



Historic Preservation Commission Meeting

Wednesday, December 04, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

1. November 6, 2024 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Court Atkins Group, on behalf of April Perez, for a review of a Certificate of Appropriateness - HD to construct a new 2.5-story live/work building of approximately 3,180 SF with business and production facility on the first floor and a 1.5-story residential unit above, and a 2-story carriage house of approximately 1,060 SF, to be located at 1 Blue Crab Street, Lot 27, in the Tabby Roads Development, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD. (COFA-11-23-018694)(Staff-Charlotte Moore)

2. **Certificate of Appropriateness:** A request by Court Atkins Architects, Inc., on behalf of 5812 Guilford Place, LLC, for approval of a Certificate of Appropriateness-HD to construct a new 2-story main building of approximately 2,400 square feet and a connected 2-story carriage house of approximately 1,050 square feet at 5812 Guilford Place, Lot 12, in the Stock Farm Development and with Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD.(COFA-09-24-019336)(Staff-Charlotte Moore)

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, January 8, 2025

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

November 06, 2024

I. CALL TO ORDER

Chairman Goodwin the meeting to order at 6:04 pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin
Vice Chairman Joe DePauw
Commissioner Carletha Frazier
Commissioner Tim Probst

ABSENT

Commissioner Jim Hess
Commissioner Kerri Schmelter
Commissioner Debbie Wunder

III. ADOPTION OF MINUTES

1. October 2, 2024 Minutes

Commissioner Frazier made the motion to adopt the minutes as written.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

VI. NEW BUSINESS

- Certificate of Appropriateness (34 Tabby Shell Road, Lot 18):** A request by Clear Cut Construction, on behalf of the owner, William Glover, for approval of a Certificate of Appropriateness-HD to allow the construction of a new two-story Single Family Residential structure of approximately 2,325 square feet and an attached Carriage House structure of approximately 1,174 square feet in the Tabby Roads Development in the Old Town Bluffton Historic District and within a Neighborhood General - HD zoning district. (COFA-03-24-019047) (Staff – Charlotte Moore)

Staff presented. The applicant was present. The Commission had questions regarding the material used in the wall sections. There was discussion regarding the soffits, header details, and railing details. The proposed materials in the application were questioned in regard to compliance with Unified Development Ordinance (UDO). The commissioners discussed the placement of faux windows and ceiling height in the carriage house.

The applicant requested to table the item. No action was taken.

- 2. Certificate of Appropriateness (43 Thomas Heyward Street):** A request by Raymond Beach, on behalf of the owner, Megan C. Beach, for the review of a Certificate of Appropriateness-HD to allow an existing one-story Carriage House of approximately 756 unenclosed square feet erected without an approved COFA-HD and without an approved building permit, located at 43 Thomas Heyward Street, in the Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD. (COFA-03-24-019047) (Staff – Charlotte Moore)

Staff presented. The applicant was present. The applicant discussed the need for the Carriage House. The Commission discussed the pros and cons of metal carports, in particular, the ability of a prefabricated structure to comply with the UDO, even if altered. Some expressed concern with setting a precedent, especially when other property owners have complied. The Commission also recognized that that a separate text amendment request to allow such structures had been submitted and that the applicant's desire to retain the illegal structure might be addressed through the amendment.

The applicant withdrew the application. No action was taken.

- 3. Adoption of 2025 Historic Preservation Commission Meeting Dates:** (Staff - Charlotte Moore)

Vice Chairman DePauw made a motion to adopt the 2025 Historic Preservation Commission meeting dates.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst

All were in favor and the motion passed.

- 4. Adoption of 2025 Historic Preservation Review Committee Meeting Dates:** (Staff - Charlotte Moore)

Vice Chairman DePauw made a motion to adopt the 2025 Historic Preservation Review Committee meeting dates.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst

All were in favor and the motion passed.

VII. DISCUSSION

- 1. Workshop:** Discussion Regarding Metal Canopies/Carports in Old Town Bluffton Historic District Relating to Upcoming Text Amendment Initiated by an Old Town Bluffton Property Owner (Staff - Charlotte Moore)

Staff discussed the request to allow carports in the Old Town Bluffton Historic District and what the process would be for an amendment to the Unified Development Ordinance (UDO). The Commission discussed the history of carport style elements in the Historic District, and had reservations regarding the use of pre-fabricated carport structures as they would not meet the requirements of the UDO. There was discussion regarding what restrictions should

be in place in regards to size and materials used for carports. The commissioners went over the possibility of adding a section that differentiates Carriage Houses and carports.

Charlie Wetmore, 48 Lawrence St, Bluffton - Mr. Wetmore spoke about what the Planning Commission discussed in their workshop and why the Planning Commission wanted input from the Historic Preservation Commission.

This was a workshop and no action was taken.

2. Historic District Monthly Update. (Staff - Charlotte Moore)

Staff reviewed the monthly report. The Commissioners had no questions.

VIII. ADJOURNMENT

Commissioner Frazier made the motion to adjourn.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst

All were in favor and the motion passed. The meeting adjourned at 7:45 pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT
Department of Growth Management

MEETING DATE:	December 4, 2024
PROJECT:	COFA-11-23-018694 1 Blue Crab Street, Lot 27 Perez Live-Work Building & Carriage House (New Construction)
APPLICANT:	Jacob Woods (Court Atkins Group)
PROPERTY OWNER:	April Perez
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant requests that the Historic Preservation Commission (HPC) approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new 2.5 story live/work building of approximately 3,180 SF with a commercial business on the first floor and a 1.5-story residential unit above, and a 2-story Carriage House, to be constructed at 1 Blue Crab Street, Lot 27, in the Tabby Roads Development within Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD (NG-HD). See Attachments 1 and 2 for application and location/zoning map.

INTRODUCTION: The 2.5-story main building will include a storefront manufacturing use of 1,500 SF, a second-floor residence of 1,342 SF, and a “bonus floor” of 338 SF that will be both living and attic space accessed from the residence. A 92 SF enclosed second floor connector from the main residence to a “mother-in-law” suite is proposed. The suite will be 423 SF of the 823 SF Carriage House. There is an inconsistency with the bonus floor square footage as the “attic space,” was not included; the total bonus floor is approximately 750 square feet.

The commercial space will house Palmetto Pops and include a small production facility and a “pick-up area.” On-site consumption of food is not permitted.

The primary structure features a front-facing gable roof and a nearly full façade 2-story side porch under a shed roof. A rear yard Carriage House is attached to the main building by a 2-story connector with an enclosed second floor; direct access between the main second floor residence and the “mother-in-law” suite would be possible via the connector. Access to the Carriage House residence would also be possible via an external stairwell.

Public entry into the commercial space will be provided via the Bruin Road (north) and Wild Spartina Street (west) elevations. Private access to the kitchen will be provided via the Wild Spartina elevation. Access to the second-story residential units in both the main and carriage houses will be from Blue Crab Street (south).

Materials on the main structure include Hardie plank lap siding with 7” exposure and Hardie board and batten panels underneath the front and rear gables, a combination of asphalt shingle and standing seam metal roofs, and a Tabby Stucco foundation. The Carriage House has similar details including a gabled primary mass with a shed dormer and Hardie board and batten siding. Smooth Hardie panel will be used for the connector. Architectural details are provided in Attachment 4.

Two and one-half parking spaces are required for the main and accessory residences, and three (3) are required for the commercial space. On-street spaces adjacent to the subject property, of which there are four (4), may be used to meet the requirement for the commercial portion. Town Staff is awaiting verification to determine if an American with Disabilities Act (ADA) compliant space will be required.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the May 20, 2024 meeting. HPRC comments are provided as Attachment 3.

The Tabby Roads Habitat Architectural Review Board (HARB) provided a letter of approval with conditions dated October 3, 2024 (Attachment 6).

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. **Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.**
 - a. *Finding.* The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The addition of new structures that comply with the Unified Development Ordinance allow for a more complete built environment within Old Town Bluffton Historic District.

2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that if the conditions noted below are met or otherwise approved by the HPC, the proposed live-work building and Carriage House will be in conformance with applicable provisions provided in Article 5:

1) Parking:

a) If an ADA compliant parking space is required, the parking area must be reconfigured accordingly and associated elements, such as landscaping, parking surface material and building access, revised.

b) Recommendation: It is recommended that the parking area “keyhole” adjacent to the tabby walkway and connector stairwell be identified as a “No Parking” area to avoid blocking access to the main building and to allow vehicles to maneuver to exit the property.

2) Landscaping (See Attachment 5):

a) Per the Applications Manual, a Town of Bluffton Tree Removal Permit will be required.

b) Section 5.3.3.G. Replacement of Removed Protected Trees. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for site less than one (1) acre. The canopy can include the mature canopy of any existing trees to be saved, as well as the mature canopy of proposed replacement trees. The mature canopy percentage must be provided.

3) Building Square Footage:

a) Correct square footages shown for the “bonus floor” in the main building (attic space not included) and the Carriage House total square footage. Revise total areas accordingly and update the plan set and the COFA-HD application with final submission.

4) Windows and Doors:

a) Per UDO Sec. 5.15.6.L.1., “[e]ach floor of any building facing a park, square or street shall contain transparent windows covering 20% to

70% of the wall area.” While the percentage is met, the plans indicate that “one-way film” and “translucent film” will be used on three ground floor windows on the West (Wild Spartina) elevation to prevent visibility into the food preparation area. These windows must be transparent and, as an alternative, internal coverings, such as window shades or window blinds, can be used.

b) The Tabby Roads HARB will allow only one door for the west elevation of the main structure, which may not be possible if two are required in accordance with the Building Code. If a door must be eliminated, it should be replaced with a window of the same type used on the same ground elevation.

c) Provide window and door tables.

5) **Signs:** As commercial use is proposed, future signage must be approved through the Site Feature-HD permit process.

3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

Finding. The proposed structures are visually compatible with surrounding buildings, possessing similar characteristics, including such as mass, scale, and height.

4. **Compliance with applicable requirements in the Applications Manual.**

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2.

1. If an ADA compliant parking space is required, the parking area must be reconfigured accordingly and associated elements, such as landscaping, parking surface material and building access, revised.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit will be required.

3. Per UDO Sec. 5.3.3.G., a minimum tree canopy coverage of 75% is required and must be shown on a revised Landscape Plan.
4. Revise incorrect square footages (main house bonus floor, carriage house total, main building total) on the plan set and the COFA-HD application.
5. Per UDO Sec. 5.15.6.L.1., windows facing a street must be transparent, which precludes the use of translucent and one-way film to block visibility into the building from the street.
6. If a ground floor door must be removed on the west elevation and is not required by the building code, it shall be replaced with a window that matches the windows on the same elevation.
7. Provide window and door tables.
8. Per Section 3.19 of the UDO, a Site Feature-HD is required for future signage.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative
3. HPRC Comments (05.20.2024)
4. Architectural Drawings
5. Landscape Plans
6. Tabby Roads HARB Letter



**TOWN OF BLUFFTON
 CERTIFICATE OF APPROPRIATENESS-
 OLD TOWN BLUFFTON
 HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custom

Section VII. Item #1.

20 Bridge Street
 Bluffton, SC 29910
 (843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name:COURT ATKINS GROUP		Name:APRIL PEREZ	
Phone:843-815-2557		Phone:843-290-7060	
Mailing Address:P.O. BOX 3978 BLUFFTON, SC		Mailing Address:2 PINE FOREST DRIVE BLUFFTON, SC	
E-mail:JACOB.WOODS@COURTATKINS.COM		E-mail:APRIL@PALMETTOPOPSHHI.COM	
Town Business License # (if applicable):LIC-04-19-028962			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name:PEREZ MIXED-USE BUIDLING		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 1 BLUE CRAB ST.		Amendment: <input type="checkbox"/>	
Zoning District:NEIGHBORHOOD GENERAL-HD		Application for:	
Acreage:0.16 ACRES		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s):R610 039 000 1208 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description:A 2.5 STORY LIVE/WORK BUILDING WITH A BUSINESS & PRODUCTION FACILITY ON THE GROUND FLOOR, AND A 1.5 STORY RESIDENTIAL UNIT			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>April Perez</i>		Date: 11/06/2024	
Applicant Signature: <i>Jacob Woods</i>		Date: 11/06/2024	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 1
TOWN OF BLUFFTON

Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input checked="" type="checkbox"/>
2. SITE DATA			
Identification of Proposed Building Type (as defined in Article 5): LIVE-WORK SIDEYARD			
Building Setbacks	Front:15'	Rear:5'	Rt. Side:11.5' Lt. Side:7.5'
3. BUILDING DATA			
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage
Main Structure	MIXED USE SPACE		3,180 SF
Ancillary	CARRIAGE HOUSE		823 SF
Ancillary	CONNECTOR		184 SF
4. SITE COVERAGE			
Impervious Coverage		Coverage (SF)	
Building Footprint(s)		1900 SF	
Impervious Drive, Walks & Paths		778 SF	
Open/Covered Patios		313 SF	
A. TOTAL IMPERVIOUS COVERAGE		2,991 SF	
B. TOTAL SF OF LOT		6,766 SF	
% COVERAGE OF LOT (A/B= %)		44.2%	
5. BUILDING MATERIALS			
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation
Foundation	TABBY STUCCO	Columns	CEMENTITIOUS
Walls	CEMENTITIOUS	Windows	ALUM CLAD
Roof	ASPHALT SHNGL. / SS	Doors	ALUM CLAD
Chimney	N/A	Shutters	N/A
Trim	CEMENTITIOUS	Skirting/Underpinning	N/A
Water table	KDAT WD TRIM	Cornice, Soffit, Frieze	TBD
Corner board	CEMENTITIOUS	Gutters	N/A
Railings	KDAT WD	Garage Doors	STEEL
Balusters	KDAT WD	Green/Recycled Materials	
Handrails	KDAT WD		



ATTACHMENT 1
TOWN OF BLUFFTON

Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 1
TOWN OF BLUFFTON

Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent *April Perez*

11/06/2024
Date

April Perez

Printed Name of Property Owner or Authorized Agent

Signature of Applicant *Jacob Woods*

11/06/2024
Date

JACOB WOODS
Printed Name of Applicant

November 06, 2024

Project: Alair Homes Office (5812 Guilford Place)

Subject: Project Narrative Final HPC Submittal

Enclosed are the Architectural and Landscape drawings of the Alair Homes Office for Final HPC Review.

Project Description

The Alair Homes Office is a proposed 2 Story Building with a connected 2 Story Carriage House in the Neighborhood General Historic District in Bluffton, located in the Stock Farm development.

Existing Conditions

Currently, 5812 Guilford Place is an empty lot with trees and foliage. There is a 2 Story building to the East and an empty lot to the West, with residential construction on the other side of Guilford Place.

Proposed Building Construction

The proposed architectural program for the project is a 2 story main structure with a 1170 SF tenant space on the first floor and the 1250 SF Alair Homes office on the second floor. The adjacent connected carriage house has a 525 SF tenant space on each floor. The expected occupancy for each space is Business. There are two exterior stairs, one off of May River Road and the other between the structures.

There are two tabby parapet walls, similar in character to the adjacent Hair and So On Salon. Trellises wrap the two-story entry porch off of May River Road, allowing plants to climb the building.

The architectural massing of the building includes simple roof forms with standing seam and asphalt shingle roofing. The exterior materials for the building will be cementitious fiber siding (horizontal and vertical). The porch railing will be metal.

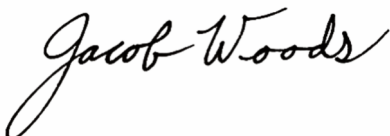
Changes from Concept HPC Meeting

Following the 10/7 meeting, it was determined that the main changes would be dropping the carriage house bearing, lowering the band board there and reworking the central connecting stair.

We have lowered the bearing of the carriage house 2', reducing its scale in comparison to the main structure and dropped the band board accordingly. In the connector, we have adjusted the stair to protrude out of the enclosure and have screened the stair internally from the adjacent storage / service yard space. Additionally, we have provided multiple details, including the profile of the aluminum guardrail, and have provided dimensions of the front balcony.

Please reach out if there are any questions about the submittal.

Regards,

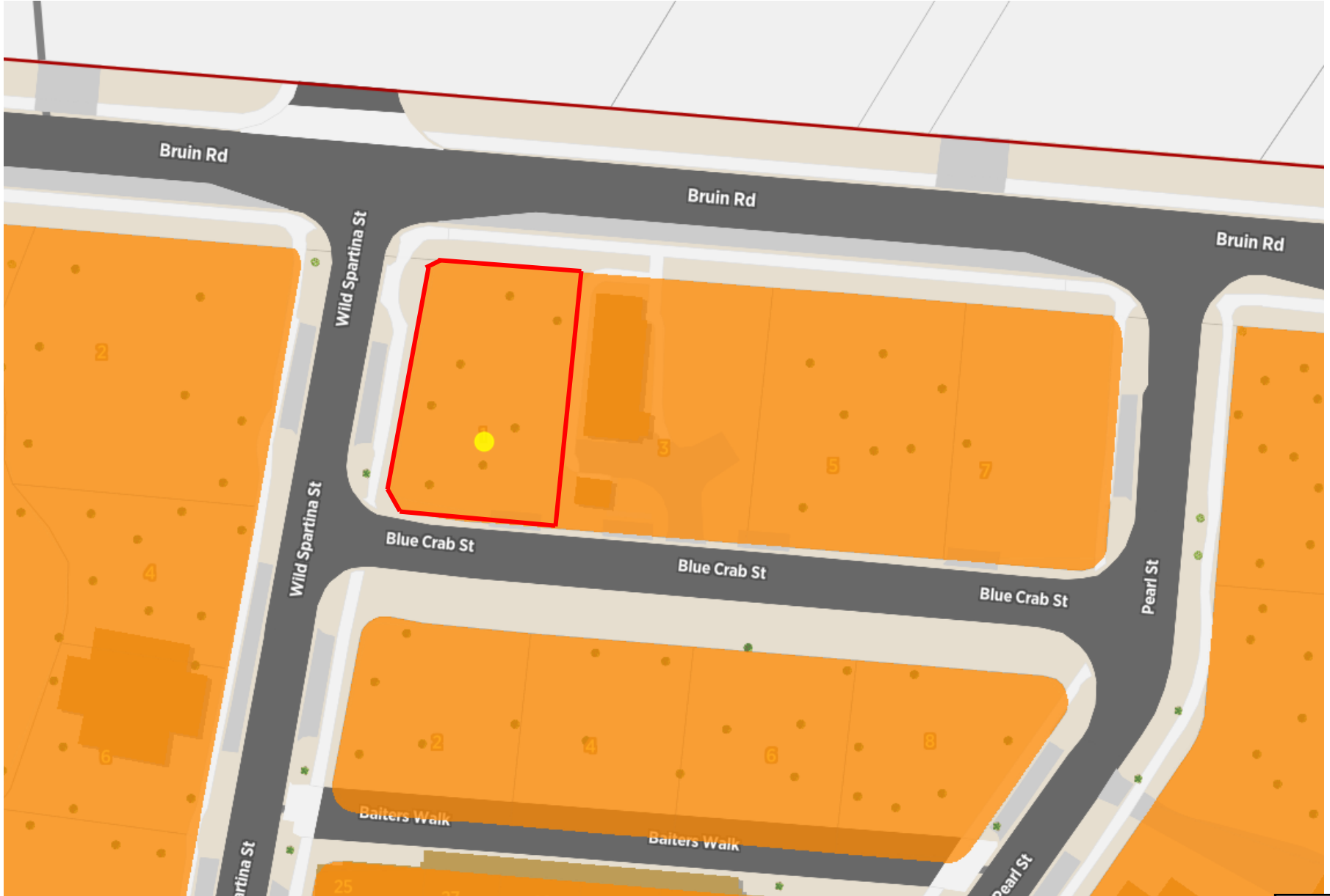


Jacob Woods, Project Designer

LOCATION & ZONING MAP

1 Blue Crab Street

Neighborhood General-HD District





**ATTACHMENT 3
PLAN REVIEW COMMENTS FOR COFA-11-23-018694**

Section VII. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 11/28/2023
Plan Status: Active **Plan Address:** 1 Blue Crab Street
 BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1208 0000
Plan Description: A request by Court Atkins Group, on behalf of the owner, April Perez, for a review of a Certificate of Appropriateness - HD to construct a new 2.5 story live/work building of approximately 3,180 SF with business and production facility on the first floor and a 1 1/2 story residential unit above and a 2-story Carriage House of approximately 1,060 SF, to be located at 1 Blue Crab Street, Lot 27 in the Tabby Roads Development, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD zoning District.
Status: Application is on HOLD. See attached email.
STATUS 5.10.2024: Hold has been removed and application has been placed on the May 20, 2024 HPRC Agenda.

Staff Review (HD)

Submission #: 2 Received: 05/09/2024 Completed: 05/17/2024

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Building Safety Review	05/17/2024	Marcus Noe	Revisions Required

Comments:

- Live/work units are classified as R-2 Structures and shall be built from the International Building Code, 2021 edition, and shall be considered a commercial structure with a dwelling unit.
- Guardrails shall be 42 inches in height per IBC section 1015.3, except when the guardrails are inside the dwelling unit, then they can be at 36-inches per exceptions. Screening is not considered adequate guardrails (the screened in balcony) guardrails are still required here.
- Handrails are required on both sides of each stair per IBC section 1011.11. If the stairs are in the dwelling unit and only have three risers they do not require handrails per exceptions. Handrails shall be provided with extensions per IBC section 1014.6
- Stair treads shall be 11-inches minimum and the risers shall be between 4 and 7 inches in height and all be uniform in shape and size.
- The window in the uppermost bedroom shall provide 5.7 square feet of clear opening for an emergency egress window per IBC section 1031.2.

Beaufort Jasper Water and Sewer Review	05/13/2024	Matthew Michaels	Approved with Conditions
--	------------	------------------	--------------------------

Comments:

- Pending submittal of the project by the EOR to BJWSA's DRT in accordance with the DPPM.

Growth Management Dept Review (HD)	05/17/2024	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

1. Parking area design as shown will not function. Redesign the parking area to remove conflict in movement between all spaces and consider reconfiguration of the Carriage House spaces as the radius provided will prove challenging with the bays.
2. The perimeter of off-street parking not adjacent to a public right-of-way shall include a landscape buffer a minimum of 5 feet in width, be a minimum of 42 inches in height, and contain vegetative material to visually screen the parking area from adjacent properties. (UDO 5.15.7.D.)
3. As the site is within the Tabby Roads Development, at time of final, provide an approval letter from the Tabby Roads HARB.
4. Address is 1 Blue Crab. for final submittal, insure all application, narrative, and plan materials reflect the accurate address.
5. At time of final submittal, all materials currently indicated as TDB must be included with the submittal. Insure materials match between drawings and application/narrative.

HPRC Review

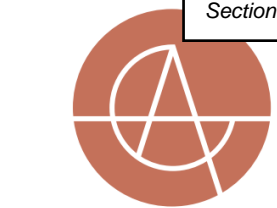
05/17/2024

Katie Peterson

Approved with Conditions

Comments:

1. At time of final submittal, provide details for shutter and shutter dog, water table, corner board, window and door tables, railings and balusters, section through the wall and eave showing the materials and configurations, and show second floor porch railings/guardrails on elevations. Further, provide a landscape plan showing foundation plantings, buffering at the parking area, street trees, and canopy coverage. (Applications Manual)
2. Provide clarification for ADA pathway/ramp.
3. Consider configuration between the commercial and residential space. Currently, the only direct path to the service yard/trash cans goes through the residential space.
4. The hardie panels on the carriage house dormer, on the south elevation, seem a bit out of place. Is this intended to be the location of a potential sign?
5. At the front and rear gable ends, the transition between siding and board & batten is lower than the top of the wall under the eave, resulting in the change of material at an exterior corner from the front and side elevations. Revise the height of the transition so there is not a change of material around the corner or restudy the transition to carry the board & batten around the corner to the side elevations. (UDO 5.15.6.N.)
6. Buildings shall incorporate interruptions and variety into the wall plane to create interest and variety in the streetscape while still maintaining a consistent architectural style and connection to its surroundings. At the south elevation of the carriage house, the panel and sticking application is foreign to the project and has uncomfortable proportions in relationship to the adjacent board and batten siding. Provide an exterior material application more in keeping with the architectural style of the remainder of the design. (UDO 5.15.5.F.3.)
7. Recommendation: At the south carriage house dormer, the dormer roof is a minimal projection from the primary roof and feels uncomfortable. Consider raising the pitch of the dormer roof to meet the ridge of the primary roof.
8. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. The mix of windows and doors across both floors of the screen porch feels mismatched with smaller windows below and doors, windows and empty bays mixed throughout. Revise to provide better proportional relationship with the overall form.
 - Consider making the first floor windows taller for hierarchy with the second floor.
 - Consider matching the full lite door to the other three paneled doors.
9. The windows in front of the kitchen prep table and freezer appear to be spandrel glass in plan. Clarify the condition for final review.



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FINAL HPC SUBMITTAL

PEREZ MIXED-USE BUILDING

1 BLUE CRAB STREET
BLUFFTON, SOUTH CAROLINA 29910

SHEET INDEX:

SHT. #	SHEET NAME	DESIGN DEVELOPMENT				
		09.29.2023 SCHEMATIC DESIGN	10.27.2023 DESIGN DEVELOPMENT	11.27.2023 HARB / HPC SUBMITTAL	09.06.2024 FINAL HARB SUBMITTAL	11.06.2024 FINAL HPC SUBMITTAL
A0.0	COVER	X	X	X	X	X
A0.1	GENERAL NOTES AND CODE SUMMARY	X	X			
A0.2	ABBREVIATIONS, SYMBOLS & ACCESS. DIAGS. (ANSI)	X	X			
A0.3	LIFE SAFETY PLANS		X			
A0.4	LIFE SAFETY PLAN		X			
A1.0	ARCHITECTURAL SITE PLAN	X	X	X	X	X
A2.0	FIRST FLOOR PLAN	X	X	X	X	X
A2.1	SECOND FLOOR PLAN	X	X	X	X	X
A2.2	BONUS FLOOR PLAN	X	X	X	X	X
A2.3	ROOF PLAN	X	X	X	X	X
A3.0	EXTERIOR ELEVATIONS	X	X	X	X	X
A3.1	EXTERIOR ELEVATIONS	X	X	X	X	X
A3.2	EXTERIOR ELEVATIONS	X	X	X	X	X
A3.3	EXTERIOR ELEVATIONS	X	X	X	X	X
A4.2	BUILDING SECTIONS		X	X	X	X
A5.0	DETAILS		X	X	X	X
A5.1	DETAILS			X	X	X
A7.0	VERTICAL CIRCULATION		X			
A7.1	VERTICAL CIRCULATION		X			
A8.0	FIRST FLOOR RCP		X			
A8.1	SECOND FLOOR RCP		X			
A8.2	BONUS FLOOR RCP		X			
A9.4	PERSPECTIVES	X	X	X	X	X
S001	STRCTURAL NOTES					
S002	STRCTURAL NOTES					
S003	STRCTURAL NOTES					
S101	FOUNDATION PLAN					
S102	1ST FLOOR FRAMING PLAN					
S103	CEILING FRAMING PLAN					
S104	ROOF FRAMING PLAN					
S301	BUILDING SECTION					
S511	TYPICAL FOUNDATION DETAILS					
S512	TYPICAL FOUNDATION DETAILS					
S513	TYPICAL WOOD WALL DETAILS					
S514	TYPICAL WOOD FLOOR DETAILS					
S523	TYPICAL WOOD ROOF DETAILS					
-	SURVEY	X	X	X	X	X

PROJECT INFORMATION:

NAME OF PROJECT: PEREZ MIXED-USE BUILDING
 ADDRESS: 1 BLUE CRAB STREET
 BLUFFTON, SOUTH CAROLINA
 BUSINESS (B) & RESIDENTIAL (R-2)
 OWNER CONTACT: APRIL PEREZ
 CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON
 INTERNATIONAL BUILDING CODE (IBC): 2021
 INTERNATIONAL MECHANICAL CODE: 2021
 INTERNATIONAL PLUMBING CODE: 2021
 THE NATIONAL ELECTRICAL CODE: 2020
 INTERNATIONAL FUEL GAS CODE: 2021
 INTERNATIONAL FIRE CODE: 2021
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009
 ICC/ANSI A117.1: 2017

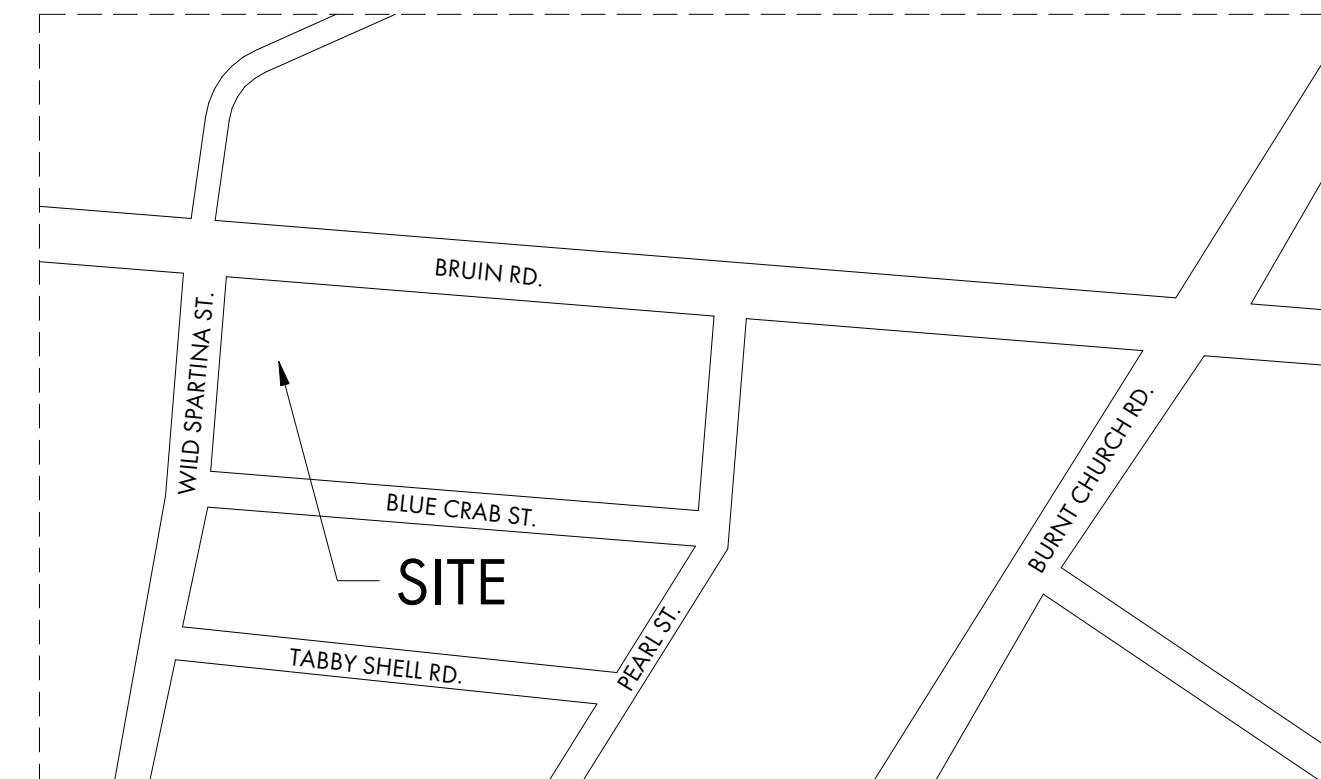
DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	RYAN YOCCO	SC #26988	(843) 384-4731
PLUMBING/FIRE PROTECTION	BILL QUANTE	SC #27271	(912) 356-9035
MECHANICAL	BILL QUANTE	SC #27271	(912) 356-9035
STRUCTURAL	ANDY RICHARDSON	SC #22824	(843) 441-9828
CIVIL	CONOR BLANEY	SC #36273	(843) 837-5250
LAND PLANNING/ LANDSCAPE	DAN KEEFER	SC #837	(843) 757-7411

PROJECT TEAM:

OWNER CONTACT APRIL PEREZ 2 PINES FOREST DRIVE BLUFFTON, SC 29910 (843) 290-7060 PH	ARCHITECT COURT ATKINS ARCHITECTS, INC. 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX
STRUCTURAL ENGINEER ANDY RICHARDSON 2965 1011 BAY ST., SUITE 306 BEAUFORT, SC 29902 (843) 441-9828 PH	GENERAL CONTRACTOR T.B.D.
MECHANICAL PLUMBING & FIRE PROTECTION BILL QUANTE ISLANDS ENGINEERING, P.C. 110 HOLCOMB STREET SAVANNAH, GEORGIA 31406 (912) 356-9035 PH	LANDSCAPE ARCHITECT WITMER-JONES-KEEFER, LTD. 23 PROMENADE STREET, SUITE 201 BLUFFTON, SC 29910 (843) 757-7411 PH
ELECTRICAL ENGINEER RYAN YOCCO CDDC, LLC P.O. BOX 2869 BLUFFTON, SC 29910 (843) 384-4731	CIVIL ENGINEER WARD EDWARDS ENGINEERING 119 PALMETTO WAY, SUITE C BLUFFTON, SC 29910 (843) 837-5250 PH (843) 837-2558 FAX
INTERIOR DESIGNER N/A	

VICINITY MAP - N.T.S.



GENERAL NOTES:

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

BUSINESS (B) & RESIDENTIAL (R-2) OCCUPANCIES

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY; REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

PEREZ MIXED-USE BUILDING

1 BLUE CRAB STREET
BLUFFTON, SOUTH
CAROLINA 29910

NOT FOR CONSTRUCTION

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PROJECT INFO

Date: 11.06.2024
 Project No.: 23-066

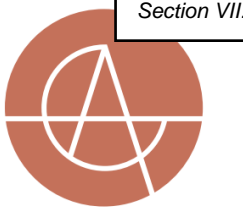
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

COVER

A0.0



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23-066

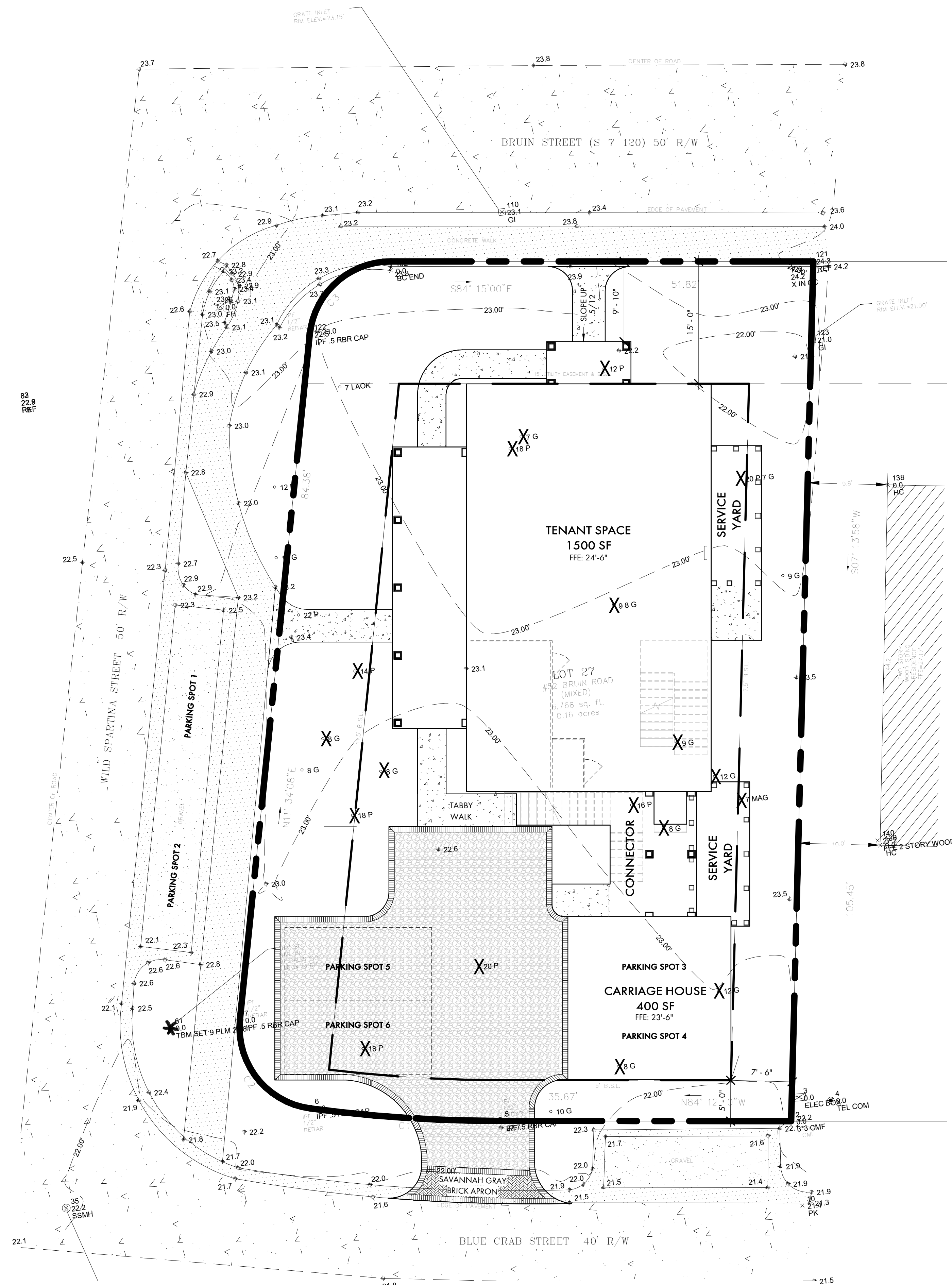
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

ARCHITECTURAL SITE PLAN

A1.0



PARKING CALCULATION:

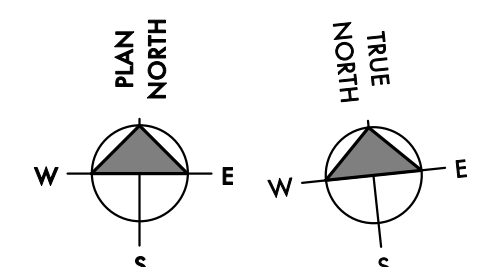
RESIDENTIAL: 1.5 SPOTS
CARRIAGE HOUSE: 1 SPOT
BUSINESS: 1500 SF / 2 SPOT PER 1000 SF = 3 SPOTS
TOTAL SPOTS REQUIRED: 5.5 SPOTS

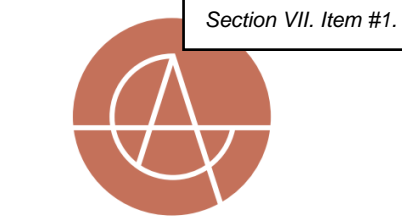
ST. PARKING ALLOCATED: 2.4 SPOTS
ON-SITE PARKING REQ.: 5.5 SPOTS - 2.4 SPOTS = 3.1 SPOTS
3 ADDITIONAL SPOTS REQUIRED ON SITE

ON-SITE PARK. PROVIDED: 4 SPOTS

TOTAL SPOTS PROVIDED: 6 SPOTS

1 SITE PLAN
A1.0 1/8" = 1'-0"





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PROJECT INFO

Date
11.06.2024

Project No.
23-066

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

A2.0

AREAS:

MAIN HOUSE
FIRST FLOOR: 1,500 SF
SECOND FLOOR: 1,342 SF
BONUS FLOOR: 338 SF
MAIN HOUSE TOTAL: 3,180 SF

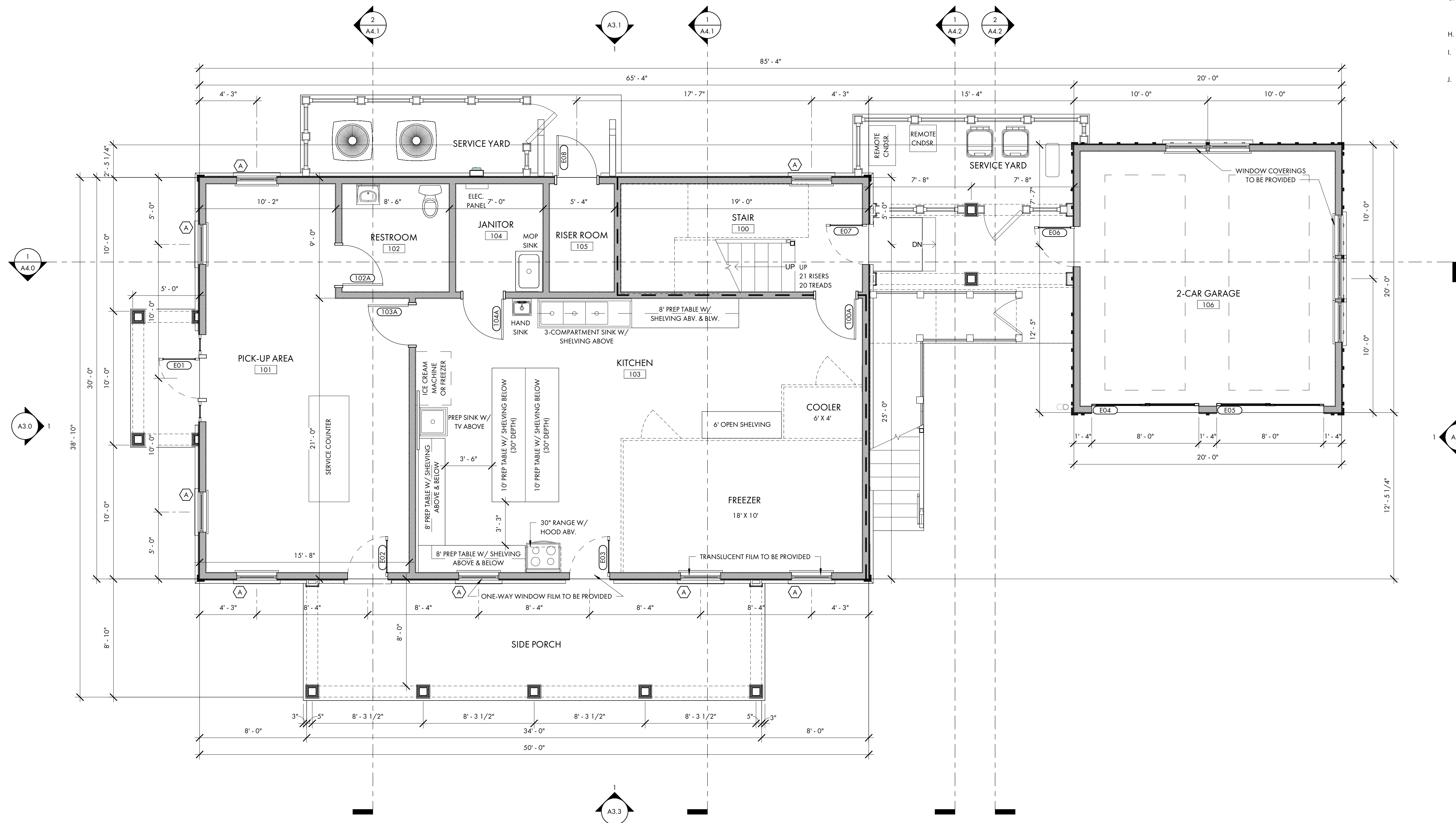
CARRIAGE HOUSE
GARAGE: 400 SF
IN-LAW SUITE: 423 SF
CARRIAGE HOUSE TOTAL: 915 SF

ANCILLARY
1F COVERED CONNECTOR: 92 SF
2F CONNECTOR: 92 SF
SCREENED STAIR ENCLOSURE: 76 SF

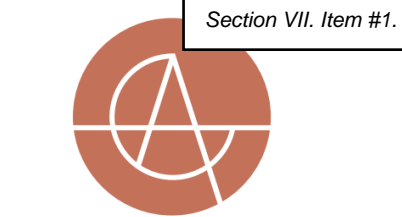
TOTAL AREA (HEATED & COOLED): 3,695 SF
TOTAL AREA (COVERED & ENCLOSED): 568 SF
TOTAL AREA (OVERALL): 4,263 SF

GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- E. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- F. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- G. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'A'
- I. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.
- J. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.



1
A2.0
FIRST FLOOR PLAN
1/4" = 1'-0"
PLAN NORTH
TRUE NORTH



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PEREZ MIXED-USE BUILDING

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PROJECT INFO

Date
11.06.2024

Project No.
23-066

ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

SECOND FLOOR PLAN

A2.1

AREAS:

MAIN HOUSE
FIRST FLOOR: 1,500 SF
SECOND FLOOR: 1,342 SF
BONUS FLOOR: 338 SF
MAIN HOUSE TOTAL: 3,180 SF

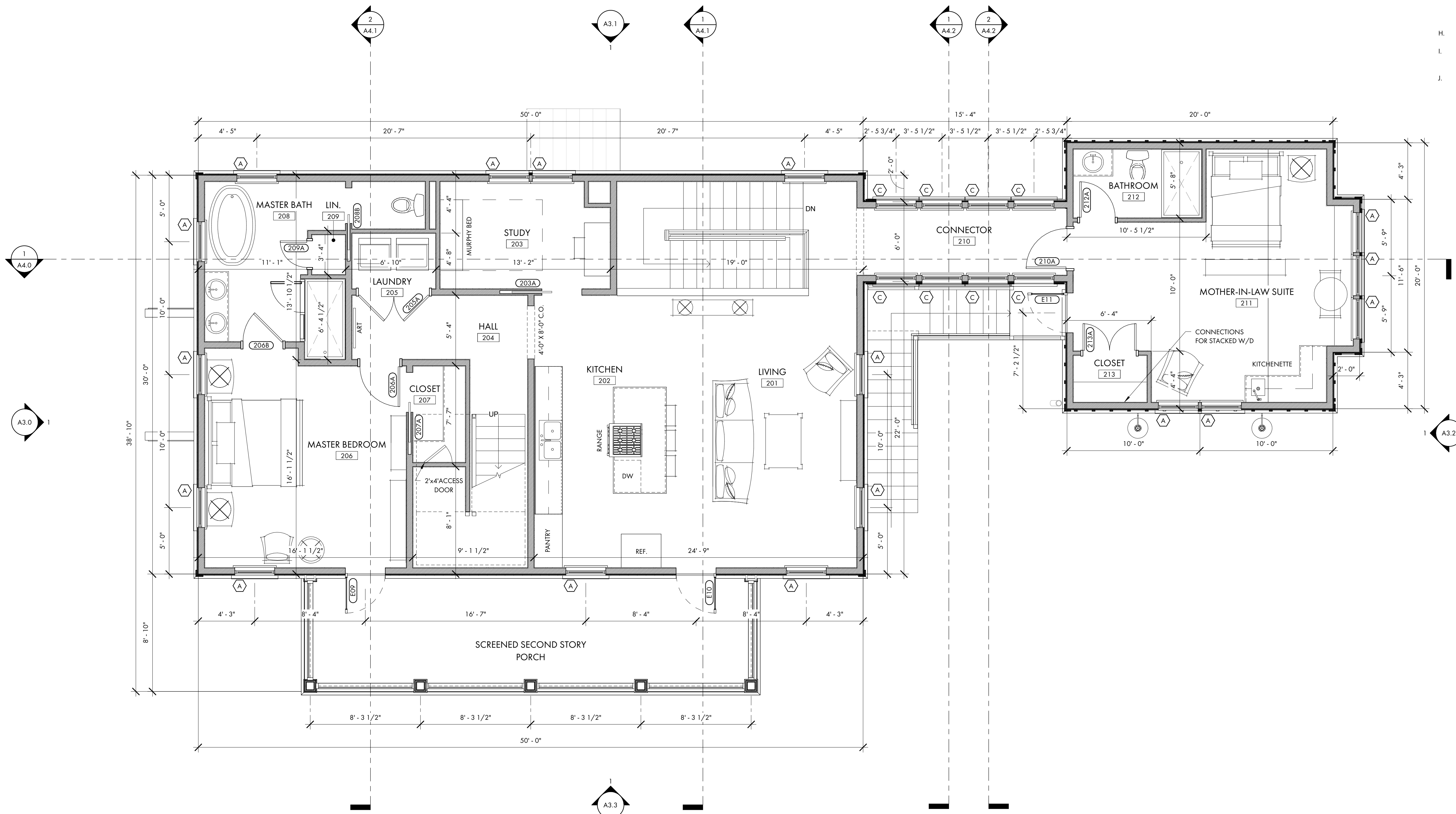
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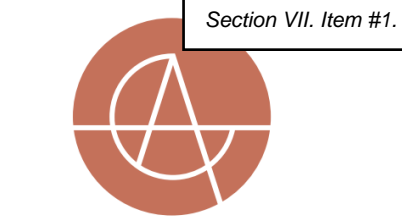
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- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- E. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- F. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- G. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'A'
- I. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.
- J. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.



1 SECOND FLOOR PLAN
A2.1
1/4" = 1'-0"
PLAN NORTH
TRUE NORTH



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AREAS:

MAIN HOUSE
FIRST FLOOR: 1,500 SF
SECOND FLOOR: 1,342 SF
BONUS FLOOR: 338 SF
MAIN HOUSE TOTAL: 3,180 SF

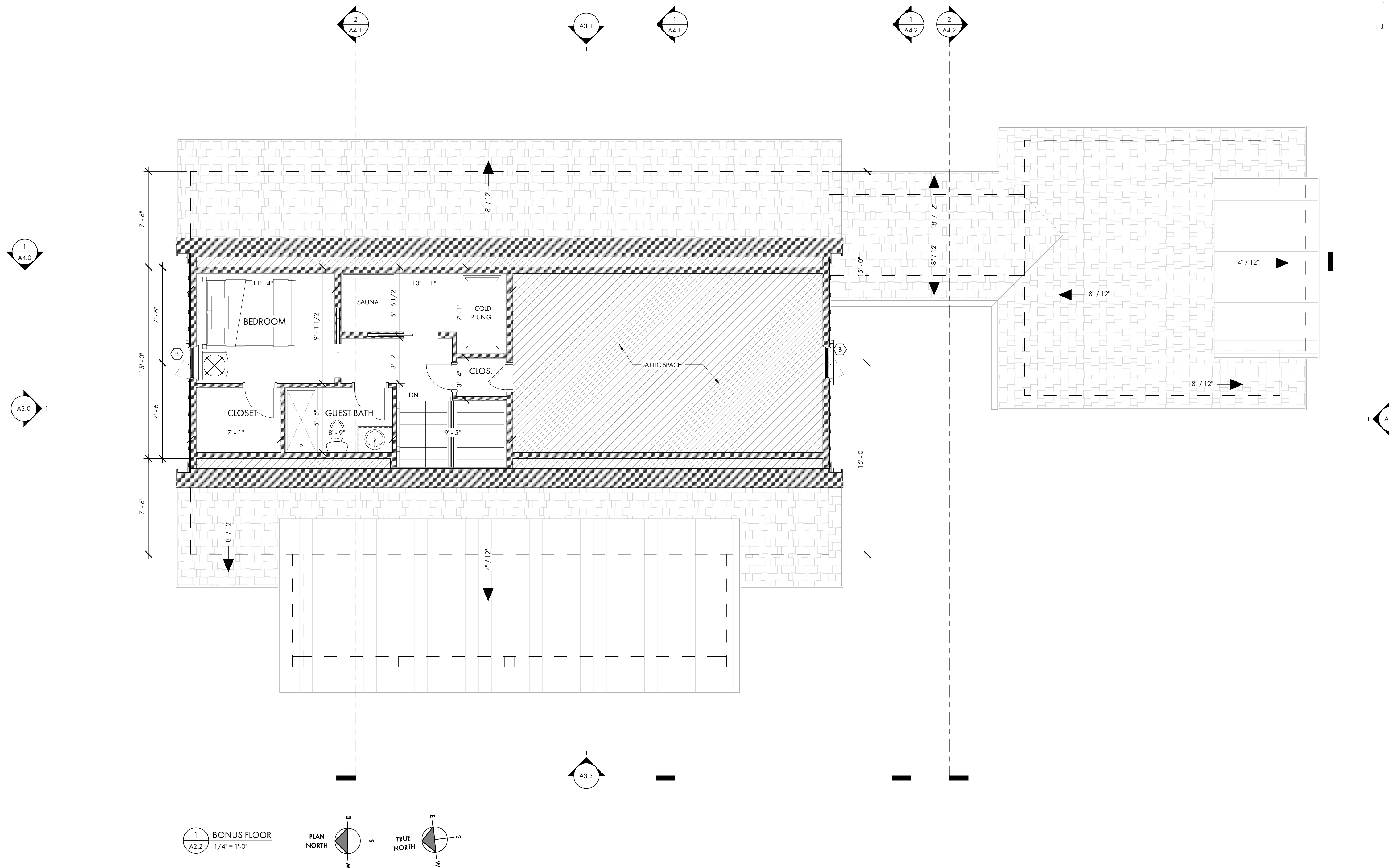
CARRIAGE HOUSE
GARAGE: 400 SF
IN-LAW SUITE: 423 SF
CARRIAGE HOUSE TOTAL: 915 SF

ANCILLARY
1F COVERED CONNECTOR: 92 SF
2F CONNECTOR: 92 SF
SCREENED STAIR ENCLOSURE: 76 SF

TOTAL AREA (HEATED & COOLED): 3,695 SF
TOTAL AREA (COVERED & ENCLOSED): 568 SF
TOTAL AREA (OVERALL): 4,263 SF

GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- E. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
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- J. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.



PEREZ MIXED-USE BUILDING
 1 BLUE CRAB STREET
 BLUFFTON, SOUTH
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Project No.: 23-066

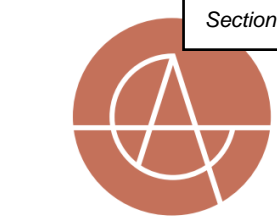
ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

BONUS FLOOR PLAN

A2.2



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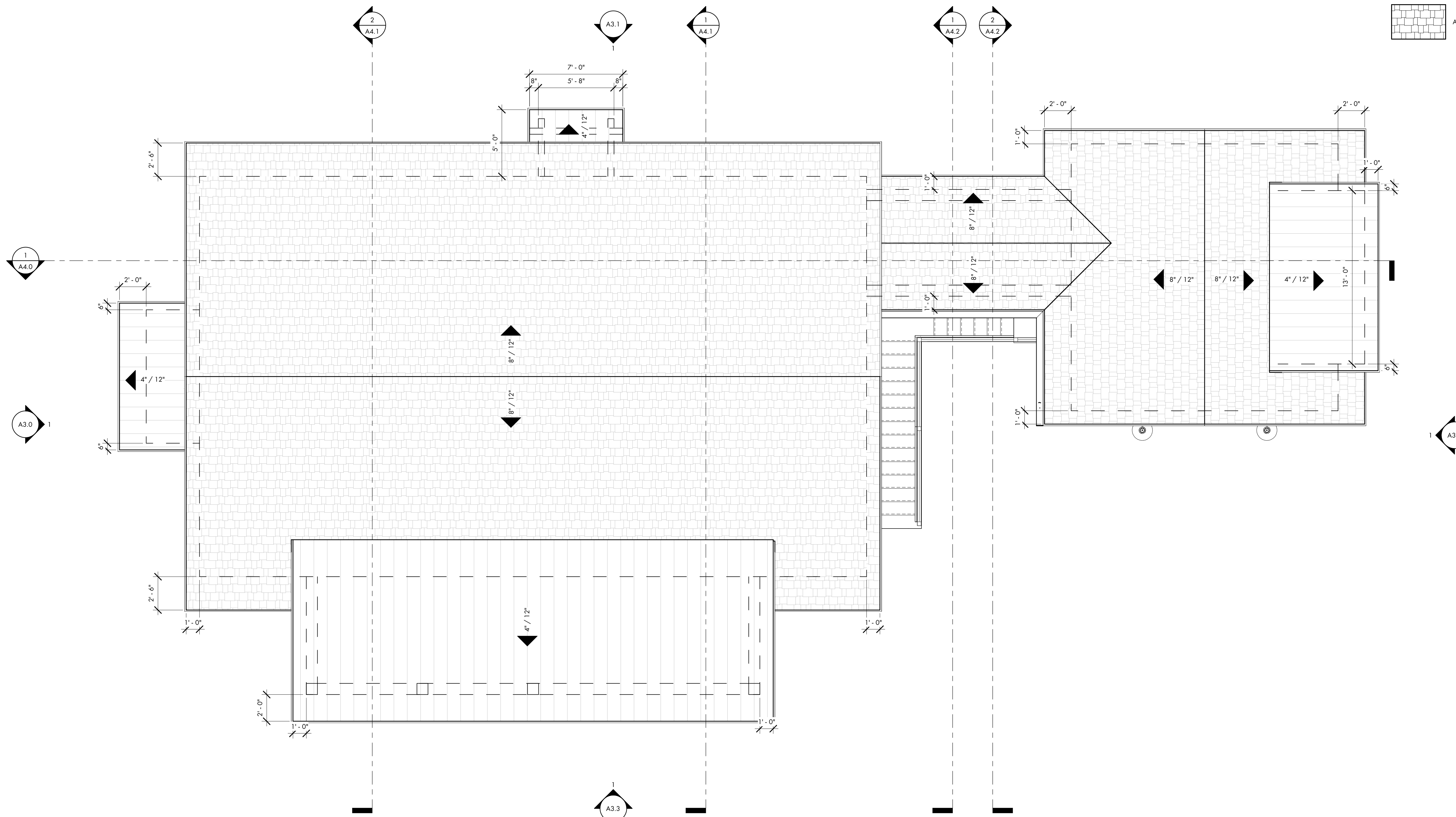
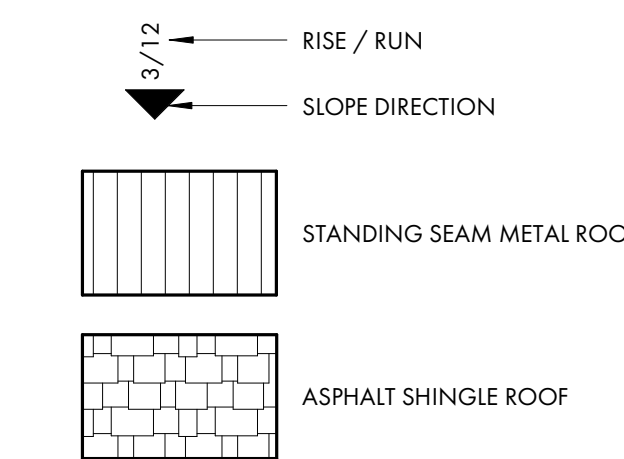
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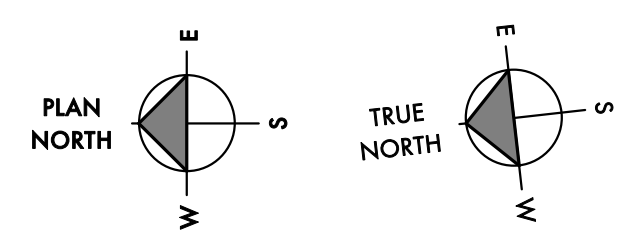
GENERAL ROOF PLAN NOTES:

- A. AT ALL ROOF RIDGES AND HIPs USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2" BOTH WAYS.
- B. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY
- C. VERIFY ROOF TOP EQUIPMENT CLEARANCES W/ MANUFACTURERS TO VERIFY EQUIPMENT LAYOUTS.

ROOF PLAN LEGEND



1 ROOF PLAN
A2.3 1/4" = 1'-0"



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ROOF PLAN
A2.3



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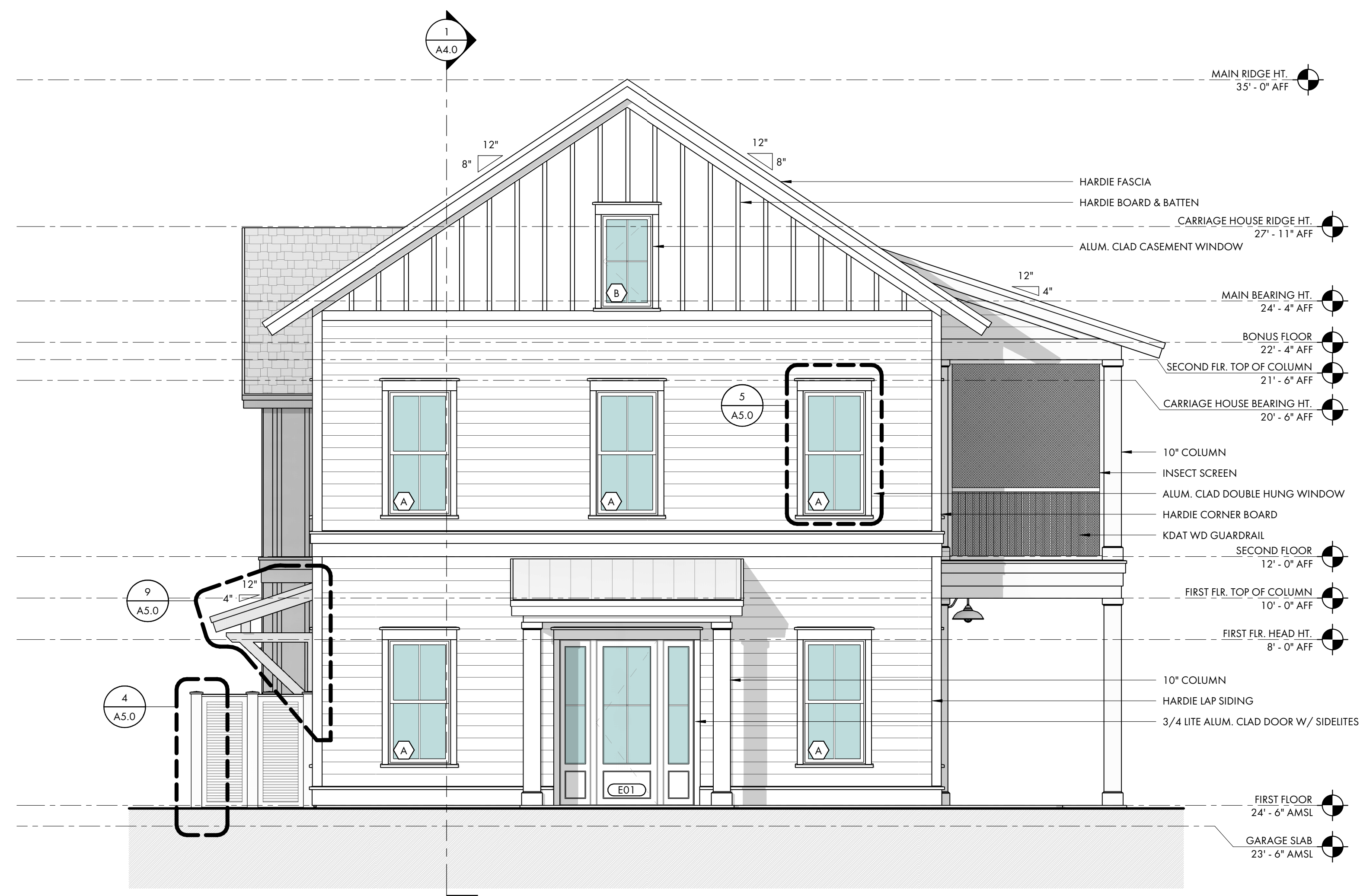
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GENERAL EXTERIOR ELEVATION NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



1 NORTH ELEVATION
A3.0 1/4" = 1'-0"

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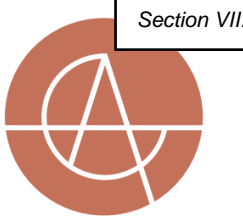
SHEET TITLE

EXTERIOR ELEVATIONS

A3.0

GENERAL EXTERIOR ELEVATION NOTES:

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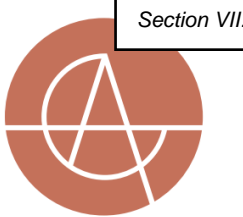
EXTERIOR ELEVATIONS

A3.1



GENERAL EXTERIOR ELEVATION NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



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EXTERIOR ELEVATIONS

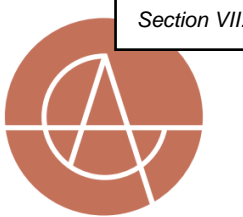
A3.2



1 SOUTH ELEVATION
A3.2 1/4" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



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1 WEST ELEVATION
A3.3 1/4" = 1'-0"

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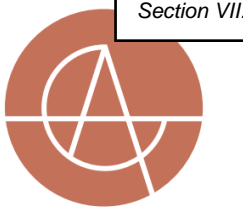
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EXTERIOR ELEVATIONS

A3.3



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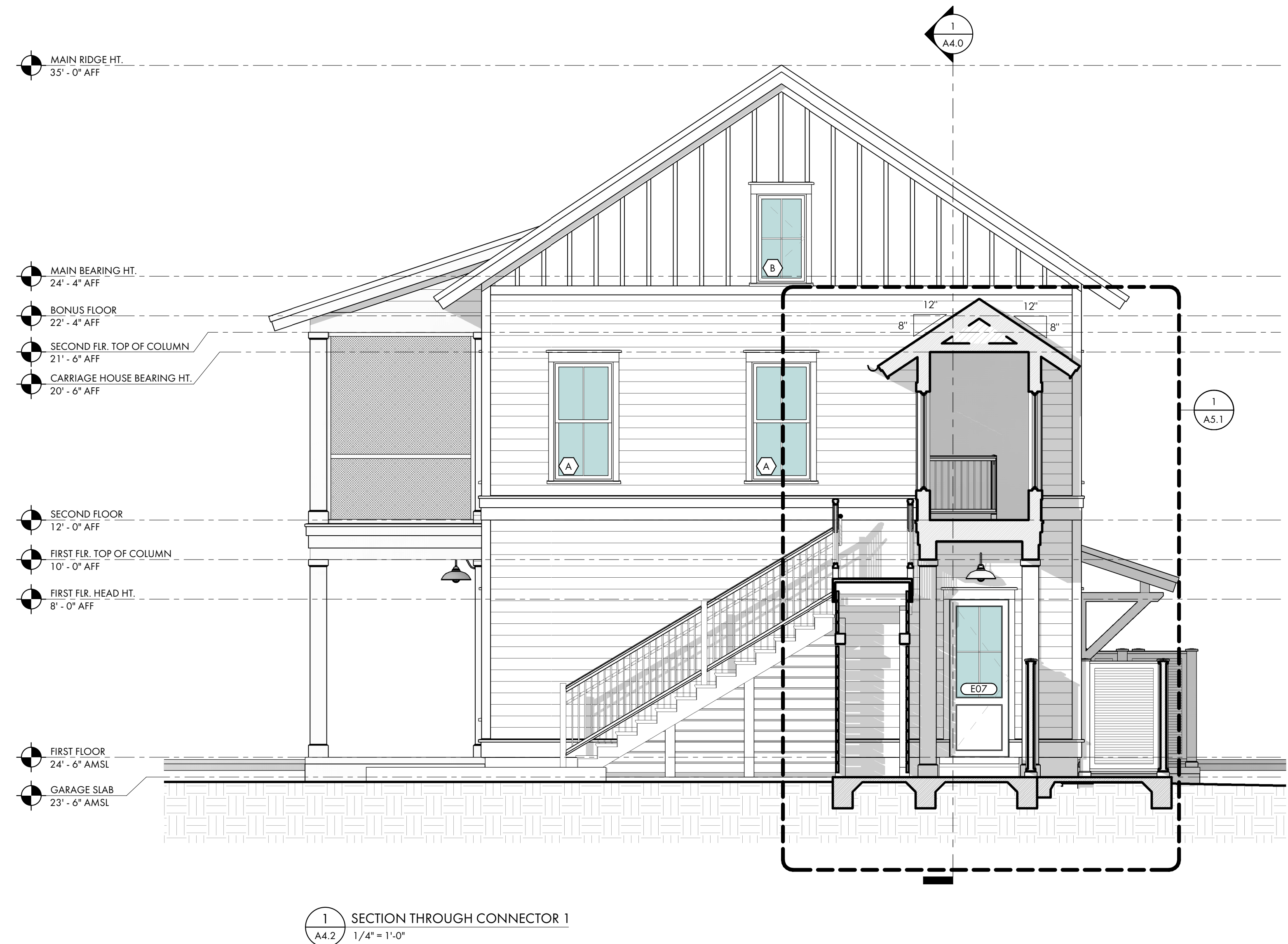
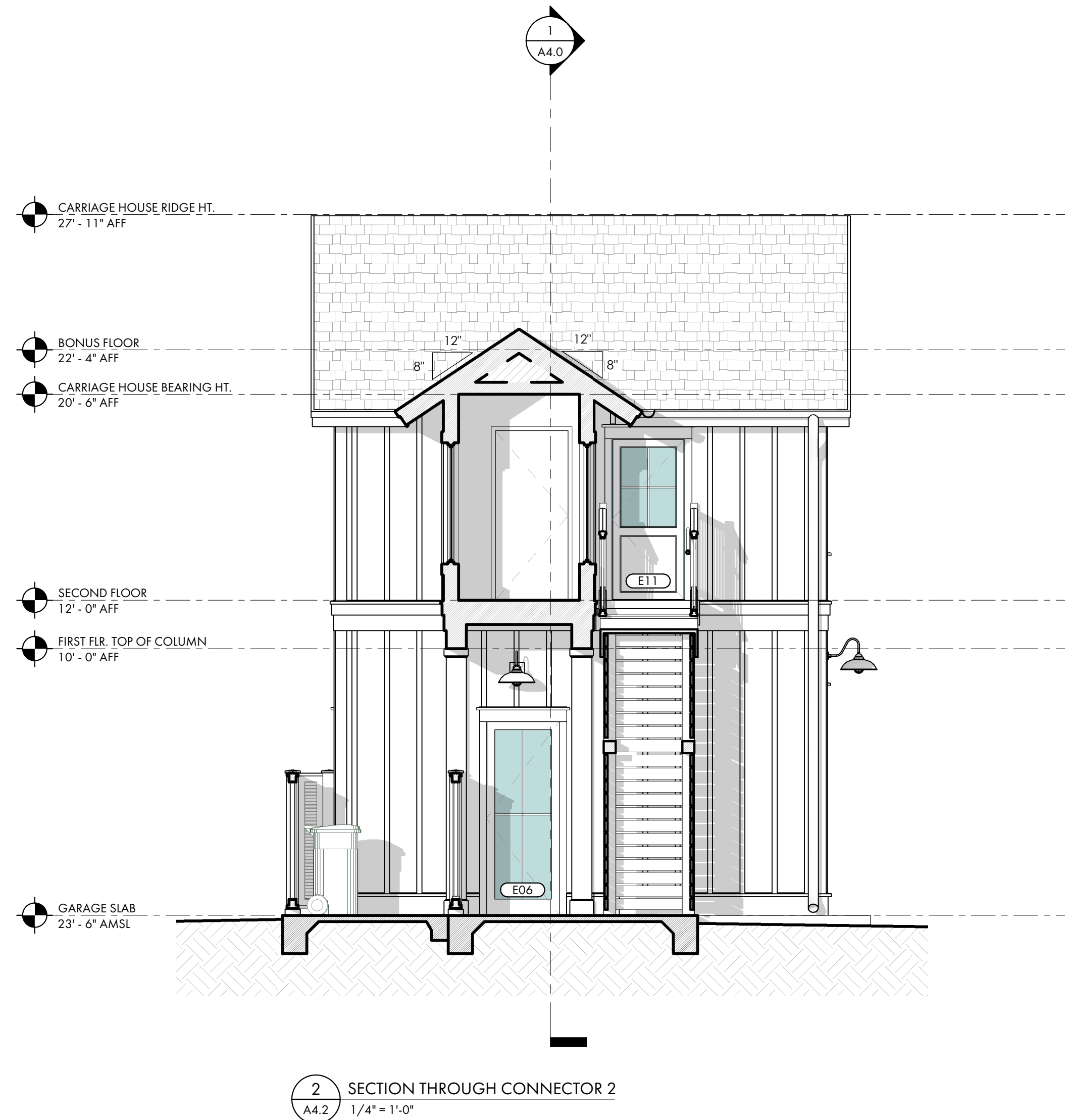
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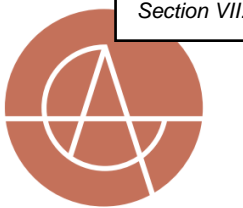
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SHEET TITLE

BUILDING SECTIONS

A4.2





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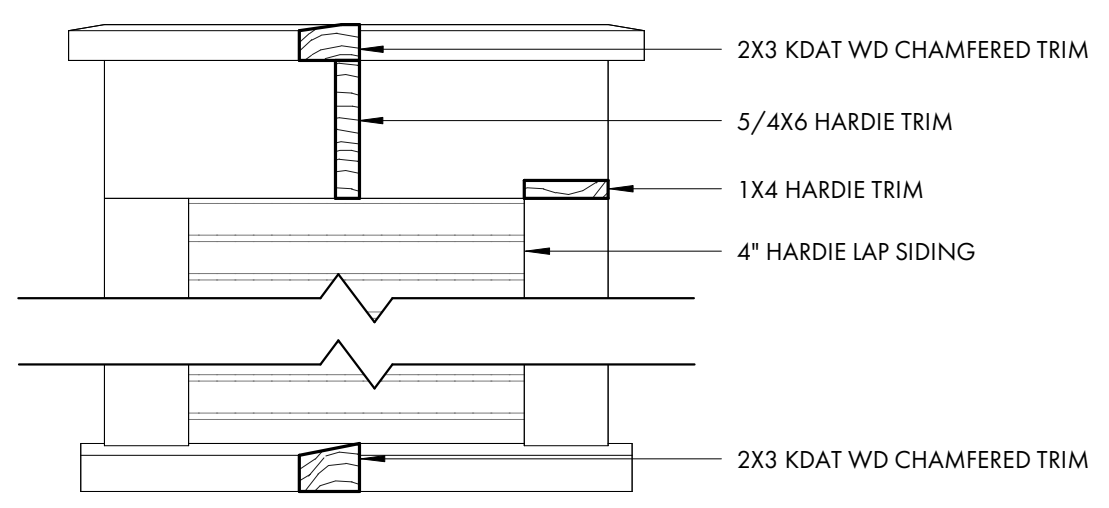
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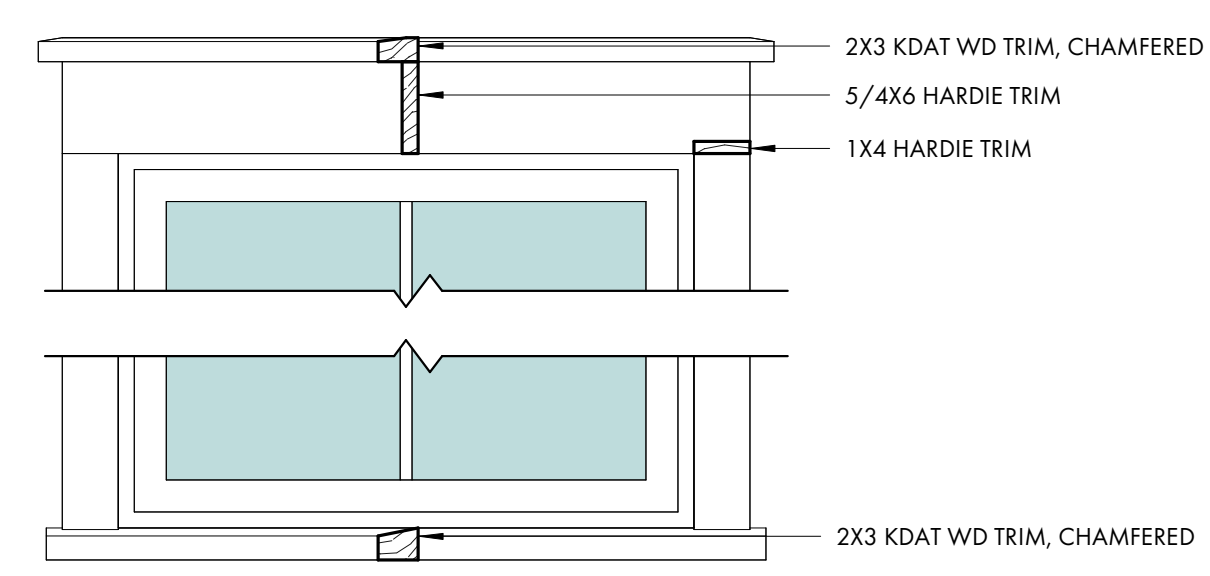
SHEET TITLE

DETAILS

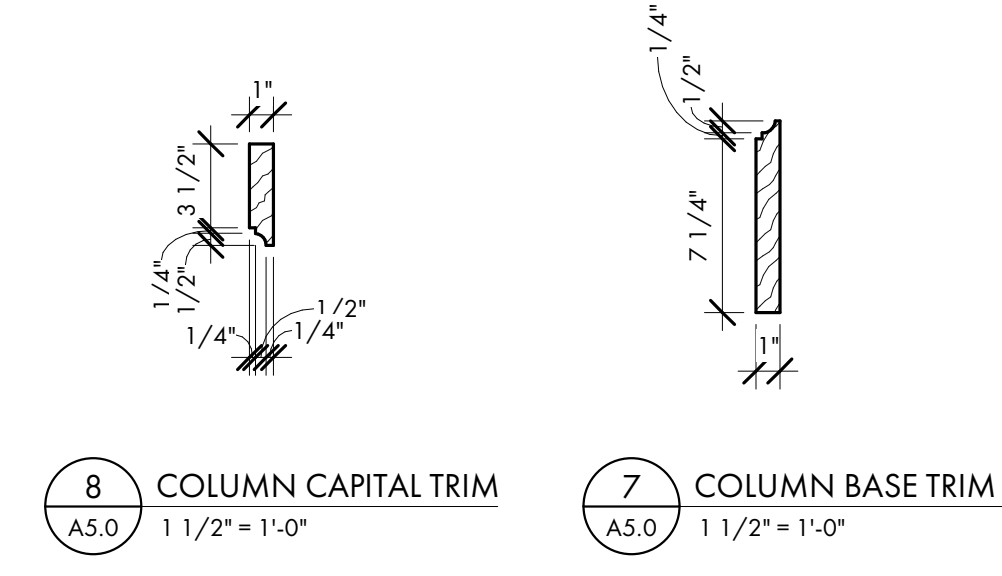
A5.0



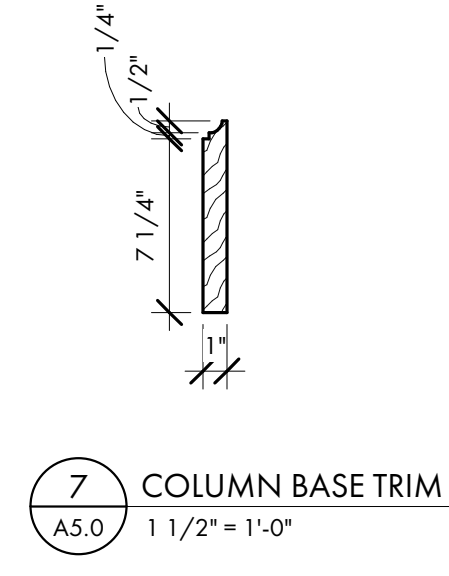
6 FAUX LOUVER DETAIL, TYP.
A5.0 1 1/2" = 1'-0"



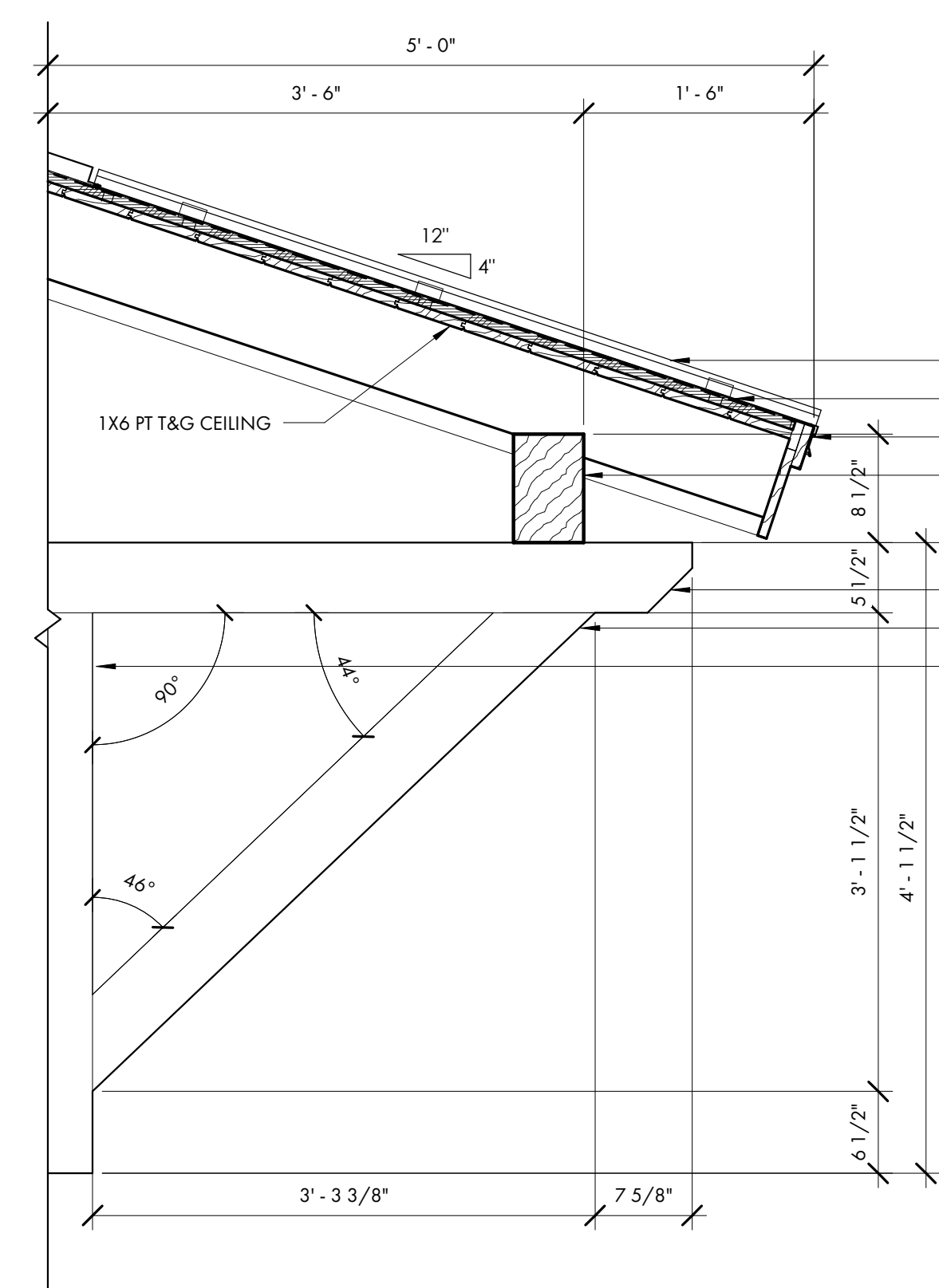
5 WINDOW ELEV., TYP.
A5.0 1" = 1'-0"



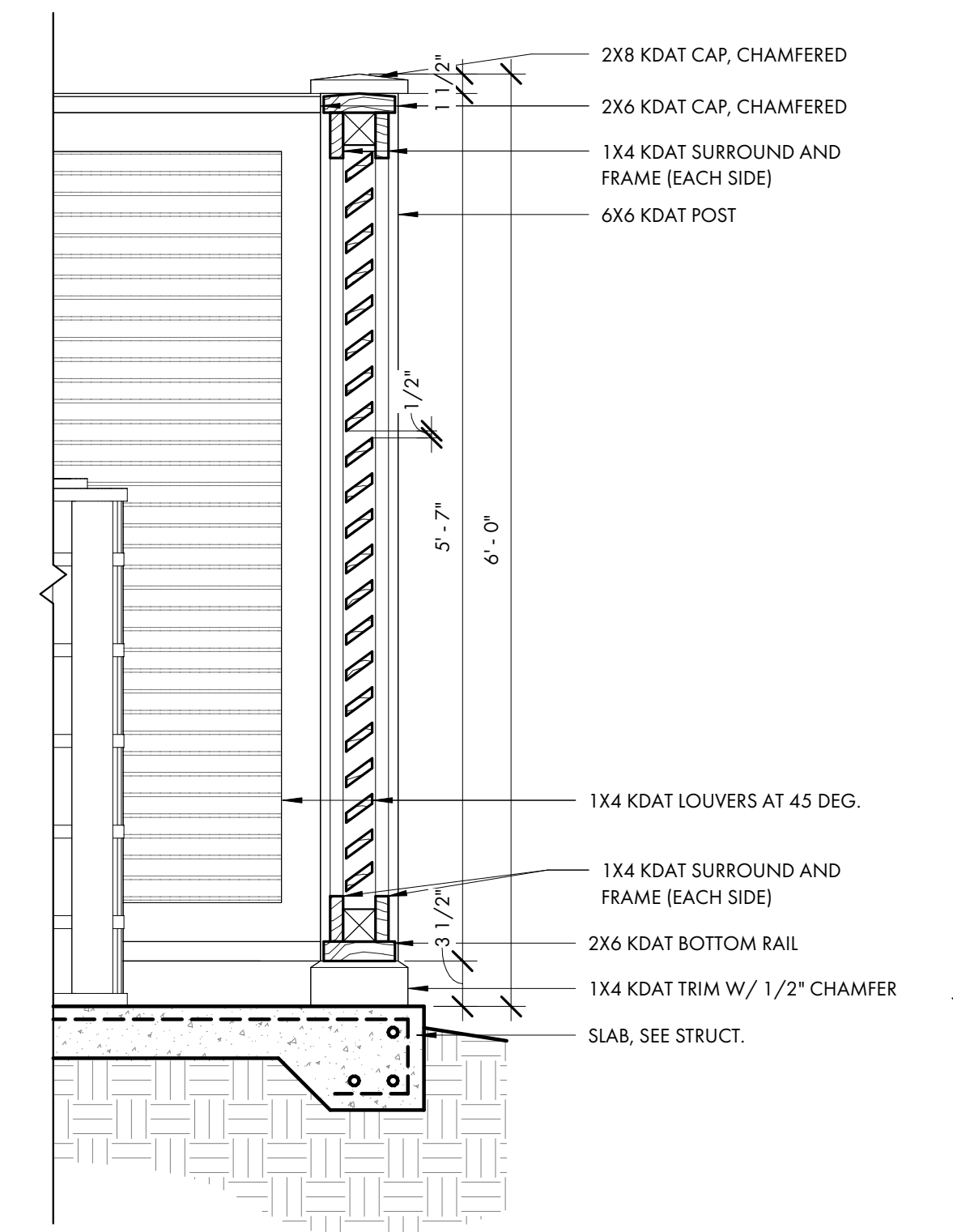
8 COLUMN CAPITAL TRIM
A5.0 1 1/2" = 1'-0"



7 COLUMN BASE TRIM
A5.0 1 1/2" = 1'-0"

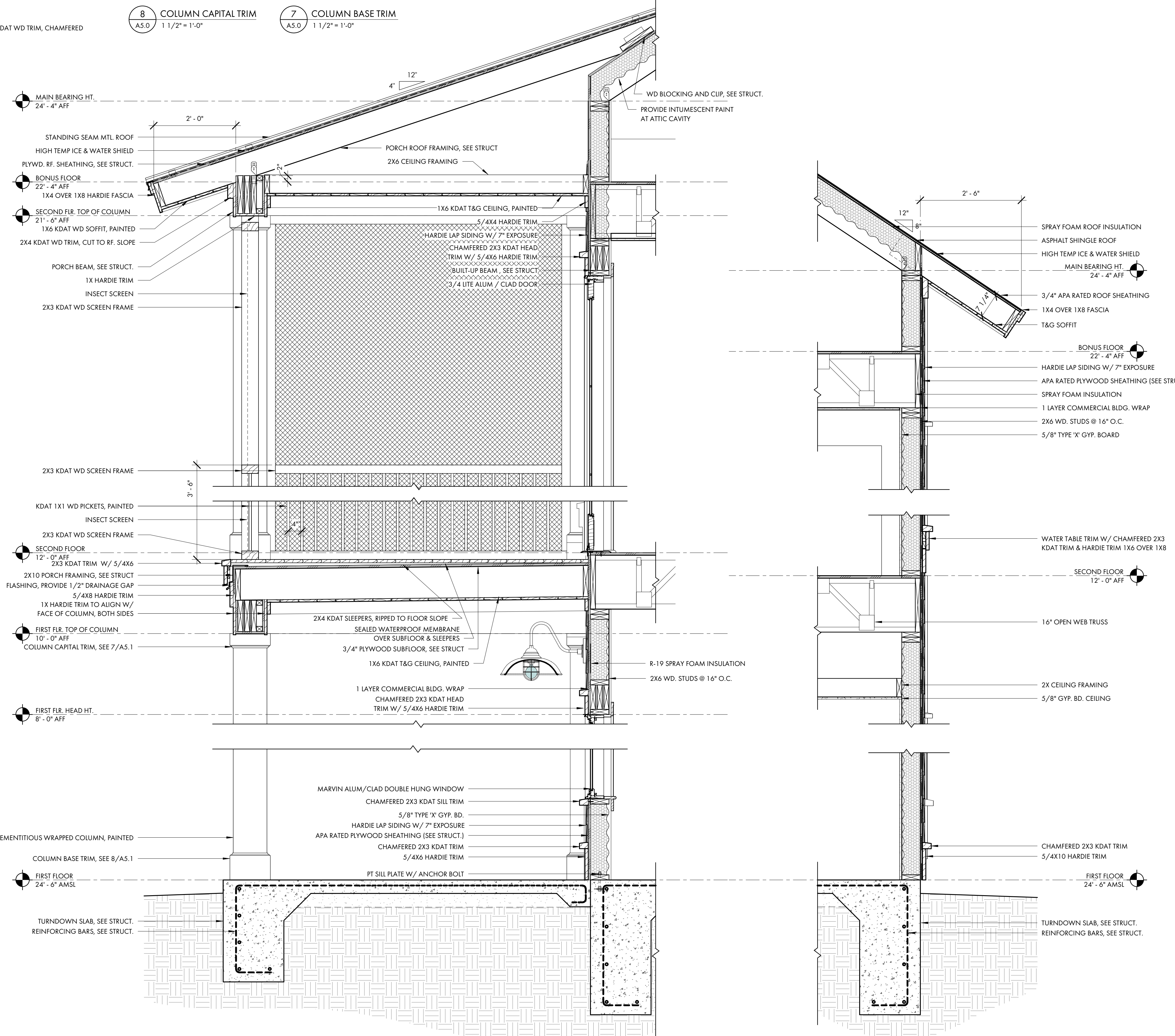


9 BRACKET DETAIL
A5.0 1" = 1'-0"



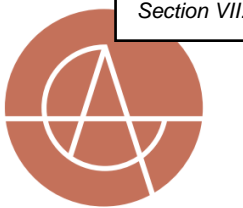
4 SERVICE YARD DETAIL, TYP.
A5.0 1" = 1'-0"

2 CORNER BOARD DETAIL, TYP.
A5.0 1" = 1'-0"



3 SECTION @ SIDE PORCH
A5.0 3/4" = 1'-0"

1 WALL SECTION
A5.0 3/4" = 1'-0"



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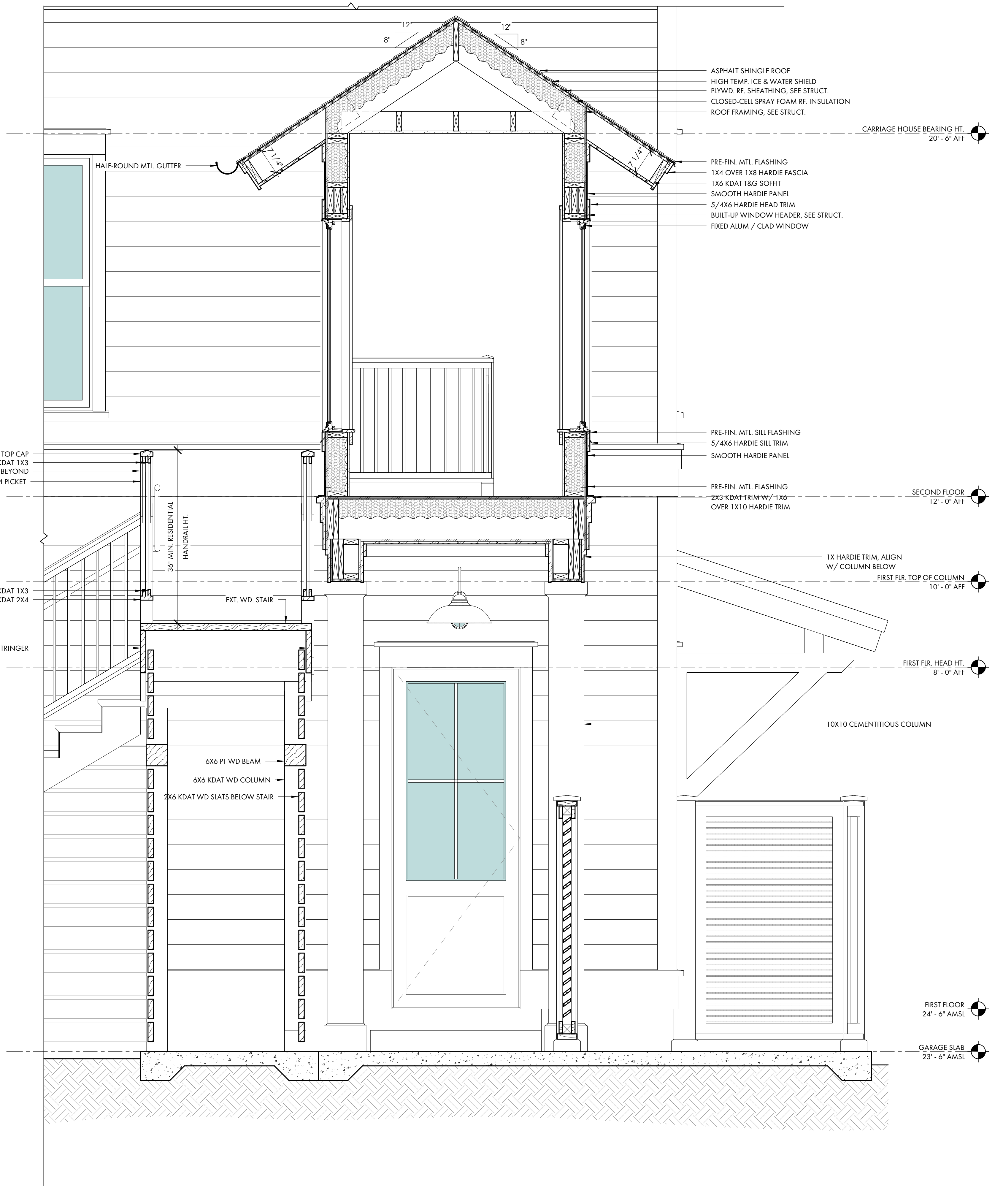
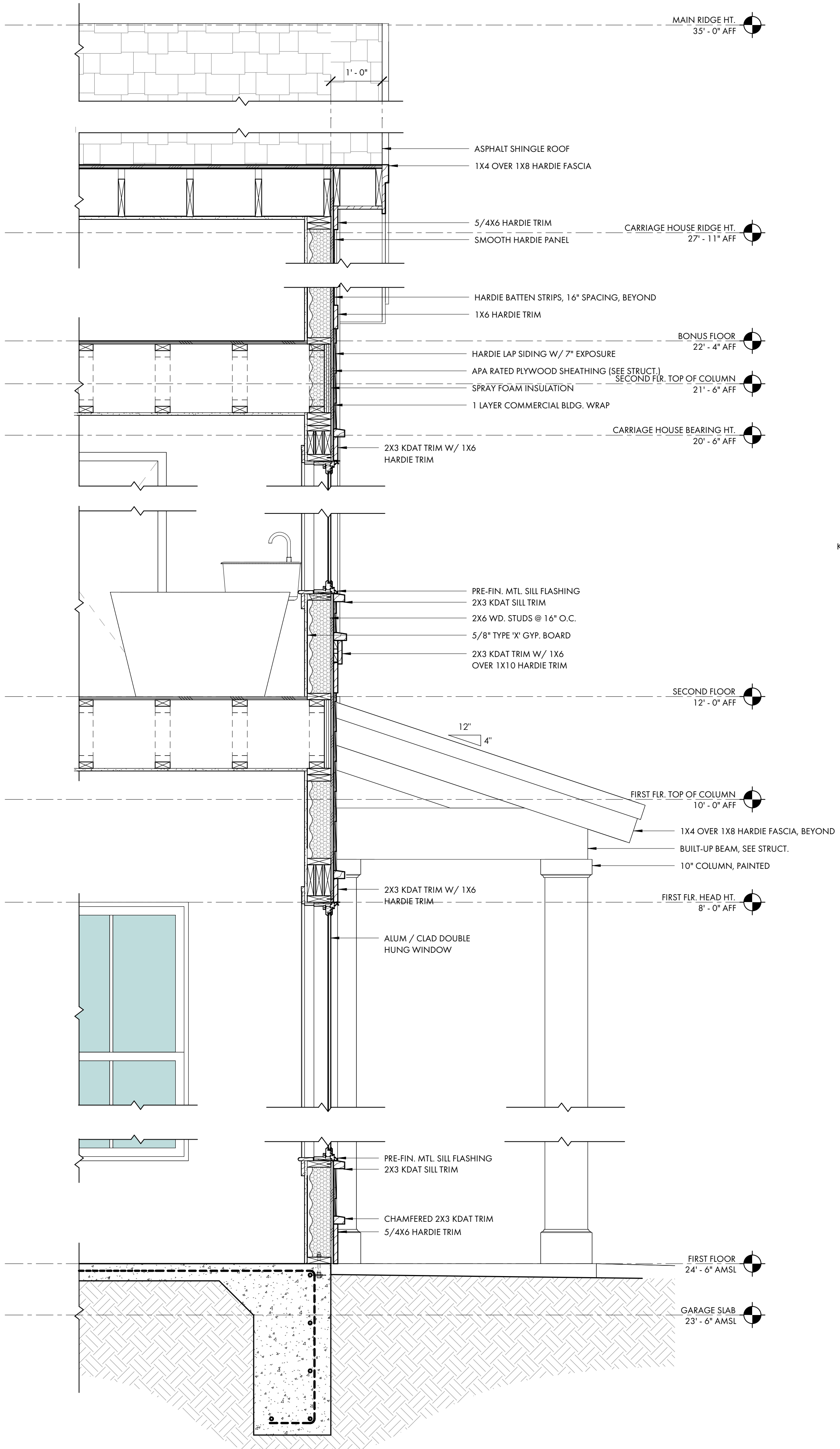
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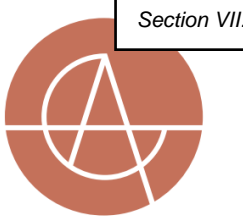
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DETAILS

A5.1





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1 FRONT PERSPECTIVE
A9.4



2 REAR PERSPECTIVE
A9.4

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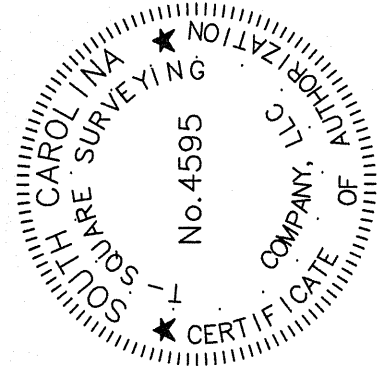
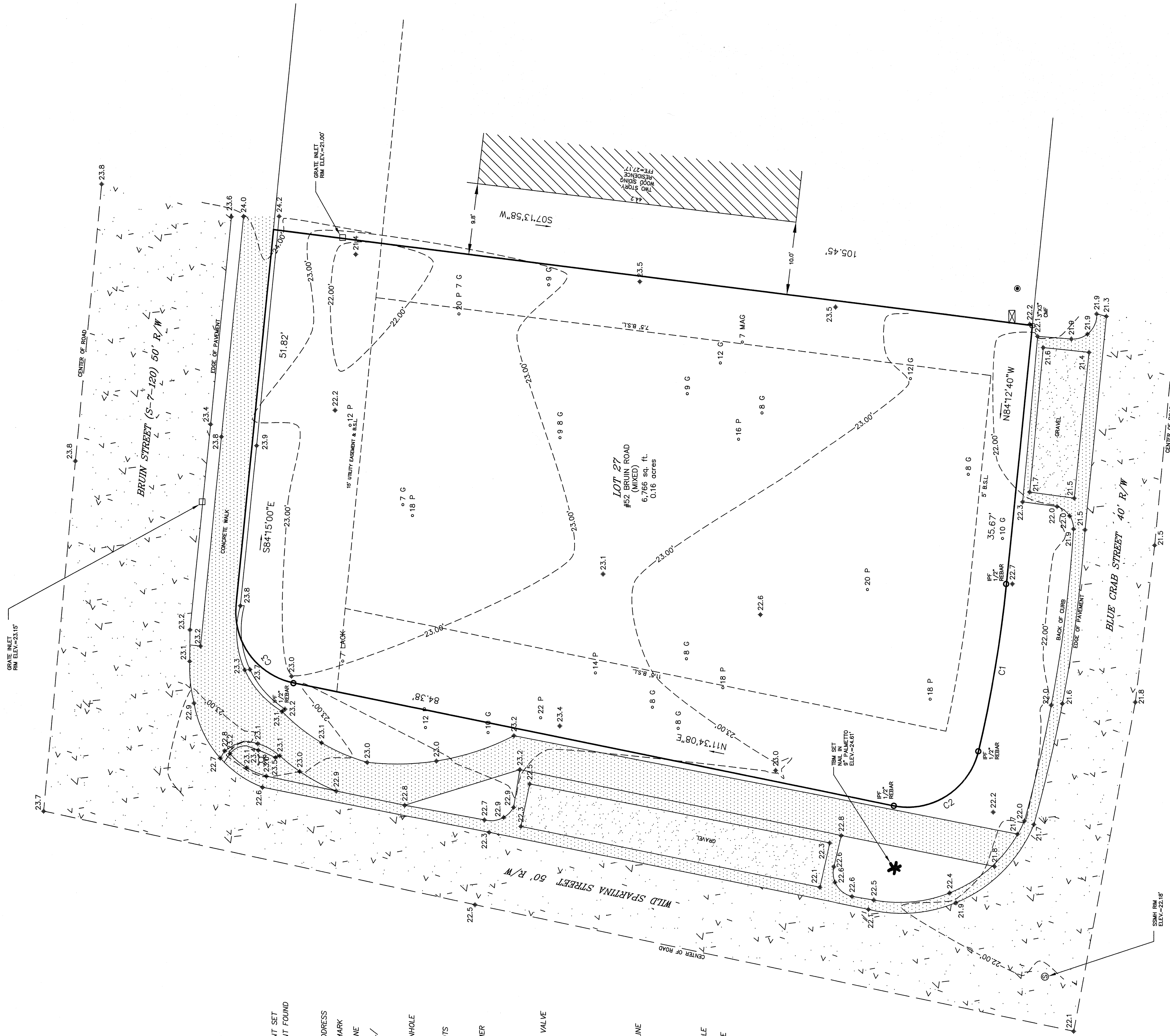
SHEET TITLE

PERSPECTIVES

A9.4

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	23.34	180.00	23.33	S80°28.45"E	7°25.50"
C2	15.42	10.00	13.94	S37°36.20"W	88°20.59"
C3	14.69	10.00	13.41	S53°39.33"W	84°10.55"

LOCATION MAP NOT TO SCALE



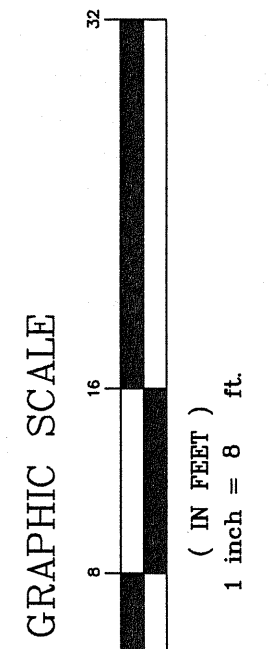
DRAWN BY: B.M.S.
 APPROVED BY: W.J.S.
 PARTY CHIEF: W.J.S.
 DATE: AUGUST 28, 2019

NOTES:
 1. According To FEMA Flood Insurance Rate Map # 450025 012 D This Lot Appears To Lie In A Federal Flood Plain Zone C, Which For The Purpose Of This Survey Is Considered A Flood Plain.
 2. The Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delimitation.
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 PLAT BOOK 142 AT PAGE 119

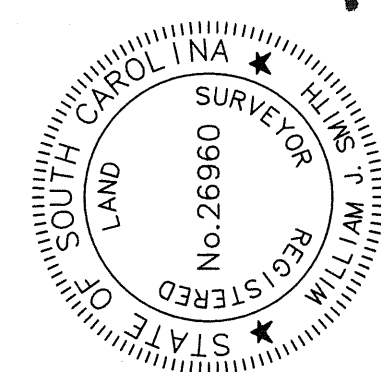
REFERENCE PLAT

- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊙ - ELECTRIC BOX
 - ⊙ - SPOT ELEVATION SHOTS
 - ⊙ - CONTOUR LINES
 - ⊙ - XPMR - TRANSFORMER
 - ⊙ - WATER LATERAL
 - ⊙ - WATER METER
 - ⊙ - IRRIGATION CONTROL VALVE
 - ⊙ - FIRE HYDRANT
 - ⊙ - GRATE INLET
 - ⊙ - POWER POLE
 - ⊙ - OVER HEAD POWER LINE
 - ⊙ - GUY LINE
 - ⊙ - LIGHT POLE
 - ⊙ - STORM DRAIN MANHOLE
 - ⊙ - FIBEROPTICS MANHOLE

- TREE LEGEND**
- WHOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PILM - PALMETTO
 - CHY - CHERRY
 - HLY - HOLLY
 - CDR - CEDAR
 - ROB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



INHERENT TO THE BUSINESS KNOWLEDGE AND SKILL OF THE SURVEYOR, THE PRECISION OF THIS SURVEY WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS ACT AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.



WILLIAM J. SMITH, PLS # 26960

SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 c/o Brewer, 38 Road
 Bluffton, SC 29910
 tsquare@earthlink.net
 Phone 843-757-6550 Fax 843-757-5758
 JTB No. 19-466T

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
APRIL & ELMER PEREZ
 A TREE & TOPOGRAPHIC SURVEY OF LOT 27 BLUE CRAB STREET,
 A PORTION OF REEVES BROTHERS SUBDIVISION,
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
 DIST. 610, MAP 39, PARCEL 1208

DRAINAGE LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
11.X		12" AREA DRAIN	X/L60X
11.X		6" FRENCH DRAIN	X/L60X
11.X		6" SOLID PIPE	X/L60X
11.X		RAIN GARDEN	X/L60X

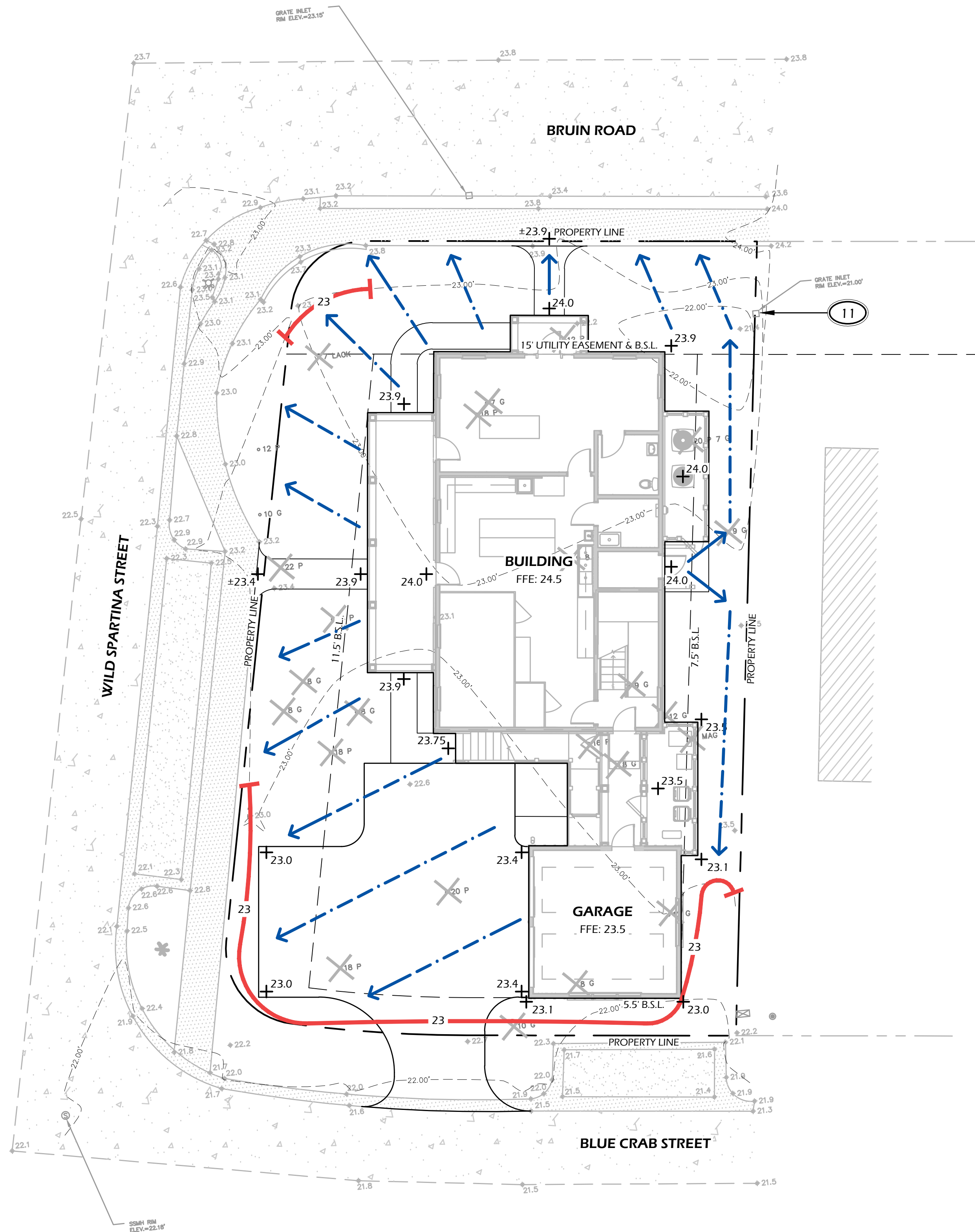
NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

GRADING LEGEND	
SYMB.	DESCRIPTION
+	SPOT GRADE
	DRAINAGE ARROW
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING GRADE

GRADING ABBREVIATIONS			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
BC	BOTTOM OF CURB	HP	HIGH POINT
BS	BOTTOM OF STEP	RIM	TOP OF DRAIN
BW	BOTTOM OF WALL	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FG	FINISHED GRADE	TW	TOP OF WALL
LP	LOW POINT		

GRADING REFERENCE NOTES:

- 1 MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
- 2 ALL PIPING UNDER HARDSCAPE SHALL BE SOLID H.D.P.E. PIPES.
- 3 FIELD LOCATE DRAIN LINE TO AVOID EXISTING TREE ROOTS.
- 4 CONTRACTOR SHALL TIE GUTTER DOWNSPOUTS INTO SUBSURFACE DRAINAGE SYSTEM WHENEVER POSSIBLE.
- 5 TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
- 6 FEATHER BOTTOM OF SLOPE SMOOTHLY TO MEET EXISTING CONDITIONS.
- 7 CREATE SWALE AND BERM TO DIRECT WATER AWAY FROM HOUSE AND ADJACENT PROPERTIES.
- 8 DRAINAGE SWALE PITCH AT 2% MIN.
- 9 PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTY LINES.
- 10 MAINTAIN EXISTING DRAINAGE PATTERN AWAY FROM BUILDING.
- 11 DIRECT STORMWATER TOWARDS STREET OR EXISTING DRAINAGE DITCH. DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO DETAILS.



SITE DEVELOPMENT PLANS
 FOR
PEREZ LIVE-WORK
 LOT 27
 TABBY ROADS / BLUFFTON, SOUTH CAROLINA

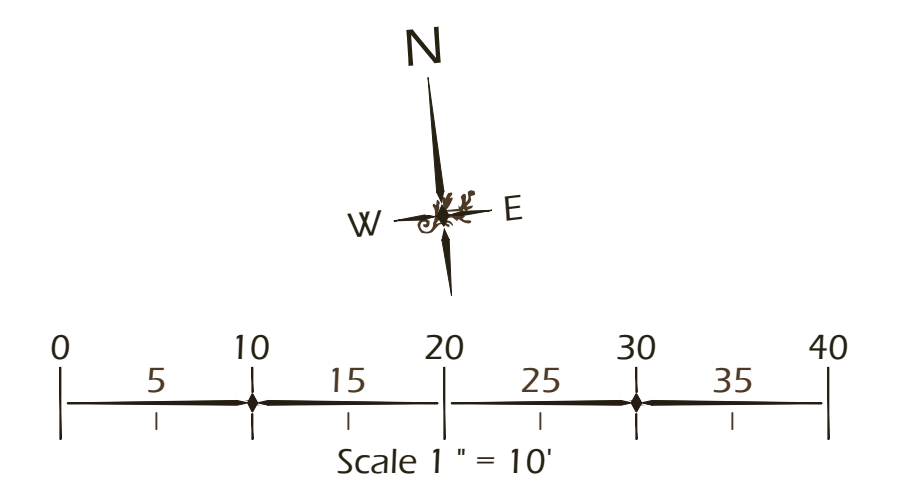
DATE: AUG 27, 2024
 PROJECT NO.: 24-102-01
 DRAWN BY: JM
 CHECKED BY: DK

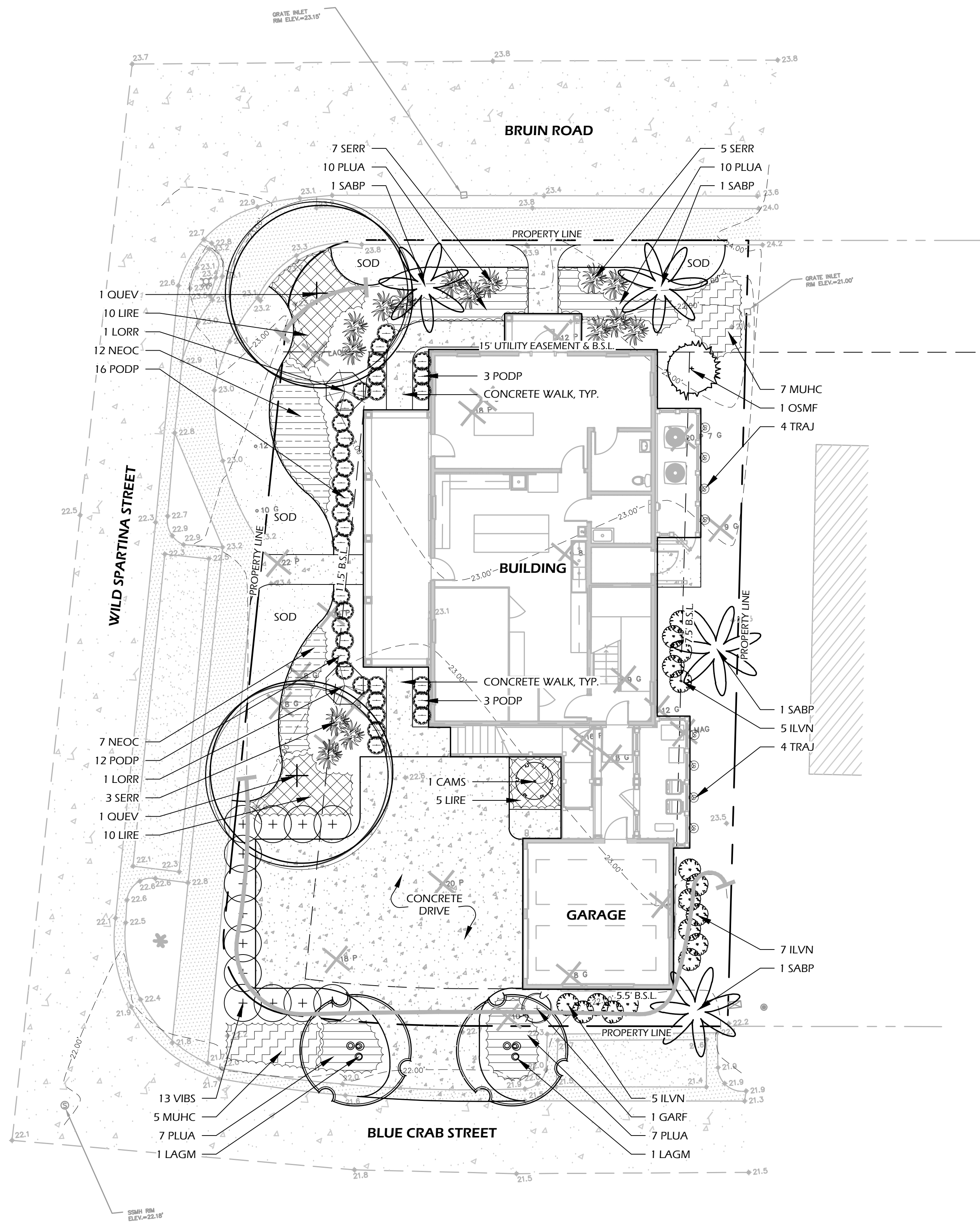
**SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

REVISIONS:

DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L300





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X
14.5	ROOT BARRIER	X/L50X

PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
QUEV	<i>Quercus virginiana</i>	Live Oak
SABP	<i>Sabal palmetto</i>	Cabbage Palm
UNDERSTORY TREES		
LAGM	<i>Lagerstroemia indica x fauriei</i> 'Muskogee'	Muskogee Crape Myrtle
SHRUBS		
CAMS	<i>Camellia sasanqua</i>	Sasanqua Camellia
GARF	<i>Gardenia jasminoides</i> 'Frost Proof'	Frost Proof Gardenia
ILVN	<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly
LORR	<i>Loropetalum chinense</i> 'Ruby'	Ruby Fringe Flower
OSMF	<i>Osmanthus fragrans</i>	Fragrant Tea Olive
PODP	<i>Podocarpus macrophyllus</i> 'Pringles Dwarf'	Dwarf Podocarpus
SERR	<i>Serenoa repens</i>	Saw Palmetto
VIBS	<i>Viburnum suspensum</i>	Sandankwa Viburnum
ORNAMENTAL GRASSES & FERNS		
MUHC	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
LIRE	<i>Liriope muscari</i> 'Evergreen Giant'	Evergreen Giant Liriope
NEOC	<i>Neomarica caerulea</i> 'Regina'	Giant Apostles' Iris
PLUA	<i>Plumbago auriculata</i>	Plumbago
TRAJ	<i>Trachelospermum jasminoides</i>	Confederate Jasmine

Section VII, Item #1.
28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph. 843.797.7777
www.wjk ltd. com

Winter Jones-Keefe Ltd.
 landscape architecture
 land planning

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SITE DEVELOPMENT PLANS
 FOR
PEREZ LIVE-WORK
 LOT 27
 TABBY ROADS / BLUFFTON, SOUTH CAROLINA

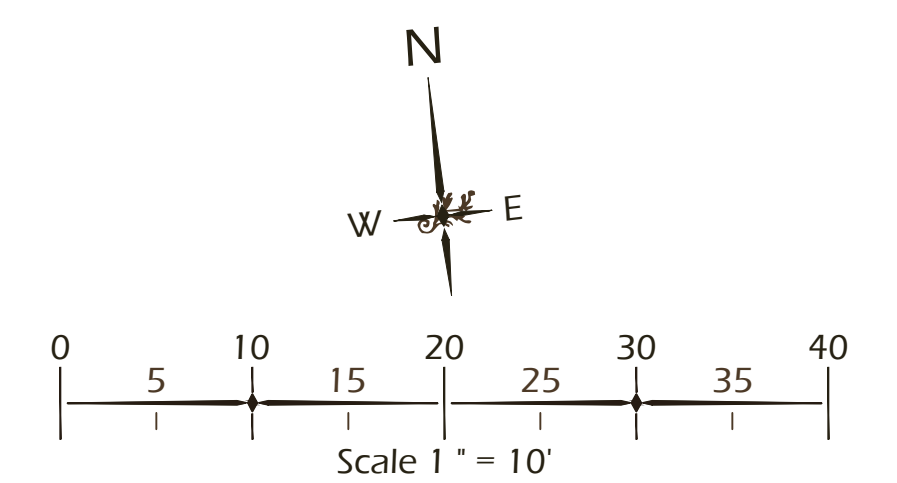
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 PROJECT NO.: 24-102-01
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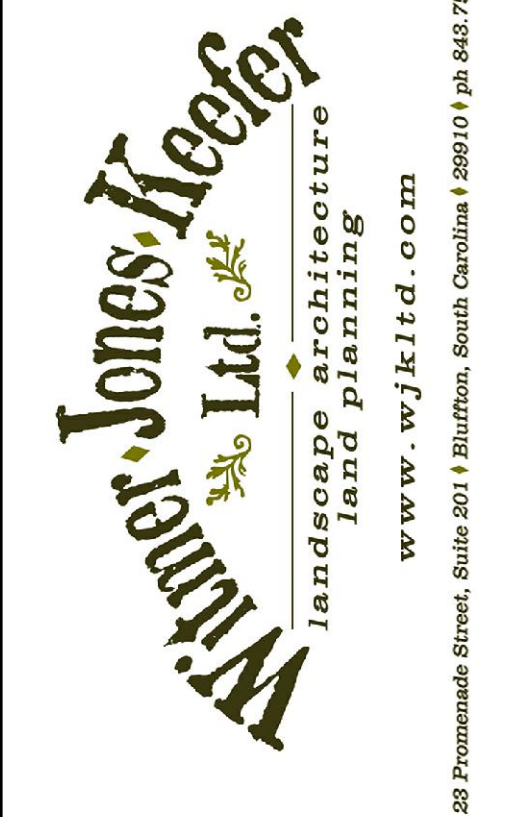
SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L500





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SITE DEVELOPMENT PLANS FOR
PEREZ LIVE-WORK
 LOT 27
 TABBY ROADS / BLUFFTON, SOUTH CAROLINA

DATE: AUG 27, 2024
 PROJECT NO.: 24-102-01
 DRAWN BY: JM
 CHECKED BY: DK

**SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION**

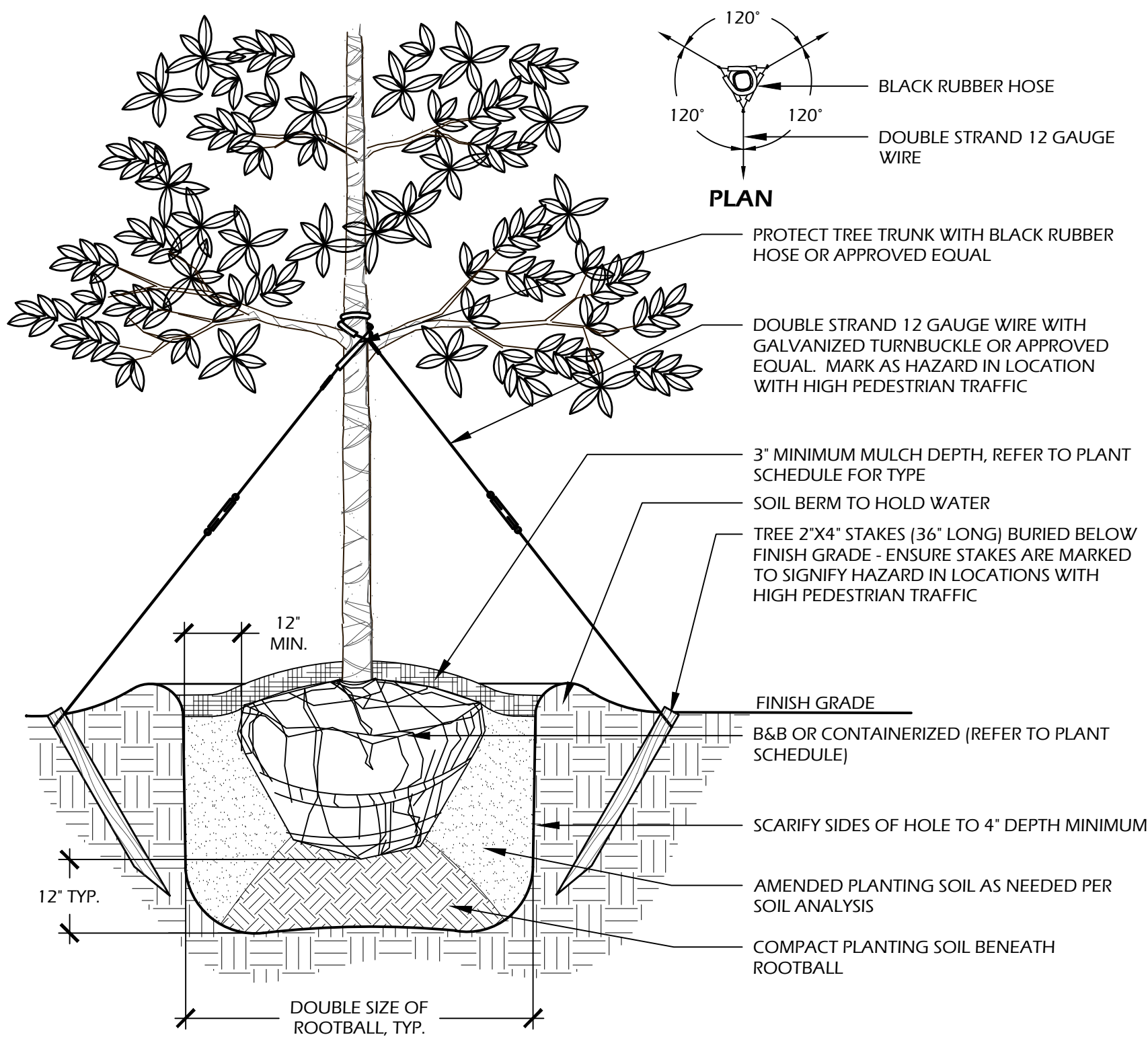
REVISIONS:

DRAWING TITLE
**PLANT SCHEDULE AND
 DETAILS**

DRAWING NUMBER
L501

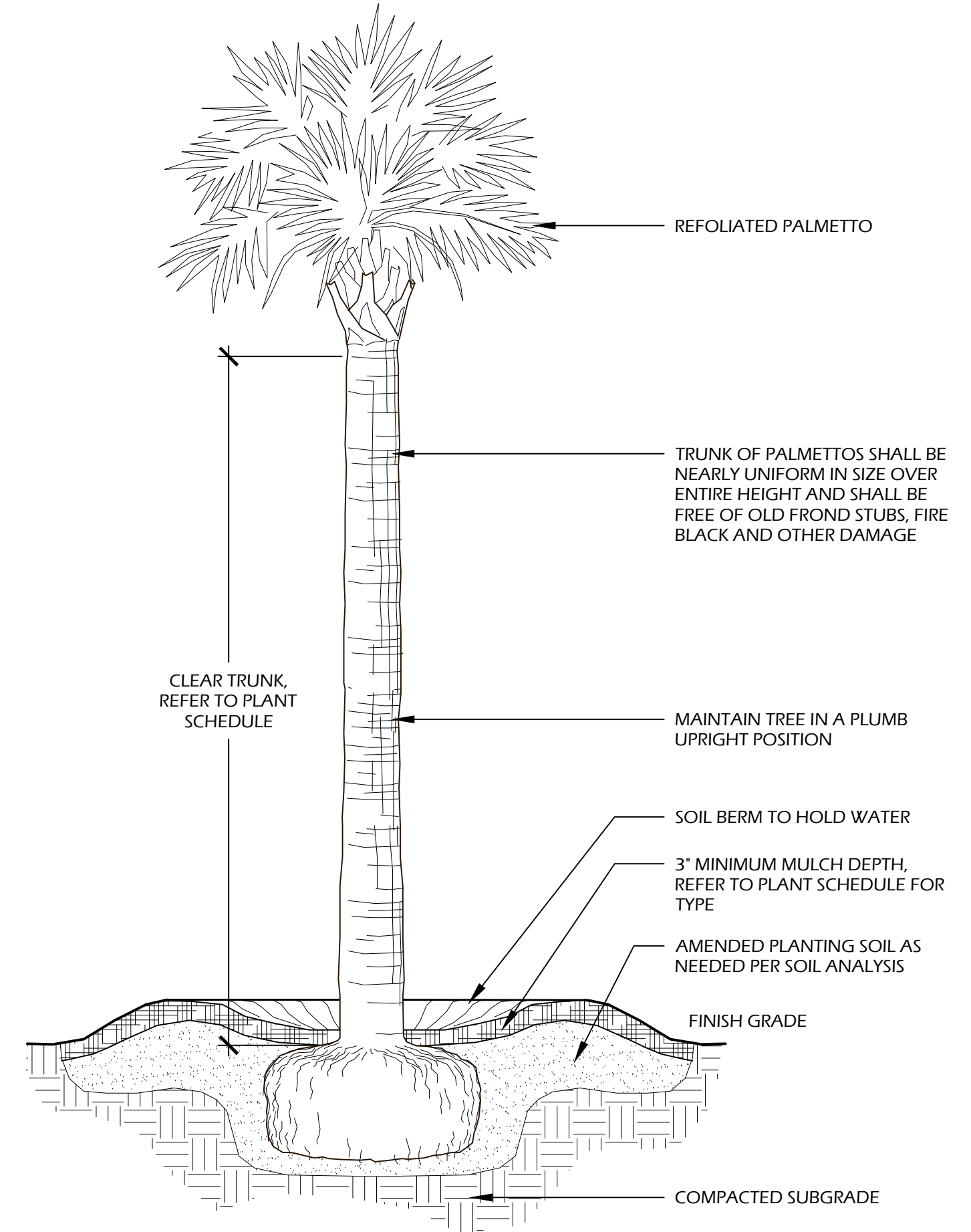
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
2	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
4	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
2	LAGM	Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
SHRUBS								
1	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
1	GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia	4'-5'	2'-3'	15 gal.	-	Full
17	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	18"-24"	18"-24"	7 gal.	-	Full
2	LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower	30"-36"	24"-30"	7 gal.	-	Full
1	OSMF	Osmanthus fragrans	Fragrant Tea Olive	36"-42"	18"-24"	7 gal.	-	Full
34	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18"-24"	16"-20"	7 gal.	-	Full
15	SERR	Serenoa repens	Saw Palmetto	24"-30"	24"-30"	15 gal.	-	Full
13	VIBS	Viburnum suspensum	Sandankwa Viburnum	30"-36"	24"-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
12	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14"-16"	10"-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
25	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-16"	8"-12"	1 gal.	24" O.C.	Full
19	NEOC	Neomarica caerulea 'Regina'	Giant Apostles' Iris	18"-24"	8"-12"	1 gal.	24" O.C.	Full
34	PLUA	Plumbago auriculata	Plumbago	12"-18"	12"-18"	1 gal.	24" O.C.	Blue Flowers, Full
8	TRAJ	Trachelospermum jasminoides	Confederate Jasmine	4'-6'	12' runners	1 gal.	18" O.C.	Full
SOD & MULCH								
700	SOD-SF	-	Empire Zoysia Sod	-	-	-	-	-
2600	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



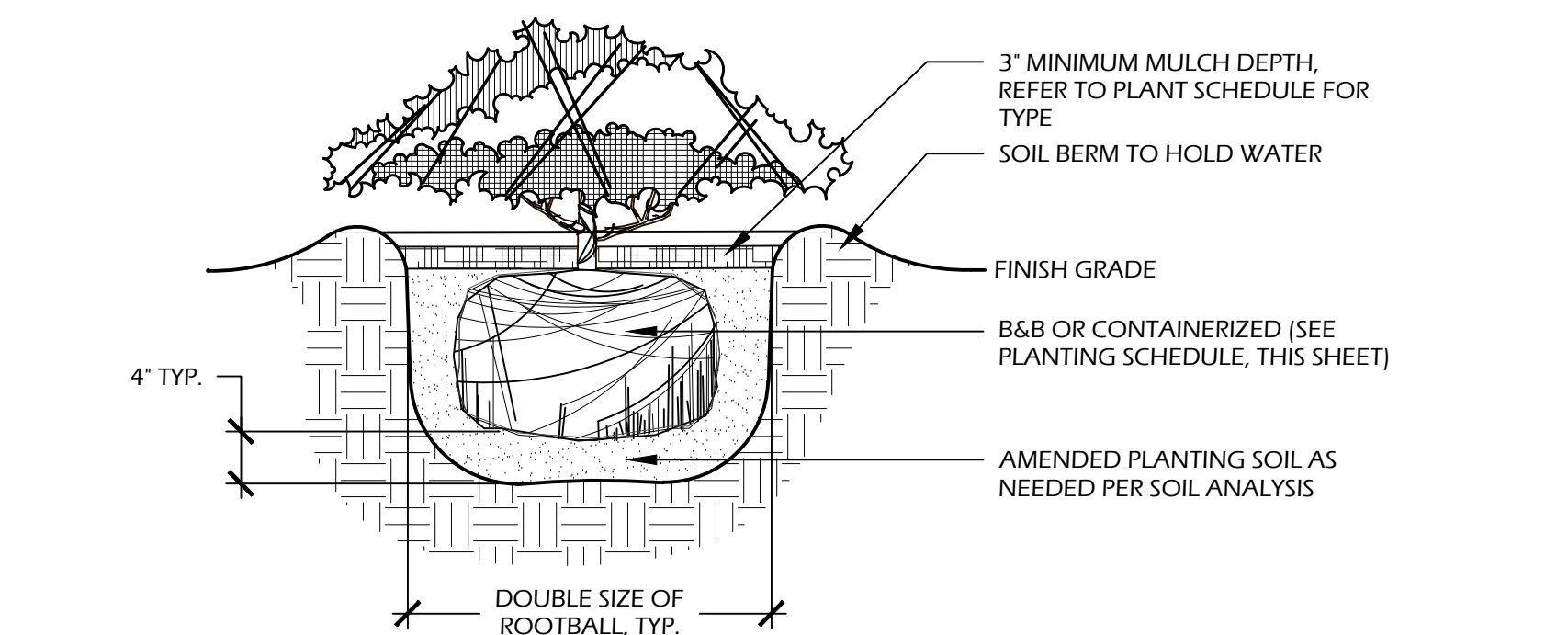
- NOTES:**
- TREE STAKING OPTIONAL HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
 SCALE: N.T.S.



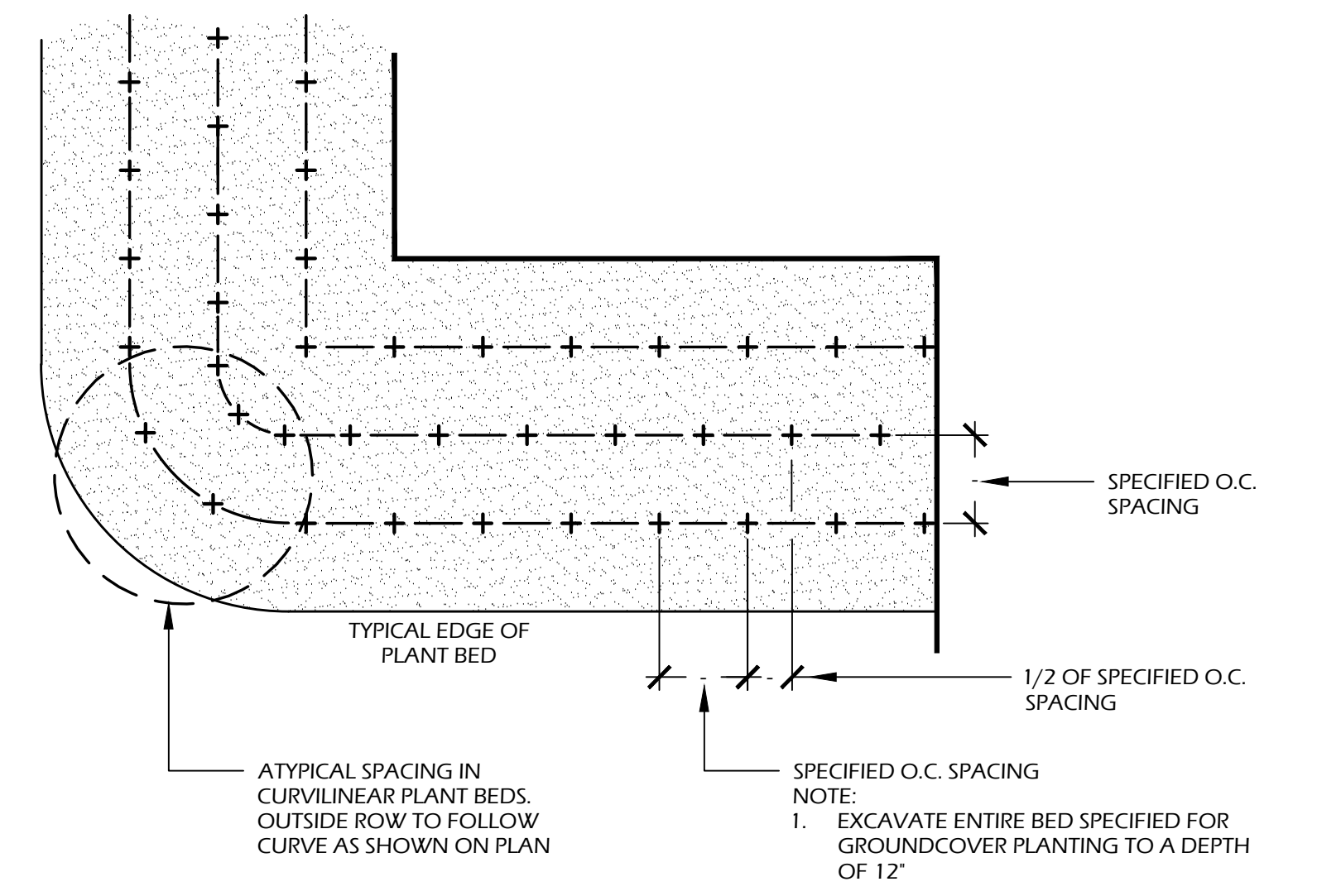
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
 SCALE: N.T.S.

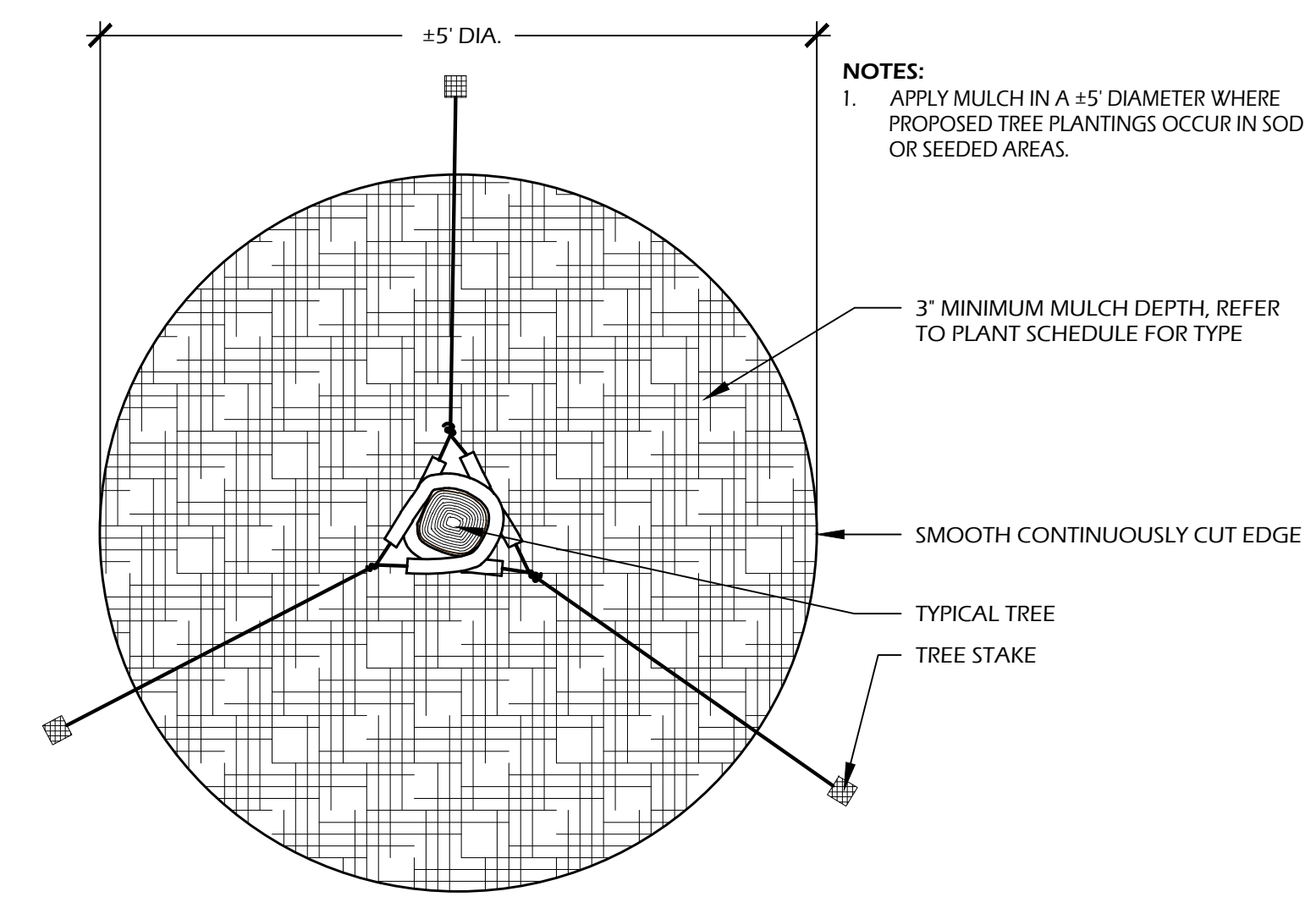


- NOTES:**
- WHEN GROUND COVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
 SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
 SCALE: N.T.S.



5 // L501 TREE STAKING
 SCALE: N.T.S.

HABITAT ARCHITECTURAL REVIEW BOARD**TABBY ROADS****BLUFFTON, SC**

October 3, 2024

APRIL & ELMER PEREZ

Lot 27, 1 BLUE CRAB ST, Bluffton, South Carolina 29910

To whom it may concern,

This letter shall serve as approval for the architectural plans with conditions for the mixed-use property proposed on 1 Blue Crab St. Please note that some of the conditions in this letter might need to be incorporated prior to final HPC submission. Plans within the following files titled are the basis for this approval:

Lot 27 Tabby Roads_Perez Live-Work_Color Board.pdf, Lot 27 Tabby Roads_Perez Live-Work_Final HARB Review Application.pdf, Lot 27 Tabby Roads_Perez Live-Work_Final HARB Review Drawings.pdf, Lot 27 Tabby Roads_Perez Live-Work_Landscape Drawings.pdf, Lot 27 Tabby Roads_Perez Live-Work_Response Letter.pdf

The approval of the architecture is based upon the following items of clarification:

- The Board and Batten, Panel & First Floor Lap Siding color (BM Light Mint 2046-70) and exterior doors (BM Peacock Blue 2049-40) submitted has been brought into question by the committee. In order for the committee to make a final decision, a large sample size must be submitted for both (minimum 18" x 18", actual painted siding boards preferred).
- If approved, the BM Peacock Blue 2049-40 will only be allowed on the front door.
- It is assumed by the committee that entry lighting on the Bruin elevation will be required. If applicable, front lighting fixtures including their color need to be submitted for approval.
- The upper porch railing has no cap detail shown. Detail must be submitted for approval prior to beginning construction.
- The committee requires that any signage including placement and size be submitted for review and approval before the commencement of construction.
- The committee requires the submission of a cut sheet for the garage doors including any hardware for approval prior to beginning construction.

- As was conveyed in the initial preliminary review, the committee will only permit one entry door on the west elevation lower level. The door indicated in Fig 1. must be replaced with a window (type A).



Fig 1. Door Replacement on West Elevation

- As was conveyed during preliminary review, the committee remains concerned with the noise level of the installation of two a/c units and two condensers. The mitigation plan submitted was not considered adequate. HARB does not want plantings on the walls of the service yard such that they cannot be properly maintained. The committee is therefore requiring the following:
 - A/C units shall be quiet variable-speed A/C units no louder than 60 dB (e.g. Carrier Infinity series). Specifications must be submitted and approved by HARB prior to installation. Service yard line of sight gaps to be no greater than 0.5” as shown in Fig. 2.
 - Condensers specifications must be submitted and approved by HARB prior to installation. HARB reserves the right to require the installation of acoustic panels within the service yard containing the condensers. The service yard design shall be configured to allow such panel installation should they be required by the committee. Service yard line of sight gaps to be no greater than 0.5” as shown in Fig. 2.

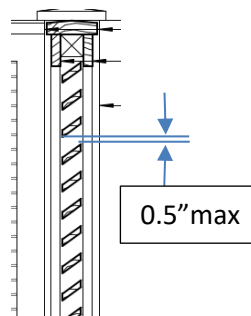


Fig. 2 Service yard gaps

Please be aware, HARB absolves itself of any future responsibility concerning noise. After implementing the above requirements should a noise problem persist, applicant acknowledges that it is their responsibility to mitigate the issue.

At this time, the committee is not approving the submitted landscaping plan. Outlined below are the issues the committee will need addressed before approval can be granted. Please make the required adjustments and resubmit accordingly.

- As shown in Fig. 3, there is a large existing oak that the committee believes was planted as part of the development plan. This oak is to remain and must be incorporated into the landscape plan accordingly.



Fig 3. Existing Oak

- As was discussed in the preliminary review process, there is an expectation that mature plantings will be installed to try and hide as much as possible the view of the parking area from the Wild Spartina perspective. The committee is therefore establishing a minimum height requirement of 36 inches for all initial plantings in the regions highlighted in Fig. 4. Plant species in these regions should be such that at maturity they are 6ft or taller and spaced to form a dense screening of the view of the parking area. Plant species suggestions include but are not limited to anise, wax myrtle, yaupon holly, podocarpus and/or viburnum. It is recommended that two species be intermixed to add visual interest and avoid a “long hedge line” look.

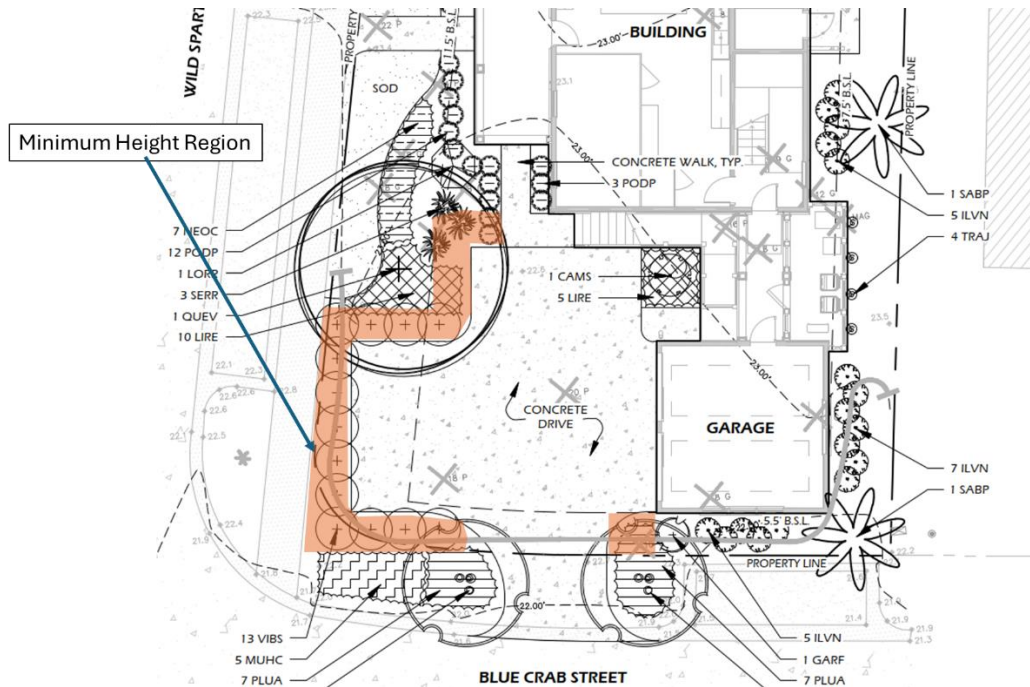


Fig 4. – Landscaping Min Height Region

- The HARB application differs from the landscape plan on driveway material. The driveway must be a pervious surface per CC&R’s article XX 20.10 (application states gravel with savannah grey brick perimeter apron). At the driveway entry point the committee will require a containment apron to prevent gravel from getting on road. Examples of pervious driveways with an entry brick apron can be seen at 7 Pearl and 7 Blue Crab for reference.
- Walkway concrete paths should be tabby shell finished matching the sidewalks within the community (also stated on the application but not on the landscape plan). Note: walkways can also be savannah gray brick matching driveway apron.
- Be aware that HARB is currently working with applicant at 60 Bruin on a small brick feature that will also be required on your lot in the northwest corner. The vision of HARB is that this brick feature will establish an aesthetically pleasing defining presentation for the community that will be duplicated throughout the neighborhood perimeter. We expect that feature to be finalized in the near future and we will be communicating requirements for incorporation into your revised landscaping plan at that time.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. No work including lot clearing is permitted until permits for the structures have been obtained and posted.

Applicant is reminded that mode of operation of this business must meet the requirements outlined in the architectural guidelines. Approval of this plan does not allow applicant to

regularly use more than two internal parking spaces within the community during operation.
Overflow parking must be on Bruin Rd.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,



Robert Nurnberg
On behalf of Tabby Roads HARB

Cc: Charlotte Moore
Town of Bluffton

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	December 4, 2024
PROJECT:	COFA-09-24-019336 5812 Guilford Place, Lot 12 (Stock Farm) New Commercial Construction
APPLICANT:	Jacob Woods, Court Atkins Architects, Inc.
PROPERTY OWNERS:	5812 Guilford Place, LLC
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Court Atkins Architects, Inc., on behalf of the owners, 5812 Guilford Place, LLC, requests the Historic Preservation Commission (HPC) approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new 2-story commercial main structure of approximately 2,420 SF and a connected 2-story Carriage House of approximately 1,050 SF to be constructed at 5812 Guilford Place, Lot 12, in the Stock Farm Development within Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD (NG-HD). See Attachments 1 and 2 for application and location/zoning map.

INTRODUCTION: The proposed main building is a 2-story structure with a 1,170 SF tenant space on the first floor and the 1,250 SF Alair Homes office on the second floor. The connected carriage house has a 525 SF tenant space on each floor.

The main building is reviewed as an Additional Building Type based on size (footprint and overall square footage), as well as architectural characteristics that are not distinctly one of the permitted building types in the NG-HD district. The setbacks for the site, which are determined by the Stock Farm Development Plan, have been met. Architectural details are provided in Attachment 3.

The primary structure has a cross-gable roof. A 2-story tabby stucco façade is featured at the front and left gables; the front facade includes the main entry, a balcony, and a 2-story trellis that screens a porch, stairwell and garden located behind the wall. The left side façade includes a secondary entry and a second-floor bay window. On the right elevation, a partial hip roof extends from the gable featuring two walls that are predominantly windows. The rear of the main structure has a 2-story porch underneath a shed roof. Materials on the main structure include cementitious fiber siding with 7”

exposure, both horizontal and vertical, tabby stucco over CMU (parapet walls), a combination of asphalt shingle and standing seam metal roofs, and a tabby stucco foundation.

A rear yard 2-story Carriage House is attached to the main building by a 2-story unenclosed connector with a staircase. The Carriage House has similar details including a gabled primary mass with a shed roof extending from the right elevation. Fiber cementitious siding, both horizontal and vertical will be applied, and roof material includes standing seam and dimensional asphalt shingles. A rear courtyard is also proposed. As there will be an elevation change from the front of the property to the rear, a ramp will be provided.

Staff comments on the conceptual design were reviewed at the October 7, 2024 Historic Preservation Committee Meeting (HPRC) (Attachment 2). The narrative provides the response from the Applicant.

Town Staff has not yet received an approval letter from Stock Farm POA.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed buildings have been designed to be sympathetic to the architectural character of the neighboring structures and will enhance the neighborhood by adding architectural variety and create a more complete built environment.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in

Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed buildings will be in conformance with applicable provisions provided in Article 5:

- 1) **Additional Building Type:** Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General- Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.
- 2) **General Standards:**
 - a) Building fronts for commercial structures must have at least one of the following: an arcade, colonnade, marquee, porch or awning. (UDO Sec. 5.15.6.C.2.) A porch is provided but is located behind the parapet wall and not fully visible; therefore, the Historic Preservation Commission must determine if the porch location meets the intent of this standard.
 - b) The service yard area must be large enough to include HVAC units, utilities and receptacles for all businesses. Utility meters must be screened from public view; the location is not identified and may not yet be known. (UDO Sec. 5.15.5.F.10.).
- 3) **Building Walls.**
 - a) Expression lines are lacking on the front façade, portion of the right/west façade, and portion of the left/east façade. The parapet walls and the rear elevation of the Carriage House do not include cornices. An expression line must delineate the division between first and second stories, and cornices must delineate the top of facades. (UDO Sec. 5.15.6.G.2.a.) The Historic Preservation Commission must determine if the use of the vertical wall at meets the intent of this standard.
- 4) **Columns and Railings.**
 - a) Per UDO Sec. 5.15.6.H.2.a., columns may be wood (painted or natural), cast iron, concrete with smooth finish, brick, stone, steel or tabby. Only the rear porch section identifies column material (painted

wood). Provide column detail for columns not shown to demonstrate material and configuration that complies with UDO Sec. 5.15.6.H.2.

- b) Per UDO Sec. 5.15.6.H.2.d., wood (termite resistant, painted or natural) and wrought or cast iron are the only permitted railing materials. Aluminum is proposed for the front façade balcony railing, the second-floor porch at the rear of the main building, and for the second-floor connector railing. The Historic Preservation Commission must determine if aluminum is an appropriate alternative material. Railing material for all stair locations has not been identified. The material(s) proposed for stair railings must be identified and consistent with the cited UDO section or approved by the HPC.

5) Doors and Windows:

- a) Per UDO Sec. 5.15.6.I.2.b., doors must be wood, metal or metal-clad. A door schedule must be provided to determine proposed door material(s) and operation shown.
- b) Per UDO Sec. 5.15.6.I.3.b., a fixed frame window cannot exceed 36 square feet and must be located within a retail storefront. Fixed frame windows are proposed on the front and right elevations and appear to be proposed on the rear elevation on the main building, as well as the rear of the carriage house. A window schedule was not submitted; more information is needed for all windows, including operation. The Historic Preservation Commission must determine the appropriateness of the fixed frame window type for proposed locations.

6) Landscaping (See Attachment 5):

Per the Applications Manual, a site plan (survey) indicating location, species, and caliper of existing trees and trees to be removed must be provided. (Applications Manual and UDO Section 3.22.2.A.). Replacement trees will be required as specified in UDO Sec. 5.3.7.F.4. Additionally, a tree canopy of 75% lot coverage, not including roof tops, must be provided for sites less than one (1) acre. and canopy coverage calculations shown per UDO Sec. 5.3.7.G. UDO Sec. 5.3.7.A. requires at least one large canopy street tree, and a foundation planting area at least 8 feet wide shall be maintained around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E. A Tree Removal Permit will be required.

7) Parking:

- a) Proposed parking spaces are partially on the subject property and extend into Stock Farm private right-of-way and will require approval from the Stock Farm POA.
 - b) Town Staff is awaiting verification to determine if an American with Disabilities Act (ADA) compliant space will be required. If required, adjustments to the plan may be necessary. Staff will work with the HOA to ensure that all existing spaces remain and new spaces meet current design standards.
- 8) **Other:**
- a) Landscaping and hardscaping encroachments into State-owned right-of-way (SC 46) will require approval of an encroachment permit from the State.
 - b) The building setbacks for Stock Farm apply and compliance shown. There may be a slight encroachment into the 20-foot front yard setback. This may be a Scribner's error, Town Staff will work with the Applicant to confirm that all setbacks are met at time of as-built foundation survey.
 - c) All signs must be reviewed through the Site Feature-HD process and meet the requirements found in Section 5.15.6.Q of the UDO.
 - d) Provide approval letter from Stock Farm POA.
3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing,

4. **Compliance with applicable requirements in the Applications Manual.**

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. A determination by the HPC that the front porch location behind the parapet wall meets the intent of UDO Sec. 5.15.6.C.2.
2. The service yard area must be large enough to contain all service-related items and utility meters must be screened from public view.
3. Provide column detail for columns not shown to demonstrate material and configuration that complies with UDO Sec. 5.15.6.H.2.
4. A determination by the HPC that aluminum is an appropriate alternative material for the front façade balcony railing, the second-floor porch at the rear of the main building, and for the second-floor connector railing.
5. Identification of railing material for all stair locations. The material(s) proposed for stair railings must be identified and consistent with permissible materials or an alternative material approved by the HPC.
6. Provide a door schedule to show that door material(s) comply with UDO Sec. 5.15.6.I.
7. A determination by the HPC that fixed frame windows are appropriate for the proposed locations.
8. Provide a window schedule to show that all windows comply with UDO Sec. 5.15.6.I.
9. Provide a site plan (survey) indicating location, species, and caliper of existing trees and trees to be removed per the Applications Manual and UDO Section 3.22.2.A. and identify replacement trees as specified in Sec. 5.3.7.F.4. A tree canopy of 75% lot coverage, not including roof tops, must be provided and canopy coverage calculations shown per UDO Sec. 5.3.7.G.
10. Provide at least one large canopy street tree per UDO Sec. 5.3.7.A. and a foundation planting area at least 8 feet wide shall be around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E.
11. A Tree Removal Permit is required per the Applications Manual.
12. Provide an approval letter from Stock Farm POA, which must include approval of the proposed parking spaces encroaching into the Stock Farm private Guilford Street right-of-way.
13. Revise plan accordingly if an American with Disabilities Act (ADA) compliant parking space is required.
14. Comply with the building setback requirements.
15. Per UDO Sec. 3.19, a Site Feature-HD permit is required for applicable future signage.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

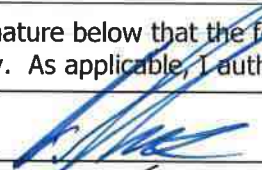
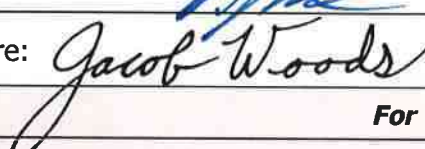
ATTACHMENTS:

1. Application and Narrative
2. Location and Zoning Map
3. Architectural Drawings
4. HPRC Comments & Applicant Response
5. Landscape Plan
6. Site Photos



**TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Court Atkins Architects, Inc.		Name: 5812 Guilford Place, LLC	
Phone: 843-815-2557		Phone: (912) 272-0201	
Mailing Address: P.O. Box 3978		Mailing Address: 5812 Guilford Place	
E-mail: jacob.woods@courtatkins.com		E-mail: walter.strong@alairhomes.com	
Town Business License # (if applicable): License No.24-04-2595			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Alair Homes Office		Conceptual: <input type="checkbox"/>	Final: <input type="checkbox"/> Amendment: <input checked="" type="checkbox"/>
Project Address: 5812 Guilford Place		Application for:	
Zoning District: Neighborhood General-HD		<input checked="" type="checkbox"/> New Construction	
Acreage: .178		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
Tax Map Number(s): R610 039 000 1487 0000		<input type="checkbox"/> Relocation	
Project Description: A +/- 2400 SF two-story main building with tabby parapet walls and			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 11/06/2024	
Applicant Signature: 		Date: 11/06/2024	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



**ATTACHMENT 1
TOWN OF BLUFFTON**

Section VII. Item #2.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input checked="" type="checkbox"/>
2. SITE DATA			
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type			
Building Setbacks	Front:20'	Rear:33'	Rt. Side:10' Lt. Side:10'
3. BUILDING DATA			
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage
Main Structure	Main Building	N/A	2420 SF
Ancillary	Carriage House	N/A	1050 SF
Ancillary			
4. SITE COVERAGE			
Impervious Coverage		Coverage (SF)	
Building Footprint(s)		1695 SF	
Impervious Drive, Walks & Paths		1841 SF	
Open/Covered Patios		715 SF	
A. TOTAL IMPERVIOUS COVERAGE		4251 SF	
B. TOTAL SF OF LOT		7766 SF	
% COVERAGE OF LOT (A/B= %)		54.7%	
5. BUILDING MATERIALS			
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation
Foundation	Tabby Stucco	Columns	Cementitious
Walls	Vertical & Horizontal Cement. Siding	Windows	Aluminum / Clad (Casement & Fixed)
Roof	Standing Seam & Asphalt Shingle	Doors	Aluminum / Clad
Chimney	N/A	Shutters	N/A
Trim	Cementitious	Skirting/Underpinning	N/A
Water table	KDAT 2X3	Cornice, Soffit, Frieze	Smooth Cementitious
Corner board	N/A	Gutters	N/A
Railings	Black Anodized Aluminum	Garage Doors	N/A
Balusters	Black Anodized Aluminum	Green/Recycled Materials	N/A
Handrails	Black Anodized Aluminum		



**ATTACHMENT 1
TOWN OF BLUFFTON**

Section VII. Item #2.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.




TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).




 Signature of Property Owner or Authorized Agent

11/06/2024

 Date

Walter Strong

 Printed Name of Property Owner or Authorized Agent



 Signature of Applicant
 Jacob Woods

 Printed Name of Applicant

11/06/2024

 Date

November 06, 2024

Project: Alair Homes Office (5812 Guilford Place)

Subject: Project Narrative Final HPC Submittal

Enclosed are the Architectural and Landscape drawings of the Alair Homes Office for Final HPC Review.

Project Description

The Alair Homes Office is a proposed 2 Story Building with a connected 2 Story Carriage House in the Neighborhood General Historic District in Bluffton, located in the Stock Farm development.

Existing Conditions

Currently, 5812 Guilford Place is an empty lot with trees and foliage. There is a 2 Story building to the East and an empty lot to the West, with residential construction on the other side of Guilford Place.

Proposed Building Construction

The proposed architectural program for the project is a 2 story main structure with a 1170 SF tenant space on the first floor and the 1250 SF Alair Homes office on the second floor. The adjacent connected carriage house has a 525 SF tenant space on each floor. The expected occupancy for each space is Business. There are two exterior stairs, one off of May River Road and the other between the structures.

There are two tabby parapet walls, similar in character to the adjacent Hair and So On Salon. Trellises wrap the two-story entry porch off of May River Road, allowing plants to climb the building.

The architectural massing of the building includes simple roof forms with standing seam and asphalt shingle roofing. The exterior materials for the building will be cementitious fiber siding (horizontal and vertical). The porch railing will be metal.

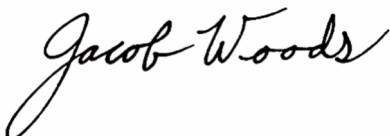
Changes from Concept HPC Meeting

Following the 10/7 meeting, it was determined that the main changes would be dropping the carriage house bearing, lowering the band board there and reworking the central connecting stair.

We have lowered the bearing of the carriage house 2', reducing its scale in comparison to the main structure and dropped the band board accordingly. In the connector, we have adjusted the stair to protrude out of the enclosure and have screened the stair internally from the adjacent storage / service yard space. Additionally, we have provided multiple details, including the profile of the aluminum guardrail, and have provided dimensions of the front balcony.

Please reach out if there are any questions about the submittal.

Regards,

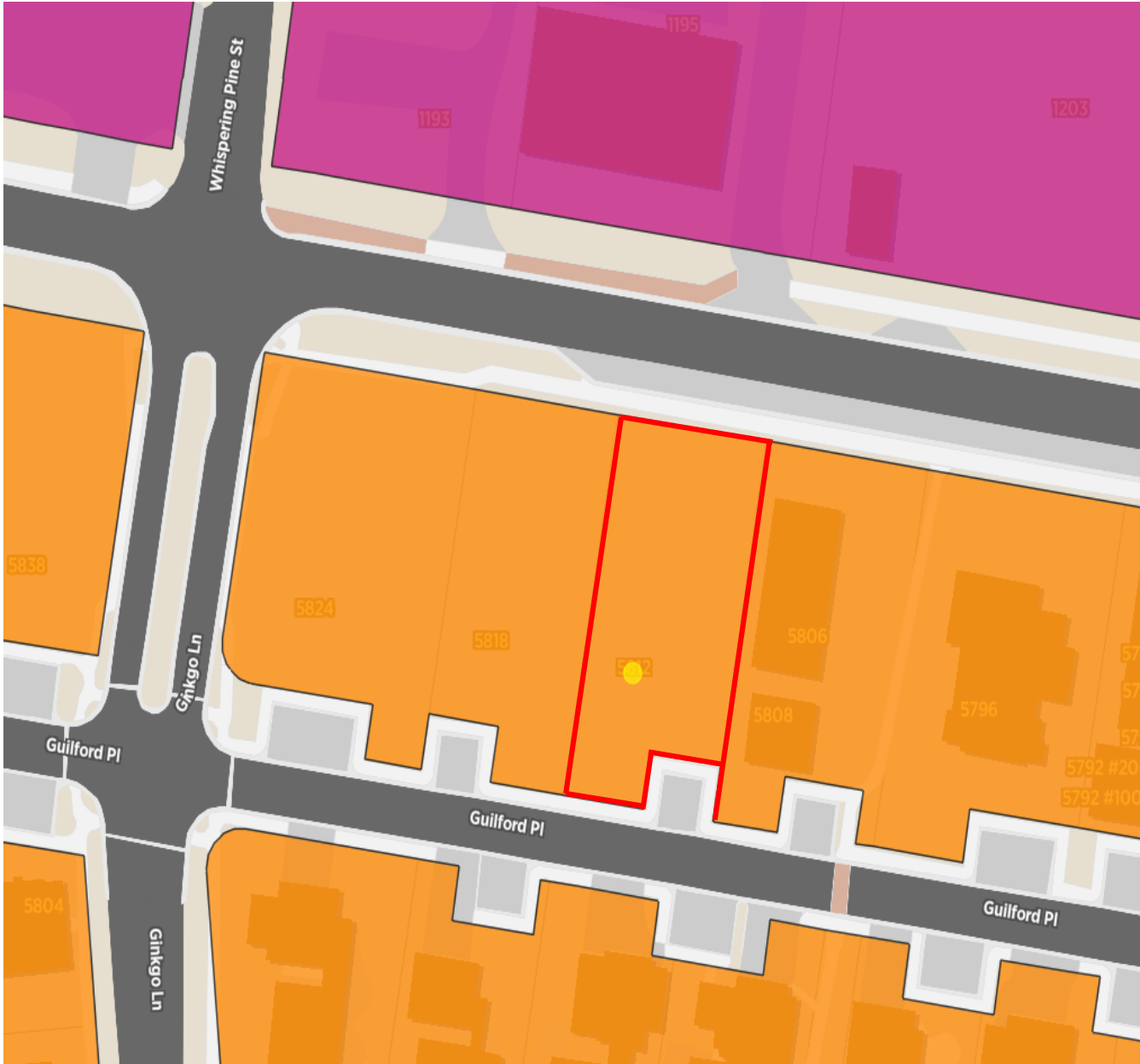


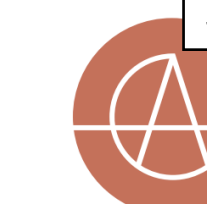
Jacob Woods, Project Designer

ATTACHMENT 2
LOCATION & ZONING MAP

Section VII. Item #2.

5812 Guilford Place
Neighborhood General-HD District





COURT ATKINS GROUP

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

ALAIR - STOCK FARM OFFICE

12 GUILFORD PLACE (LOT 5812), BLUFFTON, SOUTH CAROLINA 29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

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PROJECT INFO

Date
11.06.2024
Project No.
24-011

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

COVER

A0.0

FINAL HPC SUBMITTAL

ALAIR - STOCK FARM OFFICE

12 GUILFORD PLACE (LOT 5812), BLUFFTON, SOUTH CAROLINA 29910

SHEET INDEX:

SHT. #	SHEET NAME	07.01.2024 DESIGN DEVELOPMENT	09.09.2024 CONCEPT HPC / STOCK FARM SUBMITTAL	11.06.2024 FINAL HPC SUBMITTAL
A0.0	COVER	X	X	X
A0.1	GENERAL NOTES AND CODE SUMMARY	X		
A1.0	ARCHITECTURAL SITE PLAN	X	X	X
A0.3	FIRST FLOOR LIFE SAFETY PLAN	X		
A0.4	SECOND FLOOR LIFE SAFETY PLAN	X		
A2.0	FIRST FLOOR PLAN	X	X	X
A2.1	SECOND FLOOR PLAN	X	X	X
A2.2	ROOF PLAN	X	X	X
A3.0	EXTERIOR ELEVATIONS	X	X	X
A3.1	EXTERIOR ELEVATIONS	X	X	X
A3.2	EXTERIOR ELEVATIONS	X	X	X
A4.0	BUILDING SECTIONS	X	X	
A4.1	BUILDING SECTIONS	X	X	X
A5.0	WALL SECTIONS	X	X	X
A5.2	DETAILS	X		X
A8.0	FIRST FLOOR RCP	X		
A8.1	SECOND FLOOR RCP	X		
A9.4	PERSPECTIVES	X	X	X
	LANDSCAPE DRAWINGS	X	X	X
	SURVEY	X	X	X

PROJECT INFORMATION:

NAME OF PROJECT: ALAIR STOCK FARM OFFICE
 ADDRESS: 12 GUILFORD PLACE
 BLUFFTON, SOUTH CAROLINA
 BUSINESS (B)
 OWNER CONTACT: WALTER STRONG
 TOWN OF BLUFFTON
 CODE ENFORCEMENT JURISDICTION:
 INTERNATIONAL BUILDING CODE (IBC): 2021
 INTERNATIONAL MECHANICAL CODE: 2021
 INTERNATIONAL PLUMBING CODE: 2021
 THE NATIONAL ELECTRICAL CODE: 2020
 INTERNATIONAL FUEL GAS CODE: 2021
 INTERNATIONAL FIRE CODE: 2021
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009
 ICC/ANSI A117.1: 2017

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
PLUMBING/FIRE PROTECTION	ENGINEER NAME	XX #XXXX	(###) ###-####
MECHANICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
STRUCTURAL	ENGINEER NAME	XX #XXXX	(###) ###-####
CIVIL	ENGINEER NAME	XX #XXXX	(###) ###-####
LAND PLANNING/ LANDSCAPE	DAN KEEFER	(843) 757-7411

PROJECT TEAM:

OWNER CONTACT
 ALAIR HOMES
 WALTER STRONG
 5812 GUILFORD PLACE
 BLUFFTON, SC 29910
 (912)272-0201 PH
 (843) 815-2547 FAX

ARCHITECT
 COURT ATKINS ARCHITECTS, INC.
 32 BRUIN ROAD
 P.O. BOX 3978
 BLUFFTON, SC 29910
 (843) 815-2557 PH
 (843) 815-2547 FAX

STRUCTURAL ENGINEER

TBD

GENERAL CONTRACTOR

TBD

MECHANICAL PLUMBING & FIRE PROTECTION

TBD

LANDSCAPE ARCHITECT

WITMER JONES KEEFER
 DANIEL KEEFER
 23 PROMENADE STREET, SUITE 201
 BLUFFTON, SC 29910
 (843) 757-7411

ELECTRICAL ENGINEER

TBD

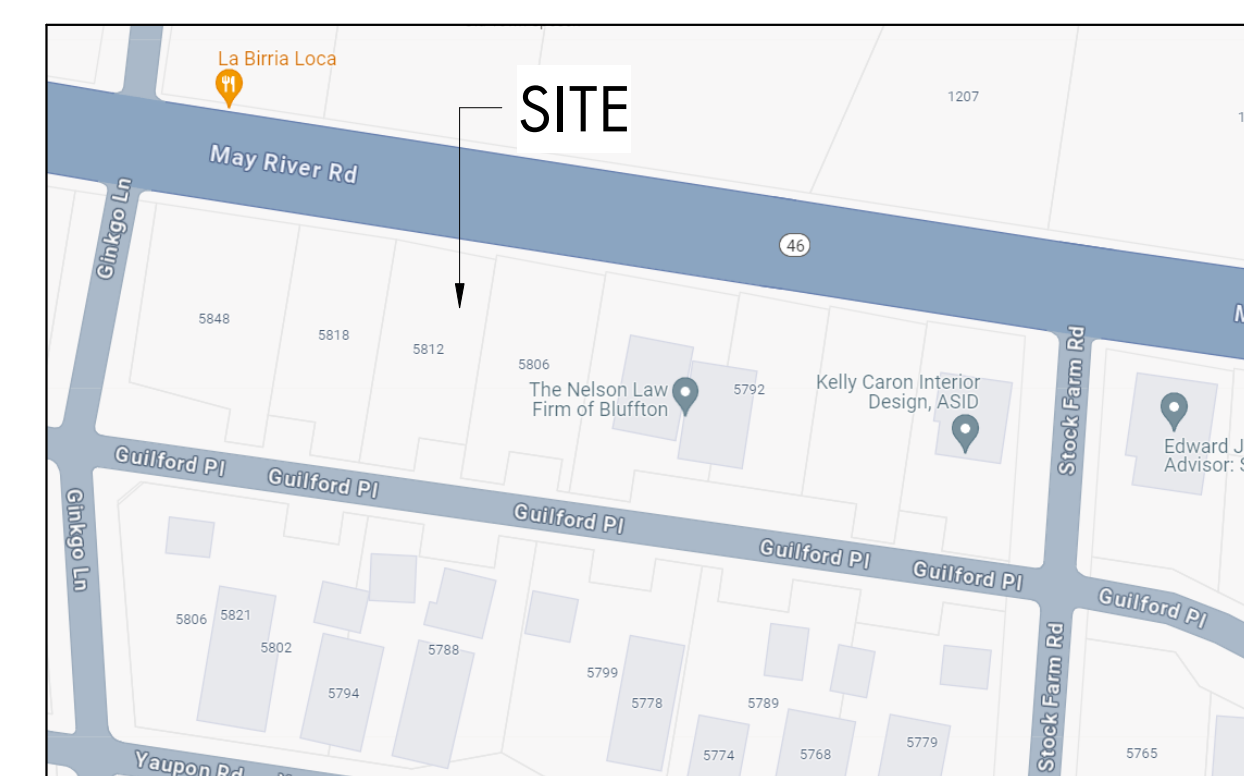
CIVIL ENGINEER

TBD

INTERIOR DESIGNER

TBD

VICINITY MAP - N.T.S.



GENERAL NOTES:

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

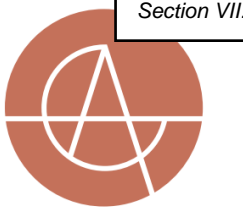
THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE BUSINESS (B)

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY; REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.



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Date
11.06.2024
Project No.
24-011

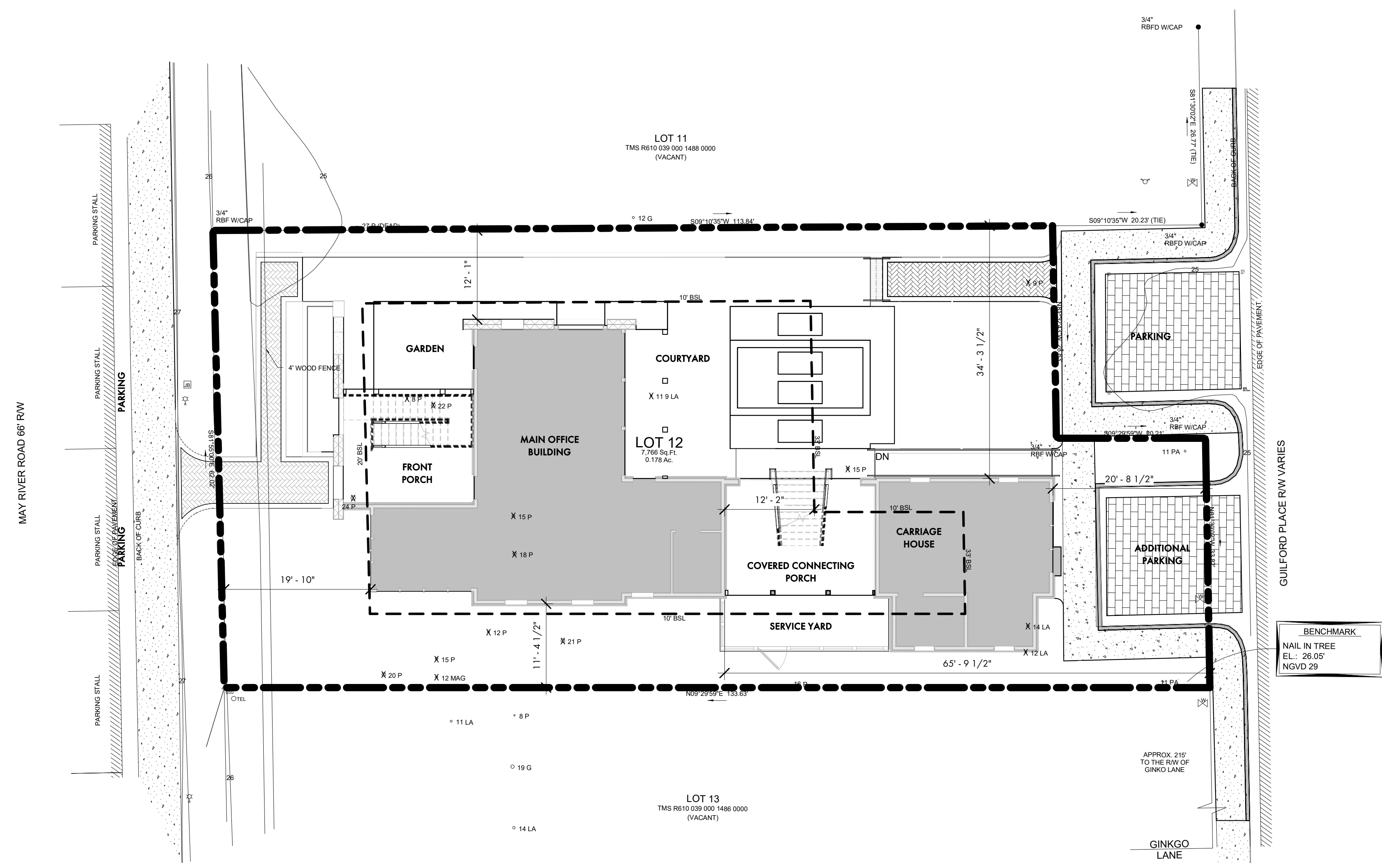
ISSUE

NO. REV. DATE DESCRIPTION

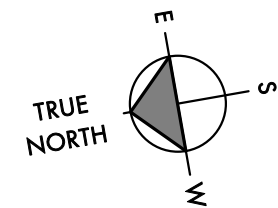
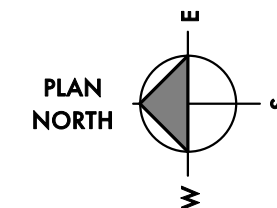
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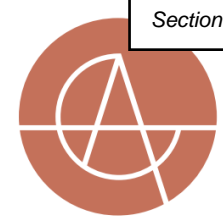
ARCHITECTURAL SITE PLAN

A1.0



1 SITE PLAN - ARCHITECTURAL
A1.0 1" = 10'-0"





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SHEET TITLE

FIRST FLOOR PLAN

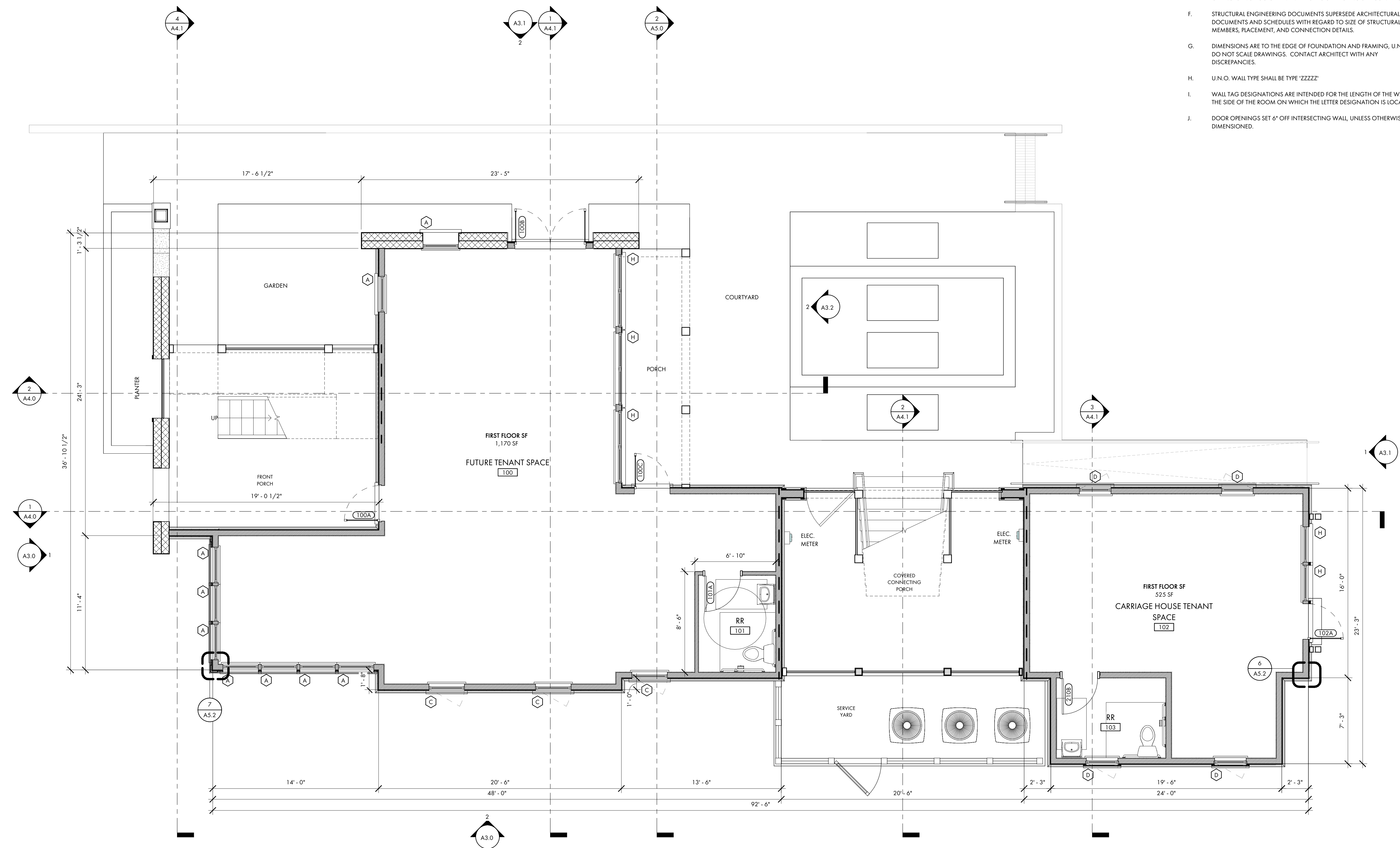
A2.0

FLOOR PLAN - SYMBOL KEY

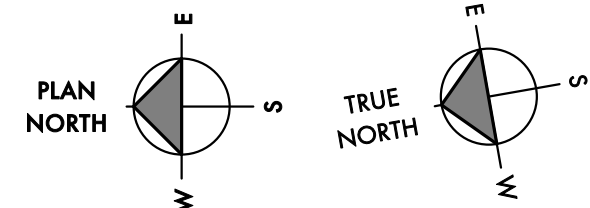
- 3 5/8" MTL. STUD WALL WITH 5/8" GYPSUM WALLBOARD
- 6" MTL. STUD WALL WITH 5/8" GYPSUM WALLBOARD
- SOUND BATT INSULATION
- 1 HOUR FIRE RATED WALL
- WINDOW TAG
- WALL TAG
- DOOR TAG

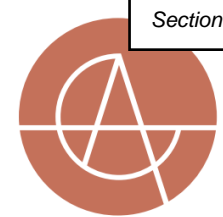
GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- E. ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- G. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'ZZZZZ'
- I. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



1 FIRST FLOOR PLAN
A2.0 1/4" = 1'-0"





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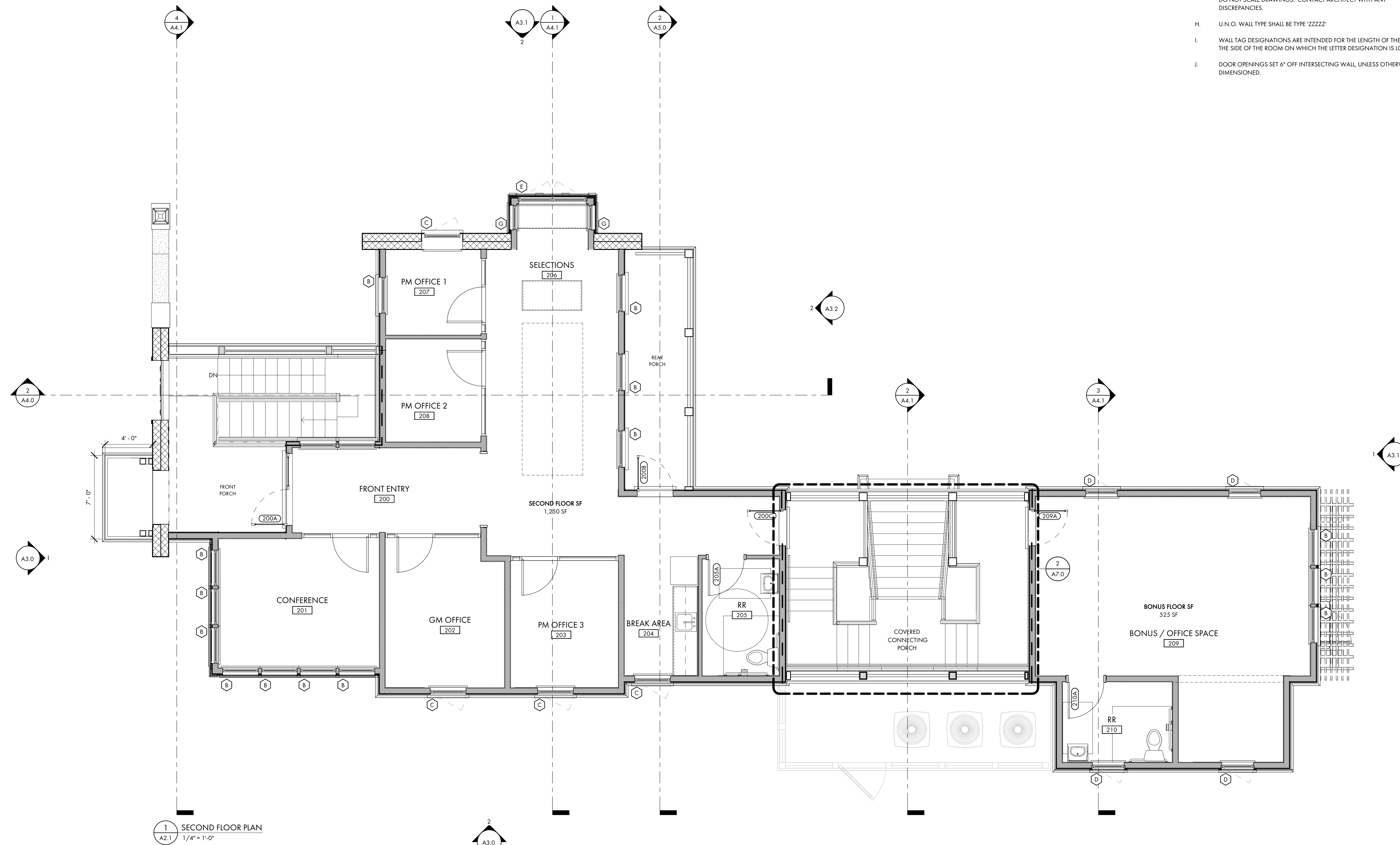
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FLOOR PLAN - SYMBOL KEY

- 3 5/8" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- 6" MTL STUD WALL WITH 5/8" GYPSUM WALLBOARD
- SOUND BATT INSULATION
- 1 HOUR FIRE RATED WALL
- WINDOW TAG
- WALL TAG
- DOOR TAG

GENERAL FLOOR PLAN NOTES:

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- E. ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
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- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



1 SECOND FLOOR PLAN
A2.1 1/4" = 1'-0"

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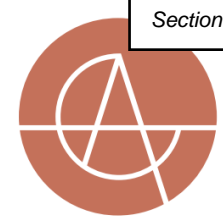
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NO.	REV.	DATE	DESCRIPTION

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SECOND FLOOR PLAN

A2.1



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ROOF PLAN

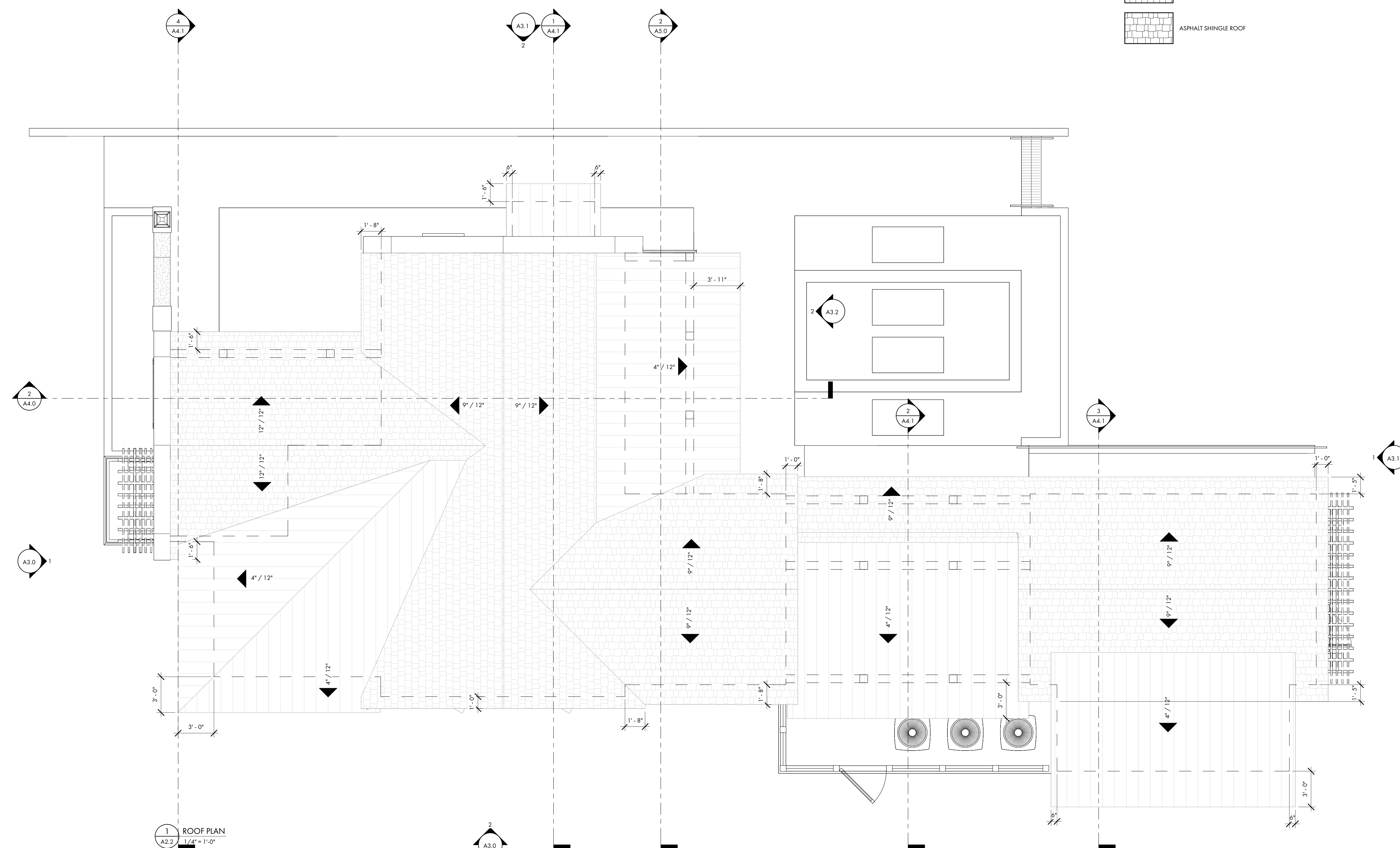
A2.2

GENERAL ROOF PLAN NOTES:

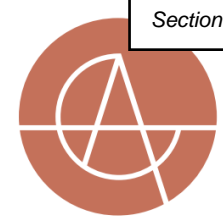
- A. AT ALL ROOF RIDGES AND HIPs USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2" BOTH WAYS.
- B. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY
- C. VERIFY ROOF TOP EQUIPMENT CLEARANCES W/ MANUFACTURERS TO VERIFY EQUIPMENT LAYOUTS.

ROOF PLAN LEGEND

- RISE / RUN
- SLOPE DIRECTION
- STANDING SEAM METAL ROOF
- ASPHALT SHINGLE ROOF



1 ROOF PLAN
A2.2 1/4" = 1'-0"



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EXTERIOR ELEVATIONS

A3.0

GENERAL EXTERIOR ELEVATION NOTES:

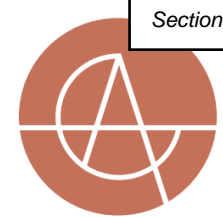
A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



1 FRONT (NORTH) ELEVATION
A3.0 1/4" = 1'-0"



2 RIGHT (WEST) ELEVATION
A3.0 1/4" = 1'-0"



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SHEET TITLE

EXTERIOR ELEVATIONS

A3.1

GENERAL EXTERIOR ELEVATION NOTES:

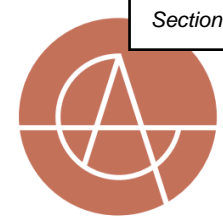
A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



1 REAR (SOUTH) ELEVATION
A3.1 1/4" = 1'-0"



2 LEFT (EAST) ELEVATION
A3.1 1/4" = 1'-0"



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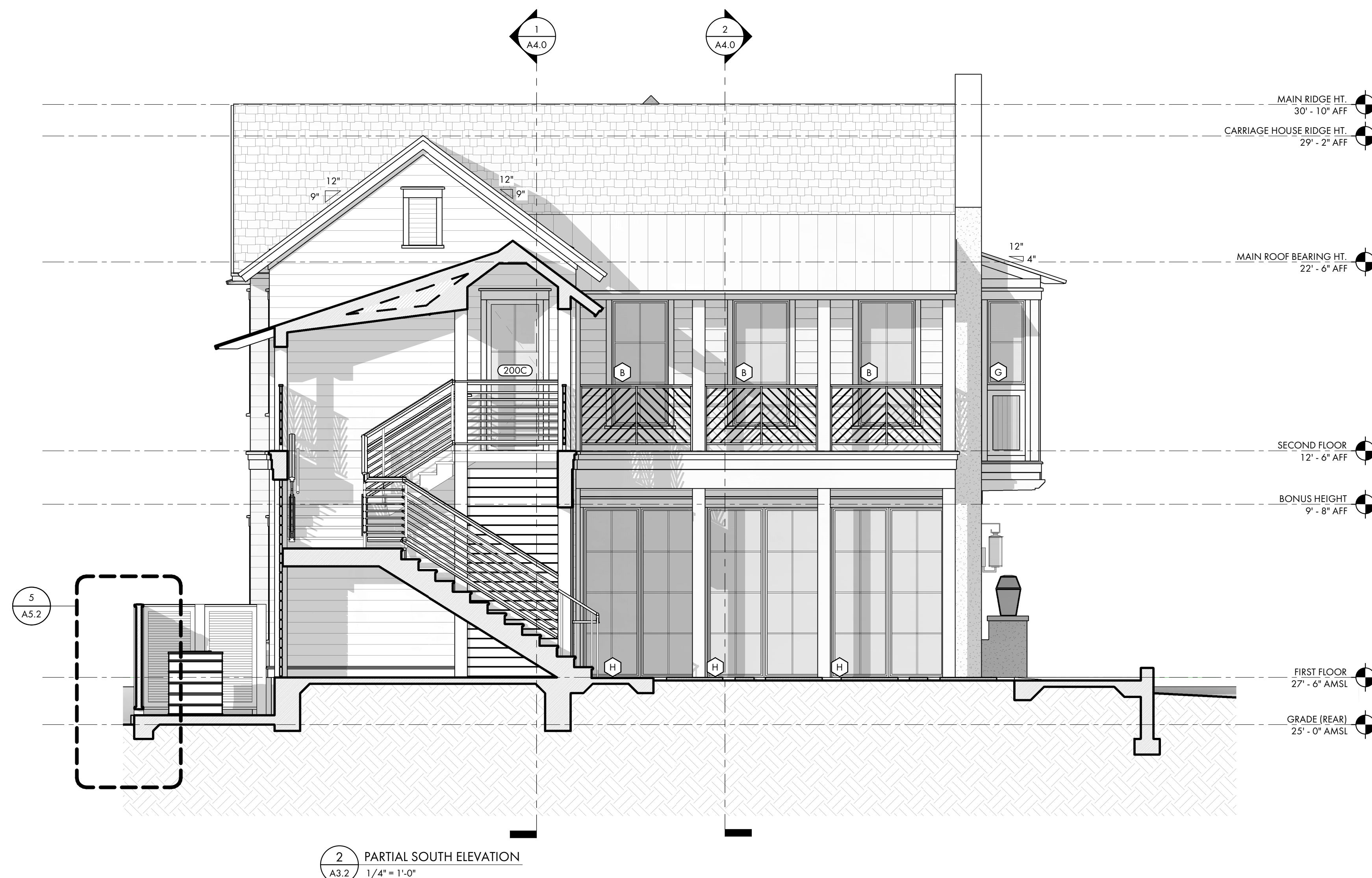
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GENERAL EXTERIOR ELEVATION NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



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EXTERIOR ELEVATIONS

A3.2



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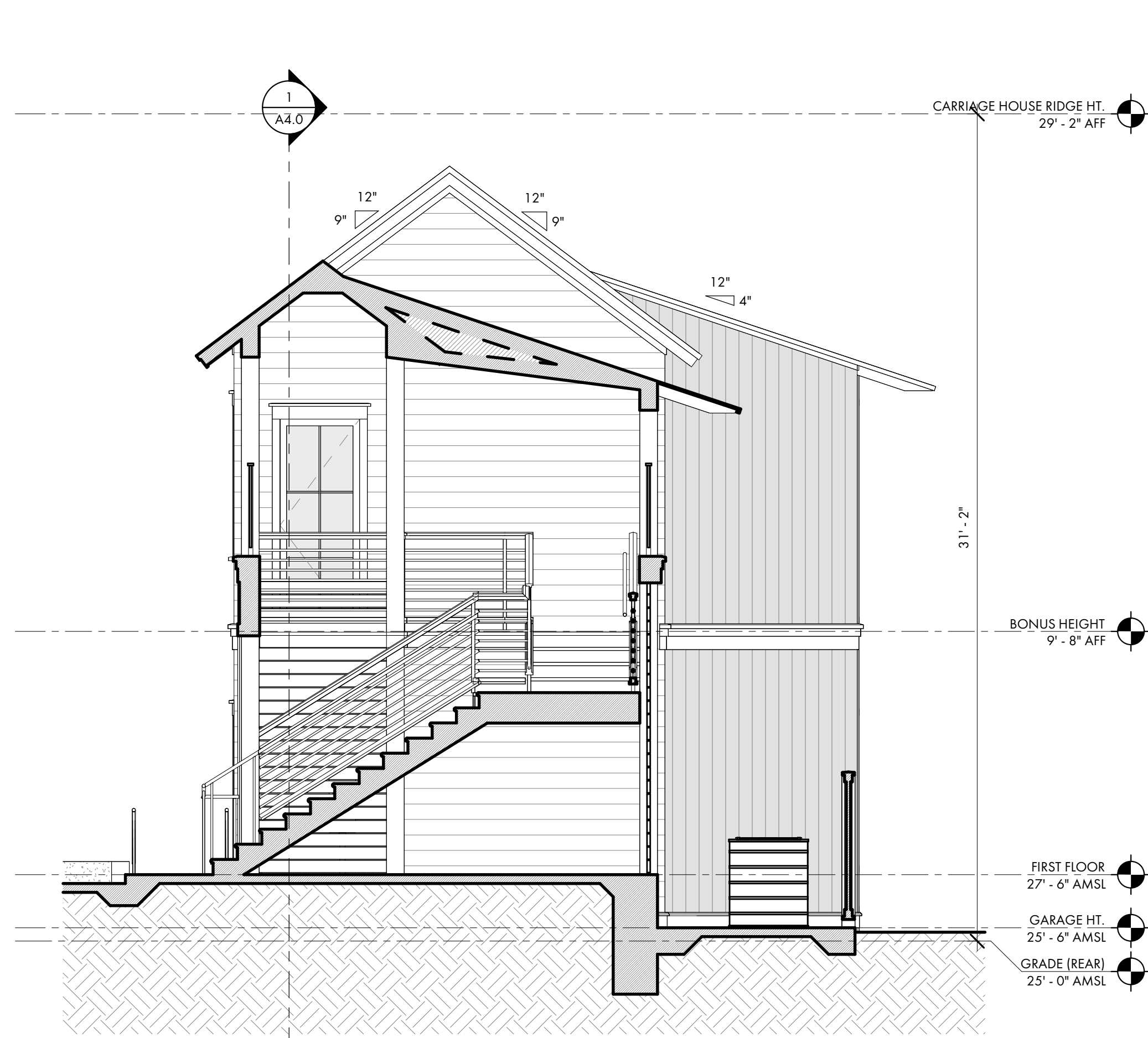
ISSUE

NO. REV. DATE DESCRIPTION

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BUILDING SECTIONS

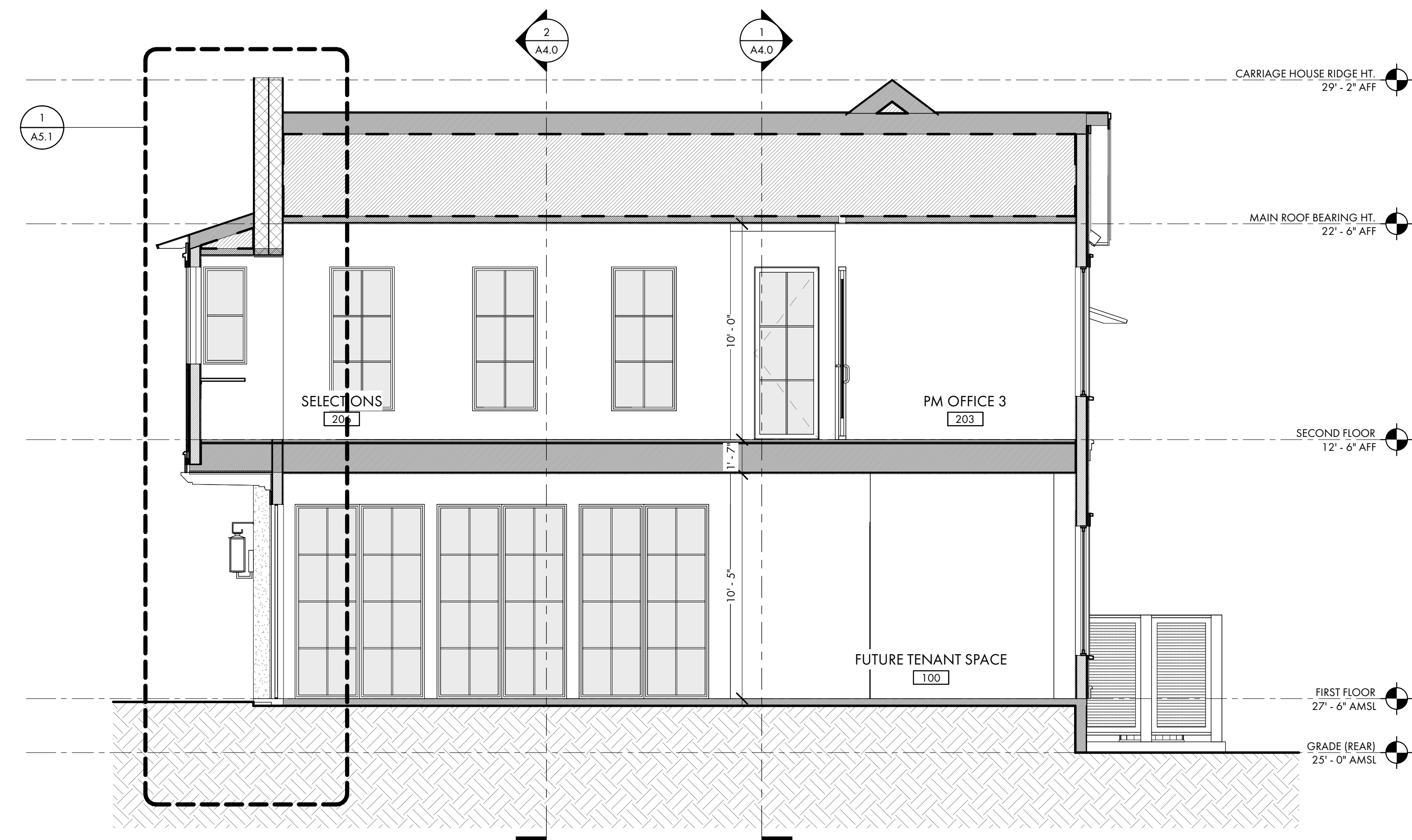
A4.1



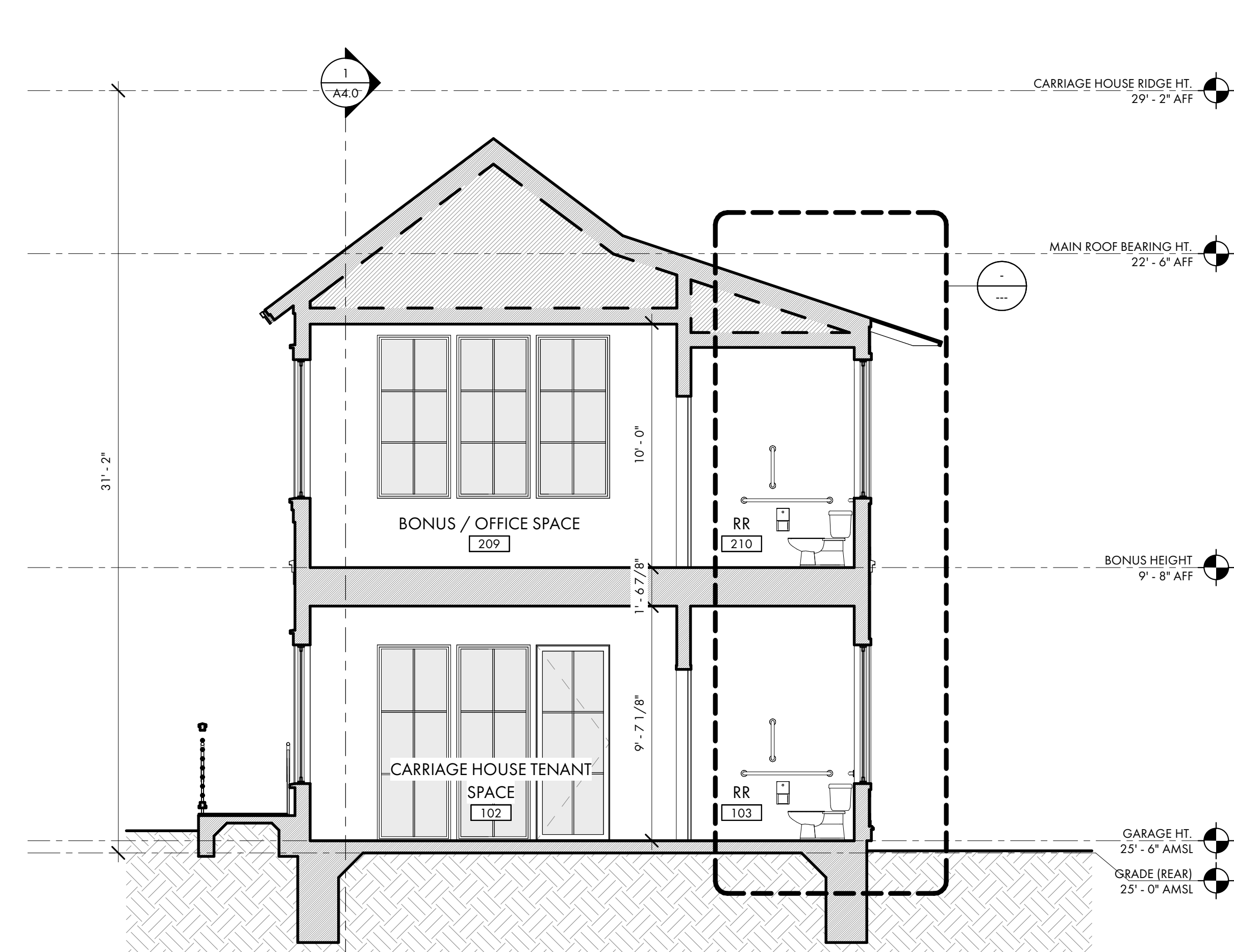
2 BUILDING SECTION D
A4.1 1/4" = 1'-0"



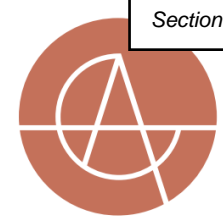
4 BUILDING SECTION G
A4.1 1/4" = 1'-0"



1 BUILDING SECTION C
A4.1 1/4" = 1'-0"



3 BUILDING SECTION E
A4.1 1/4" = 1'-0"



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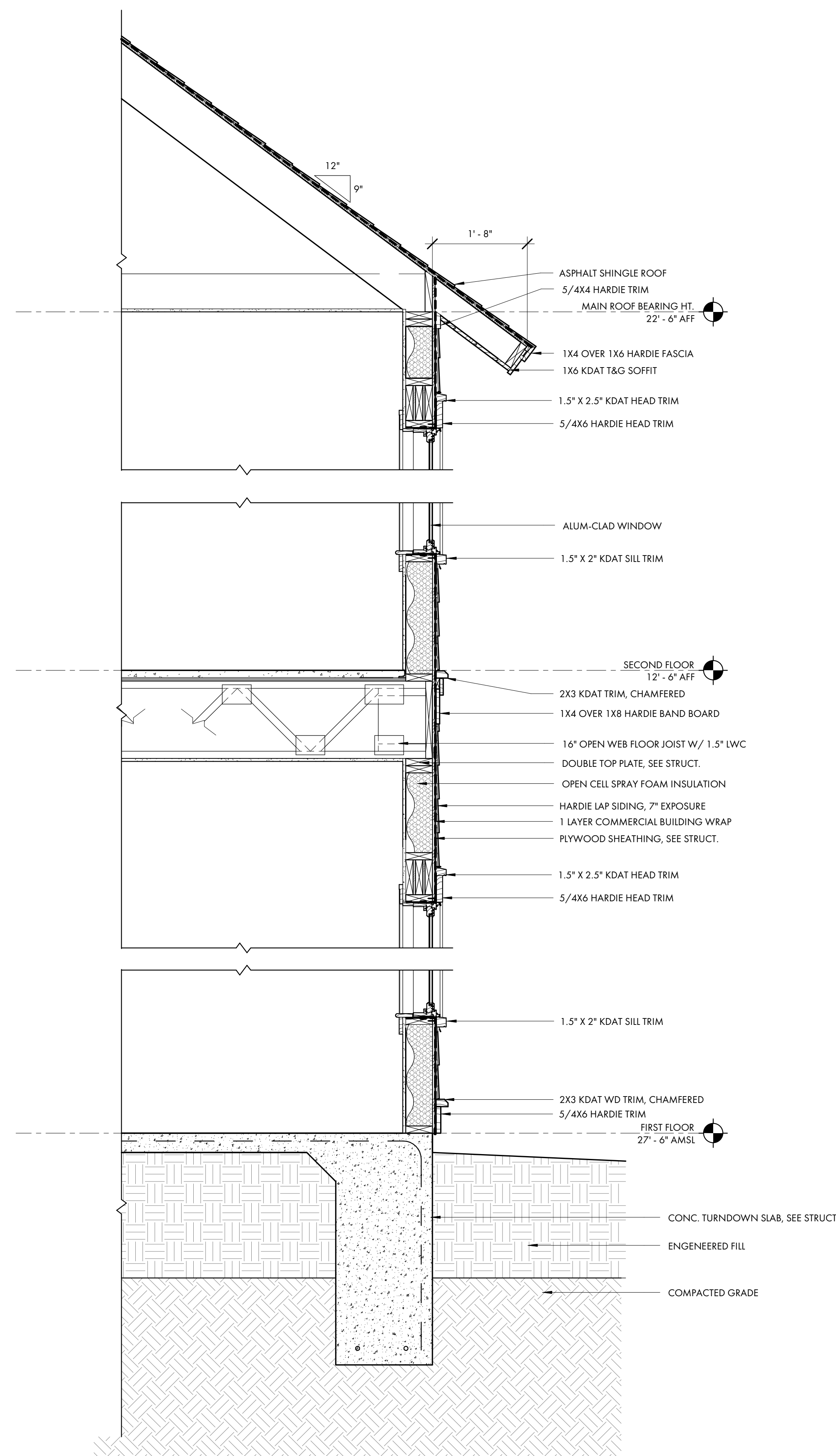
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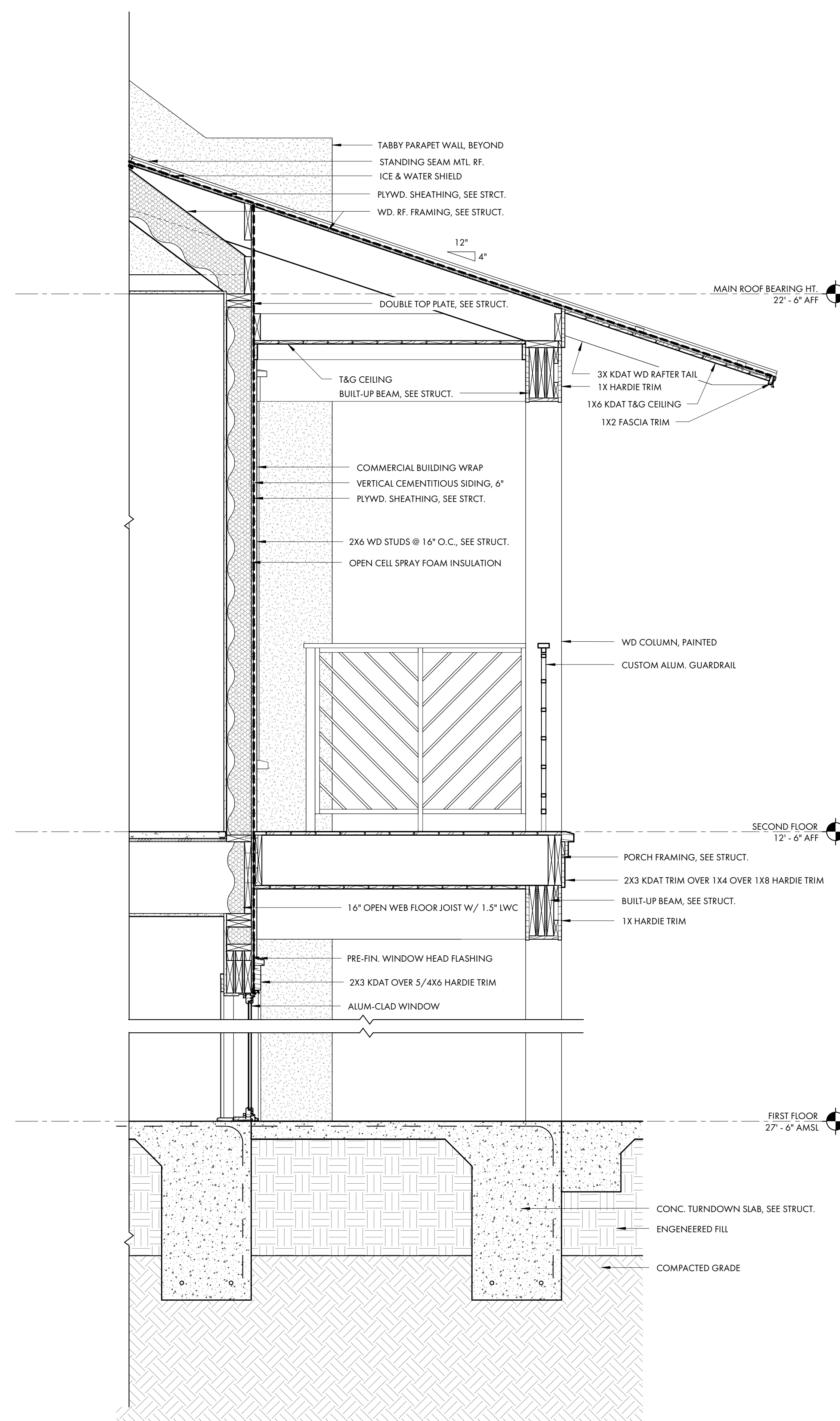
SHEET TITLE

WALL SECTIONS

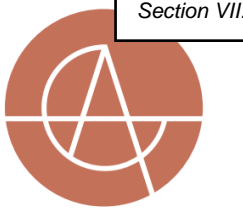
A5.0



2 TYP. WALL SECTION
A5.0 3/4" = 1'-0"



1 REAR PORCH WALL SECTION
A5.0 3/4" = 1'-0"



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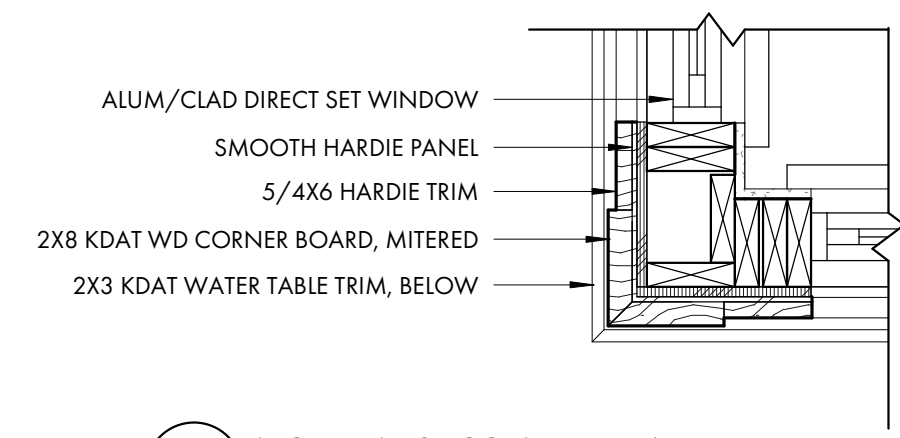
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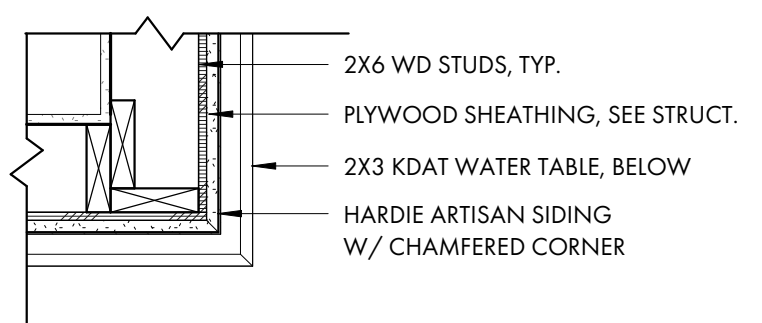
SHEET TITLE

DETAILS

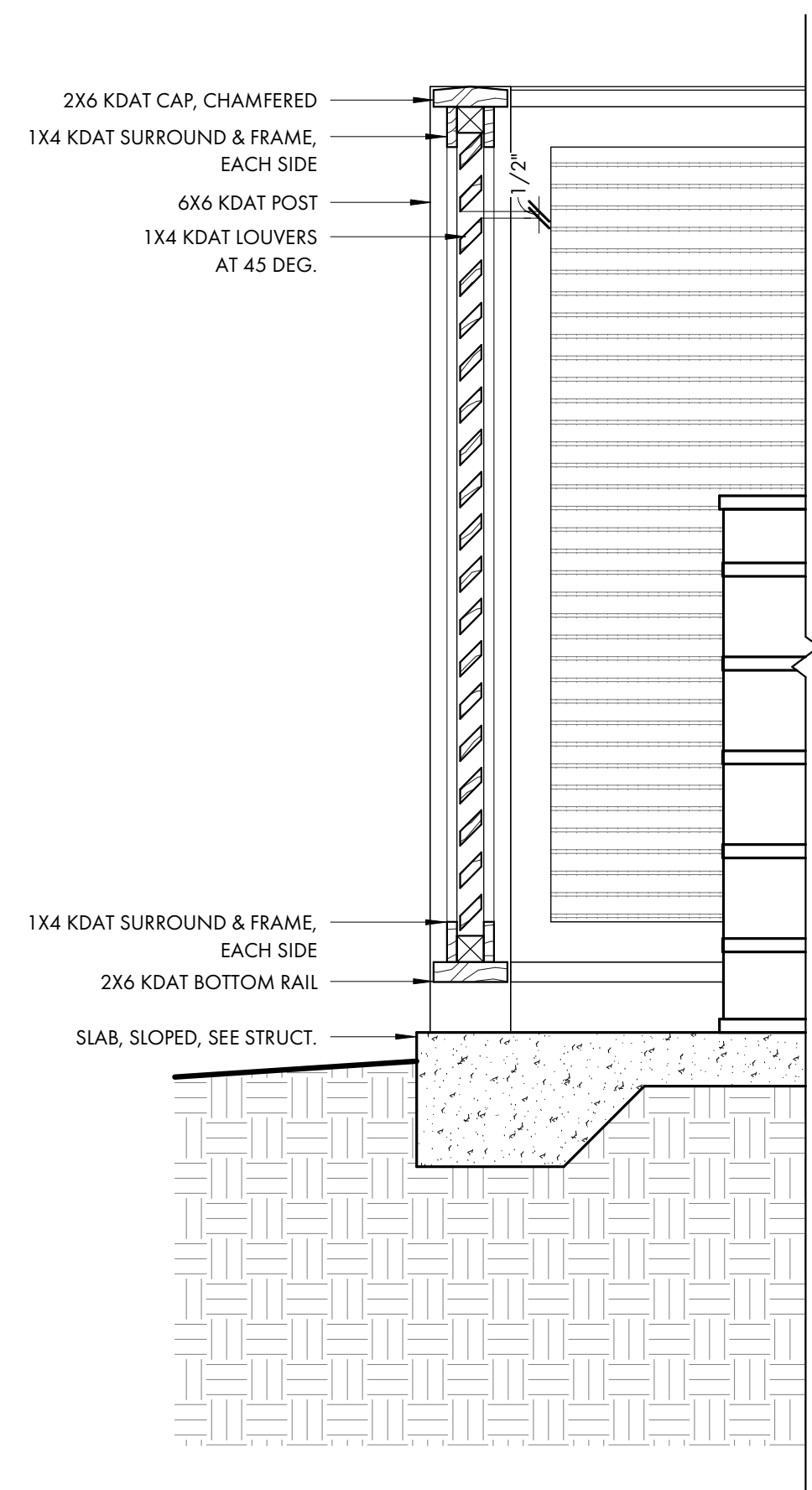
A5.2



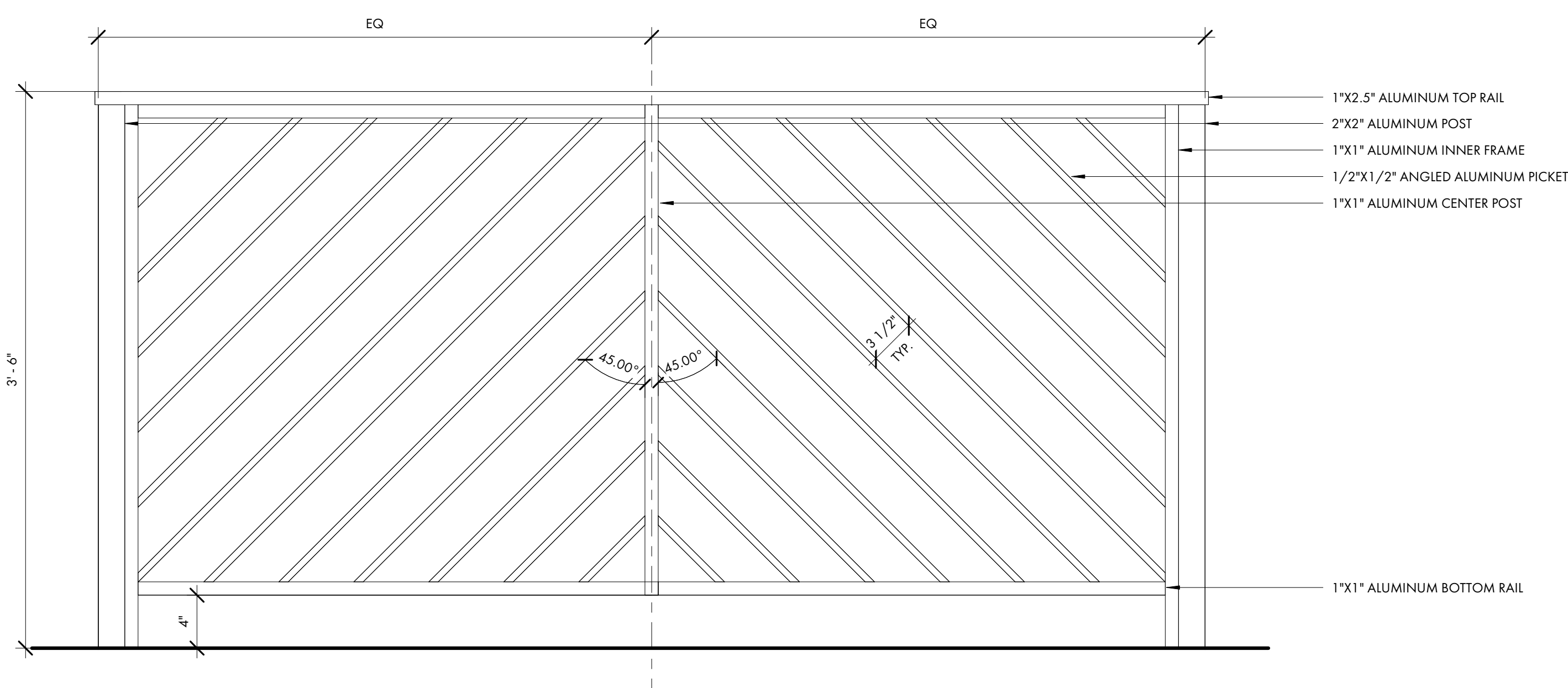
7 NORTHWEST CORNER DETAIL
A5.2 1" = 1'-0"



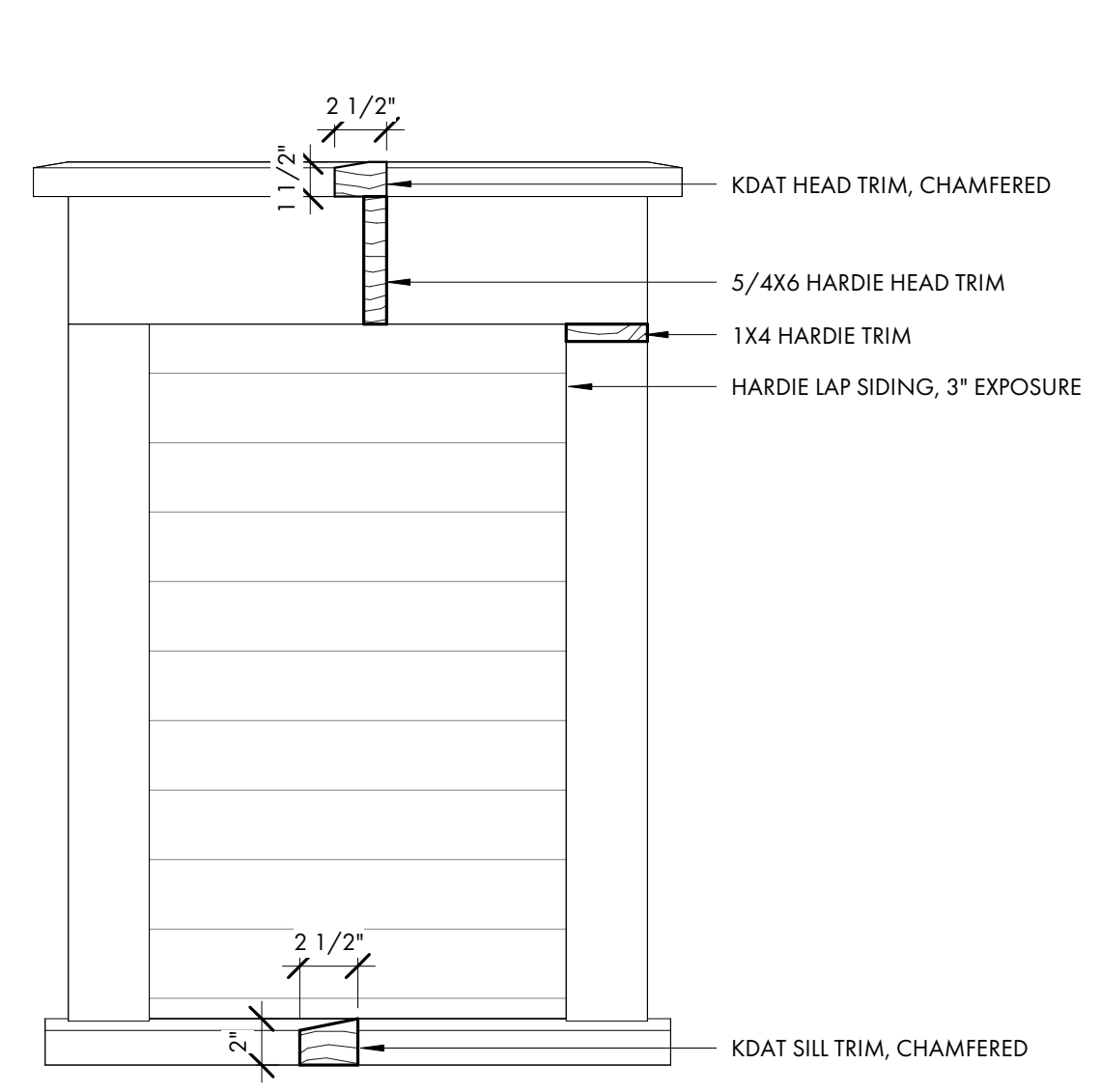
6 TYP. CORNER DETAIL
A5.2 1" = 1'-0"



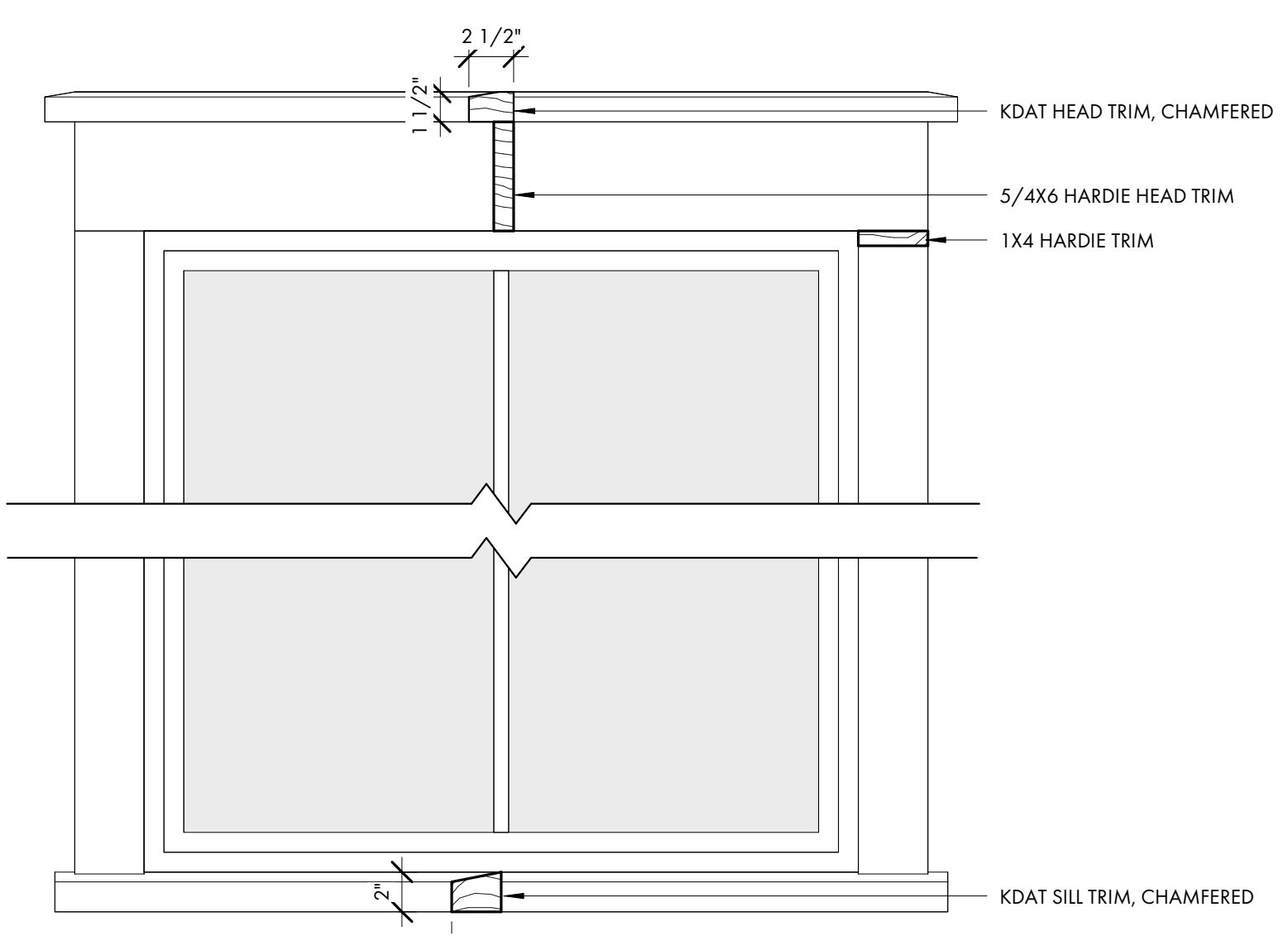
5 SERVICE YARD DETAIL
A5.2 1" = 1'-0"



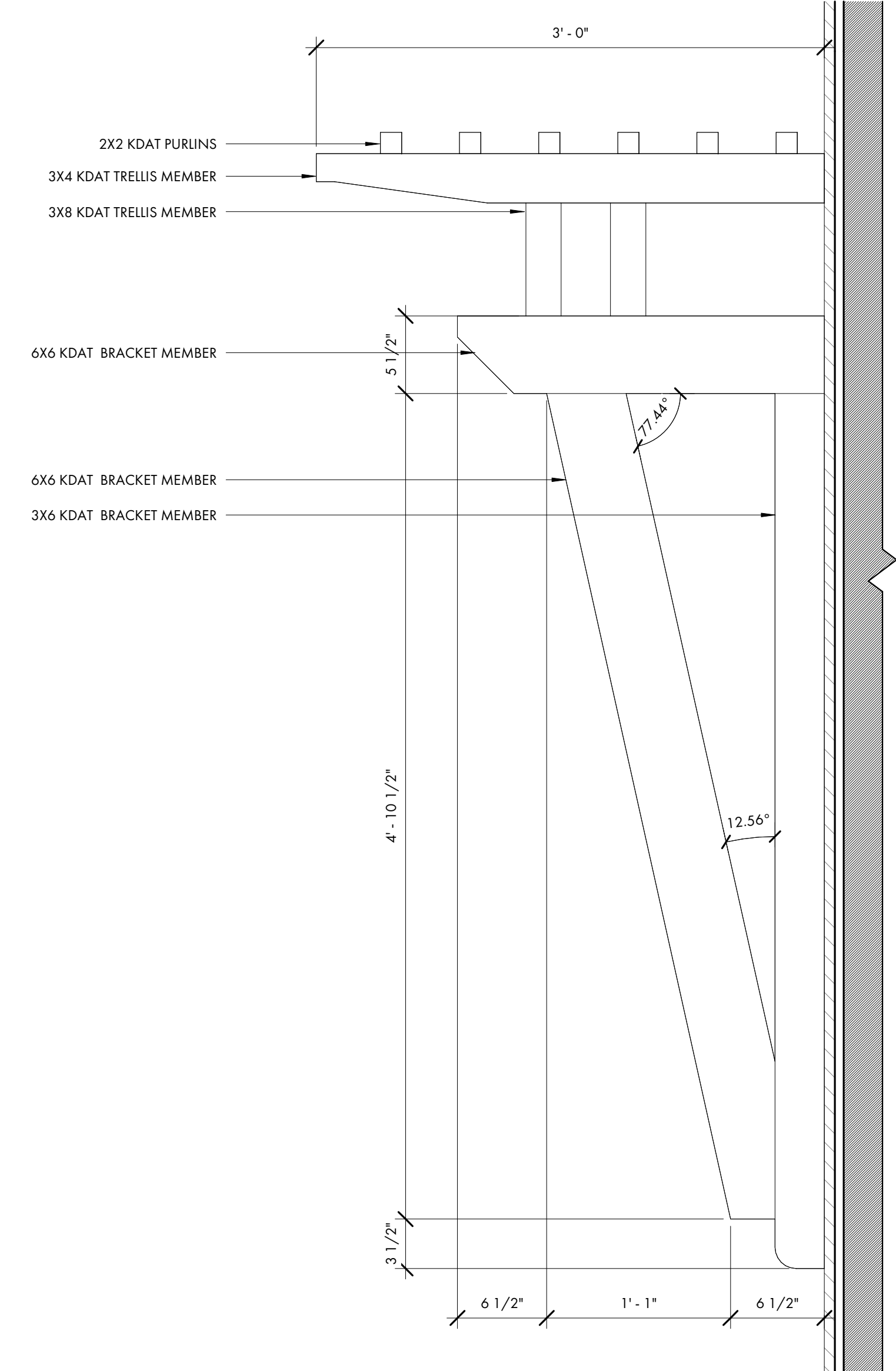
4 DECORATIVE RAILING DETAIL
A5.2 1 1/2" = 1'-0"



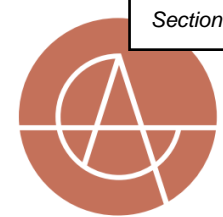
3 TYP. FAUX LOUVER DETAIL
A5.2 1 1/2" = 1'-0"



2 TYP. WINDOW TRIM DETAIL
A5.2 1 1/2" = 1'-0"



1 TYP. PERGOLA DETAIL
A5.2 1 1/2" = 1'-0"



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2 REAR PERSPECTIVE
A9.4



1 FRONT PERSPECTIVE
A9.4

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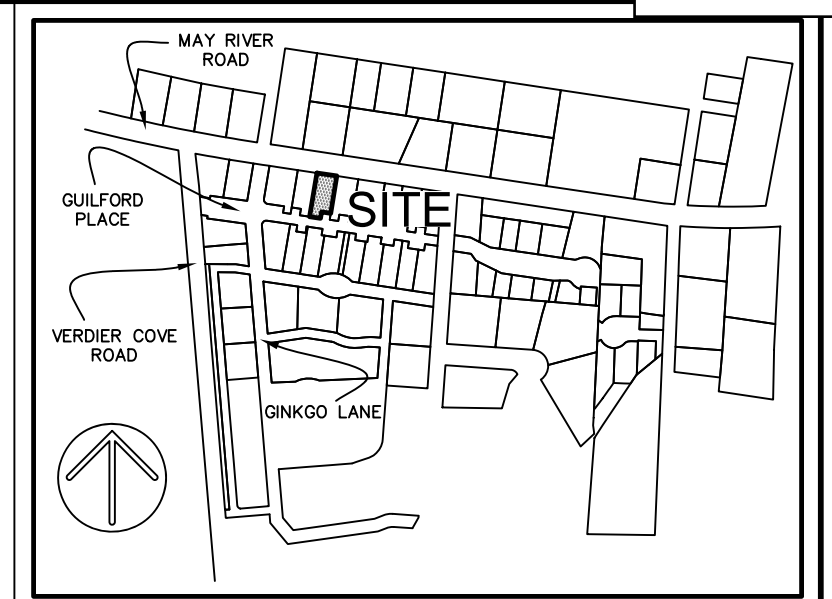
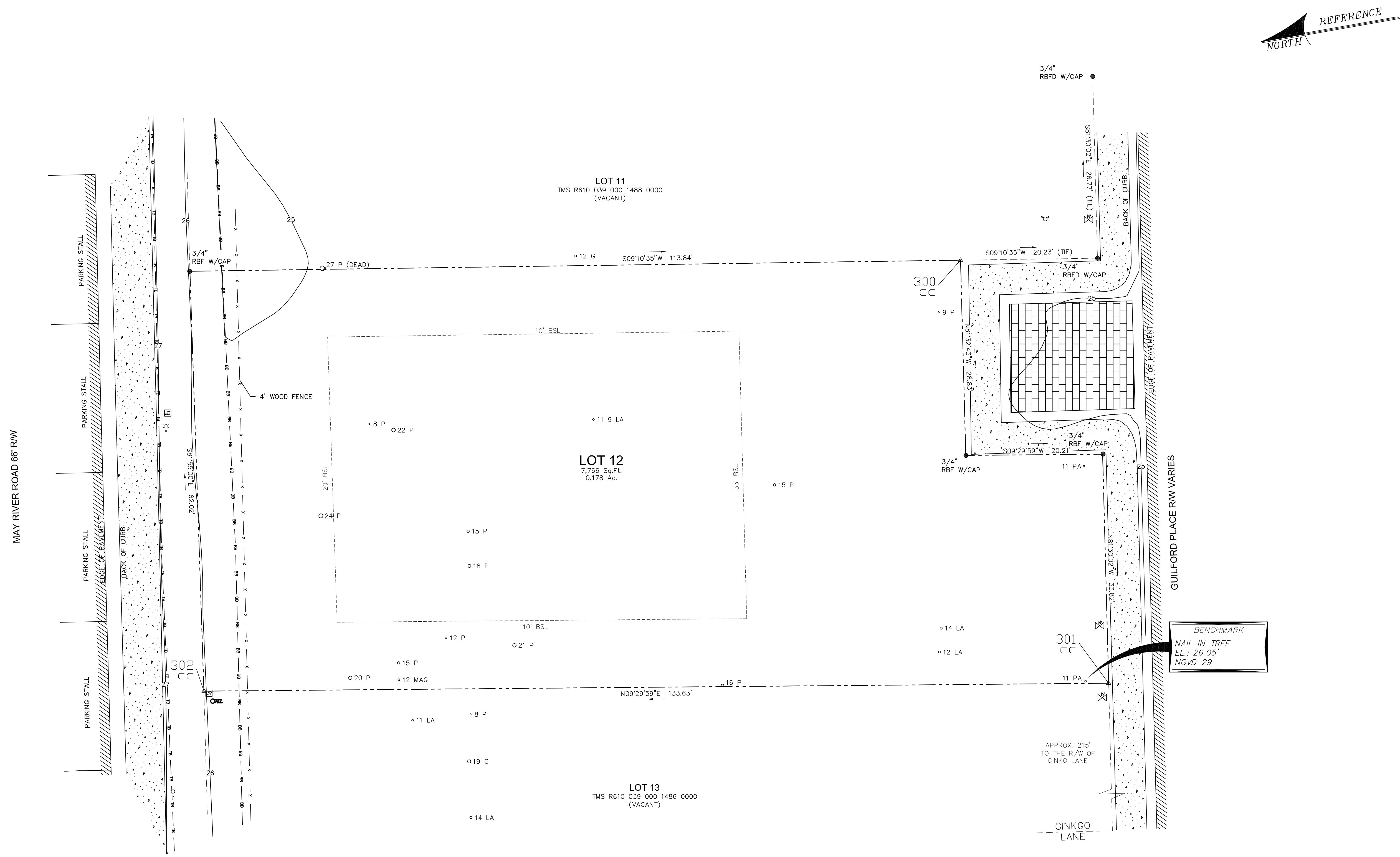
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PERSPECTIVES

A9.4



VICINITY MAP NOT TO SCALE

- LEGEND**
- △ CALC POINT - CORNER NOT SET
 - RBF ● IRON REBAR FOUND
 - RBF/D ● IRON REBAR FOUND DISTURBED
 - BSL — BUILDING SETBACK LINE
 - G — SWEET GUM
 - LA — LAUREL OAK
 - MAG — MAGNOLA
 - PA — PALMETTO
 - P — PINE
 - ⊕ — FIRE HYDRANT
 - ⊕ — JUNCTION BOX
 - ⊕ — LIGHT POLE
 - ×12.9 — SPOT ELEVATION
 - ⊕ — TELEPHONE JUNCTION BOX
 - ⊕ — WATER VALVE
 - BB — BOTTOM OF BANK
 - — CONTOUR LINE
 - TB — TOP OF BANK
 - ▨ — BRICK
 - ▨ — CONCRETE
 - ▨ — EDGE OF PAVEMENT

- NOTES**
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE C, FIRM PANEL 0085-D COMMUNITY 450025.
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NGVD 29.
 4. BUILDING SETBACKS ARE PER THE TOWN OF BLUFFTON, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

- REFERENCE**
1. PB: 125 PG: 176

PREPARED FOR:
KASIA PAWELEK

A TREE AND TOPOGRAPHIC SURVEY OF

**LOT 12,
 #5812 GUILFORD PLACE,
 STOCK FARM**

TAX PARCEL No. R610 039 000 1487 0000

THE TOWN OF BLUFFTON
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: DDL
 FIELD CHECK: JWB
 DRAWN BY: CB
 DATE: 02-02-2021
 SCALE: 1"=5'
 PROJECT No.: BFT-21009
 FILE: BFT-21009 T1.DWG

ATLAS
 SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5
 RIDGELAND, SC 29936
 PHONE: (843) 645-9277
 WEBSITE: WWW.ATLASSURVEYING.COM

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
 S.C.P.L.S. No. 28139
 NOT VALID UNLESS CRIMPED WITH SEAL





PLAN REVIEW COMMENTS FOR COFA-09-24-019336

Section VII. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	Historic District	Apply Date:	09/13/2024
Plan Status:	Active	Plan Address:	5812 Guilford Place BLUFFTON, SC 29910
Case Manager:	Charlotte Moore	Plan PIN #:	R610 039 000 1487 0000
Plan Description:	Project Description		

The Alair Homes Office is a proposed 2 Story Building with a connected 2 Story Carriage House in the Neighborhood General Historic District in Bluffton, located in the Stock Farm development.

Existing Conditions

Currently, 5812 Guilford Place is an empty lot with trees and foliage. There is a 2 Story building to the East an an empty lot to the West, with residential construction on the other side of Guilford Place.

Proposed Building Construction

The proposed architectural program for the project is a 2 story main structure with a 1170 SF tenant space on the first floor and the 1250 SF Alair Homes office on the second floor. The adjacent connected carriage house has a 525 SF tenant space on each floor. The expected occupancy for each space is Business. There are two exterior stairs, one off of May River Road and the other between the structures.

There are two tabby parapet walls, similar in character to the adjacent Hair and So On Salon and nearby Kelly Caron Designs. Trellises wrap the two-story entry porch off of May River Road, allowing plants to climb the building.

The architectural massing of the building includes simple roof forms with standing seam and asphalt shingle roofing. The exterior materials for the building will be cementitious fiber siding (horizontal and vertical). The porch railing will be metal.

STATUS (10.04.2024): To be reviewed by HPRC October 7. Plans have changed since pre-application meeting

Staff Review (HD)

Submission #: 1 Received: 09/13/2024 Completed: 10/04/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)		Charlotte Moore	Pending Review

Comments:

1. The proposed main building is reviewed as an Additional Building Type based on size (footprint and overall square footage) as well as architectural characteristics that are not distinctly one of the permitted building types in the NG-HD district requires that [a]ll commercial or mixed-use development within this zoning district...maintain a predominant character," which this building does not. (UDO Sec. 5.15.5.C.) While the two-story connection/breeze way between the buildings isn't included in the building square footage, it gives the appearance of one large building, especially the ground level includes bays with ground to ceiling louvered panels. Additionally, there are two exterior stairwells, including one at the front of the building and one that is not directly attached to either building.
2. Provide accurate square footages. Drawings Sheet 2 square footages do not match square footage Sheets 3 and 4. Sheet 2 shows the first floor as 1,180sf and second floor as 1,220sf, and Sheets 3 and 4 show 1,170sf and 1,250sf, respectively. The Carriage House square footage also varies. Sheet 2 shows the first floor as 525sf and the second floor as 356sf; sheets 3 and 4 show 525sf and 525sf, respectively. Also, correct the following discrepancy: Sheet A2.0 (First Floor Plan) shows a door adjacent to stairwell as an entrance from the courtyard and Sheet A3.1 (Exterior Elevations) does not show a door in this location.
3. Building fronts for commercial structures must have at least one of the following: an arcade, colonnade, marquee, porch or awning. None of these has been provided. (UDO Sec. 5.15.6.C.2.) Further, the primary entrance is located behind the parapet wall which does not comply with the requirement that it be located on the exterior wall facing the frontage street. (UDO Sec. 5.15.6.I.a.)
4. With the Final Plan, provide materials for the service yard screening. The area must be large enough to include HVAC units, utilities and receptacles for both residences. Utility meters must be screened from public view. (UDO Sec. 5.15.5.F.10.)
5. For the main building, it seems that the balcony is a decorative feature only, and not accessible, which is atypical of Old Town. The balcony depth must be four feet, or a depth proportionate to height and width of the building, and the width must be at least 25% of the building's frontage (which is not limited to the tabby parapet wall). (UDO Sec. 5.15.6.E.2.)
6. Expression lines are lacking on the front façade, portion of the right/west façade, and portion of the left/east façade. The parapet walls and the rear elevation of the Carriage House do not include cornices. An expression line must delineate the division between first and second stories, and cornices must delineate the top of facades. (UDO Sec. 5.15.6.G.2.a.) The material used for the louvered screening wall on the breezeway ground floor must be identified and consistent with permitted materials (UDO Sec. 5.15.6.G.3). Not all elevations are visible (i.e, those interior to the breezeway and the garden/front porch area) and more information must be provided. Identify material to be use for foundation wall, which must be consistent with one of the permitted types (brick in a bond pattern, painted brick, tabby stucco or stucco that is sand finished, or steel troweled per UDO Sec. 5.15.6.G.1.a.).
7. Provide column detail to show material and configuration that complies with UDO Sec. 5.15.6.H.2).
8. The proposed railings used on the are aluminum material, which is not a UDO permitted material (i.e., wood, painted/natural-wrought or cast iron). Revise with a permitted material. Provide railing information for the ramp. (UDO Sec. 5.15.6.H.2.d.)
9. Identify window and door operations for all windows and doors. If fixed-frame windows are proposed, they can be no greater than 36 square feet. (UDO Sec. 5.15.6.I.) Provide window and door schedules.
10. On Final Plan, provide corner and water table trim details to show compliance with UDO Sec. 5.15.6.N. Any material changes must occur at interior corners.
11. Per the Applications Manual, a site plan (survey) indicating location, species, and caliper of existing trees and trees to be removed must be provided. (Applications Manual and UDO Section 3.22.2. A.). Replacement trees will be required as specified in UDO Sec. 5.3.7.F.4. Additionally, a tree canopy of 75% lot coverage, not including roof tops, must be provided for sites less than one (1) acre. Provide canopy coverage calculations. (UDO Sec. 5.3.7.G.) UDO Sec. 5.3.7.A. requires at least one large canopy street tree. A foundation planting area at least 8 feet wide shall be maintained around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E.
12. Landscaping and hardscaping encroachments into State-owned right-of-way (SC 46) requires approval from the State.
13. The proposed parking spaces are partially on the subject property and extends into Stock Farm private right-of-way and would require approval from the Stock Farm POA.
14. Provide approval letter from Stock Farm POA.
15. Signage is not reviewed as a portion of this application. All signs must be reviewed through the Site Feature-HD process and meet the requirements found in Section 5.15.6.Q of the UDO.
16. For the final application provide architectural details of the railings; typical window and door details; corner board trim detail; sections through the eave and wall showing materials, configuration and dimensions; service yard depicting the material, configuration and dimensions. Use call outs to identify all materials on the plans. A complete submittal package will help expedite review by the Historic Preservation Commission. (Applications Manual)
17. Given the nature of the changes to the building since the pre-application meeting, discussion is needed with the applicant, and additional comments may be provided by Town Staff.

Watershed Management Review	10/04/2024	Samantha Crotty	Approved with Conditions
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Comments:

Comments may be provided at time of building permit/stormwater permit submittal.

Beaufort Jasper Water and Sewer Review	10/04/2024	Matthew Michaels	Approved
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Comments:

Comments may be forthcoming.

HPRC Review

10/04/2024

Charlotte Moore

Approved

Section VII. Item #2.

Comments:

No comments received by October 4.

Transportation Department
Review - HD

09/13/2024

Megan James

Approved

Comments:

No comments

Plan Review Case Notes:

DRAINAGE LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
11.X		12" AREA DRAIN	X/L60X
11.X		8" FRENCH DRAIN	X/L60X
11.X		8" SOLID PIPE	X/L60X
11.X		RAIN GARDEN (TBD)	X/L60X

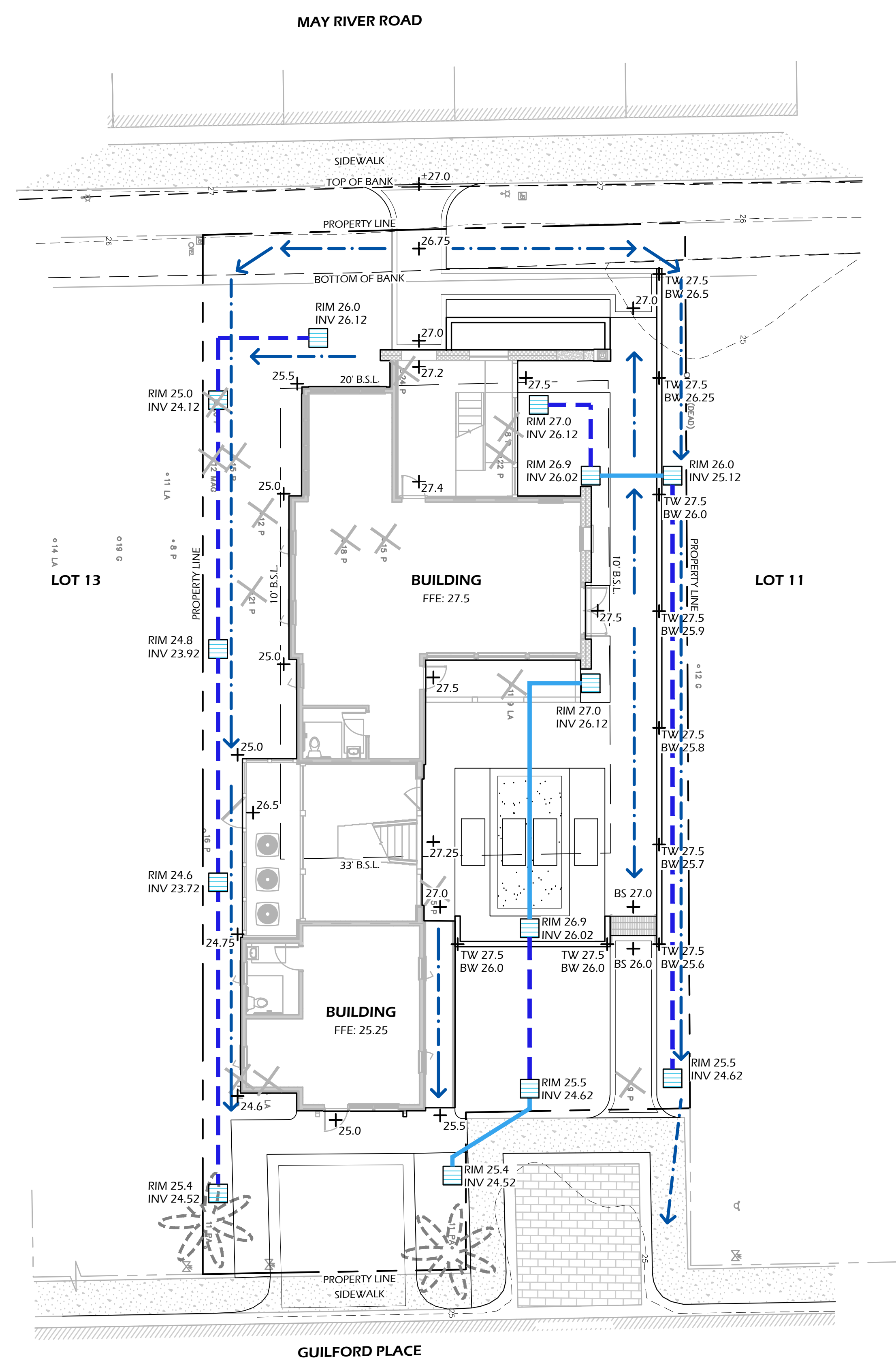
NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

GRADING LEGEND	
SYMB.	DESCRIPTION
+	SPOT GRADE
	DRAINAGE ARROW
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING GRADE

GRADING ABBREVIATIONS			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
BC	BOTTOM OF CURB	HP	HIGH POINT
BS	BOTTOM OF STEP	RIM	TOP OF DRAIN
BW	BOTTOM OF WALL	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FG	FINISHED GRADE	TW	TOP OF WALL
LP	LOW POINT		

GRADING REFERENCE NOTES:

- 1 MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
- 2 A.D.A. RAMP AT 1:12 MAX.
- 3 ALL PIPING UNDER HARDSCAPE SHALL BE SOLID H.D.P.E. PIPES.
- 4 FIELD LOCATE DRAIN LINE TO AVOID EXISTING TREE ROOTS.
- 5 CONTRACTOR SHALL TIE GUTTER DOWNSPOUTS INTO SUBSURFACE DRAINAGE SYSTEM WHENEVER POSSIBLE.
- 6 TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
- 7 CREATE SWALE AND BERM TO DIRECT WATER AWAY FROM HOUSE AND ADJACENT PROPERTIES.
- 8 DRAINAGE SWALE PITCH AT 1.5% MIN.
- 9 PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTY LINES.
- 10 MAINTAIN EXISTING DRAINAGE PATTERN AWAY FROM BUILDING.
- 11 DIRECT STORMWATER TOWARDS STREET OR EXISTING DRAINAGE DITCH. DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO DETAILS.



SITE DEVELOPMENT PLANS FOR
ALAIR - MIXED-USE
 LOT 5818
 STOCK FARM / BLUFFTON, SOUTH CAROLINA

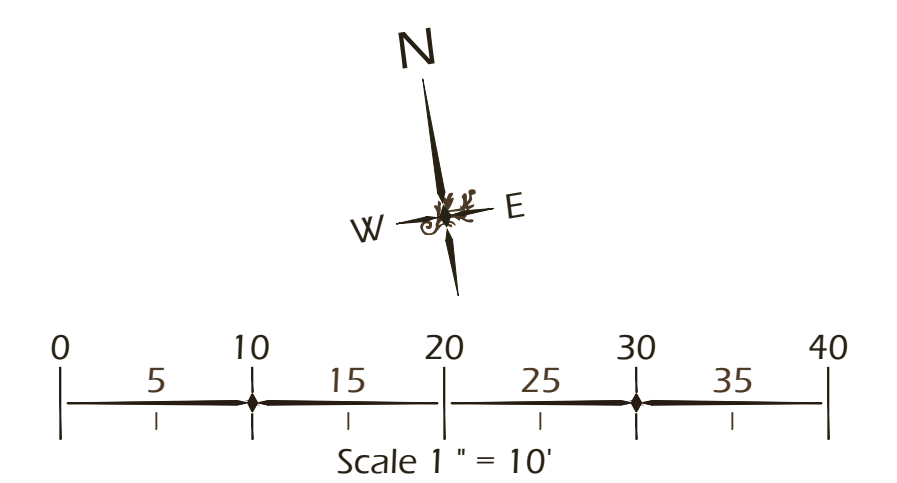
DATE: AUG 26, 2024
 PROJECT NO.: XXXXX.XX
 DRAWN BY: JM
 CHECKED BY: DK

SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION

REVISIONS:

DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L300

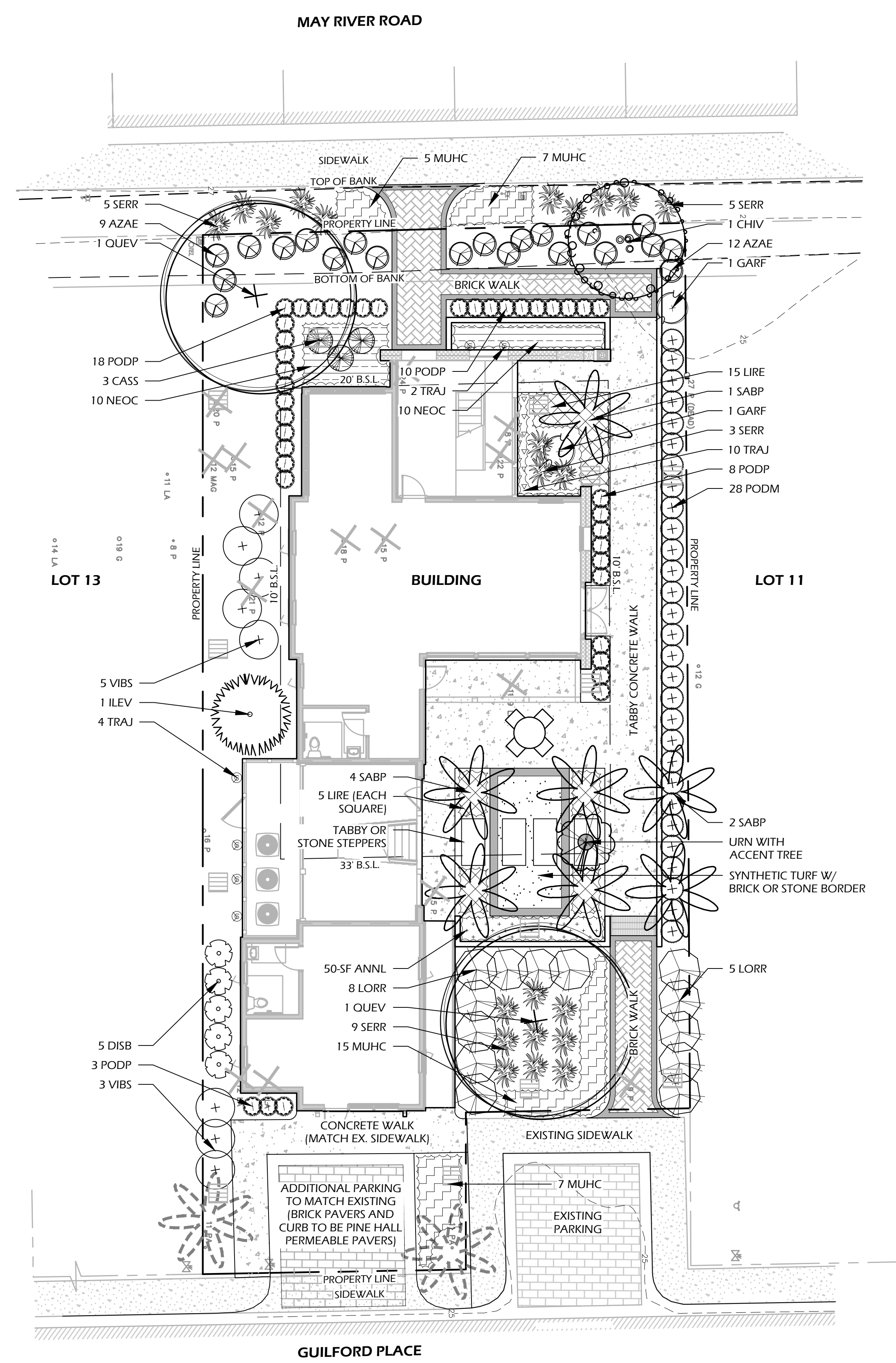




PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X

PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
CHIV	Chionanthus virginicus	Fringe Tree
ILEV	Ilex vomitoria 'Pride of Houston'	Yaupon Holly
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia
DISB	Distylium 'Blue Cascade' (PIDIST-II PP24409)	Blue Cascade Distylium
GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia
LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
ORNAMENTAL GRASSES & FERNS		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
ANNL-SF	-	Seasonal Color
LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope
NEOC	Neomaria caerulea 'Regina'	Giant Apostles' Iris
TRAJ	Trachelospermum jasminoides	Confederate Jasmine



SITE DEVELOPMENT PLANS
 FOR
ALAIR - MIXED-USE
 LOT 5818
 STOCK FARM / BLUFFTON, SOUTH CAROLINA

DATE: AUG 26, 2024
 PROJECT NO.: XXXXX.XX
 DRAWN BY: JM
 CHECKED BY: DK

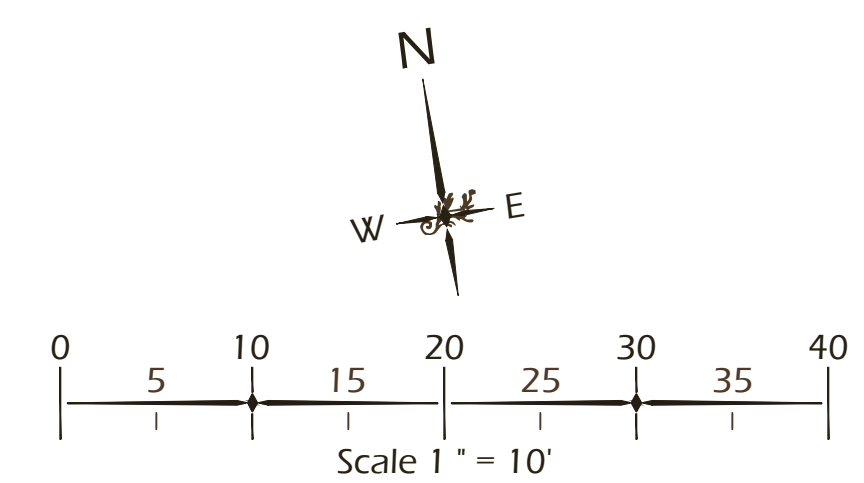
SUBMITTAL PLAN,
 NOT FOR
 CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANTING PLAN

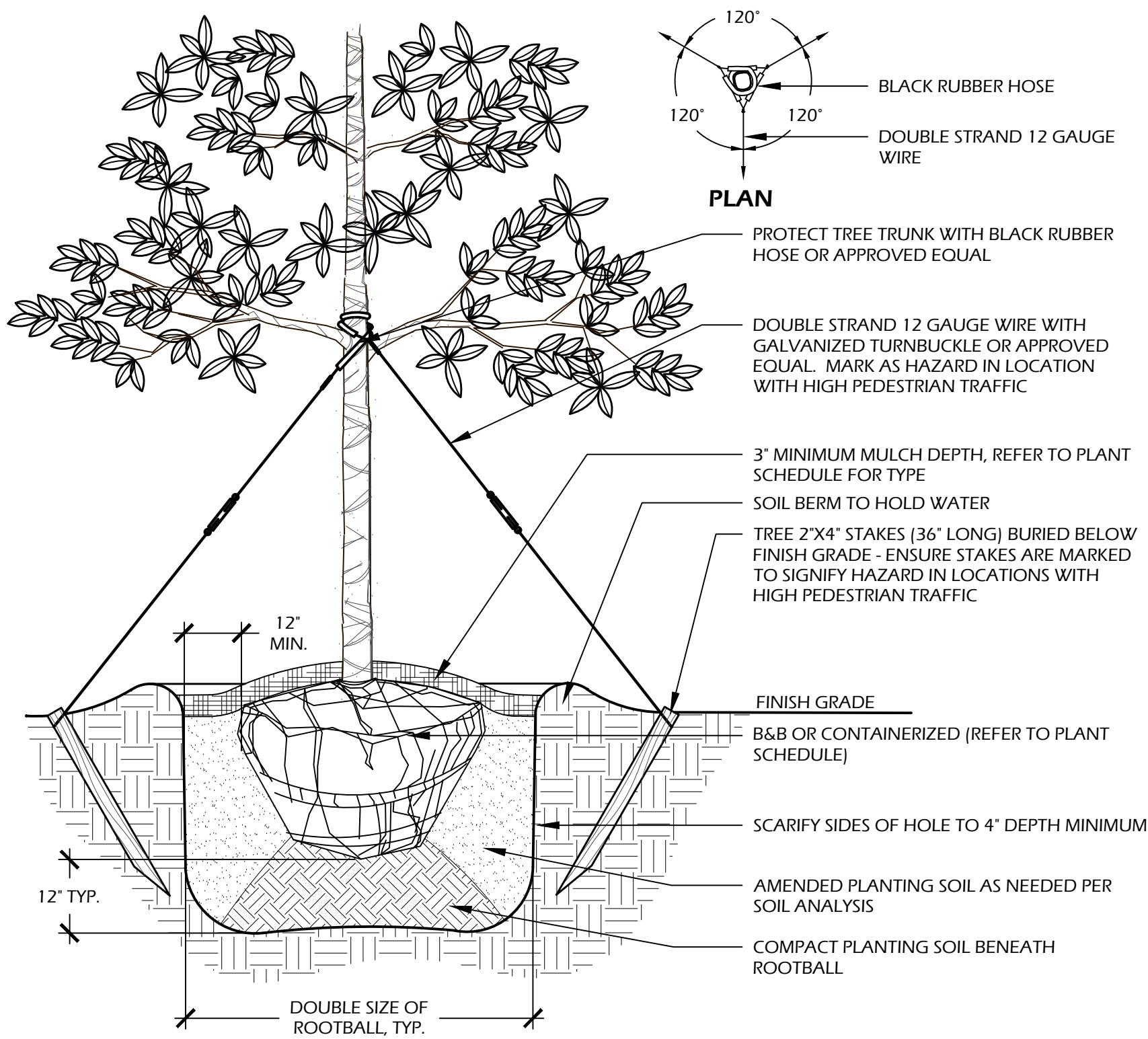
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L500



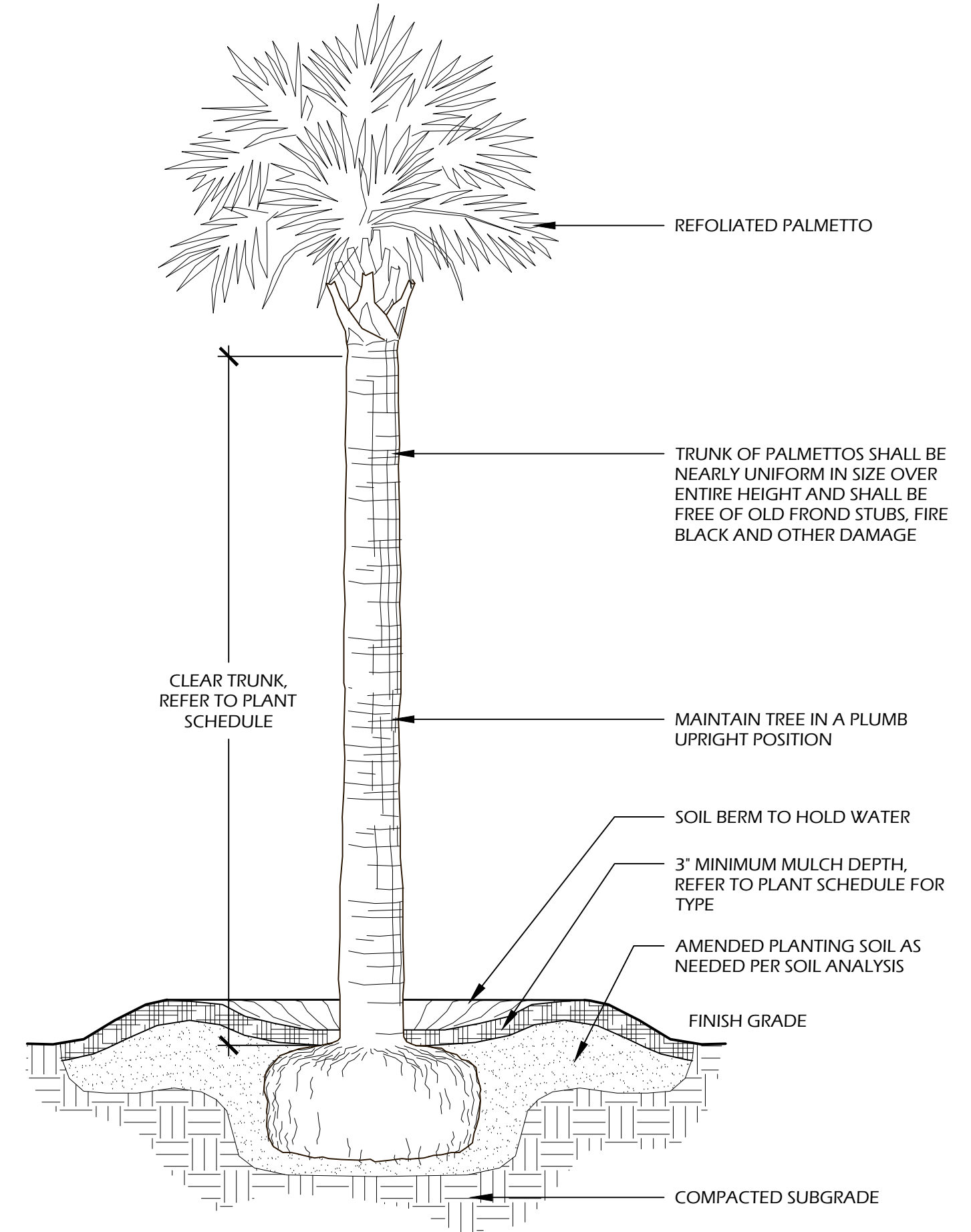
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
2	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
7	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
1	CHIV	Chionanthus virginicus	Fringe Tree	6'-7'	3'-4'	15 gal.	-	Full
1	ILEV	Ilex vomitoria 'Pride of Houston'	Yaupon Holly	5'-6'	3'-4'	15 gal.	-	Tree form, Multi-stem, Full
SHRUBS								
21	AZAE	Azalea x encore	Encore Azalea	24'-30'	24'-30'	7 gal.	-	Full
3	CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia	18'-24'	2'-3'	7 gal.	-	Full
5	DISB	Distylium 'Blue Cascade' (PIDIST# PP24409)	Blue Cascade Distylium	24'-30'	24'-30'	7 gal.	-	Full
2	GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia	4'-5'	2'-3'	15 gal.	-	Full
13	LORR	Loropetalum chinense 'Ruby'	Ruby Fringe Flower	30'-36'	24'-30'	7 gal.	-	Full
28	PODM	Podocarpus macrophyllus	Podocarpus	36'-42'	24'-30'	15 gal.	-	Full
41	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24'	16'-20'	7 gal.	-	Full
22	SERR	Serenoa repens	Saw Palmetto	24'-30'	24'-30'	15 gal.	-	Full
8	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36'	24'-30'	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
34	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16'	10'-16'	1 gal.	30' O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
50-SF	ANNL-SF	-	Seasonal Color	-	-	-	-	To be selected by owner or landscape contractor
35	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12'-16'	8'-12"	1 gal.	24" O.C.	Full
20	NEOC	Neomarica caerulea 'Regina'	Giant Apostles' Iris	18'-24"	8'-12"	1 gal.	24" O.C.	Full
16	TRAJ	Trachelospermum jasminoides	Confederate jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
3200	MULCH-SF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



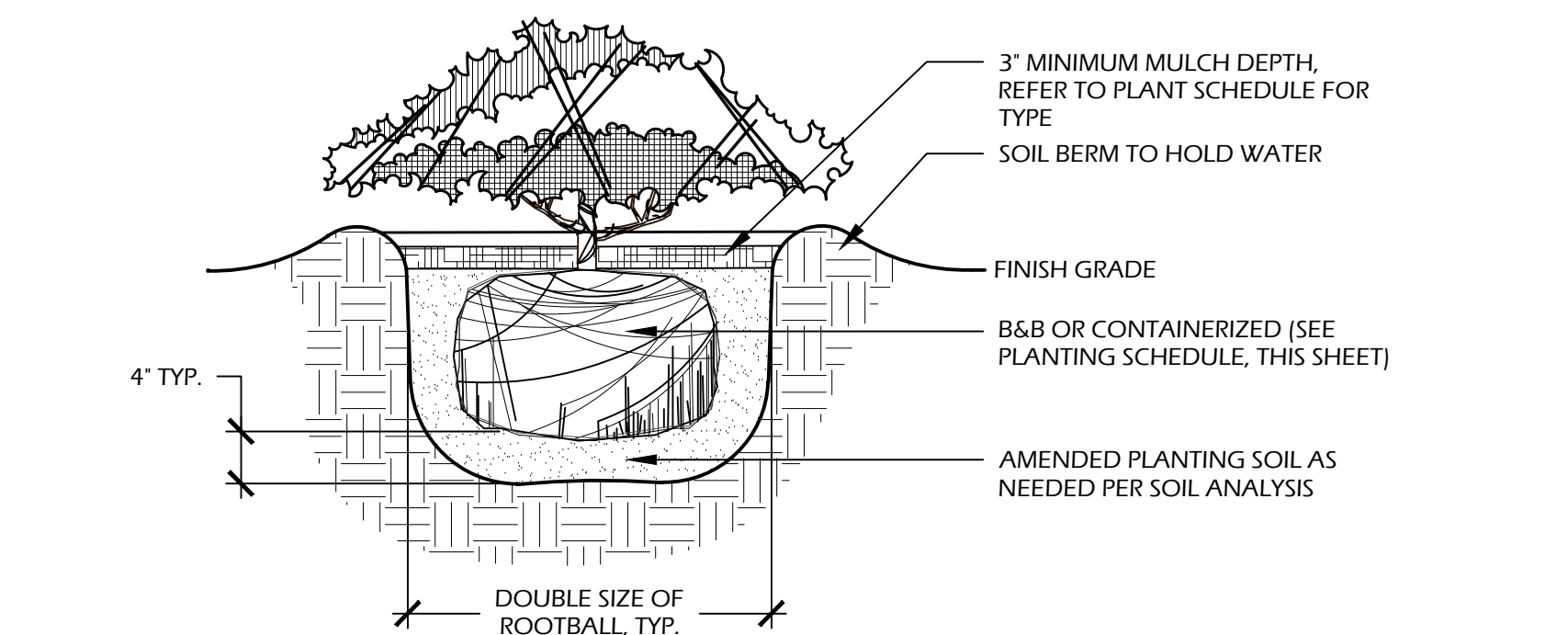
NOTES:
 1. TREE STAKING OPTIONAL HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
 SCALE: N.T.S.



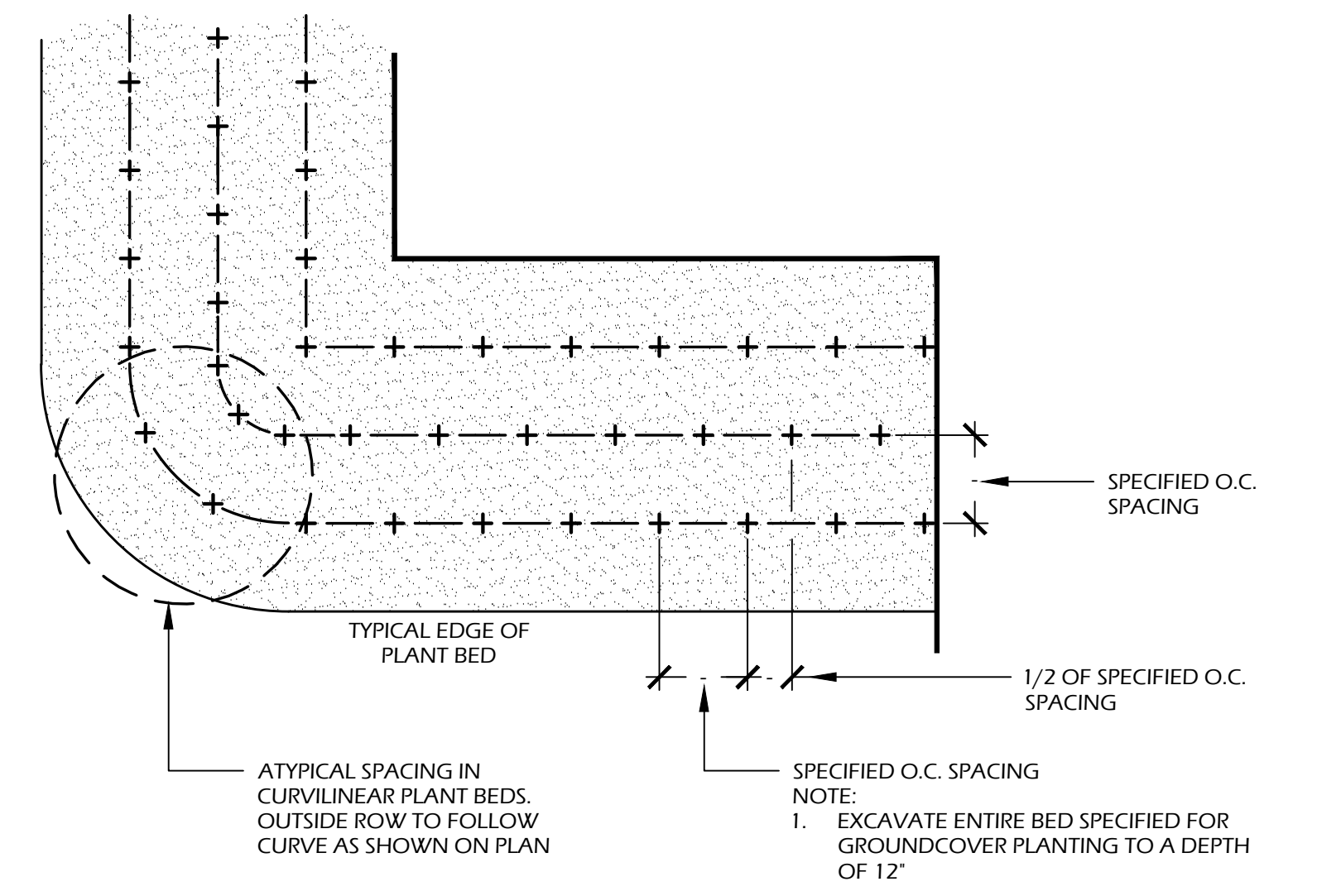
NOTES:
 1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
 SCALE: N.T.S.

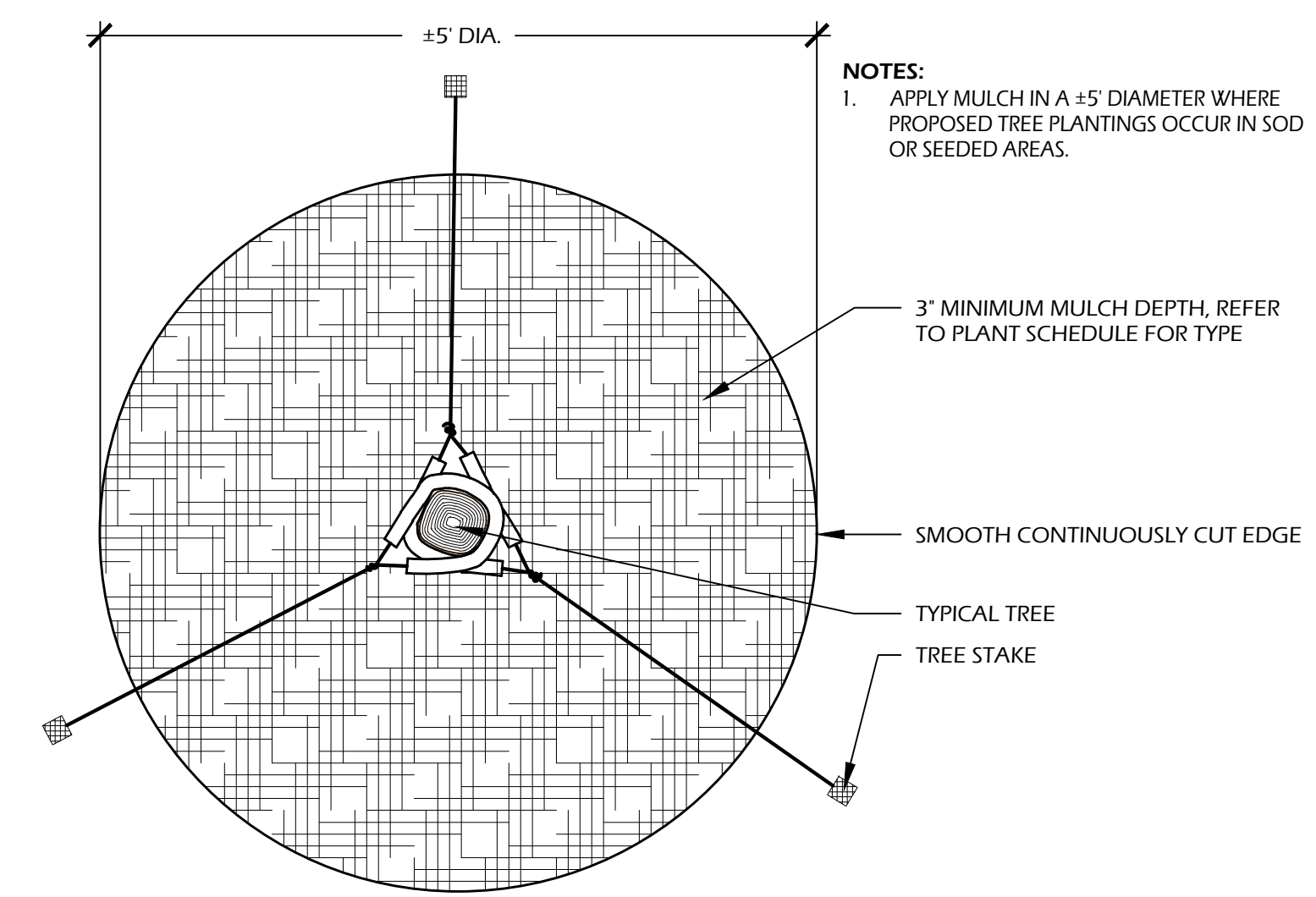


NOTES:
 1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
 SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
 SCALE: N.T.S.



5 // L501 TREE STAKING
 SCALE: N.T.S.

ALAIR BLUFFTON OFFICE
12 GUILFORD PLACE (LOT 5812)
SITE PHOTOS



VIEW ACROSS MAY RIVER ROAD



VIEW FROM ADJACENT LOT (HAIR AND SO ON SALON) OFF MAY RIVER ROAD



VIEW FROM ADJACENT LOT (HAIR AND SO ON SALON) OFF GUILFORD PLACE



VIEW ACROSS GUILFORD PLACE



MEMORANDUM

TO: Historic Preservation Commissioners
FROM: Town of Bluffton Growth Management Staff
RE: Site Feature Permits from October 17, 2024 to November 17, 2024
DATE: December 1, 2024

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
1 Marianna Way Unit 200	Harvey & Battey Sign	Angie Castrillon	Approved
4 State of Mind St	Movement Mortgage Sign	Angie Castrillon	Approved
11 Bruin Rd	Residential Reroof	Angie Castrillon	Approved
6 Calhoun St	Collins Land For Sale Sign	Angie Castrillon	Revisions Required