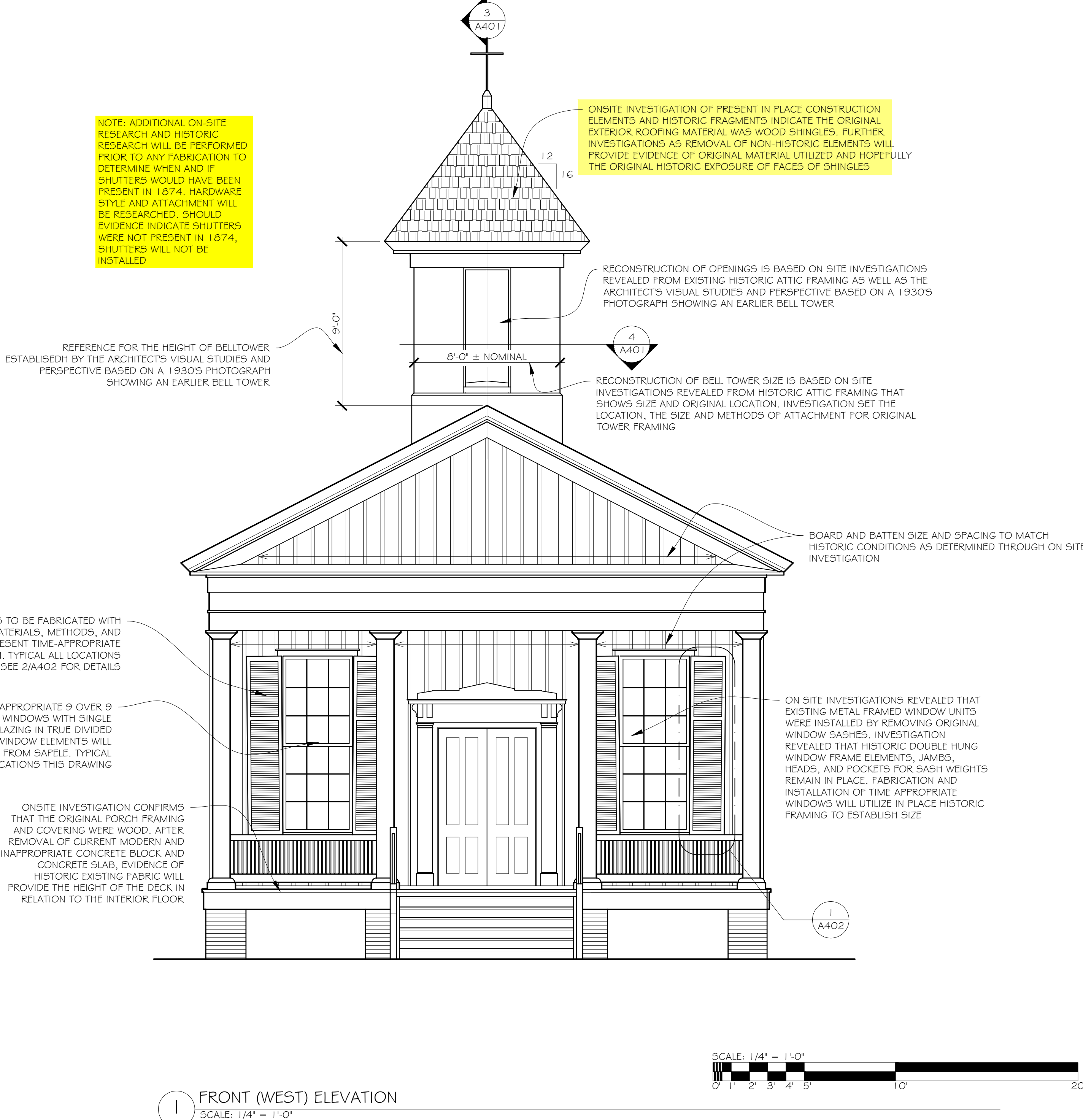
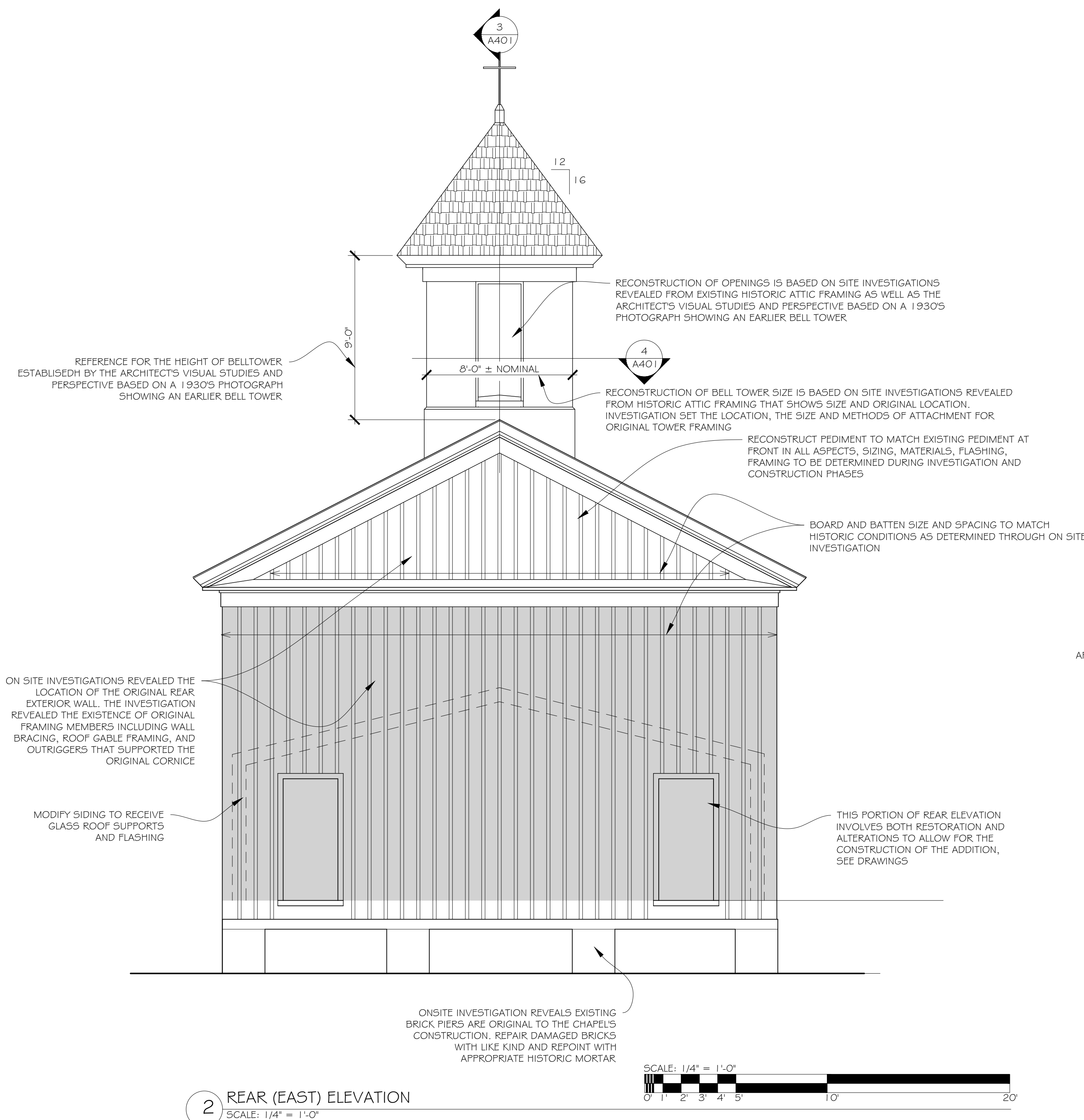
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DRAWN BY:
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REVISED:
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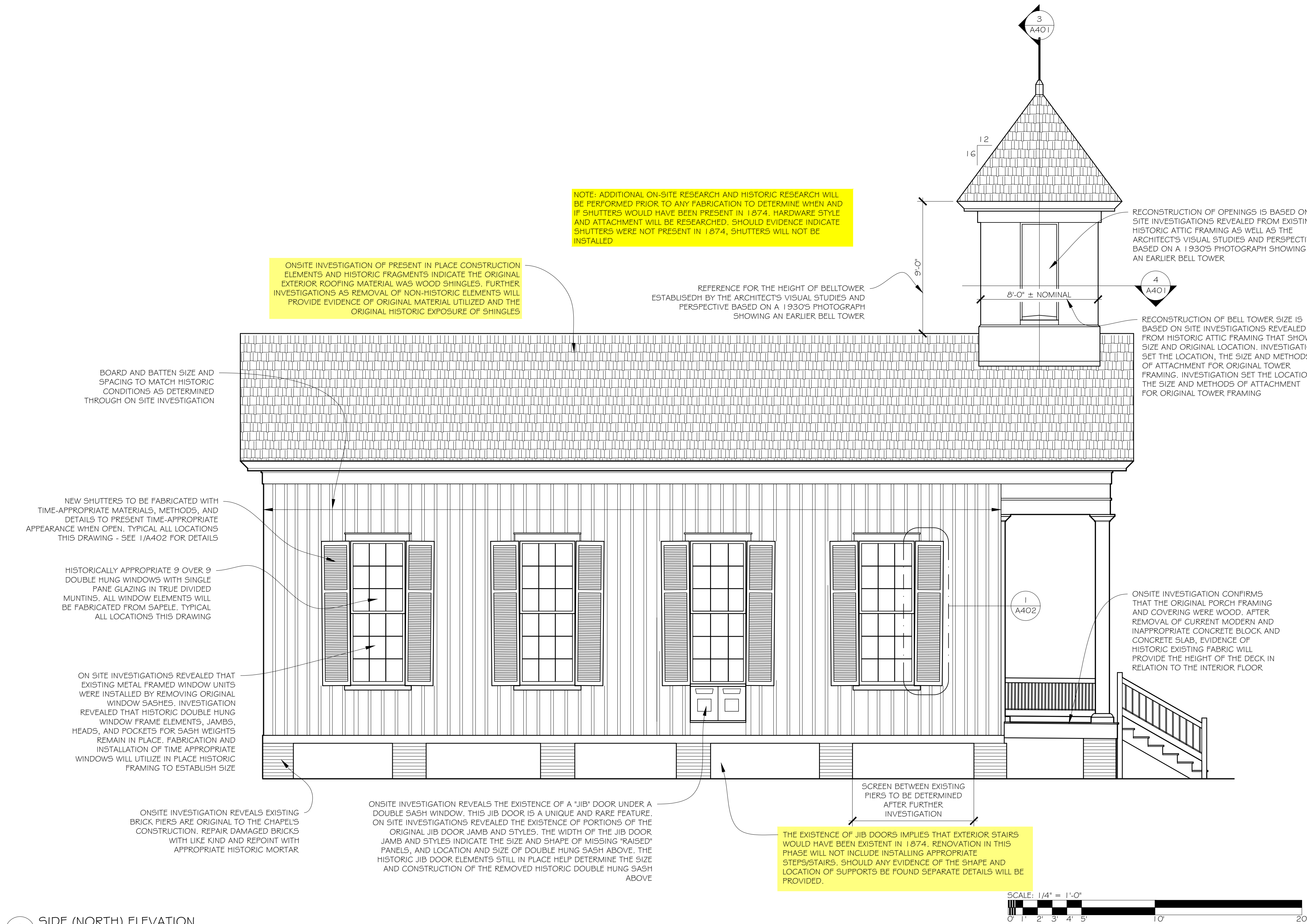
RESTORATION
ELEVATIONS

R201



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1 SIDE (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

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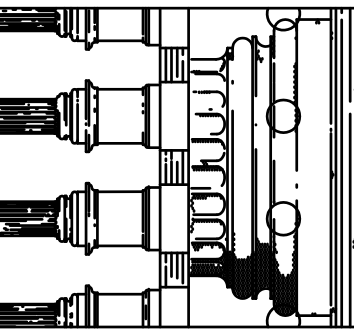
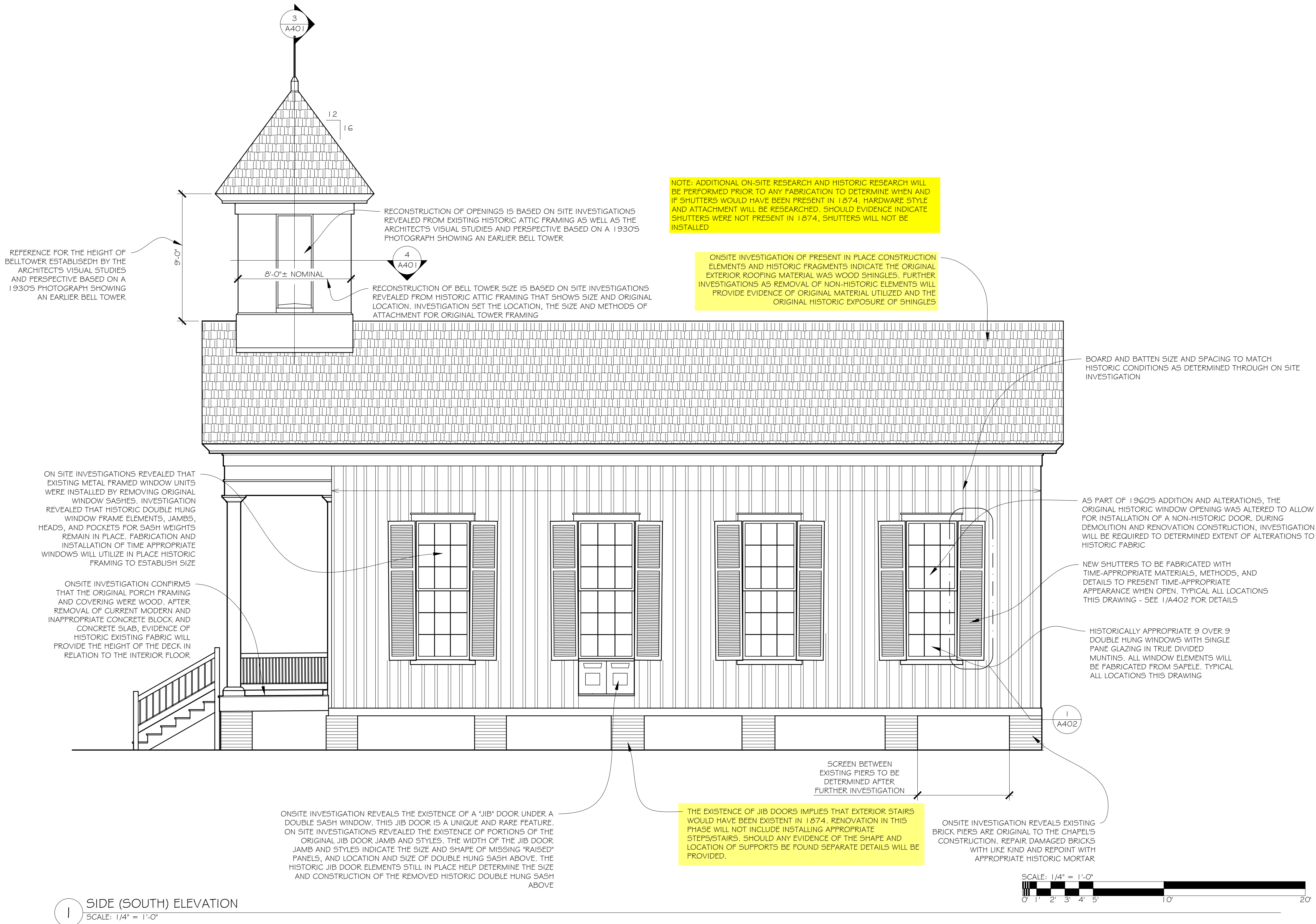
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RESTORATION
ELEVATIONS

R202

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RESTORATION
ELEVATIONS

R203

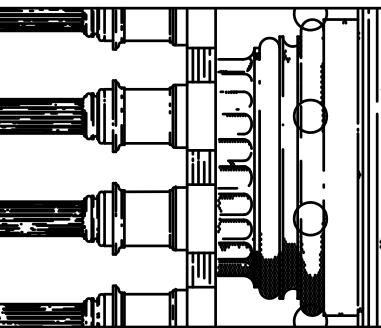
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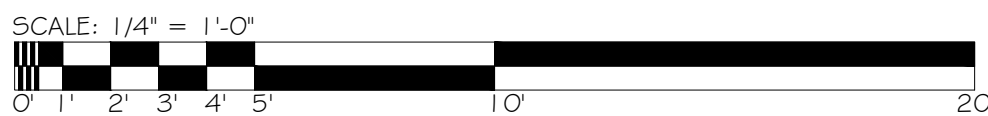
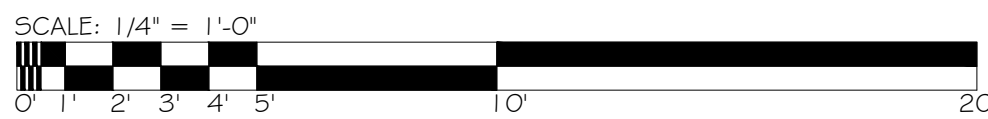
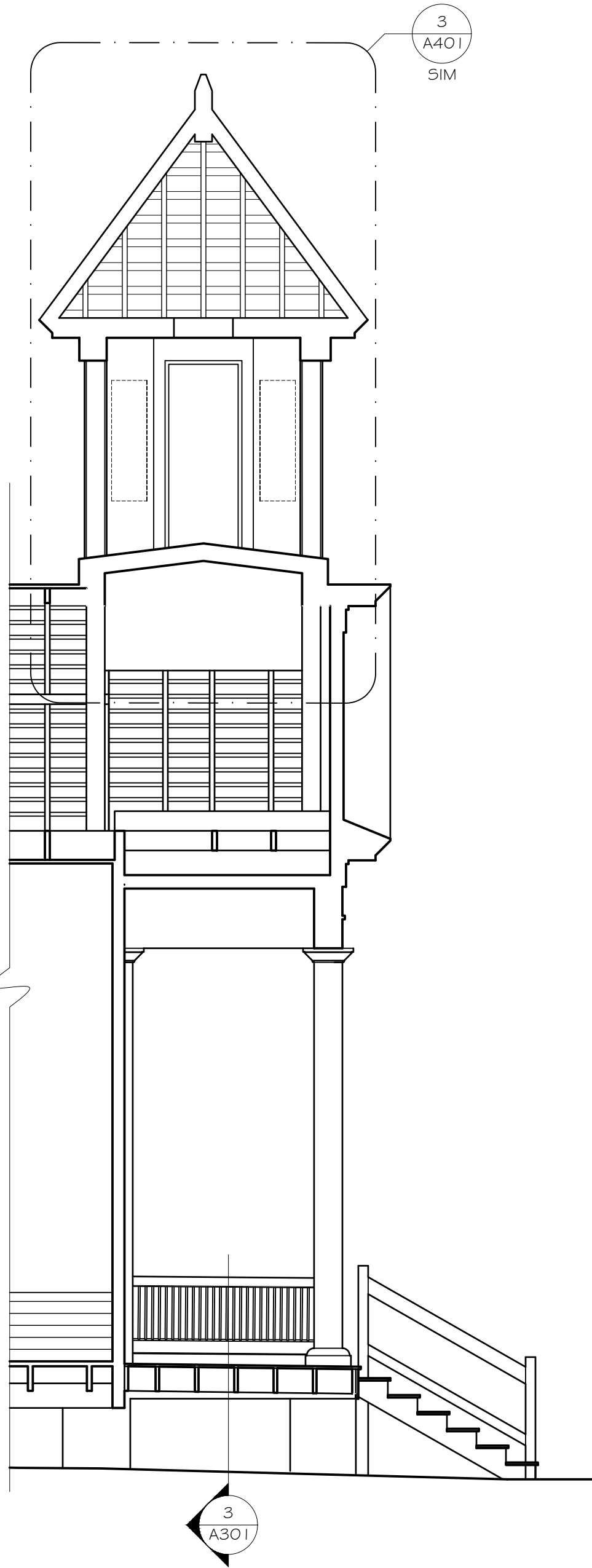
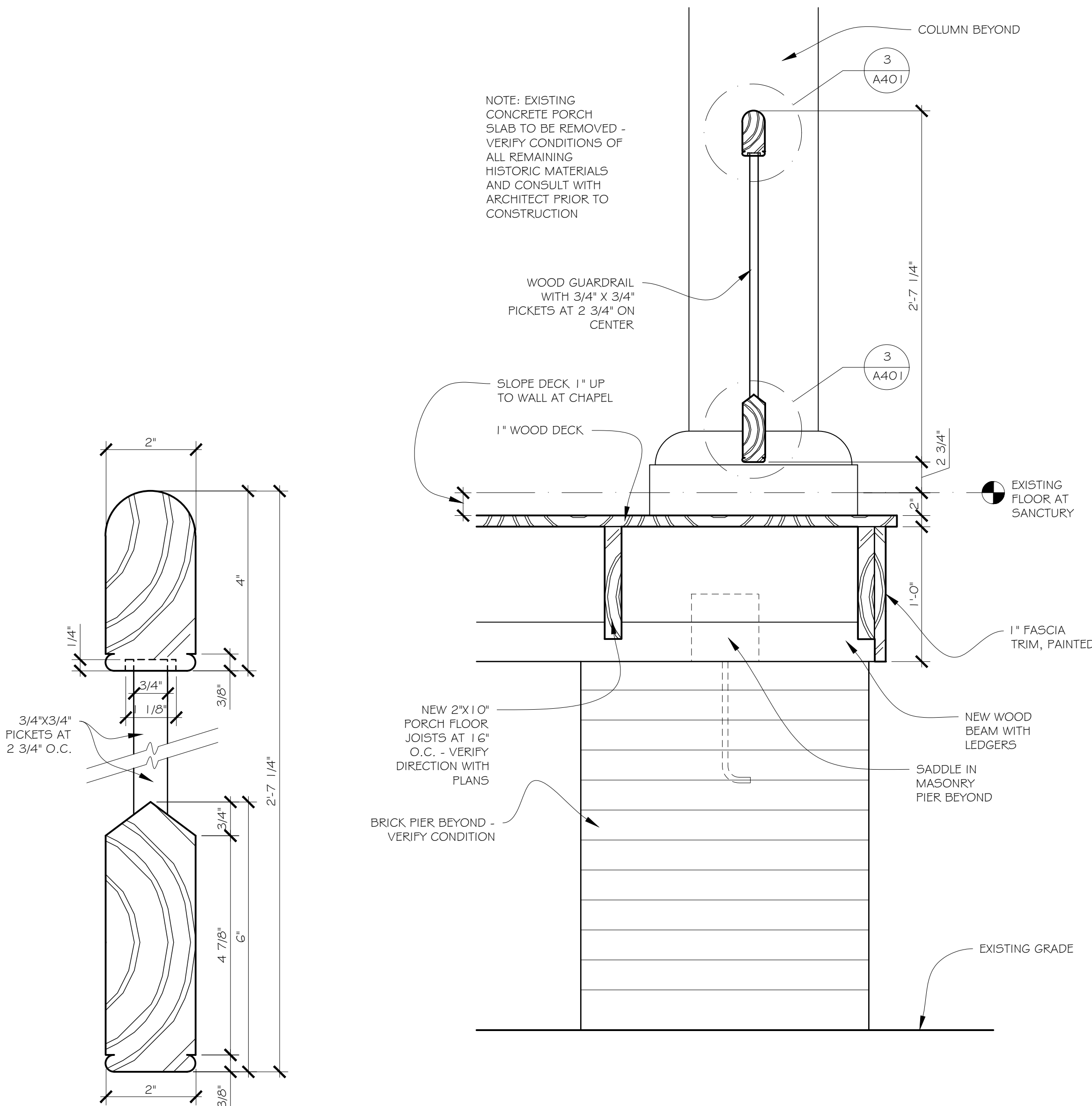
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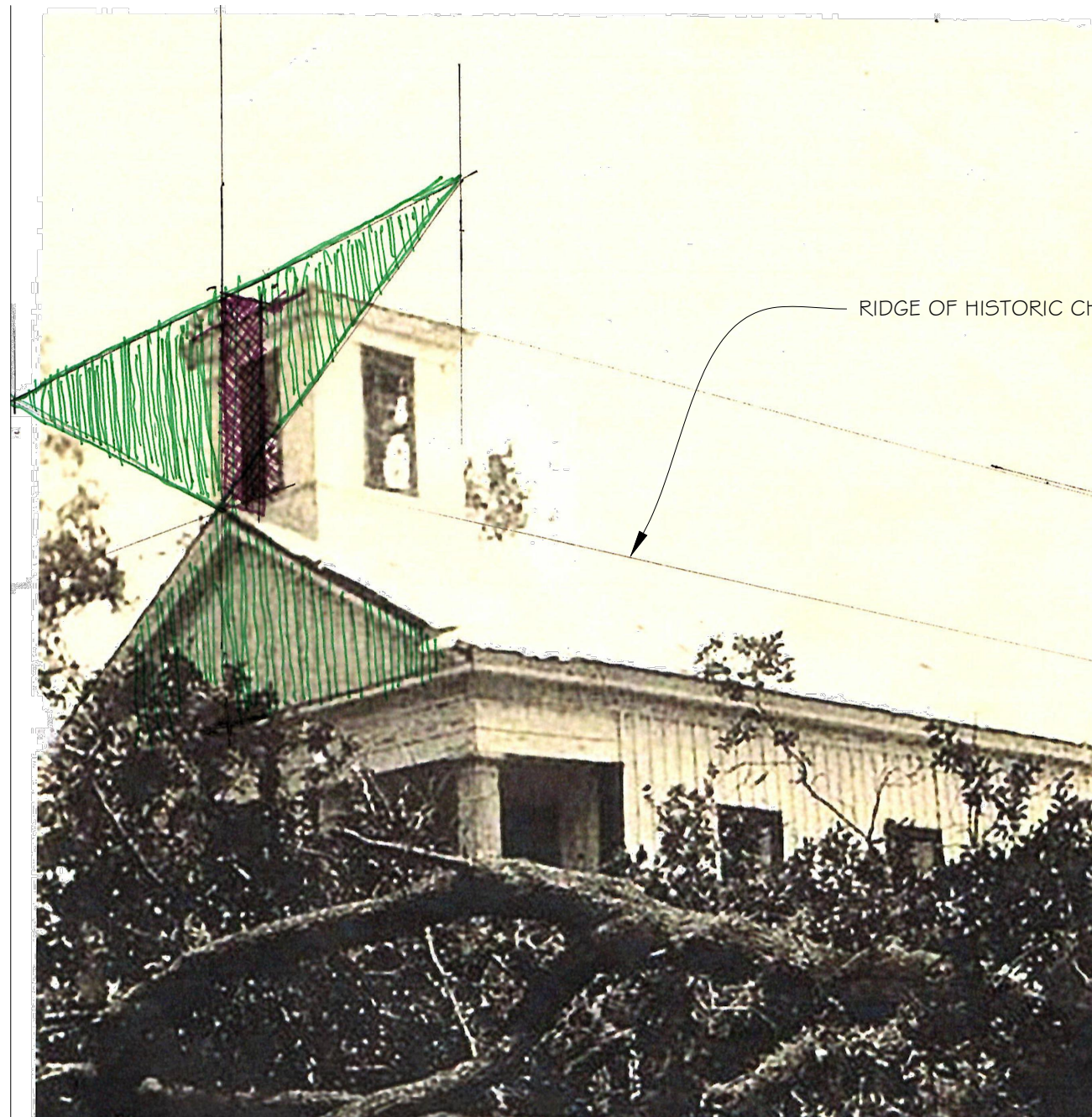
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RESTORATION
SECTIONS

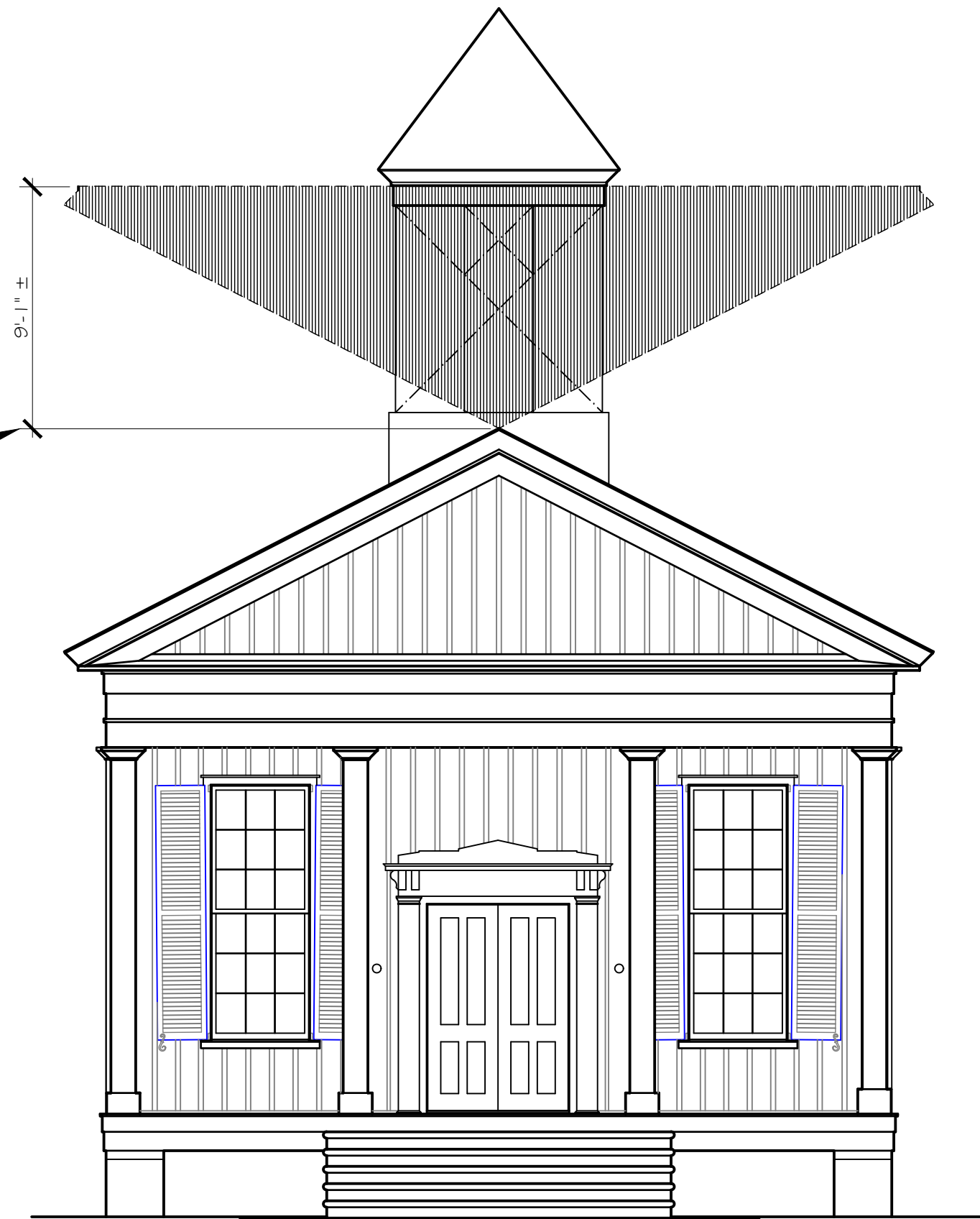
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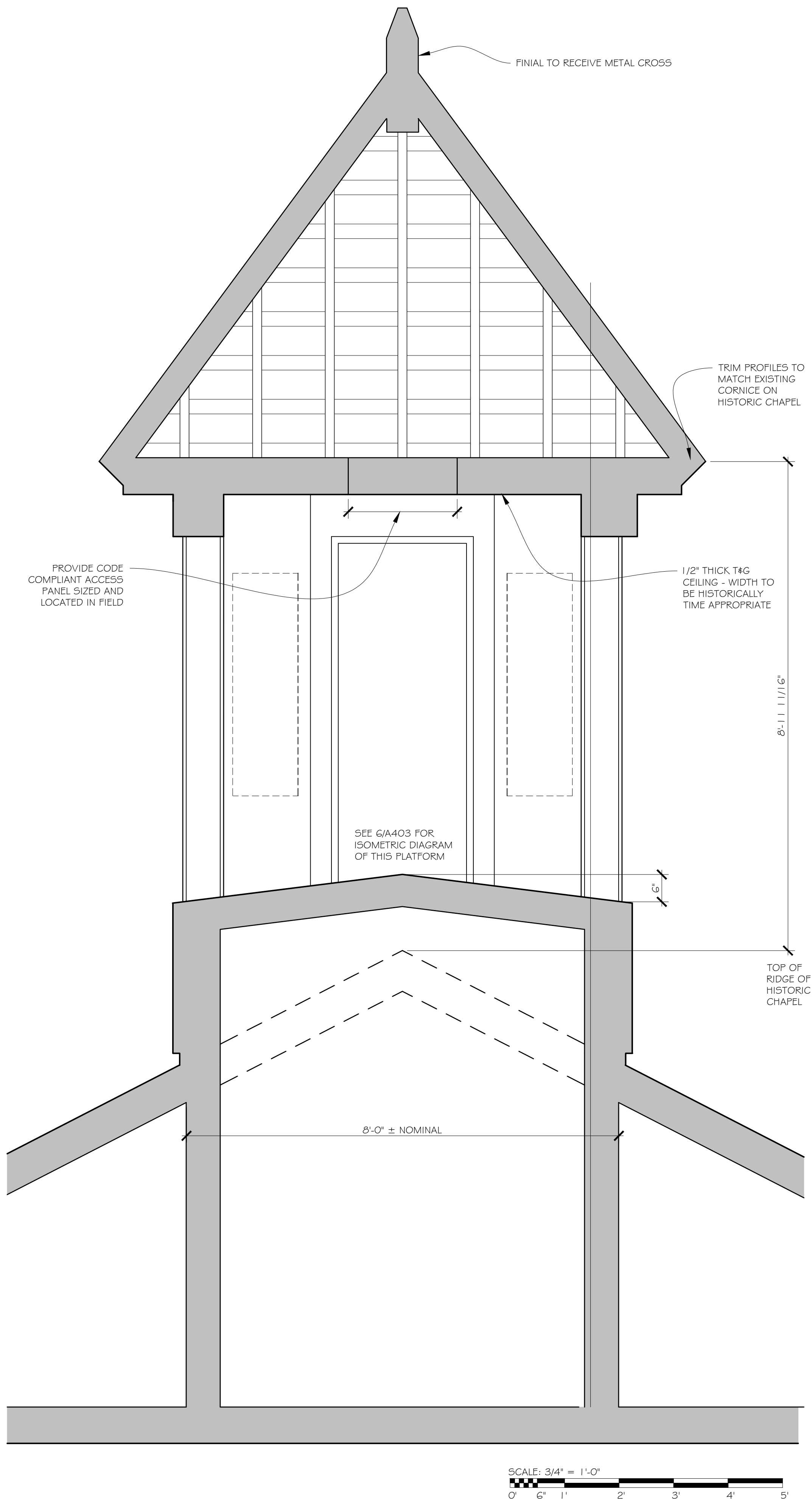
NOTE: ADDITIONAL ON-SITE RESEARCH AND HISTORIC RESEARCH WILL BE PERFORMED PRIOR TO ANY FABRICATION TO DETERMINE WHEN AND IF SHUTTERS WOULD HAVE BEEN PRESENT IN 1874. HARDWARE STYLE AND ATTACHMENT WILL BE RESEARCHED. SHOULD EVIDENCE INDICATE SHUTTERS WERE NOT PRESENT IN 1874, SHUTTERS WILL NOT BE INSTALLED



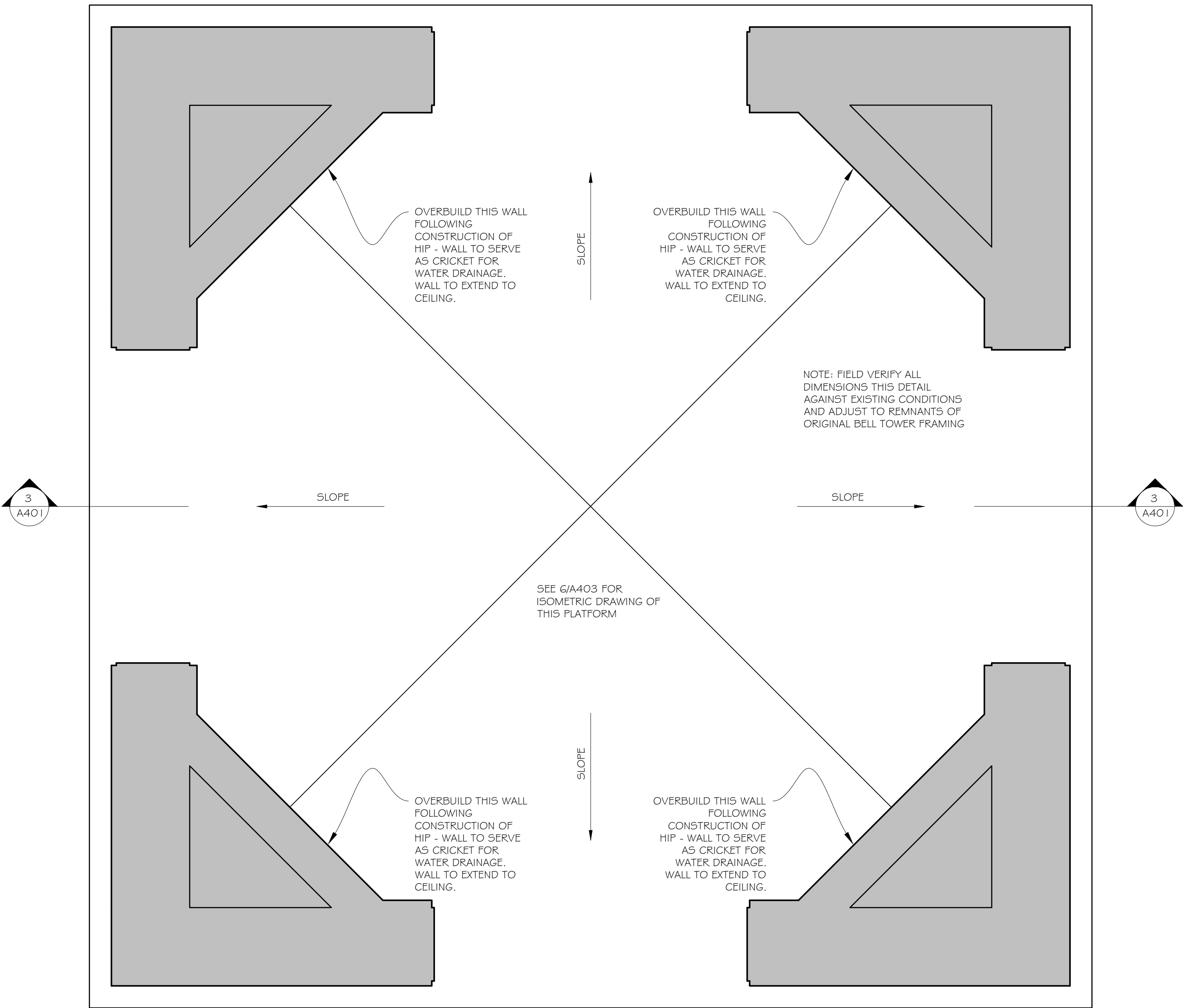
2 HISTORIC PHOTO SHOWING PERSPECTIVE MEASURING METHOD
NOT TO SCALE



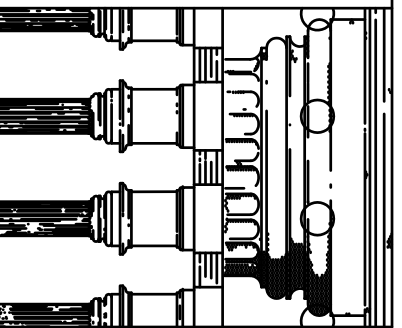
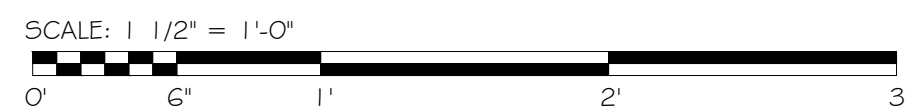
1 ARCHITECT'S VISUAL & PERSPECTIVE STUDY OF CURRENT CHAPEL
TO DETERMINE HEIGHT OF BELL TOWER

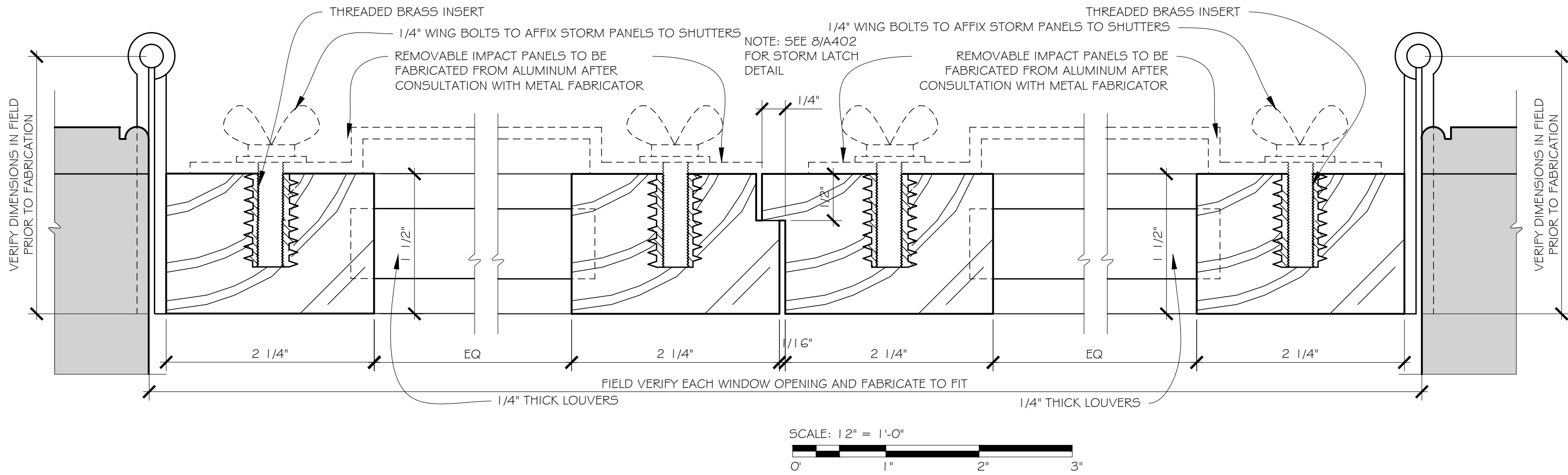


3 SECTION OF RECONSTRUCTED BELL TOWER
SCALE: 3/4" = 1'-0"



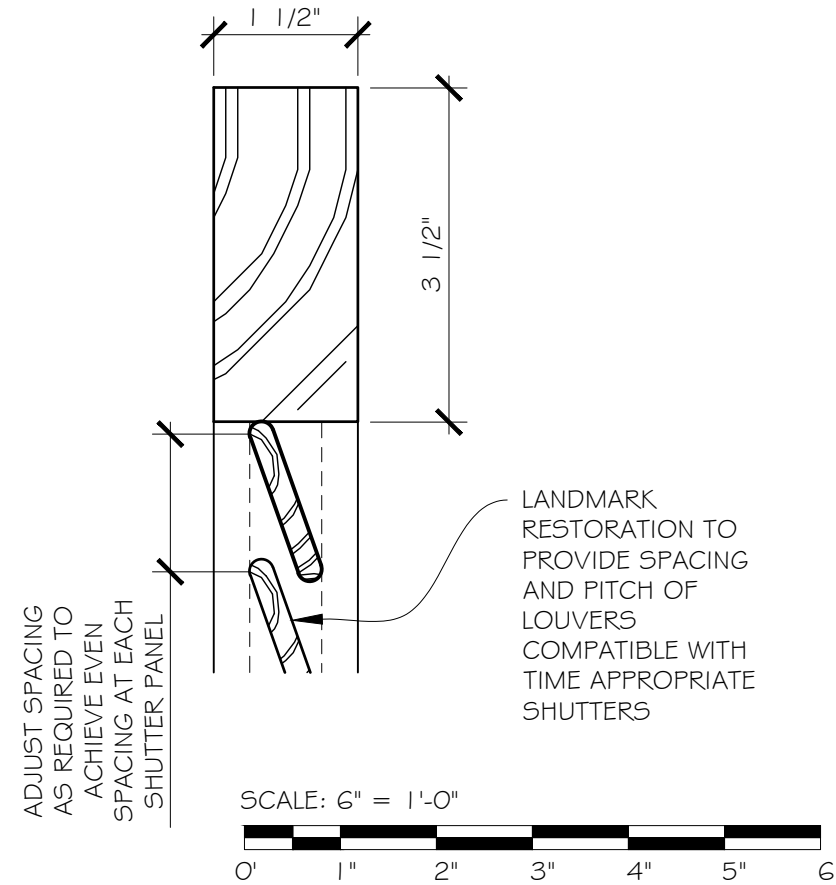
4 PLAN OF RECONSTRUCTED BELL TOWER
SCALE: 1 1/2" = 1'-0"





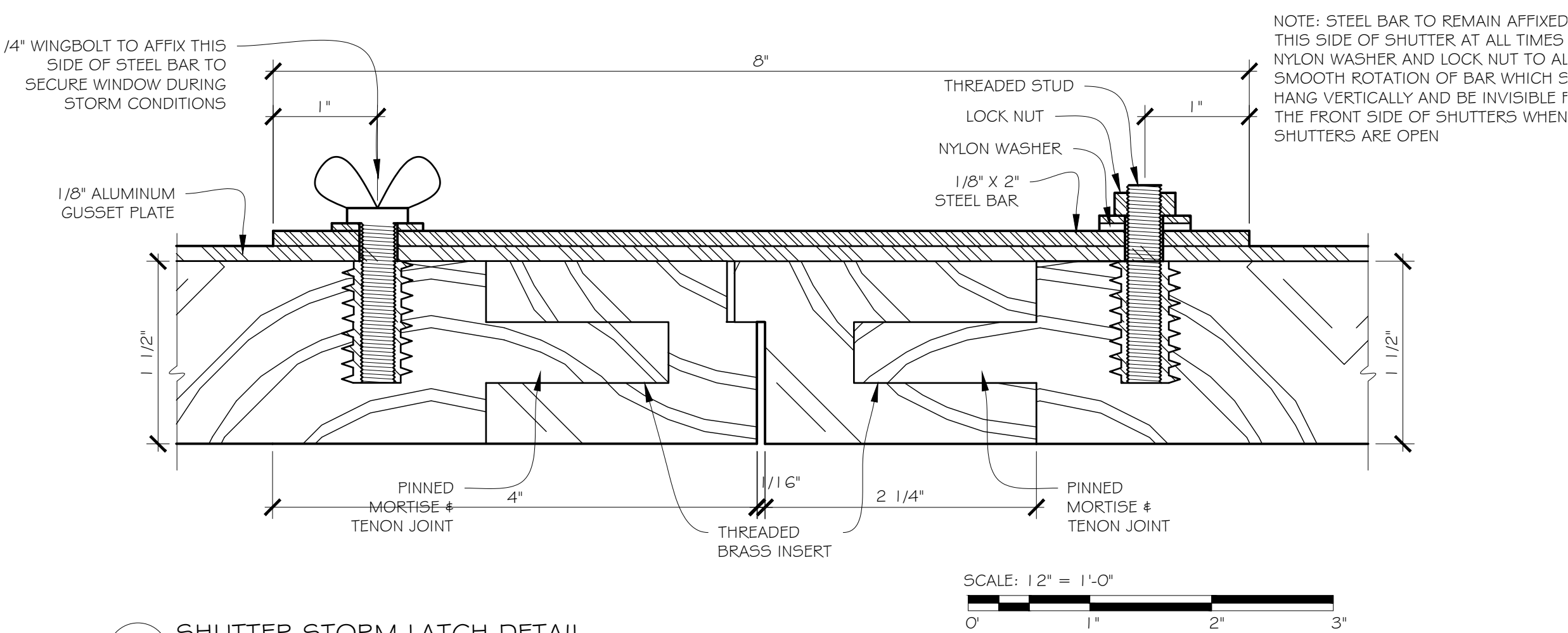
6 SHUTTER SECTION (SHOWN CLOSED)

SCALE: 1/2" = 1'-0"



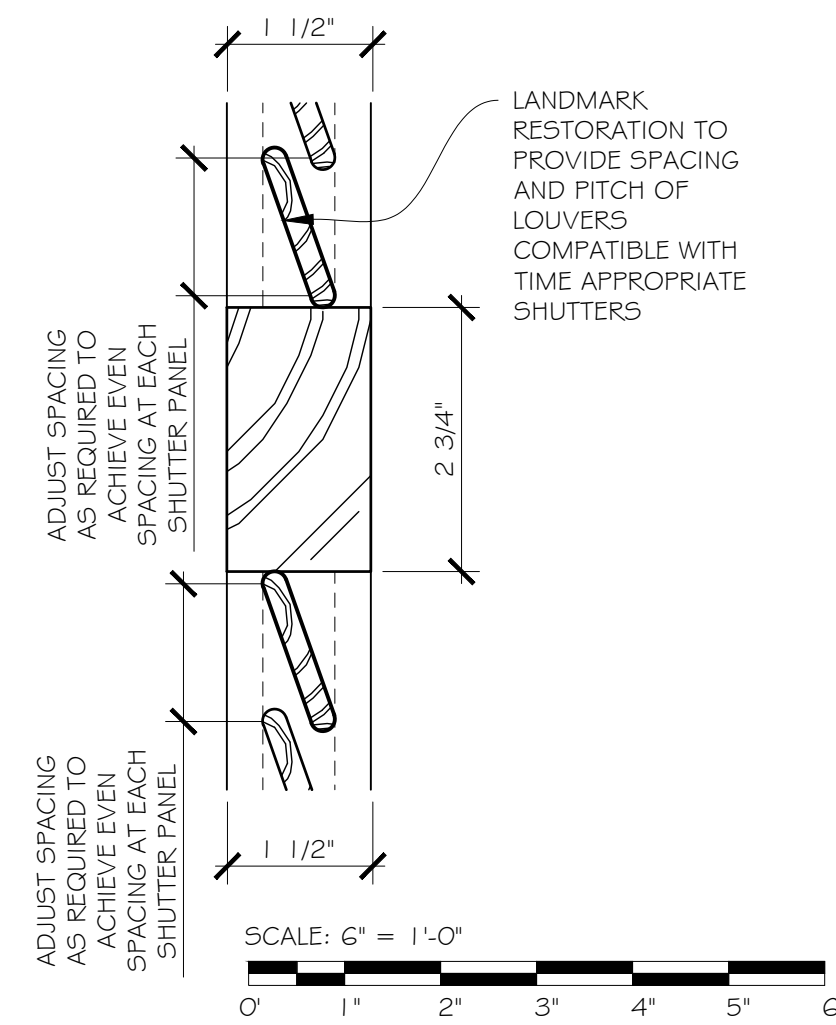
5 SHUTTER TOP RAIL DETAIL

SCALE: 6" = 1'-0"



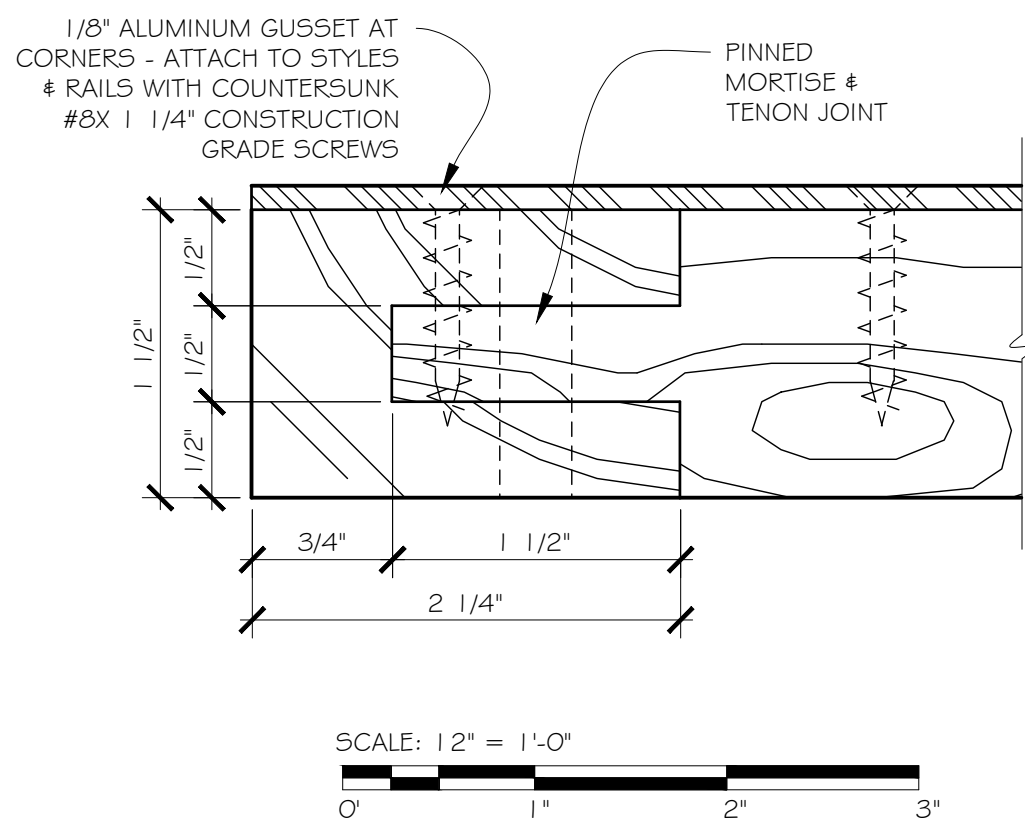
8 SHUTTER STORM LATCH DETAIL

SCALE: 1/2" = 1'-0"



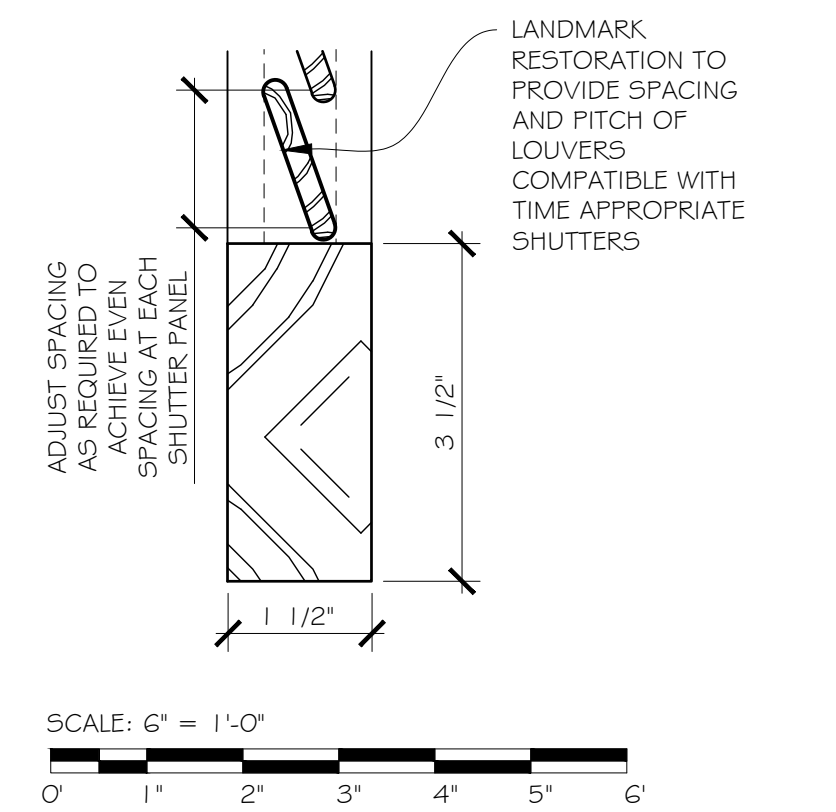
4 SHUTTER CENTER RAIL DETAIL

SCALE: 6" = 1'-0"



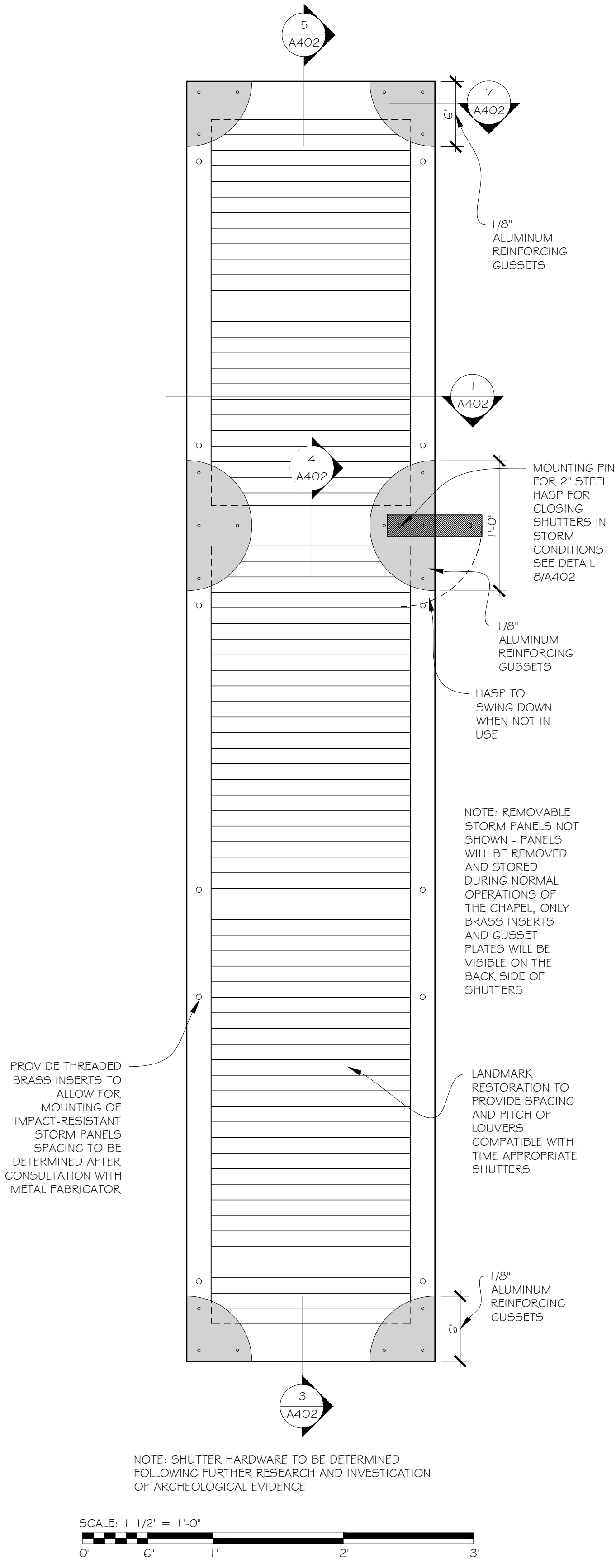
7 SHUTTER STYLE DETAIL

SCALE: 1/2" = 1'-0"



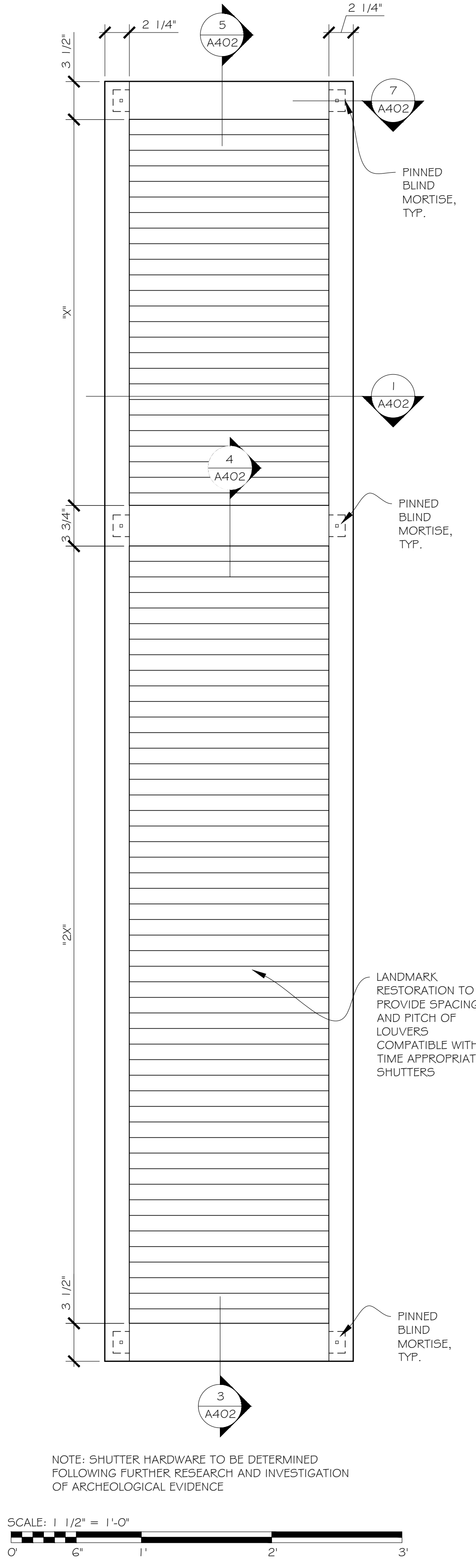
3 SHUTTER BOTTOM RAIL DETAIL

SCALE: 6" = 1'-0"



2 ELEVATION OF RECONSTRUCTED SHUTTERS (REAR)

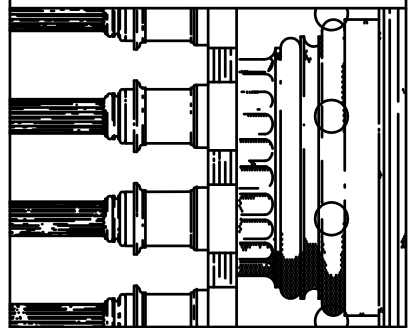
SCALE: 1 1/2" = 1'-0"

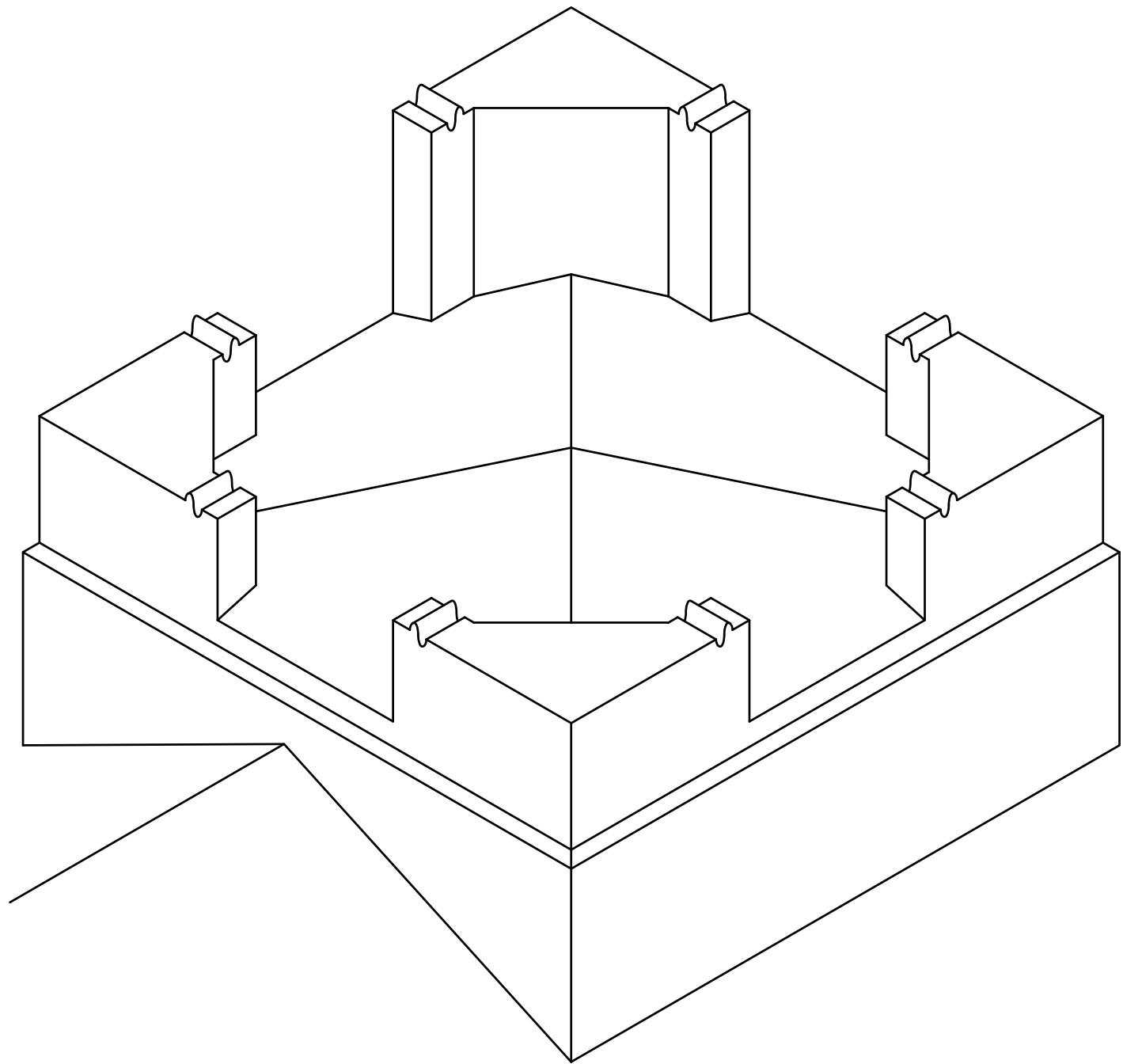


1 ELEVATION OF RECONSTRUCTED SHUTTERS (FRONT)

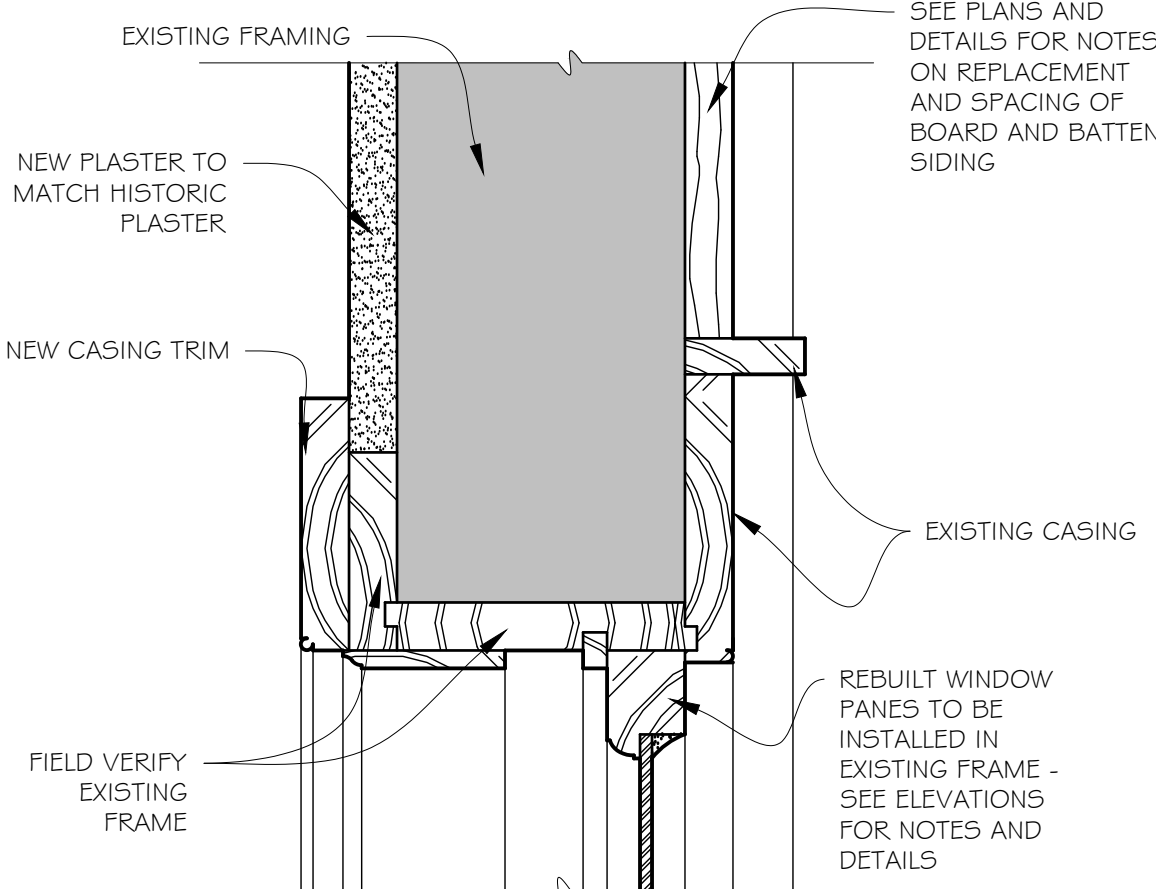
SCALE: 1 1/2" = 1'-0"

NOTE: ADDITIONAL ON-SITE RESEARCH AND HISTORIC RESEARCH WILL BE PERFORMED PRIOR TO ANY FABRICATION TO DETERMINE WHEN AND IF SHUTTERS WOULD HAVE BEEN PRESENT IN 1874. HARDWARE STYLE AND ATTACHMENT WILL BE RESEARCHED. SHOULD EVIDENCE INDICATE SHUTTERS WERE NOT PRESENT IN 1874, SHUTTERS WILL NOT BE INSTALLED





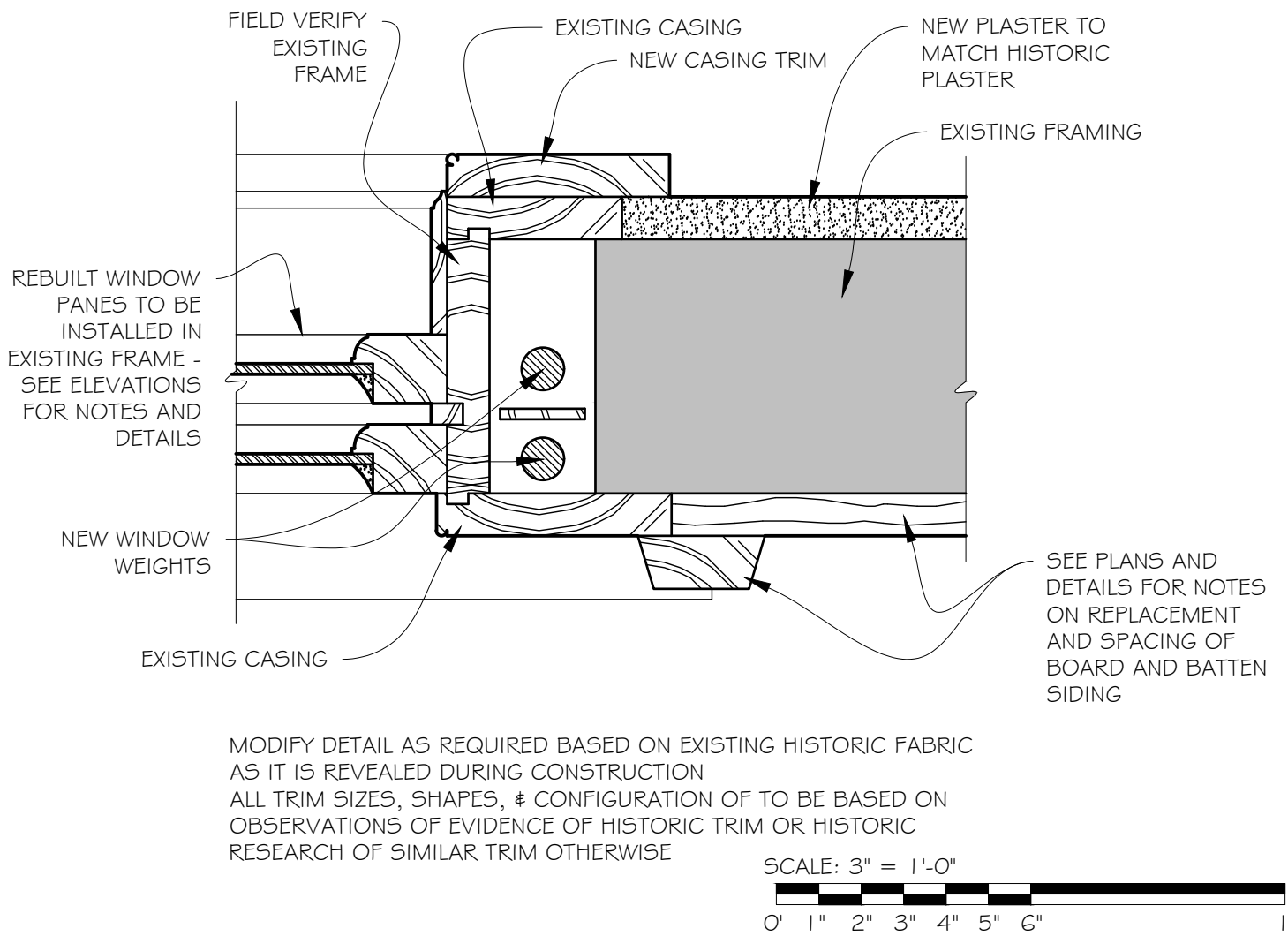
6 BELL TOWER ISOMETRIC
NOT TO SCALE



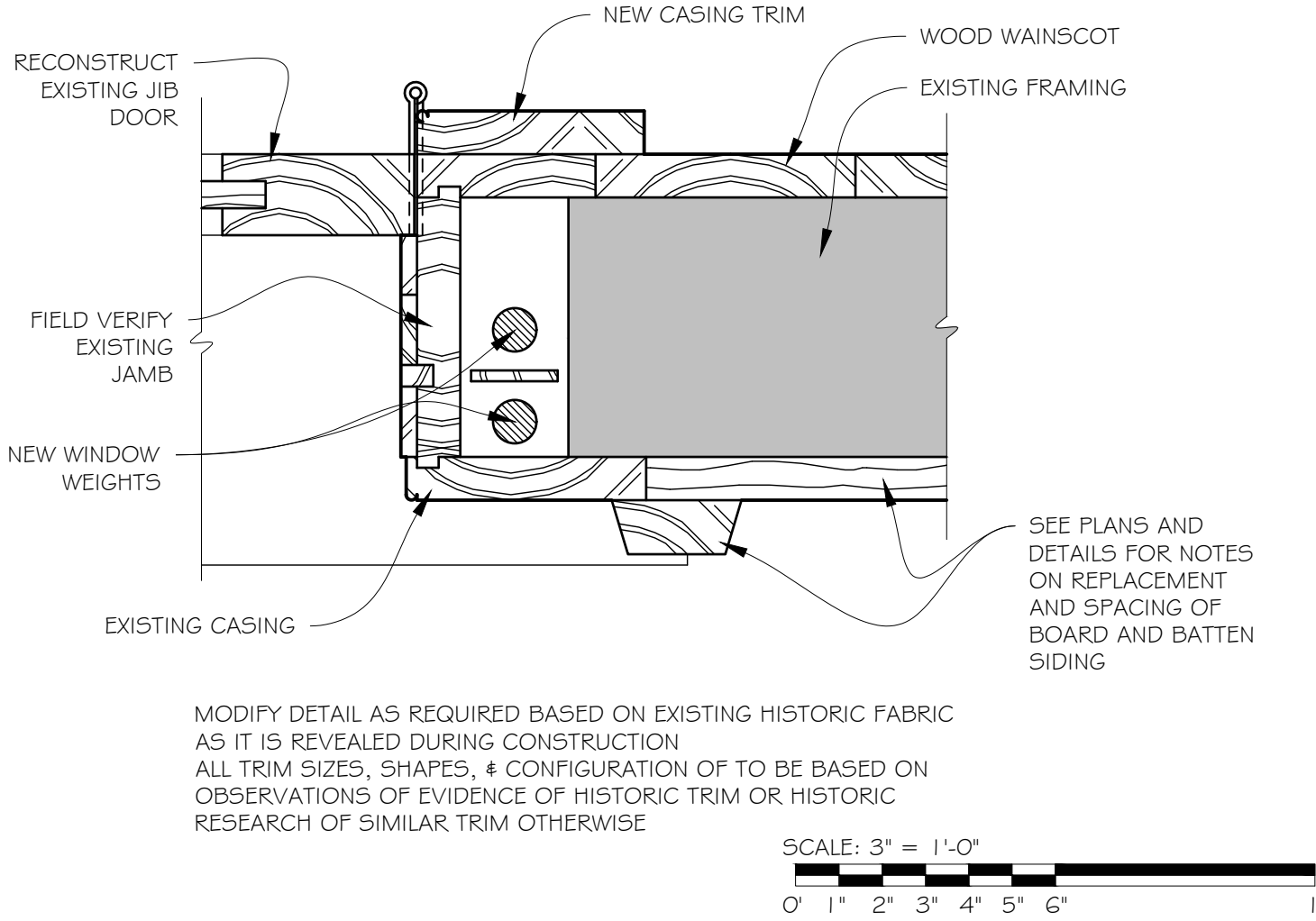
MODIFY DETAIL AS REQUIRED BASED ON EXISTING HISTORIC FABRIC AS IT IS REVEALED DURING CONSTRUCTION
ALL TRIM SIZES, SHAPES, & CONFIGURATION OF TO BE BASED ON OBSERVATIONS OF EVIDENCE OF HISTORIC TRIM OR HISTORIC RESEARCH OF SIMILAR TRIM OTHERWISE

SCALE: 3" = 1'-0"

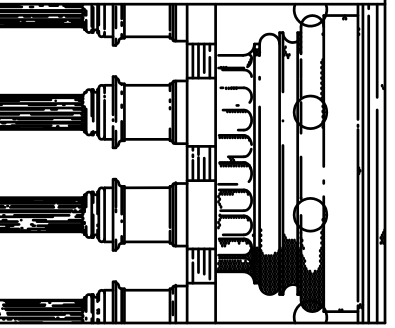
1 JIB DOOR HEAD
SCALE: 3" = 1'-0"



4 JIB DOOR JAMB AT WINDOW
SCALE: 3" = 1'-0"

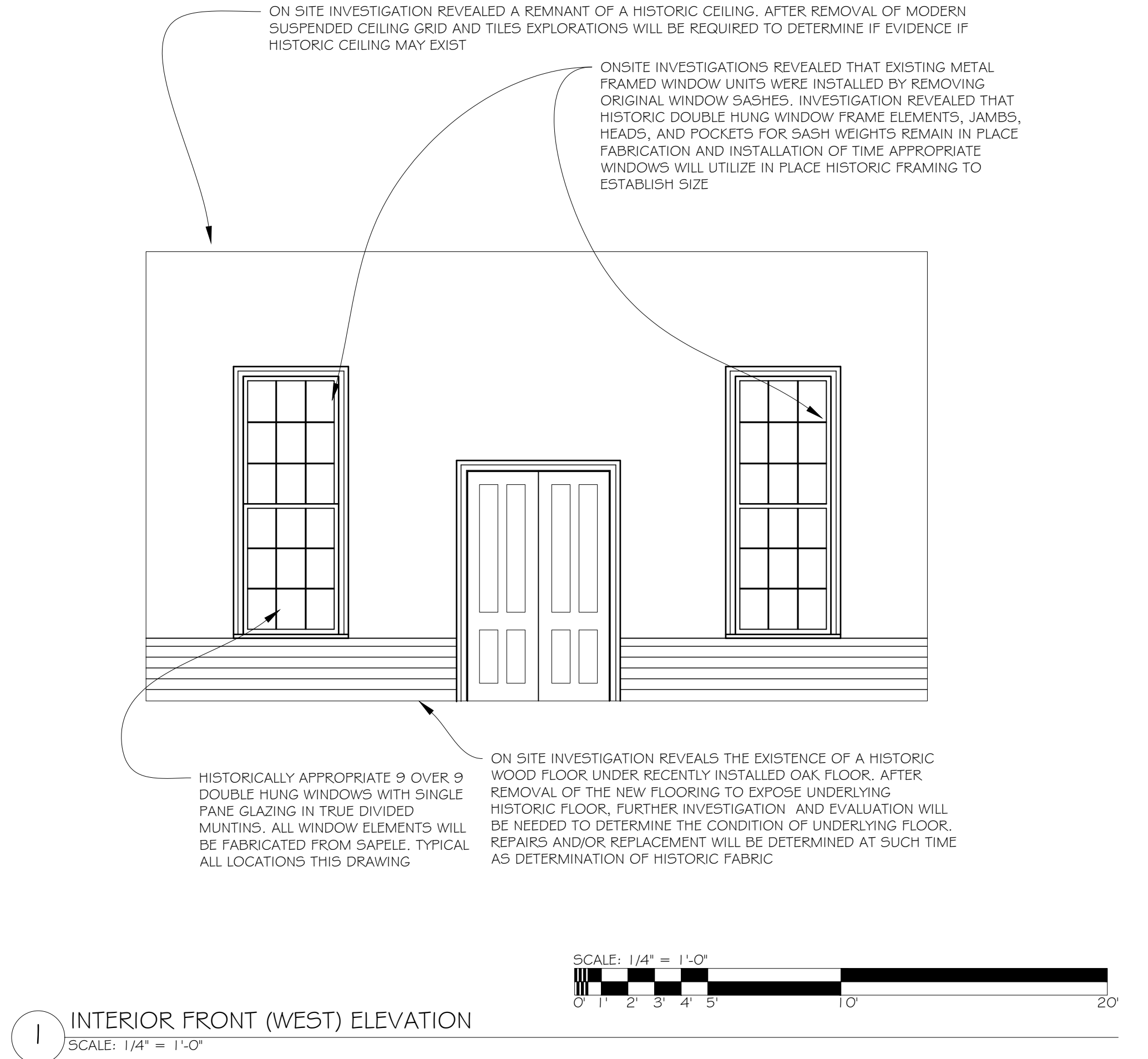
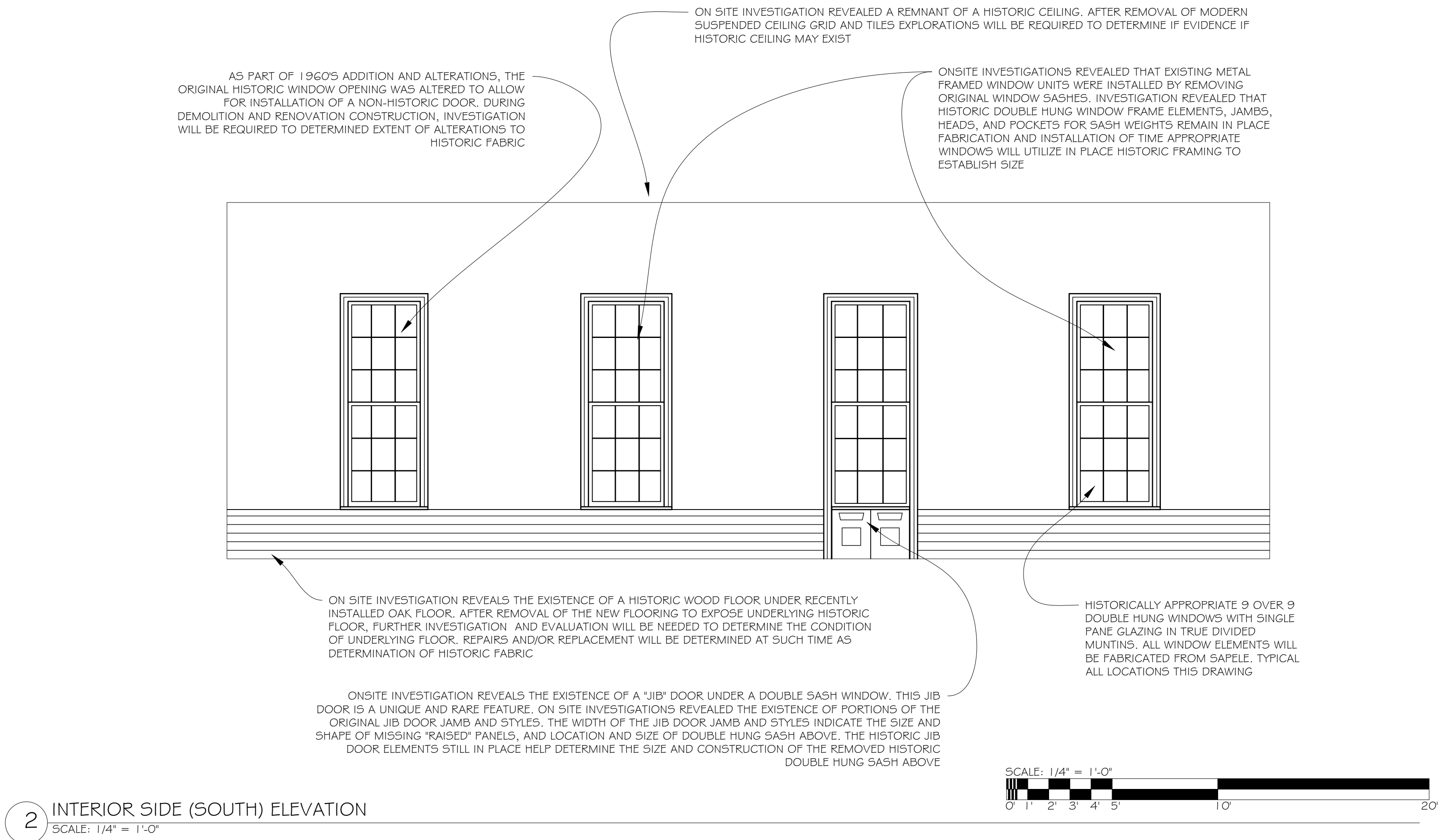
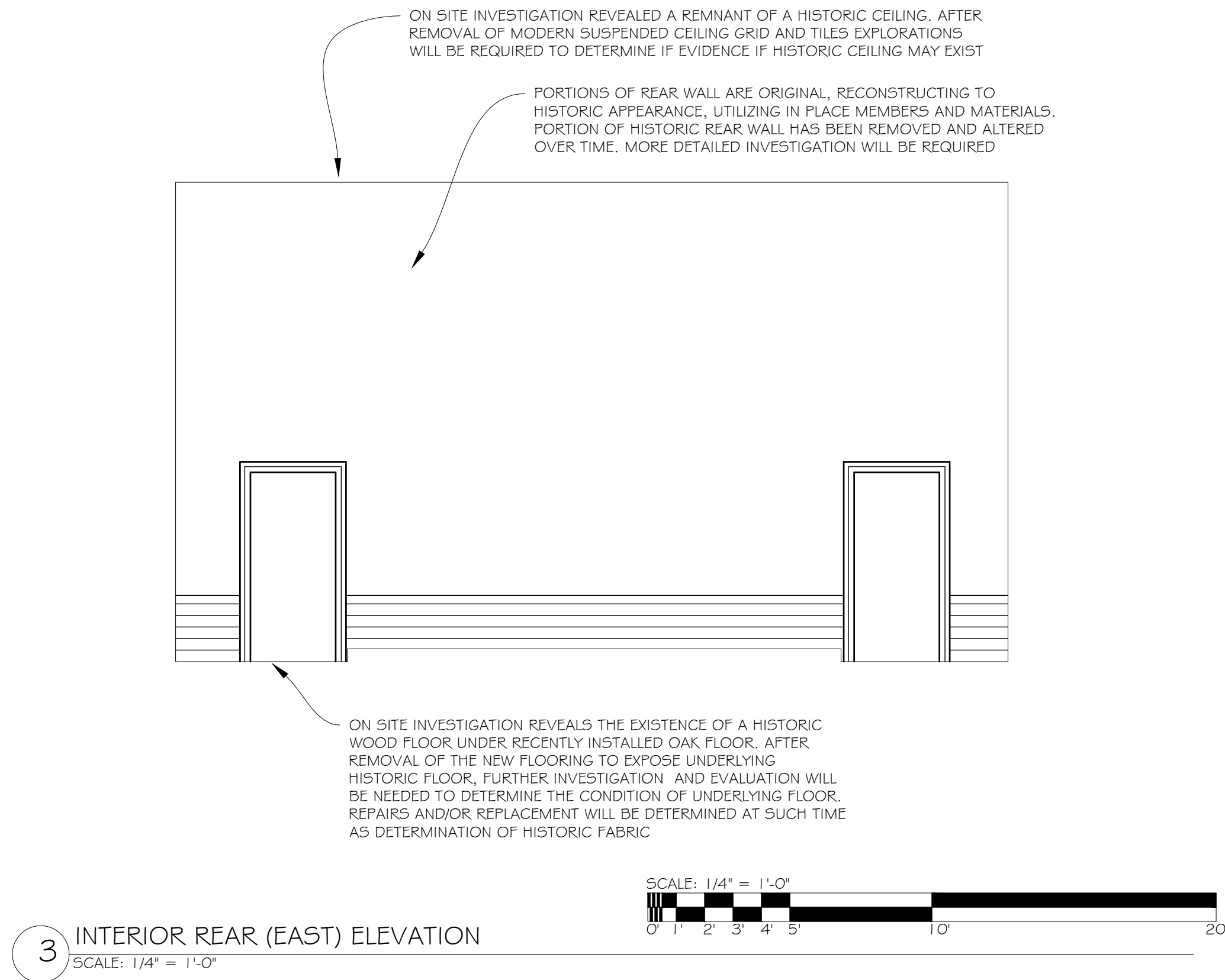
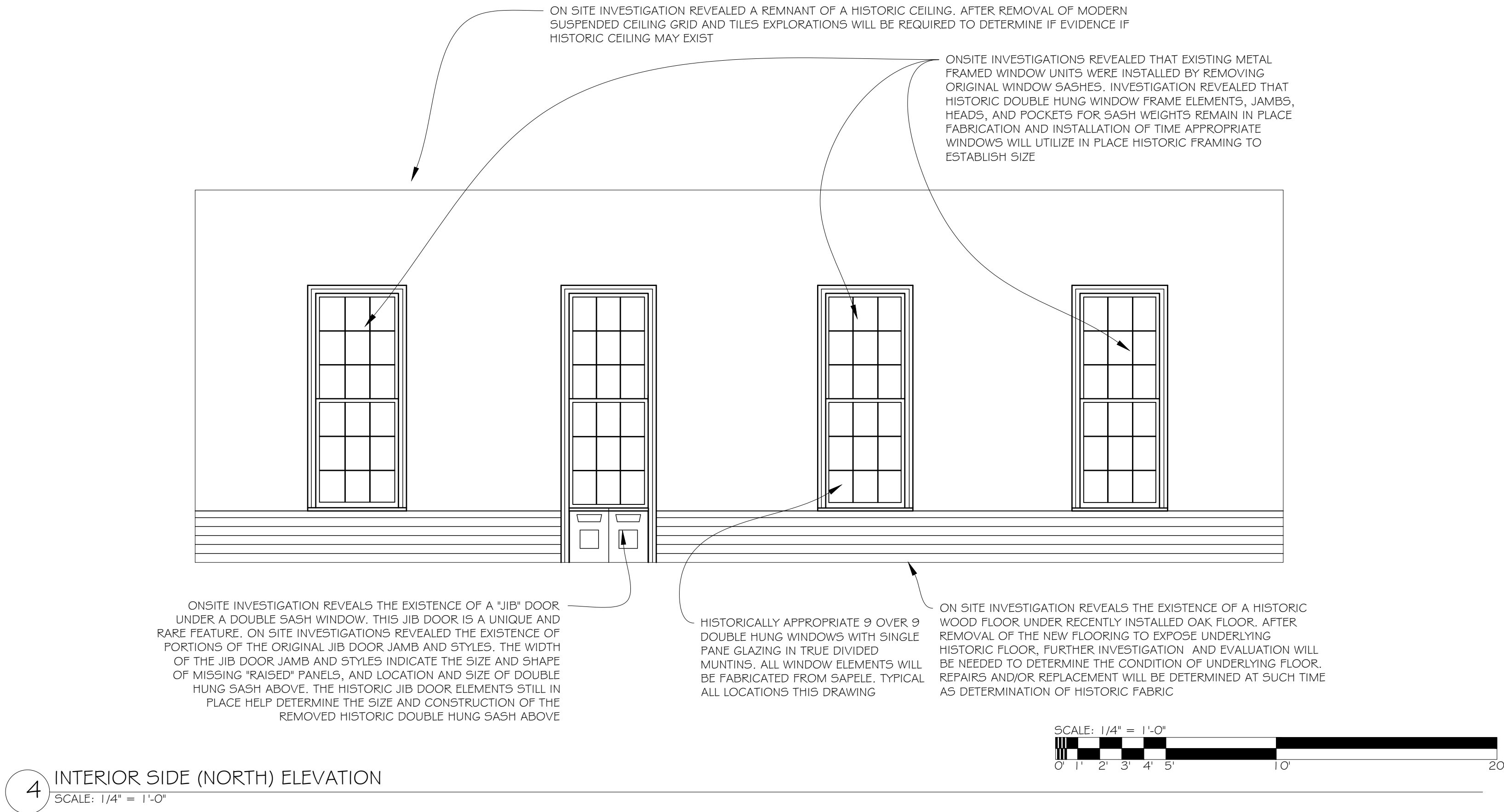


5 JIB DOOR JAMB AT DOOR
SCALE: 3" = 1'-0"



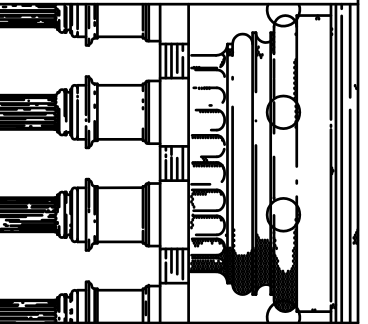
NOTES

- PRELIMINARY INVESTIGATION TO DATE HAS REVEALED A TROVE OF INFORMATION OF THE EXISTING CHAPEL'S CONSTRUCTION METHODS, APPEARANCE, AND MATERIALS USED. ANY AND ALL NEW WORK WILL BE GUIDED AND AS MUCH AS POSSIBLE REPLICATED BY THESE DISCOVERIES
- SELECTIVE DEMOLITION OF INVESTIGATION DURING CONSTRUCTION WILL BE NECESSARY TO DETERMINE IF THERE IS ANY EVIDENCE OF INTERIOR ORIGINAL HISTORIC TRIM
- ANY ORIGINAL SOUND AND USABLE HISTORIC MATERIALS THAT REQUIRE REMOVAL OR REPAIR OF OTHER DAMAGED MATERIAL WILL BE REINSTALLED IN ORIGINAL LOCATION
- ANY ORIGINAL HISTORIC ITEM REQUIRING REPLACEMENT WILL UTILIZE SAME OR LIKE KIND MATERIALS IF POSSIBLE. ANY MATERIALS UTILIZED IN REPAIR WILL BE FABRICATED AND UNDERTAKEN WITH METHODS THAT CAUSE AS LITTLE ALTERATIONS TO ORIGINAL HISTORIC ITEMS THAT REMAIN
- ANY MISSING CHAPEL STRUCTURE THAT IS DISCOVERED TO HAVE EXISTED BUT CURRENTLY MISSING WILL BE FABRICATED AND INSTALLED ONLY AFTER RESEARCH AND DOCUMENTATION TO BE OF THE SAME STYLE, MATERIALS, AND FABRICATION AS THOSE KNOWN TO HAVE EXISTED DURING THE SAME TIME PERIOD. THE SECRETARY OF THE INTERIOR'S STANDARDS AND GUIDELINES FOR ARCHAEOLOGY AND HISTORIC PRESERVATION (LATEST EDITION) WILL BE UTILIZED AND FOLLOWED TO THE EXTENT POSSIBLE
- AS WITH HISTORIC RENOVATION THE DESIGN AND EXECUTION WILL REQUIRED INCORPORATING COMPLIANCE WITH THE CODES AND ORDINANCES UTILIZED BY THE TOWN OF BLUFFTON, SC.



Section X, Item #4.

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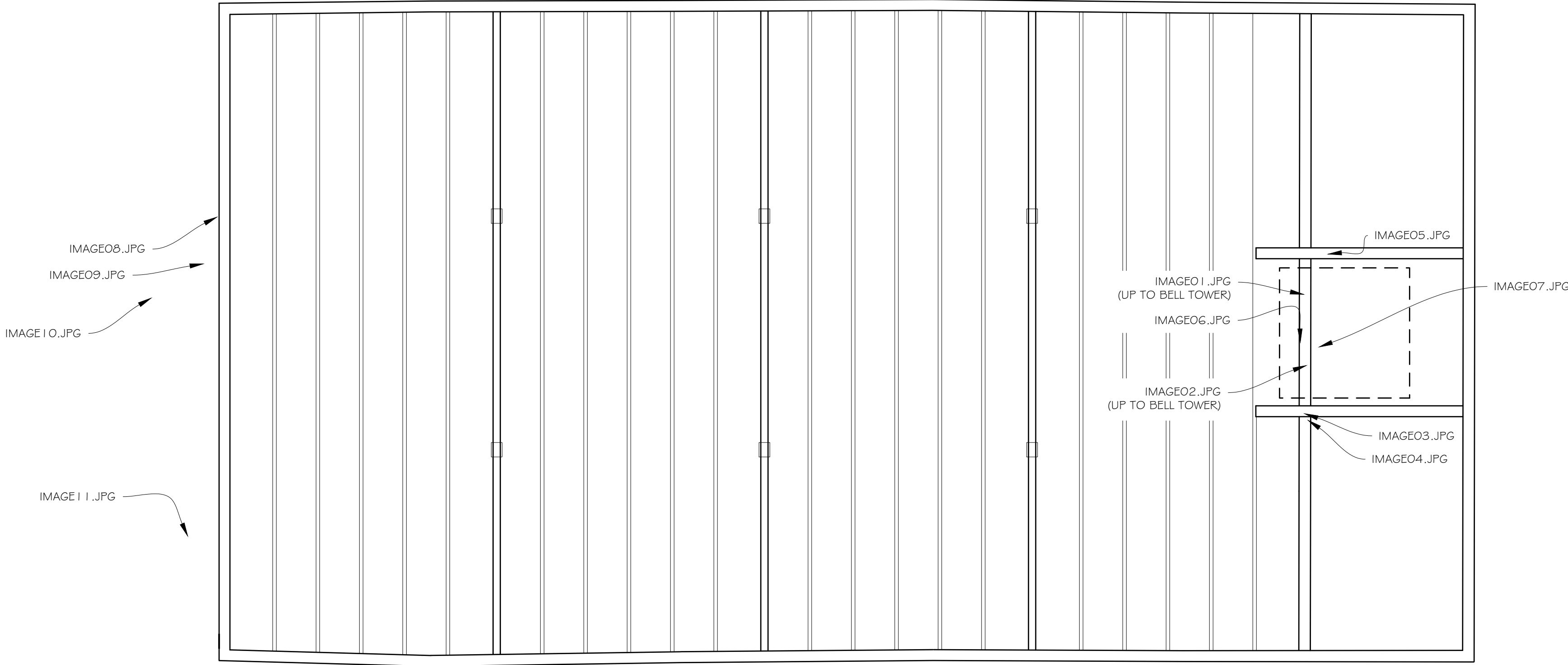
31 JANUARY 2023
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JDC

RESTORATION OF HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

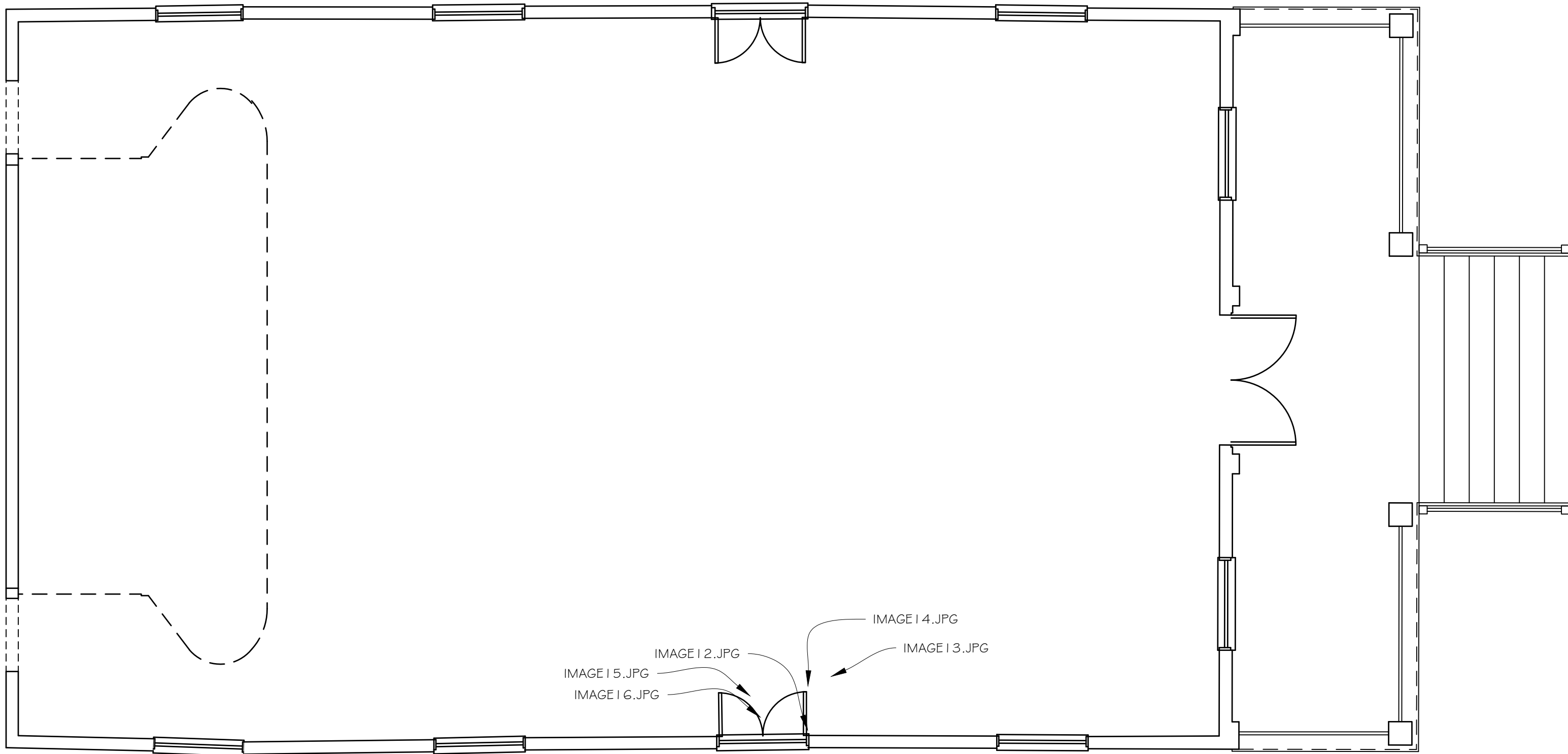
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RESTORATION
DETAILS

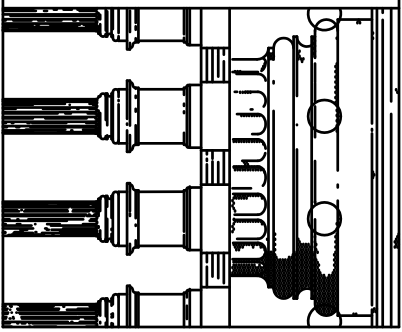
R501



2 PHOTO KEY PLAN - ATTIC LEVEL
SCALE: 1/4" = 1'-0"



1 PHOTO KEY PLAN - FLOOR LEVEL
SCALE: 1/4" = 1'-0"



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RESTORATION OF HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

00 R 000

RESTORATION
PHOTO KEY PLAN

RP100

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IMAGE 01.JPG



IMAGE 02.JPG



IMAGE 03.JPG



IMAGE 04.JPG



IMAGE 05.JPG



IMAGE 06.JPG



IMAGE 07.JPG



IMAGE 08.JPG



IMAGE 09.JPG



IMAGE 10.JPG



IMAGE 11.JPG



IMAGE 12.JPG



IMAGE 13.JPG



IMAGE 14.JPG

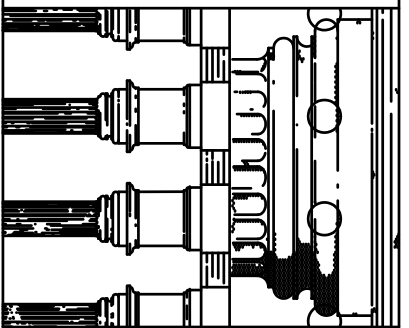


IMAGE 15.JPG



IMAGE 16.JPG

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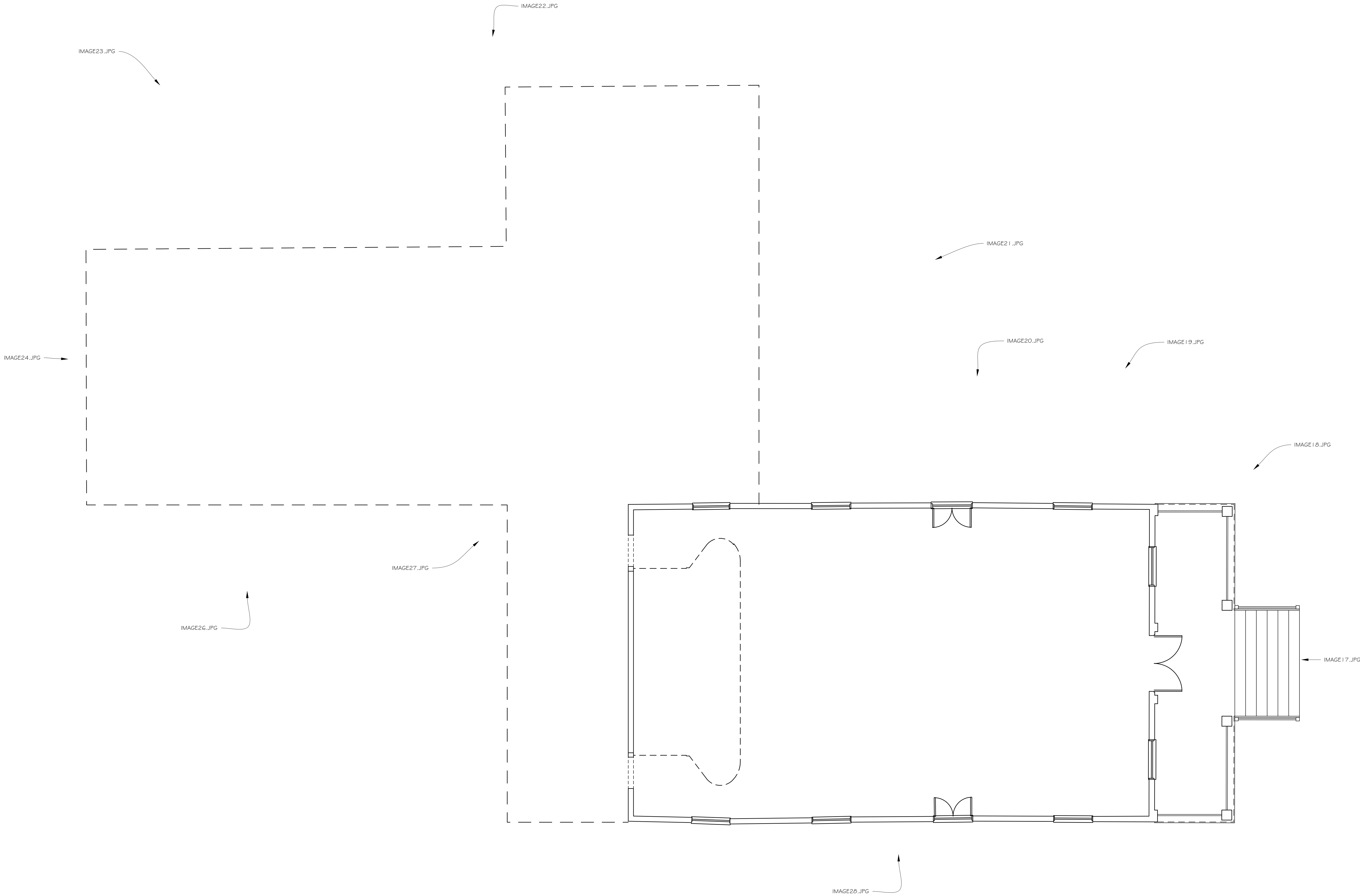
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RESTORATION OF HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

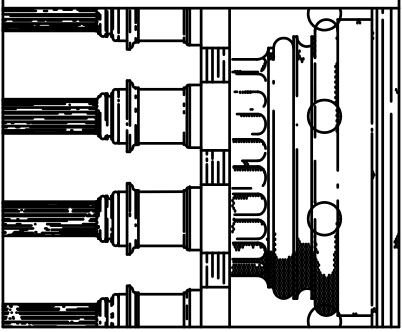
00 R 000

RESTORATION
PHOTOS

RP101



1 PHOTO KEY PLAN - EXTERIOR
SCALE: 1/4" = 1'-0"



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CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

00 R 000

RESTORATION
PHOTO KEY PLAN

RP102



IMAGE 17.JPG



IMAGE 18.JPG



IMAGE 19.JPG



IMAGE 20.JPG



IMAGE 21.JPG



IMAGE 22.JPG



IMAGE 23.JPG



IMAGE 24.jpg



IMAGE 25.jpg



IMAGE 26.JPG

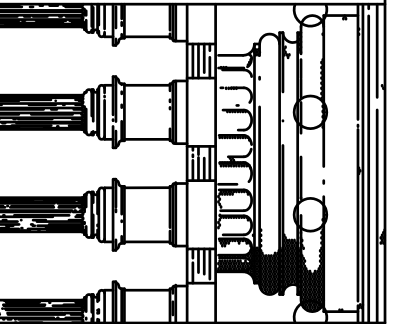


IMAGE 27.JPG



IMAGE 28.PNG

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RESTORATION OF HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

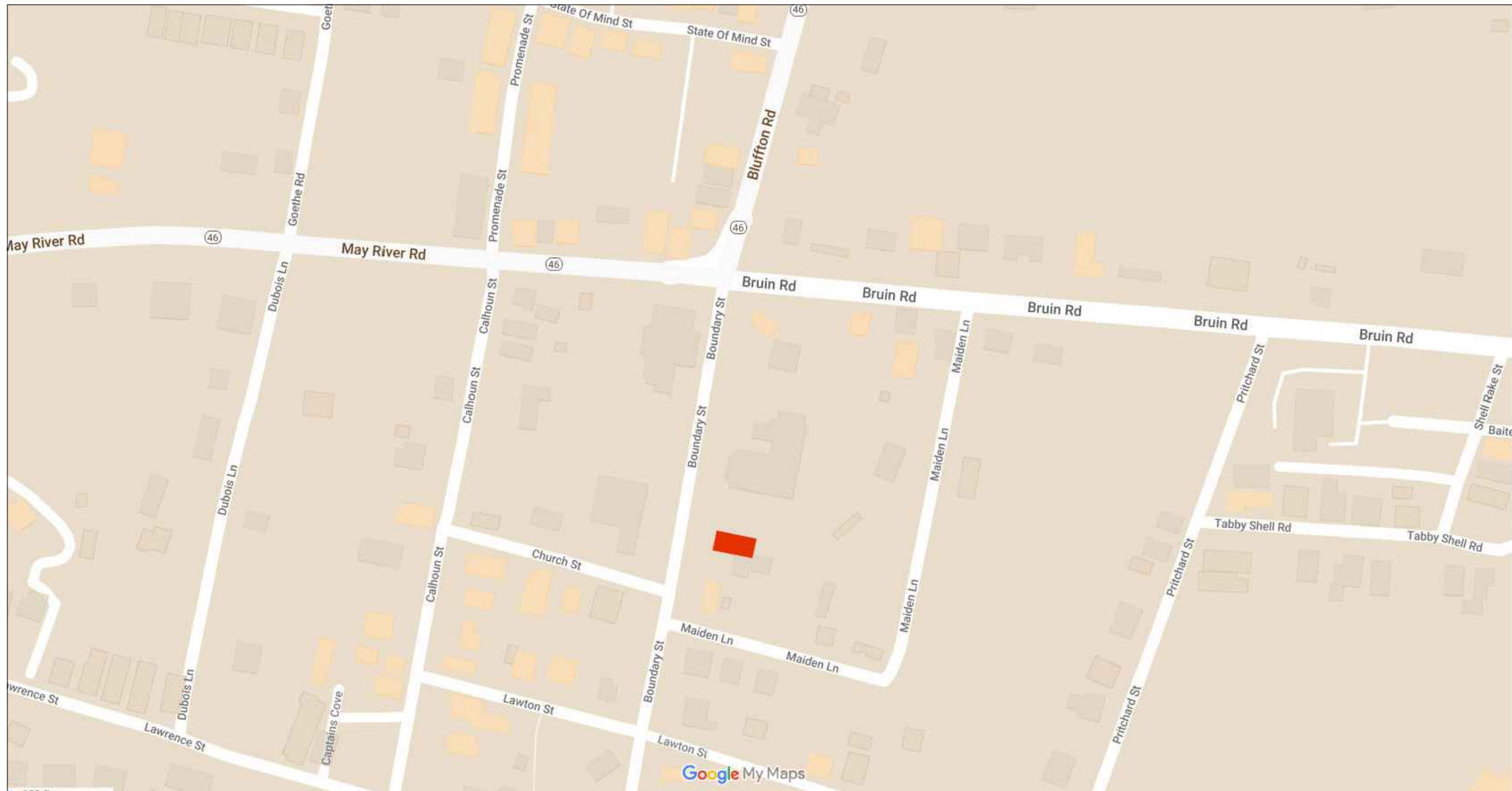
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EXTERIOR
PHOTOS

RP103

SHEET LIST	CODE INFORMATION	PROJECT INFORMATION
T101 TITLE PAGE A101 PLANS A201 ELEVATIONS A202 ELEVATIONS A301 BUILDING SECTIONS A302 BUILDING SECTIONS A303 BUILDING SECTIONS A304 BUILDING SECTIONS A401 SECTION DETAILS A402 SECTION DETAILS A403 SECTION DETAILS A404 SECTION DETAILS A405 SECTION DETAILS A406 SECTION DETAILS A501 DETAILS A601 SCHEDULES R101 RESTORATION PLAN R102 VIEWS PLAN R201 RESTORATION ELEVATIONS R202 RESTORATION ELEVATIONS R203 RESTORATION ELEVATIONS R301 RESTORATION SECTIONS R401 RESTORATION BELL TOWER DETAILS R402 RESTORATION SHUTTER DETAILS R403 RESTORATION HEAD/AMB/SILL DETAILS R501 RESTORATION INTERIOR DETAILS RP100 RESTORATION KEY PHOTO PLAN RP101 RESTORATION PHOTOS RP102 RESTORATION KEY PHOTO PLAN (EXTERIOR) RP103 RESTORATION PHOTOS	APPLICABLE CODE: 201 & SCBC BUILDING USE: A-3 (EXISTING, NO CHANGES) BUILDING TYPE: IIIB (EXISTING, ASSUMED) ZONING: NEIGHBORHOOD CENTER - HD RISK CATEGORY: II	PROJECT LOCATION: 23 BOUNDARY ST BLUFFTON, SC 29910 OWNER: CAMPBELL CHAPEL AME 25 BOUNDARY ST BLUFFTON, SC 29910 ARCHITECT: JAMES O. MCGHEE ARCHITECTS 600 CAROLINE ST, SUITE C FREDERICKSBURG, VA 22401 540-371-1091 ENGINEER: N/A GENERAL CONTRACTOR: LANDMARK PRESERVATION, LLC PO BOX 8604 SAVANNAH, GA 31412

LOCATION



ABBREVIATIONS

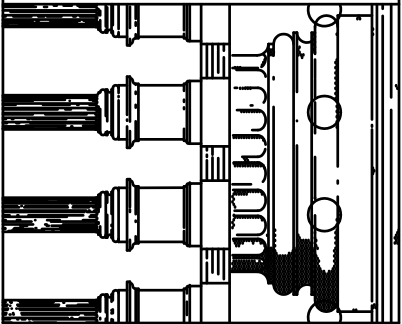
AFF - ABOVE FINISH FLOOR ALT - ALTERNATE ARCH - ARCHITECT/ARCHITECTURAL BM - BENCHMARK BOT - BOTTOM BRG - BEARING BSMT - BASEMENT BTWN - BETWEEN CMU - CONCRETE MASONRY UNIT CO - CASED OPENING CONC - CONCRETE DIM - DIMENSION DN - DOWN ELEC - ELECTRIC/ELECTRICAL ELEV - ELEVATION ENTR - ENTRANCE EQ - EQUAL EXH - EXHAUST EXT - EXISTING FF - FINISHED FLOOR FIN - FINISHED FLR - FLOOR FLSH - FLASHING FOC - FACE OF CONCRETE FOF - FACE OF FRAMING/STUD FOM - FACE OF MASONRY FOS - FACE OF SHEATHING FT - FOOT (MEASUREMENT) HORIZ - HORIZONTAL/HORIZONTALLY HP - HIGH POINT IN - INCH INSUL - INSULATION INT - INTERIOR LHR - LEFT HAND REVERSE LL - LIVE LOAD LLV - LONG LEG VERTICAL LP - LOW POINT MAS - MASONRY MAX - MAXIMUM MECH - MECHANICAL MED - MEDIUM MIN - MINIMUM MISC - MISCELLANEOUS MO - MASONRY OPENING MR - MOISTURE RESISTANT MTL - METAL N/A - NOT APPLICABLE NOM - NOMINAL NTS - NOT TO SCALE OC - ON CENTER OPT - OPTIONAL PSI - POUNDS PER SQUARE FOOT PWD - PLYWOOD R - RADIUS REG - REGULAR REINF - REINFORCING REQ'D - REQUIRED RHR - RIGHT HAND REVERSE RO - ROUGH OPENING SHT - SHEET	SIM - SIMILAR SQFT - SQUARE FEET SS - STAINLESS STEEL STD - STANDARD STL - STEEL STRUC - STRUCTURAL SYM - SYMMETRICAL SYS - SYSTEM TOP - TOP OF FRAMING TOM - TOP OF MASONRY TYP - TYPICAL UNO - UNLESS NOTED OTHERWISE W/ - WITH Ø - AT ∅ - DIAMETER ± - APPROXIMATE - VERIFY IN FIELD IF REQUIRED CL - CENTERLINE
---	---

Section X, Item #4.

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12 APRIL 2023
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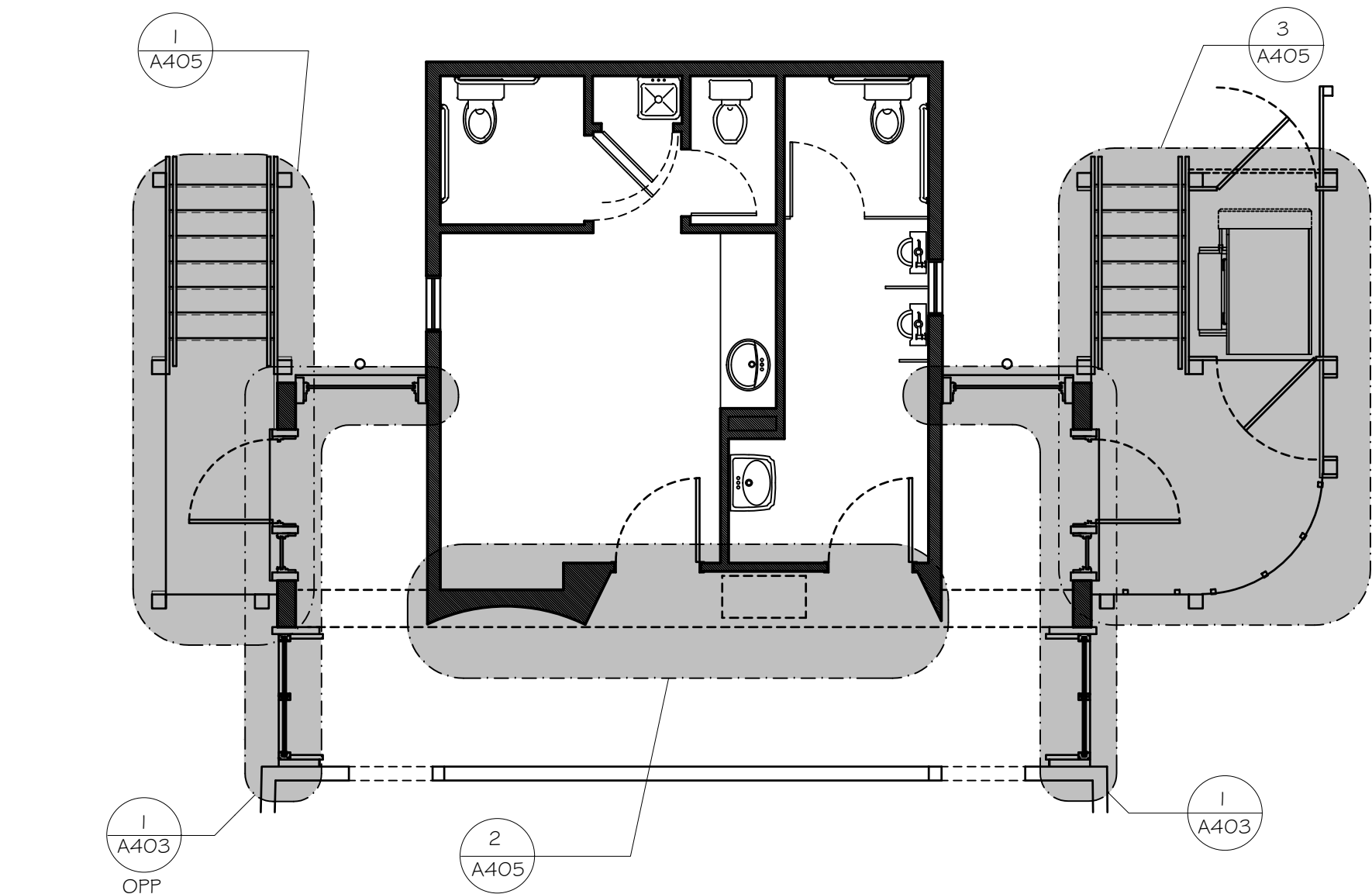
REVISED
9 MAY 2023

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

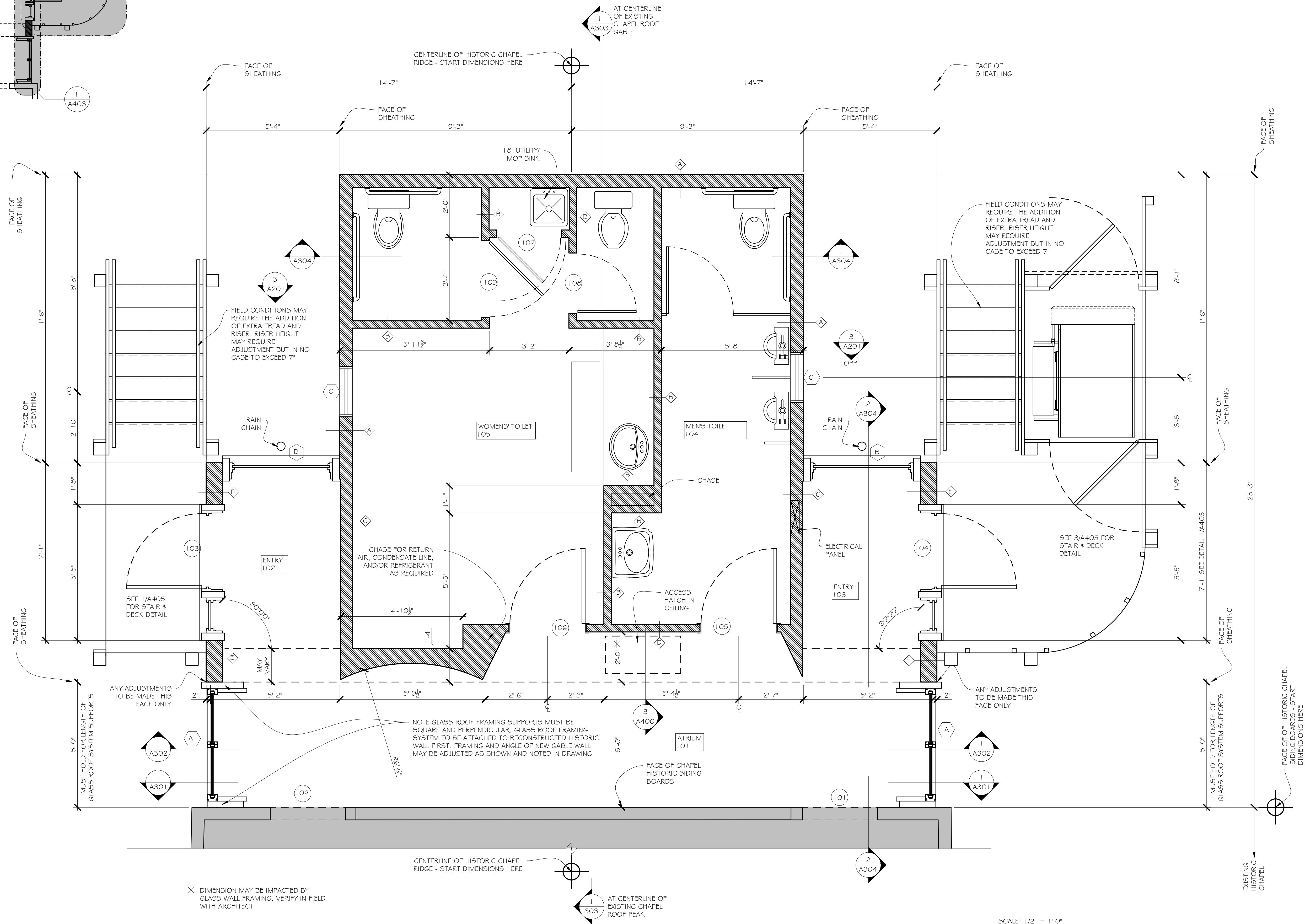
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TITLE PAGE

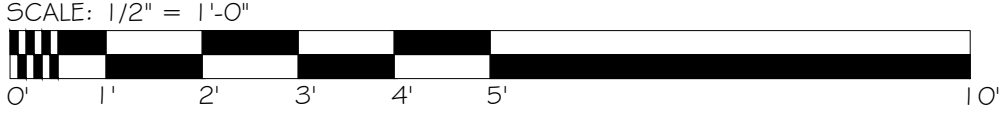
T101



2 DETAIL KEY PLAN
NOT TO SCALE



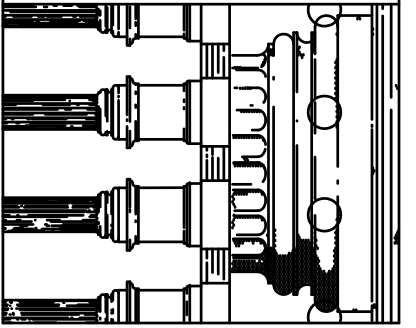
1 FLOOR PLAN
SCALE: 1/2" = 1'-0"



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9 MAY 2023

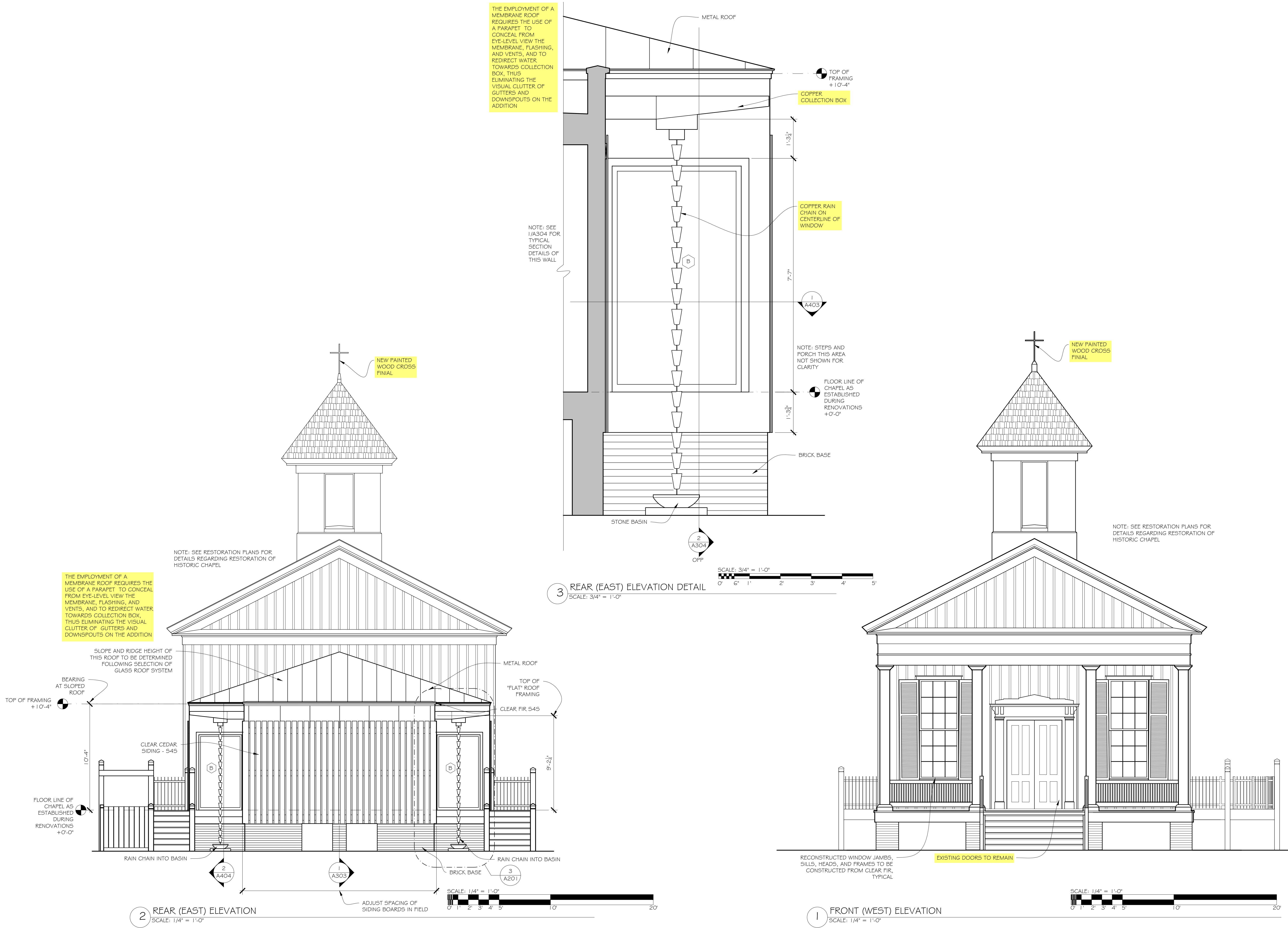
ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

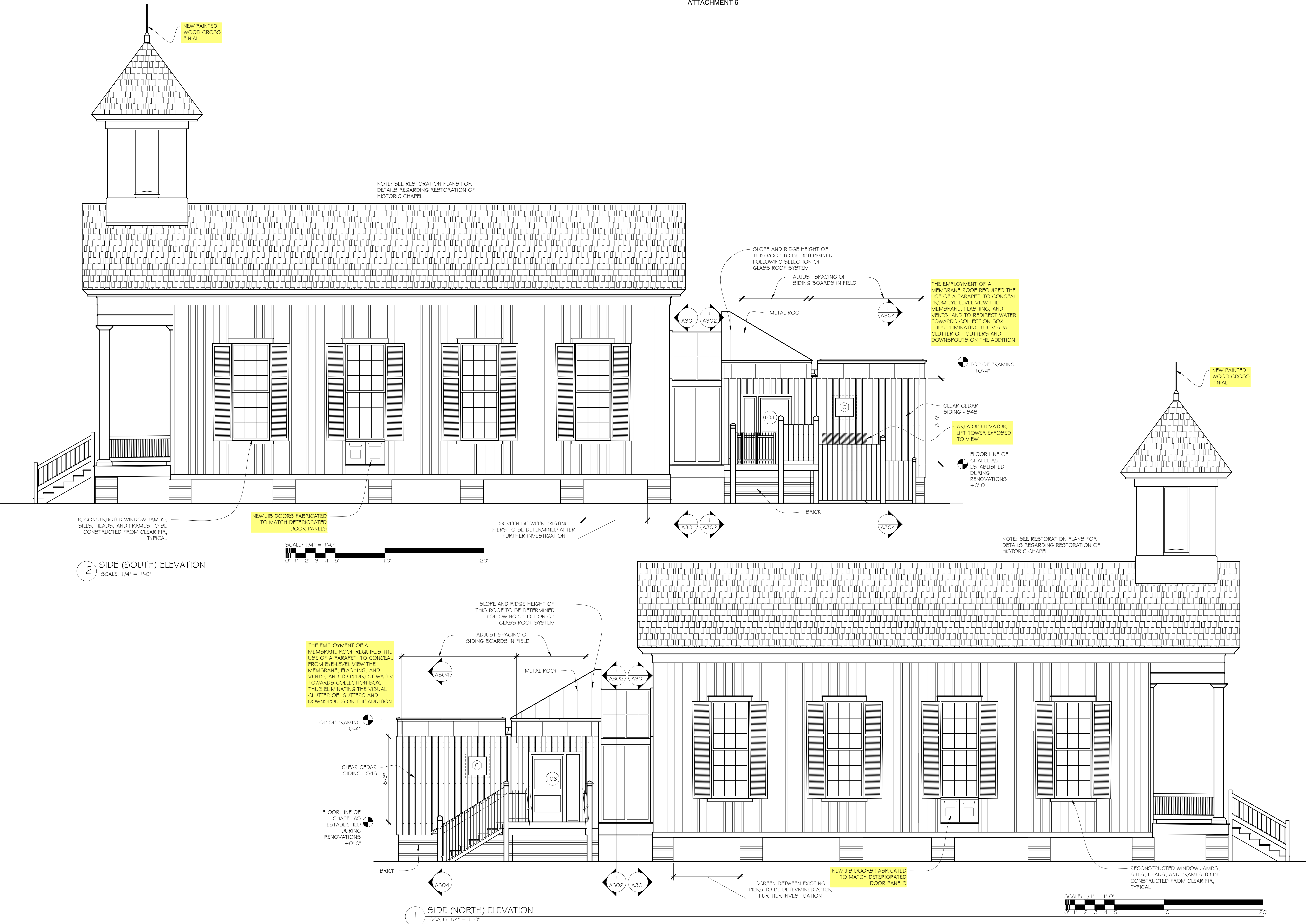


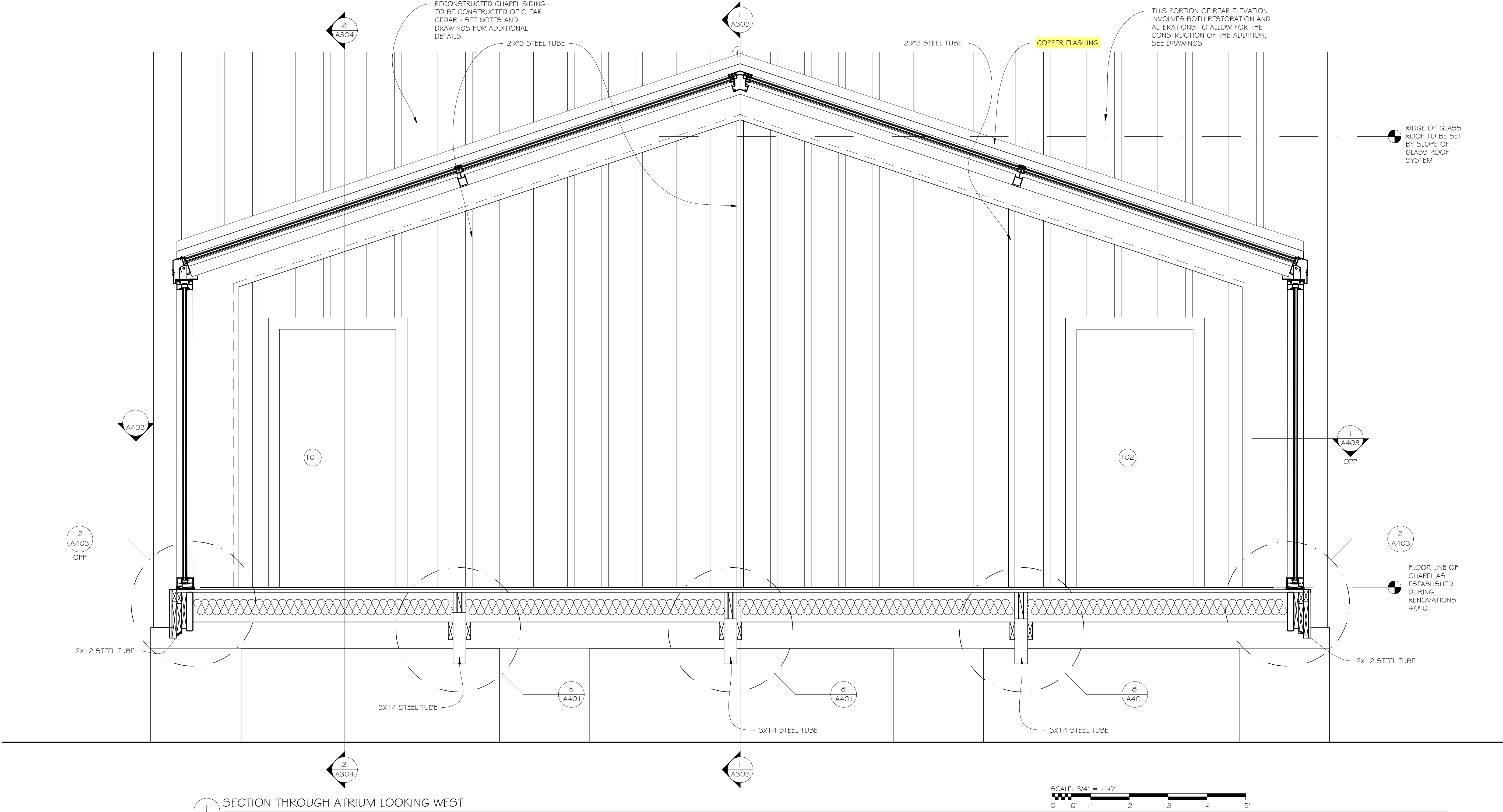
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9 MAY 2023

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00 R 000

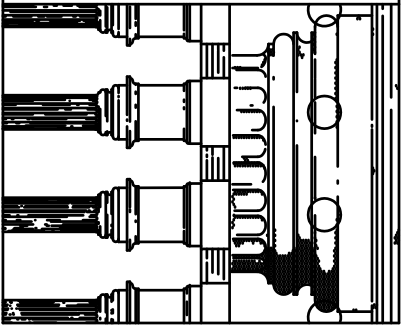
ELEVATIONS
A201
Page 197







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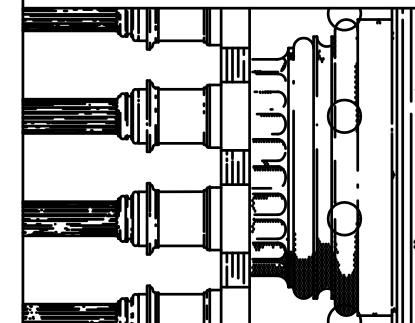
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SECTIONS
A301

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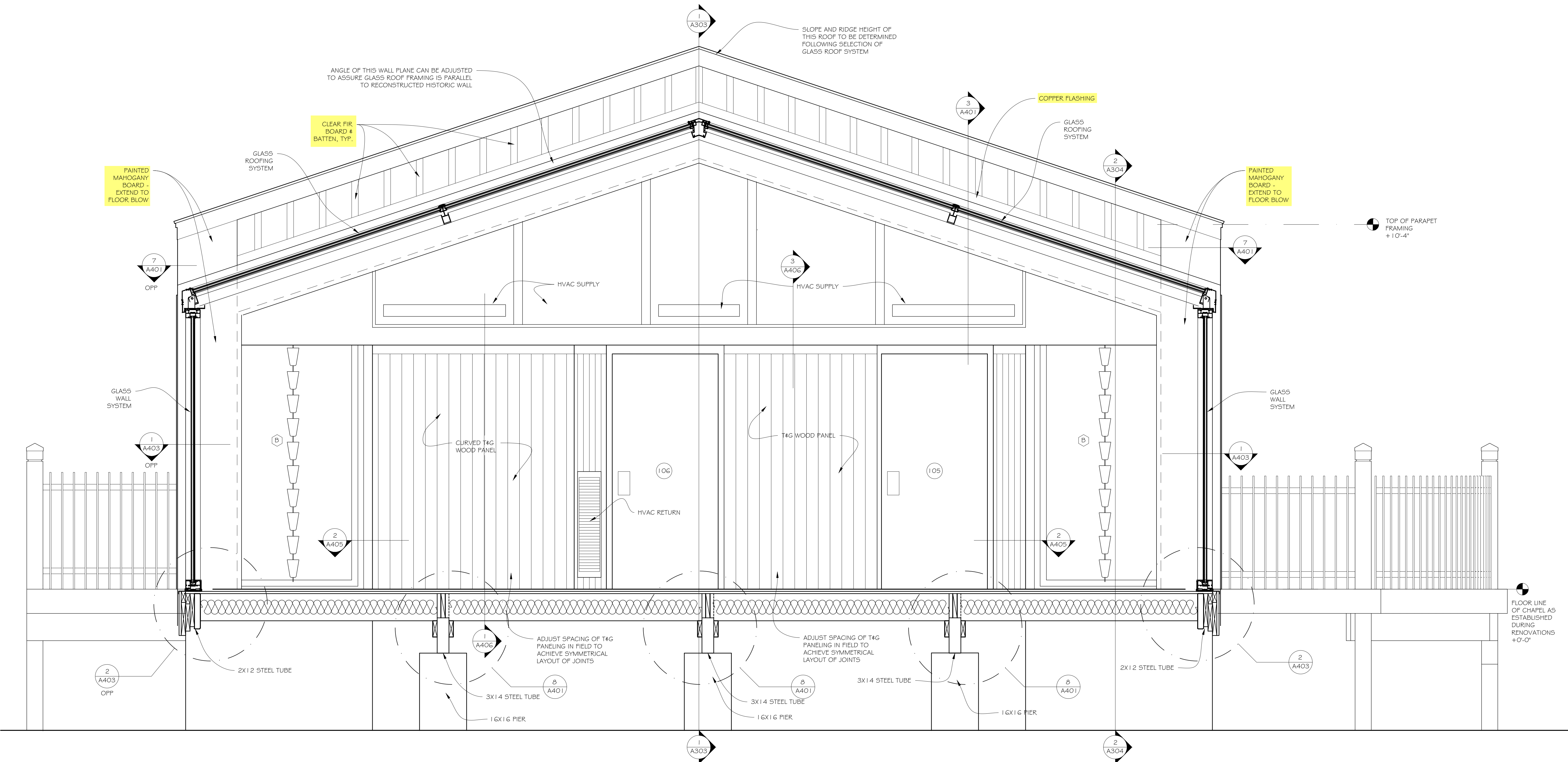
REVISED
9 MAY 2023

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

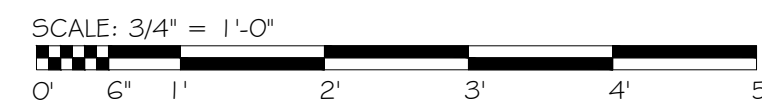
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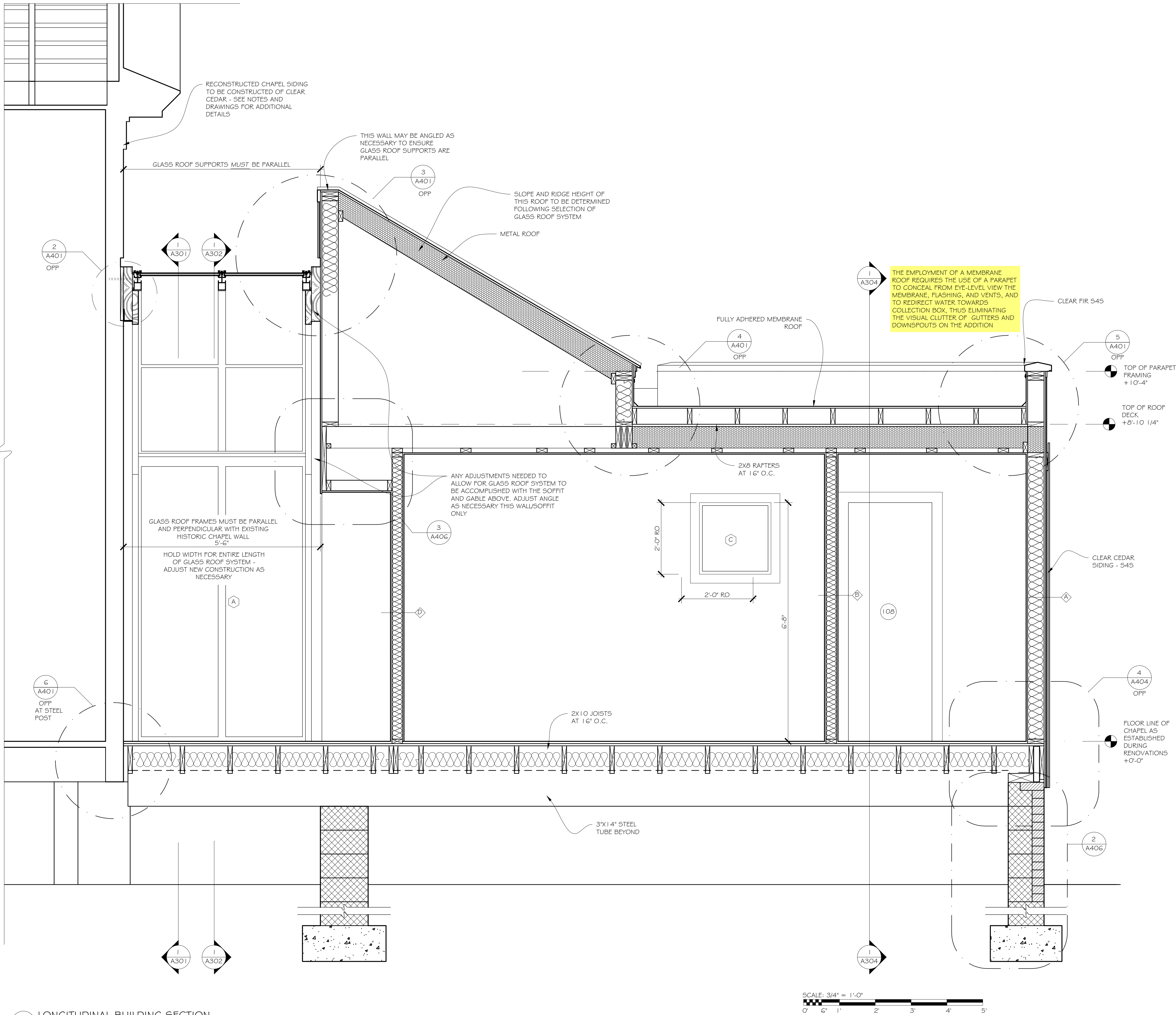
SECTIONS

A302



1 SECTION THROUGH ATRIUM LOOKING WEST
SCALE: 3/4" = 1'-0"

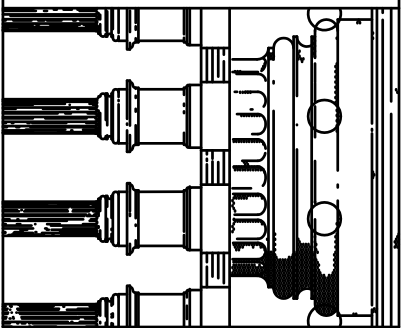




1 LONGITUDINAL BUILDING SECTION
SCALE: 3/4" = 1'-0"

Section X, Item #4.

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CAMPBELL CHAPEL AVE
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BLUFFTON, SC 29910

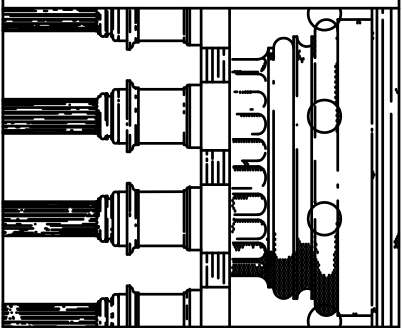
00 R 000

SECTIONS

A303

Page 201

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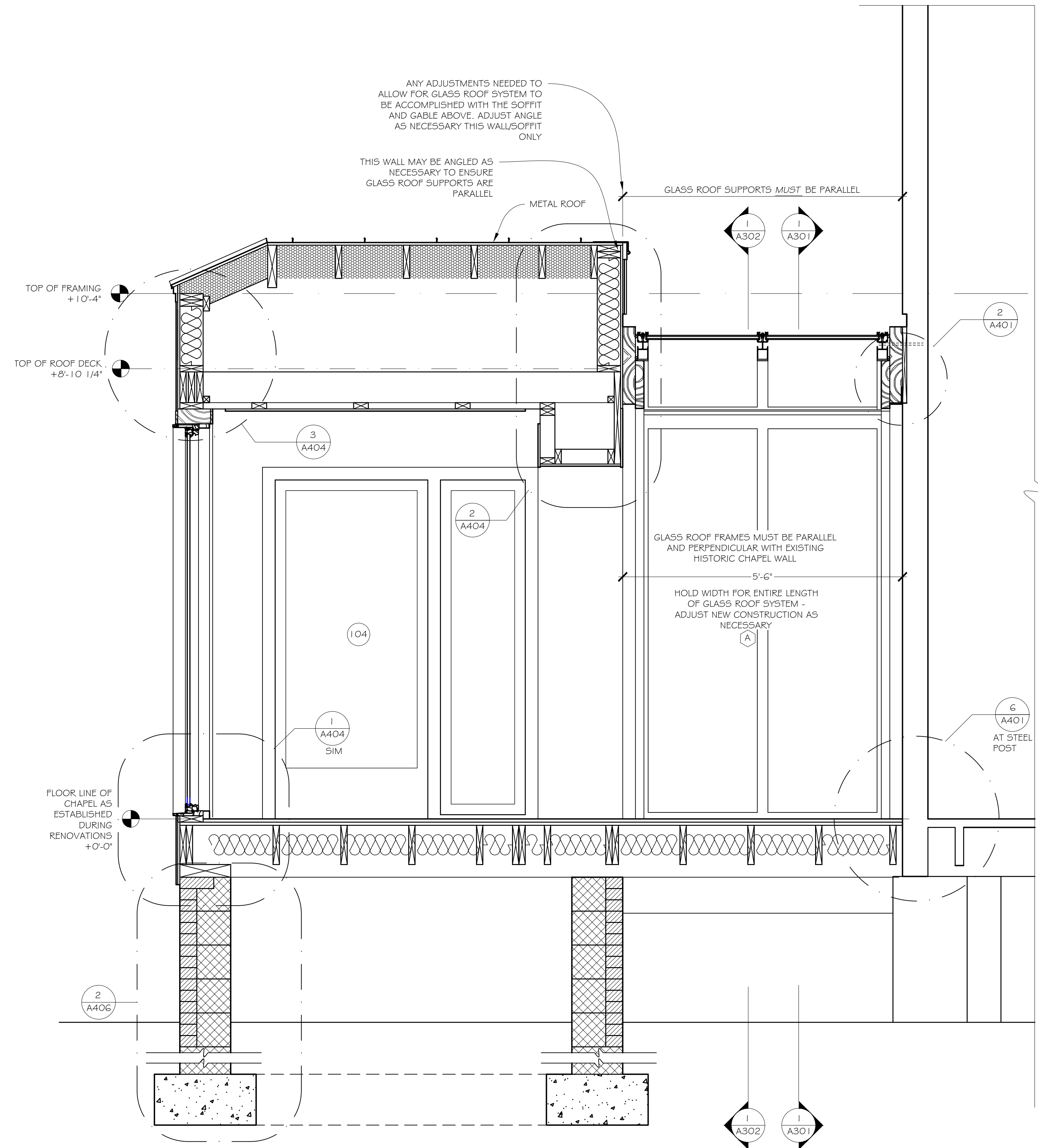
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9 MAY 2023

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23 BOUNDARY ST
BLUFFTON, SC 29910

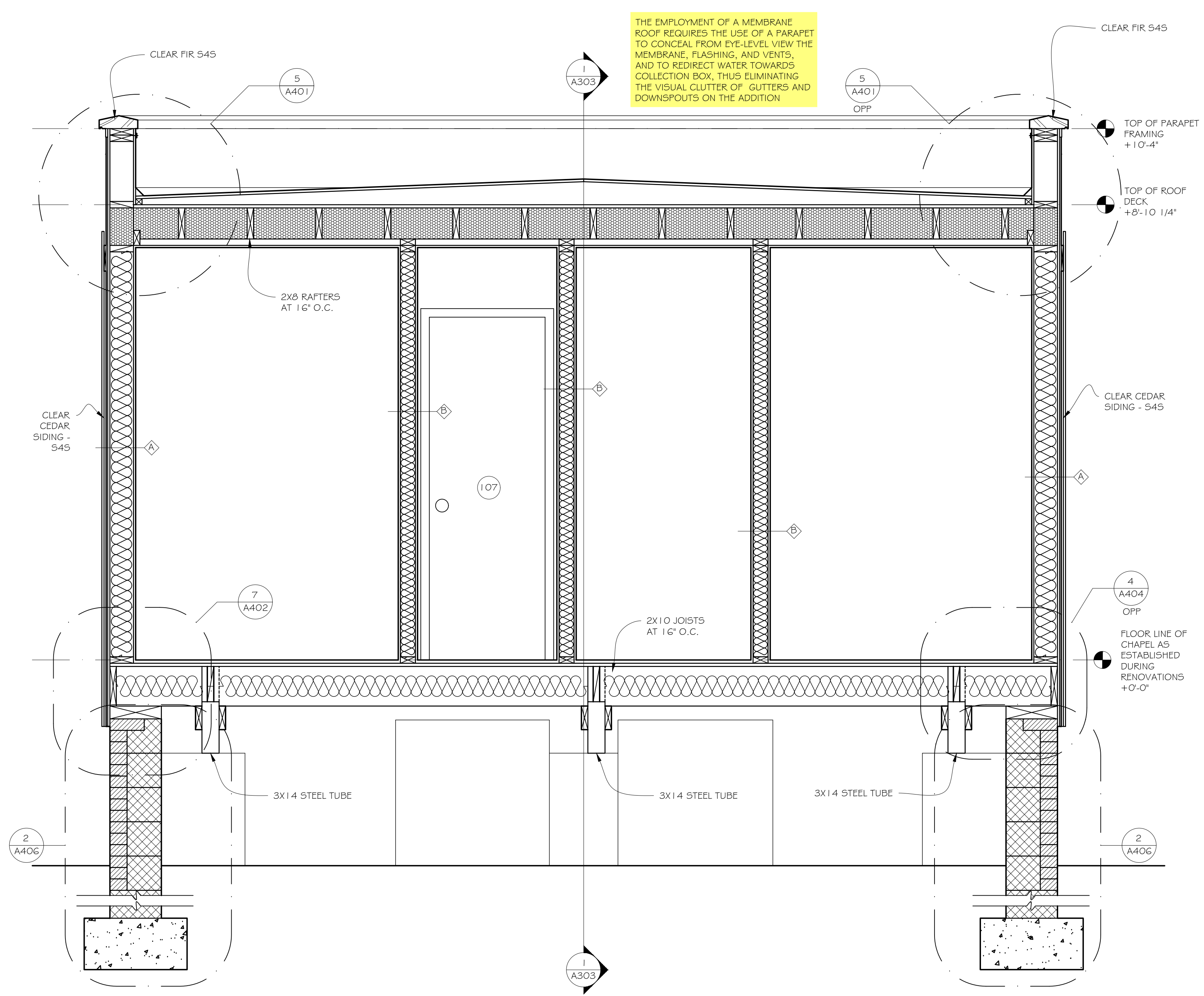
00 R 000

SECTIONS

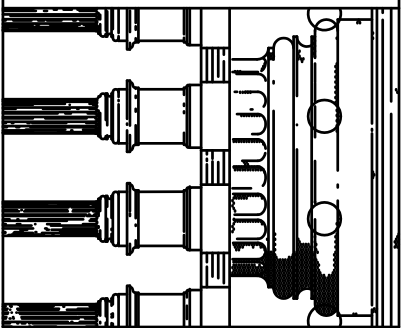
A304



2 SECTION AT SIDE ENTRY
SCALE: 3/4" = 1'-0"



1 LATERAL BUILDING SECTION
SCALE: 3/4" = 1'-0"



31 JANUARY 2023

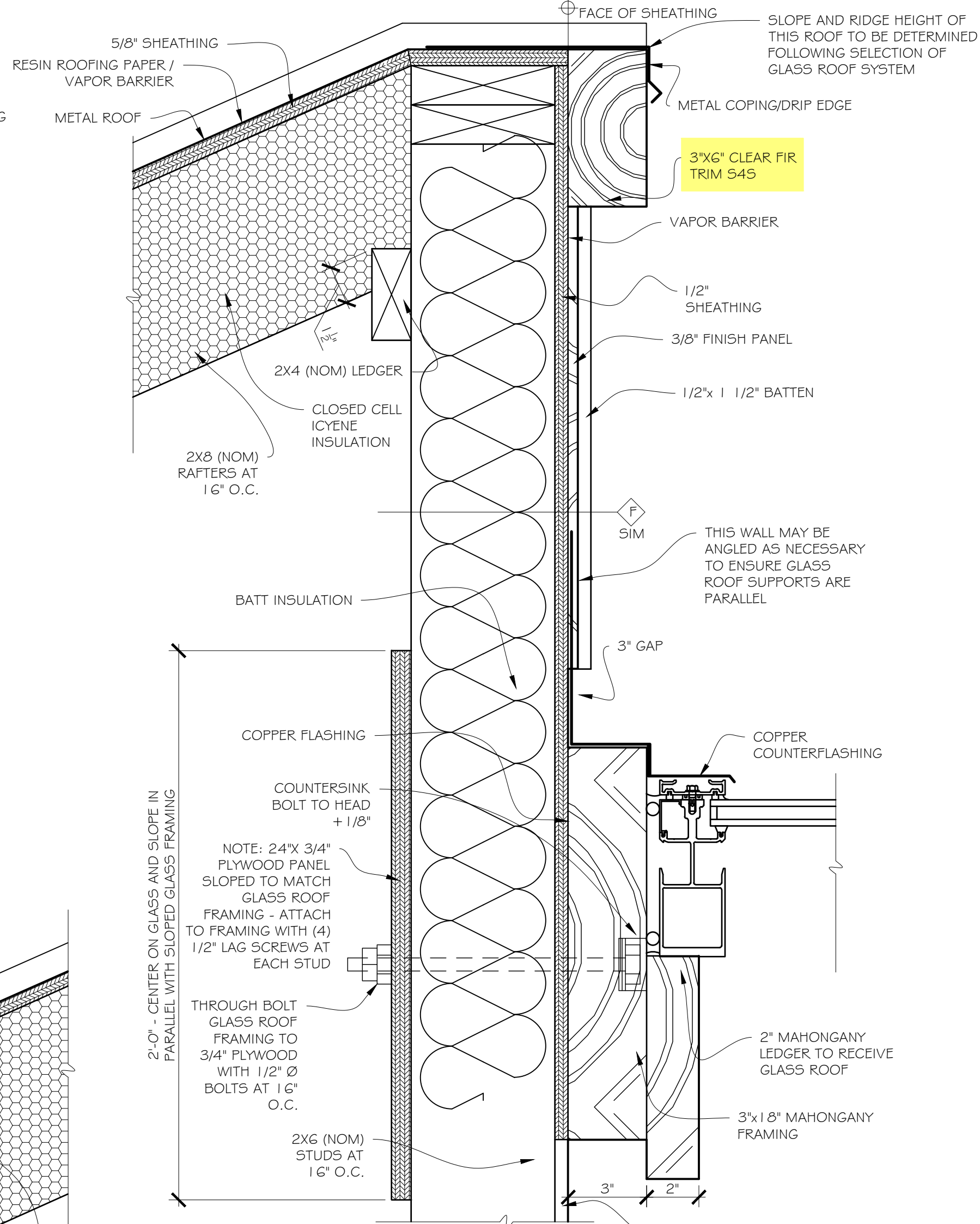
DRAWN BY:
JDC

REVISÉ
MAY 2023

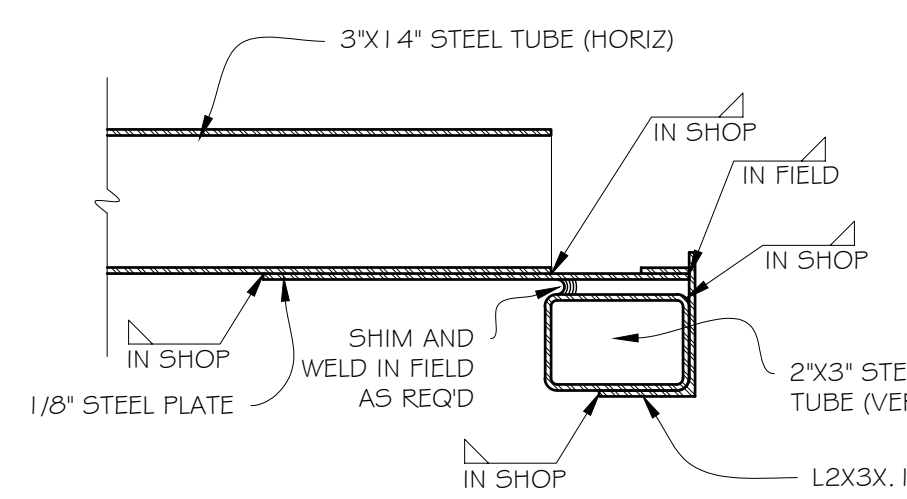
ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

DETAILS

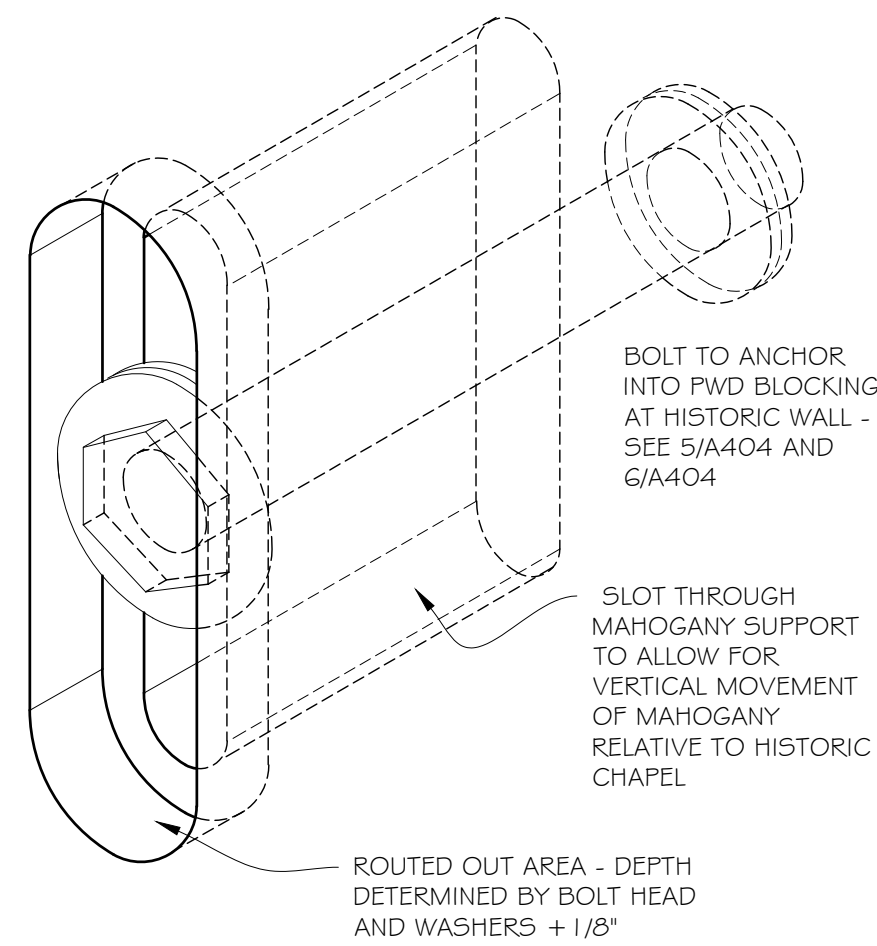
A401



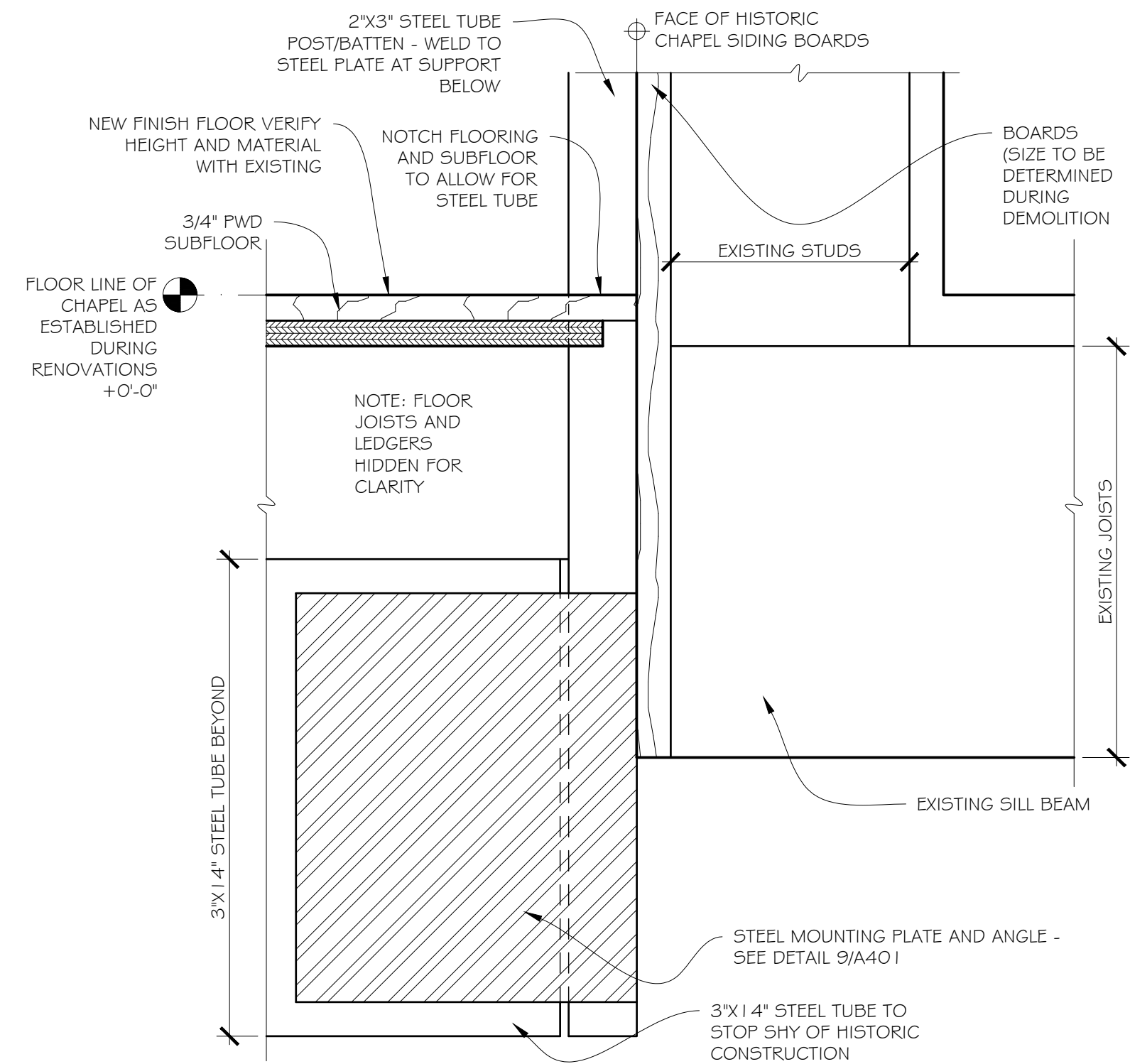
3 SECTION DETAIL AT GABLE
SCALE: 3" = 1'-0"



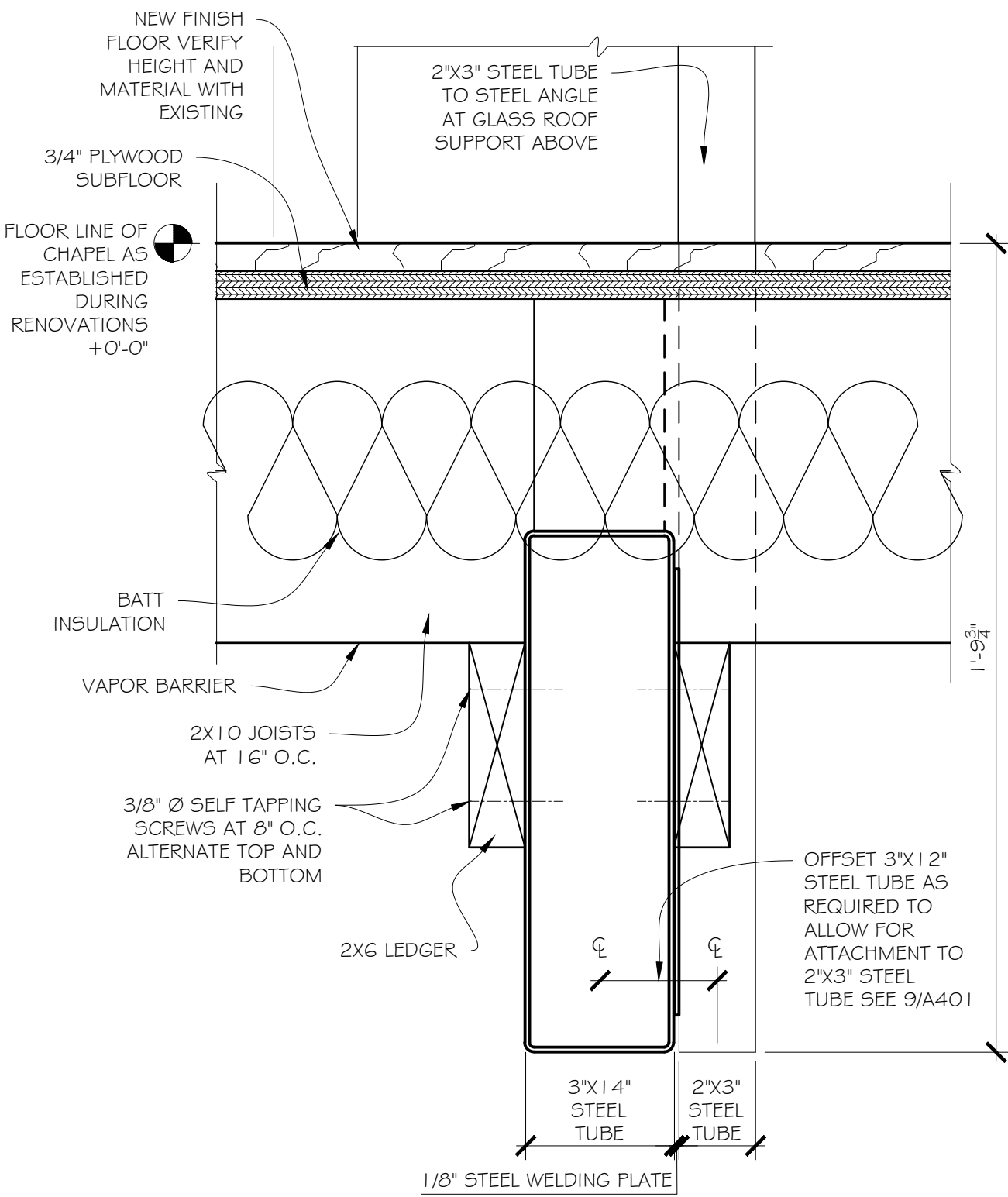
9 STEEL BRACKET DETAIL
NOT TO SCALE



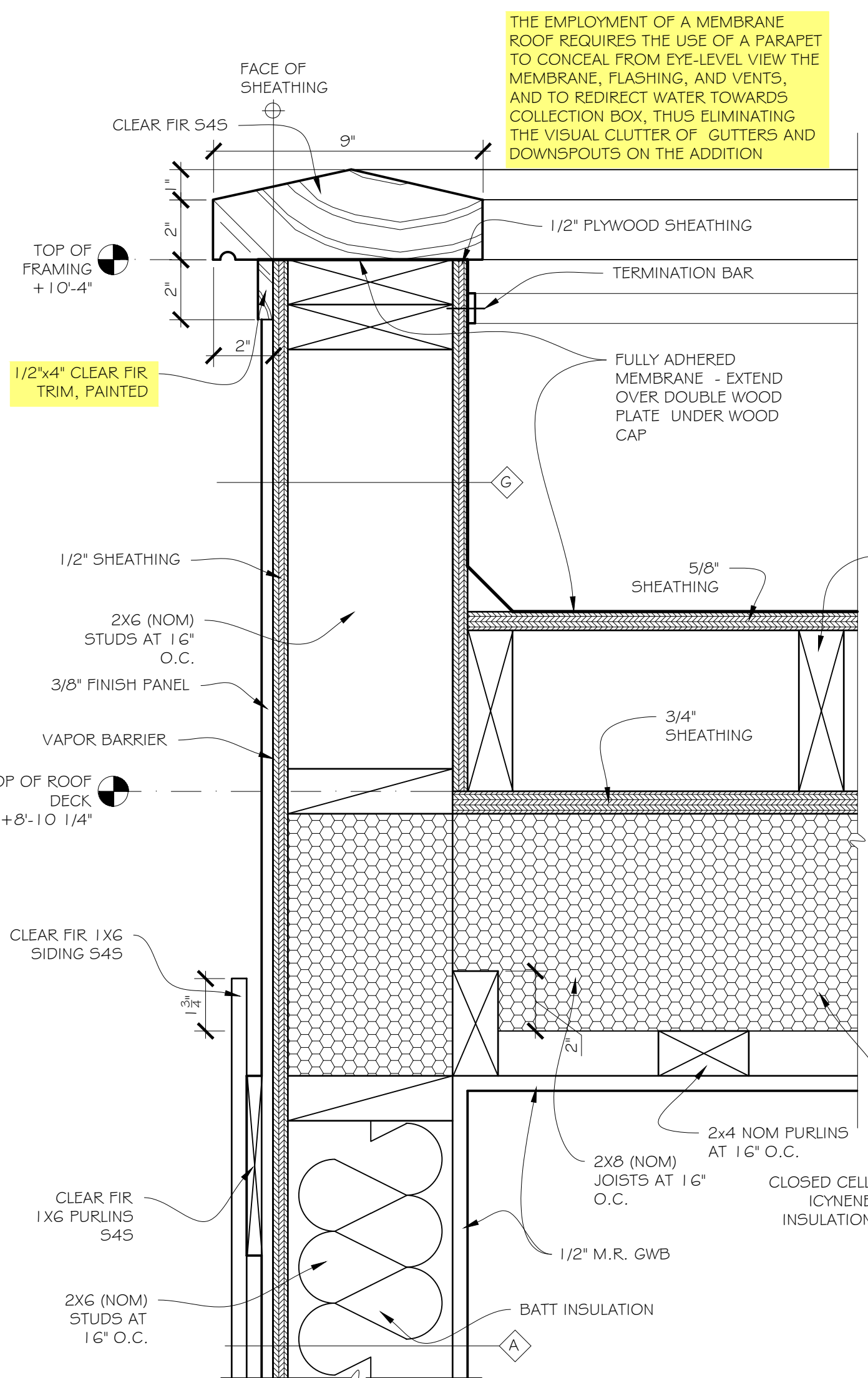
1 SLIP ANCHOR BOLT ISOMETRIC
NOT TO SCALE



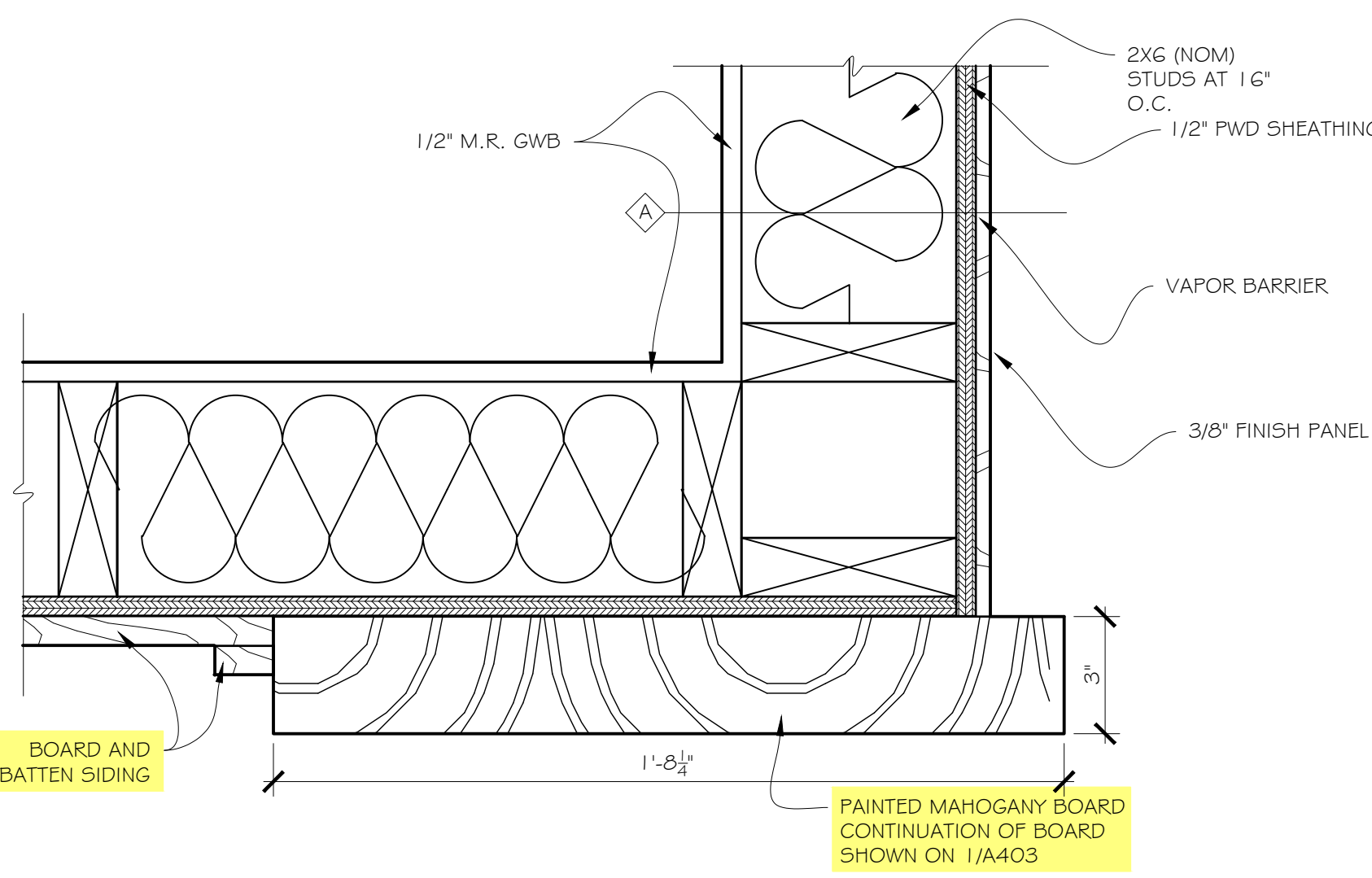
6 DETAIL AT BOTTOM OF EXISTING WALL
SCALE: 3" = 1'-0"



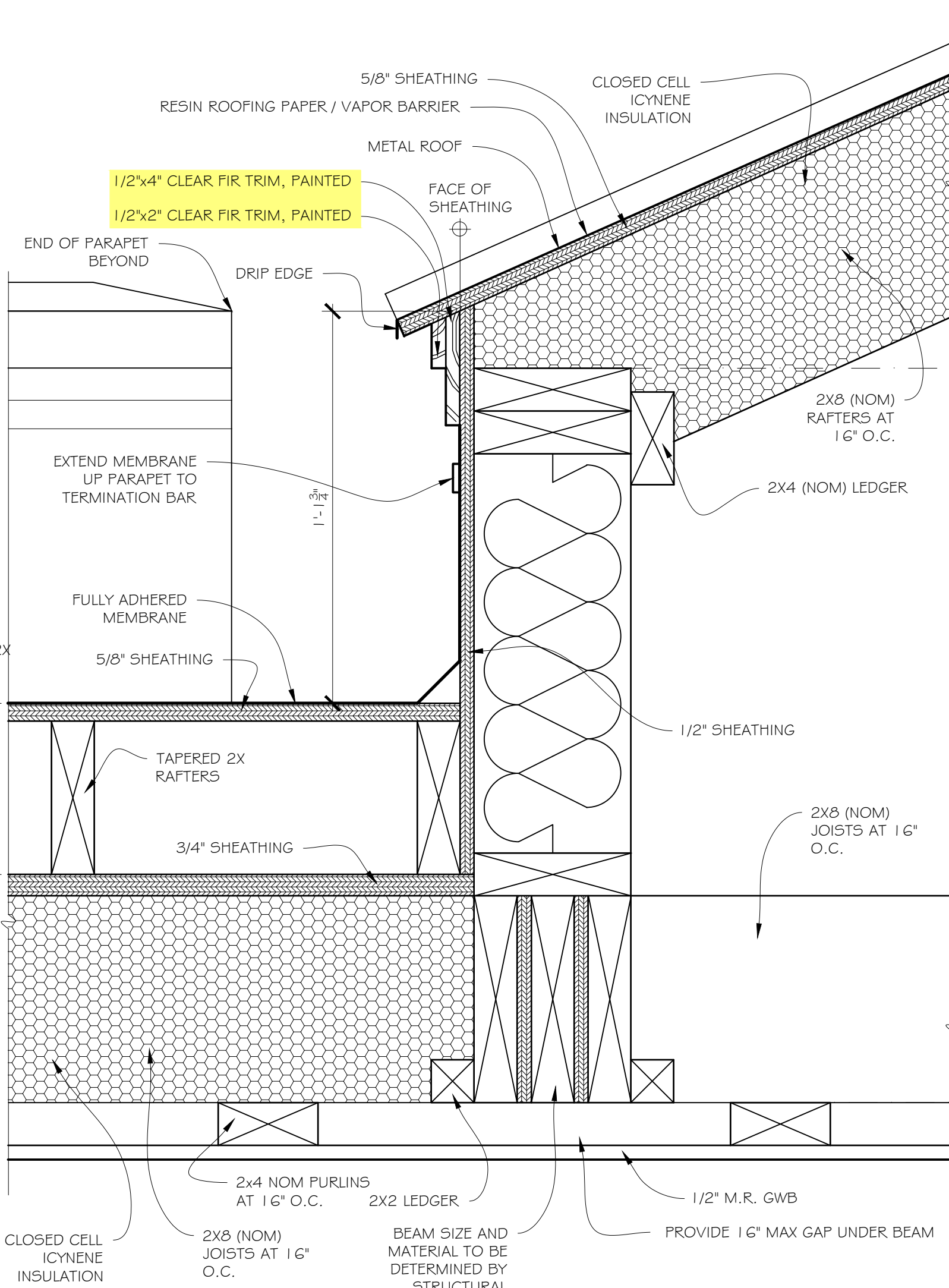
8 STEEL BEAM SUPPORT
SCALE: 3" = 1'-0"



5 SECTION DETAIL AT PARAPET
SCALE: 3" = 1'-0"

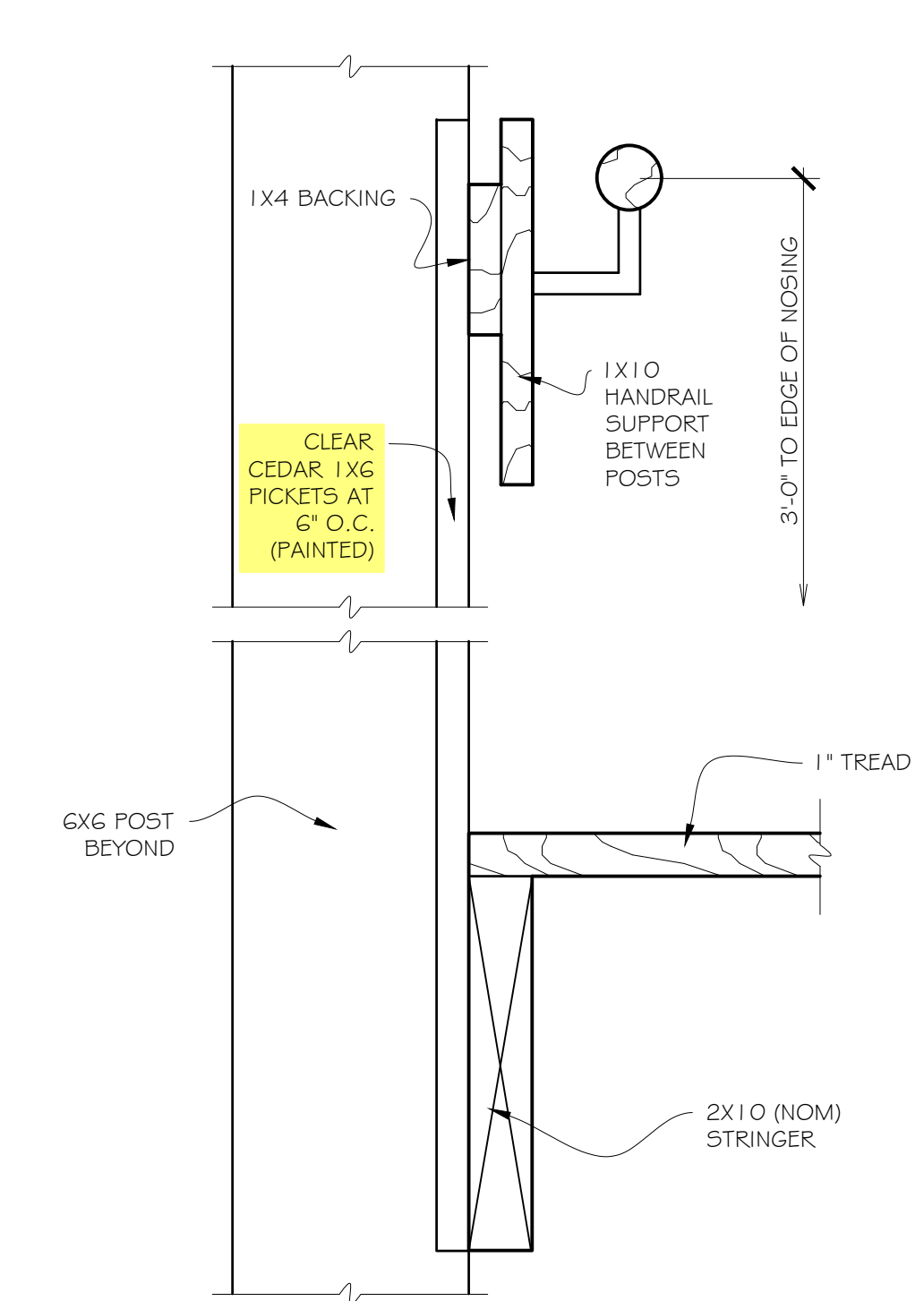


7 DETAIL AT EXTERIOR OUTSIDE CORNER
SCALE: 3" = 1'-0"

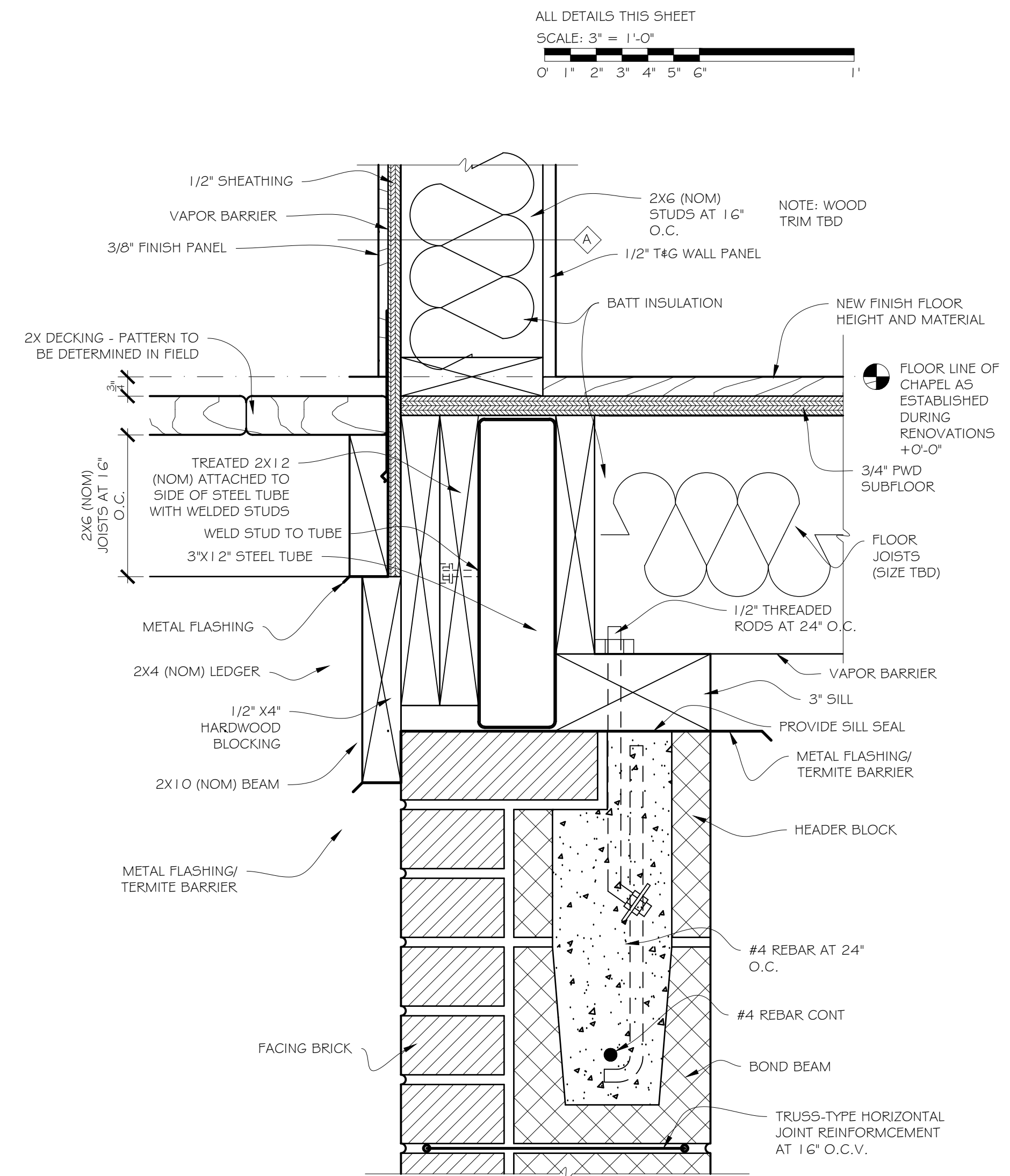


4 SECTION DETAIL AT INTERIOR EAVE
SCALE: 3" = 1'-0"





2 SECTION DETAIL AT EDGE OF STAIRS
SCALE: 3" = 1'-0"



SECTION DETAIL AT PORCH AND WALL
SCALE: 3" = 1'-0"

REVISED
MAY 2023

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

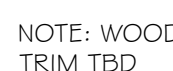
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DETAILS

A402



SCALE: 3" = 1'-0"

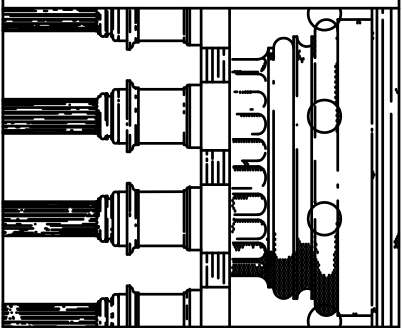


SCALE: 3" = 1'-0"

00 R 000

A403

JAMES O. MCGHEE
ARCHITECTS, P.C.
600 CAROLINE STREET
FREDERICKSBURG, VIRGINIA 22401
Phone 540-371-1091 Fax 540-371-5887



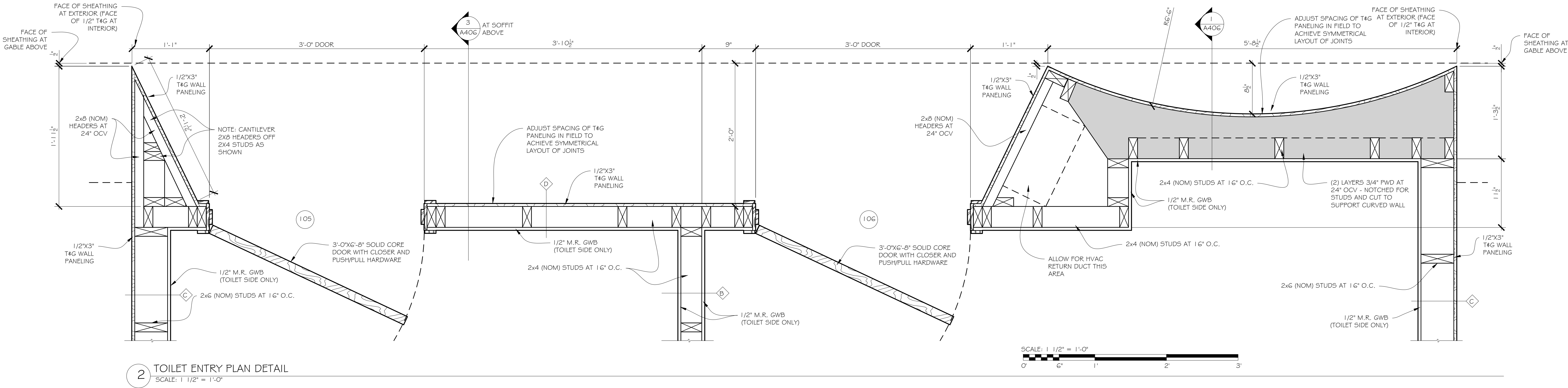
31 JANUARY 2023
DRAWN BY:
JDC

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AVE
23 BOUNDARY ST
BLUFFTON, SC 29910

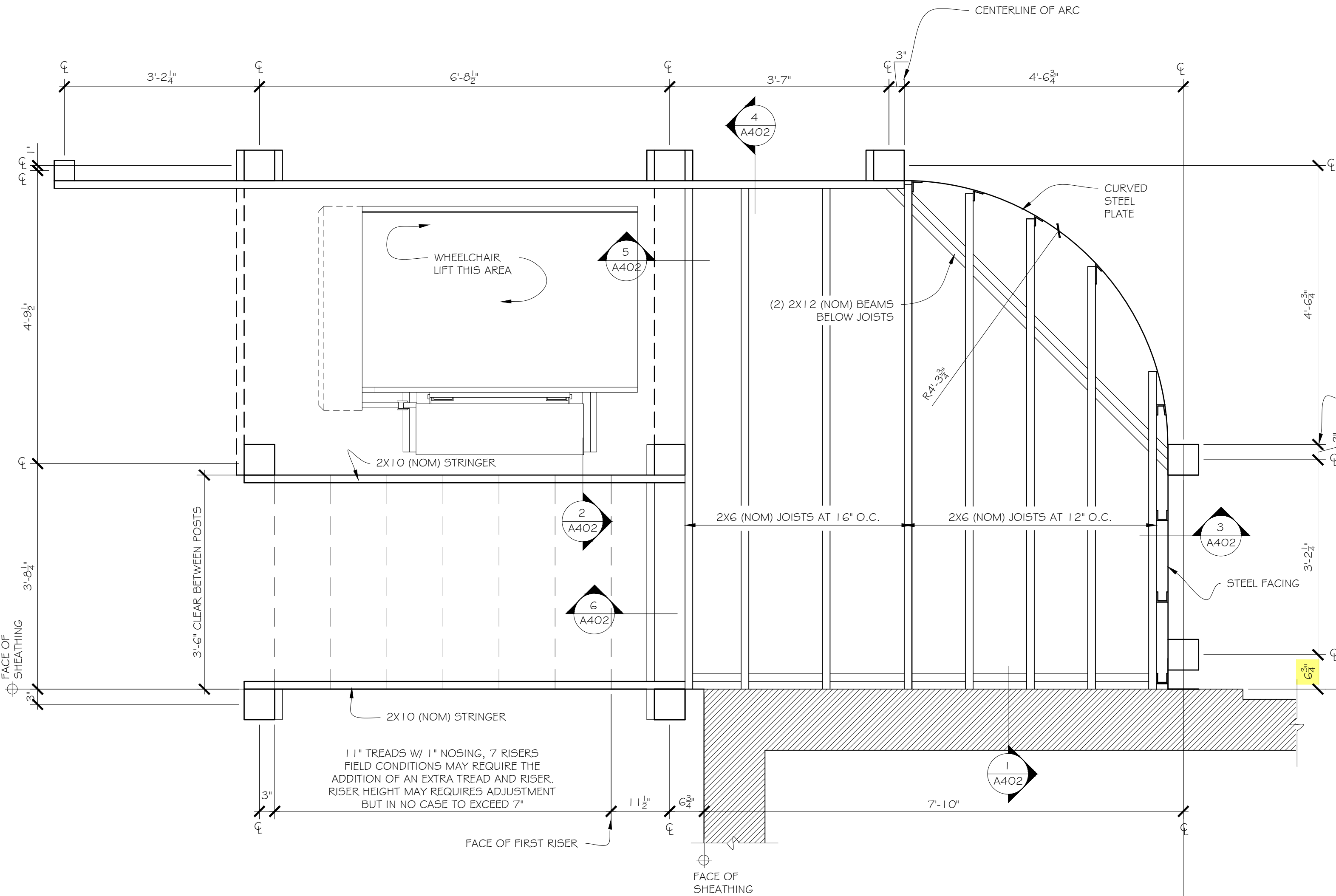
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DETAILS

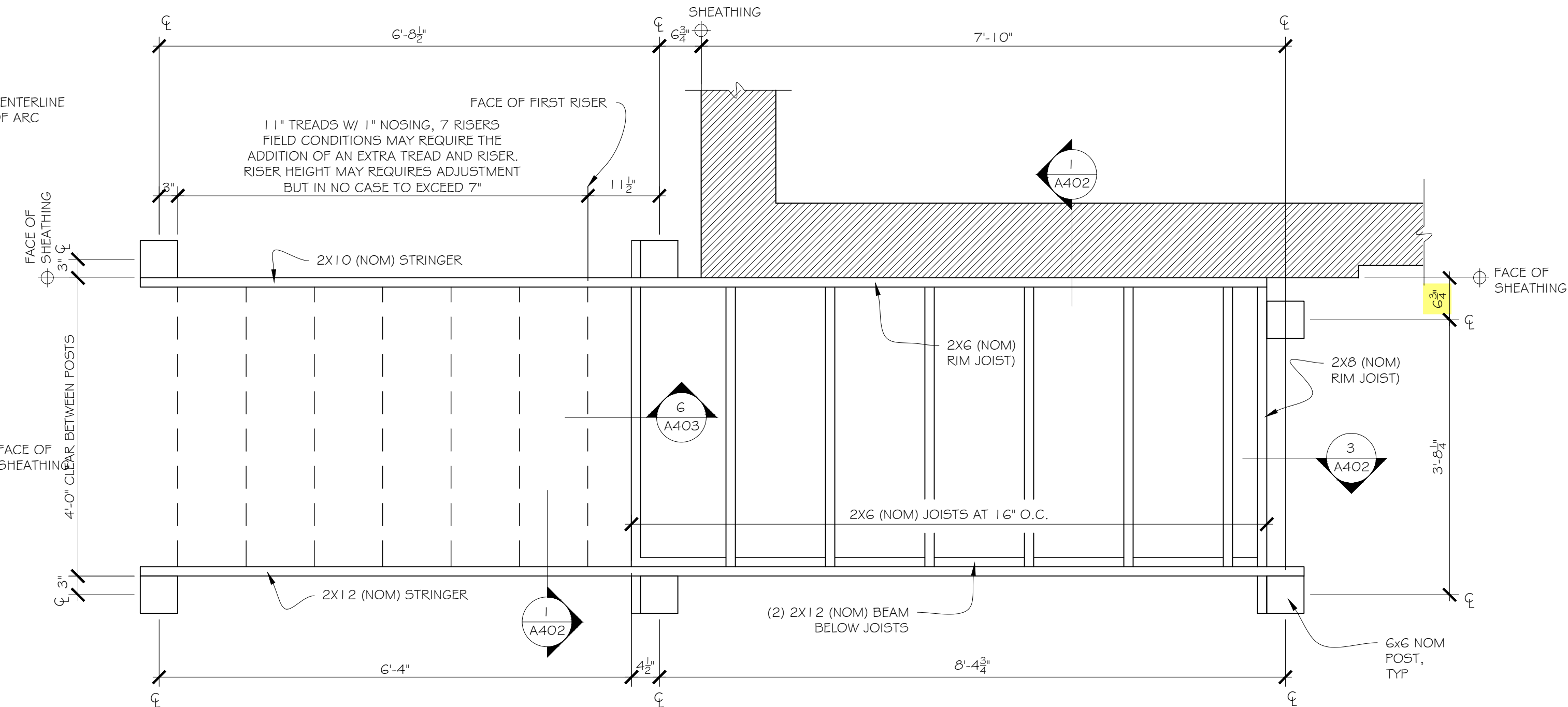
A405



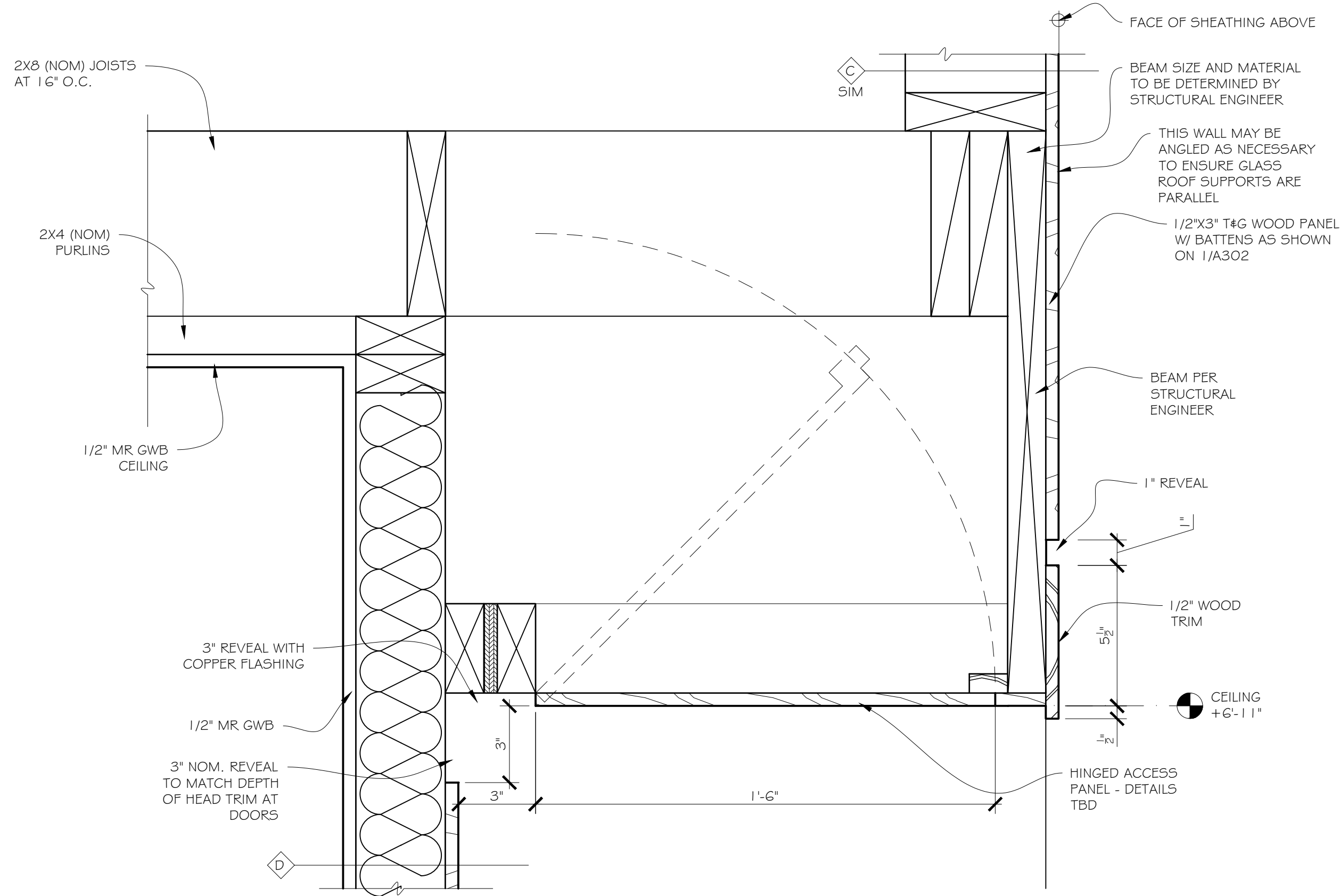
2 TOILET ENTRY PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



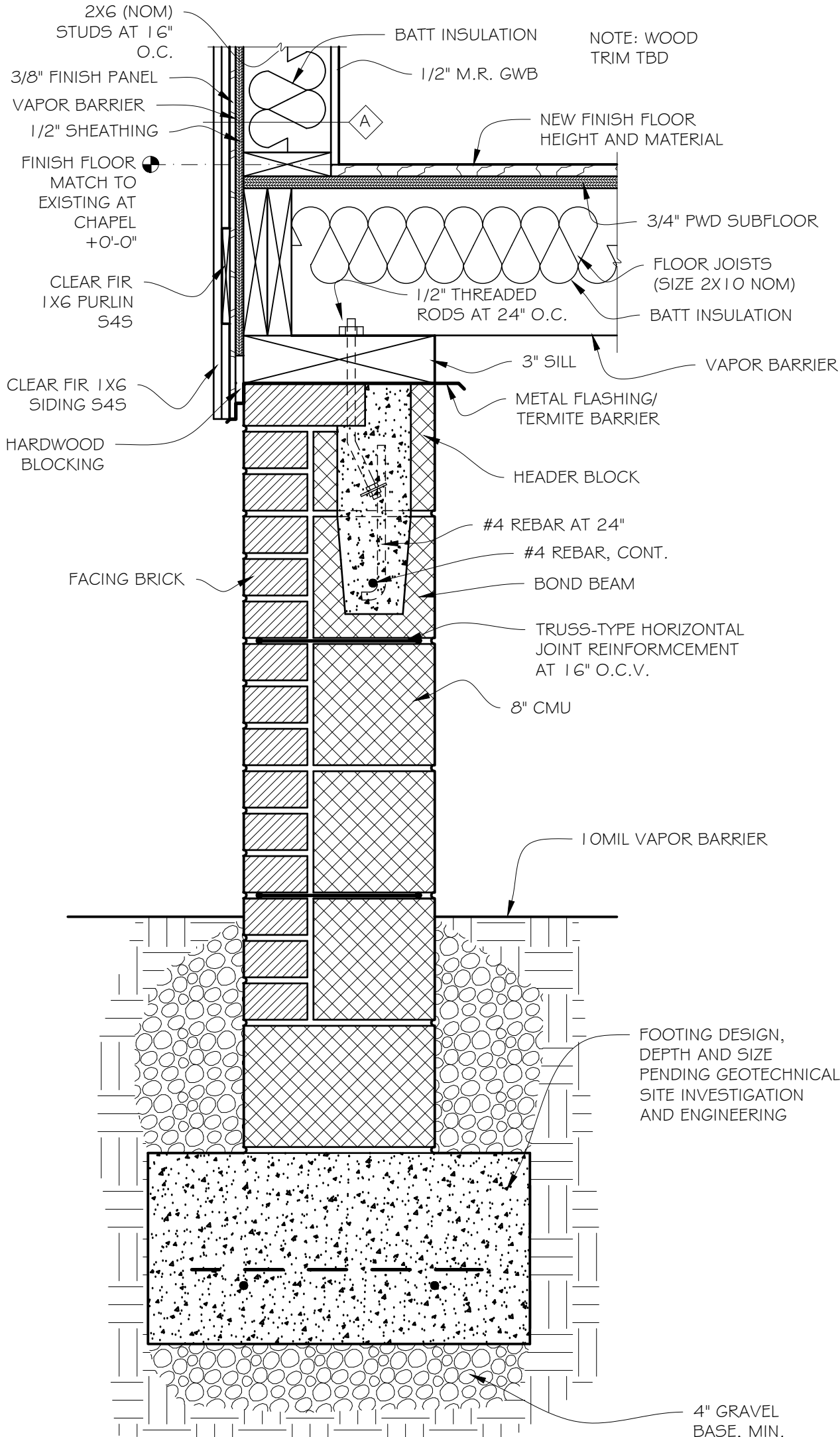
3 STAIR FRAMING PLAN / DETAIL KEY PLAN
SCALE: 3/4" = 1'-0"



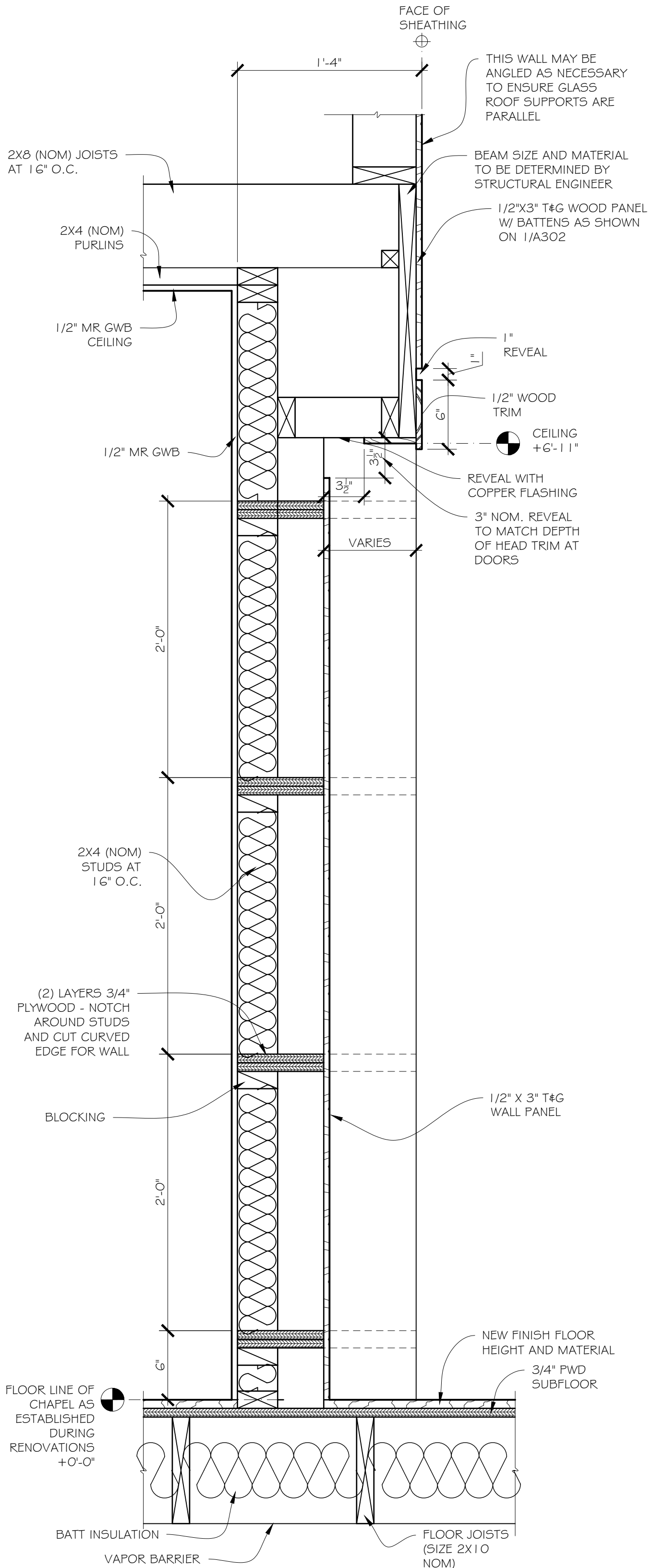
1 PORCH PLAN DETAIL
SCALE: 3/4" = 1'-0"



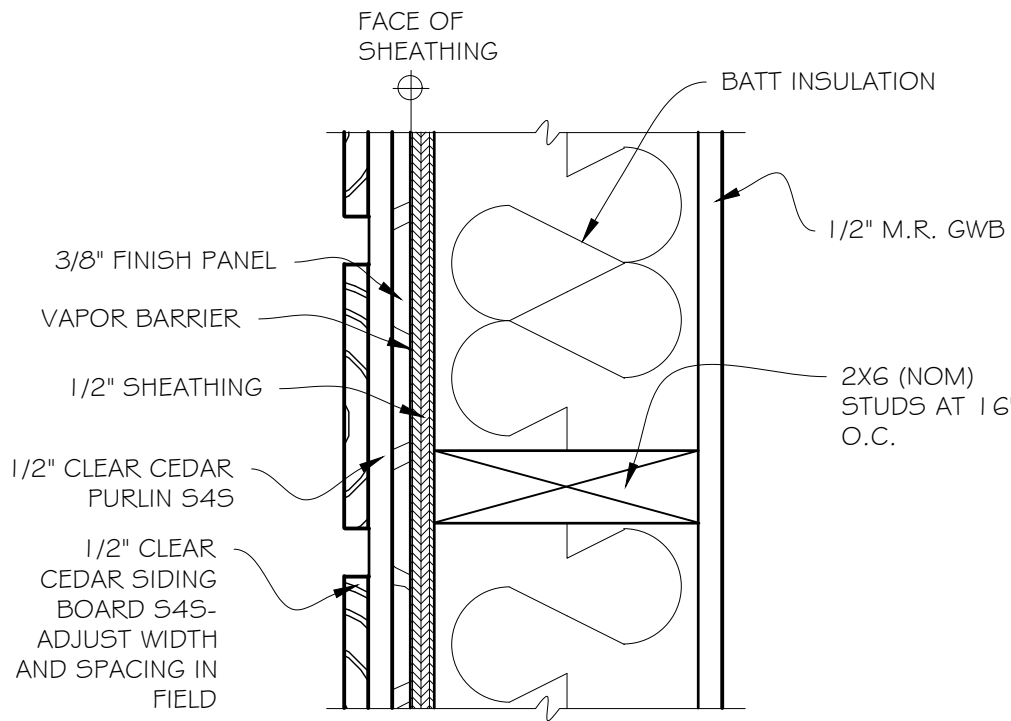
SCALE: 3" = 1'-0"



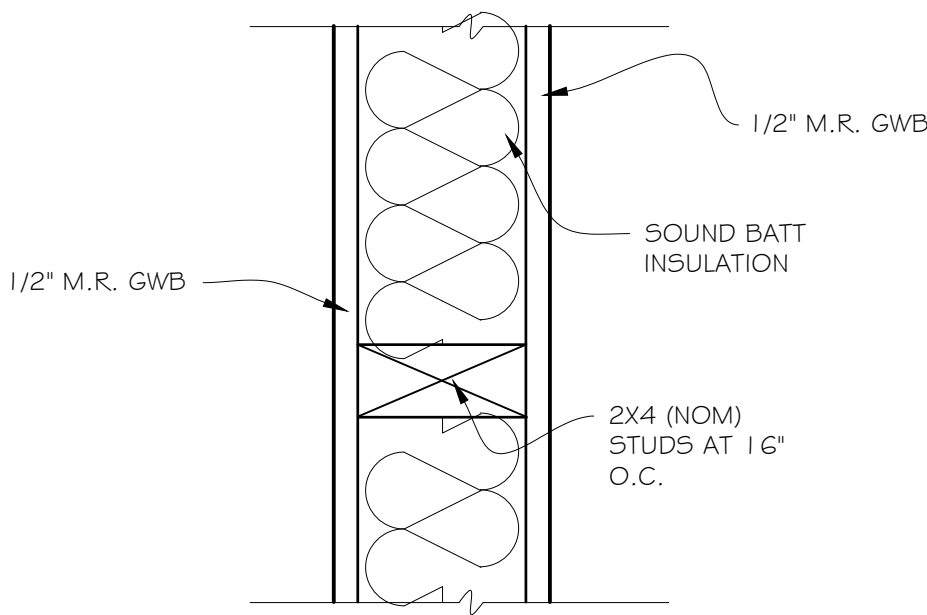
SCALE: 3" = 1'-0"



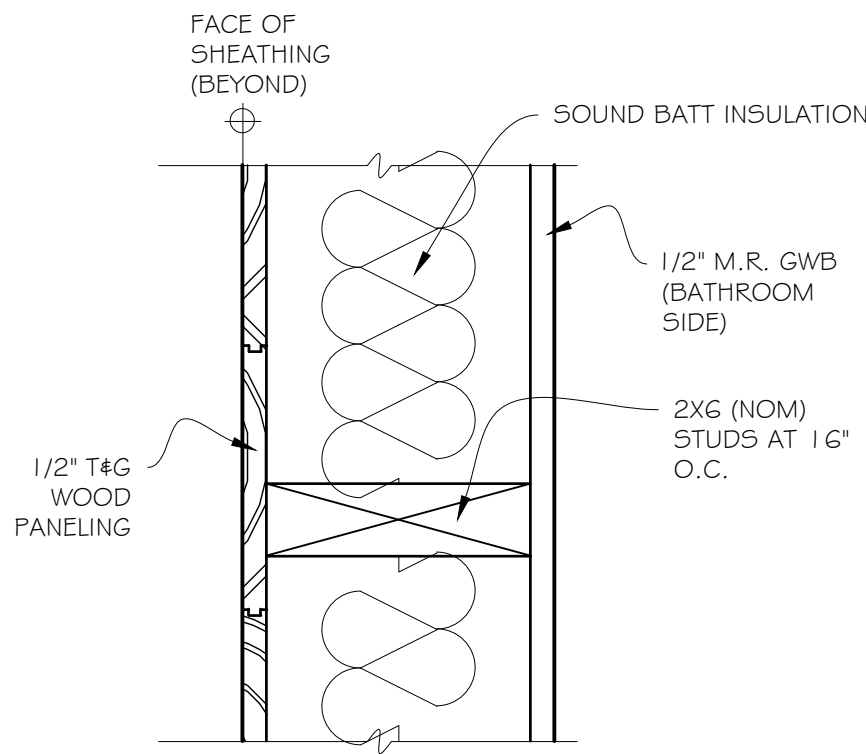
SCALE: 1 1/2" = 1'-0"



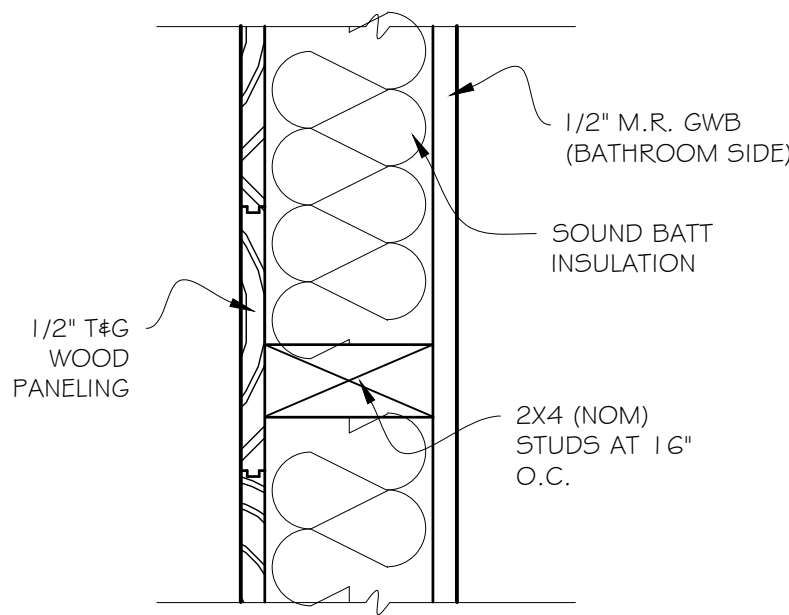
WALL TYPE A



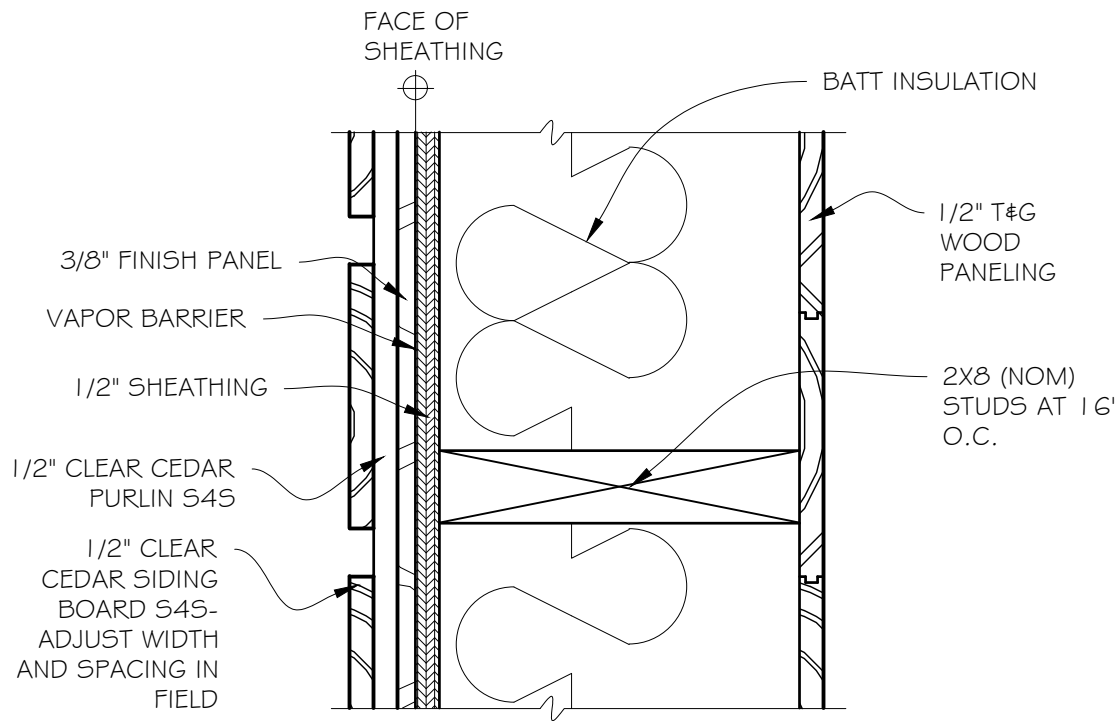
WALL TYPE B



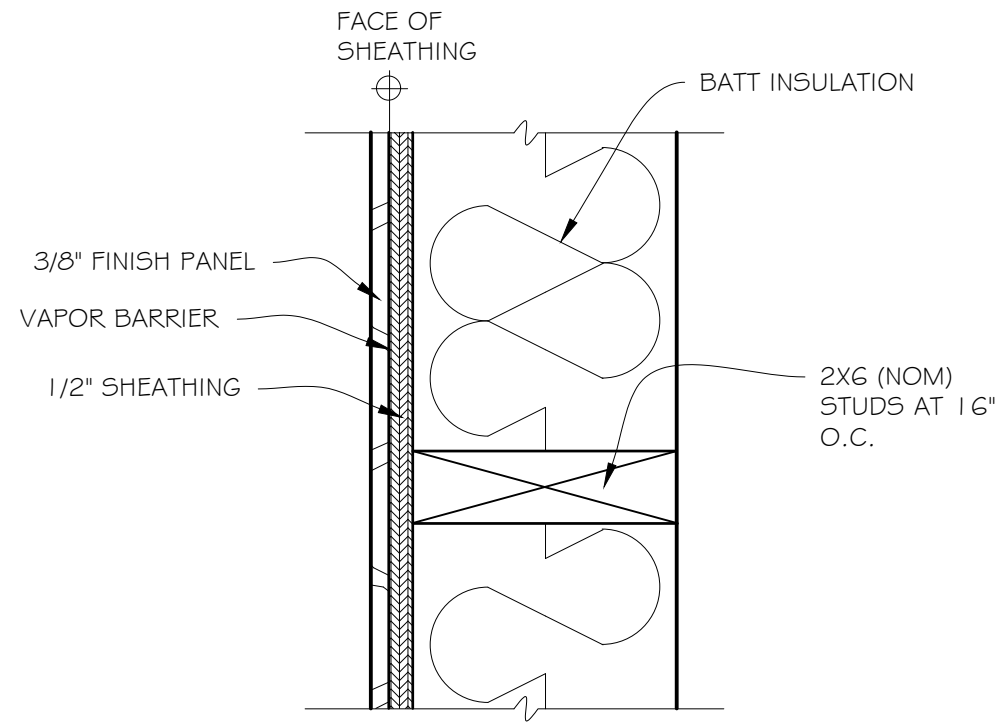
WALL TYPE C



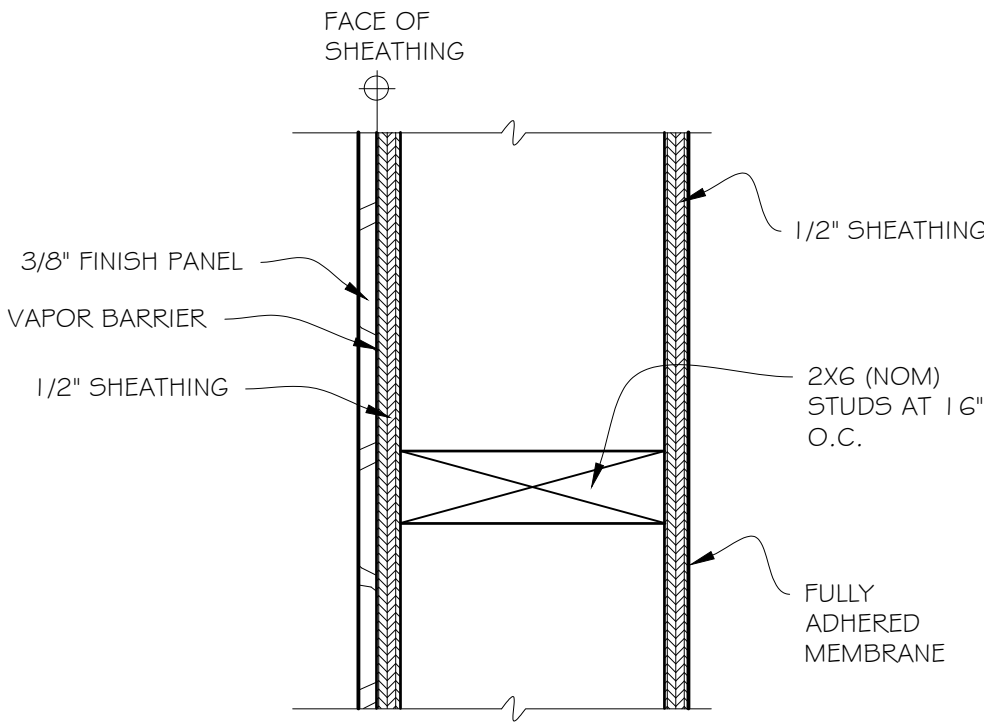
WALL TYPE D



WALL TYPE E

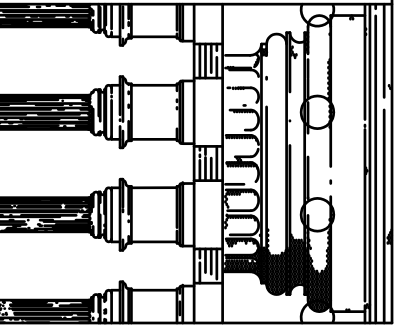


WALL TYPE F



WALL TYPE G

1 WALL TYPES
NOT TO SCALE



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31 JANUARY 2023
DRAWN BY:
JDC

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

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DETAILS

A501

DOOR SCHEDULE			
KEY	SIZE (WxH)	HARDWARE	NOTES
I 01	3'-0" x 6'-8"	CASED OPENING	ENLARGE EXISTING OPENING
I 02	3'-0" x 6'-8"	CASED OPENING	ENLARGE EXISTING OPENING
I 03	3'-0" x 6'-8"	PANIC W/ CLOSER	CUSTOM BUILT WOOD DOOR WITH SIDELITE
I 04	3'-0" x 6'-8"	PANIC W/ CLOSER	CUSTOM BUILT WOOD DOOR WITH SIDELITE
I 05	3'-0" x 6'-8"	PUSH/PULL	
I 06	3'-0" x 6'-8"	PUSH/PULL	
I 07	2'-6" x 6'-8"	STOREROOM	
I 08	2'-4" x 6'-8"	PRIVACY	
I 09	3'-0" x 6'-8"	PRIVACY	

- GENERAL NOTES
-  DENOTES DOOR AS PART OF ACCESSIBLE ROUTE

WINDOW SCHEDULE							
KEY	SIZE (WxH)	HARDWARE	HEAD HEIGHT	HEAD	JAMB	SILL	NOTES
A	5'-0" WIDE	GLASS ROOFING SYSTEM		3/A403	1/A403	2/A403	ADDITIONAL DETAILS PENDING SELECTION OF WINDOW MFR.
B	4'-1 1/8" x 7'-8 1/4"	FIXED PICTURE	7'-9"	3/A404	1/A403	1/A404	
C	2'-0" x 2'-0"	FIXED PICTURE	6'-8"				

- GENERAL NOTES
- SEE RESTORATION DRAWINGS FOR NOTES AND DETAILS OF HISTORIC CHAPEL WINDOWS

FINISH SCHEDULE						
KEY	ROOM NAME	CEILING HEIGHT	CEILING FINISH	WALL FINISH	FLOOR FINISH	NOTES
I 01	ATRIUM	VARIES	GLASS	VARIES	HARDWOOD	
I 02	HALLWAY	8'- 1/4"	T&G WOOD PANEL	T&G WOOD PANEL	HARDWOOD	
I 03	HALLWAY	8'- 1/4"	T&G WOOD PANEL	T&G WOOD PANEL	HARDWOOD	
I 04	MEN'S TOILET	8'- 1/4"	MR. GWB, PAINTED	MR. GWB, PAINTED	CERAMIC TILE	
I 05	WOMEN'S TOILET	8'- 1/4"	MR. GWB, PAINTED	MR. GWB, PAINTED	CERAMIC TILE	

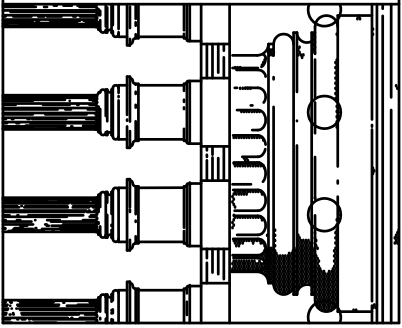
- GENERAL NOTES
- MOISTURE-RESISTANT GWB IN ALL BATHROOM LOCATIONS

Section X, Item #4.

JAMES O. MCGHEE

A R C H I T E C T S, P. C.

600 CAROLINE STREET
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Phone 540-371-1091 Fax 540-371-5837



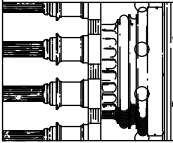
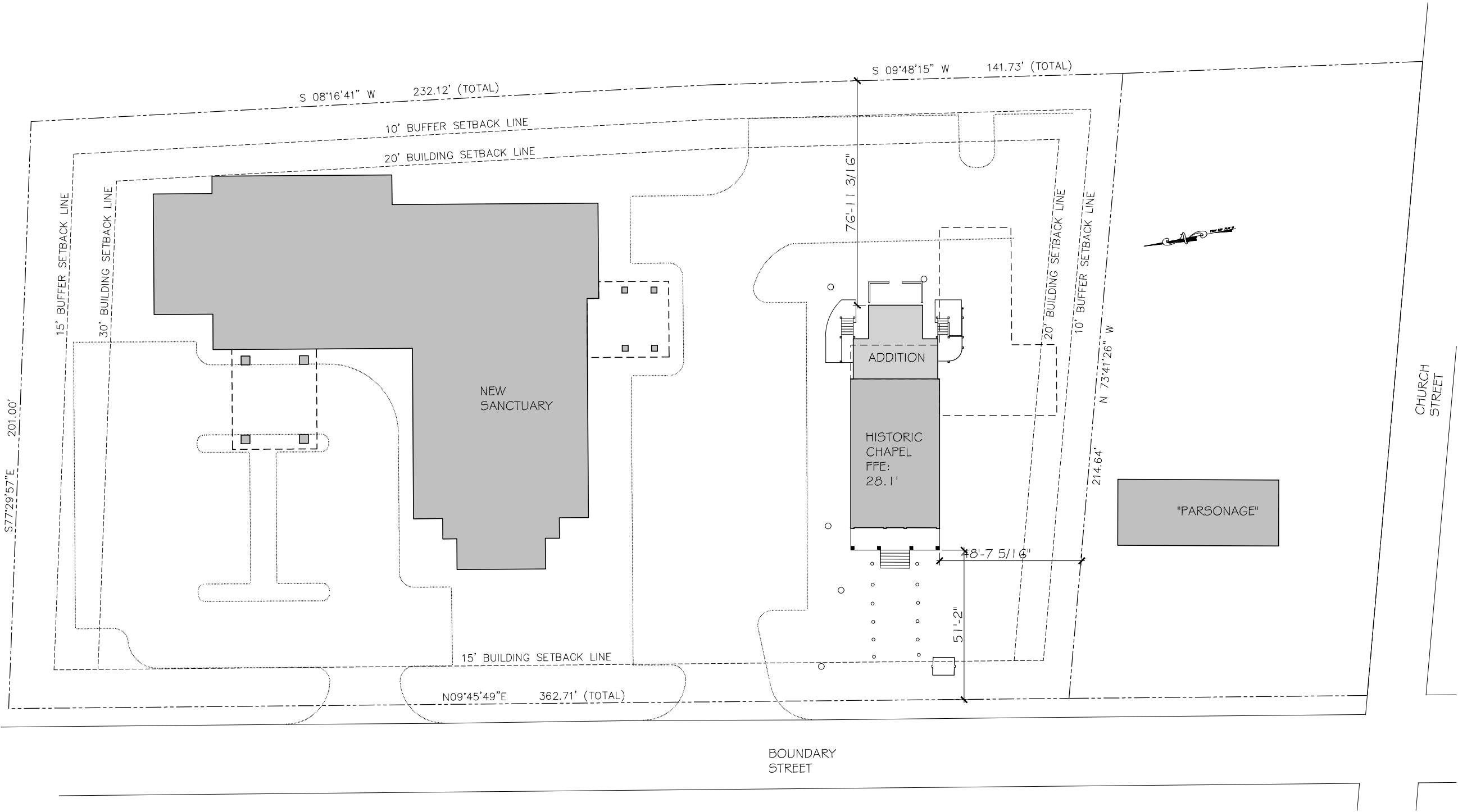
31 JANUARY 2023
DRAWN BY:
JDC

ADDITION TO HISTORIC CAMPBELL CHAPEL
CAMPBELL CHAPEL AME
23 BOUNDARY ST
BLUFFTON, SC 29910

00 R 000

SCHEDULES

A601





ATTACHMENT 8 PLAN REVIEW COMMENTS FOR COFA-04-23-017894

Section X. Item #4.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 04/12/2023
Plan Status: Active **Plan Address:** 23 Boundary Street
BLUFFTON, SC 29910
Case Manager: Glen Umberger **Plan PIN #:** R610 039 00A 0080 0000
Plan Description: 23 Boundary Street: A request by James McGhee on behalf of the owner, Campbell Chapel A.M.E. Church, for a review of a Certificate of Appropriateness - HD to demolish the non-historic, non-contributing portion of approximately 2,307 SF, to allow the construction of a 1-story free-standing addition of approximately 608 SF and to renovate the historic 1780 SF Contributing Resource known as Campbell Chapel A.M.E. located at 23 Boundary Street in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. (COFA-04-23-017894) (Staff - Glen Umberger)

Staff Review (HD)

Submission #: 1 Received: 04/12/2023 Completed: 05/03/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	05/03/2023	Glen Umberger	Revisions Required

Comments:

3.18.3 Comments

Summary: Campbell Chapel A.M.E. is individually listed in the National Register of Historic Places (2019) and has been designated as a Contributing Resource to the Old Town Bluffton Historic District. Accordingly, any alterations, additions, or renovations must be done in a manner that is consistent with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (UDO 3.18.3.A.). This application, in part, proposes to return the subject to its 1874 configuration with the addition of shutters, recreation of "jib" doors on the side elevations, reconstruction of a former belfry with a decorative cross-shaped finial, and a roof replacement. In general, according to the Standards, "When an entire exterior feature is missing, it no longer plays a role in physically defining the historic character of the building unless it can be accurately recovered in form and detailing through the process of carefully documenting the historic appearance. If the feature is not critical to the survival of the building, allowing the building to remain without the feature is one option. A second option in a rehabilitation treatment for replacing a missing feature, particularly when the available information about the feature is inadequate to permit an accurate reconstruction, is to design a new feature that is compatible with the overall historic character of the building." As such, additional historic research will be required to document the existence of shutters and associated hardware before fabrication and installation of new shutters will be permitted. Further, additional historic research will be required to document the existence of the jib doors on the side elevation; it is possible that these were removed during the 1874-era renovation of the church and, if so, recreating these on the exterior elevations would not be in accordance with the Standards, in particular "changes to a property that have acquired historic significance in their own right will be retained and preserved." The construction of a historic belfry does not present any major issues, however additional documentation will be required for the existence of the metal Cross/finial on top of the belfry before the installation of this architectural feature is permitted. The proposed roof replacement with wood shingles is problematic. While the original 1853 building may have had wood shingles, and wood shingles may have been present in 1874, the current metal roof (and similar metal roof that appears in the 1933 photograph) is an architectural feature that has acquired significance in its own right and therefore shall be retained and preserved.

The proposed demolition of the 1960s-era non-historic, non-contributing portion of the building presents no conflicts with the Standards. Furthermore, the Standards state that "New additions should be designed and constructed so that the character-defining features of the historic building, its site, and setting are not negatively impacted. Generally, a new addition should be subordinate to the historic building. A new addition should be compatible, but differentiated enough so that it is not confused as historic or original to the building." Accordingly, the proposed 608SF addition meets this Standard.

Growth Management Dept Review (HD)	05/03/2023	Glen Umberger	Approved with Conditions
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Comments:**ATTACHMENT 8**

Section X. Item #4.

Article 5 Comments

1. At time of final submittal, provide additional information on railing details as not enough information has been provided to ensure compliance with material and configuration (UDO 5.15.6.H.).
2. At time of final submittal, provide additional information on proposed exterior wood doors for front and rear elevations of historic resource as not enough information has been provided to ensure compliance with material and configuration.(UDO 5.15.6.I).
3. At time of final submittal, provide additional information for the proposed replacement windows in the historic resource and new windows in proposed rear addition as not enough information has been provided to ensure compliance with material and configuration (UDO 5.15.6.I.).
4. The Applicant has proposed wood shingles which are not a permitted material (historic resource) nor is a fully adhered membrane roof (rear portion of addition). Permitted finish materials include metal (galvanized, copper, aluminum, zinc-alum) or shingles (metal or asphalt "dimensional" type, slate, composite slate). Revise roof material to permitted material. For small flat roof area provide additional information on proposed membrane roofing. (UDO 5.15.6.J.).
5. Provide additional information on gutters and rain chains (downspouts) as not enough information has been provided to ensure compliance with the material. Gutters and rain chains (downspouts) are to match in material, including copper, galvanized steel, or aluminum (14-18 gauge). They may be square, rectangular or half-round in profile. (UDO 5.15.6.J.).
6. Provide additional information on soffit and fascia to ensure it is a permitted material (UDO 5.15.6.P).
7. Landscape has not been reviewed as part of this application. Provide additional information on landscape or a future Site Feature-HD application may be required (UDO 3.19).
8. Service yard fence height proposed at 8 feet. Fences in rear and side yards may not exceed 6 feet in height. Revise service yard height. (UDO 5.15.6.F.)

HPRC Review

05/03/2023

Glen Umberger

Approved with Conditions

Comments:

Note from Reviewer: I've reviewed the submission for the Campbell AME Church and have to say that off the bat, it's really refreshing to see such a high level of--and attention to--detail, especially at a Conceptual submittal.

I didn't have any comments on the existing chapel restoration, just a few notes on the proposed addition at the rear of the existing structure:

1. As a general note: The proposed addition, while innovative in its design and clearly serving as a visual cue that speaks to the different eras of design between the original church and the new addition, should at least strive to have some design elements that ground it more in the Lowcountry tradition. Consider modifications to exterior massing and/or detailing of exterior elements.
2. Detail 7/A401 shows a condition where two different materials are meeting at an outside corner--1/2" clear siding boards on one side and a board and batten application on the adjoining corner. There should be no change in materials on outside corners, so consider altering the board & batten siding to match that of the cedar or create an outside corner condition so that the board and batten siding can terminate into an inside corner. If this detail is in error, update the detail.

3. On the revised side and rear elevations, provide additional information regarding the intent of the parapet and flat roof for the connection.
4. Provide additional information on the 3/8" finished panel between the siding and underside of the roof as the intent is not clear. Question: Is there a specific reason vertical cedar siding has been chosen.
5. Why is there a different siding pattern shown on 1/A302? This would seem the only place this siding is used. Provide clarification.

Comment from reviewer: While the addition is clearly secondary to the primary building form, the exterior materials do not seem to be in keeping with the structure as historic as the church. It may be beneficial to provide a 3D rendering on the back half of the church with the addition so we have a better understanding of what is being requested for approval.

Transportation Department
Review - HD

05/03/2023

Dan Frazier

Approved with Conditions

Comments:

1. The application materials include site changes to the stormwater, parking layout, circulation etc. that exceed the scope of work which may be reviewed as a Certificate of Appropriateness-HD. A Development Plan Amendment is required to complete these site changes prior to approval of the COFA. Should the scope of work submitted for the Final Review of this application be reduced to ONLY the modifications to the building, and not include the site changes, the COFA may be reviewed as a stand alone application. Please contact Dan Frazier (dfrazier@townofbluffton.com) to discuss the DPA process should you wish to move forward with these changes at this time. (UDO 3.18 and 3.10)

Watershed Management Review

05/02/2023

Samantha Crotty

Approved with Conditions

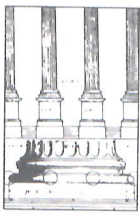
Comments:

At this time, the BMP (rain garden) in place is for the treatment of runoff from right-of-way property and is therefore maintained by the Town. Should the use of the BMP be modified to private stormwater treatment, the ownership and maintenance will need to be permanently taken over with a signed Operation and Maintenance (O&M) Agreement in place by the property owner, as the Town cannot maintain private stormwater infrastructure with public funds. For an O&M Agreement template, see Appendix O of the SoLoCo Design Manual.

As this exceeds the COFA scope, it will be reviewed through the Development Plan Amendment process - See Transportation comments.

Beaufort Jasper Water and Sewer Review	05/02/2023	James Clardy	Approved
Comments: No Comments			

Plan Review Case Notes:



ATTACHMENT 9
JAMES O. MCGHEE
A R C H I T E C T S, P. C.

600 CAROLINE STREET, SUITE C
FREDERICKSBURG, VIRGINIA 22401
540-371-1091
540-371-5837 FAX

10 May 2023

RE: PLAN REVIEW COMMENTS FOR COFA-04-23-017894

This is my formal amendment of the above application. The attachments included with this letter show my responses to each comment in the staff review dated 04/12/2023. I am submitting this revision for consideration to be on the June 7, 2023 Historic Preservation Commission agenda.

I wish to modify the original application to only include the renovation of the existing historic chapel and the proposed addition.

The attached cover letter includes the response, details and modifications to be add to my original application. In some instances the responses were included on multiple drawings, to minimize and make for a more manageable reply package you will find representative responses sized for 8 1/2 x 11 inch paper. A schedule on the title sheet list show other drawings were response was added for each comment. All revised drawings are included in a separate attachment sized for 11x17 inch paper.

Other specific modifications to my original application are shown on the attached cover letter as well.

I trust this clearly and completely addresses all the comments in the PLAN REVIEW COMMENTS FOR COFA-04-23-017894.

Sincerely,

James O. McGhee

Architect

PLAN REVIEW COMMENTS FOR COFA-04-23-017894

Apply date 04/12/2023

Plan PIN # R610 036 00A 0080 0000

Architect's response and supporting materials

The following list of drawings indicate where changes have been made addressing each review comment. Critical changes are attached to this application in 8.5x11 size (as noted below). Other referred drawings can be found in the full size complete set of drawings.

Comments:

- Growth Management Dept Review (Glen Umberger)
 - 3.18.3 Comment 1: "...additional historic research will be required to document the existence of shutters and associated hardware before fabrication and installation of new shutters will be permitted."
 - The following note has been added to the restoration set of drawings: "Note: additional on-site research and historic research will be performed prior to any fabrication to determine when and if shutters would have been present in 1874. Hardware style and attachment will be researched. Should evidence indicate shutters were not present in 1874, shutters will not be installed"
 - R402 – attached as 8.5x11 – See Page 5
 - 1/R101 – shown in full set
 - 1/R201 – shown in full set
 - 1/R202 – shown in full set
 - 1/R203 – shown in full set
 - 1/R301 – shown in full set
 - R401 – shown in full set
 - 3.18.3 Comment 2: "...additional historic research will be required to document the existence of jib doors on the side elevation"
 - Investigation and research will be performed to verify existence of jib doors in 1874.
 - 1/R201 – attached as 8.5x11 – See Page 6
 - 2/R201 – shown in full set
 - 1/A202 – shown in full set
 - 2/A202 – shown in full set
 - 3.18.3 Comment 3: "...additional documentation will be required for the existence of a metal cross/finial on top of the belfry before this architectural feature is permitted"
 - Drawings have been noted to specify a painted wooden cross/finial
 - 1/A201 – attached as 8.5x11 – See Page 7
 - 1/A202 – shown in full set
 - 2/A202 – shown in full set

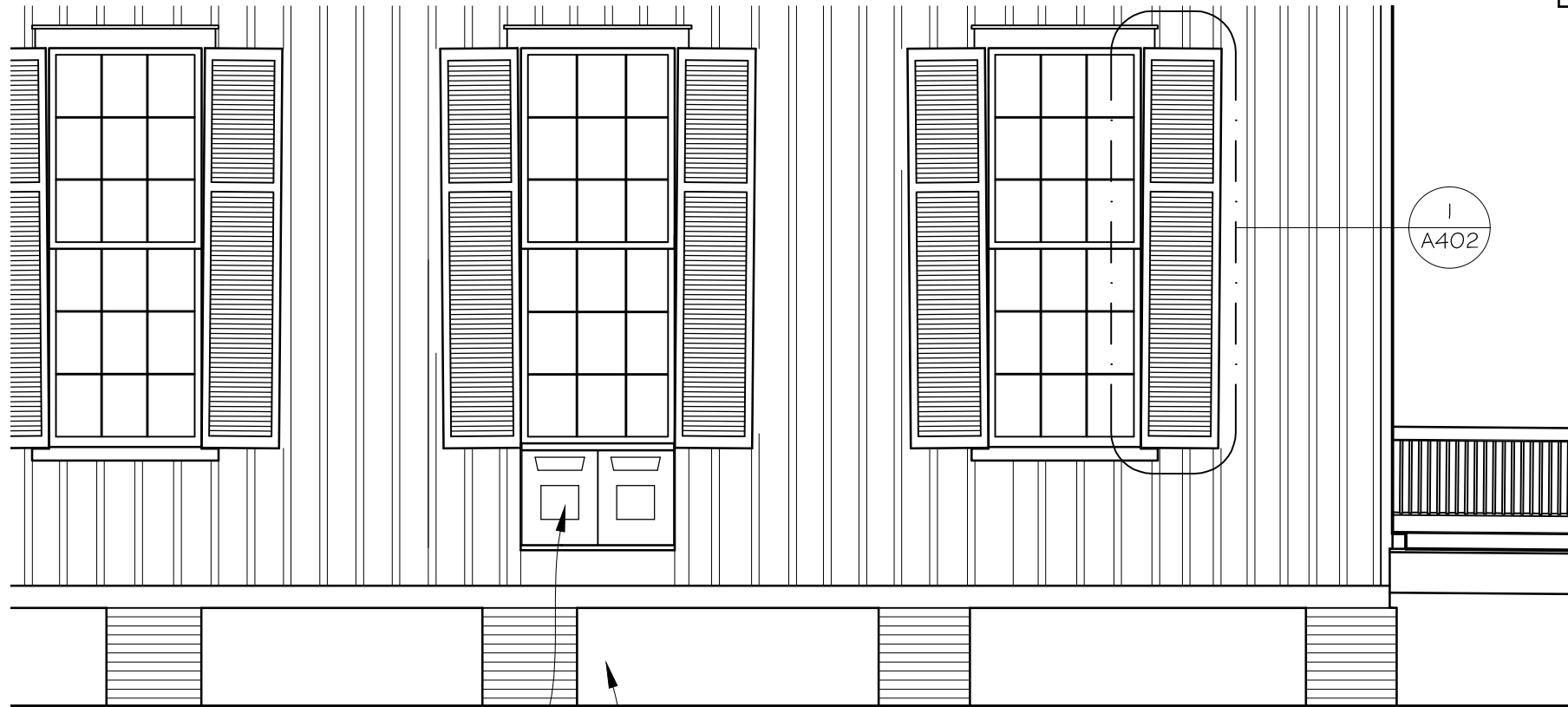
- 3.18.3 Comment 4: "...The current metal roof...is an architectural feature that has acquired significance in its own right and therefore shall be retained and preserved
 - See Article 5 Comment 4 below
- Article 5 Comment 1: "... provide additional information on railing details as not enough information has been provided to ensure compliance with material and configuration"
 - All wood portions of railings to be painted clear cedar
 - All metal portions of railings to be painted steel
 - See supplementary detail – attached as 8.5x11 – See Page 8
 - 2/A402 – attached as 8.5x11 – See Page 9
- Article 5 Comment 2: "...Provide additional information on proposed exterior wood doors for front and rear elevations of historic resource..."
 - Existing front doors to remain; rear doors have been removed and will be cased openings
 - 1/A201 – attached as 8.5x11 – See Page 7
- Article 5 Comment 3: "...Provide additional information for the proposed replacement windows in the historic resource and new windows in the proposed addition..."
 - Sash Detail – attached as 8.5x11 – See Page 10
- Article 5 Comment 4: "...wood shingles which are not a permitted material...nor is a fully adhered membrane roof..."
 - Application of a wood shingle roof on the historic chapel will be pending further investigation and research of existing conditions to verify existence of a wood shingle roof during the time period in question. If wood shingle roof cannot be documented, a time period appropriate metal roof will be applied
 - The following note has been added to all drawings and details showing a parapet: "The employment of a membrane roof requires the use of a parapet to conceal from eye-level view the membrane, flashing, and vents, and to redirect water towards collection box, thus eliminating the visual clutter of gutters and downspouts on the addition"
 - 2/A201 – attached as 8.5x11 – See Page 11
 - 3/A201 – shown in full set
 - 1/A202 – shown in full set
 - 2/A202 – shown in full set
 - 1/A303 – shown in full set
 - 1/A304 – shown in full set
 - 5/A401 – shown in full set
- Article 5 Comment 5: "Provide additional information on gutters and rain chains (downspouts)..."
 - See supplementary details of collection box and rain chain – attached as 8.5x11 – See Pages 12 and 13

- Article 5 Comment 6: “Provide additional information on soffit and fascia...”
 - 3/A401 – attached as 8.5x11 – See Page 14
 - 4/A401 – shown in full set
 - 5/A401 – shown in full set
 - 2/A404 – shown in full set
 - 3/A404 – shown in full set
- Article 5 Comment 7: “Provide additional information on landscape...”
 - Original Application Modification: Landscaping has been removed from this plan review request and will be submitted under a future application
 - Sheet SP101 has been removed from the permit set
- Article 5 Comment 8: “Fences in rear and side yards may not exceed 6 feet in height”
 - Elevations have been revised to show 6’: 2/A202 – attached as 8.5x11 – See Page 15
 - See Supplementary detail showing 7’2” fence intended to conceal wheelchair lift from view – attached as 8.5x11 – See Page 16
- HPRC (Glen Umberger)
 - Comment 2: “Detail 7/A401 shows a condition where two different materials are meeting at an outside corner”
 - Large painted mahogany board at corner, necessary for attachment details of glass wall & roof system, has been extended from floor line to soffit, providing a break and inside corners at which to change facing materials
 - 1/A302 – attached as 8.5x11 – See Page 17
 - 7/A401 – attached as 8.5x11 – See Page 18
 - 1/A403 – attached as 8.5x11 – See Page 19
 - Comment 3: “Provide additional information regarding the intent of the parapet and flat roof for the connection”
 - The following note has been added to all drawings and details showing a parapet: “The employment of a membrane roof requires the use of a parapet to conceal from eye-level view the membrane, flashing, and vents, and to redirect water towards collection box, thus eliminating the visual clutter of gutters and downspouts on the addition”
 - 2/A201 – attached as 8.5x11 – See Page 11
 - 3/A201 – shown in full set
 - 1/A202 – shown in full set
 - 2/A202 – shown in full set
 - 1/A303 – shown in full set
 - 1/A304 – shown in full set
 - 5/A401 – shown in full set
 - Comment 4: “Provide information on 3/8” finish panel between the siding and underside of the roof...”
 - Sample will be provided at meeting

- Comment 5: “Provide clarification [regarding different siding pattern shown on 1/A302]”
 - Siding pattern has been revised to show board and batten siding pattern similar to but distinct from board and batten siding on historic chapel on opposite wall of hallway
 - 1/A302 – attached as 8.5x11 – See Page 17

Transportation Department (Dan Frazier)

- Comment 1: “Please contact Dan Frazier to discuss the DPA process should you wish to more forward with these changes at this time.”
 - Original Application Modification: Site work, parking, stormwater management, etc. has been removed from this plan review request and will be submitted under a future application
 - Sheet SP101 has been removed from the permit set
- Watershed Management Review (Samantha Crotty)
 - Comment 1: “Should the use of the [existing] BMP be modified to private stormwater treatment, the ownership and maintenance of the BMP will need to be permanently taken over with signed Operations & Management Agreement...”
 - Original Application Modification: Site work, parking, stormwater management, etc. has been removed from this plan review request and will be submitted under a future application
 - Sheet SP101 has been removed from the permit set
- Additional requests:
 - Request to provide cut sheet for proposed wheelchair lift
 - Manufacturer cut sheet for Freedom Lift Systems model APEB52STRCOMLAR attached – See Page 20



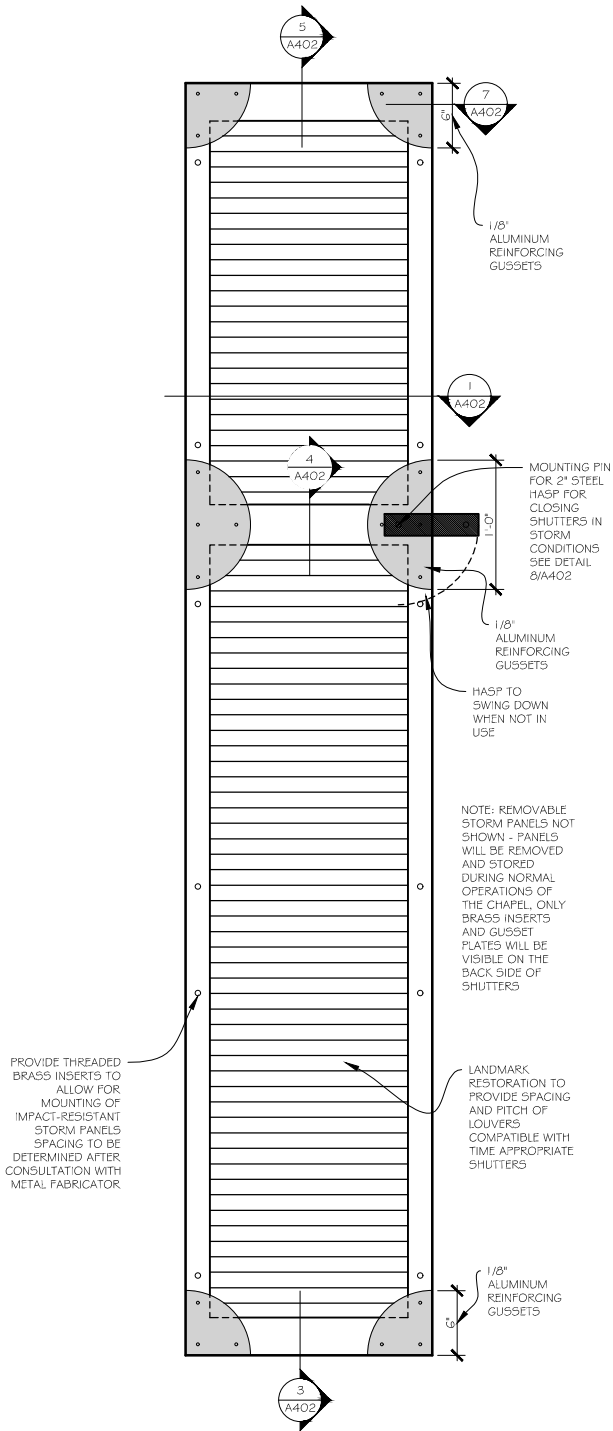
SCREEN BETWEEN EXISTING
PIERS TO BE DETERMINED
AFTER FURTHER
INVESTIGATION

THE EXISTENCE OF A "JIB" DOOR UNDER A
DOOR IS A UNIQUE AND RARE FEATURE.
THE EXISTENCE OF PORTIONS OF THE
STYLES. THE WIDTH OF THE JIB DOOR
SIZE AND SHAPE OF MISSING "RAISED"
OF DOUBLE HUNG SASH ABOVE. THE
ILL IN PLACE HELP DETERMINE THE SIZE
MOVED HISTORIC DOUBLE HUNG SASH
ABOVE

THE EXISTENCE OF JIB DOORS IMPLIES THAT EXTERIOR STAIRS
WOULD HAVE BEEN EXISTENT IN 1874. RENOVATION IN THIS
PHASE WILL NOT INCLUDE INSTALLING APPROPRIATE
STEPS/STAIRS. SHOULD ANY EVIDENCE OF THE SHAPE AND
LOCATION OF SUPPORTS BE FOUND SEPARATE DETAILS WILL BE
PROVIDED.

SCALE: 1/4" = 1'
0' 1' 2' 3' 4'

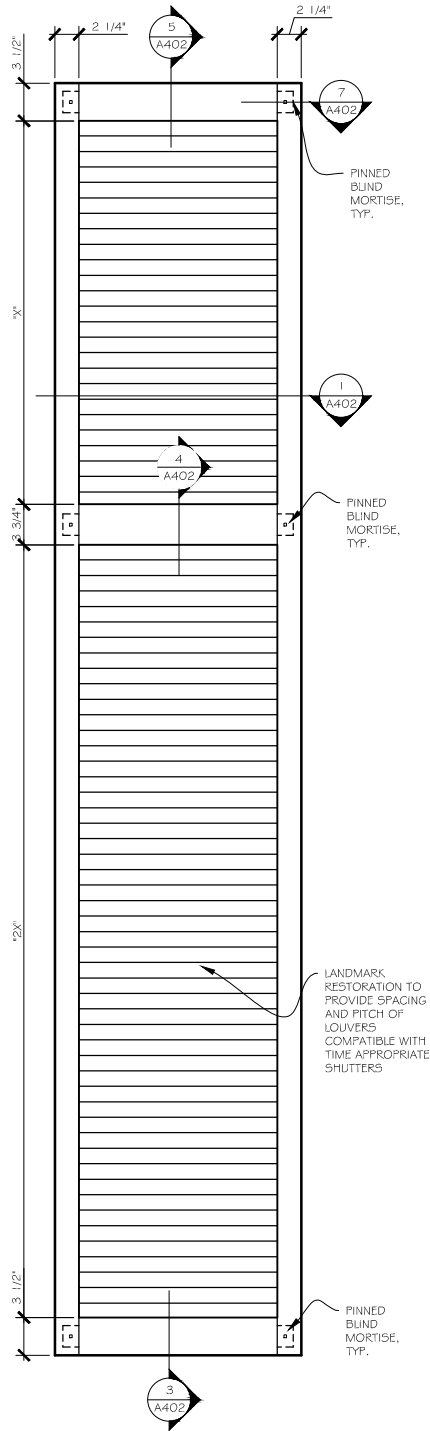
NOTE: ADDITIONAL ON-SITE RESEARCH AND HISTORIC RESEARCH WILL BE PERFORMED TO DETERMINE WHEN AND IF SHUTTERS WOULD HAVE BEEN PRESENT IN 1874. HARDWARE STYLE AND ATTACHMENT WILL BE RESEARCHED. SHOULD EVIDENCE INDICATE SHUTTERS WERE NOT PRESENT IN 1874, SHUTTERS WILL NOT BE INSTALLED



NOTE: SHUTTER HARDWARE TO BE DETERMINED FOLLOWING FURTHER RESEARCH AND INVESTIGATION OF ARCHEOLOGICAL EVIDENCE



2 ELEVATION OF RECONSTRUCTED SHUTTERS (REAR)
SCALE: 1 1/2" = 1'-0"



NOTE: SHUTTER HARDWARE TO BE DETERMINED FOLLOWING FURTHER RESEARCH AND INVESTIGATION OF ARCHEOLOGICAL EVIDENCE



1 ELEVATION OF RECONSTRUCTED SHUTTERS (FRONT)
SCALE: 1 1/2" = 1'-0"

NOTE: STEPS AND
ARCH THIS AREA
NOT SHOWN FOR
CLARITY



FLOOR LINE OF
CHAPEL AS
ESTABLISHED
DURING
RENOVATIONS
+0'-0"

ICK BASE

3' 4' 5'

ATTACHMENT 10

NEW PAINTED
WOOD CROSS
FINIAL

Section X. Item #4.

NOTE: SEE RESTORATION PLANS FOR
DETAILS REGARDING RESTORATION OF
HISTORIC CHAPEL

RECONSTRUCTED WINDOW JAMBS,
ILLS, HEADS, AND FRAMES TO BE
CONSTRUCTED FROM CLEAR FIR,
TYPICAL

EXISTING DOORS TO REMAIN

SCALE: 1/4" = 1'-0"

0' 1' 2' 3' 4' 5' 10' 20'

1 FRONT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

Page 222

6X6 POST W/ METAL CAP BEYOND

ATTACHMENT 10

Section X. Item #4.

CLEAR
CEDAR 1X8
TOP RAIL,
PAINTED

2'-8"

NOTE: ALL STEEL TO STEEL
CONNECTIONS TO BE
WELDED

4'-0"

CLEAR CEDAR
1X6 PICKETS
AT 6" O.C.
(PAINTED)

CLEAR CEDAR 1X4
BOTTOM RAIL,
(PAINTED)

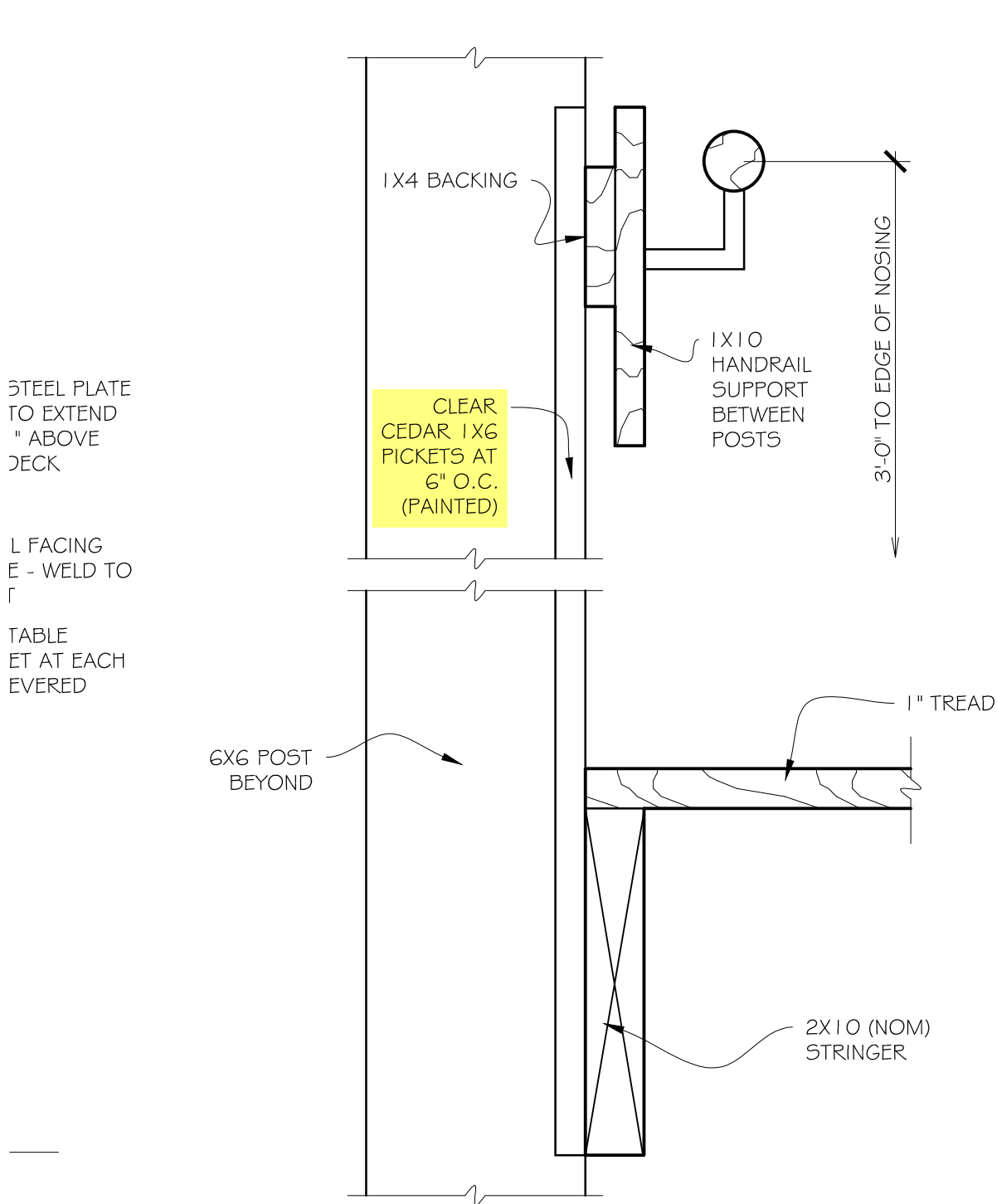
1'-0"

4"

FLOOR LINE OF
CHAPEL AS
ESTABLISHED
DURING
RENOVATIONS
+ 0'-0"

2X DECKING -
PATTERN TO BE
DETERMINED IN
FIELD

TYPICAL WOOD GUARDRAIL SECTION



2

SECTION DETAIL AT EDGE OF STAIRS

SCALE: 3" = 1'-0"

WINDOW SASH NOTES

- INVESTIGATION OF EXISTING CONDITIONS OF HISTORIC STRUCTURE WILL DETERMINE FINAL DIMENSIONS
- STYLES, TOP RAIL OF LOWER SASH, AND MEETING RAIL ARE ASSUMED TO BE 2", BOTTOM RAIL OF LOWER SASH AND TOP RAIL OF UPPER SASH ARE ASSUMED TO BE 3" BASED ON COMPARABLE HISTORIC WINDOWS OF THE TIME PERIOD.
- MUNTIN IS 1/2" OVOLO PROFILE
- SASH TO BE CONSTRUCTED OF SAPELE WOOD AND PAINTED
- GLASS TO BE SINGLE PANE DIRECT GLAZE PANES

TYPICAL WINDOW SASH ELEVATION

NEW PAINTED
WOOD CROSS
FINIAL

NOTE: SEE RESTORATION PLANS FOR
DETAILS REGARDING RESTORATION OF
HISTORIC CHAPEL

THE EMPLOYMENT OF A
MEMBRANE ROOF REQUIRES THE
USE OF A PARAPET TO CONCEAL
FROM EYE-LEVEL VIEW THE
MEMBRANE, FLASHING, AND
VENTS, AND TO REDIRECT WATER
TOWARDS COLLECTION BOX,
THUS ELIMINATING THE VISUAL
CLUTTER OF GUTTERS AND
DOWNSPOUTS ON THE ADDITION

SLOPE AND RIDGE HEIGHT OF
THIS ROOF TO BE DETERMINED
FOLLOWING SELECTION OF
GLASS ROOF SYSTEM

BEARING
AT SLOPED
ROOF

FRAMING
+10'-4"

METAL ROOF

TOP OF
"FLAT" ROOF
FRAMING

CLEAR FIR S4S

CLEAR CEDAR
SIDING - S4S

FLOOR LINE OF
CHAPEL AS
ESTABLISHED
DURING
RENOVATIONS
+0'-0"

RAIN CHAIN INTO BASIN

2
A404

1
A303

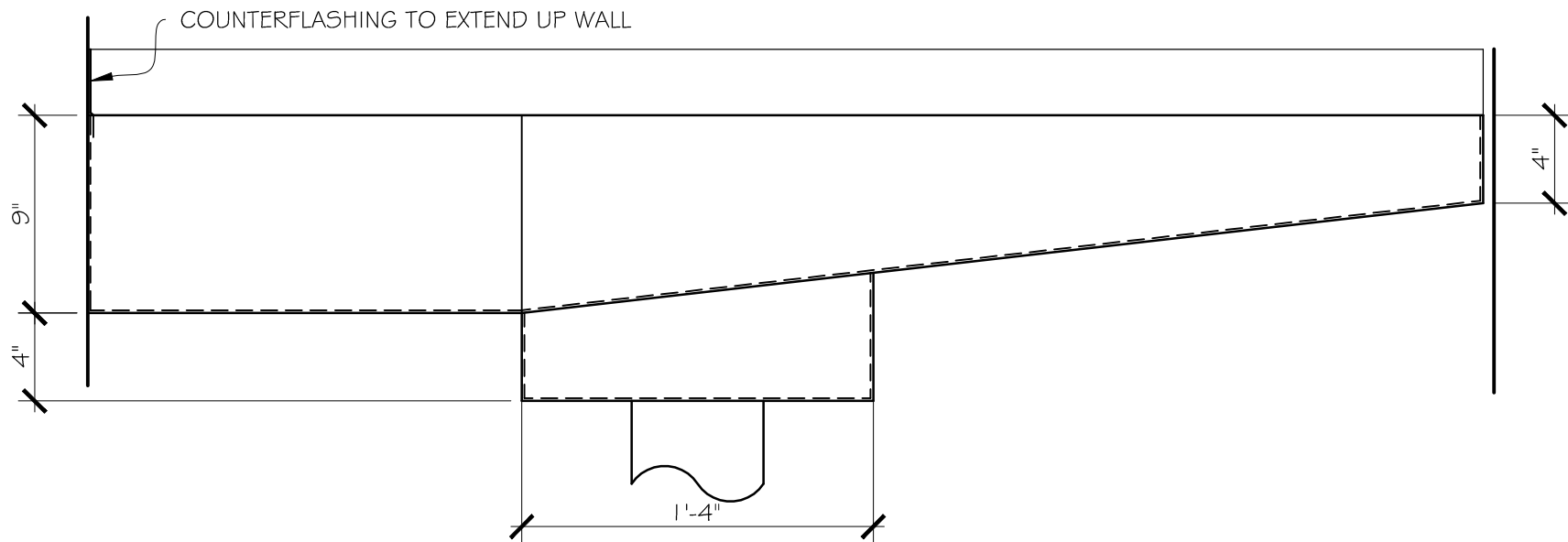
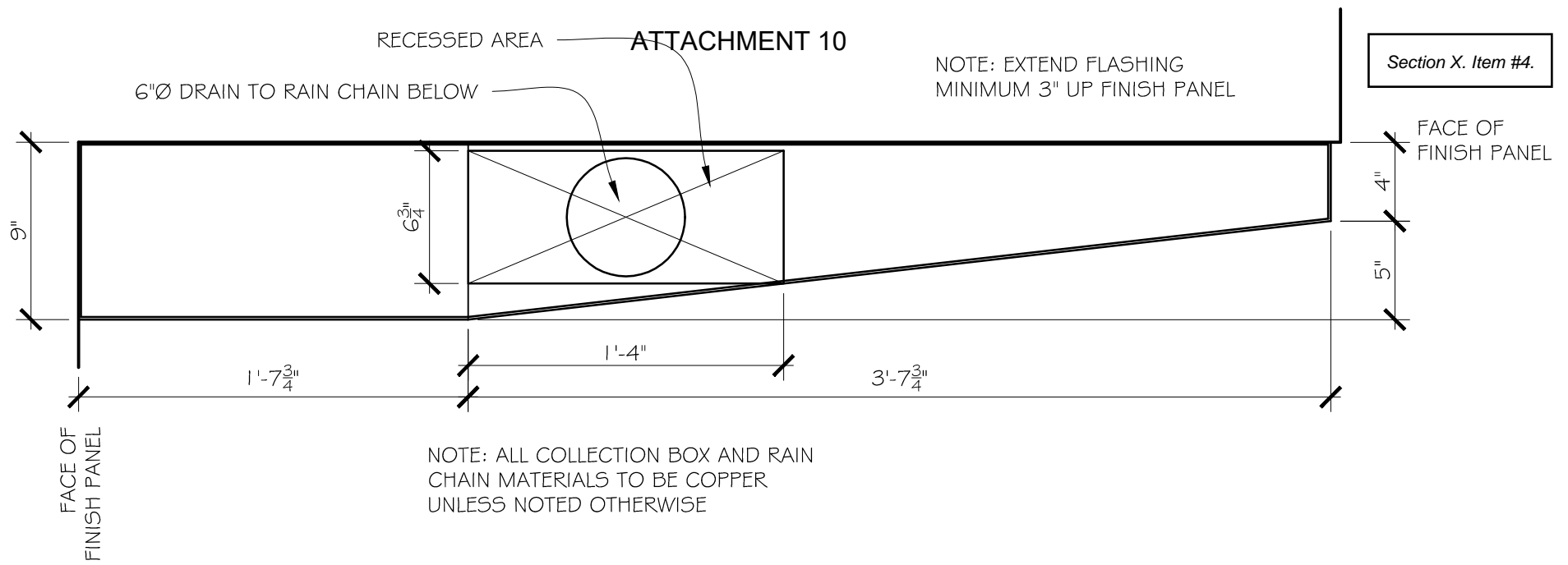
3
A201

SCALE: 1/4" = 1'-0"

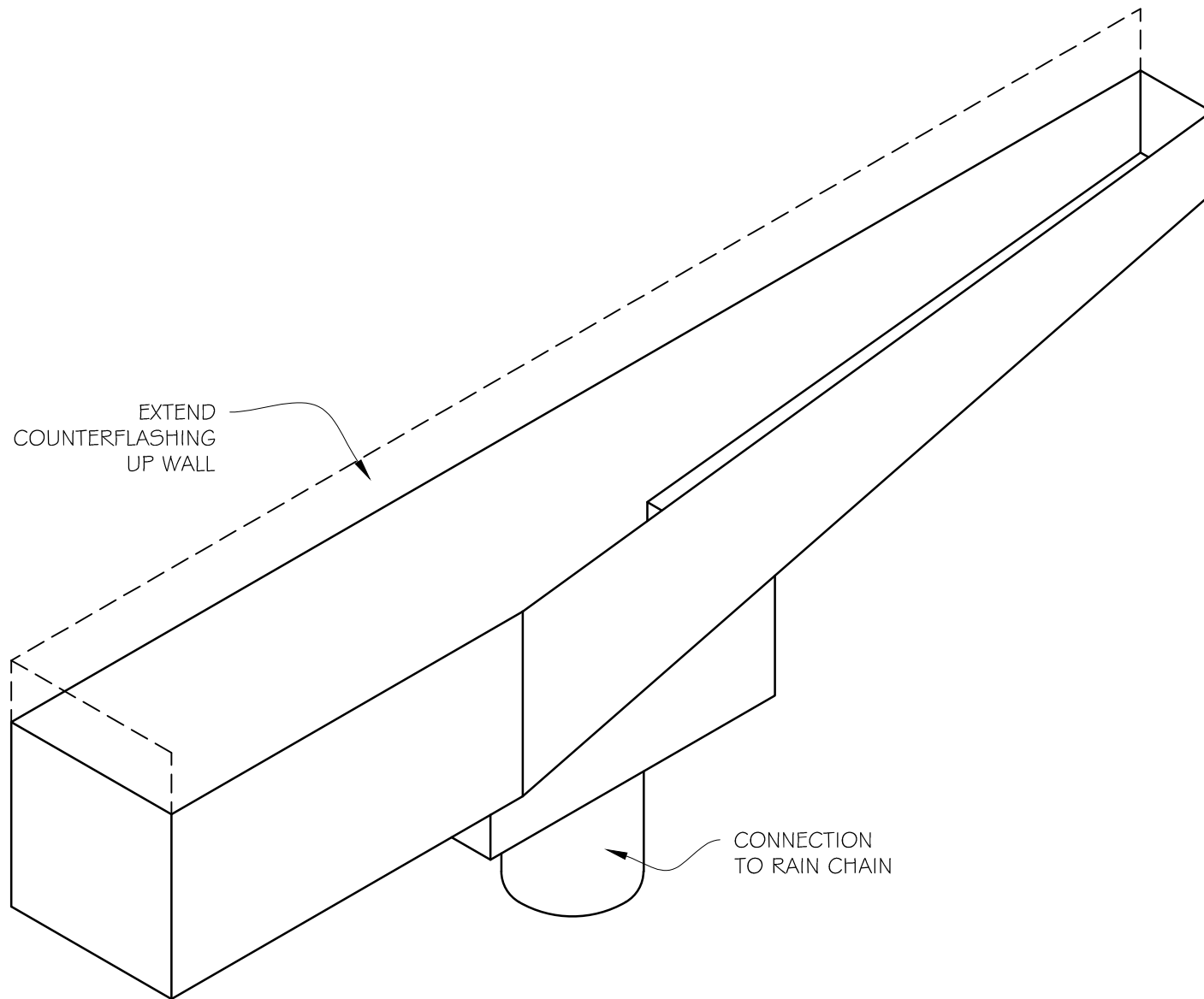
0' 1' 2' 3' 4' 5'

ADJUST SPACING OF
SIDING BOARDS IN FIELD

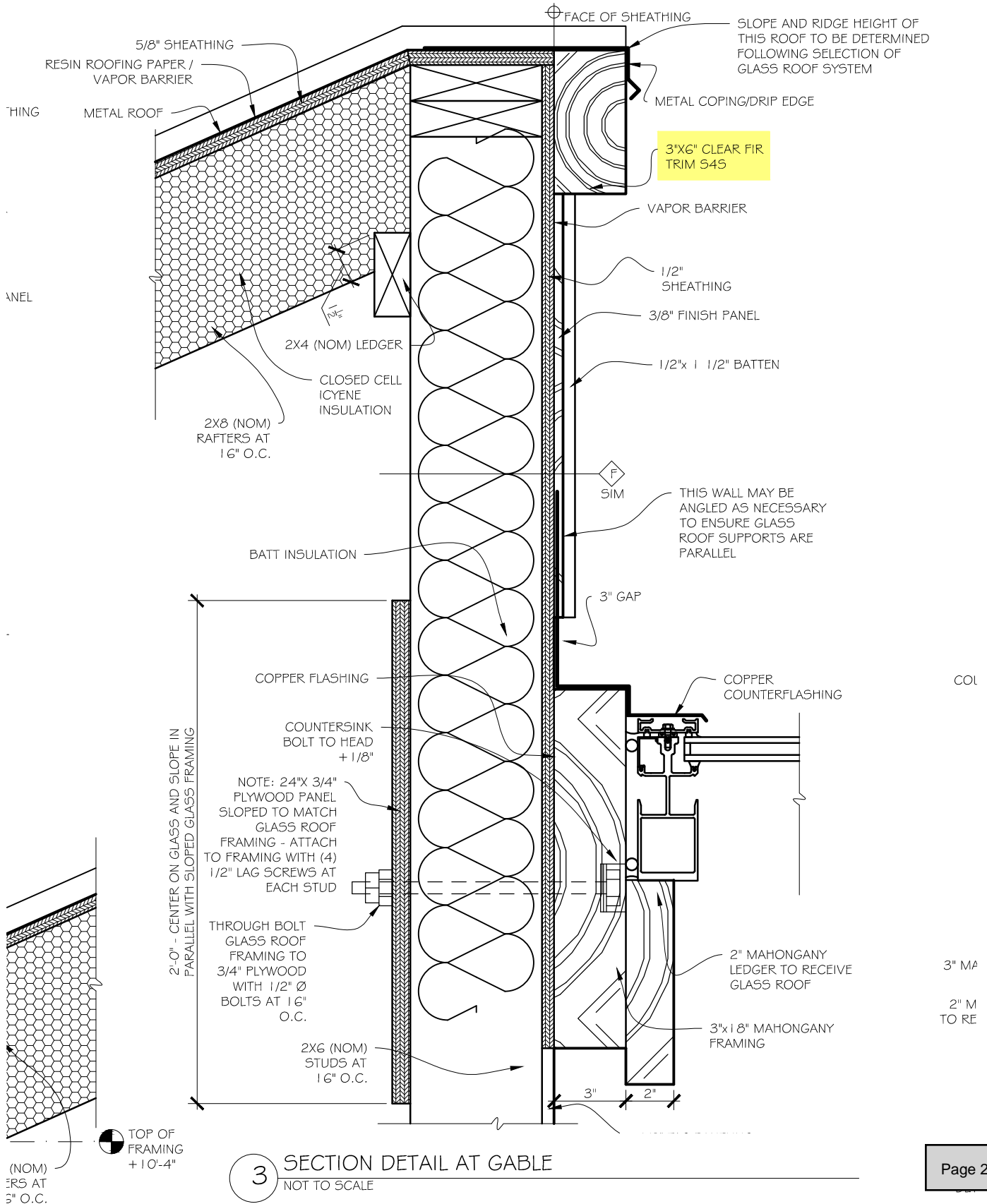
2 REAR (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



COLLECTION BOX PLAN AND ELEVATION

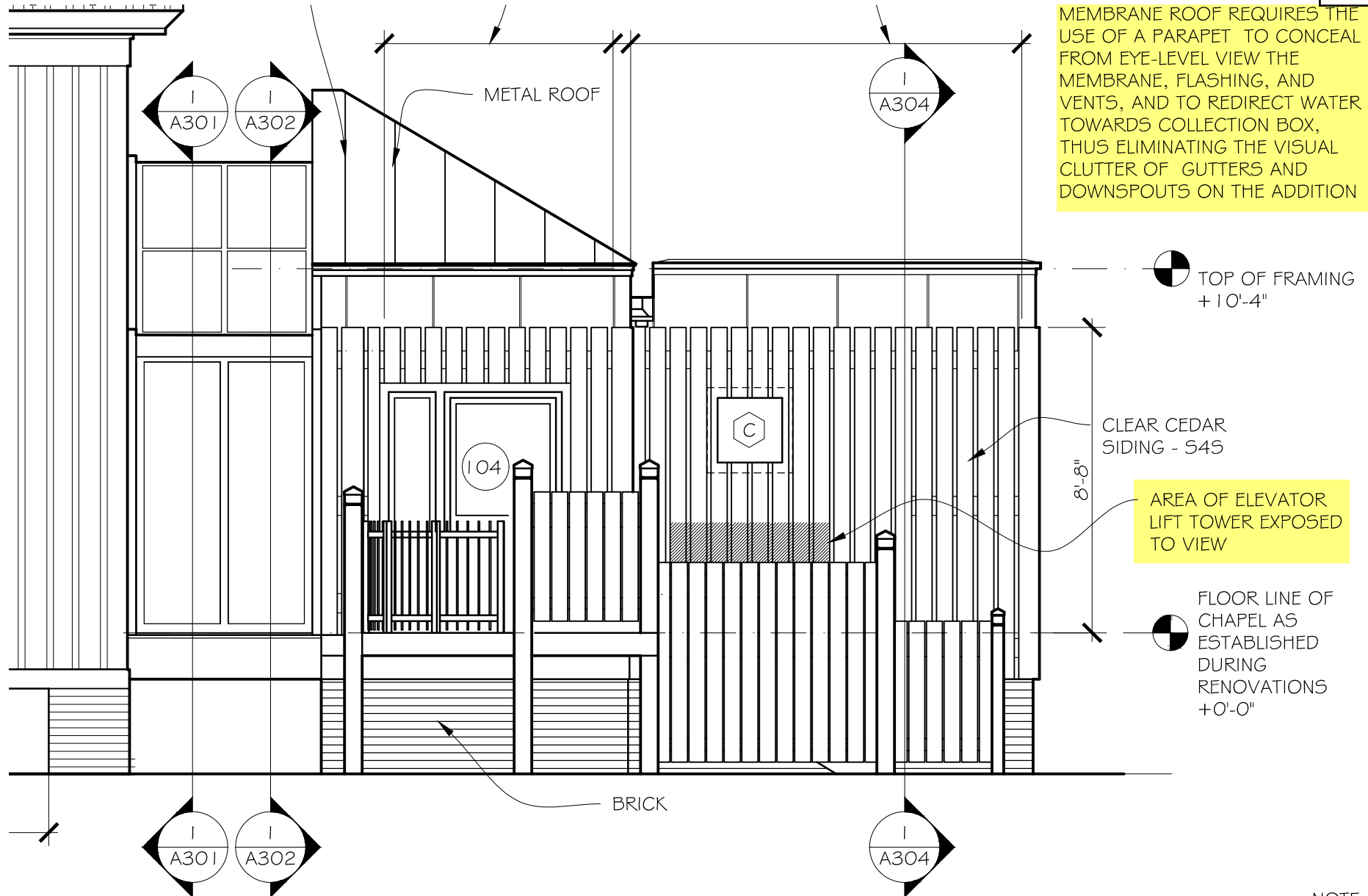


COLLECTION BOX ISOMETRIC

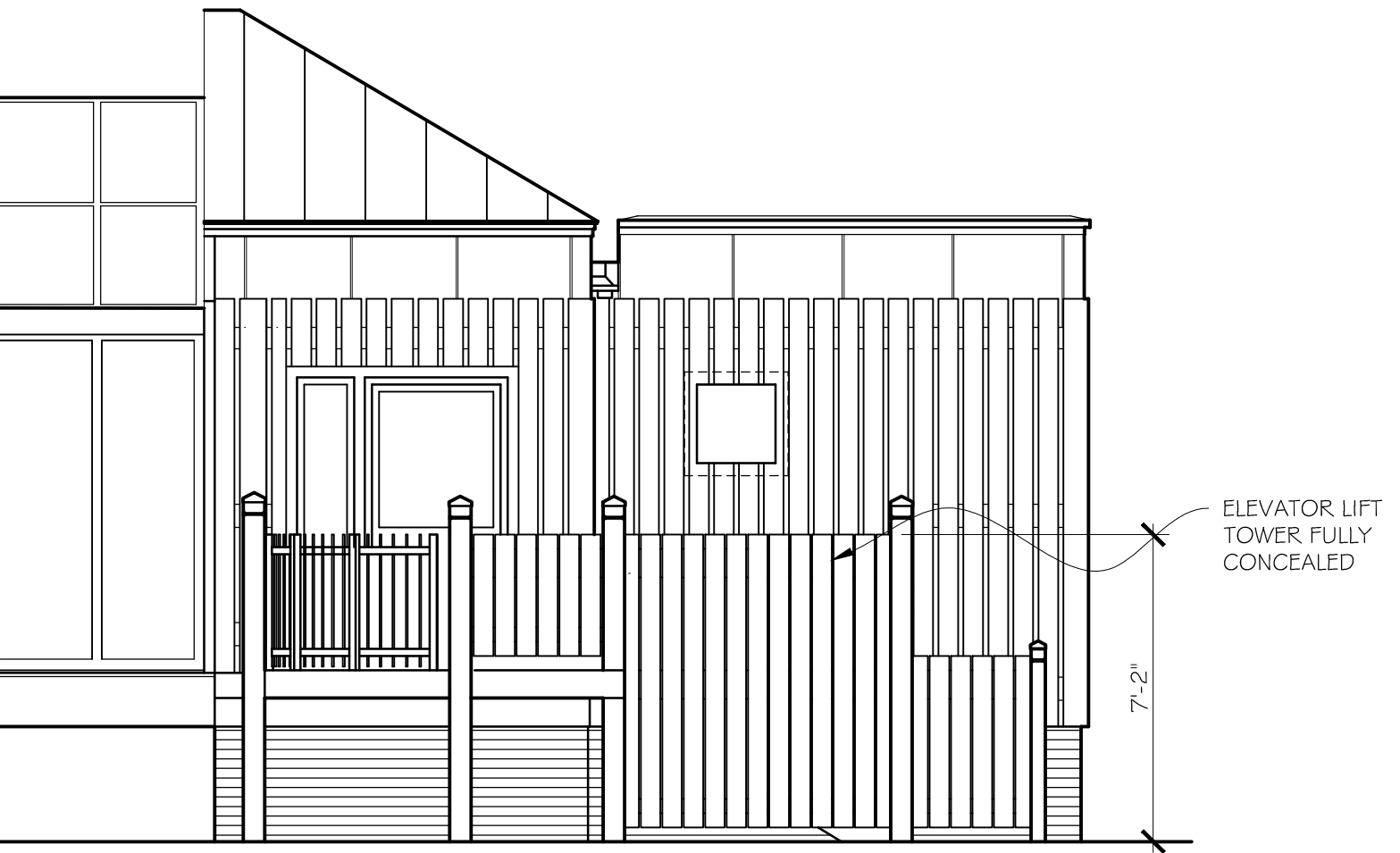


ATTACHMENT 10

Section X. Item #4.



NOTE: SEE RESTORAT
DETAILS REGARDING 1
HISTORIC CHAPEL

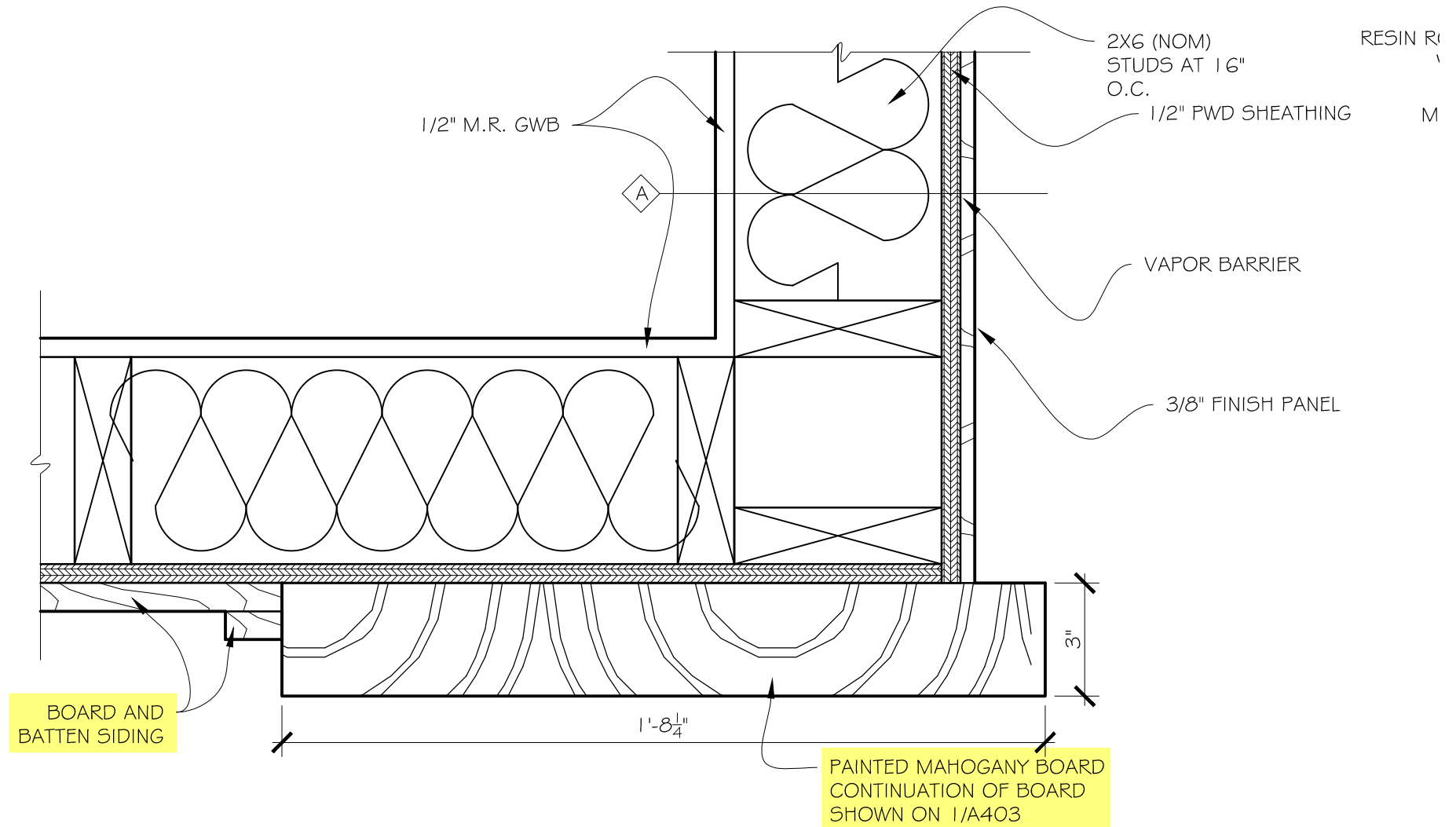


REVISED FENCE DETAIL FROM 2/A202

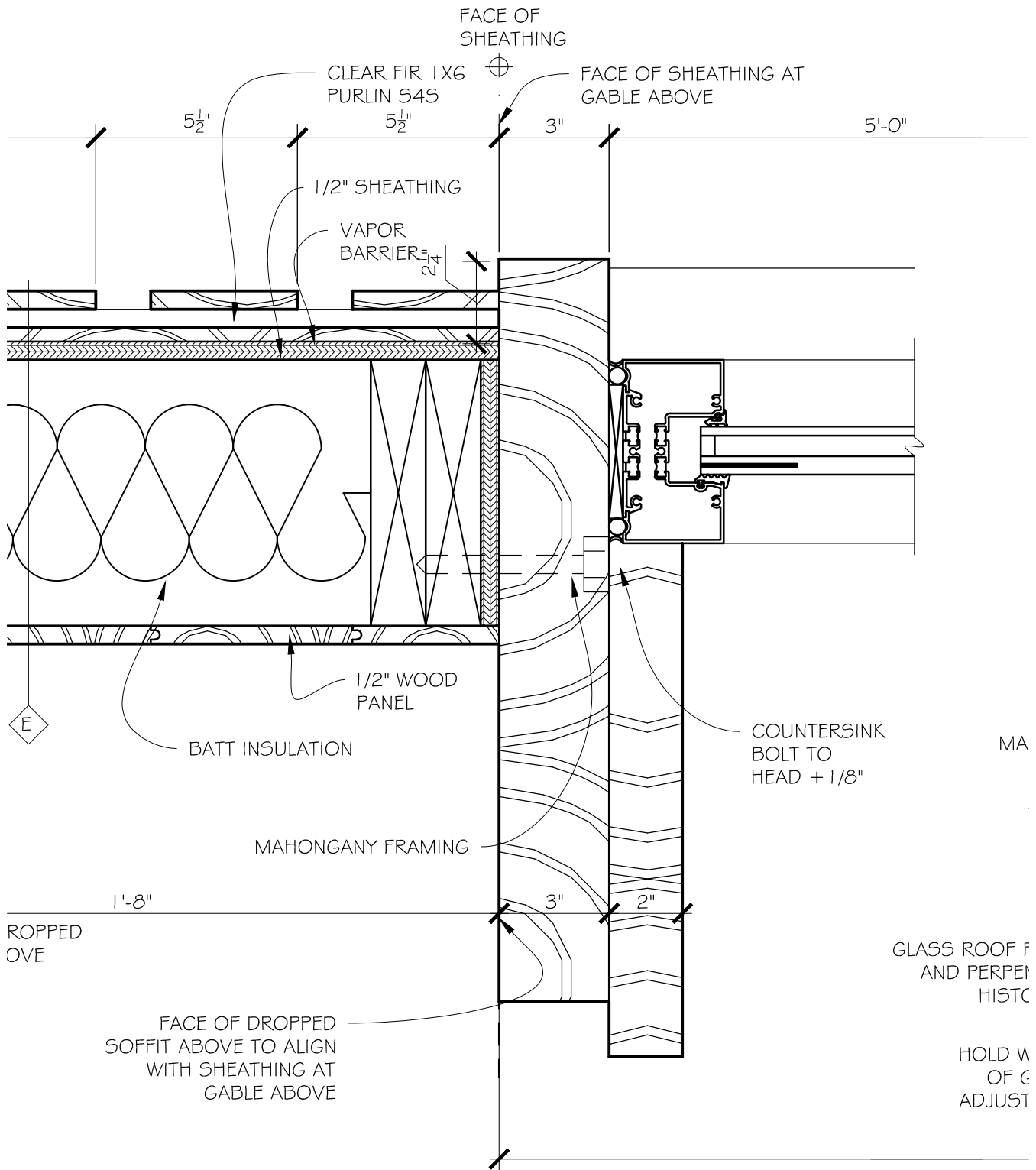
NOT TO SCALE

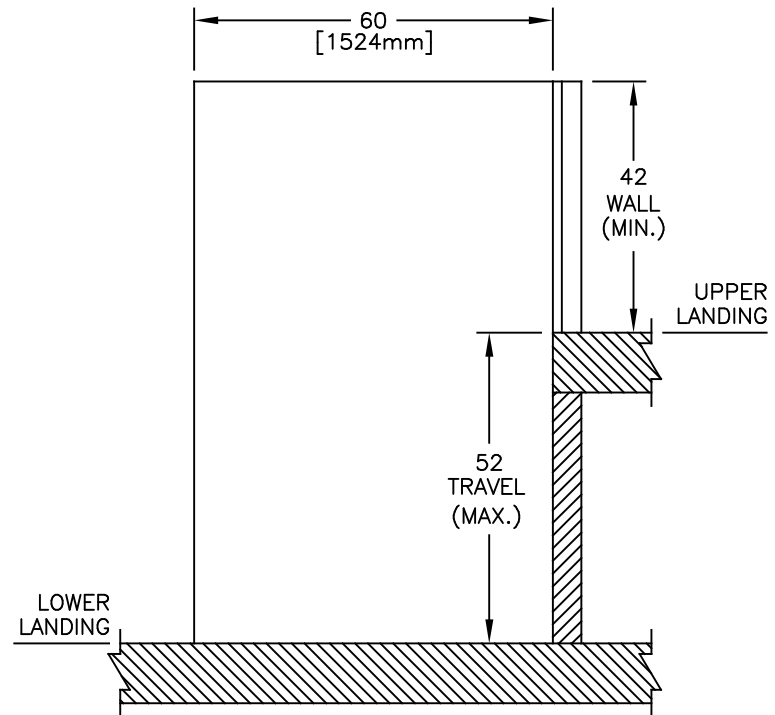
Section X. Item #4.






7 DETAIL AT EXTERIOR OUTSIDE CORNER
NOT TO SCALE





SECTION A-A

JOB No.	TOTAL TRAVEL 52 [1321] INCHES mm	No. OF LANDINGS 2	 FREEDOM Lift Systems <i>by Accessibility Professionals</i>			
LOCATION	SAMPLE DRAWINGS vertical unenclosed lift					
ARCHITECT			DWN. BY: BG	INSTALLATION DETAILS AND SPECIFICATIONS		
			CHECKED BY:			
GENERAL CONTRACTOR			SCALE: N.T.S.	DATE: 10/MAR/14	DRAWING No. 52UCRDUGNCST-750	REV A