

Historic Preservation Commission Meeting

Wednesday, April 03, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on BCTV, on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF THE AGENDA

- V. ADOPTION OF MINUTES
 - 1. February 7, 2024 Minutes
- **VI. PUBLIC COMMENT**
- VII. OLD BUSINESS

VIII. NEW BUSINESS

 Public Project: A Public Project to include improvements to the drainage and streetscape along Pritchard Street between Bruin Road and Bridge Street, to include Stormwater Best Management Practices (BMPs), sidewalk installation, streetlight installation, and parking lot improvements to the existing parking lot adjacent to the Beaufort County Public Pool building. (DP-03-22-019022)(Staff - Katie Peterson)

IX. DISCUSSION

- 1. Historic District Monthly Update. (Staff)
- X. ADJOURNMENT

NEXT MEETING DATE: Wednesday, May 1, 2024

"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the

scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here: <u>https://www.townofbluffton.sc.qov/FormCenter/Town-15/Public-Comment-60</u> Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

February 07, 2024

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin Vice Chairwoman Carletha Frazier Commissioner Joe DePauw Commissioner Will Guenther Commissioner Jim Hess Commissioner Debbie Wunder

ABSENT

Commissioner Kerri Schmelter

III. ADOPTION OF THE AGENDA

Vice Chairwoman Frazier made a motion to adopt the agenda as written.

Seconded by Commissioner Guenther.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

IV. ADOPTION OF MINUTES

1. January 3, 2024 Minutes

Vice Chairwoman Frazier made a motion to adopt the minutes as written.

Seconded by Commissioner Wunder. Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

V. ELECTION OF OFFICERS

1. Election of Historic Preservation Commission Chair

Commissioner Hess made a motion to elect Evan Goodwin as Chairman.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

2. Election of Historic Preservation Commission Vice Chair

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Chairman Goodwin made a motion to elect Joseph DePauw to Vice Chairman.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

3. Election of Two Historic Preservation Review Committee members.

Chairman Goodwin made a motion to elect Joseph DePauw and Jim Hess to the Historic Preservation Review Committee.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

- **VI. PUBLIC COMMENT**
- **VII. OLD BUSINESS**

VIII. NEW BUSINESS

1. Certificate of Appropriateness: A request by Pearce Scott Architects, on behalf of the Owner, Billy Watterson, for approval of a Certificate of Appropriateness - HD to allow the construction of a new 1,999 SF 1-story retail building in the Ma Daisy's Porch Development Plan, on the parcel currently addressed as 24 Ma Daisy's Way, in the Old Town Bluffton Historic District and zoned Neighborhood General - HD. (COFA-12-23-018754) (Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about the exterior openings to the market, shutter style and security.

Commissioner Guenther made a motion to approve with the following conditions:

1. Per Section 5.15.6.F.2. of the UDO, if any exterior mechanicals will be associated with the building, a service yard location and screening detailing is required for review. Otherwise, no exterior mechanical equipment is permitted.

2. Per Section 5.15.6.J, additional information regarding downspouts or rain chain profiles and locations must be provided.

3. The shutter operation was found to be an appropriate substitution for the operations found in UDO Section 5.15.6.M.1.e., due to the function of the building and to retain foundation landscaping along the entire side elevations.

Seconded by Commissioner Hess. Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed.

2. Certificate of Appropriateness: A request by Charlie Wetmore for a review of a Certificate of Appropriateness - HD to construct a new 2-story attached Carriage House of approximately 1,200 SF, and renovation of the existing single family residential structure to include window and door modifications, porch addition, and modification to the rear exterior stairs, to be

Town of Bluffton, SC

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located at 48 Lawrence Street, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD zoning District. (COFA-11-23-018662) (Staff - Katie Peterson)

Chairman Goodwin recused himself. Staff presented. The applicant was in attendance. There was discussion about the garage doors width, neighboring parcels, carriage house layout and windows.

Commissioner Guenther made a motion to approve the application as submitted as they found the third garage door bay, which is 6 feet wide, to be an appropriate design solution as they had recently recommended an amendment to the design standards to allow for it.

Seconded by Commissioner Frazier.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

3. Certificate of Appropriateness: A request by Court Atkins Architects, Inc. on behalf of the owner, TripleBCo, LLC for approval of a Certificate of Appropriateness - HD to construct a new 1.5-story commercial building of approximately 2,315 SF for Hair and So On Salon to be located at 5818 Guilford Place, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD zoning District. (COFA-11-23-018646) (Staff - Katie Peterson)

Chairman Goodwin returned to the dais. Staff presented. The applicant was in attendance. There was discussion about the shutter size, handrails, and panel detailing.

Vice Chairman DePauw made a motion to approve with the following conditions:

1. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.

2. Per Section 3.19 of the UDO, a Site Feature-HD is required for any signs proposed on the site.

3. The railing and balusters may be approved as powder coated aluminum as a substitute for those materials listed in Section 5.15.6.H.2.d., but must have traditional fenestration, including the profile of the top rail. Provide a detail to be approved at a staff level.

4. It was determined that the use of wood composite Bahama shutters on the second-floor porch only was appropriate in accordance with UDO Section 5.15.6.M.

5. The paneling on the first floor adjacent to the slat wall be revised to have the same baseboard as the second floor at the floor line.

Seconded by Commissioner Guenther. Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Guenther, Commissioner Hess

Voting Abstaining: Commissioner Wunder

The motion was passed.

IX. DISCUSSION

1. Historic District Monthly Update

The Commission did not have any questions about the report presented by staff.

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X. ADJOURNMENT

Commissioner Guenther made a motion to adjourn.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman Goodwin, Vice Chairwoman Frazier, Commissioner DePauw, Commissioner Guenther, Commissioner Hess, Commissioner Wunder

All were in favor and the motion passed. The meeting adjourned at 7:13pm.



MEMORANDUM

Historic Preservation Commission
Katie Peterson, AICP
Pritchard Street Streetscape Public Project
4/3/2024

BACKGROUND: At the request of the Town of Bluffton Historic Preservation Commission (HPC), Town Council adopted an ordinance at their April 9, 2019 meeting that amended the Unified Development Ordinance (UDO) Article 3 Application Process and Article 5 Design Standards to allow the HPC to review Public Projects and provide comment to the UDO Administrator for consideration. Additionally, Town Council revised the Town of Bluffton Process Table through a resolution to incorporate the review of Public Projects located within the Historic District by the HPC, for comment only, with the final review authority to remain as the UDO Administrator.

<u>APPLICATION REQUEST</u>: The Applicant, Daniel Rybak, on behalf of The Town of Bluffton, requests that the Historic Preservation Commission provide comment on the following application:

DP-03-24-019022. A Public Project to include improvements to the drainage and streetscape along Pritchard Street between Bruin Road and Bridge Street, to include Stormwater Best Management Practices (BMPs), sidewalk installation, streetlight installation, and parking lot improvements to the existing parking lot adjacent to the Beaufort County Public Pool building.

INTRODUCTION: The Public Project scope of work includes improvements to the stormwater and drainage infrastructure, installation of streetlights, reconfiguration of the existing School/Pool parking area to meet the standards found in the Unified Development Ordinance (UDO), traffic calming, ADA compliance and the installation of sidewalks. The Stormwater BMPs will help alleviate standing water during all levels of storm and improve runoff water quality into the adjacent Heyward Cove. The streetlights, which will match those on May River Road in design, will be installed along the length of Pritchard Street between Bruin Road and Bridge Street, but be spaced further apart as this is a smaller, non-DOT roadway. The parking lot redesign will correct grading issues, install BMPs underground and in the landscaped islands. The parking lot design will meet UDO requirements for plantings, landscape islands, and parking space size. Sidewalks will be installed for better pedestrian connectivity the full length of the project.

The improvements to Pritchard Street will be similar in scope to those which have been made on Bridge Street in the previous months.

<u>HISTORIC PRESERVATION COMMISSION ACTIONS</u>: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission may provide comments for consideration by the UDO Administration regarding this application.

REVIEW CRITERIA & ANALYSIS: As established in section 3.18.2 of the UDO, Town Staff and the Preservation Commission are required to consider the criteria set forth in Section 3.18 of the UDO in assessing an application for a Public Project located in the Old Town Bluffton Historic District. The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

- 1. <u>Section 3.18.3.B.</u> Consistency with the principles set forth in the Old Town Master Plan.
 - **a.** *Finding*. The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the Unified Development Ordinance. The work proposed as part of this request is in conformance with those standards.
- **2.** <u>Section 3.18.3.C.</u> The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - **a.** *Finding*. Town Staff finds proposed work will be in conformance with the other applicable provisions provided in Article 5.
- **3.** <u>Section 3.18.3.D.</u> The nature and character of the surrounding area and consistency of the structure with the harmony of the surrounding neighborhood.

Finding. Town Staff finds that nature and character of the work is consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the proposed work is appropriate for the location and the work is sensitive to the neighboring properties.

4. <u>Section 3.18.3.F.</u> The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. No features are proposed for removal, therefore, this criterion is not applicable and the renovation of the site, as proposed, will have no adverse effect on the public interest.

5. <u>Section 3.18.3.H.</u> The application must comply with applicable requirements in the Applications Manual.

Finding. The application has been reviewed by Town Staff and has been determined to be complete.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds the application meets the requirements of Section 3.18.3 of the UDO and recommends that the HPC recommend approval of the application to the UDO Administrator.

ATTACHMENTS:

- 1. Application and Narrative
- 2. Plans
- 3. Light Detail

ATTACHMENT 1

Section VIII. Item #1.



TOWN OF BLUFFTON PUBLIC PROJECT APPLICATION

Growth Management Customer Service Center 20 Bridge Street Bluffton, SC 29910 (843)706-4500 www.townofbluffton.sc.gov applicationfeedback@townofbluffton.com

Applicant	Pro	operty Owner
Name: Town of Bluffton	Name: Town of Blu	and the second
Phone: 843-540-3925	Phone: 843-706	6-4521
Mailing Address:	Mailing Address:	
1261 May River Road PO Box 386, Bluffton, SC 29910	1261 May River Road	d PO Box 386, Bluffton, SC 29910
E-mail: drybak@townofbluffton.com	E-mail: prooney@	townofbluffton.com
Town Business License # (if applicable):		
Project In	formation	
Project Name: Pritchard Street Streetscape	New	Amendment
Project Location: Town of Bluffton	Acreage: 8.0	I
Zoning District: Neighborhood General		
Tax Map Number(s): Pritchard Street Right	of Way & R610	0 039 000 0057 0000
Project Description: New water quality and quantity management struproposed BMPs are expected to reduce stormwas storms as well as provide water quality treatment	uctures in the Pritchard Street ater runoff for 2.10, 25, 50, & 1	right of way and the adjacent parking lot. The
Minimum Requirem	nents for Submitta	al
 1. Digital files of the Public Project Plans. 2. Recorded deed and plat showing proof of property of 3. Project Narrative describing reason for application ar 4. An Application Review Fee as determined by the Tow to the Town of Bluffton. 	nd compliance with the	criteria in Article 3 of the UDO. e Schedule. Checks made payable
Note: A Pre-Application Meeting is require		
Disclaimer: The Town of Bluffton assumes no le third party whatsoever by approvin	egal or financial liabil g the plans associate	ity to the applicant or any d with this permit.
I hereby acknowledge by my signature below that the foreg the owner of the subject property. As applicable, I authoriz	ioing application is comr	plete and accurate and that I am
Property Owner Signature: DauRybal For	Par Roomer	Date: 3 4 24
Applicant Signature: Jan Rybal		Date: 3424
For Offi	ice Use	
Application Number:		Date Received:

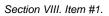


ATTACHMENT 1

TOWN OF BLUFFTON PUBLIC PROJECT APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's Unified Development Ordinance. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Application Submittal	Applicant
The Applicant shall submit the Public Project Application and required submittal	materials.
Step 2. Review by UDO Administrator or designee & Development Review Committee	Staff & DRC
If the UDO Administrator or designee determines that the Public Project Permit A Development Review Committee (DRC). The DRC shall review the application an Applicant.	Application is complete, it shall be forwarded to the d prepare written comments for review with the
Step 3. Development Review Committee Meeting	Applicant & Staff
A public meeting shall be held with the Applicant to the review the DRC Staff Re directed to address any comments, if any, and resubmit the application material	port and discuss the application. The Applicant will be s.
Step 4. Historic Preservation Commission (if applicable)	Applicant, Staff & HPC
If the project is located within the Old Town Bluffton Historic District, a public me Historic Preservation Commission (HPC) shall review the Public Project materials UDO. The HPC shall provide comment only as a recommendation to the UDO Ad	for compliance with the criteria and provisions in the
Step 4. Public Project Approval	Staff
If applicable, upon resubmittal, the application materials will be reviewed for com comments are addressed, the UDO Administrator or designee shall approve the P	pliance with the DRC Staff Report and if all





ENGINEERS - PLANNERS - SURVEYORS

14 Westbury Park Way, Suite 202 Bluffton, SC 29910 843.815.3191 CranstonEngineering.com

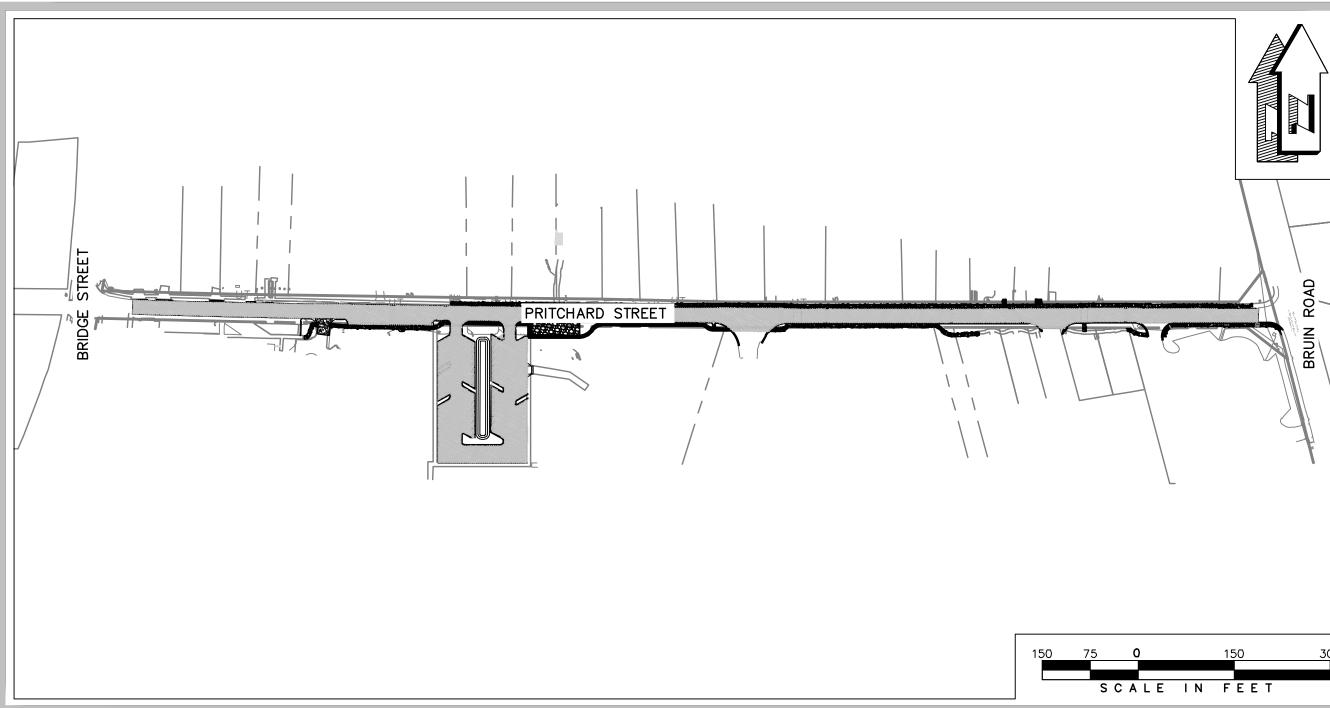
Pritchard Street, Bluffton, SC 29910 TMS#: Right Of Way

Project Narrative

The proposed Pritchard Street Streetscape project encompasses drainage and streetscape improvements to Pritchard Street that will see BMPS address water quantity and quality for the the site, which disturbs approximately 4.7 acres. Runoff will flow approximately 40 LF to Heyward Cove through existing pipes and outfall. Runoff quantity will be reduced and quality improved in all design storms. A sidewalk is intended to be installed along portions of the roads, and portions of existing impervious areas are being replaced with BMPs, which may result in a net reduction of impervious area.



VICINITY MAP N.T.S.



PF	ROJECT DATA:			
1.	OWNER/DEVELOPER: TOWN OF BLUFFTON 1261 MAY RIVER RC BLUFFTON, SC 2991 PHONE: 843-706-4 24 HOUR CONTACT: NAME: DAN RYBAK PHONE: 843-540-39	DAD 0 4500		
	TAX MAP & PARCEL NUME PROVIDED PARKING		PRITCHARD STREET R/W	, R610 039 0
	PARKING PROVIDED: HANDICAP PARKING		54 3	
	DRAINAGE AREA THIS PRO IMPERVIOUS AREA:	JECT:	8.00 ACRES	
0.		EXISTING: PROPOSED:	2.20 ACRES 5.80 ACRES	
6.	PERVIOUS AREA:	EXISTING: PROPOSED:	2.00 ACRES 6.00 ACRES	
7. 8.	RECEIVING STREAM: ULTIMATE STREAM:		TRIBUTARY TO MAY RIVER MAY RIVER	2



PRITCHARD STREET STREETSCAPE

PREPARED FOR

TOWN OF BLUFFTON

20 BRIDGE STREET BLUFFTON, SC 29910

PREPARED BY

000 0057 0000



2/28/2024





ction VIII. Item #1

2021-0735

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LOCATION MAP N.T.S.

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES AND LEGEND
C2.0	EXISTING CONDITIONS
C2.1	EXISTING CONDITIONS
C2.2	EXISTING CONDITIONS
C2.3	EXISTING CONDITIONS
C2.4	EXISTING CONDITIONS
C2.5	EXISTING CONDITIONS
C3.0	DEMOLITION & SWPP PLAN
C3.1	DEMOLITION & SWPP PLAN
C3.2	DEMOLITION & SWPP PLAN
C3.3	DEMOLITION & SWPP PLAN
C3.4	DEMOLITION & SWPPP DETAILS
C3.5	DEMOLITION & SWPPP DETAILS
C4.0	PLAN & PROFILES
C4.1	PLAN & PROFILES
C4.2	PLAN & PROFILES
C4.3	PLAN & PROFILES
C4.4	PLAN (PARKING LOT)
C4.5	SITE DETAILS
C4.6	SITE DETAILS
C5.0	EXISTING DRAINAGE BASINS
C5.1	PROPOSED DRAINAGE BASINS
C6.0	GRADING & DRAINAGE PLAN
C6.1	GRADING & DRAINAGE PLAN
C6.2	GRADING & DRAINAGE PLAN
C6.3	GRADING & DRAINAGE PLAN
C6.4	DRAINAGE PROFILES
C6.5	DRAINAGE PROFILES
C6.6	DRAINAGE DETAILS
C6.7	DRAINAGE DETAILS



LEGEND

	-210	MAJOR CONTOUR (EXISTING)
	-210	MINOR CONTOUR (EXISTING)
	-210	MAJOR CONTOUR (PROPOSED)
	-210	MINOR CONTOUR (PROPOSED)
		EXISTING BOUNDARY
		EXISTING ADJOINER
		PERMANENT EASEMENT
		TEMPORARY EASEMENT
		25' BUFFER
		ENVIRONMENTALLY SENSITIVE AREA
		EDGE OF WATER
OU		
		(UNSPECIFIED) EXISTING UNDERGROUND POWER
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		EXISTING OVERHEAD POWER
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\otimes	EXISTING GAS VALVE
\otimes	PROPOSED GAS VALVE
В−#	BORING
BM−#	BENCHMARK
ACP	AIR CONDITIONER
BFP	BACKFLOW PREVENTER
В	BOLLARD
CDP	CONCRETE DUMPSTER PAD
CO	CLEAN OUT
CP	CONCRETE PAD
СМР	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
CW	CHILLED WATER
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DWT	DOUBLE WING TRAP
EBX	ELECTRICAL BOX
EF	ELECTRICAL FEED
EO	ELECTRICAL OUTLET
F	FOUNTAIN
FOBX	FIBEROPTIC BOX
FOM	FIBEROPTIC MONUMENT
FOPB	FIBEROPTIC PULLBOX
FH	FIRE HYDRANT
FP	FLAG POLE
GM	GAS METER
GP	GUY POLE
GUY	GUY WIRE
GT	GRATE TRAP
GV	GAS VALVE
GVP	GAS VENT PIPE
HBT	HOOD BACK TRAP
ICV	IRRIGATION CONTROL VALVE
IE=	INVERT ELEVATION
LP	LIGHT POLE
МВ	MAIL BOX
MW	MONITORING WELL
OTF	OPEN TOP FOUND
PM	POWER METER
PO	POWER OUTLET
PP	POWER POLE
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
	REDUCED PRESSURE ZONE
RPZ	BACKFLOW PREVETER
SAN	SANITARY SEWER
SD	STORM DRAIN
SH	SPRINKLER HEAD
CTDV	STODM DOV
STBX	STORM BOX
SWT	SINGLE WING TRAP
TD	TRUNCATED DOME
TP	TELEPHONE PEDESTAL
TPB	TELEPHONE PULLBOX
TSB	TRAFFIC SIGNAL BOX
TSC	TRAFFIC SIGNAL CABINET
TSP	TRAFFIC SIGNAL POLE
WM	WATER METER
WV	WATER VALVE
	WATER VALVE BOX
WVLT	WATER VAULT

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ATTACHMEN. PLANS CONTAINED HEREIN ARE FOR IMPROVEMENTS APPROVED BY TOWN OF BLUFFTON AND SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT). ANY VARIATION FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE OWNER AND/OR ENGINEER.

- 2. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
- 3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
- 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR SCDOT, TOWN OF BLUFFTON SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
- 5. THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SCDOT STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
- 6. NO WORK SHALL COMMENCE WITHIN SCOOT'S RIGHT-OF-WAY UNTIL AN APPROVED SCOOT ENCROACHMENT PERMIT HAS BEEN RECEIVED.
- 7. ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION, NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF
- HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS DESIGNED. THE OWNER MUST UTILIZE A SCDOT PRE-QUALIFIED CONTRACTOR FOR ALL WORK COMPLETED IN THE SCDOT RIGHT-OF-WAY. 9. THE OWNER SHALL PROVIDE AN ON-SITE INSPECTOR THAT IS CERTIFIED IN ALL DISCIPLINES OF ROAD CONSTRUCTION -
- EARTHWORK, DRAINAGE, ASPHALT, AND CONCRETE. OWNER SHALL PROVIDE 3RD PARTY INSPECTOR'S CREDENTIALS PRIOR TO ANY WORK BEGINNING IN THE SCDOT RIGHT-OF-WAY. 10. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PROTECTION FOR PEDESTRIANS THROUGHOUT PROJECT. 11. CONTRACTOR TO REFER TO CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS.

GENERAL EXISTING CONDITIONS & SURVEY NOTES:

- 1. DATE OF SURVEY 05/28/2023 BY ATLAS SURVEYING, INC. 2. PRIOR TO WORK, CONTRACTOR SHALL PERFORM SURVEY TO CONFIRM PLAN ELEVATIONS AND DISCUSS/RESOLVE DISCREPANCIES WITH TOWN PROJECT MANAGER.
- 3. THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS, OR INDICATED IN ANY WAY THEREBY, WHETHER BY DRAWINGS OR NOTES OR ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY AND ARE NOT GUARANTEED. 4. ACCORDING TO THE FEMA FIRM PANEL NO. 45013C0426G, DATED 03/23/2021, THIS PROJECT LIES IN ZONE X (AREAS DETERMINED
- TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) WHICH DESCRIBES AN AREA OF MINIMAL FLOODING. 5. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT PREVIOUSLY UNKNOWN HISTORICAL OR ARCHEOLOGICAL
- SITES ARE DISCOVERED DURING CONSTRUCTION. NO ADDITIONAL WORK IN SUCH AREAS WILL BE ALLOWED UNTIL AUTHORIZED IN WRITING. 6. DISTURBANCES TO ANY SURVEY MARKERS OR MONUMENTS REQUIRES RE-ESTABLISHMENT BY A LICENSED SURVEYOR AT THE
- CONTRACTOR'S EXPENSE.

GENERAL EROSION CONTROL NOTES:

- 1. ALL SILT BARRIERS MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES. 2. ALL DRAINAGE EASEMENTS & DISTURBED AREAS MUST BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.
- **GENERAL UTILITIES NOTES:** 1. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS,
- ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION. 2. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR
- TO STARTING ANY EXCAVATION OR CONSTRUCTION. 3. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW GROUND.
- 4. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
- NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES. THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY
- OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF HIS WORK. 8. CONTRACTOR SHALL TEST PIT AND DETERMINE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK IN AREA AND INFORM
- ENGINEER OF ANY CONFLICTS WITH PROPOSED WORK.
- 9. CONTRACTOR TO COORDINATE CAMERA RELOCATION WITH UTILITY PROVIDER. 10. EXCAVATE AND VERIFY DEPTHS OF SEWER HOUSE CONNECTION LINES AND ADVISE OF ANY CONFLICTS WITH PROPOSED WORK ELEMENTS 2 WEEKS PRIOR TO WORK START IN AREA.

GENERAL TRAFFIC CONTROL NOTES:

- 1. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN FOR APPROVAL AND THE INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE, SIGNALS, AND/OR DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 2. THE CONTRACTOR WILL BE RESPONSIBLE FOR INITIAL INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE REQUIRED FOR CONSTRUCTION.
- 3. ROAD CLOSURES AND DETOURS, SHOULD THEY BE NEEDED, SHALL BE COORDINATED AND APPROVED WITH THE OWNER A MINIMUM OF TWO (2) CALENDAR WEEKS PRIOR TO PLANNED CLOSURE AND/OR DETOUR. 4. CERTIFIED FLAGGERS AND/OR ARROW BOARDS WILL BE REQUIRED TO MAINTAIN TRAFFIC CONTROL WHILE WORKING WITHIN THE LIMITS
- OF PUBLIC OR PRIVATE ROADWAYS. 5. CONTRACTOR SHALL MAINTAIN ONE (1) LANE OF TRAVEL OPEN AT ALL TIMES IN ACCORDANCE WITH THE MANUAL ON UNIFORM
- TRAFFIC CONTROL DEVICES, LATEST ADDITION. 6. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO MUTCD GUIDELINES AND SCDOT STANDARD SPECIFICATIONS AND DRAWINGS.

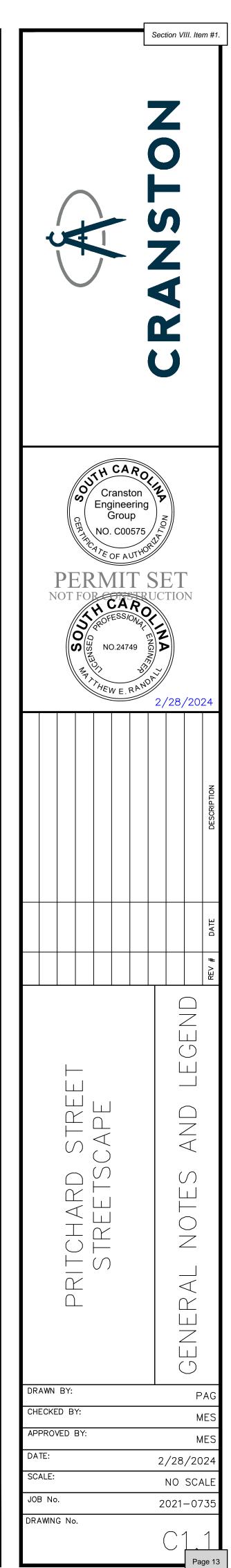
GENERAL CONSTRUCTION NOTES:

- 1. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE DESIGNATED CONSTRUCTION EASEMENT, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE. CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION OF CONSTRUCTION TO REMOVE ANY SILT AND
- DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR. 4. ANY DAMAGE TO THE SIDE STREETS DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE
- CONTRACTOR'S EXPENSE. 5. NO FILTER FABRIC SHALL BE INSTALLED ON THE BOTTOM OF INFILTRATION TRENCHES. 6. ALL AGGREGATES ASSOCIATED WITH THE INFILTRATION BMP'S AND PERVIOUS PAVER INSTALLATIONS SHALL BE WASHED STONE,
- CLEAN AND FREE OF FINE SEDIMENTS. 7. CONTRACTOR SHALL ENSURE SEDIMENT AND EROSION CONTROL MEASURES ARE IN PLACE AND UTILIZED DURING CONSTRUCTION AND
- IMMEDIATELY THEREAFTER TO PREVENT SEDIMENT CONTAMINATION OF BMP INFILTRATION AREA. 8. INLETS - ALL EXCAVATIONS FOR INSTALLATION OF INLETS ARE TO BE BACKFILLED WITH NO. 57 STONE TO ROAD BASE SUBGRADE ELEVATIONS. 1' OF EXCAVATION/STONE IS ASSUMED AROUND ALL INLET SIDES AND 1' BELOW BOTTOM OF INLET STRUCTURES.
- 9. BMP'S ALL EXCAVATIONS FOR INSTALLATION OF BMP'S ARE TO BE BACKFILLED WITH THE AGGREGATE CALLED FOR TO ROAD BASE SUBGRADE ELEVATIONS.
- 10. FILL/BACKFILL IN OTHER AREAS TO MEET COMPACTION REQUIREMENTS. 11. EXISTING SIDEWALKS AND RAMPS TO BE REPLACED IF NOT CURRENTLY ADA COMPLIANT.

OWNER TOWN OF BLUFFTON DAN RYBAK PO BOX 386, 20 BRIDGE STREET BLUFFTON, SC 29910 (843) 706–4500 ENGINEER OF RECORD MATTHEW RANDALL, PE CRANSTON, LLC (843) 352–7770

UTILITIES POWER DOMINION ENERGY SERVICE CONTACT: 800-251-7234 REPORT OUTAGE: 888-333-4465 WATER AND SEWER BEAUFORT-JASPER WATER AND SEWER AUTHORITY SERVICE CONTACT: 843-987-9200 REPORT OUTAGE: 843-987-3200

COMMUNICATION HARGRAY SERVICE CONTACT: 843-815-1600 REPORT OUTAGE: 843-686-1138

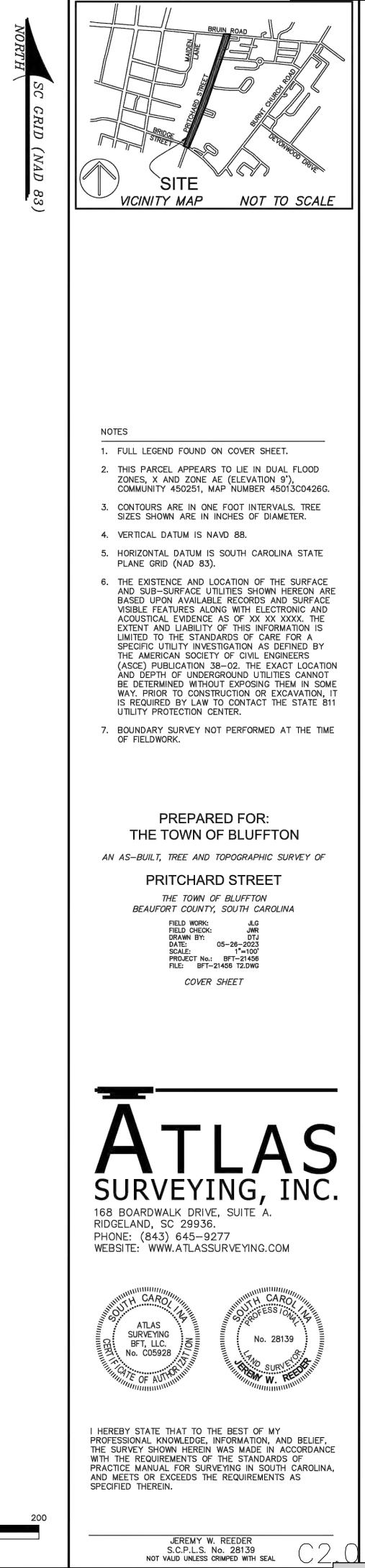




LEGEND CMF CONC. MONUMENT FOUND OTP

 OPEN TOP PIPE RBF 🌒 IRON REBAR FOUND RBFD
 IRON REBAR FOUND DISTURBED AIR CONDITIONING UNIT AC OCUB CABLE JUNCTION BOX ELECTRIC STUBOUT 🐨 🛛 FIRE HYDRANT FIBER OPTIC BOX FO DRAINAGE INLET ß GAS VALVE G GAS METER Q-GROUND LIGHT GUY WIRE × JB JUNCTION BOX ß IRRIGATION CONTROL VALVE LIGHT POLE Ϋ́ MAIL BOX POWER POLE N STORM DRAIN MANHOLE 0 ×12.9 SPOT ELEVATION SIGN osN O_{SPG} SPIGOT Ossca SANITARY SEWER CLEAN OUT Øs SANITARY SEWER LATERAL OR STUBOUT SANITARY SEWER MANHOLE S SANITARY SEWER VALVE Ń OTEL TELEPHONE JUNCTION BOX UNDERGROUND FIBER OPTICS MARKER ZF WATER LATERAL OR STUBOUT WATER METER ОW WATER VALVE ×1 WATER VALVE MARKER $\mathbb{Z}W$ FINISHED FLOOR ELEVATION FFE PD PIPE DIRECTION PVC POLYVINYL CHLORIDE PIPE RCP REINFORCED CONCRETE PIPE BG BLACK GUM BIR BIRCH CH CHERRY G SWEET GUM HIC HICKORY LA LAUREL OAK LO LIVE OAK MAG MAGNOLA PINE Р PA PALMETTO RO RED OAK SB SUGAR BERRY WHO WHITE OAK WO WATER OAK WXM WAX MYRTLE ---- BB ---- BOTTOM OF BANK ----- FM ----- FORCEMAIN — тв — TOP OF BANK ------ W ------ UNDERGROUND WATER LINE CONCRETE CONCRETE

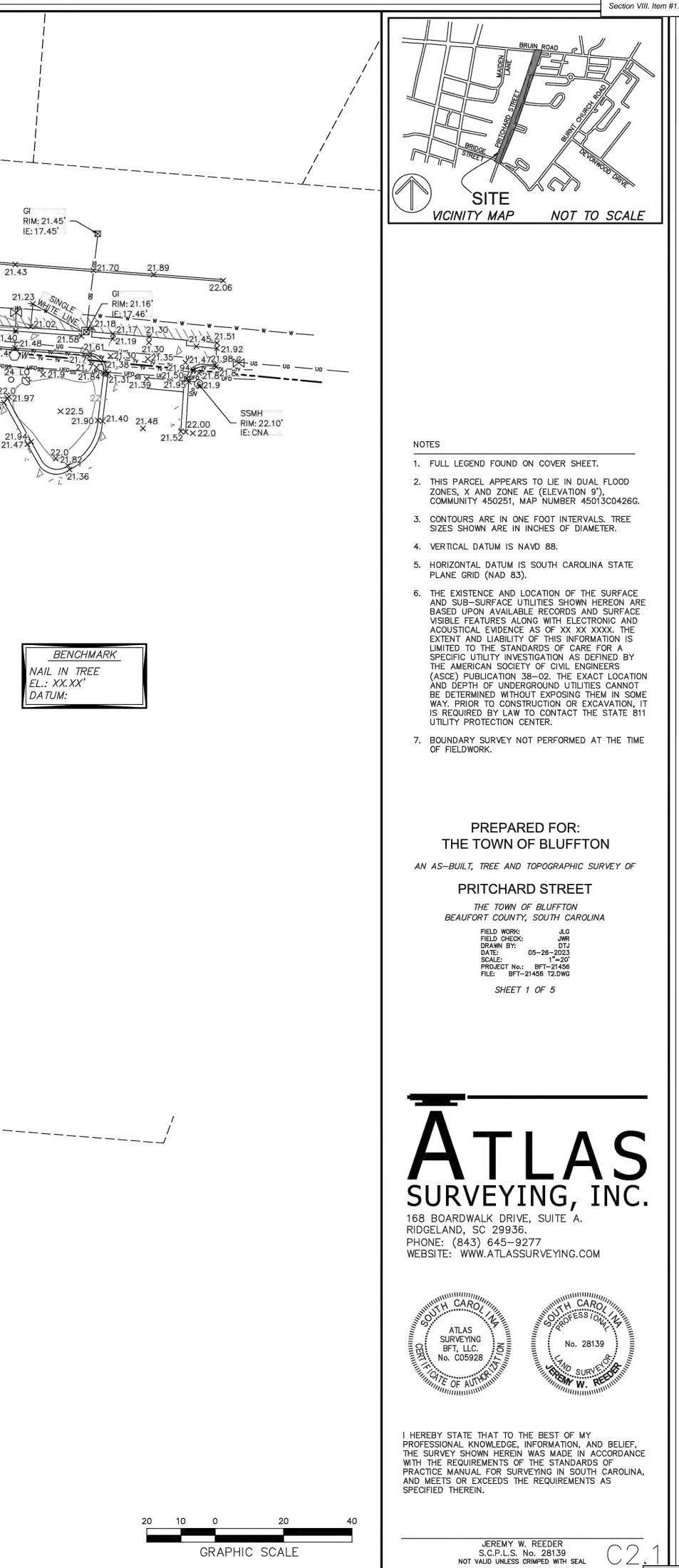




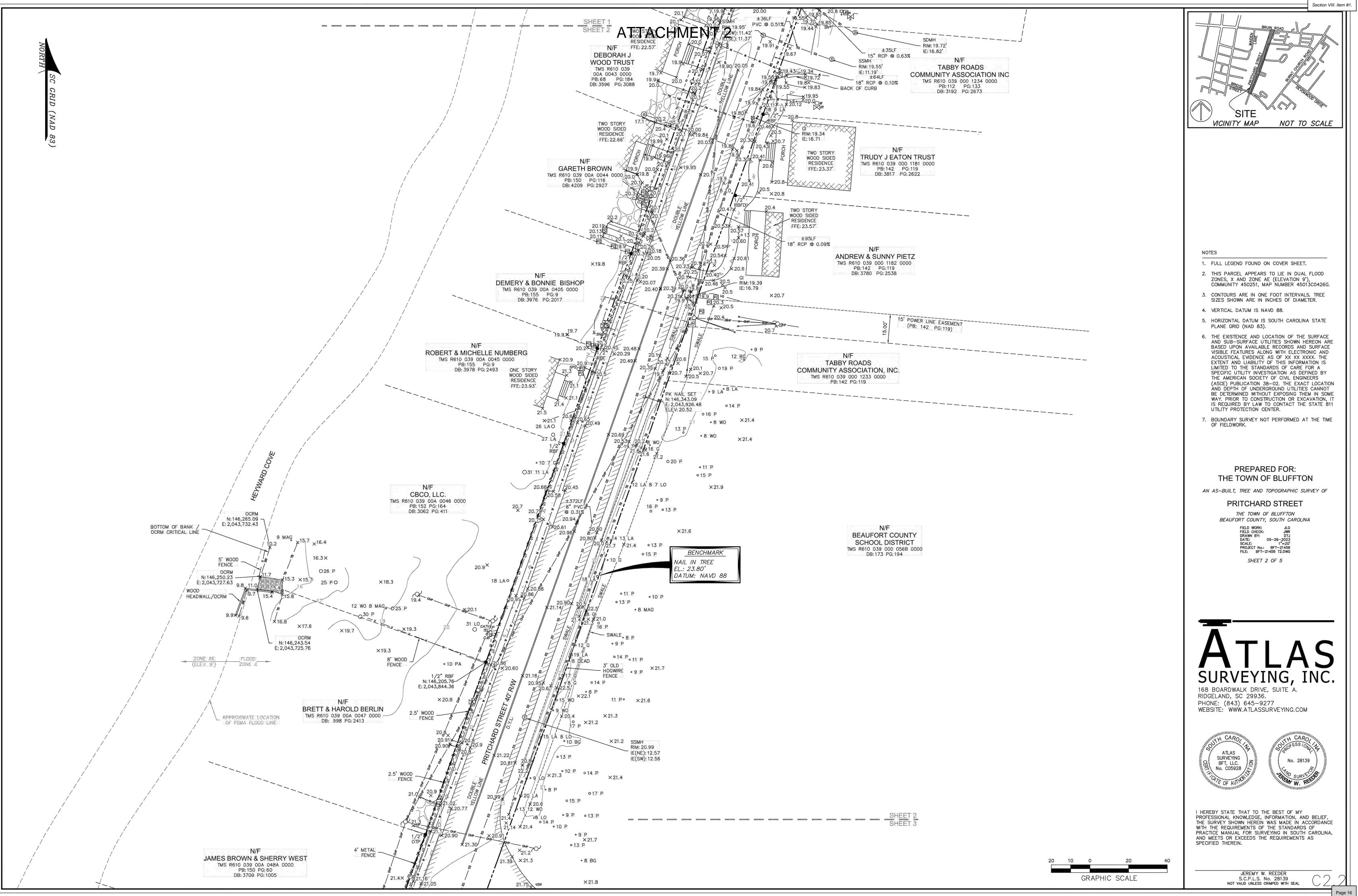
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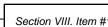
100 50 0 100 GRAPHIC SCALE

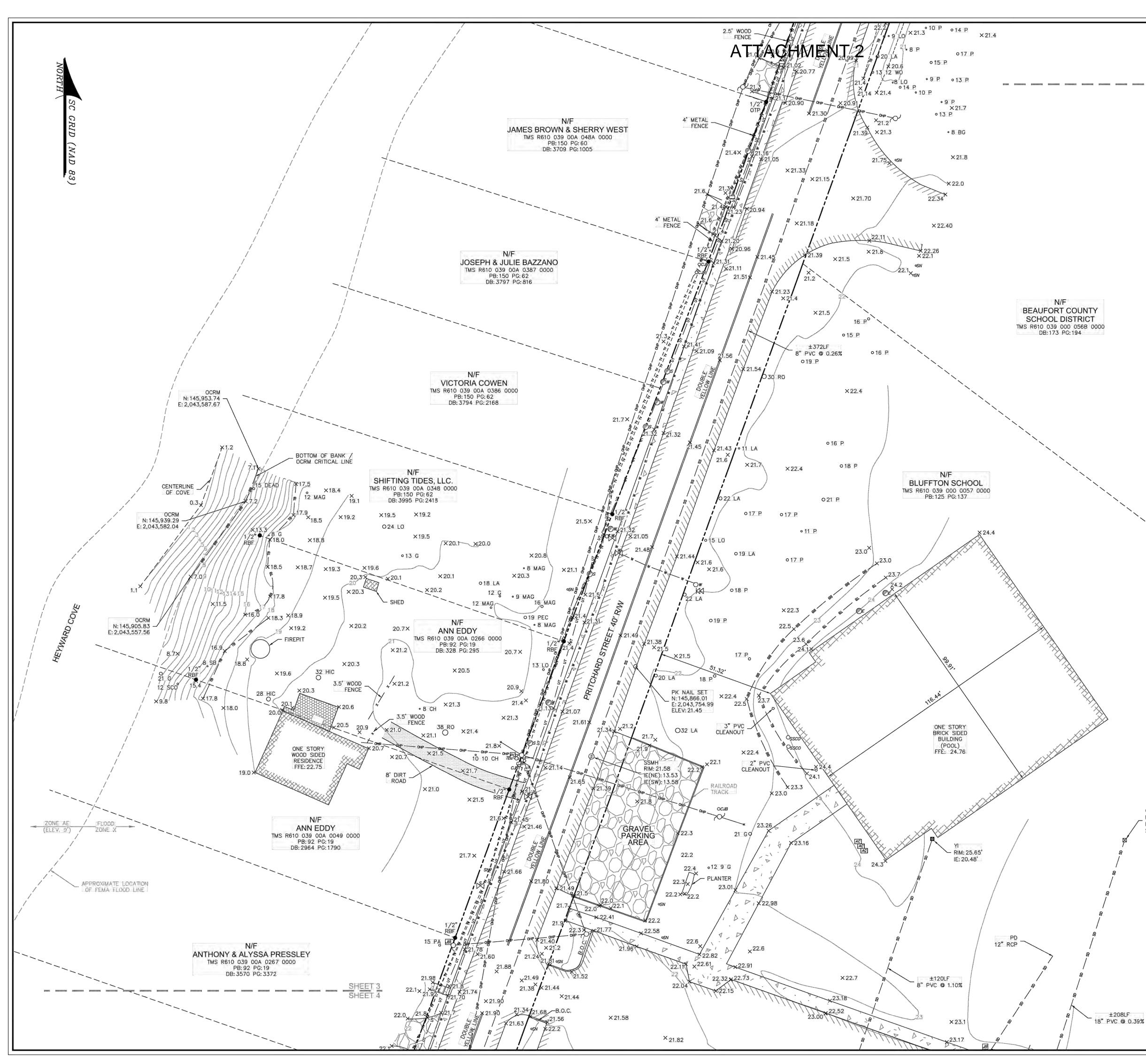




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SHEET 2 SHEET 3 SITE NOT TO SCALE VICINITY MAP NOTES 1. FULL LEGEND FOUND ON COVER SHEET. 2. THIS PARCEL APPEARS TO LIE IN DUAL FLOOD ZONES, X AND ZONE AE (ELEVATION 9'), COMMUNITY 450251, MAP NUMBER 45013C0426G. 3. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER. VERTICAL DATUM IS NAVD 88. 5. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83). 6. THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACOUSTICAL EVIDENCE AS OF XX XX XXXX. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY, PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER. 7. BOUNDARY SURVEY NOT PERFORMED AT THE TIME OF FIELDWORK. PREPARED FOR: THE TOWN OF BLUFFTON AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF PRITCHARD STREET THE TOWN OF BLUFFTON BEAUFORT COUNTY, SOUTH CAROLINA
 FIELD WORK:
 JLG

 FIELD CHECK:
 JWR

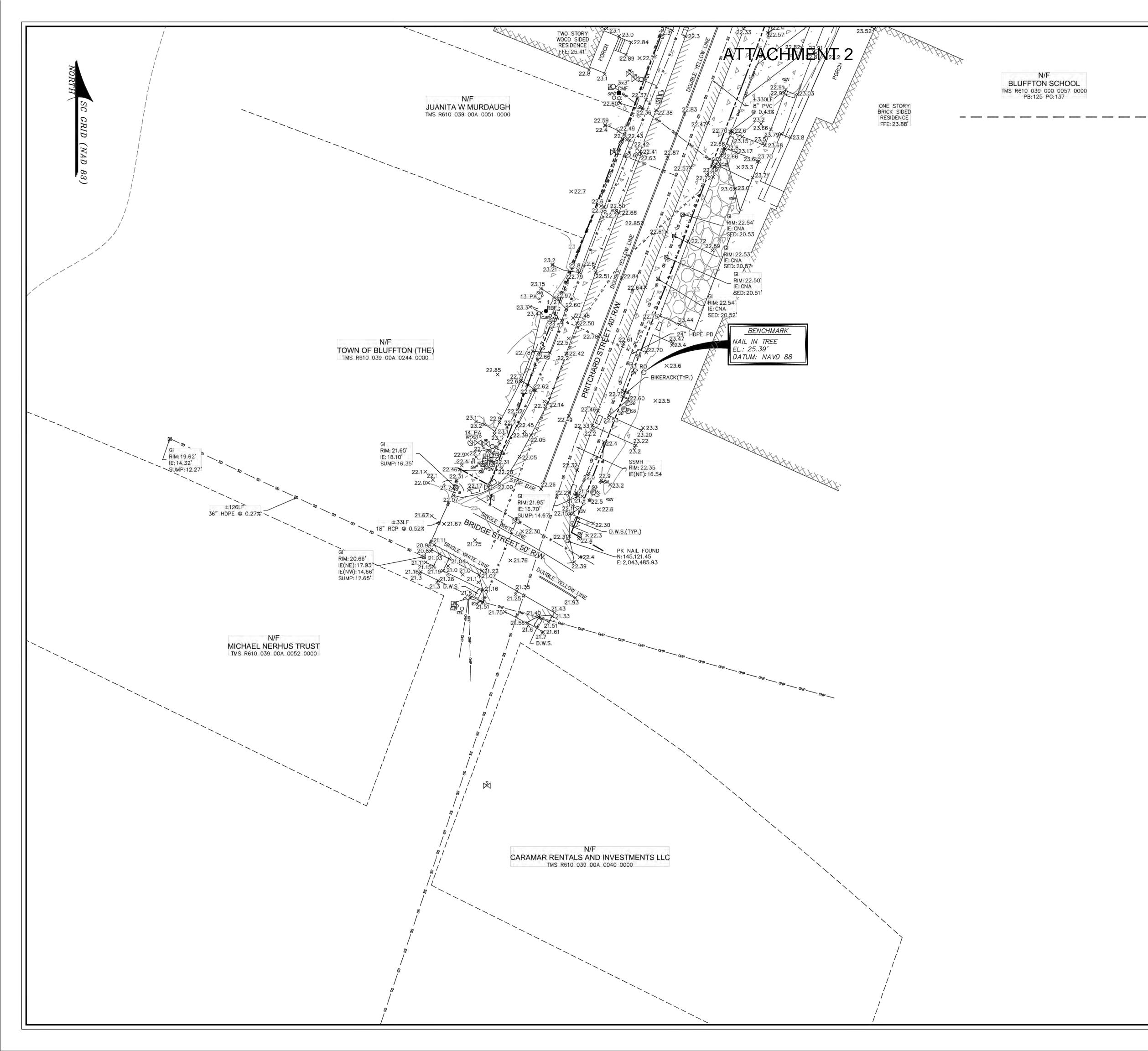
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 DTJ

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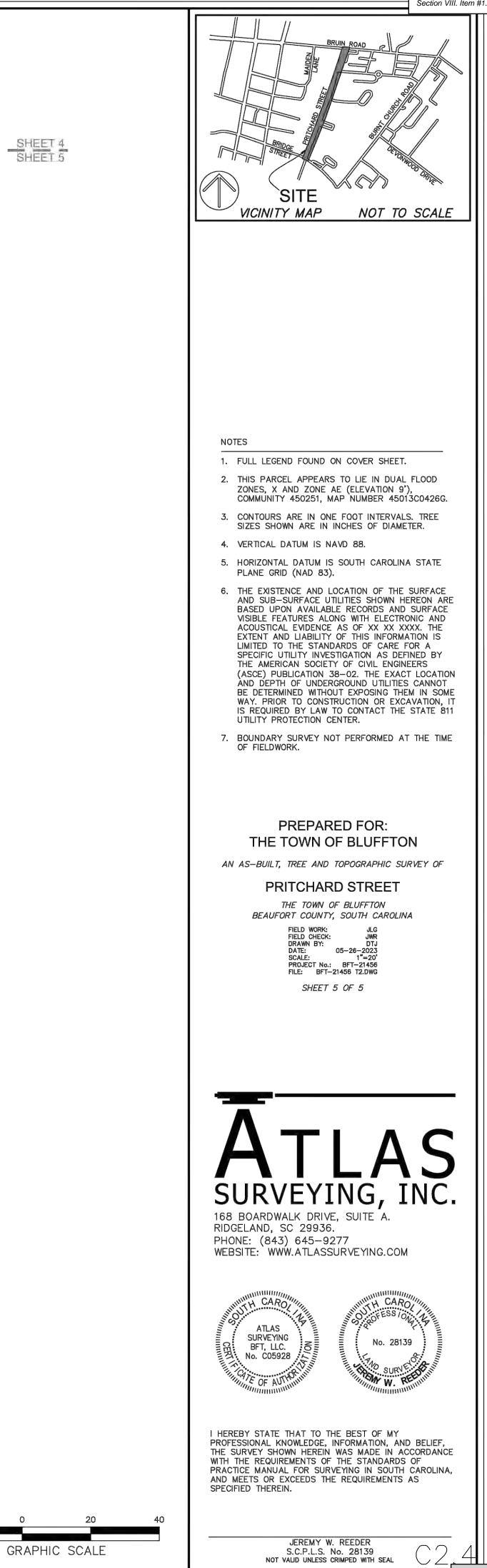
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 BFT-21456

 FILE:
 BFT-21456
 SHEET 3 OF 5 SURVEYING, INC. Gl 168 BOARDWALK DRIVE, SUITE A. RIDGELAND, SC 29936. PHONE: (843) 645–9277 WEBSITE: WWW.ATLASSURVEYING.COM RIM: 20.11' IE: 16.71' SUMP: 16.41' ATLAS SURVEYING No. 28139 RFT, LLC. No. C05928 I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN. JEREMY W. REEDER GRAPHIC SCALE S.C.P.L.S. No. 28139 NOT VALID UNLESS CRIMPED WITH SEAL



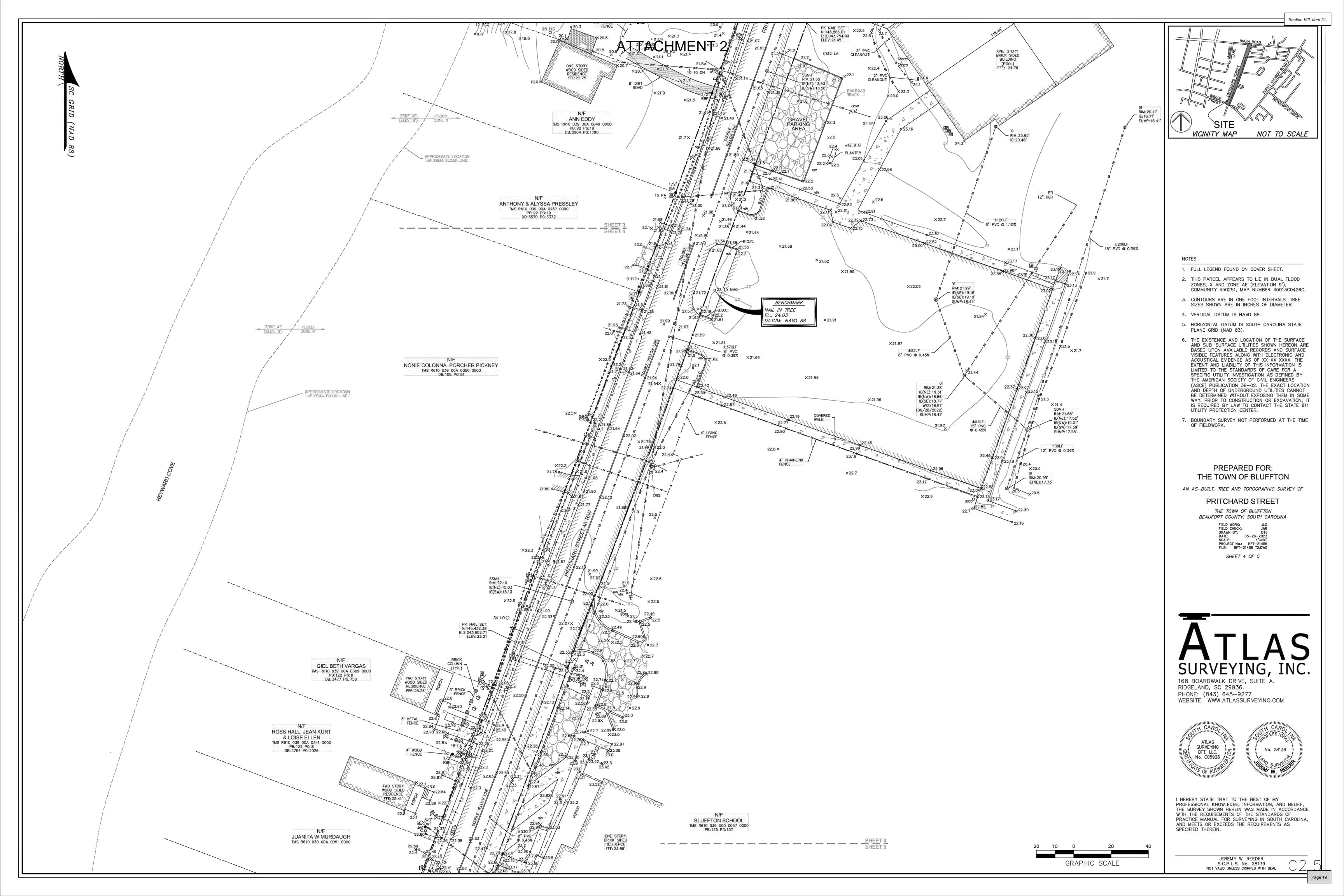
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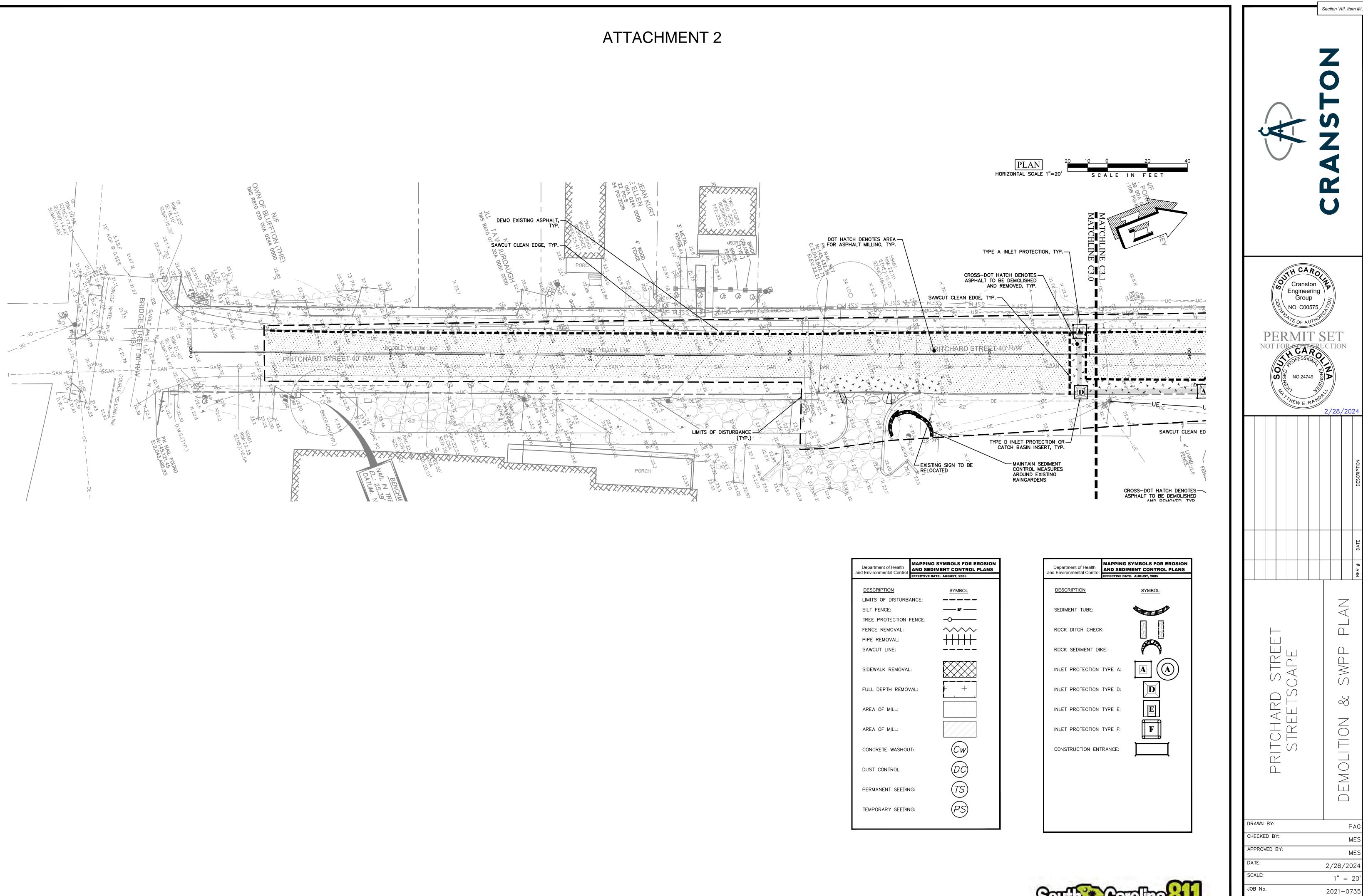


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and Environmental Control
DESCRIPTION
LIMITS OF DISTURBANCE:
SILT FENCE:
TREE PROTECTION FENCE:
FENCE REMOVAL:
PIPE REMOVAL:
SAWCUT LINE:
SIDEWALK REMOVAL:
FULL DEPTH REMOVAL:
AREA OF MILL:
AREA OF MILL:
CONCRETE WASHOUT:
DUST CONTROL:
PERMANENT SEEDING:
TEMPORARY SEEDING:

JOB No. DRAWING No.

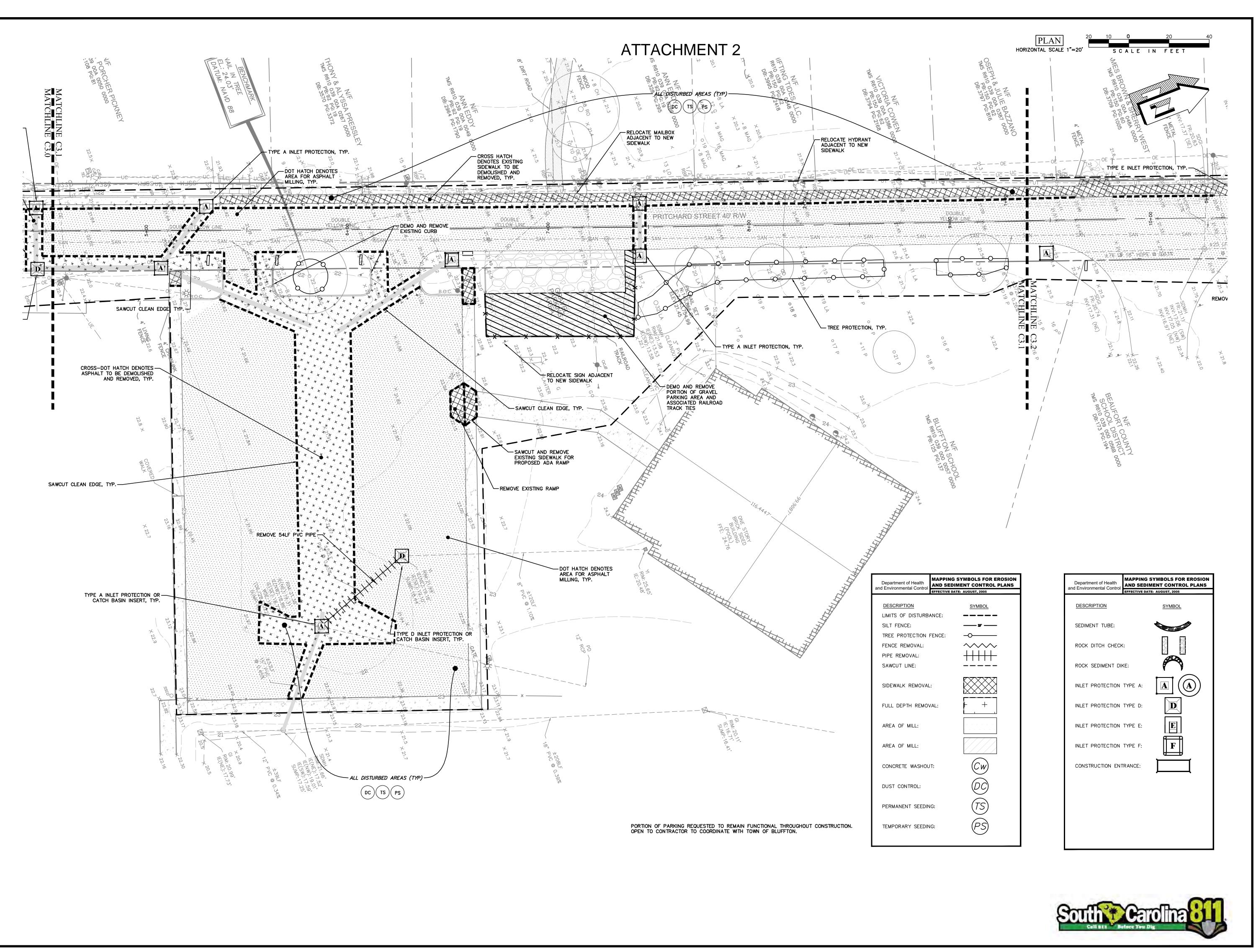
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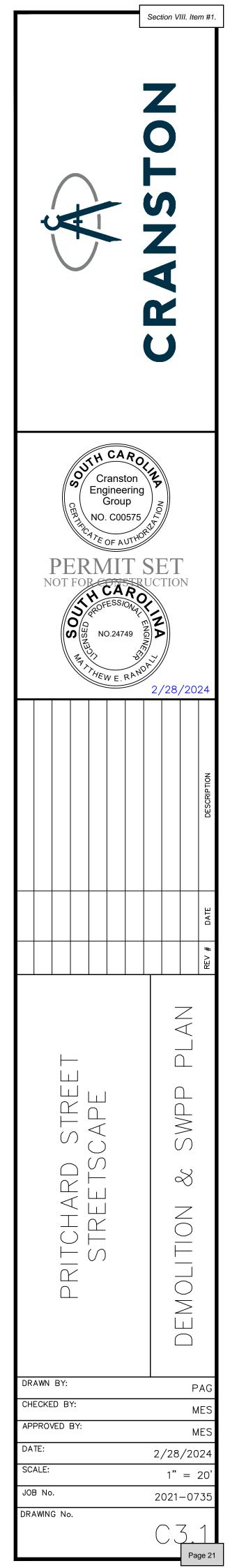
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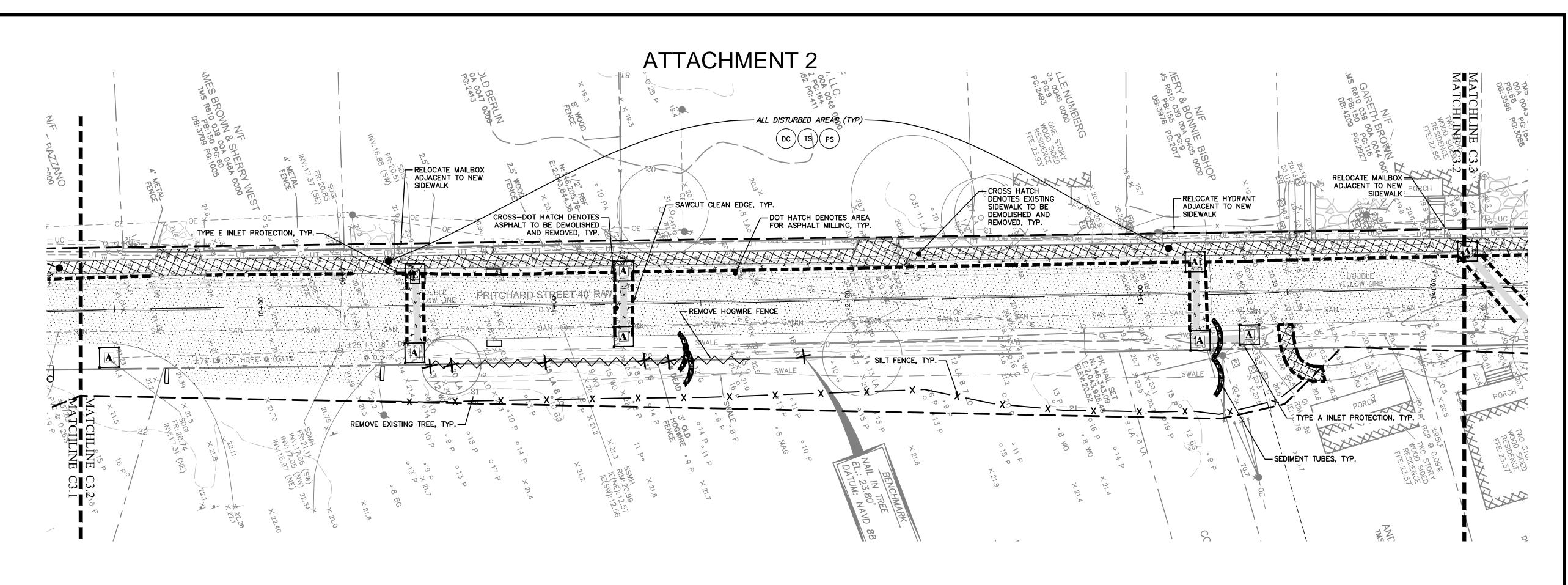
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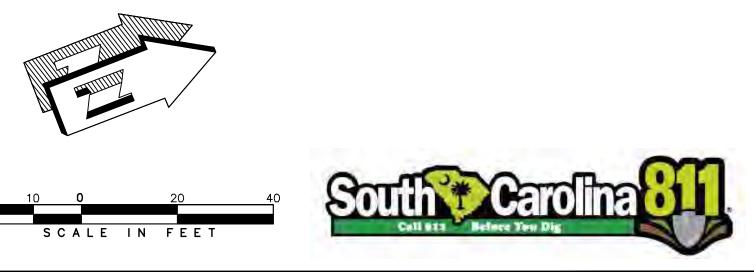
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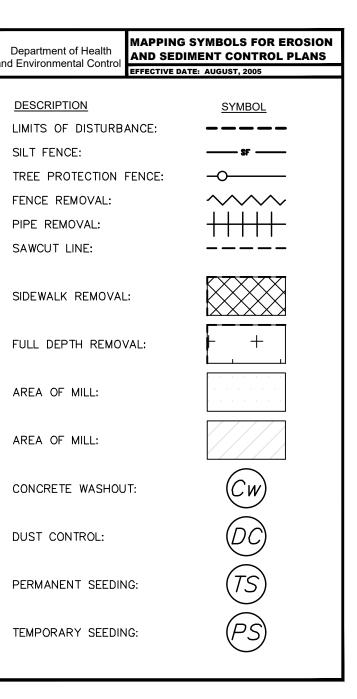
and Environmental Control
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FENCE REMOVAL:
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SAWCUT LINE:
SIDEWALK REMOVAL:
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CONCRETE WASHOUT:
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PERMANENT SEEDING:
TEMPORARY SEEDING:



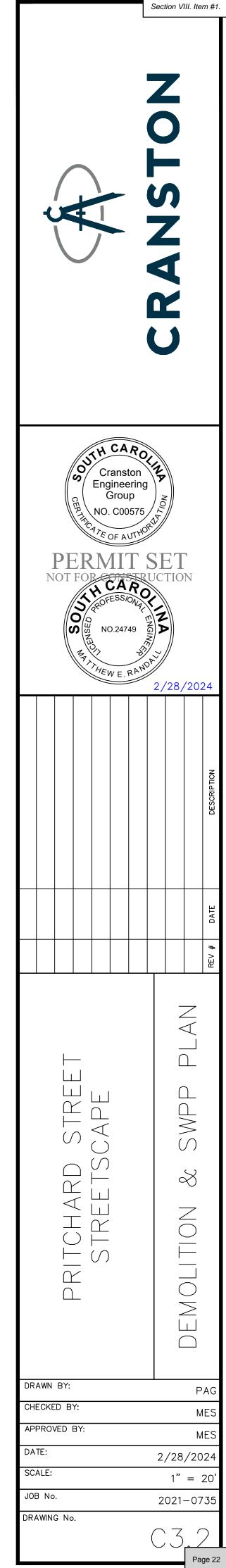


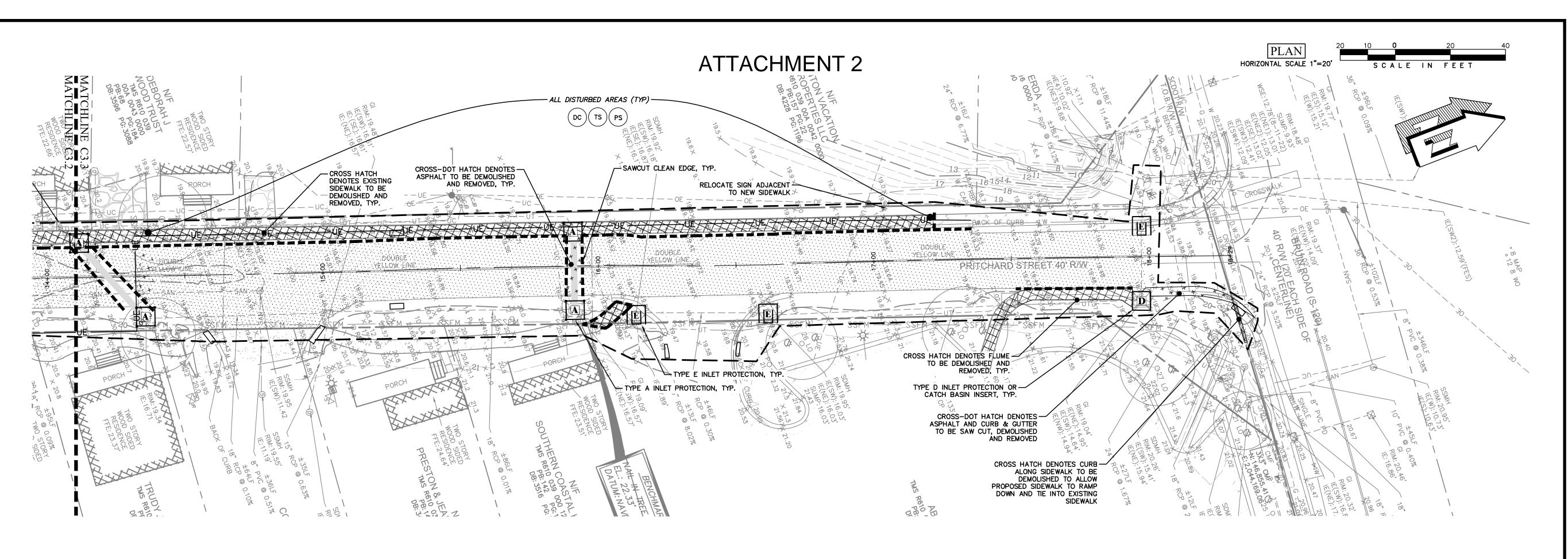




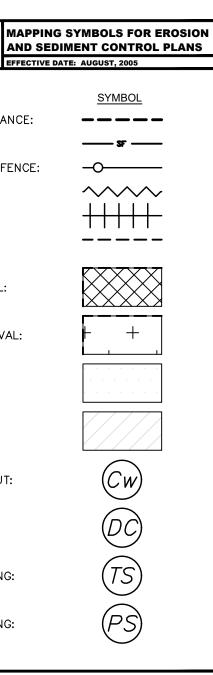


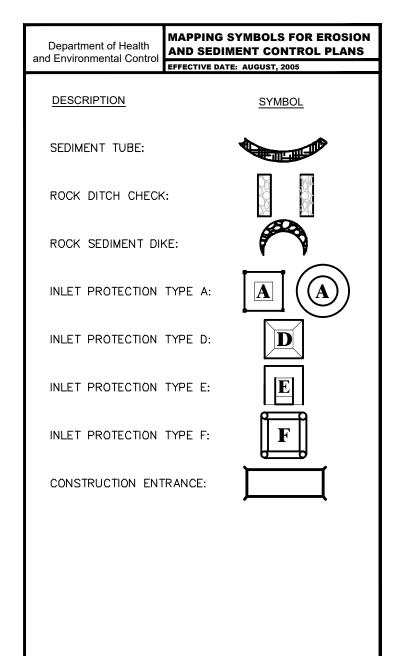
Department of Health and Environmental Control	MAPPING SYMBOLS FOR EROSION AND SEDIMENT CONTROL PLANS EFFECTIVE DATE: AUGUST, 2005
DESCRIPTION	<u>SYMBOL</u>
SEDIMENT TUBE:	
ROCK DITCH CHECK:	
ROCK SEDIMENT DIK	E:
INLET PROTECTION	
INLET PROTECTION	TYPE D:
INLET PROTECTION	TYPE E:
INLET PROTECTION	
CONSTRUCTION ENTR	



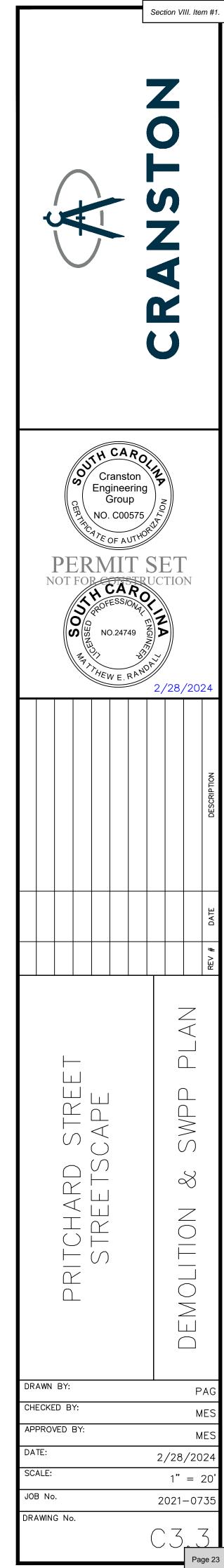


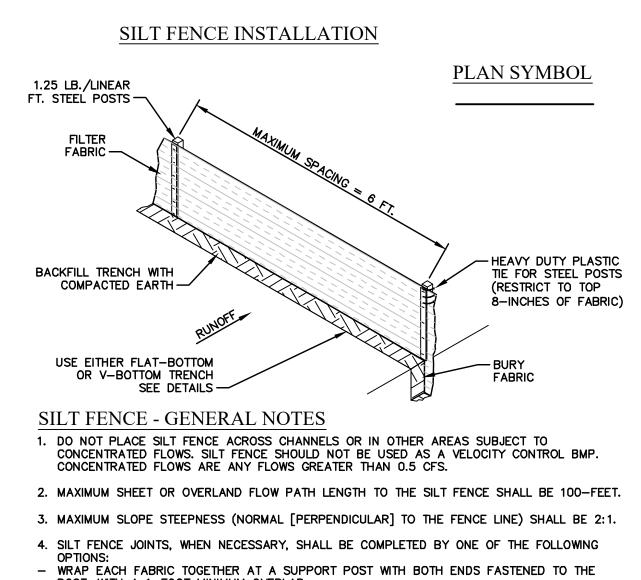
Department of Health and Environmental Control	AND SEDIM
DESCRIPTION	
LIMITS OF DISTURB	ANCE:
SILT FENCE:	
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FENCE REMOVAL:	
PIPE REMOVAL:	
SAWCUT LINE:	
SIDEWALK REMOVAL	:
FULL DEPTH REMOV	/AL:
AREA OF MILL:	
AREA OF MILL:	
CONCRETE WASHOU	Т:
DUST CONTROL:	
PERMANENT SEEDIN	G:
TEMPORARY SEEDIN	G:











- POST, WITH A 1-FOOT MINIMUM OVERLAP; - OVERLAP SILT FENCE BY INSTALLING 3-FEET PASSED THE SUPPORT POST TO WHICH THE NEW SILT FENCE ROLL IS ATTACHED. ATTACH OLD ROLL TO NEW ROLL WITH HEAVY-DUTY PLASTIC - OVERLAP ENTIRE WIDTH OF EACH SILT FENCE ROLL FROM ONE SUPPORT POST TO THE NEXT
- SUPPORT POST.
- 5. ATTACH FILTER FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE EVENLY SPACED WITHIN THE TOP 8-INCHES OF THE FABRIC.
- 6. INSTALL THE SILT FENCE PERPENDICULAR TO THE DIRECTION OF THE STORMWATER FLOW AND PLACE THE SILT FENCE THE PROPER DISTANCE FROM THE TOE OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.
- 7. INSTALL SILT FENCE CHECKS (TIE-BACKS) EVERY 50-100 FEET, DEPENDENT ON SLOPE ALONG SILT FENCE THAT IS INSTALLED WITH SLOPE AND WHERE CONCENTRATED FLOWS ARE EXPECTED OR ARE DOCUMENTED ALONG THE PROPOSED/INSTALLED SILT FENCE.

SILT FENCE

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL STANDARD DRAWING NO. SC-03 [PAGE 1]

N.T.S.

SILT FENCE - POST REQUIREMENTS

- . SILT FENCE POSTS MUST BE 48-INCH LONG STEEL POSTS THAT MEET,
- AT A MINIMUM, THE FOLLOWING PHYSICAL CHARACTERISTICS. - COMPOSED OF A HIGH STRENGTH STEEL WITH A MINIMUM YIELD
- STRENGTH OF 50,000 PSI. - INCLUDE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND A NOMINAL "T" LENGTH OF 1.48-INCHES. - WEIGH 1.25 POUNDS PER FOOT (± 8%)
- 2. POSTS SHALL BE EQUIPPED WITH PROJECTIONS TO AID IN FASTENING OF FILTER FABRIC.
- 3. STEEL POSTS MAY NEED TO HAVE A METAL SOIL STABILIZATION PLATE WELDED NEAR THE BOTTOM WHEN INSTALLED ALONG STEEP SLOPES OR INSTALLED IN LOOSE SOILS. THE PLATE SHOULD HAVE A MINIMUM CROSS SECTION OF 17-SQUARE INCHES AND BE COMPOSED OF 15 GAUGE STEEL, AT A MINIMUM. THE METAL SOIL STABILIZATION PLATE SHOULD BE COMPLETELY BURIED.
- 4. INSTALL POSTS TO A MINIMUM OF 24-INCHES. A MINIMUM HEIGHT OF 1-TO 2- INCHES ABOVE THE FABRIC SHALL BE MAINTAINED, AND A MAXIMUM HEIGHT OF 3 FEET SHALL BE MAINTAINED ABOVE THE
- 5. POST SPACING SHALL BE AT A MAXIMUM OF 6-FEET ON CENTER.

SILT FENCE - FABRIC REQUIREMENTS

- 1. SILT FENCE MUST BE COMPOSED OF WOVEN GEOTEXTILE FILTER FABRIC THAT CONSISTS OF THE FOLLOWING REQUIREMENTS: COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS
- OF AT LEAST 85% BY WEIGHT OF POLYOLEFINS, POLYESTERS, OR POLYAMIDES THAT ARE FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH
- FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION;
- FREE OF ANY DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES; AND,
- HAVE A MINIMÚM WIDTH OF 36-INCHES.
- 2. USE ONLY FABRIC APPEARING ON SC DOT'S QUALIFIED PRODUCTS LISTING (QPL), APPROVAL SHEET #34, MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SC DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- 3. 12-INCHES OF THE FABRIC SHOULD BE PLACED WITHIN EXCAVATED TRENCH AND TOED IN WHEN THE TRENCH IS BACKFILLED.
- 4. FILTER FABRIC SHALL BE PURCHASED IN CONTINUOUS ROLLS AND CUT
- TO THE LENGTH OF THE BARRIER TO AVOID JOINTS.
- 5. FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 24-INCHES ABOVE THE GROUND.

1. THE KEY TO FUNCTIONAL SILT FENCE IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

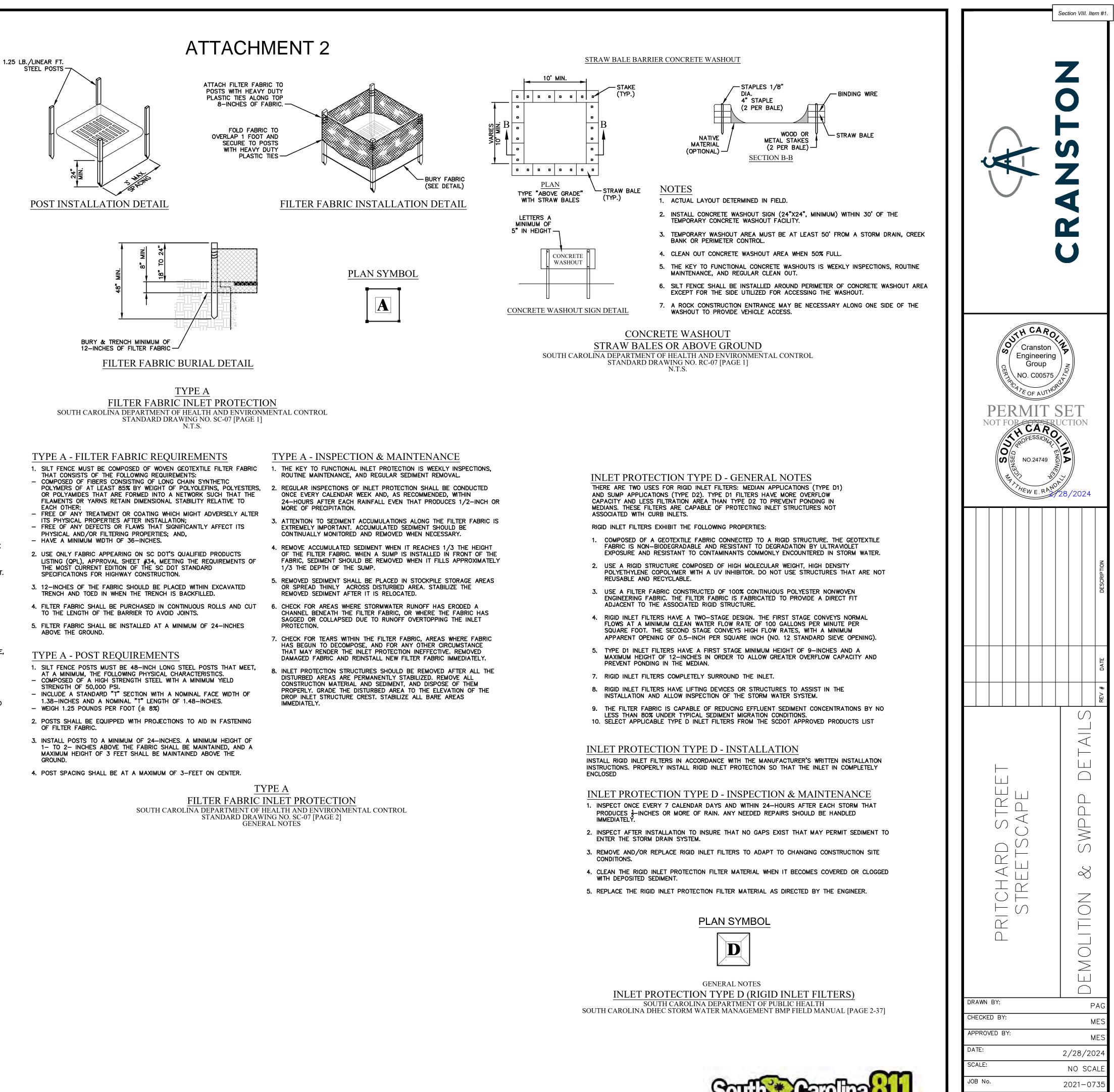
SILT FENCE - INSPECTION AND MAINTENANCE

- 2. REGULAR INSPECTIONS OF SILT FENCE SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVEN THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
- 3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE SILT FENCE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
- 4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SILT FENCE.
- 5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
- 6. CHECK FOR AREAS WHERE STORMWATER RUNOFF HAS ERODED A CHANNEL BENEATH THE SILT FENCE, OR WHERE THE FENCE HAS SAGGED OR COLLAPSED DUE TO RUNOFF OVERTOPPING THE SILT FENCE. INSTALL CHECKS/TIE-BACKS AND/OR REINSTALL SILT FENCE, AS NECESSARY.
- 7. CHECK FOR TEARS WITHIN THE SILT FENCE, AREAS WHERE SILT FENCE HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE SILT FENCE INEFFECTIVE. REMOVED DAMAGED SILT FENCE AND REINSTALL NEW SILT FENCE IMMEDIATELY.
- 8. SILT FENCE SHOULD BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED AND ONCE IT IS REMOVED, THE RESULTING DISTURBED AREA SHALL BE PERMANENTLY STABILIZED.

SILT FENCE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL STANDARD DRAWING NO. SC-03 [PAGE 2] GENERAL NOTES

FLAT-BOTTOM TRENCH DETAIL HEAVY DUTY FILTER PLASTIC TIES FABRIC -COMPACTED EARTH RUNOFF FILTER V-SHAPED TRENCH DETAIL -HEAVY DUTY FILTER PLASTIC TIES FABRIC -COMPACTED EARTH RUNOFF BURY FILTER FARRIC AT

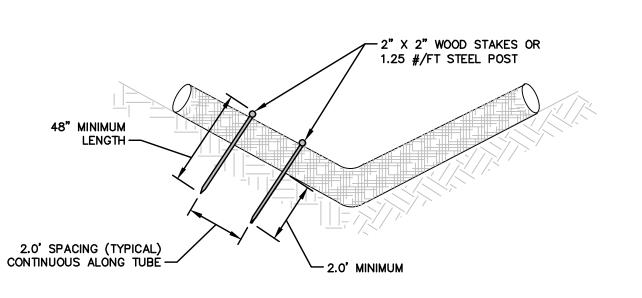
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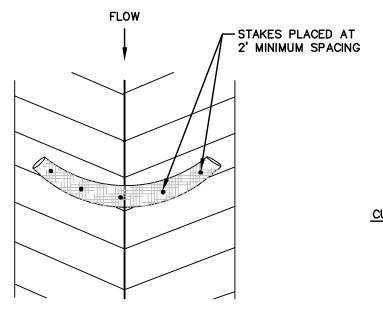


RAWING No.

Page 24







SEDIMENT TUBE SPACING

SLOPE	MAX. SEDIMENT TUBE SPACING
LESS THAN 2%	150-FEET
2%	100-FEET
3%	75-FEET
4%	50-FEET
5%	40-FEET
6%	30-FEET
GREATER THAN 6%	25-FEET

PLAN SYMBOI

SEDIMENT TUBES SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL STANDARD DRAWING NO. SC-05 [PAGE 1] N.T.S.

SEDIMENT TUBES - GENERAL NOTES

- SEDIMENT TUBES MAY BE INSTALLED ALONG CONTOURS, IN DRAINAGE CONVEYANCE CHANNELS, AND AROUND INLETS TO HELP PREVENT OFF-SITE DISCHARGE OF SEDIMENT-LADEN STORMWATER RUNOFF
- 2. SEDIMENT TUBES ARE ELONGATED TUBES OF COMPACTED GEOTEXTILES, CURLED EXCELSIOR WOOD, NATURAL COCONUT FIBER, OR HARDWOOD MULCH. STRAW, PINE NEEDLE, AND LEAF MULCH-FILLED SEDIMENT TUBES ARE NOT PERMITTED.
- 3. THE OUTER NETTING OF THE SEDIMENT TUBE SHOULD CONSIST OF SEAMLESS, HIGH-DENSITY POLYETHYLENE PHOTODEGRADABLE MATERIALS TREATED WITH ULTRAVIOLET STABILIZERS OR A SEAMLESS, HIGH-DENSITY POLYETHYLENE NON-DEGRADABLE MATERIAI
- SEDIMENT TUBES, WHEN USED AS CHECKS WITHIN CHANNELS SHOULD RANGE BETWEEN 18-INCHES AND 24-INCHES DEPENDING ON CHANNEL DIMENSIONS. DIAMETERS OUTSIDE THIS RANGE MAY BE ALLOWED WHERE NECESSARY WHEN APPROVED.
- 5. CURLED EXCELSIOR WOOD, OR NATURAL COCONUT PRODUCTS THAT ARE ROLLED UP TO CREATE A SEDIMENT TUBE ARE NOT ALLOWED
- 6. SEDIMENT TUBES SHOULD BE STAKED USING WOODEN STAKES (2-INCH X 2-INCH) OR STEEL POSTS (STANDARD "U" OR "T" SECTIONS WITH A MINIMUM WEIGHT OF 1.25 POUNDS PER FOOT) AT A MINIMUM OF 48-INCHES IN LENGTH PLACED ON 2-FOOT CENTERS.
- 7. INSTALL ALL SEDIMENT TUBES TO ENSURE THAT NO GAPS EXIST BETWEEN THE SOIL AND THE BOTTOM OF THE TUBE. MANUFACTURER'S RECOMMENDATIONS SHOULD ALWAYS BE CONSULTED BEFORE INSTALLATION.
- 8. THE ENDS OF ADJACENT SEDIMENT TUBES SHOULD BE OVERLAPPED 6-INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE FIELD JOINT.
- 9. SEDIMENT TUBES SHOULD NOT BE STACKED ON TOP OF ONE ANOTHER, UNLESS RECOMMENDED BY MANUFACTURER.
- 10. EACH SEDIMENT TUBE SHOULD BE INSTALLED IN A TRENCH WITH A DEPTH EQUAL TO 1/5 THE DIAMETER OF THE SEDIMENT TUBE.
- 11. SEDIMENT TUBES SHOULD CONTINUE UP THE SIDE SLOPES A MINIMUM OF 1-FOOT ABOVE THE DESIGN FLOW DEPTH OF THE
- 12. INSTALL STAKES AT A DIAGONAL FACING INCOMING RUNOFF.

- SEDIMENT TUBES INSPECTION & MAINTENANCE 1. THE KEY TO FUNCTIONAL SEDIMENT TUBES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
- 2. REGULAR INSPECTIONS OF SEDIMENT TUBES SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVEN THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
- 3. ATTENTION TO SEDIMENT ACCUMULATIONS IN FRONT OF THE SEDIMENT TUBE IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
- 4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE SEDIMENT TUBE. 5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR
- SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
- 6. LARGE DEBRIS, TRASH, AND LEAVES SHOULD BE REMOVED FROM IN FRONT OF TUBES WHEN FOUND. 7. IF EROSION CAUSES THE EDGES TO FALL TO A HEIGHT EQUAL TO OR BELOW THE HEIGHT OF THE SEDIMENT TUBE, REPAIRS SHOULD BE MADE IMMEDIATELY
- TO PREVENT RUNOFF FROM BYPASSING TUBE. 8. SEDIMENT TUBES SHOULD BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN COMPLETELY STABILIZED. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH SEDIMENT TUBES HAVE BEEN REMOVED.

SEDIMENT TUBES

SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL

STANDARD DRAWING NO. SC-05 [PAGE 2] GENERAL NOTES

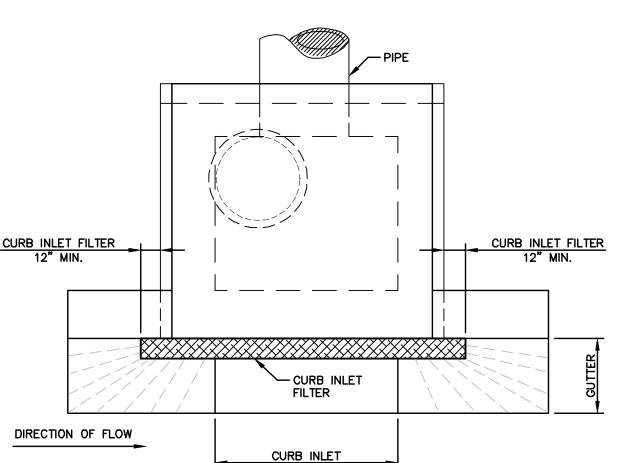
STANDARD NOTES:

CHANNEL.

- 1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- 2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN
- GROUND CONDITIONS. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY
- STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE. 3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE
- PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED. 4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION
- UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED. 5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL
- AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 & SCR100000. 6. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL
- IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- 7. ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- 8. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H: 1V OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

- 9. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL 10. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE. 11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS.
- THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAG, ETC.) 12. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
- COMPOUNDS & OTHER CONSTRUCTION MATERIALS
- · SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION
- BMP'S MUST BE IMPLEMENTED AS SOON A REASONABLY POSSIBLE. TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- 17. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT.
- 18. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED ARFAS. 19. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES
- A PAVED ROADWAY.

ATTACHMENT 2 TOP VIEW



TYPE

SURFACE COURSE CURB INLET FILTERS SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL STANDARD DRAWING NO. SC-10 [PAGE 1] N.T.S.

- **TYPE E SURFACE COURSE CURB INLET FILTERS GENERAL NOTES**
- ONLY USE SURFACE CURB INLET FILTERS THAT HAVE A MINIMUM HEIGHT OR DIAMETER OF 9-INCHES AND HAVE A MINIMUM LENGTH THAT IS 2-FEET LONGER THAN THE LENGTH OF THE CURB OPENING.
- SURFACE COURSE INLETS FILTERS THAT ARE DESIGNED TO COMPLETELY BLOCK THE INLET OPENING ARE PROHIBITED. ACCEPTABLE INLET FILTERS SHOULD ALLOW FOR OVERFLOWS TO ENTER THE CATCH BASIN
- 3. SURFACE COURSE INLET FILTERS SHOULD BE CONSTRUCTED WITH A SYNTHETIC MATERIAL THAT WILL ALLOW STORMWATER TO FREELY FLOW THROUGH WHILE TRAPPING SEDIMENT AND DEBRIS.
- 4. STRAW, STRAW FIBER, STRAW BALES, PINE NEEDLES AND LEAF MULCH ARE NOT PERMISSIBLE FILTER MATERIALS.
- 5. EACH FILTER SHOULD HAVE AGGREGATE COMPARTMENTS FOR STONE, SAND, AND OTHER WEIGHTED MATERIALS OR MECHANISMS TO HOLD THE UNIT IN PLACE. FILL AGGREGATE COMPARTMENTS TO A LEVEL (AT LEAST 1/2 FULL) TO HOLD THE FILTER IN PLACE AND CREATE A SEAL BETWEEN THE FILTER AND THE ROAD SURFACE.
- 6. USE ONLY TYPE E INLET FILTERS APPEARING ON SC DOT'S QUALIFIED PRODUCTS LISTING (QPL), APPROVAL SHEET #58, OR FILTERS THAT MEETING THE MOST CURRENT EDITION OF THE SC DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

PLAN SYMBOL



TYPE E - SURFACE COURSE CURB INLET FILTERS INSPECTION & MAINTENANCE

- 1. THE KEY TO FUNCTIONAL INLET PROTECTION IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
- 2. REGULAR INSPECTIONS OF ALL INLET PROTECTION SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCH OR MORE OF PRECIPITATION.
- 3. ATTENTION TO SEDIMENT ACCUMULATIONS IN FRONT OF THE INLET PROTECTION IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
- 4. REMOVE ACCUMULATED SEDIMENT WHEN SILT AND/OR DEBRIS HAS BUILT UP AROUND THE FILTER PREVENTING STORMWATER TO FLOW THROUGH THE FILTER.
- 5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
- 6. INLET PROTECTION STRUCTURES SHOULD BE REMOVED AFTER THE DISTURBED AREAS ARE PERMANENTLY STABILIZED. REMOVE ALL CONSTRUCTION MATERIAL AND SEDIMENT, AND DISPOSE OF THEM PROPERLY. GRADE THE DISTURBED AREA TO THE ELEVATION OF THE DROP INLET STRUCTURE CREST. STABILIZE ALL BARE AREAS IMMEDIATELY.

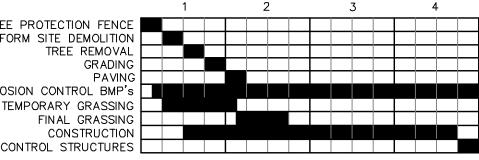
TYPE E

SURFACE COURSE CURB INLET FILTERS SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL STANDARD DRAWING NO. SC-10 [PAGE 2] GENERAL NOTES

- · WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL · WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING
- · FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE 13. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT
- 14. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH
- MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE 15. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION
- 16. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT

MONTHS OF CONSTRUCTION ACTIVITIES

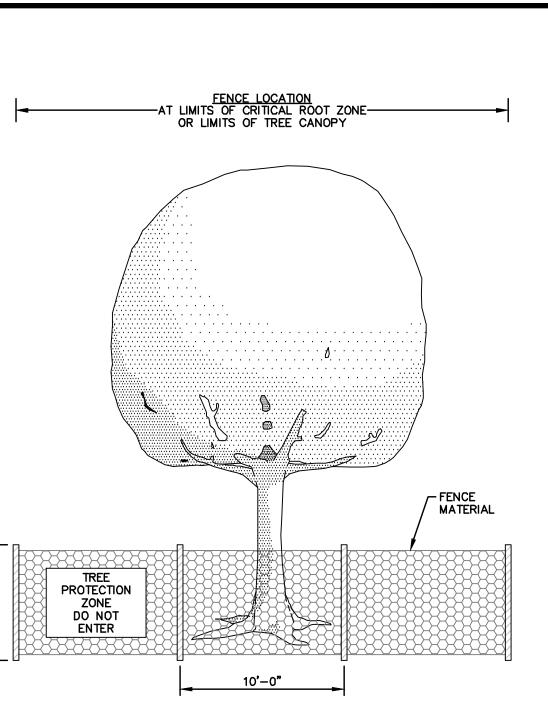
INSTALL SILT FENCE & TREE PROTECTION FENCE INSTALL INLET PROTECTION & PERFORM SITE DEMOLITION TREE REMOVAL MAINTENANCE OF EROSION CONTROL BMP's



REMOVAL OF SEDIMENT CONTROL STRUCTURES

- 1. THE TIME AND PERIODS ABOVE ARE NOT EXACT OR READILY DETERMINABLE BUT IN ALL CASES SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE
- INCORPORATED INTO THE CONSTRUCTION IN THE SEQUENCE AS SHOWN ABOVE AND/ OR AS DIRECTED BY THE TOWN OF BLUFFTON OR SCDHEC. 2. GRASSING WILL BE ACCEPTED WHEN A 95% COVER BY PERMANENT GRASSES IS
- OBTAINED AND WEEDS ARE NOT DOMINANT. 3. GRASSING OF CONSTRUCTION AREAS WILL COMMENCE AT COMPLETION OF EACH PHASE OF CONSTRUCTION OR IN THE SEQUENCE AS SHOWN ABOVE. IN ANY CASE, GRASSING OF ANY CONSTRUCTION AREA WILL BEGIN AT THE EARLIEST POSSIBLE DATE.

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."



TREE PROTECTION FENCE DETAIL N.T.S.

- NOTES: 1. INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE REMOVALS.
- 2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."

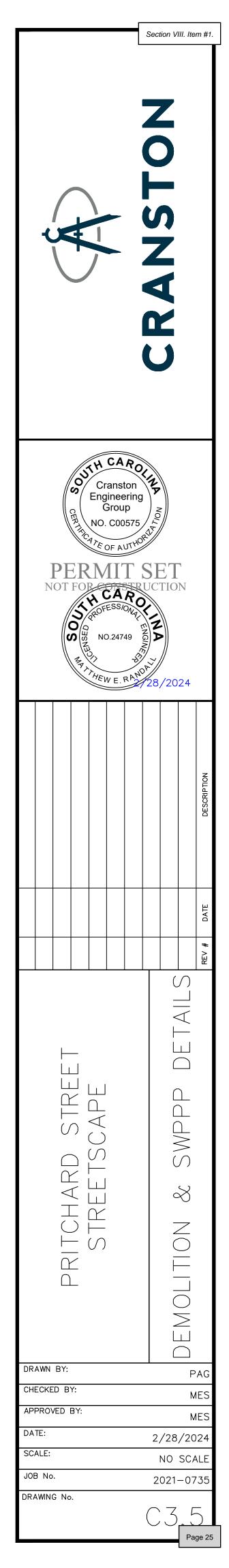
GRASSING REQUIREMENTS

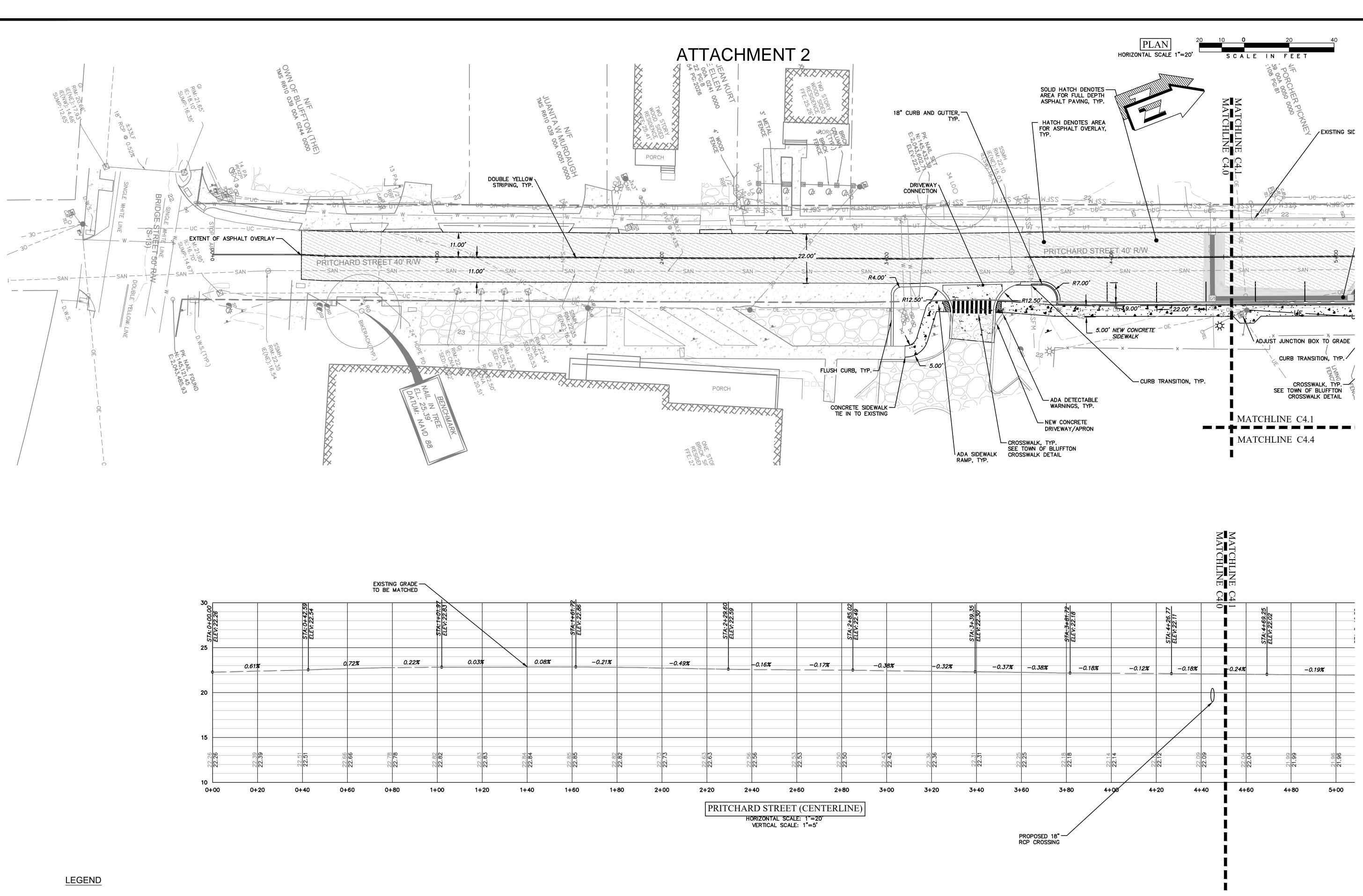
- 1. SEEDING SCHEDULE: TEMPORARY SEEDING: APRIL 15 AUGUST 31, BROWNTOP MILLET @ 40 LBS/ACRE. SEPTEMBER 1, - DECEMBER 15, RYE GRAIN @ 56 LBS/ACRE PERMANENT SEEDING: APRIL 1 - OCTOBER 15, A MIXTURE OF KENTUCKY 31 FESCUE @ 20 LBS/ACRE AND CREEPING RED FESQUE @ 20 LBS/ACRE. SEPTEMBER 1 TO OCTOBER 15, ADD A NURSE CROP OF ABRUZZI RYE @ 75 LBS/ACRE. OCTOBER 15 TO MARCH 30 SEED ABRUZZI RYE AT 100 LBS/ACRE. DOLOMITIC LIME WILL BE INCORPORATED AT THE RATE OF 3000 POUNDS/ACRE. 2. FERTILIZER WILL BE A COMMERCIAL GRADE 10-10-10 INCORPORATED INTO THE SOIL AT A RATE
- 1500 POUNDS/ACRE. 3. FROM JUNE THROUGH AUGUST AND NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO 60 POUNDS OF AVAILABLE
- NITROGEN/ACRE. 4. ALL SEEDED AREAS WILL BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 POUNDS/ACRE. 5. SEEDING AND MULCHING MAY BE ACCOMPLISHED IN A SINGLE HYDROSEEDING OPERATION. SEEDED AREAS WILL BE MULCHED WITH HAY, STRAW OR WOOD CELLULOSE AT A RATE OF 1500 LBS/ACRE.

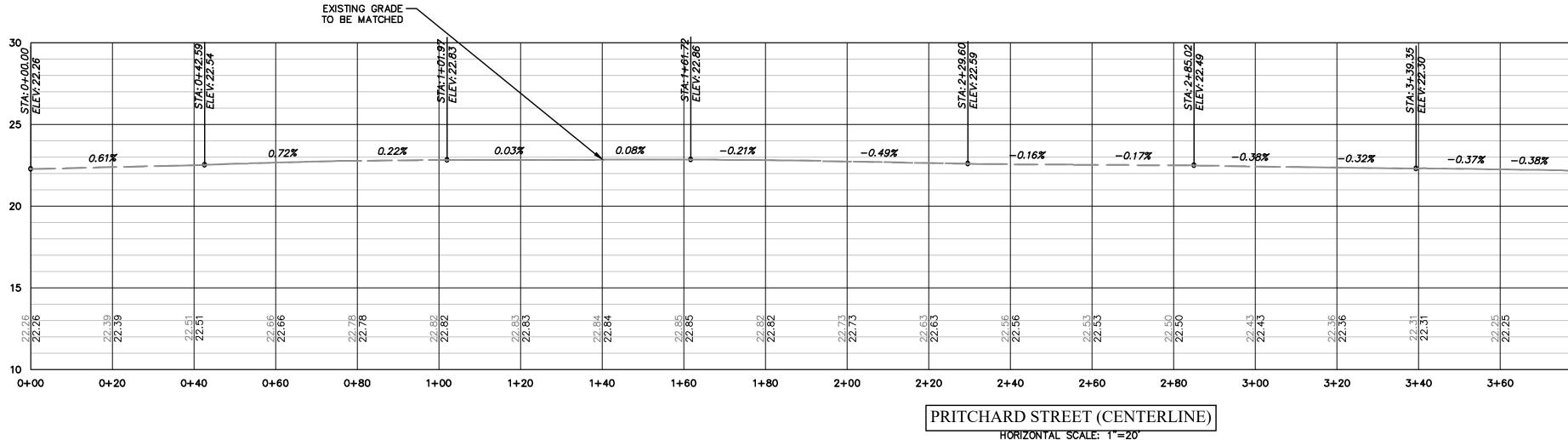
TEMPORARY GRASSING

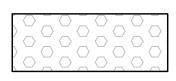
1. MARCH 1-AUGUST 14 SHALL BE PEARL MILLET 50 LBS./ACRE COVERED WITH HEAVY MULCH. AUGUST 15-FEBRUARY 28 SHALL BE RYE GRASS 40 LBS./ACRE AND RYE GRAIN SIMULTANEOUSLY.











PERVIOUS SIDEWALK

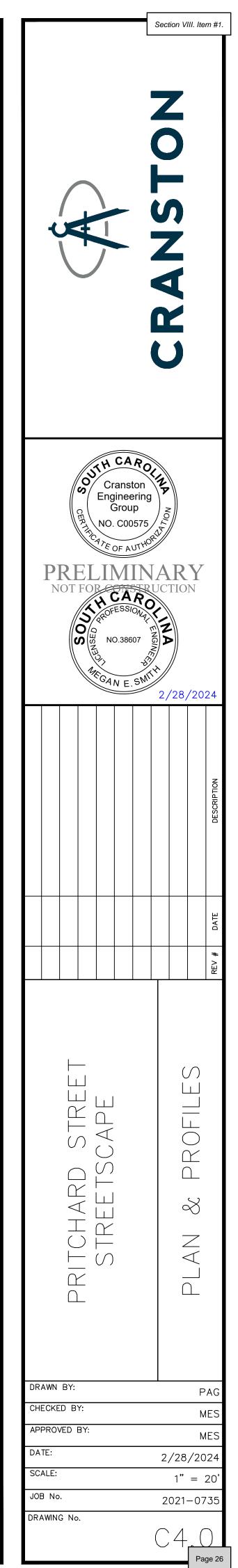


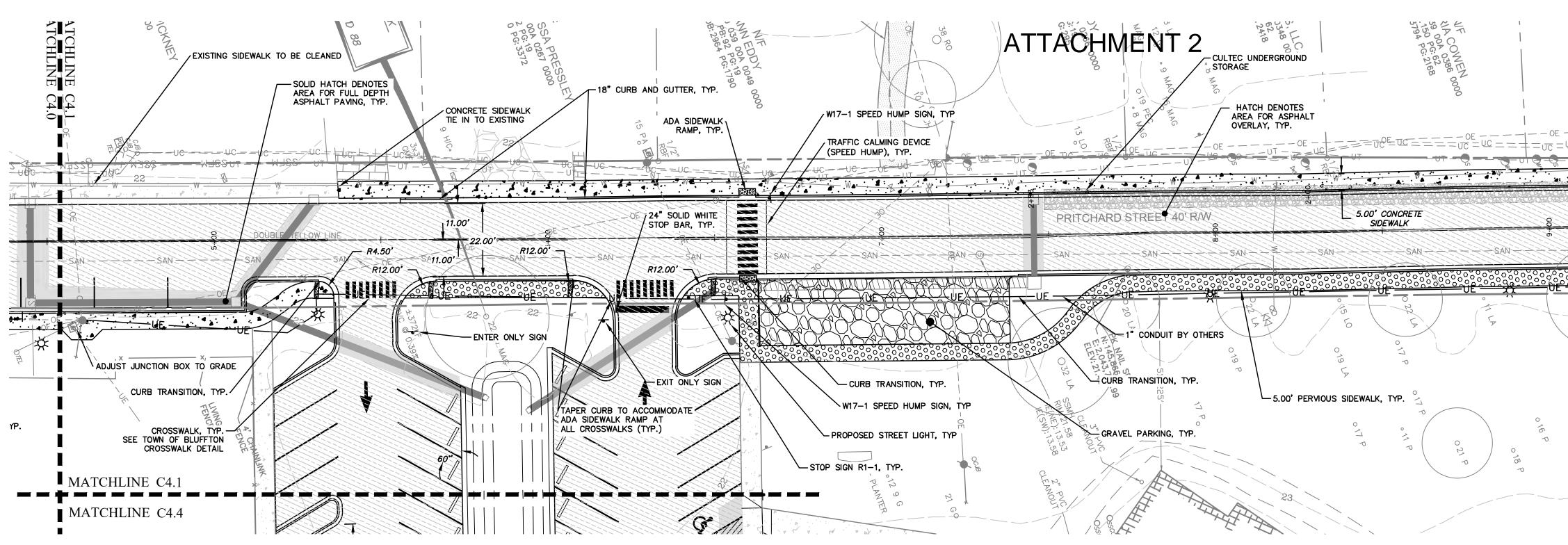
CONCRETE

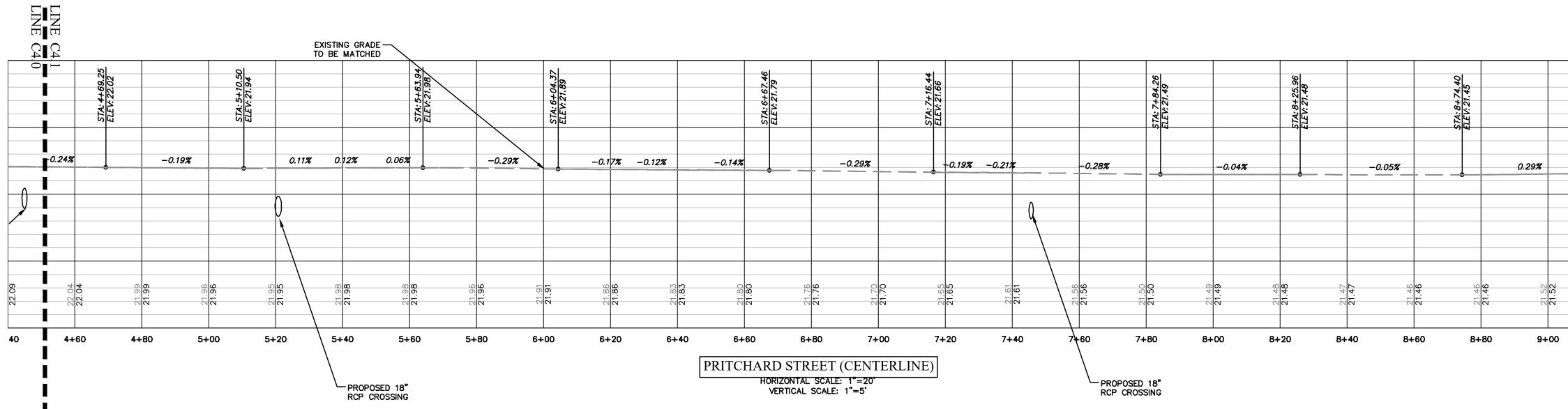
FULL DEPTH ASPHALT

OVERLAY ASPHALT

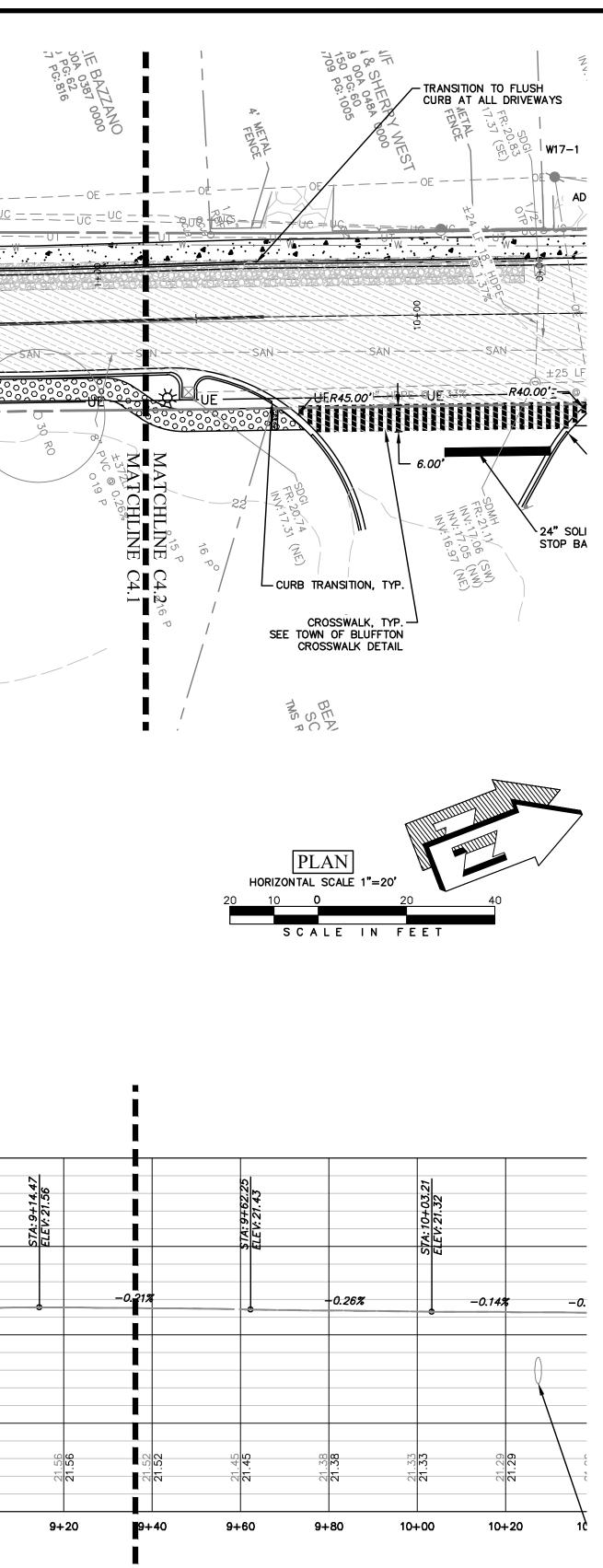












()A P H () \bigcirc \sim CHARD TREETS(\square \sim $\stackrel{\textstyle \swarrow}{\triangleleft}$ $\vdash \bigcirc$ ____ Ŕ \bigcirc \bigcirc DRAWN BY: PAC CHECKED BY: ME APPROVED BY: MES DATE: 2/28/2024 SCALE: 1" = 20 JOB No. 2021-0735 DRAWING No. C 4 1 Page 27

Section VIII. Item #1.

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CTION

2/28/202

TH CARO

Cranston

Engineering Group

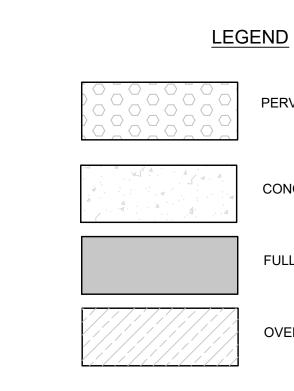
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PRELIMINARY

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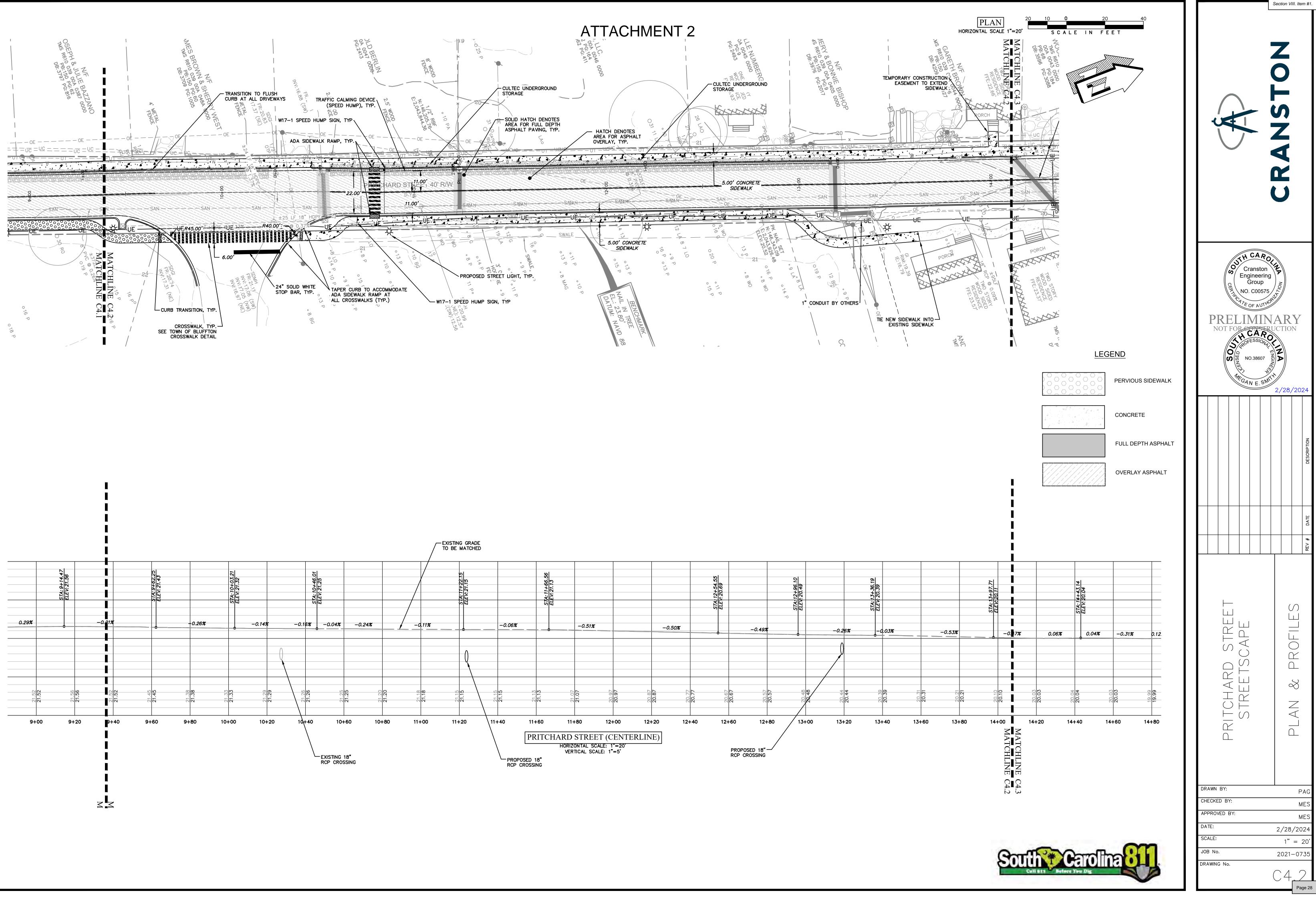
MATCHLINE C4.2 MATCHLINE C4.1

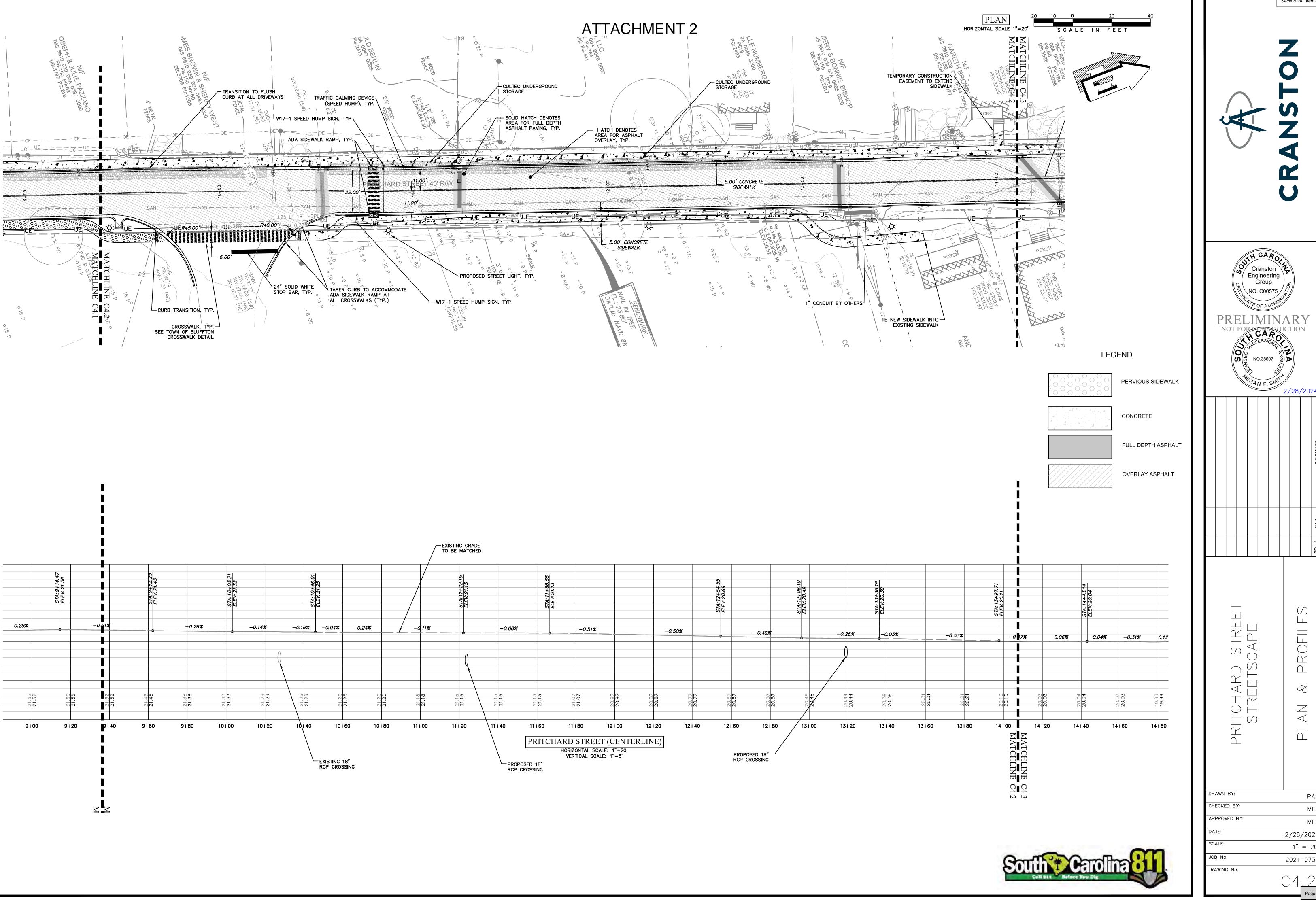
CONCRETE

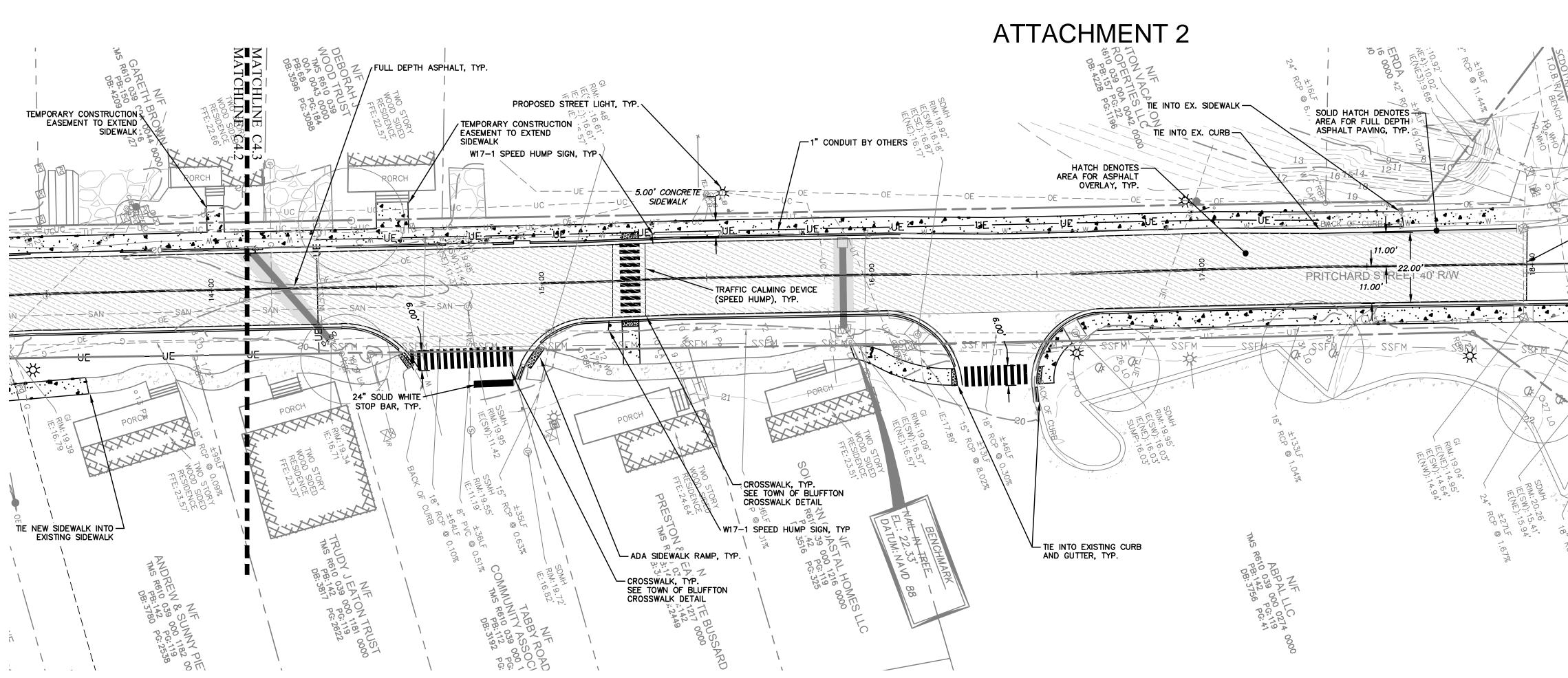
FULL DEPTH ASPHALT

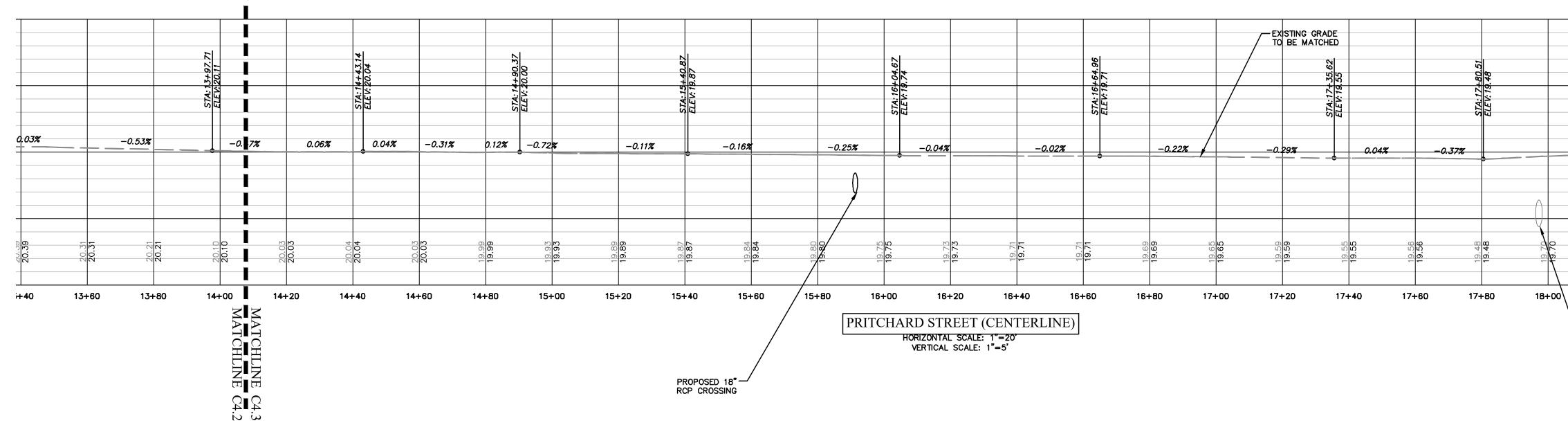
PERVIOUS SIDEWALK

OVERLAY ASPHALT

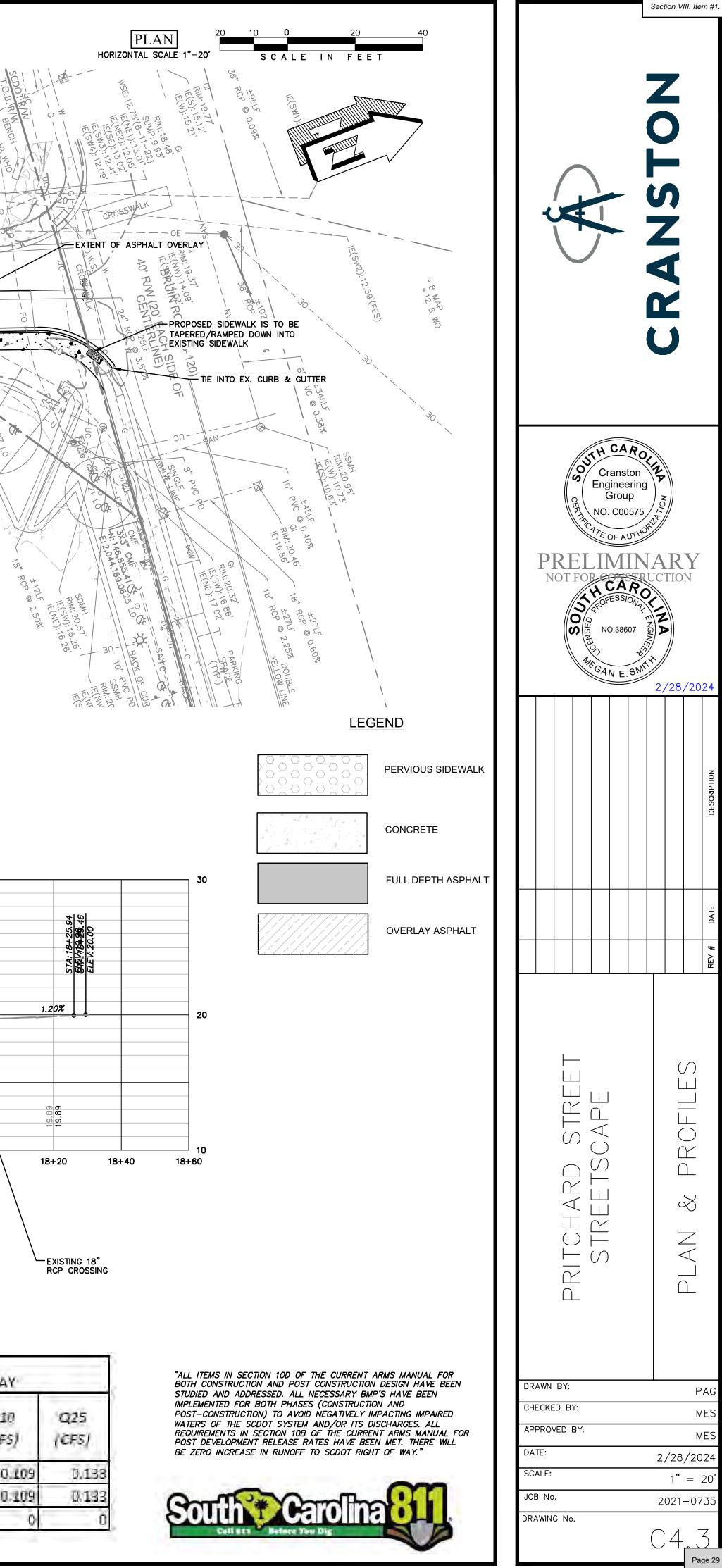


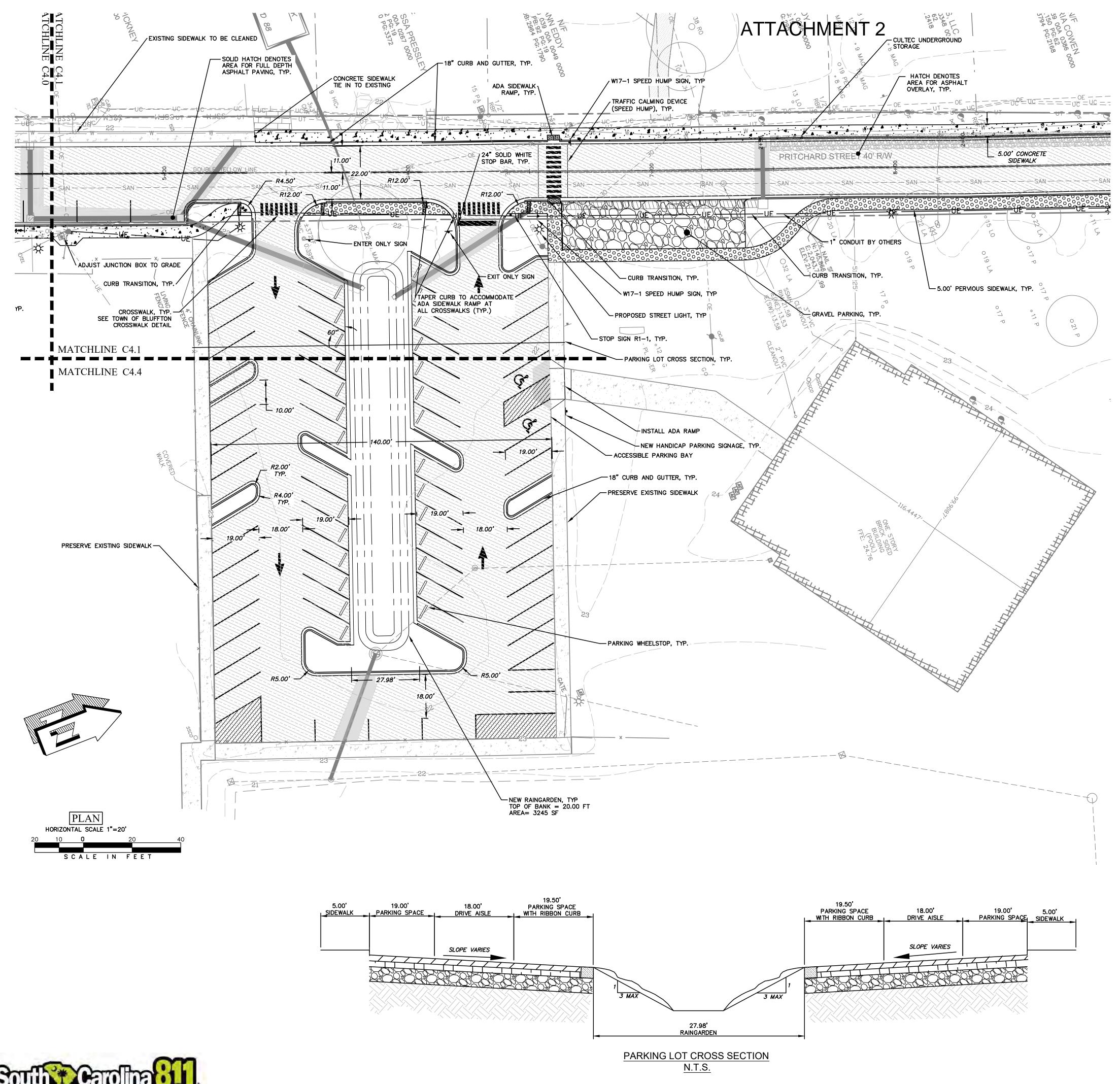






Outfall	SUMM Total DA (AC)	Tata) Pavement	T PEAK DISCHARGE Total Grassed Area (Pervious) (AC)	CN	OT RIGHT O	e way Q10 (CFS
Post	0.024	0.0240	0.0000	98	0.072	0.
Runoff Decrease					0	







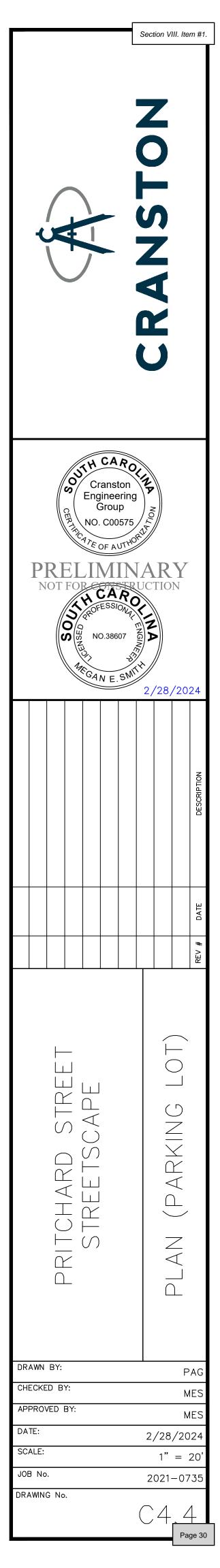
LEGEND

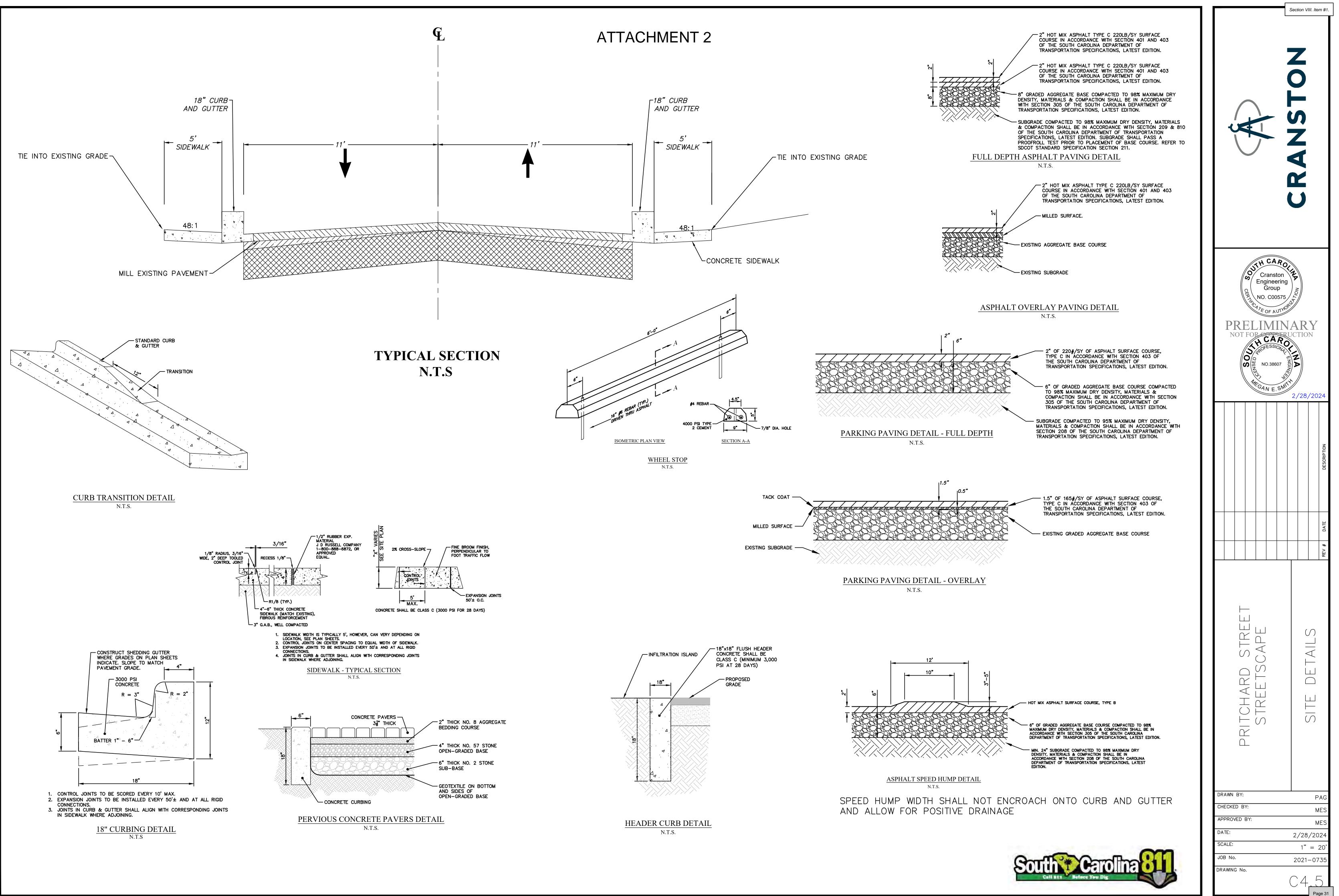
CONCRETE

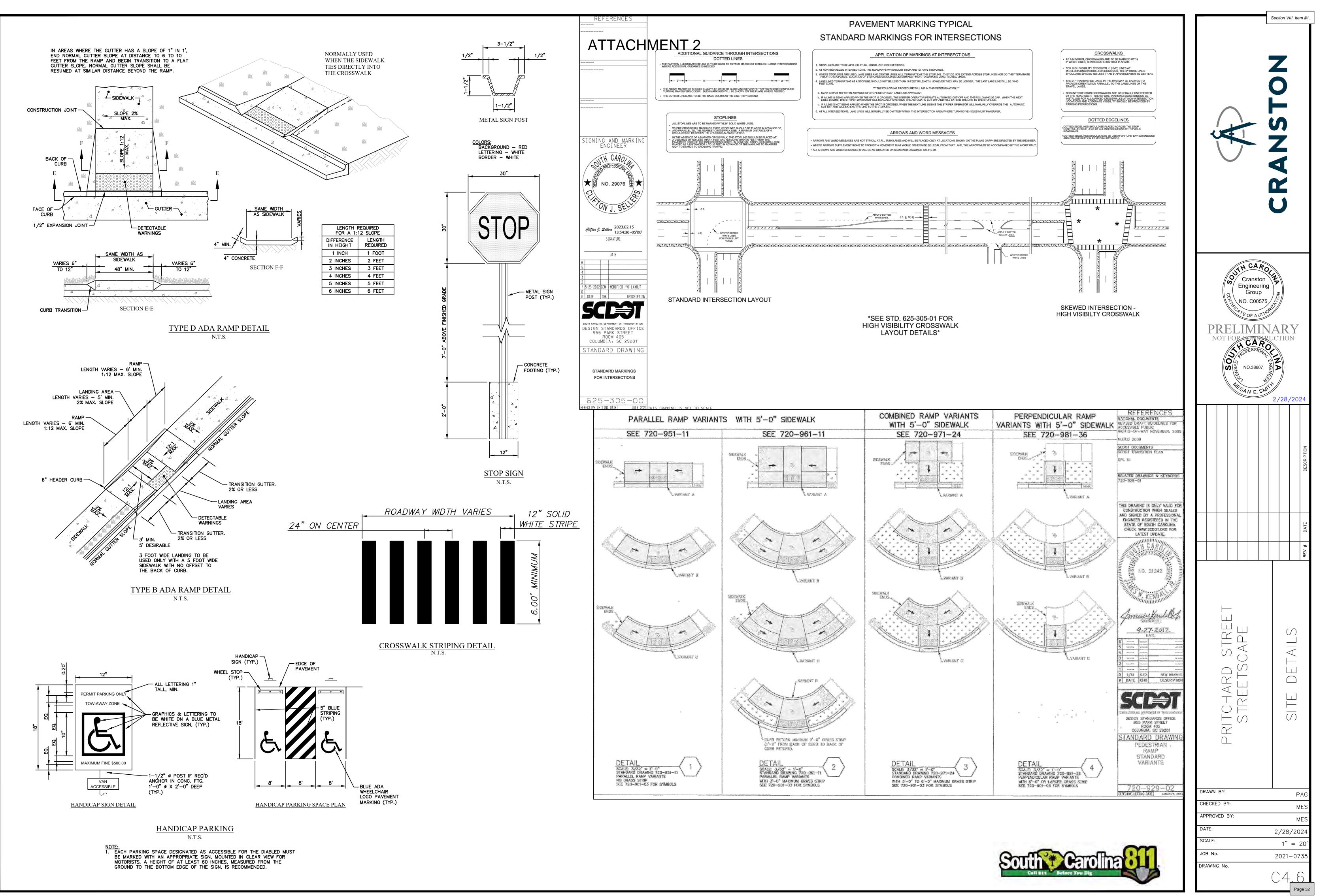
FULL DEPTH ASPHALT

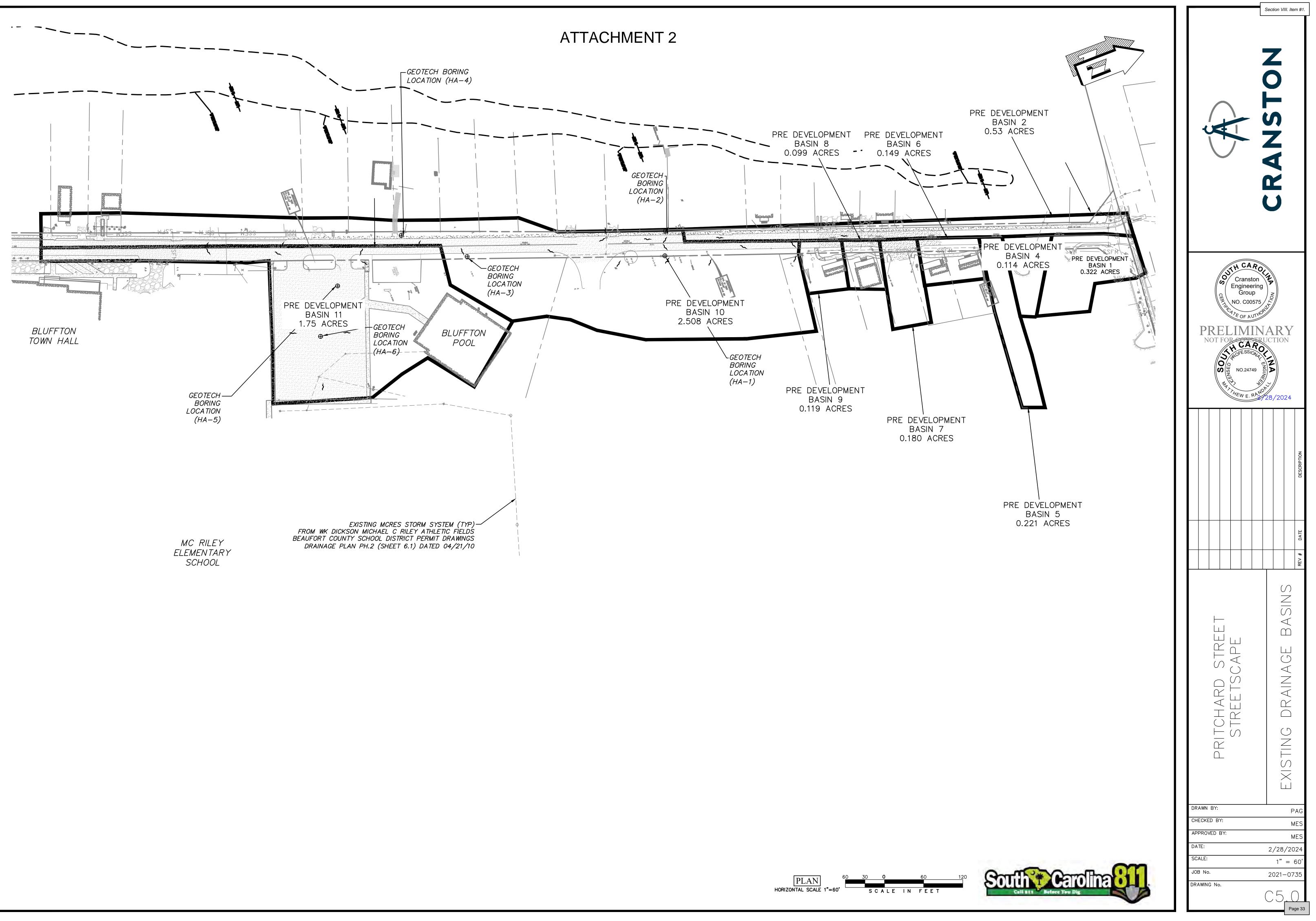
PERVIOUS SIDEWALK

OVERLAY ASPHALT

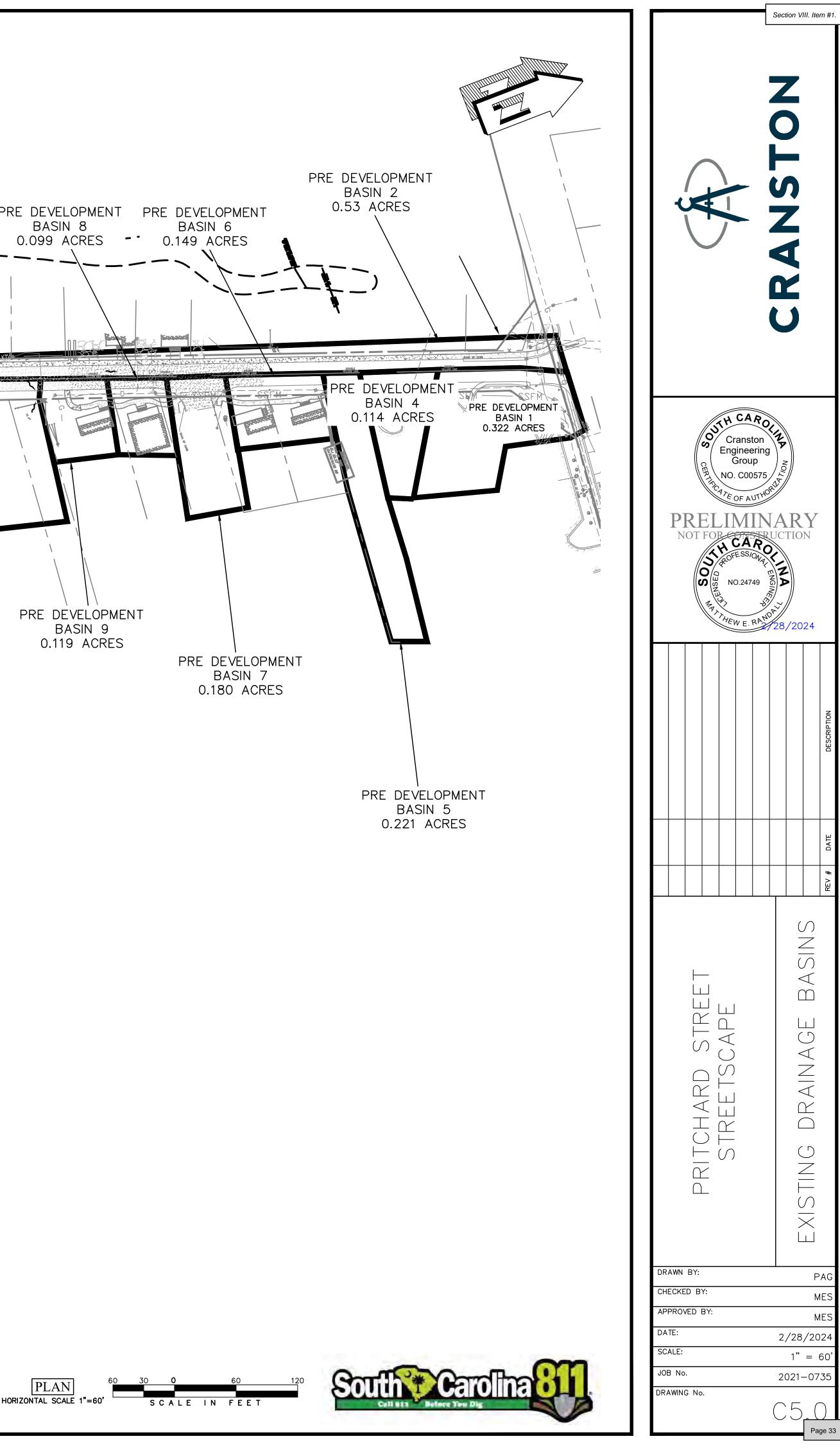


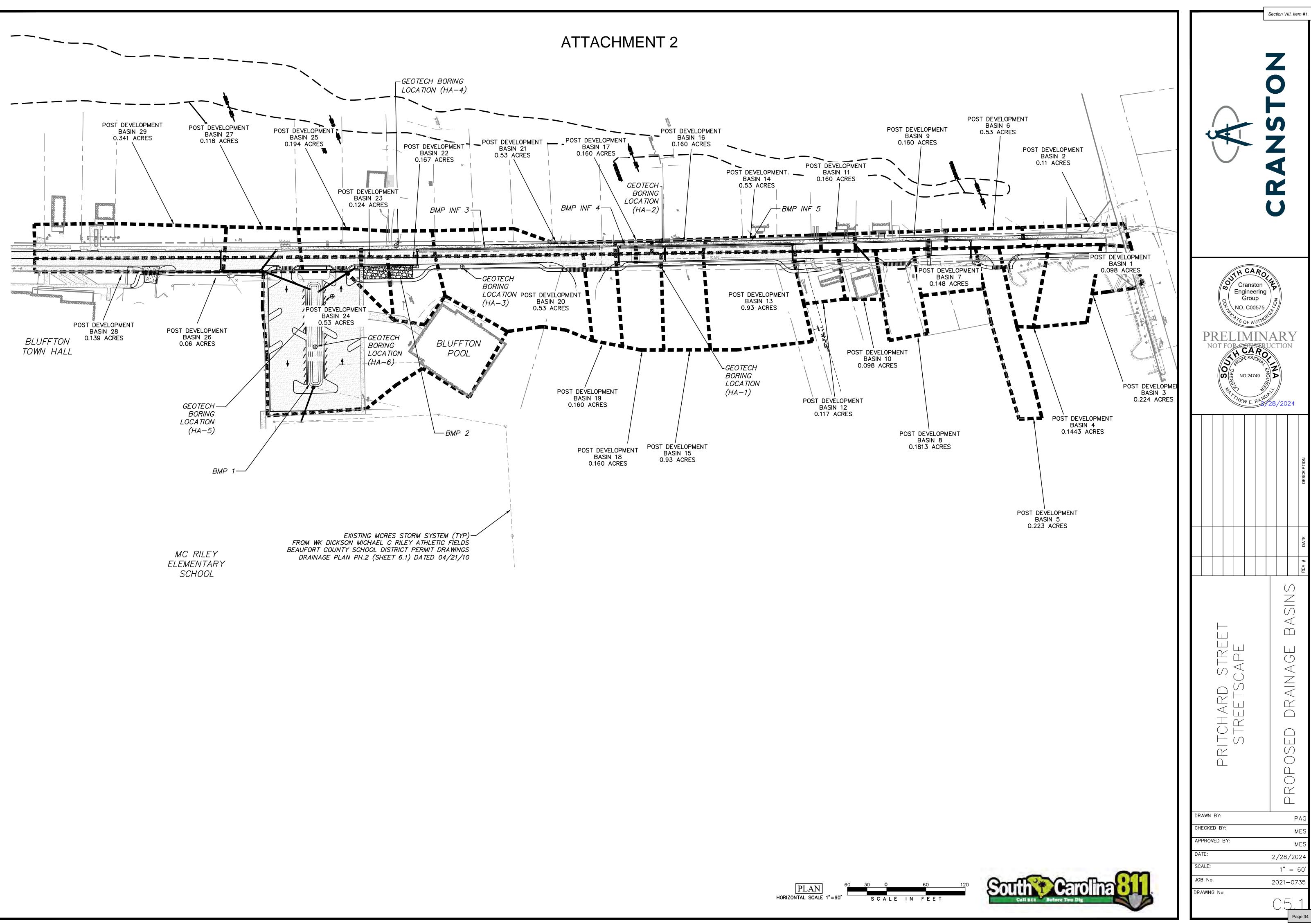




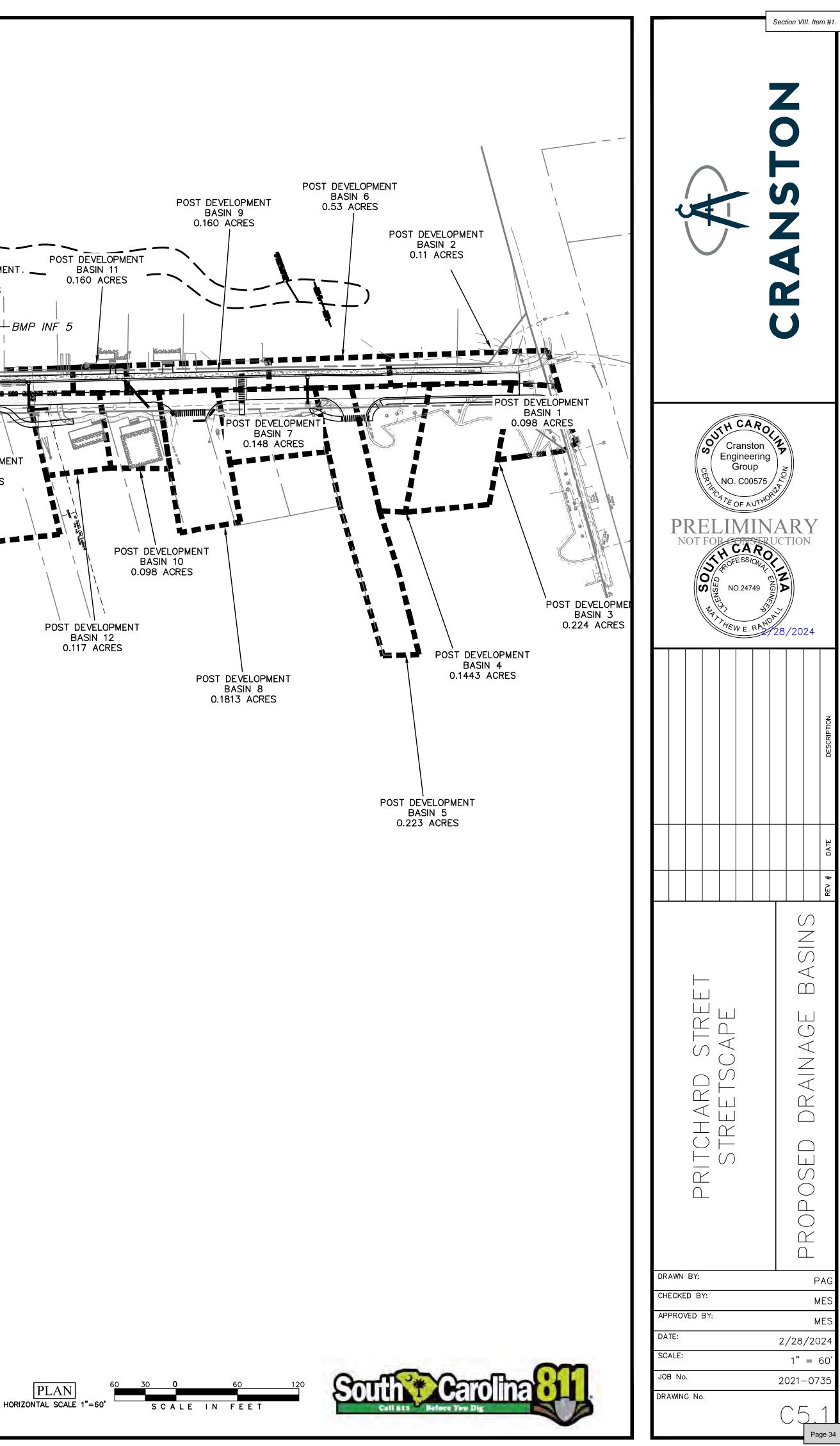


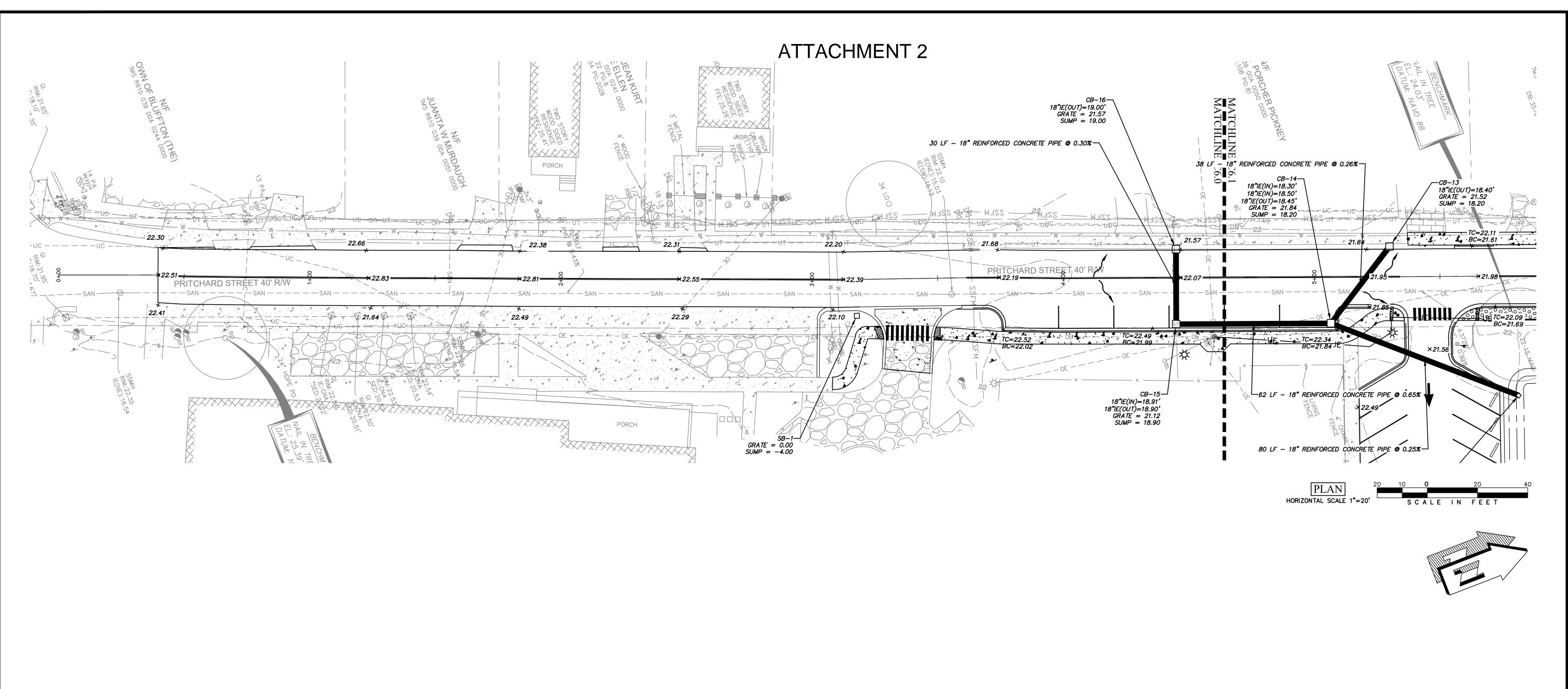




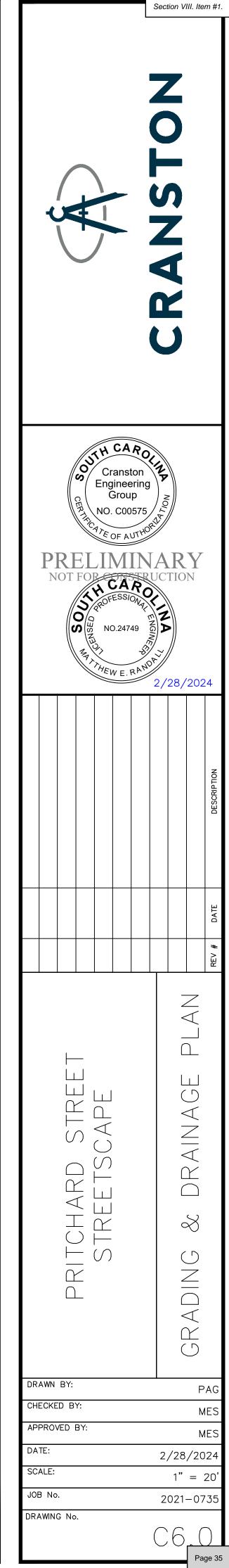


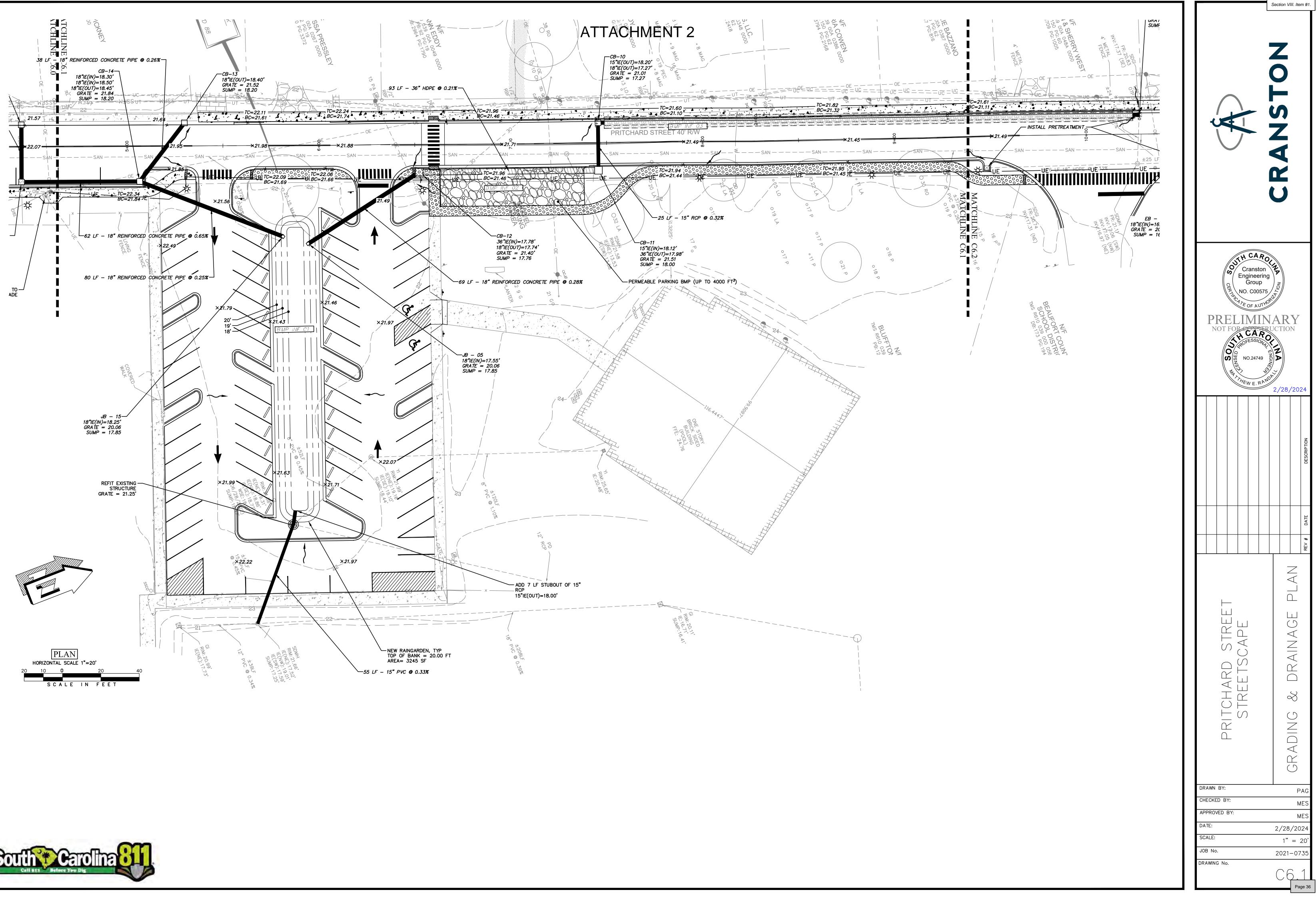




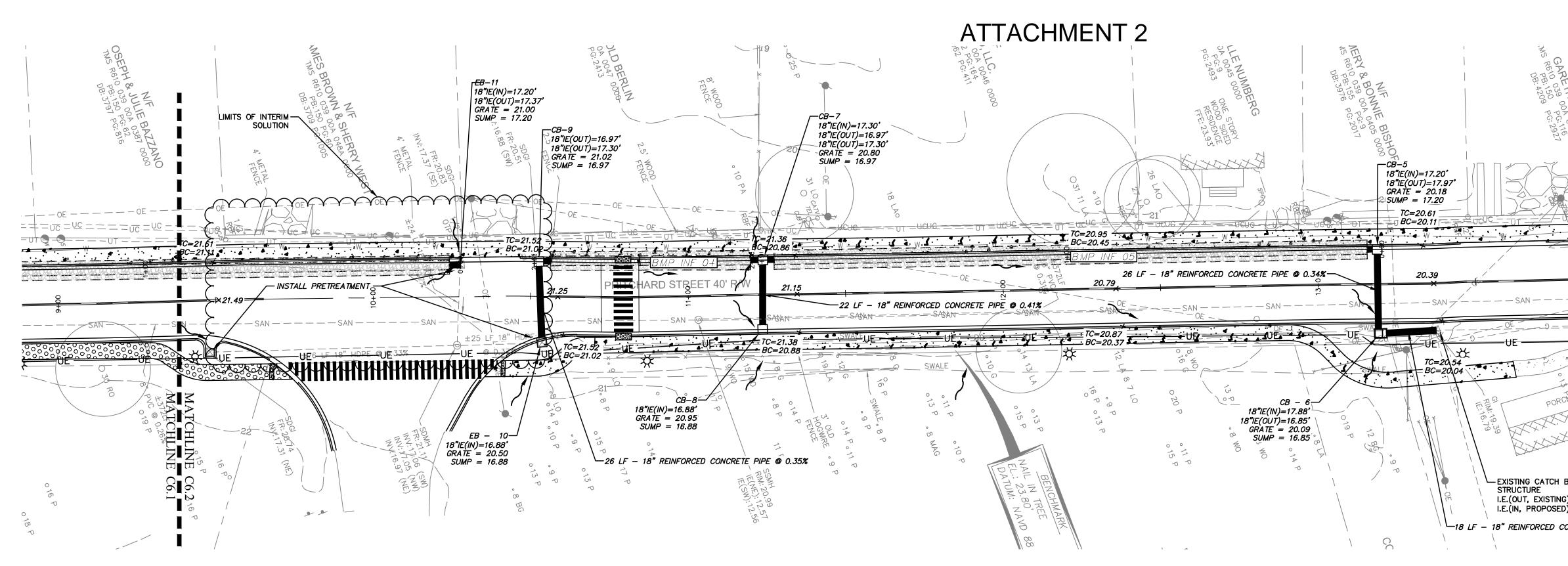


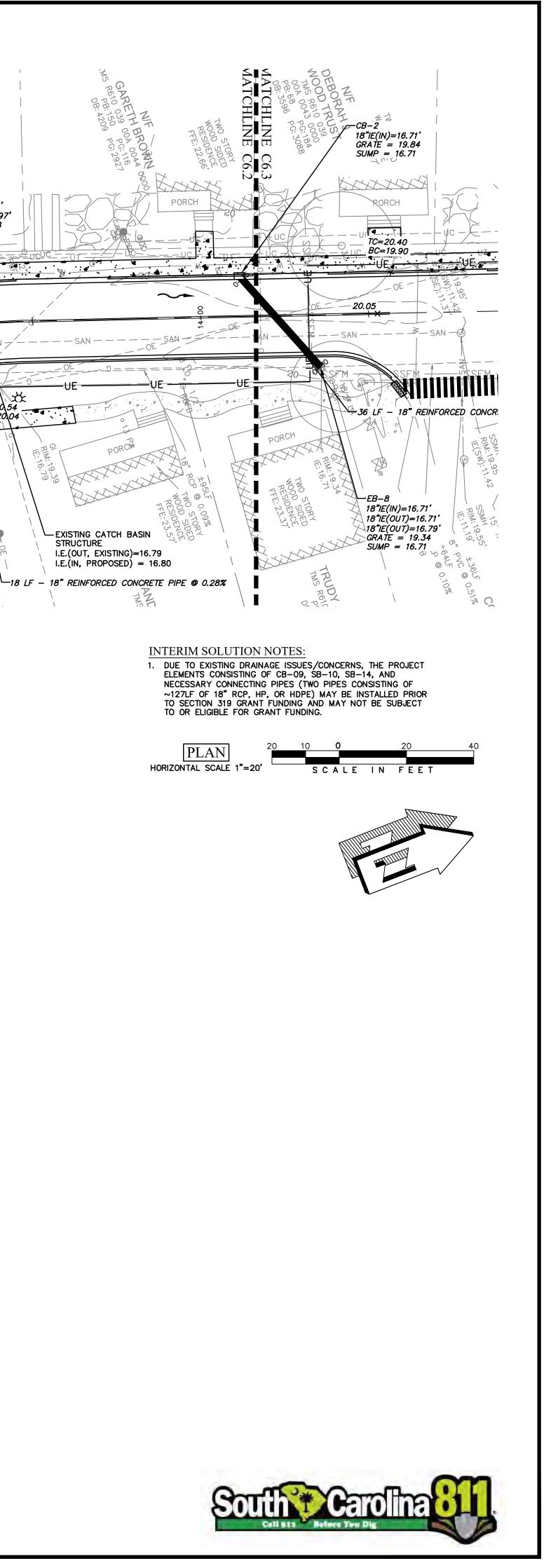


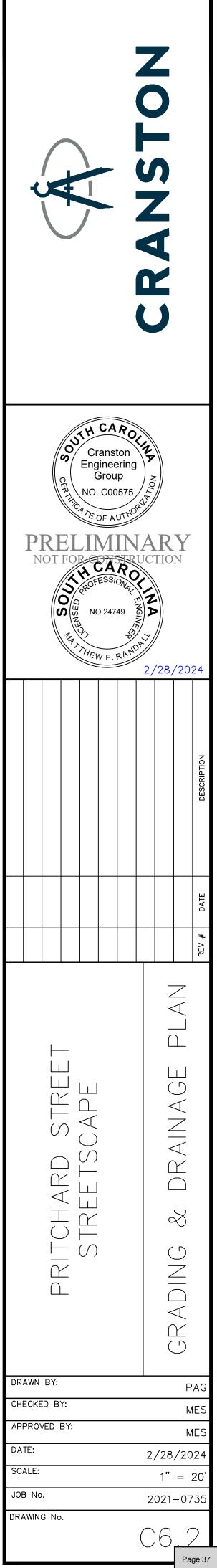




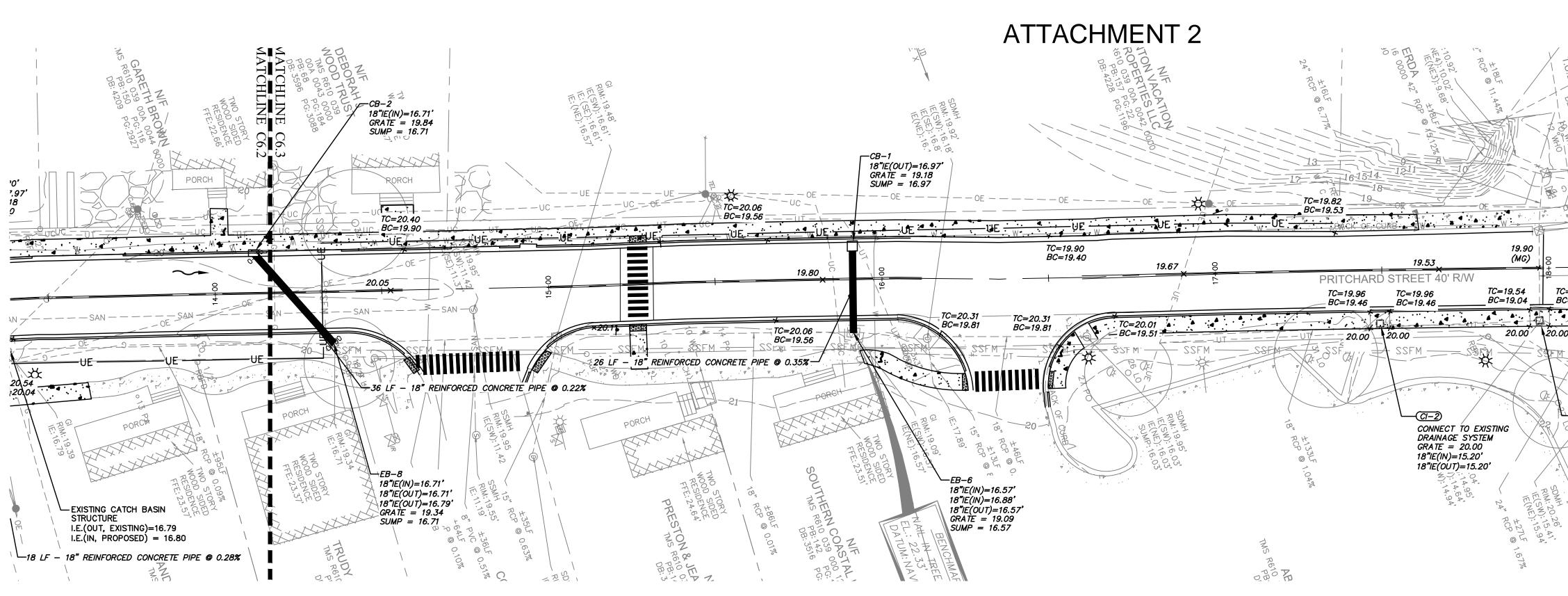




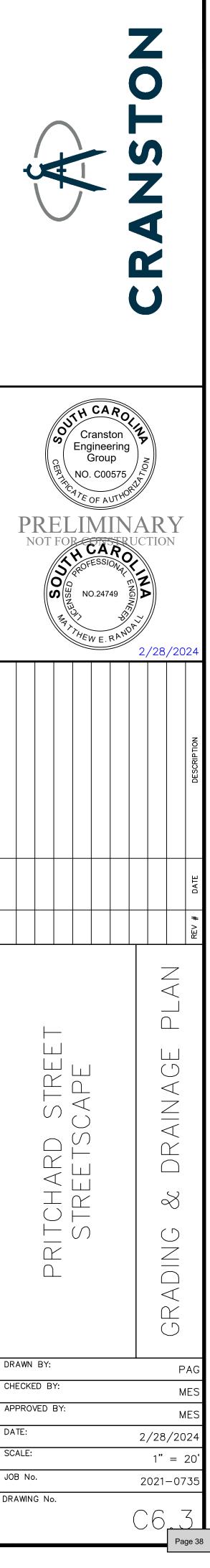




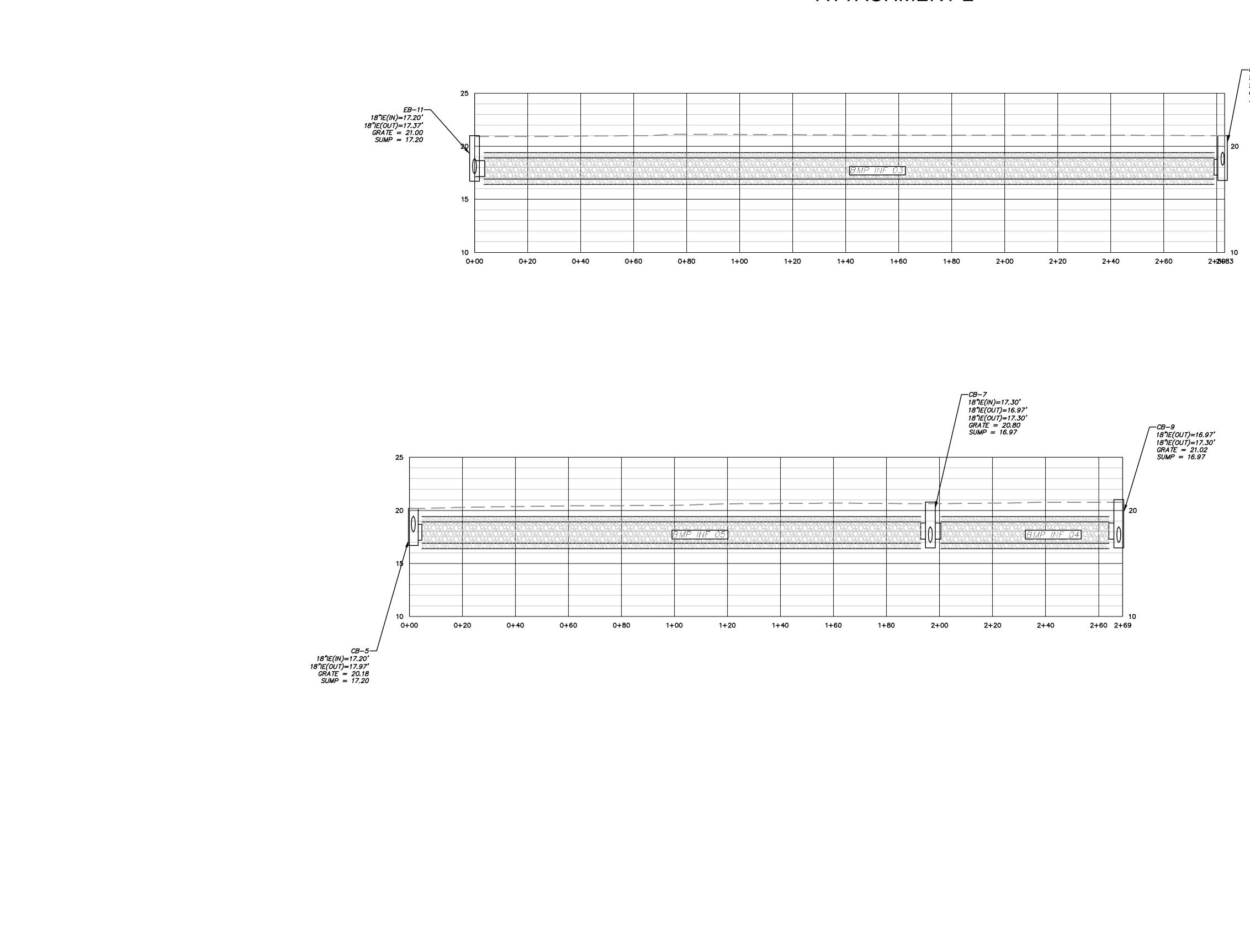
Section VIII. Item #1.





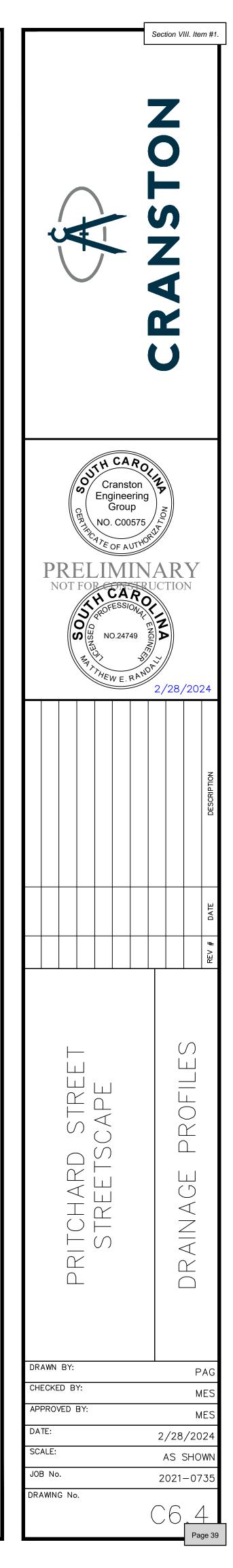


Section VIII. Item #1.



: \PROJECTS \2021 \2021 - 0735_PRITCHARD STREET DRAINAGE IMPROVEMENTS \AC-DRAWINGS \CIVIL \2021 - 0735 PRITCHARD STREET STREETSCAPE STORM.DWG 2/28 4:32

ATTACHMENT 2

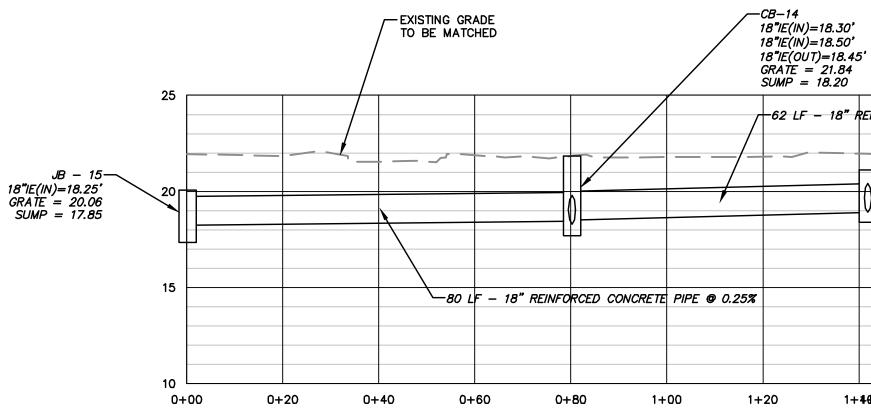


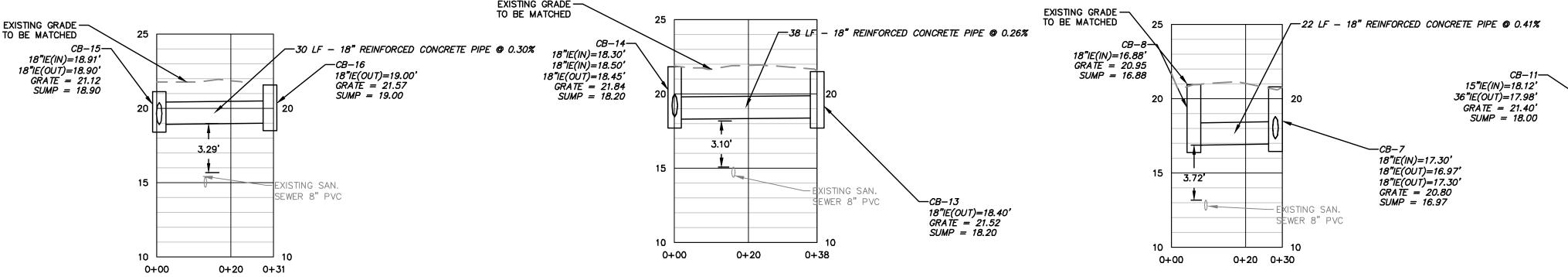
CB-10 15"IE(OUT)=18.20' 18"IE(OUT)=17.27' GRATE = 21.01 SUMP = 17.27

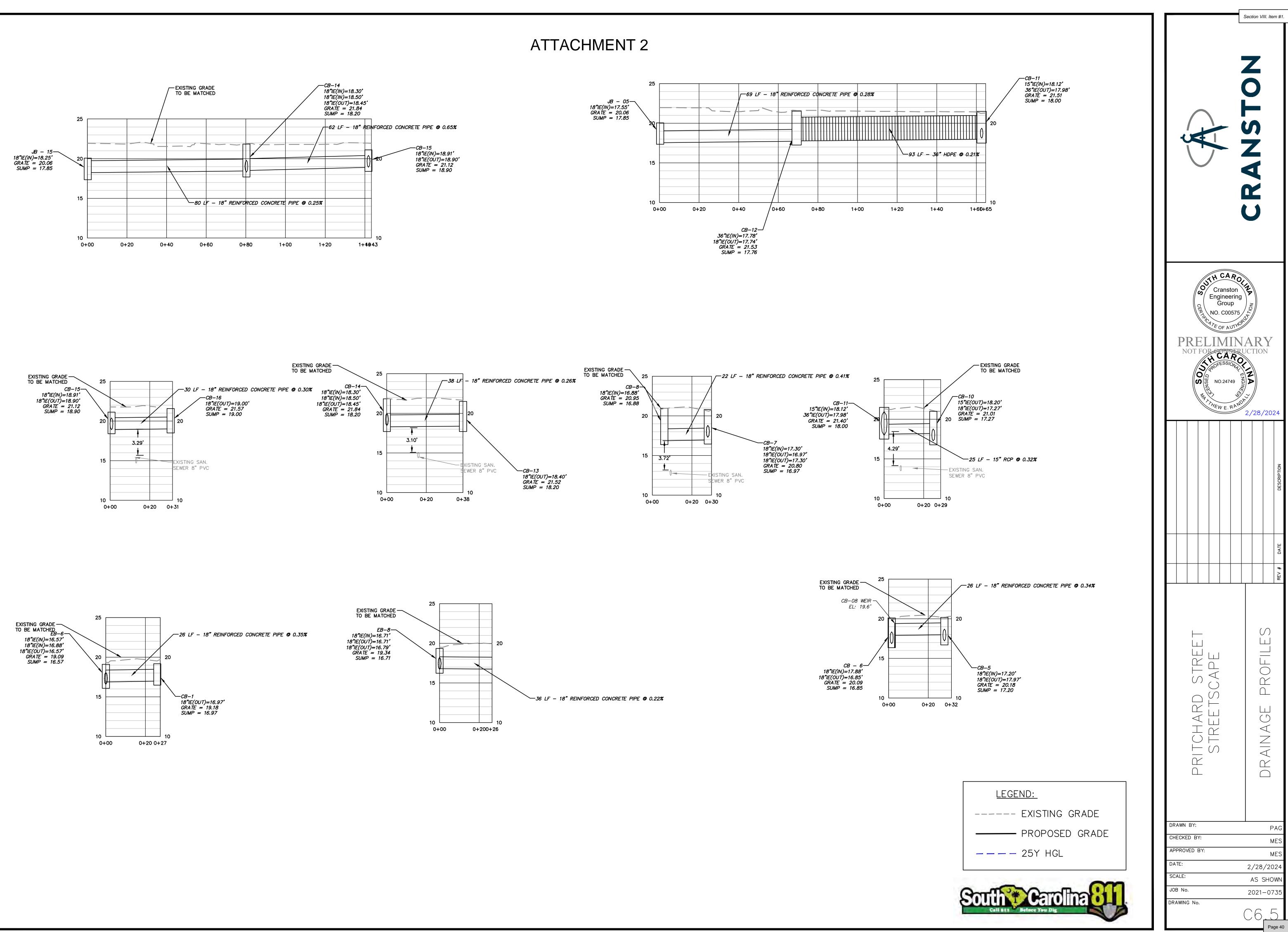
LEGEND:

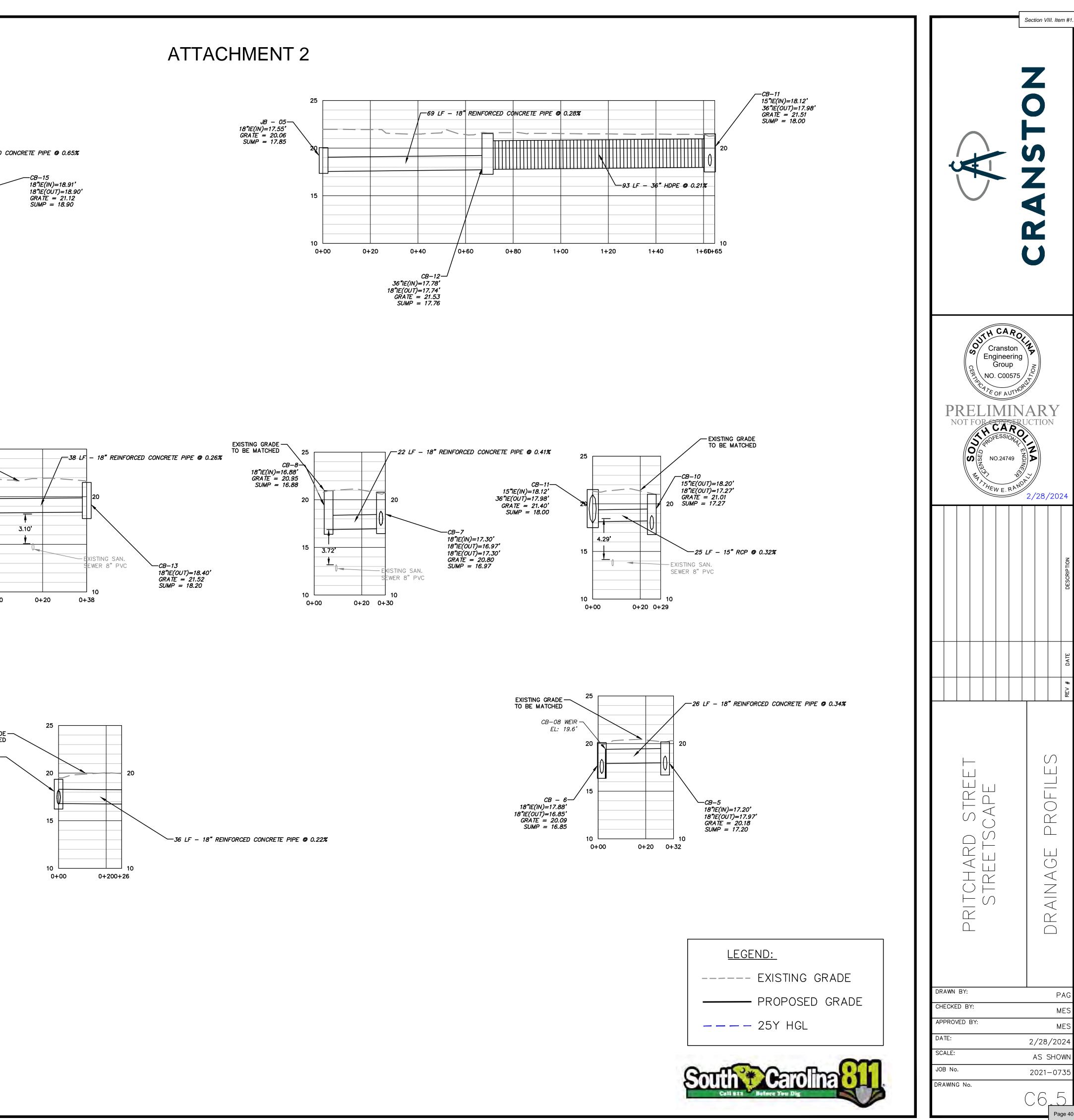
- ---- EXISTING GRADE
- ------ PROPOSED GRADE
- — — 25Y HGL

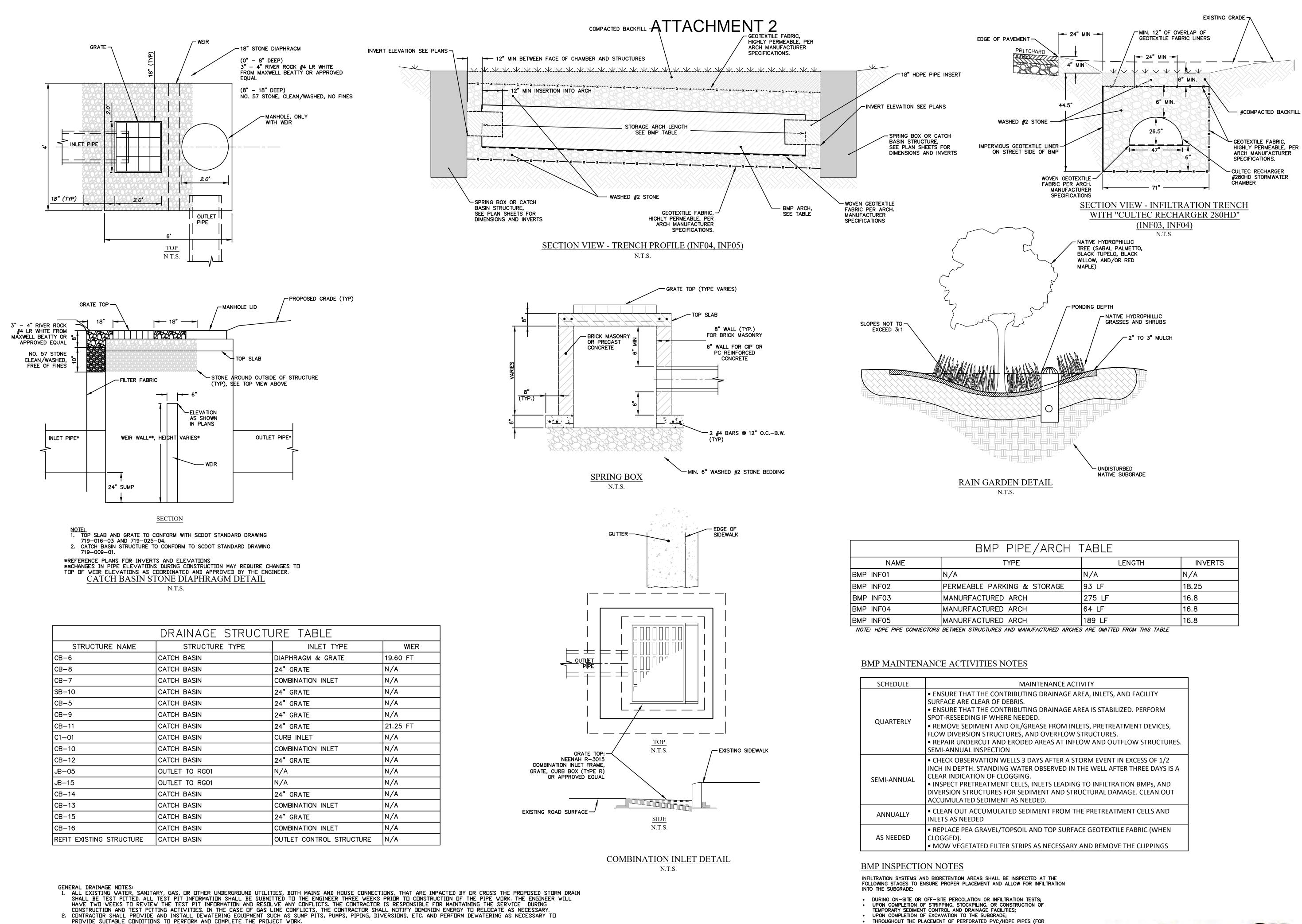












DRAINAGE STRUCTURE TABLE					
STRUCTURE NAME	STRUCTURE TYPE	INLET TYPE	WIER		
CB-6	CATCH BASIN	DIAPHRAGM & GRATE	19.60 FT		
CB-8	CATCH BASIN	24" GRATE	N/A		
CB-7	CATCH BASIN	COMBINATION INLET	N/A		
SB-10	CATCH BASIN	24" GRATE	N/A		
CB-5	CATCH BASIN	24" GRATE	N/A		
СВ-9	CATCH BASIN	24" GRATE	N/A		
CB-11	CATCH BASIN	24" GRATE	21.25 FT		
C1-01	CATCH BASIN	CURB INLET	N/A		
CB-10	CATCH BASIN	COMBINATION INLET	N/A		
CB-12	CATCH BASIN	24" GRATE	N/A		
JB-05	OUTLET TO RG01	N/A	N/A		
JB-15	OUTLET TO RG01	N/A	N/A		
CB-14	CATCH BASIN	24" GRATE	N/A		
CB-13	CATCH BASIN	COMBINATION INLET	N/A		
CB-15	CATCH BASIN	24" GRATE	N/A		
CB-16	CATCH BASIN	COMBINATION INLET	N/A		
REFIT EXISTING STRUCTURE	CATCH BASIN	OUTLET CONTROL STRUCTURE	N/A		

PROVIDE SUITABLE CONDITIONS TO PERFORM AND COMPLETE THE PROJECT WORK. 3. CONTRACTOR IS RESPONSIBLE FOR RESTORING, REPAIRING, OR RECONSTRUCTING EXISTING SITE FEATURES (I.E. SIDEWALKS, CURB/GUTTER, FENCING, PAVING, LIGHTING, UTILITIES,

ETC.) THAT ARE DAMAGED AS A RESULT OF THE PROJECT WORK. 4. ALL AGGREGATES ASSOCIATED WITH BMP'S SHALL BE WASHED STONE, CLEAN AND FREE OF FINE SEDIMENTS. 5. CONTRACTOR SHALL ENSURE SEDIMENT AND EROSION CONTROL MEASURES ARE IN PLACE AND UTILIZED DURING CONSTRUCTION AND IMMEDIATELY THEREAFTER TO PREVENT SEDIMENT CONTAMINATION OF BMP INFILTRATION AREA.

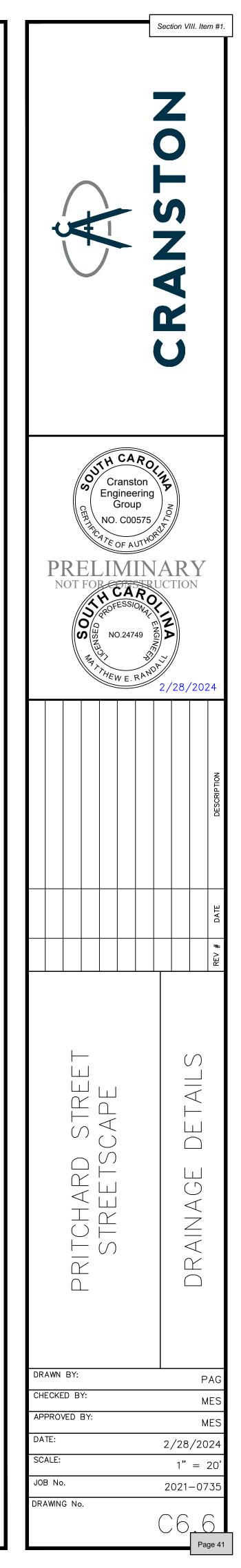
APPLICABLE), GEOTEXTILE MATERIALS, GRAVEL, OR CRUSHED STONE COURSE AND BACKFILL; AND UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION

PIPE/ARCH TABLE						
ΈE	LENGTH	INVERTS				
	N/A	N/A				
NG & STORAGE	93 LF	18.25				
ARCH	275 LF	16.8				
ARCH	64 LF	16.8				
ARCH	189 LF	16.8				
MANUEACTURED ARCHES ARE ONITTED FROM THIS TARLE						

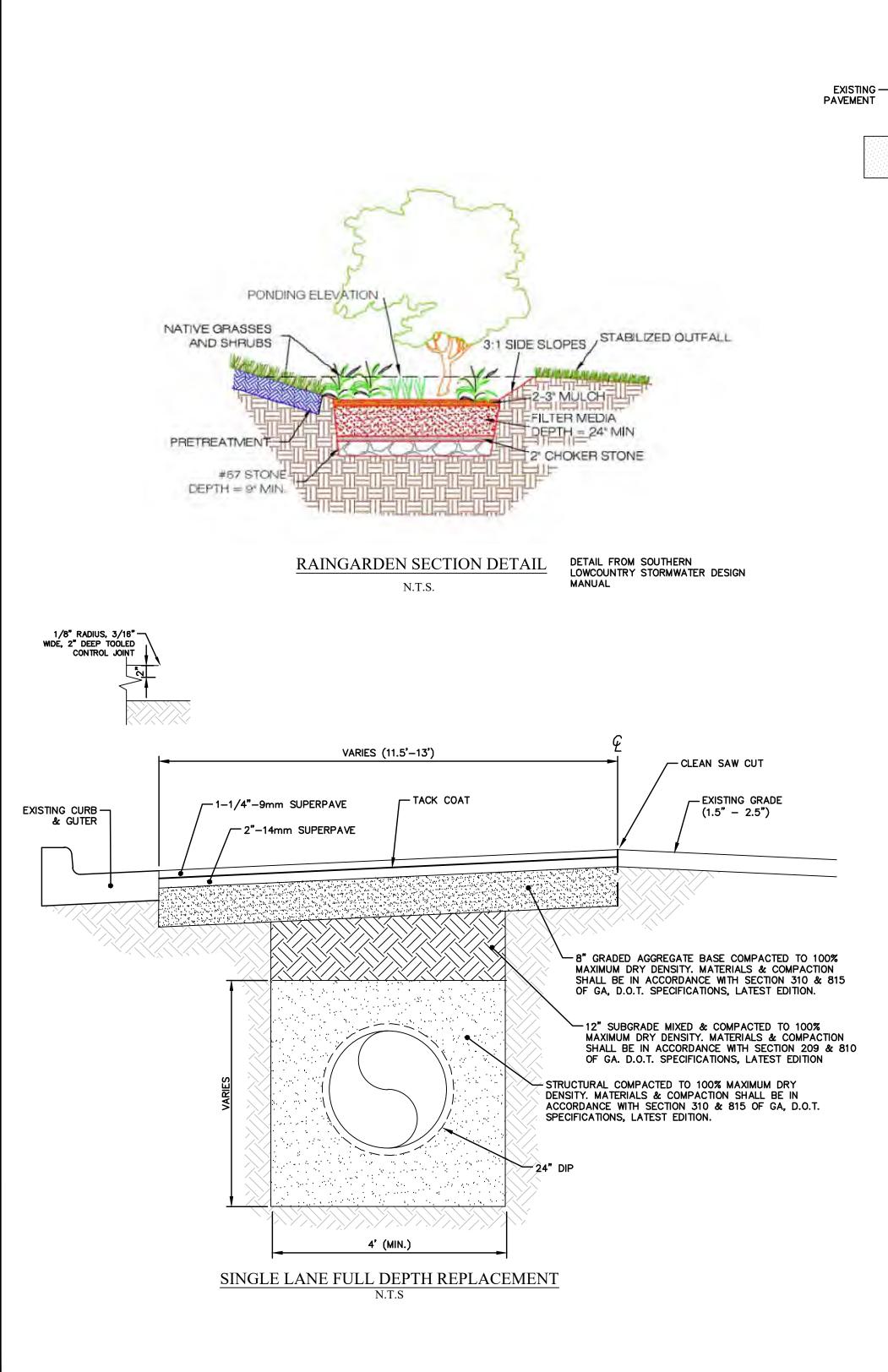
MAINTENANCE ACTIVITY
RIBUTING DRAINAGE AREA, INLETS, AND FACILITY BRIS.
RIBUTING DRAINAGE AREA IS STABILIZED. PERFORM E NEEDED.
OIL/GREASE FROM INLETS, PRETREATMENT DEVICES, IRES, AND OVERFLOW STRUCTURES.
ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES.
ELLS 3 DAYS AFTER A STORM EVENT IN EXCESS OF 1/2 WATER OBSERVED IN THE WELL AFTER THREE DAYS IS A GGING.
CELLS, INLETS LEADING TO INFILTRATION BMPs, AND DR SEDIMENT AND STRUCTURAL DAMAGE. CLEAN OUT AS NEEDED.
ED SEDIMENT FROM THE PRETREATMENT CELLS AND
PSOIL AND TOP SURFACE GEOTEXTILE FABRIC (WHEN
STRIPS AS NECESSARY AND REMOVE THE CLIPPINGS

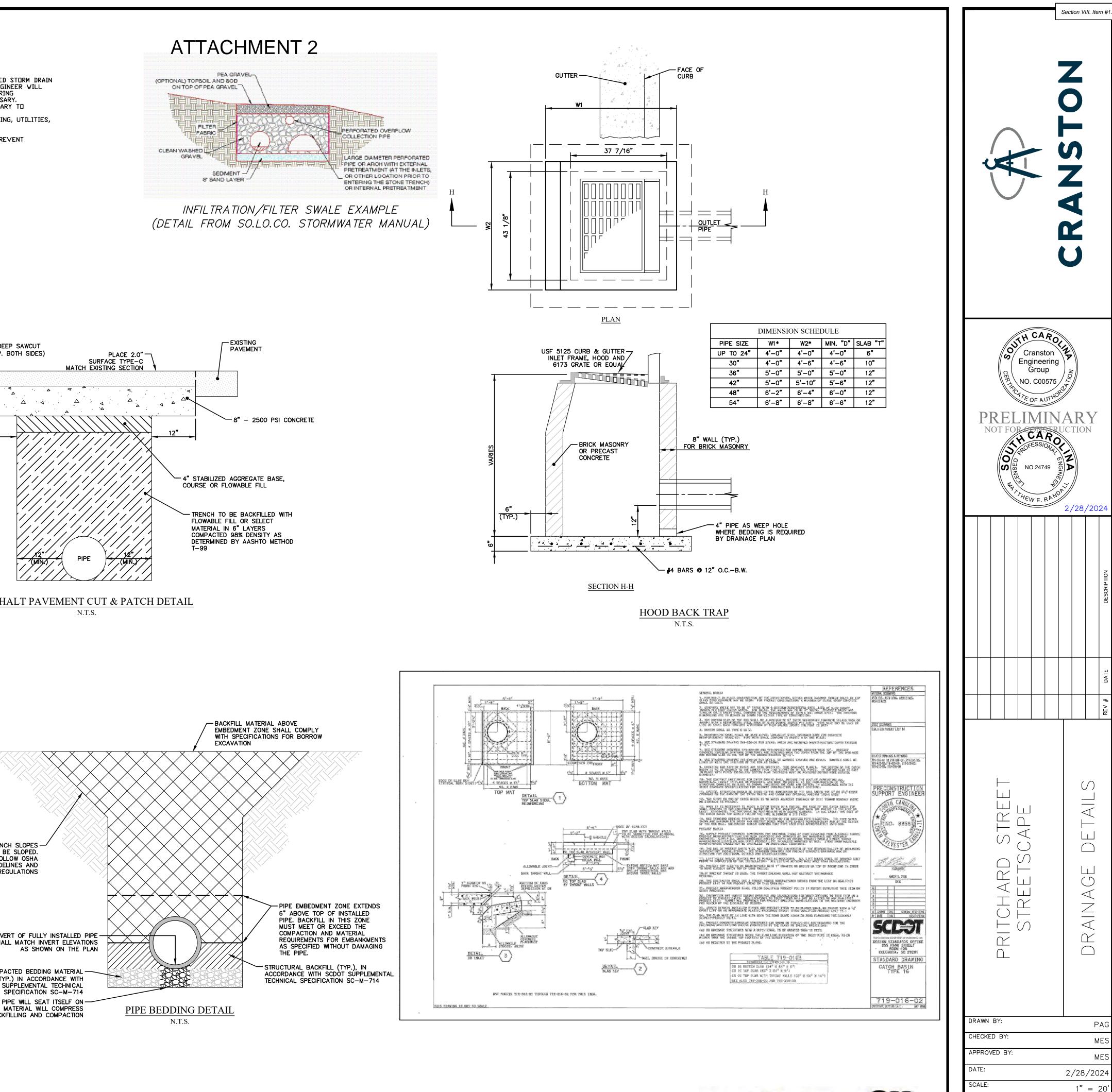
UNDERDRAINS AND OBSERVATION WELLS) INCLUDING BYPASS PIPES (WHERE

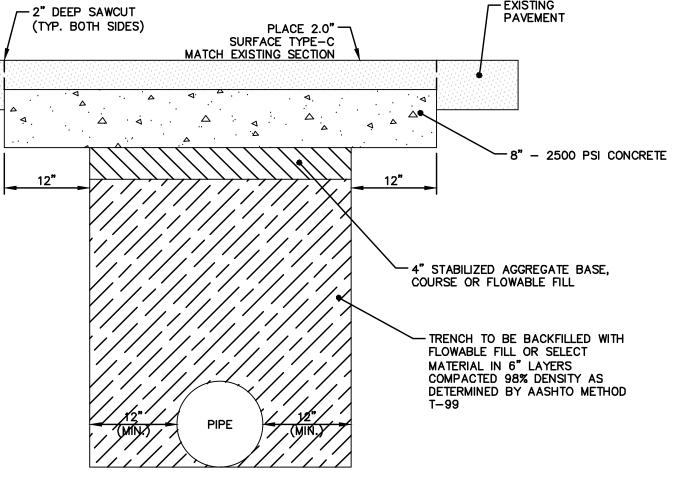


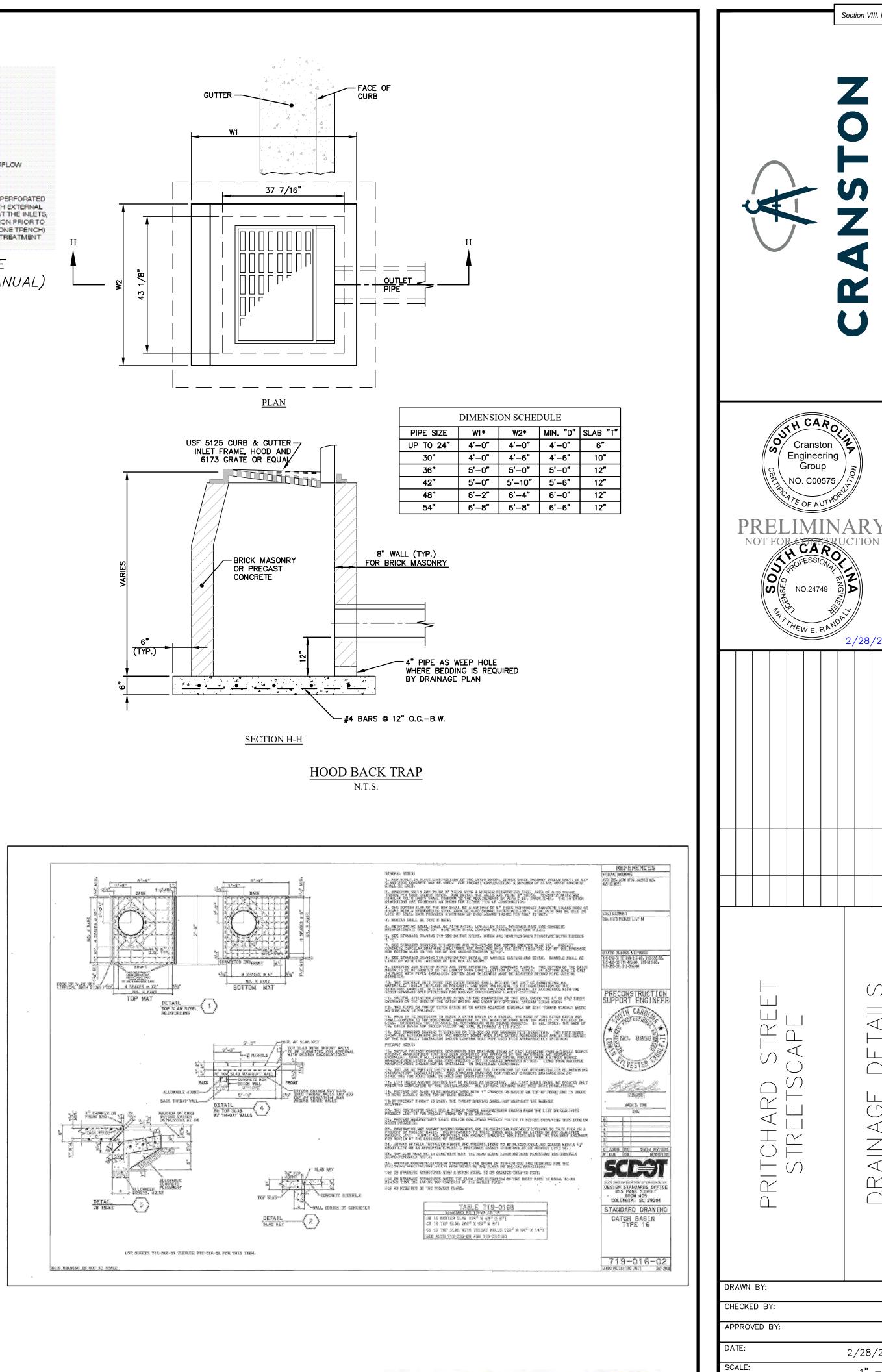


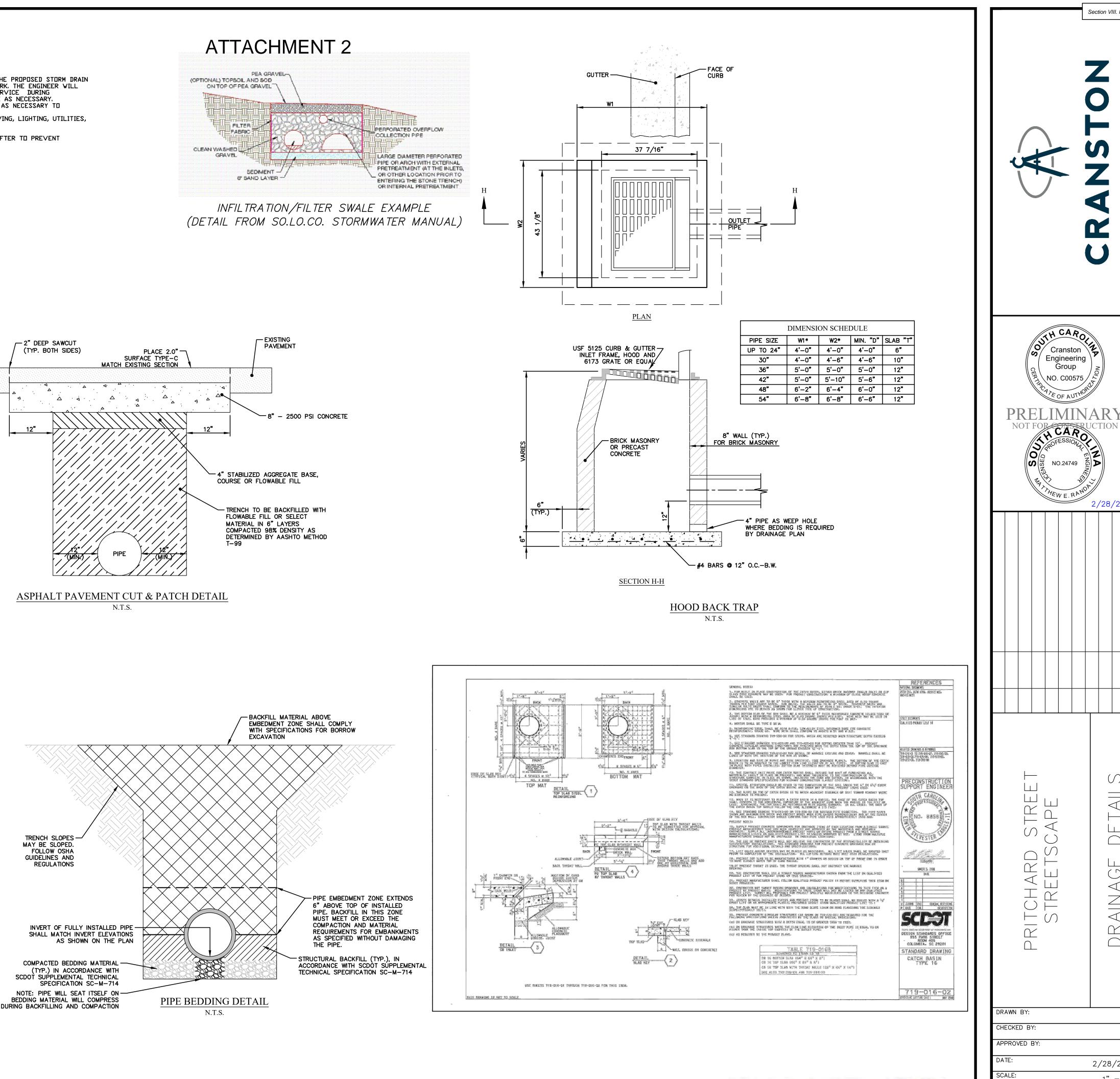
- GENERAL DRAINAGE NOTES; 1. ALL EXISTING WATER, SANITARY, GAS, OR OTHER UNDERGROUND UTILITIES, BOTH MAINS AND HOUSE CONNECTIONS, THAT ARE IMPACTED BY OR CROSS THE PROPOSED STORM DRAIN SHALL BE TEST PITTED. ALL TEST PIT INFORMATION SHALL BE SUBMITTED TO THE ENGINEER THREE WEEKS PRIOR TO CONSTRUCTION OF THE PIPE WORK. THE ENGINEER WILL HAVE TWO WEEKS TO REVIEW THE TEST PIT INFORMATION AND RESOLVE ANY CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SERVICE DURING OF THE PIPE WORK. THE SERVICE DURING AND AND RESOLVE ANY CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SERVICE DURING OF THE PIPE WORK. THE TEST PIT INFORMATION AND RESOLVE ANY CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SERVICE DURING
- CONSTRUCTION AND TEST PITTING ACTIVITIES. IN THE CASE OF GAS LINE CONFLICTS, THE CONTRACTOR SHALL NOTIFY DOMINION ENERGY TO RELOCATE AS NECESSARY. 2. CONTRACTOR SHALL PROVIDE AND INSTALL DEWATERING EQUIPMENT SUCH AS SUMP PITS, PUMPS, PIPING, DIVERSIONS, ETC. AND PERFORM DEWATERING AS NECESSARY TO PROVIDE SUITABLE CONDITIONS TO PERFORM AND COMPLETE THE PROJECT WORK. 3. CONTRACTOR IS RESPONSIBLE FOR RESTORING, OR RECONSTRUCTING EXISTING SITE FEATURES (I.E. SIDEWALKS, CURB/GUTTER, FENCING, PAVING, LIGHTING, UTILITIES,
- ETC.) THAT ARE DAMAGED AS A RESULT OF THE PROJECT WORK.
 4. ALL AGGREGATES ASSOCIATED WITH BMP'S SHALL BE WASHED STONE, CLEAN AND FREE OF FINE SEDIMENTS.
 5. CONTRACTOR SHALL ENSURE SEDIMENT AND EROSION CONTROL MEASURES ARE IN PLACE AND UTILIZED DURING CONSTRUCTION AND IMMEDIATELY THEREAFTER TO PREVENT
- SEDIMENT CONTAMINATION OF BMP INFILTRATION AREA.









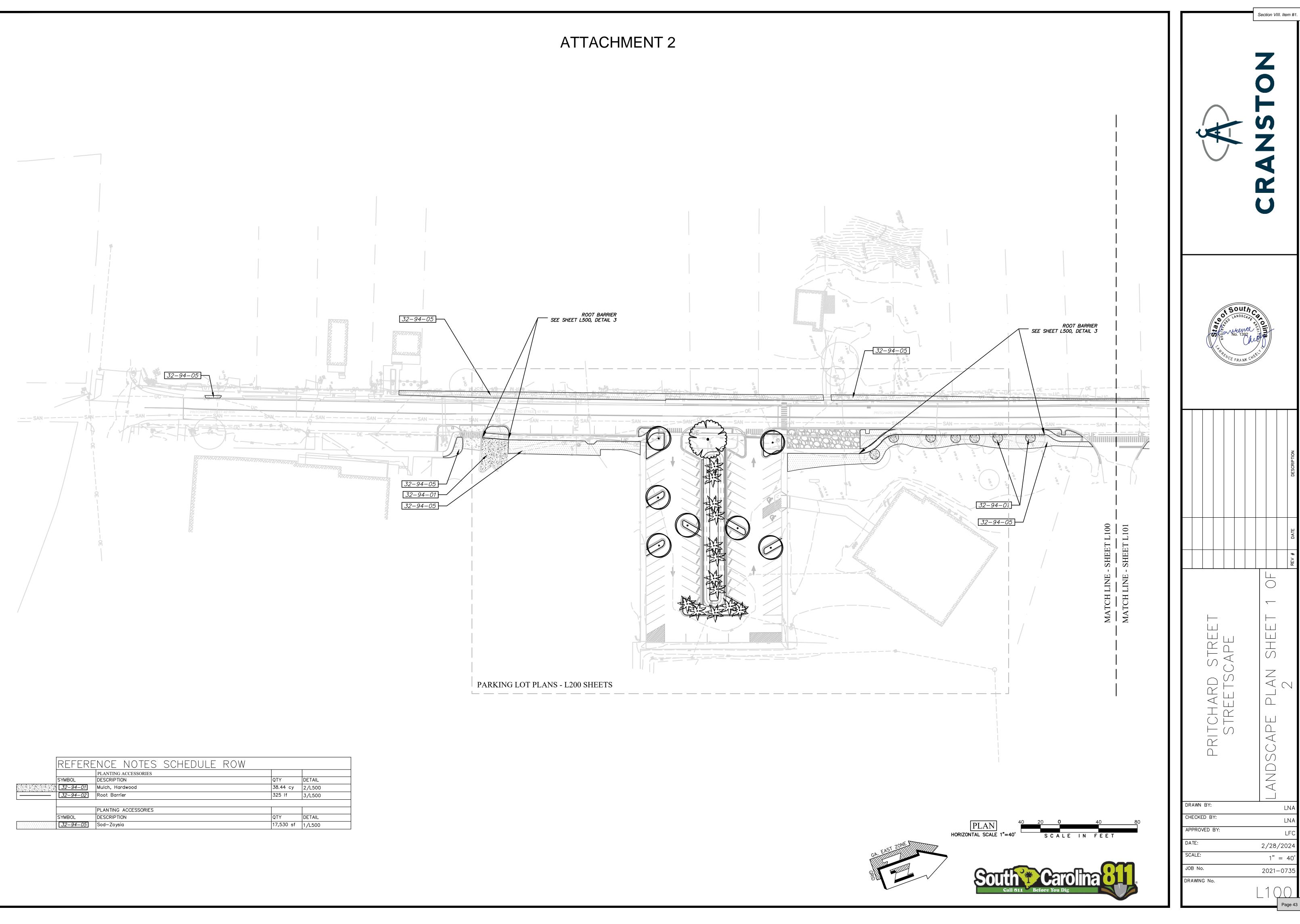


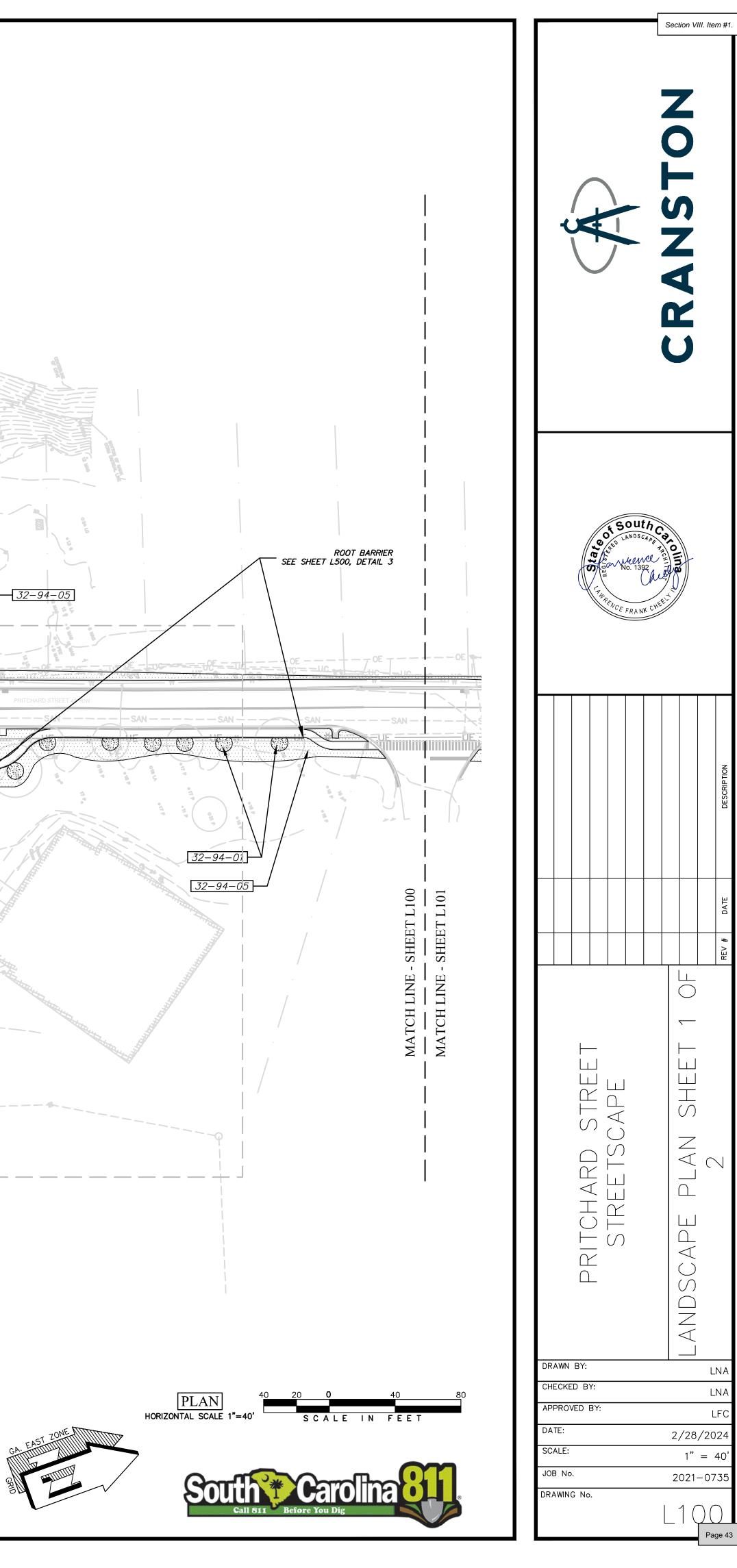
C6.7 Page 42

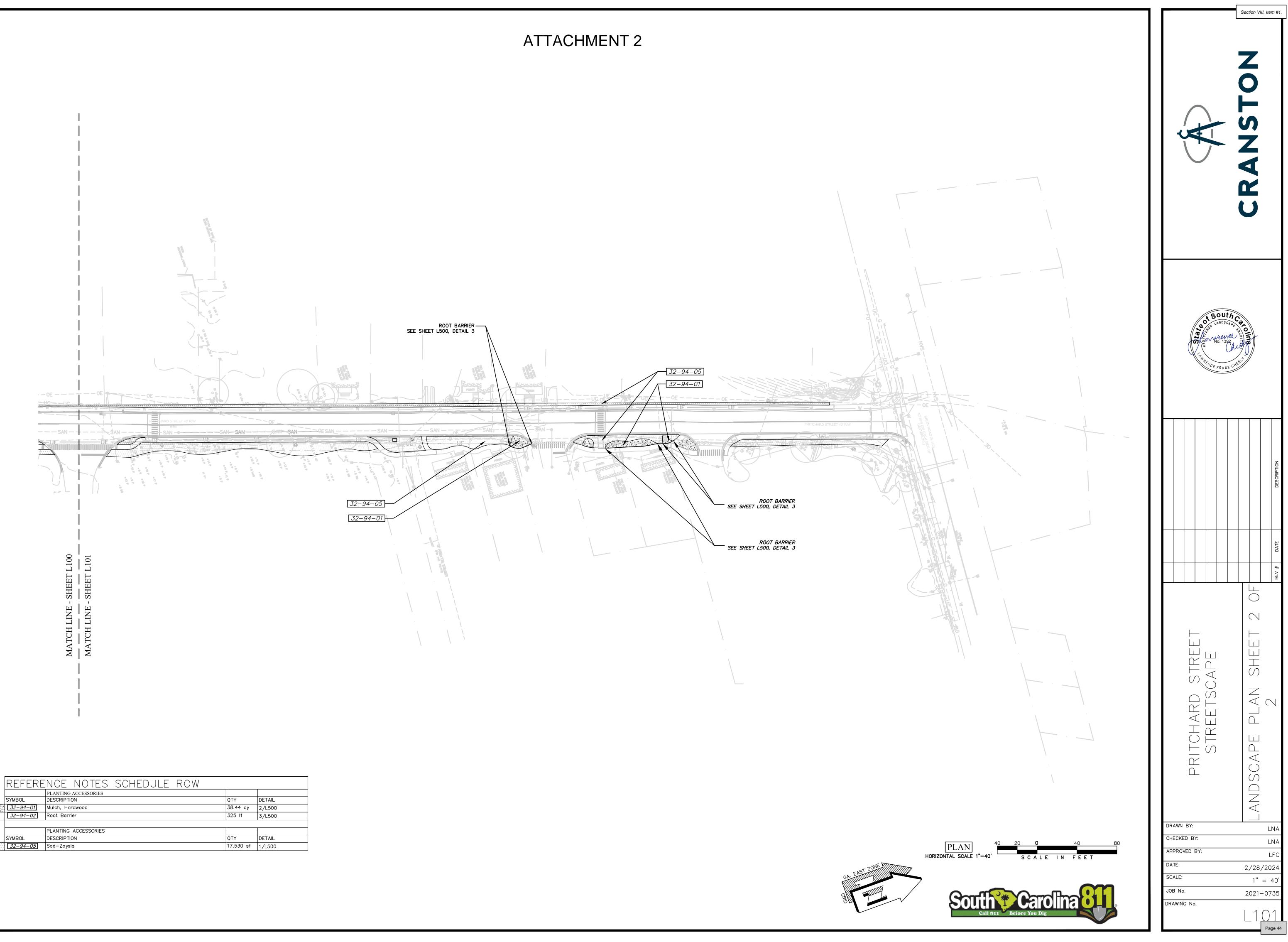
2021-073

JOB No.

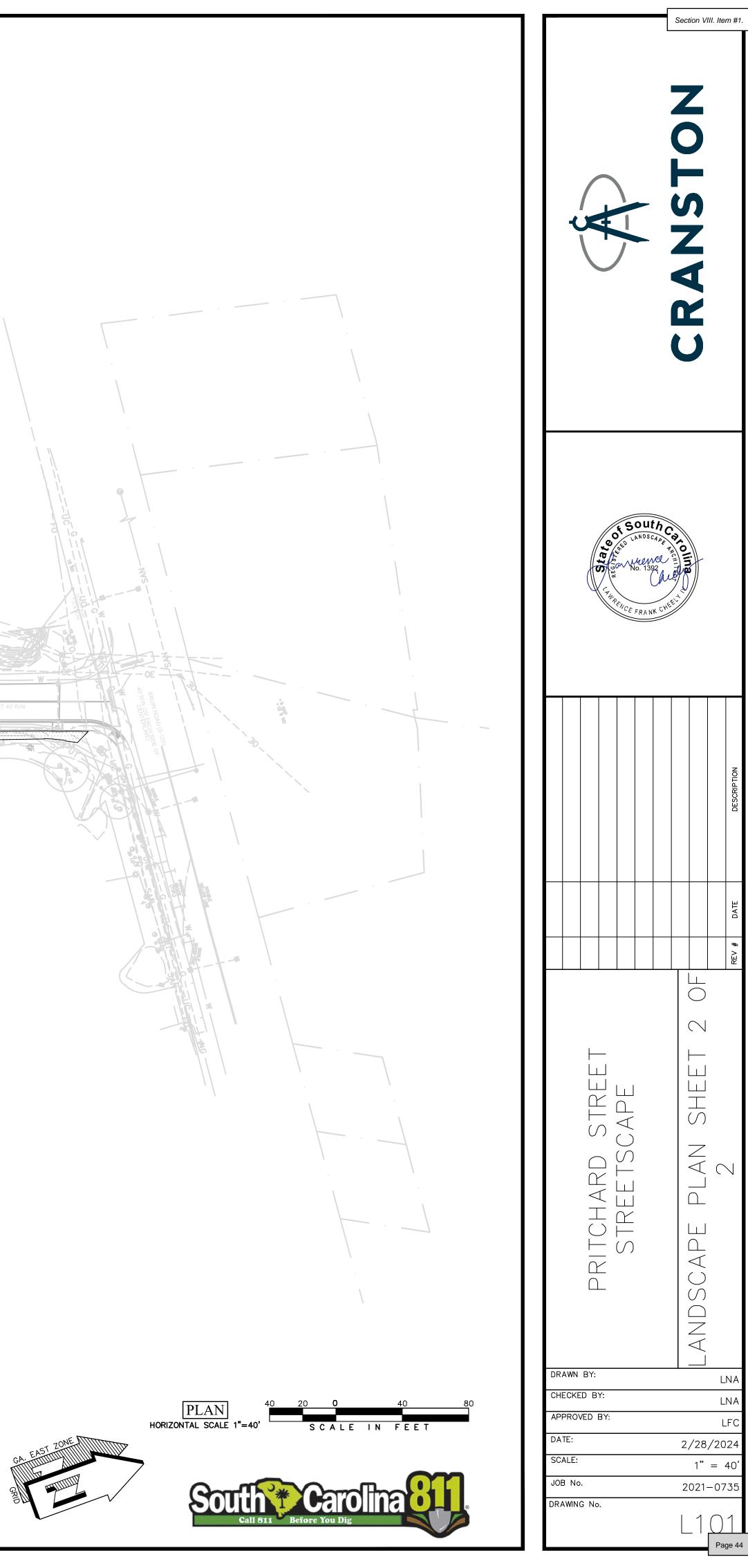
DRAWING No.



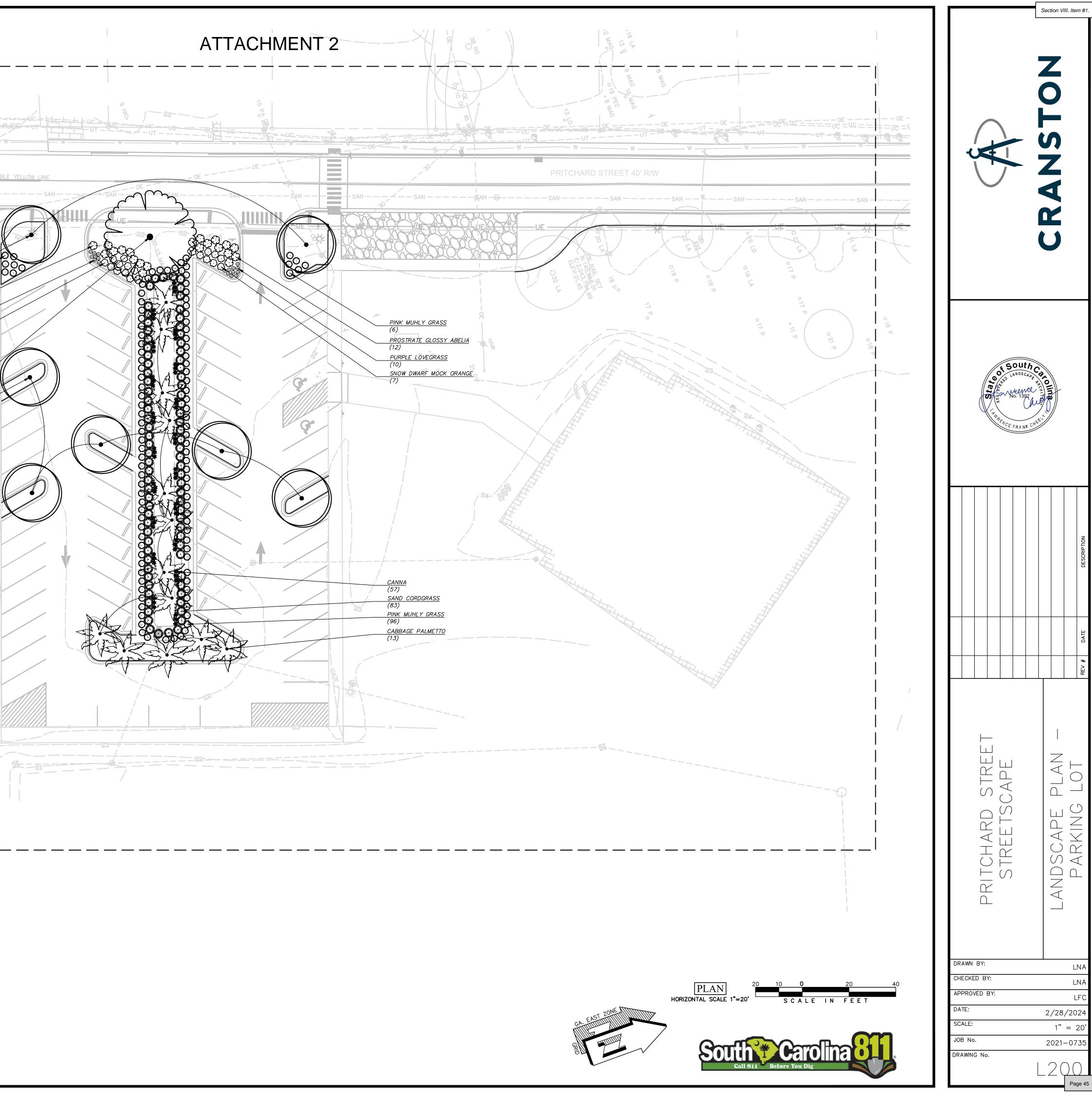


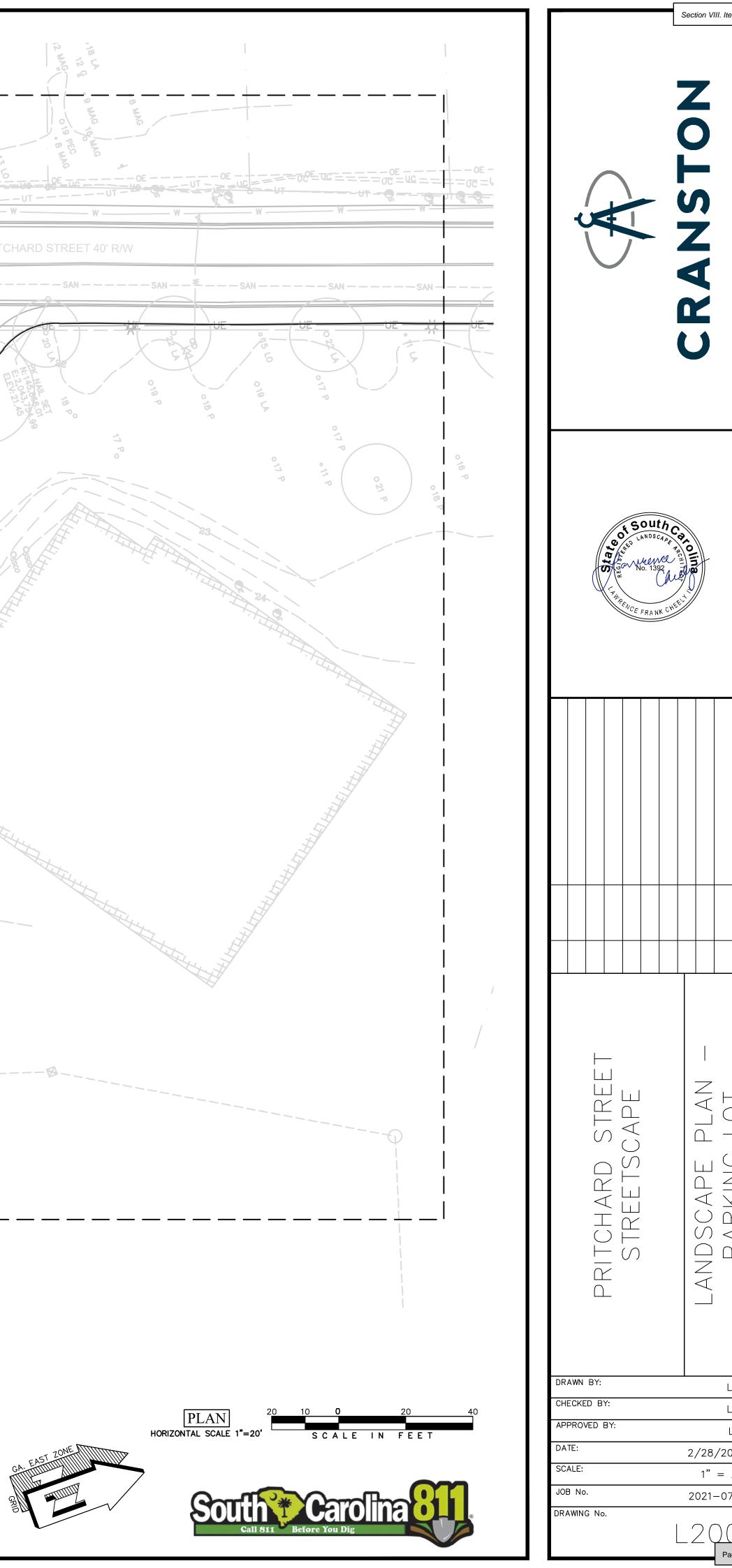


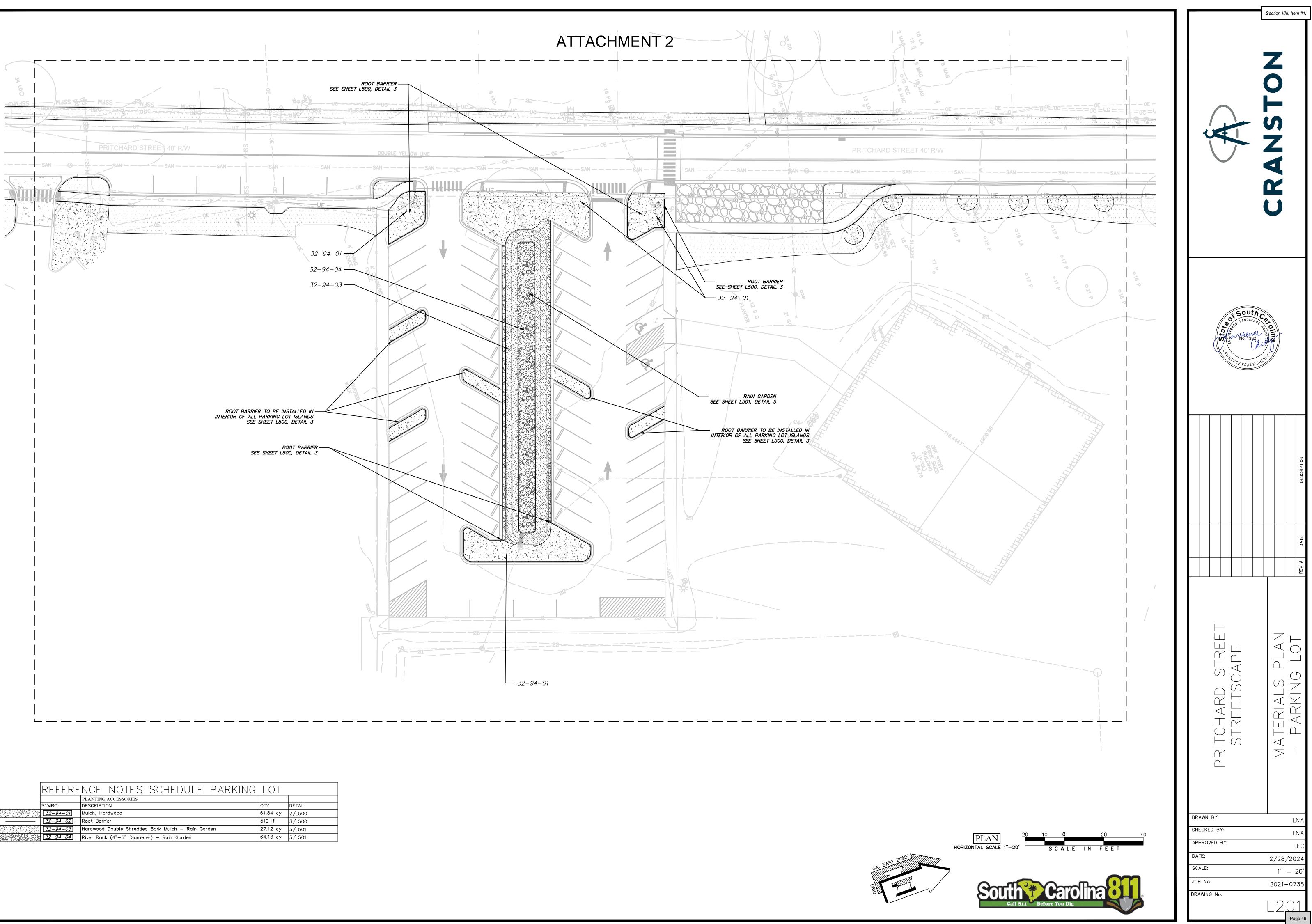
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
32-94-01	Mulch, Hardwood	38.44 cy	2/L500
	Root Barrier	325 If	3/L500
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
32-94-05	Sod-Zoysia	17,530 sf	1/L500



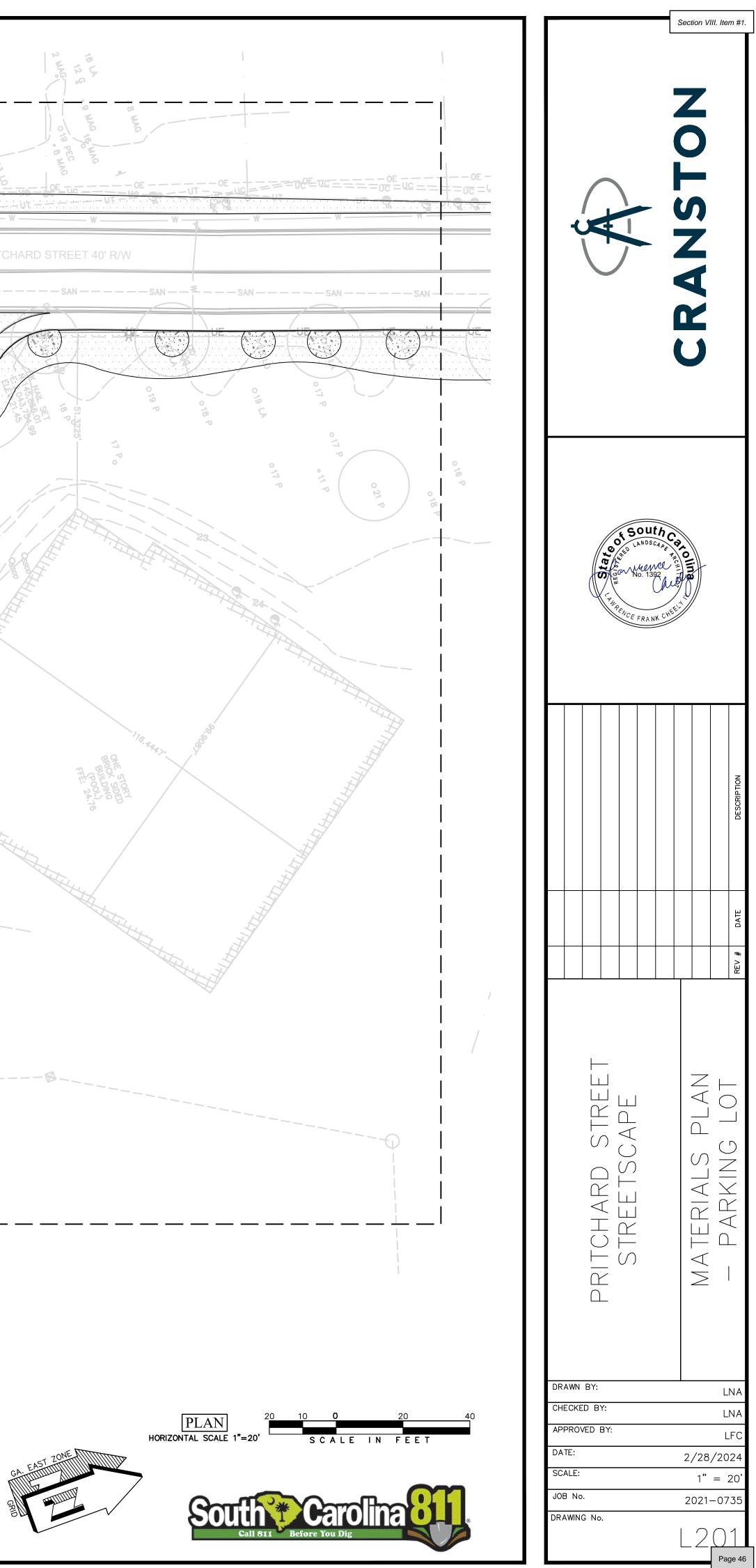
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		- tig-	- W	W -				2	- W
			PRITCHARD STREET, 40'	R/W		SS	1 0 1		
_		——————————————————————————————————————	SANTE SANTE SAN		CAN				
_			SAN - SAN -		— — SAN —			- — SAN — 	
_					- OF 2	S S			OE -
		SFM)E	-OE			
			×		Y	e l	/ × —		-×
			1 All		~	X -		<u>OW OAK</u> Y GRASS	
						PA	<u>PINK MUHLY</u> (7) ROSTRATE GLOSSY		THE REAL
						(1)	1) <u>PURPLE_LOV</u> (8)	EGRASS	
		1				<u>SNC</u> (10)	(<i>8)</i> DW DWARF MOCK)	ORANGE	
							<u>SOUTHERN M</u> (1)	AGNOLIA	
							<u>WILL</u> (5)	OW OAK	
		1							
ANT	SC	I I I I I I I I I I HEDULE PARF	KING LOT						
	SCI	I I I I I I I I I I I I I I I I I I I	KING LOT Botanical name	CONT.	CAL.	HEIGHT			
η η δοι <u>s</u>				CONT.	CAL.	HEIGHT			
BOL				CONT. B & B	CAL. 2.5" Cal	HEIGHT 12'			
BOL	QTY	COMMON NAME	BOTANICAL NAME						
BOL	QTY	COMMON NAME	BOTANICAL NAME	В & В					
SOL	QTY	COMMON NAME	BOTANICAL NAME	В & В					
SOL	QTY 13 1	COMMON NAME	BOTANICAL NAME Sabal palmetto Magnolia grandiflora	B & B Existing	2.5" Cal	12'	SPACING		
	QTY 13 1 7 QTY	COMMON NAME Cabbage Palmetto Southern Magnolia Willow Oak COMMON NAME	BOTANICAL NAME Sabal palmetto Magnolia grandiflora Quercus phellos BOTANICAL NAME	B & B Existing B & B SIZE	2.5" Cal 3"Cal HT.	12' 12' SPREAD			
	QTY 13 1 7	COMMON NAME Cabbage Palmetto Southern Magnolia Willow Oak	BOTANICAL NAME Sabal palmetto Magnolia grandiflora Quercus phellos	B & B Existing B & B	2.5" Cal 3"Cal	12'	24" o.c. 36" o.c.		
	QTY 13 1 7 QTY 57	COMMON NAME Cabbage Palmetto Southern Magnolia Willow Oak COMMON NAME Canna	BOTANICAL NAME Sabal palmetto Magnolia grandiflora Quercus phellos BOTANICAL NAME Canna x generalis	B & B Existing B & B SIZE	2.5" Cal 3"Cal HT. 3'	12' 12' SPREAD	24" o.c.		
SOL	QTY 13 1 7 QTY 57 109	COMMON NAME Cabbage Palmetto Southern Magnolia Willow Oak COMMON NAME Conna Pink Muhly Grass	BOTANICAL NAME Sabal palmetto Magnolia grandiflora Quercus phellos BOTANICAL NAME Canna x generalis Muhlenbergia capillaris	B & B Existing B & B SIZE 3 gal 3 gal	2.5" Cal 3"Cal HT. 3' 3'	12' 12' SPREAD 2' 2'	24" o.c. 36" o.c.		

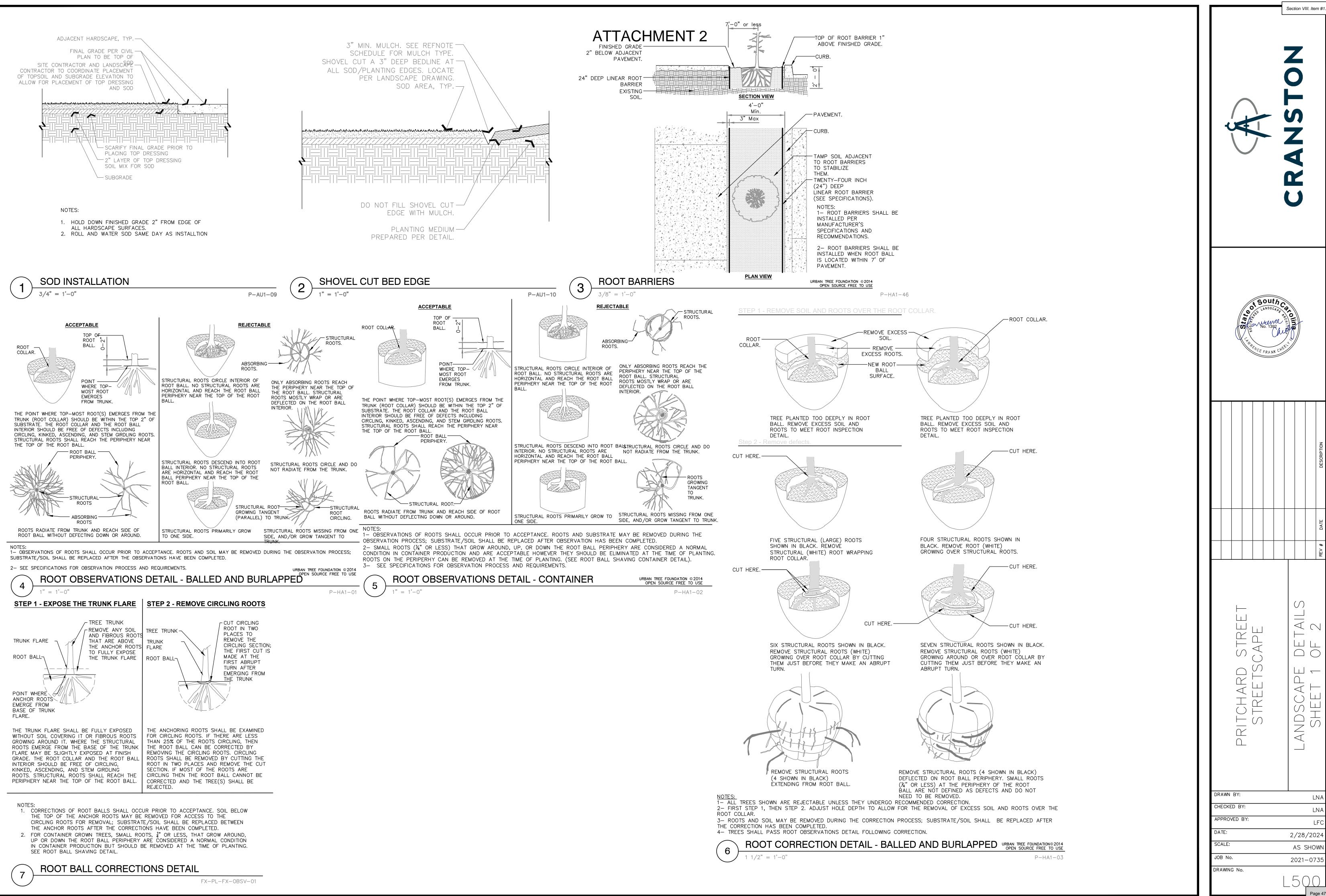


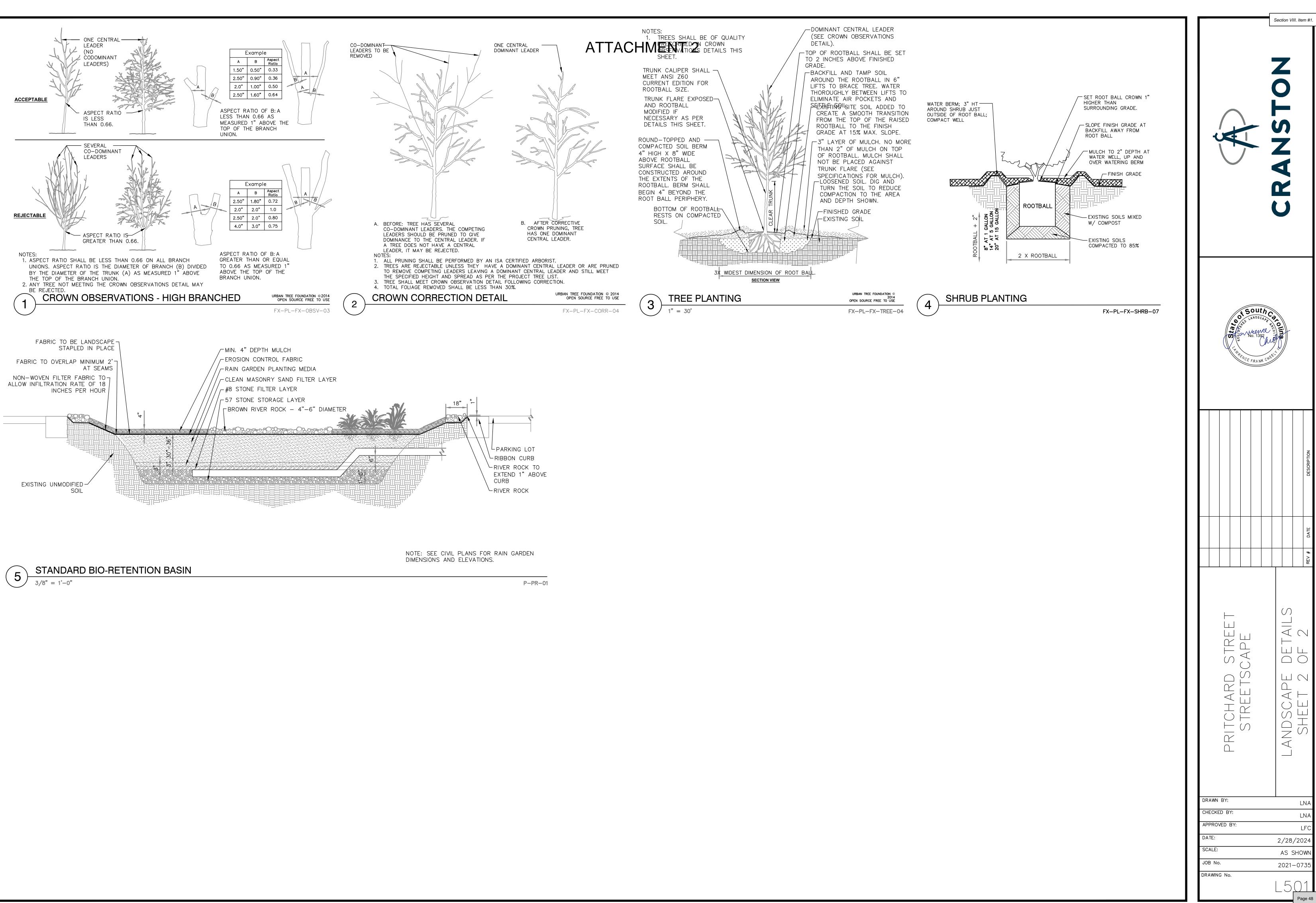




REFERE	NCE NOTES SCHEDULE PARKING	LOT	
	PLANTING ACCESSORIES		
SYMBOL	DESCRIPTION	QTY	DETAIL
32-94-01	Mulch, Hardwood	61.84 cy	2/L500
 32-94-02	Root Barrier	519 lf	3/L500
32-94-03	Hardwood Double Shredded Bark Mulch — Rain Garden	27.12 cy	5/L501
32-94-04	River Rock (4"—6" Diameter) — Rain Garden	64.13 cy	5/L501







Decorative Lighting | Lighting Solutions | SCE&G

Attachment 3



Shepherd's Crook

This antique luminaire, mounted on a 15-foot pole, is aluminum with a glass optic assembly and is black in color. This design will compliment any streetscape or parking lot area. Both single and double fixture arms are available.

WATTAGE/TYPE

104 watt LED 140 watt LED 100 watt Metal Halide 150 watt High Pressure Sodium

AREA OF ILLUMINATION





MEMORANDUM

- TO: Historic Preservation Commissioners
- FROM: Town of Bluffton Growth Management Staff
- RE: Site Feature Permits from February 15, 2023 to March 15, 2024
- DATE: APRIL 3, 2024

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status	
194 Bluffton Road	Replacement of 4 Windows	Katie Peterson	Issued	
5790 Guilford Place Unit 200	The Agency Sign	Katie Peterson	Incomplete	
			Submittal	
30 Promenade Street	Move Confident Sign	Katie Peterson	Issued	
41 Calhoun Street Unit A	Charleston Shoe Company Sign	Katie Peterson	Issued	