



Historic Preservation Commission

Wednesday, September 06, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

1. July 5, 2023 Minutes

VII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

VIII. OLD BUSINESS

IX. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by the Applicants, Ernie and Andrea Suozzi, for approval of a Certificate of Appropriateness to allow the construction of a new 2-story single-family structure of approximately 2,295 SF, and Carriage House of approximately 803 SF, located at 7 Blue Crab Street, in the Old Town Bluffton Historic District, identified as Lot 24 of the Tabby Roads development and zoned Neighborhood General-HD. (COFA-06-23-018105) (Staff - Katie Peterson)

2. **Designation of a Contributing Resource:** A request by the owners, Eugene and Melanie Marks to recommend to Town Council to have the Contributing Resource, known as the Joiner House, located at 9 Bruin Road, within the Neighborhood Core-HD Zoning District be removed as a Contributing Resource from the Old Town Bluffton Historic District and to have the Contributing Resources Map amended accordingly. (DCR-06-23-018161)(Staff – Glen Umberger)
3. **Public Project:** A request by Charles Savino, on behalf of The Town of Bluffton, for recommendation of approval of a Public Project to include improvements to the outdoor pavilion and passive recreation areas located at the existing Oyster Factory Park (55 Wharf Street) in the Town of Bluffton, SC, identified by Tax Map Numbers R610 039 00A 0191 0000, R610 039 00A 0190 0000, R610 039 00A 0165 0000, R610 039 00A 0262 000, and R610 039 00A 0261 0000. (DP-01-22-016299) (Staff - Katie Peterson)

X. DISCUSSION

1. Historic District Monthly Update. (Staff)

XI. ADJOURNMENT

NEXT MEETING DATE: Wednesday, October 4, 2023

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment is limited to 3 minutes per speaker.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

Wednesday, July 05, 2023 at 6:00 PM

I. CALL TO ORDER

Vice Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Commissioner Kerri Schmelter

Commissioner Joe DePauw

Commissioner Debbie Wunder

Vice Chairman Evan Goodwin

Commissioner Carletha Frazier

Commissioner Will Guenther

Commissioner Jim Hess

III. ADOPTION OF THE AGENDA

Commissioner Guenther made a motion to adopt the agenda.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Vice Chairman Goodwin, Commissioner Frazier,
Commissioner Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess.

All were in favor and the motion passed.

IV. ADOPTION OF MINUTES

1. June 7, 2023 Minutes

Commissioner Schmelter made a motion to adopt the minutes as written.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Vice Chairman Goodwin, Commissioner Frazier,
Commissioner Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess.

All were in favor and the motion passed.

V. ELECTION OF OFFICERS

Commissioner Schmelter made a motion to nominate Evan Goodwin to Chairman.

Voting Yea: Commissioner Schmelter, Vice Chairman Goodwin, Commissioner Frazier,
Commissioner Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess.

All were in favor and Evan Goodwin was elected to Chairman.

Commissioner Schmelter made a motion to nominate Carletha Frazier to Vice Chairwoman.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Commissioner Frazier, Commissioner
Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess.

All were in favor and Carletha Frazier was elected to Vice Chairwoman.

VI. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA***VII. OLD BUSINESS****VIII. NEW BUSINESS**

1. **Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owner, 5824 Guilford Place LLC (Larry Page), to approve a Certificate of Appropriateness-HD to allow the construction of a 2-story commercial office building of approximately 2,888 SF and Carriage House of approximately 1,200 SF to be located at 5824 Guilford Place, Lot 14 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General- HD.(COFA-04-23-017854)(Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about the spacing between the buildings, the roof and the shutters.

Commissioner Schmelter made a motion to approve with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per the Applications Manual, approval from the Stock Farm POA is required prior to approval of a Certificate of Appropriateness- HD.
3. Per the Applications Manual, any proposed signage requires separate Site Feature-HD approval.
4. Per UDO Section 5.3.3., a canopy coverage exhibit must be provided for review.
5. As requested during the conceptual review at HPRC, the existing landscaping must be shown on the plan to ensure adequate plantings have been retained or replanted.
6. The Applicant must work with staff to ensure grading proposed will not result in a complete loss in Streetscape Foundation Plantings or impact the sidewalk while maintaining positive drainage.
7. It is recommended that the primary structure be relocated 5' towards the rear property line to eliminate the need to relocate the fence, plantings or modify the drainage at the front of the lot.

Seconded by Commissioner Guenther.

There was discussion about amending the motion.

Commissioner DePauw made a motion to amend the conditions to include the casement windows on the Right Elevation be changed to Double Hung to match those on the Primary Structure.

Seconded by Commissioner Hess.

Voting Yea to amend the motion: Commissioner Schmelter, Vice Chairwoman Frazier, Commissioner Guenther, Commissioner DePauw, Commissioner Hess, Commissioner Wunder

The motion to include the eighth condition passed.

There was a vote on the amended motion.

Voting Yea: Commissioner Schmelter, Vice Chairwoman Frazier, Commissioner Guenther, Commissioner DePauw, Commissioner Hess

Voting Nay: Commissioner Wunder

The amended motion passed 5-1.

2. **Certificate of Appropriateness:** A request by Ansley Hester Manuel, Architect, on behalf of the owners, George and Lillian Heyward, to approve a Certificate of Appropriateness-HD to allow the renovation of the Contributing Resource known as the Heyward Cottage, including the addition of approximately 230 SF to the 2187 SF, 1-story single family residential structure of located at 130 Pritchard Street, in the Old Town Bluffton Historic District and zoned Riverfront Edge- HD.(COFA-03-23-017840)(Staff - Katie Peterson)

Chairman Goodwin returned to the dais.

Staff presented. The applicant was in attendance. There was discussion about the smaller roofs on the structure.

Commissioner Guenther made a motion to approve the application as submitted.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess

All were in favor and the motion passed.

IX. DISCUSSION

Staff welcomed the new commissioners.

X. ADJOURNMENT

Vice Chairwoman Frazier made a motion to adjourn.

Seconded by Commissioner Guenther.

Voting Yea: Commissioner Schmelter, Chairman Goodwin, Vice Chairwoman Frazier, Commissioner Guenther, Commissioner Wunder, Commissioner DePauw, Commissioner Hess

All were in favor and the motion passed. The meeting was adjourned at 6:51pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	September 6, 2023
PROJECT:	7 Blue Crab Street, Lot 24 - New Construction: Single-Family and Carriage House
APPLICANT:	Ernie and Andrea Suozzi
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicants, Ernie and Andrea Suozzi, request that the Historic Preservation Commission approve the following application:

1. **COFA-06-23-018105.** A Certificate of Appropriateness to allow the construction of a new 2-story single-family structure of approximately 2,295 SF, and Carriage House of approximately 803 SF, located at 7 Blue Crab Street, in the Old Town Bluffton Historic District, identified as Lot 24 of the Tabby Roads development and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant has proposed the construction of a one and a half-story single-family structure with an attached two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,295 SF has some characteristics of a Vernacular House, but with the hip roof configuration and not quite full-length front porch, has been classified as an Additional Building Type within the Neighborhood General-HD zoning district, however, the setbacks are determined by the Tabby Roads Development Plan.

The primary structure features a forward-facing hipped roof with a near full façade one-story front porch under a hip roof that wraps the left side and rear elevations. It has shed roofed dormers on the front, left and rear elevations, and connects to the Carriage House through a one-story addition to the rear and right side. The Carriage House features many of the same details, including the hip roof, dormers, exposed rafter tails, vertical Hardi board and batten siding and detailing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 26, 2023 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
 - b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House adds to the district and helps provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5.
3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction is consistent with that of the surrounding neighborhood.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of a new structure in the Old Town Bluffton Historic District. If the conditions in section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness.

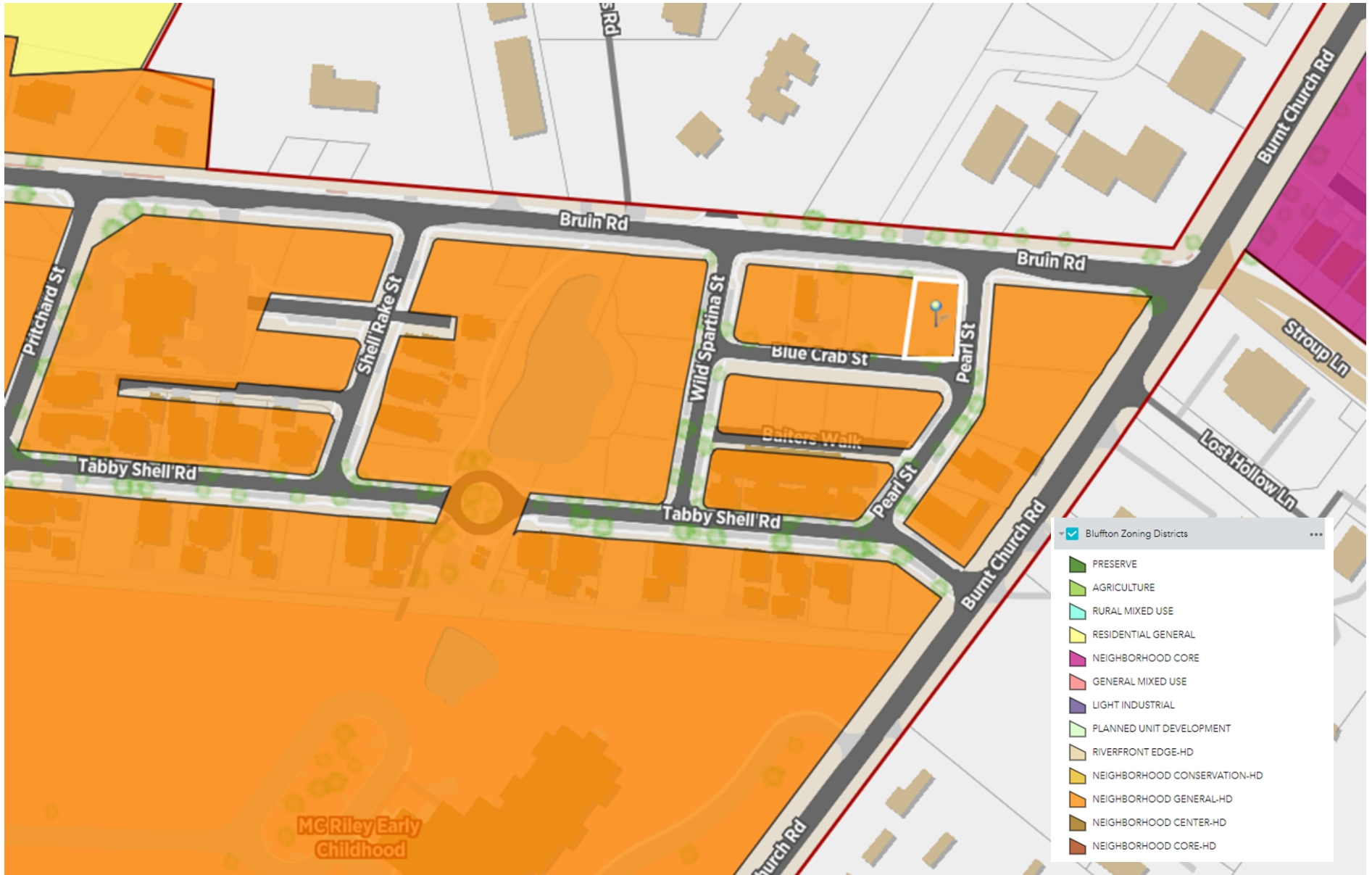
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.

ATTACHMENTS:

1. Location Map and Zoning Maps
2. Application and Narrative
3. Site Plan & Elevations
4. Landscape Plan & Canopy Coverage
5. HPRC Report
6. HARB Approval

ATTACHMENT 1 – Location and Zoning Map





ATTACHMENT 2

TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section IX. Item #1.

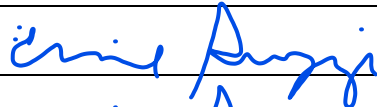
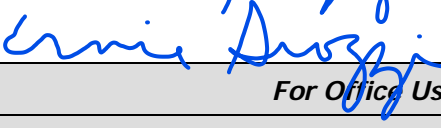
20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Ernie & Andrea Suozzi		Name: Ernie & Andrea Suozzi	
Phone: 843-422-0564		Phone: 843-422-0564	
Mailing Address: 20 Meriwether Ct. Bluffton, SC 29910		Mailing Address: 20 Meriwether Ct. Bluffton, SC 29910	
E-mail: athsoccer1@gmail.com		E-mail: athsoccer1@gmail.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Suozzi Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 7 Blue Crab Street		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General - HD		Application for:	
Acreage: 6,678 SF		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1205 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: Single Family home with detached Garage/Carriage House.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 7/25/23	
Applicant Signature: 		Date: 7/25/23	
<i>For Office Use</i>			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #1.

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Vanacular House					
Building Setbacks		Front: 15'	Rear: 5'	Rt. Side: 7.5'	Lt. Side: 7.5'
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage
Main Structure	Main House				2,295
Ancillary	Garage/Carriage House				803
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			1,925 - Main House 1482; Carriage House 443		
Impervious Drive, Walks & Paths					
Open/Covered Patios			943		
A. TOTAL IMPERVIOUS COVERAGE			2,868		
B. TOTAL SF OF LOT			6,678		
% COVERAGE OF LOT (A/B= %)			42%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation	
Foundation	Concrete		Columns	Pressure Treated Wood	
Walls	Hardie Siding		Windows	Vinyl	
Roof	5V Metal		Doors	Wood	
Chimney	N/A		Shutters	N/A	
Trim	Hardie Trim		Skirting/Underpinning	Mixed Shell Tabby Stucco	
Water table	Hardie Bandboard		Cornice, Soffit, Frieze	Open	
Corner board	Hardie Trim		Gutters	N/A	
Railings	Pressure Treated Wood		Garage Doors	Steel	
Balusters	Pressure Treated Wood		Green/Recycled Materials		
Handrails	Pressure Treated Wood				



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

Section IX. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).



Signature of Property Owner or Authorized Agent

7/25/23

Date

Ernie Suozzi

Printed Name of Property Owner or Authorized Agent



Signature of Applicant

6/1/23

Date

Ernie Suozzi

Printed Name of Applicant

Project Narrative 7 Blue Crab Street Suozzi Residence

This project is a new construction two story single-family residence with an attached garage/carriage house in the Tabby Roads community of Old Town Bluffton.

*PRINT PLANS @ 100% SCALE ON 24X36 SHEETS



LAKE + LAND

GENERAL NOTES

1. THE CONTRACTOR SHALL FULLY COMPLY WITH THE MOST CURRENT IBC AS WELL AS ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. THE MOST CURRENT IEC AND IMC SHALL BE USED. THE CONTRACTOR SHALL BE LIABLE FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES INVOLVED.
2. THE CONTRACTOR SHALL USE ONLY WRITTEN DIMENSIONS, OR THOSE OTHERWISE DIRECTLY INDICATED BY LAKE AND LAND STUDIO, LLC. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND FOR THE CONDITIONS ON THE JOB.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC, AND ELECTRICAL SYSTEMS.
4. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND DETAILS CONTAINED WITHIN THE DESIGN PLANS; PRIOR TO THE INITIATION OF CONSTRUCTION, ANY SUSPECTED ERRORS, INCONSISTENCIES, AND/OR POTENTIAL DETAIL OMISSIONS ARE TO BE REPORTED TO LAKE AND LAND STUDIO, LLC FOR CLARIFICATION. THE CONTRACTOR SHALL NOT WORK WITHOUT CORRECT DESIGN PLANS. LAKE AND LAND STUDIO, LLC WILL NOT BE RESPONSIBLE FOR ANY IMPLICATIONS THAT RESULT SECONDARY TO A CONTRACTOR OR SUBCONTRACTOR'S CONSTRUCTION MEANS AND METHODS OR ACTS THAT ARE NOT COMPLETED IN ACCORDANCE WITH DESIGN PLANS.
5. THESE DESIGN PLANS ARE PROPERTY OF LAKE AND LAND STUDIO, LLC AND ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. USE OF THE DESIGN PLAN INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR ONE-TIME USE ONLY, AS OUTLINED WITHIN THE DESIGN PLAN PURCHASE AGREEMENT. ANY DUPLICATION, PUBLICATION, DISTRIBUTION, AND/OR SALE OF ANY PART(S) OF THE PLANS IS STRICTLY PROHIBITED. ANY UNAUTHORIZED USE OF THE COPYRIGHTED MATERIAL REPRESENTS A VIOLATION OF FEDERAL LAW AND IS SUBJECT TO THE PRESCRIBED PENALTIES UNLESS PRIOR WRITTEN PERMISSION FOR USE IS GRANTED BY LAKE AND LAND STUDIO, LLC.
6. PURCHASE AGREEMENT:
PURCHASE OF THESE DESIGN PLANS GRANTS THE BUYER THE RIGHT TO USE DOCUMENTS CONTAINED WITHIN FOR THE CONSTRUCTION OF A SINGLE HOME. THE BUYER ACKNOWLEDGES THAT THE TITLE, DESIGN PLANS (AND DERIVATIVES THEREOF), INTEREST IN COPYRIGHTS, AND ALL OTHER RIGHTS OF OWNERSHIP REMAIN WITH LAKE AND LAND STUDIO, LLC. ANY DESIGN PLAN MODIFICATIONS ARE CONSIDERED TO BE DERIVATIVES OF THE ORIGINAL AND ARE PROTECTED WITHIN THE COPYRIGHT PARAMETERS PREVIOUSLY STATED; PLAN DERIVATIVES MAY NOT BE SOLD, COPIED, OR USED FOR CONSTRUCTION OF ANY OTHER RESIDENCE.
7. LAKE AND LAND STUDIO, LLC WILL NOT BE HELD RESPONSIBLE FOR ANY FAULT RESULTING FROM UNAUTHORIZED USE OF ANY PART(S) OF THESE DESIGN PLANS (OR ANY AFTER-PURCHASE DESIGN MODIFICATIONS) IN ANY CONSTRUCTION OR BUILDING ACT.
8. LAKE AND LAND STUDIO, LLC RESERVES THE RIGHT TO MAKE MODIFICATIONS TO DESIGN PLANS, DRAWINGS, AND/OR MODELS AT ANY TIME; DETAILS IN IMAGES USED FOR MARKETING PURPOSES ON WEBSITES OR IN CATALOGS MAY NOT MATCH DESIGN PLANS EXACTLY.
9. LIMITATION OF LIABILITY:
LAKE AND LAND STUDIO, LLC SHALL NOT BE LIABLE FOR ANY SPECIAL, CONSEQUENTIAL, INCIDENTAL, OR INDIRECT DAMAGES ARISING FROM USE OF THE PLANS INCLUDING, BUT NOT LIMITED TO, DAMAGES FOR LOSS OF ANTICIPATED PROFITS OR LOSS OF BUSINESS OPPORTUNITY. TO THE EXTENT PERMITTED BY LAW, LIABILITY OF LAKE AND LAND STUDIO, LLC SHALL BE LIMITED TO THE RETAIL PRICE OF THE PLANS.
10. BUILDING CODES VARY BY LOCATION DUE TO VAST DIFFERENCES IN GEOGRAPHICAL AND CLIMATE RELATED FACTORS THAT IMPACT CONSTRUCTION. EACH STATE, COUNTY, AND MUNICIPALITY HAS ITS OWN RESPECTIVE BUILDING CODES, ZONE REQUIREMENTS, AND ORDINANCES FOR BUILDING REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING PLANS TO THE NECESSARY STATE, COUNTY, AND LOCAL OFFICIALS FOR PERMITTING OF CONSTRUCTION OF THIS PROJECT. DESIGN PLANS MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL REQUIREMENTS REGARDING SNOW LOADS, ENERGY CODES, SOIL AND SEISMIC CONDITIONS, AND NUMEROUS OTHER VARIABLE FACTORS. IT IS THE BUYER'S RESPONSIBILITY TO CONSULT WITH APPROPRIATE LOCAL CONSTRUCTION PROFESSIONALS (ARCHITECTS, ENGINEERS) TO DETERMINE IF PLANS COMPLY WITH CODES GOVERNING THE BUYER'S BUILDING SITE AND, IF NECESSARY, TO SEE THAT APPROPRIATE MODIFICATIONS ARE MADE TO PLANS PRIOR TO CONSTRUCTION.

SUOZZI RESIDENCE

BLUFFTON, SC



DRAWING INDEX

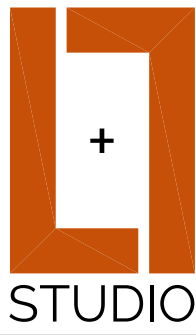
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- S-101
- A-101
- A-102
- A-103
- A-104
- A-201
- A-202
- A-401
- E-101
- E-102
- P-101
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- COVER PAGE
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- FOUNDATION PLAN
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- SECOND FLOOR PLAN
- LOWER ROOF PLAN
- UPPER ROOF PLAN
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- SCHEDULES + DETAILS
- FIRST FLOOR ELECTRICAL PLAN
- SECOND FLOOR ELECTRICAL PLAN
- FIRST FLOOR PLUMBING PLAN
- SECOND FLOOR PLUMBING PLAN

SYMBOL KEY

- DOOR LABEL
- WINDOW LABEL
- INTERIOR ELEVATION LABEL
- ANNOTATION
- BREAK LINE
- HIDDEN OR INVISIBLE LINE
- ELEVATION DATUM LINE
- SECTION CUT LINE

SQUARE FOOTAGE

CONDITIONED SPACE		UNCONDITIONED SPACE	
FIRST FLOOR	1,482 SF	PORCHES	943 SF
SECOND FLOOR	813 SF	GARAGE	443 SF
C.H. UPSTAIRS	360 SF	TOTAL	1,386 SF
TOTAL	2,655 SF		
TOTAL UNDER ROOF SF			
4,041 SF			



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
COVER PAGE

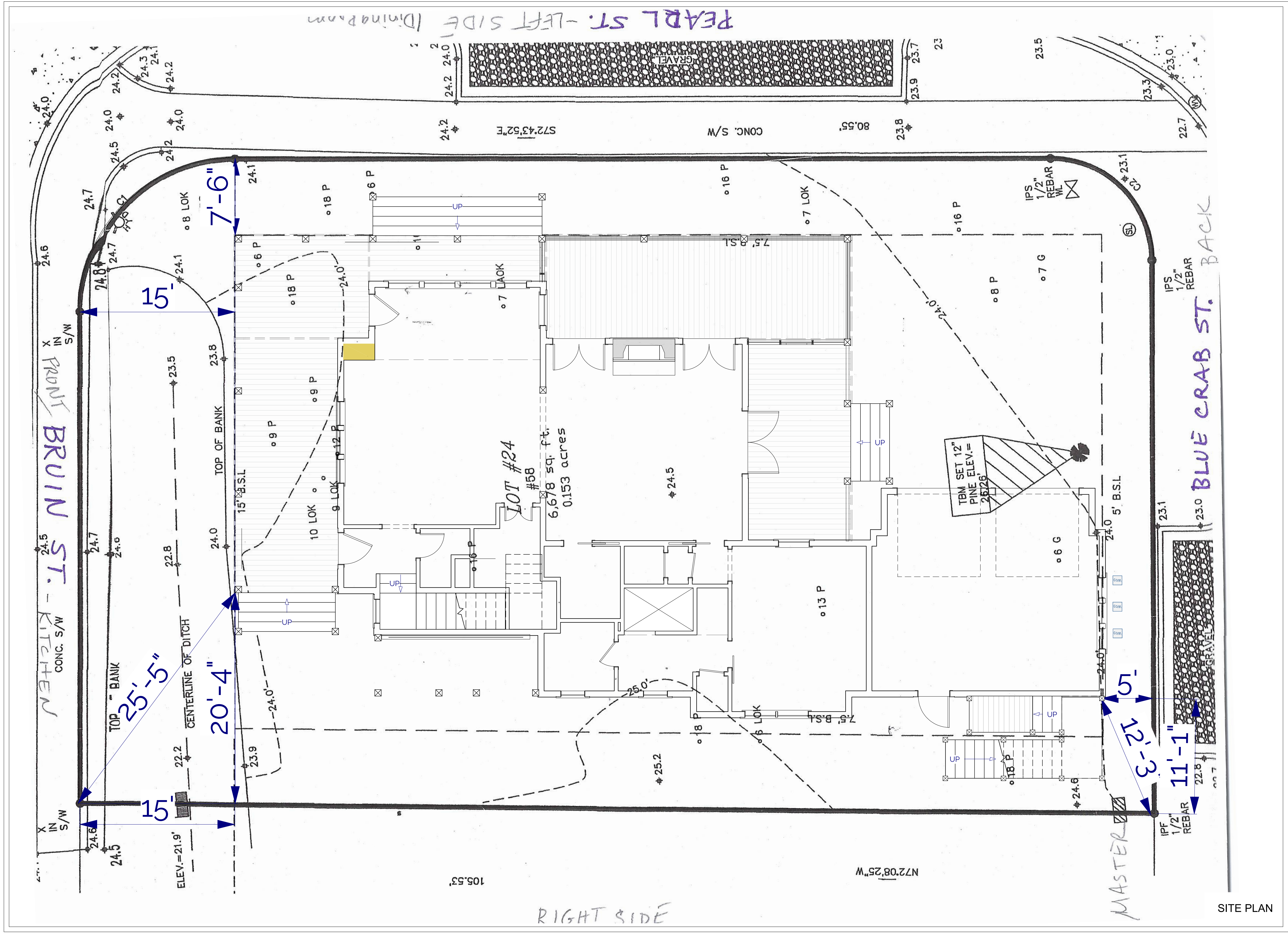
PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
7/18/2023

SCALE:
NO SCALE

SHEET:
COVER
PAGE



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
SITE PLAN

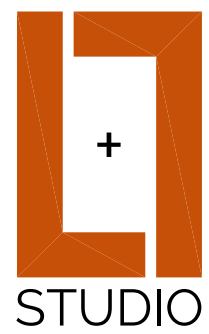
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SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
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DATE:
7/18/2023

SCALE:
1/16"=1'-0"

SHEET:
C-101



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
FOUNDATION PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

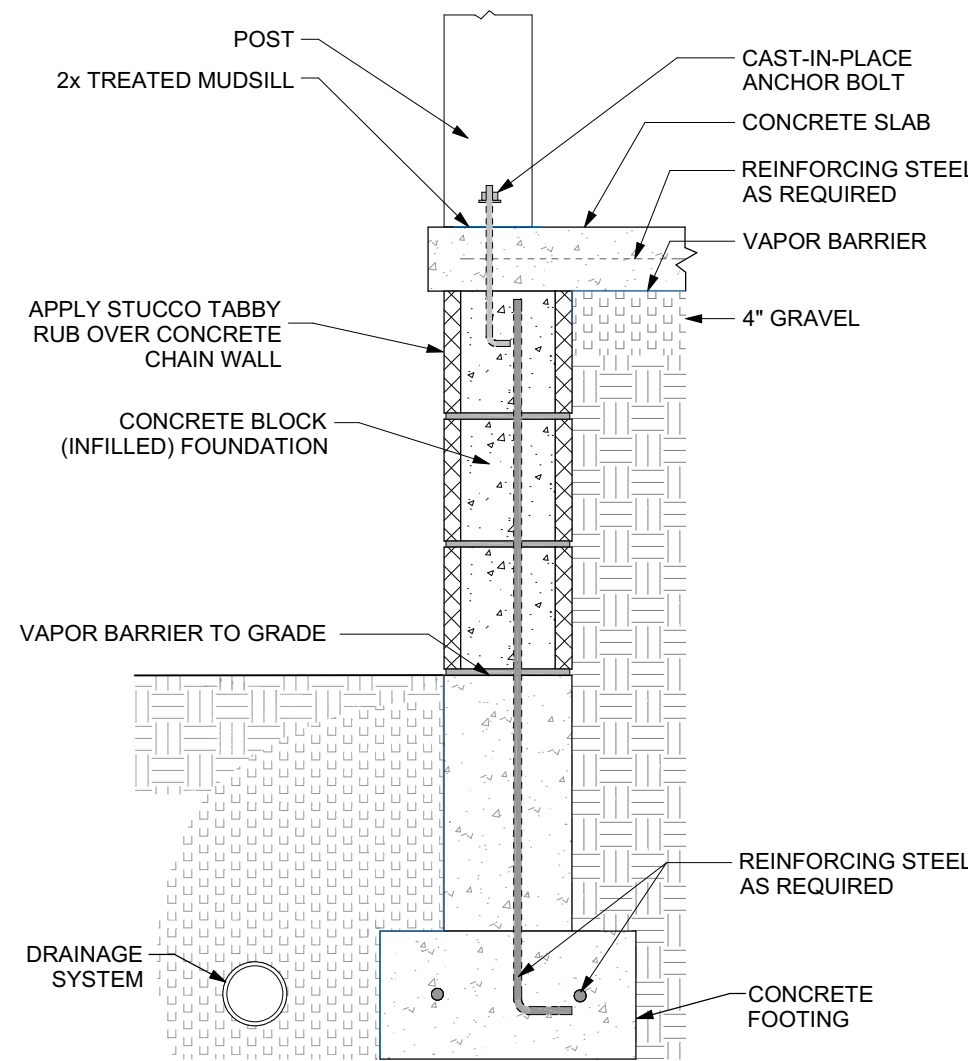
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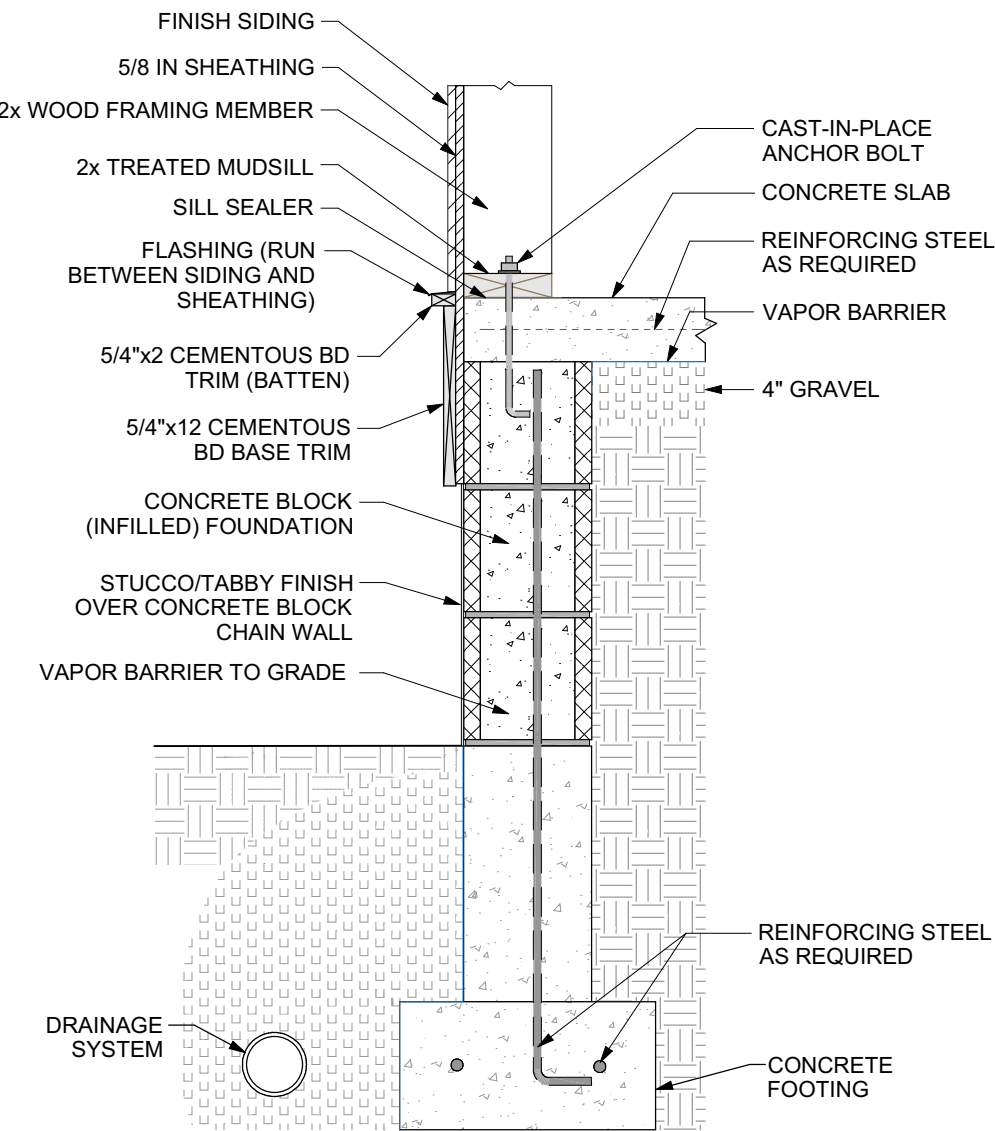
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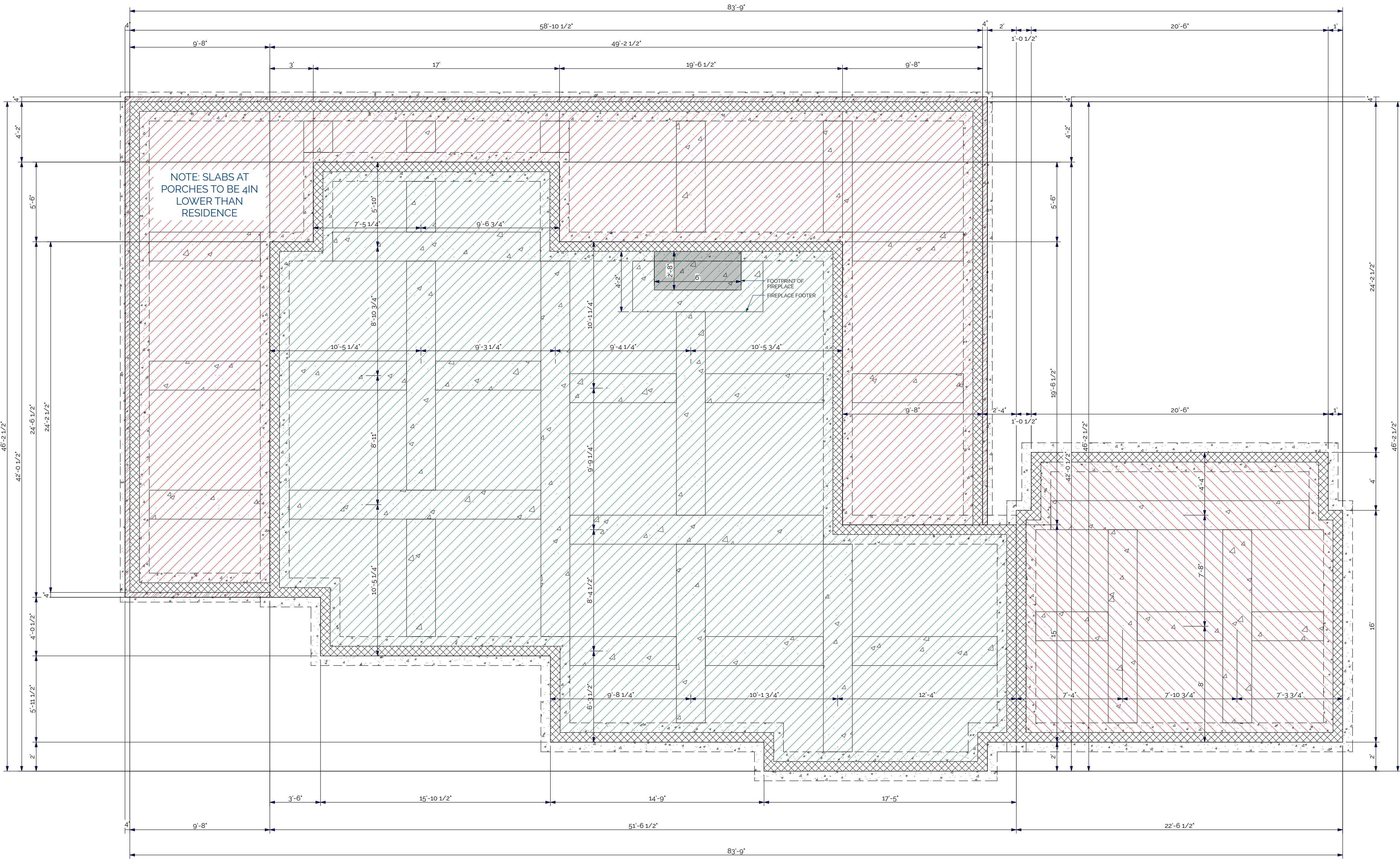
S-101



CMU/SLAB FOUNDATION DETAIL
@ PORCHES
SCALE: 1"=1'-0"



CMU/SLAB FOUNDATION DETAIL
@ HOUSE
SCALE: 1"=1'-0"



FOUNDATION PLAN

GENERAL FRAMING NOTES

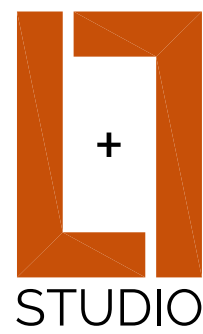
1. CONTRACTOR TO ENSURE ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
2. ALL STRUCTURAL INFORMATION SHOWN ARE FOR REFERENCE PURPOSES ONLY. ALL STRUCTURAL DESIGN WILL MEET OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (I.B.C.) AND/OR LOCAL BUILDING CODES.
3. THE GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED ENGINEER (P.E.) REVIEW THE STRUCTURAL DESIGN NEEDS OF THE STRUCTURE IN CONJUNCTION WITH SITE CONDITIONS, AND DESIGN ALL FRAMING ELEMENTS SUCH AS JOISTS, BEAMS, GIRDERS, HEADERS, COLUMNS AND RAFTERS. CONSTRUCTION SHALL NOT BEGIN WITHOUT SAID REVIEW AND DELIVERY OF ENGINEERED PLANS BY THE P.E.
4. THE CONTRACTOR WILL REVIEW THE PLANS, ELEVATION AND DETAILS, AND ADVISE THE OWNER AND/OR DESIGNER SHOULD ANY CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT SHOWN ON THE PLANS, SECTIONS OR EXTERIOR ELEVATIONS.
5. IF 'ENGINEERED LUMBER' OR TRUSSES WILL BE USED, THEY WILL BE DESIGNED AND APPROVED BY A P.E.
6. INSTALL SOLID BRACING, OR EQUAL, AT ALL OUTSIDE CORNERS.
7. PROVIDE DOUBLE JOISTS UNDER ALL NON-LOAD BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
8. PROVIDE DIAGONAL OR SOLID BLOCKING AT 8' O.C. MAXIMUM IN ALL FLOOR JOISTS, AND SOLID BLOCKING BETWEEN FLOOR JOIST UNDER WALLS THAT ARE PERPENDICULAR TO THE FLOOR JOISTS.
9. INSTALL A CONTINUOUS ALUMINUM TERMITE SHIELD BETWEEN ANY WOOD AND CONCRETE SURFACES.
10. ALL STRUCTURAL WOOD USED IN THE CONSTRUCTION OF STEPS, PORCHES AND DECKS, SHALL BE PRESSURE TREATED OR EQUAL.
11. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
12. INSTALL HURRICANE CONNECTIONS AS REQUIRED BY LOCAL CONDITIONS AND BUILDING CODES.
13. ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4' O.C. MAXIMUM.

GENERAL FOUNDATION NOTES

1. ALL CONSTRUCTION INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. GENERAL CONTRACTOR SHALL HAVE A LOCAL LICENSED STRUCTURAL ENGINEER (P.E.) REVIEW ACTUAL SITE CONDITIONS AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS FOOTINGS, REINFORCEMENT, FOUNDATION WALLS, PIERS AND SLAB TO ENSURE IT MEETS LOCAL BUILDING CODES.
2. GENERAL CONTRACTOR SHALL INSPECT SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. GENERAL CONTRACTOR SHALL NOTIFY THE OWNER OR P.E. OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
3. GENERAL CONTRACTOR IS TO REVIEW THE PLANS, ELEVATIONS AND DETAILS FOR DESIRED ELEVATION OF FINISH FLOOR ABOVE TYPICAL GRADE. ADVISE OWNER SHOULD ANY SITE CONDITIONS REQUIRE MODIFICATIONS TO THE DESIGN INTENT INDICATED ON PLANS, SECTIONS, OR EXTERIOR ELEVATIONS, (IE. NUMBER OF STEPS FROM FINISH GRADE TO THE FIRST FLOOR, OR NUMBER OF STEPS BETWEEN THE GARAGE FLOOR TO THE FIRST FLOOR OF THE HOUSE).
4. CONTRACTOR TO INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS CONTINUOUS BETWEEN ANY WOOD SURFACES THAT ARE EXPOSED TO CONCRETE SURFACES.
5. ALL CONCRETE WORK SHALL CONFORM TO APPROPRIATE ACI RATING. ALL DETAILING, FABRICATION, ACCESSORIES AND PLACEMENT OF REINFORCING SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. ANCHOR BOLTS FOR SILL PLATE ATTACHMENT TO CONFORM TO ASTM STANDARDS.
6. ALL POURED IN PLACE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
7. ALL CONSTRUCTION ON FILL SOILS SHALL BE DESIGNED BY A P.E.
8. FOOTINGS MUST BE BELOW THE LOCAL FROST LINE. PROVIDE 12" MINIMUM COVER OF FOOTING, UNLESS LOCAL FROST DEPTH WARRANTS A GREATER DEPTH.

FOUNDATION LEGEND

	2'-0" WIDE (18" THICK) CONTINUOUS FOOTER TO RUN AROUND THE ENTIRE EXTERIOR OF ALL HEATED AND COOLED SPACES, ALSO INCLUDING FOOTPRINT OF GARAGE.
	2'-0" WIDE (12" THICK) INTERIOR FOOTER.
	2'-8" SQUARE (16" THICK) SPREAD FOOTER.
	SLAB FOUNDATION EXTENTS
	SLAB FOUNDATION EXTENTS AT PORCHES
	SLAB FOUNDATION EXTENTS AT GARAGE
	8" CONCRETE BLOCK CHAIN WALL
	5" EXTRUDED BRICK SILL



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SHEET TITLE:
FIRST FLOOR PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegraass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

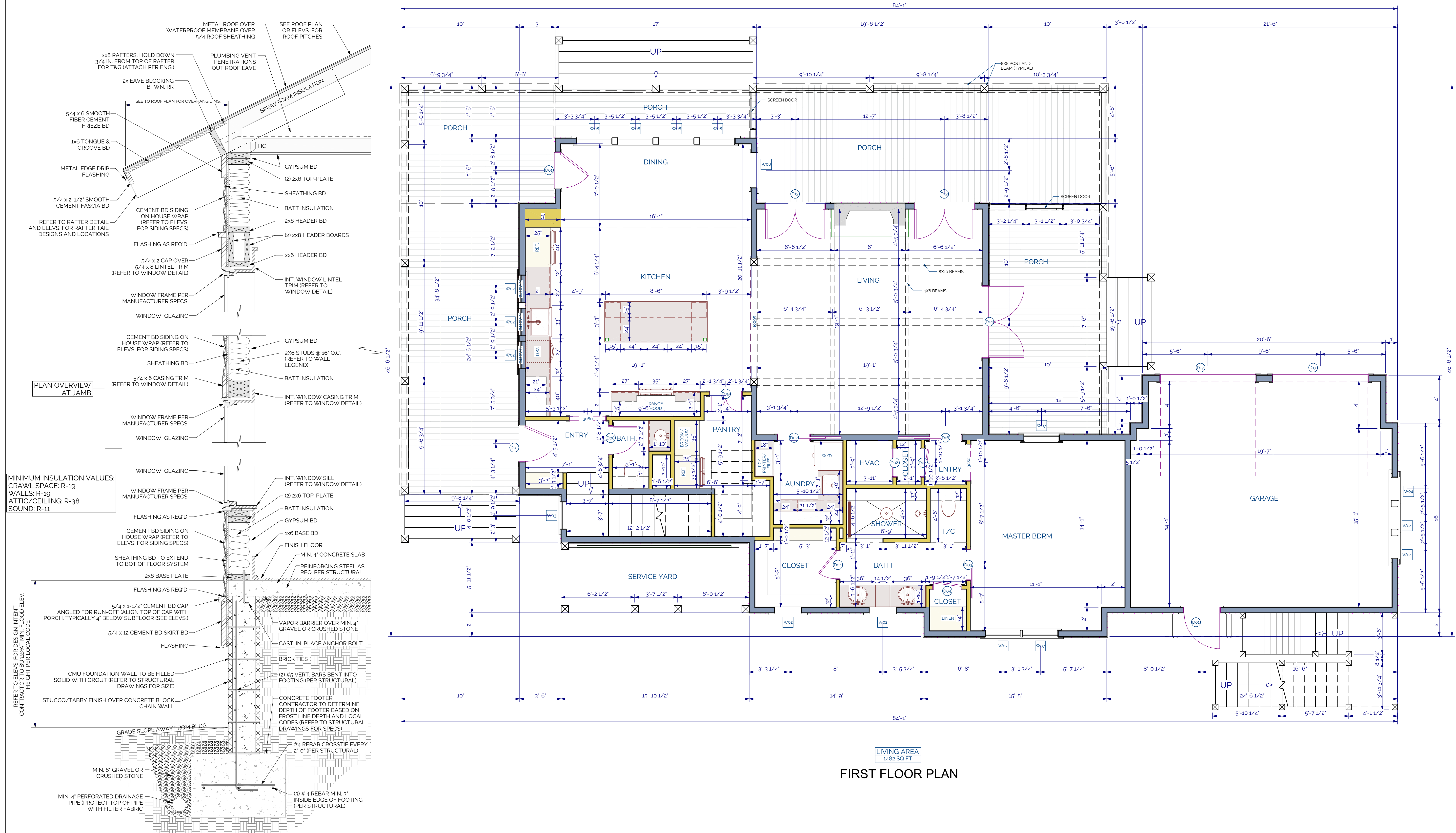
7/18/2023

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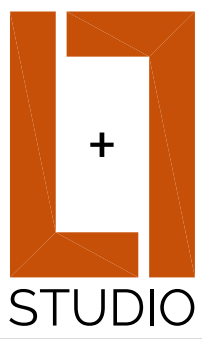
SHEET:

A-101



WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ HARDIE
	EXTERIOR 2X6 WALL W/ HARDIE
	INTERIOR 2X4 W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WITH 1/2" GYPSUM BOARD
	PORCH AND DECK RAILING

GENERAL FLOOR PLAN NOTES
1. FIRST FLOOR CEILINGS ARE 10'-0" UNLESS OTHERWISE NOTED.
2. SECOND FLOOR CEILINGS ARE 9'-0" UNLESS OTHERWISE NOTED.



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SHEET TITLE:
SECOND FLOOR PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Beltegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

7/18/2023

SCALE:

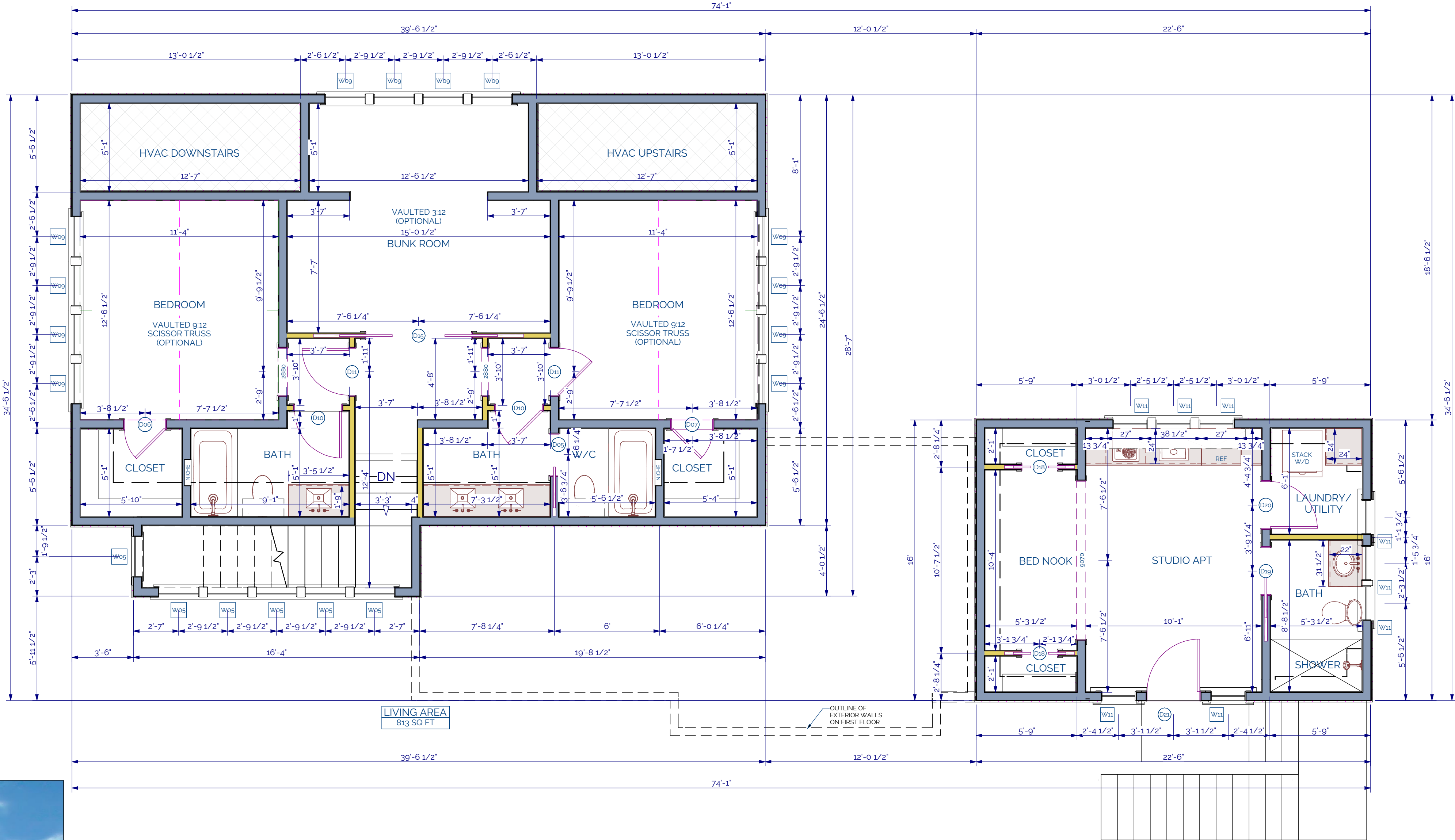
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SHEET:

A-102



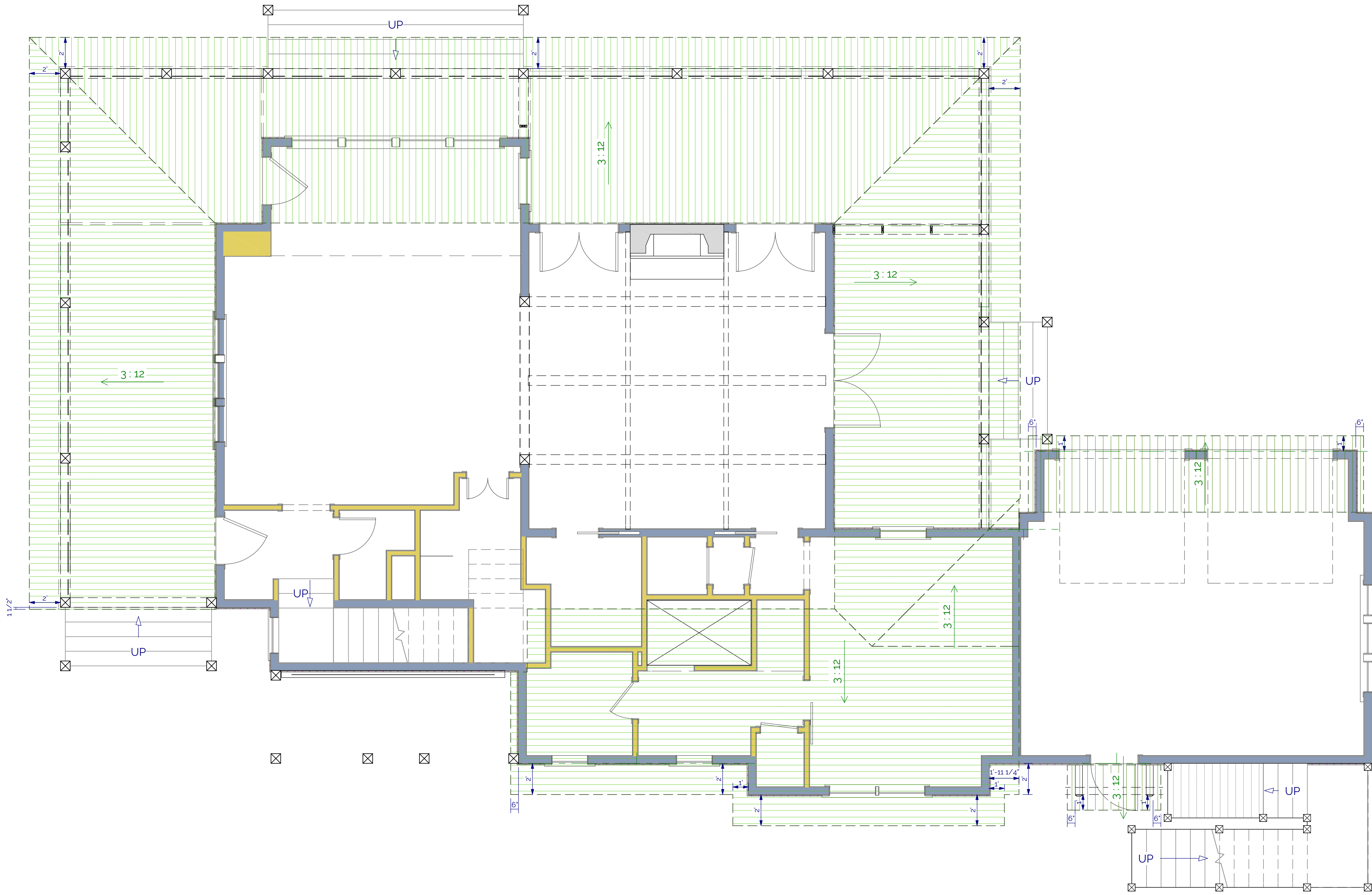
FRONT PERSPECTIVE



SECOND FLOOR PLAN

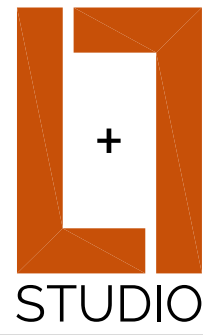
- GENERAL FLOOR PLAN NOTES**
- 1. FIRST FLOOR CEILINGS ARE 10'-0" UNLESS OTHERWISE NOTED.
 - 2. SECOND FLOOR CEILINGS ARE 9'-0" UNLESS OTHERWISE NOTED.

WALL LEGEND	
	EDGE OF DECK/PORCH
	EXTERIOR 2X4 WALL W/ HARDIE
	EXTERIOR 2X6 WALL W/ HARDIE
	INTERIOR 2X4 WALL W/ 1/2 GYPSUM BOARD
	INTERIOR 2X6 WALL W/ 1/2 GYPSUM BOARD
	PORCH AND DECK RAILING



LOWER ROOF PLAN

GENERAL ROOF PLAN NOTES
1. NO ROOF PENETRATIONS, ALL PLUMBING
VENTS TO BE ROUTED TO EAVE OVERHANGS.



LAKE AND LAND STUDIO, LLC RECOMMENDS
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STRUCTURAL ENGINEER. INCLUDED DRAWINGS
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SHEET TITLE:
LOWER ROOF PLAN

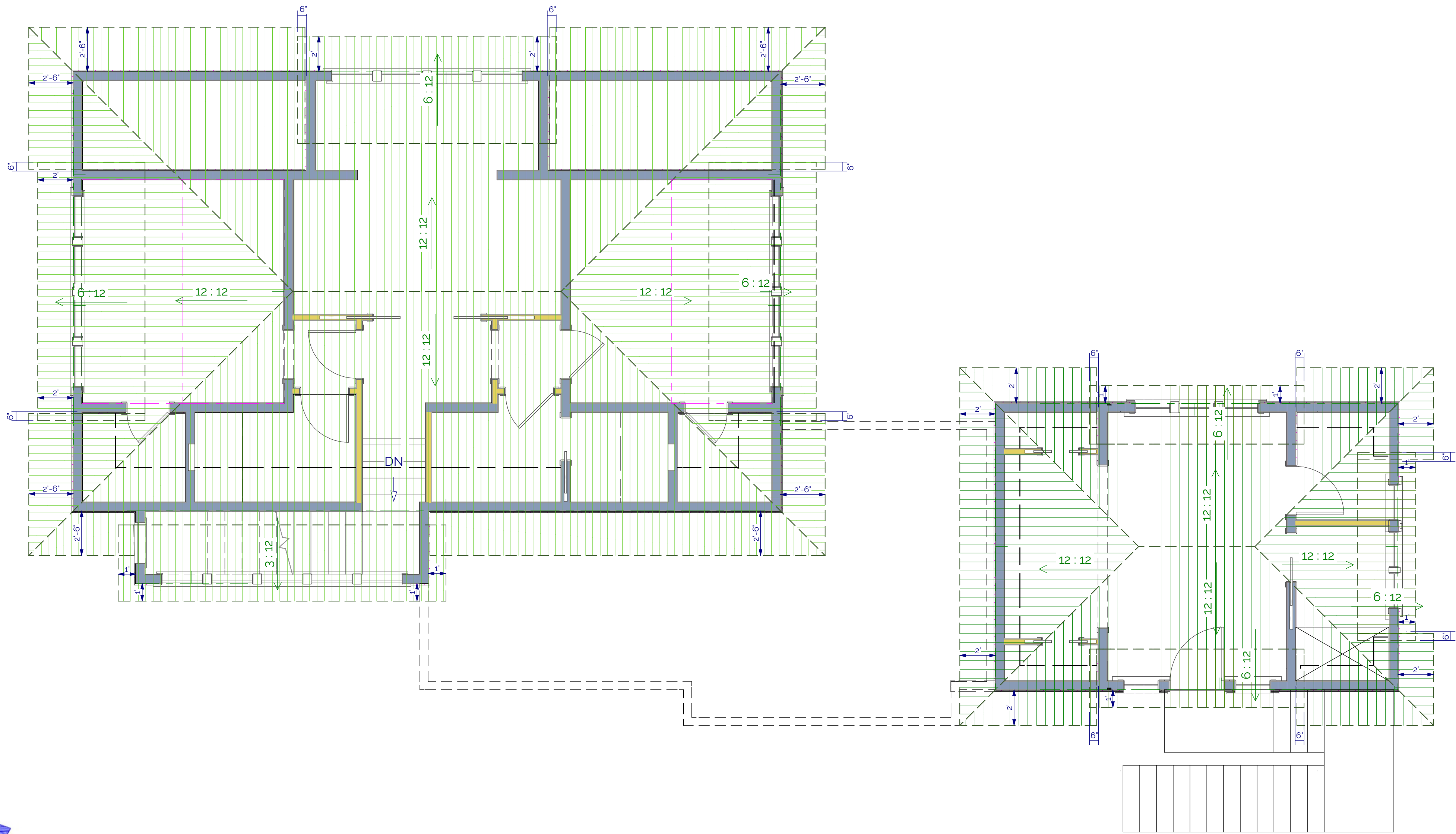
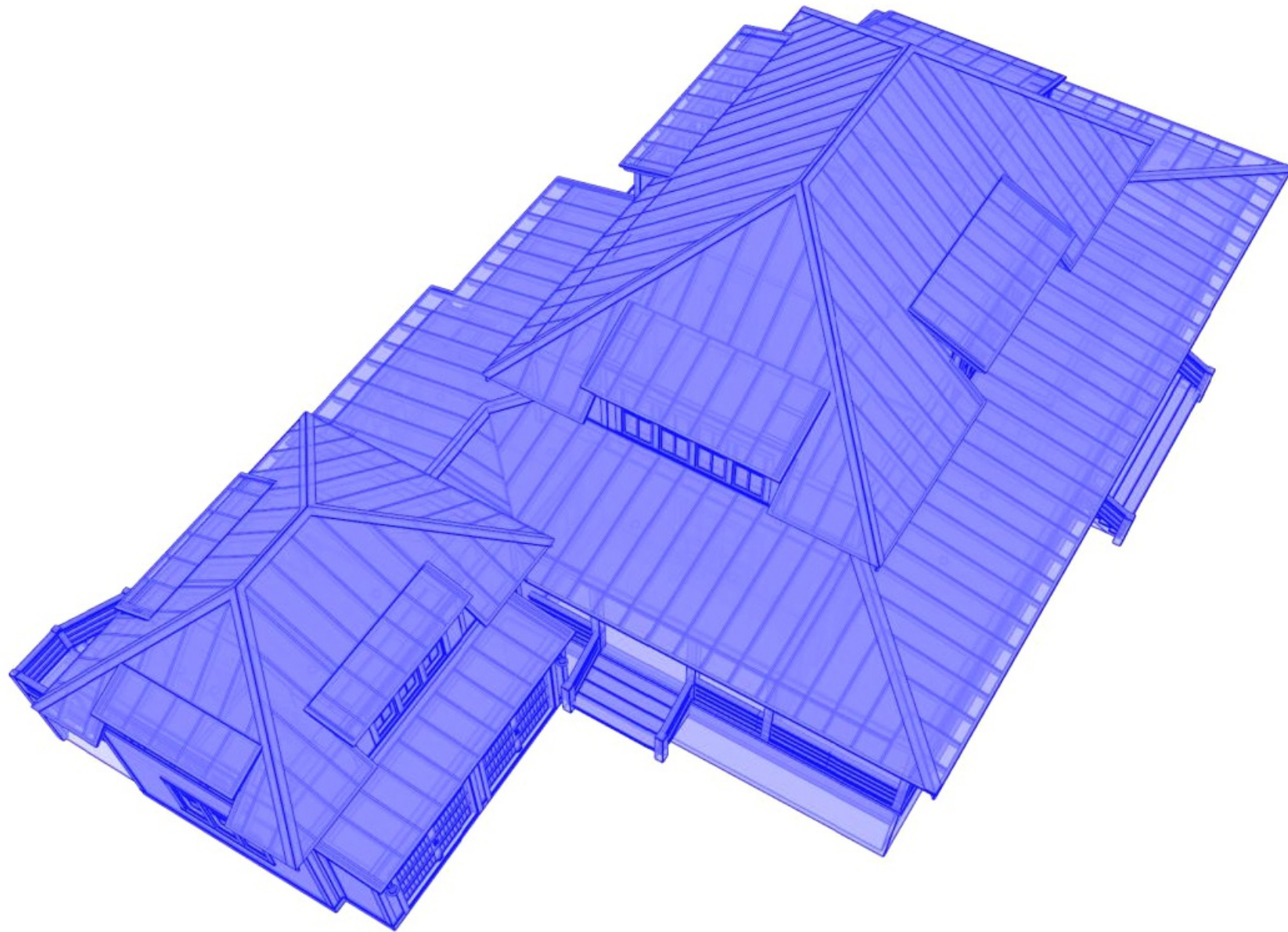
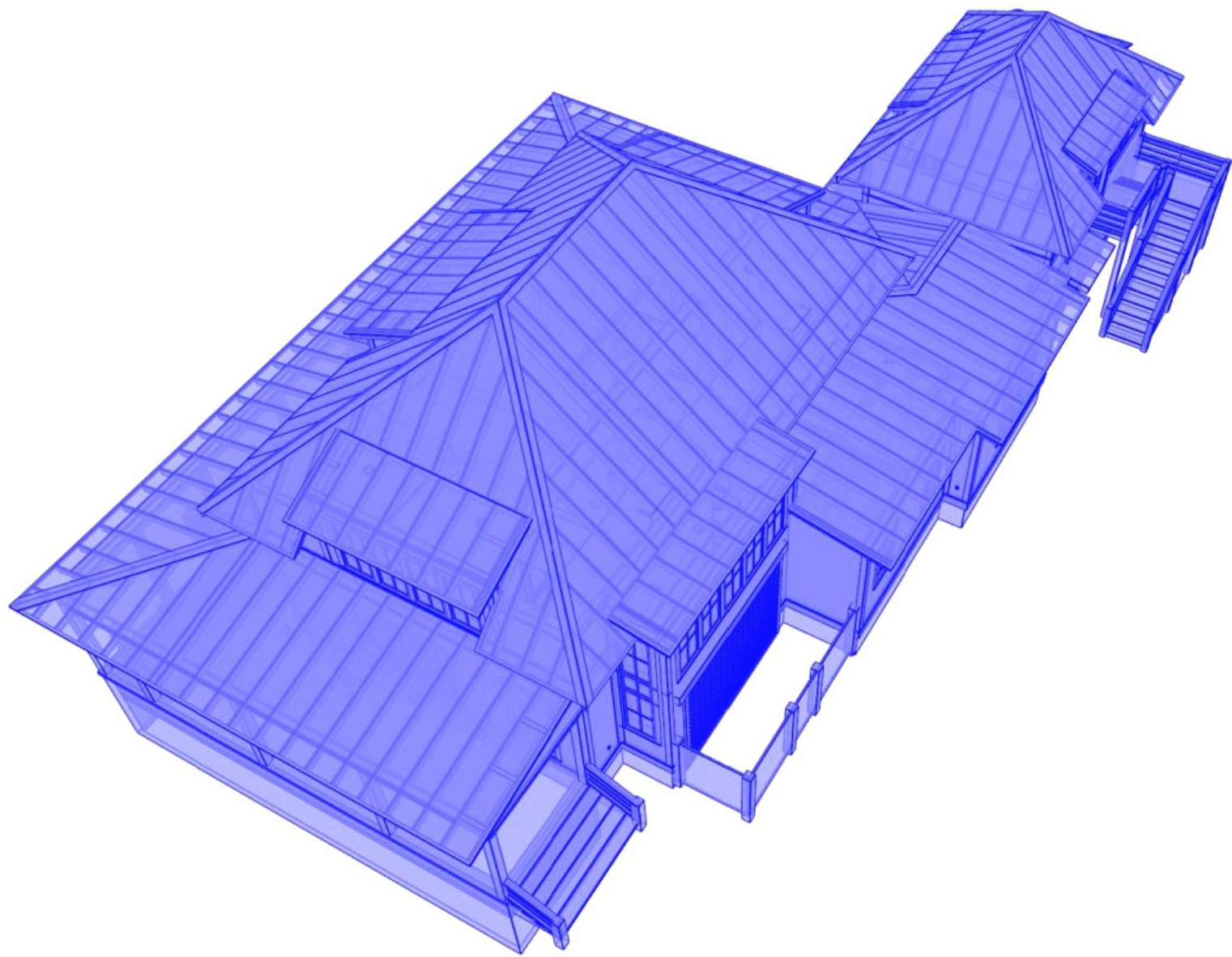
PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
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info@lakeandlandstudio.com

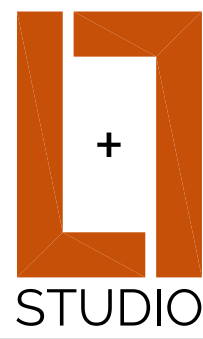
DATE:
7/18/2023

SCALE:
1/4"=1'-0"

SHEET:
A-103



UPPER ROOF PLAN



LAKE AND LAND STUDIO, LLC RECOMMENDS
THAT ALL DRAWINGS BE REVIEWED AND
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STRUCTURAL ENGINEER. INCLUDED DRAWINGS
ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
UPPER ROOF PLAN

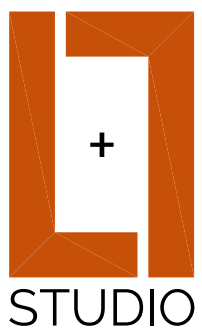
PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegraass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
7/18/2023

SCALE:
1/4"=1'-0"

SHEET:
A-104



LAKE AND LAND STUDIO, LLC RECOMMENDS THAT ALL DRAWINGS BE REVIEWED AND APPROVED BY A LICENSED ARCHITECT OR STRUCTURAL ENGINEER. INCLUDED DRAWINGS ARE FOR DESIGN PURPOSES ONLY.

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

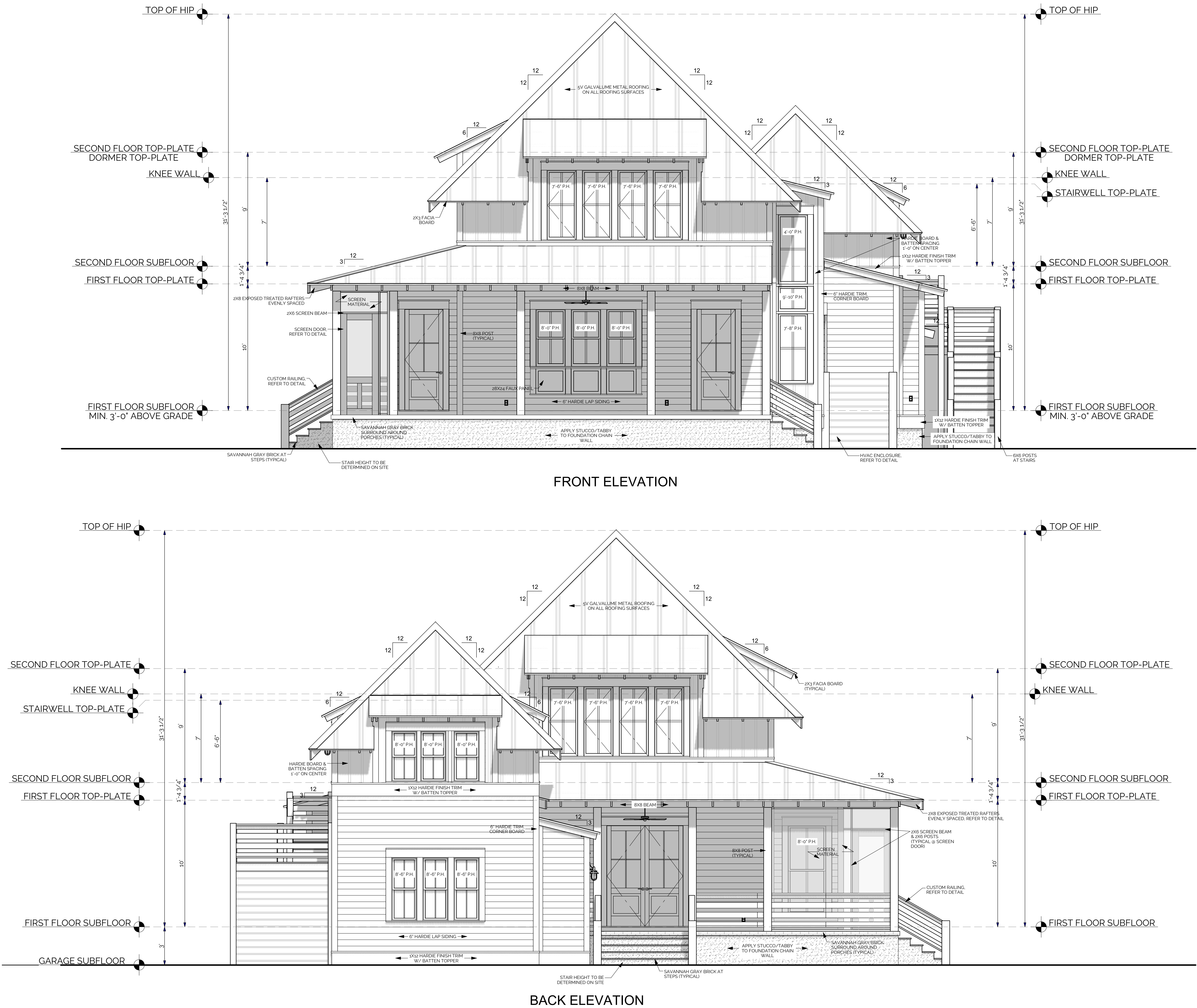
7/18/2023

SCALE:

1/4"=1'-0"

SHEET:

A-201





SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

7/18/2023

SCALE:

$$1/4'' = 1' - 0''$$

SHEET:

A-202



RESIDENCE - DOOR SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	ELEVATION
D01	3080	3	1	3080 L EX	36"	96"	
D02	2880	1	1	2880 L	32"	96"	
D03	2680	1	1	2680 L	30"	96"	
D04	2480	3	1	2480 R IN	28"	96"	
D05	2480	1	2	2480 R	28"	96"	
D06	2480	1	2	2480 L IN	28"	96"	
D07	2480	1	2	2480 R IN	28"	96"	
D08	2480	2	1	2480 L IN	28"	96"	
D09	2880	1	1	2880 L/R IN	32"	96"	
D10	2880	2	2	2880 L IN	32"	96"	
D11	2880	2	2	2880 R IN	32"	96"	
D13	5080	2	1	5080 L/R EX	60"	96"	
D14	6080	1	1	6080 L/R EX	72"	96"	
D15	6080	1	2	6080 L/R	72"	96"	
D16	2880	1	1	2880 R	32"	96"	
D17	8080	2	1	8080	96"	96"	
D18	2070	2	2	2070 L/R	24"	84"	
D19	2870	1	2	2870 L	32"	84"	
D20	2870	1	2	2870 R IN	32"	84"	

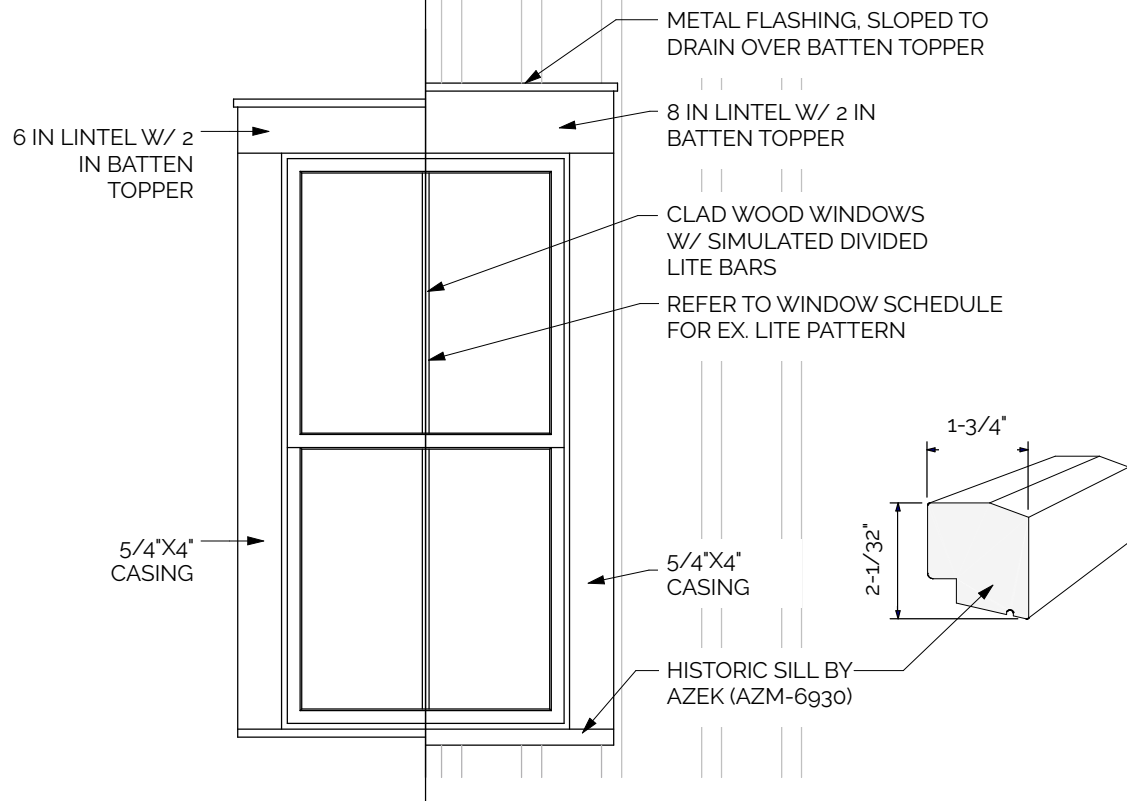
D21	3080	1	2	3080 R EX	36"	96"	
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RESIDENCE - WINDOW SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	ELEVATION
W01	2420FX	1	1	2420FX	28"	24"	
W02	2446SH	5	1	2446SH	28"	54"	
W03	2456FX	1	1	2456FX	28"	66"	
W04	WUDH 3632	3	1	2050SH	24"	60"	
W05	2456FX	6	2	2456FX	28"	66"	
W07	3060SH	3	1	3060SH	36"	72"	
W08	3070SH	5	1	3070SH	36"	84"	
W09	2456SC	12	2	2456SC	28"	66"	
W11	WUDH 3632	8	2	2040SH	24"	48"	

ALL WINDOWS VINYL

GENERAL SCHEDULE ABBREVIATIONS
FX - FIXED GLASS
SC - SINGLE CASEMENT
DC - DOUBLE CASEMENT
MU - MULLED UNIT
SH - SINGLE HUNG

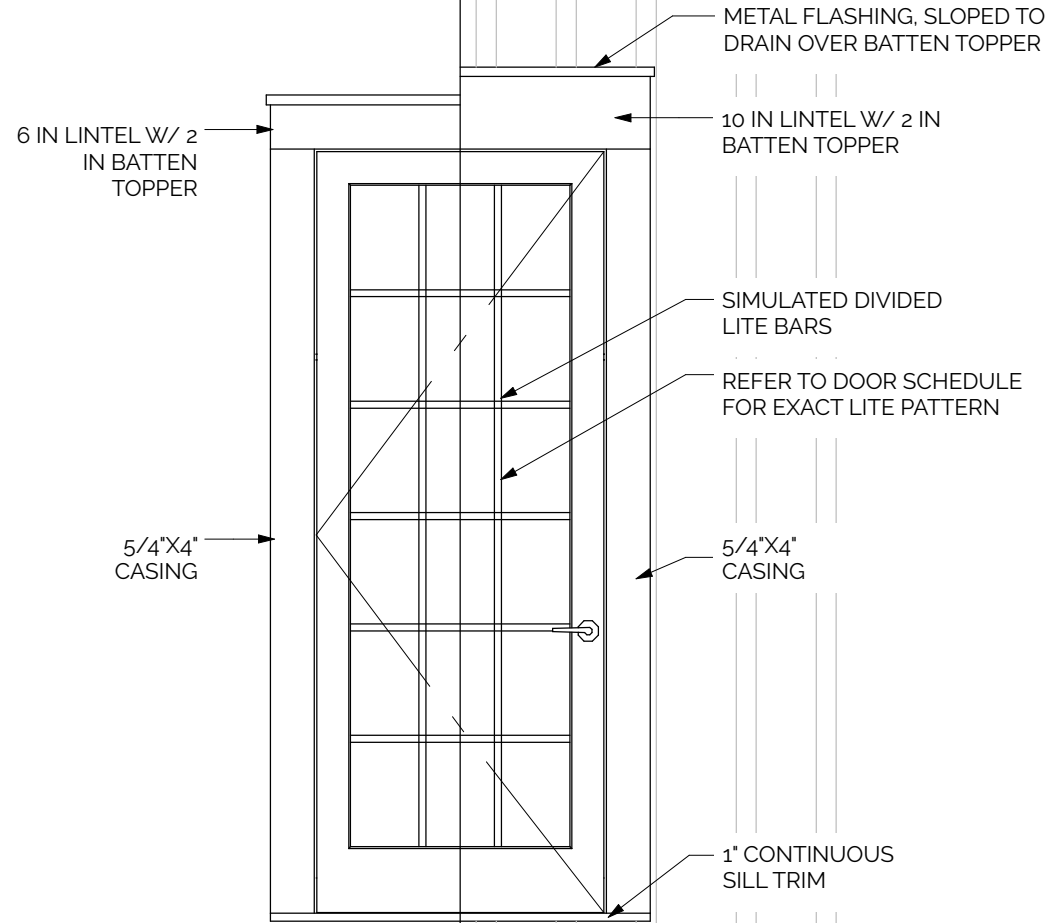
INTERIOR EXTERIOR



TYPICAL WINDOW DETAIL

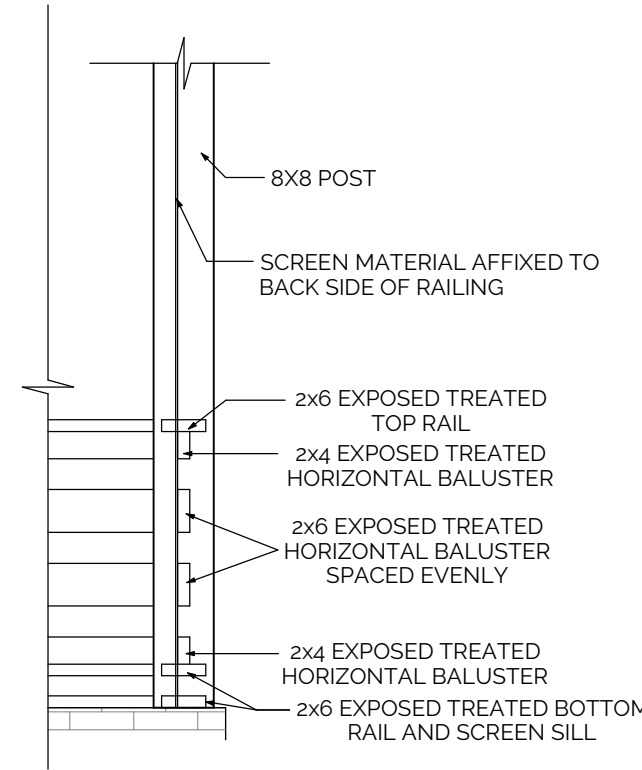
SCALE: 1/2"=1'-0"

INTERIOR EXTERIOR



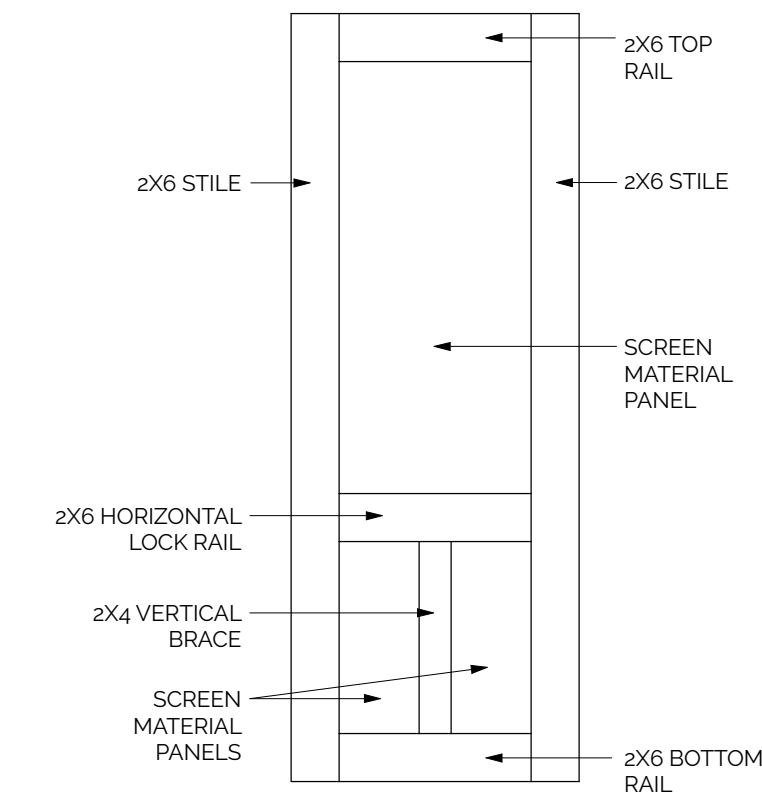
TYPICAL DOOR DETAIL

SCALE: 1/2"=1'-0"



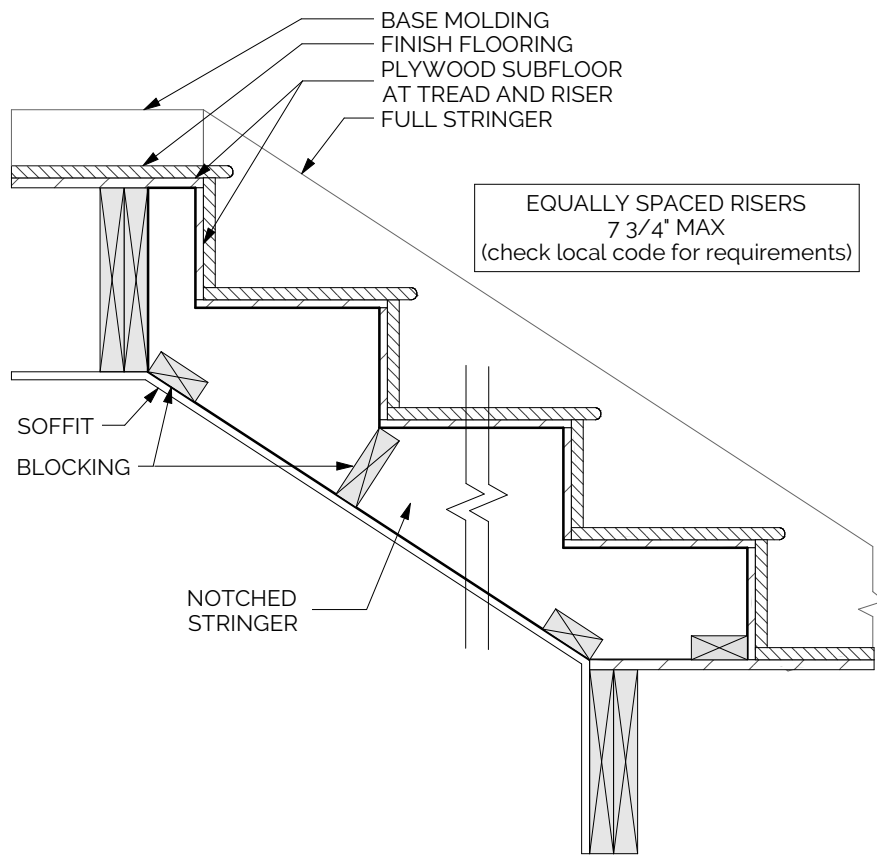
SCREEN PORCH DETAIL AT RAILING

SCALE: 1/2"=1'-0"



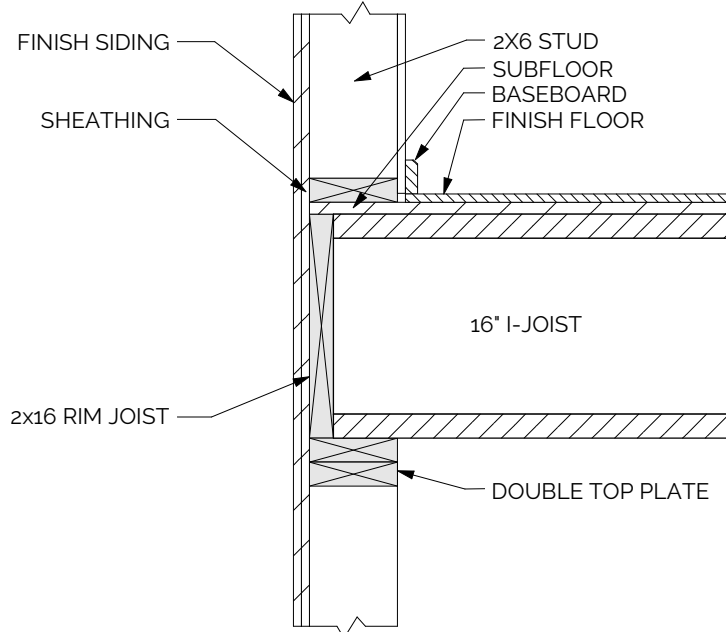
SCREEN DOOR - 1 OVER 2 PANEL

SCALE: 1/2"=1'-0"



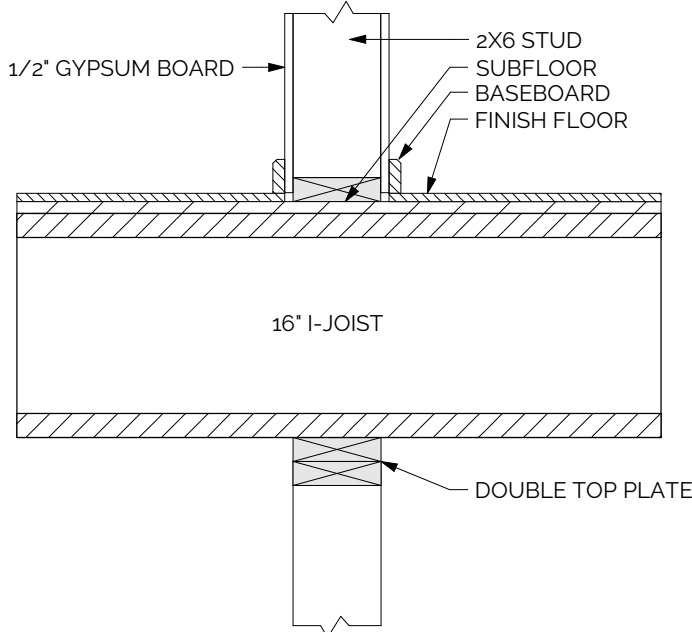
INTERIOR STAIR

SCALE: 1"=1'-0"



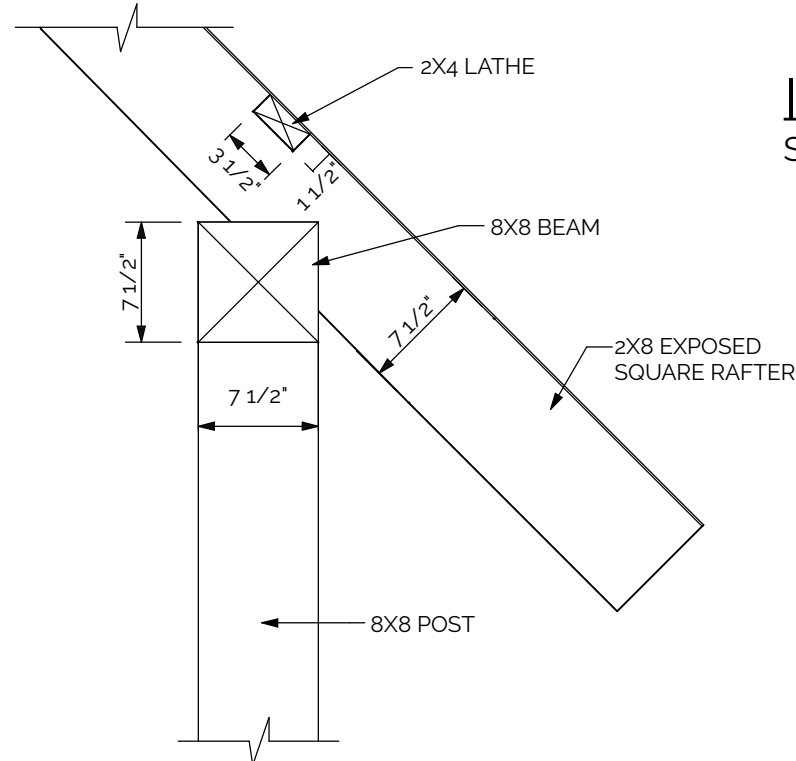
STANDARD FLOOR TRANSITION

SCALE: 1"=1'-0"



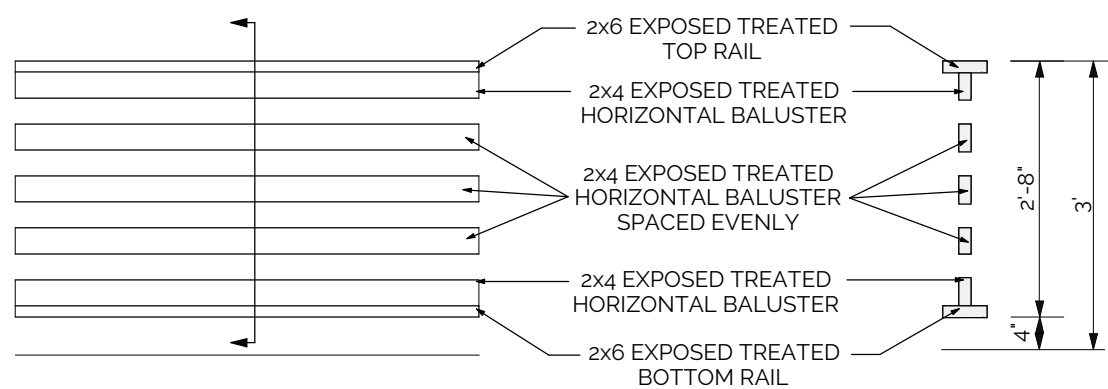
STANDARD INTERIOR FLOOR TRANSITION

SCALE: 1"=1'-0"



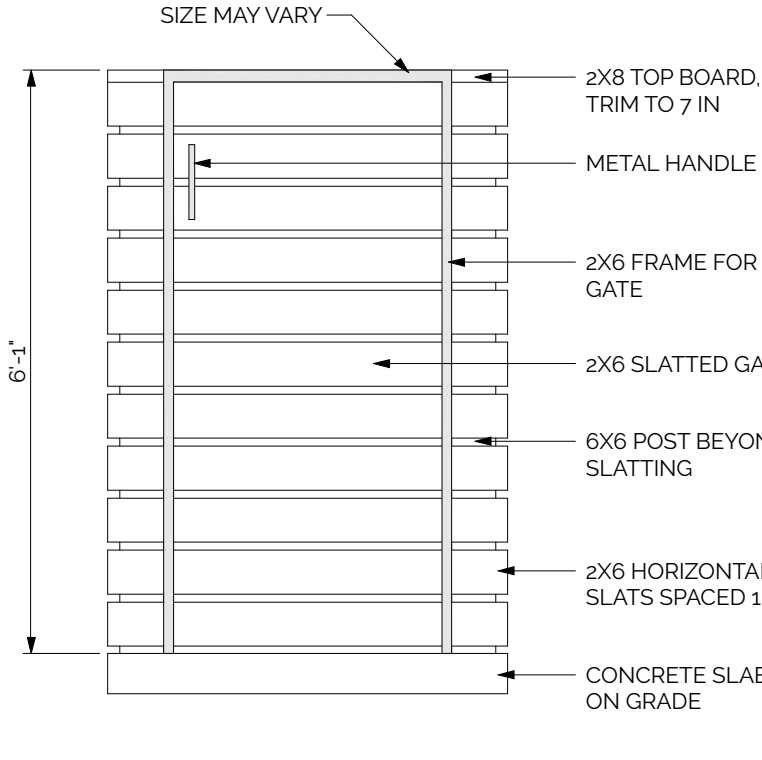
RAFTER DETAIL

SCALE: 1"=1'-0"



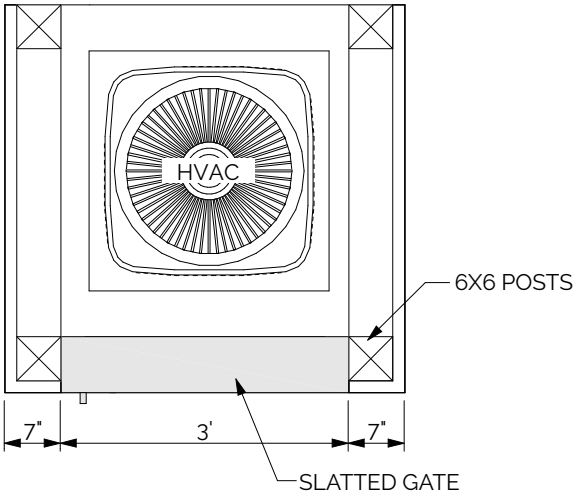
HORIZONTAL BALUSTER RAILING DETAIL

SCALE: 1/2"=1'-0"

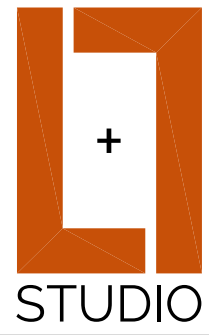


SLATTED HVAC ENCLOSURE ON SLAB

SCALE: 1/2"=1'-0"



NOTE:
1. ADJUST PERIMETER SIZE OF ENCLOSURE BASED ON EQUIPMENT REQUIRED.
2. ADJUST GATE LOCATION BASED ON EQUIPMENT LOCATION.



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SHEET TITLE:
SCHEDULES + DETAILS

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

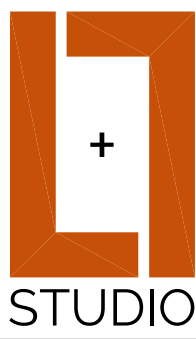
7/18/2023

SCALE:

1"=1'-0"

SHEET:

A-401



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SHEET TITLE:
FIRST FLOOR
ELECTRICAL PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegraass Blvd
Hattiesburg, MS 39402
601.336.8114
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DATE:

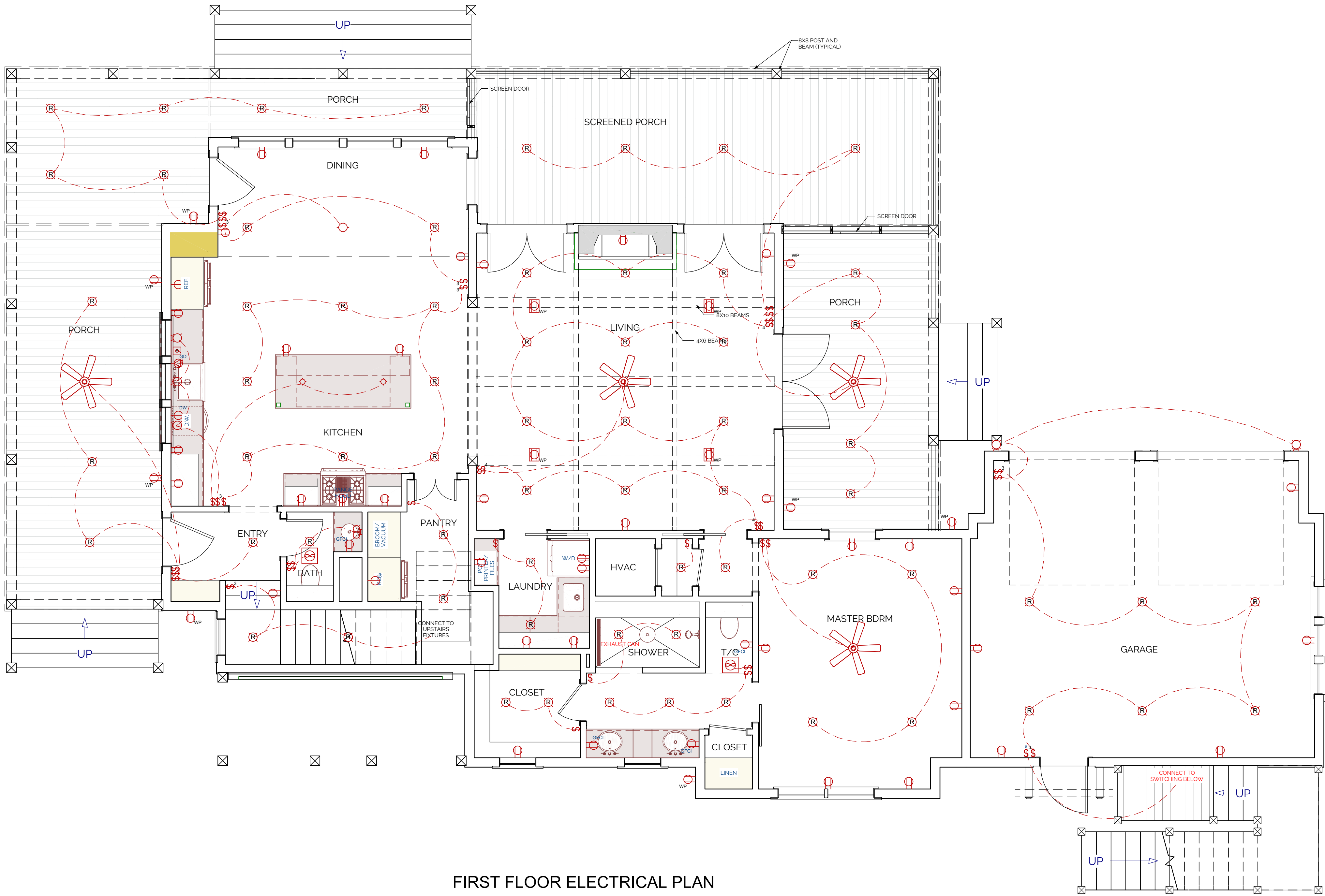
7/18/2023

SCALE:

1/4"=1'-0"

SHEET:

E-101



FIRST FLOOR ELECTRICAL PLAN

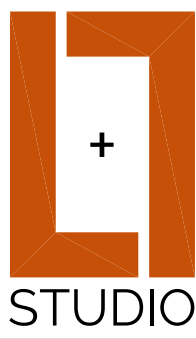
- GENERAL MECHANICAL NOTES**

 - 1. CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.
 - 2. DESIGN AND SPECIFICATION OF MECHANICAL SYSTEM TO BE DETERMINED BY BUILDER OR LOCAL ENGINEER.
 - 3. BUILDER TO FURNISH ALL DUCTWORK, CONTROL WIRING, PIPING, FITTINGS, ACCESSORIES, ECT. FOR COMPLETE INSTALLATION.
 - 4. MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED.

- GENERAL ELECTRICAL NOTES**

 - 1. DRAWINGS PROVIDED ARE FOR DIAGRAMMATIC PURPOSES ONLY AND SHOULD ONLY BE USED AS A CONCEPTUAL GUIDE. EXACT LOCATIONS OF BREAKER PANELS, WIRING, CONDUIT, DISCONNECTS, ETC MUST BE DETERMINED BY A LOCAL CERTIFIED ELECTRICIAN. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE FINAL LOCATIONS OF ALL ELECTRICAL ITEMS WITH BUYER AND ELECTRICIAN TO MEET LOCAL ELECTRICAL CODES, STANDARDS, AND REQUIREMENTS.
 - 2. ALL OUTLET LOCATIONS MUST MEET LOCAL BUILDING CODES AND STANDARDS. WET LOCATIONS INCLUDING KITCHEN, BATHROOM, LAUNDRY, OR ANY AREA EXPOSED TO WEATHER MUST HAVE GFCI OUTLETS PER CODE WHERE RUNNING WATER IS PRESENT. WATER PROOF OUTLETS MUST BE USED IN ALL EXTERIOR APPLICATIONS.
 - 3. ELECTRICIAN AND BUILDER TO INSTALL. HARDWIRED SMOKE DETECTORS WITH BATTERY BACKUPS AS NEEDED TO MEET CODE REQUIREMENTS AND OWNERS REQUEST. ELECTRICIAN TO MAKE SURE DETECTORS ARE INSTALLED IN ALL SLEEPING AREAS, KITCHEN, AND OTHER PLACES REQUIRED BY CODE.
 - 4. ELECTRICIAN AND CONTRACTOR TO COORDINATE ELECTRICAL SERVICE TO AIR CONDITIONING, WATER HEATERS, CONDENSATE PUMPS, ETC. CONTRACTOR AND ELECTRICIAN RESPONSIBLE TO COORDINATE APPROPRIATE AMPACITY REQUIRED AS NEEDED. AREAS IN NON-LIT AREAS REQUIRE ONE OUTLET AND ONE LIGHT. ALL OUTLETS EXPOSED TO WEATHER SHALL HAVE WEATHERPROOF GFCI AS REQUIRED BY CODE.
 - 5. ELECTRICIAN TO PROVIDE PANEL BOARDS OF PROPER AMPACITY AND VOLTAGE FOR ALL ELECTRICAL CIRCUITS.
 - 6. ALL SERVICE REQUIREMENTS MUST BE COORDINATED WITH LOCAL POWER COMPANY INCLUDING LOCATION AND TYPES OF TRANSFORMERS. DISCONNECTS AT EXTERIOR OF BUILDING. VOLTAGES, AMPACITIES AND ALL OTHER ELECTRICAL CONSTRUCTION DETAILS. FEEDERS SHOULD BE SIZED ACCORDING TO NEC REQUIREMENTS.
 - 7. ALL CONCEALED CABLES TO BE RUN IN FLOORS, WALLS, OR CEILINGS AS NEEDED.
 - 8. CONTRACTOR AND ELECTRICIAN TO PROVIDE BLOCKING FOR ALL ELECTRICAL FIXTURES AS NEEDED.
 - 9. RECEPTACLES IN EXTERIOR WALLS MUST BE ISOLATED AND SEALED SOLIDLY.
 - 10. SWITCHES SHOULD TYPICALLY BE MOUNTED 48" ABOVE FINISH FLOOR TO CENTER OF SWITCH. LOCATE SWITCHES ADJACENT TO DOOR CASINGS BUT NOT INTERSECTING DOOR CASINGS OR TRIM.
 - 11. EXTERIOR SECURITY LIGHTING TO BE SELECTED AND LOCATED BY OWNER. ELECTRICIAN TO VERIFY SWITCHING LOCATION.
- ELECTRICAL LEGEND**

	110 VOLT OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	PENDANT LIGHT
	GOOSENECK LIGHT
	CEILING FAN



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SHEET TITLE:
SECOND FLOOR
ELECTRICAL PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

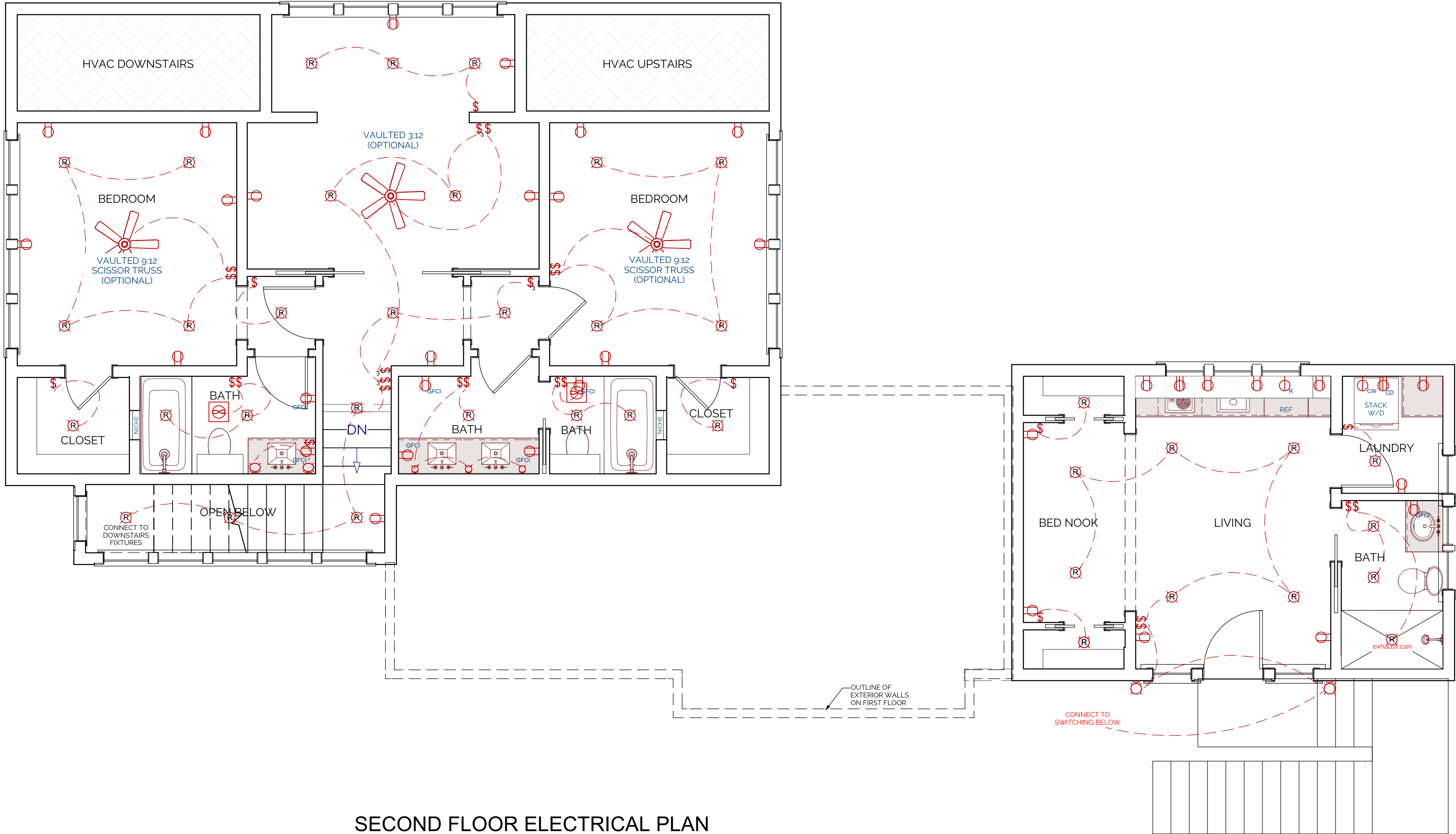
7/18/2023

SCALE:

1/4"=1'-0"

SHEET:

E-102



SECOND FLOOR ELECTRICAL PLAN

- GENERAL MECHANICAL NOTES**

 - 1. CLOSELY COORDINATE WORK WITH ALL OTHER TRADES ESPECIALLY CONCERNING ENGINEERED FLOOR SYSTEMS.
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- ELECTRICAL LEGEND**

	110 VOLT OUTLET
	220 VOLT OUTLET
	SINGLE POLE SWITCH
	SCONCE LIGHT
	RECESSED DOWN LIGHT
	PENDANT LIGHT
	GOOSENECK LIGHT
	CEILING FAN



SHEET TITLE:
FIRST FLOOR PLUMBING
PLAN

PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Bellegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:

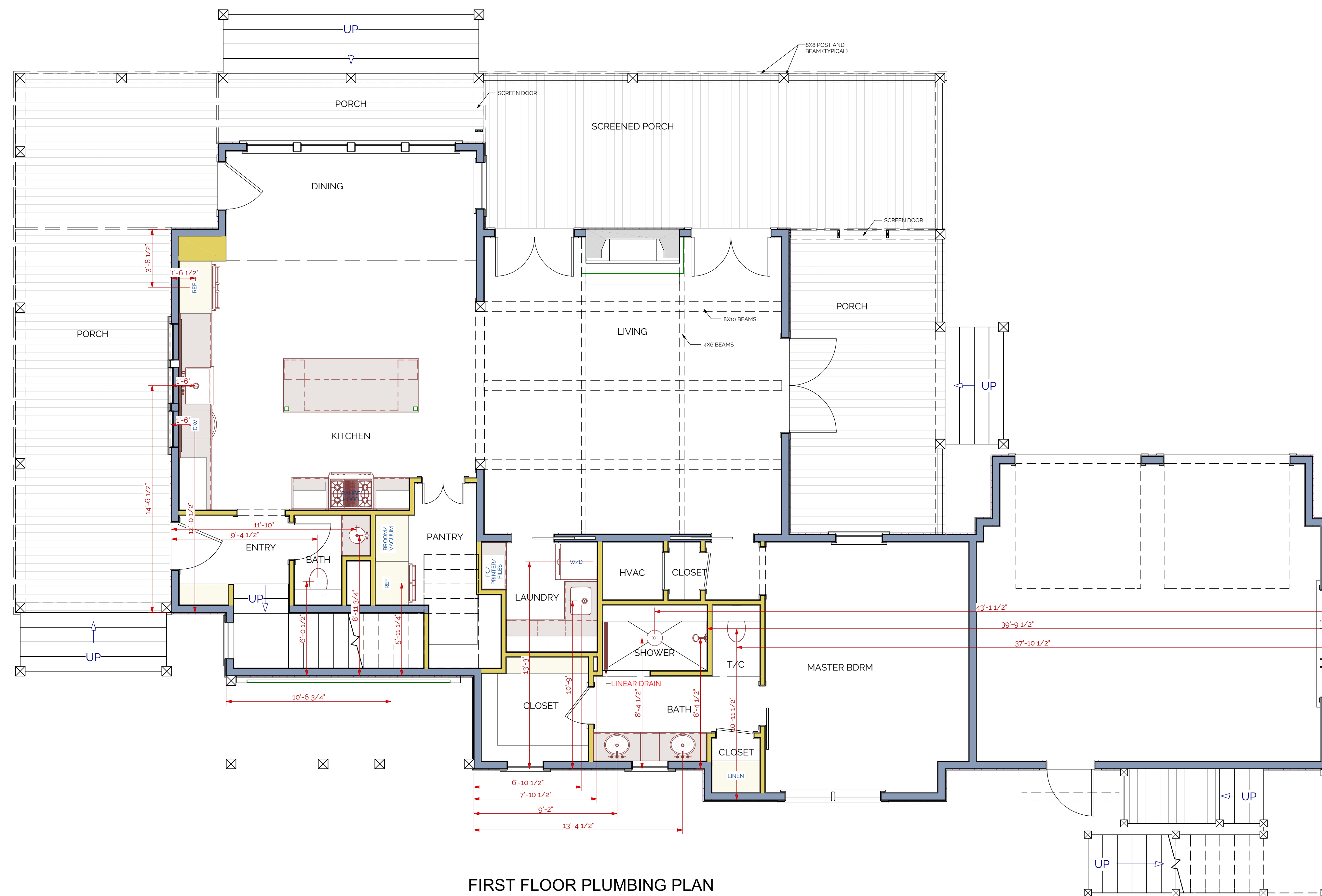
7/18/2023

SCALE:

$$1/4'' = 1' - 0''$$

SHEET:

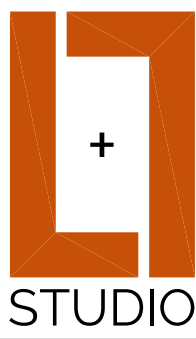
P-101



FIRST FLOOR PLUMBING PLAN

GENERAL PLUMBING NOTES

1. PLUMBING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REQUIREMENTS OF LOCAL UTILITY OFFICIALS.
2. INSULATE ALL DOMESTIC WATER SUPPLY LINES IN UN-INSULATED SPACES WITH TUBULAR FOAM INSULATION. INSULATION SHALL BE OF SELF-SEALING TYPE OR SHALL BE TAPED CLOSED WITH FOIL FACED TAPE.
3. CENTER ALL FIXTURES IN SPACE ALLOCATED UNLESS NOTED OTHERWISE. COORDINATE PLACEMENT OF ALL DRAINS WITH FLOORING SUBCONTRACTOR.
4. CLEANOUTS SHALL EXTEND TO SURFACES OR SHALL BE PROVIDED WITH ACCESS DOORS OR SIMILAR DEVICE. CAP ALL PIPE TO BE LEFT OPEN OVERNIGHT, AND PROTECT PIPE DURING INSTALLATION FROM DIRT, GRAVEL, AND OTHER DEBRIS WHICH MIGHT CAUSE BLOCKAGES OR FLOW RESTRICTIONS. ALL VALVES, CLEANOUTS, AND CONTROL DEVICES SHALL BE ACCESSIBLE FOR OPERATION AND MAINTENANCE THROUGH ACCESS DOORS OR PANELS MANUFACTURED FOR SUCH PURPOSES.
5. LEAD SOLDER IS NOT ALLOWED ON THIS PROJECT.
6. SOIL AND VENT STACKS SHALL HAVE CLEANOUTS AS REQUIRED BY APPLICABLE CODES FOR PROPER MAINTENANCE.
7. COORDINATE WITH AN ELECTRICIAN CONCERNING ITEMS REQUIRING ELECTRICAL SERVICE SUCH AS WATER COOLERS, SENSOR FLUSH VALVES AND WATER HEATERS. COORDINATE SERVICE AND AMPACITY REQUIRED.
8. SEAL TO WALL, FLOOR OR COUNTERTOP AROUND ALL FIXTURES WITH TUB AND TILE SEALANT TO MATCH COLOR OF FIXTURE UNLESS OTHERWISE NOTED.



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SHEET TITLE:
FIRST FLOOR PLUMBING
PLAN

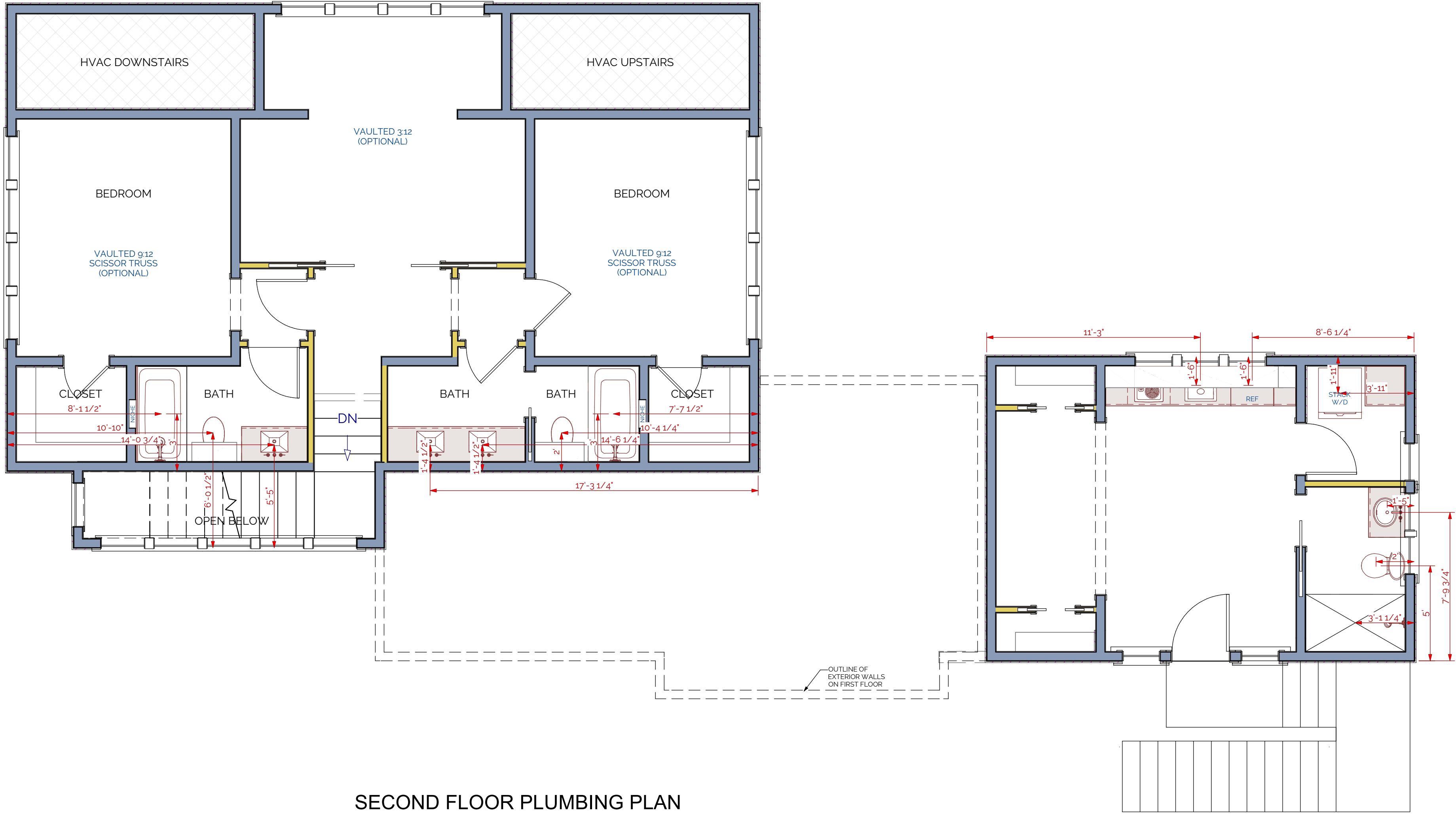
PROJECT DESCRIPTION:
SUOZZI RESIDENCE
BLUFFTON, SC

DRAWINGS PROVIDED BY:
LAKE AND LAND STUDIO, LLC
16 Beltegrass Blvd
Hattiesburg, MS 39402
601.336.8114
info@lakeandlandstudio.com

DATE:
7/18/2023

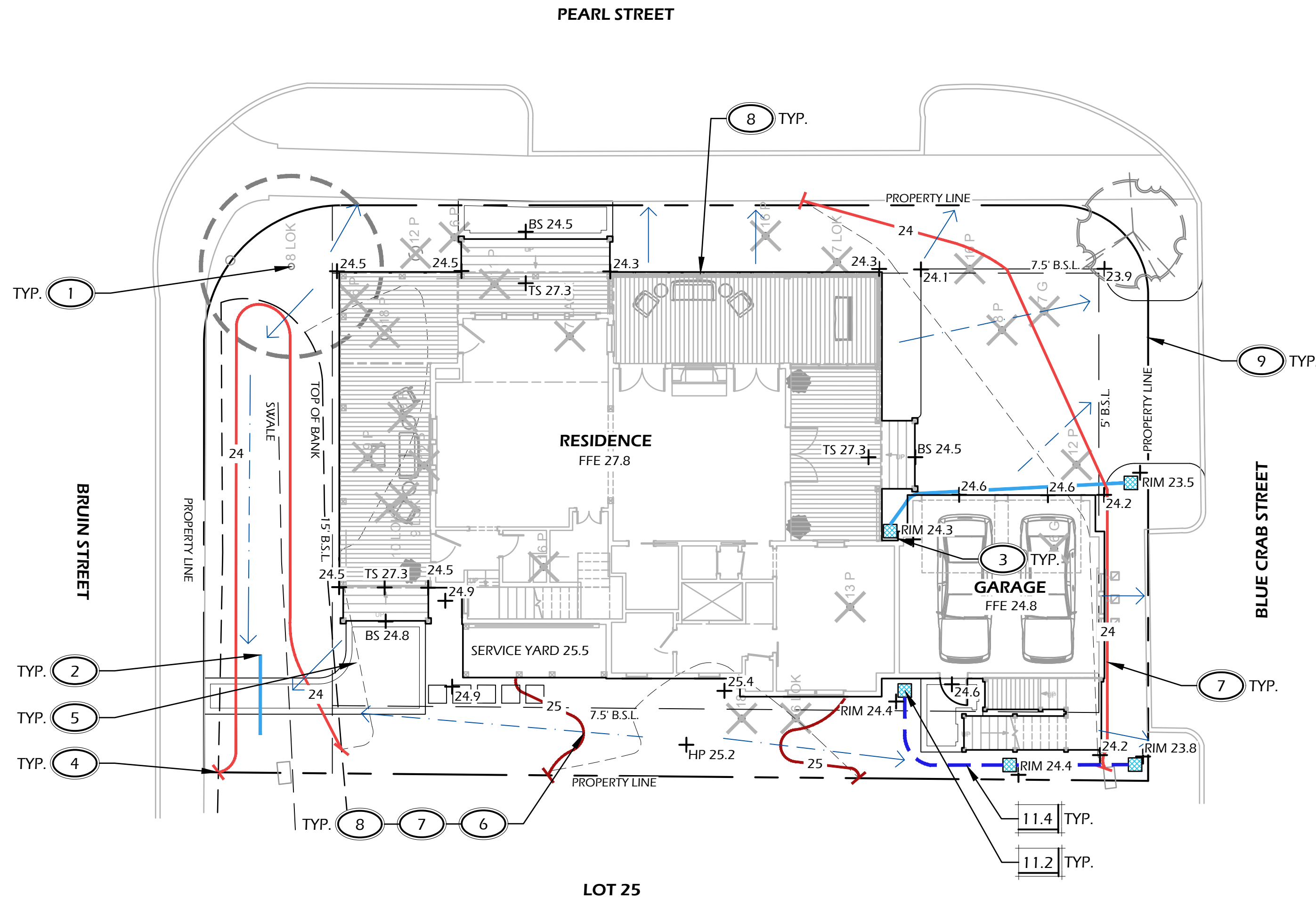
SCALE:
1/4"=1'-0"

SHEET:
P-102



SECOND FLOOR PLUMBING PLAN

- GENERAL PLUMBING NOTES**
1. PLUMBING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REQUIREMENTS OF LOCAL UTILITY OFFICIALS.
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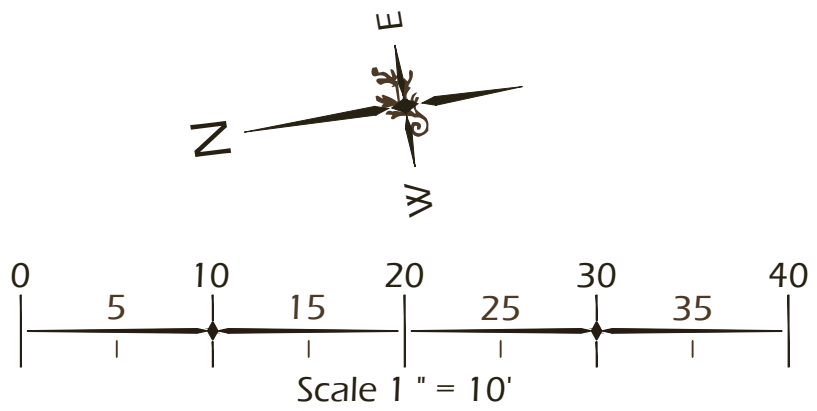
DRAINAGE LEGEND			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
11.1		6" AREA DRAIN	7/L4
11.2		12" AREA DRAIN TYPE 1	8/L4
11.3		12" AREA DRAIN TYPE 2 (ATRIUM GRATE)	9/L4
11.4		8" FRENCH DRAIN	1/L5

NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS. IF NOT LOCATED ON PLAN AND SUB SURFACE DRAINAGE IS NEEDED, CONTRACTOR SHALL SUPPLY AREA DRAINS, FRENCH DRAINS AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE (REFER TO DRAINAGE DETAILS, SHEET L4)

GRADING LEGEND	
SYMB.	DESCRIPTION
	SPOT GRADE
	DRAINAGE ARROW
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	EXISTING GRADE

GRADING ABBREVIATIONS			
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
BC	BOTTOM OF COLUMN	HP	HIGH POINT
BOC	BOTTOM OF CURB	RIM	TOP OF DRAIN
BS	BOTTOM OF STEP	TC	TOP OF COLUMN
BW	BOTTOM OF WALL	TOC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TS	TOP OF STEP
FG	FINISHED GRADE	TW	TOP OF WALL
LP	LOW POINT		

- GRADING REFERENCE NOTES:**
- MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
 - ALL PIPING UNDER HARDSCAPE SHALL BE SOLID H.D.P.E. PIPES.
 - CONTRACTOR SHALL TIE GUTTER DOWNSPOUTS INTO SUBSURFACE DRAINAGE SYSTEM WHENEVER POSSIBLE.
 - TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
 - FEATHER BOTTOM OF SLOPE SMOOTHLY TO MEET EXISTING CONDITIONS.
 - CREATE SWALE AND BERM TO DIRECT WATER AWAY FROM HOUSE AND ADJACENT PROPERTIES.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND ADJACENT PROPERTY LINES.
 - DIRECT STORMWATER TOWARDS STREET OR EXISTING DRAINAGE DITCH, DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. **CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO SITE DETAILS.**
 - GENERAL CONTRACTOR SHALL PROVIDE STRUCTURAL SUBGRADE FOR DRIVEWAY. CONTRACTOR SHALL ADJUST GRADES TO PROVIDE POSITIVE DRAINAGE TO ROADWAY AND NATURAL AREAS.



Section IX, Item #1.

Wimmer Jones-Heefer Ltd.

landscape architecture
land planning

www.wjkltd.com

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THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
FOR
SUOZZI RESIDENCE
BLUE CRAB STREET / LOT 24 (#7)
TABBY RAODS / BLUFFTON, SOUTH CAROLINA

DATE:	JULY 24, 2023
PROJECT NO.:	XXXXXX
DRAWN BY:	MC
CHECKED BY:	DK

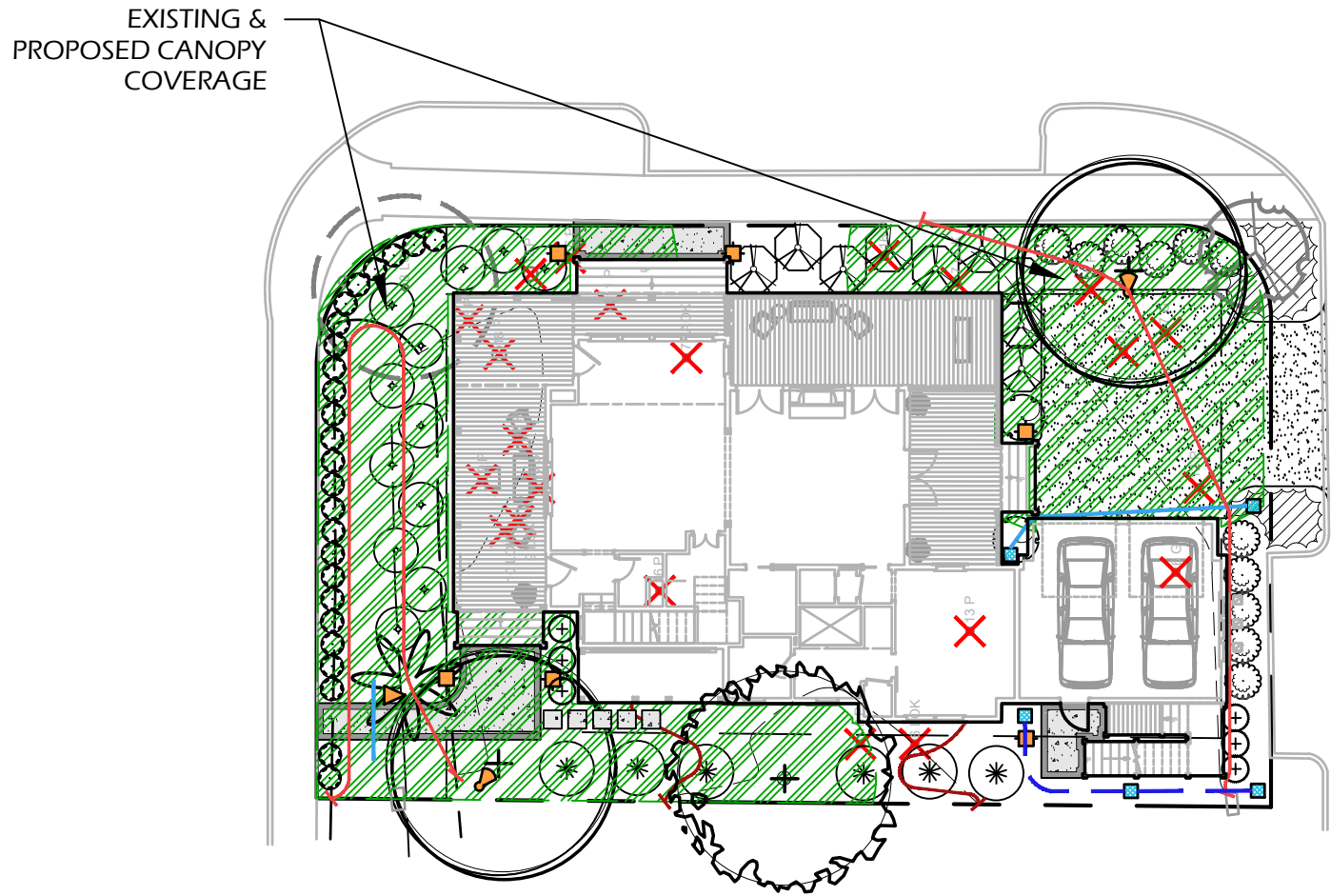
FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

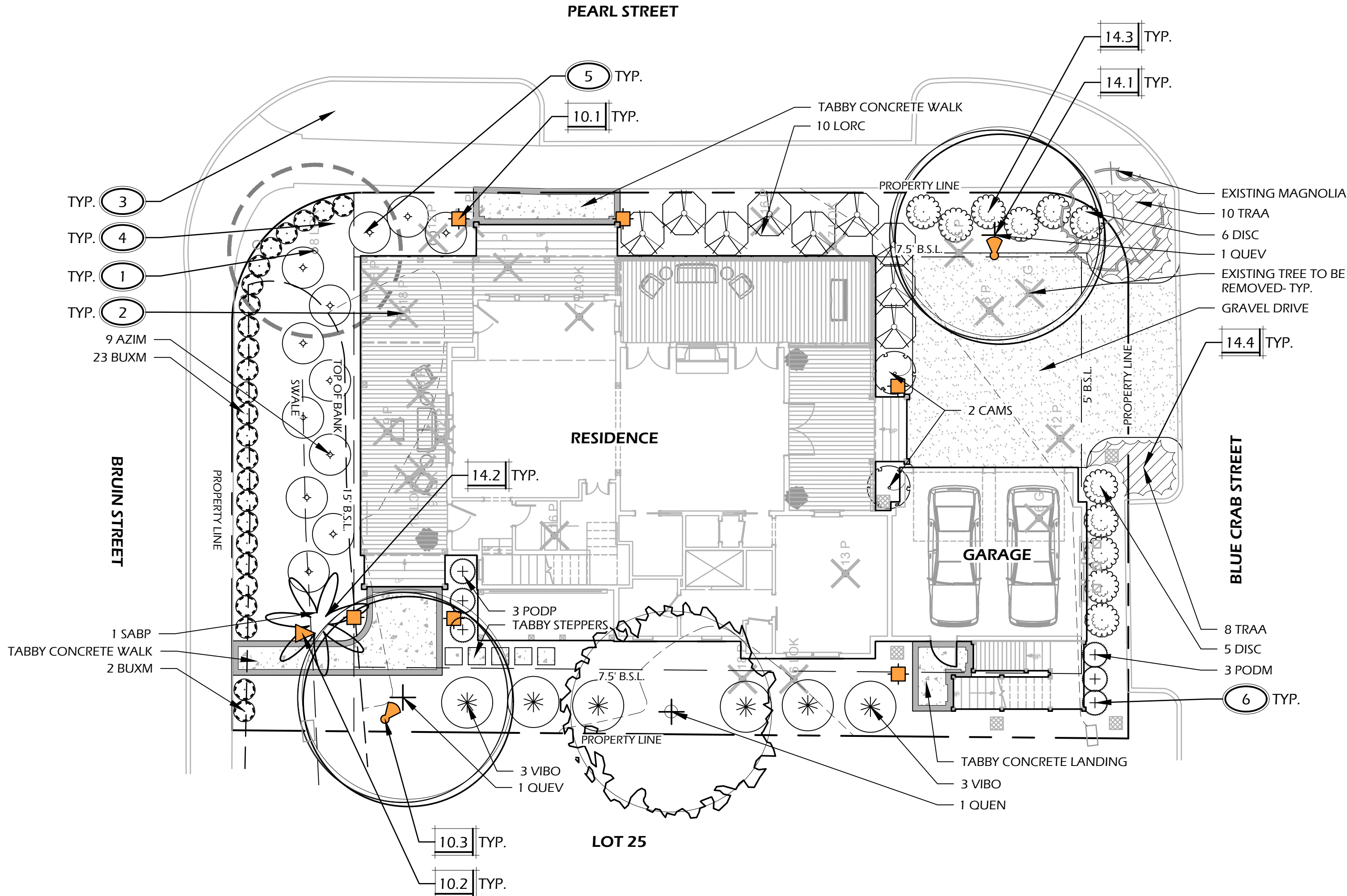
DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L1

CANOPY COVERAGE PLAN:



CANOPY COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	6,678 S.F.
BUILDING FOOTPRINT	±3,259 S.F.
REMAINING SITE AREA	3,419 S.F.
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	2,606 S.F.
% CANOPY COVERAGE (75% MIN.)	76%



LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		6	PATH LIGHT	3/L4
10.2		1	NOSE LIGHT	4/L4
10.3		2	UP LIGHT	5/L4

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

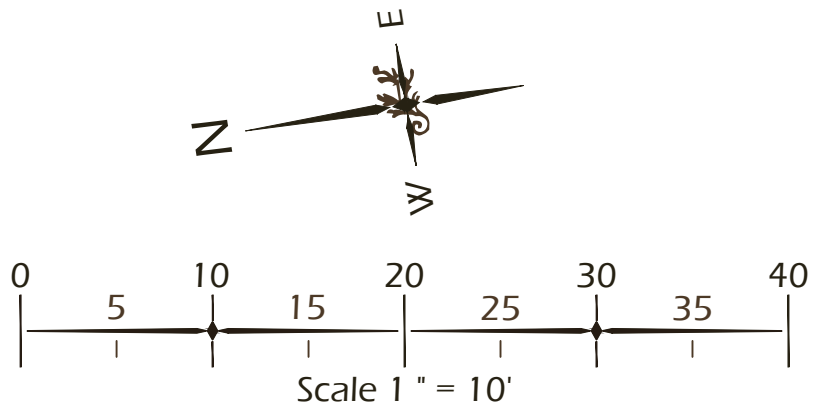
PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L3
14.2	PALM TREE PLANTING	2/L3
14.3	SHRUB PLANTING	3/L3
14.4	GROUND COVER PLANTING	4/L3

PLANT KEY LEGEND

TREES		
QUEN	Quercus texana	Nuttall Oak
QUEV	Quercus virginiana	Live Oak
SABP	Sabal palmetto	Cabbage Palm
UNDERSTORY TREES		
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
SHRUBS		
AZIM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea
BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood
CAMS	Camellia sasanqua	Sasanqua Camellia
DISC	Distylium 'Coppertone' (PIIDIST-III PP25304)	Coppertone Distylium
LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower
PODM	Podocarpus macrophyllus	Podocarpus
VIBO	Viburnum odoratissimum	Sweet Viburnum
GROUND COVERS, VINES & PERENNIALS		
TRAA	Trachelospermum asiaticum	Asiatic Jasmine

PLANTING REFERENCE NOTES:

- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE REMOVED.
- CONTRACTOR SHALL REPAIR OR REPLACE ANY AND ALL GRASS DAMAGED DURING CONSTRUCTION.
- MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.



Section IX, Item #1.

Winter Jones-Heefer Ltd.

landscape architecture
land planning

www.wjkltd.com

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THIS SHEET TO SCALE AT: 24"x36"

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FOR
SUOZZI RESIDENCE
BLUE CRAB STREET / LOT 24 (#7)
TABBY RAODS / BLUFFTON, SOUTH CAROLINA

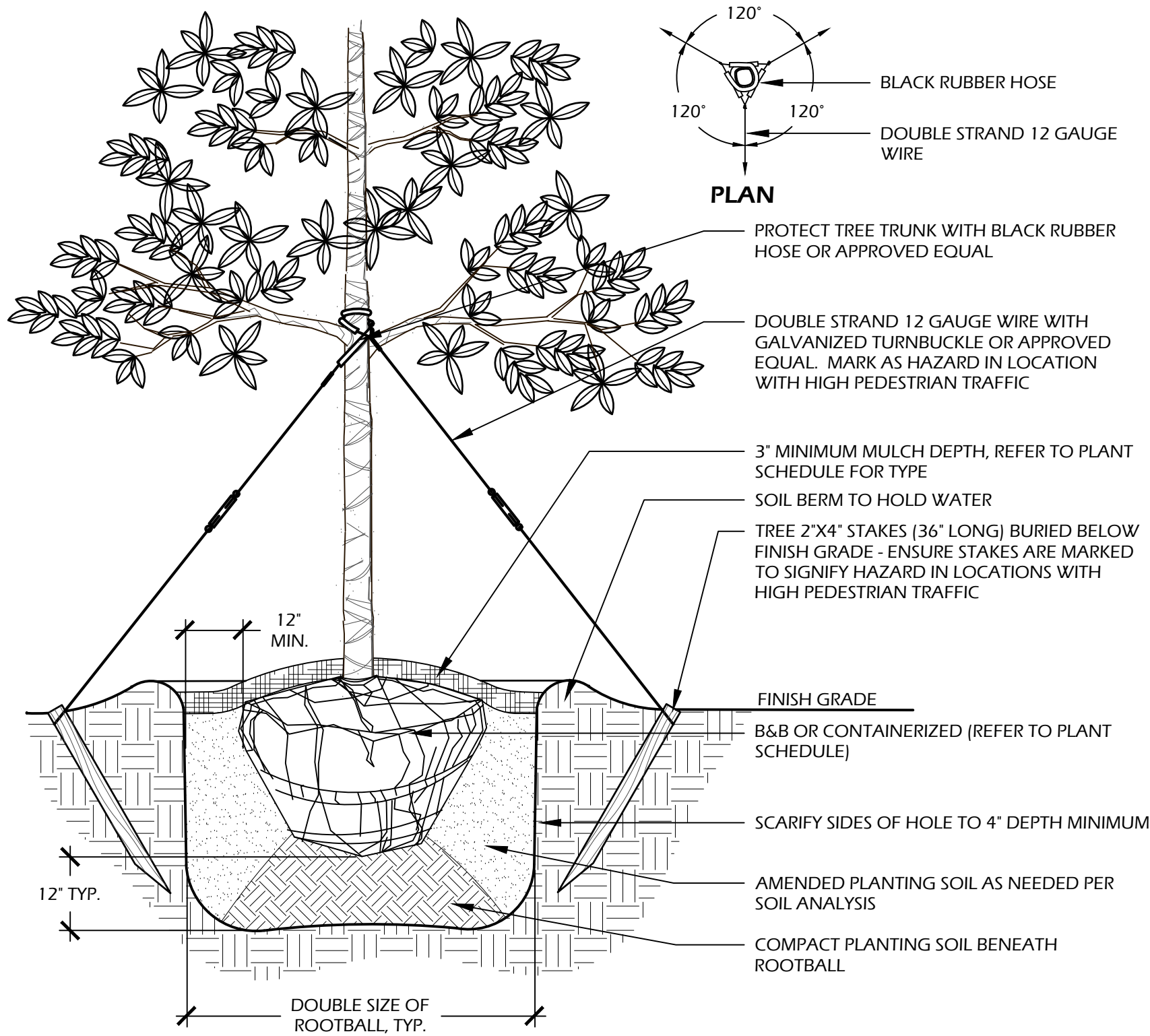
DATE:	JULY 24, 2023
PROJECT NO.:	XXXXXX
DRAWN BY:	MC
CHECKED BY:	DK

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

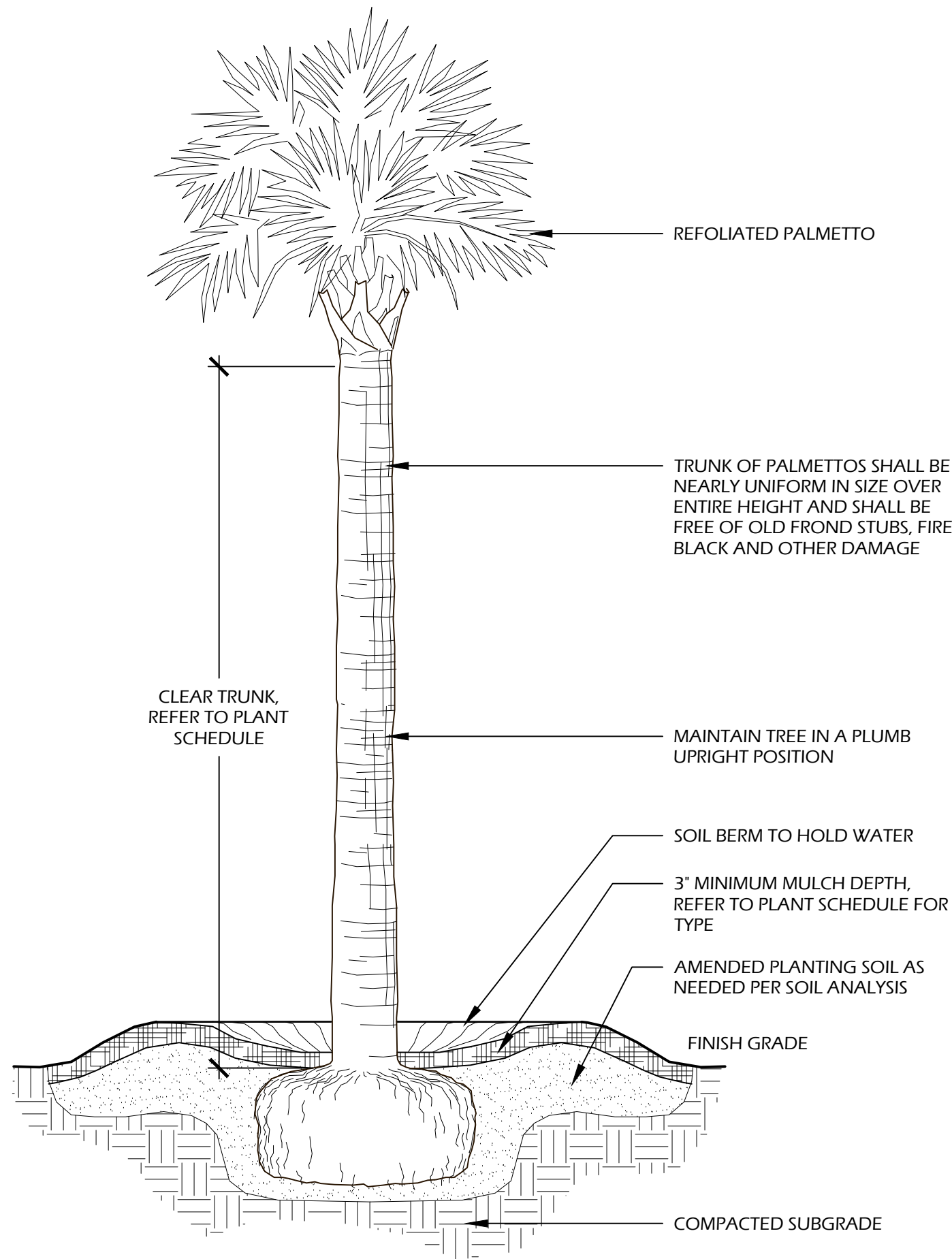
DRAWING TITLE
**LIGHTING AND PLANTING
PLAN**

DRAWING NUMBER
L2



- NOTES:**
- TREE STAKING OPTIONAL HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L5 TREE PLANTING
SCALE: N.T.S.

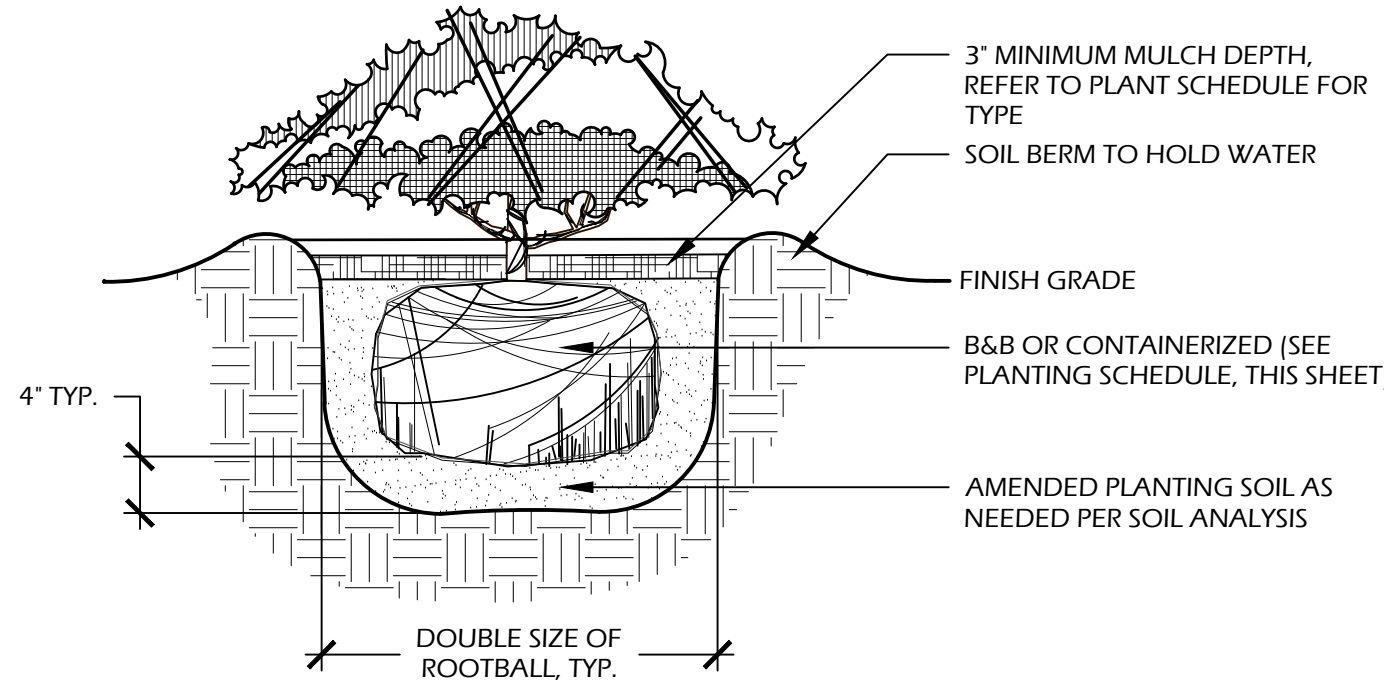


- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L5 PALM TREE PLANTING
SCALE: N.T.S.

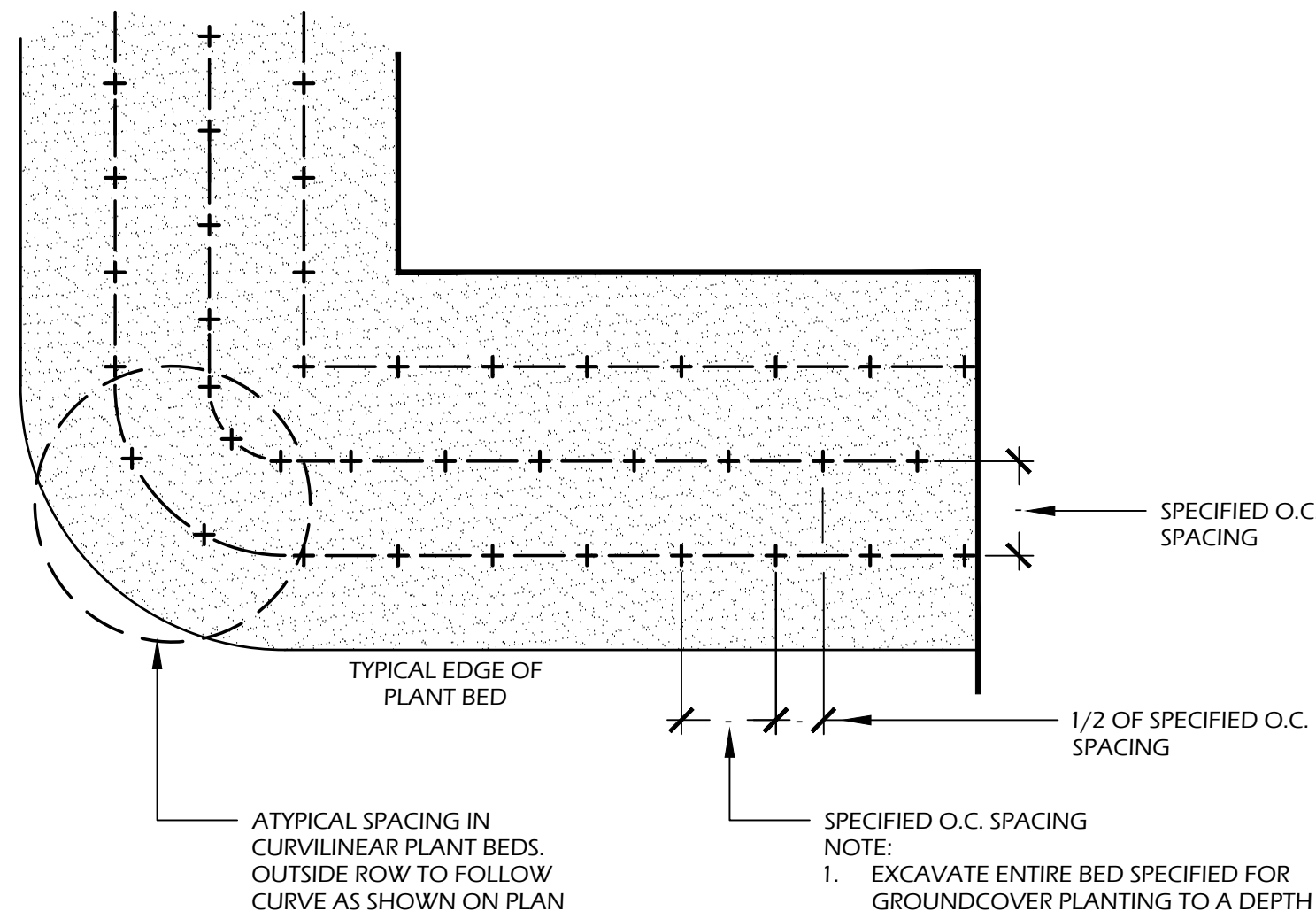
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
1	OUEN	Quercus texana	Nuttall Oak	14'-16'	6'-8'	Cont.	4"	Full
2	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
1	SABP	Sabal palmetto	Cabbage Palm	12'-16'	-	Cont.	-	Refoliated, full clear trunk, refer to plan for heights
UNDERSTORY TREES								
1	ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly	6'-7'	3'-4'	15 gal.	-	Full
SHRUBS								
12	AZIM	Azalea indica 'Mrs. G. G. Gerbing'	Mrs. G. G. Gerbing Azalea	30'-36"	24'-30"	7 gal.	-	Full
25	BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	12'-18"	12'-18"	7 gal.	-	Full
2	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
11	DISC	Distylium 'Coppertone' (PIDIST-H PP25304)	Coppertone Distylium	24'-30"	24'-30"	7 gal.	-	Full
10	LORC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower	30'-36"	24'-30"	7 gal.	-	Full
6	PODM	Podocarpus macrophyllus	Podocarpus	36'-42"	24'-30"	15 gal.	-	Full
6	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
18	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
1,200	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-

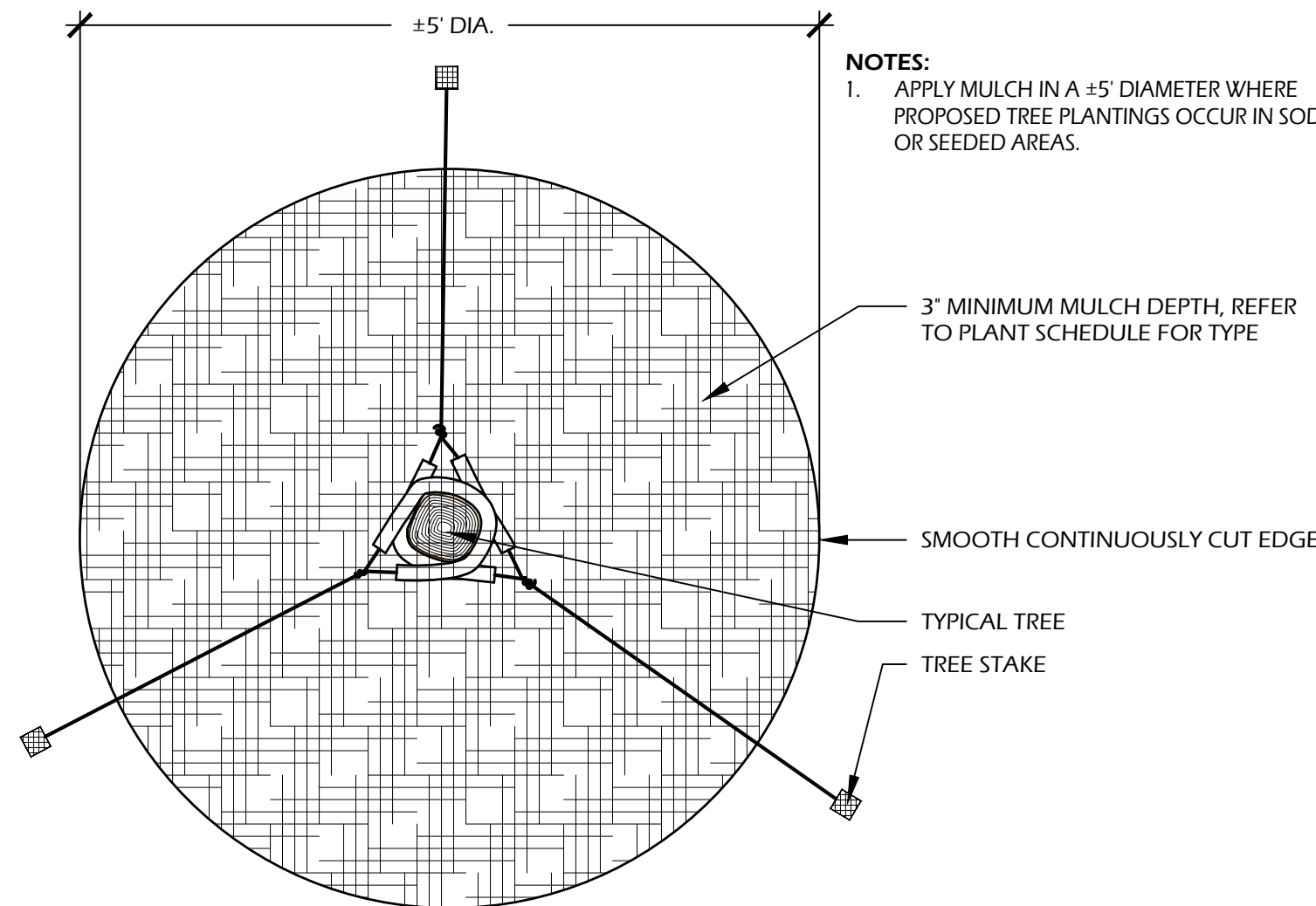


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE ±2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L5 SHRUB PLANTING
SCALE: N.T.S.



4 // L5 GROUND COVER PLANTING
SCALE: N.T.S.



- NOTES:**
- APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDING AREAS.

5 // L5 TREE STAKING
SCALE: N.T.S.

SITE DEVELOPMENT PLANS
FOR
SUOZZI RESIDENCE
BLUE CRAB STREET / LOT 24 (#7)
TABBY RAODS / BLUFFTON, SOUTH CAROLINA

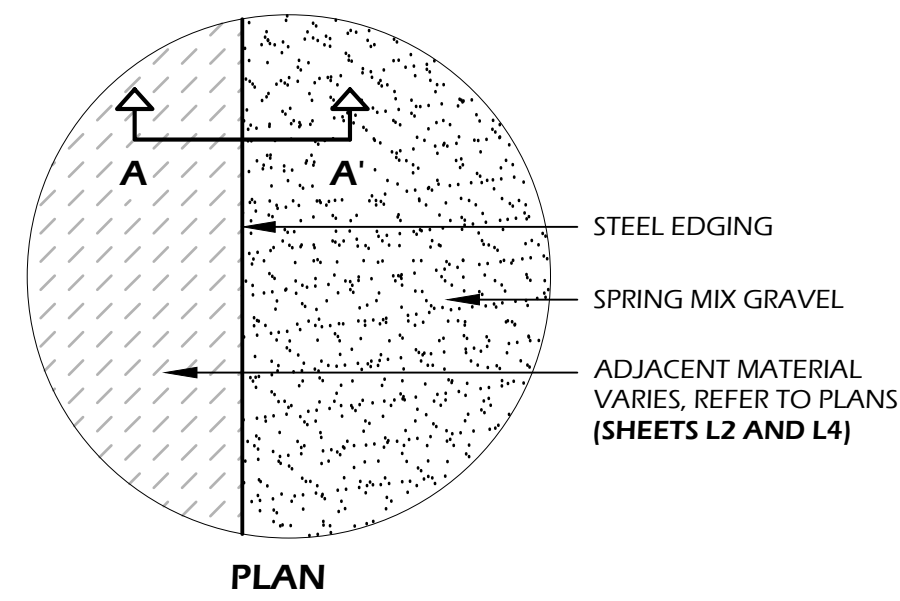
DATE: JULY 24, 2023
PROJECT NO.: XXXXX.XX
DRAWN BY: MC
CHECKED BY: DK

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

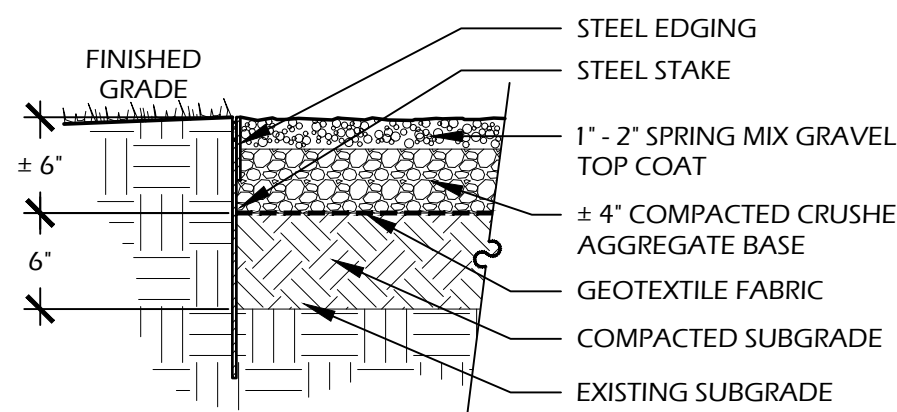
REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND
DETAILS

DRAWING NUMBER
L3



PLAN



SECTION A-A'

EDGING AND STAKE INFORMATION:

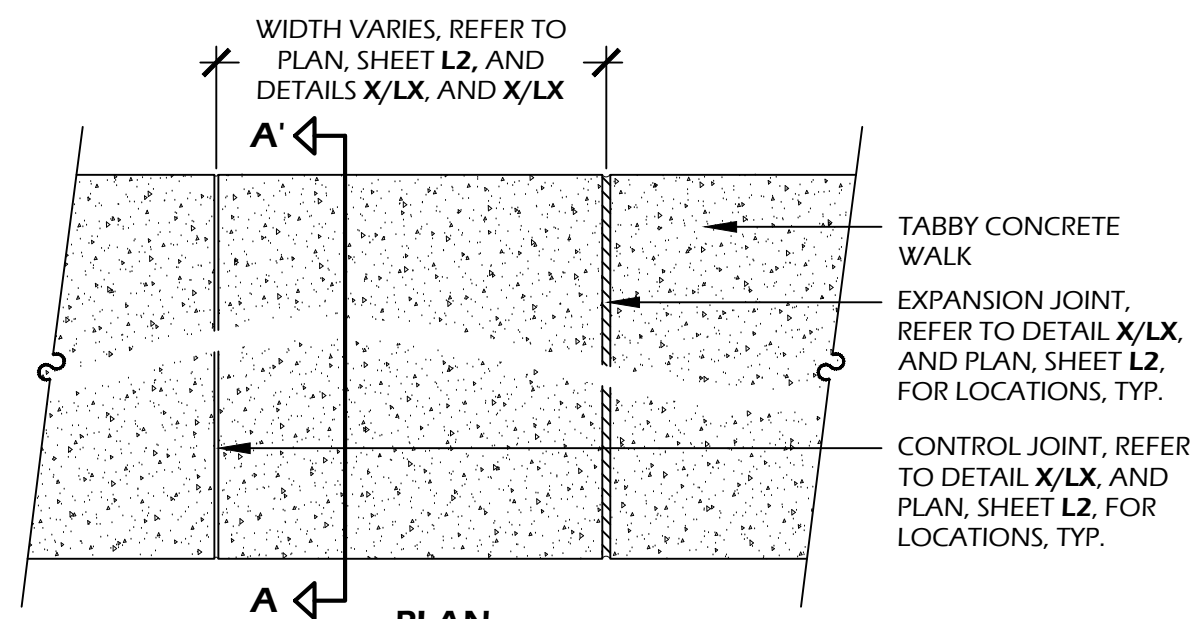
MANUFACTURER:
BORDER CONCEPTS, INC.
7621 LITTLE AVE., SUITE 426
CHARLOTTE, NC 28226
PHONE: (800) 845.3343
WEB: WWW.BORDERCONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16" X 4" X 16"
STAKES: STANDARD STAKE 3/16" THICK X 15" LONG (6 PER 16')
COLOR: BLACK

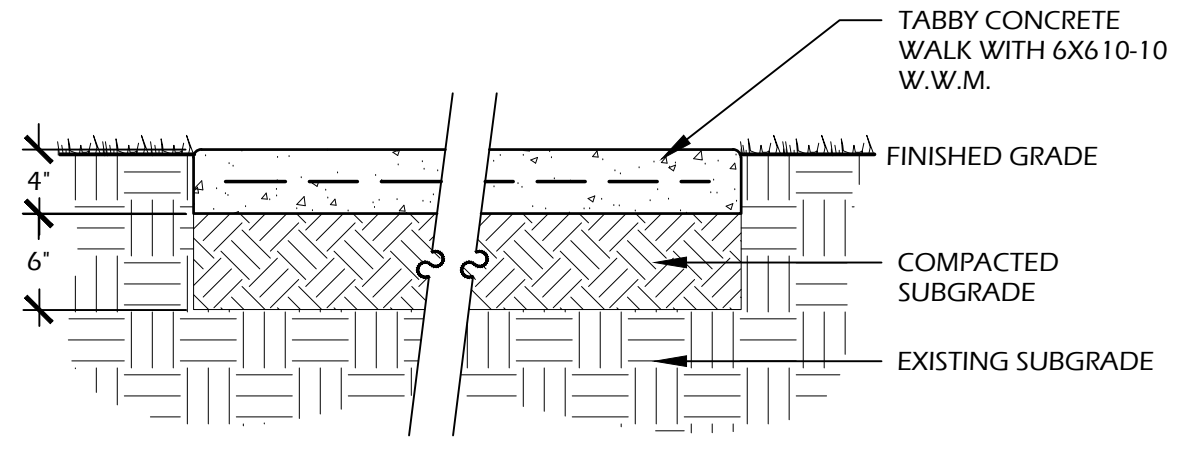
NOTE: INSTALL FLUSH PER MANUFACTURER'S SPECIFICATIONS

OTHER INFORMATION:

GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR



PLAN



SECTION A-A'

CONCRETE INFORMATION:

CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

SOIL INFORMATION:

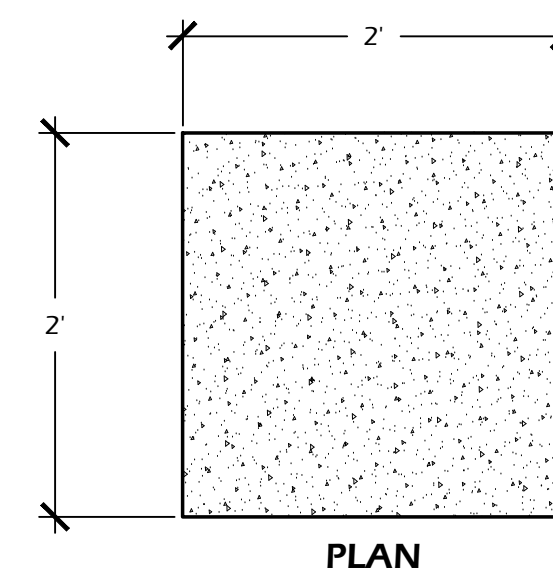
SOIL COMPACTION: 95% STANDARD PROCTOR

TABBY SPEC:

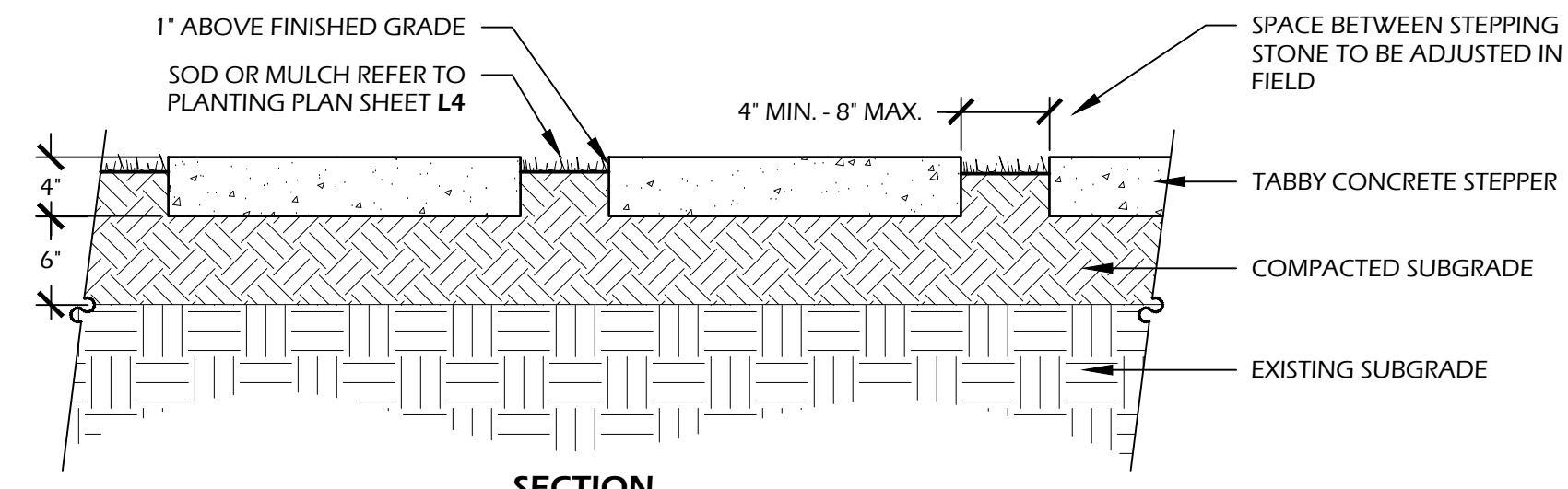
1. SHELL FINISH SHALL BE OYSTER SHELL MIX [EQUAL PARTS, SIZE #2, AND #3] HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
2. HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.

NOTES:

1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN [SHEET L2] FOR WIDTHS OF WALK.
3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



PLAN



SECTION

CONCRETE INFORMATION:

CONCRETE: CAST IN PLACE, 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

TABBY SPEC:

1. SHELL FINISH SHALL BE OYSTER SHELL MIX [EQUAL PARTS, SIZE #2, AND #3] HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
2. HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.

SOIL INFORMATION:

SOIL COMPACTION: 95% STANDARD PROCTOR

NOTES:

1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. UPON REQUEST, CONTRACTOR SHALL PROVIDE 2'X2' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

1 // L4 GRAVEL DRIVE
SCALE: 1" = 1' - 0"2 // L4 TABBY CONCRETE WALK
SCALE: 1" = 1' - 0"3 // L4 TABBY STEPPERS
SCALE: 1" = 1' - 0"

PRODUCT SPECIFICATION SHEET

NITE-103

LED OPTIONS:

- NITE-103A SC Bayonet
 - Energy Savings - 1.5 Watts
 - Long Life - 40,000 Hrs
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 61-70lm
- NITE-103A SC Bayonet Clear Glass Cover
 - Energy Savings - 2.6 Watts
 - Long Life - 40,000 Hrs
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 61-70lm
- NITE-103B SC Bayonet Opaque Glass Cover
 - Energy Savings - 1.8 Watts
 - Long Life - 40,000 Hrs
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 61-70lm

Specifications:

MODEL: NITE-103
MOUNTING: 1/2" NPT
FINISH: Copper
SOCKET: Single Contact Bayonet
ELECTRICAL: 12V
LED: 1.5W/2.6W/1.8W Bayonet

PRODUCT DESCRIPTION / APPLICATIONS:

Designed to provide safety and direction around pool areas, sidewalks, driveway, and steps. Also used to highlight low ground cover. Ideal for residential and commercial garden settings.

NOTES:

Replacement Glass for the Copper Path Light is NITE-103A.

MOUNTING ACCESSORY:

Commercial Stake: NITE-124

Base Design: NITE-103

DATE: 11/20/19

5107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510 Fax: (513) 424-5542
www.NiteLites.com

4 // L4 PATH LIGHT
SCALE: N.T.S.

PRODUCT SPECIFICATION SHEET

NITE-025DL

LED OPTIONS:

- NITE-025DLW MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 3 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 280lm
 - Beam Angle: 40°
- NITE-025DLW MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°
- NITE-025DLW MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 7 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 650lm
 - Beam Angle: 40°
- NITE-025DLW MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Bright White
 - Color Temp: 5000°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°

Specifications:

MODEL: NITE-025DL (Down Light)
MOUNTING: 1/2" NPT
FINISH: Aged Brass
SOCKET: All Weather Ceramic
ELECTRICAL: 12V
LED: 3W, 5W or 7W MR-16 LED

PRODUCT DESCRIPTION / APPLICATIONS:

Angled cut down light is designed to down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Colored LED Lamps Available:

- NITE-025DLA - Amber
- NITE-025DLB - Blue
- NITE-025DLR - Red
- NITE-025DLG - Green

Adjustable/Knuckle

Base Design: NITE-025DL

DATE: 11/20/19

5107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510 Fax: (513) 424-5542
www.NiteLites.com

5 // L4 DOWN LIGHT
SCALE: N.T.S.

PRODUCT SPECIFICATION SHEET

NITE-004

LED OPTIONS:

- NITE-02983W MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 3 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 280lm
 - Beam Angle: 40°
- NITE-02985W MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°
- NITE-02987W MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 7 Watts
 - Color: Warm White
 - Color Temp: 2700°K
 - Luminous Flux: 650lm
 - Beam Angle: 40°
- NITE-02989W MR-16
 - Long Life - 40,000 Hrs
 - Energy Savings - 5 Watts
 - Color: Bright White
 - Color Temp: 5000°K
 - Luminous Flux: 490lm
 - Beam Angle: 40°

Specifications:

MODEL: NITE-004
MOUNTING: 1/2" NPT
FINISH: Aged Brass
SOCKET: All Weather Ceramic
ELECTRICAL: 12V
LED: 3W, 5W or 7W MR-16
OTHER FINISH: Antique Iron - NITE-114
SOP: Custom finishes available upon request

PRODUCT DESCRIPTION / APPLICATIONS:

Designed to up light and down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Colored LED Lamps Available:

- NITE-02989A - Amber
- NITE-02989B - Blue
- NITE-02989R - Red
- NITE-02989G - Green

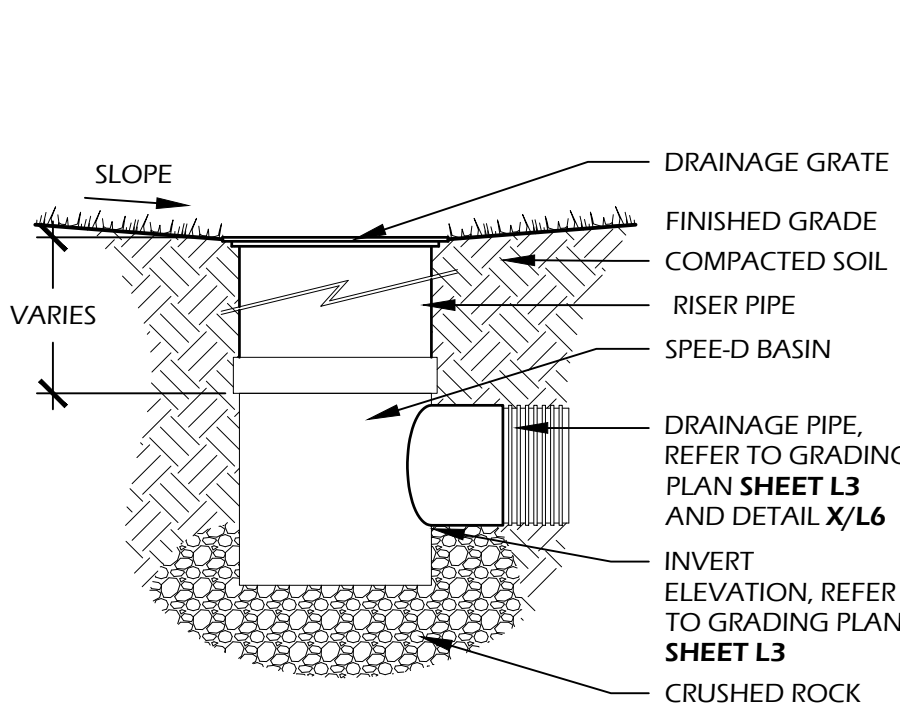
MOUNTING ACCESSORY:

Commercial Stake: NITE-124

Base Design: NITE-004

DATE: 11/20/19

5107 Market Ave., Franklin, OH 45005
Tel: (513) 424-5510 Fax: (513) 424-5542
www.NiteLites.com

6 // L4 UP LIGHT
SCALE: N.T.S.

- NOTES:**
1. INSTALL TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTOR, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-206

MANUFACTURER INFO:

NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

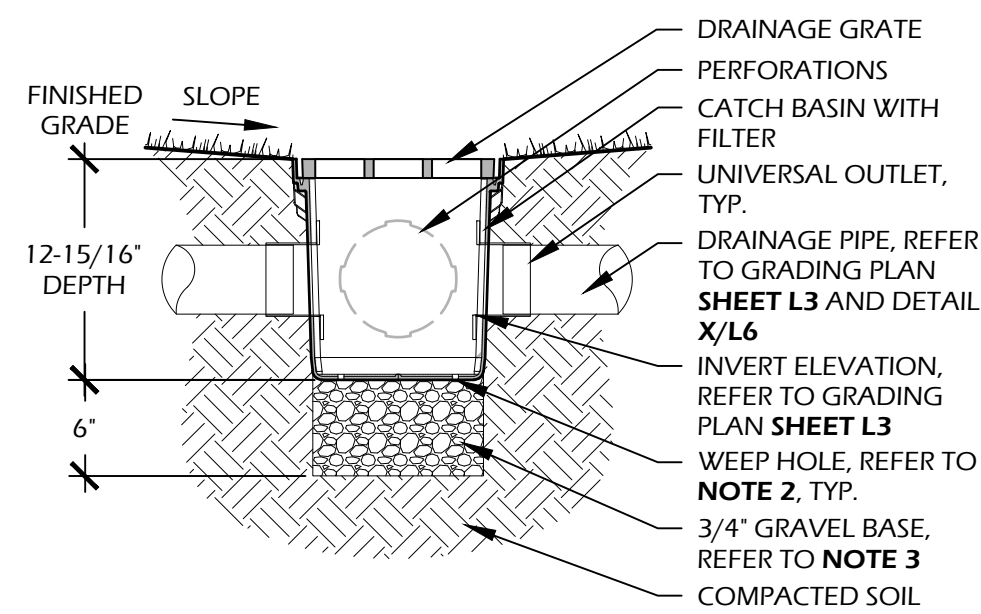
DRAINAGE GRATE: #40, 6" ROUND GRATE
PIPE INFO: STRUCTURAL FOAM POLYOLEFIN GRATE WITH U.V. INHIBITOR

CATCH BASIN: #101, 6" ROUND SPEED-BASIN WITH 3" AND 4" LOCKING OUTLET
BASE INFO: STYRENE CATCH BASIN WITH LOCKING OUTLET

RISER: #66, 6" SEWER AND DRAIN RISER PIPE, LENGTH AND USE AS REQUIRED

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KEY COMPONENT
www.ndspro.com

**MANUFACTURER INFO:**

NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #121, 12"X12" SQUARE GRATE
GRATE COLOR: BLACK
GRATE INFO: STRUCTURAL FOAM POLYOLEFIN GRATE WITH U.V. INHIBITOR

CATCH BASIN: #1200, 12"X12" CATCH BASIN, 2 OPENINGS
BASE INFO: BLACK
BASE INFO: POLYOLEFIN TAPERED CATCH BASIN WITH U.V. INHIBITORS

FILTER: #1200FF, 12" CATCH BASIN FILTER
FILTER COLOR: BLUE FRAME / BLACK BAG

UNIVERSAL OUTLET: #1266, 6" UNIVERSAL LOCKING OUTLET AND #1206, 6" UNIVERSAL ADAPTER PLUG
OUTLET COLOR: BLACK
OUTLET INFO: STYRENE, USE ADAPTER PLUG AS REQUIRED (WHERE ONLY ONE DRAIN LINE RUNS INTO CATCH BASIN)

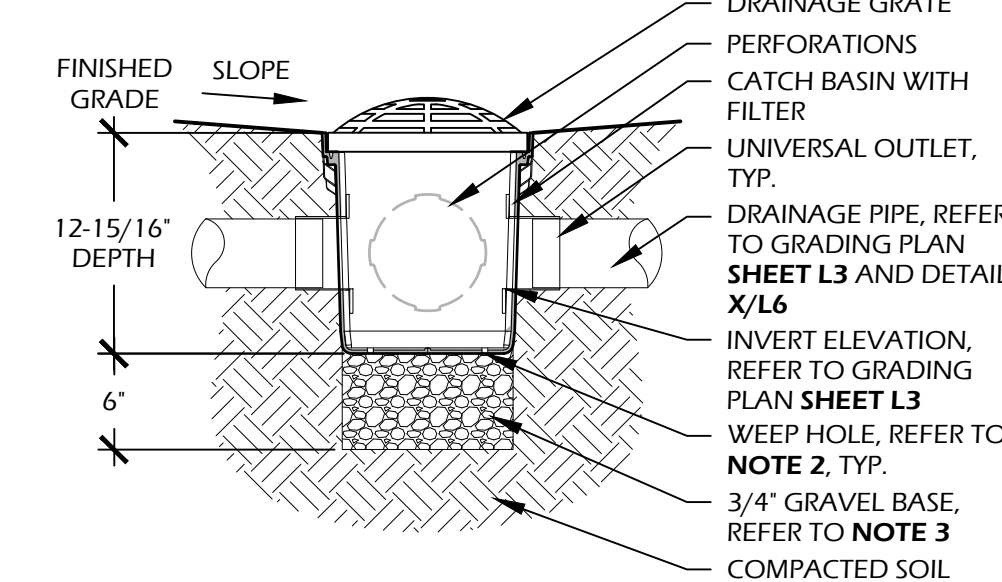
RISER: #1216, 12"X12" CATCH BASIN RISER, BLACK, STYRENE, USE AS REQUIRED

NOTES:

1. THIS DETAIL IS USED FOR DESIGN INTENT ONLY. REFER TO TO MANUFACTURERS DETAIL AND SPECIFICATIONS FOR ACTUAL INSTALLATION.
2. DRILL WEEP HOLE TYPICAL OF 4 PLACES AT BOTTOM CORNERS.
3. GRAVEL BASE SHALL BE USED TO PREVENT STANDING WATER.
4. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW(S) PROVIDED AT TIME OF INSTALLATION.
5. RISER (IF NEEDED) CAN BE CUT TO ACHIEVE EXACT ELEVATION. DO NOT USE OVER FIVE (5) RISERS WITH CATCH BASIN.
6. N.D.S. ADAPTERS THAT FIT THIS CATCH BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, AND #1889. USE #1206 IF PLUGGING AN OUTLET.
7. PERFORATION ON NON OPEN SIDES AND BOTTOM TO BE CUT OUT WHEN ADDING EXTRA OUTLETS.
8. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
9. DO NOT SCALE DRAWING.
10. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
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12. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-187 AND / OR 558-192.

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REVISION DATE 09/23/2015
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KEY COMPONENT
www.ndspro.com

**MANUFACTURER INFO:**

NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

DRAINAGE GRATE: #1290, 12"X12" ATRIUM GRATE
GRATE COLOR: BLACK
GRATE INFO: STRUCTURAL FOAM POLYOLEFIN DOME ATRIUM GRATE WITH U.V. INHIBITOR

CATCH BASIN: #1200, 12"X12" CATCH BASIN, 2 OPENINGS
BASE INFO: BLACK
BASE INFO: POLYOLEFIN TAPERED CATCH BASIN WITH U.V. INHIBITORS

FILTER: #1200FF, 12" CATCH BASIN FILTER
FILTER COLOR: BLUE FRAME / BLACK BAG

UNIVERSAL OUTLET: #1266, 6" UNIVERSAL LOCKING OUTLET AND #1206, 6" UNIVERSAL ADAPTER PLUG
OUTLET COLOR: BLACK
OUTLET INFO: STYRENE, USE ADAPTER PLUG AS REQUIRED (WHERE ONLY ONE DRAIN LINE RUNS INTO CATCH BASIN)

RISER: #1216, 12"X12" CATCH BASIN RISER, BLACK, STYRENE, USE AS REQUIRED

NOTES:

1. THIS DETAIL IS USED FOR DESIGN INTENT ONLY. REFER TO TO MANUFACTURERS DETAIL AND SPECIFICATIONS FOR ACTUAL INSTALLATION.
2. DRILL WEEP HOLE TYPICAL OF 4 PLACES AT BOTTOM CORNERS.
3. GRAVEL BASE SHALL BE USED TO PREVENT STANDING WATER.
4. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW(S) PROVIDED AT TIME OF INSTALLATION.
5. RISER (IF NEEDED) CAN BE CUT TO ACHIEVE EXACT ELEVATION. DO NOT USE OVER FIVE (5) RISERS WITH CATCH BASIN.
6. N.D.S. ADAPTERS THAT FIT THIS CATCH BASIN ARE AS FOLLOWS: #1242, #1243, #1245, #1266, AND #1889. USE #1206 IF PLUGGING AN OUTLET.
7. PERFORATION ON NON OPEN SIDES AND BOTTOM TO BE CUT OUT WHEN ADDING EXTRA OUTLETS.
8. EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.
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12. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-187 AND / OR 558-192.

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KEY COMPONENT
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7 // L4 6" AREA DRAIN
SCALE: N.T.S.8 // L4 12" AREA DRAIN TYPE 1
SCALE: N.T.S.9 // L4 12" AREA DRAIN TYPE 2 (ATRIUM GRATE)
SCALE: N.T.S.SITE DEVELOPMENT PLANS
FORSUOZZI RESIDENCE
BLUE CRAB STREET / LOT 24 (#7)
TABBY RAODS / BLUFFTON, SOUTH CAROLINA

DATE: JULY 24, 2023
PROJECT NO.: XXXXXX
DRAWN BY: MC
CHECKED BY: DK

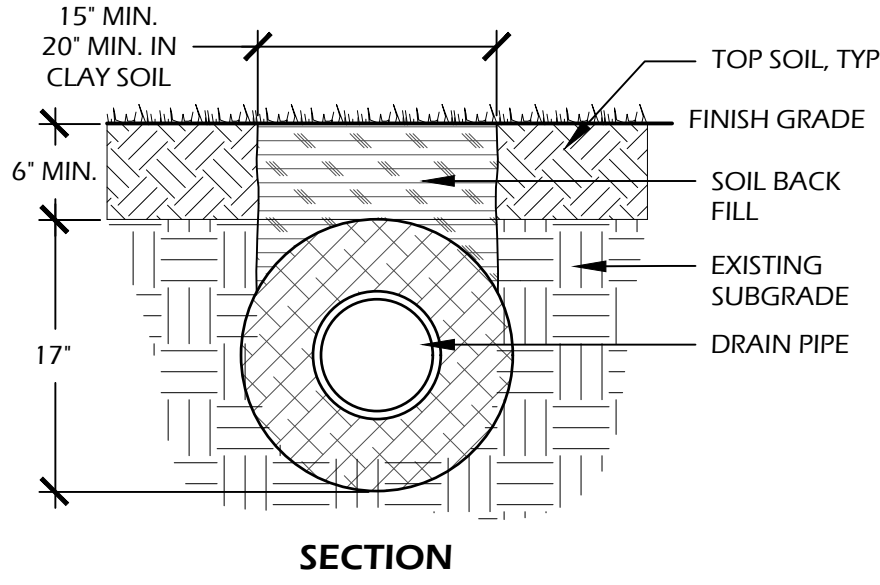
FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

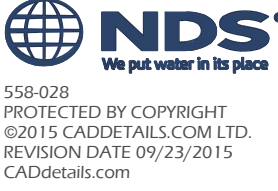
L4



- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. ADDITIONAL COVER MAY BE REQUIRED BASED ON SITE CONDITIONS.
 3. 12' COVER REQUIRED TO OBTAIN AN H-10 LOAD RATING.
 4. DO NOT SCALE DRAWING.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-028

MANUFACTURER INFO:
NATIONAL DIVERSIFIED SALES, INC.
851 N. HARVARD AVE.
LINDSAY, CA 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM

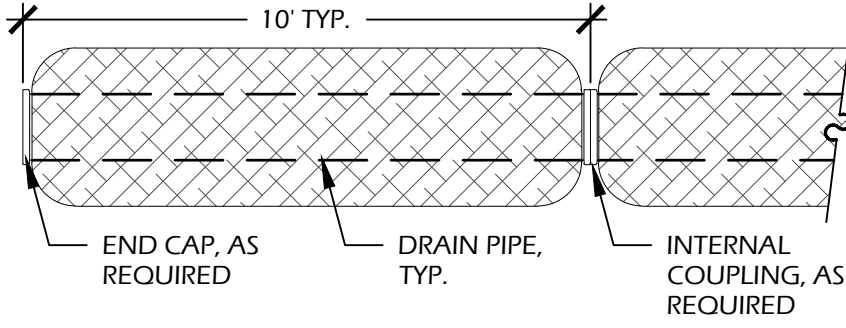
PIPE: 17" MESH WITH 8" CORRUGATED PERFORATED PIPE
PIPE COLOR: BLACK
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH



COUPLING: 8" CORRUGATED INTERNAL COUPLING, AS REQUIRED
COUPLING COLOR: BLACK
END CAP: 8" CORRUGATED END CAP, AS REQUIRED.
END CAP COLOR: BLACK

SOIL INFO:
SOIL BACK FILL: TOP SOIL BACK FILL, OR GRAVEL WITH 3" TOP SOIL IN CLAY AREAS

STORAGE AND FLOW INFO:



STORAGE VOLUME = 45.8 GALLONS
(6.1225 CU. FT.) PER SECTION. FLOW
RATE = 345.0 GPM (1% SLOPE)

1 // L5 8" FRENCH DRAIN
SCALE: N.T.S.

© 2023 WJK LTD.
DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR
SUOZZI RESIDENCE
BLUE CRAB STREET / LOT 24 (#7)
TABBY RAODS / BLUFFTON, SOUTH CAROLINA

DATE: JULY 24, 2023
PROJECT NO.: XXXXXX
DRAWN BY: MC
CHECKED BY: DK

FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

L5



ATTACHMENT 5
PLAN REVIEW COMMENTS FOR COFA-06-23-018105

Section IX. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
TABBY ROADS PHASE 1

Plan Type: Historic District **Apply Date:** 06/01/2023
Plan Status: Active **Plan Address:** 7 Blue Crab Street
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 000 1205 0000
Plan Description: A request by Ernie and Andrea Suozzi for the review of a Certificate of Appropriateness - HD for the construction of a new 2-story single-family structure of approximately 2,304 SF, and Carriage House of approximately 720 SF, located at 7 Blue Crab Street, in the Old Town Bluffton Historic District, identified as L 24 of the Tabby Roads development and zoned Neighborhood General-HD.

Staff Review (HD)

Submission #: 1 Received: 06/01/2023 Completed: 06/23/2023

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	06/23/2023	Katie Peterson	Approved with Conditions

Comments:

Note: Comments are based on submittal information received with application package.

1. See HPRC Comments.
2. At time of final submittal, provide screen detail to showing architectural expression (columns, railings, pickets, etc.) occur on the outside of the screen. (UDO 5.15.6.E.5.)
3. At time of final submittal, ensure window and door table or note on plans indicates materials.

HPRC Review	06/23/2023	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

1. At time of final provide confirmation that the Front Perspective on A-102 front elevation and left side elevation column have are no further apart than they are tall. The elevations and floor plans appear to have fewer instances of column spacing, however, the left elevation at the stairs and the bay nearest to the front porch are further apart than they are tall.
2. A-103: Provide additional information regarding the low sloped roof above the stairwell on the primary structure. Is it possible to use a 6/12 to match the second floor shed dormers, or a 3/12 that to match the first floor porch roof.
3. At time of final, the driveway placement must be shown.
4. Consider revising the garage doors to be four panels rather than three. They appear a bit out of scale with the rest of the building. (UDO 5.15.5.F.4.)
5. On the left and right side elevations at the garage level the change from board and batten to horizontal siding must take place at an interior corner. (UDO 5.15.6.N.)
6. On the front elevation of the Carriage House at the second floor dormer. The corners boards should not be projecting down to the horizontal band. The lapped siding should be uninterrupted and continuous. This applies to the main house, too.
7. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy coverage calculations; as well provide architectural details of the railing and baluster, a typical window detail, corner board/pilaster trim detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications Manual)
8. Consider attaching the main house and Carriage House as their close proximity may create issues with water management.
9. On S-101, consider adding a brick or stone border around the porch edges to avoid exposed concrete edges. Not required but just a suggestion to look more historically appropriate.
10. On S-101, foundation detail at house shows 1x trim material for the skirt board--UDO requires a minimum of 5/4x; also showing a sill below the skirt board that's not shown on elevations (this might be showing what's on the carriage house but should just be removed from the main house drawings if so)
11. A-101: Column spacing might need to be adjusted to ensure space between columns is less than the height between porch floor and bottom of beam above. Tough to tell exact dimensions but it looks close.
12. A-101- Consider adjusting kitchen layout to allow for windows to be centered within front porch columns.
13. A-201: Consider adjusting height of windows in stairwell on front elevation to avoid roof rafters intersecting with window head trim
14. Consider breaking the foundation between main house and front porch to allow for the water table to have a visible foundation corner beneath it
15. Adjust column spacing on left elevation to ensure the columns are spaced no further apart than they are tall.
16. A-401: Window / door details show 1x material for casing; should be adjusted to 5/4x or thicker
17. Carriage House A-201 Bandboard is called out at 1x material; UDO requires it be increased to 5/4x or larger. (UDO 5.15.6.N.)
18. Wall material should not change in the same plane; should change at an outside corner. Suggest shifting the carriage house up to the house and connecting, then bump out the garage on either side of the garage door mass to create an outside corner. (UDO 5.15.6.N)
19. A-202: Door at top of the Carriage House stair landing has window panes with square proportions while the rest of the windows and doors around the main house and carriage house are all vertical. Change from 8-lite to 6-lite or 4-lite configuration to match more closely. (UDO 5.15.5.F.4.)

Beaufort Jasper Water and Sewer Review 06/23/2023 James Clardy Approved

Comments:

1. No comments.

Watershed Management Review 06/16/2023 Samantha Crotty Approved

Transportation Department Review - HD 06/01/2023 Megan James Approved

Comments:

No comments

Plan Review Case Notes:

HABITAT ARCHITECTURAL REVIEW BOARD**TABBY ROADS****BLUFFTON, SC**

July 30, 2023

Ernie & Andrea Suozzi,
Lot 24, Tabby Roads
7 Blue Crab
Bluffton, South Carolina 29910

Dear Applicant,

This letter shall serve as approval with conditions for planned single family residence build on Lot 24 in Tabby Roads (7 Blue Crab). Plans within the following files titled are the basis for this approval:

Suozzi Residence - CDs Lot 24 7 Blue Crab 7-25-23.pdf
Suozzi - Tabby Roads HARB Color Board Submittal - Revised 7-25.23.docx
Suozzi Residence HOA submittal 7-25-23.docx
Suozzi_Lot 24_7 Blue Crab Landscaping Plan Revisions 7-25-23.pdf

This approval is subject to the following terms and conditions:

- Prior to clearing, preventative measures need to be installed around the Live Oak on the Northeast corner of the lot. This specimen tree is very important to this lot as well as the neighborhood's presentation and damage to it should be avoided at all cost.

Additional suggestions from the committee for your consideration (not mandatory) –

- The majority of the posts in the Tabby Roads community have some form of post trim similar to that shown in Fig 1. This committee recommends you consider adding trim to the post especially on the front elevation. It is permissible to either add trim or leave as submitted.



Fig 1 – Typical Tabby Roads residents post trim

I am sending a copy of this approval with conditions to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Nurnberg'.

Robert Nurnberg
On behalf of Tabby Roads HARB

Cc: Katie Peterson
Town of Bluffton

HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Growth Management Department



MEETING DATE:	September 6, 2023
PROJECT:	9 Bruin Road – Request to Remove “Joiner House” as a Contributing Resource
APPLICANT:	Melanie Marks (with Eugene Marks, d/b/a/ Joha LLC), Owner

REQUEST: The Applicant, Melanie Marks (with Eugene Marks, d/b/a/ Joha LLC) as owner, requests that the Historic Preservation Commission approve the following application:

DCR-06-23-018161. An application to recommend to Town Council that the Joiner House, located at 9 Bruin Road and identified by Beaufort County Tax Map No. R610039-00A-0021-0000 within the Neighborhood Core - HD Zoning District, to remove the structure from the Contributing Resource list.

BACKGROUND: The Old Town Bluffton Historic District (OTBHD) was established by Town Council on June 19, 2007, and currently comprises 86 Contributing Resources, of which 84 are structures and two are natural features (e.g., Heyward and Huger coves). The Joiner House is a Contributing Resource, which is defined by the Unified Development Ordinance (UDO) as:

Any building, structure, site, object, feature, or open space, as designated by Town Council, that adds to the historic associations, architectural qualities, or archeological values that relate to the documented significance of the Old Town Bluffton Historic District.

These resources are identified on the Contributing Resources Map, which was accepted by Town Council on May 10, 2022 (see Attachment 4). The Map serves as the *de jure* list that identifies all Contributing Resources to the Old Town Bluffton Historic District, each of which are “visible reminders of the history and cultural heritage of the Town of Bluffton as well as the Lowcountry region.”

The review criteria for the designation of a Contributing Resource are set forth in the Unified Development Ordinance (UDO) in Section 3.25.3.:

A. [A]ny resource that is at least 50 years old and retains integrity of location, design, setting, materials, workmanship, feeling, and association may be considered for a Contributing Resource designation by Town Council upon a recommendation of the Historic Preservation Commission. At least one of the following criteria must be present:

1. The resource is associated with events that have made a significant contribution to the broad patterns of our history;
2. The resource is associated with the lives of persons significant in our past;
3. The resource embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction, or;
4. The resource has yielded, or is likely to yield, information important in prehistory or history.

The Joiner House was designated as a “Contributing Structure” to the Old Town Bluffton Historic District in October 2008 (see Attachment 5).

BUILDING DESCRIPTION AND BRIEF HISTORY: The Joiner House, located on the northeast corner of Bluffton and Bruin roads, was originally constructed c. 1930 and later altered in the early 1980s with an addition on the north (rear) elevation. It was a one-story, wood frame, rectangular plan, single-family residence, of approximately 1,516 square feet in area with front-facing gable roof, wood lap siding, wood double hung 6-over-1 windows, open wood rafters at the eaves, and a green 5-V crimped metal roof.

The structure was set on an elevated foundation supported by brick and concrete block piers. On the southern (Bruin Road) elevation, there was a full-width, one-story screened front porch with brick entry steps; the western (Bluffton Road) elevation had a secondary brick entrance stoop with covered portico featuring non-historic decorative iron supports. According to some reports, there had been a fire in the structure in the 1990s and the damage was repaired but no documentation has been found to specify the extent of the damage or a description of the subsequent repairs to the structure. The structure, identified as site #046-0107, was surveyed in the *Town of Bluffton Historic Resource Survey* (1994), the *Historic Architectural Resource Survey Report* (2001), the *Town of Bluffton Survey of Historic Properties* (2008), and the *Town of Bluffton Historic Resources Update* (2019) (see Attachment 6).

The property, which had been listed for sale sometime prior to May 2021, was sold on March 10, 2022, to the present owners and a second application for a Certificate of Appropriateness-HD was submitted to the Town on March 11, 2022 (COFA-03-22-016484). On July 6, 2022, the HPC heard a request by Applicant, Pearce Scott Architects, on behalf of the owners, to approve a Certificate of Appropriateness-HD to allow the renovation of the [original, 1930s-era] 1,248 SF Contributing Resource, known as the Joiner House and to relocate the entire 1,516 SF structure towards the eastern property line of the same parcel

identified as 9 Bruin Road (see Attachment 6). There was an extensive discussion with Town Staff, HPC's legal counsel, the owner, and a review of additional materials provided by the property owners prior to and during the meeting, including a discussion about the Town's Historic Preservation Grant, which the owners indicated that they had no interest in applying for, nor did they need any financial assistance. In the end, the HPC conditionally approved a Certificate of Appropriateness-HD to allow the reconstruction of the Joiner House in a relocated area towards the eastern property line of the same parcel (emphasis added). It should be noted that ultimately, the HPC found that the process of "reconstruction and relocation," for which the UDO does not specifically provide procedures or criteria to evaluate, was an acceptable alternative to the process of "rehabilitation" that had been originally requested by the Applicant, subject to several conditions outlined in the HPC's motion. A conditional approval letter was issued on July 12, 2022, and updated on August 5, 2022 (see Attachments 12 and 13, respectively).

On September 25, 2022, the owner informed Staff that he intended to apply for a Town of Bluffton Historic Preservation Grant and an application for a grant was submitted, which needed to be revised to conform to program requirements before it could be considered; on October 7, 2022, the owner submitted a revised grant application specifically for foundation repair. Staff reviewed this application and subsequently informed the owner on October 18, 2022 that since a new foundation was being constructed in a different location, this work was not eligible for a preservation grant, but there may be other preservation-related work that could be considered grant eligible, including repair and retention of the historic wood windows, repairs to the roofing material, and/or reconstruction of the front porch at the new location.

On November 18, 2022, Staff had a telephone conversation with the owner to discuss the conditions of the approved COFA-HD, in particular, the types and amounts of historic materials that had been salvaged from the Contributing Resource for use in the "reconstruction." Staff was informed that various materials had been salvaged and were earmarked for reuse on the structure in its new location (see Attachment 14). Staff also informed the owner that the project was no longer eligible to receive a Historic Preservation Grant as it did not conform to program requirements; the owner was officially informed of this decision in a letter dated December 1, 2022 (see Attachment 15).

On May 1, 2023, the owners (Appellants) filed an Appeal from an Action of the UDO Administrator's decision to fail the Rough-HD inspection associated with Permit RNEW-08-22-2266, as related to the installation of non-approved windows associated with COFA-03-22-016484 (ZONE-05-23-017996). The Appeal was heard during the regularly scheduled meeting of the Historic Preservation Commission on June 7, 2023. After a lengthy discussion, the HPC affirmed the UDO Administrator's decision in part given that the windows installed were not the same windows approved by Staff and as specified in the Building Permit, Staff was not provided additional information regarding the windows prior to installation, and Staff did not approve them as required by the COFA-HD. However, the HPC reversed the UDO

administrator's decision that the windows that were installed are not indistinguishable from the original windows at an arm's length and windows that were installed do not match the old windows in design and texture. In short, the Appellant was allowed to proceed with the approved Certificate of Appropriateness – HD and the windows remain as installed (COFA-03-22-016484) (see Attachment 16).

On June 8, 2023, Town Staff received an email from the owners “formally requesting that the Joiner House (9 Bruin Road) be removed from [the list] ... [g]iven that the original structure no longer exists...” Town Staff followed up with an email clarifying the process for the Removal of a Contributing Structure, which was followed by a telephone call and additional emails to outline the application process. The subject Application and Narrative was submitted on June 13, 2023 (Attachment 3).

REVIEW CRITERIA & ANALYSIS: According to the UDO, a Contributing Resource is “[a]ny building, structure, site, object, feature, or open space, *as designated by Town Council*, that adds to the historic associations, architectural qualities, or archeological values that relate to the documented significance of the Old Town Bluffton Historic District” (*emphasis added*). In May 2022, Town Council designated two (2) new Contributing Resources (e.g., the Bluffton Post Office located at 41 Bridge Street and the Bluffton Health Center located at 1261 May River Road). At the time, the Historic Preservation Commission reviewed these applications under procedures and criteria set forth in UDO Sec. 3.25. and recommended that Town Council add these Resources to the “list.”

While the current UDO is silent on specific procedures and criteria for “removing” a Contributing Resource, HPC may consider precedents set by Town Council as it pertains to removing a Contributing Resource. Since 2016, Town Council has reviewed two specific requests to remove structures from the list of Contributing Resources to the Old Town Bluffton Historic District: “Eggs’n’tricies” formerly located at 71 Calhoun Street and 75 Bridge Street, a private residence.

To be clear, if HPC recommends removal of the Contributing Resource from the Contributing Resources Map (i.e., the “list”), the HPC is not recommending that Town Council remove the Resource from the *Town of Bluffton Historic Resources Update* (2019) or any other earlier survey. A Survey is strictly a set of data which was collected on extant structures at a given point in time. Each of the Resources was deemed to be “eligible” to be listed as a Contributing Resource based upon data collected at the time the Survey was completed.

While there remains no specific procedures or criteria in the UDO for the removal of a Contributing Resource, Town Staff and the HPC should therefore, as in the past, consider the criteria set forth in Section 3.25.3 of the UDO to determine “if a structure should be removed from the Contributing Resources Map and whether or not the structure no longer possess [*sic*] the qualities of the criteria.” Consideration should

also be given to the fact that the underlying conditionally approved COFA-HD was for “reconstruction and relocation” of the Resource and not for wholesale demolition.

Accordingly, the applicable criteria under §3.25.3. are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

A. Section 3.25.3.A. Any resource that is at least 50 years old and retains integrity of location, design, setting, materials, workmanship, feeling, and association.

Finding: While the HPC’s approval was for reconstruction using historic materials, the extant structure is essentially a newly constructed structure from 2023 and therefore does not meet the threshold of being at least 50 years old. Further, the following aspects of integrity must also be considered:

Location: The structure has been moved to the eastern side of the same lot at 9 Bruin Road, while maintains the same orientation, it is sited closer to Bruin Road;

Design: The structure retains the same architectural features of the historic structure, including the screened front porch, the side entrance, brick steps, and window and door fenestration, and front gable end roof;

Setting: The structure has been moved from its historic location, set back on the lot from Bruin Road within the canopy of the large live oak trees and azalea bushes;

Materials: The Applicant was to retain original components to the maximum degree as reasonably and economically feasible.

Workmanship: Since this modern construction, using modern construction techniques, any evidence of historic craftsmanship or building techniques were lost in the relocation and reconstruction of the Resource;

Feeling: Since this is a construction utilizing new and original materials, the aesthetic sense of the period of time during which the house was built and later altered, may have been lost; and

Association: Since this is primarily a reconstruction and a relocation, there is no direct link between the original builder(s) or original owner/occupant(s) of the Resource.

In addition to age and architectural integrity, at least one of the following criteria must also be present:

1. *The Resource is associated with events that have made a significant contribution to the broad patterns of our history.*

Finding: Although the structure was reconstructed with mostly new and some original materials, it still represents the design that the original builder felt was appropriate for the time.

2. *The Resource is associated with the lives of persons significant in our past;*

Finding: Since the extant structure was reconstructed in 2023, it physically has no association with the lives of persons significant in our past, other than being constructed on property formerly owned by the Joiner family; however, the design still reflects the lives of the Joiner family who built the structure.

3. *The Resource embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction;*

Finding: The contributing resource embodies the physical appearance and characteristics of the original home. However, since the home was reconstructed, the construction work is not representative of the work of a master, nor does it possess high artistic value.

4. *The Resource has yielded, or is likely to yield, information important in prehistory or history.*

Finding: Since the extant structure was reconstructed in 2023, there is no evidence that the extant Resource is likely to yield information important in prehistory or history.

REVIEW BY LOCAL PRESERVATION GROUPS: As has been past practice, Town Staff reached out to the local Bluffton Preservation Groups (Historic Bluffton Foundation, Palmetto Bluff Conservancy, A Call to Action, and Bluffton Township Black History Historical Preservation Society) for comments on this Application. On July 31, 2023, Town Staff received an email from the Palmetto Bluff Conservancy stating, “based on the on the definition of a Contributing Resource in the Old Town Bluffton Historic District, we recommend removing 9 Bruin Road as a Contributing Resource, since the building is essentially new construction.”

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.4. of the UDO, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Recommend approval of the application as submitted by the Applicant;
2. Recommend approval of the application with conditions; or
3. Recommend denial of the application as submitted by the Applicant.

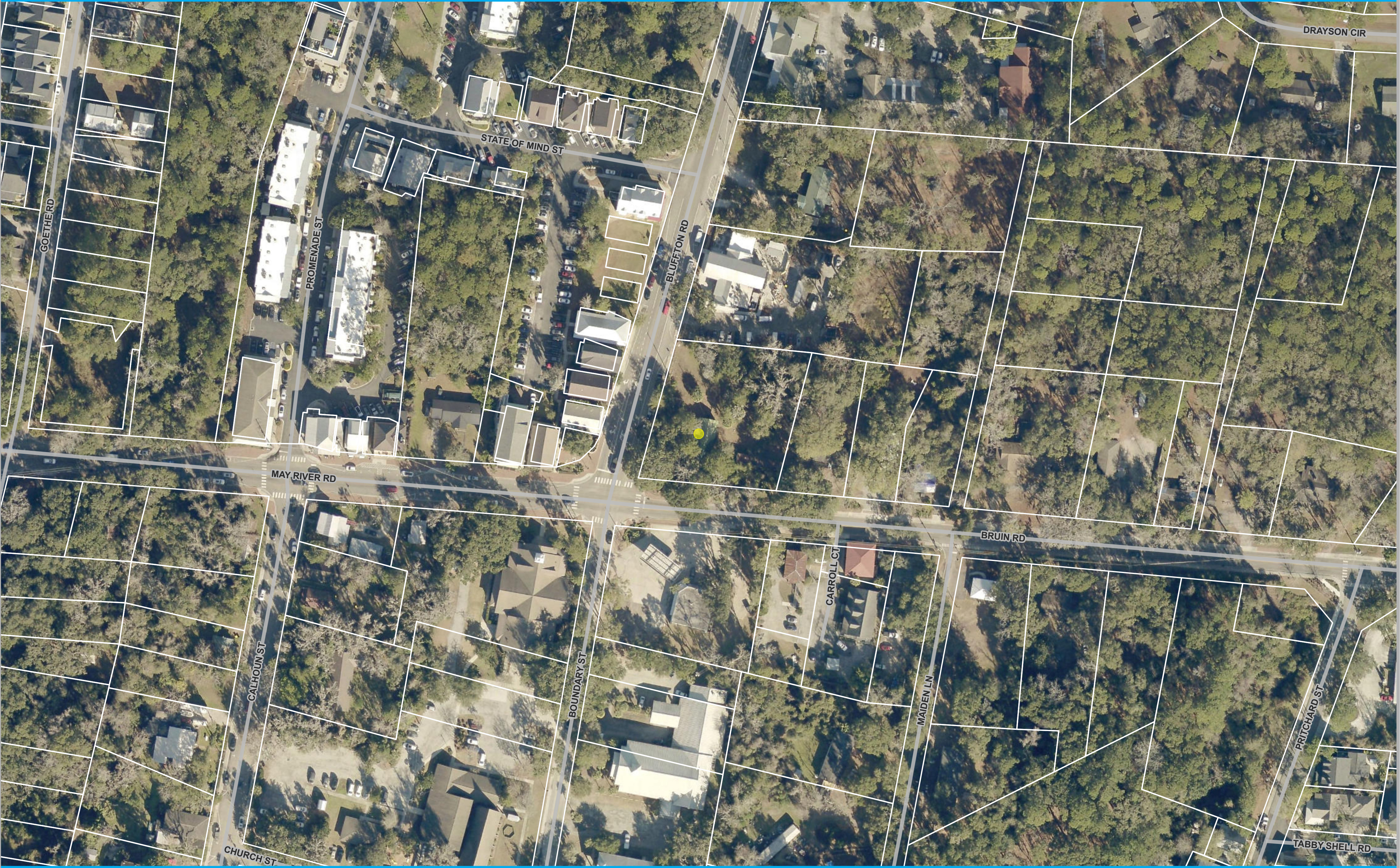
NEXT STEPS:

Designation (Removal) of a Contributing Resource Process	Step Completed	Date Completed
Step 1. Forward the Application for Designation (Removal) of a Contributing Resource Request to Historic Preservation Commission	✓	September 6, 2023
Step 2. Town Staff will forward HPC's recommendation to Town Council for consideration		Anticipated on or about September 7, 2023
Step 3. Town Council will consider HPC's recommendation at next available meeting		Anticipated October 10, 2023
Step 4. Town of Bluffton Contributing Resources Map to be Adopted by Town Council on Consent Agenda, If Removed from the Contributing Resource Map		Anticipated November 14, 2023

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative
4. Town of Bluffton, Contributing Resources Map
5. Notice of Designation, October 13, 2008
6. Survey Forms
7. Attorney Elizabeth B. Mayo letter, September 26, 2019
8. Town Staff Letter, November 12, 2019
9. Attorney Elizabeth B. Mayo letter, September 11, 2020
10. Dorothy Joiner Singleton Letter, August 24, 2021
11. Approval Letter (COFA-05-21-015377), September 7, 2021
12. Preliminary Approval Letter (COFA-03-22-016484), July 12, 2022
13. Updated Approval Letter (COFA-03-22-016484), August 5, 2022
14. Staff Email to Owner, November 18, 2022
15. Town of Bluffton Historic Preservation Grant Denial Letter, December 1, 2022
16. Historic Preservation Commission Appeal Order, June 6, 2023

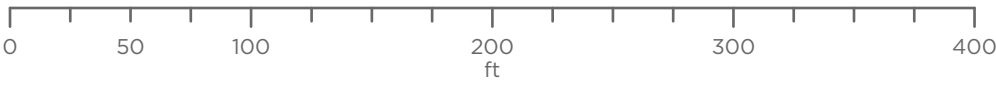
Joiner House Location Map



● Override 1
Info Layer

■ Red: Red
■ Green: Green

■ Blue: Blue



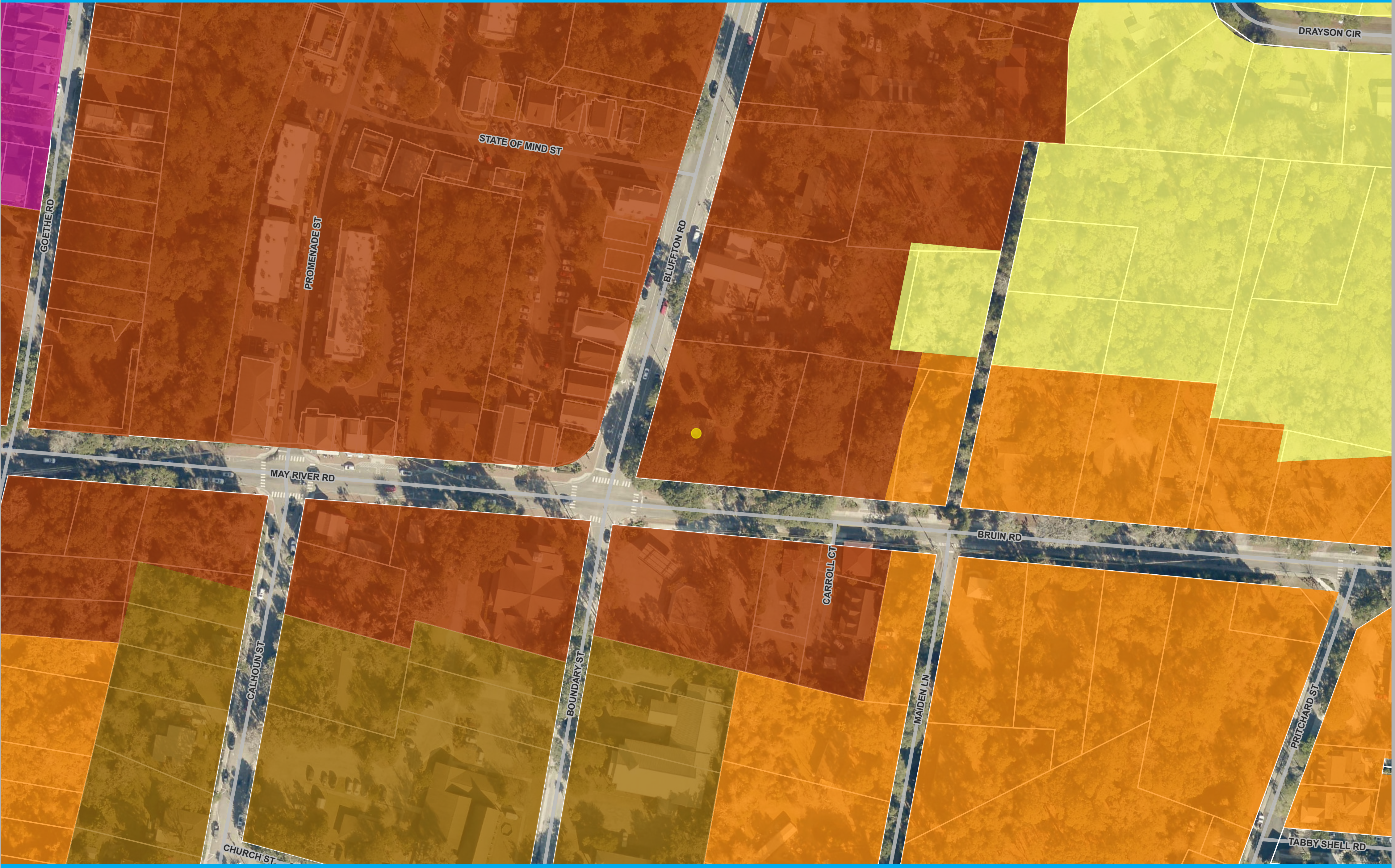
8/15/2023

Map Prepared By:



This map was created by the Town of Bluffton and is solely intended to be used as a graphical representation for the Town of Bluffton. The maps and data distributed by the Town of Bluffton are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or suitability for any purpose of the information or data contained in or generated from the Town of Bluffton's information system.

Joiner House Zoning Map



- Override 1

Info Layer

Residential General
- Neighborhood Core

Neighborhood General-HD

Neighborhood Center-HD
- Neighborhood Core-HD

Red: Red

Green: Green

Blue: Blue



8/15/2023

Map Prepared By:





TOWN OF BLUFFTON

DESIGNATION OF CONTRIBUTING RESOURCE
REMOVAL

(843) 706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: <i>Melanie + Eugene Marks</i>	Name: <i>JAME</i>		
Phone: <i>203-856-6270</i>	Phone: <i>"</i>		
Mailing Address: <i>55 Flicker Street Bluffton, SC 29910</i>	Mailing Address: <i>"</i>		
E-mail: <i>CTHOUSE HISTORIES @ AOL.COM</i>	E-mail: <i>"</i>		
Town Business License # (if applicable):			
Project Information			
Project Name: <i>Joiner House</i>			
Project Location: <i>9 Bruin Road District</i>			
Zoning District: <i>Old Town Bluffton Historic and zoned Neighborhood Core-HD</i>			
Tax Map Number(s): <i>R610 039 00 A 0021 0000</i>			
Project Description: <i>Removal of structure from Contributing Resource List and FROM THE HRI Forms</i>			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <i>attached</i>			
<input type="checkbox"/> 2. Mandatory Check In Meeting scheduled.			
<input type="checkbox"/> 3. Comprehensive color photograph documentation of the interior and exterior of the structure.			
<input type="checkbox"/> 4. Documentation demonstrating the age and historical or architectural significance of the structure.			
<input type="checkbox"/> 5. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note:		A Pre-Application Meeting is required prior to Application submittal.	
Disclaimer:		The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.	
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Melanie Marks</i>		Date: <i>6-12-2023</i>	
Applicant Signature: <i>Melanie Marks</i>		Date: <i>6-12-2023</i>	
For Office Use			
Application Number: <i>PCR-16-23-018161</i>		Date Received:	
Received By: <i>R. Kujala</i>		Date Approved:	

REMOVED



ATTACHMENT 3

TOWN OF BLUFFTON

DESIGNATION OF CONTRIBUTING STRUCTURE PROCESS NARRATIVE

Section IX. Item #2.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Designation of Contributing Resource Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Designation of Contributing Resource Application and required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 3. Review by UDO Administrator	Staff
If the UDO Administrator or designee determines that the Designation of Contributing Resource Application is complete, it shall be forwarded to the Historic Preservation Commission (HPC).	
Step 4. Historic Preservation Commission Public Hearing	Applicant, Staff & Historic Preservation Commission
The Historic Preservation Commission (HPC) shall hold a public hearing and review the Designation of Contributing Resource Application for compliance with the criteria and provisions in the UDO. The HPC may recommend that Town Council approve, approve with conditions, or deny the application.	
Step 5. Town Council Meeting	Applicant, Staff & Town Council
Town Council shall review the Designation of Contributing Resource Application for compliance with the criteria and provisions in the UDO. Town Council may approve, approve with conditions, or deny the application.	
Step 6. Listing on Inventory of Historic Places	Staff
If the Town Council approves the Designation of Contributing Resource Application, the UDO Administrator or designee shall add the Contributing Resource to the Contributing Resource Map.	

ATTACHMENT 3

Section IX. Item #2.

From: cthousehistories@aol.com,
To: hcolin@townofbluffton.com,
Cc: gumberger@townofbluffton.com, kpeterson@townofbluffton.com, ssteese@townofbluffton.com,
Subject: Removal of the Historic Resource Inventory (HRI) for the Joiner Property
Date: Thu, Jun 8, 2023 4:05 pm

Heather,

Following up on the HPC discussion towards the end of last night's meeting I am formally requesting that the Joiner House (9 Bruin Road) be removed from the Historic Resource Inventory List (HRI) effective immediately. Given the original structure no longer exists, it needs to be removed from the contributing structure list and deleted from the town map showing it as such.

I also assume that notification will be sent to Brad Sauls (Supervisor of Survey, Registration, Grant and Local Government Programs at the State Historic Preservation Office (SHPO)) so that their records will also be updated.

As was stated by several HPC members last night that it is no longer a contributing structure, as well as, Antonio Aguiar (with the National Parks Service) statement in a conversation I had with him regarding the Joiner Project, he stated, "Given the original structure is no longer extant and that we now have a newly constructed building with minimal use of some of the original fabric from the original contributing structure, then this is not a historic structure anymore." He emphasized, "that new construction does not qualify as a contributing structure to a district."

To also confirm, under the definition of Contributing Structure in the UDO, it clearly states that "the complete demolition of a 'Contributing Structure' or removal of a 'Contributing Structure' from the Bluffton Historic Resource Inventory shall cause the structure to no longer be considered contributing." I do not believe that this has to go before HPC or Town Council. The UDO states it will no longer be contributing if removed from the HRI.

I think we all can safely say that based on all of the above information, there is no reason to deny it being removed.

One request I might like to make is that the actual forms remain in the binders but be stamped "No longer existing" so that should anyone wanting to research their Joiner heritage and house, can refer to the old HRI forms to see the photographs of the original structure that are contained there. This process is practiced in many cities and towns in numerous states across the country.

I know because I was on the steering committee to have Fairfield, CT's Historic Resource Inventory updated in 2008, and I am currently on the Preservation Committee for the Ridgefield Historical Society in which we are presently in the process of having that town's Historic Resource Inventory updated.

I look forward to receiving word when this has been processed.

Best,
Melanie

Contributing Resources



ATTACHMENT 4

Section IX. Item #2.



Legend

- Contributing Resources (86)
- Town Boundary
- Bluffton National Register Historic District
- Beaufort County
- May River
- Old Town Bluffton Historic District
- Marsh

0 250 500 1,000 Feet

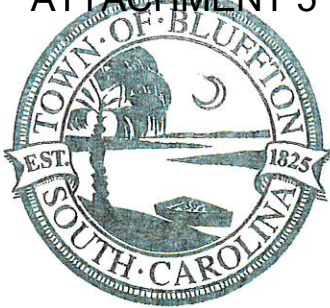
Accepted: 5/10/2022
Updated: 5/11/2022

Map Prepared By:
Ryan J. Coleman, GISP



This map was created by the Town of Bluffton and is solely intended to be used as a graphical representation for the Town of Bluffton. The risks and data distributed by the Town of Bluffton are derived from a variety of public and private sector sources considered to be dependable, but the accuracy, completeness, and currency thereof are not guaranteed. The Town of Bluffton makes no warranties, expressed or implied, as to the accuracy, completeness, currency, reliability, or availability of any particular portion of information or data contained in or generated from the Town of Bluffton GIS.

Number	Resource Name	Address
1	Lowden Home	137 Bridge St
2	Lowden Cabin	433 Bridge St
3	Guerra	
4	Guerra	
5	Guerra	
6	Guerrard's Bluff/ Cook's Cottage	127 Bridge St
7	Hancock Long House	123 Bridge St
8	Hope House	121 Bridge St
9	Tyson-Derst Cottage	113 Bridge St
10	Garvin-Garvey House	101 Bridge St
11	Oyster Factory Site	75 Wharf St
12	Orange Cottage	92 Bridge St
13	40 Colcock Street	40 Colcock St
14	Colcock Teel House	46 Colcock St
15	Cedar Bluff	53 Colcock St
16	Sarah Riley Hooks Cottage	76 Bridge St
17	Fripp-Lowden House	80 Calhoun St
18	Seven Oaks	82 Calhoun St
19	Lawrence Lee Home	2 Water St
20	Huger Gordon House	6 Water St
21	Church of the Cross	110 Calhoun St
22	Allen-Lockwood House	94 Calhoun St
23	Bluffton United Methodist Church	101 Calhoun St
24	Squire Pope Carriage House	111 Calhoun St
25	Whitney Cottage	10 Water St
26	The Bluff	130 Pritchard St
27	Pritchard House	131 Pritchard St
28	Pritchard Street Cottage	131 Pritchard St
29	115-A Pritchard Street	115-A Pritchard St
30	St. John's Baptist Church	103 Pritchard St
31	Pine House	95 Boundary St
32	Card House	34 Bridge St
33	Fripp House	48 Bridge St
34	Bluffton Post Office	41 Bridge St
35	The Rate	45 Bridge St
36	Cantrell House	84 Boundary St
37	Graves House	85 Calhoun St
38	Gulford House	82 Boundary St
39	Heyward House	70 Boundary St
40	Heyward House - Slave Quarters	70 Boundary St
41	Heyward House - Summer Kitchen	70 Boundary St
42	Old School House	60 Pritchard St
43	Board and Batten House	43 Boundary St
44	38 Boundary Street	38 Boundary St
45	Campbell Chapel AME Church	23 Boundary St
46	Simmons-Joiner House	12 Bruin Rd
47	Old Bruin Cottage	6 Bruin Rd
48	Joiner House	9 Bruin Rd
49	The Praise House	1300 May River Rd
50	Cordray House	1 Calhoun St
51	Robert Bruin Cottage	5 Calhoun St
52	Baldy Bruin's Store	5A Calhoun St
53	Bluffton Tabernacle	10 Church St
54	Pluff Mudd Art	27 Calhoun St
55	37 Calhoun St	37 Calhoun St
56	Calhoun Street Café	3 Lawton St
57	Fishbone Gallery and Gifts	45 Calhoun St
58	Beech House	65 Lawrence St
59	Peoples' Store	56 Calhoun St
60	Peoples' Barn	56 Calhoun St
61	John A. Seabrook House	47 Lawrence St
62	Mulligan House	44 Calhoun St
63	Carson Cottage	38 Calhoun St
64	D. Hasell Heyward Sr. House	32 Calhoun St
65	Patz Brothers' House	26 Calhoun St
66	Planters Mercantile Building	20 Calhoun St
67	12 Calhoun Street	12 Calhoun St
68	Martin Abston's Store	4 Calhoun St
69	Coburn House	1288 May River Rd
70	Coburn Liquor Store / Red Dot	1282 May River Rd
71	Bruin House	1281 May River Rd
72	Ed and Lize Johnson Home	15 Dubois Ln
73	Nathaniel Brown's Cottage	1268 May River Rd
74	7 Shults Road	7 Shults Rd
75	Bluffton Health Center	1261 May River Rd
76	Corinne Heyward Home	3 Wharf St
77	Deer Tongue Warehouse	1257 May River Rd
78	Williams Cottage	1253 May River Rd Unit-A
79	Hugh O'Quinn Cottage	1256 May River Rd
80	1233 May River Rd	1233 May River Rd
81	Cogwell Cottage	1244 May River Rd
82	Abraham Gadsdon House	358 Thomas Heyward St
83	48 Guerrard Avenue	48 Guerrard Avenue
84	Nellie and Leroy Brown Cottage	1261 May River Rd
85	Heyward Cove	
86	Huger Cove	



HENRY "HANK" JOHNSTON
Mayor

LISA SULKA
Mayor Pro Tempore

W.D. WORKMAN III
Town Manager

Council Members
CHARLES WETMORE
OLIVER BROWN
FRED HAMILTON JR.
SANDRA LUNCEFORD
Town Clerk

October 13, 2008

Hrs of Bessie Joiner
PO Box 21581
Hilton Head Island, SC 29928

RE: 209 Bluffton Rd (R610 039 00A 0021 0000) (survey # 107)

Dear Sir;

The Historic Preservation Commission and the Town of Bluffton Planning and Growth Management Staff are in the process of updating the Historic Resources Survey. According to Town records, a structure on your property was constructed in 1930 and therefore was listed as a contributing historic structure to the Old Town's Historic Preservation Overlay District on the 1994 Historic Resources survey.

The Historic Preservation Commission reviewed the proposed updates to the Historic Resources Survey at the September 3, 2008 meeting and recommended that your structure maintain its listing as an historic building. The updates to the Historic Resources Survey must be approved by Town Council at two (2) separate Town Council meetings. Town Council will vote on the proposed updates at the Council meetings on Tuesday October 21, 2008 and Thursday November 20, 2008. Both meetings will be held at 6:00 PM at Bluffton Town Hall.

Please contact me at (843) 706-4510 ext. 4521 if you have any questions regarding the survey.

Sincerely,

Maggie O'Brien
Community Preservation Planner

COPY

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits. 		A. Signature X <i>Vernie Singleton</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
1. Article Addressed to: HRS OF BESSIE JOINER PO BOX 21581 HILTON HEAD ISLAND, SC 29928		B. Received by (Printed Name) <i>Vernie Singleton</i>	C. Date of Delivery
		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
		3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input checked="" type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
2. Article Number (Transfer from service label)		7008 0500 0000 2554 7234	
PS Form 3811, February 2004		Domestic Return Receipt	
		102595-02-M-1540	

ATTACHMENT 6



other (0)

ATTACHMENT 6

Section IX. Item #2.

K) CONSTRUCTION METHOD

- masonry (1)
- frame ~~(2)~~
- log (3)
- steel (4)
- other (0)

L) EXTERIOR WALLS

- weatherboard ~~(1)~~
- beaded weatherboard (2)
- shiplap (3)
- flushboard (4)
- wood shingle (5)
- stucco (6)
- tabby (7)
- brick (8)
- brick veneer (9)
- stone veneer (10)
- cast-stone (11)
- marble (12)
- asphalt roll (13)
- synthetic siding (14)
- asbestos shingle (15)
- pigmented structural glass (16)
- other (0)

M) PORCH DETAILS

- chamfered posts (1)
- turned posts (2)
- supports on pedestals (3)
- columns (4)
- posts ~~(5)~~
- piers (6)
- pillars (7)
- freestanding posts (8)
- balustrade (9)
- apron wall (10)
- turned balusters (11)
- decorative sawn balusters (12)
- slat balusters (13)
- other sawn/turned work (14)
- insect screening ~~(15)~~
- porte cochere (16)
- other (0)

N) CHIMNEY MATERIAL

- brick ~~(1)~~
- stuccoed brick (2)
- stone (3)
- brick & stone (4)
- other (0)

O) ROOF MATERIAL

- composition shingle (1)
- pressed metal shingle (2)
- wood shingle (3)
- slate (4)
- raised seam metal ~~(5)~~
- other metal (6)
- rolled roofing (7)
- not visible (8)
- tile (9)
- other (0)

P) FOUNDATION

- not visible (1)
- brick pier ~~(2)~~
- brick pier with fill ~~(3)~~
- brick (4)
- stuccoed masonry (5)
- stone pier (6)
- stone (7)
- concrete block (8)
- slab construction (9)
- basement (10)
- raised basement (11)
- other (0)

Q) DECORATIVE MATERIAL

- cast iron (1)
- pressed metal (2)
- terra cotta (3)
- granite (4)
- marble (5)
- cast stone (6)
- brick (7)
- wood ~~(8)~~
- pigmented glass (9)
- stone (10)
- stucco (11)
- other (0)

R) INTERIOR FEATURES (list)

18. HISTORIC OUTBUILDINGS AND STRUCTURES:

- none (1)
- none visible (2)
- garage ~~(3)~~
- garage w/living area (4)
- shed (5)
- kitchen (6)

- tenant house (7)
- other house (8)
- office (9)
- barn (10)
- tobacco barn (11)
- dairy (12)

- crib (13)
- smokehouse (14)
- slave house (15)
- privy (16)
- well (17)
- springhouse (18)

- store ~~(19)~~
- windmill (20)
- chicken coop (21)
- silo (22)
- washhouse (23)
- root cellar (24)
- other (0)

19. SURROUNDINGS: residential ~~(1)~~ residential/commercial (2) commercial ~~(3)~~ rural (4) rural community (5) industrial (6) other (0)

20. ADDITIONAL DESCRIPTIVE COMMENTS: 17(p) porch & rear has pierced brick wall fill 17(a) exposed rafters
18 garage wood shingle w/ metal roof & doors; store of plywood w/ bungalow window that makes it appear historic, but date uncertain

21. ALTERATIONS iron supports for side door stoop; rear (N) facade particle board

HISTORICAL INFORMATION

22. Theme(s): _____ 23. Period(s): _____ 24. Important persons: _____

25. Architect(s): _____ Source: _____

26. Builder(s): _____ Source: _____

27. Historical data _____

28. Informant/Bibliography _____

PROGRAM MANAGEMENT

29. Quadrangle name: Bluffton 30. Photographs: prints ~~(1)~~ slides (2) negatives ~~(3)~~

31. Other documentation: survey back-up files (1) National Register files (2) tax act files (3) grant files (4) state historical marker files (5) environmental review files (6) HABS/HAER (7) SCIAA (8) other (0) _____ # _____

32. Recorder name/firm Jennifer D. Brown 33. Date recorded 7/28/94

ATTACHMENT 6

Section IX. Item #2.

Control Number 4 / 13 / 0155 / 046-0107
county census designated place site #

Continuation:



(Use grid for sketching)

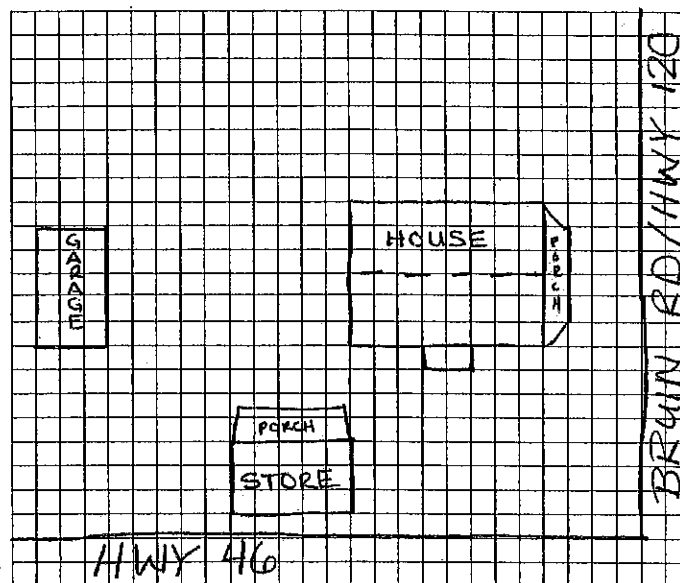


Photo #	Photo Index #	View of	N, S, E, W
_____	<u>R3,F15</u>	<u>S facade</u>	<u>NE</u>
_____	<u>R3,F16</u>	<u>N facade</u>	<u>SE</u>
_____	<u>R3,F17</u>	<u>store (N fac)</u>	<u>SE</u>
_____	<u>R3,F18</u>	<u>garage (W fac)</u>	<u>E</u>

Date Taken/Recorded by: 8-5-94/JDBrown

Statewide Survey of Historic Resources

State Historic Preservation Office
 South Carolina Department of Archives and History
 8301 Parklane Road
 Columbia, SC 29223-4905 (803) 896-6100

Control Number: 016-10-010

Status County Site No.

Quadrangle Name: 046

Tax Number: R610 039 00A 0021 0000

Intensive Survey Form**Identification**

Historic Name: Joiner house

Common Name:

Address/Location: 209 Bluffton Rd

City: Bluffton

County: Beaufort

Vicinity of:

Ownership: ☒ Private ☐ State
☐ Corporate ☐ Federal
☐ City ☐ Unknown/Other
☐ County

Category: ☒ Building
☐ Site
☐ Structure
☐ Object

Historical Use: ☒ single dwelling ☐ commercial
☐ multi dwelling ☐ other

Current Use: ☒ single dwelling ☐ commercial
☐ multi dwelling ☐ other

SHPO National Register Determination of Eligibility:

☐ Eligible ☐ Potentially Eligible
☐ Not Eligible ☐ Listed
☐ Contributes to Eligible District ☐ Determined Eligible/Owner Objection
☐ Contributes to Listed District ☐ Removed from NR

Other Designation:

Property Description

Construction Date: c. 1930

Alteration Date:

Commercial Form:

Stories:

☐ 1 1/2 Stories
☐ 2 Stories
☐ 2 1/2 Stories
☐ Stories
☒ Other: 1 Story

Construction Method:

☒ Frame
☐ Log
☐ Steel
☐ Other:

Historic Core Shape:

☒ Rectangular ☐ H
☐ Square ☐ Octagonal
☐ L ☐ Irregular
☐ T ☐ Other:
☐ U

Exterior Walls:

☒ Weatherboard
☐ Beaded Weatherboard
☐ Shiplap
☐ Flushboard
☐ Wood Shingle
☐ Stucco

☐ Tabby ☐ Asphalt roll
☐ Brick ☐ Synthetic siding
☐ Brick Veneer ☐ Asbestos shingle
☐ Stone Veneer ☐ Pigmented Structural Glass
☐ Cast-Stone ☐ Other:
☐ Marble

Roof Features

Materials: raised seam metal

Shape: gable, end to front

Foundation:

☐ Not Visible
☐ Brick Pier
☒ Brick Pier with Fill
☐ Brick

☐ Stuccoed Masonry
☐ Stone Pier
☐ Stone
☐ Concrete Block

☐ Slab Construction
☐ Basement
☐ Raised Basement
☐ Other:

Porch Features

Width: full facade

Shape: hip

Significant Architectural Features: screened front porch with brick entry steps; side entry stoop; doors – 6 lights above 3 horiz. panels, orig. hardware and surround; windows – paired dbl-hung 6/1, orig. surrounds; open eaves with exposed rafters dbl louvered vent

South Carolina Statewide Survey of Historic Resources

Intensive Survey Form

Site No.: 046-0107

Alterations: rear addition (containing bathroom)

Architect(s)/Builder(s): Believed to have been constructed for Bertram Joiner.

Historical Information

Historical Information: On May 16, 1881 Mary E. Martin and Gabrilla Chancelor sold this 1-acre corner lot to Joseph Joiner. Joiner's 1913 will conveyed the lot to his children. Following the death of his siblings, Bertram Joiner deeded the lot to Bessie E. Joiner on Jan. 23, 1954. The property was conveyed to her children after her death in 1965.

Source of Information: Beaufort County Deeds Office

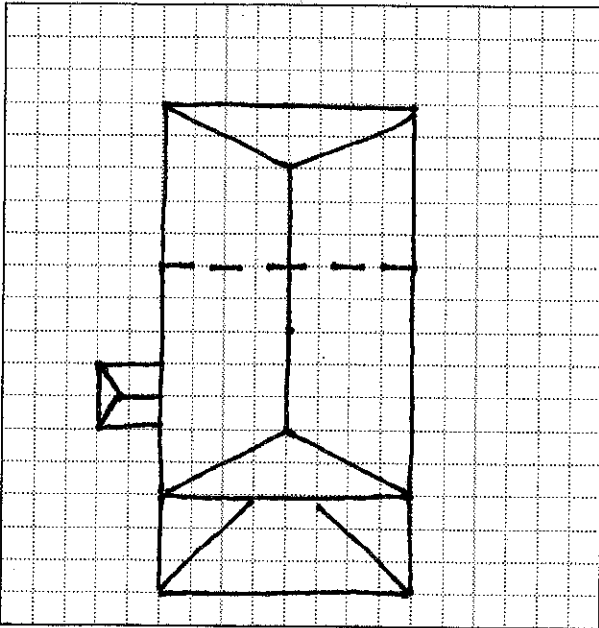
Photographs

Roll No. Neg. No. View of

1	3	South Elevation
1	4	Southwestern Oblique
1	5	Northwestern Oblique

Use Grid for Sketching

Attach Photographs Here

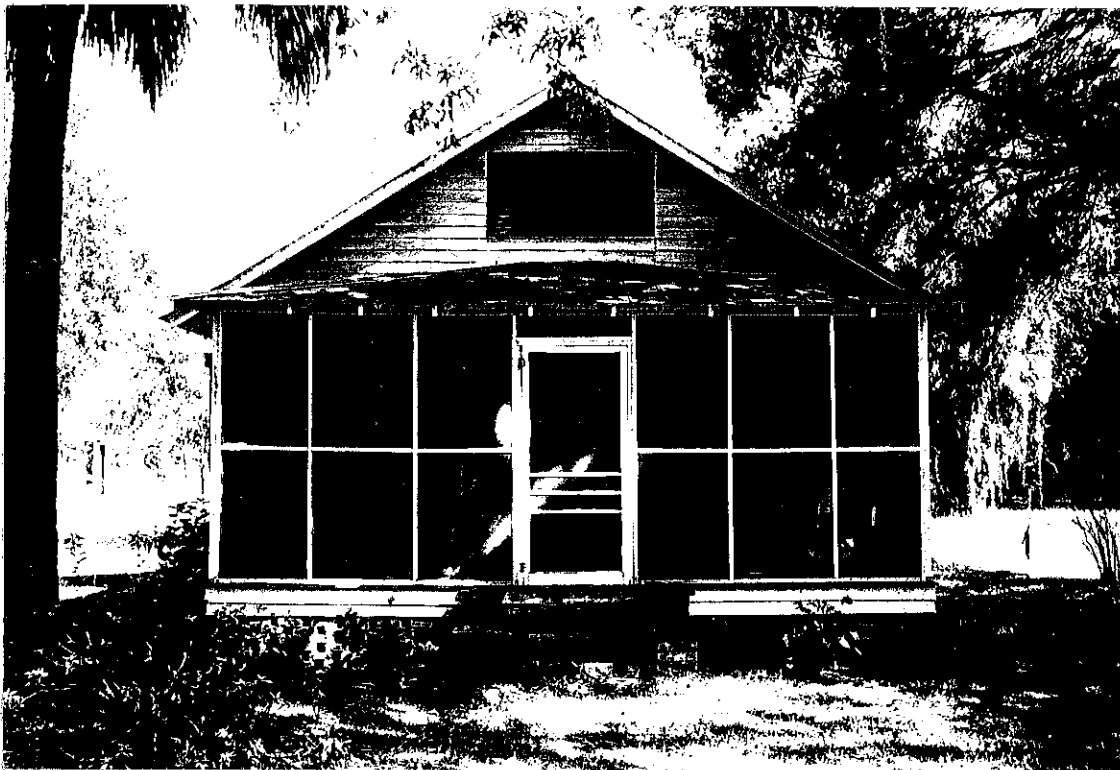


Program Management

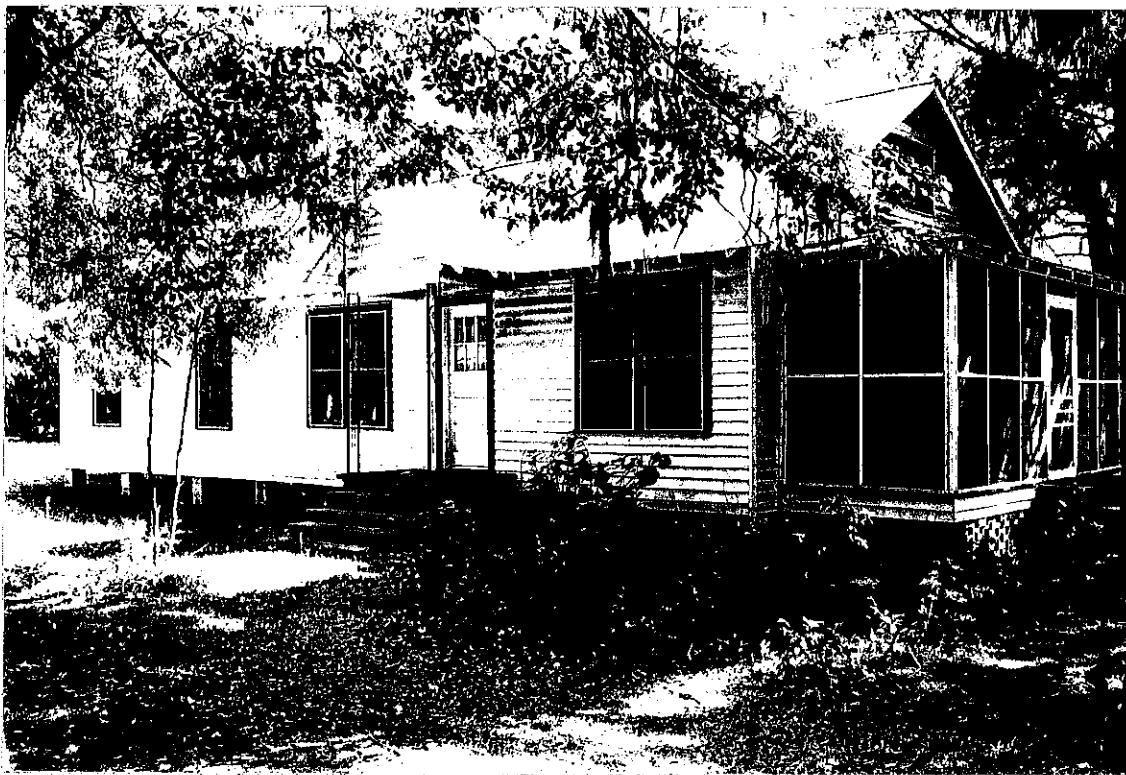
Recorded by: Margaret E. Martin

PRESCON Consulting

Date Recorded: 19 September 2001



Roll No. 1, Neg. No. 3 - South Elevation



Roll No. 1, Neg. No. 4 - Southwestern Oblique



Roll No. 1, Neg. No. 5 - Northwestern Oblique

ATTACHMENT 6

South Carolina Statewide Survey of Historic Properties Intensive Survey Form

Section IX. Item #2.

Site No.: U / 13 / 046-0107

Alterations: Iron supports for side door stop. Rear façade particle board.

Architect(s)/Builder(s):

Historical Information

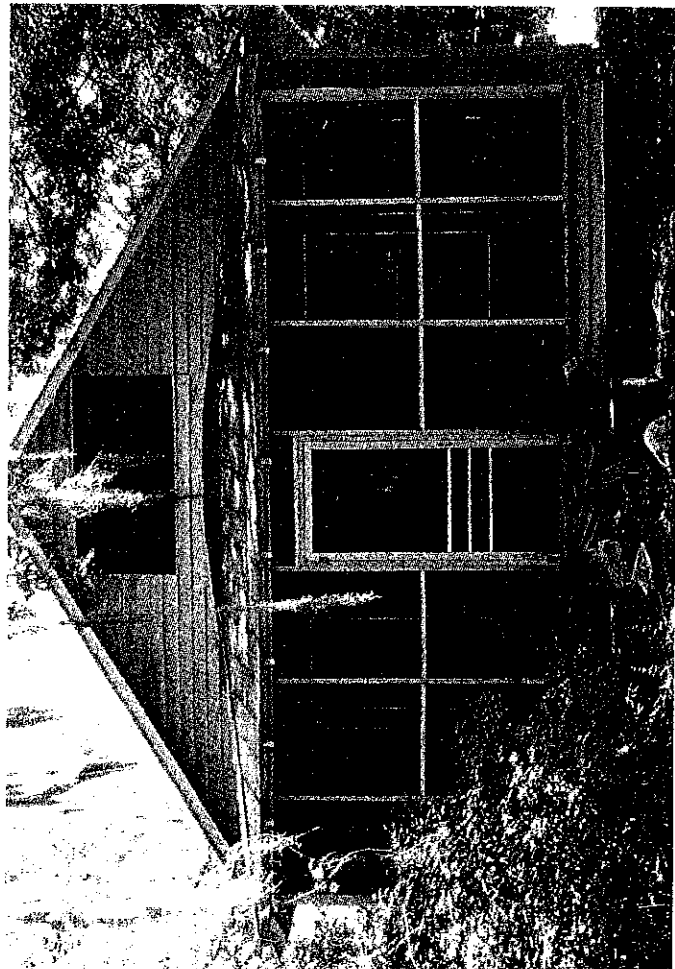
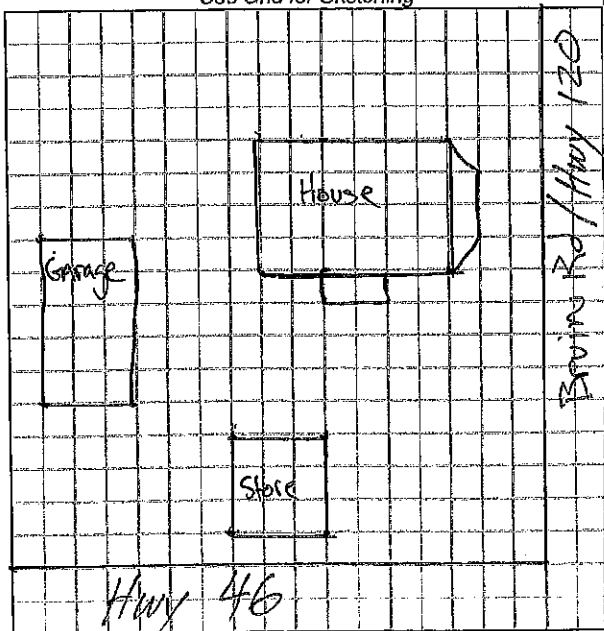
Historical Information:

Source of Information:

Photographs

Roll No. Neg. No. View of

Use Grid for Sketching



Program Management

Recorded by: Will Thompson

Maggie O'Brien

Date Recorded: July 1, 2008

ATTACHMENT 6

Section IX. Item #2.

Statewide Survey of Historic Properties

State Historic Preservation Office
 South Carolina Department of Archives and History
 8301 Parklane Road
 Columbia, SC 29223-4905 (803) 896-6100

U / 046-0107

Revisit: ☒

Status Site No.

Quadrangle Name: Bluffton

Tax Map No.: R610 039 00A 0021 0000

Survey Form**Identification**

Historic Name: Joyner House

Common Name:

Address/Location: 9 Bruin Road

City: Bluffton

Vicinity of ☐

County: Beaufort

Ownership: Private

Category: Building

Historical Use: Domestic

Historical Use (if Other):

Current Use: Domestic

Current Use (if Other):

SHPO National Register Determination of Eligibility:

Property Description

Construction Date: c 1930

Construction: Frame

Construction (if Other):

Historic Core Shape: Rectangular

Historic Core Shape (if Other):

Exterior Walls: Weatherboard

Exterior Walls (if Other):

Foundation: Brick pier

Foundation (if Other): And concrete block

Commercial Form:

Commercial Form (if Other):

Roof Shape: Gable, end to front

Roof Shape (if Other):

Roof Materials: Raised seam metal

Roof Materials (if Other):

Stories: 1 story

Stories (if Other):

Porch Width: Over 1 bay but < full facade

Porch Width (if Other):

Porch Shape: Hip

Porch Shape (if Other):

Description/Significant Features: 1-story wood frame gabled cottage with exposed rafters, hipped front porch, gable vents, and central symmetrical fenestration pattern at front elev. Currently cottage and outbuilding (both in disrepair) on property.

Alterations (include date(s), if known) Possible porch roofed addition on west elevation.

Architect(s)/Builder(s):

**South Carolina Statewide Survey of Historic Properties
Survey Form**

Site No.: 046-0107

Historical Information

Historical Information: Believed to be constructed for Bertram Joiner. Joiner purchased the lot on 05/16/1881 and passed it down to his children in 1913.

Source of Information: 2001 Survey Form

Digital Photo ID(s):

Digital Photo ID 01:	107002	Digital Photo ID 06:
View 01	facing N	View 06
Digital Photo ID 02:	107003	Digital Photo ID 07:
View 02	facing NW	View 07
Digital Photo ID 03:	107001	Digital Photo ID 08:
View 03	W elevation, facing	View 08
Digital Photo ID 04:		Digital Photo ID 09:
View 04		View 09
Digital Photo ID 05:		Digital Photo ID 10:
View 05		View 10

Program Management

Recorded by: Lannie Kittrell

Organization: Brockington

Date Recorded: 1/16/2019

**NOVIT &
SCARMINACH, P. A.***Attorneys at Law*

CHARLES A. SCARMINACH*
 DANIEL A. SAXON
 CATHERINE A. SCARMINACH**
 ROBERT M. DEEB, Jr.

OF COUNSEL
 ELIZABETH B. MAYO+
 HERBERT L. NOVIT

Elizabeth B. Mayo
 Email: emayo@ns-lawfirm.com

HILTON HEAD ISLAND:
 THE JADE BUILDING, SUITE 400
 52 NEW ORLEANS ROAD
 POST OFFICE DRAWER 14
 HILTON HEAD ISLAND, SC 29938
 (843) 785-5850
 FAX: (843) 785-2090

ALSO MEMBER NEW YORK BAR*
 ALSO MEMBER OHIO BAR+
 ALSO MEMBER TENNESSEE
 BAR**

September 26, 2019

Marc Orlando, ICMA-CM, AICP
 Town Manager -Town of Bluffton
 20 Bridge Street
 Bluffton, SC 29910

Re: 9 Bruin Road
 Bluffton, SC

Dear Mr. Orlando:

This letter requests the removal of the structure located at 9 Bruin Road (the 'Property') owned by my clients, the Heirs of Bessie Joinder, as a contributing structure in the Old Town section of Bluffton. The property is not in the Historic District but was listed as a contributing structure in the South Carolina Statewide Survey of Historic Resources prepared in 1994 and 2008.

The Property which is comprised on two structures¹ – a house and a small open air shed. The house is comprised of two parts. Per the South Carolina Statewide Survey Site Form completed in 1994² ("Exhibit A"), the original "half", i.e., the northern portion of the structure, was constructed "c1930". This section of the structure has been significantly modified over the years including substantial reconstruction in the late-1990s using "common construction materials" after it was substantially destroyed due to extensive fire damage. The other "half" of the structure was built as an add-on in the late 1940s³. It is structurally unsound and unfit for occupancy with no inherent extraordinary or significant features.⁴

Based on an inspection of the property by a structural engineer in mid-2019 ("Exhibit B"), it would not be cost-effective to rehabilitate the property and the structures should be demolished. The shed appears to be derelict and a potential public nuisance; upon inspection, the shed appears to have recently been inhabited by animals and/or homeless individuals.

1 The "garage" listed on Exhibit A has subsequently been either demolished or has fallen down.

2 Note that the Form does not indicate that the structure was "contributing".

3 The Beaufort County real property tax records indicated that this portion was built in 1946.

4 Note the original portion of the structure was over fifty years old in 1994 but the "add-on" was not.

Photographs of the Property are included in Exhibit B.

When the property was determined to be an historic resource, the Town's Unified Development Ordinance ("UDO") had not yet been adopted. It is our understanding that the criteria used to determine "historic resource" status in 1994 was South Carolina Regulation's Section 12-122 and 123. Those regulations provide a non-exclusive list of four Categories of Significance that may apply in the case of buildings over 50 years old. The four Categories are:

1. Architecture;
2. Culture;
3. Engineering; and
4. History.

Due to the modifications to the original half of the structure after the fire and the common construction of the add-on portion, we believe that the structure has no historical, architectural, cultural or engineering significance and should not have been placed on the contributing structure list. The structure meets none of the Section 12-123 criteria other than being over fifty years old.

Turning to the UDO which was not adopted when the Property was determined to be an historic resource, none of the ten criteria set forth for purposes of determining "Contributing Structure" status set forth in UDO Section 3.25 apply to the Property.

Finally, we are not able to determine if the owners of the property were ever made aware of the possibility or the fact that the property was being considered a contributing structure or had become one. In the mid-1990s, the property was vacant. Mrs. Joiner had lived in the property until her death in 1965. After her death, one of her children lived in the property until her death in 2006 and the property has sat vacant since that time.

According to the State Historic Preservation office, the initial survey upon which the historic structure designation was based was most probably communicated via "informational meetings . . . held for the general public" as well as "through local newspapers, local historical or neighborhood groups." In connection with the application for recognition on the National Register of Historic Places, because the Property is not within the Bluffton Historic District, the State Historic Preservation Office did not notify the Property owner about the National Register, i.e., the Property's status as a contributing structure. We have been unable to determine if the owners were provided with proper notice by any other means or entity.

Based upon the information set forth herein, which clearly supports the removal of the structure and the shed⁵ from the "Contributing Structure List", please initiate the process for

⁵ It is actually unclear from the records if the shed is included in the contributing structure designation.

Town Council to take the necessary procedural steps to remove the structures at 9 Bruin Road from the list of Contributing Structures.

If you have any questions or comments regarding any of the above or if you require additional information or documentation, please do not hesitate to contact me.

Yours truly,

NOVIT & SCARMINACH, P.A.



Elizabeth B. Mayo

Enclosures
cc: Dorothy J. Singleton
EBM:mfl

K) CONSTRUCTION METHOD

masonry (1)
 frame ~~(2)~~
 log (3)
 steel (4)
 other (0)

L) EXTERIOR WALLS

weatherboard ~~(3)~~
 beaded weatherboard (2)
 shiplap (3)
 flushboard (4)
 wood shingle (5)
 stucco (6)
 tabby (7)
 brick (8)
 brick veneer (9)
 stone veneer (10)
 cast-stone (11)
 marble (12)
 asphalt roll (13)
 synthetic siding (14)
 asbestos shingle (15)
 pigmented structural
 glass (16)
 other (0)

M) PORCH DETAILS

chamfered posts (1)
 turned posts (2)
 supports on pedestals (3)
 columns (4)
 posts ~~(5)~~
 pliers (6)
 pillars (7)
 freestanding posts (8)
 balustrade (9)
 apron wall (10)
 turned balusters (11)
 decorative sawn balusters (12)
 slat balusters (13)
 other sawn/turned work (14)
 insect screening ~~(15)~~
 porte cochere (16)
 other (0)

N) CHIMNEY MATERIAL

brick ~~(3)~~
 stuccoed brick (2)
 stone (3)
 brick & stone (4)
 other (0)

O) ROOF MATERIAL

composition shingle (1)
 pressed metal shingle (2)
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 slate (4)
 raised seam metal ~~(5)~~
 other metal (6)
 rolled roofing (7)
 not visible (8)
 tile (9)
 other (0)

P) FOUNDATION

not visible (1)
 brick pier ~~(2)~~
 brick pier with fill ~~(3)~~
 brick (4)
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 stone pier (6)
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 concrete block (8)
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 raised basement (11)
 other (0)

Q) DECORATIVE ELEMENT

MATERIAL
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 pressed metal (2)
 terra cotta (3)
 granite (4)
 marble (5)
 cast stone (6)
 brick (7)
 wood ~~(8)~~
 pigmented glass (9)
 stone (10)
 stucco (11)
 other (0)

R) INTERIOR FEATURES (list)**18. HISTORIC OUTBUILDINGS AND STRUCTURES:**

none (1)
 none visible (2)
 garage ~~(3)~~
 garage w/living area (4)
 shed (5)
 kitchen (6)
 tenant house (7)
 other house (8)
 office (9)
 barn (10)
 tobacco barn (11)
 dairy (12)

crib (13)
 smokehouse (14)
 slave house (15)
 privy (16)
 well (17)
 springhouse (18)

store ~~(19)~~
 windmill (20)
 chicken coop (21)
 silo (22)
 washhouse (23)
 root cellar (24)
 other (0)

19. SURROUNDINGS: residential ~~(3)~~ residential/commercial (2) commercial ~~(3)~~ rural (4) rural community (5) industrial (6) other (0)

20. ADDITIONAL DESCRIPTIVE COMMENTS: 17(p) porch & rear has pierced brick wall fill 17(n) exposed rafters 18 garage wood shingle w/ metal roof & doors; store of plywood w/ hung along window that makes it appear historic, but date uncertain

21. ALTERATIONS iron supports for side door stoop; rear (N) facade particle board

HISTORICAL INFORMATION

22. Theme(s): _____ **23. Period(s):** _____ **24. Important persons:** _____

25. Architect(s): _____ **Source:** _____

26. Builder(s): _____ **Source:** _____

27. Historical data _____

28. Informant/Bibliography _____

PROGRAM MANAGEMENT

29. Quadrangle name: Bluffton **30. Photographs:** prints ~~(1)~~ slides (2) negatives ~~(3)~~

31. Other documentation: survey back-up files (1) National Register files (2) tax act files (3) grant files (4) state historical marker files (5) environmental review files (6) HABS/HAER (7) SCIAA (8) other (0) # _____

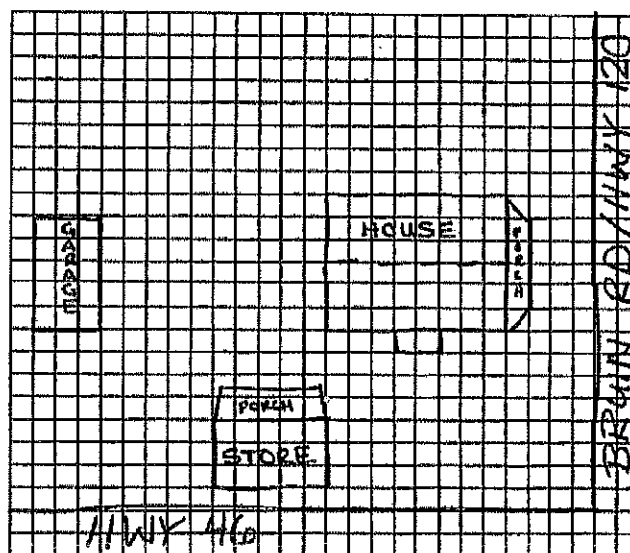
32. Recorder name/firm Jennifer D. Brown **33. Date recorded** 7 / 28 / 94

ATTACHMENT 7

Section IX. Item #2.

South Carolina Statewide Survey Site Form
CONTINUATION AND PHOTOGRAPHSControl Number U/ 13 / 0155 / 046-0107
county census designated place site #Continuation: _____

(Use grid for sketching)



(Attach photos here)

Photo #	Photo Index #	View of	N, S, E, W
_____	<u>R3, F15</u>	<u>S facade</u>	<u>NE</u>
_____	<u>R3, F16</u>	<u>N facade</u>	<u>SE</u>
_____	<u>R3, F17</u>	<u>store (N fac)</u>	<u>SE</u>
_____	<u>R3, F18</u>	<u>garage (W fac)</u>	<u>E</u>
_____	_____	_____	_____

Date Taken/Recorded by: 8-5-94/JDBrown



CPW
ENGINEERING, LLC

5 HOBONNY PLACE
HILTON HEAD ISLAND, SC 29926

LICENSED IN:

GEORGIA

NEW JERSEY

NEW YORK

NORTH CAROLINA

SOUTH CAROLINA

TENNESSEE

TEXAS

April 30, 2019

Novit & Scarminach, P.A.
The Jade Building Suite 400
Attn. Elizabeth B. Mayo, via email only to: emayo@ns-lawfirm.com
52 New Orleans Road
Hilton Head Island, SC 29928

Re: Evaluation of Building Structures
9 Bluffton Road
Bluffton, SC

Dear Ms. Mayo:

This is to follow-up the two site visits made on April 23 & 26, 2019. During the first visit, I met with Taiwan Scott who provided a brief, verbal history of the house that I inspected. The second visit was to evaluate the barbeque shed situated close to the sidewalk on Bluffton Road (S.R. 46). At the end of the written portion of this report are several photos referenced in the text.

The House

Apparently, the house has a history of a few modifications over the years since the owner used to live in the original part of the house (the northern half) which suffered a fire and was reputedly rebuilt in the mid to late 1990s. It is the portion of the house that, while run down, has a roof leak (photo 15) and shows some signs of structural fatigue, is in fair condition. It is certainly not "historic" in the sense that it is not "architecturally significant." It is comprised of common construction materials. I found that some areas of the floor had deflected, especially near the utility closet wall where the depression measured in the floor is about $\frac{3}{4}$ " in two feet (photo 16). The condition of the wood floor system seen in the crawlspace (photo 12) is in fair condition. However, it is founded on individual concrete block piers, which tend to be unstable if not tied together with grade beams. Also, it is noted that the wood floor structure is not physically tied down to these piers with metal straps.

Reputedly, the other, more deteriorated half of the house was built as an add-on to the original structure in the late 1940s. It is structurally unsound and unfit for occupancy, which thereby deems the entire building unfit for occupancy. The floor is very weak in certain areas of the hallway (photo 11) and living room (photo 13) due to deteriorated sheathing and joists. The roof framing appears inadequate (photo 14). I found a decayed perimeter beam (photo 10) and a displaced support beam (photo 8).

Based upon the overall structural condition of the building and the fact that, in my opinion, there is no inherent extraordinary or significant features; and that it would not be cost-effective to rehabilitate, I recommend that the building be demolished, thereby providing an opportunity to improve this area of "Old Town Bluffton."

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 2 of 10

The Barbeque Shed

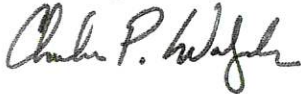
I have no historic information on this structure, but after inspecting it, it can be classified as a derelict building and potential public nuisance. As can be seen in photos 17 through 24, the building is in a state of neglect and suffers severe deterioration of its roof, floor, siding and foundation. It is unsafe to enter this structure. It appears to have harbored animals and perhaps homeless individuals.

Therefore, it is my opinion, that this shed also be scheduled for demolition.

If you have any questions, please feel free to call.

Very truly yours,

CPW Engineering, LLC



Charles P. Walczak, PE
President

ATTACHMENT 7

Section IX. Item #2.

Novit & Scarminach, P.A.
April 30, 2019
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1. West Side (facing Bluffton Road) – left: circa 1990s; right: circa 1940s



2. South Side (facing Bruin Road) – 1940s



3. North Side – 1990s

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EMAIL: CPWENGR@HARGRAY.COM

ATTACHMENT 7

Section IX. Item #2.

Novit & Scarminach, P.A.
April 30, 2019
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4. East Side



5. East Side – old section on left; rebuilt on right;



6. Northwest corner – Rebuilt section

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EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 5 of 10



7. Foundation – Rebuilt on left; old on right



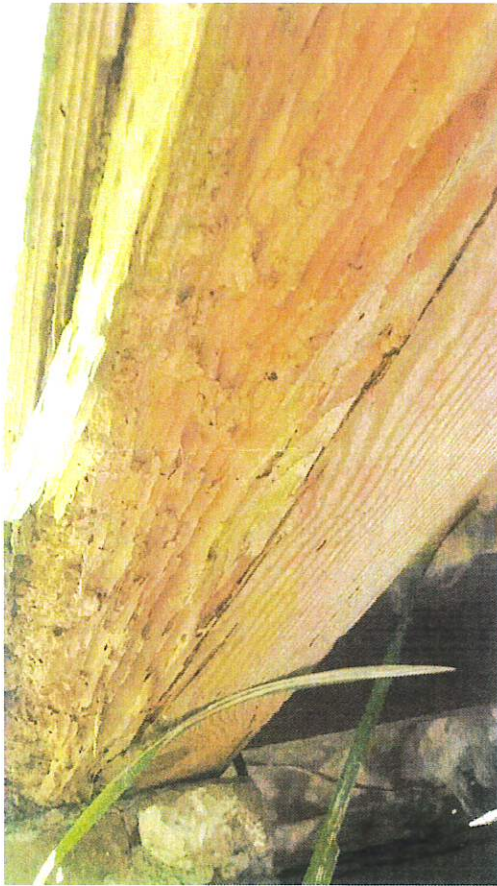
8. Crawlspace of old section (note deflected support beam)



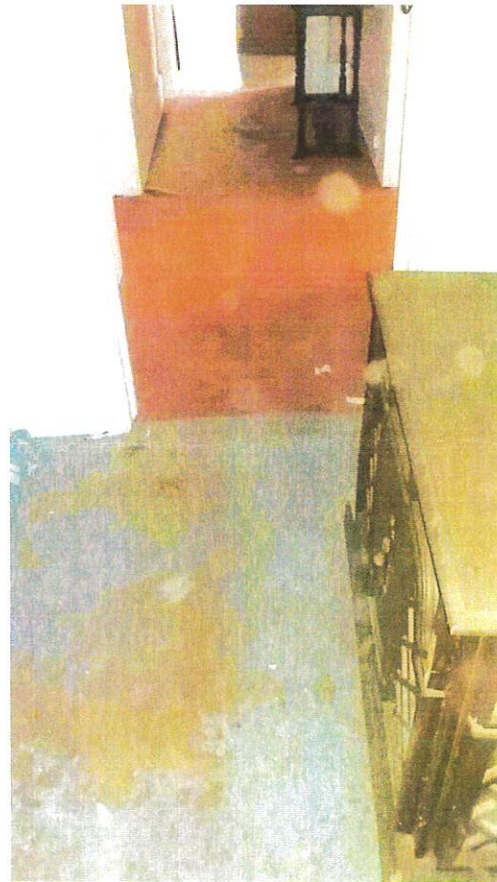
9. Brick pier of old section (mortar joint failure at base)

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EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 6 of 10



10. Decayed perimeter support beam



11. Weak/hazardous floor area (old section)



12. Crawlspace of new section

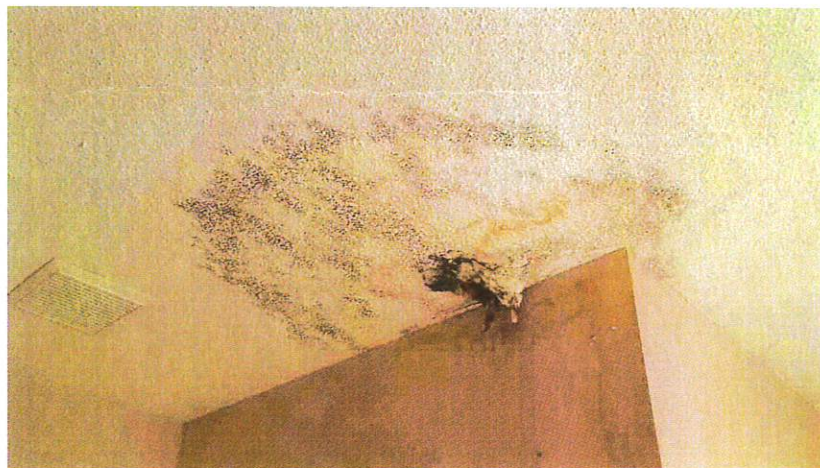
Novit & Scarminach, P.A.
April 30, 2019
Page 7 of 10



13. Weak floor near south entrance – hazardous



14. Ceiling collapse – old section. “Skeletal” roof structure.



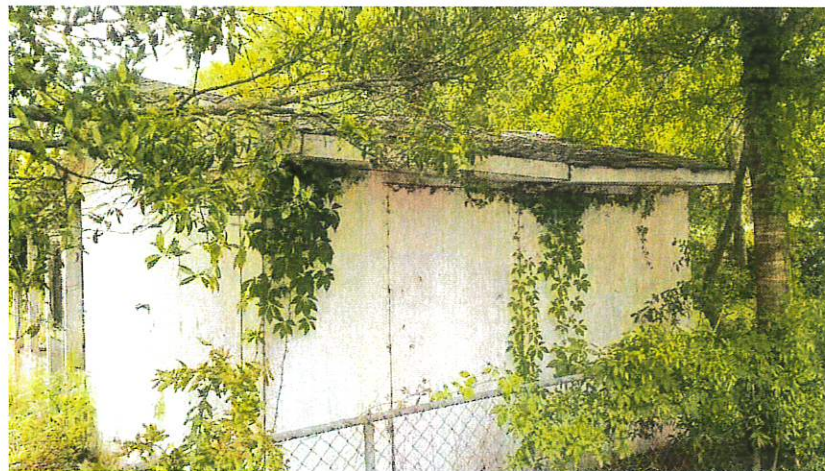
15. Roof leak – new section

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EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 8 of 10



16. Floor deflection – new section



17. West side (front) of BBQ shed, facing Bluffton road; roof deteriorated



18. East side (rear) of BBQ shed; severe deterioration

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EMAIL: CPWENGR@HARGRAY.COM

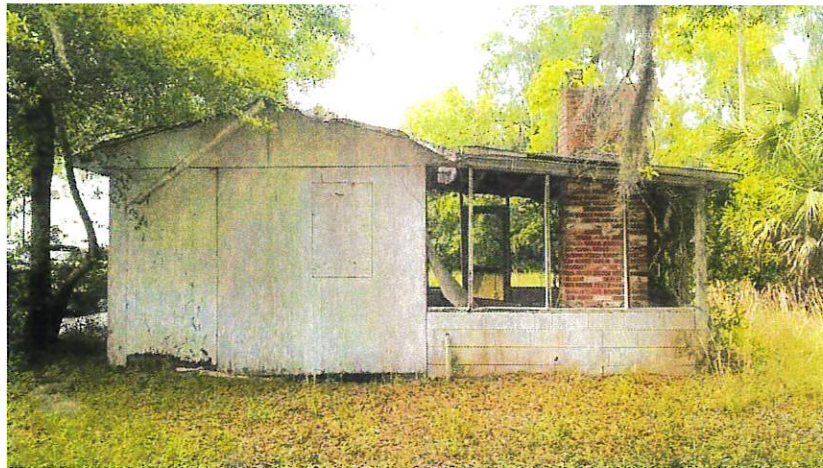
ATTACHMENT 7

Section IX. Item #2.

Novit & Scarminach, P.A.
April 30, 2019
Page 9 of 10



19. North side of BBQ shed



20. South side of BBQ shed



21. Deteriorated roof of BBQ shed

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EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 10 of 10



22. Deteriorated floor of BBQ shed

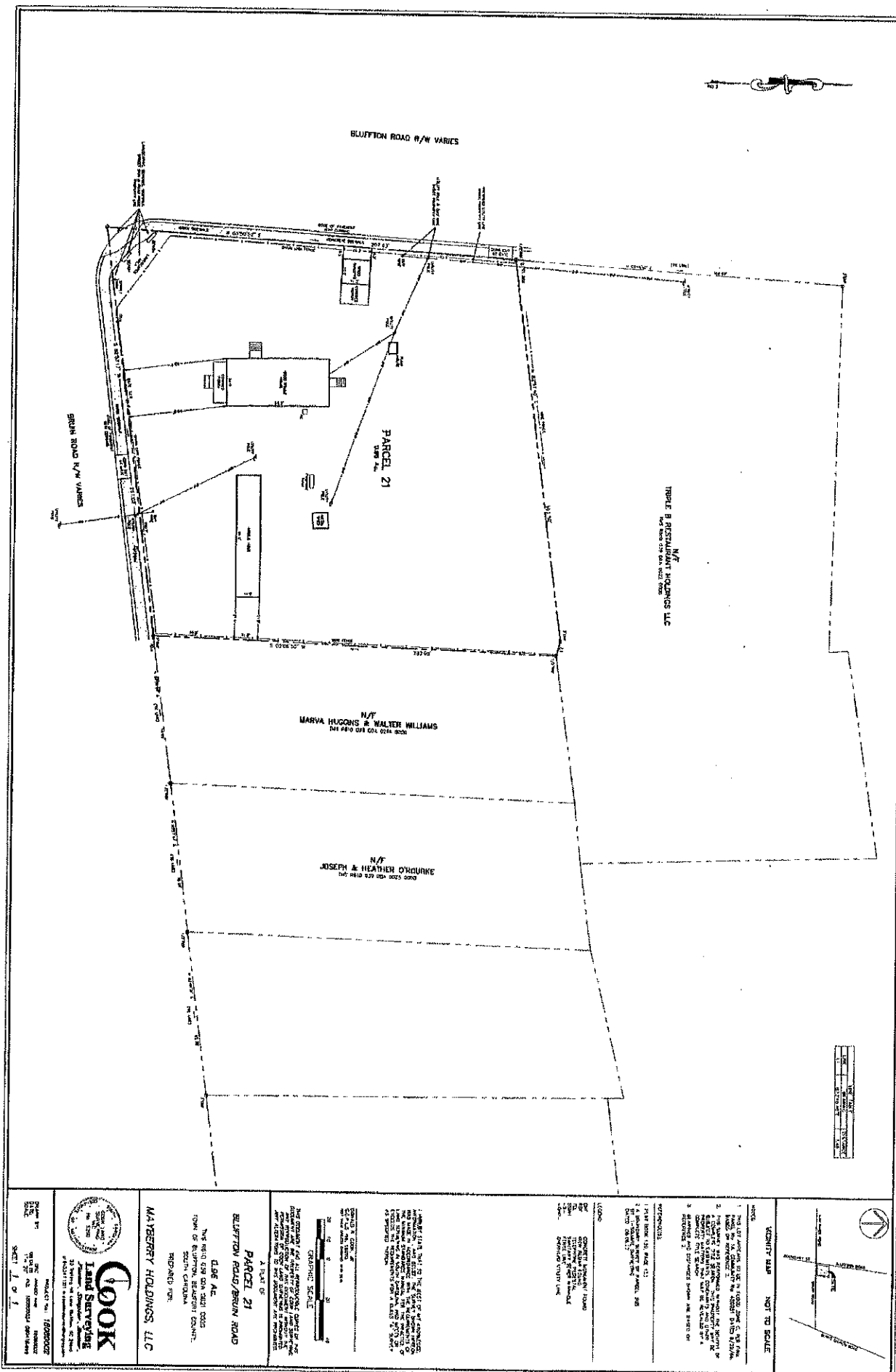


23. Foundation damage at BBQ shed



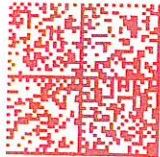
24. The barbeque pit

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM





7018 1830 0001 5135 8607



U.S. POSTAGE >>> PITNEY BOWES
 ZIP 29928 \$ 007.25⁰
 02 4W
 0000351108 OCT 16 2019

Marc Orlando, ICMA-CM, AICP
 Town Manager -Town of Bluffton
 20 Bridge Street
 Bluffton, SC 29910

ATTACHMENT 8

Section IX. Item #2.

Lisa Sulka

Mayor

Larry Toomer

Mayor Pro Tempore

Marc Orlando

Town Manager



Council Members

Fred Hamilton

Dan Wood

Harry Lutz

Kimberly Chapman

Town Clerk

November 12, 2019

Elizabeth B. Mayo, Attorney
Novit & Scarminach, P.A.
P.O. Drawer 14
Hilton Head Island, SC 29938

TRANSMITTED ELECTRONICALLY
emayo@ns-lawfirm.com

Re: 9 Bruin Road (Heirs of Bessie Joiner)

Ms. Mayo,

The Town is in receipt of your letter dated September 26, 2019 regarding your client's request to remove a structure (or structures) located on property at 9 Bruin Road ("property"). As we discussed by phone on October 30, we agree that the letter date is in error as the postmark date on the envelope shows October 16.

The property is located within the local Old Town Bluffton Historic District, and is a contributing structure within that district, but is not identified in the Bluffton National Register Historic District. It is zoned Neighborhood Core-Historic District (HD). The residential and former store structures on the property are contributing structures to the Old Town Bluffton Historic District and were initially listed in the 1994 Historic Resources Survey.

A request to demolish a contributing structure, either in whole or in part, requires the approval of the Historic Preservation Commission (HPC). The criteria to be applied for the review are listed in Sec. 3.18.3 (Application Review Criteria) and Sec. 3.18.4 (Demolition of a Contributing Structure) of the Unified Development Ordinance. Section 3.18 (Certificate of Appropriateness-Historic District), in its entirety, is enclosed.

There is a formal application process to request demolition; a pre-application meeting is required and must be requested by completing and submitting the enclosed pre-application form. If, after the pre-application meeting, demolition is still desired, an application for a Certificate of Appropriateness (COFA) must be completed and submitted for review.

If you have any questions, please do not hesitate to contact me.

Theodore D. Washington Municipal Building
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone (843) 706-4500 Fax (843) 757-6720
www.townofbluffton.sc.gov

Sincerely,



Charlotte L. Moore, AICP
Principal Planner

Enclosures (2)

cc: Marc Orlando, Town Manager
Heather Colin, Director of Growth Management

**NOVIT &
SCARMINACH, P. A.***Attorneys at Law*

CHARLES A. SCARMINACH*
 DANIEL A. SAXON
 CATHERINE A. SCARMINACH**
 ROBERT M. DEEB, Jr.

OF COUNSEL
 ELIZABETH B. MAYO+
 HERBERT L. NOVIT

Elizabeth B. Mayo
 Email: emayo@ns-lawfirm.com

HILTON HEAD ISLAND:
 THE JADE BUILDING, SUITE 400
 52 NEW ORLEANS ROAD
 POST OFFICE DRAWER 14
 HILTON HEAD ISLAND, SC 29938
 (843) 785-5850
 FAX: (843) 785-2090

ALSO MEMBER NEW YORK BAR*
 ALSO MEMBER OHIO BAR+
 ALSO MEMBER TENNESSEE
 BAR**

September 11, 2020

Heather Colin
 Director of Growth Management
 20 Bridge Street
 Bluffton, South Carolina 29910

Re: 9 Bruin Road
 Bluffton, SC 29910

Dear Ms. Colin:

This letter is in response to our meeting on August 6, 2020 regarding inclusion of the above property (the "Property") in your committee's upcoming review and recommendations regarding removal from the contributing structures list. The property is not in the Historic District but was listed on as a contributing structure in the South Carolina Statewide Survey of Historic Resources prepared in 1994 and 2008.

The Property which is comprised on two structures¹ – a house and a small open air shed. The house is comprised of two parts. Per the South Carolina Statewide Survey Site Form completed in 1994² ("Exhibit A"), the original "half", i.e., the northern portion of the structure was constructed "c1930". This section of the structure has been significantly modified over the years including substantial reconstruction in the late-1990s using "common construction materials" after it was substantially destroyed as the result of extensive fire damage. The other "half" of the structure was built as an add-on in the late 1940s³. It is structurally unsound and unfit for occupancy with no inherent extraordinary or significant features.⁴

It is our understanding that the present Unified Development Ordinance *the "UDO") was not enacted at the time the property was placed on the contributing structure list and that the Town used the criteria in the South Carolina Regulations 12-122 and 12-123.

Those regulations provide the following non-exclusive list of four Categories of Significance that may apply to buildings over fifty (50) years old: Architecture, Culture, Engineering or History.

1 The "garage" listed on Exhibit A has subsequently been demolished.

2 Note that the Form does not indicate that the structure was "contributing".

3 The Beaufort County real property tax records indicated that this portion was built in 1946.

4 Note the original portion of the structure was over fifty years old in 1994 but the "add-on" was not.

Due to the modifications to the original half of the structure after the mid-1990s fire and the common construction of the add-on portion, we believe that the structure has no historical, architectural, cultural or engineering significance and should not have been placed on the contributing structure list. The structure meets none of the Section 12-123 criteria other than that a portion of the building was over fifty years old.

In addition, none of the ten criteria set forth for purposes of determining "Contributing Structure" status set forth in UDO Section 3.25 – which was not adopted when the Property was determined to be a contributing structure – apply to the Property.

Based on an inspection of the property by a structural engineer in mid-2019, it would not be cost-effective to rehabilitate the property and the structures should be demolished. The shed appears to be derelict and a potential public nuisance; upon inspection, the shed appears to have recently been inhabited by animals and/or homeless individuals. A copy of the engineer's report is attached as Exhibit B.

Photographs of the Property are included in Exhibit C.

According to the State Historic Preservation office, the initial survey upon which the historic structure designation was based was most probably communicated via "informational meetings . . . held for the general public" as well as "through local newspapers, local historical or neighborhood groups." In connection with the application for recognition on the National Register of Historic Places, because the Property is not within the Bluffton Historic District, the State Historic Preservation Office did not notify the Property owner about the National Register, i.e., the Property's status as a contributing structure. We have been unable to determine if the owners were provided with proper notice by any other means or entity.

Based upon the information set forth herein, which clearly supports the removal of the structure and the shed⁵ from the "Contributing Structure List", please include removal of 9 Bruin Road – the Joyner House – in your list of structures to be removed from the historic designation list.

If you have any questions or comments regarding any of the above or if you require additional information or documentation, please do not hesitate to contact me.

Yours truly,

NOVIT & SCARMINACH, P.A.



Elizabeth B. Mayo

Enclosures

cc: Heirs of Bessie Joyner

EBM:km



⁵ It is actually unclear from the records if the shed is included in the contributing structure designation.

K) CONSTRUCTION METHOD

masonry (1)
 frame ~~(2)~~
 log (3)
 steel (4)
 other (0)

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 garage w/living area (4)
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21. ALTERATIONS iron supports for side door stoop; rear (N) facade particle board

HISTORICAL INFORMATION

22. Theme(s): _____ **23. Period(s):** _____ **24. Important persons:** _____

25. Architect(s): _____ **Source:** _____

26. Builder(s): _____ **Source:** _____

27. Historical data _____

28. Informant/Bibliography _____

PROGRAM MANAGEMENT

29. Quadrangle name: Bluffton **30. Photographs:** prints ~~(1)~~ slides (2) negatives ~~(3)~~

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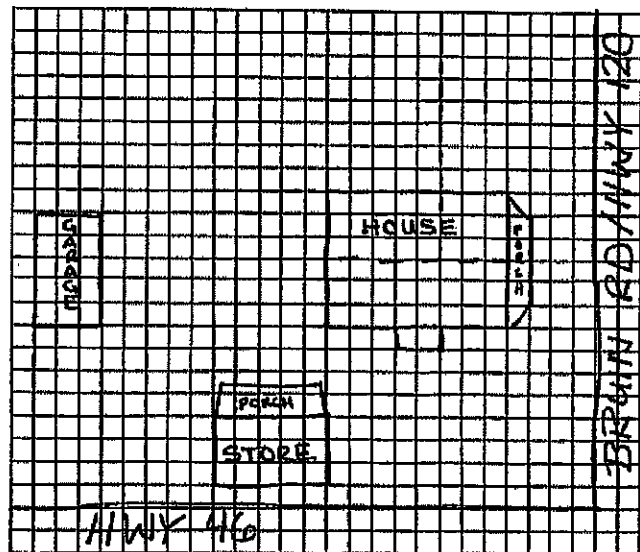
32. Recorder name/firm Jennifer D. Brown **33. Date recorded** 7/28/94

ATTACHMENT 9

Section IX. Item #2.

South Carolina Statewide Survey Site Form
CONTINUATION AND PHOTOGRAPHSControl Number U/ 13 / 0155 / 046-0107
county census designated place site #Continuation: _____

(Use grid for sketching)



(Attach photos here)

Photo #	Photo Index #	View of	N, S, E, W
_____	<u>R3, F15</u>	<u>S facade</u>	<u>NE</u>
_____	<u>R3, F16</u>	<u>N facade</u>	<u>SE</u>
_____	<u>R3, F17</u>	<u>store (N fac)</u>	<u>SE</u>
_____	<u>R3, F18</u>	<u>garage (W fac)</u>	<u>E</u>
_____	_____	_____	_____

Date Taken/Recorded by: 8-5-94/JDBrown



**CPW
ENGINEERING, LLC**

5 HOBONNY PLACE
HILTON HEAD ISLAND, SC 29926

LICENSED IN:
GEORGIA
NEW JERSEY
NEW YORK
NORTH CAROLINA
SOUTH CAROLINA
TENNESSEE
TEXAS

April 30, 2019

Novit & Scarminach, P.A.
The Jade Building Suite 400
Attn. Elizabeth B. Mayo, via email only to: emayo@ns-lawfirm.com
52 New Orleans Road
Hilton Head Island, SC 29928

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Bluffton, SC

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This is to follow-up the two site visits made on April 23 & 26, 2019. During the first visit, I met with Taiwan Scott who provided a brief, verbal history of the house that I inspected. The second visit was to evaluate the barbeque shed situated close to the sidewalk on Bluffton Road (S.R. 46). At the end of the written portion of this report are several photos referenced in the text.

The House

Apparently, the house has a history of a few modifications over the years since the owner used to live in the original part of the house (the northern half) which suffered a fire and was reputedly rebuilt in the mid to late 1990s. It is the portion of the house that, while run down, has a roof leak (photo 15) and shows some signs of structural fatigue, is in fair condition. It is certainly not "historic" in the sense that it is not "architecturally significant." It is comprised of common construction materials. I found that some areas of the floor had deflected, especially near the utility closet wall where the depression measured in the floor is about $\frac{3}{4}$ " in two feet (photo 16). The condition of the wood floor system seen in the crawlspace (photo 12) is in fair condition. However, it is founded on individual concrete block piers, which tend to be unstable if not tied together with grade beams. Also, it is noted that the wood floor structure is not physically tied down to these piers with metal straps.

Reputedly, the other, more deteriorated half of the house was built as an add-on to the original structure in the late 1940s. It is structurally unsound and unfit for occupancy, which thereby deems the entire building unfit for occupancy. The floor is very weak in certain areas of the hallway (photo 11) and living room (photo 13) due to deteriorated sheathing and joists. The roof framing appears inadequate (photo 14). I found a decayed perimeter beam (photo 10) and a displaced support beam (photo 8).

Based upon the overall structural condition of the building and the fact that, in my opinion, there is no inherent extraordinary or significant features; and that it would not be cost-effective to rehabilitate, I recommend that the building be demolished, thereby providing an opportunity to improve this area of "Old Town Bluffton."

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 2 of 10

The Barbeque Shed

I have no historic information on this structure, but after inspecting it, it can be classified as a derelict building and potential public nuisance. As can be seen in photos 17 through 24, the building is in a state of neglect and suffers severe deterioration of its roof, floor, siding and foundation. It is unsafe to enter this structure. It appears to have harbored animals and perhaps homeless individuals.

Therefore, it is my opinion, that this shed also be scheduled for demolition.

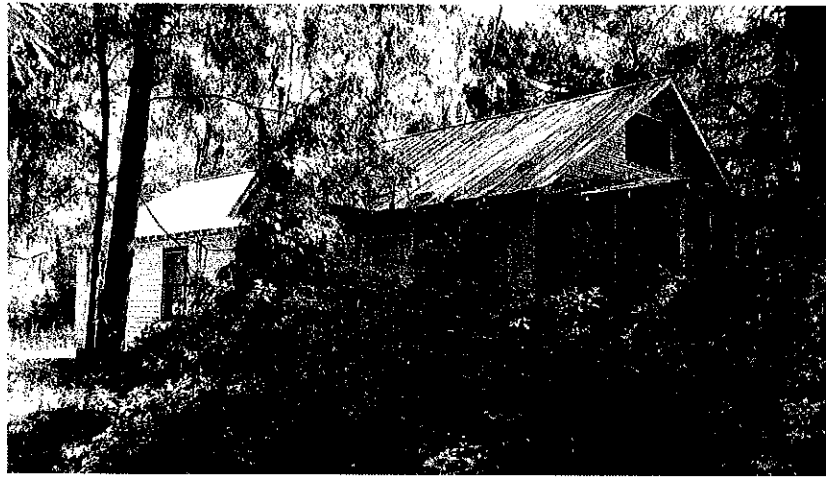
If you have any questions, please feel free to call.

Very truly yours,

CPW Engineering, LLC



Charles P. Walczak, PE
President



1. West Side (facing Bluffton Road) – left: circa 1990s; right: circa 1940s



2. South Side (facing Bruin Road) – 1940s



3. North Side – 1990s

Novit & Scarminach, P.A.
April 30, 2019
Page 4 of 10



4. East Side



5. East Side – old section on left; rebuilt on right;



6. Northwest corner – Rebuilt section

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 5 of 10



7. Foundation – Rebuilt on left; old on right



8. Crawlspace of old section (note deflected support beam)



9. Brick pier of old section (mortar joint failure at base)

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

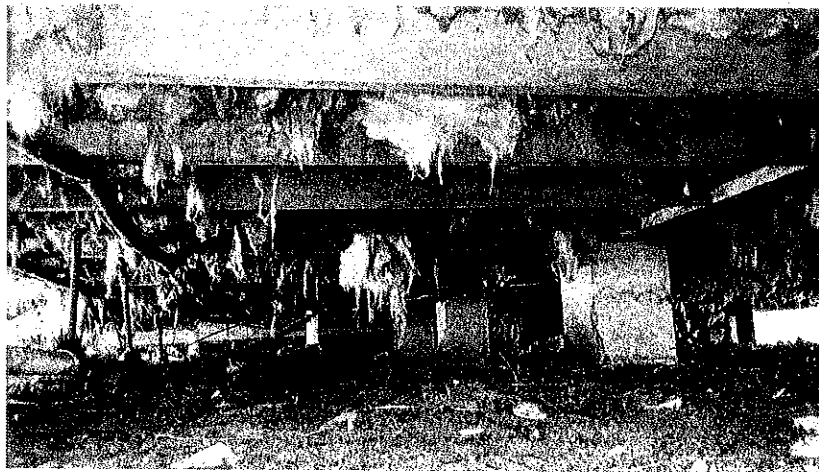
Novit & Scarminach, P.A.
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10. Decayed perimeter support beam



11. Weak/hazardous floor area (old section)



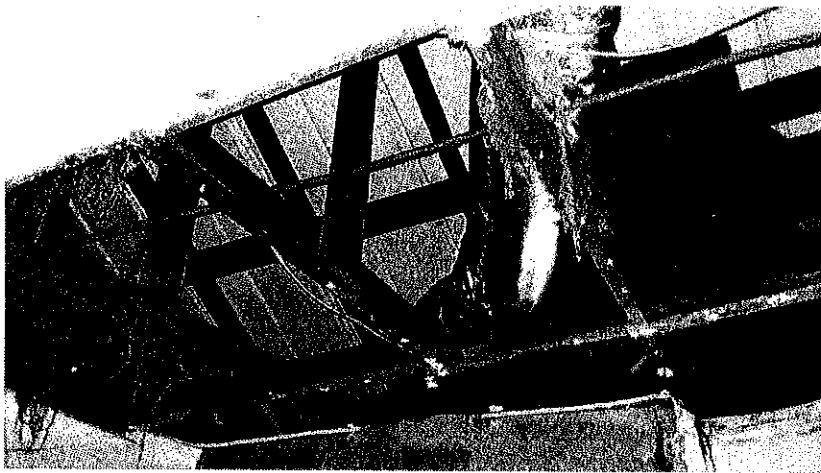
12. Crawlspace of new section

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

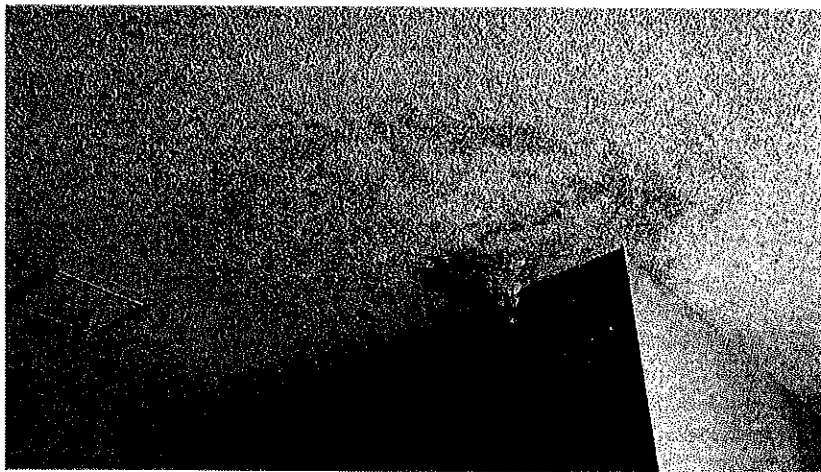
Novit & Scarminach, P.A.
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13. Weak floor near south entrance – hazardous



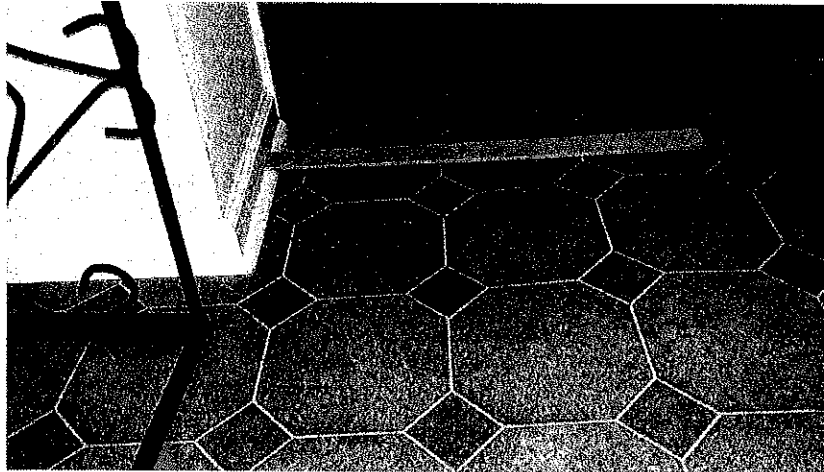
14. Ceiling collapse – old section. “Skeletal” roof structure.



15. Roof leak – new section

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

Novit & Scarminach, P.A.
April 30, 2019
Page 8 of 10



16. Floor deflection – new section



17. West side (front) of BBQ shed, facing Bluffton road; roof deteriorated



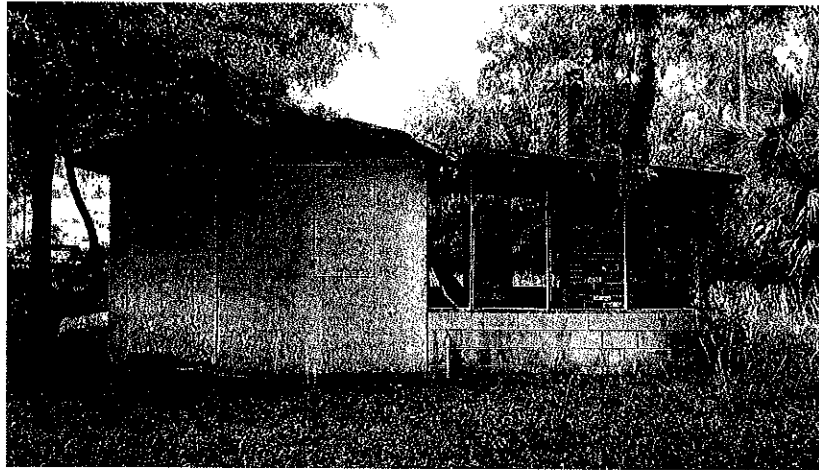
18. East side (rear) of BBQ shed; severe deterioration

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

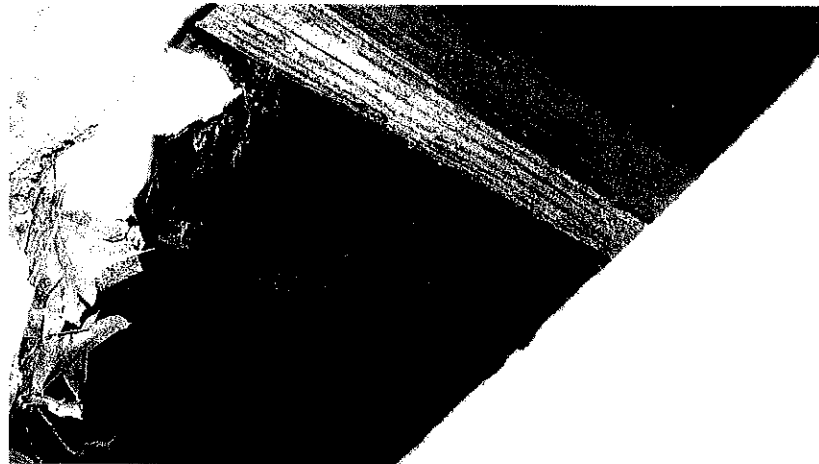
Novit & Scarminach, P.A.
April 30, 2019
Page 9 of 10



19. North side of BBQ shed



20. South side of BBQ shed



21. Deteriorated roof of BBQ shed

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

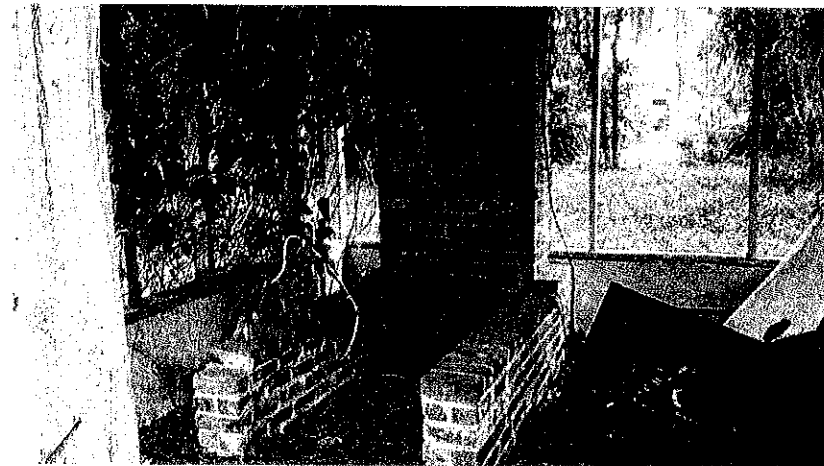
Novit & Scarminach, P.A.
April 30, 2019
Page 10 of 10



22. Deteriorated floor of BBQ shed



23. Foundation damage at BBQ shed



24. The barbeque pit

TEL: 843/342-5090
EMAIL: CPWENGR@HARGRAY.COM

I am 92 years old and am proud to be the last of eleven children, all to have been born in the house at 209 Bluffton Road.

My siblings, their children and grands, and some great-grands slept in the beds, rocked on the porch, walked the hall and played hide and go seek until dark in the azalea yard.

That part of our family's life has been over for years. The house is abandoned and no family member plans to occupy it. The house has served its purpose - so let it rest in peace.

It does not matter to me whether the house is demolished or towed away to another location, what does matter is that it be removed in order that a new era in Old Town Bluffton can take root and flourish like the old oaks that grace its grounds.

Let the Kessler Group, with their own style of respect and enthusiasm for local culture have their way with the property to implement their plans for showcasing Community Gullah Culture and the Joiner legacy.

It is my desire to see the property sold within my lifetime, and from what I can tell, ^{the} Kessler plans more than satisfy my hopes for its continued longevity as a gift and tribute to my hometown and family.

Thank You,
Dorothy Joiner Singleton

Lisa Sulka
Mayor
 Fred Hamilton
Mayor Pro Tempore
 Stephen Steese
Town Manager



Council Members
 Larry Toomer
 Dan Wood
 Bridgette Frazier
Kimberly Chapman
Town Clerk

September 7, 2021

William Atkinson
 The Kessler Enterprise
 4901 Vineland Road, Suite 650
 Orlando, FL 32811

TRANSMITTED ELECTRONICALLY
William.Atkinson@kesslercollection.com

Taiwan Scott
 Atlantic Real Estate, Inc.
 14 New Orleans Road, Suite 13
 Hilton Head Island, SC 29928

TRANSMITTED ELECTRONICALLY
taifr@hotmail.com

Dear Sirs:

On September 1, 2021, the Town of Bluffton Historic Preservation Commission (HPC) approved a Certificate of Appropriateness - Historic District (COFA) – Demolition, to allow the demolition of the non-historic, northern portion of the Contributing Structure of approximately 1,516 square feet, known as the Joiner House, but denied the complete demolition of the Contributing Structure of approximately 1,516 square feet known as the Joiner House; the demolition of a single-story, non-contributing BBQ shed and brick oven/grill of approximately 326 feet; the demolition of a non-contributing shed of approximately 31 square feet; and the demolition of a non-contributing metal movable shed of approximately 78 square feet located at 9 Bruin Road (Tax Map ID R610 039 00A 0021 0000), in the Old Town Bluffton Historic District and zoned Neighborhood Core – HD (COFA-05-21-015377) with the following conditions:

1. The HPC determined that the non-contributing structures, including the single-story BBQ shed and brick oven/grill; the metal shed; and the shed/well enclosure may be demolished. Additional permits will be required from Building Safety.
2. Per Section 3.18.3.E. of the Unified Development Ordinance (UDO), to preserve existing building's historic character and architecture as a Contributing Structure, the HPC determined that only the non-historic (northern) portion of the contributing structure may be demolished.
3. Per Section 3.18.3.F. of the UDO, the complete demolition of the Contributing Structure would be detrimental to the integrity of the historic district and to the public interest, therefore the HPC determined that the complete demolition of the Contributing Structure is denied.
4. Furthermore, the HPC determined that the 1930s-era southern portion of the contributing structure may be moved to another location, however, Applicants will need to submit a Town of Bluffton Certificate of Appropriateness-Old Town Bluffton Historic District (HD) Application for relocation.

Approval COFA-05-21-015377

September 7, 2021

Any person aggrieved by the decision of the HPC may file an appeal pursuant to the South Carolina Code of Laws, Section 6-29-900 et sequitur within 30 days.

Upon issuance, a Certificate of Appropriateness (COFA) remains valid for two (2) years from this approval date (09/01/2021). If the project is not substantially complete within the time limit, the COFA expires.

Please be advised that a COFA is not a permit to begin construction. All necessary permits and licenses prior shall be obtained prior to commencing construction. Please contact the Town of Bluffton Customer Service Center at (843) 706-4500 if you have any questions.

Sincerely,



Glen Umberger
Historic Preservationist
Department of Growth Management

Lisa Sulka
Mayor

Larry Toomer
Mayor Pro Tempore

Stephen Steese
Town Manager



Council Members
Fred Hamilton
Dan Wood

Bridgette Frazier

Kimberly Gammon
Town Clerk

July 12, 2022

Pearce Scott Architects
6 State of Mind Street, Ste. 200
Bluffton, SC 29910

Dear Ms. Denmark:

On July 6, 2022 the Town of Bluffton Historic Preservation Commission approved the Certificate of Appropriateness to allow the reconstruction of the 1,248 SF Contributing Resource, known as the Joiner House towards the eastern property line of the same parcel identified as 9 Bruin Road in the Old Town Bluffton Historic District and zoned Neighborhood Core-HD (COFA-03-22-016484) with the following conditions:

1. Per 3.18.3.A, Secretary of the Interior's Standards for Rehabilitation #5, additional information regarding the proposed reconstruction of the front screened porch and side portico must be provided to staff for staff level review as not enough information has been provided to ensure they meet the standards of this section.
2. Per 3.18.3.A. of the UDO, Secretary of the Interior's Standards for Rehabilitation #6, drawings for features which will be reconstructed (the porch and side portico) must be provided for review as not enough information has been provided to complete this review.
3. Per Section 5.15.6. of the UDO, to ensure the architectural standards have been met for materials, dimensions, and configurations, plans for all areas of the structure which will be dismantled and rebuilt, or new construction must be provided to ensure compliance with this section.
4. Per Section 5.15.6.I. additional information is required regarding the proposed rear elevation as not enough information was provided to complete the review of the proposed window in the location of the existing door.
5. The metal columns on the side portico shall be retained.

July 6, 2022

6. The Applicant retain all original components to maximum degree as reasonably and economically feasible.
7. The Applicant provide any substitutes to original windows, doors, brick foundation, brick piers, and roofing panels must be submitted to staff for a determination as to the appropriateness of the substitute materials.
8. The proposed location is appropriate as it matches the angle of the contributing structure in accordance with section 5.15.5.F.5 of the UDO.
9. Drawings be provided for review, and for approval at Staff level, for the reconstructed porch and side portico.

Please submit updated project information to address the conditions above. Once received and satisfactorily reviewed, Town Staff will approve and stamp the plans and issue a final Certificate of Appropriateness.

Any person aggrieved by the decision of the HPC may file an appeal pursuant to the South Carolina Code of Laws, Section 6-29-900 et sequitur within 30 days.

Upon issuance, a Certificate of Appropriateness (COA) remains valid for two (2) years from this approval date (07/06/2022). If the project is not substantially complete within the time limit, the COA expires.

Please be advised that a COA is not a permit to begin construction. All necessary permits and licenses prior shall be obtained prior to commencing construction. Please contact the Town of Bluffton Customer Service Center at (843) 706-4522 if you have any questions.

Sincerely,



Katie Peterson, AICP
Senior Planner
Department of Growth Management

Lisa Sulka
Mayor
Larry Toomer
Mayor Pro Tempore
Stephen Steese
Town Manager



Council Members
Fred Hamilton
Dan Wood
Bridgette Frazier
Kimberly Gammon
Town Clerk

August 5, 2022

Pearce Scott Architects
6 State of Mind Street, Ste. 200
Bluffton, SC 29910

Dear Ms. Denmark:

On July 6, 2022 the Town of Bluffton Historic Preservation Commission approved the Certificate of Appropriateness to allow the reconstruction of the 1,248 SF Contributing Resource, known as the Joiner House towards the eastern property line of the same parcel identified as 9 Bruin Road in the Old Town Bluffton Historic District and zoned Neighborhood Core-HD (COFA-03-22-016484) with the following conditions:

1. Per 3.18.3.A, Secretary of the Interior's Standards for Rehabilitation #5, additional information regarding the proposed reconstruction of the front screened porch and side portico must be provided to staff for staff level review as not enough information has been provided to ensure they meet the standards of this section.
2. Per 3.18.3.A. of the UDO, Secretary of the Interior's Standards for Rehabilitation #6, drawings for features which will be reconstructed (the porch and side portico) must be provided for review as not enough information has been provided to complete this review.
3. Per Section 5.15.6. of the UDO, to ensure the architectural standards have been met for materials, dimensions, and configurations, plans for all areas of the structure which will be dismantled and rebuilt, or new construction must be provided to ensure compliance with this section.
4. Per Section 5.15.6.I. additional information is required regarding the proposed rear elevation as not enough information was provided to complete the review of the proposed window in the location of the existing door.
5. The metal columns on the side portico shall be retained.

6. The Applicant retain all original components to maximum degree as reasonably and economically feasible.
7. The Applicant provide any substitutes to original windows, doors, brick foundation, brick piers, and roofing panels must be submitted to staff for a determination as to the appropriateness of the substitute materials.
8. The proposed location is appropriate as it matches the angle of the contributing structure in accordance with section 5.15.5.F.5 of the UDO.
9. Drawings be provided for review, and for approval at Staff level, for the reconstructed porch and side portico.

Drawings dated 07.22.22 have been provided to show all four elevations. Town Staff has indicated areas which do not meet the conditions above in the stamped plans. Please note that a final Certificate of Appropriateness has been issued, however, all conditions of this letter must be met at time of Building Permit submittal and be reflected in the field. Areas which are shown to not meet the conditions above include:

1. Perimeter piers shall reflect current conditions, specifically in width and material appearance on the new structure;
2. The new porch must reflect current configuration which is 2 bays deep and 7 bays wide, and is not reflected in the existing or proposed drawings as such;
3. Any new materials which are proposed to replace exterior materials must be provided for review prior to installation on the structure for approval by Town Staff;
4. The front and side doors shall be repaired rather than replaced, and windows restored rather than replaced in all locations possible. It should be noted that only bedrooms require 5 SF egress.

This letter allows for building permits to be submitted for review.

Any person aggrieved by the decision of the HPC may file an appeal pursuant to the South Carolina Code of Laws, Section 6-29-900 et sequitur within 30 days.

ATTACHMENT 13

Page Section IX. Item #2.

Conditional Approval COFA-03-22-016484

August 5, 2022

Upon issuance, a Certificate of Appropriateness (COA) remains valid for two (2) years from this approval date (07/06/2022). If the project is not substantially complete within the time limit, the COA expires.

Please be advised that a COA is not a permit to begin construction. All necessary permits and licenses prior shall be obtained prior to commencing construction. Please contact the Town of Bluffton Customer Service Center at (843) 706-4522 if you have any questions.

Sincerely,



Katie Peterson, AICP
Senior Planner
Department of Growth Management

Umberger, Glen

From: Umberger, Glen
Sent: Friday, November 18, 2022 9:28 AM
To: Eugene Marks
Cc: Colin, Heather; Icard, Kevin; Amanda Jackson
Subject: 9 Bruin Road Joiner House

Good morning, Eugene:

Just wanted to follow up on our telephone conversation this morning. I understand that historic materials from the Joiner House have been salvaged as follows:

- Siding: removed and in storage on-site;
- Roof: metal panels have been removed and are at roofer contractors being repaired;
- Windows: removed and at window contractors in Orangeburg being restored;
- Iron side porch columns: removed and in storage on-site;
- Brick: left in place on-site and will be reused during construction of new foundation piers;
- Interior doors: removed and in storage;
- Exterior doors: removed and in storage—please note that the side exterior door should be restored and retrofitted with new material added to jamb side to accommodate new door opening; and
- Structural beams: removed and will be reused inside new structure.

Also, as we discussed, this project is not eligible to receive a Historic Preservation Grant.

Of course, if you have any comments or questions, please let me know.

Happy Thanksgiving.

Glen

Glen Umberger
Historic Preservationist

Office | 843-706-4504
Mobile | 843-384-7248

Town of Bluffton
PO Box 386
20 Bridge Street
Bluffton, SC 29910
www.townofbluffton.sc.gov

bluffton
HEART OF THE LOWCOUNTRY



Lisa Sulka

Mayor

Larry Toomer

Mayor Pro Tempore

Stephen Steese

Town Manager*Council Members*

Fred Hamilton

Dan Wood

Bridgette Frazier

Kimberly Gammon

Town Clerk

December 1, 2022

Mr. Eugene Marks
 209 Bruin Road LLC
 55 Flicker Street
 Bluffton, SC 29910

Re: Historic Preservation Grant Application, Joiner House

Dear Eugene:

Thank you for your interest in the Town of Bluffton Historic Preservation Grant Program for the property located at 9 Bruin Road. We are writing to inform you that after a careful review, unfortunately we are unable to approve your Application.

The purpose of the Historic Preservation Grant Program is to assist Owners of Contributing Structures to the Old Town Historic District rehabilitate, restore, or preserve their structures in accordance with program requirements. The Grant Application, which was to be submitted simultaneously with an Application for a Certificate of Appropriateness-Historic District (COFA-HD), contains detailed instructions and criteria such as level of threat to the structure, detail and reasonableness of budget, and project feasibility.

While a COFA-HD (COFA-03-22-016484) was conditionally approved by the Historic Preservation Commission (HPC) on July 6, 2022 allowing for the renovation and relocation of the Contributing Structure, there was no accompanying Grant application for this project submitted at that time.¹ Furthermore, you testified that you did not intend to pursue a Grant.² However, on September 25, you informed Town Staff that you now wished to be considered for an Historic Preservation Grant and submitted an Application. Staff held several conversations with you on the conditions and requirements of the Grant, and discussed possible uses of the money. Staff advised you that a new foundation would not be a qualified expenditure and suggested using the Grant for restoration of the existing windows, exterior doors, roof, or porch elements, which are qualified expenditures; the emphasis was placed on restoration work that was approved under COFA-03-22-016484.

After a review of the applicable criteria for a Grant, and since the structure is no longer extant, except for some salvaged materials that are of an insufficient amount to ensure that the Structure could retain a high level of its historic integrity in order to attach the required preservation easement, we have determined that your Application does not meet the program requirements.

The Town appreciates your desire to improve the Old Town Bluffton Historic District and encourages you to apply for another Historic Preservation Grant should you have a project in the future that meets the Program requirements.

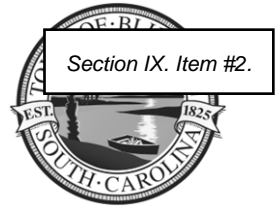
Sincerely,



Glen Umberger,
Historic Preservationist
Department of Growth Management

¹ On September 1, 2021, the Historic Preservation Commission conditionally approved COFA-05-21-015377 which provided, in part, that "per Section 3.18.3.E. of the UDO, to preserve the existing building's historic character and architecture as a Contributing Structure, the HPC determined that only the non-historic (northern) portion of the Contributing Structure may be demolished [and] per Section 3.18.3.F. of the UDO, the complete demolition of the Contributing Structure would be detrimental to the integrity of the historic district and to the public interest, therefore the HPP determined that the complete demolition of the Contributing Structure is denied."

² Historic Preservation Commission Meeting, (July 6, 2022), marker 47:43.



**Order on Appeal from Action of UDO Administrator
Historic Preservation Commission
Town of Bluffton, SC**

Date Filed: May 1, 2023 Appellant: Eugene & Melanie Marks Property Location: 9 Bruin Road; Bluffton, SC	Permit Application No. ZONE-05-23-017996 Date of Public Hearing: June 7, 2023 Property Tax Map Nos. R610-039-00A-0021-0000
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On June 7, 2023, the Town of Bluffton Historic Preservation Commission held a public hearing to consider an appeal filed by Eugene and Melanie Marks in which they appealed the determination of the UDO Administrator dated April 26, 2023, which served as letter to state that the Rough-HD inspection for the building had failed.

After consideration of the evidence and arguments presented, Commissioner Schmelter made a motion to affirm the UDO Administrator's decision in part given that the windows installed were not the same windows approved by Staff and as specified in the Building Permit (Marvin Elevate windows), Staff was not provided additional information regarding the Pella Lifestyle windows prior to installation; and Staff did not approve them as required by the Certificate of Appropriateness. However, Commissioner Schmelter continued to move to reverse the UDO administrator's decision that the Pella Lifestyle windows installed do not meet the Arm's Length Rule, meaning they are not indistinguishable from the original windows at an arm's length; and the Pella Lifestyle windows installed do not match the old windows in design and texture.

The applicant was allowed to proceed with the current approved Certificate of Appropriateness – HD.

Seconded by Commissioner Frazier. Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Commissioner Frazier, Commissioner Guenther. The minutes from the June 7th HPC meeting were voted on and approved at the July 5th meeting. Therefore, the appeal was:

- ☐ Denied
☒ **Granted**
☐ **Granted, subject to the following condition(s):**

The Board based its decision on the attached findings of facts and conclusion of law.

If you believe the Board erred in its decision, you have the right to appeal the decision to the Circuit Court. You have two options to appeal to the Circuit Court:

1. You may file a petition with the Clerk of Court for Beaufort County, South Carolina, in writing, setting forth plainly, fully, and distinctly why the decision is contrary to the law. The appeal must be filed within thirty (30) days after the decision of the Board is mailed (S.C. Code § 6-29-820A). The mailing date of this decision is January 28, 2019.
2. You may file a notice of appeal with the Circuit Court accompanied by a request for pre-litigation mediation in accordance with S.C. Code § 6-29-825. Any notice of appeal and request for pre-litigation mediation must be filed within thirty (30) days after the decision of the Board is postmarked.

By: Bruce Trimbur, Chairperson, Board of Zoning Appeals

Date: _____

By: Kerry Guzman, Secretary, Historic Preservation Commission

Date: _____

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**Order on Appeal from Action of UDO Administrator
Historic Preservation Commission
Town of Bluffton, SC**

Date Filed: May 1, 2023 Appellant: Eugene & Melanie Marks Property Location: 9 Bruin Road; Bluffton, SC	Permit Application No. ZONE-05-23-017996 Date of Public Hearing: June 7, 2023 Property Tax Map Nos. R610-039-00A-0021-0000
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BACKGROUND, FINDINGS OF FACT AND CONCLUSION OF LAW

Based upon the documentation submitted to the Historic Preservation Commission (the “HPC”) in advance of the hearing, the public comment and the testimony provided by all interested parties, and the relevant portions of the Town of Bluffton Unified Development Ordinance (the “UDO”), the HPC concludes and makes the following findings of fact and conclusions of law:

BACKGROUND:

1. On April 13, 2023, Katie Peterson, AICP, Senior Planner and Kevin Icard, Director of Growth Management, completed the Rough-HD inspection in association with permit RNEW-08-22-2266.
2. Upon inspection the following items were found to be noncompliant with the approved Certificate of Appropriateness – HD (COFA) (COFA-03-22-016484):
 1. Porch Columns: The approved COFA and Building Permit included the reconstruction of the existing, 7-bay front porch. Upon inspection, it was found that a 5-bay front porch had been framed.
 2. Windows. One of the conditions of approval for the COFA was that all windows practicable be repaired rather than replaced, and should windows be beyond repair, additional information regarding the proposed replacement windows be provided for review and approval by Staff prior to installation.

The windows installed on the building are noncompliant with UDO Section 3.18.3. Application Review Criteria for the following reasons:

- a. The windows installed were not the same windows approved by Staff and as specified in the Building Permit: DH Marvin Elevate windows.
- b. Staff was not provided additional information regarding the Pella Lifestyle windows prior to installation, and has not approved them as required by the COFA.
- c. The Pella Lifestyle windows installed do not meet the Arm’s Length Rule, meaning they are not indistinguishable from the original windows at an arm’s length. (UDO 5.15.6.A. and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21)
- d. The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior’s Standards for the Treatment of Historic Properties, Standard 6)

3. Piers: The historic pier locations have brick façade piers, however, they are visibly veneer, only one brick deep and did not reflect the requirements of the Certificate of Appropriateness approval. The façade must wrap towards the center of the house on both sides of the piers to appear as though it is a true pier.
4. Brick Skirting Between Piers: Pierced brick skirting has been added between the piers from the stoop on the left side of the house to the principal façade. The COFA and Building Permit reflects hog board panels between the piers. No historical documentation of brick between the piers at this location was a portion of the application. The COFA and Building Permit require any changes from the approved plans to be submitted for review and approval prior to moving forward. As no documentation was provided and any evidence of brick skirting at the building's original location has since been destroyed, the brick skirting must be removed and replaced by the hog boards as indicated on the approved plans
5. On April 26, 2023, the Town's Director of Growth Management, Kevin Icard, provided a letter to the Applicant stating that the rough-HD inspection failed based on the items listed above.
3. On May 1, 2023, the Appellant, filed an appeal with the UDO Administrator contesting her determinations as set forth in the April 26, 2023, zoning determination letter.
4. The Property at issue is located within the Town's Neighborhood Core-HD (NC-HD) zoning district.
- 5.

FINDINGS OF FACT:

8. All Buildings proposed to be constructed by the Applicant on the Property constitute Dwelling Units as they meet the definition of Section 9.4.1.E of the UDO.
9. The UDO does not define nor does it regulate rentals of Dwelling Units, whether long-term or short-term. Therefore, if long-term rentals are permitted by right, short-term rentals are equally permitted by right.
10. Table 4.3, included within Article 4 of the UDO, provides a list of all of the permissible uses within each zoning district within the Town. Table 4.3 is silent as to whether rentals are permitted by right within the NG-HD zoning district, as the UDO does not regulate or address rentals.
11. Section 4.3.G.1 of the UDO states that if a particular use is not listed, the UDO Administrator shall select the use listed in Table 4.3, Uses by District, which most closely resembles the proposed use. The Applicant and Town Staff contend that Single-Family Detached Residential is the use that most closely resembles rentals. The Appellant contends that the proposed use most closely resembles a Hotel, which is defined by Section 9.4.4.B as "[a] Building or portion thereof, or a group of buildings, which provides sleeping accommodations, with or without meal service, for transients on a daily or weekly basis, whether such establishment is designated as a hotel, inn, automobile court, motel, motor inn, motor lodge, tourist cabin, tourist court, or tourist home."
12. The Buildings proposed include more than "sleeping accommodations" as found in the definition of a Hotel. Instead, they are designed to provide complete independent living

facilities “including permanent provisions for living, sleeping, eating, cooking and sanitation” as set forth within the definition of Dwelling Unit.

CONCLUSIONS OF LAW:

13. The rental of an entire building equipped with provisions for living, sleeping, eating, cooking and sanitation - whether by the day, week, month or year – more closely resembles the definition of Single-Family Detached Residential than the definition of Hotel.
14. Given that the UDO does not regulate rentals or attempt to differentiate between short-term and long-term rentals, short-term rentals are permitted wherever long-term rentals are permitted.
15. Additionally, the NG-HD zoning district is not purely residential. There are multiple commercial uses permitted within the NG-HD zoning district, including but not limited to, Personal Services Establishments, Restaurants (Conditionally), Bed and Breakfasts, Inns, Professional Offices, Medical Offices, Nursing Homes and Long-Term Care, Museums, Religious Assembly, Schools, Artisan Workshops and Contractor’s Offices (Conditionally).

Based on the foregoing Findings of Fact and Conclusions of Law, the decision of the UDO Administrator was upheld 3-2 and, therefore, the appeal was denied.



MEMORANDUM

TO: Historic Preservation Commission
FROM: Katie Peterson, AICP
RE: Oyster Factory Park Public Project Improvements – Phase 2
DATE: 9/6/2023

BACKGROUND. At the request of the Town of Bluffton Historic Preservation Commission (HPC), Town Council adopted an ordinance at their April 9, 2019 meeting that amended the Unified Development Ordinance (UDO) Article 3 Application Process and Article 5 Design Standards to allow the HPC to review Public Projects and provide comment to the UDO Administrator for consideration. Additionally, Town Council revised the Town of Bluffton Process Table through a resolution to incorporate the review and recommendation of Public Projects by the HPC with the final review authority to remain as the UDO Administrator.

APPLICATION REQUEST: The Applicant, Charles Savino, on behalf of The Town of Bluffton, requests that the Historic Preservation Commission recommend approval the following application:

DP-01-22-016299. A Public Project to include improvements to the outdoor pavilion and passive recreation areas located at the existing Oyster Factory Park (55 Wharf Street) in the Town of Bluffton, SC, identified by Tax Map Numbers R610 039 00A 0191 0000, R610 039 00A 0190 0000, R610 039 00A 0165 0000, R610 039 00A 0262 000, and R610 039 00A 0261 0000.

INTRODUCTION: The parcel, known as 55 Wharf Street, Oyster Factory Park, is owned by Beaufort County and operated through an agreement by the Town of Bluffton. The parcel, identified by tax map number R610 039 00A 065 000, is subject to a conservation easement which ensures the property is maintained to be public as recreational, scenic and a historic asset. The full Public Project scope of work includes improvements and expansion of the existing parking area at the corner of Bridge Street and Wharf Street, the installation of sidewalks, which were reviewed by the HPC in June of 2022, as well as the improvements to the outdoor pavilion and passive recreation areas which are subject to this memo.

The improvements to the pavilion include expanding an uncovered porch area on the south elevation of the pavilion and modifying the existing stairs, paver and concrete walkways within the site, the addition of a wood deck in surrounding the large oak at the center of the site, and a wood deck platform between oaks at the southern edge of the property. (See Attachment 1)

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Recommend Approval of the application as submitted by the Applicant;
2. Recommend Approval of the application with conditions; or
3. Recommend denial of the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the UDO is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: As established in section 3.18.2 of the UDO, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18 of the UDO in assessing an application for a Public Project located in the Old Town Bluffton Historic District. The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The work proposed as part of this request is in conformance with those standards.
 - b. *Finding.* The Old Town Master Plan states that the Town should actively work to acquire properties for green space to further complete the green network through Old Town. This goal is specifically intended to enhance connections to the May River. The park, which already exists, is proposed to be enhanced to allow for the further enjoyment of the space and the May River, which specifically helps to complete the goals listed in the Plan.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that, as long as the sidewalk placement and piers for any structure are sensitive to the root systems of the existing trees at the site, the proposed work will be in conformance with the other applicable provisions provided in Article 5.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the work is consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the proposed work is appropriate for the location and the architectural detailing, while minimal, is sensitive to the neighboring properties.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. No features are proposed for removal, therefore, this criterion is not applicable and the renovation of the site, as proposed, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds the application meets the requirements of Section 3.18.3 of the UDO and recommends that the HPC recommend approval of the application to the UDO Administrator.

ATTACHMENTS:

1. Site Plans

SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
4.1	DECK	X/L60X
4.2	BANDSTAND	X/L60X
5.1	STAIR TYPE 1 (BRICK)	X/L60X
5.2	STAIR TYPE 2 (CONCRETE)	X/L60X
6.1	BRICK COLUMN	X/L60X
6.2	BOLLARD	X/L60X
6.3	BRICK EDGING	X/L60X
6.4	RIBBON CURB	X/L60X
7.1	SPLIT RAIL FENCE	X/L60X
9.1	FIRE PIT	X/L60X
9.2	TREE BENCH	X/L60X

KEY SHEET REFERENCE NOTES:

<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">1</div>	MAINTAIN EXISTING CONCRETE.
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">2</div>	TIE PROPOSED CONCRETE INTO EXISTING ASPHALT EVENLY AND SMOOTHLY.
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">3</div>	TIE PROPOSED PAVERS INTO EXISTING CONCRETE EVENLY AND SMOOTHLY.
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">4</div>	MOVEABLE FURNISHINGS TO BE PROVIDED BY OWNER. FURNITURE LAYOUT SHOWN FOR REFERENCE ONLY.
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">5</div>	PROPOSED SPLIT RAIL FENCE TO FOLLOW SAME PATH AS EXISTING FENCE. RE-USE ANY EXISTING WOOD RAILS THAT ARE IN GOOD CONDITION.

SITE DEVELOPMENT PLANS

OYSTER FACTORY PARK

EVENT SPACE IMPROVEMENTS

BLUFFTON, SOUTH CAROLINA

DATE:	APR 05, 2023
PROJECT NO.:	16024.09
DRAWN BY:	CK
CHECKED BY:	DK

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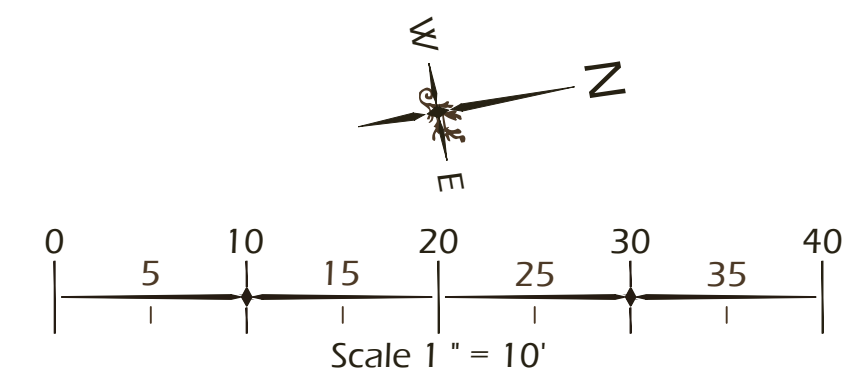
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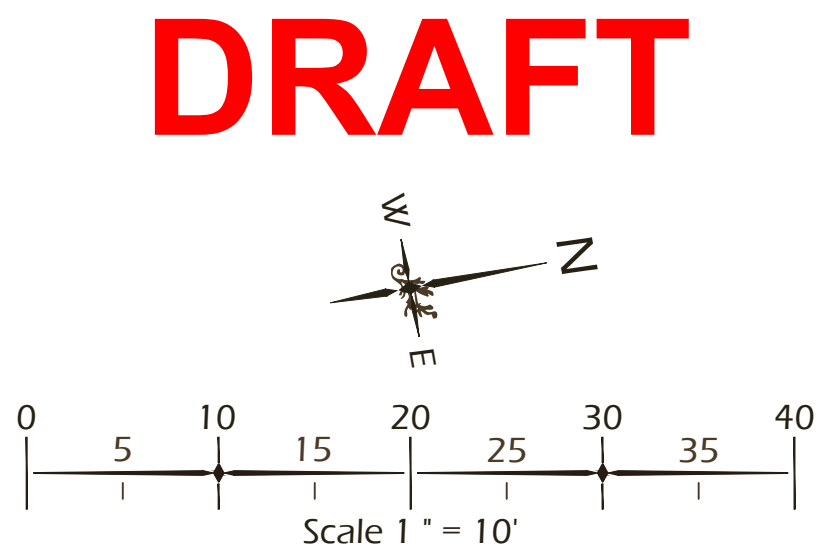
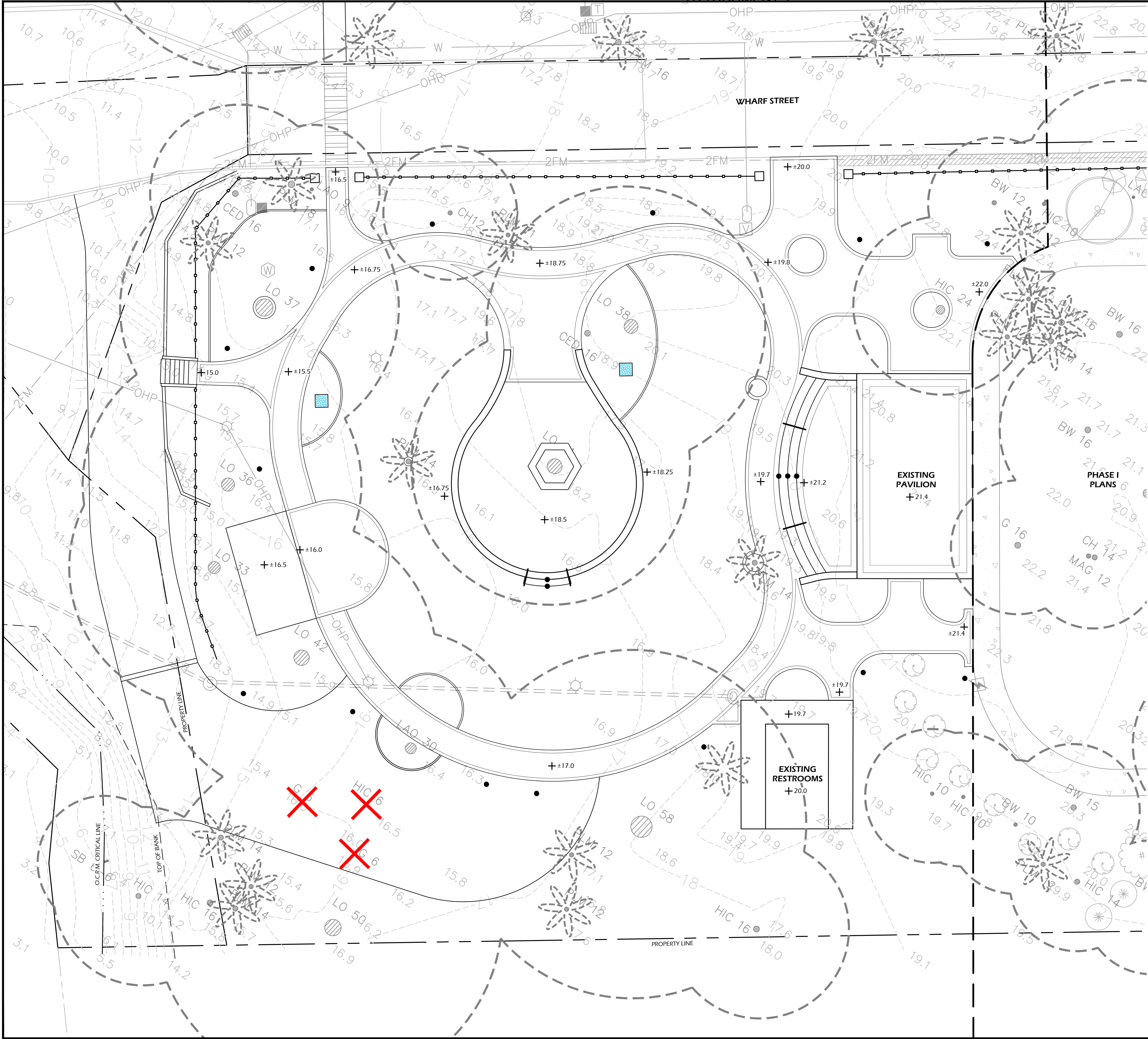
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FOR
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EVENT SPACE IMPROVEMENTS
BLUFFTON, SOUTH CAROLINA

DATE: APR 05, 2023
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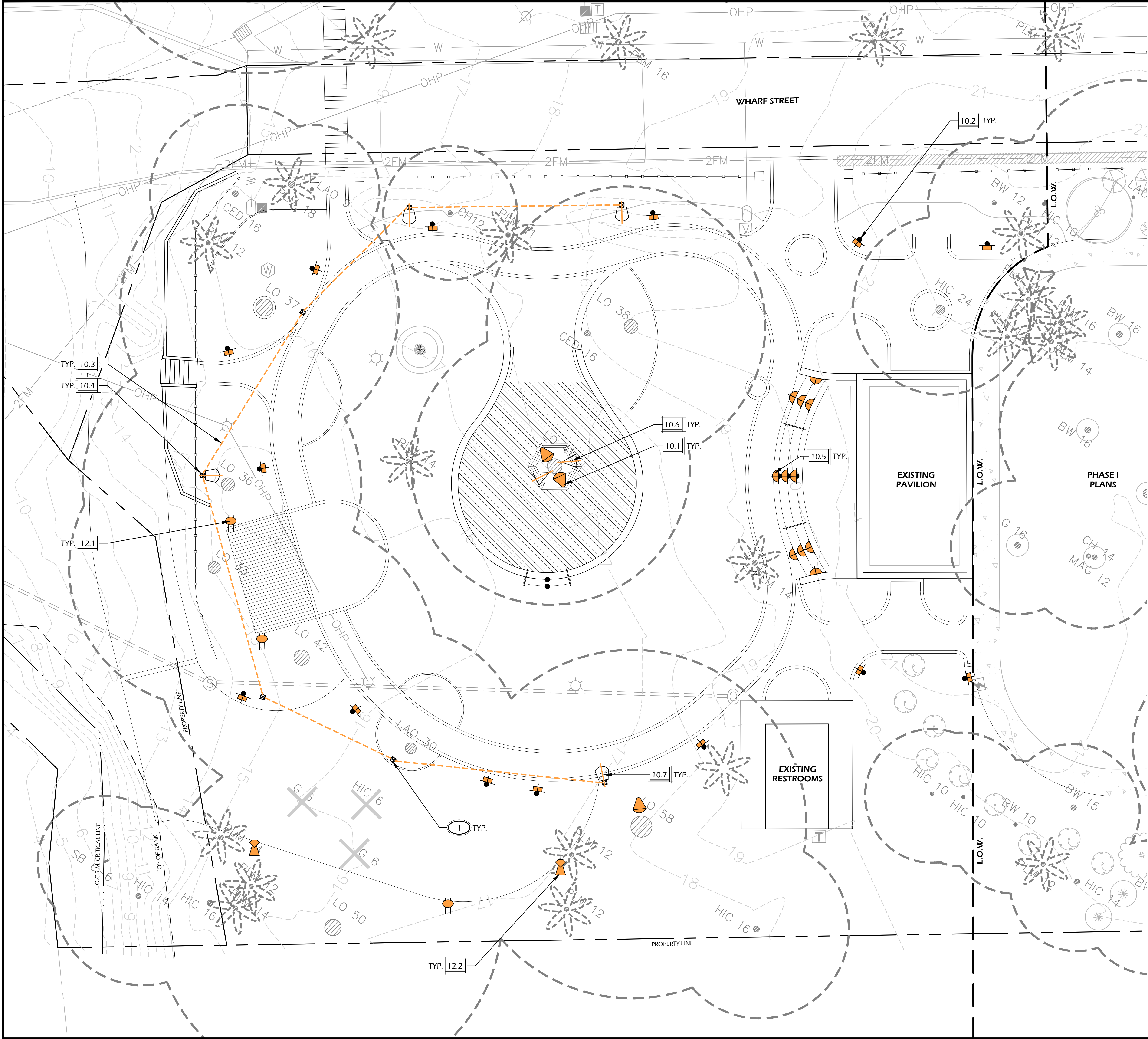
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GRADING PLAN

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Page 121



LIGHTING SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		3	UP LIGHT	X/L60X
10.2		13	BOLLARD LIGHT	X/L60X
10.3		±210 LF	STRING LIGHTS	X/L60X
10.4		6	MOUNTING POLE	X/L60X
10.5		11	STEP LIGHT	X/L60X
10.6		2	DOWN LIGHT	X/L60X
10.7		4	CAMERA (ON LIGHT POLE)	X/L60X

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

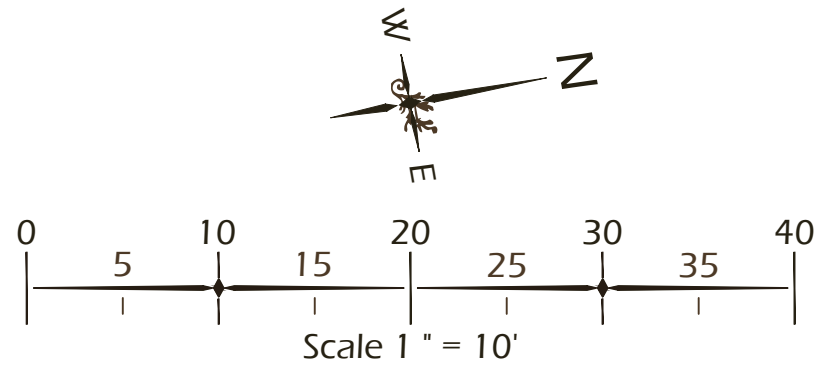
UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
12.1		3	G.F.I. OUTLET	X/L60X
12.2		2	FOOD TRUCK POWER PEDESTAL	X/L60X

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

LIGHTING / UTILITY REFERENCE NOTES:

- 1 FIELD ADJUST STRING LIGHT AND MOUNTING POLE LOCATIONS TO AVOID TREE ROOTS AND LOW BRANCHES. NO MORE THAN 50' BETWEEN POLES.

DRAFT



Section IX, Item #3.

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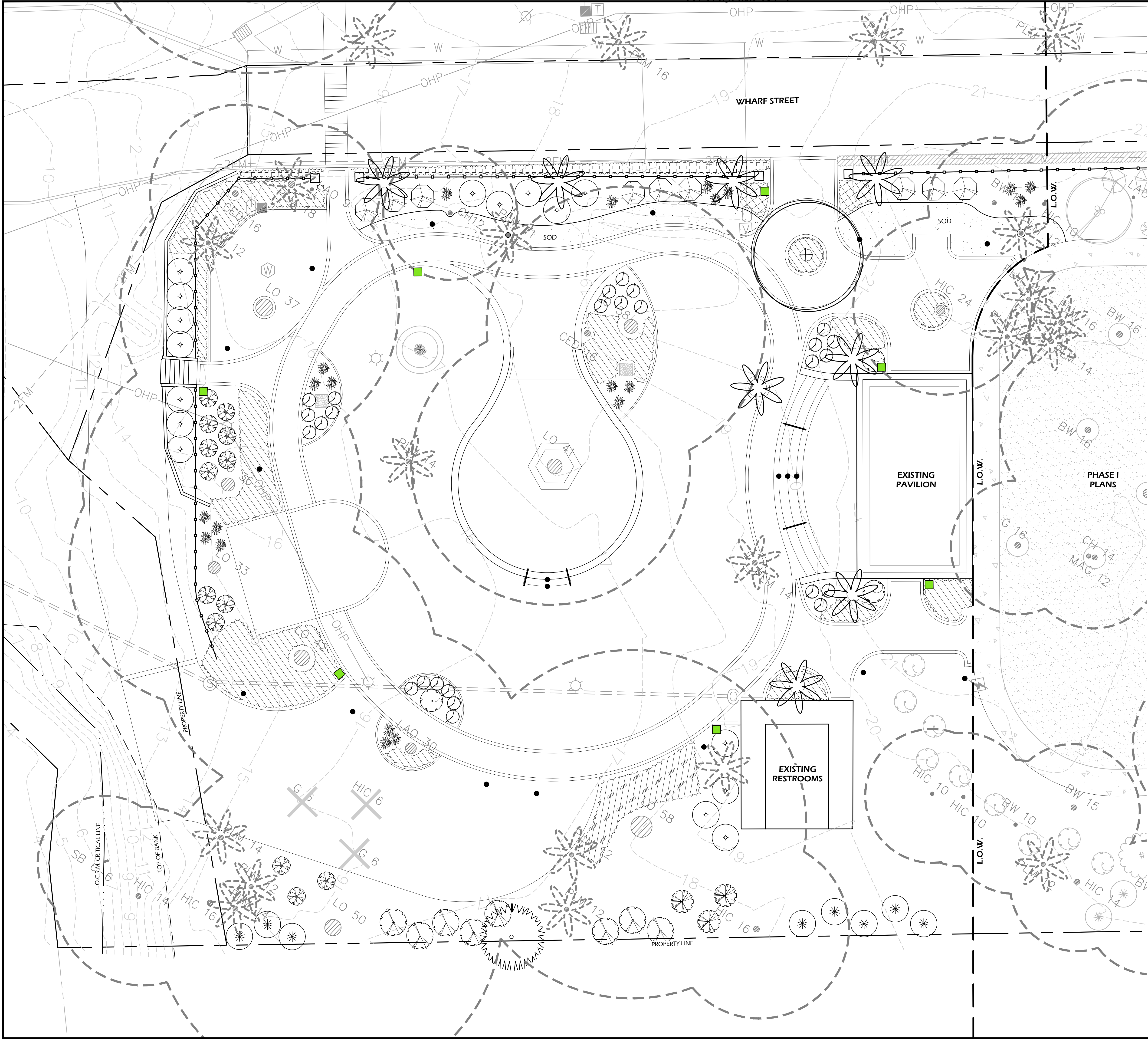
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UTILITY PLAN

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PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	X/L50X
14.2	PALM TREE PLANTING	X/L50X
14.3	SHRUB PLANTING	X/L50X
14.4	GROUND COVER PLANTING	X/L50X

PLANT KEY LEGEND

Section IX, Item #3.

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FOR

OYSTER FACTORY PARK

EVENT SPACE IMPROVEMENTS
BLUFFTON, SOUTH CAROLINA

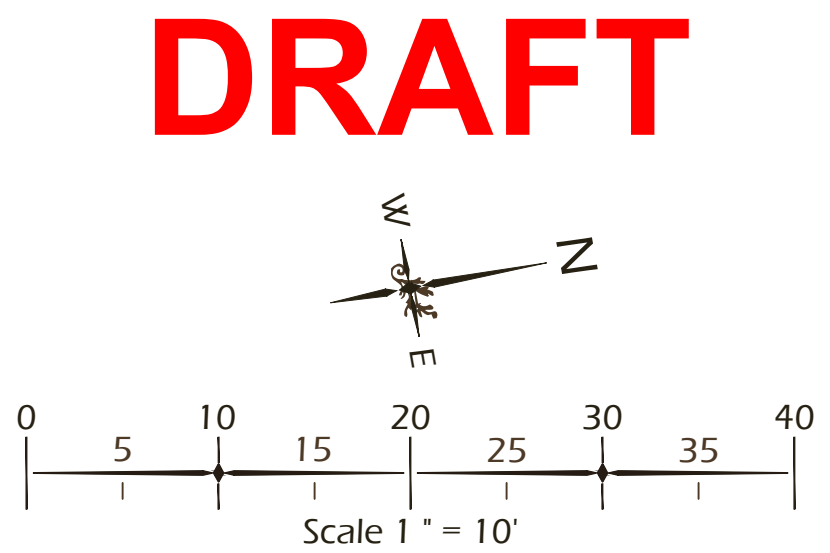
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PLANTING PLAN

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1 // L600 BRICK PATIO AND MONUMENTAL STEPS
SCALE: N.T.S.



2 // L600 PERMEABLE TABBY CONCRETE PAVERS
SCALE: N.T.S.



3 // L600 BAHAMA LIMESTONE
SCALE: N.T.S.



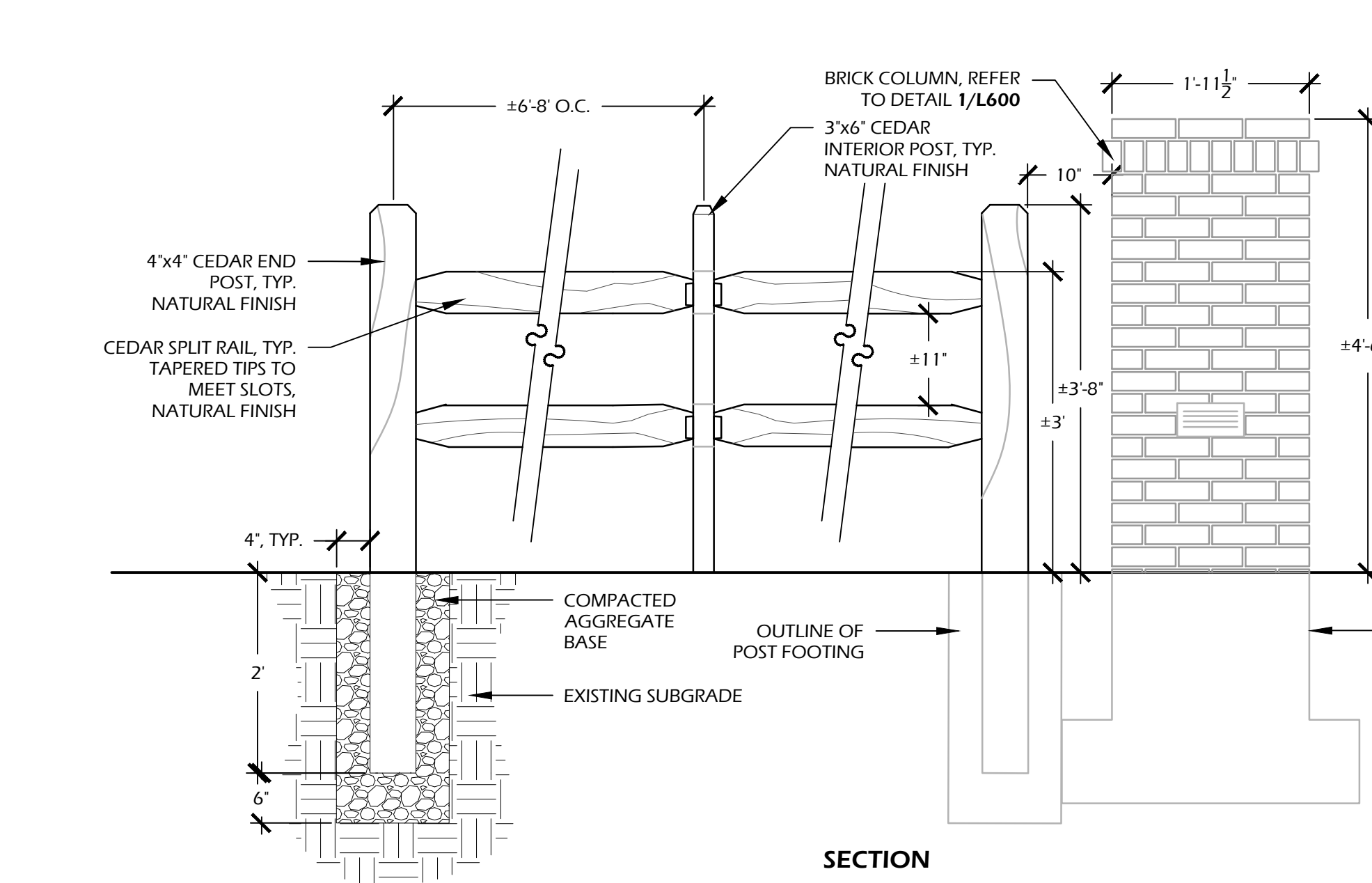
4 // L600 IPE WOOD DECK
SCALE: 1" = 1'-0"



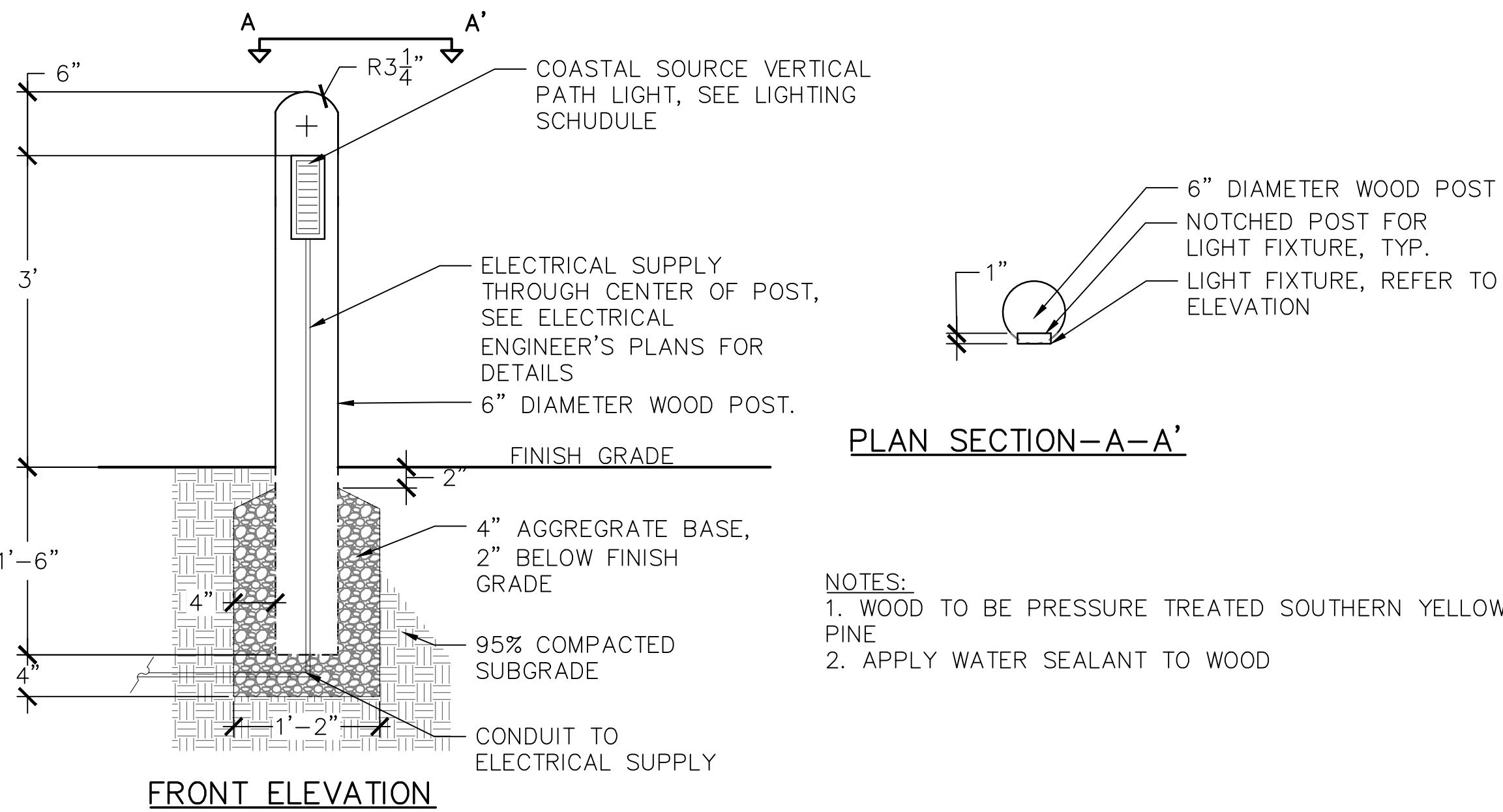
5 // L600 TABBY WALL WITH BRICK CAP
SCALE: N.T.S.



6 // L600 IPE WOOD BANDSTAND
SCALE: 1" = 1'-0"



7 // L600 SPLIT RAIL FENCE WITH BRICK COLUMNS
SCALE: 3/4" = 1'-0"



8 // L600 WOOD BOLLARD WITH LIGHT
SCALE: 1" = 1'-0"



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FOR
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BLUFFTON, SOUTH CAROLINA

DATE:	APR 05, 2023
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SITE DETAILS

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MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from July 15, 2023 to August 14, 2023

DATE: 9/6/2023

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
82 Calhoun Street	Construction of a Brick Garden Wall to Replace Non-Historic Wood Picket Fence	Glen Umberger	Approved
5728 Guilford Place	Replace Hanging Sign	Katie Peterson	Approved
18 Bruin Road	Install New Panel from Existing Free-Standing Post and Wall Sign	Katie Peterson	Approved
212 Bluffton Road	Roof Company Signage	Katie Peterson	Approved