



Planning Commission

Wednesday, April 26, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Planning Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. CIVILITY PLEDGE

We pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of the Town of Bluffton.

VII. ADOPTION OF MINUTES

1. March 22, 2023 Minutes

VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

IX. OLD BUSINESS

X. NEW BUSINESS

- 1. 1268 May River Road (Development Plan):** A request by Nathan Sturre of Sturre Engineering on behalf of the property owner, May River Project, LLC for approval of a preliminary development plan application. The project proposes the construction of a concrete apron, gravel access drive, gravel parking spaces and a concrete van accessible ADA space to accommodate conversion of the site use from residential to commercial. The property is zoned Neighborhood General – Historic District (NG-HD), consists of approximately 0.7 acres identified by tax map number R610 039 00A 0147 0000, and is located on the south side of May River Road. (DP-11-22-017440) (Staff - Dan Frazier)
- 2. 120 Persimmon Street (Development Plan):** A request by Sam Connor on behalf of the property owner, James Jeffcoat for approval of a preliminary development plan application. The project proposes a 6,600 SF commercial building including 1,880 SF of office space and 4,800 SF of storage space. The property is zoned Schultz Planned Unit Development and consists of 0.68 acres identified by tax map number R610 031 000 1437 0000 located within the Bluffton Park Master Plan. (DP-02-23-017665) (Staff - Dan Frazier)
- 3. Washington Square Lot 4 - Starbucks (Development Plan):** A request by G3 Engineering & Surveying, LLC on behalf of the property owner, Vaquero Bluffton Partners, LP for approval of a preliminary development plan application. The project proposes a 2,500 SF commercial building to serve as a Starbucks coffeehouse. The property is zoned Buckwalter Planned Unit Development and consists of 1.03 acres identified by tax map number R614 022 000 1131 0000 located within the Berkeley Place Parcel C4 Master Plan and the Washington Square Development Plan. (DP-02-23-017687) (Staff - Dan Frazier)
- 4. Unified Development Ordinance Amendments (Public Hearing):** Amendments to the Town of Bluffton’s Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance (UDO), Article 3 – Application Process, Sec. 3.14, Certificate of Construction Compliance; Article 4 – Zoning Districts, Sec. 4.4.2.A., Conditional Use Standards, Outdoor Sales; Article 5 – Design Standards, Parking; Article 7 - Nonconformities; Article 9 – Definitions and Interpretation, Sec. 9.2 Defined Terms, Family & Single Household Unit; and, Sec. 9.4.1, Description of Residential Uses (Accessory Dwelling Units and Single-Family Attached Dwelling) and Sec. 9.4.3, Description of Commercial Services (Outdoor Sales). (Staff – Charlotte Moore)

XI. DISCUSSION

XII. ADJOURNMENT

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment must not exceed three (3) minutes.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Planning Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

March 22, 2023

I. CALL TO ORDER

Chairwoman Denmark called the meeting to order at 6:00pm.

II. ROLL CALL

PRESENT

Chairwoman Amanda Jackson Denmark

Vice Chairman Charlie Wetmore

Commissioner Kathleen Duncan

Commissioner Rich Delcore

Commissioner Jason Stewart

Commissioner Jim Flynn

Commissioner Lydia DePauw

III. NOTICE REGARDING ADJOURNMENT

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IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

Commissioner Duncan made a motion to adopt the agenda.

Seconded by Commissioner Delcore.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed.

VI. ADOPTION OF MINUTES

1. February 22, 2023 Minutes

Vice Chairman Wetmore made a motion to adopt the minutes as written.

Seconded by Commissioner DePauw.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed.

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

- 1. **Proposed Prioritization of Fiscal Year 2024 Capital Improvement Program Projects:** A request by the Town of Bluffton for recommendation of approval to Town Council of the FY2024 Capital Improvement Program. (Staff - Kim Washok-Jones)

Staff presented. There was discussion about the various projects.

Vice Chairman Wetmore made a motion to adopt as submitted the prioritized list of proposed Capital Improvement Program projects for Fiscal Year 2024 for Council's consideration.

Seconded by Commissioner Stewart.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed.

- 2. **Unified Development Ordinance Amendments (Public Hearing):** Amendments to the Town of Bluffton’s Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance, Relating to Contributing Resources and Development Standards in Old Town Bluffton Historic District, including Article 3 – Application Process, Sec. 3.18, Certificate of Appropriateness-Historic District; Sec. 3.19, Site Feature-Historic District Permit; and, Sec. 3.25, Designation of Contributing Resources; Article 5 – Design Standards, Sec. 5.15, Old Town Bluffton Historic District; and, Article 9 – Definitions and Interpretations, Sec. 9.2, Defined Terms and Sec. 9.3, Interpretation of Dimensional Standards. (Staff - Charlotte Moore)

Staff presented. There was discussion about the edits for carriage houses, garden structures, front build-to zones, delisting of contributing resources, masonry, and door width for garages.

Vice Chairman Wetmore made a motion to recommend approval with amendments to Town Council with the following amendments:

- 1) Replace the word "bay" with "door" in the carriage house definition of garage.
- 2) Roof structures under 121 square feet, including but not limited to gazebos, be limited to three per lot.
- 3) Spark arrestor on chimney caps should be concealed from street view.

Commissioner Duncan questioned adding the review of setback variances.

Vice Chairman Wetmore withdrew his motion.

There was additional discussion about the edits to the setbacks.

Vice Chairman Wetmore made a motion to recommend approval with amendments to Town Council with the following amendments:

- 1) Replace the word "bay" with "door" in the carriage house definition of garage.

There was discussion on how to word the motion so all amendments were reflected correctly.

Vice Chairman Wetmore withdrew his motion.

Vice Chairman Wetmore made a motion to recommend approval with amendments to Town Council with the following modifications:

- 1) Replace the word "bay" with "door" in the carriage house definition of garage.
- 2) Roof structures under 121 square feet, including but not limited to gazebos, be limited to three per lot.
- 3) Spark arrestor on chimney caps should be concealed from street view.

Seconded by Commissioner Delcore.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed.

Commissioner Duncan made a motion to request that staff look into the two setback issues discussed to possibly allow the UDO Administrator to consider administrative variances.

Seconded by Commissioner Stewart.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed.

X. DISCUSSION

XI. ADJOURNMENT

Commissioner Duncan made a motion to adjourn.

Seconded by Vice Chairman Wetmore.

Voting Yea: Chairwoman Jackson Denmark, Vice Chairman Wetmore, Commissioner Duncan, Commissioner Delcore, Commissioner Stewart, Commissioner Flynn, Commissioner DePauw

All were in favor and the motion passed. The meeting adjourned at 8:09pm.

PLANNING COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 26, 2023
PROJECT:	1268 May River Road Preliminary Development Plan
APPLICANT:	Nathan Sturre of Sturre Engineering
PROJECT NUMBER:	DP-11-22-017440
PROJECT MANAGER:	Dan Frazier Principal Planner Department of Growth Management

REQUEST: The Applicant, Nathan Sturre of Sturre Engineering, on behalf of the property owner, May River Project, LLC, is requesting approval of a Preliminary Development Plan. The project proposes the construction of a concrete apron, gravel access drive, rain garden, gravel parking spaces and a concrete van accessible ADA space to accommodate conversion of the site use from residential to commercial (Attachment 1).

INTRODUCTION: The property is zoned Neighborhood General – Historic District (NG-HD), consists of approximately 0.7 acres identified by tax map number R610 039 00A 0147 0000, and is located at 1268 May River Road (Attachments 2).

BACKGROUND: This application is for a Preliminary Development Plan located within the NG-HD and is subject to the standards set forth in the Town of Bluffton Unified Development Ordinance (UDO). The subject parcel is located on the south side of May River Road between Wharf Street and Dubois Lane with access to the parcel from May River Road. The site currently houses the historic structure Nathaniel Brown’s Cottage, built in 1950, with an outparcel building and wooden shed. The project proposes the conversion of the main house and outparcel building to commercial/office space. The project requires development plan approval since it proposes a material change in land use from residential to commercial (Attachment 3).

Staff comments on the Preliminary Development Plan were reviewed at the March 22, 2023, Development Review Committee meeting (Attachment 4). The Applicant provided a response to comments on March 28, 2023 (Attachments 5).

As the site is located within the Neighborhood General – Historic District, a Certificate of Appropriateness-HD is required.

REVIEW CRITERIA & ANALYSIS: The Planning Commission shall consider the criteria set forth in Section 3.10.3.A of the Unified Development Ordinance in assessing an application for a Preliminary Development Plan. The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

1. **Section 3.10.3.A.1. Conformance with the applicable provisions provided in Article 5, Design Standards.**

Finding. The proposed site improvements conform with the applicable provisions provided in Article 5, Design Standards.

2. **Section 3.10.3.A.2. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.**

Finding. The proposed development is not within any PUD, Development Agreement, or Subdivision Plan.

3. **Section 3.10.3.A.3. If the proposed development is associated with a previously approved Master Plan, then the traffic and access plans shall adhere to the previously approved traffic impact analysis or assessment, where applicable. If an application is not associated with a previously approved PUD Master Plan, then a traffic impact analysis shall be required at final development plan submittal.**

Finding. The proposed development is not within any approved Master Plan or PUD.

4. **Section 3.10.3.A.4. The proposed development must be able to be served by adequate public services, including, but not limited to, water, sanitary sewer, roads, police, fire, and school services. For developments that have the potential for significant impact on infrastructure and services, the applicant shall be required to provide an analysis and mitigation of the impact on transportation, utilities, and community services.**

Finding. Water service for the site will be provided through a 2-unit meter bank adjacent to the access serving both existing structures. The 2" connection will tie into an existing 10" watermain in the May River Road right of way. Sewer service for the site will utilize the existing lateral connections.

Finding. Letters from the agencies providing public services will be required at time of Final Development Plan submittal per the Applications Manual.

5. **Section 3.10.3.A.5. The phasing plan, if applicable, is logical and is designed in a manner that allows each phase to fully function independently regarding services, utilities, circulation, facilities, and open space, irrespective of the completion of other proposed phases.**

Finding. The current project is proposed to be completed in a single phase of construction.

6. **Section 3.10.3.A.6. The application must comply with applicable requirements in the Applications Manual.**

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

PLANNING COMMISSION ACTIONS: The Planning Commission has the authority to take the following actions with respect to the application as authorized by Section 2.2.6.C.5 of the UDO:

1. Approve the application as submitted;
2. Approve the application with conditions; or
3. Deny the application as submitted.

RECOMMENDATION: Town Staff finds that the requirements of Section 3.10.3.A of the Unified Development Ordinance are met and recommends that the Planning Commission approve the application as submitted.

ATTACHMENTS:

1. Application and Narrative
2. Vicinity Map
3. Land Development and Landscape Plan Set
4. 3-15-23 DRC Comments
5. Response to Comments



**TOWN OF BLUFFTON
DEVELOPMENT PLAN APPLICATION**

Growth Management Custom

Section X, Item #1.

20 Bridge Street
Bluffton, SC 29910
(843)706-4522

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Sturre Engineering c/o Nathan Sturre, PE		Name: May River Project, LLC	
Phone: 843.929.9432		Phone: 330-285-2075	
Mailing Address: PO Box 2227 Bluffton, SC 29910		Mailing Address: 21 Promenade St Bluffton, SC 29910	
E-mail: nathan.sdd@outlook.com		E-mail: andrew.pietz@gmail.com	
Town Business License # (if applicable): LIC-06-22-045612			
Project Information			
Project Name: 1268 May River Road Site Improvements	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Final	
Project Location: 1268 May River Road	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment	
Zoning District: NG-HD	Acreage: 0.7		
Tax Map Number(s): R610 039 00A 0147 0000			
Project Description: Installation of gravel access drive, parking, infrastructure and a raingarden.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) full sized copies and digital files of the Preliminary or Final Development Plans. <input checked="" type="checkbox"/> 2. Project Narrative and digital file describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 3. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 2/14/23	
Applicant Signature:		Date: 02/14/2023	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



STURRE ENGINEERING

February 16, 2023

1268 May River Road
Preliminary DRC Submittal

Site Data

1. Parcel No.: R610 039 00A 0147 0000
2. Site Address: 1268 May River Road
3. Acreage of Property Pre-development: 0.665 acres (10.6% Impervious Cover)
4. Acreage of Property Post-development: 0.665 acres (28.0% Impervious Cover)
5. Owner/Developer: May River Project, LLC, 21 Promenade Street, Bluffton, SC 29910
6. Existing Land Use: Residential
7. Proposed Land Use: Commercial

Project Narrative

The following is a presentation of the stormwater analysis for a site development project located at 1268 May River Road in Bluffton, SC. The site currently houses an historic residential structure and concrete block garage structure on a cleared 0.665-acre parcel with approximately 10.6% impervious cover. Proposed work includes the construction of a concrete apron, gravel access drive, gravel parking spaces and a concrete van accessible ADA space to accommodate conversion of the site use from residential to commercial. A raingarden is proposed to treat stormwater leaving the developed area into the SCDOT stormwater network along May River Road (SC 46). There are no wetland areas onsite.

The improvements will disturb approximately 0.4 acres and will increase the total impervious area of the lot from 10.6% to 28.0%, including the compacted gravel drive aisle and parking spaces. Runoff in the pre-development condition runs southeast to the adjacent property, no runoff in pre-development conditions enters the SCDOT May River Road (SC 46) right of way. Post-development conditions intercepts runoff from a majority of the improved onsite areas and routes it through a raingarden before discharging into the SCDOT stormwater network in the southern SC 46 right of way. The remainder of the post-development runoff discharges southeast to the adjacent property.

All flows leaving the site enter Huger Cove before discharging to the May River.

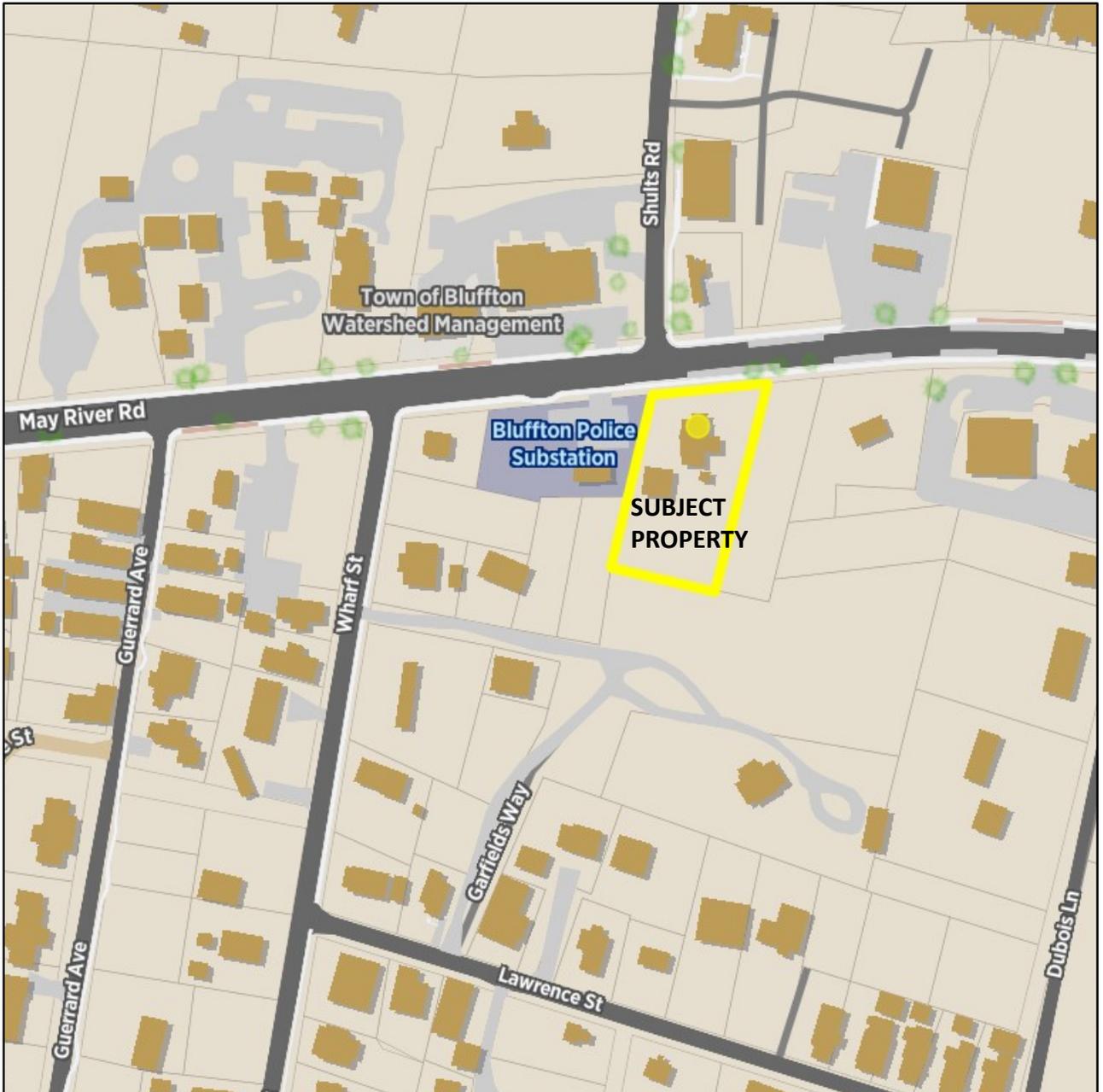
The proposed development activities will result in 4 required commercial parking spaces as seen on the Parking Calculations Summary provided with this submittal. This project proposes 2 new regular gravel parking spaces onsite, a concrete van accessible parking space onsite and will utilize the 4 street parking spaces directly in front of the property along May River Road.

The 75% tree canopy coverage requirement is satisfied as seen on the Landscape Plan, Civil Plan Sheet 9.

VICINITY MAP

1268 MAY RIVER ROAD

DEVELOPMENT PLAN



GENERAL NOTES:

1. ALL SILT BARRIERS AND OTHER EROSION CONTROL MEASURES MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
2. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA), TOWN OF BLUFFTON SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
5. THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
6. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.
7. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
10. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
11. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
12. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
13. THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THEIR WORK.
14. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE LIMITS OF THE PROPERTY BOUNDARY, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
15. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFF-SITE.
16. CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
17. ANY DAMAGE TO THE SIDE STREETS OR SIDEWALK DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDITIOUS MANNER AT THE CONTRACTOR'S EXPENSE.

SCDHEC STANDARD NOTES:

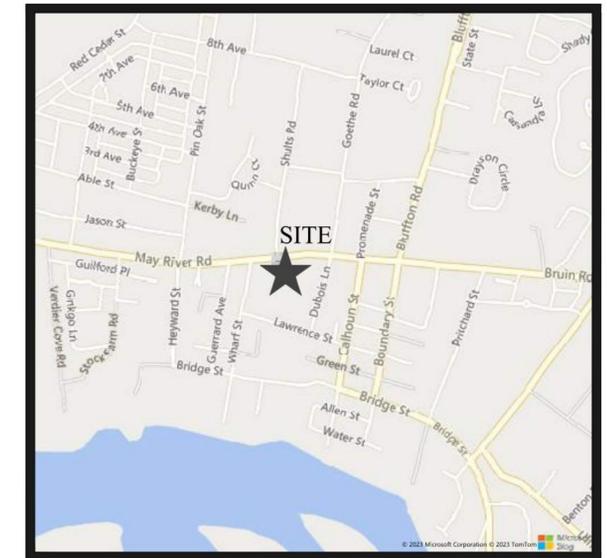
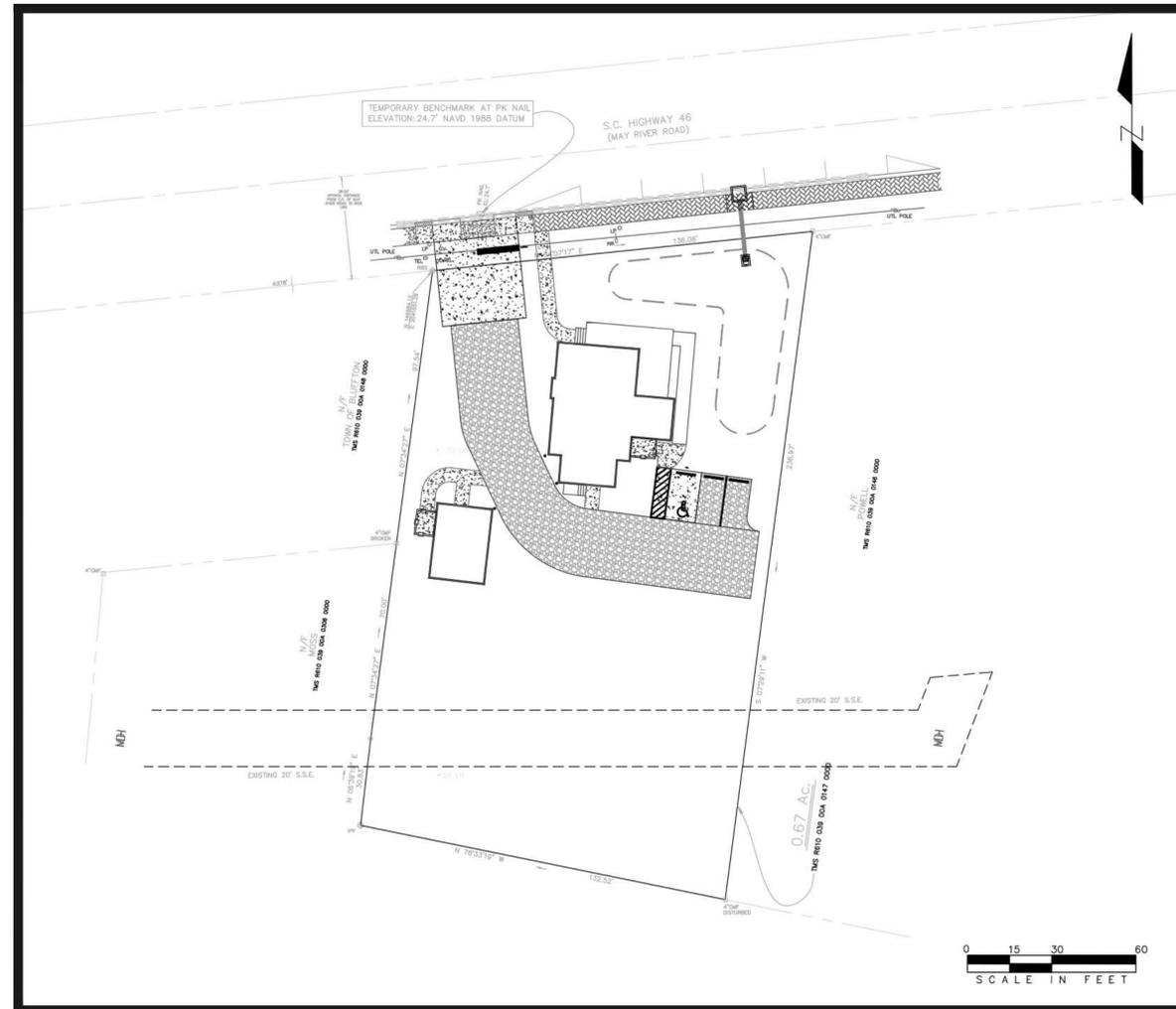
1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED:
 - A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 & SCR100000.
6. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
7. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
8. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
9. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
10. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.)
12. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL
 - WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE
 - SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING
13. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
14. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
15. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
16. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
17. IF CABLE, ELECTRIC AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
18. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREAS.
19. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.

PERMIT PLANS FOR

1268 MAY RIVER ROAD SITE IMPROVEMENTS

PREPARED FOR
MAY RIVER PROJECT, LLC

21 PROMENADE STREET
BLUFFTON, SC 29910



VICINITY MAP
SCALE IN FEET
0 500 1,000 2,000

Sheet List Table	
Sheet No.	Sheet Title
1	TITLE SHEET
2	TREE AND TOPOGRAPHIC SURVEY (BY OTHERS)
3	EXISTING CONDITIONS
4	DEMOLITION & SWPP PLAN
5	SWPPP DETAILS
6	SITE IMPROVEMENTS PLAN
7	GRADING PLAN
8	UTILITY PLAN
9	LANDSCAPE PLAN
10	CIVIL DETAILS
11	BJWSA DETAILS

PROJECT DATA:

1. TAX MAP & PARCEL NUMBERS: TMS R610 039 00A 0147 0000
2. SITE ADDRESS: 1268 MAY RIVER ROAD
3. ACREAGE OF PROPERTY: 0.67 ACRES
4. ACREAGE OF DISTURBANCE: 0.4 ACRES
5. OWNER/DEVELOPER: MAY RIVER PROJECT, LLC
21 PROMENADE STREET
BLUFFTON, SC 29910
6. ZONING: NG-HD (NEIGHBORHOOD GENERAL HISTORIC DISTRICT)
7. EXISTING LAND USE: RESIDENTIAL
8. PROPOSED LAND USE: MIXED USE (COMMERCIAL/RESIDENTIAL)
9. RECEIVING STREAM: TRIBUTARY TO MAY RIVER (WEST OF CALHOUN STREET)
10. ULTIMATE STREAM: MAY RIVER
11. FLOOD ZONE: FLOOD ZONE 'X' SHOWN ON FIRM MAP 45013C0426G, COMMUNITY NO. 450251, DATED 03/23/21
NAVD 88 DATUM
SOUTH CAROLINA STATE PLANE BASED ON NAD 83, SCVRS NETWORK
12. VERTICAL DATUM:
13. HORIZONTAL DATUM:

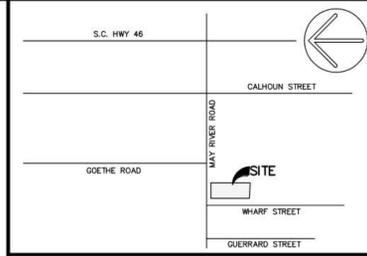
PREPARED BY



03/27/2023



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.



VICINITY MAP NOT TO SCALE

- NOTES:
- THIS LOT APPEARS TO LIE IN FLOOD ZONE X SHOWN ON FIRM MAP 45013C0426G, COMMUNITY No. 450251, DATED 03/23/21.
 - TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
 - SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83, SCVRS NETWORK.
 - PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

- REFERENCE(S):
- PLAT BOOK 121, PAGE 45

LEGEND:

CMF	CONCRETE MONUMENT, OLD (FOUND)
IPF	IRON PIPE FOUND
RBS	REBAR SET
-OHP-	OVER HEAD POWER LINE
-SD-	STORM DRAINAGE PIPE
TEL	TELEPHONE PEDESTAL
WM	WATER METER
GV	GAS VALVE
LP	LAMP POST
SSCO	SANITARY SEWER CLEANOUT
SYC	SYCAMORE
PER	PERSIMMON
LO	LIVE OAK
x10.0	SPOT ELEVATION
-10-	CONTOUR

- REVISION(S):
- 06.16.22 UPDATED SURVEY TO NAVD 1988 DATUM & GENERAL REVISIONS

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRAMPED WITH SEAL



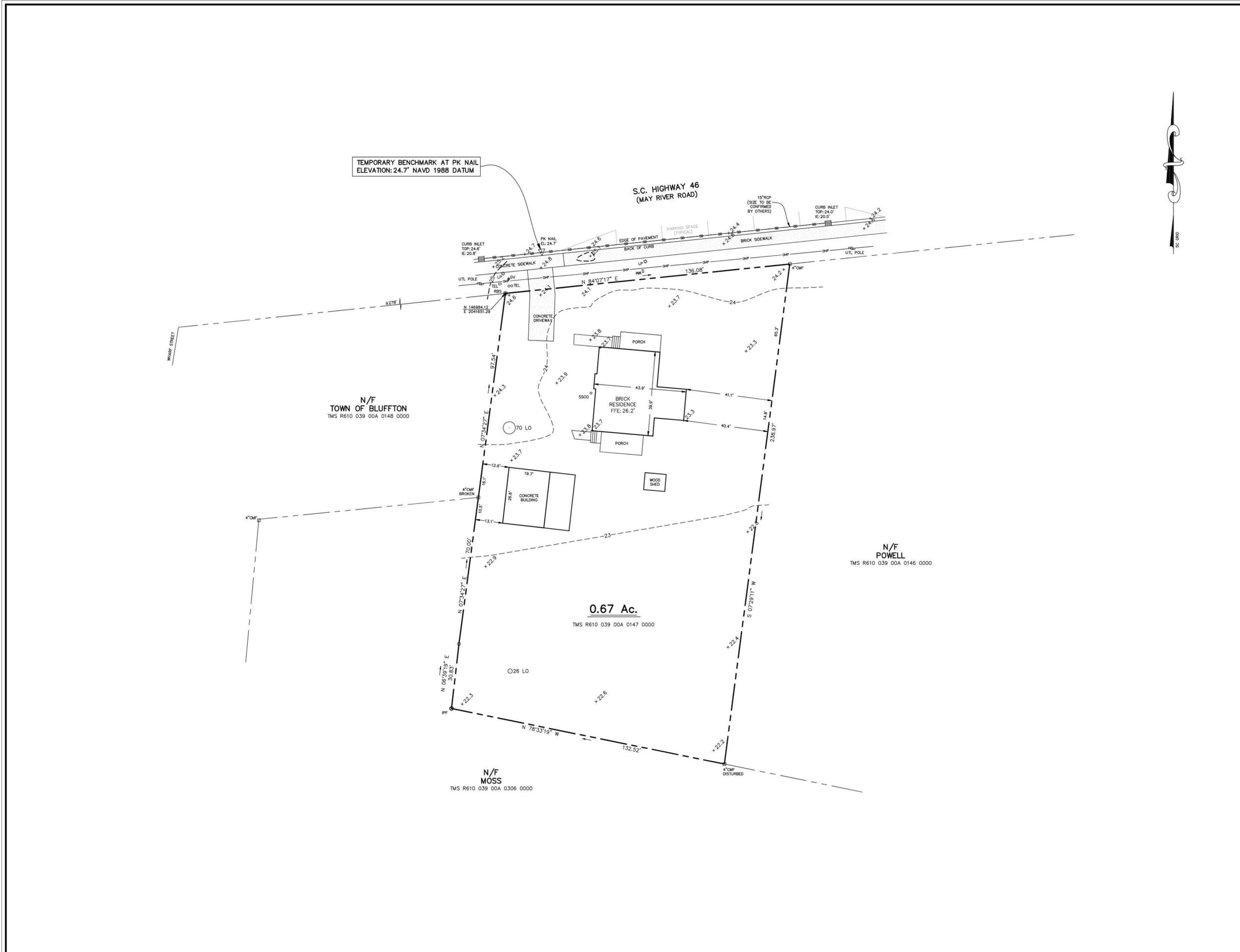
THIS DOCUMENT AND ALL REPRODUCIBLE COPIES OF THIS DOCUMENT ARE THE PROPERTY OF COOK LAND SURVEYING. ANY REPRODUCTION OF THIS DOCUMENT WITHOUT THE PERMISSION OF COOK LAND SURVEYING IS PROHIBITED. ANY ALTERATIONS TO THIS DOCUMENT ARE PROHIBITED.

AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF
0.67 Ac.
S.C. HIGHWAY 46

TMS R610 039 00A 0147 0000
TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA
PREPARED FOR:
ANDREW PIETZ

Cook
Land Surveying
Faster. Simpler. Better.
23 Trotting Hill Lane, Bluffton, SC 29910
p:843.247.1311 e:cooklandsurvey@atgray.com

PROJECT No.: 17050003
DRAWN BY: DRC PROJECT NAME: 17050003
DATE: 06.16.22 FILE: 17050003AT rev1 061622.dwg
SCALE: 1"= 20'





PREPARED FOR:
MAY RIVER PROJECT,
LLC

PROJECT:
1268 MAY RIVER
ROAD SITE
IMPROVEMENTS



REV #	DATE	DESCRIPTION

DATE: 03/27/2023

SHEET NAME: SWPPP DETAILS

SHEET NO.

SURFACE COURSE CURB INLET PROTECTION

GENERAL NOTES

1. Only use surface curb inlet filters that have a minimum height or diameter of 9-inches and have a minimum length that is 2-feet longer than the length of the curb opening.
2. Surface course inlets filters that are designed to completely block the inlet opening are prohibited. Acceptable inlet filters should allow for overflows to enter the catch basin.
3. Surface course inlet filters should be constructed with a synthetic material that will allow stormwater to freely flow through while trapping sediment and debris.
4. Straw, straw fiber, straw bales, pine needles and leaf mulch are not permissible filter materials.
5. Each filter should have aggregate compartments for stone, sand, and other weighted materials or mechanisms to hold the unit in place. Fill aggregate compartments to a level (at least 1/2 full) to hold the filter in place and create a seal between the filter and the road surface.
6. Use only Type E inlet filters appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #58, or filters meeting the most current edition of the SC DOT Standard Specifications for Highway Construction.

INSPECTION AND MAINTENANCE

1. The key to functional inlet protection is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when silt and/or debris has built up around the filter preventing stormwater to flow through the filter.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

South Carolina Department of Health and Environmental Control

Type E

SURFACE COURSE CURB INLET FILTERS

STANDARD DRAWING NO. SC-10 PAGE 2 OF 2

GENERAL NOTES

FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - GENERAL NOTES

1. Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
2. Install a non-woven geotextile fabric prior to placing any stone.
3. Install a culvert pipe across the entrance when needed to provide positive drainage.
4. The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
5. Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
6. The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
7. Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
8. Limestone may not be used for the stone pad.

CONSTR. ENTRANCE - INSPECTION & MAINTENANCE

1. The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
4. Reshape the stone pad as necessary for drainage and runoff control.
5. Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
6. Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
7. During maintenance activities, any broken pavement should be repaired immediately.
8. Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 2 OF 2

GENERAL NOTES

FEBRUARY 2014 DATE

SILT FENCE - POST REQUIREMENTS

1. Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weigh 1.25 pounds per foot (± 8%).
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

1. Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 80% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #54, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
4. Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
5. Filter Fabric shall be installed at a minimum of 24-inches above the ground.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 OF 2

GENERAL NOTES

FEBRUARY 2014 DATE

TOP VIEW

PLAN SYMBOL

South Carolina Department of Health and Environmental Control

Type E

SURFACE COURSE CURB INLET FILTERS

STANDARD DRAWING NO. SC-10 PAGE 1 OF 2

NOT TO SCALE

FEBRUARY 2014 DATE

CONSTRUCTION ENTRANCE - PLAN SYMBOL

SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 1 OF 2

NOT TO SCALE

FEBRUARY 2014 DATE

SILT FENCE INSTALLATION

PLAN SYMBOL

-SF-SF-

FLAT-BOTTOM TRENCH DETAIL

V-SHAPED TRENCH DETAIL

SILT FENCE - GENERAL NOTES

1. Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overlaid flow path length to the silt fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
7. Install Silt Fence Checks (Tie-Backs) every 50-100 feet, depending on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 1 OF 2

NOT TO SCALE

FEBRUARY 2014 DATE

TREE PROTECTION FENCE DETAIL

N.T.S.

TREE PROTECTION NOTES:

1. INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE REMOVALS.
2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."

South Carolina Department of Health and Environmental Control

Type E

SURFACE COURSE CURB INLET FILTERS

STANDARD DRAWING NO. SC-10 PAGE 2 OF 2

GENERAL NOTES

FEBRUARY 2014 DATE

STRAW BALE BARRIER CONCRETE WASHOUT

N.T.S.

CONCRETE WASHOUT SIGN DETAIL

N.T.S.

CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND

SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH
STANDARD DRAWING NO. RC-07 [PAGE 1]
N.T.S.

NOTES

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERMETER CONTROL.
4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 2 OF 2

GENERAL NOTES

FEBRUARY 2014 DATE

TEMPORARY STOCKPILE AREA

N.T.S.

NOTES:

1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOPE THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA.
2. IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
3. SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
4. THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

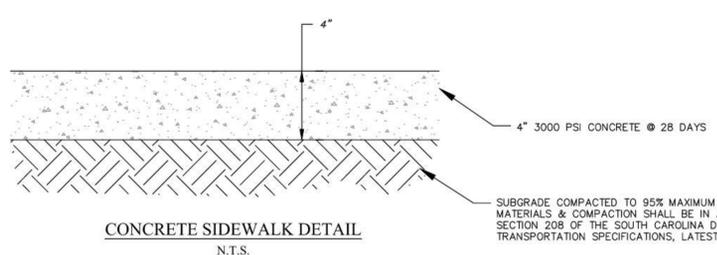
South Carolina Department of Health and Environmental Control

TEMPORARY STOCKPILE

STANDARD DRAWING NO. SC-15 PAGE 1 OF 1

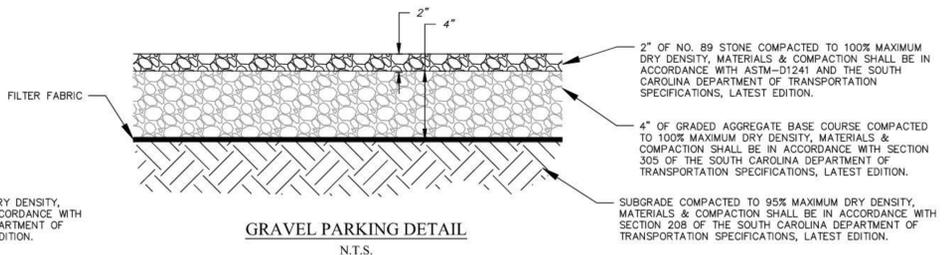
NOT TO SCALE

FEBRUARY 2014 DATE



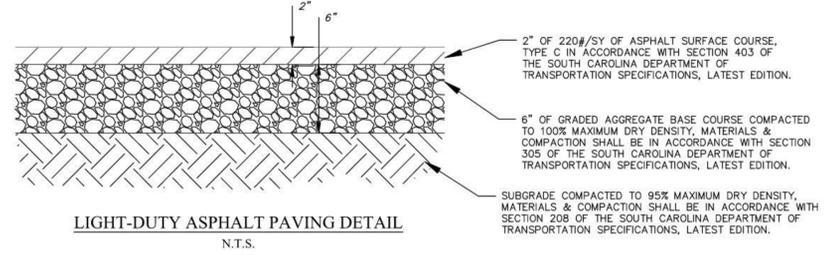
CONCRETE SIDEWALK DETAIL
N.T.S.

NOTES:
1. SIDEWALK WIDTH PER SITE IMPROVEMENTS PLAN.
2. USE 3/4" x 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 24 FEET.
3. TOOL ALL EXPOSED EDGES AND JOINTS TO 1/4" RADIUS.
4. BROOM FINISH PERPENDICULAR TO TRAVEL.
5. PROVIDE 3/4" DEEP SAW CUT CONTRACTION JOINTS EVERY 5 FEET.

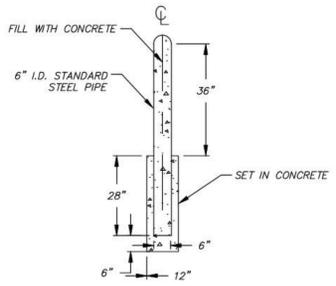


GRAVEL PARKING DETAIL
N.T.S.

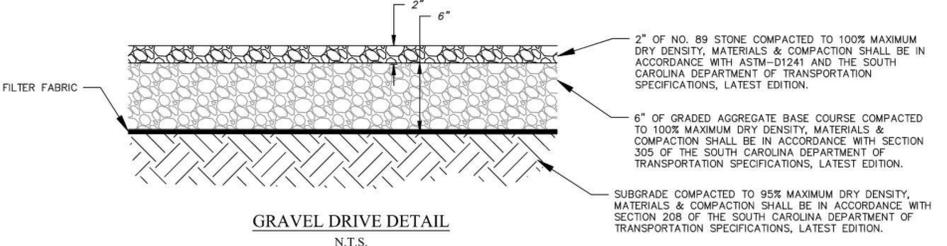
NOTES:
1. PARKING TO HAVE 4" TALL METAL EDGE RESTRAINT AROUND NON-DRIVE AISLE SIDES.
2. NO. 89 STONE TO BE DOUBLE WASHED, FREE OF FINES.



LIGHT-DUTY ASPHALT PAVING DETAIL
N.T.S.

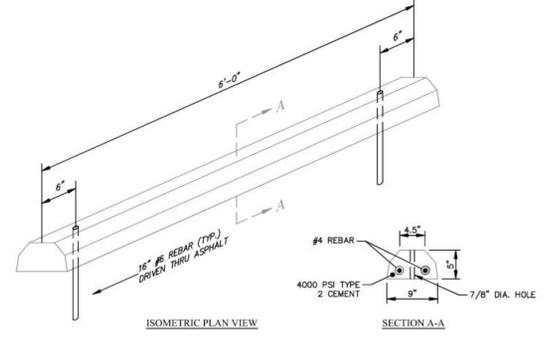


CONCRETE BOLLARD DETAIL
N.T.S.

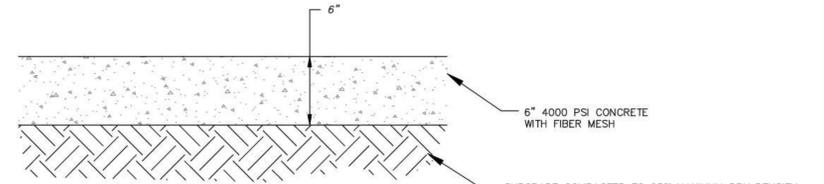


GRAVEL DRIVE DETAIL
N.T.S.

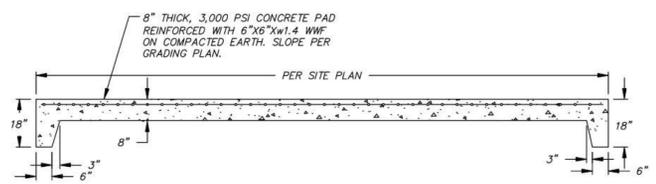
NOTES:
1. NO. 89 STONE TO BE DOUBLE WASHED, FREE OF FINES.



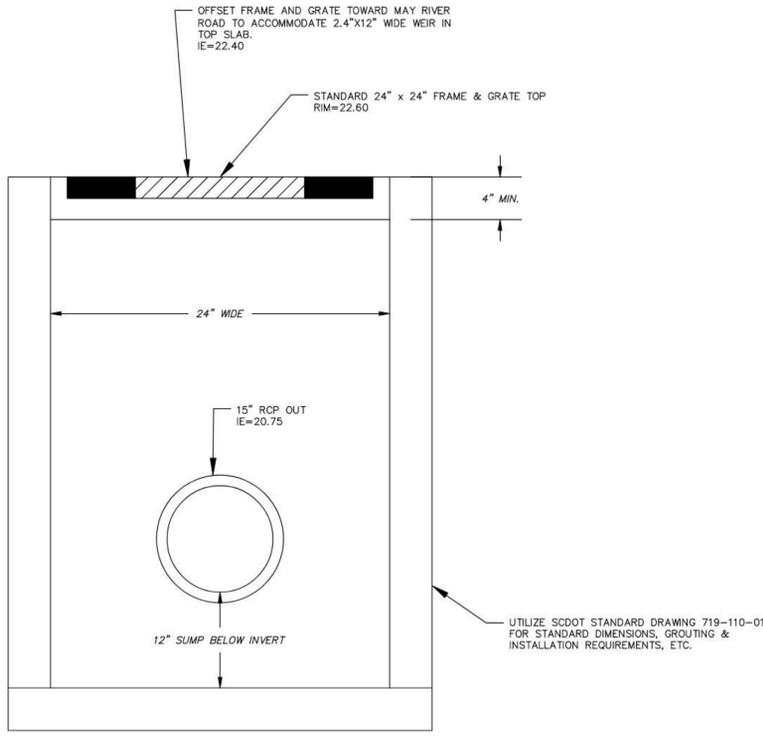
WHEEL STOP
N.T.S.



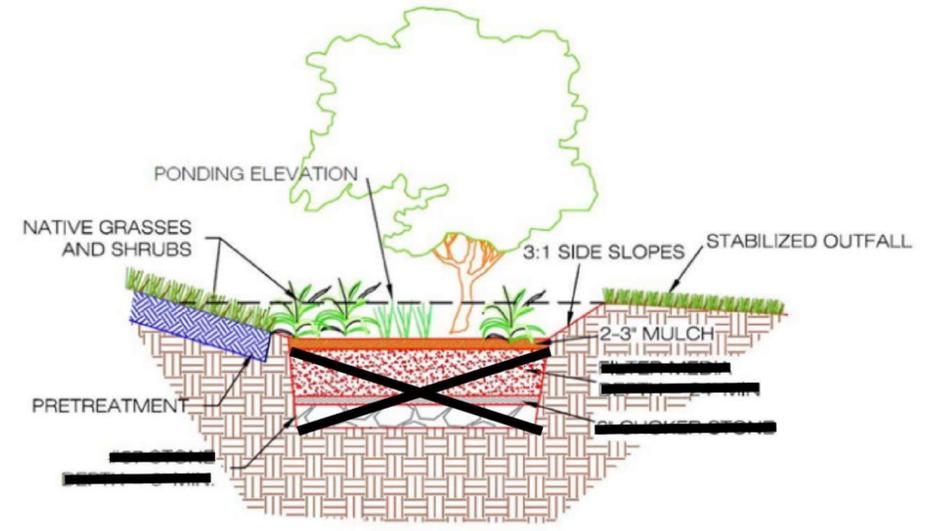
CONCRETE ADA PAD DETAIL
N.T.S.



CONCRETE APRON DETAIL
N.T.S.



RAINGARDEN OUTFALL STRUCTURE DETAIL
N.T.S.



RAINGARDEN DETAIL
N.T.S.

NOTE:
1. FILTER MEDIA & STONE RESERVOIR LAYERS NOT SPECIFIED AS USDA SOILS REPORT INDICATES SANDY SOILS WITH ADEQUATE INFILTRATION RATES.

DETAIL MODIFIED FROM SOUTHERN LOWCOUNTRY STORMWATER DESIGN MANUAL

PREPARED FOR:
MAY RIVER PROJECT,
LLC

PROJECT:
1268 MAY RIVER
ROAD SITE
IMPROVEMENTS



REV #	DATE	DESCRIPTION
	03/27/2023	
SHEET NAME		
CIVIL DETAILS		
SHEET NO.		



PLAN REVIEW COMMENTS FOR DP-11-22-017440

Section X. Item #1.

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type:	Development Plan	Apply Date:	11/29/2022
Plan Status:	Active	Plan Address:	1268 May River Rd BLUFFTON, SC 29910
Case Manager:	Dan Frazier	Plan PIN #:	R610 039 00A 0147 0000
Plan Description:	<p>A request by Nathan Sturre of Sturre Engineering on behalf of the property owner, May River Project, LLC for approval of a preliminary development plan application. The project proposes the construction of a concrete apron, gravel access drive, gravel parking spaces and a concrete van accessible ADA space to accommodate conversion of the site use from residential to commercial. The property is zoned Neighborhood General – Historic District (NG-HD), consists of approximately 0.7 acres identified by tax map number R610 039 00A 0147 0000, and is located on the south side of May River Road.</p> <p>STATUS: Staff comments on the preliminary development plan were reviewed at the December 28, 2022 meeting of the DRC.</p> <p>STATUS: The applicant provided a resubmittal on February 20, 2023. The resubmittal represents a substantive modification from the original preliminary development plan request. Staff comments on the revised preliminary development plan will be reviewed at the March 22, 2023 meeting of the DRC.</p>		

Technical Review

Submission #: 2 Received: 02/20/2023 Completed: 03/17/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Beaufort Jasper Water and Sewer Review	03/13/2023	James Clardy	Approved with Conditions

Comments:

Pending resubmittal of water and sewer design to BJWSA Design Review Team.

Fire Department Review	03/17/2023	Dan Wiltse	Approved with Conditions
------------------------	------------	------------	--------------------------

Comments:

1. Fire protection will be based on the new use.

Planning Review - SR	03/17/2023	Jordan Holloway	Approved with Conditions
----------------------	------------	-----------------	--------------------------

Comments:

- At time of final development plan submittal, demonstrate that a tree canopy with a minimum of 75% lot coverage, not including roof tops, is being provided. (UDO Section 5.3.3.G.)
- An SCDOT Encroachment Permit will be required for improvements within the May River Road right-of-way.
- Provide a foundation planting area at least 8 feet wide around all structures. (UDO Section 5.3.7.E.)

Building Safety Review	03/14/2023	Richard Spruce	Approved
------------------------	------------	----------------	----------

Planning Commission Review	03/17/2023	Dan Frazier	Approved
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Planning Review - Address	03/17/2023	Ryan Coleman	Approved
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Police Department Review	03/17/2023	Adam Barberio	Approved
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Transportation Department Review	03/17/2023	Megan James	Approved
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Section X. Item #1.



PLAN REVIEW COMMENTS FOR DP-11-22-017440

Section X. Item #1.

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type:	Development Plan	Apply Date:	11/29/2022
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Technical Review

Submission #: 2 Received: 02/20/2023 Completed: 03/17/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Beaufort Jasper Water and Sewer Review	03/13/2023	James Clardy	Approved with Conditions
Comments:	SE Response: BJWSA resubmittal made 3/27/2023 addressing all comments.		
Pending resubmittal of water and sewer design to BJWSA Design Review Team.			
Fire Department Review	03/17/2023	Dan Wiltse	Approved with Conditions
Comments:	SE Response: Acknowledged.		
1. Fire protection will be based on the new use.			
Planning Review - SR	03/17/2023	Jordan Holloway	Approved with Conditions
Comments:	SE Response: Acknowledged.		
1. At time of final development plan submittal, demonstrate that a tree canopy with a minimum of 75% lot coverage, not including roof tops, is being provided. (UDO Section 5.3.3.G.)			
2. An SCDOT Encroachment Permit will be required for improvements within the May River Road right-of-way.			
3. Provide a foundation planting area at least 8 feet wide around all structures. (UDO Section 5.3.7.E.)			
Building Safety Review	03/14/2023	Richard Spruce	Approved
Planning Commission Review	03/17/2023	Dan Frazier	Approved
Planning Review - Address	03/17/2023	Ryan Coleman	Approved
Police Department Review	03/17/2023	Adam Barberio	Approved
Transportation Department Review	03/17/2023	Megan James	Approved

PLANNING COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 26, 2023
PROJECT:	120 Persimmon Street (Lot 74 Bluffton Park) Preliminary Development Plan
APPLICANT:	Sam Connor of Connor Consulting Services, LLC
PROJECT NUMBER:	DP-02-23-017665
PROJECT MANAGER:	Dan Frazier Principal Planner Department of Growth Management

REQUEST: The Applicant, Sam Connor of Connor Consulting Services, LLC, on behalf of the property owner, James Jeffcoat is requesting approval of a Preliminary Development Plan. The project proposes a 6,600 SF commercial building including 1,880 SF of office space and 4,800 SF of storage space. (Attachment 1).

INTRODUCTION: The property is zoned Schultz Tract Planned Unit Development and consists of 0.68 acres identified by tax map number R610 031 000 1437 0000 located within the Bluffton Park Master Plan. (Attachments 2 and 3).

BACKGROUND: This application is for a preliminary development plan located within the Schultz Tract PUD and is subject to the standards set forth in the Schultz Tract PUD Development Agreement and Concept Plan and the Bluffton Park Tracts B, C and D Master Plan (Attachment 4).

Staff comments on the Preliminary Development Plan were reviewed at the March 15, 2023, Development Review Committee meeting (Attachment 5). The Applicant provided a response to comments on March 29, 2023 (Attachments 6).

REVIEW CRITERIA & ANALYSIS: The Planning Commission shall consider the criteria set forth in Section 3.10.3.A of the Unified Development Ordinance in assessing an application for a Preliminary Development Plan. The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

- 1. Section 3.10.3.A.1. Conformance with the applicable provisions provided in Article 5, Design Standards.**

Finding. The property lies within the Schultz Tract PUD and therefore is not subject to the Design Standards set forth in Article 5 of the UDO.

2. **Section 3.10.3.A.2. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.**

Finding: The proposed development is in conformance with the Shultz Tract Development Agreement, Concept Plan and the Bluffton Park Tracts B, C & D Master Plan.

Finding: At the time of Final Development Plan submittal, the Applicant will be required to provide approval of the Bluffton Park Commercial POA for architecture and landscaping.

3. **Section 3.10.3.A.3. If the proposed development is associated with a previously approved Master Plan, then the traffic and access plans shall adhere to the previously approved traffic impact analysis or assessment, where applicable. If an application is not associated with a previously approved PUD Master Plan, then a traffic impact analysis shall be required at final development plan submittal.**

Finding: A Traffic Impact Analysis was included with the Shultz Tract PUD Development Agreement as well as the Bluffton Park Tracts B, C and D Master Plan. No additional road improvements are warranted.

4. **Section 3.10.3.A.4. The proposed development must be able to be served by adequate public services, including, but not limited to, water, sanitary sewer, roads, police, fire, and school services. For developments that have the potential for significant impact on infrastructure and services, the applicant shall be required to provide an analysis and mitigation of the impact on transportation, utilities, and community services.**

Finding. The Applicant has noted that all utilities required for the development of the site are existing and located within the Persimmon Street ROW. These utilities include but are not limited to electrical, telephone, stormwater, water, and sewer.

Finding. Letters from the agencies providing public services will be required at time of Final Development Plan submittal per the Applications Manual.

5. **Section 3.10.3.A.5. The phasing plan, if applicable, is logical and is designed in a manner that allows each phase to fully function independently regarding services, utilities, circulation, facilities, and open space, irrespective of the completion of other proposed phases.**

Finding. The project is proposed to be completed in a single phase of construction.

6. **Section 3.10.3.A.6. The application must comply with applicable requirements in the Applications Manual.**

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

PLANNING COMMISSION ACTIONS: The Planning Commission has the authority to take the following actions with respect to the application as authorized by Section 2.2.6.C.5 of the UDO:

1. Approve the application as submitted;
2. Approve the application with conditions; or
3. Deny the application as submitted.

RECOMMENDATION: Town Staff finds that the requirements of Section 3.10.3.A of the Unified Development Ordinance are met and recommends that the Planning Commission approve the application as submitted.

ATTACHMENTS:

1. Application and Updated Narrative
2. Vicinity Map
3. Bluffton Park Master Plan
4. Survey and Site Plan
5. 3-15-23 DRC Comments
6. Response to Comments



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION

Section X, Item #2
Attachment 1

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Sam Connor		Name: James W. Jeffcoat	
Phone: 843-368-5051		Phone:	
Mailing Address: P.O. Box 3671 Bluffton, SC 29910		Mailing Address: 605 Lakeland Road S. Severna Park, MD 21146	
E-mail: connorconsultingsc@gmail.com		E-mail: mrjeffcoat1@gmail.com	
Town Business License # (if applicable):			

Project Information			
Project Name: Lot 74 Bluffton Park Tract D1 & D3	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Final	
Project Location: 120 Persimmon Street	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment	
Zoning District: PUD	Acreage: 0.68		
Tax Map Number(s): R610-031-000-1437-0000			

Project Description: Proposed construction of a single commercial building and supporting infrastructure with office space and storage for use as contractors offices.

Minimum Requirements for Submittal	
<input checked="" type="checkbox"/>	1. Two (2) full sized copies and digital files of the Preliminary or Final Development Plans.
<input checked="" type="checkbox"/>	2. Project Narrative and digital file describing reason for application and compliance with the criteria in Article 3 of the UDO.
<input checked="" type="checkbox"/>	3. All information required on the attached Application Checklist.
<input checked="" type="checkbox"/>	4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.

Note: A Pre-Application Meeting is required prior to Application submittal.

Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.

Property Owner Signature: *James W. Jeffcoat* Date: 2/8/23

Applicant Signature: *Sam Connor* Date: 2/9/23

For Office Use

Application Number: _____ Date Received: _____

Received By: _____ Date Approved: _____



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

In accordance with the Town of Bluffton [Unified Development Ordinance \(UDO\)](#), the following information shall be included as part of a Development Plan application submitted for review. Depending on the proposal, the amount and type of documentation will vary. This checklist is intended to assist in the provision of the minimum documentation necessary to demonstrate compliance with the UDO. Upon review of the submitted application by Town Staff, additional information may be required. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO. Applicants are encouraged to work closely with Town Staff in preparing any application prior to submittal.

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
General Information.		
x	x	1. Name and address of property owner(s) and applicant.
x	x	2. If the applicant is not the property owner, a letter of agency from the property owner authorizing the applicant to act on behalf of the property owner.
x	x	3. A detailed narrative describing the existing site conditions and uses, proposed development, proposed uses and activities that will be conducted on the site, statement of conformance with the UDO, description of any energy conservation or green technologies proposed on the site, the maintenance responsibility of any common or public areas, and publically dedicated improvements to be completed.
x	x	4. A listing of any past development permit approval numbers associated with the site and existing conditions placed on the development property by the Town of Bluffton through past approvals including a detailed description of how the condition will be met.
x	x	5. An explanation of why any items on this checklist are not included with the application materials.
x	x	6. Project name and/or name of development.
x	x	7. All plans must include the following: name of county; municipality; project location; parcel identification number(s); date of original design; all dates of revisions; north arrow; graphic scale; and legend identifying all symbology.
x	x	8. Vicinity map.
x	x	9. Site data table to include; total acreage, pervious versus impervious cover, required and proposed open space calculations, number and area of proposed lots, residential density, number and area of each proposed structure, area of each use of the property and buildings, and required and proposed parking calculations.
x	x	10. Signature over seal of registered engineer or landscape architect licensed to practice in South Carolina.
x	x	11. Phasing plan if the development is proposed to be developed in phases.
	x	12. Letters of approval, including any applicable permits, from the following agencies (as necessary for the project): <ul style="list-style-type: none"> a) United States Army Corp of Engineers; b) South Carolina Department of Health & Environmental Control; c) South Carolina Department of Transportation; d) Beaufort County Engineering; e) Beaufort County EMS; f) Beaufort County School District; g) Bluffton Township Fire District; h) Beaufort Jasper Water Sewer Authority; i) Town of Bluffton; j) Electric Provider; k) Natural Gas provider; and



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
		l) Cable, telephone, and data provider.
Site and Existing Conditions Documentation.		
x	x	1. Comprehensive color photograph documentation of site and existing conditions. If digital, images should be at a minimum of 300 dpi resolution.
x	x	2. Names of the owners of contiguous parcels and an indication of adjacent existing and proposed (if known) land uses and zoning.
x	x	3. Location of all property lines.
x	x	4. Location of municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the development property, form a part of the boundary of the development property, or are contiguous to such boundary.
x	x	5. Location of all existing access points and intersections along both sides of any frontage or access roadway(s) within a minimum of 1,000 feet of the site boundaries.
x	x	6. Location, dimensions, name, and descriptions of all existing or recorded roadways, alleys, reservations, railroads, easements, or other public rights-of-way on or within 200 feet of the development property.
x	x	7. Location, size, and type of all existing easements, rights-of-way, or utility infrastructure on or within a minimum of 200 feet of the development property.
x	x	8. Existing topography and land cover of project site and adjacent and nearby sites that are impacted. Contours shall be shown in intervals of 1 foot or less.
x	x	9. Location, dimensions, area, descriptions, and flow line of existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on the development property.
x	x	10. Location of any existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other manmade objects located on the development property.
x	x	11. Boundary survey with bearings and distances of all property lines, tract/lot acreage, location of property markers, and seal of a Registered Land Surveyor, as well as a legal description of the property.
	x	12. Location of benchmarks/primary control points or descriptions and ties to such control points to which all dimensions, angles, bearings, block numbers, and similar data shall be referred.
	x	13. Existing deed covenants, conditions, and restrictions, including any requirements from a POA or ARB.
	x	14. Proposed deed covenants, conditions, and restrictions, including any design or architectural standards.
	x	15. Legal documents for proposed public dedications.
Lot and Building Pattern.		
x		1. Schematic layout and design indicating overall site configuration; roadway design, building location(s), building size(s); general setbacks, and building orientation(s).
	x	2. Detailed layout and design indicating site layout, building location(s), building type(s)/ use(s), building orientation(s), conceptual building elevations, and setbacks.
	x	3. If a PUD, subdivision, office complex, or shopping center, a Master Sign Plan providing unity in sign design and describing the location, types, materials, shapes, sizes, and compatibility with the architecture of the development.
Parking.		
x		1. General location and ingress/egress of parking areas on the site.
	x	2. Location, layout, number of spaces, bicycle parking, and ensuring design shows ADA accessibility compliance.
	x	3. Location of proposed ingress/egress, circulation, loading, parking and pedestrian circulation elements, and ensuring design shows ADA accessibility compliance.



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
	x	4. A parking study documenting the reasons for any increase in the maximum amount of parking or a similar study documenting the ability of the site to accommodate a reduction of 20% or more to the maximum parking requirements.
	x	5. A parking study documenting the ability of a site(s) to accommodate a shared parking arrangement. A shared parking easement must also be provided.
	x	6. Detailed engineering information identifying the location of vehicular and bicycle parking facilities and the construction specifications, geometrics, arrangement, character, width, grade, circulation/maneuvering facilities and areas, landscape islands, loading areas, and including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
Transportation Networks.		
x		1. General layout of transportation networks including access to the site, internal roadways, and access to adjacent properties.
x	x	2. A map or sketch showing the general relationship of the development to the surrounding areas with existing and proposed access roadways referenced to the intersection of the nearest primary or secondary paved roadway.
	x	3. Existing and proposed non-motorized vehicle lanes, paths, sidewalks, and other facilities, including transit facilities, on and within 200 feet of the development property including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
	x	4. Proposed roadway alignment plan showing right-of-way widths with specific reference to the roadway type and design assembly.
	x	5. Proposed access indicating any access management plans, connectivity, roadway extensions, proposed stub roads, dead-end roadways, and roadway names including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
	x	6. Emergency access provisions.
	x	7. A Traffic Assessment demonstrating adherence to MUTCD standards and/or other applicable requirements.
	x	8. A Traffic Impact Analysis (TIA), if warranted by the Traffic Assessment.
	x	9. Engineering plan of proposed traffic mitigation measures, including assessment of individual phase, or approved payments in-lieu of such that will be provided to the Town of Bluffton or applicable agency. Plan must ensure adequate transportation network is in place to support development at time of construction.
	x	10. Vehicular and pedestrian signage plan including crosswalk and pavement marking details.
	x	11. Shared access agreements.
	x	12. Detailed engineering information identifying the location, construction specifications, typical sections, geometrics, arrangement, character, width, and grade of existing and proposed roadways and non-motorized vehicle facilities including detailed dimensions and calculations as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
Natural Resources, Tree Conservation, Planting, and Landscaping.		
x	x	1. Location of existing tree canopy coverage including table summarizing canopy lot coverage area, lot area not covered by tree canopy, and tree canopy expressed as percentage of lot coverage.
x	x	2. Location and table summarizing trees listed on America's Historic Tree Register as maintained by American Forests.



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
	x	3. Location of groups of trees that connect to other vegetated and/or treed areas on adjacent sites helping to create or extend a wildlife or natural corridor.
	x	4. Location and table summarizing trees that have a significant characteristic such as, but not limited to, allees and hedgerow trees, trees of unique character such as those with unique or unusual growth habitat, endangered species, or species rarely found in the area.
	x	5. Location and table summarizing trees designated as protected to be removed.
	x	6. The location and description of existing and proposed landscaping, screening, buffering, and tree preservation areas, including setbacks from natural resource areas.
	x	7. Graphic illustration of the existing tree canopy and mature tree canopy of the proposed tree plantings including a table summarizing the mature canopy of each tree species planted, canopy lot coverage area, lot area not covered by tree canopy, and tree canopy expressed as percentage of lot coverage (all calculations are excluding rooftop area).
	x	8. Detailed landscaping information containing the scientific and common names, quantity and size of each plant species to be planted, typical installation and maintenance drawings/notes, and location and description of irrigation systems.
	x	9. Tree protection zones (TPZ) and tree protection fencing and signage locations and installation specifications.
	x	10. Habitat management plan.
	x	11. Proposed topographic features, including basic contours at one foot or less intervals.
	x	12. Bank stabilization and erosion control measures.
	x	13. If applicable, a Forest Management Plan.
Open Space.		
x	x	1. Proposed open space areas, habitat areas, types, and access trails both on and off-site.
	x	2. Proposed public lands and methods of dedication and access.
	x	3. Proposed ownership and method of transfer through deed restrictions, covenants, public dedication, or other method acceptable to the UDO Administrator.
	x	4. Proposed use for all portions of dedicated open space.
Stormwater Management.		
x	x	1. Acknowledgement of compliance with Bluffton Stormwater Design Manual.
x	x	2. Description of proposed methods and general layout of stormwater drainage.
x	x	3. Proposed drainage system layouts.
x	x	4. Proposed methods to remove pollutants.
x	x	5. Soil types and permeability characteristics from National Resource Conservation Service.
	x	6. Stormwater Drainage Plan with drainage easements.
	x	7. Location and area of proposed impervious coverage.
	x	8. Pre- and post-development runoff volumes, velocities, hydrographs, with Watershed Maps and Link Node Diagrams.
	x	9. Methods to record and report installation and maintenance activities.
	x	10. Stormwater quality monitoring program and pre-development pollutant loading calculations.
	x	11. Notarized Operation and Maintenance Agreement signed by responsible party.
Utilities and Services.		
x		1. Statement by the Applicant/ Engineer/ Design Professional confirming that they believe the site can be supplied with adequate utilities.
	x	2. Proposed water system layout, or individual well locations.
	x	3. Proposed sewer system layout, or individual septic tank locations.



**TOWN OF BLUFFTON
DEVELOPMENT PLAN
APPLICATION CHECKLIST**

Attachment #1

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
	x	4. Location of solid waste/trash disposal units/dumpsters.
	x	5. Location of proposed water, sewer, electric, telephone, cable, data, and gas service layouts, and proposed easements and connections.
	x	6. Location of proposed fire lane, hydrant location(s), FDC(s), and apparatus access to the site and building(s).
	x	7. Location of service and meter areas.
	x	8. Location of mail delivery boxes.
	x	9. Capacity and service studies and/or calculations.
	x	10. Detailed engineering information identifying the location, construction specifications, typical sections, service connections, meters, valves, manholes, inverts, transformers, service pedestals/boxes, and any other utility information.
Lighting.		
x		1. Narrative or plan notes describing the proposed exterior lighting scheme for the property.
	x	2. Location, specifications, and details for existing and proposed exterior site and building light fixtures including the total lumen output, type of lamp, method of shielding, pole and mounting height, and verification that there are no conflicts between lighting and landscaping.
	x	3. Photometric grid overlaid on the proposed site plan indicating the overall light intensity throughout the site (in footcandles) including existing and proposed lighting. Photometric calculations must consider all exterior lighting including building lighting.
	x	4. Notes describing lighting limitations, prohibitions, and methods of enforcement.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the minimum submittal requirements listed above, including any additional items requested by the Town of Bluffton Staff. Any items not provided have been listed in the project narrative with an explanation as to why the required submittal item has not been provided or is not applicable. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

James W. J. [Signature]
Signature of Property Owner or Authorized Agent

2/9/23
Date

JAMES W JEFFCOAT
Printed Name

Project Narrative
Lot 74 Bluffton Park Tract D1 & D3
120 Persimmon St.

General:

The proposed project will consist of a 6,600 sq. ft. commercial building (1,880 sq. ft. office and 4,800 sq. ft. storage) to serve as Contractors Offices at 120 Persimmon Street. The 0.68-acre site is currently undeveloped and zoned "Planned Unit Development" and has been designed to meet the applicable development standards in the Shultz Tract PUD agreement.

Parking/Access:

The site will be accessed from Persimmon Street. The proposed development will provide 7 standard parking spaces and 2 accessible handicap spaces to meet the minimum parking requirement. There will also be 5 additional fleet vehicle parking spaces located behind the building.

Natural Resource:

The site is mostly brush and contains no significant tree. The site does not contain any sensitive areas such as wetlands, streams or river buffer areas. Vegetation removed from the site will follow the mitigation requirements found in the Shultz Tract Park PUD agreement. A planting/landscaping plan will be provided for review by the Planning Commission, Bluffton Park ARB and with the final development plan review submittal.

Stormwater Management:

The existing site is un-developed and covered mostly by brush and small trees. The site contains Seewee fine sand (HSG A/D) and ranges from elevation 27' at the rear property line to approximately 25.5' at the property line fronting Persimmon Street. The existing drainage patterns convey water from the back of the lot to Persimmon Street where it is collected into the Bluffton Park master planned stormwater system. The proposed development will utilize a combination of impervious surface disconnection, compost amended grass swale and permeable paving BMPs to store/infiltrate the water quality volume generated on-site. Water in excess of the quality requirement will discharge to the master planned stormwater system. Additionally, the onsite BMPs will be used to attenuate runoff peak discharge of the 100-year storm event to less than or equal pre-development rates. The stormwater management plan will meet or exceed the requirements of Section 5.10 of the UDO and the Town's Stormwater Design Manual.

Utilities:

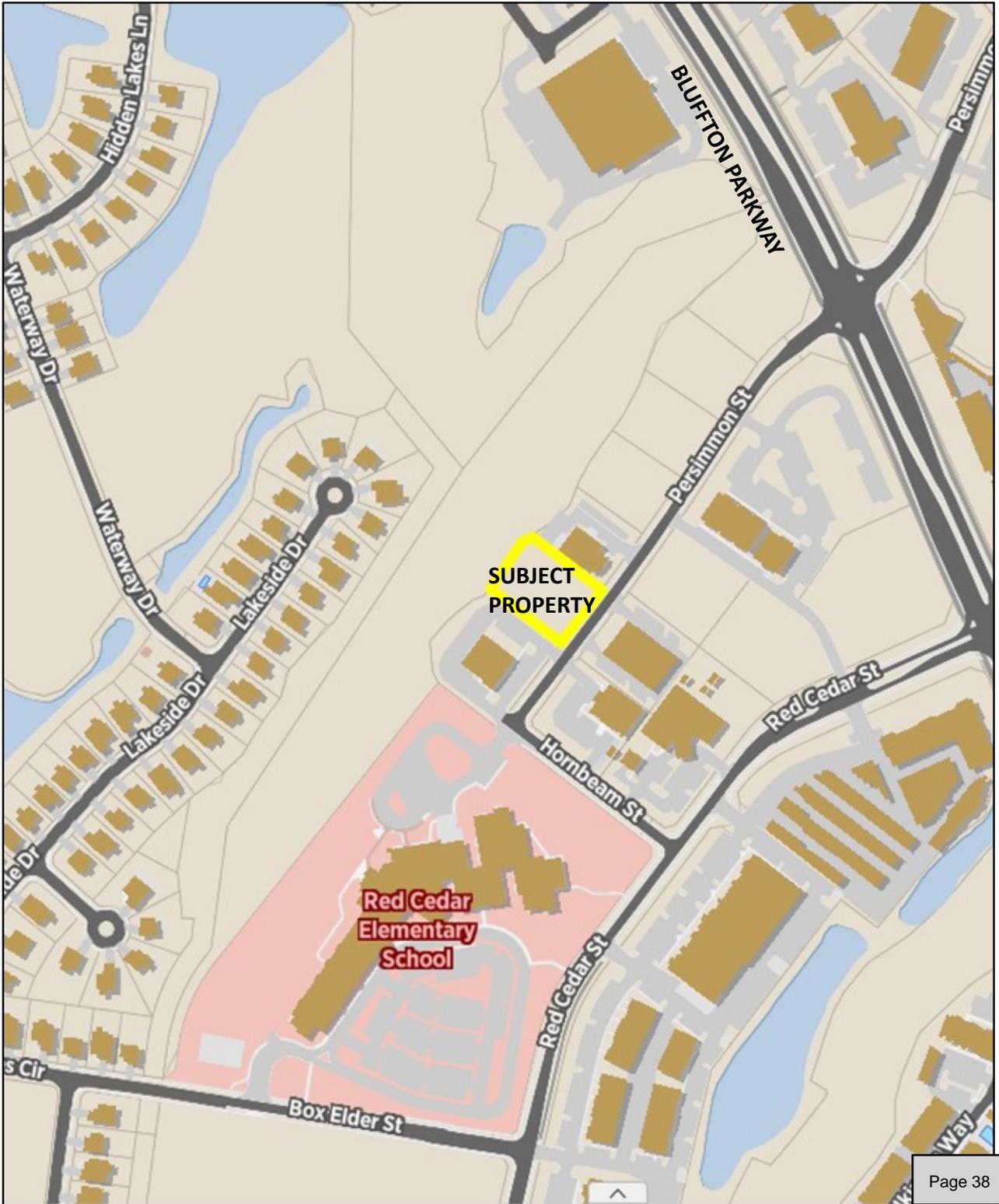
All utilities required for the development of the site are existing and located within the Persimmon Street ROW. These utilities include but are not limited to electrical, telephone, stormwater, water and sewer. Service commitment letters will be provided with the final development plan review submittal.

Lighting:

Lighting will be provided on-site to meet or exceed requirements of all applicable lighting standards. A lighting plan will be provided for review by the Planning Commission and with the final development plan review submittal.

VICINITY MAP

120 PERSIMMON STREET DEVELOPMENT PLAN



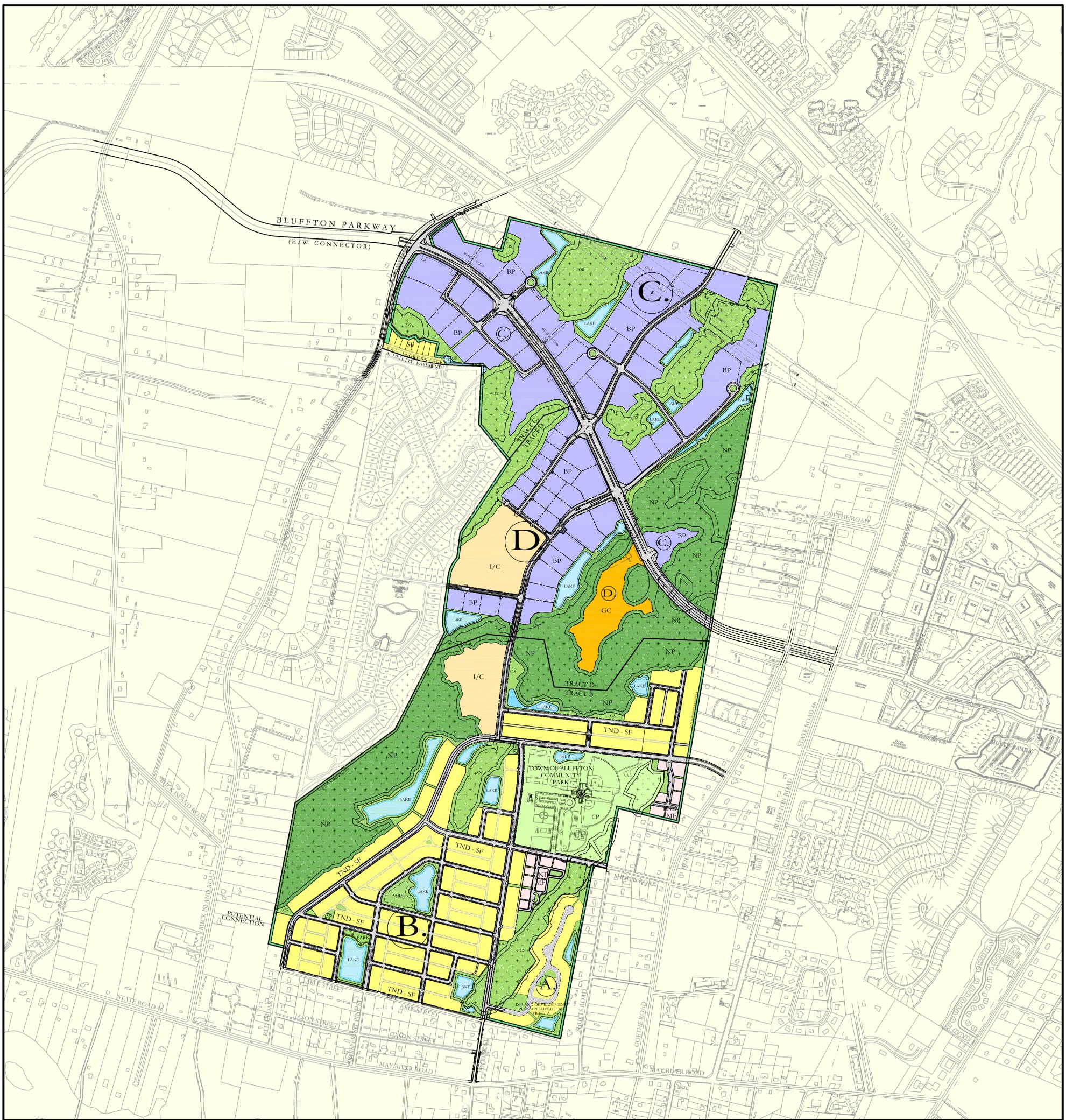


TABLE 1. BLUFFTON PARK - TRACTS B, C, and D
LAND USE AND DENSITY TABLE

LOCATION Note (1)	AREA		RESIDENTIAL		LAND USES							BLUFFTON PARKWAY TOTAL ACRES	TOTAL AREA ACRES
	UPLAND ACRES Note (2)	WETLAND ACRES Note (3)	TOTAL AREA ACRES Note (4)	DU/AC Note (5)	SET AC Note (6)	DU/AC Minimum	TOTAL ACRES Note (7)	BUSINESS PARK TOTAL ACRES Note (8)	GENERAL COMMERCIAL TOTAL ACRES Note (9)	TOWN OF BLUFFTON COMMUNITY PARK TOTAL ACRES Note (10)	NATURE PRESERVE TOTAL ACRES Note (11)		
TOTAL ALLOWED DENSITY PER SCHULTZ TRACT PUD & DEVELOPMENT AGREEMENT	460.77	155.50	616.27	1,600 (Max)	-	-	120.00 (Maximum Upland)	200.00 (Maximum Upland)	30.00 (Maximum Upland)	25.00 (Minimum Upland)	100.00 (Minimum)	-	-
Residential DU Transferred From Bluffton Park by Sale or Donation (1)	-	-	(3)	713	-	-	-	-	-	-	-	-	-
CURRENT ALLOWED DENSITY PER SCHULTZ TRACT PUD & DEVELOPMENT AGREEMENT	460.77	155.50	616.27	887	-	-	120.00 (Maximum Upland)	200.00 (Maximum Upland)	30.00 (Maximum Upland)	25.00 (Minimum Upland)	100.00 (Minimum)	-	-
TRACT B													
-TND SINGLE-FAMILY	145.93	17.24	163.17	651	5	163.17	4.0	-	-	-	-	-	-
-POWER LINE EASEMENT	2.10	0.00	2.10	-	-	-	-	-	-	-	-	-	-
-TND MULTI-FAMILY	9.61	0.00	9.61	89	6	89	9.61	12.0	-	-	-	-	-
INSTITUTIONAL/CIVIC	9.65	0.00	9.65	-	-	-	-	9.65	-	-	-	-	-
TOWN OF BLUFFTON COMMUNITY PARK	28.30	3.77	32.07	-	-	-	-	-	32.07	-	-	-	-
NATURE PRESERVE	7.66	50.56	58.22	-	-	-	-	-	-	58.22	-	-	-
SUB-TOTAL TRACT B	203.25	71.57	274.82	630	174.88	-	9.65	0.00	0.00	32.07	58.22	0.00	274.82
TRACT C													
RESIDENTIAL	-	-	-	-	-	-	-	-	-	-	-	-	-
-TND SINGLE-FAMILY	2.89	0.00	2.89	8	2.89	4.0	-	-	-	-	-	-	-
BUSINESS PARK	134.79	30.98	165.77	-	-	-	-	165.77	-	-	-	-	-
NATURE PRESERVE	11.04	22.64	33.68	-	-	-	-	-	-	33.68	-	-	-
BLUFFTON PARKWAY (EAST-WEST CONNECTOR)	15.17	1.74	16.91	-	-	-	-	-	-	-	16.91	-	-
SUB-TOTAL TRACT C	163.89	55.36	219.25	8	2.89	-	0.00	165.77	0.00	0.00	33.68	16.91	219.25
TRACT D													
INSTITUTIONAL/CIVIC	14.77	0.00	14.77	-	-	-	14.77	-	-	-	-	-	-
BUSINESS PARK	44.48	5.20	49.68	-	-	-	-	49.68	-	-	-	-	-
GENERAL COMMERCIAL	9.63	0.00	9.63	110	-	-	12.0 MF	-	9.63	-	-	-	-
NATURE PRESERVE	6.72	23.37	30.09	-	-	-	-	-	-	30.09	-	-	-
SUB-TOTAL TRACT D	75.60	28.57	104.17	110	-	-	14.77	49.68	9.63	0.00	30.09	0.00	104.17
TOTAL TRACTS B, C, & D	442.74	155.50	598.24	826	177.77	-	24.42	215.45	9.63	32.07	121.99	16.91	598.24
TOTAL TRACT A	18.03	0.00	18.03	61	18.03	4.0	-	-	-	-	-	-	18.03
TOTAL TRACTS A, B, C, & D	460.77	155.50	616.27	889	195.80	-	24.42	215.45	9.63	32.07	121.99	16.91	616.27
TOTAL UNPLANNED RESIDENTIAL DU	-	-	-	78	-	-	-	-	-	-	-	-	-
CURRENT ALLOWED RESIDENTIAL DU	-	-	-	887	-	-	-	-	-	-	-	-	-
TOTAL TRACTS A, B, C, & D	-	-	-	-	-	-	-	-	-	-	-	-	-
-UPLAND	460.77	-	-	195.80	-	24.42	179.27	9.63	28.30	25.42	15.17	-	460.77
-WETLAND	-	155.50	-	195.80	-	0.00	36.18	0.00	3.77	96.57	1.74	-	155.50
-TOTAL AREA	-	-	616.27	-	195.80	-	24.42	215.45	9.63	32.07	121.99	16.91	616.27

- LEGEND:**
- TND - SF TND SINGLE FAMILY
 - TND - MF TND MULTI-FAMILY
 - I/C INSTITUTIONAL / CIVIC
 - BP BUSINESS PARK
 - GC GENERAL COMMERCIAL
 - CP TOWN OF BLUFFTON COMMUNITY PARK
 - NP NATURE PRESERVE
 - BLUFFTON PARKWAY
 - NEIGHBORHOOD PARKS AND OPENSACE (Area incorporated into adjacent land uses)

TOWN of BLUFFTON
SOUTH CAROLINA

Bluffton Park

INITIAL MASTER PLAN

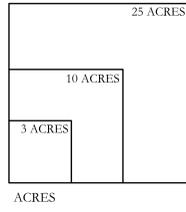
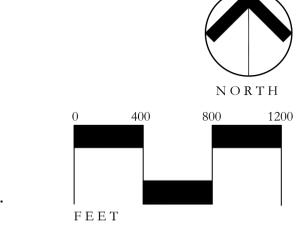
TRACTS B, C, and D

Land Planning:
LandPlan
PARTNERSHIP, INC.
land planning • landscape architecture

Urban Design:
Sottile & Sottile

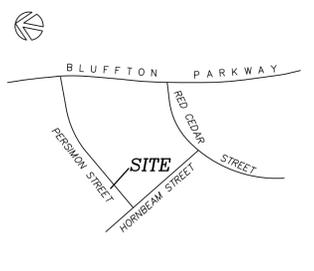
Civil Engineering:
Connor & Associates, Inc.
Carolina Engineering
Consultants, Inc.

Transportation Planning:
Glating Jackson Kercher
Anglin Lopez Rinehart

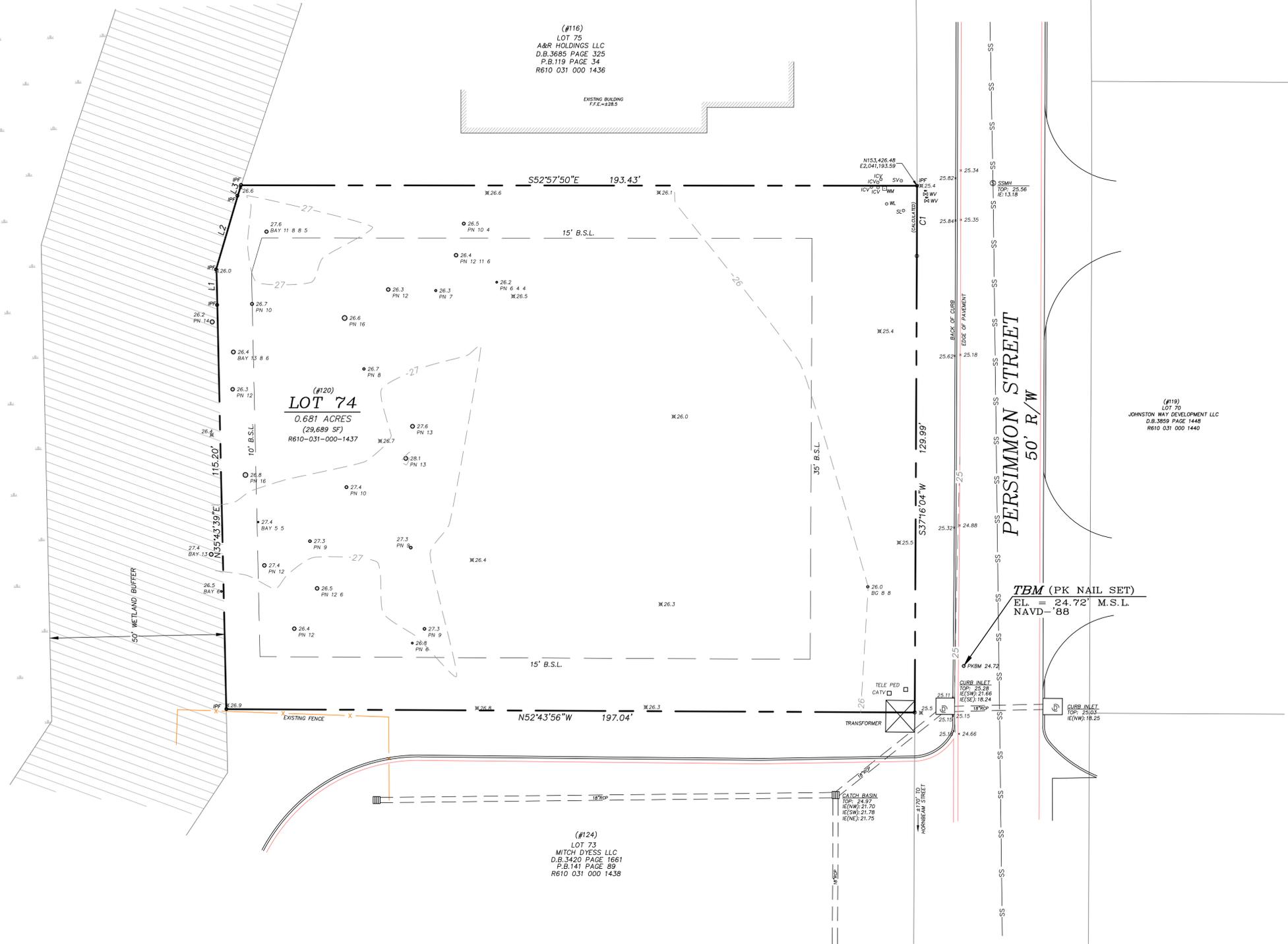


Notes:
1. This master plan is conceptual in nature, and subject to approval of local, state, and federal agencies. All property lines, tract dimensions and descriptions are for graphic representation and serve as an aid to site locations only. Any person desiring to determine actual lot configurations should examine the plats, deed restrictions and covenants applicable to specific portions of the property. Quinco - D'Amico Shults LLC, its successors or assigns, reserves the right to change the conceptual nature of the plan.
2. The base information for this plan has been compiled from a variety of sources, at various times and as such is intended to be used as a guide only. LandPlan Partnership, Inc. assumes no liability for its accuracy or state of completion, or for any decision that the user may make based on this information.

Land Use and Density Table
1. The maximum allowable dwelling unit count for Bluffton Park is 900 dwelling units (DU) according to the Schultz Tract PUD and Development Agreement. Transfer of density between planning areas is allowed per the Schultz Tract Concept PUD Plan, Section 2. D. After the sale and donation of 70 DU the maximum total allowable dwelling unit count is 887 DU.
2. All acreages are approximate. Actual acreages will be determined by field survey on a phase-by-phase basis at the time of the preparation of the Development Plans.
3. With the exception of wetlands in the Nature Preserve, all other wetlands are subject to minor impacts for fill or wetlands under one (1) acre and for road crossings as permitted by the USACE. Nature Preserve wetlands are subject to impacts for fill for wetland road crossings, and for recreational boardwalks.
4. See the Initial Master Plan for Bluffton Park, Tracts B, C, and D Narrative and Site Development Standards for land uses permitted in the locations in Table 1.
5. TND-SF 95/27 total acres, less 2.0 acre power line easement equals 93.27 net acres.
6. 89 TND-MF DU based on 50 townhouses permitted in B-97, 39 townhouses permitted in B-97.



VICINITY MAP - N.T.S.



BLUFFTON PARK COMMERCIAL ASSOCIATION
D.B.2632 PAGE 964
R610 031 000 1367
(WETLANDS)

(#116)
LOT 75
A&R HOLDINGS LLC
D.B.3685 PAGE 325
P.B.119 PAGE 34
R610 031 000 1436

(#120)
LOT 74
0.681 ACRES
(29,689 SF)
R610-031-000-1437

(#119)
LOT 76
JOHNSTON WAY DEVELOPMENT LLC
D.B.3659 PAGE 1448
R610 031 000 1440

(#124)
LOT 73
MITCH DYESS LLC
D.B.3420 PAGE 1661
P.B.141 PAGE 59
R610 031 000 1438

- NOTES:
- THIS LOT LIES IN ZONE "X", NO B.F.E. PER F.I.R.M. PANEL 45013C 0288 G, COMMUNITY No. 450251, EFFECTIVE: 03/23/21.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - PORTIONS OF ADJOINING LOT LOCATIONS ARE TAKEN FROM AERIAL PHOTOGRAPH AND ARE NOT FIELD VERIFIED.

LEGEND

BAY	BAY LAUREL
BG	BLACK GUM
B.S.L.	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
ICV	IRRIGATION CONTROL VALVE
IF	INVERT
IPF	IRON PIN FOUND
PKBM	PK NAIL BENCHMARK
PN	PINE
SL	SEWER LATERAL
SV	SEWER VALVE
TELE PED	TELEPHONE PEDESTAL
WL	WATER LATERAL
WM	WATER METER
WV	WATER VALVE

REFERENCE PLAT:
A SUBDIVISION OF PHASE 2, TRACT D1 & D3, BLUFFTON PARKWAY, A SECTION OF PHASE D, BLUFFTON PARK
PREPARED BY: T-SQUARE GROUP, INC.
DATED: 07/12/06; LAST REVISED: 03/08/07
JOB NO.: BP-D1&D3DSD-PHASE 2
RECORDED IN: P.B.119 PAGE 34

LABEL DESCRIPTIONS (TYP.)

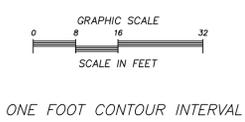
18.4	TREE LOCATION
PN 18	GROUND ELEVATION
	TREE SPECIES & DIAMETER (IN.)

LINE TABLE

L#	LENGTH	DIRECTION
L1	10.43'	N35°43'39"E
L2	21.76'	N53°25'21"E
L3	2.88'	N55°29'50"E

CURVE TABLE

C#	ARC	RADIUS	DELTA	DIRECTION	CHORD
C1	20.01'	4950.00'	000°13'54"	S37°09'07"W	20.01'



PREPARED FOR: JIM JEFFCOAT

A TREE AND TOPOGRAPHIC LAND SURVEY
OF
LOT 74 PERSIMMON STREET
A PORTION OF
PHASE 2, TRACTS: D1 & D3
BLUFFTON PARK TRACT
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

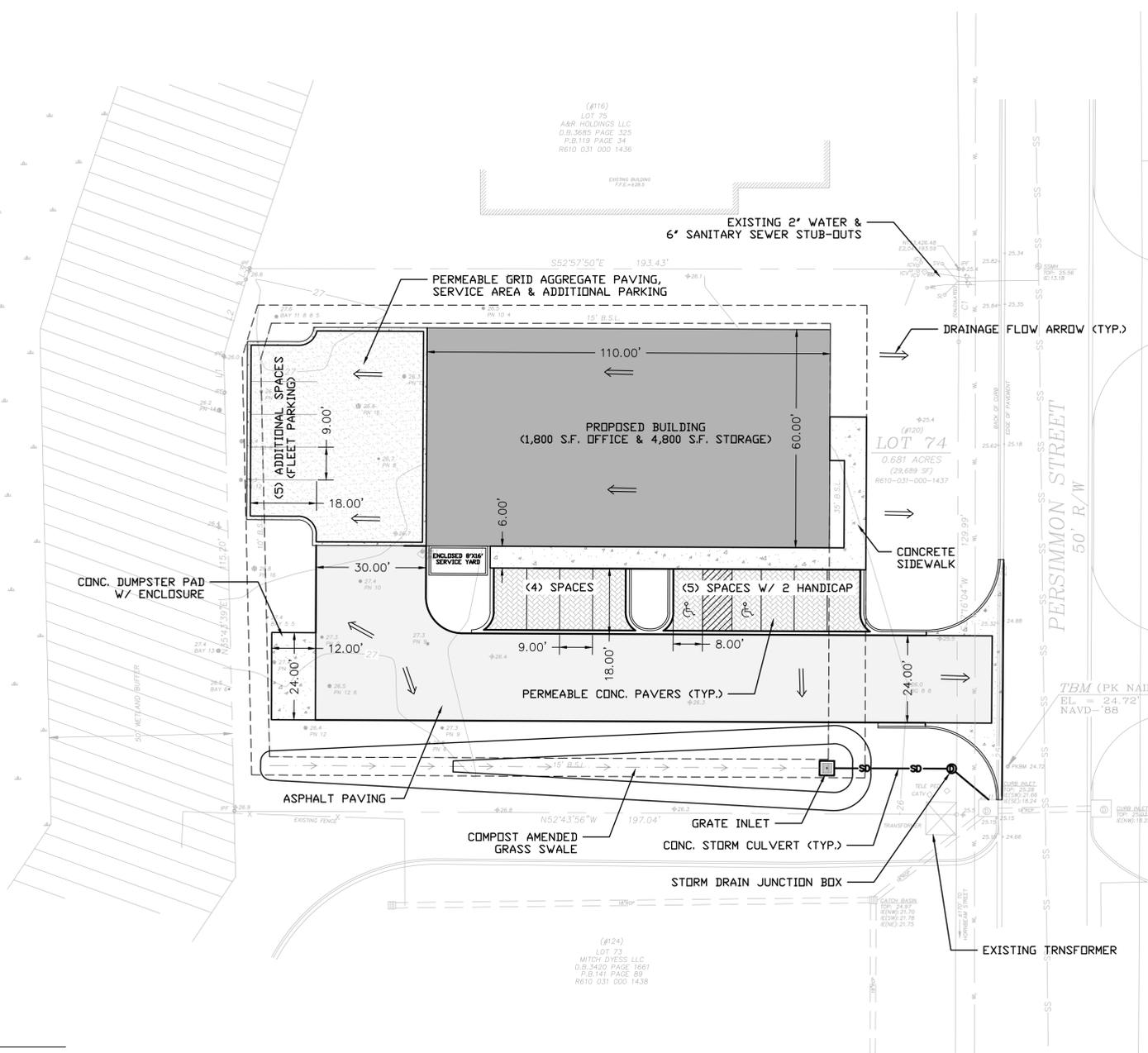
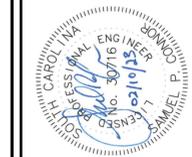
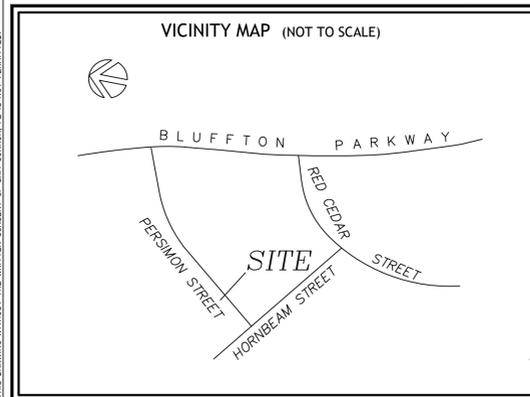
SCALE: 1" = 16'
DATE: 12/08/22
JOB No.: 73,665BT

SURVEYED BY: MS
DRAWN BY: JTG
CHECKED BY: MRD

" I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN
S.C.R.L.S. NO. 11905
REVISED: 01/05/22: TO ADD ADDITIONAL SEWER & DRAINAGE ADJUST ELEVATIONS TO 86 DATUM





ZONING DISTRICT: PUD - SHULTZ TRACT
 SITE AREA SUMMARY:
 TOTAL SITE AREA 29,689 SQ. FT. 0.681 AC

PROPOSED IMPERVIOUS COVERAGE		
PROPOSED BUILDING (1,800 FT ² OFFICE & 4,800 FT ² WAREHOUSE)	6,600 SQ. FT.	
PROPOSED CONCRETE	1,493 SQ. FT.	
PROPOSED CONC. CURBING	463 SQ. FT.	
PROPOSED ASPHALT PAVING	5,169 SQ. FT.	
TOTAL IMPERVIOUS COVERAGE	13,725 SQ. FT.	46%

PROPOSED PERVIOUS COVERAGE		
PROPOSED PERVIOUS PAVING	4,034 SQ. FT.	
LANDSCAPE/UNDISTURBED	11,930 SQ. FT.	
TOTAL PERVIOUS COVERAGE	15,964 SQ. FT.	54%

OPEN SPACE		
COMMON OPEN SPACE	3,455 SQ. FT.	12%
MISC. OPEN SPACE	9,354 SQ. FT.	31%
TOTAL OPEN SPACE	12,809 SQ. FT.	43%

PARKING SUMMARY:
 REQUIRED PARKING:
 OFFICE (1 PER 200 FT² GROSS FLOOR SPACE)* 9 SPACES
 PARKING PROVIDED (W/ 2 HANDICAP) 9 SPACES
 ADDITIONAL PARKING: 5 ADD. SPACES PROVIDED BEHIND BUILDING FOR FLEET PARKING

*MOST APPLICABLE PARKING REQUIREMENT UNDER SHULTZ TRACT PUD DEV. STANDARDS



NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		

PREPARED BY:
 SAM CONNOR, PE
 P.O. BOX 36716
 BLUFFTON, SC 29910
 843-368-5051
 connorconsulting@gmail.com

LOT 74 BLUFFTON PARK TRACT D1 & D3
 120 PERSIMMON STREET, TOWN OF BLUFFTON, SOUTH CAROLINA
JIM JEFFCOAT
 Severna Park, Maryland
PRELIMINARY DEVELOPMENT PLAN

NOT FOR CONSTRUCTION
 RELEASED FOR CONSTRUCTION

PROJECT #: 221113
 DATE: 02/10/23
 DESIGNED BY: SPC
 CHECKED BY: SPC
 SCALE: 1"=20'

**SHEET
 1 OF 1**



PLAN REVIEW COMMENTS FOR DP-02-23-017665

Section X. Item #2.

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 BLUFFTON PARK PHASE D-1/D-3

Plan Type:	Development Plan	Apply Date:	02/10/2023
Plan Status:	Active	Plan Address:	120 Persimmon Street BLUFFTON, SC 29910
Case Manager:	Dan Frazier	Plan PIN #:	R610 031 000 1437 0000
Plan Description:	<p>A request by Sam Connor on behalf of the property owner, James Jeffcoat for approval of a preliminary development plan application. The project proposes a 6,600 SF commercial building including 1,880 SF of office space and 4,800 SF of storage space. The property is zoned Schultz Planned Unit Development and consists of 0.68 acres identified by tax map number R610 031 000 1437 0000 located within the Bluffton Park Master Plan.</p> <p>STATUS UPDATE: Comments for this item will be heard at the March 15, 2023 meeting of the DRC.</p>		

Technical Review

Submission #: 1 Received: 02/10/2023 Completed: 03/10/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Beaufort Jasper Water and Sewer Review	03/07/2023	James Clardy	Approved with Conditions
Comments: Pending submittal to BJWSA Design Review Team in accordance with the Development Policy Procedure Manual.			
Fire Department Review	03/10/2023	Dan Wiltse	Approved with Conditions
Comments: 1. Provide fire protection information at time of final development plan submittal, including sprinklers or access routes to get emergency vehicles to within 150 feet of all areas of the building if it is not sprinkled.			
Planning Commission Review	03/10/2023	Dan Frazier	Approved with Conditions
Comments: 1. At time of final development plan submittal provide a Letter of Approval from the Bluffton Park Commercial POA for site lighting, landscaping and architecture. 2. At time of final development plan submittal, provide a detail of the dumpster enclosure.			
Planning Review - SR	03/10/2023	Jordan Holloway	Approved with Conditions
Comments: 1. Final DP landscaping plan will need to provide 75% canopy coverage for the lot, minus the footprint of the building.			
Watershed Management Review DRC	03/08/2023	Samantha Crotty	Approved with Conditions
Comments: At time of SWP submittal, provide location of planted/saved trees as reflected in the compliance calculator.			
Planning Review - Address	03/09/2023	Ryan Coleman	Approved
Police Department Review	03/10/2023	Adam Barberio	Approved
Building Safety Review	02/14/2023	Richard Spruce	Approved

Comments:

No comments

Plan Review Case Notes:



CONNOR CONSULTING SERVICES, LLC
ENGINEERING · DESIGN · PROJECT MANAGEMENT

March 29, 2023

Dan Frazier
Dept. of Growth Management
Town of Bluffton
P.O. Box 386
Bluffton, SC 29910

RE: 120 Persimmon Street – Preliminary DRC Comment Response

Mr. Frazier

Below please find the response to the Preliminary Development Plan Review Comments provided by Town Staff for the March 15, 2023, Development Review Committee Meeting:

Beaufort Jasper Water & Sewer Review Comments:

1. Pending submittal to BJWSA Design Review Team in accordance with the Development Policy Procedure Manual.

Comment acknowledged.

Fire Department Review Comments:

1. Provide fire protection information at time of final development plan submittal, including sprinklers or access routes to get emergency vehicles to within 150 feet of all areas of the building if it is not sprinkled.

Comment acknowledged.

Planning Commission Review Comments:

1. At time of final development plan submittal provide a Letter of Approval from the Bluffton Park Commercial POA for site lighting, landscaping and architecture.

Comment acknowledged.

2. At time of final development plan submittal, provide a detail of the dumpster enclosure.

Comment acknowledged.

Planning Review - SR Comments:

1. Final DP landscaping plan will need to provide 75% canopy coverage for the lot, minus the footprint of the building.

Comment acknowledged.

Watershed Management Review Comments:

1. At time of SWP submittal, provide location of planted/saved trees as reflected in the compliance calculator.

Comment acknowledged.

Sincerely,



Sam Connor, PE
Connor Consulting Services, LLC
P.O. Box 3671
Bluffton, SC 29910

PLANNING COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	April 26, 2023
PROJECT:	Starbucks – Lot 4, Washington Square Preliminary Development Plan
APPLICANT:	Mary Kramer of G3 Engineering and Surveying, LLC
PROJECT NUMBER:	DP-02-23-017687
PROJECT MANAGER:	Dan Frazier Principal Planner Department of Growth Management

REQUEST: The Applicant, Mary Kramer of G3 Engineering and Surveying, LLC, on behalf of the property owner, Vaquero Bluffton Partners, LP, is requesting approval of a Preliminary Development Plan. The project proposes a 2,500 SF commercial building to serve as a Starbucks coffeehouse (Attachment 1).

INTRODUCTION: The property is zoned Buckwalter Planned Unit Development and consists of 1.03 acres identified by tax map number R614 022 000 1131 0000 located within the Berkeley Place Parcel C4 Master Plan and the Washington Square Development Plan (Attachments 2 and 3).

BACKGROUND: This application is for a Preliminary Development Plan located within the Buckwalter PUD and is subject to the standards set forth in the Buckwalter PUD Concept Plan, Development Agreement, and the Berkeley Place Parcel C4 Master Plan. The subject parcel lies within the Washington Square Development Plan, approved for construction on October 1, 2018, with the developer constructing roads and infrastructure to allow for future development of individual parcels.

The Buckwalter PUD is divided into eight integrated planning areas that are used to identify allowable land uses and density within each tract. The subject parcel lies within the Buckwalter Commons Planning Area, with General Commercial and Neighborhood Commercial use specified among the list of allowed land uses. Per the Definitions of Land Use in the Buckwalter PUD Concept Plan, permitted uses include retail, restaurant and eating and drinking establishments (Attachment 4).

Staff comments on the Preliminary Development Plan were reviewed at the March 22, 2023, Development Review Committee meeting (Attachment 5). The Applicant provided a revised response to comments on April 12, 2023 (Attachments 6).

REVIEW CRITERIA & ANALYSIS: The Planning Commission shall consider the criteria set forth in Section 3.10.3.A of the Unified Development Ordinance in assessing an

application for a Preliminary Development Plan. The applicable criteria are provided below followed by Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.10.3.A.1. Conformance with the applicable provisions provided in Article 5, Design Standards.

Finding. The property lies within the Buckwalter PUD and therefore is not subject to the Design Standards set forth in Article 5 of the UDO.

2. Section 3.10.3.A.2. The proposed development shall be in conformance with any approved Development Agreement, PUD Concept Plan, PUD Master Plan, Subdivision Plan, or any other agreements or plans that are applicable.

Finding. Town Staff finds that the preliminary site plan is in conformance with the Buckwalter PUD Development Agreement and Concept Plan and the Berkley Place/Parcel C4 Master Plan.

Finding: At the time of Final Development Plan submittal, the Applicant will be required to provide an approval letter from the Washington Square POA architectural review board.

3. Section 3.10.3.A.3. If the proposed development is associated with a previously approved Master Plan, then the traffic and access plans shall adhere to the previously approved traffic impact analysis or assessment, where applicable. If an application is not associated with a previously approved PUD Master Plan, then a traffic impact analysis shall be required at final development plan submittal.

Finding. The project is located within the Berkley Place/Parcel C4 Master Plan and the Washington Square Development Plan. A Traffic Impact Analysis was approved in conjunction with the Berkley Place Master Plan and an updated Traffic Assessment was approved in conjunction with the Washington Square Development Plan. The traffic and access plans for the project adhere to the approved Traffic Impact Analysis and updated Traffic Assessment and no additional improvements are required for the proposed Starbucks coffeehouse.

4. Section 3.10.3.A.4. The proposed development must be able to be served by adequate public services, including, but not limited to, water, sanitary sewer, roads, police, fire, and school services. For developments that have the potential for significant impact on infrastructure and services, the applicant shall be required to provide an analysis and mitigation of the impact on transportation, utilities, and community services.

Finding. The Washington Square Development Plan will provide all master utilities for connection as each parcel is developed. The Starbucks coffeehouse will utilize the connections provided to ensure adequate water, sanitary sewer, and stormwater services in support of the project. Letters from the agencies providing public services will be required at time of Final Development Plan submittal per the Applications Manual.

5. **Section 3.10.3.A.5. The phasing plan, if applicable, is logical and is designed in a manner that allows each phase to fully function independently regarding services, utilities, circulation, facilities, and open space, irrespective of the completion of other proposed phases.**

Finding. The project is proposed to be completed in a single phase of construction.

6. **Section 3.10.3.A.6. The application must comply with applicable requirements in the Applications Manual.**

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

PLANNING COMMISSION ACTIONS: The Planning Commission has the authority to take the following actions with respect to the application as authorized by Section 2.2.6.C.5 of the UDO:

1. Approve the application as submitted;
2. Approve the application with conditions; or
3. Deny the application as submitted.

RECOMMENDATION: Town Staff finds that the requirements of Section 3.10.3.A of the Unified Development Ordinance are met and recommends that the Planning Commission approve the application as submitted.

ATTACHMENTS:

1. Application
2. Vicinity Map
3. Buckwalter Commons Parcel C4 Master Plan
4. Site Development Plans
5. 3-22-23 DRC Comments and Original Site Plan
6. Response to Comments



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION

Growth Management Customer

Section X. Item #3.

 20 Bridge Street
Bluffton, SC 29910
(843)706-4522

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: G3 Engineering & Surveying, LLC		Name: Vaquero Bluffton Partners, LP	
Phone: (843) 237-1001		Phone: (817)902-4750	
Mailing Address: 24 Commerce Drive Pawleys Island, SC 29585		Mailing Address: 2627 Tillar St. Suite 111 Fort Worth, TX 76107	
E-mail: permit@g3engineering.org		E-mail: pparker@vaqueroventures.com	
Town Business License # (if applicable): LIC-02-23-047593			
Project Information			
Project Name: Coffee Shop - Bluffton, SC	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Final	
Project Location: 401 Bleeker St.	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment	
Zoning District: Buckwalter PUD	Acreage: 1.036		
Tax Map Number(s): 242012462			
Project Description: Coffee shop			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Two (2) full sized copies and digital files of the Preliminary or Final Development Plans. <input type="checkbox"/> 2. Project Narrative and digital file describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 3. All information required on the attached Application Checklist. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Vaquero Bluffton Partners, LP By: Vaquero Ventures Mangement, LLC, its general partner By: <i>[Signature]</i> Manager	Date: 2/7/23
Applicant Signature:		<i>[Signature]</i>	Date: 2/15/2023
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION PROCESS NARRATIVE

Section X. Item #3.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Preliminary Development Plan Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting - Preliminary Development Plan Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Preliminary Development Plan Application and required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator & Development Review Committee	Staff
If the UDO Administrator determines that the Preliminary Development Plan Application is complete, it shall be forwarded to the Development Review Committee (DRC). The DRC shall review the application and prepare written comments for review with the Applicant.	
Step 4. Development Review Committee Meeting - Preliminary Development Plan Review	Applicant & Staff
A public meeting shall be held with the Applicant to review the DRC Staff Report and discuss the application. The DRC shall review the Preliminary Development Plan Application for compliance with the criteria and provisions in the UDO. The Applicant will be directed to address comments, if any, and resubmit the application materials. If applicable, upon resubmittal, the application materials will be reviewed for compliance with the DRC Staff Report. The UDO Administrator may approve, approve with conditions, or deny the application based on whether or not the application is in compliance with the UDO and the DRC comments. Preliminary Development Plan Application approval shall authorize the Applicant to prepare a Final Development Plan Application for administrative review and approval.	
Step 5. Application Check-In Meeting - Final Development Plan Submission	Applicant & Staff
The Applicant shall submit the completed Final Development Plan Application and required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Review by UDO Administrator & Development Review Committee	Staff
If the UDO Administrator determines that the Final Development Plan application is complete, it shall be forwarded to the DRC. The DRC shall review the application and prepare written comments for review with the Applicant.	
Step 7. Development Review Committee Meeting – Final Development Plan Review	Applicant & Staff
A public meeting shall be held with the Applicant to review the DRC Staff Report and discuss the application. The DRC shall review the Preliminary Development Plan Application for compliance with the criteria and provisions in the UDO. The Applicant will be directed to address comments, if any, and resubmit the application materials. If applicable, upon resubmittal, the application materials will be reviewed for compliance with the DRC Staff Report. The UDO Administrator may approve, approve with conditions, or deny the application based on whether or not the application is in compliance with the UDO and the DRC comments.	
Step 8. Issue Final Development Permit	Staff
If the application is in compliance with the UDO, DRC Staff Report, Preliminary Development Plan approval, and, if all comments are addressed, the UDO Administrator shall issue the Final Development Permit.	



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

In accordance with the Town of Bluffton [Unified Development Ordinance \(UDO\)](#), the following information shall be included as part of a Development Plan application submitted for review. Depending on the proposal, the amount and type of documentation will vary. This checklist is intended to assist in the provision of the minimum documentation necessary to demonstrate compliance with the UDO. Upon review of the submitted application by Town Staff, additional information may be required. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO. Applicants are encouraged to work closely with Town Staff in preparing any application prior to submittal.

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
General Information.		
x	x	1. Name and address of property owner(s) and applicant.
x	x	2. If the applicant is not the property owner, a letter of agency from the property owner authorizing the applicant to act on behalf of the property owner.
x	x	3. A detailed narrative describing the existing site conditions and uses, proposed development, proposed uses and activities that will be conducted on the site, statement of conformance with the UDO, description of any energy conservation or green technologies proposed on the site, the maintenance responsibility of any common or public areas, and publically dedicated improvements to be completed.
x	x	4. A listing of any past development permit approval numbers associated with the site and existing conditions placed on the development property by the Town of Bluffton through past approvals including a detailed description of how the condition will be met.
x	x	5. An explanation of why any items on this checklist are not included with the application materials.
x	x	6. Project name and/or name of development.
x	x	7. All plans must include the following: name of county; municipality; project location; parcel identification number(s); date of original design; all dates of revisions; north arrow; graphic scale; and legend identifying all symbology.
x	x	8. Vicinity map.
x	x	9. Site data table to include; total acreage, pervious versus impervious cover, required and proposed open space calculations, number and area of proposed lots, residential density, number and area of each proposed structure, area of each use of the property and buildings, and required and proposed parking calculations.
x	x	10. Signature over seal of registered engineer or landscape architect licensed to practice in South Carolina.
x	x	11. Phasing plan if the development is proposed to be developed in phases.
	x	12. Letters of approval, including any applicable permits, from the following agencies (as necessary for the project): a) United States Army Corp of Engineers; b) South Carolina Department of Health & Environmental Control; c) South Carolina Department of Transportation; d) Beaufort County Engineering; e) Beaufort County EMS; f) Beaufort County School District; g) Bluffton Township Fire District; h) Beaufort Jasper Water Sewer Authority; i) Town of Bluffton; j) Electric Provider; k) Natural Gas provider; and



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Section X. Item #3.

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
		l) Cable, telephone, and data provider.
Site and Existing Conditions Documentation.		
x	x	1. Comprehensive color photograph documentation of site and existing conditions. If digital, images should be at a minimum of 300 dpi resolution.
x	x	2. Names of the owners of contiguous parcels and an indication of adjacent existing and proposed (if known) land uses and zoning.
x	x	3. Location of all property lines.
x	x	4. Location of municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the development property, form a part of the boundary of the development property, or are contiguous to such boundary.
x	x	5. Location of all existing access points and intersections along both sides of any frontage or access roadway(s) within a minimum of 1,000 feet of the site boundaries.
x	x	6. Location, dimensions, name, and descriptions of all existing or recorded roadways, alleys, reservations, railroads, easements, or other public rights-of-way on or within 200 feet of the development property.
x	x	7. Location, size, and type of all existing easements, rights-of-way, or utility infrastructure on or within a minimum of 200 feet of the development property.
x	x	8. Existing topography and land cover of project site and adjacent and nearby sites that are impacted. Contours shall be shown in intervals of 1 foot or less.
x	x	9. Location, dimensions, area, descriptions, and flow line of existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on the development property.
x	x	10. Location of any existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other manmade objects located on the development property.
x	x	11. Boundary survey with bearings and distances of all property lines, tract/lot acreage, location of property markers, and seal of a Registered Land Surveyor, as well as a legal description of the property.
	x	12. Location of benchmarks/primary control points or descriptions and ties to such control points to which all dimensions, angles, bearings, block numbers, and similar data shall be referred.
	x	13. Existing deed covenants, conditions, and restrictions, including any requirements from a POA or ARB.
	x	14. Proposed deed covenants, conditions, and restrictions, including any design or architectural standards.
	x	15. Legal documents for proposed public dedications.
Lot and Building Pattern.		
x		1. Schematic layout and design indicating overall site configuration; roadway design, building location(s), building size(s); general setbacks, and building orientation(s).
	x	2. Detailed layout and design indicating site layout, building location(s), building type(s)/ use(s), building orientation(s), conceptual building elevations, and setbacks.
	x	3. If a PUD, subdivision, office complex, or shopping center, a Master Sign Plan providing unity in sign design and describing the location, types, materials, shapes, sizes, and compatibility with the architecture of the development.
Parking.		
x		1. General location and ingress/egress of parking areas on the site.
	x	2. Location, layout, number of spaces, bicycle parking, and ensuring design shows ADA accessibility compliance.
	x	3. Location of proposed ingress/egress, circulation, loading, parking and pedestrian circulation elements, and ensuring design shows ADA accessibility compliance.



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Section X. Item #3.

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	x	4. A parking study documenting the reasons for any increase in the maximum amount of parking or a similar study documenting the ability of the site to accommodate a reduction of 20% or more to the maximum parking requirements.
	x	5. A parking study documenting the ability of a site(s) to accommodate a shared parking arrangement. A shared parking easement must also be provided.
	x	6. Detailed engineering information identifying the location of vehicular and bicycle parking facilities and the construction specifications, geometrics, arrangement, character, width, grade, circulation/maneuvering facilities and areas, landscape islands, loading areas, and including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
Transportation Networks.		
x		1. General layout of transportation networks including access to the site, internal roadways, and access to adjacent properties.
x	x	2. A map or sketch showing the general relationship of the development to the surrounding areas with existing and proposed access roadways referenced to the intersection of the nearest primary or secondary paved roadway.
	x	3. Existing and proposed non-motorized vehicle lanes, paths, sidewalks, and other facilities, including transit facilities, on and within 200 feet of the development property including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
	x	4. Proposed roadway alignment plan showing right-of-way widths with specific reference to the roadway type and design assembly.
	x	5. Proposed access indicating any access management plans, connectivity, roadway extensions, proposed stub roads, dead-end roadways, and roadway names including detailed dimensions as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
	x	6. Emergency access provisions.
	x	7. A Traffic Assessment demonstrating adherence to MUTCD standards and/or other applicable requirements.
	x	8. A Traffic Impact Analysis (TIA), if warranted by the Traffic Assessment.
	x	9. Engineering plan of proposed traffic mitigation measures, including assessment of individual phase, or approved payments in-lieu of such that will be provided to the Town of Bluffton or applicable agency. Plan must ensure adequate transportation network is in place to support development at time of construction.
	x	10. Vehicular and pedestrian signage plan including crosswalk and pavement marking details.
	x	11. Shared access agreements.
	x	12. Detailed engineering information identifying the location, construction specifications, typical sections, geometrics, arrangement, character, width, and grade of existing and proposed roadways and non-motorized vehicle facilities including detailed dimensions and calculations as are necessary and appropriate to demonstrate compliance with all applicable standards and requirements.
Natural Resources, Tree Conservation, Planting, and Landscaping.		
x	x	1. Location of existing tree canopy coverage including table summarizing canopy lot coverage area, lot area not covered by tree canopy, and tree canopy expressed as percentage of lot coverage.
x	x	2. Location and table summarizing trees listed on America's Historic Tree Register as maintained by American Forests.



TOWN OF BLUFFTON DEVELOPMENT PLAN APPLICATION CHECKLIST

Section X. Item #3.

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	x	3. Location of groups of trees that connect to other vegetated and/or treed areas on adjacent sites helping to create or extend a wildlife or natural corridor.
	x	4. Location and table summarizing trees that have a significant characteristic such as, but not limited to, allees and hedgerow trees, trees of unique character such as those with unique or unusual growth habitat, endangered species, or species rarely found in the area.
	x	5. Location and table summarizing trees designated as protected to be removed.
	x	6. The location and description of existing and proposed landscaping, screening, buffering, and tree preservation areas, including setbacks from natural resource areas.
	x	7. Graphic illustration of the existing tree canopy and mature tree canopy of the proposed tree plantings including a table summarizing the mature canopy of each tree species planted, canopy lot coverage area, lot area not covered by tree canopy, and tree canopy expressed as percentage of lot coverage (all calculations are excluding rooftop area).
	x	8. Detailed landscaping information containing the scientific and common names, quantity and size of each plant species to be planted, typical installation and maintenance drawings/notes, and location and description of irrigation systems.
	x	9. Tree protection zones (TPZ) and tree protection fencing and signage locations and installation specifications.
	x	10. Habitat management plan.
	x	11. Proposed topographic features, including basic contours at one foot or less intervals.
	x	12. Bank stabilization and erosion control measures.
	x	13. If applicable, a Forest Management Plan.
Open Space.		
x	x	1. Proposed open space areas, habitat areas, types, and access trails both on and off-site.
	x	2. Proposed public lands and methods of dedication and access.
	x	3. Proposed ownership and method of transfer through deed restrictions, covenants, public dedication, or other method acceptable to the UDO Administrator.
	x	4. Proposed use for all portions of dedicated open space.
Stormwater Management.		
x	x	1. Acknowledgement of compliance with Bluffton Stormwater Design Manual.
x	x	2. Description of proposed methods and general layout of stormwater drainage.
x	x	3. Proposed drainage system layouts.
x	x	4. Proposed methods to remove pollutants.
x	x	5. Soil types and permeability characteristics from National Resource Conservation Service.
	x	6. Stormwater Drainage Plan with drainage easements.
	x	7. Location and area of proposed impervious coverage.
	x	8. Pre- and post-development runoff volumes, velocities, hydrographs, with Watershed Maps and Link Node Diagrams.
	x	9. Methods to record and report installation and maintenance activities.
	x	10. Stormwater quality monitoring program and pre-development pollutant loading calculations.
	x	11. Notarized Operation and Maintenance Agreement signed by responsible party.
Utilities and Services.		
x		1. Statement by the Applicant/ Engineer/ Design Professional confirming that they believe the site can be supplied with adequate utilities.
	x	2. Proposed water system layout, or individual well locations.
	x	3. Proposed sewer system layout, or individual septic tank locations.



**TOWN OF BLUFFTON
DEVELOPMENT PLAN
APPLICATION CHECKLIST**

Section X. Item #3.

Prelim Plan	Final Plan	NOTE: Depending on the activities proposed, Development Plan documentation will vary. At minimum, each plan must contain the General Information and Site & Existing Conditions Documentation in addition to information required for the other specific activities listed below, as applicable. Please contact Town Staff for questions and additional information.
	x	4. Location of solid waste/trash disposal units/dumpsters.
	x	5. Location of proposed water, sewer, electric, telephone, cable, data, and gas service layouts, and proposed easements and connections.
	x	6. Location of proposed fire lane, hydrant location(s), FDC(s), and apparatus access to the site and building(s).
	x	7. Location of service and meter areas.
	x	8. Location of mail delivery boxes.
	x	9. Capacity and service studies and/or calculations.
	x	10. Detailed engineering information identifying the location, construction specifications, typical sections, service connections, meters, valves, manholes, inverts, transformers, service pedestals/boxes, and any other utility information.
Lighting.		
x		1. Narrative or plan notes describing the proposed exterior lighting scheme for the property.
	x	2. Location, specifications, and details for existing and proposed exterior site and building light fixtures including the total lumen output, type of lamp, method of shielding, pole and mounting height, and verification that there are no conflicts between lighting and landscaping.
	x	3. Photometric grid overlaid on the proposed site plan indicating the overall light intensity throughout the site (in footcandles) including existing and proposed lighting. Photometric calculations must consider all exterior lighting including building lighting.
	x	4. Notes describing lighting limitations, prohibitions, and methods of enforcement.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL
ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"**

By signature below I certify that I have reviewed and provided the minimum submittal requirements listed above, including any additional items requested by the Town of Bluffton Staff. Any items not provided have been listed in the project narrative with an explanation as to why the required submittal item has not been provided or is not applicable. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Vaquero Bluffton Partners, LP
By: Vaquero Ventures Management, LLC, its general partner
By: WA Landreth Manager

Signature of Property Owner or Authorized Agent

Date

2/7/23

WA Landreth

Printed Name

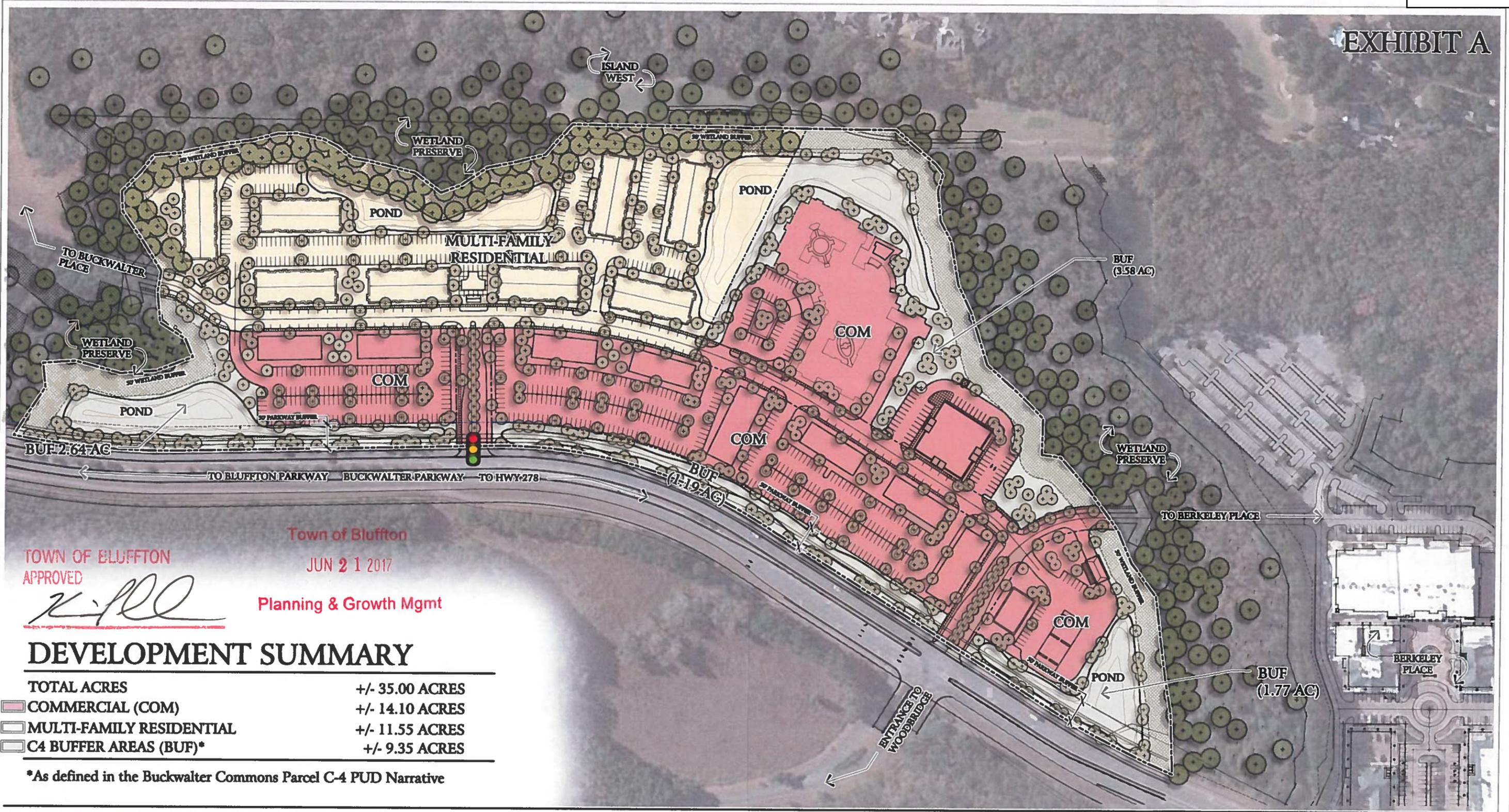
VICINITY MAP

STARBUCKS – WASHINGTON SQUARE

DEVELOPMENT PLAN



EXHIBIT A



Town of Bluffton
 TOWN OF BLUFFTON APPROVED JUN 21 2017
 Planning & Growth Mgmt

DEVELOPMENT SUMMARY

TOTAL ACRES	+/- 35.00 ACRES
COMMERCIAL (COM)	+/- 14.10 ACRES
MULTI-FAMILY RESIDENTIAL	+/- 11.55 ACRES
C4 BUFFER AREAS (BUF)*	+/- 9.35 ACRES

*As defined in the Buckwalter Commons Parcel C-4 PUD Narrative

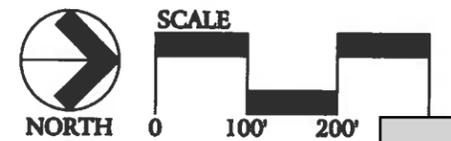
PREPARED FOR:
 SPEYSIDE PARTNERS, LLC
 LAND PLANNING:

J. K. TILLER ASSOCIATES, INC.
 LAND PLANNING LANDSCAPE ARCHITECTURE
 181 BLUFFTON ROAD, SUITE F202 BLUFFTON, SC 29910
 Phone 803.815.0800 Fax 803.815.0802

CIVIL CONSULTANT:
Carolina Engineering Consultants, Inc.

BUCKWALTER COMMONS PARCEL C4 MASTER PLAN
 TOWN OF BLUFFTON, SOUTH CAROLINA

JUNE 12, 2017

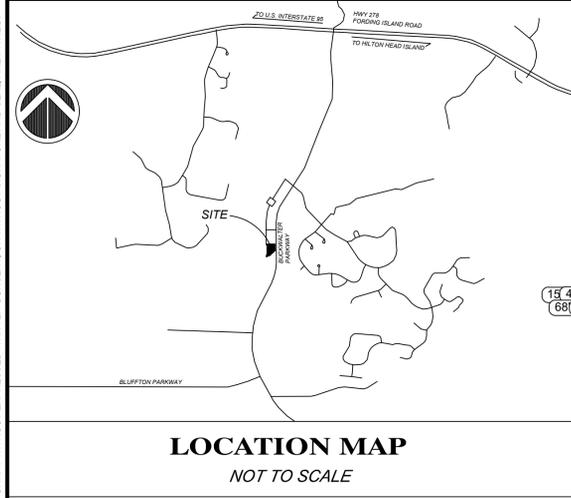


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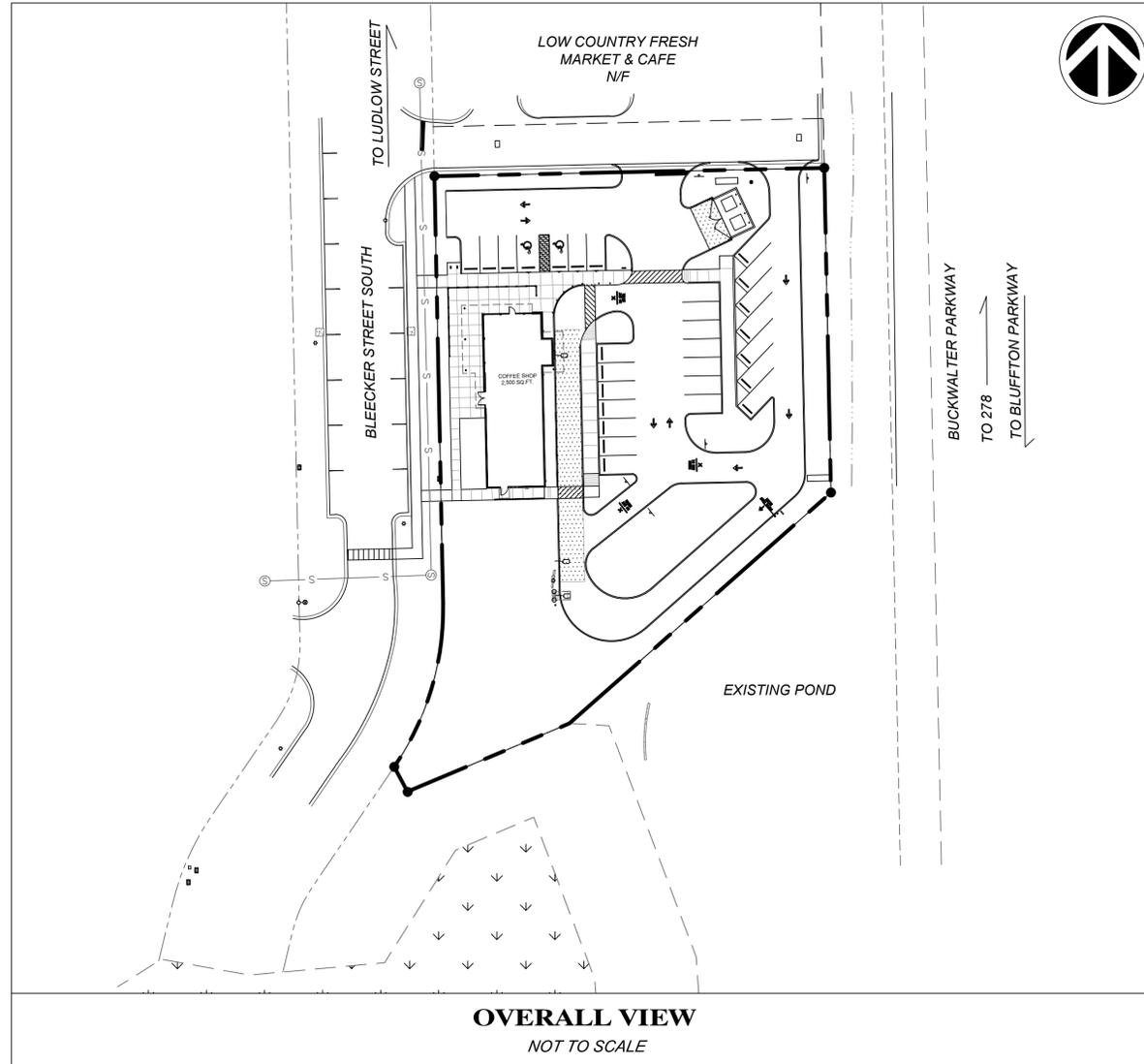
THIS IS A CONCEPTUAL PLAN AND IS SUBJECT TO CHANGE; BUILDING AND PARKING CONFIGURATION IS SUBJECT TO CHANGE BASED ON MARKET CONDITIONS AND USER NEEDS AT TIME OF DEVELOPMENT PERMIT SUBMITTAL. ALL SURVEY INFORMATION AND SITE BOUNDARIES WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES AND AS SUCH ARE INTENDED TO BE USED ONLY AS A GUIDE. ALL PROPERTY LINES, TRACT DIMENSIONS AND NARRATIVE DESCRIPTIONS ARE FOR GRAPHIC REPRESENTATION ONLY, AS AN AID TO SITE LOCATION AND POTENTIAL LAND USE, AND ARE NOT LEGAL REPRESENTATIONS AS TO FUTURE USES OR LOCATIONS. J. K. TILLER ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR STATE OF COMPLETION, OR FOR ANY DECISIONS (REQUIRING ACCURACY) WHICH THE USER MAY MAKE BASED ON THIS INFORMATION.
 JKT Job Number: 201527-02

SITE DEVELOPMENT PLANS FOR STARBUCKS - LOT 4, WASHINGTON SQUARE VAQUERO BLUFFTON PARTNERS, LP

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA



SHEET #	SHEET TITLE	ORIGINAL DATE	REV #	REVISION DATE
C-1	COVER	1/25/2023	1	3/28/2023
C-2	GENERAL NOTES AND LEGENDS	1/25/2023	1	3/28/2023
C-3	OVERALL SITE PLAN	1/25/2023	1	3/28/2023
C-4	SEDIMENT & EROSION CONTROL PLAN - STAGE 1	1/25/2023	1	3/28/2023
C-5	SEDIMENT & EROSION CONTROL PLAN - STAGE 2	1/25/2023	1	3/28/2023
C-6	SEDIMENT & EROSION CONTROL DETAILS	1/25/2023	1	3/28/2023
C-7	WATER DISTRIBUTION & SANITARY SEWER PLAN	1/25/2023	1	3/28/2023
C-8	(SHEET OMITTED)	1/25/2023	1	3/28/2023
C-9A	WATER DISTRIBUTION DETAILS	1/25/2023	1	3/28/2023
C-9B	SANITARY SEWER DETAILS	1/25/2023	1	3/28/2023
C-10	GRADING PLAN	1/25/2023	1	3/28/2023
C-11	DRAINAGE PLAN	1/25/2023	1	3/28/2023
C-12	STORM DRAIN PROFILES	1/25/2023	1	3/28/2023
C-13	SIGNAGE, STRIPING AND SITE PLAN	1/25/2023	1	3/28/2023
C-14A	SIGNAGE, GRADING & DRAINAGE DETAILS	1/25/2023	1	3/28/2023
C-14B	SIGNAGE, GRADING & DRAINAGE DETAILS	1/25/2023	1	3/28/2023
C-14C	SIGNAGE, GRADING & DRAINAGE DETAILS	1/25/2023	1	3/28/2023
L1.0	OVERALL LANDSCAPE PLAN	1/25/2023	1	3/28/2023
L2.0	(SHEET OMITTED)	1/25/2023	-	-
LD	(SHEET OMITTED)	1/25/2023	-	-



PROJECT CONTACTS	
CLIENT	
NAME:	VAQUERO BLUFFTON PARTNERS, LP
CONTACT:	PAMELA PARKER
ADDRESS:	2627 TILLAR ST, SUITE 111
PHONE:	FORT WORTH, TX 76107
SURVEYOR	
NAME:	ATLAS SURVEYING, INC
CONTACT:	JEREMY W. REEDER, PLS
ADDRESS:	49 BROWN'S COVE RD, SUITE 5
PHONE:	RIDGELAND, SC 29936
BEAUFORT-JASPER WATER & SEWER AUTHORITY	
DEPT:	ENGINEERING
CONTACT:	JAMES CLARDY
ADDRESS:	6 SNAKE RD
PHONE:	OKATIE, SC 29909
TOWN OF BLUFFTON	
DEPT:	GROWTH MANAGEMENT
CONTACT:	KEVIN ICARD
ADDRESS:	20 BRIDGE ST
PHONE:	BLUFFTON, SC 29910
TOWN OF BLUFFTON	
DEPT:	PUBLIC SERVICES
CONTACT:	DERRICK COAXUM
ADDRESS:	2 RECREATIONAL CT
PHONE:	BLUFFTON, SC 29910
TOWN OF BLUFFTON	
DEPT:	PUBLIC SERVICES
CONTACT:	DERRICK COAXUM
ADDRESS:	2 RECREATIONAL CT
PHONE:	BLUFFTON, SC 29910

PREPARED BY:



P.O. BOX 2666
PAWLEYS ISLAND, SC 29585
PHONE: 843.237.1001

www.G3Engineering.org

PROJECT NO: 22091

P.U.P.S
1-888-721-7877
CALL BEFORE YOU DIG
Palmetto Utility
Protection Service



RELEASED FOR CONSTRUCTION

THESE PLANS ARE HEREBY RELEASED FOR CONSTRUCTION BASED UPON THE APPROVALS FROM THE FOLLOWING AGENCIES:

AGENCY / MUNICIPALITY DATE

AGENCY / MUNICIPALITY DATE

AGENCY / MUNICIPALITY DATE

AGENCY / MUNICIPALITY DATE

APPROVED FOR G3 ENGINEERING DATE



NOT FOR CONSTRUCTION
22091 - STARBUCKS BLUFFTON

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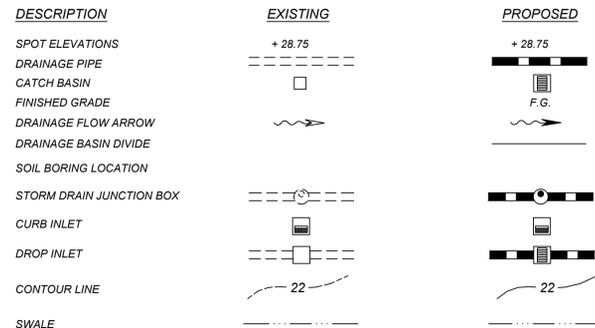
FOR SEDIMENT & EROSION CONTROL LEGEND SEE SEDIMENT & EROSION CONTROL PLAN SEDIMENT & EROSION CONTROL NOTES

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTFLOWS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED: WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL; WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC8 WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PROJECT. THIS CONFERENCE MUST BE CONDUCTED PRIOR TO CONSTRUCTION ACTIVITIES THAT DISTURB 10 ACRES OR MORE. THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

CONSTRUCTION SEQUENCE

- THIS FIRST STEP MUST BE COMPLETED PRIOR TO MOBILIZING ON SITE AND COMMENCING ANY CONSTRUCTION ACTIVITIES COMPLETE ALL INFORMATION IN APPROPRIATE SPACES ON THIS DRAWING, INCLUDING THE NAME OF THE RESPONSIBLE INDIVIDUAL, ON SITE, FOR THE EROSION AND SEDIMENT CONTROL MEASURES, INSTALLATION, OPERATION AND MAINTENANCE. CONTACT THE ENGINEER OF RECORD AND SC8/HEC-OCRM (843) 626-7217 AND PROVIDE THEM THE NAME OF THE RESPONSIBLE INDIVIDUAL, ON SITE, AND THE TELEPHONE NUMBER WHERE THEY CAN BE CONTACTED. THE EXECUTED COPY OF THIS PLAN MUST REMAIN ON THE JOB SITE AT ALL TIMES READILY AVAILABLE FOR INSPECTION.
- THE CONTRACTOR SHALL ONLY CLEAR AND GRUB THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- PROVIDE SILT AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- CONTACT THE ENGINEER OF RECORD TO INSPECT THE INSTALLATION OF THE CONTROL MEASURES AND DO NOT COMMENCE CONSTRUCTION ACTIVITIES UNTIL THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL MEASURES HAS BEEN APPROVED BY THE ENGINEER.
- UPON ACCEPTANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, THE CONTRACTOR SHALL BE PERMITTED TO COMMENCE HIS CONSTRUCTION ACTIVITIES AS FOLLOWS:
 - CLEARING AND GRUBBING THE REMAINING PORTIONS OF THE SITE.
 - DEMOLITION AND REMOVAL
 - ROAD GRADING AND PAVEMENT INSTALLATION.
 - BUILDING PAD, UTILITY SERVICES AND STORM WATER MANAGEMENT SYSTEM INSTALLATION USING PROPER EROSION AND SEDIMENT CONTROL MEASURES.
 - FINAL GRADING, LANDSCAPING OR STABILIZATION. CHANGES TO THE CONTRACTOR'S SEQUENCE OF CONSTRUCTION MAY VARY ACCORDING TO HIS METHODS AND TECHNIQUES AND WILL NOT CONSTITUTE A VIOLATION UNLESS MEASURES TO CONTROL STORM WATER RUNOFF, EROSION, AND SEDIMENT ARE NOT UTILIZED.
- CONSTRUCT TEMPORARY DITCHING AND/OR OTHER METHODS AS REQUIRED TO DE-WATER THE SITE AND PROVIDE POSITIVE DRAINAGE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES AS NEEDED FOR ALL METHODS USED TO DE-WATER AND PROVIDE POSITIVE DRAINAGE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING ALL MEASURES NECESSARY FOR DE-WATERING AND POSITIVE DRAINAGE. THE ENGINEER SHALL APPROVE ALL SEDIMENT AND EROSION CONTROL MEASURES. ALL DE-WATERING AND PROVIDING POSITIVE DRAINAGE WITH SEDIMENT/EROSION CONTROL MEASURES SHALL BE PROVIDED AS NECESSARY BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PERFORM NECESSARY EARTH WORK TO PREPARE THE BUILDING PAD AND INSTALL ALL UTILITY INFRASTRUCTURE WITH SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED. PERFORM ALL REMAINING EARTH WORK AS REQUIRED AND CONSTRUCT ALL PAVED AREAS AS SPECIFIED.
- THE CONTRACTOR SHALL NOTIFY BOTH THE ENGINEER OF RECORD AND SC8/HEC-OCRM UPON THE ESTABLISHMENT OF PERMANENT STABILIZATION FOR THE SITE. UPON FINAL ACCEPTANCE, THE REMAINING TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED BY THE CONTRACTOR.

DRAINAGE LEGEND



PAVING, GRADING & DRAINAGE NOTES

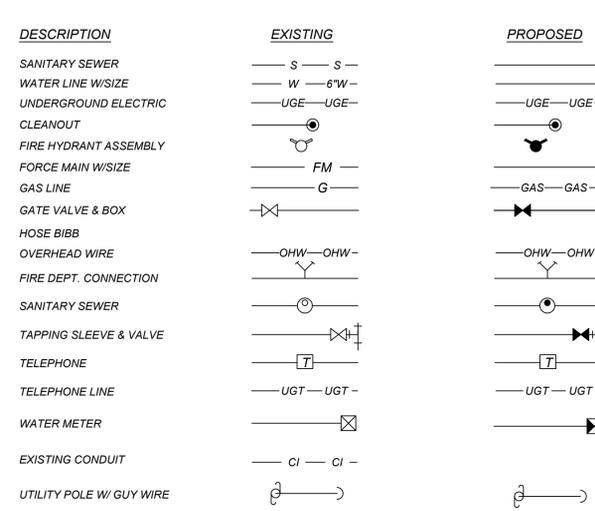
- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION'S (S.C.D.O.T.'S) RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH S.C.D.O.T.'S SPECIFICATIONS AND STANDARDS.
- ALL UNPAVED AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED. ALL NEWLY CLEARED RIGHT-OF-WAYS SHALL BE SEEDED AND MULCHED WITHIN 14 DAYS OF CONSTRUCTING NEW STREET.
- TRAFFIC CONTROL ON ALL COUNTY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE SOUTH CAROLINA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (SCDOT) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED AS INDICATED, OTHERWISE ALL OTHER AREAS SHALL BE SEEDED AND MULCHED.
- THE CONTRACTOR SHALL GRADE AROUND EXISTING TREES DESIGNATED TO REMAIN AND MAINTAIN A 5' UNDISTURBED AREA FROM AROUND THE DRIP LINE. THE RIGHTS-OF-WAY SHALL BE CLEARED AND GRUBBED BY REMOVING ALL TREES, SHRUBS, STUMPS, ROOTS, MUCK, AND OTHER DELETERIOUS MATERIAL PRIOR TO FILLING. ALL FILL MATERIAL USED ON SITE SHALL BE VOID OF STUMPS, ROOTS, MUCK AND ALL OTHER DELETERIOUS MATERIALS.
- ALL CONCRETE USED ON SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5' CENTERS AND EXPANSION JOINTS PLACED ON 25' CENTERS.
- ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS NOTED OTHERWISE, AND INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS. ALL JOINT SHALL BE SEALED WITH GASKETS CONFORMING TO AASHTO M 198 & WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL EXTEND NO LESS THAN 24 INCHES ON EACH SIDE OF THE JOINT.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN BARE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACK FILL WITH TOPSOIL OR SUITABLE MATERIAL.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE DESIGNED AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS UNDER BUILDING OR PAVING. TOPSOIL MAY BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES. THE CONTRACTOR SHALL PLACE SILT FENCING AROUND THE TOE OF THE TOPSOIL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4-INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER, AS NEEDED. THE AREAS SHALL THEN BE SODDED OR SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE GRASSED EXCEPT AS SHOWN ON THE LANDSCAPING PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

OPERATION & MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM:

- THE OWNER IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER MANAGEMENT SYSTEM.
- PERIODIC MAINTENANCE OF THE SYSTEM MUST BE IMPLEMENTED BY THE OWNER FOR THE SYSTEM TO FUNCTION PROPERLY. PERIODIC MAINTENANCE SHALL BE IN ACCORDANCE WITH THE SCHEDULE BELOW.

PERMANENT STORMWATER MANAGEMENT STRUCTURE SCHEDULE OF MAINTENANCE	
MAINTENANCE ITEM	INTERVAL
GRASS TO BE MOWED	BI-WEEKLY
TYPE "S" INLET PROTECTION TO BE CLEANED AND REPLACED	AS NECESSARY
OUTLET PIPE TO BE CLEANED, INSPECTED, AND REPAIRED	BI-ANNUALLY
PAVERS TO BE CLEANED, INSPECTED, AND REPAIRED	AS NECESSARY

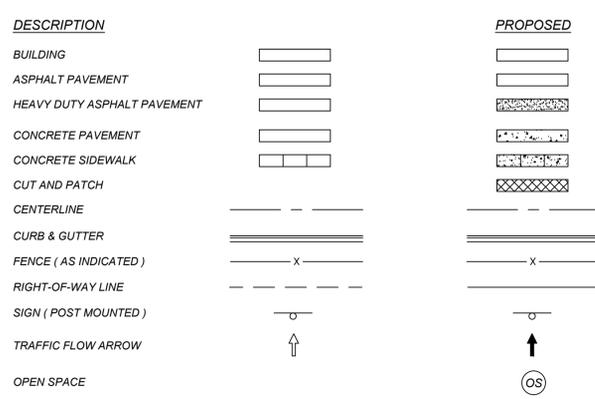
UTILITIES LEGEND



WATER & SEWER UTILITY NOTES

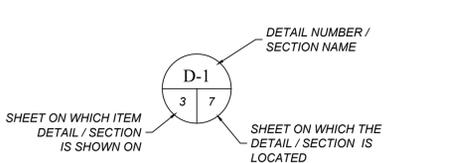
- THE CONTRACTOR SHALL CONSTRUCT THE GRAVITY SEWER LATERAL, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THESE PLANS. BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) REGULATIONS AND THE SPECIFICATIONS OF THIS JOB. IN THE EVENT THAT THESE SPECIFICATIONS ARE NOT IN AGREEMENT, THE MOST STRINGENT SPECIFICATION SHALL GOVERN.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION. CALL P.U.P.S. 1-800-922-0983 FOR UTILITY LINE LOCATION.
- THE CONTRACTOR SHALL RESTORE ALL VEGETATION IN KIND.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SEPARATELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS WHICH, IN THE OPINION OF THE ENGINEER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCES SHALL BE SUBMITTED TO AND APPROVED BY BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) AND THE ENGINEER. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.
- PVC FOR WATER LINES AND FORCE MAIN TO BE C900 CLASS 150. PVC FOR SANITARY SEWER BETWEEN DEPTHS OF THREE (3) TO TWELVE (12) FEET TO BE SDR 35. UNLESS OTHERWISE NOTED ON PLANS. PVC FOR SANITARY SEWER GREATER THAN DEPTHS OF TWELVE (12) FEET TO BE DR-18, UNLESS OTHERWISE NOTED ON PLANS.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- A TEN FOOT (10') MINIMUM HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND STORM DRAIN, SANITARY SEWER AND FORCE MAIN LINES.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL WATER MAINS TO HAVE A MINIMUM COVER OF 36" UNLESS OTHERWISE NOTED. ALL WATER SYSTEM FITTINGS SHALL BE MEGALUG RESTRAINED.
- WHERE WATER AND SEWER MAINS CROSS WITH LESS THAN 18" VERTICAL CLEARANCE, THE SEWER WILL BE 20" OF EITHER DUCTILE IRON PIPE OR CONCRETE ENCASED PIPE, CENTERED ON THE POINT OF CROSSING. WHEN A WATER MAIN PARALLELS A SEWER MAIN, A SEPARATION OF AT LEAST 10' SHOULD BE MAINTAINED WHERE PRACTICAL.
- WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN PIPES SHALL BE MAINTAINED UNLESS OTHERWISE DIRECTED BY THE ENGINEER. WHEN A WATER MAIN PARALLELS A STORM SEWER PIPE, A SEPARATION OF AT LEAST 10' SHOULD BE MAINTAINED WHERE PRACTICAL.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION AND SCHEDULING OF THE TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS), SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL.
- ALL AT GRADE UTILITIES ARE TO BE OUT OF THE CURB LINE. ALL ABOVE GROUND UTILITIES SHALL BE LOCATED BEYOND THE R/W LINE. FIRE HYDRANTS CAN BE ON THE R/W LINE.
- COORDINATE INSPECTIONS OF ALL MANHOLE BOOTS AND STAINLESS STEEL BANDS AFTER INSTALLATION WITH BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) PERSONNEL PRIOR TO BACKFILLING.
- COORDINATE INSPECTIONS OF ALL MECHANICAL RESTRAINTS AND CONNECTIONS TO EXISTING INFRASTRUCTURE WITH BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) PERSONNEL PRIOR TO BACKFILLING.
- NUMBER 12 TRACER WIRE AND WARNING TAPE SHALL BE REQUIRED FOR ALL PRESSURE MAINS. EXTEND TRACER WIRE THROUGH VALVE BOXES FOR CONNECTION TO LOCATING EQUIPMENT.
- THERE SHALL BE A MINIMUM 18" (INCHES) SEPARATION BETWEEN WATER MAINS AND STORM DRAIN PIPES. USE DUCTILE IRON PIPE FOR WATER MAINS WHEN CROSSING UNDER STORM DRAINS. USE CRUSHER RUN STONE BETWEEN STORM DRAINS AND PRESSURE MAINS.

SITE LAYOUT LEGEND

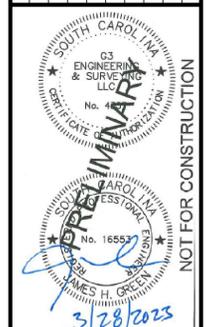


GENERAL CONSTRUCTION NOTES

- TOPOGRAPHIC SURVEY OF LOT 4, WASHINGTON SQUARE TAX MAP NUMBER R614-022-0894-0000 PREPARED FOR FRED CALIGIURI SURVEYED AND MAPPED BY CAROLINA ENGINEERING CONSULTANTS, INC.
- THE REQUIREMENTS OF BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) STANDARD SPECIFICATIONS AND STANDARD DETAILS SHALL GOVERN ALL UTILITIES WORK, WHERE A CONFLICT EXISTS IN THE REQUIREMENTS OF A REFERENCED MATERIAL OR INSTALLATION STANDARD, THE REQUIREMENTS OF BEAUFORT JASPER WATER AND SEWER AUTHORITY (BJWSA) SHALL PREVAIL. WHERE THE REQUIREMENTS OF A STATE OR LOCAL AGENCY HAVING JURISDICTION ARE MORE STRINGENT THOSE REQUIREMENTS SHALL PREVAIL.
- NO PORTION OF THE WORK SHALL BE ACCOMPLISHED UNTIL THE APPROPRIATE PERMITS AND APPROVALS FOR THAT WORK HAVE BEEN OBTAINED. THE CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND THEY SHALL BE RETAINED AT THE PROJECT SITE AT ALL TIMES FOR INSPECTION BY THE OWNER'S REPRESENTATIVE.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND EXISTENCE OF ALL UNDERGROUND UTILITIES. LOCATION OF UTILITIES ON THE PLAN, WHETHER FULLY AND CORRECTLY LOCATED OR OMITTED, WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OR LIABILITY FOR DAMAGE TO UTILITIES CAUSED BY HIS CONSTRUCTION EFFORT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONTACTING LOCAL AGENCIES FOR ASSISTANCE IN LOCATING THEIR UTILITIES. THE CONTRACTOR MUST FULLY COMPLY WITH THE SOUTH CAROLINA UNDERGROUND UTILITIES DAMAGE PREVENTION ACT, GENERAL STATUS 58-35, SECTIONS 20 THROUGH 120.
- THE CONTRACTOR SHALL NOTIFY OCRM, ALL LOCAL GOVERNING AGENCIES, THE OWNER, THE ENGINEER AND ALL OTHER CONCERNED PARTIES OF THE CONSTRUCTION COMMENCEMENT DATE SO INSPECTIONS AND OTHER SITE VISITS MAY BE SCHEDULED.
- DATA REQUIRED FOR PREPARATION OF RECORD DRAWINGS SHALL BE OBTAINED BY THE CONTRACTOR AT THE TIME OF INSTALLATION IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL AUTHORITY REQUIREMENTS FOR WATER, SANITARY SEWER, STORM SEWER AND ALL UNDERGROUND UTILITIES. THIS DATA SHALL BE ACCUMULATED BY THE CONTRACTOR'S SURVEYOR AND COORDINATED WITH THE PROJECT INSPECTOR ON A DAILY BASIS DURING THE CONSTRUCTION PERIOD. AS BUILT DWGS SHALL BE SUBMITTED TO THE PROJECT INSPECTOR AS PREPARED BY A LICENSED PUBLIC LAND SURVEYOR UPON THE COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE, AT ALL TIMES, ONE COPY OF APPROVED PLANS, SPECIFICATIONS AND ANY SPECIAL PROVISIONS, AND COPIES OF ALL REQUIRED CONSTRUCTION PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED AND IN CONFORMANCE WITH BEAUFORT COUNTY SPECIFICATIONS AND REQUIREMENTS. HE SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
- ALL COPIES OF COMPACTION, CONCRETE, AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO BEAUFORT COUNTY, THE SITE INSPECTOR AND OWNER'S REPRESENTATIVE DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL NEW ABOVE GROUND AND AT GRADE UTILITIES. HE SHALL NOT INSTALL ANY ABOVE GROUND UTILITIES WITHIN THE RIGHT-OF-WAY AND ALL AT GRADE UTILITIES SHALL BE OUT OF THE CURB AND GUTTER SECTION OF THE ROADWAY.
- A SIGN OR OTHER NOTICE WILL BE POSTED CONSPICUOUSLY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE INDICATING THE LOCATION OF THE SWPPP. THE COPY OF THE SWPPP IS REQUIRED TO BE KEPT ON SITE OR LOCALLY AVAILABLE MUST BE MADE AVAILABLE, IN ITS ENTIRETY, TO DHEC OR THE EPA STAFF FOR REVIEW AND COPYING AT THE TIME OF AN ON-SITE INSPECTION.
- THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED PURSUANT TO THE CONCEPT PLAN, AND THE COUNTY HAS THE RIGHT TO CONDUCT ON-SITE INSPECTIONS.
- FINAL INSPECTIONS WILL NOT BE CONDUCTED UNTIL A FINAL AS-BUILT HAS BEEN SUBMITTED TO THE COUNTY.
- PROHIBIT ALL FENCES AND STRUCTURE WHICH WOULD INTERFERE WITH ACCESS TO ALL EASEMENT AREAS AND / OR MAINTENANCE FUNCTION OF THE DRAINAGE SYSTEM.
- FOR ALL CURB AND GUTTER, THE CONTRACTOR SHALL PROVIDE THE ENGINEERING DEPARTMENT WITH CYLINDER TESTING DATA (SC-T-4) FROM AN INDEPENDENT TESTING LAB (AASHTO CERTIFIED) AND INSPECTOR CERTIFIED BY THE SCDOT TO INSPECT AND TEST CONCRETE INDICATING COMPRESSIVE STRENGTH OF CONCRETE TESTED. A MINIMUM OF THREE TEST CYLINDERS EQUALLY SPACED SHALL BE TAKEN FOR THE FIRST 1000 LINEAR FEET. AN ADDITIONAL CYLINDER SHALL BE TAKEN FOR EACH ADDITIONAL FIVE HUNDRED LINEAR FEET OF CURBING. ALL TESTS SHALL BE IDENTIFIED WITH STATION IDENTIFICATION NUMBERS. NO TEST CYLINDER SHALL ATTAIN LESS THAN 2500 PSI WHILE THE AVERAGE OF ALL TEST CYLINDERS SHALL BE AT LEAST 3000 PSI. WHERE ANY SAMPLE IS LESS THAN 2500 PSI OR THE AVERAGE IS LESS THAN 3000 PSI THAN THE MATERIAL ASSOCIATED WITH THE FAILED SAMPLE STATION NUMBER(S) SHALL BE REMOVED AND REINSTALLED.



DETAIL / SECTION CALLOUT



GB ENGINEERING & SURVEYING
P.O. BOX 2666
PAWLEYS ISLAND, SC 29585
PHONE: 843.237.1001
www.G3engineering.org

STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC
PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP
GENERAL NOTES AND LEGENDS

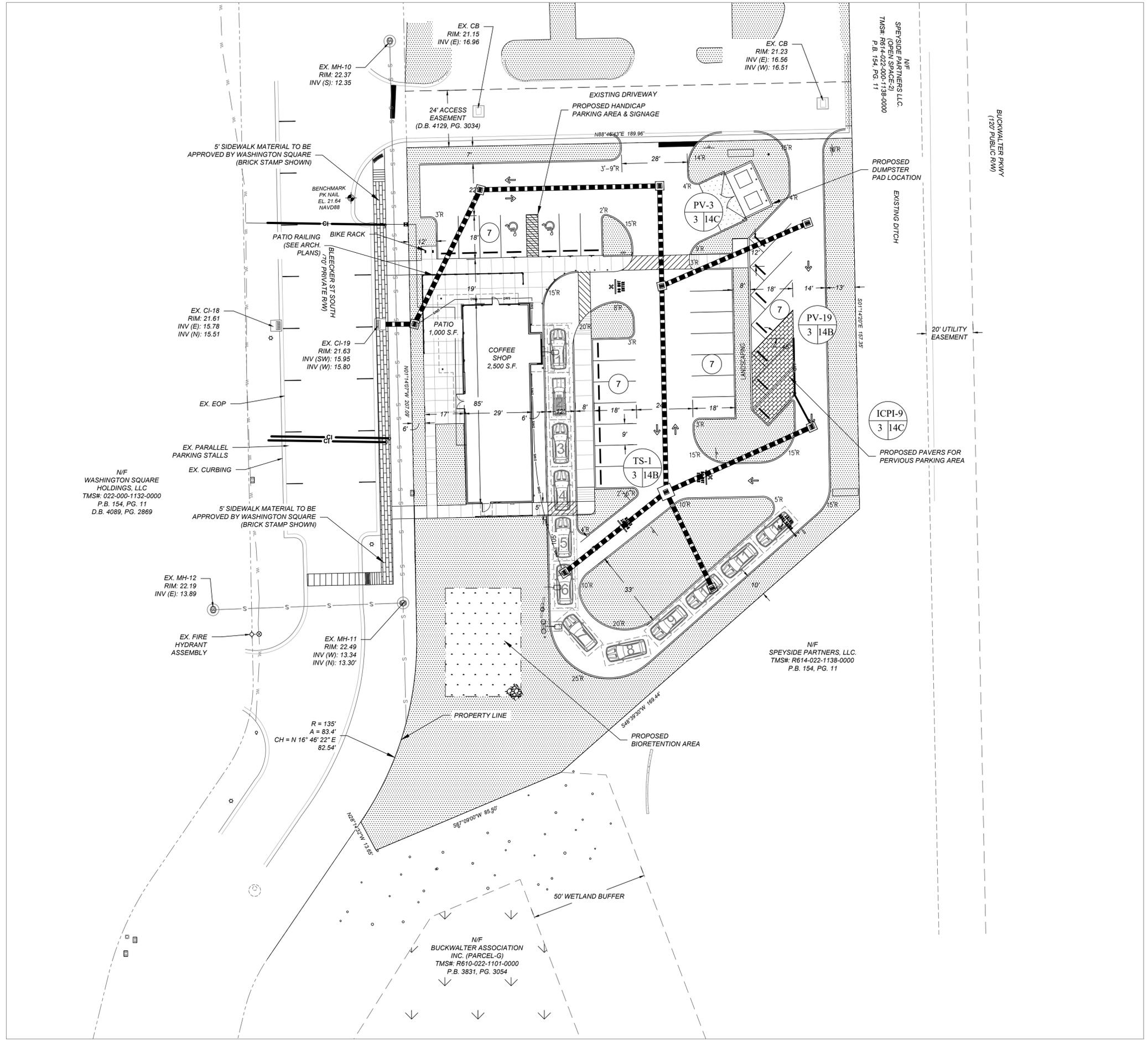
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DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

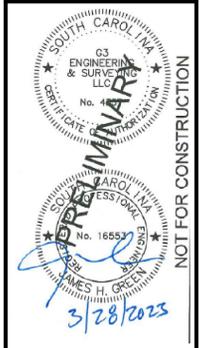
SHEET **C-2**

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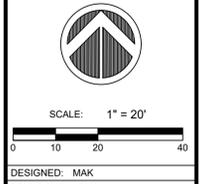


SITE DATA	
TMS	R614 022 000 1131 0000
PROJECT NAME	COFFEE SHOP
TOTAL AC	1.036
TOTAL DISTURBED AC	1.03
IMPERVIOUS AREA	0.589 AC 57%
PERVIOUS AREA	0.447 AC 43%
FLOOD ZONE - TOWN OF BLUFFTON	ZONE X 450251 0270 G 3/23/2021
PROPERTY OWNER	VAQUERO BLUFFTON PARTNERS, LP
OWNER ADDRESS	2827 TILLAR ST. SUITE 111, FORT. WORTH, TX 76107
EXISTING ZONING	PUD BUCKSWATER
PROPOSED USE	COFFEE SHOP
PROVIDED PARKING	28 TOTAL SPACES



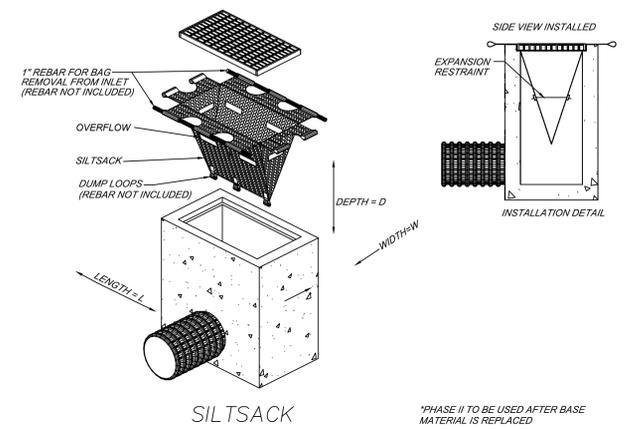
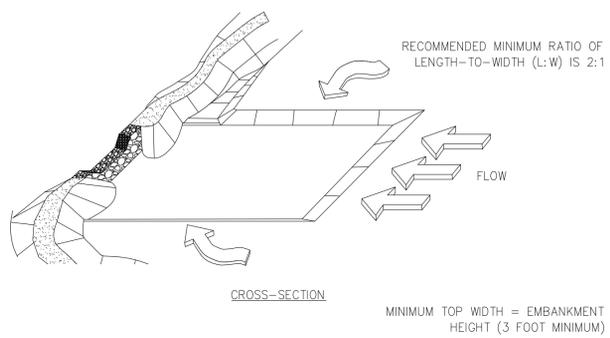
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STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC
PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP
OVERALL SITE PLAN



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SC-12 TYPE S - INLET PROTECTION
SCALE: N.T.S.

FILTER FABRIC INLET PROTECTION

MATERIALS:
USE FILTER FABRIC THAT CONFORMS TO SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION). REFER TO THE SILT FENCE GEOTEXTILE FABRICS APPROVAL SHEET #34.

USE STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS: BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM YIELD STRENGTH OF 50,000 PSI. HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES. WEIGHT 1.25 POUNDS PER FOOT (± 8%), BE PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

ATTACH FABRIC TO METAL POSTS WITH HEAVY-DUTY PLASTIC TIES.

INSTALLATION:
EXCAVATE A TRENCH 6-INCHES WIDE AND 6-INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE INLET UNLESS THE FABRIC IS PNEUMATICALLY INSTALLED.

EXTEND THE FILTER FABRIC A MINIMUM OF 12-INCHES INTO THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR CRUSHED STONE AND COMPACT OVER THE FILTER FABRIC UNLESS THE FABRIC IS PNEUMATICALLY INSTALLED.

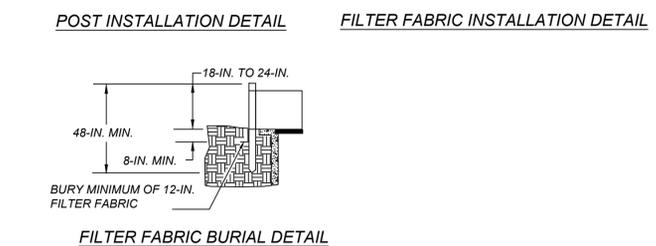
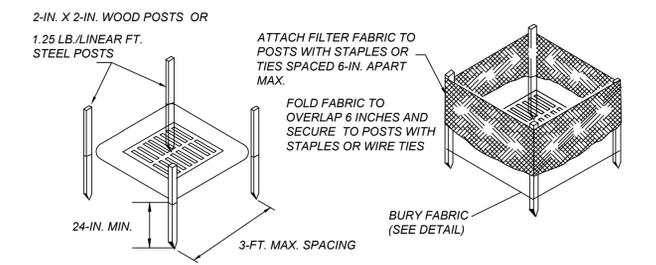
USE STEEL POSTS WITH A MINIMUM POST LENGTH OF 60-INCHES CONSISTING OF STANDARD "T" SECTIONS WITH A WEIGHT OF 1.25 POUNDS PER FOOT (±8%). INSTALL THE FILTER FABRIC TO A MINIMUM HEIGHT OF 24-INCHES ABOVE GRADE. SPACE THE STEEL POSTS AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3- FEET APART AND DRIVE THEM INTO THE GROUND A MINIMUM OF 24-INCHES. CUT THE FILTER FABRIC FROM A CONTINUOUS ROLL TO THE LENGTH OF THE PROTECTED AREA TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, WRAP FILTER FABRIC TOGETHER ONLY AT A SUPPORT POST WITH BOTH ENDS SECURELY FASTENED TO THE POST, WITH A MINIMUM 6-INCH OVERLAP.

ATTACH FABRIC TO STEEL POSTS WITH HEAVY-DUTY PLASTIC TIES.

ATTACH AT LEAST FOUR (4) EVENLY SPACED TIES IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, AFFIX TIES IN NO LESS THAN FOUR (4) PLACES.

INSPECTION AND MAINTENANCE:
INSPECTIONS SHOULD BE MADE EVERY 7 CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH STORM THAT PRODUCES ½-INCHES OR MORE OF RAIN. IF THE FABRIC BECOMES CLOGGED, IT SHOULD BE REPLACED. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES APPROXIMATELY 1/3 THE HEIGHT OF THE FENCE. TAKE CARE NOT TO DAMAGE OR UNDERCUT FABRIC WHEN REMOVING SEDIMENT. IF A SUMP IS USED, SEDIMENT SHOULD BE REMOVED WHEN IT FILLS APPROXIMATELY 1/3 THE DEPTH OF THE HOLE. MAINTAIN THE POOL AREA, ALWAYS PROVIDING ADEQUATE SEDIMENT STORAGE VOLUME FOR THE NEXT STORM.

STORM DRAIN INLET PROTECTION STRUCTURES SHOULD BE REMOVED ONLY AFTER THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. REMOVE ALL CONSTRUCTION MATERIAL AND SEDIMENT, AND DISPOSE OF THEM PROPERLY. GRADE THE DISTURBED AREA TO THE ELEVATION OF THE DROP INLET STRUCTURE CREST. USE APPROPRIATE PERMANENT STABILIZATION METHODS TO STABILIZE BARE AREAS AROUND THE INLET.



SC-7 TYPE A - FILTER FABRIC INLET PROTECTION
SCALE: N.T.S.

SILT FENCE DETAIL

WHEN AND WHERE TO USE IT
SILT FENCE IS APPLICABLE IN AREAS:

WHERE THE MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE FENCE IS 100- FEET. WHERE THE MAXIMUM SLOPE STEEPNESS (NORMAL PERPENDICULAR) TO FENCE LINE) IS 2H:1V. THAT DO NOT RECEIVE CONCENTRATED FLOWS GREATER THAN 0.5 CFS.

DO NOT PLACE SILT FENCE ACROSS CHANNELS OR USE IT AS A VELOCITY CONTROL BMP.

MATERIALS

STEEL POSTS
USE 48-INCH LONG STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS: COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM YIELD STRENGTH OF 50,000 PSI. HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES. WEIGHT 1.25 POUNDS PER FOOT (± 8%). HAVE A SOIL STABILIZATION PLATE WITH A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES ATTACHED TO THE STEEL POSTS. PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.

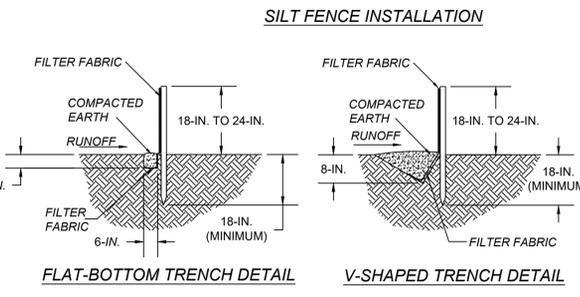
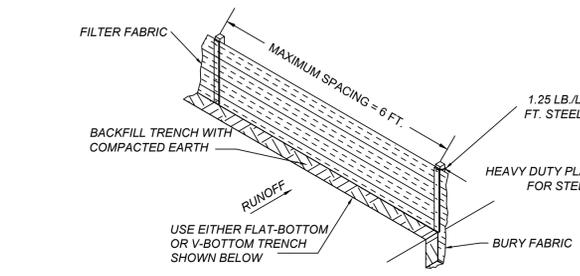
USE STEEL POSTS WITH A MINIMUM LENGTH OF 4- FEET, WEIGHING 1.25 POUNDS PER LINEAR FOOT (± 8%) WITH PROJECTIONS TO AID IN FASTENING THE FABRIC. EXCEPT WHEN HEAVY CLAY SOILS ARE PRESENT ON SITE, STEEL POSTS WILL HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM SUCH THAT WHEN THE POST IS DRIVEN TO THE PROPER DEPTH, THE PLATE WILL BE BELOW THE GROUND LEVEL FOR ADDED STABILITY. THE SOIL PLATES SHOULD HAVE THE FOLLOWING CHARACTERISTICS:
BE COMPOSED OF MINIMUM 15 GAUGE STEEL. HAVE A MINIMUM CROSS SECTION AREA OF 17-SQUARE INCHES.

GEOTEXTILE FILTER FABRIC
FILTER FABRIC IS:
COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS COMPOSED OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES. FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR FIBERS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER. FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION. FREE OF DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES. CUT TO A MINIMUM WIDTH OF 36 INCHES.

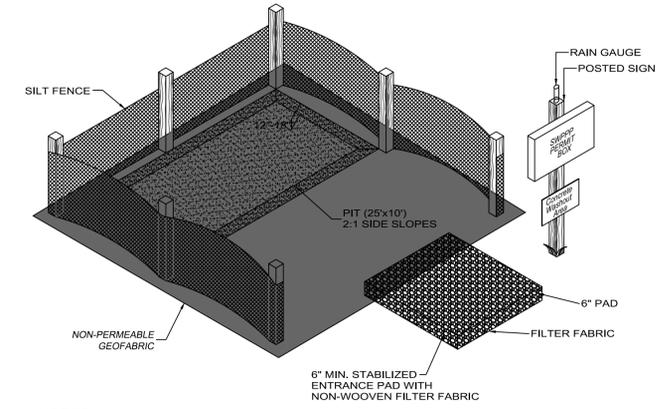
USE ONLY FABRIC APPEARING ON SCDOT APPROVAL SHEET #34 MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

INSTALLATION
EXCAVATE A TRENCH APPROXIMATELY 6-INCHES WIDE AND 6-INCHES DEEP WHEN PLACING FABRIC BY HAND. PLACE 12-INCHES OF GEOTEXTILE FABRIC INTO THE 6-INCH DEEP TRENCH, EXTENDING THE REMAINING 6-INCHES TOWARDS THE UPSLOPE SIDE OF THE TRENCH. BACKFILL THE TRENCH WITH SOIL OR GRAVEL AND COMPACT. BURY 12-INCHES OF FABRIC INTO THE GROUND WHEN PNEUMATICALLY INSTALLING SILT FENCE WITH A SLOING METHOD. PURCHASE FABRIC IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, WRAP THE FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST, WITH A 6-INCH MINIMUM OVERLAP. INSTALL POSTS TO A MINIMUM DEPTH OF 24-INCHES. INSTALL POSTS A MINIMUM OF 1- TO 2- INCHES ABOVE THE FABRIC, WITH NO MORE THAN 3- FEET OF THE POST ABOVE THE GROUND. SPACE POSTS TO MAXIMUM 6- FEET CENTERS. ATTACH FABRIC TO WOOD POSTS USING STAPLES MADE OF HEAVY-DUTY WIRE AT LEAST 1½-INCH LONG, SPACED A MAXIMUM OF 6-INCHES APART. STAPLE A 2-INCH WIDE LATHE OVER THE FILTER FABRIC TO SECURELY FASTEN IT TO THE UPSLOPE SIDE OF WOODEN POSTS. ATTACH FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED AND PLACED IN A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC. IN ALL CASES, TIES SHOULD BE AFFIXED IN NO LESS THAN 4 PLACES. INSTALL THE FABRIC A MINIMUM OF 24-INCHES ABOVE THE GROUND. WHEN NECESSARY, THE HEIGHT OF THE FENCE ABOVE GROUND MAY BE GREATER THAN 24-INCHES. IN TIDAL AREAS, EXTRA SILT FENCE HEIGHT MAY BE REQUIRED. THE POST HEIGHT WILL BE TWICE THE EXPOSED POST HEIGHT. POST SPACING WILL REMAIN THE SAME AND EXTRA HEIGHT FABRIC WILL BE 4-, 5-, OR 6- FEET TALL. LOCATE SILT FENCE CHECKS EVERY 100 FEET MAXIMUM AND AT LOW POINTS. INSTALL THE FENCE PERPENDICULAR TO THE DIRECTION OF FLOW AND PLACE THE FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.

INSPECTION AND MAINTENANCE
INSPECT EVERY SEVEN CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES ½-INCHES OR MORE OF PRECIPITATION. CHECK FOR SEDIMENT BUILDUP AND FENCE INTEGRITY. CHECK WHERE RUNOFF HAS ERODED A CHANNEL BENEATH THE FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED BY FENCE OVERTOPPING. IF THE FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE SECTION OF FENCE. IMMEDIATELY REMOVE SEDIMENT ACCUMULATED ALONG THE FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED. REMOVE TRAPPED SEDIMENT FROM THE SITE OR STABILIZE IT ON SITE. REMOVE SILT FENCE WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BEST MANAGEMENT PRACTICES (BMPs) ARE NO LONGER NEEDED. PERMANENTLY STABILIZE DISTURBED AREAS RESULTING FROM FENCE REMOVAL.



SC-3 SILT FENCE DETAIL
SCALE: N.T.S.



NOTES:

- CONTRACTOR TO MAINTAIN THRU-OUT CONSTRUCTION BY REMOVING CONCRETE & LEGALLY DISPOSING OF WHEN PIT IS FULL.
- CONTRACTOR TO MAINTAIN PROPER CONSTRUCTION OF WASH-OUT FACILITY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR MAY RELOCATE ON SITE IF NEEDED.
- SWPPP PERMIT BOX SHALL BE A 21"x27" LOCKABLE WHITE PERMIT BOX.

SC-1 CONCRETE WASHOUT PIT
SCALE: N.T.S.

STABILIZED CONSTRUCTION ENTRANCE

WHEN AND WHERE TO USE IT
STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD.

IMPORTANT CONSIDERATIONS

IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFFSITE. WASHDOWN FACILITIES SHALL BE REQUIRED AS DIRECTED BY SDHEC AS NEEDED. WASHDOWN AREAS IN GENERAL MUST BE ESTABLISHED WITH CRUSHED GRAVEL AND DRAIN INTO A SEDIMENT TRAP OR SEDIMENT BASIN.

CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY VEHICLES.

INSTALLATION:
REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM STONES TO A SEDIMENT TRAP OR BASIN. INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE. INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.

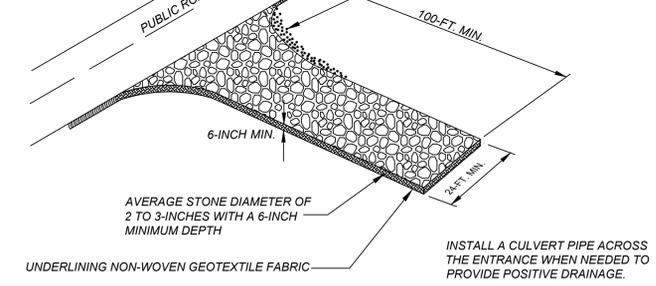
THE ENTRANCE SHALL CONSIST OF 2-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES. MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24- FEET WIDE BY 100- FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS. THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING OF MUD AT THE EDGE OF THE ENTRANCE.

INSPECTION AND MAINTENANCE:
INSPECT CONSTRUCTION ENTRANCES EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES ½-INCHES OR MORE OF PRECIPITATION, OR AFTER HEAVY USE. CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING PERIODS OF WET WEATHER. MAINTENANCE IS REQUIRED MORE FREQUENTLY IN WET WEATHER CONDITIONS. RESHAPE THE STONE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.

WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY THE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE.

IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.

REPAIR ANY BROKEN PAVEMENT IMMEDIATELY.



DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE.

SC-6 STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.

NO.	REV.#	DATE	DESCRIPTION
1		3/28/2023	DRG. BLUFFTON AND BAWSA COMMENTS

NOT FOR CONSTRUCTION

G3 ENGINEERING & SURVEYING, LLC
No. 16553
JAMES H. GREEN

3/28/2023

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STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC

PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP

SEDIMENT & EROSION CONTROL DETAILS

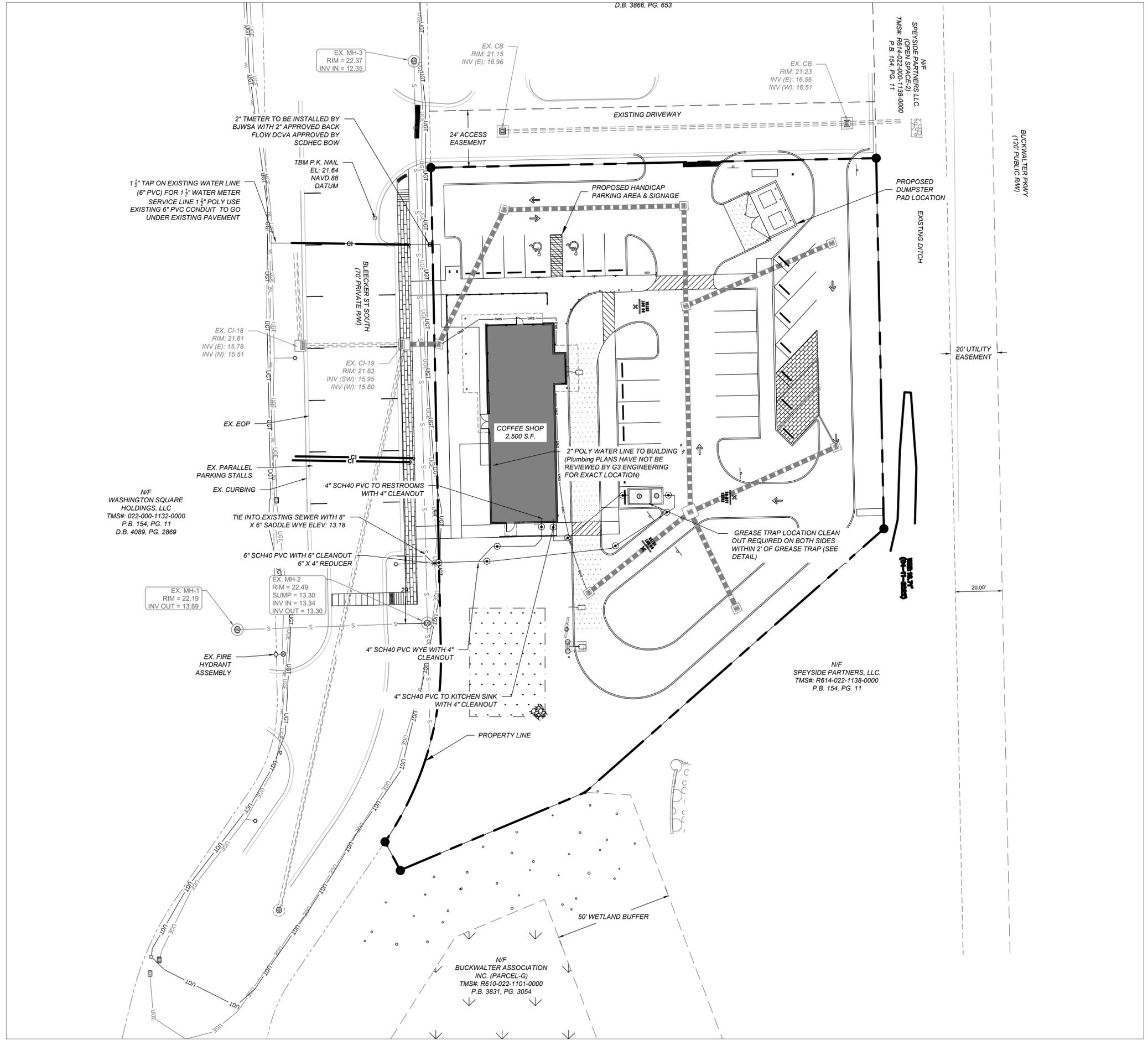
SCALE: NONE

0 1/2 1 2

DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

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D.B. 3866, PG. 653



NOTES

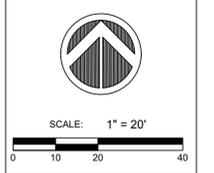
1. ALL WATER AND SEWER LINES SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10' (FT.).
2. SEE DETAIL W-8 ON SHEET C-9A FOR ALL WATER AND STORM DRAIN CROSSINGS.
3. ALL WATER AND SEWER SERVICE LOCATIONS SHOWN ON THE PLAN SHEETS ARE TO BE COMPARED TO THE ARCHITECTURAL PLUMBING PLANS
4. ALL AT GRADE UTILITIES ARE TO BE LOCATED OUT OF CURB LINE AND ALL ABOVE GRADE UTILITIES ARE TO BE LOCATED OUT OF THE ROADWAY AND BEHIND SIDEWALKS.

REV #	DESCRIPTION	DATE
1	DWG. BLUFFTON AND BWSA COMMENTS	3/28/2023



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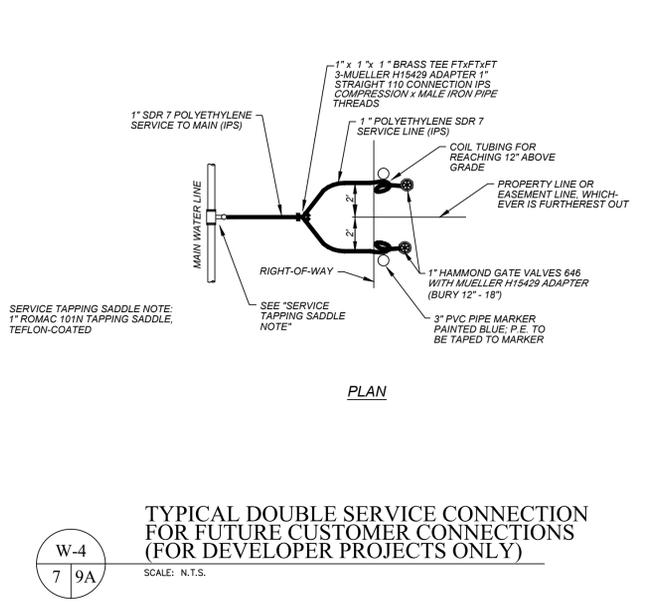
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 BEAUFORT COUNTY, BLUFFTON, SC
 PREPARED FOR
Vaquero Bluffton Partners, LP
WATER DISTRIBUTION & SANITARY SEWER PLAN



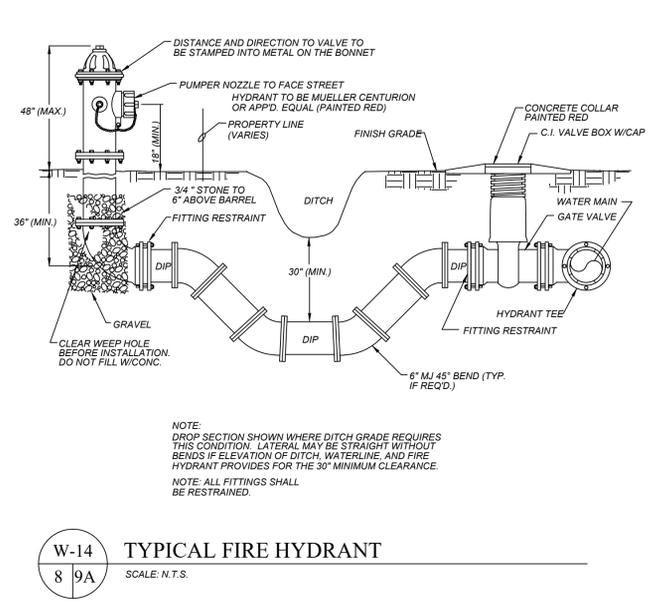
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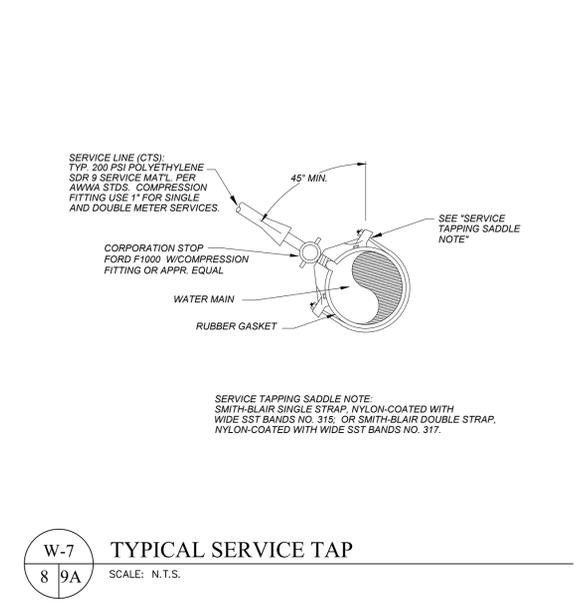
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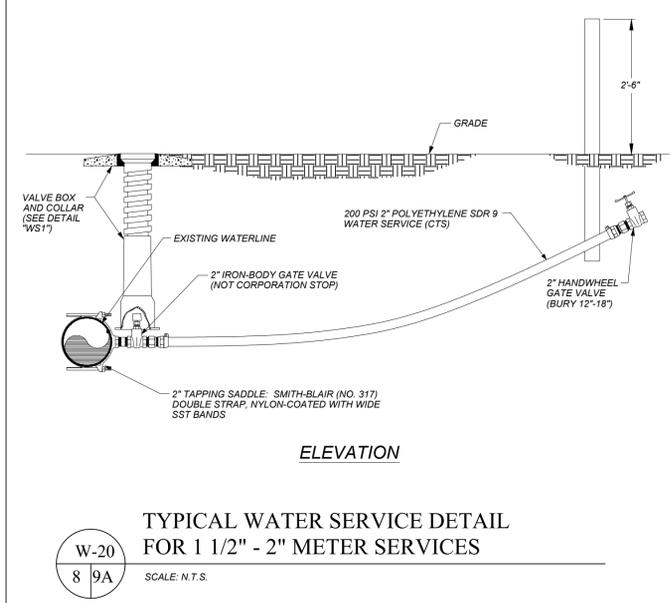
W-4
7 9A
TYPICAL DOUBLE SERVICE CONNECTION FOR FUTURE CUSTOMER CONNECTIONS (FOR DEVELOPER PROJECTS ONLY)
SCALE: N.T.S.



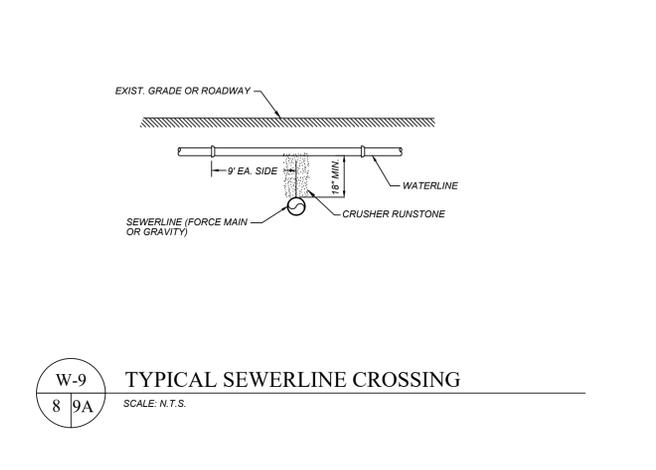
W-14
8 9A
TYPICAL FIRE HYDRANT
SCALE: N.T.S.



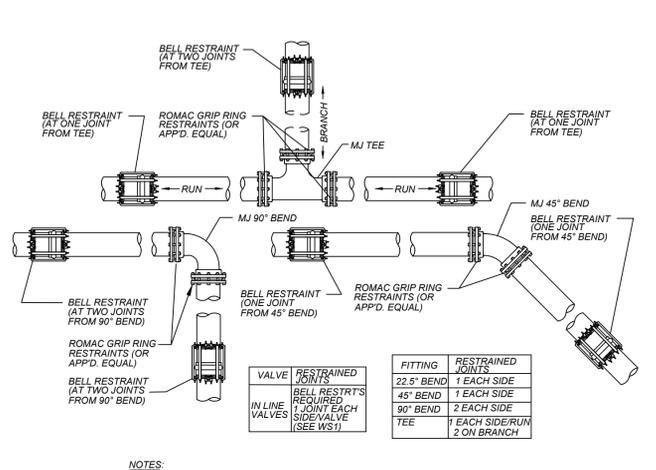
W-7
8 9A
TYPICAL SERVICE TAP
SCALE: N.T.S.



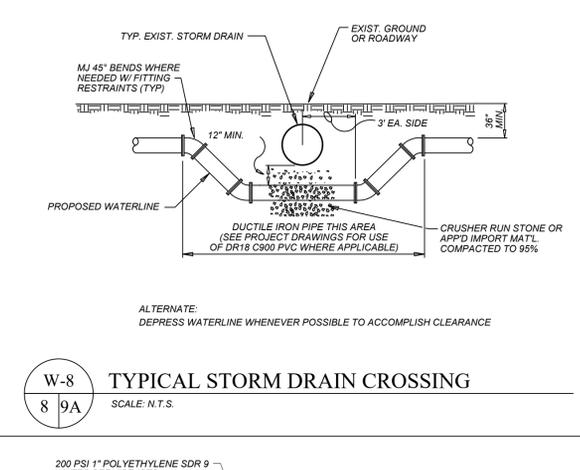
W-20
8 9A
TYPICAL WATER SERVICE DETAIL FOR 1 1/2" - 2" METER SERVICES
SCALE: N.T.S.



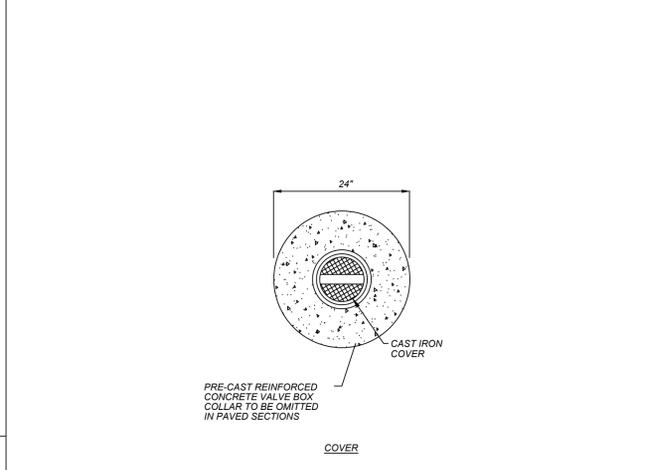
W-9
8 9A
TYPICAL SEWERLINE CROSSING
SCALE: N.T.S.



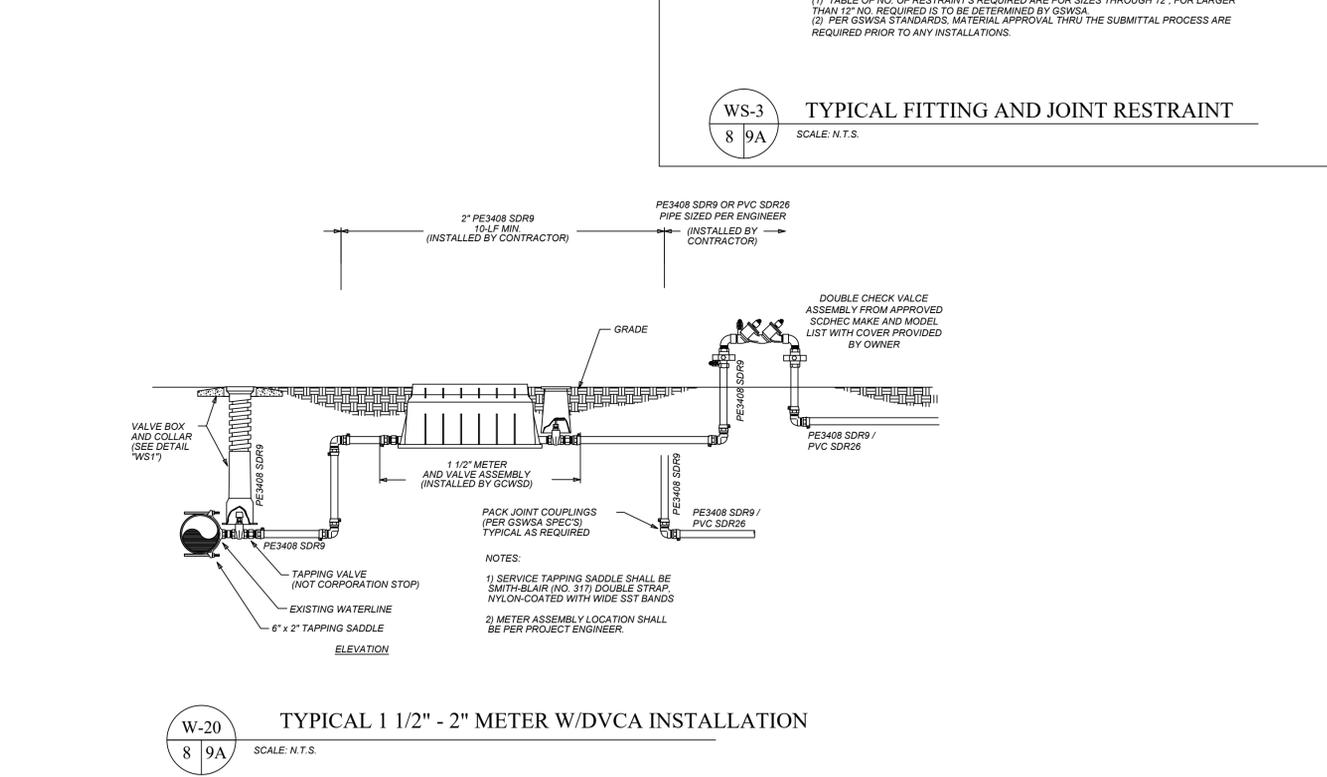
WS-3
8 9A
TYPICAL FITTING AND JOINT RESTRAINT
SCALE: N.T.S.



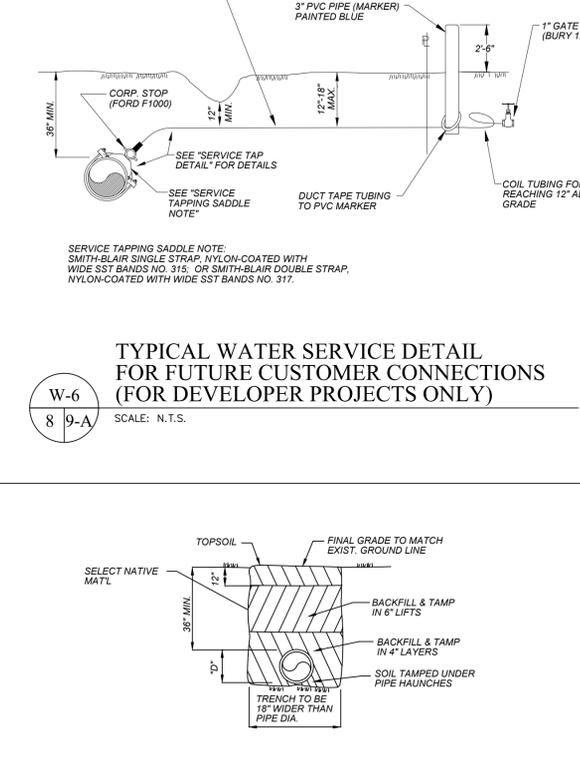
W-8
8 9A
TYPICAL STORM DRAIN CROSSING
SCALE: N.T.S.



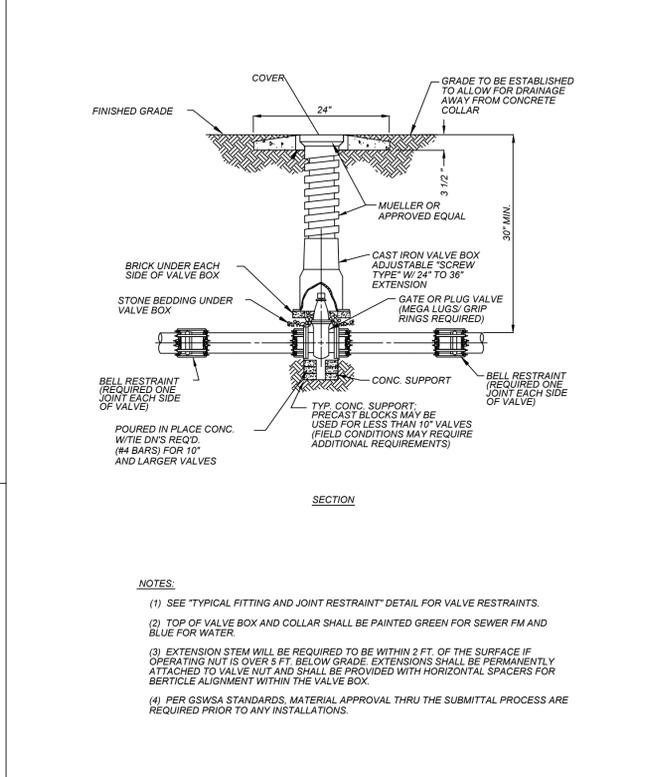
WS-1
8 9A
TYPICAL VALVE AND VALVE BOX
SCALE: N.T.S.



W-20
8 9A
TYPICAL 1 1/2" - 2" METER W/DVCA INSTALLATION
SCALE: N.T.S.

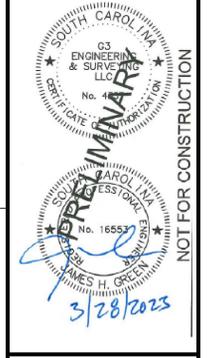


WS-11
8 9A
TYPICAL PIPE BEDDING DETAIL
SCALE: N.T.S.



WS-1
8 9A
TYPICAL VALVE AND VALVE BOX
SCALE: N.T.S.

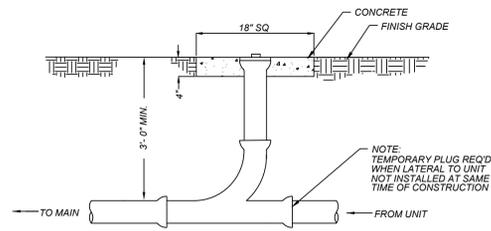
NO.	REV.	DATE	BY	DESCRIPTION
1		3/28/2023	MAK	DRG. BLUFFTON AND BASK COMMENTS



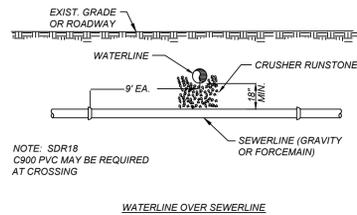
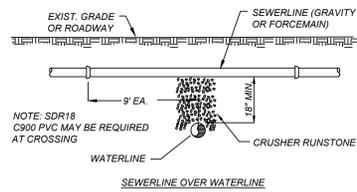
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PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP
WATER DISTRIBUTION DETAILS

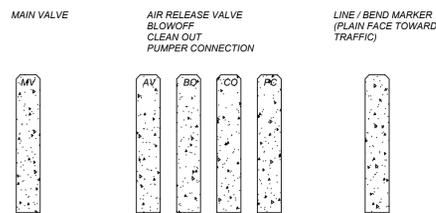
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APPROVED: JHG
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DATE: 1/25/2023



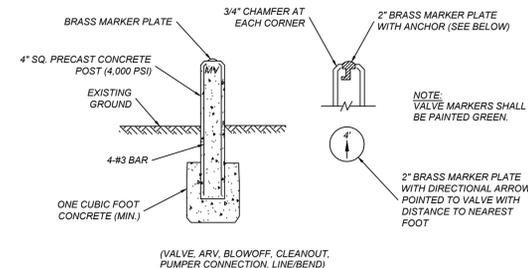
S-9
8 9B
TYPICAL SEWER CLEANOUT
SCALE: N.T.S.



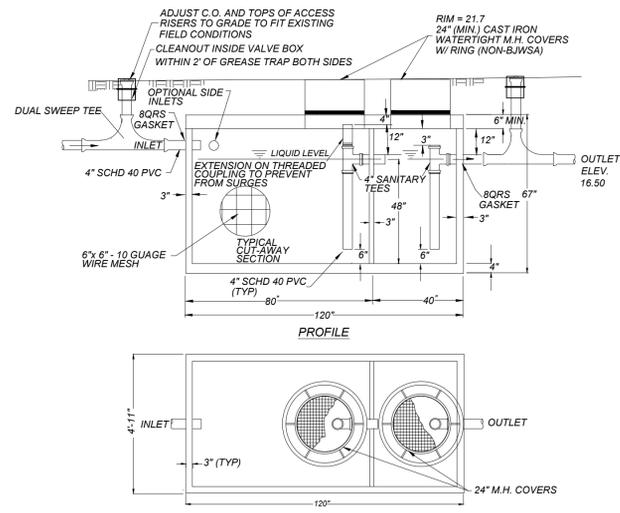
S-17
8 9B
WATERLINE CROSSINGS
SCALE: N.T.S.



CONCRETE MARKER PAINT CODES

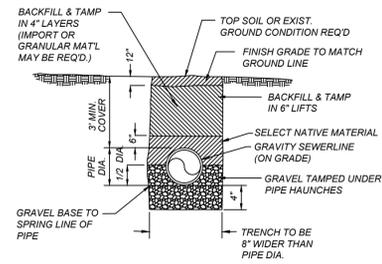


S-16
8 9B
TYPICAL CONCRETE MARKERS
SCALE: N.T.S.



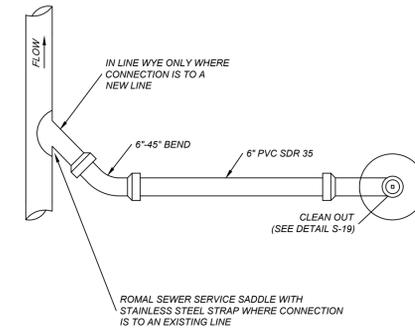
GREASE TRAP DETAIL
CONCRETE - 4000 PSI REINFORCEMENT - 6" x 6" - 10 GAUGE WIRE MESH LENGTH TO WIDTH RATIO - 2:1 LOAD DESIGN - 150 LBS. PER SQUARE FOOT
LIFTING HOOKS TO BE SUPPLIED LID ON TANK TO BE SUPPLIED FOR TRAFFIC LOADING.

S-10
8 9B
GREASE TRAP DETAIL
SCALE: N.T.S.

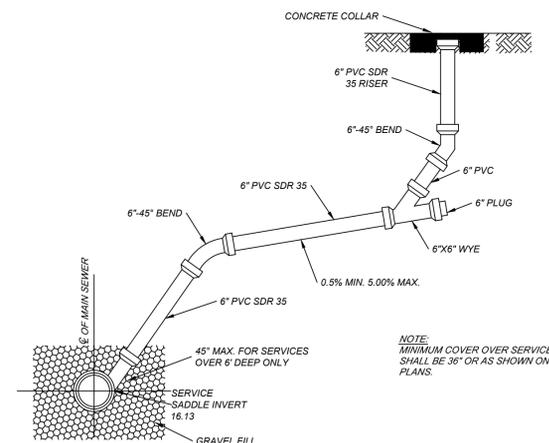


- NOTES FOR ALL TRENCH DETAILS**
- TRENCH SHALL BE BACKFILLED AND THOROUGHLY TAMPED WITH SUITABLE MATERIAL TO LEVEL OF STONE. STONE & PAVT TO BE PLACED BY CONTR. WITH LEAST INTERFERENCE WITH TRAFFIC.
 - ALL CONSTRUCTION TO BE INSPECTED AND APPROVED BY LOCAL COUNTY OR STATE ROAD DEPT.
 - CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION AND OBTAINING INSPECTION.
 - GRAVEL BASE SHALL BE 4" MIN. AND EXTEND UP TO SPRING LINE OF PIPE. GRAVEL SHALL NOT EXCEED 3/4" DIA.

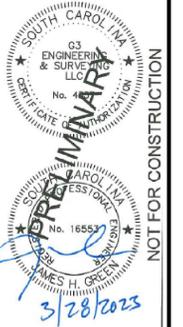
S-10
8 9B
TYPICAL TRENCH SECTION IN NATIVE GROUND CONDITION FOR GRAVITY SEWER LINE
SCALE: N.T.S.



- NOTES:**
- MINIMUM SERVICE LATERAL SLOPE SHALL BE 1.00% ON 4" SIZE AND 0.5% ON 6" SIZE.
 - MINIMUM COVER OVER SERVICE LATERAL SHALL BE 36" OR AS SHOWN ON PLANS.
 - INSTALL CLEAN OUTS AT CHANGES IN ALIGNMENT OF 90° AND AT ALL CHANGES IN GRADE GREATER THAN 45° OR AS DIRECTED.
 - WHERE SERVICE LINE GRADE IS 20% OR GREATER, INSTALL CONCRETE ANCHORS.



S-8
7 9
SINGLE SEWER SERVICE CONNECTION
SCALE: N.T.S.



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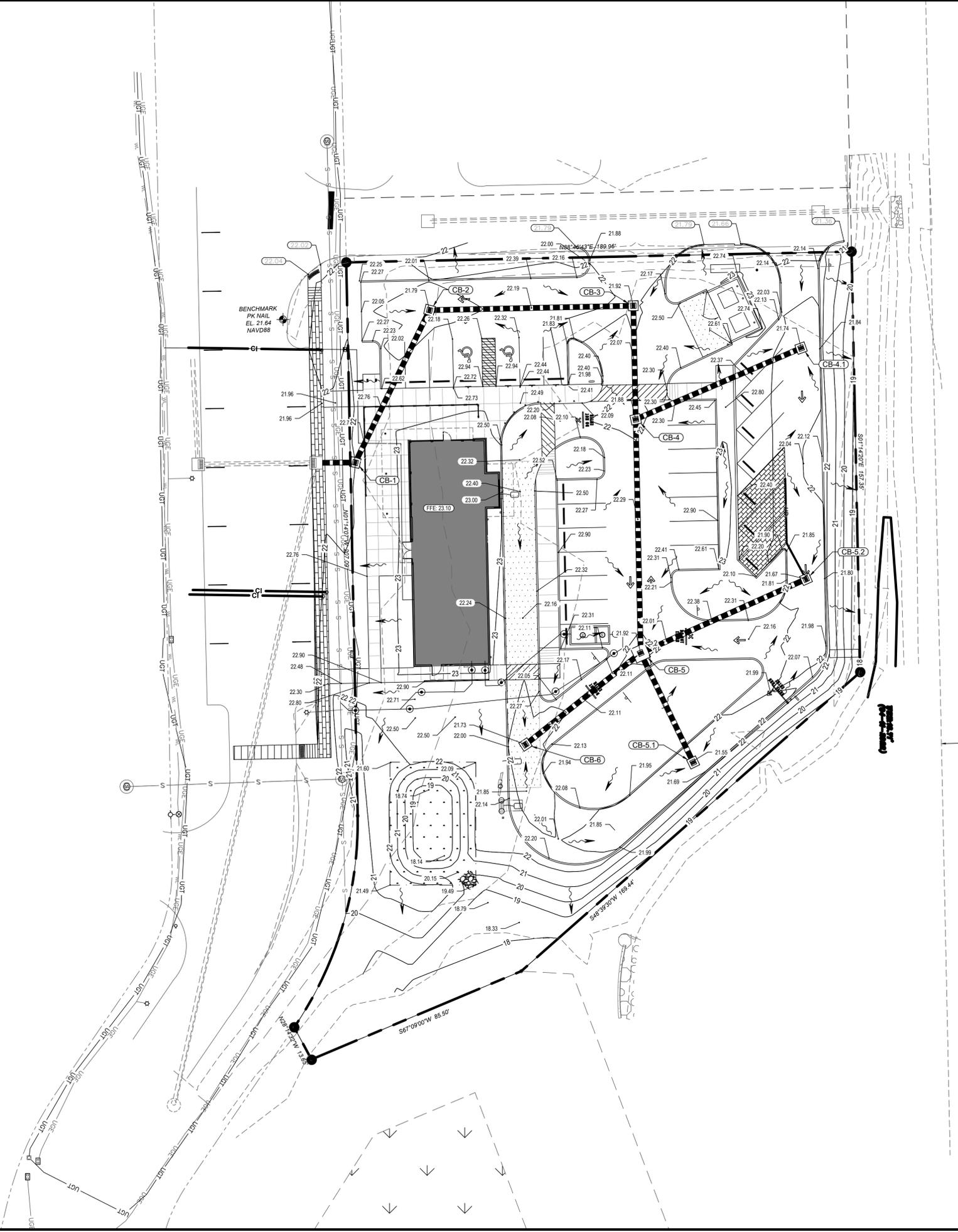
STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC
PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP
SANITARY SEWER DETAILS

SCALE: NONE
DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

C-9B
SHEET

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1	3/28/2023	DIC-BLUFFTON AND BWSA COMMENTS

NOT FOR CONSTRUCTION

3/28/2023

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STARBUCKS - BLUFFTON
 BEAUFORT COUNTY, BLUFFTON, SC
 PREPARED FOR
Vaquero Bluffton Partners, LP
GRADING PLAN

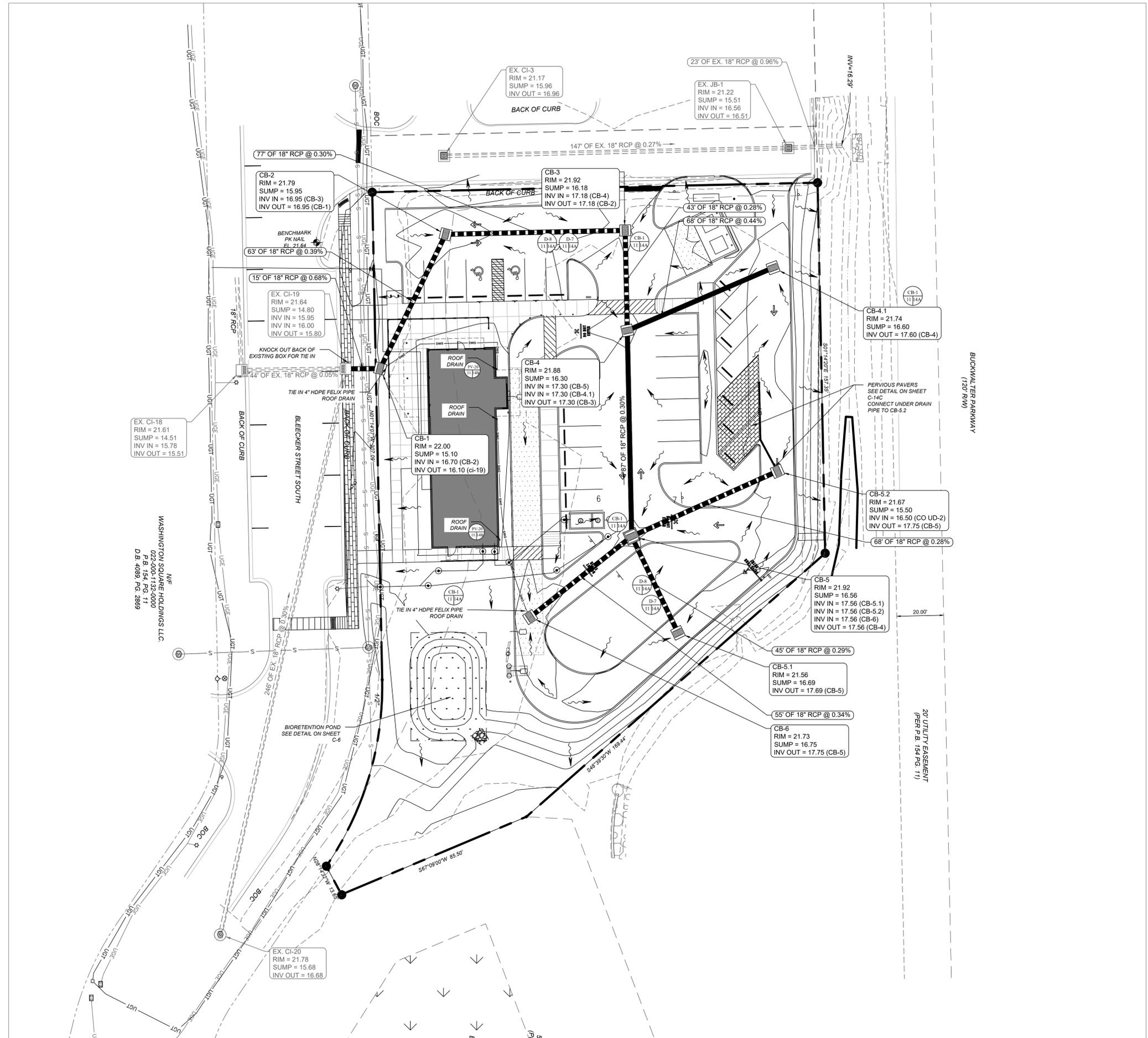
SCALE: 1" = 20'

DESIGNED: MAK
 DRAWN: PS
 APPROVED: JHG
 PROJ. NO. 22091
 DATE: 1/25/2023

SHEET **C-10**

P.U.P.S
 1-888-721-7877
 CALL BEFORE YOU DIG
 PALMETTO UTILITY
 PROTECTION SERVICE

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P.B. 154 PG. 11
D.B. 4069 PG. 2889

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REV #	DATE	DESCRIPTION
1	3/28/2023	DWG. BLUFFTON AND BASKA COMMENTS

NOT FOR CONSTRUCTION

3/28/2023

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STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC

PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP

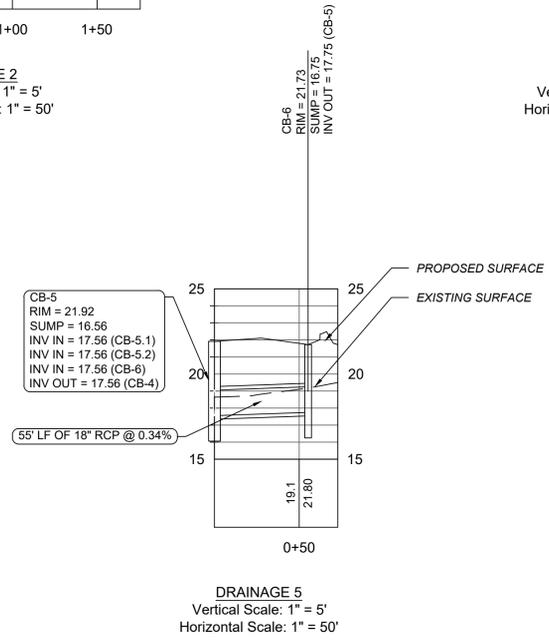
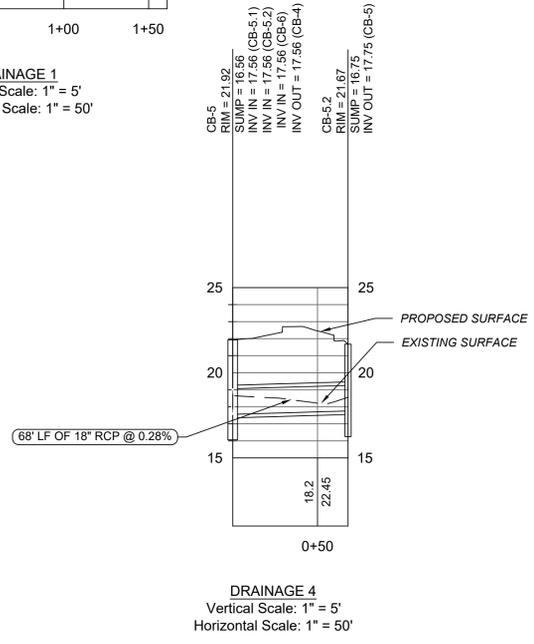
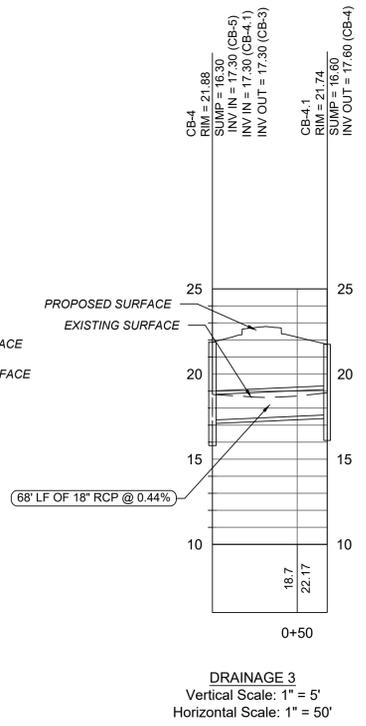
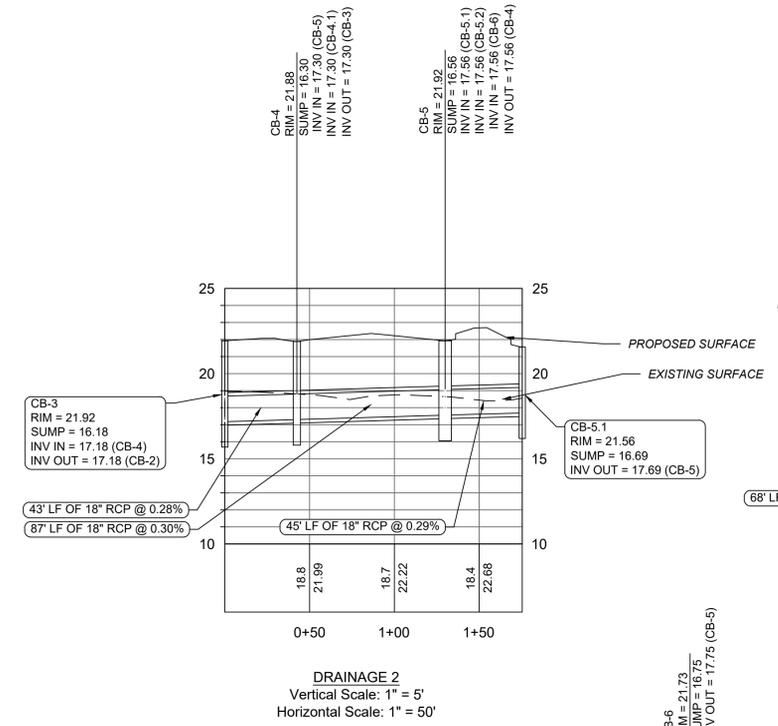
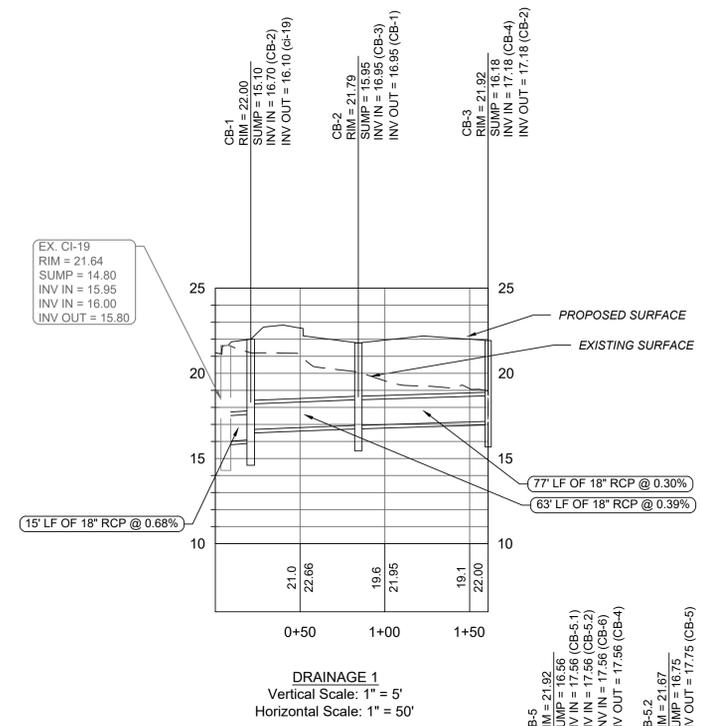
DRAINAGE PLAN

SCALE: 1" = 20'

DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

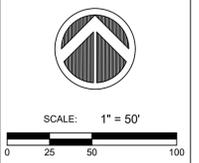
SHEET **C-11**

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BEAUFORT COUNTY, BLUFFTON, SC
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Vaquero Bluffton Partners, LP
STORM DRAIN PROFILES



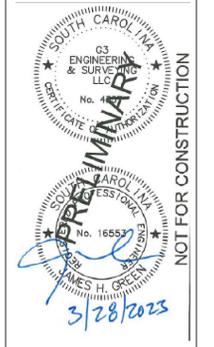
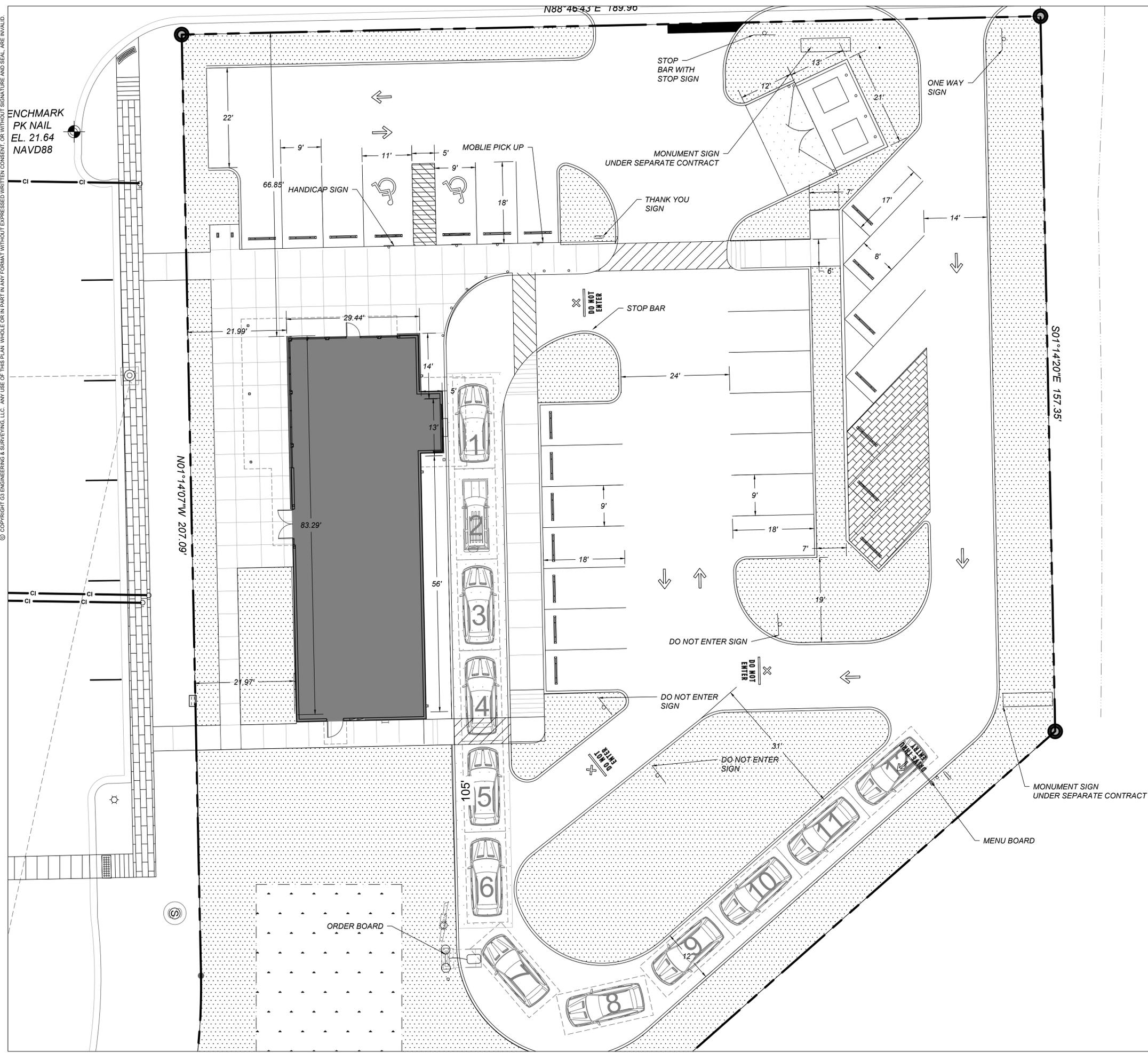
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SHEET **C-12**

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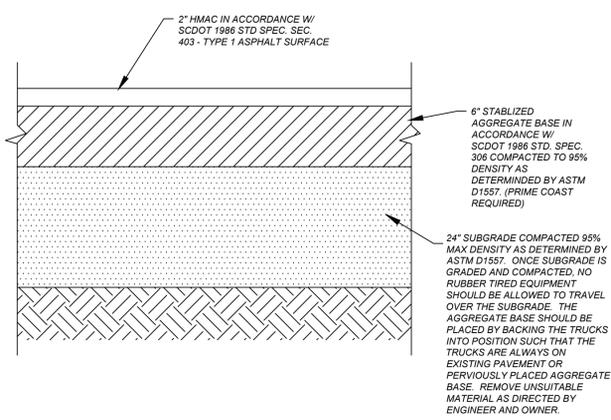
STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC
PREPARED FOR
Vaquero Bluffton Partners, LP
SIGNAGE, STRIPING AND SITE PLAN

SCALE: 1" = 10'

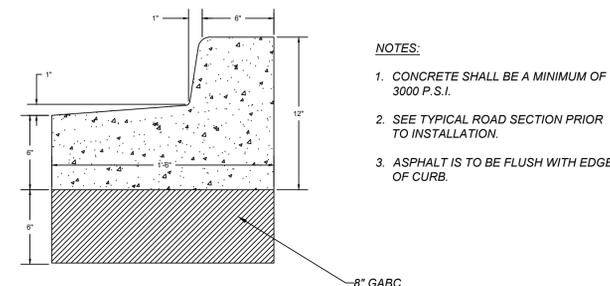
DESIGNED: MAK
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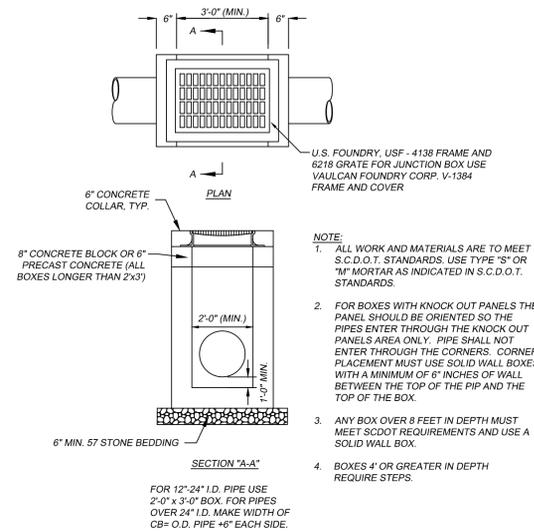


PV-1 DRIVEWAY PAVEMENT SECTION
11 | 14A SCALE: N.T.S.

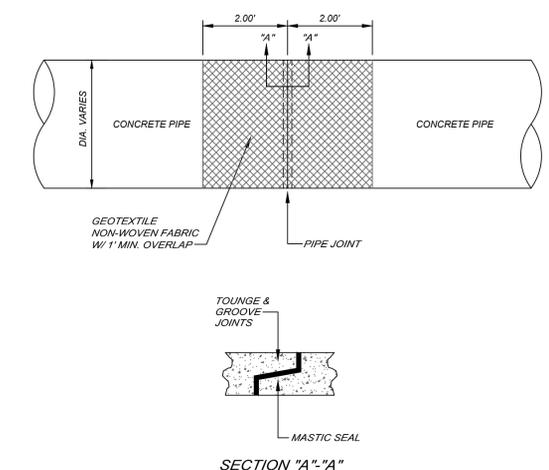


PV-11 REJECT CURB DETAIL
10 | 14A SCALE: N.T.S.

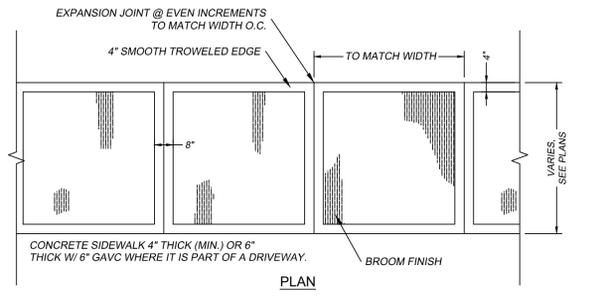
- NOTES:**
1. CONCRETE SHALL BE A MINIMUM OF 3000 P.S.I.
 2. SEE TYPICAL ROAD SECTION PRIOR TO INSTALLATION.
 3. ASPHALT IS TO BE FLUSH WITH EDGE OF CURB.



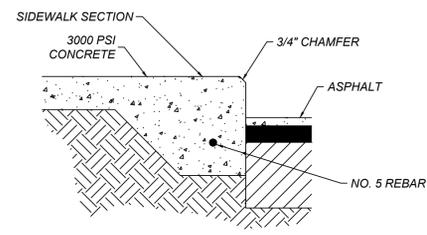
CB-1 TYPICAL CATCH BASIN / JUNCTION BOX
11 | 14A SCALE: N.T.S.



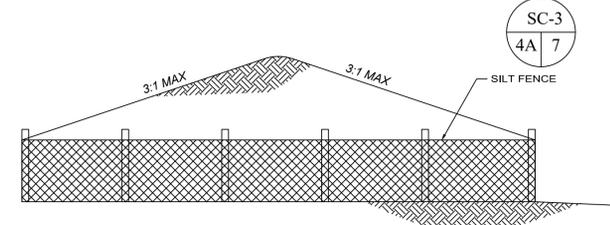
D-8 PIPE JOINT DETAIL
11 | 14A SCALE: N.T.S.



PV-4 TYPICAL SIDEWALK DETAIL
3 | 14A SCALE: N.T.S.

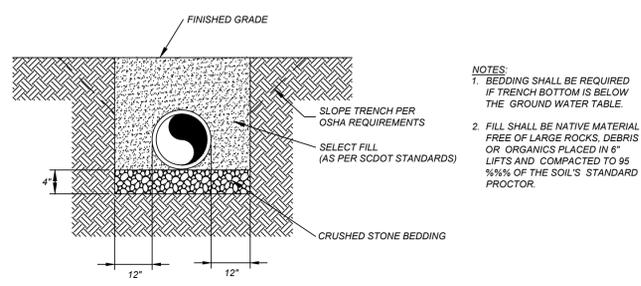


PV-10 SIDEWALK AT PAVEMENT SECTION
10 | 14A SCALE: N.T.S.

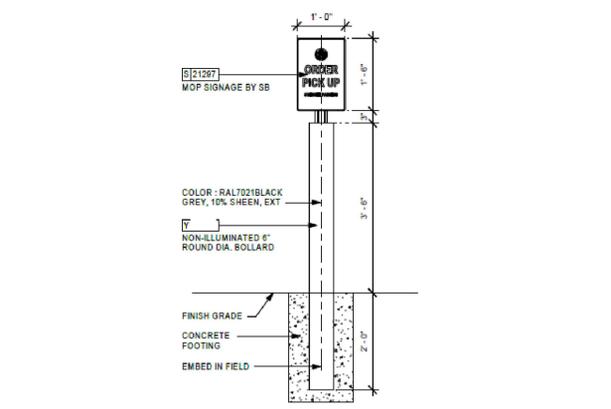


- STOCKPILE PROTECTION INSTALLATION NOTES**
1. SEE PLAN SHEET C-5 FOR LOCATION OF STOCKPILES.
 2. INSTALL SILT FENCE IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS.
 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITH IN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).

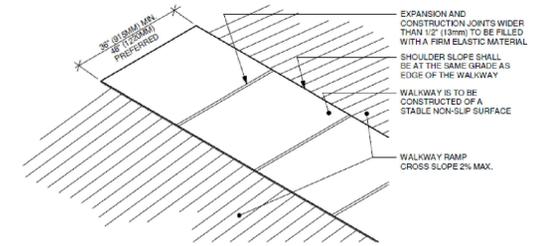
SC-8 STOCKPILE PROTECTION
4 | 14A SCALE: N.T.S.



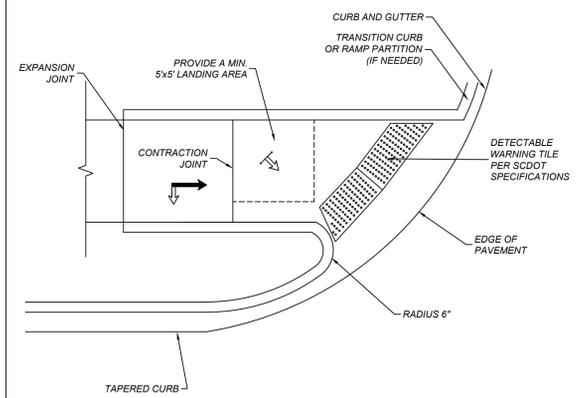
D-7 RCP PIPE BEDDING
11 | 14A SCALE: N.T.S.



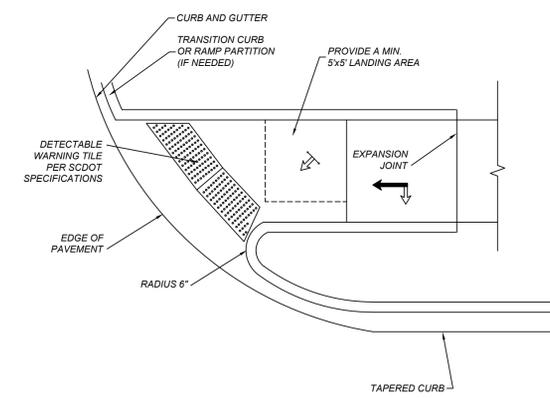
SC-22 MOP PARKING SIGN BOALLARD
3 | 14A SCALE: N.T.S.



SC-3 ACCESSIBLE EXTERIOR WALKWAY
3 | 14A SCALE: N.T.S.



HC-3 HANDICAP RAMP AND CROSSWALK DETAIL
3 | 14A SCALE: N.T.S.



NO.	REV#	DESCRIPTION	DATE

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PHONE: 843.237.1001
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3/28/2023

NOT FOR CONSTRUCTION

STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC

VAQUERO BLUFFTON PARTNERS, LP

PREPARED FOR

SIGNAGE, GRADING & DRAINAGE DETAILS

SCALE: NONE

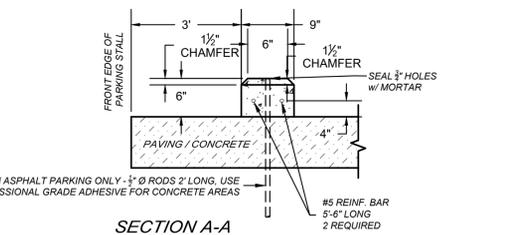
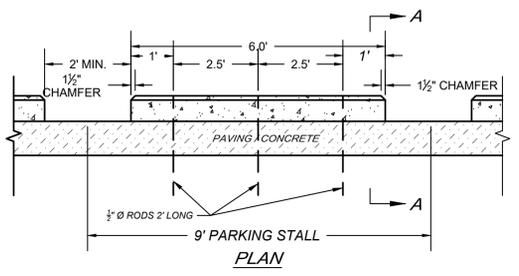
0 1/2 1 2

DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

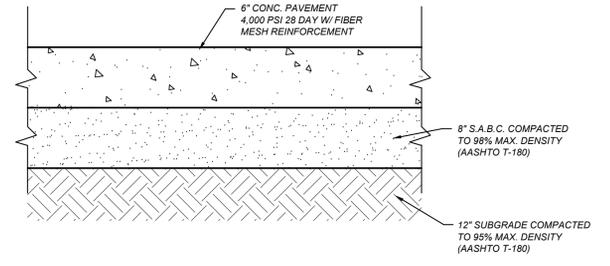
C-14A

SHEET

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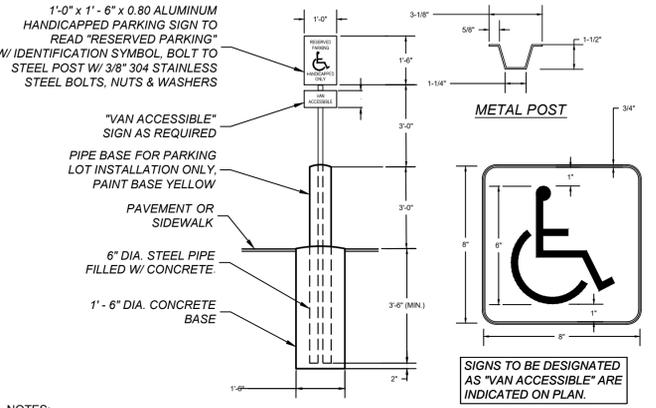


PV-19 REINFORCED CONCRETE WHEEL STOP
SCALE: N.T.S.



NOTES:
1. IN-SITU & IMPORTED EARTH FOR USE IN THE FILL AREAS OF THE PAVEMENT SECTION SHALL BE FREE OF ANY ROOTS, ROCK OR OTHER DELETERIOUS MATERIAL AND IN CONFORMANCE WITH AASHTO A-1, A-3 OR A-2-4.

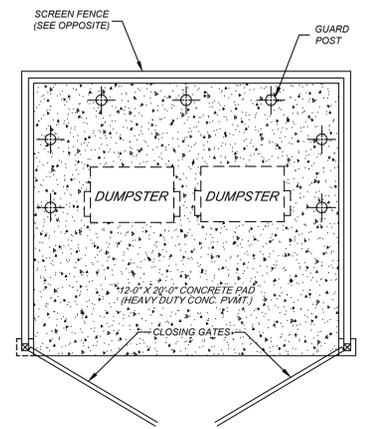
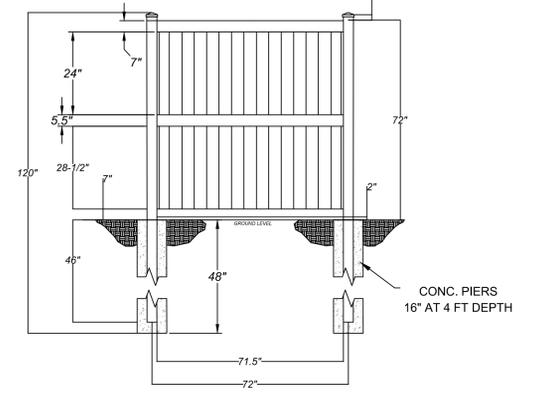
PV-3 HEAVY DUTY CONC. PAVEMENT SECTION FOR DUMPSTER PAD
SCALE: N.T.S.



NOTES:
1. METAL POST TO BE GALVANIZED. ALL BOLTS, NUTS, WASHERS AND SCREWS MUST BE RUSTPROOF.
2. CONCRETE FOR FOOTING SHALL BE PORTLAND CEMENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
3. SIGNS WILL BE FABRICATED BY USING A REFLECTING COATING IN THE SYMBOL, MESSAGE AND BORDERS APPLIED TO A SHEET ALUMINUM BACKING (080) IN THICKNESS.
4. MESSAGE LETTERING SHALL BE UPPER CASE (WHITE) (SERIES B) 2" HIGH IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
5. THE SYMBOL IS COMPOSED OF TWO ELEMENTS, A WHITE WHEELCHAIR FIGURE (WHICH SHOULD ALWAYS FACE RIGHT) ON A SQUARE BACKGROUND, INTERNATIONAL BLUE IN COLOR (FED. STD. 595a, COLOR #15180).
6. SIGN POST SHALL BE MINIMUM 2'-0" CLEARANCE FROM BACK OF CURB.

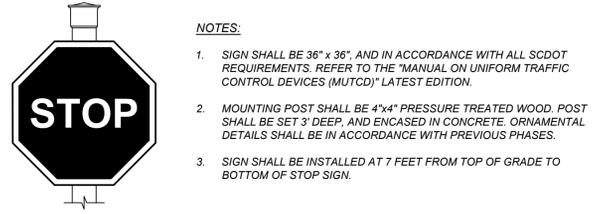
HC-1 HANDICAPPED POST MOUNTED SIGN DETAIL
SCALE: N.T.S.

MATERIAL LIST:
(1) 5" PYRAMID CAP
(1) 5" x 5" x 120"
(3) GORILLA POCKET RAIL 1 3/4" x 5 1/2" x 71.5"
(22) 7/8" x 6" T&G x 41 7/8"
(4) TRIM CHAININGEL x 38 - 5/8"
(1) ALUMINUM POCKET RAIL INSERT IN BOTTOM RAIL AND MID RAIL
(1) ALUMINUM POST SUPPORT INSERT IN EACH POST 120"



NOTE: ALL SIDE SLOPES AND DISTURBED AREAS AROUND SWALE SHALL HAVE EROSION CONTROL MATTING AND BE HYDRO SEEDING 2" MAX DEPTH

D-3 TYPICAL SWALE DETAIL
SCALE: N.T.S.



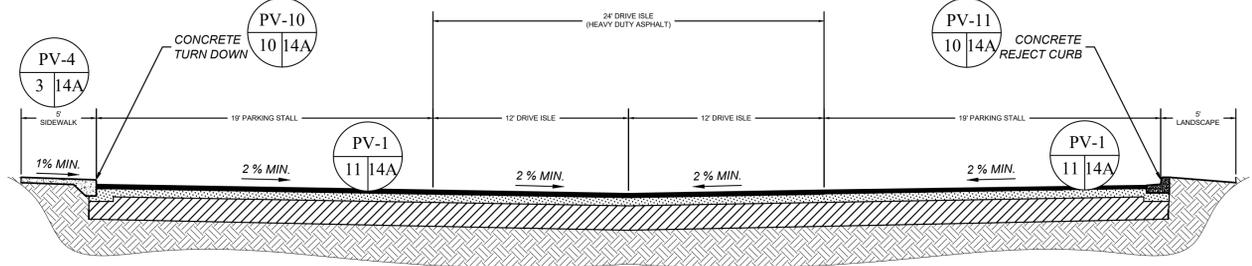
NOTES:
1. SIGN SHALL BE 36" x 36", AND IN ACCORDANCE WITH ALL SCDOT REQUIREMENTS. REFER TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" LATEST EDITION.
2. MOUNTING POST SHALL BE 4"x4" PRESSURE TREATED WOOD. POST SHALL BE SET 3" DEEP, AND ENCASED IN CONCRETE. ORNAMENTAL DETAILS SHALL BE IN ACCORDANCE WITH PREVIOUS PHASES.
3. SIGN SHALL BE INSTALLED AT 7 FEET FROM TOP OF GRADE TO BOTTOM OF STOP SIGN.

SN-2 STOP SIGN - "R1-1-36"
SCALE: N.T.S.



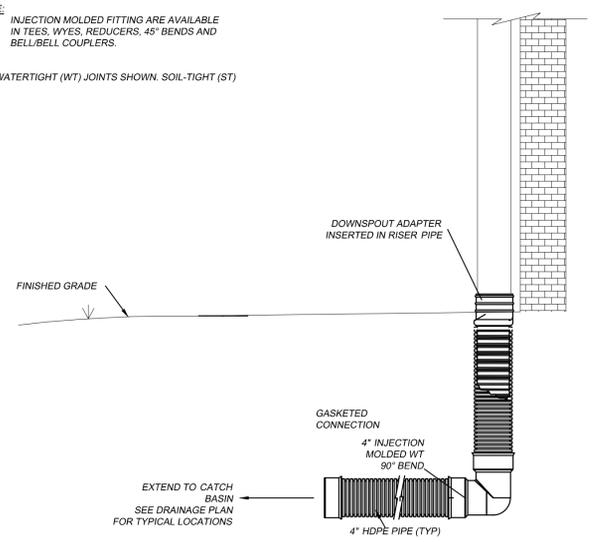
NOTES:
1. SIGN SHALL BE A MINIMUM 18 INCHES HIGH AND 12 INCHES WIDE, AND BE MADE OF COATED RUST-FREE ALUMINUM.
2. MOUNTING POST SHALL BE 4"x4" PRESSURE TREATED WOOD. POST SHALL BE SET 3" DEEP, AND ENCASED IN CONCRETE. ORNAMENTAL DETAILS SHALL BE IN ACCORDANCE WITH PREVIOUS PHASES.
3. SIGN SHALL BE INSTALLED AT 7 FEET FROM TOP OF GRADE TO BOTTOM OF SPEED LIMIT SIGN.

SN-3 NO SWIMMING SIGN
SCALE: N.T.S.



NOTES:
1. ALL ROADWAY CONSTRUCTION MATERIALS MUST MEET SCDOT SPECIFICATIONS.
2. CONTACT SURFACES OF CURBING, GUTTERS, EDGES OF EXISTING PAVEMENT, MANHOLES, CATCH BASINS, ECT., SHALL BE PAINTED WITH A THIN, UNIFORM COATING OF ASPHALT MATERIAL JUST BEFORE THE ASPHALT MIXTURE IS PLACED.
3. SUB-GRADE MUST PASS PROOF ROLL INSPECTION PRIOR TO CURB PLACEMENT.
4. IN-SITU & IMPORTED SUITABLE SUBGRADE MATERIAL SHALL BE USED IN ALL FILL AREAS OF THE PAVEMENT SECTION AND ALL FILL MATERIAL SHALL BE FREE OF ANY ROOTS, ROCK OR OTHER DELETERIOUS MATERIAL AND SHALL BE PROOF ROLLED AND APPROVED PRIOR TO BASE PLACEMENT. TACK SHALL BE APPLIED BETWEEN LAYERS IF NOT PAVED IMMEDIATELY.

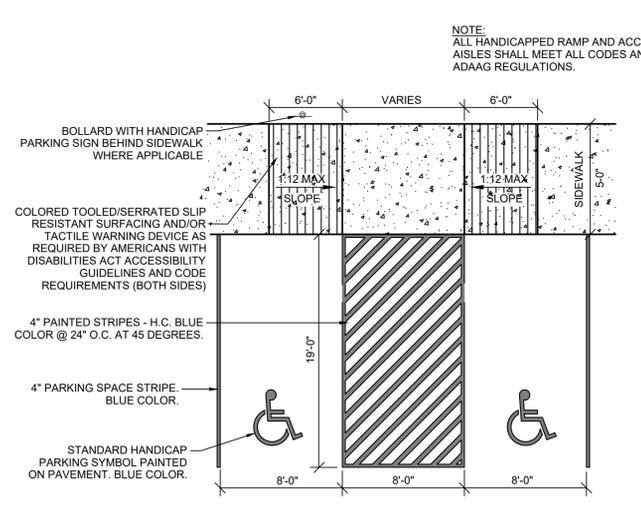
TS-1 TYPICAL DRIVEWAY SECTION
SCALE: N.T.S.



NOTE: INJECTION MOLDED FITTING ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.
WATERTIGHT (WT) JOINTS SHOWN. SOIL-TIGHT (ST)

PV-20 DOWNSPOUT TIE-IN DETAIL
SCALE: N.T.S.

DP-2 DUMPSTER DETAIL
SCALE: N.T.S.



HC-2 HANDICAP RAMP AND PARKING DETAIL
SCALE: N.T.S.

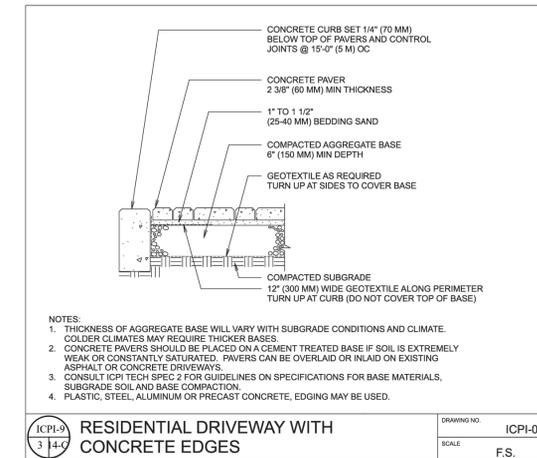
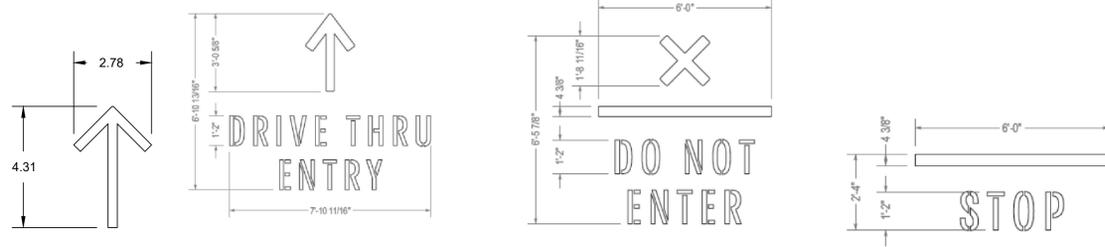


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STARBUCKS - BLUFFTON
BEAUFORT COUNTY, BLUFFTON, SC
PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP
SIGNAGE, GRADING & DRAINAGE DETAILS

SCALE: NONE
DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO: 22091
DATE: 1/25/2023

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SC-2
3 14C
ARROWS PAVEMENT MARKING DETAIL - SEE ARCHITECTURAL PLANS
SCALE: N.T.S.

NOT FOR CONSTRUCTION

3/28/2023

JAMES H. GREEN

Professional Engineer License No. 16553

Professional Engineer License No. 16553

GB
ENGINEERING & SURVEYING

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PAWLEYS ISLAND, SC 29585
PHONE: 843.237.1001
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BEAUFORT COUNTY, BLUFFTON, SC

PREPARED FOR
VAQUERO BLUFFTON PARTNERS, LP

SIGNAGE, GRADING & DRAINAGE DETAILS

SCALE: NONE

0 1/2 1 2

DESIGNED: MAK
DRAWN: PS
APPROVED: JHG
PROJ. NO. 22091
DATE: 1/25/2023

SHEET C-14C



PLAN REVIEW COMMENTS FOR DP-02-23-017687

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 WASHINGTON SQUARE

Section X. Item #3.

Plan Type:	Development Plan	Apply Date:	02/15/2023
Plan Status:	Active	Plan Address:	
Case Manager:	Dan Frazier	Plan PIN #:	R614 022 000 1131 0000
Plan Description:	A request by G3 Engineering & Surveying, LLC on behalf of the property owner, Vaquero Bluffton Partners, L for approval of a preliminary development plan application. The project proposes a 2,500 SF commercial building to serve as a Starbucks coffeehouse. The property is zoned Buckwalter Planned Unit Development and consists of 1.03 acres identified by tax map number R614 022 000 1131 0000 located within the Berkeley Place Parcel C4 Master Plan and the Washington Square Development Plan.		

Technical Review

Submission #: 1 Received: 02/15/2023 Completed: 03/17/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Watershed Management Review DRC	02/28/2023	William Baugher	Revisions Required

Comments:

1. Show that the site will not exceed impervious surface area threshold calculations for Washington Square. 2. Provide a site design containing at a minimum one vegetative BMP and one filtration or infiltration-based BMP in series to treat stormwater on-site. Projects shall be designed to include a minimum of three BMPs in the overall site plan to meet the requirements set forth in Section 5.10 of the Unified Development Ordinance. (SWDM 7.0) 3. If #1 cannot be met, show the feasibility of meeting the current SoLoCo standards of the proposed BMPs using the Compliance Calculator. The overall performance requirements for this area are located in the SWDM 3.5.5. At the time of the Pre-Development Plan submittal, you shall demonstrate the capacity of retaining the 95th percentile storm on-site with approved infiltration/filtering BMPs and meet Water Quality standards. The Compliance Calculator can be located: <https://www.townofbluffton.sc.gov/704/Southern-Lowcountry-Stormwater-Ordinance>. If you have any questions regarding SoLoCo Stormwater Design Manual or the Compliance Calculator, feel free to email scrotty@townofbluffton.com.

Beaufort Jasper Water and Sewer Review	03/13/2023	James Clardy	Approved with Conditions
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Comments:

Pending submittal of water and sewer design to BJWSA's Design Review Team in accordance with the February 2023 Development Policy and Procedure Manual.

Planning Review - SR	03/17/2023	Jordan Holloway	Approved with Conditions
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Comments:

1. When land disturbance is proposed for sites of at least one (1) acre, a minimum of 15 hardwood trees per acre shall be provided on-site, which may include trees to be planted, existing healthy native trees, or a combination thereof. (UDO Section 5.5.3.G.)

Fire Department Review	03/17/2023	Dan Wiltse	Approved
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Planning Commission Review	03/17/2023	Dan Frazier	Approved
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Planning Review - Address	03/17/2023	Ryan Coleman	Approved
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Police Department Review	03/17/2023	Adam Barberio	Approved
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Building Safety Review 02/15/2023 Richard Spruce Approved

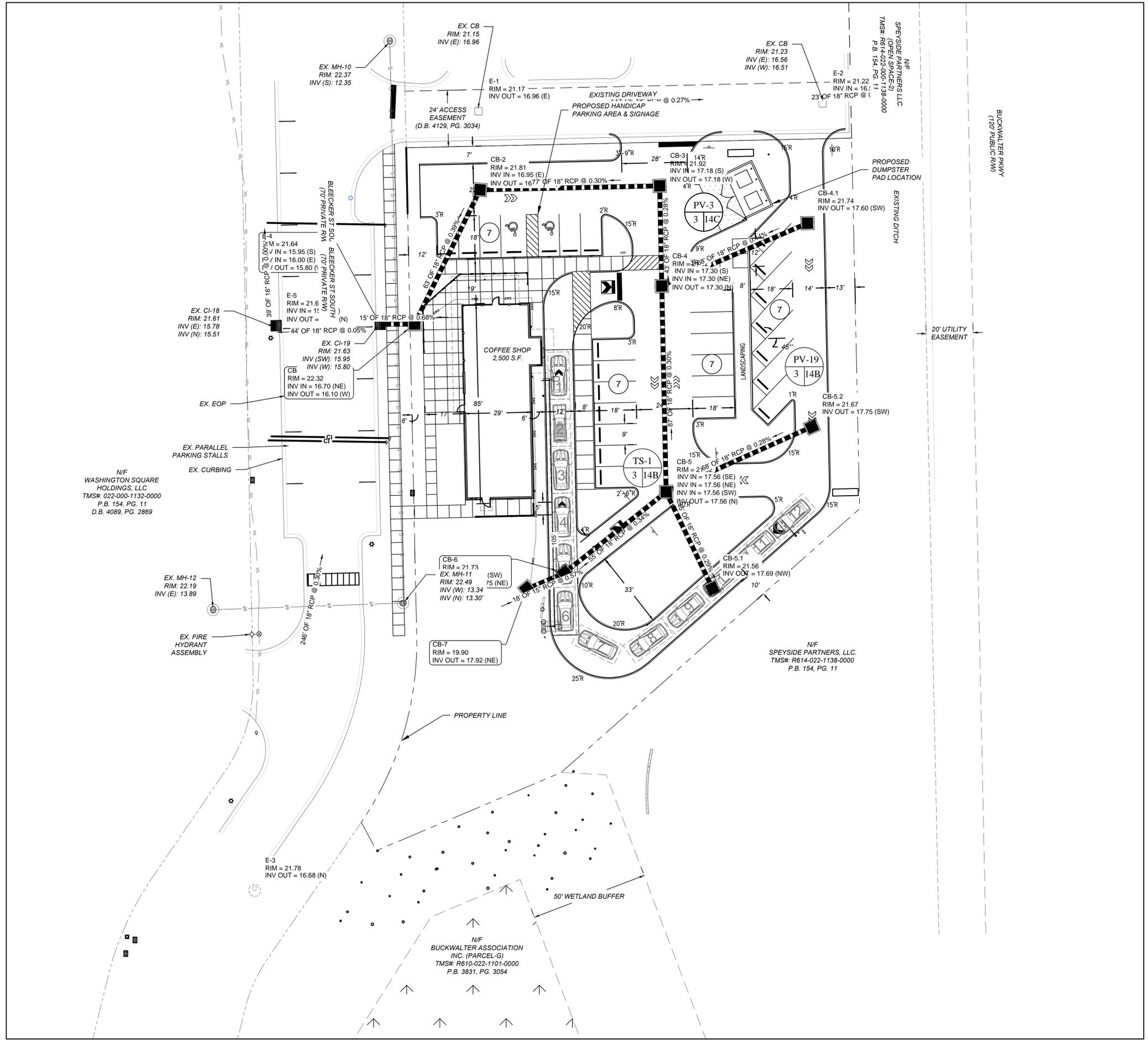
Section X. Item #3.

Transportation Department Review 02/15/2023 Megan James Approved

Comments:
No comments

Plan Review Case Notes:

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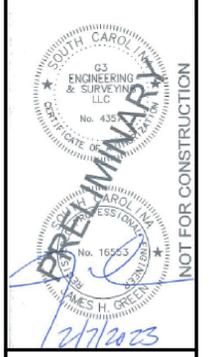
N/F
WASHINGTON SQUARE
HOLDINGS, LLC
TMS#: 022-000-1132-0000
P.B. 154, PG. 11
D.B. 4089, PG. 2869

N/F
SPEYSIDE PARTNERS, LLC
(OPEN SPACE-2)
TMS#: R614-022-000-1138-0000
P.B. 154, PG. 11

N/F
SPEYSIDE PARTNERS, LLC
TMS#: R614-022-1138-0000
P.B. 154, PG. 11

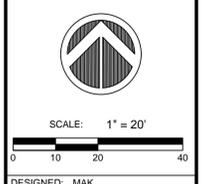
N/F
BUCKWALTER ASSOCIATION
INC. (PARCEL-G)
TMS#: R610-022-1101-0000
P.B. 3831, PG. 3054

REV #	DESCRIPTION	DATE



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DATE: 1/25/2023



April 12, 2023

Town of Bluffton Department of Growth Management
 20 Bridge Street
 P.O. Box 386
 Bluffton, South Carolina 29910

Re: Coffee Shop – Starbucks DP-02-23-017687 ,
 Plan Review Comments 2/15/2023

Dear Mr. Holloway,

We appreciate your time reviewing this project. In response to your comments from your 3/17/2023 review, we offer the following responses:

Watershed Management Review:

1. Show that the site will not exceed impervious surface area threshold calculations for Washington Square.
 Response: the impervious area is under the impervious surface area threshold calculations for Washington Square – see the stormwater report for exact areas.

2. Provide a site design containing at a minimum one vegetative BMP and one filtration or infiltration-based BMP in series to treat stormwater on-site. Projects shall be designed to include a minimum of three BMPs in the overall site plan to meet the requirements set forth in Section 5.10 of the Unified Development Ordinance. (SWDM 7.0)
 Response: Sediment and erosion control stage two shows the Type “S” filter bags located in each catch basin – we have also added a bioretention pond detail and area for this basin on the south side of the site. We have also added pavers in the diagonal parking .

3. If #1 cannot be met, show the feasibility of meeting the current SoLoCo standards of the proposed BMPs using the Compliance Calculator. The overall performance requirements for this area are located in the SWDM 3.5.5. At the time of the Pre-Development Plan submittal, you shall demonstrate the capacity of retaining the 95th percentile storm on-site with approved infiltration/filtering BMPs and meet Water Quality standards. The Compliance Calculator can be located: <https://www.townofbluffton.sc.gov/704/Southern-Lowcountry-Stormwater-Ordinance>.
 Response: we are under the impervious surface area threshold calculations for Washington Square”

Beaufort Jasper Water and Sewer Authority

Pending submittal of water and sewer design to BJWSA’s Design Review Team in accordance with the February 2023 Development Policy and Procedure Manual.



Response: We have been in touch with James Clardy and discussed the grease trap location as well as meter sizes as reflected in the revision 1 plan set.

Planning Review

When land disturbance is proposed for sites of at least one (1) acre, a minimum of 15 hardwood trees per acre shall be provided on-site, which may include trees to be planted, existing healthy native trees, or a combination thereof. (UDO Section 5.5.3.G.)

Response: Landscape plan included on this submittal showing 15 hardwood trees.

Fire Department Review

Approved 3/17/2023

Planning Commission Review

Approved 3/17/2023

Planning Review Address

Approved 3/17/2023

Police Department Review

Approved 3/17/2023

Building Safety Review

Approved 2/15/2023

Transportation Department Review

Approved 2/15/2023

We hope this addresses all your comments. We appreciate your time and attention in the review of the project. Please inform us as to the next steps required for the April Planning Commission meeting agenda.

Sincerely,

Mary Kramer
Project Manager

C.c. James H. Green, P.E.
Pam Parker – Project manager

PLANNING COMMISSION



STAFF REPORT
Growth Management Department

MEETING DATE:	April 26, 2023
PROJECT:	Amendments to the Town of Bluffton’s Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance (UDO), Article 3 – Application Process, Sec. 3.14, Certificate of Construction Compliance; Article 4 – Zoning Districts, Sec. 4.4.2.A., Conditional Use Standards, Outdoor Sales; Article 5 – Design Standards, Parking; Article 7 - Nonconformities; Article 9 – Definitions and Interpretation, Sec. 9.2 Defined Terms, Family & Single Household Unit; and, Sec. 9.4.1, Description of Residential Uses (Accessory Dwelling Units and Single-Family Attached Dwelling) and Sec. 9.4.3, Description of Commercial Services (Outdoor Sales).
PROJECT MANAGER:	Charlotte Moore, AICP Principal Planner

INTRODUCTION: As set forth in Section 3.5.2 of the Unified Development Ordinance (UDO), “an application for a UDO Text Amendment may be initiated by a Town of Bluffton property owner, Town Council, Planning Commission, or the UDO Administrator when public necessity, convenience, State or Federal law, general welfare, new research, or published recommendations on zoning and land development justifies such action.”

REQUEST: The UDO Administrator requests that the Planning Commission recommend approval to Town Council of certain text amendments to the Town of Bluffton’s Municipal Code of Ordinances, Chapter 23, Unified Development Ordinance as follows:

- Article 3 – Application Process, Sec. 3.14, Certificate of Construction Compliance;
- Article 4 – Zoning Districts, Sec. 4.4.2.A., Conditional Use Standards, Outdoor Sales;
- Article 5 – Design Standards, Sec. 5.11, Parking;
- Article 7 - Nonconformities;
- Article 9 – Definitions and Interpretation, Sec. 9.2 Defined Terms, Family & Single Household Unit; and, Sec. 9.4.1, Description of Residential Uses (Accessory Dwelling Units and Single-Family Attached Dwelling) and Sec. 9.4.3, Description of Commercial Services (Outdoor Sales).

BACKGROUND: From time to time, amendments to the UDO are necessary to address insufficient procedural processes and standards. The attached proposed amendments relate to both processes and standards, and are highlighted below:

- **Certificate of Construction Compliance:** A Certificate of Construction Compliance is required to ensure that site improvements, including landscaping, are completed and comply with the approved Final Development Plan. Amendments are proposed to 1) distinguish between temporary and final certificates for residential and commercial (which includes multi-family residential); and, 2) require that a site or phase be at least 75% completed relative to the monetary value of the improvements for temporary certificates, and that the site or phase be in a safe and accessible condition.
- **Outdoor Sales (Definition and Conditions):** Amendments include: 1) Refining the definition; 2) expansion of the types of merchandise that can be sold temporarily when not associated with a Retail Business (presently limited to agricultural goods, seafood and seasonal goods, such as Christmas trees); 3) improving conditions related to display, including location, time, and area size; 4) acknowledging plant nurseries as a type of outdoor sales use; and, 5) distinguishing temporary and seasonal sales, and allowing the UDO Administrator to determine appropriate use conditions.
- **Parking:** Amendments include: 1) a cross-reference to parking requirements in Old Town Bluffton Historic District; 2) removal of the allowance to apply parking at a public facility located within 500 feet of a property towards the required parking calculation; 3) a change of parking space requirements from maximum to minimum requirements (Table 5.11.3.c); 4) elimination of the ability to the UDO Administrator to reduce minimum parking requirements as a variance process is available; 5) a reduction of the percentage of parking spaces that may be identified as compact from 25% of all spaces to 10% of all spaces when at least 25 parking spaces are provided (and providing for dimensional requirements); 6) elimination of the ability to apply golf cart parking spaces towards the required parking calculation (and providing for dimensional requirements); 7) a requirement for accessory dwelling units to provide one parking space (presently, requirement is two spaces per dwelling unit); and, 8) correction of typos.
- **Nonconformities:** Amendments include: 1) Removal of the requirement that the UDO Administrator make determinations that illegal nonconformities are illegal as the UDO already states they such nonconformities are subject to removal and termination; and, 2) removal of conflicting text with regards to certain site improvements that may become nonconforming because of right-of-way dedication or acquisition.
- **Family and Single Household Definitions:** Amendments include: 1) an update of the “Family” definition to expand the current definition to comply with changes in law, including a process to recognize non-blood or other legally recognized familial structures; and, 2) a new definition – Single Household Unit – to support the definition of “Family” by identifying the shared

responsibilities, activities and interactions that are the basis for a single household unit, which may be recognized as a family.

- **Residential Use Descriptions:** Primary amendments include: 1) an update to the definition of “Accessory Dwelling Unit” or ADU to indicate the elements/facilities required within the unit, and that the ADU can be detached or attached to a principal dwelling unit; and, 2) a revision to “Single-Family Attached Dwelling” to indicate that attached units within the same building do not have to be on separate lots of record and must have primary ground floor access.

REVIEW CRITERIA & ANALYSIS: When assessing an application for UDO Text Amendments, Town Council is required to consider the criteria set forth in UDO Section 3.5.3, Application Review Criteria. These criteria are provided below, followed by a Finding.

1. **Section 3.5.3.A.** Consistency with the Comprehensive Plan or, if conditions have changed since the Comprehensive Plan was adopted, consistency with the overall intent of the Plan, recent development trends and the general character of the area.

Finding. The proposed amendments have no relationship to this criterion.

2. **Section 3.5.3.B.** Consistency with demographic changes, prevailing economic trends, and/or newly recognized best planning practices.

Finding. The proposed amendments have no relationship to this criterion.

3. **Section 3.5.3.C.** Enhancement of the health, safety, and welfare of the Town of Bluffton.

Finding. The proposed amendments have no relationship to this criterion.

4. **Section 3.5.3.D.** Impact of the proposed amendment on the provision of public services.

Finding. The proposed amendments have no relationship to this criterion.

5. **Section 3.5.3.E.** The application must comply with applicable requirements in the Applications Manual.

Finding. The application complies with all applicable requirements of the Applications Manual.

NEXT STEPS:

UDO Text Amendment Procedure	Date	Complete
Step 1. Planning Commission Public Hearing and Recommendation	April 26, 2023	✓
Step 2. Town Council – 1st Reading	June 13, 2023	✗
Step 3. Town Council Meeting – Final Reading and Public Hearing	July 11, 2023	✗

PLANNING COMMISSION ACTIONS: As granted by the powers and duties set forth in Sec. 2.2.6.C.4 of the UDO, the Planning Commission has the authority to take the following actions with respect to this application:

1. Approval of the application as submitted;
2. Approval of the application with amendments; or
3. Denial of the application as submitted by the Applicant.

STAFF RECOMMENDATION: Growth Management staff recommends the Planning Commission recommend approval of the proposed Text Amendments as submitted.

ATTACHMENTS:

1. Proposed UDO Amendments

Sec. 3.14, Certificate of Construction Compliance

Purpose: Amendments are proposed to: 1) distinguish between Temporary and Final Certificates of Construction Compliance for both residential and commercial uses (which includes multi-family residential); and, 2) for Temporary Certificates, require that a site or phase be at least 75% complete relative to the monetary value of the improvements.

3.14.1 Intent

This Section is intended to provide procedures and standards for the review of Certificate of Construction Compliance Applications. ~~Review of Certificate of Construction Compliance Applications will help ensure that all site improvements required by the development plan have been made.~~ The Certificate of Construction Compliance process ensures that all site improvements, including landscaping, comply with the approved Final Development Plan and are completed.

3.14.2 Applicability

The regulations set forth in this Section shall apply to any development which is subject to a Development Plan approval pursuant to the provisions of this Article.

3.14.3 Application Review Criteria

The UDO Administrator shall consider the following criteria in assessing an application for Certificate of Construction Compliance:

- A. Compliance with all applicable provisions of this Ordinance, including Subdivision and/or Development Plan approval requirements, as applicable;
- B. Compliance with all requirements of the approved Final Development Plan; ~~and~~
- C. ~~The approved development must be able to function alone with all required infrastructure including, but not limited to, access drives, parking, drainage facilities, utilities, and required landscaping/tree planting.~~ The approved site or phase must be able to function on its own with all required infrastructure, including but not limited to vehicular and pedestrian facilities, stormwater facilities, utilities, and landscaping; and,
- D. The application complies with applicable requirements in the Applications Manual.

3.14.4 Effect and Expiration of Approvals

~~Following issuance of a Certificate of Construction Compliance, the Applicant may apply for a Building Permit. A Building Permit shall not be issued for any residential structure, nor shall a Certificate of Occupancy be issued for any commercial structure by the Town of Bluffton until a Certificate of Construction Compliance has been issued for the site or phase thereof in which the building is located.~~

~~A. A Temporary Certificate of Construction Compliance may be issued and valid for a maximum of one year if the following conditions are met:~~

- ~~1. Development is substantially complete and the site is in a safe, accessible, and useable condition as determined by the UDO Administrator;~~
- ~~2. Upon providing financial guarantees in accordance with this Article assuring completion of all requirements of the approved Development Plan; and~~
- ~~3. The application must comply with applicable requirements in the Applications Manual.~~

A. Temporary Certificate of Construction Compliance.

1. If improvements and landscaping have not been completed as described herein, an application for a Temporary Certificate of Construction Compliance may be approved by the UDO Administrator for a maximum of one year from date of issuance when the following conditions are met:

- a. Unless otherwise provided in an approved and valid development agreement, the site or phase shall be seventy-five (75%) percent complete as referenced to the monetary value of the improvements, including landscaping. The existing construction cost estimate must be current to within twelve (12) months of the approved construction cost estimate. If the time period is exceeded, the construction cost estimate shall be updated and approved by the UDO Administrator.
- b. The site or phase shall be in safe, accessible, and useable condition as determined by the UDO Administrator.
- c. The Applicant shall provide financial guarantees in accordance with this Article and assure completion of all requirements of the approved Final Development Plan; and,
- d. The application must comply with applicable requirements in the Applications Manual.

2. If a Temporary Certificate of Construction Compliance is approved by the UDO Administrator, an application for a Building Permit can be made. Before a Certificate of Occupancy can be issued, a Final Certificate of Construction Compliance must be approved.

B. Final Certificate of Construction Compliance. When the required improvements, including landscaping, have been completed and a Final Certificate of Construction Compliance approved for the site or phase where the building is located, a Certificate of Occupancy can be issued.

Outdoor Sales and Related Conditional Use Standards

9.4.3.G., Description of Uses of Land and Buildings, Commercial Services, Outdoor Sales

Purpose: To provide a straightforward definition that does not distinguish between temporary and permanent outdoor sales, and to indicate that limited outdoor sales that are independent of a Retail Business are permitted in accordance with the UDO and Town Code, as applicable.

~~**Outdoor Sales:** The temporary sale of goods that are not located within an enclosed building. The display of merchandise on a sidewalk or an exterior private area of a site associated with an otherwise permitted Commercial use that does not meet the limitations of Limited or Seasonal Outdoor Sales, and which may require areas to be designed and dedicated for display when part of the permanent operations of an interior retail business. This also includes uses where the primary business is generated by merchandise displayed permanently outside. The outdoor display and/or sale of goods conducted by a Retail Business, and which may require areas to be designed and dedicated for display as part of the operations of an interior Retail Business, regardless of whether the primary business is generated by merchandise displayed permanently inside. Certain Outdoor Sales may be conducted independent of a Retail Business as provided by this Ordinance and the Town Code, as applicable.~~

4.4.2.A.1. Conditional Use Standards, Commercial Services, Outdoor Sales

Purpose: To remove the limitation that outdoor sales are limited to agricultural goods, seafood and seasonal sales. As proposed, outdoor sales would be permitted as accessory to any Retail business, provided that the goods sold outdoors are similar in nature to goods sold indoors. New conditions are proposed to regulate the size of sales area, location, and hours for accessory sales. Limited outdoor sales that are not accessory would also be permitted subject to approval and any possible conditions required by the UDO Administrator.

- ~~1. The following merchandise can be sold:
 - a. Agricultural goods,
 - b. Seafood, or
 - c. Seasonal Sales, such as Christmas trees or pumpkins.~~
- ~~2. Sales displays shall be arranged to leave at least five (5) feet of clear walkway for pedestrian circulation and shall not adversely impact vehicular access or circulation or unreasonably reducing parking.~~
- ~~3. Displays shall only be permitted during daylight hours.~~
- ~~4. Lighting of merchandise, signage, or any other elements of the outdoor sales area shall not be permitted.~~
- ~~5. No permanent improvements shall be made for the sole purpose of outdoor sales.~~
- ~~6. Tents shall not be used in the Old Town Bluffton Historic District.~~
- ~~7. All merchandise and sales displays shall be located on private property.~~

1. Except as otherwise provided in this UDO and the Town Code, all Outdoor Sales must be conducted in conjunction with the primary Retail Business being conducted on the premises and must comply with the following regulations:
 - a. The merchandise displayed outside shall be of the same type that are lawfully displayed and sold inside the business on the premises;
 - b. The aggregate Outdoor Sales area shall not exceed 25 percent of the heated footprint of the business in which the primary Retail Business is being conducted;
 - c. Items displayed in front of a building in which the primary Retail Business is being conducted shall not project more than ten feet from the front façade of the building and shall be displayed only during the hours that the Retail Business is open for business. The display or storage of liquified petroleum gas (propane) cylinders of not more than 43.5 pounds capacity, which await sale, are exempt from the hours of display limitation;
 - d. No item shall be displayed in a manner that causes a safety hazard; obstructs any ingress or egress to any building; interferes with , or impedes the flow of pedestrian or vehicular traffic; is unsightly or creates any other condition that is detrimental to the appearance of the premises or any surrounding property; or any other manner that is detrimental to the public health, safety or welfare or causes and public nuisance;
 - e. No item, or any portion thereof, shall be displayed on any public property, as defined in Chapter 13 of the Town Code, unless the display is in accordance with a Town-sanctioned short-term special event or other organized activity;
 - f. Lighting of the display or sales area, including signage, is not permitted;
 - g. All architectural and developmental requirements of this Ordinance and the Town Code, including but not limited to required vegetative buffers, parking standards, and impact fees;
 - h. Seasonal sales of holiday-related items, such as Christmas trees, pumpkins, and similar items may be conducted for a period not to exceed 45 calendar days; and,
 - i. Tents shall not be used in the Old Town Bluffton Historic District without a Special Event Permit.
2. The Conditional Use Standards set forth in Section 4.4.2.A.1. shall apply to the below use except that displays may remain in place during non-business hours:
 - a. Plant nurseries that primarily engage in the non-bulk retail sales of trees, shrubs, or plants, to the general public, and may include the accessory sale of garden or landscape accessories, such as mulch, fertilizer, soil, tools, pavers, landscape timbers, and other similar garden or landscape materials as permitted by Table 4.3 of this Ordinance.
3. Certain time-limited Outdoor Sales, as indicated below and as provided by this Ordinance and the Town Code, may be conducted independent of a Retail Business. The UDO Administrator may provide conditional approval to ensure compliance with applicable provisions in Sec. 4.4.2.A.1.
 - a. Sales of holiday-related items, such as Christmas trees, pumpkins, and similar items conducted for a period not to exceed 45 calendar days;
 - b. Seasonal sales of fresh agricultural and/or seafood products directly to the consumer. If located within a structure, the structure shall be temporary and open-air; and,
 - c. Sales related to a short-term special event or other Town-permitted organized activity, such as festivals, carnivals, farmers' markets, and celebrations and commemorations.

Sec. 5.11 Parking

Sec. 5.11.1. Intent

No changes.

Sec. 5.11.2. Parking Space Calculations

Purpose: The amendment is intended to alert the reader that Old Town Bluffton Historic District has its own parking standards and provides a cross-reference to that sub-section (5.15.7). Sub-sections 5.11.4 (Design Standards for Parking Areas and Parking Lots) and 5.11.6 (Bicycle Parking) of this section, however, are applicable to Old Town.

These provisions shall apply to all development and redevelopment in the Town of Bluffton except as otherwise provided for in Old Town Bluffton Historic District, Sec. 5.15.7.

Sec. 5.11.3. Parking Space Calculations

Purpose: 1) To remove the provision that allows parking spaces in public lots within 500 feet of a property to be counted towards the off-street parking requirement as there are no public lots outside of Old Town; and, 2) to remove the provision that allows the UDO Administrator to reduce the amount of required parking by 20% (which can be requested as a variance); 3) to remove the cap on the number of maximum parking spaces; and 4) to reduce the required parking for accessory dwelling units from two spaces to one space.

~~A. Parking calculations may include public parking that is within 500 feet of the property.~~

~~A.-B.~~ Shared parking may allow for a reduction of up to 40 percent based upon the compatibility of uses that have different parking demands and are able to share parking lots/ spaces throughout the day (except for Restaurant Uses). The Applicant shall provide a parking study to justify the number of spaces for shared parking. The Applicant shall provide a shared parking easement that must be approved by the UDO Administrator and be recorded with Beaufort County to allow the shared parking arrangement between property owners/ tenants.

~~B. If an Applicant would like to reduce the number of parking spaces beyond 20 percent or increase the number of parking spaces beyond the maximum in the table below, the Applicant shall provide a parking study for the UDO Administrator's review.~~

~~B.~~ Unless otherwise noted, the following ~~parking space calculations define~~ are the ~~maximum~~ minimum amount of parking ~~spaces allowed~~ required for specific uses:

Table 5.11.3.C Parking Spaces	
Use	Maximum Parking Minimum Parking Spaces
Residential	2 spaces per dwelling unit, <u>1 space per accessory dwelling unit</u> minimum
Lodging	1 space per bedroom for rent plus 2 spaces per 1000 sf of ancillary office use
Office	4 spaces per 1000 sf
Health / Human Care	3.5 spaces per 1000 sf
Commercial Services	4 spaces per 1000 sf
Civic / Institutional	1 space per 1000 sf
Education	1 space per 3 students plus 1 space per instructor
Agricultural / Conservation	1 space per 500 sf of commercial use plus 1 space per employee
Industrial	1 space per each employee at max shift plus 1 space for each company vehicle
Recreation / Entertainment	Number of spaces shown to be necessary and reasonable by data submitted by the Applicant and as approved by the UDO Administrator
Motor Vehicle Sales and Service	4 spaces <u>s</u> per 1000 sf of the showroom and 2 spaces per the service bay

Sec. 5.11.4. Standards: Design Standards for Parking Areas and Parking Lots

Purpose: To reduce the amount of designated parking permitted for compact cars from 25% to 10% and to eliminate golf carts from counting towards required parking. These changes are proposed as the present standards do not satisfactorily provide sufficient off-street parking for cars. The removal of reverse angled parking is also proposed as it is not typical for private lots and may confuse drivers.

A. The following dimensional requirements for parking spaces shall be applicable to all parking areas and parking lots other than single-family detached residential parking on the lots:

1. Diagonal/angled and perpendicular parking spaces and parking space sizes shall conform to the following table of minimum values. ~~Angled parking may be reverse angle as well.~~

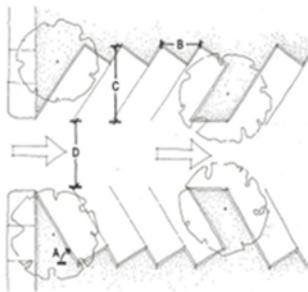


Table 5.11.4.A.1
Parking Space Design Standards

A. Parking Angle (degrees)	B. Curb Length (feet)	C. Stall Depth (feet)	D. Aisle Width	
			One-Way	Two-Way
30°	18'	16'	12'	20'
45°	12'	18'	14'	20'
60°	10'	19'	18'	22'
90°	9'	18'	20'	22' min – 24' max

2. Up to 25% of all Parking Areas may be designated for compact cars and/or golf carts. For any non-residential use that requires at least 25 parking spaces, up to 10% of the parking spaces may be designated for compact car parking. Compact parking spaces shall be grouped, where possible, and designated by signage or pavement marking. Compact parking space dimensions shall be no less than nine (9) feet wide and 15 feet in length. Golf cart parking spaces shall not count towards required parking spaces. If golf cart parking spaces are provided, parking space dimensions shall not be less than six (6) feet wide by 12 feet in length.

3. Parallel parking spaces shall be 8-10 feet in width and 18-26 feet in length.
4. Wheel stops shall be provided in all parking facilities without curbing. The vehicle side of the wheel stop shall be no more than 18 inches from the end of the parking space.
5. Each parking bay shall be separated from other parking bays by a median. All medians shall be at least 12 feet wide.
6. Not more than eight (8) continuous parking spaces shall be allowed in a row of parking without separation by a landscape island. Each landscape island shall be at least 10 feet in width.
7. A landscape island of at least 12 feet in width shall be provided at the ends of each parking bay.

Sec. 5.11.5. Off-Street Loading Requirements

No changes.

Sec. 5.11.6. Standards: Bicycle Parking

No changes.

Article 7, Nonconformities

Purpose: As amendments to only two sections are proposed (Sec. 7.2.2 and Sec. 7.9), the entirety of Article 7 is not provided. The amended sections follow.

Sec. 7.2.2. Illegal Nonconformities

Purpose: To remove the requirement that the UDO Administrator make determinations that nonconformities are illegal and that their continuance will have an adverse impact on public health, safety and welfare. There are no compelling reasons legally to include these requirements, and their inclusion may create obstacles to removing or abating nonconformities.

Illegal nonconformities are those nonconformities that were not properly permitted or legally established at the time of establishment and do not comply with applicable zoning and land development regulations.

~~Illegal nonconformities are hereby declared to be illegal.~~ Illegal nonconformities are subject to removal and termination by the Town in accordance with Article 8 of this Ordinance. ~~upon a determination of such illegality by the UDO Administrator, and a determination by the UDO Administrator that the continuance of an illegal nonconformity will have a material adverse impact on the public health, safety, or welfare.~~

Illegal ~~nonconformities nonconforming uses, structures, sites, and signs~~ shall not be changed, enlarged, expanded, or extended, unless such action is in full conformance with the provisions of this Ordinance.

Sec. 7.9 Non-conforming Sites Resulting from Right-of-Way Dedication or Acquisition

Purpose: The present text initially identifies the possible legal nonconformities (buildings, structures, parking lot and “other site improvements”) that may be improved or expanded with UDO Administrator approval instead of a variance (when applicable), but then restricts the nonconformities to front yard setbacks, parking lot setbacks and “greenbelts,” which is too limiting.

Buildings, structures, ~~and~~ parking lots and other site improvements which lawfully existed prior to the adoption or amendment of this Ordinance, but do not comply with the provisions of this Ordinance ~~regarding front yard setback, parking lot setback, or greenbelt~~ as a result of required additional road right-of-way dedication to or acquisition by the Town, Beaufort County, or the State of South Carolina may be improved or expanded without obtaining a variance from the Board of Zoning Appeals upon a determination by the UDO Administrator that such improvement or expansion is reasonable. In making such a determination, the UDO Administrator shall consider the all of the facts and circumstances regarding the proposed improvement or expansion, including, but not limited to the following:

A.-C. [No changes]

Sec. 9.2, Defined Terms (Family & Household)

Sec. 9.2 Family

Purpose: The term “family” is proposed to be updated to address changes in the law and to protect the Town from claims of discrimination. The term “family” has been included in zoning ordinances as a means to regulate the number of people living within a single dwelling unit. A family may exist through several ways, such as blood, marriage, and adoption but may also exist by how individuals within a home function together (thus, a proposed term for and definition of Single Household Unit).

One to no more than five (5) persons who are related by blood, marriage or adoption and living together as a single household unit ~~in-and occupying~~ a single dwelling unit shall be presumed to constitute a family for the purposes of this Ordinance. The term “family” shall not be construed to mean a fraternity, sorority, club, monastery or convent, or institutional group. There shall be a rebuttable presumption that no family exists if there are more than five (5) persons and any are unrelated by blood, law, adoption, marriage, domestic partnership, or are under a judicial order for foster care living together in the same dwelling unit. This presumption may be rebutted by demonstrating the existence of a Single Household Unit to the UDO Administrator as part of an application for a Written Interpretation pursuant to this Ordinance. Such demonstration may include a lease agreement, utility bills, and affidavits from the occupants. Any appeal of the UDO Administrator’s decision shall be made to the Board of Zoning Appeals in the same manner as any other Written Interpretation.

Sec. 9.2 Single Household Unit (New Term)

Purpose: Supports the definition of “Family” by indicating family functions—the shared responsibilities, activities and interactions that are the basis for a single household unit.

Single Household Unit: One person or two or more individuals living together sharing an entire dwelling until together with household responsibilities and activities that may include: (1) sharing expenses for food, rent, utilities or other household items; (2) sharing household chores; (3) eating meals together; (4) participating in recreation activities together; and (5) having close social, economic, and psychological commitments to each other.

Sec. 9.4, Description of Uses of Land and Buildings

Sec. 9.4.1 Residential Uses

Purpose: 1) To clarify a confusing introductory sentence to the Residential section; 2) To not limit accessory dwelling units to only detached units; and, 3) To eliminate the requirement that attached units, such as duplexes and triplexes, be on individual lots of record.

~~The residential use category is for buildings or portions of buildings are used for a dwelling unit. The residential use category is buildings, structures, or areas, the combination of qualities and features of which are commonly associated with and primarily used for the purpose of residential dwelling.~~ Certain types of residential uses within this category may have building types that have more than one dwelling unit per building. Certain types of residential uses may be more refined within specific zoning districts, where lot or building type standards may produce different typologies.

- A. Accessory Dwelling Unit/~~Dependency Unit: A second dwelling unit in a separate accessory structure on the same lot as the main dwelling, for use as a complete, independent living facility. A separate, complete Dwelling Unit with an exterior entrance, kitchen, sleeping area, and bathroom facilities, which is an attached or detached extension to an existing Dwelling Unit. -~~
- B. Dwelling, Multi-family: A building containing multiple dwelling units, including residential condominiums and apartments.
- C. Dwelling, Single-Family Detached: A one family detached dwelling designed for or occupied by one family.
- D. Dwelling, Single-Family Attached: ~~Two or more dwelling units attached by a common wall or roof, but wherein each unit is located on a separate lot of record. A single Building containing two or more dwelling units that are attached by a common wall or roof, have primary ground floor access to the outside, including but not limited to townhomes, duplexes, triplexes, regardless of whether each unit is located on a separate lot of record.~~
- E. Dwelling Unit: A single unit providing complete independent living facilities for one Family or Household including permanent provisions for living, sleeping, eating, cooking, and sanitation.
- F. Manufactured Home: A structure, transportable in one or more sections, which, in the traveling mode, is eight body feet or more in width or 40 body feet or more in length, or when erected on site, is 320 or more square feet and which is built on a permanent chassis and designed to be used as a dwelling, with or without a permanent foundation, when connected to the required utilities, and all systems, appliances, accessories, and furnishings sold with the home, including, among other things, the plumbing, heating, air conditioning and electrical systems, as defined in S.C. Code 40-29-20(9).
- G. Residential: A building or portion of a building arranged or designed to provide permanent living quarters for a household. The terms "residence" and "dwelling" shall be used interchangeably.