Historic Preservation Commission Meeting

Wednesday, August 14, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on BCTV, on Hargray Channel 9 and 113 or on Spectrum Channel 1304

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

1. June 5, 2024 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Southern Coastal Homes, on behalf of the Owners Nathalie and Andrew Hintz, for approval of a Certificate of Appropriateness-HD to allow the Construction of a new 1-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-04-23-017854)(Staff - Katie Peterson)

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, September 4, 2024

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here: https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60*
Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

June 05, 2024

I. CALL TO ORDER

Vice Chairman DePauw called the meeting to order at 6pm.

II. ROLL CALL

PRESENT
Vice Chairman Joe DePauw
Commissioner Carletha Frazier
Commissioner Jim Hess
Commissioner Kerri Schmelter
Commissioner Debbie Wunder

ABSENT
Chairman Evan Goodwin

III. ADOPTION OF MINUTES

1. April 03, 2024 Minutes

   Commissioner Schmelter made the motion to adopt the minutes as written.

   Seconded by Commissioner Hess.
   Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

   All were in favor and the motion passed.

IV. PUBLIC COMMENT

Christine Murphy, 33 Big Oak St, Hilton Head Island - Mrs. Murphy introduced herself to the commission and gave background into why her family would like to move forward with the Tyson(Tison)-Derst Cottage project proposal.

Chris Murphy, 33 Big Oak St, Hilton Head Island - Mr. Murphy explained how much change was done to the original building that is known as the Tyson(Tison)-Derst Cottage. He stated how seriously his family is taking this project.

Robert Jones, 70 Boundary St, Bluffton, Historic Bluffton Foundation - Mr. Jones expressed his full support in the restoration of the Tyson(Tison)-Derst Cottage. He clarified that he supports the restoration, but is opposed to the relocation of the building.

Will Guscio, 56 Calhoun St, Bluffton - Mr. Guscio gave a history of his family time in Bluffton. He stated his support for the proposed plans for the Tyson(Tison)-Derst Cottage.

Babbie Guscio, 73 Bridge St, Bluffton - Ms. Guscio spoke in favor of the project proposed for the Tyson(Tison)-Derst Cottage. She stated the house looks nothing like what it has looked like in the past, and does not see a problem with the relocation of the building.

Cat Donaldson, 14 Palmetto Beach Ln, Bluffton - Ms. Donaldson stated she is the realtor representing the sellers of the property located at 113 Bridge St. She stated that there is nothing historically visible from the outside of the home. Expressed her support for that the applicants have planned for the Tyson(Tison)-Derst Cottage.

Jane Hancock ,123 Bridge St, Bluffton - Ms. Hancock expressed her support of the project that is proposed for the Tyson(Tison)-Derst Cottage. She stated the home looks nothing like what it looked like originally.

V. OLD BUSINESS

VI. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by RFD Construction, on behalf of the owner, Hunter H Hansen and Sue A Hansen, for approval of a Certificate of Appropriateness-HD to allow the construction of a new 1.5-story Single Family Residential Structure of approximately 2,619 SF Carriage House structure of approximately 1,123 SF, located at 28 Stock Farm Road, Lot 33 in the Stock Farm Development, in the Old Town Bluffton Historic District, within the Neighborhood General - HD zoning district. (COFA-03-24-019041)(Staff - Katie Peterson)

   Staff presented. The applicant was in attendance. The commissioners had some questions on the inconsistencies in the renderings versus the elevations that were shown on the plans. The applicant agreed to make the appropriate changes requested in the staff report and to correct the inconsistencies in the plans.

   Commissioner Hess made the motion to approve the Certificate of Appropriateness to allow the construction of a new 1.5-story Single Family Residential Structure of approximately 2,619 SF Carriage House structure of approximately 1,123 SF, located at 28 Stock Farm Road, Lot 33 in the Stock Farm Development, in the Old Town Bluffton Historic District, within the Neighborhood General-HD zoning district (COFA-03-24-019041) with the following conditions:

   Per UDO Section 5.15.5.F.1.c., the first finished floor height must be raised to meet the minimum height requirement of 3’ above average adjacent sidewalk grade.

   Per Section 5.15.5.F.4. of the UDO, the number of windows and the pane proportion variation must be reduced to provide a better proportional relationship with one another.

   Per UDO Section 5.15.6.E.5., the porch shall be raised to have a minimum height of 30” from grade to top of stairs.

   Per UDO Section 5.5.6.P.10., revise the soffit material from T1-11 T&G to a permitted material.

   Per UDO Section 5.15.6.I.2.b., revise all exterior doors to be wood, metal or metal clad.

   Per UDO Section 5.15.6.N.7., revise the drip board and skirt boards to be a minimum of 5/4 stock.

   Clarification on the location of the siding materials, which conflict on the elevations and renderings provided with the submittal package, must be provided to be reviewed at a staff level.

Seconded by Commissioner Schmelter.
Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

2. **Certificate of Appropriateness:** A request by William R. Court of Court Atkins Group on behalf of the owner, William Gary Roe Residential Property Trust, acting on behalf of prospective owners, Chris and Christine Murphy, for approval of a Certificate of Appropriateness-HD to relocate and partially demolish the Contributing Resource known as the Tyson-Derst Cottage, located at 113 Bridge Street, in the Old Town Bluffton Historic District and zoned Riverfront Edge-HD. (COFA-04-24-019080)(Staff - Glen Umberger)

   Staff presented. Applicants were in attendance. Tabor Vaux, spoke on the historic portions of the building not being visible from the exterior and the uniqueness of this project. Richardson LaBruce, the attorney for the Historic Preservation Commission, discussed what it means to be designated a Contributing Resource to the local Historic District and/or on the nationally recognized Historic District. He discussed how the property in question is recognized under both local and national Historic Districts as a Contributing Resource and how it can maintain those statuses. William Court with Court Atkins Group, went through the exhibits he had submitted. The commissioners had questions regarding where they want to relocate the building. There were questions regarding why it cannot be rehabilitated without moving the structure. Commissioners questioned if any studies were done to determine what additions can be made to the original structure. LaBruce spoke on the limitations of what jurisdiction the Commission has. The ability to designate a building as a Contributing Resource is with Town Council and that this structure would still be considered a Contributing Resource, as no application has been submitted to remove that status. Commissioners discussed the issues they saw with the relocation of the structure but would like to see the rehabilitation of the structure. The applicant, commissioners, and staff discussed what routes can be taken with this application in the future.

   Vice Chairman DePauw made the motion to conditionally approve (COFA-4-24-019080) a partial demolition of the Tyson(Tison)-Derst Cottage located at 113 Bridge Street, to the historic footprint, conditioned upon the approval of a proposed Certificate of Appropriateness-HD to include information regarding the specific means and methods, and additional information regarding the historic portions to be retained and deny the request to relocate the Tyson(Tison)-Derst Cottage as the request did not meet the requirements of Section 3.18.3 of the UDO as outline in the Staff report presented.

   Seconded by Commissioner Hess.
   Voting Yea: Vice Chairman DePauw, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder
   Voting Nay: Commissioner Frazier

   The motion passed 4-1.

3. Change July 2024 Meeting Date. (Staff)

   Staff discussed moving the July meeting to the date of July 10th 2024.

Commissioner Hess made a motion to move the meeting date to July 10, 2024.

Seconded by Commissioner Schmelter.
Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

VII. DISCUSSION

1. Historic District Monthly Update. (Staff)

   The Commission did not have any questions about the report presented by staff.

VIII. ADJOURNMENT

Commissioner Schmelter made the motion to adjourn.

Seconded by Commissioner Frazier.
Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed. The meeting adjourned at 8:30pm

HISTORIC PRESERVATION COMMISSION

STAFF REPORT
Department of Growth Management

MEETING DATE:	August 7, 2024
PROJECT:	5783 Yaupon Road Place, Lot 38 – New Construction: Single Family Residential
APPLICANT:	Southern Coastal Homes
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Southern Coastal Homes, on behalf of the Owners Nathalie and Andrew Hintz, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-23-017854.** A Certificate of Appropriateness to allow the Construction of a new 1-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a 1-story single family residential structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF in the Old Town Bluffton Historic District. The proposed primary building is a one-story structure featuring a side facing gable roof, with a full façade first-floor porch under a shed roof, which wraps the right side over an enclosed addition. The structure has a large rear addition under a gable roof and a a shed roofed gable on the front elevation. The structure combines characteristics of several building types, and therefore, is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant has proposed a Carriage House which meets the design standards for a Carriage House Building Type. It features a side gable roof, with shed dormers on the front and rear elevation. Both structures feature horizontal Hardi siding, asphalt architectural shingle roofs and share architectural detailing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 10, 2024 meeting and comments were provided to the Applicant (See Attachment 4).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or

3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

   a. *Finding*. The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

      The Applicant proposes to construct a new residential structure and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

   b. *Finding*. The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

   c. *Finding*. The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structures add to the district as well as help provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

   a. *Finding*. Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General- Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.

   b. *Finding*. Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

      1) Section 5.15.6.N. Corners and Water Tables. Material changes must take place at an interior corner. The porch on the rear elevation changes material at an exterior corner. Revise.
      2) Section 5.15.5.P.10 Cornice, Soffit and Frieze. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. Several of the sections indicate plywood soffit material. Revise to a permitted material.
      3) Section 5.15.5.E.5. Porches. Porches are required to be a minimum of 30" from grade to top of stairs. Porch is labeled as 29 ½ inches MAX. Revise to meet minimum height requirement.
      4) Section 5.15.5.M.1. Shutters. Shutters, when proposed, must fit the opening which they cover, be made of durable wood, be operable and be applied to all windows which can accept them. Revise shutter size to fit the openings which they cover and provide detail showing the material and operational, or remove.
      5) Section 5.15.5.H. Columns, Arches, Piers, Railings, Balustrades. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). Piers shall be placed directly below the columns or posts which they support. the columns on the front porch end bays are 8'8" tall, and are spaced 9'4" apart on center. Revise to be no further apart than they are tall.
      6) Section 5.3.3.C. Tree Conservation During Site Planning. During the site planning for any property, consideration shall be given to the existing tree canopy and every reasonable effort made to maximize the preservation of the existing canopy. While it appears consideration has been given to some of the trees, consider the placement of the structure on the site with relation some of the more sturdy/desirable trees (Live Oaks, magnolias, maples and laurel oaks, etc.) vs. those which tend to decline more quickly adjacent to development (water oaks, etc.).
      7) Section 5.3.3. Replacement of Protected Trees. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing

trees to be saved, including trees located within a required buffer, together with the mature canopy of proposed replacement trees. An exhibit showing the canopy coverage for the site must be provided, as not enough information was provided to complete the review.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

   Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing, with revisions to address the items in section 2 above, will be sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

   Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structures, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

   Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be incomplete. As the property is located within the Stock Farm development, a letter of approval from the Stock Farm ARB is required prior to approval.

   As there are several trees 14 inches in diameter at breast height or greater being proposed for removal, a tree removal permit is required.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

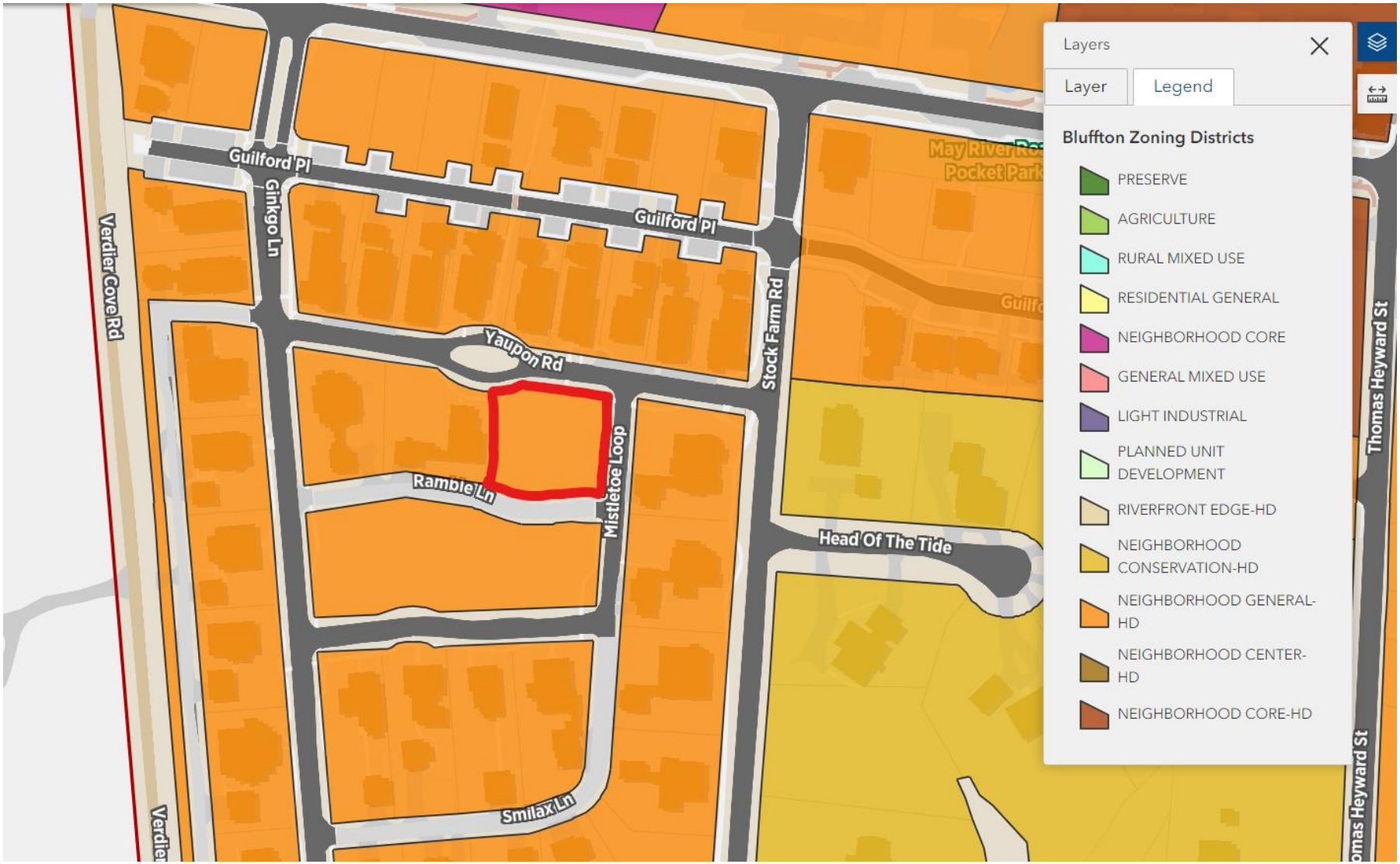
1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per the Applications Manual, approval from the Stock Farm POA is required prior to approval of a Certificate of Appropriateness- HD.

3. Per Section 5.15.6.N., revise the location of the material change at the rear porch to take place at an interior corner.
4. Per Section 5.15.5.P.10., revise plywood soffit material to a permitted material.
5. Per Section 5.15.5.E.5., revise porch height to meet minimum height requirement.
6. Per Section 5.15.5.M.1., revise shutter size to fit the openings which they cover and provide detail showing the material and operational hardware or remove.
7. Per Section 5.15.5.H., revise the columns on the front porch end bays to be no further apart than they are tall.
8. Per Section 5.3.3.C., provide additional information on the health of the more sturdy/desirable trees (Live Oaks, magnolias, maples and laurel oaks, etc.) vs. those which tend to decline more quickly adjacent to development (water oaks, etc.) to determine if the house should be shifted within the site.
9. Per Section 5.3.3. provide exhibit showing the canopy coverage calculations for the site as not enough information was provided to complete the review.

ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative
3. Site Plan & Elevations and Landscape Plans
4. HPRC Report

ATTACHMENT 1: Location and Zoning Map



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant	Property Owner
Name: Southern Coastal Homes	Name: Nathalie and Andrew Hintz
Phone: 843-815-0100	Phone: 703-431-1530 / 703-485-7806
Mailing Address: 19 Pritchard St, Bluffton, SC 29910	Mailing Address: 7400 LanhamRd, Falls Church, VA 22043
E-mail: Bailye@southerncoastalhomes.com	E-mail: ubud01@yahoo.com
Town Business License # (if applicable): 02-24-052838	

Project Information (tax map info available at http://www.townofbluffton.us/map/)

Project Name: Hintz Project	Conceptual: ☐	Final: ☑	Amendment: ☐
Project Address: 5783 Yaupon Rd	Application for:		
Zoning District: HD	☑ New Construction		
Acreage: .39	☐ Renovation/Rehabilitation/Addition		
Tax Map Number(s): R61003900015150000	☐ Relocation		
Project Description: New Residential Build			

Minimum Requirements for Submittal

- ☑ 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.
- ☑ 2. Digital files drawn to scale of the Site Plan(s).
- ☑ 3. Digital files of the Architectural Plan(s).
- ☑ 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.
- ☑ 5. All information required on the attached Application Checklist.
- ☑ 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.

Note: **A Pre-Application Meeting is required prior to Application submittal.**

Disclaimer: **The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.**

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.

Property Owner Signature: [signature] Date: 7/8/2024

Applicant Signature: [signature] Date: 7/8/24

For Office Use

Application Number:	*Date Received:*
Received By:	*Date Approved:*

ATTACHMENT 2

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and as sure expeditious application review.

Step 1. Pre-Application Meeting	**Applicant & Staff**
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	**Applicant & Staff**
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an **mandatory** Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	**Staff**
If the UDO Administrator or desginee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	**Applicant, Staff & Historic Preservation Review Committee**
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	**Applicant & Staff**
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	**Applicant, Staff & Historic Preservation Commission**
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	**Staff**
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	

ATTACHMENT 2
TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			**CONCEPTUAL REVIEW** ☐	**FINAL REVIEW** ☑
2. SITE DATA				
Identification of Proposed Building Type (as defined in Article 5): Vernacular House with detached carriage house				
Building Setbacks	Front: 19' 2"	Rear:	Rt. Side: 10	Lt. Side:

3. BUILDING DATA

Building	**Description** (Main House, Garage, Carriage House, etc.)	**Existing Square Footage**	**Proposed Square Footage**
Main Structure	Main House	0	1818 SF
Ancillary	Carriage House	0	1164 SF
Ancillary	Porches of Main House	0	563 SF

4. SITE COVERAGE

Impervious Coverage	**Coverage (SF)**
Building Footprint(s)	3118 SF
Impervious Drive, Walks & Paths	1965 SF
Open/Covered Patios	included in house footprint SF
A. TOTAL IMPERVIOUS COVERAGE	5083 SF
B. TOTAL SF OF LOT	16828 SF
% COVERAGE OF LOT (A/B= %)	30%

5. BUILDING MATERIALS

Building Element	**Materials, Dimensions, and Operation**	**Building Element**	**Materials, Dimensions, and Operation**
Foundation	Tabby	Columns	Wood
Walls	Wood	Windows	Vinyl
Roof	Asphalt	Doors	Wood
Chimney	Tabby with brick cap	Shutters	Wood
Trim	Hardi	Skirting/Underpinning	N/A
Water table	N/A	Cornice, Soffit, Frieze	Hardi
Corner board	Hardi	Gutters	N/A
Railings	Wood	Garage Doors	Steel
Balusters	Wood	Green/Recycled Materials	N/A
Handrails	Wood		

ATTACHMENT 2
TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
☐	☑	**COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:** A competed and signed application providing general project and contact information.
☐	☑	**PROPERTY OWNER CONSENT:** If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
☐	☑	**PROJECT NARRATIVE:** A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
☐	☑	**DEED COVENANTS/RESTRICTIONS:** A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
☐	☑	**ADDITIONAL APPROVALS:** A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	**Final**	**SITE ASSESSMENT.**
☐	☑	**LOCATION MAP:** Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
☐	☑	**PROPERTY SURVEY:** Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
☐	☑	**SITE PLAN:** Showing layout and design indicating, but not limited to: • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.

TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Concept	Final	
☐	☑	**PHOTOS:** Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	**Final**	**ARCHITECTURAL INFORMATION.**
☐	☑	**CONCEPTUAL ARCHITECTURAL SKETCHES:** Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
☐	☑	**FLOOR/ROOF PLANS:** Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
☐	☑	**ELEVATIONS:** Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
☐	☑	**ARCHITECTURAL DETAILS:** Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
☐	☑	**MANUFACTURER'S CUT SHEET/SPECIFICATIONS:** Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	**Final**	**LANDSCAPE INFORMATION.**
☐	☑	**TREE REMOVAL PLAN:** A site plan indicating location, species, and caliper of existing trees and trees to be removed.
☐	☑	**LANDSCAPE PLAN:** Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	**Final**	**ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).**
☐	☑	**FINAL DEVELOPMENT PLAN APPLICATION:** A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent — Date: 07/08/2024

NATHALIE K. HINTZ ANDREW T. HINTZ
Printed Name of Property Owner or Authorized Agent

Signature of Applicant — Date: 7/8/24

Scott Middleton
Printed Name of Applicant

SOUTHERN
Coastal Homes

Project Narrative

Hintz Residence
Stock Farm
5783 Yaupon Rd | Lot 38

Southern Coastal Homes would like to build a 2,381 square foot home with a detached garage/carriage house for Nathalie and Andrew Hintz. The home will be located at 5783 Yaupon Rd (Lot 38) in Stock Farm.

The Hintz Residence is a traditional Lowcountry house designed by Allison Ramsey Architects. . The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.

The heated area of the 1st floor of the main home is 1818 sq. ft. with a 134 sq. ft. screened porch and 429 sq. ft. covered porch. The garage has a lowed non heated area of 630 sq. ft. and includes an upper heated area of 535 sq. ft.

The entire home site will be fully landscaped with native and regionally appropriate plant species.

Hintz Residence

5783 Yaupon Rd | Lot 38

SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH

DRAWING NUMBER
= SECTION OR ELEVATION
SHEET NUMBER

ROOM TITLE
KITCHEN
10' CLG. WOOD
CEILING HEIGHT
FLOOR FINISH

DRAWING TITLE
DETAIL OR ELEVATION NUMBER

14.00' = ELEVATION ABOVE SEA LEVEL
= REVISION NUMBER
= REVISION CLOUD
= PLAN REFERENCE NORTH
REF. 88

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
WP	WATER PROOF OUTLET
GF	GROUND FAULT OUTLET
	QUADRUPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
T	THERMOSTAT
TV	TELEVISION JACK
V	VENT
V/L	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
S	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR

CONCEPTUAL RENDERING

DRAWING INDEX

GENERAL INFO.

HOUSE AREA CALCULATIONS

FIRST FLOOR HEATED = 1818 S.F.
SCREENED PORCH = 134 S.F.
COVERED PORCH = 429 S.F.

GARAGE AREA CALCULATIONS

GARAGE = 630 S.F.
HEATED SECOND FLOOR = 534 S.F.

HINTZ RESIDENCE

LOT 38, STOCK FARM SUBDIVISION, BLUFFTON, SOUTH CAROLINA

HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BLUFFTON, SOUTH CAROLINA

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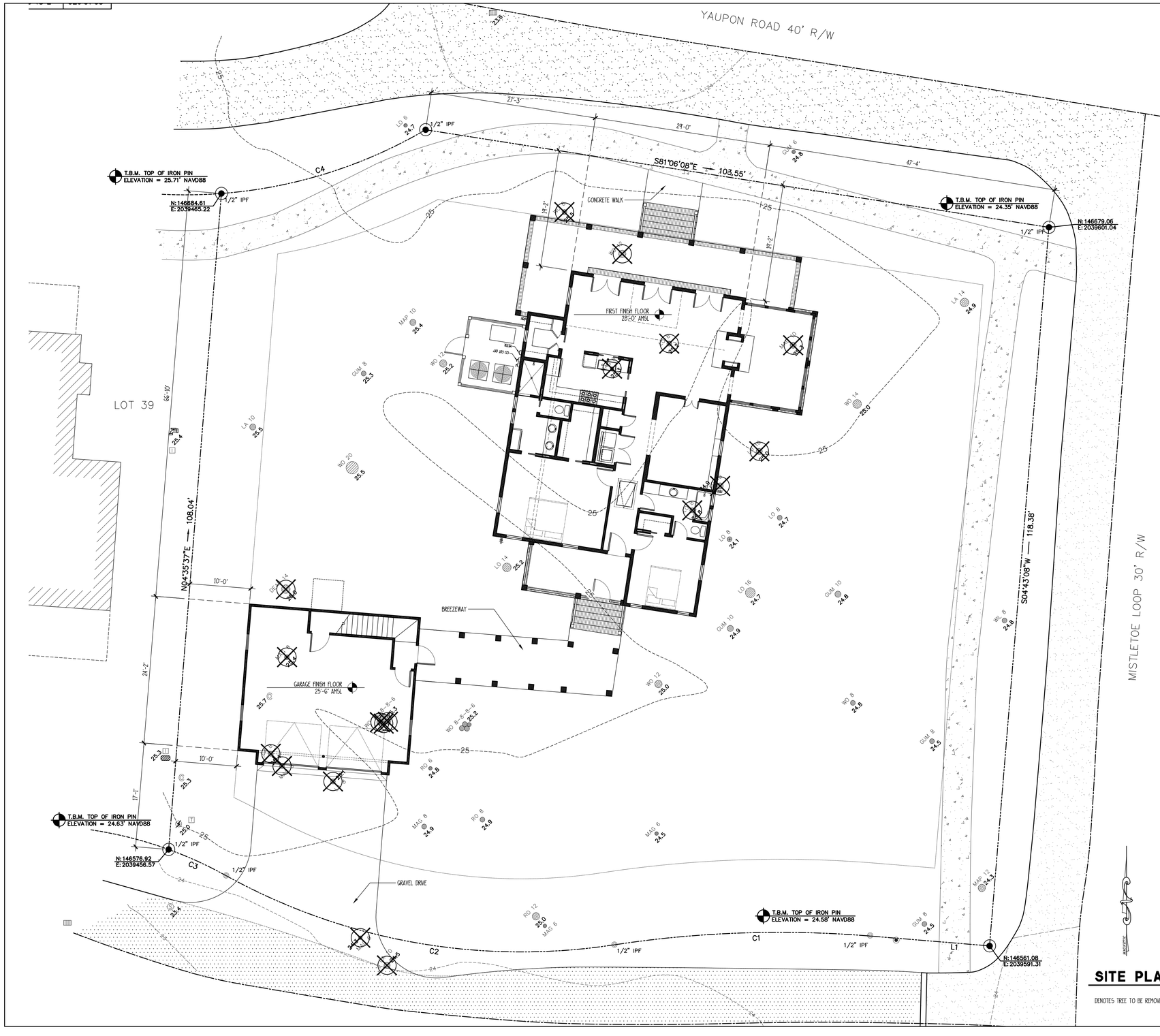
Beaufort SC, 29902
(843) 986-0559
www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.

-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-VERIFY COMPLIANCE WITH ALL LOCAL CODES
-PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
-HVAC + PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE:	7/4/2024
JOB NO.	23374
DWN. BY:	JW
DWG. NAME:	23374.DWG

0



REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

24.5	SPOT ELEVATION
25	CONTOUR
1/2" IPF ◎	1/2" IRON PIN FOUND FOUND
TBM	TEMPORARY BENCH MARK
FFE	FINISHED FLOOR ELEVATION
LO	LIVE OAK
LA	LAUREL OAK
MAG	MAGNOLIA
RO	RED OAK
WIL	WILLOW
WO	WATER OAK
MAP	MAPLE
GUM	GUM
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	WATER METER
	IRRIGATION CONTROL VALVE
	SANITARY MANHOLE
	PIPELINE MARKER
	CATCH BASIN
	CLEANOUT
	WELL PUMP

REFERENCE PLAT

1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000, & TMS R610 039 000 0291 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
DRAWN: 4/30/08
RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08
ROD. BEAUFORT COUNTY, SC
BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 Sq. Ft.
ADDRESS: 5783 YAUPON ROAD

DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X
BASE FLOOD ELEVATION = N/A
COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021

NOTES:
1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
5) VERTICAL DATUM IS NAVD88.
6) CONTOUR INTERVAL IS 1'
7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
8) BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

REFERENCE PLAT:	BOUNDARY, TREE AND TOPOGRAPHICAL SURVEY LOT 38, STOCK FARM SUBDIVISION BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR:	ANDREW + NATHALIE HINTZ
PREPARED BY:	SEA ISLAND LAND SURVEY, INC. 10 OAK PARK DRIVE, UNIT C1 HILTON HEAD ISLAND, SOUTH CAROLINA
PREPARED ON:	8/22/2023 AS JOB # 23164

SITE PLAN

DENOTES TREE TO BE REMOVED

*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION

*NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION

*NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER

SCALE: 1/8" = 1'-0"

HINTZ RESIDENCE

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BLUFFTON, SOUTH CAROLINA

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-THAT ALL DIMENSIONS PRIOR TO PROCEEDING ANY CONSTRUCTION
-VERIFY COMPLIANCE WITH ALL LOCAL CODES
-PLANS INDICATE LOCATIONS ONLY; FOUNDATIONS ASPECTS SHOULD INCORPORATE ALL SOIL & ENGINEERING REPORTS
-HVAC & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE DESIGNED FROM A LOCAL PROS. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
-ELECTRICAL LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE DESIGNED FROM A LOCAL PROS. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
-VERIFY ALL STRUCTURAL ELEMENTS MEET LOCAL CONSTRUCTION AND CODE REQUIREMENTS.

DATE:	7/4/2024
JOB NO.	23374
DWN. BY:	JW
DWG. NAME:	23374.DWG

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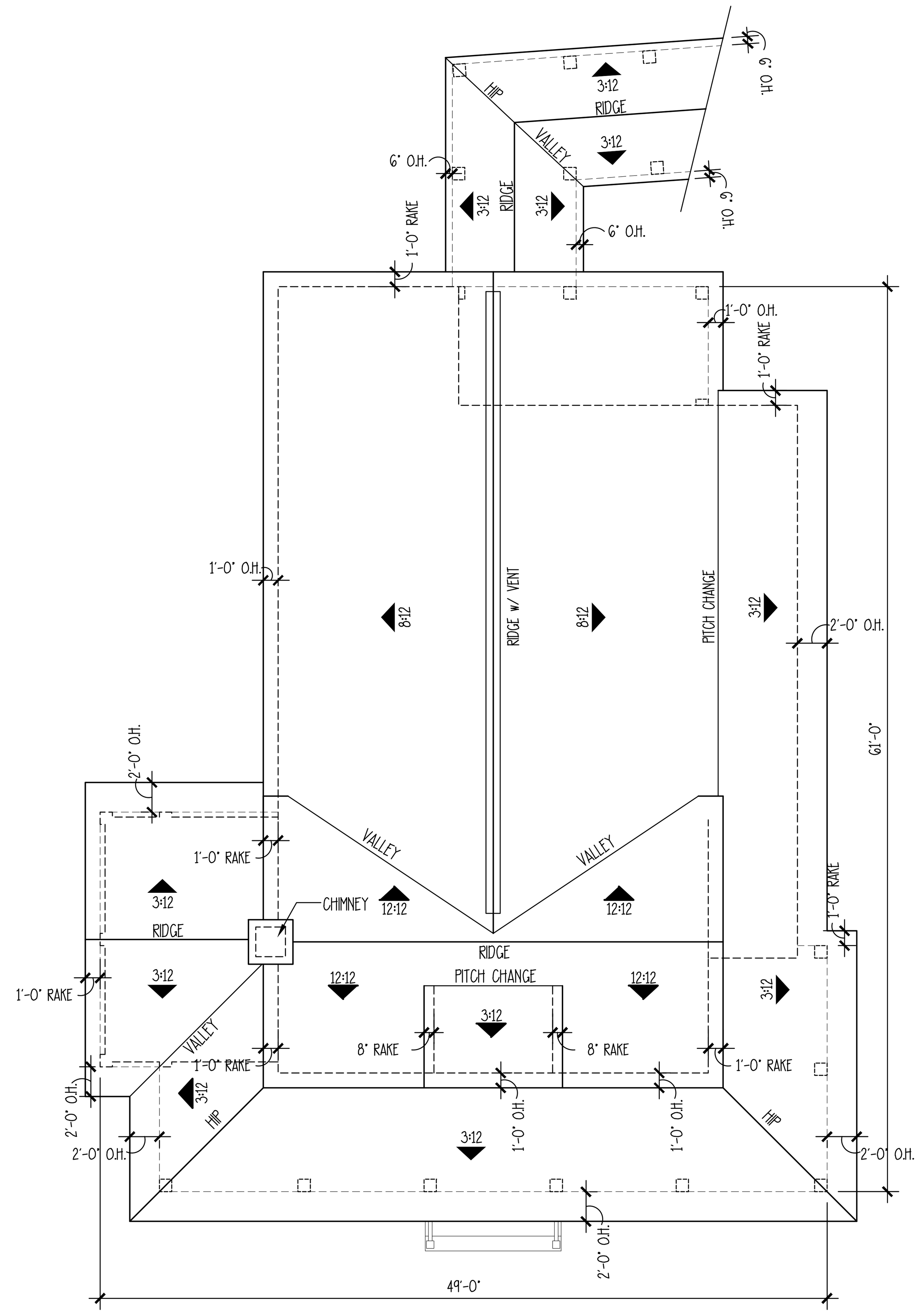
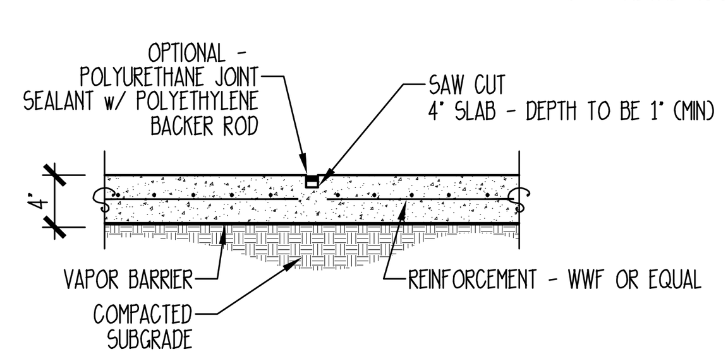


ROOF PLAN

SCALE: 1/8" = 1'-0"

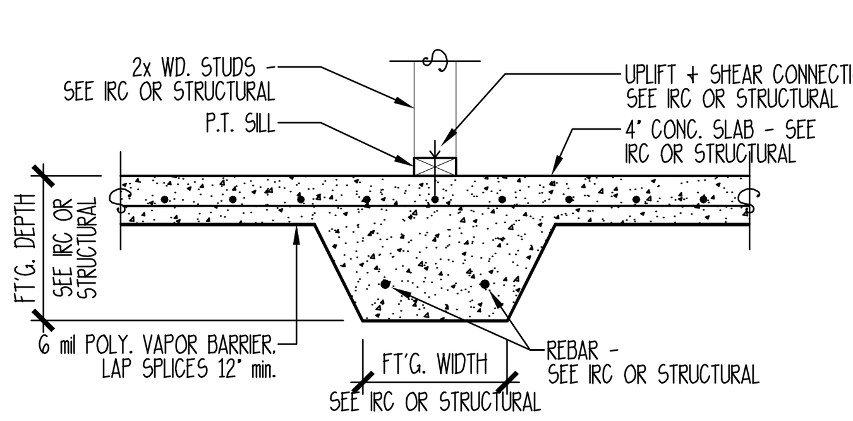
*NOTE:

1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE, + REAR OR SIDES OF HOUSE AS POSSIBLE.
2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM. (COMBINED WHEN POSSIBLE).
3. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT



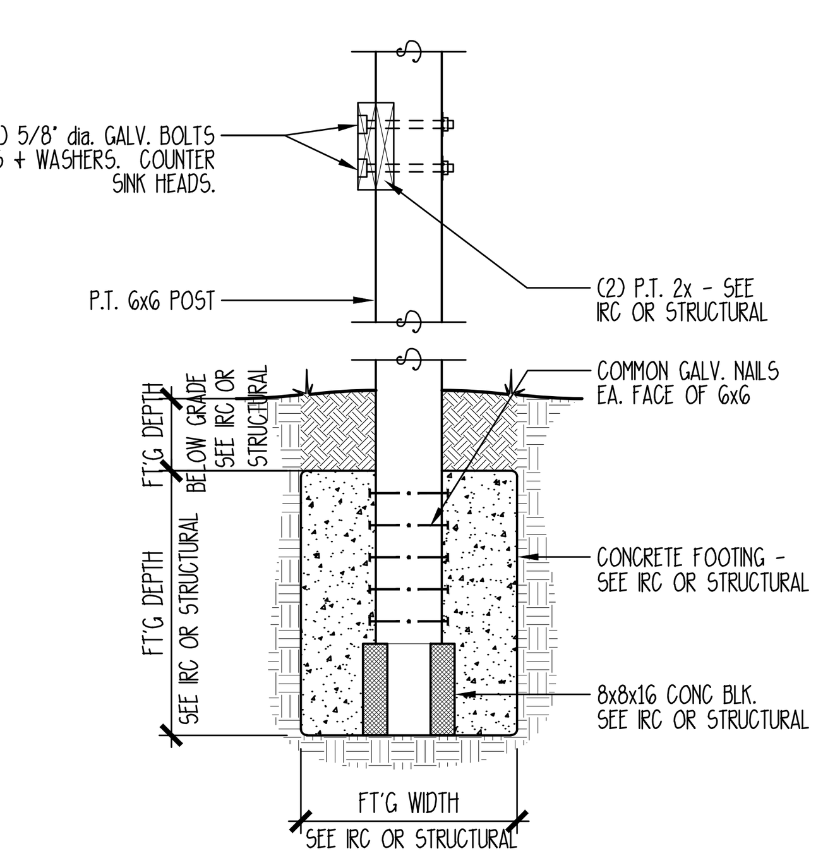
3 CONTROL JOINT DETAIL

SCALE: 3/4" = 1'-0"



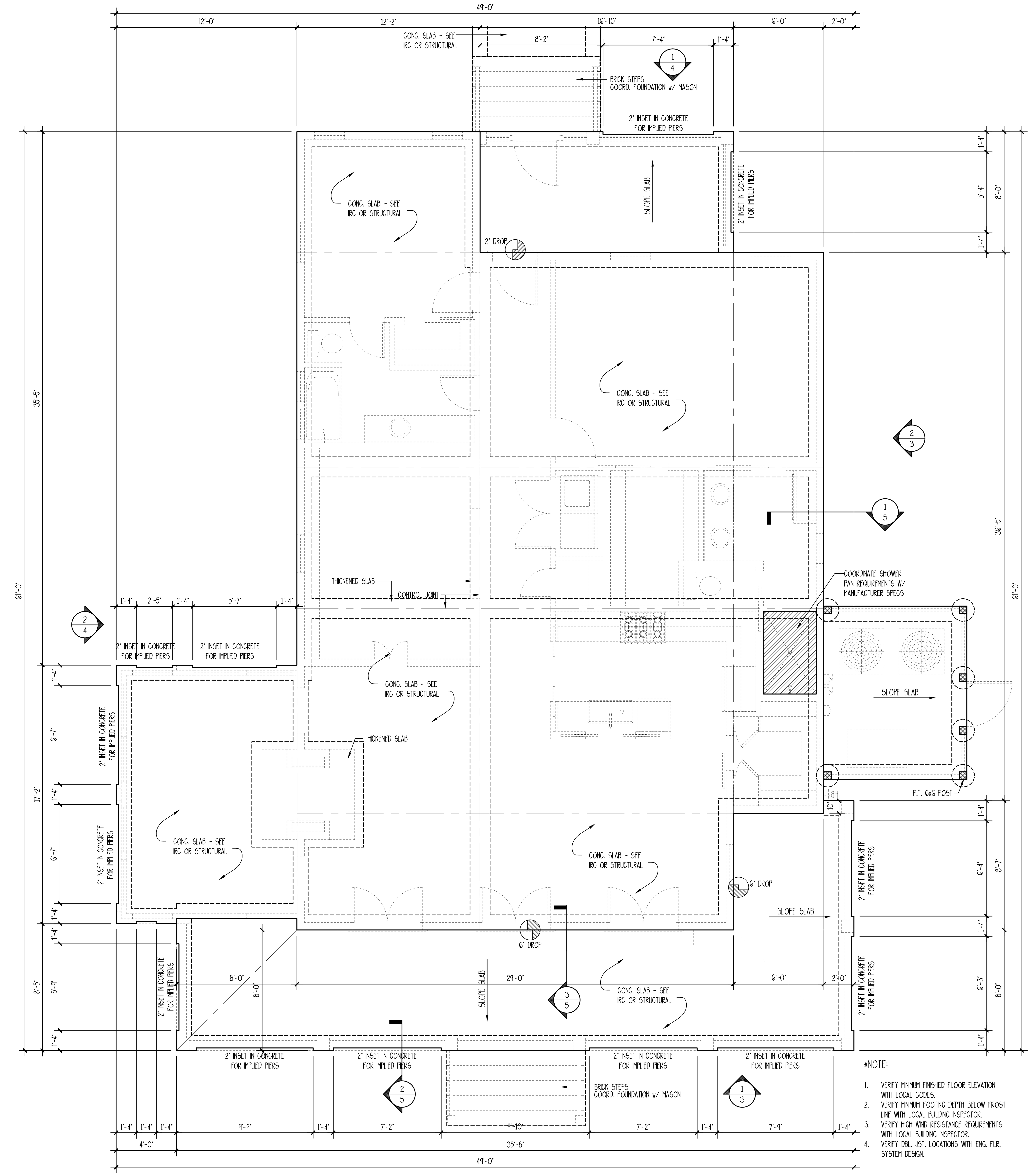
2 THICKENED SLAB DETAIL

NOT TO SCALE



1 6x6 POST DETAIL

SCALE: 3/4" = 1'-0"



*NOTE:

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. VERIFY DBL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

HINTZ RESIDENCE

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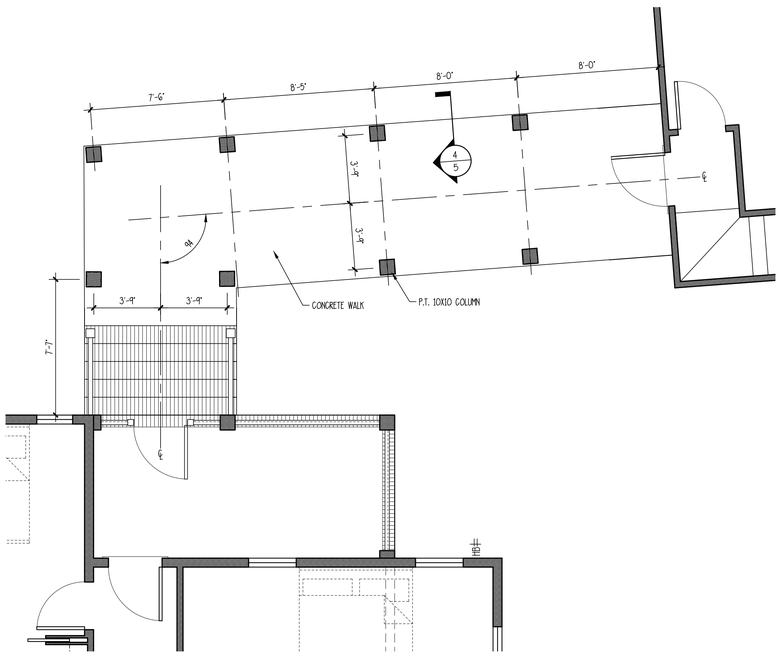
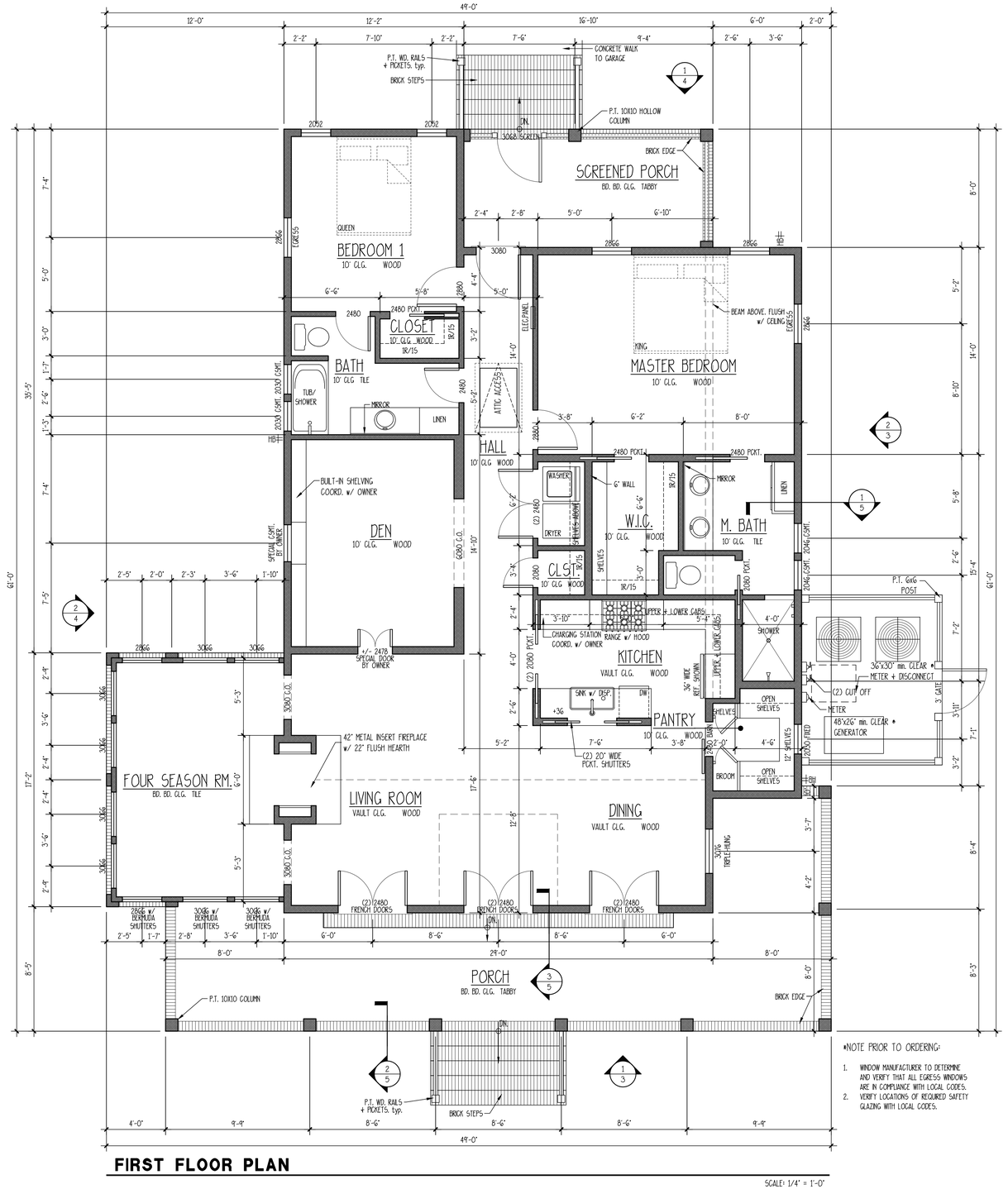
1



BREEZEWAY PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

*NOTE PRIOR TO ORDERING:

1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

HINTZ RESIDENCE

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- VERIFY COMPLIANCE WITH ALL LOCAL CODES
- PLANS INDICATE LOCATIONS ONLY, PLUMBING SUPPLIES SHOULD INCORPORATE ELECTRICAL REQUIREMENTS.
- FINAL 4 PLUMBING LOCATIONS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL PITCH CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ALL DISCREPANCIES WITH PLANS TO ARCHITECT FOR CLARIFICATION AND/OR REVISION.

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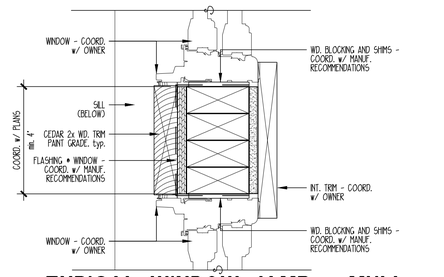
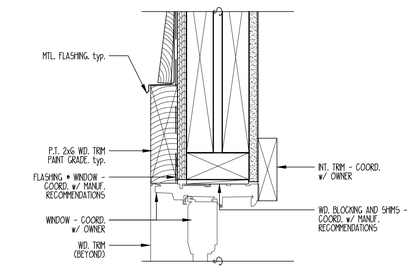
2



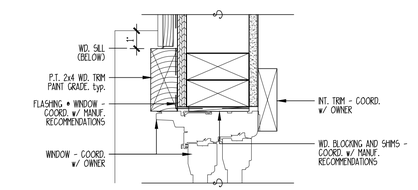
6 TYPICAL WINDOW JAMB @ MULL

SCALE: 3" = 1'-0"



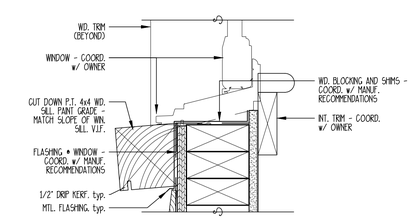
5 TYPICAL WINDOW & DOOR HEAD

SCALE: 3" = 1'-0"



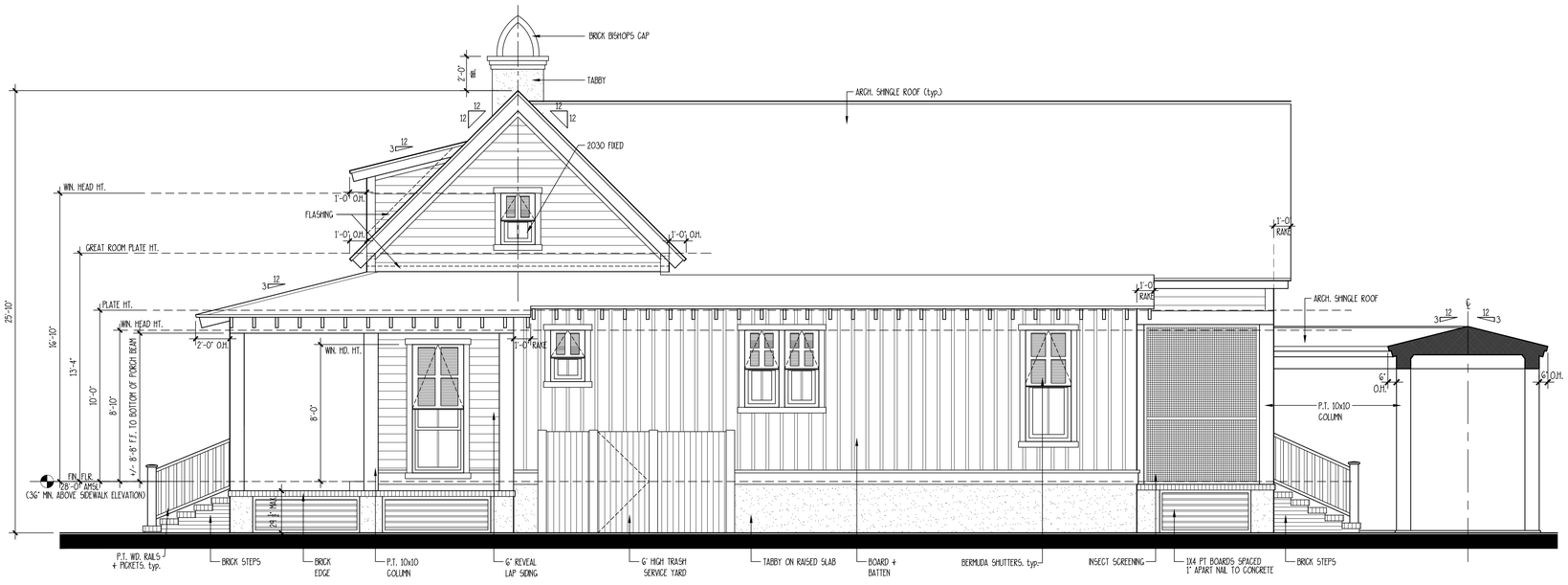
4 TYPICAL WINDOW & DOOR JAMB

SCALE: 3" = 1'-0"



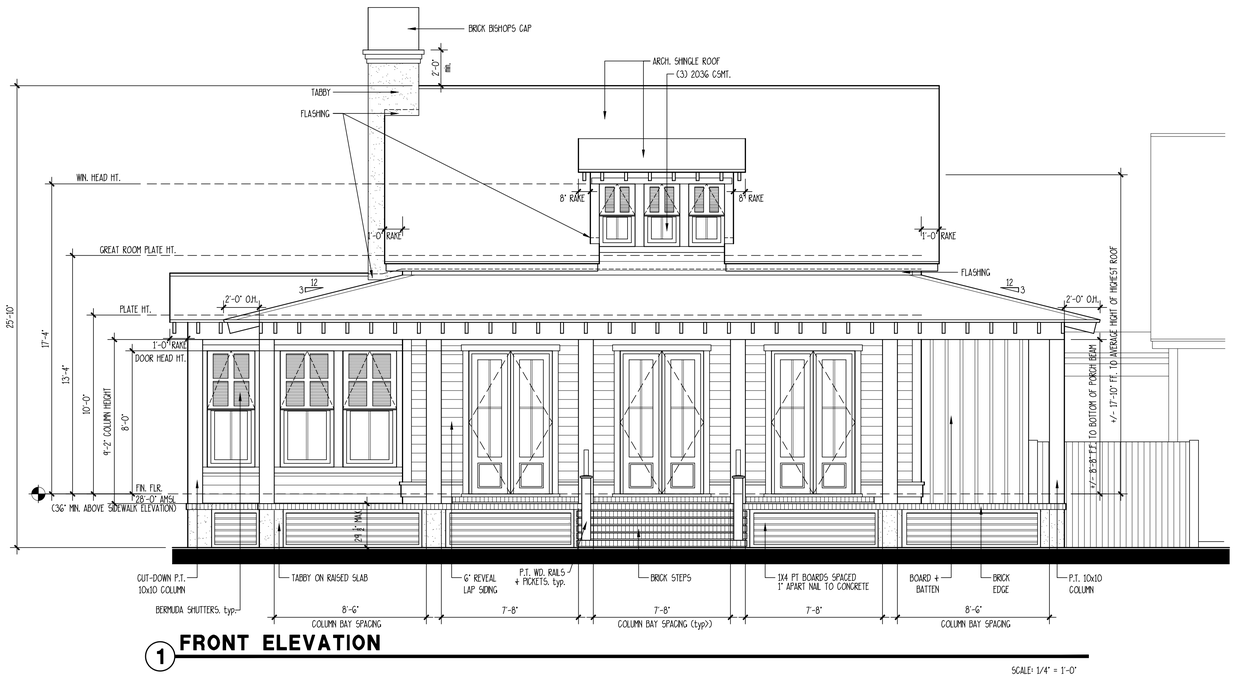
3 TYPICAL WINDOW SILL

SCALE: 3" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

HINTZ RESIDENCE

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- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- VERIFY COMPLIANCE WITH ALL LOCAL CODES
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD ACCOMPANY PLANS.
- STRUCT. & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
- ALLISON RAMSEY ARCHITECT IS NOT LICENSED TO PRACTICE ENGINEERING AND CANNOT PROVIDE ENGINEERED DESIGNS FOR STRUCTURAL SYSTEMS, FOUNDATIONS, FOR PARTICULAR SITES AND CONDITIONS.

DATE:	7/14/2024
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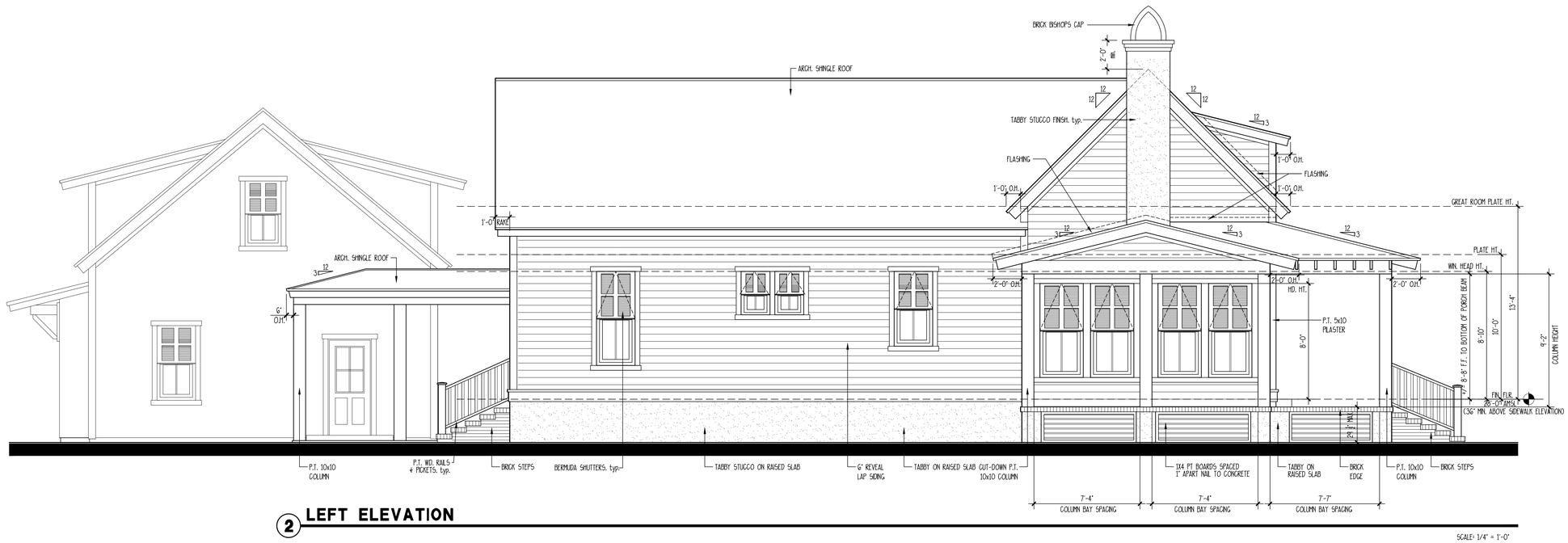
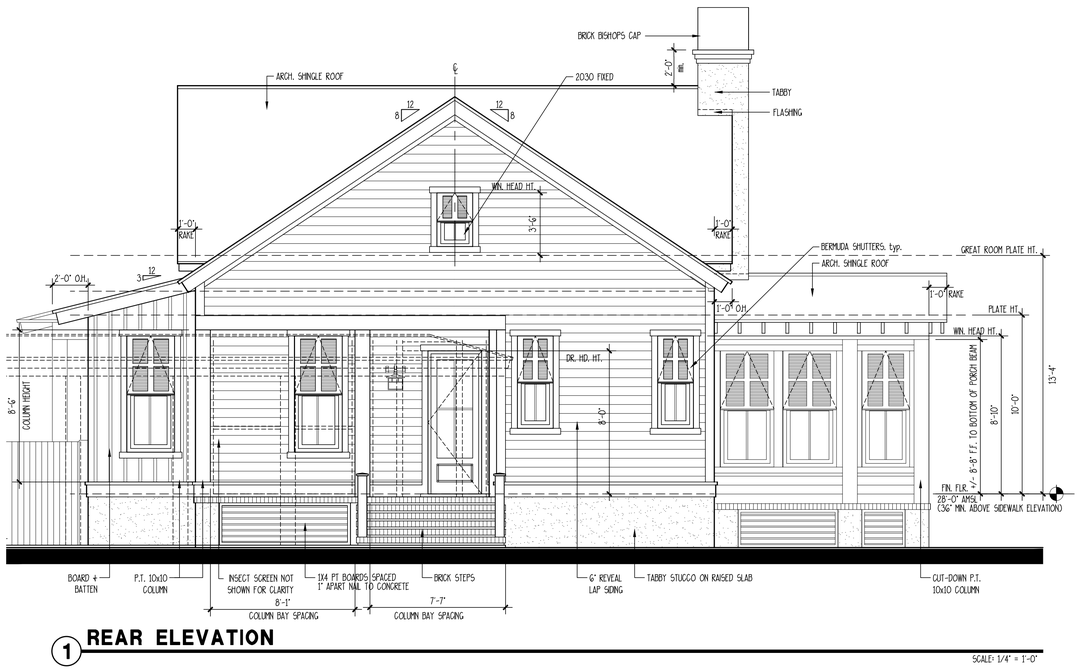
3



2 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"

HINTZ RESIDENCE

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- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- VERIFY COMPLIANCE WITH ALL LOCAL CODES
- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD ACCOMPANY ALL SITE WORK
- STRUCT. & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL PROF. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
- VERIFY ELEVATIONS & SITE CONDITIONS FOR YOUR PARTICULAR REGION AND CONDITIONS.
- VERIFY ALL STRUCTURAL SYSTEMS WITH LOCAL ENGINEER AND ARCHITECT

DATE:	7/4/2024
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DWN. BY:	JW
DWG. NAME:	23374.DWG

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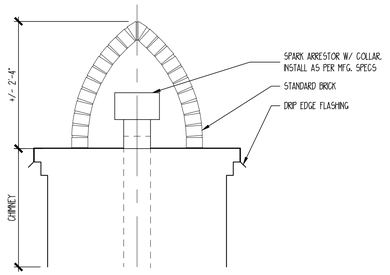
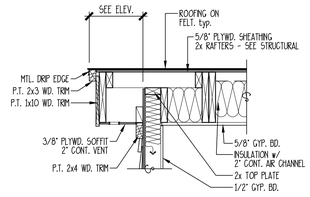


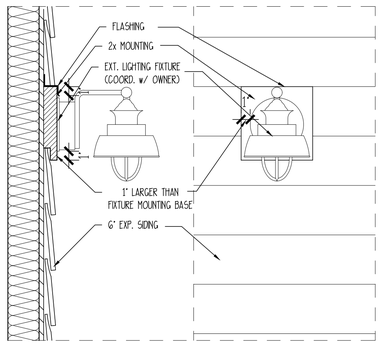
7 BRICK CHIMNEY CAP DETAIL

SCALE: 3/4" = 1'-0"



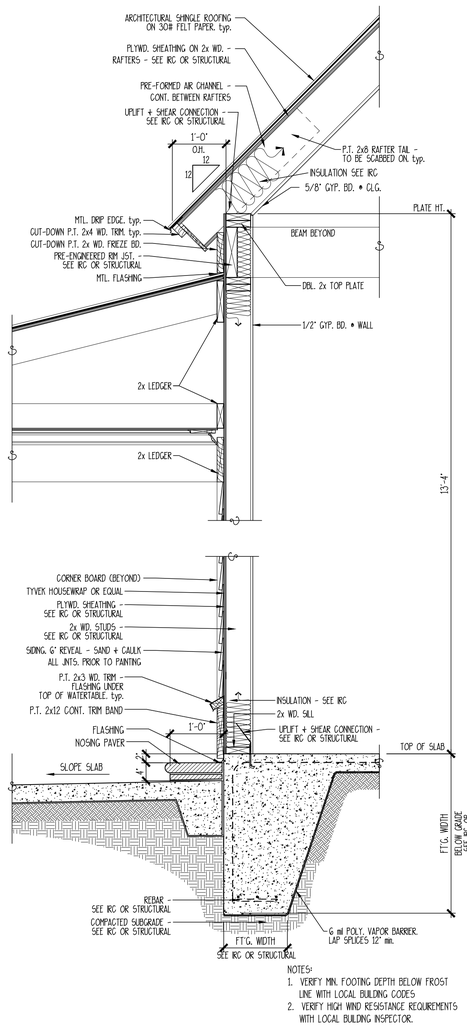
6 TYPICAL RAKE

SCALE: 3/4" = 1'-0"



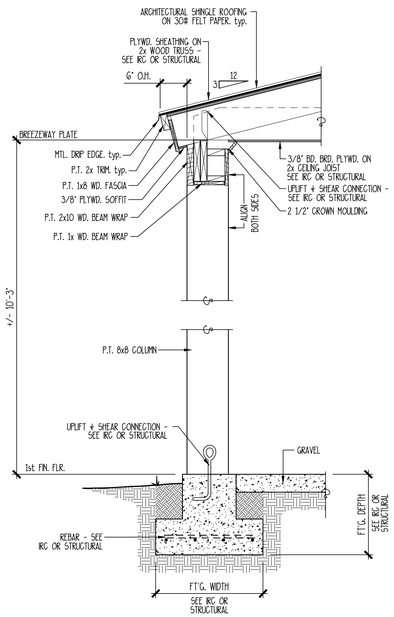
8 EXTERIOR LIGHTING MOUNT DETAIL

SCALE: 1 1/2" = 1'-0"



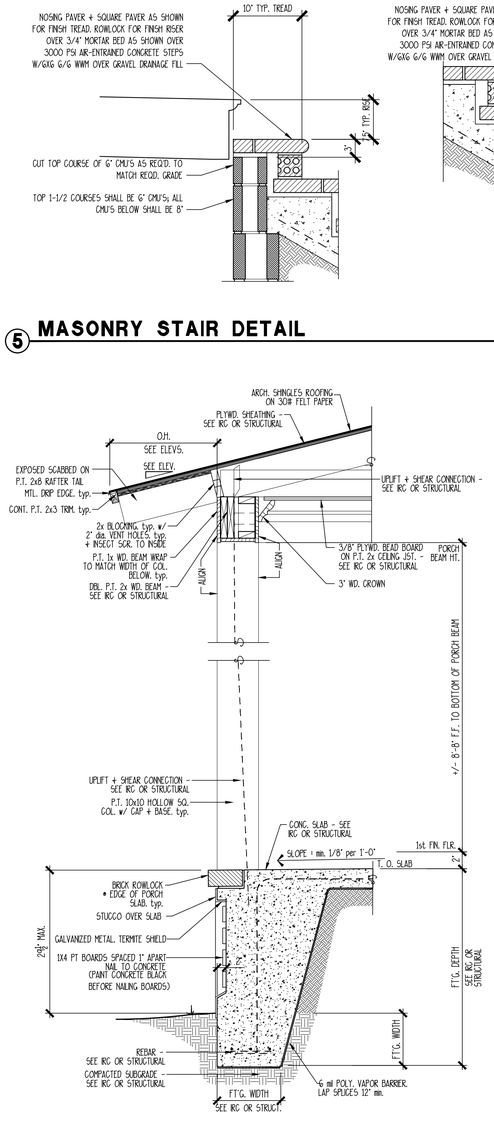
3 VAULTED LIVING SECTION

SCALE: 3/4" = 1'-0"



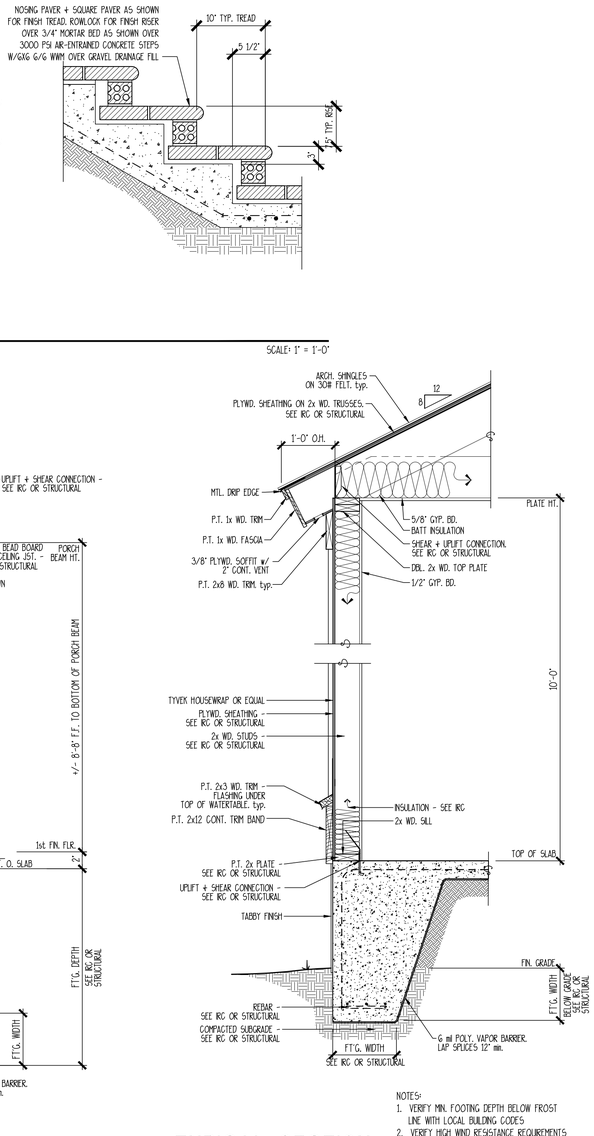
4 BREEZEWAY SECTION

SCALE: 3/4" = 1'-0"



2 TYPICAL PORCH SECTION

SCALE: 3/4" = 1'-0"



1 TYPICAL SECTION

SCALE: 3/4" = 1'-0"

5 MASONRY STAIR DETAIL

SCALE: 1" = 1'-0"

HINTZ RESIDENCE

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BLUFFTON, SOUTH CAROLINA

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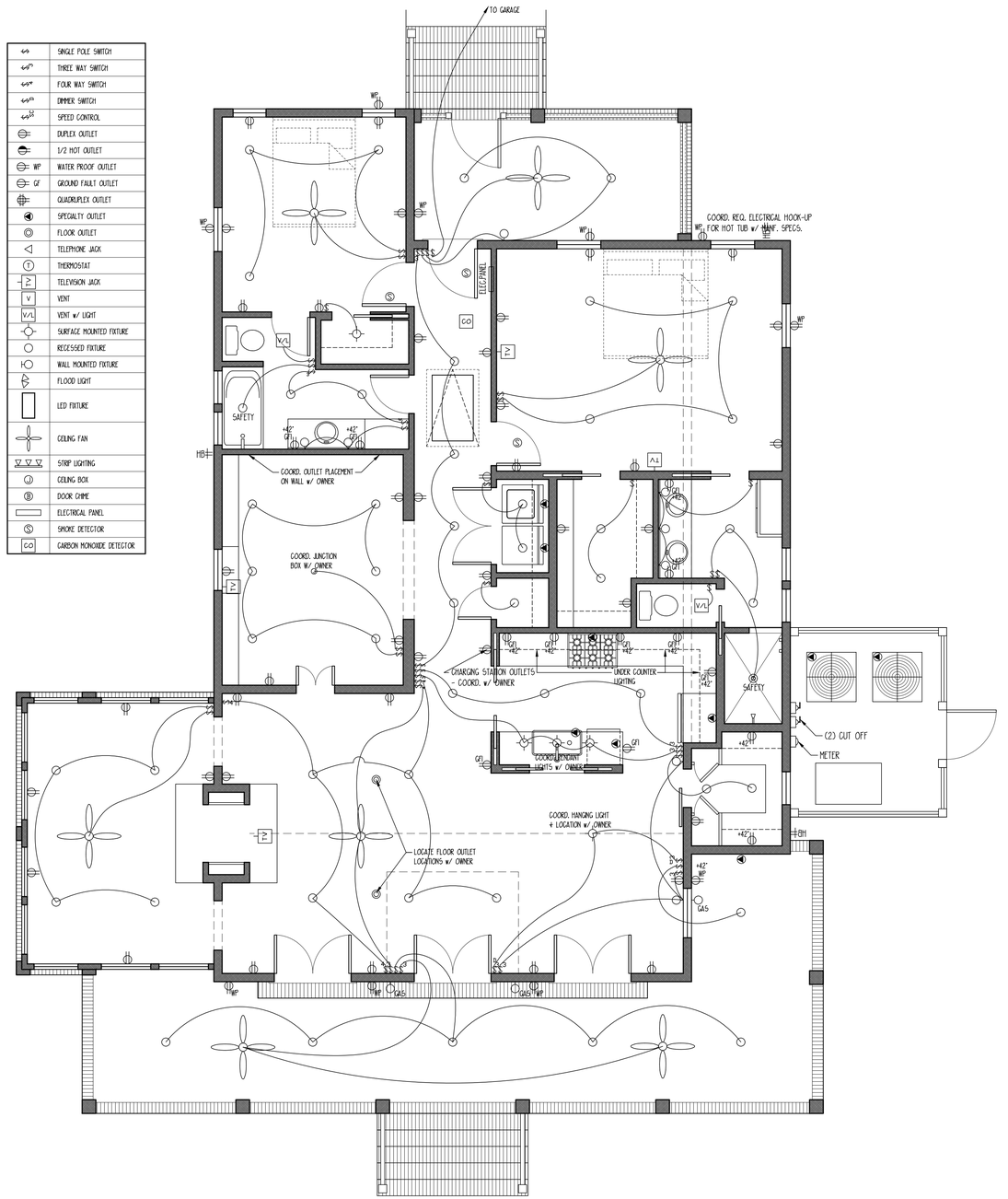
S	SINGLE POLE SWITCH
S3	THREE WAY SWITCH
S4	FOUR WAY SWITCH
SD	DIMMER SWITCH
SH	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
WP	WATER PROOF OUTLET
GF	GROUND FAULT OUTLET
	QUADRUPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
T	THERMOSTAT
TV	TELEVISION JACK
V	VENT
V/L	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
J	CEILING BOX
B	DOOR CHIME
	ELECTRICAL PANEL
S	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR



*NOTE:

1. COORDINATE LANDSCAPE LIGHTING REQUIREMENTS AND LOCATION w/ OWNER.
2. COORDINATE TELECOMMUNICATIONS SYSTEM REQUIREMENTS w/ OWNER.
3. COORDINATE SOUND SYSTEM REQUIREMENTS w/ OWNER.
4. COORDINATE CENTRAL VACUUM REQUIREMENTS + LOCATION w/ OWNER.

FIRST FLOOR ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

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THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO ENSURE THE FOLLOWING BY WORKING CLOSELY WITH A LOCAL BUILDER AND/OR MARKET ARCHITECTS INC. ASSISTANCE AS NEEDED TO ADJUST FOR ANY NOTE CONTRADICTED FROM THIS PLAN.

-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING ANY CONSTRUCTION
-VERIFY COMPLIANCE WITH ALL LOCAL CODES
-PLANS INDICATE LOCATIONS ONLY, PLUMBING ASPECTS SHOULD INCORPORATE ELECTRICAL REQUIREMENTS.
-FINAL 4 PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL PLOG CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
-VERIFY ALL SPECIFICATIONS WITH LOCAL BUILDER AND/OR MARKET ARCHITECTS INC.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR MARKET ARCHITECTS INC.

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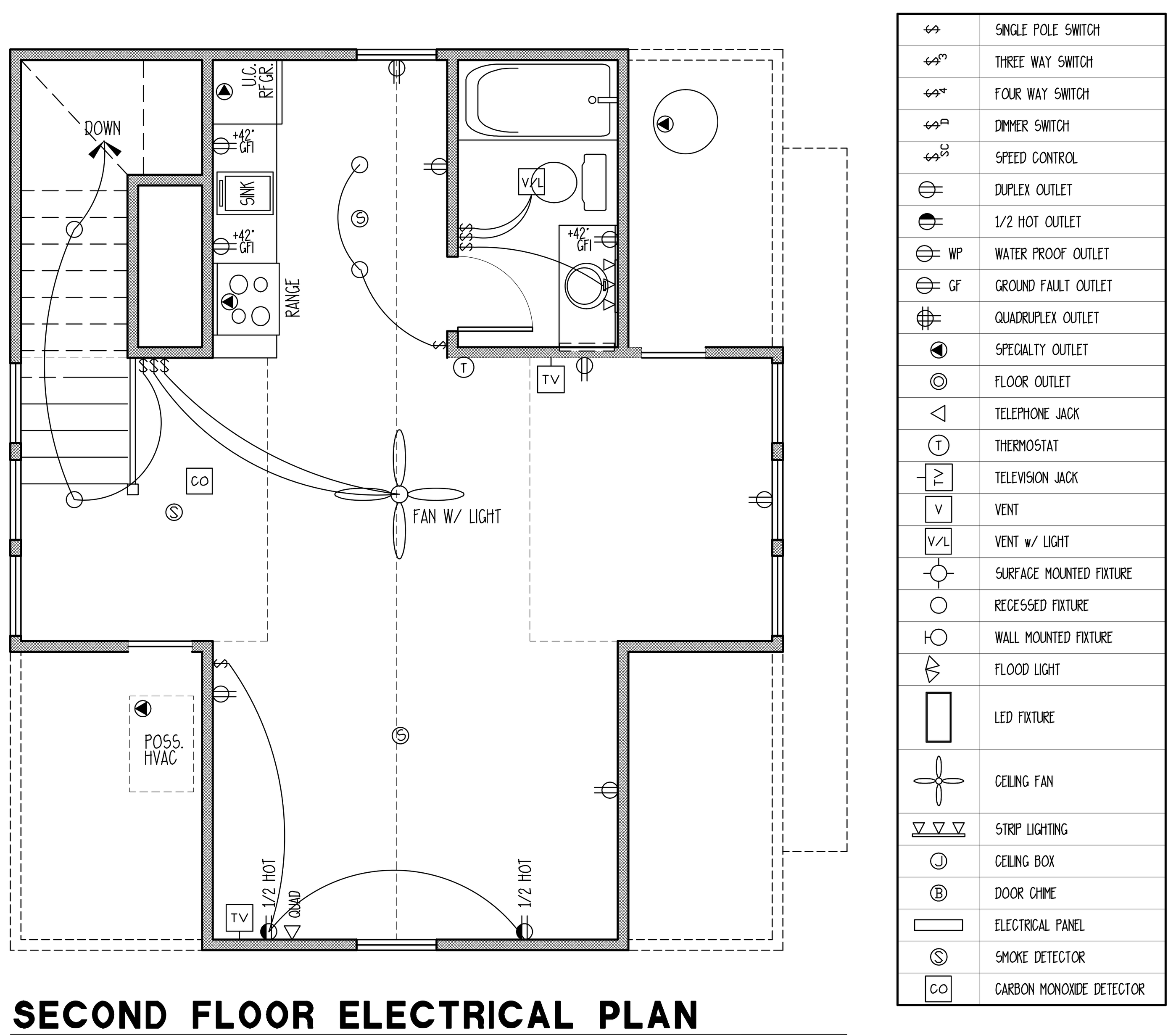
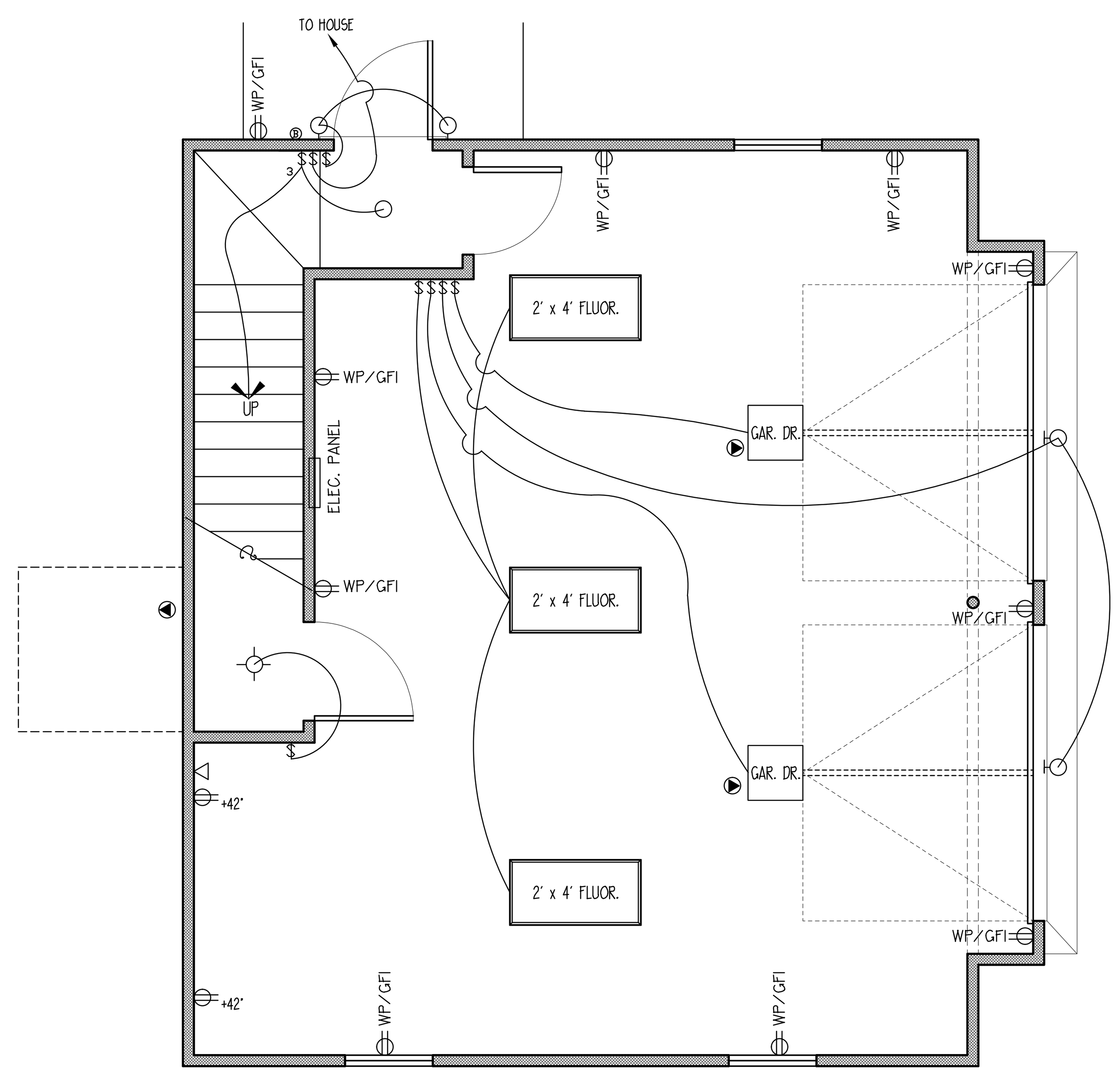
ATTACHMENT 3


DOWN
FAN W/ LIGHT
POSS. HVAC
1/2 HOT
SINGLE POLE SWITCH
THREE WAY SWITCH
FOUR WAY SWITCH
DIMMER SWITCH
SPEED CONTROL
DUPLEX OUTLET
1/2 HOT OUTLET
WATER PROOF OUTLET
GROUND FAULT OUTLET
QUADRUPLEX OUTLET
SPECIALTY OUTLET
FLOOR OUTLET
TELEPHONE JACK
THERMOSTAT
TELEVISION JACK
VENT
VENT w/ LIGHT
SURFACE MOUNTED FIXTURE
RECESSED FIXTURE
WALL MOUNTED FIXTURE
FLOOD LIGHT
LED FIXTURE
CEILING FAN
STRIP LIGHTING
CEILING BOX
DOOR CHIME
ELECTRICAL PANEL
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR

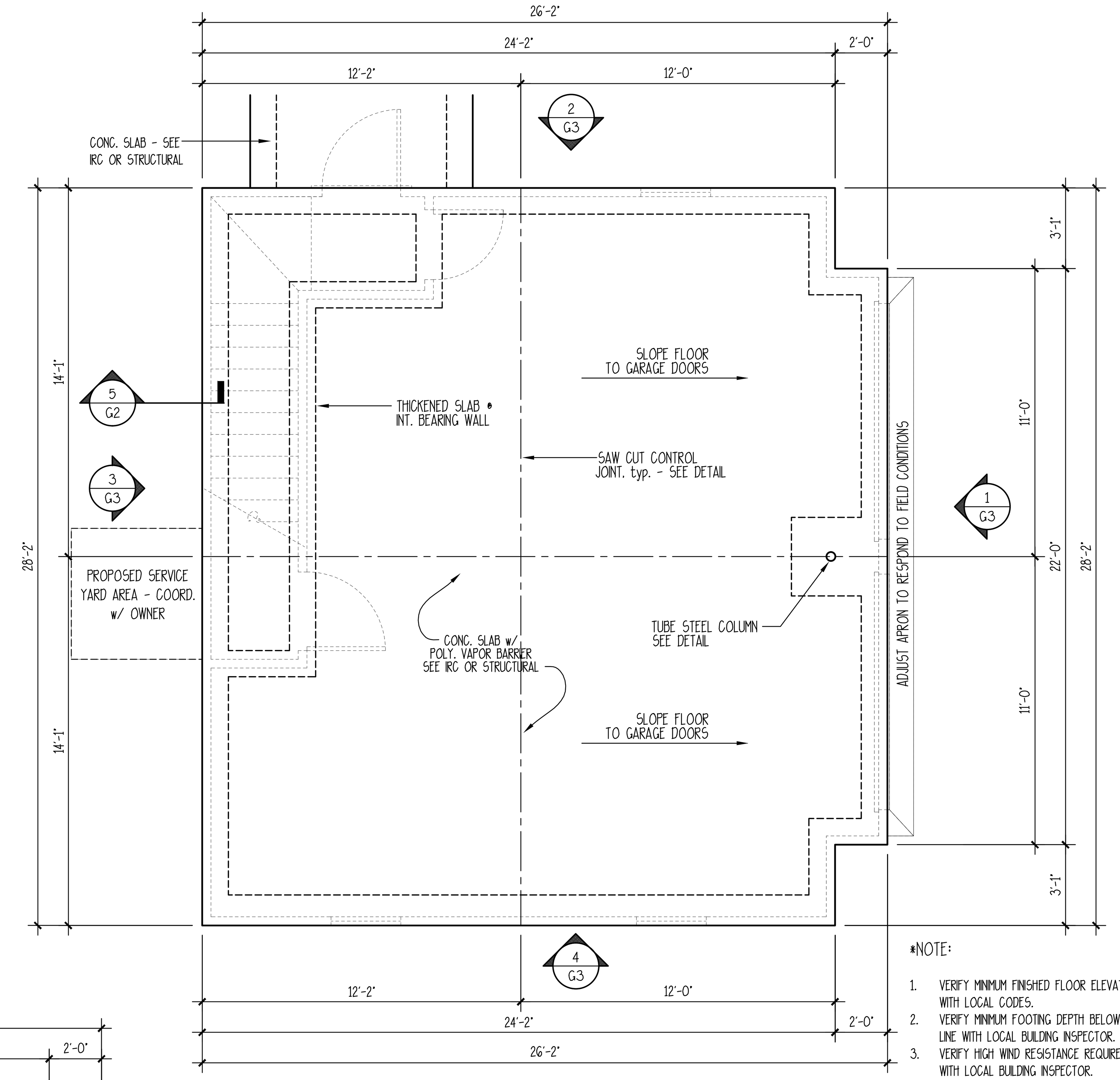
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

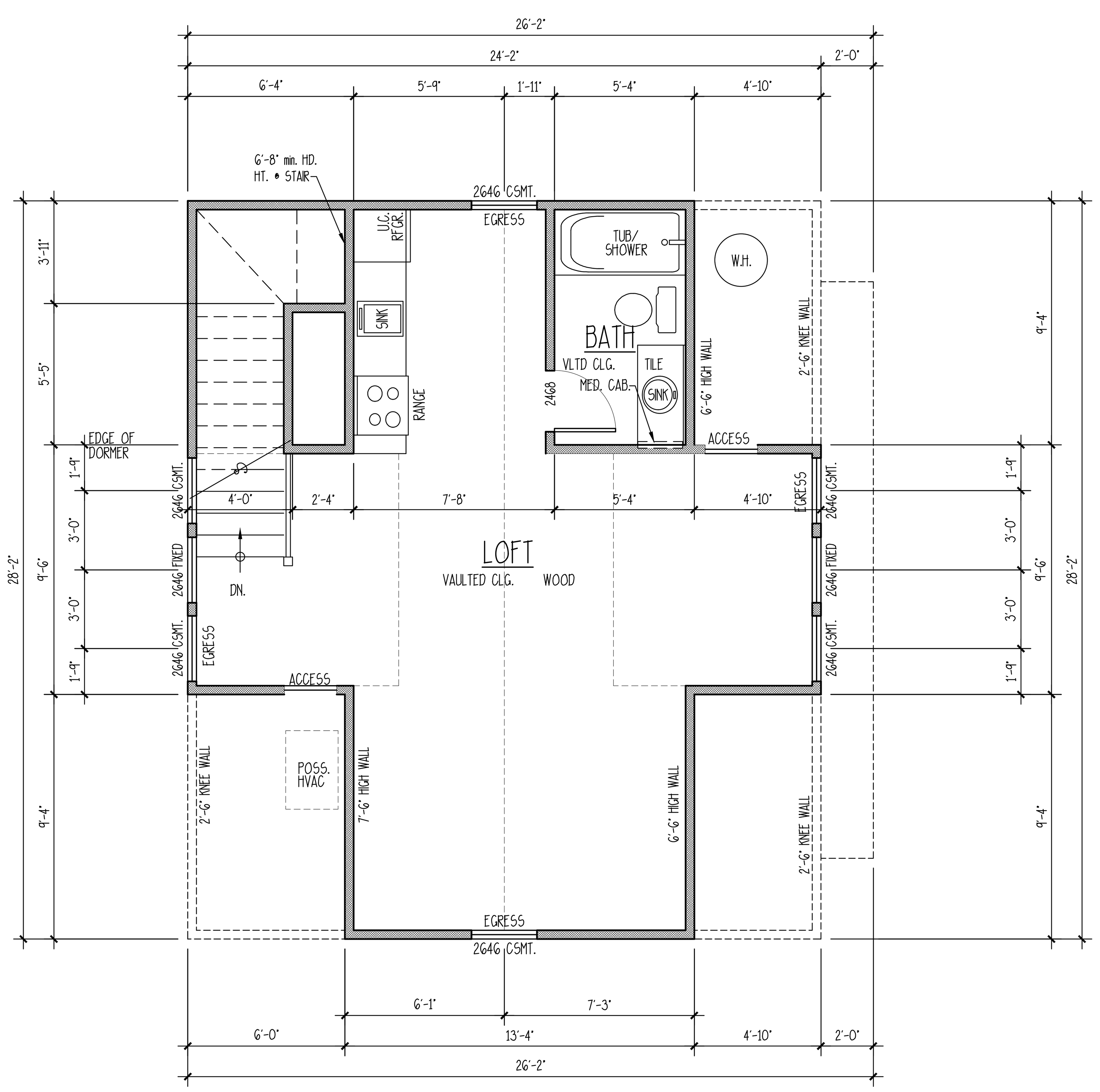

CONC. SLAB - SEE IRG OR STRUCTURAL
SLOPE FLOOR TO GARAGE DOORS
THICKENED SLAB @ INT. BEARING WALL
SAW CUT CONTROL JOINT, typ. - SEE DETAIL
PROPOSED SERVICE YARD AREA - COORD. w/ OWNER
CONC. SLAB w/ POLY. VAPOR BARRIER SEE IRG OR STRUCTURAL
TUBE STEEL COLUMN SEE DETAIL
ADJUST APRON TO RESPOND TO FIELD CONDITIONS

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

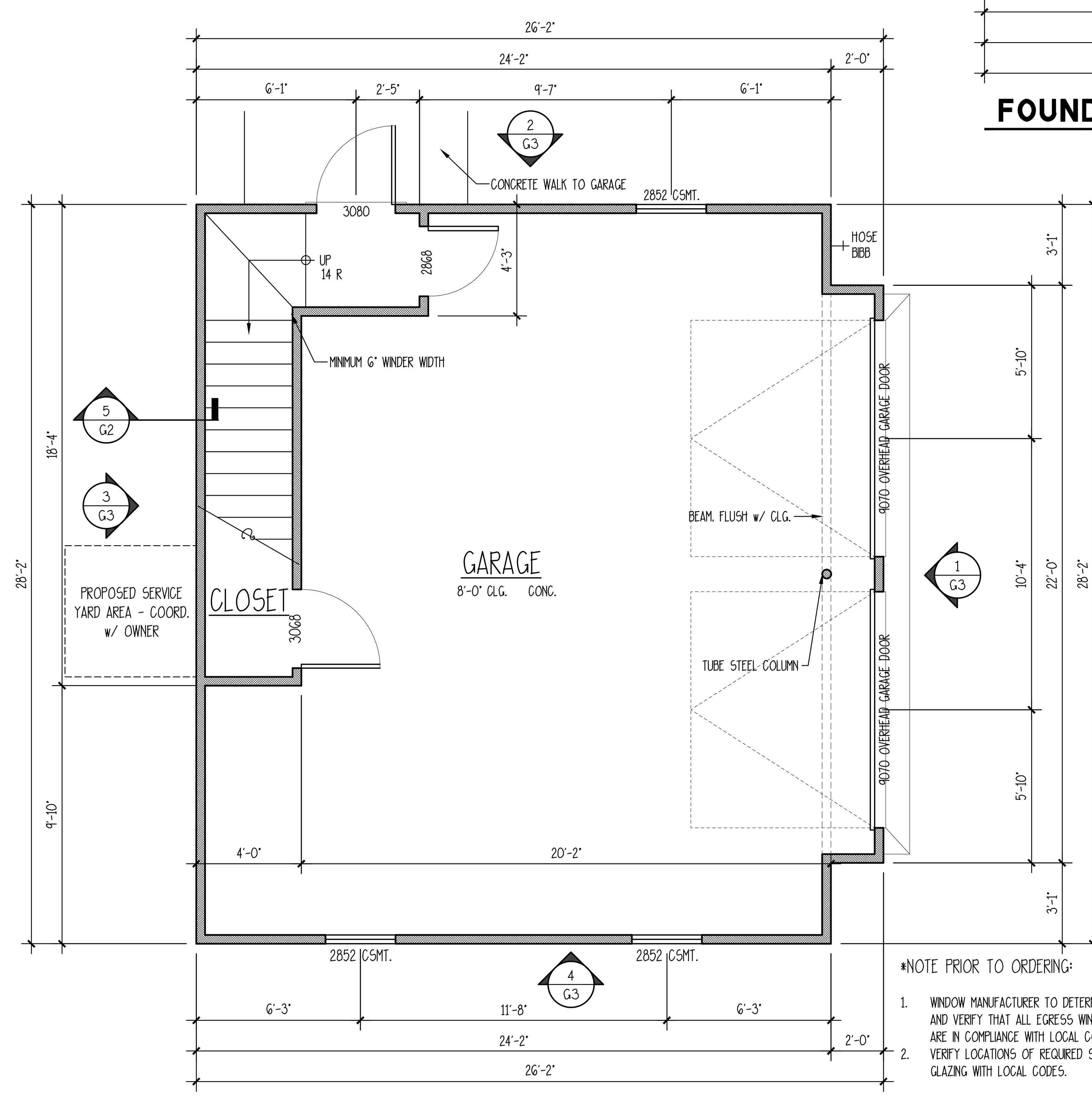
*NOTE:

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. VERIFY DBL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

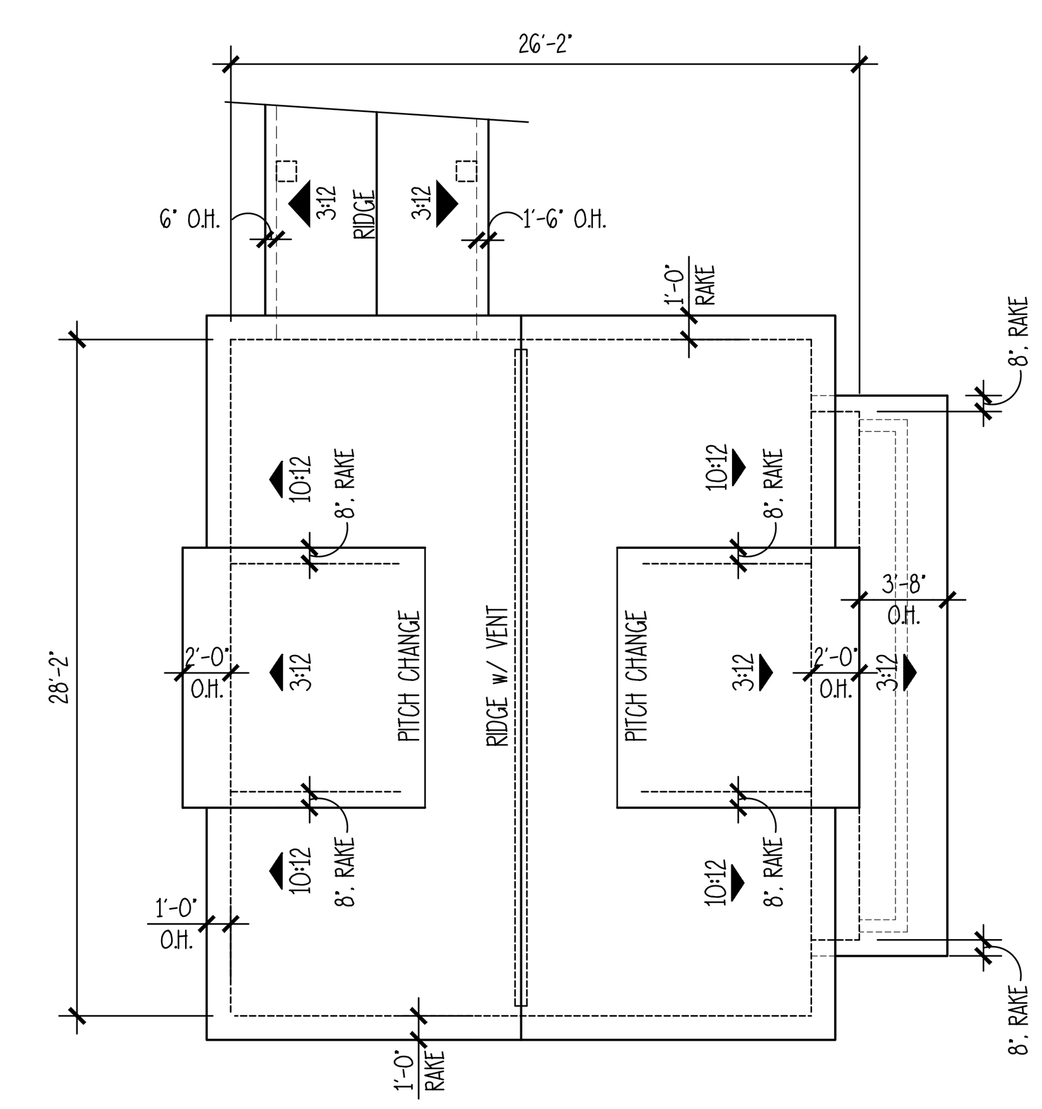


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

*NOTE PRIOR TO ORDERING:

1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.



ROOF PLAN

SCALE: 1/8" = 1'-0"

*NOTE:

1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE, @ REAR OR SIDES OF HOUSE AS POSSIBLE.
2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM. (COMBINED WHEN POSSIBLE).
3. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT

HINTZ RESIDENCE

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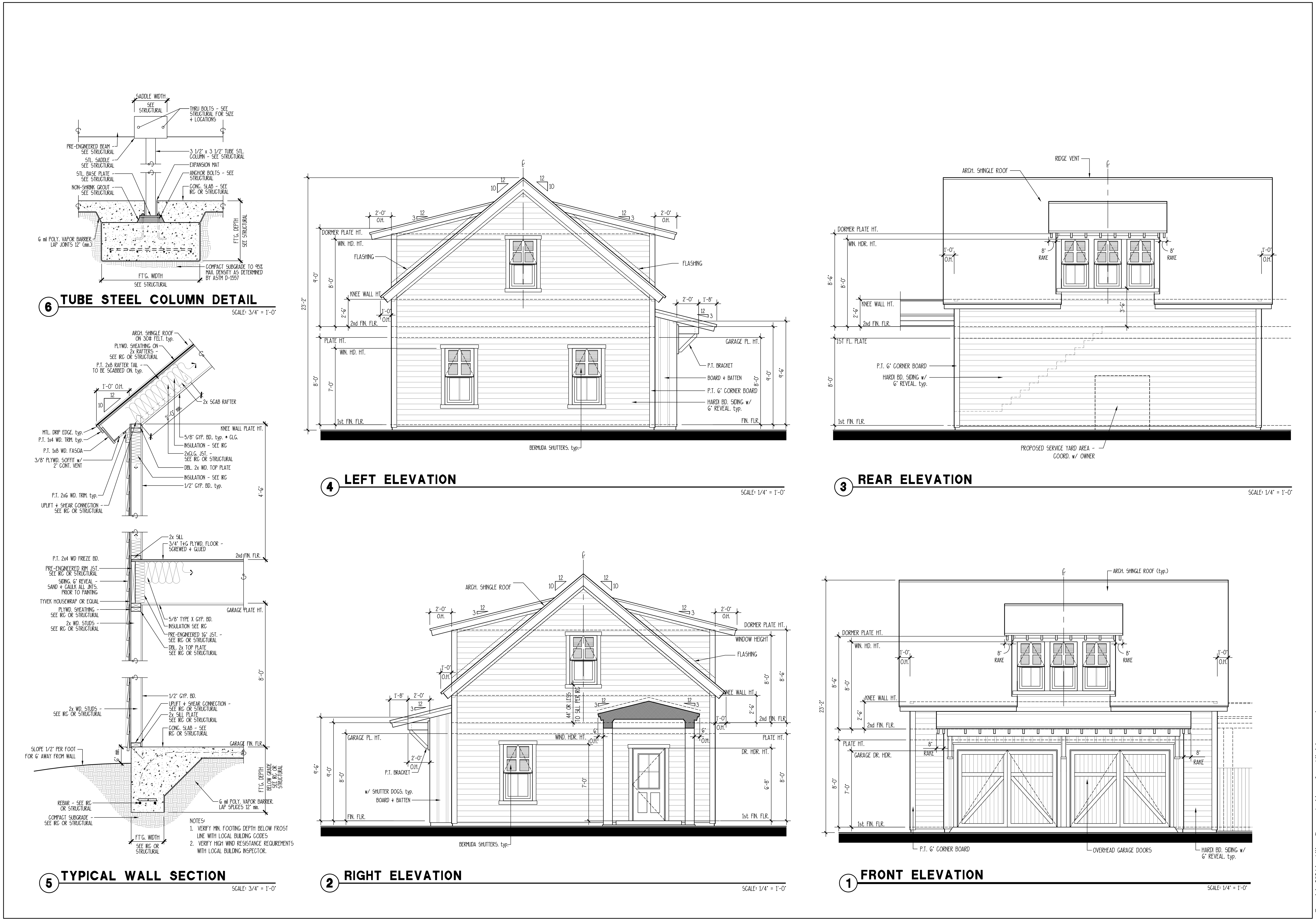

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CONTRACT SPECIFICATIONS

The following project specifications are intended as a minimum standard to be used in conjunction with the Contract Drawings.
Compliance with each of the following Specification sections is necessary where applicable or referenced by said drawings:
All work associated with the Contract Drawings shall be in conformance with the latest edition of the International Residential Code, (IRC) or other codes, applicable to the jurisdiction where the project shall be constructed.
The Contractor shall refer to applicable sections of the IRC as referenced herein specifically: Chapter 1, Administration.

-The "Green Recommendation" subheadings outline practices recommended to be followed for a greener method of construction. These recommendations are to be followed at the builders discretion and do not imply any level of sustainability for the design. Refer to LEED for Homes Rating System (http://www.greenhomeguide.org/documents/leed_for_homes_rating_system.pdf) and ENERGY STAR Guidelines for Qualified New Homes (http://www.energystar.gov/index.cfm?c=bldrs_lenders_raters.homes_guidelns) for more information. An asterick (*) indicates this recommendation is a mandatory pre-requisite for the LEED for Homes Rating System. The @Green Recommended Manufacturers (and Products)A subheadings outline some examples of Green products and are listed according to www.buildinggreen.com , www.greenhomeguide.org and other sources.

DIVISION 1 GENERAL CONDITIONS

ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ERRORS AND OMISSIONS

a. The Contractor shall notify the Architect in writing of any errors, discrepancies, or omissions in the Contract Documents.
b. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed to notify the Architect of before construction and/or fabrication of the work.

SPECIFICATION AND DRAWINGS EXPLANATION: For convenience of reference and to facilitate the letting of contracts and subcontracts, these specifications are separated into titled sections. Such separations shall not, however, operate to make the Architect an arbiter to establish limits to contracts between the Contractor and Subcontractor.
SUBSTITUTION: The contractor shall submit manufacturers literature and test data for the Owner's approval, for materials or equipment which the Contractor represents as "equal" to that specified and intends to incorporate into the work. Substitution of materials, systems, or manufacturers from those specified herein by the Contractor without prior written approval from the Owner or Architect is forbidden and shall be at the sole risk of the Contractor.
TRUSS DRAWINGS: A complete set of truss drawings certified in accordance with local authority, shall be delivered to the architect.
Refer to the Engineer's calculations for any questions regarding lumber grades, beam and header sizes, footing and shear requirements.
NO deviations from the structural details shall be made without the written approval of the Structural Engineer.
Approval by city/county inspector does not constitute authority to deviate from the plans or specifications.
Subcontractor shall notify Contractor, and Contractor shall notify Architect of any errors, omissions, or discrepancies in the plans and/or specifications, so Architect can rectify corrections or omissions prior to commencement of construction.
The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site prior to commencing work.
All work shall be done in compliance with local codes or IRC.
DO NOT SCALE DRAWINGS.
All workmanship shall be of the highest quality and is subject to inspections by the building department, local authorities, lending institutions, Architect or Owner.
Any one, or all of the above mentioned inspectors may inspect workmanship at any time. Any work identified as non-compliant with construction documents shall be removed and reworked, repaired, or replaced, at the discretion of the Owner or Owners Agent.
The Jobsite shall be maintained in a clean and organized manor. All Tradesman involved in the work shall be responsible for daily housekeeping and removing from the job site all trash and debris. The jobsite shall be completely clean and organized at the end of each weeks work.
It is the responsibility of each subcontractor to cooperate fully with the Job Superintendent in protecting all work through the entire course of construction. Each subcontractor shall be responsible for promptly notifying Job Superintendent of any damage existing prior to the start of their work.

ALLOWANCES

Definitions and Explanations: Allowances for certain categories of work specified herein are provided for the purpose of enabling and expediting contract pricing. A final Schedule of Allowance for materials, labor, equipment, and finishes customarily selected by the owner shall be submitted for verification and acceptance by the owner prior to commencement of the contract work.
Adjustments to the contract (up or down) due to owners selections will be issued by change order.
Allowances include but are not limited to lump sum allowances and unit cost allowances.
Selection and Purchase: At earliest feasible date after award of contract, advise Owner of schedule date when final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in performance of the work.
The Contractor shall obtain and submit cost proposals for work represented by each allowance for use in making final selections.
Purchase products and systems as specifically selected (in writing) by the Owner.
Unit-cost allowances: Submit a substantiated survey of quantities of materials, as shown in the "Schedule of Values," revised where necessary, and corresponding with change order quantities.
Each change order amount for unit-cost type allowances shall be based solely on the difference between the actual unit purchase amount and the unit allowance, multiplied by the final measure or count of work-in-place, with customary allowances, where applicable, for cutting wastes, tolerances, mixing wastes, normal product imperfections and similar margins.
The Owner reserves the right to establish the actual quantity of work-in-place by an independent quantity survey, measure or count.

Schedule of Allowances

Description	Remarks	Allowance
Appliances: Range	Allowance includes Cords, Cutoff Valves, and Fittings required	$
Cooktop	for complete installation. Rough-in Labor + Installation costs	$
Oven	included in Contractors Base Bid.	$
Microwave	"	$
Refrigerator	"	$
Dishwasher	"	$
Washer	"	$
Dryer	"	$
Water Heater	"	$
Other		$
Appliance Total Allowance	"	$
Cabinets: Kitchen	Allowance includes the cost of: Installation Labor for	$
Counter Tops	Cabinets + Counter Tops, Cabinet Hardware, Pulls, + Knobs.	$
Bath	"	$
Counter Tops	"	$
Bath	"	$
Counter Tops	"	$
Cabinet Total Allowance	"	$
Flooring: Carpet	Allowance includes the cost of materials and Labor installed.	$
Vinyl	"	$
Wood	"	$
Ceramic Tile	"	$
Flooring Total Allowance	"	$
Hardware: Door Hardware	Allowance includes the cost of material only. Costs of	$
Bath Accessories	Installation Labor included in Contractor's Base Bid.	$
Exterior Doors	Allowance includes the cost of material only. Costs of	$
Interior Doors	Installation Labor included in Contractor's Base Bid.	$
Windows	"	$
Light Fixtures	Allowance includes the cost of material only. Costs of	$
Plumbing Fixtures	Installation Labor included in Contractor's Base Bid.	$
Landscaping	Lump Sum Labor + Material	$

CONSTRUCTION PRACTICES

-Green Recommendation:
***Investigate and document options for the project's diversion of waste, including construction waste as well as cardboard packaging and household recyclables.**
***Document the diversion rate of the construction waste and record the waste of the land clearing separate from the new construction.**
Reduce construction waste and/or increase waste diversion to be below the industry norm: generate 2.5 lbs or less of net waste per square foot of conditioned floor area, increase waste diversion by diverting 25% or more of the total materials taken off the construction site from landfills and incinerators.

HOMEOWNER EDUCATION

-Green Recommendation:
***Provide the home occupants with proper training about the operations and maintenance of the home's "green" features and equipment. Provide a 1-hour walkthrough with homeowner and an O&M (Operations and Manual) to the homeowner including all documents and instructions related to the @green^A equipment and systems.**

DIVISION 3 CONCRETE

-Green Recommendation:
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Concrete intended for structural foundations shall comply w/ Sec. R402.2.2 and other applicable provisions of the IRC, Codes and Standards: ACI 301 "Specifications for Structural Concrete Buildings," ACI 318, "Building Code Requirements for Reinforced Concrete." Comply with applicable provisions for highest quality except as otherwise indicated.
All load bearing footings shall be placed on level, undisturbed soil to depth shown on drawings and in no case, less than the frost depth. Prior to placing footings or slabs, the Contractor shall insure that all forms and trenches are free of debris and all embedded items are in place, securely attached. This includes the work of others. Maintain 8" minimum clearance between all wood and finish grade.
Materials:
Cement shall conform to ASTM C-150.
Ready mixed concrete shall be mixed and delivered in accordance to ASTM C-94, 3000 PSI.
Aggregates shall conform to ASTM C-33 for normal-weight concrete and ASTM C-33 for lightweight concrete.
Waterstops: Flat dumbbell or centerbulb type, size to suit joints of either rubber (CRD C-513) or PVC (CRD C 572).
Moisture Barrier: Clear 6-mils thick polyethylene or 1/8" thick asphaltic core polyethylene-coated paper membrane sheet of the largest size practical in order to minimize joints.
Membrane-forming Curing Compound: ASTM C309, Type 1.
Reinforcing Bars: ASTM A 615, grade 60.
Welded Wire Fabric: comply with ASTM A 185.
Concrete Placement: Comply with ACI, placing concrete in a continuous operation within planned joints or sections.
Protect concrete from physical damage or reduced strength due to weather extremes during mixing, placement and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.
FLATNESS: Concrete floor slab flatness shall not deviate from level to 1/8" in 10 feet, maximum. Provide a smooth trowel finish for concrete floor and wall surfaces that are to be covered with a coating or covering material applied directly to concrete. Remove fins and projections, patch or remove defective areas as directed by the Owner or Architect. Apply trowel finish to monolithic slab surfaces that are exposed to view or are to be covered with resilient flooring, paint, or other thin coating. Consolidate concrete surfaces by finish troweling, free of trowel marks, uniform in texture and appearance.
Curing: Begin initial curing as soon as free water has disappeared from exposed surface. Where possible, keep continuously moist for not less than 72 hours.
Joints: Provide construction, isolation, and control joints as indicated or required to minimize differential settlement and random cracking. Saw-cut control joints as soon as concrete has hardened sufficiently to support cutting operation and no later than 8-12 hours after placement.

SECTION 03 45 00 - PRECAST CONCRETE - CAST STONE

-Green Recommendation:
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Specifications: Comply with recommended practices and procedures of Prestressed Concrete Institute (PCI) MNL - 116 and MNL - 117, and as herein specified.
Submit samples approximately 12" x 12" x 2" to illustrate quality, texture, and color of other than as-cast surface finishes.
Concrete Materials:
Portland Cement: ASTM C 150, Type as required.
Aggregates: ASTM C 33.
Air-Entraining Admixture: ASTM C 260.
Water-Reducing Admixture ASTM C 494.
Compressive strength not less than 5000 psi at 28 days. Total air content not less than 4% or more than 6%.
Fabrication: Fabricate precast concrete units complying with PCI MNL-116 for structural units and MNL-117 for architectural finished exposed units, including dimensional tolerances.
Manufacturers:
-Green Recommended Manufacturers and Products:
Perform Wall, LLC, Perform Wall Panel System

DIVISION 4 MASONRY

-Green Recommendation:
Recyclability: Use recycled bricks when possible.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

General: Assemblies of masonry units shall comply w/ the provisions provided in Chapter's 4, 6 and 10 of the IRC.
Standards: Comply with the recommendation of Brick Institutes or America (BIA) and National Concrete Masonry Association (NCMA).
Provide solid, uncored or unfrogged units with all exposed surfaces finished for sills, treads, caps, and similar applications exposing surfaces otherwise concealed from view.
Facing brick: ASTM C 216, Grade SW, to match owner's sample.
Concrete Masonry Units (CMU): provide units of the dimensions indicated on drawings conforming to ASTM 90.
Roughen and clean concrete bearing surfaces for the placement of the first course.
Cementitious Material: Premixed Type M colored mortar of formulation required to produce color indicated.
Ties and Anchoring Devises: Hot-dip galvanized steel sheet: Carbon steel hot-dip galvanized after fabrication to comply with ASTM A 153, Class B.
Joint Reinforcement: Galvanized truss type welded-wire units prefabricated with 0.1875" diameter deformed continuous side rods and plain cross rods into straight lengths not less than 10" and of widths to fit wall thickness indicated, with prefabricated corner and tee units.
Masonry Veneer Anchors: Two piece assemblies consisting of 0.1875" diameter wire tie section and 0.1046" thick steel anchor section, with latter incorporating strap as manufactured by Dur-O-Wall, Inc. (or equal).
Masonry Wire Ties: 9/16" cold-drawn steel wire, with 1.5 oz. hot-dip zinc coating.
Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fibrated asphalt.
Weepholes: Cotton sash of length required to produce 2" exposure on exterior and 18" in cavity between wythes.
Extruded Polystyrene Board Insulation: ASTM C 578, Type IV, with closed cells and integral high density skin, formed by expansion of polystyrene base resin in a extrusion process.
Workmanship: Install masonry units in the bond pattern indicated, or if none is indicated, in running bond. Avoid the use (by proper layout) of less-than-half-size units. Hold uniform joint sizes as indicated, or if not indicated, hold joint sizes to suit modular of masonry units.
Cut joints flush and tool slightly concave, unless otherwise indicated.
Keep cavities clean of mortar droppings, and install ties spaced 16" vertically and 24" horizontally. Provide weep holes spaced 24" apart at the bottom of (and at ledges in) cavities.
Install board insulation of thickness indicated in cavity wall with boards pressed firmly and adhesively applied against inside wythes of masonry. Fit board between wall ties and with edges butted tightly.
Reinforce horizontal joints with continuous masonry joint reinforcement, spaced 16" vertically. Install reinforcement 8" immediately above and below opening, for a distance of 2' beyond jambs of opening. Do not bridge control and expansion joints in the wall system.
Provide control and expansion joints at locations shown or as approved by the Architect.
Protect adjacent work and keep clean of mortar, debris, and other damaging conditions. Install approved flashing under copings, sills, through wall at counter flashing locations, and above elements of structural support for masonry.
Protect newly laid masonry from exposure to precipitation, excessive drying, freezing, soiling backfill and other harmful elements.
Cleaning: Dry-brush masonry work at end of each day's work. After mortar is thoroughly set and cured, clean masonry by bucket and brush hand cleaning method described in BIA "Technical Note No. 20 Revised" using detergent cleaner.
Manufacturers:
-Green Recommended Manufacturers and Products:
Apex Block, Apex Block
Tronwyth Industries, Vorastone Premium Recycled Ground Face CMU

SECTION 04 42 00 - EXTERIOR STONE CLADDING

-Green Recommendation:
Recyclability: Use reclaimed stone.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Standards: Comply with industry recommendation of stone production and fabrication standards for the type of stone selected. Provide sample panels of erected stonework, built at site, using proposed stone, anchors, and jointing one panel for each type of stone and installation. Obtain stone from one quarry with consistent color range and texture.
Stone type and color to match Owner's sample.
Mortar: Type M, ASTM C 270, Proportion Specification. For colored pointing mortar, use ground marble, granite or other sound stone to match Owner's sample.
Anchorages: For anchoring into concrete, cadmium-plated or hot-dip galvanized; for anchoring into stone, Type 302/304 stainless steel.
Type, size, and load capacity as shown or required.
Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fibrated asphalt.
Clean stone work not less than 6 days after placement with clean water and stiff-bristle brushes.

DIVISION 5 METALS

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 05 40 00

Material Standards: Provide and install structural steel in accordance w/ AISC "Code of Standard Practice for Steel Buildings and Bridges"; AISC "Specifications for the Design, Fabrication, and Erections of Structural Steel for Buildings" including "Commentary"; AWS "Structural Welding Code", and provisions of Chapter 3 of the IRC.
Structural steel and misc. iron shall conform to ASTM A-36.
Bolts, nuts and screws shall conform to ASTM A307 Grade A. Welding rods shall conform to AWS for intended use.
Welding or heat bending of reinf. steel shall not be allowed without written consent of Architect, conform to AWS D12-1.
Fabrication: Comply with AISC "Specifications" and with AWS Code for procedures, appearance, and quality of welds.
Steel plates shall conform to ASTM A-282 Grade A. Steel tubing shall conform to ASTM A-501.
Reinforcing steel shall conform to ASTM A-615, Grade 40 for sizes up to #3; Grade 60 for sizes #4 or larger.
Welded fabric (WWF) shall conform to ASTM A-185, latest revision. Smooth wire fabric shall conform to ASTM A-85, yield strength 60 ksi.
All bars in masonry shall be lapped with a minimum of 40 bar diameters at all splices unless noted otherwise.
All bars in concrete shall be lapped a minimum of 36 bar diameters at all splices unless noted otherwise with a larger dimension.
Splices of horizontal rebar in walls and footings shall be staggered 4'-0" unless noted otherwise.
Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.

SECTION 05 73 00 - DECORATIVE METAL RAILINGS

General: Provide and install handrails, railings, and guards as shown on drawings and in accordance w/ Sec. R311 and Sec. R312 of the IRC.
Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.
Handrails shall be provided on at least on side of each continuous run of treads or flight w/ four or more risers.
Structural Performance of Handrails and Railing Systems: Provide handrails and railing systems capable of withstanding a concentrated load of 200 lbs applied at any point and a uniform load of 50 lbs per lin. ft.
Infill Area of Guardrail Systems: Horizontal concentrated load of 200 lbs applied to one sq. ft. at any point in the system including panels, intermediate rails balusters, and other elements composing the infill area.

DIVISION 6 WOOD, PLASTICS, AND COMPOSITES

-Green Recommendation:
Material Efficient Framing:
***Limit the overall estimated waste factor to 10% or less. Waste factor is the percentage of framing materials ordered in excess of the estimated material needed for construction.**
Use any of the following framing measures to reduce waste: pre-cut framing packages, open-web floor trusses, structural insulated panels (Sip) walls, SIP roof, SIP floor, stud, joist and rafter spacing greater than 16^A o.c. where possible and allowed by the IRC, size headers for actual loads, use ladder blocking or drywall clips, use 2-stud corners).
Environmentally Preferable Products:
***Limit use of tropical wood but use only FSC-certified wood with proper documentation.**
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 06 10 00- ROUGH CARPENTRY

General: Buildings and structures constructed in flood hazard areas as established in Table R301.2(1) shall be designed and constructed in accordance w/ the provisions contained in Sec. R323 of the IRC.
Materials: Building materials used below the design flood elevation shall comply w/ Sec. R323.1.7 of the IRC.
Load-bearing dimension lumber for joists, beams, studs, and girders shall be identified by a grade mark in accordance w/ Sec. R502 of the IRC.
Provide seasoned lumber with 19 percent moisture content at time of dressing and shipment for sizes 2" or less in thickness.
For exposed lumber, apply grade stamps to ends of back of each piece or omit grade stamps entirely and issue certificate of grade compliance.
Dimension lumber: Provided lumber of the following product classification in grade and species indicated:
Light-framing: (2"-4" thick, 2"-4" wide). Construction grade, Southern Pine graded under SPIB rules.
Studs (2"-4" thick, 2"-6" wide, 10' and shorter): "Stud" or No. 3 Structural Light Framing grade, any species graded under NWPA, NCLIB, SPIB or NLGA rules.
Structural Light Framing: 2"-4" thick, 2"-4" wide): No. 1 Southern Pine graded under SPIB rules.
Structural Joists and Planks (2"-4" thick, 5" and wider): Any species and grade complying with requirements for allowable unit stresses.
Fb (minimum extreme fiber stress bending): 1250 psi.
E (minimum modulus of elasticity): 1,600,000 psi.
Fv (horizontal shear): 100 psi.
Exposed Framing Lumber: Verify that material intended for use in exposed finish locations meets species and grade requirements for compliance with "Appearance" grade requirements of ALSC National Grading Rule.
Posts, Beams and Timbers (5" and thicker): No 1 grade Hem-Fir rules or No. 2 grade Southern Pine graded under SPIB rules.
Glued laminated timber (Glulam): Comply with ANSI/AITC A 190.1 "Structural Glued Laminated Timber"
Combination Sub floor Underlayment: 3/4" APA RATED STURD-I-FLOOR, T&G if not otherwise indicated.
Subflooring: 3/4" T&G, APA RATED SHEATHING.
Wall Sheathing: 1/2" APA RATED SHEATHING.
Roof Sheathing: 1/2" APA RATED SHEATHING.
Plywood Underlayment for Resilient tile: 3/8" APA UNDERLAYMENT EXT with fully sanded face.
Construction Panel Underlayment for Ceramic Tile: 3/4" APA RATED STURD-I-FLOOR EXP 1 for underlayment.
Fasteners and Anchorages: Provide metal hangers and framing anchors of size and type recommended for intended use by manufacturer.
Hot-dip galvanized fasteners and anchorages for work exposed to weather, in ground contact and high relative humidity to comply with ASTM A 153.
Building paper: 15 lb/sf asphalt saturated felt, ASTM D 226.
Sill Sealer Gasket: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer, 1" nominal thickness compressible to 1/32", in rolls of 50' or 100' in length.
Preservatives: pressure treat lumber and plywood with water-borne preservatives to comply with AWPA C2 and C9, respectively, and with requirements indicated below:
Wood for Ground Contact Use: AWPB LP-22.
Wood for Above-Ground Use: AWPB LP-2.
Treat cants, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers, and water proofing.
Treat sills, sleepers, blocking, furring, stripping and similar items in direct contact with masonry or concrete.
Install rough carpentry work to comply with "Manual of House Framing" by National Forest Products Assoc. (NFPA) and with recommendations of American Plywood Association (APA), unless otherwise indicated. For sheathing, underlayment and other products not covered in above standards, comply with recommendations of manufacturer of product involved for use intended. Set carpentry work to required levels and lines, with members plumb and true and cut to fit.
Provide wood framing members of size and spacing indicated. Do not splice structural members between supports.
Firestop concealed spaces with wood blocking not less than 2" thick (nom.), if not blocked by other framing members.
Fasten structural wood panel products as follows:
Combination Subflooring underlayment and subflooring:
Glue-nail to framing.
Sheathing: Nail to framing.
Underlayment: Glue and nail to framing.
Air Infiltration Barrier: Cover wall sheathing with vapor permeable, water-resistant fabric composed of polyethylene fibers, 6.1 mils thick. (Tyvek or equal) in compliance with manufacturer's printed directions.

SECTION 06 17 00 - SHOP-FABRICATED STRUCTURAL WOOD

Truss design drawings: Truss design drawings, prepared in conformance w/ Sec. R802.10 of the IRC, shall be provided to the building official and approved prior to installation. Truss design drawings shall include the information specified in Sec. R802.10.1 of the IRC.
Bracing: Trusses shall be braced to prevent rotation and provide lateral stability in accordance w/ the requirements specified in the truss design drawings.
Alterations to truss: Truss members shall not be cut, notched, drilled, spliced or otherwise altered in any way without the approval of a registered design professional.
Standards: Comply with NFPA National Design Specification and with TPI standards including "Quality Standard for Metal Plate Connected Wood Trusses", Commentary and Recommendations for Handling and Erecting Wood Trusses", Commentary and Recommendations for Bracing Wood Trusses" and the following:
"Design Specification for Metal Plate Connected Wood Trusses."
"Design Specification for Metal Plate Connected Parallel Chord Wood Trusses."
Provide design of total truss system by a structural engineer licensed to practice in jurisdiction where trusses will be installed.
Steel roof truss: The design, quality assurance, installation, and testing of cold-formed steel trusses shall be in accordance w/ Sec. R804 of the IRC and the AISI Standard for Cold-formed Steel Framing-Truss Design (COFS/Truss).

SECTION 06 40 00 - EXTERIOR ARCHITECTURAL WOODWORK

Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standards" by AWI.
Softwood lumber: Comply with PS 20 and applicable grading rules or respective grading and inspecting agency for species and product indicated. Fabricate to sizes and patterns indicated using seasoned lumber. Use pieces made from solid lumber for transparent finished work, and glued up or solid at Contractor's option for painted work.
Exterior Standing and Running Trim: Boards and worked lumber products complying with requirements indicated below including those of grading agency listed with species.
Species: Western Red Cedar: NWPA or NCLIB.
Grade: B & Btr - 1 & 2 Clear.
Texture: Surfaced (Smooth).
Exterior Door Frames: Grade - Premium.
Siding Board Type: Lumber milled to pattern and size indicated, complying with requirements indicated below including those of grading agency used with species:
Species: Western Red Cedar: NWPA or NCLIB.
Grade: A Grade VG.
Texture: Surfaced.
Exterior Miscellaneous Ornamental Items: Grade - Premium.
Install finish carpentry work plumb, level, true and straight with no distortions. Shim as required using concealed shims.
Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finish nails for exposed nailing except as indicated, countersunk and filled flush with finish surface.
Standing and Running Trim: Install with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cope at returns; miter at corners to produce tight fitting joints. Use scarf joints for end-to-end joints.
Beveled Siding: Attach to studs with non-corrosive siding nails of length to penetrate studs at minimum of 1-1/2" and to comply with siding manufacturer's recommendations.
Manufacturers:
-Green Recommended Manufacturers and Products: (per BuildingGreen.com)
Armstar Reclaimed Lumber Co, Reclaimed-Wood Lumber and Products
Industries Maibec, Inc., Certified FR Shingles

SECTION 06 40 23 - INTERIOR ARCHITECTURAL WOODWORK

AWI Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standard" by American Woodworkers Institute.
Samples: Submit finished samples of each wood species and profile indicated for transparent finish, of each material indicated for opaque finish, of each color, pattern, and type of plastic laminate and each type of cabinet hardware.
Species for Transparent Finish: Rift-sawn red oak.
Species for Opaque Finish: Any closed-grain hardwood listed in reference wood working Standard.
Hardwood Plywood: HPMA FE.
Plastic Laminate: High-pressure decorative laminate complying with NEMA LD 3.
Interior Standing and Running Trim: Grade - Premium.
CABINETS AND COUNTER TOPS:
Allowances: See Division 1 for amount and procedures for purchase and payment (overrun or underrun). The costs of handling and installation are covered by the allowance.
Grain Matching: Run and match grain vertically for drawer fronts, doors, and fixed panels.
Comply with veneer and other matching requirements indicated for Blueprint matched paneling.
Laminate Clad Cabinets: Grade - Custom Flush overlay, High-pressure decorative laminate selected from laminate manufacturer's full range of standard colors, patterns, and finishes.
Concealed Cabinet Hardware: Provide cabinet hardware and accessory materials associated with architectural cabinets. Comply with ANSI/BHMA A 156.9 "American National Standard for Cabinet Hardware."
Exposed Cabinet Hardware: See Section 01020 Allowances for exposed hardware.
Shop-apply prime/base coat to interior trim for opaque finish, in compliance with requirements indicated in section 09 painting. Transparent Finish for Open-Grain Woods: Provide the following shop applied finish in compliance with AWI "Architectural Woodwork Quality Standards."
Grade: Premium. AWI Finish System #3: Conversion varnish.
Staining: Match Owner's Sample
Install woodwork to comply with AWI Section 1700 for same grade specified in Part 2 of this section for type of woodwork involved.
Paneling: Anchor paneling to supporting substrate with concealed panel hanger clips. Blind nail back-up strips and similar associated trim and framing.
Manufacturers:
-Green Recommended Manufacturers: (per BuildingGreen.com)
Humdwilt Healthy Building Solutions, Wheatcore Doors and Cabinets

SPECIFICATIONS

ALLISON RAMSEY Architects, Inc. creating sustainable timeless design
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Beaufort SC, 29902
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www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE CONSTRUCTION BEGINS. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-VERIFY COMPLIANCE WITH ALL LOCAL CODES
-PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE
-FRAMING & PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
-ANY ALTERATIONS MUST BE REVIEWED BY A LICENSED ENGINEER FOR SITE SPECIFIC CONDITIONS.
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE : 04/06/2021
JOB NO. :
DWN. BY : smh
DWG. NAME : GreenSpecs2021.dwg

SP1

DIVISION 7 THERMAL AND MOISTURE PROTECTION

-Green Recommendation:
Utilize a closed crawlspace system as defined by the IRC when possible. If a conventional vented crawlspace is used, assure to seal all penetrations and gaps in building envelope that are not used for ventillation.

Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

General: Provide thermal and moisture protection in accordance w/ applicable standards of the IRC.
Concrete and masonry foundation waterproofing: In areas where high water table or other severe soil-water conditions are known to exist.
Weather Protection: Roof decks shall be covered w/ approved roof coverings secured to the building or structure in accordance w/ the provisions of Chapter 9 of the IRC.

SECTION 07 10 00 - WATERPROOFING AND DAMPROOFING

Exterior foundation walls that retain earth and enclose habitable or useable spaces located below grade shall be waterproofed w/ membrane extending from the top of the footing to the finished grade in accordance w/ Sec. R406.2 of the IRC.

SECTION 07 11 13 - BITUMINOUS DAMPROOFING

Concrete and masonry foundation dampproofing: Except where required to be waterproofed by Sec. R406.2, foundation walls that retain earth and enclosed habitable or usable spaces located below grade shall be dampproofed from the top of the footing to the finished grade in accordance w/ Sec. R406.1 of the IRC.

SECTION 07 21 00 THERMAL INSULATION

-Green Recommendation:
•Install insulation that meets or exceeds the R-value requirements in Chapter 4 of the International Energy Conservation Code.
•Install insulation to meet the Grade II specifications set by the National Home Energy Rating Standards.
Use low emission insulation and comply with California Practice for Testing of VOC's from Building Materials Using Small Chambers (www.dhs.ca.gov/ehib/IAQ/VOCS/Practice.htm)
Use recycled content of 20% or more when possible.
Use soy-based spray foam insulation when possible.

-Green Recommended Manufacturers and Products:
BioBased Spray Foam Insulation

Thermal insulation shall be installed in accordance w/ provisions provided in Sec. R316 of the IRC.
Insulating materials, including facings, such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl space and attics shall have a flame-spread index not to exceed 25 w/ an accompanying smoke-developed index not to exceed 450 when tested in accordance w/ ASTM E 84.
Thermal performance requirements: The min. required insulation R-value or the area-weighted average maximum required fenestration U-factor for each element in the building thermal envelope shall be in accordance w/ Sec. N1102 and the criteria in Table N1102.1 of the IRC.

SECTION 07 24 00 - EXTERIOR INSULATION AND FINISH SYSTEMS -

General: All Exterior Insulation Finish Systems (EIFS) shall be installed in accordance w/ the manufacturer's installation instructions and the requirements of Sec. R703.9 of the IRC.
Decorative trim shall not be faced nailed through the EIFS.
The EIFS shall terminate not less than 8 inches above the finished ground level.
Installer qualifications: EIFS system installers shall be certified in writing by system manufacturer as qualified for installation of system indicated.
Manufacturers: Subject to compliance with requirements, provide CLASS PM system of one of the following:
- Dryvit System, Inc.
- Senergy Inc.
- Simplex Div., Anthony Industries, Inc.
- STO Industries, Inc.

Comply with system manufacturer's current published instructions for installation of system as applicable to each type of substrate indicated. Offset joints of insulation from joints in sheathing.
Provide mock-up samples for the Owners selection of colors and textures from Manufacturer's full line of offerings.

SECTION 07 31 13 - ASPHALT SHINGLES

The installation of asphalt shingles shall comply w/ the provisions of Sec. R905 of the IRC.
Sheathing Requirements: Asphalt shingles shall be fastened to solidly sheathed decks.
Slope: Asphalt shingles shall only be used on roof slopes of two units vert. in 12 units horiz. or greater. For roof slopes from two units vert. in 12 units horiz. up to four units vert. in 12 units horiz, double underlayment application is required in accordance w/ Sec. R905.2.7 of the IRC.
Underlayment: Unless noted otherwise, required underlayment shall comply w/ ASTM D226, Type I, or ASTM D 4869, Type I, Self-adhering polymer modified bitumen sheet shall comply w/ ASTM D 1970.
Asphalt Shingles: Asphalt shingles shall have self-seal strips or be interlocking, and comply with ASTM D 225 or D 3462.
Attachment: Asphalt shingles shall have the minimum number of fasteners as required by the manufacturer. For normal application, asphalt shingles shall be secured to the roof w/ not less than four fasteners per strip shingle or two fasteners per individual shingle.
Where the roof slope exceeds 20 units vert. in 12 units horiz, special methods of fastening are required.
For roofs located where the basic wind speed per Fig. R301.2(4) is 110 mph or greater, special methods of fastening are required.
Special fastening methods shall be tested in accordance w/ ASTM D 3161, modified to use a wind speed of 110 mph. Shingles classified using ASTM D 3161 are acceptable for use in wind zones less than 110 mph. Shingles classified using ASTM D 3161 modified to use a wind speed of 110mph are acceptable for use in all cases where special fastening is required.
Flashing: Flashing for asphalt shingles shall comply w/ Sec. R905.2.8 of the IRC.
Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture permeable materials, and at intersections w/ parapet walls ands other penetrations through the roof plane.
Flashings shall be installed at wall and roof intersections; wherever there is a change in roof slope or direction, and around roof openings.
Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).
Valleys: Valley linings shall be installed in accordance w/ manufacturer's installation instructions before applying shingles. Valley linings of the types allowed in Sec. R905.2.8.2 and in accordance w/ Table R905.2.8.2 of the IRC shall be permitted.

SECTION 07 31 29 - WOOD SHINGLES AND SHAKES

Wood Shingles: The installation of wood shingles shall comply w/ the provisions of Sec. R905.7 of the IRC.
Deck requirements: Wood shingles shall be installed on solid or spaced sheathing. Where spaced sheathing is used, sheathing boards shall not be less than 1-inch by 4-inch nominal dimensions and shall be spaced on centers equal to the weather exposure to coincide with the placement of fasteners.
Deck slope: Wood shingles shall be installed on slopes of three units vert. in 12 units horiz. or greater.
Material Standard: Wood shingles shall be of naturally durable wood and comply w/ the requirements of Table R905.7.4 of the IRC and in accordance w/ grading rules as established by the Cedar Shake and Shingle Bureau.
Application: Wood shingles shall be installed according to Chapter 9, Sec. 905.7, and the manufacturer's installation instructions.
Weather exposure for wood shingles shall not exceed those set in Table R905.7.5. of the IRC.
Fasteners for wood shingles shall be corrosion-resistant w/ a min. penetration of 1/2 inch into the sheathing.
Wood shingles shall be attached to the roof w/ two fasteners per shingle, positioned no more than 3/4 inch from each edge and no more than 1 inch above the exposure line.
Valley Flashing: Roof flashing shall be not less than No. 26 gauge corrosion-resistant sheet metal and shall extend 10 inches from the centerline each way for roofs having slopes less than 12 units vert. in 12 units horiz, and 7 inches from the centerline each way for slopes of 12 units in 12 units horiz. and greater.
Manufacturers:
-Green Recommended Manufacturers:
Ecostar, Seneca Cedar Shake Tiles

SECTION 07 61 00 - SHEET METAL ROOFING

-Green Recommendation:
Use metal roofing with an SRI index rating of at least 29.

Metal roof panels shall comply with provisions of Chapter 9, Sec. R905.10 of the IRC.
Roof covering application: Roof coverings shall be applied in accordance w/ the applicable provisions of Chapter 9 of the IRC and the manufacturers installation instructions.
Deck Requirements: Metal roof panel roof coverings shall be applied to a solid or spaced sheathing, except where the roof covering is specifically designed to be applied to spaced supports.
Slope: The minimum slope for lapped, nonsoldered seam metal roofs without applied lap sealant shall be three units vertical in 12 units horiz.
The minimum slope for lapped, nonsoldered seam metal roofs w/ applied lap sealant shall be one-half vert. unit in 12 units horiz.
The minimum slope for standing seam roof systems shall be one-fourth unit vert. in 12 units horiz.
Material Standards: Metal-sheet roof covering systems that incorporate supporting structural members shall be designed in accordance w/ the International Building Code. Metal-sheet roof coverings installed over structural decking shall comply w/ Table R905.10.3.
Attachment: Metal roofing fastened directly to steel framing shall be attached in accordance w/ Sec. R905.10.4 of the IRC.
Separate aluminum sheets from contact w/ wood, masonry and steel (structure, panels or fasteners), by either a 15-mil coating of fibroid asphalt paint or by tapes or gaskets of type recommended by panel manufacturer. Except as otherwise recommended by manufacturer, fasten aluminum work w/ non-magnetic stainless steel fasteners, gasket where needed for waterproof performance.
Flashing: Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture-permeable materials, and at intersections w/ parapet walls ands other penetrations through the roof plane.
Flashings shall be installed at wall and roof intersections; wherever there is a change in roof slope or direction, and around roof openings.
Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).

SECTION 07 92 00 - JOINT SEALANTS

-Green Recommendation:
•Use fire-rated caulk in all attic applications.
Use environmentally friendly adhesives and sealants- see Table 26 in Leed for Homes requirements.

Compatibility: Provide joint sealers, joint fillers and other related materials that are compatible with one another and with joint substrates under service and application conditions, as demonstrated by testing and field experience.
Colors: Provide color of exposed joint sealers as selected by Owner from manufacture's standard colors.
Elastomeric Sealant Standard: Provide manufacturer's standard chemically curing elastomeric sealant of base polymer indicated, complying with ASTM C 920 requirements.
One-Part Non-acid Curing Silicone Sealant: Type S, Grade NS, Class 25.
One-Part Mildew-Resistant Silicone Sealant: Type S, Grade NS, Class 25, Uses NT, G, A, and O, formulated with fungicide, intended for sealing interior joints with nonporous substrates exposed to high humidity and temperature extremes.
Plastic Foam Joint-Fillers, Preformed, open-cell polyurethane foam.
General: Comply with joint sealer manufacturer's instructions applicable to products and applications indicated.

DIVISION 8 OPENINGS

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

Reduced Envelope Leakage- meet the air leakage requirements shown below as tested by an energy rater:
Air Leakage Requirements (source: Leed for Homes Requirements, Table 17)

	Performance Requirements (in ACH50)			
Leed Criteria	**IECC Climate Zones 1-2**	**IECC Climate Zones 3-4**	**IECC Climate Zones 5-7**	**IECC Climate Zone 8**
Reduced Envelope Leakage (*required)	**7.0**	**6.0**	**5.0**	**4.0**
Greatly Reduced Envelope Leakage	**5.0**	**4.25**	**3.5**	**2.75**
Minimal Envelope Leakage	**3.0**	**2.5**	**2.0**	**1.5**

General: Provide and install doors and windows in accordance w/ manufacturers installation instructions. Comply w/ provisions of AAMA/NWWDA 101/I.S.2; AAMA/WDMA 101/I.S.2/NAFS; ASTM E 330; and Sections R308, R310, R311, and R613 of the IRC.
Performance: Exterior windows and doors shall be designed to resist the design loads specified in Table R301.2(2) adjusted for height and exposure per Table R301.2(3).
Means of Egress: Not less than one exit door conforming to Sec.R311, MEANS OF EGRESS, shall be provided for each dwelling unit.
Windborne debris protection: Protection of exterior windows and glass doors in buildings located in hurricane-prone regions from
windborne debris shall be in accordance w/ Sec.R301.2.1.2.

SECTION 08 14 00 - WOOD DOORS

-Green Recommendation:
Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all door frames before installation to ensure they are installed plumb, true and level. Wall space around door frames shall be filled with insulation.
Materials:
Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.
Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.
Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC.)

Manufacturers: Subject to compliance with NWWDA I.S.6. requirements, provide panel wood doors by one of the following:
- Karona, Inc.
- Morgan Products, Ltd.
- Nicolai Company
- Sauder Industries Limited, Door Division.
- F.E. Schumacher Co., Inc.
- Sun-Dor-Co.

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)
Albany Woodworks, Inc., Reclaimed-Wood Products
Algoma Hardwoods, Inc., Certified Wood Doors
Alternative Timber Structures, Inc., Interior and Exterior Doors
Crossroads Recycled Lumber, Reclaimed Wood Products
Eggers Industries, Certified Wood Doors
Executive Door Company, Recycled-Content Wood Doors
Marshfield DoorSystems, Certified Skave Core Doors
Lynden Door, GreenDor Agfiber Doors
VT Industries, Inc., Agrifiber Core Architectural Doors

Exterior Doors: Assemble doors with "wet-use" adhesives, and comply with NWWDA Premium or select Grade.
- Wood Species: Fir, Plain sawn/sliced
- Panel Configuration: Raised.
- NWWDA Design Group: I-3/4: Front Entrance Doors (Exterior)

Interior Doors: Premium or Select.
- Wood Species: Idaho White, Ladgepole, Ponderosa or Sugar Pine, plain sawn/sliced.
- Panel Configuration: Raised
- NWWDA Design Group: I-3/8" Interior Panel Doors.

Glazed Opening: Trim glazed openings with solid wood moldings of profile indicated, removable one side.
Transom and Side Panels: Fabricate panels to match adjoining doors in materials, finish and quality of construction.
Exterior doors: Factory-treat exterior doors after fabrication with water repellent to comply with NWWDA I.S.4. Flash top of out-swinging doors with manufacturer's standard metal flashing.
Install doors to comply with manufacturer's instructions, applicable requirements of referenced quality standard, and as indicated.
Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Seal cut surfaces after fitting and machining.

SECTION 08 33 23 - OVERHEAD COILING DOORS

-Green Recommendation:
Materials:
Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Performance: Overhead Doors shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height and exposure in Table R301.2(3) of the IRC.
Sectional Overhead Doors: Provide complete automatic operating door assemblies including frames, sections, brackets, guides, tracks, counterbalance, hardware, operators, and installation accessories.
Wood Door Section for transparent finish: Panel-type door sections, complete with wood jamb and head mold, glazing stops and glazing, as shown. Stiles and rails of clear, straight, kiln dried Douglas Fir, West Coast hemlock of Sitka spruce, not less than 1-3/4" thick. Use clear all heartwood, redwood or cedar for head and jamb molds. Panel inserts, 1/4" thick, smooth 2 sides, tempered hardboard with wood veneer, complying with ANSI I35.4 Class I.
Fabricate doors of mortise and tenon or rabbeted construction with dowels, pins and waterproof glue. Treat doors, with 2-minute immersion water-repellent and toxic treatment. Provide continuous galv. steel reinforcing, horizontal and diagonal, as required for panel size.
Installation: Set door, track and operating equipment complete with necessary hardware, jamb and head mold stops, anchors, inserts, hanger and equipment supports in accordance with mfrs. installation instructions.
Electric Door Operators: Automatic garage door openers, if provided, shall be listed in accordance w/ UL 325.
Provide size and capacity as recommended by door manufacturer, complete with NEMA approved electric motor and factory pre-wired motor controls, remote control station and accessories.
Provide safety edge device extending full width of door bottom.
Manufacturers:
-Green Recommended Manufacturers: (per BuildingGreen.com)
Real Carriage Door Company, Reclaimed-Wood Carriage Doors
Ankmar, LLC, CladPanel Garage Door

SECTION 08 52 00 - WOOD WINDOWS

-Green Recommendation:
Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all window frames before installation to ensure they are installed plumb, true and level. Wall space around window frames shall be filled with insulation.
Follow minimum Energy Star Standards for Energy Performance Requirements outlined in the following table, whichever is more stringent:

ENERGY STAR Requirements for Window and Glass Doors (source: Leed for Homes Requirements, Table 18)

	Metric	Northern	North Central	South Central	Southern
Good Windows	**U-factor**	**≤0.35**	**≤ 0.40**	**≤ 0.40**	**≤ 0.55**
	SHGC	**Any**	**≤ 0.45**	**≤ 0.40**	**≤ 0.35**
Enhanced Windows	**U-factor**	**≤ 0.31**	**≤ 0.35**	**≤ 0.35**	**≤ 0.55**
	SHGC	**≤ Any**	**≤ 0.40**	**≤ 0.35**	**≤ 0.33**
Exceptional Windows	**U-factor**	**≤ 0.28**	**≤ 0.32**	**≤ 0.32**	**≤ 0.55**
	SHGC	**≤ Any**	**≤ 0.40**	**≤ 0.30**	**≤ 0.30**

(Table from Leed for Homes Rating System, Table 18, p. 63)

Install windows with low air leakage rates
-Less than .25 cfm per LF of sash opening for double hung windows
-Less than .10 cfm per LF for casement, awning, and fixed windows
-Limit skylights to less than 3% WFA (window to floor area is the ration of window area to floor area.
Materials:
Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.
Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.
Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC.)

Provide and install window units in configurations shown on drawings and in accordance with Federal, State, Local, & neighborhood guidelines.
Performance: Windows shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height
and exposure in Table R301.2(3) of the IRC.
Provide units that comply w/ Sec. R308, Glazing and Sec. R613, Exterior Windows and Glass Doors, of the IRC.
Egress: Comply w/ requirements of Sec. R310 of the IRC regarding min. window openings required for emergency escape and rescue.
Comply with ANSI/NWMA "Industry Standard for Wood Window Units I.S. 2-80" by National Woodwork Manufacturers Association (NWMA), except to extent more stringent requirements as indicated.
Manufacturers: Provide casement, awning or double hung true divided lite units as indicated on the plans: each operating sash equipped with pair of counter balancing mechanism, lift handle, latch at meeting rail, produced by one of the following:
- Anderson Corp. Bagport,
- Caradco Corp/Rendix, Rantoul, IL
- Hurd Millwork, Flagstaff, AZ
- Marvin Windows, Narroad, MN
- Pella Windows, Pella, IA
- Weather Shield Mfg. Inc., Medford, WI

-Green Recommended Manufacturer and Products: (per BuildingGreen.com)
J.S. Benson Woodworking & Design, LLC- Certified Wood Windows
Jeld-Wen Windows & Doors, Wilmar Collection High Performance Windows
Loewen Windows, Heat Smart Window
Marvin Windows & Doors, High Performance Wood Windows
Milgard Manufacturing Inc., High Performance Windows
Paramount Windows, Inc., High Performance Wood Windows
Pella Corporation, Designer Series
Weather Shield Manufacturing Inc., High Performance Wood Windows

SECTION 08 71 00 - DOOR HARDWARE

Hardware Allowances: See Division 1 for amount and procedures for Allowance Items. The costs of handling and installation are not covered by the allowance and shall be included in the base bid.
General Hardware Requirements: Submit final hardware schedule organized by "hardware sets", to indicate specifically the product to be furnished for each item required on each door.
Furnish template to fabricator of doors and frames, as required for preparation to receive hardware.
Install each hardware item to comply with manufacturer's instructions and recommendations.
Set thresholds for exterior doors in full bed of butyl-rubber of polysabutylene mastic sealant. Remove excess sealant and clean adjacent surfaces.

SECTION 08 71 00.IT WEATHERSTRIPPING, THRESHOLDS, AND SEALS

-Green Recommendation:
Shop priming recommended. All paints and stains to be low VOC and meet the standard of the Green Seal Standard GC-03. All sealants and adhesives to meet the standards of the South Coast Air Quality Management District Rule #1168.
Provide adequate weatherstripping to reduce envelope leakage as shown in table 18 above.

All exterior doors and doors to unheated spaces shall be weather-stripped. Provided aluminum interlocking thresholds with 3" x 5" aluminum angle finish strips, weatherstrip head and jambs with vinyl bulb set in aluminum strip, or approved equal.
Provide concealed, non-ferrous spring-metal or vinyl-gasket type, applied to each edge of each operable sash.
Fireglaze wood windows units with sealant and 1/8" float or sheet glass or clear fused-glass-edged insulating glass if shown on drawings.
Insect Screens: Manufacturer's standard removable units, for each operable sash, or extruded aluminum framing, with 18 x 14 replaceable coated aluminum 0.013" wire mesh and vinyl retainer spline.
Shop Prime Coat Finish: Manufacturer's standard wood primer, FS TT-P-2, applied to exterior-exposed surfaces only.
Installation: Install units true and plumb and in accordance w/ Sec. R613 of the IRC and the manufacturers installation instructions.

DIVISION 9 FINISHES

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 09 29 00 - GYPSUM BOARD

General: All Gypsum board materials and accessories shall be installed in conformance w/ Sec. R702.3 and Table R702.3.5 of the IRC.
Application: Gypsum sheathing shall be attached to exterior walls in accordance w/ Table R602.3(1)
Interior gypsum board shall not be installed where it is directly exposed to the weather or to water.
Manufacturers: Subject to compliance with requirements, provide gypsum board of types indicated (in maximum lengths available to minimize end joints) and related products by one of the following:
- Georgia-Pacific Corp.
- Gold Bond Building Products Div., National Gypsum Co.
- United States Gypsum Co.

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)
G-P Gypsum Corporation: DensArmor Plus and DensShield

Exposed Gypsum Board: ASTM C 36, 1/2" thickness. Use 5/8" type X where indicated.
Type: Regular, (except water-resistant in wet areas).
Edges: Tapered.
Trim Accessories: ASTM C 840, manufacturer's standard trim accessories, including corner bead and edge trim of beaded type with face flanges for concealment in joint compound.
Gypsum Board Joint Treatment Materials: Factory-prepackaged, vinyl-based products complying with ASTM C 475 and ASTM C 840, and paper reinforcing tape, unless otherwise indicated.
Install and finish gypsum board to comply with ASTM C 840.

SECTION 09 30 00 - TILING

Material Standards: Comply with ANSI A 137.1 Standard Specification for Ceramic Tile and ANSI 108 series of tile installation standards included under "American National Standard Specifications for the Installation of Ceramic Tile." TCA Installation Guidelines: TCA "Handbook for Ceramic Tile Installation," comply with the most stringent TCA installation methods indicated for each application.
Colors, Textures, and Patterns: For tile, grout, and other products requiring selection of colors, surface textures, patterns, and other appearance characteristics, comply with the finish schedule or match Owner's sample.
Marble Thresholds: Group "A", ASTM C 503, for exterior use with minimum hardness of 10.0 per ASTM C 241, white with honed finish unless otherwise indicated.
Setting Materials: Provide setting materials for thick-set installation in accordance with TCA recommendations for applications and substrate conditions.
Manufacturers:
-Green Recommended Manufacturers:
Crossville Incorporated, Eco Cycle Ceramic Tile

SECTION 09 64 00 - WOOD FLOORING

-Green Recommendation:
Materials:
Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.
Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor. Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC.)

Parquet Flooring: Manufacturer's standard 5/16" thick solid wood parquet flooring, factory-assembled with paper face, in units of the size and pattern indicated.
Wood Strip Flooring: Manufacturer's standard straight edge tongued-and-grooved and end-matched solid wood flooring, 25/32" thick x 2-1/4" strips, 2'-0" minimum length and averaging 4'-6" long, double channeled base.
Manufacturer: Subject to compliance with requirements, provided flooring by one of the following:
- Anderson Hardwood Floors, Inc.
- Bruse Hardwood Floors/Triangle Pacific Corp.
- Chickasaw/Memphis Hardwood Flooring Co.
- Kentucky Wood Floors, Inc.

-Green Recommended Manufacturers: (per BuildingGreen.com)
EcoTimber, Hand-Scraped Flooring, EcoTimber Exotics, EcoTimber Classics

Stain: Penetrating type, non-fading wood stain of color required to match Owner's sample.
Wood Filler: Paste type wood filler, pigmented if necessary to matching sample.
Floor Sealer: Penetrating type, pliable, wood-hardening finish/sealer. Penetrating Seal #21 by Hillyard Chemical Co., or Penetrating Triple XXX Seal-O-San by Huntington Laboratories, Inc., or equivalent sealer as recommended by flooring manufacturer.
Floor Wax: Liquid, solvent-type, slip-resistant, FS P-W-158, Type I, Class 2.
Cork Expansion Strip: Composition cork expansion strip FS HH-C-576, Type I-B, Class 2.
General: Comply with flooring manufacturer's instructions and recommendations for installation.
Conditioning: Do not proceed with wood floor work or delivery of materials until building is enclosed and humidity has stabilized at approximate level anticipated for sustained occupancy. Deliver wood flooring in advance of installation as recommended by manufacturer, but not less than 7 days before installation, in order to permit natural adjustment of moisture content. Open packages that are sealed to allow for climatization. Protect completed wood flooring during remainder of construction period with heavy Kraft paper or other suitable covering so that flooring and finish will be without damage or deterioration at the time of acceptance.

SECTION 09 65 00 - RESILIENT FLOORING

Flooring Allowances: See Division 1 for amount and procedures for purchase and payment (overrun or underrun). The costs of handling and installation are not covered by the allowance.
Submit samples of each type, color and pattern of resilient flooring and accessories: Full size for tile, 6" x 9" for sheet flooring, and 2-1/2" long for accessories, and maintenance instructions for each type of flooring.
Colors and patterns: As scheduled or shown, or as selected by Owner from manufacturer's standard colors and patterns.
Vinyl Composition Tile: FS SS-T-312, Type IV, composition I, 12" x 12" x 1/8".
Filled Vinyl Sheet with Backing: FS L-F-475, Type II, Grade A, manufacturer's recommended static load limit of 100 psi, 72" minimum sheet width manufacturing by Armstrong World Industries.
Installation: Comply with flooring manufacturer's recommendations for type(s) of materials, project conditions, and intended use.
Clean and repair/patch sub-floor and apply leveling compound and substrate primer in accordance with flooring manufacturer's instructions.

SECTION 09 68 00 - CARPETING

-Green Recommendation:
All carpet must comply with the Carpet & Rug Institute's Green Label Plus Program

Flooring Allowances: See Division 1 for amount and procedures for purchase and payment (overrun or underrun). The costs of handling and installation are covered by the allowance.
Install Carpet on clean, dry properly prepared substrate per manufacturer's recommendations and as follows:
Pre-plan installation for uniform direction of pattern and lay of pile, and proper sequencing with other work. Locate seams away from heavily traveled areas, centered under doors and without seams in direction of traffic at doorways and similar traffic patterns. Provide stretch-in tackless installation using glued and/or nailed tack strips with edges of carpet sealed at wall bases. Tape and/or sew seams in accordance with manufacturers recommendations. Cement padded cushion to substrate. Lay padding seams perpendicular to carpet layout. Stretch carpet both directions in accordance with manufacturers instructions.
Install edge guards at exposed edges. Bind edges with cloth tape and thread where not concealable. On stairs and similar substrates, anchor carpet with concealed nailing or other secure method, without seams at high-wear locations. Save carpet scraps, defined as mill ends less than 9" long and pieces larger than 3 sq. ft. in area and wider than 8", and deliver to Owner's storage space as directed. Dispose of smaller pieces.
Return to installation at time convenient to Owner and occupants, approximately 6 months after occupancy, and restretch carpet to eliminate wrinkles. Repair faulty seams and other faults in installation.
Manufacturers:
-Green Recommended Manufacturers and Products:
Interface, Inc., FLOR, Bentley Prince Street Cool Carpet
Millikon Floor Covering, Modular Carpet

SPECIFICATIONS

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SECTION 09 91 00 - PAINTING

-Green Recommendations:
Materials: Use only architectural paints and coatings that meet the standards below:

Standards for Environmentally Preferable Paints and Coatings (source: Leed for Homes Requirements, Table 25)

Component	Applicable Standard (VOC Content)	Reference
Paints, coatings, and primers applied to interior walls and ceilings	Flats: 50g/L Nonflats: 150g/L	Green Seal Standard GS-11, Paints, 1st Edition, May 20, 1993
Anticorrosive and anti-rust paints applied to interior ferrous substrates	250g/L	Green Seal Standard GC-03, Anti-Corrosive Paints, 2nd Edition, Jan.7, 1997
Clear wood finishes	Varnish: 350g/L Lacquer: 550g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Floor coatings	100g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Sealers	Waterproofing: 250g/L Sanding: 275g/L All others: 200g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Shellacs	Clear: 730g/L Pigmented: 550g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Stains	250g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings

Surface preparation, prime and finish coats specified are in addition to shop-priming and surface treatments.
Paint exposed surfaces whether or not, colors are designated in "schedules," except where a surface or material is indicated not to be painted or is to remain natural. Where an item or surface is not mentioned, paint the same as similar adjacent materials or surfaces.
Samples for verification purposes: Submit samples of each color and material to be applied, with texture to simulate actual conditions, on representative samples of the actual substrates: define each separate coat, including block fillers and primers. Use representative colors when preparing samples for review. Resubmit until required sheen, color, and texture is achieved.
Single Source Responsibility: Provide primers and undercoat paint produced by the same manufacturer as the finish coats. Final acceptance of colors will be from job applied samples.
Material Quality: Provide the manufacturer's best quality paint material of the various coating types specified. Paint material containers not displaying manufacturer's product identification will not be acceptable.
Acceptable Manufacturers:
- Pittsburgh Paints
- Porter Paints
- Benjamin Moore Paints
- Duron Paints
- Sherwin-Williams Co.

-Green Recommended Manufacturers and Products:
Sherwin Williams Co., Harmony
Benjamin Moore, Pristine Eco Spec
Pittsburgh Paints, Pure Performance

Examine substrates and conditions under which painting will be performed for compliance with requirements. Do not begin application until unsatisfactory conditions have been corrected.
Preparation: Remove hardware and accessories, plates, machined surfaces, lighting fixtures, and items in place that are not to be painted, or provided protection prior to surface preparation and painting. Remove items if necessary for complete painting of the items and adjacent surfaces. Following completion of painting, reinstall items removed using workmen skilled in the trades involved.
Clean surfaces before applying paint or surface treatments. Schedule cleaning and painting so dust and other contaminants will not fall on wet, newly painted surfaces.
Surface Preparation: Clean and prepare surfaces to be painted in accordance with manufacturer's instructions for each particular substrate condition.
Application: Apply paint in accordance with manufacturer's directions. Use applicators and techniques best suited for substrate and type of material being applied. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film.
Minimum Coating Thickness: Apply material at the manufacturer's recommended spreading rate. Provide total dry film thickness of the system as recommended by the manufacturer. Apply additional coats when undercoats or other conditions show through final coat, until paint film is of uniform finish, color and appearance.
Paint colors, surface treatments, and finishes are determined by the Owner if not otherwise indicated on the drawings.

DIVISION 10 SPECIALTIES

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 10 28 19 -TUB AND SHOWER DOORS:

Shower enclosures (unless otherwise shown on the drawings). Provide aluminum-framed 3/16" tempered glass, or approved shatterproof laminated safety glass or plastic. Provide sliding panels with towels bars. All enclosures shall be minimum height of 6'0" above finish floor.

DIVISION 11 EQUIPMENT

-Green Recommendation:
Install High-Efficiency Appliances that meet or exceed ENERGY STAR standards and have an ENERGY STAR label.
Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Equipment Allowances: See Division 1 for amount and procedures for purchase and payment (overrun and underrun). The costs of handling and installation of Appliances are not covered by the allowances and shall be included in the base bid.
General: Installation of appliances shall conform to the conditions of their listing and label and the manufacturer's installation instructions.
See Mechanical System Requirements, Chapter 13, Sec. M1307, APPLIANCE INSTALLATION, of the IRC.
Verify all rough-in dimensions for all built-in appliances.
Residential equipment required is indicated on drawings. Include cords, valves, duct hoods, vents, as required for a complete installation.

DIVISION 12 FURNISHINGS

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 12 35 30 - RESIDENTIAL CABINETS

Cabinet Allowances: See Division 1 for amount and procedures for purchased and payment (overrun or underrun). The costs of handling and installation including hardware and drawer pulls are covered by the allowance.
Sizes, Shapes and Types: Provide the sizes and types of units as shown, complete with drawers, doors, shelves, compartments for appliances and fixtures, and special features as indicated.
Installation: Anchor cabinet units securely in place with concealed (when doors and drawers are closed) fasteners, anchored into structural support members of wall construction. Comply with manufacturer's instructions and recommendations for support of units.
Counter Tops: Attach counter tops securely to base units. Spline and glue joints in counter tops; provide concealed mechanical clamping of joint. Provide cut-outs for fixtures and appliances as indicated: smooth cut edges and coat with waterproof coating or adhesive.
Complete hardware installation and adjust doors and drawers for proper operation.

DIVISION 22 PLUMBING

Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Water Reuse:
Design and install a rainwater harvesting and storage system for landscape irrigation or indoor water use. The storage system must be sized to hold all water from a 1" rain event.
Design and install a graywater reuse system with a tank or dosing basin for landscape irrigation use or indoor water use. Graywater can be collected from clothes washer, shower, faucets and other source. If available, utilize a municipal recycled water system.
Fixtures:
Use high efficiency fixtures and fittings:
- Faucets: average flow rate must be ≤ 2.0 gpm (gallons per minute).
- Showers: average flow rate must be ≤ 2.0 gpm (gallons per minute).
- Toilets: average flow rate must be ≤ 1.3 gpm (gallons per minute) or meet ASME A112.19.14 requirements or meet the U.S. EPA WaterSense Spec.

Use dual flush toilets when possible.
Efficient Systems:
Design and install an energy-efficient hot water distribution system.
Insulate all hot water piping with R-4 insulation and ensure the 90 degree elbow bends are adequately insulated.
Design and install Energy-efficient Domestic Hot Water(DHW) Equipment .

Soil and Waste Piping: Shall be approved PVC extending 5'0" beyond exterior wall. Vent piping shall be approved PVC. All vent piping penetrating roof shall be properly flashed with G.I. roof jacks and painted to match roof. Where possible, route all vents to rear side of ridges or to the least visible location.
Clean-outs: Provide cleanout at 50' o.c; at end of all branched section, at change of direction at base of all accessible traps and at all points necessary to remove obstructions. Clean-outs shall be set flush with walls, floors and or grades.
Plumbing Fixtures and Equipment: Furnish all fixtures, complete with all compression stops, strainers, tailpieces, trim, etc.
All exposed brass tubing supplies, cast brass traps, and waste pieces shall be polished chrome plated. Finish all piping through walls, floors or ceiling with chrome plated wall flanges or escutcheons.
Hot and Cold Water Piping: Water piping shall be copper or approved equal. Tubing under or within concrete slab shall be type "K" tubing above slab shall be type L. No fittings shall occur under slab. Connections between copper and ferrous piping shall be made with dielectric or approved isolation fittings. Provide 150 psi hydrostatic test on all water piping system prior to covering.
Gas Piping: Shall be installed in accordance w/ Chapter 24, Fuel Gas, IRC
Water Heaters: Provide temperature/pressure relief valve within 6" from top of heater and pipe to exterior of building using copper or steel piping (plastic not allowed). Water heaters shall be installed with minimum 6" unobstructed clearance at front and 2" at sides and rear. When installed in garage, place on raised platform 18" above finished floor. (Refer to heating Section for combustion air requirements)
Miscellaneous Plumbing Items:
Washer stub-outs: Provide hot and cold water and drain at washer locations. Locate as required to conceal from view after appliance is installed.
Hose Bibs: Furnish and install as shown on the drawings. If not shown, provide minimum of 2 Hose Bibbs.
Provide capped tees for lawn sprinkler connections. Install hose bibs as tight to exterior wall as connections allow.
Through penetrations: Piping penetrating fire-resistance-rated wall or floor assemblies shall comply w/ Sec. R317.3 of the IRC.
Isolate hot and cold water lines from the framing with 1/4" thick felt, carpet padding, or equal.
The wall cavity containing water piping or plastic waste and vent lines must be packed solid with open-faced insulation (sprayed-on cellulose okay).
Common supply or waste line connections passing through sound separations are prohibited.

DIVISION 23 HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

-Green Recommendation:
General Design:
*Design and size HVAC equipment properly according to ACCA Manual J, the ASHRAE Handbook of Fundamentals or equivalent procedure. HVAC equipment must meet the ENERGY STAR for Homes National Builder Option Package outlined in table below. Install certified and labeled ENERGY STAR programmable thermostat.

HVAC Requirements (source: Leed for Homes Requirements, Table 19)

	End Use	Central AC and air source heat pumps	Furnaces (gas, oil or propane)	Boilers (gas, oil or propane)	Ground Source Heat Pump-open loop	Ground Source Heat Pump-closed loop	Ground Source Heat Pump-direct expansion
Good HVAC Design and Installation (Climate Zones 4-8)	Cooling Heating	≥ 13 SEER ≥ 8.2 HSPF	≥ 90 AFUE	≥ 85 AFUE	≥ 16.2 EER ≥ 3.6 COP	≥ 14.1 EER ≥ 3.3 COP	≥ 15 EER ≥ 3.5 COP
Good HVAC Design and Installation (Climate Zones 1-3)	Cooling Heating	≥ 14 SEER ≥ 8.2 HSPF	≥ 80 AFUE	≥ 80 AFUE	≥ 16.2 EER ≥ 3.6 COP	≥ 14.1 EER ≥ 3.3 COP	≥ 15 EER ≥ 3.5 COP

Air Conditioning Refrigerants:
*Conduct a Refrigerant Charge Test to ensure performance.
Install an HVAC system with non-HCFC refrigerants or do not use refrigerants.

Indoor Air Quality:
Complete all the requirements of the US EPA's Energy Star w/ Indoor Air Package.
Combustion Venting- All of the following are required:
*no unvented combustion appliances to be used,*a carbon monoxide monitor must be installed on each floor, *all fireplaces and woodstoves must have doors ,*space and water heating equipment that involves combustion must be closed, have a power vented exhaust, or located in a detached utility or open air facility.
Use a blower-door test to measure the pressure difference created by the presence of a chimney-vented appliance and limit the risk of backdrafting where the pressure difference is ≤ 5 Pascals.

Forced Air Systems:
*Minimize energy consumption due to thermal bridges and/or leaks in the heating and cooling system. Limit duct leakage rate to outside the conditioned envelope. The tested leakage rate must be ≤ 4.0 cfm at 25 Pascals per 100 square feet of conditioned floor area for each installed system.
*Ducts to be installed in interior walls and to be fully ducted. If installed in exterior walls, extra insulation is needed to maintain the overall UA for an exterior wall without ducts.
*Minimum R-6 insulation to be used around ducts in unconditioned spaces.
*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of fundamentals for ducted and non-ducted systems and install ducts accordingly.
Assure each room has adequate return air flow through multiple returns, transfer grilles or jump ducts. Openings should be sized to 1 square inch of cfm of supply, and pressure differential between closed rooms and adjacent spaces should be less than 2.5 Pascals.
Use Anti-stratification system when possible, that re-circulates hot air that has risen to upper areas into lower areas.

Nonducted HVAC Systems
*Use at least R-3 insulation around distribution pipes in unconditioned spaces. (If possible, keep the boiler and distribution pipes in conditioned space.)
Install outdoor reset controls based on outdoor air temperature.
*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of fundamentals for ducted and non-ducted systems and install ducts accordingly.
Design and install flow control valves on every radiator of Hydronic systems for a room by room system or install two distinct zones with independent thermostat controls.

Moisture Control:
Maintain relative humidity below 60% with additional dehumidification equipment or a central HVAC system with additional controls to operate in dehumidification mode.
*Install nonpaper-faced backer board on walls around tub, showers and spa areas
*Use water resistant flooring in kitchens, bathrooms, laundry rooms, entry areas within 3' of exterior door and spa areas; do NOT use carpet
*Install drain and drain pan in hot water heater if it is in or over living space
*Install drain and drain pan, or accessible single-throw supply valve to clothes washer if it is in or over living space.
*Exhaust dryer directly to outdoors
*Install drain and drain pan to condensing clothes dryer

Outdoor Air Ventilation
*Design and install a whole building ventilation system that complies with ASHRAE Standard 62.2-2007 (unless built in a mild climate (fewer than 4,500 infiltration degree-days)).

Local Exhaust
*Design and install local exhaust systems in all bathrooms and kitchens to meet requirements of ASHRAE Standard 62.2-2007 Section 5.
*Design and install the fans and ducts to meet requirements of Section 7 of ASHRAE Standard 62.2-2007.
*Exhaust air directly to the outdoors
*Use Energy Star labeled bathroom exhaust fans.
Use an occupancy sensor, an automatic humidistat controller, an automatic timer or a continuously operating exhaust fan for bathrooms.

Air Filtering
*Install air filters ≥ MERV 8 for forced air systems and nonducted HVAC systems. Maintain adequate pressure and air flow in all mechanical ventilation systems.

Contaminant Control
Seal all permanent ducts and vents to minimize contamination during construction and remove seals after construction is complete.
Flush the home for 48 hours prior to occupancy but after all phases of construction are completed.

Radon Protection
If located in EPA Radon Zone 1, design and build with radon-resistant construction techniques prescribed by the EPA , IRC or equivalent standard.

Garage Pollutant Protection
*No HVAC systems in garage; place all air-handling equipment and ductwork outside the fire-rated envelope of garage.
When possible, detach garage completely from house.
Tightly seal shared surfaces between garage and conditioned spaces. --If space is above garage: seal all penetrations, seal all connecting floor and ceiling joist bays, and paint wall and ceilings to avoid carbon monoxide penetration through gypsum board. If space is adjacent to garage: weather-strip all doors, place carbon-monoxide detectors in rooms adjacent, seal all penetrations and seal all cracks at base of the walls.
Install an exhaust fan in garage rated for continuous operation.

Installation: Heating and Cooling equipment and appliances shall be installed in accordance w/ the IRC and the manf. installation instructions.
Access: Equipment shall be located w/ respect to building construction and other equipment to permit maintenance, servicing and replacement.
Clearances shall be maintained to permit clearing of heating and cooling surfaces: replacement filters, blowers, motors, controls and vent connections; lubrications of moving parts; and adjustments.
Sizing: Heating and Cooling equipment shall be sized based on building loads calculated in accordance w/ ACCA Manual J or other approved heating and cooling calculations methodologies.
Flood Hazard: In areas prone to flooding as established by Table R301.2 of the IRC, heating and cooling equipment and appliances shall be located or installed in accordance w/ Sec R323.1.5 of the IRC.
Duct Design: Duct systems serving heating, cooling and ventilation equipment shall be fabricated in accordance w/ the provisions of Chapter 16, of the IRC and ACCA Manual D or other approved methods.
Venting Required: Fuel-burning appliances shall be vented to the outside in accordance w/ their listing and label and manufacturer's installation instructions except appliances listed and labeled for unvented use. Venting systems shall consist of approved venting systems that are integral parts of labeled appliances.
Gas-Fired appliances shall be vented in accordance w/ Chapter 24 of the IRC.
Electrical distribution systems shall comply w/ Part VIII, Chapters 33 through 42, of the IRC; the NEC, and NFPA 70.
Materials: Materials and equipment shall be new and listed by Underwriter's Laboratories, Inc., and all work shall conform with the requirements of the National Electrical Code and NFPA 70.
Circuits: Electrical system layouts are generally diagrammatic and location of outlets and equipment is approximate. Exact location of outlets and circuiting shall be governed by structural conditions and obstructions as well as applicable sections of the NEC.
a) Lighting Circuits: 15 AMP with #14 AWG conductors (120V).
b) Receptacle Circuits: 20 AMP with #12 AWG conductors (120).
c) Provide 2 separate appliance circuits at kitchen, 20 AMP with #12 AWG conductors (120).
Convenience Receptacles: Shall be placed maximum 12'-0" on centers along room perimeter and Maximum 6'-0" from end walls, and at all furnishable walls exceeding 2'-0" from end wall, and at all furnishable walls exceeding 2'-0" in length.
a) All receptacles shall be grounded type.
b) Locate receptacles 8" above floor and countertops, unless otherwise noted.
c) Install 240V receptacles where noted on the drawings.
d) All switched receptacles shall be one half hot.

DIVISION 26 ELECTRICAL

-Green Recommendation:
Lighting:
*Install at least four Energy Star labeled light fixtures or Energy Star labeled compact fluorescent light bulbs in high use rooms.
Install Energy Star labeled fixtures wherever possible.
Renewable Energy:
Design and install a renewable electricity generation system by using energy modeling to estimate the energy supplied by the system and the annual reference electrical load. The annual reference load is the amount of electricity that a typical home would consume in a given year and can be calculated by using the 2006 Mortgage Industry National Home Energy Rating Standards Guidelines. Home design should be at least 3% better than annual reference load.

Light Switch: Located at 48" above finish floor and 8" above counter tops, unless otherwise noted. Verify counter height w/ Owner.
System Grounding: Provide accessible junction box and necessary conducts for grounding main electrical system in accordance w/ Sec. E3507.1 of the IRC and Sections 250.20(b)(1) and 250.24(a).
Smoke Detectors: Provide approved smoke detector and alarm system conforming to UBC Standard 43-6 at locations shown on the drawings.
Aluminum wire shall not be used in electrical wiring within the dwelling unit.
All equipment installed outdoors and exposed to weather shall be "weather-proof"
Provide a separate 20 ampere laundry circuit.
Provide ground fault circuit interrupter (GFI) protection at all bathrooms, powder rooms, outdoor receptacles and garages
in accordance w/ Sec. E3802 of the IRC.
Verify minimum flood elevation prior to placement of devices, equipment, and appliances.

DIVISION 31 EARTHWORK

-Green Recommendation:
Site Selection:
Do not develop, build or pave on portions of site that meet the following criteria:
- -land that is at or below the 100-year floodplain (as determined by FEMA).
- -land that is named a habitat for any endangered or threatened species (as determined by state or federal agencies).
- -land that is within 100 feet of water

Build on a previously developed lot if possible, or on a site that is adjacent to a previously developed site.
Select a lot that is within ½ mile of existing infrastructure (water and sewer lines).
Select a lot that is within ½ mile of open space accessed by the public or private community.
Build homes with an average housing density of 7 or more dwelling units/acre, or a single home on 1/7 acre.

Building Orientation for Solar Design:
Site the building so that the glazing area on the north and south facing walls is at least 50% greater than the sum of the glazing area on the east and west walls.
Orient the building so that the east-west axis of the building is within 15 degrees of due east and due west.
The roof south-facing area should have a minimum of 450 s.f. of area oriented properly for solar applications.

Site Stewardship:
*Implement a plan of erosion control during construction to include:
- -stockpile and protect disturbed topsoil from erosion.
- -control the path and velocity of runoff with silt fencing or other measures.
- -protect on-site storm sewer inlets, streams and lakes with straw bales, silt fencing, or other measures.
- -provide swales to divert surface water from hillsides.
- -in sloped areas, keep soil stabilized on sloped areas by using tiers, erosion blankets, compost blankets or other measures.

Protect trees and plants with "tree protection area" fence delineated on site plan and on lot.
Only develop and disturb necessary amount of site; leave as much undisturbed as possible.

Landscaping:
*Use native plants: do not introduce invasive plant species into landscape.
Use drought tolerant plants and turf or install irrigation system to reduce water usage.
Do not use turf in areas with a slope of 25% or more or in densely shaded areas. If possible, limit the use of turf.

Heat Island Effects:
Locate trees and other plants to shade hardscape areas.
Use light-colored high-albedo materials to pave sidewalks, patios and driveways. Examples include white concrete, light gray concrete, open pavers and/or any material with a SRI index of at least 29.

Surface Water Management:
Use retaining walls and terracing for permanent erosion control on steep sites.
Use permanent stormwater controls such as vegetated swales, on-site rain gardens, dry wells, or rainwater cisterns designed to manage runoff from home. If feasible in design, install a vegetated roof for at least ½ the roof area.
Use permeable materials such as pavers, turfstone, gravel and others for driveways and patios.

All earthwork shall be performed in accordance with applicable standards enforced by jurisdiction at which the project is located.
Earthwork shall be performed in accordance with recommendations contained in the soils report provided by the Owner, if applicable.
The soils report shall be considered as part of the construction documents. Refer to foundation plan and details for specific requirements.
All footings shall bear on firm, fully compacted, natural soil or on approved compacted fill. All imported soil shall be acceptable to the Soils Engineer. Sub-grade failing to meet compaction requirements shall be re-compacted and tested until specified results are achieved at no additional expense to Owner. Refer to Civil Engineer's grading and plot plans.
Refer to the Landscape Architect's grading and construction documents for fine grading.
All finish grades shall be placed so as to provide positive drainage away from the building.

SECTION 31 31 16 - TERMITE CONTROL

-Green Recommendation:
Implement one or more of the following measures below.
- -Keep all wood (i.e., siding, trim, structure) at least 12 inches above soil.
- -Seal all external cracks, joints, penetration, edges, and entry points with caulking. Where openings cannot be caulked or sealed, install rodent and corrosion proof screens (e.g., copper or stainless steel mesh). Protect exposed foundation insulation with moisture-resistant, pest -proof cover (e.g., fiber cement board, galvanized insect screen).
- -Include no wood-to-concrete connections or separate any exterior wood-to-concrete connections (e.g., at posts, deck supports, stair stringers) with metal or plastic fasteners or dividers.
- -Install landscaping such that all parts of mature plants will be at least 24 inches from the home.
- -In areas named &moderate to heavy through &very heavy* on the termite infestation probability map (See IRC - all of the Southeast) implement one or more of the following measures:
- -Treat all cellulosic material (e.g., wood framing) with a borate product to a minimum of 3 feet above the foundation
- -Install a sand or diatomaceous barrier
- -Install a steel mesh barrier termite control system.
- -Install a non-toxic termite bait system. (Recommend terminix or equal)
- -Use noncellulosic (i.e., not wood or straw) wall structure.
- -Use solid concrete foundation walls or masonry wall with top course of solid brick bond beam or concrete filled block.

General: In areas favorable to termite damage as established by Table 301.2(1) of the IRC, methods of protection shall be in accordance w/ applicable provisions of sections R318 and R320.
Chemical soil treatment: The concentration, rate of application, and treatment method of the termiticide shall be consistent w/ and never less than the termiticide label.
Soil treatment shall not be applied until all fine grading and prep is complete. Once applied, Termiticide shall not be disturbed.

DIVISION 32 EXTERIOR IMPROVEMENTS

SECTION 32 14 00 - UNIT PAVERS

-Green Recommendation:
Permeable paving, installed by an experienced professional. Permeable paving must include porous above-ground materials (e.g., open pavers, engineered products) and a 6-inch porous subbase, and the base layer must be designed to ensure proper drainage away from the home.

DIVISION 33 UTILITIES

SECTION 33 46 00 - SUBDRAINAGE

Foundations and foundation drainage shall comply w/ Chapter 4, Sec. R401, of the IRC.
Concrete or masonry foundations: Drains shall be provided around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Materials shall be in accordance w/ Sec. R405 of the IRC.

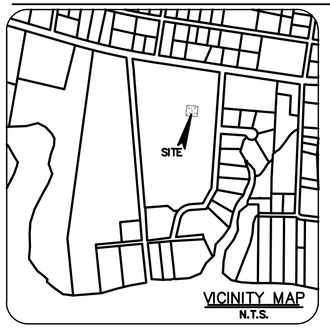
SPECIFICATIONS

ALLISON RAMSEY Architects, Inc. creating sustainable, timeless design
1009 Charles St.
Beaufort SC, 29902
(843) 986-0539
www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-VERIFY COMPLIANCE WITH ALL LOCAL CODES
-PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD BE INCORPORATE
-HVAC + PLUMBING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE
-LOT MUST BE EVALUATED FOR SOIL CONDITIONS PRIOR TO CONSTRUCTION
-VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE : 04/06/2021
JOB NO. :
DWN. BY : smh
DWG. NAME : GreenSpecs2021.dwg

SP3



1.0 LANDSCAPE NOTES

1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

1.3 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.

1.4 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.

1.5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/HER FAILURE TO COMPLY.

1.6 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES OF PLANTS SHOWN BY LANDSCAPE SYMBOLS SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE.

1.7 NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPAL REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIAL SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

2.0 TREE PROTECTION

2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

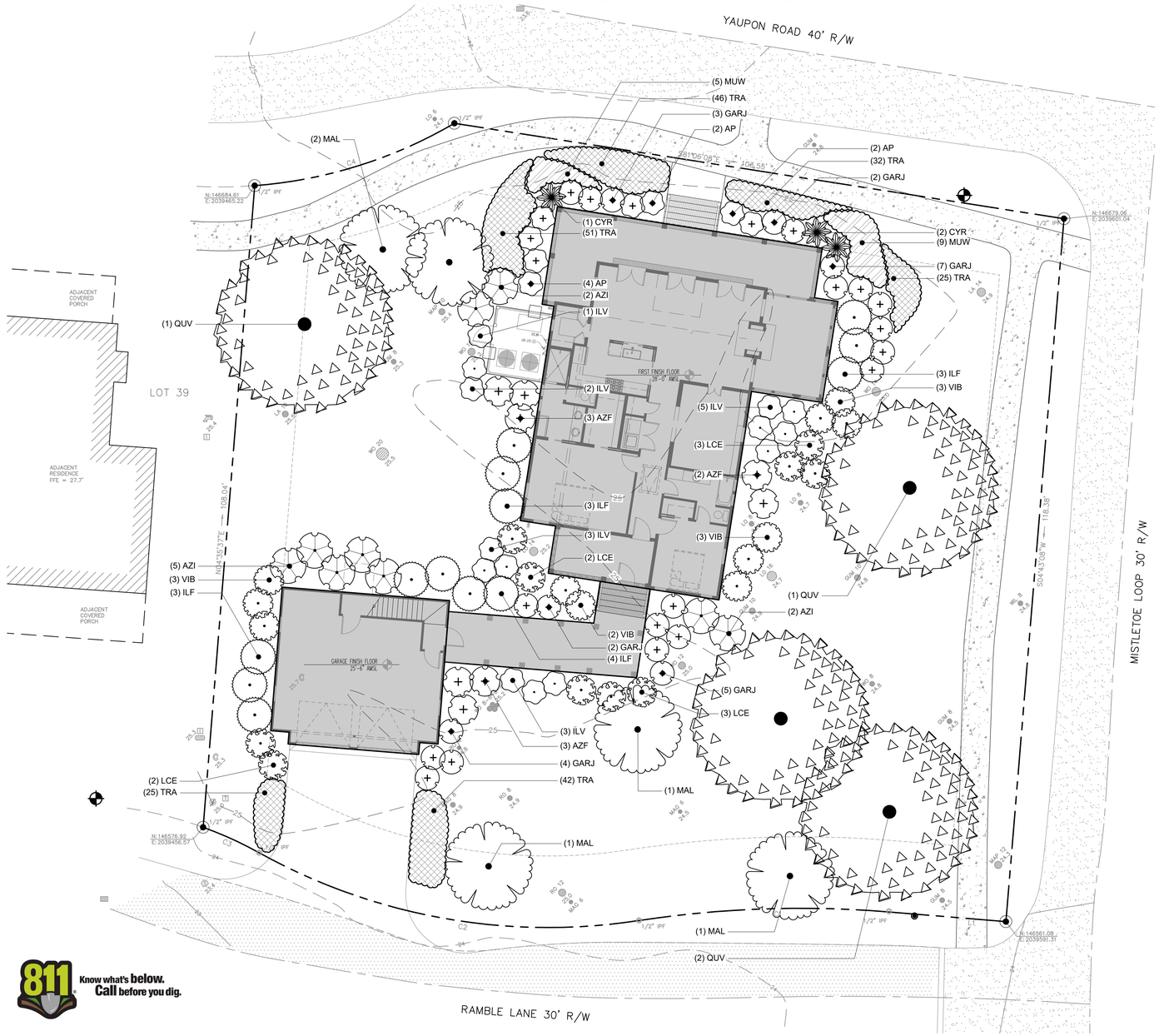
2.2 MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.

2.3 VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT OR OWNER.

2.4 ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

2.5 NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT OR THE OWNER.

2.6 NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.



REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

25.5	SPOT ELEVATION
	CONTOUR
1/2" IPF ◎	1/2" IRON PIN FOUND FOUND
TBM	TEMPORARY BENCH MARK
FFE	FINISHED FLOOR ELEVATION
LO	LIVE OAK
LA	LAUREL OAK
MAG	MAGNOLIA
RO	RED OAK
WIL	WILLOW
WO	WATER OAK
MAP	MAPLE
GUM	GUM
	ELECTRIC SERVICE
T	TELEPHONE SERVICE
	WATER METER
I	IRRIGATION CONTROL VALVE
S	SANITARY MANHOLE
	PIPELINE MARKER
	CATCH BASIN
C	CLEANOUT
	WELL PUMP

CANOPY TREES (8"-12" CALIPER TREES REMOVED)
- (1) LAUREL OAK (28" TOTAL CALIPER)
- (5) MAGNOLIA (38" TOTAL CALIPER)
- (1) WATER OAK (42" TOTAL CALIPER)
- (4) LIVE OAK

(17) TOTAL TREES REMOVED

CANOPY TREES (PROPOSED)
- (4) 8" MIN. CAL LIVE OAKS
  - COUNTED AS 12 REPLACEMENT TREES (3 EACH)
- (5) 2.5" MIN. CAL 'LITTLE GEM' MAGNOLIA
  - COUNTED AS 5 REPLACEMENT TREES (1 EACH)

SITE IMPERVIOUS:

TOTAL LOT SQ. FT.:	16,828 SQ. FT.
SQ. FTG. OF IMPERV.:	5,083 SQ. FT.
% OF IMPACT:	30%

REFERENCE PLAT

1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000, & TMS R610 039 000 0291 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
DRAWN: 4/30/08
RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08
ROD. BEAUFORT COUNTY, SC
BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 Sq. Ft.

ADDRESS: 5783 YAUPON ROAD

DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X

BASE FLOOD ELEVATION = N/A

COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021

NOTES:
1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
5) VERTICAL DATUM IS NAVD88.
6) CONTOUR INTERVAL IS 1'
7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
8) BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	42.17'	180.00'	21.18'	42.07'	S88°00'26"W	013°25'23"
C2	65.87'	100.00'	34.18'	64.69'	S79°50'05"E	037°44'27"
C3	10.29'	65.00'	5.16'	10.28'	N65°30'02"W	009°04'13"
C4	35.42'	78.00'	18.02'	35.12'	N72°39'48"E	026°01'05"

LINE TABLE		
LINE	LENGTH	BEARING
L1	19.73'	N85°16'52"W

NOTES:
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THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY JUSTIN R. KESSELRING S.C.R.L.S. # 29901
THIS ELECTRONIC MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT.
A CERTIFIED HARDCOPY MAY BE OBTAINED FROM NANDINA, INC. UPON REQUEST

NANDINA
d.b.a. Sea Island Land Survey, Inc.
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926
Tel (843) 681-3248
Fax (843) 689-3871
E-mail: admin@nandinainc.com

FILE No : 23169 DWG No. : 9-23169

CAD: CG, FLD: DB

5' 0' 5' 10' 20'
SCALE: 1" = 10'-0"

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

KOONTZJONESDesign
LAND PLANNING | LANDSCAPE ARCHITECTURE
150 SOUTH PAGE STREET
SOUTHERN PINES, NC 28387
P: (910) 684-6827
W: www.koontzjonesdesign.com

REVISIONS:

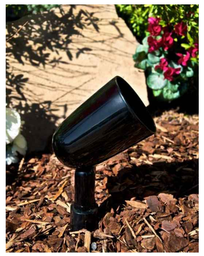
HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA
LANDSCAPE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
DRAWN BY: SCW
CHECKED BY: TH
SCALE: 1" = 10'
PROJECT #: KDI1672

SHEET NUMBER#:
L-2.0

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	CAL.	NOTES
TREES								
	QUV	4	Quercus virginiana / Southern Live Oak	8-10`	6-8`	-	6" CAL.	Specimen - Natural Form
UNDERSTORY								
	MAL	5	Magnolia grandiflora `Little Gem` / Dwarf Southern Magnolia	6-8`	-	-	2.5" MIN.	Full to base
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
SHRUBS								
	AZF	8	Azalea indica `Formosa` / Formosa Azalea	24"	24-30"	container	-	purple
	AZI	9	Azalea indica 'Mrs. G.G. Gerbing' / Mrs. G.G. Gerbing Indica Azalea	40-48"				
	AP	8	Azalea x `Homlea` / Autumn Dove™ Encore® Azalea	24"	24-30"	container	-	white
	CYR	3	Cycas revoluta / Japanese Sago Palm	30-36"	30-36"	container	-	
	GARJ	23	Gardenia jasminoides `August Beauty` / Gardenia	24-36"	-	container	-	
	ILV	14	Ilex vomitoria 'Stokes Dwarf' / Stokes Dwarf Yaupon Holly	3 GAL.				
	ILF	13	Illicium floridanum / Florida Anise	36"-42"	-	container		
	LCE	10	Loropetalum chinense `Ever Red Sunset` / Ever Red Sunset Loropetalum	24-30"	24-30"	container	-	
	VIB	11	Viburnum suspensum / Sandankwa Viburnum	30-36"	30-36"	container		
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONTAINER	SPACING	NOTES
GROUND COVERS								
	MUW	14	Muhlenbergia capillaris `White Cloud` / White Muhly Grass	8-12"	6-10"	container	36" O.C.	
	TRA	221	Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine	6-8"	18" runners	container	18" O.C.	



MODEL:
PHILLIPS HADCO B1-A
PAR/R-20 LAMP-50W
COLOR TO BE BLACK
(OR APPROVED EQUAL)

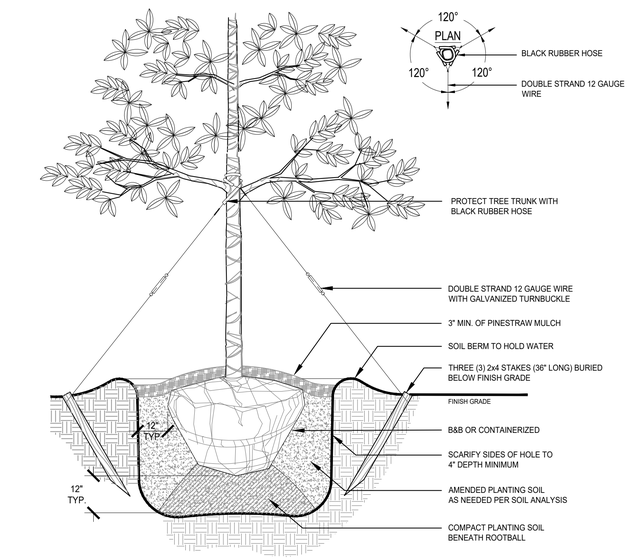
ALL JUNCTION BOXES TO BE BELOW GRADE

MANUFACTURER:
PHILLIPS HADCO
100 CRAFTWAY
LITTLESTOWN, PA 17340
V: 717-359-7131
F: 717-359-9289

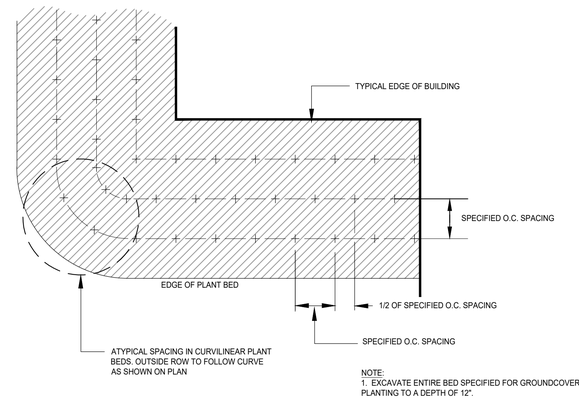
NOTES:
1. SEE LANDSCAPE PLANS FOR LOCATIONS. FINAL LOCATIONS TO BE COORDINATED WITH CONTRACTOR.

ACCENT UPLIGHT
PICTORIAL — NTS

NOTES:
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.

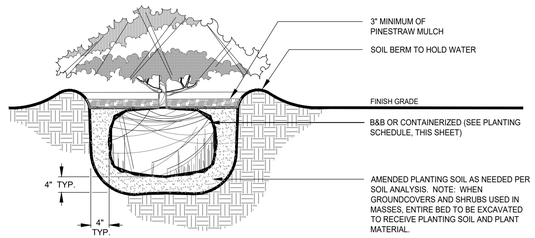


TREE PLANTING (TYP.)
SECTION — NOT TO SCALE



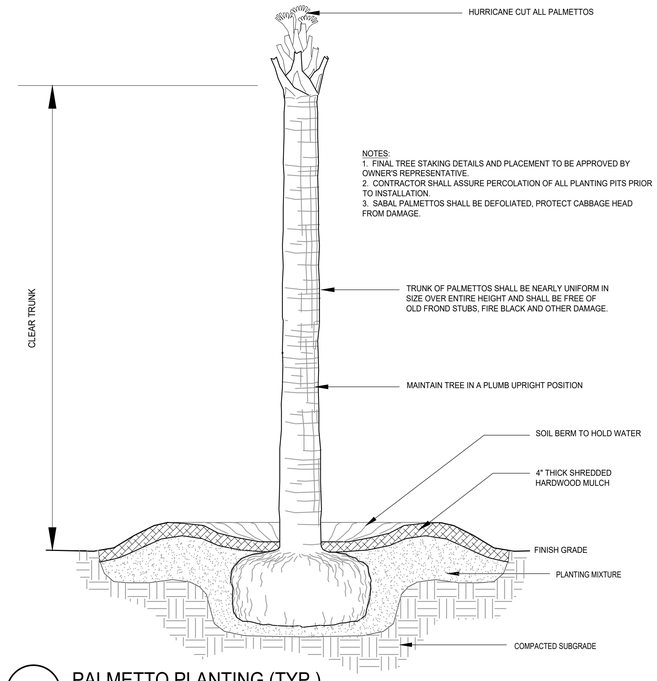
NOTE:
1. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER PLANTING TO A DEPTH OF 12".

TRIANGULAR SPACING FOR SHRUBS AND GROUNDCOVERS
PLAN — NOT TO SCALE



NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE :2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.

SHRUB PLANTING (TYP.)
SECTION — NOT TO SCALE



NOTES:
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
3. SABAL PALMETTOS SHALL BE DEFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

PALMETTO PLANTING (TYP.)
SECTION — NOT TO SCALE

811 Know what's below. Call before you dig.

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150 SOUTH PAGE STREET
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P: (910) 684-4857
W: www.koontzjonesdesign.com

REVISIONS:

HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA
LANDSCAPE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
DRAWN BY: SCW
CHECKED BY: TH
CAD ID: TH
SCALE: N/A
PROJECT #: KID1672

SHEET NUMBER#:
L-2.1

1.0 LANDSCAPE NOTES

1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.

1.3 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.

1.4 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.

1.5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/HER FAILURE TO COMPLY.

1.6 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES OF PLANTS SHOWN BY LANDSCAPE SYMBOLS SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE.

1.7 NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPAL REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIAL SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.

2.0 TREE PROTECTION

2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

2.2 MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.

2.3 VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT OR OWNER.

2.4 ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

2.5 NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT OR THE OWNER.

2.6 NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

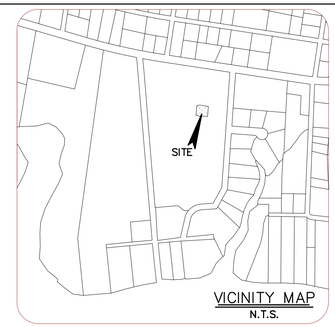
3.0 GRADING NOTES:

3.1 DRY WELL SYSTEM TO BE PROVIDED BY NDS FLO-WELL. ALL CALCULATIONS WERE BASED ON THE FLO-WELL SYSTEM, UTILIZING A 25-YEAR STORM AT 2.5 IN/HR.

3.2 FLO-WELL SYSTEM TO HAVE 24" MIN. OF 3/4" TO 1-1/2" CLEAN GRAVEL BACKFILL BENEATH EACH CHAMBER AND IN BETWEEN EACH WELL.

3.3 PROVIDE SURFACE DRAIN INLET WITH GRATE AT LOW POINT.

3.4 INSTALL FLO-WELL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS AND VERIFY HEIGHT OF WATER TABLE PRIOR TO INSTALLATION.



LOT AREA:
±16,828 SF (0.38 AC)

DRAIN INLET ELEVATIONS

DI #1	24.17
DI #2	24.50
DI #3	24.00

IMPERVIOUS CALCULATIONS

HOUSE/GARAGE FOOTPRINT	±3,118 SF	
DRIVE & WALKS	±1,965 SF	
TOTAL:	**±5,083 SF**	(30% IMPERVIOUS)

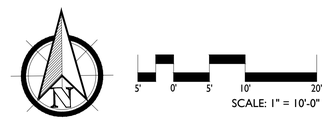
LEGEND:

- 20 WOK — TREE TO REMAIN
- 20 WOK — TREE TO BE REMOVED
- 6" CORRUGATED DRAIN PIPE
- DI 3 RIM 13.9 — YARD DRAIN INLET (SEE DETAIL 1 / L1.1)
- PD3 — PLANTBED DRAIN INLET (SEE DETAIL 2 / L1.1)
- DRY WELL BASIN (TYP)

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

95	SPOT ELEVATION
9	CONTOUR
1/2" IPF ◎	1/2" IRON PIN FOUND FOUND
TBM	TEMPORARY BENCH MARK
FFE	FINISHED FLOOR ELEVATION
LO	LIVE OAK
LA	LAUREL OAK
MAG	MAGNOLIA
RO	RED OAK
WIL	WILLOW
WO	WATER OAK
MAP	MAPLE
GUM	GUM
	ELECTRIC SERVICE
T	TELEPHONE SERVICE
	WATER METER
I	IRRIGATION CONTROL VALVE
S	SANITARY MANHOLE
	PIPELINE MARKER
	CATCH BASIN
C	CLEANOUT
	WELL PUMP



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P: (910) 684-4607
W: www.koontzjonesdesign.com

REVISIONS:

HINTZ RESIDENCE

LOT 38, STOCK FARM SUBDIVISION

BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA

GRADING AND DRAINAGE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
DRAWN BY: SCW
CHECKED BY: TH
SCALE: 1" = 10'
PROJECT #: KDI1672

SHEET NUMBER#:
L-1.0

MODEL:
MANUFACTURER: NDS
MODEL: 12" SQUARE CATCH
BASIN GRATE - PN #1211
COLOR: BLACK
MATERIAL: HDPE
(OR APPROVED EQUAL)

NOTE:
1. SEE GRADING PLAN FOR LOCATIONS.

1 12" SQUARE DRAIN GRATE

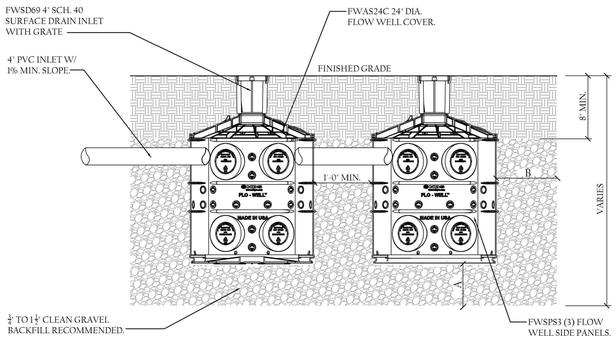
NTS

MODEL:
MANUFACTURER: NDS
MODEL: 9" SQUARE ATRIUM GRATE
COLOR: BLACK

NOTE:
1. SEE GRADING PLAN FOR LOCATIONS.

2 9" ATRIUM GRATE (PLANTBED)

NTS



3 FLO-WELL ENGINEERED DRY WELL BY NDS

NTS

Know what's **below.**
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REVISIONS:

HINTZ RESIDENCE

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BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA

GRADING AND DRAINAGE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
DRAWN BY: SCW
CHECKED BY: TH
QA BY: TH
SCALE: N/A
PROJECT #: KDJ1672

SHEET NUMBER#:
L-1.1

ATTACHMENT 4
PLAN REVIEW COMMENTS FOR COFA-05-24-019129

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	**Historic District**	**Apply Date:**	**05/10/2024**
Plan Status:	**Active**	**Plan Address:**	**5783 Yaupon Rd Road BLUFFTON, SC 29910**
Case Manager:	**Katie Peterson**	**Plan PIN #:**	**R610 039 000 1515 0000**

Plan Description: **A request by Southern Coastal Homes, on behalf of the Owners Nathalie and Andrew Hintz, for review of a Certificate of Appropriateness - HD to construct a new 1-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. Status: The application is under review and will be heard at the June 10, 2024 HPRC meeting.**

Staff Review (HD)

Submission #: 1 Received: 05/10/2024 Completed: 06/07/2024

Reviewing Dept.	*Complete Date*	*Reviewer*	*Status*
Growth Management Dept Review (HD)	06/07/2024	Katie Peterson	Revisions Required

Comments:

1. At time of final submittal, ensure application addresses all materials. Railings, balusters and handrails are all indicated as N/A, but are included on the elevations. Further, all lot coverage information must be provided. (Applications Manual)
2. Rough sawn wood, plywood and aluminum are not permitted materials for soffit or cornice detailing. Several of the sections indicate plywood soffit material. Revise to a permitted material. (UDO 5.15.5.P.10)
3. Porches are required to be a minimum of 30" from grade to top of stairs. At time of final insure porch height is labeled and meets this requirement. (UDO 5.15.5.E.5.)
4.Residential structures shall have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. At time of final submittal, insure first finished floor height meets this requirement and is clearly indicated on the elevations. (5.15.5.F.1.c.)
4. Shutters, when proposed, must fit the opening which they cover, be made of durable wood, be operable and be applied to all windows which can accept them. There are some windows which have hinged louvered shutters, some which have partial Bermuda shutters, and several windows which do not have shutters which would accept them. Revise to be consistent. (5.15.5.M.1.)
5. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). Piers shall be placed directly below the columns or posts which they support. the columns on the front porch end bays are 8'8" tall, and are spaced 9'4" apart on center. Revise to be no further apart than they are tall. (5.15.5.H.)
6. At time of final submittal, provide metal roof profile, corner board detail, screen porch detail, foundation detail, provide clarification on the location of the Tube Steel Column Detail shown on sheet G2 and 6x6 post detail on sheet 1.
7. Tree removal permit is required prior to issuance of a Certificate of Appropriateness. Site plan at time of final submittal needs to show which trees are proposed for removal. (UDO 3.22.)
8. At time of final submittal, provide landscape plan showing the street trees, canopy coverage calculations, foundation plantings, all hardscape and garden structures including materials, placement, and dimensions.
9. During the site planning for any property, consideration shall be given to the existing tree canopy and every reasonable effort made to maximize the preservation of the existing canopy. While it appears consideration has been given to some of the trees, consider the placement of the structure on the site with relation some of the more sturdy/desirable trees (Live Oaks, magnolias, maples and laurel oaks, etc.) vs. those which tend to decline more quickly adjacent to development (water oaks, etc.). (5.3.3.C.)

HPRC Review	06/07/2024	Katie Peterson	Revisions Required

Comments:

1. Carriage Houses must be of the same general character as the primary structure.
The hipped roof on the garage is not complementary with the gable forms that are a feature of the main house. house and carriage house to be have compatible proportion and form. (UDO 5.15.8.F. and 5.15.5.F.4)
2. Material changes must take place at an interior corner. Revise the relationship of the porch roof and the first-floor house roof so that eave construction and roofing material do not change in the middle of the same plane. (UDO 5.15.6.N)
3. Tabby stucco is not an acceptable material for underpinning at the front porch (UDO 5.15.6.O)
4. Additions, connective wings, and outbuildings shall be secondary to the primary building form. The scale of Carriage House is too large for the Main House. Revise to provide a better relationship between the two buildings. (5.15.5.F.4.b.)
5. Scale of breezeway height is out of proportion with the Main House and Carriage House. Look at redesigning to be a more appropriate scale. (5.15.5.F.4.b.)
6. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. While the window grids should be looked at to try to lessen the amount of different proportions across the entire project, it is especially evident in the proportions between the main house and carriage house. Revise to provide better proportional relationship with the overall form. (5.15.5.F.4.a)
7. Overall building proportions and Individual building features shall have a proportional relationship with one another. The dormer roof is too tall above Carriage House windows proportionally, and does not fit with the proportions of the rest of the project. Revise to have a better relationship with the rest of the design. Potential ways to address this could include lowering dormer roof or raising window header height. (5.15.5.F.4.a.)
8. The extended low-slope roof of the back half of the main house is a long unarticulated mass (UDO 5.15.5.F.3.d) and does not match the proportion, rhythm and forms of the front of the house. (UDO 5.15.5.F.4)

Beaufort Jasper Water and Sewer Review	06/07/2024	Matthew Michaels	Approved with Conditions

Comments:

1. Water and Sewer services are installed to lot. Reach out BJWSA customer service to set up account and pay fees. mandy.anderson@bjwsa.org

Watershed Management Review	05/24/2024	Samantha Crotty	Approved with Conditions

Comments:

Comments may be provided at time of stormwater permit submittal/building permit submittal.

Transportation Department Review - HD	05/10/2024	Megan James	Approved

Comments:

No comments

Plan Review Case Notes:

MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from May 16, 2024 to July 16, 2024

DATE: August 1, 2024

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
94 Calhoun St	Re-Roof	Glen Umberger	Approved
38 Calhoun St	Replacing exterior steps and railings	Katie Peterson	Approved
20 Tabby Shell Rd	Residential Generator	Katie Peterson	Approved
1278 May River Rd Unit 300	May River Financial Sign	Katie Peterson	HOLD
1227 May River Rd Unit 300	Seventy2 Capital Sign	Katie Peterson	Approved
1253 May River Rd Unit C	Blackwater Construction Group Sign	Katie Peterson	Approved
181 Bluffton Rd Unit G101	Magnolia Collective Health Sign	Katie Peterson	Approved