



## Historic Preservation Commission Meeting

Wednesday, April 03, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

This meeting can be viewed live on [BCTV](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. ADOPTION OF THE AGENDA

#### V. ADOPTION OF MINUTES

[1.](#) February 7, 2024 Minutes

#### VI. PUBLIC COMMENT

#### VII. OLD BUSINESS

#### VIII. NEW BUSINESS

[1.](#) **Public Project:** A Public Project to include improvements to the drainage and streetscape along Pritchard Street between Bruin Road and Bridge Street, to include Stormwater Best Management Practices (BMPs), sidewalk installation, streetlight installation, and parking lot improvements to the existing parking lot adjacent to the Beaufort County Public Pool building. (DP-03-22-019022)(Staff - Katie Peterson)

#### IX. DISCUSSION

[1.](#) Historic District Monthly Update. (Staff)

#### X. ADJOURNMENT

**NEXT MEETING DATE: Wednesday, May 1, 2024**

*“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

*<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>*

*Public comment is limited to 3 minutes per speaker.*



# Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20  
Bridge Street, Bluffton, SC

February 07, 2024

## I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

## II. ROLL CALL

### PRESENT

Chairman Evan Goodwin  
Vice Chairwoman Carletha Frazier  
Commissioner Joe DePauw  
Commissioner Will Guenther  
Commissioner Jim Hess  
Commissioner Debbie Wunder

### ABSENT

Commissioner Kerri Schmelter

## III. ADOPTION OF THE AGENDA

Vice Chairwoman Frazier made a motion to adopt the agenda as written.

Seconded by Commissioner Guenther.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

## IV. ADOPTION OF MINUTES

### 1. January 3, 2024 Minutes

Vice Chairwoman Frazier made a motion to adopt the minutes as written.

Seconded by Commissioner Wunder.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

## V. ELECTION OF OFFICERS

### 1. Election of Historic Preservation Commission Chair

Commissioner Hess made a motion to elect Evan Goodwin as Chairman.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

### 2. Election of Historic Preservation Commission Vice Chair

Chairman Goodwin made a motion to elect Joseph DePauw to Vice Chairman.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

3. Election of Two Historic Preservation Review Committee members.

Chairman Goodwin made a motion to elect Joseph DePauw and Jim Hess to the Historic Preservation Review Committee.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

## VI. PUBLIC COMMENT

## VII. OLD BUSINESS

## VIII. NEW BUSINESS

1. **Certificate of Appropriateness:** A request by Pearce Scott Architects, on behalf of the Owner, Billy Watterson, for approval of a Certificate of Appropriateness - HD to allow the construction of a new 1,999 SF 1-story retail building in the Ma Daisy's Porch Development Plan, on the parcel currently addressed as 24 Ma Daisy's Way, in the Old Town Bluffton Historic District and zoned Neighborhood General - HD. (COFA-12-23-018754) (Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about the exterior openings to the market, shutter style and security.

Commissioner Guenther made a motion to approve with the following conditions:

1. Per Section 5.15.6.F.2. of the UDO, if any exterior mechanicals will be associated with the building, a service yard location and screening detailing is required for review. Otherwise, no exterior mechanical equipment is permitted.
2. Per Section 5.15.6.J, additional information regarding downspouts or rain chain profiles and locations must be provided.
3. The shutter operation was found to be an appropriate substitution for the operations found in UDO Section 5.15.6.M.1.e., due to the function of the building and to retain foundation landscaping along the entire side elevations.

Seconded by Commissioner Hess.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

2. **Certificate of Appropriateness:** A request by Charlie Wetmore for a review of a Certificate of Appropriateness - HD to construct a new 2-story attached Carriage House of approximately 1,200 SF, and renovation of the existing single family residential structure to include window and door modifications, porch addition, and modification to the rear exterior stairs, to be

located at 48 Lawrence Street, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD zoning District. (COFA-11-23-018662) (Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about the garage doors width, neighboring parcels, carriage house layout and windows.

Commissioner Guenther made a motion to approve the application as submitted as they found the third garage door bay, which is 6 feet wide, to be an appropriate design solution as they had recently recommended an amendment to the design standards to allow for it.

Seconded by Commissioner Frazier.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

- 3. Certificate of Appropriateness:** A request by Court Atkins Architects, Inc. on behalf of the owner, TripleBCo, LLC for approval of a Certificate of Appropriateness - HD to construct a new 1.5-story commercial building of approximately 2,315 SF for Hair and So On Salon to be located at 5818 Guilford Place, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD zoning District. (COFA-11-23-018646) (Staff - Katie Peterson)

Chairman Goodwin returned to the dais. Staff presented. The applicant was in attendance. There was discussion about the shutter size, handrails, and panel detailing.

Vice Chairman DePauw made a motion to approve with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.
2. Per Section 3.19 of the UDO, a Site Feature-HD is required for any signs proposed on the site.
3. The railing and balusters may be approved as powder coated aluminum as a substitute for those materials listed in Section 5.15.6.H.2.d., but must have traditional fenestration, including the profile of the top rail. Provide a detail to be approved at a staff level.
4. It was determined that the use of wood composite Bahama shutters on the second-floor porch only was appropriate in accordance with UDO Section 5.15.6.M.
5. The paneling on the first floor adjacent to the slat wall be revised to have the same baseboard as the second floor at the floor line.

Seconded by Commissioner Guenther.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess

Voting Abstaining: Commissioner Wunder

The motion was passed.

## IX. DISCUSSION

1. Historic District Monthly Update

The Commission did not have any questions about the report presented by staff.

**X. ADJOURNMENT**

Commissioner Guenther made a motion to adjourn.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed. The meeting adjourned at 7:13pm.

DRAFT



## MEMORANDUM

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TO: Historic Preservation Commission  
FROM: Katie Peterson, AICP  
RE: Pritchard Street Streetscape Public Project  
DATE: 4/3/2024

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**BACKGROUND:** At the request of the Town of Bluffton Historic Preservation Commission (HPC), Town Council adopted an ordinance at their April 9, 2019 meeting that amended the Unified Development Ordinance (UDO) Article 3 Application Process and Article 5 Design Standards to allow the HPC to review Public Projects and provide comment to the UDO Administrator for consideration. Additionally, Town Council revised the Town of Bluffton Process Table through a resolution to incorporate the review of Public Projects located within the Historic District by the HPC, for comment only, with the final review authority to remain as the UDO Administrator.

**APPLICATION REQUEST:** The Applicant, Daniel Rybak, on behalf of The Town of Bluffton, requests that the Historic Preservation Commission provide comment on the following application:

**DP-03-24-019022.** A Public Project to include improvements to the drainage and streetscape along Pritchard Street between Bruin Road and Bridge Street, to include Stormwater Best Management Practices (BMPs), sidewalk installation, streetlight installation, and parking lot improvements to the existing parking lot adjacent to the Beaufort County Public Pool building.

**INTRODUCTION:** The Public Project scope of work includes improvements to the stormwater and drainage infrastructure, installation of streetlights, reconfiguration of the existing School/Pool parking area to meet the standards found in the Unified Development Ordinance (UDO), traffic calming, ADA compliance and the installation of sidewalks. The Stormwater BMPs will help alleviate standing water during all levels of storm and improve runoff water quality into the adjacent Heyward Cove. The streetlights, which will match those on May River Road in design, will be installed along the length of Pritchard Street between Bruin Road and Bridge Street, but be spaced further apart as this is a smaller, non-DOT roadway. The parking lot redesign will correct grading issues, install BMPs underground and in the landscaped islands. The parking lot design will meet UDO requirements for plantings, landscape islands, and parking space size. Sidewalks will be installed for better pedestrian connectivity the full length of the project.

The improvements to Pritchard Street will be similar in scope to those which have been made on Bridge Street in the previous months.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission may provide comments for consideration by the UDO Administration regarding this application.

**REVIEW CRITERIA & ANALYSIS:** As established in section 3.18.2 of the UDO, Town Staff and the Preservation Commission are required to consider the criteria set forth in Section 3.18 of the UDO in assessing an application for a Public Project located in the Old Town Bluffton Historic District. The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
  - a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The work proposed as part of this request is in conformance with those standards.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
  - a. *Finding.* Town Staff finds proposed work will be in conformance with the other applicable provisions provided in Article 5.
3. Section 3.18.3.D. The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.
 

*Finding.* Town Staff finds that nature and character of the work is consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the proposed work is appropriate for the location and the work is sensitive to the neighboring properties.
4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.
 

*Finding.* No features are proposed for removal, therefore, this criterion is not applicable and the renovation of the site, as proposed, will have no adverse effect on the public interest.
5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

*Finding.* The application has been reviewed by Town Staff and has been determined to be complete.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds the application meets the requirements of Section 3.18.3 of the UDO and recommends that the HPC recommend approval of the application to the UDO Administrator.

**ATTACHMENTS:**

1. Application and Narrative
2. Plans
3. Light Detail



# ATTACHMENT 1

Section VIII. Item #1.



## TOWN OF BLUFFTON PUBLIC PROJECT APPLICATION

Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4500  
[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Town of Bluffton		Name: Town of Bluffton	
Phone: 843-540-3925		Phone: 843-706-4521	
Mailing Address: 1261 May River Road PO Box 386, Bluffton, SC 29910		Mailing Address: 1261 May River Road PO Box 386, Bluffton, SC 29910	
E-mail: drybak@townofbluffton.com		E-mail: prooney@townofbluffton.com	
Town Business License # (if applicable):			
Project Information			
Project Name: Pritchard Street Streetscape		<input checked="" type="checkbox"/> New	<input type="checkbox"/> Amendment
Project Location: Town of Bluffton		Acreage: 8.0	
Zoning District: Neighborhood General			
Tax Map Number(s): Pritchard Street Right of Way & R610 039 000 0057 0000			
Project Description: New water quality and quantity management structures in the Pritchard Street right of way and the adjacent parking lot. The proposed BMPs are expected to reduce stormwater runoff for 2,10, 25, 50, & 100YR Beaufort County SCS Type III design storms as well as provide water quality treatment for the 1.95-inch design storm.			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Digital files of the Public Project Plans. <input type="checkbox"/> 2. Recorded deed and plat showing proof of property ownership. <input type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Don Rybal For Pat Rooney</i>		Date: 3/4/24	
Applicant Signature: <i>Don Rybal</i>		Date: 3/4/24	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# ATTACHMENT 1

## TOWN OF BLUFFTON

### PUBLIC PROJECT APPLICATION

### PROCESS NARRATIVE

Section VIII. Item #1.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's Unified Development Ordinance. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Application Submittal</b>	<b>Applicant</b>
The Applicant shall submit the Public Project Application and required submittal materials.	
<b>Step 2. Review by UDO Administrator or designee &amp; Development Review Committee</b>	<b>Staff &amp; DRC</b>
If the UDO Administrator or designee determines that the Public Project Permit Application is complete, it shall be forwarded to the Development Review Committee (DRC). The DRC shall review the application and prepare written comments for review with the Applicant.	
<b>Step 3. Development Review Committee Meeting</b>	<b>Applicant &amp; Staff</b>
A public meeting shall be held with the Applicant to review the DRC Staff Report and discuss the application. The Applicant will be directed to address any comments, if any, and resubmit the application materials.	
<b>Step 4. Historic Preservation Commission (if applicable)</b>	<b>Applicant, Staff &amp; HPC</b>
If the project is located within the Old Town Bluffton Historic District, a public meeting shall be held with the Applicant where the Historic Preservation Commission (HPC) shall review the Public Project materials for compliance with the criteria and provisions in the UDO. The HPC shall provide comment only as a recommendation to the UDO Administrator or designee for final approval.	
<b>Step 4. Public Project Approval</b>	<b>Staff</b>
If applicable, upon resubmittal, the application materials will be reviewed for compliance with the DRC Staff Report and if all comments are addressed, the UDO Administrator or designee shall approve the Public Project.	



# ATTACHMENT 1

Section VIII. Item #1.



**CRANSTON**  
ENGINEERING

ENGINEERS - PLANNERS - SURVEYORS

14 Westbury Park Way, Suite 202  
Bluffton, SC 29910  
843.815.3191  
CranstonEngineering.com

Pritchard Street, Bluffton, SC 29910

TMS#: Right Of Way

## **Project Narrative**

The proposed Pritchard Street Streetscape project encompasses drainage and streetscape improvements to Pritchard Street that will see BMPS address water quantity and quality for the site, which disturbs approximately 4.7 acres. Runoff will flow approximately 40 LF to Heyward Cove through existing pipes and outfall. Runoff quantity will be reduced and quality improved in all design storms. A sidewalk is intended to be installed along portions of the roads, and portions of existing impervious areas are being replaced with BMPs, which may result in a net reduction of impervious area.



ATTACHMENT 2  
PERMIT PLANS FOR

PRITCHARD STREET  
STREETSCAPE

PREPARED FOR  
TOWN OF BLUFFTON

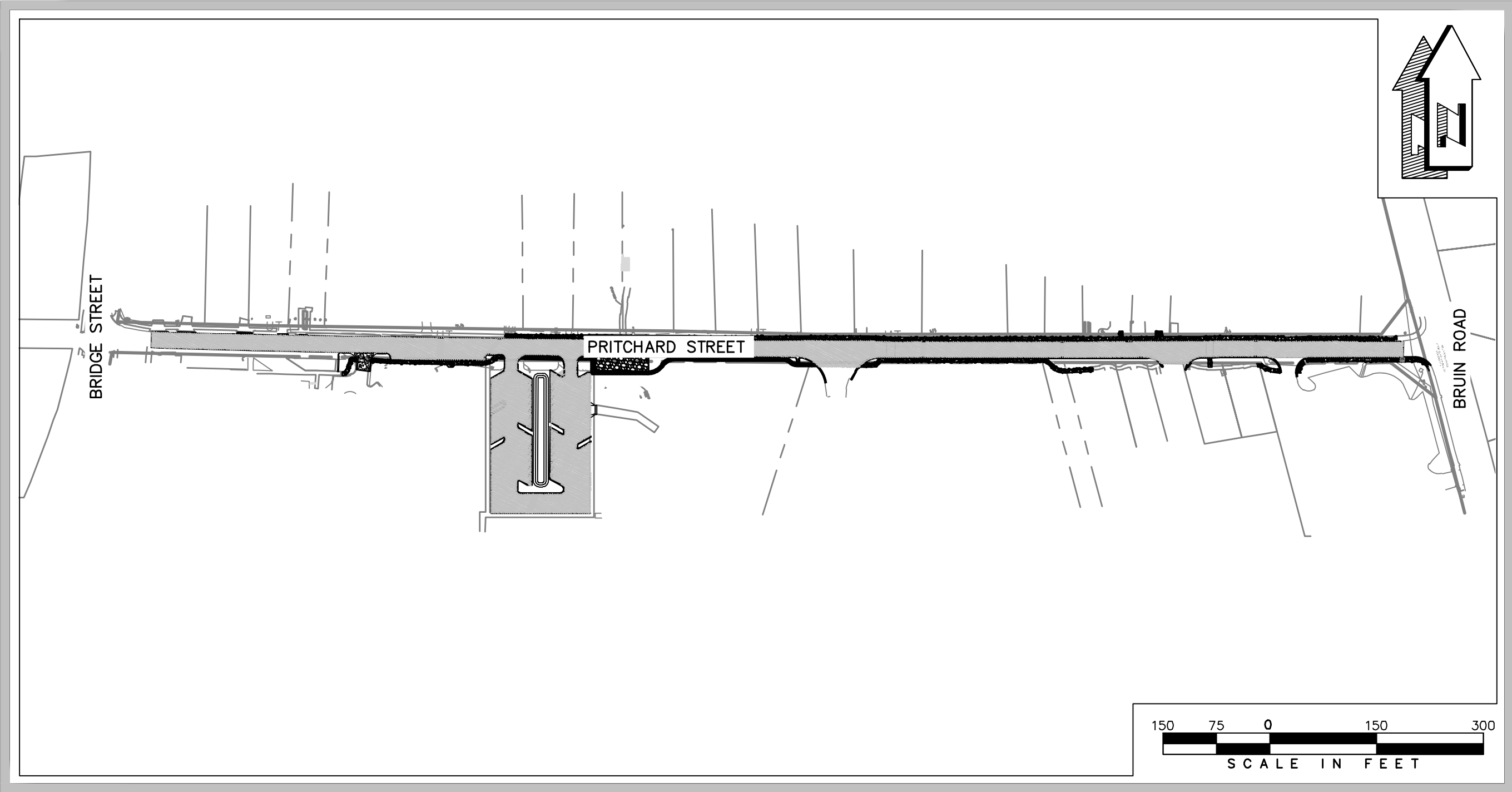
20 BRIDGE STREET  
BLUFFTON, SC 29910



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.



PROJECT DATA:

1. OWNER/DEVELOPER:  
TOWN OF BLUFFTON  
1261 MAY RIVER ROAD  
BLUFFTON, SC 29910  
PHONE: 843-706-4500  
24 HOUR CONTACT:  
NAME: DAN RYBAK  
PHONE: 843-540-3925

2. TAX MAP & PARCEL NUMBERS:  
PRITCHARD STREET R/W, R610 039 000 0057 0000

3. PROVIDED PARKING  
PARKING PROVIDED: 54  
HANDICAP PARKING PROVIDED: 3

4. DRAINAGE AREA THIS PROJECT: 8.00 ACRES

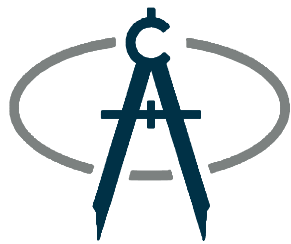
5. IMPERVIOUS AREA:  
EXISTING: 2.20 ACRES  
PROPOSED: 5.80 ACRES

6. PERVIOUS AREA:  
EXISTING: 2.00 ACRES  
PROPOSED: 6.00 ACRES

7. RECEIVING STREAM: TRIBUTARY TO MAY RIVER

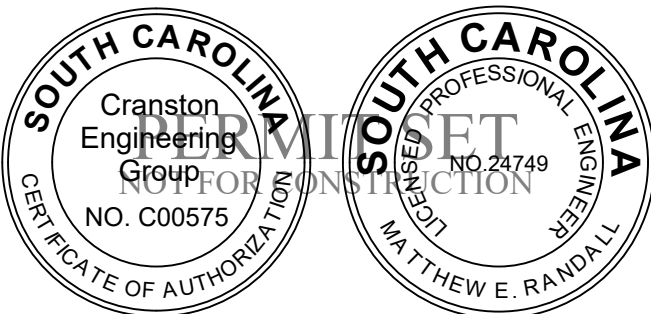
8. ULTIMATE STREAM: MAY RIVER

PREPARED BY



CRANSTON

2/28/2024



SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES AND LEGEND
C2.0	EXISTING CONDITIONS
C2.1	EXISTING CONDITIONS
C2.2	EXISTING CONDITIONS
C2.3	EXISTING CONDITIONS
C2.4	EXISTING CONDITIONS
C2.5	EXISTING CONDITIONS
C3.0	DEMOLITION & SWPP PLAN
C3.1	DEMOLITION & SWPP PLAN
C3.2	DEMOLITION & SWPP PLAN
C3.3	DEMOLITION & SWPP PLAN
C3.4	DEMOLITION & SWPPP DETAILS
C3.5	DEMOLITION & SWPPP DETAILS
C4.0	PLAN & PROFILES
C4.1	PLAN & PROFILES
C4.2	PLAN & PROFILES
C4.3	PLAN & PROFILES
C4.4	PLAN (PARKING LOT)
C4.5	SITE DETAILS
C4.6	SITE DETAILS
C5.0	EXISTING DRAINAGE BASINS
C5.1	PROPOSED DRAINAGE BASINS
C6.0	GRADING & DRAINAGE PLAN
C6.1	GRADING & DRAINAGE PLAN
C6.2	GRADING & DRAINAGE PLAN
C6.3	GRADING & DRAINAGE PLAN
C6.4	DRAINAGE PROFILES
C6.5	DRAINAGE PROFILES
C6.6	DRAINAGE DETAILS
C6.7	DRAINAGE DETAILS





G:\PROJECTS\2021\2021-0735-PRITCHARD STREET DRAINAGE IMPROVEMENTS\AC-DRAWINGS\CVL\2021-0735-PRITCHARD STREET DRAINAGE IMPROVEMENTS FRONT.DWG 2/28/2024 4:29 PM

LEGEND

	MAJOR CONTOUR (EXISTING)		PROPOSED REDUCER
	MINOR CONTOUR (EXISTING)		EXISTING POST INDICATOR
	MAJOR CONTOUR (PROPOSED)		PROPOSED POST INDICATOR
	MINOR CONTOUR (PROPOSED)		EXISTING SANITARY TAP
	EXISTING BOUNDARY		EXISTING SANITARY CLEAN OUT
	EXISTING ADJOINER		EXISTING WATER VALVE
	PERMANENT EASEMENT		PROPOSED WATER GATE VALVE
	TEMPORARY EASEMENT		PROPOSED SANITARY GATE VALVE
	25' BUFFER		PROPOSED SANITARY VALVE
	ENVIRONMENTALLY SENSITIVE AREA		EXISTING GAS METER
	EDGE OF WATER		PROPOSED GAS METER
	TREE LINE		EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITY (UNSPECIFIED)		PROPOSED GAS VALVE
	EXISTING UNDERGROUND POWER		BORING
	PROPOSED UNDERGROUND POWER		BENCHMARK
	EXISTING OVERHEAD POWER		AIR CONDITIONER
	PROPOSED OVERHEAD POWER		BACKFLOW PREVENTER
	EXISTING UNDERGROUND TELEPHONE		BOLLARD
	PROPOSED UNDERGROUND TELEPHONE		CONCRETE DUMPSTER PAD
	EXISTING OVERHEAD TELEPHONE		CLEAN OUT
	PROPOSED OVERHEAD TELEPHONE		CONCRETE PAD
	EXISTING UNDERGROUND CABLE		CORRUGATED METAL PIPE
	PROPOSED UNDERGROUND CABLE		CORRUGATED PLASTIC PIPE
	EXISTING FIBEROPTIC		CHILLED WATER
	PROPOSED FIBEROPTIC		DROP INLET
	EXISTING GAS		DUCTILE IRON PIPE
	PROPOSED GAS		DOUBLE WING TRAP
	EXISTING WATER		ELECTRICAL BOX
	PROPOSED WATER		ELECTRICAL FEED
	EXISTING SANITARY SEWER		ELECTRICAL OUTLET
	PROPOSED SANITARY SEWER		FOUNTAIN
	FENCE: EXISTING		FIBEROPTIC BOX
	FENCE: PROPOSED		FIBEROPTIC MONUMENT
	FENCE: EXISTING CHAINLINK		FIBEROPTIC PULLBOX
	FENCE: PROPOSED CHAINLINK		FIRE HYDRANT
	FENCE: EXISTING STONE		FLAG POLE
	FENCE: PROPOSED STONE		GAS METER
	FENCE: EXISTING WIRE		GUY POLE
	FENCE: PROPOSED WIRE		GUY WIRE
	EXISTING GUARDRAIL		GRATE TRAP
	PROPOSED GUARDRAIL		GAS VALVE
	ORANGE BARRIER FENCE		GAS VENT PIPE
	SILT FENCE		HOOD BACK TRAP
	EXISTING BUILDING		IRRIGATION CONTROL VALVE
	PROPOSED BUILDING		INVERT ELEVATION
	EXISTING CONCRETE/PAVING		LIGHT POLE
	PROPOSED CONCRETE AND/OR PAVING		MAIL BOX
	EXISTING ASPHALT PAVING		MONITORING WELL
	PROPOSED ASPHALT PAVING		OPEN TOP FOUND
	EXISTING GRAVEL PAVING OR RIP-RAP		POWER METER
	PROPOSED GRAVEL PAVING OR RIP-RAP		POWER OUTLET
	EXISTING BRICK PAVING		POWER POLE
	PROPOSED BRICK PAVING		POLYVINYLCHLORIDE PIPE
	EXISTING UTILITY POLE		REINFORCED CONCRETE PIPE
	PROPOSED UTILITY POLE		REDUCED PRESSURE ZONE BACKFLOW PREVETER
	EXISTING STRAIN POLE		SANITARY SEWER
	PROPOSED STRAIN POLE		STORM DRAIN
	EXISTING GUY WIRE		SPRINKLER HEAD
	PROPOSED GUY WIRE		STORM BOX
	EXISTING ELECTRIC LIGHT		SINGLE WING TRAP
	EXISTING LIGHT POLE		TRUNCATED DOME
	PROPOSED LIGHT POLE		TELEPHONE PEDESTAL
	EXISTING MANHOLE		TELEPHONE PULLBOX
	PROPOSED MANHOLE		TRAFFIC SIGNAL BOX
	EXISTING FIRE HYDRANT		TRAFFIC SIGNAL CABINET
	PROPOSED FIRE HYDRANT		TRAFFIC SIGNAL POLE
	EXISTING IRRIGATION VALVE		WATER METER
	PROPOSED IRRIGATION VALVE		WATER VALVE
	EXISTING WATER METER		WATER VALVE BOX
	PROPOSED WATER METER		WATER VAULT

ATTACHMENTS

GENERAL NOTES:

1. PLANS CONTAINED HEREIN ARE FOR IMPROVEMENTS APPROVED BY TOWN OF BLUFFTON AND SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT). ANY VARIATION FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE OWNER AND/OR ENGINEER.
2. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR SCDOT, TOWN OF BLUFFTON SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
5. THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SCDOT STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
6. NO WORK SHALL COMMENCE WITHIN SCDOT'S RIGHT-OF-WAY UNTIL AN APPROVED SCDOT ENCROACHMENT PERMIT HAS BEEN RECEIVED.
7. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED.
8. THE OWNER MUST UTILIZE A SCDOT PRE-QUALIFIED CONTRACTOR FOR ALL WORK COMPLETED IN THE SCDOT RIGHT-OF-WAY.
9. THE OWNER SHALL PROVIDE AN ON-SITE INSPECTOR THAT IS CERTIFIED IN ALL DISCIPLINES OF ROAD CONSTRUCTION - EARTHWORK, DRAINAGE, ASPHALT, AND CONCRETE. OWNER SHALL PROVIDE 3RD PARTY INSPECTOR'S CREDENTIALS PRIOR TO ANY WORK BEGINNING IN THE SCDOT RIGHT-OF-WAY.
10. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PROTECTION FOR PEDESTRIANS THROUGHOUT PROJECT.
11. CONTRACTOR TO REFER TO CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS.

GENERAL EXISTING CONDITIONS & SURVEY NOTES:

1. DATE OF SURVEY - 05/28/2023 BY ATLAS SURVEYING, INC.
2. PRIOR TO WORK, CONTRACTOR SHALL PERFORM SURVEY TO CONFIRM PLAN ELEVATIONS AND DISCUSS/RESOLVE DISCREPANCIES WITH TOWN PROJECT MANAGER.
3. THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS, OR INDICATED IN ANY WAY THEREBY, WHETHER BY DRAWINGS OR NOTES OR ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY AND ARE NOT GUARANTEED.
4. ACCORDING TO THE FEMA FIRM PANEL NO. 45013C0426G, DATED 03/23/2021, THIS PROJECT LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) WHICH DESCRIBES AN AREA OF MINIMAL FLOODING.
5. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT PREVIOUSLY UNKNOWN HISTORICAL OR ARCHEOLOGICAL SITES ARE DISCOVERED DURING CONSTRUCTION. NO ADDITIONAL WORK IN SUCH AREAS WILL BE ALLOWED UNTIL AUTHORIZED IN WRITING.
6. DISTURBANCES TO ANY SURVEY MARKERS OR MONUMENTS REQUIRES RE-ESTABLISHMENT BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

GENERAL EROSION CONTROL NOTES:

1. ALL SILT BARRIERS MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
2. ALL DRAINAGE EASEMENTS & DISTURBED AREAS MUST BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.

GENERAL UTILITIES NOTES:

1. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
4. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION.
5. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
6. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF HIS WORK.
8. CONTRACTOR SHALL TEST PIT AND DETERMINE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK IN AREA AND INFORM ENGINEER OF ANY CONFLICTS WITH PROPOSED WORK.
9. CONTRACTOR TO COORDINATE CAMERA RELOCATION WITH UTILITY PROVIDER.
10. EXCAVATE AND VERIFY DEPTHS OF SEWER HOUSE CONNECTION LINES AND ADVISE OF ANY CONFLICTS WITH PROPOSED WORK ELEMENTS 2 WEEKS PRIOR TO WORK START IN AREA.

GENERAL TRAFFIC CONTROL NOTES:

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN FOR APPROVAL AND THE INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE, SIGNALS, AND/OR DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR INITIAL INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE REQUIRED FOR CONSTRUCTION.
3. ROAD CLOSURES AND DETOURS, SHOULD THEY BE NEEDED, SHALL BE COORDINATED AND APPROVED WITH THE OWNER A MINIMUM OF TWO (2) CALENDAR WEEKS PRIOR TO PLANNED CLOSURE AND/OR DETOUR.
4. CERTIFIED FLAGGERS AND/OR ARROW BOARDS WILL BE REQUIRED TO MAINTAIN TRAFFIC CONTROL WHILE WORKING WITHIN THE LIMITS OF PUBLIC OR PRIVATE ROADWAYS.
5. CONTRACTOR SHALL MAINTAIN ONE (1) LANE OF TRAVEL OPEN AT ALL TIMES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST ADDITION.
6. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO MUTCD GUIDELINES AND SCDOT STANDARD SPECIFICATIONS AND DRAWINGS.

GENERAL CONSTRUCTION NOTES:

1. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE DESIGNATED CONSTRUCTION EASEMENT, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
2. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE.
3. CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
4. ANY DAMAGE TO THE SIDE STREETS DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE.
5. NO FILTER FABRIC SHALL BE INSTALLED ON THE BOTTOM OF INFILTRATION TRENCHES.
6. ALL AGGREGATES ASSOCIATED WITH THE INFILTRATION BMP'S AND PERVIOUS PAVR INSTALLATIONS SHALL BE WASHED STONE, CLEAN AND FREE OF FINE SEDIMENTS.
7. CONTRACTOR SHALL ENSURE SEDIMENT AND EROSION CONTROL MEASURES ARE IN PLACE AND UTILIZED DURING CONSTRUCTION AND IMMEDIATELY THEREAFTER TO PREVENT SEDIMENT CONTAMINATION OF BMP INFILTRATION AREA.
8. INLETS - ALL EXCAVATIONS FOR INSTALLATION OF INLETS ARE TO BE BACKFILLED WITH NO. 57 STONE TO ROAD BASE SUBGRADE ELEVATIONS. 1' OF EXCAVATION/STONE IS ASSUMED AROUND ALL INLET SIDES AND 1' BELOW BOTTOM OF INLET STRUCTURES.
9. BMP'S - ALL EXCAVATIONS FOR INSTALLATION OF BMP'S ARE TO BE BACKFILLED WITH THE AGGREGATE CALLED FOR TO ROAD BASE SUBGRADE ELEVATIONS.
10. FILL/BACKFILL IN OTHER AREAS TO MEET COMPACTION REQUIREMENTS.
11. EXISTING SIDEWALKS AND RAMPS TO BE REPLACED IF NOT CURRENTLY ADA COMPLIANT.

OWNER

TOWN OF BLUFFTON  
DAN RYBAK  
PO BOX 386, 20 BRIDGE STREET  
BLUFFTON, SC 29910  
(843) 706-4500

ENGINEER OF RECORD

MATTHEW RANDALL, PE  
CRANSTON, LLC  
(843) 352-7770

UTILITIES

POWER

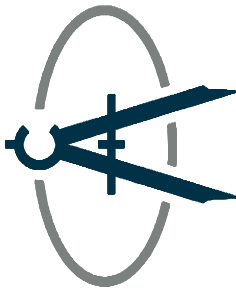
DOMINION ENERGY  
SERVICE CONTACT: 800-251-7234  
REPORT OUTAGE: 888-333-4465

WATER AND SEWER

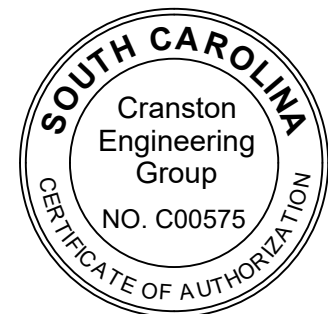
BEAUFORT-JASPER WATER AND SEWER AUTHORITY  
SERVICE CONTACT: 843-987-9200  
REPORT OUTAGE: 843-987-3200

COMMUNICATION

HARGRAY  
SERVICE CONTACT: 843-815-1600  
REPORT OUTAGE: 843-686-1138



CRANSTON



PERMIT SET  
NOT FOR CONSTRUCTION



2/28/2024

PRITCHARD STREET  
STREETSCAPE

GENERAL NOTES AND LEGEND

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	NO SCALE
JOB No.	2021-0735
DRAWING No.	





LEGEND	
CMF ■	CONC. MONUMENT FOUND
OTF ●	OPEN TOP PIPE
RBF ●	IRON REBAR FOUND
RBFD ●	IRON REBAR FOUND DISTURBED
ACU □	AIR CONDITIONING UNIT
CJB □	CABLE JUNCTION BOX
ESB □	ELECTRIC STUBOUT
FH □	FIRE HYDRANT
FOB □	FIBER OPTIC BOX
DI □	DRAINAGE INLET
GV □	GAS VALVE
GM □	GAS METER
GL □	GROUND LIGHT
GW ×	GUY WIRE
JB □	JUNCTION BOX
ICV □	IRRIGATION CONTROL VALVE
LP □	LIGHT POLE
MB □	MAIL BOX
PP □	POWER POLE
SDM □	STORM DRAIN MANHOLE
SE □	SPOT ELEVATION
S □	SIGN
SP □	SPIGOT
SSCO □	SANITARY SEWER CLEAN OUT
SLS □	SANITARY SEWER LATERAL OR STUBOUT
SM □	SANITARY SEWER MANHOLE
SV □	SANITARY SEWER VALVE
TJB □	TELEPHONE JUNCTION BOX
UFM □	UNDERGROUND FIBER OPTICS MARKER
WLS □	WATER LATERAL OR STUBOUT
WM □	WATER METER
WV □	WATER VALVE
WVM □	WATER VALVE MARKER
FFE □	FINISHED FLOOR ELEVATION
PD □	PIPE DIRECTION
PVC □	POLYVINYL CHLORIDE PIPE
RCP □	REINFORCED CONCRETE PIPE
BG □	BLACK GUM
BIR □	BIRCH
CH □	CHERRY
G □	SWEET GUM
HIC □	HICKORY
LA □	LAUREL OAK
LO □	LIVE OAK
MAG □	MAGNOLA
P □	PINE
PA □	PALMETTO
RO □	RED OAK
SB □	SUGAR BERRY
WHO □	WHITE OAK
WO □	WATER OAK
WXM □	WAX MYRTLE
BB —	BOTTOM OF BANK
CL —	CONTOUR LINE
FL —	FENCE LINE
FM —	FORCEMAIN
OL —	OVERHEAD POWER LINE
TB —	TOP OF BANK
UTV —	UNDERGROUND TV LINE
UD —	UNDERGROUND DRAINAGE LINE
UE —	UNDERGROUND ELECTRIC LINE
UFO —	UNDERGROUND FIBER OPTICS LINE
UG —	UNDERGROUND GAS LINE
SS —	UNDERGROUND SEWER LINE
UT —	UNDERGROUND TELEPHONE
W —	UNDERGROUND WATER LINE
CONC	CONCRETE
EDGE	EDGE OF PAVEMENT
GRAVEL	GRAVEL

ATTACHMENT 2

SHEET 1

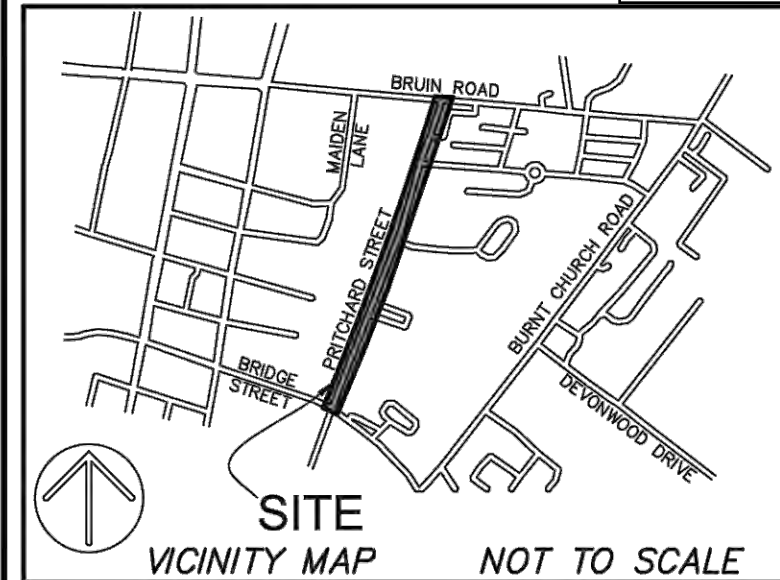
SHEET 2

SHEET 3

SHEET 4

SHEET 5

NORTH  
SC GRID (NAD 83)



- NOTES
1. FULL LEGEND FOUND ON COVER SHEET.
  2. THIS PARCEL APPEARS TO LIE IN DUAL FLOOD ZONES, X AND ZONE AE (ELEVATION 9'), COMMUNITY 450251, MAP NUMBER 45013C0426G.
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  7. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK.

PREPARED FOR:  
THE TOWN OF BLUFFTON

AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

PRITCHARD STREET

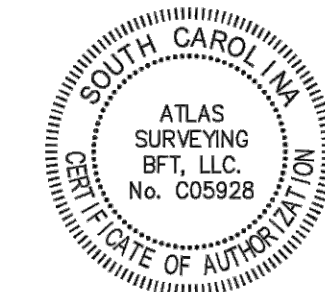
THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK:	J&G
FIELD CHECK:	JWR
DRAWN BY:	DTJ
DATE:	05-28-2023
SCALE:	1"=100'
PROJECT No.:	BFT-21456
FILE:	BFT-21456 12.DWG

COVER SHEET

**ATLAS**  
SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A.  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



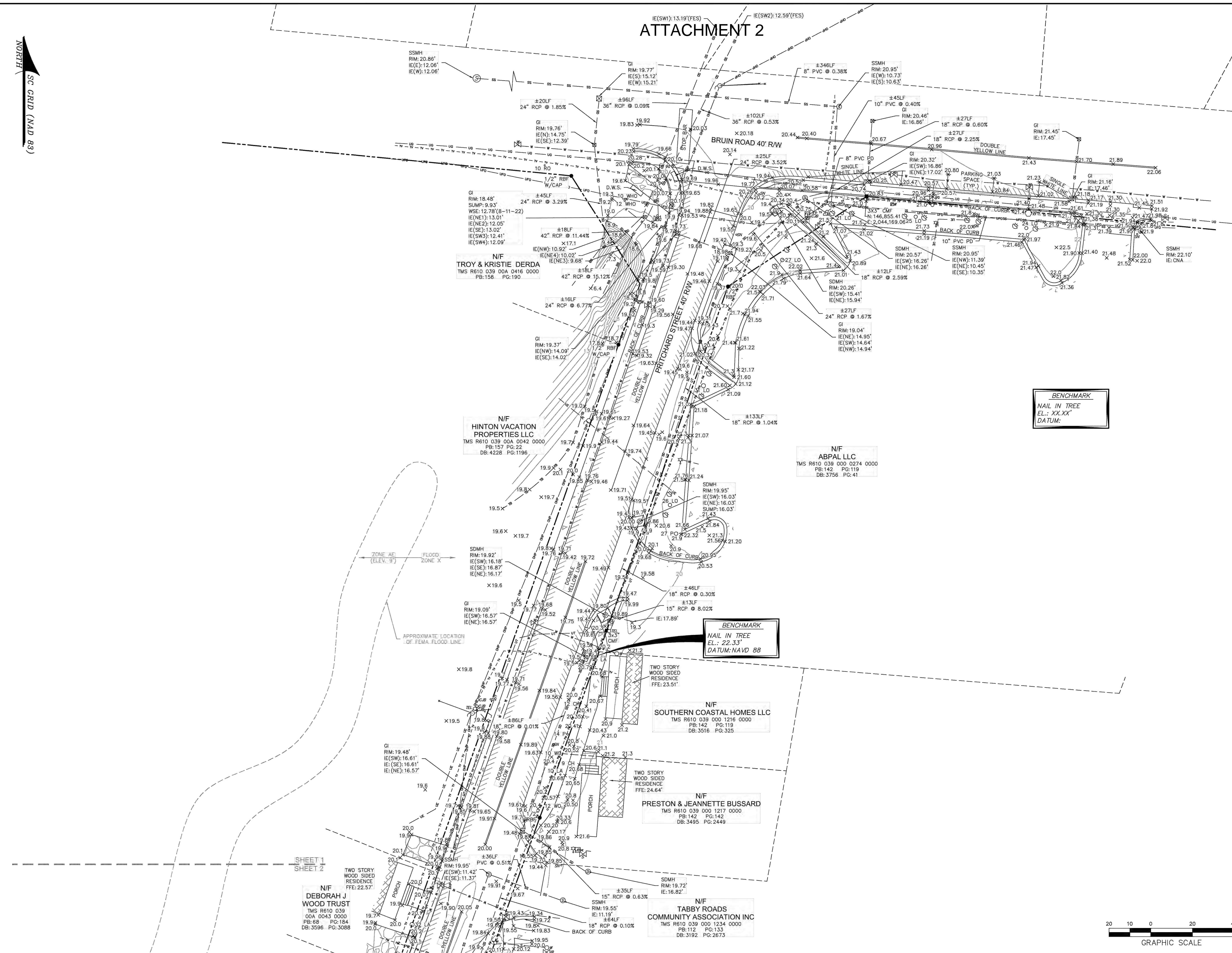
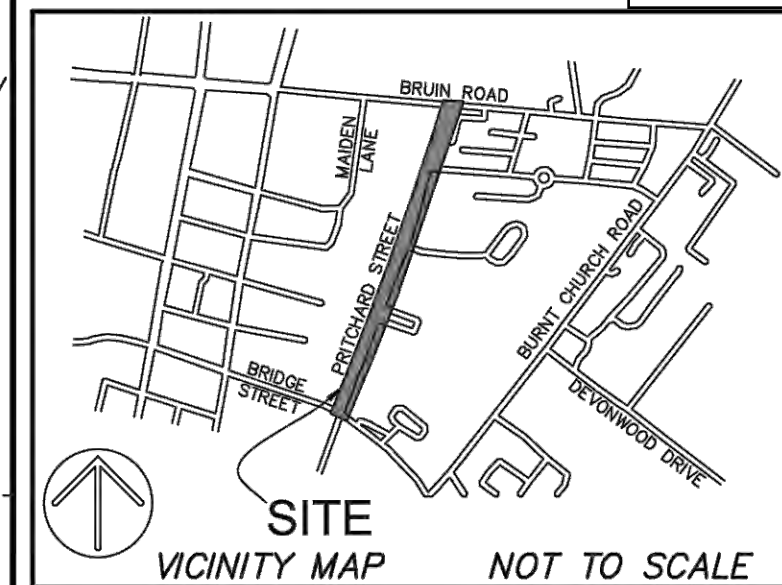
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JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS CRIMPED WITH SEAL





## ATTACHMENT 2

NORTH  
SC GRID (NAD 83)

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7. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK.

PREPARED FOR:  
THE TOWN OF BLUFFTON

AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

## PRITCHARD STREET

THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

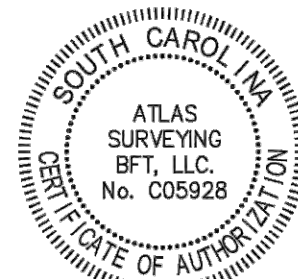
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FIELD CHECK:	JWR
DRAWN BY:	DTJ
DATE:	05-28-2023
SCALE:	1"=20'
PROJECT No.:	BFT-21456
FILE:	BFT-21456 12.DWG

SHEET 1 OF 5

# ATLAS

SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A.  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



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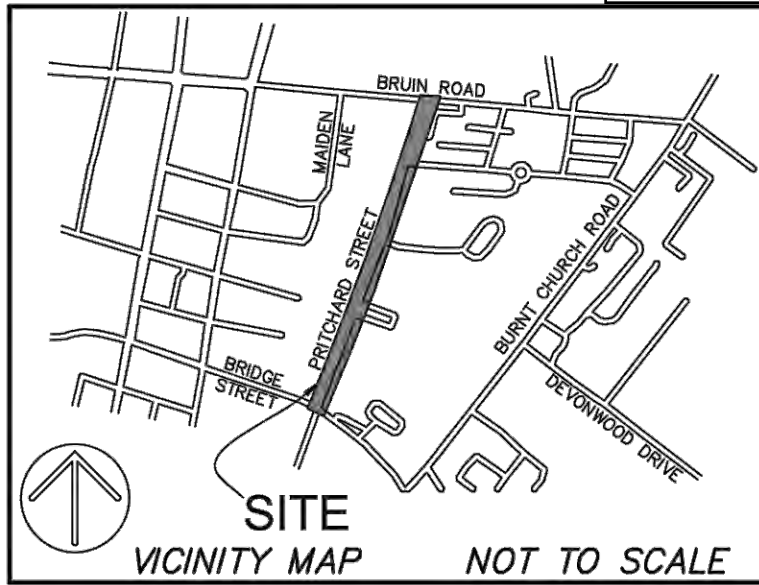
JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
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20 10 0 20 40  
GRAPHIC SCALE



NORTH  
SC GRID (NAD 83)

# ATTACHMENT 2



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PRITCHARD STREET

THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK:	JWR	A/G
FIELD CHECK:	JWR	
DRAWN BY:	DTJ	
DATE:	05-28-2023	
SCALE:	1"=20'	
PROJECT No.:	BFT-21456	
FILE:	BFT-21456 T2.DWG	

SHEET 2 OF 5

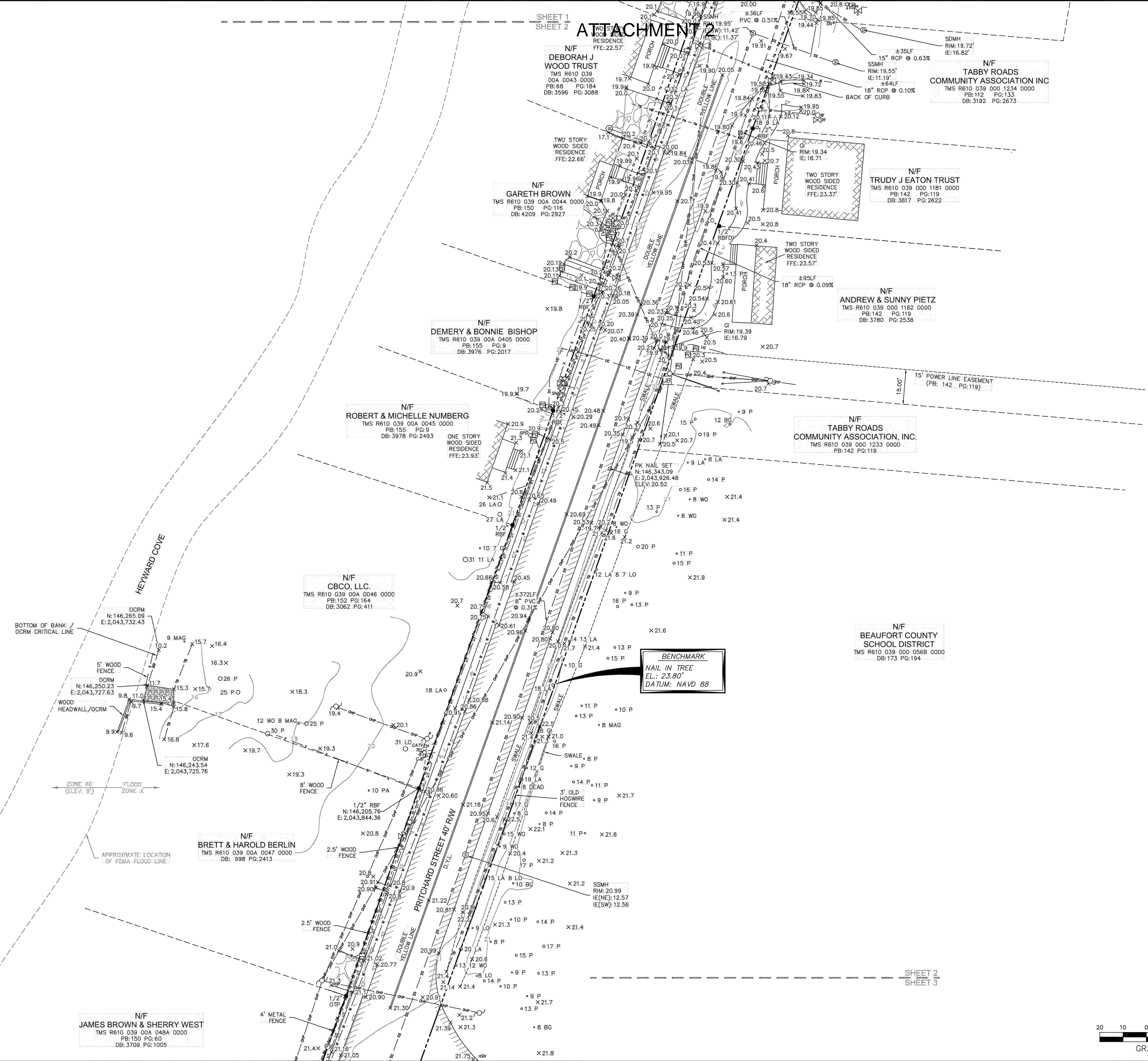
## ATLAS SURVEYING, INC.

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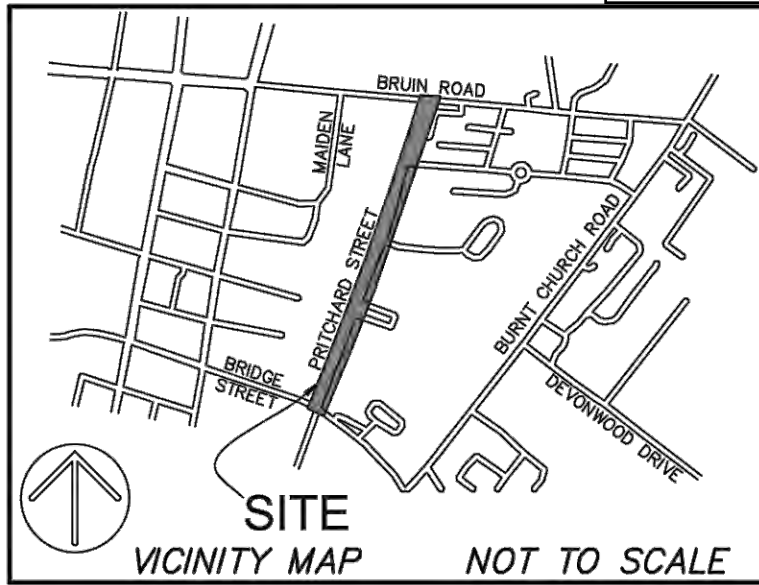
JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS CRIMPED WITH SEAL





# ATTACHMENT 2

SHEET 2  
SHEET 3



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AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF  
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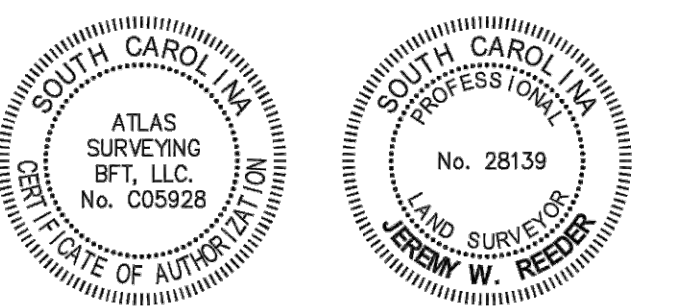
THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK:	JWR
FIELD CHECK:	JWR
DRAWN BY:	DTJ
DATE:	05-26-2023
SCALE:	1"=20'
PROJECT No.:	BFT-21456
FILE:	BFT-21456 12.DWG

SHEET 3 OF 5

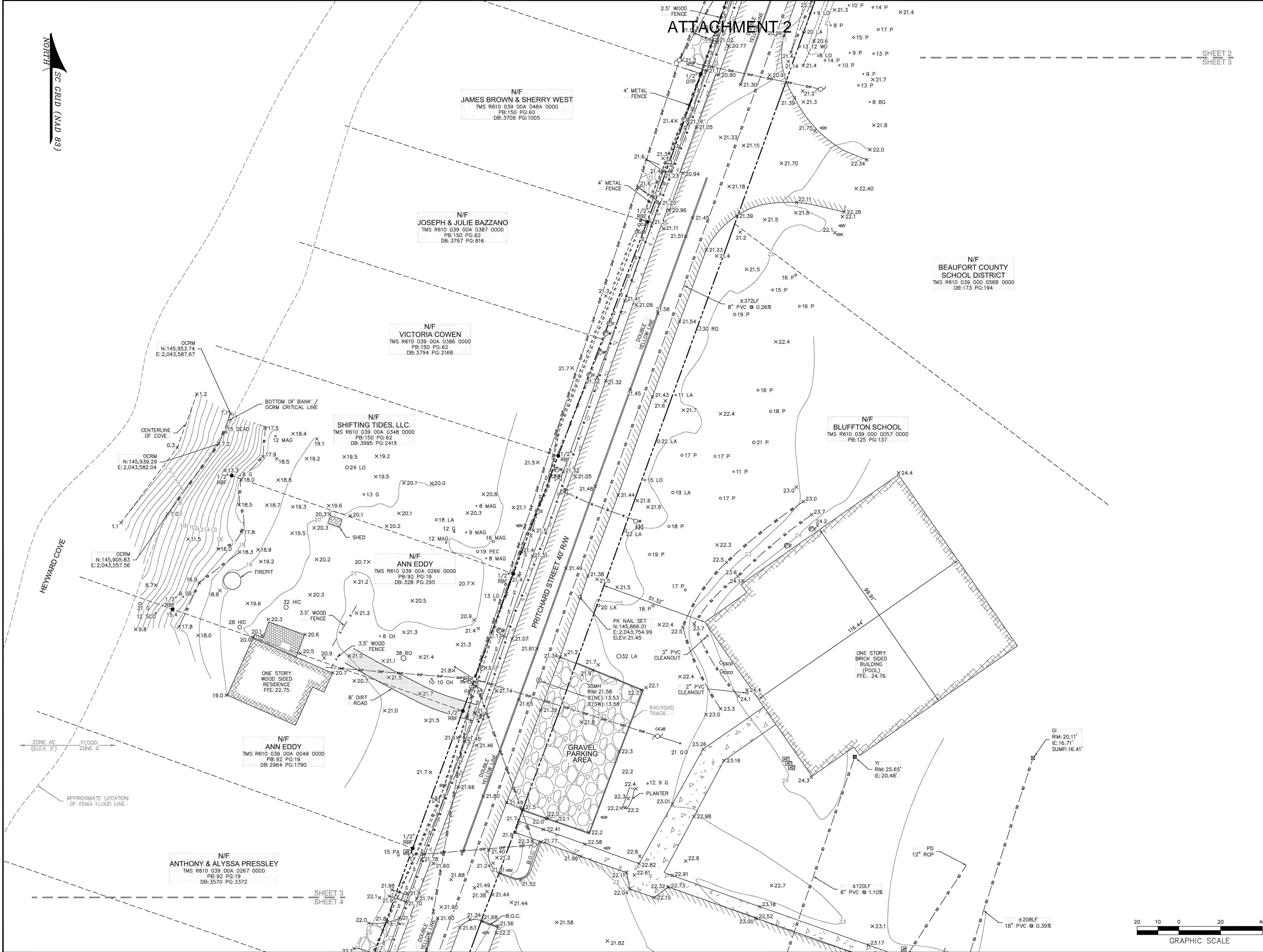
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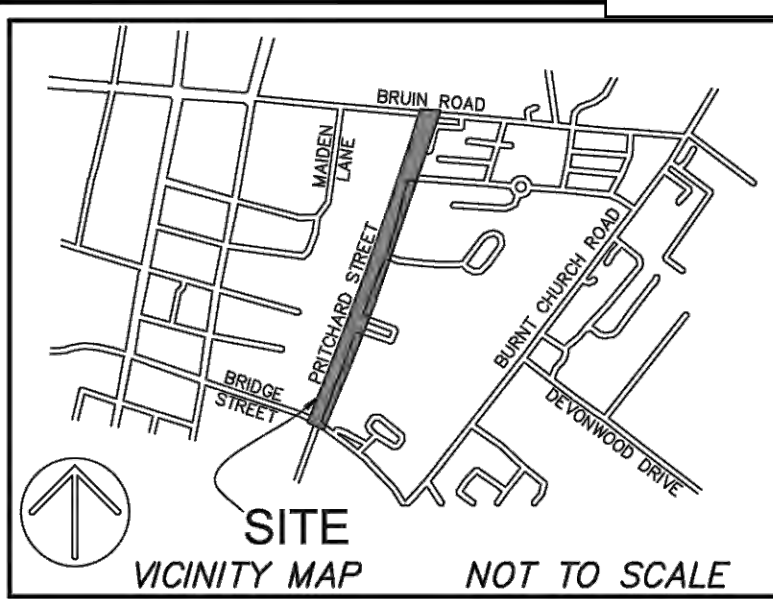
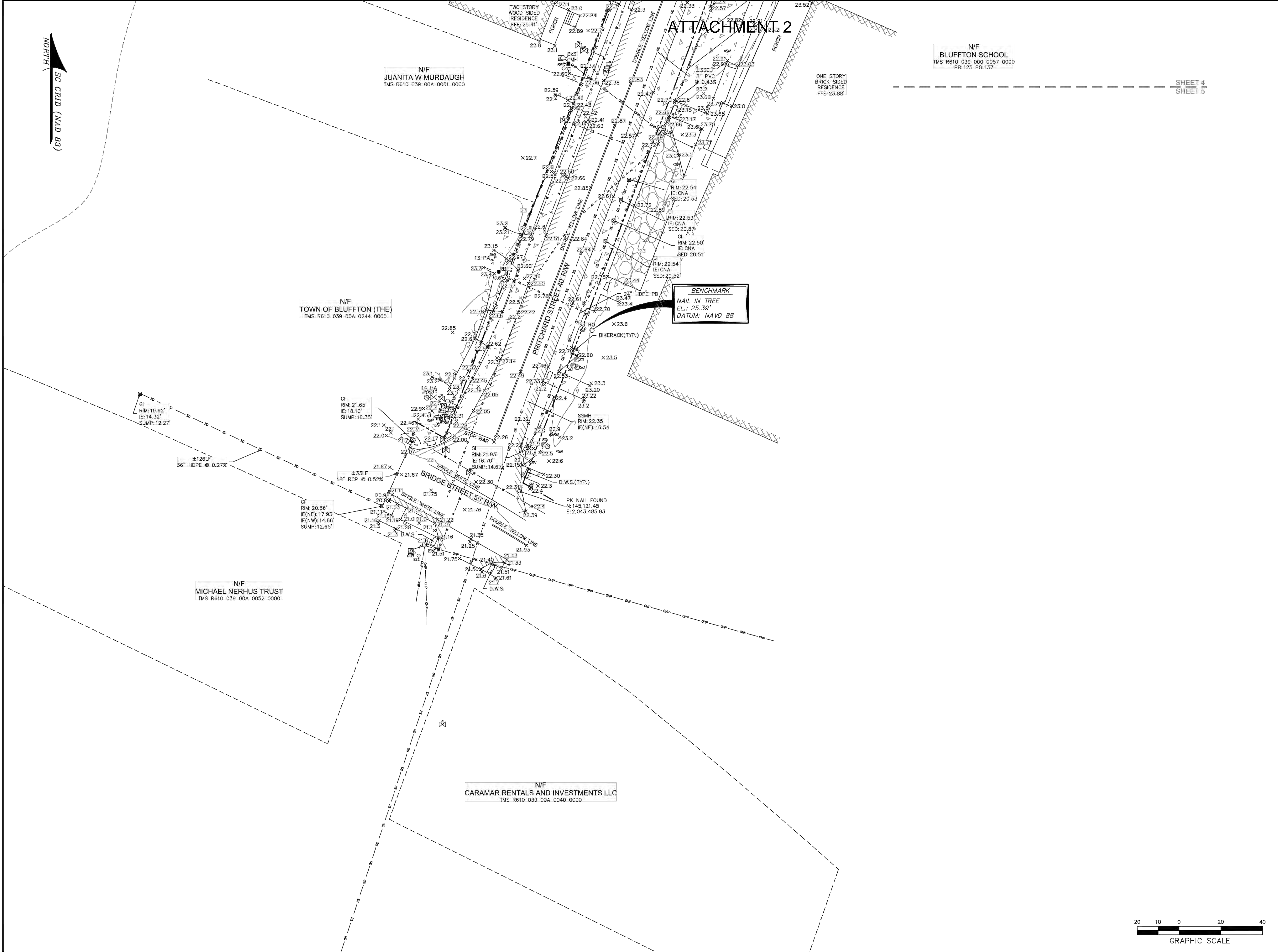


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THE TOWN OF BLUFFTON

AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF  
PRITCHARD STREET

THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK:	J&G
FIELD CHECK:	JWR
DRAWN BY:	DTJ
DATE:	05-28-2023
SCALE:	1"=20'
PROJECT No.:	BFT-21456
FILE:	BFT-21456 12.DWG

SHEET 5 OF 5

**ATLAS**  
SURVEYING, INC.

168 BOARDWALK DRIVE, SUITE A.  
RIDGELAND, SC 29936.  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

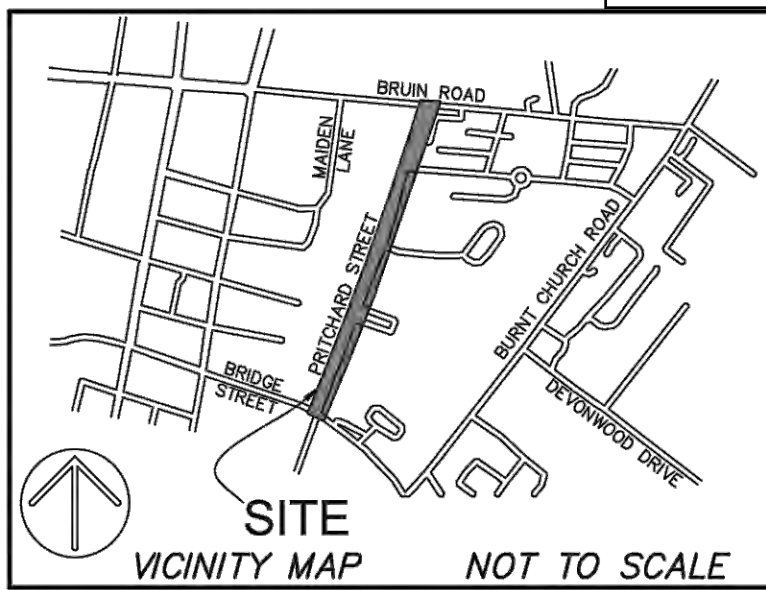
JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS CRIMPED WITH SEAL





## ATTACHMENT 2

NORTH  
SC GRID (NAD 83)



## NOTES

1. FULL LEGEND FOUND ON COVER SHEET.
2. THIS PARCEL APPEARS TO LIE IN DUAL FLOOD ZONES, X AND ZONE AE (ELEVATION 9'), COMMUNITY 450251, MAP NUMBER 45013C0426G.
3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
4. VERTICAL DATUM IS NAVD 88.
5. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
6. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACOUSTICAL EVIDENCE AS OF XX XX XXXX. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.
7. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK.

PREPARED FOR:  
THE TOWN OF BLUFFTON

AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF

PRITCHARD STREET

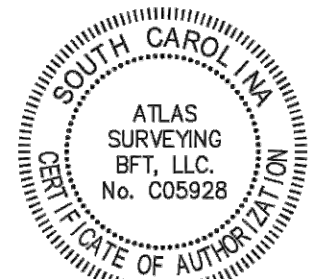
THE TOWN OF BLUFFTON  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: JWR  
FIELD CHECK: JWR  
DRAWN BY: DTJ  
DATE: 05-28-2023  
SCALE: 1"=20'  
PROJECT No.: BFT-21456  
FILE: BFT-21456 12.DWG

SHEET 4 OF 5

**ATLAS**  
SURVEYING, INC.

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RIDGELAND, SC 29936.  
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I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS CRIMPED WITH SEAL

20 10 0 20 40  
GRAPHIC SCALE

HEYWARD COVE

ZONE AE (ELEV. 9') FLOOD ZONE X

APPROXIMATE LOCATION OF FEMA FLOOD LINE

ZONE AE (ELEV. 9') FLOOD ZONE X

APPROXIMATE LOCATION OF FEMA FLOOD LINE

N/F  
GIEL BETH VARGAS  
TMS R610 039 004 0309 0000  
PB:122 PG:8  
DB:3477 PG:758

N/F  
ROSS HALL, JEAN KURT  
& LOISE ELLEN  
TMS R610 039 004 0241 0000  
PB:122 PG:8  
DB:2754 PG:2026

N/F  
JUANITA W MURDAUGH  
TMS R610 039 004 0051 0000

N/F  
ANTHONY & ALYSSA PRESSLEY  
TMS R610 039 004 0267 0000  
PB:92 PG:19  
DB:3570 PG:3372

N/F  
NONIE COLONNA PORCHER PICKNEY  
TMS R610 039 004 0050 0000  
DB:108 PG:81

N/F  
ANN EDDY  
TMS R610 039 004 0049 0000  
PB:92 PG:19  
DB:3964 PG:1790

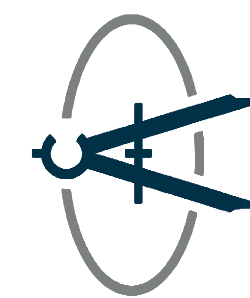
N/F  
BLUFFTON SCHOOL  
TMS R610 039 000 0057 0000  
PB:125 PG:137

BENCHMARK  
NAIL IN TREE  
EL: 24.03'  
DATUM: NAVD 88

SHEET 4  
SHEET 5



## ATTACHMENT 2



# CRANSTON



PERMIT SET  
NOT FOR CONSTRUCTION



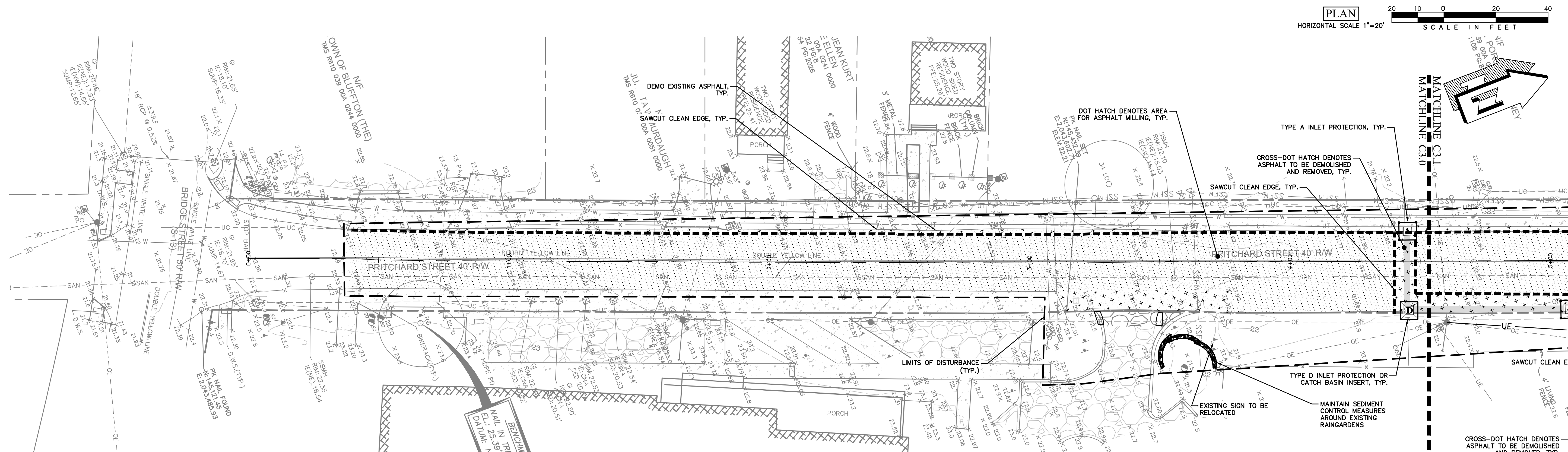
2/28/2024








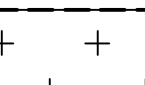






[illegible]PRITCHARD STREET  
STREETSCAPE


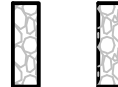







DEMOLITION &amp; SWPP PLAN

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C3.0



Department of Health and Environmental Control	MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS	
	EFFECTIVE DATE: AUGUST, 2005	
DESCRIPTION	SYMBOL	
LIMITS OF DISTURBANCE:		
SILT FENCE:		
TREE PROTECTION FENCE:		
FENCE REMOVAL:		
PIPE REMOVAL:		
SAWCUT LINE:		
SIDEWALK REMOVAL:		
FULL DEPTH REMOVAL:		
AREA OF MILL:		
AREA OF MILL:		
CONCRETE WASHOUT:		
DUST CONTROL:		
PERMANENT SEEDING:		
TEMPORARY SEEDING:		

Department of Health and Environmental Control	MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS	
	EFFECTIVE DATE: AUGUST, 2005	
DESCRIPTION	SYMBOL	
SEDIMENT TUBE:		
ROCK DITCH CHECK:		
ROCK SEDIMENT DIKE:		
INLET PROTECTION TYPE A:	 	
INLET PROTECTION TYPE D:		
INLET PROTECTION TYPE E:		
INLET PROTECTION TYPE F:		
CONSTRUCTION ENTRANCE:		







PERMIT SET  
NOT FOR CONSTRUCTION



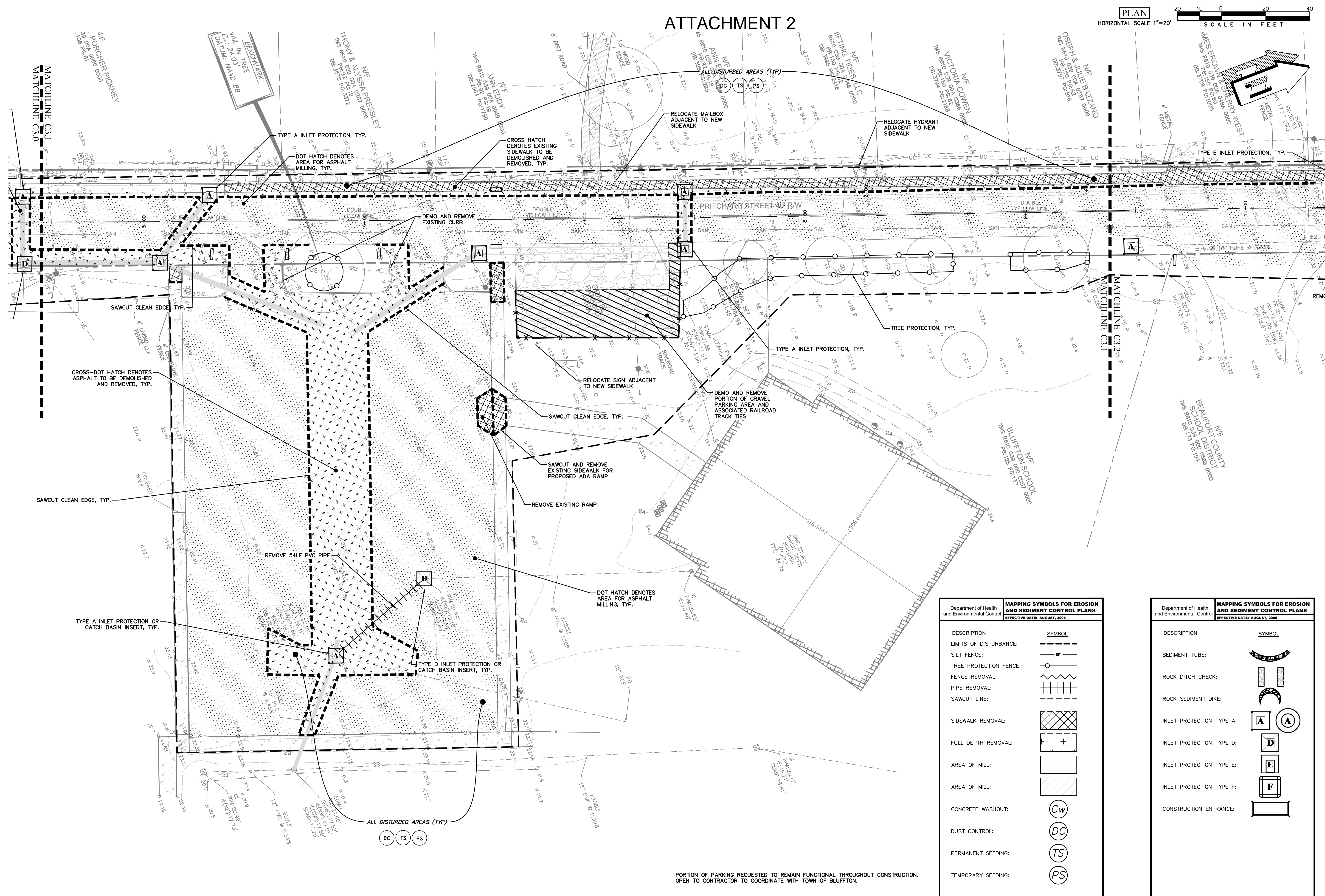
2/28/2024

[illegible]PRITCHARD STREET  
STREETSCAPE

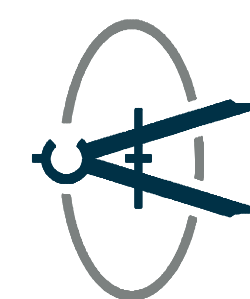
DEMOLITION &amp; SWPP PLAN

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C3.1







# CRANSTON



PERMIT SET  
NOT FOR CONSTRUCTION



2/28/2024

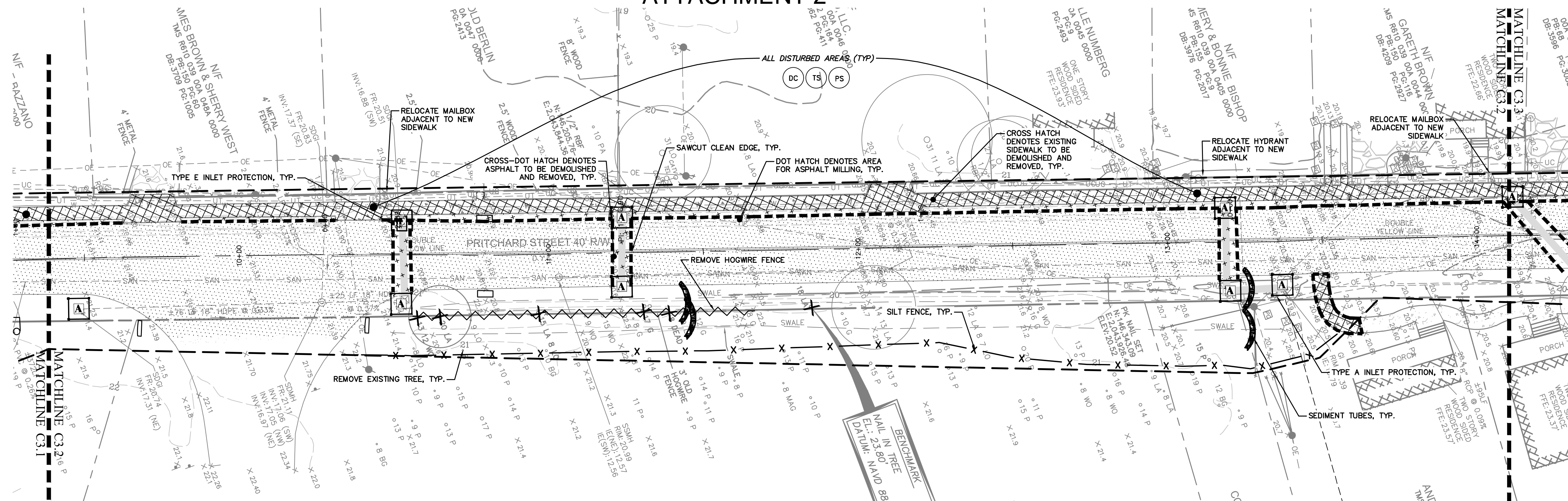
[illegible]PRITCHARD STREET  
STREETSCAPE

DEMOLITION &amp; SWPP PLAN

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CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C3.2


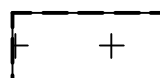
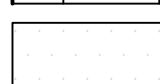





## ATTACHMENT 2












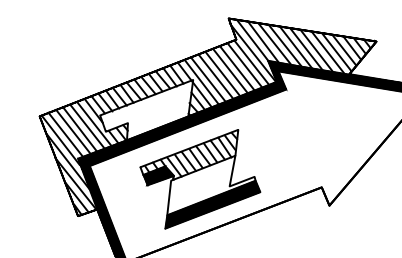
Department of Health  
and Environmental Control

**MAPPING SYMBOLS FOR EROSION  
AND SEDIMENT CONTROL PLANS**

EFFECTIVE DATE: AUGUST, 2005

DESCRIPTION	SYMBOL
LIMITS OF DISTURBANCE:	_____
SILT FENCE:	_____ <b>W</b> _____
TREE PROTECTION FENCE:	○
FENCE REMOVAL:	~~~~~
PIPE REMOVAL:	+++++
SAWCUT LINE:	_____
SIDEWALK REMOVAL:	
FULL DEPTH REMOVAL:	
AREA OF MILL:	
AREA OF MILL:	
CONCRETE WASHOUT:	
DUST CONTROL:	
PERMANENT SEEDING:	
TEMPORARY SEEDING:	

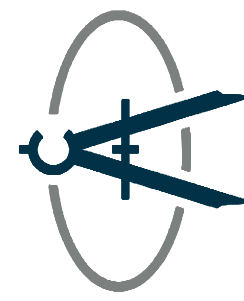
Department of Health and Environmental Control	MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS	
	EFFECTIVE DATE: AUGUST, 2005	
<u>DESCRIPTION</u>	<u>SYMBOL</u>	
SEDIMENT TUBE:		
ROCK DITCH CHECK:		
ROCK SEDIMENT DIKE:		
INLET PROTECTION TYPE A:	 	
INLET PROTECTION TYPE D:		
INLET PROTECTION TYPE E:		
INLET PROTECTION TYPE F:		
CONSTRUCTION ENTRANCE:		



PLAN  
HORIZONTAL SCALE 1"=20'







PERMIT SET  
NOT FOR CONSTRUCTION



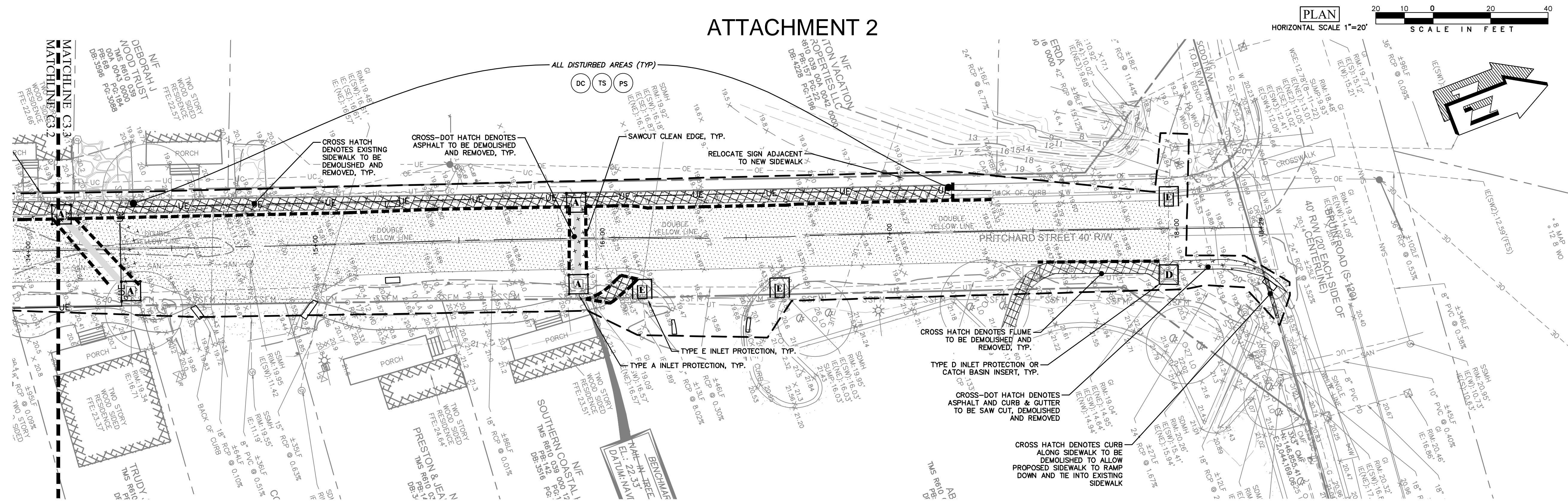
2/28/2024















[illegible]PRITCHARD STREET  
STREETSCAPE










DEMOLITION &amp; SWPP PLAN

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C3.3



Department of Health and Environmental Control	<b>MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS</b> EFFECTIVE DATE: AUGUST, 2005
<u>DESCRIPTION</u>	<u>SYMBOL</u>
LIMITS OF DISTURBANCE:	
SILT FENCE:	
TREE PROTECTION FENCE:	
FENCE REMOVAL:	
PIPE REMOVAL:	
SAWCUT LINE:	
SIDEWALK REMOVAL:	
FULL DEPTH REMOVAL:	
AREA OF MILL:	
AREA OF MILL:	
CONCRETE WASHOUT:	
DUST CONTROL:	
PERMANENT SEEDING:	
TEMPORARY SEEDING:	

Department of Health and Environmental Control	<b>MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS</b> EFFECTIVE DATE: AUGUST, 2005
<u>DESCRIPTION</u>	<u>SYMBOL</u>
SEDIMENT TUBE:	
ROCK DITCH CHECK:	
ROCK SEDIMENT DIKE:	
INLET PROTECTION TYPE A:	 
INLET PROTECTION TYPE D:	
INLET PROTECTION TYPE E:	
INLET PROTECTION TYPE F:	
CONSTRUCTION ENTRANCE:	



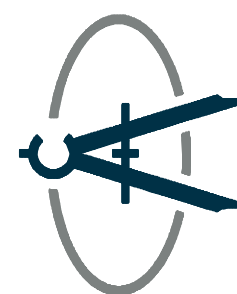












PRELIMINARY  
NOT FOR CONSTRUCTION



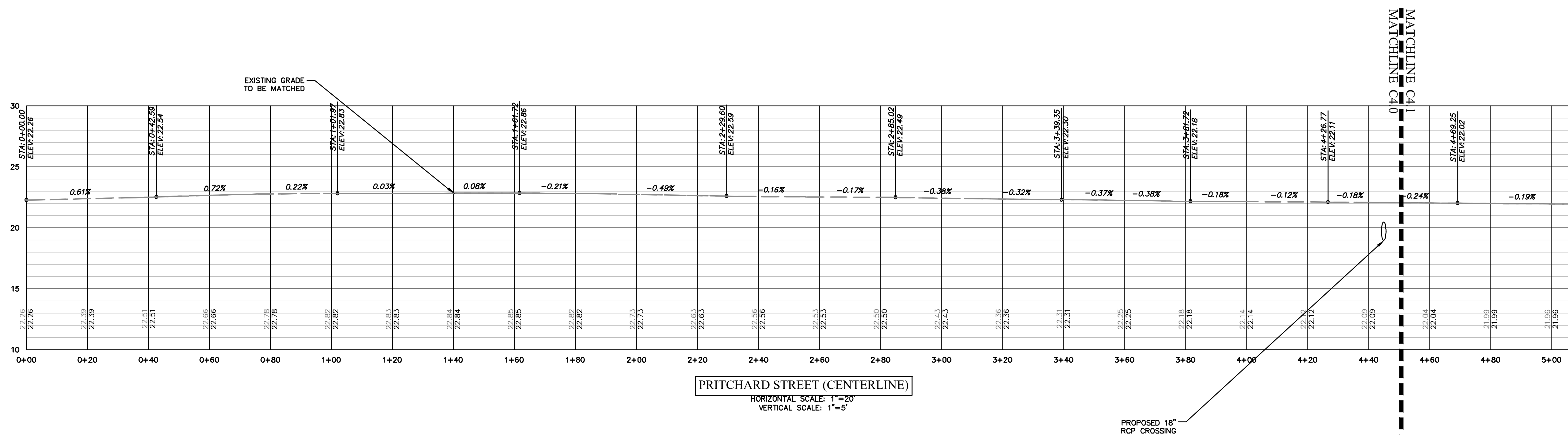
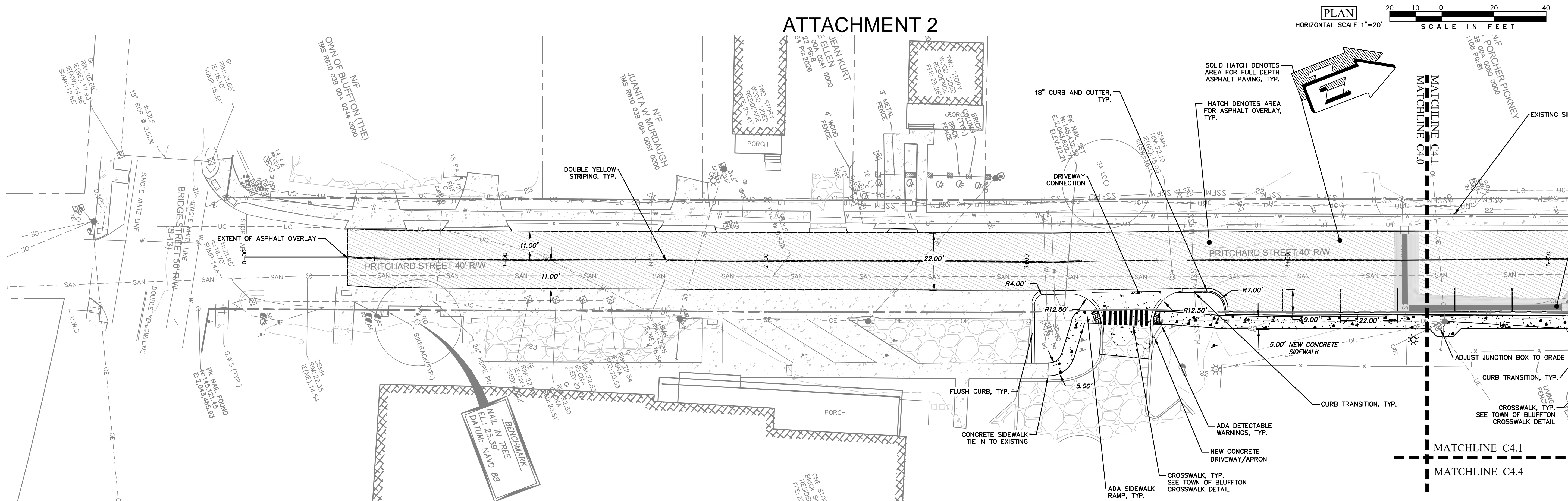
2/28/2024

[illegible]PRITCHARD STREET  
STREETSCAPE

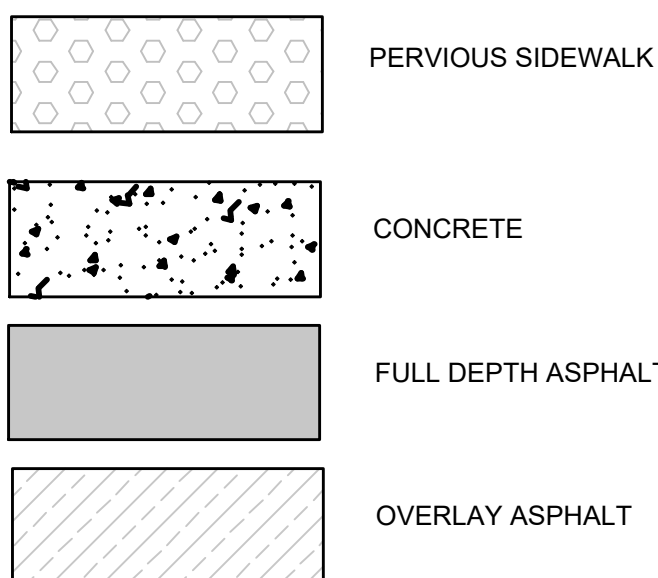
## PLAN & PROFILES

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CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

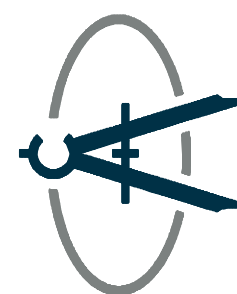
C4.0



### LEGEND



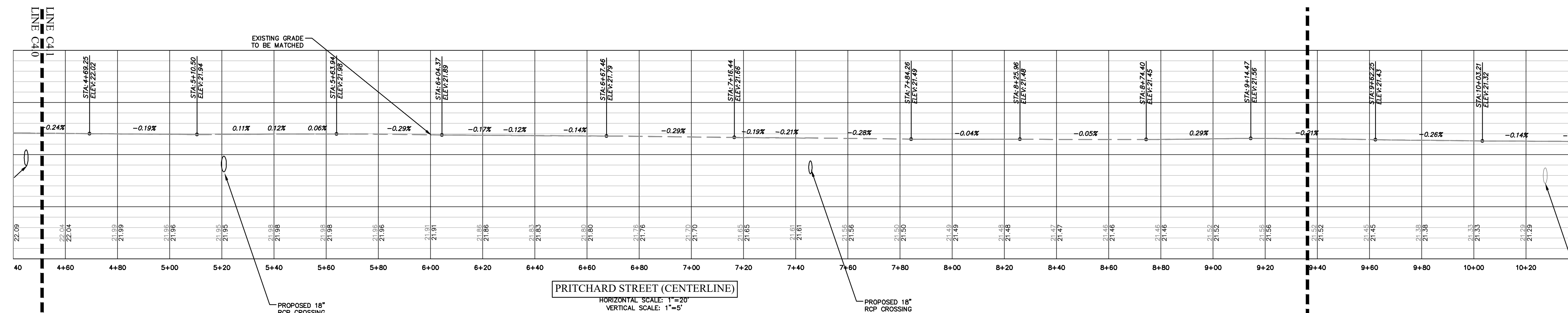
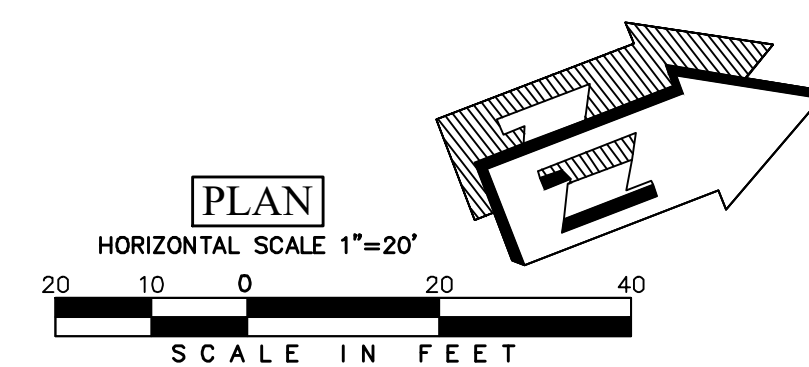
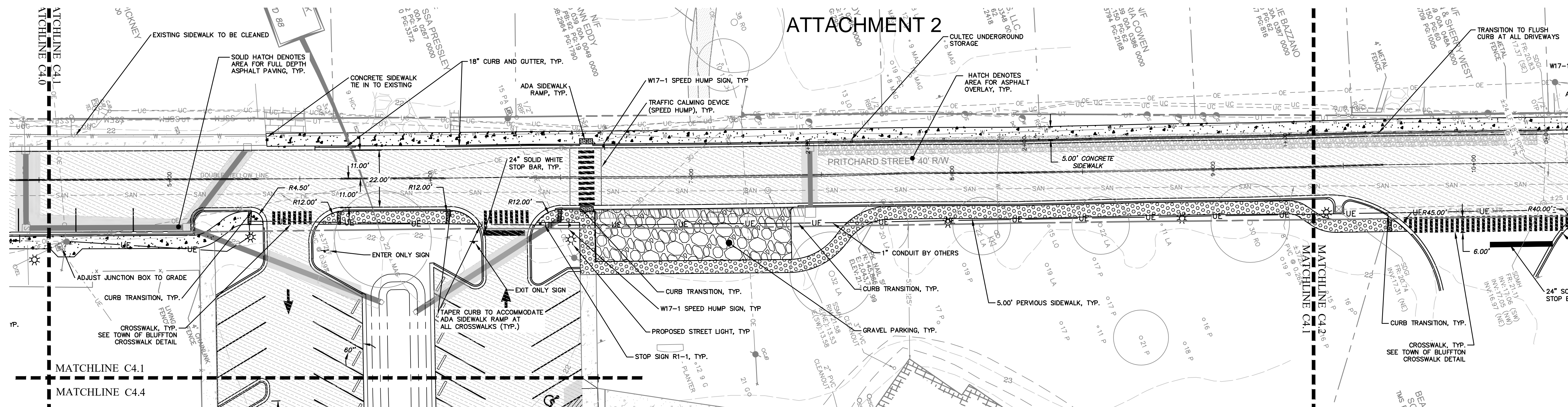




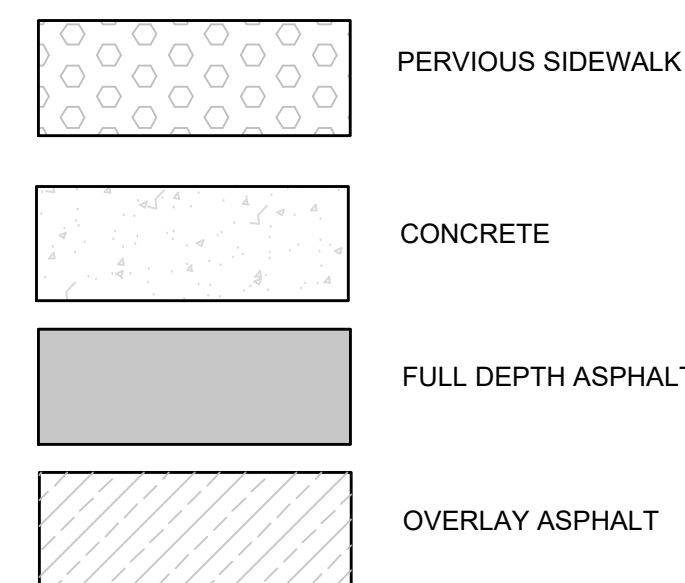
PRELIMINARY  
NOT FOR CONSTRUCTION



2/28/2024



### LEGEND



PRITCHARD STREET

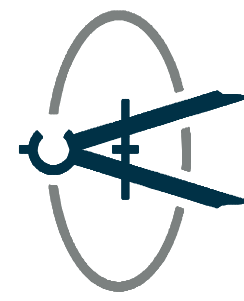
## PLAN & PROFILES

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C4.1







PRELIMINARY  
NOT FOR CONSTRUCTION



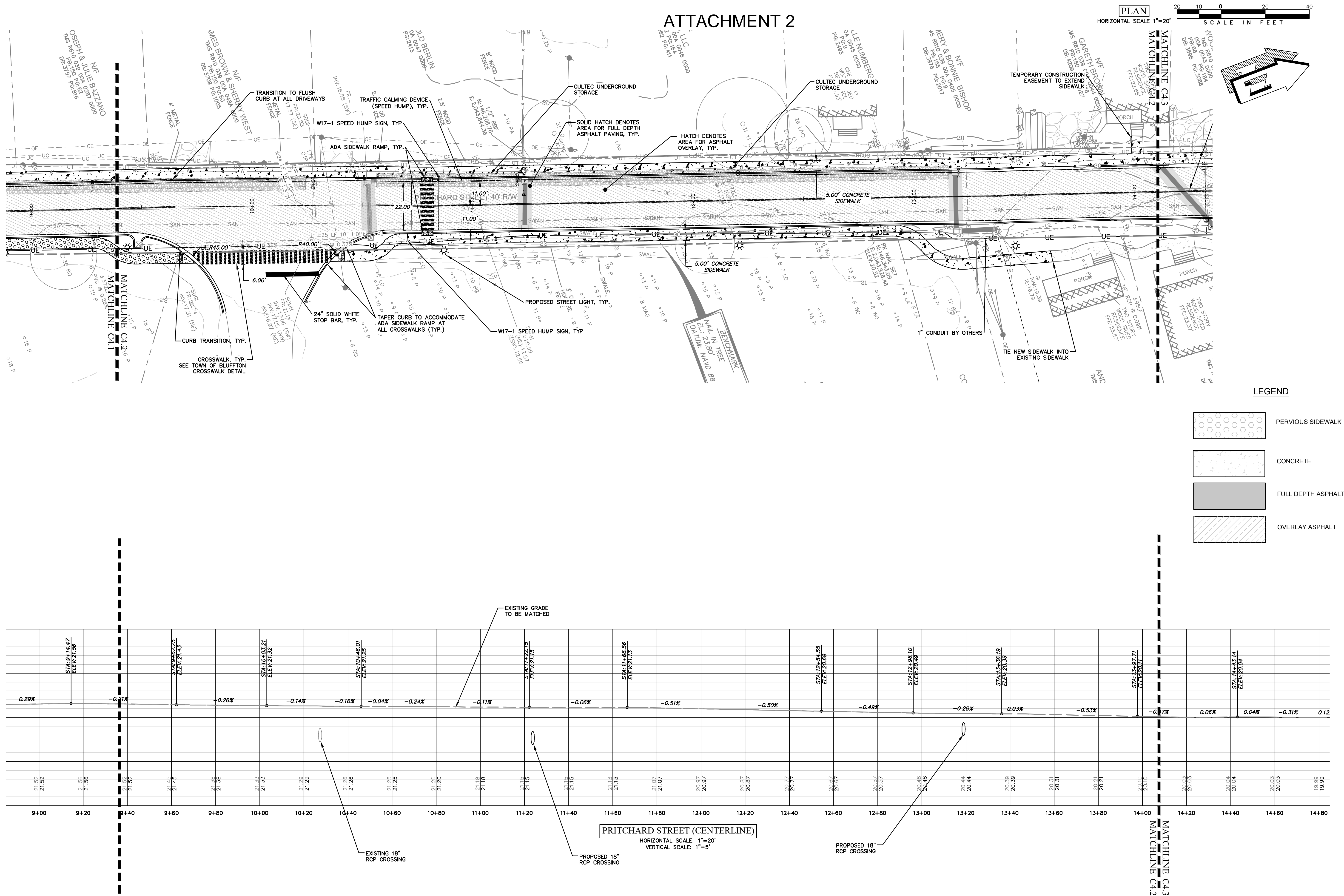
2/28/2024

[illegible]PRITCHARD STREET  
STREETSCAPE

## PLAN & PROFILES

DRAWN BY:	PAG
CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

C4.2











PRELIMINARY  
NOT FOR CONSTRUCTION



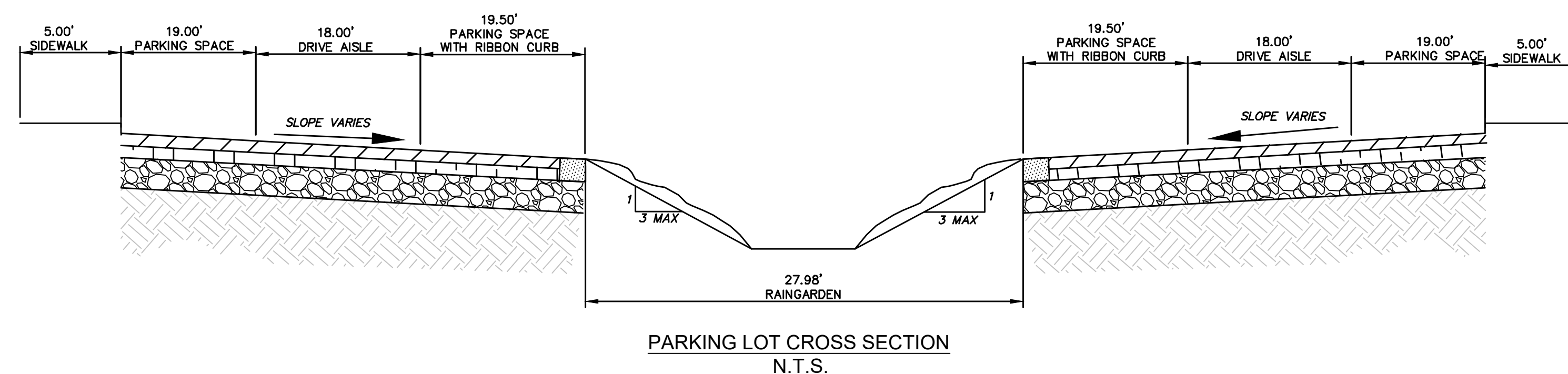
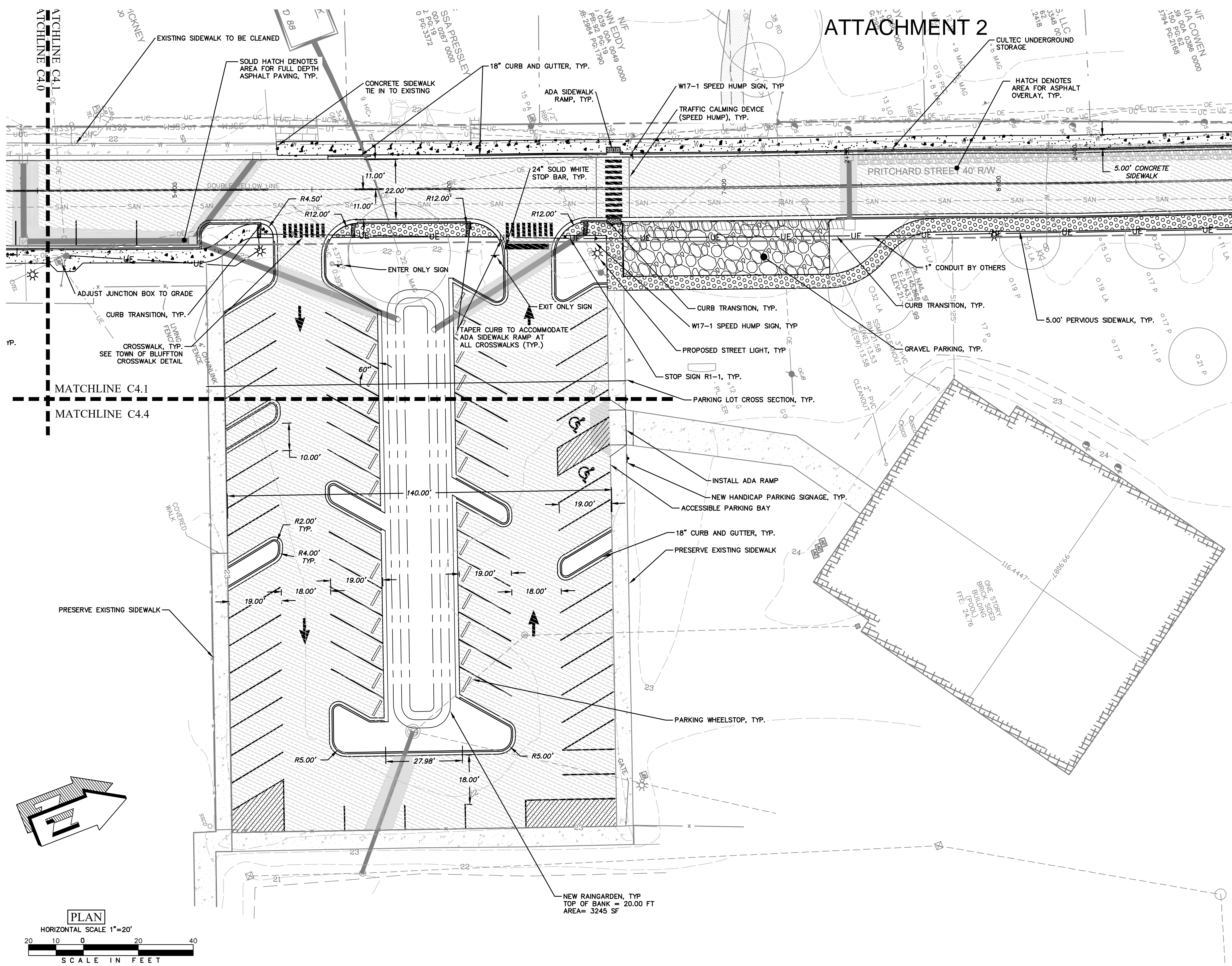
2/28/2024

[illegible]PRITCHARD STREET  
STREETSCAPE

PLAN (PARKING LOT)

DRAWN BY:	PAO
CHECKED BY:	ME
APPROVED BY:	ME
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-073
DRAWING No.	

C4.4

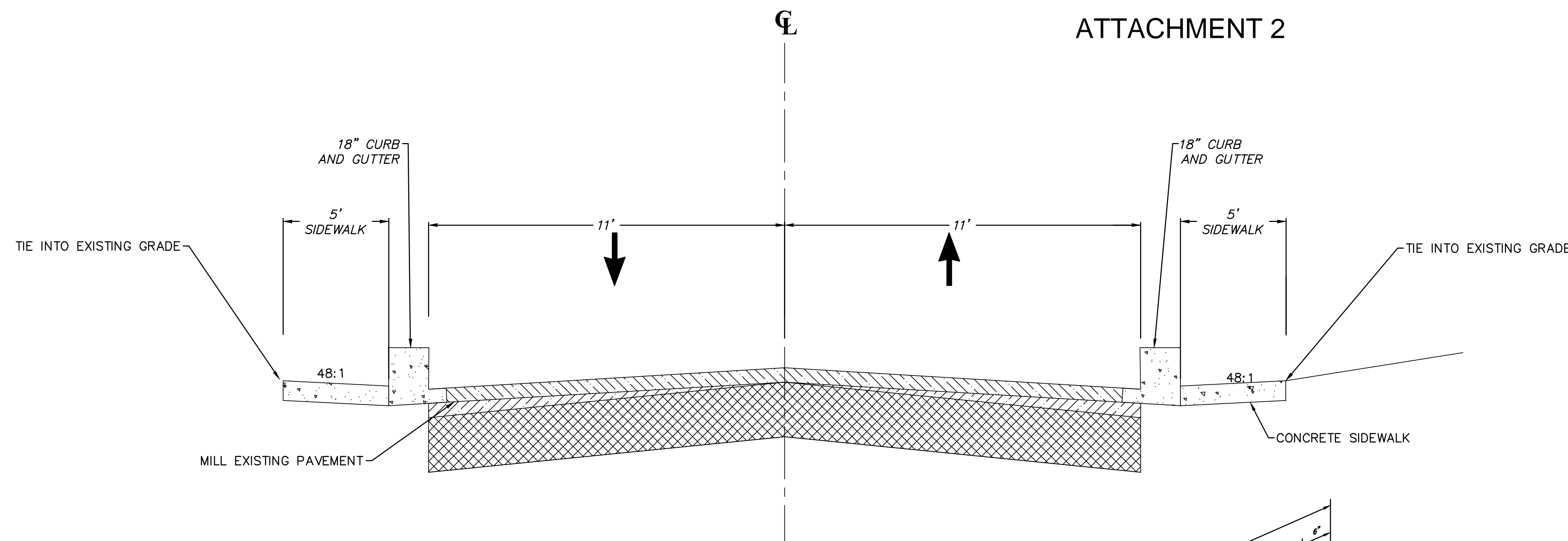




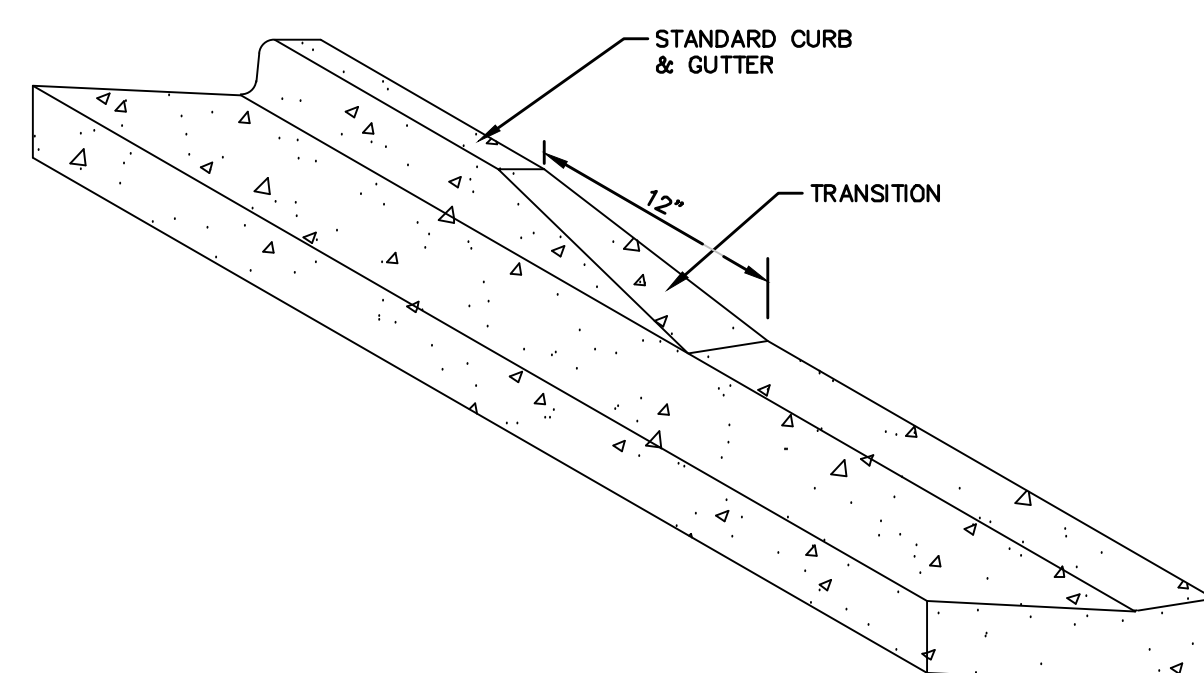
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DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

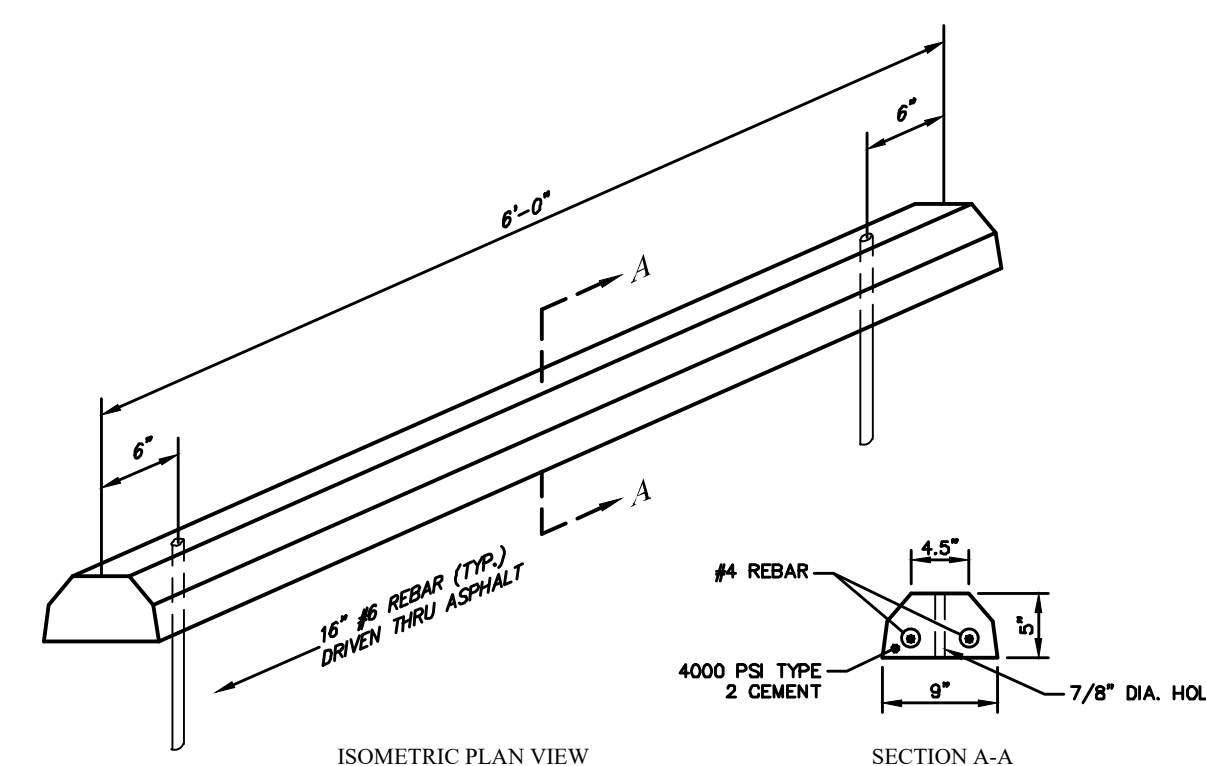
## ATTACHMENT 2



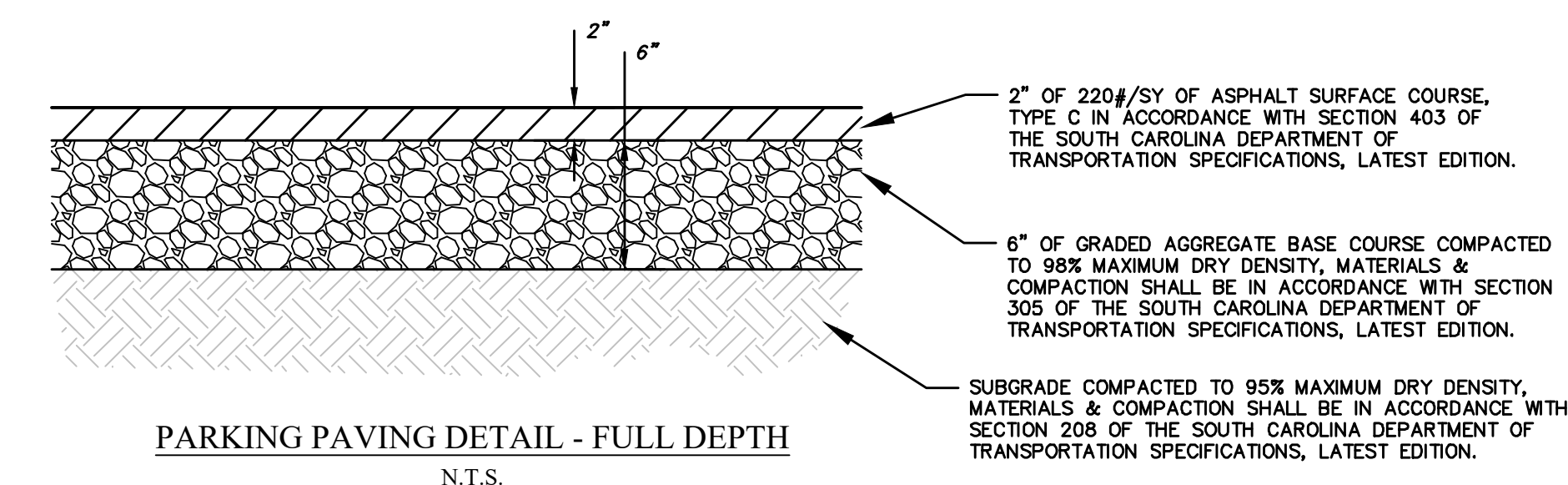
**TYPICAL SECTION**  
**N.T.S**



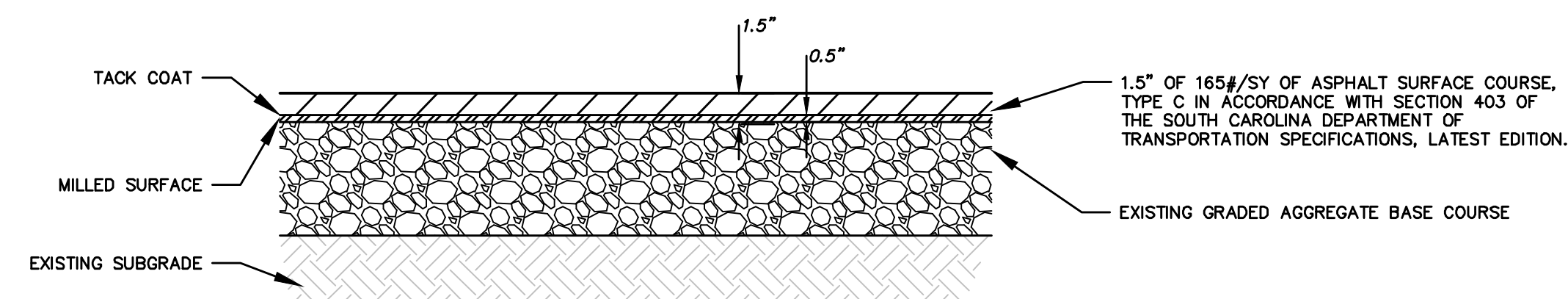
CURB TRANSITION DETAIL  
N.T.S.



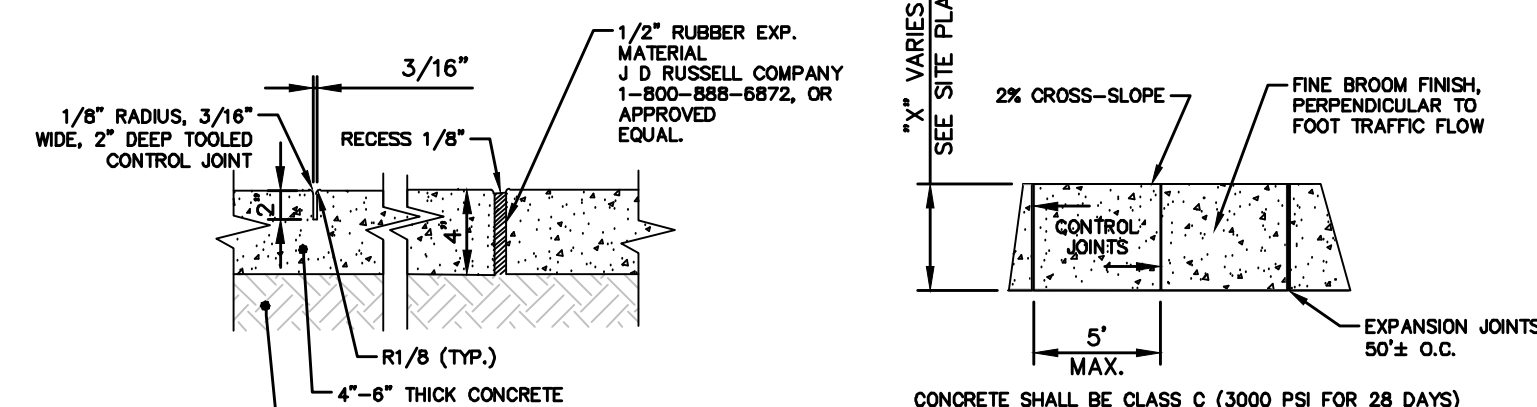
WHEEL STOP  
N.T.S.



PARKING PAVING DETAIL - FULL DEPTH  
N.T.S.

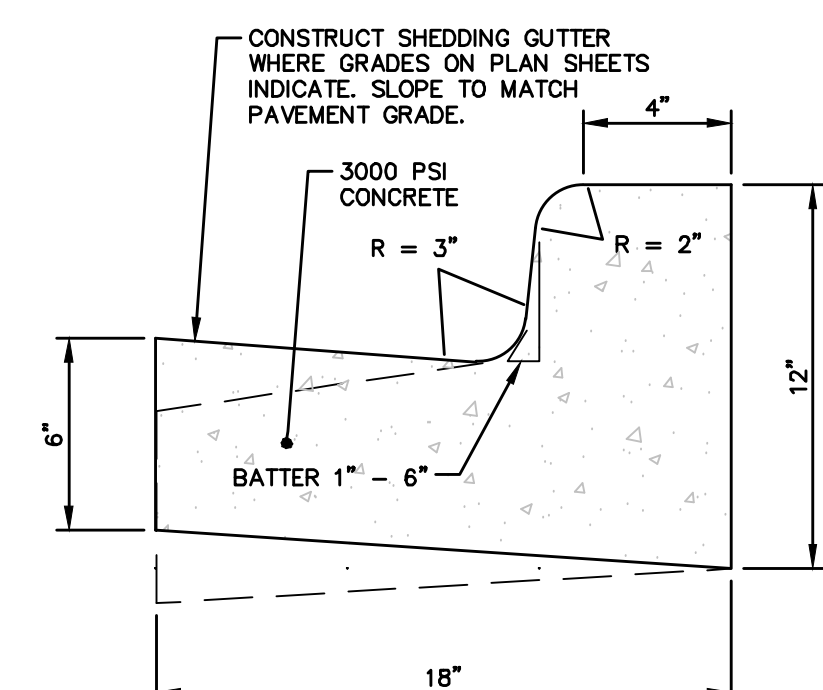


PARKING PAVING DETAIL - OVERLAY  
N.T.S.



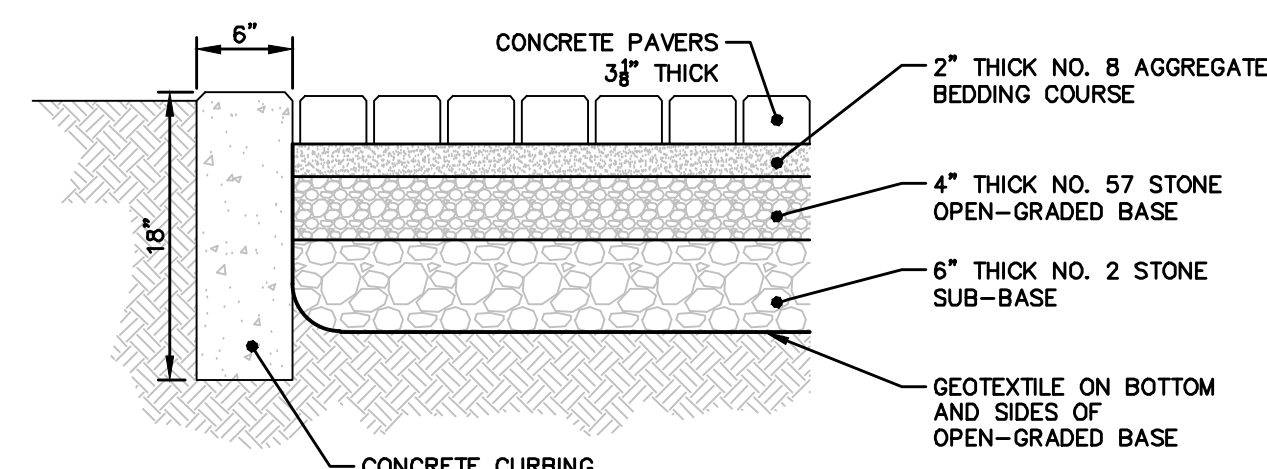
1. SIDEWALK WIDTH IS TYPICALLY 5', HOWEVER, CAN VARY DEPENDING ON LOCATION, SEE PLAN SHEETS.
2. CONTROL JOINTS ON CENTER SPACING TO EQUAL WIDTH OF SIDEWALK.
3. EXPANSION JOINTS TO BE INSTALLED EVERY 50'± AND AT ALL RIGID CONNECTIONS.
4. JOINTS IN CURB & GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN SIDEWALK WHERE ADJOINING.

SIDEWALK - TYPICAL SECTION  
N.T.S.

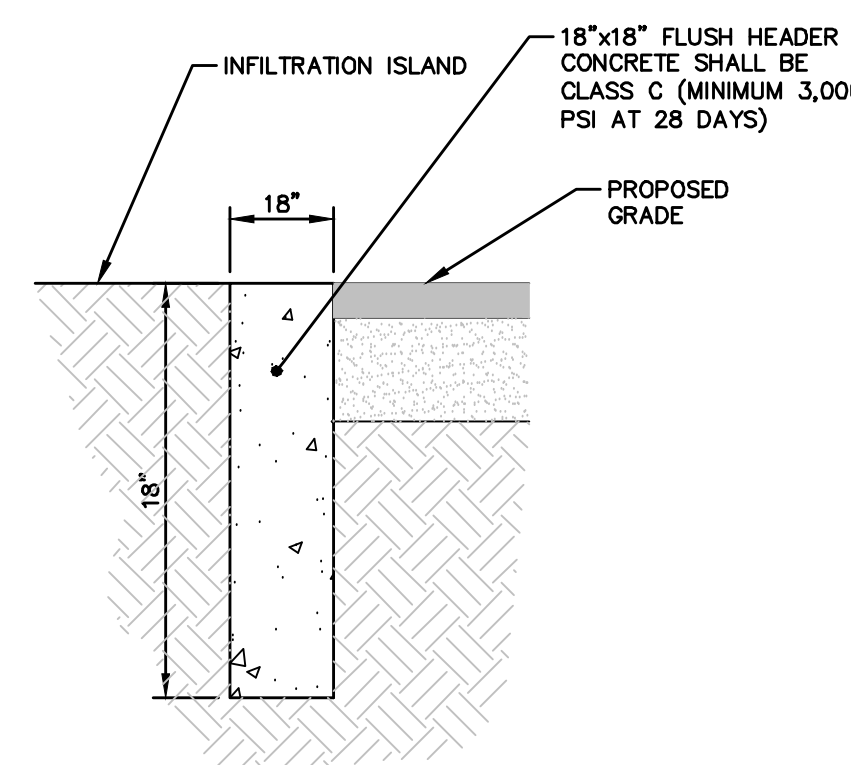


1. CONTROL JOINTS TO BE SCORED EVERY 10' MAX.
2. EXPANSION JOINTS TO BE INSTALLED EVERY 50'± AND AT ALL RIGID CONNECTIONS.
3. JOINTS IN CURB & GUTTER SHALL ALIGN WITH CORRESPONDING JOINTS IN SIDEWALK WHERE ADJOINING.

18" CURBING DETAIL  
N.T.S

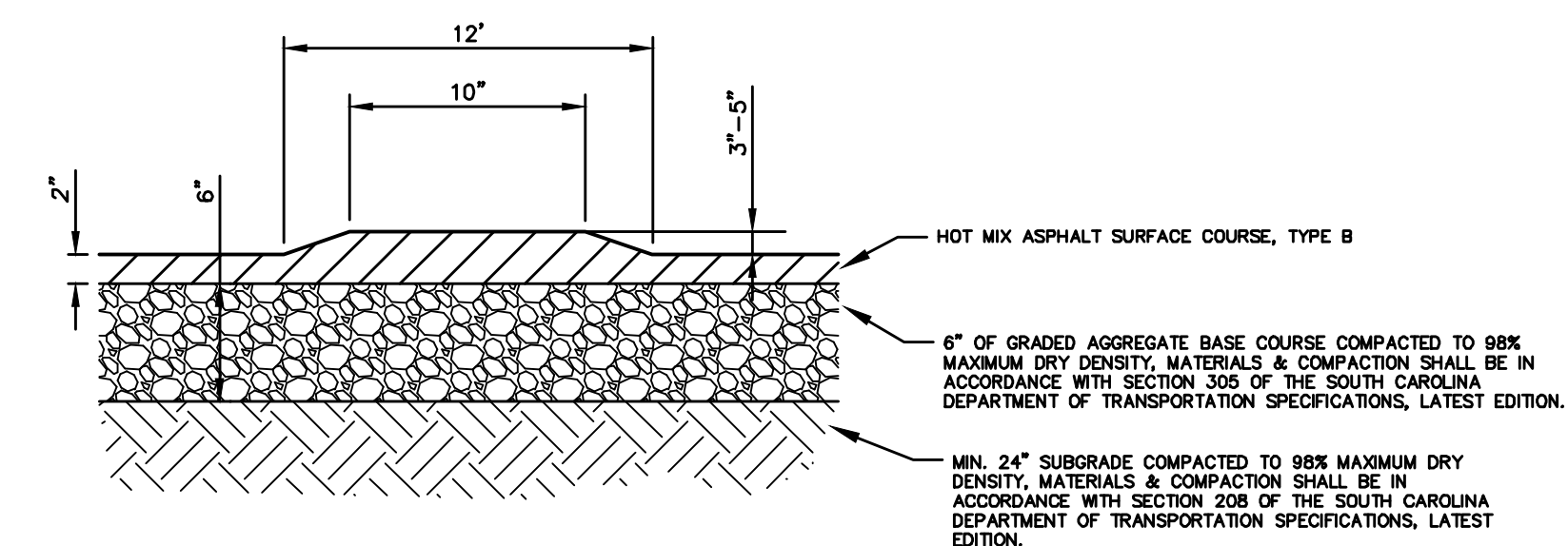


PERVIOUS CONCRETE PAVERS DETAIL  
N.T.S.



HEADER CURB DETAIL

N.T.S.



ASPHALT SPEED HUMP DETAIL  
N.T.S.

SPEED HUMP WIDTH SHALL NOT ENCROACH ONTO CURB AND GUTTER  
AND ALLOW FOR POSITIVE DRAINAGE









PRELIMINARY  
NOT FOR CONSTRUCTION

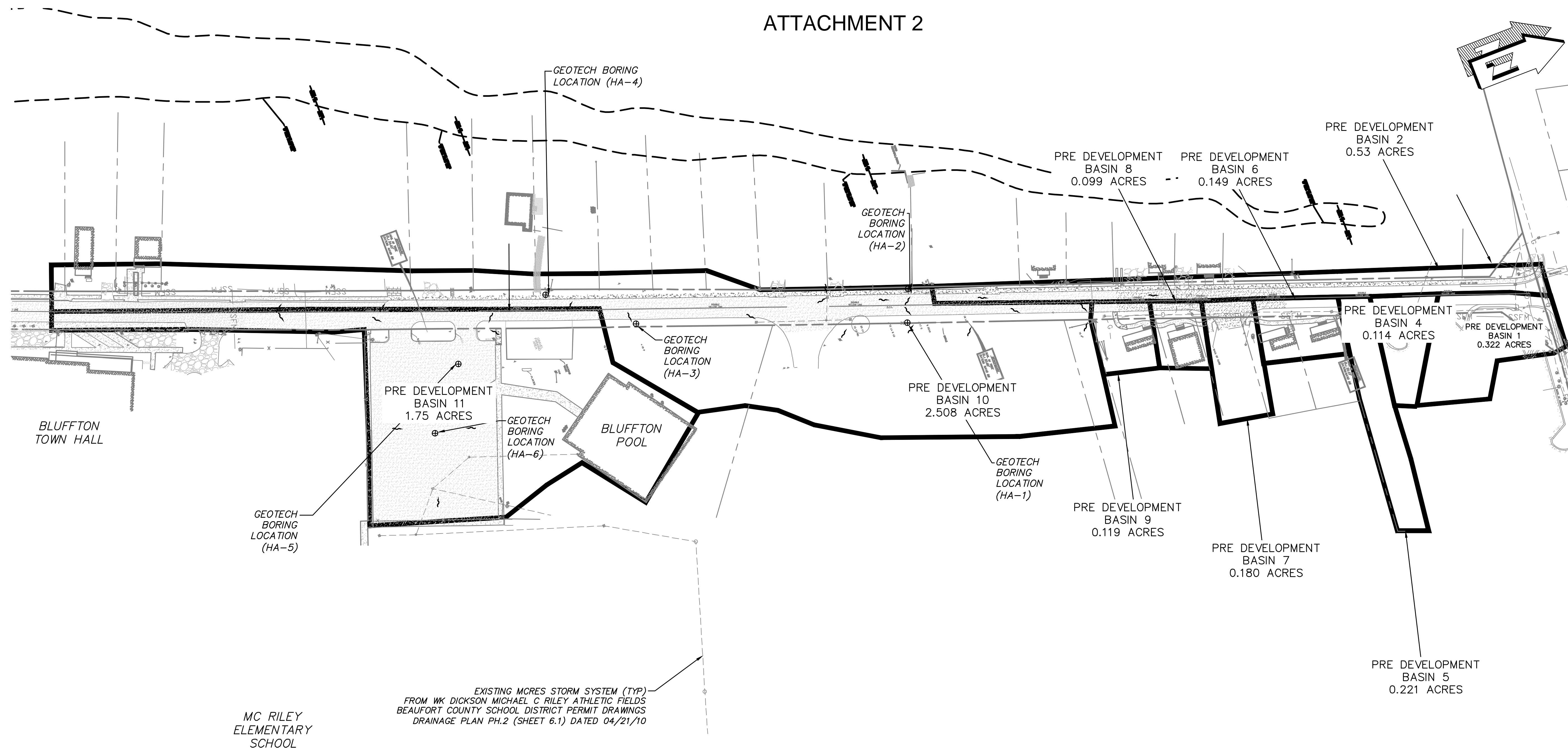
[illegible]PRITCHARD STREET  
STREETSCAPE

## EXISTING DRAINAGE BASINS

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CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 60'
JOB No.	2021-0735
DRAWING No.	

C5.0

## ATTACHMENT 2



**PLAN**

HORIZONTAL SCALE 1"=60'

60 30 0 60 120

SCALE IN FEET







PRELIMINARY  
NOT FOR CONSTRUCTION



2/28/2024

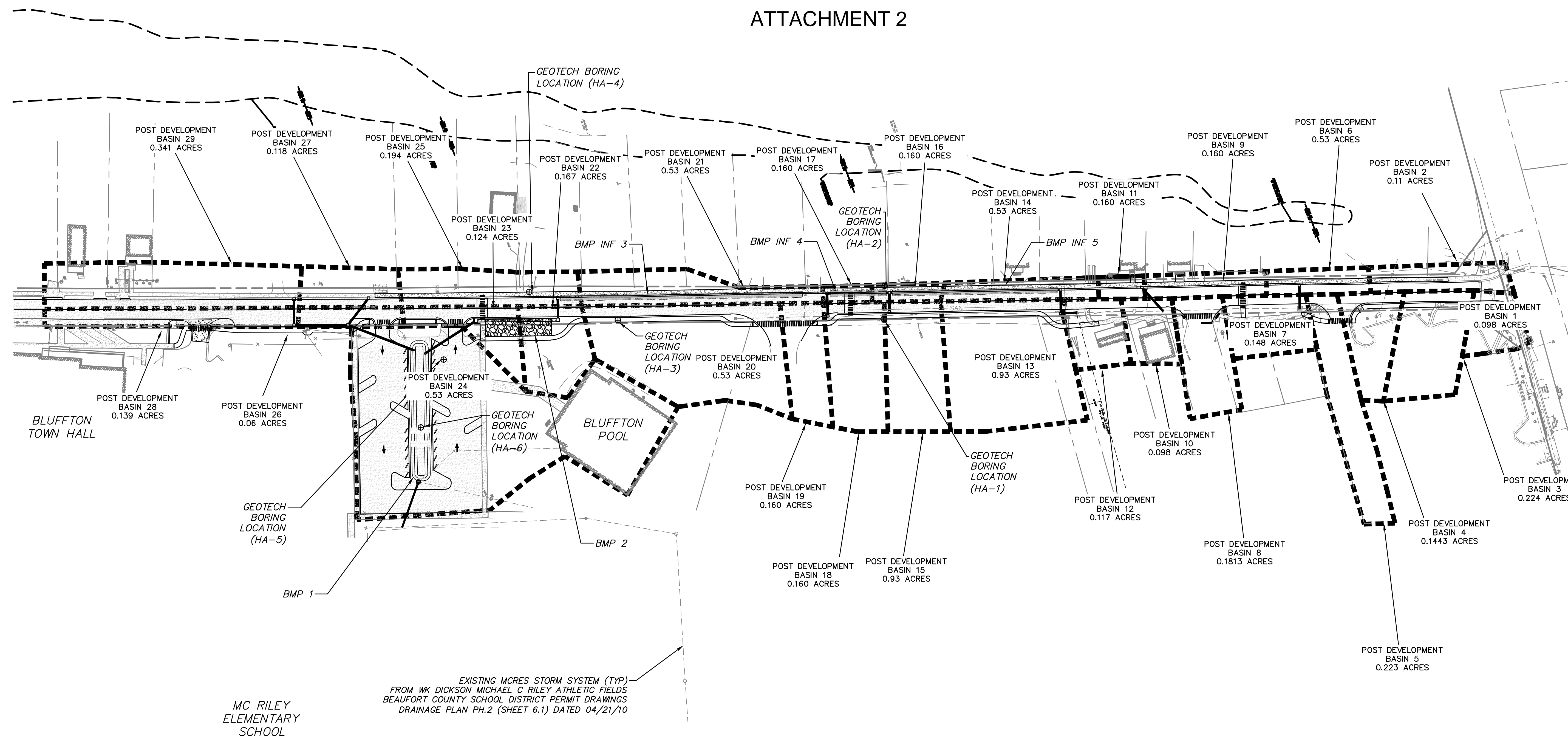
[illegible]PRITCHARD STREET  
STREETSCAPE

## PROPOSED DRAINAGE BASINS

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CHECKED BY:	MES
APPROVED BY:	MES
DATE:	2/28/2024
SCALE:	1" = 60'
JOB No.	2021-0735
DRAWING No.	

C5.1

## ATTACHMENT 2



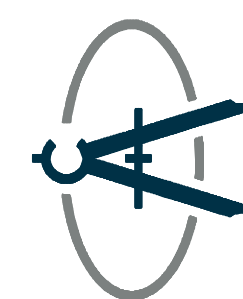
**PLAN**  
HORIZONTAL SCALE 1"=60'

A horizontal scale bar with alternating black and white segments. The top line is marked with 60, 30, 0, 60, and 1. The bottom line is marked with 0, 30, and 60. The text "SCALE IN FEET" is centered below the bar.





# CRANSTON



PRELIMINARY  
NOT FOR CONSTRUCTION



2/28/2024

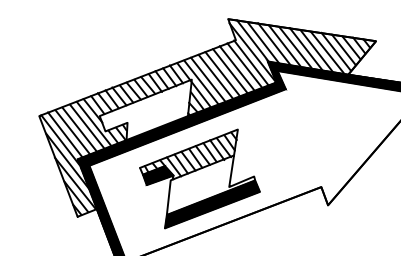
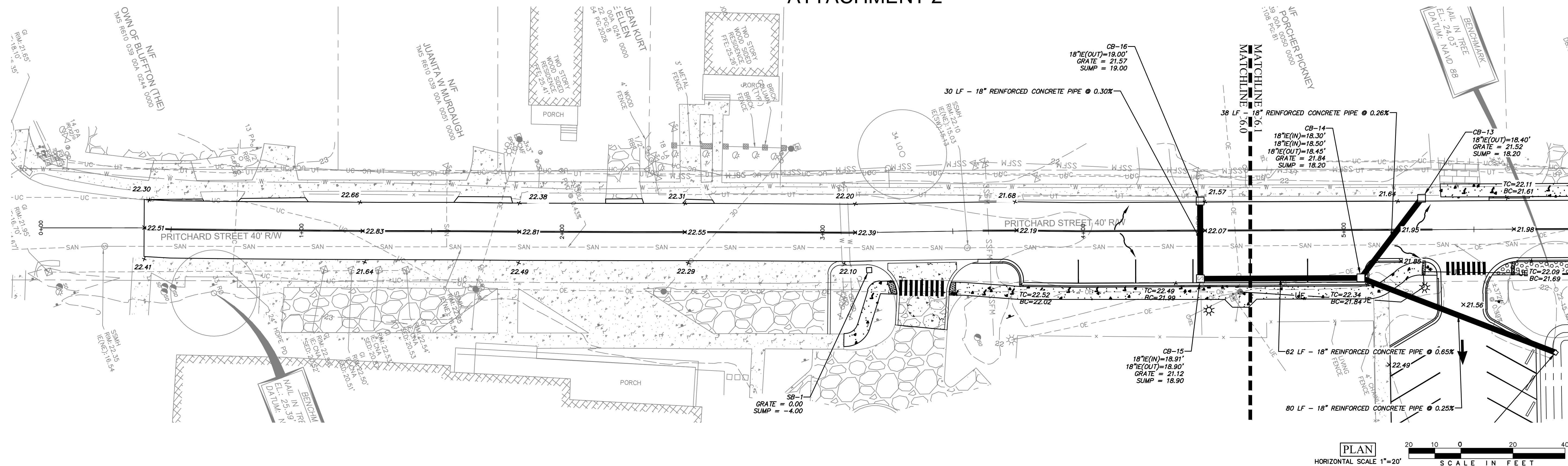
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STREETSCAPE

# GRADING & DRAINAGE PLAN

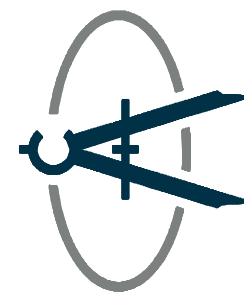
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JOB No.	2021-0735
DRAWING No.	

C6.0

## ATTACHMENT 2







CRANSTON



PRELIMINARY  
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2/28/2024

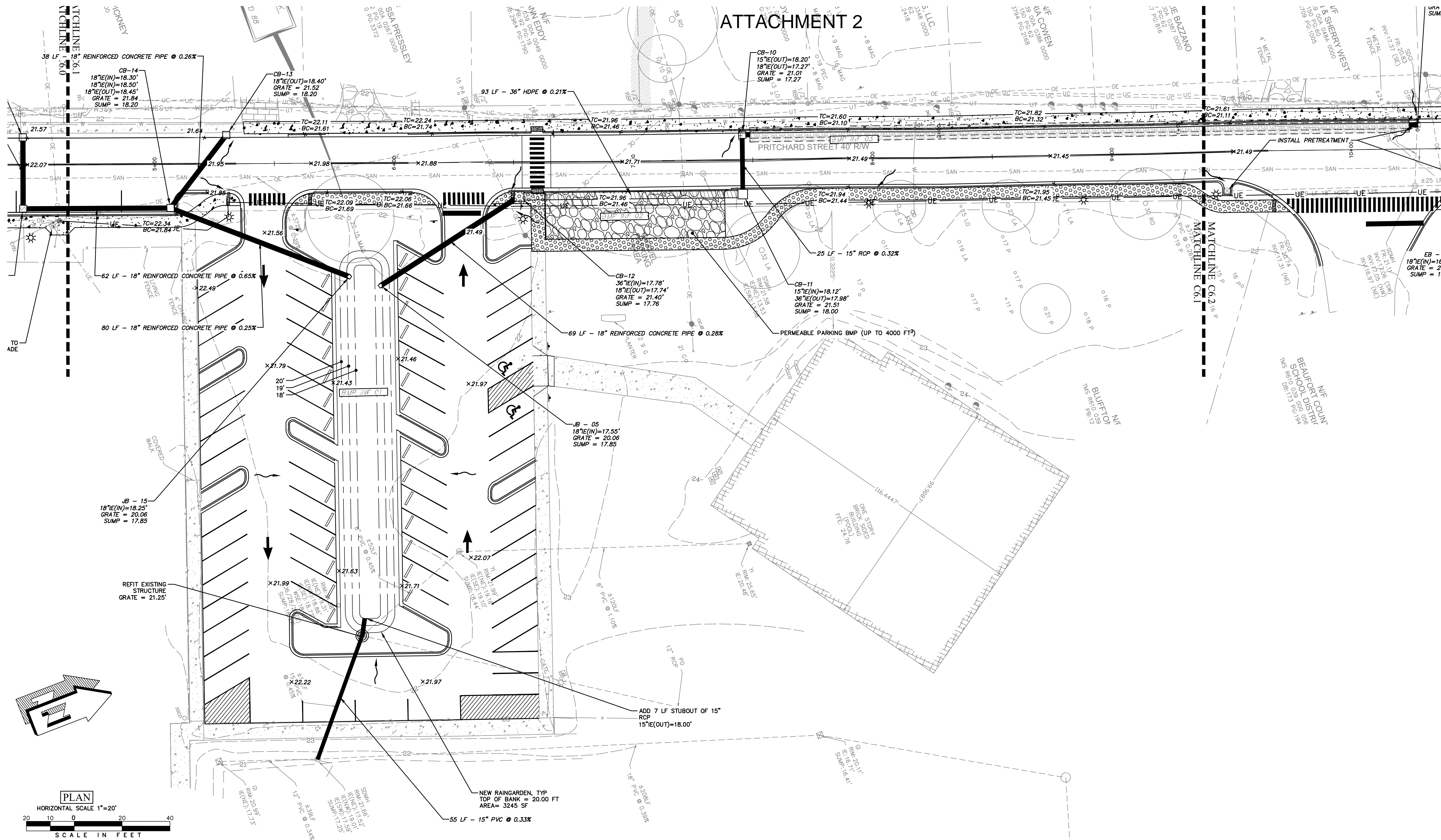
REV #	DATE	DESCRIPTION

PRITCHARD STREET  
STREETSCAPE

GRADING & DRAINAGE PLAN

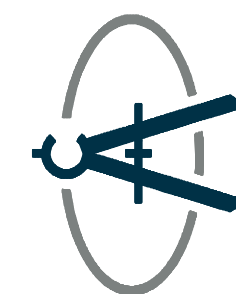
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DRAWING No.	C6.1

ATTACHMENT 2





# CRANSTON



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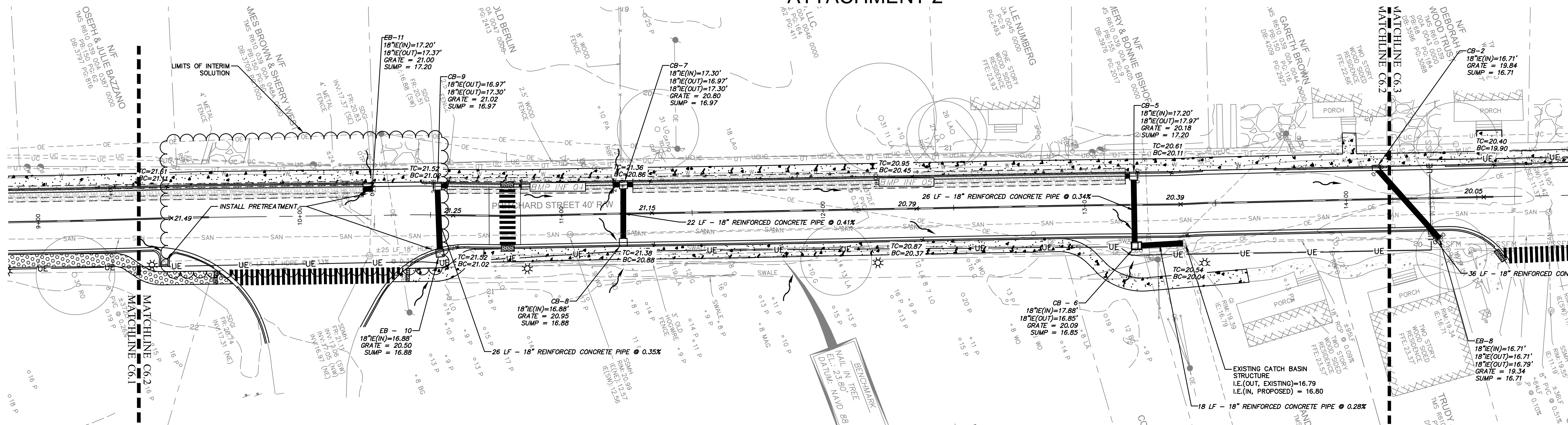
2/28/2024

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STREETSCAPE

## GRADING & DRAINAGE PLAN

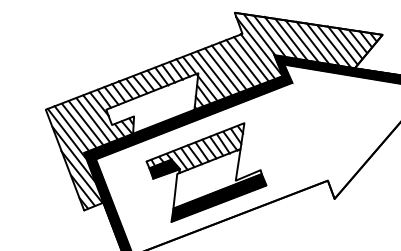
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C6.2

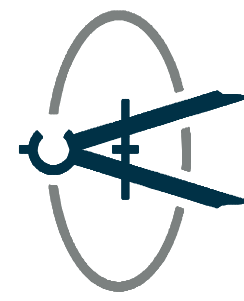


INTERIM SOLUTION NOTES:

1. DUE TO EXISTING DRAINAGE ISSUES/CONCERNS, THE PROJECT ELEMENTS CONSISTING OF CB-09, SB-10, SB-14, AND NECESSARY CONNECTING PIPES (TWO PIPES CONSISTING OF ~127LF OF 18" RCP, HP, OR HDPE) MAY BE INSTALLED PRIOR TO SECTION 319 GRANT FUNDING AND MAY NOT BE SUBJECT TO OR ELIGIBLE FOR GRANT FUNDING.







PRELIMINARY  
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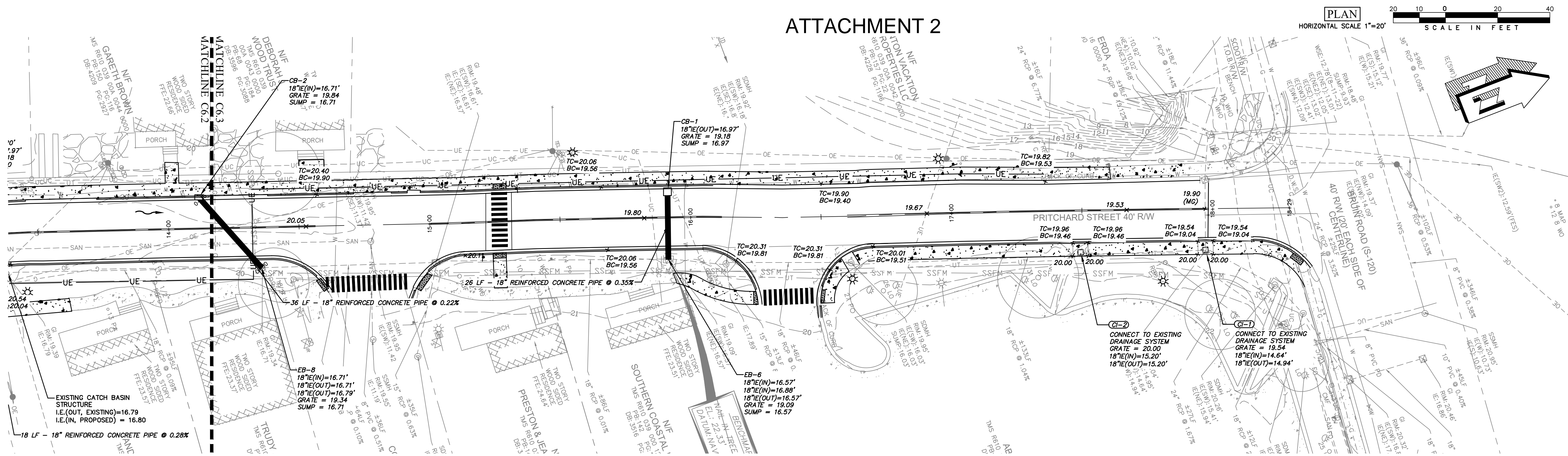
2/28/2024

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STREETSCAPE

# GRADING & DRAINAGE PLAN

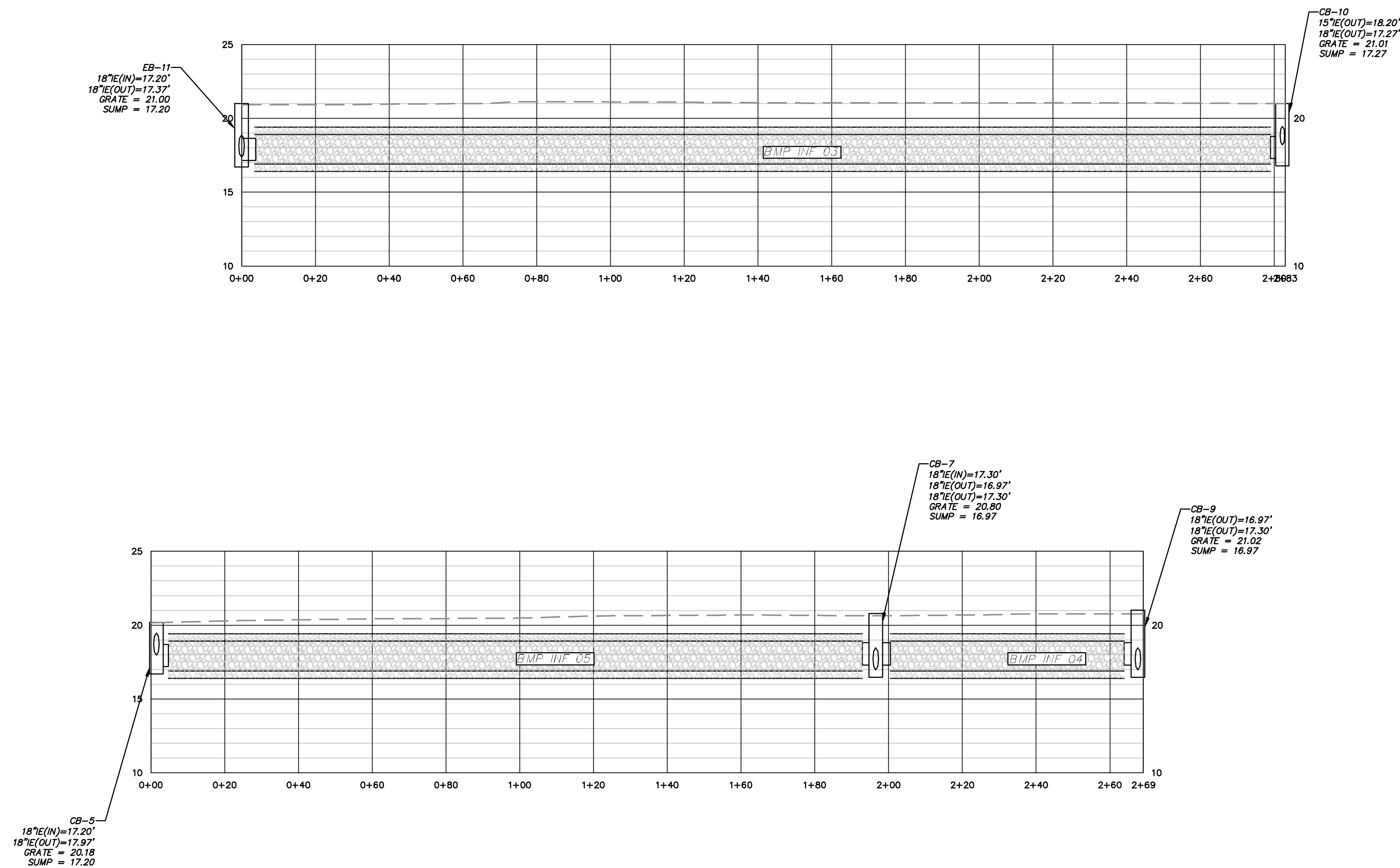
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DRAWING No.	

C6.3



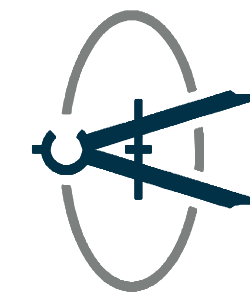


## ATTACHMENT 2



LEGEND:

----- EXISTING GRADE  
 ————— PROPOSED GRADE  
 - - - - - 25Y HGL



# CRANSTON



PRELIMINARY  
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2/28/2024

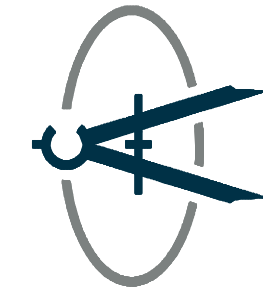
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STREETSCAPE

## DRAINAGE PROFILES

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DATE:	2/28/2024
SCALE:	AS SHOWN
JOB No.	2021-0735
DRAWING No.	

C6.4

ATTACHMENT 2



CRANSTON



PRELIMINARY  
NOT FOR CONSTRUCTION



2/28/2024

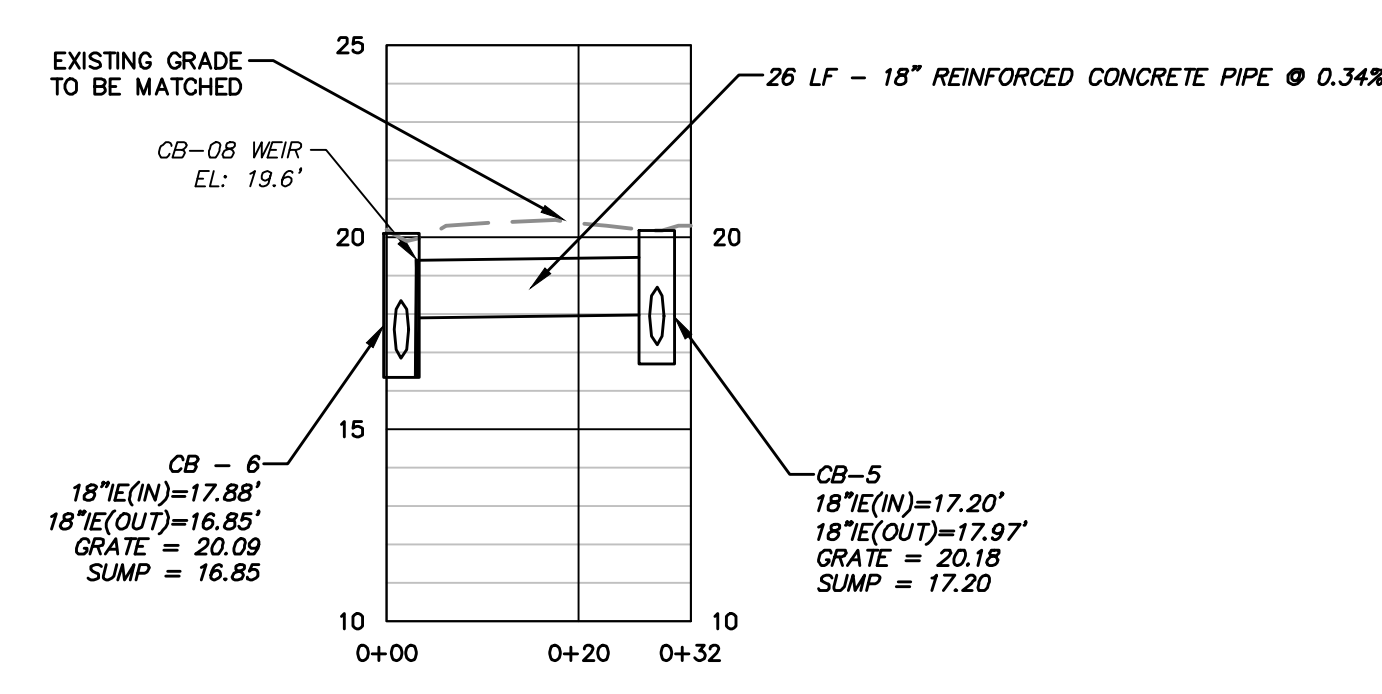
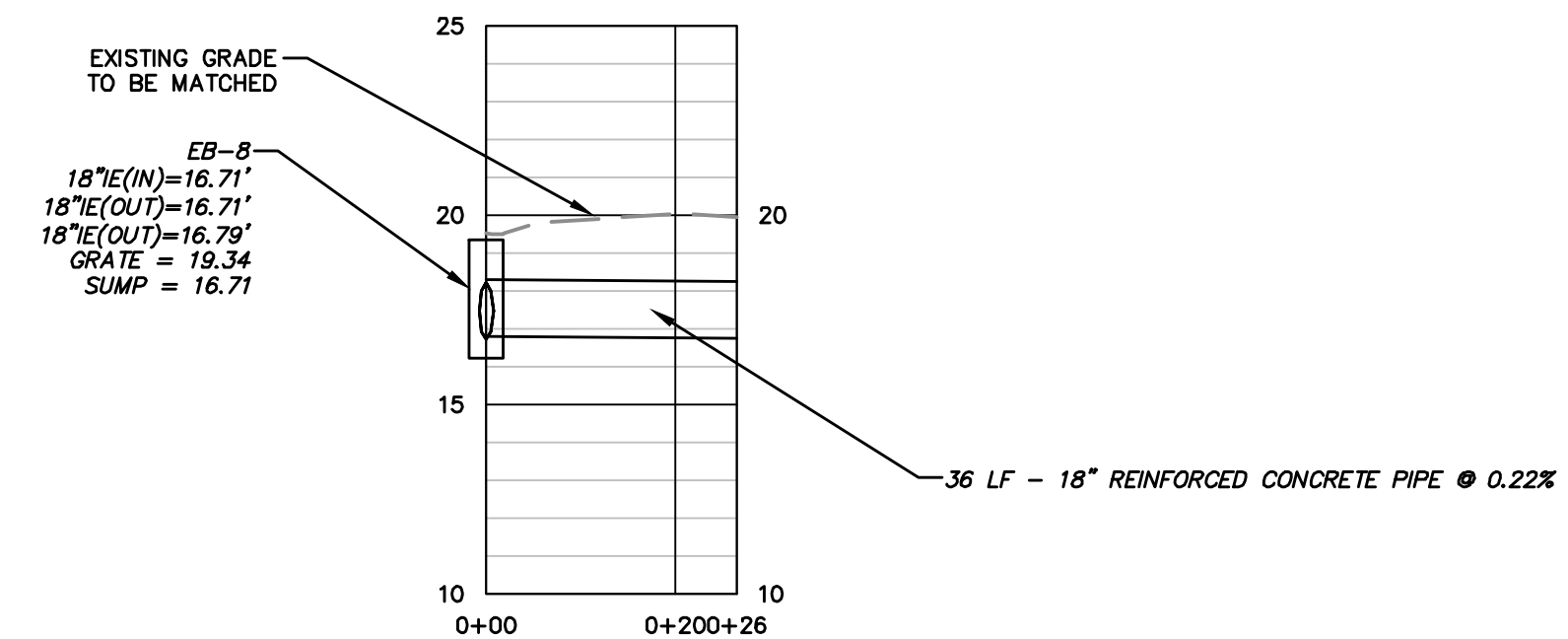
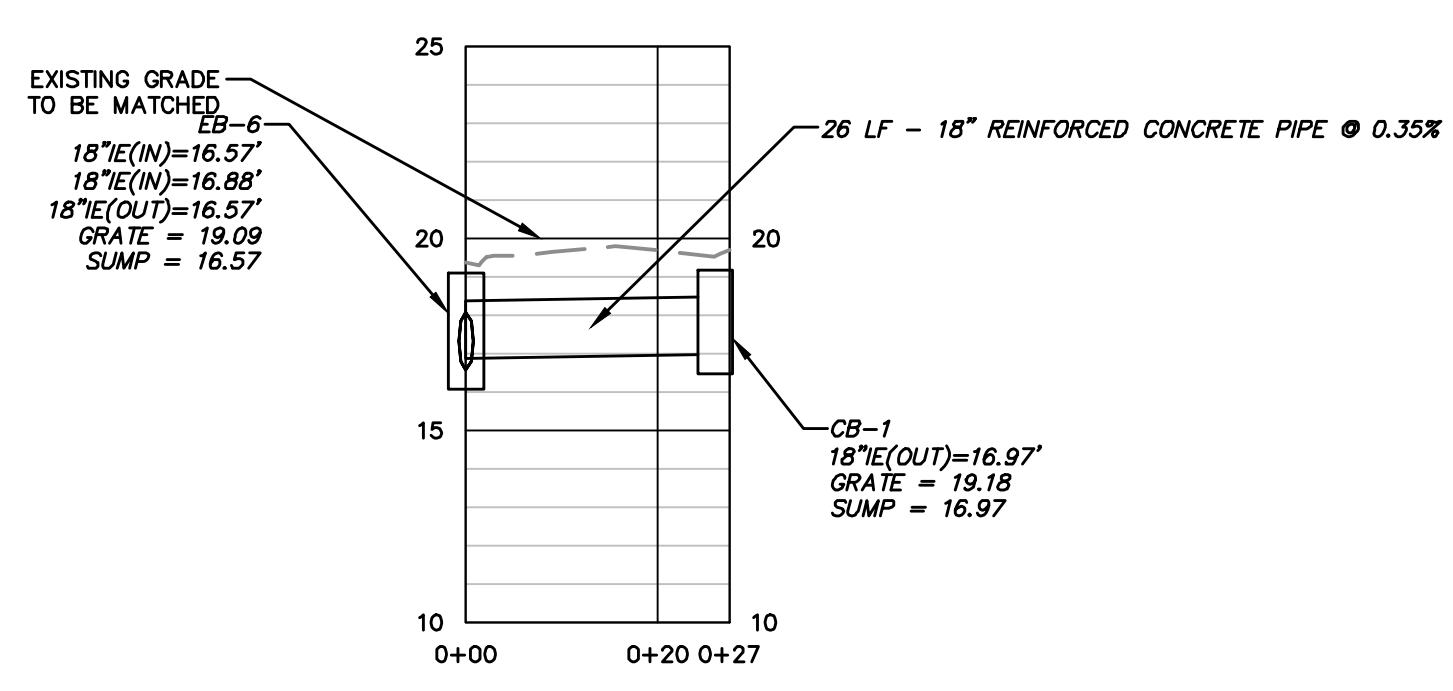
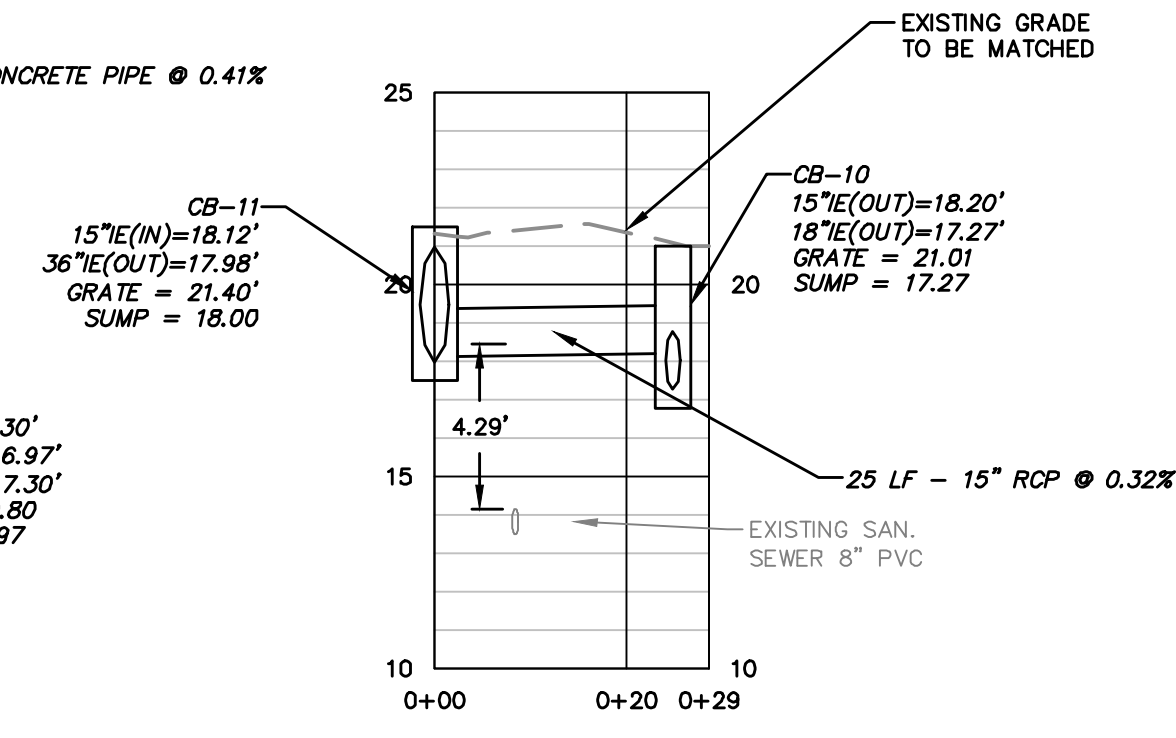
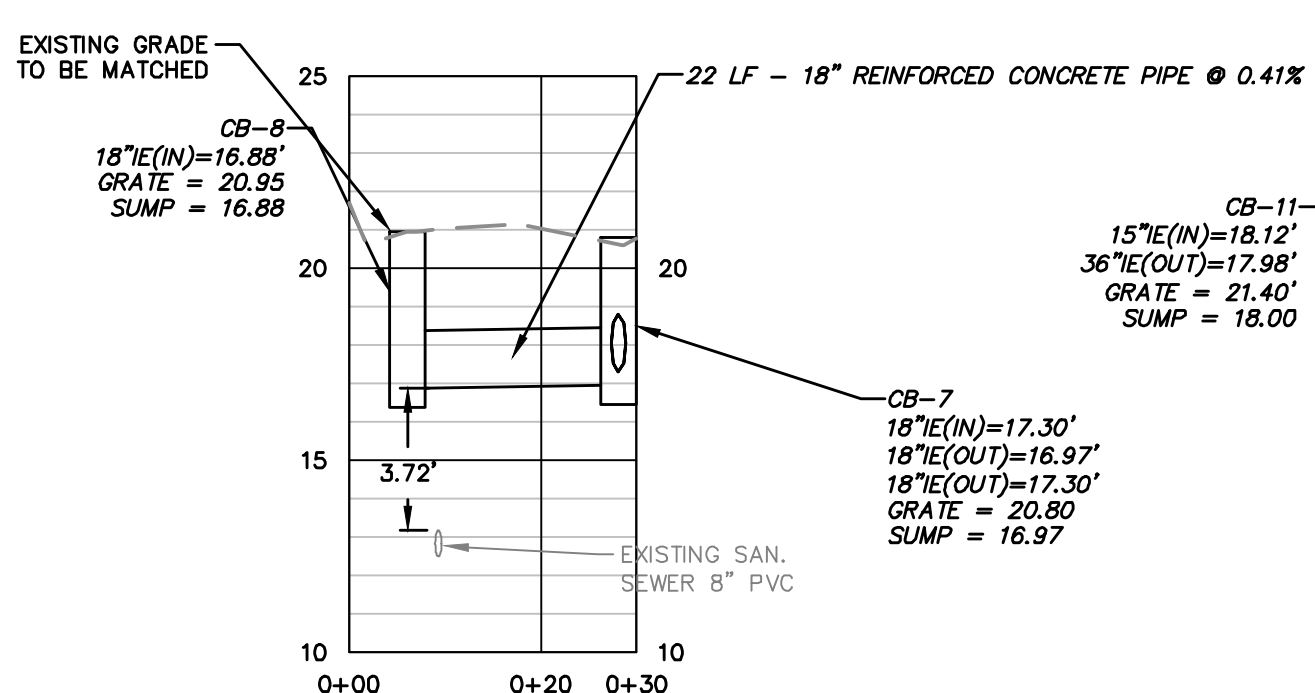
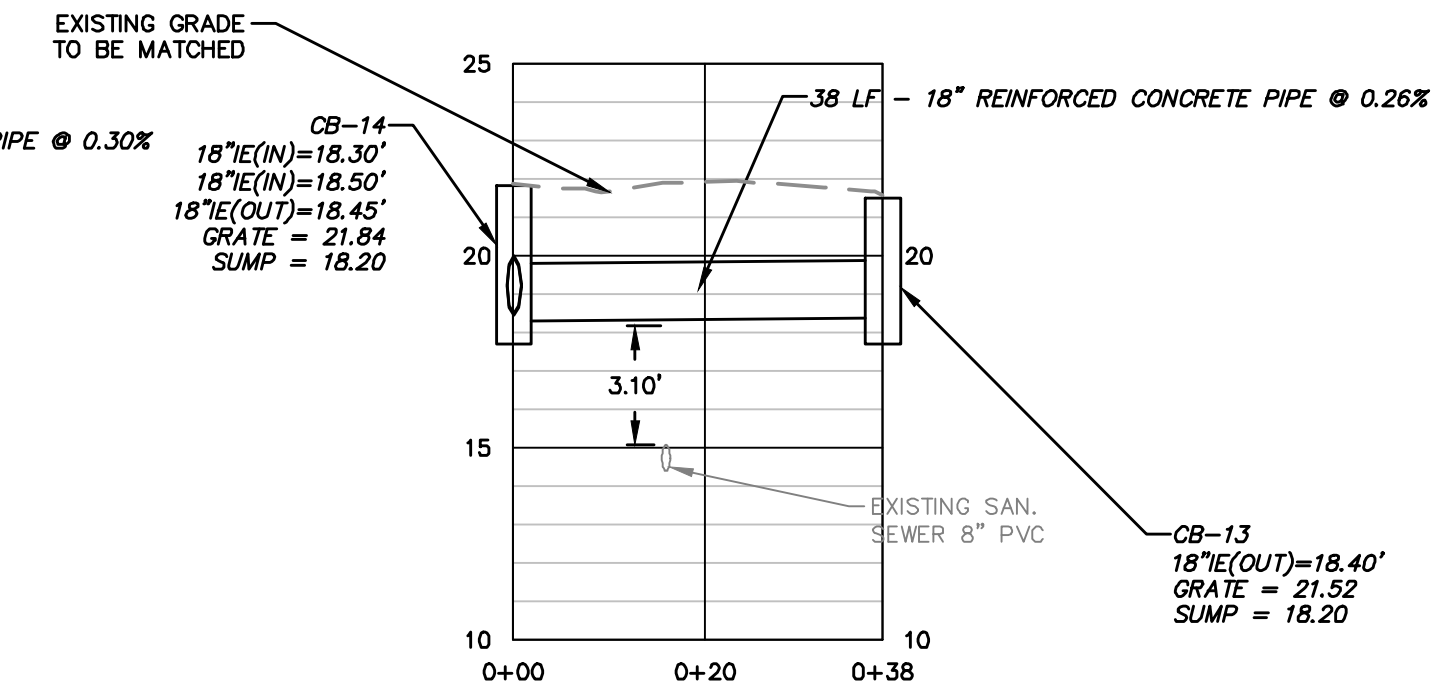
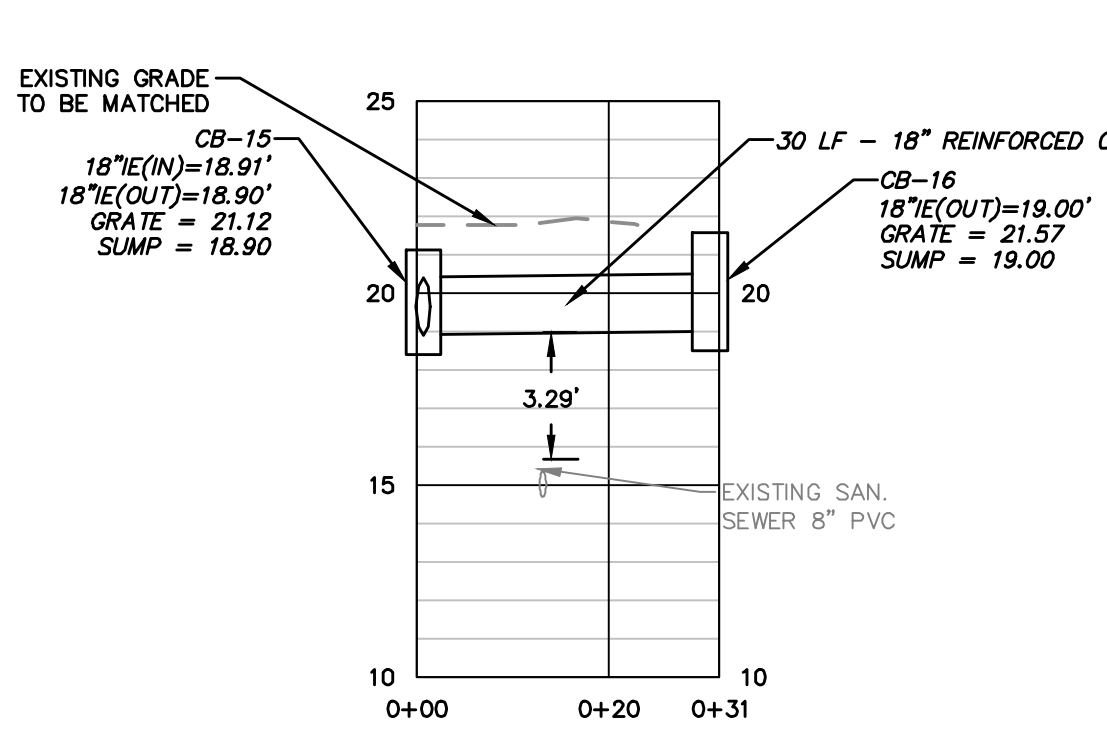
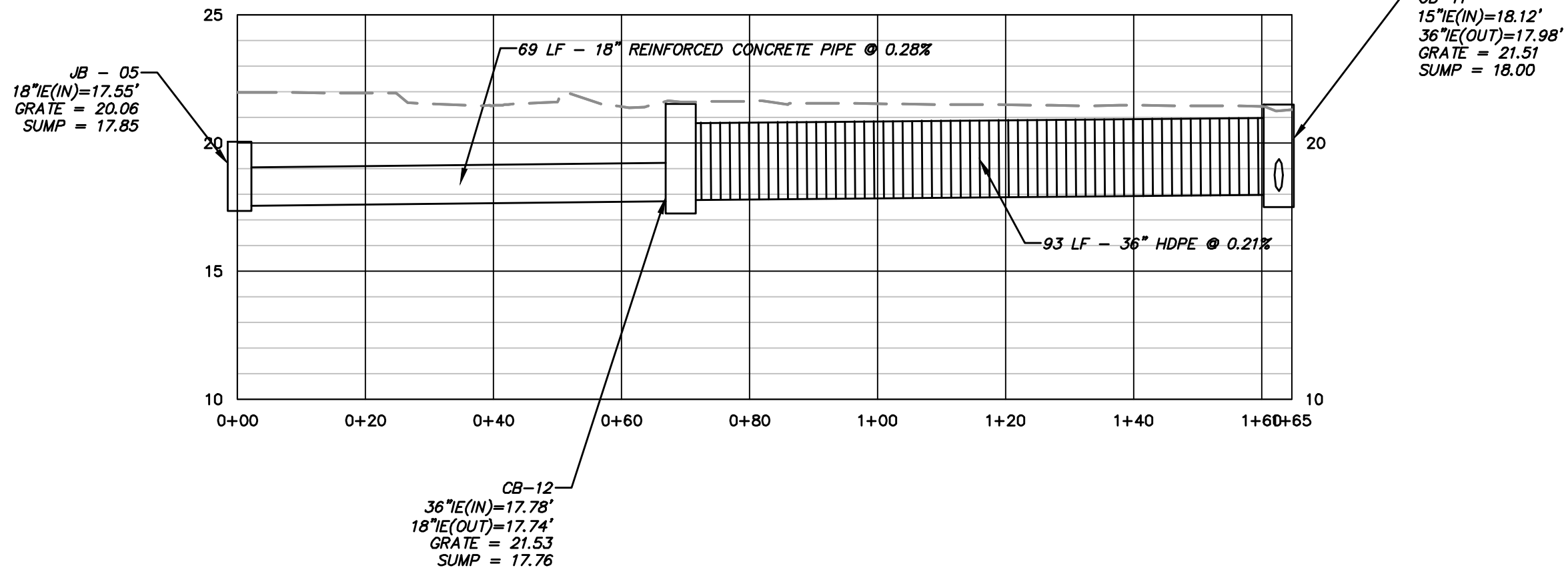
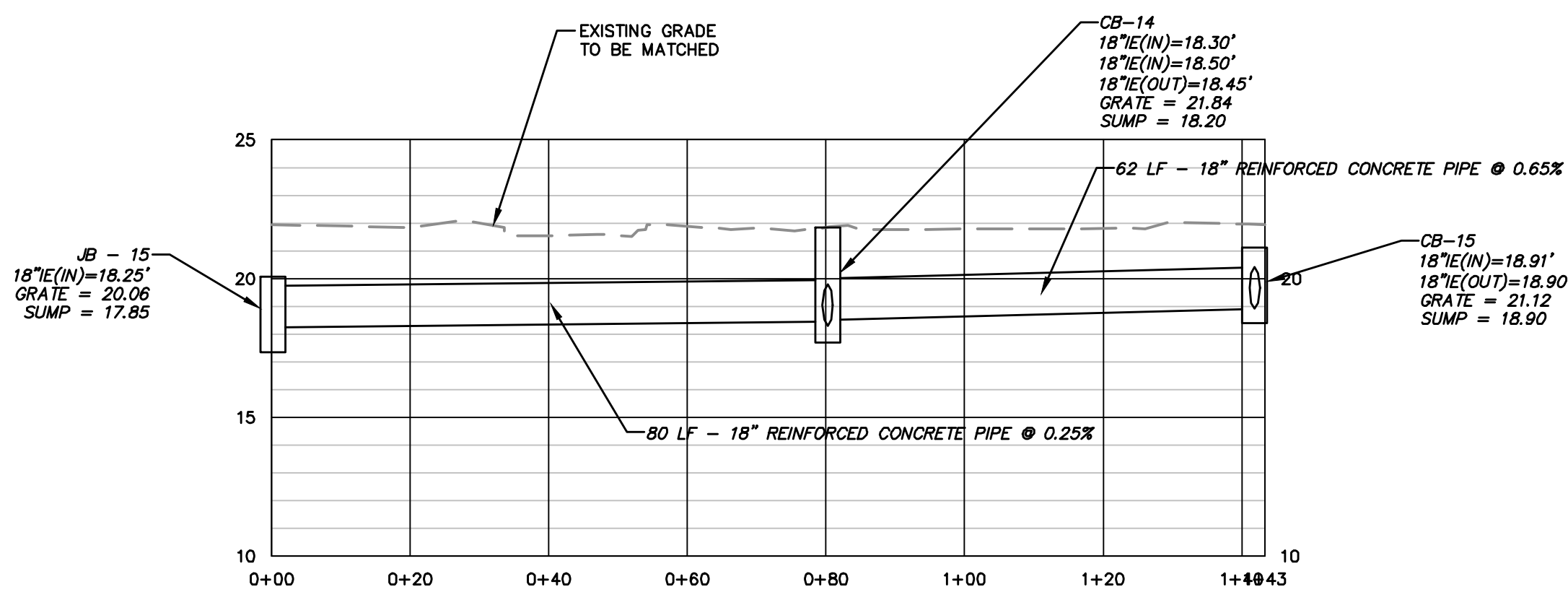
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PRITCHARD STREET  
STREETSCAPE

DRAINAGE PROFILES

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JOB No.	2021-0735
DRAWING No.	

C6.5  
Page 40



LEGEND:

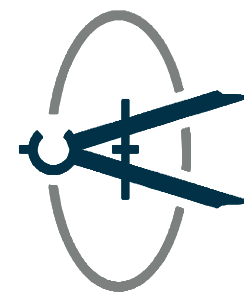
----- EXISTING GRADE

———— PROPOSED GRADE

--- 25Y HGL







PRELIMINARY  
NOT FOR CONSTRUCTION



2/28/2024

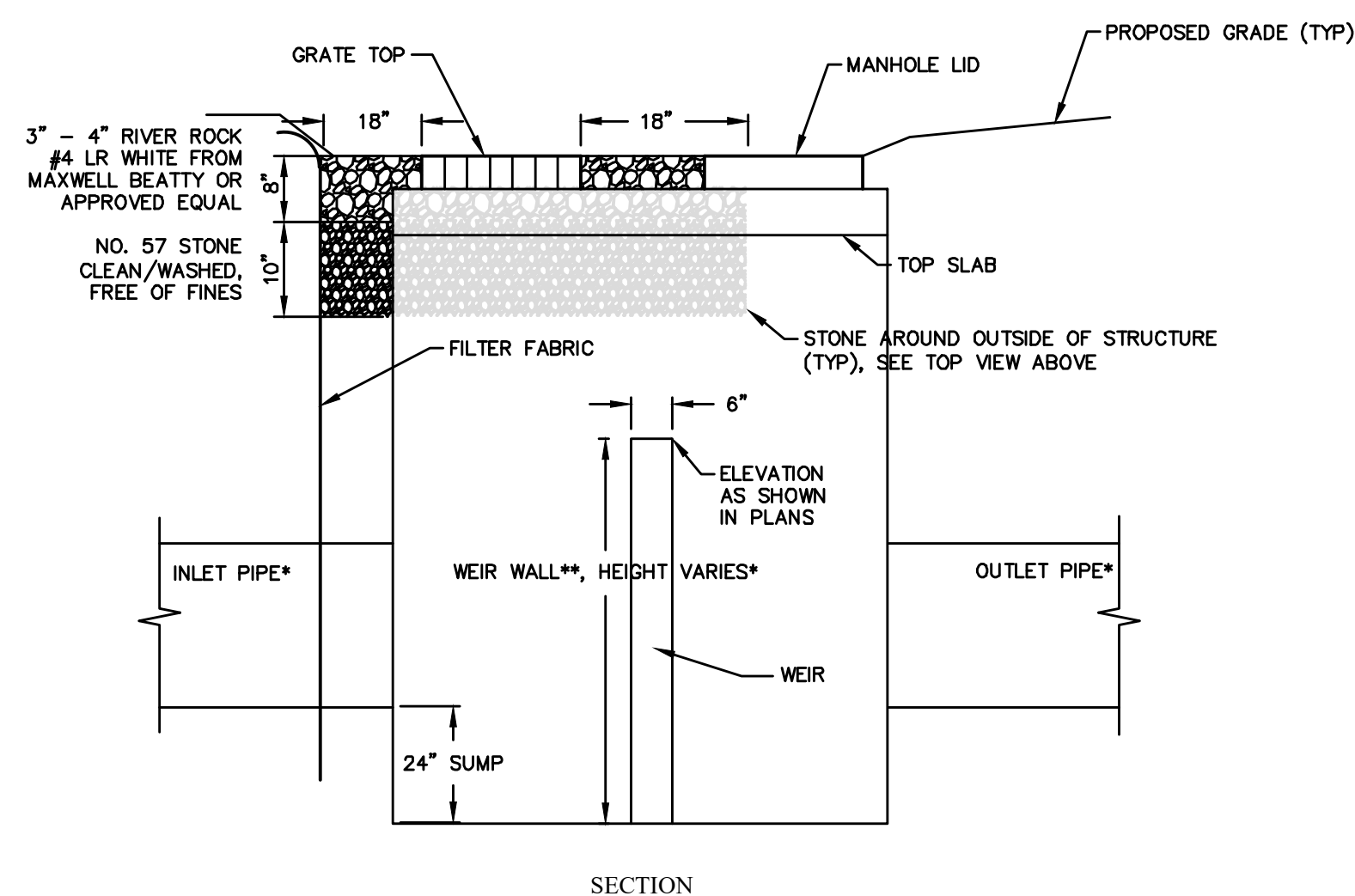
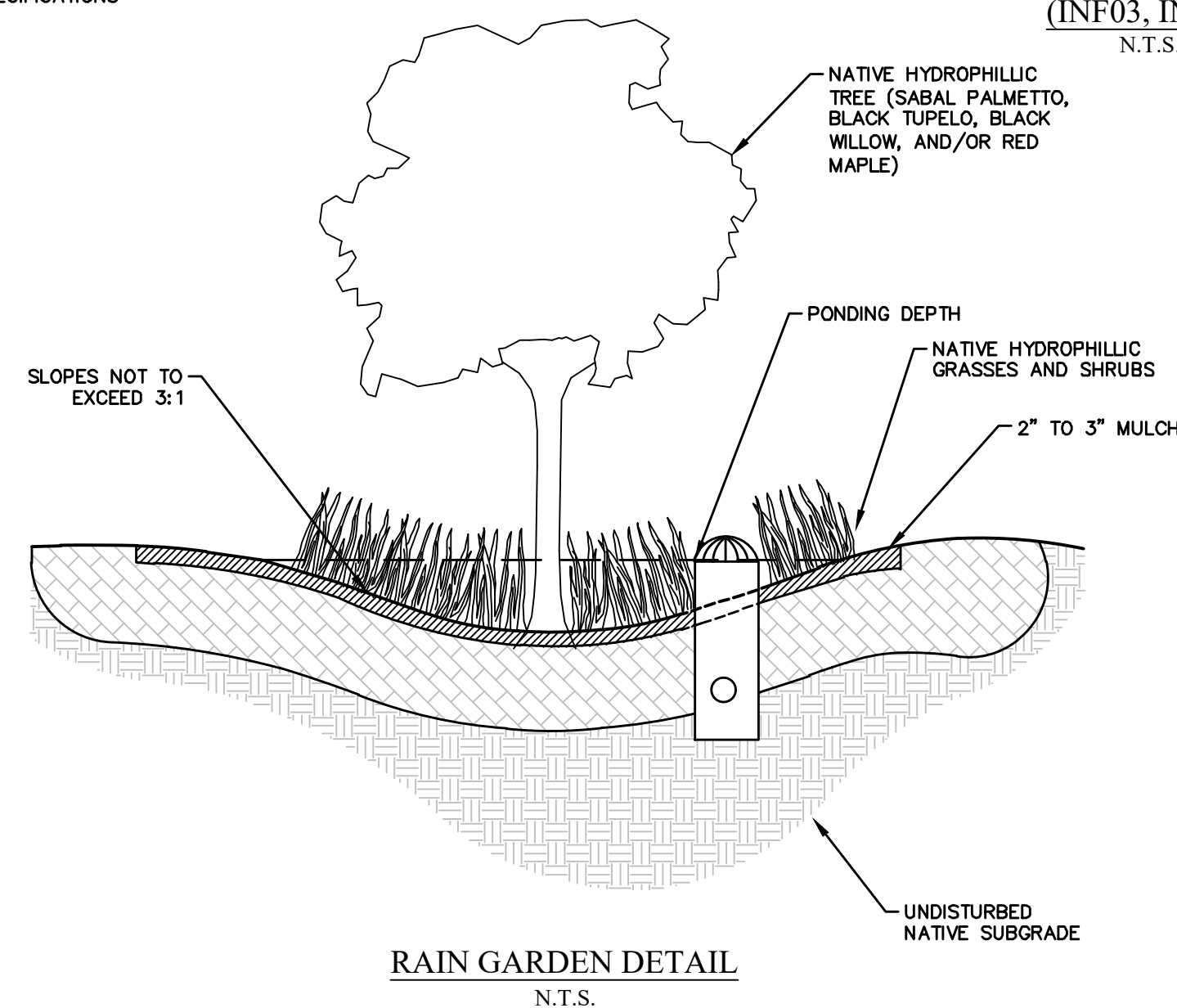
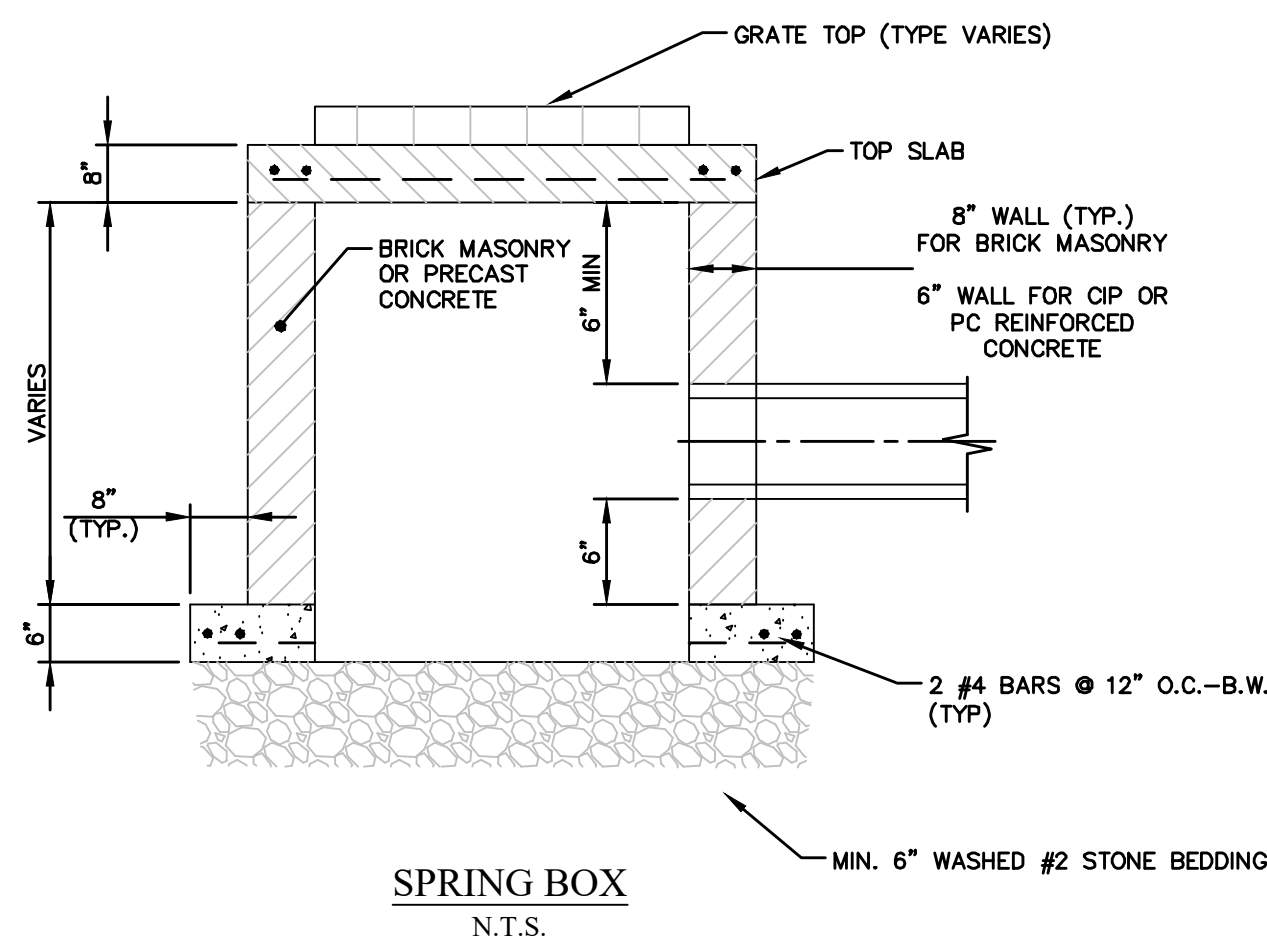
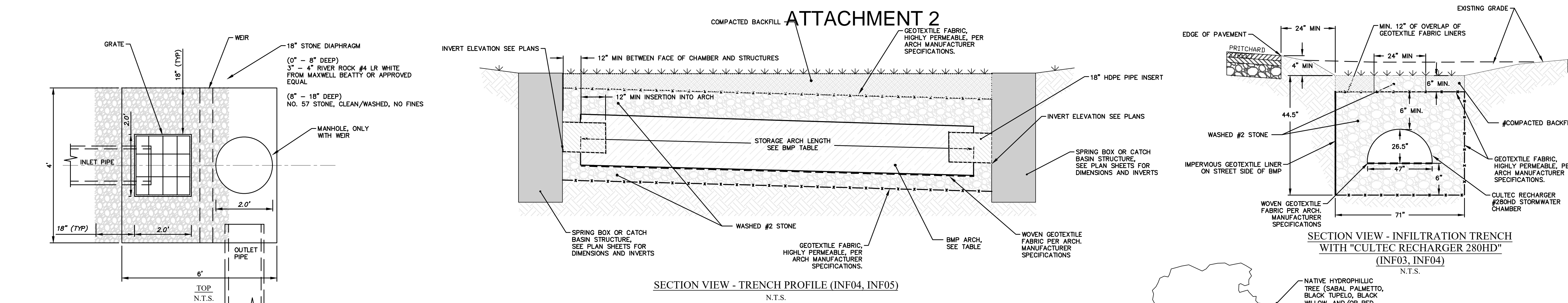
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STREETSCAPE

## DRAINAGE DETAILS

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SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

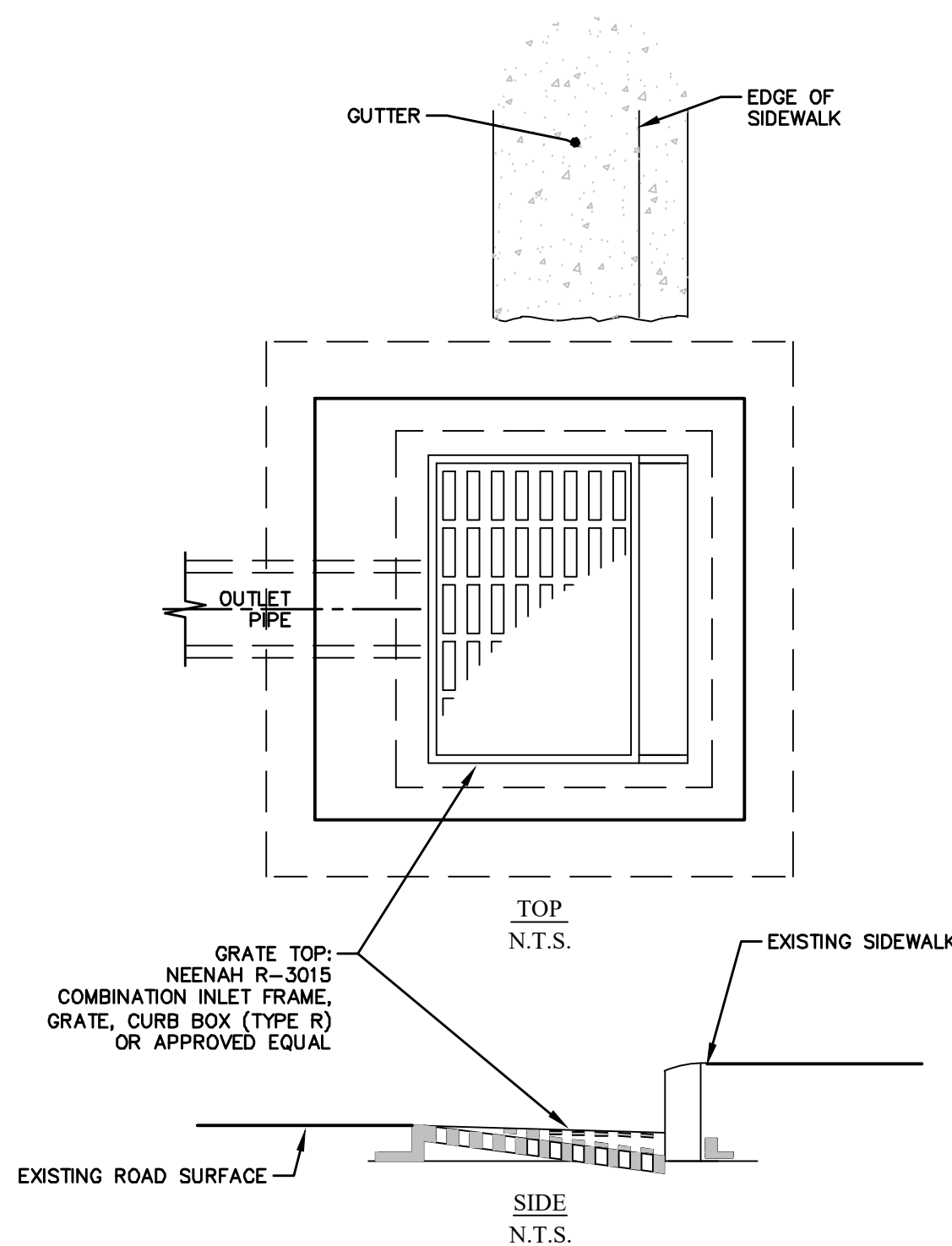
C6.6

ATTACHMENT 2



NOTE:  
1. TOP SLAB AND GRATE TO CONFORM WITH SCOD STANDARD DRAWING  
719-016-03 AND 719-025-04.  
2. CATCH BASIN STRUCTURE TO CONFORM TO SCOD STANDARD DRAWING  
719-009-01.  
\*REFERENCE PLANS FOR INVERTS AND ELEVATIONS  
\*\*CHANGES IN PIPE ELEVATIONS DURING CONSTRUCTION MAY REQUIRE CHANGES TO  
TOP OF WEIR ELEVATIONS AS COORDINATED AND APPROVED BY THE ENGINEER.  
CATCH BASIN STONE DIAPHRAGM DETAIL

STRUCTURE NAME	STRUCTURE TYPE	INLET TYPE	WIER
CB-6	CATCH BASIN	DIAPHRAGM & GRATE	19.60 FT
CB-8	CATCH BASIN	24" GRATE	N/A
CB-7	CATCH BASIN	COMBINATION INLET	N/A
SB-10	CATCH BASIN	24" GRATE	N/A
CB-5	CATCH BASIN	24" GRATE	N/A
CB-9	CATCH BASIN	24" GRATE	N/A
CB-11	CATCH BASIN	24" GRATE	21.25 FT
C1-01	CATCH BASIN	CURB INLET	N/A
CB-10	CATCH BASIN	COMBINATION INLET	N/A
CB-12	CATCH BASIN	24" GRATE	N/A
JB-05	OUTLET TO RG01	N/A	N/A
JB-15	OUTLET TO RG01	N/A	N/A
CB-14	CATCH BASIN	24" GRATE	N/A
CB-13	CATCH BASIN	COMBINATION INLET	N/A
CB-15	CATCH BASIN	24" GRATE	N/A
CB-16	CATCH BASIN	COMBINATION INLET	N/A
REFIT EXISTING STRUCTURE	CATCH BASIN	OUTLET CONTROL STRUCTURE	N/A



COMBINATION INLET DETAIL  
N.T.S.

BMP PIPE/ARCH TABLE			
NAME	TYPE	LENGTH	INVERTS
BMP INF01	N/A	N/A	N/A
BMP INF02	PERMEABLE PARKING & STORAGE	93 LF	18.25
BMP INF03	MANUFACTURED ARCH	275 LF	16.8
BMP INF04	MANUFACTURED ARCH	64 LF	16.8
BMP INF05	MANUFACTURED ARCH	189 LF	16.8

NOTE: HDPE PIPE CONNECTORS BETWEEN STRUCTURES AND MANUFACTURED ARCHES ARE OMITTED FROM THIS TABLE

## BMP MAINTENANCE ACTIVITIES NOTES

SCHEDULE	MAINTENANCE ACTIVITY
QUARTERLY	<ul style="list-style-type: none"> <li>• ENSURE THAT THE CONTRIBUTING DRAINAGE AREA, INLETS, AND FACILITY SURFACE ARE CLEAR OF DEBRIS.</li> <li>• ENSURE THAT THE CONTRIBUTING DRAINAGE AREA IS STABILIZED. PERFORM SPOT-RESEEDING IF WHERE NEEDED.</li> <li>• REMOVE SEDIMENT AND OIL/GREASE FROM INLETS, PRETREATMENT DEVICES, FLOW DIVERSION STRUCTURES, AND OVERFLOW STRUCTURES.</li> <li>• REPAIR UNDERCUT AND ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES.</li> </ul> SEMI-ANNUAL INSPECTION
SEMI-ANNUAL	<ul style="list-style-type: none"> <li>• CHECK OBSERVATION WELLS 3 DAYS AFTER A STORM EVENT IN EXCESS OF 1/2 INCH IN DEPTH. STANDING WATER OBSERVED IN THE WELL AFTER THREE DAYS IS A CLEAR INDICATION OF CLOGGING.</li> <li>• INSPECT PRETREATMENT CELLS, INLETS LEADING TO INFILTRATION BMPS, AND DIVERSION STRUCTURES FOR SEDIMENT AND STRUCTURAL DAMAGE. CLEAN OUT ACCUMULATED SEDIMENT AS NEEDED.</li> </ul>
ANNUALLY	<ul style="list-style-type: none"> <li>• CLEAN OUT ACCUMULATED SEDIMENT FROM THE PRETREATMENT CELLS AND INLETS AS NEEDED</li> </ul>
AS NEEDED	<ul style="list-style-type: none"> <li>• REPLACE PEA GRAVEL/TOPSOIL AND TOP SURFACE GEOTEXTILE FABRIC (WHEN CLOGGED).</li> <li>• MOW VEGETATED FILTER STRIPS AS NECESSARY AND REMOVE THE CLIPPINGS</li> </ul>

## BMP INSPECTION NOTES

INFILTRATION SYSTEMS AND BIORETENTION AREAS SHALL BE INSPECTED AT THE FOLLOWING STAGES TO ENSURE PROPER PLACEMENT AND ALLOW FOR INFILTRATION

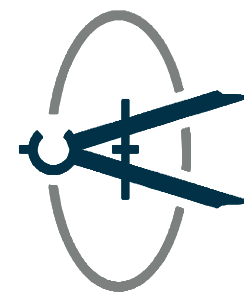
- DURING ON-SITE OR OFF-SITE PERCOLATION OR INFILTRATION TESTS; UPON COMPLETION OF STRIPPING, STOCKPILING, OR CONSTRUCTION OF TEMPORARY SEDIMENT CONTROL AND DRAINAGE FACILITIES;
- UPON COMPLETION OF EXCAVATION TO THE SUBGRADE;
- THROUGHOUT THE PLACEMENT OF PERFORATED PVC/HDPE PIPES (FOR UNDERDRAINS AND OBSERVATION WELLS) INCLUDING BYPASS PIPES (WHERE APPLICABLE), GEOTEXTILE MATERIALS, GRAVEL, OR CRUSHED STONE COURSE; AND BACKFILL;
- UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.



South Carolina 811  
Call 811 Before You Dig

G:\PROJECTS\2021\0735 PRITCHARD STREET DRAINAGE IMPROVEMENTS\AC-DRAWINGS\CIVIL\2021-0735 PRITCHARD STREET STREETSCAPE STORM DWG 2/28/2024 4:32 PM





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2/28/2024

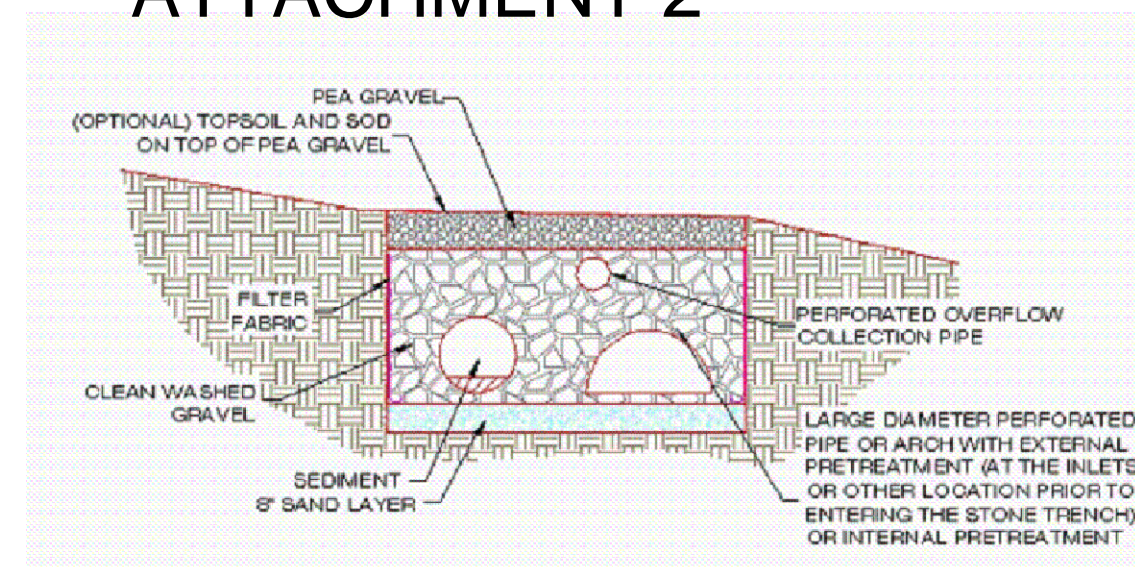
[illegible]PRITCHARD STREET  
STREETSCAPE

## DRAINAGE DETAILS

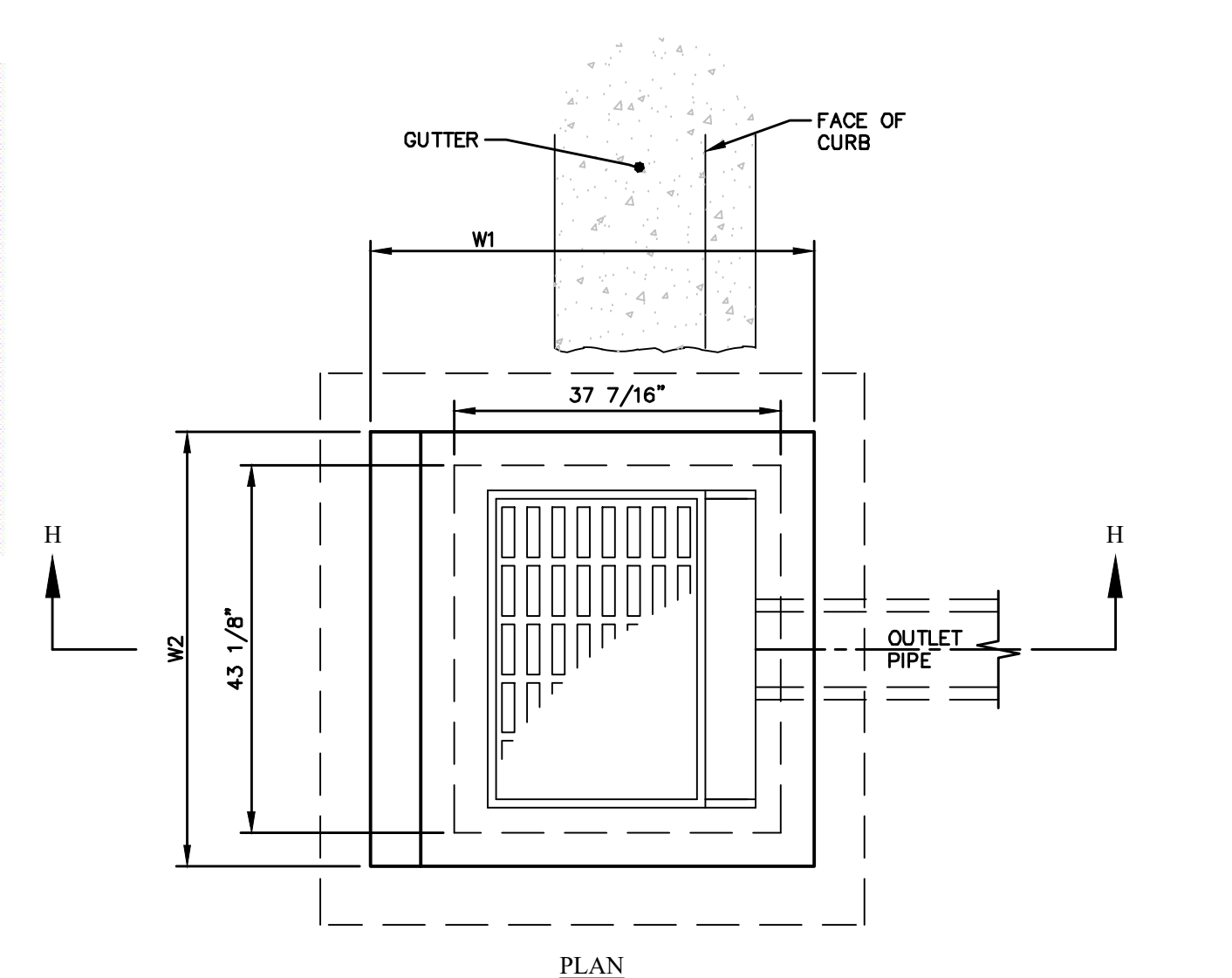
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DRAWING No.	

C6.7

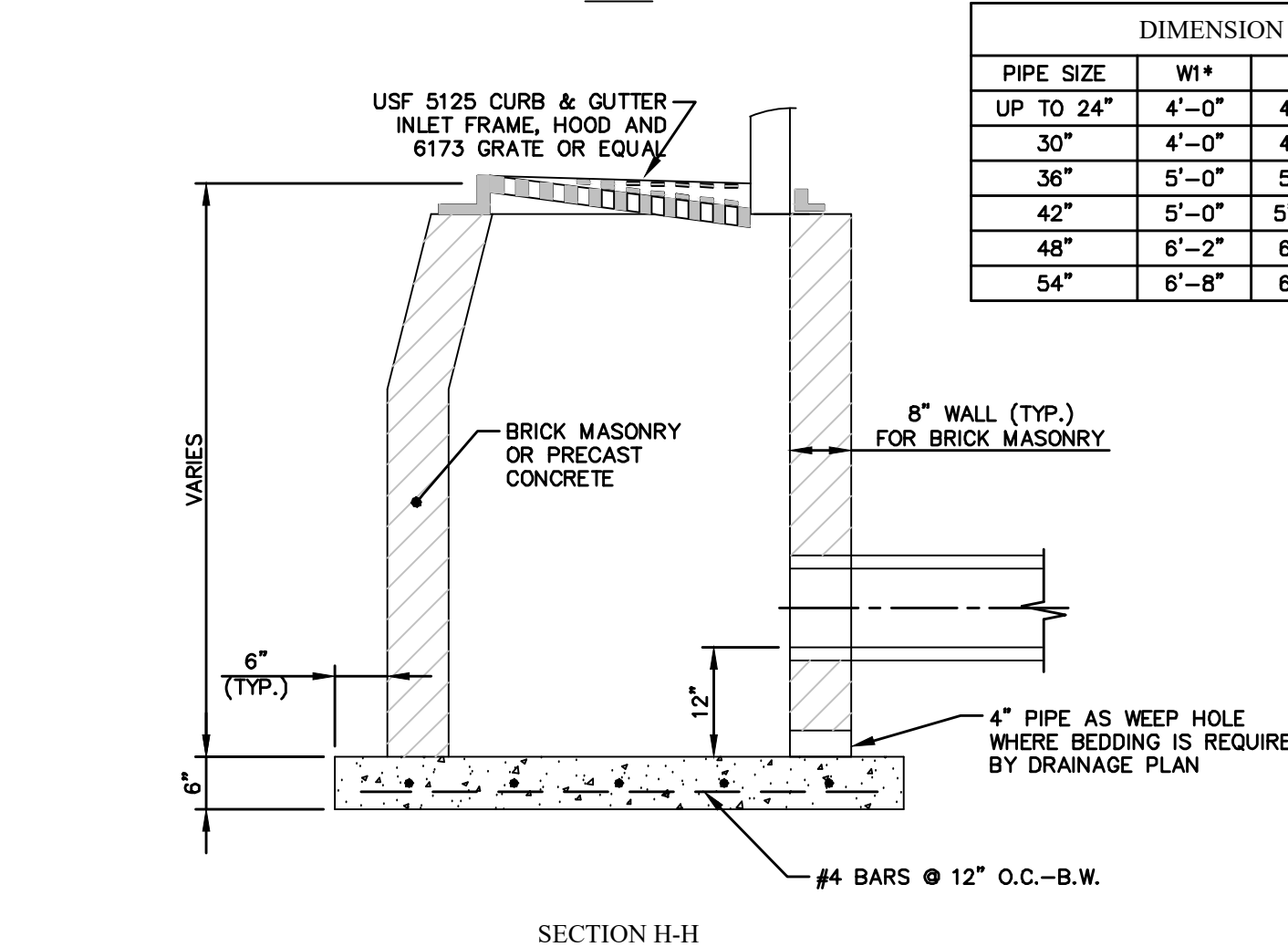
## ATTACHMENT 2



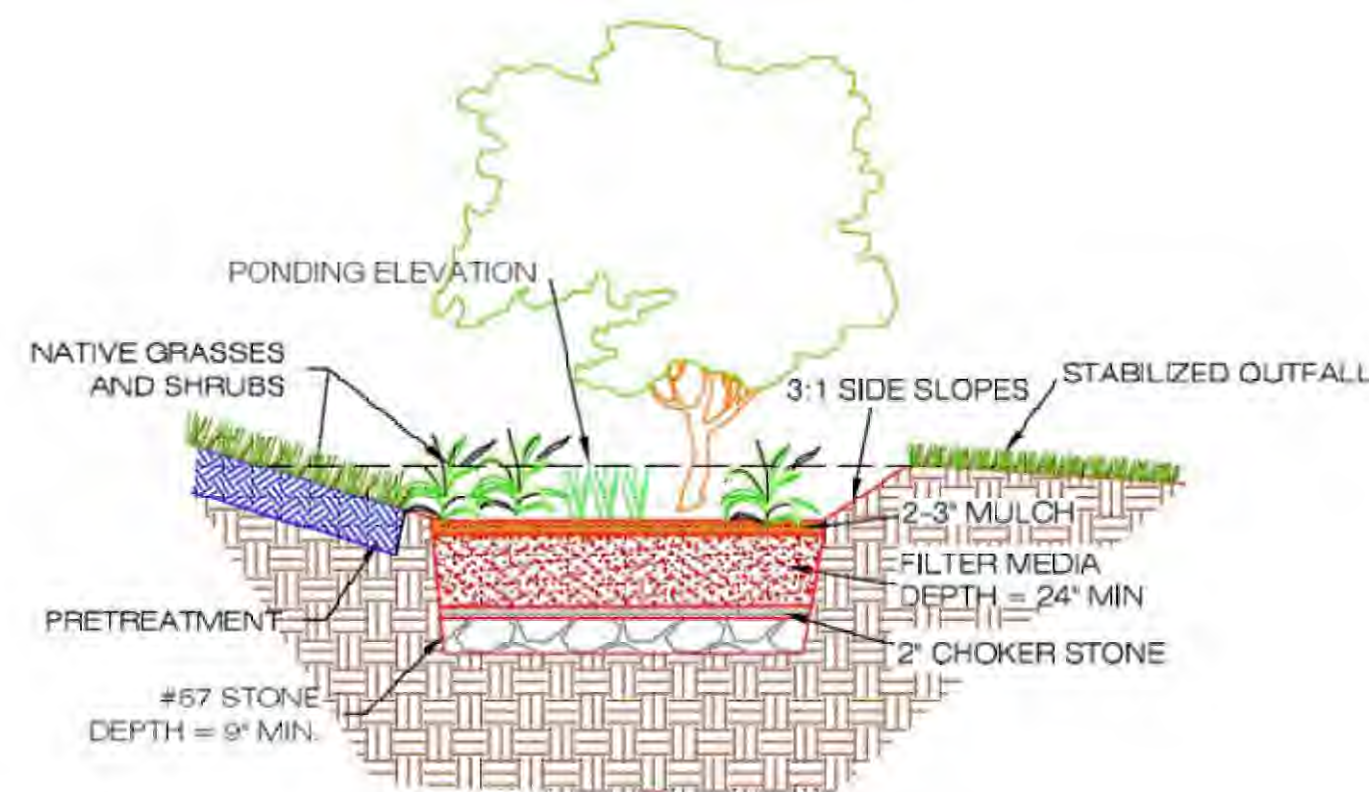
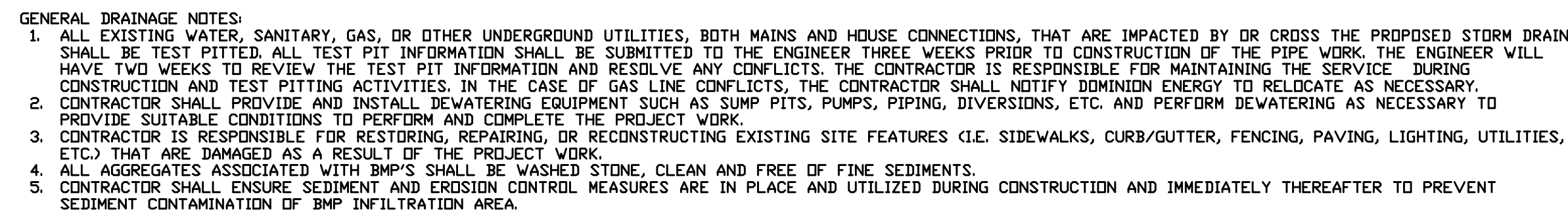
INFILTRATION/FILTER SWALE EXAMPLE  
(DETAIL FROM SO.LO.CO. STORMWATER MANUAL)



PIPE SIZE	W1*	W2*	MIN. "D"	SLAB "T"
UP TO 24"	4'-0"	4'-0"	4'-0"	6"
30"	4'-0"	4'-6"	4'-6"	10"
36"	5'-0"	5'-0"	5'-0"	12"
42"	5'-0"	5'-10"	5'-6"	12"
48"	6'-2"	6'-4"	6'-0"	12"
54"	6'-8"	6'-8"	6'-6"	12"



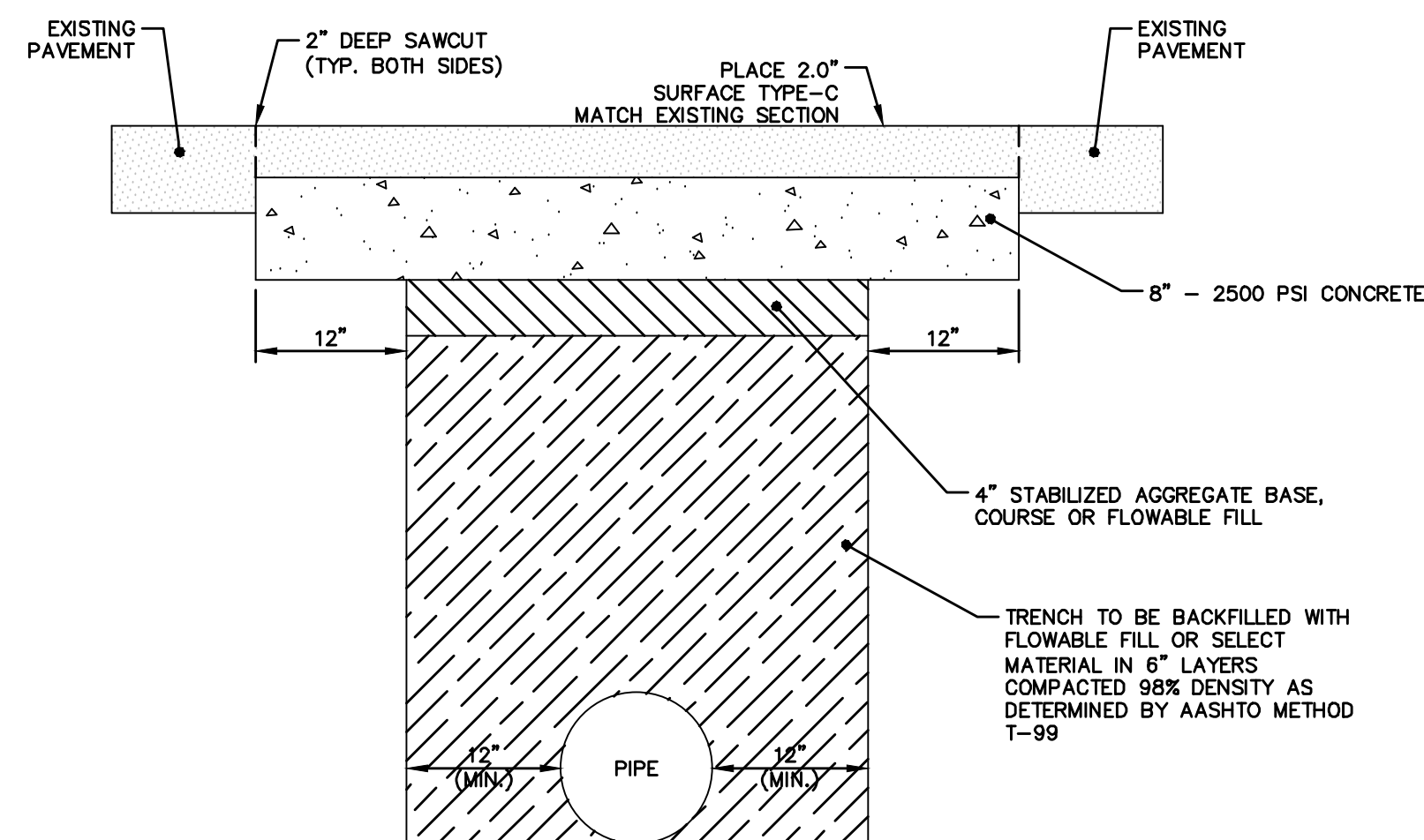
HOOD BACK TRAP  
N.T.S.



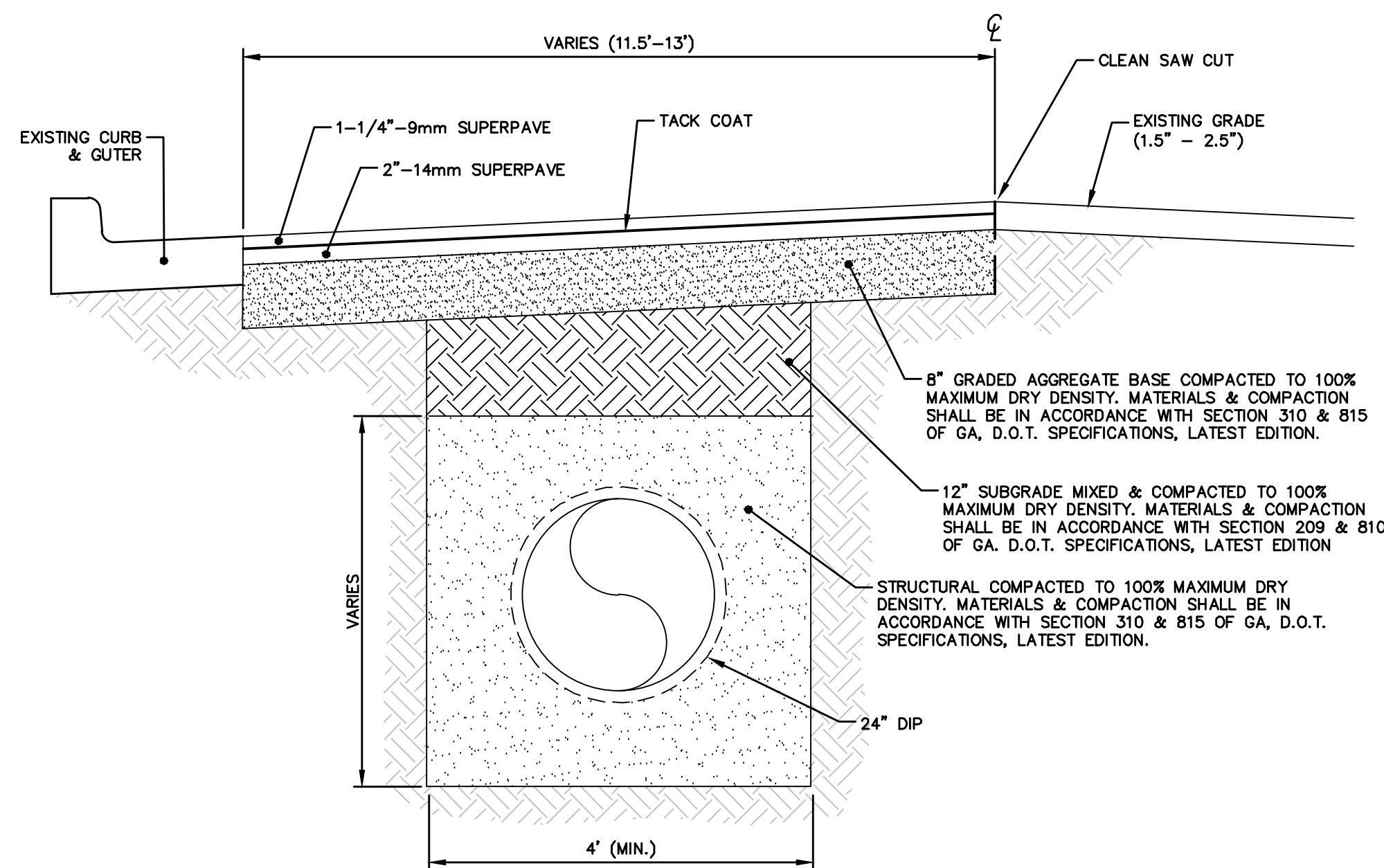
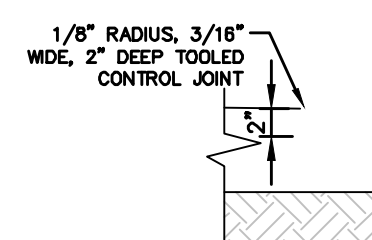
RAINGARDEN SECTION DETAIL

N.T.S.

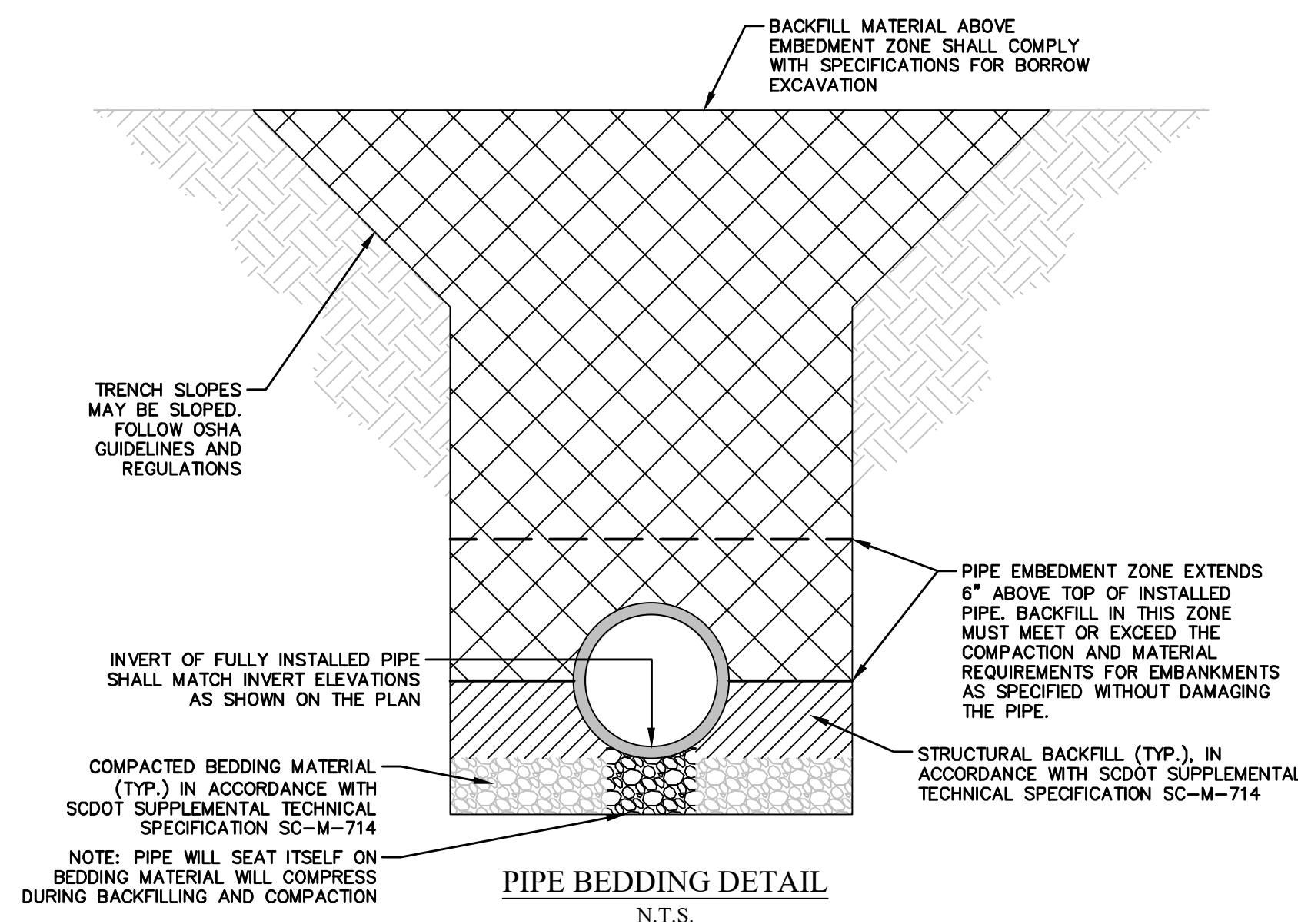
DETAIL FROM SOUTHERN  
LOWCOUNTRY STORMWATER DESIGN  
MANUAL



ASPHALT PAVEMENT CUT & PATCH DETAIL  
N.T.S.

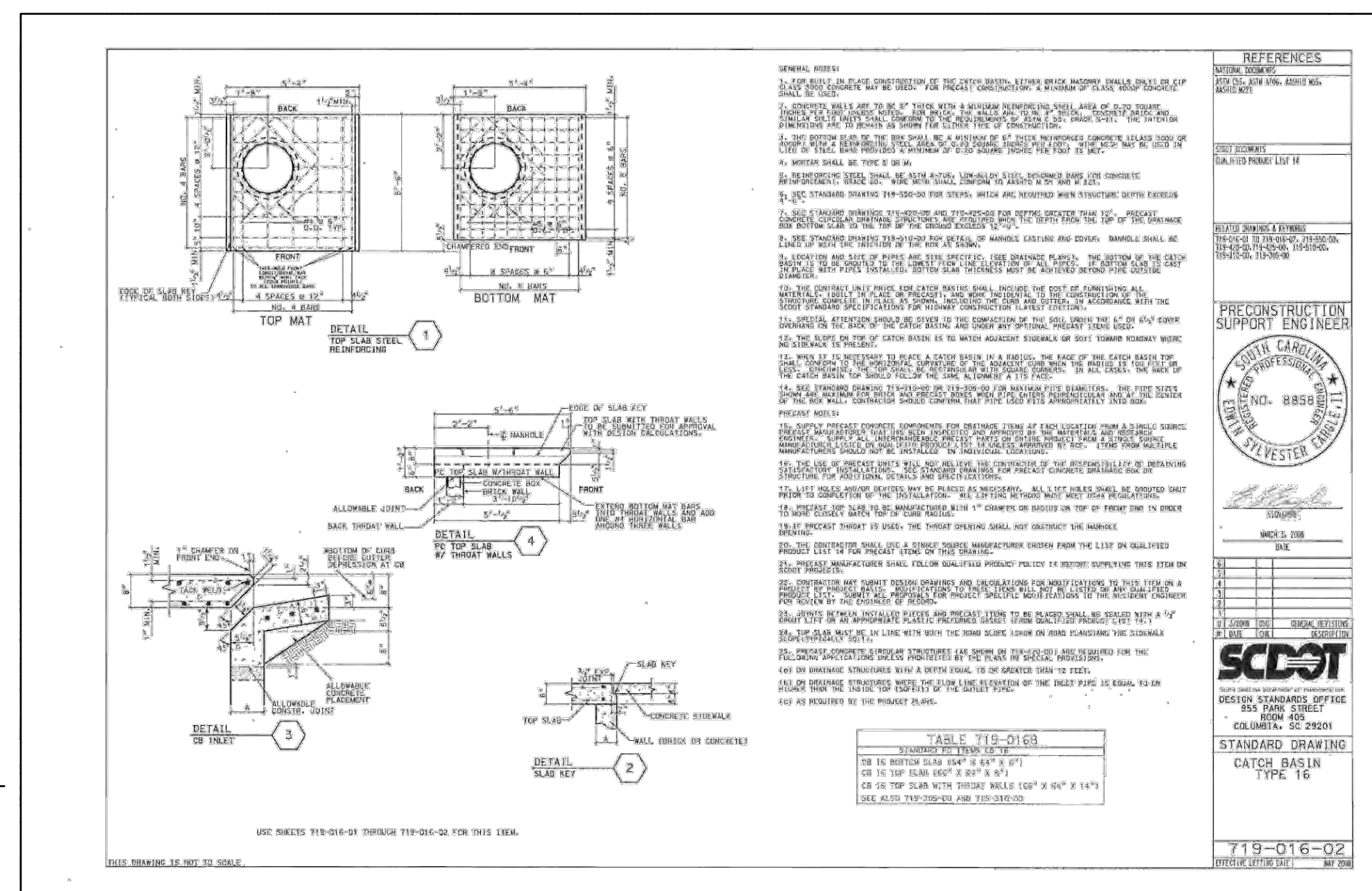


SINGLE LANE FULL DEPTH REPLACEMENT  
N.T.S

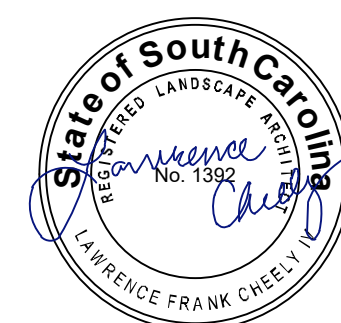


PIPE BEDDING DETAIL

N.T.S.





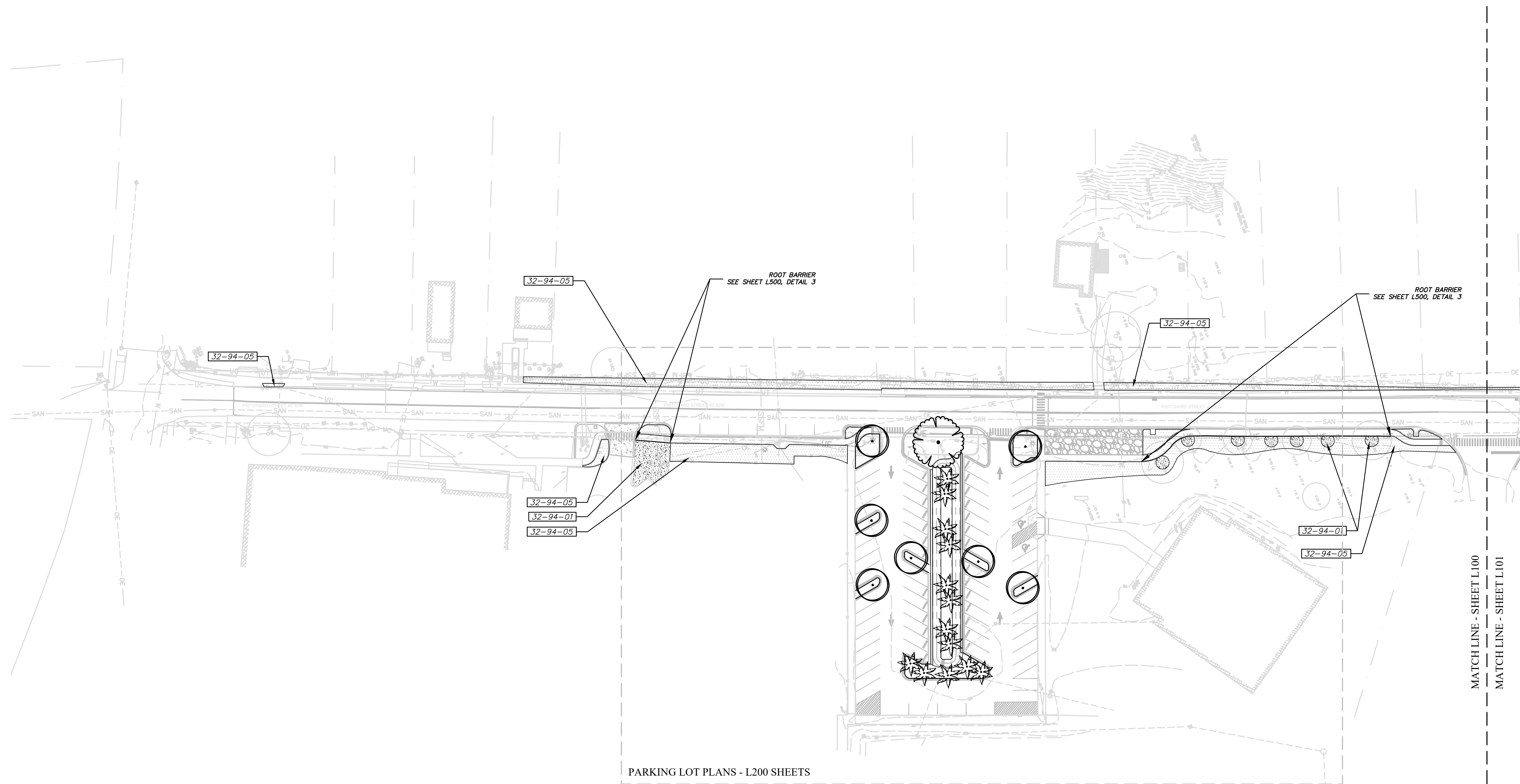
[illegible]PRITCHARD STREET  
STREETSCAPE

LANDSCAPE PLAN SHEET 1 OF 2

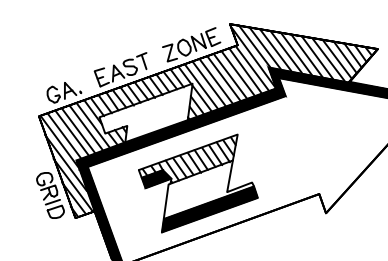
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JOB No.	2021-0735
DRAWING No.	

L100

## ATTACHMENT 2



REFERENCE NOTES SCHEDULE ROW			
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
<u>32-94-01</u>	Mulch, Hardwood	38.44 cy	2/L500
<u>32-94-02</u>	Root Barrier	325 lf	3/L500
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
<u>32-94-05</u>	Sod-Zoysia	17,530 sf	1/L500



**PLAN**

HORIZONTAL SCALE 1"=40'

40 20 0 40 80

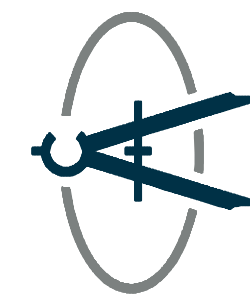
20 40 60 80

SCALE IN FEET





## ATTACHMENT 2



# CRANSTON

[illegible]PRITCHARD STREET  
STREETSCAPE

LANDSCAPE PLAN SHEET 2 OF 2

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JOB No.	2021-0735
DRAWING No.	

L101

REFERENCE NOTES SCHEDULE ROW			
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
<u>32-94-01</u>	Mulch, Hardwood	38.44 cy	2/L500
<u>32-94-02</u>	Root Barrier	325 lf	3/L500
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
<u>32-94-05</u>	Sod-Zoysia	17,530 sf	1/L500

MATCH LINE - SHEET L100  
-----  
MATCH LINE - SHEET L101

ROOT BARRIER -  
SEE SHEET L500, DETAIL 3

32-94-05

32-94-01

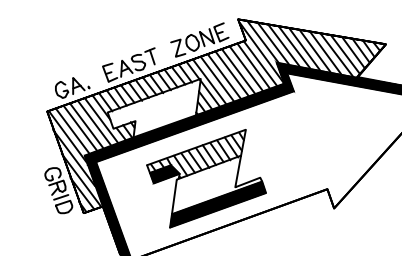
32-94-05

32-94-01

SEE SHEET L500, DETAIL 3

— SEE SHEET L500, DETAIL 3





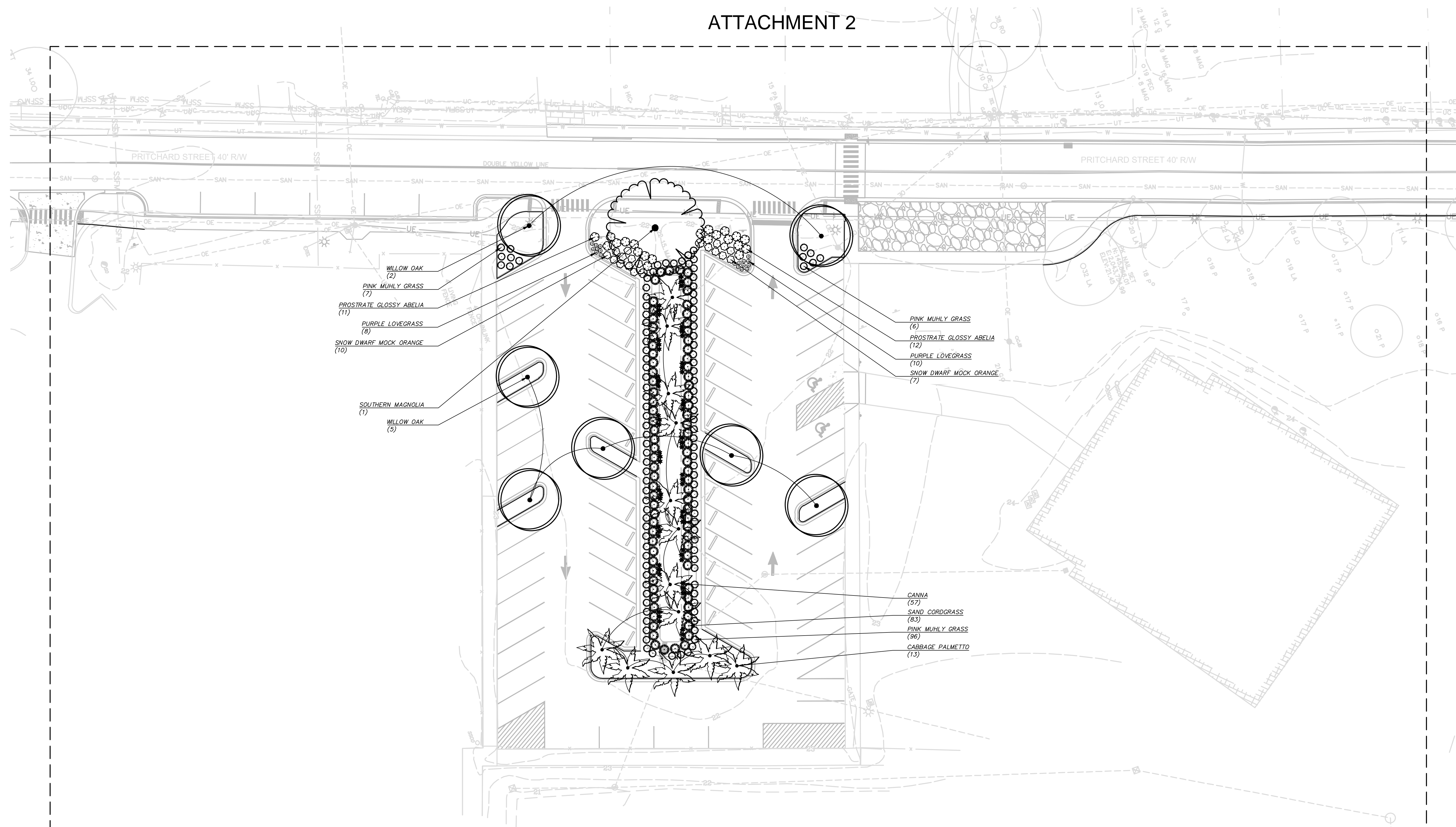




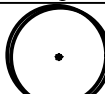






[illegible]PRITCHARD STREET  
STREETSCAPELANDSCAPE PLAN -  
PARKING LOT

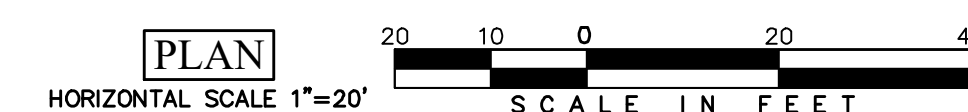
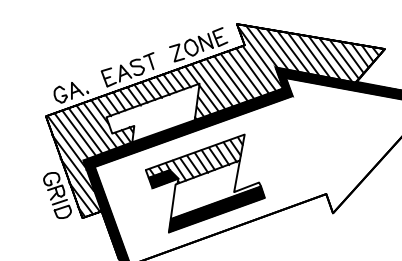
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L200

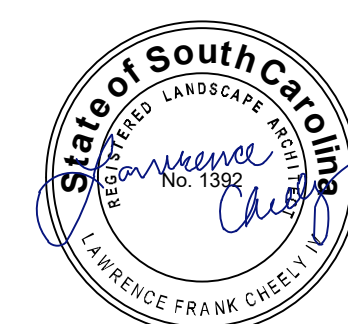
ATTACHMENT 2



PLANT SCHEDULE PARKING LOT							
SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL.	HEIGHT	
<b>TREES</b>							
	13	Cabbage Palmetto	Sabal palmetto	B & B	2.5" Cal	12'	
	1	Southern Magnolia	Magnolia grandiflora	Existing			
	7	Willow Oak	Quercus phellos	B & B	3"Cal	12'	
<b>SYMBOL</b>	<b>QTY</b>	<b>COMMON NAME</b>	<b>BOTANICAL NAME</b>	<b>SIZE</b>	<b>HT.</b>	<b>SPREAD</b>	<b>SPACING</b>
<b>SHRUBS</b>							
	57	Canna	Canna x generalis	3 gal	3'	2'	24" o.c.
	109	Pink Muhly Grass	Muhlenbergia capillaris	3 gal	3'	2'	36" o.c.
	23	Prostrate Glossy Abelia	Abelia x grandiflora "Prostrata"	3 gal	2'	3'	42" o.c.
	18	Purple Lovegrass	Eragrostis spectabilis	1 gal	2'	2'	18" o.c.
	83	Sand Cordgrass	Spartina bakeri	3 gal	3'	2'	48" o.c.
	17	Snow Dwarf Mock Orange	Philadelphus x 'Snow Dwarf'	3 gal	3'	2'	36" o.c.



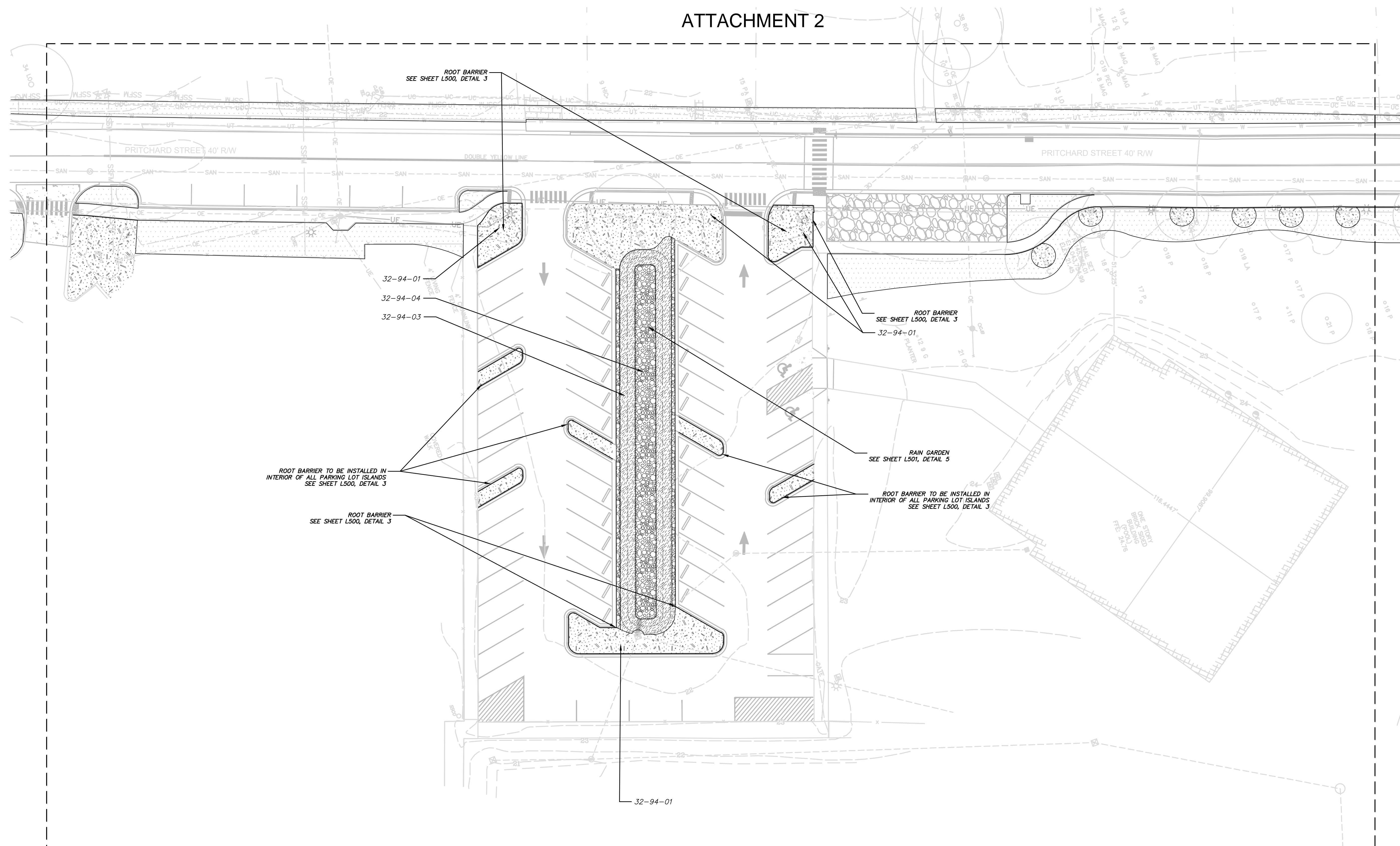


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STREETSCAPEMATERIALS PLAN  
- PARKING LOT

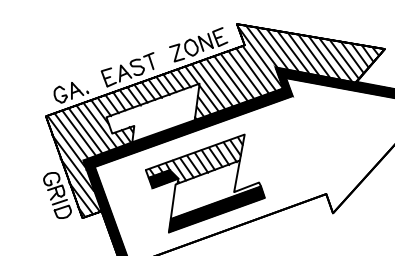
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CHECKED BY:	LNA
APPROVED BY:	LFC
DATE:	2/28/2024
SCALE:	1" = 20'
JOB No.	2021-0735
DRAWING No.	

L201

ATTACHMENT 2



REFERENCE NOTES SCHEDULE PARKING LOT			
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
	<u>32-94-01</u> Mulch, Hardwood	61.84 cy	2/L500
	<u>32-94-02</u> Root Barrier	519 lf	3/L500
	<u>32-94-03</u> Hardwood Double Shredded Bark Mulch - Rain Garden	27.12 cy	5/L501
	<u>32-94-04</u> River Rock (4"-6" Diameter) - Rain Garden	64.13 cy	5/L501



**PLAN**

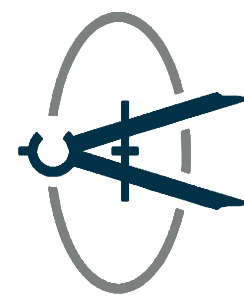
HORIZONTAL SCALE 1"=20'

20 10 0 20 40

SCALE IN FEET

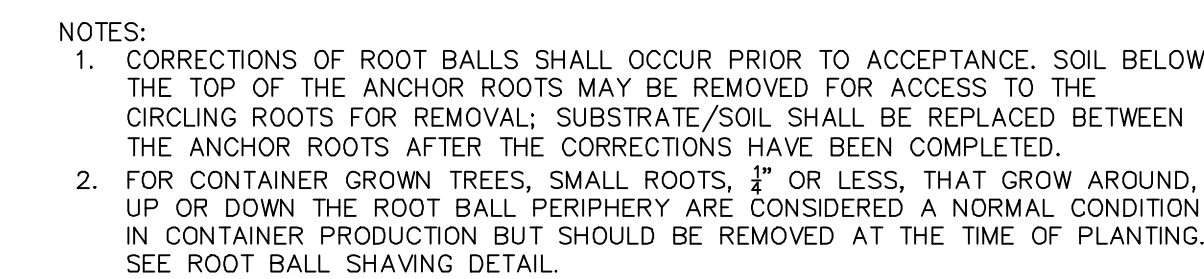
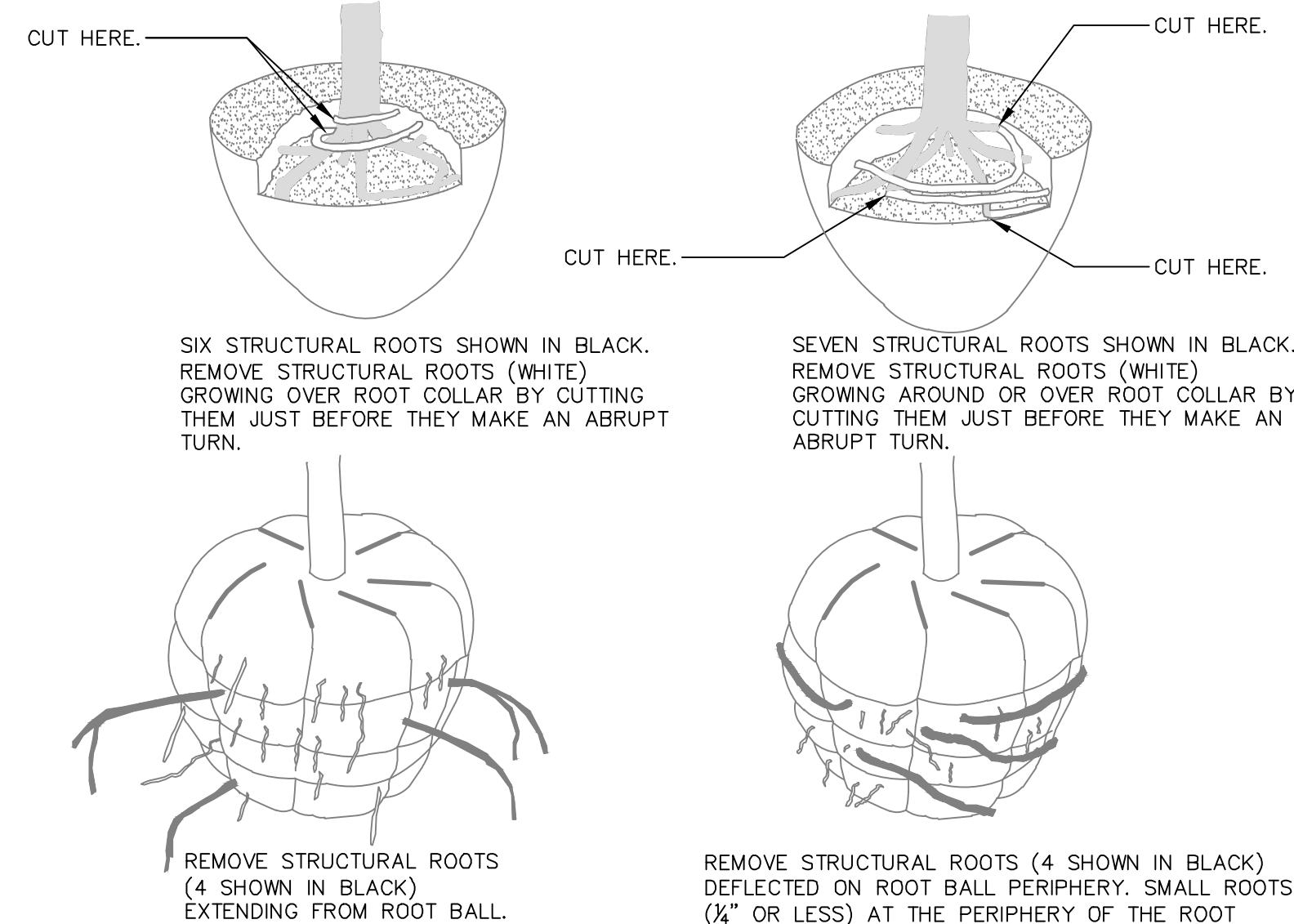
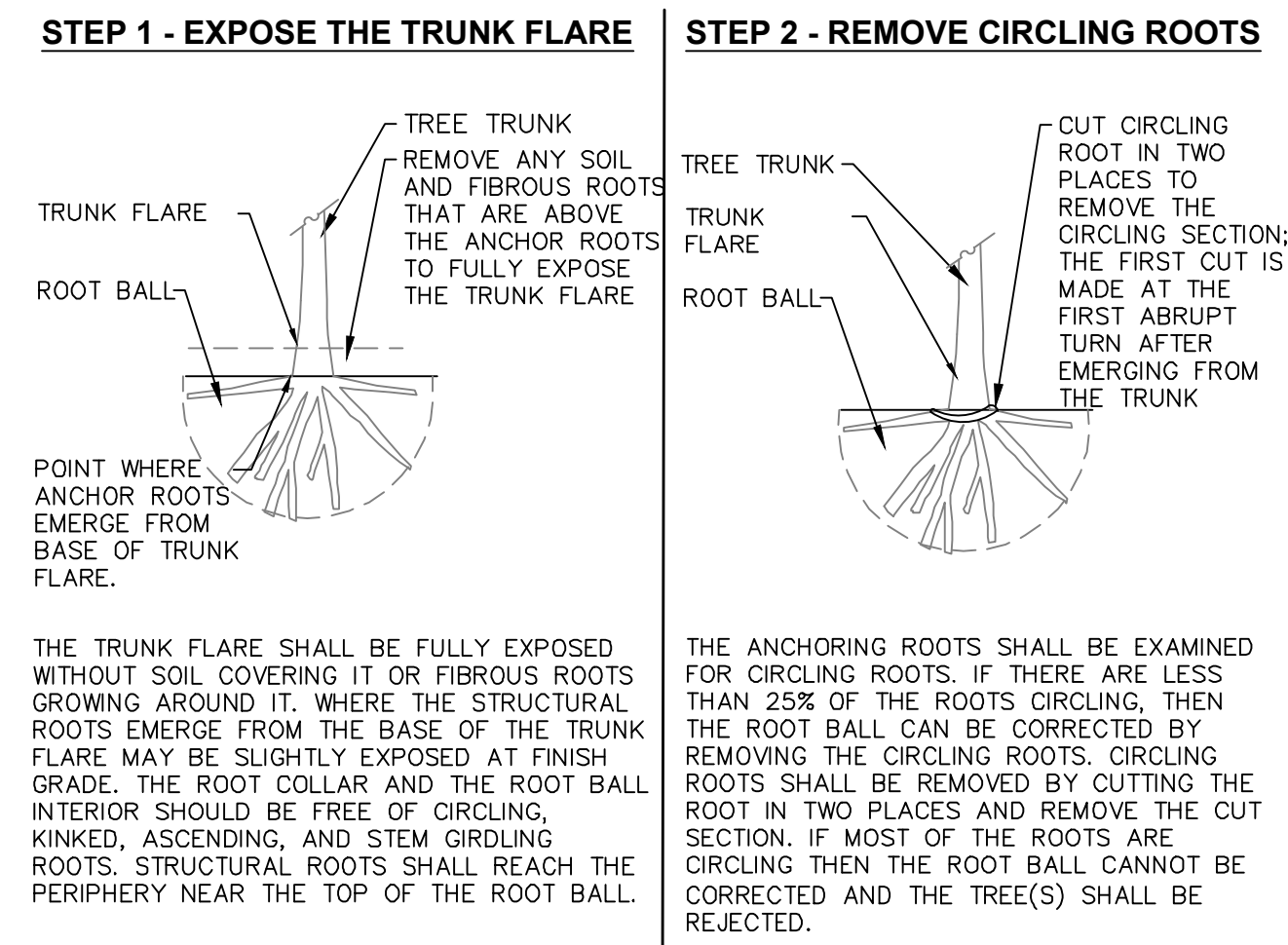
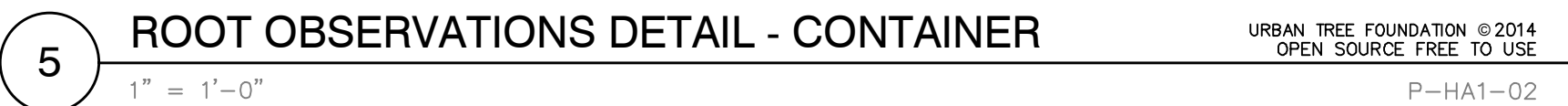
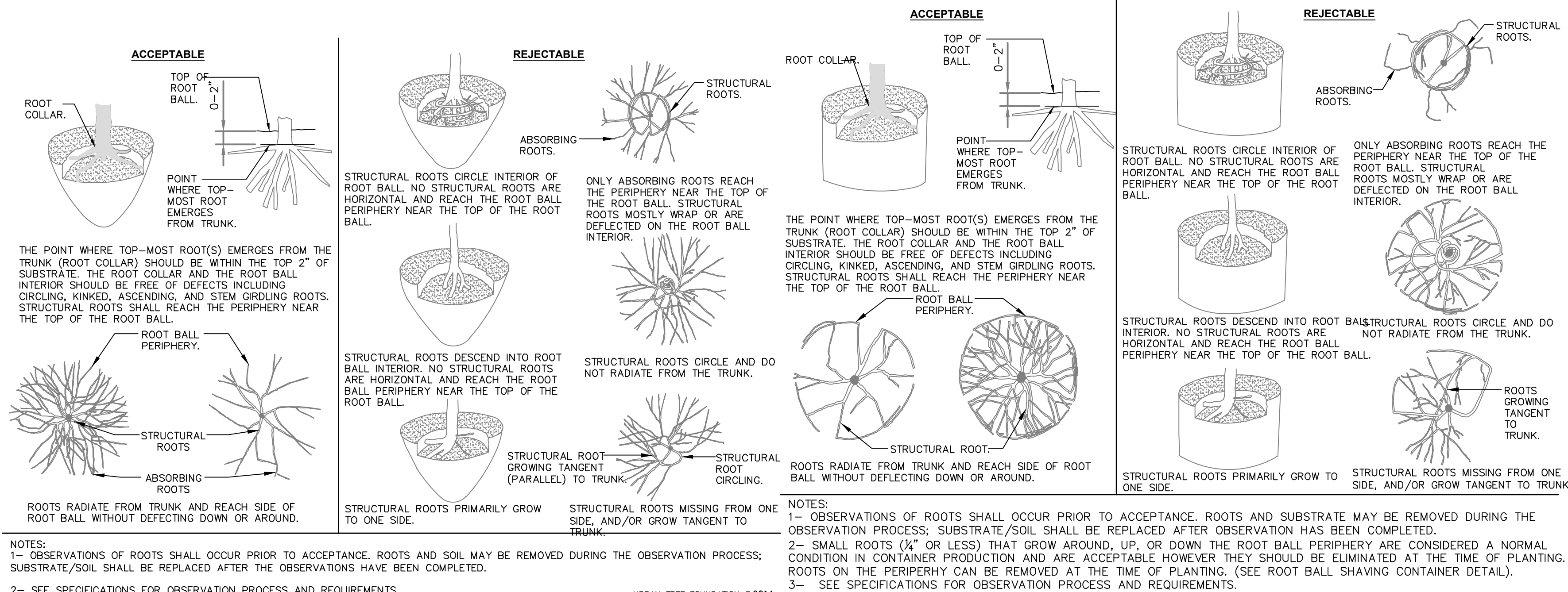
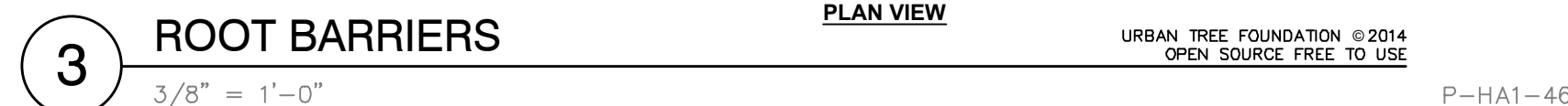
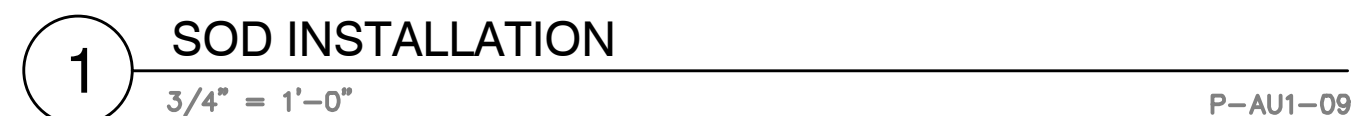
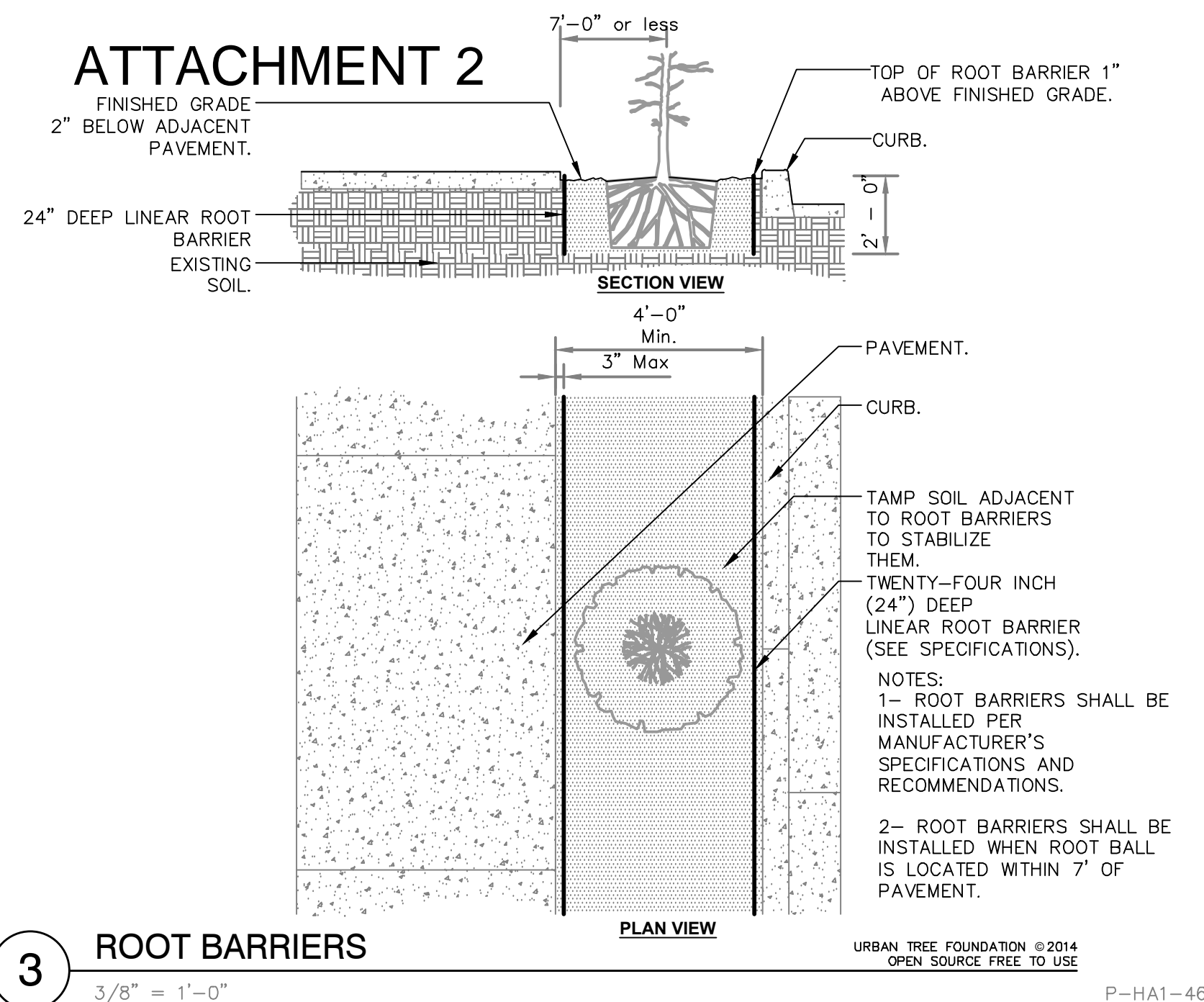
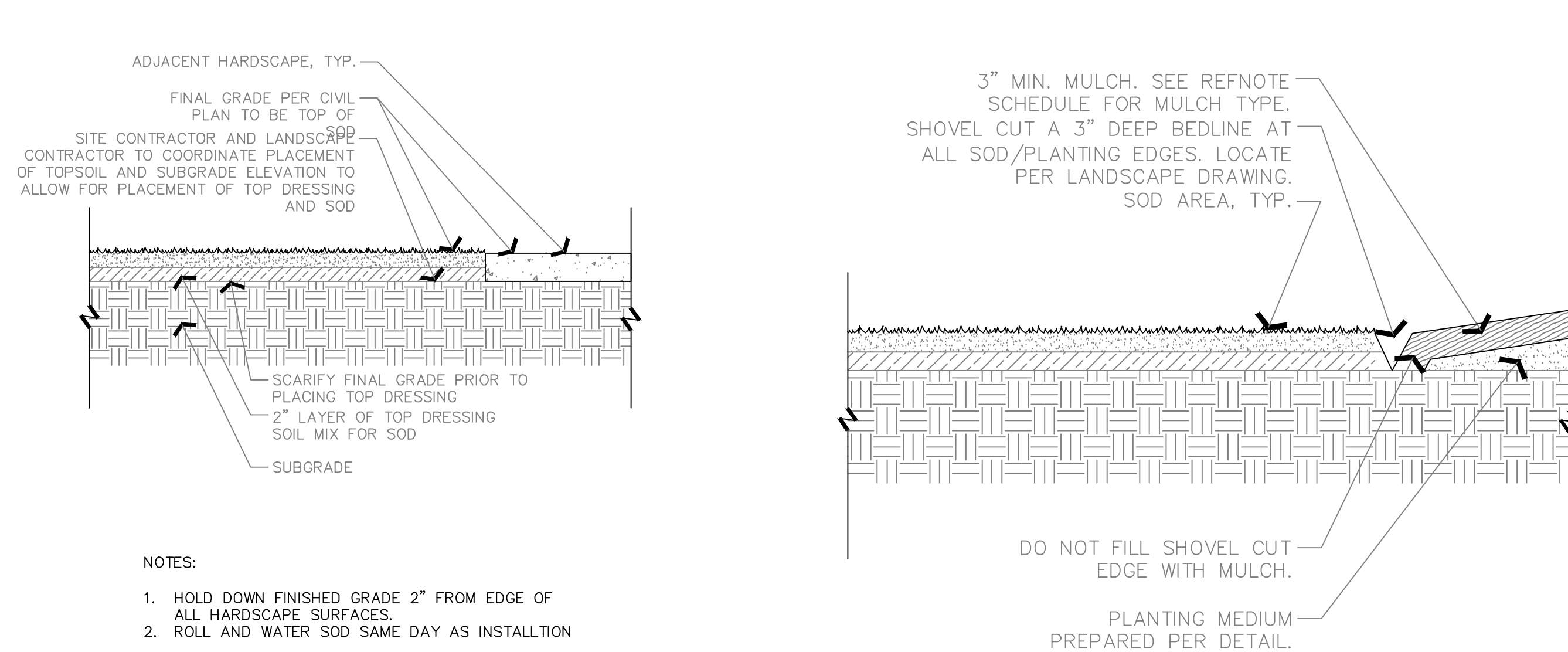




[illegible]PRITCHARD STREET  
STREETSCAPELANDSCAPE DETAILS  
SHEET 1 OF 2

DRAWN BY:	LNA
CHECKED BY:	LNA
APPROVED BY:	LFC
DATE:	2/28/2024
SCALE:	AS SHOWN
JOB No.	2021-0735
DRAWING No.	

L500



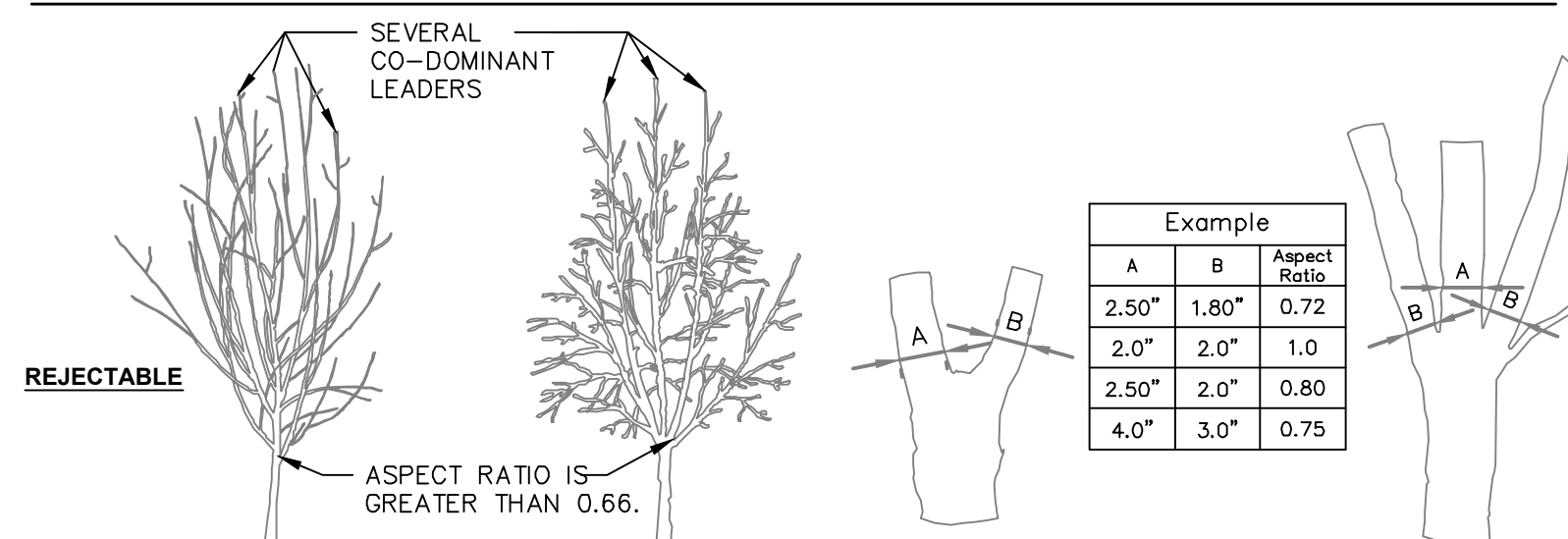
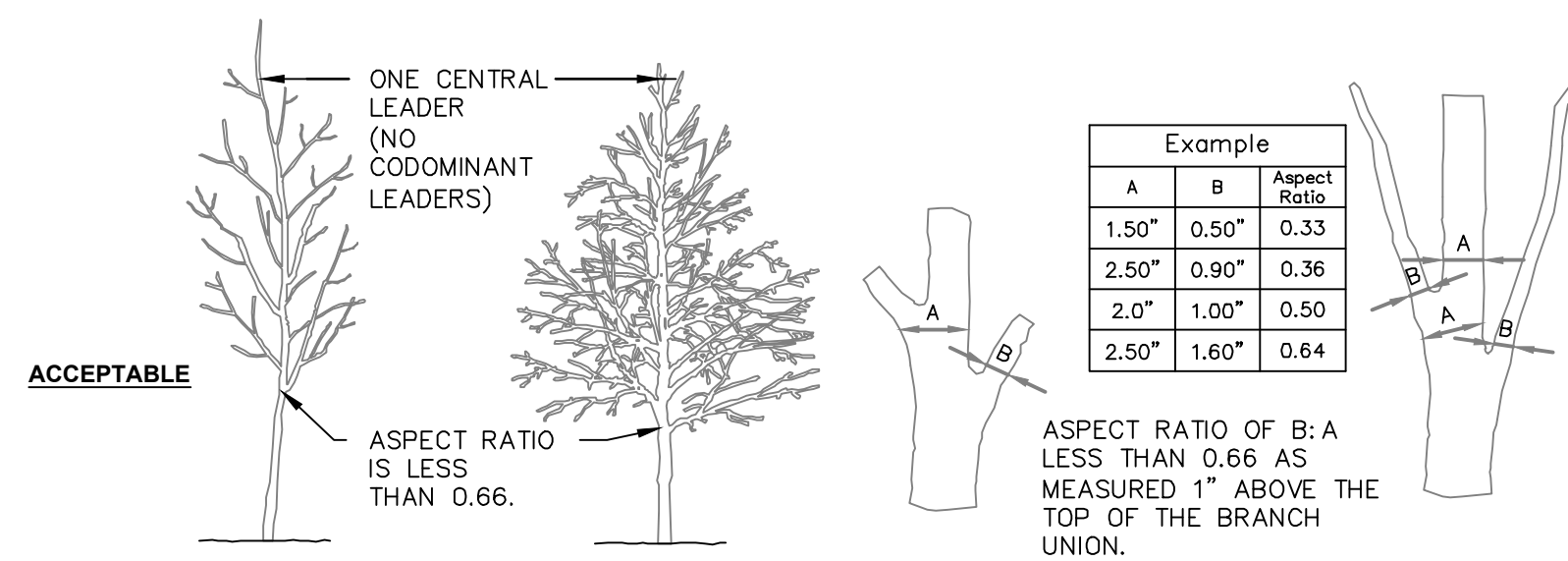


[illegible]PRITCHARD STREET  
STREETSCAPELANDSCAPE DETAILS  
SHEET 2 OF 2

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CHECKED BY:	LNA
APPROVED BY:	LFC
DATE:	2/28/2024
SCALE:	AS SHOWN
JOB No.	2021-0735
DRAWING No.	

L501

# ATTACHMENT 2



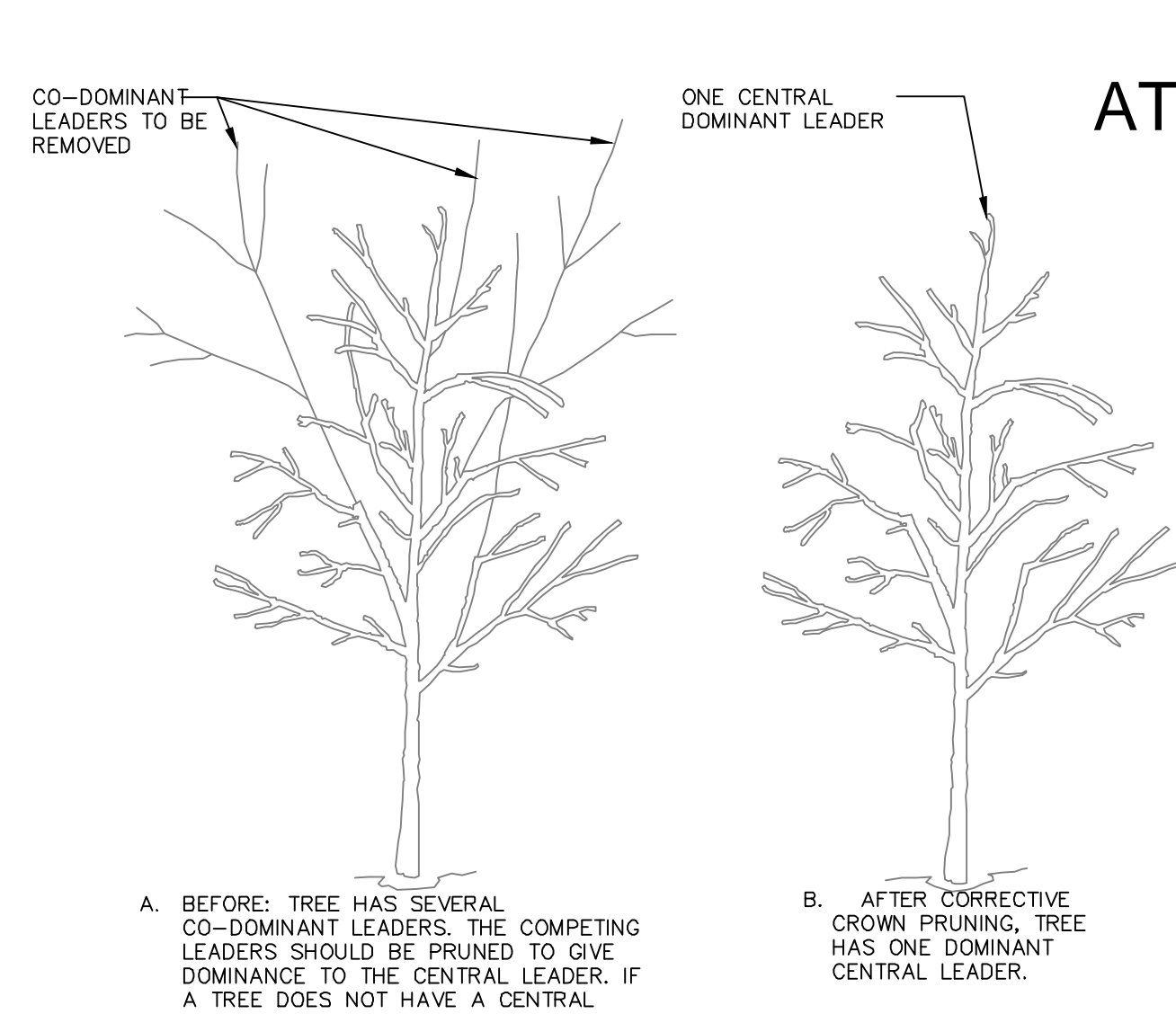
NOTES:

1. ASPECT RATIO SHALL BE LESS THAN 0.66 ON ALL BRANCH UNIONS. ASPECT RATIO IS THE DIAMETER OF BRANCH (B) DIVIDED BY THE DIAMETER OF THE TRUNK (A) AS MEASURED 1" ABOVE THE TOP OF THE BRANCH UNION.
2. ANY TREE NOT MEETING THE CROWN OBSERVATIONS DETAIL MAY BE REJECTED.

1 CROWN OBSERVATIONS - HIGH BRANCHED

URBAN TREE FOUNDATION ©2014  
0851 201025 8888 50 138

FX-PL-FX-OBSV-03



A. BEFORE: TREE HAS SEVERAL CO-DOMINANT LEADERS. THE COMPETING LEADERS SHOULD BE PRUNED TO GIVE DOMINANCE TO THE CENTRAL LEADER. IF A TREE DOES NOT HAVE A CENTRAL LEADER, IT MAY BE REJECTED.

B. AFTER CORRECTIVE CROWN PRUNING, TREE HAS ONE DOMINANT CENTRAL LEADER.

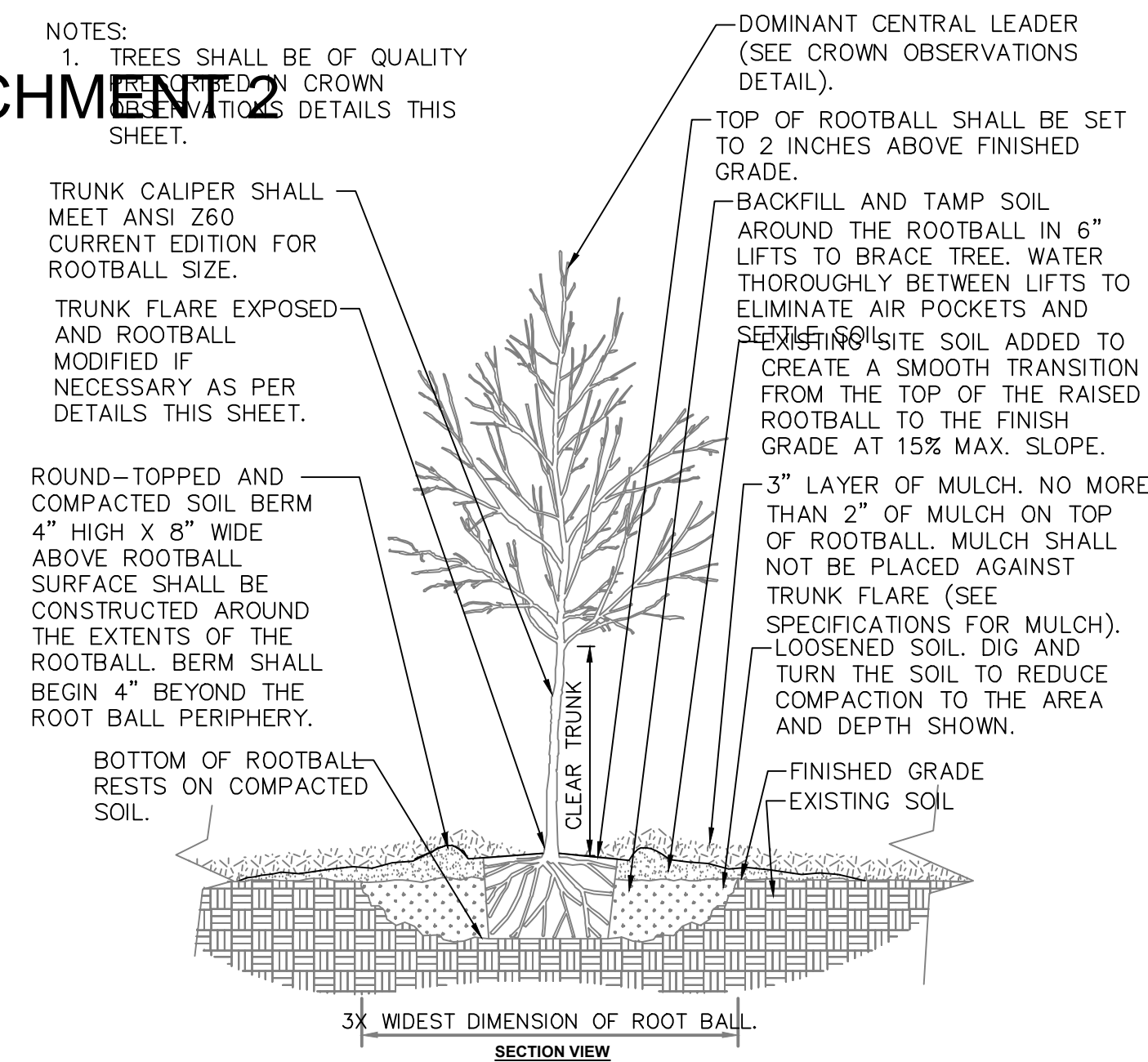
LEA  
NOTES:

1. ALL PRUNING SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST.
2. TREES ARE REJECTABLE UNLESS THEY HAVE A DOMINANT CENTRAL LEADER OR ARE PRUNED TO REMOVE COMPETING LEADERS LEAVING A DOMINANT CENTRAL LEADER AND STILL MEET THE SPECIFIED HEIGHT AND SPREAD AS PER THE PROJECT TREE LIST.
3. TREE SHALL MEET CROWN OBSERVATION DETAIL FOLLOWING CORRECTION.
4. TOTAL FOLIAGE REMOVED SHALL BE LESS THAN 30%.

### CROWN CORRECTION DETAIL

URBAN TREE FOUNDATION © 2014  
OPEN SOURCE FREE TO USE

FX-PL-FX-CORR-04

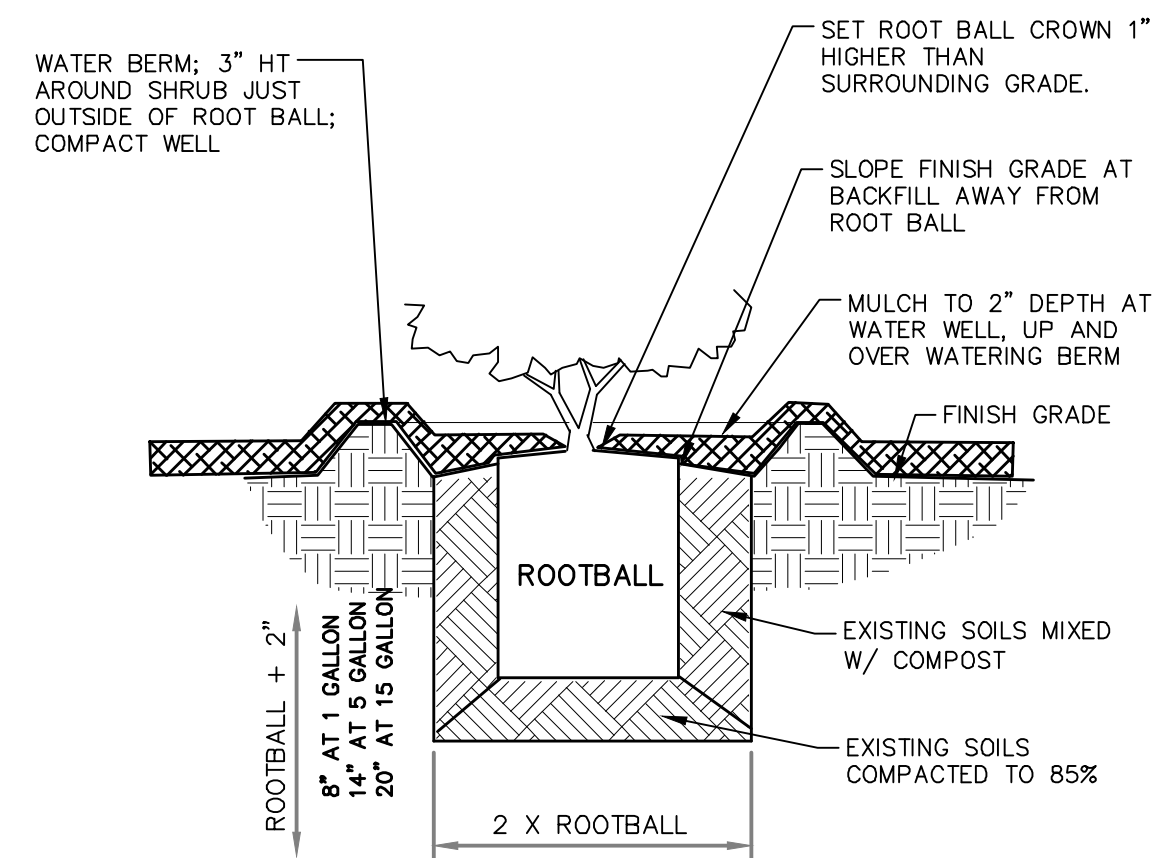


 TREE PLANTING

$$1'' = 30'$$

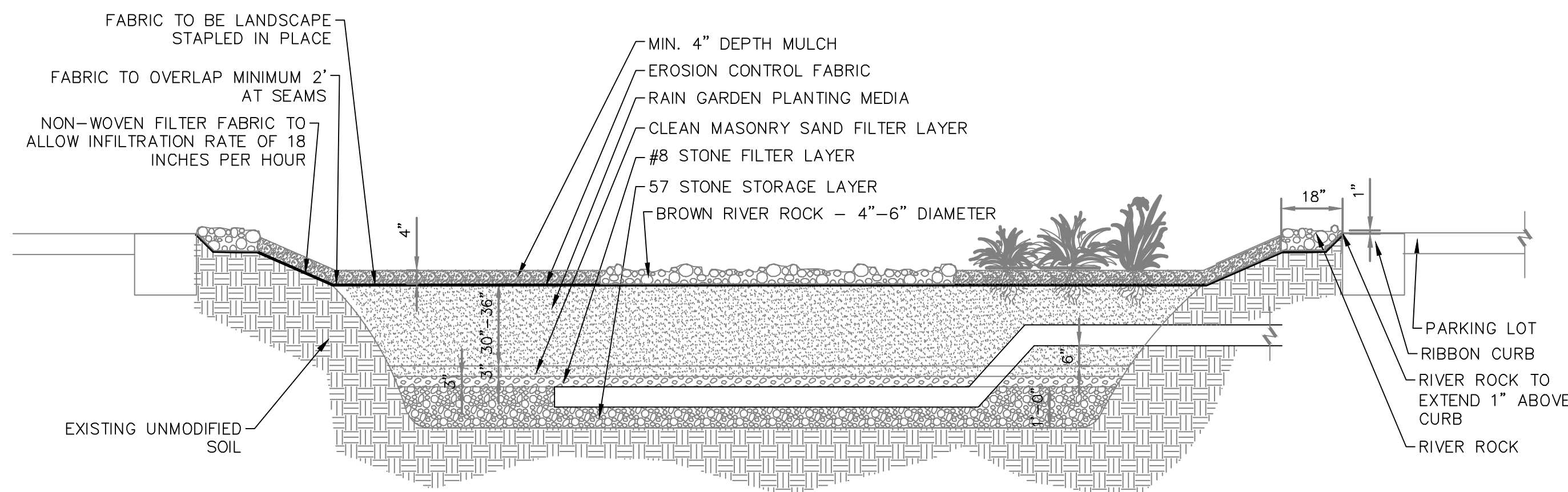
URBAN TREE FOUNDATION ©  
2014

FX-PL-FX-TREE-04



## SHRUB PLANTING

FX-PI-FX-SHRB-07



NOTE: SEE CIVIL PLANS FOR RAIN GARDEN  
DIMENSIONS AND ELEVATIONS.

5 STANDARD BIO-RETENTION BASIN

$$3/8'' = 1'-0''$$

P-PR-01



## Attachment 3



### Shepherd's Crook

This antique luminaire, mounted on a 15-foot pole, is aluminum with a glass optic assembly and is black in color. This design will compliment any streetscape or parking lot area. Both single and double fixture arms are available.

#### WATTAGE/TYPE

104 watt LED

140 watt LED

100 watt Metal Halide

150 watt High Pressure Sodium

#### AREA OF ILLUMINATION







## MEMORANDUM

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TO: Historic Preservation Commissioners  
FROM: Town of Bluffton Growth Management Staff  
RE: Site Feature Permits from February 15, 2023 to March 15, 2024  
DATE: APRIL 3, 2024

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**SUMMARY:** Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
194 Bluffton Road	Replacement of 4 Windows	Katie Peterson	Issued
5790 Guilford Place Unit 200	The Agency Sign	Katie Peterson	Incomplete Submittal
30 Promenade Street	Move Confident Sign	Katie Peterson	Issued
41 Calhoun Street Unit A	Charleston Shoe Company Sign	Katie Peterson	Issued