



## Historic Preservation Commission Meeting

Wednesday, January 08, 2025 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

This meeting can be viewed live on [BCTV](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. ADOPTION OF MINUTES

- [1.](#) December 4, 2024 Minutes

#### V. PUBLIC COMMENT

#### VI. OLD BUSINESS

- [1.](#) **Certificate of Appropriateness:** A request by Clear Cut Construction, on behalf of the owner, William Glover, for approval of a Certificate of Appropriateness-HD to allow the construction of a new two-story Single-Family Residential structure of approximately 2,874 SF and an attached Carriage House of approximately 1,100 SF located at 34 Tabby Shell Road, Lot 18 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-Historic District. (COFA-03-24-019047) (Staff - Charlotte Moore)

#### VII. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness:** A request by Ansley H. Manuel, architect, on behalf of the owner, Beth McHugh, for review of a Certificate of Appropriateness-HD to allow the construction of a rear addition of approximately 591 SF to an existing 2-story residence of 1,524 SF, a side deck addition, and a new metal front porch roof in Old Town Bluffton Historic District and zoned Neighborhood General-Historic District. (COFA-08-24-019280)(Staff - Charlotte Moore)

2. **Certificate of Appropriateness:** A request by Sarah Kepple of Pearce Scott Architects, on behalf of owner, Prestige Worldwide Properties, LLC, for review of a Certificate of Appropriateness - HD to construct a new 2.5-story commercial office structure of approximately 4,220 SF and commercial carriage house of approximately 1,100 SF at 60 Bruin Road, Lot 23 in the Tabby Roads Development, in the Old Town Bluffton Historic District. The property is zoned Neighborhood General-Historic District. (COFA-08-24-019268) (Staff - Charlotte Moore)

## VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

## IX. ADJOURNMENT

**NEXT MEETING DATE: Wednesday, February 5, 2025**

*"FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies."*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here: <https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>  
Public comment is limited to 3 minutes per speaker.*



# Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20  
Bridge Street, Bluffton, SC

December 04, 2024

## I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

## II. ROLL CALL

### PRESENT

Chairman Evan Goodwin  
Vice Chairman Joe DePauw  
Commissioner Jim Hess  
Commissioner Tim Probst  
Commissioner Kerri Schmelter  
Commissioner Debbie Wunder

### ABSENT

Commissioner Carletha Frazier

## III. ADOPTION OF MINUTES

### 1. November 6, 2024 Minutes

Vice Chairman DePauw made the motion to adopt the minutes as written.

Seconded by Commissioner Probst.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Hess, Commissioner Probst, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

## IV. PUBLIC COMMENT

## V. OLD BUSINESS

## VI. NEW BUSINESS

- Certificate of Appropriateness:** A request by Court Atkins Group, on behalf of April Perez, for a review of a Certificate of Appropriateness - HD to construct a new 2.5-story live/work building of approximately 3,180 SF with business and production facility on the first floor and a 1.5-story residential unit above, and a 2-story carriage house of approximately 1,060 SF, to be located at 1 Blue Crab Street, Lot 27, in the Tabby Roads Development, in the Old Town Bluffton Historic district and zoned Neighborhood General - HD. (COFA-11-23-018694)(Staff-Charlotte Moore)

Staff presented. The applicant was present. The commissioners expressed concerns over the ADA accessibility to the property. There was discussion regarding the noise that could be generated by the HVAC units and the machinery required for the business. The applicant discussed how they would be addressing the issues listed on the HARB approval letter.

Vice Chairman DePauw made the motion to approve the application with the following conditions:

1. If an ADA compliant parking space is required, the parking area must be reconfigured accordingly and associated elements, such as landscaping, parking surface material and building access, revised.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit will be required.
3. Per UDO Sec. 5.3.3.G., a minimum tree canopy coverage of 75% is required and must be shown on a revised Landscape Plan.
4. Revise incorrect square footages (main house bonus floor, carriage house total, main building total) on the plan set and the COFA-HD application.
5. Per UDO Sec. 5.15.6.L.1., windows facing a street must be transparent, which precludes the use of translucent and one-way film to block visibility into the building from the street.
6. If a ground floor door must be removed on the west elevation, and is not required by building code, it shall be replaced with a window that matches the windows on the same elevation.
7. Provide window and door tables.
8. Per Section 3.19 of the UDO, a Site Feature-HD is required for future signage.
9. The louvered panels to screen the service yard shall be reconfigured to slope outward.

Seconded by Commissioner Schmelter.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Hess, Commissioner Probst, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

2. **Certificate of Appropriateness:** A request by Court Atkins Architects, Inc., on behalf of 5812 Guilford Place, LLC, for approval of a Certificate of Appropriateness-HD to construct a new 2-story main building of approximately 2,400 square feet and a connected 2-story carriage house of approximately 1,050 square feet at 5812 Guilford Place, Lot 12, in the Stock Farm Development and with Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD.(COFA-09-24-019336)(Staff-Charlotte Moore)

Staff presented. The applicant was present. The commissioners discussed the use of aluminum for the railing in lieu of a permitted material. There was discussion regarding the parapet wall as a design element in Southern Architecture. Concerns were shared about the numerous components of the front elevation being excessive. The Commission had comments regarding the orientation of the panels on the Carriage House.

Vice Chairman DePauw made the motion to approve the application with the following determinations and conditions:

Determinations:

1. The HPC determined that the front porch location behind the parapet wall meets the intent of UDO Sec. 5.15.6.C.2.
2. The HPC determined that aluminum is an appropriate alternative material for the front façade balcony railing, the second-floor porch at the rear of the main building, and for the second-floor connector railing.
3. The HPC determined that fixed frame windows are appropriate for the proposed locations.

Conditions:

1. The service yard must be large enough to contain all service-related items and utility meters must be screened from public views.
2. Provide column detail to demonstrate material and configuration compliance with UDO Sec. 5.15.6.H.2.
3. Identify the railing material for all stair [and ramp] locations to show compliance with UDO Sec. 5.15.5.H.2.d.
4. Provide a door schedule to show that all doors comply with UDO Sec. 5.15.5.6.I.
5. Provide a window schedule to show that all windows comply with UDO Sec. 5.15.5.6.I.
6. Per the Applications Manual and UDO Sec. 3.22.2.A., provide a site plan(survey) indicating location, species and caliper of existing trees and trees to be removed, and identify replacement trees as specified in UDO Sec. 5.3.7.F.4. A minimum tree canopy of 75% for the lot, not including roof tops, must be provided. Show canopy calculation per UDO Sec. 5.3.7.G.
7. Provide at least one large canopy tree per UDO Sec. 5.3.7.A. and a foundation planting area at least eight (8) feet wide around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground cover per UDO Sec. 5.3.7.E.
8. Provide a Tree Removal Permit per the Applications Manual.
9. Provide an approval letter from Stock Farm POA, which must include the approval of the proposed parking spaces encroaching into the Stock Farm private Guilford Place right-of-way.
10. Revise plan accordingly if an American with Disabilities Act (ADA) compliant parking space is required.
11. Show compliance with required building setbacks.
12. For applicable future signage, a Site Feature-HD permit must be obtained as per UDO Sec. 3.19.
13. Missing details [including slat-wall trellis] shall be provided and reviewed by Town Staff and HPRC members.
14. Remove the slat- wall trellis at the top landing of the porches and along the length of second floor side stair porch.

15. Include the vertical boards in the panels on the courtyard face of the stairs.
16. Drop the railing on the right elevation to the level appropriate for the mid-landing.
17. Reduce the overhang on rear-facing porch to be consistent with the hipped roof detail and the bay.

Seconded by Commissioner Schmelter.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Hess, Commissioner Probst, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed.

## **VII. DISCUSSION**

1. Historic District Monthly Update. (Staff)

Staff reviewed the monthly report. The Commissioners had no questions.

## **VIII. ADJOURNMENT**

Commissioner Schmelter made the motion to adjourn.

Seconded by Commissioner Wunder.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Hess, Commissioner Probst, Commissioner Schmelter, Commissioner Wunder

All were in favor and the motion passed. The meeting adjourned at 7:50pm.



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	January 8, 2025
<b>PROJECT:</b>	34 Tabby Shell Road, Lot 18 - New Construction: Single-Family and Carriage House
<b>APPLICANT:</b>	Sea Island Construction Group
<b>PROPERTY OWNER:</b>	William Glover
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant, Sea Island Construction Group, on behalf of the owner, William Glover, requests that the Historic Preservation Commission approve the following application:

**COFA-03-24-019047.** A Certificate of Appropriateness to allow the construction of a new two-story Single-Family Residential structure of approximately 2,874 SF and an attached Carriage House of approximately 1,100 SF located at 34 Tabby Shell Road, Lot 18 of the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

*Note: This application was initially heard at the November 6, 2024 HPC meeting but continued to allow the Applicant an opportunity to make revisions discussed at the meeting. A letter explaining the changes is provided as Attachment 3. Italicized type is used in this report to distinguish items that the HPC requested to be revised.*

**INTRODUCTION:** The Applicant has proposed the construction of a two-story single-family structure with an attached two-story Carriage House in the Old Town Bluffton Historic District. The proposed primary structure, of approximately 2,324 SF has the characteristics of a Center Hall House which must comply with the requirements for the Building Type within the Neighborhood General-HD zoning district.

The primary structure features a double front porch with a hipped roof. The east side elevation features a partial enclosed, screened porch. The attached Carriage House features a second story rear-facing hipped roof, and a two-bay garage. The structure is proposed to have horizontal Hardie lap siding on the first floor and Hardie shake siding on the second floor.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 15, 2024 meeting and comments were provided to the Applicant (See

Attachment 7). The Tabby Roads Habitat and Architectural Review Board provided its last review comments in July, 2024 (Attachment 8).

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, New Construction and Alterations), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date

**1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.**

- a. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.
- b. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of a proposed single-family structure and Carriage House add to the district and helps provide completeness to the neighborhood and overall district.

**2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Findings.* Town Staff finds that if the conditions noted below are met, the proposed construction will be in conformance with applicable architectural design provisions provided in Article 5:
  - 1) **Finished Floor Height.** Residential structures must have a first finished floor height raised to a minimum of three (3) feet above average adjacent sidewalk grade (UDO Sec. 5.15.6.F.). *The revision shows compliance with this requirement.* The foundation wall must be tabby stucco (mixed shell size only) or stucco with a sand or steel trowel finish) (UDO Sec. 5.15.6.G.1.a.)

**2) Building Composition.**

- a. Overall building proportions and individual building features shall have a proportional relationship with one another. The door on the front elevation is proportionately taller than the adjacent windows and should be lowered for consistency. (UDO Sec. 5.15.5.F.4.a.) *The revised plan shows consistent door and window header height.*
- b. *The window-sized wall panels were removed from the right and left second-story elevations and adjacent windows reconfigured.*
- c. *On the initial plan, concern was expressed that the narrow six (6) inch inset wall on the left elevation was not substantial enough to break up the left elevation. With the revised plan, the inset was increased to one (1) foot. The Historic Preservation Commission should determine if the revised depth is satisfactory. (UDO Sec. 5.15.5.F.4)*

**3) Chimneys.** *The bishop's arch was changed from the initial plan to face the Bruin Road on the revised plan. UDO Sec. 5.15.6.E.8.e. requires vents to not be visible from the street. The chimney will have a mixed tabby shell finish.***4) Doors.** Provide a door schedule, including garage doors, to show compliance with permitted materials (wood, metal and metal-clad). Identify the type of composite material identified for the garage doors. The UDO Administrator may approve the use of wood composite if the doors are consistent with the character of the Historic District and the materials to be used are of equal or better quality than traditional building materials. Show door operation for all doors. (UDO Sec. 5.15.6.I.2.b.)**5) Columns.** Square 10-inch columns were proposed initially. *The revised plan shows 12-inch columns on the first floor and 10-inch columns on the second floor, both with a larger base and smaller cap.* Allowable column materials include wood, cast iron, concrete with smooth finish, stone, steel or tabby. The columns will be “primed [pressure treated] pine and Hardie siding.” The Historic Preservation Commission must determine if Hardie siding is an acceptable finish material. Provide a column detail for a better view. (UDO Sec. 5.15.5.H.2.a.)**6) Railings and Balusters.** Powder-coated aluminum metal was initially proposed for the second- floor porch railings; *the revision shows powder coated steel.* Permitted materials include wood, painted or natural wrought or cast iron. The Historic Preservation Commission must



determine that steel is an acceptable alternate material. (UDO Sec. 5.15.5.H.3.)

7) **Roofs and Gutters.**

- a. *The Carriage House roof height was decreased by one (1) foot for improved dimension and an eyebrow roof added over the garage doors. Bracket details must be provided, and bracket material must be common to the Bluffton vernacular. (UDO Sec. 5.15.6.A.)*
- b. A standing seam metal roof is proposed but the type of metal has not been identified. Acceptable materials include galvanized, copper, aluminum and zinc-alum and must be identified. (UDO Sec. 5.15.5.J.2.a.)
- c. Metal half-round gutters will be provided but the type of metal material type is not shown. Provide information to show compliance with one of the following permitted material types: copper, galvanized steel, aluminum, 14-18 gauge. Downspouts must match gutters. (UDO Sec. 5.15.5.J.2.c.)

8) **Cornices and Soffits.** *The revision shows that soffits will be a v-groove configuration. Additionally, brackets that were initially proposed on the second-story front elevation have been removed.*

9) **Service Yard.** Provide service yard details to show compliance with UDO Sec. 5.15.5.F.10. Also, identify the location of electric panels, which must be screened from public view.

10) **Landscape Plan.**

- a. A tree canopy with a minimum of 75% lot coverage, not including roof tops shall be provided where land disturbance is proposed for sites less than one (1) acre. The Landscape Plan canopy coverage calculations do not accurately reflect the proposed plantings for the calculations. Provide updated canopy coverage calculations to ensure the 75% lot coverage is met. (UDO Sec. 5.3.3.G.)
- b. Provide a list of all trees to be removed and their diameter at breast height to determine the number of replacement trees required. A Tree Removal Permit will be required.

3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

*Finding.* If the conditions noted in #2 of this report are met, a compatible visual relationship will be demonstrated with surrounding properties, streetscapes and open spaces.

#### 4. Compliance with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete; however, there are several trees being proposed for removal which require a tree removal permit which must be submitted, reviewed, and approved prior to issuance of a Certificate of Appropriateness.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Identify the finish for the foundation wall which must be tabby stucco (mixed shell size only) or stucco with a sand or steel trowel finish (UDO Sec. 5.15.6.G.1.a.).
2. Provide a door schedule, including garage doors, to show compliance with permitted materials (wood, metal and metal-clad). (UDO Sec. 5.15.6.I.2.b.)
3. Provide additional column details.
4. Provide bracket details for the Carriage House eyebrow roof and show that the bracket material is common to the Bluffton vernacular.
5. Identify the type of standing seam metal to be used. (UDO Sec. 5.15.5.J.2.a.)
6. Identify the type of material to be used for the gutters and show consistent materials for the downspouts. (UDO Sec. 5.15.5.J.2.c.)
7. Provide service yard screening details and show location of electric panels.) UDO Sec. 5.15.5.F.10)
8. Demonstrate that 75% tree canopy coverage will be provided. (UDO Sec. 5.3.3.G.)
9. Provide a list of trees to be removed from the lot and their diameter at breast height to determine the number of replacement trees (UDO Table 5.3.3.G.). A Tree Removal Permit will be required.

Further, Town Staff requests a determination by the Historic Preservation Commission regarding the following:

10. That the one (1) foot inset for the wall connecting the main structure to the Carriage House is sufficient depth to break up the left elevation. (UDO Sec. 5.15.5.F.4)
11. That Hardie board is an appropriate cladding material for the columns. (UDO Sec. 5.15.5.H.2.a.)
12. That powder-coated steel is an appropriate material for the second-floor porch railing (top rail and balusters). (UDO Sec. 5.15.6.H.3.)

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

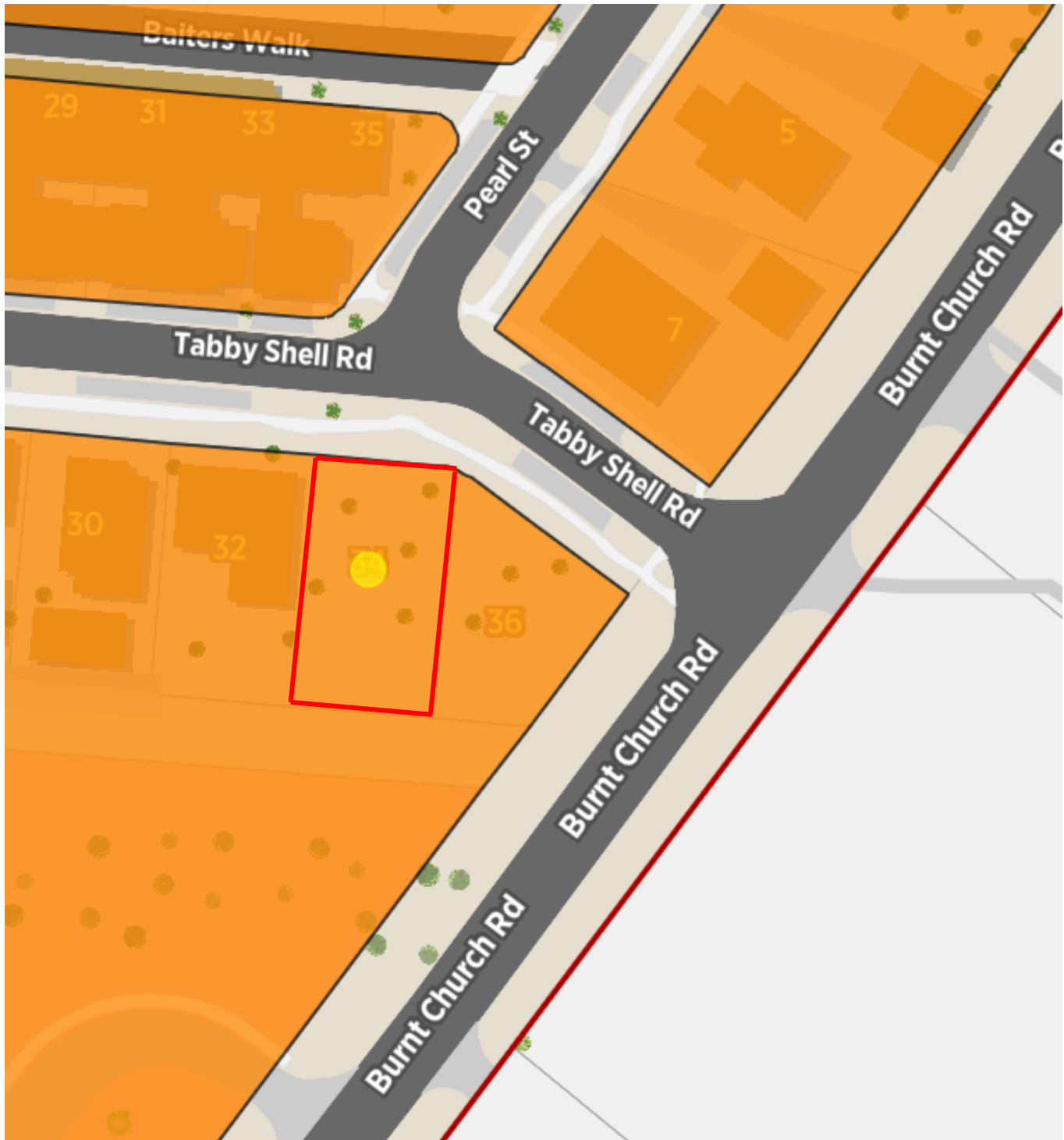
**ATTACHMENTS:**

1. Location & Zoning Map
2. Application-Updated
3. Explanation of Revisions Letter
4. Revised Drawings – 12.09.2024
5. Tree Removal Narrative
6. Landscape Plan
7. HPRC Comments, April 2024
8. Tabby Road HARB Letter, July 2024

ATTACHMENT 1  
**LOCATION & ZONING MAP**

Section VI. Item #1.

**34 Tabby Shell Street**  
Neighborhood General-HD District





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custom

Section VI. Item #1.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Sea Island Construction Group		Name: William Glover	
Phone: (854) 345-0925		Phone: (843) 304-2455	
Mailing Address: 23 Whispering Oaks Circle, Okatie, SC 29909		Mailing Address: 40 Sugaree Dr, Bluffton, SC 29910	
E-mail: sgconstructionhhi@gmail.com		E-mail: billyglover77@gmail.com	
Town Business License # (if applicable): LIC-24-08-4372			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: Glover Residence		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 34 Tabby Shell Rd, Bluffton, SC		Amendment: <input type="checkbox"/>	
Zoning District: General HD		Application for:	
Acreage: .11		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610 039 000 1198 0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage approx. 2,874.52 cooled sf.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note: A Pre-Application Meeting is required prior to Application submittal.</b>			
<b>Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.</b>			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Wm R. Glover</i>		Date: 09/13/24	
Applicant Signature: <i>SG</i>		Date: 09/13/24	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	

Updated December 10,  
2024 (Page 3 only)



ATTACHMENT 2  
**TOWN OF BLUFFTON**

This sheet updated 12/10/2025. Following sheet is the original Project Analysis.

Section VI, Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): Center Hall House					
Building Setbacks		Front: 5'	Rear: 10.5'	Rt. Side: 7.5'	Lt. Side: 5'
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)		<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>	
Main Structure	Main House		0	2324.52	
Ancillary	Bonus Room/Garage		0	1100 (550 cooled)	
Ancillary					
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			1770.41		
Impervious Drive, Walks & Paths			332		
Open/Covered Patios			632.93		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			2735.34		
<b>B. TOTAL SF OF LOT</b>			4937		
<b>% COVERAGE OF LOT (A/B= %)</b>			55.4%		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	
Foundation	concrete turndown (mixture)		Columns	Primed PT Pine / Hardie	
Walls	2x4/2x6 spruce		Windows	Marvin Vinyl	
Roof	standing seam metal		Doors	Wood	
Chimney	mixed tabby stucco		Shutters	N/A	
Trim	Hardie Plank		Skirting/Underpinning	Hardie Plank	
Water table	PT Pine		Cornice, Soffit, Frieze	Hardie Plank	
Corner board	Hardie Plank		Gutters	Metal (half round)	
Railings	Powder Coated Metal		Garage Doors	Painted Composite	
Balusters	Powder Coated Metal		Green/Recycled Materials	N/A	
Handrails	Powder Coated Metal				



ATTACHMENT 2  
**TOWN OF BLUFFTON**

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

This sheet is the previous submission. Provided to compare changes made for 1/8/25 HPC meeting.

Section VI. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): Center Hall House					
Building Setbacks		Front: 5'	Rear: 10.5'	Rt. Side: 7.5'	Lt. Side: 5'
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)		<b>Existing Square Footage</b>	<b>Proposed Square Footage</b>	
Main Structure	Main House		0	2324.52	
Ancillary	Bonus Room/Garage		0	1100 (550 cooled)	
Ancillary					
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			1770.41		
Impervious Drive, Walks & Paths			332		
Open/Covered Patios			632.93		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			2735.34		
<b>B. TOTAL SF OF LOT</b>			4937		
<b>% COVERAGE OF LOT (A/B= %)</b>			55.4%		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	
Foundation	concrete turndown (mixture)		Columns	Primed PT Pine / Hardie	
Walls	2x4/2x6 spruce		Windows	Marvin Vinyl	
Roof	standing seam metal		Doors	Wood	
Chimney	mixed tabby stucco		Shutters	N/A	
Trim	Hardie Plank		Skirting/Underpinning	Hardie Plank	
Water table	PT Pine		Cornice, Soffit, Frieze	Hardie Plank	
Corner board	Hardie Plank		Gutters	Metal (half round)	
Railings	Powder Coated Metal		Garage Doors	Painted Composite	
Balusters	Powder Coated Metal		Green/Recycled Materials	N/A	
Handrails	Powder Coated Metal				





# ATTACHMENT 2 TOWN OF BLUFFTON

Section VI. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



ATTACHMENT 2  
TOWN OF BLUFFTON

Section VI. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

William R. Glover  
Signature of Property Owner or Authorized Agent

09/13/24  
Date

William Glover  
Printed Name of Property Owner or Authorized Agent

Sawyer Graham  
Signature of Applicant

09/13/24  
Date

Sawyer Graham  
Printed Name of Applicant

December 10, 2024

To Whom It May Concern,

The following items have been revised to the plans of 34 Tabby Shell Rd in Bluffton, South Carolina, in agreement with the Historical Preservation Commission comments on November 6th, 2024:

1. Handrails have been addressed in A401-3.
2. The front door is now an 8' tall, three-quarter light with two side lights, consistent with the window head height.
3. There is now column detail on the elevations showing them smooth with a larger base and smaller cap. The 1st floor columns are now 12 inches.
4. We have deleted the windows in the 4 corners (on the second floor) and moved them to replace the faux panels.
5. The Soffit details now read v-groove and we have removed the brackets on the front elevation.
6. We have added dimension between the main house and the carriage house by adding an eye brow roof over garage doors, lowering the garage roof height relative to main house and maintaining a 1' min. depth between the two structures and the connecting structure.
7. The bishops arch has been turned to face the front elevation (turn chimney 90°).
8. The finished first floor height is now noted to be a minimum of 36" above average adjacent sidewalk grade.

GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURERS WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURERS' PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX., AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY THROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS' PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE. CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS. CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAM'S BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS, LOSSES, DAMAGES OR ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAM'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAM'S DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS' DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

I.R.C. - 2018  
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,220.41 Square feet  
SECOND FLOOR LIVING AREA: 1,104.11 Square feet  
BONUS FLOOR LIVING AREA: 550.00 Square feet

FRONT COVERED PORCH LOWER AREA: 188.83 Square feet  
FRONT COVERED PORCH UPPER AREA: 188.83 Square feet  
BACK COVERED PORCH AREA: 308.33 Square feet

GARAGE AREA: 550.00 Square feet  
CART AREA: 135.77 Square feet

( FOR REFERENCE ONLY )  
AREAS SUBJECT TO CHANGE WITHOUT NOTICE  
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

TOTAL COOLED LIVING AREA: 2,874.52 Square feet

TOTAL FRAMED AREA: 4,246.28 Square feet

( FOR REFERENCE ONLY )  
AREAS SUBJECT TO CHANGE WITHOUT NOTICE  
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

SITE AREA:

SITE AREA (PER SURVEY) 0.11 ACRES  
4,937 square feet

BUILDING FOOT PRINT: 2,618.63 square feet

LOT COVERAGE: 53%

DRAWING SYMBOLS

DESIGNATES - C.M.U. WALL

DESIGNATES - BRICK

DESIGNATES - 2x4 @ 16" O.C. STUD WALL 2 x 4

DESIGNATES - 2x6 @ 16" O.C. STUD WALL 2 x 6

DESIGNATES - 2x8 @ 16" O.C. STUD WALL 2 x 8

DESIGNATES - UNFINISHED CONCRETE

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION

DOOR DESIGNATION

POINT ELEVATION

ELEVATION CHANGE

INTERIOR DETAIL VIEW DIRECTION

DETAIL DESIGNATION

ABBREVIATIONS

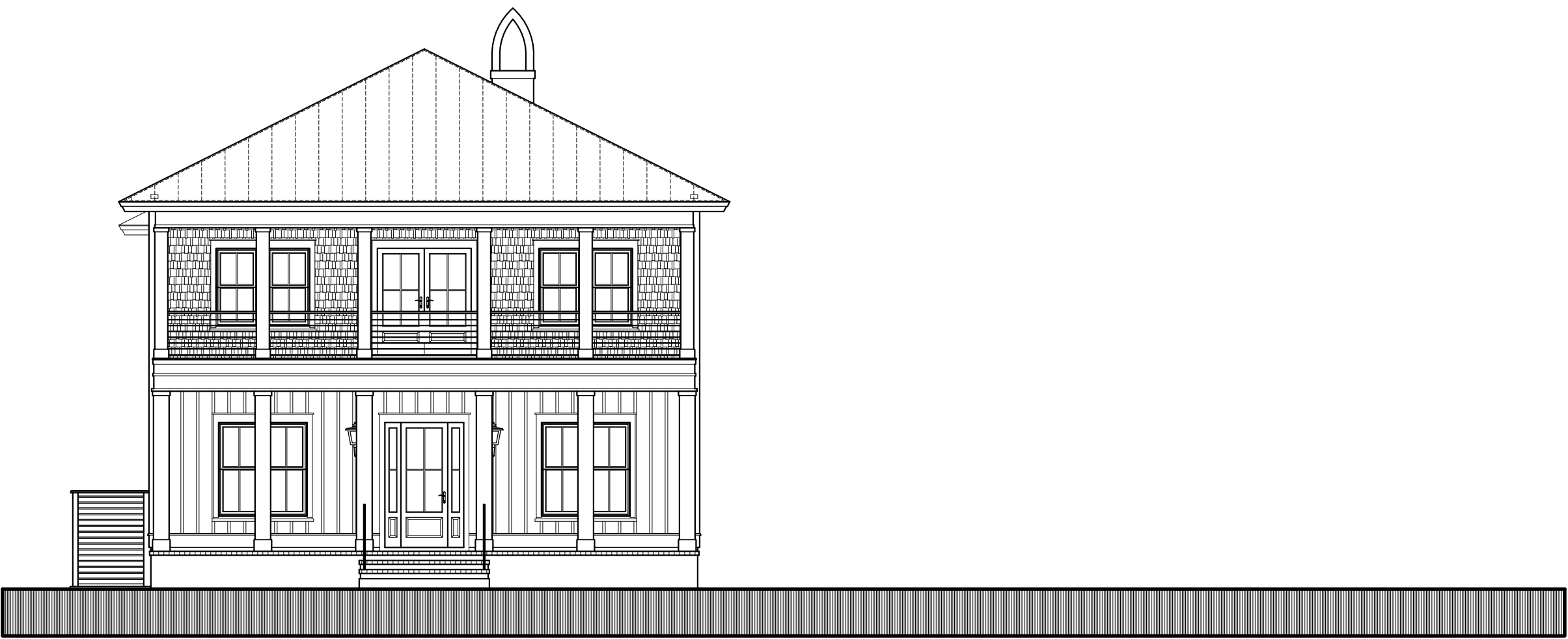
CONCRETE MASONRY UNIT C.M.U.  
¢  
CASED OPENING CO  
DOWN DN.  
UP UP  
DESIGN PRESSURE D.P.  
EQU. EQ.  
WELDED WIRE MESH W.W.M.  
ON CENTER O.C.

FINISH SYMBOLS

CULTURED MARBLE (CM)  
GRANITE (G)  
MARBLE (M)  
LAMINATED TOP (L)  
TILE (T)  
GLASS (GL)  
SOLID SURFACE (SS)  
CAST IRON (CI)  
FIBERGLASS (FG)  
STONE (S)  
DRYWALL (DW)

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

( FOR REFERENCE ONLY )  
SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S  
C - 100 - 2

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
CITY OF BLUFFTON  
BEAUFORT COUNTY

DESIGN TEAM

OWNER

WILLIAM GLOVER  
34 TABBY SHELL

GENERAL CONTRACTOR

SEA ISLAND CONSTRUCTION GROUP  
23 WHISPERING OAKS CIRCLE  
OKATIE - SOUTH CAROLINA - 29909

SURVEY

T SQUARE SURVEYING  
P.O. Drawer 330  
139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910  
843-757-2650  
tsquare@hargray.com  
JOB NUMBER: 21-014T

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,  
22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA  
912-704-1955  
jeleonard@sawyerdd.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.  
P.O. BOX 22324 - SAVANNAH - GEORGIA -31403  
912-232-7130  
smboyles@bellsouth.net

CIVIL ENGINEER

KEY ENGINEERING  
P.O. BOX 2569 - BLUFFTON - SOUTH CAROLINA -29910  
843-227-3031  
keyengineering@hargray.com

LANDSCAPE

ROSE LANDSCAPING  
25 PALMETTO BEACH DRIVE  
BLUFFTON - SOUTH CAROLINA 29910  
843-816-3518  
b.rose@roselandscape.com

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED ICC 600-2018  
V35 = 140 MPH I.R.C. - 2018  
EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY N/A Ft. NGVD29

DRAWING INDEX

- 1 C - 100 COVER
- 2 L - 100 SITE PLAN
- 3 A - 100 FIRST FLOOR PLAN
- 4 A - 101 SECOND FLOOR PLAN
- 5 A - 102 WINDOW AND DOOR NOTES
- 6 A - 200 EXTERIOR ELEVATIONS
- 7 A - 201 EXTERIOR ELEVATIONS
- 8 A - 300 BUILDING SECTIONS - ROOF PLAN
- 9 A - 400 WALL DETAILS
- 10 A - 401 WALL DETAILS
- 11 S - 100 FOUNDATION PLAN
- 12 S - 101 STRUCTURAL NOTES
- 13 E - 100 ELECTRICAL PLANS
- 14 E - 100 ELECTRICAL PLANS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED ICC 600-2018  
V35 = 140 MPH I.R.C. - 2018  
EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

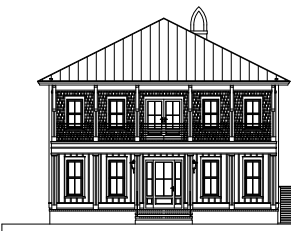


TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



COVER 24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C., AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C., WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C., AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024

REV

C - 100

01 - 14 SINGLE USE ONLY



## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V<sub>33</sub> = 140 MPH  
EXPOSURE CATEGORY "B" **ICC 600-2018**  
**I.R.C. - 2018**

FLOOD ZONE PER SURVEY **ZONE C**  
MINIMUM F.F.F. PER SURVEY **N/A Ft. NGVD29**

## GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET, ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

## STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

## DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
V<sub>33</sub> = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

CONSTRUCTION

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

## DRIVEWAY

DRIVEWAY AND SIDEWALK TO BE BROOM FINISHED CONCRETE WITH STANDARD EXPANSION JOINTS

## REQUIRED FILL DIRT

THIS SITE WILL REQUIRE FILL DIRT UNDER MAIN STRUCTURE TO BRING EXISTING GRADE UP TO ALLOW FOR DRAINAGE.

## FINAL ELEVATIONS

REFER TO CERTIFIED DRAINAGE PLAN FOR ALL FINAL FLOOR AND GRADING ELEVATION VERIFY WITH MASTER DRAWING SET PRIOR TO CONSTRUCTION.

## SITE DRAINAGE

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT.

VERIFY TREE REMOVAL WITH DRAINAGE PLAN

## EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

## SOIL BEARING

SOIL BEARING PRESSURE ASSUMED AT 2,500 P.S.F. OWNER OR CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE DESIGN TEAM AND STRUCTURAL ENGINEER HARMLESS.

## SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

## GEO TECHNICAL

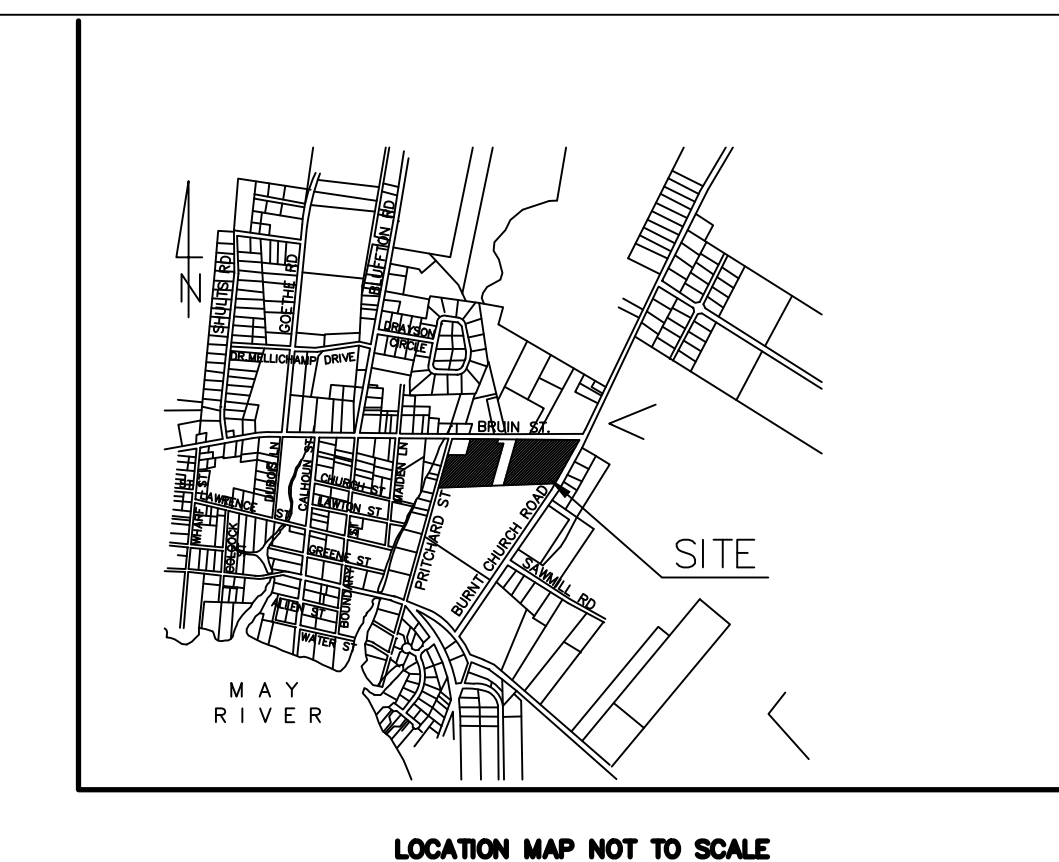
SOIL TO BE TESTED BY A LICENSED SOUTH CAROLINA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

## FINISH ELEVATIONS

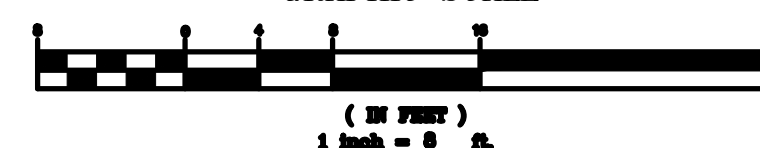
NOTE THAT FINISHED ELEVATIONS DO NOT STATE FINISHED HEIGHT OF CONCRETE UNDER BRICK FINISHES

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES PORTICOS PATIOS AND DRIVEWAYS



SEE DRAINAGE PLAN  
FOR ADDITIONAL  
ELEVATION POINTS

## GRAPHIC SCALE



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	8.47'	25.00	8.43	N74°30'02"W
				19°25'17"

## Notes:

1. According to FEMA Flood Insurance Rate Map # 4503C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F.T. NGVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

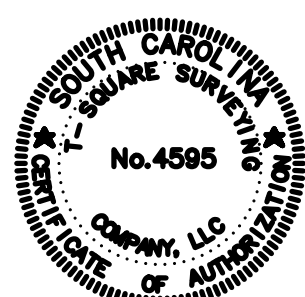
Reference: 761633  
PLAT BOOK 112 AT PAGE 133

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

## SEA ISLAND CONSTRUCTION GROUP

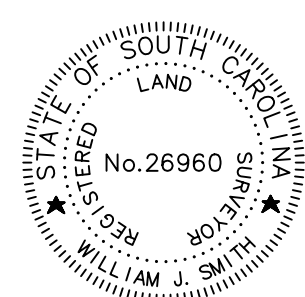
A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST 614, MAP 37, PARCEL 358



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



## T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330

139 Burnett Church Road

Bluffton, S.C. 29910

tsquare@tsgsurvey.com

Phone 843-757-2650 Fax 843-757-5758

JOB No. 14-243TR



## TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

LOT# 18

BLUFFTON - SOUTH CAROLINA

TOWN OF BLUFFTON

22 - 018

12.09.2024

REV

L - 100

02 - 14 SINGLE USE ONLY

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SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

ATTACHMENT 4

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x12" CMU: PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x16" CMU: PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"  
9'-1"

SECOND FLOOR CEILING HEIGHTS ARE:

ALL FIRST FLOOR CASED OPENINGS ARE:  
NOTED

9'-0"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"  
6'-8"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"  
6'-8"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS

VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

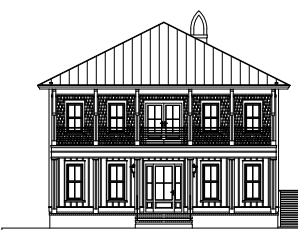
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FLOOR PLAN

24 x 36

A.R.B. REVIEW

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TABBY HOUSE

22-018

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

12.09.2024

REV

A - 100

03 - 14 SINGLE USE ONLY

Page 22

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

A - 100 - 1

0 1' 4' 8' 16'

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

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ZONE C

N/A Ft. NGVD29

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CMU WALLS

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CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

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ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN  
FOR ADDITIONAL  
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS AND  
SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024

REV



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

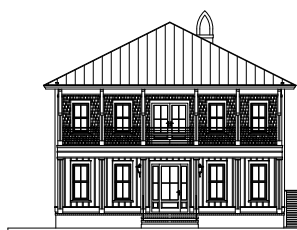
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

A.R.B. REVIEW

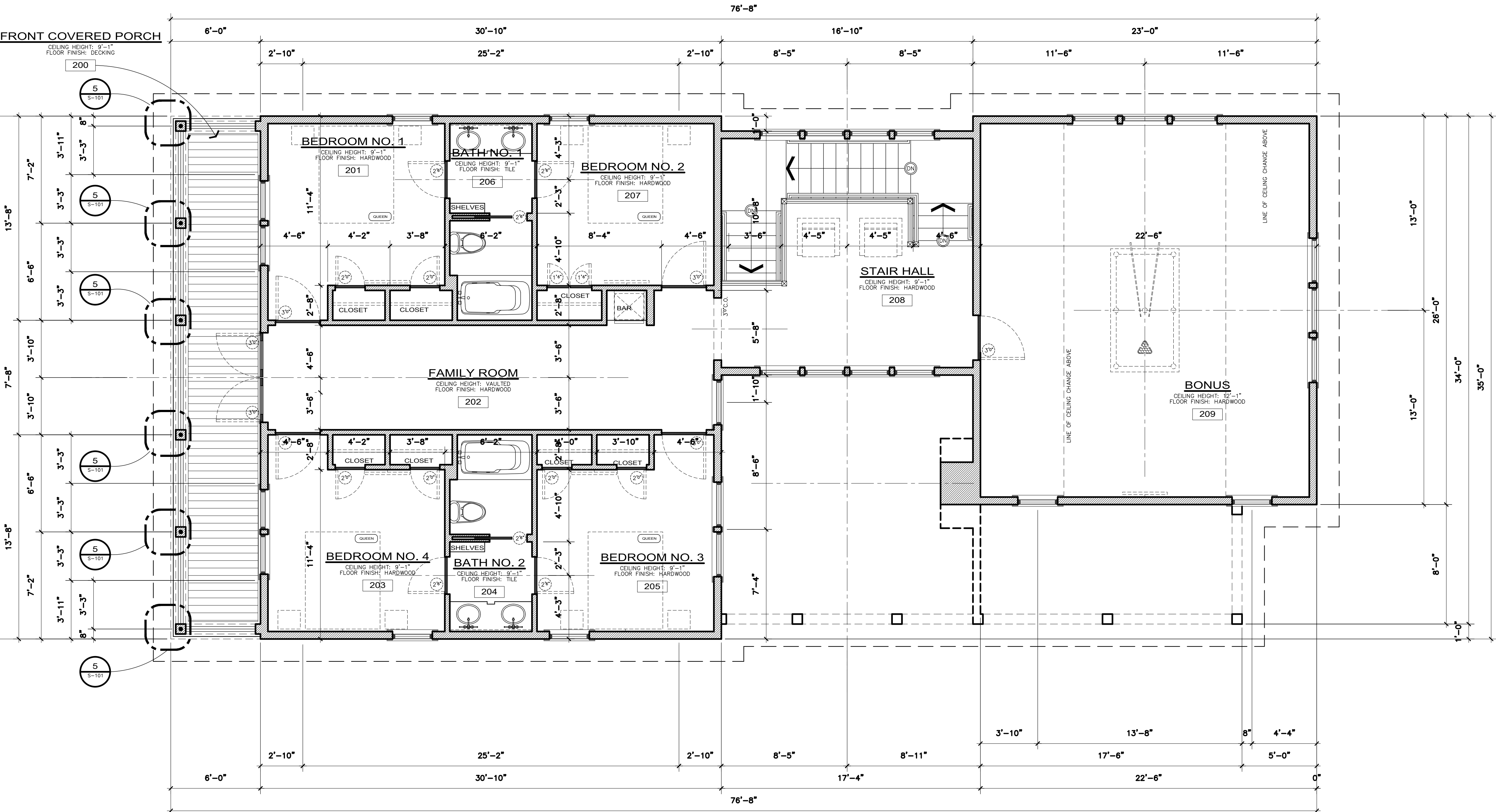
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A - 101 - 1

0 1' 4' 8' 16'



**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**WINDOWS**

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW HEAD HEIGHT

ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

**EGRESS**

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW MANUFACTURE SELECTION

**MANUFACTURE**

ALL WINDOWS AND DOORS ARE SHOWN TO TYPICAL SIZES THE GENERAL CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR INSTALLATION

**SHOP DRAWINGS**

ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

**WINDOW DIMENSIONS**

ALL WINDOW DIMENSIONS ARE FOR REFERENCE ONLY THE GENERAL CONTRACTOR IS TO VERIFY AND ALIGN ALL WINDOW WITH THE EXTERIOR ELEVATIONS AND BUILDING SECTIONS PRIOR TO ORDER AND INSTALLATION

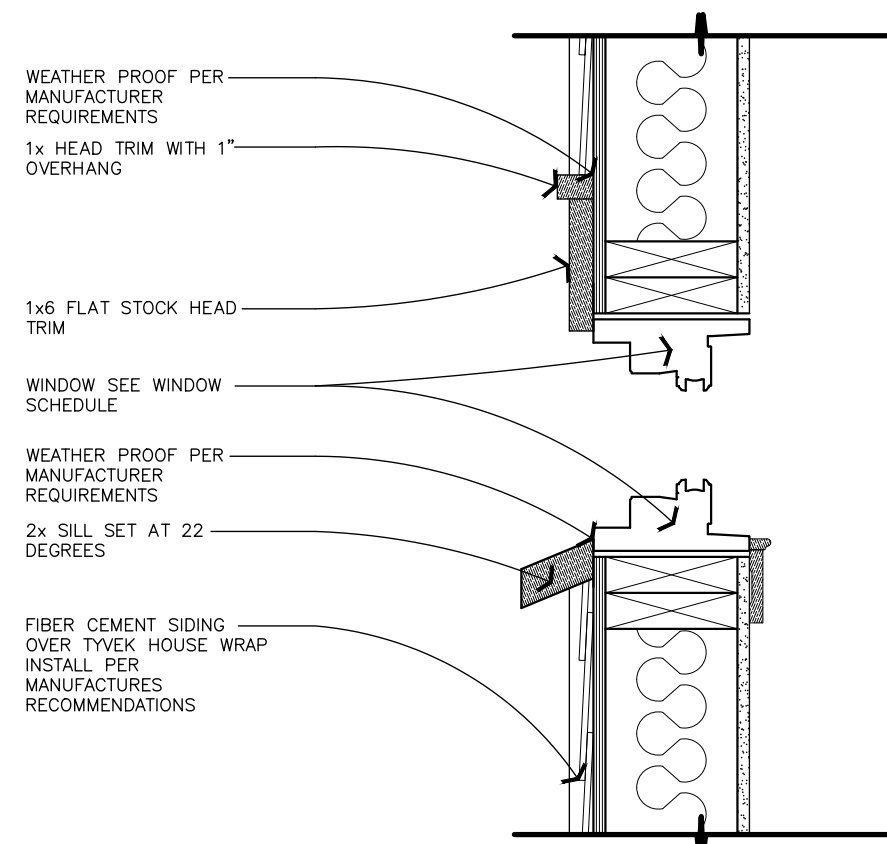
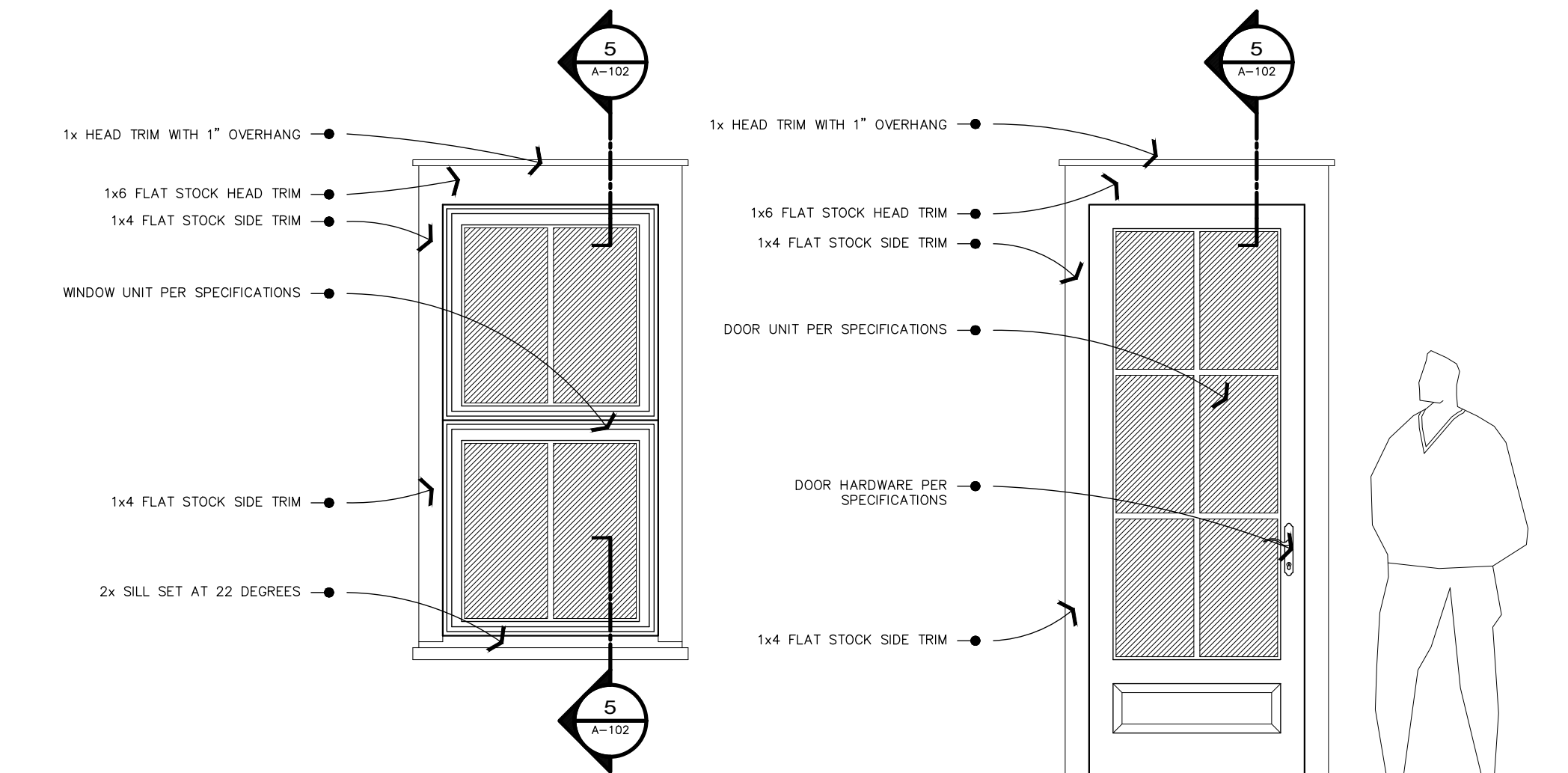
**NOTES**

ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER SIZES

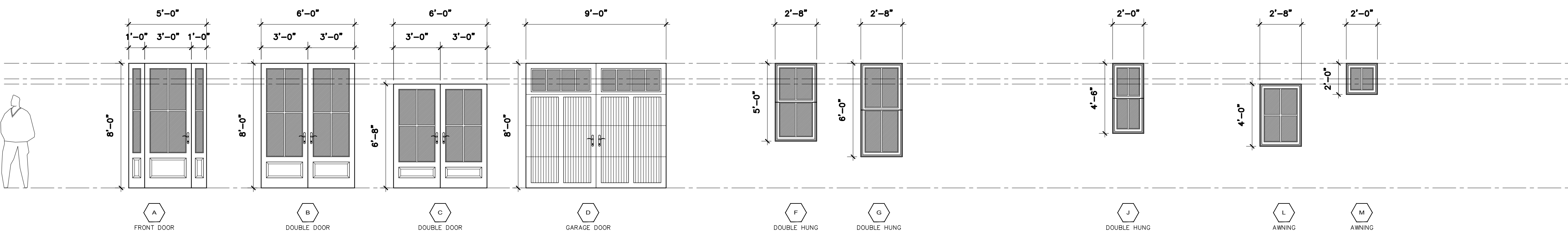
ALL WINDOWS AND DOOR SIZES AND EGREES REQUIREMENTS TO BE VERIFIED BY THE BUILD TEAM

FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE DESIGN TEAM PRIOR TO ORDER

ALL NEW WINDOW AND DOOR UNITS TO MATCH THE EXISTING MAIN HOUSE DOOR AND WINDOW UNITS

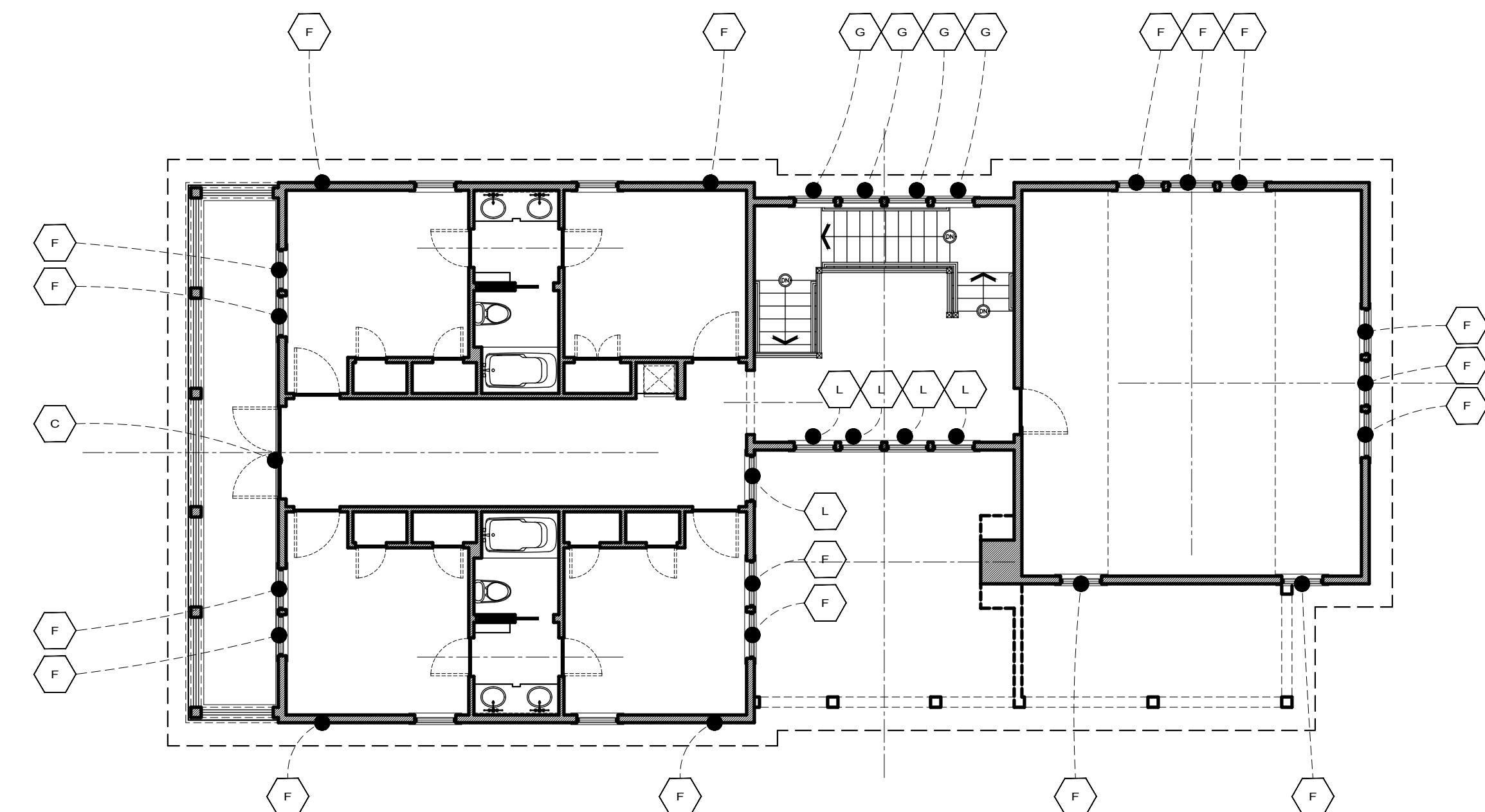
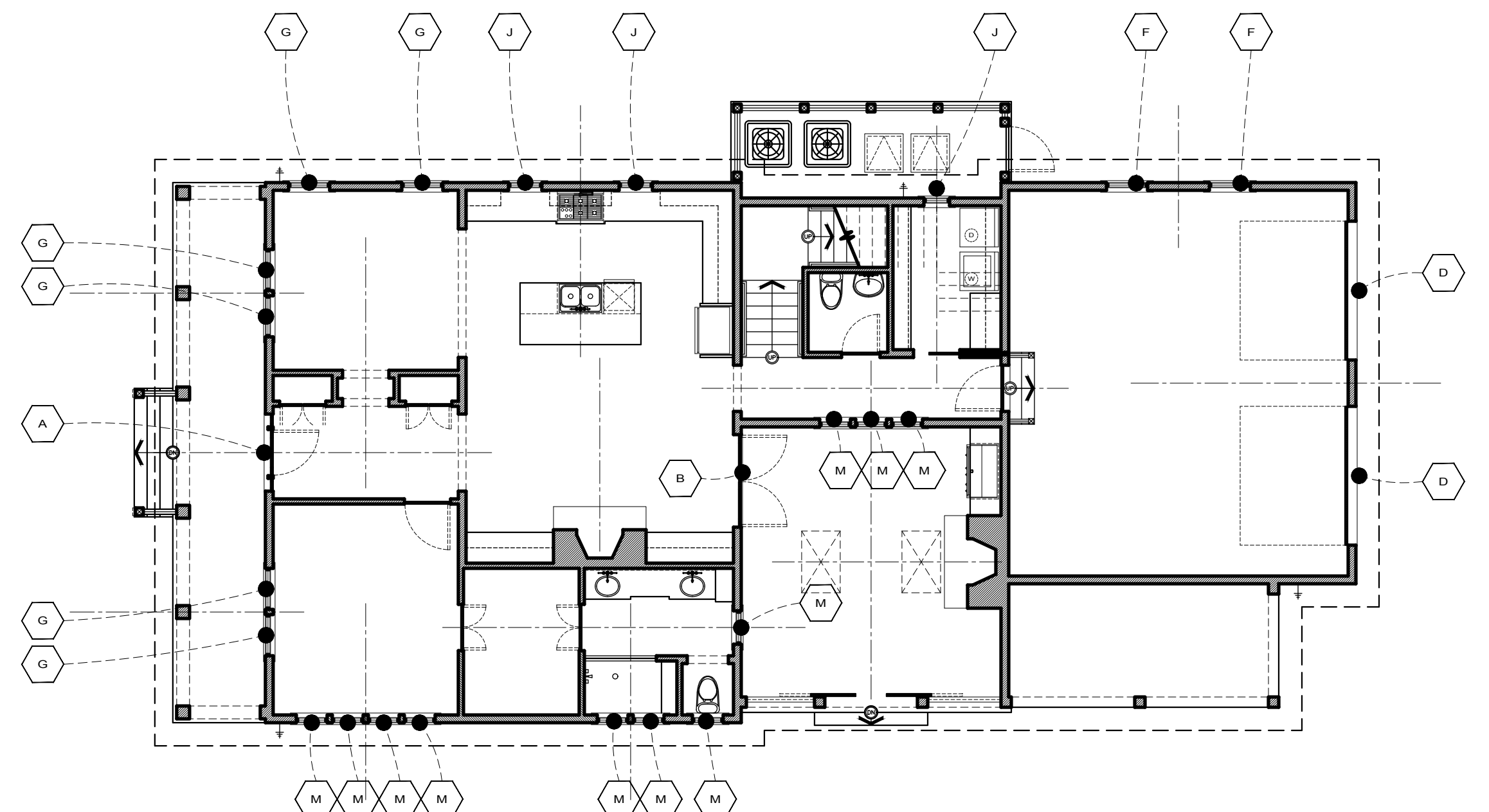
**WALL DETAIL - WINDOW AND DOOR TRIM**  
SCALE: 1/4" = 1'-0"  
A - 102 - 5**WINDOW AND DOOR TRIM**  
SCALE: 1/4" = 1'-0"  
A - 102 - 4

HEAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY - VERIFY WITH EXTERIOR ELEVATIONS



VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**WINDOW AND DOOR NOTES**  
SCALE: 1/4" = 1'-0"  
A - 102 - 3**SECOND FLOOR - WINDOW AND DOOR NOTES**  
SCALE: 1/8" = 1'-0"  
A - 102 - 2**FIRST FLOOR - WINDOW AND DOOR NOTES**  
SCALE: 1/8" = 1'-0"  
A - 102 - 1**DRAWING NOTES**

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"  
**ICC 600-2018**  
**I.R.C. - 2018**  
**ZONE C**  
**N/A Ft. NGVD29****EXTERIOR WALLS**

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**INTERIOR WALLS**

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**FRAMING**

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

**STRUCTURAL HARDWARE**

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

**TREATED WOOD FASTENERS**

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

**FOOTINGS**

3000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS &amp; #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU WALLS**

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU PIERS**

12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**BRICK VENEER**

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE LINTELS**

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE SLABS**

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CEILING HEIGHTS**

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

**FIRST FLOOR CASED OPENINGS**

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

**WINDOW - HEAD HEIGHTS**

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

**INTERIOR DOORS - HEAD HEIGHTS**

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

**HVAC**

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

**FRAMING PLAN**

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

**SOIL CONDITIONS**

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

**GEO TECHNICAL**

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

**EXTERIOR SITE WORK**

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

**BRICK - STONE**

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION**  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION  
NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION**INTERIOR FINISHES**

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

**TABBY HOUSE**

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON22 - 018  
12.09.2024

REV

**TABBY HOUSE**

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

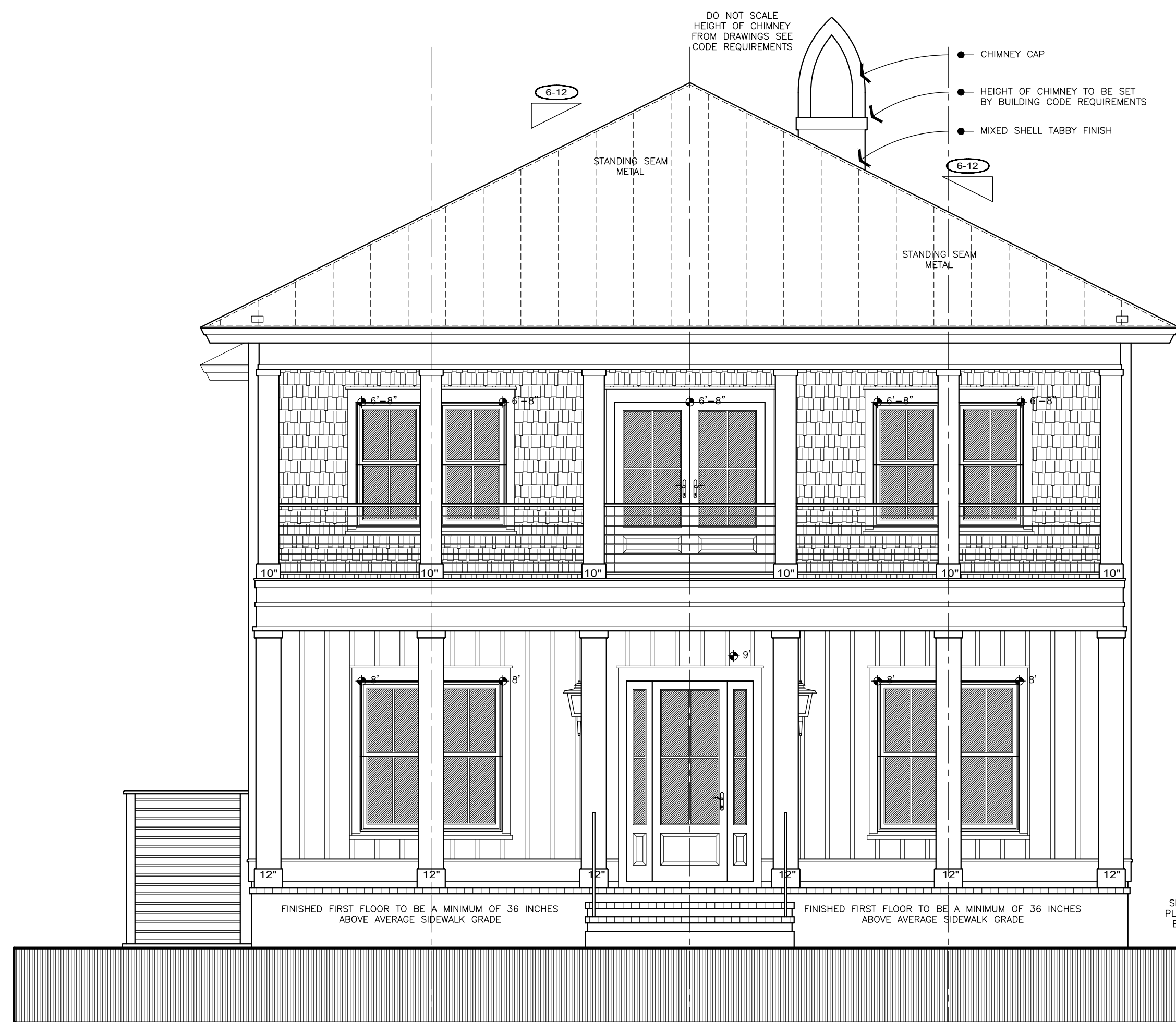
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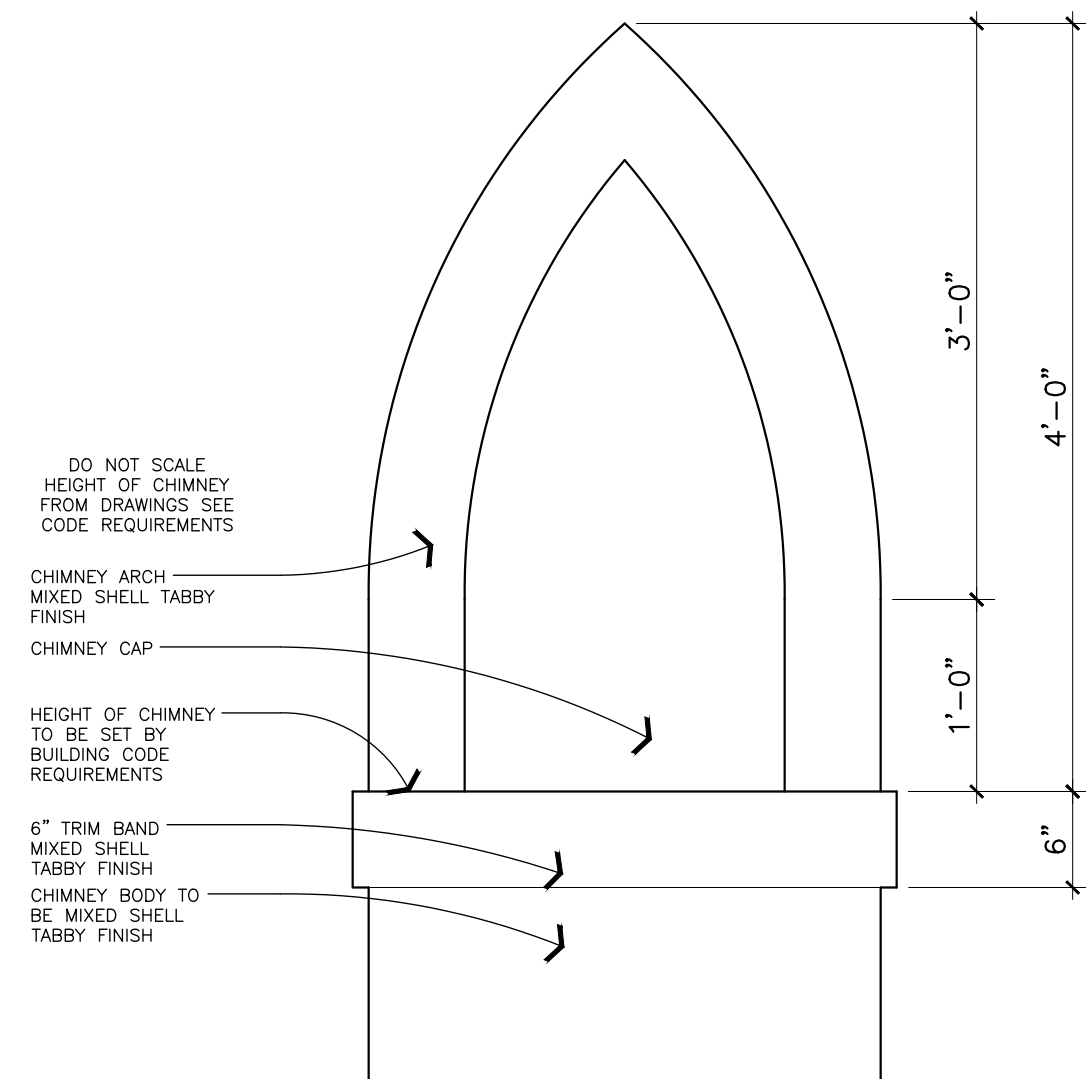
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DETAIL - CHIMNEY  
SCALE: 1" = 1'-0"  
A - 200 - 3

SEE SITE DRAINAGE  
PLAN FOR ALL FINAL  
ELEVATION POINTS  
AND GRADES



#### RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

#### GARAGE

BONUS FLOOR CEILING HEIGHT  
12'-1" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

BONUS FLOOR

GARAGE CEILING HEIGHT  
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

#### MAIN HOUSE

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 30" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

#### DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-1"

AND SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

#### ROOF PITCH

ALL PRIMARY ROOF PITCHES ARE:

6-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HPS ARE:

4-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

#### WINDOW PROTECTION

SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

#### WINDOW MUTTONS & MULLIONS

ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

#### WINDOW SIZES

DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

#### SITE GRADING

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

#### H.V.A.C. - SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

#### SHUTTERS

DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

#### EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

#### EXTERIOR LOUVERS

ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 324.2.2

#### ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 31610 CLASS F PER IRC SECTION 905.2.4.1

WINDOWS AND DOORS  
VERIFY ALL SPECIFICATIONS  
AND SIZES PRIOR TO  
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH  
6 - 12  
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

STONE BRICK FINISH IS SHOWN  
FOR LOCATION ONLY VERIFY  
WITH SPECIFICATION  
FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

VERIFY ALL FINISHED  
ELEVATION HEIGHTS  
WITH FLOOR PLANS  
AND ELEVATION PAGES

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES  
SEE THE INTERIOR DESIGN PACKAGE  
AND MATERIAL SELECTIONS FOR ALL INTERIOR  
TRIM AND DETAILS

#### EXTERIOR ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

A - 200 - 2

APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

#### RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

#### MAIN HOUSE

SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN 24" STEP

FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

SEE SITE DRAINAGE  
PLAN FOR ALL FINAL  
ELEVATION POINTS  
AND GRADES

FINISHED FIRST FLOOR TO BE A MINIMUM OF 36 INCHES  
ABOVE AVERAGE SIDEWALK GRADE

DO NOT SCALE  
HEIGHT OF CHIMNEY  
FROM DRAWINGS SEE  
CODE REQUIREMENTS

CHIMNEY CAP  
HEIGHT OF CHIMNEY TO BE SET  
BY BUILDING CODE REQUIREMENTS  
MIXED SHELL TABBY FINISH

MIXED SHELL TABBY FINISH

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#### EXTERIOR ELEVATION - RIGHT

SCALE: 1/4" = 1'-0"

A - 200 - 1

0 1' 4' 8' 16'

#### TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018

12.09.2024

REV

06 - 14

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#### GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

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#### STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

#### DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

V35 = 140 MPH

EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

#### TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

LOT# 18

BLUFFTON - SOUTH CAROLINA

TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

24 x 36

A.R.B. REVIEW

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DRAWING NOTES  
ROOF PLAN - DETAILS

**HIP OVERHANGS**  
ALL ROOF OVERHANGS AT HIPS ARE TO BE 1'-6" UNLESS OTHERWISE NOTED

**GABLE OVERHANGS**  
ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED

**ROOF PITCH**  
ALL GABLE END MODIFIED HIPS TO BE 4-12 PITCH UNLESS OTHERWISE NOTED

**STRAPPING**  
ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED

**RAFTERS**  
SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 135 MPH  
EXPOSURE CATEGORY "B"

**SHEATHING**  
PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES

**PRELIMINARY WATER PROOFING**  
ALL VALLEYS CRICKETS CHIMNEY TRANSITIONS FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRADE ICE AND WATER SHIELD AND OR EQUAL VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS

**STRUCTURAL HARDWARE**  
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

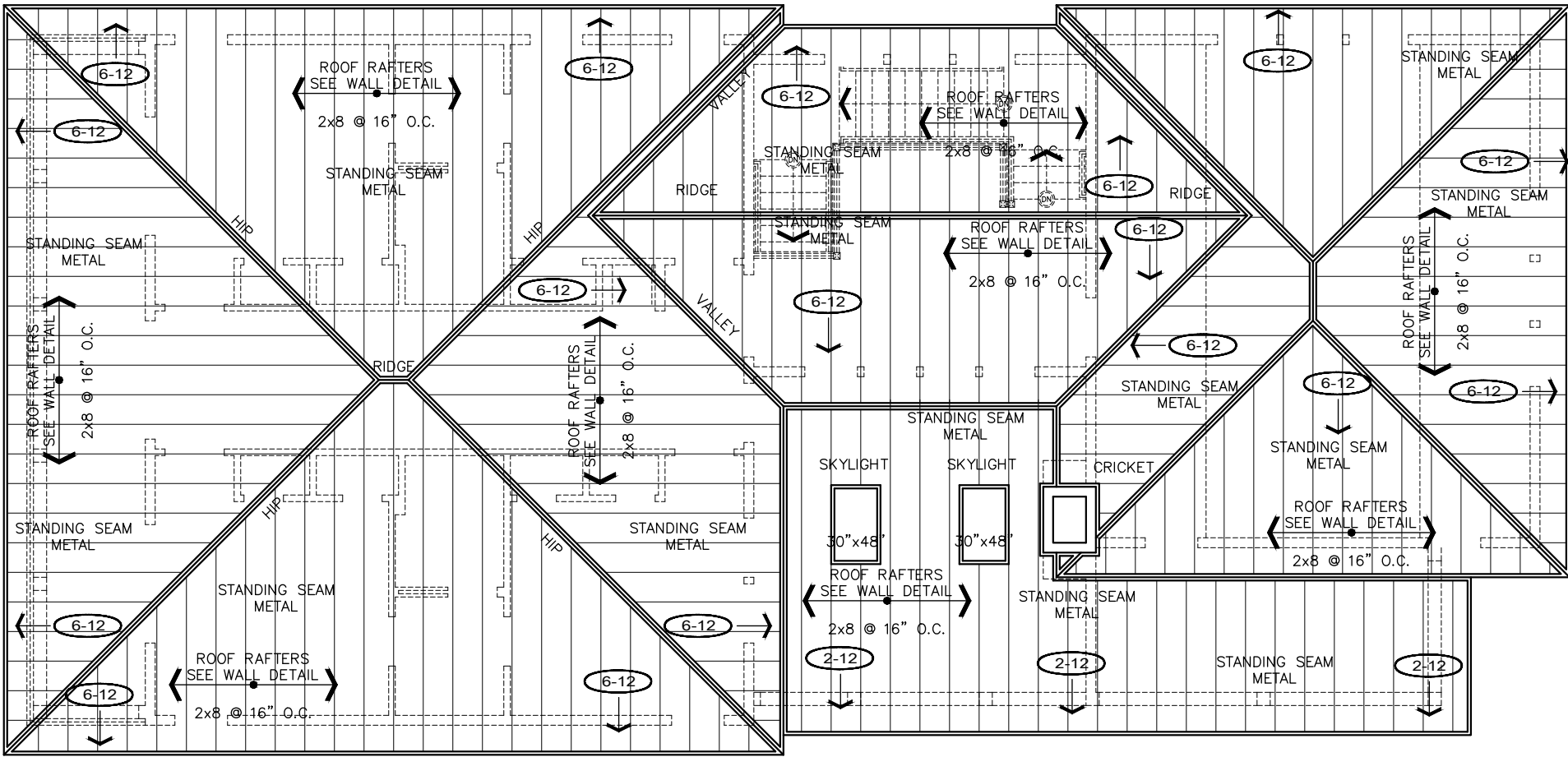
**TREATED WOOD FASTENERS**  
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-35) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS (ISOLATE UNLIKE MATERIALS IF NECESSARY)

ROOF PITCH  
6 - 12  
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES  
ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

ROOF PLAN  
SCALE: 1/8" = 1'-0"  
A - 300 - 2

ATTACHMENT 4



DRAWING NOTES  
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

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FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

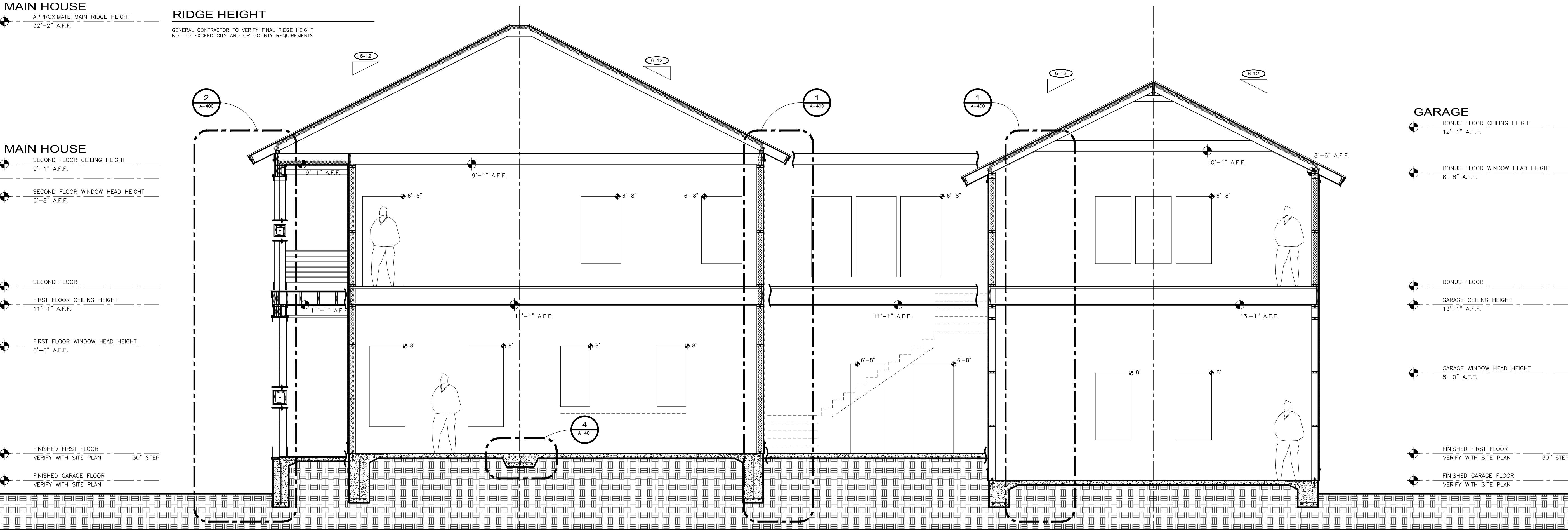
MAIN HOUSE  
APPROXIMATE MAIN RIDGE HEIGHT  
32'-2" A.F.F.

RIDGE HEIGHT  
GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT  
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE  
SECOND FLOOR CEILING HEIGHT  
9'-1" A.F.F.  
SECOND FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

SECOND FLOOR  
FIRST FLOOR CEILING HEIGHT  
11'-1" A.F.F.  
FIRST FLOOR WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN  
30" STEP  
FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN



BUILDING SECTION - MAIN HOUSE  
SCALE: 1/4" = 1'-0"  
A - 300 - 3

BUILDING SECTION - GARAGE  
SCALE: 1/4" = 1'-0"  
A - 300 - 1

GARAGE  
BONUS FLOOR CEILING HEIGHT  
12'-1" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT  
6'-8" A.F.F.

BONUS FLOOR  
GARAGE CEILING HEIGHT  
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT  
8'-0" A.F.F.

FINISHED FIRST FLOOR  
VERIFY WITH SITE PLAN  
30" STEP  
FINISHED GARAGE FLOOR  
VERIFY WITH SITE PLAN

TABBY HOUSE  
SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024  
REV

TABBY HOUSE  
SINGLE FAMILY RESIDENCE - NEW  
34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



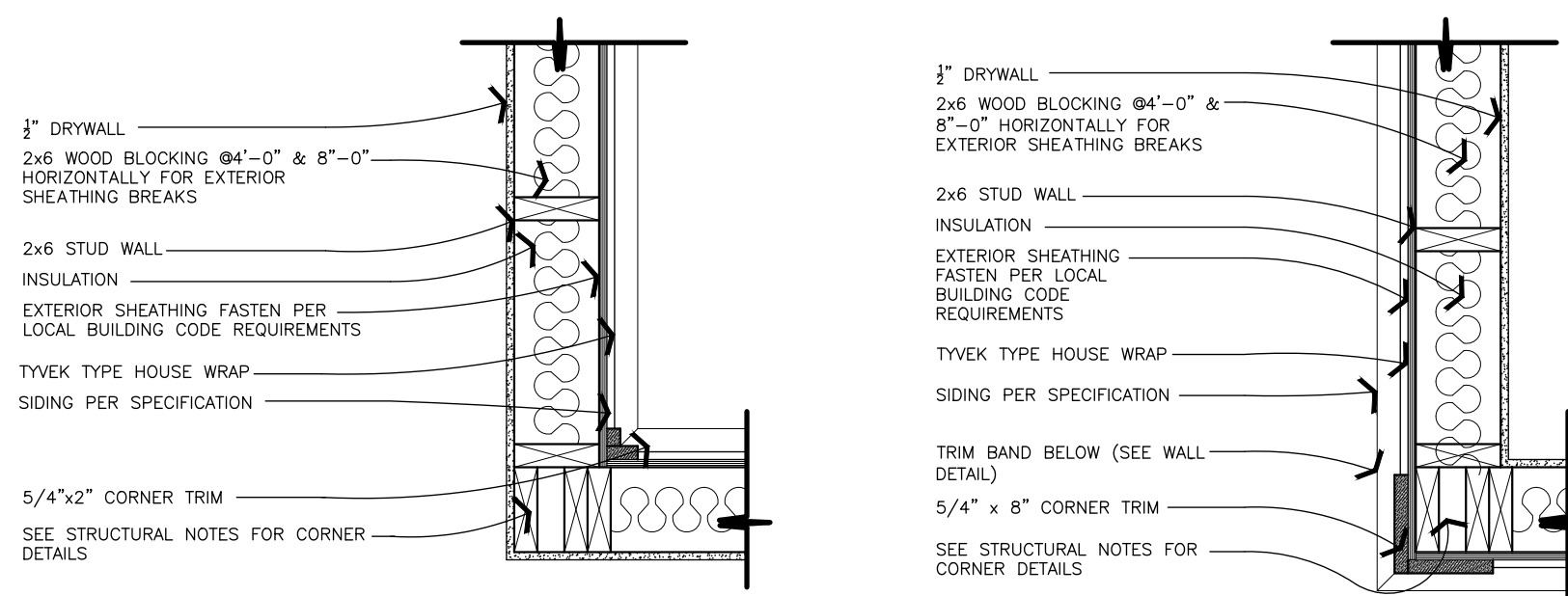
BUILDING SECTIONS - ROOF PLAN  
A.R.B. REVIEW

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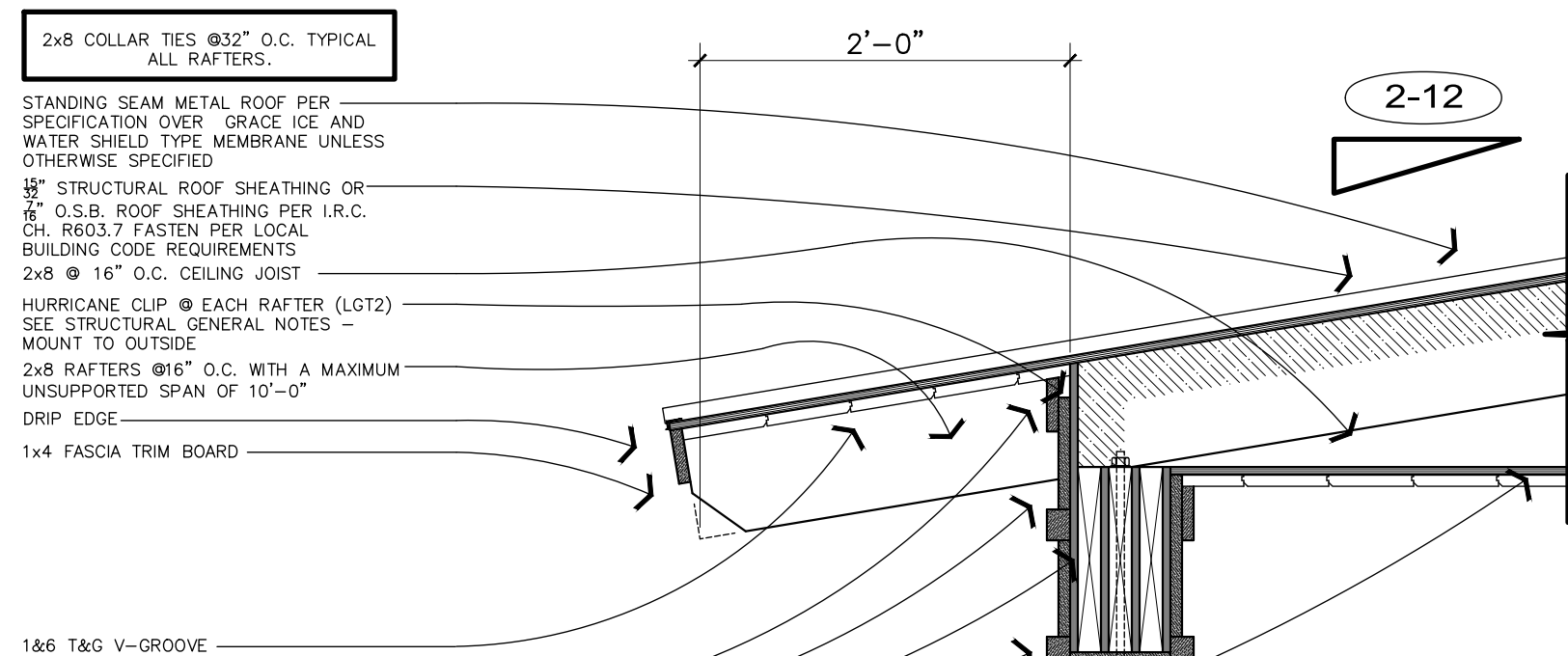
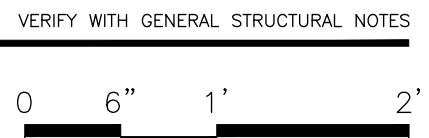
A - 300  
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SINGLE USE ONLY  
Page 27





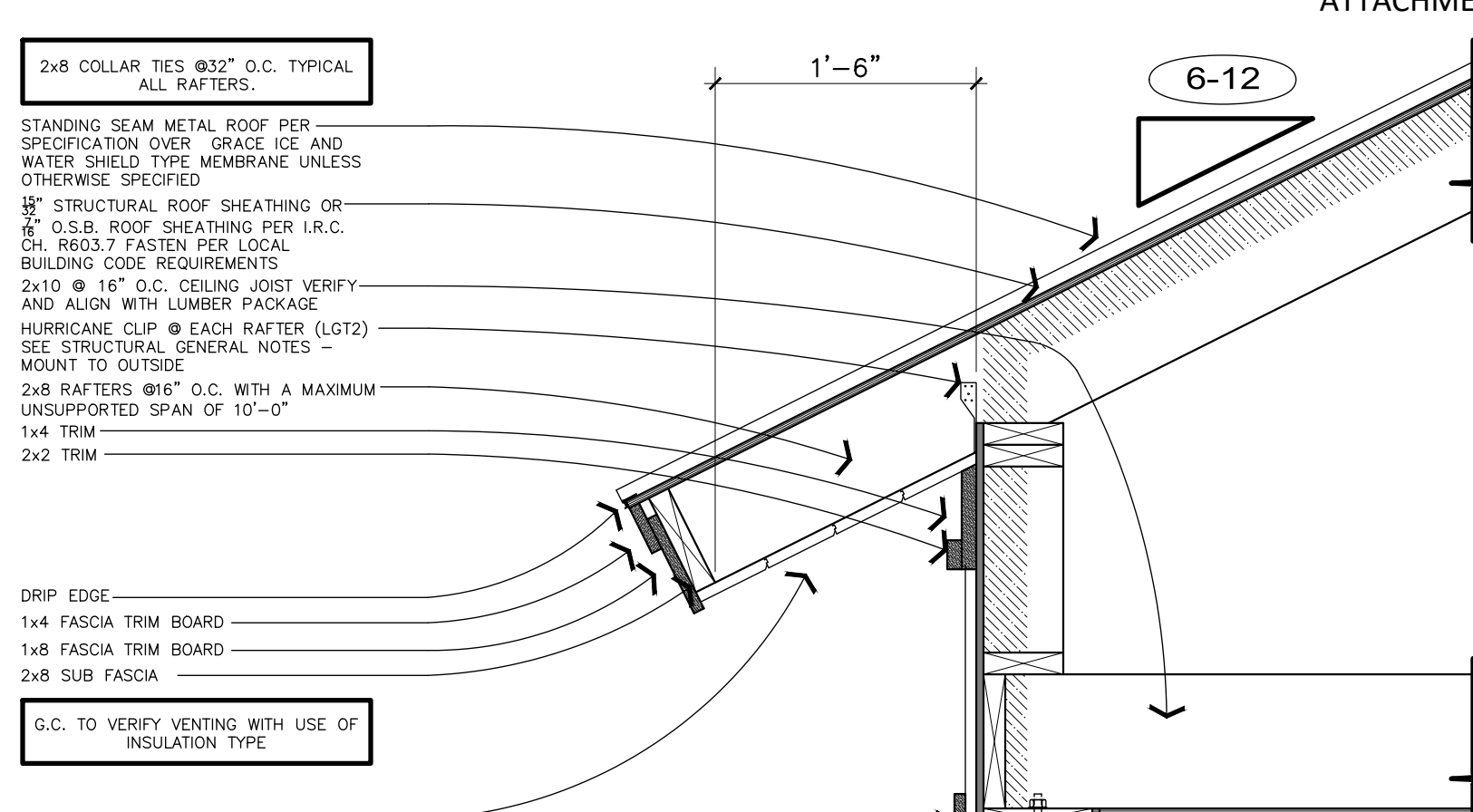
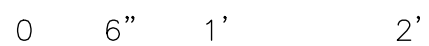
### WALL DETAIL - TYPICAL CORNER

SCALE: 1" = 1'-0"  
A - 400 - 4



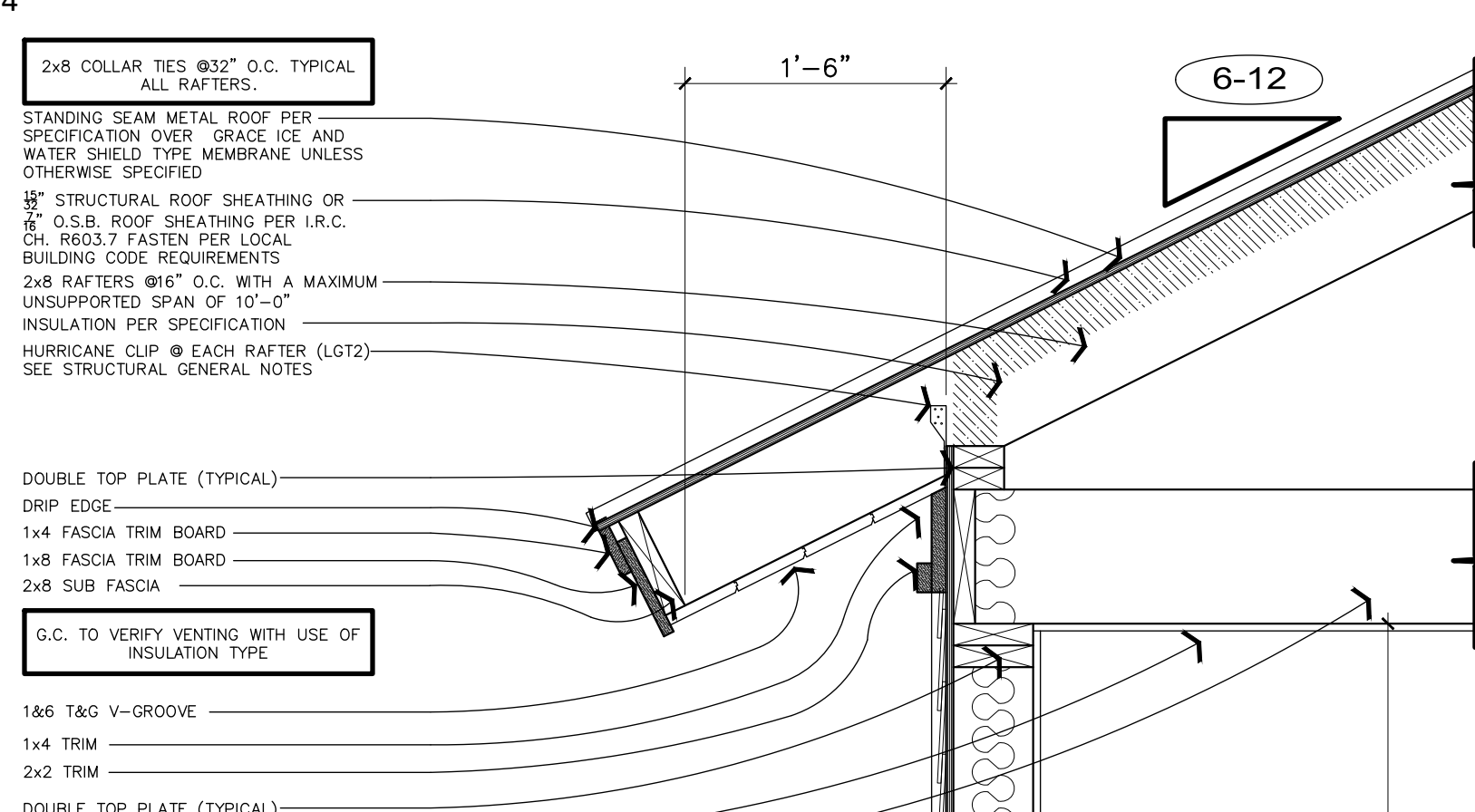
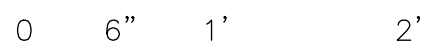
### WALL DETAIL - BACK SCREENED PORCH

SCALE: 1" = 1'-0"  
A - 400 - 3



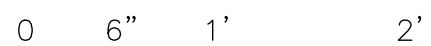
### WALL DETAIL - FRONT COVERED PORCH

SCALE: 1" = 1'-0"  
A - 400 - 2



### WALL DETAIL - TYPICAL

SCALE: 1" = 1'-0"  
A - 400 - 1



### DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"  
FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

**EXTERIOR WALLS**  
ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**INTERIOR WALLS**  
ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

**FRAMING**  
FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

**STRUCTURAL HARDWARE**  
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE. USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.

**TREATED WOOD FASTENERS**  
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

**FOOTINGS**  
3000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @ 48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU WALLS**  
8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CMU PIERS**  
12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**BRICK VENER**  
BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE LINTELS**  
6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CONCRETE SLABS**  
4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**CEILING HEIGHTS**  
ALL FIRST FLOOR CEILING HEIGHTS ARE:  
SECOND FLOOR CEILING HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

**FIRST FLOOR CASED OPENINGS**  
ALL FIRST FLOOR CASED OPENINGS ARE:  
VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

**WINDOW - HEAD HEIGHTS**  
ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:  
SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

**INTERIOR DOORS - HEAD HEIGHTS**  
ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:  
SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

### HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

### FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

### SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.  
IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

### GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

### EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

### BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS. SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**WINDOWS AND DOORS**  
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**INTERIOR FINISHES**  
SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**INTERIOR FINISHES**  
SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**TABBY HOUSE**  
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024  
REV

### GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

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### STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY  
MINIMUM F.F.F. PER SURVEY

ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

### TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



WALL DETAILS

24 x 36

### A.R.B. REVIEW

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**TABBY HOUSE**  
SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024  
REV

A - 400

09 - 14 SINGLE USE ONLY

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## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

## GENERAL PROJECT NOTES

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## STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

## DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

EXPOSURE CATEGORY "B"

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

## EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED.

## INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED.

## FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION.

## STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.).

## TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY.

## FOOTINGS

3000 P.S.I. TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @ 48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## CMU PIERS

12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITES TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS.

## CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-0"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-0"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2. ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5.

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY.

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE.

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS.

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS. SEE SPECIFICATION PRIOR TO ANY INSTALLATION.

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

WINDOWS AND DOORS

VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS.

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

22 - 018  
12.09.2024

REV

ALL RIGHTS RESERVED

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WALL DETAIL - LIGHT

SCALE: 1-1/2" = 1'-0"

A - 401 - 7

GARAGE

WALL DETAIL - SERVICE YARD

SCALE: 1" = 1'-0"

A - 401 - 6

WALL DETAIL - SCREEN

SCALE: 1" = 1'-0"

A - 401 - 5

WALL DETAIL - INTERIOR SCOOP FOOTING

SCALE: 1" = 1'-0"

A - 401 - 4

WALL DETAIL - HAND RAILS

SCALE: 1" = 1'-0"

A - 401 - 3

WALL DETAIL - LOW GARAGE

SCALE: 1" = 1'-0"

A - 401 - 2

WALL DETAIL - GARAGE

SCALE: 1" = 1'-0"

A - 401 - 1



SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

ATTACHMENT 4

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION  
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V35 = 140 MPH  
EXPOSURE CATEGORY "B"

ICC 600-2018  
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR C-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

6" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURER'S A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

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VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

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SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE 22-018

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

12.09.2024

REV



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

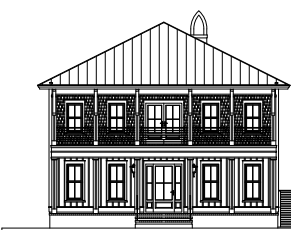
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SINGLE FAMILY RESIDENCE - NEW

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BLUFFTON - SOUTH CAROLINA  
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STRUCTURAL ENGINEER SEAL



FOUNDATION PLAN

24 x 36

A.R.B. REVIEW

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S - 100

11 - 14 SINGLE USE ONLY

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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

S - 100 - 1

0 1' 4' 8' 16'





DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.  
STRUCTURAL INFORMATION  
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DESIGN LOAD BASED ON WIND SPEED  
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ICC 600-2018  
I.R.C. - 2018  
ZONE C  
N/A Ft. NGVD29

OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

ELECTRICAL INDEX

ALL FIXTURE LOCATIONS SUBJECT TO WALK - THROUGH WITH THE OWNER AFTER FRAMING.  
RESERVE TWO 15 AMP CIRCUITS FOR EXTERIOR ILLUMINATION PURPOSES.  
CONFIRM WITH OWNER ANY REQUIREMENTS FOR DEDICATED CIRCUITS AND CONDUITS FOR FIBER OPTIC, AUDIO VISUAL AND SECURITY OR OTHER SPECIALTY WIRING.

- DUPLEX RECEPTACLE 12" A. F. F.
- DUPLEX FLOOR RECEPTACLE
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- MOTION FLOOD LIGHTS
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- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE  
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES  
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

GENERAL PROJECT NOTES

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS  
DESIGN LOAD BASED ON WIND SPEED  
V33 = 140 MPH  
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ICC 600-2018  
I.R.C. - 2018  
ZONE C  
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FLOOD ZONE PER SURVEY

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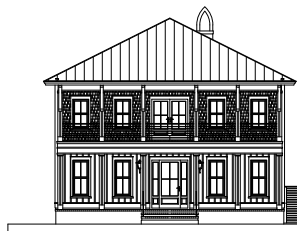
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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
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BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FIRST FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

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22 - 018  
12.09.2024

REV

E - 100

13 - 14 SINGLE USE ONLY

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FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

E - 100 - 1

0 1' 4' 8' 16'



DRAWING NOTES

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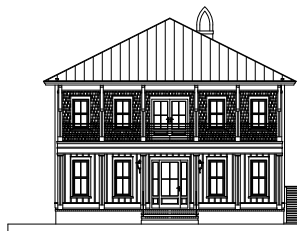
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
LOT# 18  
BLUFFTON - SOUTH CAROLINA  
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

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Tree Removal Application Narrative - 34 Tabby Shell Rd

We propose to build a two-story Center Hall style, double front porch residence with an attached two car garage + golf cart storage in the Tabby Roads community. The lot is approximately .11 acres and is wooded.

We have included with this application our drainage & grading plan and future landscape plan. The trees that we propose to remove are x'd in black. The trees (5) that we intend to keep are circled in red. The remaining trees within the property boundaries will need to be removed. The size and orientation of the lot limits our available site plan options. In order to construct a main house, garage, and driveway we must remove approximately 30 trees (20 Pines, 6 Gumtrees, 2 LOK & 1 WOK). Of these, none are categorized as mature, historic trees and all are 24 inches or less in diameter.

With goals to minimize disturbance to the vegetative community and to protect the Town of Bluffton's tree canopy, we have coordinated with our landscape designer to satisfy the 75% canopy coverage by planting as many trees as needed.





Muskogee Crepe Myrtle



Live Oak



Foxtail Fern



Bottlebrush

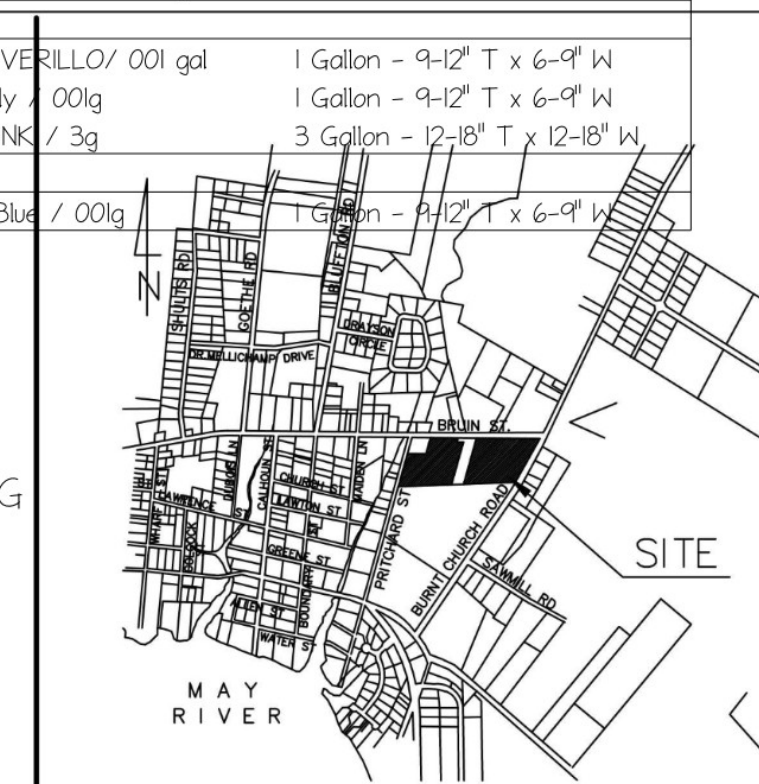


Pink Sasanqua Camellia

- 14 LOK Removed - Need 2 for Mitigation  
 8 LOK Removed - Need 1 for Mitigation  
 10 LOK Removed - Need 1 for Mitigation  
 (4 Total Needed)  
 (2) 4" Cal. Live Oak 65 Gallon Provided (4" cal. counts for 2)  
 (4 Total Provided)

Additional Understory Trees Provided:  
 (3) 30 Gal 10' Tall Muskogee' Crepe Myrtle Trees

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
3	Lagerstroemia indica	Crepe Myrtle, MUSKOGEE/ 030g	30 Gallon - 8-10' T x 3-4' W
2	Quercus virginiana	Oak, Live / 065 gal	65 Gallon - 15-15' T x 5-6' W
<b>Shrubs</b>			
7	Asparagus oethiopus	Fern, FOXTAIL / 003g	3 Gallon - 12-18" T x 12-18" W
6	Buxus microphylla var. japonica	Boxwood, JAPANESE / 007g	7 Gallon - 24-30" T x 18-24" W
10	Callistemon citrinus	Bottlebrush, Red Cluster / 007g	7 Gallon - 30-40" T x 20-30" W
4	Camellia sasanqua	Camellia, SASANQUA Pink / 007g	7 Gallon - 30-40" T x 20-30" W
12	Illicium parviflorum	Anise parviflorum (YELLOW) / 007g	7 Gallon - 24-36" T x 18-24" W
10	Loropetalum chinense 'Cerise Charm'	Loropetalum, CERISE CHARM / 007g	7 Gallon - 20-30" T x 18-24" W
8	Ligustrum sinense 'Sunshine'	Ligustrum, Sunshine / 007 gal	7 Gallon - 24-36" T x 20-30" W
16	Podocarpus macrophyllus	Podocarpus / 007g	7 Gallon - 30-40" T x 20-30" W
16	Viburnum odoratissimum	Viburnum, Sweet / 007g	7 Gallon - 24-36" T x 20-30" W
9	Viburnum obovatum 'Mrs. Schiller's Delight'	Viburnum, Mrs Schillers / 007g	7 Gallon - 24-30" T x 18-24" W
<b>Ornamental Grasses</b>			
34	Carex oshimensis	Grass, Carex EVERILLO/ 001 gal	1 Gallon - 9-12" T x 6-9" W
16	Dianella caerulea	Dianella, Flax Lily / 001g	1 Gallon - 9-12" T x 6-9" W
8	Muhlenbergia capillaris	Grass, Muhly PINK / 3g	3 Gallon - 12-18" T x 12-18" W
<b>Groundcovers</b>			
46	Liriope muscari	Liriope, Super Blue / 001g	1 Gallon - 9-12" T x 6-9" W



LOCATION MAP NOT TO SCALE

## DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

**STRUCTURAL INFORMATION**  
 SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS**  
 DESIGN LOAD BASED ON WIND SPEED  
 VWS = 138 MPH  
 EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY  
 MINIMUM F.F.F. PER SURVEY

## NOTES

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ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

## GENERAL PROJECT NOTES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS, SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE TO THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THE PROJECT.

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORM.

## STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

## DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED  
 VWS = 138 MPH  
 EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

CONSTRUCTION.

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

## DRIVEWAY

DRIVEWAY AND SIDEWALK TO BE BROOM FINISHED CONCRETE WITH STANDARD EXPANSION JOINTS.

## REQUIRED FILL DIRT

THIS SITE WILL REQUIRE FILL DIRT UNDER MAIN STRUCTURE TO BRING EXISTING GRADE UP TO ALLOW FOR DRAINAGE.

## FINAL ELEVATIONS

REFER TO CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND GROUND ELEVATION. VERIFY WITH MASTER DRAWING SET PRIOR TO CONSTRUCTION.

## SITE DRAINAGE

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT.  
 VERIFY TREE REMOVAL WITH DRAINAGE PLAN.

## EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS.

## SOIL BEARING

SOIL BEARING PRESSURE ASSUMED AT 2,500 P.S.F. OWNER OR CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE DESIGN TEAM AND STRUCTURAL ENGINEER HARMLESS.

## SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS & SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

## GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED SOUTH CAROLINA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY. ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE.

## FINISH ELEVATIONS

NOTE THAT FINISHED ELEVATIONS DO NOT STATE FINISHED HEIGHT OF PORCHES, PATIOS AND DRIVEWAYS.

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES, PATIOS AND DRIVEWAYS.

## TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD  
 LOT# 18  
 BLUFFTON - SOUTH CAROLINA  
 TOWN OF BLUFFTON



## TABBY HOUSE

34 Tabby Shell Rd  
 Bluffton SC



SITE PLAN

## A.R.B. REVIEW

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## TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW  
 34 TABBY SHELL ROAD  
 LOT# 18  
 BLUFFTON - SOUTH CAROLINA  
 TOWN OF BLUFFTON

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ATTACHMENT 7  
PLAN REVIEW COMMENTS FOR COFA-03-24-019047

Section VI. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
TABBY ROADS PHASE 1

**Plan Type:** Historic District **Apply Date:** 03/15/2024  
**Plan Status:** Active **Plan Address:** 34 Tabby Shell Rd Road  
BLUFFTON, SC 29910  
**Case Manager:** Katie Peterson **Plan PIN #:** R610 039 000 1198 0000  
**Plan Description:** A request by Clear Cut Construction, on behalf of the owner, William Glover, for the review of a Certificate of Appropriateness-HD to allow the construction of a new 2-story Single Family Residential Structure of approximately 2,325 SF and Carriage House structure of approximately 1,174 SF, located at 34 Tabby Shell Road, Lot 18 in the Tabby Roads Development, in the Old Town Bluffton Historic District, within the Neighborhood General - HD zoning district.  
**Status:** The Application is being reviewed and has been placed on the April 15, 2024 HPRC Agenda.

Staff Review (HD)

**Submission #: 1** Received: 03/15/2024 Completed: 04/12/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/08/2024	Matthew Michaels	Approved with Conditions

**Comments:**

1. Water and Sewer services are already installed at property corner. Please reach out to Mandy Anderson (BJWSA's New Service Coordinator) to set up the account and pay fees.

Growth Management Dept Review (HD)	04/12/2024	Katie Peterson	Approved with Conditions
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**Comments:**

1. As there are trees proposed for removal larger than 14" DBH, a Tree Removal Permit required. (UDO 3.22)
- 2 .SF needs to be updated to include all enclosed SF.
3. Doors are permitted to be Wood, Metal or Metal-Clad. Except in the case of a Contributing Structure, the UDO Administrator may approve of the use of Wood Composite material for doors provided the UDO Administrator determines that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building materials. The application proposes the front door to be wood, but all other exterior doors to be vinyl, which is not permitted. Revise door material to a permitted material. Should a wood composite door be proposed, a material sample must be provided of the door material at time of final submittal for consideration. (UDO 5.15.6.I.2.b.)
4. At time of final submittal, HARB Approval must be provided. (Application Manual)
5. Overall building proportions and Individual building features shall have a proportional relationship with one another. For example, features such as porches, chimneys, cornices, windows and doors must be proportional to other features of the building as well as the overall building form. Currently, there are 9 different window sizes proposed, with 8 proportions, along with 4 different lite patterns on the doors, which do not appear to match any of the window lite proportions. Reduce the number of pane variations to provide better a proportional relationship between the elements. (UDO 5.15.5.F.4.)

HPRC Review	04/12/2024	Katie Peterson	Approved with Conditions
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**Comments:**

Comments may be provided at HPRC meeting by reviewers.

Watershed Management Review	03/28/2024	Samantha Crotty	Approved with Conditions
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**Comments:**

Comments may be provided at time of building permit/stormwater permit submittal.

Comments:

No comments

Plan Review Case Notes:

**HABITAT ARCHITECTURAL REVIEW BOARD****TABBY ROADS****BLUFFTON, SC**

July 30, 2024

Mr. William Glover  
Lot 18, 34 Tabby Shell Rd, Bluffton, South Carolina 29910

Dear Mr. Glover,

This letter shall serve as approval with conditions for the planned single family residence build on 34 Tabby Shell Rd. Please note that some of the conditions in this letter might need to be incorporated prior to final HPC submission. Plans within the following files titled are the basis for this approval:

34 Color Board.jpg, Color Plan with Site Plan.pdf , G-0208-01a.pdf , HARB Application - RevA - 34 Tabby Shell.pdf , Lot 18 (34) TR - drainage plan.pdf , Lot 18 (34) TR - Stormwater Calculations.pdf , and Trees to Save - 34 Tabby Shell.png

This approval is based upon the following items of clarification:

- At the base of the front posts, trim must be added that complements the upper trim out of the posts. The committee felt the lack of trim was out of balance to this presentation and “architectural weight” was needed down low.
- Clarification of the “vertical lines” shown on post in Fig 1 is required. From the cross section, all posts appear as simple wrapped rectangular sections with seams near the corners, so it is unclear what the solid vertical lines are representing.



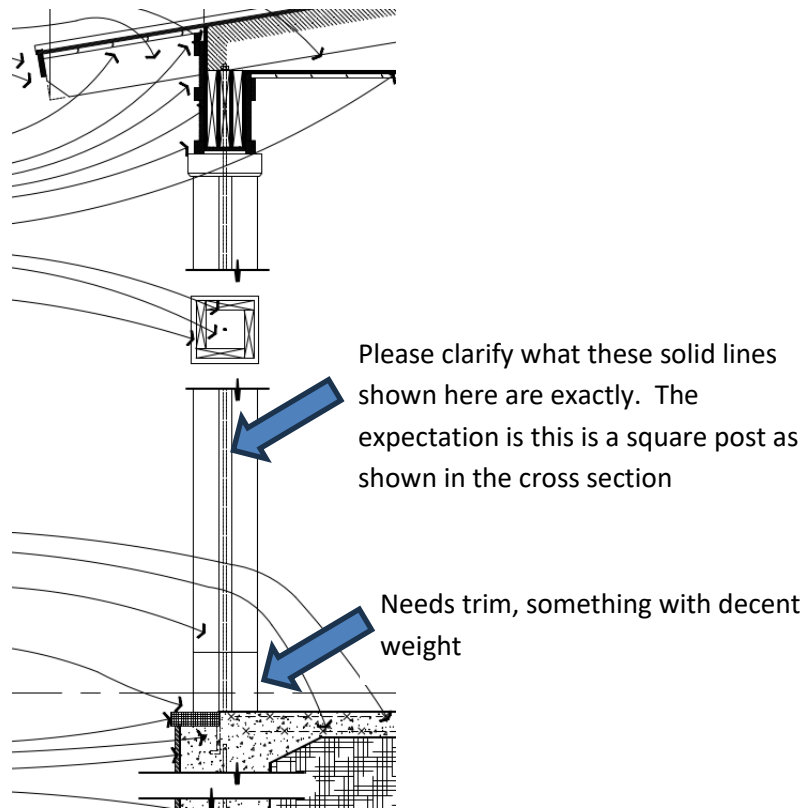


Fig 1. – Post Depiction Clarification

- Pencil Hollies are not deemed appropriate landscaping trees in Tabby Roads and need to be removed or substituted with a different plant species in a revised landscaping plan.
- The landscape plan must be modified to provide a clear path for trash can placement/replacement on trash pickup days. Storage of trash cans such that access and/or egress is needed onto another party's property is not permissible.
- At this time the home color (BM 1465, Nimbus) submitted has not been accepted by the committee. We will need a physical sample (at least 12" x 12") to make a final decision. Be aware the committee is concerned with the amount of grey home color tones on that end of the neighborhood, as such the committee would also like to be presented with 1 or 2 alternate colors schemes for review and consideration
- Service yard fencing gap shall be no greater than 0.5". Per guidelines service yards are intended to be 100% opaque.

HARB is recommending you consider the following items. Please note that these are suggestions and not hard change requirements.

- It is suggested that the bishop cap orientation be rotated 90 degrees to enhance its frontal presentation.

- The committee would like the applicant to consider "false window" trim out or some other similar architectural detail like shown in Fig 2. to break up the large expanse of siding on both side elevations.

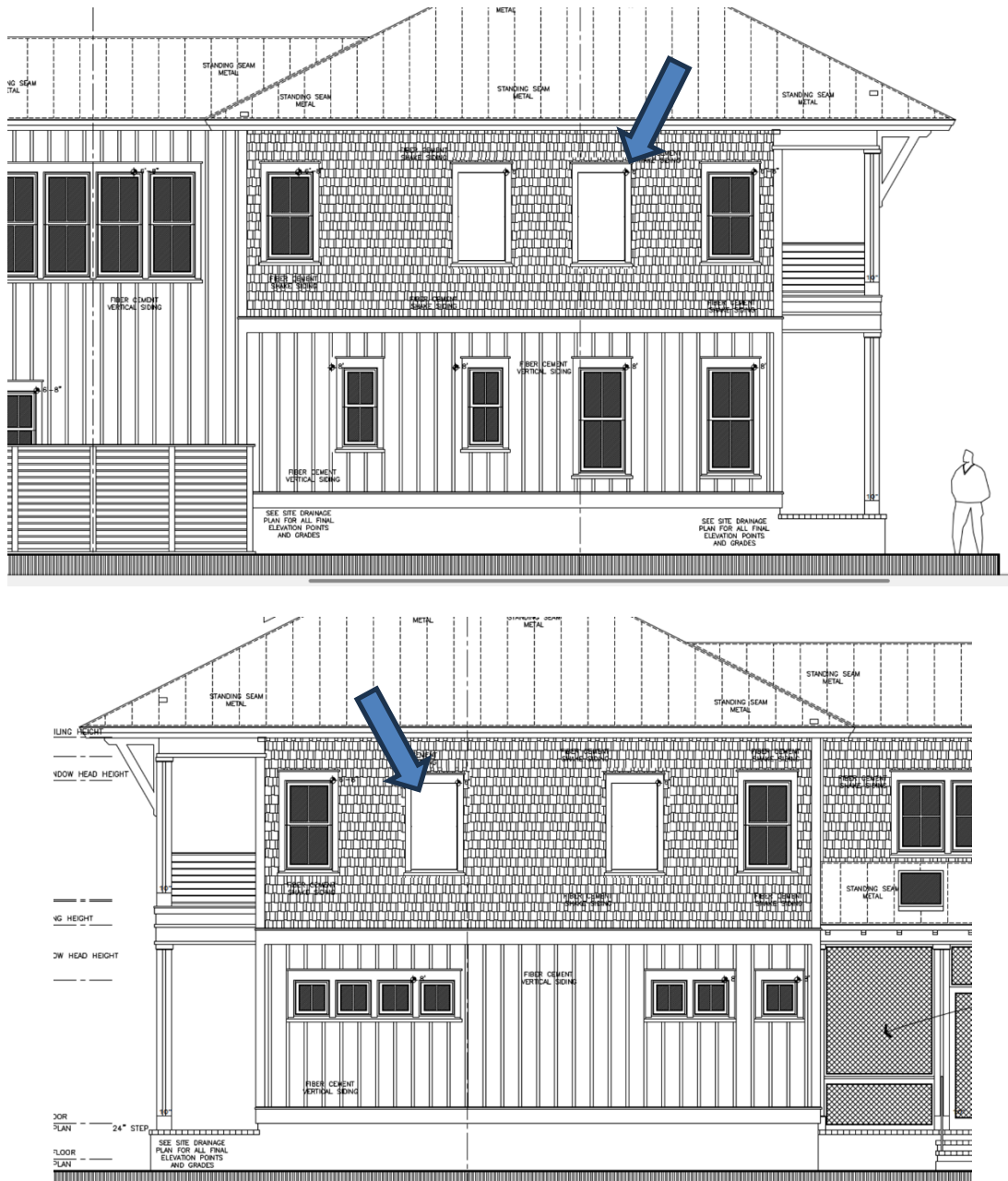
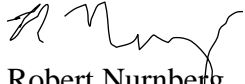


Fig 2. – False Window Suggestion

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Nurnberg', with a stylized flourish at the end.

Robert Nurnberg  
On behalf of Tabby Roads HARB

Cc: Katie Peterson  
Town of Bluffton



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	January 8, 2025
<b>PROJECT:</b>	COFA-08-24-019280 50 Pritchard Street Addition to an Existing Residence
<b>APPLICANT:</b>	Ansley Manuel (Manuel Studio, LLC)
<b>PROPERTY OWNER:</b>	Beth McHugh
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant requests that the Historic Preservation Commission approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a rear addition of approximately 591 SF to an existing 2-story residence of 1,524 SF, a side deck addition, and a new metal front porch roof. The property is in Old Town Bluffton Historic District and zoned Neighborhood General-HD (NG-HD).

**INTRODUCTION:** A 1-story rear addition is proposed to provide a master suite, as well as a sunroom. This addition will require the removal of an existing 2-story porch and exterior stairs. On the second floor, removal of the porch will require a minor second floor expansion to, according to the narrative, “allow egress size windows.” The first-floor side deck will be expanded and an exterior staircase will be rebuilt in a new location. Piers will be concrete masonry units finished with stucco. The area underneath the first floor is an existing carport/storage area that will be increased in size to allow for a storage area underneath the first floor addition. The roofing material on the front façade porch roof is proposed to change from asphalt shingles to standing seam metal. The changes are designed to match the existing residence, which was built in 1998, and will include the use of horizontal cement fiber siding. The structure is reviewed as an Additional Building type.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the September 9, 2024 meeting. HPRC comments are provided as Attachment 6.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton

Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. **Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed addition has been designed to be sympathetic to the architectural character of the neighboring structures and the Old Town Bluffton Historic District.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The addition and other changes to the existing structure proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.

2. **Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

- 1) **Foundation** (UDO Sec. 5.15.6.G.1.a.): The foundation is proposed to be concrete masonry unit (CMU) block with a stucco finish. The UDO requires stucco to be a sand-finished or steel-trowel application only.
- 2) **Roof** (UDO Sec. 5.15.6.J.2.):
  - a) Asphalt shingles located on the existing front porch roof are proposed to be replaced with metal standing seam. The UDO allows the following metals: galvanized, copper, aluminum or zinc-alum.

On the revised Final Plan submission, the type of metal must be identified. (UDO Sec. 5.15.6.J.2.a.)

- b) For the rear addition, the first-floor roof is proposed to be standing seam and the second-floor roof asphalt shingle “to match existing” main roof, which is three-tab asphalt shingles (Sheet A8). Sheet A9 indicates that the second floor addition roof will be standing seam. The Historic Preservation Commission should determine if the standing seam metal roof on the first floor addition, and possibly the second floor addition, are appropriate materials given that the main roof structure uses asphalt shingles.

- 3) **Shutters** (UDO Sec. 5.15.6.M.): Shutters are not proposed for the addition although used in the existing structure. The Historic Preservation Commission should determine if a lack of shutters on the addition is appropriate. If shutters are required, they shall comply with UDO Sec. 5.15.6.M.

3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

*Finding.* Town Staff finds the nature and character of the addition to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing, with revisions to address the items in #2 above, will be sensitive to the neighboring properties.

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.**

*Finding.* If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. **Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete with the exception of the applicable items in #2.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. The stucco application for the foundation must be a sand-finished or steel-trowel application (UDO Sec. 5.15.6.G.1.a.).
2. The standing seam metal roof must be galvanized, copper, aluminum or zinc-alum, and the type of metal must be identified on a revised Final Plan.

Further, Town Staff seeks a determination by the Historic Preservation Commission regarding:

3. Whether the standing seam metal roof on the first floor addition, and possibly the second floor addition, are appropriate materials given that the main roof structure uses asphalt shingles.
4. Whether the lack of shutters on the addition is appropriate given the use of shutters on the existing structure. (Note: If the HPC should require shutters, they shall comply with UDO Sec. 5.15.6.M.)

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

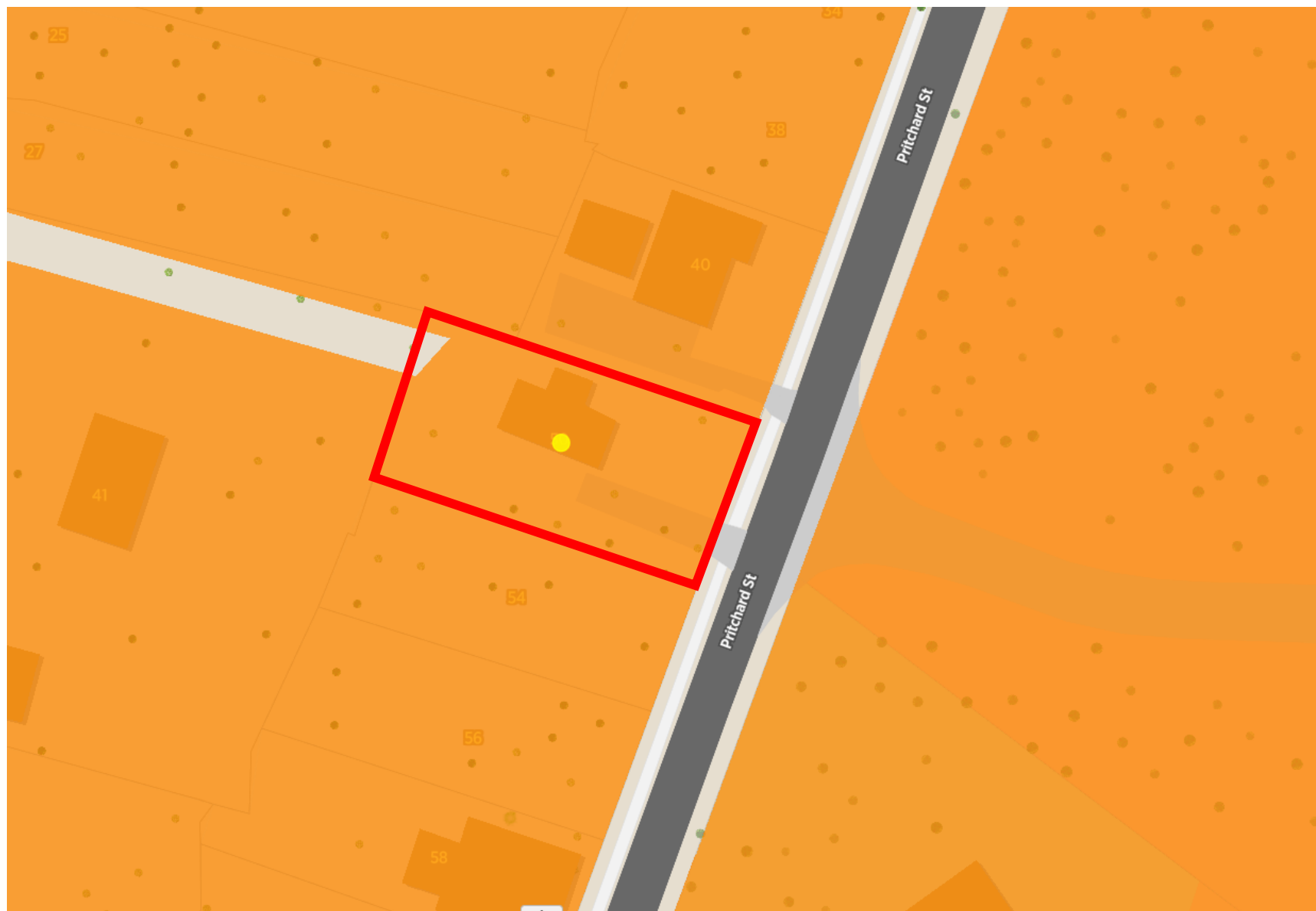
**ATTACHMENTS:**

1. Location and Zoning Map
2. Application and Narrative
3. Photos
4. Drawings
5. Survey and Landscape Plan
6. HPRC Comments

## **LOCATION & ZONING MAP**

### **50 Pritchard Street**

Neighborhood General-Historic District (NG-HD)







**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custodian

Section VII. Item #1.

Bluffton, SC 29910

(843)706-4500

[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: <i>Ansley H. Manuel, Architect</i>	Name: <i>Beth McHugh</i>		
Phone: <i>843.338.8932</i>	Phone: <i>404.454.9930</i>		
Mailing Address: <i>104 Pritchard Street Bluffton, SC 29910</i>	Mailing Address: <i>50 Pritchard Street Bluffton, S.C. 29910</i>		
E-mail: <i>manuel.studio@aol.com</i>	E-mail: <i>bbomc123@yahoo.com</i>		
Town Business License # (if applicable): <i>24-04-2229</i>			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: <i>McHugh Addition</i>	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: <i>50 Pritchard Street</i>	Application for:		
Zoning District: <i>Neighborhood General</i>	<input type="checkbox"/> New Construction		
Acreage: <i>0.268</i>	<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition		
Tax Map Number(s): <i>DIST 610 MAP 39A PARCEL 48A</i>	<input type="checkbox"/> Relocation		
Project Description: <i>Property owner wishes to build a master suite addition off rear of existing house, enlarge side deck and add metal roof to existing porch shed</i>			
<b>Minimum Requirements for Submittal</b>			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Beth McHugh</i>		Date: <i>November 19, 2024</i>	
Applicant Signature: <i>Ansley H. Manuel</i>		Date: <i>19 November 2024</i>	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) PROJECT ANALYSIS**

Section VII. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): <i>Additional Building Type</i>					
Building Setbacks		Front: <i>10'</i>	Rear: <i>25'</i>	Rt. Side: <i>10'</i>	Lt. Side: <i>10'</i>
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure	<i>Main House</i>	<i>1524 heated 334 porches</i>		<i>2115 heated 152 porch</i>	
Ancillary	<i>Shed</i>	<i>60</i>		<i>60</i>	
Ancillary					
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			<i>1256</i>		
Impervious Drive, Walks & Paths			<i>1825</i>		
Open/Covered Patios			<i>1496</i>		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			<i>4577</i>		
<b>B. TOTAL SF OF LOT</b>			<i>11,662</i>		
<b>% COVERAGE OF LOT (A/B = %)</b>			<i>39.2%</i>		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	<i>stucco over CMU walls &amp; piers</i>	Columns	<i>N/A</i>		
Walls	<i>horizontal hardie planks standing</i>	Windows	<i>aluminum clad exterior</i>		
Roof	<i>2 asphalt shingles @ 2nd story porch addition</i>	Doors	<i>aluminum clad exterior</i>		
Chimney	<i>N/A</i>	Shutters	<i>N/A</i>		
Trim	<i>hardie trim</i>	Skirting/Underpinning	<i>P.T. louvers</i>		
Water table	<i>P.T. 2x match existing</i>	Cornice, Soffit, Frieze	<i>2x2, hardie soffit, 1x9/1x10</i>		
Corner board	<i>P.T. 2x4</i>	Gutters	<i>N/A</i>		
Railings	<i>P.T. 2x6</i>	Garage Doors	<i>N/A</i>		
Balusters	<i>P.T. 2x2</i>	Green/Recycled Materials	<i>N/A</i>		
Handrails	<i>P.T. 2x4</i>				





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #1.

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Section VII. Item #1.

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relate to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

*Bob Mathys*

*November 19, 2024*  
Date

Printed Name of Property Owner or Authorized Agent

*Ansley H. Manvel*

Signature of Applicant

*Ansley H. Manvel*

Printed Name of Applicant

*19 November 2024*  
Date

## PROJECT NARRATIVE FOR BETH MCHUGH 50 Pritchard Street

The property owner, Beth McHugh, wishes to have a master suite on the first living floor. The existing house was built in 1998 and all bedrooms are upstairs.

The proposed addition would be located at the rear end of the house. It will be composed of a sunroom, bedroom, bath and walk in closet. Upstairs a slight expansion to the existing rear bedroom is needed to allow egress size windows. The deck off the existing den will be expanded to allow side stairs down to the existing pool deck. Most of the existing house will remain as built except the existing porch shed roof shingles will be replaced with standing seam metal.

The existing house is hard to categorize into a building type as defined by the UDO. Additional Building Type seemed most appropriate. The zone is classified as Neighborhood General. The streetscape has a wide array of different building types and mixed functions. Because of the rear location, the proposed addition will mostly be screened from sidewalk pedestrians and vehicular traffic along Pritchard Street.

We respectfully ask the board to grant final approval for our project.

Ansley Hester Manuel, Architect















PROJECT TITLE -  
ADDITIONS AND RENOVATIONS TO THE BETH MCHUGH RESIDENCE

PHYSICAL ADDRESS -  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

BUILDING DEPARTMENT -  
TOWN OF BLUFFTON

APPLICABLE CODE -  
2021 INTERNATIONAL RESIDENTIAL CODE

OCCUPANCY CLASSIFICATION -  
RESIDENTIAL GROUP R-3

WIND SPEED RANGE -  
130-139 MPH

EXPOSURE - D

SEISMIC ZONE - C

FLOOD ZONE - X AND AE

SOIL TYPE -  
SEABROOK FINE SAND

SOIL LOAD BEARING PRESSURE -  
1500 PSF

CONCRETE COMPRESSIVE STRENGTH -  
TABLE R402.2

LIVE LOADS -  
TABLE R301.5

ROOF LOADS -  
TABLE 301.6

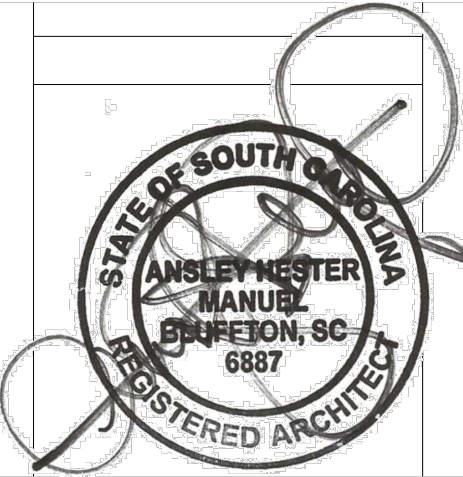
BUILDING HEIGHT AND NUMBER OF STORIES -  
33'-3", 2 1/2 STORY

SQUARE FOOTAGES -  
EXISTING UNHEATED GROUND FLOOR - 471 SQ. FT.  
EXISTING HEATED FIRST FLOOR - 762 SQ.FT.  
EXISTING HEATED SECOND FLOOR - 762 SQ.FT.  
EXISTING TOTAL HEATED - 1524 SQ.FT.

PROPOSED UNHEATED GROUND FLOOR ADDITION - 530 SQ.FT.  
PROPOSED HEATED FIRST FLOOR ADDITION - 530 SQ.FT.  
PROPOSED HEATED SECOND FLOOR ADDITION - 61 SQ. FT.  
PROPOSED TOTAL HEATED ADDITION - 591 SQ.FT.

INDEX

- C-1CODE ANALYSIS, INDEX
- C-2PROPOSED SITE PLAN
- A-1PROPOSED FOUNDATION PLAN
- A-2EXISTING FLOOR PLANS
- A-3PROPOSED GROUND FLR PLAN & FIRST FLOOR FRAMING PLAN
- A-4PROPOSED FIRST FLOOR PLAN & SECOND FLOOR FRAMING
- A-5PROPOSED SECOND FLOOR PLAN
- A-6PROPOSED ROOF PLAN
- A-7EXISTING ELEVATIONS
- A-8PROPOSED ELEVATIONS
- A-9WALL SECTIONS
- A-10SCHEDULES & DETAILS
- A-11DETAILS
- A-12PROPOSED ELECTRICAL GROUND FLOOR PLAN
- A-13PROPOSED ELECTRICAL FIRST FLOOR PLAN



DATE :			
11/20/24			

MANUEL STUDIO, LLC

Ansley Hester Manuel, Architect

104 Pritchard Street, Bluffton, South Carolina 29910

843.338.8932 cellmanuel.studio@aol.com

ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE

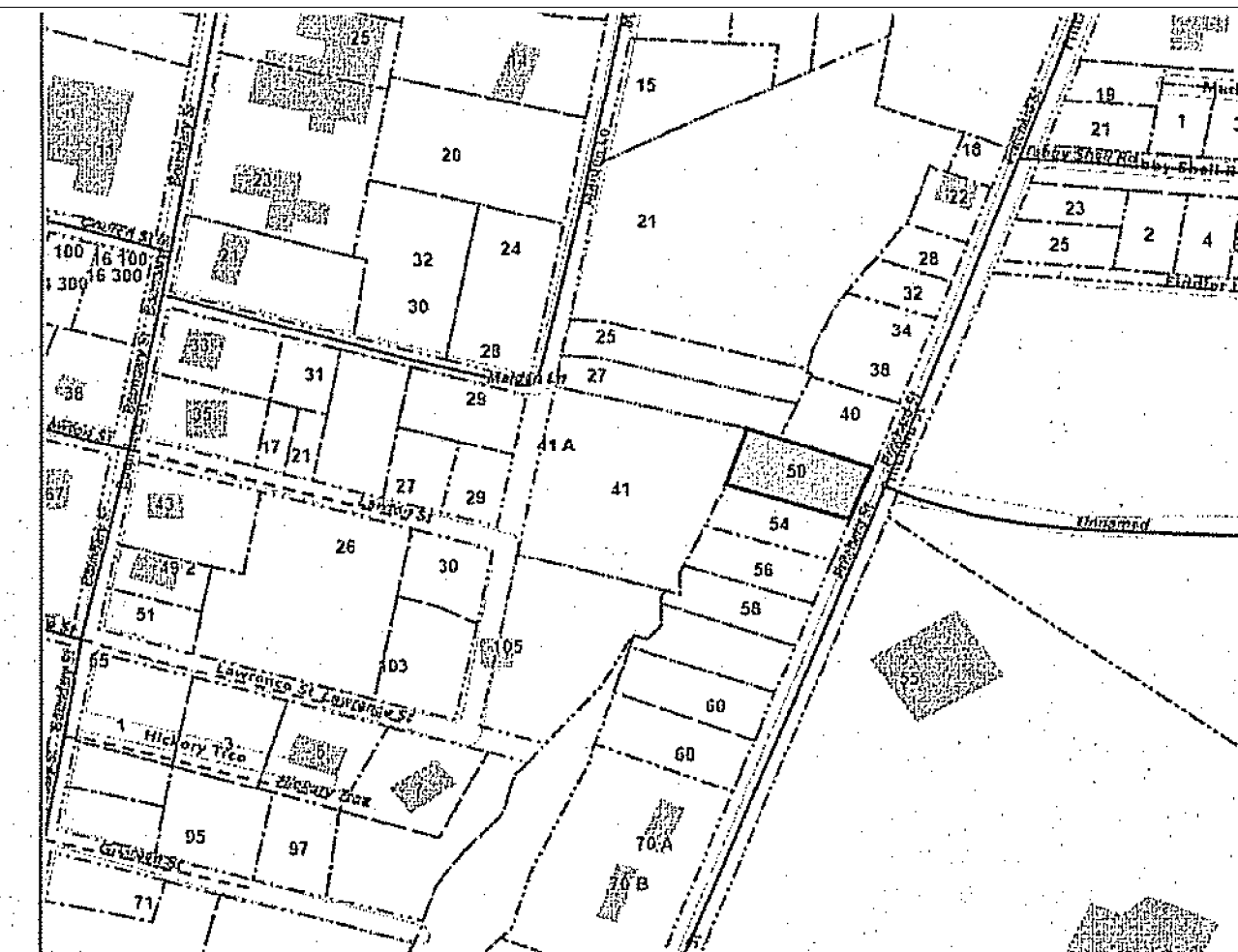
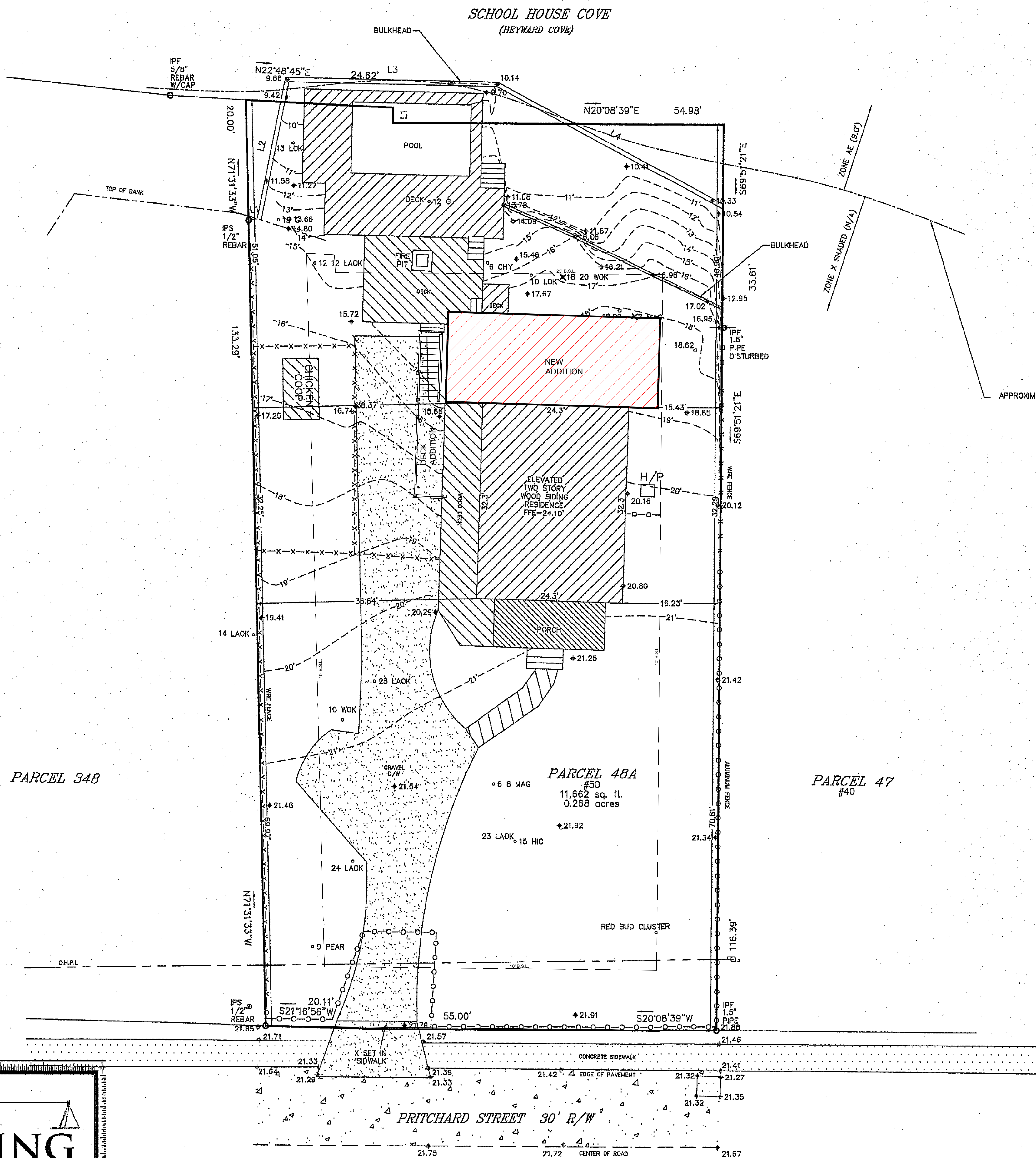
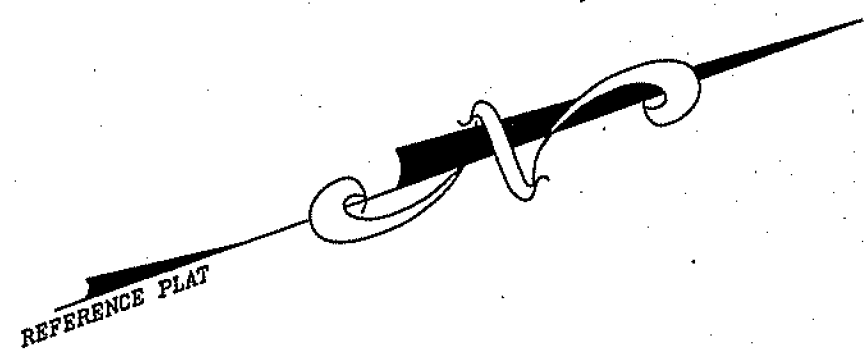
50 PRITCHARD STREET  
BLUFFTON, SC 29910

CODE ANALYSIS AND INDEX

SHEET

C-1

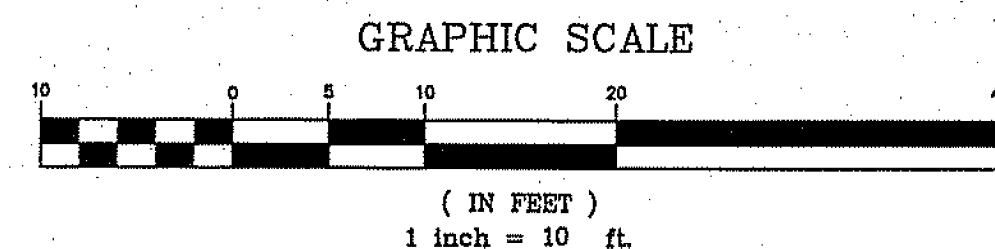




LOCATION MAP NOT TO SCALE

LINE TABLE		
LINE	LENGTH	BEARING
L1	2.48	S69°50'48"E

BULKHEAD LINE TABLE		
LINE	LENGTH	BEARING
L1	1.44	N11°27'30"E
L2	23.97	N58°50'51"W
L3	35.38	N21°05'16"E
L4	42.59	N48°06'16"E

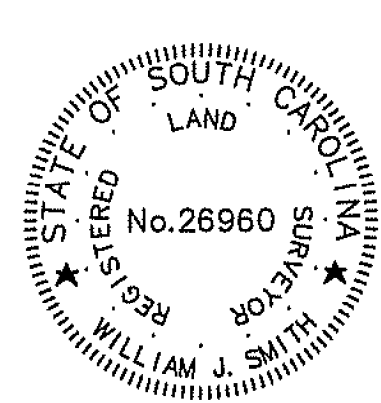


- LEGEND
- CHS - CONCRETE MONUMENT SET
  - CAF - CONCRETE MONUMENT FOUND
  - IPF - IRON PIN SET
  - IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - TBM - TEMPORARY BENCH MARK
  - BSL - BUILDING SETBACK LINE
  - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
  - ⊕ - POWER POLE
  - ⊕ - OVER HEAD POWER LINE
  - ⊕ - FIRE HYDRANT
  - ⊕ - PROPOSED TAX

- TREE LEGEND
- WHOK - WHITE OAK
  - LACK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLV - HOLLY
  - CDR - CEDAR
  - RDB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY

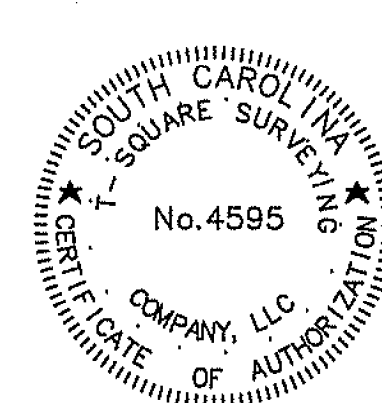


**T SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS  
P.O. Drawer 330  
139 Burnt Church Road  
Bluffton, S.C. 29910  
tsquare@earthlink.net  
Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

*William J. Smith, PLS #26960*  
WILLIAM J. SMITH, PLS #26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF  
**PAT MASON**  
A TREE & TOPOGRAPHIC SURVEY OF PARCEL 48A PRITCHARD STREET,  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.  
DIST. 610, MAP 39A, PARCEL 48A

Notes:  
1. According To FEMA Flood Insurance Rate Map # 4503C04266 This Lot Appears To Lie In A Federal Flood Plain Zone X SHADED & AE, Minimum Required Elevation 9.0 Ft. NAVD83.  
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.  
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.  
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.  
Reference Plats:  
PLAT BOOK 150 AT PAGE 60

DRAWN BY: B.M.S.  
APPROVED BY: W.J.S.  
PARTY CHIEF: W.J.S.  
DATE: MAY 10, 2023

ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

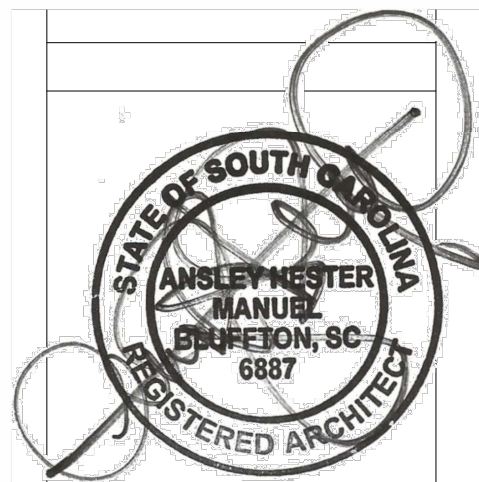
PROPOSED SITE PLAN

SHEET  
**C2**

DATE :  
11/20/24  
**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com







DATE :

11/20/24

MANUEL STUDIO, LLC

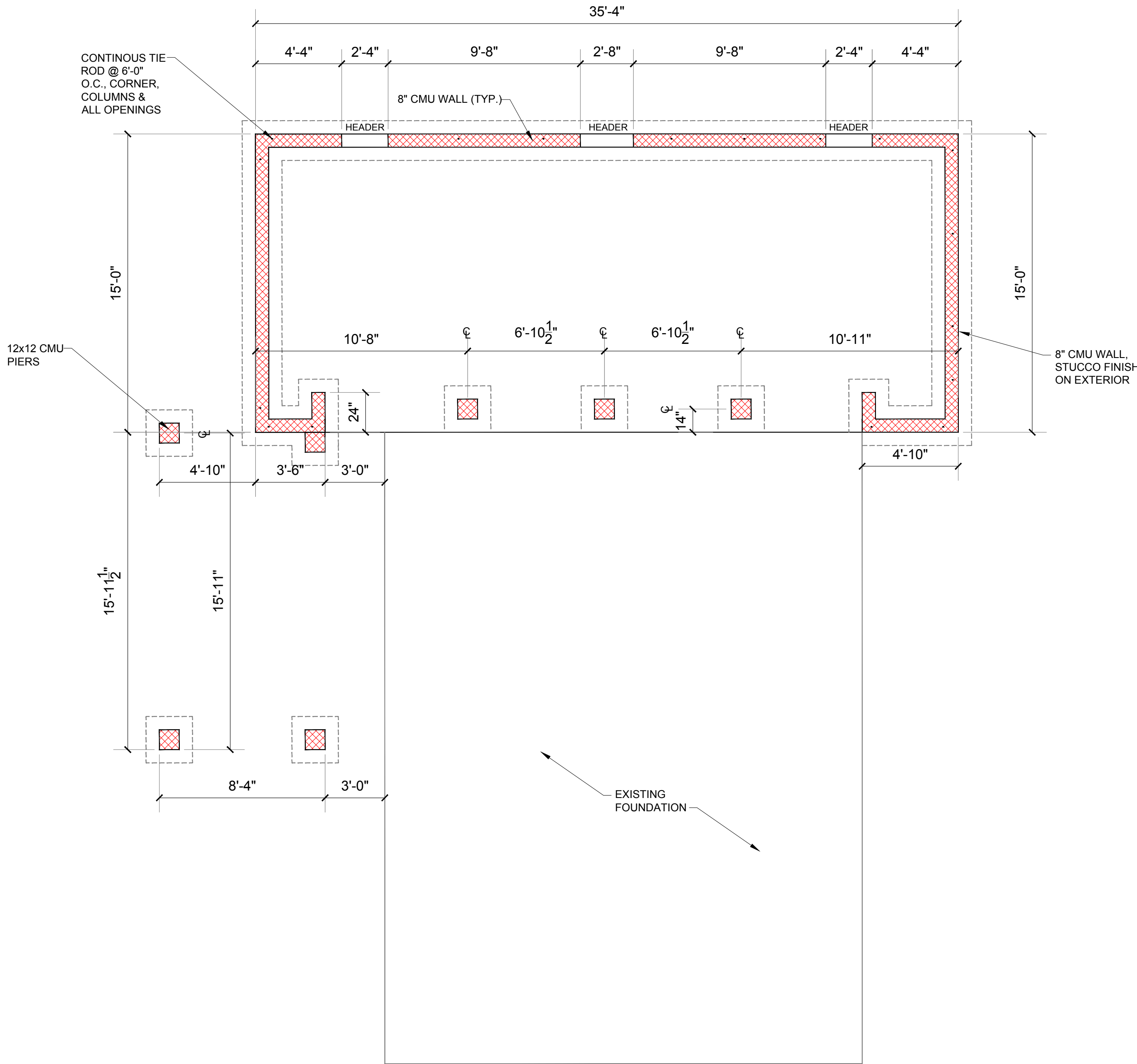
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
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PROPOSED FOUNDATION PLAN

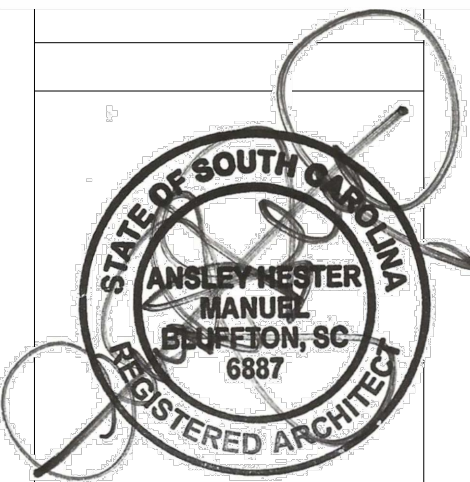
SHEET

A1



A  
A1  
PROPOSED FOUNDATION PLAN  
SCALE: 1/4"=1'-0"





DATE :

11/20/24

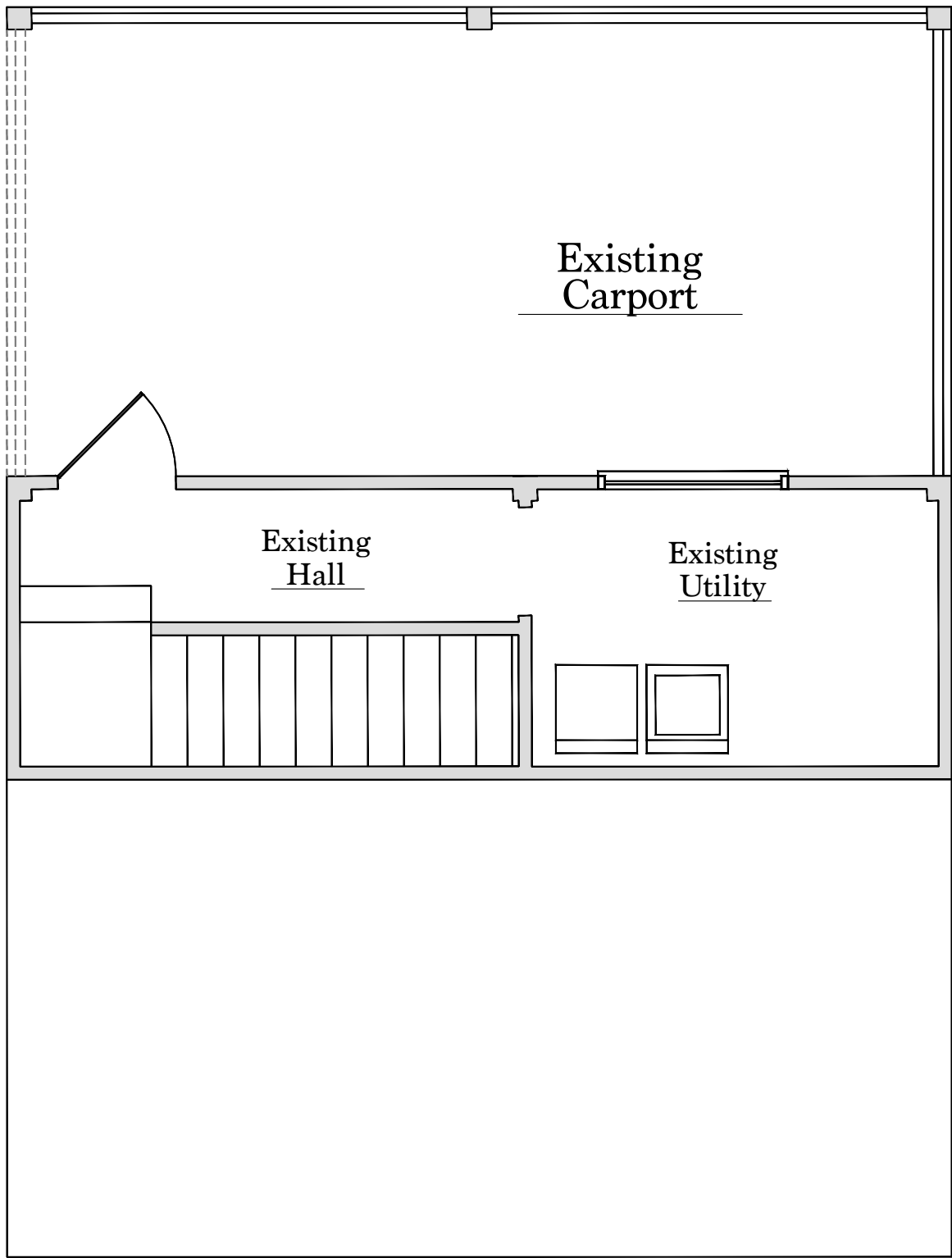
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ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

**EXISTING FLOOR PLANS**

SHEET

A2

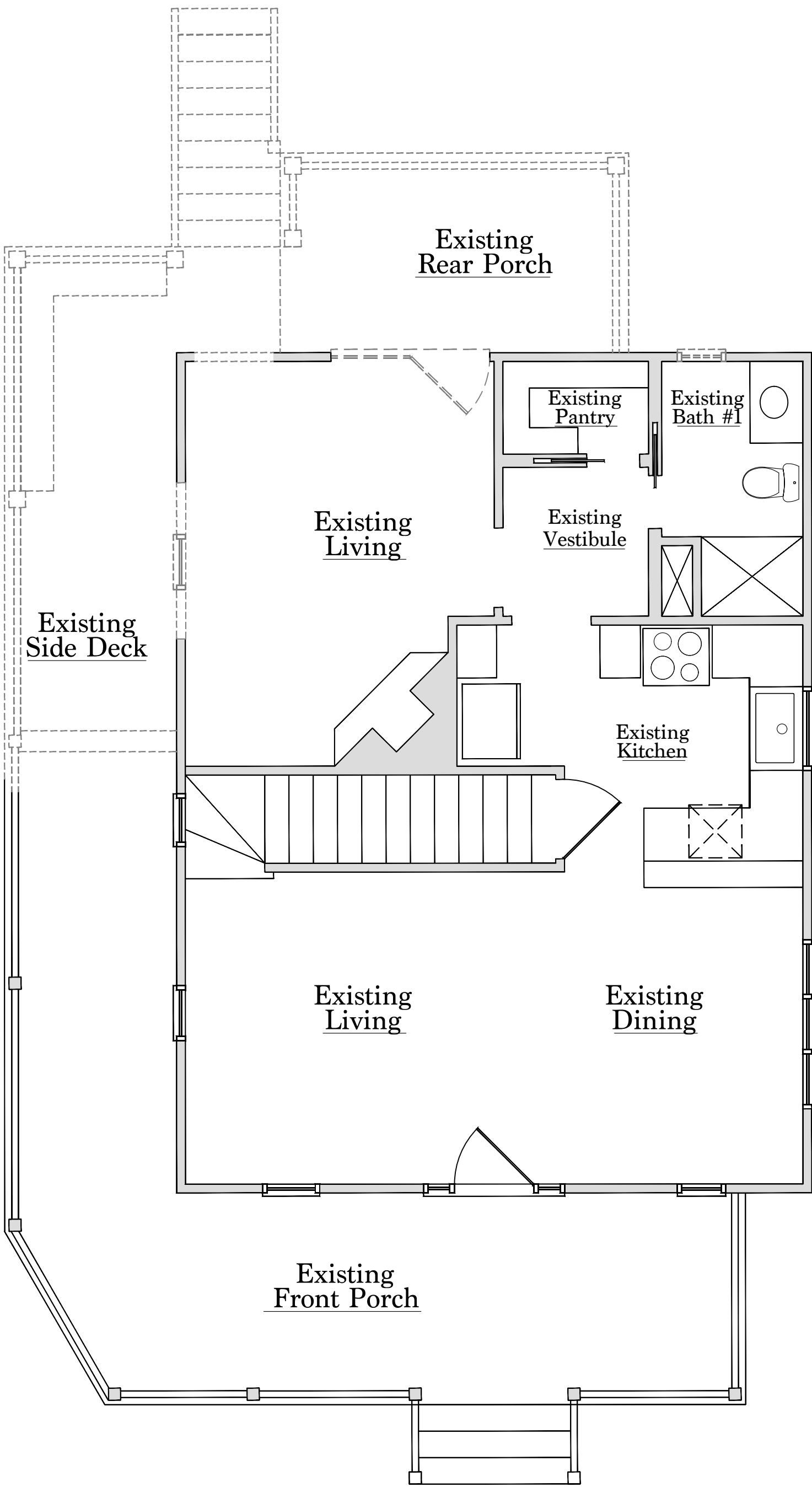


**A**  
**A2** EXISTING GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"

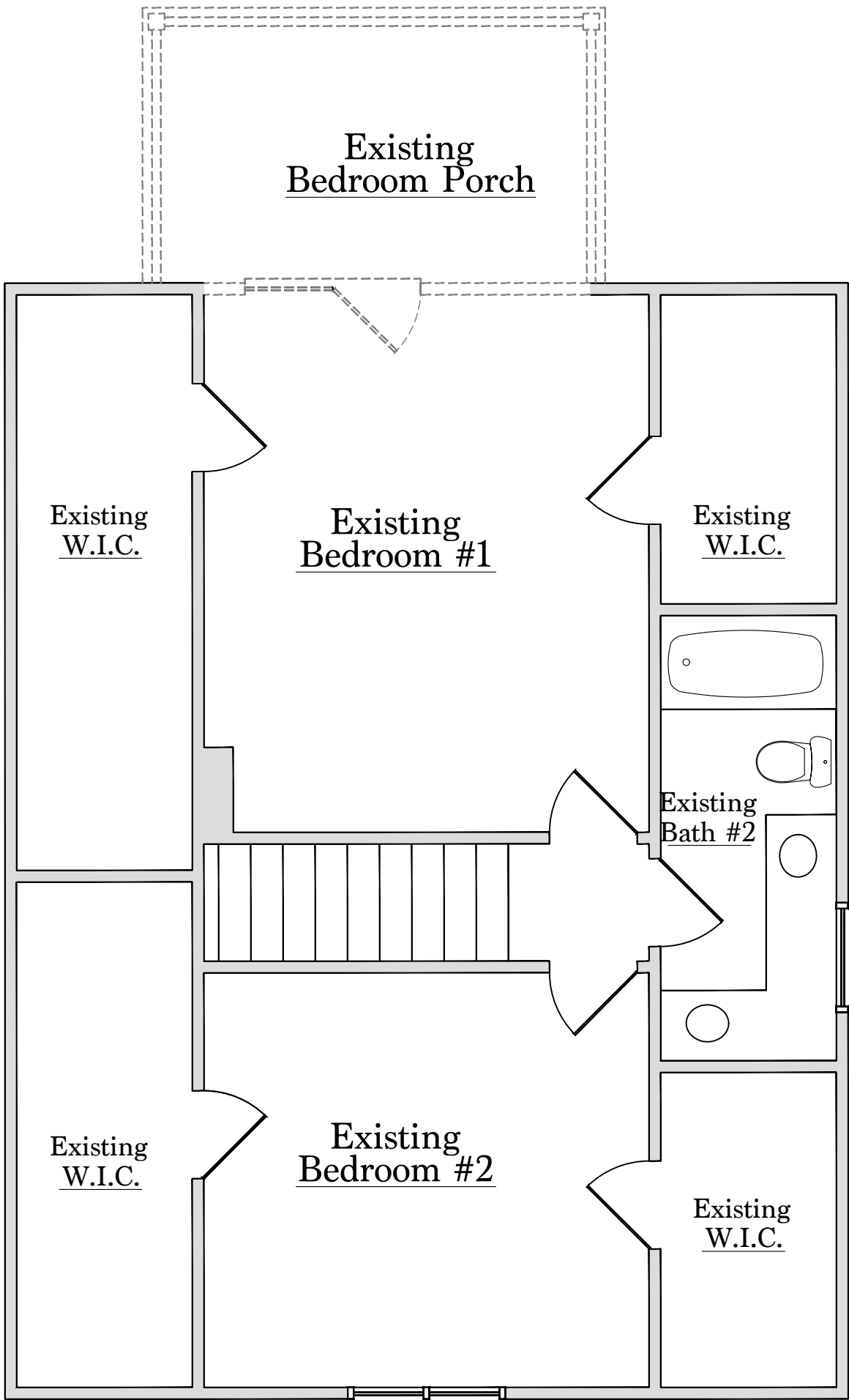
**WALL LEGEND**

----- TO BE REMOVED

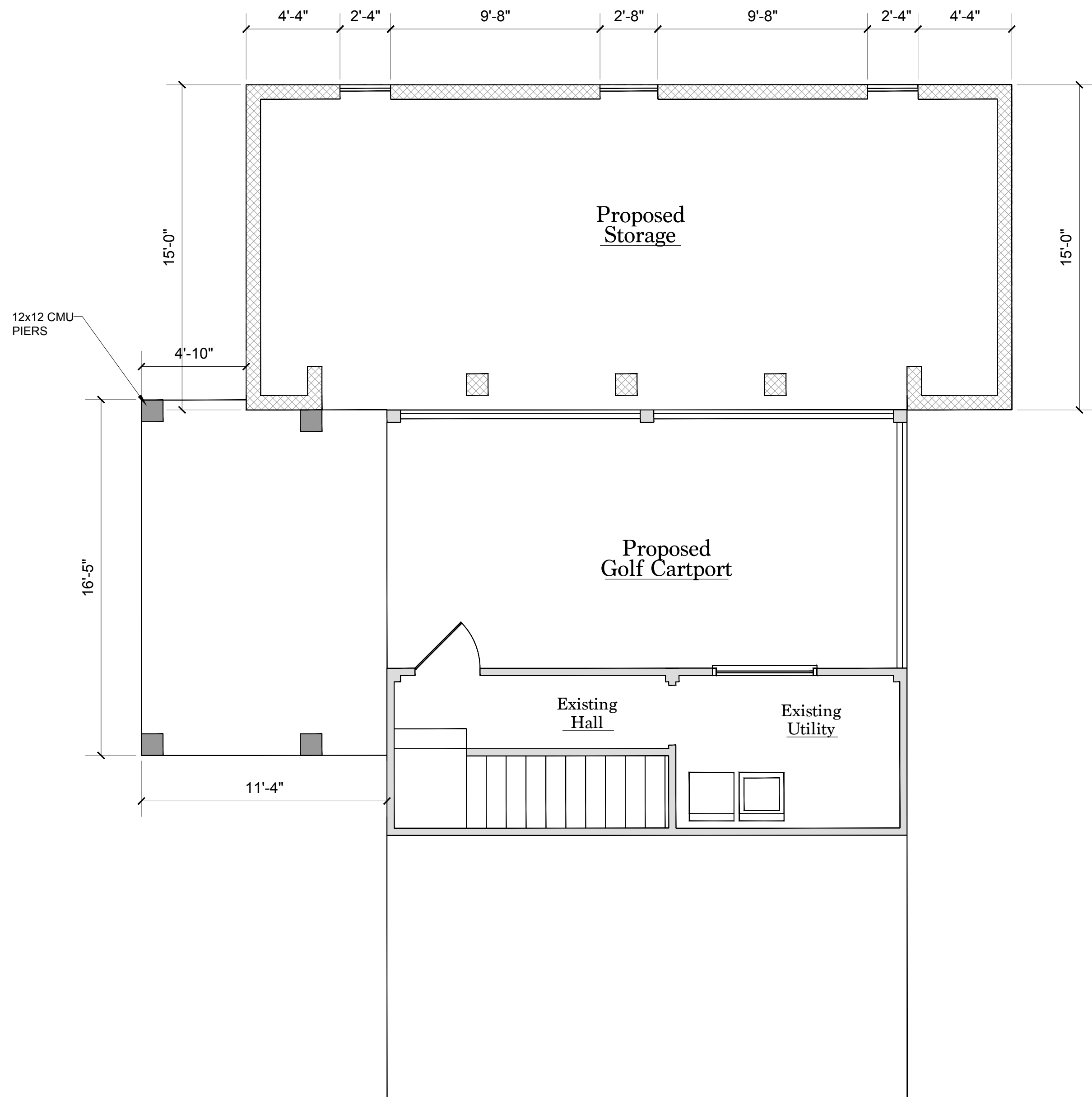
===== TO REMAIN



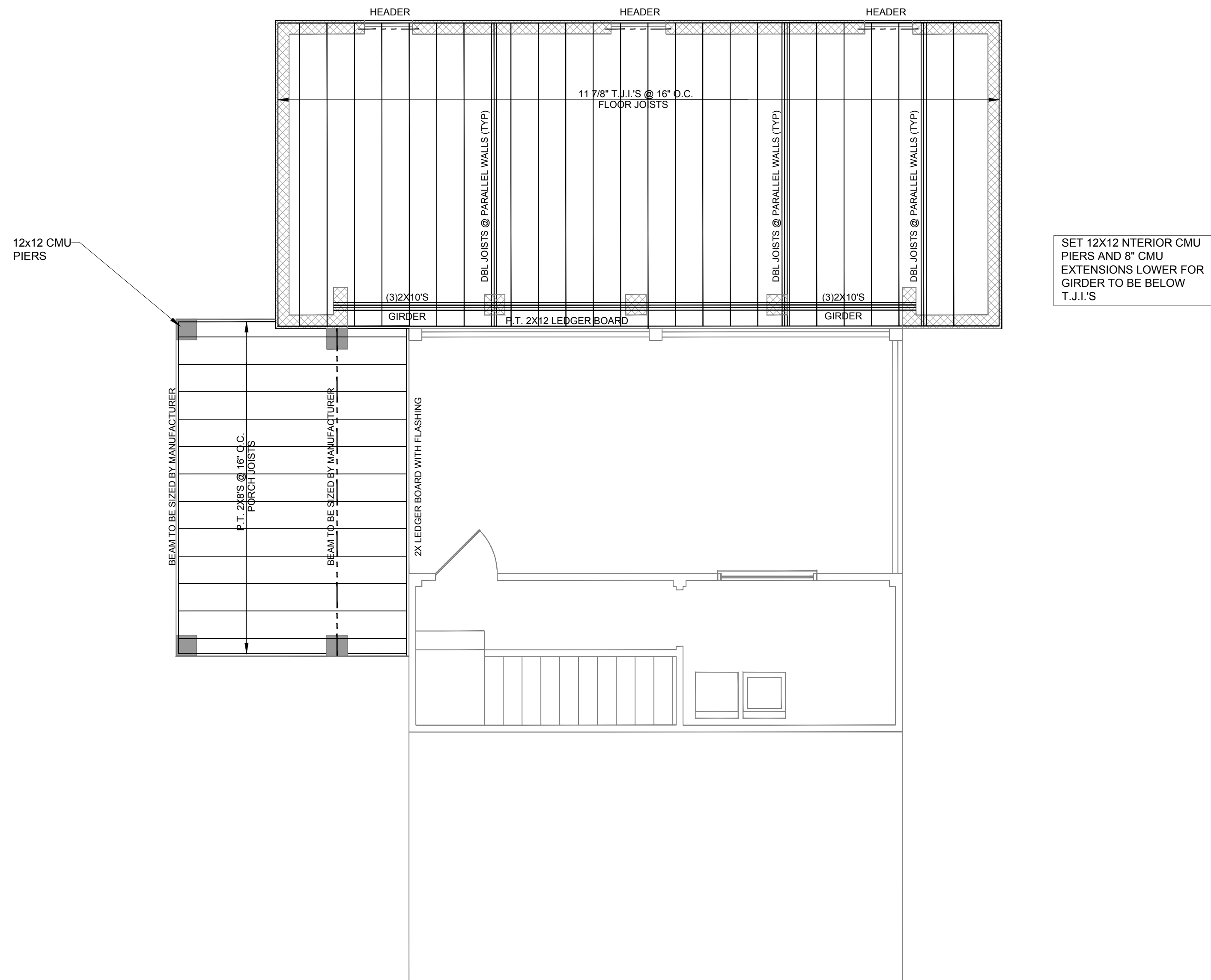
**B**  
**A2** EXISTING FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



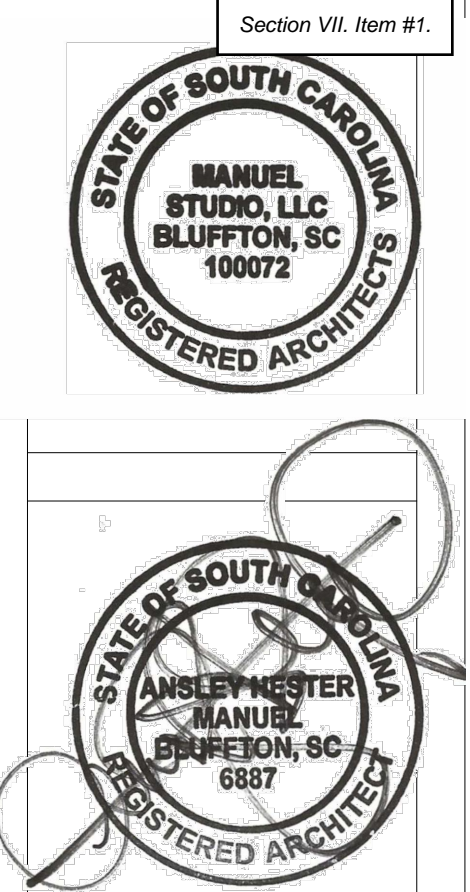
**C**  
**A2** EXISTING SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



**A**  
**A3** PROPOSED GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"



**B**  
**A3** PROPOSED FIRST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"



DATE :  
11/20/24

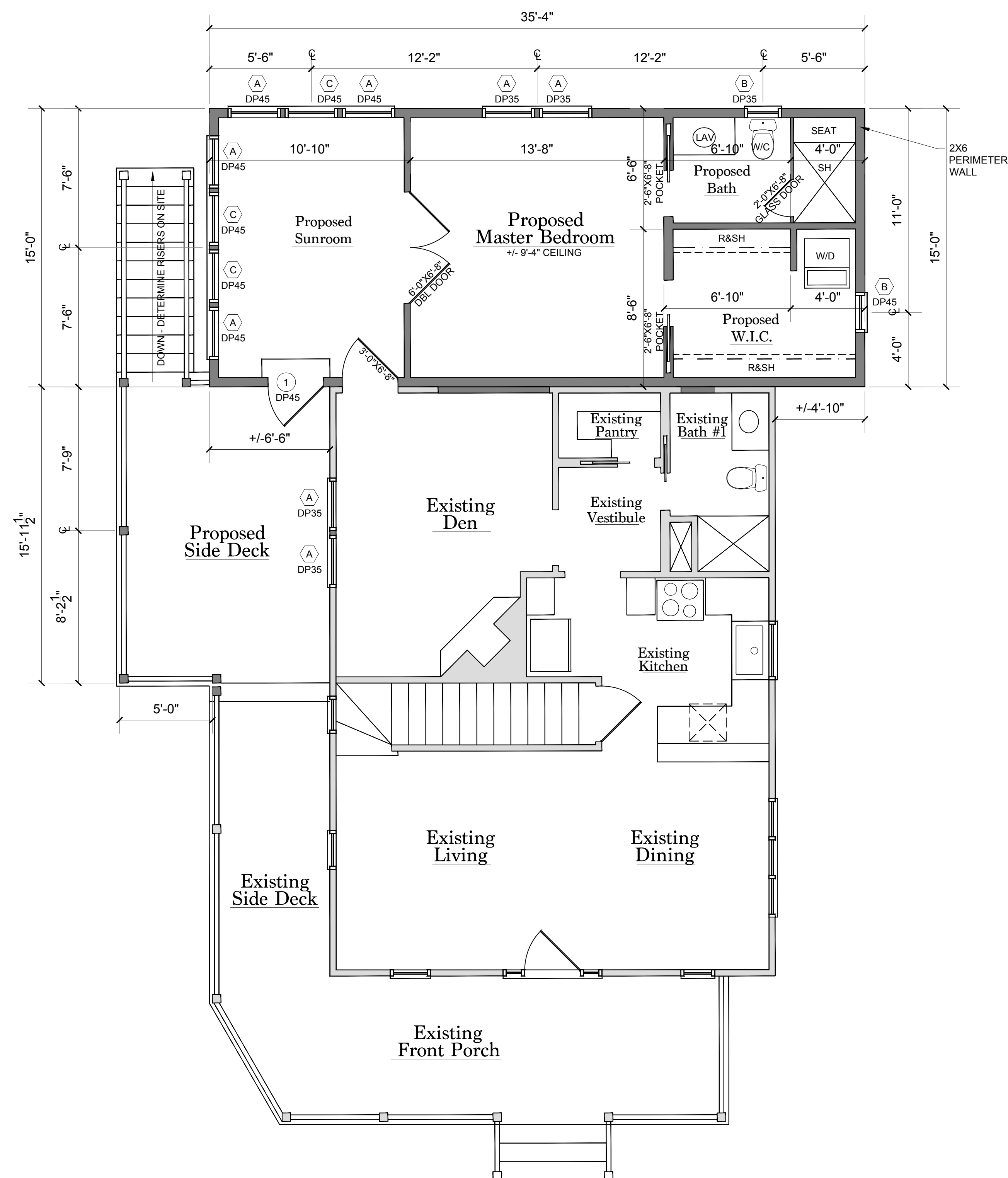
**MANUEL STUDIO, LLC**  
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ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

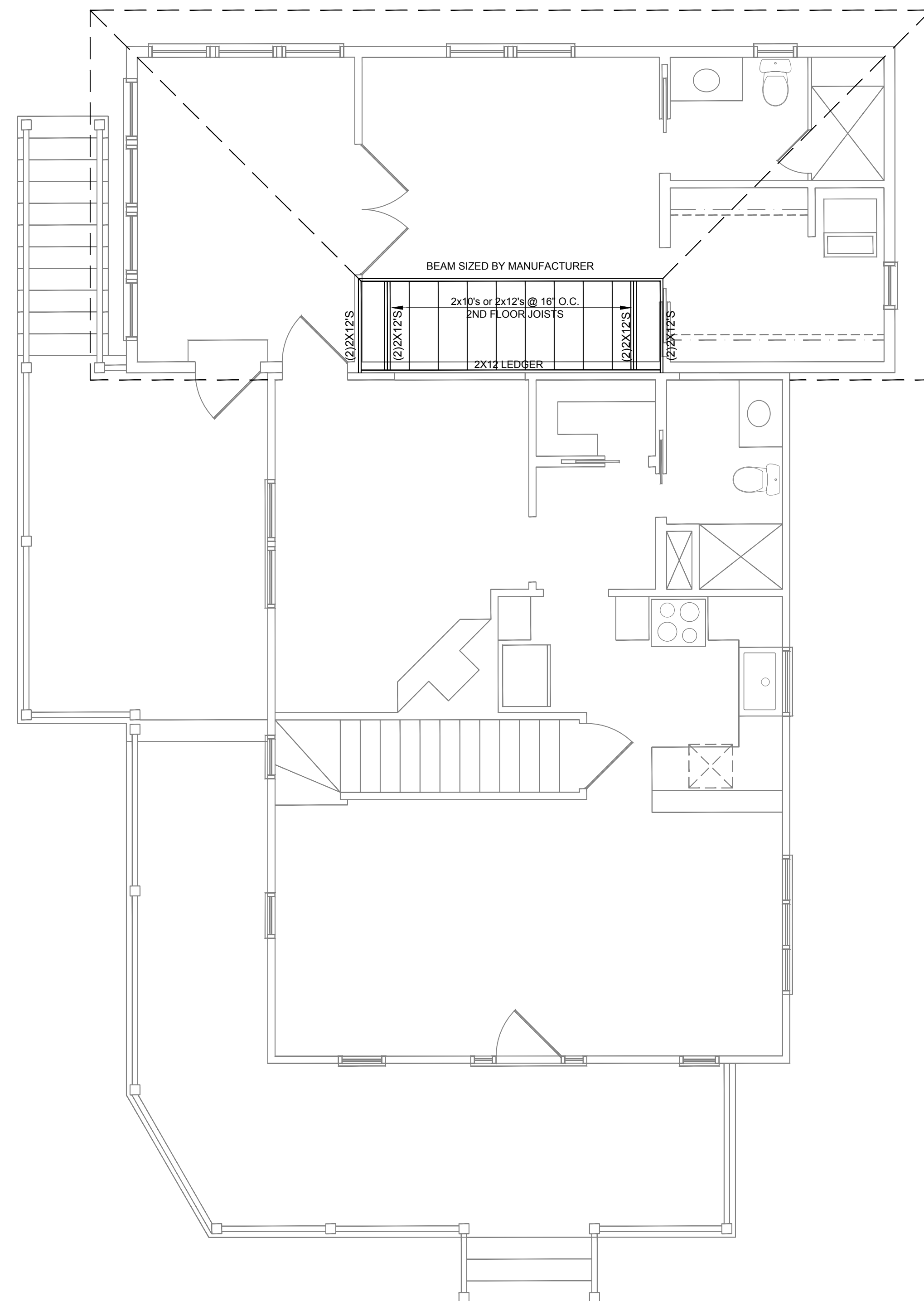
PROPOSED GROUND FLR & 1ST FLR FRAMING PLAN

SHEET  
**A3**

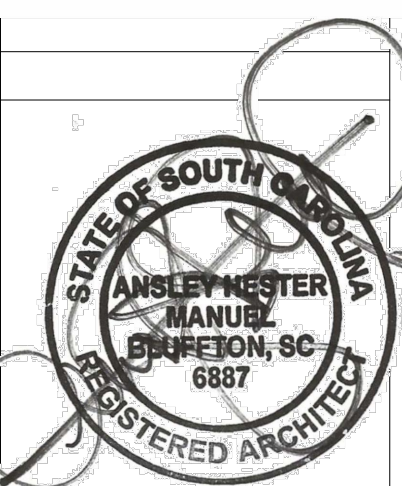
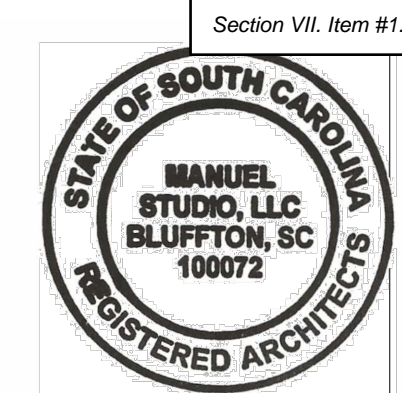




**A**  
**A4** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



**B**  
**A4** PROPOSED SECOND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

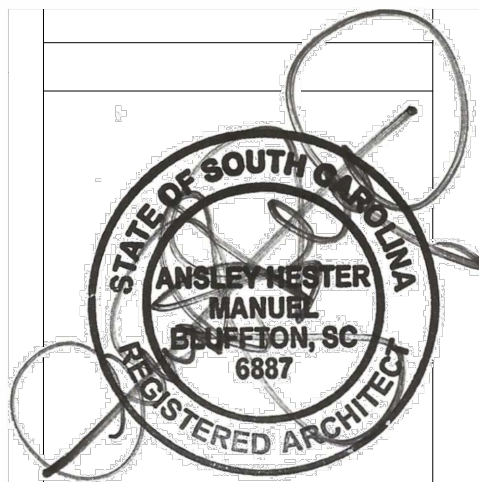


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ADDITIONS AND RENOVATIONS TO THE  
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50 PRITCHARD STREET  
BLUFFTON, SC 29910  
PROPOSED 1ST FLR PLAN & 2ND FLR FRAMING PLAN

SHEET  
**A4**



DATE :

11/20/24			
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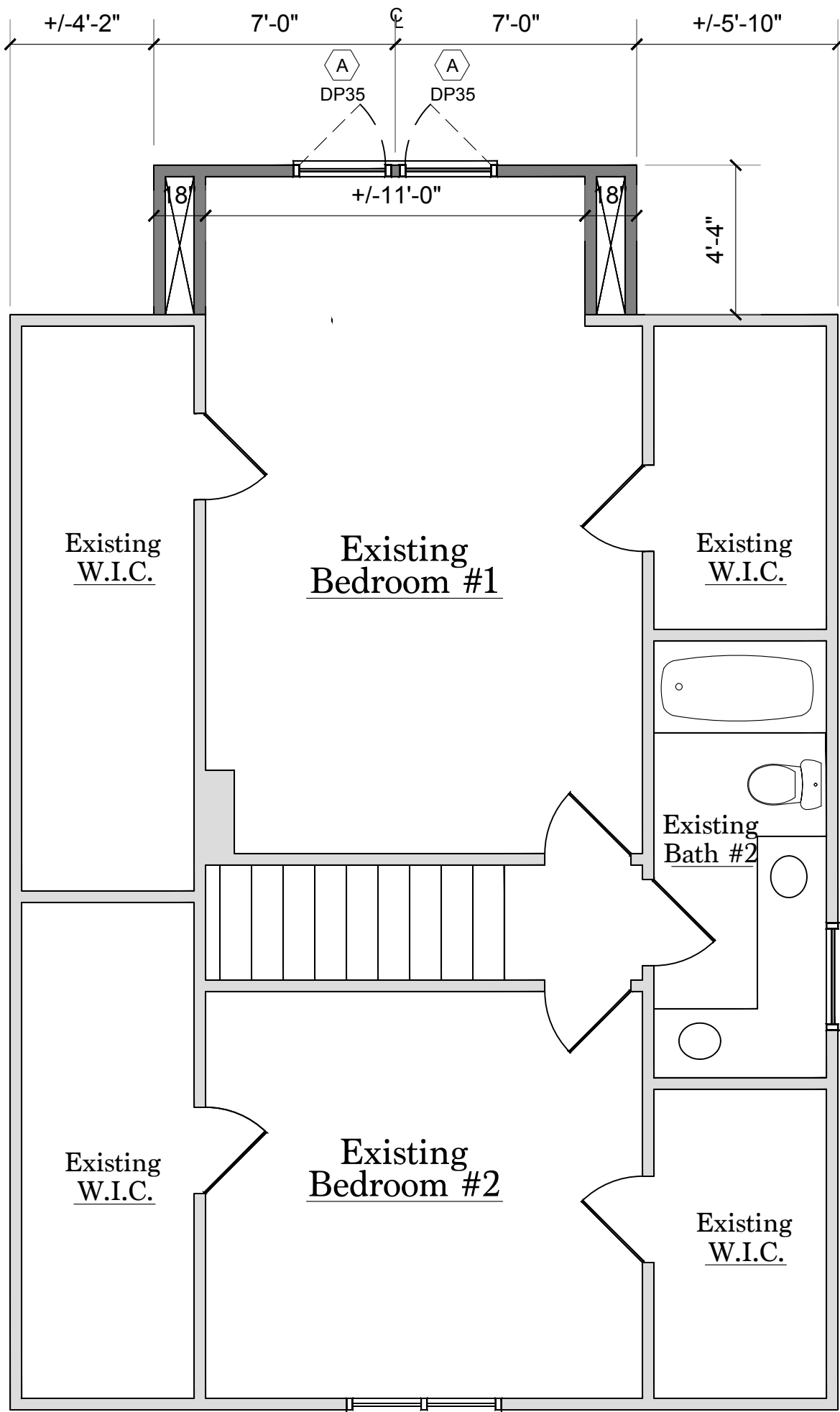
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PROPOSED SECOND FLOOR PLAN

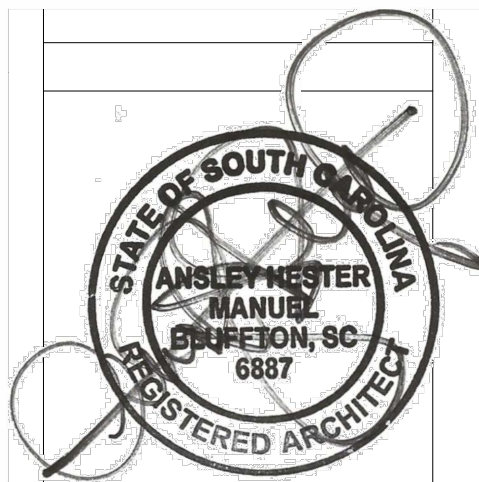
SHEET

A5



**A**  
**A5** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"





DATE :

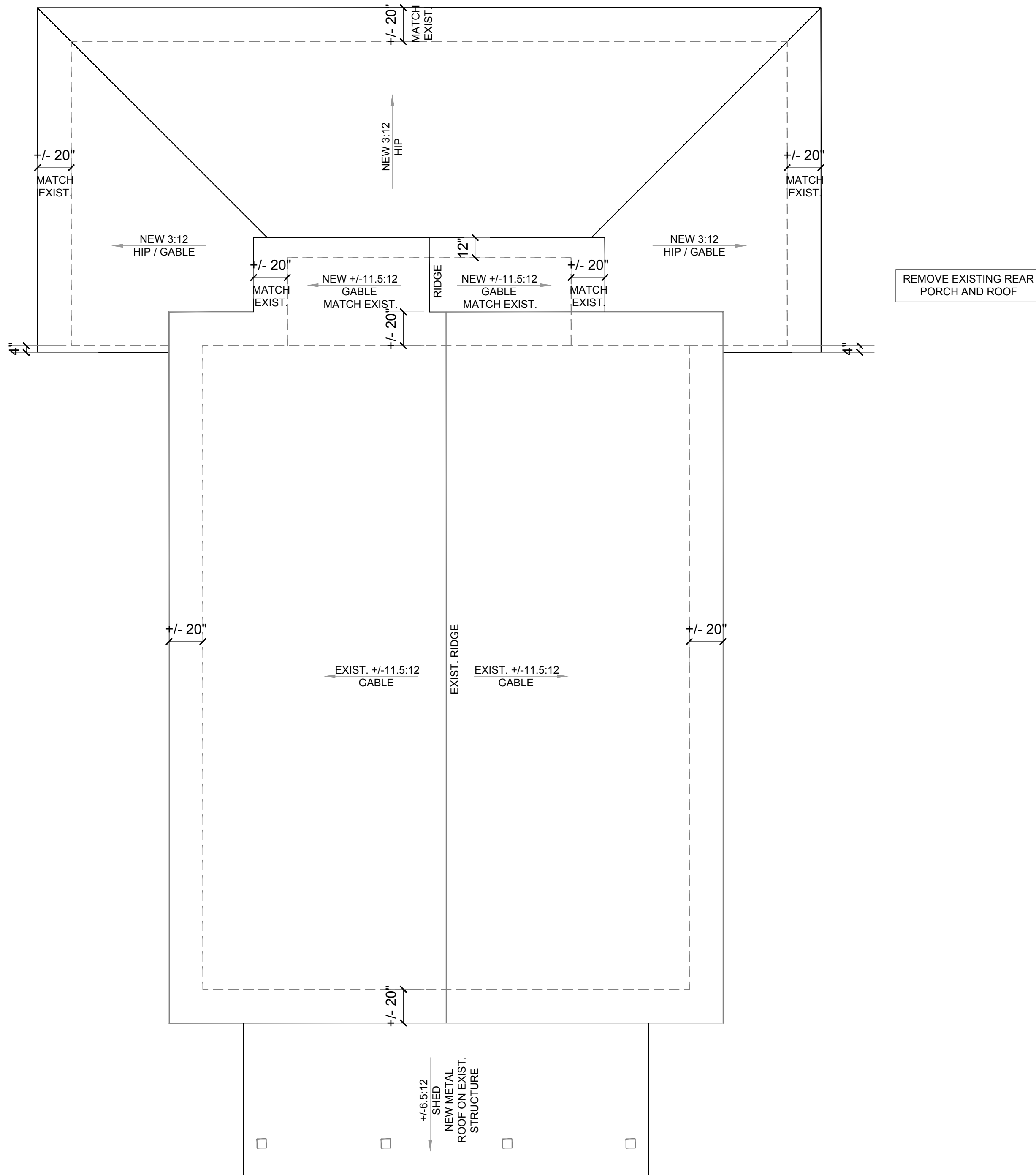
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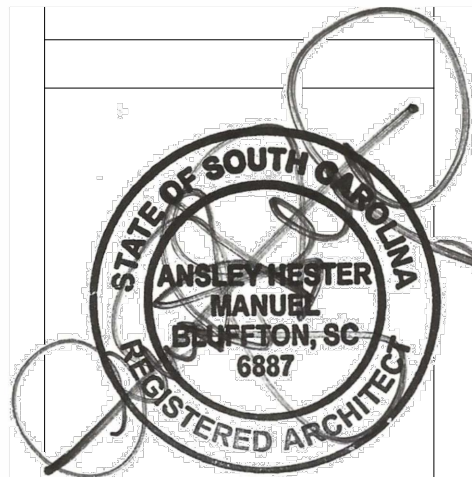
ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

**PROPOSED ROOF PLAN**

SHEET  
**A6**



**A**  
**A6** **PROPOSED ROOF PLAN**  
SCALE: 1/4"=1'-0"



DATE :

11/20/24

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ADDITIONS AND RENOVATIONS TO THE  
**BETH MCHUGH RESIDENCE**  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

**EXISTING ELEVATIONS**

SHEET

**A7**



**A** EXISTING FRONT ELEVATION  
**A7** SCALE: 1/4"=1'-0"



**B** EXISTING LEFT ELEVATION  
**A7** SCALE: 1/4"=1'-0"

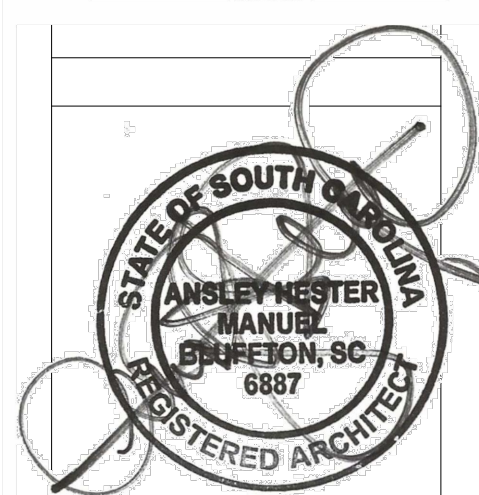


**C** EXISTING REAR ELEVATION  
**A7** SCALE: 1/4"=1'-0"



**D** EXISTING RIGHT ELEVATION  
**A7** SCALE: 1/4"=1'-0"





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ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

PROPOSED ELEVATIONS

SHEET

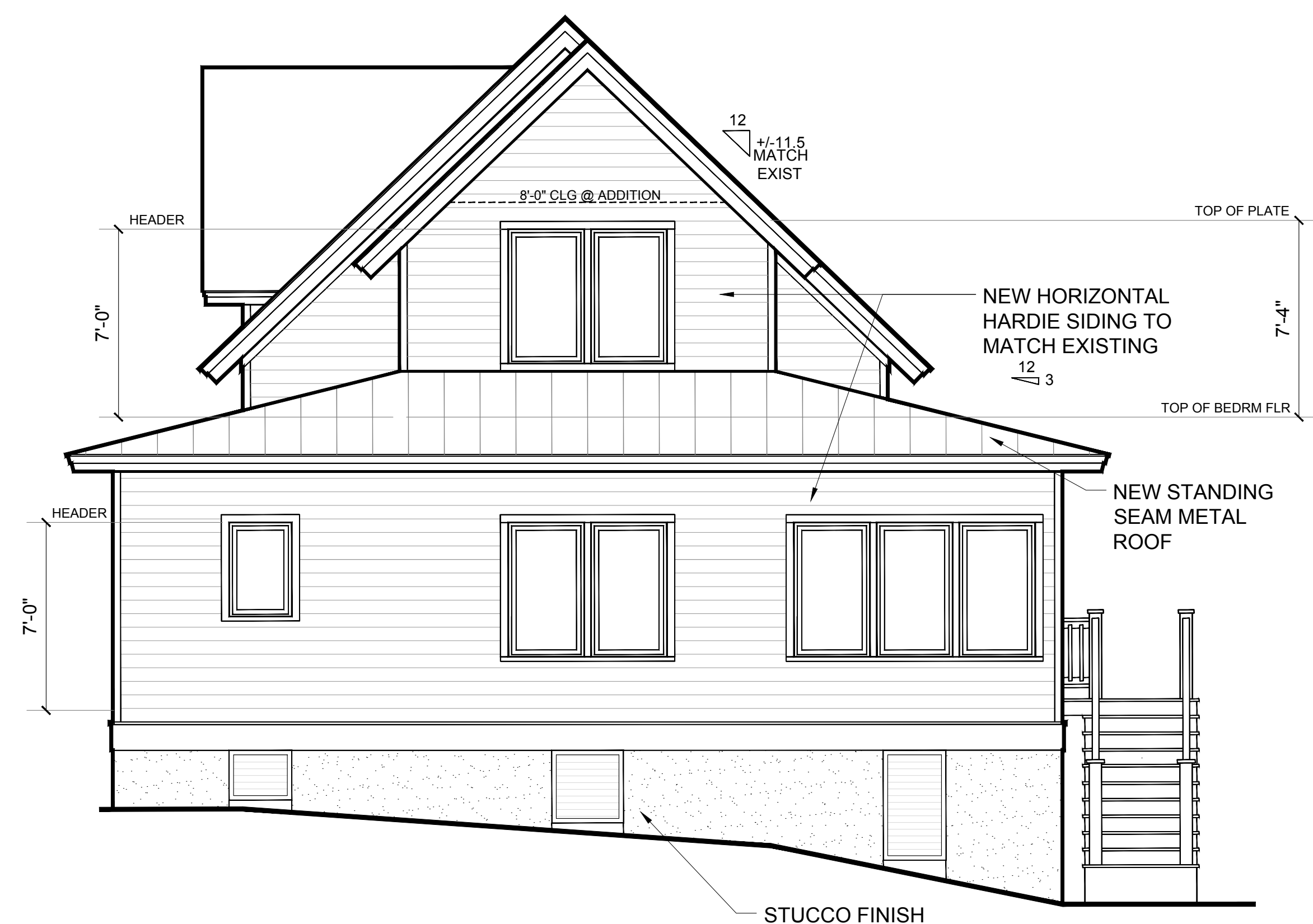
A8



A  
A8 PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"



B  
A8 PROPOSED LEFT ELEVATION  
SCALE: 1/4"=1'-0"

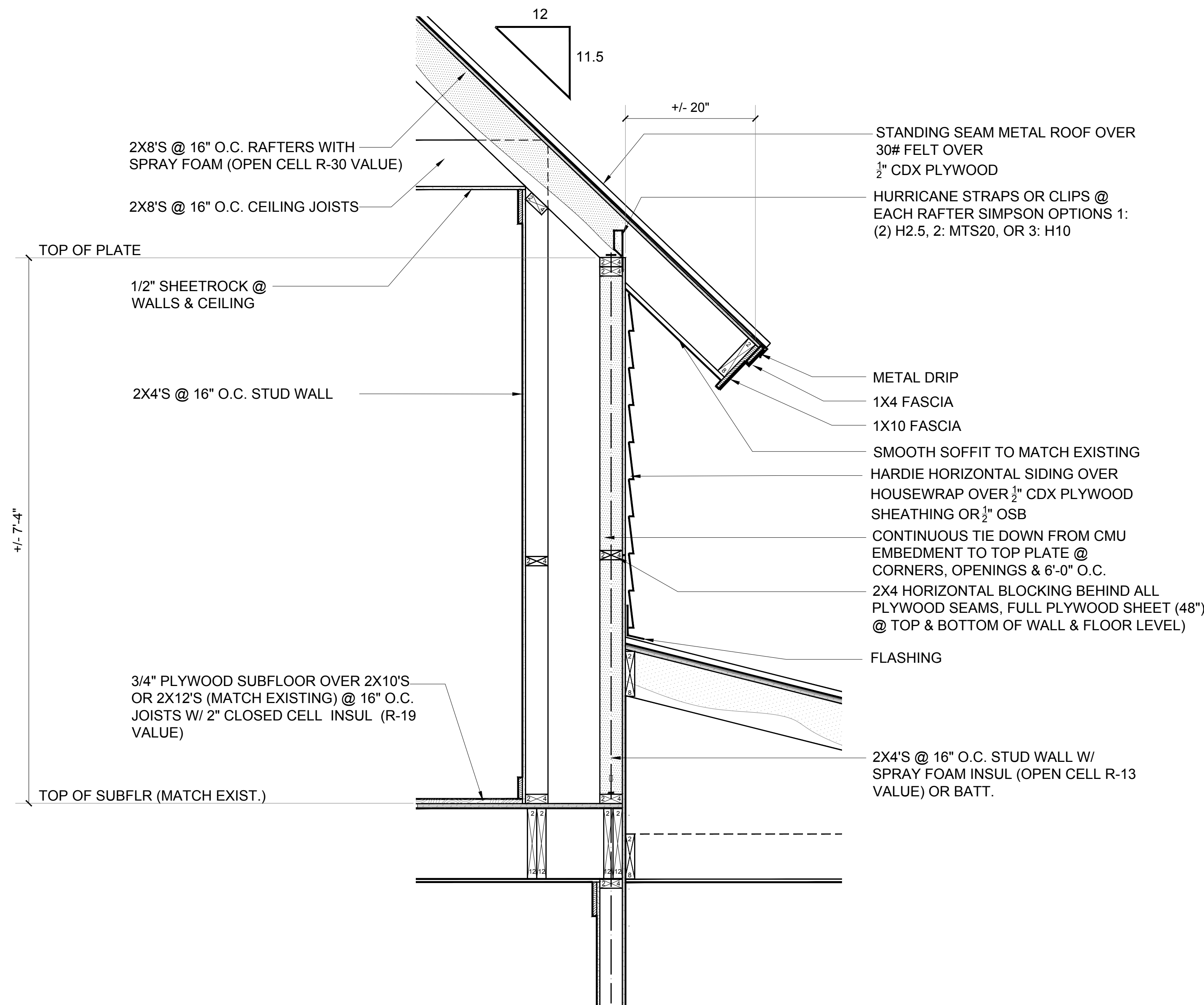


C  
A8 PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"

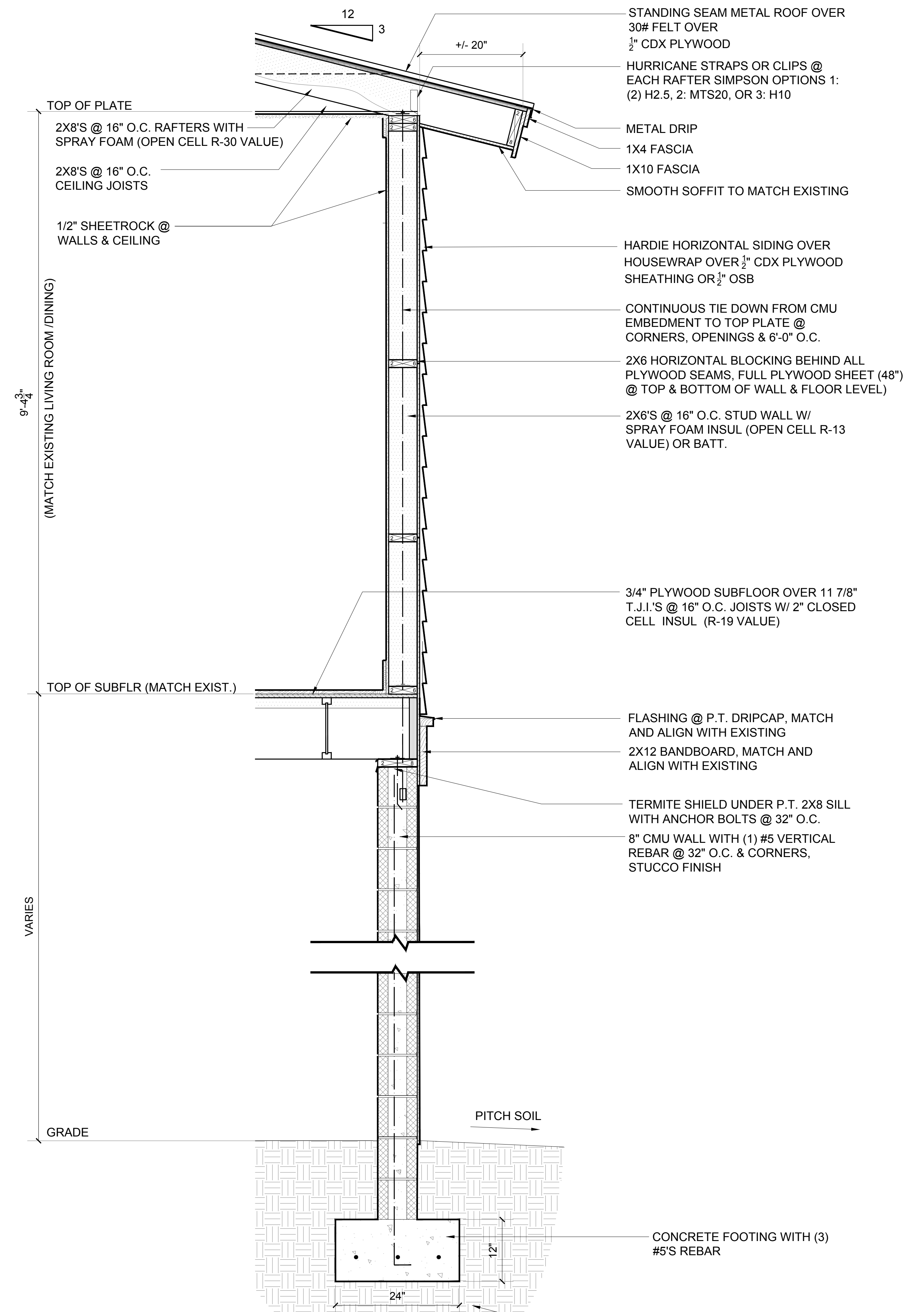


D  
A8 PROPOSED RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

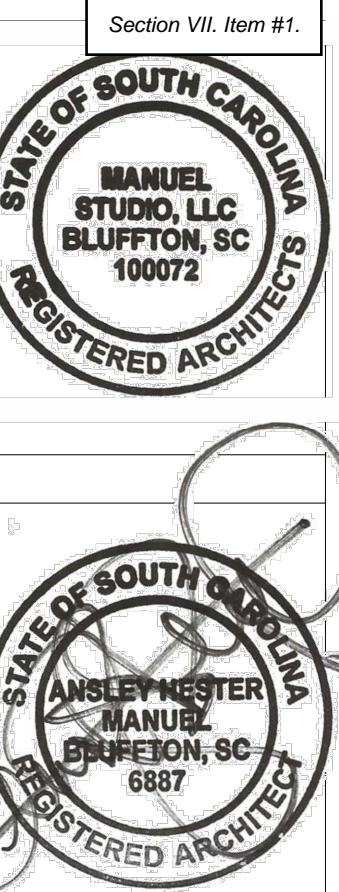




**A**  
**A9** WALL SECTION @ SECOND FLOOR EXTENSION  
SCALE: 1"=1'-0"



**B**  
**A9** WALL SECTION @ MASTER SUITE & SUNROOM  
SCALE: 1"=1'-0"



DATE :  
11/15/24

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ADDITIONS AND RENOVATIONS TO THE  
**BETH MCHUGH RESIDENCE**  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

**WALL SECTIONS**

SHEET  
**A9**



ROOM SCHEDULE -

ROOM	FLOOR	WALL	CEILING	BASE	CASE	CROWN
PROPOSED STORAGE						
PROPOSED GOLF CART STORAGE						
PROPOSED SUNROOM						
PROPOSED MASTER BEDROOM						
PROPOSED MASTER BATH						
PROPOSED W.I.C.						
EXISTING UTILITY						
EXISTING DEN						
EXISTING PANTRY						
EXISTING BATH						
EXISTING VESTIBULE						
EXISTING KITCHEN						
EXISTING LIVING						
EXISTING DINING						
EXISTING FRONT PORCH						
EXISTING SIDE DECK						
PROPOSED SIDE DECK						
EXPANDED BEDROOM 2						
EXISTING BEDROOM 3						

DOOR SCHEDULE

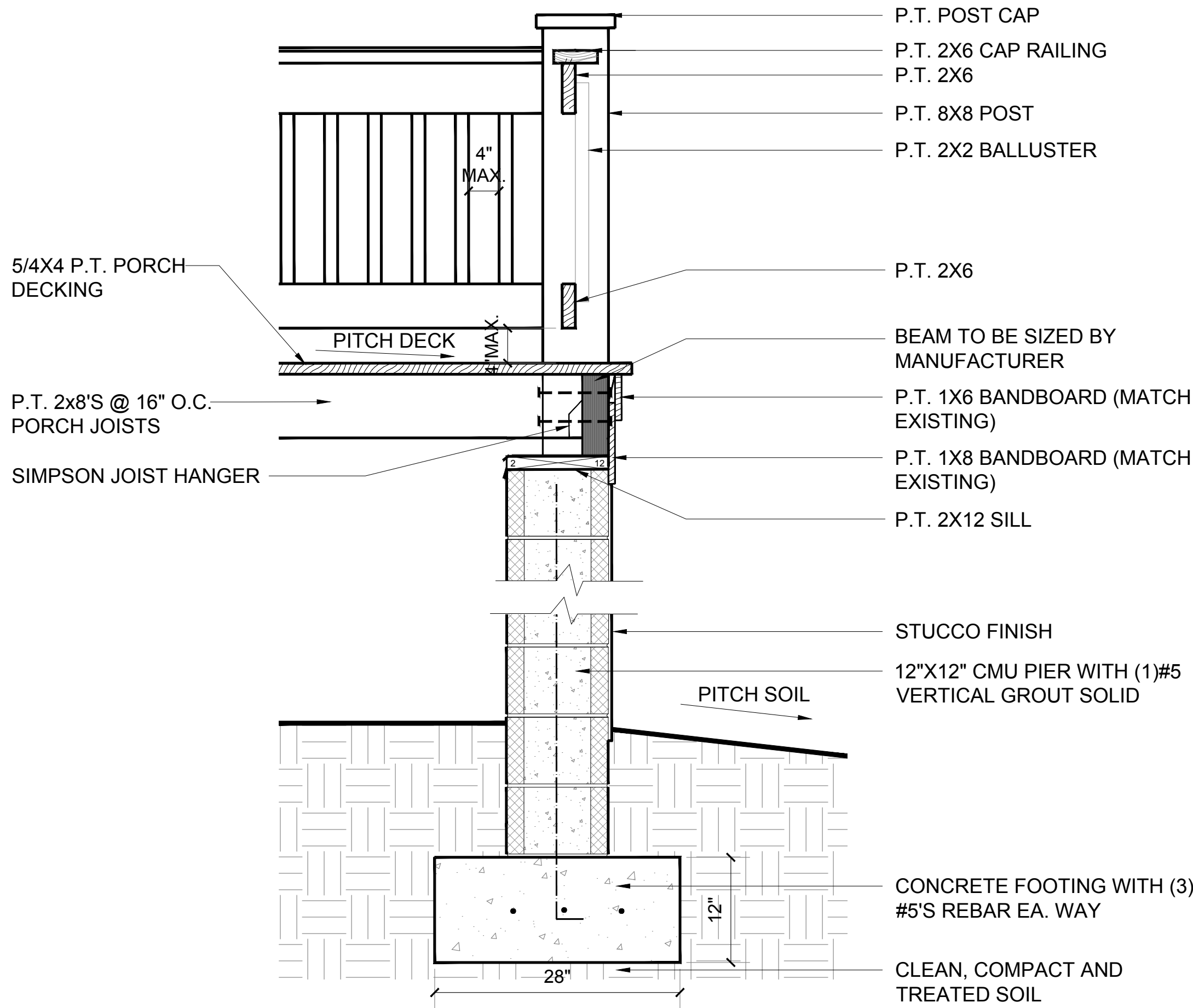
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	3'-0"X6'-8"	HALF GLASS PATIO, OUTSWING	-	

ALL EXTERIOR DOORS TO BE ALUMINUM CLAD (EXTERIOR), WOOD (INTERIOR) UNLESS OTHERWISE NOTED.  
ALL GLASS TO BE IMPACT RESISTANT.

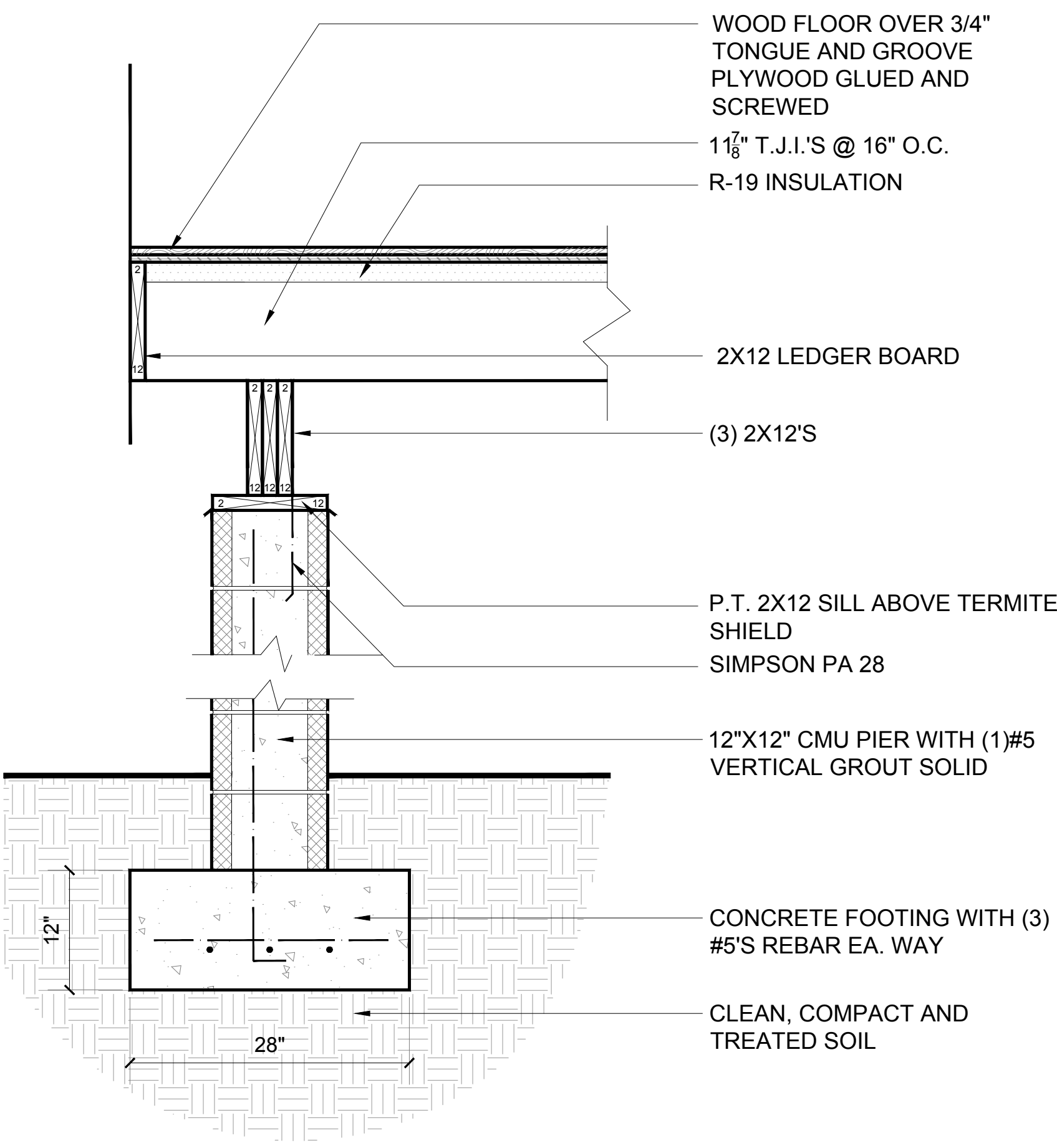
WINDOW SCHEDULE

MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	2'-10" X 5'-0"	CASEMENT		EGRESS REQUIRED AT BEDROOM
B	2'-0" X 3'-4"	CASEMENT		
C	2'-10" X 5'-0"	FIXED		

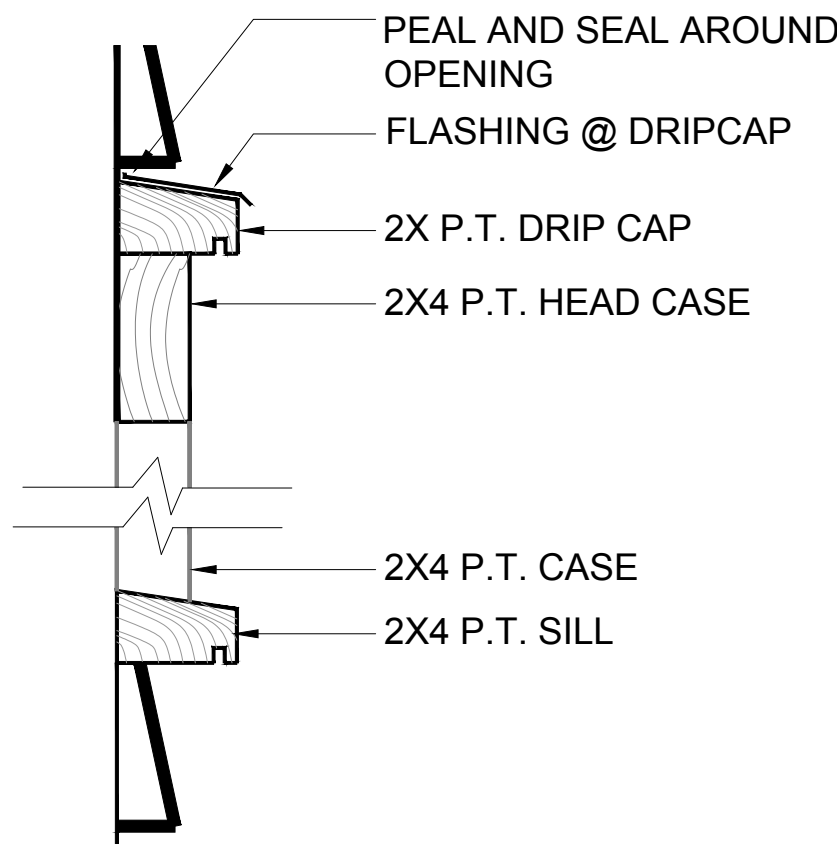
ALL WINDOWS ARE WOOD INTERIOR AND ALUMINUM CLAD EXTERIOR.  
ALL GLASS TO BE IMPACT RESISTANT.  
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER  
\*REPLACEMENT WINDOW - FIELD VERIFY ROUGH DIMENSIONS



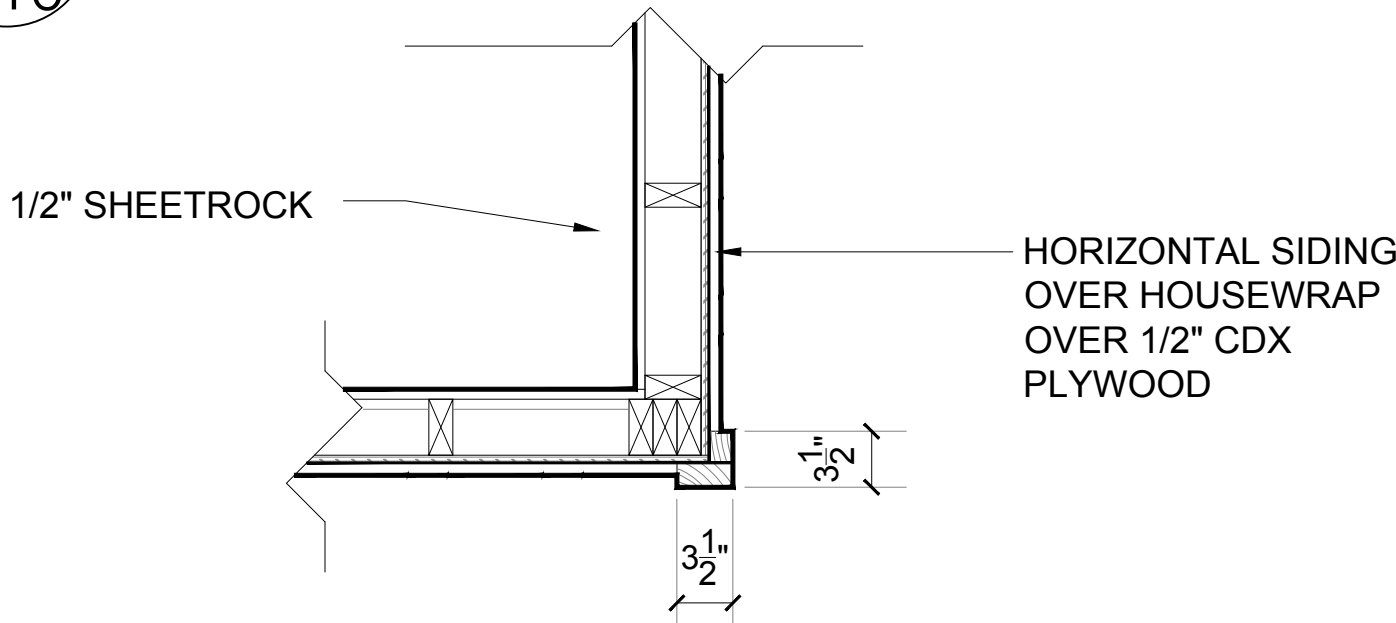
A PORCH SECTION  
A10 SCALE: 1"=1'-0"



B INTERIOR PIER (TYPICAL)  
A10 SCALE: 1"=1'-0"



C WINDOW TRIM DETAIL @ SHIPLAP  
A10 SCALE: 3"=1'-0"



D CORNER DETAIL  
A10 SCALE: 1"=1'-0"



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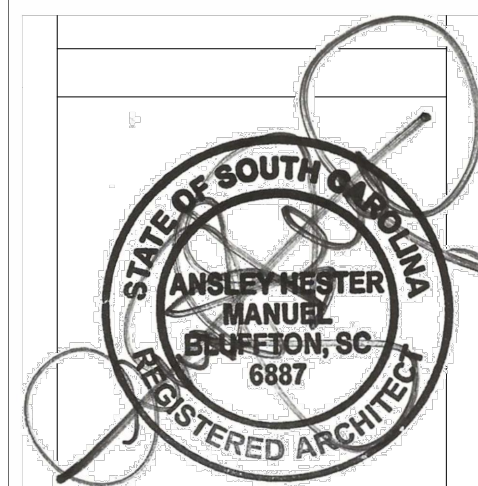
ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

SCHEDULES & DETAILS

SHEET

A10





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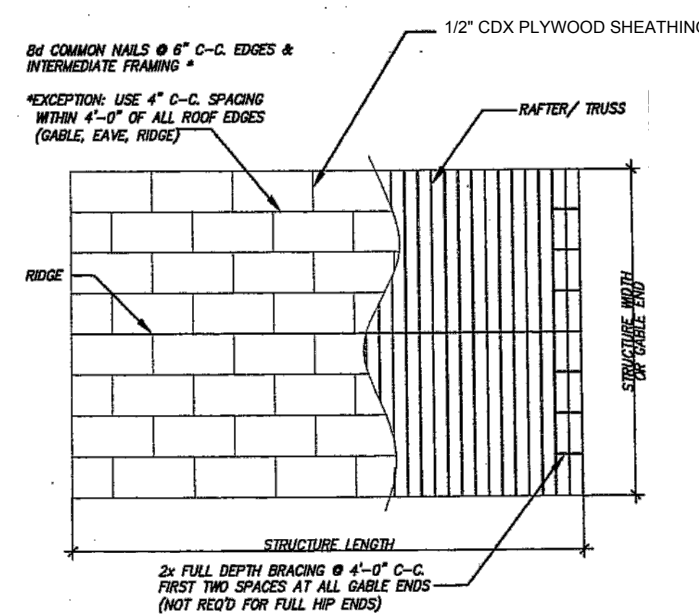
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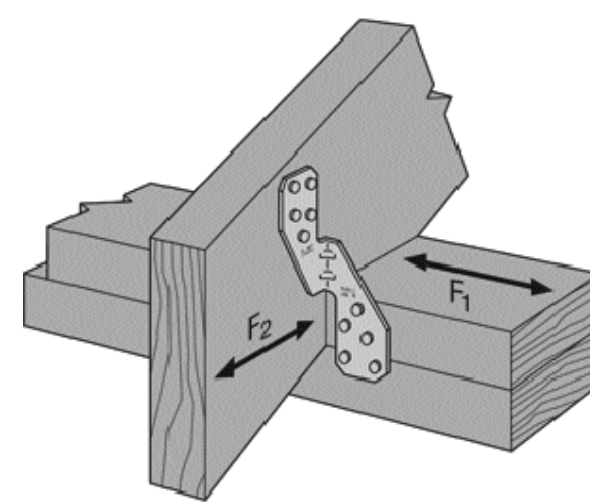
 ADDITIONS AND RENOVATIONS TO THE  
**BETH MCHUGH RESIDENCE**  
 50 PRITCHARD STREET  
 BLUFFTON, SC 29910

**DETAILS**

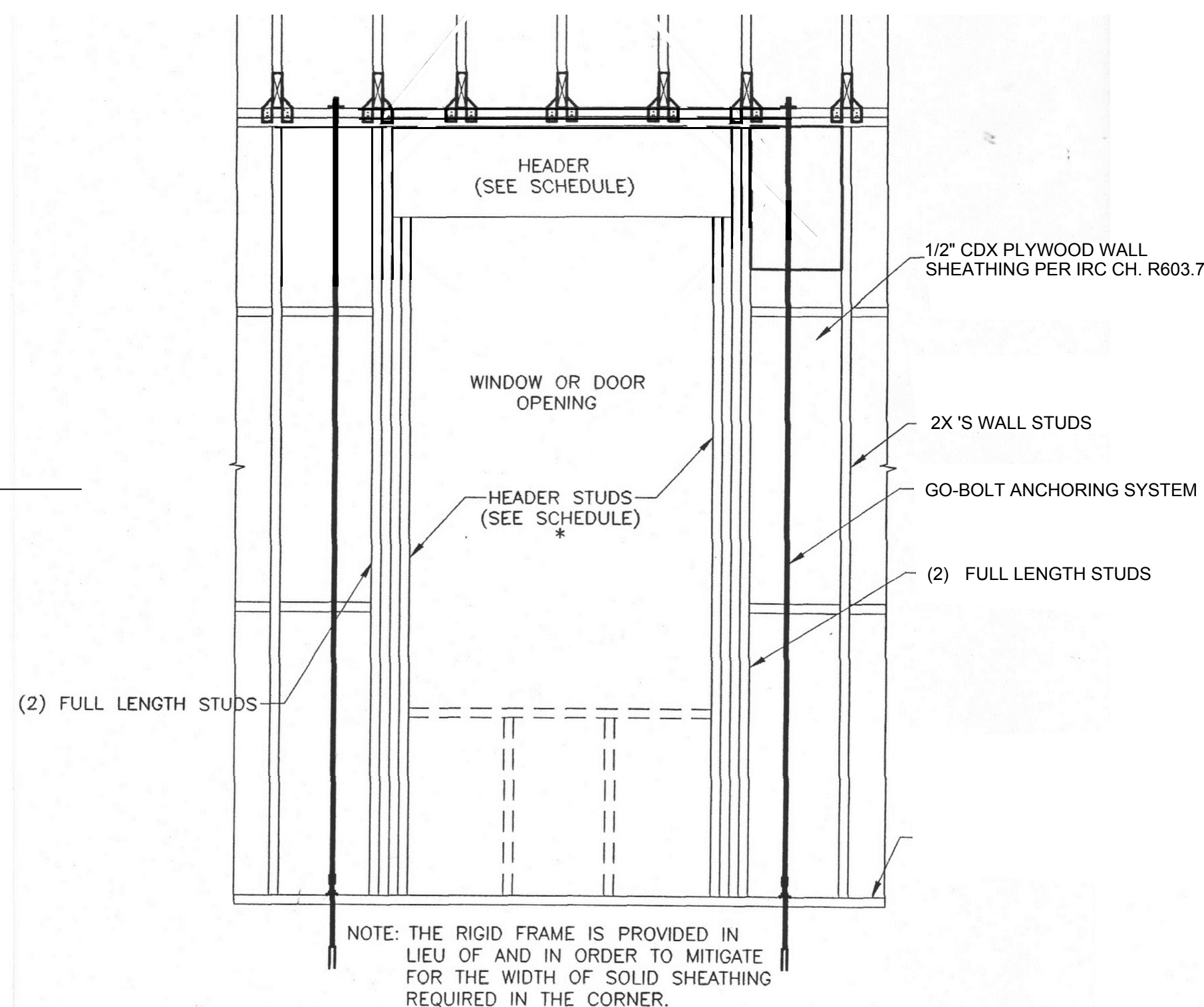
SHEET

**A11**

**A ROOF SHEATHING & CONSTRUCTION**

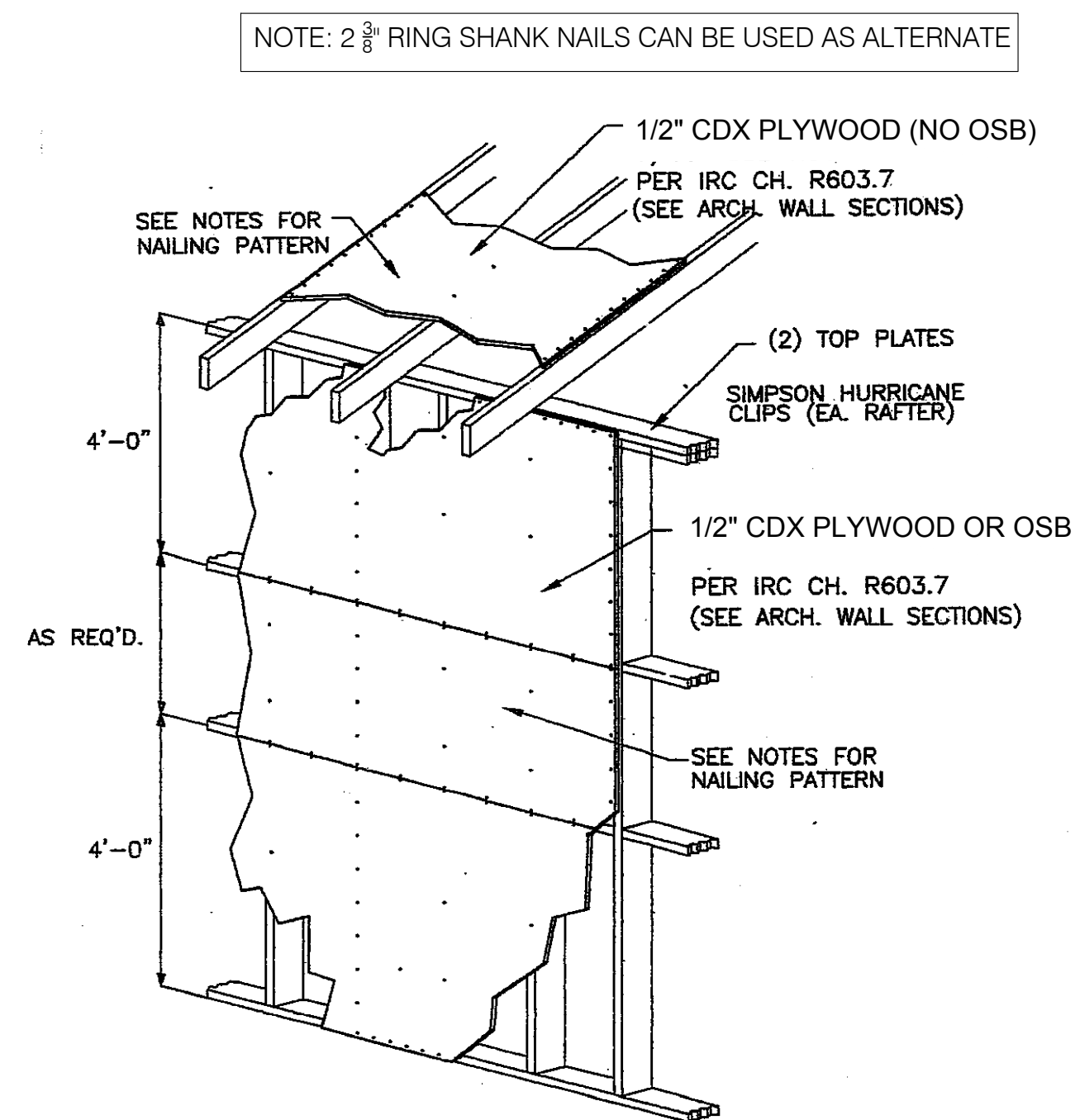
A11 SCALE: N.T.S.


**B HURRICANE RAFTER STRAPS/CLIP  
OPTIONS - MTS 30, H10 OR (2)H2.5**
**B HURRICANE RAFTER STRAPS**

A11 SCALE: N.T.S.


**C TYPICAL OPENING FRAME**

A11 SCALE: N.T.S.

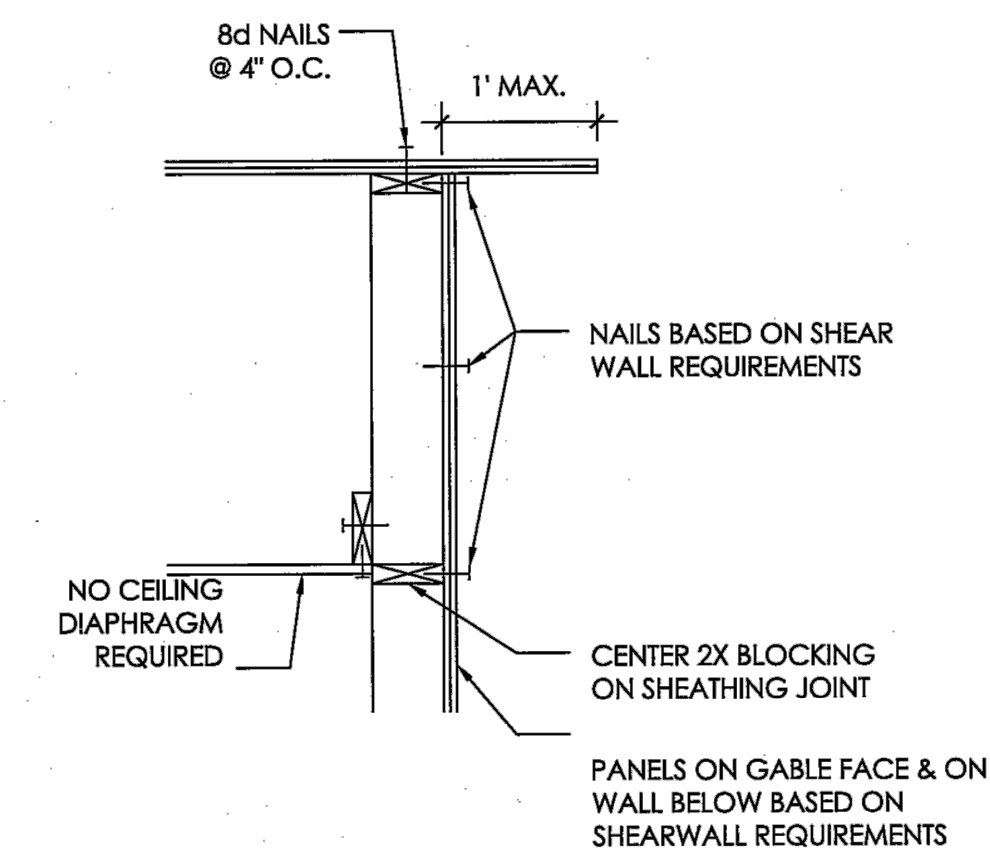


WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK)  
 3"o/c AROUND EDGES AND 6"o/c IN FIELD  
 OR  
 WALL AND ROOF SHEATHING WILL BE NAILED WITH 10d NAILS (TWISTED SHANK)  
 4"o/c AROUND EDGES AND 6"o/c IN FIELD

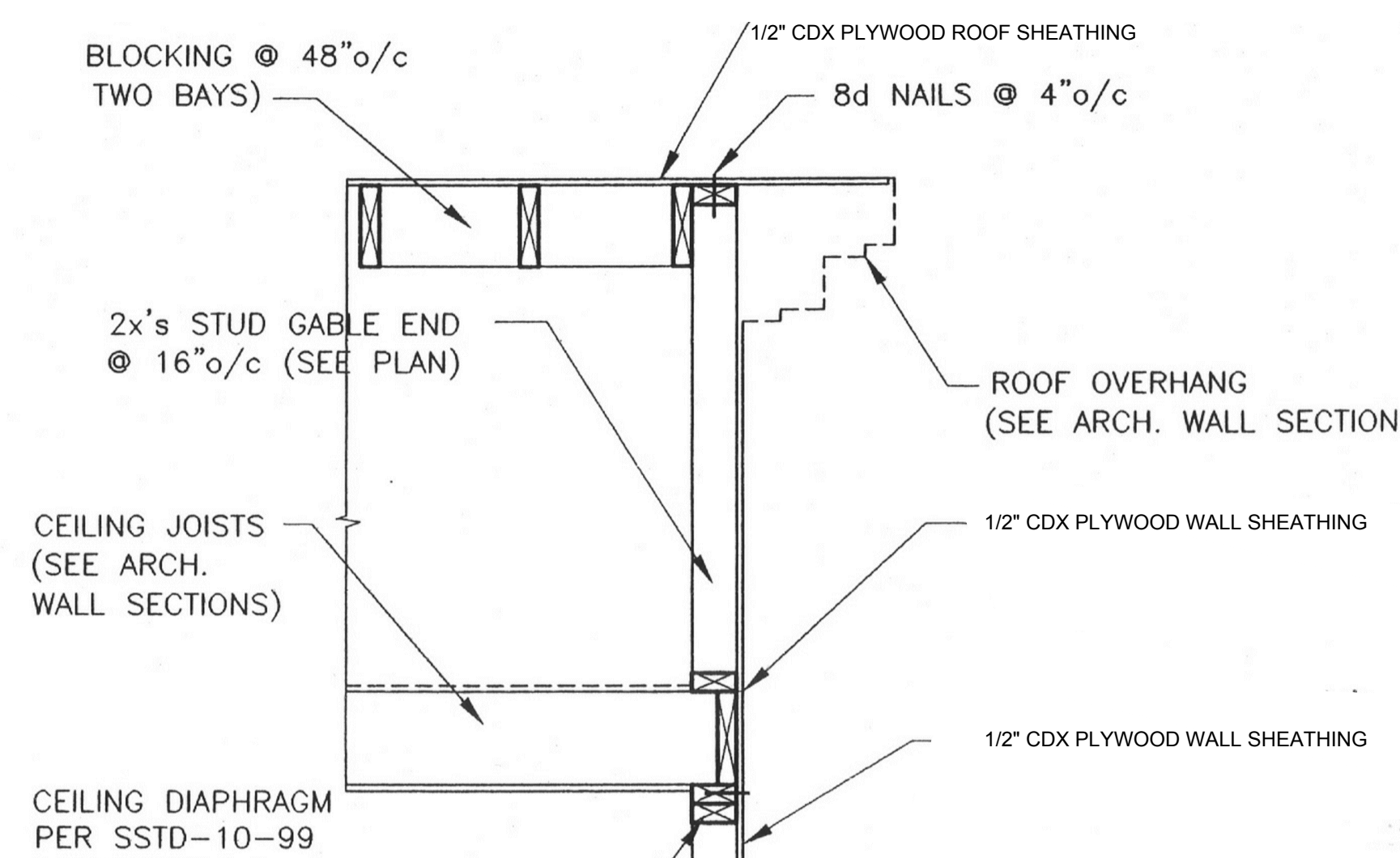
PROVIDE SHEATHING SPLICES OVER BLOCKING OR FRAMING  
 THE SHEATHING MAY BE PLACED EITHER HORIZONTALLY OR VERTICALLY

**E SHEATHING NAILING PATTERN**

A11 SCALE: N.T.S.


**D BALLOON FRAMED GABLE DETAIL (PREFERRED)**

A11 SCALE: N.T.S.


**F PLATFORM FRAMED GABLE DETAIL (ALTERNATE)**

A11 SCALE: N.T.S.

**DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x6's @ 16" O.C.)**

- (3) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (3) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (3) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

**DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x4's @ 16" O.C.)**

- (2) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (2) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (2) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

**THE CEILING / ATTIC JOISTS WILL BE:**

- 2x6's @ 16"o/c UP TO 10' SPAN
- 2x8's @ 16"o/c UP TO 13'-8" SPAN
- 2x10's @ 16"o/c UP TO 16' SPAN
- 2x12's @ 16"o/c UP TO 20' SPAN

**THE ROOF RAFTERS WILL BE:**

- 2x6's @ 16"o/c UP TO 8'-0" (UNSHORED) SPAN
- 2x8's @ 16"o/c UP TO 12'-0" (UNSHORED) SPAN
- 2x10's @ 16"o/c UP TO 15'-0" (UNSHORED) SPAN
- 2x12's @ 16"o/c UP TO 18'-0" (UNSHORED) SPAN

**THE EXTERIOR WALL STUDS SCHEDULE:**

 (FOR V<sub>35</sub> =120 MPH)

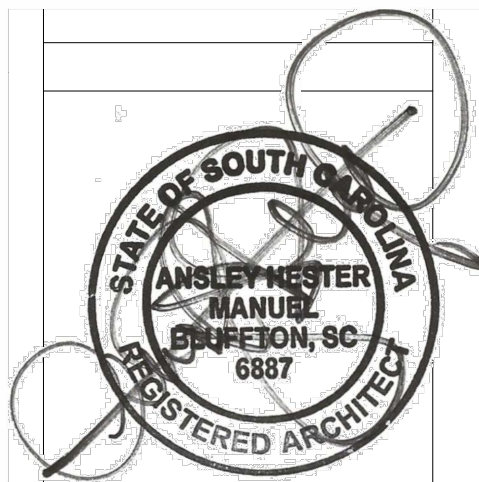
- 2x4's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 9'-1 1/2"
- 2x6's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 12'-1 1/2"
- 2x8's @ 16" o/c AT THE WALLS WITH THE PLATE HEIGHT UP TO 18'-1 1/2"
- OR DOUBLE 2x6's IN LIEU OF 2x8's

**G FRAMING SCHEDULE**

A11 SCALE: N.T.S.

PROVIDE GO-BOLT OR  
 EQUIVALENT TIE-DOWN AT  
 EVERY CORNER, OPENING AND  
 6'-0" O.C. WITH ANCHOR BOLTS  
 IN BETWEEN.





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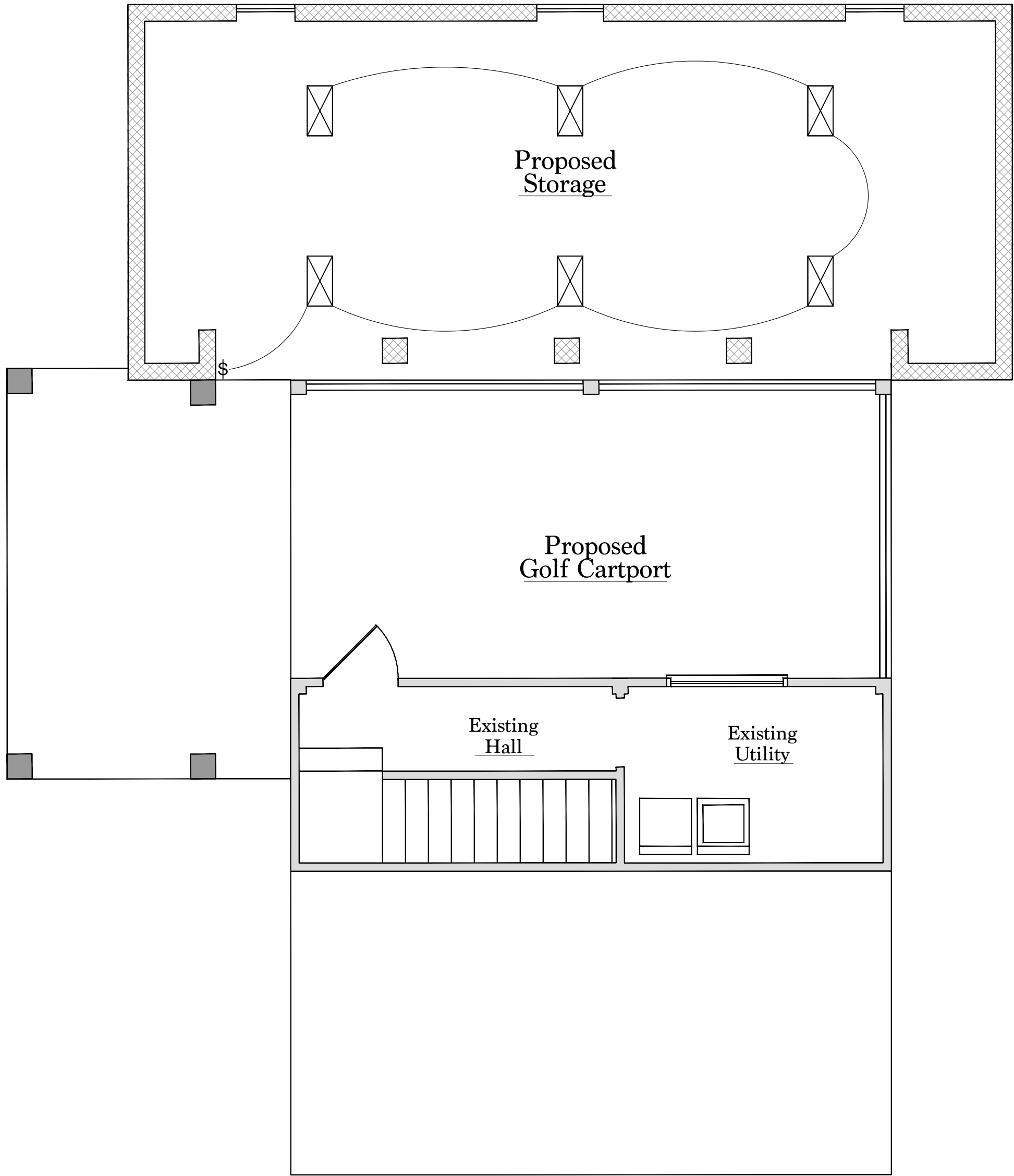
ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

PROPOSED ELECTRICAL GROUND FLOOR PLAN

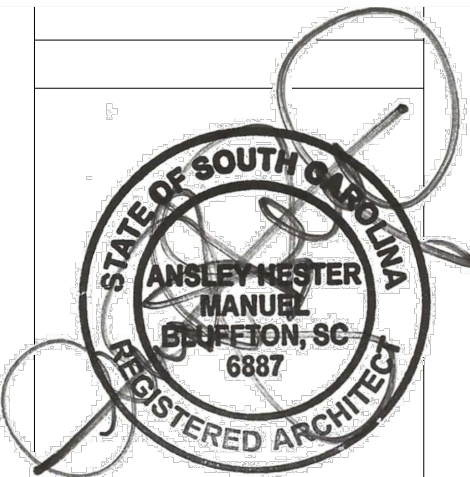
SHEET

A12

ELECTRICAL LEGEND	
	ELECTRICAL OUTLET
	220 VOLT
	42" GROUND FAULT INTERRUPT
	WATERSEAL GROUND FAULT INTERRUPT
	HALF SWITCH
	FLOOR OUTLET
	TELEPHONE JACK
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	4-WAY LIGHT SWITCH
	FLUORESCENT
	TAPE LIGHT
	THERMOSTAT
	SMOKE DETECTOR
	SECURITY SYSTEM PANEL
	CHIME
	CARBON MONOXIDE DETECTOR
	DOOR BELL
	TELEVISION CABLE
	OUTDOOR WALL SCNCE
	INDOOR WALL SCNCE
	RECESSED CAN LIGHT
	VAPOR SEALED RECESSED CAN LIGHT
	LHF LIGHT/HEAT/FAN RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	CHANDELIER
	PENDANT LIGHT
	JUNCTION BOX
	CLG FAN/LIGHT
	CLG FAN
	HOSE BIBB
	LIGHT/EX-HAUST FAN RECESSED
	RECESSED EXHAUST FAN
	PANEL
	METER
	DISCONNECT
	STEP LIGHTS



**A**  
**A12** PROPOSED ELECTRICAL GROUND FLOOR PLAN  
SCALE: 1/4"=1'-0"



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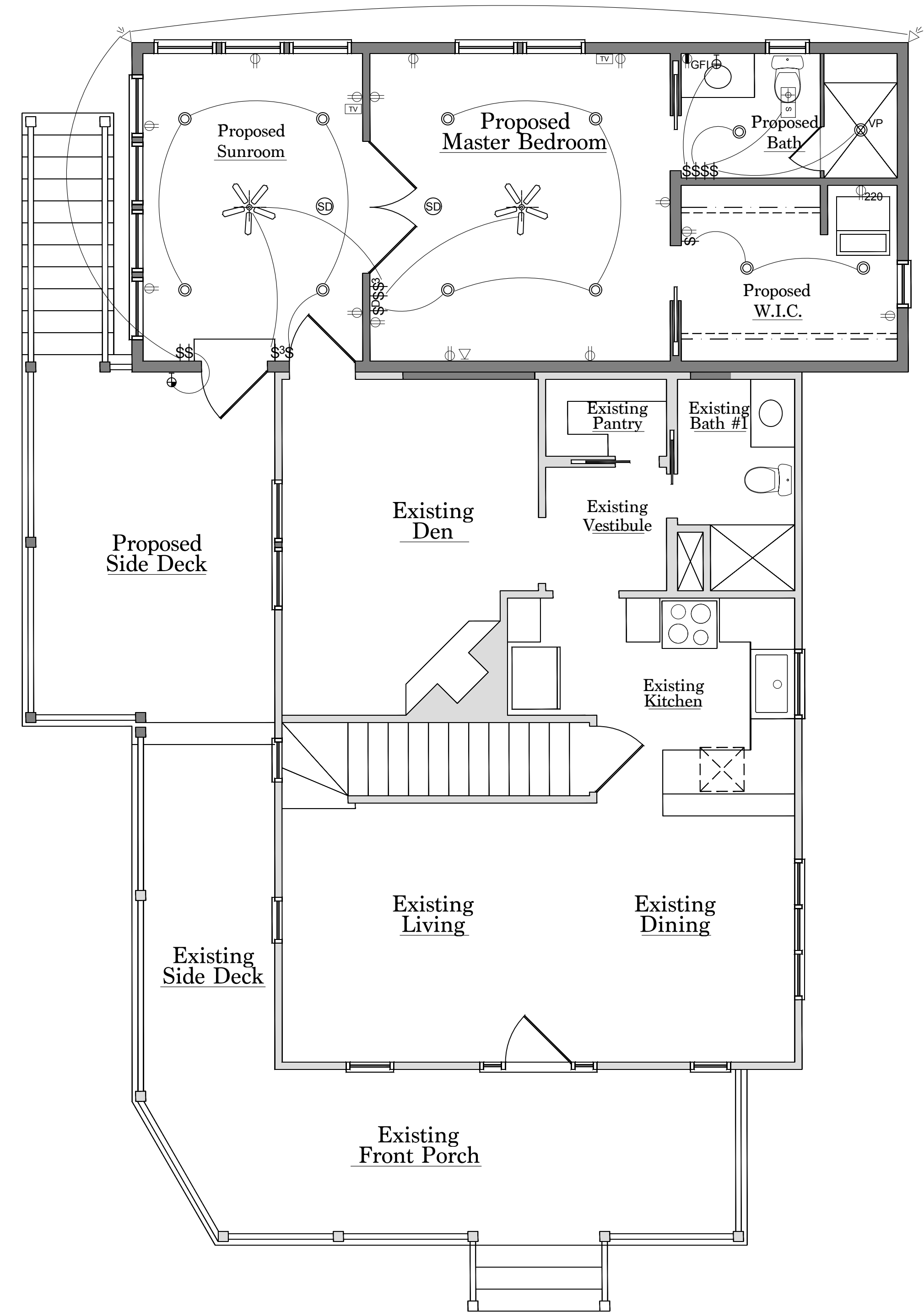
ADDITIONS AND RENOVATIONS TO THE  
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BLUFFTON, SC 29910

PROPOSED ELECTRICAL FIRST FLR PLAN

SHEET  
**A13**

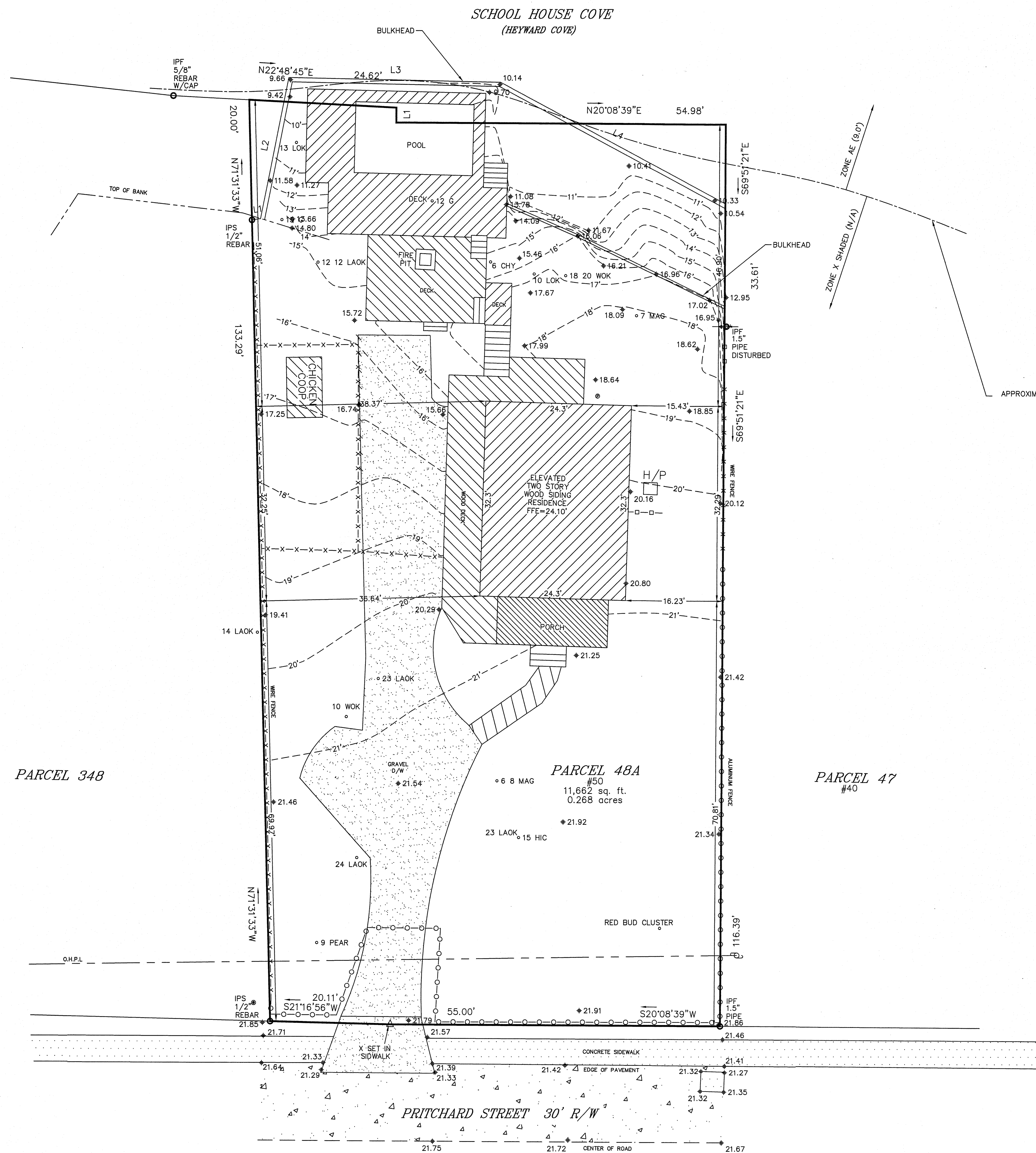
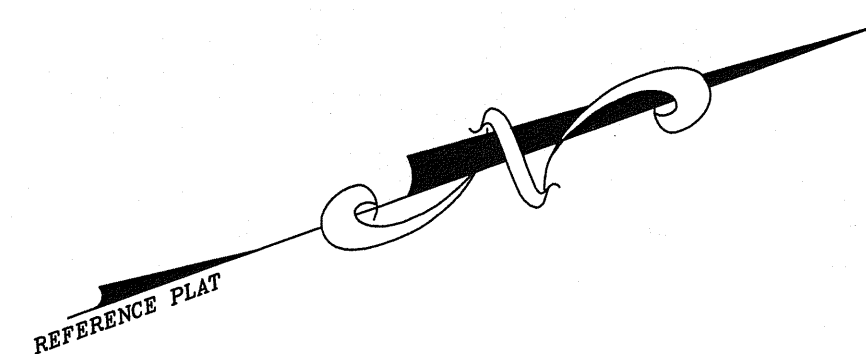
# ELECTRICAL LEGEND

	ELECTRICAL OUTLET
	220 VOLT
	42" GROUND FAULT INTERRUPT
	WATERSEAL GROUND FAULT INTERRUPT
	HALF SWITCH
	FLOOR OUTLET
	TELEPHONE JACK
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	4-WAY LIGHT SWITCH
	FLUORESCENT
	UNDER CABINET LIGHT / CLOSET
	THERMOSTAT
	SMOKE DETECTOR
	SECURITY SYSTEM PANEL
	CHIME
	CARBON MONOXIDE DETECTOR
	DOOR BELL
	TELEVISION CABLE
	OUTDOOR WALL SCENCE
	INDOOR WALL SCENCE
	RECESSED CAN LIGHT
	VAPOR SEALED RECESSED CAN LIGHT
	LHF LIGHT/HEAT/FAN RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	CHANDELIER
	PENDANT LIGHT
	JUNCTION BOX
	CLG FAN/LIGHT
	CLG FAN
	HOSE BIBB
	LIGHT/EXHAUST FAN RECESSED
	RECESSED EXHAUST FAN
	PANEL
	METER
	DISCONNECT
	FLOOD LIGHT



**A**  
**A13** PROPOSED ELECTRICAL FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"





LINE TABLE		
LINE	LENGTH	BEARING
L1	2.48	S69°50'48"E

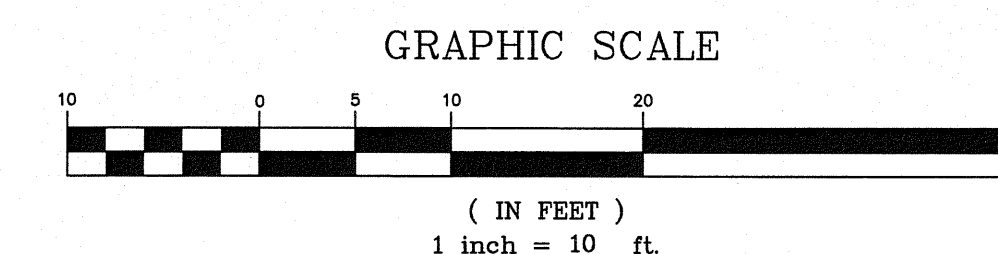
BULKHEAD LINE TABLE		
LINE	LENGTH	BEARING
L1	1.44	N11°27'30"E
L2	23.97	N58°50'51"W
L3	35.38	N21°05'16"E
L4	42.59	N48°06'16"E

**LEGEND**

CMB - CONCRETE MONUMENT SET  
 CMF - CONCRETE MONUMENT FOUND  
 IPF - IRON PIN SET  
 IFF - IRON PIN FOUND  
 # - INDICATES STREET ADDRESS  
 TBM - TEMPORARY BENCH MARK  
 BSL - BUILDING SETBACK LINE  
 @ - TELEPHONE PEDSTAL/COMMUNICATOR  
 P - POWER POLE  
 O.H.P.L. - OVER HEAD POWER LINE  
 F - FIRE HYDRANT  
 P - PROPANE TANK

#### TREE LEGEND

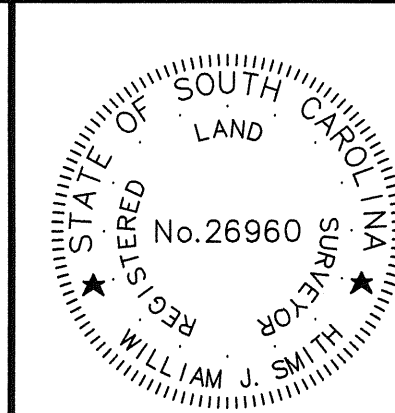
WHIOK - WHITE OAK  
 LAOK - LAUREL OAK  
 LOK - LIVE OAK  
 WOK - WATER OAK  
 ROK - RED OAK  
 PCAN - PECAN  
 MAG - MAGNOLIA  
 HIC - HICKORY  
 MPL - MAPLE  
 PLM - PALMETTO  
 CHY - CHERRY  
 HLY - HOLLY  
 CDR - CEDAR  
 RDB - RED BUD  
 SAS - SASSAFRAS  
 DOG - DOGWOOD  
 SB - SUGARBERRY  
 P - PINE  
 G - GUM  
 B - BAY



#### T-SQUARE SURVEYING

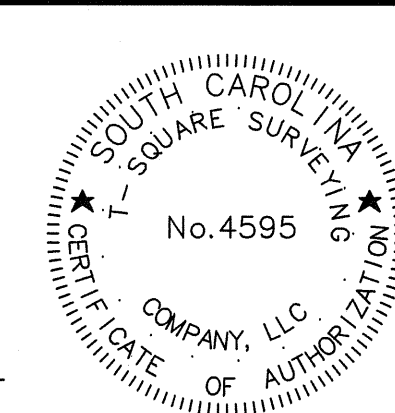
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 Bluffton, S.C. 29910  
 tsquare@earthlink.net  
 Phone 843-757-2650 Fax 843-757-5758

JOB No. 16-158AT



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PAT MASON

A TREE & TOPOGRAPHIC SURVEY OF PARCEL 48A PRITCHARD STREET,  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 48A

#### Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X SHADED & AE, Minimum Required Elevation 9.0 Ft. NAVD83.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s)  
PLAT BOOK 150 AT PAGE 60

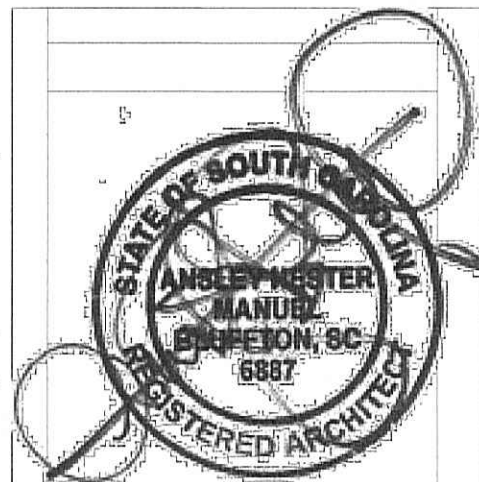
DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: MAY 10, 2023





DATE :

11/13/24

MANUEL STUDIO, LLC

Ansley Hester Manuel, Architect

104 Pritchard Street, Bluffton, South Carolina 29910

843.338.8932 cell manuel.studio@aol.com

ADDITIONS AND RENOVATIONS TO THE  
BETH MCHUGH RESIDENCE  
50 PRITCHARD STREET  
BLUFFTON, SC 29910

SHEET

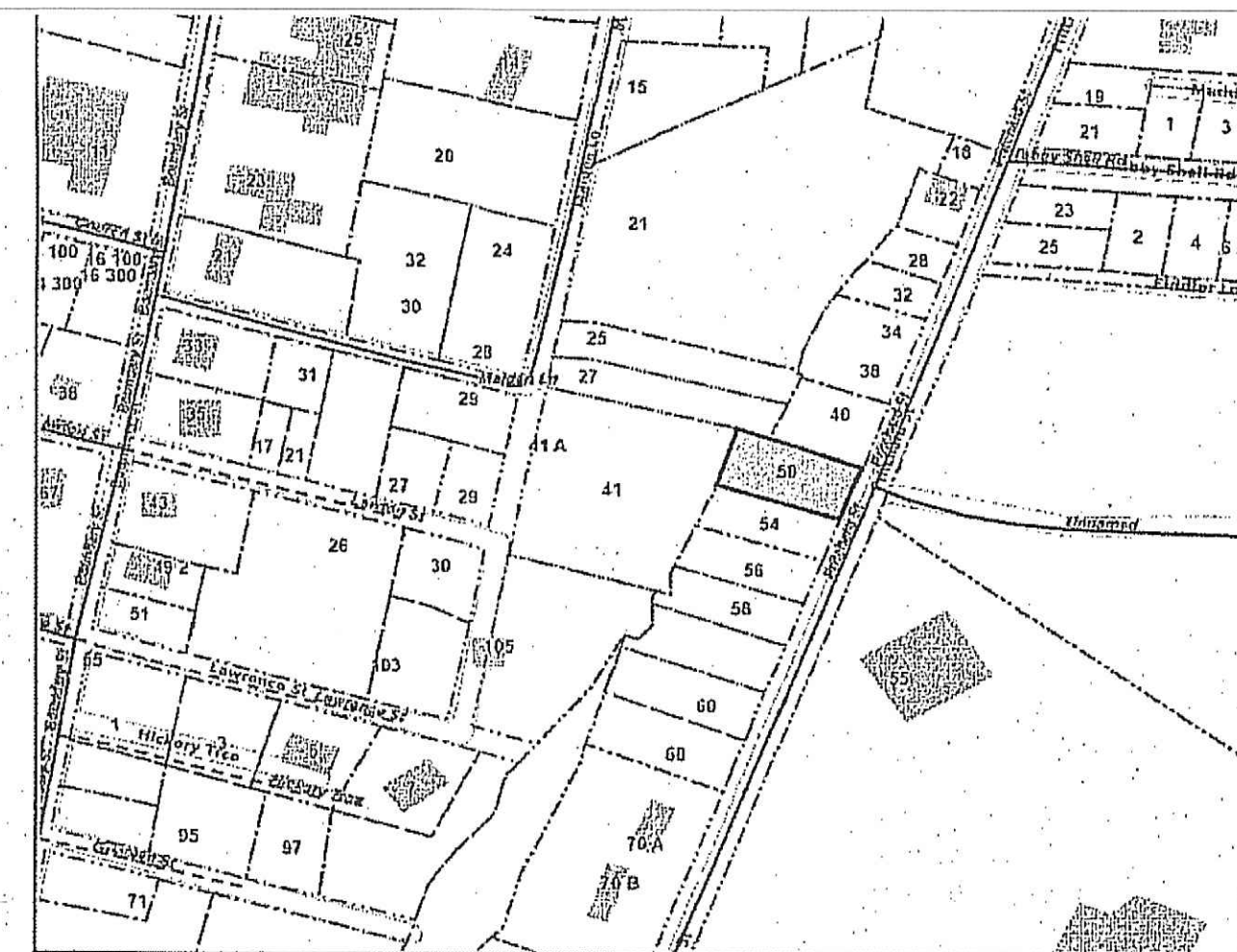
C2

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

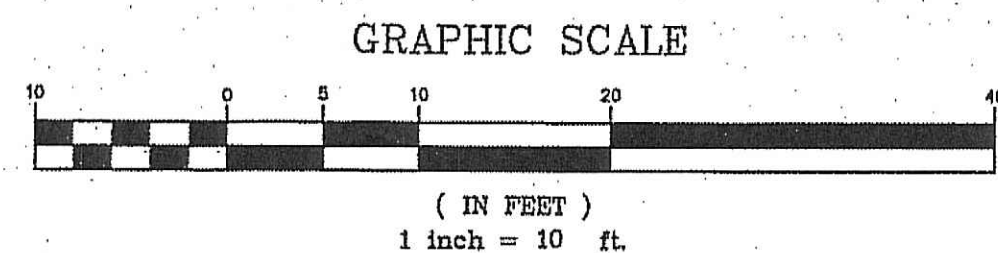
DATE: MAY 10, 2023



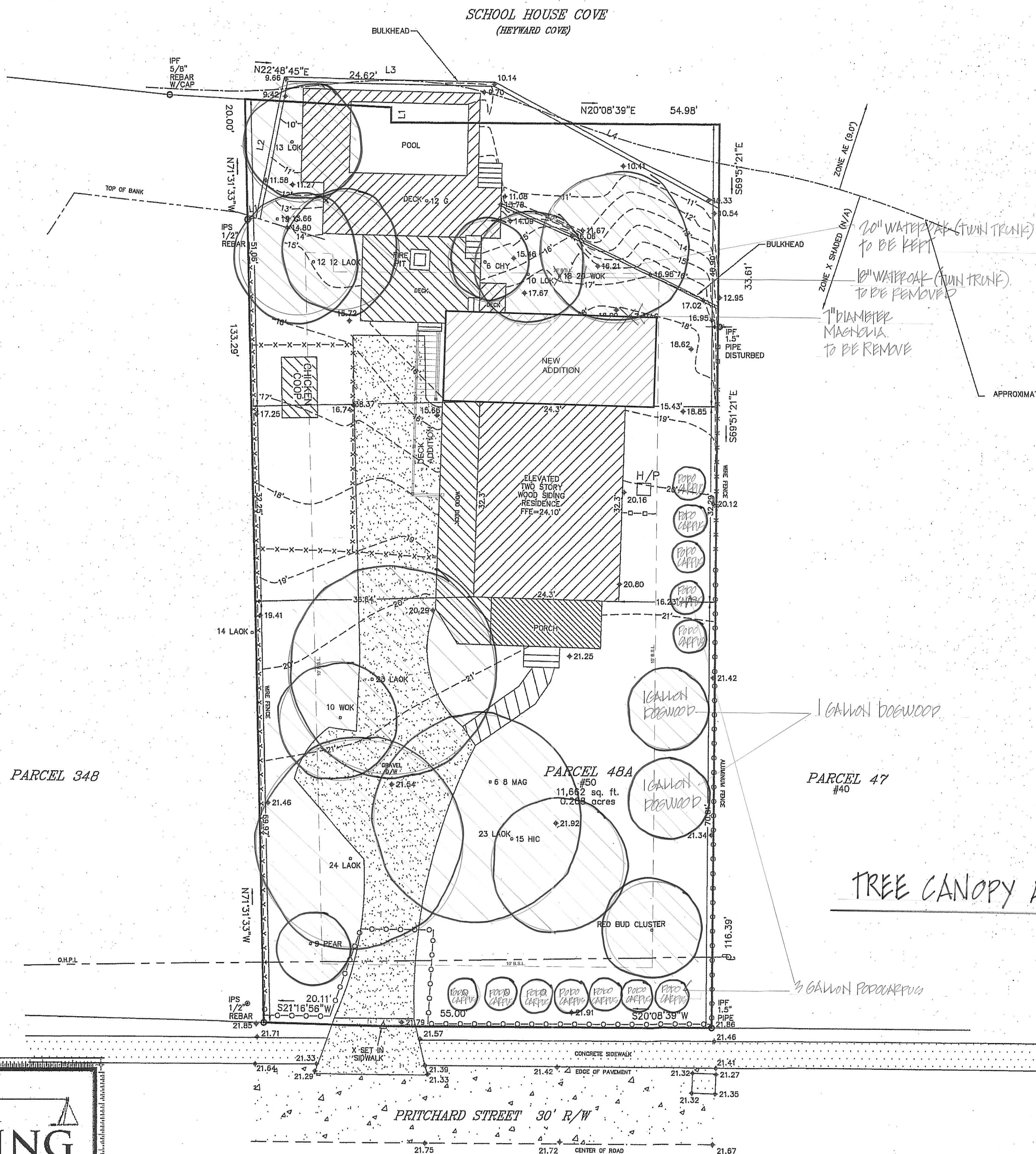
LOCATION MAP NOT TO SCALE

LINE TABLE		
LINE	LENGTH	BEARING
L1	2.48	S69°50'48"E

BULKHEAD LINE TABLE		
LINE	LENGTH	BEARING
L1	1.44	N11°27'30"E
L2	23.97	N58°50'51"W
L3	35.38	N21°05'16"E
L4	42.59	N48°06'16"E



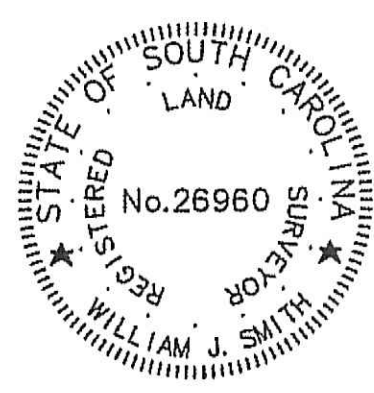
## TREE CANOPY AND LANDSCAPE PLAN



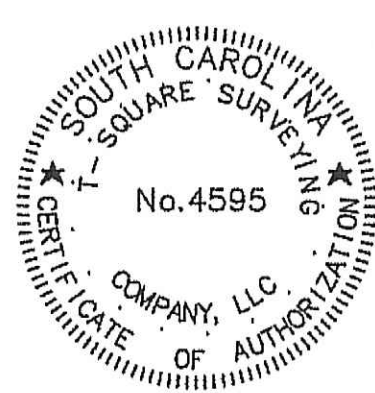
- TREE LEGEND
- WHIOK - WHITE OAK
  - LAOK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLV - HOLLY
  - CDR - CEDAR
  - RDB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY

T SQUARE SURVEYING  
PROFESSIONAL LAND SURVEYORSP.O. Drawer 330  
139 Burnt Church Road  
Bluffton, SC 29910  
tsquare@earthlink.net  
Phone 843-757-2650 Fax 843-757-5758

JOB No. 16-158AT

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INFORMATION & BELIEF, THE SURVEY SHOWN HEREON  
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF  
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Reference Flats:  
PLAT BOOK 150 AT PAGE 60





## PLAN REVIEW COMMENTS FOR COFA-08-24-019280

Section VII. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

**Plan Type:** Historic District **Apply Date:** 08/13/2024  
**Plan Status:** Active **Plan Address:** 50 Pritchard St Street  
BLUFFTON, SC 29910  
**Case Manager:** Charlotte Moore **Plan PIN #:** R610 039 00A 048A 0000  
**Plan Description:** A request by Ansley H. Manuel, architect, on behalf of the owner, Beth McHugh, for review of a Certificate of Appropriateness - HD for a proposed 1-story addition of approximately 595 SF, deck addition, and new metal porch roof located at 50 Pritchard Street in the Old Town Bluffton Historic District and zoned Neighborhood General. STATUS: This item will be heard at the September 9, 2024 Historic Preservation Review Committee meeting.

### Staff Review (HD)

**Submission #: 1** Received: 08/13/2024 Completed: 09/06/2024

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	09/06/2024	Charlotte Moore	Approved with Conditions

**Comments:**

1. Per the COFA-HD application, a projective narrative is required to be submitted with information describing compliance with criteria in UDO Article 3 (UDO Sec. 3.18). Photos as indicated on the COFA-HD application are also to be provided. (UDO Sec. 3.18. Manual)

Section VII. Item #1.

2. The addition to the residence is being reviewed as an Additional Building Type with Vernacular characteristics. (UDO Sec. 5.15.8.K). The building setbacks, build-to zone and height of the Additional building type within the Neighborhood General-HD District apply. (UDO Sec. 5.15.5.C).

3. Consideration shall be given to the existing tree canopy and every reasonable effort made to maximum the preservation of this canopy. The canopy shall be a minimum of 75% lot coverage. (UDO Secs. 5.3.3.C and 5.3.3.G). At time of Final Submittal, provide a landscape plan showing proposed tree removal plan, foundation plantings, and canopy calculations. A Town of Bluffton Tree Removal Permit is required for any tree 14" (DBH) or greater located on a single family lot and proposed for removal (UDO Section 3.22.2.A.).

4. Information on service yard location, including electric meters is needed to determine if any changes are proposed; if so, screening will need to be identified. (UDO Sec. 5.15.5.F.10)

5. Stucco is permitted over CMU wall and must have a tabby, sand or steel-trowel finish. Identify stucco application, which must be consistent with existing foundation. (UDO Sec. 5.15.5.G.1.a.)

6. Provide information regarding the elevation in the recessed porch area, and ensure material change only takes place at an interior corner (UDO 5.15.6.G.)

7. Identify the material(s) to be used for the deck piers (UDO Sec. 5.15.5.H.2)

8. Provide window and door details to confirm compliance with UDO Sec. 5.15.6.I.2. and 3.

9. Provide information to clarify the type of metal roofing proposed. Standing seam and 5-V metal crimp are permitted. (UDO Section 5.15.6.3.a)

10. Identify the deck skirting material proposed and ensure that it complies with UDO Sec. 5.15.6.O.

11. Identify cornice and soffit material proposed and ensure that it complies with UDO Sec. 5.15.6.P.

12. As the project moves toward Final submittal, provide architectural details for the following: roof, windows, door, balustrade, skirting, water table trim, corner board; a section through the eave showing the materials and configuration; and, ensure all materials are identified on the plans including existing building materials to ensure consistency.

Watershed Management Review	08/29/2024	Samantha Crotty	Approved with Conditions
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**Comments:**

Comments may be provided at time of building permit/stormwater permit submittal.

Beaufort Jasper Water and Sewer Review	09/05/2024	Matthew Michaels	Approved
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**Comments:**

No Comments as the property owner is adding on to an existing house.

Transportation Department Review - HD	08/14/2024	Megan James	Approved
---------------------------------------	------------	-------------	----------

**Comments:**

No comments

**Plan Review Case Notes:**



# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	January 8, 2025
<b>PROJECT:</b>	COFA-08-24-019268 60 Bruin Road, Lot 23 (Tabby Roads) New Commercial Construction
<b>APPLICANT:</b>	Sarah Kepple (Pearce Scott Architects)
<b>PROPERTY OWNERS:</b>	Chris Dalzell (Prestige Worldwide Properties, LLC)
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant, Pearce Scott Architects, on behalf of the owners, Prestige Worldwide Properties, LLC, requests the Historic Preservation Commission (HPC) approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new 2.5-story commercial main structure of approximately 4,200 SF and a detached 2-story Carriage House of approximately 1,100 SF to be constructed at 60 Bruin Road, Lot 23, in the Tabby Roads Development within Old Town Bluffton Historic District. The property is zoned Neighborhood General-HD (NG-HD), includes 0.396 acres, and is tax map number R610-039-000-1204-0000. See Attachments 1 and 2 for location/zoning map and application/narrative.

**INTRODUCTION:** The subject property is located on the south side of Bruin Road between Pearl Street to the west and Burnt Church Road to the east. The adjacent property to the south is an undeveloped wooded lot. While future road improvements are planned for Burnt Church Road, Town Staff confirmed with Beaufort County that the subject property is unaffected.

The proposed main building is a 2.5-story structure of 2,000 SF on the first floor and 2,200 SF on the second floor; the square footage for the half-story is not provided. The building will be located at the northwest corner of the property and include porches—a ground floor porch on the Pearl Street elevation and a ground floor porch on the Bruin Road elevation. The main/front elevation is Pearl Street. The detached Carriage House will have 600 SF on the first floor and 500 SF on the second floor. The Bruin Road elevation is the main/front elevation and will include a front porch. The Bruin Road porches for both structures are proposed to be connected to the street by a sidewalk; placement of the sidewalks and landscaping into a utility easement and the Bruin Road right-of-way will require proof of

permission by the easement holder and a right-of-way encroachment permit from the State of South Carolina. The buildings cannot encroach into the easement.

The main building has Center Hall House characteristics but is reviewed as an Additional Building Type. The main structure has a cross-hip roof. On the Pearl Street elevation, the ground floor porch is nearly full-façade; the space above this porch appears as a second floor enclosed porch. Wall materials are predominantly fiber cementitious board (horizontal Hardie siding with 7" exposure, vertical Hardie siding, and Hardie panels). A horizontal Boral board trim is proposed at the base of each elevation. The roof will be standing seam metal. The Carriage House has similar architectural and material characteristics. Architectural details are provided in Attachment 3.

A gravel parking lot with 13 parking spaces, to include two ADA compliant parking spaces and pathways, is proposed along the southern half of the property. The location of the driveway apron will cause the removal of at least one on-street parking space.

Staff comments on the conceptual design were reviewed at the August 26, 2024 Historic Preservation Committee Meeting (HPRC) (Attachment 6). The approval letter from Tabby Roads HARB is provided as Attachment 5.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure predictable and compatible development and architecture without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

**1. Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that "The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete."

Old Town Bluffton Historic District is a locally designated historic district. The proposed buildings have been designed to be sympathetic to the architectural character of the neighboring structures and will enhance the neighborhood by adding architectural variety and create a more complete built environment.



- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

**2. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed buildings will be in conformance with applicable provisions provided in Article 5:

**1) General Standards:**

- a) The service yard area must be large enough to include HVAC units, utilities and receptacles for all businesses. Utility meters must be screened from public view; the location is not identified and may not yet be known. (UDO Sec. 5.15.5.F.10.)
- b) Sheet A501 of the architectural drawings shows an attic/storage space that is accessible via a door. To confirm if this floor is a true half-story, identify the percentage of the total floor area that has head room of five or more feet. If it is more than 70% of the total floor area of the story directly beneath, it will be considered a full story. Also, provide Sheet A103 missing from the plan set. (UDO Sec. 5.15.5.F.1.f.)

**2) Building Walls:**

- a) The exposed concrete foundation beneath the first-floor elevation must be a material that complies with the UDO. Tabby stucco (mixed shell size only) or stucco over block or concrete (sand-finished or steel trowel only) are permitted by UDO Sec. 5.15.6.G.1.a.
- b) A horizontal Boral board and batten trim is proposed at the base of each elevation on the main and Carriage House structures, extending upwards to ground floor windows. Per UDO Sec. 5.15.6.G., material changes should occur only at the floor level. Further, as Boral is not a permitted wall finish material per UDO Sec. 5.15.6.G.3., the HPC will need to make a determination regarding its appropriateness of the material and the proposed application.

- 3) **Railings:** The material to be used for railings on the Pearl Street elevation is identified only as “metal.” Per UDO Sec. 5.15.6.H.2.d., wood (termite resistant, painted or natural) and wrought or cast iron are the only permitted railing materials.

**4) Doors and Windows:**

- a) Per UDO Sec. 5.15.6.I.2.b., doors must be wood, metal or metal-clad. A door schedule must be provided with a revised Final Plan to determine compliance. Only the Pearl Street door material is provided (mahogany wood).
  - b) It appears that two slider windows are proposed on the ground floor/ Burnt Church Road elevation of the Carriage House. The window schedule (Sheet A801) identifies these windows as double-hung. Per UDO Sec. 5.15.6.I.3.b., only single-hung, double-hung, casement, industrial, tilt and fixed frame windows are permitted.
  - c) The transom window over the door on the Pearl Street elevation does not align with adjacent windows. Per UDO Sec. 5.15.5.F.4.a., “[o]verall building proportions and individual building features shall have a proportional relationship with one another.” The transom height should be lowered to align with the windows (like the transom window shown on Bruin Road elevation.)
- 5) **Gutters:** Half-round gutters are proposed but material has not been identified. Permitted gutter materials are copper, galvanized steel, and aluminum (14-18 gauge). Downspouts must also match material and finish. (UDO Sec. 5.15.6.J.1.b. and 2.c.).
- 6) **Garden Walls:** Two stand-alone “garden” walls are proposed: One adjacent to the parking area along Pearl Street, and one adjacent to the Bruin Road right-of-way, the latter of which is proposed to be a 36-inch “pierced brick wall” with a 42-inch tall 20x20-inch brick column. Presumably, these walls are intended to screen the parking lot but would only do so partially. Wall details must be provided to show compliance with UDO Sec. 5.15.6.K. Further, compliance with parking lot screening is also required (see #8 below).
- 7) **Soffits:** Smooth-face Hardie panels are proposed for some soffits. UDO Sec. 5.15.6.P.5. states that soffits should be finished with beaded, v-groove or tongue and groove. The HPC should determine if smooth-face soffits are appropriate.
- 8) **Landscaping:** Per the Applications Manual, a site plan (survey) indicating location, species, and caliper of existing trees and trees to be removed must be provided. (Applications Manual and UDO Section 3.22.2.A.). Replacement trees will be required as specified in UDO Sec. 5.3.7.F.4. Additionally, a tree canopy of 75% lot coverage, not including roof tops, must be provided for sites less than one (1) acre. and canopy coverage calculations shown per UDO Sec. 5.3.7.G. The canopy coverage to be provided appears to be 53%. Further, UDO Sec. 5.3.7.A. requires at least one large canopy street tree, and a foundation planting area at least 8 feet

wide shall be maintained around all structures. The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E. A Tree Removal Permit will be required.

- 7) **Parking Area:** The screening of parking lots in Old Town Bluffton Historic District has specific UDO requirements, including: "...the setback between any public right-of-way and an off-street parking area shall contain a combination of landscaping, including a variety of trees and shrubs capable of providing year round screening, and architectural features such as, but not limited to, garden walls, fences and columns designed in accordance with the Old Town Bluffton Historic District Architectural Standards. The visual buffer shall be a minimum of 42 inches in height and should have a minimum 50% opacity. Shrubs shall be projected to reach their required height and opacity within one year of installation." Further, "the buffer between any public right-of-way and an off-street parking area shall contain pedestrian amenities such as, but not limited to, benches, fountains, are or other features to create visual interest and continuity in the streetscape." The Landscape Plan must be revised to show compliance with UDO Sec. 5.15.7.D.
- 8) **Other:**
  - a) Landscaping and hardscaping encroachments into State-owned right-of-way (SC 46) will require approval of an encroachment permit from the State. Proposed encroachments into the utility easement will require proof of approval.
  - b) Because of the driveway apron installation on Pearl Street, the existing on-street parking configuration will change. The on-street parking space to remain must be at least 18 feet in length.
  - c) If exterior lighting is to be provided, a light plan shall be provided to show compliance with UDO Sec. 5.12.
  - d) All signs must be reviewed through the Site Feature-HD process and meet the requirements found in UDO Sec. 5.15.6.Q.

3. **Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.**

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing,



#### 4. Compliance with applicable requirements in the Applications Manual.

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #2.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. The service yard area must be large enough to include HVAC units, utilities and receptacles for all businesses. Utility meters must be screened from public view; the location is not identified and may not yet be known. (UDO Sec. 5.15.5.F.10.).
2. Confirm whether the attic/storage space in the main structure is a true half-story applying the calculation in UDO Sec. 5.15.5.F.1.f. and provide Sheet A103 missing from the plan set.
3. The exposed concrete foundation shall be tabby stucco (mixed shell size only) or stucco over block or concrete (sand-finished or steel trowel only). (UDO Sec. 5.15.6.G.1.a.).
4. Identify the permitted material to be used for the stair and ramp railings. (UDO Sec. 5.15.6.H.2.d.)
5. Provide a door schedule to show material compliance with UDO Sec. 5.15.6.I.2.b.
6. Revise the slider windows to a permitted window type identified in UDO Sec. 5.15.6.I.3.b.
7. Align the transom window over the door on the Pearl Street elevation with the adjacent windows to comply with UDO Sec. 5.15.5.F.4.a.
8. Identify the permitted material to be used for gutters and downspouts. (UDO Secs. 5.15.6.J.1.b. and 2.c.).
9. Provide details for the “garden” walls proposed adjacent to the Pearl Street and Bruin Road rights-of-way to show compliance with UDO Sec. 5.15.6.K.
10. Per the Applications Manual, a site plan (survey) indicating location, species, and caliper of existing trees to be removed must be provided. (Applications Manual and UDO Section 3.22.2.A.). Replacement trees will be required as specified in UDO Sec. 5.3.7.F.4. Additionally, a tree canopy of 75% lot coverage, not including roof tops, must be provided and canopy coverage calculations shown per UDO Sec. 5.3.7.G. At least one large canopy street tree, and a foundation planting area at least eight-feet wide shall be maintained around all structures (UDO Sec. 5.3.7.A.) The foundation planting shall incorporate a mixture of trees, shrubs, and ground covers per UDO Sec. 5.3.7.E. A Tree Removal Permit will be required.

11. The setback between any public right-of-way and an off-street parking area shall contain a combination of landscaping (a variety of trees and shrubs capable of providing year-round screening) and architectural features such as, but not limited to, garden walls, fences and columns designed in accordance with the Old Town Bluffton Historic District Architectural Standards. The visual buffer shall be a minimum of 42 inches in height and should have a minimum 50% opacity. Shrubs shall be projected to reach their required height and opacity within one year of installation. Further, “the buffer between any public right-of-way and an off-street parking area shall contain pedestrian amenities such as, but not limited to, benches, fountains, are or other features to create visual interest and continuity in the streetscape.” The Landscape Plan must be revised to show compliance with UDO Sec. 5.15.7.D.
12. Provide proof of approval of any landscaping, hardscaping or other potential encroachments into the State-owned right-of-way (SC 46/Bruin Road) and the utility easement.
13. Show that the on-street parking space to remain on Pearl Street will be at least 18 feet in length to comply with the UDO. If the length is not available, the Tabby Road HARB must be consulted to determine an alternate treatment of the space.
14. If exterior lighting is to be provided, a light plan shall be provided to show compliance with UDO Sec. 5.12.
15. Per UDO Sec. 3.19, a Site Feature-HD permit is required for applicable future signage.

Further, Town Staff requests a determination by the Historic Preservation Commission regarding the following:

16. The application of different wall materials on the ground floor of the main building and Carriage House, as well as the use of Boral material.
17. The use of smooth-face Hardie panel for some soffits.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

**ATTACHMENTS:**

1. Location and Zoning Map
2. Application and Narrative
3. Architectural Drawings

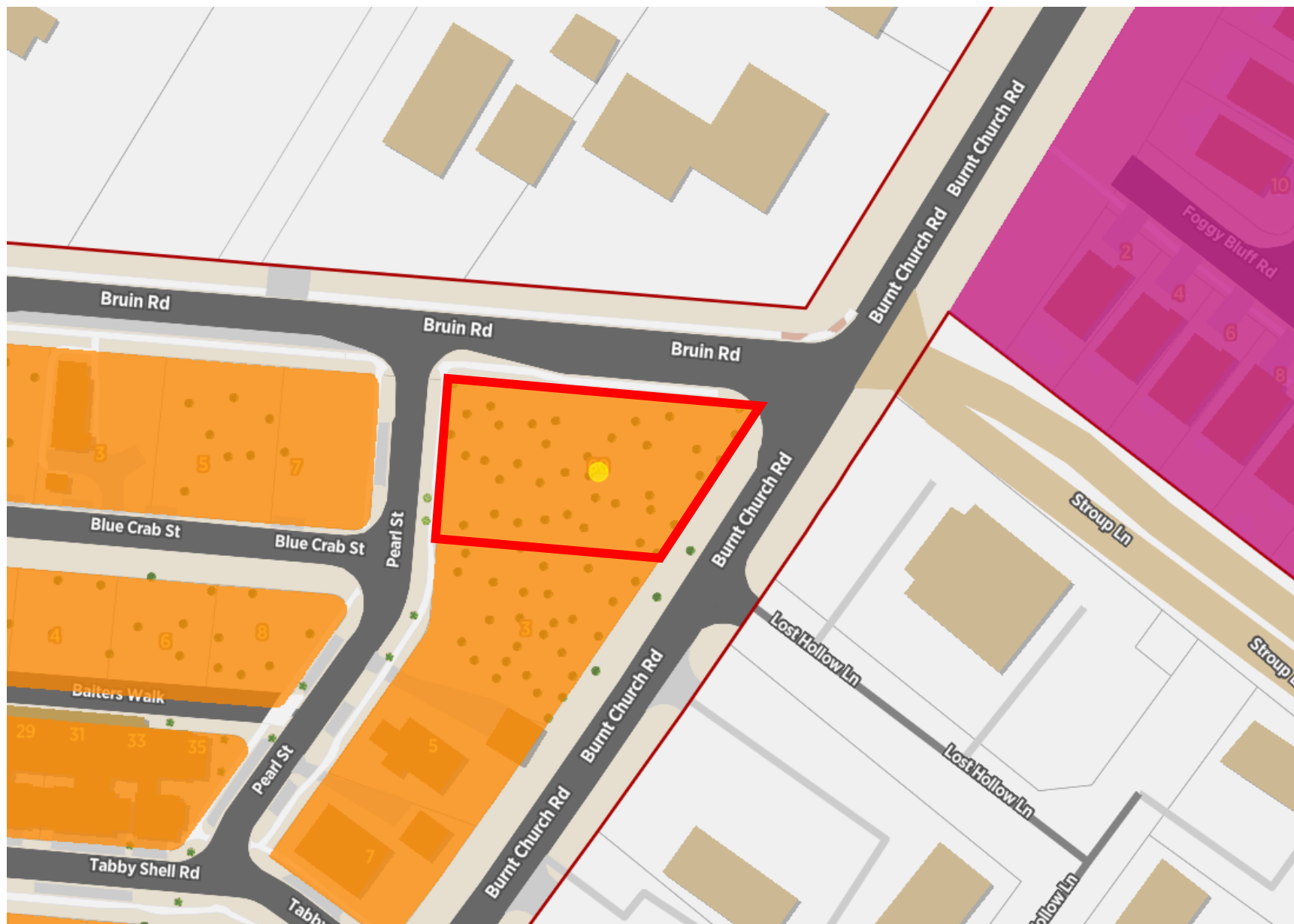
4. Survey and Landscape Plan
5. Tabby Roads HARB Letter
6. HPRC Comments



## LOCATION & ZONING MAP

### **60 Bruin Road**

Neighborhood General-Historic District (NG-HD)





**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custom

Section VII. Item #2.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Sarah Kepple, Pearce Scott Architects		Name: Chris Dalzell, Prestige Worldwide Properties, LLC	
Phone: 843-837-5700		Phone: 843-247-0157	
Mailing Address: 6 State of Mind St., Suite 200 Bluffton, SC 29910		Mailing Address: 4366 Bluffton Parkway Bluffton, SC 29910	
E-mail: sarah@pscottarch.com		E-mail: chris@shoreconsc.com	
Town Business License # (if applicable):			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: New Commercial Building at 60 Bruin Rd.		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 60 Bruin Rd., Lot 23, Tabby Roads S/D		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General-HD		Application for:	
Acreage: 0.396 acres		<input checked="" type="checkbox"/> New Construction	
Tax Map Number(s): R610-039-000-1204-0000		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: New Commercial office building and accessory building.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date:	
Applicant Signature: <i>Sarah S. Kepple</i>		Date: 12/11/2024	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #2.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>				CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>							
Identification of Proposed Building Type (as defined in Article 5):							
Building Setbacks		Front: 7.5'	Rear: 12.5'	Rt. Side: 7.5'		Lt. Side: 15'	
<b>3. BUILDING DATA</b>							
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)			<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure	Primary Building					2,000+2,220 = 4,220 s.f.	
Ancillary	Accessory Building					600+500 = 1,100 s.f.	
Ancillary							
<b>4. SITE COVERAGE</b>							
<b>Impervious Coverage</b>				<b>Coverage (SF)</b>			
Building Footprint(s)				2,000 + 600 = 2,600 s.f.			
Impervious Drive, Walks & Paths				700 s.f.			
Open/Covered Patios				653 + 182 = 835 s.f.			
<b>A. TOTAL IMPERVIOUS COVERAGE</b>				4,135			
<b>B. TOTAL SF OF LOT</b>				17,237 s.f.			
<b>% COVERAGE OF LOT (A/B= %)</b>				23.99 %			
<b>5. BUILDING MATERIALS</b>							
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>			<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	concrete			Columns	wood		
Walls	hardie lap & panel siding			Windows	clad		
Roof	standing seam metal			Doors	wood clad		
Chimney	n/a			Shutters	n/a		
Trim	hardie			Skirting/Underpinning	n/a		
Water table	boral			Cornice, Soffit, Frieze	hardie		
Corner board	hardie			Gutters	metal		
Railings	n/a			Garage Doors	n/a		
Balusters	n/a			Green/Recycled Materials			
Handrails	metal						





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #2.

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

Section VII. Item #2.

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

\_\_\_\_\_  
Signature of Property Owner or Authorized Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name of Property Owner or Authorized Agent

*Sarah S. Kepple*

\_\_\_\_\_  
Signature of Applicant

12/11/2024 \_\_\_\_ Date

\_\_\_\_\_  
Sarah S. Kepple  
Printed Name of Applicant



## HPC Narrative

New Commercial Office Building  
60 Bruin Rd., Bluffton, SC 29910  
12-11-2024

This project consists of a new commercial office primary and accessory building. The lot is categorized as Neighborhood General HD and is an Additional Building Type. This is one of the largest lots in the Tabby Roads neighborhood. Located at the corner of Bruin and Burnt Church roads. The "front" of the building and driveway entrance face Pearl Street, towards the Tabby Roads neighborhood. All sides of the sides of the buildings have been fully designed since they will be visible from multiple roads.

For the site masterplan we have worked diligently with the Tabby Roads neighborhood. We believe a balance has been achieved to meet commercial and HPC codes for parking and site access, while being sensitive to creating a visual buffer towards the primarily residential community. We will work with a landscape architect to further develop this concept site.

The design intention for the office buildings are to be commercial in function while still being visually compatible with neighboring structures. The building details include many Lowcountry architectural elements that are seen throughout the historic district. There are porches on the two prominent facades of the building which will create a welcoming, pedestrian scale connection with the community. We have created a "base" to anchor both buildings with a series of horizontal boards. The exterior is primarily Hardie 6" lap siding with panelized Hardie accents. The soffits are a combination of flat, inclined enclosed, and open rafters - depending on the hierarchy of the massing.

Please let us know if you would like any further information.  
Thank you for your consideration.

Sincerely,

Sarah S. Kepple

Project Manager  
Pearce Scott Architects  
[sarah@pscottarch.com](mailto:sarah@pscottarch.com)  
912.220.1505



S:\2024\Projects\2403\_Datzell 60 Bruin Road\Drawing files\2403\_60 BRUIN RD.rvt 12/11/2024 4:35:55 PM

# NEW COMMERCIAL BUILDING:

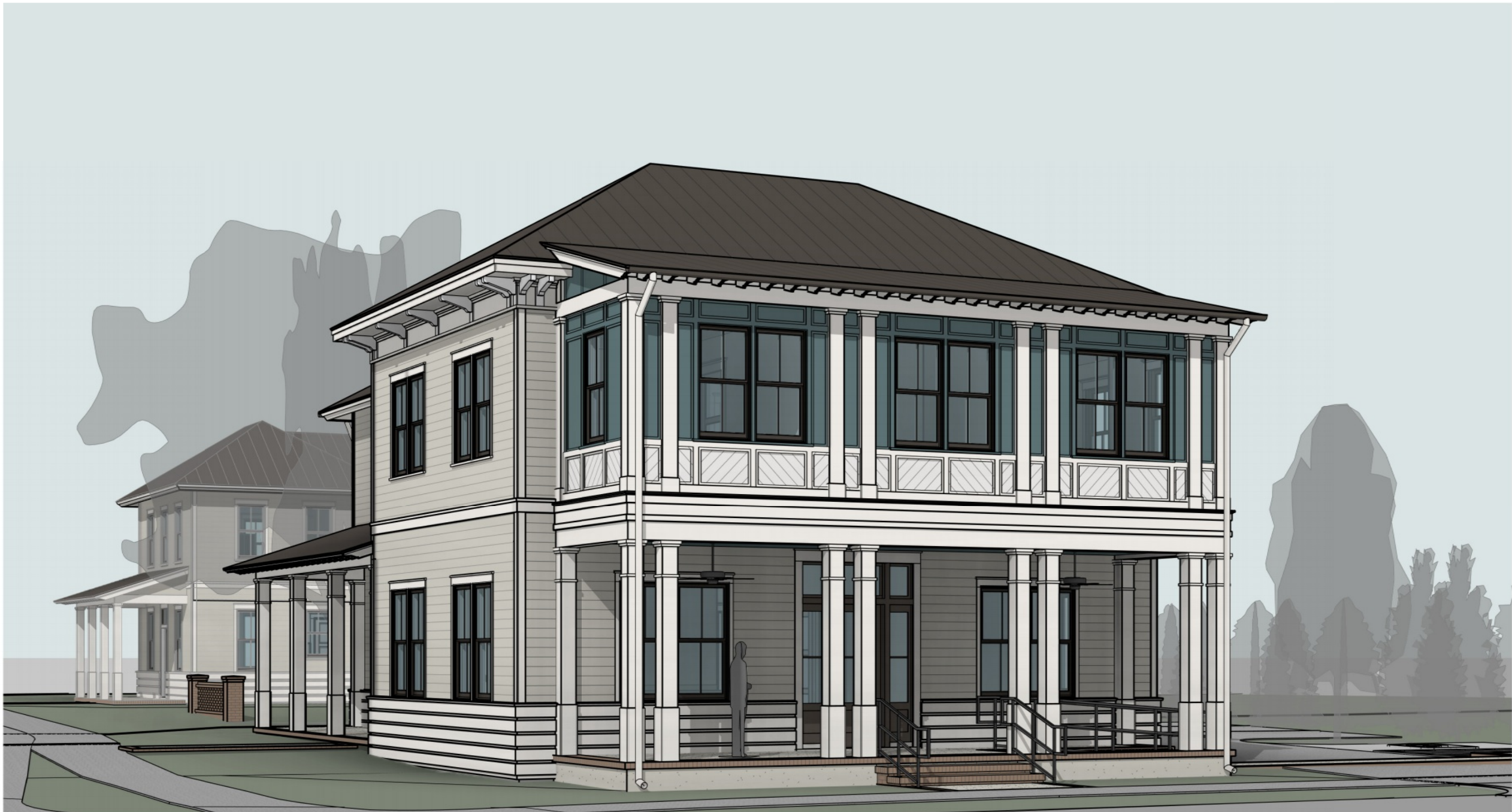
## 60 Bruin Rd., Lot 23, Tabby Roads

### Bluffton, SC 29910

### Final HPC - 12.11.24

#### GENERAL NOTES

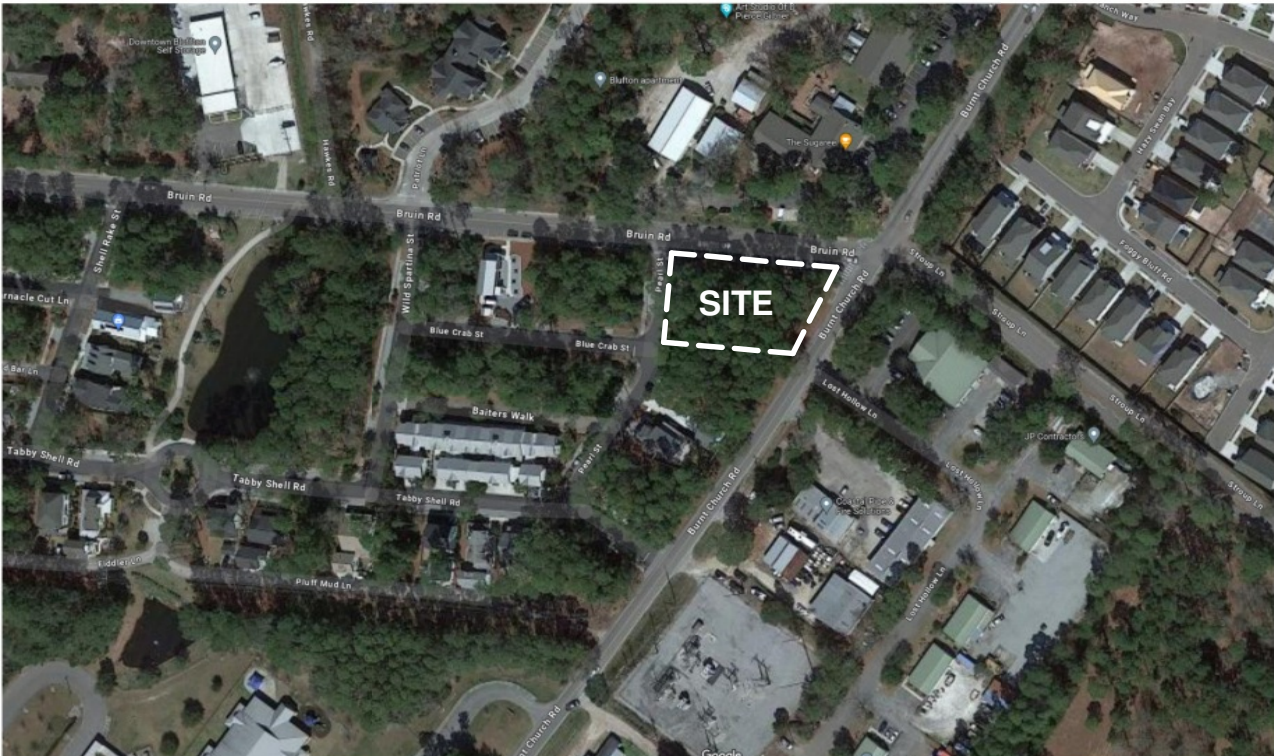
- The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations. Contractor to file all required certificates of insurance, permits, bonds, and fees prior to commencement of work.
- All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
- For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
- For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
- Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
- Contractor to provide a sample board of exterior materials, finishes and colors for final approval by Owner.
- Contractor to provide a job sign in accordance with the neighborhood/development regulations.
- The site is to be kept clean at all times for the duration of the project.
- The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
- The design documents are to be used for design intent and in coordination with supplemental engineering documents. See note 5.
- All walls are dimensioned to the face of stud or masonry unless noted otherwise. Existing walls are dimensioned to finished surface.
- See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
- The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
- When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.
- Pearce Scott Architects acts in accordance with Chapter 11, S.C. Code Regulations. The firm has NOT been hired to provide minimum construction administration services on this project.



#### PROJECT DESCRIPTION

This project is a new office primary and accessory building for Shoreline Construction & Development. The primary building is a 4,220 s.f., two-story structure. The accessory building is a 1,110 s.f., two-story structure. Located on one of the largest lots in Tabby Roads at the corner of Bruin and Burnt Church roads. The front of the buildings and driveway entrance are facing Pearl Street as required by the Tabby Roads neighborhood.

#### LOCATION MAP



#### PROJECT TEAM

**OWNER:**  
Prestige Worldwide Properties, LLC  
Chris Daizell  
4366 Bluffton Parkway  
Bluffton, SC 29910  
P: 843.247.0157  
chris@shoreconsc.com

**ARCHITECT:**  
Pearce Scott Architects  
Sarah Kepple  
6 State of Mind Street, Suite 200  
Bluffton, SC 29910  
P: 843.837.5700  
sarah@pscottarch.com

**GENERAL CONTRACTOR:**  
Shoreline Construction  
Chris Daizell  
4366 Bluffton Parkway  
Bluffton, SC 29910  
P: 843.548.2130  
chris@shoreconsc.com

**LANDSCAPE ARCHITECT:**  
M. Brock Designs, LLC  
Michael Brock  
P.O. Box 358  
Port Royal, SC 29935  
P: 843.540.6407  
mbrock@mbrockdesigns.com

**STRUCTURAL ENGINEER:**  
Sapp Structural  
Brian Sapp, PE, SE  
601 East 69th Street  
Savannah, GA 31405  
P: 912.704.2170  
bsapp@sappstructural.com

**INTERIOR DESIGNER:**

**ELECTRICAL ENGINEER:**

**PLUMBING & MECH. ENGINEER:**

#### PROJECT INFORMATION

PROJECT ANALYSIS		
ZONING DISTRICT:	Neighborhood General HD	
BUILDING TYPE:	Additional Building Type	
USE OF PROPERTY:	Business	
GROSS SITE AREA:	17,237 s.f.	
<b>** REFER TO LANDSCAPE DRAWINGS FOR PARKING SUMMARY CALCULATIONS **</b>		
FRONT, WEST SETBACK:	7.5'	
REAR, EAST SETBACK:	12.5'	
SIDE, NORTH SETBACK:	7.5'	
SIDE, SOUTH SETBACK:	15'	
SITE ALLOWABLES:	ALLOW.:	CURRENT:
MIN. FINISH PAD ELEV.:		
primary		24.5' amsl
accessory		25.5' amsl
MAX. BLDG. FT.PRINT:		
PRIMARY BLDG.	2,000 s.f.	2,000 s.f.
ACCESSORY BLDG.	600 s.f.	600 s.f.
MAX. BLDG. STORIES	2.5 Stories	2 Stories

(checked 09/16/24 by SSK)

#### AREA CALCULATIONS

PRIMARY BUILDING  
FIRST FLOOR UNHEATED: 2,000 S.F.  
SECOND FLOOR HEATED: 2,220 S.F.  
TOTAL HEATED: 4,220 S.F.

FIRST FLOOR PORCHES: 600 S.F.

PRIMARY UNDER ROOF: 4,820 S.F.

ACCESSORY BUILDING  
FIRST FLOOR: 600 S.F.  
SECOND FLOOR: 500 S.F.  
TOTAL HEATED: 1,100 S.F.

FIRST FLOOR PORCHES: 182 S.F.

ACCESSORY UNDER ROOF: 1,282 S.F.

OVERALL PROJECT  
GROSS HEATED: 5,320 S.F.  
GROSS UNDER ROOF: 5,502 S.F.

(checked 09/16/24 by SSK)

DO NOT SCALE FROM DRAWING

Section VII, Item #2.

XXX	INITIAL
XX.X.24	DATE
XXX	DESCRIPTION / REVISION LOG
NO.	

© 2024 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: SSK  
CHECKED BY:

COVER SHEET

SHEET NO.

.CVR

24x36 PAPER SIZE



GRAPHIC SYMBOL LEGEND

ELEVATION NUMBER  
SHEET NUMBER

EXT. ELEVATION

SECTION NUMBER  
SHEET NUMBER

BUILDING SECTION CUT

SECTION NUMBER  
SHEET NUMBER

WALL SECTION CUT

DETAIL NUMBER  
SHEET NUMBER

DETAIL CALLOUT

ELEVATION NUMBER  
SHEET NUMBER

INT. ELEVATION

ROOM NUMBER

101

ROOM NAME

DOOR NUMBER

101A

WINDOW TAG

NOTE TAG

NORTH ARROW

BREAK LINE

ROD AND SHELF

R & S

2x4 STUD WALL @ 12" O.C.

2x4

STUB OUT FOR GAS

GA5

HOSE BIB  
(OWNER CONFIRM LOCATION)

SLOPE

SLAB ELEV. CHANGE

WALL TYPE

SPOT ELEVATION TAG

CENTER LINE

REVISION TAG

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	FTG.	FOOTING	QTY	QUANTITY
A.F.G.	ABOVE FINISHED GRADE	FURN.	FURNISH, FURNITURE	R & S	ROD AND SHELF
A/C	AIR CONDITION(ING)	G.C.	GENERAL CONTRACTOR	R.	RISER
A/V	AUDIOVISUAL	GALV.	GALVANIZED	R.O.	ROUGH OPENING
APPROX	APPROXIMATE(LY)	GYP. BD.	GYPSUM BOARD	RAD.	RADIUS
ARCH	ARCHITECT(URAL)	H.B.	HOSE BIB	RCP	REFLECTED CEILING PLAN
B.O.	BOTTOM OF	H/C	HEADER	RD	ROOF DRAIN
BLDG	BUILDING	HDR.	HARDWARE	REF.	REFRIGERATOR, REFERENCE
BSL	BUILDING SETBACK LINE	HDWR	HARDWARE	REQD.	REQUIRED
BTW.	BETWEEN	HM	HOLLOW METAL	RM.	ROOM
C.O.	CASED OPENING	HORIZ.	HORIZONTAL	S.	SOUTH
CAB.	CABINET	HT.	HEIGHT	S.F.	SQUARE FEET
CAB.	CABINET	HVAC	HEATING, VENTILATION & AIR CONDITIONING	S.S.	STAINLESS STEEL
CJ	CONTROL JOINT	IN.	INCH	S.Y.	SERVICE YARD
CL	CENTER LINE	INCL.	INCLUDE(D), (ING)	SC	SOLID CORE
CLG.	CEILING	INFO.	INFORMATION	SECT.	SECTION
CLG. HT.	CEILING HEIGHT	INSUL.	INSULATION	SH.	SHELVES
CLOS.	CLOSET	INT.	INTERIOR	SIM.	SIMILAR
CLR	CLEAR(ANCE)	KDAT	KILN DRIED AFTER TREATMENT	SPEC	SPECIFICATION
CMU	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SPKR	SPEAKER
CONC	CONCRETE	LAM.	LAMINATE	SQ.	SQUARE
CONT.	CONTINUE, CONTINUOUS	LIN.	LINEN	STOR.	STORAGE
D.	DRYER	M.O.	MASONRY OPENING	T&G	TONGUE & GROOVE
D.W.	DISHWASHER	MAINT.	MAINTENANCE	T.	TRANSOM, TREAD
DEMO	DEMOLISH	MATL.	MAINTENANCE	T.O.	TOP OF
DIA.	DIAMETER	MAX.	MAXIMUM	T.O.M.	TOP OF MASONRY
DIM.	DIMENSION	MECH.	MECHANICAL	T.O.P.	TOP OF PARAPET
DN.	DOWN	MFR.	MANUFACTURER	T.O.S.	TOP OF SLAB
DR.	DOOR	MICRO.	MICROWAVE	TEMP.	TEMPORARY
DS	DOWNSPOUT	MIN.	MINIMUM	TYP.	TYPICAL
DWR.	DRAWER	MISC.	MISCELLANEOUS	U.L.	UNDERWRITERS LABORATORIES
E	EAST	MTL.	METAL	U.N.O.	UNLESS NOTED OTHERWISE
EA.	EACH	N	NORTH	VERT.	VERTICAL
EJ	EXPANSION JOINT	N.I.C.	NOT IN CONTRACT	VEST	VESTIBULE
ELEC.	ELECTRIC(AL)	N.T.S.	NOT TO SCALE	W	WEST, WASHER
ELEV.	ELEVATION	N/A	NOT APPLICABLE	W.C.	WATER CLOSET
EOB	EDGE OF BEAM	O.C.	ON CENTER	W.H.	WATER HEATER
EOS	EDGE OF SLAB	OPT.	OPTION(AL)	W/	WITH
EQ.	EQUAL	P.T.	PRE-TREATED	W/D	WASHER AND DRYER
EQUIP.	EQUIPMENT	PDR.	POWDER ROOM	W/O	WITHOUT
EXIST.	EXISTING	PLAM	PLASTIC LAMINATE	WD.	WOOD
EXT.	EXTERIOR	PLYWD	PLYWOOD	WIN.	WINDOW
F.D.	FLOOR DRAIN	PREFAB	PREFABRICATED	WP	WATERPROOFING
F.E.C.	FIRE EXTINGUISHER CABINET	PREFIN	PREFINISH	WWF	WELDED WIRE FABRIC
F.F.	FINISHED FLOOR	PSA	PEARCE SCOTT ARCHITECTS		
F.F.E.	FINISH FLOOR ELEVATION	PTD	PAINTED		
FIN.	FINISH	PVC	POLYVINYL CHLORIDE (PLASTIC)		
FT.	FOOT, FEET				

NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES

**GENERAL CONTRACTOR NOTE:**  
Adjust the top of slab at porch and house as needed to accommodate owner selections and existing site conditions.

G.C. / owner to coordinate all in-slab electrical and plumbing requirements with appropriate. Subcontractor trades prior to placing slab.

**DIMENSION NOTES:**  
Dimensions are to the edge of foundation and framing, u.n.o. Do not scale drawings. Contact architect with any discrepancies.

**CABINET & EQUIPMENT NOTES:**  
Cabinet layouts are provided for design configuration only. Exact layout and placement of fixtures, appliances, cabinets, and countertops are to be determined in coordination with owner and general contractor.

**FINISH NOTES:**  
The floor, wall, ceiling, finishes and interior trim are to be determined by the general contractor and owner.

If adjustments to slab, walls, and ceiling are needed to accommodate owner specific finishes and trim, G.C. to contact architect.

**PLUMBING NOTES:**  
G.C. / owner to coordinate final location of exterior hose bibbs.

**FRAMING NOTES:**  
Structural engineering documents supersede architectural documents and schedules with regard to size of structural members, placement, and connection details. For any discrepancies, contact architect for intent.

Door openings set 6" off intersecting wall, unless otherwise dimensioned.

FRAMING IS TO BE AS FOLLOWS, U.N.O.:

**WALLS:**  
Exterior: 1/2" plywood sheathing (exterior side) on 2x6's at 16" o.c. with blocking at midspan. First 4'-0" of plywood needs to be Thermal batt insulation R-20 (5 1/2") typical at 2x6 wood stud framing.

Interior: 2x4's and 2x6's at 16" o.c. with blocking at midspan. Provide sound damp batt insulation around each bedroom and bathroom.

**FIRST FLOOR SYSTEM:**  
Concrete slab floor with 10 mil. vapor barrier below.

**SECOND FLOOR SYSTEM:**  
3/4" t&g plywood, glued and nailed on 24" open web wood truss system (layout and spacing by structural engl). See typical wall sections and details for connections. If truss joists (or sim.) are used provide shop drawings for architect/engineer approval. Provide sound dampening insulation w/in floor system. Additional 1/4" acoustical cork underlayment under second f.l. recommended.

**PORCH FLOOR SYSTEM:**  
Concrete slab floor with tabby floor finish and brick edging. See typical wall sections and details for various connection details.

**ATTIC FLOOR SYSTEM:**  
3/4" t&g plywood, glued and nailed on 2x12's at 16" o.c. See typical wall sections and details for connections. If truss joists (or sim.) are used provide shop drawings for architect/engineer approval.

**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8's at 16" o.c. (2x10's for certain spans, per stuctural).

**ROOF RAFTERS:**  
Ext sheathing, nailed on 2x8's (2x10's for certain spans) with Simpson hurricane clips, located per structural. Open cell spray foam insulation R-26 (7 1/4") typical at wood roof rafters. If pre-engineered wood roof trusses are installed in lieu of specified materials, truss manufacturer is to provide shop drawings, support and connection details, and sizes for architect/engineer approval. Or  
Note: see structural engineering documents for size, location and placement of all work described.

**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF PORCH BRICK BORDER RECESS WITH FOUNDATION SLAB AND DETAILS**

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E001	ELECTRICAL LEGEND	XX.XX.24			

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Section VII, Item #2.

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: SSK  
CHECKED BY:

SHEET INDEX,  
SYMBOLS &  
ABBREVIATIONS

SHEET NO.

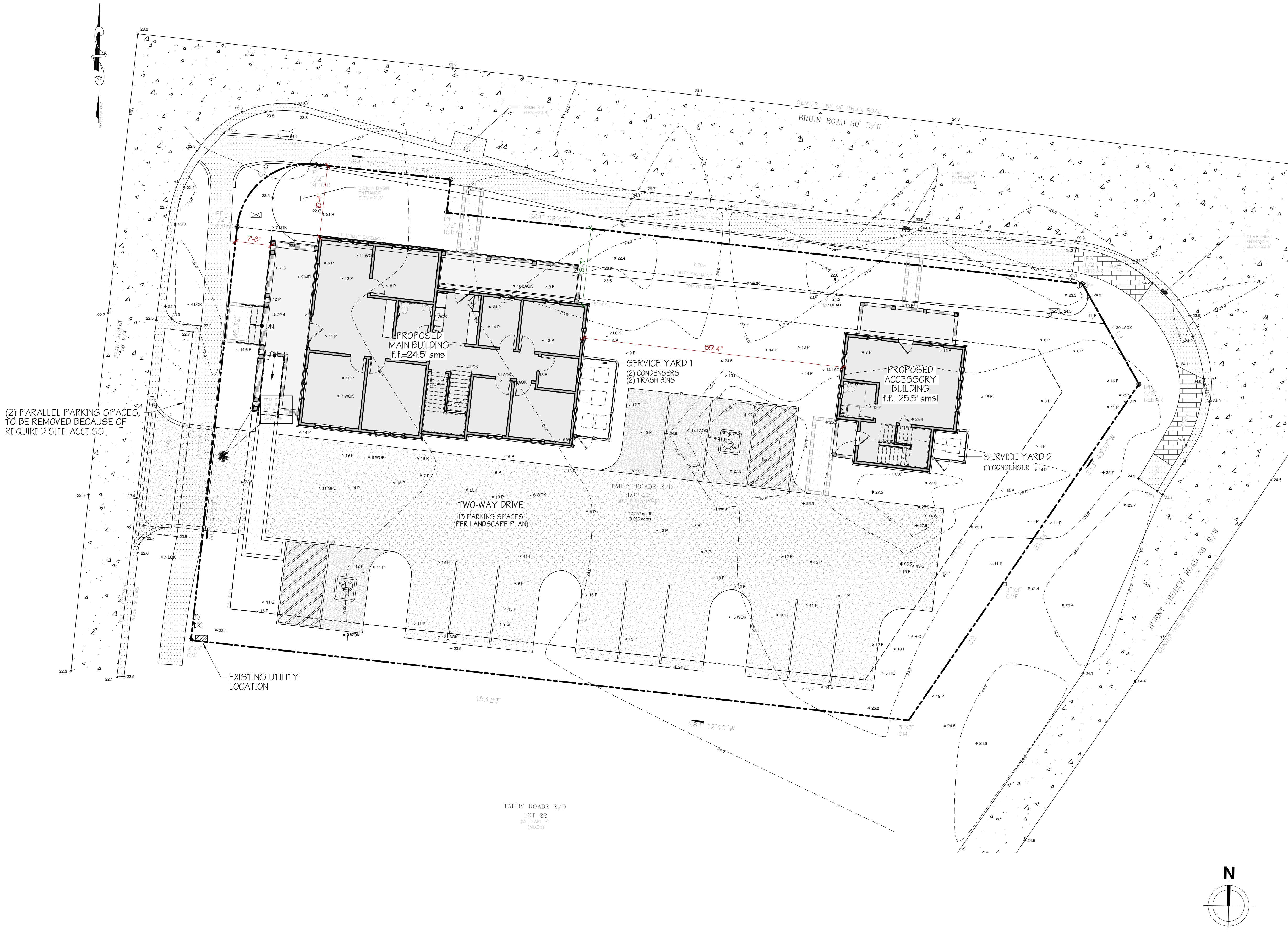
G001

24x36 PAPER SIZE

Page 91

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PROJECT ANALYSIS		
ZONING DISTRICT:	Neighborhood General HD	
BUILDING TYPE:	Additional Building Type	
USE OF PROPERTY:	Business	
GROSS SITE AREA:	17,237 s.f.	
<b>** REFER TO LANDSCAPE DRAWINGS FOR PARKING SUMMARY CALCULATIONS **</b>		
FRONT, WEST SETBACK:	7.5'	
REAR, EAST SETBACK:	12.5'	
SIDE, NORTH SETBACK:	7.5'	
SIDE, SOUTH SETBACK:	15'	
SITE ALLOWABLES:	ALLOW.:	CURRENT:
MIN. FINISH PAD ELEV.: primary accessory		24.5' amsl 25.5' amsl
MAX. BLDG. FT.PRINT: PRIMARY BLDG. ACCESSORY BLDG.	2,000 s.f. 600 s.f.	2,000 s.f. 600 s.f.
MAX. BLDG. STORIES	2.5 Stories	2 Stories

(checked 09/16/24 by SSK)

SITE NOTES:

- OWNER TO PROVIDE TREE & TOPOGRAPHIC SURVEY UNDER SEPARATE CONTRACT.
- SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE.
- WHEN PRESENT, NO WORK SHALL OCCUR WITHIN THE RPOD / OCRM SETBACK LINE. CONTRACTOR TO FENCE LINE WITH SILT OR CONSTRUCTION FENCING.
- SEE LANDSCAPE ARCHITECT'S PLAN FOR FINAL:
  - FINISHED GRADES & SPOT ELEVATIONS
  - TREES TO BE REMOVED
  - TREE PROTECTION
  - SILT FENCING LOCATIONS & DETAILS
  - MOBILIZATION PLAN
  - HARDSCAPE / PAVING
- GENERAL CONTRACTOR SHALL:
  - COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.
  - VERIFY LOCATION OF GAS, CABLE, POWER, AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
  - VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.
  - ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR EXISTING SITE CONDITIONS.
  - COORD. ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

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		XX.X.24	DATE
		XXX	DESCRIPTION / REVISION LOG
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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
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ARCHITECTURAL  
SITE PLAN

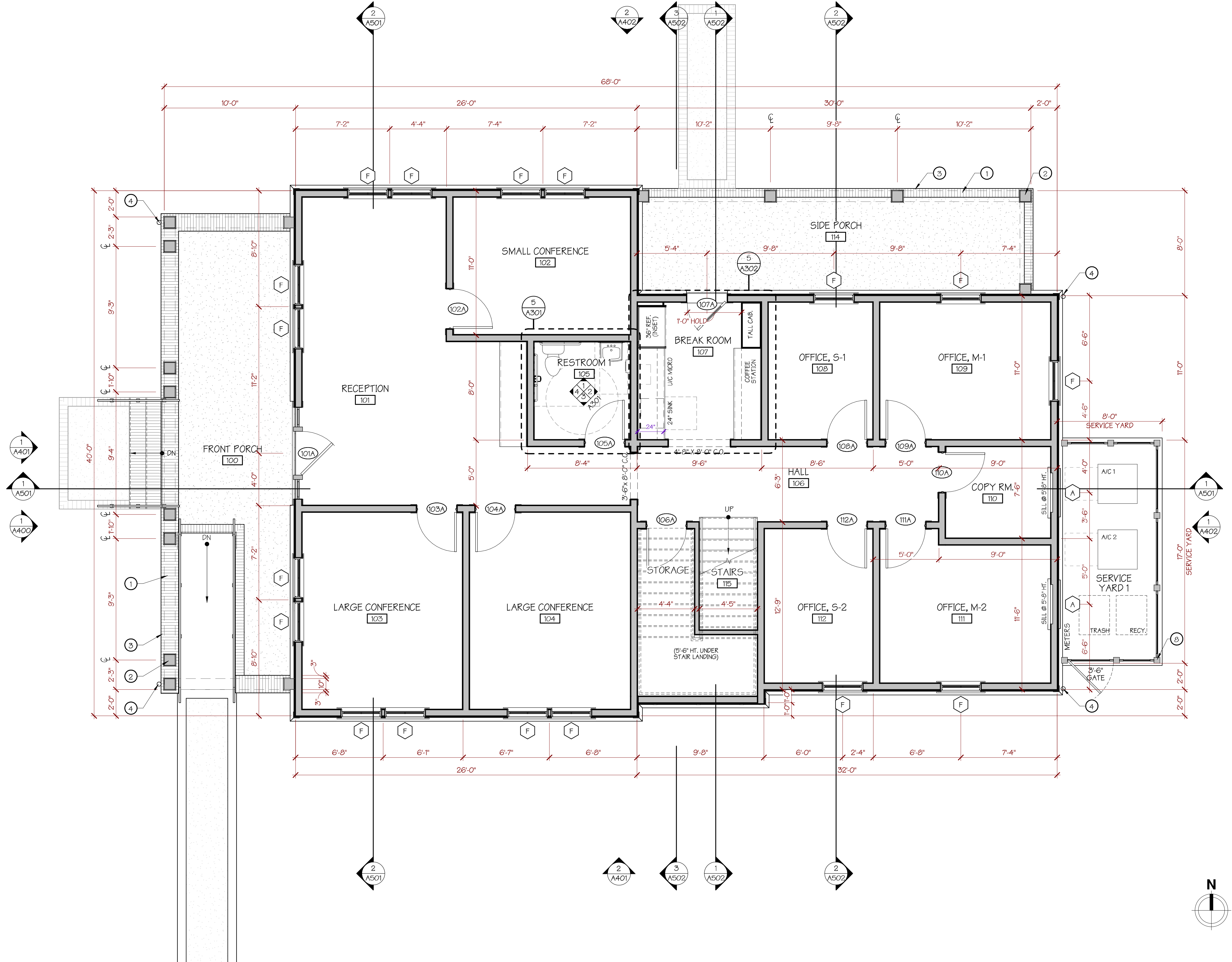
SHEET NO.

A001

24x36 PAPER SIZE

1	SITE PLAN 3/32" = 1'-0"
---	----------------------------





1 FLOOR PLAN, PRIMARY, FIRST  
1/4" = 1'-0"

AREA CALCULATIONS			
PRIMARY BUILDING			
FIRST FLOOR UN-HEATED:	2,000 S.F.		
SECOND FLOOR HEATED:	2,220 S.F.		
TOTAL HEATED:	4,220 S.F.		
FIRST FLOOR PORCHES:	600 S.F.		
PRIMARY UNDER ROOF:			
	4,820 S.F.		
ACCESSORY BUILDING			
FIRST FLOOR:	600 S.F.		
SECOND FLOOR:	500 S.F.		
TOTAL HEATED:	1,100 S.F.		
FIRST FLOOR PORCHES:	182 S.F.		
ACCESSORY UNDER ROOF:			
	1,282 S.F.		
OVERALL PROJECT			
GROSS HEATED:	5,320 S.F.		
GROSS UNDER ROOF:	5,502 S.F.		
(checked 09/16/24 by SSK)			

- PLAN GENERAL NOTES:**
- A. ALL INTERIOR WALLS TO BE 2x6 ON FIRST FLOOR AND 2x4 ON SECOND FLOOR, UNLESS OTHERWISE NOTED.
  - B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJ. STUD WALL UNLESS OTHERWISE NOTED.
  - C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

FLOOR PLAN NOTES	
1	OUTLINE OF BEAM ABOVE
2	EXT. 10" SQUARE WOOD STRUCTURAL COLUMN
3	BRICK ROWLOCK EDGING @ PORCH, BRICK TO BE 15" PROUD OF FND. FINISH
4	DOWN SPOUT LOCATION
5	EXT. 10" SQ. CORNER COMPOSITE PILASTER, 3" DEEP
6	EXT. 10"x 3" SQ. COMPOSITE PILASTER
7	EXT. 8" SQUARE WOOD STRUCTURAL COLUMN
8	KDAT 6x6 POST WITH MANUF. CAP

NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

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SCOTT  
ARCHITECTS**  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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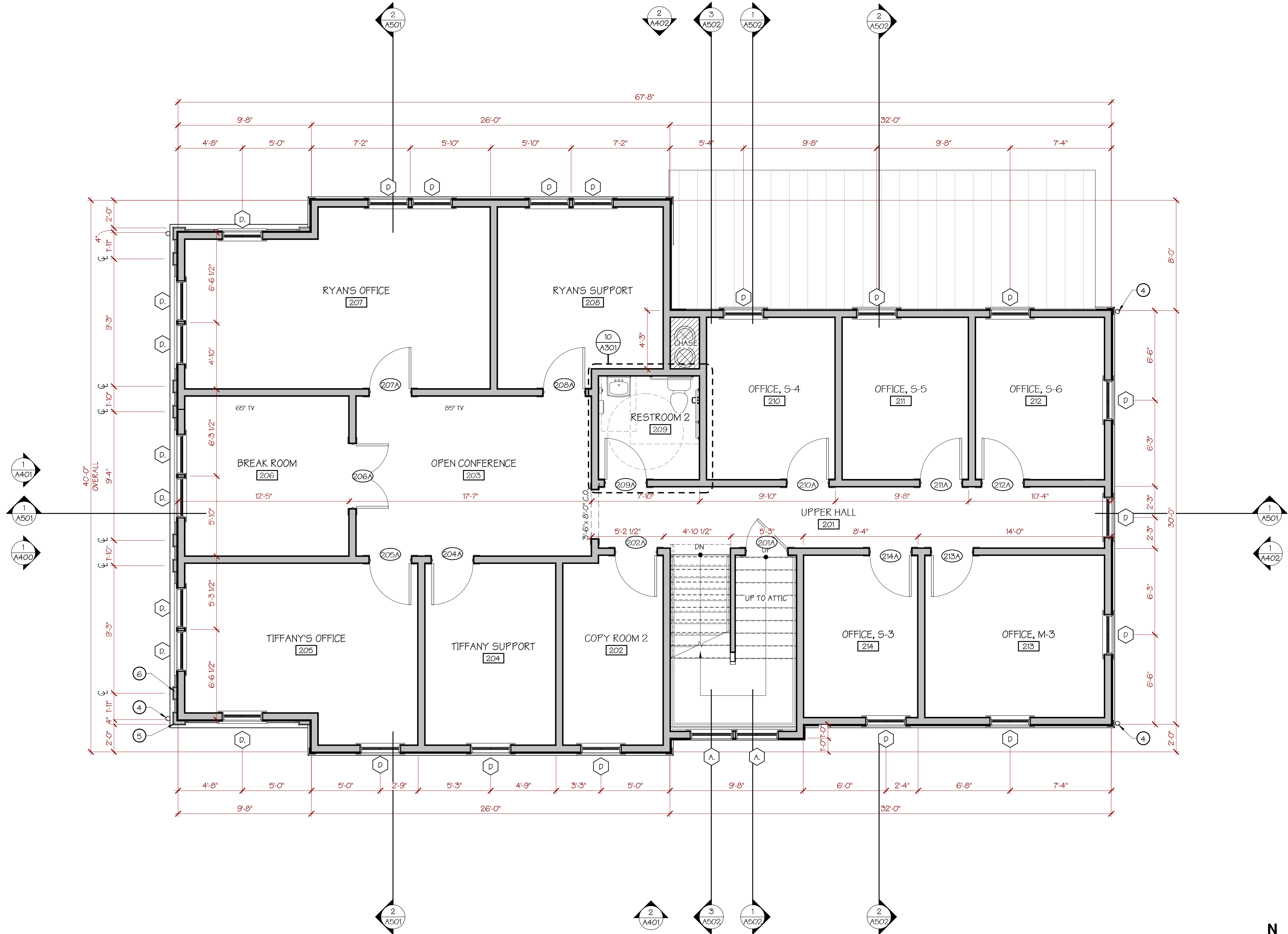
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DATE:	12.11.24
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CHECKED BY:	

FLOOR PLAN,  
FIRST

SHEET NO.

A101

24x36 PAPER SIZE



AREA CALCULATIONS

PRIMARY BUILDING	
FIRST FLOOR UN-HEATED:	2,000 S.F.
SECOND FLOOR HEATED:	2,220 S.F.
TOTAL HEATED:	4,220 S.F.
FIRST FLOOR PORCHES:	
600 S.F.	
PRIMARY UNDER ROOF:	
4,820 S.F.	
ACCESSORY BUILDING	
FIRST FLOOR:	600 S.F.
SECOND FLOOR:	500 S.F.
TOTAL HEATED:	1,100 S.F.
FIRST FLOOR PORCHES:	
182 S.F.	
ACCESSORY UNDER ROOF:	
1,282 S.F.	
OVERALL PROJECT	
GROSS HEATED:	5,320 S.F.
GROSS UNDER ROOF:	5,502 S.F.

(checked 09/16/24 by SSK)

PLAN GENERAL NOTES:

- A. ALL INTERIOR WALLS TO BE 2x6 ON FIRST FLOOR AND 2x4 ON SECOND FLOOR, UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJ. STUD WALL UNLESS OTHERWISE NOTED.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

FLOOR PLAN NOTES

1	OUTLINE OF BEAM ABOVE
2	EXT. 10" SQUARE WOOD STRUCTURAL COLUMN
3	BRICK ROWLOCK EDGING @ PORCH; BRICK TO BE 15" PROUD OF FND. FINISH
4	DOWN SPOUT LOCATION
5	EXT. 10" SQ. CORNER COMPOSITE PILASTER, 3" DEEP
6	EXT. 10"x 3" SQ. COMPOSITE PILASTER
7	EXT. 8" SQUARE WOOD STRUCTURAL COLUMN
8	KDAT 6x6 POST WITH MANUF. CAP

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60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
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PROJECT NUMBER: 2403  
DATE: 12.11.24  
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FLOOR PLAN,  
SECOND

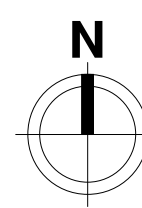
SHEET NO.

A102

24x36 PAPER SIZE

1 FLOOR PLAN, PRIMARY, SECOND  
1/4" = 1'-0"





2	FLOOR PLAN, ACCESSORY, SECOND
	1/4" = 1'-0"



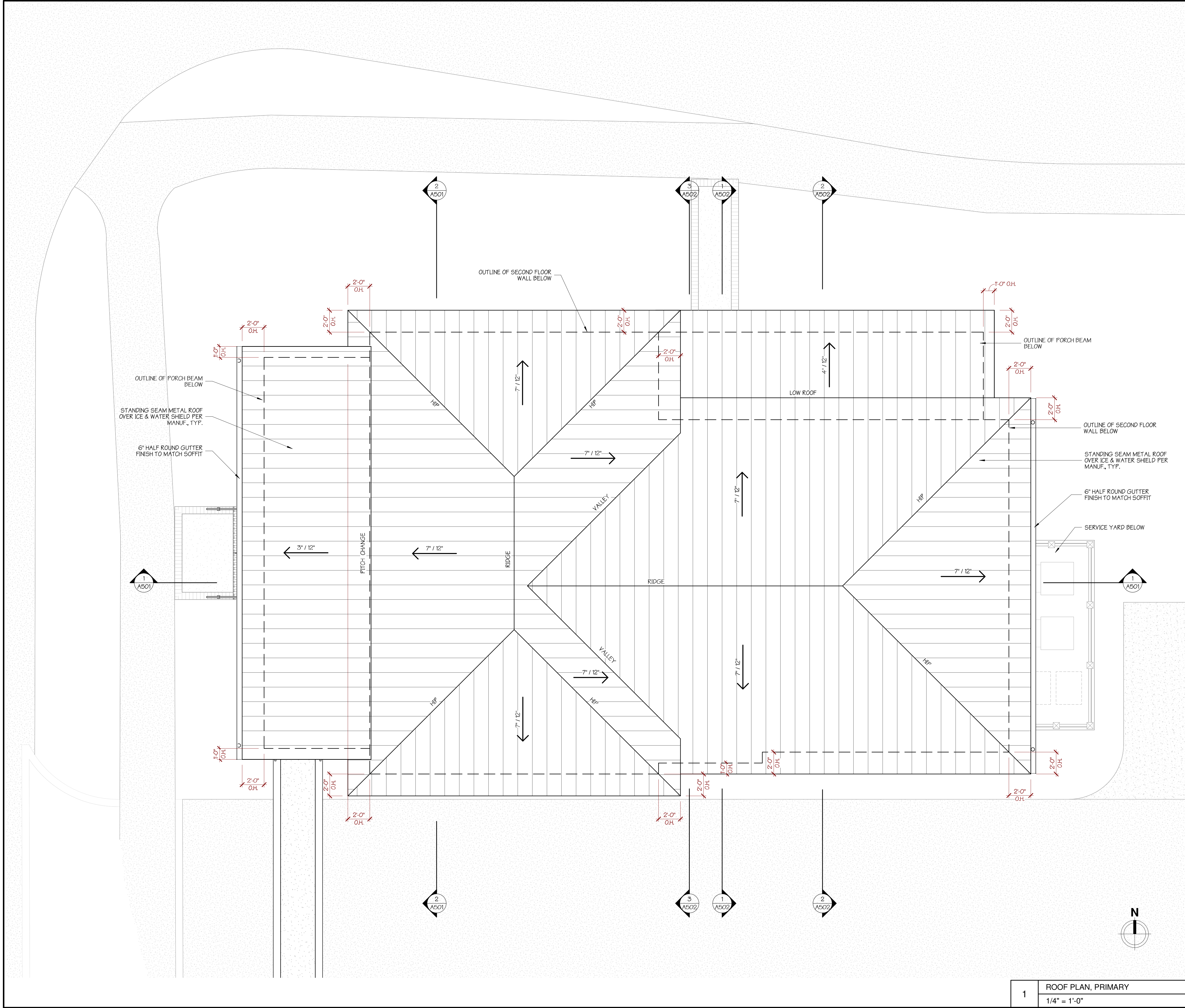
1	FLOOR PLAN, ACCESSORY, FIRST
	1/4" = 1'-0"

[illegible]

PROJECT NUMBER:	2403
DATE:	12.11.24
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24x36 PAPER SIZE





1	ROOF PLAN, PRIMARY
	1/4" = 1'-0"

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			XX.XX	24	XXX

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

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PROJECT NUMBER:	2403
DATE:	12.11.24
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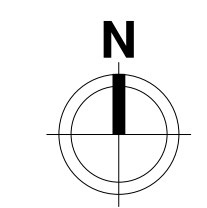
ROOF PLAN,  
PRIMARY BLDG.

SHEET NO.

A105

24x36 PAPER SIZE





1	ROOF PLAN, ACCESSORY
	1/4" = 1'-0"

Section VII. Item #2.

[illegible]

NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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PROJECT NUMBER:	2403
DATE:	12.11.24
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SHEET NO.

A106

24x36 PAPER SIZE





CEILING PLAN LEGEND

- LED LINEAR LIGHT FIXTURE, UNDER COUNTER
- LED LENSED TROFFER LIGHT, 2' x 2'
- DECORATIVE LIGHT, WALL MOUNTED SCONCE
- LED RECESSED CAN LIGHT FIXTURE:  
4" TYP. at INTERIOR LIGHTING  
6" TYP. at EXTERIOR LIGHTING
- LED SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE PENDANT, CEILING MOUNTED
- DECORATIVE CHANDELIER, CEILING MOUNTED
- FLUSH CEILING SPEAKER, ASSEMBLY AND COVER
- RISER LIGHT, PHOTO CELL, AT EXT. STAIRS
- CEILING FAN
- RETURN REGISTER
- SUPPLY REGISTER
- 4" LINEAR SUPPLY DIFFUSER, (LSD)
- GYPSUM BOARD CEILING (GYP.)
- ACCOUSTICAL TILE CEILING, (A.C.T.) 2' x 2'

DO NOT SCALE FROM DRAWING					Section VII, Item #2.	
					XXX	INITIAL
					XX.X.24	DATE
					DESCRIPTION /	REVISION LOG
					XXX	
					NO.	

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LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
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REFLECTED  
CEILING PLAN,  
FIRST FLOOR

SHEET NO.

A201

24x36 PAPER SIZE

1	R.C.P., PRIMARY, FIRST FL.
	1/4" = 1'-0"





#### CEILING PLAN LEGEND

- LED LINEAR LIGHT FIXTURE, UNDER COUNTER
- LED LENSED TROFFER LIGHT, 2' x 2'
- DECORATIVE LIGHT, WALL MOUNTED SCONCE
- LED RECESSED CAN LIGHT FIXTURE:  
4" TYP. at INTERIOR LIGHTING  
6" TYP. at EXTERIOR LIGHTING
- LED SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE PENDANT, CEILING MOUNTED
- DECORATIVE CHANDELIER, CEILING MOUNTED
- FLUSH CEILING SPEAKER, ASSEMBLY AND COVER
- RISER LIGHT, PHOTO CELL, AT EXT. STAIRS
- CEILING FAN
- RETURN REGISTER
- SUPPLY REGISTER
- 4' LINEAR SUPPLY DIFFUSER, (LSD)
- GYPSUM BOARD CEILING (GYF)
- ACCOUSTICAL TILE CEILING, (A.C.T.) 2' x 2'

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				XX.X.24	DATE
				DESCRIPTION / REVISION LOG	
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				NO.	

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

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SCOTT  
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6 STATE OF MIND STREET  
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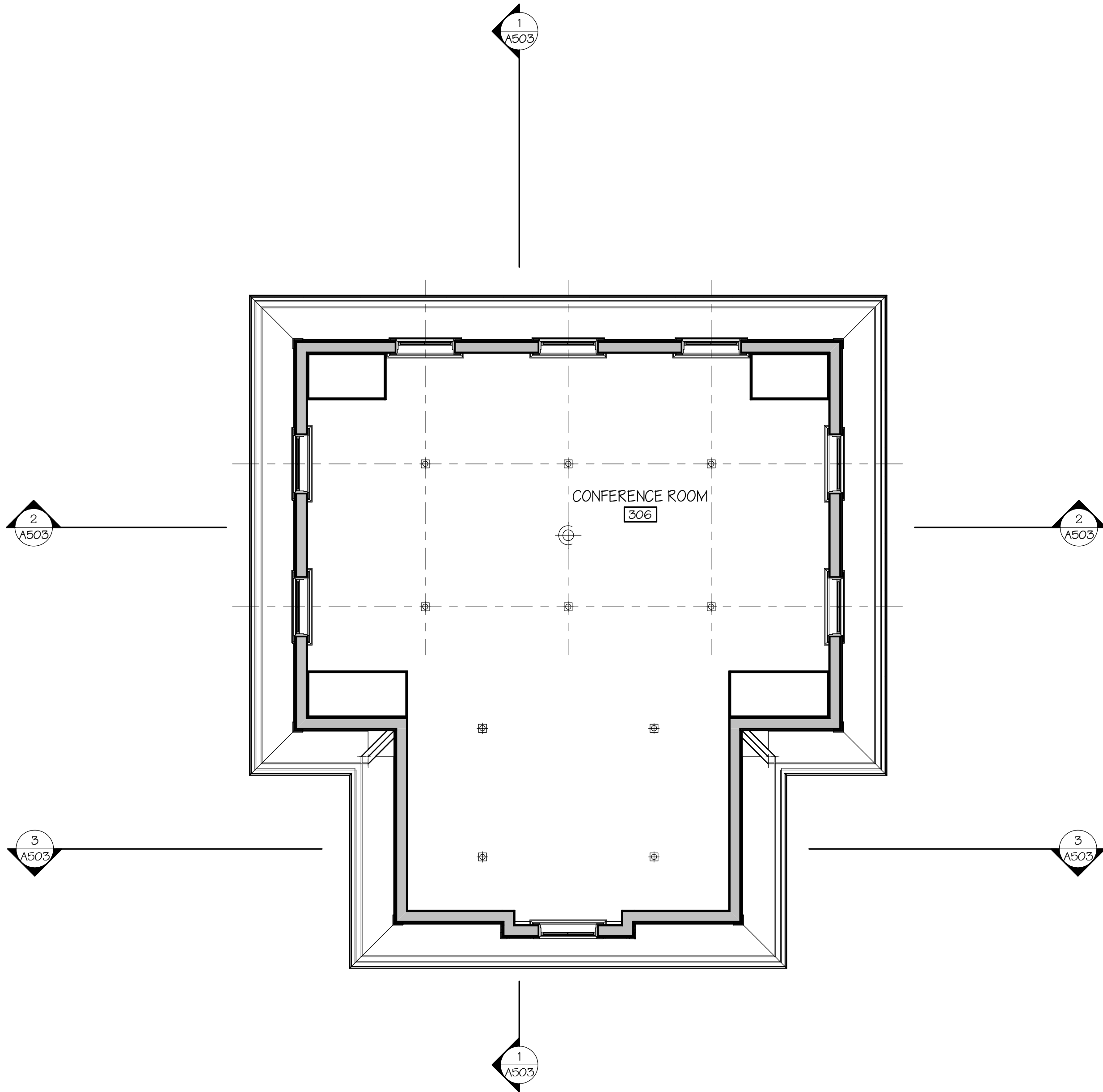
REFLECTED  
CEILING PLAN,  
SECOND FLOOR

SHEET NO.

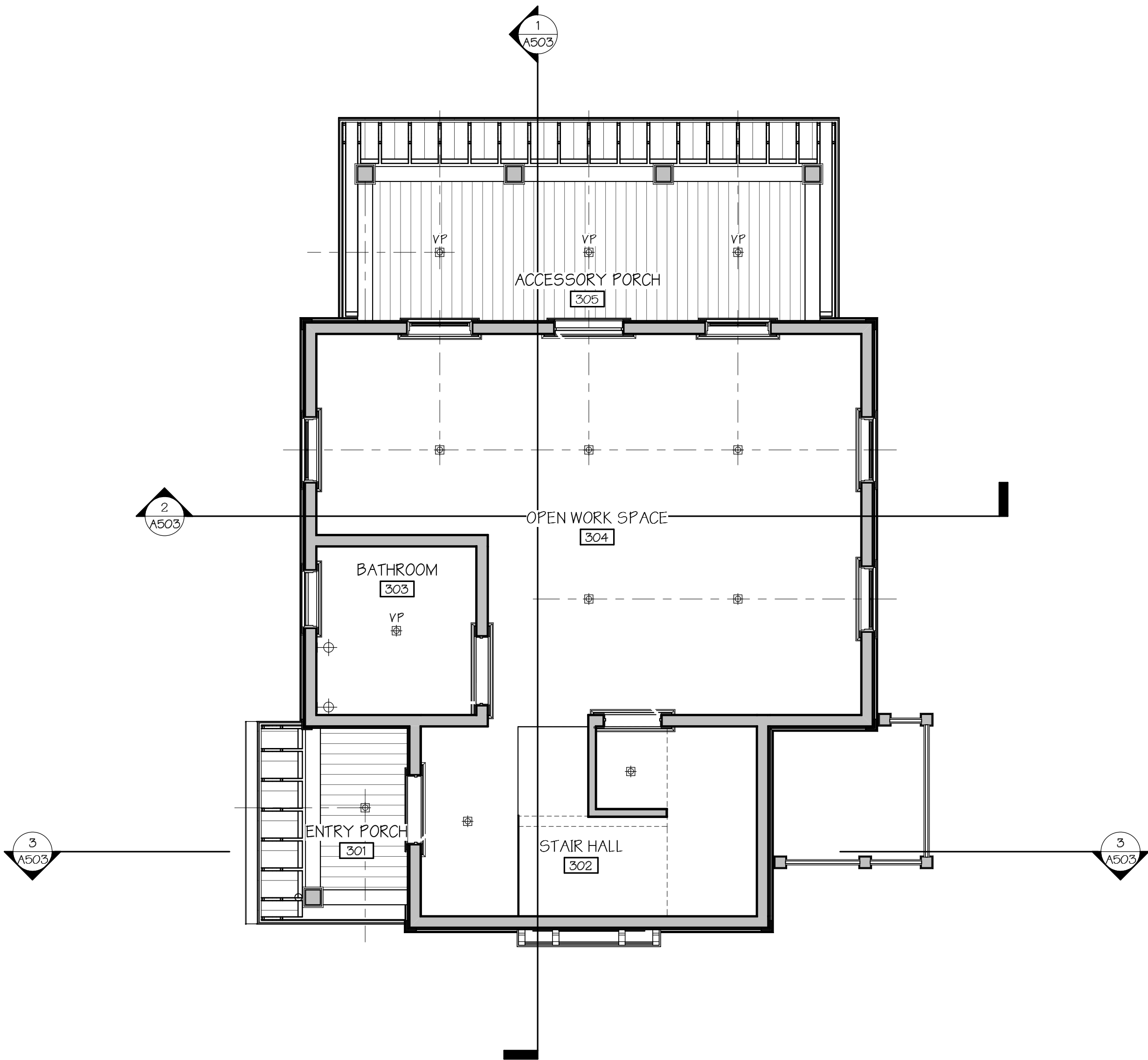
A202

24x36 PAPER SIZE

1	R.C.P., PRIMARY, SECOND FL.
	1/4" = 1'-0"



2 R.C.P., ACCESSORY, SECOND FL.  
1/4" = 1'-0"



1 R.C.P., ACCESSORY, FIRST FL.  
1/4" = 1'-0"

CEILING PLAN LEGEND

- LED LINEAR LIGHT FIXTURE, UNDER COUNTER
- LED LENSED TROFFER LIGHT, 2' x 2'
- DECORATIVE LIGHT, WALL MOUNTED SCONCE
- LED RECESSED CAN LIGHT FIXTURE:  
4" TYP. at INTERIOR LIGHTING  
6" TYP. at EXTERIOR LIGHTING
- LED SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE PENDANT, CEILING MOUNTED
- DECORATIVE CHANDELIER, CEILING MOUNTED
- FLUSH CEILING SPEAKER, ASSEMBLY AND COVER
- RISER LIGHT, PHOTO CELL, AT EXT. STAIRS
- CEILING FAN
- RETURN REGISTER
- SUPPLY REGISTER
- 4" LINEAR SUPPLY DIFFUSER, (LSD)
- GYPSUM BOARD CEILING (GYF.)
- ACCOUSTICAL TILE CEILING, (A.C.T.) 2' x 2'

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					XXX	INITIAL
					XX.X.24	DATE
					DESCRIPTION / REVISION LOG	
					XXX	
					NO.	

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PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

REFLECTED  
CEILING PLAN,  
ACCESSORY

SHEET NO.

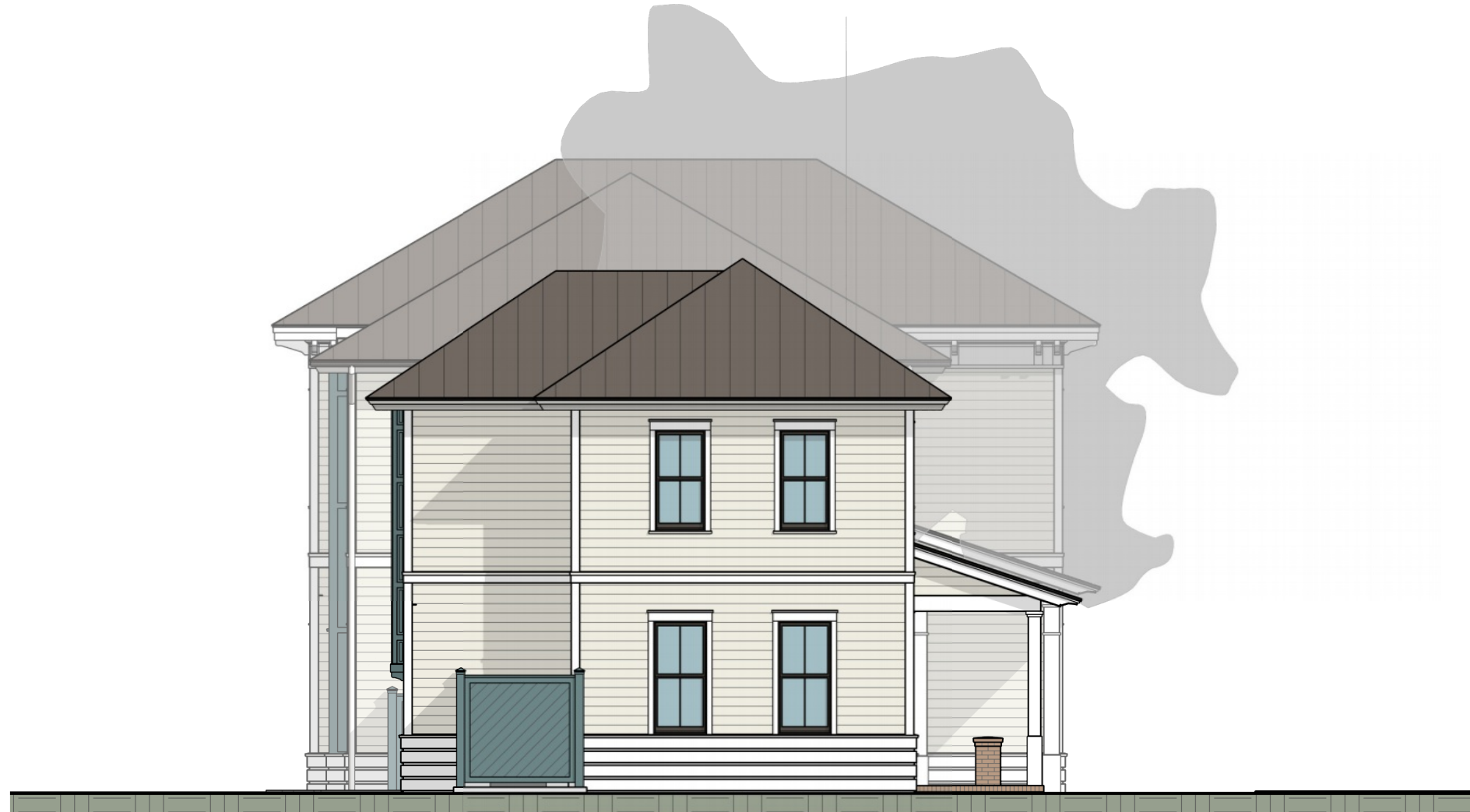
A204

24x36 PAPER SIZE



S:\2024\Projects\2403\_Datzeil 60 Bruin Road\Drawing files\2403\_60 BRUIN RD.rvt

12/11/2024 4:36:13 PM



3 OVERALL, REAR ELEVATION  
1/8" = 1'-0"



1 OVERALL, FRONT ELEVATION  
1/8" = 1'-0"



2 OVERALL, LEFT ELEVATION  
1/8" = 1'-0"



4 OVERALL, RIGHT ELEVATION  
1/8" = 1'-0"

DO NOT SCALE FROM DRAWING

Section VII, Item #2.

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403

DATE: 12.11.24

DRAWN BY: SSK / BRH

CHECKED BY:

OVERALL  
EXTERIOR  
ELEVATIONS

SHEET NO.

A400

24x36 PAPER SIZE





1 FRONT ELEVATION, PRIMARY  
1/4" = 1'-0"



2 RIGHT ELEVATION, PRIMARY  
1/4" = 1'-0"

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NO.	DESCRIPTION / REVISION LOG	DATE		INITIAL	
		XX.X.24		XXX	

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PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
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CHECKED BY:

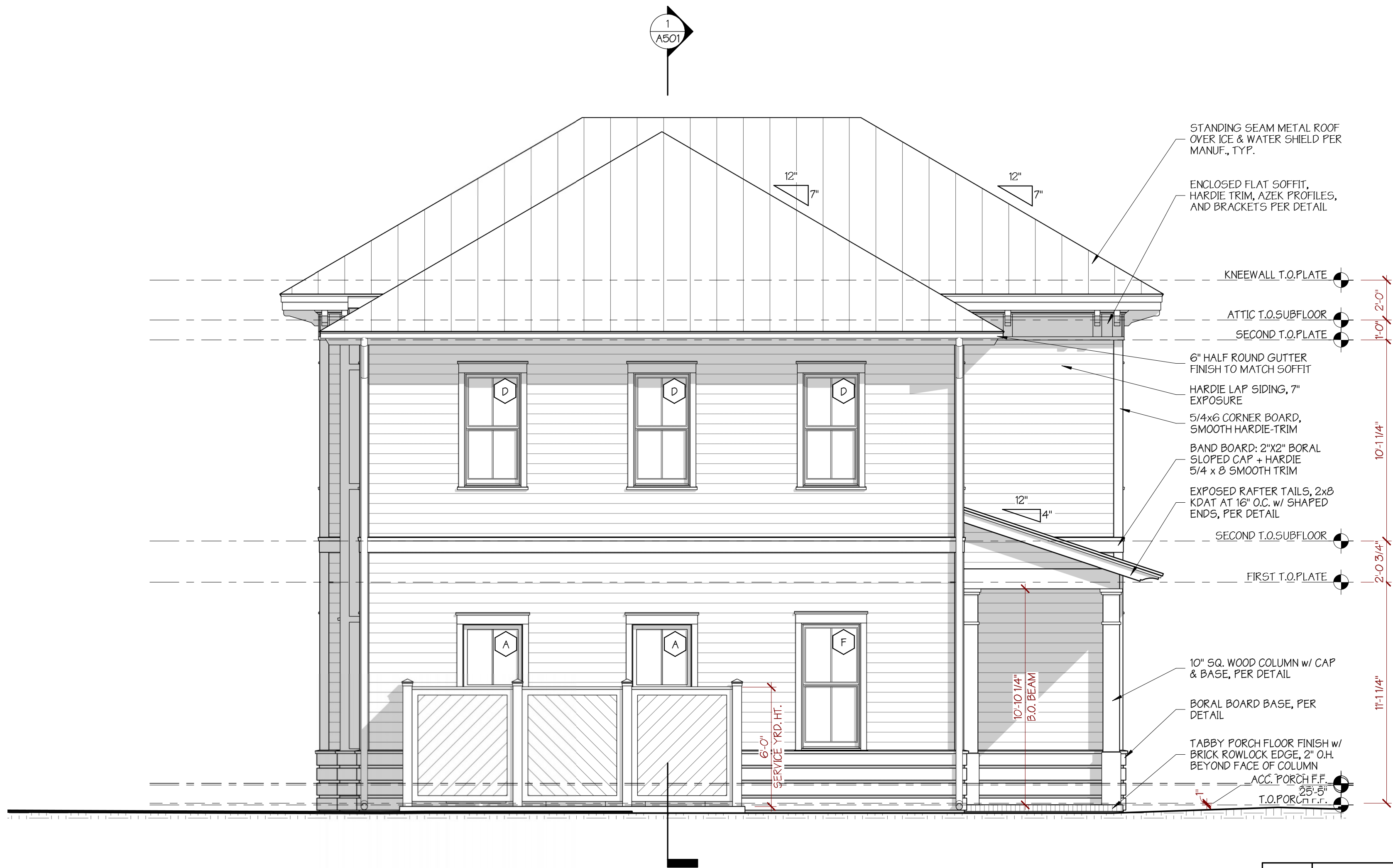
EXT.  
ELEVATIONS,  
PRIMARY BLDG.

SHEET NO.

A401

24x36 PAPER SIZE





1 REAR ELEVATION, PRIMARY  
1/4" = 1'-0"



2 LEFT ELEVATION, PRIMARY  
1/4" = 1'-0"

DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
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PEARCE  
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ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: SSK / BRH  
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EXT.  
ELEVATIONS,  
PRIMARY BLDG.

SHEET NO.

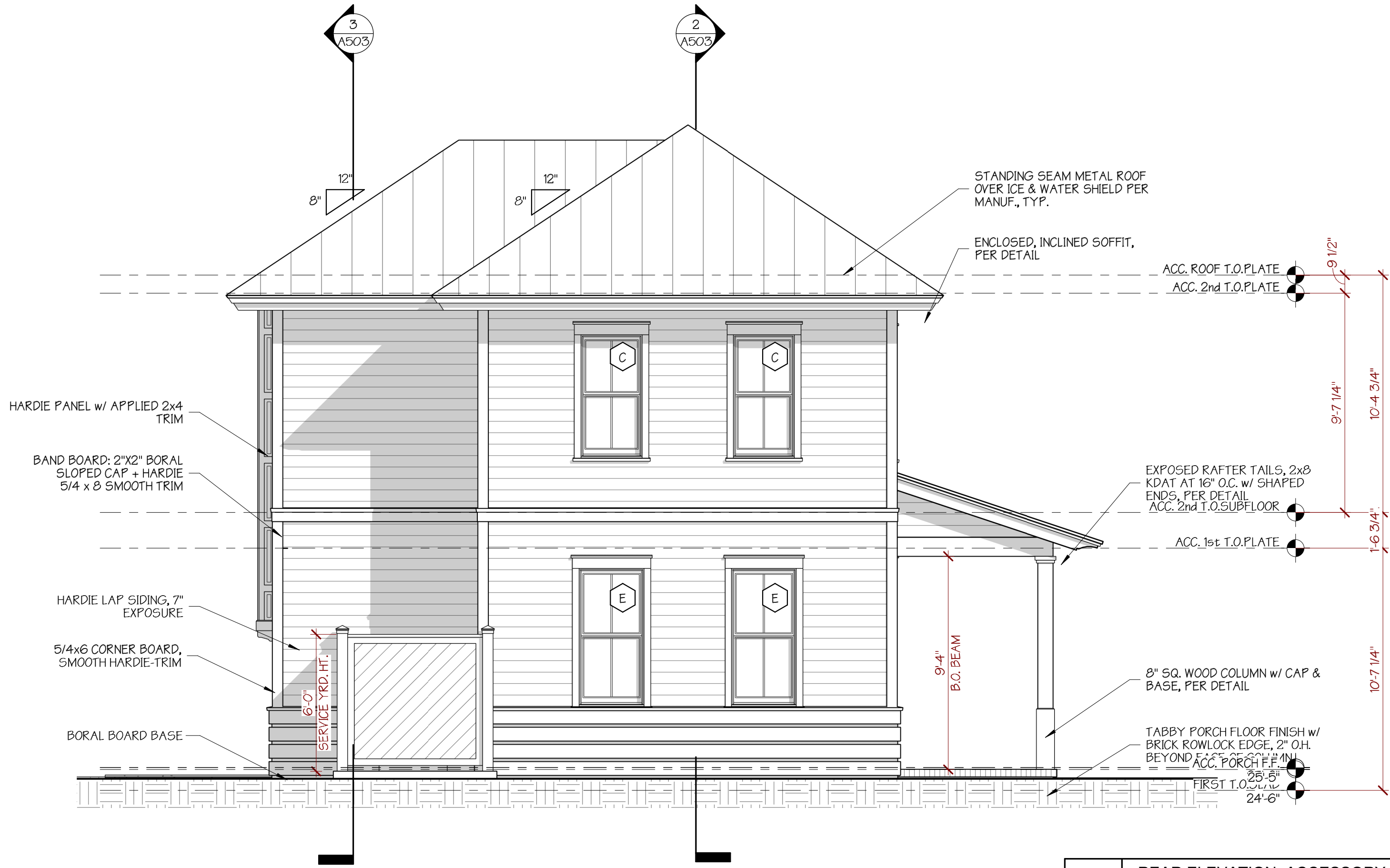
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24x36 PAPER SIZE

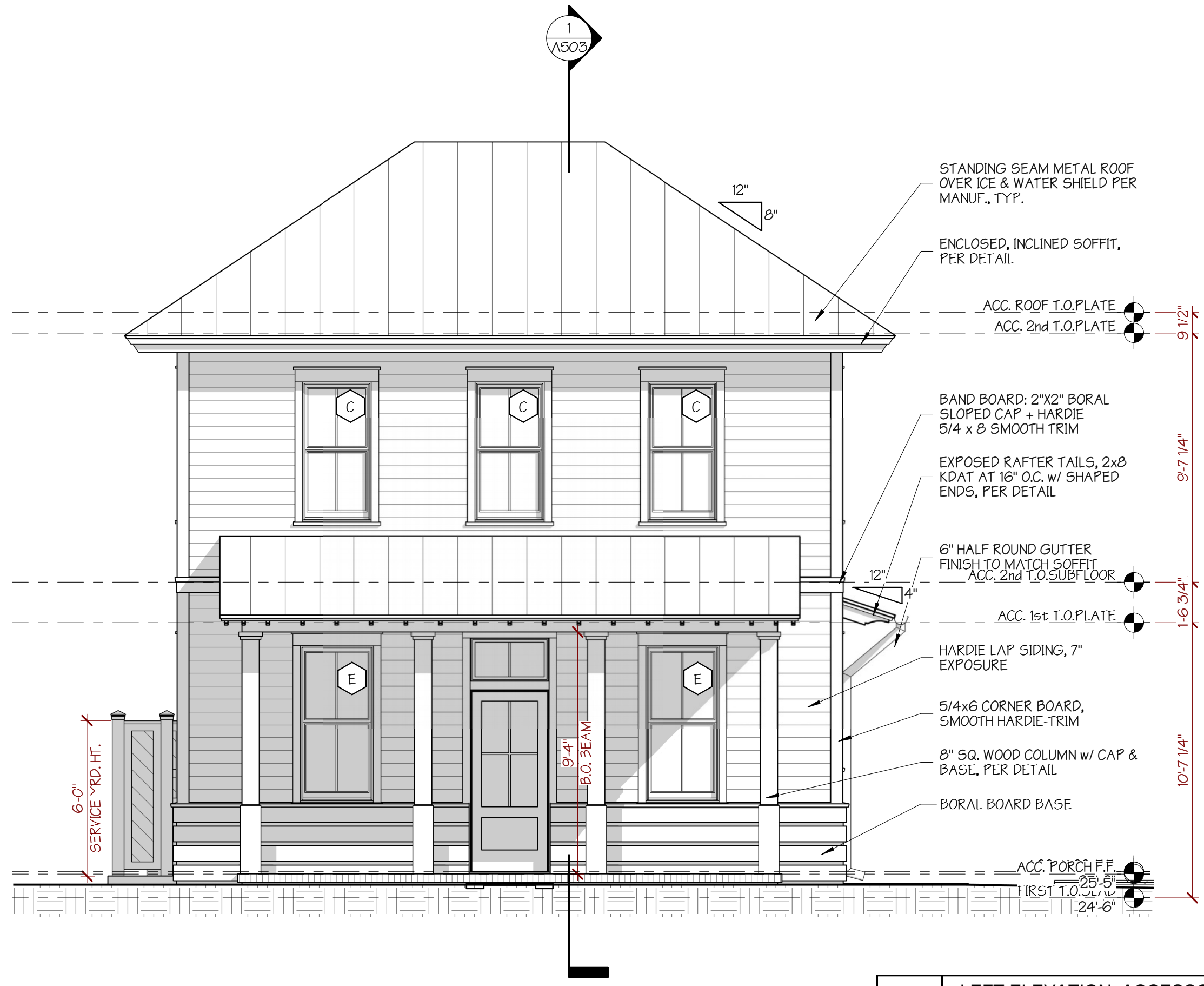


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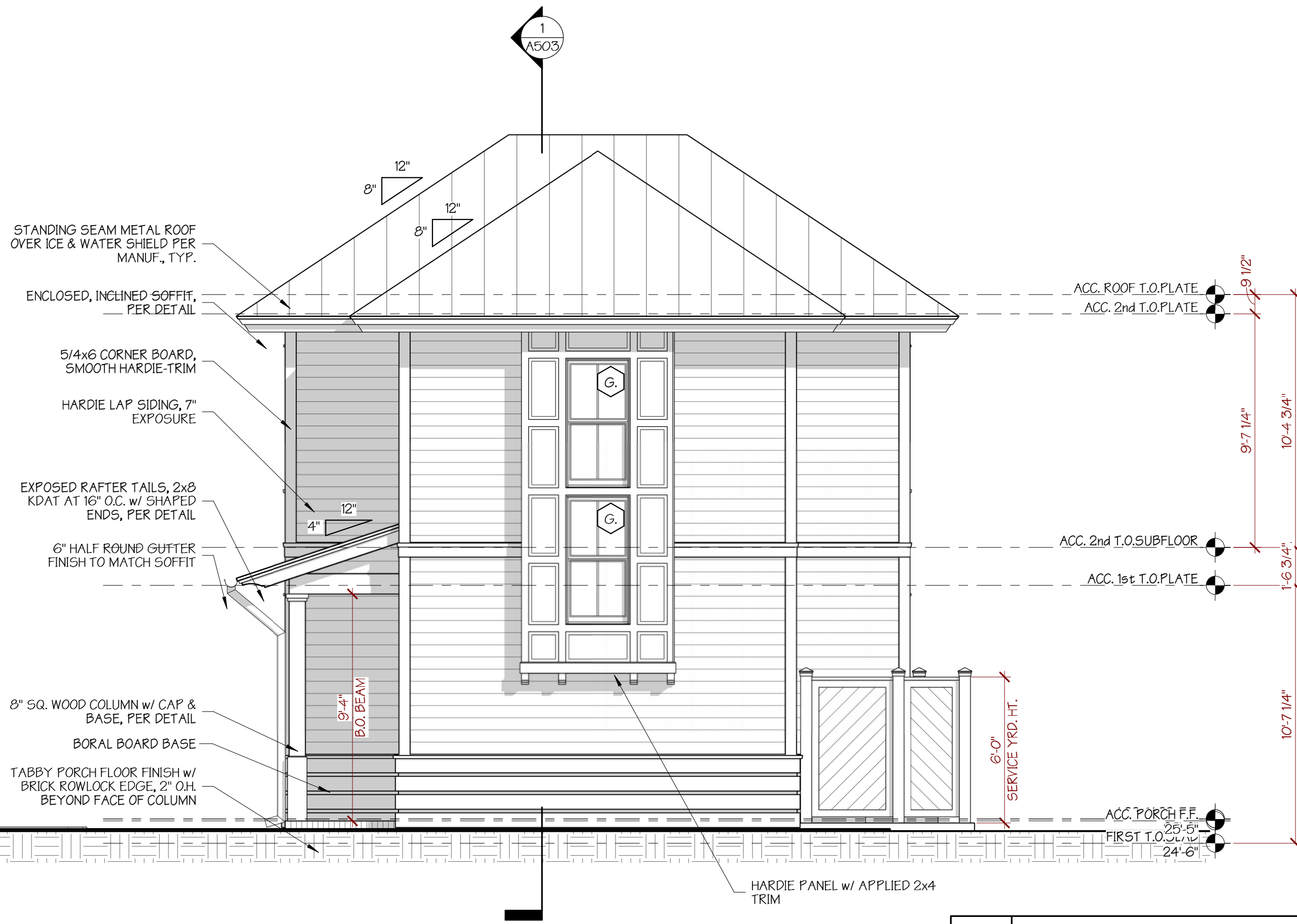
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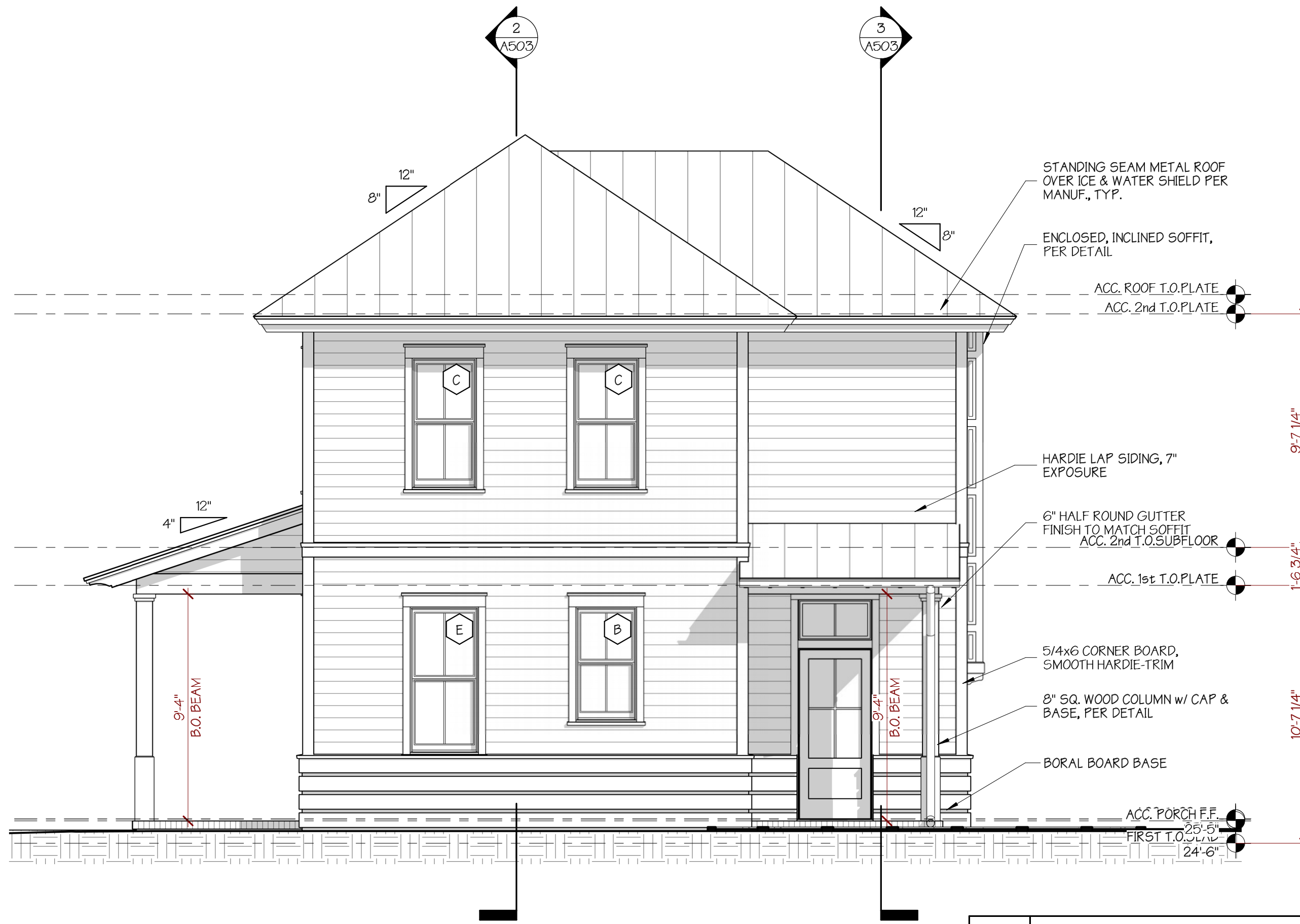
3 REAR ELEVATION, ACCESSORY  
1/4" = 1'-0"



1 LEFT ELEVATION, ACCESSORY  
1/4" = 1'-0"



4 RIGHT ELEVATION, ACCESSORY  
1/4" = 1'-0"



2 FRONT ELEVATION, ACCESSORY  
1/4" = 1'-0"

DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL		

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: SSK / BRH  
CHECKED BY:

EXT.  
ELEVATIONS,  
ACCESSORY

SHEET NO.

A403

24x36 PAPER SIZE





1	FRONT-LEFT PERSPECTIVE
---	------------------------



2	FRONT-RIGHT PERSPECTIVE
---	-------------------------

DO NOT SCALE FROM DRAWING										Section VII, Item #2.	
										XXX	INITIAL
										XX.X.24	DATE
										XXX	DESCRIPTION / REVISION LOG
										NO.	

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ARCHITECTS

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NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

EXT.  
PERSPECTIVES

SHEET NO.

A404

24x36 PAPER SIZE





FRAMING NOTES:

- STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
- CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
- FIRST FLOOR DESIGNED w/ 5/4x SLEEPER SYSTEM. MAINTAIN 3" STEP-UP FROM PORCH F.F. TO HOUSE F.F. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.

DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
				XXX	INITIAL
				XX.X.24	DATE
				XXX	DESCRIPTION / REVISION LOG
				NO.	

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PEARCE  
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ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

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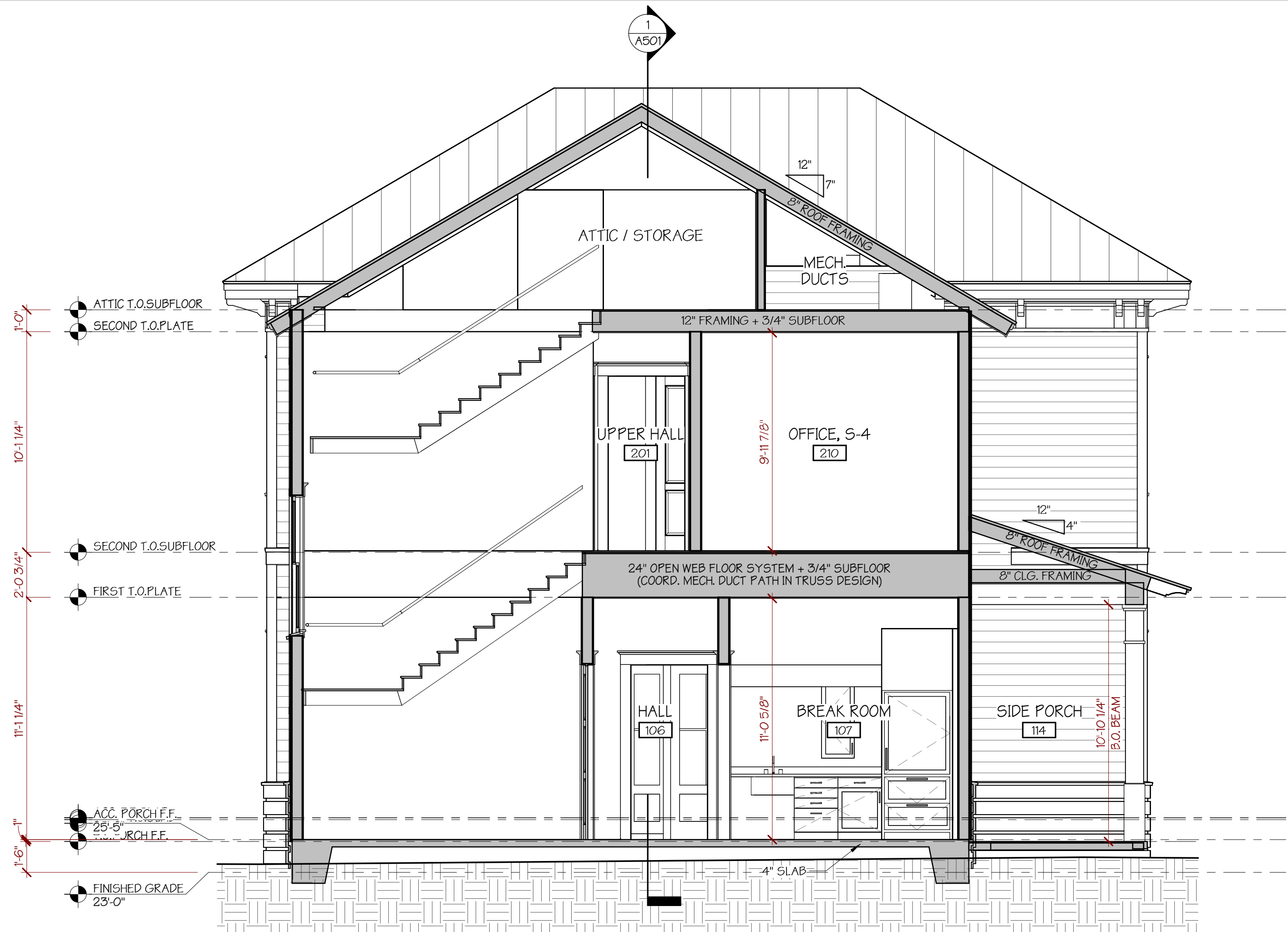
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DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

BUILDING  
SECTIONS

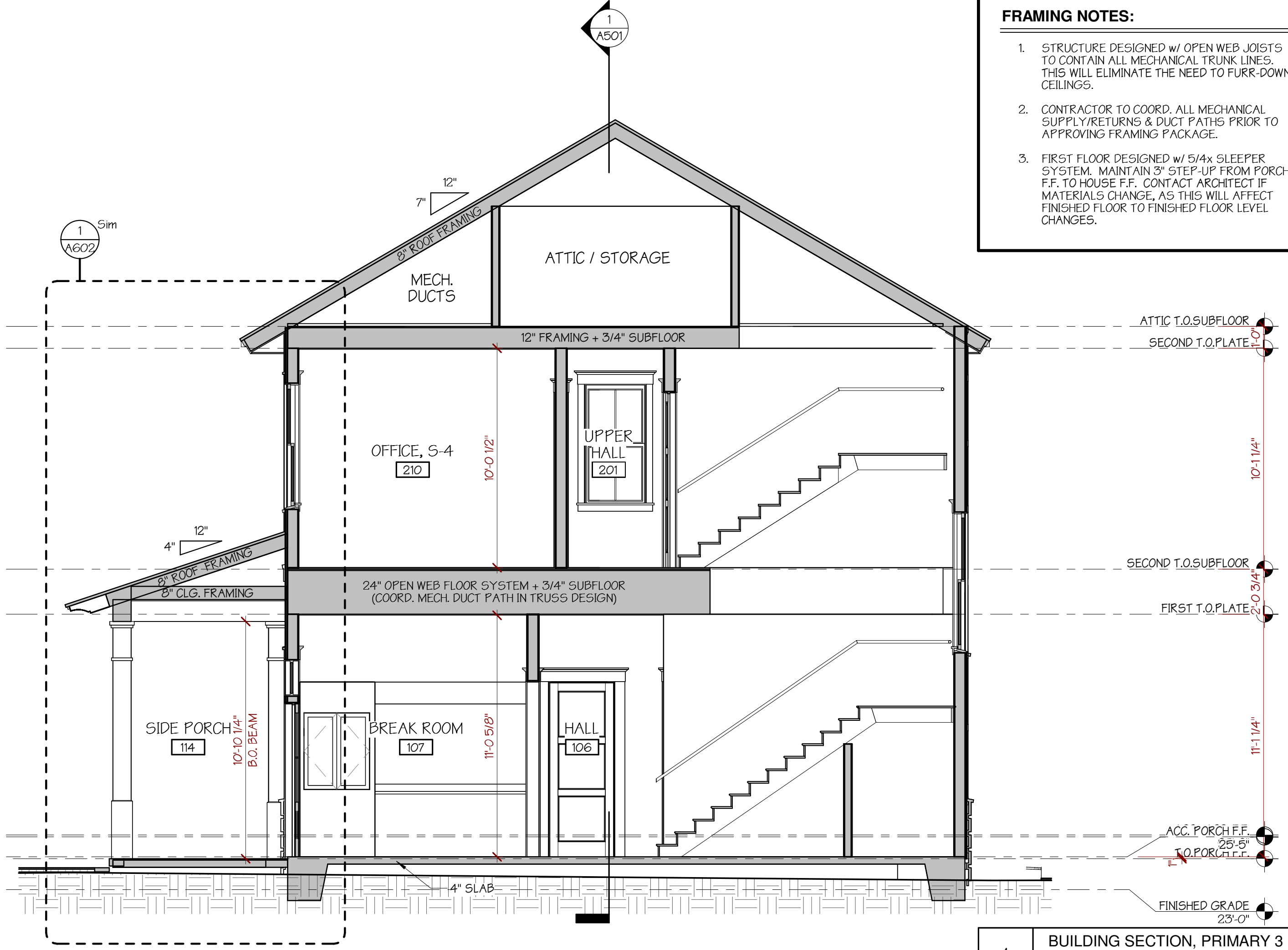
SHEET NO.  
A501

24x36 PAPER SIZE





3 BUILDING SECTION, PRIMARY 5  
1/4" = 1'-0"



1 BUILDING SECTION, PRIMARY 3  
1/4" = 1'-0"

- FRAMING NOTES:**
1. STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
  2. CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
  3. FIRST FLOOR DESIGNED w/ 5/4x SLEEPER SYSTEM. MAINTAIN 2" STEP-UP FROM PORCH F.F. TO HOUSE F.F. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.

DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
				XXX	INITIAL
				XX.X.24	DATE
				XXX	DESCRIPTION / REVISION LOG
				NO.	

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NEW COMMERCIAL BLDG. FOR:  
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60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

**NOT FOR CONSTRUCTION**

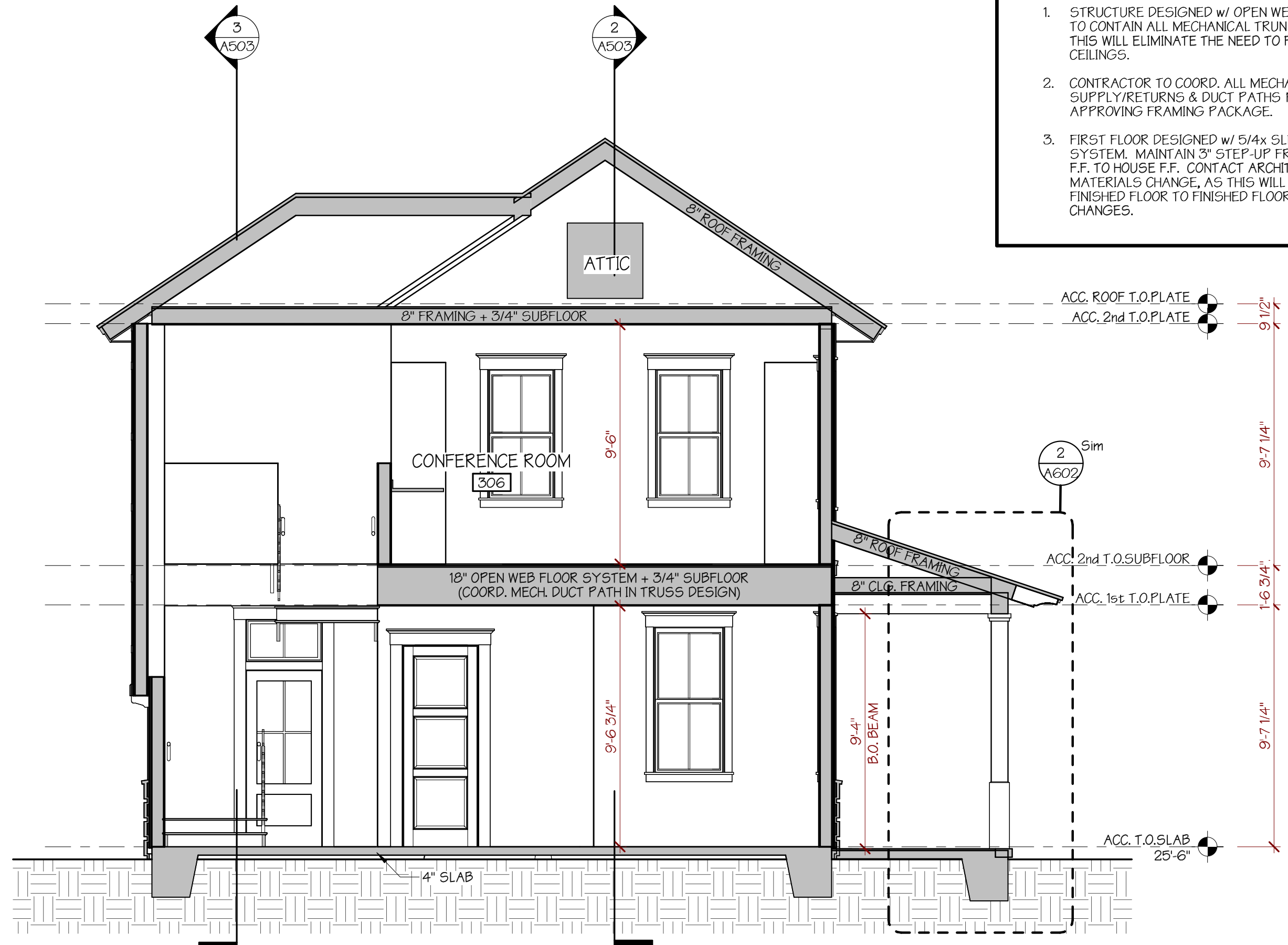
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DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

BUILDING  
SECTIONS

SHEET NO.  
**A502**

24x36 PAPER SIZE





FRAMING NOTES:

1. STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
2. CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
3. FIRST FLOOR DESIGNED w/ 5/4x SLEEPER SYSTEM. MAINTAIN 2\"/>

DO NOT SCALE FROM DRAWING

Section VII, Item #2.

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
XXX		XX.X.24	XXX

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BLUFFTON, SC 29910  
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NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: SSK  
CHECKED BY:

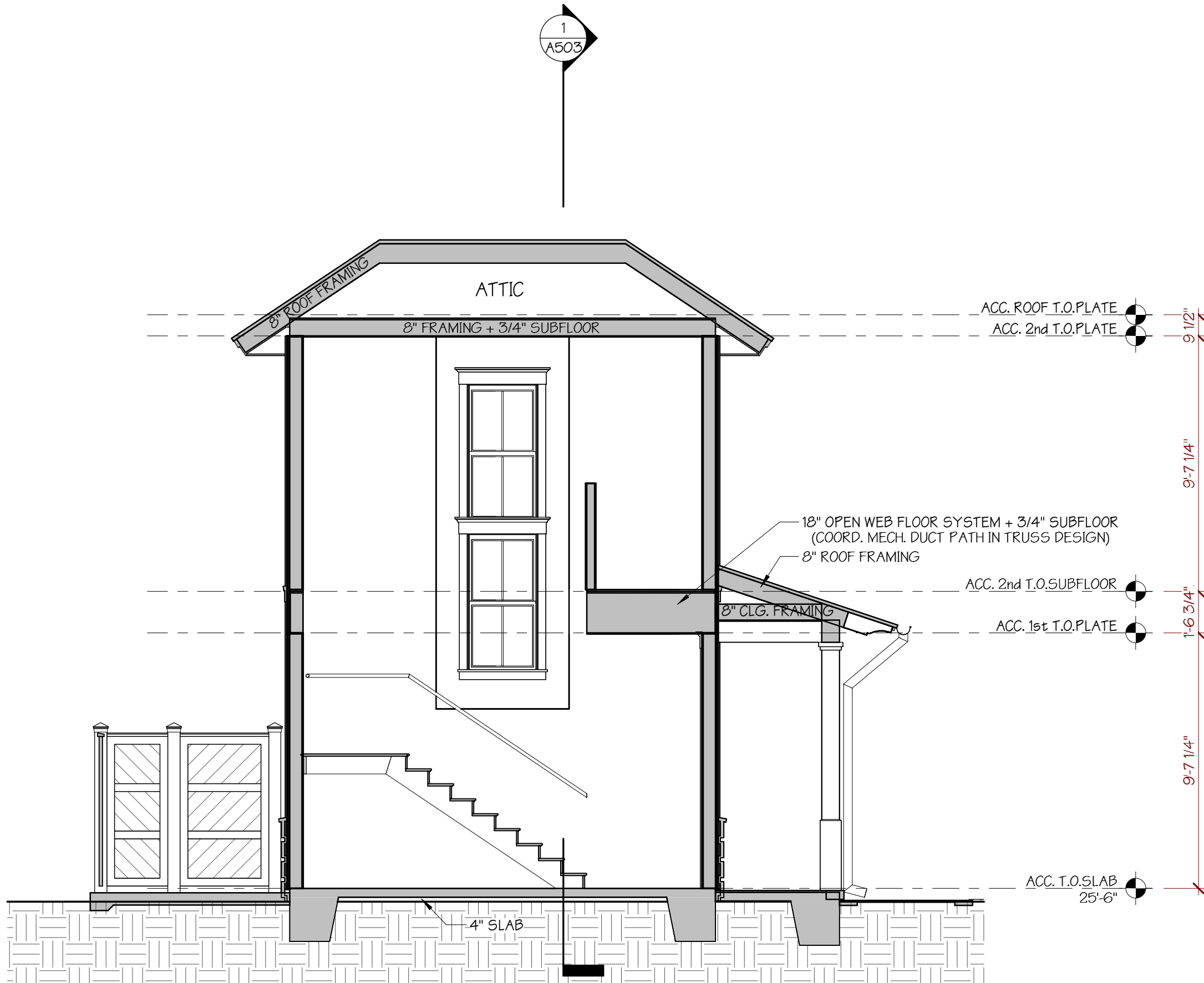
ACC. BUILDING  
SECTIONS

SHEET NO.

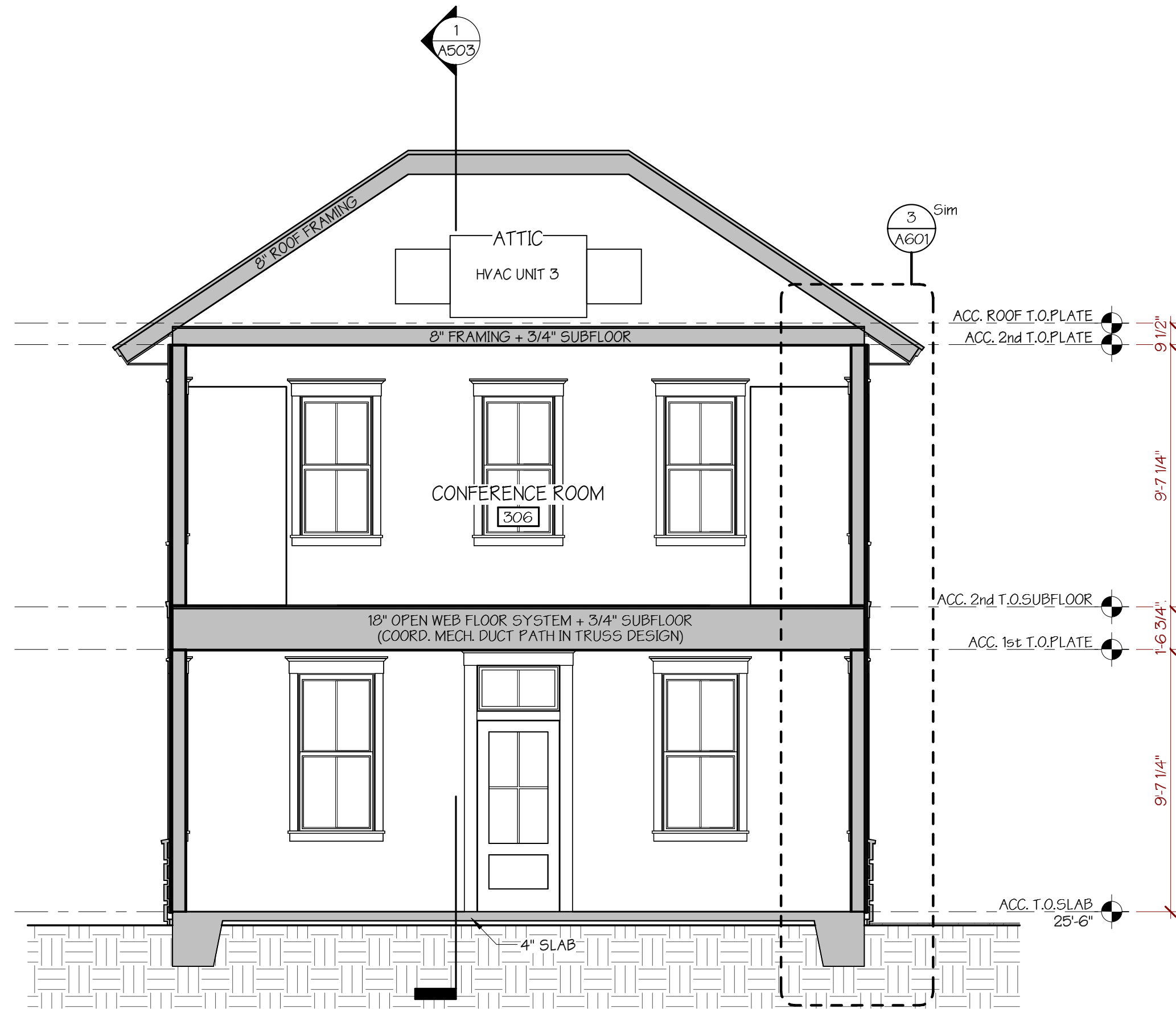
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24x36 PAPER SIZE

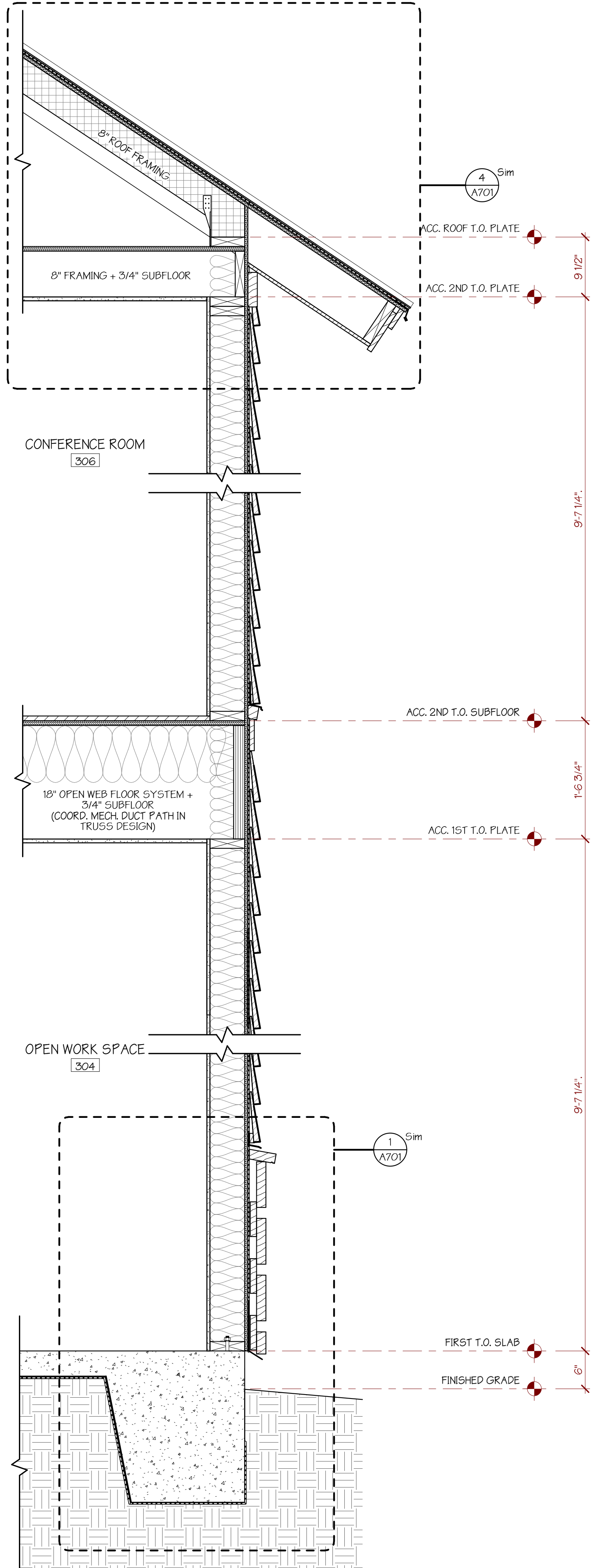
1 BUILDING SECTION, ACCESSORY 1  
1/4" = 1'-0"



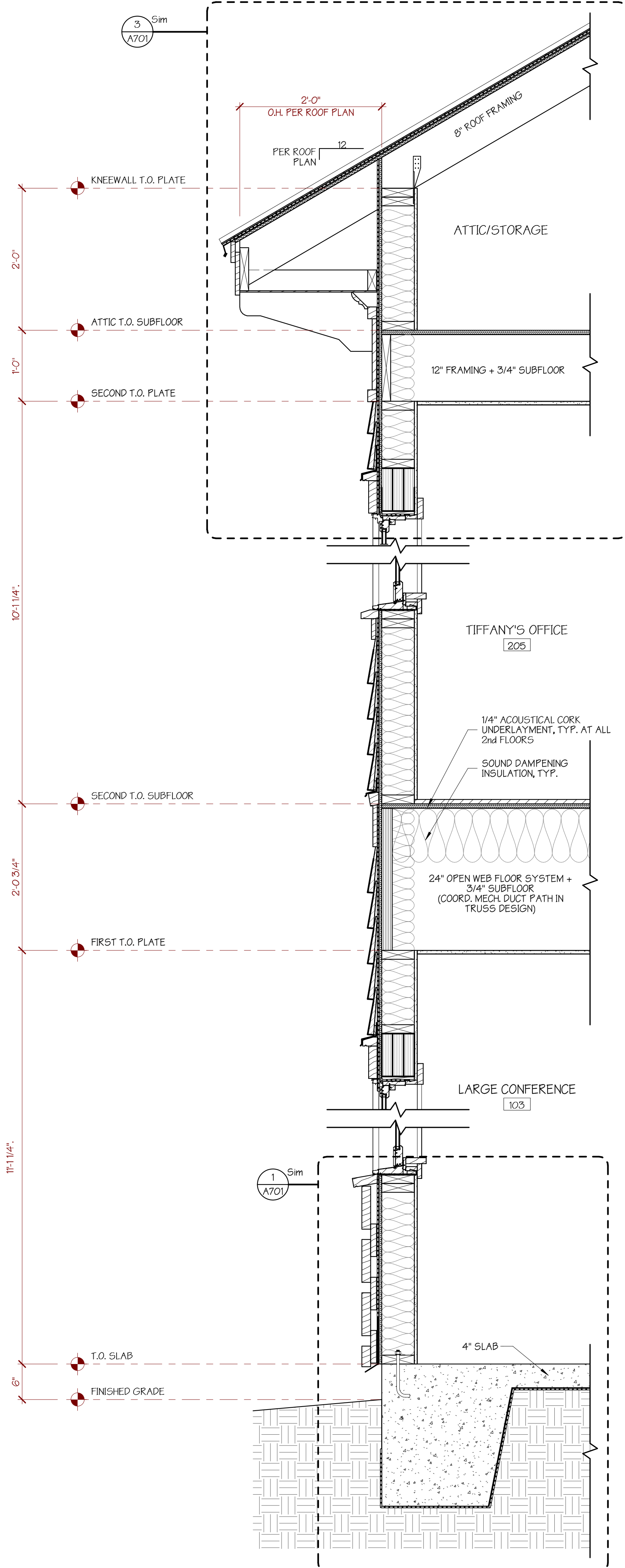
3 BUILDING SECTION, ACCESSORY 3  
1/4" = 1'-0"



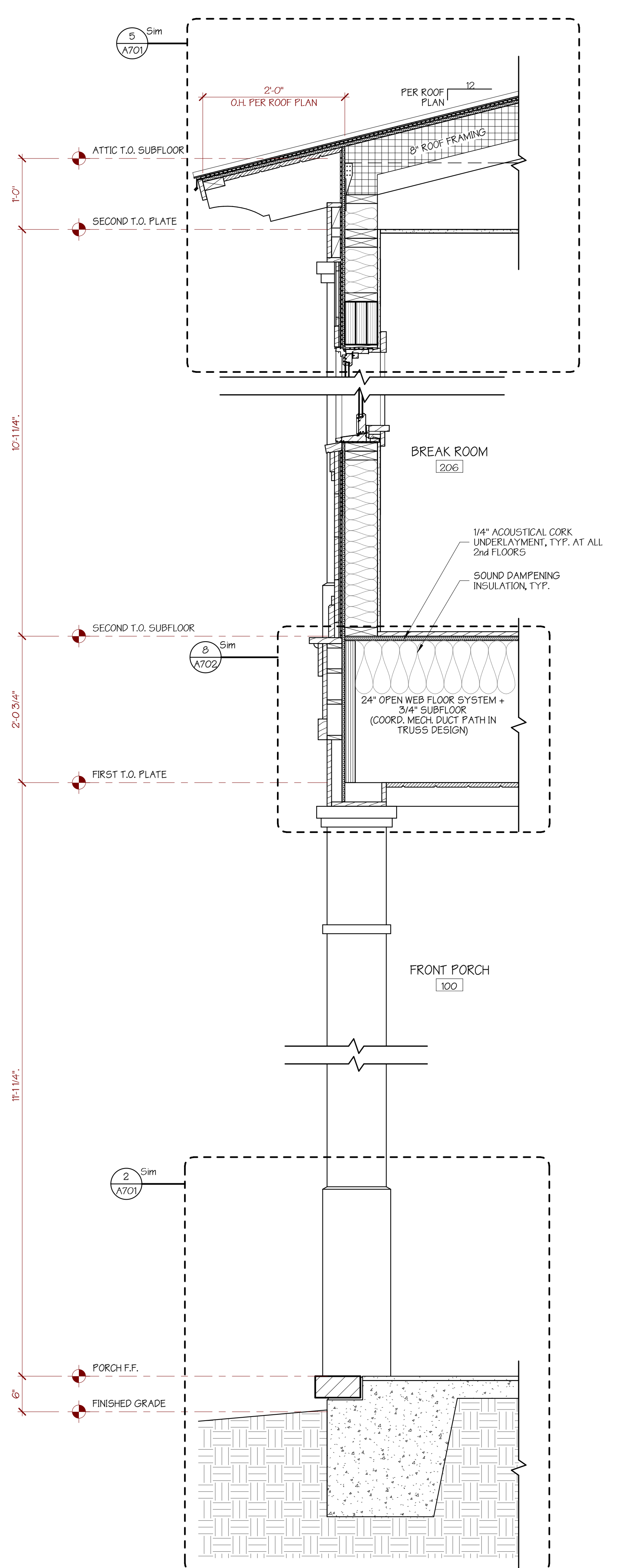
2 BUILDING SECTION, ACCESSORY 2  
1/4" = 1'-0"



3 ACC. BUILDING WALL SECTION  
1" = 1'-0"



2 LARGE CONF. ROOM WALL SECTION  
1" = 1'-0"



1 FRONT PORCH WALL SECTION  
1" = 1'-0"

DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
			XXX	XXX	XXX
			DATE	DATE	INITIAL
			XX.X.24	XX.X.24	XX.X.24
			NO.	DESCRIPTION / REVISION LOG	NO.

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SUITE 200  
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NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	BRH
CHECKED BY:	

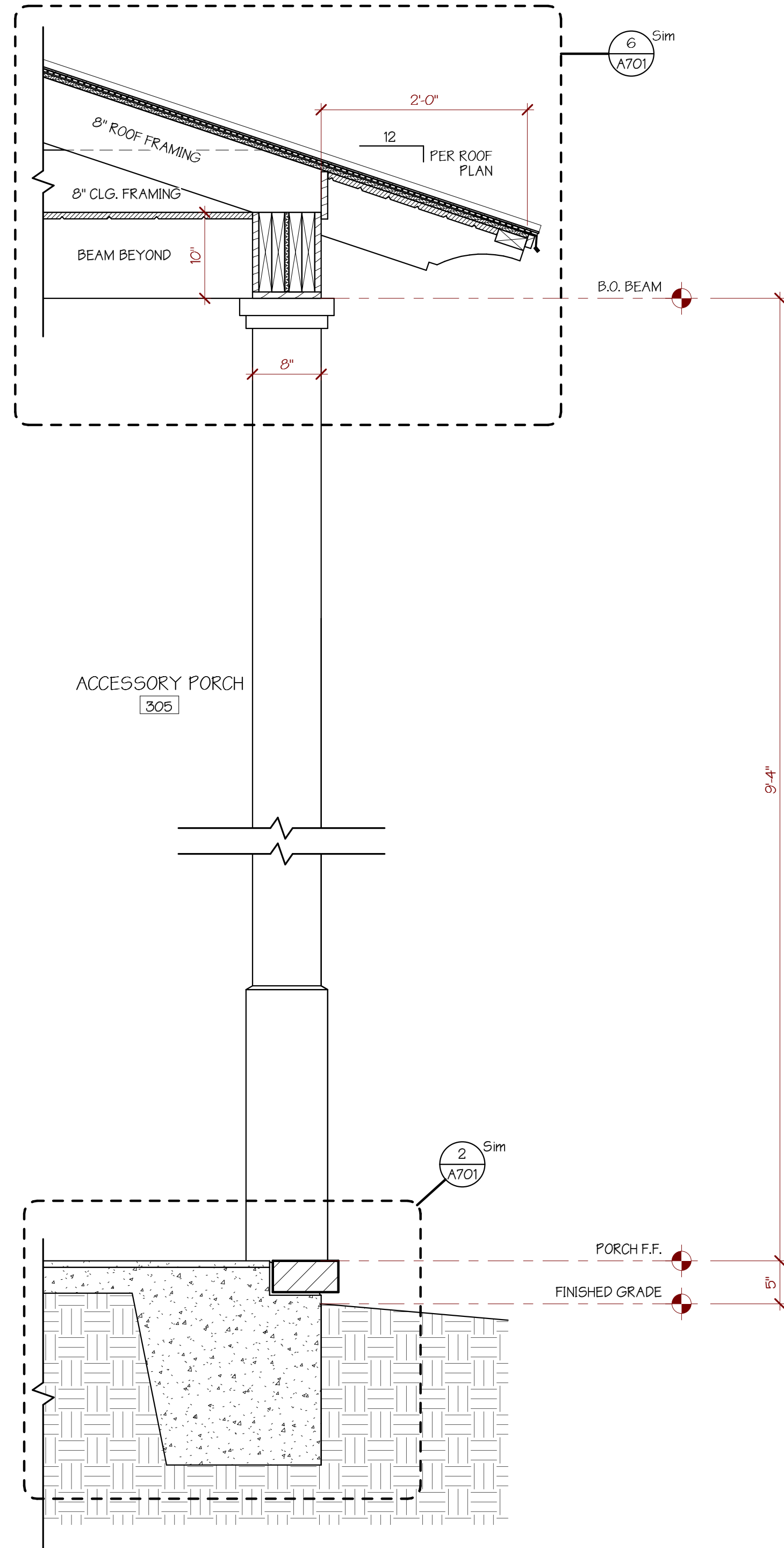
WALL SECTIONS

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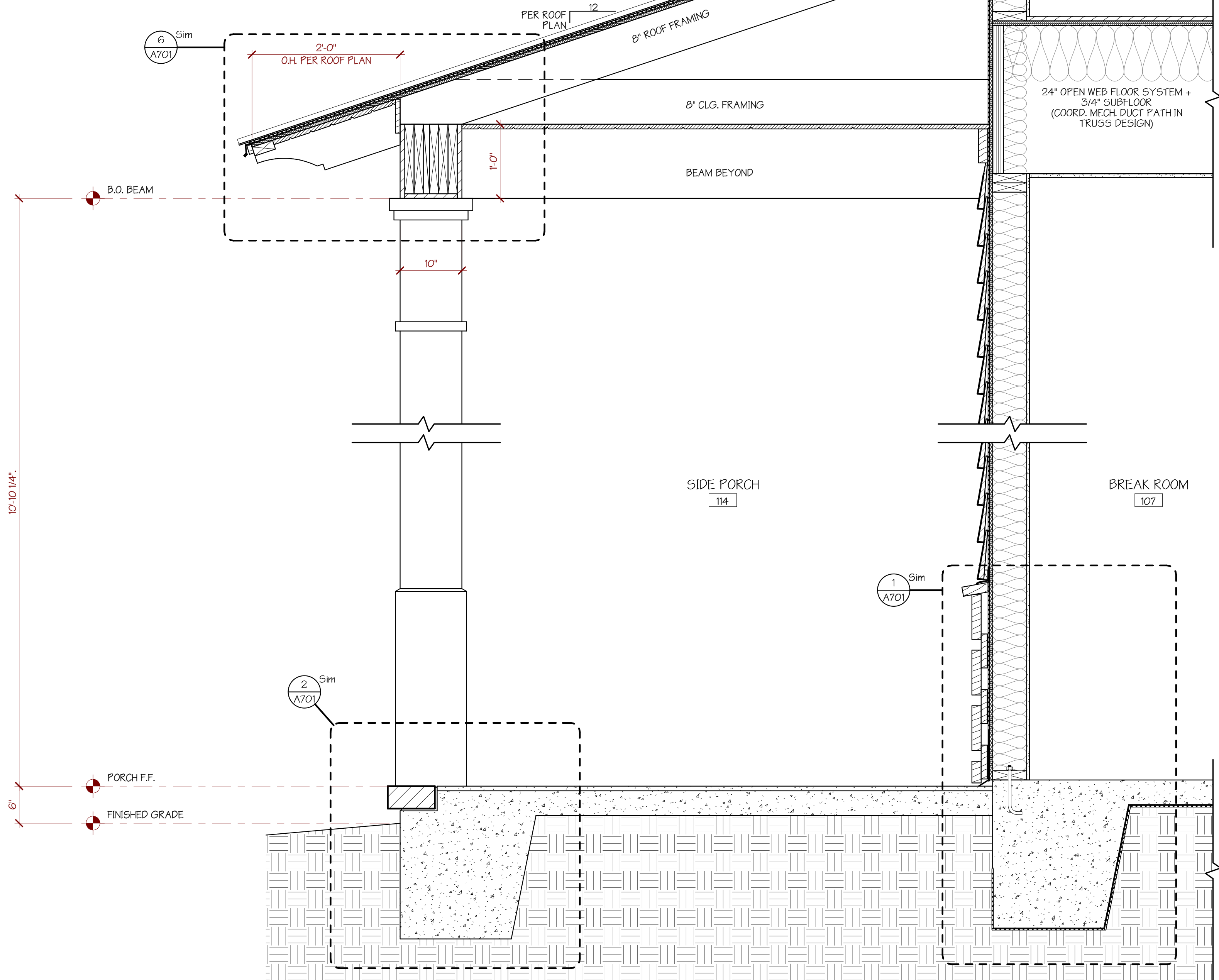
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24x36 PAPER SIZE

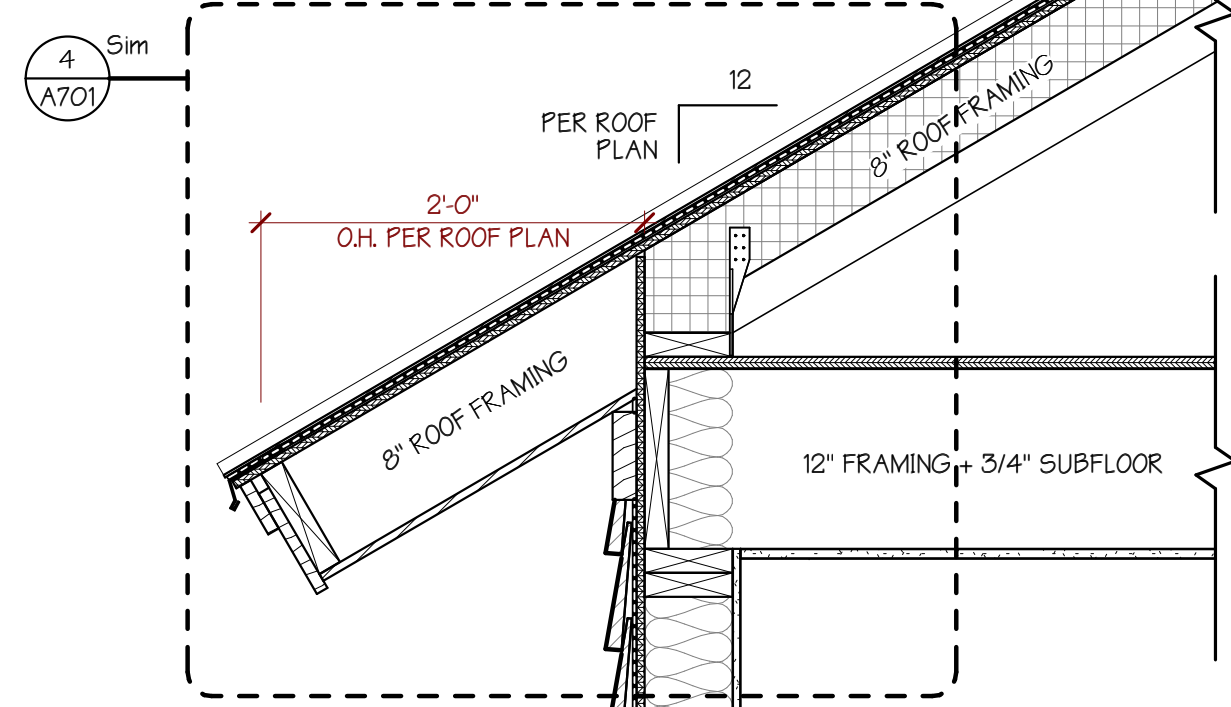




2 ACC. PORCH WALL SECTION  
1" = 1'-0"



1 SIDE PORCH WALL SECTION  
1" = 1'-0"



DO NOT SCALE FROM DRAWING				Section VII, Item #2.	
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL	DATE	INITIAL
XXX	DESCRIPTION / REVISION LOG	XXX 24	XXX	XXX	XXX

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NEW COMMERCIAL BLDG. FOR:  
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SCOTT  
ARCHITECTS  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
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NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	BRH
CHECKED BY:	

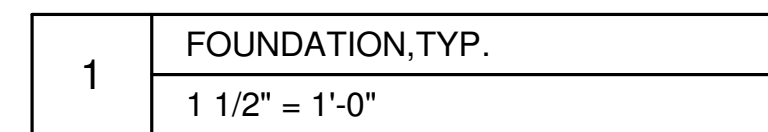
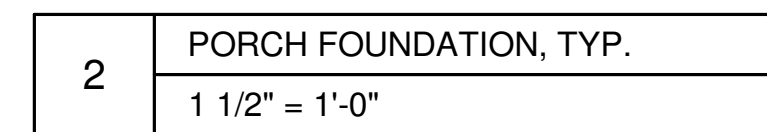
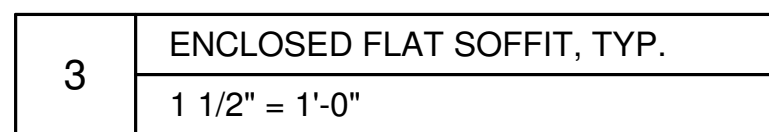
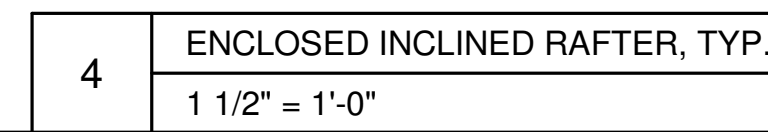
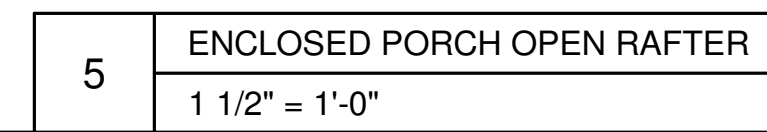
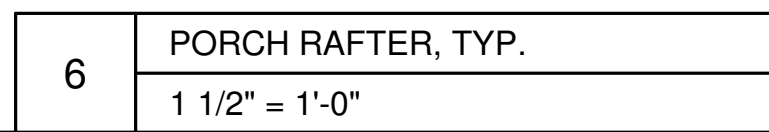
WALL SECTIONS

SHEET NO.

A602

24x36 PAPER SIZE





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**PEARCE  
SCOTT  
ARCHITECTS**  
6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	BRH
CHECKED BY:	

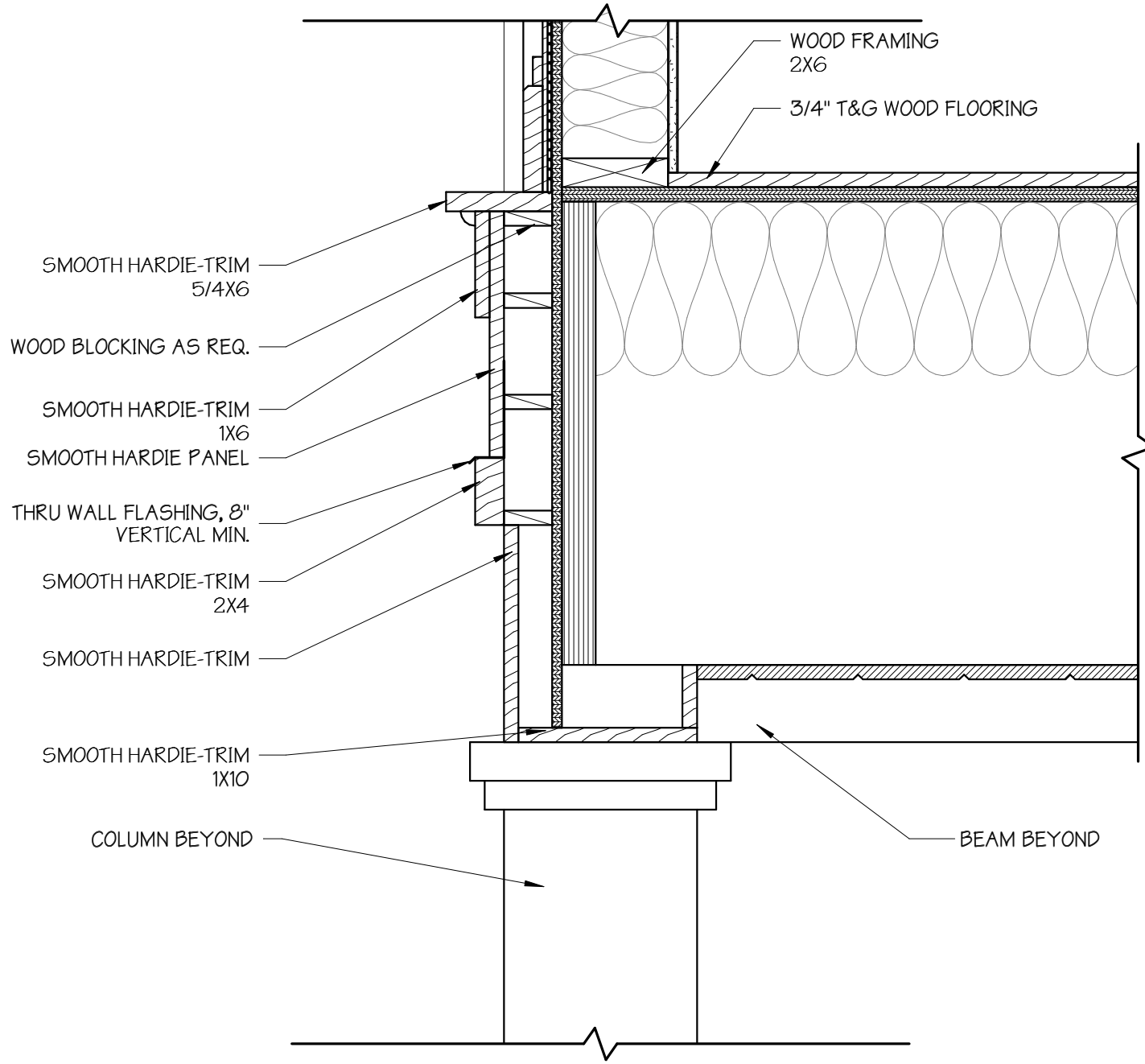
SHEET NO.

**A701**

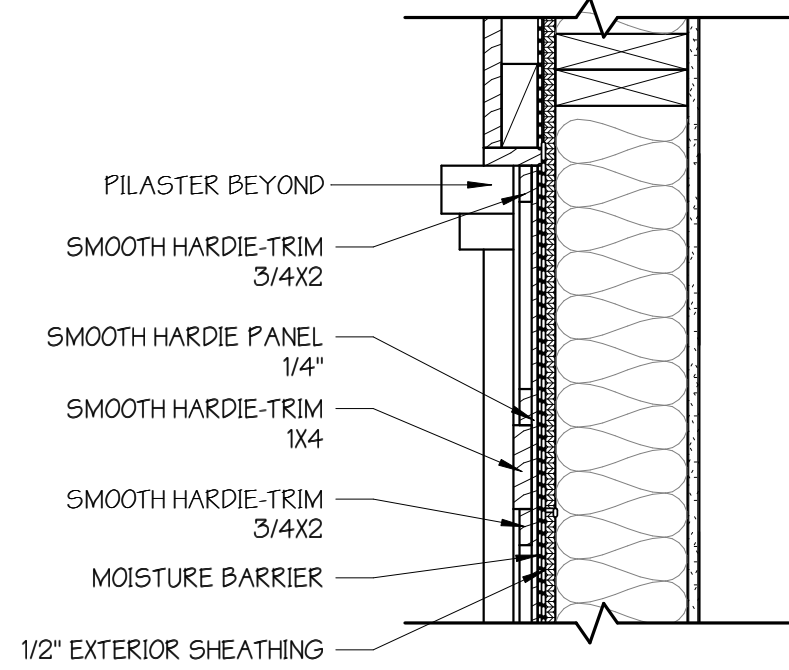


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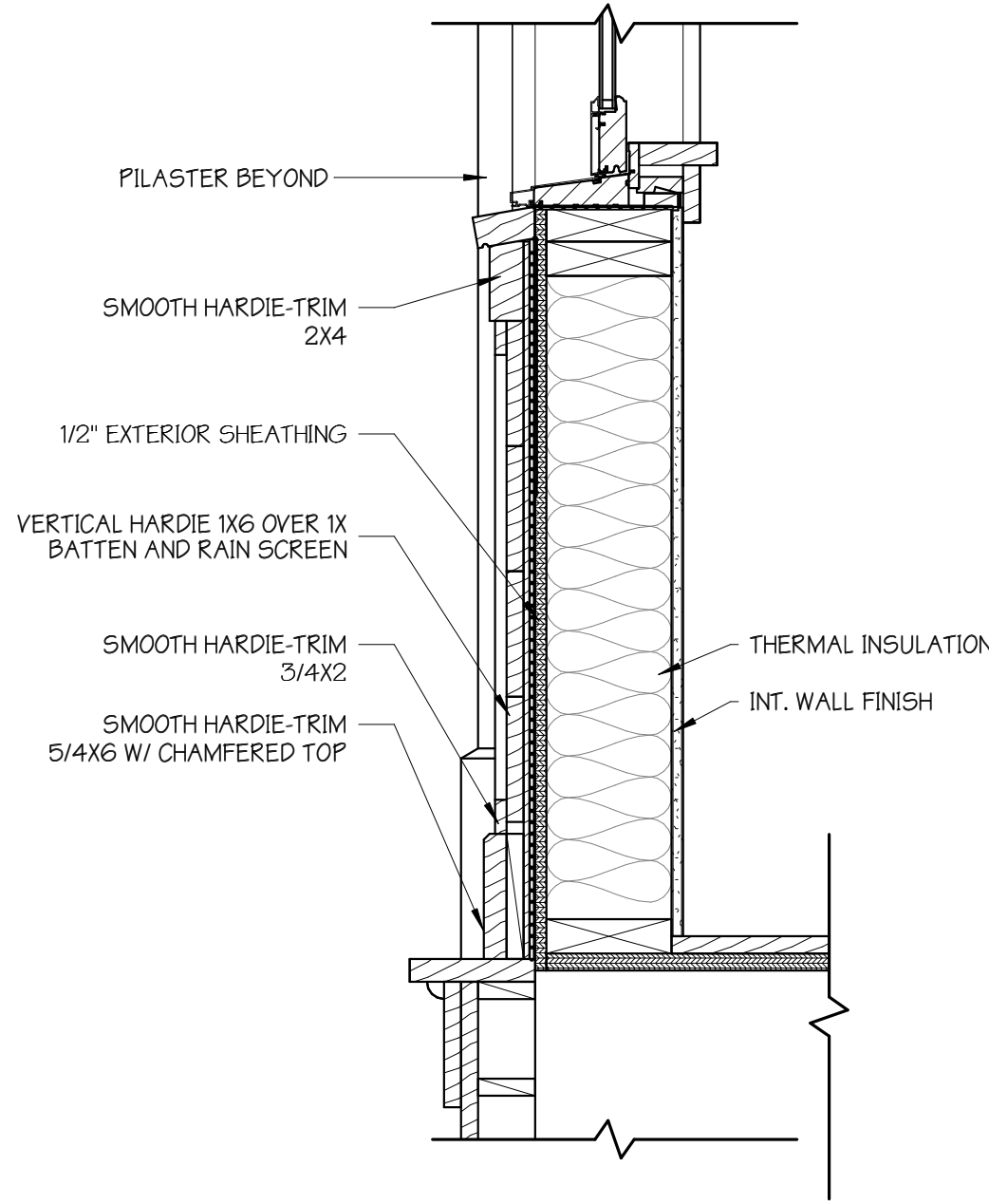
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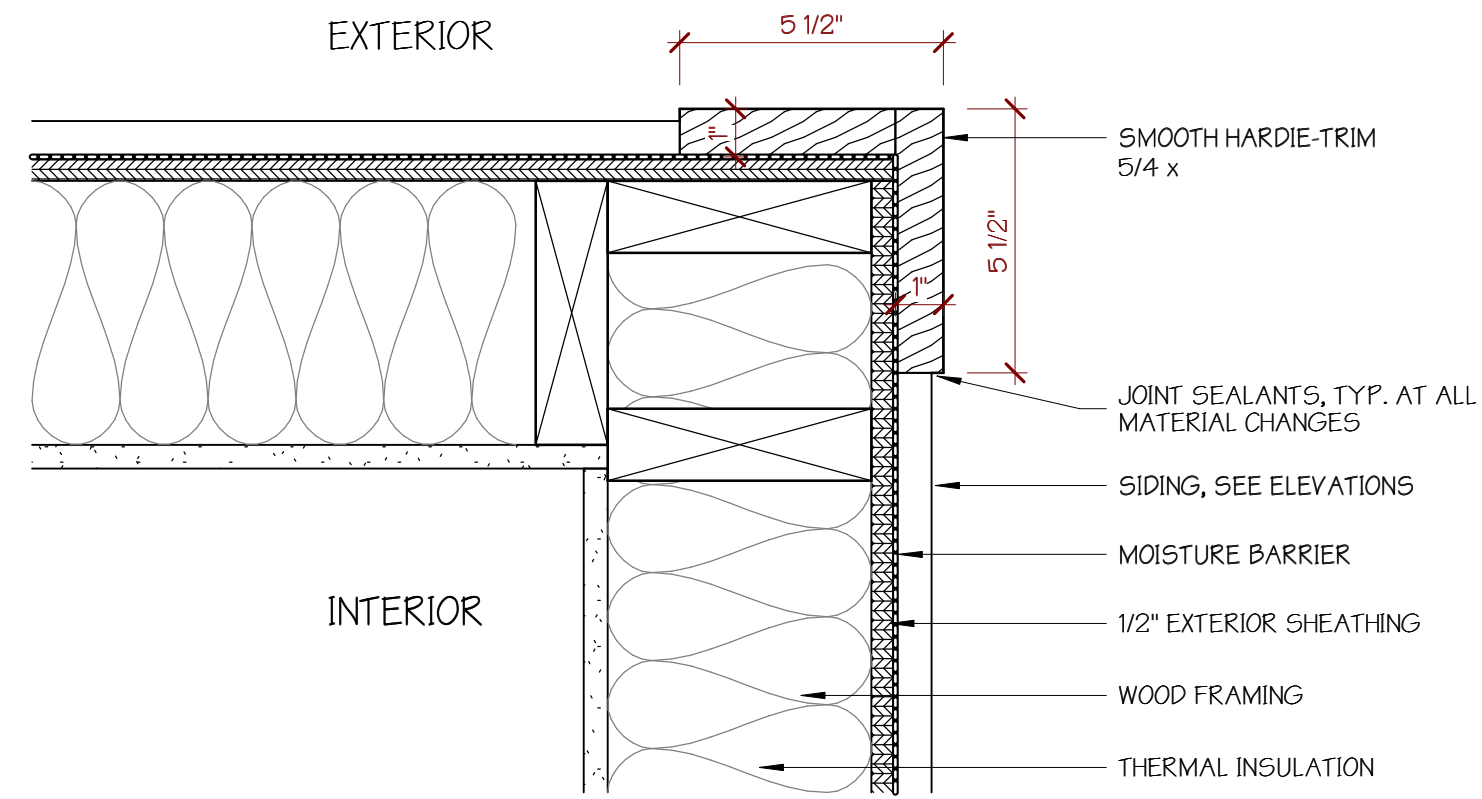
8      DETAIL @ ENCLOSED PORCH  
1 1/2" = 1'-0"



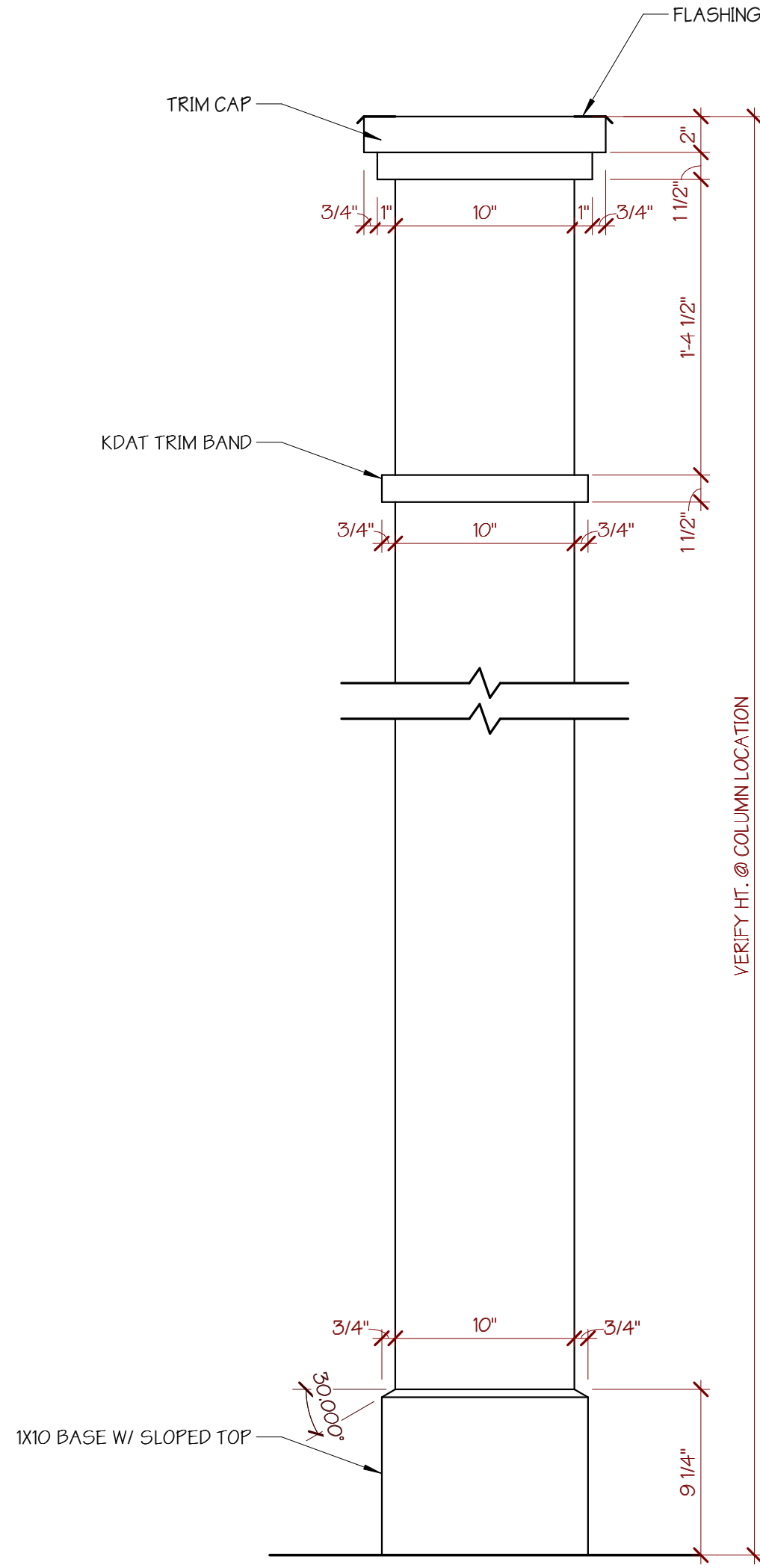
7      PANELING @ T.O. ENCL. PORCH  
1 1/2" = 1'-0"



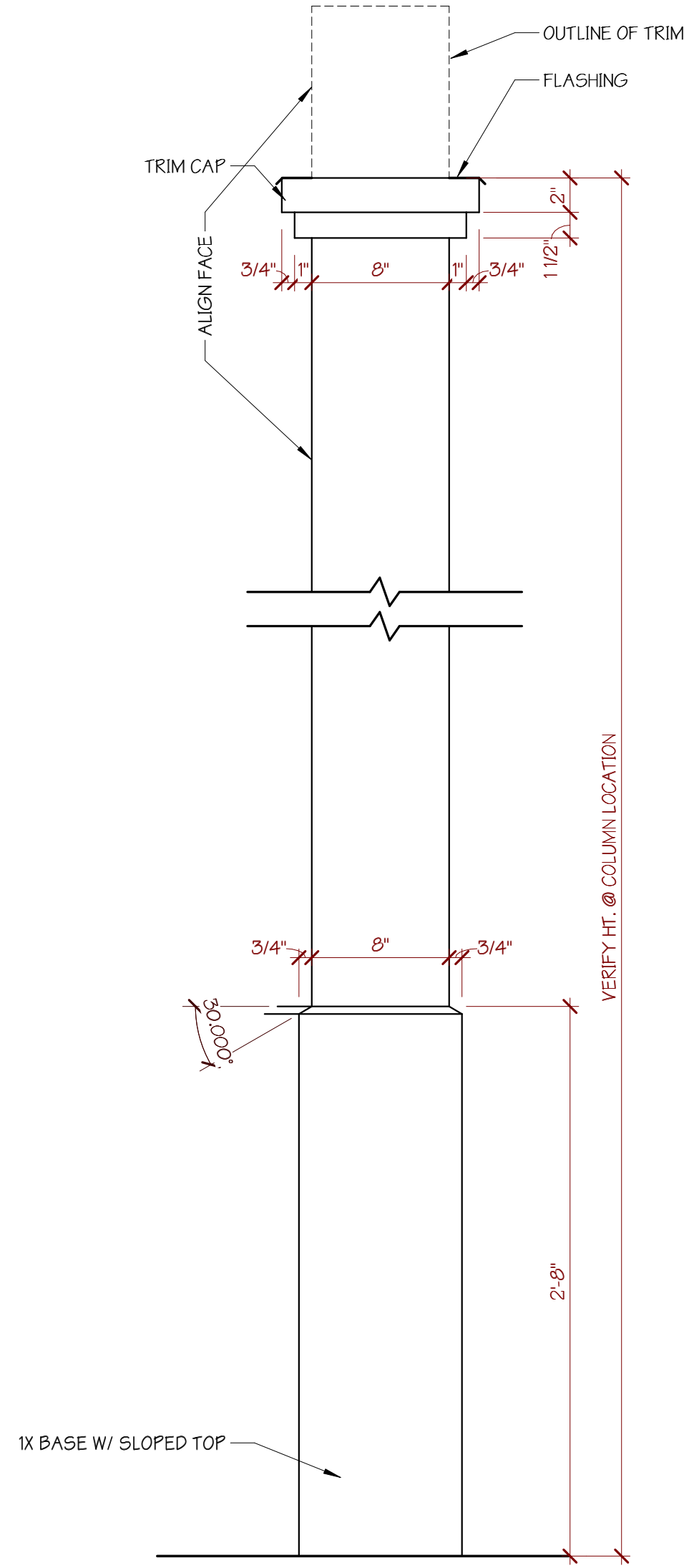
6      PANELING @ B.O. ENCL. PORCH  
1 1/2" = 1'-0"



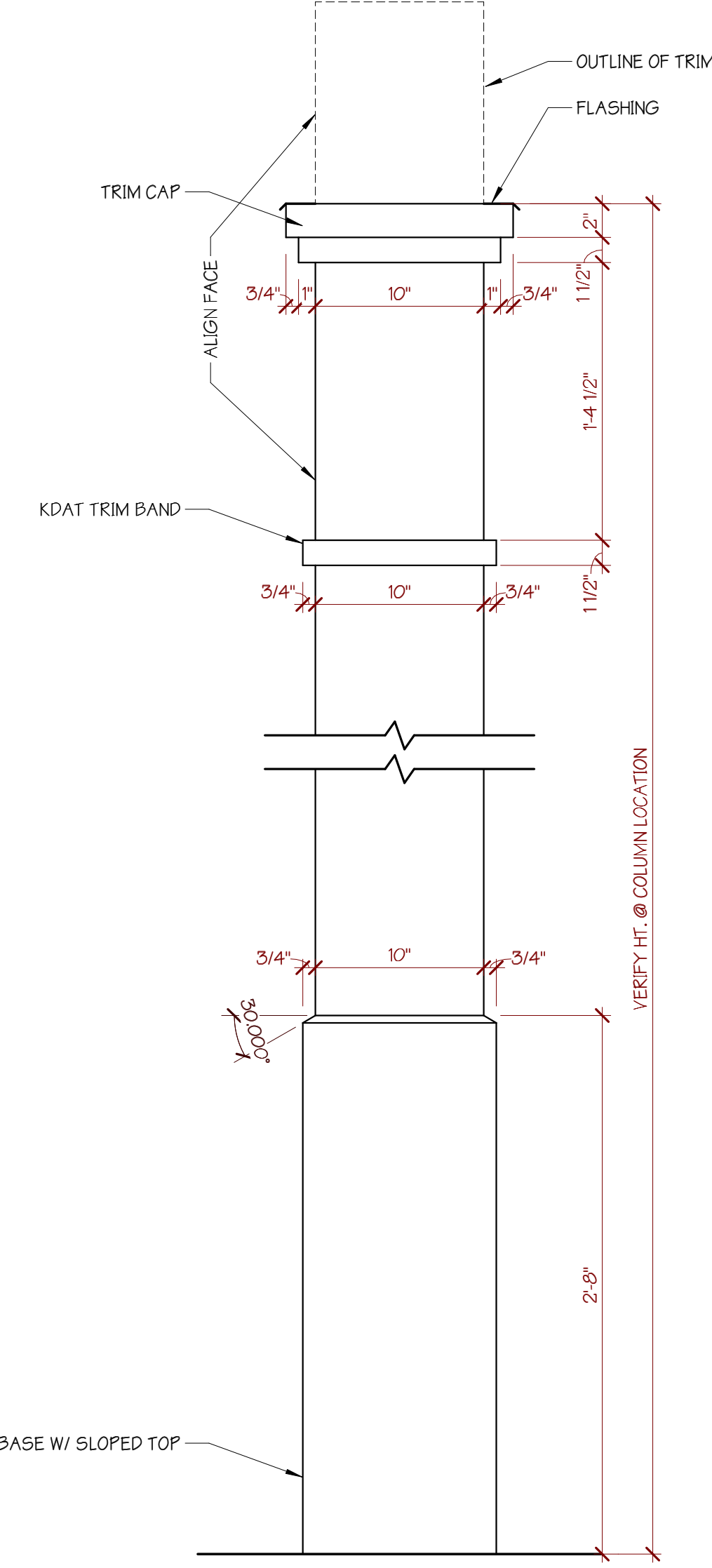
5      CORNERBOARD, TYP.  
3" = 1'-0"



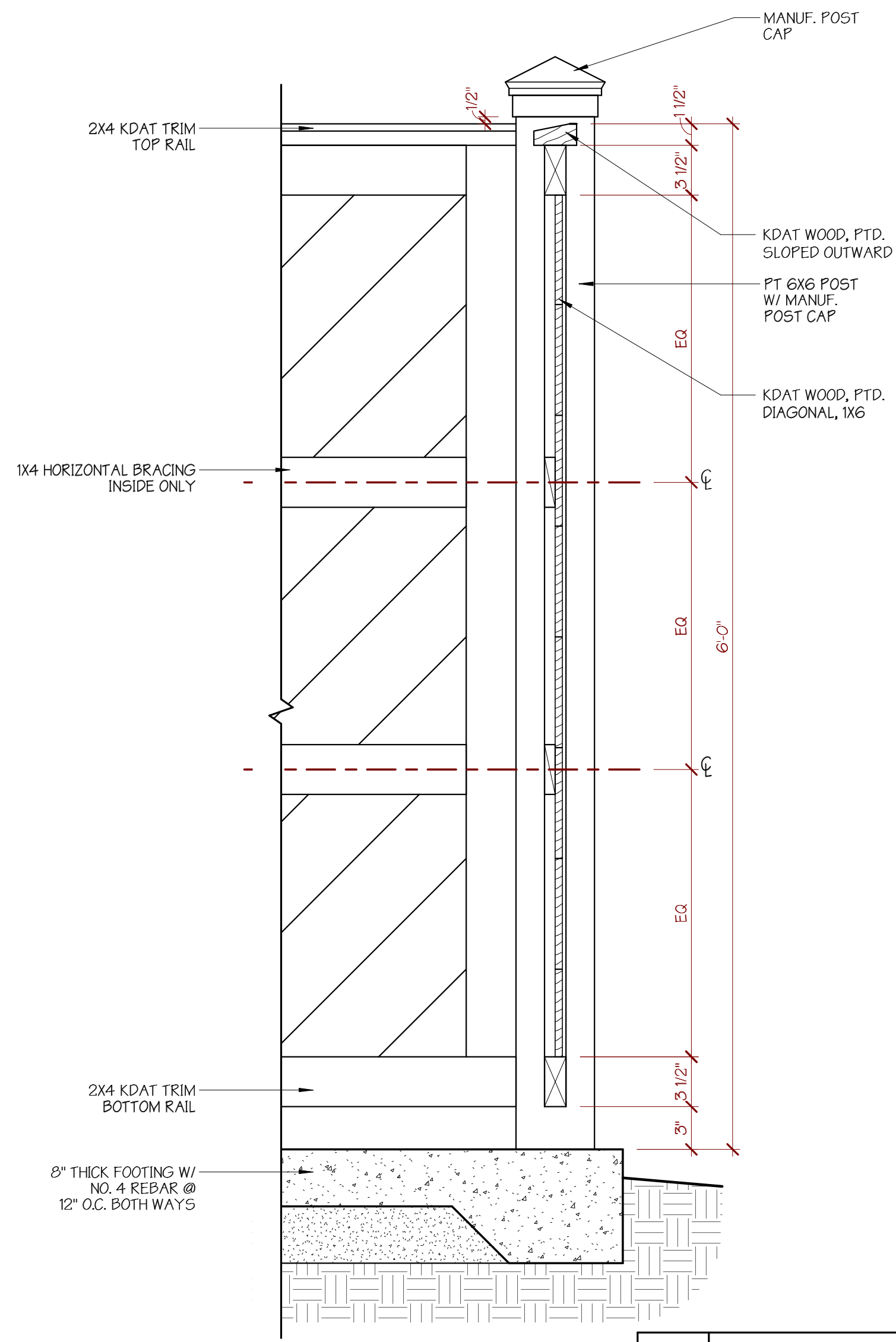
4      10" PILASTER @ ENCL. PORCH  
1 1/2" = 1'-0"



3      8" COLUMN DETAIL  
1 1/2" = 1'-0"



2      10" COLUMN DETAIL  
1 1/2" = 1'-0"



1      SERVICE YARD  
1 1/2" = 1'-0"

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NEW COMMERCIAL BLDG. FOR:  
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60 BRUIN ROAD  
LOT 23, TABBY ROADS  
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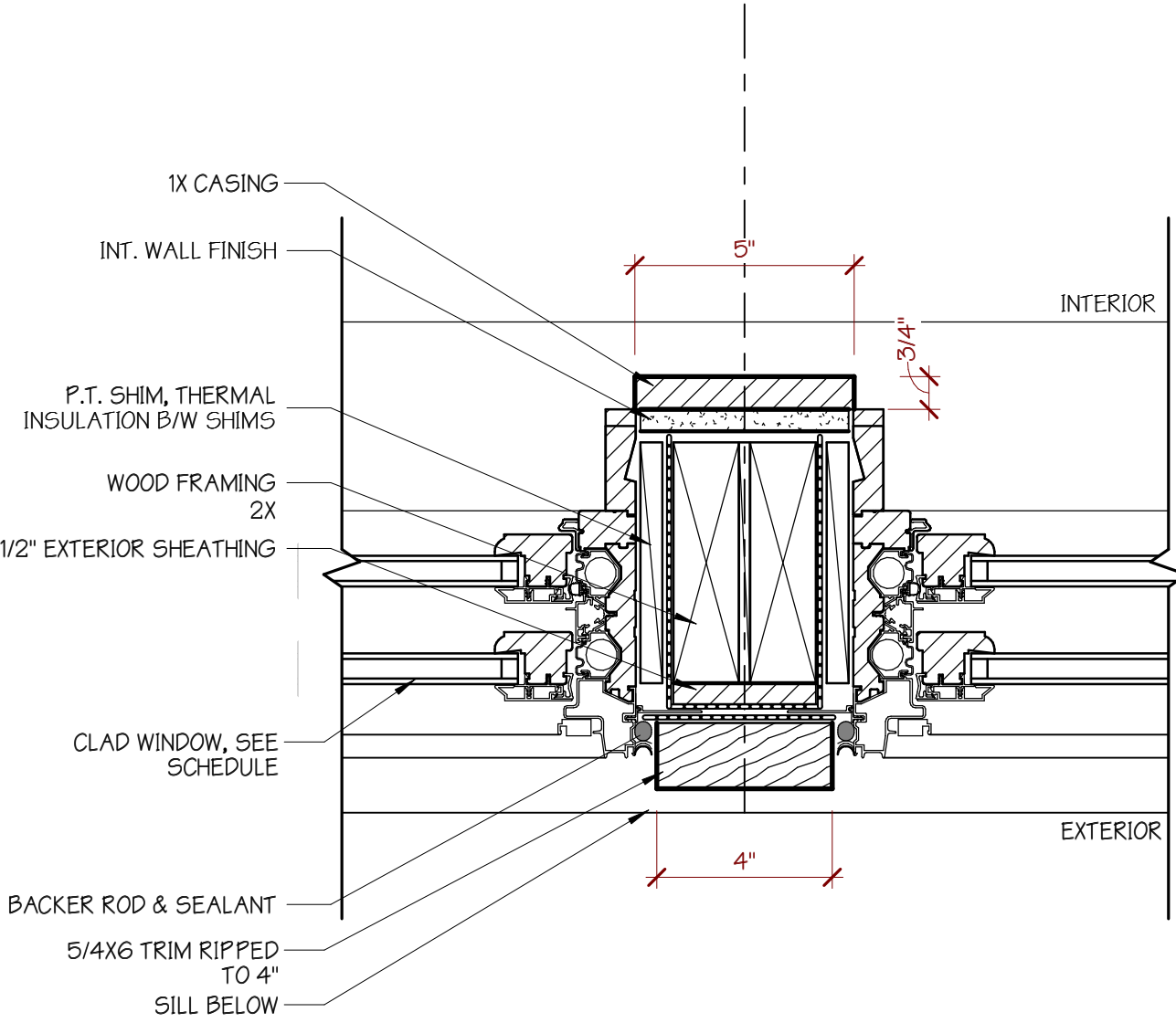
NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403  
DATE: 12.11.24  
DRAWN BY: BRH  
CHECKED BY:

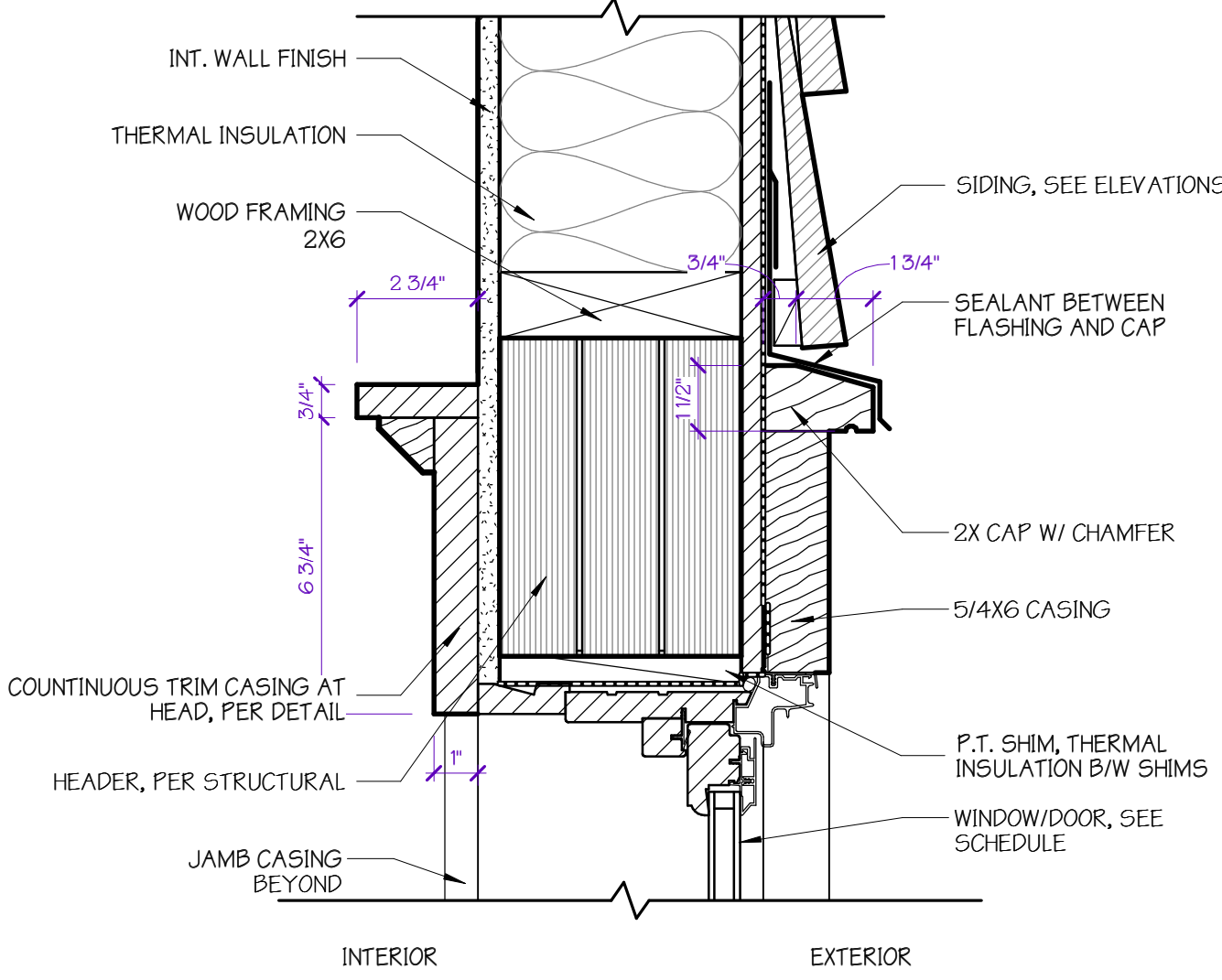
DETAILS

SHEET NO.  
A702

24x36 PAPER SIZE

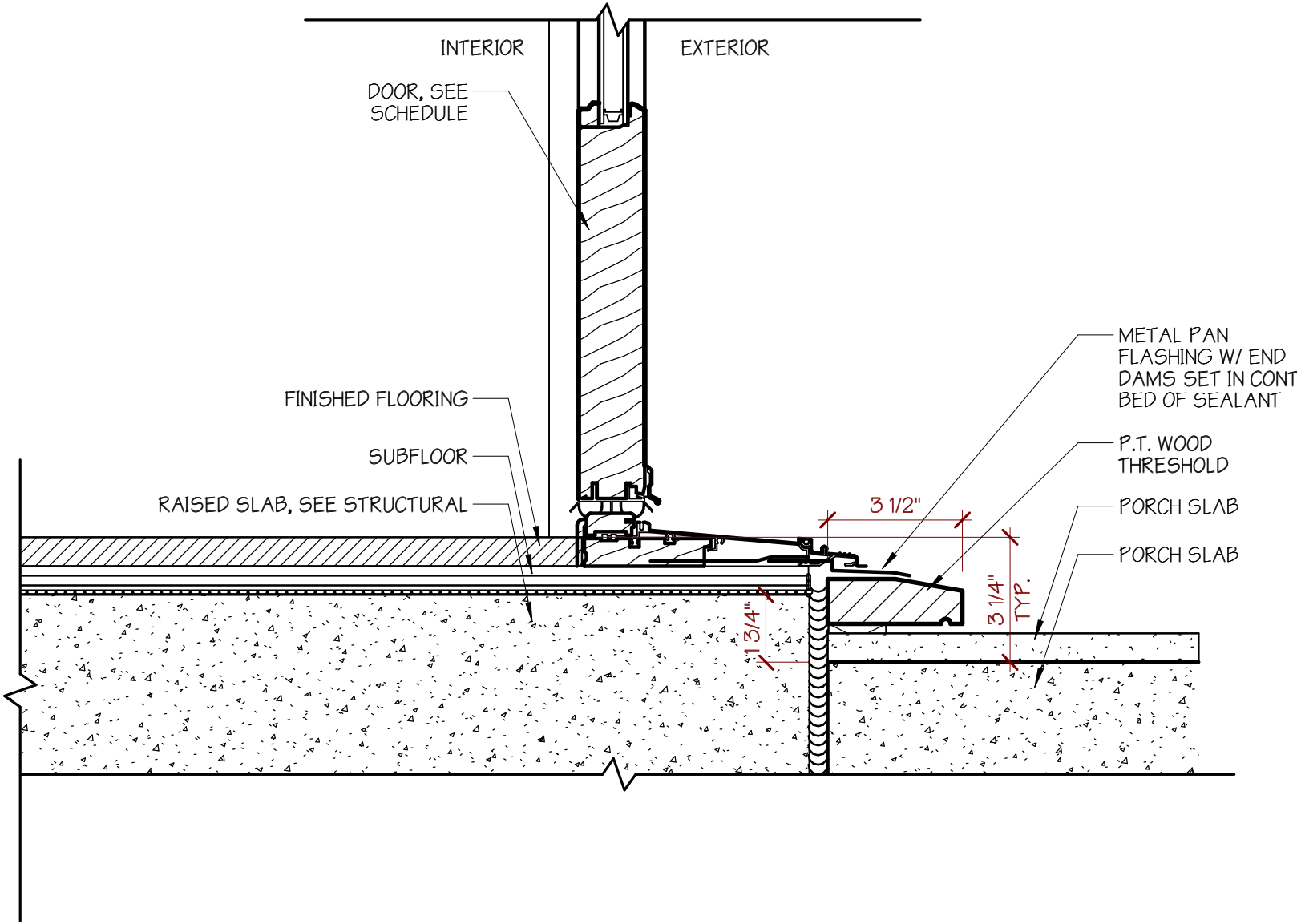


4 WINDOW MULL DETAIL, TYP.  
3" = 1'-0"

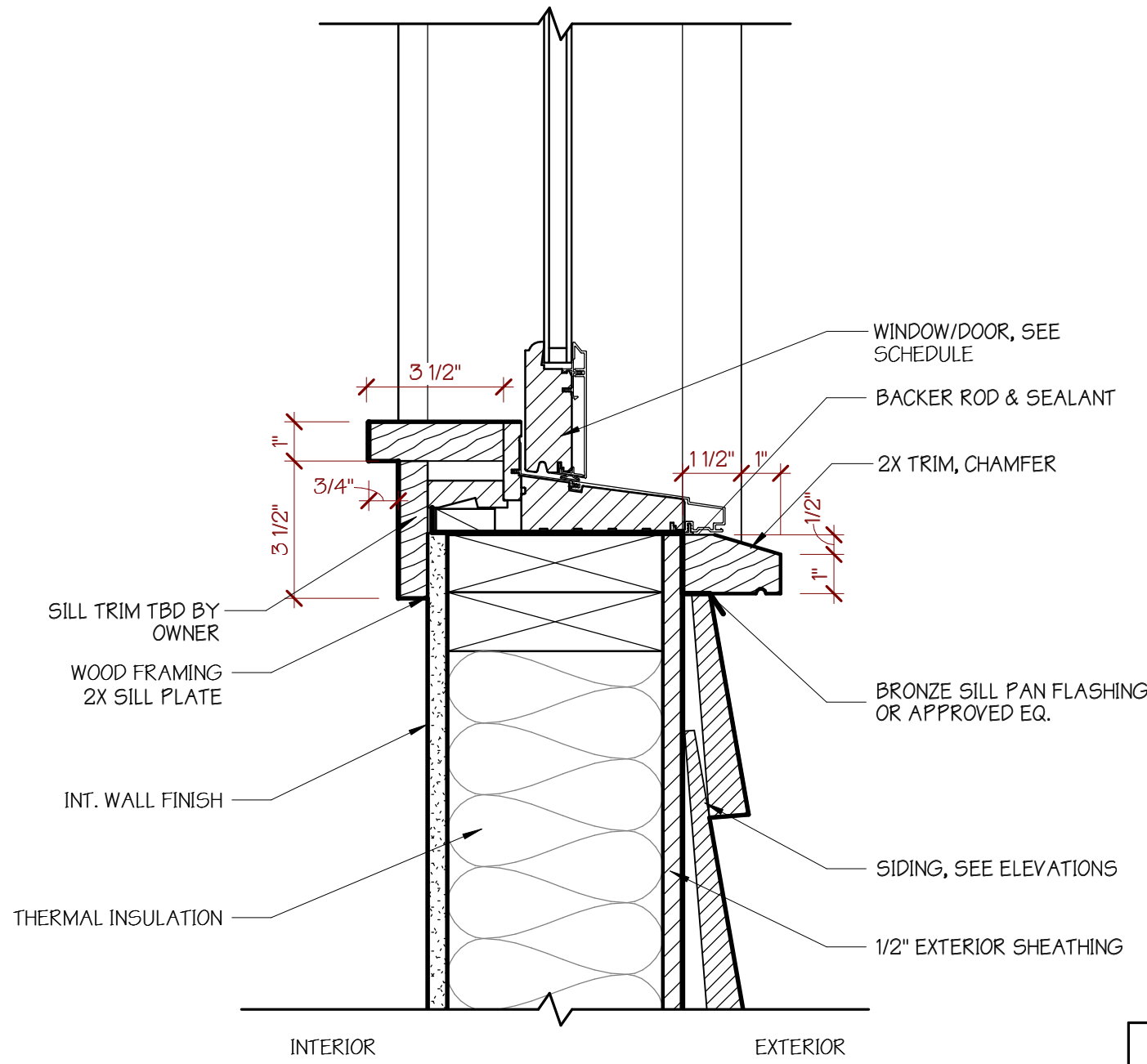


1 WINDOW HEAD DETAIL, TYP.  
3" = 1'-0"

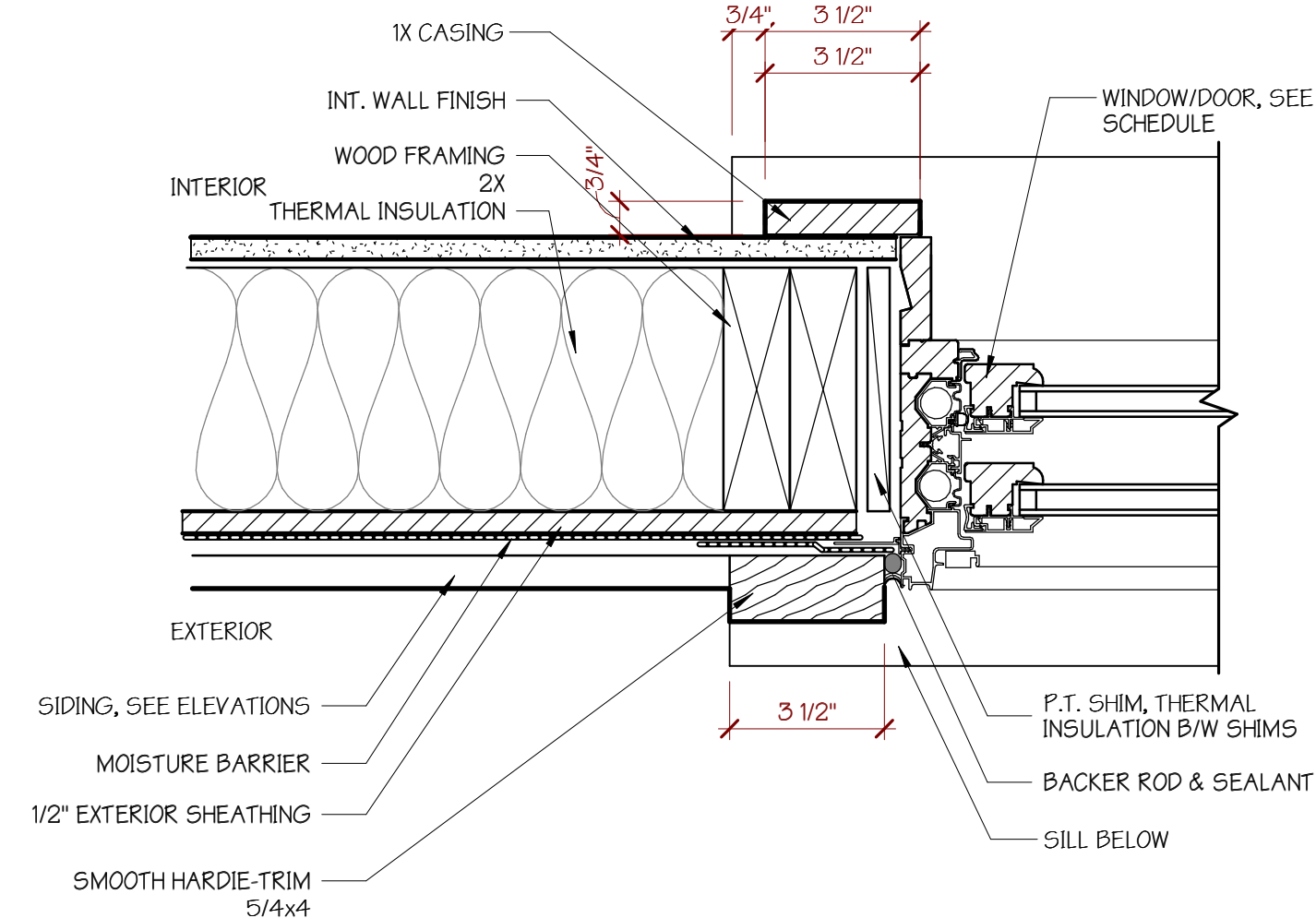
- WINDOW & DOOR HEADER NOTES:**
- WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY. SEE INSTALLATION DIAGRAM AND MANUF.'S INSTALLATION INSTRUCTIONS FOR FLASHING AND WATERPROOFING.
  - GROUPED WINDOWS & DOORS TO HAVE FIELD-APPLIED MULLS & CONT. HEADER & SILLS.
  - SHIM TRIM AS REQUIRED FOR SQUARE INSTALLATION w/ NAILING FLANGE.
  - BRONZE SILL PAN AT EACH WINDOW.
  - CONTRACTOR TO ADJUST WINDOW HEADER PLACEMENT, AS NEEDED, TO ALIGN WITH ADJACENT EXTERIOR DOORS. (UNLESS OTHERWISE NOTED) TYP., FINISHED HEADER TRIM IS TO ALIGN.



5 DOOR SILL, TYP.  
3" = 1'-0"



2 WINDOW SILL DETAIL, TYP.  
3" = 1'-0"



3 WINDOW JAMB DETAIL, TYP.  
3" = 1'-0"

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										XXX	INITIAL
										XX.X.24	DATE
										XXX	DESCRIPTION / REVISION LOG
										NO.	

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NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
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6 STATE OF MIND STREET  
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843.837.5700

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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	BRH
CHECKED BY:	

WIN. & DOOR  
DETAILS

SHEET NO.

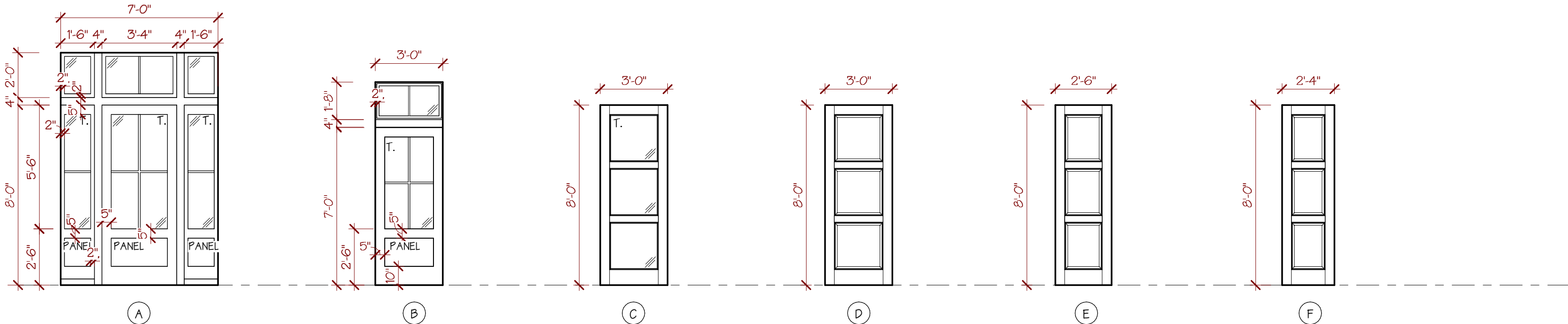
A703

24x36 PAPER SIZE



NUMBER	ROOM	TYPE	DESCRIPTION	NOMINAL DOOR SIZE	MANUFACTURER / MODEL #	FRAME	HARDWARE SET	HEAD	DETAILS		REMARKS
									JAMB	SILL	
101A	RECEPTION	A	EXTERIOR WOOD, 2/3 GLASS DOOR, INSWING + SIDELIGHTS & TRANSOMS	CUSTOM DOOR PER ELEV.	CUSTOM MAHOGANY						
102A	SMALL CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
103A	LARGE CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
104A	LARGE CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
105A	RESTROOM 1	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
106A		D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
107A	BREAK ROOM	B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
108A	HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
109A	OFFICE, M-1	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
110A	COPY RM.	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
111A	OFFICE, M-2	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
112A	HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
201A	UPPER HALL	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
202A	COPY ROOM 2	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
204A	TIFFANY SUPPORT	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
205A	OPEN CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
206A	BREAK ROOM	F	PAIR INTERIOR MDF DOOR	(2) 2'-4" X 8'-0"	TRUSTILE, TS3000						
207A	RYANS OFFICE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
208A	OPEN CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
209A	UPPER HALL	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
210A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
211A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
212A	OFFICE, S-6	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
213A	OFFICE, M-3	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
214A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
302A		B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
303A		D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
304A		B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
304B		E	INTERIOR MDF DOOR	2'-6" x 8'-0"	TRUSTILE, TS2020						

1	DOOR SCHEDULE
	N.T.S.

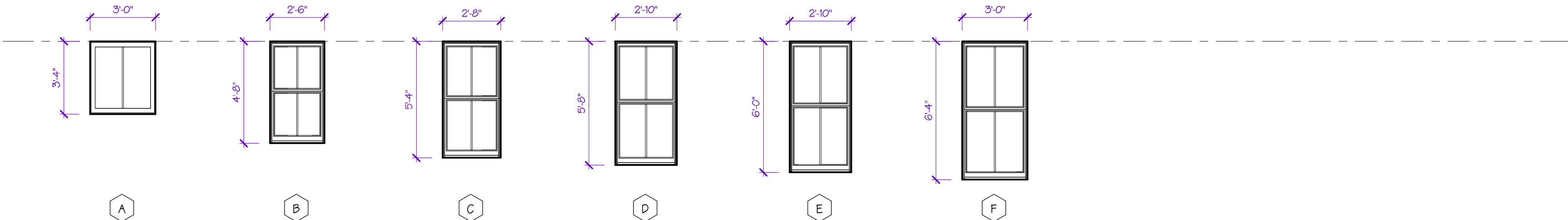


2	DOOR ELEVATIONS
	1/4" = 1'-0"

WINDOW TYPE	MODEL NO.	NOMINAL FRAME SIZE	MANUF.	DESCRIPTION	LITE CONFIG.	DETAILS				REMARKS
						HEAD	JAMB	SILL	MULL	
A	ELDH3636	3'-0" x 3'-4"	MARVIN INTEGRITY WINDOWS	CALD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	
B	ELDH3056	2'-6" x 4'-8"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
C	ELDH3264	2'-8" x 5'-4"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
D	ELDH3468 E	2'-10" x 5'-8"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	
E	ELDH3472 E	2'-10" x 6'-0"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
F	ELDH3672 E	3'-0" x 6'-4"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	

3	WINDOW SCHEDULE
	N.T.S.

NOTE:  
IF WINDOWS DO NOT APPEAR ON FLOOR PLAN, TAGS ARE SHOWN ON ELEVATIONS.



4	WINDOW ELEVATIONS
	1/4" = 1'-0"

#### GENERAL WINDOW / DOOR NOTES:

- IF DIFFERENT MANUFACTURER THAN SPECIFIED IS USED, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
- IF WINDOW/DOOR SIZES OR LOCATIONS ARE DIFFERENT FROM SCHEDULE, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
- WINDOW/DOOR PACKAGES TO BE SUBMITTED TO ARCHITECT FOR APPROVAL BEFORE ORDERING.

#### DOOR NOTES:

- EXTERIOR DOOR DESIGN BASED ON MARVIN CLAD SERIES OR CUSTOM WOOD DOORS. ALL GLAZING TO HAVE SIMULATED DIVIDED LITES W/ SPACER BARS (SDLs).
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
- PROVIDE TEMPERED GLAZING AT ALL DOORS AND SIDE LITES, AS REQUIRED BY CODE.
- INTERIOR TRUSTILE DOOR:  
2. PANEL, 1 5/8" THICK MDF, STILES & RAILS TO BE PAINT GRADE ENG. CONSTRUCTION, 7/8" RAISED MDF PANEL, QUARTER BEAD STICKING w/ "A-RAISED" PANEL, FACTORY PRIME INT. PRE-FINISH.
- POCKET DOORS TO HAVE FOUR-WHEEL HEAVY DUTY TRACK ASSEMBLY BY JOHNSON HARDWARE.

#### GENERAL HARDWARE NOTES:

- ALL EXTERIOR DOORS ARE TO BE KEYED ALIKE.
- REINFORCE JAMBS WITH WOOD BLOCKING.
- WHERE EGRESS DOORS ARE USED IN PAIRS, THE UNLATCHING OF THE LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- CONTROLS AND OPERATIONS MECHANISMS SHALL BE LEVER-TYPE (OR EQUAL) PROVIDING OPERATION WITH ONE HAND, PER CODE.
- THRESHOLDS AT EGRESS DOORS SHALL BE NO MORE THAN 1/2" (MAX.) HEIGHT AFF.
- HARDWARE COMPANY TO COORDINATE AND SUBMIT ALL PROPOSED HARDWARE. CONFIRM ALL DOOR HARDWARE AND KEYING WITH OWNER.

#### HARDWARE SETS:

- HDW # 100 (INT. PASSAGE DOOR, DBL. 6'-8" HT.)  
3 HINGES, FULL MORTISE  
1 PASSAGE SET W/ LEVER HANDLE
- HDW # 200 (INT. PRIVACY DOOR, 6'-8" HT.)  
3 HINGES, FULL MORTISE  
1 PRIVACY SET W/ LEVER HANDLE  
1 BASE WALL STOP
- HDW # 300 (EXT. ENTRY DOOR, 8'-0 HT.)  
4 HINGES, FULL MORTISE  
1 KEYED SET W/ LEVER HANDLE  
1 DEADBOLT  
1 BASE WALL STOP  
1 THRESHOLD  
1 GASKETING / WEATHERSTRIPPING  
1 SWEEP
- HDW # 400 (EXT. STORAGE DOOR, 8'-0" HT.)  
4 HINGES, FULL MORTISE  
1 KEYED SET W/ LEVER HANDLE  
1 THRESHOLD  
1 GASKETING / WEATHERSTRIPPING  
1 SWEEP
- HDW # 500 (EXT. STORAGE DOOR, 8'-0" HT.)  
4 HINGES, FULL MORTISE  
1 KEYED SET W/ LEVER HANDLE  
1 PANIC PUSH BAR  
1 THRESHOLD  
1 GASKETING / WEATHERSTRIPPING  
1 SWEEP

#### WINDOW NOTES:

- DESIGN BASED ON MARVIN "ELEVATE" SERIES WINDOWS. ALL WINDOWS TO HAVE SIMULATED DIVIDED LITES W/ SPACER BARS (SDLs).
- ALL WINDOWS ARE TO BE IMPACT RATED OR CONTRACTOR TO INST. ALL PERMANENT FASTENERS FOR HURRICANE PROTECTION, AS REQ. BY CODE.
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQ.
- PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
- VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
- ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
- IF WINDOW MANUFACTURER CHANGES, COORD. W/ ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
- IF WINDOWS ARE GROUPED, MAINTAIN MULL WIDTH PER DETAIL.

DO NOT SCALE FROM DRAWING												Section VII, Item #2.	
												XXX	INITIAL
												XX.X.24	DATE
												XXX	DESCRIPTION / REV/ISON LOG
												NO.	

© 2024 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BLDG. FOR:  
PRESTIGE WORLDWIDE PROPERTIES, LLC  
60 BRUIN ROAD  
LOT 23, TABBY ROADS  
BLUFFTON, SC 29910

PEARCE  
SCOTT  
ARCHITECTS

6 STATE OF MIND STREET  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	BRH
CHECKED BY:	

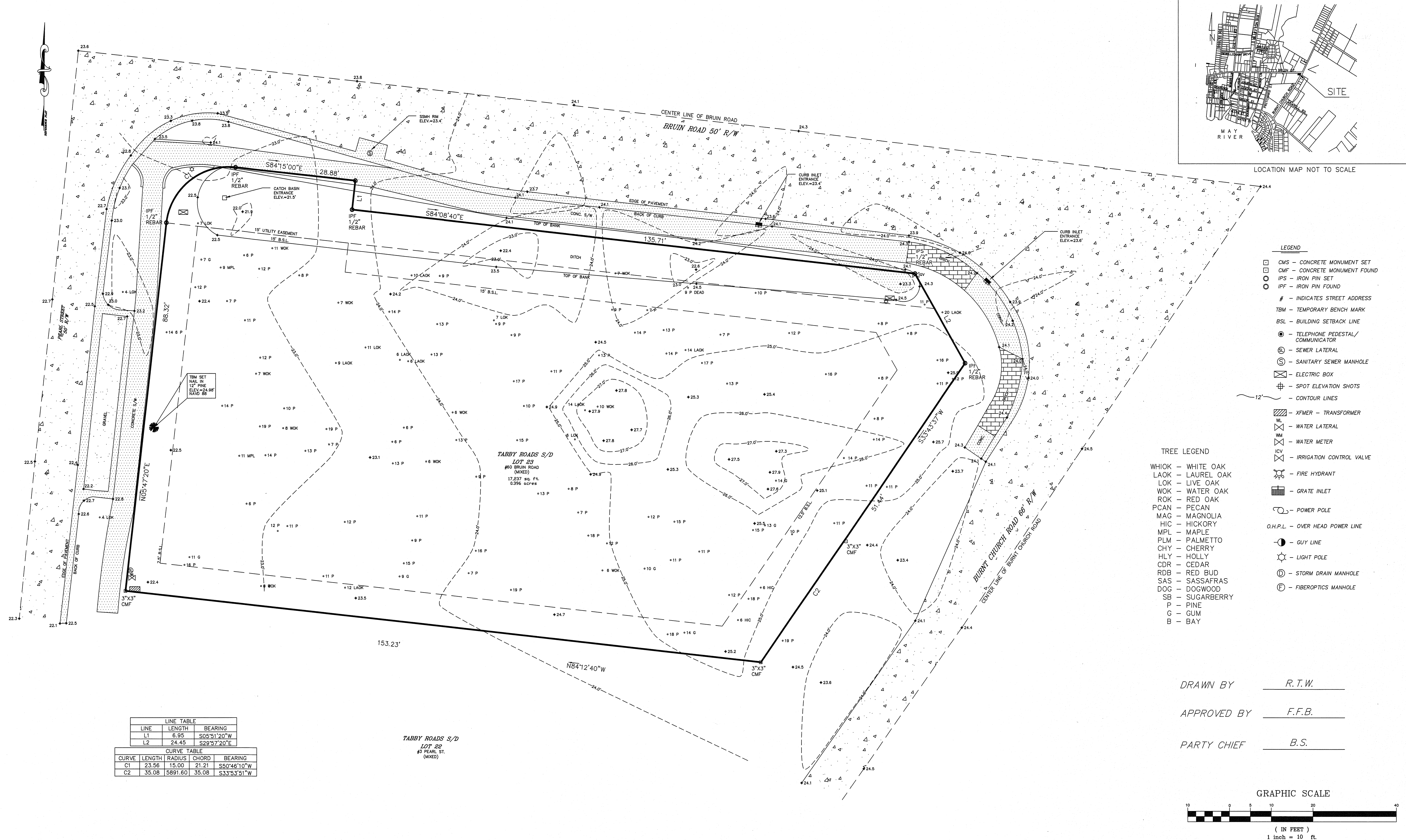
WIN. & DOOR  
SCHEDULES

SHEET NO.

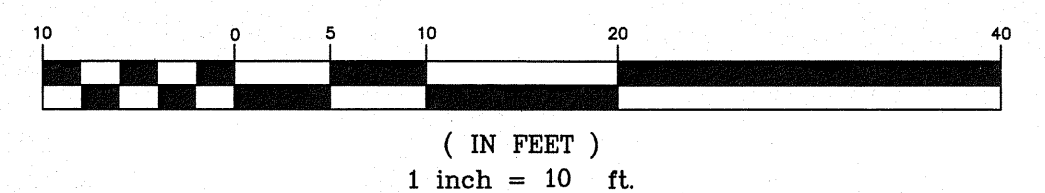
A801

24x36 PAPER SIZE



DRAWN BY R.T.W.APPROVED BY F.F.B.PARTY CHIEF B.S.

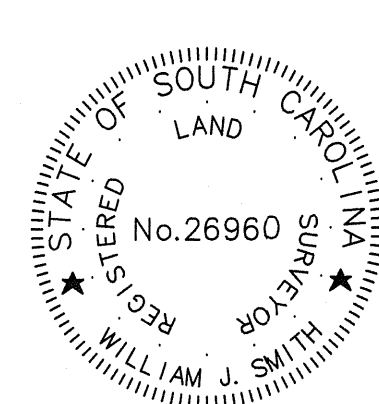
GRAPHIC SCALE



**T SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS

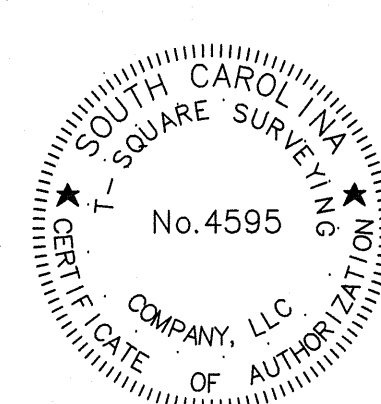
P.O. Drawer 330  
1426 Burnt Church Road  
Bluffton, S.C. 29910  
tsquare@charleston.com  
Phone: 843-757-2650 Fax: 843-757-5758

JOB No. 08-114TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

*William J. Smith*  
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

CHRIS DALZELL

A TREE & TOPOGRAPHIC SURVEY OF LOT 23  
TABBY ROADS SUBDIVISION,  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 611, MAP 39, PARCEL 1204

**NOTES**

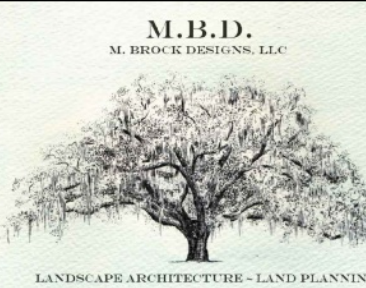
1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
  2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
  3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
  4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
- Reference Plats:*  
1) A PLAT BY FORREST F. BAUGHMAN OF A PROPOSED SUBDIVISION OF A 11.79 ACRE TRACT, AT THE INTER SECTION OF BURNT CHURCH ROAD AND BRUIN STREET, PREPARED FOR REEVES BROTHERS DEVELOPMENT, LLC DATED 8/17/2004, LAST REVISED 3/19/05.  
2) SODOT DOCKET No. 7.425, PROJECT No. S-425, ROUTE No. S-163 SHEET No. 6.

DRAWN BY: W.J.S.APPROVED BY: W.J.S.PARTY CHIEF: B.M.S.DATE: FEBRUARY 5, 2024



[illegible]

LANDSCAPE PLANS FOR  
**60 Bruin Road- Tabby Roads**  
BLUFFTON, SOUTH CAROLINA



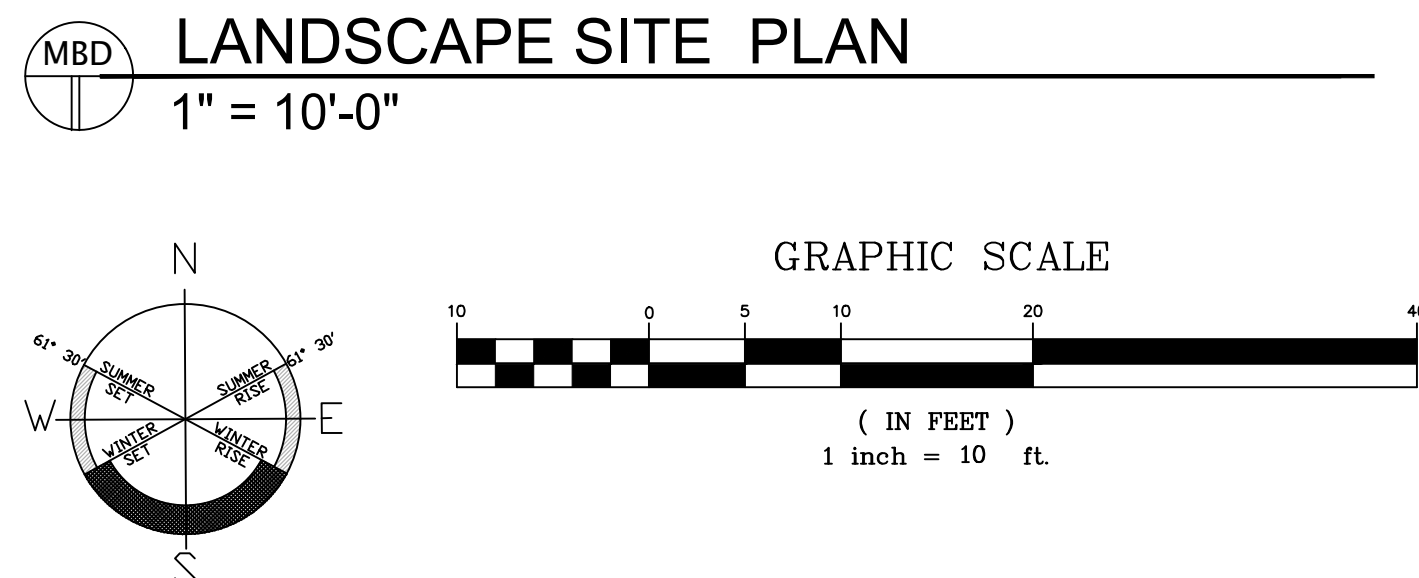
ph. 843.540.6407  
mbrock@mbrockdesigns.com

LS-101

SHEET 1 OF 2

copyright © M. Brock, RLA all rights reserved

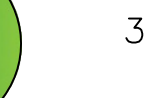


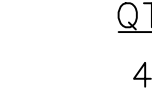





Page 116

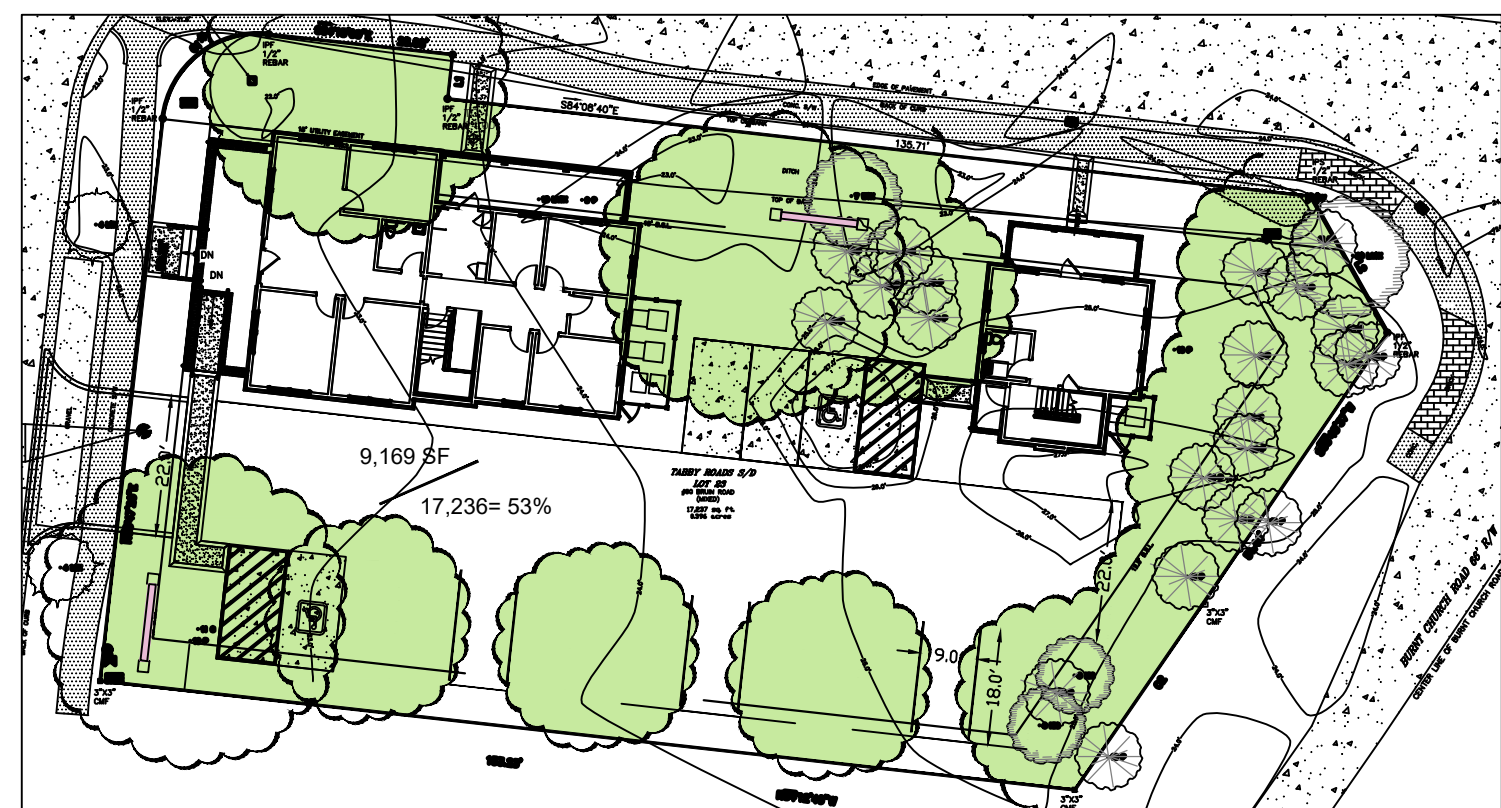


\*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS & TREE SIZES & LOCATIONS PRIOR TO CONSTRUCTION.

Building Footprints:	3,496 SF
Impervious Pave:	4,986 SF
Total:	8,482 SF
Site SF Total:	17,337 SF
% Site Coverage:	48.92 %
Disturbance:	15,608 SF (0.35 Acs.)




## PLANT SCHEDULE

	TREES			
	QTY	Common/ Botanical Name	Caliper	Cont. Height/Spread
	3	Lacebark Elm/ <i>Ulmus parvifolia</i>	2.5" Cal.	65 gal. 8-10'
	3	Live Oak/ <i>Quercus virginiana</i>	4" Cal.	65 gal. 8-10'
	QTY	Common/ Botanical Name	Cont.	Height/Spread
	4	Sweet Olive/ <i>Osmanthus fragrans</i>	7 gal.	4' / 3'
	11	Upright Yaupon Holly/ <i>Ilex vomitoria</i>	7 gal.	4' / 4'
	4	Camellia/ <i>Camellia sasanqua</i>	15 gal.	5' / 3'
	12	Sweet Viburnum/ <i>Viburnum odotrisimum</i>	7 gal.	4' / 4'
	14	Yew Pine/ <i>Podocarpus macrophylla</i>	7 gal.	4 / 2'
	17	Dwarf Pringles/ <i>Podocarpus macrophylla</i> 'Dwarf Pringles'	3 gal.	2' / 2'
	4	Florida Anise/ <i>Illicium floridanum</i>	7 gal.	42"-36"
	5	Giant Leopard Plant/ <i>Farfugium japonicum</i> 'Giganteum'	1 gal.	15"-18"
	8	Formosa Azalea Lavender/ <i>Rhododendron indicum</i> 'Formosa' Lavender	3 gal.	4' / 4'
	7	Formosa Azalea White/ <i>Rhododendron indicum</i> 'Formosa' White	3 gal.	4' / 4'
	8	American Beautyberry/ <i>Callicarpa americana</i>	7 gal.	48" / 36"
	2	Saw Palmetto/ <i>Sereno repens</i>	7 gal.	3' / 4'

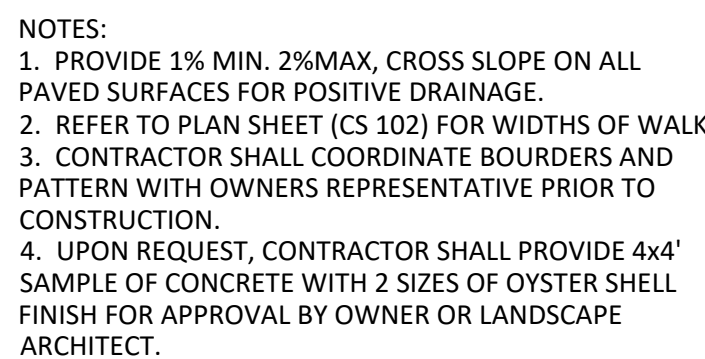
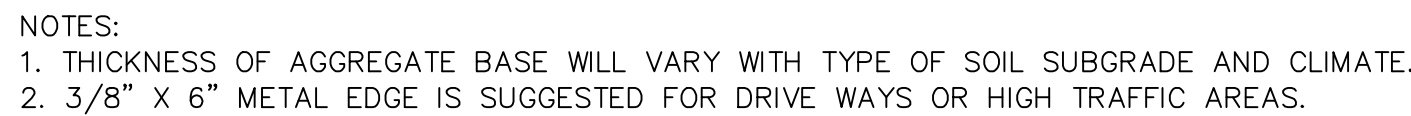


## Tree Canopy Coverage

## PLANT SCHEDULE

<u>Ground Covers/ Grasses</u>	QTY	Common/ Botanical Name	Cont.	Height/Spread
	16	Dw. Mondo Grass/ Ophiopogon japonicus 'Nippon'	1 gal.	3"-12"
	8	Dark Purple Verbena/ Verbena x 'Balendakle' EnduraScape®	1 gal.	10-12"
	23	Autumn Fern/ Dryopteris erythrosora	1 gal.	15"-18"





**NOTES:**

1. PROVIDE 1% MIN. 2%MAX, CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
2. REFER TO PLAN SHEET (CS 102) FOR WIDTHS OF WALKS.
3. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS.
4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4x4' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

**GUARANTEE:**  
THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.





The committee discussed the points brought forth in Chris Dalzell 10/8/24 email. Below is the result of that discussion:

- The parking lot screening has been a reoccurring communicated concern from the very beginning of the review process. HARB has maintained a position that a brick wall and/or mature plantings around the perimeter of the lot would be required to mitigate its aesthetic impact. As per Chris's request, the committee revisited the current requirement and will drop the minimum height of plantings in the designated region to 36".
- As per Chris's request, the committee reconsidered the brick element requirement. It is disappointing that this opportunity to improve the neighborhood's curb appeal will be lost but Chris's objection is valid so the committee will rescind this requirement.
- As per Chris's request, the committee reconsidered the mid lot ribbon requirement. These ribbons were purely an aesthetic consideration to break up visually the long expanse of the lane. It turned out very nicely for the property at 7 Pearl. The proposed lane at 60 Bruin is by far the biggest driveway in the neighborhood so it was the opinion of the committee that this would be aesthetically pleasing on this property as well. As per Chris's request, the committee will rescind this requirement solely based on the liability concerns raised. It is again disappointing that this opportunity to improve overall presentation will not be undertaken.

A new approval letter will be drafted and sent out sometime in the near future reflecting the items above.



# PLAN REVIEW COMMENTS FOR COFA-08-24-019268

Section VII. Item #2.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

Plan Type:	Historic District	Apply Date:	08/02/2024
Plan Status:	Active	Plan Address:	60 Bruin Rd Road BLUFFTON, SC 29910
Case Manager:	Charlotte Moore	Plan PIN #:	R610 039 000 1204 0000
Plan Description:	A request by Sarah Kepple with Pearce Scott Architects, on behalf of the owners, Chris Dalzell and Prestige Worldwide Properties, LLC, for review of a Certificate of Appropriateness - HD to construct a new 2-story Commercial Office structure of approximately 4,220 SF and Commercial Carriage House of approximately 1,100 SF at 60 Bruin Road, Lot 23 in the Tabby Roads Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD Status: Conceptual application is being reviewed and will be placed on the August 26, 2024 HPRC Agenda.		

Staff Review (HD)

Submission #: 1      Received: 08/02/2024      Completed: 08/23/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	08/23/2024	Katie Peterson	Revisions Required
Comments:			



1. Trees/Landscaping: Consideration shall be given to the existing tree canopy and every reasonable effort made to maximum the preservation of this canopy. The canopy shall be a minimum of 75% lot coverage. (UDO Secs. 5.3.3.C and Final Submittal, provide a landscape plan showing proposed tree removal plan, foundation plantings, street tree calculations.
2. On-street Parking: The location of the proposed driveway will cause the loss of one or more on-street parking spaces, which must be (and are) provided on-site (UDO Sec. 5.15.7). As the addition of the drive will create a conflict for cars using the remaining on street space, the drive must be reconfigured to clearly delineate the drive. On the landscape plan for Final Submittal show the tree lawn and that a street tree will be provided every 50 along the Pearl Street frontage.
3. Lighting: If exterior lighting is to be provided, a lighting plan in compliance with UDO Sec. 5.12.
4. Windows: Overall building proportions and Individual building features shall have a proportional relationship with one another. The proportions of the transom windows do not have a consistent relationship with the other windows on the structure and should be reconsidered to match the height adjacent windows. (UDO Secs. UDO Sec. 5.15.5.F.4.a. and 5.15.6.-graphic).
5. Service Yard: Provide additional information regarding location of HVAC, trash and meter as there appears to be a lack of space for all items (UDO Sec. 5.15.5.F.10)
6. Awnings/Shutters: The narrative identifies the Bahama shutters as awnings. Should awnings be proposed, they must be 5 feet minimum on depth and be 25%-100% of the façade. Awnings will need to be reconfigured to meet the requirements of Section UDO 5.15.6.E.1. As drawn, they are Bahama Shutters, which must be sized to fit the window on which they are placed, be operable, and meet material requirements. Revise shutter/awning configuration to meet the ordinance requirements. (UDO Secs. 5.15.6.E.1. and 5.15.6.M.)
7. The covered porch shown on the Bruin Road elevation cannot extend into the utility easement and must have a minimum depth of six (6) feet. (UDO Sec. 5.15.6.E.5.)
8. Gutters: Gutters, when used, may be rectangle, square or half-round in profile. Gutters have been proposed on the application as metal, but are not shown on the elevations, nor has a profile been provided. At time of final submittal, provide gutter profile and show on all elevations where proposed. (UDO Sec. 5.15.6.J.)
9. Garden Walls: Garden walls, fences and hedges in front of the principal plane of the building may be no taller than 42 inches in height. Reduce the height of Pearl Street screening wall to no more than 42 inches or move farther into the property (to align with or be behind the front plane of the building). (UDO Sec. 5.15.6.K.).
10. As the property is located within the Tabby Roads development, a letter of approval from the HARB is required at time of final submittal. Please note, the HARB can be more restrictive than, but not in conflict with, the Town's ordinances.
11. Signage: As this is a commercial use, any signage will require a separate Sign Permit.
12. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, bracket detail, a section through the eave showing the materials and configuration, corner detail and ensure all materials are identified on the plans.

HPRC Review

08/23/2024

Katie Peterson

Revisions Required

**Comments:**

Evan - Recused as he works with PSA.

NOTE: Impact of Burnt Church Road Improvements - This property may be subject to eminent domain as part of the Burnt Church Road improvements. The last set of published plans was removing a sizeable chunk from the corner of the property, but it is unclear where the county is with the project, note these changes could impact the site.

Section VII. Item #2.

#### Comments

1. The Main Building Side Porch extends into the 15' Utility Easement along Bruin Lane. Structures can not extend into utility easements. Revise porch placement.
2. Provide additional information on trash enclosures. The service yard does not appear large enough to hold trash cans for two businesses and allow for proper clearances in front of meters and equipment. Indicate where trash cans will be stored.
3. Per UDO 5.15.6.F.4.a, undersized shutters are prohibited. Shutters over the top of the windows at the Main Building are not compliant.
4. The Bahama shutters are only applied to two of the sides of the accessory building even though all of the windows on the building are individual windows of the same basic size. Shutters should be applied to all windows which can accept them, as the intent of the Architectural Standards for the historic district is authenticity, encouraging Bluffton vernacular architecture where construction is straightforward and functional, deriving its ornament from the traditional assembly of genuine materials. (UDO 5.15.6.A.)
5. Horizontal rhythm should be established by the organization of the building façade into horizontal bands which provides human scale and proportion to the building. Reconsider the proportions of the paneled stair bay at the Main Building. The combination of three equal vertical panels and partial panel at the stair bay on the Main Building is uncomfortable against the backdrop of the rest of the building and lacks hierarchy. None of the panels align to the adjacent windows or banding. Revise. Recommend studying alignment of the sash rail of the double hungs with the drip cap of the band or relating the top panel to the adjacent windows.
6. At the Accessory Building stair hall bay, consider adding a supporting element to the bottom of the bay for a more traditional configuration. These could be a similar element to the soffit corbels at the Main Building to tie the structures together.
7. At the Main Building, second floor built-in front porch, verify the column spacing of the bays is taller than from the floor band to the beam than the width between the centerlines of the columns. Ensure the proportions are vertical to comply with the UDO. While the "porch" is enclosed, the column proportions, if column elements exist, should be reflective of the ordinance requirements. (UDO 5.15.6.H.)
8. Study the second floor column detail. The first floor column has nice hierarchy with a tall base and astragal below the cap. The second floor columns are tall and skinny in comparison. Should some of the first floor detail extend to the second floor columns.
9. Recommendation: Consider widening the entry walk to the Main Building from Pearl Street to better relate to the columns.

Watershed Management Review

08/20/2024

Samantha Crotty

Approved with Conditions

#### Comments:

At time of building permit submittal/stormwater permit submittal, provide:

1. Total impervious square footage of the entire site;
2. Town of Bluffton Stormwater Affidavit;
3. D-0451 Automatic Coverage form;
4. Sealed & Signed grading/drainage plan (include proposed & existing contours, rim & invert elevations of all inlets/drains, if applicable);
5. Additional information may be requested at time of submittal.

Beaufort Jasper Water and Sewer  
Review

08/23/2024

Matthew Michaels

Approved

#### Comments:

1. No comments provided by reviewer.

Transportation Department  
Review - HD

08/05/2024

Megan James

Approved

#### Comments:

No comments

#### Plan Review Case Notes:





## MEMORANDUM

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TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from November 18, 2024 to December 17, 2024

DATE: January 1, 2025

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**SUMMARY:** Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
6 Promenade St, Suite 1001	Daniel Ravenel Sotheby's International Realty Sign	Angie Castrillon	Approved
32 Guerrard Ave	Residential Fence	Angie Castrillon	On Hold
70 Boundary St	Heyward House – Exterior repairs and removal of unsafe chimney	Glen Umberger	Approved
20 Calhoun St, Unit 201	Andrew Brown, Architect Sign	Angie Castrillon	Approved
20 Calhoun St, Unit 202	Amanda Clement Design Studio Sign	Angie Castrillon	Approved