



Historic Preservation Commission

Wednesday, July 05, 2023 at 6:00 PM

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

AGENDA

This meeting can be viewed live on [Beaufort County Channel](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. NOTICE REGARDING PUBLIC COMMENTS*

Every member of the public who is recognized to speak shall address the Chairman and in speaking, avoid disrespect to Commission, Staff, or other members of the Meeting. State your name and address when speaking for the record. COMMENTS ARE LIMITED TO THREE (3) MINUTES.

V. ADOPTION OF THE AGENDA

VI. ADOPTION OF MINUTES

[1.](#) June 7, 2023 Minutes

VII. ELECTION OF OFFICERS

VIII. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

IX. OLD BUSINESS

X. NEW BUSINESS

[1.](#) **Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the owner, 5824 Guilford Place LLC (Larry Page), to approve a Certificate of Appropriateness-HD to allow the construction of a 2-story commercial office building of approximately 2,888 SF and Carriage House of approximately 1,200 SF to be located at 5824 Guilford Place, Lot 14 in the

Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General- HD.(COFA-04-23-017854)(Staff - Katie Peterson)

2. **Certificate of Appropriateness:** A request by Ansley Hester Manuel, Architect, on behalf of the owners, George and Lillian Heyward, to approve a Certificate of Appropriateness-HD to allow the renovation of the Contributing Resource known as the Heyward Cottage, including the addition of approximately 230 SF to the 2187 SF, 1-story single family residential structure of located at 130 Pritchard Street, in the Old Town Bluffton Historic District and zoned Riverfront Edge- HD.(COFA-03-23-017840)(Staff - Katie Peterson)

XI. DISCUSSION

XII. ADJOURNMENT

NEXT MEETING DATE: Wednesday, August 2, 2023

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. Public comment is limited to 3 minutes per speaker.*

Executive Session - The public body may vote to go into executive session for any item identified for action on the agenda.

Historic Preservation Commission

Theodore D. Washington Municipal Building, 20 Bridge Street, Henry "Emmett" McCracken Jr.
Council Chambers

Wednesday, June 07, 2023 at 6:00 PM

I. CALL TO ORDER

Chairman Trimbur called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Commissioner Kerri Schmelter

Commissioner Mary Vaux Bell

Chairman Bruce Trimbur

Vice Chairman Evan Goodwin

Commissioner Carletha Frazier (Arrived at 6:23pm)

Commissioner Will Guenther

III. ADOPTION OF THE AGENDA

Commissioner Schmelter made a motion to adopt the agenda.

Seconded by Vice Chairman Goodwin.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Guenther

All were in favor and the motion passed.

IV. ADOPTION OF MINUTES

1. April 5, 2023 Minutes

Commissioner Guenther made a motion to adopt the minutes as written.

Seconded by Commissioner Schmelter.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Guenther

All were in favor and the motion passed.

V. PUBLIC COMMENTS FOR ITEMS NOT ON THE AGENDA*

Joan Heyward, 95 Boundary St. Ms. Heyward asked that the Campbell Chapel be approved. Ms. Heyward also discussed the Joiner House window type and style discrepancies. She asked that the Commission approve the window.

VI. OLD BUSINESS

VII. NEW BUSINESS

1. **Administrative Appeal:** A request by Eugene & Melanie Marks, owner of 9 Bruin Road to appeal the UDO Administrator's decision to fail the Rough-HD inspection associated with Permit RNEW-08-22-2266, as related to non-approved windows associated with COFA-03-22-

016484, on the property located at 9 Bruin Road, commonly referred to as the Joiner House, a Contributing Resource within the Old Town Bluffton Historic District and zoned Neighborhood Core-HD. (ZONE-05-23-017996)

Vice Chairman Goodwin recused himself. Assistant Town Manager Colin presented. Historic Preservation Commission Attorney Richardson LaBruce discussed how the HPC is operating in a quasi-judicial manner and the format for the appeal. Mr. Marks reviewed the Marvin window with what was proposed and the Pella window which was the window in question. Mr. Marks stated there was no vinyl in the Pella.

Commissioner Frazier arrived during the appellant's presentation and Chairman Trimbur verified that both Staff and the Appellant agreed to her sitting through the rest of the case. Both Staff and Mr. Marks agreed that Commissioner Frazier could hear the rest of the case. Mr. Marks discussed why there was a change in the type of windows.

Staff discussed why the project is before the HPC and that the vinyl error can be corrected.

The HPC discussed their opinions on the project. The Commission stated that the windows are a suitable and superior replacement and that there were extenuating circumstances with supply chains to get the original windows.

Commissioner Schmelter made a motion to affirm the UDO Administrator's decision in part given that the windows installed were not the same windows approved by Staff and as specified in the Building Permit (Marvin Elevate windows), Staff was not provided additional information regarding the Pella Lifestyle windows prior to installation; and Staff did not approve them as required by the Certificate of Appropriateness. However, Commissioner Schmelter continued to move to reverse the UDO administrator's decision that the Pella Lifestyle windows installed do not meet the Arm's Length Rule, meaning they are not indistinguishable from the original windows at an arm's length; and the Pella Lifestyle windows installed do not match the old windows in design and texture.

The applicant was allowed to proceed with the current approved Certificate of Appropriateness – HD.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

2. **Certificate of Appropriateness:** A request by Andrew Pietz to allow the construction of a new single-family residence of approximately 3,291 SF and a Carriage House of approximately 484 SF to be located at 58 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-03-23-017752) (Staff - Katie Peterson)

Vice Chairman Goodwin returned to the dais.

Staff presented. The applicant was in attendance. The applicant reviewed the staff's conditions and updates. There was discussion about the louvers and the bay window.

Commissioner Schmelter made a motion to approve application with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per the Applications Manual, a Town of Bluffton Encroachment Permit is required.
3. The fire hydrant must be relocated prior to issuance of a Building Permit.
4. The Site Plan (Sheet S100) must be revised to include the driveway and accurate building footprints.
5. Per Sections 5.15.8.F. and 5.15.5.F. the square windows on the Carriage House must be revised to match those on the primary structure.
6. Per Section 5.15.6.H. of the UDO, the PVC clad post shown on stair detail must be revised to a permitted material.
7. Per Section 5.15.6.H. of the UDO, revise the louvered panel details so that all areas are consistent, and all columns align with the “piers” supporting them.
8. Revise the louvered panel detail on the side elevations to match the front with the mono-slab above the louvered panel.
9. If when structurally considered, the appearance is modified at the rear left corner near the bay window, the modification may be reviewed by Staff for consideration.

Seconded by Vice Chairman Goodwin.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

3. **Certificate of Appropriateness:** A request by Joseph DePauw, AIA, on behalf of the owner Marti Golson of Caramar Rentals & Investments LLC, to allow the renovation and repair of the approximately 690 SF Contributing Resource, known as the Walker House, including the removal of the 250 SF attached carport and the addition of 53 square feet to the south elevation located at 99 Pritchard Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-04-23-017906) (Staff - Katie Peterson)

Staff presented. The applicant was in attendance. There was discussion about the current vinyl on the structure and the location of the service yard.

Vice Chairman Goodwin approved the application as submitted, as vinyl siding is an appropriate material on the addition due to the existing conditions of the site.

Seconded by Commissioner Frazier.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

4. **Certificate of Appropriateness:** A request by James O. McGhee, Architects, P.C., on behalf of owner, the Board of Trustees of the Campbell Chapel A.M.E. Church, to demolish the non-historic, non-contributing portion of approximately 2,307 SF, to allow the construction of a 1-story free-standing addition of approximately 608 SF, and to renovate the historic 1,780 SF Contributing Resource known as Campbell Chapel A.M.E. (Tax Parcel R610-039-00A-0080-0000) located at 23 Boundary Street, in the Old Town Bluffton Historic District and zoned Neighborhood Center-HD. (COFA-04-23-0107894) (Staff - Glen Umberger)

Staff presented. The applicant was in attendance. There was discussion about the existing structure and the materials used, the type of roof being proposed and the design of the proposed front porch.

Vice Chairman Goodwin made a motion to approve the application with the following conditions:

1. Per Sections 3.18.3.A. and Section 5.15.6.J. of the UDO, the use of wood shingles is not permitted.
2. Per Section 3.18.3.A. of the UDO that the installation of exterior shutters is not permitted unless additional documentation is provided for Staff review and approval.
3. A membrane roof for the rear addition be permitted as a substitute for those materials listed in Section 5.15.6.H.2.a. of the UDO.
4. A Landscape Plan has not been reviewed as part of this application and future work beyond the scope of this application will be required to be reviewed.
5. Per Section 3.10 of the UDO, a Development Plan will be required to complete site changes to stormwater, parking layout, circulation, etc. that exceeds the scope of work approved under the Certificate of Appropriateness-HD.

Seconded by Commissioner Vaux Bell.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

All were in favor and the motion passed.

VIII. DISCUSSION

Staff thanked Commissioner Bell and Chairman Trimbur for their years of service as this was their last meeting.

IX. ADJOURNMENT

Commissioner Guenther made a motion to adjourn.

Seconded by Commissioner Vaux Bell.

Voting Yea: Commissioner Schmelter, Commissioner Vaux Bell, Chairman Trimbur, Vice Chairman Goodwin, Commissioner Frazier, Commissioner Guenther

The meeting adjourned at 8:38pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	July 5, 2023
PROJECT:	5824 Guilford Place, Lot 14 – New Construction: Commercial Office
APPLICANT:	Pearce Scott Architects
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Pearce Scott Architects, on behalf of the owner, Larry Page, requests that the Historic Preservation Commission approve the following application:

1. **COFA-04-23-017854.** A Certificate of Appropriateness to allow the Construction of a new 2-story commercial office building of approximately 2,888 SF and a Carriage House of approximately 1,200 SF to be located at 5824 Guilford Place, in the Old Town Bluffton Historic District, Lot 14 in the Stock Farm Development, and zoned Neighborhood General- HD.

INTRODUCTION: The Applicant is proposing the construction of a commercial office building of approximately 2,888 SF in the Old Town Bluffton Historic District and Carriage House of 1,200 SF. The proposed primary building is a two-story structure featuring a hip roof, with a hip roofed porch which wraps nearly three sides of the first story. There is a small, infilled area on the first floor of the right side, and a two-story side addition on the left elevation. The structure combines characteristics of several building types, and therefore, is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant has proposed a Carriage House structure of approximately 1,200 SF, which meets the design standards for a Carriage House Building Type. Both structures feature 3/4" beaded cypress wood siding, standing seam roofs and share architectural detailing through their columns, railings, windows and trim.

This project was presented to the Historic Preservation Review Committee for conceptual review at the May 1, 2023 meeting and comments were provided to the Applicant (See Attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new commercial office structure and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed commercial office structure adds to the district as well as helps to provide completeness to the neighborhood and overall district.

2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General- Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.

b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) Section 5.3.3. Replacement of Protected Trees. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing trees to be saved, including trees located within a required buffer, together with the mature canopy of proposed replacement trees. An exhibit showing the canopy coverage for the site must be provided, as not enough information was provided to complete the review.
- 2) Section 5.3.7.E. Foundation Plantings. Except when a build-to line or minimum setback identified in this Ordinance makes the provision of foundation plantings impractical, a foundation planting area at least 8 feet wide shall be maintained around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers in order to soften the building façade. As requested during the conceptual review at HPRC, the existing landscaping must be shown on the plan to ensure adequate plantings have been retained or replanted.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing, with revisions to address the items in section 2 above, will be sensitive to the neighboring properties.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structures, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be incomplete. As the property is located within the Stock Farm development, a letter of approval from the Stock Farm ARB is required prior to approval. The Applicant has provided a copy of comments from the ARB. The Landscape Plan and Grading Plan must be revised to reflect the ARB's comments and a letter of approval from the ARB provided prior to issuance of the Certificate of Appropriateness.

From measurements taken June 28, 2023, the sidewalk is approximately 6 feet from the existing fence line. The site plan/landscape plan/grading plan, which all appear to use the 2017 survey, shows the sidewalk approximately 8 feet from the fence. It appears the existing fence may have been relocated closer to the sidewalk during the May River Streetscape improvements in late 2019. The Applicant will need to work with staff to ensure grading proposed will not result in a complete loss in Streetscape Foundation Plantings or impact the sidewalk while maintaining positive drainage. It is Staff's recommendation that the entire structure be moved 5 feet towards the rear of the property to eliminate the need to relocate the fence, plantings or modify the drainage at the front of the lot.

As there are several trees 14 inches in diameter at breast height or greater being proposed for removal, a tree removal permit is required.

Finally, as this is a commercial structure, it must be noted that any proposed signage will need to submit a Site Feature – HD Application for review and approval prior to installation. No signs are reviewed as a portion of this application.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per the Applications Manual, approval from the Stock Farm POA is required prior to approval of a Certificate of Appropriateness- HD.

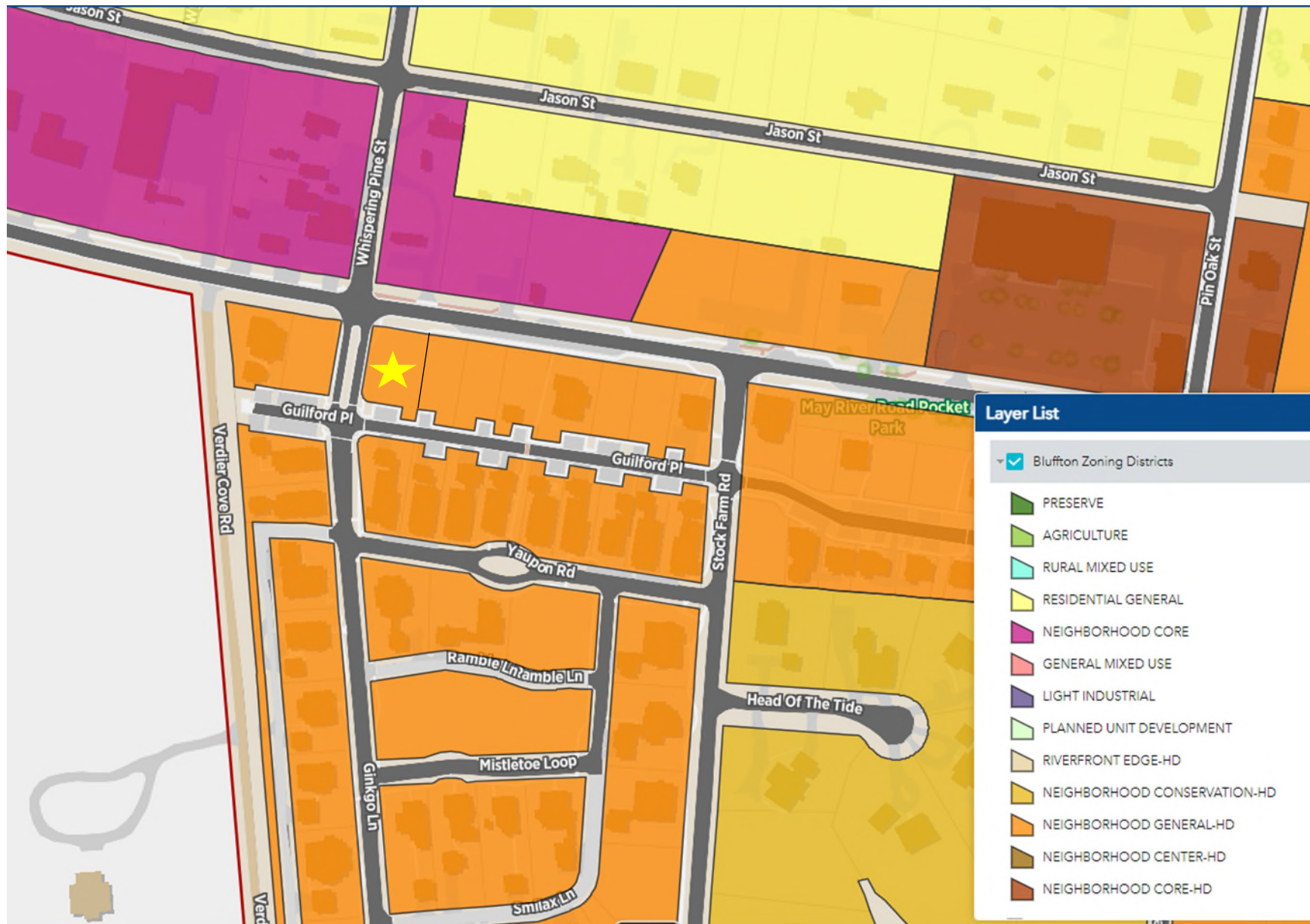
3. Per the Applications Manual, any proposed signage requires separate Site Feature-HD approval.
4. Per UDO Section 5.3.3., a canopy coverage exhibit must be provided for review.
5. As requested during the conceptual review at HPRC, the existing landscaping must be shown on the plan to ensure adequate plantings have been retained or replanted.
6. The Applicant must work with staff to ensure grading proposed will not result in a complete loss in Streetscape Foundation Plantings or impact the sidewalk while maintaining positive drainage.
7. It is recommended that the primary structure be relocated 5' towards the rear property line to eliminate the need to relocate the fence, plantings or modify the drainage at the front of the lot.

ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative
3. Site Plan & Elevations
4. Landscape Plan
5. ARB Letter
6. HPRC Report

ATTACHMENT 1
Zoning and Location Map

Section X. Item #1.





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Pearce Scott Architects		Name: Larry Page	
Phone: 843.837.5700		Phone: 843.384.7541	
Mailing Address: 6 State of Mind Street, Ste. 200 Bluffton, SC 29910		Mailing Address:	
E-mail: amanda@pscottarch.com		E-mail: larrypagehh@gmail.com	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: Lot 14 Stock Farm		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 5824 Guilford Place		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General - HD		Application for:	
Acreage: 0.24		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1489 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: New 2 story Main Building and Carriage House.			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date: 06/07/23	
Applicant Signature:		Date: 06/07/23	
For Office Use			
Application Number: COFA-04-23-017854		Date Received: 06/07/23	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type					
Building Setbacks	Front: 15	Rear: 21	Rt. Side: 17	Lt. Side: 21	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage	Proposed Square Footage	
Main Structure	MAIN			2888	
Ancillary	C.H.			1200	
Ancillary					
4. SITE COVERAGE					
Impervious Coverage			Coverage (SF)		
Building Footprint(s)			2600 + 850 = 3450		
Impervious Drive, Walks & Paths			550		
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE			4000		
B. TOTAL SF OF LOT			10401.21		
% COVERAGE OF LOT (A/B= %)			38%		
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation	
Foundation			Columns	Wood	
Walls	Horizontal Cedar/ Bd. & Batt		Windows	Clad	
Roof	Standing Seam Metal		Doors	Wood	
Chimney			Shutters	Wood	
Trim	Wood / Hardie		Skirting/Underpinning		
Water table			Cornice, Soffit, Frieze	Wood / Hardie	
Corner board			Gutters		
Railings	Wood		Garage Doors		
Balusters	Wood		Green/Recycled Materials		
Handrails	Wood				



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

LARRY PAGE

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

AMANDA J. DENMARK

Printed Name of Applicant

Date

06/07/23

Date

06/07/23



June 07, 2023

Lot 14 Stock Farm
5824 Guilford Place

Narrative

On behalf of the owner, Larry Page, we would like to submit conceptual drawings for a new Commercial Office building and Accessory Carriage House.

The building is an additional building type located in the Stock Farm Development.

All materials will adhere to the UDO. The exterior will be a combination of Cypress Horizontal siding and Board and Batten. A wood water table will delineate the First floors from Second Floors. Columns are to be Wood. All shutters will be wood and operable. "S" hook shutter dogs will be used. The roof will be Standing Seam Metal. Stairs and handrails will be made of wood with a metal guard rail and will be ANSI code requirements. All porches will be tabby with brick border.

We propose adding 2 additional parking spaces on Guilford Place and straightening the sidewalk to connect to the existing sidewalk in front of Lot 13.

Thank you for your consideration,

Amanda Jackson Denmark
Project Manager

PROJECT INFORMATION

1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations. Contractor to file all required certificates of insurance, permits, bonds, and fees prior to commencement of work.

2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.

3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.

4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.

5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.

6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by Owner.

7. Contractor to provide a job sign in accordance with the neighborhood/development regulations.

8. The site is to be kept clean at all times for the duration of the project.

9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.

10. The design documents are to be used for design intent and in coordination with supplemental engineering documents. See note 5.

11. All walls are dimensioned to the face of stud or masonry unless noted otherwise. Existing walls are dimensioned to finished surface.

12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.

13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.

14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

NUMBER	NAME	ORIG ISSUE	REV#	REV DATE
--------	------	------------	------	----------

[illegible]

ARCH. SITE

A001	SITE PLAN			
------	-----------	--	--	--

ARCH. FLOOR PLANS

A101	FIRST FLOOR PLAN			
A102	SECOND FLOOR PLAN			
A103	ROOF PLAN			
A104	CARRIAGE HOUSE PLANS			

ARCH. EXT. ELEVATIONS

A201	EXTERIOR ELEVATIONS			
A202	EXTERIOR ELEVATIONS			
A203	C.H. EXT. ELEVATIONS			

ARCH. DETAILS

A301	BLDG & WALL SECTIONS			
A401	DETAILS			
A501	WIN. & DOOR SCHEDULES			
A502	WIN. & DOOR DETAILS			



This project consists of a New Building and Accessory Carriage House. The Occupancy will be Business and is located in the Stock Farm Development.

OWNER:
Larry Page
22 McIntosh Road
Hilton Head Island, SC 29926
C: 843.384.7541
E: larrypagehh@gmail.com

ARCHITECT:
Pearce Scott Architects
H. Pearce Scott, AIA
Amanda J. Denmark
6 State of Mind Street, Suite 200
Bluffton, SC 29910
P: 843.837.5700
C: 843.816.6067
E: pearce@pscottarch.com
E: amanda@pscottarch.com

GENERAL CONTRACTOR:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:
River Mechanics
Jonathan Page, PE, CFM
3851 Junction Boulevard
Raleigh, NC 27603
C: 843.384.7799
E: JP@River-Mechanics.com

LANDSCAPE DESIGNER:
By the Sea Landscaping, LLC
Jerry Gentile
42 Circlewood Drive
Hilton Head Island, SC 29926
C: 843.337.2214
E: jgentile.bythesea@gmail.com

ELECTRICAL ENGINEER:

PLUMBING & MECH. ENGINEER:

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6 STATE OF MIND ST
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843.837.5700

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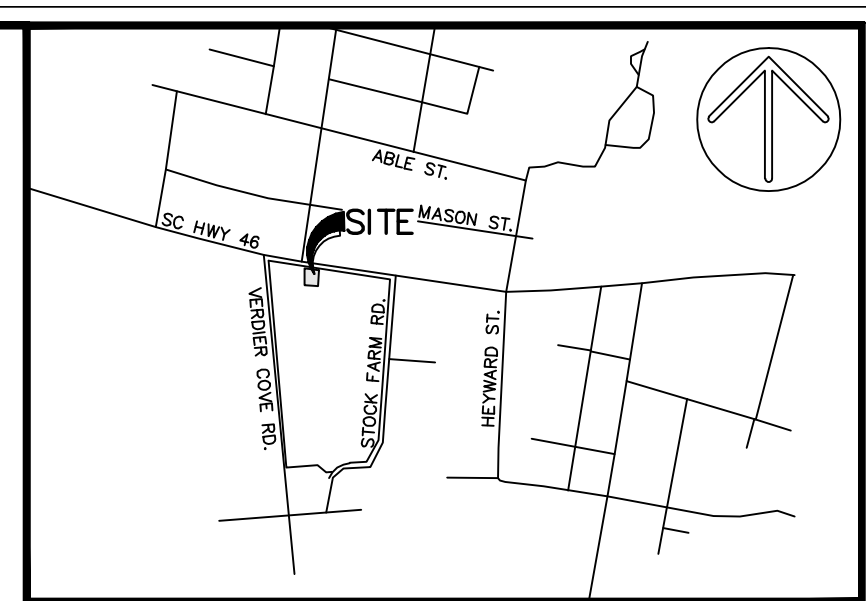
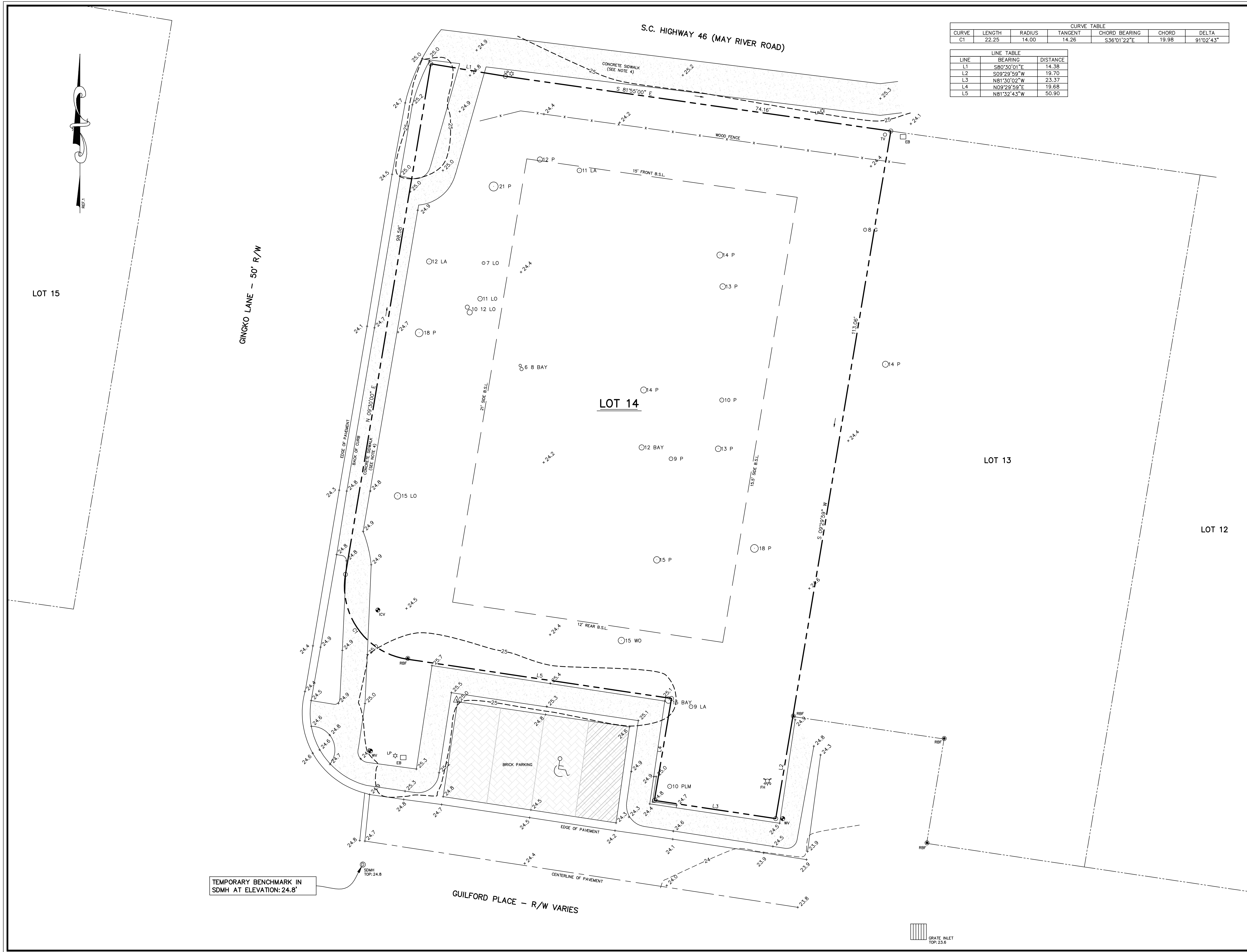
PROJECT NO.	2306
DATE	06.07.23
DRAWN BY	AJD
CHECKED BY	AWB

COVER SHEET

SHEET NO

CVR

24X36 PAPER SIZE



VICINITY MAP NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO BE IN FLOOD ZONE X, PER FIRM MAP No. 45013C0426G, COMMUNITY No. 450251, DATED 03/23/21.
- TREE SIZES IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
- BUILDING SETBACK LINES (B.S.L.) SHOWN WERE PROVIDED BY OTHERS.
- ALL LOTS THAT HAVE EXISTING CONCRETE SIDEWALKS CROSSING OVER THE LOT LINES ARE SUBJECT TO A PATHWAY EASEMENT WHICH COVERS THE ENTIRE SHAPE OF THE WALK. REFER TO THE COVENANTS AND RESTRICTIONS FOR FURTHER INFORMATION AND ALL OTHER RESTRICTIONS. (AS PER REF.1)
- PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

LEGEND:

RBF	IRON REBAR FOUND
TV	TELEVISION PEDESTAL
EB	ELECTRIC BOX
LP	LAMP POST
P	PINE
LO	LIVE OAK
POST OAK	POST OAK
LA	LAUREL OAK
WO	WATER OAK
G	GUM
PLM	PALMETTO
SDMH	STORM DRAINAGE MANHOLE
x10.0	SPOT ELEVATION
-10-	CONTOUR

REFERENCE(S):

- PLAT BOOK 125, PAGE 176.

REVISION(S):

- 05.26.22 UPDATED TO NAVD 1988 DATUM

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRIMPED WITH SEAL



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A TREE & TOPOGRAPHIC SURVEY OF

LOT 14
GUILFORD PLACE

TMS R610 039 000 1489 0000

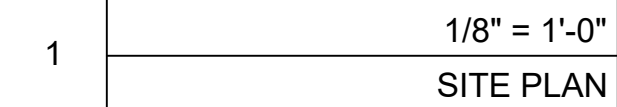
TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:

MAYBERRY HOLDINGS, LLC



PROJECT No.: 17110002
DRAWN BY: DRC PROJECT NAME 17110002
DATE: 11.07.17 FILE: 17110002T rev1 052622.dwg
SCALE: 1" = 8' SHEET 1 OF 1

[illegible]

NEW COMMERCIAL BUILDING FOR:
LARRY PAGE
LOT 14- 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
BLUFFTON, SC 29910

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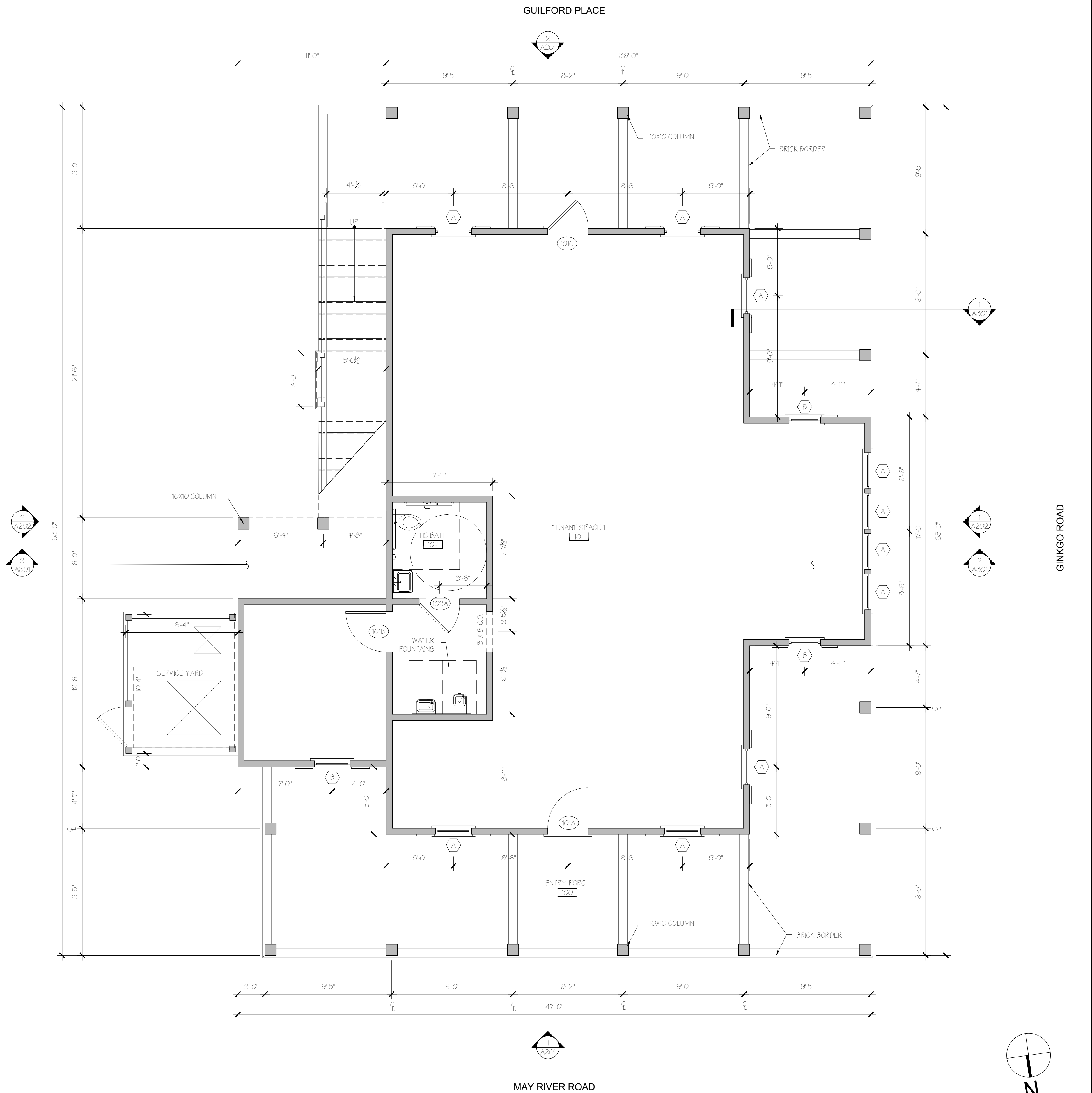
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PROJECT NO.	2306
DATE	06.07.23
DRAWN BY	AJD
CHECKED BY	AWB

SITE PLAN & SECTION

SHEET NO.
A001

24X36 PAPER SIZE



AREA CALCULATIONS

MAIN BUILDING	
CONDITIONED SPACE:	
FIRST FLOOR	1,505
SECOND FLOOR	1,383
TOTAL COND.	2,888

CARRIAGE HOUSE	
CONDITIONED SPACE:	
FIRST FLOOR	778
SECOND FLOOR	422
TOTAL COND.	1,200

LEGEND

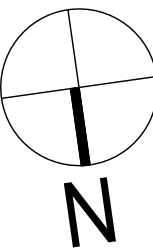
C.O.: CASSED OPENING
H.B.: HOSE BIB
2X4: 2X4 STUD WALLS
CL: CENTER LINE

GENERAL NOTES

- ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
- ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED
- ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED
- ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED
- ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE
- ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED

GINKGO ROAD

MAY RIVER ROAD



1 1/4" = 1'-0"
FIRST FLOOR PLAN

DO NOT SCALE FROM DRAWINGS						Section X, Item #1.		
						AJD	AJD	INITIAL
						06.06.23	05.26.23	DATE
						HPC FINAL SUBMITTAL	HPC CONCEPTUAL SUBMITTAL	
						DESCRIPTION / REVISION LOG		
						NO.		

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NEW COMMERCIAL BUILDING FOR:
LARRY PAGE
LOT 14, 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
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FIRST FLOOR
PLAN

SHEET NO.
A101
24X36 PAPER SIZE



GENERAL NOTES

1. ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
2. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED
3. ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED
4. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED
5. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE
6. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED

1. ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
2. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED
3. ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED
4. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED
5. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE
6. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED

[illegible]

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NEW COMMERCIAL BUILDING FOR:
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LOT 14- 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
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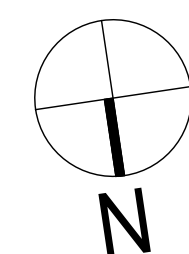
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PROJECT NO.	2306
DATE	06.07.23
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SECOND FLOOR PLAN

SHEET NO.
A102
24X36 PAPER SIZE

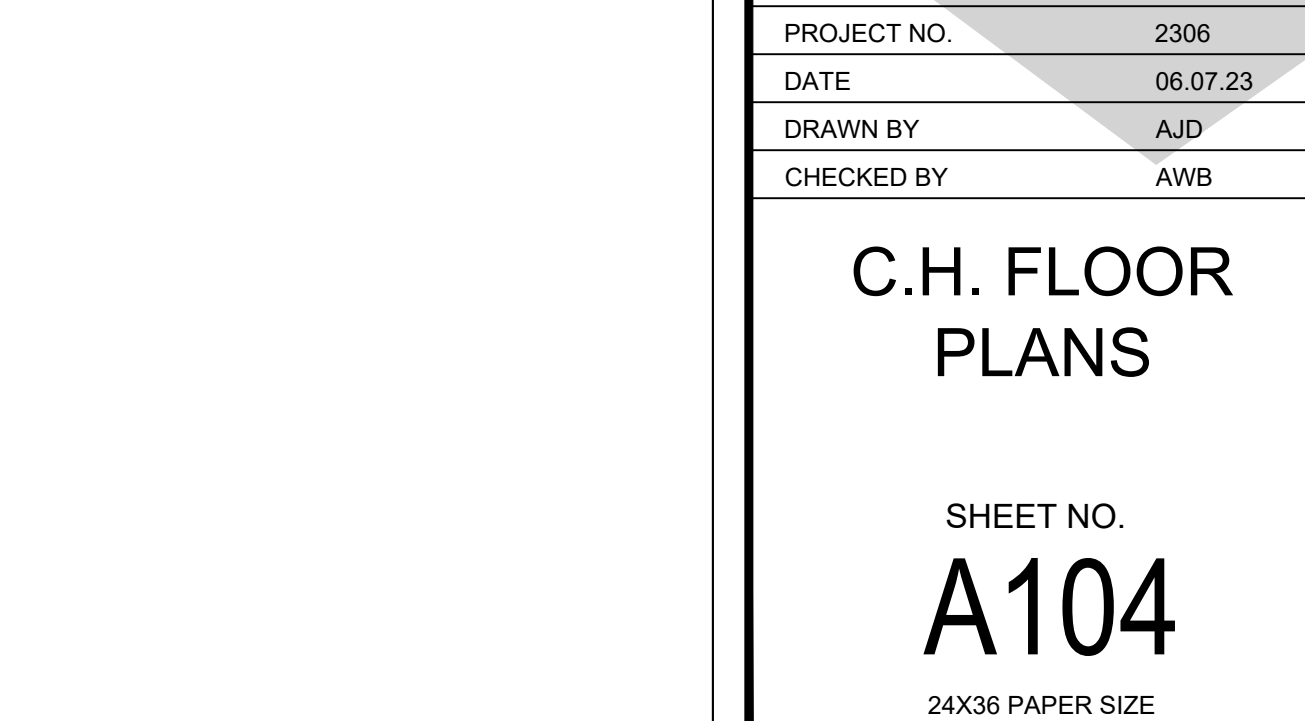
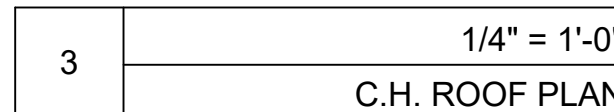
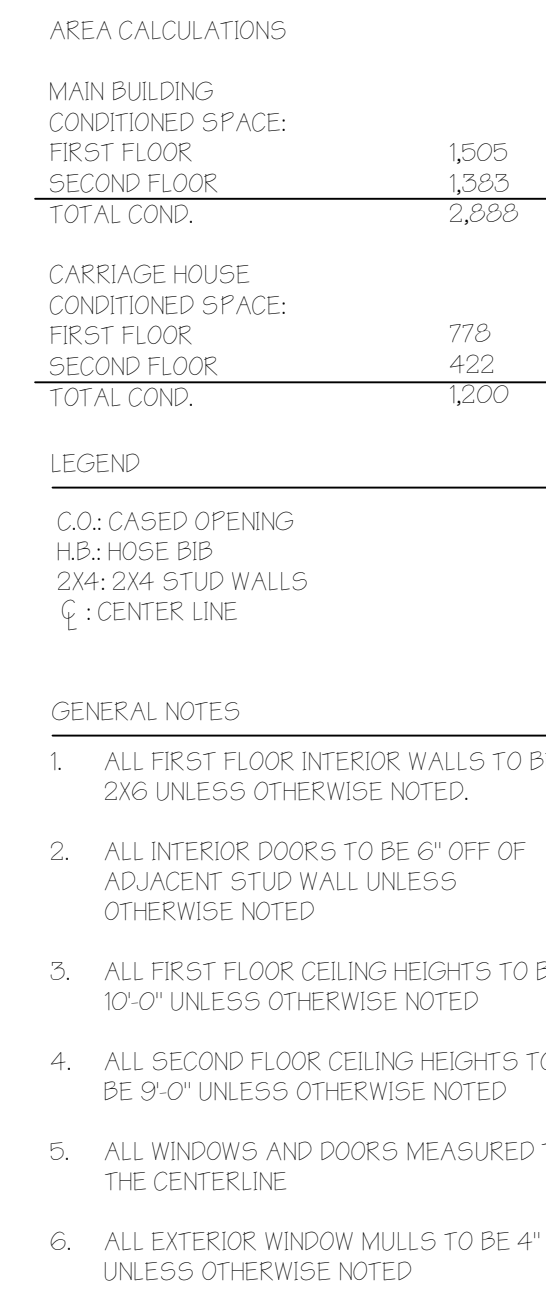


24X36 PAPER SIZE

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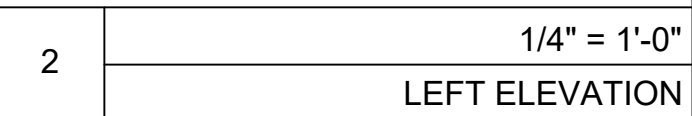
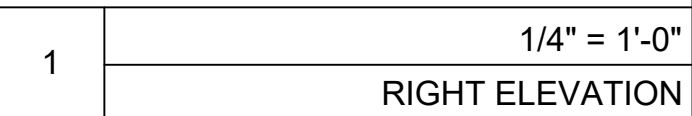
PROJECT NO.	2306
DATE	06.07.23
DRAWN BY	AJD
CHECKED BY	AWB



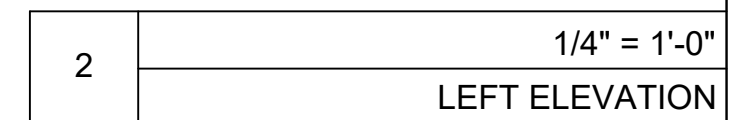
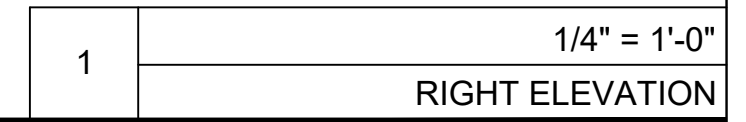


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24X36 PAPER SIZE



X36 PAPER SIZE

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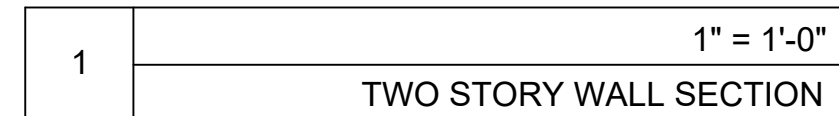
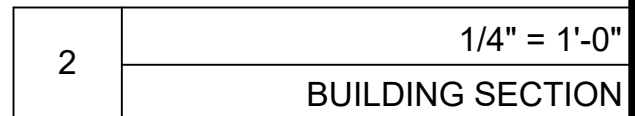
NEW COMMERCIAL BUILDING FOR:
LARRY PAGE
LOT 14, 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
BLUFFTON, SC 29910

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SHEET NO.

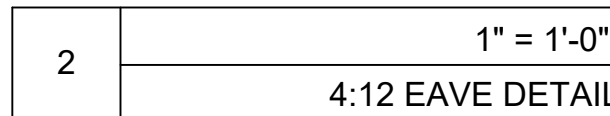
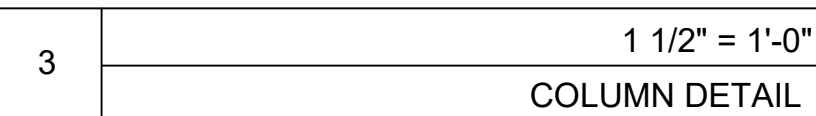
A203

X36 PAPER SIZE



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SHEET NO.

24X36 PAPER SIZE

NOTES:

1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
2. PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE. SEE DOOR ELEVATIONS FOR LOCATIONS OF TEMPERED GLAZING IN DOORS.
3. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT, SEE SPECIFICATIONS FOR IMPACT REQUIREMENTS.
4. INTERIOR DOOR STYLE TO BE DETERMINED BY OWNER.

1	1/4" = 1'-0"
	DOOR ELEVATIONS

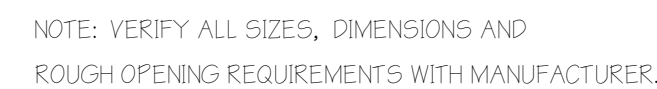
NOTES:

1. DESIGN BASED ON MARVIN ELEVATE WINDOWS & DOORS. ALL WINDOWS & DOORS TO HAVE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLS).
2. ALL WINDOWS ARE TO BE IMPACT-RATED.
3. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQUIREMENTS.
4. ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
5. IF MANUFACTURER CHANGES, COORDINATE WITH ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
6. IF WINDOWS ARE GROUPED, MAINTAIN MULL AS PER DETAIL.

2	1/4" = 1'-0"
	WINDOW ELEVATIONS



3	1" = 1'-0"
	WINDOW/ DOOR ELEVATION, TYP.



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SHEET NO.

24X36 PAPER SIZE

Diagram illustrating a cross-section of a window or door assembly, showing the exterior and interior details.

Labels and dimensions:

- SIDING - SEE ELEVATIONS
- 2X3 TRIM w/ CHAMFER
- 5/4X6 HARDIE TRIM
- 1/2" EXTERIOR SHEATHING
- EXTERIOR WINDOW / DOOR, SEE SCHEDULE
- 2X STUD WALL @ 16" O.C. w/ THERMAL INSULATION
- INTERIOR WALL FINISH
- HEADER, SEE STRUCTURAL
- WOOD CASING, TBD BY OWNER
- P.T. SHIM w/ THERMAL INSULATION BETWEEN SHIMS

Dimensions:

- 1/2"
- 1/2"
- 1/2"
- 1/2"
- 1/2"

Orientation: EXTERIOR (left) and INTERIOR (right).

DO NOT SCALE FROM DRAWINGS					
				AJD	
				AJD	
					INITIAL
				DATE	
			HPC FINAL SUBMITTAL	06.06.23	
			HPC CONCEPTUAL SUBMITTAL	03.28.23	
NO.			DESCRIPTION / REVISION LOG		

NEW COMMERCIAL BUILDING FOR:
LARRY PAGE
LOT 14: 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
BLUFFTON, SC 29910

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WINDOW & DOOR DETAILS

SHEET NO.
A502

24X36 PAPER SIZE

Page 31

This technical cross-section diagram illustrates the installation of a window into a wall, showing both the exterior and interior views. The diagram includes the following labels and dimensions:

- Labels:**
 - OPTIONAL SILL PAN
 - BACKER ROD AND SEALANT
 - CHAMFERED ACTUAL 3X3 SILL TRIM
 - 3"
 - 1X6 HARDIE TRIM
 - 1X HARDIE TRIM
 - HARDIE PANEL
 - 2X STUD WALL @ 16" O.C. W/ THERMAL INSULATION
 - INTERIOR WALL FINISH
 - 2X SILL PLATE
 - BLOCKING
 - WOOD SILL AND APRON, TO BE SELECTED BY OWNER
 - WOOD CASING BEYOND
 - WINDOW, SEE SCHEDULE
 - FLASHING
 - CHAMFERED ACTUAL 2X3 TRIM
 - 3/4"
 - 3/8"
 - 3/4"
 - 3"
- Dimensions:**
 - 3"
 - 3/4"
 - 3/8"
 - 3/4"
 - 3"

WOOD SILL BELOW
1X WOOD CASING
INTERIOR WALL FINISH
EXTENSION JAMB
SHIM W/ THERMAL INSULATION
BETWEEN SHIMS
(2) 2X 5 TUD
1/2" EXTERIOR SHEATHING
MOISTURE BARRIER
EXTERIOR WINDOW,
SEE SCHEDULE
BACKER ROD & SEALANT
5/4X6 TRIM RIPPED TO 4"
SILL BELOW

5"
4"
INTERIOR
EXTERIOR

FINISH MATERIAL TBD
 SLAB, SEE STRUCTURAL
 1 3/4" FIR DOOR, SEE SCHEDULE
 METAL PAN FLASHING SET IN CONT. BED OF SEALANT
 FLOOR THRESHOLD NOT TO EXCEED 1/2" AS PER ADA REQUIREMENTS
 TABBY STUCCO FINISH
 SLAB, SEE STRUCTURAL
 SLOPE TO DRAIN
 INTERIOR
 EXTERIOR

WOOD SILL BELOW

1X CASING TBD BY OWNER

INTERIOR WALL FINISH

2X STUD WALL @ 16" O.C. W/ THERMAL INSULATION

EXTERIOR WINDOW/DOOR, SEE SCHEDULE

INTERIOR

SIDING - SEE ELEVATIONS

1/2" EXTERIOR SHEATHING

MOISTURE BARRIER

EXTERIOR

P.T. SHIM W/ THERMAL INSULATION B/W SHIMS

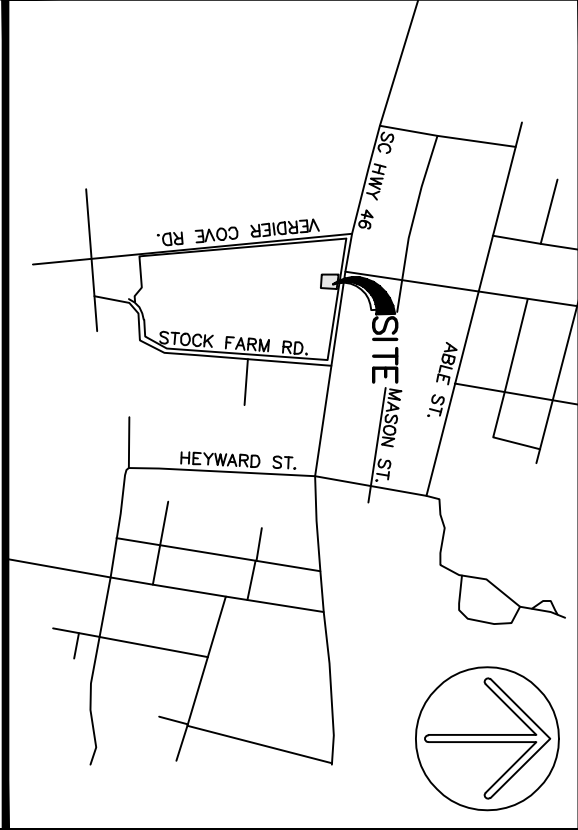
BACKER ROD AND SEALANT

SILL BELOW

5/4X4 TRIM BD.

3/4"

CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DETA
C1	22.25	14.00	14.58	58.93/22.5°	19.98	91.02/43°
LINE TABLE						
L1	S09+30.01°E		14.38			
L2	S09+28.59°W	18.70				
L3	N81+30.02°W	23.82				
L4	N81+27.43°W	20.57				
L5	N81+27.43°W	50.90				



VICINITY MAP NOT TO SCALE

NOTES:

1. THIS MAP NO. 46073004-06, IN FLOOD ZONE X, PER FIRM MAP NO. 46073004-06, IN FLOOD ZONE NO. 462025, DATED 03/21/21.
2. FREE SPACE IN INCHES OF DIAMETER - CONDUIT LENGTH, ELEVATION, SHOWN, ARE BASED ON LAND 1988 DATUM.
3. BUILDING SETBACK LINES (B.S.L.) SHOWN WERE PROVIDED BY OTHERS.
4. ALL LOTS HAVE EXISTING CONCRETE SIDEWALKS. SIDEWALKS ARE SHOWN TO BE BASED ON THE PROPERTY PATHWAY EASEMENT WHICH COVERS THE ENTIRE SHAPE OF THE WALK. REFER TO THE COVETAMNS AND ALL OTHER RESTRICTIONS. (AS PER PER.1)
5. PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, ETC. THE SETBACKS, EASEMENTS AND OTHER RESTRICTIONS ARE SHOWN FOR INFORMATION AND THE RESPONSIBILITY OF THE PROPERTY OWNER.

LEGEND:

RBF	IRON REAR FOUND
TV	TELEVISION PEDESTAL
EEB	ELECTRIC BOX
LP	LAMP POST
P	PINE
LO	LIVE OAK
POST OAK	POST OAK
LA	LAUREL OAK
WO	WATER OAK
G	GUM
PLM	PALETTES
SDMH	STORM DRAINAGE
10-0	SPOT ELEVATION
10-1	CONTOUR

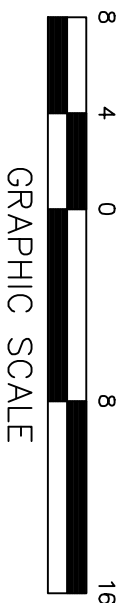
REFERENCE(S):

1. PLAT BOOK 125, PAGE 176.

REVISION(S):

1. 05.26.22 UPDATED TO NAVD 1988 DATUM

DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
NOT VALID UNLESS CRIMPED WITH SEAL



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A TREE & TOPOGRAPHIC SURVEY OF

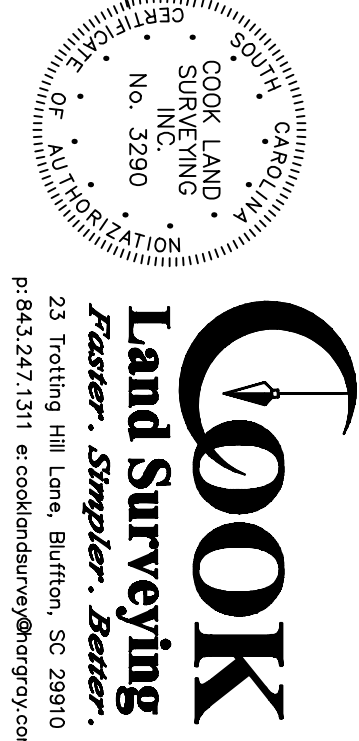
LOT 14
GUILFORD PLACE

TMS R610 039 000 1489 0000

TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA

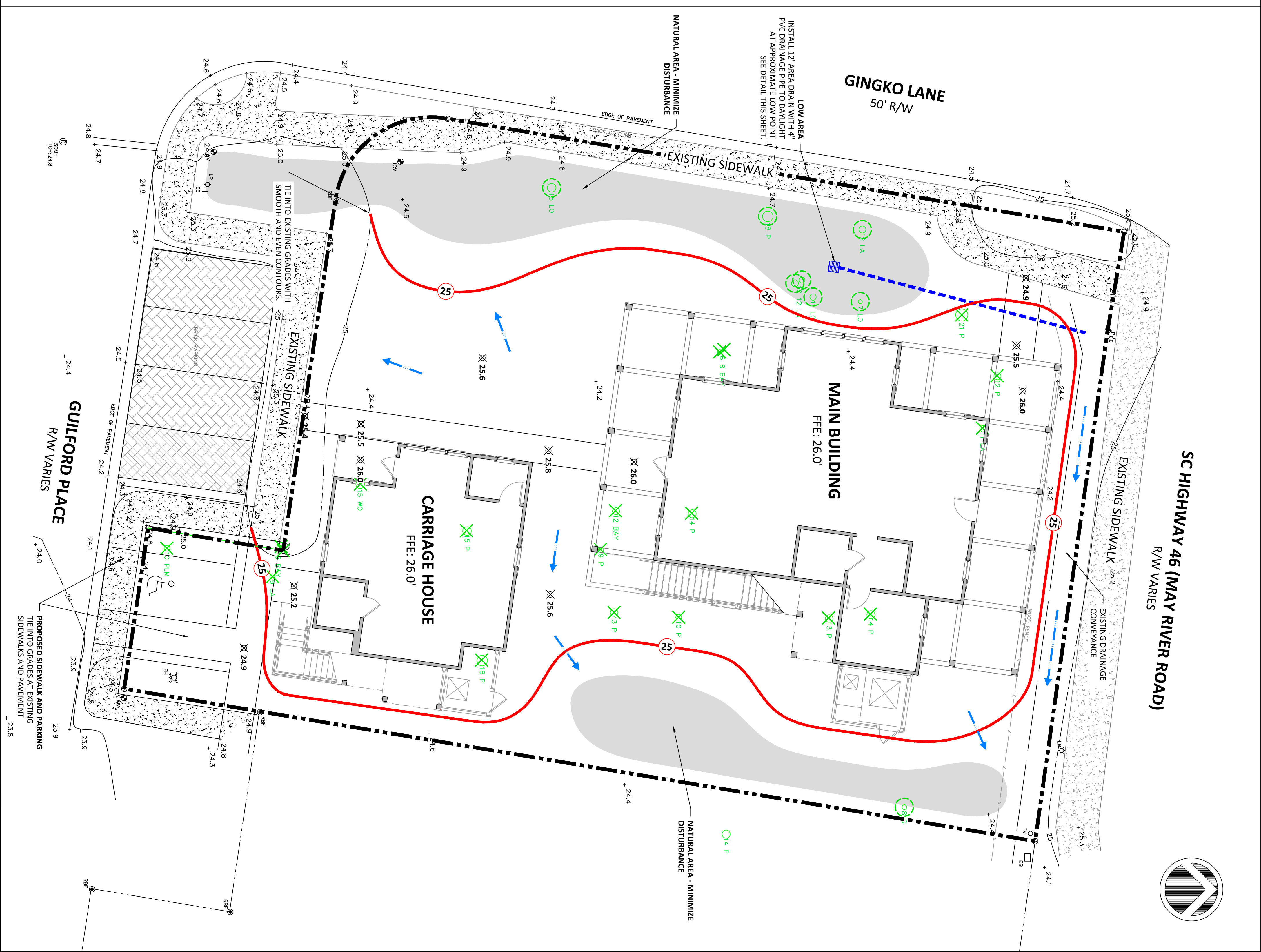
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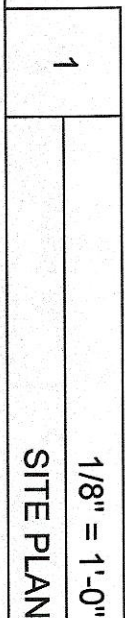
MAYBERRY HOLDINGS, LLC



PROJECT No.: 171100002

BY:	DRC	PROJECT NAME	171100002.dwg
DATE:	11.07.17	FILE:	171100002 rev1 052622.dwg
SCALE:	1" = 8'		



Page 34

LARRY PAGE
LOT 14, 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
BLUFFTON, SC 29910

**PEARCE
SCOTT
ARCHITECTS**

6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2306
DATE	05.02.23
DRAWN BY	AJD
CHECKED BY	AWB

SITE PLAN & SECTION

SHEET NO

A001

24X36 PAPER SIZE



Amanda Denmark <amanda@pscottarch.com>

Lot 14 - 5824 Guildford Place

Daniel Keefer <dan@wjkltd.com>

Wed, Jun 7, 2023 at 1:45 PM

To: Stock Farm <stockfarmpoa@gmail.com>, Amanda Denmark <amanda@pscottarch.com>

Cc: Andrea Eldred <andrea@elementcp.com>

Amanda-

Good afternoon.

We received the \$300 design submittal fee ; \$5000 construction compliance fee ; and annual POA fee \$797.50.

The architectural plans are approved as submitted.

We have several site plan / landscape plan comments noted on the attached pdf.

Please **resubmit** the site plan , drainage plan and landscape plan to include the items noted on the plan including the following:

- Parking to be shared with all Stock Farm commercial lots
- Provide plan for material staging area; location of dumpster and port-o-let on site
- Existing parking spaces to remain open during construction.
- Provide easement document to allow the proposed parking / walkway proposed to be located on the lot.

I'm available to discuss any questions.

Thank you,

Daniel Keefer**Principal**

mobile | (843) 290.5437

office | (843) 757.7411

e-mail | dan@wjkltd.com**Witmer Jones Keefer, Ltd.****Landscape Architecture | Land Planning**

23 Promenade St, Ste 201

Bluffton, SC 29910

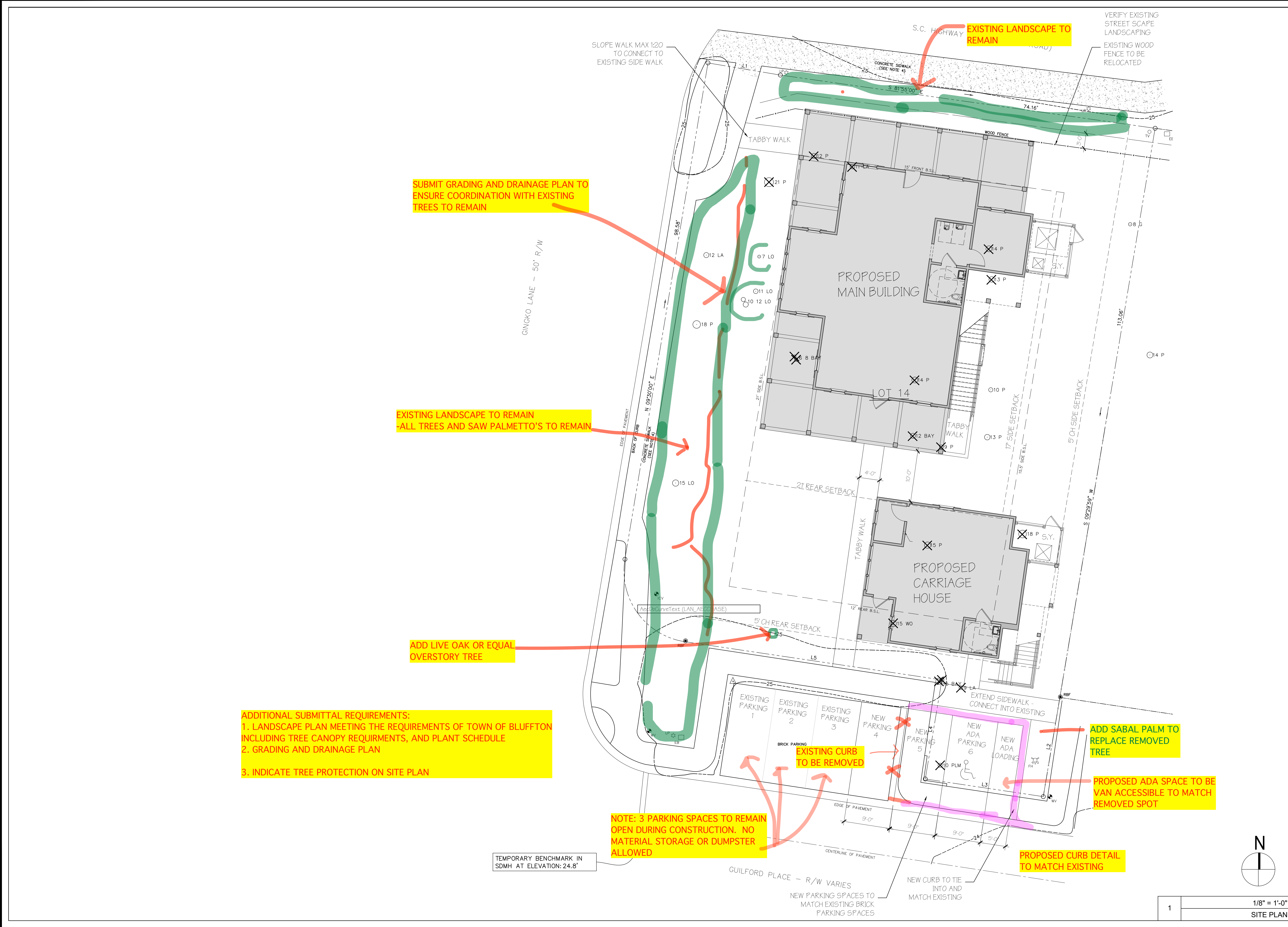
www.wjkltd.com

On May 30, 2023, 3:41 PM -0400, Amanda Denmark <amanda@pscottarch.com>, wrote:

[Quoted text hidden]

**2023-05-15_Lot 14_ARB Submittal page [2] 2306 - Site Plan-A001.pdf**

544K



SUBMIT GRADING AND DRAINAGE PLAN TO ENSURE COORDINATION WITH EXISTING TREES TO REMAIN

EXISTING LANDSCAPE TO REMAIN - ALL TREES AND SAW PALMETTO'S TO REMAIN

ADD LIVE OAK OR EQUAL OVERSTORY TREE

ADDITIONAL SUBMITTAL REQUIREMENTS:
1. LANDSCAPE PLAN MEETING THE REQUIREMENTS OF TOWN OF BLUFFTON INCLUDING TREE CANOPY REQUIRMENTS, AND PLANT SCHEDULE
2. GRADING AND DRAINAGE PLAN
3. INDICATE TREE PROTECTION ON SITE PLAN

NOTE: 3 PARKING SPACES TO REMAIN OPEN DURING CONSTRUCTION. NO MATERIAL STORAGE OR DUMPSTER ALLOWED

EXISTING CURB TO BE REMOVED

ADD SABAL PALM TO REPLACE REMOVED TREE

PROPOSED ADA SPACE TO BE VAN ACCESSIBLE TO MATCH REMOVED SPOT

PROPOSED CURB DETAIL TO MATCH EXISTING

DO NOT SCALE FROM DRAWINGS				
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL	
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© 2023 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
LARRY PAGE
LOT 14, 5824 GUILFORD PLACE
STOCK FARM, NEIGHBORHOOD GENERAL - HD
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS
6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2306
DATE	05.02.23
DRAWN BY	AJD
CHECKED BY	AWB

SITE PLAN &
SECTION

SHEET NO.
A001
24X36 PAPER SIZE



ATTACHMENT 6

PLAN REVIEW COMMENTS FOR COFA-04-23-017854

Section X. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	Historic District	Apply Date:	04/03/2023
Plan Status:	Active	Plan Address:	5824 Guilford Place BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 000 1489 0000
Plan Description:	A request by Pearce Scott Architects, on behalf of the owner, 5824 Guilford Place LLC (Larry Page), for review of a Certificate of Appropriateness - HD for a proposed 2-story commercial office building of approximately 2,888 SF and Carriage House of approximately 1,200 SF to be located at 5824 Guilford Place, Lot 14 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General- HD.		
	STATUS [4.4.23]: Conceptual Application has been received and is projected to be reviewed at the May 1, 202 Historic Preservation Review Committee Meeting.		

Staff Review (HD)

Submission #: 1 Received: 04/03/2023 Completed: 04/27/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/25/2023	James Clardy	Revisions Required

Comments:

1. Developer to contact BJWSA regarding water and sewer availability. Developer will need to complete water and sewer availability request form on BJWSA's website. Form is located at BJWSA.org under the developer tab.

Growth Management Dept Review (HD)	04/27/2023	Katie Peterson	Approved with Conditions
------------------------------------	------------	----------------	--------------------------

Comments:

1. At time of final submittal a letter of approval from the Stock Farm ARB is required. The letter must specifically address the revised parking/sidewalk layout and relocation of the wood fence along the front property line.

Transportation Department Review - HD	04/27/2023	Dan Frazier	Approved with Conditions
---------------------------------------	------------	-------------	--------------------------

Comments:

Kevin P. Icard Comments:

1. POA approval is required for any improvements off site. (Applications Manual)
2. Confirm with Fire Marshal that sufficient space is provided for existing fire hydrant.
3. Mitigation for the removal of the palm tree.
4. New spaces will require curb and gutter to match existing.
5. Update plans to reflect true brick pattern onsite.
6. Handicap Parking spaces must move in order to be ADA complaint. Restriping will be required.
7. Current proposed design needs to be redesigned as not enough information is provided.
8. Exempt plat may be required to show access easements over the property, specifically for sidewalk and parking spaces.
9. Fence at front of property is slated to be relocated. Existing landscaping must be show on plan and determine what may be removed. Further discussion with staff is needed. Main building may need to be relocated. An encroachment permit would be required for tie-in at May River Road.
10. Additional comments may be required on resubmittal.

HPRC Review	04/27/2023	Katie Peterson	Approved
-------------	------------	----------------	----------

Comments:

ATTACHMENT 6

1. For the final application provide a landscape plan noting foundation plantings, street tree locations, and canopy coverage calculations; as well provide architectural details of the railing and baluster, a typical window detail, corner board detail and sections through the eave and wall depicting the material configuration and dimensions. (Applications

Section X. Item #1.

Transportation Department
Review - HD

04/05/2023

Megan James

Approved

Comments:

No comments

Watershed Management Review

04/05/2023

Samantha Crotty

Approved

Plan Review Case Notes:



HISTORIC PRESERVATION COMMISSION

STAFF REPORT Department of Growth Management

MEETING DATE:	July 5, 2023
PROJECT:	130 Pritchard Street – Addition/Remodel: Single-Family
APPLICANT:	Ansley Hester Manual, Architect
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, Ansley Hester Manuel, Architect, on behalf of the owners, George and Lillian Heyward, requests that the Historic Preservation Commission approve the following application:

1. **COFA-03-23-017840.** A Certificate of Appropriateness to allow the renovation of the Contributing Resource known as the Heyward Cottage, including the addition of approximately 230 SF to the 2187 SF, 1-story single family residential structure of located at 130 Pritchard Street, in the Old Town Bluffton Historic District and zoned Riverfront Edge- HD.

INTRODUCTION: The Applicant has proposed the renovation and an addition to the one-story, single-family structure known as The Bluff. The structure, built in 1883, is characterized by its hipped roof, full façade front porch (partially enclosed), weatherboard siding, and two chimneys.

The building was first surveyed in the 1994 Historic Resources Survey of Bluffton (Site #046-114), and subsequently resurveyed in the Survey of Historic Properties in July 2008, and the Town of Bluffton Historic Resources Update in July 2019.

The Applicant proposes the following renovations to the structure:

1. Enclose the rear porch at the kitchen of approximately 91 SF;
2. Add a new porch beyond the enclosed area;
3. Add a bedroom of approximately 138 SF on the rear elevation, which includes changing an existing window to an internal door, and enclosing one window;
4. Replace a window on the front elevation with a French door inside the screened porch;
5. Replace a window with a door on the rear elevation which will become an interior wall; and,
6. Add a window in bedroom two on the rear elevation.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 24, 2023 meeting and comments were provided to the Applicant (See Attachment 5).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.A. Consistency with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

a. *Finding.* Town Staff has reviewed the ten Standards are as follows:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

Finding. The Applicant proposes to retain the residential use of the structure; therefore, this Standard has been met.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Finding. The Applicant has proposed to retain nearly all the historic material, features and spaces that characterize the property. This criterion has been met.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

Finding: The proposed modifications do not create a false sense of historical development, and do not add conjectural features or architectural elements from other buildings. Town Staff finds this Standard has been met.

- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Finding. Town Staff finds this Standard has been met.

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

Finding. Town Staff finds that the changes proposed to the structure do not remove distinctive features, finishes, and construction techniques and this Standard has been met.

- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Finding. The Applicant proposes retain and reuse as many windows as possible. Any possible replacements have been specified as Marvin Historic Line all wood windows to match those which exist on the structure. The new proposed siding and detailing has been proposed to match existing features. Town Staff finds this Standard to have been met.

- 7. Deteriorated Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Finding. No chemical or physical treatments which may cause damage to the structure have been proposed. This Standard has been met.

- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

Finding. No digging is proposed. Should any archeological resources be discovered during the project, Town Staff must be notified to determine if any mitigation measures are needed.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Finding. Town Staff has found that the proposed 229 SF addition encloses the 91 SF rear porch and proposes a 138 SF bedroom addition to the rear of the structure. They are differentiated slightly from the old and are compatible with the massing, size, scale, and architectural features and protect the historic integrity of the property and its environment and, as such, this Standard has been met.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding. Town Staff has found that the removal of historic material is minimal and is designed in such a manner that, if removed in the future, the essential form and integrity of the historic resource would be unimpaired. The door on the north elevation has been proposed where a window was placed, and one window removed from the rear elevation. Most windows currently on the structure will be retained; replacements have been specified as Marvin Historic Line all-wood windows. This Standard has been met.

2. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

The Applicant proposes to make minor modifications to the materials and retain the use of this historic structure. The renovation and remodel have been designed to be sympathetic to the architectural character structure, so the proposed changes will both protect the integrity of the existing historic structures and enhance the neighborhood by allowing it to continue its use as a residential structure.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These

standards are included in Article 5 of the UDO. The construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

3. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

a. *Finding.* Town Staff finds that the structure falls within the category of River House Building Type as defined in Section 5.15.5.E. While the footprint of this Contributing Resource exceeds the 2,000 SF maximum footprint for this Building Type, the UDO Administrator has found the building footprint of 2,416 SF in accordance with Section 5.15.5. of the UDO, as the footprint is characteristic of the River House and is an appropriately scaled addition to this Contributing Resource.

b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

1. Section 5.15.5.F.4. Building Composition. Overall building proportions and individual building features shall have a proportional relationship with one another. The Applicant should reconsider the roofline over the enclosed porch and the porch addition. The shed roof of the kitchen porch, which has historically sat beneath the hipped roof over the kitchen, is proposed to be nearly at the same slope as a continuation of the existing hip roof. While it is understood that the porch roof may need to be raised to meet head height requirements once enclosed, the roofline at the newly enclosed space and porch appears to have a complicated connection to the existing roof. The Applicant should reconsider the connection between the existing kitchen roof and the enclosed porch and porch addition to create a better relationship between the new and existing rooflines.

4. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. Town Staff finds the nature and character of the renovation to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing will be sensitive to the neighboring properties.

5. Section 3.18.3.E. Preservation of the existing building's historic character and architecture;

Finding. This Standard has been met. See Secretary of Interior Standards above for additional information.

6. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the renovation of a Contributing Resource. By renovating the structure to allow for its continued use, using designs sensitive to the character of the structure and district, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the proposed construction will have no adverse effect on the public interest.

7. Section 3.18.3.G. For an application to demolish, either in whole or in part, any Contributing Structure, the Historic Preservation Commission shall consider: 1. The existing and historical ownership and use and reason for requesting demolition; and 2. Information that establishes clear and convincing evidence that: a. The demolition of the structure is necessary to alleviate a threat to public health or public safety; and b. No other reasonable alternatives to demolition exist; and c. The denial of the application, as a result of the regulations and standards of this Section, deprive the Applicant of reasonable economic use of or return on the property;

Finding. The Applicant does not seek demolition. This criterion is not applicable.

8. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following condition:

1. Per Section 5.15.5.F.4. of the UDO, the Applicant should reconsider the connection between the existing kitchen roof and the enclosed porch and porch addition to create a better relationship between the new and existing rooflines.

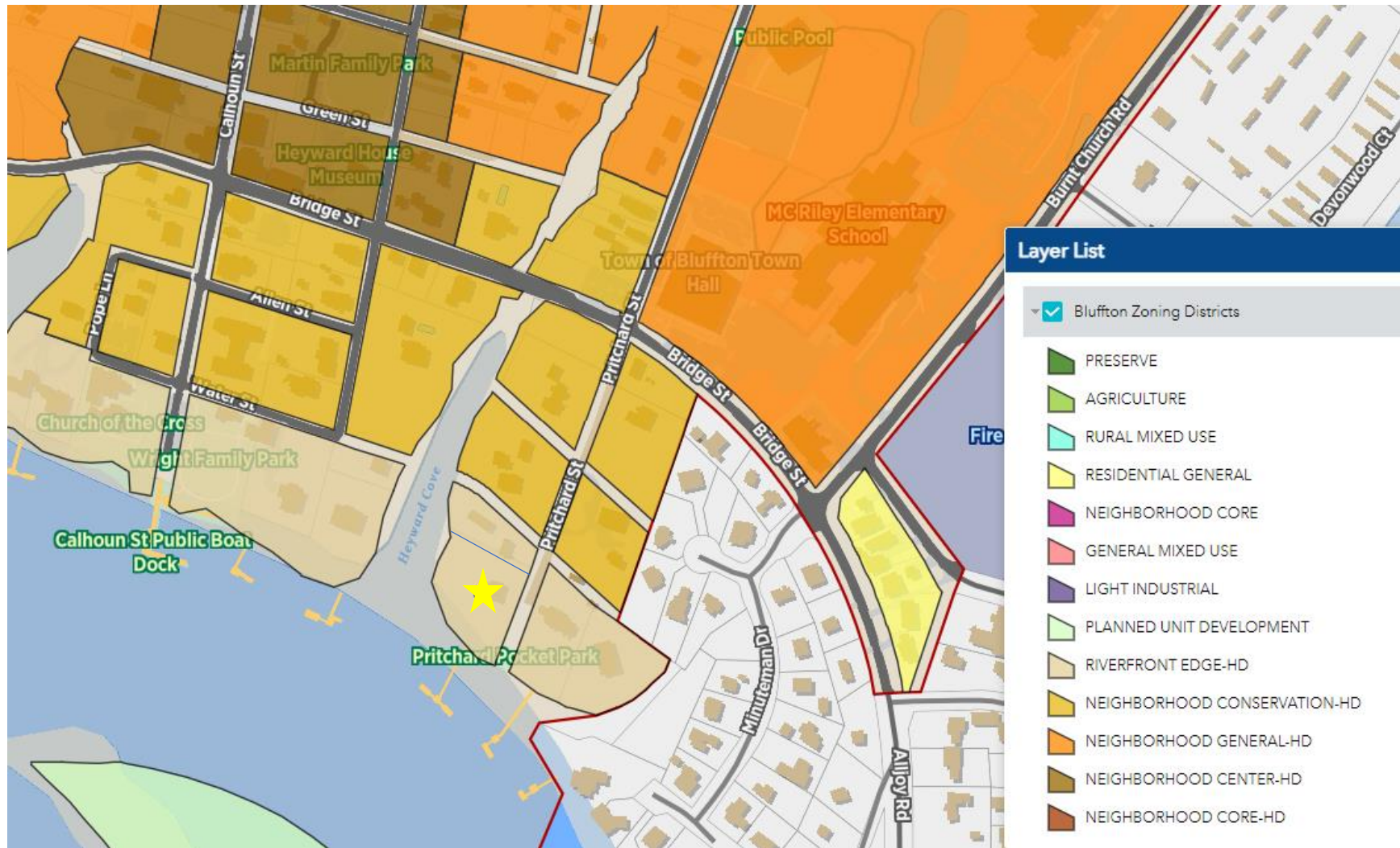
ATTACHMENTS:

1. Location and Zoning Map
2. Application and Narrative

3. Site Plan & Elevations
4. Landscape Plan
5. HPRC Report

ATTACHMENT 1
Location and Zoning Map

Section X. Item #2.





ATTACHMENT 2

TOWN OF BLUFFTON

Growth Management Customer

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS-

Bluffton, SC 29910

(843)708-4500

www.townofbluffton.sc.gov

OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) APPLICATION

Applicant		Property Owner	
Name: <i>Ansley Hester Manuel, Architect</i>	Name: <i>George and Lillian Heyward</i>		
Phone: <i>843.338.8932</i>	Phone: <i>843.290.7170 (Lillian) 843.476.1955 (Alice)</i>		
Mailing Address: <i>109 Pritchard Street Bluffton, SC 29910</i>	Mailing Address: <i>130 Pritchard Street Bluffton, SC 29910</i>		
E-mail: <i>manuel.studio@aol.com</i>	E-mail: <i>Lillianheyward@gmail.com (Lillian)</i>		
Town Business License # (if applicable): <i>LIC042204420 and 1963@hotmail.com (Alice)</i>			
Project Information (tax map info available at)			
Project Name: <i>The Bluff</i>	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: <i>130 Pritchard Street</i>	Application for:		
Zoning District: <i>Riverfront Edge</i>	<input type="checkbox"/> New Construction		
Acreage: <i>1.214</i>	<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): <i>R610 039002A 0055 0000</i>	<input type="checkbox"/> Relocation		
Project Description: <i>Bedroom Addition, Kitchen Addition. Exterior and Interior Renovations</i>			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>George Heyward</i>		Date: <i>6/6/23</i>	
Applicant Signature: <i>Ansley Hester Manuel</i>		Date: <i>6 June 2023</i>	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 2 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

Section X. Item #2.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting - Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <u>mandatory</u> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section X. Item #2.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5):					
Building Setbacks		Front: 75'	Rear: 20'	Rt. Side: 20'	Lt. Side: 75'
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	Main House	2187 sq ft + 5 side porches	2416 sq ft + 5 side porches		
Ancillary	Blue Four Sheds	628	628		
Ancillary					
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s) includes brick stairs (170)		3780			
Impervious Drive, Walks & Paths		0			
Open/Covered Patios		0			
A. TOTAL IMPERVIOUS COVERAGE		3780			
B. TOTAL SF OF LOT		52,882			
% COVERAGE OF LOT (A/B = %)		7%			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	Match Brick	Columns	Match Pine 4x4		
Walls	Match Pine Siding	Windows	Marvin All Wood - Historic Line		
Roof	Match Asphalt Shingles	Doors	Marvin All Wood - Historic Line		
Chimney	N/A	Shutters	Match Pine (see detail)		
Trim (see detail)	Match Pine 4x4	Skirting/Underpinning	Match Pierced Brick		
Water table	N/A	Cornice, Soffit, Frieze	Match Existing		
Corner board	Match Pine 4 3/4 x 2 1/2	Gutters	N/A		
Railings	Match Pine (see detail)	Garage Doors	N/A		
Balusters	Match Pine (see detail)	Green/Recycled Materials	N/A		
Handrails	Cast Iron to Match River Side Handrails				



ATTACHMENT 2 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section X. Item #2.

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section X. Item #2.

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relate to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed. <i>NO TREES TO BE REMOVED, EXCEPT 2 Redbuds</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

Date

6/6/23

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

Date

16 June 2023

Printed Name of Applicant

Anstey H. Manvel

The Heyward Residence is known as "The Bluff" built in circa 1880. The original structure was two stories, but the Hurricane of 1893 destroyed the second floor. The residence has had several renovations over it's time period - the early 1920s, the 1950's, the 1960's and the 1970s. A color-coded floor plan is included to illustrate the changes.

The property and house have always been a part of the Stoney/Heyward Ancestry.

Upon the death of his aunt, George Heyward inherited the house and relocated from his cottage next door. Mr. Heyward has decided to let his oldest daughter, Alice Heyward accompanied by her husband Jesse Rothkopf, renovate the house. As Ms. Heyward's intentions are to live out the rest of her life here, she and her spouse wish to make the house function for their needs.

The property zone is Riverfront Edge and the building type is Additional. The following is an itemization of renovations.

EXTERIOR

1. Add a bedroom to the northwest side of the entry porch.
2. Expand the kitchen by enclosing the existing kitchen porch.
3. Add a new kitchen porch similar to the existing kitchen porch.
4. Along the exterior wall facing the screen porch, french doors replace a window and door in the current office to be bedroom 1 and a door replaces a window in the current bedroom 1 to be a bath. Along exterior wall of Bedroom 2, add a window.

INTERIOR

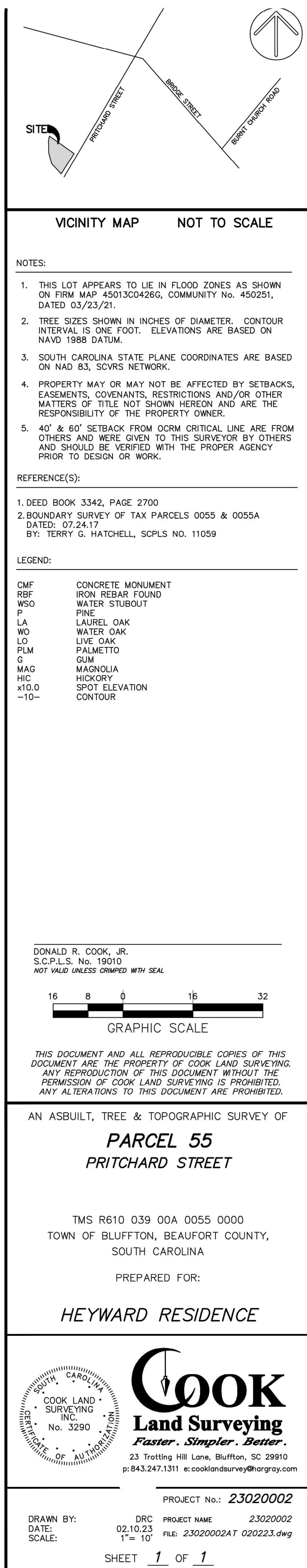
1. Change kitchen layout.
2. Add stack washer/dryer to butler's pantry.
3. Add doors to convert existing dining into an office.
4. Change existing bath layout to accommodate a hallway.
5. Create a bath and closet area out of existing bedroom 1.
6. Open wall between the existing bedroom 3 and living room and winter porch to create a more open living, dining and den. Refurbish existing fireplace along east wall.
7. Update electrical, insulation and add central heating and air. Evaluate windows and doors for restoration as first option and replacement as second option. Any window to be replacement to be Marvin Historic Line or equal.

Let us welcome a returning Blufftonian to her neighborhood and surrounding town that are steeped in the history of her paternal family.

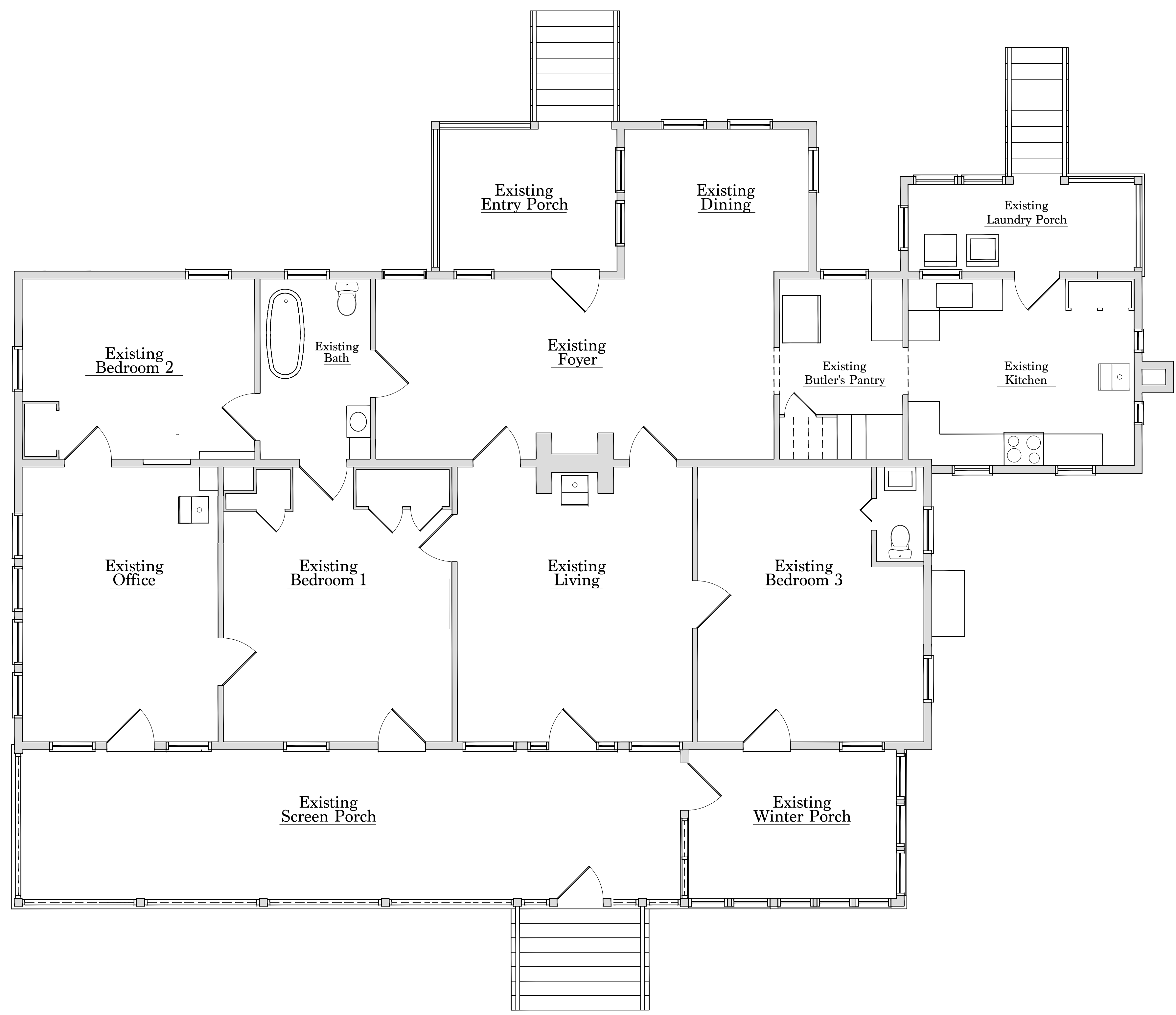
Ansley Hester Manuel, Architect

Section X. Item #2.

[illegible]







A
A-1 EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"

Section X, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
100072
REGISTERED ARCHITECT'S

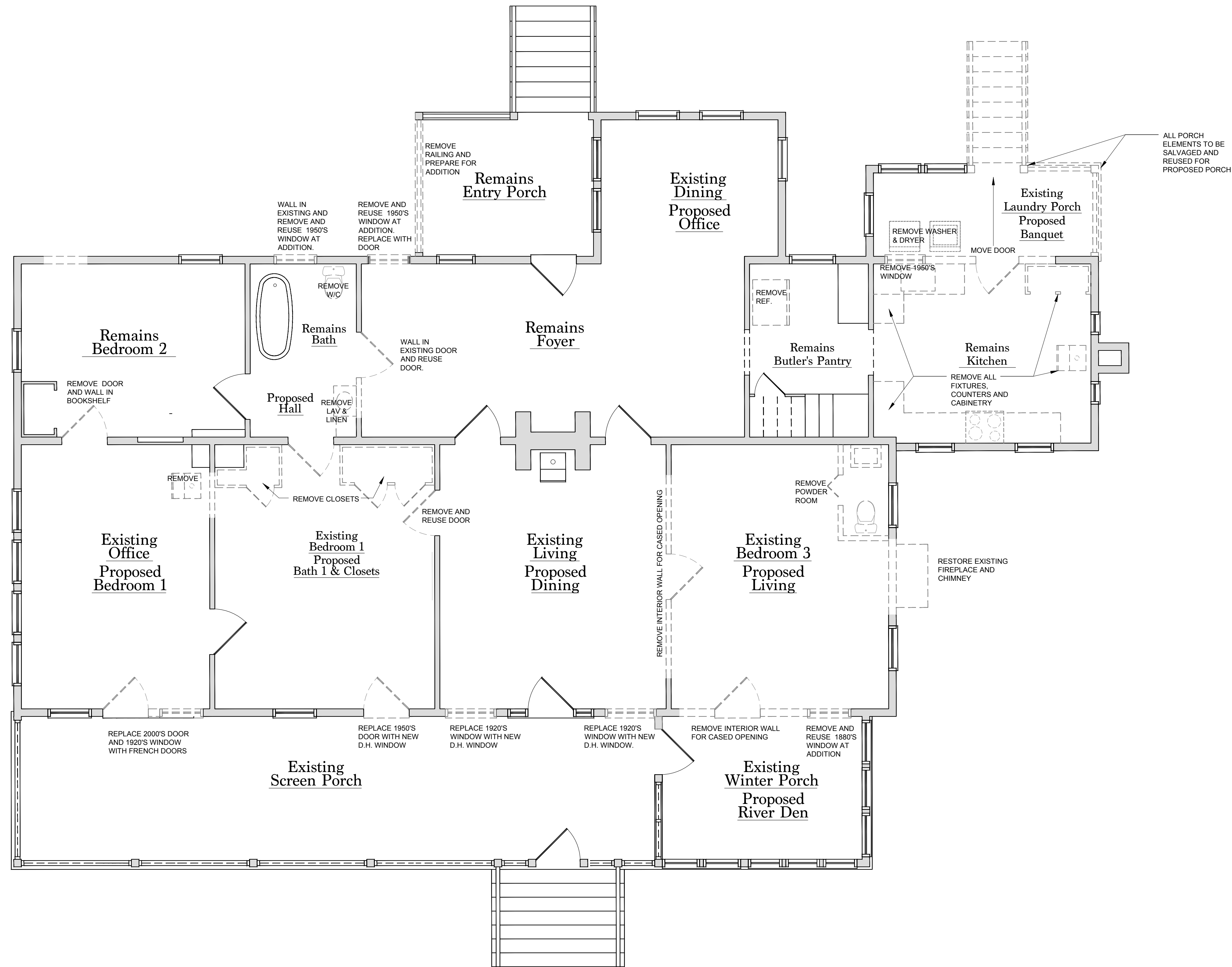
STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
REGISTERED ARCHITECT

DATE :	
6/7/23	
FINAL REVIEW	

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEYWARD FAMILY
130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910
EXISTING FLOOR PLAN

SHEET
A-1



A DEMOLITION FLOOR PLAN
A-2 SCALE: 1/4"=1'-0"

Section X, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
100072
REGISTERED ARCHITECT'S

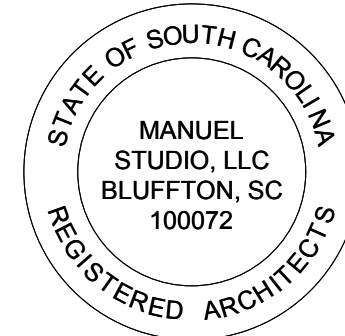
STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
REGISTERED ARCHITECT

DATE :	6/7/23	FINAL REVIEW							
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ADDITIONS AND RENOVATIONS TO
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DEMOLITION FLOOR PLAN

SHEET
A-2



DATE :	
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ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEYWARD FAMILY
130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910
PROPOSED FLOOR PLAN

SHEET

A-3



A
A-3 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

DOOR SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	6'-0"X7'-0"	FRENCH DOOR OUTSWING	15/15	
2*		RELOCATED REAR KITCHEN DOOR		

CONSULT OWNER ON FRONT DOOR (#1)
ALL EXTERIOR DOORS TO BE ALL WOOD - MARVIN HISTORIC LINE.
ALL INTERIOR DOORS TO MATCH EXISTING.
ALL GLASS TO BE IMPACT RESISTANT, IF POSSIBLE
* FIELD VERIFY (REUSING EXISTING DOOR) ROUGH OPENING REQUIRED

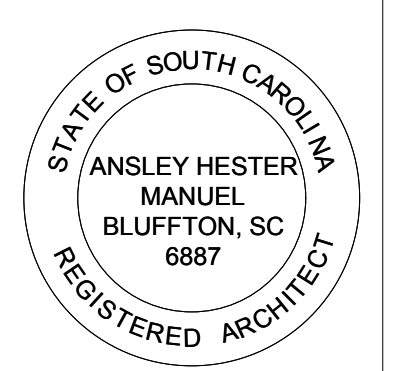
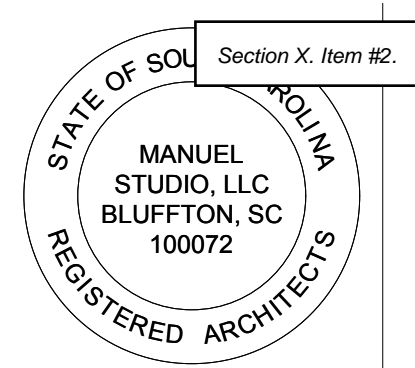
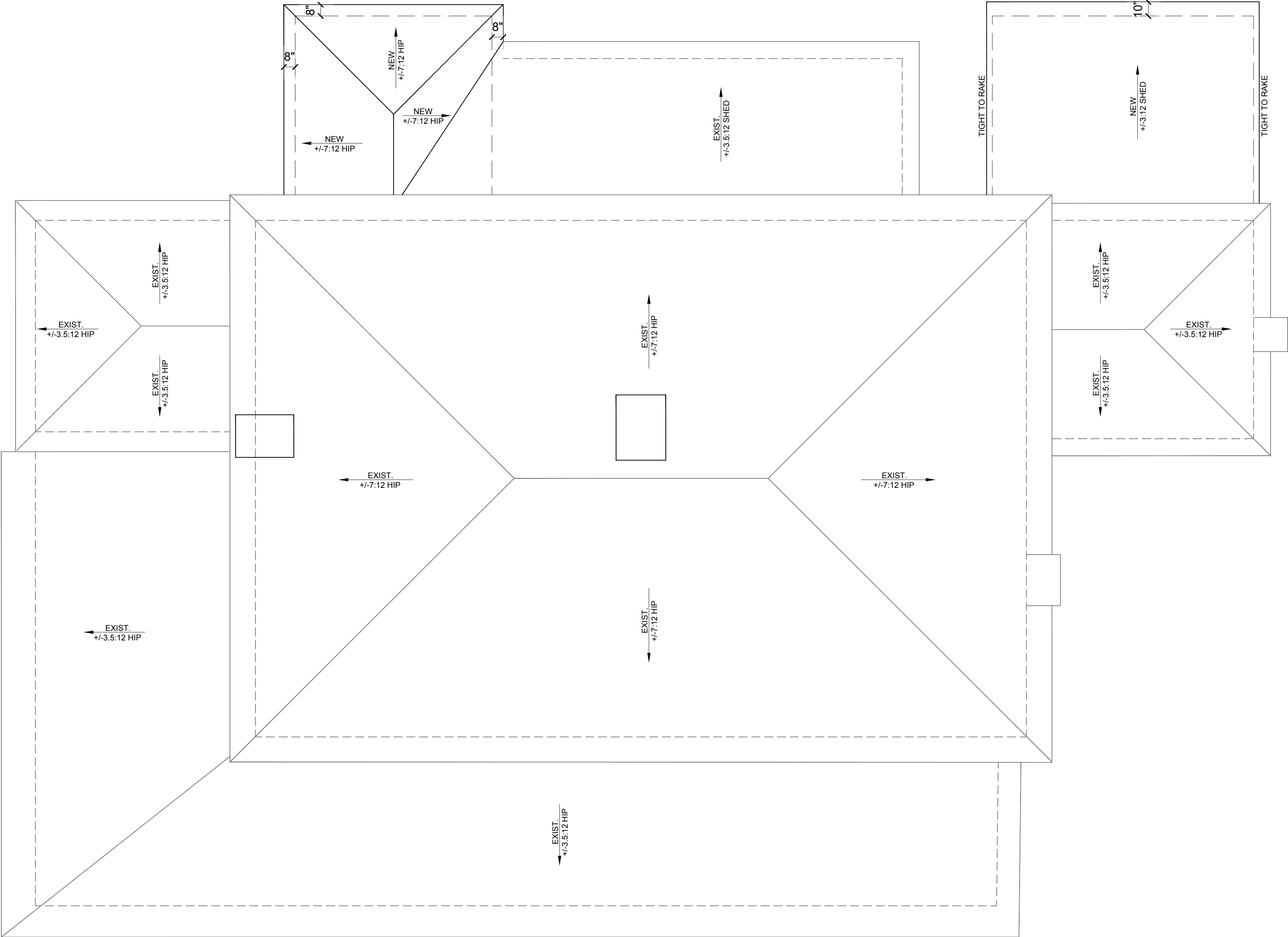
WINDOW SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	2'-10" X 5'-3"	DOUBLEHUNG	6/6	
B*				RELOCATED 1950'S WINDOWS FROM BATH AND FOYER
C*	2'-10" X 5'-0"	DOUBLEHUNG	6/6	REUSE 1880'S WINDOW FROM WINTER PORCH OR NEW
D	2'-10" X 5'-0"	DOUBLEHUNG	6/6	REUSE 1880'S WINDOW FROM WINTER PORCH OR NEW
E	2'-10" X 3'-4"	FIXED	6	MATCH EXIST. WINDOWS AT PROPOSED BUFFET

ALL WINDOWS TO BE ALL WOOD - MARVIN HISTORIC LINE.
ALL GLASS TO BE IMPACT RESISTANT, IF POSSIBLE.
* FIELD VERIFY (REUSING EXISTING WINDOW) ROUGH OPENING REQUIRED

A

A-4

PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"



DATE :	6/7/23
FINAL REVIEW	

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ADDITIONS AND RENOVATIONS TO
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130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910
PROPOSED ROOF PLAN

SHEET

A-4



A
A5

EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



B
A5

EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"

Section X, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
100072
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
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130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910
EXISTING ELEVATIONS

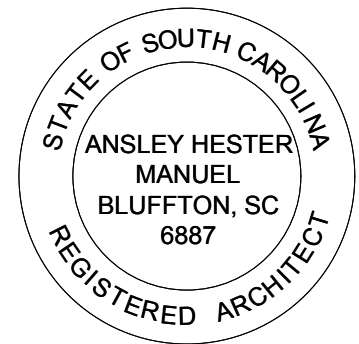
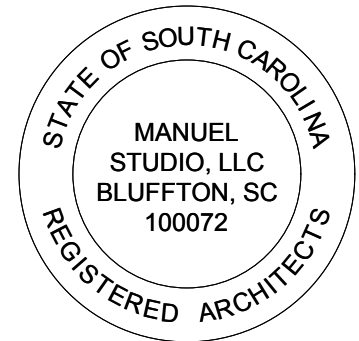
SHEET
A5



A
A6 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



B
A6 EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"



DATE :	
6/7/23	
FINAL REVIEW	

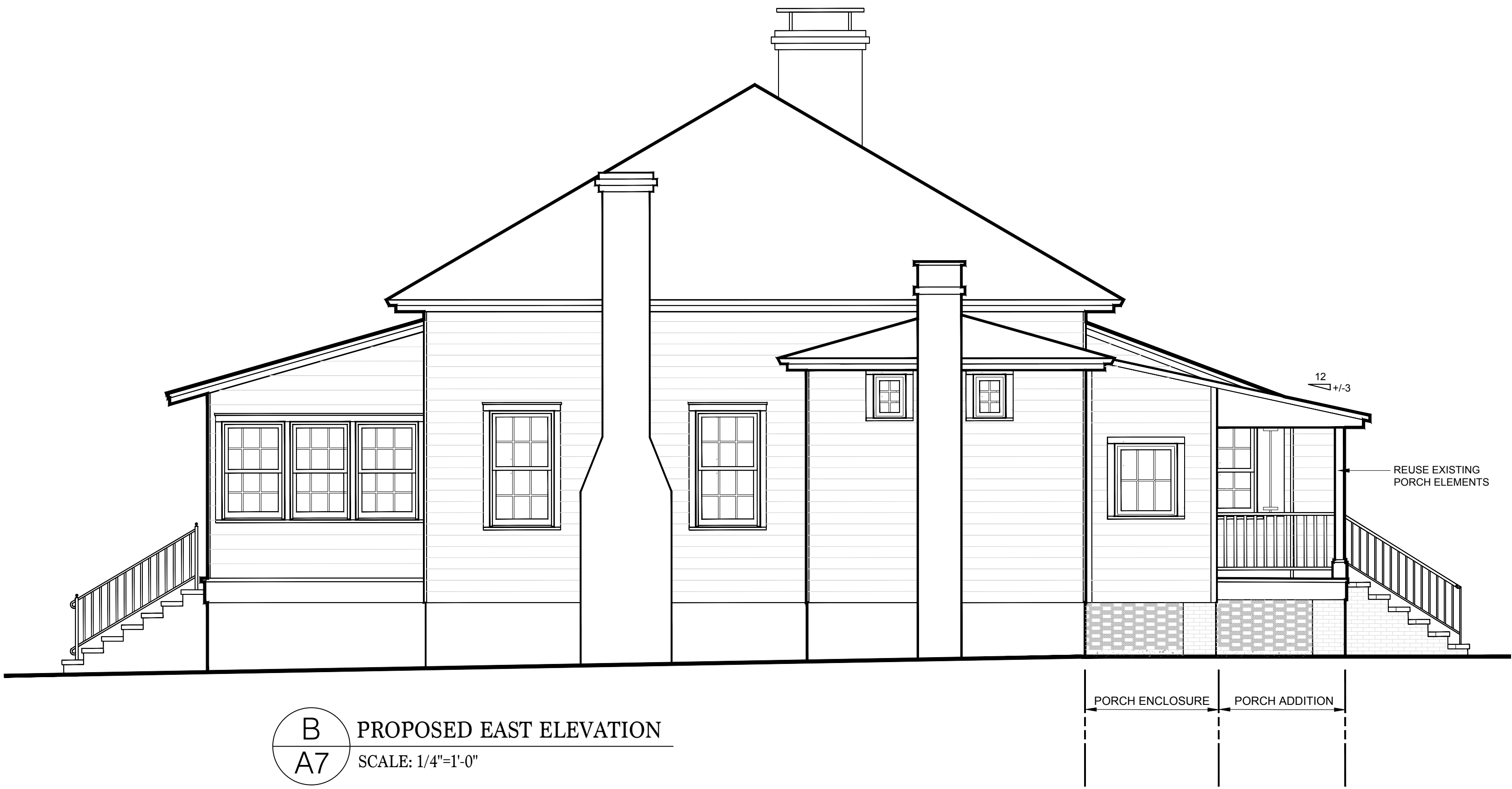
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EXISTING ELEVATIONS

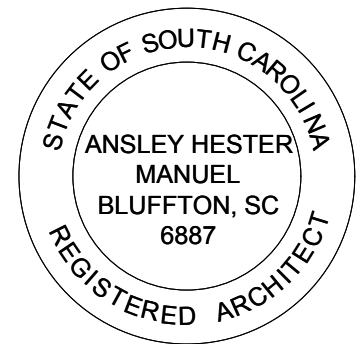
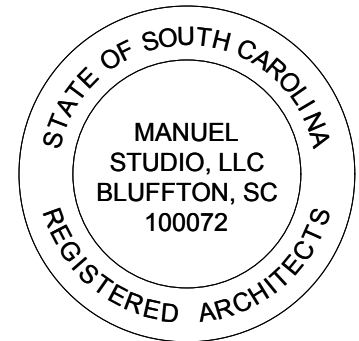
SHEET
A6



A
A7 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



B
A7 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



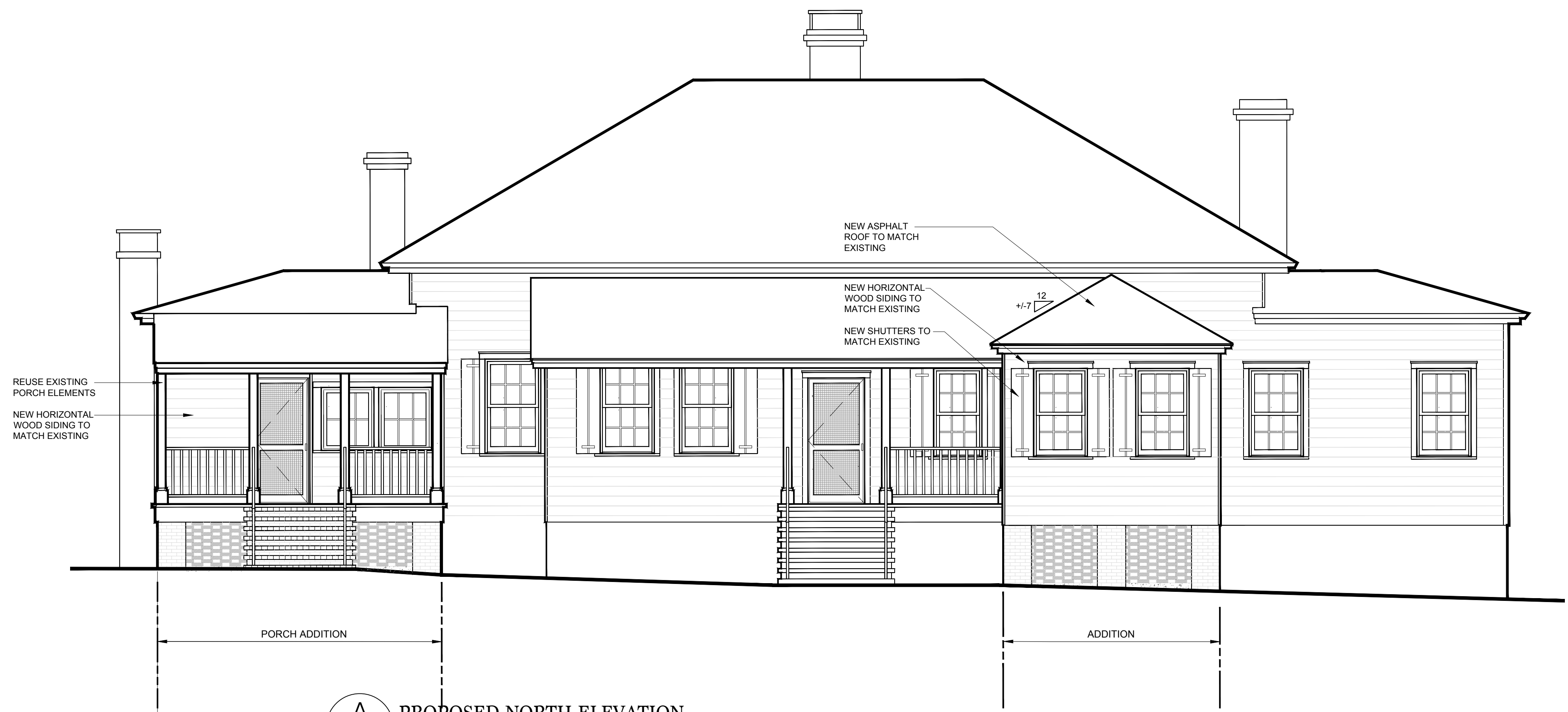
DATE :					
6/7/23					
FINAL REVIEW					

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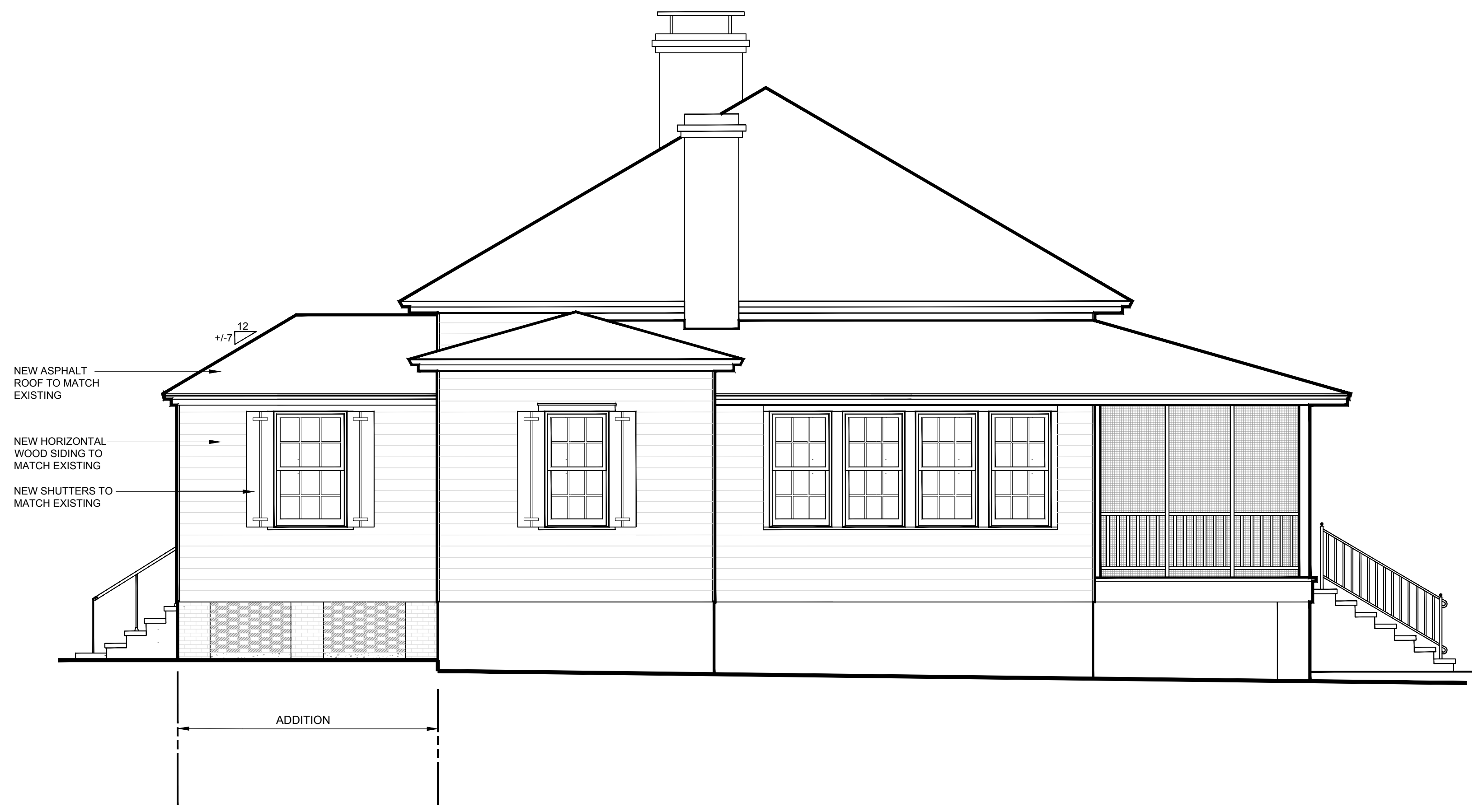
ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEYWARD FAMILY
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BLUFFTON, SOUTH CAROLINA 29910

PROPOSED ELEVATIONS

SHEET
A7



A
A8 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



B
A8 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"

Section X, Item #2.

STATE OF SOUTH CAROLINA
MANUEL
STUDIO, LLC
BLUFFTON, SC
100072
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
ANSLEY HESTER
MANUEL
BLUFFTON, SC
6887
REGISTERED ARCHITECT

DATE :
6/7/23
FINAL REVIEW

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ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEXWARD FAMILY
130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910

PROPOSED ELEVATIONS

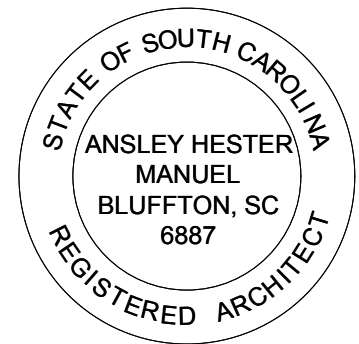
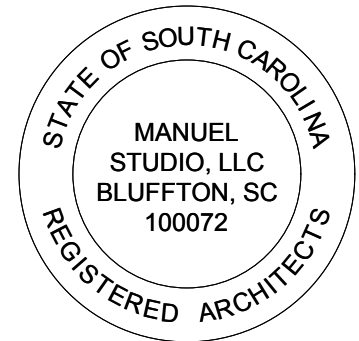
SHEET
A8



A
A9 PROPOSED WALL ELEVATION BEHIND SCREEN
SCALE: 1/4"=1'-0"



B
A9 EXISTING WALL ELEVATION BEHIND SCREEN
SCALE: 1/4"=1'-0"



DATE :					
6/7/23					
FINAL REVIEW					

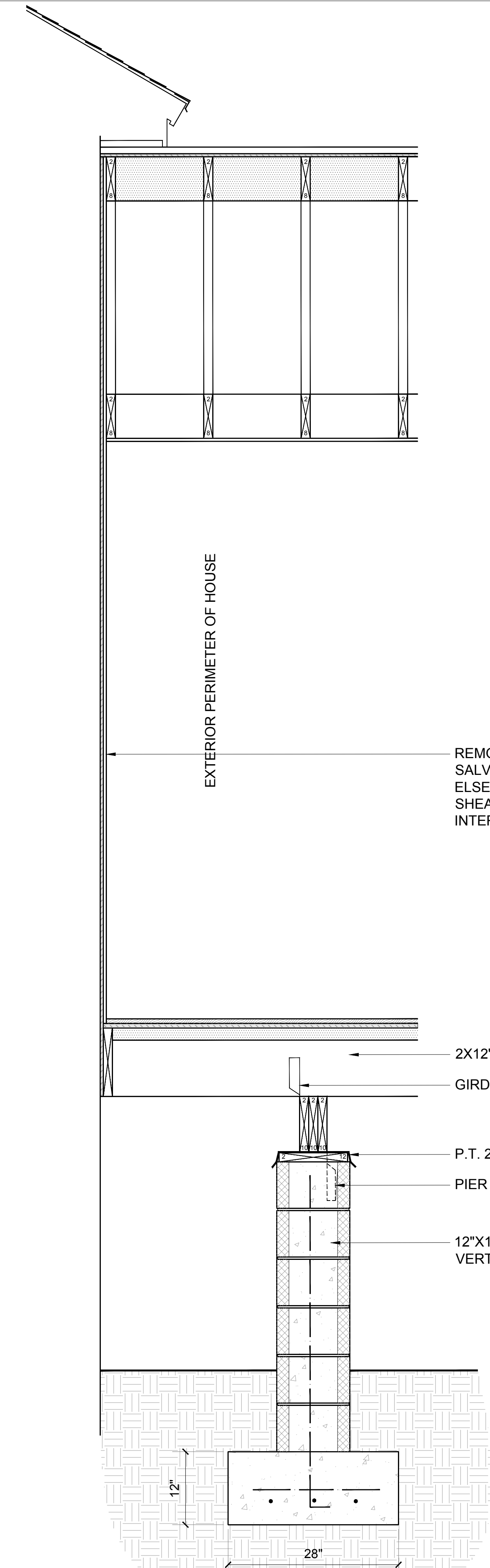
MANUEL STUDIO, LLC
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ADDITIONS AND RENOVATIONS TO
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BLUFFTON, SOUTH CAROLINA 29910

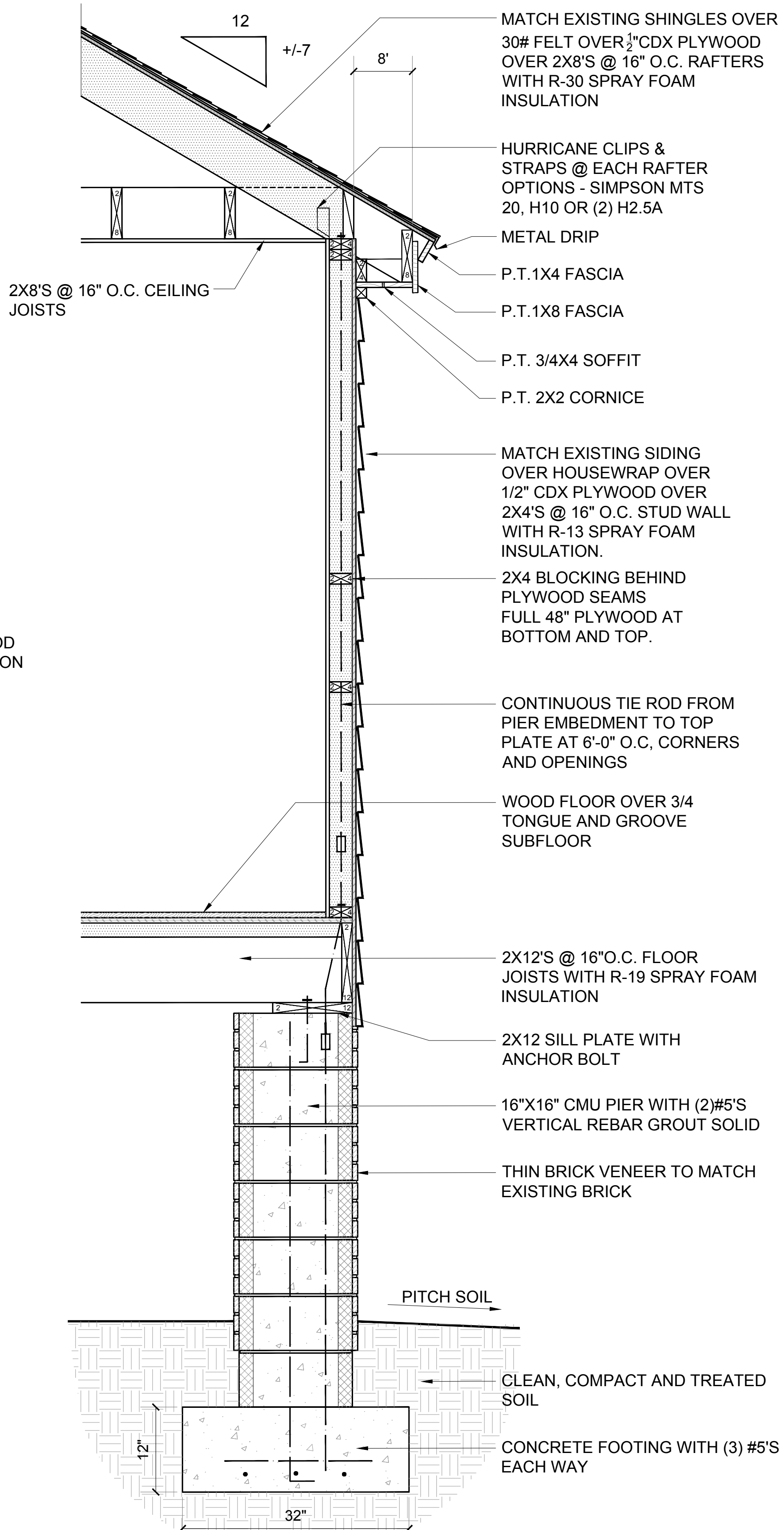
WALL ELEVATIONS BEHIND SCREEN

SHEET

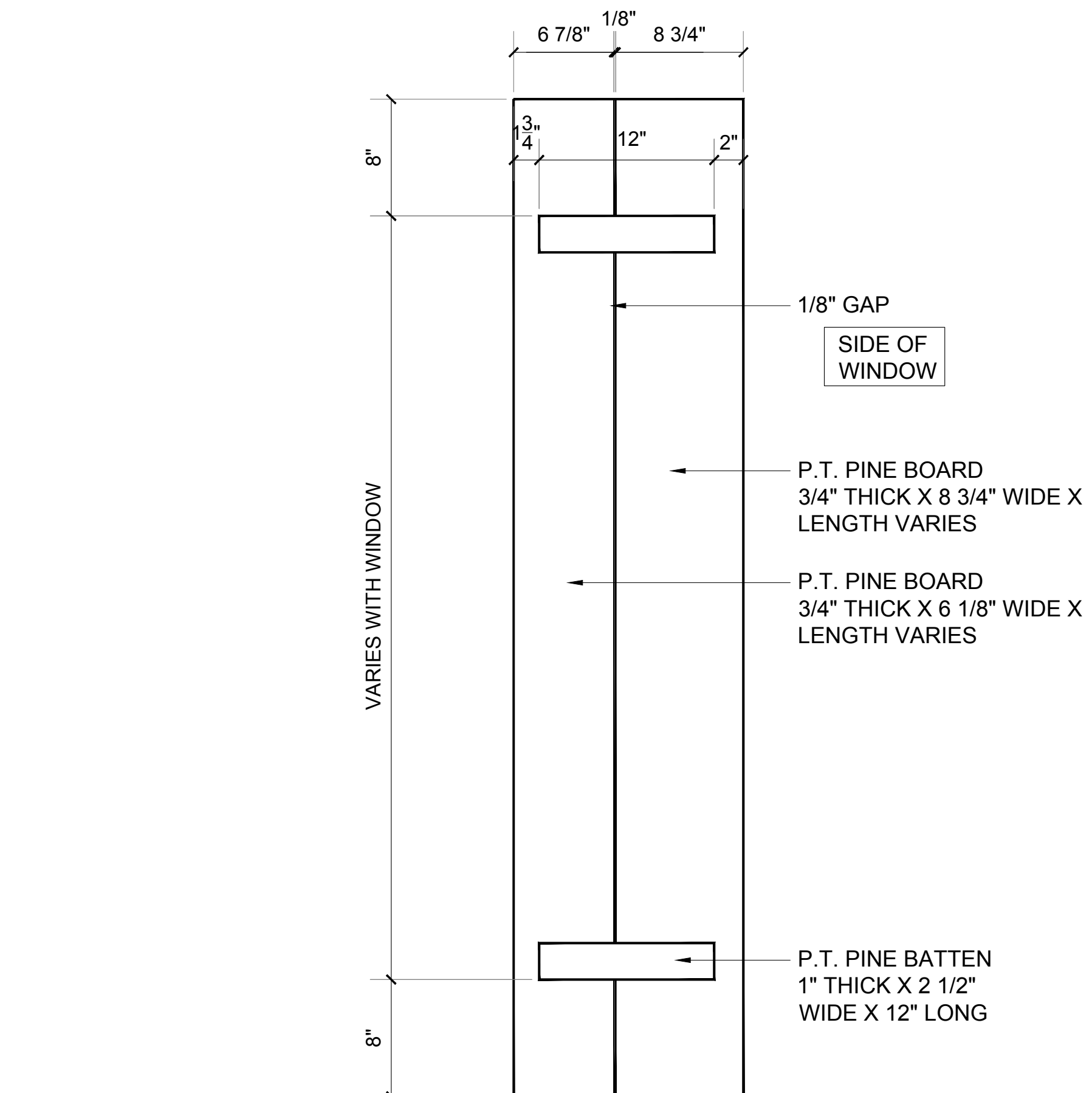
A9



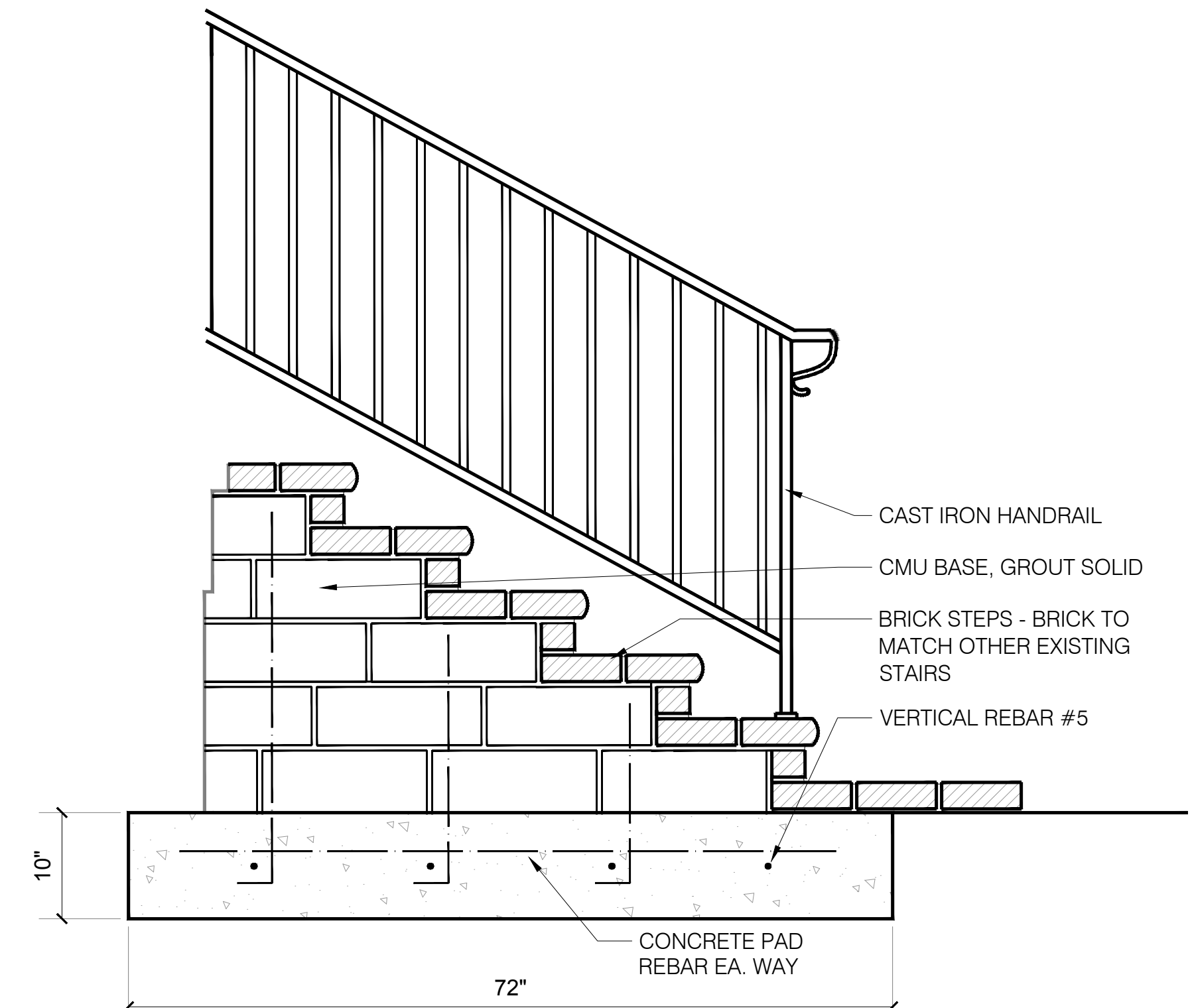
A
A10 BEDROOM #3 SECTION @ EXISTING WALL
SCALE: 1"=1'-0"



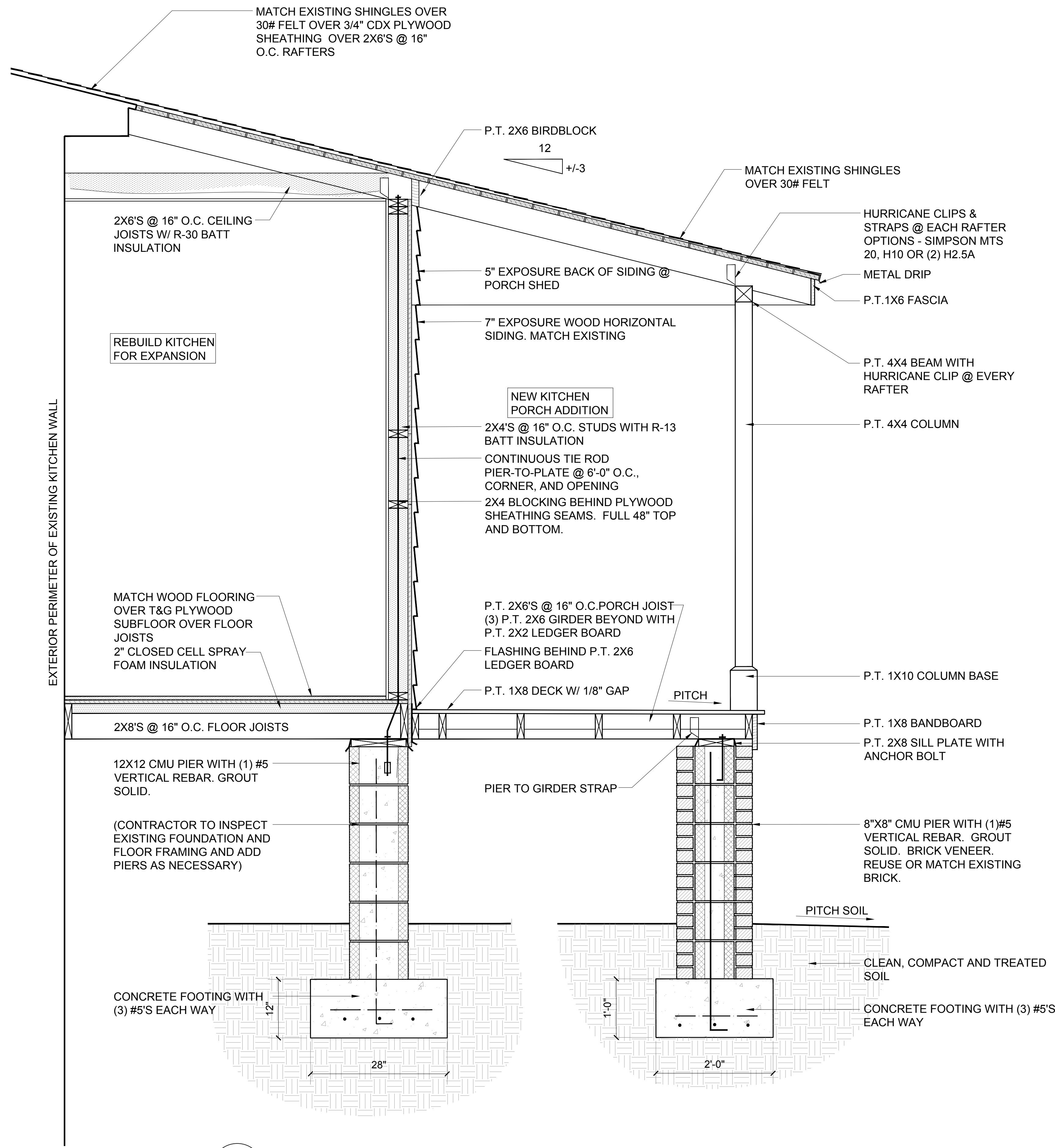
B
A10 BEDROOM #3 WALL SECTION
SCALE: 1"=1'-0"



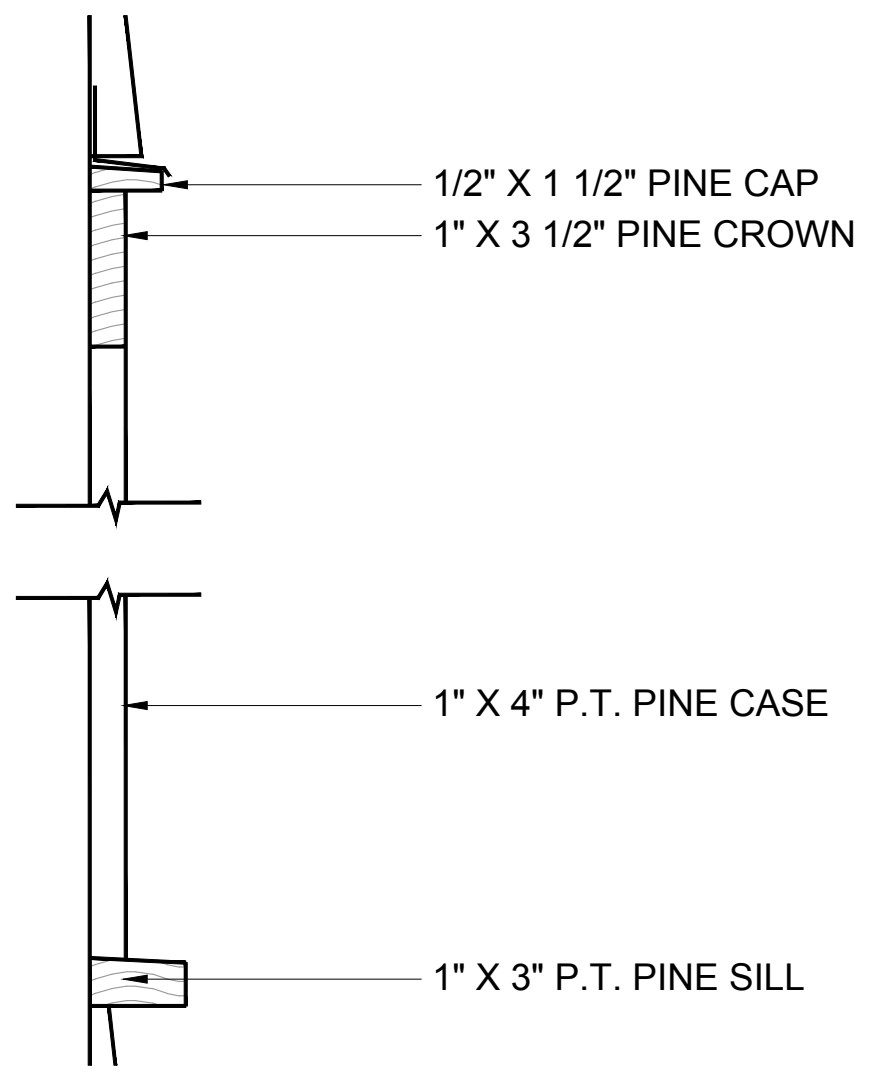
C
A10 SHUTTER DETAIL
SCALE: 1 1/2"=1'-0"



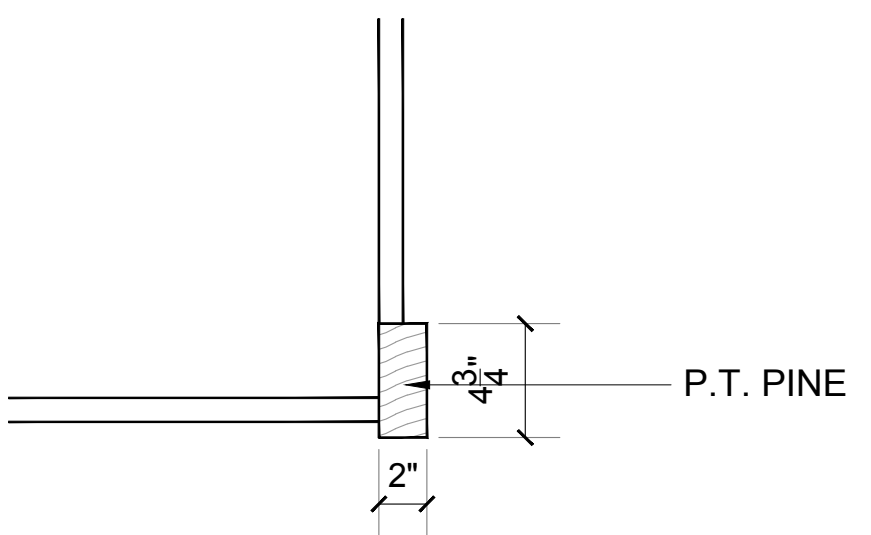
D
A10 PROPOSED BRICK STAIRS
SCALE: 1"=1'-0"



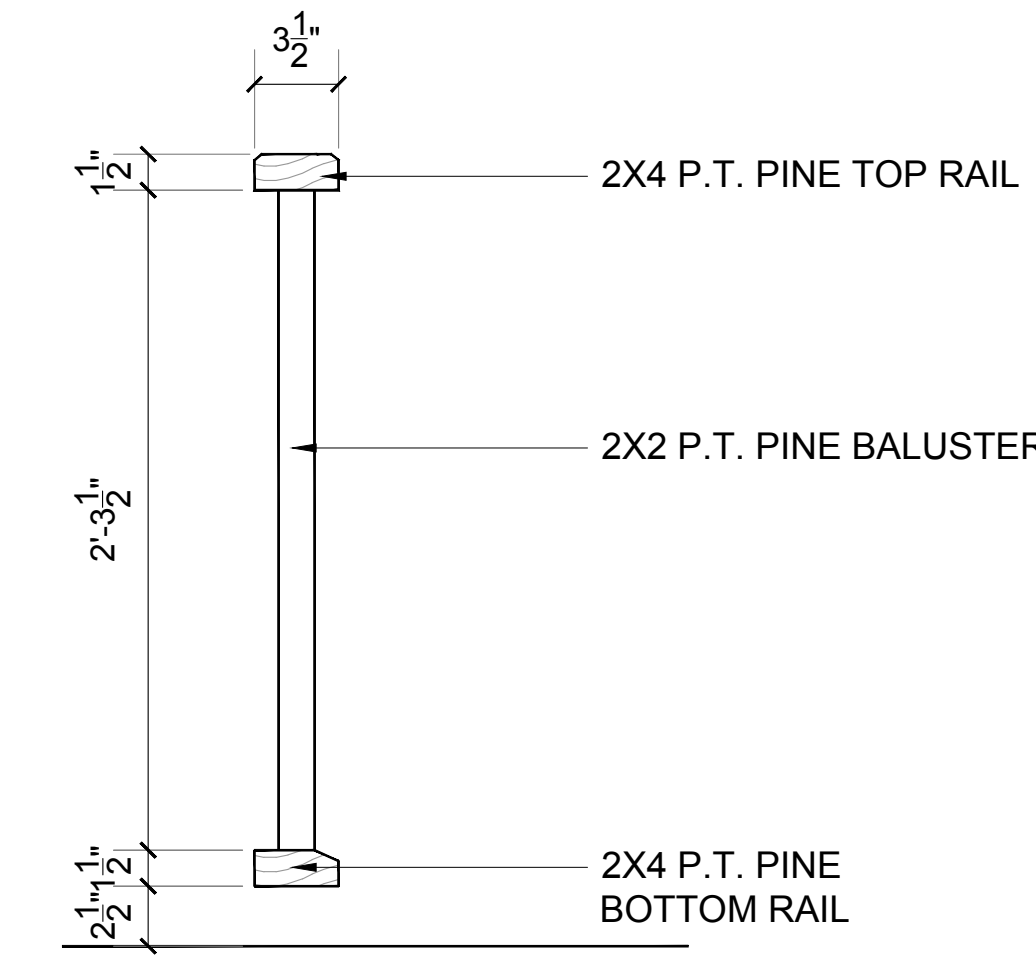
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A11 BEDROOM #3 WALL SECTION
SCALE: 1"=1'-0"



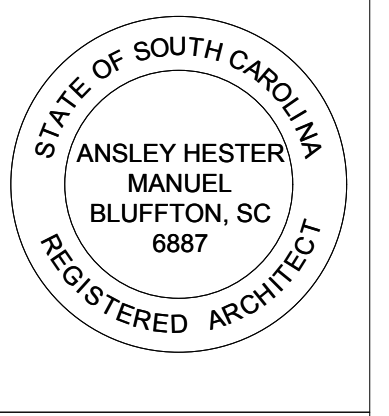
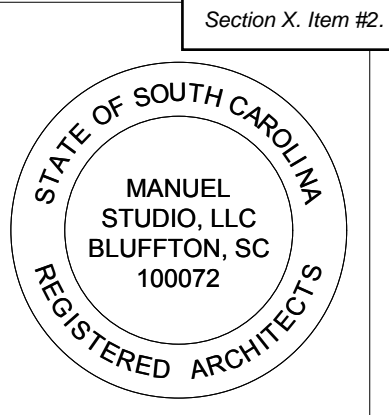
B
A11 WINDOW TRIM
SCALE: 3"=1'-0"



C
A11 CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"



D
A11 HANDRAIL DETAIL
SCALE: 1 1/2"=1'-0"



DATE :	6/7/23
FINAL REVIEW	

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEYWARD FAMILY
130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910

WALL SECTIONS

SHEET
A11

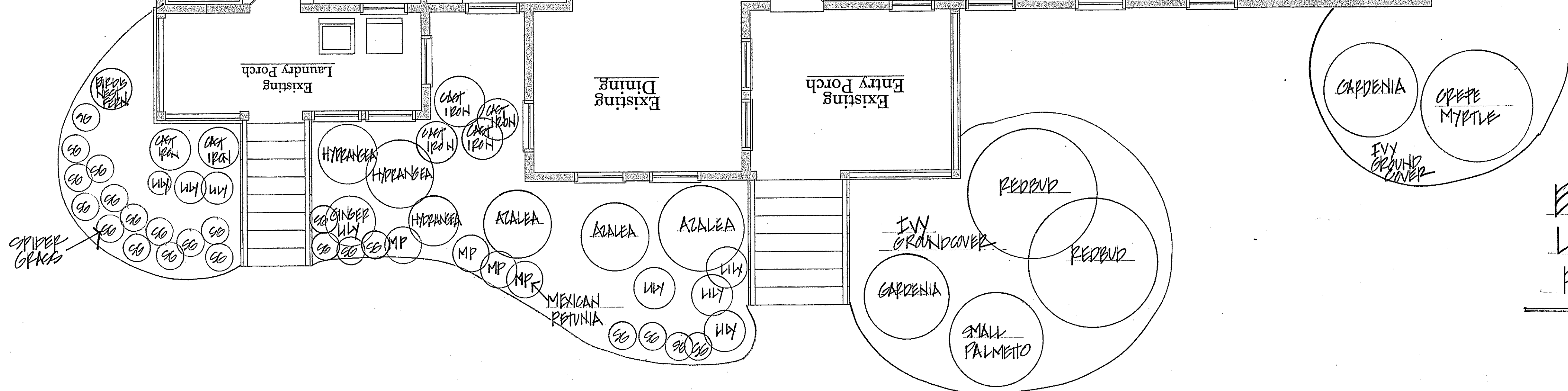
EXISTING FLOOR PLAN

Ansley Hester Mammel, Architect
Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell mammel.studio@aol.com

DATE: 6/5/23



EXISTING FLOOR PLAN



EXISTING LANDSCAPE PLAN

A
A-3

SCALE: 1/4"=1'-0"

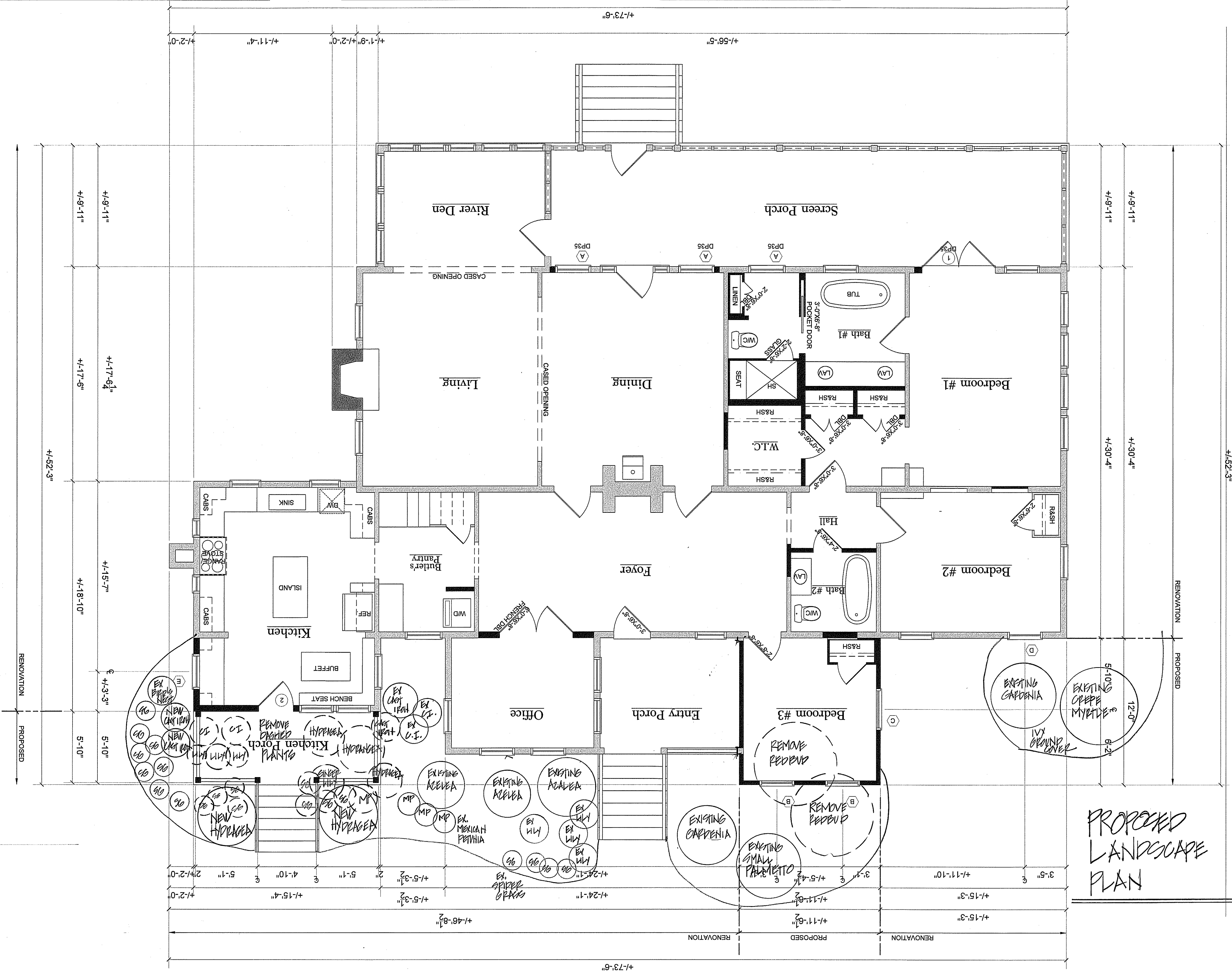
PROPOSED FLOOR PLAN

DOOR SCHEDULE			
MARK	WIDTH & HEIGHT	TYPE	REMARKS
1	6'-0"X7'-0"	FRENCH DOOR OUTSWING	
2	2'-0"	RELOCATED REAR KITCHEN DOOR	
LITES			
15/15			
REMARKS			

CONSULT OWNER ON FRONT DOOR (#1)
ALL INTERIOR DOORS TO BE ALUMINUM GLAD (EXTERIOR), WOOD (INTERIOR) UNLESS OTHERWISE NOTED.
ALL GLASS TO BE IMPACT RESISTANT, IF POSSIBLE.
* FIELD VERIFY (REUSING EXISTING DOOR) ROUGH OPENING REQUIRED

WINDOW SCHEDULE			
MARK	WIDTH & HEIGHT	TYPE	REMARKS
A	2'-10" X 5'-3"	DOUBLEHUNG	
B	2'-10" X 5'-0"	DOUBLEHUNG	
C	2'-10" X 5'-0"	DOUBLEHUNG	
D	2'-10" X 5'-0"	DOUBLEHUNG	
E	2'-10" X 3'-4"	FIXED	
LITES			
6/6			
REMARKS			

ALL WINDOWS ARE WOOD INTERIOR AND ALUMINUM GLAD EXTERIOR. TO BE ALL WOOD MARKWIN HISTORIC LINE
MATCH EXISTING WINDOW AT REAR PORCH BUTTLE
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER
* FIELD VERIFY (REUSING EXISTING WINDOW) ROUGH OPENING REQUIRED



PROPOSED
LANDSCAPE
PLAN

ADDITIONS AND RENOVATIONS TO
"THE BLUFF" HOME OF THE HEYWARD FAMILY
130 PRITCHARD STREET
BLUFFTON, SOUTH CAROLINA 29910
PROPOSED FLOOR PLAN

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com

DATE:
5/25/23



A-3
SHEET



ATTACHMENT 5

PLAN REVIEW COMMENTS FOR COFA-03-23-017840

Section X. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 03/29/2023
Plan Status: Active **Plan Address:** 130 Pritchard Street
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0055 0000
Plan Description: bedroom addition, kitchen porch enclosure , interior renovations

Staff Review (HD)

Submission #: 1 Received: 03/29/2023 Completed: 04/21/2023

Reviewing Dept.	Complete Date	Reviewer	Status
Building Safety Review	03/29/2023	Richard Spruce	Revisions Required

Comments:

1. The exterior door from the kitchen is now an exterior door and a level landing is required on both sides of this door.
2. All exterior stairs require guardrails since the landing is more than 30-inches above grade. A handrail must be provided on at least one side of the stairs.
3. At least on window in each of the bedrooms shall be sized to meet the emergency exit criteria of the International Residential Code.

Beaufort Jasper Water and Sewer Review	04/21/2023	James Clardy	Approved
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Comments:

1. No comments provided by reviewer.

Growth Management Dept Review (HD)	04/21/2023	Glen Umberger	Approved
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Comments:

1. No comments.

Growth Management Dept Review (HD)	04/21/2023	Katie Peterson	Approved
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Comments:

1. At time of final submittal, all materials will need to be provided. If to match existing, provide what the existing is. (Applications Manual)
2. Provide cut sheet information on proposed replacement windows and doors along with window and door table.
3. Provide architectural details of the railing and baluster, corner board/pilaster trim detail and sections through the eave and wall, of all areas being added, depicting the material configuration and dimensions. (Applications Manual)

HPRC Review	04/21/2023	Katie Peterson	Approved
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Comments:

1. No comment.

Watershed Management Review	04/05/2023	Samantha Crotty	Approved
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Transportation Department Review - HD	03/29/2023	Megan James	Approved
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Comments:

- No comments

ATTACHMENT 5

Plan Review Case Notes:

Section X. Item #2.