



Historic Preservation Commission Meeting

Wednesday, September 02, 2026 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 417 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) August 5, 2026 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

- [1.](#) **Certificate of Appropriateness (36 Bruin Road):** A request by James Atkins of Court Atkins Group (Applicant) on behalf of ABPAL LLC (Owner) for an amended Certificate of Appropriateness-HD to add an elevator shaft within a chimney structure and make related alterations for a commercial building under construction of approximately 3,130 SF at 36 Bruin Road in Old Town Bluffton Historic District within the Neighborhood General - HD zoning district. (COFA-05-25-019766) (Staff – Charlotte Moore)

VIII. DISCUSSION

- [1.](#) Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, October 7, 2026

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

August 05, 2026

I. CALL TO ORDER

Chairman DePauw called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Joe DePauw
Commissioner Tim Probst
Commissioner Debbie Wunder
Commissioner Lisa Sulka
Commissioner Michael Sutcliffe

ABSENT

Vice Chair Carletha Frazier
Commissioner Jim Hess

III. ADOPTION OF MINUTES

1. July 1, 2026 Minutes

Commissioner Sulka made a motion to approve the minutes as written.

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Commissioner Probst, Commissioner Wunder, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

IV. PUBLIC COMMENT

V. OLD BUSINESS

VI. NEW BUSINESS

VII. DISCUSSION

1. Discussion Regarding Renaming of Certain Contributing Resources Based on 2025 Historic Resource Survey (Staff - Glen Umberger)

Staff presented. The commissioners had questions regarding the list being presented to Town Council, including whether any items have been removed from the list, whether the names are based on the original property owner, and whether property owners have been notified of any changes.

2. Discussion Regarding Window Regulations in Old Town Historic District (Staff - Charlotte Moore)

Staff presented. There was discussion regarding simulated divided lite windows, including potential guidelines for muntin dimensions to provide greater depth and visual authenticity.

The commissioners also discussed the use of operable windows versus windows that appear operable. The Commission expressed interest in establishing regulations for window design within the Historic District.

3. Historic District Monthly Update. (Staff)

Staff reviewed the monthly report. The Commissioners had no questions.

VIII. ADJOURNMENT

Commissioner Sulka made a motion to adjourn.

Seconded by Commissioner Wunder.

Voting Yea: Chairman DePauw, Commissioner Probst, Commissioner Wunder, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed. The meeting adjourned at 6:38pm.



HISTORIC PRESERVATION COMMISSION

STAFF REPORT

Department of Growth Management

MEETING DATE:	September 2, 2026
PROJECT:	COFA-05-25-019766 36 Bruin Road – Second Amendment to an Approved COFA
APPLICANT:	James Atkins (Court Atkins Group)
PROPERTY OWNER:	ABPAL, LLC
PROJECT MANAGER:	Charlotte Moore, AICP, Principal Planner

APPLICATION REQUEST: The Applicant, James Atkins (Court Atkins Group), on behalf of the owner, ABPAL LLC, requests that the Historic Preservation Commission (HPC) approve the following application:

An amendment to an approved Certificate of Appropriateness to add an elevator shaft and make related alterations for a 2-story commercial building of approximately 3,130 SF at 36 Bruin Road in Old Town Bluffton Historic District, and within the Neighborhood General-HD (NG-HD) zoning district.

BACKGROUND: On August 6, 2025, HPC approved a COFA to allow the construction of a new commercial building (ABPAL Shell Building) with yet to be determined businesses at that time. The first amendment to the approved COFA was granted at the January 7, 2026 meeting of the HPC.

The structure, of approximately 3,130 SF, is under construction and has characteristics of both a Main Street Building Type and a Live-Work Sideyard Building Type but was reviewed as an Additional Building Type as the NG-HD zoning district does not allow Main Street Buildings and an upper-story residence will not be provided as is typical of a Live-Work Sideyard Building.

The Development Plan for the subject property was approved by the Planning Commission on March 26, 2025 (DP-12-24-019469). The approval included the subdivision of a 1.22 acre-lot into two lots, Lot 1 (the existing office building and parking lot for Court Atkins Group) and Lot 2 (a portion of the existing parking area for the subject structure). A 22-foot-wide vehicular access easement will be shared between the two lots, and an existing dumpster on Lot 1 will be shared with Lot 2.

INTRODUCTION: The narrative (Attachment 2) states that this second amendment is requested to provide improved accessibility for one of the second-floor office tenants via an elevator. As the building is already under construction, the elevator shaft is proposed

within a chimney structure attached to the rear porch. This addition requires other alterations, including:

- The relocation of the rear service yard to the building's left elevation;
- The reorientation of the rear porch staircase;
- The addition of screening to the first-floor rear porch to conceal restaurant equipment. Proposed screening is to match previously approved slat details on the rear porch elevations;
- An increased rear porch depth of 4'-6", not including the chimney structure. This will result in an additional porch column on the left and right porch elevations.

Apart from the chimney structure on the rear elevation, the proposed alterations are minor and consistent with applicable UDO requirements.

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. Section 3.18.3.A.1 Consistency with the principles set forth in the Old Town Master Plan and Town of Bluffton Comprehensive Plan.

- a. *Finding.* The Old Town Master Plan initiative included the adoption of a form-based code that includes architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The amendments will be in conformance with those standards if the conditions noted in #3 of this Section are met.
- b. *Finding.* The application complies with the Town's Comprehensive Plan.

2. Section 3.18.3.A.2 Conformance with the approved Final Development Plan, Subdivision Plan, and any other agreements or plans that are applicable.

- a. *Finding.* The application is consistent with the approved Final Development Plan.

3. Section 3.18.3.A.3 Conformance with applicable provisions provided in Article 5, Design Standards.

a. Findings.

(1) Addition of a Chimney Structure: The proposed elevator shaft is to be disguised as a chimney with a tabby stucco finish. At the top of the chimney, a double bishop cap is proposed. The addition is proposed on the rear elevation and will not be visible from Bruin Road.

As the chimney structure is designed to conceal an elevator shaft, it is not an authentic element; authenticity is the “primary goal” of the architectural standards for Old Town Bluffton Historic District (UDO Sec. 5.15.6.A.). Therefore, the HPC must determine if the proposed chimney structure, including its design, supports this goal.

(2) Relocation of Service Yard: The previously approved rear elevation service yard has been relocated to the left elevation by the stairwell. Per the Fire Marshal and Fire Code, nothing may be stored or erected in the service yard under the stairs unless the space is sprinkled.

4. Section 3.18.3.A.4 Demonstration of a compatible visual relationship between new construction or alterations and existing buildings, streetscapes, and open spaces. A compatible visual relationship must be generally of a similar structural mass, scale, height, proportion, directional expression of the principal elevation and rhythm of spacing, as applicable.

Finding. The alteration appears appropriate for its location and the architectural detailing sensitive to and compatible with neighboring properties.

5. Section 3.18.3.A.5 Conformance with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete except for the applicable items in #3.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2.

Town Staff finds that the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application subject to the following determination:

1. The appropriateness of the chimney structure, including its design, to conceal the proposed elevator shaft.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

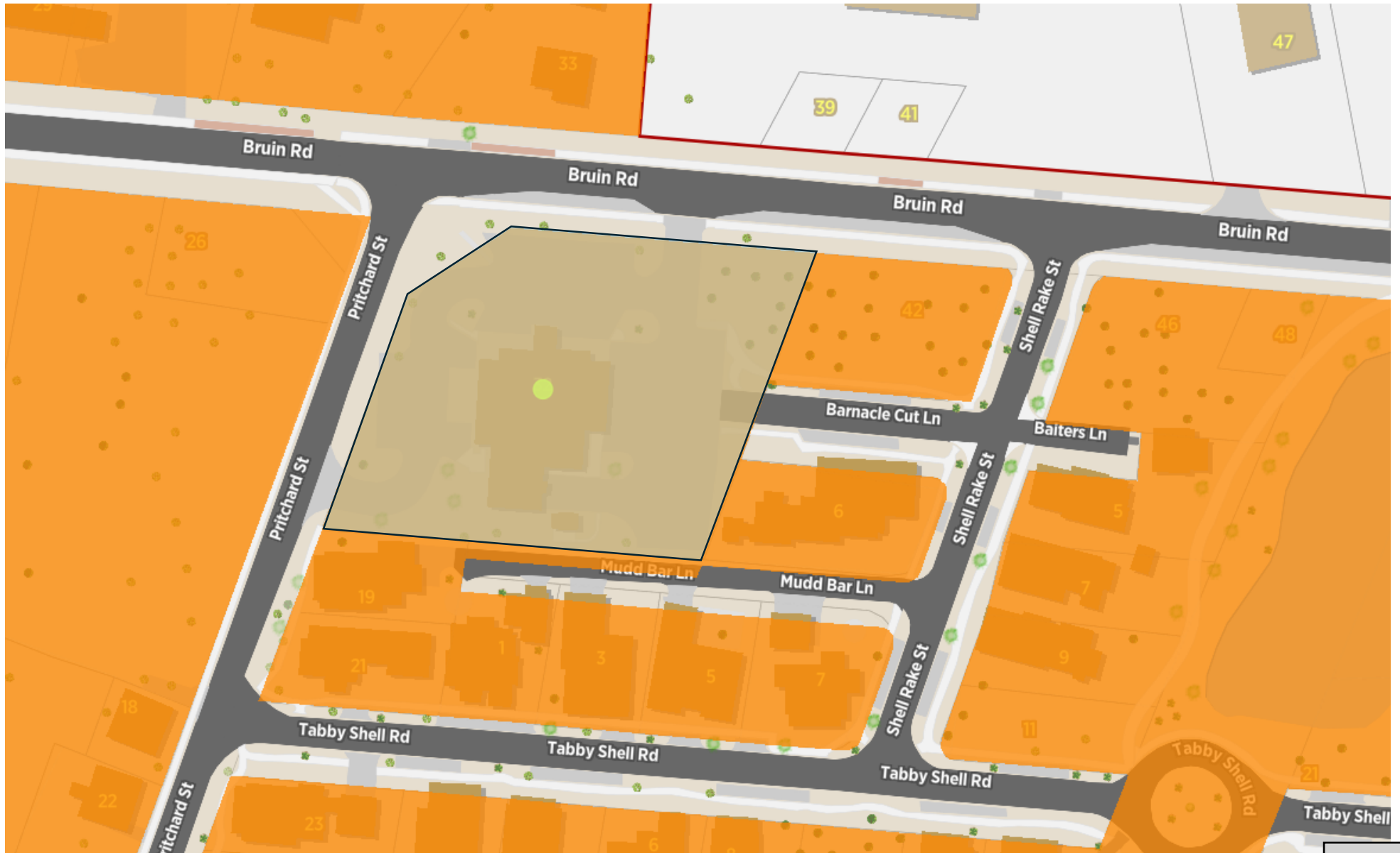
ATTACHMENTS:

1. Location & Zoning Map
2. Application
3. Narrative
4. Amended Architectural Drawings (08.11.2026)
5. Amended Landscape Plan (08.05.2026)
6. HPRC Comments (08.03.2026)

LOCATION & ZONING MAP

32 Bruin Road

Neighborhood General-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #1.

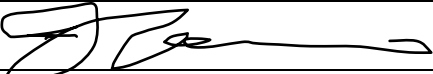
20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Court Atkins Group	Name: ABPAL, LLC		
Phone: 843-815-2557	Phone: 843-815-2557		
Mailing Address: PO Box 3978 Bluffton, SC 29910	Mailing Address: PO Box 3978 Bluffton, SC 29910		
E-mail: james.atkins@courtatkins.com	E-mail:		
Town Business License # (if applicable): 25-03-7115			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: ABPAL Shell Building	Conceptual: ☐	Final: ☐	Amendment: ☒
Project Address: 36 Bruin Rd	Application for: ☒ New Construction ☐ Renovation/Rehabilitation/Addition ☐ Relocation		
Zoning District: NG-HD			
Acreage: 1.220 (0.311 FUTURE PARCEL)			
Tax Map Number(s): R610 039 000 0274 0000			
Project Description: Minor exterior changes prior to construction due to mechanical needs, tenant requests, and neighbor requests.			
Minimum Requirements for Submittal			
☐ 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
☐ 2. Digital files drawn to scale of the Site Plan(s).			
☒ 3. Digital files of the Architectural Plan(s).			
☒ 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
☐ 5. All information required on the attached Application Checklist.			
☐ 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:			Date: 07.14.2026
Applicant Signature:			Date: 07.14.2026
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and Unified Development Ordinance (UDO) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW ☐		FINAL REVIEW ☒	
2. SITE DATA						
Identification of Proposed Building Type (as defined in Article 5) Additional Building Type						
Building Setbacks		Front: 10'-20'	Rear: 25'	Rt. Side: 10'		Lt. Side: 10'
3. BUILDING DATA						
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage	
Main Structure	no change		NA		No change	
Ancillary						
Ancillary						
4. SITE COVERAGE						
Impervious Coverage			Coverage (SF)			
Building Footprint(s)			no change			
Impervious Drive, Walks & Paths			no change			
Open/Covered Patios			no change			
A. TOTAL IMPERVIOUS COVERAGE			no change			
B. TOTAL SF OF LOT			no change			
% COVERAGE OF LOT (A/B= %)			no change			
5. BUILDING MATERIALS						
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation		
Foundation	no change		Columns	no change		
Walls	no change		Windows	no change		
Roof	no change		Doors	no change		
Chimney	no change		Shutters	no change		
Trim	no change		Skirting/Underpinning	no change		
Water table	no change		Cornice, Soffit, Frieze	no change		
Corner board	no change		Gutters	no change		
Railings	no change		Garage Doors	no change		
Balusters	no change		Green/Recycled Materials	no change		
Handrails	no change					



ATTACHMENT 2 TOWN OF BLUFFTON

Section VII. Item #1.

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
☐	☐	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
☐	☐	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
☐	☒	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
☐	☐	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
☐	☐	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
☐	☐	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
☐	☐	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: - All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); - Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; - All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; - Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; - Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and - North arrow, graphic scale, and legend identifying all symbology.
☐	☒	SITE PLAN: Showing layout and design indicating, but not limited to: - All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); - Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; - Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and - Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 2
TOWN OF BLUFFTON

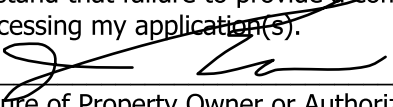
Section VII. Item #1.

**CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST**

☐	☐	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
☐	☐	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
☐	☒	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
☐	☒	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
☐	☒	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
☐	☐	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
☐	☐	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
☐	☐	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
☐	☐	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).



Signature of Property Owner or Authorized Agent

07.14.2026

Date

James C. Atkins

Printed Name of Property Owner or Authorized Agent



Signature of Applicant

07.14.2026

Date

James C. Atkins

Printed Name of Applicant



August 5, 2026

Town of Bluffton
 Ms. Charlotte Moore, Principal Planner
 20 Bridge Street
 Bluffton, South Carolina 29910
 cmoore@townofbluffton.com

Re: Amendment Submittal Request for ABPAL Shell COFA-05-25-019766

Charlotte,

Please see attached documents for requested design changes to the ABPAL Shell Building at 36 Bruin Road, along with responses to the HPRC comments.

Due to the upstairs tenant requiring an elevator for accessibility, we added a tabby stucco chimney element off the porch to the rear of the building. No change has been made to the main structure. The height of the chimney is set to be minimally visible from Bruin Road.

This change required the relocation of mechanical units to the East side of the building, adjacent to the existing stair.

Below are our comment responses:

HPRC Comments

1. Provide an updated site plan showing how the proposed changes relate to the setback, property lines, and other site improvements for Final HPC review.

See revised landscape plan.

2. Provide an updated landscape plan for Final HPC review.

See revised landscape plan.

3. The design breaks down the scale of the rear elevation, but not the sides. Chimneys and fireplaces are not usually 8 feet deep. Study the massing of the side elevations for a solution that breaks down the scale of the elevator in a way that makes sense with the story of the "fireplace and chimney" look. The chimney portion extending above the roof is also very deep and dwarfs what is a very large 24" square chimney pot.

The chimney design has been revised to break down the design at the side facing the parking lot. A trellis element extends between the first and second floor to break up the elevator massing at both side elevations.



3. The “chimney pot” on top of the elevator shaft is out of scale with the width of the chimney. Consider multiples or some other solution to better terminate the massive chimney.

The chimney now has a tabby stucco double prayer hand cap.

4. What is the waterproofing cap material on top of the shaft?

The cap will be stucco, sloped to drain.

5. How deep is the stucco recess? The recessed depth appears to be negligible in the perspectives.

The stucco recess is now 1.5”, including the 1” stucco trim added around the recess.

6. The chimney needs a cap. How will it drain?

The chimney will be stucco, sloped to drain.

7. Concern expressed regarding a second amendment for new construction and the effect on scale and the side yard setback.

Acknowledged. The new chimney is minimally visible from Bruin Road and the revised form remains in scale with the surrounding neighborhood.

Growth Management Staff Comments

1. The COFA application indicates that “minor exterior changes” are proposed but changes are more extensive and include the expansion of the porch (length, width and height) and related changes (additional columns, rear louver screening, openings), addition of an elevator shaft/chimney, relocation of stairs and service yard, and addition of a freezer and a new rear door in an area previously identified to the HPC as porch.

Acknowledged.

2. Building permit set shows a freezer and ice machine on the porch but they do not appear on the amended plans. All exterior equipment must be shown and screened.

Tenant equipment will be screened from public view.



COURT ATKINS
GROUP

3. Within the NG-HD district, building form and scale shall be primarily residential to maintain the predominantly residential character component of this district (UDO Sec. 5.15.5.C.) Further, features, such as chimneys, shall have a proportional relationship to other features as well as the building form (UDO Sec. 5.15.5.F.4.a.). The chimney seems disproportionately large for the building, particularly for a porch location, and the use of a clay chimney pot with a tabby shell chimney is an atypical combination of materials for Old Town. What clay is proposed?

The chimney has been reworked per discussion with the HPRC, and the chimney pot replaced with two tabby stucco prayer hands to match the chimney finish.

4. The service yard seems unnecessarily large for the equipment shown.

The service yard has been reduced in size.

5. If the space for Tenant 2 is to be an extension of the restaurant, the amount of required parking will increase. An amended Development Plan would be required.

Tenant 2 is not an extension of the restaurant.

6. Correct plan name—shows as LAPBA and ABPAL Shell Building.

Per discussion with the HPRC, LAPBA will be the revised name of the project. Landscape drawings have been revised to match.

If you have any questions or need any additional information, please let me know.

Court Atkins Architects, Inc.

James C. Atkins, Founding Principal

COFA RESUBMITTAL

LAPBA SHELL BUILDING

36 BRUIN ROAD
BLUFFTON, SOUTH CAROLINA 29910

SHEET LIST	
A0.0	COVER
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A4.3	ELEVATOR SECTION & DETAILS
A9.4	PERSPECTIVES

PROJECT INFORMATION:

NAME OF PROJECT:	LAPBA SHELL BUILDING
ADDRESS:	36 BRUIN ROAD BLUFFTON, SOUTH CAROLINA 29910
PROPOSED USE:	BUSINESS (B)
OWNER CONTACT:	JAMES ATKINS
CODE ENFORCEMENT JURISDICTION:	TOWN OF BLUFFTON
INTERNATIONAL BUILDING CODE (IBC):	2021
INTERNATIONAL MECHANICAL CODE:	2021
INTERNATIONAL PLUMBING CODE:	2021
THE NATIONAL ELECTRICAL CODE:	2020
INTERNATIONAL FUEL GAS CODE:	2021
INTERNATIONAL FIRE CODE:	2021
INTERNATIONAL ENERGY CONSERVATION CODE:	2009
ICC/ANSI A117.1:	2017

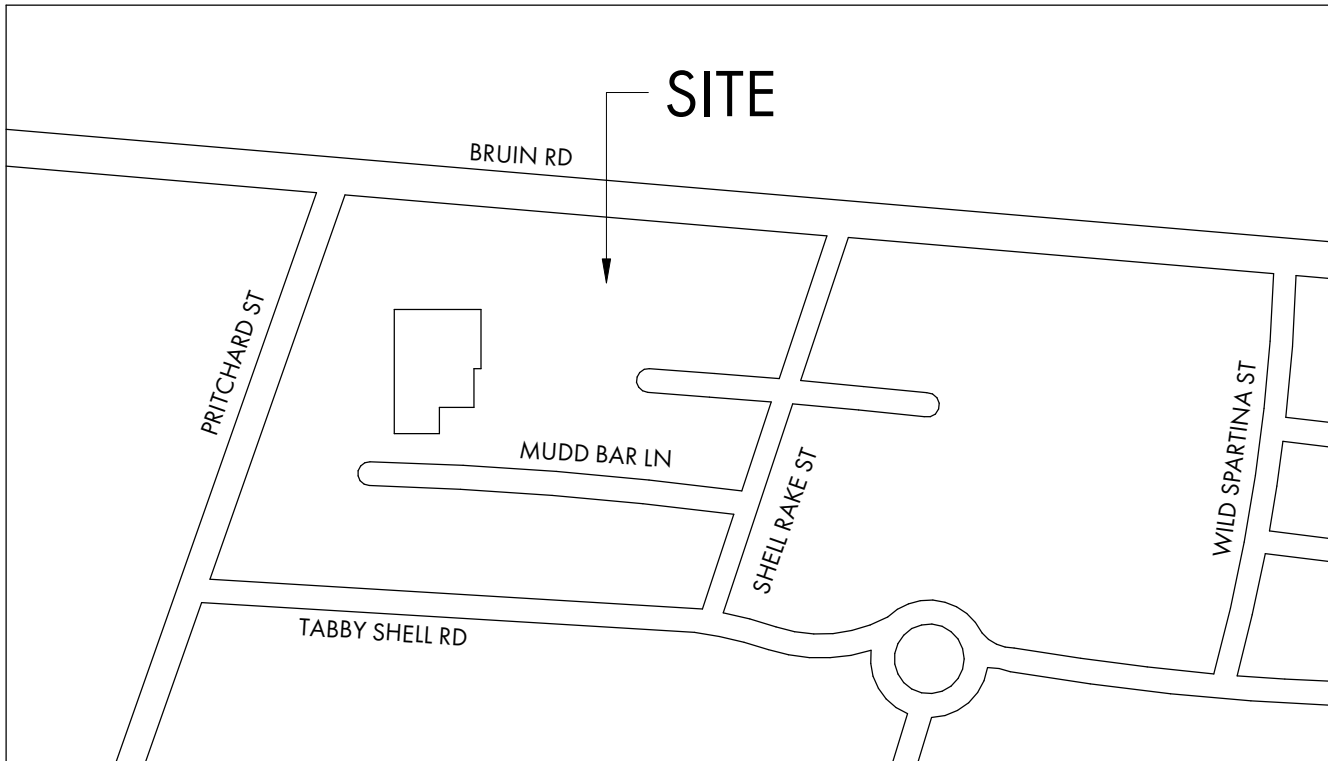
DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	WARREN LAW	SC #20698	(912)677-7716
PLUMBING/FIRE PROTECTION	JOHN DUFFIELD	SC #35628	(843) 263-8977
MECHANICAL	JOHN DUFFIELD	SC #35628	(843) 263-8977
STRUCTURAL	TONY AUSTIN	SC #13542	(843) 718-2525
CIVIL	BRADLEY BUSS	SC #36429	(843) 837-5250
LAND PLANNING/ LANDSCAPE	DAN KEEFER	XX #XXXX	(843) 757-7411

PROJECT TEAM:

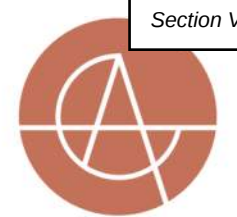
OWNER CONTACT ABPAL, LLC 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX	ARCHITECT COURT ATKINS ARCHITECTS, INC. 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX
STRUCTURAL ENGINEER SOUTHERN CONSULTING AND ENGINEERING INC. 105 CENTRAL AVE 200-B GOOSE CREEK, SC (843) 718-2525 PH	GENERAL CONTRACTOR ELEMENT CONSTRUCTION 29 PLANTATION PARK DRIVE SUITE 404 BLUFFTON, SC 29910 (843) 837-9300 PH
MECHANICAL, PLUMBING & FIRE PROTECTION H & H ENGINEERING OF HAMPTON 1011 BAY STREET BEAUFORT, SC 29902 (843) 263-8997	LANDSCAPE ARCHITECT WITMER JONES KEEFER LTD. 23 PROMENADE STREET SUITE 201 BLUFFTON, SC 29910 (843) 757-7411 PH
ELECTRICAL ENGINEER SUSTAINABLE DESIGN CONSULTANTS, LLC 1 DIAMOND CAUSEWAY, SUITE 7 SAVANNAH, GA 31406 (912) 677-7716	CIVIL ENGINEER WARD EDWARDS ENGINEERING 119C PALMETTO WAY, PO BOX 381 BLUFFTON, SC 29910 (843) 837-5250 PH
INTERIOR DESIGNER COURT ATKINS INTERIORS, LLC 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX	

VICINITY MAP - N.T.S.



GENERAL NOTES:

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN, THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.



Section VII, Item #1.

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LAPBA SHELL BUILDING

36 BRUIN ROAD
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PROJECT INFO

Date
08.11.2026

Project No.
25-001

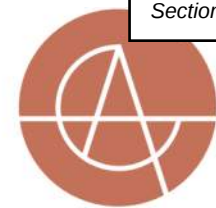
ISSUE

NO.	REV.	DATE	DESCRIPTION
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SHEET TITLE

COVER

A0.0



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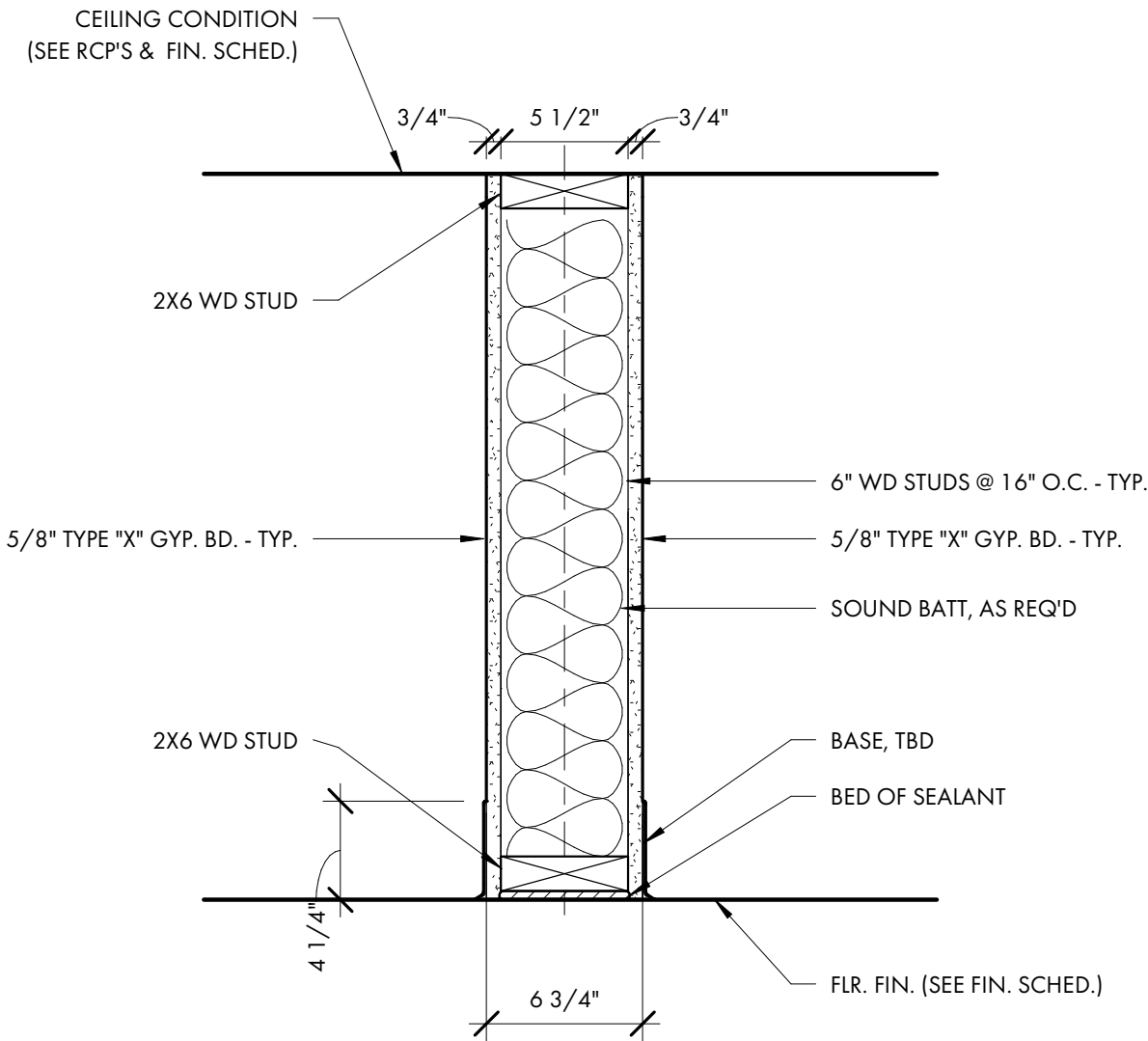
SHEET TITLE

FIRST FLOOR PLAN

A2.1

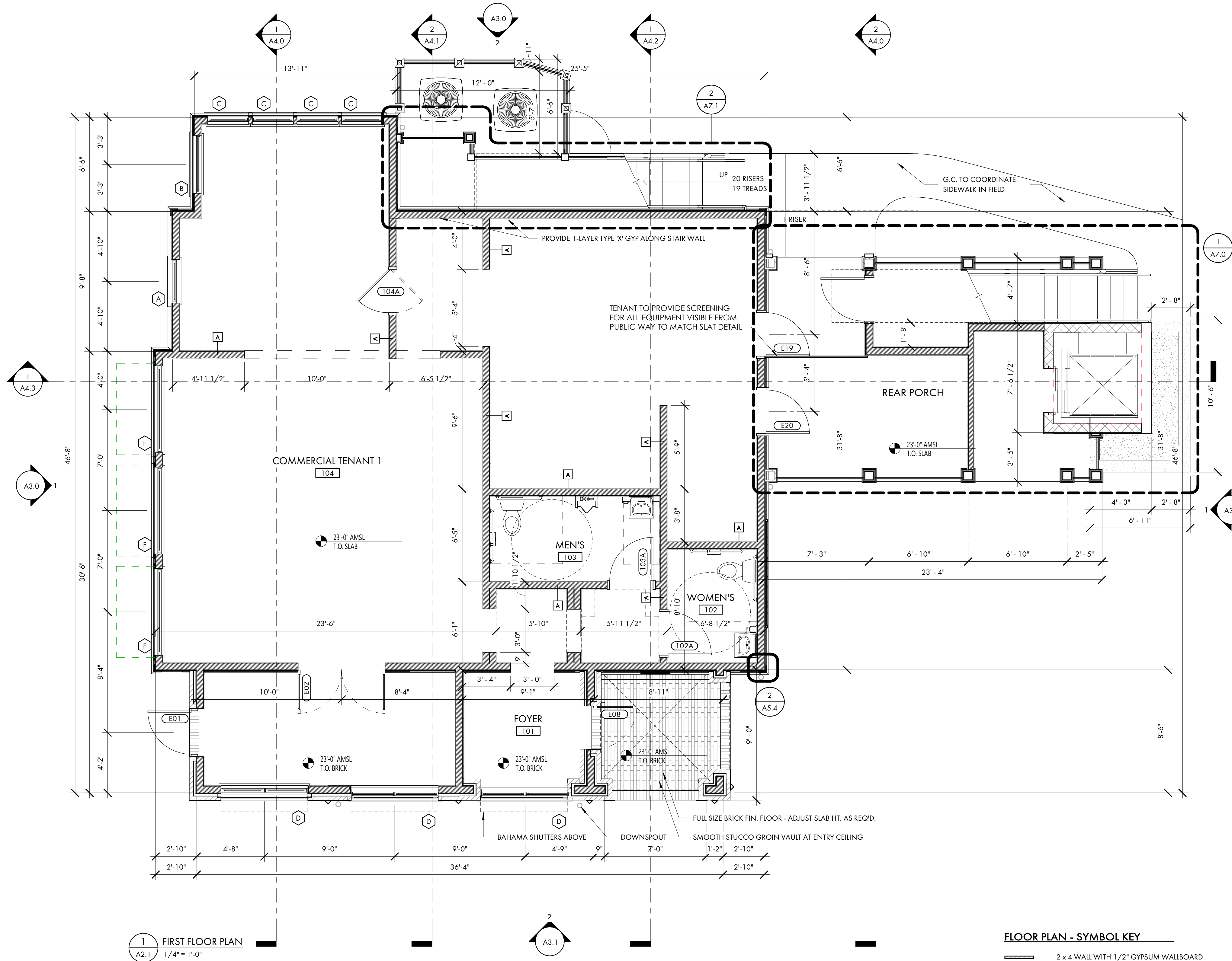
GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- E. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- G. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'A'
- I. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



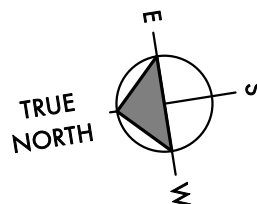
A 2X6 WD STUDS W/ 5/8" TYPE "X" GYP. BOARD - EACH SIDE

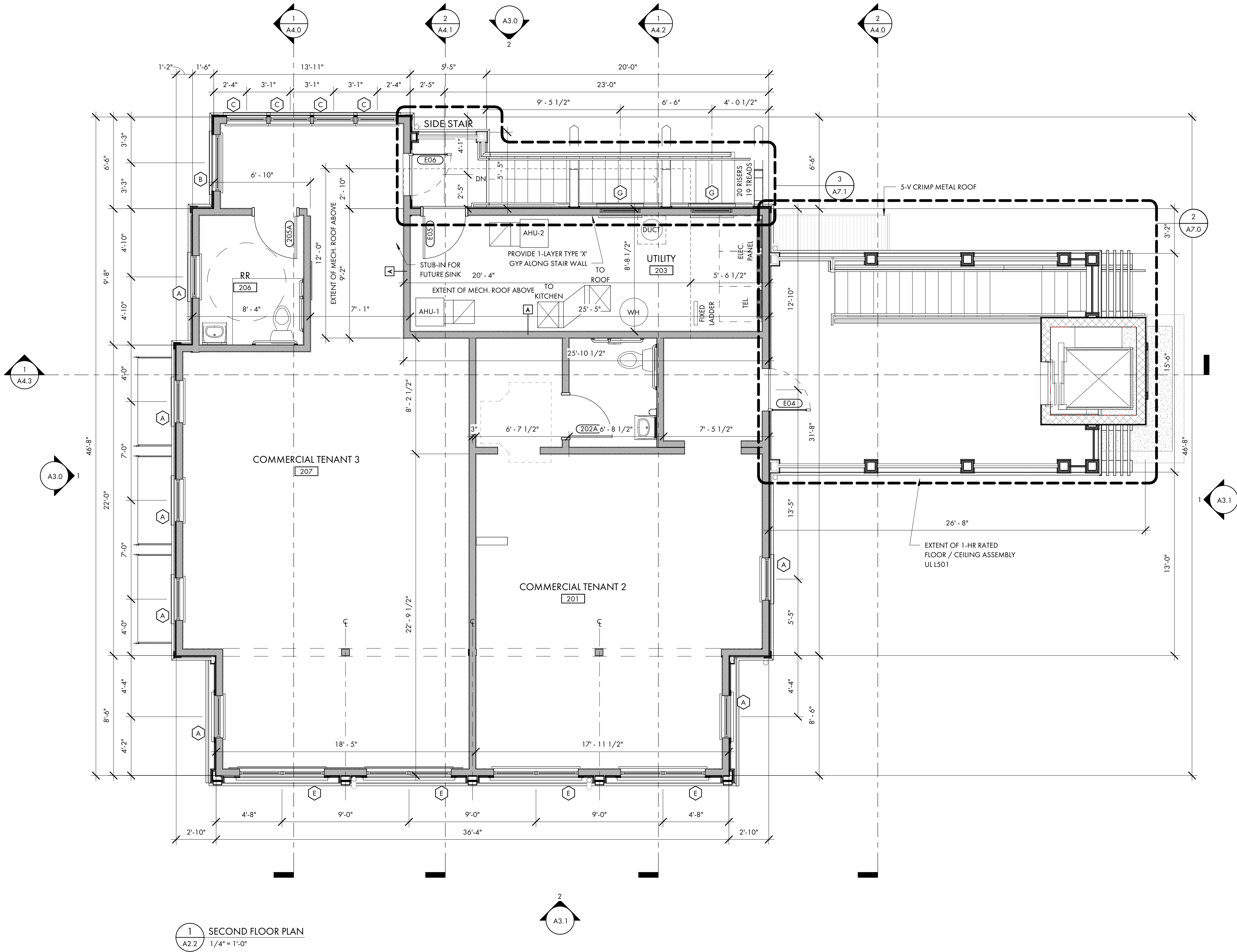
2 WALL TYPE - A
A2.1 1 1/2" = 1'-0"



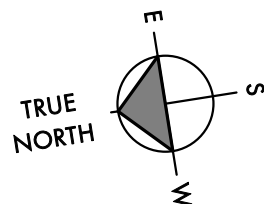
FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
- BRICKWORK





1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"



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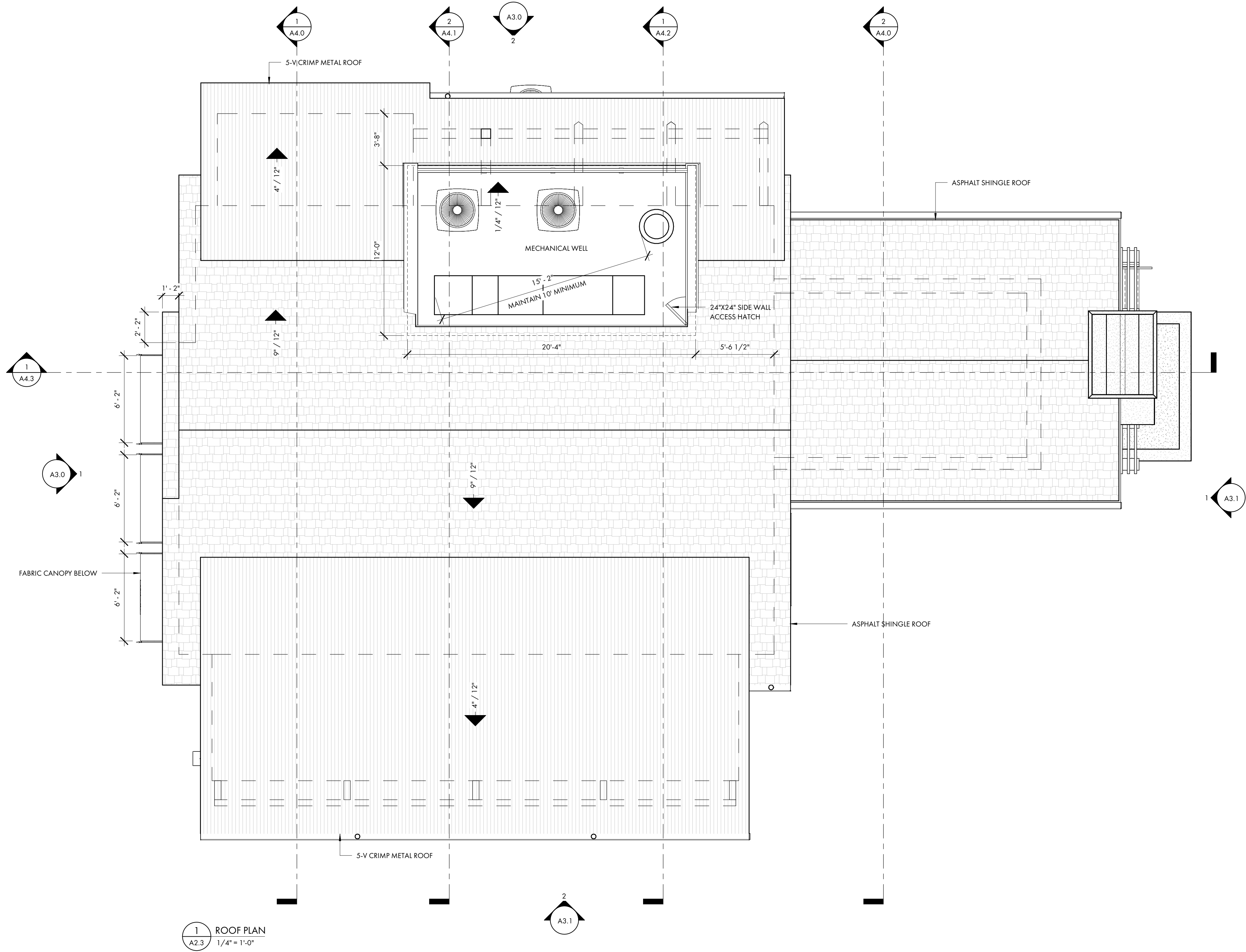
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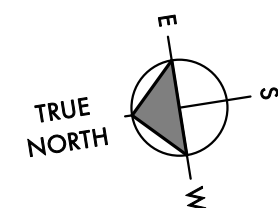
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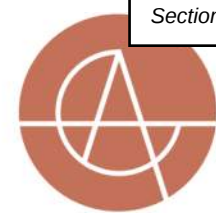
ROOF PLAN

A2.3



1 ROOF PLAN
A2.3 1/4" = 1'-0"



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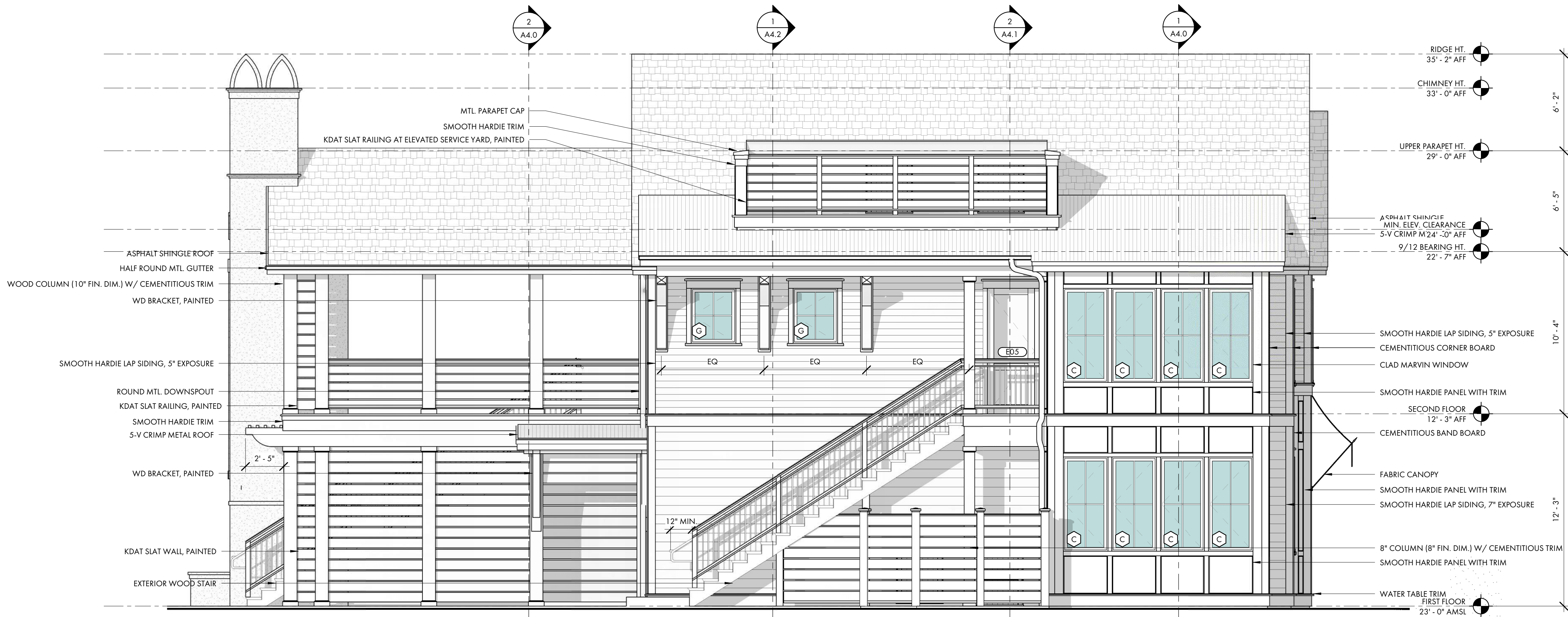
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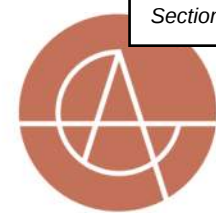
NO. REV. DATE DESCRIPTION

SHEET TITLE

EXTERIOR ELEVATIONS

A3.0

1 FRONT (BRUIN ROAD) ELEVATION
A3.0 1/4" = 1'-0"2 LEFT ELEVATION
A3.0 1/4" = 1'-0"



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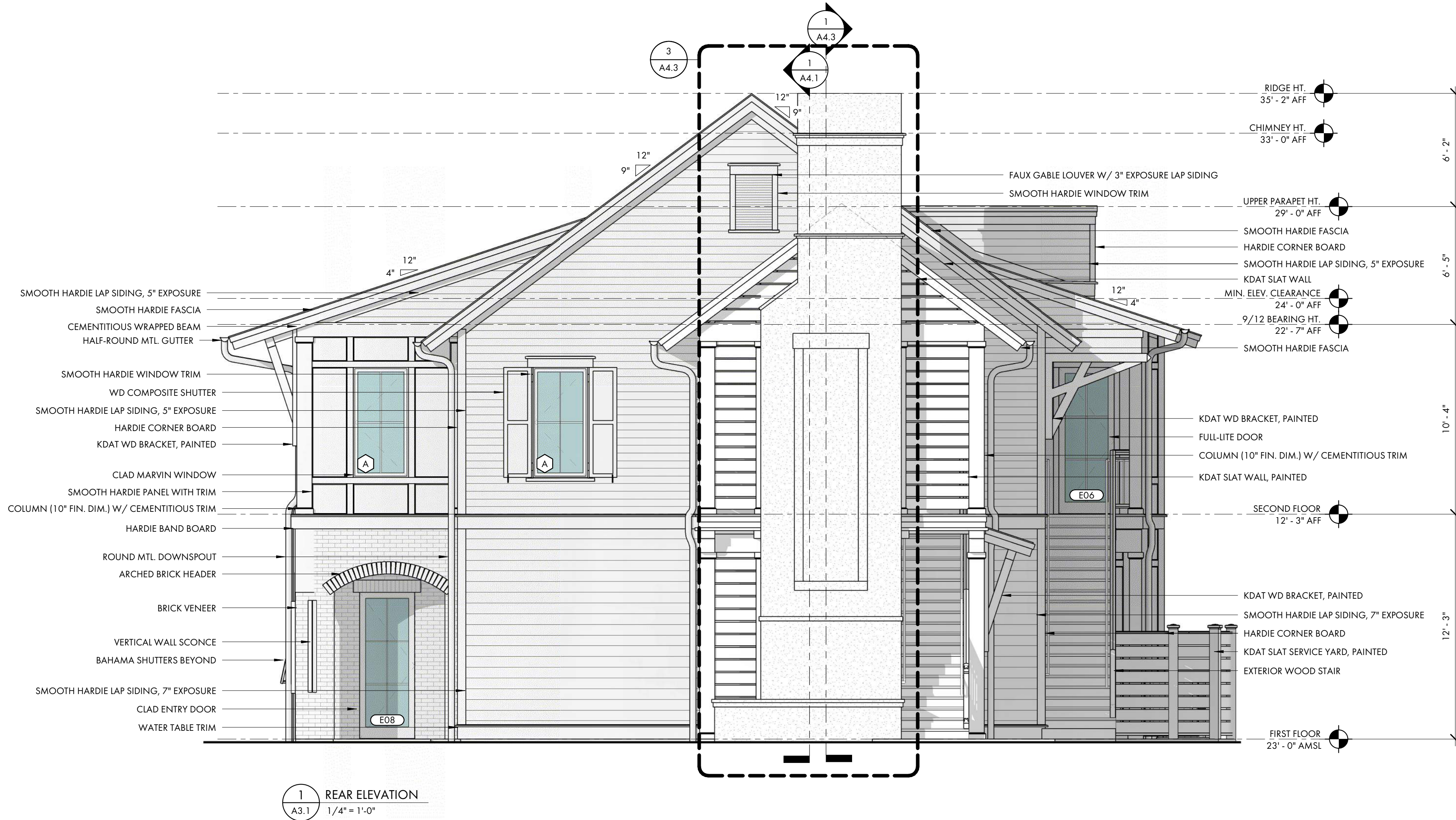
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EXTERIOR ELEVATIONS

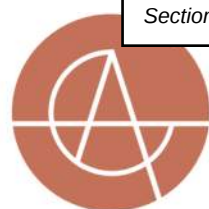
A3.1



1 REAR ELEVATION
A3.1 1/4" = 1'-0"



2 RIGHT ELEVATION
A3.1 1/4" = 1'-0"



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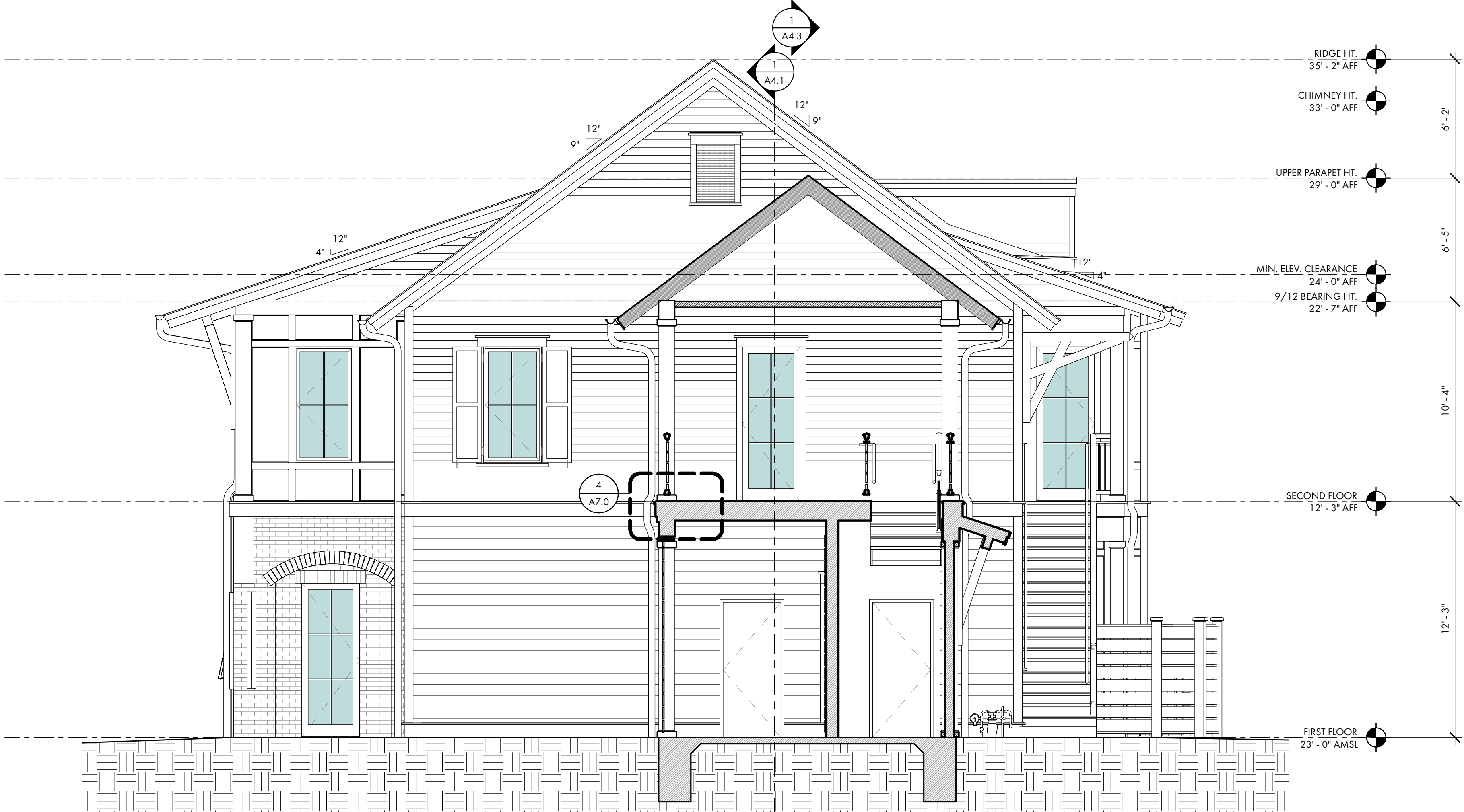
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NO. REV. DATE DESCRIPTION

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BUILDING SECTIONS

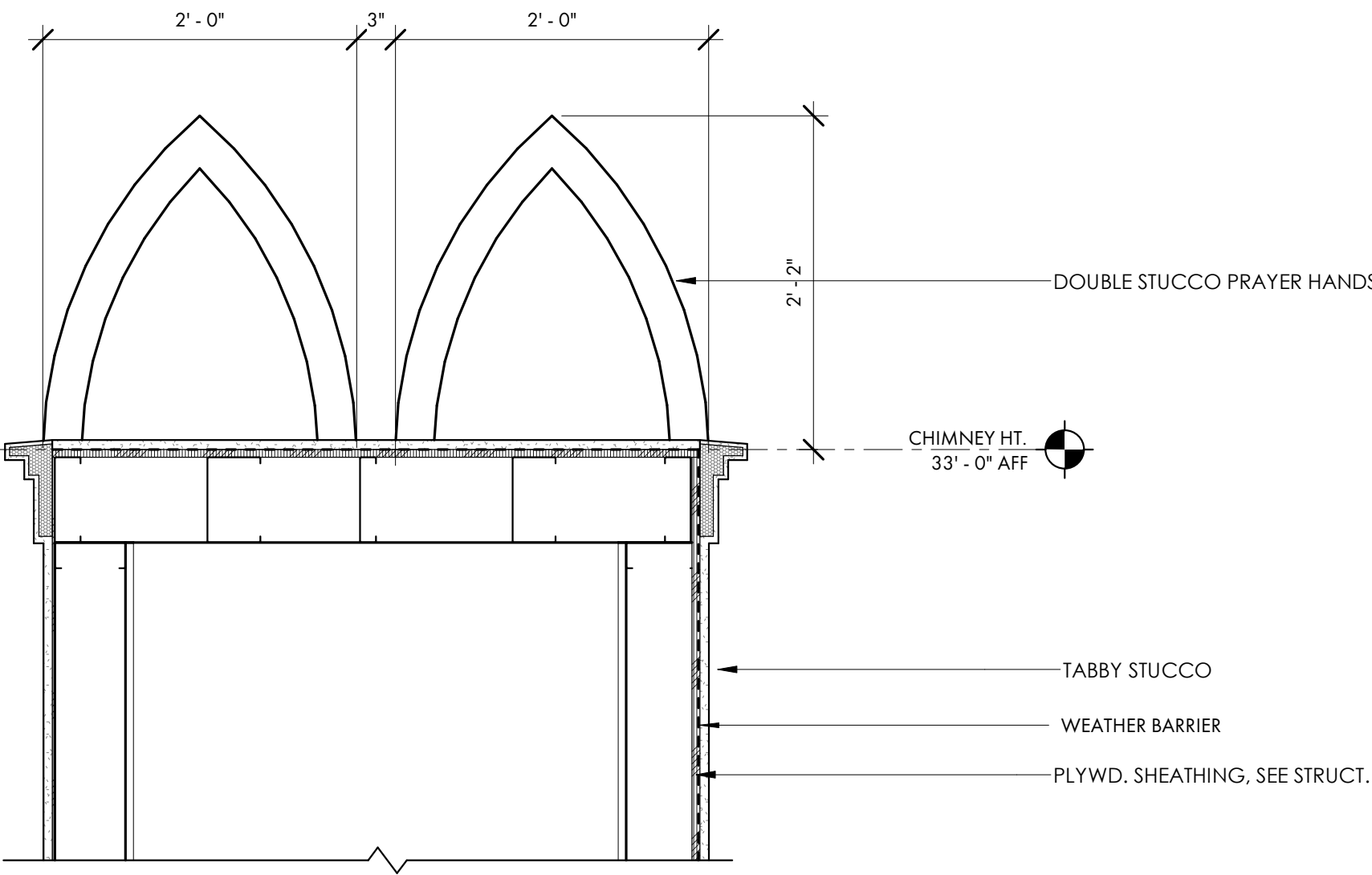
A4.0



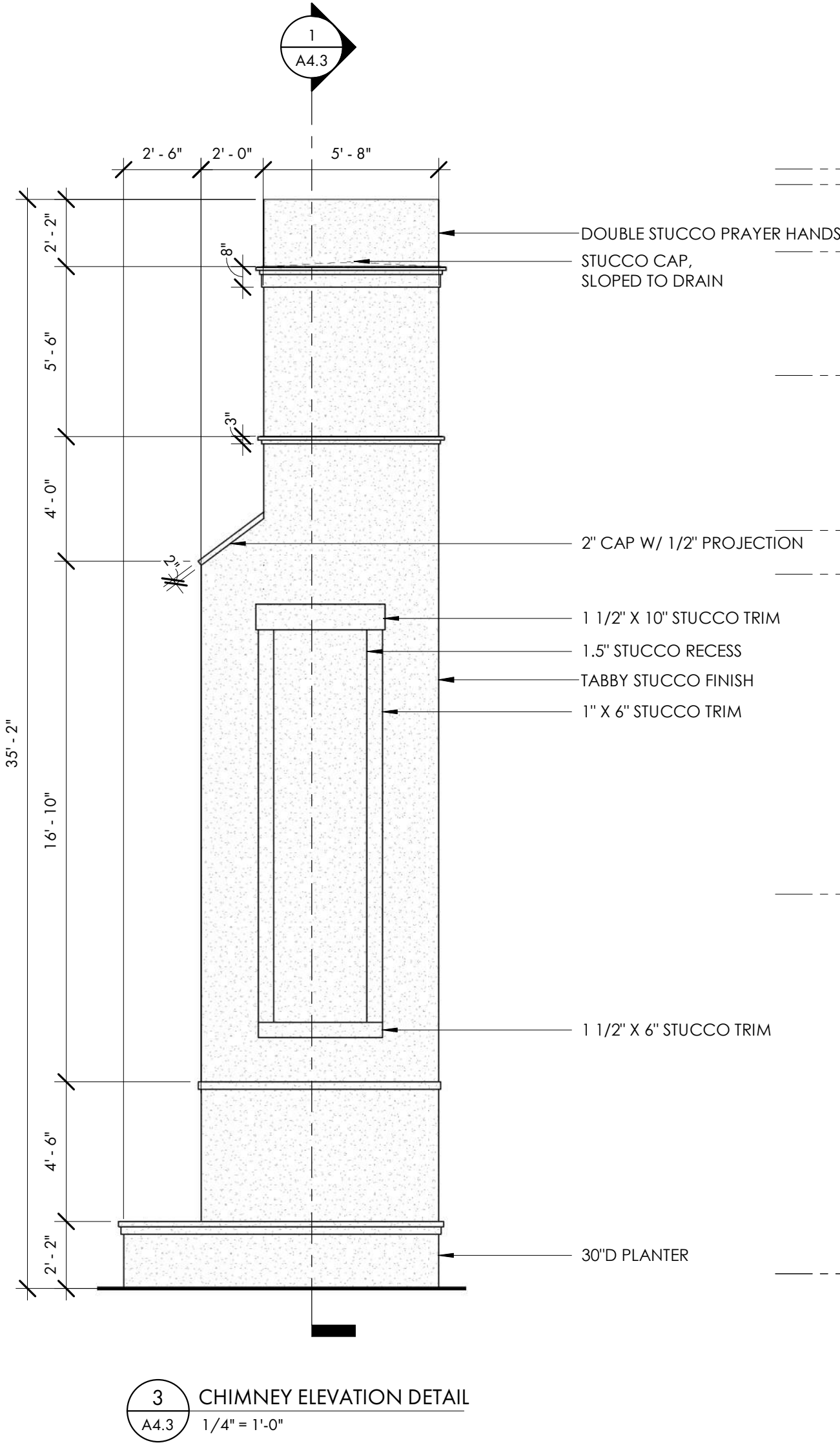
2 BUILDING SECTION B
A4.0 1/4" = 1'-0"



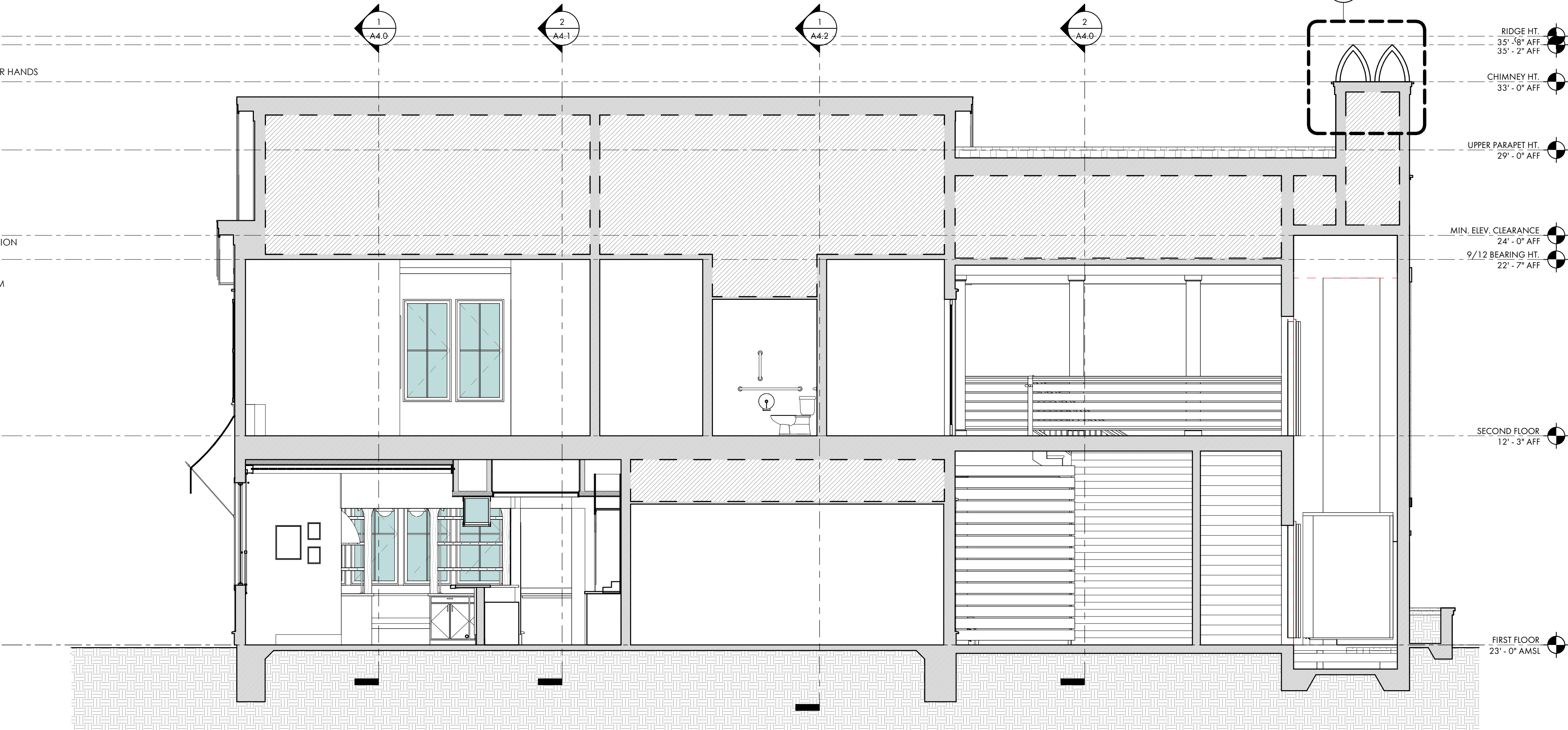
1 BUILDING SECTION A
A4.0 1/4" = 1'-0"



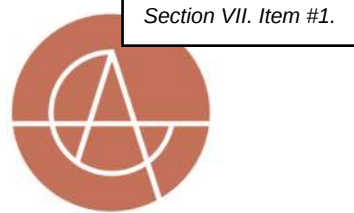
2 CHIMNEY DETAIL
A4.3 1" = 1'-0"



3 CHIMNEY ELEVATION DETAIL
A4.3 1/4" = 1'-0"



1 ELEVATOR SECTION
A4.3 1/4" = 1'-0"



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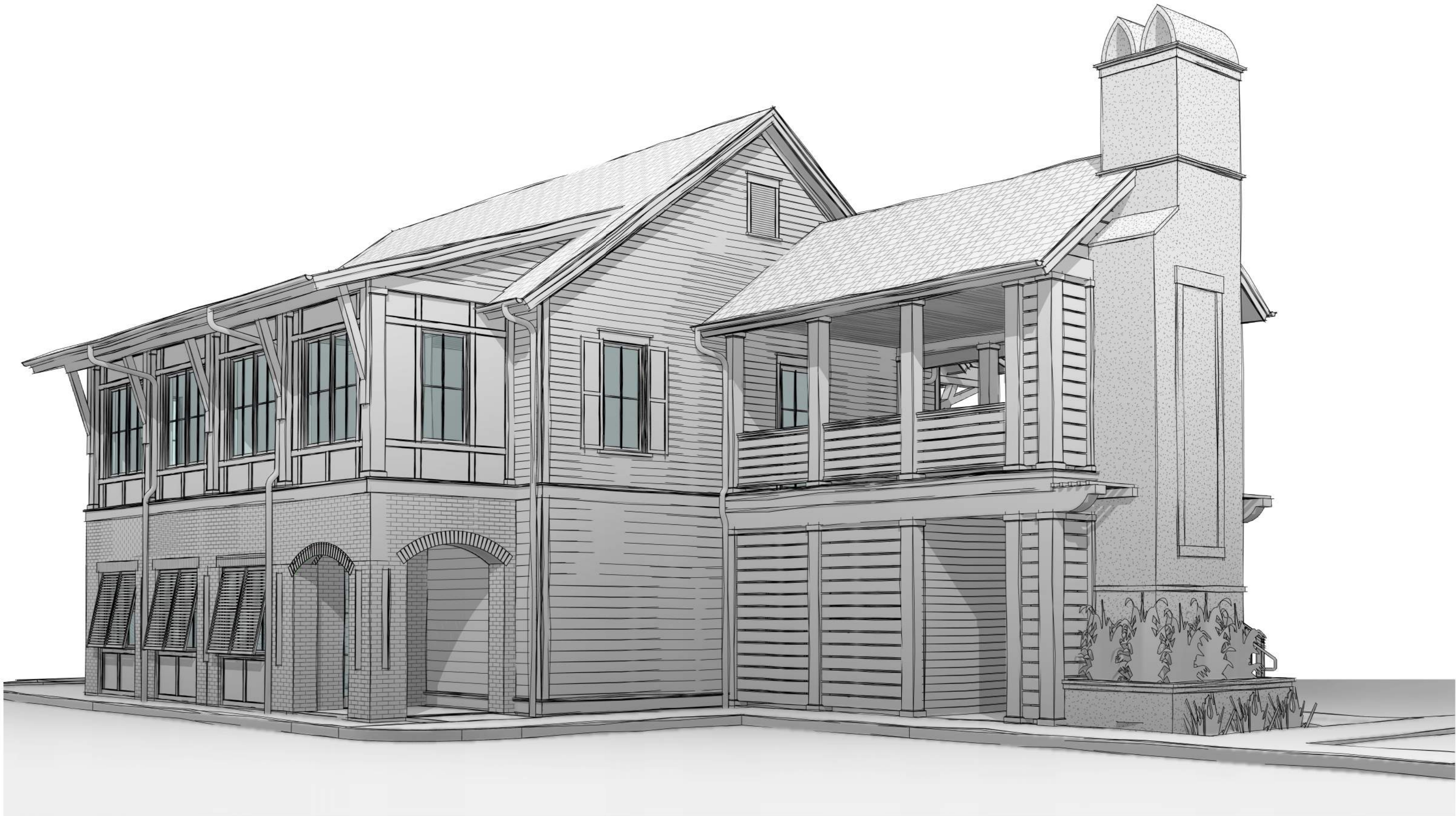
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PERSPECTIVES

A9.4



1 PERSPECTIVE A
A9.4



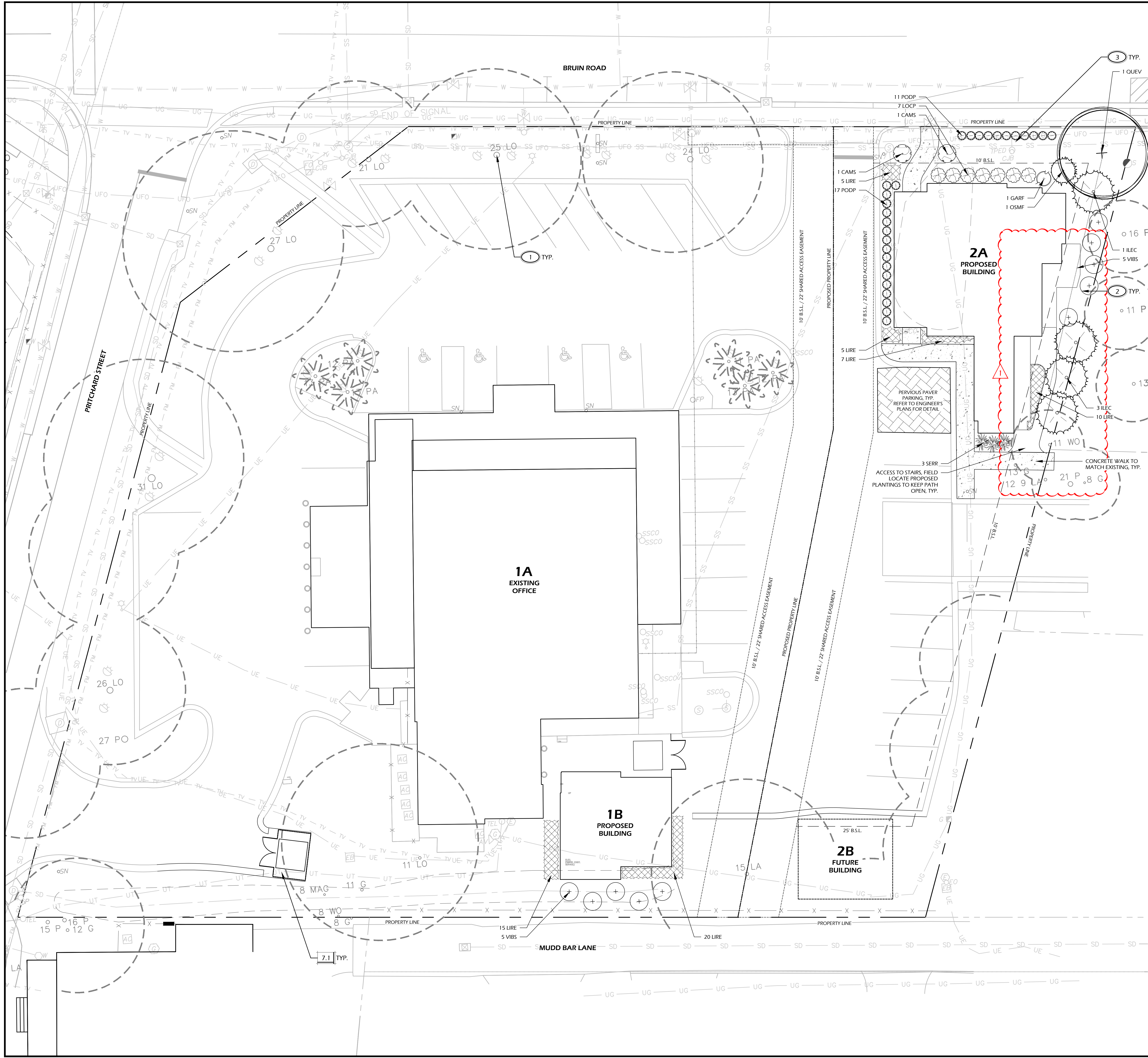
4 PERSPECTIVE D
A9.4



2 PERSPECTIVE B
A9.4



3 PERSPECTIVE C
A9.4



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L3
14.2	PALM TREE PLANTING	2/L3
14.3	SHRUB PLANTING	3/L3
14.4	GROUND COVER PLANTING	4/L3

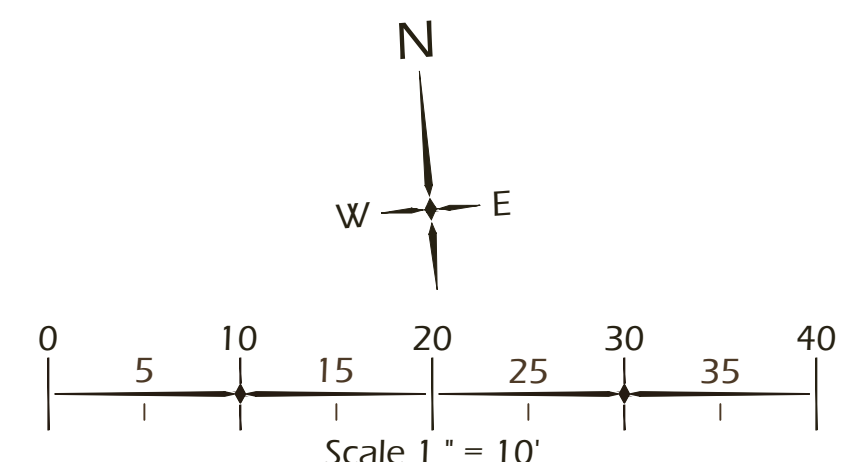
PLANT KEY LEGEND		
Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
UNDERSTORY TREES		
ILEC	Ilex cassine	Dahoon Holly
SHRUBS		
CAMS	Camellia sasanqua	Sasanqua Camellia
GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia
LOCP	Loropetalum chinense 'PP1 PP25471'	Purple Daydream Dwarf Loropetalum
OSMF	Osmanthus fragrans	Fragrant Tea Olive
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
VIBS	Viburnum suspensum	Sandankwa Viburnum
GROUND COVERS, VINES & PERENNIALS		
LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope
SOD & MULCH		
SODSF	-	Empire Zoysia Sod
MULCHSF	Pine Straw - all disturbed areas	Pine Straw

- PLANTING REFERENCE NOTES:**
- 1 EXISTING TREES TO REMAIN.
 - 2 MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - 3 COORDINATE PLANTING LAYOUT WITH EXISTING AND PROPOSED UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.

SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
7.1	TRASH ENCLOSURE	1/L3

LANDSCAPE ARCHITECTURAL REVISIONS - #01

1. ADJUSTED PLANTINGS BASED ON BUILDING FOOTPRINT CHANGE.



Section VII, Item #1.

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THIS SHEET TO SCALE AT: 30"x42"

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land planning
www.wjkltd.com

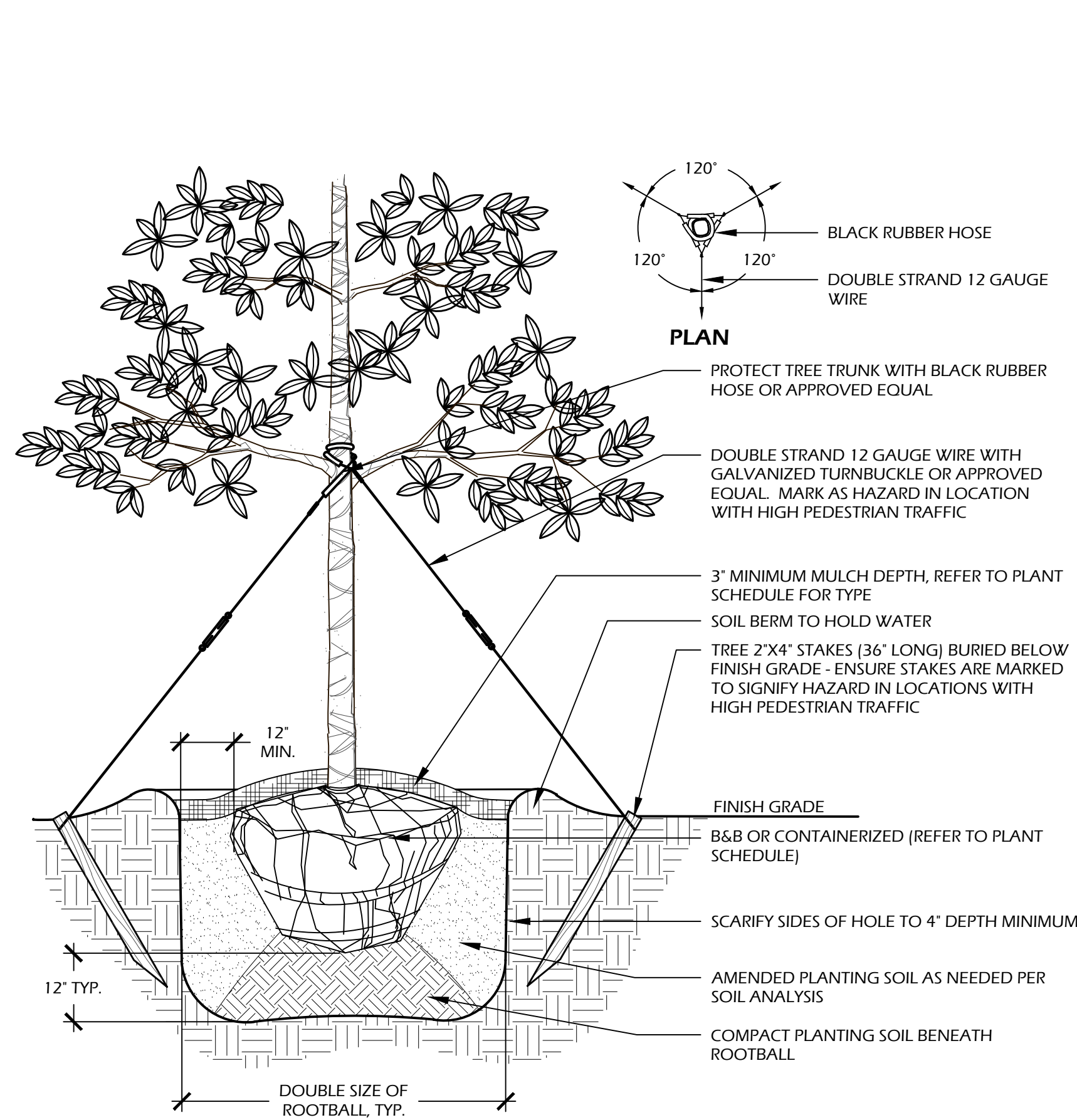
SITE DEVELOPMENT PLANS
FOR
LAPBA, LLC.
BRUIN ROAD
BLUFFTON, SC

DATE: AUG. 20, 2025
PROJECT NO.: 24-147-01
DRAWN BY: JM / MW
CHECKED BY: DK

REVISIONS:
08-05-2026 REVISION - 01

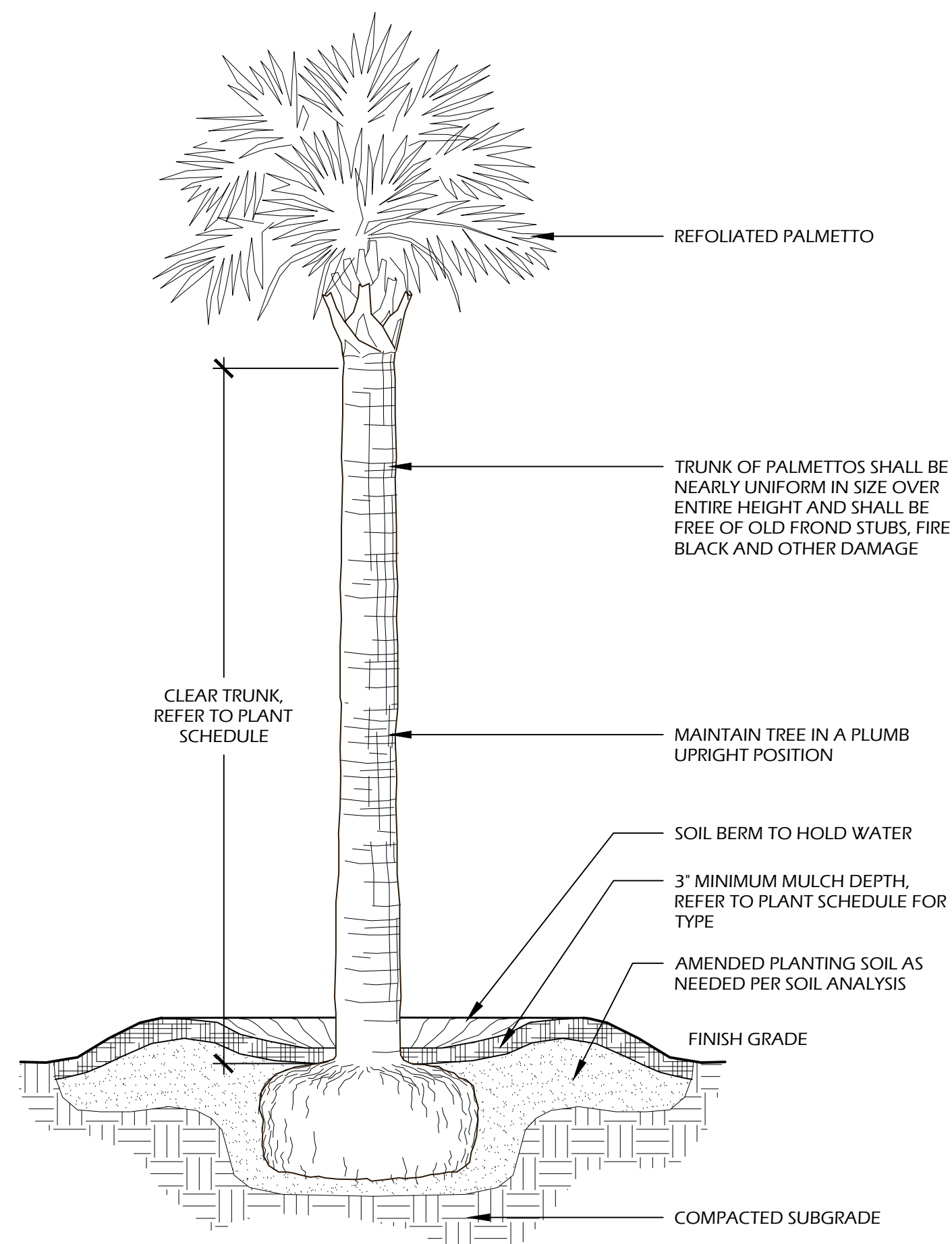
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L1



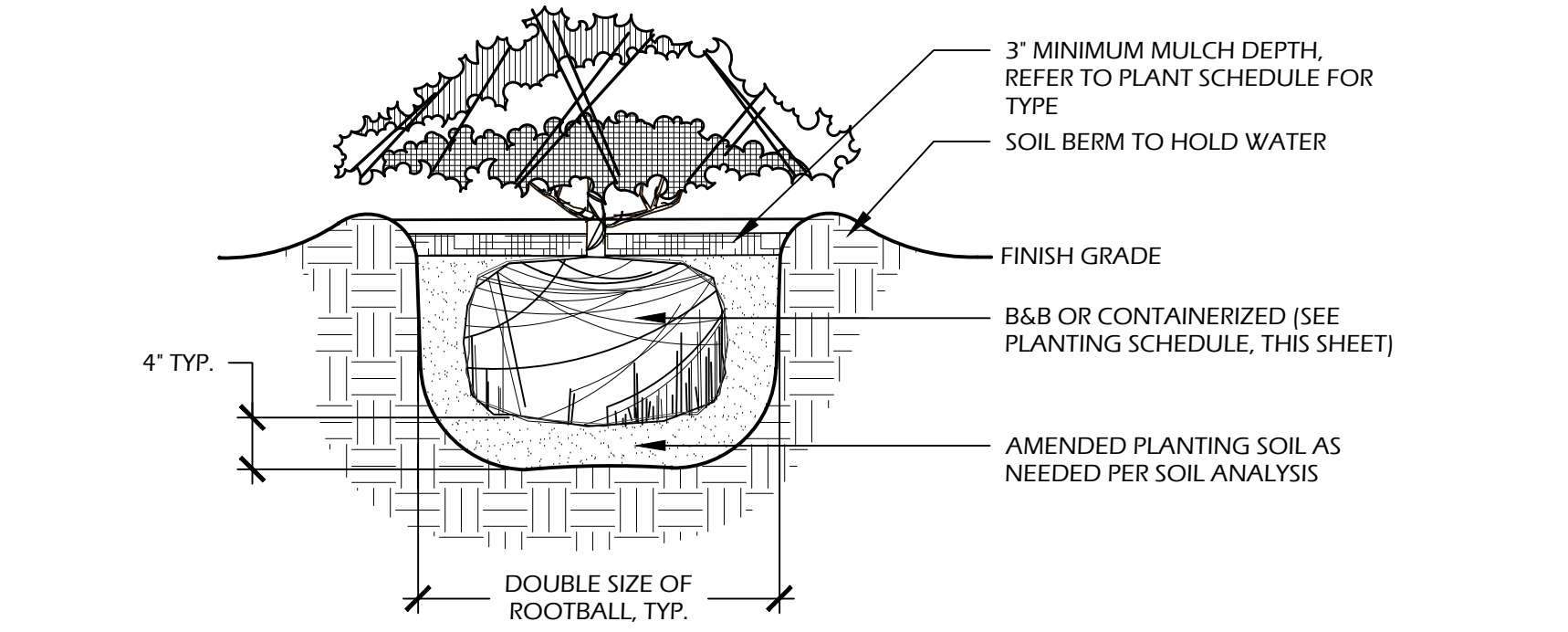
- NOTES:
1. TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNERS REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNERS REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L2 TREE PLANTING
SCALE: N.T.S.



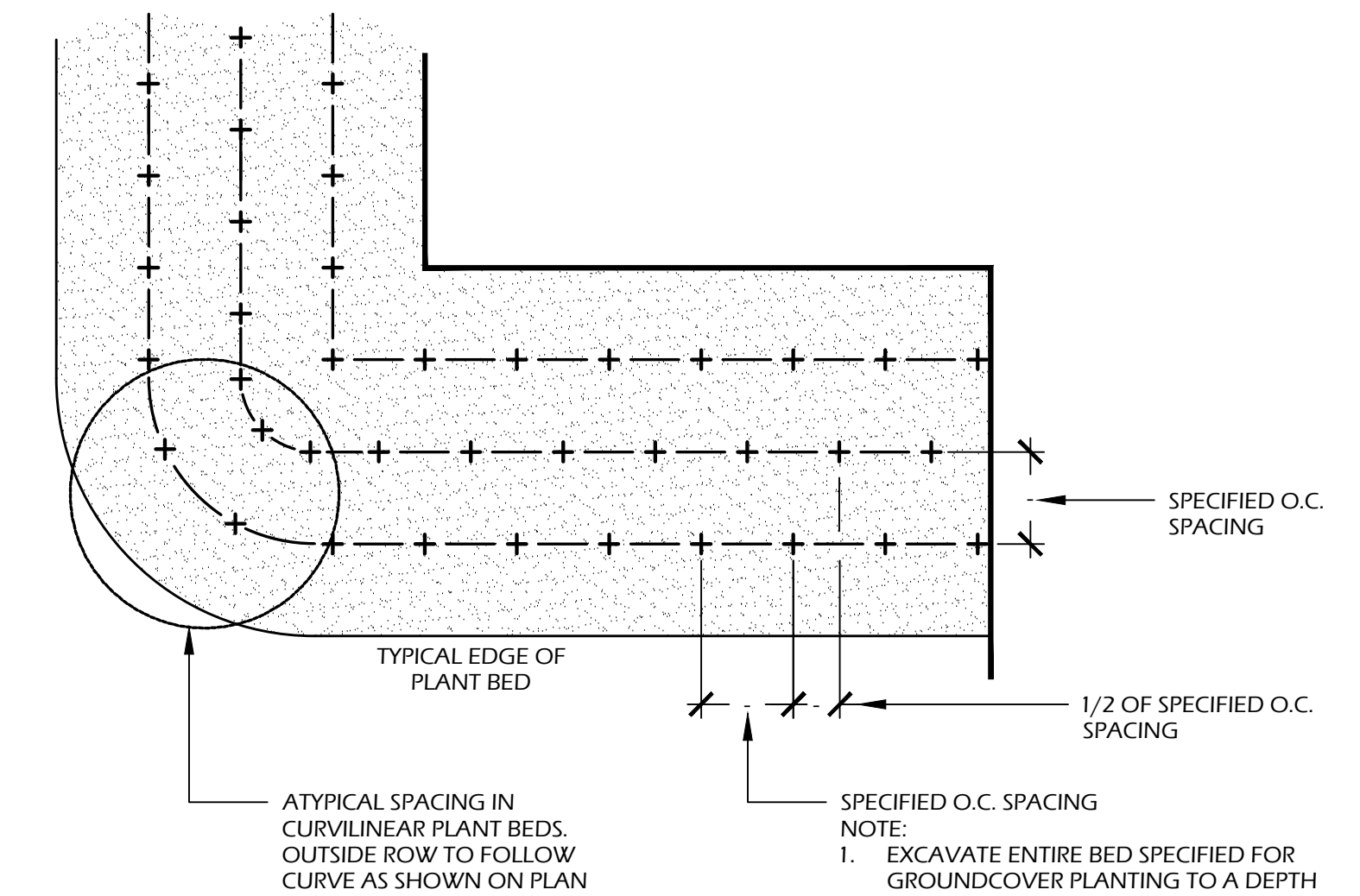
- NOTES:
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L2 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:
1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

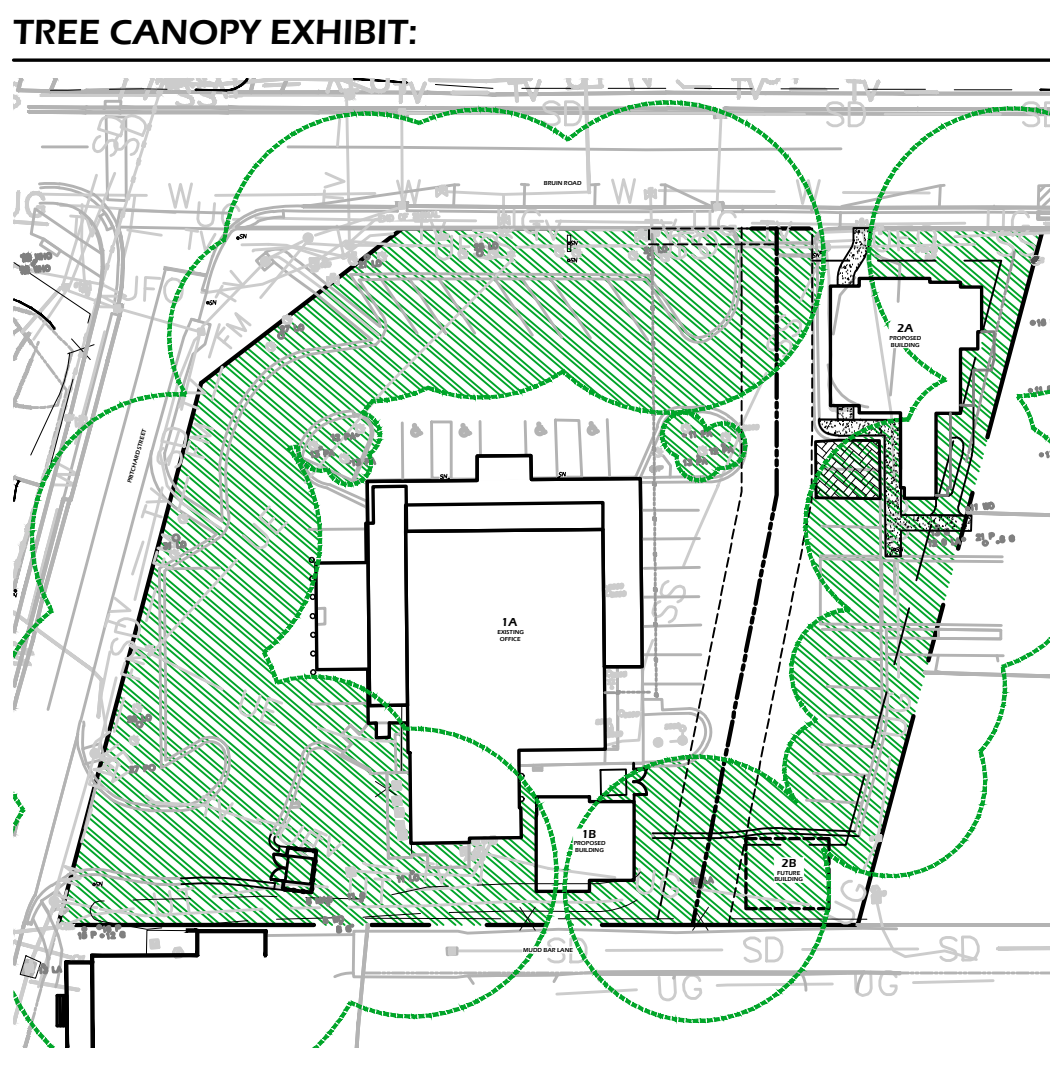
3 // L2 SHRUB PLANTING
SCALE: N.T.S.



4 // L2 GROUND COVER PLANTING
SCALE: N.T.S.

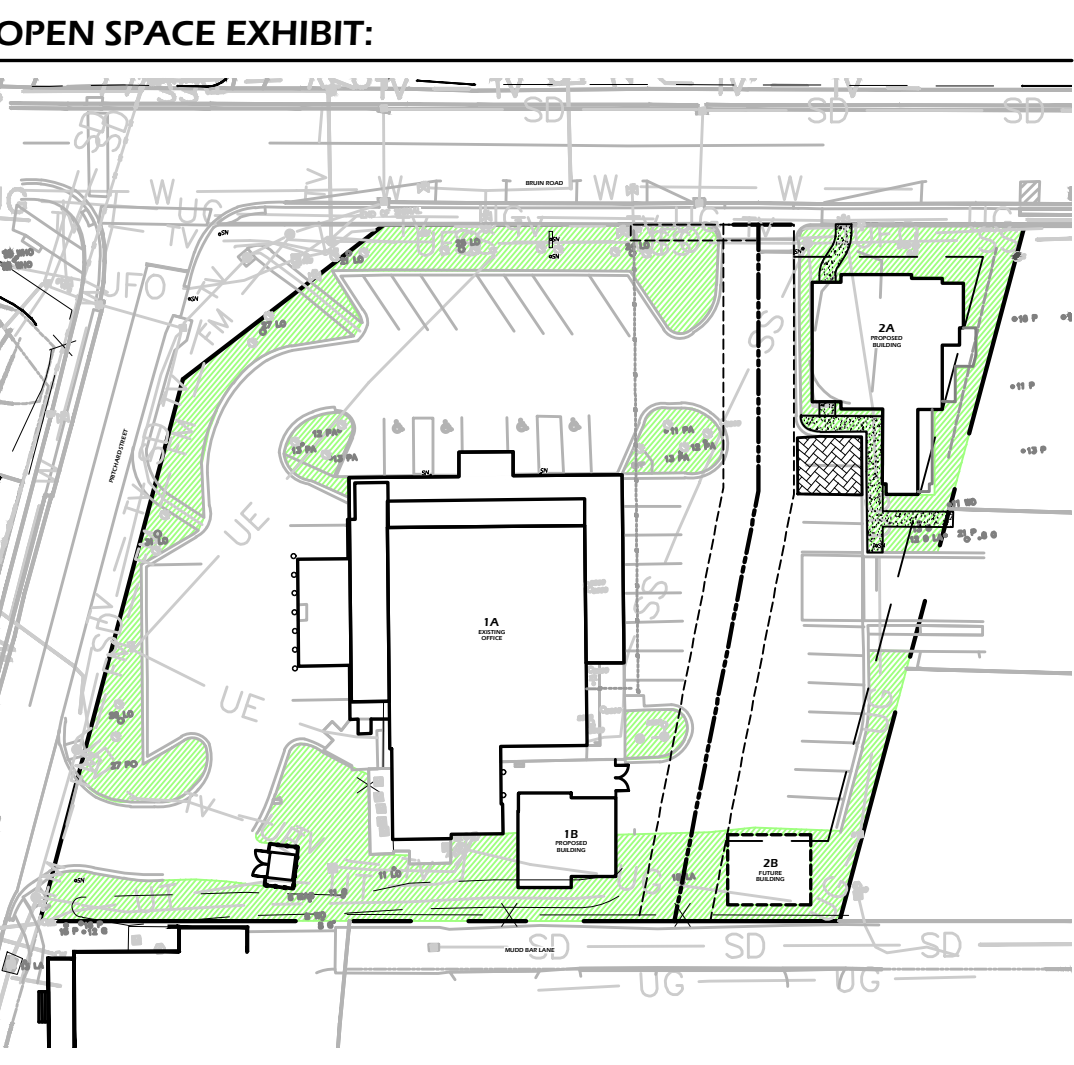
PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
1	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4'	Full
UNDERSTORY TREES								
4	ILEC	Ilex cassine	Dahoon Holly	6'-7'	3'-4'	15 gal.	-	Full
SHRUBS								
2	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
1	GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia	4'-5'	2'-3'	15 gal.	-	Full
7	LOCP	Loropetalum chinense 'PP'	Purple Daydream Dwarf Loropetalum	18"-24"	18"-24"	7 gal.	-	Full
1	OSMF	Osmanthus fragrans	Fragrant Tea Olive	36"-42"	18"-24"	7 gal.	-	Full
28	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18"-24"	16"-20"	7 gal.	-	Full
3	SERR	Serenoa repens	Saw Palmetto	24'-30'	24'-30'	15 gal.	-	Full
10	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36'	24'-30"	7 gal.	-	Full
GROUND COVERS, VINES & PERENNIALS								
62	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-16"	8"-12"	1 gal.	24" O.C.	Full
MULCH								
3,000	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



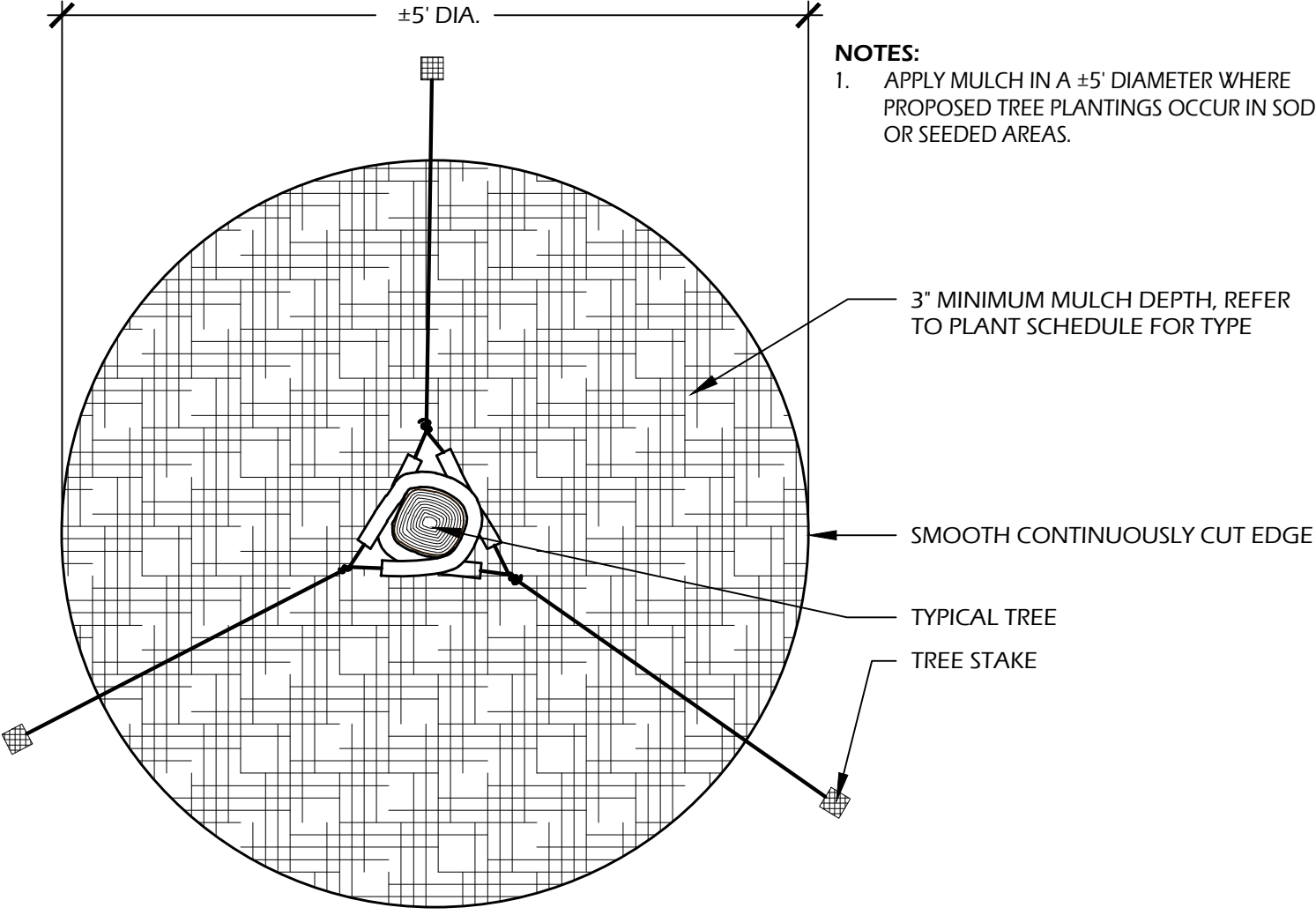
CANOPY COVERAGE TABLE

DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	53,151 SF
BUILDING FOOTPRINTS	11,415 SF
REMAINING SITE AREA	41,736 SF
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	31,449 SF
% CANOPY COVERAGE (75% MIN.)	75.35%



OPEN SPACE TABLE

DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	53,151 SF
OPEN SPACE (EXISTING AND PROPOSED)	14,095 SF
% OPEN SPACE (20% MIN.)	26.52%



- NOTES:
1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOIL OR SEEDBED AREAS.

5 // L2 TREE STAKING
SCALE: N.T.S.

SITE DEVELOPMENT PLANS
FOR
LAPBA, LLC.
BRUIN ROAD
BLUFFTON, SC

DATE: AUG. 20, 2025
PROJECT NO.: 24-147-01
DRAWN BY: JM / MW
CHECKED BY: DK



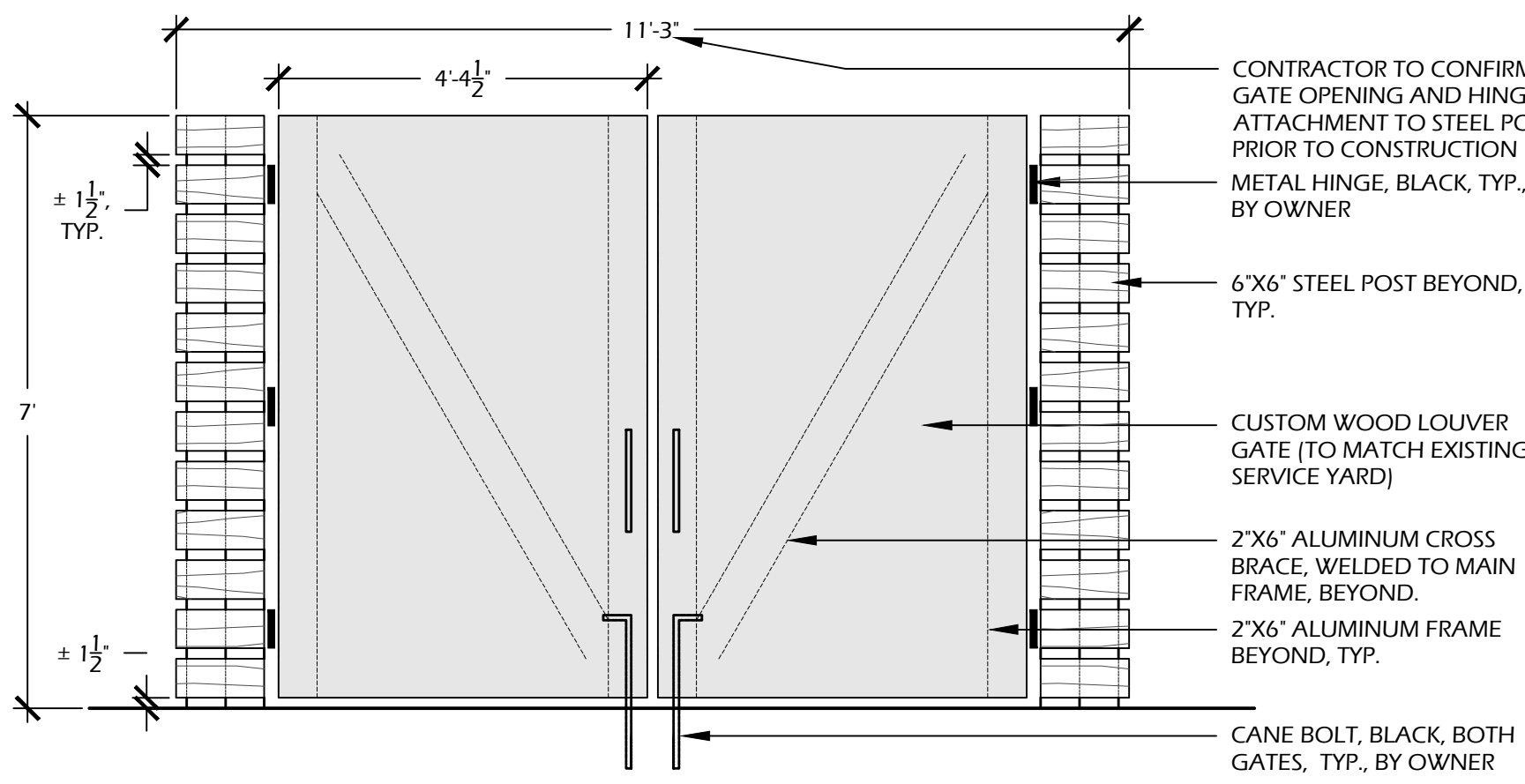
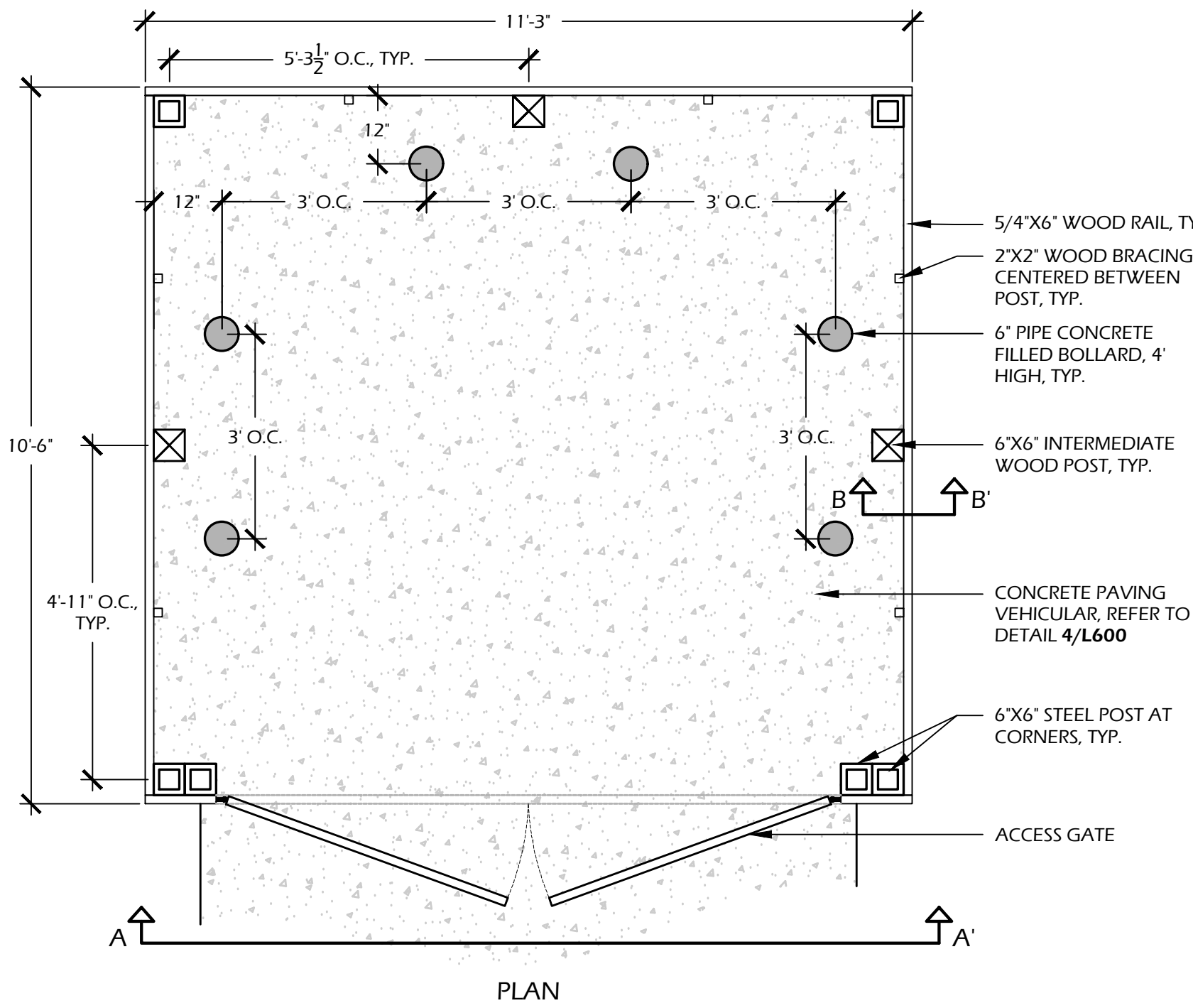
REVISIONS:
08-05-2026 REVISION - 01

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

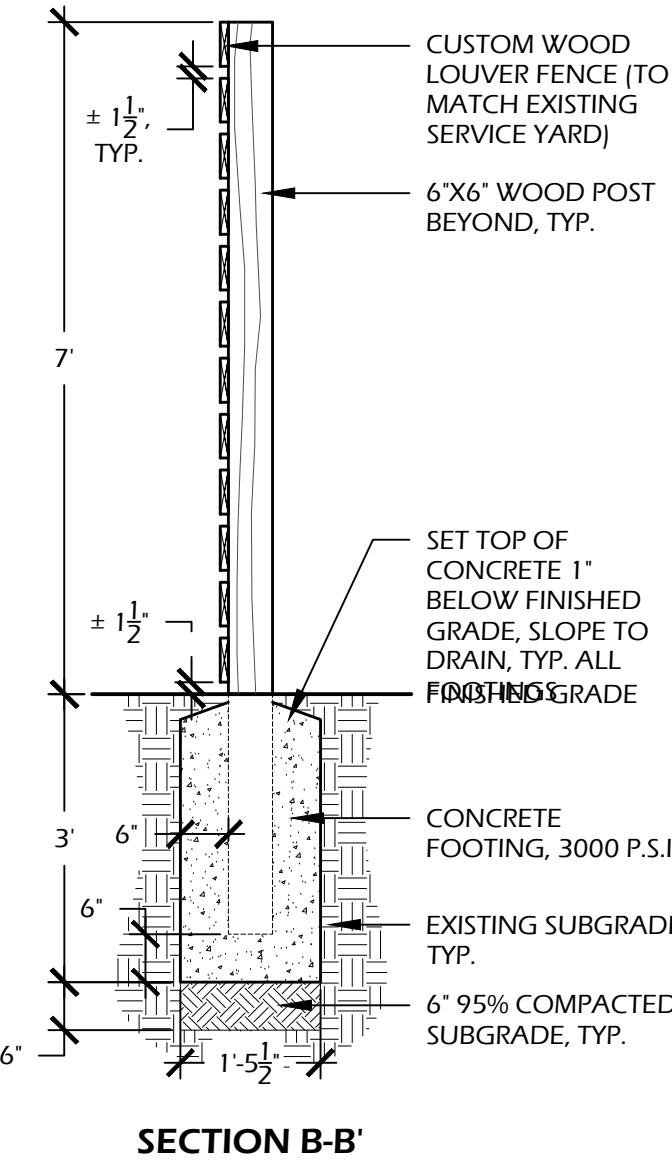
DRAWING NUMBER
L2

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DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 30"X42"

Winter Jones-Keener Ltd.
landscape architecture
land planning
www.wjkltd.com
249 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph: 843.797.7241



- NOTES:**
1. PRIOR TO FABRICATION VERIFY ROAD/DRIVE GRADES AND CLEARANCE FOR GATE OPENING. VERIFY SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO GATE OPENING WIDTHS.
 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STRUCTURAL DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 3. ALL LUMBER SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE, STAIN CHARLESTON GREEN (COLOR TO BE APPROVED BY OWNER).
 4. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 5. CONTRACTOR TO PROVIDE SAMPLE OF ALL METAL ATTACHMENTS, HINGES, ETC. TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
 6. ALL ALUMINUM RAILS, AND FRAMING, BOLLARDS AND STEEL POSTS TO BE POWDER COATED CHARLESTON GREEN (COLOR TO BE APPROVED BY OWNER).
 7. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
 8. GATE AND FENCE ELEVATION TO MATCH WOOD LOUVER DETAIL OF EXISTING SERVICE YARD (SEE ATTACHED REFERENCE PHOTO).



1 // L3 TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"

SITE DEVELOPMENT PLANS
FOR
LAPBA, LLC.
BRUIN ROAD
BLUFFTON, SC

DATE: AUG. 20, 2025
PROJECT NO.: 24-147-01
DRAWN BY: JM / MW
CHECKED BY: DK



REVISIONS:
08-05-2026 REVISION - 01

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER
L3

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ATTACHMENT 6
PLAN REVIEW COMMENTS FOR COFA-05-25-019766

Section VII. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522

Plan Type:	Historic District	Apply Date:	05/22/2025
Plan Status:	Active	Plan Address:	36 Bruin Rd Road BLUFFTON, SC 29910
Case Manager:	Charlotte Moore	Plan PIN #:	R610 039 000 1755 0000
Plan Description:	A request by Court Atkins Group, Applicant, on behalf of ABPAL LLC, Owner, for a Certificate of Appropriateness-HD to construct a new two-story commercial building of approximately 3,000 SF at 36 Bruin Road (R610 039 000 0274 0000). This parcel located in the Old Town Bluffton Historic District and is zoned Neighborhood General-HD (COFA 05-25-019766). STATUS (06.24.2025): Scheduled for 6/30 HPRC meeting. STATUS (06.30.2025): Reviewed at 6/30 HPRC meeting. Awaiting final submission. STATUS (07.15.2025): Scheduled for August 6, 2025 HPC meeting. STATUS (08.06.2025): HPC approved with conditions. Awaiting resubmission. NOTE (08.14.2025): Property is addressed as 36 Bruin (subdivided from 32 Bruin). STATUS (08.22.2025): Final Plan stamped and approved. STATUS (01.06.2026): Amendment 1 scheduled for the January 7, 2026 HPC meeting. STATUS (01.07.2026): Amendment 1 approved at January 7 HPC meeting with conditions; awaiting updated Final Plan. STATUS (02.05.2026): Final Plan Amendment 1 approved. STATUS (07.21.2026): Amendment 2 to add an exterior elevator shaft/relocate service yard to be reviewed by HPRC on August 3, 2026.		

HPRC Comments

ATTACHMENT 6

Section VII. Item #1.

1. Provide an updated site plan showing how the proposed changes relate to the setback, property lines, and other improvements for Final HPC review.
2. Provide an updated landscape plan for Final HPC review.
3. The design breaks down the scale of the rear elevation, but not the sides. Chimneys and fireplaces are not usually 8 feet deep. Study the massing of the side elevations for a solution that breaks down the scale of the elevator in a way that makes sense with the story of the “fireplace and chimney” look. The chimney portion extending above the roof is also very deep and dwarfs what is a very large 24” square chimney pot.
4. The “chimney pot” on top of the elevator shaft is out of scale with the width of the chimney. Consider multiples or some other solution to better terminate the massive chimney.
5. What is the waterproofing cap material on top of the shaft?
6. How deep is the stucco recess? The recessed depth appears to be negligible in the perspectives.
7. The chimney needs a cap. How will it drain?
8. Concern expressed regarding a second amendment for new construction and the effect on scale and the side yard setback.

Growth Management Staff Comments

1. The COFA application indicates that “minor exterior changes” are proposed but changes are more extensive and include the expansion of the porch (length, width and height) and related changes (additional columns, rear louver screening, openings), addition of an elevator shaft/chimney, relocation of stairs and service yard, and addition of a freezer and a new rear door in an area previously identified to the HPC as porch.
2. Building permit set shows a freezer and ice machine on the porch but they do not appear on the amended plans. All exterior equipment must be shown and screened.
3. Within the NG-HD district, building form and scale shall be primarily residential to maintain the predominantly residential character component of this district (UDO Sec. 5.15.5.C.) Further, features, such as chimneys, shall have a proportional relationship to other features as well as the building form (UDO Sec. 5.15.5.F.4.a.). The chimney seems disproportionately large for the building, particularly for a porch location, and the use of a clay chimney pot with a tabby shell chimney is an atypical combination of materials for Old Town. What clay is proposed?
4. The service yard seems unnecessarily large for the equipment shown.
5. If the space for Tenant 2 is to be an extension of the restaurant, the amount of required parking will increase. An amended Development Plan would be required.
6. Correct plan name—shows as LAPBA and ABPAL Shell Building.

Plan Review Case Notes:



MEMORANDUM

TO: Historic Preservation Commissioners

FROM: Town of Bluffton Growth Management Staff

RE: Site Feature Permits from July 17, 2026, to August 16, 2026

DATE: September 1, 2026

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
5 Promenade St Unit 1302	The Red Dog Biscuits & Boutique Signage	Caroline Luke	Applied
16 Church St	Pluff Mud Gallery Signage	Caroline Luke	Approved
121 Bridge St	Front porch repairs	Glen Umberger	Approved
30 Promenade St Unit 200	The Greencoast Landscape and Hardscape Signage	Caroline Luke	Approved
36 Wharf St	House & Carriage house – Eyebrow roof	Caroline Luke	Approved