



Historic Preservation Commission Meeting

Wednesday, November 06, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) October 2, 2024 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness (34 Tabby Shell Road, Lot 18):** A request by Clear Cut Construction, on behalf of the owner, William Glover, for approval of a Certificate of Appropriateness-HD to allow the construction of a new two-story Single Family Residential structure of approximately 2,325 square feet and an attached Carriage House structure of approximately 1,174 square feet in the Tabby Roads Development in the Old Town Bluffton Historic District and within a Neighborhood General - HD zoning district. (COFA-03-24-019047) (Staff – Charlotte Moore)
- [2.](#) **Certificate of Appropriateness (43 Thomas Heyward Street):** A request by Raymond Beach, on behalf of the owner, Megan C. Beach, for the review of a Certificate of Appropriateness-HD to allow an existing one-story Carriage House of approximately 756 unenclosed square feet erected without an approved COFA-HD and without an approved building permit, located at 43 Thomas Heyward Street, in the Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD. (COFA-03-24-019047) (Staff – Charlotte Moore)

3. **Adoption of 2025 Historic Preservation Commission Meeting Dates:** (Staff - Charlotte Moore)

4. **Adoption of 2025 Historic Preservation Review Committee Meeting Dates:** (Staff - Charlotte Moore)

VIII. DISCUSSION

1. **Workshop:** Discussion Regarding Metal Canopies/Carports in Old Town Bluffton Historic District Relating to Upcoming Text Amendment Initiated by an Old Town Bluffton Property Owner (Staff - Charlotte Moore)

2. Historic District Monthly Update. (Staff - Charlotte Moore)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, December 4, 2024

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

October 02, 2024

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin

Vice Chairman Joe DePauw

Commissioner Carletha Frazier

Commissioner Tim Probst

Commissioner Debbie Wunder

ABSENT

Commissioner Jim Hess

Commissioner Kerri Schmelter

III. ADOPTION OF MINUTES

1. August 14, 2024 Minutes

Vice Chairman DePauw made the motion to adopt the minutes as written.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

VI. NEW BUSINESS

- Certificate of Appropriateness (35 C Thomas Heyward Street):** A request by Brad Clark for approval of a Certificate of Appropriateness-HD to allow the renovation of an existing one-story single-family structure to move the front door and patio stairs to the center of the house, to reconfigure windows on the front and left elevations, and to change the exterior siding, shutters and front door, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-24-019119)(Staff – Kevin Icard)

Staff presented. The applicant was present. The commissioners had questions regarding the materials being used on the chimney. The applicant confirmed they would be using Hardiplank for the chimney.

Vice Chairman DePauw made the motion to approve with the following conditions:

1. Provide a revised application to include all Site Data (Applications Manual).

2. Per UDO Section 5.15.5.I., provide confirmation to show that French doors will comply with permitted material.
3. Per UDO Sec. 5.15.5.M.1., provide confirmation to show that shutters will comply with permitted material, operation and hardware.
4. Per UDO Sec. 5.15.5.I, provide confirmation to show that windows will comply with permitted material.
5. Per Section 5.15.5.H., indicate that wrought iron will be used for the front handrail.
6. All existing vinyl siding to be replaced with Hardiplank.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed.

2. **Certificate of Appropriateness (128 Bridge Street):** A request by Ansley H. Manuel, Architect, on behalf of owner Lynda Lee Gooze Strong, for approval of a Certificate of Appropriateness - HD to construct a new 2-story Carriage House at 128 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-05-24-019123)(Staff – Kevin Icard)

Staff presented. The applicant was present. Vice Chairman DePauw asked for clarification on how the floor area was calculated. The commissioners questioned if there was brick siding on the existing house on the property. The applicant discussed where the service yard would be located on the proposed carriage house. The commissioners discussed the possibility of a different garage door design.

Vice Chairman DePauw made the motion to approve with the following conditions:

1. Provide information to show that proposed asphalt shingles will be dimensional as required by UDO Sec. 5.15.6.F.2.b.
2. Provide information to show that doors, including garage doors, will comply with permitted materials as required by UDO Sec. 5.15.6.I.2.b.
3. Provide cladding material information to ensure that windows comply with permitted materials as required by UDO Sec. 5.15.6.I.2.b.
4. Provide information to show the Service Yard area, including electric meters, will comply with UDO Sec. 5.15.5.F.10.
5. A determination by the Historic Preservation Commission regarding:
 - a. The use of brick that matches the main residence is an acceptable material.
 - b. The use of smooth-face soffits is acceptable to match the main residence.

Seconded by Commissioner Probst.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed.

- 3. Certificate of Appropriateness (5783 Yaupon Road):** A request by Southern Coastal Homes, on behalf of Owners Nathalie and Andrew Hintz, for approval of the construction of a new one-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-24-019129) (Staff- Kevin Icard)

Staff presented. The applicant was present. The commissioners asked for specifics on the canopy coverage. The applicant and commissioners discussed options for a change to one of the windows shown on the right elevation.

Vice Chairman DePauw made the motion to approve with the following conditions:

1. Per Section 5.3.3. provide exhibit showing the canopy coverage calculations for the site based on mature canopy of existing trees to be retained and those to be planted.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
3. The dining room windows on the right elevation be changed to French doors to match the French doors on the front elevation.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed.

VII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff reviewed the monthly report. The Commissioners had no questions.

VIII. ADJOURNMENT

Commissioner Frazier made the motion to adjourn.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed. The meeting was adjourned at 6:29pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	November 6, 2024
PROJECT:	34 Tabby Shell Road, Lot 18 - New Construction: Single-Family and Carriage House
APPLICANT:	Sea Island Construction Group
PROPERTY OWNER:	William Glover
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, Sea Island Construction Group, on behalf of the owner, William Glover, requests that the Historic Preservation Commission approve the following application:

COFA-05-22-016795. A Certificate of Appropriateness to allow the construction of a new two-story Single-Family Residential structure of approximately 2,874 SF and an attached Carriage House of approximately 1,100 SF located at 34 Tabby Shell Road, Lot 18 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant has proposed the construction of a two-story single-family structure with an attached two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,874 SF has the characteristics of a Center Hall House which must meet the requirements for the Building Type within the Neighborhood General-HD zoning district; however, the setbacks are determined by the Tabby Roads Development Plan.

The primary structure features a double front porch with a hipped roof. The east side elevation features a partial enclosed, screened porch. The attached Carriage House features a second story rear-facing hipped roof, and a two-bay garage. The structure is proposed to have horizontal Hardie lap siding on the first floor and Hardie shake siding on the second floor.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 15, 2024 meeting and comments were provided to the Applicant (See Attachment 6). The Tabby Roads Habitat and Architectural Review Board has provided review comments (Attachment 7).

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in

Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date

1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.

- a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House add to the district and helps provide completeness to the neighborhood and overall district.

2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Findings.* Town Staff finds that if the conditions noted below are met, the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5:
 - 1) **Finished Floor Height.** Residential structures must have a first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade. The plans show the height as 30 inches and state that confirmation is needed with site plan. Revise plan accordingly. (UDO Sec. 5.15.5.F.)
 - 2) **Building Composition.**
 - a. Overall building proportions and individual building features shall have a proportional relationship with one another. The door on the front elevation is proportionately taller than the adjacent windows and should be lowered for consistency. (UDO Sec. 5.15.5.F.4.a.)

- b. Vertical rhythms should be established in the façade through alignment of windows, openings, pilasters, and columns. On the left elevation of the primary structure, the windows lack vertical rhythm and should be reconfigured. (UDO Sec. 5.15.5.F.4.e.)

The window-sized wall panels are not identified and appear to architectural elements that are not authentic to Bluffton's architecture. These areas should be converted to windows to improve the composition of the second floor left and right-side elevations and to break up a long-expanse of otherwise blank wall. Further, the narrow six (6) inch inset wall on the left elevation is not substantial enough to break up the left elevation.

- c. (UDO Sec. 5.15.5.F.4)

- 3) **Doors.** Provide door schedule, including garage doors, to show compliance with permitted materials (wood, metal and metal-clad). Identify the type of composite material identified for the garage doors. The UDO Administrator may approve the use of wood composite if the doors are consistent with the character of the Historic District and the materials to be used are of equal or better quality than traditional building materials. Show door operation for all doors. (UDO Sec. 5.15.5.G.2.b.)
- 4) **Columns.** Square 10-inch columns are proposed. Allowable column materials include wood, cast iron, concrete with smooth finish, stone, steel or tabby. The columns will be "primed [pressure treated] pine and Hardie siding." The Historic Preservation Commission must determine if Hardie siding is an acceptable finish material. Provide column detail for a better view. Column trim cannot overhang the porch. (UDO Sec. 5.15.5.H.2.a.)
- 5) **Railings and Balusters.** Powder-coated aluminum metal is proposed. Permitted materials include wood, painted or natural wrought or cast iron. The HPC will need to determine that this is an acceptable material, which has been approved elsewhere in Old Town Bluffton. (UDO Sec. 5.15.5.H.3.)
- 6) **Windows.**
 - a) Windows must be configured to align with the window or door directly below. Areas of the right and left elevations lack window alignment.
 - b) On the left and right elevations, there are wall panels that have not been identified that appear to mimic windows and must be identified. A primary goal of the UDO architectural standards is authenticity and to encourage architecture and construction that is

straightforward and functional. These panels should be windows.
(UDO Sec. 5.15.6.A.)

7) **Roofs and Gutters.**

- a. A standing seam metal roof is proposed but the type of metal has not been identified. Acceptable materials include galvanized, copper, aluminum and zinc-alum. (UDO Sec. 5.15.5.J.2.a.)
- b. Metal half-round gutters will be provided but the type of metal material type is not shown. Provide information to show compliance with one of the following permitted material types: copper, galvanized steel, aluminum, 14-18 gauge. Downspouts must match gutters. (UDO Sec. 5.15.5.J.2.c.)

8) **Corners and Water Tables.** Provide detail to demonstrate compliance with UDO Sec. 5.15.5.N.

9) **Corners, Soffits and Friezes.** Provide information to show compliance with UDO Sec. 5.15.5.P. Hardie-panel will be used as the soffit material, which must be beaded or v-groove tongue and groove.

10) **Service Yard.** Provide service yard details to show compliance with UDO Sec. 5.15.5.F.10. Identify the location of electric panels.

11) **Cart Bay / Patio.** On the left elevation there is a Cart Bay shown on Sheet A-100 but shows elsewhere as a patio. Accurately identify this space. If a golf cart bay is proposed, identify whether changes to the foundation will occur.

12) **Landscape Plan.**

- a. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. The Landscape Plan canopy coverage calculations do not accurately reflect the proposed plantings for the calculations. Further, the total lot square footage should be 4,891.6 SF. Provide updated canopy coverage calculations to ensure the 75% lot coverage is met. (UDO Sec. 5.3.3.G.)

- b. Provide a list of all trees to be removed and their diameter at breast height to determine the number of replacement trees required.

13) Provide elevation behind screens as not enough information was provided to complete the review.

3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

Finding. If the conditions noted in #2 of this report are met, a compatible visual relationship will be demonstrated with surrounding properties, streetscapes and open spaces.

4. **Compliance with applicable requirements in the Applications Manual.**

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Provide a finish floor height of at least three feet above average adjacent sidewalk grade.
2. Lower the front door height to be a consistent height with adjacent windows.
3. Remove the four wall panels on the left and right elevations as they are not authentic architectural elements.
4. Create a deeper inset on left elevation to provide more relief for this elevation.
5. The HPC must determine if Hardie-siding is acceptable for the columns. Provide additional column details.
6. The HPC must determine if aluminum is an acceptable material for the porch railings and balustrades. (UDO Sec. 5.15.5.H.3.)
7. Identify the roof material. (UDO Sec. 5.15.5.J.2.a.)
8. Identify the gutter material. (UDO Sec. 5.15.5.J.2.c.)
9. Provide corner and water table details (UDO Sec. 5.15.5.N.)
10. Provide soffit configuration. (UDO Sec. 5.15.5.P.)

11. Provide service yard screening details and show location of electric panels.)
UDO Sec. 5.15.5.F.10)
12. Clarify the cart bay/patio on the plans and whether changes to the foundation are necessary.
13. Demonstrate that 75% tree canopy coverage will be provided. (UDO Sec. 5.3.3.G.)
14. Provide a list of trees to be removed from the lot and their diameter at breast height to determine the number of replacement trees (UDO Table 5.3.3.G.)
15. Provide elevation details for areas shown behind screens.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

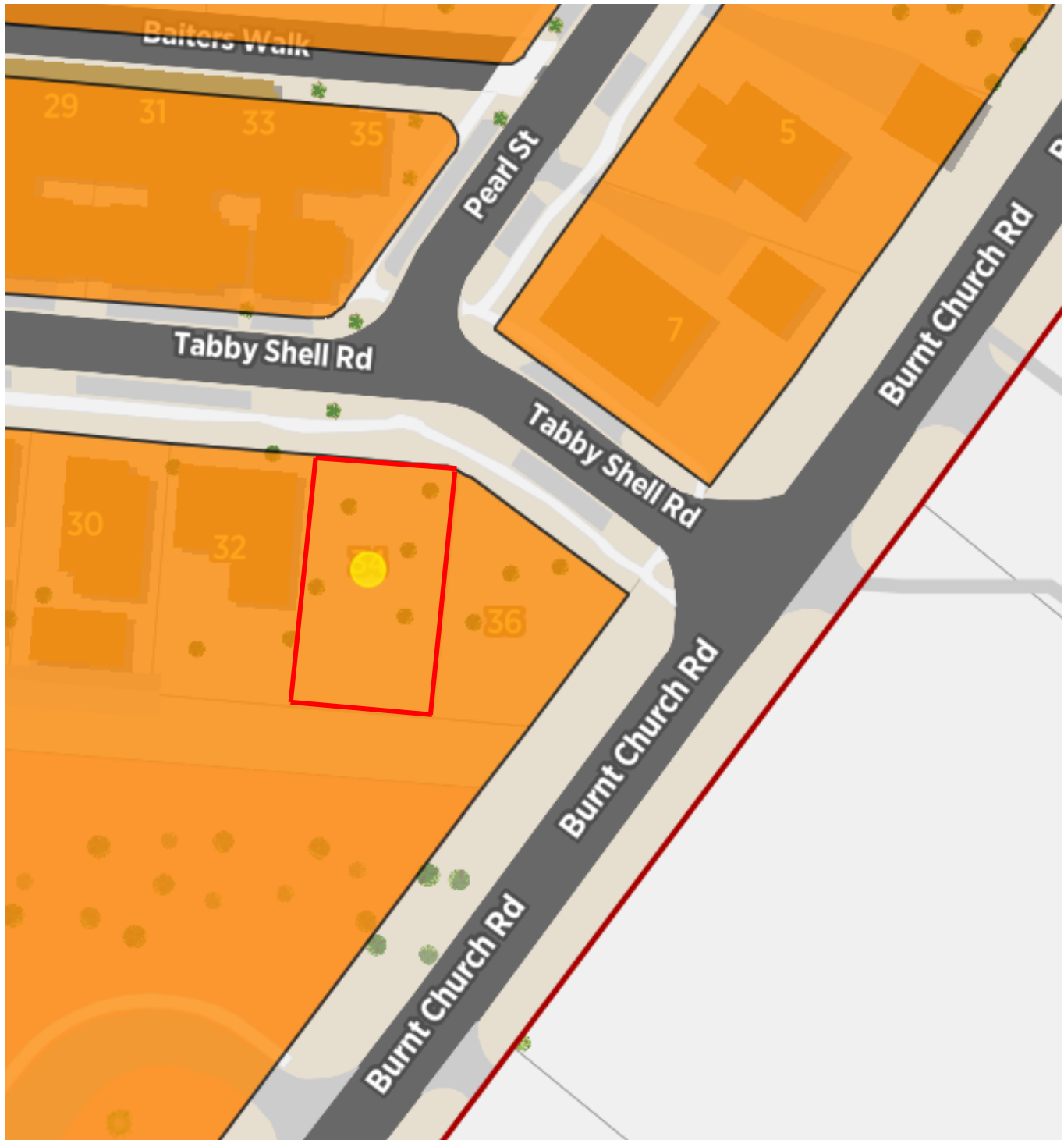
1. Location & Zoning Map
2. Application
3. Site Plan & Elevations
4. Tree Removal Narrative
5. Landscape Plan
6. HPRC Comments, April 2024
7. Tabby Road HARB Letter

LOCATION & ZONING MAP

Section VII. Item #1.

34 Tabby Shell Street

Neighborhood General-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #1.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Sea Island Construction Group		Name: William Glover	
Phone: (854) 345-0925		Phone: (843) 304-2455	
Mailing Address: 23 Whispering Oaks Circle, Okatie, SC 29909		Mailing Address: 40 Sugaree Dr, Bluffton, SC 29910	
E-mail: sgconstructionhhi@gmail.com		E-mail: billyglover77@gmail.com	
Town Business License # (if applicable): LIC-24-08-4372			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Glover Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 34 Tabby Shell Rd, Bluffton, SC		Amendment: <input type="checkbox"/>	
Zoning District: General HD		Application for:	
Acreage: .11		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1198 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage approx. 2,874.52 cooled sf.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Wm R. Glover</i>		Date: 09/13/24	
Applicant Signature: <i>SG</i>		Date: 09/13/24	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

Section VII. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA						
Identification of Proposed Building Type (as defined in Article 5): Center Hall House						
Building Setbacks	Front: 5'	Rear: 10.5'	Rt. Side: 7.5'		Lt. Side: 5'	
3. BUILDING DATA						
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage	
Main Structure	Main House		0		2324.52	
Ancillary	Bonus Room/Garage		0		1100 (550 cooled)	
Ancillary						
4. SITE COVERAGE						
Impervious Coverage			Coverage (SF)			
Building Footprint(s)			1770.41			
Impervious Drive, Walks & Paths			332			
Open/Covered Patios			632.93			
A. TOTAL IMPERVIOUS COVERAGE			2735.34			
B. TOTAL SF OF LOT			4937			
% COVERAGE OF LOT (A/B= %)			55.4%			
5. BUILDING MATERIALS						
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation		
Foundation	concrete turndown (mixture)		Columns	Primed PT Pine / Hardie		
Walls	2x4/2x6 spruce		Windows	Marvin Vinyl		
Roof	standing seam metal		Doors	Wood		
Chimney	mixed tabby stucco		Shutters	N/A		
Trim	Hardie Plank		Skirting/Underpinning	Hardie Plank		
Water table	PT Pine		Cornice, Soffit, Frieze	Hardie Plank		
Corner board	Hardie Plank		Gutters	Metal (half round)		
Railings	Powder Coated Metal		Garage Doors	Painted Composite		
Balusters	Powder Coated Metal		Green/Recycled Materials	N/A		
Handrails	Powder Coated Metal					



TOWN OF BLUFFTON

Section VII. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #1.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

William R. Glover
Signature of Property Owner or Authorized Agent

09/13/24
Date

William Glover
Printed Name of Property Owner or Authorized Agent

Sawyer Graham
Signature of Applicant

09/13/24
Date

Sawyer Graham
Printed Name of Applicant

GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURES WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURES PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX. AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY THROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAMS BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS LOSSES DAMAGES OR ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAMS TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

I.R.C. - 2018
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,220.41 Square feet
SECOND FLOOR LIVING AREA: 1,104.11 Square feet
BONUS FLOOR LIVING AREA: 550.00 Square feet

FRONT COVERED PORCH LOWER AREA: 188.83 Square feet
FRONT COVERED PORCH UPPER AREA: 188.83 Square feet
BACK COVERED PORCH AREA: 308.33 Square feet

GARAGE AREA: 550.00 Square feet
CART AREA: 135.77 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

TOTAL COOLED LIVING AREA: 2,874.52 Square feet

TOTAL FRAMED AREA: 4,246.28 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

SITE AREA:

SITE AREA (PER SURVEY) 0.11 ACRES
4,937 square feet

BUILDING FOOT PRINT: 2,618.63 square feet

LOT COVERAGE: 53%

DRAWING SYMBOLS

DESIGNATES - C.M.U. WALL

DESIGNATES - BRICK

DESIGNATES - 2x4 @ 16" O.C. STUD WALL 2 x 4

DESIGNATES - 2x6 @ 16" O.C. STUD WALL 2 x 6

DESIGNATES - 2x8 @ 16" O.C. STUD WALL 2 x 8

DESIGNATES - UNFINISHED CONCRETE

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION

DOOR DESIGNATION

POINT ELEVATION

ELEVATION CHANGE

INTERIOR DETAIL VIEW DIRECTION

DETAIL DESIGNATION

ABBREVIATIONS

CONCRETE MASONRY UNIT C.M.U.
¢
¢
CASED OPENING CO
DOWN DN.
UP UP
DESIGN PRESSURE D.P.
EQU. EQ.
WELDED WIRE MESH W.W.M.
ON CENTER O.C.

FINISH SYMBOLS

CULTURED MARBLE (CM)
GRANITE (G)
MARBLE (M)
LAMINATED TOP (L)
TILE (T)
GLASS (GL)
SOLID SURFACE (SS)
CAST IRON (CI)
FIBERGLASS (FG)
STONE (S)
DRYWALL (DW)

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

(FOR REFERENCE ONLY)

SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S
C - 100 - 2

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
BLUFFTON - SOUTH CAROLINA
CITY OF BLUFFTON
BEAUFORT COUNTY

DESIGN TEAM

OWNER

WILLIAM GLOVER
34 TABBY SHELL

GENERAL CONTRACTOR

CLEAR CUT CONSTRUCTION
CHARLES WEAVER
5 BRACKEN FERN - BLUFFTON - SC - 29910

SURVEY

T SQUARE SURVEYING
P.O. Drawer 330
139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910
843-757-2650
tsquare@hargray.com
JOB NUMBER: 21-014T

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,
22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA
912-704-1955
jleonard@sawyerdd.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.
P.O. BOX 25324 - SAVANNAH - GEORGIA -31403
912-232-7130
smboyles@bellsouth.net

CIVIL ENGINEER

KEY ENGINEERING
P.O. BOX 2569 - BLUFFTON - SOUTH CAROLINA -29910
843-227-3031
keyengineering@hargray.com

LANDSCAPE

ROSE LANDSCAPING
25 PALMETTO BEACH DRIVE
BLUFFTON - SOUTH CAROLINA 29910
843-816-3518
b.rose@roselandscape.com

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

DRAWING INDEX

- 1 C - 100 COVER
- 2 L - 100 SITE PLAN
- 3 A - 100 FIRST FLOOR PLAN
- 4 A - 101 SECOND FLOOR PLAN
- 5 A - 102 WINDOW AND DOOR NOTES
- 6 A - 200 EXTERIOR ELEVATIONS
- 7 A - 201 EXTERIOR ELEVATIONS
- 8 A - 300 BUILDING SECTIONS - ROOF PLAN
- 9 A - 400 WALL DETAILS
- 10 A - 401 WALL DETAILS
- 11 S - 100 FOUNDATION PLAN
- 12 S - 101 STRUCTURAL PLANS
- 13 E - 100 ELECTRICAL PLANS
- 14 E - 100 ELECTRICAL PLANS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INCLUSIONS

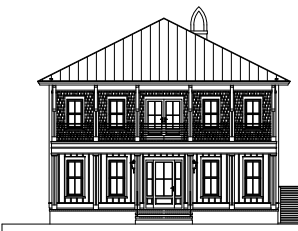
MARKED ITEMS ONLY

- 1 BUILDER LEVEL DESIGN DRAWINGS - STANDARD
- 2 STRUCTURAL ENGINEERING - UP-LIFT CONSULTATION
- 3 STRUCTURAL ENGINEERING - FRAMING PACKAGE
- 4 ME&P ENGINEERING
- 5 CIVIL ENGINEERING - CERTIFIED DRAINAGE

- 6 INTERIOR DESIGN - SELECTIONS
- 7 CABINETRY DESIGN
- 8 LANDSCAPE DESIGN
- 9 POOL - SPA DESIGN

PROJECT DATES 08.01.2024

- 1 PROJECT INITIATION 04.12.2022
- 2 30% DESIGN REVIEW 05.20.2022
- 3 REVIEW MEETING 07.20.2022
- 4 REVIEW MEETING 09.20.2022
- 5 60% DESIGN REVIEW 10.14.2022
- 6 100% DESIGN REVIEW 12.05.2022
- 7 A.R.B. REVIEW - 1 12.29.2022
- 8 A.R.B. REVIEW - 2 01.04.2023
- 9 A.R.B. REVIEW - 3 06.28.2023
- 10 A.R.B. REVIEW - 4 11.01.2023
- 11 A.R.B. REVIEW - 5 12.10.2023
- 12 A.R.B. REVIEW - 6 02.08.2024
- 13 A.R.B. REVIEW - 7 08.01.2024
- 14 STRUCTURAL REVIEW
- 15 BUILD
- 16
- 17



COVER 24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C., AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C., AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT SAWYER DESIGN STUDIO L.L.C. 2024 ALL RIGHTS RESERVED

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

REV

C - 100

01 - 14 SINGLE USE ONLY

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATIONDESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B" ICC 600-2018
I.R.C. - 2018FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY ZONE C
N/A Ft. NGVD29

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATIONDESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B" ICC 600-2018
I.R.C. - 2018FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY ZONE C
N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

DRIVEWAY

DRIVEWAY AND SIDEWALK TO BE BROOM FINISHED CONCRETE WITH STANDARD EXPANSION JOINTS

REQUIRED FILL DIRT

THIS SITE WILL REQUIRE FILL DIRT UNDER MAIN STRUCTURE TO BRING EXISTING GRADE UP TO ALLOW FOR DRAINAGE

FINAL ELEVATIONS

REFER TO CERTIFIED DRAINAGE PLAN FOR ALL FINAL FLOOR AND GRADING ELEVATION VERIFY WITH MASTER DRAWING SET PRIOR TO CONSTRUCTION

SITE DRAINAGE

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

VERIFY TREE REMOVAL WITH DRAINAGE PLAN

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

SOIL BEARING

SOIL BEARING PRESSURE ASSUMED AT 2,500 P.S.F. OWNER OR CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE DESIGN TEAM AND STRUCTURAL ENGINEER HARMLESS

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED SOUTH CAROLINA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

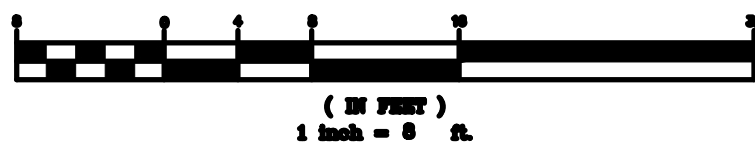
ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

FINISH ELEVATIONS

NOTE THAT FINISHED ELEVATIONS DO NOT STATE FINISHED HEIGHT OF CONCRETE UNDER BRICK FINISHES

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES PORTICOS PATIOS AND DRIVEWAYS

GRAPHIC SCALE



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	8.47'	25.00	8.43	N74°30'02"W

NOTES

1. According to FEMA Flood Insurance Rate Map # 4503C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F.T. NGVD88
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction
- Reference: 76163-1
PLAT BOOK 112 AT PAGE 133

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

SEA ISLAND CONSTRUCTION GROUP

A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

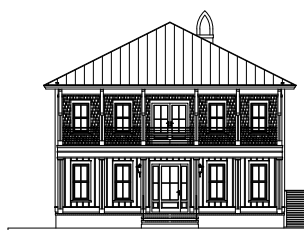
DIST 614, MAP 37, PARCEL 358

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: APRIL 10, 2022



SITE PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON22 - 018
08.01.2024

REV

L - 100

02 - 14 SINGLE USE ONLY

Page 19

- LEGEND**
- OMS - CONCRETE MONUMENT SET
 - OMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - ☎ - TELEPHONE PEDESTAL/COMMUNICATOR
 - Ⓢ - SEWER LATERAL
 - Ⓢ - SANITARY SEWER MANHOLE
 - ⊠ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - - CONTOUR LINES
 - - XFMR - TRANSFORMER
 - - WATER LATERAL
 - - WATER METER
 - - IRRIGATION CONTROL VALVE
 - - FIRE HYDRANT
 - - GRATE INLET
 - - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - - GUY LINE
 - - LIGHT POLE
 - ① - STORM DRAIN MANHOLE
 - ② - FIBEROPTICS MANHOLE

TREE LEGEND

- WHOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- FLM - PALMETTO
- CHY - CHERRY
- HLV - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

FRONT COVERED PORCH

FINISHED FRONT COVERED PORCH FLOOR

24.50' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

FIRST FLOOR

FINISHED FIRST FLOOR

24.75' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

SERVICE YARD

FINISHED SERVICE YARD FLOOR

22.75' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

SCREENED PORCH

FINISHED SCREENED PORCH FLOOR

24.50' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

PATIO

FINISHED PATIO FLOOR

22.75' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

GARAGE

FINISHED GARAGE FLOOR

22.75' M.S.L. - N.A.V.D. 88
(VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)BROOM FINISHED CONCRETE
DRIVEWAY TO BE EXTENDED TO
EXISTING RAILROAD TIESBROOM FINISHED CONCRETE
DRIVEWAY TO BE EXTENDED TO
EXISTING RAILROAD TIES

SITE PLAN

SCALE: 1" = 10'-0"

L - 100 - 1

0 1' 4' 8' 16'

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU: PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU: PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:
NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN
FOR ADDITIONAL
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND
SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

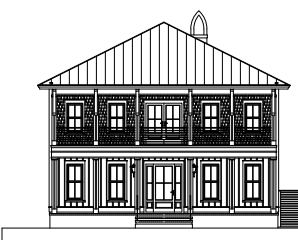
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FLOOR PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, LLC. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, LLC. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS, PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, LLC. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

REV

A - 100

03 - 14 SINGLE USE ONLY

Page 20

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
A - 100 - 1

0 1' 4' 8' 16'

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZNC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITED TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN
FOR ADDITIONAL
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND
SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

REV

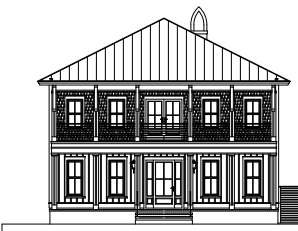
0 1' 4' 8' 16'

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

A.R.B. REVIEW

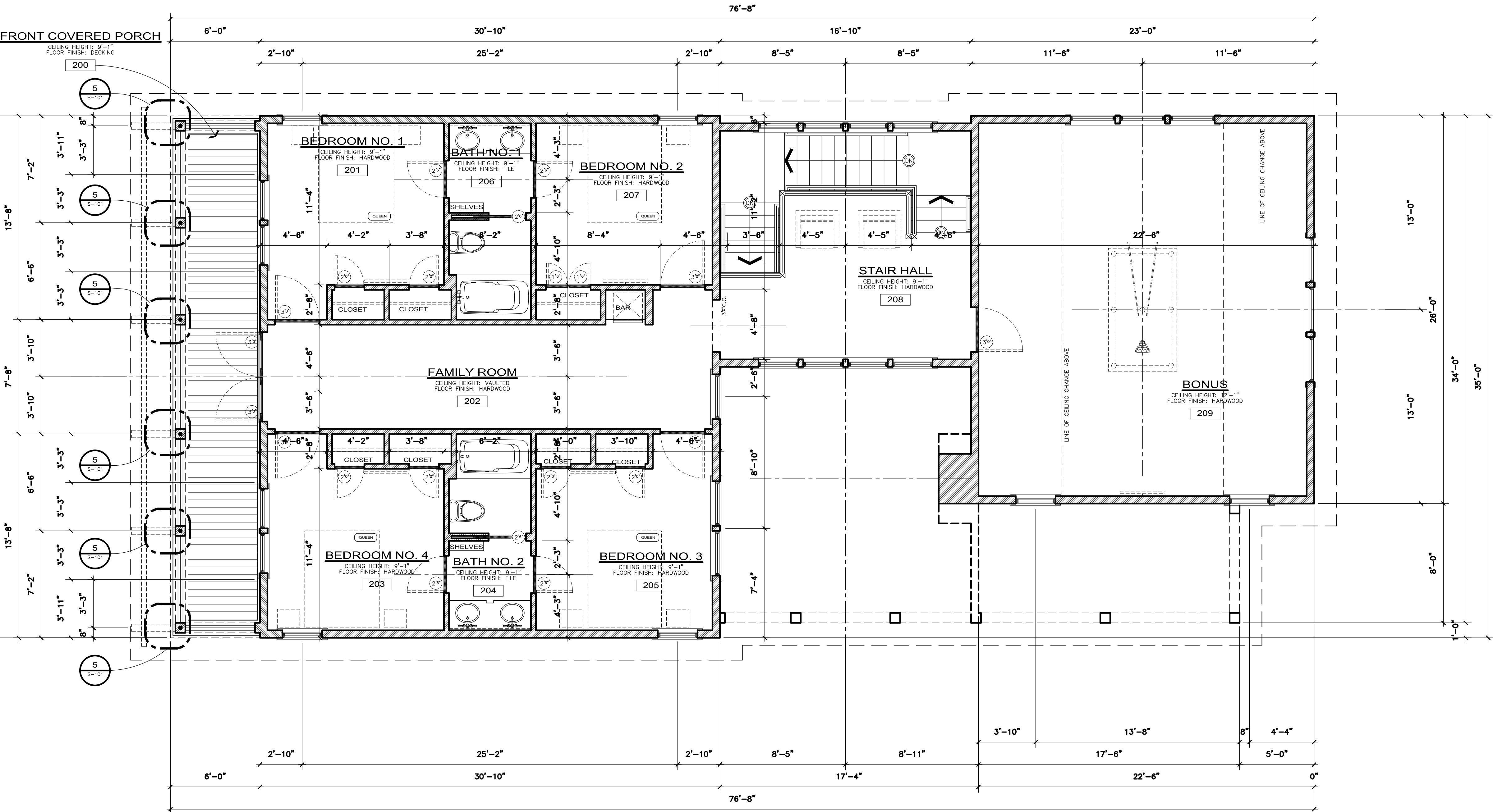
THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS, PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

A - 101

04 - 14 SINGLE USE ONLY

Page 21



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A - 101 - 1

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND
SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO
CONSTRUCTION

WINDOWS

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW
HEAD HEIGHT
ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED
AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

EGRESS

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW
LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW
MANUFACTURE SELECTION

MANUFACTURE

ALL WINDOWS AND DOORS ARE SHOW TO TYPICAL SIZES THE GENERAL
CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE
SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR
INSTALLATION

SHOP DRAWINGS

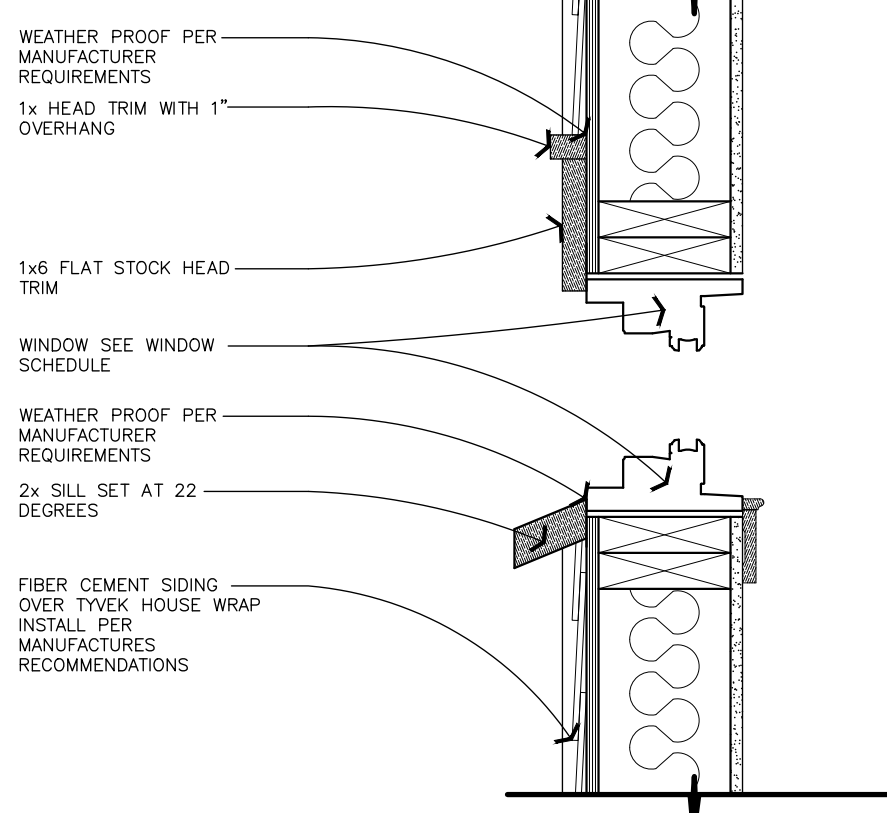
ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY
THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

WINDOW DIMENSIONS

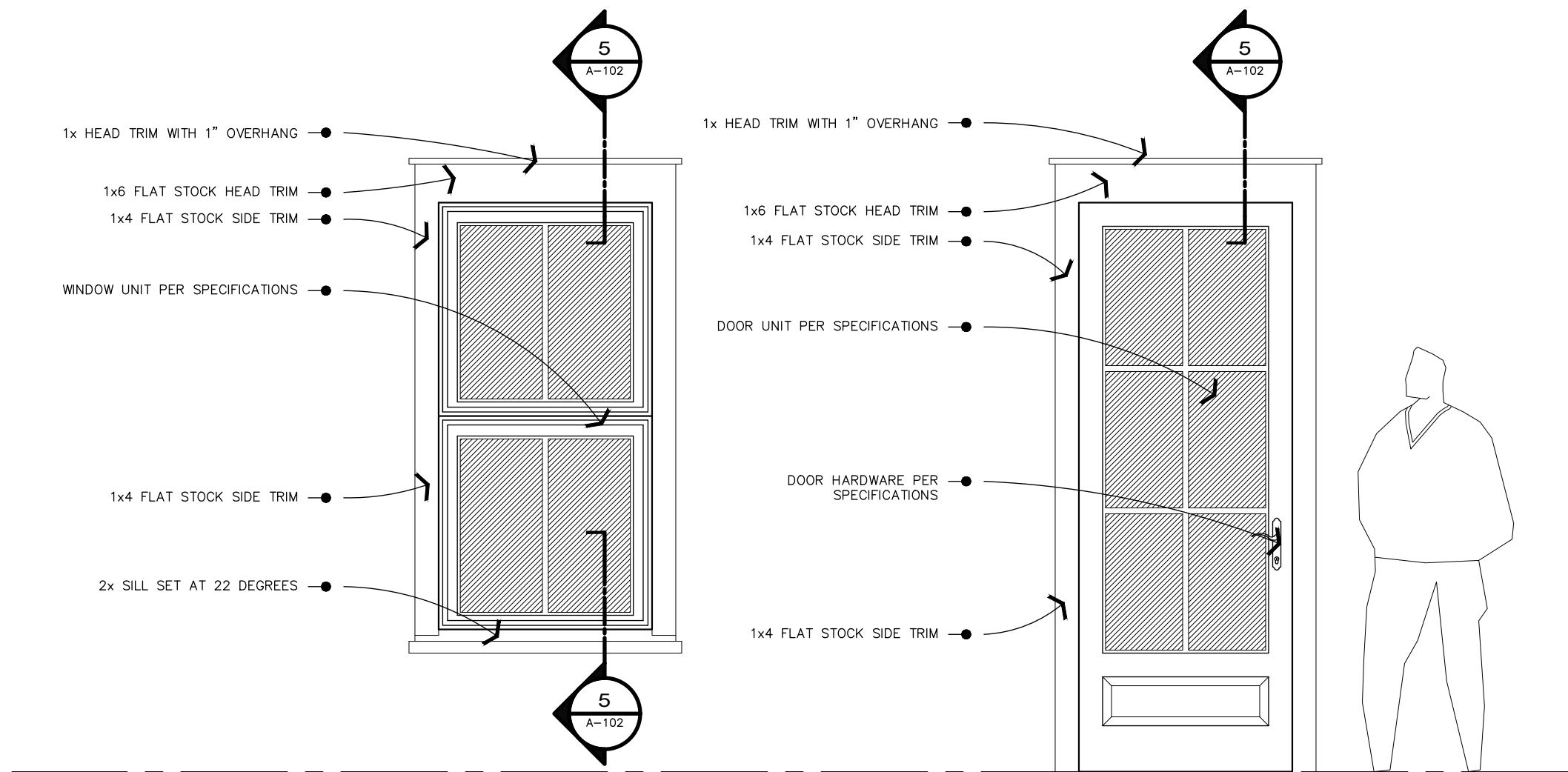
ALL WINDOW DIMENSIONS ARE FOR REFERENCE ONLY THE GENERAL
CONTRACTOR IS TO VERIFY AND ALIGN ALL WINDOW WITH THE EXTERIOR
ELEVATIONS AND BUILDING SECTIONS PRIOR TO ORDER AND INSTALLATION

NOTES

ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER
SIZES
ALL WINDOWS AND DOOR SIZES AND EGREES REQUIREMENTS TO BE VERIFIED
BY THE BUILD TEAM
FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE
DESIGN TEAM PRIOR TO ORDER
ALL NEW WINDOW AND DOOR UNITS TO MATCH THE EXISTING MAIN HOUSE
DOOR AND WINDOW UNITS

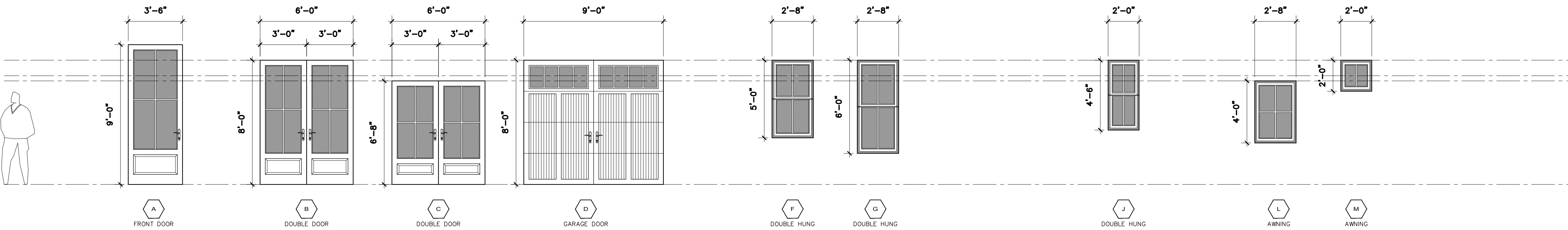


WALL DETAIL - WINDOW AND DOOR TRIM
SCALE: 1/4" = 1'-0"
A - 102 - 5



WINDOW AND DOOR TRIM
SCALE: 1/4" = 1'-0"
A - 102 - 4

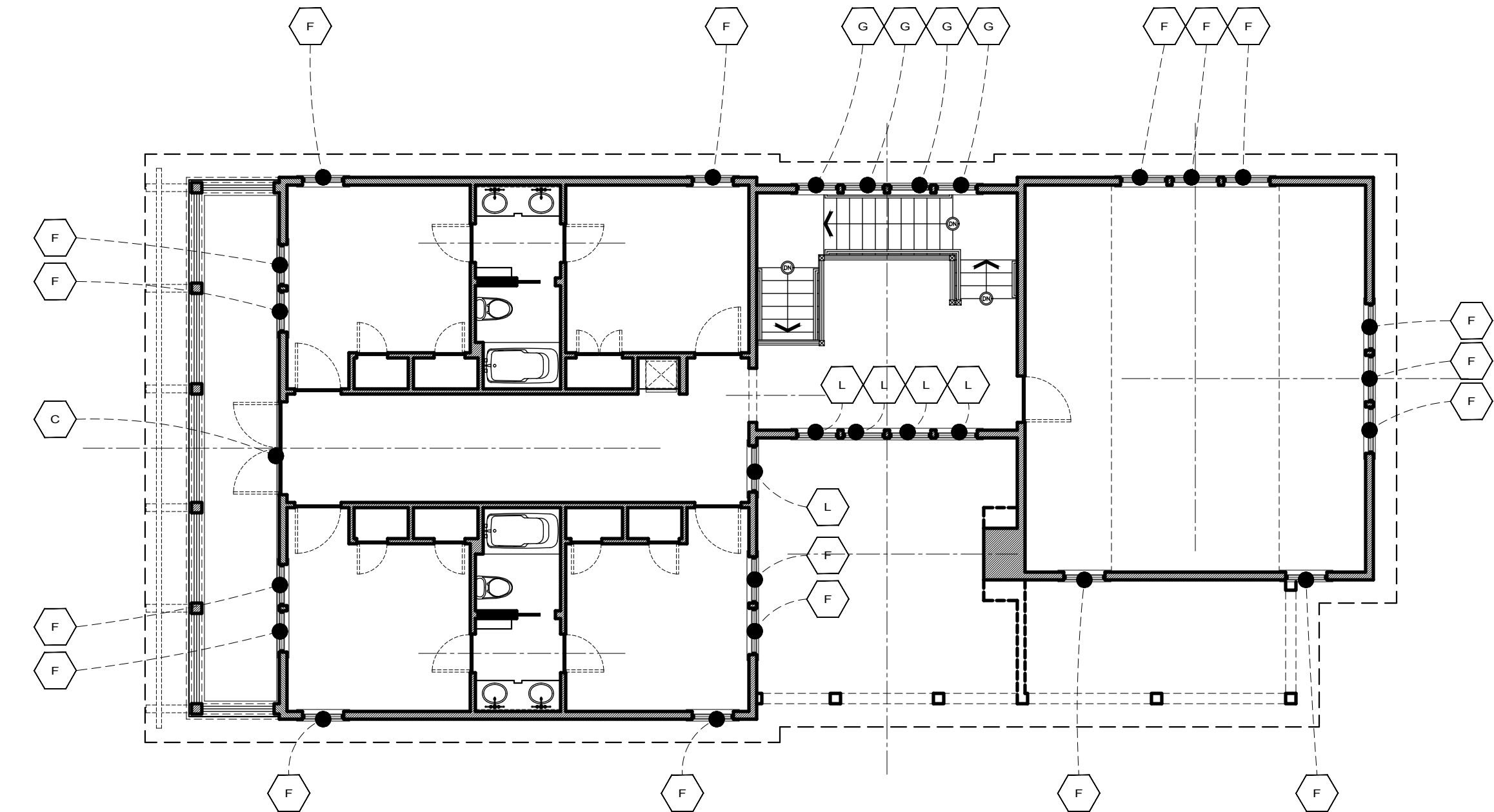
HEAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY - VERIFY WITH EXTERIOR ELEVATIONS



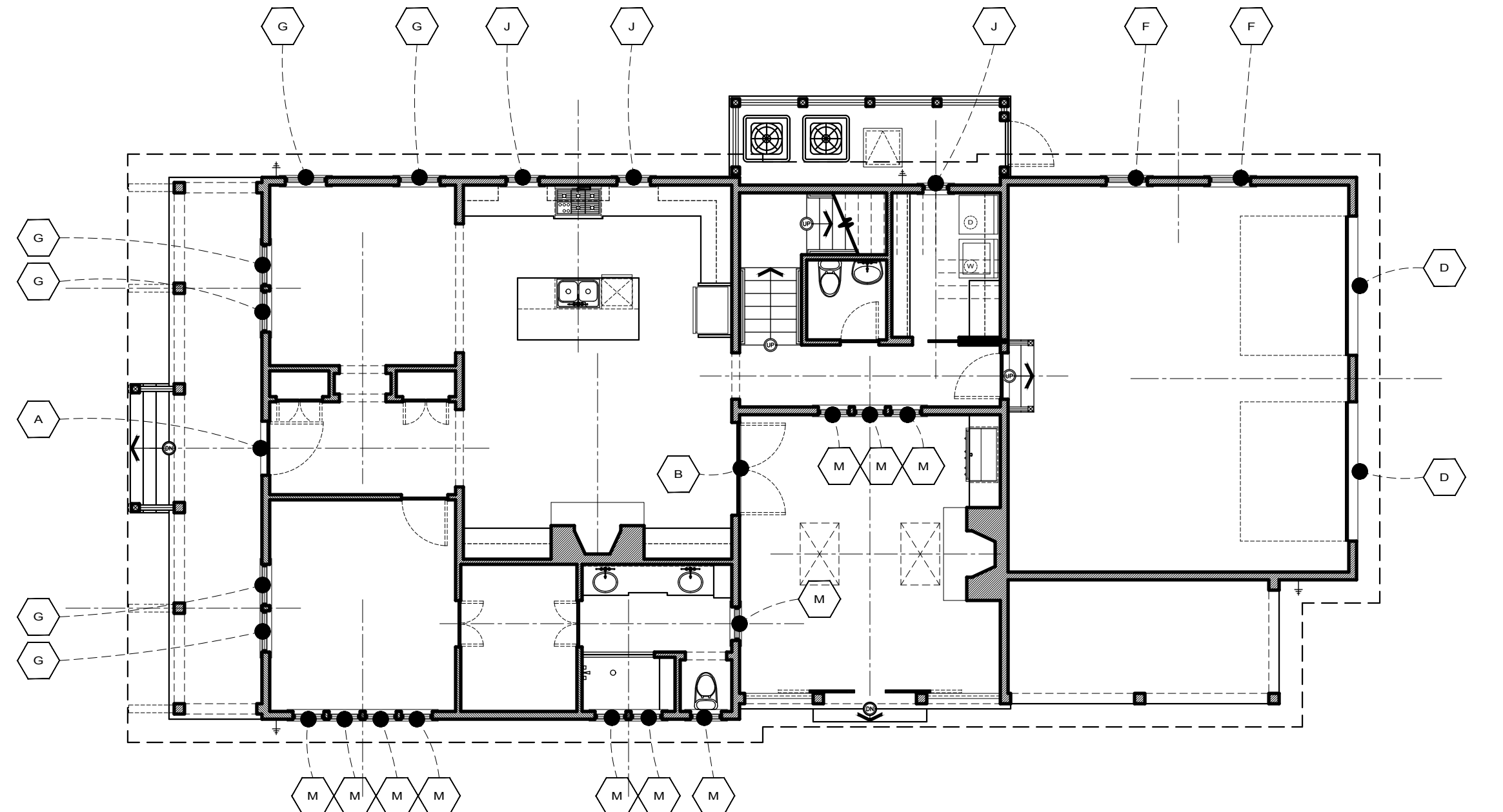
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO
CONSTRUCTION

WINDOW AND DOOR NOTES
SCALE: 1/4" = 1'-0"
A - 102 - 3



SECOND FLOOR - WINDOW AND DOOR NOTES
SCALE: 1/8" = 1'-0"
A - 102 - 2



FIRST FLOOR - WINDOW AND DOOR NOTES
SCALE: 1/8" = 1'-0"
A - 102 - 1

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY
CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V33 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

ZONE C
N/A Ft. NGVD29

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C.
UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C.
UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH
"J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL
HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE
FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A
OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND
FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE
UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5
TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL
DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS
AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS
16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS
UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH
WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED -
VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED -
VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL
VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE
LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB -
UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE
NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS
PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE
NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC
SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD
ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA
STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF
RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND
SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION
PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND
TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST
MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND
IRRIGATION LAYOUTS

BRICK - STONE
ALL BRICK OR STONE FINISH IS TO BE
ATTACHED PER MANUFACTURERS REQUIREMENTS
SEE SPECIFICATION PRIOR TO ANY
INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO
CONSTRUCTION

SEE FOUNDATION PLAN
FOR ADDITIONAL
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO
CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND
SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO
CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN DESIGN PACKAGE
AND MATERIAL SELECTIONS FOR ALL INTERIOR
TRIM AND DETAILS

TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON
REV

22 - 018
08.01.2024

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND
DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH
THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND
INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND
OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE
RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN
THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND
OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION
AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY
GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS
PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH
OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE
CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK.
EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE
REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL
REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY
DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN
TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF
RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND
DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL
BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB.
THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT"
INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V33 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ZONE C
N/A Ft. NGVD29

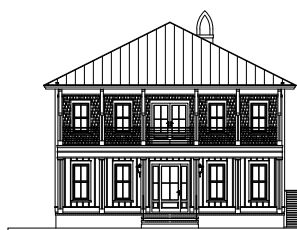
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY
CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF
SAWYER DESIGN STUDIO, LLC, AND MAY NOT BE CONSTRUCTED OR USED
WITHOUT SAWYER DESIGN STUDIO, LLC, WRITTEN PERMISSION. NO
PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL
WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY
BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR
PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION
TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS
IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL
FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, LLC, AND, IN THE
ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A
ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY
REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE
ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

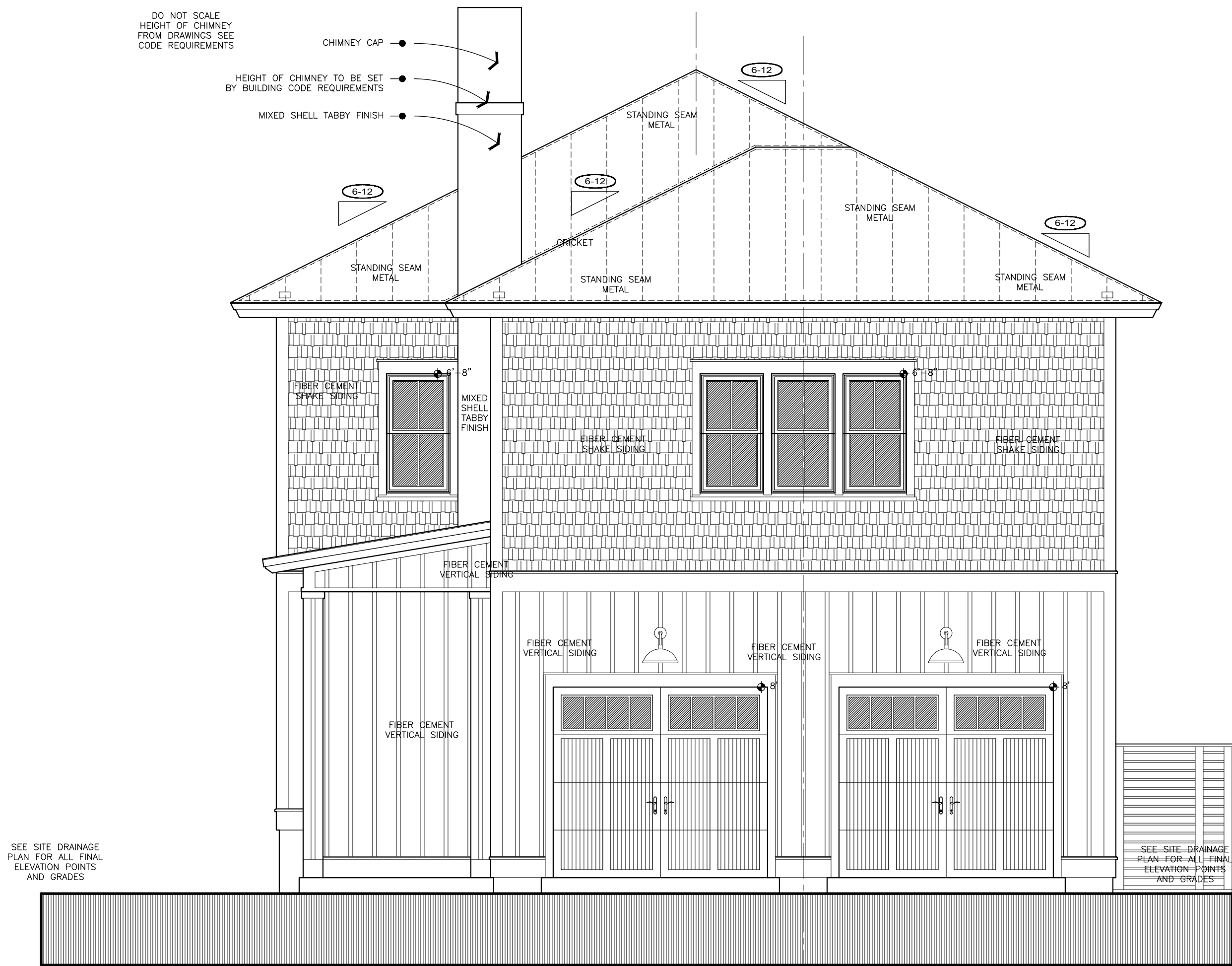
A - 102

05 - 14 SINGLE USE ONLY

Page 22

DO NOT SCALE
HEIGHT OF CHIMNEY
FROM DRAWINGS SEE
CODE REQUIREMENTS

CHIMNEY CAP
HEIGHT OF CHIMNEY TO BE SET
BY BUILDING CODE REQUIREMENTS
MIXED SHELL TABBY FINISH



EXTERIOR ELEVATION - BACK

SCALE: 1/4" = 1'-0"

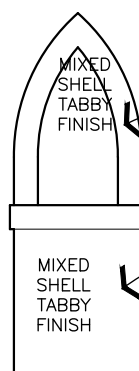
A - 201 - 3

0 1' 4' 8' 16'

RIDGE HEIGHT

APPROXIMATE MAIN RIDGE HEIGHT
32'-2" A.F.F.
GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

DO NOT SCALE
HEIGHT OF CHIMNEY
FROM DRAWINGS SEE
CODE REQUIREMENTS



CHIMNEY CAP
HEIGHT OF CHIMNEY TO BE SET
BY BUILDING CODE REQUIREMENTS
MIXED SHELL TABBY FINISH

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.
SECOND FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

SECOND FLOOR
FIRST FLOOR CEILING HEIGHT
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN 30" STEP
FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN

EXTERIOR ELEVATION - LEFT

SCALE: 1/4" = 1'-0"

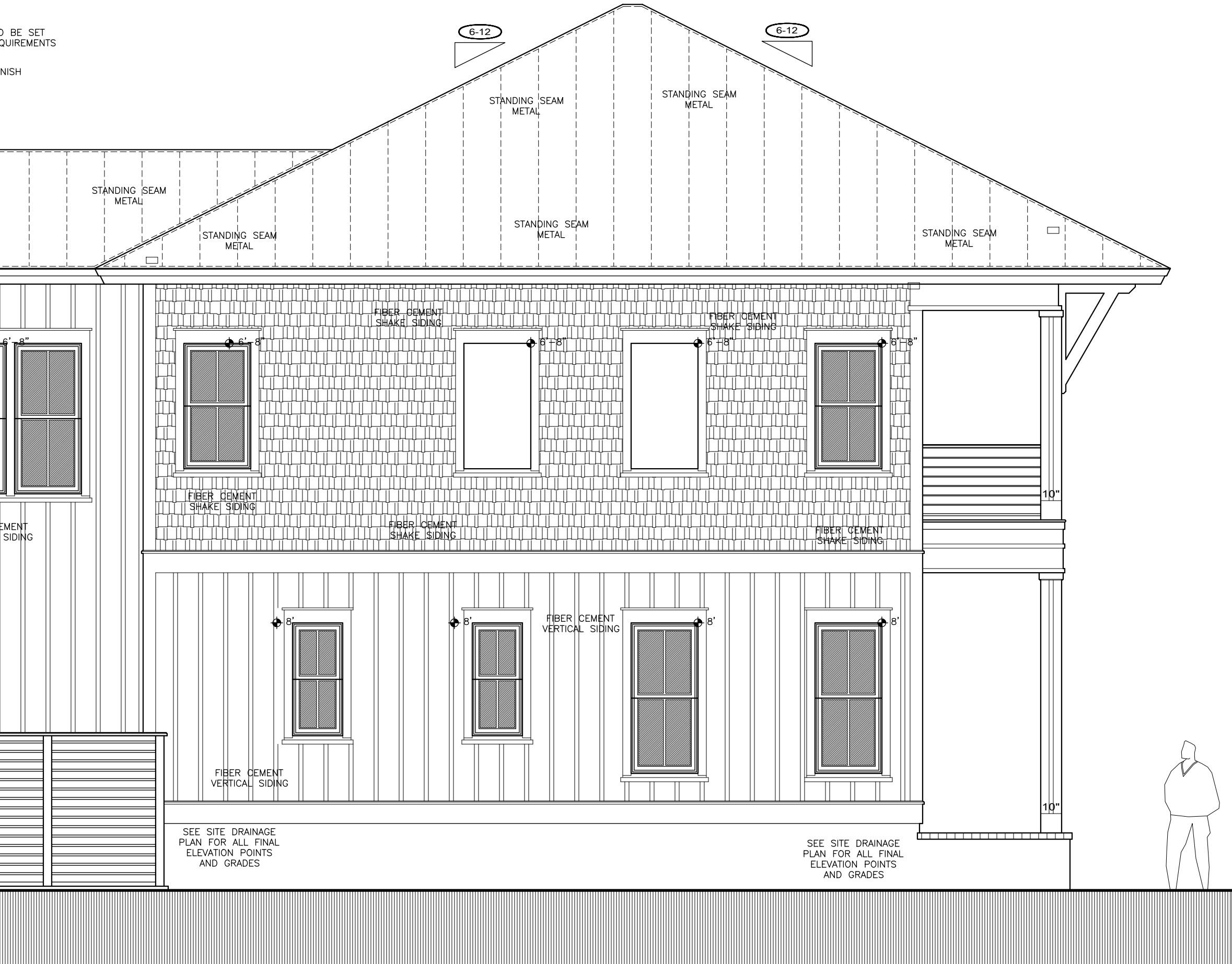
A - 201 - 1

EXTERIOR ELEVATION - BACK - GARAGE REMOVED

SCALE: 1/4" = 1'-0"

A - 201 - 2

0 1' 4' 8' 16'



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-1"

AND SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH

ALL PRIMARY ROOF PITCHES ARE:

6-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HIPS ARE:

4-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION

SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS

ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES

DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS

DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS

ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 504.2.2

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS
AND SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH

6 - 12

SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN
FOR LOCATION ONLY VERIFY
WITH SPECIFICATION
FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED
ELEVATION HEIGHTS
WITH FLOOR PLANS
AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN DESIGN PACKAGE
AND MATERIAL SELECTIONS FOR ALL INTERIOR
TRIM AND DETAILS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

ZONE C

FLOOD ZONE PER SURVEY

N/A Ft. NGVD29

MINIMUM F.F.F. PER SURVEY

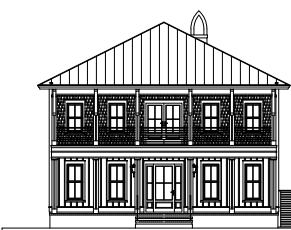
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATIONS

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT SAWYER DESIGN STUDIO L.L.C. 2024 ALL RIGHTS RESERVED

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018

08.01.2024

REV

A - 201

07 - 14

SINGLE USE ONLY

Page 24

DRAWING NOTES

ROOF PLAN - DETAILS

HIP OVERHANGS
ALL ROOF OVERHANGS AT HIPS ARE TO BE 1'-6" UNLESS OTHERWISE NOTED

GABLE OVERHANGS
ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED

ROOF PITCH
ALL GABLE END MODIFIED HIPS TO BE 4-12 PITCH UNLESS OTHERWISE NOTED

STRAPPING
ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED

RAFTERS
SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

SHEATHING
PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES

PRELIMINARY WATER PROOFING
ALL VALLEYS CRICKETS CHIMNEY TRANSITIONS FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRADE ICE AND WATER SHIELD AND OR EQUAL VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS

STRUCTURAL HARDWARE
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-35) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS (ISOLATE UNLIKE MATERIALS IF NECESSARY)

ROOF PITCH
6 - 12
SEE NOTES FOR CLARIFICATION

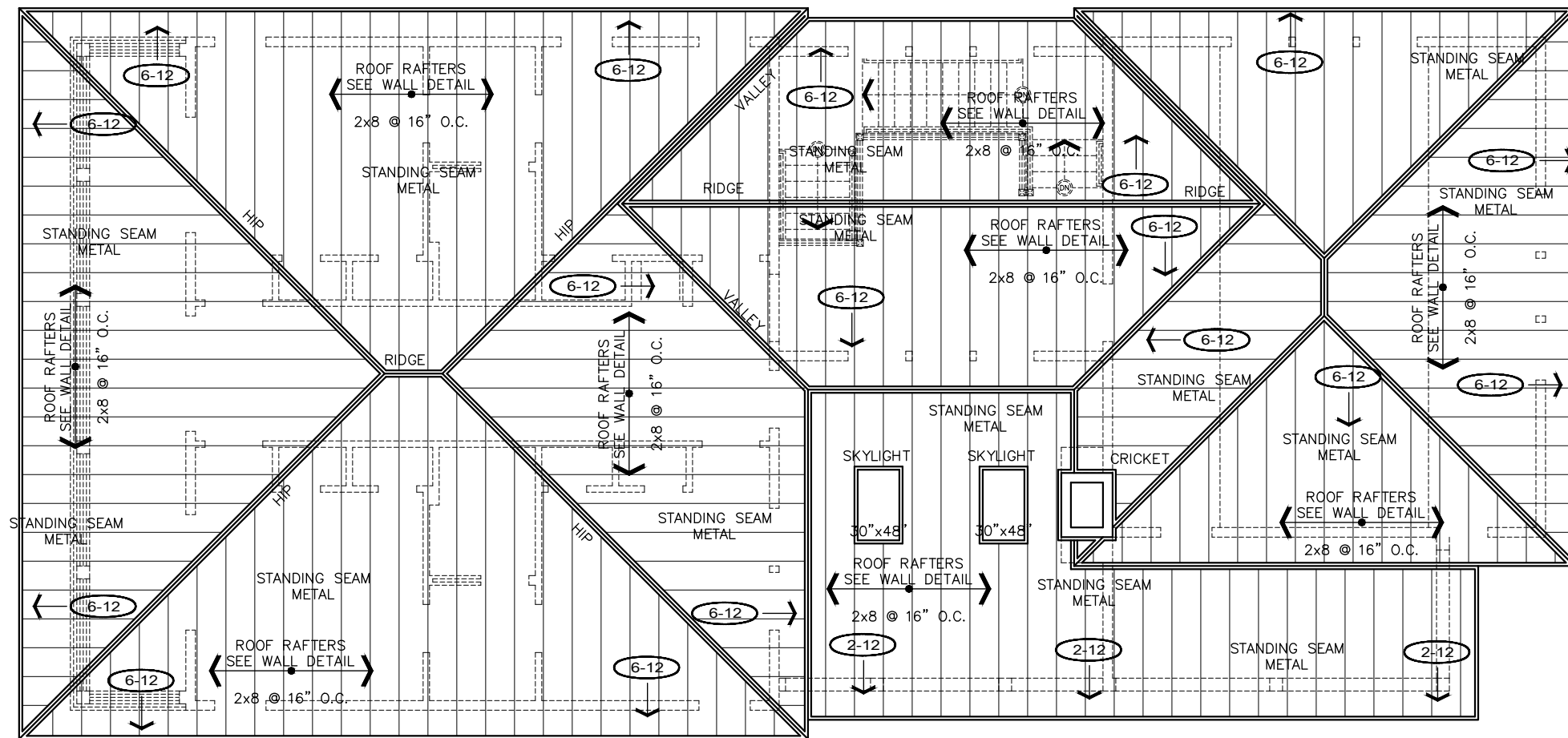
ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

ROOF PLAN

SCALE: 1/8" = 1'-0"

A - 300 - 2



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

MAIN HOUSE

APPROXIMATE MAIN RIDGE HEIGHT
32'-2" A.F.F.

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT
11'-1" A.F.F.

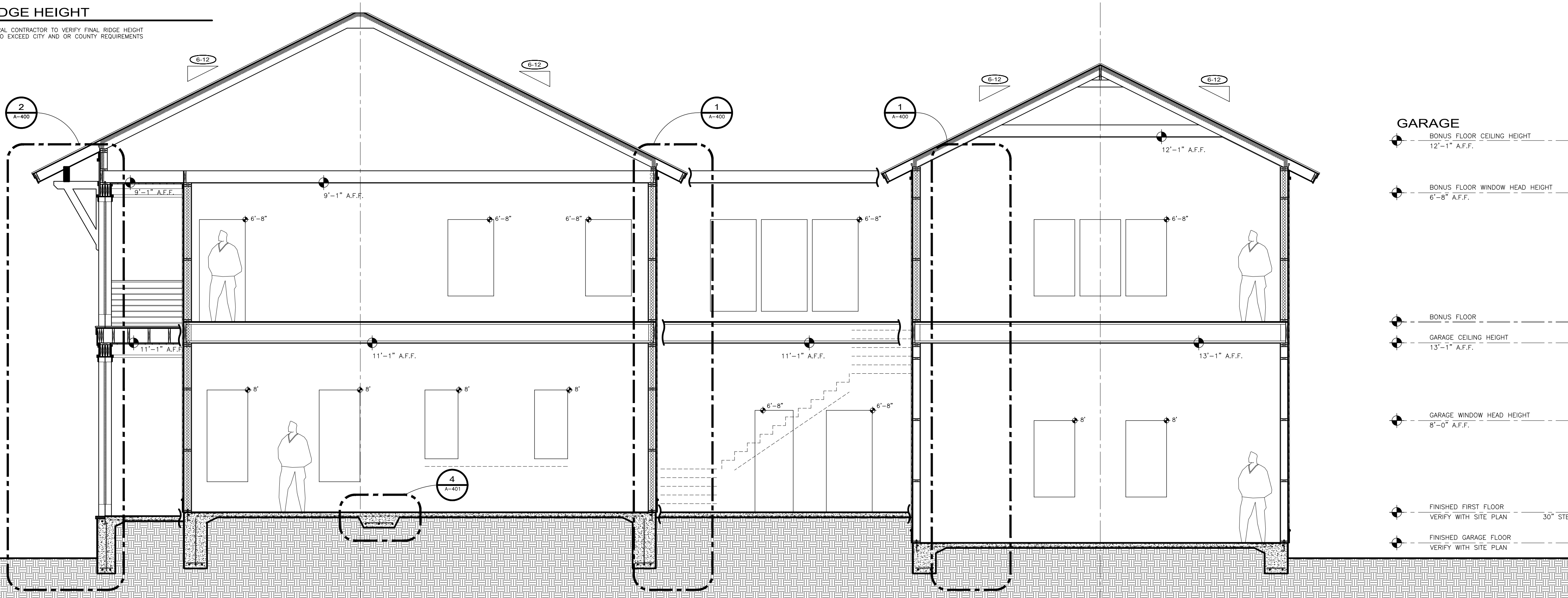
FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR

VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR

VERIFY WITH SITE PLAN



GARAGE

BONUS FLOOR CEILING HEIGHT
12'-1" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

BONUS FLOOR

GARAGE CEILING HEIGHT
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR

VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR

VERIFY WITH SITE PLAN

BUILDING SECTION - MAIN HOUSE

SCALE: 1/4" = 1'-0"

A - 300 - 3

BUILDING SECTION - GARAGE

SCALE: 1/4" = 1'-0"

A - 300 - 1

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018

08.01.2024

REV

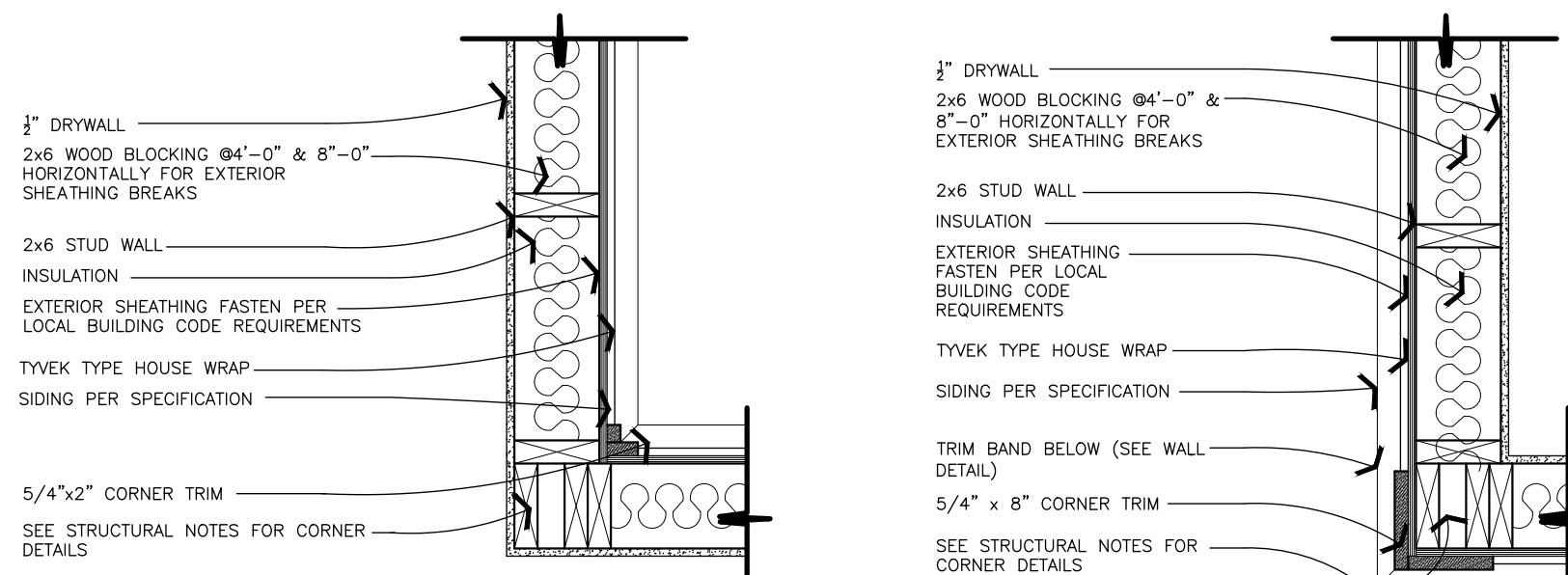
COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

A - 300

08 - 14

SINGLE USE ONLY

Page 25



WALL DETAIL - TYPICAL CORNER

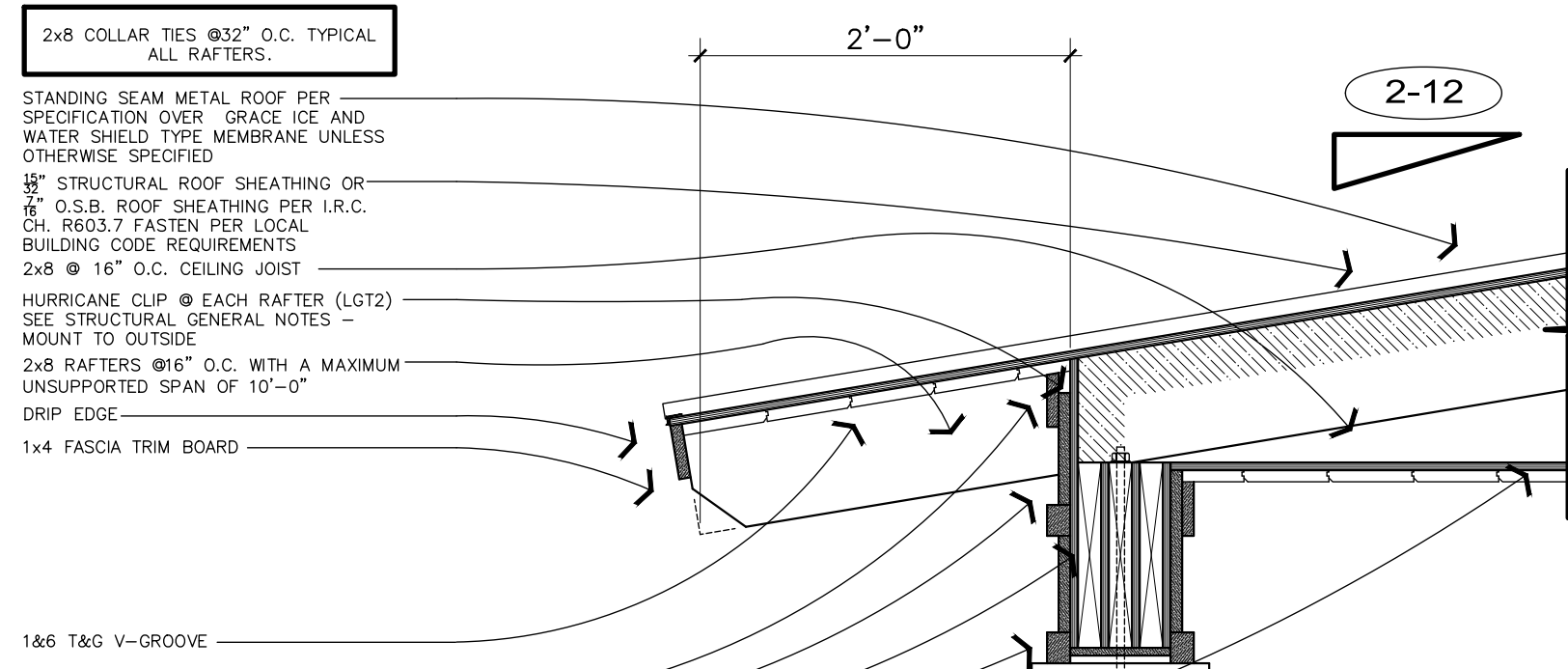
SCALE: 1" = 1'-0"
A - 400 - 4

VERIFY WITH GENERAL STRUCTURAL NOTES

0 6" 1' 2'

DRIP EDGE
1x4 FASCIA TRIM BOARD
1x8 SUB FASCIA
2x6 SUB FASCIA

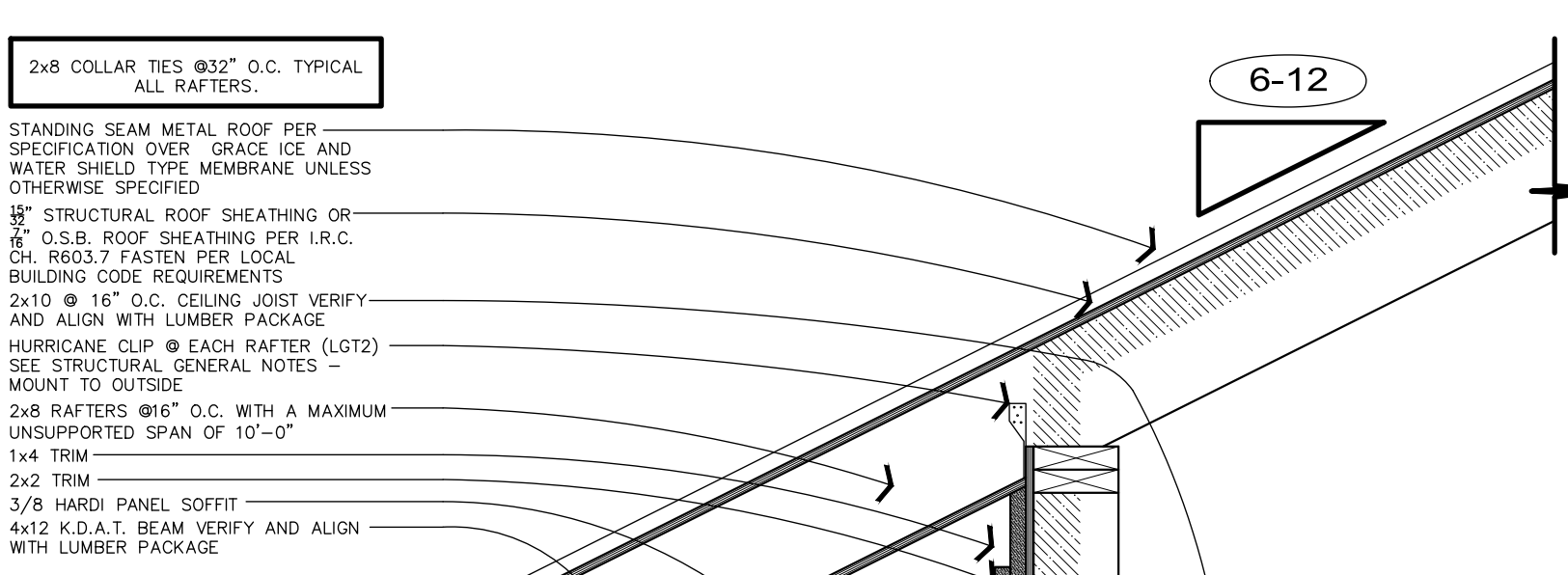
G.C. TO VERIFY VENTING WITH USE OF INSULATION TYPE



WALL DETAIL - BACK SCREENED PORCH

SCALE: 1" = 1'-0"
A - 400 - 3

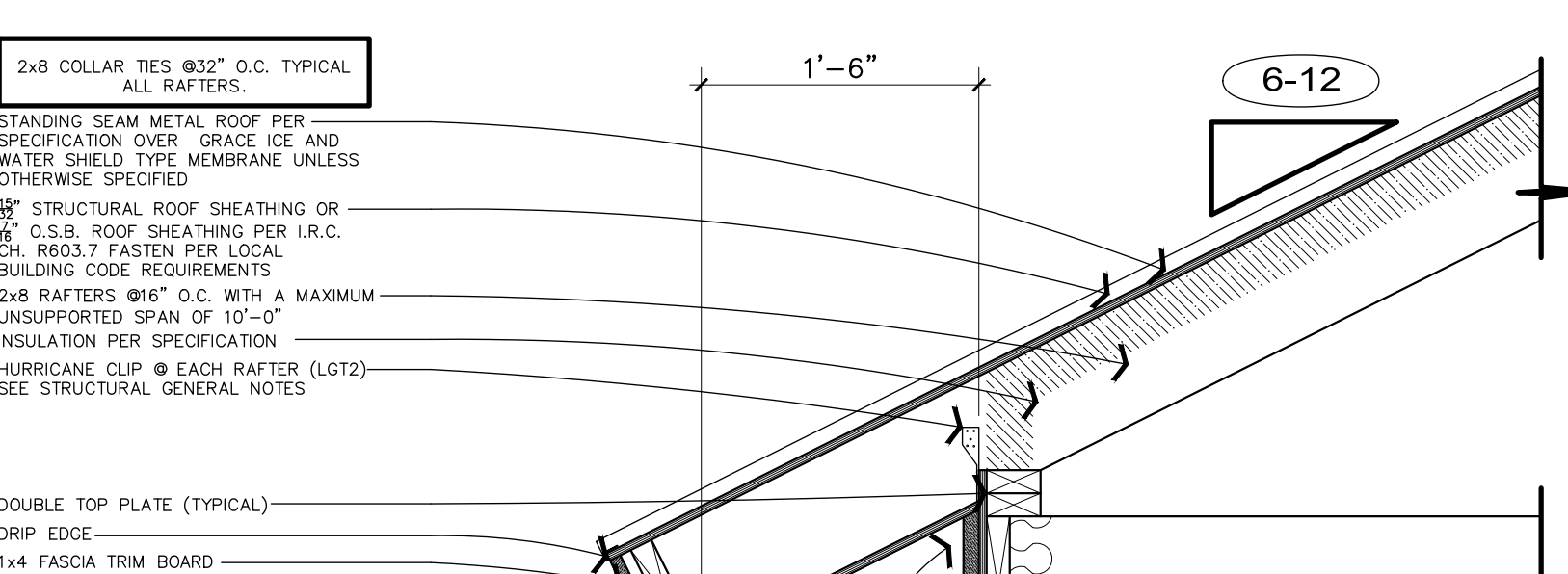
0 6" 1' 2'



WALL DETAIL - FRONT COVERED PORCH

SCALE: 1" = 1'-0"
A - 400 - 2

0 6" 1' 2'



WALL DETAIL - TYPICAL

SCALE: 1" = 1'-0"
A - 400 - 1

0 6" 1' 2'

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS
ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS
ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING
FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS
3000 P.S.I. TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @ 48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS
8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS
12" x 12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER
BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS
6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS
4" THICK 3000 P.S.I. CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITES TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS
ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-0"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-0"

FIRST FLOOR CASED OPENINGS
ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

WINDOW - HEAD HEIGHTS
ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-6"

INTERIOR DOORS - HEAD HEIGHTS
ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-6"

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS. SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS

VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

WALL DETAILS

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE REPRODUCED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024. ALL RIGHTS RESERVED.

22 - 018
08.01.2024

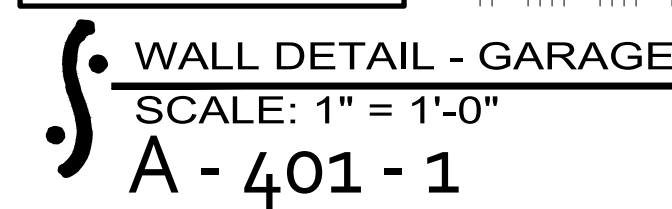
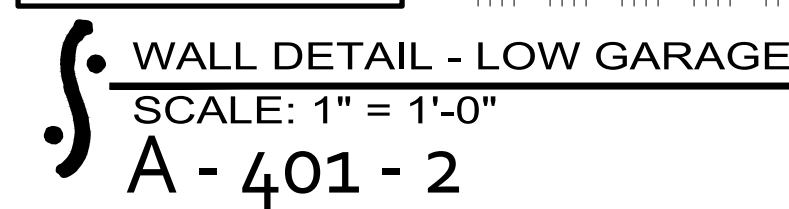
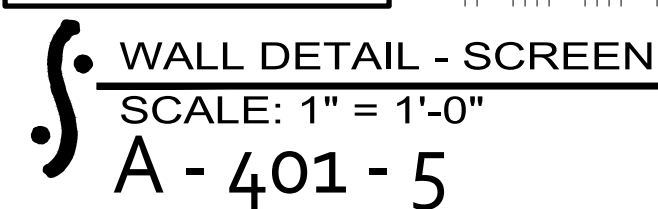
TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

REV

09 - 14 SINGLE USE ONLY

Page 26



SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

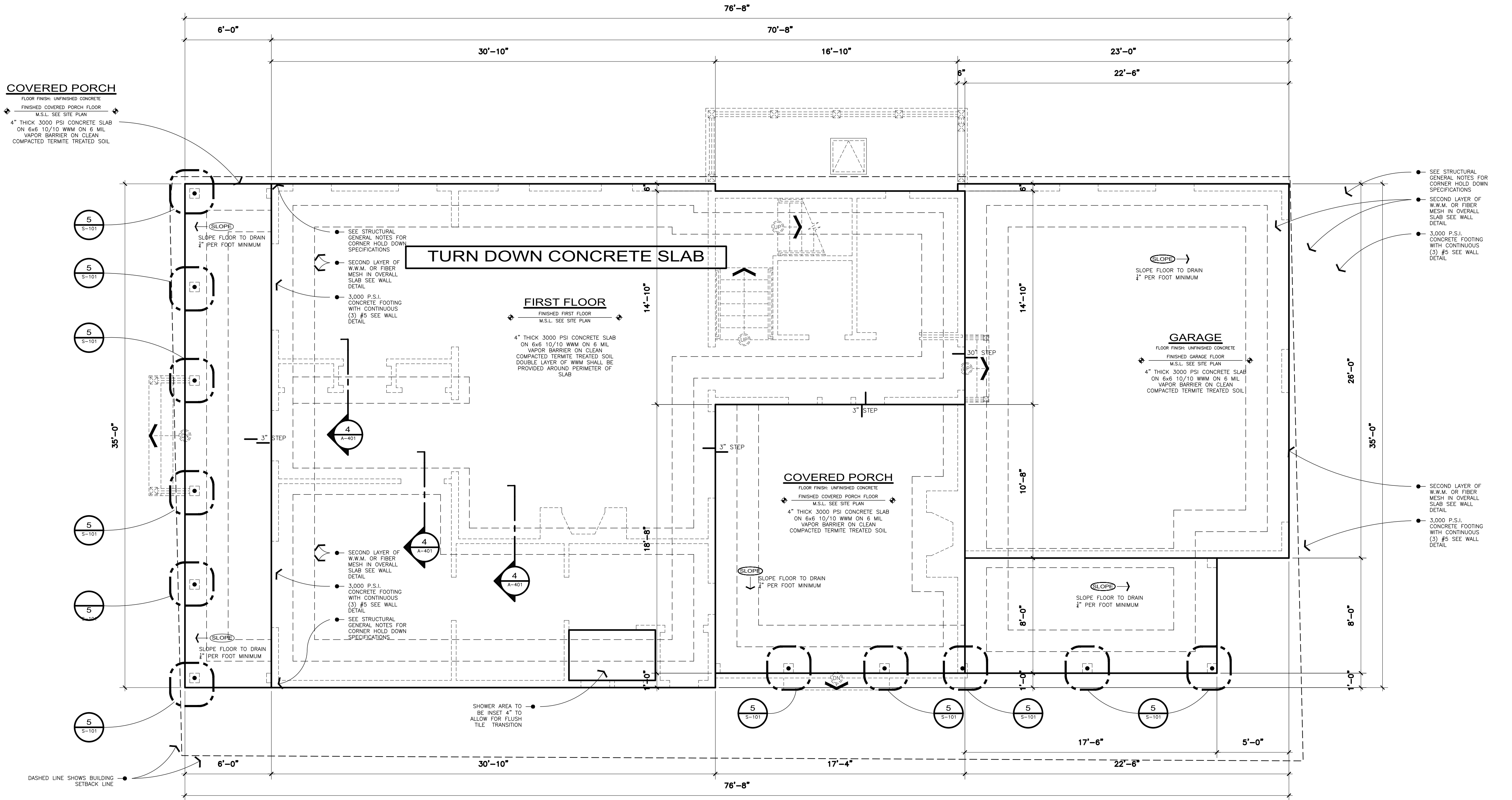
KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

COVERED PORCH

FLOOR FINISH: UNFINISHED CONCRETE
FINISHED COVERED PORCH FLOOR
M.S.L. SEE SITE PLAN
4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 WWM ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL



DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR C-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

6" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

REV



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 138 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

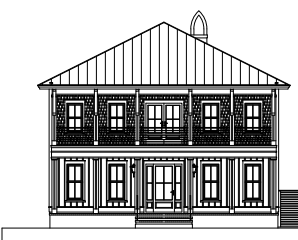
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FOUNDATION PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, LLC. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, LLC. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, LLC. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
S - 100 - 1

0 1' 4' 8' 16'

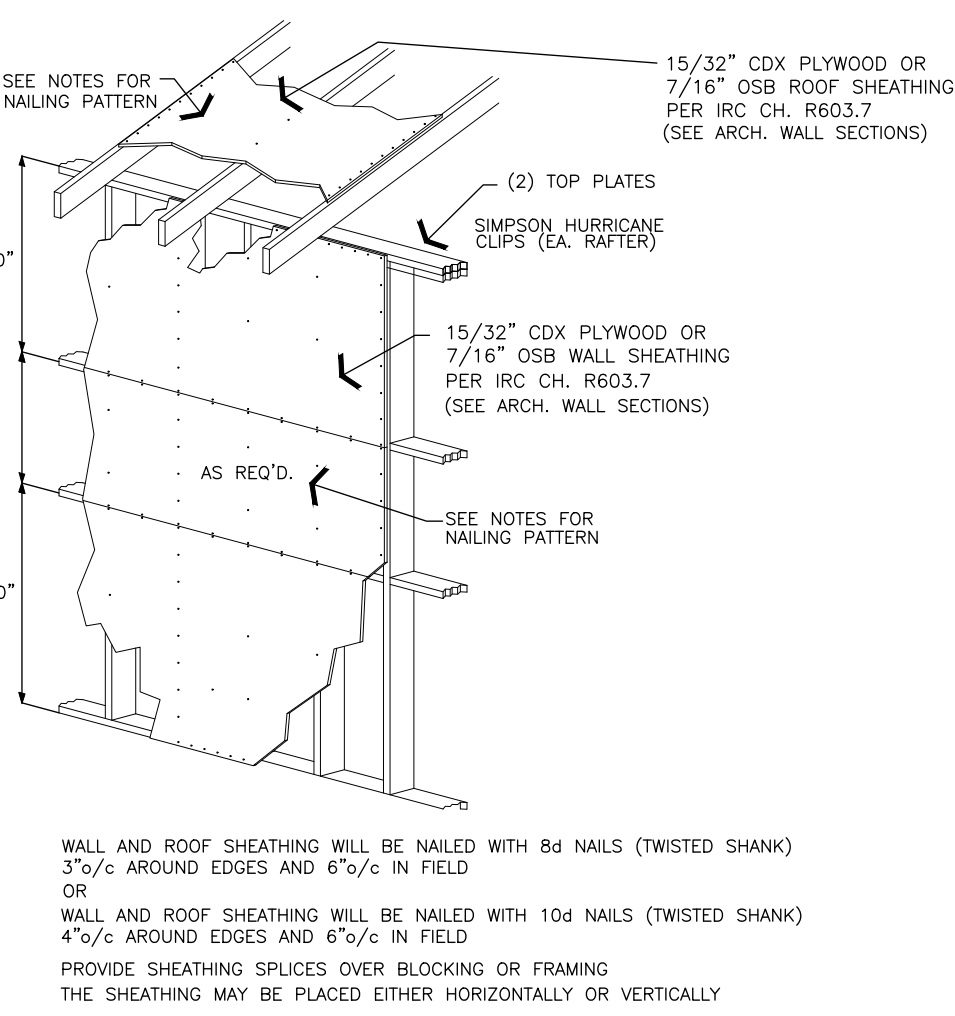
S - 100

11 - 14 SINGLE USE ONLY

Page 28

	FASTENER	NUMBERS OR SPACING
JOIST TO BAND JOIST, FACE NAIL	16D COMMON	3
JOIST TO SILL OR GIRDER, TOE-NAIL	8D COMMON	3
BRIDGING TO JOIST, TOENAIL EACH END	8D COMMON	2 @
LEDGER STRIP	16D COMMON	3 @ EACH JOIST
1x6 OR LESS SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1x6 SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2" SUB FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	16D COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D COMMON	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16D COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8D COMMON	4
DOUBLE STUDS, FACE NAIL	10D COMMON	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10D COMMON	16" O.C.
TOP PLATES, LAP AND INTERSECTIONS FACE NAIL	-	2-16D OR 3-10D COMMON
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOENAIL	8D COMMON	3
CONTINUOUS HEADER TO STUD, TOE NAIL	8D COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	-	3-16D OR 4-10D COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	-	3-16D OR 4-10D COMMON
RAFTER TO PLATE, TOENAIL	8D COMMON	3
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	8D COMMON	2
1x8 OR LESS SHEATHING TO EACH BEARING, FACE NAIL	8D COMMON	2
BUILT-UP CORNER STUDS	16D COMMON	3
BUILT-UP GIRDERS AND BEAMS, OF THREE MEMBERS	16D COMMON	24" O.C.
STUDS TO SOLE PLATE, END NAIL	16D COMMON	16D COMMON

PER TABLE NO. 2306.1 SSTD 10-99
APPLIES UNLESS NOTED OTHERWISE ON DRAWINGS



WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK)
3/4\"/>

GENERAL CONCRETE NOTES

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS
- ALL CONCRETE WORK SHOULD BE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- ALL REINFORCING STEEL TO BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60
- WELDED WIRE FABRIC SHALL CONFORM TO A-185 POLYPROPYLENE FIBER MESH OR FIBER MESH STRANDS MAY BE SUBSTITUTED FOR WELDED WIRE FOR NON STRUCTURAL SLAB REINFORCEMENT
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS SLEEVES ANCHOR BOLTS INSERTS ETC. AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED, NO SLEEVES OPENINGS OR INSERTS MAY BE PLACED IN BEAMS OR SLABS UNLESS APPROVED BY THE STRUCTURAL ENGINEER AND SHOWN CLEARLY ON THE APPROVED SHOP DRAWINGS
- ALL REINFORCING DETAILS ARE TO CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 318 UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS
- PROVIDE SPACERS CHAIRS BOLTERS ETC. AS REQUIRED TO ASSEMBLE PLATE AND SUPPORT ALL REINFORCING IN PLAN
- PROVIDE CORNER BARS FOR ALL FOOTINGS ALL FOOTING BOWEL BARS SHALL HAVE A STANDARD 90 DEGREE HOOK AND SHALL BE EMBEDDED 5" INTO INTERIOR FOOTINGS AND A MINIMUM OF 7" INTO ALL OTHERS. BOWEL BARS LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 25"
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRETREATED
- SOIL UNDER SLAB TO BE PRETREATED FOR TERMITES AS PER THE 2006 INTERNATIONAL BUILDING CODE
- ALL FOOTINGS TO BE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 2500 P.S.F. OWNER AND CONTRACTOR ARE TO HAVE THE SOIL PRESSURE VERIFIED AND IF CONTACT PRESSURE IS LESS THAN 2500 P.S.F. THE FOUNDATION WILL HAVE TO BE RE-DESIGNED. COMPACT FILL SOIL TO 98% STANDARD PROCTOR DENSITY DOWN TO 2'-0" BELOW ALL SLABS AND FOOTINGS
- PLUMBING WASTE PIPES PENETRATING CONCRETE FOOTINGS SHALL BE CAST IRON OR SCHEDULE 40 PVC GROUP WY AS PER ASTM C47613. MASONRY WORK PER ACI 530.1-02

FOUNDATION DESIGN ASSUMPTIONS

THE FOUNDATION SHALL BE PLACED ON UNDISTURBED SOIL OR ROCK WITH A BEARING CAPACITY WITH A SAFE WORKING DESIGNATION BY A GEOTECHNICAL ENGINEER. IF PORTIONS OF THE SLAB OR FOUNDATION IS ON PREPARED FILL, A REGISTERED GEOTECHNICAL ENGINEER SHALL VERIFY SUITABILITY OF THE FILL FOR USE AND ITS FOUNDATION BEARING CAPACITY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SOIL AND OR SITE LOCATION PRIOR TO COMMENCING WORK AND NOTIFYING THE STRUCTURAL ENGINEER AND ARCHITECT IMMEDIATELY IN THIS DESIGN IMMEDIATELY

SOIL BEARING PRESSURE

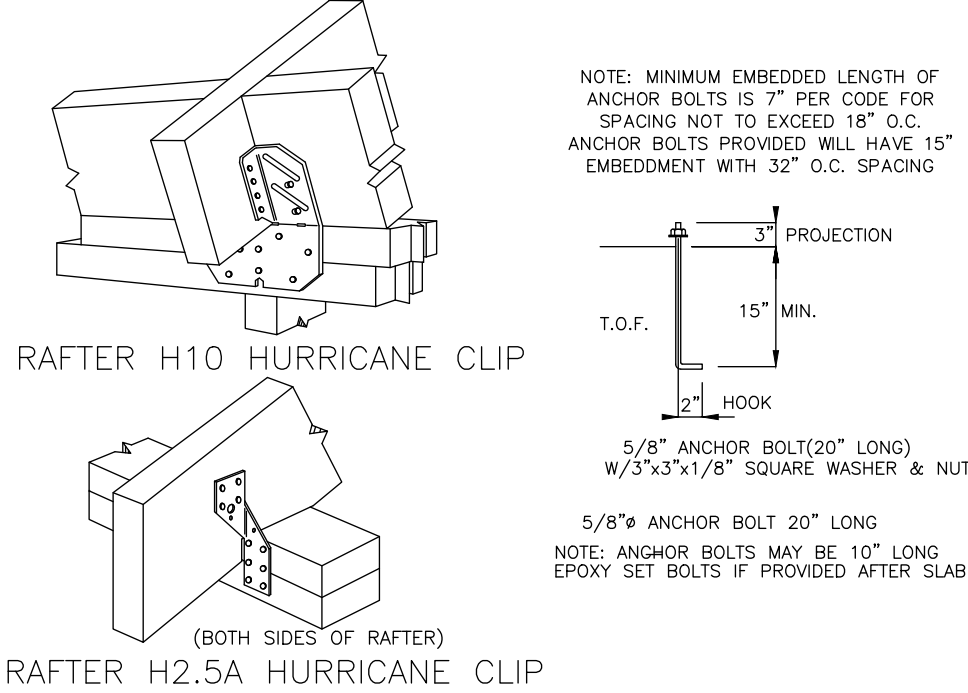
SOIL BEARING PRESSURE ASSUMED AT 2500 P.S.F.
OWNER DID NOT FURNISH TEST TO ESTABLISH SOIL BEARING PRESSURE. THE OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE STRUCTURAL ENGINEER AND THE ENTIRE DESIGN TEAM HARMLESS

STRUCTURAL STEEL COMPONENTS - TIE DOWNS

- SHAPES ANGLES CHANNELS: ASTM A 36 $F_y = 36$ KSI ROUND AND SQUARE METAL PIPE: ASTM A 53 GRADE B $F_y = 36$ KSI SQUARE METAL TUBING: ASTM A 500, GRADE B $F_y = 36$ KSI
- FASTENERS AND THE DOWNS SHALL CONSIST OF BUTT ARE NOT LIMITED TO:
HIGH STRENGTH BOLTS: ASTM A325
MACHINE BOLTS: GALVANNEZD ASTM A 307
- SHEET METAL ACCESSORIES SHALL CONFORM TO: ASTM A446 OR ASTM A 526 $F_y = 33$ KSI WITH G90 GALVANIZED COATING IN ACCORDANCE WITH ASTM A 525
- NAILS SHALL CONSIST OF RING SHANK NAILS WITH A MINIMUM DIAMETER AS FOLLOWS:
8D = 0.131"
10D = 0.148"
16D = 0.162"
- ALL FASTENERS AND THE DOWNS EMBEDDED IN CONCRETE OR USED IN AN EXTERIOR APPLICATION ARE TO RECEIVE AN ANTI-CORROSION COATING PRIOR TO INSTALLATION
- ALL FASTENERS AND THE DOWNS ARE TO PROVIDE UPLIFT CAPACITY CALLED FOR IN THE PLANS AS A MINIMUM
- ALL FASTENER TIE DOWNS BEAM HANGERS JOIST HANGERS AND FLOOR TRUSS STRAPPING ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANS AND MANUFACTURERS SPECIFICATIONS
- CONCRETE EMBEDDED "J" BOLTS USED FOR UPLIFT ARE TO BE WET SET PRIOR TO INITIAL SET ON THE CONCRETE SPACING AND ALIGNMENT ARE TO BE IN ACCORDANCE WITH THE DESIGN PLANS
- CONCRETE EMBEDDED THE DOWNS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT
- FASTENERS ARE TO BE GALVANIZED ROOFING NAILS WITH A MINIMUM OF 12 GAUGE SHANK AND A MINIMUM 3/8" DIAMETER HEAD
- FASTENERS ARE TO BE LONG ENOUGH SO AS TO PENETRATE THE SHINGLES AND STILL PROTRUDE AT LEAST 3/4" INTO OR THROUGH THE ROOF SHEATHING. USE 1" NAILS MINIMUM.

GENERAL STRAPPING NOTES

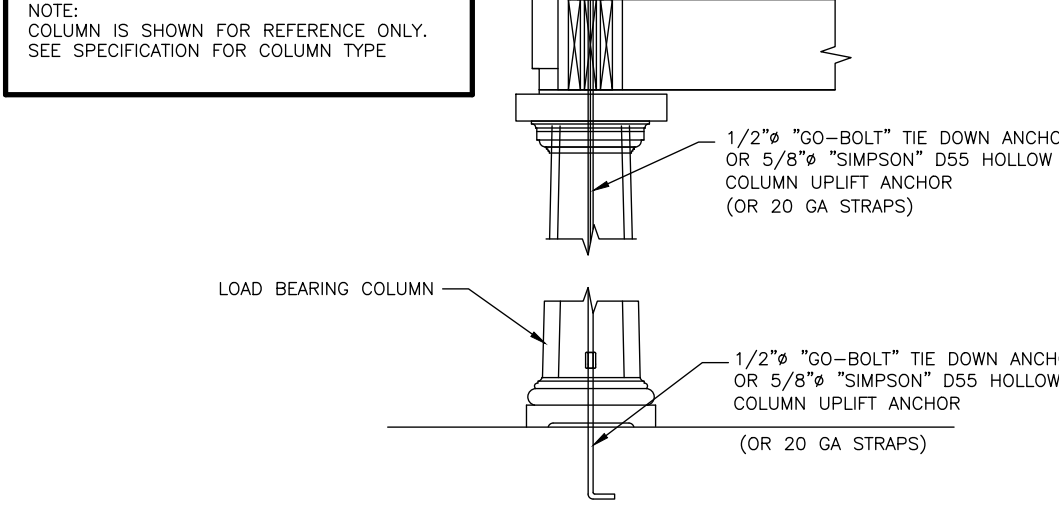
- ALL EXTERIOR WALLS TO BE SHEAR WALLS WITH NAILING PATTERNS: 7/16" OSB 3" EDGE NAILS AND 12" FIELD NAILS
- 5/8" GALVANIZED ANCHOR BOLTS @ 24" O.C. MAXIMUM AT EXTERIOR AND SHEAR WALLS UNLESS OTHERWISE NOTED
- CONTINUE QUICK TIES TO SECOND FLOOR T.P. WHERE APPLICABLE
- THE DOWN TO EACH HEADER WITH:
(1) W2X4 @ EACH END OF HEADER
(1) L212 @ EACH END OF HEADER
L212 @ 48" O.C. ACROSS HEADER
- INSTALL SIMPSON TYPE AND OR EQUAL (1) H10A OR (2) H2.5 @ EACH RAFTER TO TOP PLATE
- CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS THAT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THIS STRUCTURE IS DESIGNED FOR A COMPLETE CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY DURING CONSTRUCTION



TYPICAL CLIPS - ANCHOR BOLT

SCALE: N.T.S.

S - 102 - 6



TYPICAL COLUMN TIE DOWN

SCALE: N.T.S.

S - 101 - 5

GENERAL CONSTRUCTION NOTES

- WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES - ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WEATHER SHOWN IN THESE DOCUMENTS OR NOT.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.
- THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY THE FUNDING INSTITUTION. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT AT OR BEFORE START OF WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK WITH ALL TRADED INVOLVED WITHIN THE CONTRACT SCOPE OF THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT - DESIGN TEAM LEADER AND OR THE STRUCTURAL ENGINEER PRIOR TO ANY CONSTRUCTION OR FABRICATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IRC 2006 CODE, OSHA, AIA, AISC AND AISC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS
- THE GENERAL CONTRACTOR SHALL REFER TO THE DESIGN TEAM, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND OR BENEATH SLABS.
- THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED AS A COMPLETED STRUCTURED WILL NEED TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION.
- ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOIST AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING BEING REMOVED.
- TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY ON THE GENERAL CONTRACTOR AND OR ENGINEER. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE DESIGN TEAM AND OR THE STRUCTURAL ENGINEER.

SUBGRADE PREPARATION NOTES

- REFER TO GEOTECHNICAL REPORTS FOR ALL SOIL INVESTIGATION RESULTS AND SOIL PREPARATION REQUIREMENTS.
- PRIOR TO ANY CONSTRUCTION ALL BUILDING AREA PLUS APPROXIMATELY FIVE FEET ON EACH SIDE OF THE STRUCTURE SHOULD BE STRIPPED OF ALL VEGETATION TOP SOIL ROOT SYSTEMS FOREIGN OBJECTS DEBRIS AND ANY EXISTING PAVEMENT
- SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER POUNDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUNOFF.
- IF NECESSARY THE SITE DRAINAGE WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DRAINAGE METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM ARCHITECT AND STRUCTURAL ENGINEER.
- ANY UTILITIES THAT UNDERLIE THE SITE SHOULD BE RELOCATED AND THE TRENCHES BACK FILLED WITH ADEQUATE SUITABLE BACK FILL SOIL. THE BACK FILL IS TO BE PLACED SIX INCH THICK LIFTS AND COMPACTED TO A 98% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE LEVELED COMPACTED AND TREATED FOR TERMITES.
- ALL EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL SOIL UNDER FOOTINGS AND SLABS HAVE REACHED A DENSITY OF 98% IN ACCORDANCE WITH ASTM-D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF FOOTINGS AND SLABS.
- ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSTABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATED AREA BACKFILLED WITH APPROVED FILL COMPACTED TO 98% OF ITS DENSITY IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.
- ALL OF THE FILL FOR THIS PROJECT SHALL CONSIST OF A CLEAN FREE DRAINING SAND WITH A MAXIMUM OF 15% FINE. THE FILL WILL BE FREE OF ROOTS, CLAY, LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE IN ACCORDANCE WITH ASTM-D-1557.
- THE DESIGN SOIL BEARING PRESSURE IS ASSUMED TO BE 2500 PSF. OWNER SHOULD CONTRACT WITH A GEOTECHNICAL ENGINEER TO VERIFY ACTUAL BEARING PRESSURE.

CAST IN PLACE CONCRETE FOOTINGS FOUNDATIONS AND FLOOR SLABS

- ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 318
- MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION, FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 308
- CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM - ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT TIME OF CONSTRUCTION
- WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES
- CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISHES FOR SURFACES INTENDED TO RECEIVE BROAD APPLIED FINISHES. TROWEL FINISH FOR EXPOSED INTERIOR SURFACES, NONSTOP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.
- ALL FINISHED SHALL BE A MINIMUM CLASS B TOLERANCES EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 305.
- GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
- UNLESS OTHERWISE NOTED ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615 GRADE 60.
- UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.
- ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STANDARD CORNER BARS AT ALL CORNERS.
- PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST THE GROUND.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH SIZE AND END AND MUST BE WIRE TOGETHER.
- ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.
- HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.
- REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE REINFORCEMENT BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.
- CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWING SET.
- FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.

WALL FLOOR ROOF FRAMING GENERAL NOTES

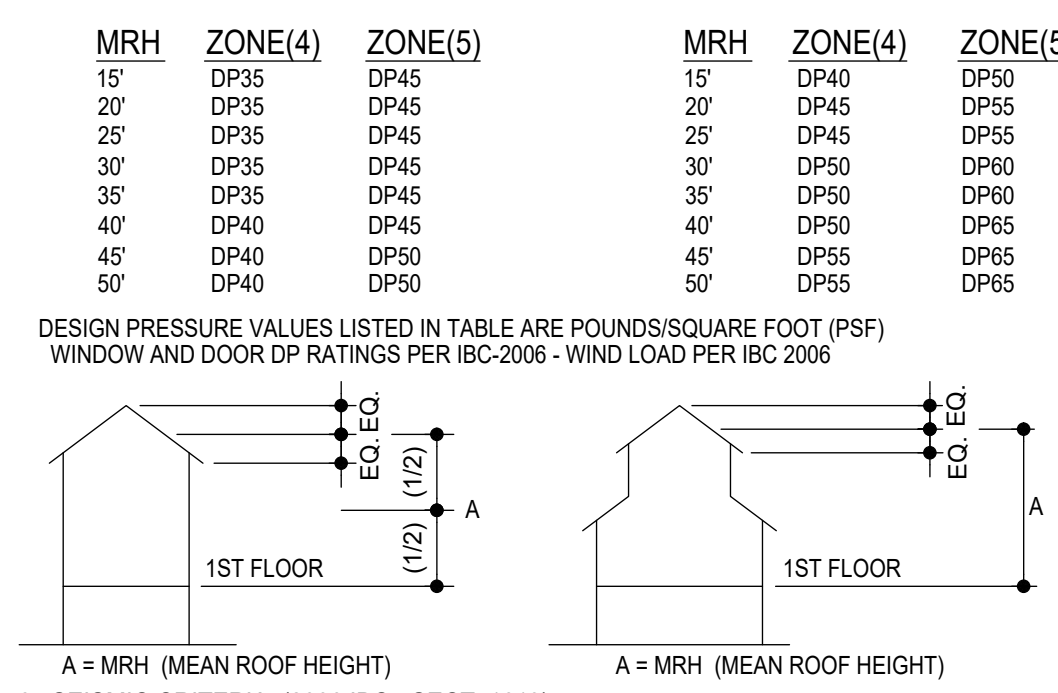
- COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED OUT OR BOARD REFER TO IRC 206 CODE SSTD 10-99 AND AISC MANUAL FOR ALLOWABLE CUTTING NOTCHES AND BORING OF FRAMING MEMBERS TRUSSES SHALL NOT BE CUT NOTCHED OR BOARD WITHOUT ENGINEERS WRITTEN APPROVAL
- THE ENGINEERING OF FRAMING MEMBERS IS BASED ON #2 SPUCE OR #2 SOUTHERN YELLOW PINE FB=1200 PSI E=1,200,000 PSI SUBSTITUTION MUST BE APPROVED BY THE ENGINEER BEFORE USING
- ALL CONNECTION STEEL ANGLES PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A-153.
- ALL LUMBER IN CONTACT WITH CONCRETE MASONRY GROUND OR OTHERWISE NOTED ON THE DRAWING SET WILL BE PRESTRESS TREATED IN ACCORDANCE WITH AWPA STANDARD LP-2.
- ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108 WILL BE CLASSIFIED AS "EXTERIOR" APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS FROM PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.
- WALL AND ROOF SHEATHING WILL BE NAILED WITH 8D NAILS (TWISTED SHANK) 3" O/C AROUND EDGES AND 6" O/C IN FIELD SEE DIAGRAM
- GLAZED OPENINGS GENERAL NOTES
- WINDOWS GLASS DOORS AND SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.
- ALL GLAZING IN DOORS WINDOWS OR SKYLIGHTS SHALL BE TESTED FOR LARGE MISSILE IMPACT RESISTANCE AS NOTED BELOW. OPTION FOR TWO STORY OR LESS WOOD FRAME STRUCTURE, WOOD STRUCTURAL PANELS FOR 8'-0" PANELS MUST BE PRECUT TO SIZE AND ATTACHMENT HARDWARE PROVIDED. 3" LONG 1/4" DIAMETER SIMPSON SCREWS AT 12" O.C. AT PERIMETER OF PANEL EACH PANEL SHALL BE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER (IRC 301.2.1.2 AND SSTD 1099.604)
- TEST REQUIREMENTS NOTES:
- WINDOWS ARE TESTED IN ACCORDANCE WITH AAMA 101/15.2.97 SPECIFICATIONS
- TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM E1886/E1996
- TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2
- DEGLAZING TESTED TO ASTM E987
- TESTED WATER RESISTANCE TO ASTM E547/531.
- TESTED AIR INFILTRATION TO ASTM E 283
- TEST REPORTS AVAILABLE UPON REQUEST

GENERAL DESIGN CRITERIA

DESIGN CRITERIA

1. FLOOR DEAD LOADS:	PARTITIONS FIXED EQUIPMENT FINISHES	20 PSF ACTUAL WEIGHT ACTUAL WEIGHT
2. FLOOR LIVE LOADS:	OFFICE/ASSEMBLY ATTIC W/ STORAGE ATTIC W/O STORAGE DECKS BALCONIES GUARDRAILS & HANDRAILS	40 PSF 20 PSF 10 PSF 40 PSF 60 PSF 200#
3. ROOF DEAD LOAD:	ROOFING DECKING INSULATION HANGING & MISC. FRAMING CEILING FIXED EQUIPMENT	2.0 PSF 2.0 PSF 6.0 PSF 9.0 PSF 5.0 PSF 5.0 PSF ACTUAL WEIGHT
4. ROOF LIVE LOADS:	TRIBUTARY AREA: 0 TO 200 SF 201 TO 600 SF OVER 600 SF	LIVE LOAD: 20 PSF $L_f = 20 \times R$ $R_f = 1.2 - 0.001 A$ (400 SF 16 PSF) 12 PSF
5. WIND LOAD:	3 SECOND GUST WIND SPEED V (FIG. 1609) EQUIVALENT BASIC WIND SPEED (TAB. 1609.3.1)	$V_{3s} = 135$ MPH $V_{fm} = 114$ MPH ROOF NET UPLIFT = 20 PSF

DESIGN PRESSURE VALUES LISTED IN TABLE ARE POUNDS/SQUARE FOOT (PSF)
WINDOW AND DOOR DP RATINGS PER IBC-2006 - WIND LOAD PER IBC 2006



- SEISMIC CRITERIA: (2006 IBC - SECT. 1613)
- SITE CLASSIFICATION: SITE CLASS "D"
AVERAGE "N" VALUES: BETWEEN 15 TO 50
SPECTRAL RESPONSE ACCELERATION:
SITE COEFFICIENT VALUES: $F_a = 1.1$, $S_s = 1.0$, $S_1 = 0.3$
BUILDING DESIGN CATEGORY "C"

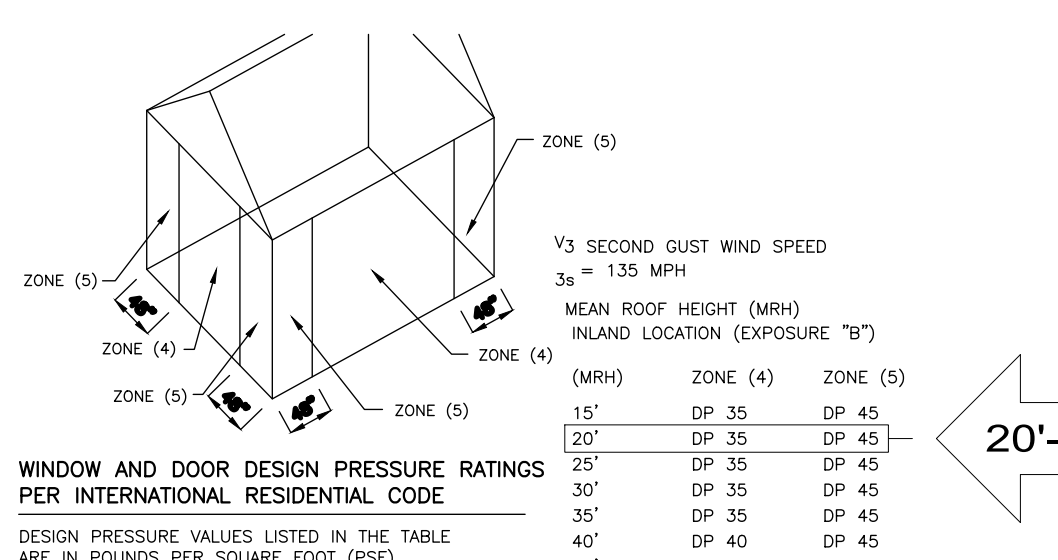
WINDOW AND DOOR OPENING NOTES

- WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.
- ALL GLAZING IN DOORS, WINDOWS, OR SKYLIGHTS SHALL BE TESTED FOR "LARGE MISSILE IMPACT RESISTANCE" AS NOTED BELOW. OPTION: PROVIDE WOOD STRUCTURAL PANELS FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" INCHES AND A MAXIMUM SPAN OF 8' PANELS MUST BE PRECUT TO SIZE, AND ATTACHMENT HARDWARE PROVIDED. (3" LONG, 1/4" DIAMETER SIMPSON SCREWS AT 12" O.C. AT PERIMETER OF PANEL). EACH PANEL SHALL BE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER. (IRC 301.2.1.2 AND SSTD 10-99, 604).
- TEST REQUIREMENTS NOTES:
- WINDOWS ARE TESTED IN ACCORDANCE WITH AAMA 101/15.2.97 SPECIFICATIONS.
- TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM E1886/E1996.
- TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2.
- DEGLAZING TESTED TO ASTM E987.
- TESTED WATER RESISTANCE TO ASTM E547/531.
- TESTED AIR INFILTRATION TO ASTM E 283.
- TEST REPORTS AVAILABLE UPON REQUEST

- WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.
- IF APPROVED DOORS, WINDOWS, OR SKYLIGHTS ARE NOT USED, THEN WOOD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" INCHES AND A MAXIMUM SPAN OF 8 FEET. PANELS MUST BE PRECUT TO SIZE WITH ATTACHMENT HARDWARE PROVIDED AND NUMBERED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. (IRC 301.2.1.2 AND SSTD 604)

TEST REQUIREMENTS NOTES:	TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM E1886/E1996	TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2	DEGLAZING TESTED TO ASTM E987	TESTED WATER RESISTANCE TO ASTM E547/531	TESTED AIR INFILTRATION TO ASTM E 283	TEST REPORTS AVAILABLE UPON REQUEST
1. WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.						
2. IF APPROVED DOORS, WINDOWS, OR SKYLIGHTS ARE NOT USED, THEN WOOD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" INCHES AND A MAXIMUM SPAN OF 8 FEET. PANELS MUST BE PRECUT TO SIZE WITH ATTACHMENT HARDWARE PROVIDED AND NUMBERED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. (IRC 301.2.1.2 AND SSTD 604)						

GLAZED OPENING GENERAL NOTES



- WINDOW AND DOOR DESIGN PRESSURE RATINGS PER INTERNATIONAL RESIDENTIAL CODE
- DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)
- WINDOW AND DOOR OPENING NOTES
- SCALE: N.T.S.
- S - 101 - 1

SCHEDULE - NAILING

SCALE: N.T.S.

S - 101 - 11

STRUCTURAL STUD LEGEND				
LUMBER SPECIES: #2 SYP.K.D. MEDIUM GRAIN WIND SPEED: 130 M.P.H.				
WALL LOCATION	CEILING HEIGHT	STUD SIZE	O.C. SPACING	OPT. STUD GRADE- (SPF)
EXTERIOR	8'-0"	2x4	16"	16"
EXTERIOR	9'-0"	2x4	16"	12"
EXTERIOR	10'-0"	2x4	16"	12"
EXTERIOR	12'-0"	2x6	12"	12"
EXTERIOR	14'-0"	2x6	12" & DBL @ 36"	12"
EXTERIOR	8'-0"	2x4	16"	16"
INTERIOR	8'-0"	2x4	16"	16"
INTERIOR	9'-0"	2x4	16"	16"
INTERIOR	10'-0"	2x4	16"	16"
INTERIOR	12'-0"	2x6	16"	16"
INTERIOR	14'-0"	2x6	16"	16"
EXTERIOR	16'-0"	2x8	16"	16"

*STUDS MAY BE USED AT HEIGHTS AND DISTANCES OTHER THAN WHAT IS LISTED ON THIS CHART IF SHOWN ON THESE PLANS.

SCHEDULE - STRUCTURAL STUDS

SCALE: N.T.S.

S - 101 - 10

MINIMUM WALL AND HEADER STUD REQUIREMENTS PER SSTD 10-99 TABLE 303C					
	MAXIMUM HEADER SPAN (FT.)				
	3 ft.	6 ft.	9 ft.	12 ft.	
NUMBER OF HEADER STUDS SUPPORTING EACH END OF HEADER	1	1	2	2	
UNSUPPORTED WALL HEIGHT	STUD SPACING	NUMBER OF FULL LENGTH STUDS AT EACH END OF THE HEADER			
10 FEET OR LESS	16"/c	2	2	3	3
GREATER THEN 10 FEET	16"/c	2	2	3	3

- THE EXTERIOR WALL STUDS SCHEDULE: (FOR $V = 130$ MPH)
- 2x4's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 8'-1"
- 2x4's @ 12" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 9'-1"
- 2x6's @ 16" o/c OR DBL. 2x4's @ 12" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 10'-1"
- 2x6's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 12'-1"
- 2x6's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 14'-1"
- 2x6's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 16'-1"
- (OR DOUBLE 2x6's @ IN LIEU OF 2x6's

- DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x4's)
- (2) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (2) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (2) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS
- DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x6's)
- (3) 2x6's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (3) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (3) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

- THE CEILING / ATTIC JOISTS WILL BE:
- 2x6's @ 16"/c UP TO 10' SPAN
- 2x8's @ 16"/c UP TO 14'-0" SPAN
- 2x10's @ 16"/c UP TO 16' SPAN
- 2x12's @ 16"/c UP TO 20' SPAN
- THE CEILING JOISTS WILL BE:
- 2x6's @ 16"/c UP TO 14' SPAN
- 2x8's @ 16"/c UP TO 17' SPAN
- 2x10's @ 16"/c UP TO 22' SPAN

- THE ROOF RAFTERS WILL BE:
- 2x6's @ 16"/c UP TO 8'-0" (UNSHORED) SPAN
- 2x8's @ 16"/c UP TO 12'-0" (UNSHORED) SPAN
- 2x10's @ 16"/c UP TO 15'-0" (UNSHORED) SPAN
- 2x12's @ 16"/c UP TO 18'-0" (UNSHORED) SPAN

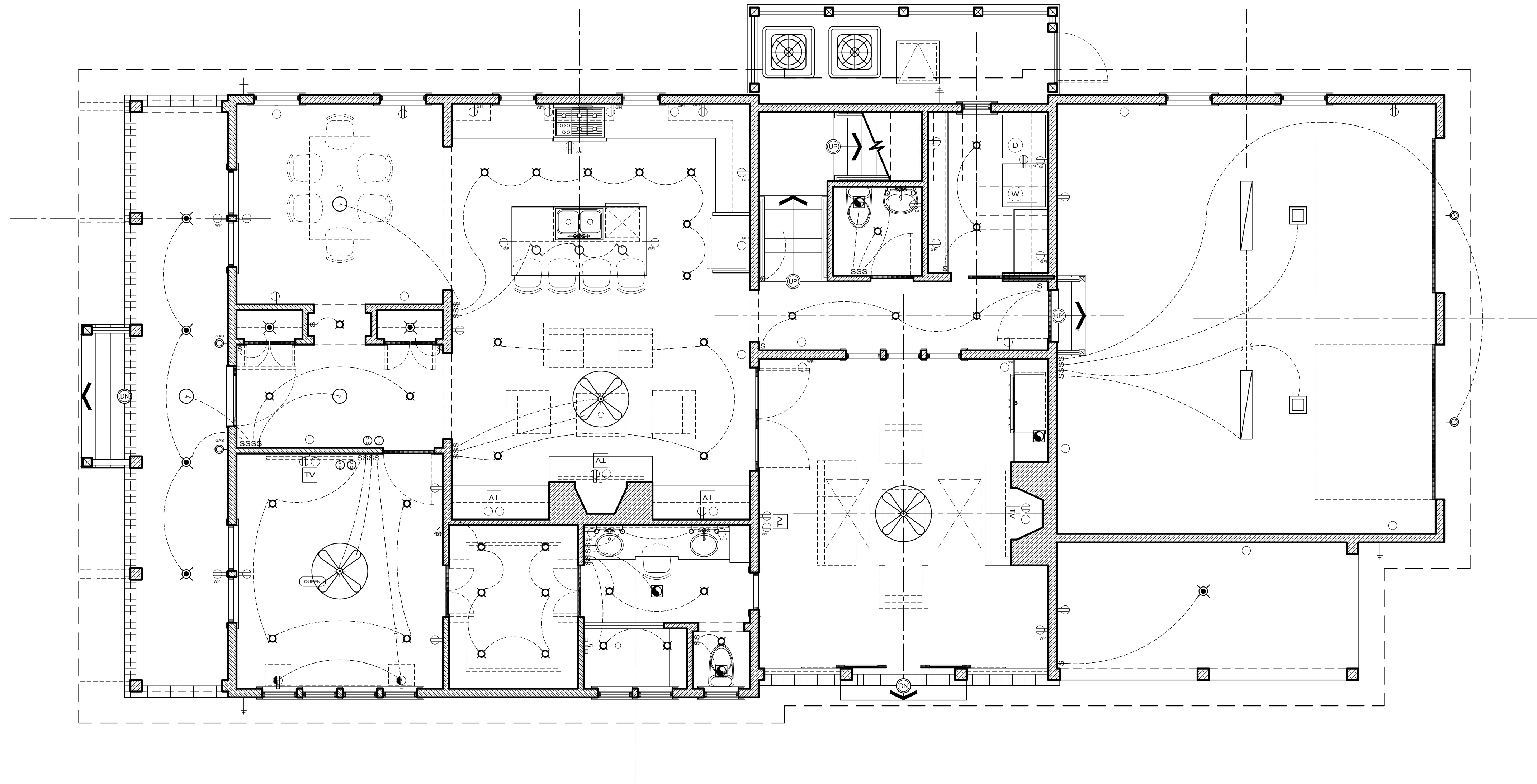
TYPICAL WALL ASSEMBLY WITH STANDARD STRAPPING

SCALE: N.T.S.

S - 101 - 9

SHOWN FOR REFERENCE ONLY - VERIFY WITH MANUFACTURERS AND BUILDING CODE REQUIREMENTS PRIOR TO CONSTRUCTION

SCHEDULE - NAILING PATTERNS



OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"
FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

ELECTRICAL INDEX

- DUPLEX RECEPTACLE 12" A. F. F.
- DUPLEX FLOOR RECEPTACLE
- DUPLEX W/ OUTLET SWITCHED
- WATER PROOF RECEPTACLE
- GROUND FAULT INTERRUPTER
- 220 VOLT OUTLET
- SINGLE POLE SWITCH 48" A. F. F.
- DOOR ACTIVATED SWITCH
- DOORBELL BUTTON
- CHIME
- TELEPHONE JACK
- CABLE TELEVISION JACK
- J BOX
- SCONCE
- DECORATIVE LIGHT FIXTURE
- RECESSED CEILING MOUNTED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- DIRECTION TYPE SPOT LIGHT
- CEILING COVE LIGHTS
- PORCELAIN LAMP BARE BULB INCANDESCENT
- EXHAUST FAN / LIGHT COMBINATION
- FLOOD LIGHTS
- MOTION FLOOD LIGHTS
- LOW VOLTAGE UNDER COUNTER LIGHT
- SPEAKER
- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY

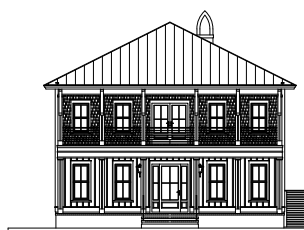
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FIRST FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

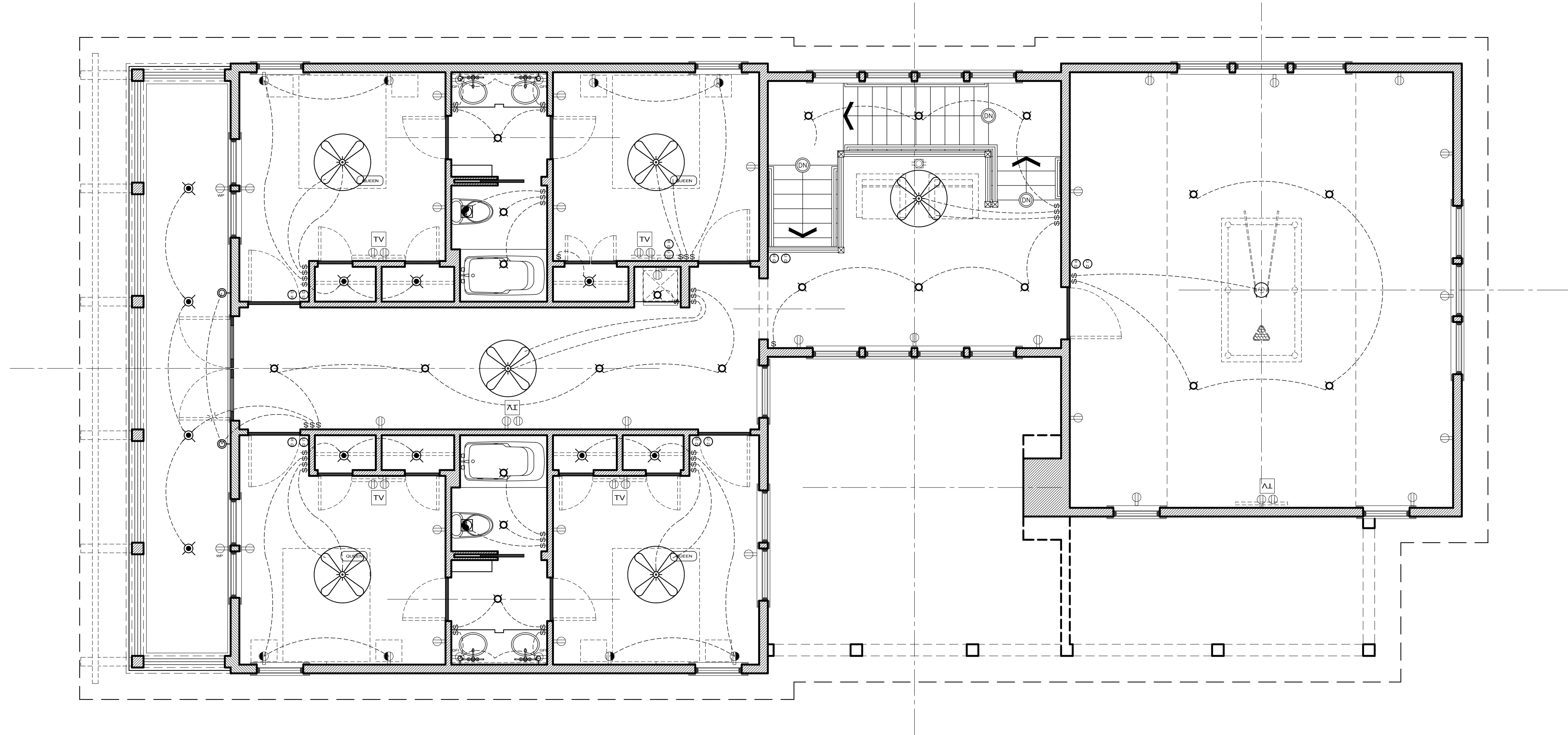
REV

E - 100

13 - 14 SINGLE USE ONLY

Page 30

0 1' 4' 8' 16'



OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"
ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

ELECTRICAL INDEX

- DUPLEX RECEPTACLE 12" A. F. F.
- DUPLEX FLOOR RECEPTACLE
- DUPLEX W/ OUTLET SWITCHED
- WATER PROOF RECEPTACLE
- GROUND FAULT INTERRUPTER
- 220 VOLT OUTLET
- SINGLE POLE SWITCH 48" A. F. F.
- DOOR ACTIVATED SWITCH
- DOORBELL BUTTON
- CHIME
- TELEPHONE JACK
- CABLE TELEVISION JACK
- J BOX
- SCONCE
- DECORATIVE LIGHT FIXTURE
- RECESSED CEILING MOUNTED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- DIRECTION TYPE SPOT LIGHT
- CEILING COVE LIGHTS
- PORCELAIN LAMP BARE BULB INCANDESCENT
- EXHAUST FAN / LIGHT COMBINATION
- FLOOD LIGHTS
- MOTION FLOOD LIGHTS
- LOW VOLTAGE UNDER COUNTER LIGHT
- SPEAKER
- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX
- CEILING FAN WITH LIGHT (OPTIONAL)

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"
ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

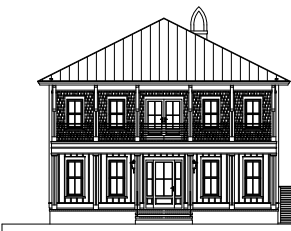
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

COPYRIGHT © SAWYER DESIGN STUDIO L.L.C. 2024
ALL RIGHTS RESERVED

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
08.01.2024

REV

E - 101

14 - 14 SINGLE USE ONLY

Page 31

0 1' 4' 8' 16'

Tree Removal Application Narrative - 34 Tabby Shell Rd

We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage in the Tabby Roads community. The lot is approximately .11 acres and is wooded.

We have included with this application our drainage & grading plan and future landscape plan. The trees that we propose to remove are x'd in black. The trees (5) that we intend to keep are circled in red. The remaining trees within the property boundaries will need to be removed. The size and orientation of the lot limits our available site plan options. In order to construct a main house, garage, and driveway we must remove approximately 30 trees (20 Pines, 6 Gumtrees, 2 LOK & 1 WOK). Of these, none are categorized as mature, historic trees and all are 24 inches or less in diameter.

With goals to minimize disturbance to the vegetative community and to protect the Town of Bluffton's tree canopy, we have coordinated with our landscape designer to satisfy the 75% canopy coverage by planting as many trees as needed.



PLAN REVIEW COMMENTS FOR COFA-03-24-019047

Section VII. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 03/15/2024
Plan Status: Active **Plan Address:** 34 Tabby Shell Rd Road
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1198 0000
Plan Description: A request by Clear Cut Construction, on behalf of the owner, William Glover, for the review of a Certificate of Appropriateness-HD to allow the construction of a new 2-story Single Family Residential Structure of approximately 2,325 SF and Carriage House structure of approximately 1,174 SF, located at 34 Tabby Shell Road, Lot 18 in the Tabby Roads Development, in the Old Town Bluffton Historic District, within the Neighborhood General - HD zoning district.
Status: The Application is being reviewed and has been placed on the April 15, 2024 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Received: 03/15/2024 Completed: 04/12/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/08/2024	Matthew Michaels	Approved with Conditions

Comments:

1. Water and Sewer services are already installed at property corner. Please reach out to Mandy Anderson (BJWSA's New Service Coordinator) to set up the account and pay fees.

Growth Management Dept Review (HD)	04/12/2024	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

1. As there are trees proposed for removal larger than 14" DBH, a Tree Removal Permit required. (UDO 3.22)
- 2 .SF needs to be updated to include all enclosed SF.
3. Doors are permitted to be Wood, Metal or Metal-Clad. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for doors provided the UDO Administrator determines that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. The application proposes the front door to be wood, but all other exterior doors to be vinyl, which is not permitted. Revise door material to a permitted material. Should a wood composite door be proposed, a material sample must be provided of the door material at time of final submittal for consideration. (UDO 5.15.6.I.2.b.)
4. At time of final submittal, HARB Approval must be provided. (Application Manual)
5. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. Currently, there are 9 different window sizes proposed, with 8 proportions, along with 4 different lite patterns on the doors, which do not appear to match any of the window lite proportions. Reduce the number of pane variations to provide better a proportional relationship between the elements. (UDO 5.15.5.F.4.)

HPRC Review	04/12/2024	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

Comments may be provided at HPRC meeting by reviewers.

Watershed Management Review	03/28/2024	Samantha Crotty	Approved with Conditions
-----------------------------	------------	-----------------	--------------------------

Comments:

Comments may be provided at time of building permit/stormwater permit submittal.

Comments:
No comments

Plan Review Case Notes:

HABITAT ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

July 30, 2024

Mr. William Glover
Lot 18, 34 Tabby Shell Rd, Bluffton, South Carolina 29910

Dear Mr. Glover,

This letter shall serve as approval with conditions for the planned single family residence build on 34 Tabby Shell Rd. Please note that some of the conditions in this letter might need to be incorporated prior to final HPC submission. Plans within the following files titled are the basis for this approval:

34 Color Board.jpg, Color Plan with Site Plan.pdf , G-0208-01a.pdf , HARB Application - RevA - 34 Tabby Shell.pdf , Lot 18 (34) TR - drainage plan.pdf , Lot 18 (34) TR - Stormwater Calculations.pdf , and Trees to Save - 34 Tabby Shell.png

This approval is based upon the following items of clarification:

- At the base of the front posts, trim must be added that complements the upper trim out of the posts. The committee felt the lack of trim was out of balance to this presentation and “architectural weight” was needed down low.
- Clarification of the “vertical lines” shown on post in Fig 1 is required. From the cross section, all posts appear as simple wrapped rectangular sections with seams near the corners, so it is unclear what the solid vertical lines are representing.

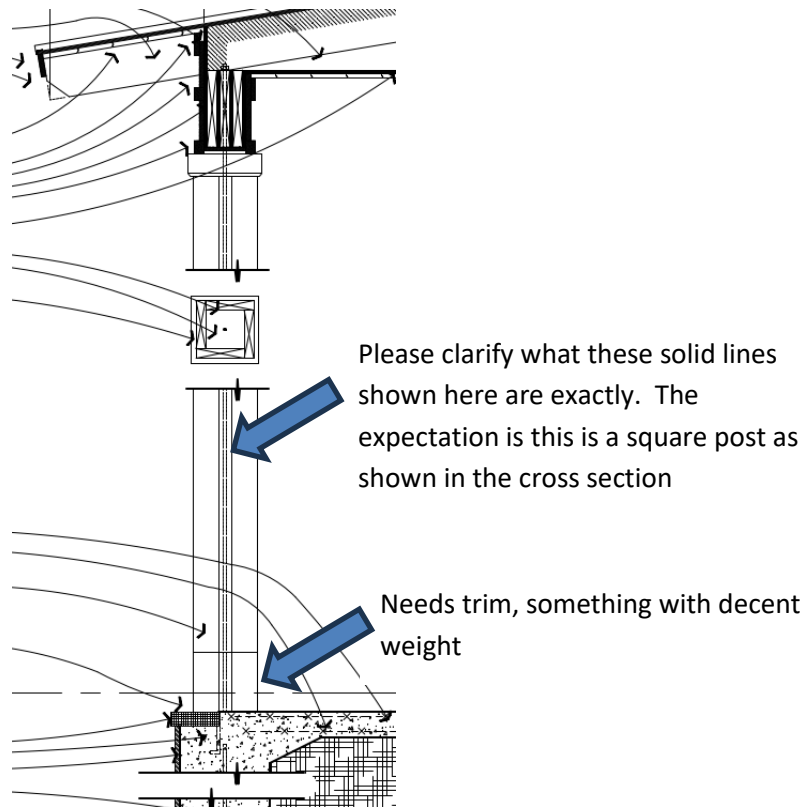


Fig 1. – Post Depiction Clarification

- Pencil Hollies are not deemed appropriate landscaping trees in Tabby Roads and need to be removed or substituted with a different plant species in a revised landscaping plan.
- The landscape plan must be modified to provide a clear path for trash can placement/replacement on trash pickup days. Storage of trash cans such that access and/or egress is needed onto another party's property is not permissible.
- At this time the home color (BM 1465, Nimbus) submitted has not been accepted by the committee. We will need a physical sample (at least 12" x 12") to make a final decision. Be aware the committee is concerned with the amount of grey home color tones on that end of the neighborhood, as such the committee would also like to be presented with 1 or 2 alternate colors schemes for review and consideration
- Service yard fencing gap shall be no greater than 0.5". Per guidelines service yards are intended to be 100% opaque.

HARB is recommending you consider the following items. Please note that these are suggestions and not hard change requirements.

- It is suggested that the bishop cap orientation be rotated 90 degrees to enhance its frontal presentation.

- The committee would like the applicant to consider "false window" trim out or some other similar architectural detail like shown in Fig 2. to break up the large expanse of siding on both side elevations.

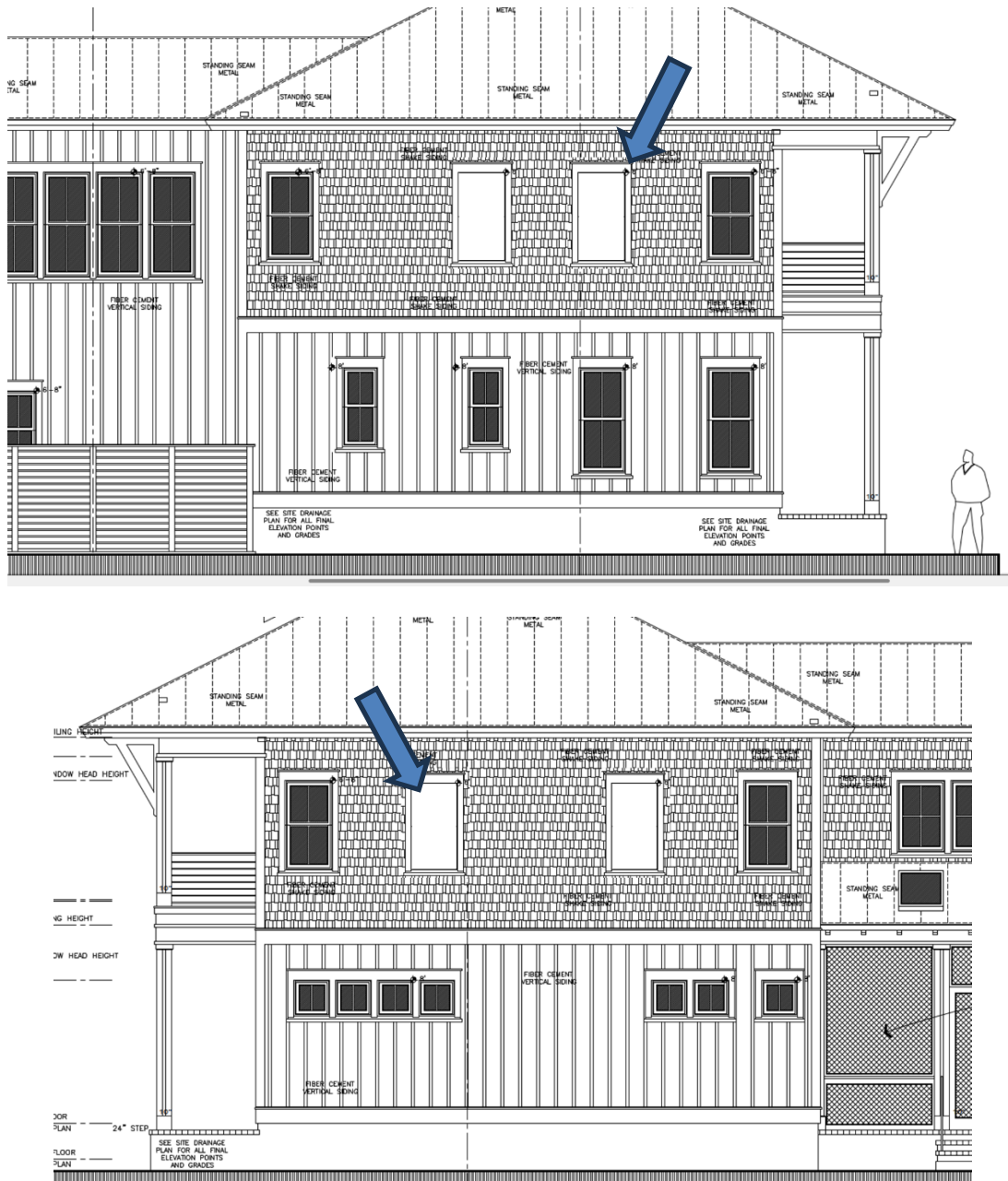
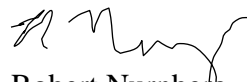


Fig 2. – False Window Suggestion

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Nurnberg', with a stylized flourish at the end.

Robert Nurnberg
On behalf of Tabby Roads HARB

Cc: Katie Peterson
Town of Bluffton



HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	November 6, 2024
PROJECT:	COFA-02-24-019013 43 Thomas Heyward Street Carriage House (Existing Pre-fabricated Metal Canopy / Carport)
APPLICANT:	Raymond Beach
PROPERTY OWNER:	Megan C. Beach
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant requests that the Historic Preservation Commission (HPC) approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow an existing one-story Carriage House of approximately 756 unenclosed square feet erected without an approved COFA-HD and without an approved building permit. The property is zoned Neighborhood General-HD (NG-HD).

INTRODUCTION: The Town of Bluffton issued a Notice of Violation for the unapproved installation of a prefabricated metal canopy/carport of approximately 756 unenclosed square feet without an approved COFA-HD and without an approved building permit. In response, the property owner seeks approval of a COFA-HD to allow the structure to remain with some alteration to its existing appearance.

In Old Town Bluffton, principal and accessory buildings are classified as “types” based on their building form. The types of permitted buildings vary by zoning district. Form-based zoning emphasizes, in part, architecture that is human-scale as well as the use of high-quality building materials that are characteristic of the area. This focus is intended to ensure a built environment where building form and scale are of greater importance than how buildings are used, unlike conventional zoning. This approach protects Old Town Bluffton’s cherished physical character. Based on the vision established in the Old Town Master Plan (adopted by Town Council in 2006), the UDO serves as the main implementation tool for the Master Plan and was adopted on August 10, 2011.

Accessory buildings that are at least 121 square feet are classified as a “Carriage House” building type regardless of use. One (1) Carriage House is permitted per lot for properties in Old Town except for those within the Riverfront Edge-Historic District (RV-HD). The RV-HD district includes most of the large, long, narrow properties with May River frontage. The UDO further limits Carriage Houses to a maximum footprint of 800 square feet, a total of

1,200 square feet, and two stories in height. As presently exists, the canopy/carport meets these Carriage House criteria provided in UDO Sec. 5.15.8.F. While Carriage Houses may be used for utility purposes, the UDO does not intend for the architecture to be utilitarian, thus requiring Carriage Houses be of the same general character as the primary structure.

The application states that the total footprint is 738 square feet, and that the width is 18 feet and the length 41 feet (Attachment 2). These measurements do not match those provided in Attachment 4, and it is unclear if the height shown on the attachment—15 feet, nine (9) inches is the actual height of the existing structure to the roof ridge.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the April 8, 2024 meeting. HPRC comments are provided as Attachment 5.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.

- a. *Finding.* The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district and new construction, regardless of building type and size, must comply with the architectural standards within the UDO. For more than 13 years, new Carriage Houses and alterations to existing Carriage Houses, whether conforming or non-conforming (i.e, those legally existing before the adoption of the UDO) have been and will continue to be reviewed against these standards. Alterations to nonconforming structures must comply with the UDO. (UDO Sec. 5.15.2.D) This process ensures that new development complements the existing built environment.

2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met or otherwise approved by the HPC, the proposed Carriage House may possibly be in conformance with applicable provisions provided in Article 5:

- 1) **Side Yard Setback:** Within the NG-HD District, a five (5) foot side yard setback is required. The structure was placed two (2) feet within this setback. To remain in this location, application for and approval of a variance by the Town of Bluffton Board of Zoning Appeals would be required. Alternatively, the structure could be moved out of the setback to comply with the requirement. (UDO Sec. 5.15.5.C.)

2) Roofs:

- a) Permitted roof types are gabled, hip and shed. The roof form is gabled but with a low pitch (2.5:12) that causes a somewhat flat appearance that is atypical of Carriage Houses in Old Town, and that is inconsistent with the primary structure, which has a hip roof. Because the structure is prefabricated, the pitch cannot be changed. Further, as the carport is unenclosed, the metal bracing to support the roof at each column is visible.

The HPC should determine if the pitch is acceptable and is of the same general character as the primary structure. Additionally, the HPC should determine if the exposed metal roof bracing is acceptable (UDO Sec. 5.15.6.J.1.a. and Sec. 5.15.8.F.)

- b) The application states that the proposed roofing material will be Galvalume. Allowable metal roofs are galvanized, copper, aluminum, and zinc-alum. (UDO Sec. 5.15.6.J.2.a.). The HPC must determine the appropriateness of the alternate Galvalume material.
- c) The application states that roof configuration will be 5-V crimp. Spacing between ribs cannot exceed 24 inches on-center, and panel ends must be exposed. The drawings do not show exposed panel ends at the eave overhangs. The HPC must determine the appropriateness of the roof configuration without the exposed panel ends. (UDO Sec. 5.15.6.J.3.a.)

- 3) **Same General Character as the Primary Structure** A Carriage House must be of the same general character as the primary structure (a single-family residence). While the two structures visually differ, the Carriage House is proposed to have a 5-V crimp metal (Galvalume) roof and wood box columns, both of which are used on the primary structure.

(UDO Sec. 5.15.8.F.). The primary structure has a hip roof and the Carriage House has a front-facing gable roof with a small pitch.

3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

Finding. While this criterion is more applicable to primary structures, Town Staff finds that the prefabricated metal canopy/carport structure or Carriage House does not present a compatible visual relationship with surrounding buildings as it was not originally designed to comply with the UDO. Effectively altering its appearance to achieve the intent of the UDO may be unlikely without structural changes that may not be feasible.

4. **Compliance with applicable requirements in the Applications Manual.**

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete with the exception of the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2.

Based on the application of the UDO review criteria, Staff finds that the Historic Preservation Commission must make a determination regarding the below items, and that additional information may be necessary to render a final decision given the unusual circumstances of this structure.

1. A determination by the Historic Preservation Commission regarding:
 - a. Determine that the roof pitch is acceptable and is of the same general character as the primary structure on the lot. (UDO Sec. 5.15.6.J.1.a.)
 - b. Determine that exposed metal roof bracing is acceptable. (UDO Sec. 5.15.8.F.)
 - c. Determine that Galvalume is an acceptable alternative roof material. (UDO Sec. 5.15.6.J.2.a.).
 - d. Determine that the absence of exposed roof panel ends at the eaves is acceptable. (UDO Sec. 5.15.6.J.3.a.)
 - e. Determine that the Carriage house is of the same general character as the primary structure. (UDO Sec. 5.15.8.F.)

2. Further, the following shall be provided:
 - a. Correct dimensions and height of the structure.
 - b. If the design is approved, the structure must be removed from the side yard setback or a variance obtained to allow the structural encroachment.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

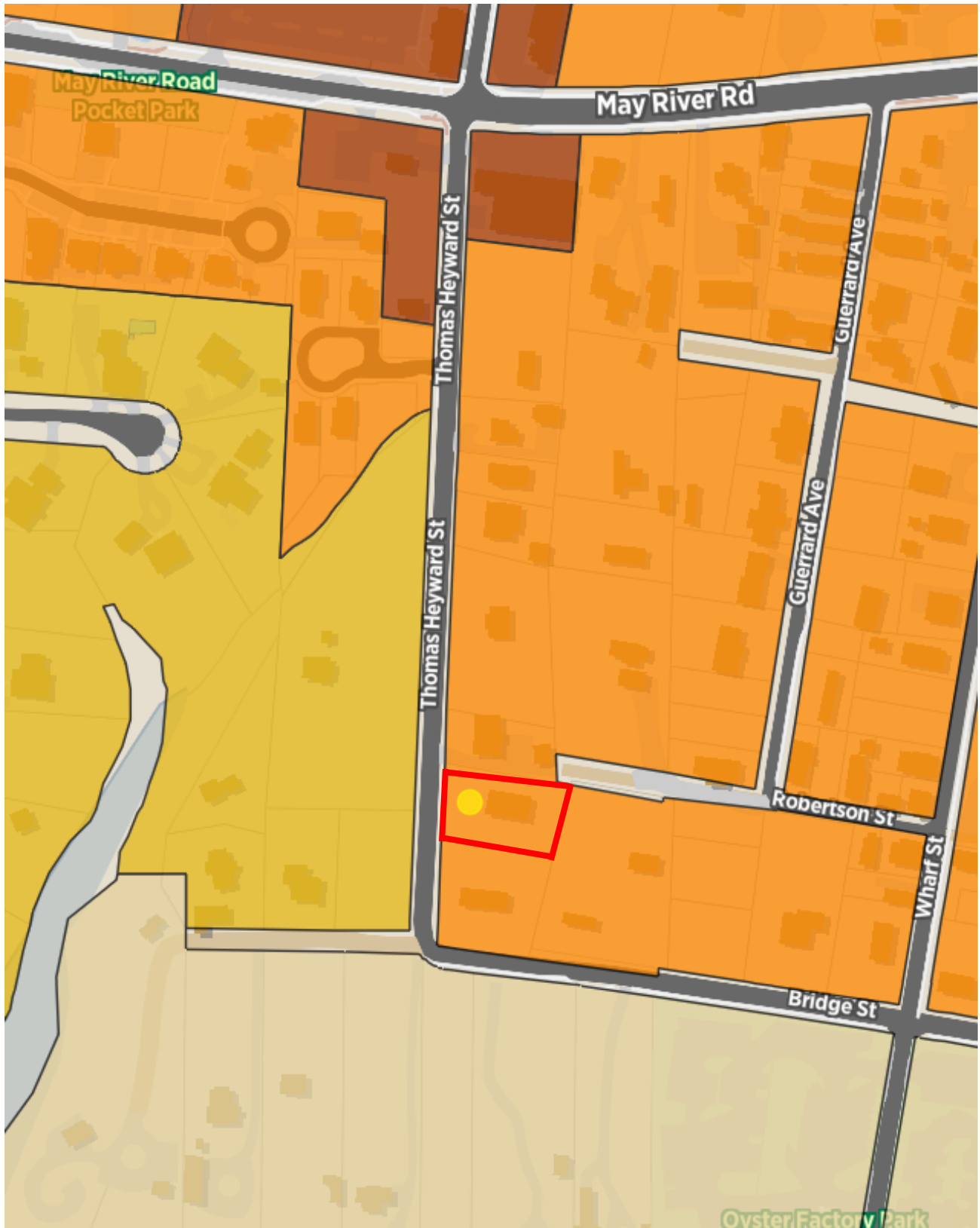
1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative
3. Site Survey
4. Carport Drawing
5. HPRC Report

LOCATION & ZONING MAP
43 Thomas Heyward Street
Neighborhood General -HD District

Section VII. Item #2.





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Section VII. Item #2.

Applicant		Property Owner	
Name: Raymond Beach		Name: Megan C. Beach	
Phone: 843-422-4818		Phone: 843-247-3549	
Mailing Address: 43 Thomas Heyward Street Bluffton, SC 29910		Mailing Address: 43 Thomas Heyward Street Bluffton, SC 29910	
E-mail: chipbeach00@gmail.com		E-mail: mlcriddle85@gmail.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Boat Shed/Carriage House		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 43 Thomas Heyward Street		Amendment: <input type="checkbox"/>	
Zoning District:		Application for:	
Acreage: .42		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R61003900A03980000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: installation of metal shed/carriage house to be used as a boat shed			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Megan C. Beach</i>		Date: 9.4.24	
Applicant Signature: <i>Raymond Beach</i>		Date: 9-4-24	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #2.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input checked="" type="checkbox"/>
2. SITE DATA				
Identification of Proposed Building Type (as defined in Article 5): Carriage House				
Building Setbacks	Front: 111.97'	Rear: 8.5'	Rt. Side: 5'	Lt. Side: 83.14'
3. BUILDING DATA				
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage	
Main Structure				
Ancillary	Carriage House		738	
Ancillary				
4. SITE COVERAGE				
Impervious Coverage		Coverage (SF)		
Building Footprint(s)		738		
Impervious Drive, Walks & Paths		0		
Open/Covered Patios		0		
A. TOTAL IMPERVIOUS COVERAGE		738		
B. TOTAL SF OF LOT		18,274		
% COVERAGE OF LOT (A/B= %)		.040		
5. BUILDING MATERIALS				
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation	
Foundation	gravel	Columns	pressure treated wood	
Walls		Windows		
Roof	5v crimp Galvalum	Doors		
Chimney		Shutters		
Trim		Skirting/Underpinning		
Water table		Cornice, Soffit, Frieze	galvalum	
Corner board		Gutters		
Railings		Garage Doors		
Balusters		Green/Recycled Materials		
Handrails				



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Megan C Beach
Signature of Property Owner or Authorized Agent

9.4.24
Date

Megan C Beach
Printed Name of Property Owner or Authorized Agent

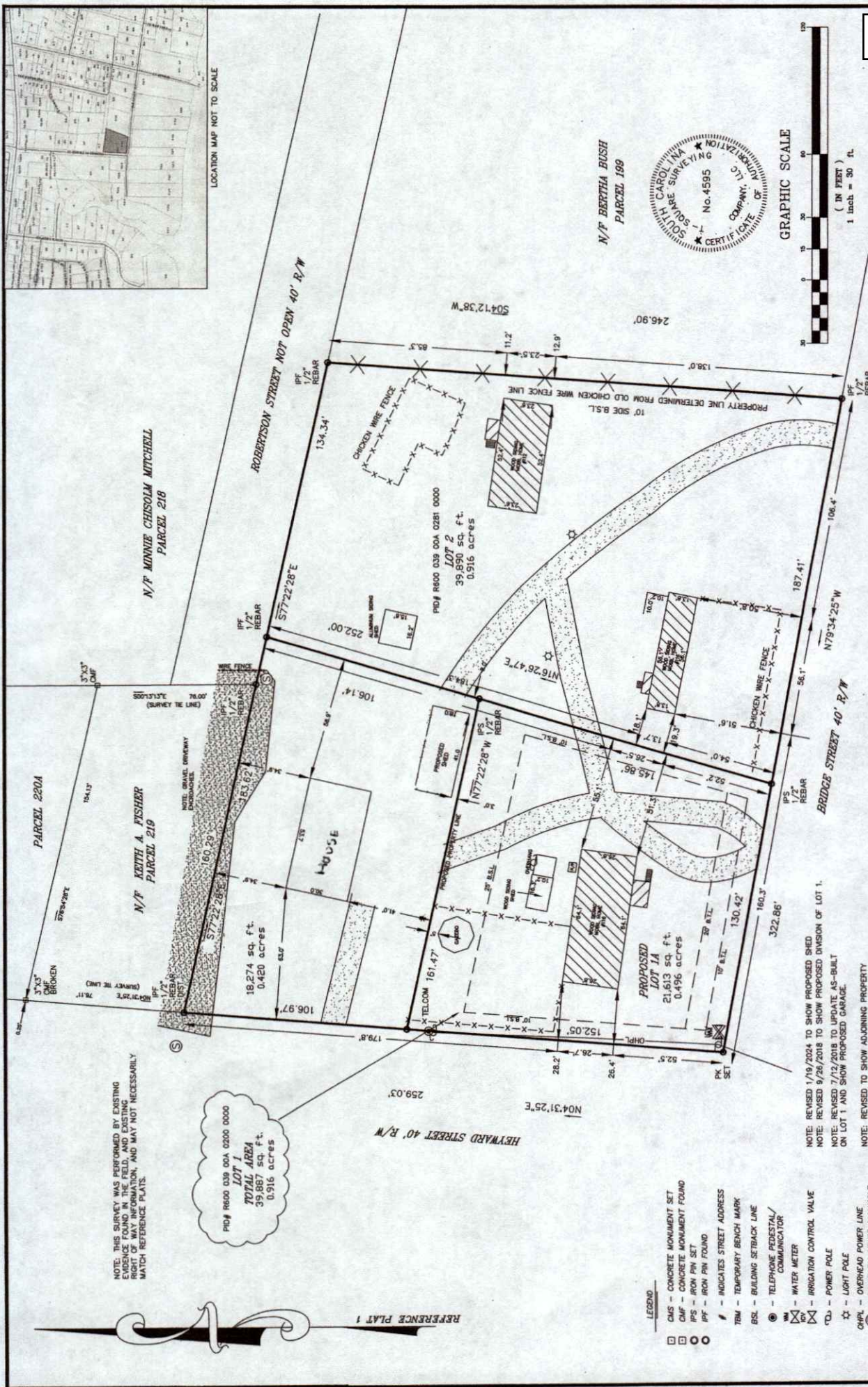
Raymond L Beach III
Signature of Applicant

9-4-24
Date

Raymond L Beach III
Printed Name of Applicant

Project Narrative- 43 Thomas Heyward Street

We have an existing gravel driveway in which we park our boat. We would like to create coverage to keep debris and dust from entering our vessel by installing a boat shed. The structure would be a roof only, open sided metal building (18'x41').



NOTE: This Lot Lies in A Federal Flood Risk Special Flood Hazard Area. Minimum Required Elevation N/A Ft. NGVD 83. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, ENCUMBRANCES, AND OTHER FACTS THAT MAY BE REVEALED BY A TITLE CURATOR.

REFERENCE PLAT:
 1. A PLAT BY THOMAS F. BAUGHMAN OF PARCEL 219 PREPARED FOR M.E. BAUGHMAN, DATED 5/24/1982.
 2. A PLAT BY THOMAS F. BAUGHMAN OF PARCEL 220A PREPARED FOR M.E. BAUGHMAN, DATED 5/24/1982.
 3. A PLAT BY THOMAS F. BAUGHMAN OF A BOUNDARY & DIVISION SURVEY OF PARCEL 219, DATED 5/24/1982.
 4. A PLAT BY THOMAS F. BAUGHMAN OF AN AS-BUILT SURVEY OF PARCEL 219, DATED 11/22/2006.

DATE: OCTOBER 15, 2006

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

WALTER CRIDDLE

AN AS-BUILT SURVEY ON LOT 1 BRIDGE STREET, DISTRICT 610, TAX MAP #39-A, PARCEL 200, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

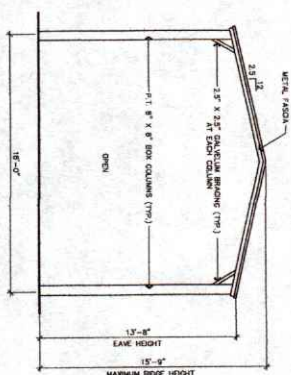
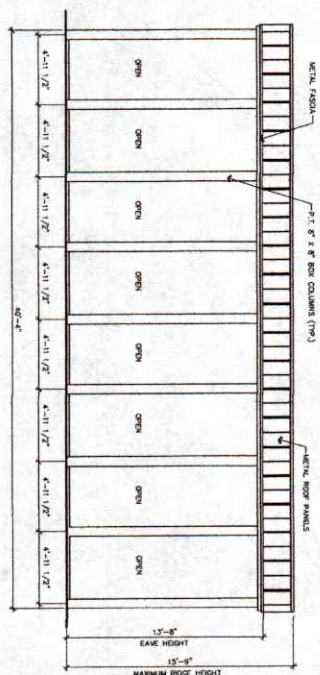
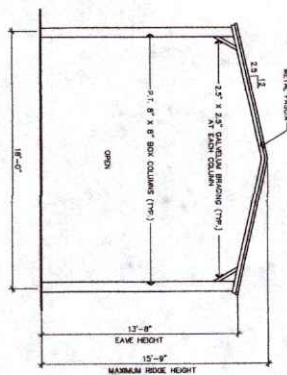
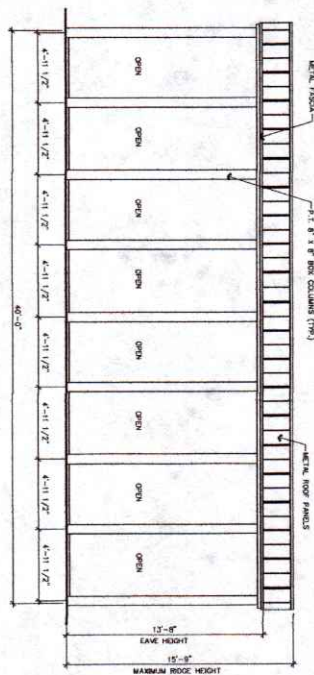


I HEREBY STATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCUMBRANCES OR PROJECTIONS AFFECTING THE PROPERTY OR INTERESTS OF THE ADJACENT PARTIES.

WILLIAM J. SMITH, PLS # 26960



PROFESSIONAL LAND SURVEYORS
 P.O. Box 330
 Bluffton, SC 29910
 Phone 843-757-7538 Fax 843-757-5758
 JDB No. 05-176P





PLAN REVIEW COMMENTS FOR COFA-02-24-019013

Section VII. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 02/28/2024
Plan Status: Hold **Plan Address:** 43 Thomas Heyward St Street
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0398 0000
Plan Description: A request by Raymond Beach, on behalf of the owner, Megan C. Beach, for the review of a Certificate of Appropriateness-HD to allow the construction of a new 1-story Carriage House structure of approximately 751 SF, located at 43 Thomas Heyward Street, in the Old Town Bluffton Historic District, within the Neighborhood General - HD zoning district.
Status: The Application is under review and is slated for the April 8, 2024 HPRC Agenda.

Staff Review (HD)

Submission #: 1 Received: 02/28/2024 Completed: 04/05/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	04/05/2024	Katie Peterson	Revisions Required

Comments:

1. Application Review Fee, which is due with Conceptual Submittal, must be received prior to submitting for Final Review.
2. The structure is set at 3 feet from the side property line. The structure must be no less than 5 feet from the side property line as this is the required side setback. Revise placement to meet the minimum side setback as it may not be approved in this location. (UDO 5.15.5.C.)
3. Columns shall be a 6" minimum, with or without capitals and bases, square or round. The columns are proposed as 4" on the application and shown as 2.5" on the elevations. Revise column width to meet minimum requirement and update application and/or elevations to be consistent. (5.15.6.H.)
4. Note: As this is an illegal, non-permitted structure at this time, Final HPC submittal must be made within 2 months time of the HPRC meeting, or other accommodations agreed upon by the UDO Administrator.

Building Safety Review	02/28/2024	Richard Spruce	Revisions Required
------------------------	------------	----------------	--------------------

Comments:

1. Building must be a minimum of five feet from the property line.

HPRC Review	04/05/2024	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

1. Carriage House must be of the same general character as the primary structure. The structures as proposed does not. Revise proposed structure to be of the same general character as the primary structure. (UDO 5.15.8.F.)

Watershed Management Review	03/28/2024	Samantha Crotty	Approved with Conditions
-----------------------------	------------	-----------------	--------------------------

Comments:

Comments may be provided at time of building permit/stormwater permit submittal.

Beaufort Jasper Water and Sewer Review	04/05/2024	Matthew Michaels	Approved
--	------------	------------------	----------

Comments:

1. No comment.

Transportation Department Review - HD	02/28/2024	Megan James	Approved
---------------------------------------	------------	-------------	----------

Comments:

No comments

Section VII. Item #2.

Plan Review Case Notes:



TOWN OF BLUFFTON

2025 HISTORIC PRESERVATION COMMISSION

Meeting and Application Submission Schedule

MEETING DATES	APPLICATION SUBMISSION DEADLINES
January 8, 2025	December 11, 2024
February 5, 2025	January 8, 2025
March 5, 2025	February 5, 2025
April 2, 2025	March 5, 2025
May 7, 2025	April 9, 2025
June 4, 2025	May 7, 2025
July 2, 2025	June 4, 2025
August 6, 2025	July 9, 2025
September 3, 2025	August 6, 2025
October 1, 2025	September 3, 2025
November 5, 2025	October 8, 2025
December 3, 2025	November 5, 2025
January 7, 2026	December 10, 2025

REGULAR MEETINGS ARE HELD THE 1st WEDNESDAY OF EACH MONTH AT 6:00 P.M.

Please Note:

1. For submission requirements and information please consult www.townofbluffton.sc.gov or phone (843) 706-4500.
2. The proper forms and filing fee (as indicated on the Master Fee Schedule) must accompany all submittals. Incomplete submittals will NOT be accepted.
3. Meetings will be held on scheduled meeting dates unless otherwise advertised with FOIA compliance.
4. All new applications, required revisions and information related to previously submitted applications must be submitted four (4) weeks prior to the meeting date in order to be placed on the agenda.



TOWN OF BLUFFTON

2025 HISTORIC PRESERVATION REVIEW COMMITTEE

Meeting and Application Submission Schedule

HPRC MEETINGS ARE HELD EVERY MONDAY FROM 4:00 P.M. – 5:00 P.M.
APPLICATION SUBMISSION DATES ARE FIFTEEN (15) BUSINESS DAYS PRIOR TO HPRC MEETING DATES

Please Note:

1. For applications, submission requirements, and general information please consult www.townofbluffton.sc.gov or call 843.706.4500.
2. No incomplete submittals will be accepted.
3. The proper forms and filing fee (as indicated on the Master Fee Schedule) must accompany all submittals.
4. Meetings will be held on scheduled meeting dates unless otherwise advertised.
5. Minimum requirements for specific applications are listed on project applications. Applications must be submitted a minimum of fifteen (15) days prior to the HPRC meeting date.

Meetings are subject to change based on conflicts due to scheduling, meeting locations and observed holidays.



MEMORANDUM

TO: Historic Preservation Commission

FROM: Charlotte Moore, AICP, Principal Planner

RE: Historic Preservation Commission Workshop Regarding Carriage Houses (Metal Canopies/Carports)

DATE: November 6, 2024

CC: Kevin Icard, AICP, Director of Growth Management

INTRODUCTION: The property owner of 41 Thomas Heyward Street, located in Old Town Bluffton Historic District, was cited by the Town of Bluffton for erecting a stand-alone metal canopy/carport without an approved Certificate of Appropriateness-Historic District (COFA-HD) as required by the Unified Development Ordinance (UDO), and without an approved building permit. The owner, Keith Fisher, seeks to correct the UDO violation through a separate zoning text amendment (ZONE-09-24-019360) as further explained in the Background section of this memo.

COMMISSION WORKSHOPS: The Historic Preservation Commission (HPC) workshop will be the second workshop held on this matter; the first workshop was held by the Planning Commission on October 23rd.

Per UDO Section 3.2.2.F. "Planning Commission Workshops are intended to be the first official presentation of a proposed project to provide the public with information and a forum to initially review the application and identify applicable application review criteria. Meetings are encouraged as opportunities for informal, non-binding communication between the Applicant and neighboring property owners who may be affected by the application." It is a standing practice to hold workshops with the HPC for proposed text amendments that will affect Old Town Bluffton Historic District.

While a text amendment is not a development project, discussion of the amendment in a workshop setting is an opportunity to have an informal discussion regarding its purpose, necessity and implications. Town Staff may also receive guidance from Town Commissions in preparation of a formal recommendation per the process indicated in UDO Sec. 3.5. No votes will be taken at the workshop.

BACKGROUND: The property at 41 Heyward Street includes an existing two-story single-family residence and an existing detached two-story Carriage House in the rear of the property. Over the years, as shown on Google Street View, the area adjacent to the south side of Carriage House and the property line has been used for unenclosed and uncovered storage of vehicles and watercraft. It is within this area where a metal canopy/carport was installed without Town approval, which requires an approved COFA-HD and an approved building permit. A Notice of Violation by the Town

of Bluffton was the impetus for a text amendment application by the property owner (Attachment 1). While specific text language has not been proposed, the owner would like for Town Council to "...include regulations and guidelines..." to allow carports. The owner has provided additional information in a written narrative to support the amendment (Attachment 2).

The property owner provided photos of some existing metal canopies/carports located in Old Town (Attachment 3). The first photo is the subject property and was provided by Town Staff. Without research on each canopy/carport, it is not possible to know their legal status, including those that are legally non-conforming (i.e., grandfathered). Grandfathered metal carports are those that existed before the UDO was adopted on August 10, 2011.

HOW THE UDO REGULATES "CARPORTS": In Old Town Historic District, carports *are* regulated as a Carriage House building type. Within Old Town, a form-based code approach is used to regulate buildings by specified types that vary by zoning district (UDO Sec. 5.15.8). When located in an accessory structure that is 121 to 1,200 square feet, uses such as garages, carports, workshops, and accessory dwelling units (or some combination thereof) are classified as a Carriage House building type. Unenclosed carports with metal roofs would also be classified as a Carriage House and must comply with the design standards in UDO Sec. 5.15. Additionally, only one Carriage House is permitted on a lot that is not within the Riverfront Edge-Historic District zone. The RV-HD zoning district includes most of the large, long, narrow properties on the May River.

Because the subject property has an existing Carriage House, a second Carriage House (i.e., the metal carport) is not permitted even if it complies with the applicable design standards of UDO Sec. 5.15.

It should be noted that the adjacent property, 43 Heyward Street, has an existing metal carport that was also cited for non-compliance with the UDO, and which was constructed without an approved building permit. The owner of the property applied for a COFA-HD, which will be reviewed by the Historic Preservation Commission on November 6. If the HPC approves the design, the carport (i.e., Carriage House) would be allowed (following receipt of a building permit) and would be the only Carriage House on the property.

The Old Town Bluffton Historic District was adopted, in part, to prevent building types that are damaging to its unique character. UDO Sec. 5.15.1.D states that "[t]hrough history, patterns of building placement, street elevation, compositional principles, materials, and applications have established a broad but clear set of collective responses. This Section [Old Town Bluffton Historic District] identifies a set of relatively simple principles in order to maintain this quality of environment that has made Bluffton so desirable and to encourage infill to follow this desired pattern." For more than 13 years, there have been established standards for Carriage Houses and compliance by other property owners who have completed the application process.

FOR DISCUSSION: For the metal canopy/carport to remain as illegally erected on the subject property, two UDO amendments would be necessary to: 1) allow more than one Carriage House per lot; and 2) exempt the metal carport (and, by extension, similar buildings, from design review). Compliance with established rear and side yard setbacks would also be necessary.

Consideration of the above two questions will serve as the basis for determining the appropriateness of the UDO amendment. Again, this is an informal discussion, no votes will be taken.

NEXT STEPS (TENATIVE): The proposed text amendment will be reviewed as follows:

- Historic Preservation Commission Workshop (advisory only): November 6, 2024
- Planning Commission (recommendation): December 18, 2024
- Town Council First Reading: January 14, 2025
- Town Council Public Hearing/ Second Reading: February 11, 2025

ATTACHMENTS:

1. Application
2. Narrative
3. Photos of Canopies/Carports



TOWN OF BLUFFTON
UDO TEXT AMENDMENT APPLICATION

Growth Management Custodian

Section VIII. Item #1.

Bluffton, SC 29910

(843) 706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: keith fisher		Name: keith fisher	
Phone: 846831975		Phone: 8436831975	
Mailing Address: 41 thomas heyward street bluffton sc 29910		Mailing Address: 41 thomas heyward street bluffton sc 29910	
E-mail: keithfisher.843@gmail.com		E-mail: keithfisher.843@gmail.com	
Project Information			
Project Name: rv carport			
Existing Zoning Text:			
<small>2. Only one accessory structure is allowed per lot. Unified Development Ordinance(UDO) Section 5.15.5.C. It appears that there is already one existing Carriage House on the property. The structure in question is not allowed.</small>			
Proposed Text (use additional sheets if necessary):			
<h1>see additional sheet provided</h1>			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Project Narrative and digital file describing proposed text change for application and compliance with the criteria in Article 3 of the UDO.			
<input type="checkbox"/> 2. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Disclaimer:		The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this application.	
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 9/20/24	
Applicant Signature:		Date: 9/20/24	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON UDO TEXT AMENDMENT APPLICATION PROCESS NARRATIVE

Section VIII. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's Unified Development Ordinance. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a UDO Text Amendment Application, the Applicant is required to consult with the UDO Administrator or their designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant shall submit the UDO Text Amendment Application and required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 3. Review by UDO Administrator or designee	Staff
If the UDO Administrator or designee determines that the UDO Text Amendment Application is complete, it shall be placed on the next available Planning Commission (PC) Meeting agenda.	
Step 4. Planning Commission Meeting & Public Hearing	Applicant, Staff & Planning Commission
The PC shall hold a Public Hearing and review the UDO Text Amendment Application for compliance with the criteria and provisions in the UDO. The PC may recommend that Town Council approve, approve with conditions, or deny the application. Town Staff shall place a notice no sooner than 15 days prior to the Public Hearing in a newspaper of general circulation in the Town.	
Step 5. Town Council Meeting- 1st Reading	Applicant, Staff & Town Council
Town Council shall review the UDO Text Amendment Application for compliance with the criteria and provisions in the UDO. Town Council may approve, approve with conditions, table, or deny the application at 1 st Reading.	
Step 6. Town Council Meeting- 2nd and Final Reading & Public Hearing	Applicant, Staff & Town Council
Town Council shall hold a Public Hearing and review the UDO Text Amendment Application for compliance with the criteria and provisions in the UDO. Town Council may approve, approve with conditions, table, or deny the application at 2 nd and Final Reading. Town Staff shall place a notice no sooner than 15 days prior to the Public Hearing in a newspaper of general circulation in the Town.	
Step 7. UDO Text Amendment Approval	Staff
If Town Council approves the UDO Text Amendment Application, the UDO Administrator or designee shall issue an approval letter to the Applicant and codify the changes.	

Keith Fisher

41 Thomas Heyward Street
Bluffton, SC 29910
Keithfisher.843@gmail.com
843-683-1975
September 20, 2024

Bluffton Town Counsel

Bluffton Town Hall
Bluffton, SC 29910

Dear Members of the Bluffton Town Counsel,

Re: Request for Inclusion of Carports in the Unified Development Ordinance (UDO)

I am writing to formally request that Bluffton Town Counsel consider amending the current Unified Development Ordinance (UDO) to include regulations and guidelines for the construction of the carports within the town limits. As it stands, carports are explicitly addressed in the UDO, creating uncertainty for residents who may wish to construct such structures on their property.

Carports provide an affordable and practical solution for protecting vehicles from weather-related damage while preserving the open aesthetic of a property. I believe that allowing carports with clearly defined guidelines would benefit homeowners, enhance property value and maintain the community's visual appeal.

Key Reason for the Requested Change:

1. **Protection for Property:** Carports provide essential coverage for vehicles, reducing the impact of sun, rain and other elements. This can extend the lifespan of vehicles and reduce maintenance costs for residents.
2. **Affordability:** Compared to enclosed garages, carports are a cost-effective option for homeowners seeking vehicle protection without the expense or space required for a traditional garage.
3. **Aesthetic and Community Impact:** Thoughtful guidelines regarding size, material, and placement can ensure that carports are built in harmony with existing community standards, preserving Bluffton's visual character.

I respectfully ask that the Town Counsel review this proposal and consider drafting provisions within the UDO that would allow the construction of carports under appropriate regulations. I am happy to provide further input, participate in discussions, or attend hearings to support the consideration of this request

Thank you for your time and attention to this matter. I look forward to the opportunity to collaborate in improving the UDO for the benefits of our community. Please feel free to contact me at your earliest convenience if additional information is needed.

Sincerely,

Keith Fisher

41 Thomas Heyward Street

Bluffton, SC 29910

Keithfisher.843@gmail.com

843-683-1975

Subject Property

























MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from September 17, 2024 to October 16, 2024

DATE: November 1, 2024

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
194 Bluffton Rd	Commercial Reroof	Angie Castrillon	Approved
47 Lawrence St	Residential New Entry Gate + Brick Columns	Angie Castrillon	Approved
35 Tabby Shell Rd	Residential Home – Siding Replacement	Angie Castrillon	Approved
5431 Ramble Ln	Commercial – New Pavilion	Angie Castrillon	Approved
5728 Guilford PL Unit 100	The Peirce Group Signage	Angie Castrillon	Approved
22 Stock Farm Rd	Residential Pool	Angie Castrillon	Approved
5778 Yaupon Rd	Residential Pool	Angie Castrillon	Approved
38 Calhoun St	The Cottage Signage	Angie Castrillon	Approved
1 Marianna Way Unit 200	Harvey & Battey Signage	Angie Castrillon	Approved