



## Historic Preservation Commission Meeting - SPECIAL MEETING

Monday, May 19, 2025 at 5:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. PUBLIC COMMENT

#### V. OLD BUSINESS

#### VI. NEW BUSINESS

1. **4 Tabby Shell:** A request by Joseph DePauw (DePauw Architects), on behalf of owners, Steve and Jill Duncan, for review of a Certificate of Appropriateness-Historic District, to allow enclosure of an existing screen porch to create a Carolina room of approximately 204 SF on the Main Residence located at 4 Tabby Shell Road, Lot 4, in the Tabby Roads Development. The property is located in the Old Town Historic District and is zoned Neighborhood General-Historic District. (COFA-03-25-019649) (Staff - Charlotte Moore)

#### VII. DISCUSSION

#### VIII. ADJOURNMENT

*“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

*<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>*

*Public comment is limited to 3 minutes per speaker.*



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	May 19, 2025 (Special Meeting)
<b>PROJECT:</b>	COFA-03-25-019649 4 Tabby Shell Road, Lot 4 (Tabby Roads Development) Enclosure of an Existing Screened Porch
<b>APPLICANT:</b>	Joe DePauw (DePauw Architects)
<b>PROPERTY OWNERS:</b>	Jill and Steve Duncan
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant requests that the Historic Preservation Commission approve the following:

A Certificate of Appropriateness-Historic District to allow enclosure of an existing screened porch to create a Carolina Room of approximately 204 SF at the Main Residence located at 4 Tabby Shell Road, Lot 4 (Parcel R610 039 000 1184 0000) in the Tabby Roads Development. The property is in Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD).

**INTRODUCTION:** The existing screened porch enclosure is in the rear, southeast corner of the existing residence and is located underneath the main roof mass. Enclosure of the patio to a conditioned space will increase the square footage of the house from 1,166 square feet to 1,370 square feet, which is less than the 1,800 square foot maximum permitted for a Vernacular House building type. To properly condition the enclosed space, a small mini-split system would be installed in the side yard and screened.

As shown on Page A101 of Attachment 5, the walls on the rear (south) and left (east) elevations would primarily consist of double-hung, clad wood windows. While casement windows are used elsewhere, they include a simulated sash bar and are similar in appearance to the proposed double-hung windows. The windows will be surrounded by Hardie trim and panels that would include 1x4 Hardie sticking beneath the windows. On the left elevation, the existing screen door would be replaced by a wood casement door beneath a transom window.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the April 7, 2025 meeting. HPRC comments are provided as Attachment 6. It was suggested that the door/transom window combination be changed to

an 8'-0" door. The reasoning for maintaining this configuration is explained by the Applicant in Attachment 2.

As the mini-split system was a late addition to the plans, screening details must be provided to ensure compliance with UDO Sec. 5.15.5.F.9.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

**1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

Old Town Bluffton Historic District is a locally designated historic district. The proposed enclosure has been designed to be sympathetic to the architectural character of the neighboring structures.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The enclosure will be in conformance with those standards if the conditions noted in #2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The enclosure will not deviate from these principles.



2. **Section 3.18.3.C.** The application must be in conformance with applicable provisions provided in Article 5, Design Standards.

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed enclosure will be in conformance with applicable provisions provided in Article 5:

- 1) (UDO Sec. 5.15.5.F.9) Provide screening details for the mini-split system to ensure compliance with the UDO.

3. **Section 3.18.3.D.** Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

*Finding.* The proposed enclosure complies with this condition.

4. **Section 3.18.3.F.** The historic, architectural, and aesthetic features of the structure, including the extent to which its alteration or removal would be detrimental to the public interest.

*Finding.* If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring non-historic resources; therefore, the enclosure will have no adverse effect on the public interest.

5. **Section 3.18.3.H.** The application must comply with the applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the condition noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following condition:

1. Provide screening details for the mini-split system to ensure compliance with UDO Sec. 5.15.5.F.9.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

**ATTACHMENTS:**

1. Location and Zoning Map
2. Cover Letter
3. Final Application
4. Photos-Existing Conditions
5. Final Plans
6. HPRC Comments
7. Tabby Roads HARB Approval

# LOCATION & ZONING MAP

Section VI. Item #1.

## 4 Tabby Shell Road

Neighborhood General-HD District



April 8, 2025

Growth Management Service Center  
20 Bridge Street  
Bluffton, SC 29910

Re: Final COA-HD Submission  
COFA-03-25-019646  
A Porch Enclosure for the Duncan Residence  
4 Tabby Shell Road  
Bluffton, SC 29910



Charlotte,

In support of our Final COA-HD submission for the Porch Enclosure for the Duncan Residence, we are providing the following project narrative.

#### Narrative Introduction

We are proposing to enclose the existing screened porch with framed walls and windows to create a conditioned Carolina Room.

#### Zoning & Building Type

The property is zoned Neighborhood General-HD and the property has platted setbacks. While the extents of the building footprint will not change as a result of the proposed renovations, we are increasing the conditioned footprint (excluding porches) from 1,166 sq. ft. to 1,370 sq. ft. The home will continue to comply with the Vernacular House Building type (1,800 sq. ft. maximum footprint, 1.5 story massing, and 1,600-2,800 sq. ft. size range).

#### Materials

The walls of the newly enclosed Carolina Room will be finished with a panel detail above and below the new windows. As shown on sheet A501, the panels will be of Hardiepanel with the sticking of Hardietrim. The panel finish allows for a clean connection to the existing siding and a nod to the history of the room as a screened porch. The new windows will be double hungs to complement the existing windows.

In addition, we are providing the below responses to the comments received during HPRC review:

1. Suggest changing the 3' x 8' instead of 6'-8" plus transom above to match existing conditions
  - a. The design was originally considered with an 8'-0" door, but the decision to use a 6'-8" door and transom combination was multifaceted. (1) The door is in the back of the home, well removed from the front porch, so it will not be viewed in context with the front door. (2) The door and transom combination with flanking tall double hung windows is a traditional construction pattern. (3) There is a sizeable step down into the porch. Using the door and transom combination, we can bring the windows in Carolina Room to the height of the existing windows. (4) There are cost efficiencies to the door and transom combination, which are important to the feasibility of the project. This has already received final approval from the Tabby Roads HARB.
2. The new door is called out as a sliding door in the renovation plan but shown as a swinging door in the same drawing and elevation. The door is also called out as 3'x8' in the plan but shown in the elevation and schedule at 6'x8' with transom. Suggest that the door be 3'x8' to match existing conditions.
  - a. See notes above.
3. The infill framing detail has a callout for hardiplank lap siding; only panel and trim are shown in the elevation.
  - a. The detail has been revised to remove the stray note. Only Hardiepanel and Hardietrim will be used.
4. The plan identifies casement windows; however, the elevation and narrative show double hung windows "to match existing windows." The existing windows shown in the same elevation have hinge markers, suggesting casement function. Clarification needed.
  - a. The existing windows are casements with a simulated sash bar to mimic double hung windows. The previous owner was seeking an energy efficient goal and casements have a tighter air seal. The current owners prefer the operation of a true double hung for this room. As it is a built-in porch this is a good opportunity to provide this very slight difference in appearance. This has already received final approval from the Tabby Roads HARB.
5. The window head detail calls out hardie panel above the head trim; the elevation shows trim instead of panel.
  - a. The panels above the windows removed by the change to the door-transom combination. This detail has been revised.

6. In the plan, elevations, and details, 1x4 hardie trim is specified, but the elevations show a smaller vertical mull trim between windows.
  - a. **The window on the left elevation where this was true has been changed to match the other window mulls with 1x4 hardietrim stiles.**

We look forward to the HPC's review. If you require additional information about the project ahead of the meeting, please let me know.

Thank you for your time and consideration,

A handwritten signature in black ink, appearing to read "Lydia D", with a stylized flourish at the end.

Lydia DePauw, AIA  
Principal, DePauw Architects





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer

Section VI. Item #1.

20 Bridge Street  
Bluffton, SC 29910  
(843)706-4500

[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: DePauw Architects, Joe DePauw		Name: Jill & Steve Duncan	
Phone: 843-284-7848		Phone: 508-277-9300	
Mailing Address: PO Box 688 Bluffton, SC 29910		Mailing Address: 4 Tabby Shell Road Bluffton, SC 29910	
E-mail: joe@depauw.studio		E-mail: jill.gaston1@gmail.com	
Town Business License # (if applicable): 24-04-1903			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: A Porch Enclosure for the Duncan Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 4 Tabby Shell Road		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General HD		Application for:	
Acreage: 0.15		<input type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1184 0000		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: Enclosing a screened porch to create a Carolina Room.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Signature: <u>Jill Duncan</u> <small>Jill Duncan (Apr 8, 2025 14:33 EDT)</small>	Date: 08/04/25
Applicant Signature: <u>Lynia D</u>		Email: jill.gaston1@gmail.com	Date: 4/8/25
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VI. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): Accessory Structure					
Building Setbacks	Front: 6	Rear: 3	Rt. Side: 3	Lt. Side: 3	
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> <small>(Main House, Garage, Carriage House, etc.)</small>	<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>		
Main Structure	Existing Main House	1,886 (conditioned)	2,090 (conditioned)		
Ancillary	Parking Pavilion	754 (unconditioned)			
Ancillary					
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>		<b>Coverage (SF)</b>			
Building Footprint(s)		2,415			
Impervious Drive, Walks & Paths		88			
Open/Covered Patios		0			
<b>A. TOTAL IMPERVIOUS COVERAGE</b>		2,503			
<b>B. TOTAL SF OF LOT</b>		6,740			
<b>% COVERAGE OF LOT (A/B= %)</b>		37% (no change)			
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	N/A	Columns			
Walls	Hardiepanel & Hardietrim	Windows	Clad Wood		
Roof	N/A	Doors	Wood		
Chimney	N/A	Shutters	N/A		
Trim	Hardietrim	Skirting/Underpinning	N/A		
Water table	N/A	Cornice, Soffit, Frieze	N/A		
Corner board	Hardietrim	Gutters	N/A		
Railings	N/A	Garage Doors	N/A		
Balusters	N/A	Green/Recycled Materials			
Handrails	N/A				





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VI. Item #1.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded)</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature: Jill Duncan

08/04/25

Signature of Property Owner or Authorized Agent

Date

Jill Duncan

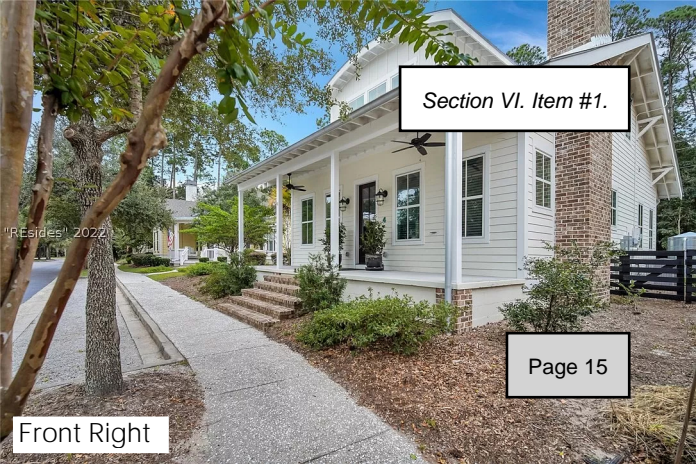
Printed Name of Property Owner or Authorized Agent

Lydia DePauw  
Signature of Applicant

4/7/25  
Date

LYDIA DePAUW  
Printed Name of Applicant





"Resides" 2022

*Section VI. Item #1.*

Page 15


Front Right



*Section VI. Item #1.*

Page 16

Front Entry



*Section VI. Item #1.*

Page 17

Front Left



*Section VI. Item #1.*

"Resides" 2022

Page 18

Left Side Yard




*Section VI. Item #1.*

Page 19

Left Side Yard

"RESIDES" 2022

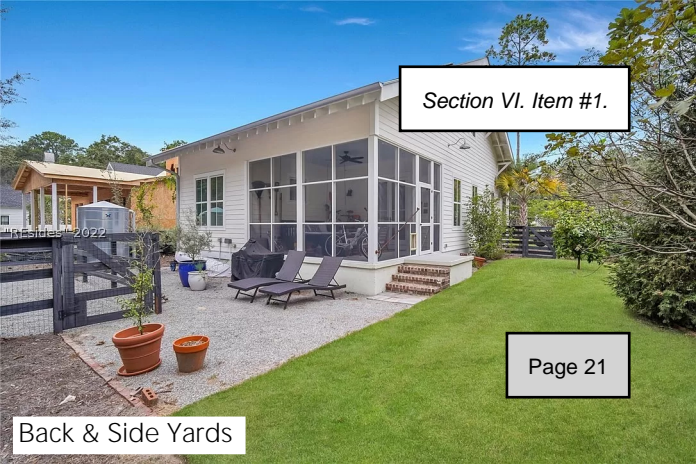
A photograph of a residential backyard taken from an alley. In the foreground is a gravel-covered area. A dark wooden fence runs across the middle ground. Behind the fence is a light-colored house with a metal roof and large windows. To the left of the house is a large silver water tank. To the right is another yellow house. The sky is blue with some clouds.

*Section VI. Item #1.*

Page 20

Back Yard from Alley





*Section VI. Item #1.*

Page 21

Back & Side Yards



**DRAWING INDEX:**

4/23/2025 FOR  
REVIEW

NOT FOR CONSTRUCTION

## DESIGNERS OF RECORD:

DICIPLINE	FIRM	LICENSE NO.	PHONE NO.
Architectural	DePauw Architects	101468	843-284-7848
Structural	---		

**BUILDING CODES:**

INTERNATIONAL RESIDENTIAL CODE: 2021

(ALL CODES WITH SOUTH CAROLINA MODIFICATIONS)

**NOTES:**

NOTICE TO PERMITTING AUTHORITY & BUILDING OWNER REGARDING CONSTRUCTION ADMINISTRATION SERVICES:  
THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SC CODE OF REGULATIONS CHAPTER 11-12.B(5).

ARCHITECT OF RECORD IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

GENERAL NOTES:

THE FOLLOWING DOCUMENTS ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.

SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS, THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

THE FOLLOWING DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT AS DEFINED UNDER SECTION 102 OF THE COPYRIGHT ACT (TITLE 17 OF THE UNITED STATES CODE).

DIMENSION NOTES:

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, & FRAMING OR COLUMN CENTERLINE U.O.N

PLUMBING NOTES:

G.C. TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTORS PRIOR TO PLACING SLAB. G.C./OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

## FOUNDATION NOTES

SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS & REINFORCING, AND CONNECTION DETAILS.

SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

FRAMING NOTES:

SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LAYOUT, AND SPACING OF STRUCTURAL MEMBERS, AND CONNECTION DETAILS.

PROJECT NO. 2502  
CONTACT LRD  
DATE 4.28.2025

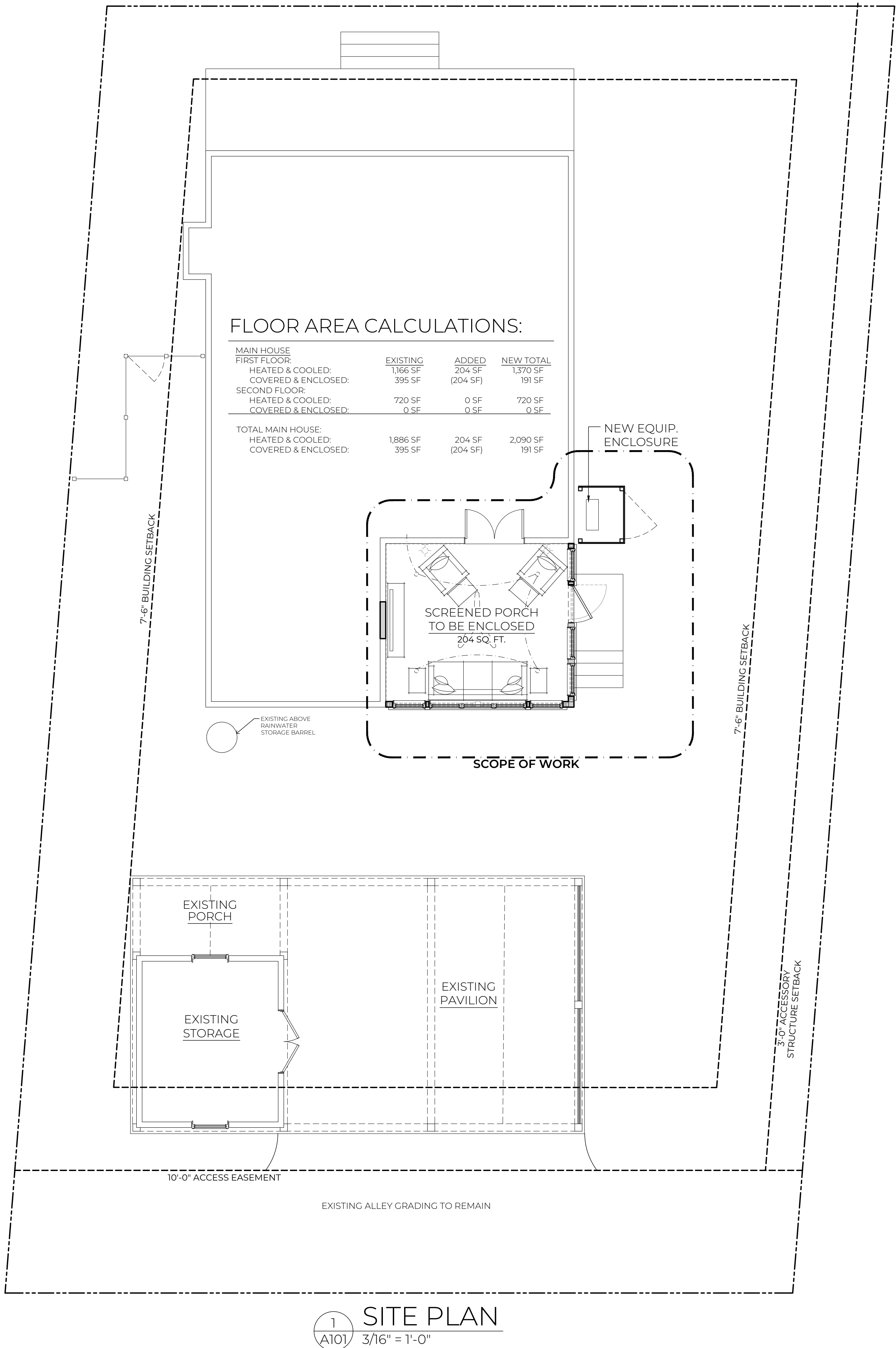
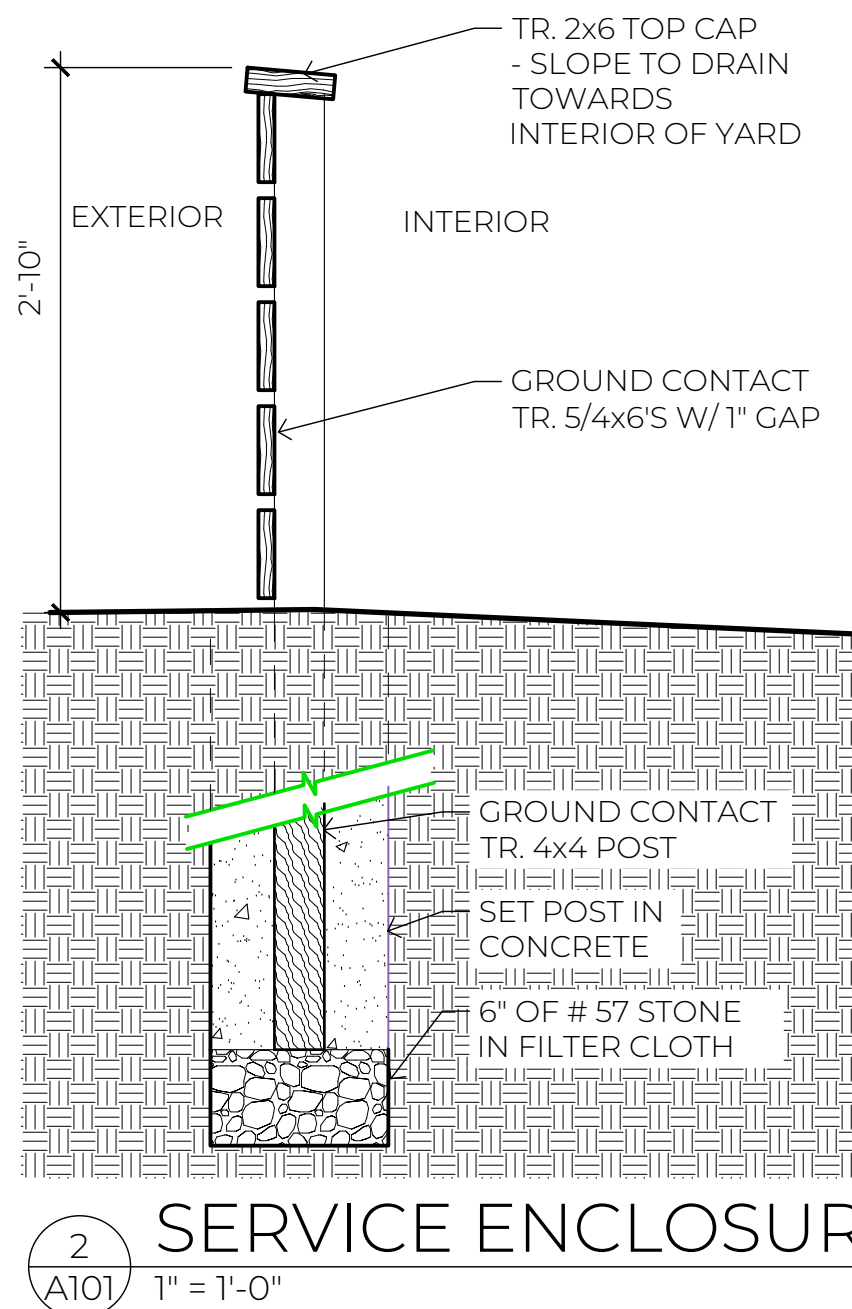
SHEET

# A101

## SITE PLAN

ABBREVIATIONS:

AB	ANCHOR BOLT	KS	KNEE SPACE
ABV	ABOVE	LAM	LAMINATE
ABF	ABOVE FINISH FLOOR	LL	LIVE LOAD
ACF	ABOVE SUB-FLOOR	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINE
ALUM	ALUMINUM	MAS	MASONRY
ASL	ABOVE HUMAN SEA LEVEL	MAX	MAXIMUM
APPROX	APPROXIMATE	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FLOOR	MFR	MANUFACTURER
BLC	BLOCKING	MID	MIDDLE
BLD	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MULLION
BEG	BEGINS	NA	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTRE	OH	OVERHANG
CE	Ceilings	OPNG	OPENING
CE	Ceiling Joist	OSB	ORIENTED STRAND
CLOS	CENTERLINE		BOARD
CL	CLOSET	PEMB	PRE-ENGINEERED METAL
CLG	Ceiling		BLDC
CM	CASEMENT		PLATE
CO	CASED OPENING	PML	PAINT
COL	COLUMN	PNT	PAINT
CONC	CONCRETE	PR	PAIR
CT	CERAMIC TILE	PT	PRESSURE TREATED
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE
DEMOL	DEMOLISH	PVMT	PAVEMENT
DOUB	DOUBLE	PLY	PLYWOOD
DIA	DIAMETER	PWDR	POWDER ROOM
DI	DIMENSION	R	RISER
DR	DOOR	R & S	ROD & S
DN	DOWN	RAC	RETURN AIR GRILL
DIST	DISTANCE	REF	REFRIGERATOR
DW	DISHWASHER	REQD	REQUIRED
DWG	DRAWING	RM	ROOM
EACH	EACH	RV	RIDGE VENT
ELEV	ELEVATION	SCHED	SCHEDULE
ELEC	ELECTRICAL	SECT	SECTION
EQ	EQUAL	SE	SQUARE FEET
EQUIP	EQUIPMENT	SH	SH
EXIST	EXISTING	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SF	SQUARE FEET
FFN	FOUNDATION	STD	STANDARD
FIRST	FIRST FLOOR	STL	STEEL
FFE	FINISH FLOOR	STOR	STORAGE
ELEVATION	ELEVATION	SYS	SYSTEM
FIN	FINISH	TREAD	TREAD
FIX	FIXTURE	T.O.	TOP OF
FLOOR	FLUORESCENT	TR	TRIM
FLR	FLOOR	T & G	TONGUE & GROOVE
FZ	FREEZER	TEL	TELEPHONE
FRMG	FRAMING	T.E.M.P.	TEMPORARY/TEMPERATURE
FT	FEET	THK	THICK
FTG	FOOTING	TV	TELEVISION
GAUC	GAUGE	TYP	TYPICAL
GALV	GALVANIZE	UC	UNDER-COUNTER
GLS	GLASS	UNFIN	UNFINISHED
GYP	GYPSPUM	UNO.	UNLESS NOTED OTHERWISE
QWB	GYPSPUM WALL BOARD		
HO	HOE BIBB		
HD	HEADER		
HORIZ	HORIZONTAL	VB	VAPOR BARRIER
HT	HEIGHT	VER	VERIFY
INCH	INCH	V.I.F.	VERIFY IN FIELD
INCL	INCLUDE	VERT	VERTICAL
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	W/D	WASHER-DRYER
JOIST	JOIST	WH	WATER-HEATER
JNT	JOINT		



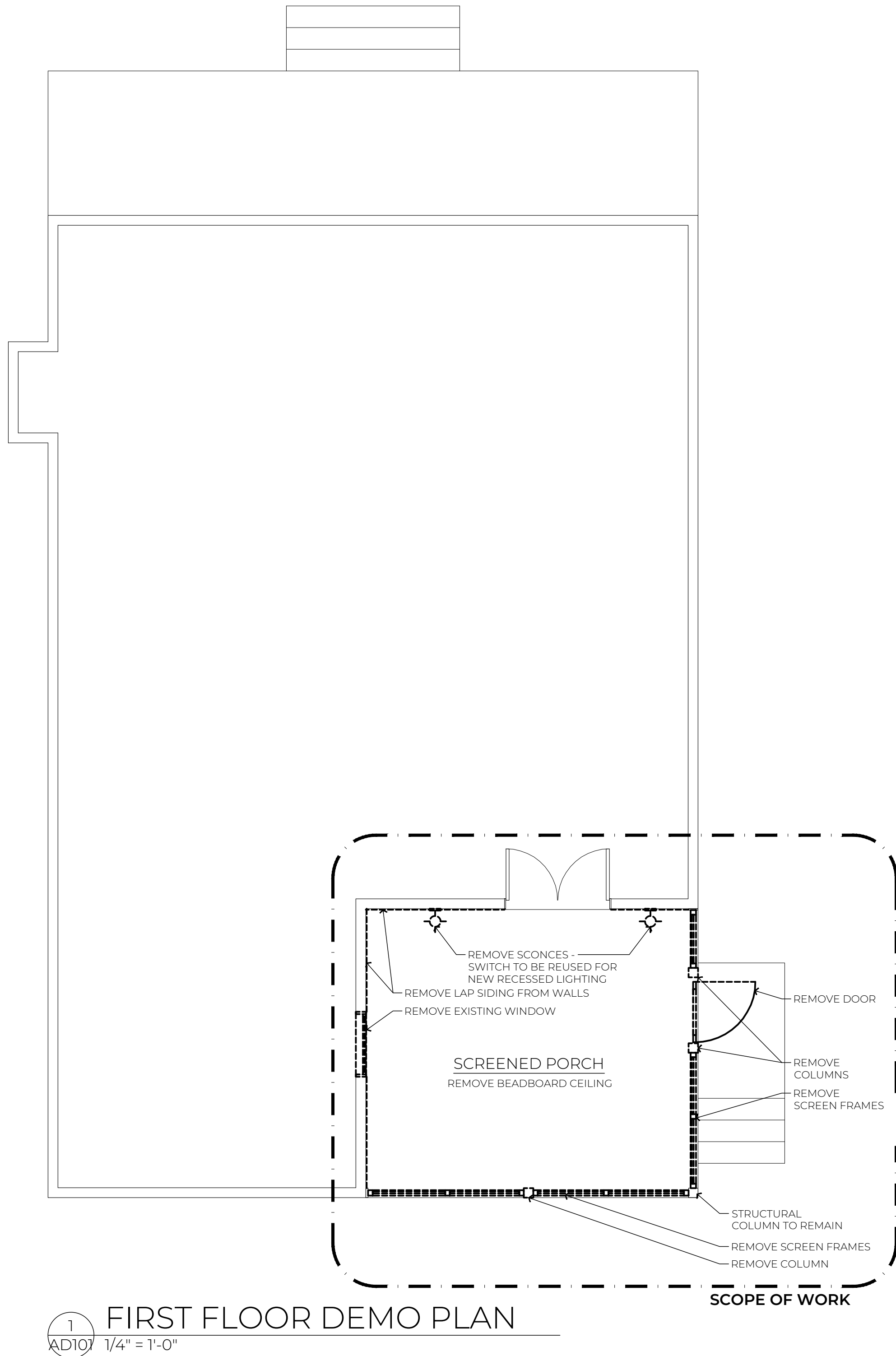


NOT FOR CONSTRUCTION

© COPYRIGHT 2025 DePAUW ARCHITECTS LLC  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT  
AND IS NOT TO BE REPRODUCED IN WHOLE OR IN  
PART BY ANY MEANS OR METHOD WITHOUT THE  
EXPRESS WRITTEN CONSENT OF THE ARCHITECT.  
ANY UNAUTHORIZED REPRODUCTION OR REUSE OF  
THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

A PORCH ENCLOSURE FOR  
THE DUNCAN RESIDENCE  
4 TABBY SHELL ROAD  
TABBY ROADS  
BLUFFTON, SC 29910

REVISIONS	
PROJECT NO.	2502
CONTACT	LRD
DATE	4.28.2025
SHEET	

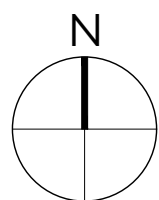


#### SELECTIVE DEMOLITION NOTES

- UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF CONTRACTOR.
- NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
- STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED.
- UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INTENDED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.
- TEMPORARY SHORING: DESIGN, PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROCESS OF SELECTIVE DEMOLITION.
- REMOVE DEMOLITION WASTE MATERIALS FROM PROJECT SITE AND DISPOSE OF THEM IN AN EPA-APPROVED CONSTRUCTION AND DEMOLITION WASTE LANDFILL ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.

#### SELECTIVE DEMOLITION DEFINITIONS

- REMOVE:**  
DETACH ITEMS FROM EXISTING CONSTRUCTION AND DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
- REMOVE & SALVAGE:**  
DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, AND STORE.
- REMOVE & REINSTALL:**  
DETACH ITEMS FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE, PREPARE FOR REUSE, AND REINSTALL WHERE INDICATED.
- EXISTING TO REMAIN:**  
LEAVE EXISTING ITEMS THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE SALVAGED OR REINSTALLED.
- DISMANTLE:**  
TO REMOVE BY DISASSEMBLING OR DETACHING AN ITEM FROM A SURFACE, USING GENTLE METHODS AND EQUIPMENT TO PREVENT DAMAGE TO THE ITEM AND SURFACES. DISPOSING OF ITEMS UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.





DePAUW  
ARCHITECTS

POST OFFICE BOX 688  
BLUFFTON, SC 29910  
(843) 284-7848  
WWW.DEPAUW.STUDIO

NOT FOR CONSTRUCTION

COPYRIGHT 2025 DePAUW ARCHITECTS LLC  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT  
AND IS NOT TO BE REPRODUCED IN WHOLE OR IN  
PART BY ANY MEANS OR METHOD WITHOUT THE  
EXPRESS WRITTEN CONSENT OF THE ARCHITECT  
ANY UNAUTHORIZED REPRODUCTION OR REUSE OF  
THESE DOCUMENTS WILL RESULT IN LEGAL ACTION

A PORCH ENCLOSURE FOR  
THE DUNCAN RESIDENCE  
4 TABBY SHELL ROAD  
TABBY ROADS  
BLUFFTON, SC 29910

REVISIONS

PROJECT NO. 2502  
CONTACT LRD  
DATE 4.28.2025

SHEET

A101

DOOR SCHEDULE

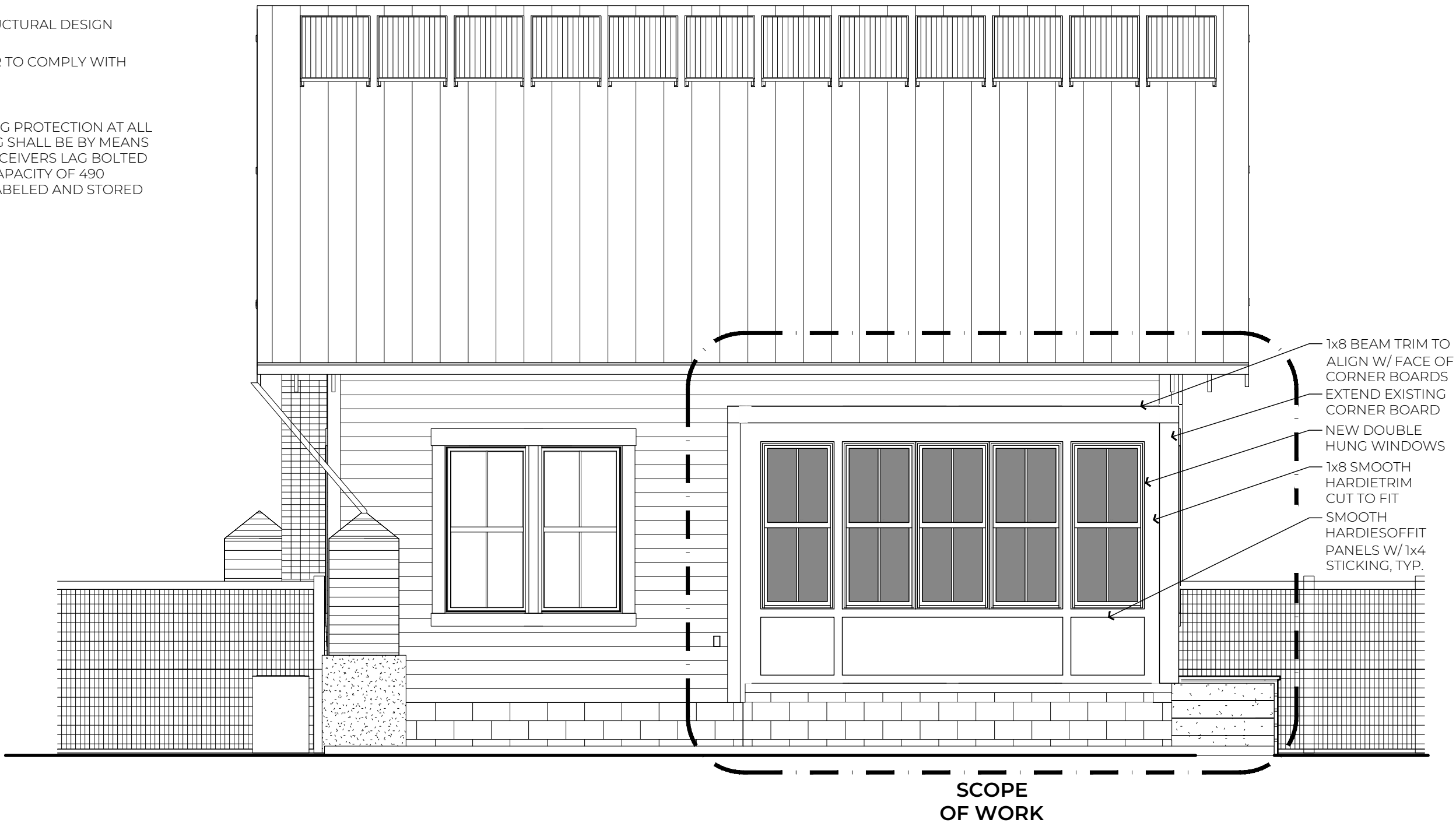
DOOR NO.	NOMINAL SIZE (SEE NOTES)			LABEL	HEAD JAMB HEIGHT (SEE NOTE 2)	MATERIAL	REMARKS
	W	H	Th				
101	3'-0"	6'-8" (R.O. 8'-8")	1 1/2"	ELOFD3068	±8'-8"	CLAD WOOD	

- NOTE 1: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 2: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 3: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 4: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC 2018 SECTION R308 FOR DOOR GLAZING.
- NOTE 5: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH 2018 IRC SECTION R301.2.1.2. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

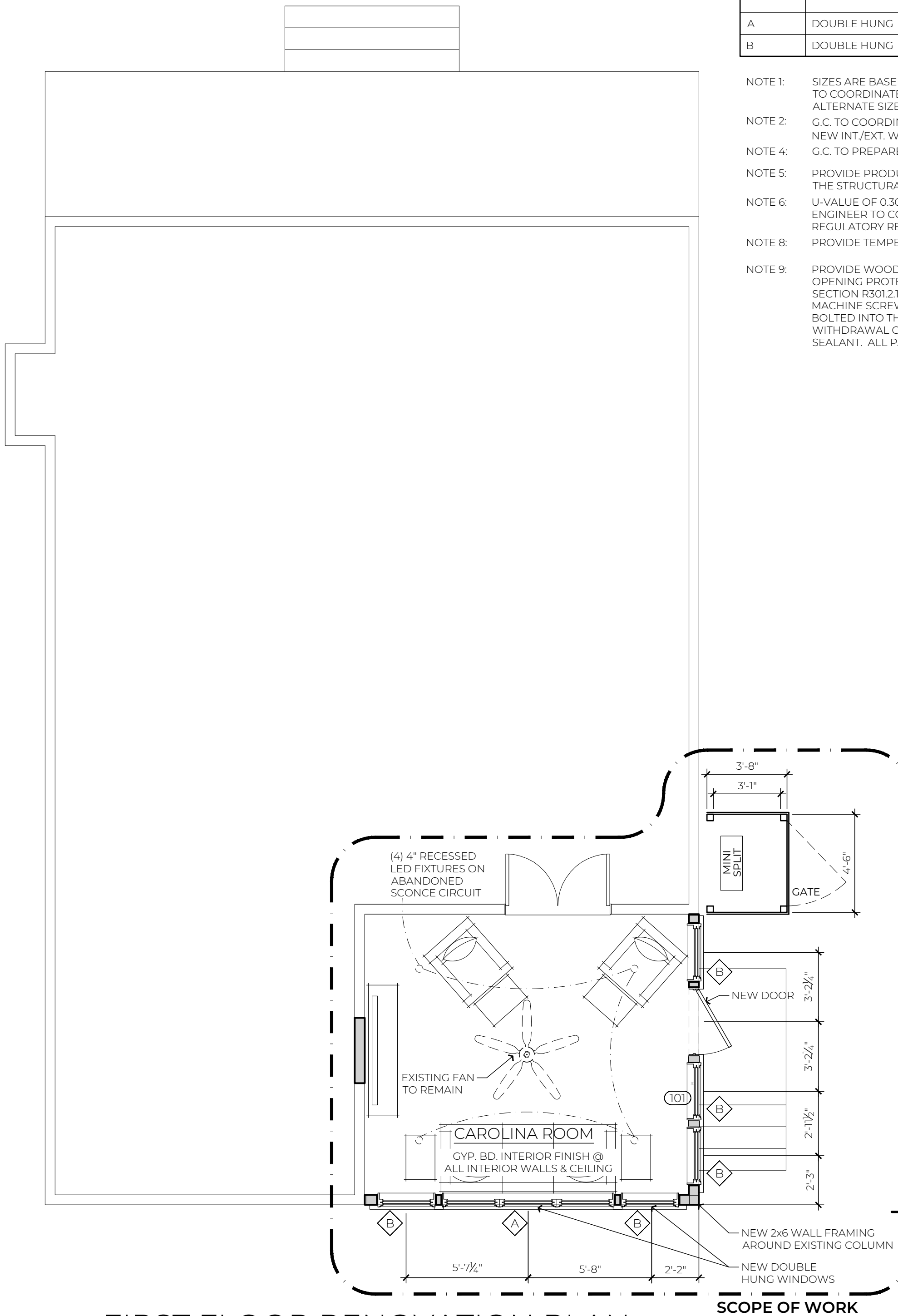
WINDOW SCHEDULE

MARK	TYPE	LABEL	HEAD JAMB HEIGHT (SEE NOTE 2)	EXTERIOR MATERIAL	EXTERIOR FINISH
A	DOUBLE HUNG	ELDH3272 3W	±8'-0"	ULTREX CLAD	STONE WHITE
B	DOUBLE HUNG	ELDH3272	±8'-0"	ULTREX CLAD	STONE WHITE

- NOTE 1: SIZES ARE BASED ON MARVIN ELEVATE. IF A DIFFERENT MANUFACTURER IS SELECTED, G.C. IS TO COORDINATE. CONTACT ARCHITECT FOR ASSISTANCE IN SELECTING APPROPRIATE ALTERNATE SIZES.
- NOTE 2: G.C. TO COORDINATE ALL NEW WINDOW/DOOR HEAD JAMB HEIGHTS TO ALIGN BOTTOM OF NEW INT./EXT. WINDOW & DOOR HEAD JAMBS.
- NOTE 4: G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112.
- NOTE 5: PROVIDE PRODUCTS TO MEET OR EXCEED DESIGN PRESSURE (DP) RATINGS AS REQUIRED BY THE STRUCTURAL DESIGN CRITERIA FOR COMPONENTS & CLADDING CHART ON SHEET S100.
- NOTE 6: U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 OR APPROVED EQUIVALENT AS SPECIFIED BY ENGINEER TO COMPLY WITH ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS.
- NOTE 8: PROVIDE TEMPERED GLASS AS REQUIRED TO MEET IRC SECTION R308 FOR WINDOW GLAZING.
- NOTE 9: PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE WITH SECTION R301.2.1.2 OF THE 2018 IRC. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER WITH A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



2 A101 RENOVATED REAR ELEVATION  
1/4" = 1'-0"



1 A101 FIRST FLOOR RENOVATION PLAN  
1/4" = 1'-0"



3 A101 RENOVATED LEFT ELEVATION  
1/4" = 1'-0"



DePAUW  
ARCHITECTS

POST OFFICE BOX 688  
BLUFFTON, SC 29910  
(843) 284-7848  
WWW.DEPAUW.STUDIO

NOT FOR CONSTRUCTION

COPYRIGHT 2025 DePAUW ARCHITECTS LLC  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT  
AND IS NOT TO BE REPRODUCED IN WHOLE OR IN  
PART BY ANY MEANS OR METHOD WITHOUT THE  
EXPRESS WRITTEN CONSENT OF THE ARCHITECT  
ANY UNAUTHORIZED REPRODUCTION OR REUSE OF  
THESE DOCUMENTS WILL RESULT IN LEGAL ACTION

A PORCH ENCLOSURE FOR  
THE DUNCAN RESIDENCE  
4 TABBY SHELL ROAD  
TABBY ROADS  
BLUFFTON, SC 29910

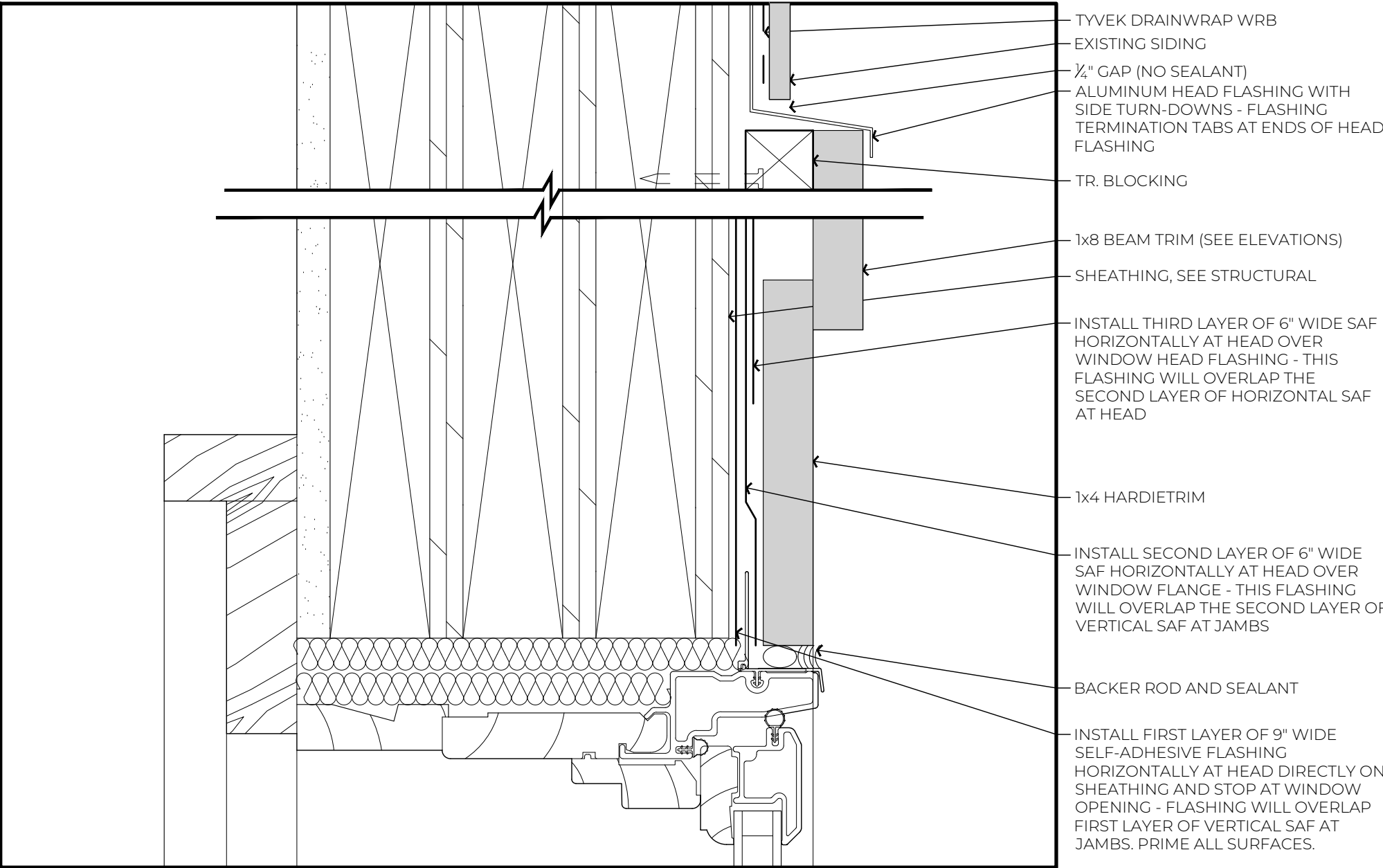
REVISIONS	

PROJECT NO. 2502  
CONTACT LRD  
DATE 4.28.2025

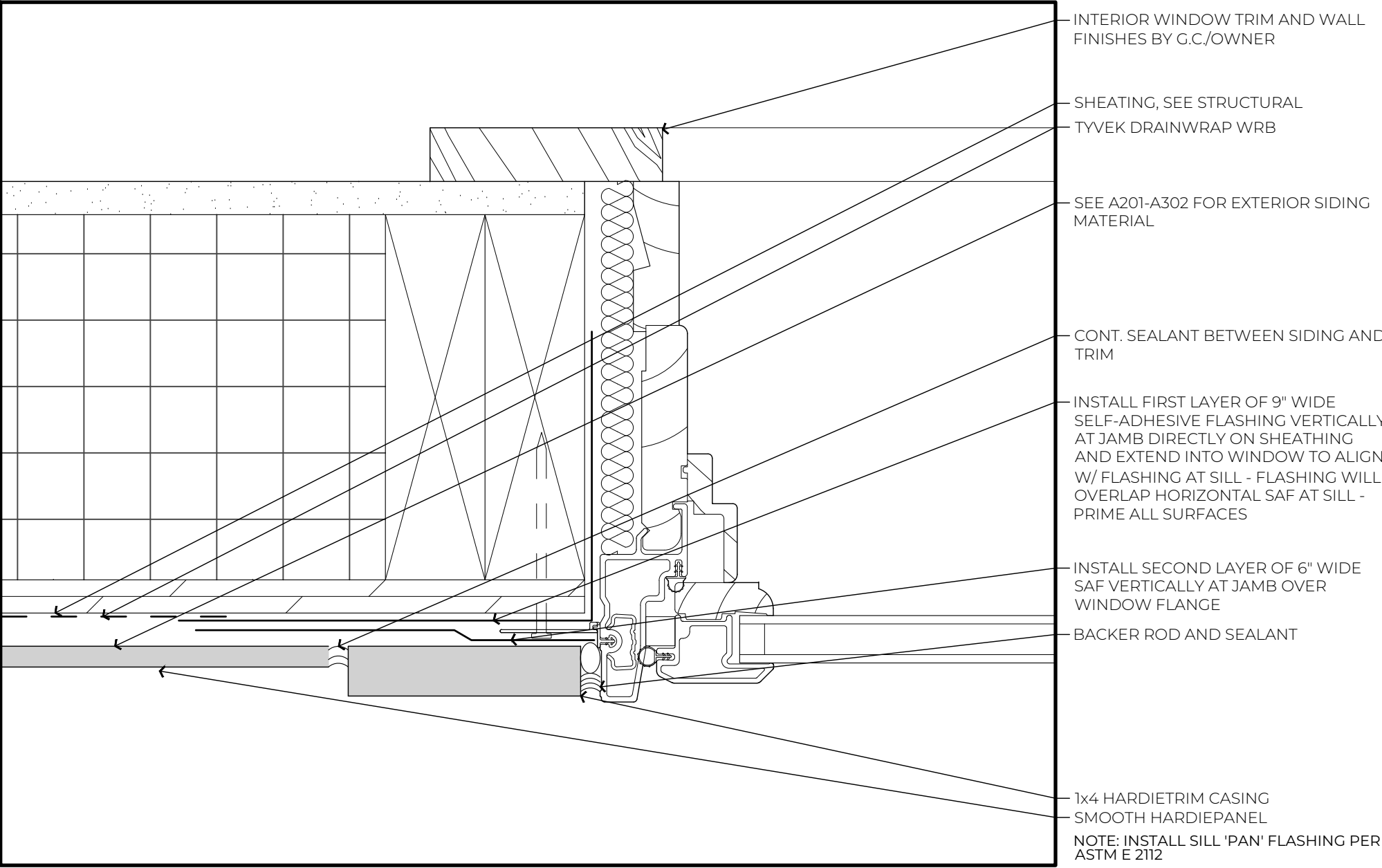
SHEET

A501

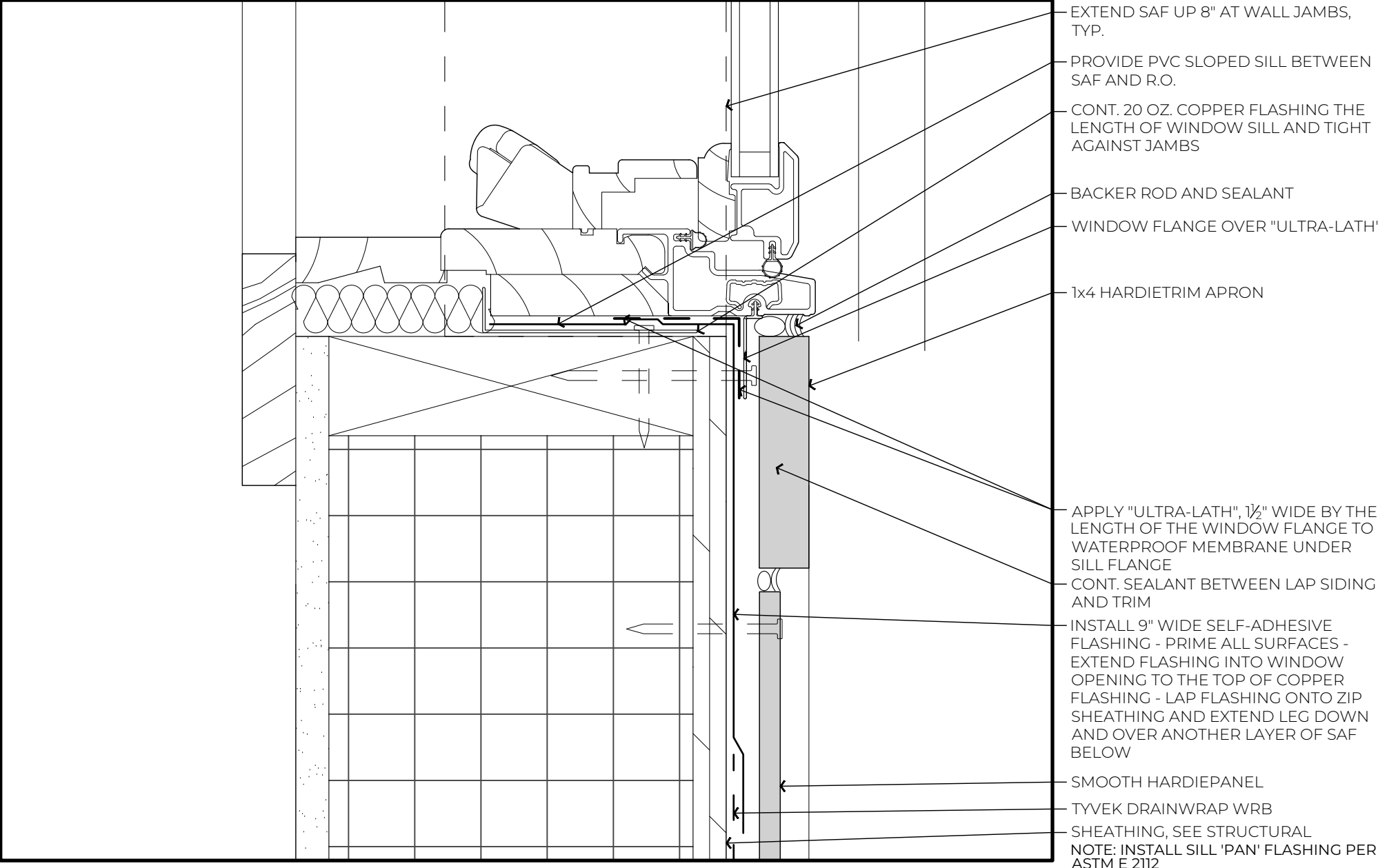
DETAILED SECTIONS



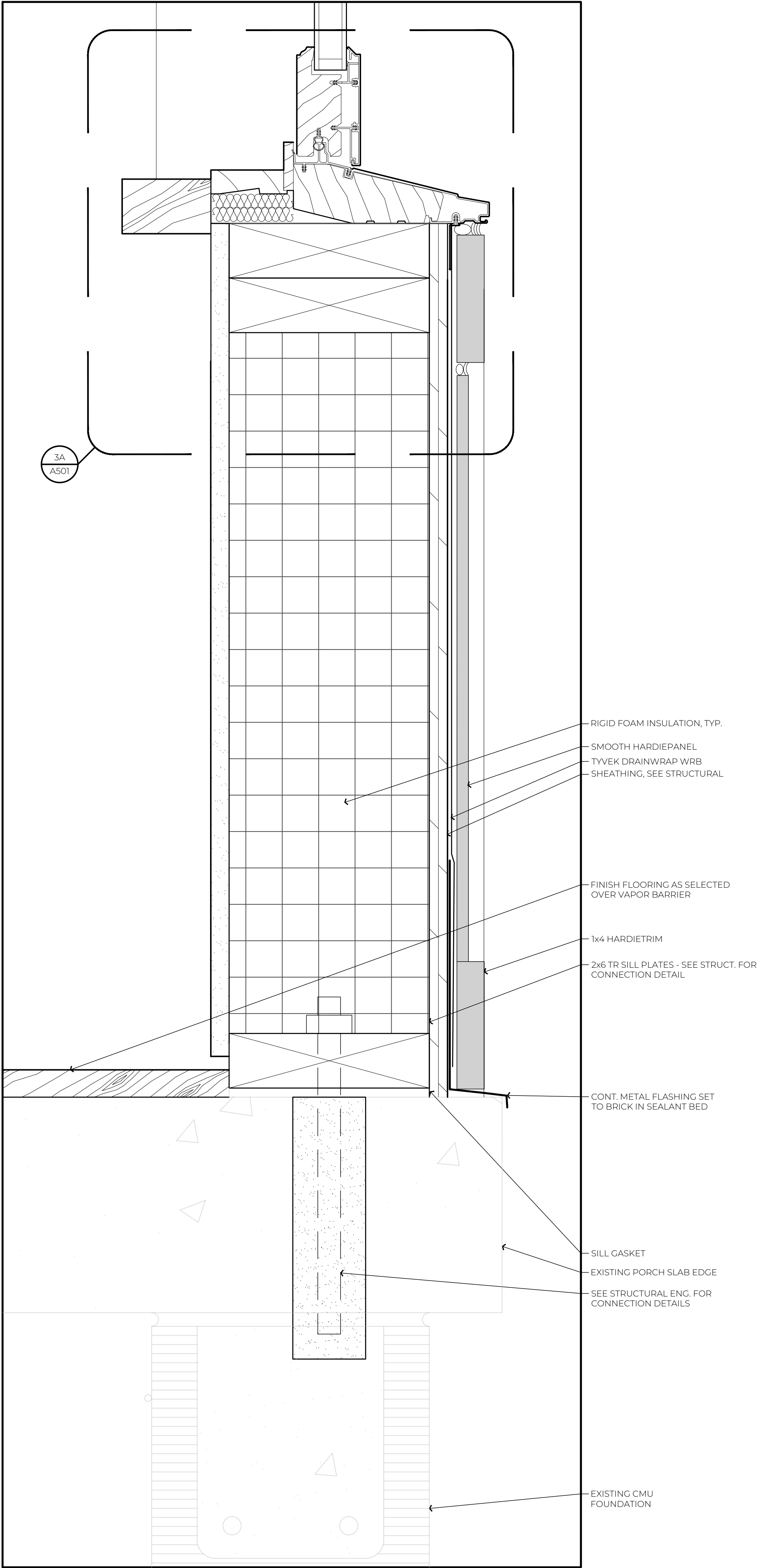
1A  
A501 WINDOW HEAD  
1" = 1'-0"



2B  
A501 WINDOW JAMB  
1" = 1'-0"



2C  
A501 WINDOW SILL  
1" = 1'-0"



2  
A501 INFILL FRAMING @ EXISING PORCH SLAB  
1" = 1'-0"



**ATTACHMENT 6**  
**PLAN REVIEW COMMENTS FOR COFA-03-25-019649**

Section VI. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 03/14/2025  
**Plan Status:** Pending **Plan Address:** 4 Tabby Shell Road  
BLUFFTON, SC 29910  
**Case Manager:** Charlotte Moore **Plan PIN #:** R610 039 000 1184 0000  
**Plan Description:** A request by Joseph DePauw (DePauw Architects), on behalf of the owners, Steve and Jill Duncan, for review of a Certificate of Appropriateness-Historic District, to allow enclosure of a screen porch to create a Carolina Room of approximately 204 SF on the Main Residence located at 4 Tabby Shell Road (Parcel R610 039 000 1184 0000) in the Tabby Roads Development. The property is located in the Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD).  
**STATUS:** Scheduled for HPRC review on April 7, 2025.

**Staff Review (HD)**

**Submission #: 1**      Recieved: 03/14/2025      Completed: 04/03/2025

Reviewing Dept.	Complete Date	Reviewer	Status
HPRC Review	04/03/2025	Charlotte Moore	Approved with Conditions

**Comments:**

1. Suggest changing the 3' x 8' instead of 6'-8" plus transom above to match existing conditions
2. The new door is called out as a sliding door in the renovation plan but shown as a swinging door in the same drawing and elevation. The door is also called out as 3'x8' in the plan but shown in the elevation and schedule at 6'x8' with transom. Suggest that the door be 3'x8' to match existing conditions.
3. The infill framing detail has a callout for hardiplank lap siding; only panel and trim are shown in the elevation.
4. The plan identifies casement windows; however, the elevation and narrative show double hung windows "to match existing windows." The existing windows shown in the same elevation have hinge markers, suggesting casement function. Clarification needed.
5. The window head detail calls out hardie panel above the head trim; the elevation shows trim instead of panel.
6. In the plan, elevations, and details, 1x4 hardie trim is specified, but the elevations show a smaller vertical mull trim between windows.

Watershed Management Review	04/03/2025	Samantha Crotty	Approved with Conditions
-----------------------------	------------	-----------------	--------------------------

**Comments:**

Comments may be provided at time of building permit submittal.

Beaufort Jasper Water and Sewer Review	04/03/2025	Matthew Michaels	Approved
--	------------	------------------	----------

**Comments:**

Comments may be provided at time of Final Plan.

Growth Management Dept Review (HD)	04/03/2025	Charlotte Moore	Approved
------------------------------------	------------	-----------------	----------

**Comments:**

No comments.

Transportation Department Review - HD	03/19/2025	Mark Maxwell	Approved
---------------------------------------	------------	--------------	----------

**Comments:**

No comments

Plan Review Case Notes:

# HABITAT ARCHITECTURAL REVIEW BOARD

## TABBY ROADS

## BLUFFTON, SC

April 29, 2025

DUNCAN STEVEN M DUNCAN JILL M,  
Lot 4, Tabby Roads  
4 Tabby Shell Rd  
Bluffton, South Carolina 29910

Dear Jill and Steve,

This letter shall serve as final approval with conditions for your request to enclose your porch and create a Carolina Room. Plans within the following files titled are the basis for this approval:

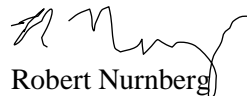
25.03.13 Duncan Carolina Room\_For Review.pdf & 25.04.28 Duncan Carolina Room\_Service Yard.pdf

This approval is based upon the following items of clarification:

- Should Town of Bluffton Building Safety require a hand rail on the landing. Railing design must be submitted for review and approval prior to installation.

We trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,



Robert Nurnberg  
On behalf of Tabby Roads HARB