



## Historic Preservation Commission Meeting

Wednesday, October 02, 2024 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,  
20 Bridge Street, Bluffton, SC

### AGENDA

This meeting can be viewed live on [BCTV](#), on Hargray Channel 9 and 113 or on Spectrum Channel 1304.

#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

#### IV. ADOPTION OF MINUTES

- [1.](#) August 14, 2024 Minutes

#### V. PUBLIC COMMENT

#### VI. OLD BUSINESS

#### VII. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness (35 C Thomas Heyward Street):** A request by Brad Clark for approval of a Certificate of Appropriateness-HD to allow the renovation of an existing one-story single-family structure to move the front door and patio stairs to the center of the house, to reconfigure windows on the front and left elevations, and to change the exterior siding, shutters and front door, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-24-019119)(Staff - Charlotte Moore)
- [2.](#) **Certificate of Appropriateness (128 Bridge Street):** A request by Ansley H. Manuel, Architect, on behalf of owner Lynda Lee Googe Strong, for approval of a Certificate of Appropriateness - HD to construct a new 2-story Carriage House at 128 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-05-24-019123)(Staff – Charlotte Moore)
- [3.](#) **Certificate of Appropriateness (5783 Yaupon Road):** A request by Southern Coastal Homes, on behalf of Owners Nathalie and Andrew Hintz, for approval of the construction of a new

one-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-24-019129) (Staff-Charlotte Moore)

#### VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

#### IX. ADJOURNMENT

**NEXT MEETING DATE: Wednesday, November 6, 2024**

*“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”*

*In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or [adacoordinator@townofbluffton.com](mailto:adacoordinator@townofbluffton.com) as soon as possible but no later than 48 hours before the scheduled event.*

*Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.*

*\*Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

*<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>*

*Public comment is limited to 3 minutes per speaker.*



# Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20  
Bridge Street, Bluffton, SC

August 14, 2024

## I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

## II. ROLL CALL

### PRESENT

Chairman Evan Goodwin

Vice Chairman Joe DePauw

Commissioner Carletha Frazier (6:02pm)

Commissioner Jim Hess

Commissioner Tim Probst

Commissioner Debbie Wunder

### ABSENT

Commissioner Kerri Schmelter

## III. ADOPTION OF MINUTES

### 1. June 5, 2024 Minutes

Commissioner Hess made the motion to adopt the minutes as written.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Hess, Commissioner Probst, Commissioner Wunder

Absent: Commissioner Frazier

All were in favor and the motion passed.

## IV. PUBLIC COMMENT

## V. OLD BUSINESS

## VI. NEW BUSINESS

- Certificate of Appropriateness:** A request by Southern Coastal Homes, on behalf of the Owners Nathalie and Andrew Hintz, for approval of a Certificate of Appropriateness-HD to allow the Construction of a new 1-story Single Family Residential Structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF at 5783 Yaupon Road, Lot 38 in the Stock Farm Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-04-23-017854)(Staff - Katie Peterson)

Staff presented. The applicant was present. The commissioners shared concerns regarding the trees that would be removed and requested more information from an arborist. There was discussion about the lack of information provided regarding window details, foundation details and service yard details. The commissioners expressed they did not feel comfortable

moving forward with the items without having the items in the staff report, along with the items discussed during the meeting addressed. The applicant requested to table to the item.

Commissioner Hess made a motion to table the item.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed.

## **VII. DISCUSSION**

### **1. Historic District Monthly Update. (Staff)**

Staff reviewed the monthly report. The Commissioners had no questions.

## **VIII. ADJOURNMENT**

Commissioner Frazier made the motion to adjourn.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Hess, Commissioner Probst, Commissioner Wunder

All were in favor and the motion passed. The meeting was adjourned at 6:40pm.



# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	October 2, 2024
<b>PROJECT:</b>	COFA-05-24-019119 35C Thomas Heyward Street Renovation of a Single-family Residence
<b>APPLICANT:</b>	Brad Clark
<b>PROPERTY OWNER:</b>	Brad Clark
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant, Brad Clark, requests that the Historic Preservation Commission approve the following application:

**COFA-05-24-019119.** A Certificate of Appropriateness-HD (COFA-HD) to allow the renovation of an existing single-family structure to move the front door and patio stairs to the center of the house, to reconfigure windows on the front and left elevations, and to change the exterior siding, shutters and front door.

**INTRODUCTION:** The Applicant is proposing the renovation of the existing one-story single family residential structure. The renovation includes: 1) changing the front door location to the center of the house; 2) moving the front porch steps to be centered with the front door; 3) removing the front porch balustrade; 4) changing the window fenestration on the front and left elevations; 5) changing the wall material from vinyl to cement fiber (Hardiplank) with the exception of the chimney; and, 6) changing the shutters.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 3, 2024 meeting and comments were provided to the Applicant (See Attachment 4).

The Final Plan dated June 27, 2024 (Attachment 3) is a response to the comments. As some details are missing, approval, if granted by the Historic Preservation Commission, must be conditioned to ensure that the required information is provided and satisfies the requirements of the Unified Development Ordinance (UDO) and, if applicable, the Historic Preservation Commission.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review

Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure development consistency without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. **Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The Old Town Master Plan initiatives include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The changes proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.

2. **Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed changes will be in conformance with applicable provisions provided in Article 5:
- 1) **Doors (UDO Sec. 5.15.5.I.).** New French doors, an allowed configuration, are proposed. In an email to Town Staff dated September 25, the Applicant states that wood will be used. Provide door details on a revised Final Plan.
  - 2) **Shutters (UDO Sec. 5.15.5.M.1.).** Shutters, when proposed, must fit the opening which they cover, be made of durable wood, be operable and be applied to all windows which can accept them. Provide shutter details, including hardware, to show that they will be durable wood and operable. Show shutter details on a revised Final Plan.
  - 3) **Windows (UDO Sec. 5.15.5.I.).** Four new single-hung windows are proposed on the front elevation, with three windows to be reconfigured and one to be added. A window on the left elevation will be removed. The Project Analysis indicates a composite material is proposed; in an email to Town Staff dated September 25, the Applicant states that durable wood will be used. Wood is a permitted window material. Provide window details on a revised Final Plan.
  - 4) **Handrail (UDO Sec. 5.15.5.H.).** The front porch stairs will include a metal handrail, which is shown to be wrought iron in the Project Analysis. Indicate wrought iron on a revised Final Plan.

- 5) **Walls (UDO Sec. 5.15.5.G.).** The existing wall cladding is proposed to change from vinyl to Hardiplank (cement fiber), a permitted material. This would include the dormers but not the chimney as stated in an email to Town staff from the Applicant dated September 25. It is not known if the porch siding will be replaced with Hardiplank. Revise plans to callout all locations where Hardiplank is proposed.

3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

*Finding.* Town Staff finds the nature and character of the renovation to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for their location and the architectural detailing, with revisions to address the items in #2 above, will be sensitive to the neighboring properties.

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.**

*Finding.* The Applicant seeks approval for the renovation of a non-historic structure in the Old Town Bluffton Historic District. If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structures, with the revisions noted, will have no adverse effect on the public interest.

5. **Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be incomplete. The Site Data in the Application needs to be completed prior to issuance of Final Certificate of Appropriateness-HD Approval. As there are no changes to the square footage, conditional approval may be granted as submitted.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Provide revised application to include all Site Data.

2. Per Section 5.15.5.I., provide confirmation to show that French doors will comply with permitted material.
3. Per Section 5.15.5.M.1., provide confirmation to show that shutters will comply with permitted material, operation, and hardware.
4. Per Section 5.15.5.I, provide confirmation to show that windows will comply with permitted material.
5. Per Section 5.15.5.H., indicate that wrought iron will be used for the front handrail.
6. Per Section 5.15.5.G., indicate where the proposed Hardiplank will replace existing vinyl siding.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

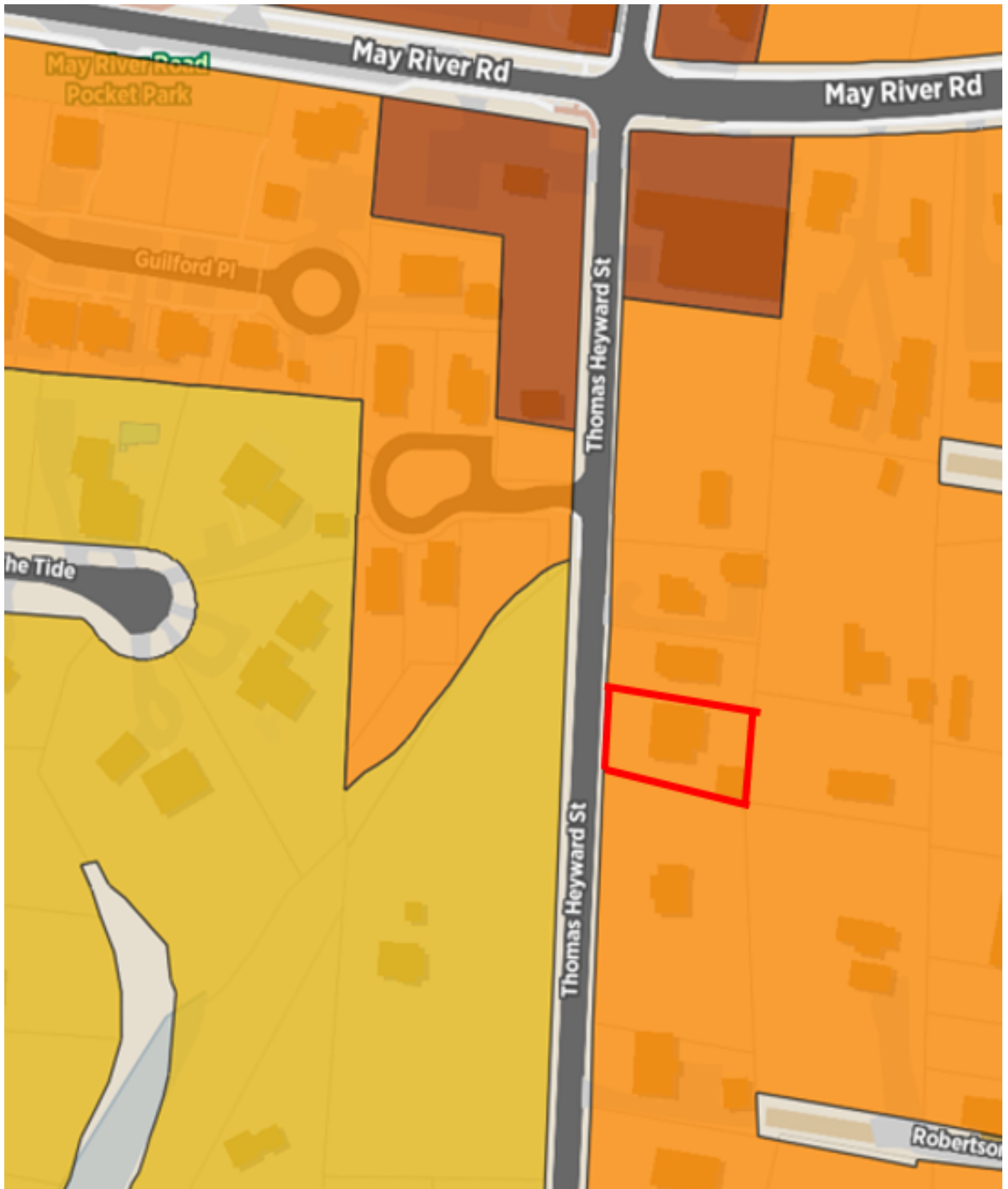
**ATTACHMENTS:**

1. Location and Zoning Map
2. Application and Narrative
3. Site Plan & Elevations (06.27.2024)
4. HPRC Report (06.03.2024)

# **LOCATION & ZONING MAP**

## **35C Thomas Heyward Street**

Neighborhood General -HD District





# ATTACHMENT 2

## TOWN OF BLUFFTON CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #1.

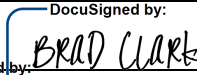
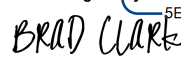
20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Brad Clark		Name: Brad Clark	
Phone: 949-933-1518		Phone: 949-933-1518	
Mailing Address: 35C Thomas Heyward St, Bluffton, SC 29910		Mailing Address: 35C Thomas Heyward St, Bluffton, SC 29910	
E-mail: bradclar1@gmail.com		E-mail: bradclar1@gmail.com	
Town Business License # (if applicable):			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: Heyward		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 35C Thomas Heyward St		Amendment: <input type="checkbox"/>	
Zoning District: Neighborhood General - HD		Application for:	
Acreage: .27		<input type="checkbox"/> New Construction	
Tax Map Number(s): R610-039-00A-0251-0000		<input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition	
		<input type="checkbox"/> Relocation	
Project Description: Move the front door & front patio stairs to the center of the house & create 2 identically sized windows on either side of the front door.			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 7/3/2024	
Applicant Signature: 		Date: 7/3/2024	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	





# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <b>mandatory</b> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
<b>Step 3. Review by UDO Administrator or designee and HPRC</b>	<b>Staff</b>
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): <b>N/A</b>					
Building Setbacks	Front: <b>N/A</b>	Rear: <b>N/A</b>	Rt. Side: <b>N/A</b>	Lt. Side: <b>N/A</b>	
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure	<b>N/A</b>	<b>N/A</b>		<b>N/A</b>	
Ancillary	<b>N/A</b>	<b>N/A</b>		<b>N/A</b>	
Ancillary	<b>N/A</b>	<b>N/A</b>		<b>N/A</b>	
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			<b>N/A</b>		
Impervious Drive, Walks & Paths			<b>N/A</b>		
Open/Covered Patios			<b>N/A</b>		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			<b>N/A</b>		
<b>B. TOTAL SF OF LOT</b>			<b>N/A</b>		
<b>% COVERAGE OF LOT (A/B= %)</b>			<b>N/A</b>		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation		Columns			
Walls	Exterior siding to be Hardi on all sides	Windows	Composite, 3' x 4.5', single hung		
Roof		Doors	<b>Wood, 8' x 6'</b>		
Chimney		Shutters	durable wood		
Trim		Skirting/Underpinning			
Water table		Cornice, Soffit, Frieze			
Corner board		Gutters			
Railings		Garage Doors			
Balusters		Green/Recycled Materials			
Handrails	Painted Wrought Iron				



# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

BRAD CLARK  
Signature of Property Owner or Authorized Agent

7/3/2024

Date

BRAD CLARK

Printed Name of Property Owner or Authorized Agent

DocuSigned by:  
BRAD CLARK  
Signature of Applicant

7/3/2024

Date

BRAD CLARK

Printed Name of Applicant

**Peterson, Katie**

---

**From:** Manuel Studio <manuel.studio@aol.com>  
**Sent:** Monday, July 15, 2024 3:57 PM  
**To:** Peterson, Katie  
**Subject:** Clark Residence  
**Attachments:** C-1.pdf

**WARNING!**

This email originated from outside of the Town of Bluffton's email system. **DO NOT** click any links or open any attachments unless you recognize the sender and know the content is safe.

## Clark Residence

35C Thomas Heyward

### Narrative

Applicant wishes to enhance exterior of the building by changing the exterior finish and facade. The existing exterior finish is vinyl siding and the proposed exterior finish is hardieplank horizontal siding. The existing facade is not symmetrical. The proposal would have centered double front doors and centered front steps. Uniform windows would be centered at each column bay. The remaining change of eliminating the left side bath windows is pragmatic as the layout will change on the interior.

Sent from my iPhone

# ATTACHMENT 2

*Section VII. Item #1.*

# ATTACHMENT 2

*Section VII. Item #1.*

# ATTACHMENT 2

*Section VII. Item #1.*



# ATTACHMENT 2

*Section VII. Item #1.*

**PROJECT TITLE -**  
EXTERIOR RENOVATIONS FOR BRAD AND ALYSA CLARK

**PHYSICAL ADDRESS -**  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SOUTH CAROLINA 29910

**BUILDING DEPARTMENT -**  
TOWN OF BLUFFTON

**OCCUPANCY CLASSIFICATION -**  
RESIDENTIAL GROUP R-3

**WIND SPEED RANGE -**  
130-139 MPH

**EXPOSURE - B**

**SEISMIC ZONE - C**

**FLOOD ZONE - AE**

**SOIL TYPE -**  
SEABROOK FINE SAND

**SOIL LOAD BEARING PRESSURE -**  
1500 PSF

**CONCRETE COMPRESSIVE STRENGTH -**  
TABLE R402.2

**LIVE LOADS -**  
TABLE R301.5

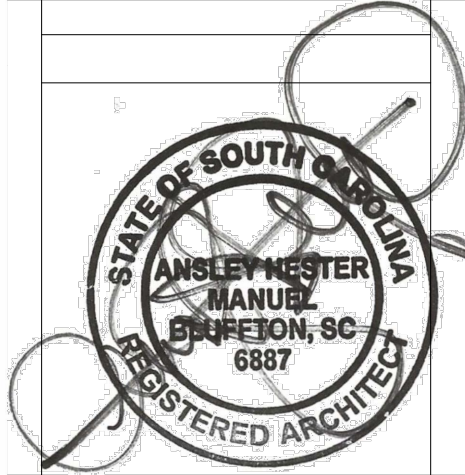
**ROOF LOADS -**  
TABLE 301.6

**BUILDING HEIGHT AND NUMBER OF STORIES -**  
AS EXISTING

**SQUARE FOOTAGES -**  
AS EXISTING

**STAIRS -**  
*R311.7*

INDEX	
C-1	CODE ANALYSIS, INDEX
C-2	PROPOSED SITE PLAN
A-1	EXISTING FLOOR PLAN
A-2	PROPOSED FLOOR PLAN
A-3	EXISTING ELEVATIONS
A-4	PROPOSED ELEVATIONS



DATE :  
4/16/24  
4/25/24  
5/2/24  
6/27/24

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

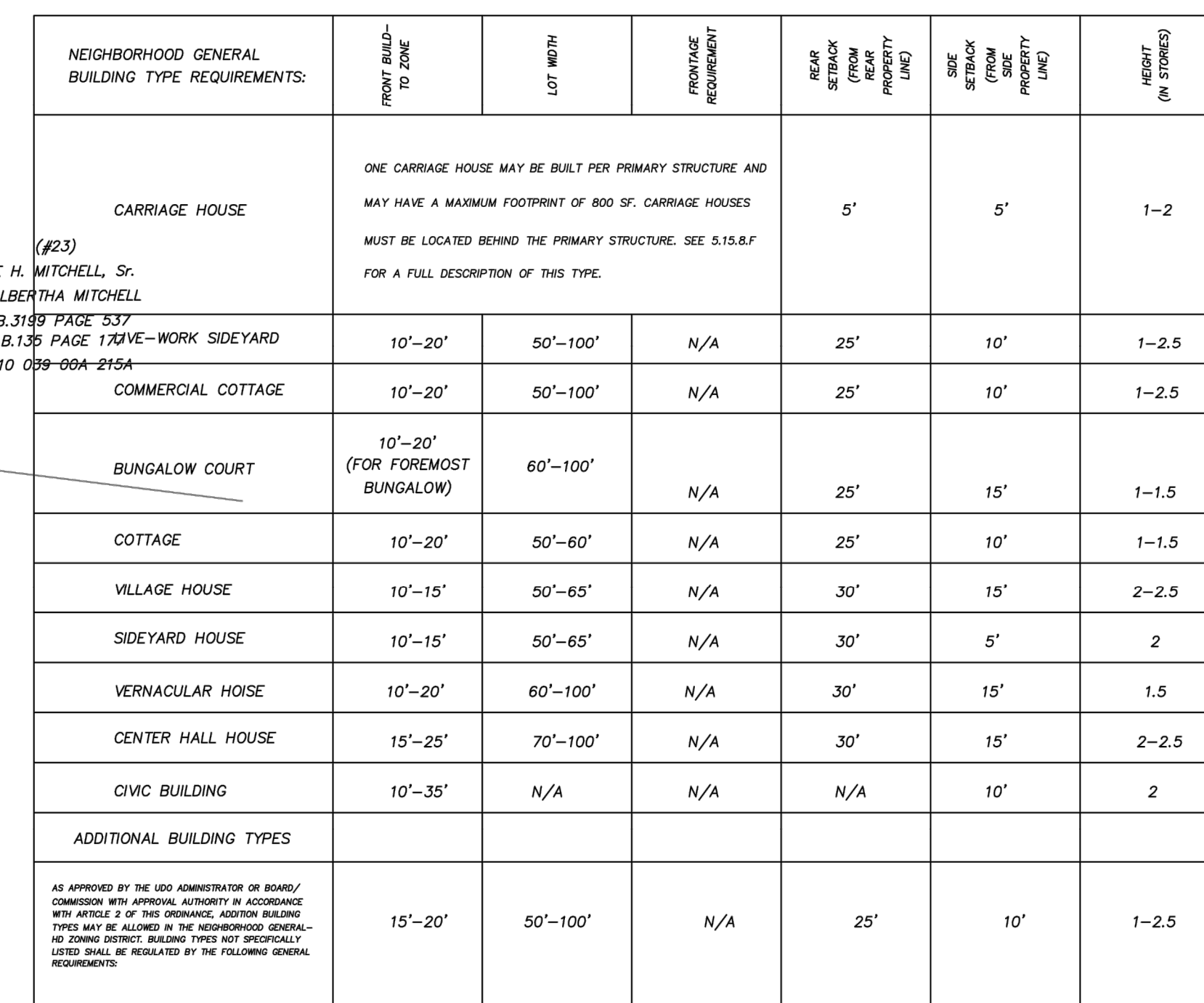
EXTERIOR RENOVATIONS FOR  
BRAD AND ALYSA CLARK  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SC 29910

CODE ANALYSIS AND INDEX

SHEET

C-1






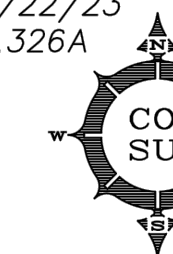
(#26)  
DONALD MITCHELL  
D.B.2541 PAGE 1898  
R610 039 00A 0217

(#48)  
LUCILLE M. JONES  
D.B.4056 PAGE 3263  
R610 039 00A 0218

AN ASBUILT, TREE & TOPOGRAPHIC LAND SURVEY OF  
LOT 2, UNIT 'C'  
THOMAS HEYWARD STREET  
 A PORTION OF  
 OLD BLUFFTON

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 10'      SURVEYED BY: CSC  
DATE: 05/22/23      DRAWN BY: MRD  
JOB No.: 74,326A      CHECKED BY: TWW



**COASTAL  
SURVEYING CO., INC.**  
49 RIVERWALK BLVD.  
BUILDING 8  
RIDGELAND, SC 29936  
(843) 645-4448

" I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN  
S.C.R.L.S. No. 11,905

LG	BLACK GUM
B.S.L	BUILDING SETBACK LINE
CATV	CABLE TELEVISION
CMF	CONCRETE MONUMENT FOUND
ELEC. BOX	ELECTRIC BOX
GL	GROUND ELEVATION
HVAC	AIR HANDLER
ICV	IRRIGATION CONTROL VALVE
IPF	IRON PIN (OLD) FOUND
IPS	IRON PIN (NEW) SET
LAO	LAUREL OAK
MAP	LIVE OAK
PLM	MAPLE
PLN	PALMETO
RO	PINE
TEL	RED OAK
-X-	TELEPHONE PEDESTAL
	FENCE LINE

REFERENCE PLATS:

1) A BOUNDARY & DIVISION OF 0.73 ACRES,  
ON HAYWARD STREET, TOWN OF BLUFFTON  
By: T-SQUARE GROUP, INC.  
DATED: 01/22/99  
FILE: 99-016B  
RECORDED AT: P.B.70 PAGE 67

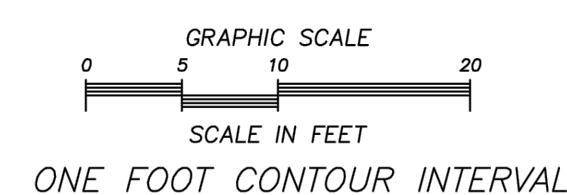
1) A BOUNDARY & DIVISION OF 0.73 ACRES,  
ON HEYWARD STREET, TOWN OF BLUFFTON  
By: T-SQUARE GROUP, INC.  
DATED: 04/11/02  
FILE: 99-016BD  
RECORDED AT: P.B.86 PAGE 56

NOTES :

1. THIS LOT LIES IN ZONE "AE", B.F.E.=9' PER F.I.R.M. PANEL 45013C 0426 G, COMMUNITY No. 450251, EFFECTIVE: 03/23/21.

2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

3. ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
4. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



DATE :	4/16/24
	4/25/24
	5/2/24
	6/27/24

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

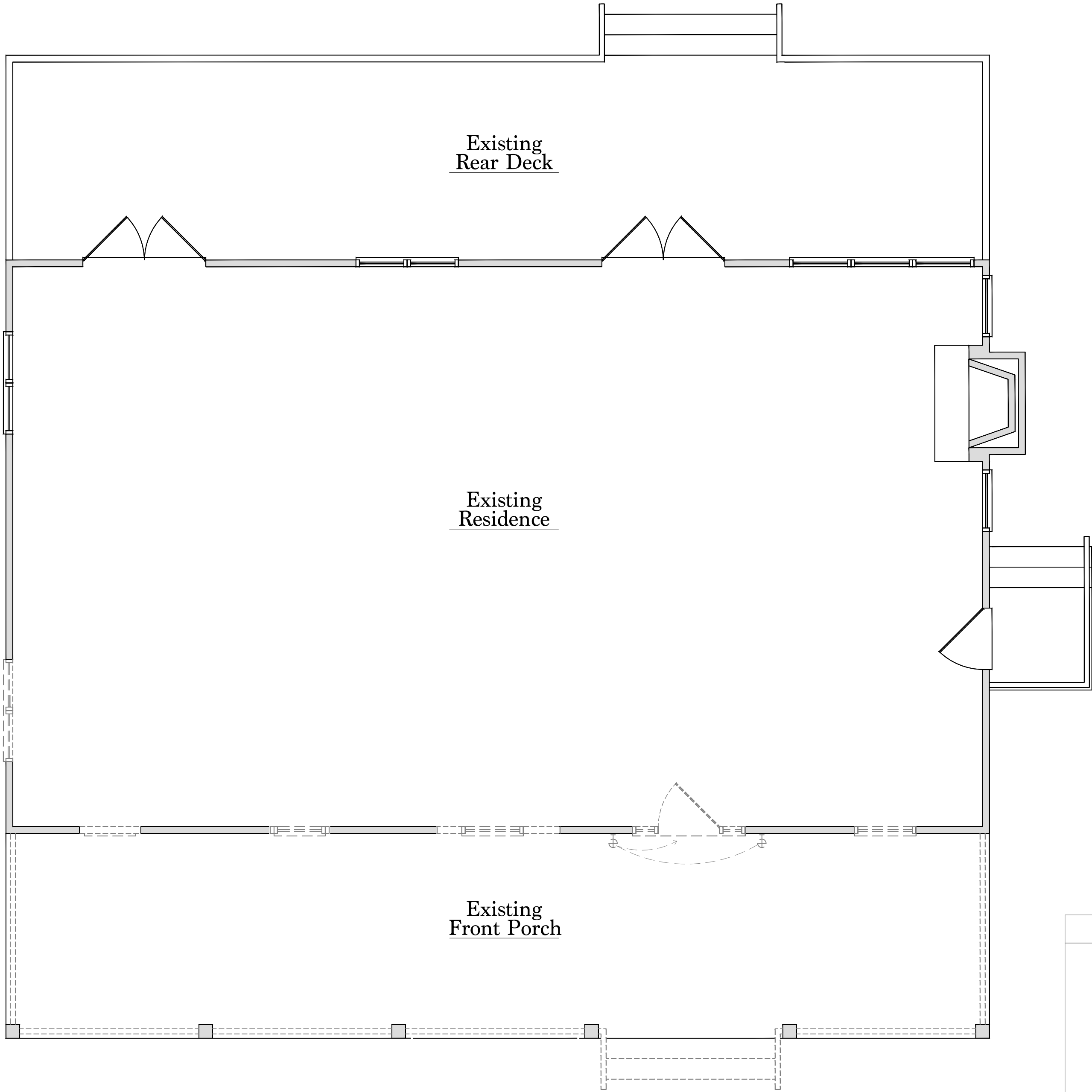
EXTERIOR RENOVATIONS FOR  
BRAD AND ALYSA CLARK  
335 C THOMAS HEYWARD STREET

# PROPOSED SITE PLAN

SHEET

C2

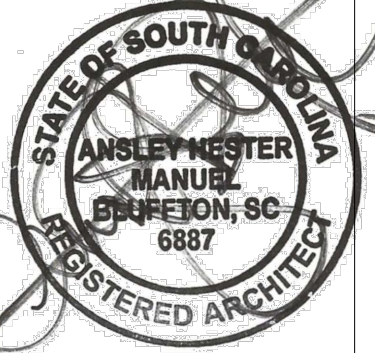




A  
A1

EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



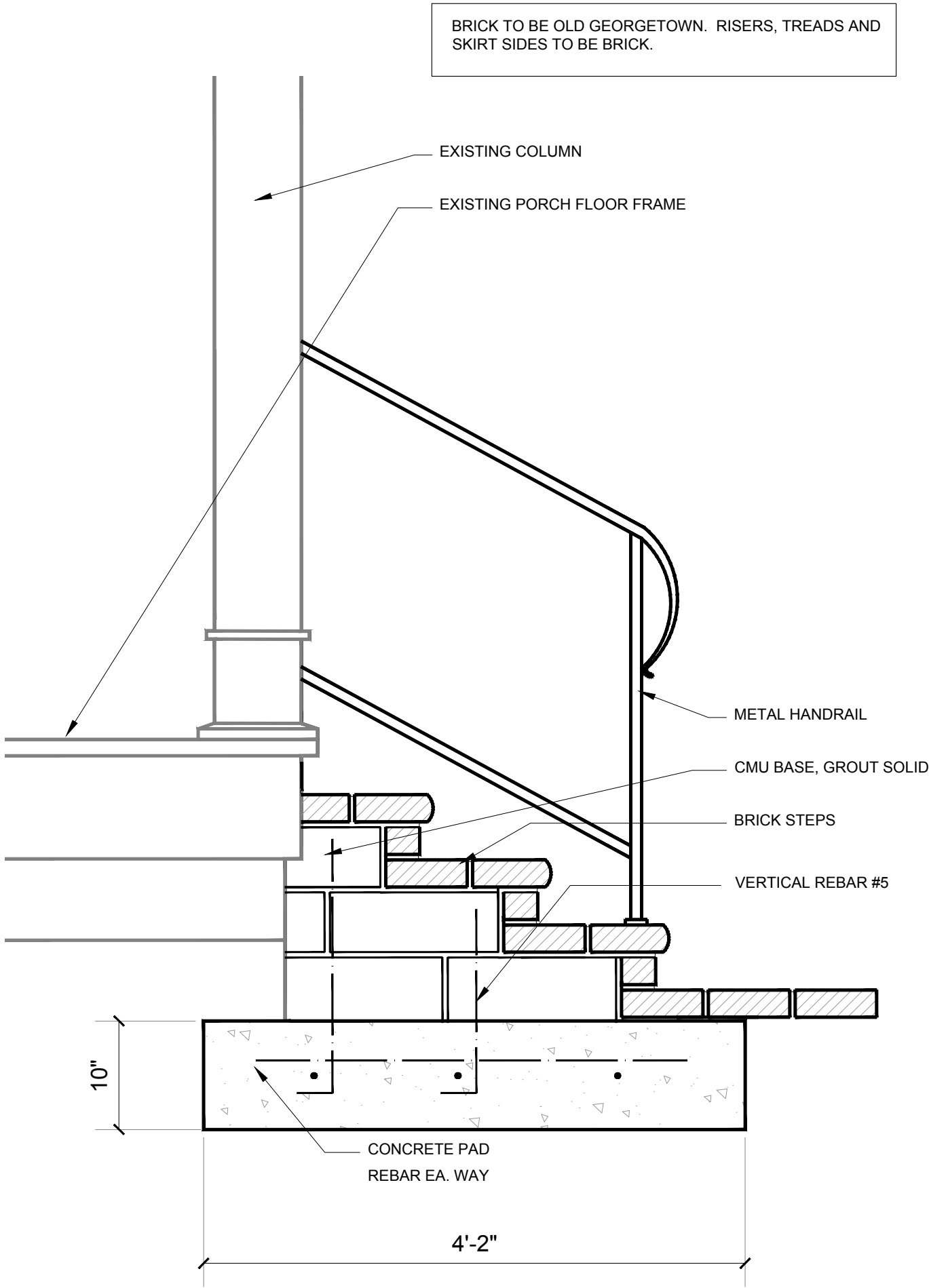
DATE :  
4/16/24  
4/25/24  
5/2/24  
6/27/24

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*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
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EXTERIOR RENOVATIONS FOR  
BRAD AND ALYSA CLARK  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SC 29910

EXISTING FLOOR PLAN

SHEET  
A1



**B** PROPOSED BRICK STAIRS  
**A2** SCALE: 1"=1'-0"

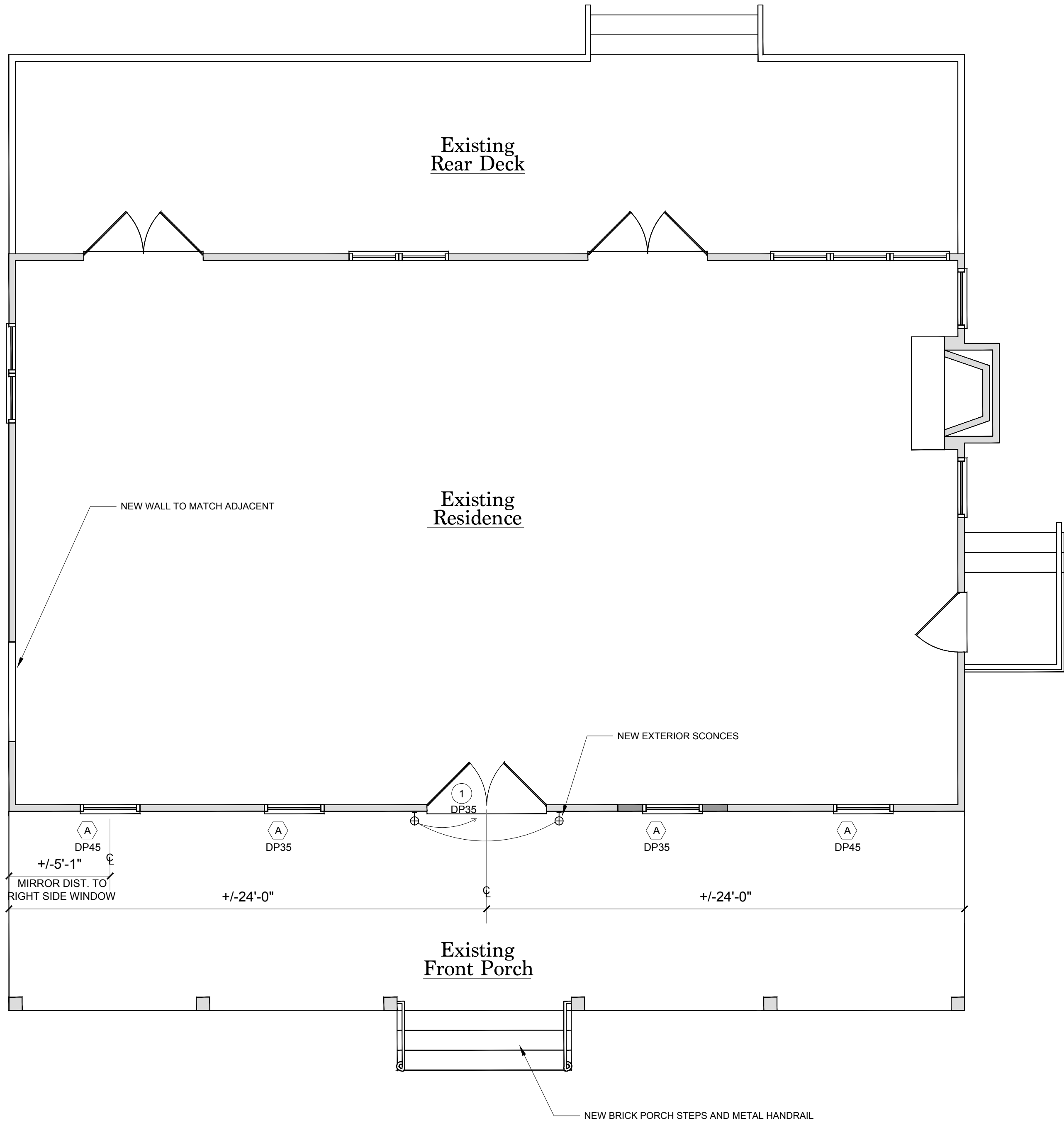
DOOR SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	72" X 96"	DOUBLE DOORS	6/6	CONSULT OWNER
			-	

ALL GLASS TO BE IMPACT RESISTANT.

WINDOW SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	3'-0" X 4'-6"	SINGLE HUNG	2/2	

ALL WINDOWS ARE WOOD INTERIOR AND CLAD EXTERIOR.  
ALL GLASS TO BE IMPACT RESISTANT.  
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER

**A** PROPOSED FLOOR PLAN  
**A2** SCALE: 1/4"=1'-0"



Wall Legend

EXISTING WALL

REMOVE WALL

PROPOSED WALL

Section VII, Item #1.

STATE OF SOUTH CAROLINA  
MANUEL  
STUDIO, LLC  
BLUFFTON, SC  
100072  
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA  
ANSLEY HESTER  
MANUEL  
BLUFFTON, SC  
6887  
REGISTERED ARCHITECT

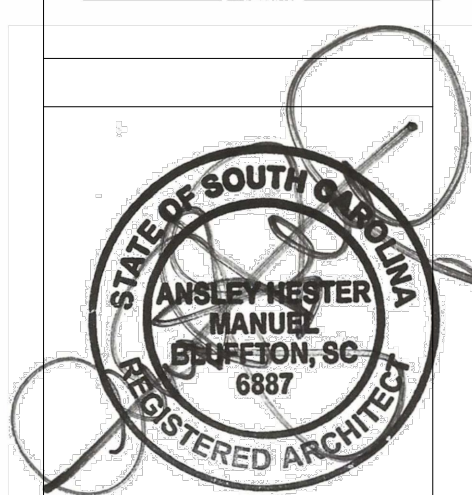
DATE :  
4/16/24  
4/25/24  
5/2/24  
6/27/24

MANUEL STUDIO, LLC  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

EXTERIOR RENOVATIONS FOR  
BRAD AND ALYSA CLARK  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SC 29910

PROPOSED FLOOR PLAN

SHEET  
A2



DATE :  
4/16/24  
4/25/24  
5/2/24  
6/27/24

MANUEL STUDIO, LLC  
*Ansley Hester Manuel, Architect*  
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EXTERIOR RENOVATIONS FOR  
BRAD AND ALYSA CLARK  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SC 29910

EXISTING ELEVATIONS

SHEET

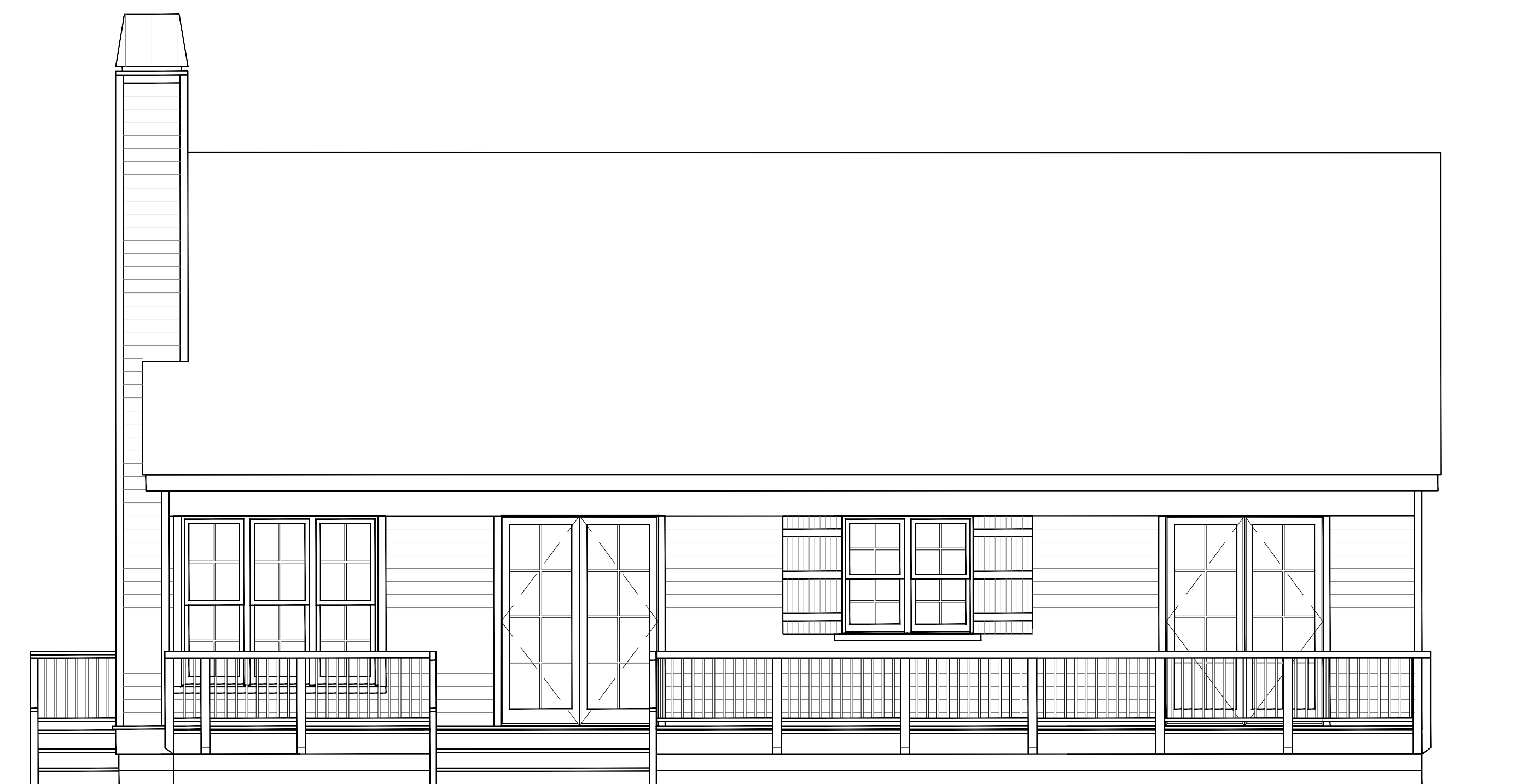
A3



A  
A3 EXISTING FRONT ELEVATION  
SCALE: 1/4"=1'-0"



B  
A3 EXISTING LEFT ELEVATION  
SCALE: 1/4"=1'-0"

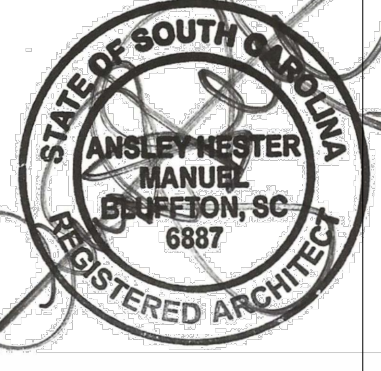


C  
A3 EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"



D  
A3 EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"





DATE :  
4/16/24  
4/25/24  
5/2/24  
6/27/24

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

EXTERIOR RENOVATIONS FOR  
**BRAD AND ALYSA CLARK**  
35 C THOMAS HEYWARD STREET  
BLUFFTON, SC 29910

**PROPOSED ELEVATIONS**

SHEET

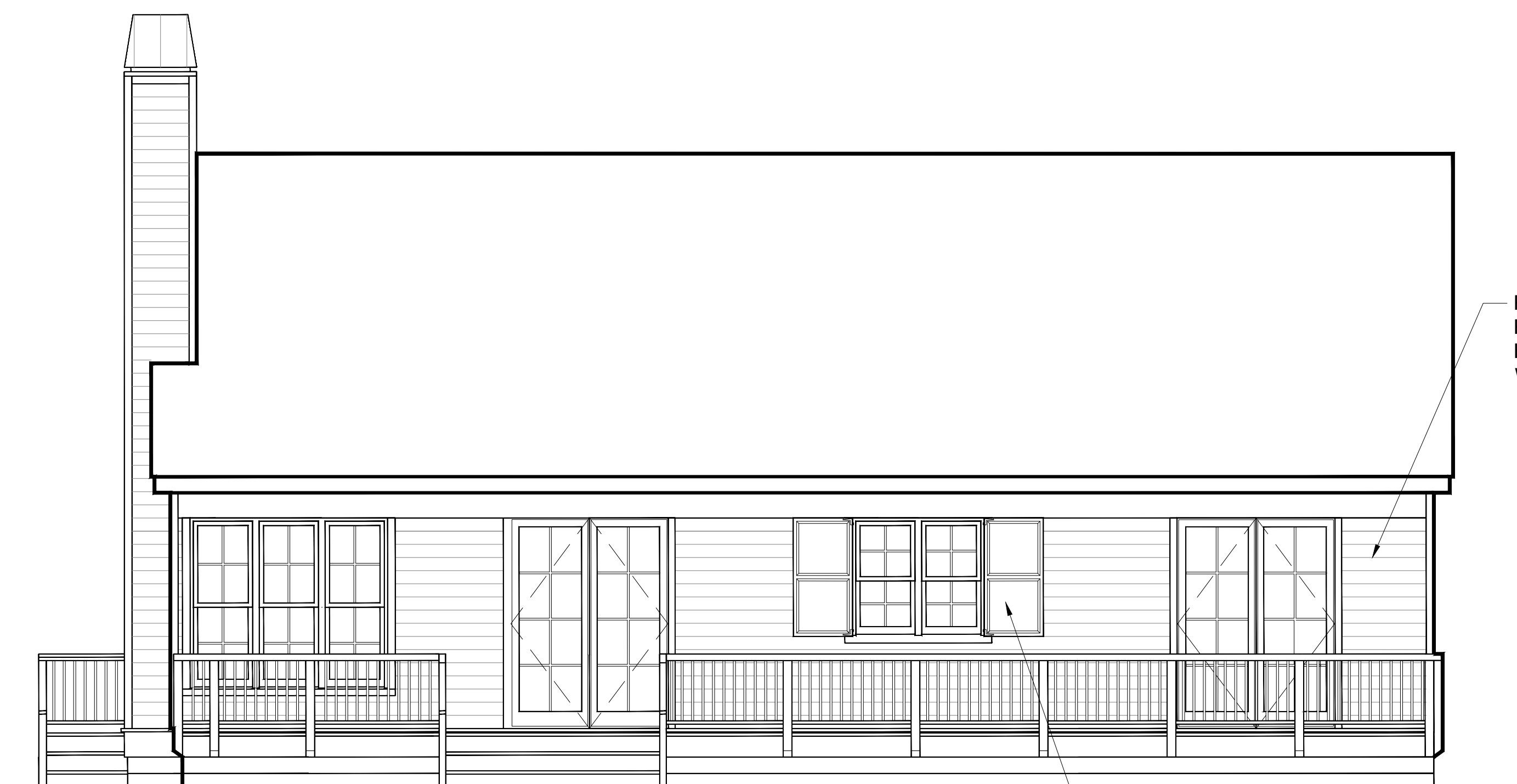
**A4**



**A**  
**A4** PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"



**B**  
**A4** PROPOSED LEFT ELEVATION  
SCALE: 1/4"=1'-0"



**C**  
**A4** PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"



**D**  
**A3** EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



ATTACHMENT 4  
PLAN REVIEW COMMENTS FOR COFA-05-24-019119

Section VII. Item #1.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

Plan Type:	Historic District	Apply Date:	05/07/2024
Plan Status:	Active	Plan Address:	35 C Thomas Heyward St Street BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 00A 0251 0000
Plan Description:	A request by Brad Clark for review of a Certificate of Appropriateness- HD for the renovation of the existing single family structure to move the front door and patio stairs to the center of the house and reconfigure the windows on the front and left elevations at 35 C Thomas Heyward Street, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD. Status: The Application will be heard at the June 3, 2024 HPRC meeting.		

Staff Review (HD)

Submission #: 1      Received: 05/07/2024      Completed: 05/31/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	05/31/2024	Katie Peterson	Approved with Conditions

Comments:

1. At Pre Application meeting, mention had been made about possible changes to decking etc. At time of final, provide detailed narrative indicating all areas were new materials, even if they are like for like, will be replacing existing.

HPRC Review	05/31/2024	Katie Peterson	Approved with Conditions
-------------	------------	----------------	--------------------------

Comments:

1. Provide additional information on metal handrail materials at time of final submittal to ensure they are wrought or cast iron (natural or painted). (UDO 5.15.6.H.)
2. At time of final submittal, provide additional information on Shutter material and configuration. Shutters, when proposed, must be durable wood, or wood composite with approval by the UDO Administrator should a material sample provided be found to be consistent with the character of the HD and the material be equal or better quality than traditional building materials. (UDO 5.15.6.M.)
3. Material changes must take place at interior corners. The applicant proposes a change of material on the front elevation only, which would take place at an exterior corner. Revise to meet this requirement. (UDO 5.15.6.N.)

Beaufort Jasper Water and Sewer Review	05/28/2024	Matthew Michaels	Approved
--	------------	------------------	----------

Comments:

1. No comment.

Watershed Management Review	05/31/2024	Samantha Crotty	Approved
-----------------------------	------------	-----------------	----------

Comments:

Comments may be provided at time of stormwater permit review/building permit submittal, however, based on the scope of work it appears no comment.

Transportation Department Review - HD	05/08/2024	Megan James	Approved
---------------------------------------	------------	-------------	----------

Comments:

- No comments







# HISTORIC PRESERVATION COMMISSION

## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	October 2, 2024
<b>PROJECT:</b>	COFA-05-24-019123 128 Bridge Street New Two-story Carriage House
<b>APPLICANT:</b>	Ansley Manuel (Manuel Studio, LLC)
<b>PROPERTY OWNER:</b>	Lynda Lee Gooze Strong
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant requests that the Historic Preservation Commission approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new two-story Carriage House of approximately 1,232 enclosed square feet. The property is zoned Neighborhood Conservation-HD (NC-HD).

**INTRODUCTION:** The proposed Carriage House is a two-story structure under a side-facing gable with an upper-story residence over a double-car garage. The ground floor garage includes two bays. The second-floor residence will be accessed by an exterior staircase and features a full façade screened supported by four brick piers. The ground floor exterior is proposed to be brick veneer, and the second-floor exterior is proposed to have horizontal Hardi siding under an asphalt shingle roof. The Carriage House is intended to match the main residence.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the June 3, 2024 meeting. HPRC comments are provided as Attachment 5.

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure development consistency without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. **Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed building has been designed to be sympathetic to the architectural character of the neighboring structures and will enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed Carriage House contributes to the district as well as helps to provide completeness to the neighborhood and overall district.

2. **Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
- 1) **Square Footage** (UDO Sec. 5.15.8.F.): A total of 1,232 enclosed square feet is proposed, which is 32 square feet larger than the maximum size permitted for a Carriage House (1,200 sf). The square footage must be reduced to be no larger than 1,200 square feet.
  - 2) **Roof** (UDO Sec. 5.15.6.F.2.b.): Asphalt shingles are proposed and must be a “dimensional” type. Additional information is needed to ensure that this requirement will be satisfied.

- 3) **Building Walls** (UDO Sec. 5.15.6.G.3.): Permitted wall materials are wood, cement fiber, concrete masonry units with stucco tabby, reinforced concrete with stucco, shingles, vertical board and batten, as well as EIFS and fiberglass with conditions. Brick is not a permitted material for wall siding unless it is salvaged or locally produced. The plans indicate that brick is proposed to match the main residence, but information was not provided regarding the source. The HPC must determine if brick is an appropriate material.
- 4) **Doors** (UDO Sec. 5.15.6.I.2.b.): Doors must be wood, metal or metal-clad. Additional information for all doors, including garage doors, is needed to ensure that this requirement will be satisfied.
- 5) **Windows** (UDO Sec. 5.15.6.I.2.b.): Windows must be wood, aluminum, copper, steel, vinyl, clad wood or fiberglass. A notation under the window schedule indicates that all windows will be “wood interior and clad exterior.” The cladding material must be identified to ensure compliance with allowed window materials.
- 6) **Soffit** (UDO Sec. 5.15.6.P.5.): Soffits should be finished with beaded or v-groove tongue and groove. Plans show smooth face. The HPC must determine that a smooth face soffit is appropriate.
- 7) **Service Yard** (UDO Sec. 5.15.5.F.10.): A service yard is not shown on the plans. Service yards are required to screen waste receptacles, utilities and related equipment, including service items. Utility meters must be screened from public view. Additional information is needed to ensure that this requirement will be satisfied.

3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing, with revisions to address the items in #2 above, will be sensitive to the neighboring properties.

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.**

*Finding.* If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

**5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

*Finding.* The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete with the exception of the applicable items in #2.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Reduce the Carriage House enclosed square footage to be no larger than 1,200 square feet (UDO Sec. 5.15.8.F.).
2. Provide information to show that proposed asphalt shingles will be dimensional as required by UDO Sec. 5.15.6.F.2.b.
3. Provide information to show that doors, including garage doors, will comply with permitted materials as required by UDO Sec. 5.15.6.I.2.b.
4. Provide cladding material information to ensure that windows comply with permitted materials as required by UDO Sec. 5.15.6.I.2.b.
5. Provide information to show the Service Yard area, including electric meters, will comply with UDO Sec. 5.15.5.F.10.
6. A determination by the Historic Preservation Commission regarding:
  - a. The use of brick as a wall siding material if not salvaged or locally produced as required by UDO Sec. 5.15.6.G.3.
  - b. The use of a smooth-face soffits in place of beaded or v-groove tongue and groove soffits as required by UDO Sec. 5.15.6.P.5.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

**ATTACHMENTS:**

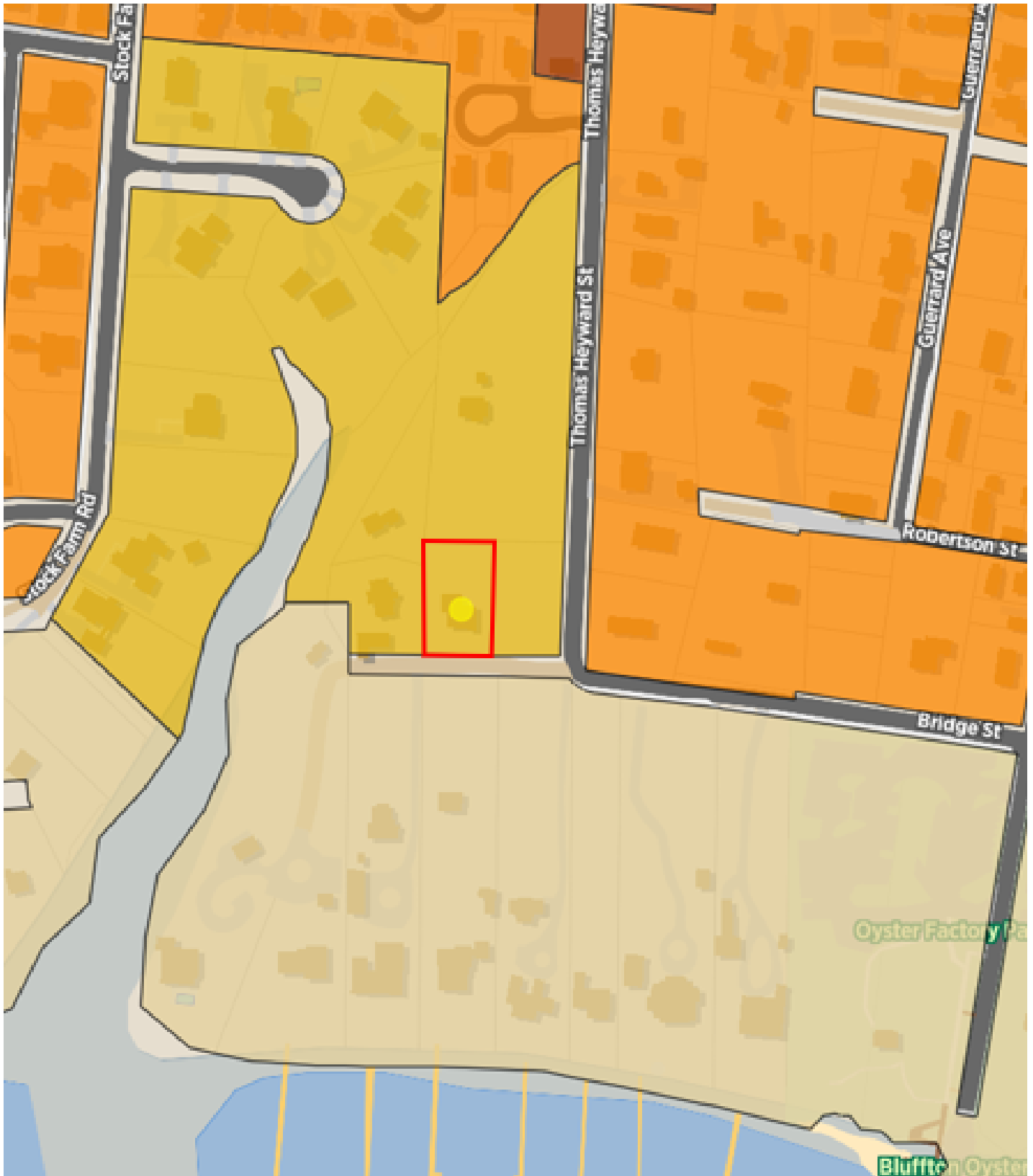
1. Location and Zoning Map
2. Application and Narrative
3. Site Photos
4. Site Plan & Elevations
5. HPRC Report

ATTACHMENT 1  
**LOCATION & ZONING MAP**

Section VII. Item #2.

**128 Bridge Street**

Neighborhood Conservation -HD District







ATTACHMENT 2

**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS-**  
**OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Custodian

Section VII. Item #2.

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: <i>Ansley H. Manuel, Architect</i>		Name: <i>Lynda Lee Gooze Strong</i>	
Phone: <i>843.338.8932</i>		Phone: <i>843.290.5346</i>	
Mailing Address: <i>104 Pritchard Street Bluffton, S.C. 29910</i>		Mailing Address: <i>128 Bridge Street Bluffton, S.C. 29910</i>	
E-mail: <i>manuel.studio@aol.com</i>		E-mail: <i>lyndaleestrong128@gmail.com</i>	
Town Business License # (if applicable): <i>24-04-2229</i>			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: <i>Strong Carriage House</i>		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: <i>128 Bridge Street</i>		Amendment: <input type="checkbox"/>	
Zoning District: <i>Neighborhood Conservation</i>		Application for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation	
Acreage: <i>0.425</i>			
Tax Map Number(s): <i>R61003900A01220000</i>			
Project Description: <i>Property owner wishes to build a carriage house on the rear, right side of her yard reflecting similar materials and details of main house.</i>			
<b>Minimum Requirements for Submittal</b>			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Lynda Gooze Strong</i>		Date: <i>8/8/24</i>	
Applicant Signature: <i>Ansley H. Manuel</i>		Date: <i>8 August 2024</i>	
<b>For Office Use</b>			
Application Number:		Date Received:	
Received By:		Date Approved:	





**ATTACHMENT 2**  
**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION**  
**PROCESS NARRATIVE**

Section VII. Item #2.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

<b>Step 1. Pre-Application Meeting</b>	<b>Applicant &amp; Staff</b>
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
<b>Step 2. Application Check-In Meeting – Concept Review Submission</b>	<b>Applicant &amp; Staff</b>
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an <u>mandatory</u> Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
<b>Step 3. Review by UDO Administrator or designee and HPRC</b>	<b>Staff</b>
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
<b>Step 4. Historic Preservation Review Committee</b>	<b>Applicant, Staff &amp; Historic Preservation Review Committee</b>
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
<b>Step 5. Application Check-In Meeting - Final Review Submission</b>	<b>Applicant &amp; Staff</b>
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
<b>Step 6. Historic Preservation Commission Meeting</b>	<b>Applicant, Staff &amp; Historic Preservation Commission</b>
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
<b>Step 7. Issue Certificate of Appropriateness</b>	<b>Staff</b>
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	





# ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #2.

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA					
Identification of Proposed Building Type (as defined in Article 5):					
Building Setbacks	Front: <i>N/A</i>	Rear: <i>5'</i>	Rt. Side: <i>5'</i>	Lt. Side: <i>5'</i>	
3. BUILDING DATA					
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage		
Main Structure	<i>Main House (Existing)</i>	<i>2275</i>	<i>2275</i>		
Ancillary	<i>Carriage House (Proposed)</i>	<i>0</i>	<i>1166 heated 210 porch</i>		
Ancillary	<i>Shed (Existing)</i>	<i>120</i>	<i>120</i>		
4. SITE COVERAGE					
Impervious Coverage		Coverage (SF)			
Building Footprint(s)		<i>3252</i>			
Impervious Drive, Walks & Paths		<i>320</i>			
Open/Covered Patios					
A. TOTAL IMPERVIOUS COVERAGE		<i>3572</i>			
B. TOTAL SF OF LOT		<i>18,478</i>			
% COVERAGE OF LOT (A/B = %)		<i>19.3%</i>			
5. BUILDING MATERIALS					
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation		
Foundation	<i>concrete slab hardie</i>	Columns	<i>P.T wood 8x8</i>		
Walls	<i>1st story - brick 2nd story - siding</i>	Windows	<i>alum clad SDL single hung</i>		
Roof	<i>asphalt shingles</i>	Doors	<i>alum clad ext/wood int</i>		
Chimney	<i>N/A</i>	Shutters	<i>N/A</i>		
Trim	<i>P.T. wood 2x4</i>	Skirting/Underpinning	<i>N/A</i>		
Water table	<i>P.T. wood 1x12</i>	Cornice, Soffit, Frieze	<i>1x12 w/ogee, hardie, 1x4 &amp; 1x10</i>		
Corner board	<i>P.T. wood 3 1/2" x 3 1/2"</i>	Gutters	<i>N/A</i>		
Railings	<i>P.T. wood 2x4 cut</i>	Garage Doors	<i>steel</i>		
Balusters	<i>P.T. wood 2x2</i>	Green/Recycled Materials	<i>N/A</i>		
Handrails	<i>P.T. wood 2x4 cut</i>				





# ATTACHMENT 2 TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #2.

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>





## TOWN OF BLUFFTON

### CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #2.

<input type="checkbox"/>	<input type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

#### SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

Date

Printed Name of Property Owner or Authorized Agent

Signature of Applicant

Date

Printed Name of Applicant

## PROJECT NARRATIVE FOR LYNDA LEE GOOGE STRONG -128 Bridge Street

The property owner, Lynda Lee Googe Strong, wishes to build a carriage house. The carriage house will be located on the right, rear side of her yard. The original main house was built in 1966 and the addition added in 2008. It is centered on the property and sits 30 feet from the road.

The carriage house will reflect similar materials and detailing of the main house. Brick veneer at the first story wall will match the main house brick veneer. Horizontal siding on the second story wall and gable ends will match the main house gable end siding. The carriage house roof pitch, roof material, cornice and fascia will match the main house.

The height of the carriage house will be taller than the main house which is a one-story on a slab foundation. The perspective of the carriage house from the road will alleviate the difference as the carriage house facade will be set back 120 feet from the main house facade.

This property has been in Strong's family since the early 1900s first acquired during her grandmother's childhood. She intends to live out her natural life here and continue the legacy of her familial ownership. We respectfully ask the board to grant preliminary approval to the proposal.

Ansley Hester Manuel, Architect































**PROJECT TITLE -**  
CARRIAGE HOUSE FOR CARL AND LYNDA STRONG

**PHYSICAL ADDRESS -**  
128 BRIDGE STREET  
BLUFFTON, SOUTH CAROLINA 29910

**BUILDING DEPARTMENT -**  
TOWN OF BLUFFTON

**OCCUPANCY CLASSIFICATION -**  
RESIDENTIAL GROUP R-3

**WIND SPEED RANGE -**  
130-139 MPH

**EXPOSURE - B**

**SEISMIC ZONE - C**

**FLOOD ZONE - X**

**SOIL TYPE -**  
WANDO FINE SAND

**SOIL LOAD BEARING PRESSURE -**  
1500 PSF

**CONCRETE COMPRESSIVE STRENGTH -**  
TABLE R402.2

**LIVE LOADS -**  
TABLE R301.5

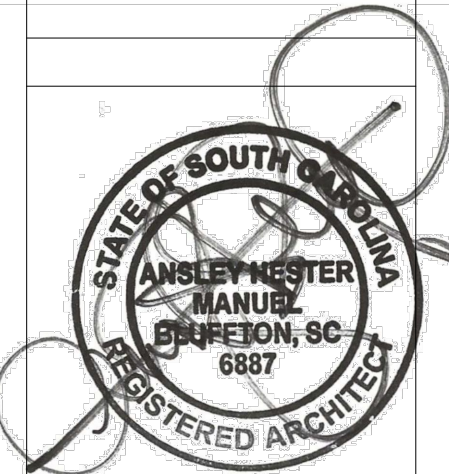
**ROOF LOADS -**  
TABLE 301.6

**BUILDING HEIGHT AND NUMBER OF STORIES -**  
24'-11", 2 STORIES

**SQUARE FOOTAGES -**  
583 SQ.FT. HEATED  
210 SQ.FT. PORCH  
583 SQ. FT. UNHEATED GARAGE

INDEX

- C-1** CODE ANALYSIS, INDEX
- C-2** PROPOSED SITE PLAN
- C-3** PROPOSED LANDSCAPE PLAN
- A-1** FOUNDATION PLAN
- A-2** FLOOR PLANS, SCHEDULES & DETAILS
- A-3** FRAMING & ROOF PLANS
- A-4** ELEVATIONS
- A-5** WALL & PORCH SECTIONS
- A-6** ELECTRICAL PLANS



DATE :  
8/12/24

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

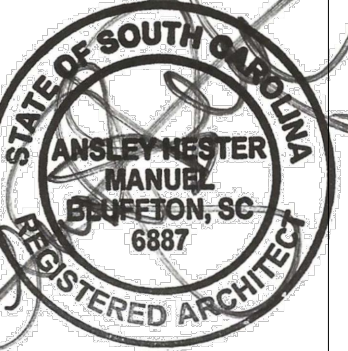
CARRIAGE HOUSE FOR  
CARL AND LYNDA STRONG  
128 BRIDGE STREET  
BLUFFTON, SC 29910

CODE ANALYSIS AND INDEX

SHEET

C-1

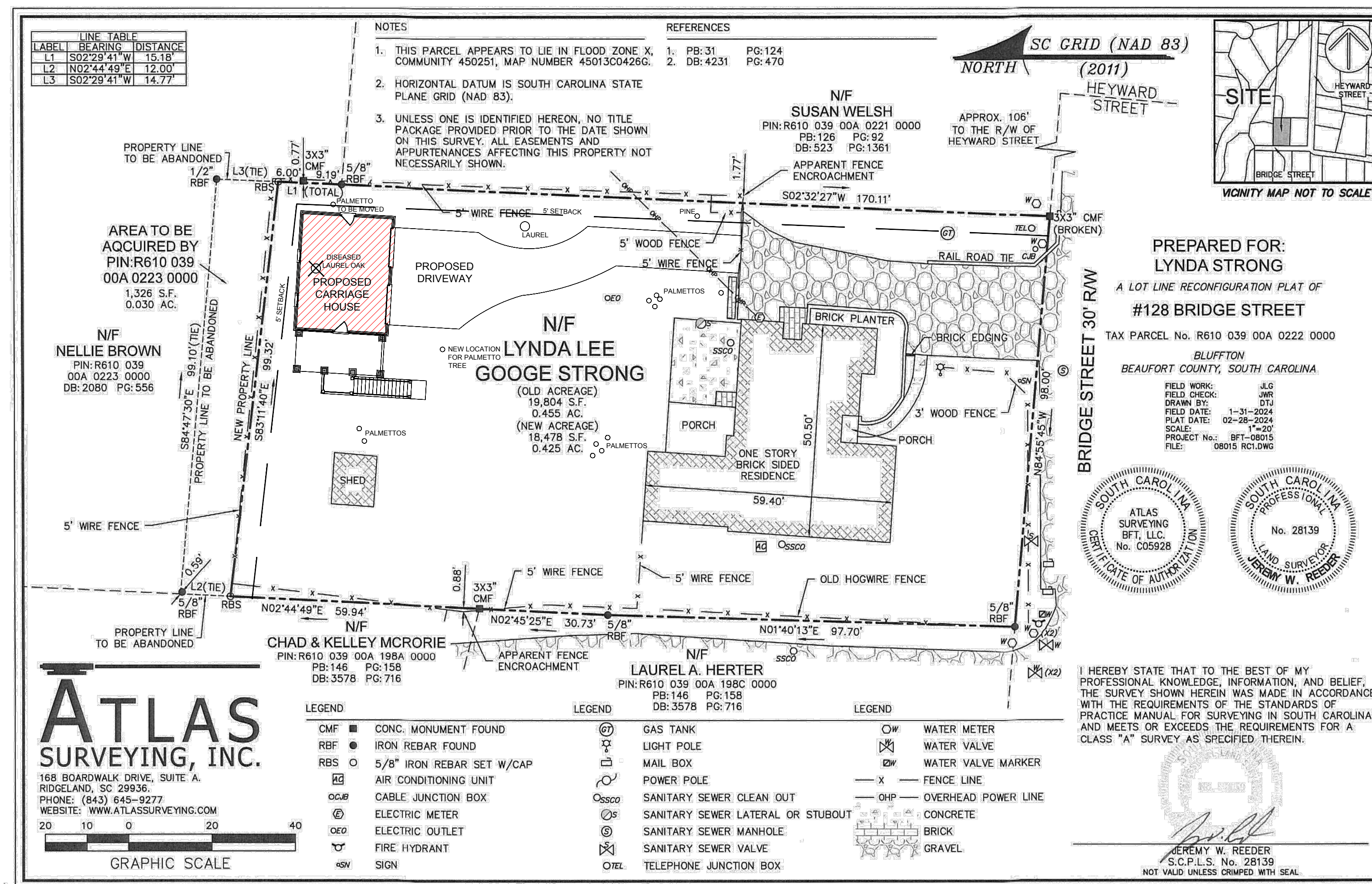




**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
1104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

# PROPOSED SITE PLAN

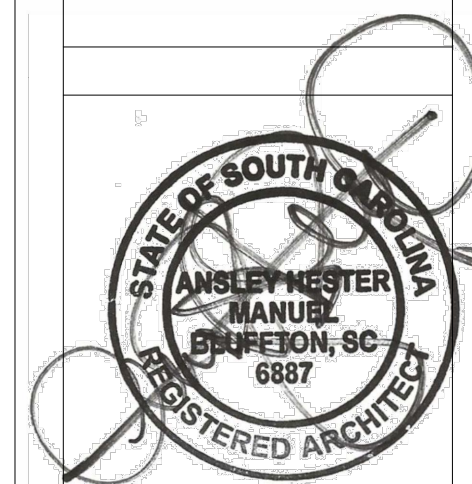
C2



A  
C2

PROPOSED SITE PLAN  
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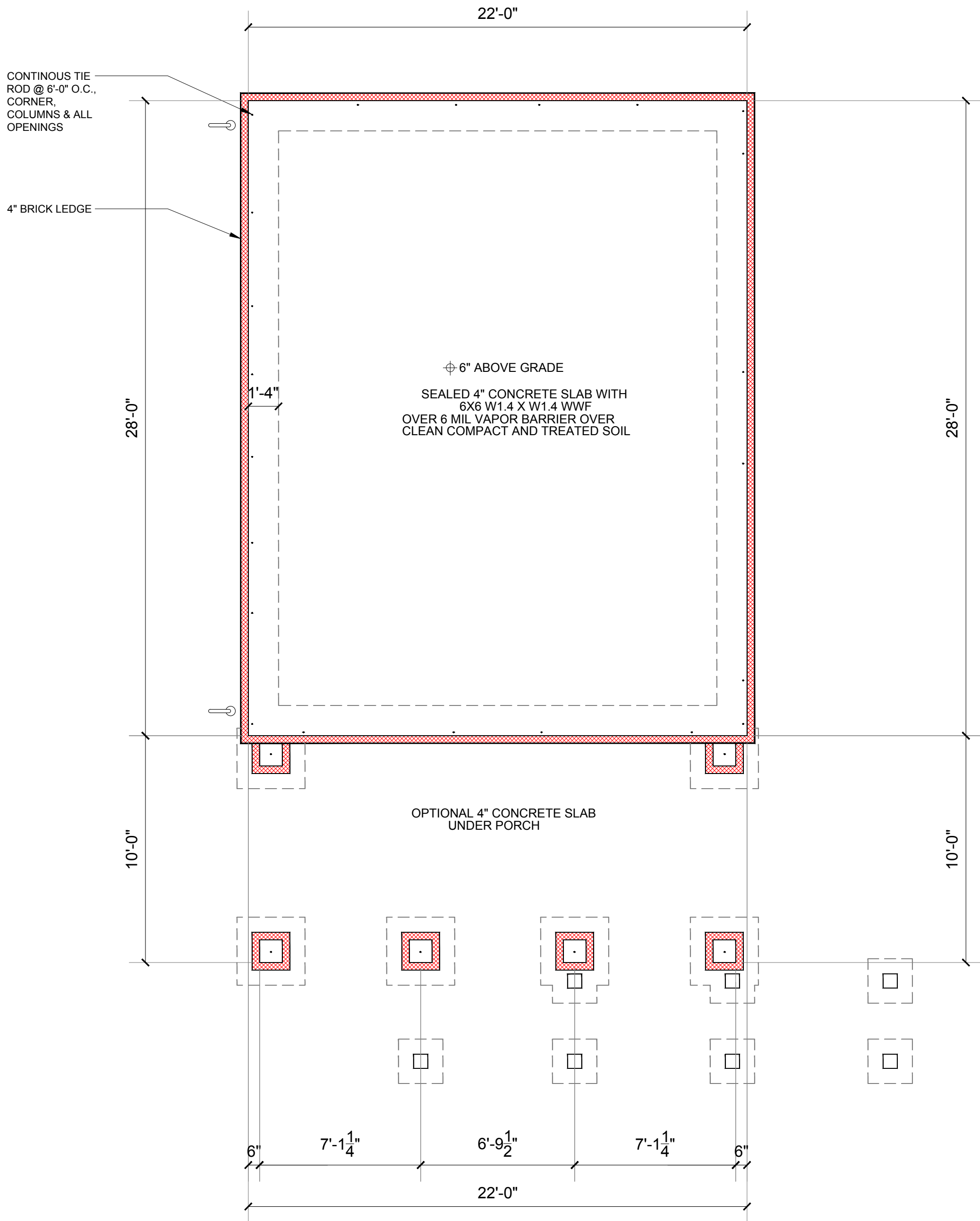




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*Ansley Hester Manuel, Architect*  
 104 Pritchard Street, Bluffton, South Carolina 29910  
 843.338.8932 cell [manuel.studio@aol.com](mailto:manuel.studio@aol.com)

## PROPOSED LANDSCAPE PLAN

C3



A  
A1

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

DATE :  
8/12/24

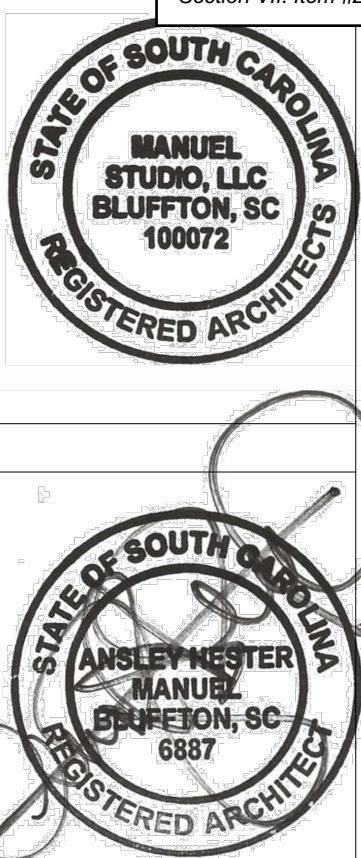
MANUEL STUDIO, LLC  
*Ansley Hester Manuel, Architect*  
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843.338.8932 cell manuel.studio@aol.com

CARRIAGE HOUSE FOR  
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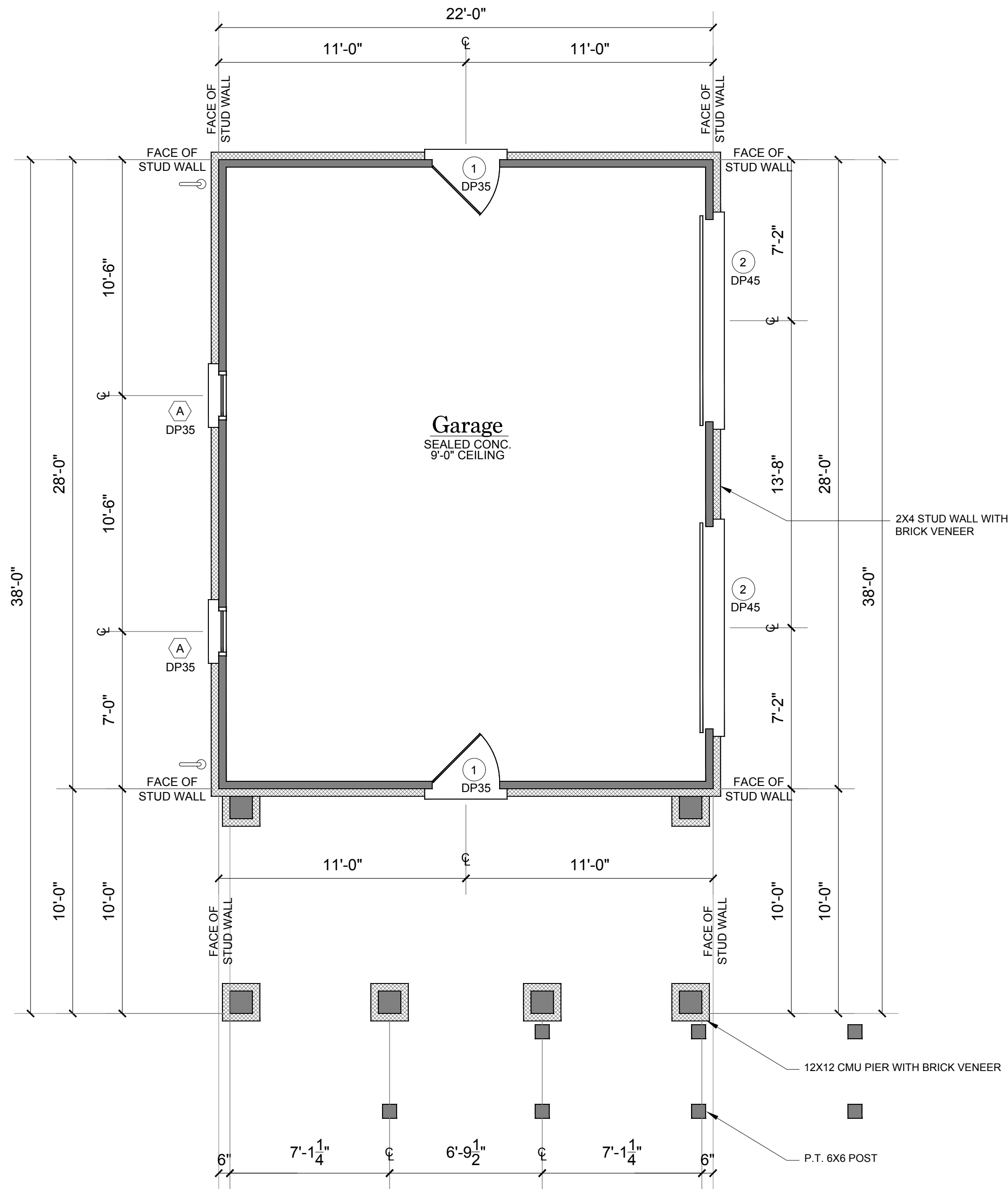
FOUNDATION PLAN

SHEET

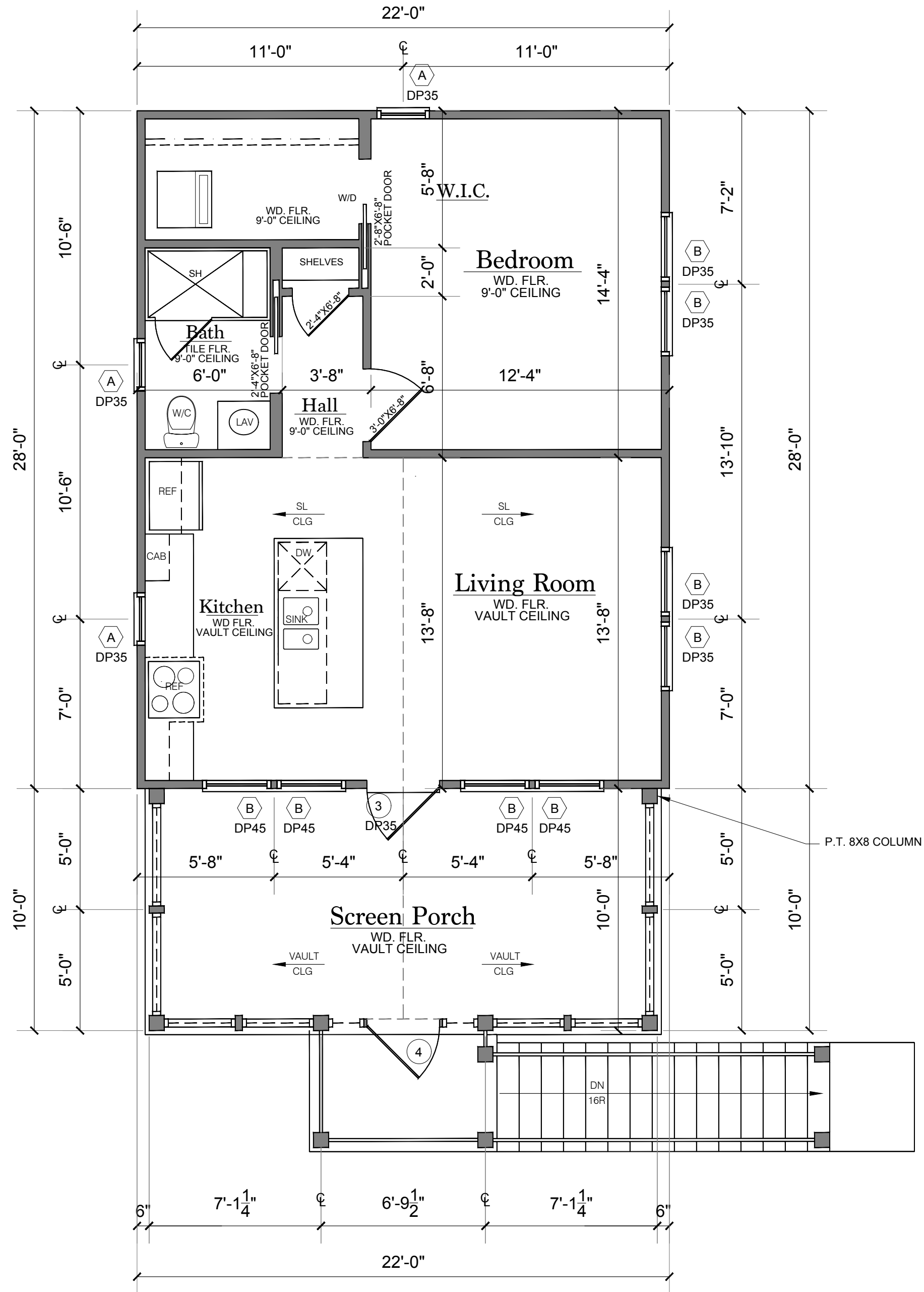
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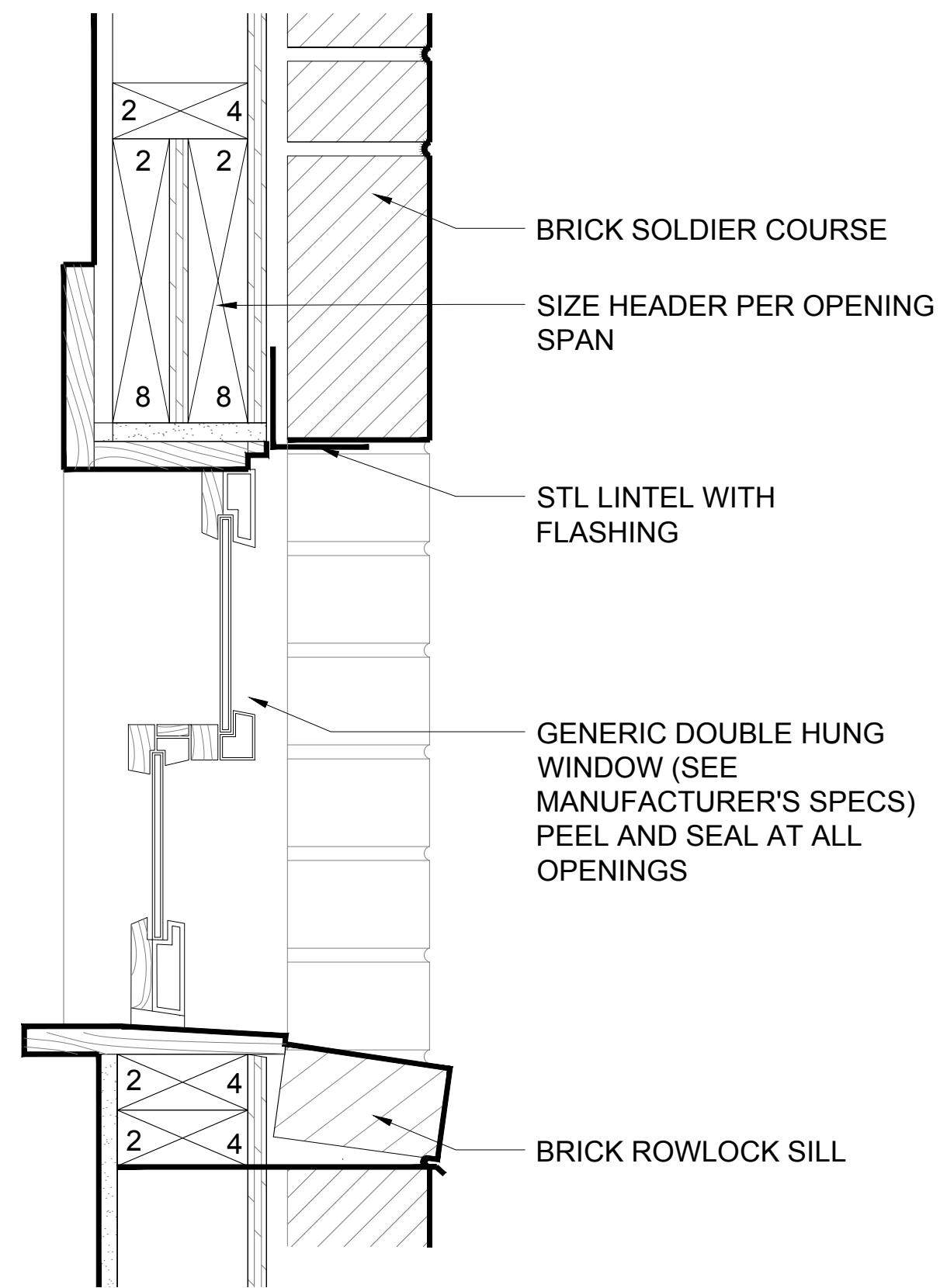




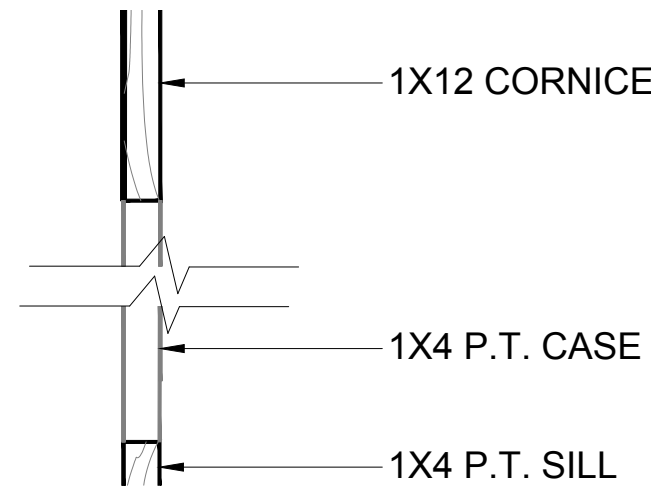
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A2  
GROUND FLOOR PLAN  
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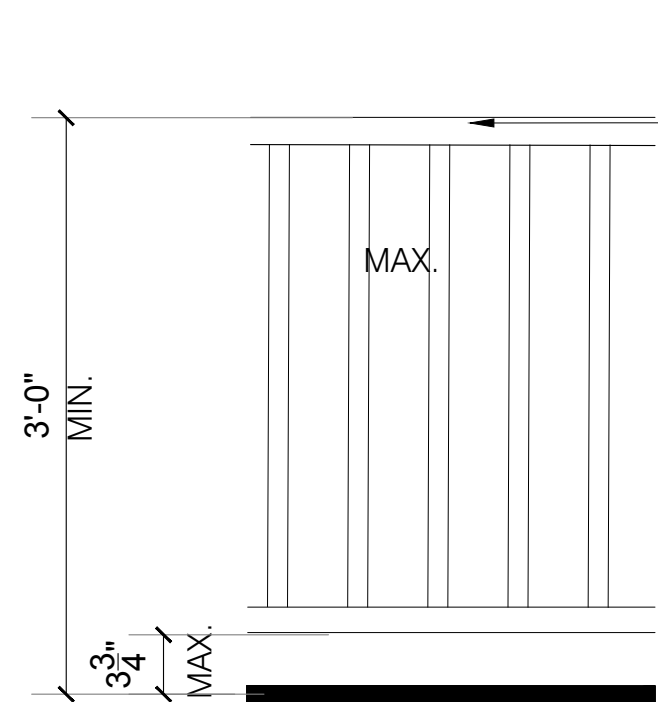
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A2  
FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



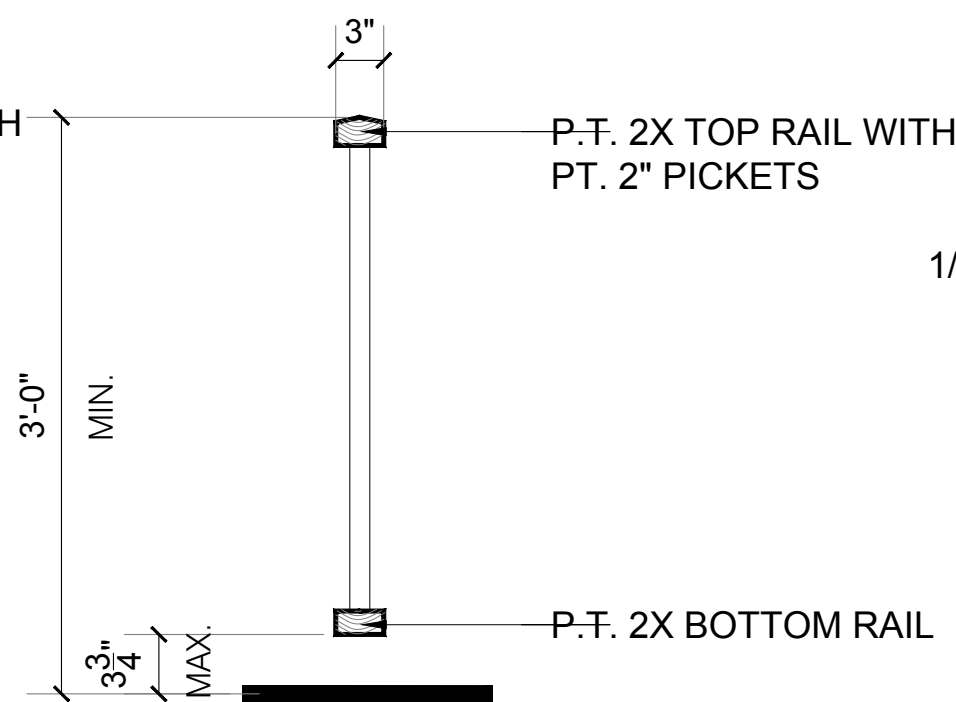
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A2  
WINDOW DETAIL @ BRICK  
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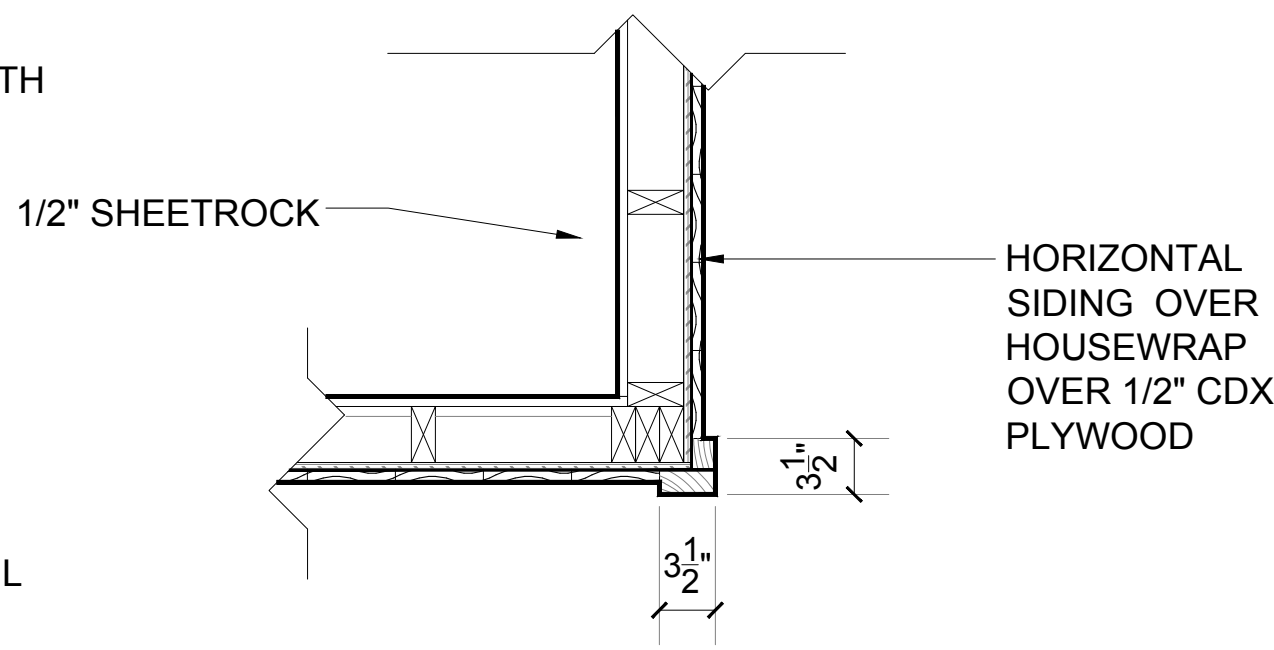
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A2  
WINDOW TRIM DETAIL @ SIDING  
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E  
A2  
GUARDRAIL ELEVATION  
SCALE: 1"=1'-0"



F  
A2  
GUARDRAIL DETAIL  
SCALE: 1"=1'-0"



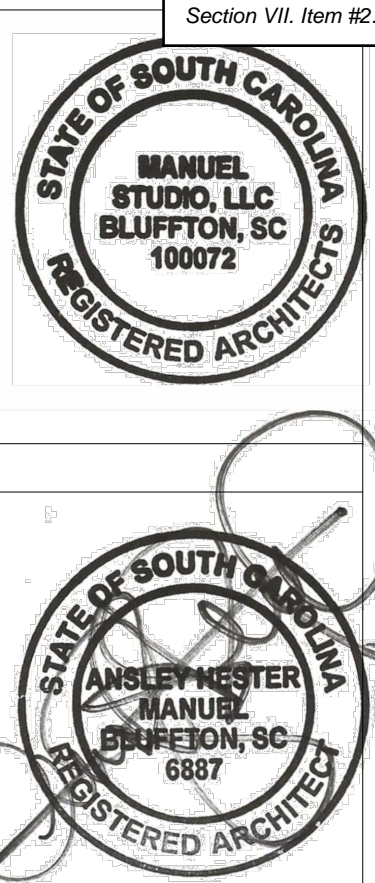
G  
A2  
CORNER DETAIL  
SCALE: 1"=1'-0"

DOOR SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
1	3'-0" X 6'-8"	SOLID 4 PANEL, INSWING	-	
2	9'-0" X 7'-0"	OVERHEAD	-	
3	3'-0" X 7'-0"	HALF GLASS, OUTSWING	4	
4	3'-0" X 6'-8"	SCREEN DOOR, OUTSWING	-	

ALL GLASS TO BE IMPACT RESISTANT.

WINDOW SCHEDULE				
MARK	WIDTH & HEIGHT	TYPE	LITES	REMARKS
A	2'-2" X 3'-8"	DOUBLE HUNG	4/4	
B	2'-10" X 5'-0"	DOUBLE HUNG	4/4	EGRESS REQUIRED

ALL WINDOWS ARE WOOD INTERIOR AND CLAD EXTERIOR.  
ALL GLASS TO BE IMPACT RESISTANT.  
DP RATINGS ARE 35 IF MORE THAN 4' FROM CORNER & 45 IF WITHIN 4' FROM CORNER



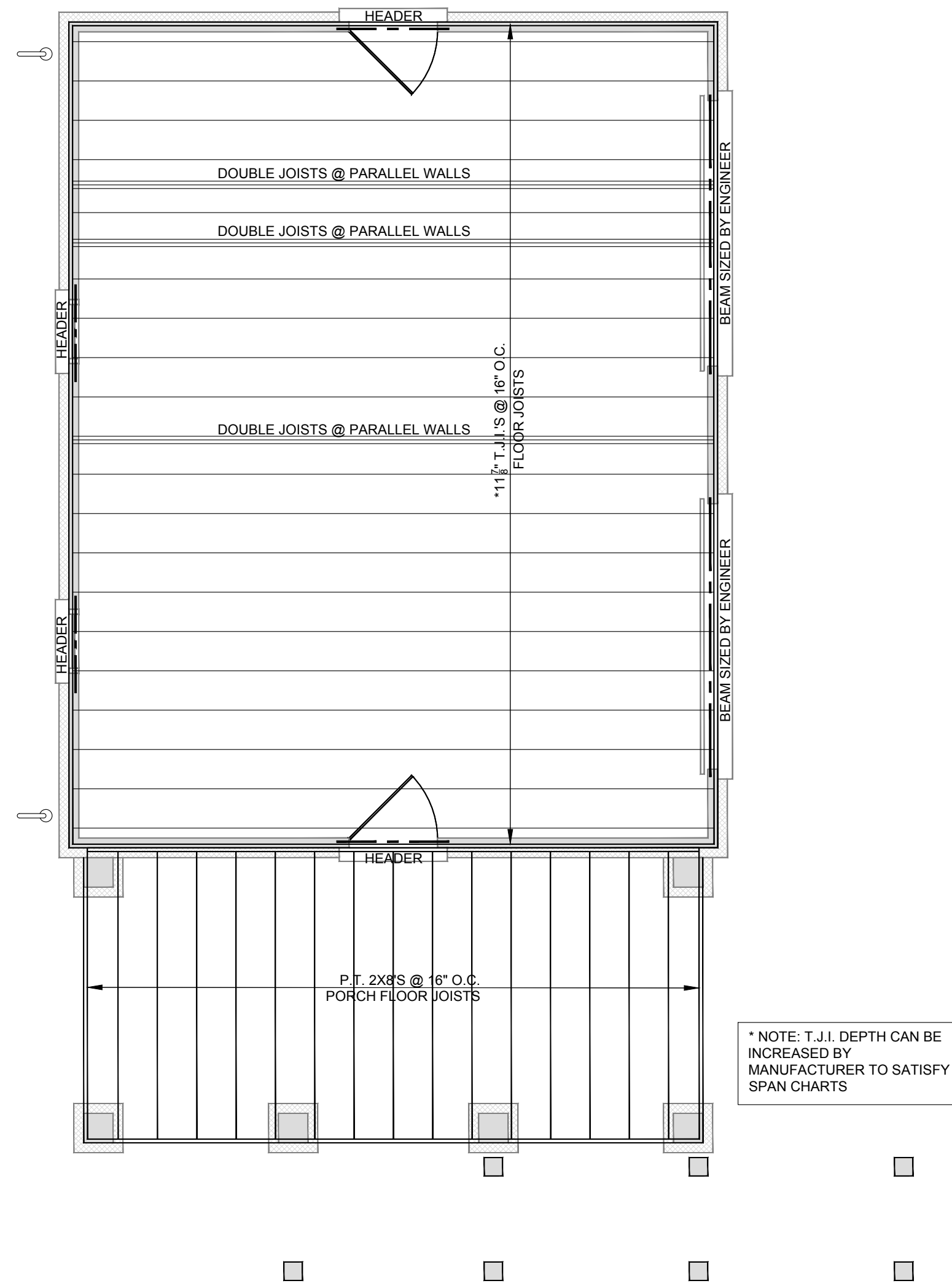
DATE :  
8/12/24

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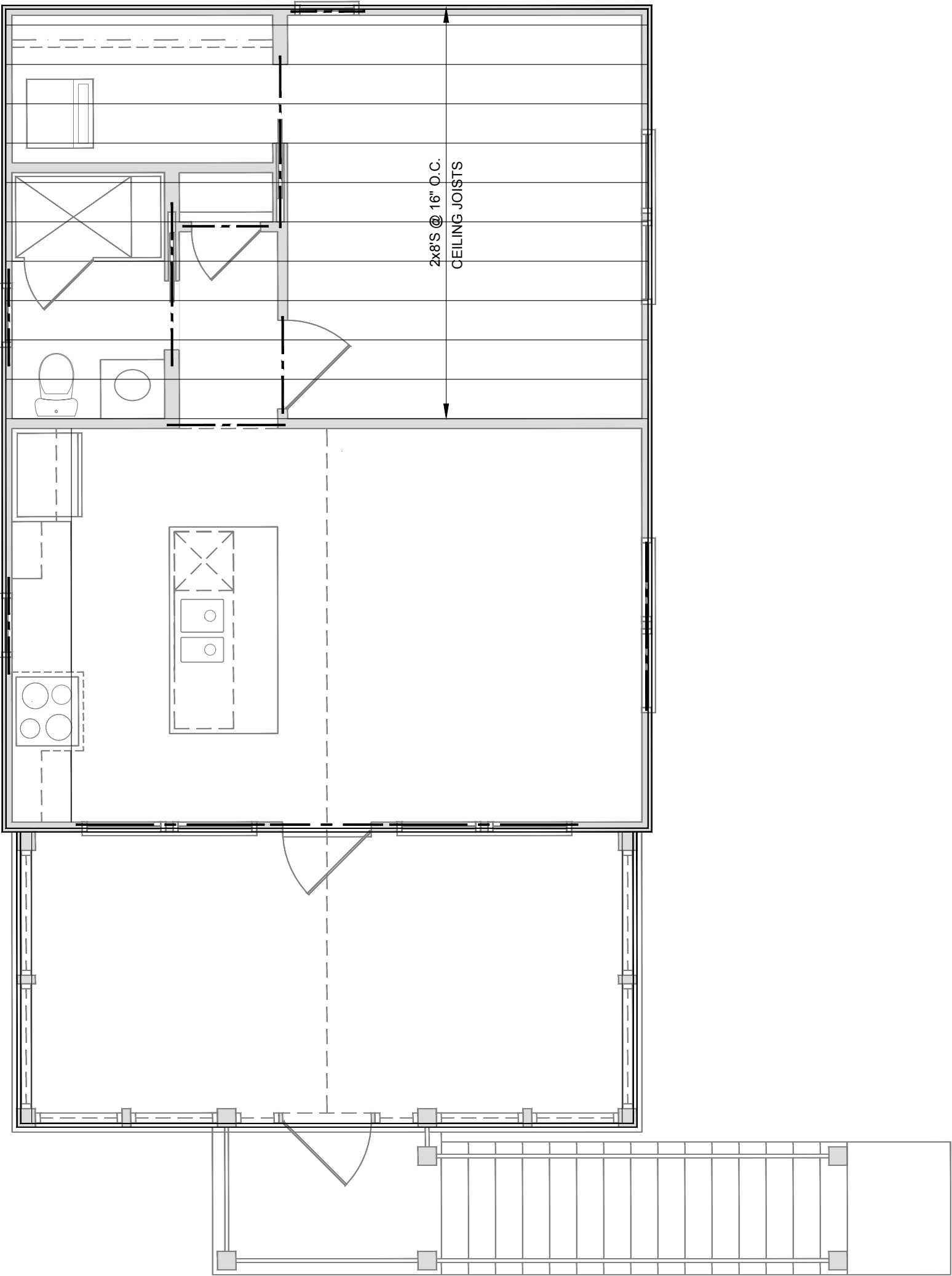
CARRIAGE HOUSE FOR  
CARL AND LYNDA STRONG  
128 BRIDGE STREET  
BLUFFTON, SC 29910

FLOOR PLANS, SCHEDULES & DETAILS

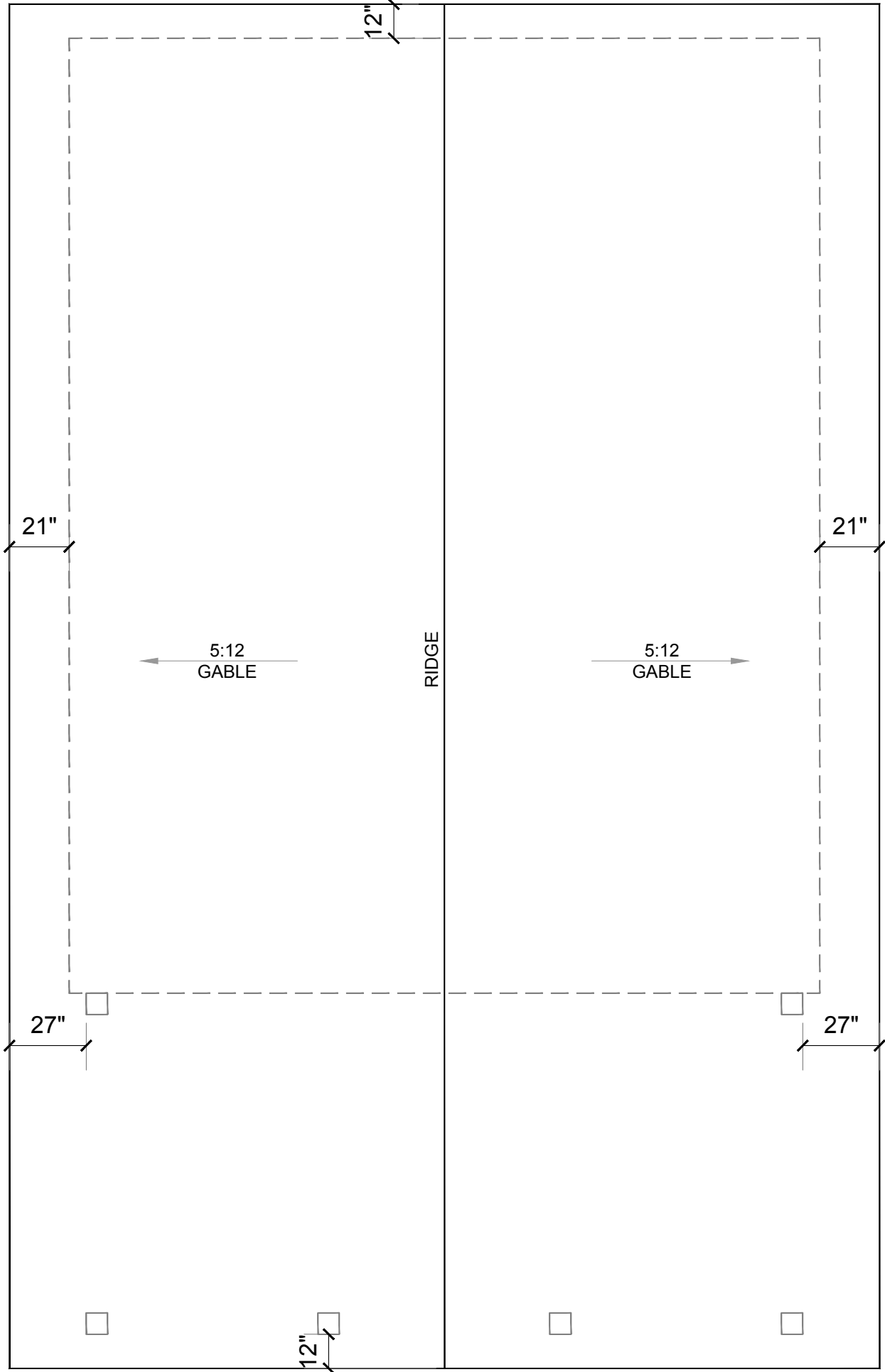
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A2



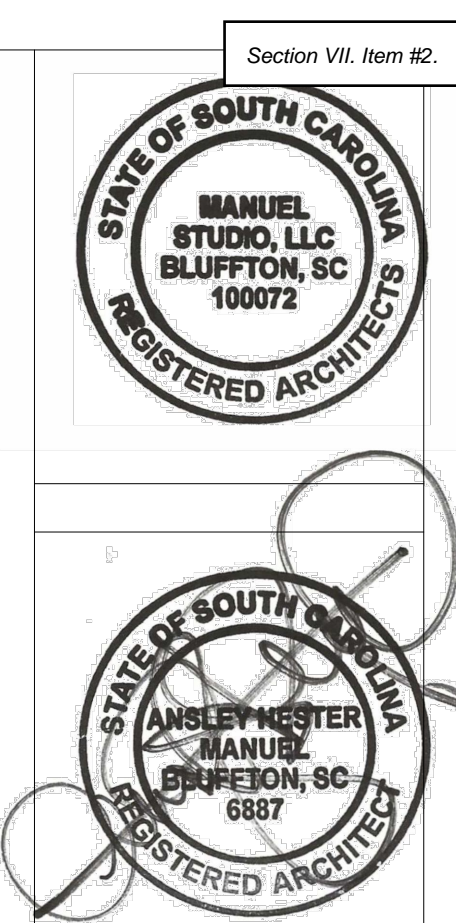
**A**  
**A3** PROPOSED FIRST FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"



**B**  
**A3** FIRST FLOOR CEILING FRAMING PLAN  
SCALE: 1/4"=1'-0"



**C**  
**A3** ROOF PLAN  
SCALE: 1/4"=1'-0"



DATE :  
8/12/24

**MANUEL STUDIO, LLC**  
*Ansley Hester Manuel, Architect*  
104 Pritchard Street, Bluffton, South Carolina 29910  
843.338.8932 cell manuel.studio@aol.com

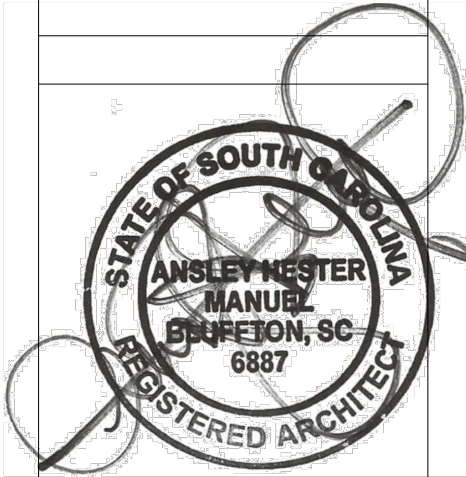
CARRIAGE HOUSE FOR  
**CARL AND LYNDA STRONG**  
128 BRIDGE STREET  
BLUFFTON, SC 29910

FRAMING AND ROOF PLANS

SHEET

**A3**





DATE :  
8/12/24

MANUEL STUDIO, LLC  
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843.338.8932 cell manuel.studio@aol.com

CARRIAGE HOUSE FOR  
CARL AND LYNDA STRONG  
128 BRIDGE STREET  
BLUFFTON, SC 29910

PROPOSED ELEVATIONS

SHEET

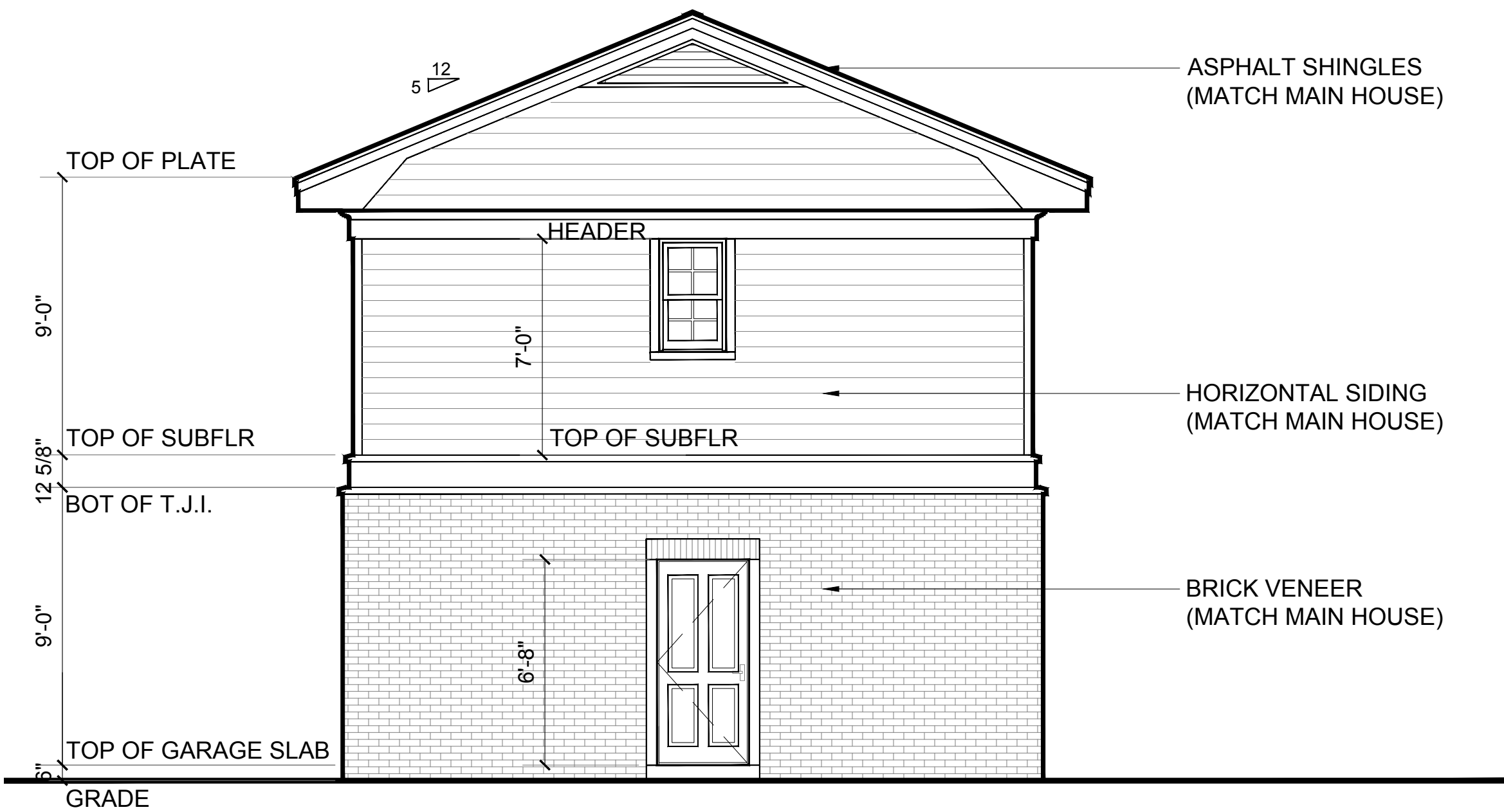
A4



A  
A4 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



B  
A4 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

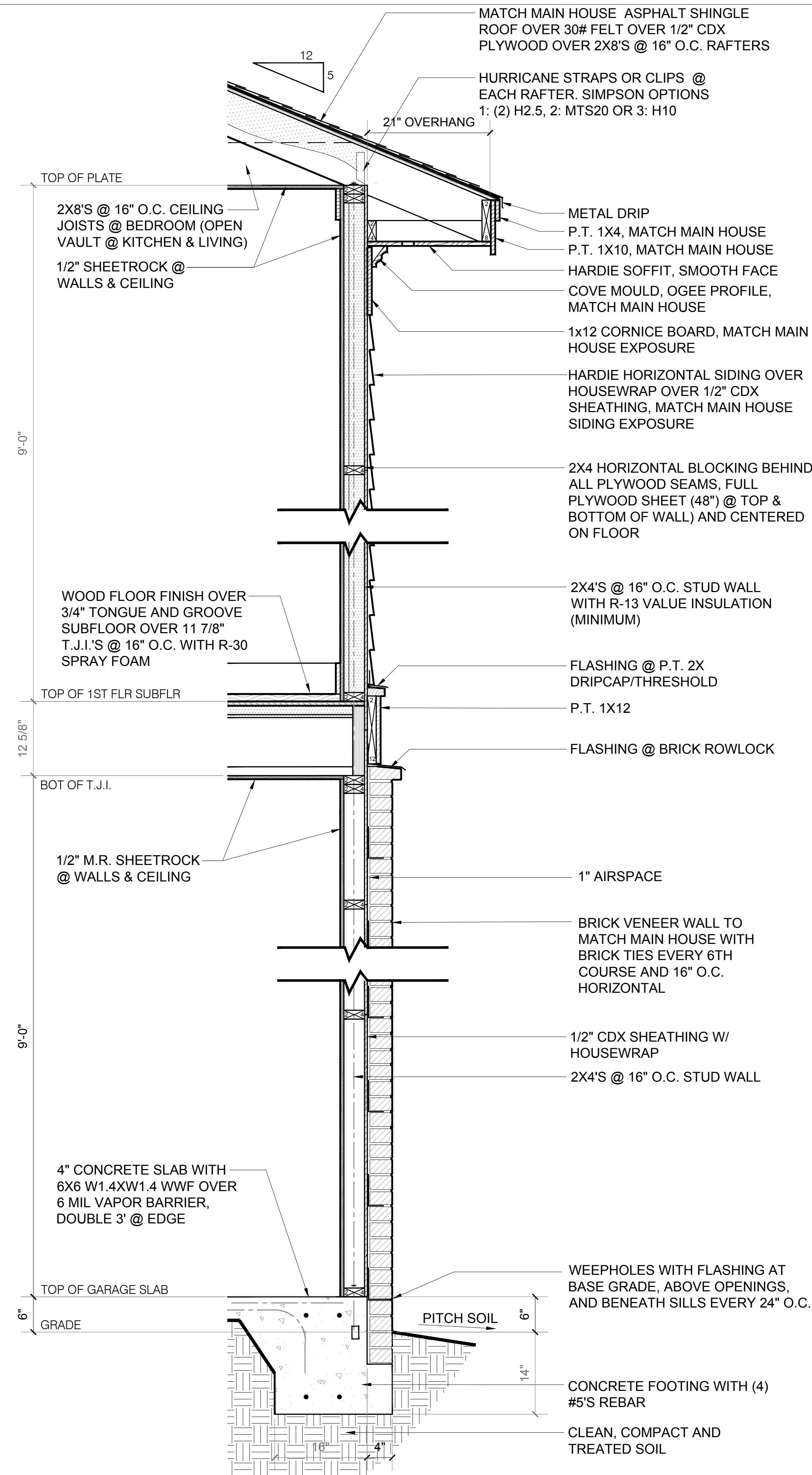


C  
A4 EAST ELEVATION  
SCALE: 1/4"=1'-0"

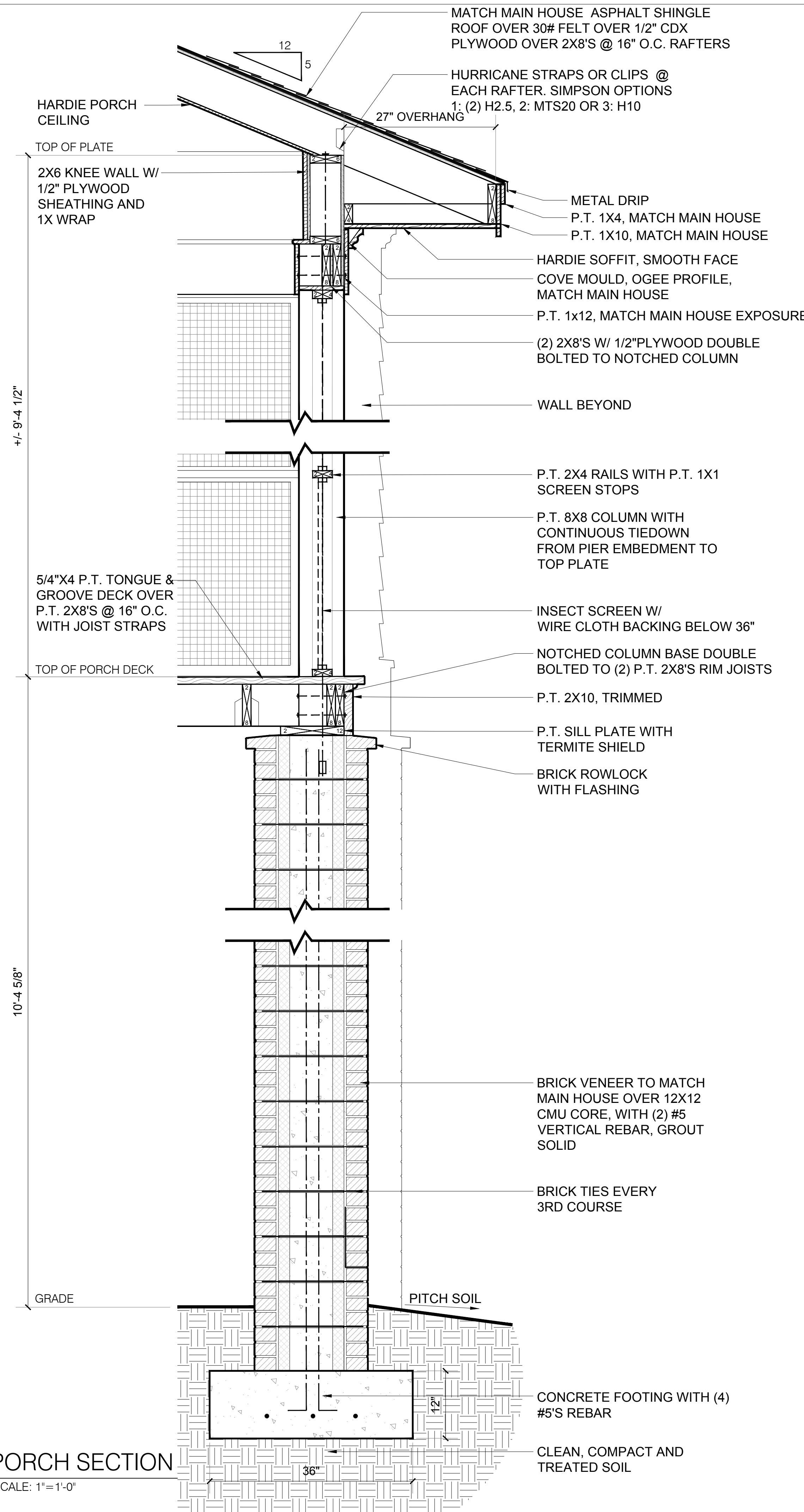


D  
A4 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

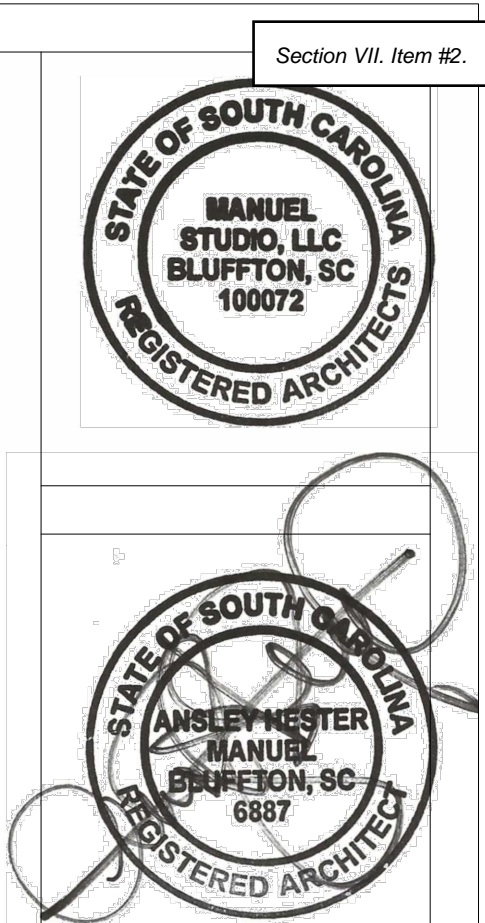




**A** TYP. WALL SECTIONS  
**A5** SCALE: 1"=1'-0"



**B** PORCH SECTION  
**A5** SCALE: 1"=1'-0"



DATE :  
8/12/24

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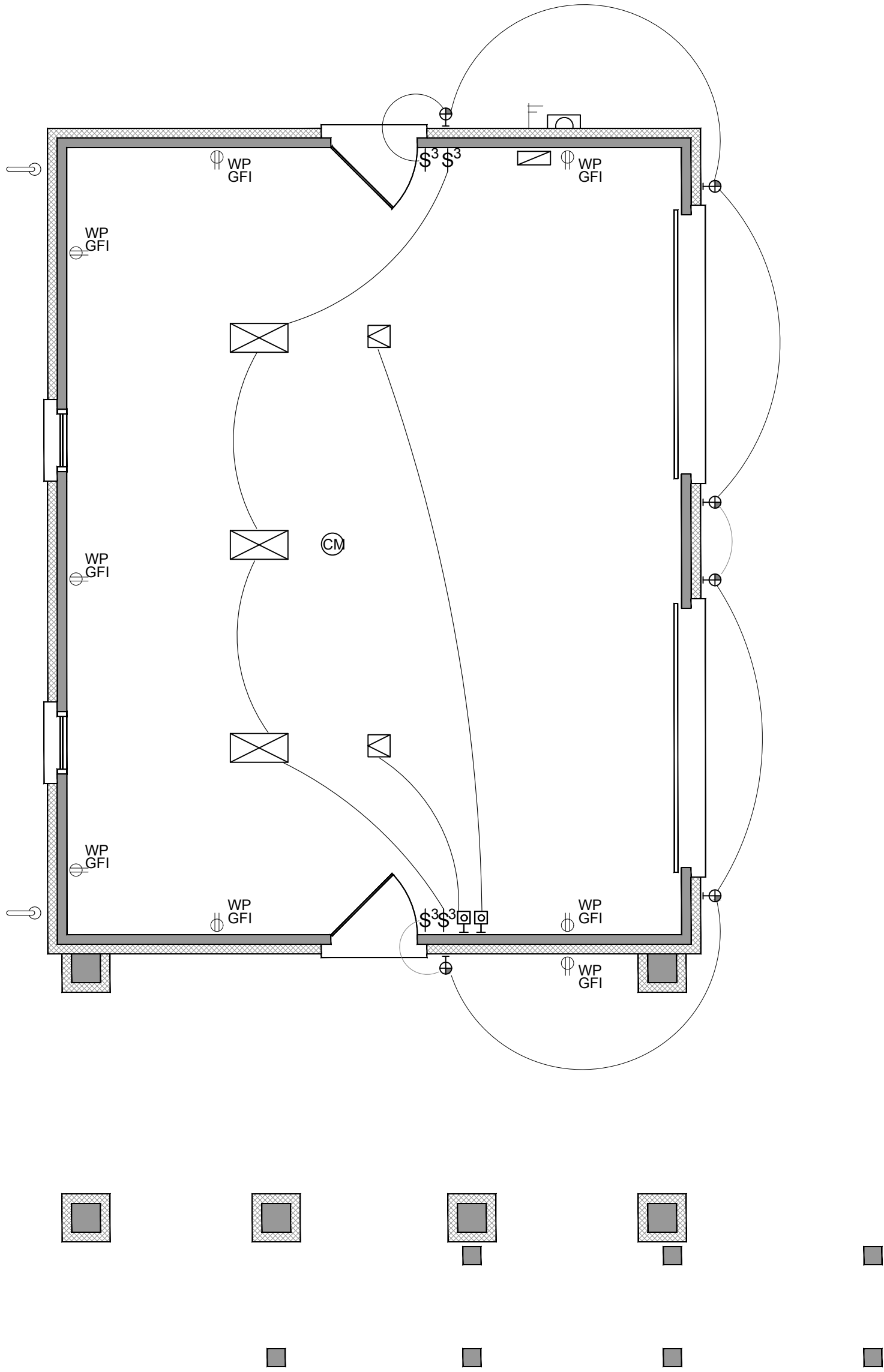
CARRIAGE HOUSE FOR  
**CARL AND LYNDA STRONG**  
128 BRIDGE STREET  
BLUFFTON, SC 29910

**WALL & PORCH SECTIONS**

SHEET  
**A5**

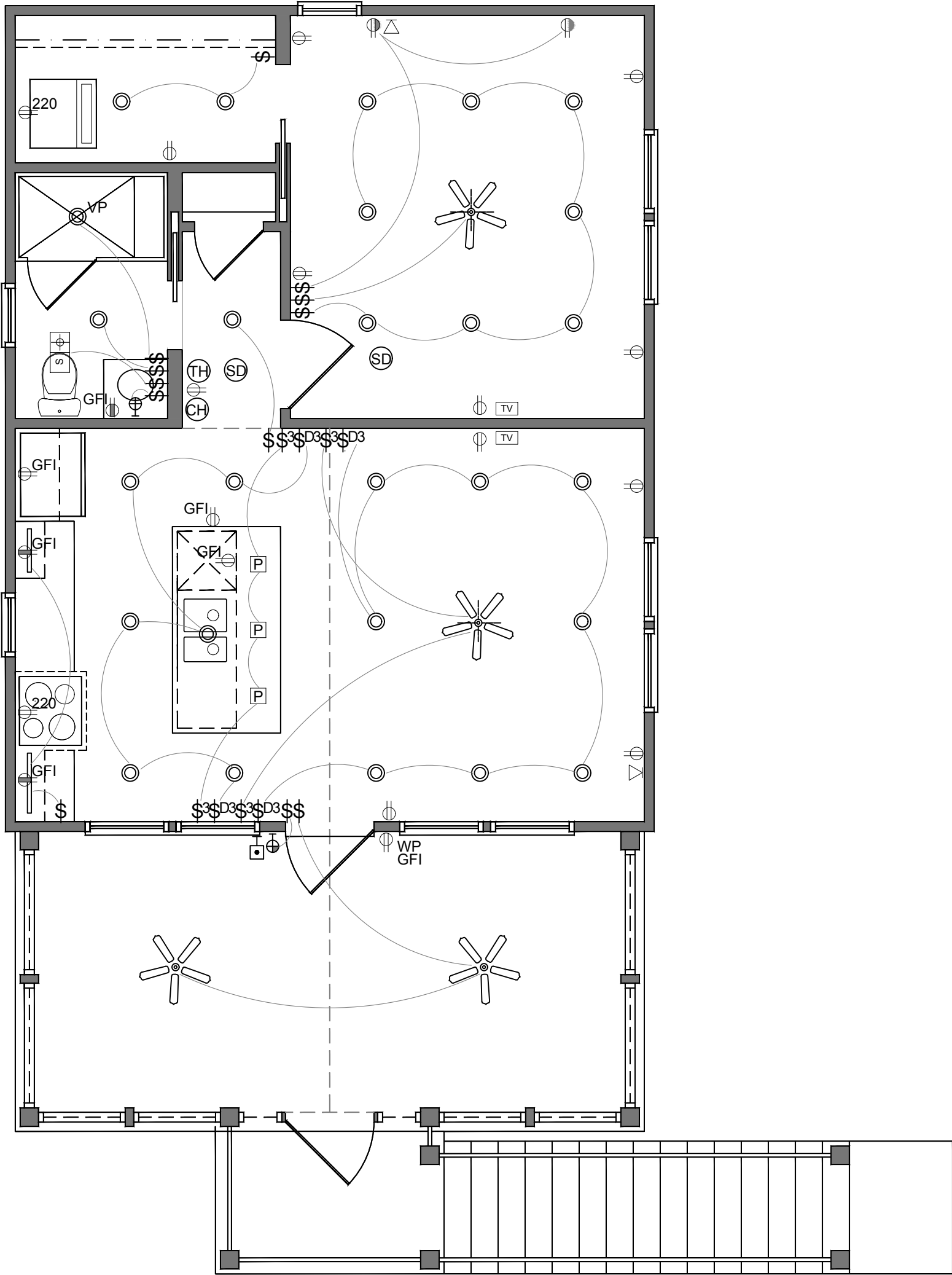


ELECTRICAL LEGEND	
	ELECTRICAL OUTLET
	220 VOLT
	42" GROUND FAULT INTERRUPT
	WATERSEAL GROUND FAULT INTERRUPT
	HALF SWITCH
	FLOOR OUTLET
	TELEPHONE JACK
	LIGHT SWITCH
	3-WAY LIGHT SWITCH
	4-WAY LIGHT SWITCH
	FLUORESCENT
	TAPE LIGHT
	THERMOSTAT
	SMOKE DETECTOR
	SECURITY SYSTEM PANEL
	CHIME
	CARBON MONOXIDE DETECTOR
	DOOR BELL
	TELEVISION CABLE
	OUTDOOR WALL SCONCE
	INDOOR WALL SCONCE
	RECESSED CAN LIGHT
	VAPOR SEALED RECESSED CAN LIGHT
	LHF LIGHT/HEAT/FAN RECESSED CAN LIGHT
	DIRECTIONAL RECESSED CAN LIGHT
	CHANDELIER
	PENDANT LIGHT
	JUNCTION BOX
	CLG FAN/LIGHT
	CLG FAN
	HOSE BIBB
	LIGHT/EXHAUST FAN RECESSED
	RECESSED EXHAUST FAN
	PANEL
	METER
	DISCONNECT
	STEP LIGHTS



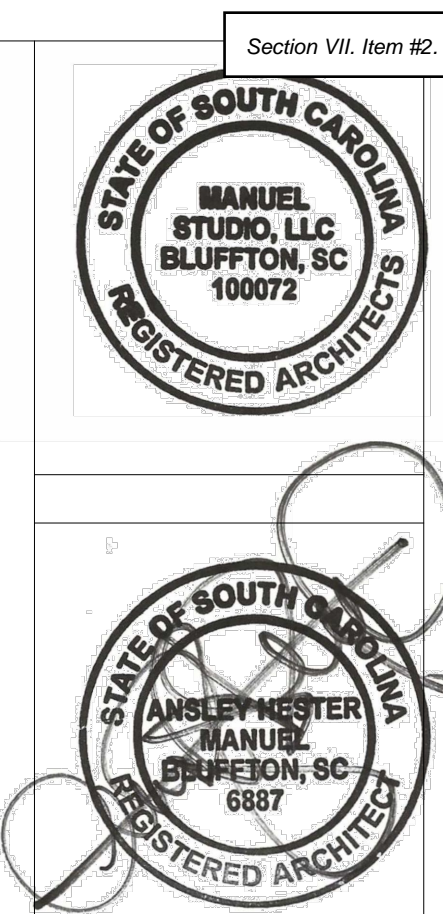
A  
A6

GROUND ELECTRICAL FLOOR PLAN  
SCALE: 1/4"=1'-0"



B  
A6

FIRST ELECTRICAL FLOOR PLAN  
SCALE: 1/4"=1'-0"



DATE :  
8/12/24

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CARRIAGE HOUSE FOR  
CARL AND LYNDA STRONG  
128 BRIDGE STREET  
BLUFFTON, SC 29910

ELECTRICAL FLOOR PLANS

SHEET

A6



ATTACHMENT 5  
PLAN REVIEW COMMENTS FOR COFA-05-24-019123

Section VII. Item #2.

Town of Bluffton  
Department of Growth Management  
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910  
Telephone 843-706-4522  
OLD TOWN

Plan Type:	Historic District	Apply Date:	05/09/2024
Plan Status:	Active	Plan Address:	128 Bridge St Street BLUFFTON, SC 29910
Case Manager:	Katie Peterson	Plan PIN #:	R610 039 00A 0222 0000
Plan Description:	A request by Ansley H Manuel, Architect, on behalf of the Owner Lynda Lee Gooze Strong, for review of a Certificate of Appropriateness - HD to construct a new 2-story Carriage House at 128 Bridge Street, in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. Status: Application is being reviewed and will be heard at the 6/3/2024 HPRC meeting.		

Staff Review (HD)

Submission #: 1      Received: 05/09/2024      Completed: 05/31/2024

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	05/31/2024	Katie Peterson	Approved with Conditions
<b>Comments:</b> 1. At time of final all typical sections and details, including sections through the wall and eve, porch showing the screen, corner, water table, windows and doors etc. (Application Manual) 2. Application identifies the Carriage House as 1,374 SF. Carriage House may not exceed 1,200 SF. Based on the drawings provided, it appears this may be in error. Clarify enclosed space, and if exceeding 1,200 SF, revise. (UDO 5.15.8.F.) 3. Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c"). Porch column spacing on second are further apart than they are tall on the side and front elevations. Revise column spacing to meet this requirement. (UDO 5.15.6.H.)			
Watershed Management Review	05/23/2024	Samantha Crotty	Approved with Conditions
<b>Comments:</b> Comments may be provided at time of stormwater permit review/building permit submittal.			
Beaufort Jasper Water and Sewer Review	05/28/2024	Matthew Michaels	Approved
<b>Comments:</b> 1. No Comment.			
HPRC Review	05/31/2024	Katie Peterson	Approved
<b>Comments:</b> 1. At time of final provide additional information about the proposed brick. Brick, as a wall material, is permitted when locally produced, or recycled/reclaimed. (UDO 5.15.5.G)			
Transportation Department Review - HD	05/10/2024	Megan James	Approved
<b>Comments:</b> No comments			

Plan Review Case Notes:

# HISTORIC PRESERVATION COMMISSION



## STAFF REPORT

### Department of Growth Management

<b>MEETING DATE:</b>	October 2, 2024
<b>PROJECT:</b>	COFA-04-23-017854 5783 Yaupon Place, Lot 38 (Stock Farm) New Single-family Residential Structure and Carriage House
<b>APPLICANT:</b>	Southern Coastal Homes
<b>PROPERTY OWNERS:</b>	Nathalie and Andrew Hintz
<b>PROJECT MANAGER:</b>	Charlotte Moore, AICP, Principal Planner

**APPLICATION REQUEST:** The Applicant requests that the Historic Preservation Commission approve the following:

A Certificate of Appropriateness-HD (COFA-HD) to allow the construction of a new one-story Single-family Residential Structure of approximately 1,818 square feet and Carriage House of approximately 1,165 square feet. The property is zoned Neighborhood General-HD (NG-HD).

**INTRODUCTION:** The Applicant is proposing the construction of a one-story single family residential structure of approximately 1,818 SF and Carriage House of approximately 1,165 SF in Old Town Bluffton Historic District.

The proposed primary building is a one-story structure featuring a side facing gable roof, with a full façade first-floor porch under a shed roof that wraps the right side over an enclosed addition. The structure has a large rear addition under a gable roof and a shed roofed gable on the front elevation. The structure combines characteristics of several building types, and therefore, is reviewed as an Additional Building Type in accordance with the allowable building types for the NG-HD zoning district.

A Carriage House is also proposed that meets the design standards for a Carriage House Building Type. It features a side gable roof, with shed dormers on the front and rear elevation. Both structures feature horizontal Hardi siding, asphalt architectural shingle roofs and share architectural detailing.

This project was presented to the Historic Preservation Review Committee (HPRC) for conceptual review at the June 10, 2024 meeting. HPRC comments were shared with the Application, which the Applicant has addressed (Attachment 4).

**REVIEW CRITERIA & ANALYSIS:** In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure development consistency without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

**1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**

- a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed buildings have been designed to be sympathetic to the architectural character of the neighboring structures and will enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards.
- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structures both contribute to the district as well as help provide completeness to the neighborhood and overall district.

**2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed changes will be in conformance with applicable provisions provided in Article 5:
- b. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General-



Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.

- c. *Finding.* Town Staff finds that if the conditions noted below are met, the proposal will be in conformance with applicable provisions provided in Article 5:

- 1) **Replacement of Protected Trees** (Sec. 5.3.3.): A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing trees to be saved together with the mature canopy of proposed replacement trees. The canopy coverage percentage must be provided. A Tree Removal Permit will be required.

3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

*Finding.* Town Staff finds the nature and character of the new construction to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structures are appropriate for their location and the architectural detailing,

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.**

*Finding.* The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. The proposed plans are sympathetic in design to the neighboring structures. Therefore, the structures will have no adverse effect on the public interest.

5. **Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

*Finding.* As there are several trees 14 inches in diameter at breast height or greater proposed for removal, a Tree Removal Permit is required.

**STAFF RECOMMENDATION:** It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance

have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.3.3. provide exhibit showing the canopy coverage calculations for the site based on mature canopy of existing trees to be retained and those to be planted.
2. Per the Applications Manual, a Town of Bluffton Tree Removal Permit is required.

Further, the Historic Preservation Commission must determine that the proposed primary structure, an Additional Building Type, is an appropriate building type.

**HISTORIC PRESERVATION COMMISSION ACTIONS:** As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

**ATTACHMENTS:**

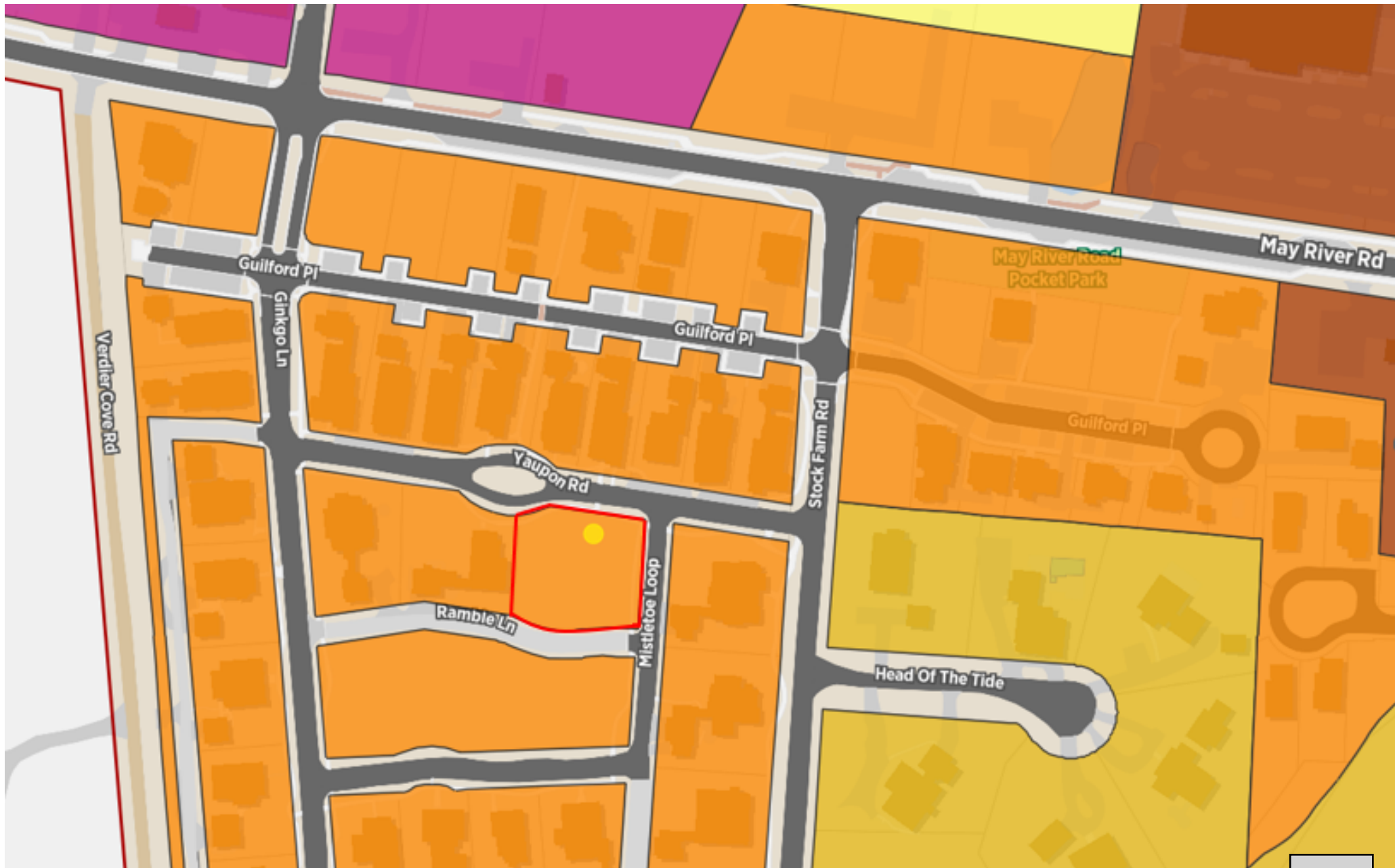
1. Location and Zoning Map
2. Application and Narrative
3. Plans
4. HPRC Report & Applicant Response

# LOCATION & ZONING MAP

## **5783 Yaupon Road**

Neighborhood General -HD District

Section VII. Item #3.





**TOWN OF BLUFFTON  
CERTIFICATE OF APPROPRIATENESS-  
OLD TOWN BLUFFTON  
HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer Service Center  
20 Bridge Street  
Bluffton, SC 29910  
(843)706-4500  
[www.townofbluffton.sc.gov](http://www.townofbluffton.sc.gov)  
[applicationfeedback@townofbluffton.com](mailto:applicationfeedback@townofbluffton.com)

Applicant		Property Owner	
Name: Southern Coastal Homes		Name: Nathalie and Andrew Hintz	
Phone: 843-815-0100		Phone: 703-431-1530 / 703-485-7806	
Mailing Address: 19 Pritchard Street Bluffton, SC 29910		Mailing Address: 7400 Lanham Rd Falls Church, VA 22043	
E-mail: <a href="mailto:bailye@southerncoastalhomes.com">bailye@southerncoastalhomes.com</a>		E-mail: <a href="mailto:ubud01@yahoo.com">ubud01@yahoo.com</a>	
Town Business License # (if applicable): 02-24-052838			
<b>Project Information</b> (tax map info available at <a href="http://www.townofbluffton.us/map/">http://www.townofbluffton.us/map/</a> )			
Project Name: Hintz Project		Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>
Project Address: 5783 Yaupon Rd		Application for:	
Zoning District: HD		<input checked="" type="checkbox"/> New Construction	
Acreage: .39		<input type="checkbox"/> Renovation/Rehabilitation/Addition	
Tax Map Number(s): R61003900015150000		<input type="checkbox"/> Relocation	
Project Description: New Residential Build			
<b>Minimum Requirements for Submittal</b>			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
<b>Note:</b> A Pre-Application Meeting is required prior to Application submittal.			
<b>Disclaimer:</b> The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>[Signature]</i>		Date: 09/05/2024	
Applicant Signature: <i>[Signature]</i>		Date: 9/10/24	
		For Office Use	
Application Number:		Date Received:	
Received By:		Date Approved:	





# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #3.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

<b>1. DESIGN REVIEW PHASE</b>		<b>CONCEPTUAL REVIEW</b> <input type="checkbox"/>		<b>FINAL REVIEW</b> <input checked="" type="checkbox"/>	
<b>2. SITE DATA</b>					
Identification of Proposed Building Type (as defined in Article 5): Vernacular home with detached carriage house					
Building Setbacks	Front: 19" 2'	Rear:	Rt. Side: 10	Lt. Side:	
<b>3. BUILDING DATA</b>					
<b>Building</b>	<b>Description</b> (Main House, Garage, Carriage House, etc.)	<b>Existing Square Footage</b>		<b>Proposed Square Footage</b>	
Main Structure	Main house			1818SF	
Ancillary	Carriage house/garage			1164SF	
Ancillary	Porches of main house			563SF	
<b>4. SITE COVERAGE</b>					
<b>Impervious Coverage</b>			<b>Coverage (SF)</b>		
Building Footprint(s)			3118 SF		
Impervious Drive, Walks & Paths			1965SF		
Open/Covered Patios			included in house footprint SF		
<b>A. TOTAL IMPERVIOUS COVERAGE</b>			5083		
<b>B. TOTAL SF OF LOT</b>			16828		
<b>% COVERAGE OF LOT (A/B= %)</b>			30%		
<b>5. BUILDING MATERIALS</b>					
<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>	<b>Building Element</b>	<b>Materials, Dimensions, and Operation</b>		
Foundation	Tabby	Columns	Wood with Hardie trim		
Walls	Wood	Windows	Vinyl		
Roof	Asphalt	Doors	Wood		
Chimney	Steel with Tabby on top	Shutters	Wood		
Trim	Hardie	Skirting/Underpinning	Hardie Skirt boards		
Water table	Hardie	Cornice, Soffit, Frieze	Smooth Hardie		
Corner board	Hardie	Gutters	N/A		
Railings	Wood	Garage Doors	Steel		
Balusters	Wood	Green/Recycled Materials	<b>N/A</b>		
Handrails	Wood				



# TOWN OF BLUFFTON

## CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #3.

**Note:** Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION:</b> A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	<b>PROPERTY OWNER CONSENT:</b> If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROJECT NARRATIVE:</b> A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	<b>DEED COVENANTS/RESTRICTIONS:</b> A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	<b>ADDITIONAL APPROVALS:</b> A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	<b>LOCATION MAP:</b> Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PROPERTY SURVEY:</b> Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> <li>• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);</li> <li>• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;</li> <li>• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;</li> <li>• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;</li> <li>• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and</li> <li>• North arrow, graphic scale, and legend identifying all symbology.</li> </ul>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>SITE PLAN:</b> Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> <li>• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);</li> <li>• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;</li> <li>• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and</li> <li>• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.</li> </ul>



**TOWN OF BLUFFTON**  
**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON**  
**HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>PHOTOS:</b> Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
<b>Concept</b>	<b>Final</b>	<b>ARCHITECTURAL INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>CONCEPTUAL ARCHITECTURAL SKETCHES:</b> Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FLOOR/ROOF PLANS:</b> Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ELEVATIONS:</b> Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>ARCHITECTURAL DETAILS:</b> Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>MANUFACTURER'S CUT SHEET/SPECIFICATIONS:</b> Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
<b>Concept</b>	<b>Final</b>	<b>LANDSCAPE INFORMATION.</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>TREE REMOVAL PLAN:</b> A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>LANDSCAPE PLAN:</b> Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
<b>Concept</b>	<b>Final</b>	<b>ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).</b>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>FINAL DEVELOPMENT PLAN APPLICATION:</b> A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

**SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL**

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

*Nathalie K. Hintz*  
 Signature of Property Owner or Authorized Agent

09/05/2024  
 Date

NATHALIE K. HINTZ ANDREW T. HINTZ  
 Printed Name of Property Owner or Authorized Agent

*Scott Middleton*  
 Signature of Applicant

9/10/24  
 Date

Scott Middleton  
 Printed Name of Applicant





## **Project Narrative**

### **Hintz Residence**

Stock Farm

5783 Yaupon Rd | Lot 38

Southern Coastal Homes would like to build a 2,381 square foot home with a detached garage/carriage house for Nathalie and Andrew Hintz. The home will be located at 5783 Yaupon Rd (Lot 38) in Stock Farm.

The Hintz Residence is a traditional Lowcountry house designed by Allison Ramsey Architects. . The architectural design of the home includes elements of the Old Town Bluffton Historic District Unified Development Ordinance. The details for this home, including all construction materials, are included in the application.


The heated area of the 1<sup>st</sup> floor of the main home is 1818 sq. ft. with a 134 sq. ft. screened porch and 429 sq. ft. covered porch. The garage has a lowed non heated area of 630 sq. ft. and includes an upper heated area of 535 sq. ft.

The entire home site will be fully landscaped with native and regionally appropriate plant species.



## SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY  
2860 = 2'-8" WIDE x 6'-0" HIGH

DRAWING NUMBER  = SECTION OR ELEVATION

A diagram of a kitchen ceiling layout. The word "KITCHEN" is written in a large, bold, sans-serif font. Below it, the text "10' CLG." and "WOOD" are written in a smaller, bold, sans-serif font. The diagram includes several labels with lines pointing to specific parts: "SHEET NUMBER" points to the top left corner; "ROOM TITLE" points to the word "KITCHEN"; "CEILING HEIGHT" points to the text "10' CLG."; and "FLOOR FINISH" points to the word "WOOD".

**1 DRAWING TITLE**

DETAIL OR ELEVATION NUMBER






























14.00'

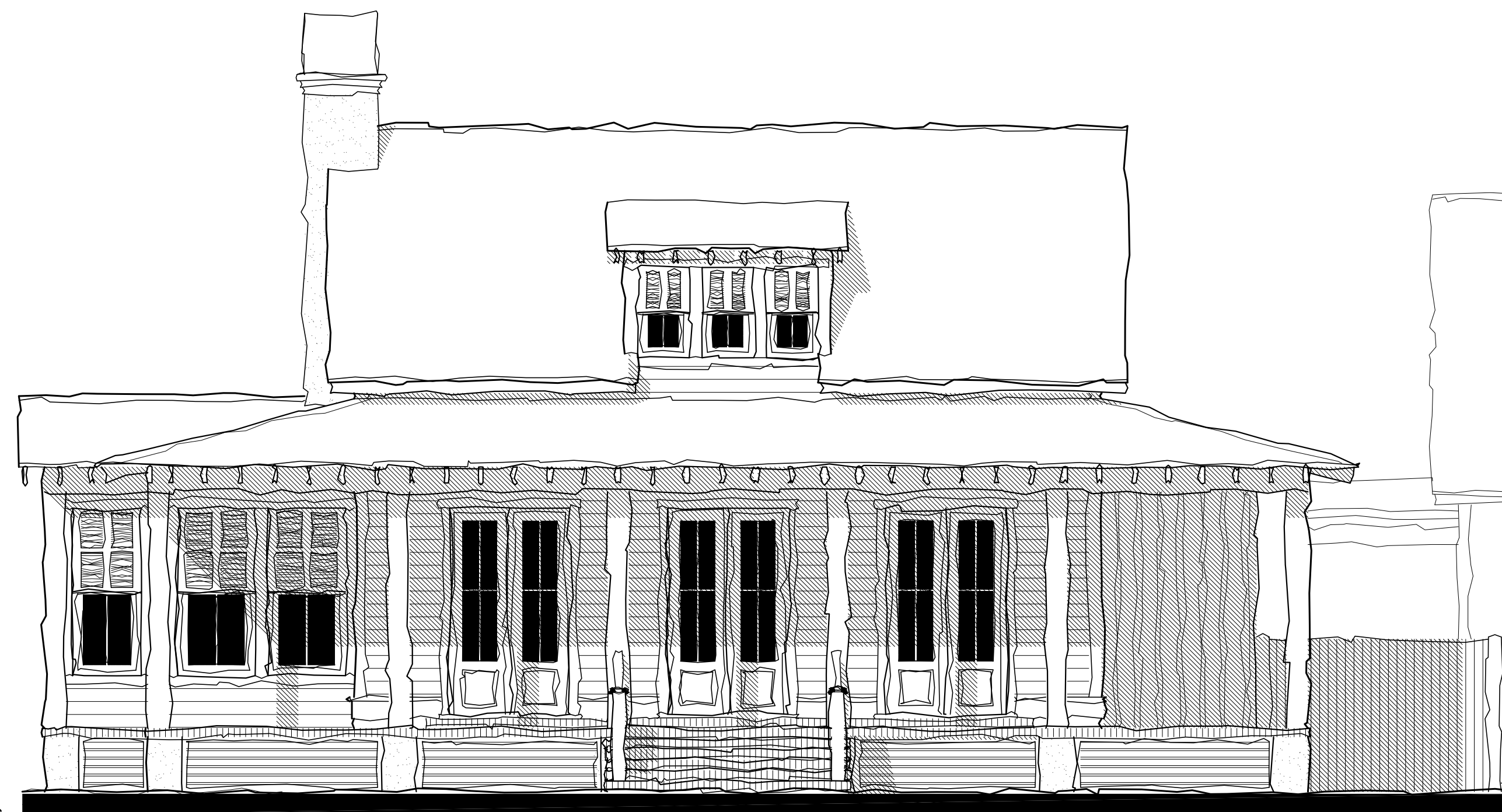
ELEVATION ABOVE SEA LEVEL

REVISION NUMBER

REVISION CLOUD

PLAN REFERENCE NORTH

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



## CONCEPTUAL RENDERING

## DRAWING INDEX

- |    |                                 |
|----|---------------------------------|
| 0  | COVER SHEET                     |
| 5  | SITE PLAN                       |
| 1  | FOUNDATION/ ROOF PLANS          |
| 2  | FIRST FLOOR PLAN                |
| 3  | ELEVATIONS                      |
| 4  | ELEVATIONS                      |
| 5  | WALL SECTIONS/ DETAILS          |
| 6  | ELECTRICAL LAYOUT               |
| G1 | GARAGE PLANS                    |
| G2 | GARAGE ELEVATIONS/ WALL SECTION |
| SP | SPECIFICATION SHEETS (SEPARATE) |

## GENERAL INFO.

### HOUSE AREA CALCULATIONS

FIRST FLOOR HEATED = 1818 S.F.      SCREENED PORCH = 134 S.F.  
COVERED PORCH = 429 S.F.

### GARAGE AREA CALCULATIONS

GARAGE = 630 S.F.  
HEATED SECOND FLOOR = 534 S.F.

# HINTZ RESIDENCE

LOT 38, STOCK FARM SUBDIVISION, BLUFFTON, SOUTH CAROLINA

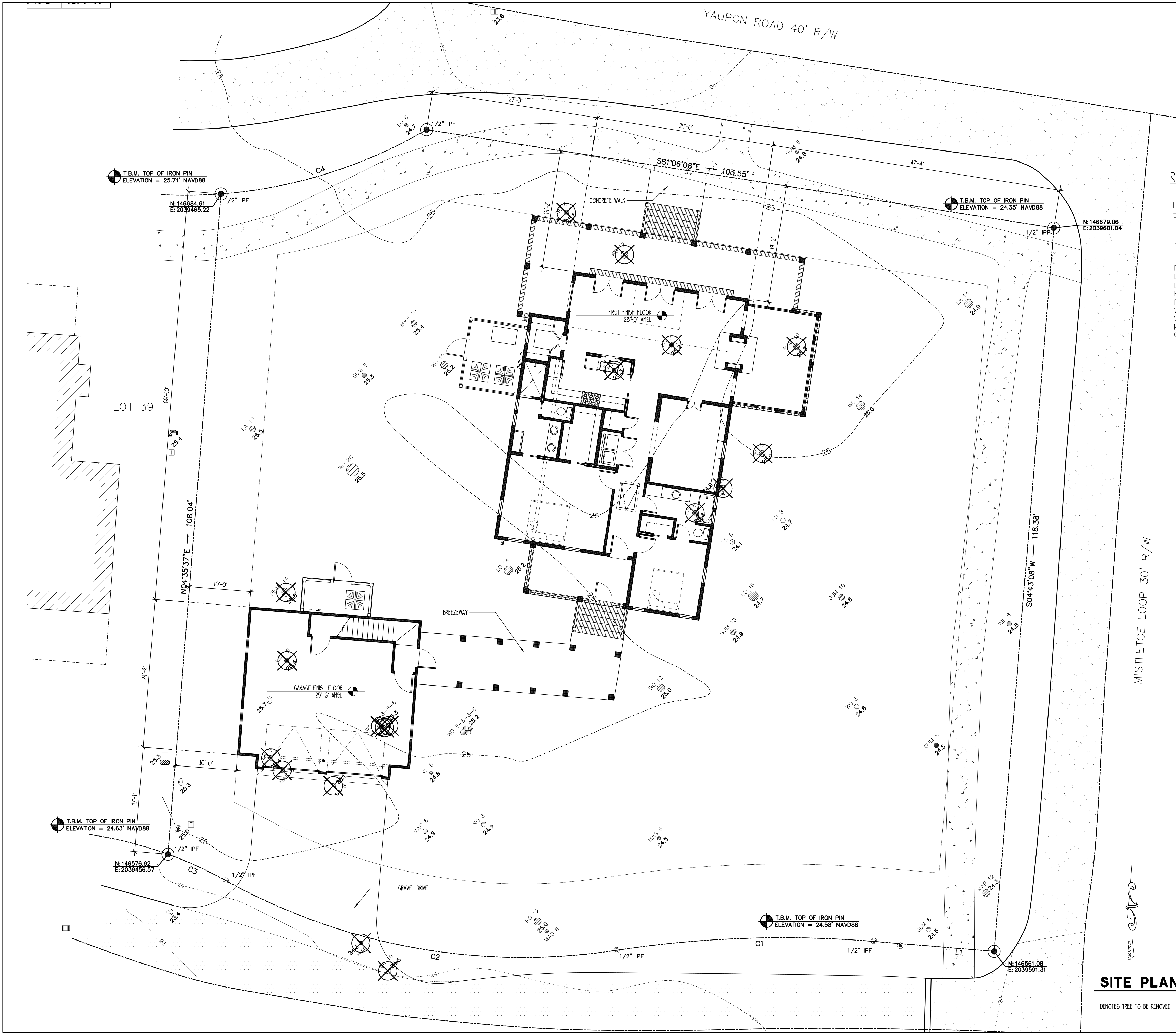
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DATE:	8/20/2024
JOB NO.	23374
DOWN, BY:	JW
DWG. NAME:	23374.DWG

0

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1003 Charles St.  
Beaufort SC, 29902  
(843) 984-0559  
[www.allisonramsey.com](http://www.allisonramsey.com)

THIS PLAN HAS BEEN PREPARED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES ESTABLISHED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS. BUILDING CODES AND ENVIRONMENTAL CONDITIONS MAY, FOR DIFFERENT LOCATIONS, BE THE REQUIREMENT OF THE PRESENCE OF THE FOLLOWING LOCATIONS. THEREFORE, BEFORE BEGINNING CONSTRUCTION, ALWAYS CONSULT REGULATORY AGENCIES TO DETERMINE IF ANY CODES CONTRADICT FROM THIS PLAN.



REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

- LEGEND & SYMBOLS:
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
  - CONTOUR
  - 1/2" IPF
  - TBM
  - FFE
  - LO
  - LA
  - MAG
  - RO
  - WIL
  - WO
  - MAP
  - GUM
  - ELECTRIC SERVICE
  - TELEPHONE SERVICE
  - WATER METER
  - IRRIGATION CONTROL VALVE
  - SANITARY MANHOLE
  - PIPELINE MARKER
  - CATCH BASIN
  - CLEANOUT
  - WELL PUMP

REFERENCE PLAT

- 1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000, & TMS R610 039 000 0291 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 4/30/08  
RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08  
ROD: BEAUFORT COUNTY, SC  
BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 Sq. Ft.  
ADDRESS: 5783 YAUPON ROAD  
DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 31, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

REFERENCE PLAT: BOUNDARY, TREE AND TOPOGRAPHICAL SURVEY LOT 38, STOCK FARM SUBDIVISION BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: ANDREW + NATHALIE HINTZ  
PREPARED BY: SEA ISLAND LAND SURVEY, INC.  
10 OAK PARK DRIVE, UNIT C1  
HILTON HEAD ISLAND, SOUTH CAROLINA  
8/22/2023 AS JOB # 23161

- NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION
- NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER
- NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION
- SCALE: 1/8" = 1'-0"

SITE PLAN

INDICATES TREE TO BE REMOVED

HINTZ RESIDENCE  
LOT 38, STOCK FARM SUBDIVISION  
BLUFFTON, SOUTH CAROLINA

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DRAWN BY:	JW
DATE:	23374/JW

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# HINTZ RESIDENCE

LOT 38, STOCK FARM SUBDIVISION  
BLUFFTON, SOUTH CAROLINA

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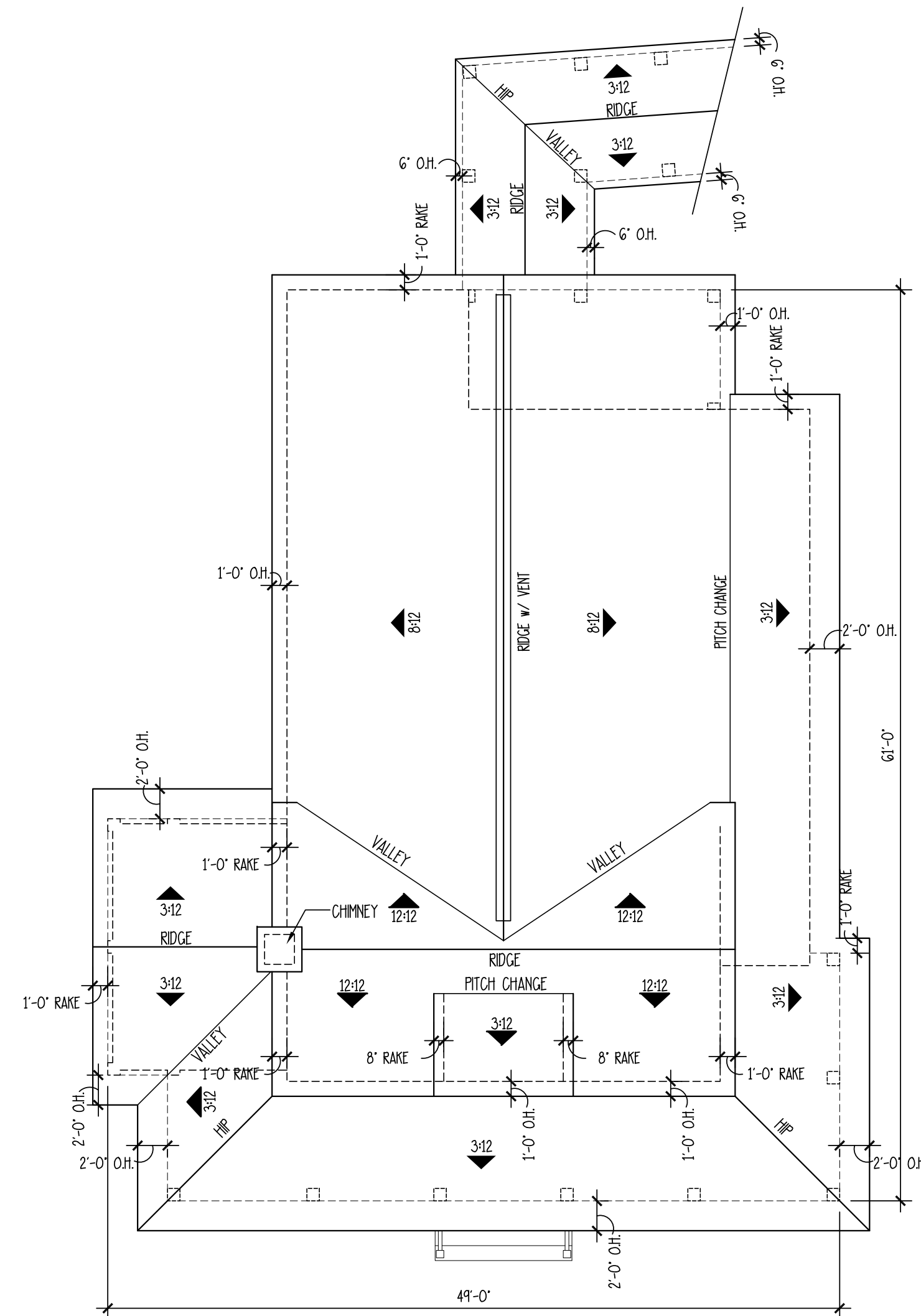
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DATE:	8/20/2024
JOB NO.:	23374
OWNER:	JW
DATE:	23374.DWG

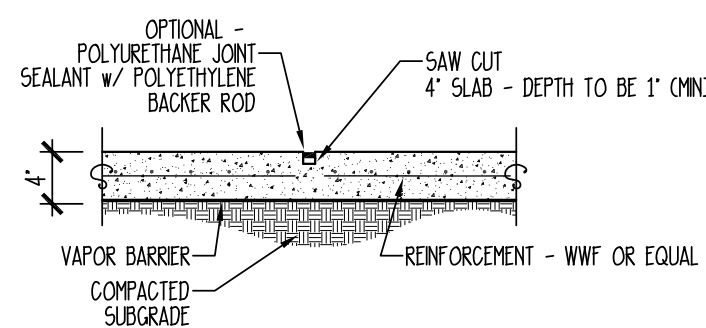
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## ROOF PLAN

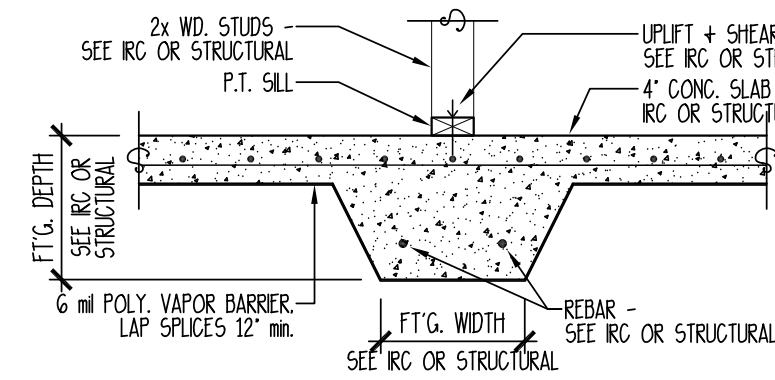
SCALE: 1/8" = 1'-0"

- \*NOTE:
- ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE. • REAR OR SIDES OF HOUSE AS POSSIBLE.
  - ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM (COMBINED WHEN POSSIBLE).
  - ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
  - TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
  - METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
  - METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT



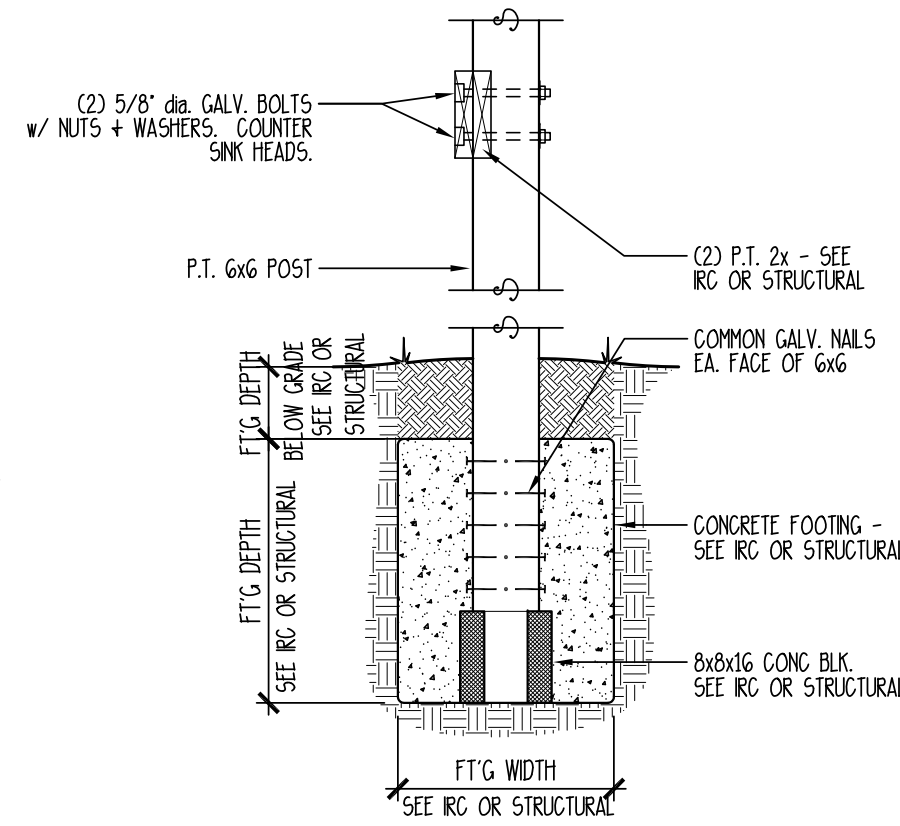
## CONTROL JOINT DETAIL

SCALE: 3/4" = 1'-0"



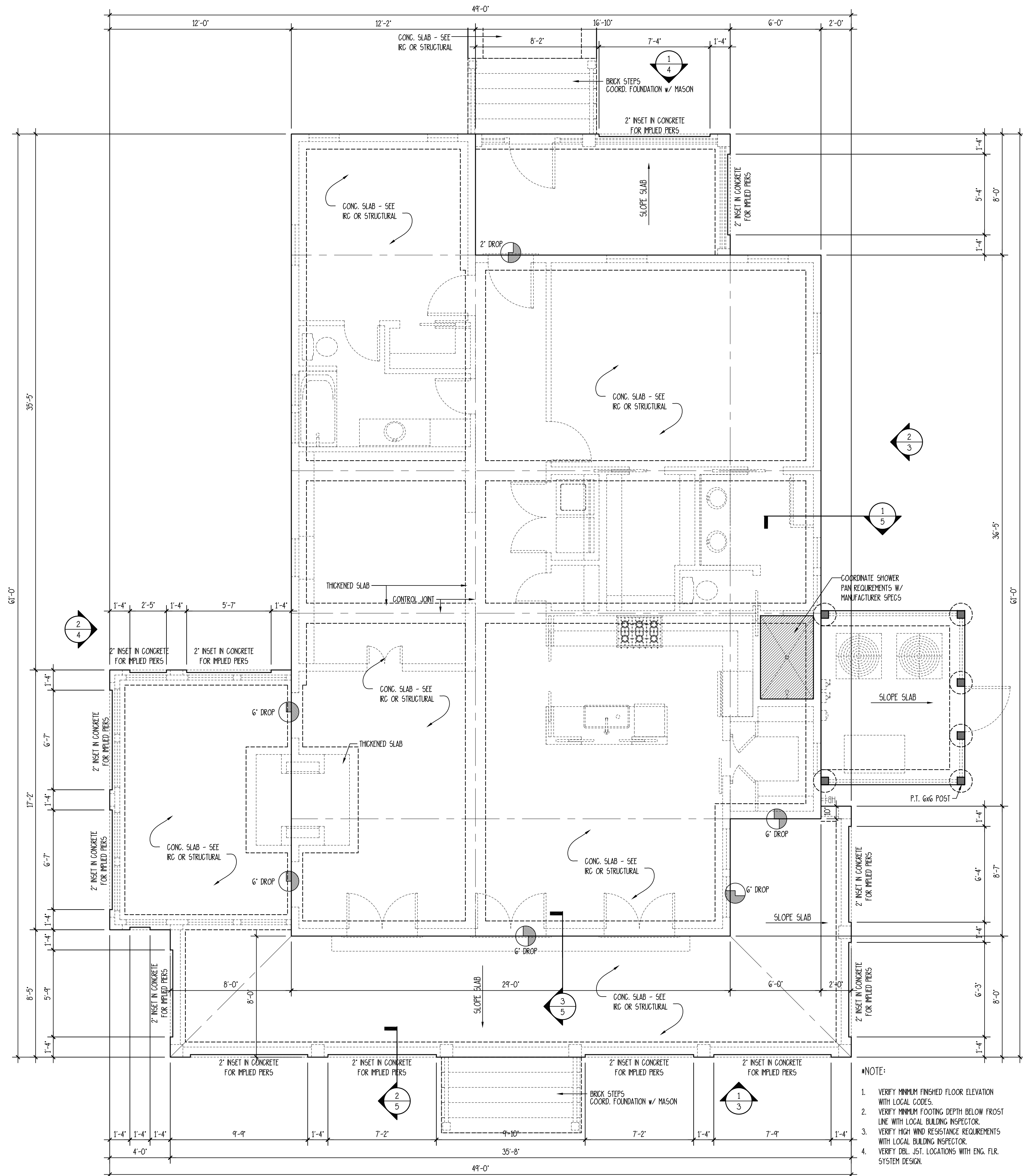
## THICKENED SLAB DETAIL

NOT TO SCALE



## 6x6 POST DETAIL

SCALE: 3/4" = 1'-0"



## FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

\*NOTE:

- VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
- VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
- VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
- VERIFY DBL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN.

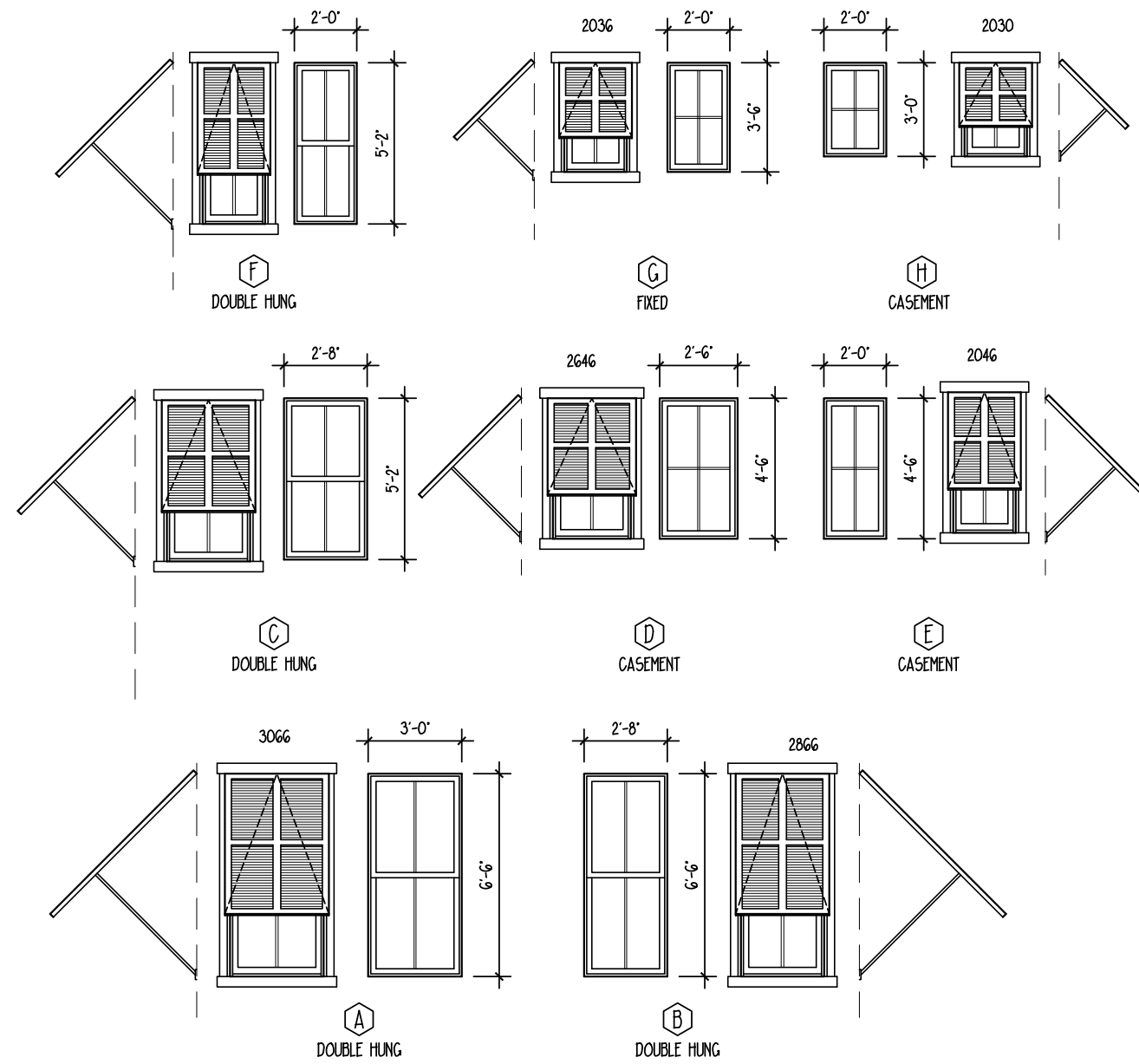


NOTE: ALL WINDOWS + EXTERIOR DOORS TO BE ALUMINUM GLAD

WINDOW SCHEDULE

NO.	SIZE	QTY.	DESCRIPTION
A	3'-0" X 6'-6"	7	WNL DOUBLE HUNG
B	2'-8" X 6'-6"	8	WNL DOUBLE HUNG
C	2'-8" X 5'-2"	4	WNL DOUBLE HUNG
D	2'-6" X 4'-6"	8	WNL CASEMENT
E	2'-0" X 4'-6"	2	WNL CASEMENT
F	2'-0" X 5'-2"	2	WNL DOUBLE HUNG
G	2'-0" X 3'-6"	3	WNL FIXED
H	2'-0" X 3'-0"	5	WNL CASEMENT

NOTE: QUANTITY OF DOORS AND WINDOWS, SIZES, TYPES, EGRESS REQUIREMENTS, AND MATERIALS TO BE VERIFIED BY CONTRACTOR. ALLISON RAMSEY ARCHITECTS WILL NOT BE RESPONSIBLE FOR INCORRECT DOORS AND WINDOWS. WINDOW/DOOR SCHEDULE PROVIDED AS A GUIDE AT ASSIST IN DOOR AND WINDOW SELECTION.



1 WINDOW LEGEND

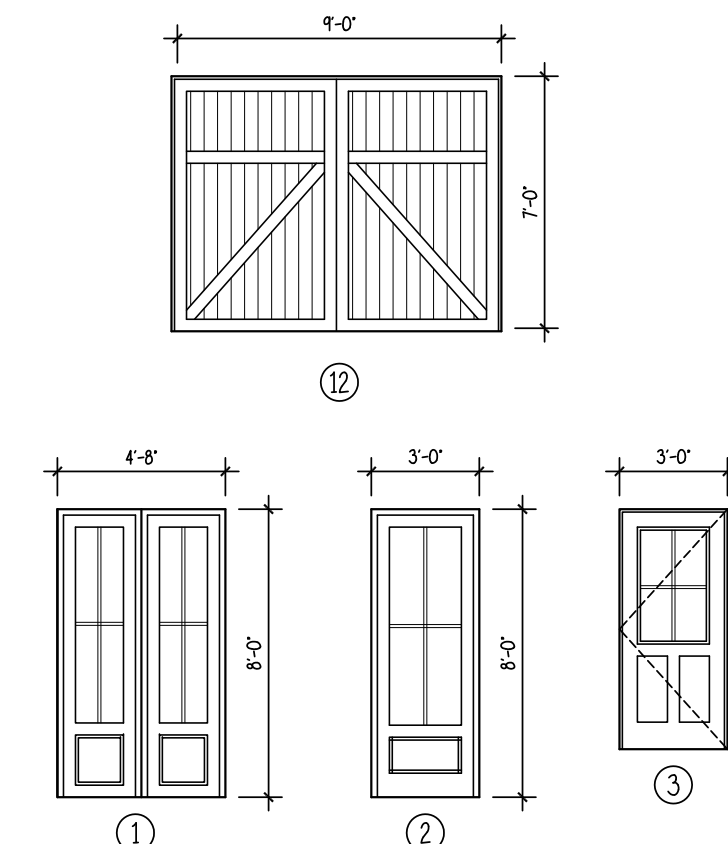
SCALE: 1/4" = 1'-0"

NOTE: ALL WINDOWS + EXTERIOR DOORS TO BE ALUMINUM GLAD

DOOR SCHEDULE

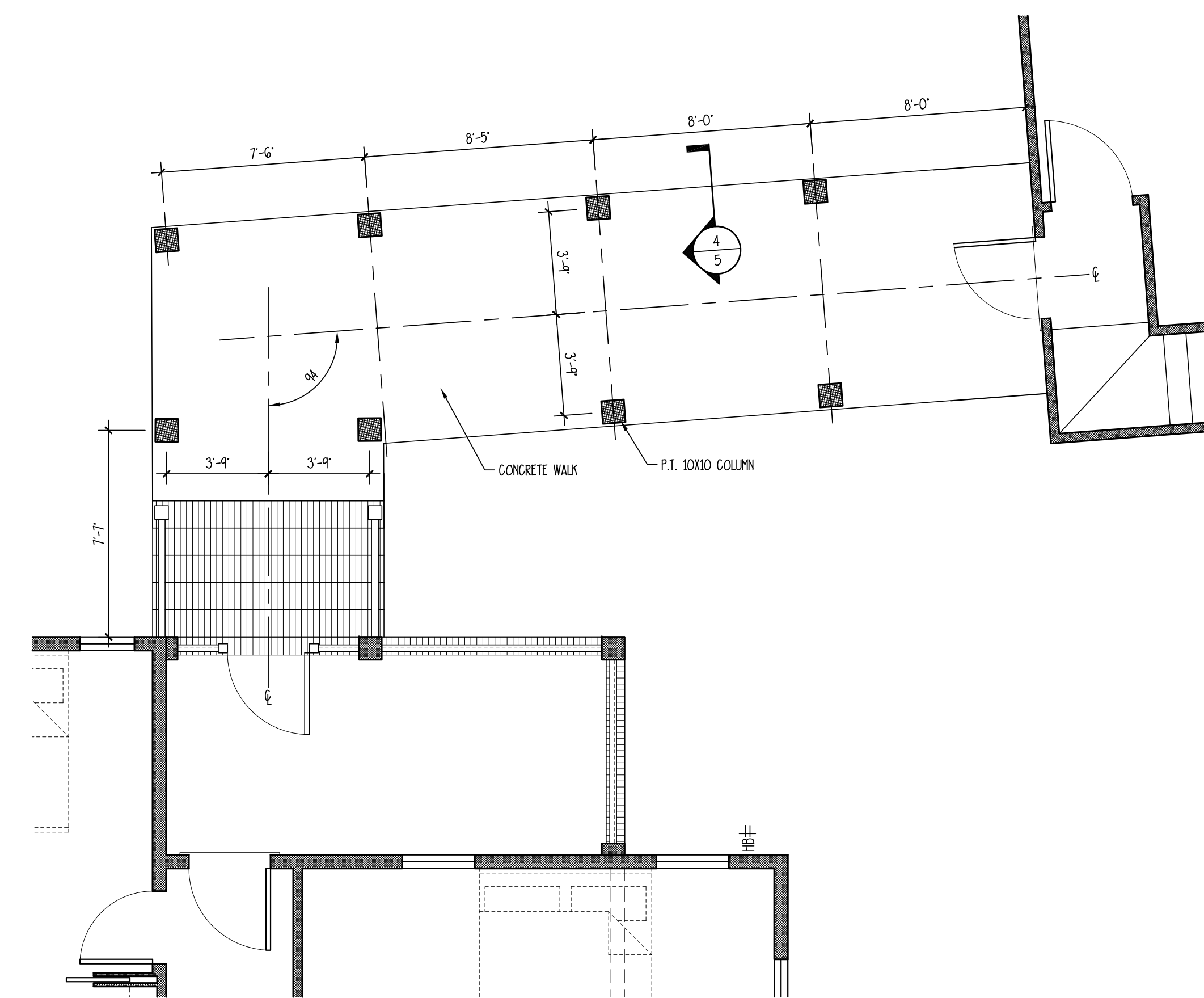
NO.	SIZE	QTY.	DESCRIPTION
1	(2) 2'-4" X 8'-0"	4	WOOD EXTERIOR FRENCH
2	3'-0" X 8'-0"	1	WOOD EXTERIOR 3/4 GLASS
3	3'-0" X 6'-8"	1	STEEL EXTERIOR 1/2 GLASS
4	1'-0" X 7'-8"	1	INTERIOR SPECIAL DOOR BY OWNER
5	2'-4" X 8'-0"	1	INTERIOR SLIDING BARN
6	2'-8" X 8'-0"	2	INTERIOR
7	2'-0" X 8'-0"	1	INTERIOR POCKET
8	2'-4" X 8'-0"	3	INTERIOR
9	2'-4" X 8'-0"	3	INTERIOR POCKET
10	2'-0" X 8'-0"	1	INTERIOR
11	(2) 2'-4" X 8'-0"	1	INTERIOR PAIR
12	3'-0" X 6'-8"	2	INTERIOR
13	9'-0" X 7'-0"	2	STEEL OVERHEAD GARAGE DOOR

NOTE: QUANTITY OF DOORS AND WINDOWS, SIZES, TYPES, EGRESS REQUIREMENTS, AND MATERIALS TO BE VERIFIED BY CONTRACTOR. ALLISON RAMSEY ARCHITECTS WILL NOT BE RESPONSIBLE FOR INCORRECT DOORS AND WINDOWS. WINDOW/DOOR SCHEDULE PROVIDED AS A GUIDE AT ASSIST IN DOOR AND WINDOW SELECTION.



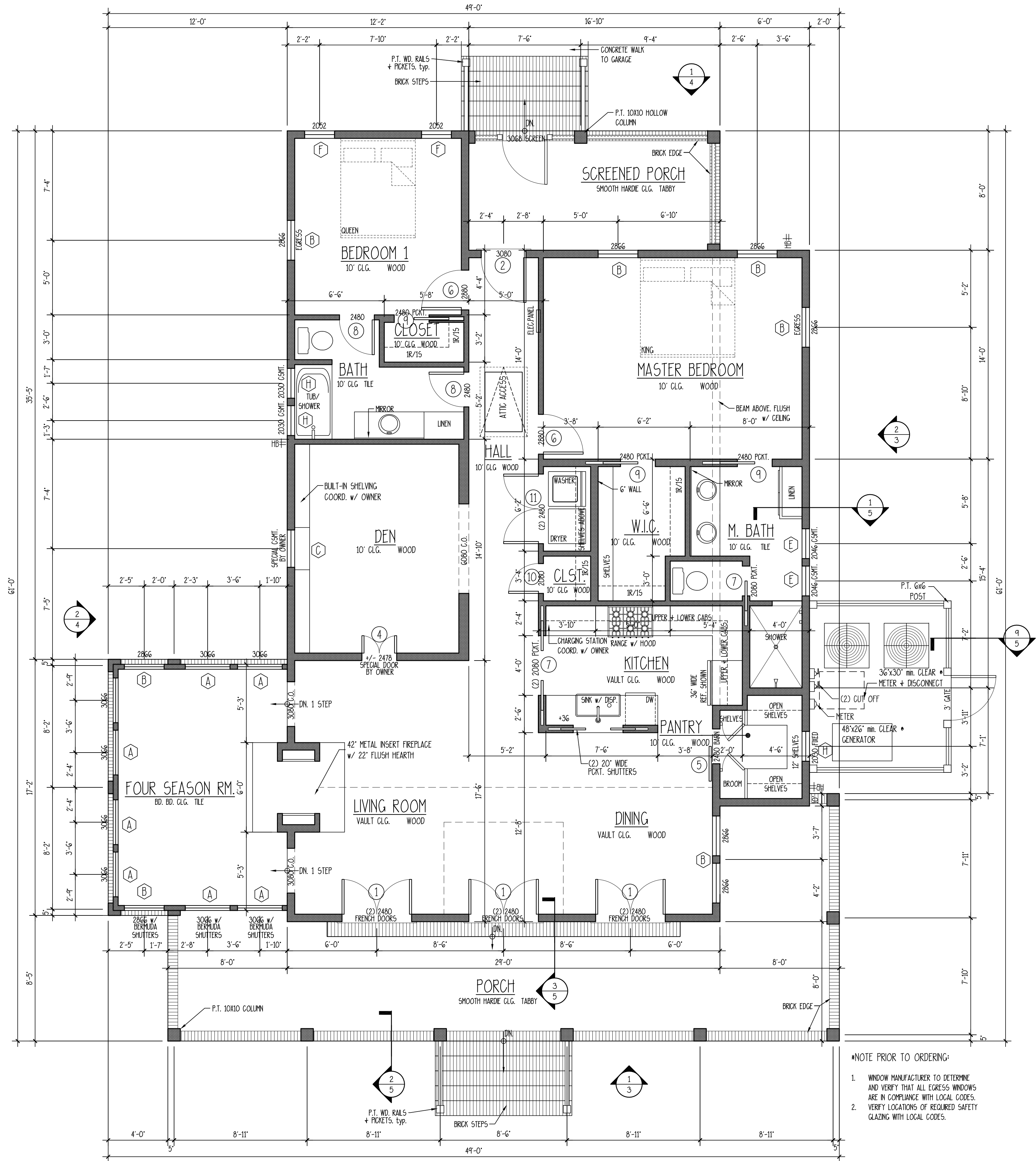
2 DOOR LEGEND

SCALE: 1/4" = 1'-0"



BREEZEWAY PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

\*NOTE PRIOR TO ORDERING:

- WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

HINTZ RESIDENCE  
LOT 38, STOCK FARM SUBDIVISION  
BLUFFTON, SOUTH CAROLINA

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-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.  
-VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS.  
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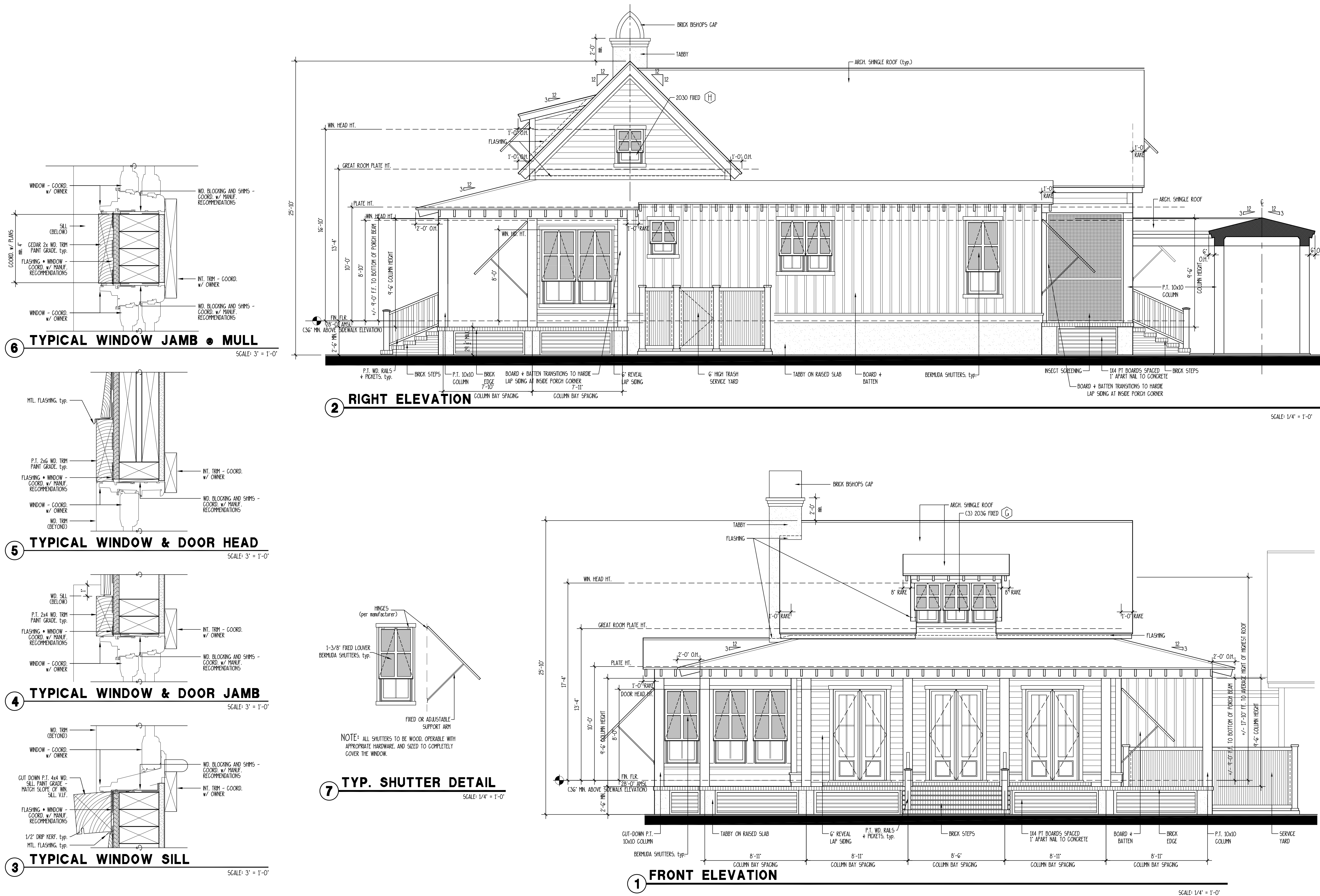
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JOB NO.	23374
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DATE:	2/23/2025

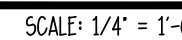
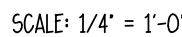
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## 3

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5





SCALE: 1/4" = 1'-0"

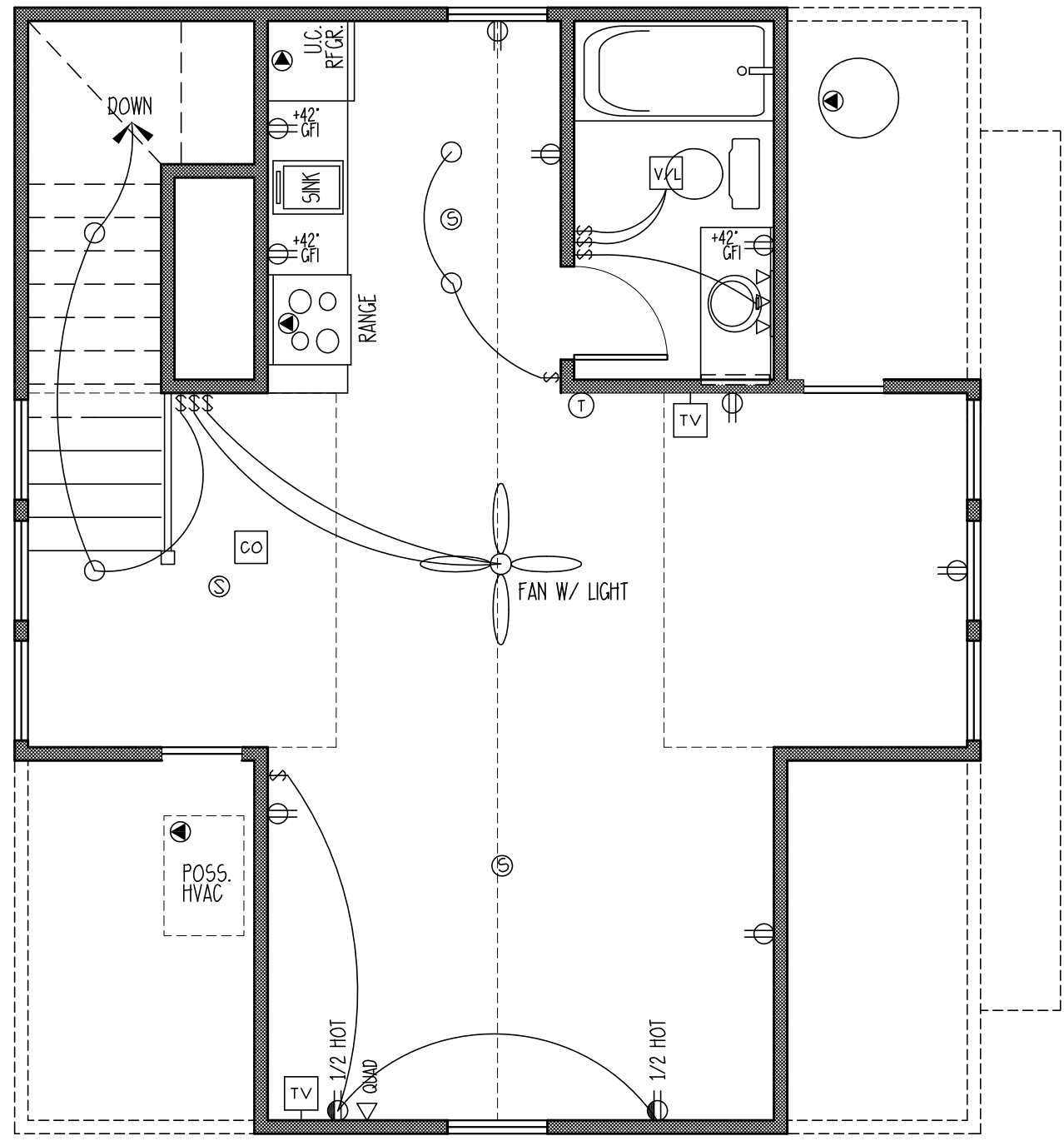
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DWN. BY:	JW
DWG. NAME:	23374.DWG

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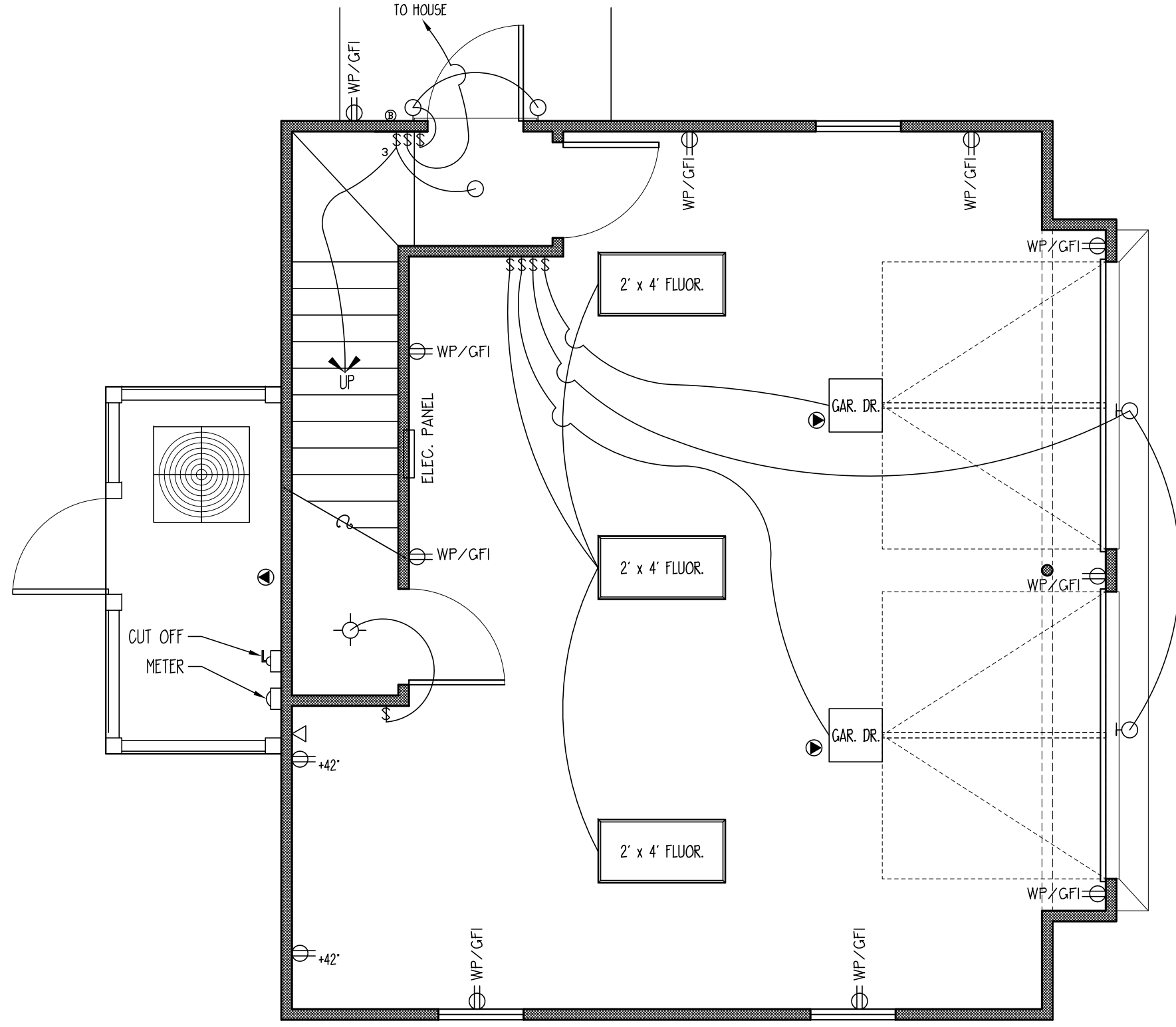
LOT 38, STOCK FARM SUBDIVISION  
BLUFFTON, SOUTH CAROLINA



SECOND FLOOR ELECTRICAL PLAN

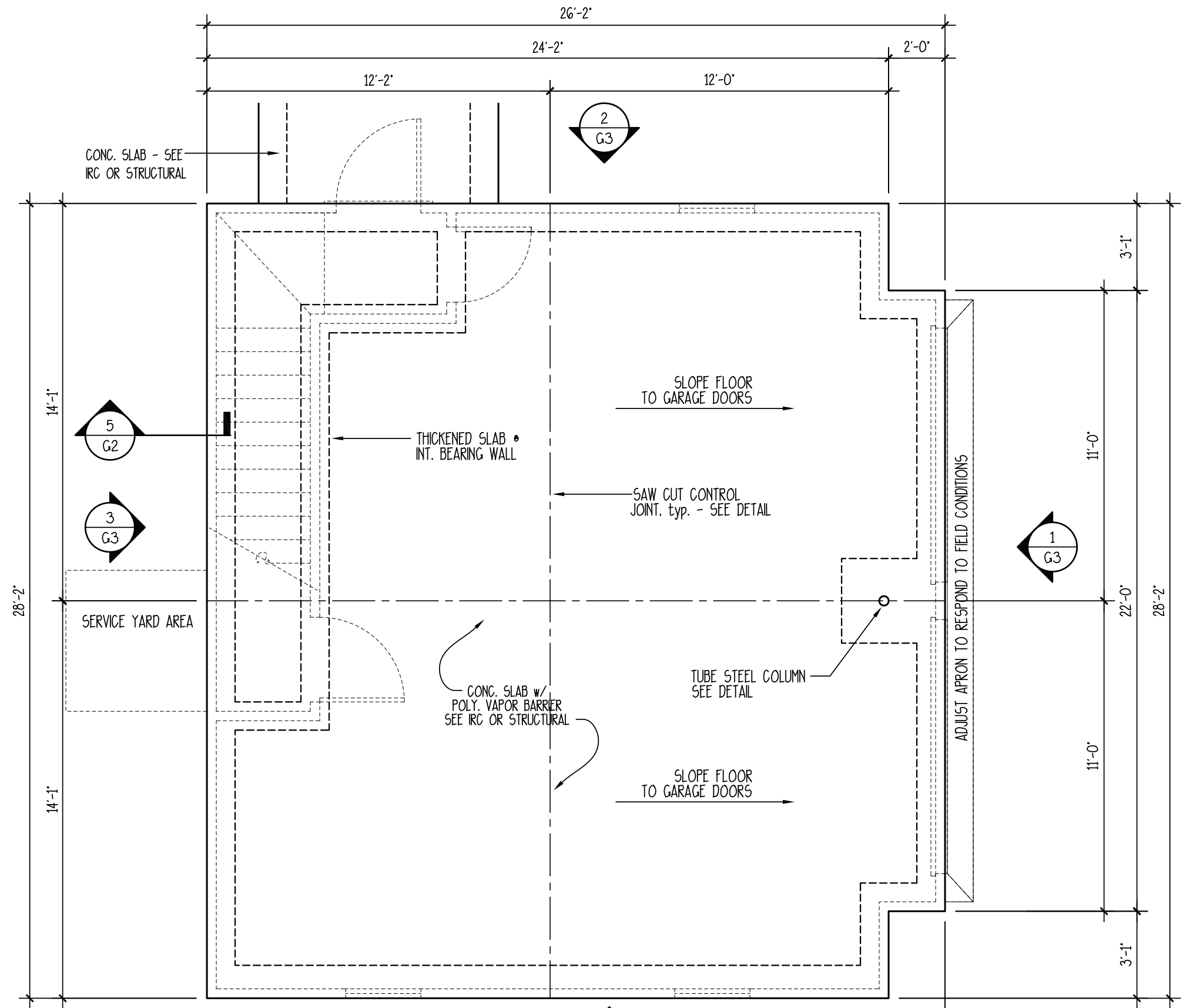
SCALE: 1/4" = 1'-0"

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	Ceiling Fan
	STRIP LIGHTING
	Ceiling Box
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



FIRST FLOOR ELECTRICAL PLAN

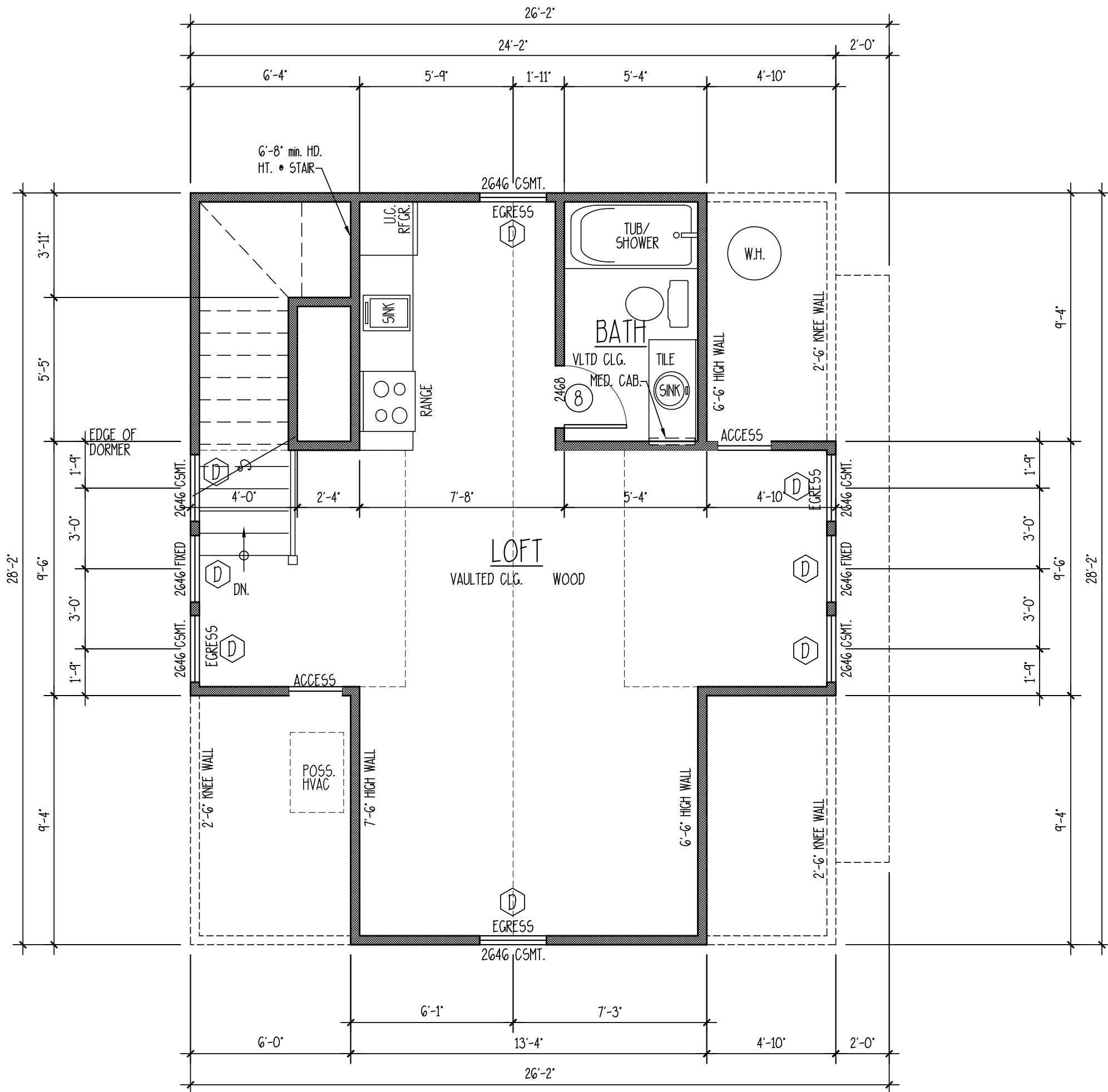
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FOUNDATION PLAN

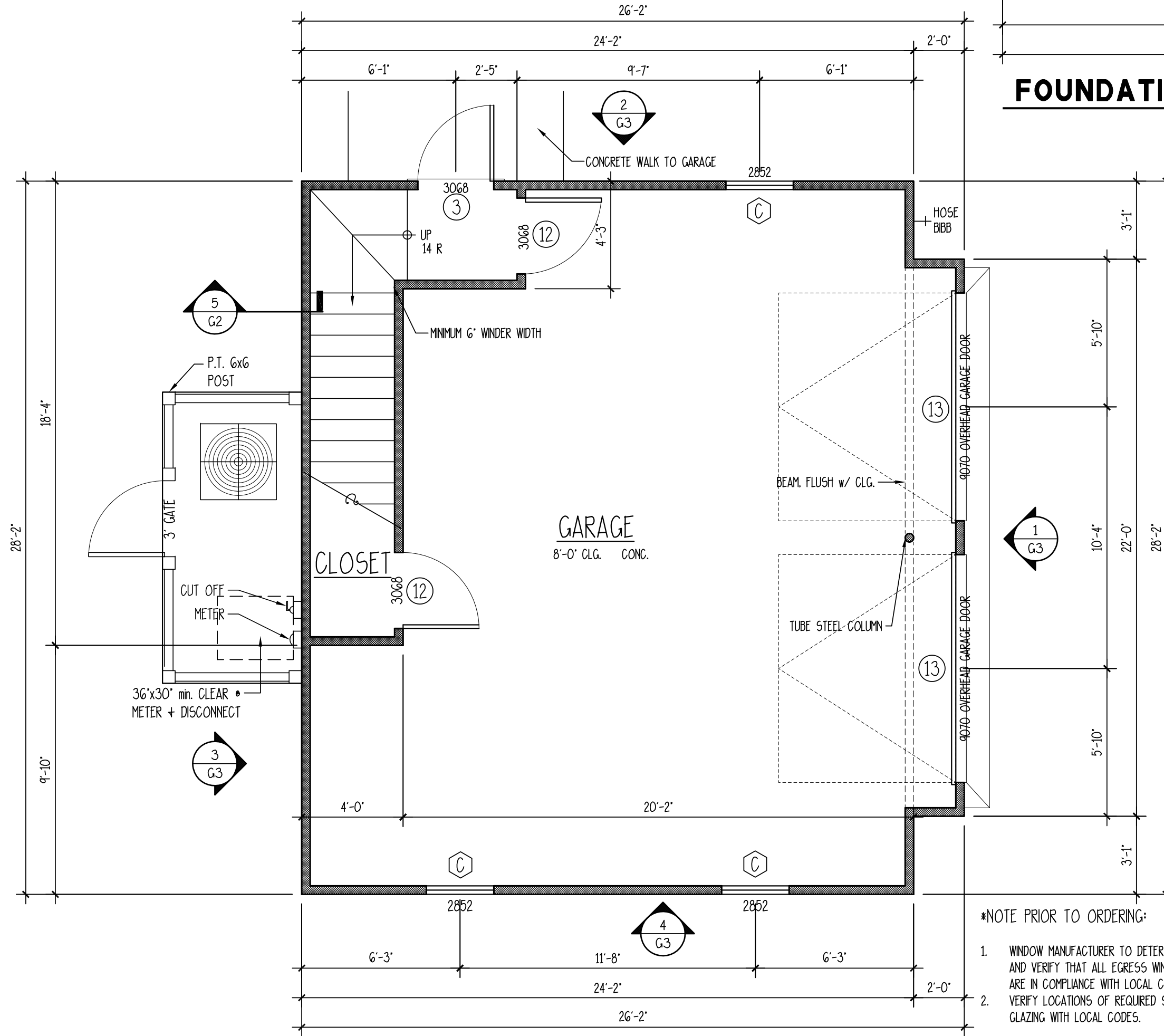
SCALE: 1/4" = 1'-0"

- \*NOTE:
1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
  2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
  3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
  4. VERIFY DRL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN.



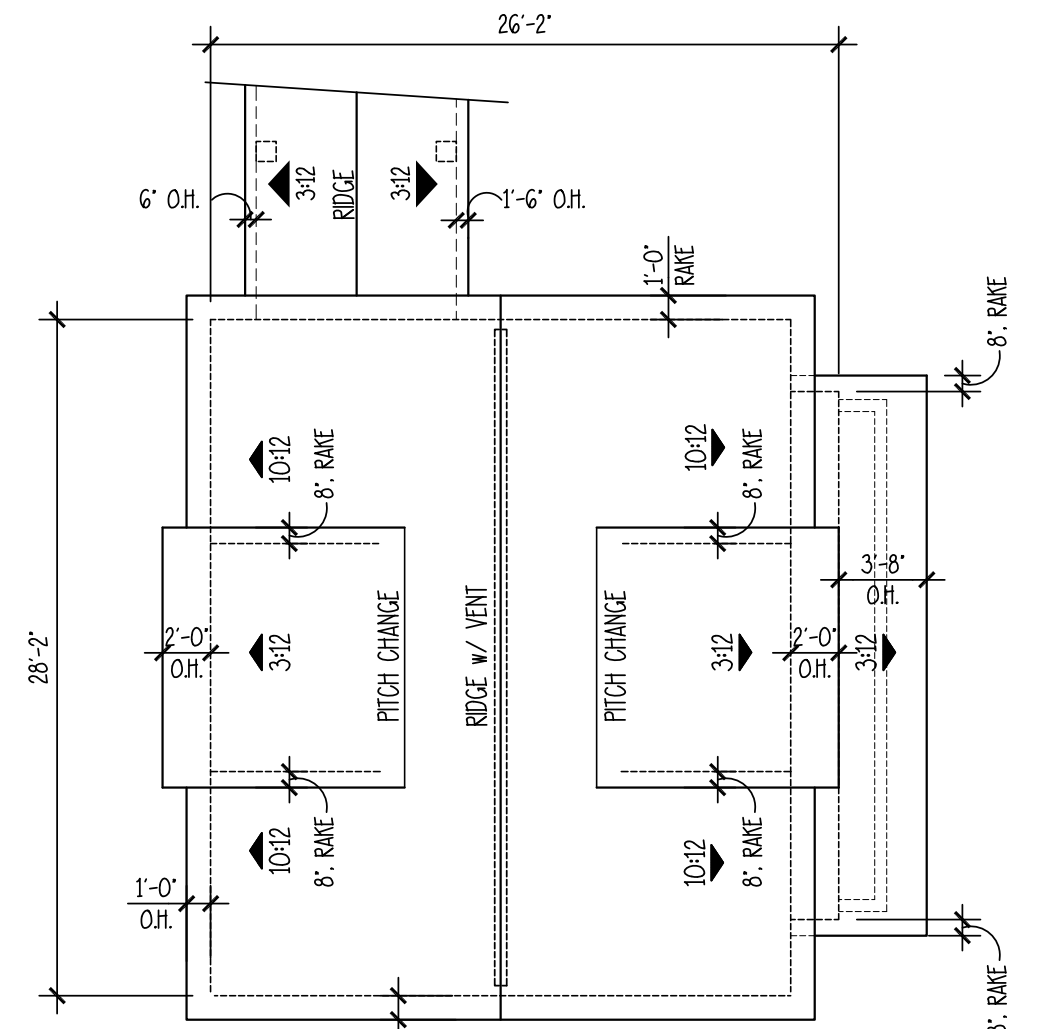
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

- \*NOTE:
1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE - REAR OR SIDES OF HOUSE AS POSSIBLE.
  2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM (COMBINED WHEN POSSIBLE).
  3. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
  4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
  5. METAL ROOF SEAMS NOT TO EXCEED 16" O.G.
  6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT

# HINTZ RESIDENCE

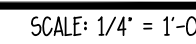
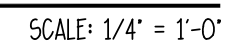
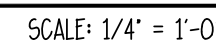
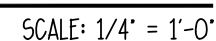
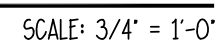
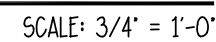
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DATE:	8/20/2024
JOB NO.	23374
DRAWN BY:	JW
DATE:	2/23/2025

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## CONTRACT SPECIFICATIONS

The following project specifications are intended as a minimum standard to be used in conjunction with the Contract Drawings.

Compliance with each of the following Specification sections is necessary where applicable or referenced by said drawings:

All work associated with the Contract Drawings shall be in conformance with the latest edition of the International Residential Code, (IRC) or other codes applicable to the jurisdiction where the project shall be constructed. The Contractor shall refer to applicable sections of the IRC as referenced herein specifically Chapter 1, Administration.

-The "Green Recommendation" subheadings outline practices recommended to be followed for a greener method of construction. These recommendations are to be followed at the builders discretion and do not imply any level of sustainability for the design. Refer to LEED for Homes Rating System ([http://www.greenhomeguide.org/documents/leed\\_for\\_homes\\_rating\\_system.pdf](http://www.greenhomeguide.org/documents/leed_for_homes_rating_system.pdf)) and ENERGY STAR Guidelines for Qualified New Homes ([http://www.energystar.gov/index.cfm?c=ehdr\\_raters\\_homes\\_guidelines](http://www.energystar.gov/index.cfm?c=ehdr_raters_homes_guidelines)) for more information. An asterisk (\*) indicates this recommendation is a mandatory pre-requisite for the LEED for Homes Rating System. The Green Recommended Manufacturers and Products subheadings outline some examples of Green products and are listed according to [www.buildinggreen.com](http://www.buildinggreen.com), [www.greenhomeguide.org](http://www.greenhomeguide.org), and other sources.

## DIVISION I GENERAL CONDITIONS

### ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ERRORS AND OMISSIONS

- The Contractor shall notify the Architect in writing of any errors, discrepancies, or omissions in the Contract Documents.
- The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed

to notify the Architect of before construction and/or fabrication of the work.

SPECIFICATION AND DRAWINGS EXPLANATION: For convenience of reference and to facilitate the letting of contracts and subcontracts, these specifications are separated into titled sections. Such separations shall not, however, operate to make the Architect an arbiter to establish limits to contracts between the Contractor and Subcontractor.

SUBSTITUTION: The contractor shall submit manufacturers literature and test data for the Owner's approval, for materials or equipment which the Contractor represents as "equal" to that specified and intends to incorporate into the work. Substitution of materials, systems, or manufacturers from those specified herein by the Contractor without prior written approval from the Owner or Architect is forbidden and shall be at the sole risk of the Contractor.

TRUSS DRAWINGS: A complete set of truss drawings certified in accordance with local authority, shall be delivered to the architect.

Refer to the Engineer's calculations for any questions regarding lumber grades, beam and header sizes, footing and shear requirements.

NO deviations from the structural details shall be made without the written approval of the Structural Engineer.

Approval by city/county inspector does not constitute authority to deviate from the plans or specifications.

Subcontractor shall notify Contractor, and Contractor shall notify Architect of any errors, omissions, or discrepancies in the plans and/or specifications, so Architect can rectify corrections or omissions prior to commencement of construction.

The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site prior to commencing work. All work shall be done in compliance with local codes or IRC.

DO NOT SCALE DRAWINGS.

All workmanship shall be of the highest quality and is subject to inspections by the building department, local authorities, lending institutions, Architect or Owner.

Any one, or all of the above mentioned inspectors may inspect workmanship at any time. Any work identified as non-compliant with construction documents shall be removed and reworked, repaired, or replaced at the discretion of the Owner or Owners Agent.

The Jobsite shall be maintained in a clean and organized manner. All Tradesmen involved in the work shall be responsible for daily housekeeping and removing from the job site all trash and debris. The jobsite shall be completely clean and organized at the end of each weeks work.

It is the responsibility of each subcontractor to cooperate fully with the Job Superintendent in protecting all work through the entire course of construction. Each subcontractor shall be responsible for promptly notifying Job Superintendent of any damage existing prior to the start of their work.

### ALLOWANCES

Definitions and Explanations: Allowances for certain categories of work specified herein are provided for the purpose of enabling and expediting contract pricing. A final Schedule of Allowance for materials, labor, equipment, and finishes customarily selected by the owner shall be submitted for verification and acceptance by the owner prior to commencement of the contract work.

Adjustments to the contract (up or down) due to owners selections will be issued by change order.

Allowances include but are not limited to lump sum allowances and unit cost allowances.

Selection and Purchase: At earliest feasible date after award of contract, advise Owner of schedule date when final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in performance of the work.

The Contractor shall obtain and submit cost proposals for work represented by each allowance for use in making final selections.

Purchase products and systems as specifically selected (in writing) by the Owner.

Unit-cost allowances: Submit a substantiated survey of quantities of materials, as shown in the "Schedule of Values," revised where necessary, and corresponding with change order quantities.

Each change order amount for unit-cost type allowances shall be based solely on the difference between the actual unit purchase amount and the unit allowance, multiplied by the final measure or count of work-in-place, with customary allowances, where applicable, for cutting wastes, tolerances, mixing wastes, normal product imperfections and similar margins.

The Owner reserves the right to establish the actual quantity of work-in-place by an independent quantity survey, measure or count.

Schedule of Allowances		
Description	Remarks	Allowance
Appliances: Range	Allowance includes Cords, Cut-off valves, and fittings required	\$
Cooktop	For complete installation, Rough-in Labor + Installation costs	\$
Oven	Included in Contractor's Base Bid.	\$
Refrigerator	"	\$
Dishwasher	"	\$
Washer	"	\$
Dryer	"	\$
Water Heater	"	\$
Other	"	\$
Appliance Total Allowance	"	\$
Cabinets: Kitchen	Allowance includes the cost of: Installation Labor for	\$
Counter Tops	Cabinets + Counter Tops, Cabinet Hardware: Pins + Knobs.	\$
Bath	"	\$
Counter Tops	"	\$
Bath	"	\$
Counter Tops	"	\$
Cabinet Total Allowance	"	\$
Flooring: Carpet	Allowance includes the cost of materials and Labor installed.	\$
Vinyl	"	\$
Wood	"	\$
Ceramic Tile	"	\$
Flooring Total Allowance	"	\$
Hardware: Door Hardware	Allowance includes the cost of material only. Costs of	\$
Bath Accessories	Installation Labor included in Contractor's Base Bid.	\$
Exterior Doors	Allowance includes the cost of material only. Costs of	\$
Interior Doors	Installation Labor included in Contractor's Base Bid.	\$
Windows	"	\$
Light Fixtures	Allowance includes the cost of material only. Costs of	\$
Plumbing Fixtures	Installation Labor included in Contractor's Base Bid.	\$
Landscape	Lump Sum Labor + Material	\$

### CONSTRUCTION PRACTICES

-Green Recommendation:  
\*Investigate and document options for the project's diversion of waste, including construction waste as well as cardboard packaging and household recyclables.  
\*Document the diversion rate of the construction waste and record the waste of the land clearing separate from the new construction.  
Reduce construction waste and/or increase waste diversion to be below the industry norm: generate 25 lbs or less of net waste per square foot of conditioned floor area, increase waste diversion by diverting 25% or more of the total materials taken off the construction site from landfills and incinerators.

### HOMEOWNER EDUCATION

-Green Recommendation:  
\*Provide the home occupants with proper training about the operations and maintenance of the home's "green" features and equipment. Provide a 1-hour walkthrough with homeowner and an O&M (Operations and Manual) to the homeowner including all documents and instructions related to the Green equipment and systems.

## DIVISION 3 CONCRETE

-Green Recommendation:  
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).  
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Concrete intended for structural foundations shall comply w/ Sec. R402.2 and other applicable provisions of the IRC. Codes and Standards: ACI 301 "Specifications for Structural Concrete Buildings," ACI 318, "Building Code Requirements for Reinforced Concrete." Comply with applicable provisions for highest quality except as otherwise indicated.

All load bearing footings shall be placed on level, undisturbed soil to depth shown on drawings and in no case, less than the frost depth. Prior to placing footings or slabs, the Contractor shall insure that all forms and trenches are free of debris and all embedded items are in place, securely attached. This includes the work of others. Maintain 8" minimum clearance between all wood and finish grade.

Materials:

Cement shall conform to ASTM C-150.

Ready mixed concrete shall be mixed and delivered in accordance to ASTM C-44, 3000 PSI.

Aggregates shall conform to ASTM C-33 for normal-weight concrete and ASTM C-33 for lightweight concrete.

Waterstops: Flat dumbbell or centerbulb type, size to suit joints of either rubber (CRD C-515) or PVC (CRD C 512).

Moisture Barrier: Clear 6-mils thick polyethylene or 1/8" thick asphaltic core polyethylene-coated paper membrane sheet of the largest size practical in order to minimize joints.

Membrane-forming Curing Compound: ASTM C309, Type I.

Reinforcing Bars: ASTM A 615, grade 60.

Welded Wire Fabric: comply with ASTM A 185.

Concrete Placement: Comply with ACI, placing concrete in a continuous operation within planned joints or sections.

Protect concrete from physical damage or reduced strength due to weather extremes during mixing, placement and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.

FLATNESSES: Concrete floor slab flatness shall not deviate from level to 1/8" in 10 feet, maximum. Provide a smooth trowel finish for concrete floor and wall surfaces that are to be covered with a coating or covering material applied directly to concrete. Remove fins and projections, patch or remove defective areas as directed by the Owner or Architect. Apply trowel finish to monolithic slab surfaces that are exposed to view or are to be covered with resilient flooring, paint, or other thin coating. Consolidate concrete surfaces by finish troweling, free of trowel marks, uniform in texture and appearance.

Curing: Begin initial curing as soon as free water has disappeared from exposed surface. Where possible, keep continuously moist for not less than 12 hours.

Joints: Provide construction, isolation, and control joints as indicated or required to minimize differential settlement and random cracking. Saw-cut control joints as soon as concrete has hardened sufficiently to support cutting operation and no later than 8-12 hours after placement.

### SECTION 05 45 00 - PRECAST CONCRETE - CAST STONE

-Green Recommendation:  
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).  
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Specifications: Comply with recommended practices and procedures of Prestressed Concrete Institute (PCI) MNL - 116 and MNL - 117, and as herein specified.

Submit samples approximately 12" x 12" x 2" to illustrate quality, texture, and color of other than as-cast surface finishes.

Concrete Materials:

Portland Cement: ASTM C 150, Type as required.

Aggregates: ASTM C 33.

Air-Entraining Admixture: ASTM C 260.

Water-Reducing Admixture: ASTM C 484.

Compressive strength not less than 5000 psi at 28 days. Total air content not less than 4% or more than 6%.

Fabrication: Fabricate precast concrete units complying with PCI MNL-116 for structural units and MNL-117 for architectural finished exposed units, including dimensional tolerances.

Manufacturers:

-Green Recommended Manufacturers and Products:  
Perform Panel, LLC, Perform Wall Panel System

## DIVISION 4 MASONRY

-Green Recommendation:  
Recyclability: Use recycled bricks when possible.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

General: Assemblies of masonry units shall comply w/ the provisions provided in Chapter's 4, 6 and 10 of the IRC. Standards: Comply with the recommendation of Brick Institutes or America (BIA) and National Concrete Masonry Association (NCMA).

Provide solid, uncured or unfrozzed units with all exposed surfaces finished for sills, treads, caps, and similar applications exposing surfaces otherwise concealed from view.

Facing brick: ASTM C 216, Grade SW to match owner's sample.

Concrete Masonry Units (CMU): provide units of the dimensions indicated on drawings conforming to ASTM 90.

Roughen and clean concrete bearing surfaces for the placement of the first course.

Gementitious Material: Premixed Type M colored mortar of formulation required to produce color indicated.

Ties and Anchoring Devices: Hot-dip galvanized steel sheet: Carbon steel hot-dip galvanized after fabrication to comply with ASTM A 153, Class B.

Joint Reinforcement: Galvanized brass type welded-wire units prefabricated with 0.1875" diameter deformed continuous side rods and plain cross rods into straight lengths not less than 10" and of widths to fit wall thickness indicated, with prefabricated corner and tee units.

Masonry Veneer Anchors: Two piece assemblies consisting of 0.1875" diameter wire tie section and 0.046" thick steel anchor section, with latter incorporating strap as manufactured by Dur-O-Wall, Inc. (or equal).

Masonry Wire Ties: 3/16" cold-drawn steel wire, with 15 oz. hot-dip zinc coating.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorinated asphalt.

Nepholes: Cotton sash of length required to produce 2" exposure on exterior and 1/8" in cavity between wythes.

Extruded Polystyrene Board Insulation: ASTM C 578, Type IV, with closed cells and integral high density skin, formed by expansion of polystyrene base resin in a extrusion process.

Workmanship: Install masonry units in the bond pattern indicated, or if none is indicated, in running bond. Avoid the use (by proper layout) of less-than-half-size units. Hold uniform joint sizes as indicated, or if not indicated, hold joint sizes to suit modular of masonry units.

Cut joints flush and tool slightly concave, unless otherwise indicated.

Keep cavities clean of mortar droppings, and install ties spaced 16" vertically and 24" horizontally. Provide weep holes spaced 24" apart at the bottom of (and at ledges in) cavities.

Install board insulation of thickness indicated in cavity wall with boards pressed firmly and adhesively applied against inside wythes of masonry. Fit board between wall ties and with edges butted tightly.

Reinforce horizontal joints with continuous masonry joint reinforcement, spaced 16" vertically. Install reinforcement 8" immediately above and below opening, for a distance of 2' beyond joints of opening. Do not bridge control and expansion joints in the wall system.

Provide control and expansion joints at locations shown or as approved by the Architect.

Protect adjacent work and keep clean of mortar, debris, and other damaging conditions. Install approved flashing under copings, sills, through wall at: center flashing locations, and above elements of structural support for masonry.

Protect newly laid masonry from exposure to precipitation, excessive drying, freezing, soiling backfill and other harmful elements.

Cleaning: Dry-brush masonry work at end of each day's work. After mortar is thoroughly set and cured, clean masonry by bucket and brush hand cleaning method described in BIA "Technical Note No. 20 Revised" using detergent cleaner.

Manufacturers:

-Green Recommended Manufacturers and Products:  
Apex Block, Apex Block  
Trentham Industries, Versazone Premium Recycled Ground Face CMU

### SECTION 04 42 00 - EXTERIOR STONE CLADDING

-Green Recommendation:  
Recyclability: Use reclaimed stone.  
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Standards: Comply with industry recommendation of stone production and fabrication standards for the type of stone selected. Provide sample panels of erected stonework, built at site, using proposed stone, anchors, and jointing, one panel for each type of stone and installation. Obtain stone from one quarry with consistent color range and texture.

Stone type and color to match Owner's sample.

Mortar: Type M, ASTM C 270, Proportion Specification. For colored pointing mortar, use ground marble, granite or other sound stone to match Owner's sample.

Anchors: For anchoring into concrete, cadmium-plated or hot-dip galvanized, for anchoring into stone, Type 302/304 stainless steel.

Type, size, and load capacity as shown or required.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorinated asphalt.

Clean stone

work not less than 6 days after placement with clean water and stiff-bristle brushes.

## DIVISION 5 METALS

-Green Recommendation:  
Environmentally Preferable Products:  
Use local products when possible (extracted, processed and manufactured within 500 miles of project).  
Use products with low emissions.  
Use recycled or reclaimed products.

### SECTION 05 40 00

Material Standards: Provide and install structural steel in accordance w/ AISI "Code of Standard Practice for Steel Buildings and Bridges," AISI "Specifications for the Design, Fabrication, and Erections of Structural Steel for Buildings" including "Commentary," AISI "Structural Welding Code," and provisions of Chapter 5 of the IRC.

Structural steel and misc. iron shall conform to ASTM A-36.

Bolts, nuts and screws shall conform to ASTM A307 Grade A. Welding rods shall conform to AWS for intended use.

Welding or heat bending of reinf. steel shall not be allowed without written consent of Architect. Conforms to AWS D12-1.

Fabrication: Comply with AISI "Specifications" and with AWS Code for procedures, appearance, and quality of welds.

Steel plates shall conform to ASTM A-283 Grade A. Steel tubing shall conform to ASTM A-501.

Reinforcing steel shall conform to ASTM A-615, Grade 40 for sizes up to #3; Grade 60 for sizes #4 or larger.

Welded fabric (WFF) shall conform to ASTM A-185, latest revision. Smooth wire fabric shall conform to ASTM A-85, yield strength 60 ksi.

All bars in masonry shall be lapped with a minimum of 40 bar diameters at all splices unless noted otherwise.

All bars in concrete shall be lapped a minimum of 36 bar diameters at all splices unless noted otherwise with a larger dimension.

Splices of horizontal rebar in walls and footings shall be staggered 4'-0" unless noted otherwise.

Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.

### SECTION 05 73 00 - DECORATIVE METAL RAILINGS

General: Provide and install handrails, railings, and guards as shown on drawings and in accordance w/ Sec. R311 and Sec. R312 of the IRC.

Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.

Handrails shall be provided on at least on side of each continuous run of treads or flight w/ four or more risers.

Structural Performance of Handrails and Railing Systems: Provide handrails and railing systems capable of withstanding a concentrated load of 200 lbs applied at any point and a uniform load of 50 lbs per lin. ft.

Infill Area of Guardrail Systems: Horizontal concentrated load of 200 lbs applied to one sq. ft. at any point in the system including panels, intermediate rails, balusters, and other elements composing the infill area.

## DIVISION 6 WOOD, PLASTICS, AND COMPOSITES

-Green Recommendation:  
Material Efficient Framing:  
\*Limit the overall estimated waste factor to 10% or less. Waste factor is the percentage of framing materials ordered in excess of the estimated material needed for construction.  
Use any of the following framing measures to reduce waste: pre-cut framing packages, open-web floor trusses, structural insulated panels (Sip) walls, SIP roof, SIP floor, stud, joist and rafter spacing greater than 16" o.c., where possible and allowed by the IRC, size headers for actual loads, use ladder blocking or drywall clips, use 2-stud corners).  
Environmentally Preferable Products:  
\*Limit use of tropical wood but use only FSC-certified wood with proper documentation.  
Use local products when possible (extracted, processed and manufactured within 500 miles of project).  
Use products with low emissions.  
Use recycled or reclaimed products.

### SECTION 06 10 00- ROUGH CARPENTRY

General: Buildings and structures constructed in flood hazard areas as established in Table R301.2.1() shall be designed and constructed in accordance w/ the provisions contained in Sec. R323 of the IRC.

Materials: Building materials used below the design flood elevation shall comply w/ Sec. R323.1 of the IRC.

Load-bearing dimension lumber for joists, beams, studs, and girders shall be identified by a grade mark in accordance w/ Sec. R502 of the IRC.

Provide seasoned lumber with 19 percent moisture content at time of dressing and shipment for sizes 2" or less in thickness.

For exposed lumber, apply grade stamps to ends of back of each piece or omit grade stamps entirely and issue certificate of grade compliance.

Dimension lumber: Provided lumber of the following product classification in grade and species indicated:

Light-Framing: (2'-4" thick, 2'-4" wide). Construction grade, Southern Pine graded under SPIB rules.

Studs (2'-4" thick, 2'-6" wide, 10' and shorter): "Stud" or No. 3 Structural Light Framing grade, any species graded under NWFA, NCLIB, SPIB or NLGA rules.

Structural Light Framing: 2'-4" thick, 2'-4" wide): No. 1 Southern Pine graded under SPIB rules.

Structural Joists and Planks (2'-4" thick, 5' and wider): Any species and grade complying with requirements for allowable unit stresses.

F (minimum extreme fiber stress bending): 1250 psi.

E (minimum modulus of elasticity): 1,600,000 psi.

Fv (horizontal shear): 100 psi.

Exposed Framing Lumber: Verify that material intended for use in exposed finish locations meets species and grade requirements for compliance with "Appearance" grade requirements of ALSC National Grading Rule.

Posts, Beams and Timbers (5' and thicker): No. 1 grade Hem-Fir rules or No. 2 grade Southern Pine graded under SPIB rules.

Glued laminated timber (Glulam): Comply with ANSI/AITC A 190 "Structural Glued Laminated Timber"

Combination Sub Floor Underlayment: 3/4" APA RATED STURD-I-FLOOR, T&E if not otherwise indicated.

Subflooring: 3/4" T&E, APA RATED SHEATHING.

Wall Sheathing: 1/2" APA RATED SHEATHING.

Roof Sheathing: 1/2" APA RATED SHEATHING.

Plywood Underlayment for Resilient tile: 3/8" APA UNDERLAYMENT EXT with fully sanded face.

Construction Panel Underlayment for Ceramic Tile: 3/4" APA RATED STURD-I-FLOOR EXP 1 for underlayment.

Fasteners and Anchors: Provide metal hangers and framing anchors of size and type recommended for intended use by manufacturer.

Hot-dip galvanized fasteners and anchors for work exposed to weather, in ground contact and high relative humidity to comply with ASTM A 153.

Building paper: 15 lb/sf asphalt saturated felt, ASTM D 226.

Sill Sealer Gasket: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer, 1" nominal thickness compressible to 1/32", in rolls of 50' or 100' in length.

Preservative: pressure treat lumber and plywood with water-borne preservatives to comply with ANFA C2 and C9, respectively, and with requirements indicated below:

Wood for Ground Contact Use: ANFB LP-22.

Wood for Above-Ground Use: ANFB LP-2.

Treat: paints, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers, and water proofing.

Treat: sills, sleepers, blocking, furring, stripping and similar items in direct contact with masonry or concrete.

Install rough carpentry work to comply with "Manual of House Framing" by National Forest Products Assoc. (NFFA) and with recommendations of American Plywood Association (APA), unless otherwise indicated. For sheathing, underlayment and other products not covered in above standards, comply with recommendations of manufacturer of product involved for use intended. Set carpentry work to required levels and lines, with members plumb and true and cut to fit.

Provide wood framing members of size and spacing indicated. Do not splice structural members between supports.

Firestop concealed spaces with wood blocking not less than 2" thick (nom.), if not blocked by other framing members.

Fasten structural wood panel products as follows:

Combination Subflooring underlayment and subflooring:

Glue-nail to framing.

Sheathing: Nail to framing.

Underlayment: Glue and nail to framing.

Air Infiltration Barrier: Cover wall sheathing with vapor permeable, water-resistant fabric composed of polyethylene fibers, 61 mils thick. (Tyvek or equal) in compliance with manufacturer's printed directions.

### SECTION 06 11 00 - SHOP-FABRICATED STRUCTURAL WOOD

Truss design drawings: Truss design drawings, prepared in accordance w/ Sec. R802.10 of the IRC, shall be provided to the building official and approved prior to installation. Truss design drawings shall include the information specified in Sec. R802.10 of the IRC.

Bracing: Trusses shall be braced to prevent rotation and provide lateral stability in accordance w/ the requirements specified in the truss design drawings.

Alterations to truss: Truss members shall not be cut, notched, drilled, spliced or otherwise altered in any way without the approval of a registered design professional.

Standards: Comply with NFFA National Design Specification and with TPI standards including "Quality Standard for Metal Plate Connected Wood Trusses", Commentary and Recommendations for Handling and Erecting Wood Trusses", Commentary and Recommendations for Bracing Wood Trusses" and the following:

"Design Specification for Metal Plate Connected Wood Trusses."

"Design Specification for Metal Plate Connected Parallel Chord Wood Trusses."

Provide design of total truss system by a structural engineer licensed to practice in jurisdiction where trusses will be installed.

Steel roof truss: The design, quality assurance, installation, and testing of cold-formed steel trusses shall be in accordance w/ Sec. R804 of the IRC and the AISI Standard for Cold-formed Steel Framing-Truss Design (C0F5/Truss).

### SECTION 06 40 00 - EXTERIOR ARCHITECTURAL WOODWORK

Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standards" by AWI.

Softwood lumber: Comply with PS 20 and applicable grading rules or respective grading and inspecting agency for species and product indicated. Fabricate to sizes and patterns indicated using seasoned lumber. Use pieces made from solid lumber for transparent finished work, and glued up or solid at Contractor's option for painted work.

Exterior Standing and Running Trim: Boards and worked lumber products complying with requirements indicated below including those of grading agency listed with species.

Species: Western Red Cedar: NWFA or NCLIB.

Grade: B & Btr - 1 & 2 Clear.

Texture: Surfaced (Smooth).

Exterior Door Frames: Grade - Premium.

Siding Board Type: Lumber milled to pattern and size indicated, complying with requirements indicated below including those of grading agency used with species:

Species: Western Red Cedar: NWFA or NCLIB.

Grade: A Grade VG.

Texture: Surfaced.

Exterior Miscellaneous Ornamental Items: Grade - Premium.

Install finish carpentry work plumb, level, true and straight with no distortions, shim as required using concealed shims.

Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finish nails for exposed nailing except as indicated, countersunk and filled flush with finish surface.

Standing and Running Trim: Install with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cape at returns; miter at corners to produce tight fitting joints. Use scarf joints for end-to-end joints.

Beveled Siding: Attach to studs with non-corrosive siding nails of length to penetrate studs at minimum of 1-1/2" and to comply with siding manufacturer's recommendations.

Manufacturers:

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)  
Armstrong Reclaimed Lumber Co., Reclaimed-Wood Lumber and Products  
Industries Mabec, Inc., Certified FR Shingles

### SECTION 06 40 23 - INTERIOR ARCHITECTURAL WOODWORK

AWI Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standard" by American Woodworkers Institute.

Samples: Submit finished samples of each wood species and profile indicated; for transparent finish, of each material indicated for opaque finish, of each color, pattern, and type of plastic laminate and each type of cabinet hardware.

Species for Transparent Finish: Rift-sawn red oak.

Species for Opaque Finish: Any closed-grain hardwood listed in reference wood working Standard.

Hardwood Plywood: HPMA FE.

Plastic Laminate: High-pressure decorative laminate complying with NEMA LD 3.

Interior Standing and Running Trim: Grade - Premium.

CABINETS AND COUNTER TOPS:

Allowances: See Division 1 for amount and procedures for purchase and payment (overtime or underrun). The costs of handling and installation are covered by the allowance.

Grain Matching: Run and match grain vertically for drawer fronts, doors, and fixed panels.

Comply with veneer and other matching requirements indicated for Blueprint matched paneling.

Laminate Glad Cabinets: Grade - Custom Finish overlay, High-pressure decorative laminate selected from laminate manufacturer's full range of standard colors, patterns, and finishes.

Concealed Cabinet Hardware: Provide cabinet hardware and accessory materials associated with architectural cabinets. Comply with ANSI/BHMA A 186.4 "American National Standard for Cabinet Hardware."

Exposed Cabinet Hardware: See Section 01020 Allowances for exposed hardware.

Shop-applied prime/base coat to interior trim for opaque finish, in compliance with requirements indicated in section 09 painting. Transparent Finish for Open-Grain Woods: Provide the following shop applied finish in compliance with AWI "Architectural Woodwork Quality Standards":

Grade: Premium. AWI Finish System #3: Conversion varnish.

Staining: Match Owner's Sample.

Install woodwork to comply with AWI Section 1700 for same grade specified in Part 2 of this section for type of woodwork involved.

Paneling: Anchor paneling to supporting substrate with concealed panel hanger clips. Blind nail back-up strips and similar associated trim and framing.

Manufacturers:

-Green Recommended Manufacturers: (per BuildingGreen.com)  
Hendville Healthy Building Solutions, Hecacore Doors and Cabinets

# SPECIFICATIONS



THE PLAN HAS BEEN PREPARED IN ACCORD WITH PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO REVERT TO THE FOLLOWING BEFORE BEGINNING CONSTRUCTION: ALLISON RAMSEY ARCHITECTS, INC. ASSURES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.

\*VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION

\*PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

\*FOUND & FLOORING LAYOUTS ARE NOT PROVIDED. THESE SHOULD BE OBTAINED FROM A GEOTECHNICAL ENGINEER. FOUNDATIONS SHOULD BE DESIGNED TO SUPPORT THE STRUCTURE AND THAT EQUIPMENT IS SITED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.

\*VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE :	04/06/2021
JOB NO. :	
DWG. BY :	shh
DWG. NAME :	Greenspecs2021.dwg

# SP1



**DIVISION 1 THERMAL AND MOISTURE PROTECTION****-Green Recommendation:**

Utilize a closed crawlspace system as defined by the IRC when possible. If a conventional vented crawlspace is used, assure to seal all penetrations and gaps in building envelope that are not used for ventilation.

**Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

General: Provide thermal and moisture protection in accordance w/ applicable standards of the IRC.

Concrete and masonry foundation waterproofing. In areas where high water table or other severe soil-water conditions are known to exist.

Weather Protection: Roof decks shall be covered w/ approved roof coverings secured to the building or structure in accordance w/ the provisions of Chapter 9 of the IRC.

**SECTION 01 10 00 - WATERPROOFING AND DAMPROOFING**

Exterior foundation walls that retain earth and enclose habitable or useable spaces located below grade shall be waterproofed w/ membrane extending from the top of the footing to the finished grade in accordance w/ Sec. R406.2 of the IRC.

**SECTION 01 11 03 - BITUMINOUS DAMPROOFING**

Concrete and masonry foundation damproofing: Except where required to be waterproofed by Sec. R406.2, foundation walls that retain earth and enclose habitable or useable spaces located below grade shall be damproofed from the top of the footing to the finished grade in accordance w/ Sec. R406.1 of the IRC.

**SECTION 01 21 00 THERMAL INSULATION****-Green Recommendation:**

\*Install insulation that meets or exceeds the R-value requirements in Chapter 4 of the International Energy Conservation Code.

\*Install insulation to meet the Grade II specifications set by the National Home Energy Rating Standards.

Use low emission insulation and comply with California Practice for Testing of VOC's from Building Materials Using Small Chambers ([www.dhs.ca.gov/ehb/IAQ/VOCsPractice.htm](http://www.dhs.ca.gov/ehb/IAQ/VOCsPractice.htm))

Use recycled content of 30% or more when possible.

Use soy-based spray foam insulation when possible.

**-Green Recommended Manufacturers and Products:**

BioBased Spray Foam Insulation

Thermal insulation shall be installed in accordance w/ provisions provided in Sec. R316 of the IRC.

Insulating materials, including facings, such as vapor retarders or vapor permeable membranes installed within floor-ceiling assemblies, roof-ceiling assemblies, wall assemblies, crawl space and attics shall have a flame-spread index not to exceed 25 w/ an accompanying smoke-developed index not to exceed 450 when tested in accordance w/ ASTM E 84.

Thermal performance requirements: The min. required insulation R-value or the area-weighted average maximum required fenestration U-factor for each element in the building thermal envelope shall be in accordance w/ Sec. N102 and the criteria in Table N102.1 of the IRC.

**SECTION 01 24 00 - EXTERIOR INSULATION AND FINISH SYSTEMS -**

General: All Exterior Insulation Finish Systems (EIFS) shall be installed in accordance w/ the manufacturer's installation instructions and the requirements of Sec. R103.9 of the IRC.

Decorative trim shall not be faced nailed through the EIFS.

The EIFS shall terminate not less than 8 inches above the finished ground level.

Installer qualifications: EIFS system installers shall be certified in writing by system manufacturer as qualified for installation of system indicated.

Manufacturers: Subject to compliance with requirements, provide CLASS PM system of one of the following:

Dryvit System Inc.  
Senergy Inc.  
Simplex Div., Anthony Industries, Inc.  
STO Industries, Inc.

Comply with system manufacturer's current published instructions for installation of system as applicable to each type of substrate indicated. Offset joints of insulation from joints in sheathing.  
Provide mock-up samples for the Owners selection of colors and textures from Manufacturer's full line of offerings.

**SECTION 01 31 13 - ASPHALT SHINGLES**

The installation of asphalt shingles shall comply w/ the provisions of Sec. R905 of the IRC.

Sheathing Requirements: Asphalt shingles shall be fastened to solidly sheathed decks.

Slope: Asphalt shingles shall only be used on roof slopes of two units vert. in 12 units horiz. or greater. For roof slopes from two units vert. in 12 units horiz. up to four units vert. in 12 units horiz, double underlayment application is required in accordance w/ Sec. R905.2.1 of the IRC.

Underlayment: Unless noted otherwise, required underlayment shall comply w/ ASTM D2262, Type I, or ASTM D 4864, Type I, Self-adhering polymer modified bitumen sheet shall comply w/ ASTM D 1910.

Asphalt Shingles: Asphalt shingles shall have self-seal strips or be interlocking, and comply with ASTM D 225 or D 3462. Attachment: Asphalt shingles shall have the minimum number of fasteners as required by the manufacturer. For normal application, asphalt shingles shall be secured to the roof w/ not less than four fasteners per strip shingle or two fasteners per individual shingle.

Where the roof slope exceeds 20 units vert. in 12 units horiz, special methods of fastening are required.

For roofs located where the basic wind speed per Fig. R301.2(4) is 110 mph or greater, special methods of fastening are required.

Special fastening methods shall be tested in accordance w/ ASTM D 3161, modified to use a wind speed of 110 mph.

Shingles classified using ASTM D 3161 are acceptable for use in wind zones less than 110 mph. Shingles classified using ASTM D 3161 modified to use a wind speed of 110mph are acceptable for use in all cases where special fastening is required.

Flashing: Flashing for asphalt shingles shall comply w/ Sec. R905.2.8 of the IRC.

Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture permeable materials, and at intersections w/ parapet walls and other penetrations through the roof plane.

Flashings shall be installed at wall and roof intersections, wherever there is a change in roof slope or direction, and around roof openings.

Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).

Valleys: Valley linings shall be installed in accordance w/ manufacturer's installation instructions before applying shingles.

Valley linings of the types allowed in Sec. R905.2.8.2 and in accordance w/ Table R905.2.8.2 of the IRC shall be permitted.

**SECTION 01 31 21 - WOOD SHINGLES AND SHAKES**

Wood Shingles: The installation of wood shingles shall comply w/ the provisions of Sec. R905.7 of the IRC.

Deck requirements: Wood shingles shall be installed on solid or spaced sheathing. Where spaced sheathing is used, sheathing boards shall not be less than 1-inch by 4-inch nominal dimensions and shall be spaced on centers equal to the weather exposure to coincide with the placement of fasteners.

Deck slope: Wood shingles shall be installed on slopes of three units vert. in 12 units horiz. or greater.

Material Standards: Wood shingles shall be of naturally durable wood and comply w/ the requirements of Table R905.7.4 of the IRC and in accordance w/ grading rules as established by the Cedar Shake and Shingle Bureau.

Application: Wood shingles shall be installed according to Chapter 9, Sec. 905.7, and the manufacturer's installation instructions.

Weather exposure for wood shingles shall not exceed those set in Table R905.7.5 of the IRC.

Fasteners for wood shingles shall be corrosion-resistant w/ a min. penetration of 1/2 inch into the sheathing.

Wood shingles shall be attached to the roof w/ two fasteners per shingle, positioned no more than 3/4 inch from each edge and no more than 1 inch above the exposure line.

Valley Flashing: Roof Flashing shall be not less than No. 26 gauge corrosion-resistant sheet metal and shall extend 10 inches from the centerline each way for roofs having slopes less than 12 units vert. in 12 units horiz, and 7 inches from the centerline each way for slopes of 12 units in 12 units horiz and greater.

Manufacturers:

**-Green Recommended Manufacturers:**

EcoStar, Seneca Cedar Shake Tiles

**SECTION 01 61 00 - SHEET METAL ROOFING****-Green Recommendation:**

Use metal roofing with an SRI Index rating of at least 29.

Metal roof panels shall comply with provisions of Chapter 9, Sec. R905.10 of the IRC.

Roof covering application: Roof coverings shall be applied in accordance w/ the applicable provisions of Chapter 9 of the IRC and the manufacturers installation instructions.

Deck Requirements: Metal roof panel roof coverings shall be applied to a solid or spaced sheathing, except where the roof covering is specifically designed to be applied to spaced supports.

Slope: The minimum slope for lapped, nonsoldered seam metal roofs without applied lap sealant shall be three units vertical in 12 units horiz.

The minimum slope for lapped, nonsoldered seam metal roofs w/ applied lap sealant shall be one-half vert. unit in 12 units horiz.

The minimum slope for standing seam roof systems shall be one-fourth unit vert. in 12 units horiz.

Material Standards: Metal-sheet roof covering systems that incorporate supporting structural members shall be designed in accordance w/ the International Building Code. Metal-sheet roof coverings installed over structural decking shall comply w/ Table R905.10.3.

Attachment: Metal roofing fastened directly to steel framing shall be attached in accordance w/ Sec. R905.10.4 of the IRC.

Separate aluminum sheets from contact w/ wood, masonry and steel (structure, panels or fasteners), by either a 15-mil coating of fibroid asphalt paint or by tapes or gaskets of type recommended by panel manufacturer. Except as otherwise recommended by manufacturer, fasten aluminum work w/ non-magnetic stainless steel fasteners, gasket where needed for waterproof performance.

Flashing: Flashing shall be installed in such a manner so as to prevent moisture entering the wall and roof through joints in copings, through moisture-permeable materials, and at intersections w/ parapet walls and other penetrations through the roof plane.

Flashings shall be installed at wall and roof intersections, wherever there is a change in roof slope or direction, and around roof openings.

Material shall be corrosion resistant w/ a thickness of not less than 0.019 (No. 26 galvanized sheet).

**SECTION 01 92 00 - JOINT SEALANTS****-Green Recommendation:**

\*Use fire-rated caulk in all attic applications.

Use environmentally friendly adhesives and sealants- see Table 26 in Leed for Homes requirements.

Compatibility: Provide joint sealers, joint fillers and other related materials that are compatible with one another and with joint substrates under service and application conditions, as demonstrated by testing and field experience. Colors: Provide color of exposed joint sealers as selected by Owner from manufacturer's standard colors. Elastomeric Sealant Standard: Provide manufacturer's standard chemically curing, elastomeric sealant of base polymer indicated, complying with ASTM C 920 requirements. One-Part Non-acid Curing Silicone Sealant: Type 5, Grade NS, Class 25. One-Part Mildew-Resistant Silicone Sealant: Type 5, Grade NS, Class 25, Uses NT, G, A, and O, formulated with fungicide, intended for sealing interior joints with nonporous substrates exposed to high humidity and temperature extremes. Plastic Foam Joint-Fillers, Preformed, open-cell polyurethane foam. General: Comply with joint sealer manufacturer's instructions applicable to products and applications indicated.

**DIVISION 8 OPENINGS****-Green Recommendation:****Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

\*Reduced Envelope Leakage: meet the air leakage requirements shown below as tested by an energy rater:

Air Leakage Requirements (source: Leed for Homes Requirements, Table 17)

Lead Criteria	IECC Climate Zones 1-2	IECC Climate Zones 3-4	IECC Climate Zones 5-7	IECC Climate Zone 8
Reduced Envelope Leakage (Required)	7.0	6.0	5.0	4.0
Greatly Reduced Envelope Leakage	5.0	4.25	3.5	2.75
Minimal Envelope Leakage	3.0	2.5	2.0	1.5

General: Provide and install doors and windows in accordance w/ manufacturer's installation instructions. Comply w/ provisions of AAMA/NWMA 1011S.2; AAMA/NWMA 1011S.2/NAFS; ASTM E 330; and Sections R308, R310, R311, and R613 of the IRC.

Performance: Exterior windows and doors shall be designed to resist the design loads specified in Table R301.2(2) adjusted for height and exposure per Table R301.2(3).

Means of Egress: Not less than one exit door conforming to Sec.R311, MEANS OF EGRESS, shall be provided for each dwelling unit.

Windows debris protection: Protection of exterior windows and glass doors in buildings located in hurricane-prone regions from windborne debris shall be in accordance w/ Sec.R301.2.12.

**SECTION 08 14 00 - WOOD DOORS****-Green Recommendation:**

Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all door frames before installation to ensure they are installed plumb, true and level. Wall space around door frames shall be filled with insulation.

**Materials:**

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC.)

Manufacturers: Subject to compliance with NWDA 1.5.6, requirements, provide panel wood doors by one of the following:  
Korona, Inc.  
Morgan Products, Ltd.  
Nicoal Company  
Sauder Industries Limited, Door Division.  
F.E. Schumacher Co., Inc.  
Sun-Door-Co.

**-Green Recommended Manufacturers and Products:: (per BuildingGreen.com)**

Alamy Woodworks, Inc., Reclaimed-Wood Products

Algoma Hardwoods, Inc., Certified Wood Doors

Alternative Timber Structures, Inc., Interior and Exterior Doors

Crossroads Recycled Lumber, Reclaimed Wood Products

Eggers Industries, Certified Wood Doors

Executive Door Company, Recycled-Content Wood Doors

Marshallfield DoorSystems, Certified Stone Core Doors

Lynden Door, GreenDoor Agilityer Doors

VT Industries, Inc., Agilityer Core Architectural Doors

Exterior Doors: Assemble doors with "wet-use" adhesives, and comply with NWDA Premium or select Grade.

Wood Species: Fir, Plain sawn/sliced

Panel Configuration: Raised.

NWDA Design Group: 1-3/4" Front Entrance Doors (Exterior)

Interior Doors: Premium or Select.

Wood Species: Idaho White, Lodgepole, Ponderosa or Sugar Pine, plain sawn/sliced.

Panel Configuration: Raised

NWDA Design Group: 1-3/8" Interior Panel Doors.

Glazed Opening: Trim glazed openings with solid wood moldings of profile indicated, removable one side.

Transom and Side Panels: Fabricate panels to match adjoining doors in materials, finish and quality of construction.

Exterior doors: Factory-treat exterior doors after fabrication with water repellent to comply with NWDA 1.5.4. Finish top of out-swinging doors with manufacturer's standard metal flashing.

Install doors to comply with manufacturer's instructions, applicable requirements of referenced quality standard, and as indicated.

Align and fit doors in frames with uniform clearances and bevels. Machine doors for hardware. Seal cut surfaces after fitting and machining.

**SECTION 08 33 23 - OVERHEAD COILING DOORS****-Green Recommendation:****Materials:**

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Performance: Overhead Doors shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height and exposure in Table R301.2(3) of the IRC.

Sectional Overhead Doors: Provide complete automatic operating door assemblies including frames, sections, brackets, guides, tracks, counterbalance, hardware, operators, and installation accessories.

Wood Door Section for transparent finish: Panel-type door sections, complete with wood jamb and head mold, glazing stops and glazing, as shown. Sills and rails of clear, straight, kiln dried Douglas Fir, West Coast hemlock or Sitka spruce, not less than 1-3/4" thick. Use clear all heartwood, redwood or cedar for head and jamb molds. Panel inserts, 1/4" thick, smooth 2 sides, tempered hardboard with wood veneer, complying with ANSI 135.4 Class 1.

Fabricate doors of mortise and tenon or rabbeted construction with dowels, pins and waterproof glue. Treat doors, with 2-minute immersion water-repellent and toxic treatment. Provide continuous galv. steel reinforcing horizontal and diagonal, as required for panel size.

Installation: Set door, track and operating equipment complete with necessary hardware, jamb and head mold stops, anchors, inserts, hanger and equipment supports in accordance with mfrs. installation instructions.

Electric Door Operators: Automatic garage door openers, if provided, shall be listed in accordance w/ UL 325.

Provide size and capacity as recommended by door manufacturer, complete with NEMA approved electric motor and factory pre-wired motor controls, remote control station and accessories.

Provide safety edge device extending full width of door bottom.

Manufacturers:

**-Green Recommended Manufacturers: (per BuildingGreen.com)**

Real Carriage Door Company, Reclaimed-Wood Carriage Doors

Ankmar, LLC, CladPanel Garage Door

**SECTION 08 52 00 - WOOD WINDOWS****-Green Recommendation:**

Products with any sign of damage, mildew, and other contamination shall be rejected. Examine all window frames before installation to ensure they are installed plumb, true and level. Wall space around window frames shall be filled with insulation.

Follow minimum Energy Star Standards for Energy Performance Requirements outlined in the following table, whichever is more stringent:

ENERGY STAR Requirements for Window and Glass Doors (source: Leed for Homes Requirements, Table 18)

	Metric	Northern	North Central	South Central	Southern
Good Windows	U-factor	≤0.35	≤ 0.40	≤ 0.40	≤ 0.55
	SHGC	Any	≤ 0.45	≤ 0.40	≤ 0.35
Enhanced Windows	U-factor	≤ 0.31	≤ 0.35	≤ 0.35	≤ 0.55
	SHGC	≤ Any	≤ 0.40	≤ 0.35	≤ 0.33
Exceptional Windows	U-factor	≤ 0.28	≤ 0.32	≤ 0.32	≤ 0.55
	SHGC	≤ Any	≤ 0.40	≤ 0.30	≤ 0.30

(Table from Leed for Homes Rating System, Table 18, p. 63)

Install windows with low air leakage rates

-Less than 25 cfm per LF of sash opening for double hung windows

-Less than 10 cfm per LF for casement, awning and fixed windows

-Limit skylights to less than 3% WFA (window to floor area is the ration of window area to floor area.

**Materials:**

Wood: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Wood Veneer: Use FSC-certified sustainably harvested wood from well-managed forests and attain proper identification from vendor.

Veneer shall be manufactured in a facility approved by an agency accredited by the Forest Stewardship Council (FSC.)

Provide and install window units in configurations shown on drawings and in accordance with Federal, State, Local, & neighborhood guidelines.

Performance: Windows shall be designed to resist the design wind loads specified in Table R301.2(2) and as adjusted for height

and exposure in Table R301.2(3) of the IRC.

Provide units that comply w/ Sec. R308, Glazing and Sec. R613, Exterior Windows and Glass Doors, of the IRC.

Egress: Comply w/ requirements of Sec. R310 of the IRC regarding min. window openings required for emergency escape and rescue.

Comply with ANSI/NWMA "Industry Standard for Wood Window Units 1.5, 2-80" by National Woodwork Manufacturers Association (NWMA), except to extent more stringent requirements as indicated.

Manufacturers: Provide casement, awning or double hung true divided lite units as indicated on the plans: each operating sash equipped with pair of counter balancing mechanism, lift handle, latch at meeting rail, produced by one of the following:

Anderson Corp. Bayport.  
Caradaco Corp/Bendix, Rantoul, IL.  
Hurd Millwork, Flagstaff, AZ  
Marvin Windows, Harroard, MN  
Pella Windows, Pella, IA  
Weather Shield Mfg. Inc., Medford, WI

**-Green Recommended Manufacturer and Products: (per BuildingGreen.com)**

J.S. Benson Woodworking & Design, LLC- Certified Wood Windows

Jeld-Wen Windows & Doors, Nilmar Collection High Performance Windows

Loewen Windows, Heat Smart Window

Marvin Windows & Doors, High Performance Wood Windows

Milgard Manufacturing Inc., High Performance Windows

Paramount Windows, Inc., High Performance Wood Windows

Pella Corporation, Designer Series

Weather Shield Manufacturing Inc., High Performance Wood Windows

**SECTION 08 71 00 - DOOR HARDWARE**

Hardware Allowances: See Division 1 for amount and procedures for Allowance items. The costs of handling and installation are not covered by the allowance and shall be included in the base bid.

General Hardware Requirements: Submit final hardware schedule organized by "hardware sets", to indicate specifically the product to be furnished for each item required on each door.

Furnish template to fabricator of doors and frames, as required for preparation to receive hardware.

Install each hardware item to comply with manufacturer's instructions and recommendations.

Set thresholds for exterior doors in full bed of butyl-rubber or polysobutylene mastic sealant. Remove excess sealant and clean adjacent surfaces.

**SECTION 08 71 00.11 WEATHERSTRIPPING, THRESHOLDS, AND SEALS****-Green Recommendation:**

Shop priming recommended. All paints and stains to be low VOC and meet the standard of the Green Seal Standard GC-05. All sealants and adhesives to meet the standards of the South Coast Air Quality Management District Rule M16B.

Provide adequate weatherstripping to reduce envelope leakage as shown in table 1B above.

All exterior doors and doors to unheated spaces shall be weather-stripped. Provided aluminum interlocking thresholds with 3" x 3" aluminum angle finish strips, weatherstrip head and jambs with vinyl bulb set in aluminum strip, or approved equal.

Provide concealed, non-ferrous spring-metal or vinyl-gasket type, applied to each edge of each operable sash.

Fragless wood windows units with sealant and 1/8" float or sheet glass or clear fused-glass-edges insulating glass if shown on drawings.

Insect Screens: Manufacturer's standard removable units for each operable sash, or extruded aluminum framing, with 18 x 14 replaceable coated aluminum 0.013" wire mesh and vinyl retainer spline.

Shop Prime Coat Finish: Manufacturer's standard wood primer, FS TFP-2, applied to exterior-exposed surfaces only.

Installation: install units true and plumb and in accordance w/ Sec. R613 of the IRC and the manufacturer's installation instructions.

**DIVISION 9 FINISHES****-Green Recommendation:****Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

**SECTION 09 21 00 - GYPSUM BOARD**

General: All Gypsum board materials and accessories shall be installed in conformance w/ Sec. R102.3 and Table R102.3.5 of the IRC.

Application: Gypsum sheathing shall be attached to exterior walls in accordance w/ Table R602.3(1).

Interior gypsum board shall not be installed where it is directly exposed to the weather or to water.

Manufacturers: Subject to compliance with requirements, provide gypsum board of types indicated (in maximum lengths



**SECTION 09 14 00 - PAINTING****-Green Recommendations:**

**Materials:** Use only architectural paints and coatings that meet the standards below:

<i>Standards for Environmentally Preferable Paints and Coatings (source: Lead for Homes Requirements, Table 25)</i>		
Component	Applicable Standard (VOC Content)	Reference
Paints, coatings, and primers applied to interior walls and ceilings	Plats: 50g/L Nonflats: 150g/L 250g/L	Green Seal Standard GS-11, Paints, 1 <sup>st</sup> Edition, May 26, 1993
Anticorrosive and anti-rust paints applied to interior ferrous substrates		Green Seal Standard GC-03, Anti-Corrosive Paints, 2 <sup>nd</sup> Edition, Jun.7, 1997
Clear wood finishes	Varnish: 350g/L Lacquer: 350g/L 100g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Floor coatings		South Coast Air Quality Management District Rule 1113, Architectural Coatings
Sealers	Waterproofing: 250g/L Sanding: 275g/L All others: 200g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Shellacs	Clear: 730g/L Pigmented: 850g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings
Stains	250g/L	South Coast Air Quality Management District Rule 1113, Architectural Coatings

Surface preparation, prime and finish coats specified are in addition to shop-prime and surface treatments.

Paint exposed surfaces whether or not colors are designated in 'schedules,' except where a surface or material is indicated not to be painted or is to remain natural. Where an item or surface is not mentioned, paint the same as similar adjacent materials or surfaces.

Samples for verification purposes: Submit samples of each color and material to be applied, with texture to simulate actual conditions, on representative samples of the actual substrates: define each separate coat, including block fillers and primers. Use representative colors when preparing samples for review. Resubmit until required sheet, color, and texture is achieved.

Single Source Responsibility: Provide primer and undercoat paint produced by the same manufacturer as the finish coats.

Final acceptance of colors will be from job applied samples.

Material Quality: Provide the manufacturer's best quality paint material of the various coating types specified. Paint material containers not displaying manufacturer's product identification will not be acceptable.

Acceptable Manufacturers:

Pittsburgh Paints  
Porter Paints  
Benjamin Moore Paints  
Duron Paints  
Sherwin-Williams Co.

**-Green Recommended Manufacturers and Products:**

Sherwin Williams Co, Harmony  
Benjamin Moore, Pristine Eco Spec.  
Pittsburgh Paints, Pure Performance

Examine substrates and conditions under which painting will be performed for compliance with requirements. Do not begin application until unsatisfactory conditions have been corrected.

Preparation: Remove hardware and accessories, plates, machined surfaces, lighting fixtures, and items in place that are not to be painted, or provided protection prior to surface preparation and painting. Remove items if necessary for complete painting of the items and adjacent surfaces. Following completion of painting, reinstall items removed using workmen skilled in the trades involved.

Clean surfaces before applying paint or surface treatments. Schedule cleaning and painting so dust and other contaminants will not fall on wet, newly painted surfaces.

Surface Preparation: Clean and prepare surfaces to be painted in accordance with manufacturer's instructions for each particular substrate condition.

Application: Apply paint in accordance with manufacturer's directions. Use applicators and techniques best suited for substrate and type of material being applied. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film.

Minimum Coating Thickness: Apply material at the manufacturer's recommended spreading rate. Provide total dry film thickness of the system as recommended by the manufacturer. Apply additional coats when undercoats or other conditions show through final coat, until paint film is of uniform finish, color and appearance.

Paint colors, surface treatments, and finishes are determined by the Owner if not otherwise indicated on the drawings.

**DIVISION 10 SPECIALTIES****-Green Recommendation:****Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

**SECTION 10 28 14 -TUB AND SHOWER DOORS:**

Shower enclosures (unless otherwise shown on the drawings): Provide aluminum-framed 3/16" tempered glass, or approved shatterproof laminated safety glass or plastic. Provide sliding panels with towels bars. All enclosures shall be minimum height of 6'0" above finish floor.

**DIVISION 11 EQUIPMENT****-Green Recommendation:**

Install High-Efficiency Appliances that meet or exceed ENERGY STAR standards and have an ENERGY STAR label.

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Equipment Allowances: See Division I for amount and procedures for purchase and payment (overnun and underrun). The costs of handling and installation of appliances are not covered by the allowances and shall be included in the base bid. General: Installation of appliances shall conform to the conditions of their listing and label and the manufacturer's installation instructions.

See Mechanical System Requirements, Chapter 13, Sec. M107, APPLIANCE INSTALLATION, of the IRC.

Verify all rough-in dimensions for all built-in appliances.

Residential equipment required is indicated on drawings. Include cords, valves, duct hoods, vents, as required for a complete installation.

**DIVISION 12 FURNISHINGS****-Green Recommendation:****Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

Use products with low emissions.

Use recycled or reclaimed products.

**SECTION 12 35 30 - RESIDENTIAL CABINETS**

Cabinet Allowances: See Division I for amount and procedures for purchased and payment (overnun or underrun). The costs of handling and installation including hardware and drawer pulls are covered by the allowance. Sizes, Shapes and Types: Provide the sizes and types of units as shown, complete with drawers, doors, shelves, compartments for appliances and fixtures, and special features as indicated.

Installation: Anchor cabinet units securely in place with concealed (when doors and drawers are closed) fasteners, anchored into structural support members of wall construction. Comply with manufacturer's instructions and recommendations for support of units.

Counter Tops: Attach counter tops securely to base units. Spline and glue joints in counter tops: provide concealed mechanical clamping of joint. Provide cut-outs for fixtures and appliances as indicated: smooth cut edges and coat with waterproof coating or adhesive.

Complete hardware installation and adjust doors and drawers for proper operation.

**DIVISION 22 PLUMBING****Green Recommendation:****Environmentally Preferable Products:**

Use local products when possible (extracted, processed and manufactured within 500 miles of project).

**Water Reuse:**

Design and install a rainwater harvesting and storage system for landscape irrigation or indoor water use. The storage system must be sized to hold all water from a 14 rain event. Design and install a graywater reuse system with a tank or dosing basin for landscape irrigation use or indoor water use. Graywater can be collected from clothes washer, shower, faucets and other source. If available, utilize a municipal recycled water system.

**Fixtures:**

Use high efficiency fixtures and fittings:

Faucets: average flow rate must be ≤ 2.0 gpm (gallons per minute).

Showers: average flow rate must be ≤ 2.0 gpm (gallons per minute).

Toilets: average flow rate must be ≤ 1.5 gpm (gallons per minute) or meet ASME A12.14.14 requirements or meet the U.S. EPA WaterSense Spec.

Use dual flush toilets when possible.

**Efficient Systems:**

Design and install an energy-efficient hot water distribution system.

Insulate all hot water piping with R-4 insulation and ensure the 90 degree elbow bends are adequately insulated.

Design and install Energy-efficient Domestic Hot Water(DHW) Equipment.

Soil and Waste Piping: Shall be approved P/V/C extending 5'0" beyond exterior wall. Vent piping shall be approved P/V/C. All vent piping penetrating roof shall be properly flashed with G.I. roof jacks and painted to match roof. Where possible, route all vents to rear side of ridges or to the least visible location.

Clean-outs: Provide cleanout at 5'0" o.c. at end of all branched section, at change of direction at base of all accessible traps and at all points necessary to remove obstructions. Clean-outs shall be set flush with walls, floors and or grades.

Plumbing Fixtures and Equipment: Furnish all fixtures, complete with all compression stops, strainers, tailpieces, trim, etc. All exposed brass tubing supplies, cast brass traps, and waste pieces shall be polished chrome plated. Finish all piping through walls, floors or ceiling with chrome plated wall flanges or escutcheons.

Hot and Cold Water Piping: Water piping shall be copper or approved equal. Tubing under or within concrete slab shall be type "K" tubing above slab shall be type L. No fittings shall occur under slab. Connections between copper and ferrous piping shall be made with dielectric or approved isolation fittings. Provide 150 psi hydrostatic test on all water piping system prior to covering.

Gas Piping: Shall be installed in accordance w/ Chapter 24, Fuel Gas, IRC.

Water Heaters: Provide temperature/pressure relief valve within 6' from top of heater and pipe to exterior of building using copper or steel piping (plastic not allowed). Water heaters shall be installed with minimum 6" unobstructed clearance at front and 2" at sides and rear. When installed in garage, place on raised platform 18" above finished floor. (Refer to heating Section for combustion air requirements.)

**Miscellaneous Plumbing Items:**

Washer sub-outs: Provide hot and cold water and drain at washer locations. Locate as required to conceal from view after appliance is installed.

Hose Bids: Furnish and install as shown on the drawings. If not shown, provide minimum of 2 Hose Bids.

Provide capped tees for lawn sprinkler connections. Install hose bibs as tight to exterior wall as connections allow. Through penetrations: Piping penetrating fire-resistance-rated wall or floor assemblies shall comply w/ Sec. R317.3 of the IRC.

Isolate hot and cold water lines from the framing with 1/4" thick felt, carpet padding or equal.

The wall cavity containing water piping or plastic waste and vent lines must be packed solid with open-faced insulation (sprayed-on cellulose okay).

Common supply or waste line connections passing through sound separations are prohibited.

**DIVISION 23 HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)****-Green Recommendation:****General Design:**

\*Design and size HVAC equipment properly according to ACCA Manual J, the ASHRAE Handbook of Fundamentals or equivalent procedure. HVAC equipment must meet the ENERGY STAR for Homes National Builder Option Package outlined in table below. Install certified and labeled ENERGY STAR programmable thermostat.

<i>HVAC Requirements - (source: Lead for Homes Requirements, Table 19)</i>					
	End Use	Central AC and air-source heat pumps	Furnaces (gas, oil or propane)	Boilers (gas, oil or propane)	
*Good HVAC Design and Installation (Climate Zones 4-8)	Cooling Heating	≥ 13 SEER ≥ 8.2 HSPF	≥ 90 AFUE	≥ 85 AFUE	
*Good HVAC Design and Installation (Climate Zones 1-3)	Cooling Heating	≥ 14 SEER ≥ 8.2 HSPF	≥ 80 AFUE	≥ 80 AFUE	
					Ground Source Heat Pump-closed loop
					Ground Source Heat Pump-closed loop
					Ground Source Heat Pump-direct expansion

**Air Conditioning Refrigerants:**

\*Conduct a Refrigerant Charge Test to ensure performance.

Install an HVAC system with non-HFC refrigerants or do not use refrigerants.

**Indoor Air Quality:**

Complete all the requirements of the US EPA's Energy Star w/ Indoor Air Package.

Combustion Venting- All of the following are required:

\*No unvented combustion appliances to be used,\*a carbon monoxide monitor must be installed on each floor, \*all fireplaces and woodstoves must have doors,\*space and water heating equipment that involves combustion must be closed, have a power vented exhaust, or located in a detached utility or open air facility.

Use a blower-door test to measure the pressure difference created by the presence of a chimney-vented appliance and limit the risk of backdrafting where the pressure difference is ≤ 5 Pascals.

**Forced Air Systems:**

\*Minimize energy consumption due to thermal bridges and/or leaks in the heating and cooling system. Limit duct leakage rate to outside the conditioned envelope. The tested leakage rate must be ≤ 4.0 cfm at 25 Pascals per 100 square feet of conditioned floor area for each installed system.

\*Ducts to be installed in interior walls and to be fully ducted. If installed in exterior walls, extra insulation is needed to maintain the overall UA for an exterior wall without ducts.

\*Minimum R-6 insulation to be used around ducts in unconditioned spaces.

\*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of Fundamentals for ducted and non-ducted systems and install ducts accordingly.

Assure each room has adequate return air flow through multiple returns, transfer grilles or jump ducts. Openings should be sized to 1 square inch of cfm of supply and pressure differential between closed rooms and adjacent spaces should be less than 2.5 Pascals.

Use Anti-stratification system when possible, that re-circulates hot air that has risen to upper areas into lower areas.

**Nonducted HVAC Systems**

\*Use at least R-3 insulation around distribution pipes in unconditioned spaces. (If possible, keep the boiler and distribution pipes in conditioned space.)

Install outdoor reset controls based on outdoor air temperature.

\*Conduct Room by Room load calculations per ACCA Manuals J and D, or ASHRAE Handbook of Fundamentals for ducted and non-ducted systems and install ducts accordingly.

Design and install flow control valves on every radiator of Hydronic systems for a room by room system or install two distinct zones with independent thermostat controls.

**Moisture Control:**

Maintain relative humidity below 60% with additional dehumidification equipment or a central HVAC system with additional controls to operate in dehumidification mode.

\*Install nonpaper-faced backer board on walls around tub, showers and spa areas

\*Use water resistant flooring in kitchens, bathrooms, laundry rooms, entry areas within 3' of exterior door and spa areas; do NOT use carpet

\*Install drain and drain pan in hot water heater if it is in or over living space

\*Install drain and drain pan, or accessible single-throw supply valve to clothes washer if it is in or over living space.

\*Exhaust dryer directly to outdoors

\*Install drain and drain pan to condensing clothes dryer

**Outdoor Air Ventilation**

\*Design and install a whole building ventilation system that complies with ASHRAE Standard 62.2-2007 (unless built in a mild climate (fewer than 4500 infiltration degree-days)).

**Local Exhaust:**

\*Design and install local exhaust systems in all bathrooms and kitchens to meet requirements of ASHRAE Standard 62.2-2007 Section 5.

\*Design and install the fans and ducts to meet requirements of Section 7 of ASHRAE Standard 62.2-2007.

\*Exhaust air directly to the outdoors

\*Use Energy Star labeled bathroom exhaust fans.

Use an occupancy sensor, an automatic humidistat controller, an automatic timer or a continuously operating exhaust fan for bathrooms.

**Air Filtering**

\*Install air filters ≥ MERV 8 for forced air systems and nonducted HVAC systems. Maintain adequate pressure and air flow in all mechanical ventilation systems.

**Contaminant Control**

Seal all permanent ducts and vents to minimize contamination during construction and remove seals after construction is complete.

Flush the home for 48 hours prior to occupancy but after all phases of construction are completed.

**Radon Protection**

If located in EPA Radon Zone 1, design and build with radon-resistant construction techniques prescribed by the EPA, IRC or equivalent standard.

**Garage Pollutant Protection**

\*No HVAC systems in garage; place all air-handling equipment and ductwork outside the fire-rated envelope of garage. When possible, detach garage completely from house.

Tightly seal shared surfaces between garage and conditioned spaces. --If space is above garage: seal all penetrations, seal all connecting floor and ceiling joist bays, and paint wall and ceilings to avoid carbon monoxide penetration through gypsum board. If space is adjacent to garage: weather-strip all doors, place carbon-monoxide detectors in rooms adjacent, seal all penetrations and seal all cracks at base of the walls.

Install an exhaust fan in garage rated for continuous operation.

Installation: Heating and Cooling equipment and appliances shall be installed in accordance w/ the IRC and the manuf. installation instructions.

Access: Equipment shall be located w/ respect to building construction and other equipment tp permit maintenance, servicing and replacement.

Clearances shall be maintained to permit cleaning of heating and cooling surfaces: replacement filters, blowers, motors, controls and vent connections; lubrications of moving parts; and adjustments.

Sizing: Heating and Cooling equipment shall be sized based on building loads calculated in accordance w/ ACCA Manual J or other approved heating and cooling calculations methodologies.

Flood Hazard: In areas prone to flooding as established by Table R301.2 of the IRC, heating and cooling equipment and appliances shall be located or installed in accordance w/ Sec. R323.1.5 of the IRC.

Duct Design: Duct systems serving heating, cooling and ventilation equipment shall be fabricated in accordance w/ the provisions of Chapter 16, of the IRC and ACCA Manual D or other approved methods.

Venting Required: Fuel-burning appliances shall be vented to the outside in accordance w/ their listing and label and manufacturer's installation instructions except appliances listed and labeled for unvented use. Venting systems shall consist of approved venting systems that are integral parts of labeled appliances.

Gas-Fired appliances shall be vented in accordance w/ Chapter 24 of the IRC.

Electrical distribution systems shall comply w/ Part VIII, Chapters 33 through 42, of the IRC; the NEC, and NFPA 70.

Materials: Materials and equipment shall be new and listed by Underwriter's Laboratories, Inc., and all work shall conform with the requirements of the National Electrical Code and NFPA 70.

Circuits: Electrical system layouts are generally diagrammatic and location of outlets and equipment is approximate.

Exact location of outlets and circuiting shall be governed by structural conditions and obstructions as well as applicable sections of the NEC.

- Lighting Circuits: 15 AMP with #14 AWG conductors (120V).
- Receptacle Circuits: 20 AMP with #12 AWG conductors (120).
- Provide 2 separate appliance circuits at kitchen, 20 AMP with #12 AWG conductors (120).

Convenience Receptacles: Shall be placed maximum 12'-0" on centers along room perimeter and Maximum 6'-0" from end walls, and at all furnishable walls exceeding 2'-0" from end wall, and at all furnishable walls exceeding 2'-0" in length.

- All receptacles shall be grounded type.
- Locate receptacles 6" above floor and countertops, unless otherwise noted.
- Install 240V receptacles where noted on the drawings.
- All switched receptacles shall be one half hot.

**DIVISION 26 ELECTRICAL****-Green Recommendation:****Lighting:**

\*Install at least four Energy Star labeled light fixtures or Energy Star labeled compact fluorescent light bulbs in high use rooms.

Install Energy Star labeled fixtures wherever possible.

**Renewable Energy:**

Design and install a renewable electricity generation system by using energy modeling to estimate the energy supplied by the system and the annual reference electrical load. The annual reference load is the amount of electricity that a typical home would consume in a given year and can be calculated by using the 2006 Mortgage Industry National Home Energy Rating Standards Guidelines. Home design should be at least 3% better than annual reference load.

Light Switch: Located at 48" above finish floor and 8" above counter tops, unless otherwise noted. Verify counter height w/ Owner.

System Grounding: Provide accessible junction box and necessary conductors for grounding main electrical system in accordance w/ Sec. E3507.1 of the IRC and Sections 250.20(b)(1) and 250.24(a).

Smoke Detectors: Provide approved smoke detector and alarm system conforming to UBC Standard 45-6 at locations shown on the drawings.

Aluminum wire shall not be used in electrical wiring within the dwelling unit.

All equipment installed outdoors and exposed to weather shall be "weather-proof"

Provide a separate 20 ampere laundry circuit.

Provide ground fault circuit interrupter (GFI) protection at all bathrooms, powder rooms, outdoor receptacles and garages

in accordance w/ Sec. E3802 of the IRC.

Verify minimum flood elevation prior to placement of devices, equipment, and appliances.

**DIVISION 31 EARTHWORK****-Green Recommendation:****Site Selection:**

Do not develop, build or pave on portions of site that meet the following criteria:

- land that is at or below the 100-year floodplain (as determined by FEMA).
- land that is named a habitat for any endangered or threatened species (as determined by state or federal agencies).
- land that is within 100 feet of water

Build on a previously developed lot if possible, or on a site that is adjacent to a previously developed site.

Select a lot that is within ½ mile of existing infrastructure (water and sewer lines).

Select a lot that is within ½ mile of open space accessed by the public or private community.

Build homes with an average housing density of 7 or more dwelling units/acre, or a single home on 1/4 acre.

**Building Orientation for Solar Design:**

Site the building so that the glazing area on the north and south facing walls is at least 50% greater than the sum of the glazing area on the east and west walls.

Orient the building so that the east-west axis of the building is within 15 degrees of due east and due west.

The roof south-facing area should have a minimum of 450 sq. ft. of area oriented properly for solar applications.

**Site Stewardship:**

\*Implement a plan of erosion control during construction to include:

- stockpile and protect disturbed topsoil from erosion.
- control the path and velocity of runoff with silt fencing or other measures.
- protect on-site storm sewer inlets, streams and lakes with straw bales, silt fencing, or other measures.
- provide swales to divert surface water from hillsides.
- in sloped areas, keep soil stabilized on sloped areas by using tiers, erosion blankets, compost blankets or other measures.

Protect trees and plants with "tree protection area" fence delineated on site plan and on lot.

Only develop and disturb necessary amount of site; leave as much undisturbed as possible.

**Landscaping:**

\*Use native plants: do not introduce invasive plant species into landscape.

Use drought tolerant plants and turf or install irrigation system to reduce water usage.

Do not use turf in areas with a slope of 25% or more or in densely shaded areas. If possible, limit the use of turf.

**Heat Island Effects:**

Locate trees and other plants to shade hardscape areas.

Use light-colored high-albedo materials to pave sidewalks, patios and driveways. Examples include white concrete, light gray concrete, open pavers and/or any material with a SRI index of at least 24.

**Surface Water Management:**

Use retaining walls and terracing for permanent erosion control on steep slopes.

Use permanent stormwater controls such as vegetated swales, on-site rain gardens, dry wells, or rainwater cisterns designed to manage runoff from home. If feasible in design, install a vegetated roof for at least ½ the roof area.

Use permeable materials such as pavers, turfstone, gravel and others for driveway and patios.

All earthwork shall be performed in accordance with applicable standards enforced by jurisdiction of which the project is located.

Earthwork shall be performed in accordance with recommendations contained in the soils report provided by the Owner, if applicable.

The soils report shall be considered as part of the construction documents. Refer to foundation plan and details for specific requirements.

All footings shall bear on firm, fully compacted, natural soil or on approved compacted fill. All imported soil shall be acceptable to the Soils Engineer. Sub-grade failing to meet compaction requirements shall be re-compacted and tested until specified results are achieved at no additional expense to Owner. Refer to Civil Engineer's grading and plot plans. Refer to the Landscape Architect's grading and construction documents for fine grading.

All finish grades shall be placed so as to provide positive drainage away from the building.

**SECTION 31 31 16 - TERMITE CONTROL****-Green Recommendation:**

Implement one or more of the following measures below.

- Keep all wood (ie, siding, trim, structure) at least 12 inches above soil.
- Seal all external cracks, joints, penetration, edges, and entry points with caulking. Where openings cannot be caulked or sealed, install rodent and corrosion proof screens (e.g, copper or stainless steel mesh).



1.0 LANDSCAPE NOTES

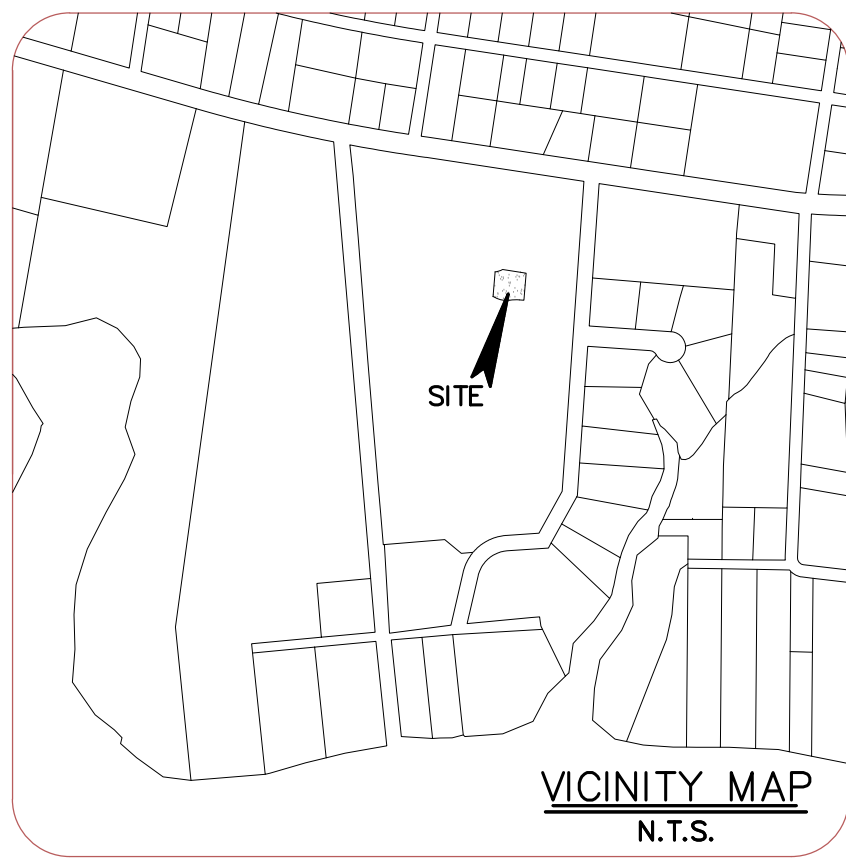
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2.0 TREE PROTECTION

- 2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 2.2 MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
- 2.3 VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT OR OWNER.
- 2.4 ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
- 2.5 NO CUTTING OR FILING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT OR THE OWNER.
- 2.6 NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

3.0 GRADING NOTES:

- 3.1 DRY WELL SYSTEM TO BE PROVIDED BY NDS FLO-WELL. ALL CALCULATIONS WERE BASED ON THE FLO-WELL SYSTEM, UTILIZING A 25-YEAR STORM AT 2.5 IN/HR.
- 3.2 FLO-WELL SYSTEM TO HAVE 24" MIN. OF 3/4" TO 1-1/2" CLEAN GRAVEL BACKFILL BENEATH EACH CHAMBER AND IN BETWEEN EACH WELL.
- 3.3 PROVIDE SURFACE DRAIN INLET WITH GRATE AT LOW POINT.
- 3.4 INSTALL FLO-WELL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS AND VERIFY HEIGHT OF WATER TABLE PRIOR TO INSTALLATION.



**KOONTZJONESDesign**  
LAND PLANNING | LANDSCAPE ARCHITECTURE

150 SOUTH PACE STREET  
SOUTHERN PINES, NC 28387  
P: (910) 684-8487  
W: www.koontzjonesdesign.com

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:



**LOT AREA:**  
±16,828 SF (0.38 AC)

DRAIN INLET ELEVATIONS	
DI #1	24.17
DI #2	24.50
DI #3	24.00

IMPERVIOUS CALCULATIONS		
HOUSE/GARAGE FOOTPRINT	±3,118 SF	
DRIVE & WALKS	±1,965 SF	
<b>TOTAL:</b>	<b>±5,083 SF</b>	(30% IMPERVIOUS)

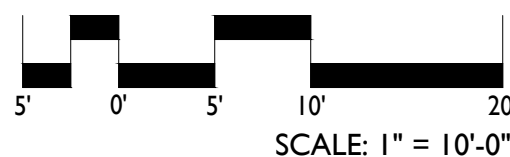
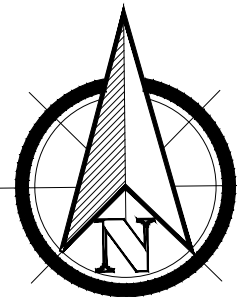
LEGEND:

- 20' WOK TREE TO REMAIN
- ✗ 20' WOK TREE TO BE REMOVED
- 6" CORRUGATED DRAIN PIPE
- DI 3 RIM 13.9 YARD DRAIN INLET (SEE DETAIL 1 / L1.1)
- PPD3 PLANTBED DRAIN INLET (SEE DETAIL 2 / L1.1)
- DRY WELL BASIN (TYP)
- TREE PROTECTION FENCING
- TREE CANOPY

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

- SPOT ELEVATION
- CONTOUR
- 1/2" IPF 1/2" IRON PIN FOUND FOUND
- TBM TEMPORARY BENCH MARK
- FFE FINISHED FLOOR ELEVATION
- LO LIVE OAK
- LA LAUREL OAK
- MAG MAGNOLIA
- RO RED OAK
- WIL WILLOW
- WO WATER OAK
- MAP MAPLE
- GUM GUM
- ELECTRIC SERVICE
- TELEPHONE SERVICE
- WATER METER
- IRRIGATION CONTROL VALVE
- SANITARY MANHOLE
- PIPELINE MARKER
- CATCH BASIN
- CLEANOUT
- WELL PUMP



**HINTZ RESIDENCE**  
LOT 38, STOCK FARM SUBDIVISION  
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA  
GRADING AND DRAINAGE PLAN

DATE: 2024-09-11  
DESIGNED BY: SCW  
CHECKED BY: TH  
Q.C. BY: TH  
SCALE: 1"=10'  
PROJECT #: KDI672  
SHEET NUMBER:  
**L-1.0**





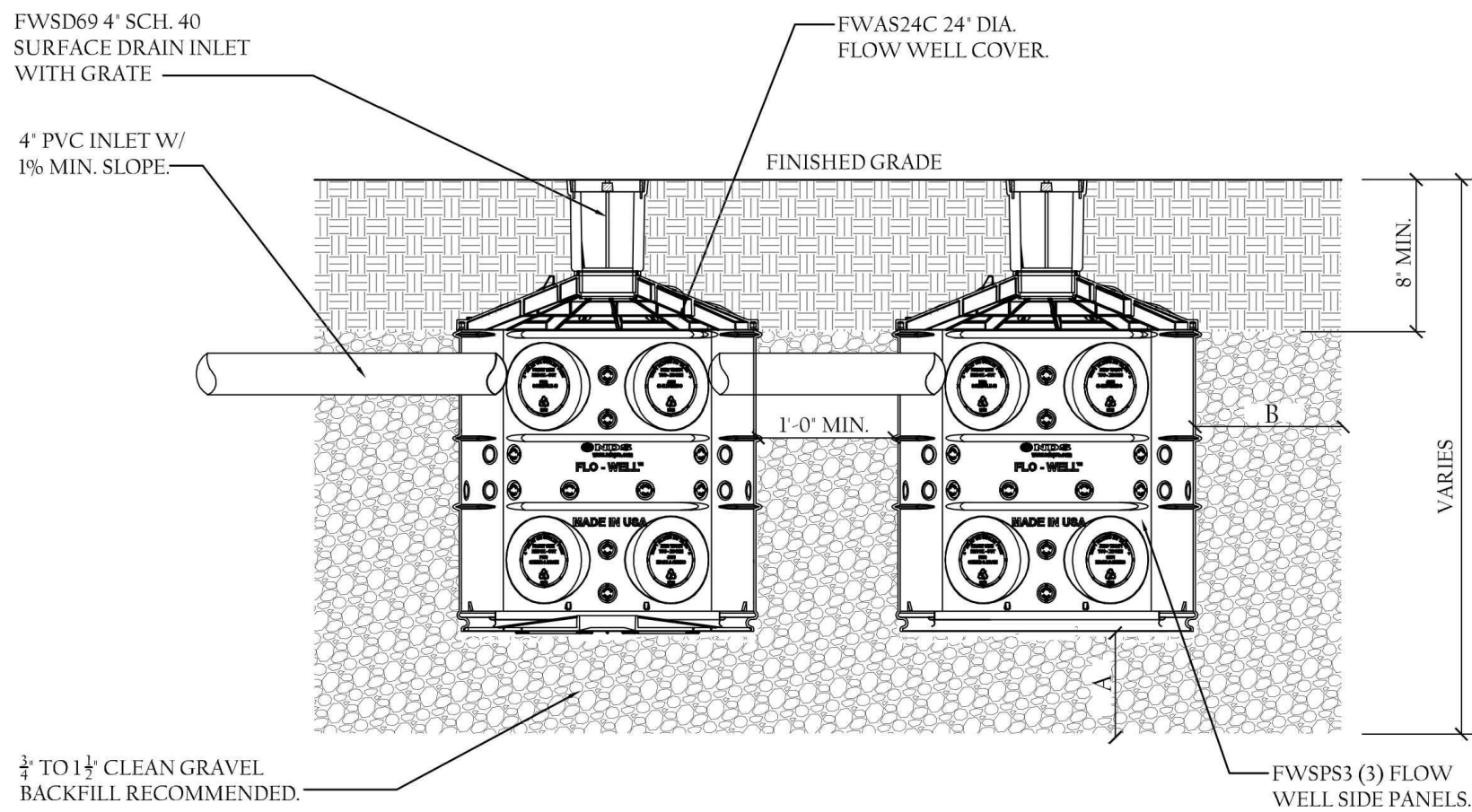
MODEL:  
MANUFACTURER: NDS  
MODEL: 12" SQUARE CATCH  
BASIN GRATE - PN #1211  
COLOR: BLACK  
MATERIAL: HDPE  
(OR APPROVED EQUAL)  
  
NOTE:  
1. SEE GRADING PLAN FOR LOCATIONS.



MODEL:  
MANUFACTURER: NDS  
MODEL: 9" SQUARE ATRIUM GRATE  
COLOR: BLACK  
  
NOTE:  
1. SEE GRADING PLAN FOR LOCATIONS.

1 12" SQUARE DRAIN GRATE  
NTS

2 9" ATRIUM GRATE (PLANTBED)  
NTS



3 FLO-WELL ENGINEERED DRY WELL BY NDS  
NTS



DATE: 2024-09-11  
DESIGNED BY: SCW  
DRAWN BY: SCW  
CHECKED BY: TH  
O.C. BY: TH  
SCALE: N/A  
PROJECT #: KDI672  
SHEET NUMBER#:  
**L-1.1**

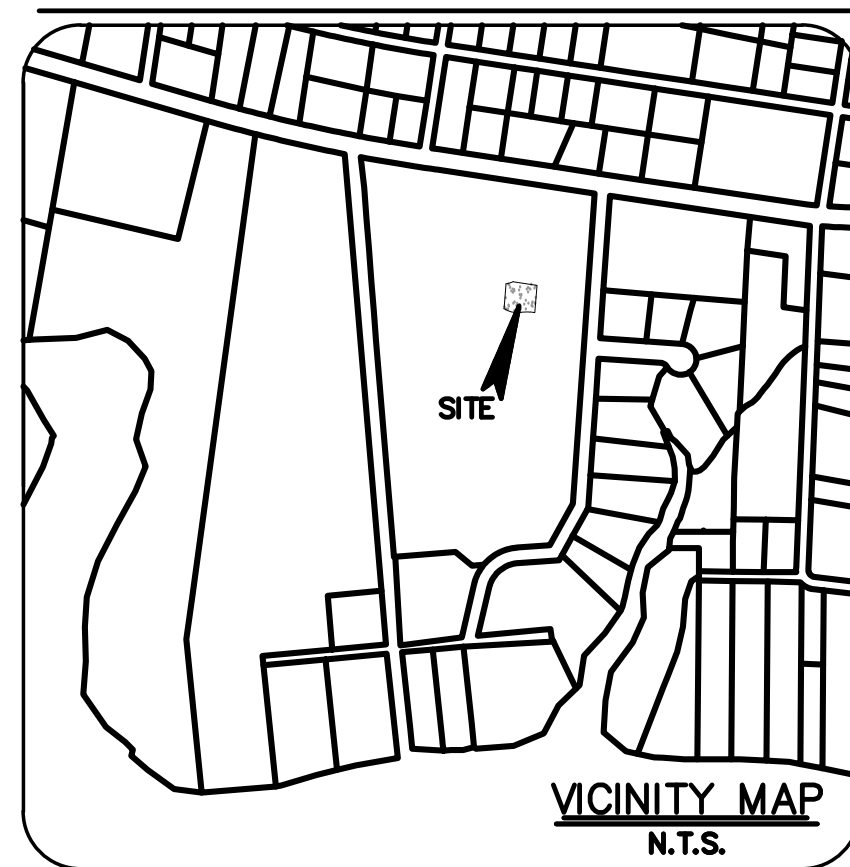
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**GRADING AND DRAINAGE PLAN**

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### 2.0 TREE PROTECTION

2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

2.2 MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.

2.3 VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT OR OWNER.

2.4 ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

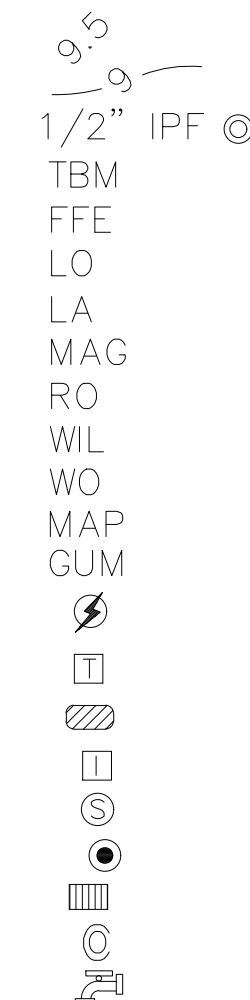
2.5 NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT OR THE OWNER.

2.6 NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

### REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

### LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER



SPOT ELEVATION  
CONTOUR  
1/2" IRON PIN FOUND FOUND  
TEMPORARY BENCH MARK  
FINISHED FLOOR ELEVATION  
LIVE OAK  
LAUREL OAK  
MAGNOLIA  
RED OAK  
WILLOW  
WATER OAK  
MAPLE  
GUM  
ELECTRIC SERVICE  
TELEPHONE SERVICE  
WATER METER  
IRRIGATION CONTROL VALVE  
SANITARY MANHOLE  
PIPELINE MARKER  
CATCH BASIN  
CLEANOUT  
WELL PUMP

<b>CANOPY TREES (8"-12" CALIPER TREES REMOVED)</b>
(3) LAUREL OAK (3) MAGNOLIA (7) WATER OAK (2) LIVE OAK (1) BLACK GUM
<b>(19) TREES REMOVED</b>
<b>CANOPY TREES (12"-18" CALIPER TREES REMOVED)</b>
(11) LAUREL OAK (4) WATER OAK (11) BLACK GUM (1) DEAD UNIDENTIFIED
<b>(7) TREES REMOVED</b>
<b>CANOPY TREES (18"-24" CALIPER TREES REMOVED)</b>
(1) LAUREL OAK
<b>(1) TREE REMOVED</b>
<b>(27) TOTAL TREES REMOVED OVERALL</b>
<b>CANOPY TREES (PROPOSED)</b>
(6) 6" MIN. CAL. LIVE OAK -COUNTED AS 12 REPLACEMENT TREES (3 EACH) (8) 2.5" MIN. CAL. LITTLE GEM MAGNOLIA -COUNTED AS 5 REPLACEMENT TREES (1 EACH) (2) 2.5" MIN. CAL. SABAL PALM -COUNTED AS 5 REPLACEMENT TREES (1 EACH)

**SITE IMPERVIOUS:**  
TOTAL LOT SQ. FT.: 16,828 SQ. FT.  
SQ. FTG. OF IMPERV.: 5,083 SQ. FT.  
% OF IMPACT: 30%

<b>LEGEND:</b>
TREE CANOPY

### REFERENCE PLAT

1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT

SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000,  
& TMS R610 039 000 0291 0000, TOWN OF BLUFFTON,  
BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 4/30/08

RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08  
ROD. BEAUFORT COUNTY, SC

BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 Sq. Ft.

ADDRESS: 5783 YAUPON ROAD

DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X

BASE FLOOD ELEVATION = N/A

COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021  
NOTES:

- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
- VERTICAL DATUM IS NAVD88.
- CONTOUR INTERVAL IS 1'
- USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
- BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
- THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
- IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
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THIS DOCUMENT ORIGINALLY ISSUED AND  
SEALED BY JUSTIN R. KESSELRING S.C.R.L.S. # 29901  
THIS ELECTRONIC MEDIA SHALL NOT BE  
CONSIDERED A CERTIFIED DOCUMENT.  
A CERTIFIED HARDCOPY MAY BE OBTAINED FROM  
NANDINA, INC. UPON REQUEST



d.b.a. Sea Island Land Survey, Inc.

10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926

Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: admin@nandinainc.com

FILE No.: 23169

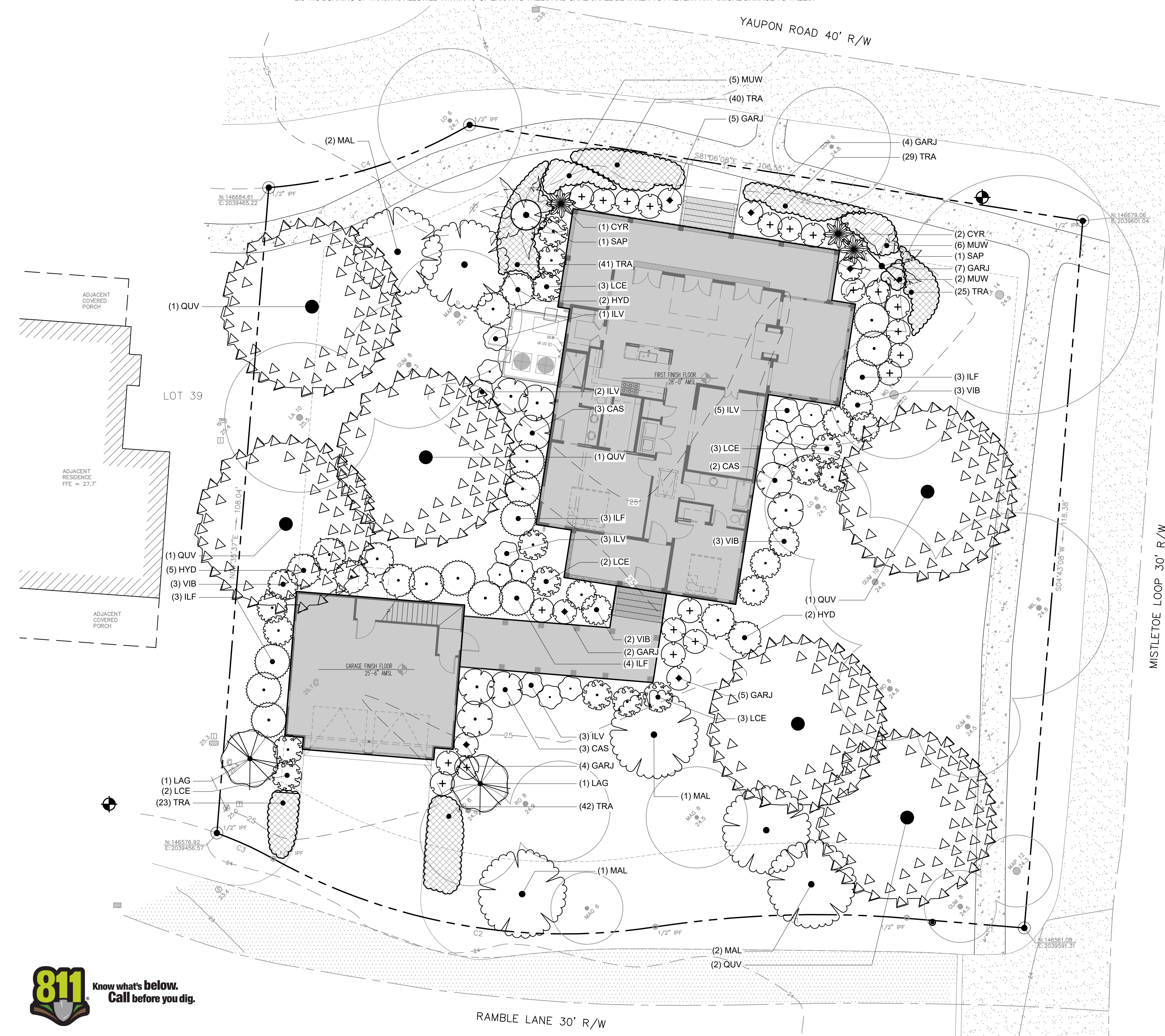
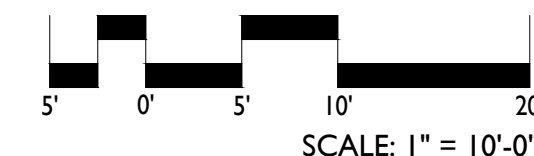
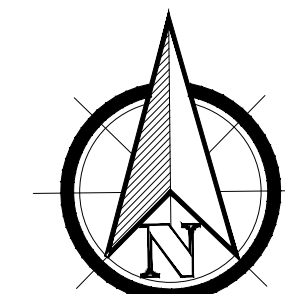
DWG No.: 9-23169

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CAD: CG, FL, DB





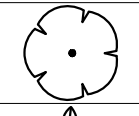
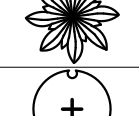
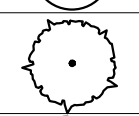
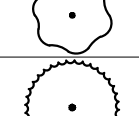
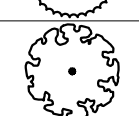
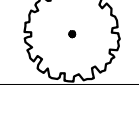
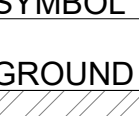
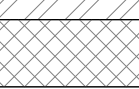


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	42.17'	180.00'	21.18'	42.07'	S88°00'26"W	013°25'23"
C2	65.87'	100.00'	34.18'	64.69'	S79°50'05"E	037°44'27"
C3	10.29'	65.00'	5.16'	10.28'	N65°30'02"W	009°04'13"
C4	35.42'	78.00'	18.02'	35.12'	N72°39'48"E	026°01'05"

LINE TABLE		
LINE	LENGTH	BEARING
L1	19.73'	N85°16'52"W





PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	CAL.	NOTES
TREES								
	QUV	6	Quercus virginiana / Southern Live Oak	8-10'	6-8'	-	6" CAL.	Specimen - Natural Form
	SAP	2	Sabal palmetto / Sabal Palm	10-12'	-	-	2.5" MIN.	
SMALL TREES								
	LAG	2	Lagerstroemia indica x fauriei 'Tonto' / Tonto Crape Myrtle Multi-Trunk	8-10'	6-8'	-	-	
	MAL	6	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	6-8'	-	-	2.5" MIN.	Full to base
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
SHRUBS								
	CAS	8	Camellia sasanqua 'Yuletide' / Yuletide Camellia	36" min.	30-36"	7 Gal.	-	
	CYR	3	Cycas revoluta / Japanese Sago Palm	30-36"	30-36"	container	-	
	GARJ	27	Gardenia jasminoides 'August Beauty' / Gardenia	24-36"	-	container	-	
	HYD	9	Hydrangea quercifolia / Oakleaf Hydrangea	30-36"	-	5 GAL.	-	
	ILV	14	Ilex vomitoria 'Stokes Dwarf' / Stokes Dwarf Yaupon Holly	3 GAL.				
	ILF	13	Illicium floridanum / Florida Anise	36"-42"	-	container		
	LCE	13	Loropetalum chinense 'Ever Red Sunset' / Ever Red Sunset Loropetalum	24-30"	24-30"	container	-	
	VIB	11	Viburnum suspensum / Sandankwa Viburnum	30-36"	30-36"	container		
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONTAINER	SPACING	NOTES
GROUND COVERS								
	MUW	13	Muhlenbergia capillaris 'White Cloud' / White Muhly Grass	8-12"	6-10"	container	36" O.C.	
	TRA	200	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	6-8"	18" runners	container	18" O.C.	



MODEL:  
PHILLIPS HADCO B1-A  
PAR/R-20 LAMP-50W  
COLOR TO BE BLACK  
(OR APPROVED EQUAL)

ALL JUNCTION BOXES TO BE BELOW  
GRADE

MANUFACTURER:  
PHILLIPS HADCO  
100 CRAFTWAY  
LITTLESTOWN, PA 17340  
V: 717-359-7131  
F: 717-359-9289

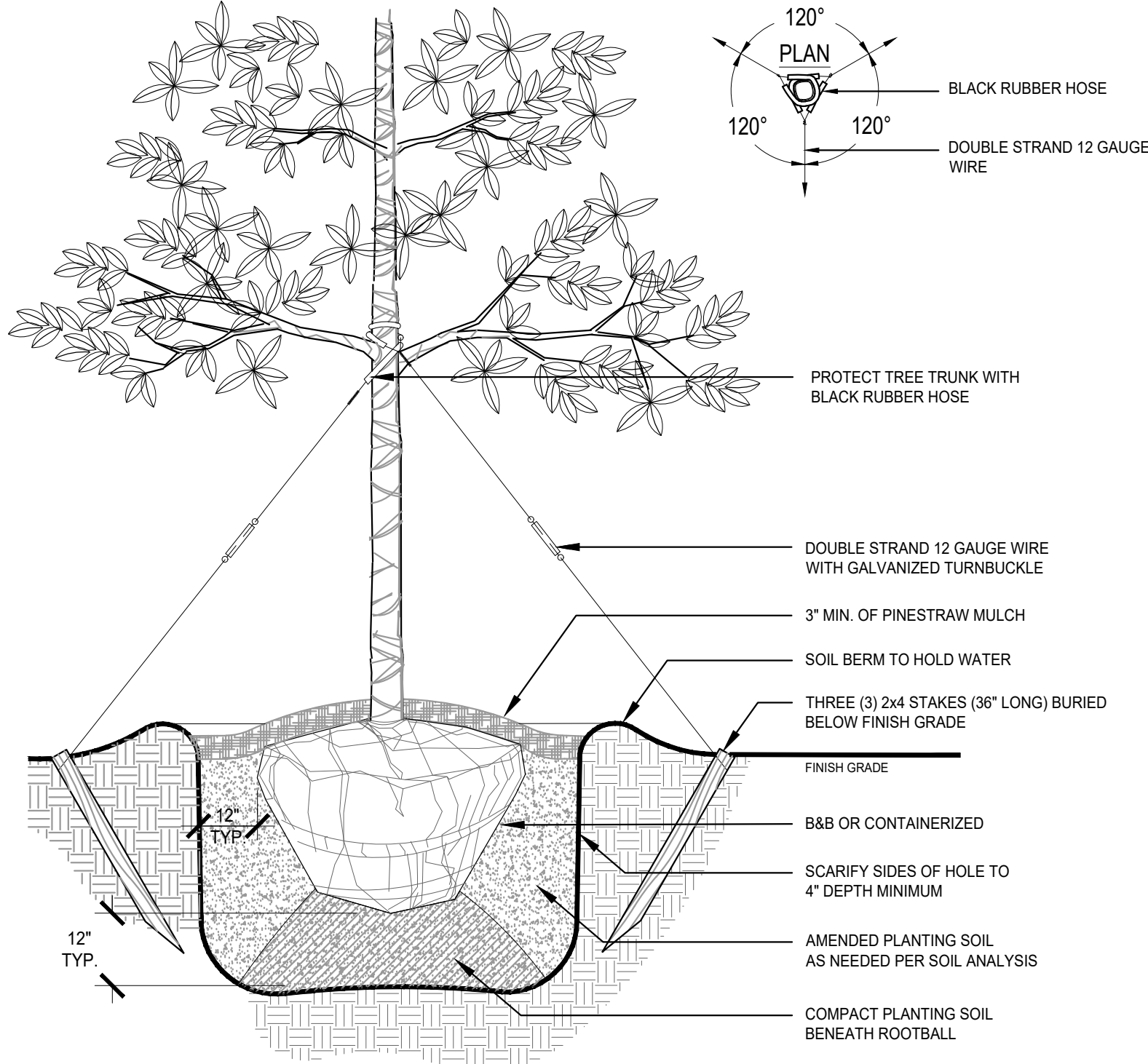
NOTES:  
1. SEE LANDSCAPE PLANS FOR  
LOCATIONS. FINAL LOCATIONS TO BE  
COORDINATED WITH CONTRACTOR.

ACCENT UPLIGHT

PICTORIAL

NTS

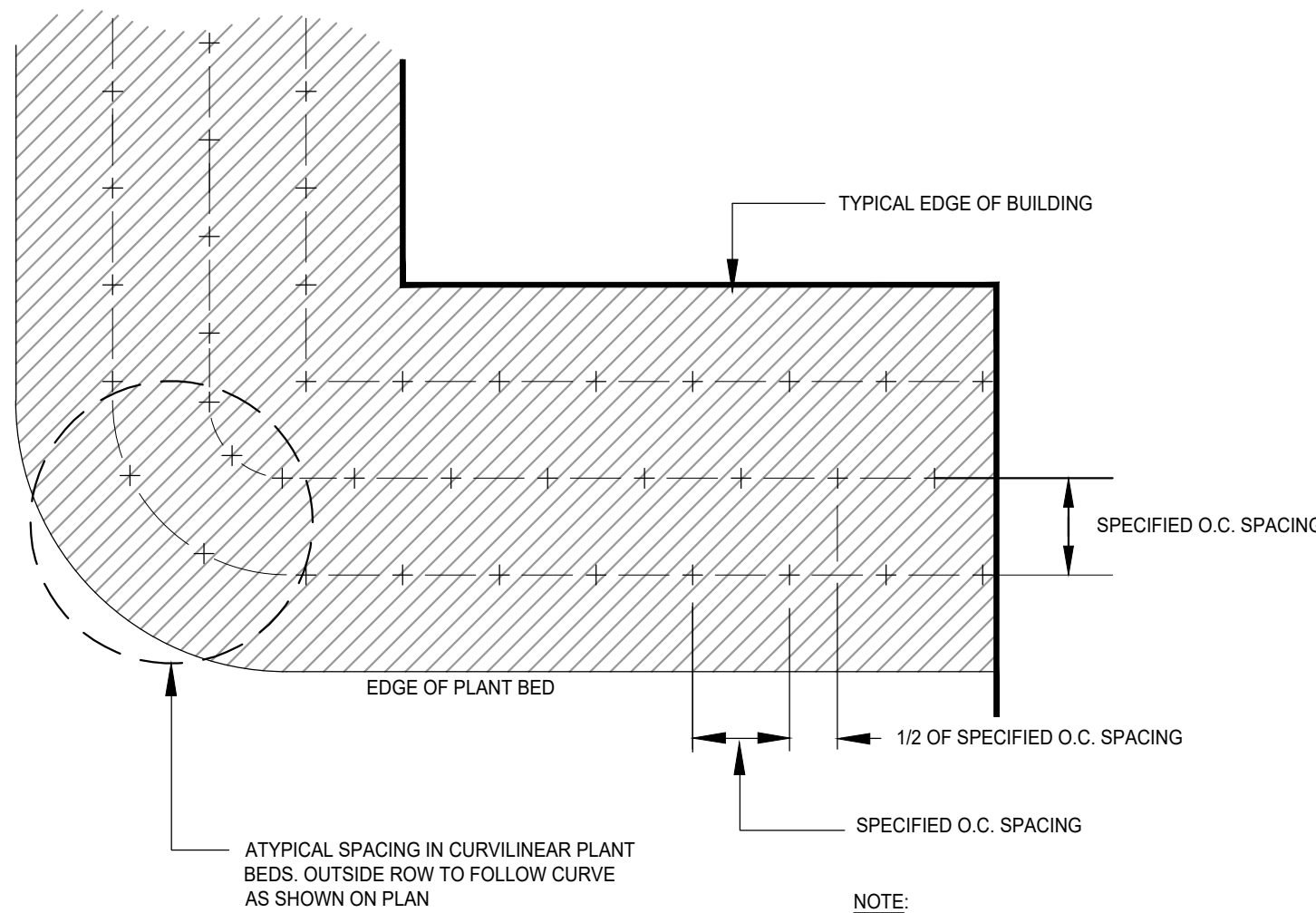
NOTES:  
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REP.  
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.  
3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE.  
COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.



TREE PLANTING (TYP.)

SECTION

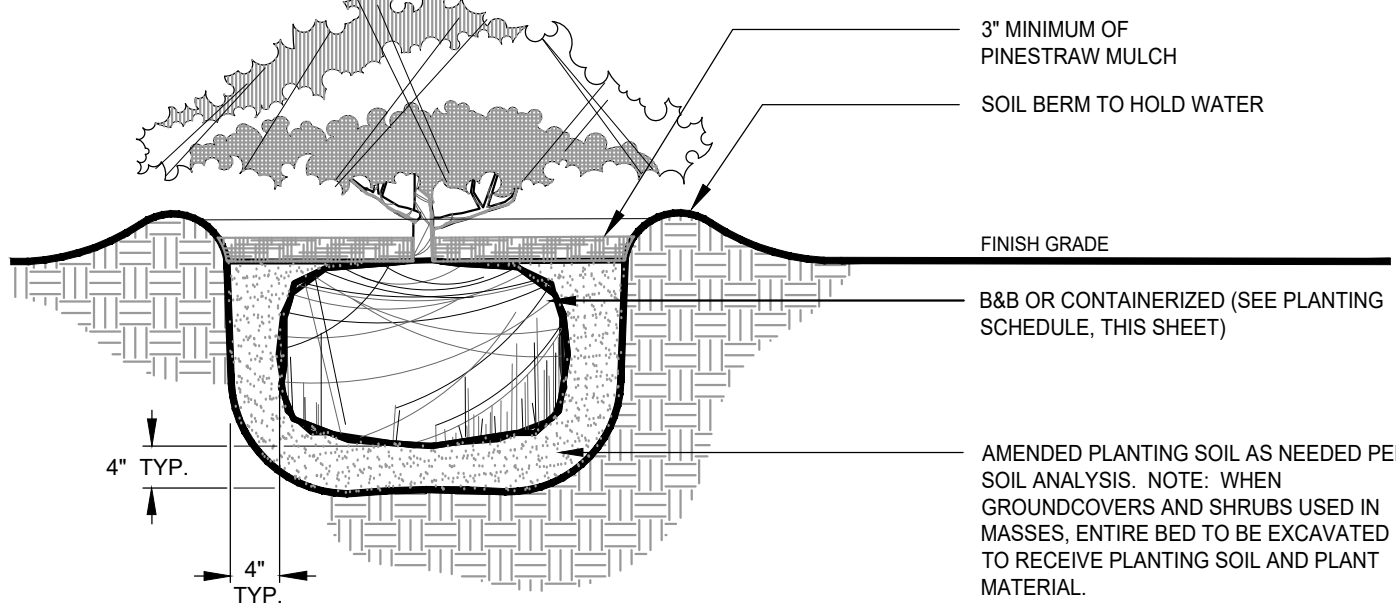
NOT TO SCALE



TRIANGULAR SPACING FOR  
SHRUBS AND GROUNDCOVERS

PLAN

NOT TO SCALE

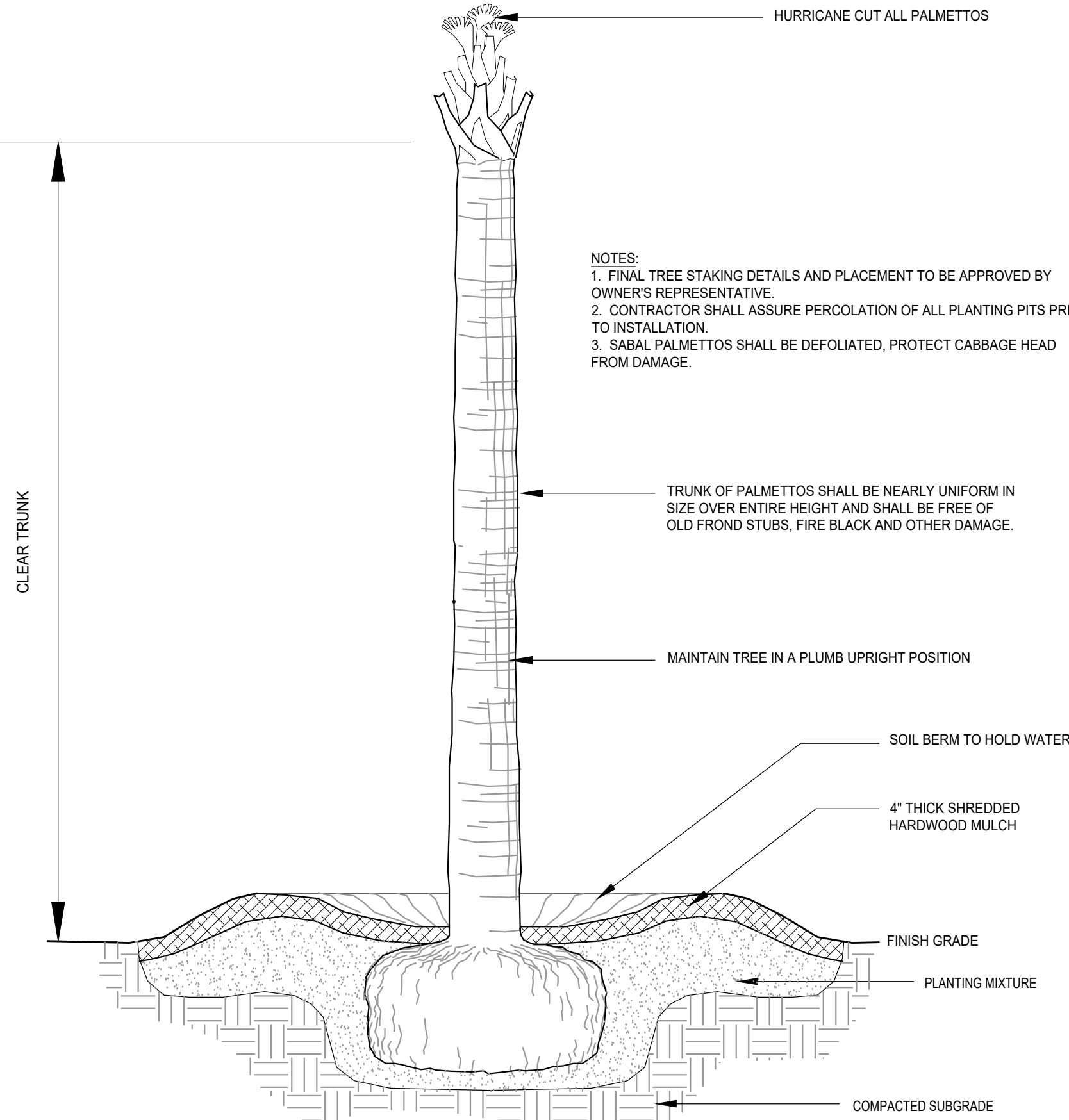


NOTES:  
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING  
PITS PRIOR TO INSTALLATION.  
2. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION  
SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH  
OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.

SHRUB PLANTING (TYP.)

SECTION

NOT TO SCALE



NOTES:  
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY  
OWNER'S REPRESENTATIVE.  
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR  
TO INSTALLATION.  
3. SABAL PALMETTOS SHALL BE DEFOLIATED, PROTECT CABBAGE HEAD  
FROM DAMAGE.

PALMETTO PLANTING (TYP.)

SECTION

NOT TO SCALE

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

HINTZ RESIDENCE  
LOT 38, STOCK FARM SUBDIVISION  
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA  
LANDSCAPE PLAN

DATE: 2024-09-11  
DESIGNED BY: SCW  
DRAWN BY: SCW  
CHECKED BY: TH  
O.C. BY: TH  
SCALE: N/A  
PROJECT #: KDI.672  
SHEET NUMBER#:  
**L-2.1**

**KOONTZJONES**Design  
LAND PLANNING | LANDSCAPE ARCHITECTURE  
150 SOUTH PAGE STREET  
SOUTHERN PINES, NC 28387  
P: (910) 684-8487  
W: www.koontzjonesdesign.com





## ATTACHMENT 4

Section VII. Item #3.

Reply all | Delete Junk |

## Lot 38 #5783 Yaupon Road, Stock Farm subdivision, Bluffton SC



Woody Morris &lt;treestock@hotmail.com&gt;

Today, 11:16 AM

Bailye Quick

Reply all |

Inbox

You replied on 9/6/2024 11:16 AM.

Plans 8-21-24.pdf

5 MB

Show all 1 attachments (5 MB) Download

To whom it may concern.

This is a tree evaluation report for the subject address regarding tree suitability to remain in the landscape following proposed new residential construction. Attached are tree survey and construction plans for this property. Trees outside the proposed building footprint with adverse health or structural issues were marked with orange flagging tape for identification and recommended to be removed during the initial land clearing activities. Several tree species marked on the tree and topo were mislabeled and corrected in this report.

In the left side is a cluster of 4 trees recommended for removal, an 8-inch Live Oak, 10 inch Black Gum and a 16-inch Black Gum (not Live Oak) and 12-inch Water Oak. They all exhibit unstable codominant stems, included bark unions, leaning unbalanced and/or overall poor architecture.

At rear of house tree marked LO 14 (GPS 25.2 location) is actually a 14-inch Laurel Oak with oozing fungal infection and dying. Further rearward is an 8-8-8-6 Water Oak cluster with major decayed/broken and unstable codominant stems plus major fungal infections. Behind it is 6-inch RO (actually a Water Oak), leaning unbalanced exhibiting crown die back and unstable codominant stems.

At the rear center lot line is RO12 (actually Water Oak), with decayed hollows and unstable codominant stems throughout. It is overcrowding an adjacent currently healthy 6-inch Magnolia.

On the right side is WO 20 (actually Laurel Oak) with fungal disease, decaying trunk base and unstable codominant stems. In front of it is a 12-inch Water Oak with its critical root zone in the footprint and overcrowded by two adjacent trees.

The above underlined trees are recommended to be removed along with necessary building pad tree clearances and mitigated with more suitable and healthy trees in the new landscape plans. Remaining trees need vine and/or dead limb pruning plus critical root zone protection during construction activities.

## ATTACHMENT 4

Section VII. Item #3.

Reply all | Delete Junk |

Respectfully submitted,

Woody Morris

ISA Certified Arborist #SO-1949A

ISA Tree Risk Assessment Qualification





## MEMORANDUM

---

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from July 16, 2024, to September 16, 2024

DATE: October 1, 2024

---

**SUMMARY:** Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
8 Wharf St	Residential Pool	Angie Castrillon	Approved
14 Promenade St Unit 325	Repair to exterior stucco due to storm damage	Angie Castrillon	Approved
54 Bridge St Unit 102	Wildflower Girls Sign	Angie Castrillon	Approved
1 Calhoun St	Mechanical Change out	Glen Umberger	Hold
3 Lawton St Unit B	Mechanical Change out, Electrical work and interior sheet rock repairs	Angie Castrillon	Approved
1 Tabby Shell Rd	Generator	Angie Castrillon	Approved
182 Bluffton Rd	For Sale V-Sign	Angie Castrillon	Void – Not Required
41 Calhoun St Unit B	Charleston Shoe Company Sign	Angie Castrillon	Approved
7 Guerrard Ave	Residential patio and pathway installation	Angie Castrillon	Approved
51 Bridge St	The Complete Home Sign	Angie Castrillon	Revisions Required
28 Tabby Shell Rd	Residential Fence Extension	Angie Castrillon	Approved
105 Bridge St	24" Brick Lattice Fence	Angie Castrillon	Applied
1 Promenade St	Ashworth Group Sign	Angie Castrillon	Applied