



Historic Preservation Commission Meeting

Wednesday, July 02, 2025 at 6:00 PM

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers,
20 Bridge Street, Bluffton, SC

AGENDA

This meeting can be viewed live on [BCTV](#), on Sparklight Channel 9 and 113 or on Spectrum Channel 1304.

I. CALL TO ORDER

II. ROLL CALL

III. NOTICE REGARDING ADJOURNMENT

The Historic Preservation Commission will not hear new items after 9:30 p.m. unless authorized by a majority vote of the Commission Members present. Items which have not been heard before 9:30 p.m. may be continued to the next regular meeting or a special meeting date as determined by the Commission Members.

IV. ADOPTION OF MINUTES

- [1.](#) June 11, 2025 Minutes

V. PUBLIC COMMENT

VI. OLD BUSINESS

- [1.](#) **15 Meriwether Court:** A request by BFL Builders, Owner and Applicant, for approval of a Certificate of Appropriateness-Historic District, to allow construction of a 2-story single-family residence of approximately 1,637SF and an attached 2-story Carriage House of approximately 840SF located at 15 Meriwether Court (Lot 1) in the Landon Oaks Development. The property is in Old Town Historic District and is zoned Neighborhood General-Historic District. (COFA-01-25-019522)(Staff - Charlotte Moore)

VII. NEW BUSINESS

- [1.](#) **5 Lawton Street:** A request by Ansley Manuel (Manuel Studio), on behalf of James W. Jeffcoat Revocable Trust, Owner, for the review of a Certificate of Appropriateness-HD (Demolition) to allow the demolition of a non-contributing storage shed located at 5 Lawton Street in Old Town Bluffton Historic District within the Neighborhood Center - Historic District (ND- HD) zoning district. (COFA-03-25-019646) (Staff - Charlotte Moore)

2. **34 Thomas Heyward Street:** A request by Jason Alexander, Applicant and Property Owner, for review of a Certificate of Appropriateness-Historic District (Demolition), to allow the demolition of an existing house located at 34 Thomas Heyward Street (Parcel R610 039 00A 0023 0000) in the Old Town Bluffton Historic District. The house, known as the Nellie and Leroy Brown Cottage, is a Contributing Resource to the Old Town Bluffton Historic District and is zoned Neighborhood Conservation-Historic District (NCV-HD). (COFA-04-25-019719) (Staff-Glen Umberger)
3. **89 Bridge Street:** A request by Amanda Denmark (Pearce Scott Architects), on behalf of owners, Jamie and Allyn Oliver, for approval of a Certificate of Appropriateness-Historic District to allow the conversion of an existing single-family residence into a bookstore with an associated icerery located at 89 Bridge Street Old Town Bluffton Historic District and zoned Neighborhood Conservation-Historic District (NCV-HD). (COFA-03-25-019642) (Staff-Sam Barrow)

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

IX. ADJOURNMENT

NEXT MEETING DATE: Wednesday, August 6, 2025

“FOIA Compliance – Public notification of this meeting has been published and posted in compliance with the Freedom of Information Act and the Town of Bluffton policies.”

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Bluffton will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. The Town of Bluffton Council Chambers are ADA compatible. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Bluffton ADA Coordinator at 843.706.4500 or adacoordinator@townofbluffton.com as soon as possible but no later than 48 hours before the scheduled event.

Executive Session – The public body may vote to go into executive session for any item identified for action on the agenda.

**Please note that each member of the public may speak at one public comment session and a form must be filled out and given to the Town Clerk. To submit a public comment online, please click here:*

<https://www.townofbluffton.sc.gov/FormCenter/Town-15/Public-Comment-60>

Public comment is limited to 3 minutes per speaker.

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

June 11, 2025

I. CALL TO ORDER

Chairman Goodwin called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Chairman Evan Goodwin

Vice Chairman Joe DePauw

Commissioner Carletha Frazier

Commissioner Tim Probst

Commissioner Debbie Wunder

Commissioner Lisa Sulka

ABSENT

Commissioner Jim Hess

III. ADOPTION OF MINUTES

1. May 7, 2025 Minutes

Commissioner Frazier made a motion to adopt the minutes as written.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

Voting Abstaining: Commissioner Sulka

All were in favor and the motion passed.

2. May 19, 2025 Special Meeting Minutes

Commissioner Frazier made a motion to adopt the minutes as written.

Seconded by Vice Chairman DePauw.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder

Voting Abstaining: Commissioner Sulka

All were in favor and the motion passed.

IV. PUBLIC COMMENT

Lori Guscio, 75 Pritchard St, Bluffton - Ms. Guscio spoke about the concerns over the project located at 71 Bridge St and how it could affect her property.

V. OLD BUSINESS

VI. NEW BUSINESS

1. **82 Pritchard Street:** A request by Keith Martelli (Martelli Architects), on behalf of the Owners, Mark and Kim Driscoll, for approval of a Certificate of Appropriateness-HD to alter an existing 2-story garage (Carriage House) of approximately 1198 square feet located at 82 Pritchard Street, in Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD District. (COFA-02-25-019576) (Staff - Charlotte Moore)

Staff presented. The applicant was present. The Commission asked for clarification on what window and door materials would be used.

Vice Chairman DePauw made a motion to approve the application with the following conditions:

1. Provide window materials and operations to show compliance with UDO Sec. 5.15.6.I.2.a. and 3.b.
2. Provide door material for the entry door and French doors to show compliance with UDO Sec. 5.15.6.I.2.b.
3. Provide a stair and railing detail to show compliance with UDO Sec. 5.15.6.H.
4. Show the exposed patio foundation with a brick veneer in a bond pattern to match the foundation of the main residence to comply with UDO Sec. 5.15.6.G.1.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

2. **32 Tabby Shell:** A request by Drew Vann (Palmetto Star Construction), on behalf of owner, Scott Ready, for review of a Certificate of Appropriateness-Historic District, to allow the construction of a new 2-story Carriage House of approximately 1,162 enclosed square feet at 32 Tabby Shell Road (Lot 17) in the Tabby Roads Development. The property is zoned Neighborhood General-HD (NG-HD) and is in Old Town Bluffton Historic District. (COFA-03-25-019654) (Staff - Charlotte Moore)

Staff presented. The applicant was present. The commission had questions regarding the soffit material being used and what kind of trees would be removed.

Commissioner Probst made a motion to approve the application with the following conditions:

1. The service yard must be relocated from underneath the stairs and screened in compliance with UDO Sec. 5.15.5.F.
2. Provide the material to be used for the horizontal boards underneath the staircase and comply with the configuration requirements of Tabby Roads HARB, to include placement of boards at least 1" behind posts and spacing no greater than 0.5" between boards.
3. Remove the notation "Final Stair Design To Be Determined On-site."

4. An exposed foundation must match the tabby shell foundation of the main residence and must be mixed shell size (UDO Sec. 5.15.6.G.1).
5. Change entry doors from fiberglass to wood, metal and/or metal-clad to comply with UDO Sec. 5.15.6.I.2.b.
6. Update the window schedule to indicate that vinyl windows are proposed.
7. Provide the soffit configuration to beaded or v-groove tongue and groove per UDO Sec. 5.15.6.P.5.
8. Revise the roof overhang to 18" and the frieze board to 2x10 trim per the requirements of the Tabby Roads HARB.
9. Show that a minimum of 75% tree canopy coverage at maturity will be provided for the entire lot not to include roofs (UDO Sec. 5.5.3.G.1.).
10. Submit a Tree Removal Permit application to remove trees that are 14" or greater in diameter at breast height (UDO Sec. 3.22.2.B.3.).
11. Proof of final approval by Tabby Roads HARB will be required.
12. Update the Bracket detail to change the separate from one (1') foot to four (4") inches.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

3. **68 Pritchard Street:** A request by Tony and Alyssa Pressley, Applicants and Owners, for approval of a Certificate of Appropriateness - HD to construct a new 2-story Carriage House of approximately 800 SF at 68 Pritchard Street in Old Town Bluffton Historic District and zoned Neighborhood General-HD. (COFA-05-24-019155) (Staff – Charlotte Moore)

Staff presented. The applicant was present. The commissioners asked for clarification regarding what trees are being removed and what window grid pattern is being used. The Commission questioned where the applicant was considering moving the service yard. There was discussion regarding methods to break up the first and second floor.

Commissioner Probst made a motion to approve the application with the following conditions:

1. The service yard must be relocated from underneath the stairs and screened in compliance with UDO Sec. 5.15.5.F.

2. An exposed foundation must match the tabby shell foundation of the existing house and must be mixed shell size (UDO Sec. 5.15.6.G.1).
3. Provide a door and window schedule on the plans.
4. The standing seam metal roof should be galvanized to match the existing house.
5. Identify the corner board material and revise the water table and drip cap to be fiber cement board to match the existing house.
6. Provide bracket details, including dimensions and material.
7. Provide a band board along the front elevation (garage door elevation) between the first and second floors.

Seconded by Commissioner Sulka.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

4. **41 Stock Farm Road:** A request by Dylan and Amanda Mingard, Applicants and Owners, for approval of a Certificate of Appropriateness-HD to allow the construction of a 1-story carport or Carriage House of approximately 396 square feet and a Breezeway of approximately 301 square feet which will connect the Carriage House to the existing main structure located at 41 Stock Farm Road in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-02-25-019610) (Staff - Sam Barrow)

Staff presented. The applicant was present. There was discussion about the spacing of the posts in the carport.

Vice Chairman DePauw made a motion to approve the application with the following conditions:

1. Per UDO Sec. 5.15.6.H.1.a, adjust spacing of applicable breezeway posts so that the distance is no greater than the posts are tall.
2. Provide vent, louver, and board and batten screening and wall materials to show compliance with UDO Sec. 5.15.6.G.3.
3. Provide exposed carport foundation material to show compliance with UDO Sec. 5.15.6.G.1.
4. Provide a wall section through eave detail to show that fascia, soffits, water tables and corner boards are in compliance with UDO Sections 5.15.6.N. and P.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

5. **15 Meriwether Court:** A request by BFL Builders, Owner and Applicant, for review of a Certificate of Appropriateness-Historic District, to allow construction of a 2-story single-family residence of approximately 1,637 square feet and an attached 2-story Carriage House of approximately 840 square feet located at 15 Meriwether Court (Lot 1) in the Landon Oaks Development. The property is in Old Town Historic District and is zoned Neighborhood General-Historic District. (COFA-01-25-019522)(Staff - Sam Barrow)

Staff presented. The applicant was present. There was discussion regarding the use of the hog fence railing details. The commissioners had questions regarding the placement of the service yard and what material is being used for the service yard. The Commission asked for clarification regarding the doors being used for the carriage house, the details of the beams, and the windows being used.

The applicant requested to table the item.

Commissioner Sulka made a motion to table the application.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed. The item was tabled.

6. **71 Bridge Street:** A request by Ed Johns, Jr. (LowCountry Custom Built Homes), Applicant, on behalf Jim and Julie Lewellyn, Owners, for approval of a Certificate of Appropriateness - HD to allow the construction of a 2-story main residence of approximately 3,168 square feet and a 2-story Carriage House of approximately 1,196 square feet located at 71 Bridge Street in Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD. (COFA-11-24-019447)(Staff - Charlotte Moore)

Staff presented. The applicant was present. The Commission asked for clarification on the square footage and the height of the posts being used on the brick wall. There was discussion about the use of the possible shared road and the maintenance. The commissioners questioned how the slope of the site would be addressed and if the doors on the rear elevation could be changed to appear more proportional. There was discussion regarding the window placement on the left side elevation of the Carriage house.

Commissioner Sulka made a motion to approve the application with the following conditions:

1. The service yard for the main structure must be included. Both service yards must be screened in compliance with UDO Sec. 5.15.5.F. (Note: The Carriage House service yard can remain in the proposed location.)
2. If any porch is to be screened, all architectural expression (columns, railings, etc.), must

be on the outside of the screen (UDO Sec. 5.15.6.E.5.f.).

3. Change the column material to a material that is permitted by UDO Sec. 5.15.6.H.2.a.
4. Provide the material to be used for the railings, balusters and handrails and show the dimensions for the top rail (2- $\frac{3}{4}$ "), as well as the spacing between balusters (4" to 5" on-center) as required by UDO Sec. 5.15.5.H.3.d.
5. Label all exterior doors on the plans to confirm proposed material and operation shown in the door schedule and identify the material for the French doors. (UDO Sec. 5.15.6.I.2.b.)
6. Label all windows on the plans to confirm proposed material and operation. If fixed windows are proposed for the Carriage House dormer windows, they will need to be changed to an operable window type permitted by UDO Sec. 5.15.6.I.3.b.
7. Identify the roof metal to be used to show compliance with UDO Sec. 5.15.5.J.2.a.
8. Provide a fence detail that includes scale and dimensions to show that front yard fence will be no taller than 42 inches.(UDO Sec. 5.15.6.K.2.). Consider additional piercing or openings for the brick panel between the piers.
9. Show the shutter material to be used on the plans.
10. Provide an updated wall section through the eave detail for the main structure that matches the elevations. All details must be consistent and comply with UDO Sections 5.15.6.N., O. and P.
11. Update the Landscape Plan to match the most recent plans.
12. Show updated tree canopy calculation to show that a minimum of 75% canopy coverage at tree maturity will be provided (UDO Sec. 5.3.3.G.).
13. A Tree Permit will be required to remove trees that are 14 or more inches in diameter at breast height (UDO Sec. 3.22.2.B.3.).
14. Update the rake detail.
15. The proposed access must be legal. Construction-related vehicles and equipment must access the property from Bridge Street.
16. Remove the transoms on the first-floor rear doors to have eight-foot tall doors.
17. For the second-floor rear doors, change from four to six lites.

18. Reduce the foundation of the main house by two feet.

19. Lower the plate height on the Carriage House.

20. Shift the stairs on the Left elevation to align with the window behind it.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

7. **22 Bruin Road:** A request by Greg Harrold, Applicant, on behalf of Bertha Wooten, Owner, for approval of a Certificate of Appropriateness - HD to construct a new 1-story single family residence of approximately 1,695 square feet with an attached Carriage House of approximately 697 square feet, to be located at 22 Bruin Road, in Old Town Bluffton Historic district and zoned Neighborhood General- HD District. (COFA-01-24-018816) (Staff - Charlotte Moore)

Staff presented. The applicant was present. The commissioners discussed the need for more windows on the right and left elevations. There was discussion on ways to simplify the roof form.

Chairman Goodwin made a motion to approve the application with the following conditions:

1. Revise the main roof form to be entirely a hip roof.
2. Provide additional windows on the Right and Left Elevations of the main structure to comply with UDO Sec. 5.15.5.F.2.B.
3. Eliminate the corner window on the Rear Elevation or reconsider window placement to space the rear bathroom windows in a logical manner to comply with UDO Sec. 5.15.5.F.4.c.
4. If electric meters are to be placed in the service yard, the gate must be removed. If electric meters are located elsewhere in public view, they shall be screened.
5. Provide a chimney detail to ensure compliance with UDO Sec. 5.15.6.E.8.d.
6. Revise rear porch post spacing to comply with UDO Sec. 5.15.6.H.1.a.
7. Provide material to be used for the porch posts to comply with UDO Sec. 5.15.6.H.2.a.
8. Change window in the porch gable to an operable window or a window with an appearance of an operable window to comply with UDO Sec. 5.15.6.I.3.b.
9. Change the material of the rear porch French doors to be wood, metal or metal-clad to comply with UDO Sec. 5.15.6.I.2.b.

10. Provide details for water tables and corner boards (UDO Sec. 5.15.6.N.).

11. Provide frieze material and change the soffit to beaded or v-groove tongue and groove to comply with UDO Sec. 5.15.6.

12. Demonstrate that 75% tree canopy coverage will be provided (UDO Sec. 5.3.3.G.).

13. Provide a list of trees to be removed from the lot and their diameter at breast height (UDO Table 5.3.3.G.). A Tree Removal Permit will be required for any tree that is 14-inches or more in diameter at breast height (DBH).

Seconded by Commissioner Frazier.

Vice Chairman DePauw made a motion to amend the motion to include the following condition:

14. Revise porch columns to ensure that the neck of the columns aligns with the beam.

Seconded by Commissioner Sulka.

Voting Yea to amend the motion: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

Voting Yea to the amended motion: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

- 8. 42 Wharf Street:** A request by John Montgomery, Applicant and Property Owner, for approval of a Certificate of Appropriateness-Historic District, to allow construction of a new 2-story Single Family structure of approximately 2,120 square feet and 2-story Carriage House of approximately 1,120 square feet located at 42 Wharf Street. The property is within Old Town Historic District and is zoned Neighborhood General-Historic District. (COFA-04-24-019070) (Staff - Sam Barrow)

Staff presented. The applicant was present. The commissioners shared concerns over the height of the main structure versus the surrounding structures and the height of the carriage house in relation to the main structure. There was discussion regarding the trees being remove and how the trees remaining would be protected.

Commissioner Sulka made a motion to approve the application with the following conditions:

1. Provide service yard details to show compliance with UDO Sec. 5.15.5.F.
2. Revise the chimney to comply with UDO Sec. 5.15.6.E.8.
3. Identify the hogs pen material to be used on the Carriage House to show compliance with UDO Sec. 5.15.6.G.3.

4. Identify the material for doors to be used on the ground floor front façade of the Carriage House that complies with UDO Sec. 5.15.6.I.2.b.). These doors must match the door schedule. Change slider doors to a permitted door operation in UDO Sec. 5.15.6.I.3.b.
5. If the window schedule is to include aluminum windows instead of vinyl, update the window schedule.
6. Identify the gauge of the gutters to show compliance with UDO Sec. 5.15.6.J.
7. Identify the material for the fence proposed on the rear property line to show compliance with UDO Sec. 5.15.6.K.3.
8. Remove the closed shutter from the Left elevation of the main house and shift the house to locate the chimney in the setback so that landscaping can be planted to break up the blank wall.
9. Provide materials to be used for the fascia and soffits, and ensure soffit configuration complies with the UDO Sec. 5.15.6.P.5. and provide a crow or bed and cove mold at the frieze (UDO Sec. 5.15.6.P.6.).
10. Provide a detail to show that louvered skirting will be placed a minimum of 1" behind the foundation wall to comply with UDO Sec. 5.15.6.O.
11. Update the Landscape Plan to match the most recent site plan and footprints of both the main house and Carriage House.
12. Confirm that a tree canopy of 75% lot coverage, not including roof tops, is provided to comply with UDO Sec. 5.3.7.G.
13. A Tree Removal Permit will be required to remove any tree with a diameter of 14" or more at breast height.
14. Remove the transom windows in the Carriage House and lower the height of the building.
15. Remove the piers on the Right elevation of the main house.
16. Provide a foundation for the rear lean-to portion of the main house that is consistent with remainder of the house.

Seconded by Commissioner Frazier.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

9. **135 Bridge Street:** A request by Tom Parker, Jr.(PDG | Architects), Applicant, on behalf of Brenda Dunaway, Owner, for approval of a Certificate of Appropriateness-Historic District, to allow construction of a new Center Hall House of approximately 5,240 SF and two Carriage Houses of 800 SF and 1,198 SF located at 135 Bridge Street. The property is within Old Town Historic District and is zoned Riverfront Edge Historic District. (COFA-04-25-019700) (Staff - Sam Barrow)

Commissioner Probst recused himself. Staff presented. The applicant was present. There was discussion about the roof being proposed for the breezeway. The commissioners shared their thoughts on the use of an oval window shaped on the front elevation.

Vice Chairman DePauw made a motion to approve the application with the following conditions:

1. Show roof material to show compliance with UDO Sec. 5.15.6.J.2.a.
2. Revise the Landscape Plan to show compliance with UDO Secs. 5.3.3.A. and 5.5.3.B.
3. Revise the windows labeled "L" in Bridge Street dormer of the main house to have a casement operation.

And, the following determinations:

1. A pitch of ½:12 for the breezeway.
2. The use of powder-coated aluminum for handrails.
3. The use of wood composite shutters (identified as a flat-panel with a bead).
4. The use of brick (identified as Old Carolina).
5. The use of fixed windows (labeled "K") on the May River elevation of the main house.
6. The use of a fixed oval window on the Bridge Street elevation of the main house.

Seconded by Commissioner Sulka.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed.

VII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff presented. The Commission did not have any questions about the report submitted.

VIII. ADJOURNMENT

Commissioner Frazier made a motion to adjourn.

Seconded by Commissioner Wunder.

Voting Yea: Chairman Goodwin, Vice Chairman DePauw, Commissioner Frazier, Commissioner Wunder, Commissioner Sulka

All were in favor and the motion passed. The meeting adjourned at 8:49 pm.

DRAFT



MEMORANDUM

TO: Historic Preservation Commission (HPC)

FROM: Charlotte Moore, Principal Planner

RE: Revised Plans for 15 Meriwether Court (COFA-01-25-019522)

DATE: July 2, 2025

At the June 11, 2025 HPC meeting, the Final Plan for 15 Meriwether Court was tabled to allow the Applicant, BFL Builders, an opportunity to address the below conditions. Conditions 1-11 were recommended by Town Staff; conditions 12 and 13 were added by HPC at the meeting. A response to each condition is provided based on the revised plan submitted by the Applicant on June 25, 2025.

1. Provide the specific wall material(s) (UDO Sec. 5.15.6.G.3).

The plan indicates board and batten siding but does not include the specific material (e.g., wood, fiber cement). The project analysis sheet indicates “lumber.” If wood is to be used, it must be a termite-resistant, 50-year product and indicated on the Final Plan. The material must be identified in the Final Plan.

2. Provide railing details for the exterior Carriage House staircase and for the handrails of the front porch stairs, including dimensions (UDO Sec. 5.15.6.H).

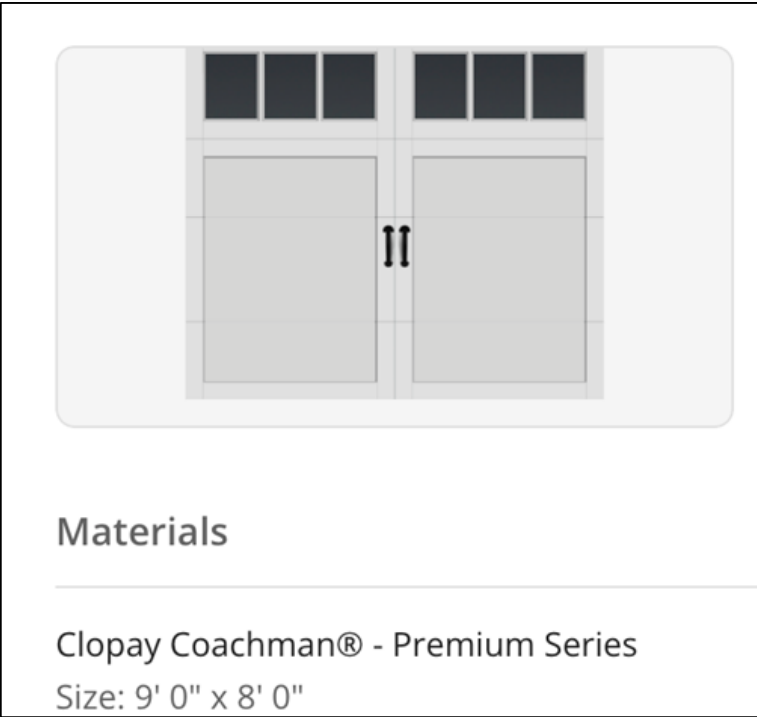
The front porch handrails and railing have been removed from the plans, and stairs now extend the length of the porch. The Carriage House railing complies with the materials and dimensions required by the UDO. The top rail dimension must be shown to be no more than 2-3/4”.

3. Revise location of windows on the Rear and West elevations of the main structure and the East elevation of the Carriage House for improved vertical and horizontal window placement (UDO Sec. 5.15.5.F.4.).

Windows are more consistent with the revision. On the Rear elevation, all window styles have been changed to a double-hung operation except the tilt/awning window in the second-story gable. Additionally, a pair of double-hung windows replaced a single large window on the first-story for better window consistency on this elevation. On the West elevation, first-floor casement windows have been replaced with double-hung windows. However, fixed windows are not permitted on residential buildings and are proposed on the North (Front), East (Left) and South (Rear) elevations. Additionally, the awning window on the Front elevation is proposed to be “obscure glass.” This window should be transparent.

4. Provide garage door material (UDO Sec. 5.15.6.I.2.b.)

The plans indicate that the garage door will be metal and “similar to elevation design” and includes a notation that the doors are to be verified with the general contractor. The graphic below was provided by the Applicant but does not include material. The door schedule does not provide any information. The material must be provided on the Final Plan.



5. Provide corner board and water table details (UDO Sec. 5.15.6.N).

The corner board is called out as 1x8 Hardie on the project analysis sheet but as 1x4 in the corner board detail (11|A7.4) and does not include the material. The correct dimension and material must be shown on the Final Plan. The water table is provided in detail 7(A7.4).

6. If a retaining wall is proposed that will have an exposed wall, the wall must be tabby-coated to match the tabby-coated piers to be used for the main structure.

This was not addressed with the revision.

7. Provide a detail to show that the louvered skirting is a minimum of one-inch behind the face of each pier (UDO Sec. 5.15.6.O).

Compliance is shown in detail 7(A7.4).

8. The proposed service yard underneath the Carriage House staircase must be relocated and shown on a revised plan, to include screening details. Screen details for the service yard in the rear of the main structure must also be provided (UDO Sec. 5.15.5.F.9.).

The Town's Building Safety Department will allow the Carriage House service yard to be located underneath the stairs (as it is a residential use). The screening detail for this area must be provided on the Final Plan.

9. On the Landscape Plan, show that a minimum of 75% tree canopy coverage at maturity, not including roof tops, will be provided (UDO Sec. 5.3.7.G.).

The canopy coverage will need to be identified prior to Final Plan approval.

10. Revised Landscape Plan to show a foundation planting area at least 8 feet wide to be provided along the front foundation of the main structure. The foundation planting must incorporate a mixture of trees, shrubs, and ground covers (UDO Sec. 5.3.7.E.A).

The Landscape Plan must be updated to show the revised stairs on the front elevation.

11. A Tree Removal Permit will be required. Trees cannot be removed until an approved, stamped COFA-HD is issued.

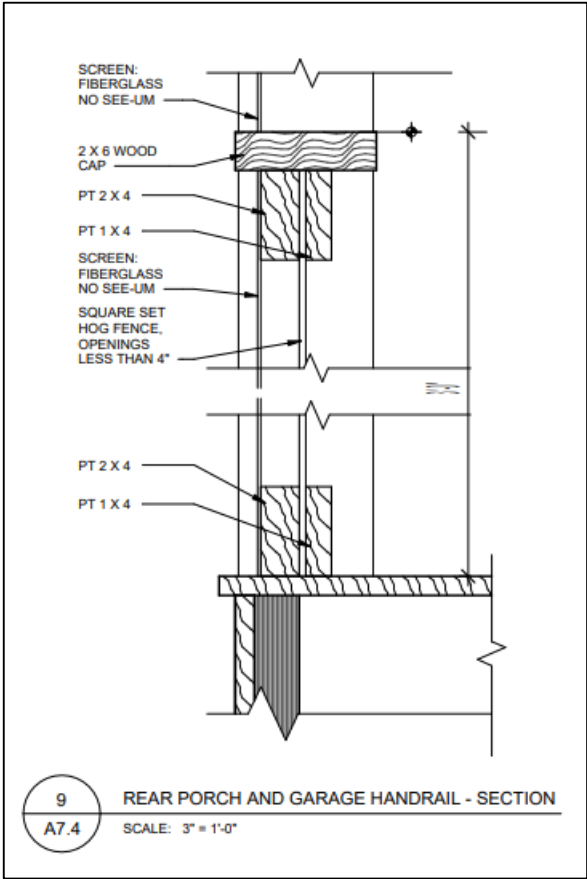
This will be included in the Final Plan approval letter.

12. Prior to the start of construction, a split rail fence will be installed at the appropriate distance around the Live Oak tree in the front of the home.

This requirement will be included in the Final Plan approval letter.

13. The Commission has requested additional information on the proposed materials for the fencing, using the wire mesh.

The front porch railing has been removed, but wire mesh is proposed for the patio connecting the main structure to the garage. The below graphic indicates that the square openings for the hog fence will “less than 4”.”



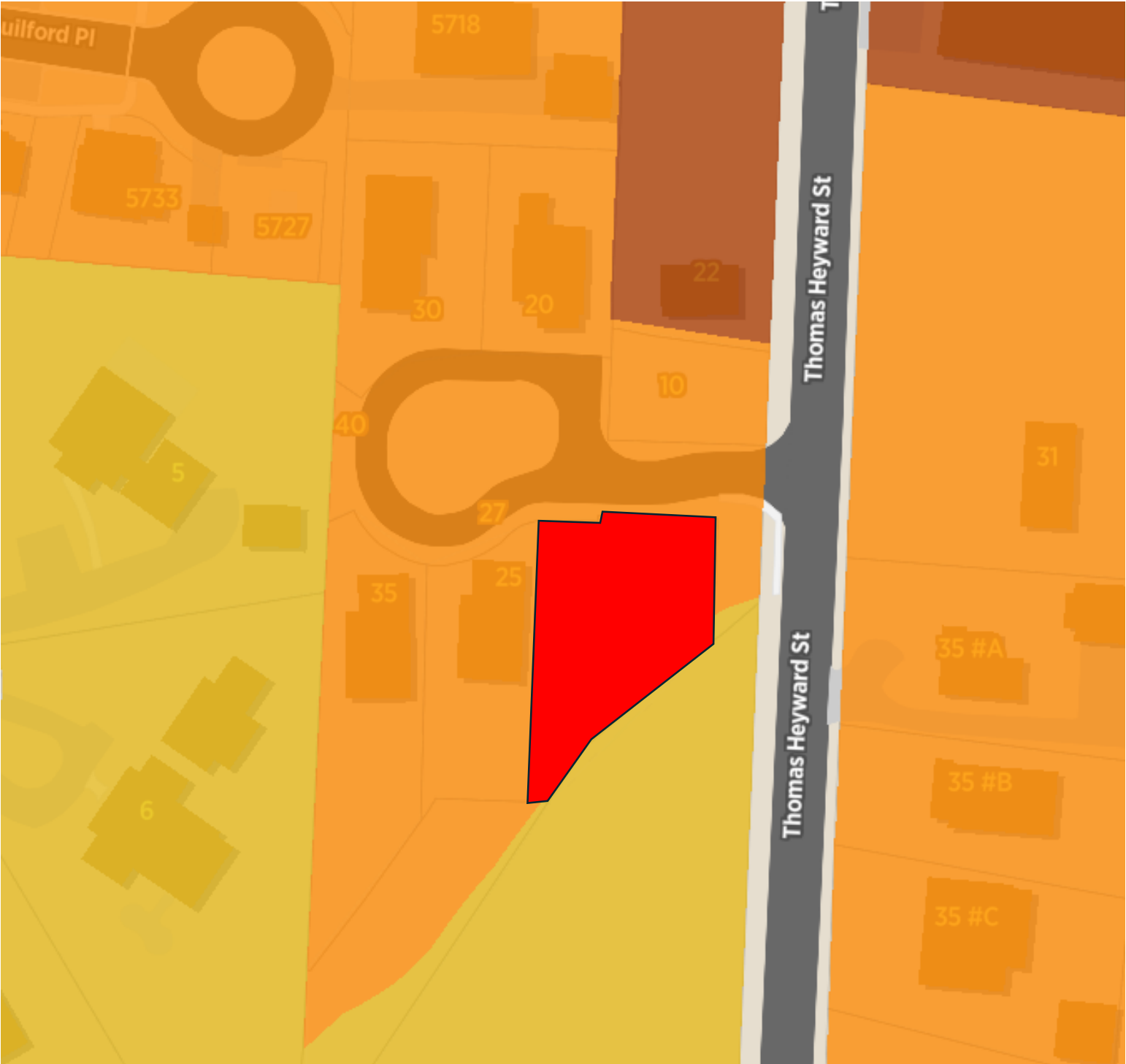
It must be noted that some doors have changed since the June HPC meeting. On the Carriage House, doors have changed from solid doors to half-panel doors. Doors identified as 120C and 220 will be wood; the material for the door identified as 120D is not identified. On the main house, the material for patio door identified as 102A is not identified and must be included in the Final Plan.

The revised plan is provided in Attachment 6. The plan presented to the HPC on June 11th is Attachment 10.

LOCATION & ZONING MAP

15 Meriwether

Neighborhood General-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VI. Item #1.

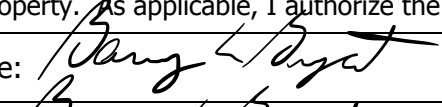
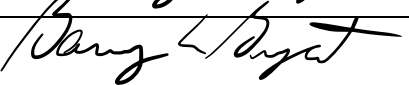
20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name:BFL Builders	Name:Same		
Phone:843.473.3679	Phone:		
Mailing Address:PO Box 21484 HHI, SC 29925	Mailing Address:		
E-mail:barry@hhrandr.com	E-mail:		
Town Business License # (if applicable):24-05-3010			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name:Landen Oak Subdivision	Conceptual: <input type="checkbox"/>	Final: <input type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address:	Application for: <input type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation		
Zoning District:BG-HD			
Acreage:.1740			
Tax Map Number(s):R610 039 00A 0388 0000			
Project Description:Single family residential home with detached garage and ADU above.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: 		Date: 5/7/25	
Applicant Signature: 		Date: 5/7/25	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VI. Item #1.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input checked="" type="checkbox"/>	FINAL REVIEW <input type="checkbox"/>
2. SITE DATA				
Identification of Proposed Building Type (as defined in Article 5): Additional building type				
Building Setbacks	Front:	Rear:	Rt. Side:	Lt. Side:
3. BUILDING DATA				
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage	Proposed Square Footage
Main Structure				
Ancillary				
Ancillary				
4. SITE COVERAGE				
Impervious Coverage			Coverage (SF)	
Building Footprint(s)			1,096	
Impervious Drive, Walks & Paths			0	
Open/Covered Patios			132	
A. TOTAL IMPERVIOUS COVERAGE				
B. TOTAL SF OF LOT				
% COVERAGE OF LOT (A/B= %)				
5. BUILDING MATERIALS				
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation	
Foundation	Block piers	Columns		
Walls	2x6 dimensional lumber	Windows	Jeld Wen Auraline	
Roof	metal/shingle	Doors	Fir	
Chimney	n/a	Shutters	n/a	
Trim	5/4x4 with 2x6 header	Skirting/Underpinning		
Water table		Cornice, Soffit, Frieze		
Corner board	1x8 Hardie	Gutters		
Railings		Garage Doors		
Balusters		Green/Recycled Materials		
Handrails				



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VI. Item #1.

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



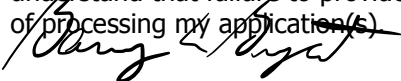
TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VI. Item #1.

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).



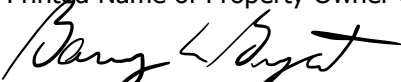
Signature of Property Owner or Authorized Agent

Barry L Bryant

5/7/25

Date

Printed Name of Property Owner or Authorized Agent



Signature of Applicant

Barry L Bryant

Printed Name of Applicant

5/7/25

Date

Landen Oak Subdivision

Lot 1 HPRC Narrative

Landen Oak subdivision consists of 6 single family residential building lots located off Thomas Hayward Street approximately 100 yards from its intersection with Route 46 in Old Town Bluffton. It is located within the Town of Bluffton's Neighborhood General Historic District (NG-HD) zoning classification. BFL Builders, the applicant, purchased 5 of the building lots and the common areas from Bluffton Development Group in January 2021.

BFL Builders intends to construct 5 single family residences with detached garages on these lots. 3 of these have already been completed.

Lot 1 is a lightly treed .1740 acre lot located immediately adjacent to Thomas Heyward Street on the left side of the cul de sac. BFL Builders plans to construct a 1,637 square foot 1.5 story main house and detached 2 car garage located at the rear of the lot. This house will fall under the "Additional Building Type" classification within the NG-HD district's design standards as defined in section 5 of the Unified Development Ordinance (UDO).

At its December 5, 2023, meeting the Board of Zoning appeals approved a variance for BFL Builders to encroach 5 feet into the 10 foot side setback in order to protect the large live oak at the front left of the lot.

BFL Builders will construct a 1.5 story, 1,637 square foot main house with a pier foundation (to minimize disturbing the large live oak), gabled asphalt shingle roof, smooth cement fiber siding, vinyl clad windows and a solid wood entry door. The porch roof will be silver metal standing seam and the foundation detail will not be repeated on either of the other two homes. To the rear of the main house and accessed via a pervious gravel driveway will sit a 2 car garage with unfinished ADU above. This garage will be built in a similar manner and style as the main house.







N/P
STOCKFARM DEVELOPMENT, LLC.

GUILDARD PLACE R/W VARDS

PARCEL 225
N/P
MIROSLAW KULESZA
&
BARBARA SMIESZEK

LOT 45
STOCK FARM S/D
(FORMERLY LOT 9
LONDON OAK S/D)
10,952 sq. ft.
0.251 acres

PARCEL 225
N/P
MIROSLAW KULESZA
&
BARBARA SMIESZEK

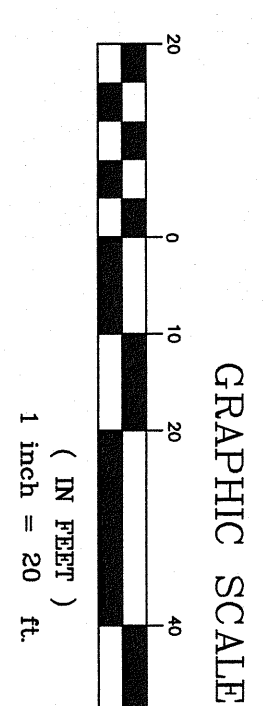
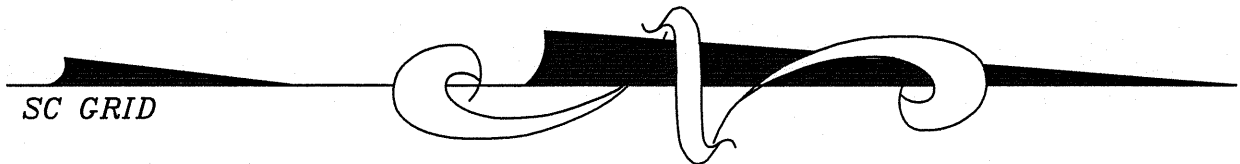
PARCEL 204
N/P
DONALD K.
&
KAREN D. HUIST

PARCEL 224
TOTAL AREA
70,606 sq. ft.
1.621 acres

OPEN SPACE
& R/W
14,170 sq. ft.
0.323 acres

THOMAS HAYWARD STREET 40' R/W

LOCATION MAP NOT TO SCALE



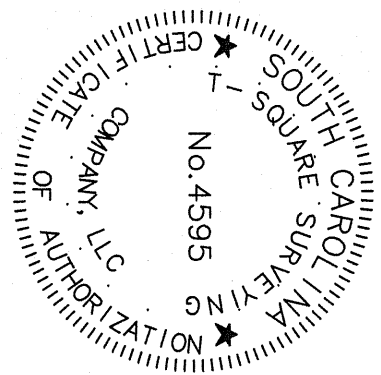
- LEGEND
- CM - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BS - BUILDING SETBACK LINE
 - TEL - TELEPHONE PESTICIDE/COMMUNICATOR
 - S - SANITARY SEWER MANHOLE
 - E - ELECTRIC BOX
 - SP - SPOT ELEVATION SHOTS
 - C - CONTOUR LINES
 - X - X-MER - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - F - FINE HYDRANT
 - G - GRAVE INLET
 - OHPL - OVER HEAD POWER LINE
 - G - GUY LINE
 - L - LIGHT POLE
 - S - STORM DRAIN MANHOLE
 - F - FIBEROPTICS MANHOLE

PARCEL 200
N/P
TROUT JENSEN DEIDEE

PARCEL 223
N/P
NEILLE BROWN

NOTE: ON LOTS 1-8 NO BUILDINGS INCLUDING PORCHES AND STAIRS SHALL ENROUCH WITHIN UTILITY EASEMENT.
NOTE: ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.

LINE	LENGTH	BEARING
1	1.75	S89°07'04"E
2	1.75	S89°07'04"E
3	1.75	S89°07'04"E
4	1.75	S89°07'04"E
5	1.75	S89°07'04"E
6	1.75	S89°07'04"E
7	1.75	S89°07'04"E
8	1.75	S89°07'04"E
9	1.75	S89°07'04"E
10	1.75	S89°07'04"E
11	1.75	S89°07'04"E
12	1.75	S89°07'04"E
13	1.75	S89°07'04"E
14	1.75	S89°07'04"E
15	1.75	S89°07'04"E
16	1.75	S89°07'04"E
17	1.75	S89°07'04"E
18	1.75	S89°07'04"E
19	1.75	S89°07'04"E
20	1.75	S89°07'04"E
21	1.75	S89°07'04"E
22	1.75	S89°07'04"E
23	1.75	S89°07'04"E
24	1.75	S89°07'04"E
25	1.75	S89°07'04"E
26	1.75	S89°07'04"E
27	1.75	S89°07'04"E
28	1.75	S89°07'04"E
29	1.75	S89°07'04"E
30	1.75	S89°07'04"E
31	1.75	S89°07'04"E
32	1.75	S89°07'04"E
33	1.75	S89°07'04"E
34	1.75	S89°07'04"E
35	1.75	S89°07'04"E
36	1.75	S89°07'04"E
37	1.75	S89°07'04"E
38	1.75	S89°07'04"E
39	1.75	S89°07'04"E
40	1.75	S89°07'04"E
41	1.75	S89°07'04"E
42	1.75	S89°07'04"E
43	1.75	S89°07'04"E
44	1.75	S89°07'04"E
45	1.75	S89°07'04"E
46	1.75	S89°07'04"E
47	1.75	S89°07'04"E
48	1.75	S89°07'04"E
49	1.75	S89°07'04"E
50	1.75	S89°07'04"E



DRAWN BY: E.M.S.

APPROVED BY: W.L.S.

PARTY CHIEF: W.L.S.

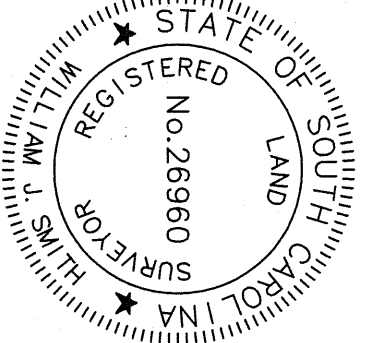
DATE: SEPTEMBER 5, 2018

NOTICE: THIS SURVEY WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA SURVEYING ACT AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY.

BLUFFTON DEVELOPMENT GROUP, LLC
A PROPOSED SUBDIVISION ON PARCEL 224, THOMAS HAYWARD STREET,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39A, PARCEL 224

Notes:
1. According to FEMA Flood Insurance Rate Map # 45005 0001A, this lot appears to be in a Special Flood Hazard Zone C, which is a Zone of Minimal Flood Hazard. Protective Covenants and Other Facts that may be Revealed by a Complete Title Search.
2. This Property may be Subject to Easements, Protective Covenants and Other Facts that may be Revealed by a Complete Title Search.
3. This Survey was Performed Without the Benefit of a Wetland Delimitation Report or Field Notes.
4. All Building Setback Requirements should be Verified with the Proper Authorities.
5. A R/W BY PARCEL 224, THOMAS HAYWARD STREET, DIST. 610, MAP 39A, PARCEL 224, IS SHOWN AS A REVISION OF STOCK FARM PROPERTIES.

PROFESSIONAL LAND SURVEYORS
P.D. BROWN, JR.
139 Bluffton Drive
Bluffton, S.C. 29910
tsquarebluffton.com
Phone 843-757-5500 Fax 843-757-5788
JOB No. 12-021SDS

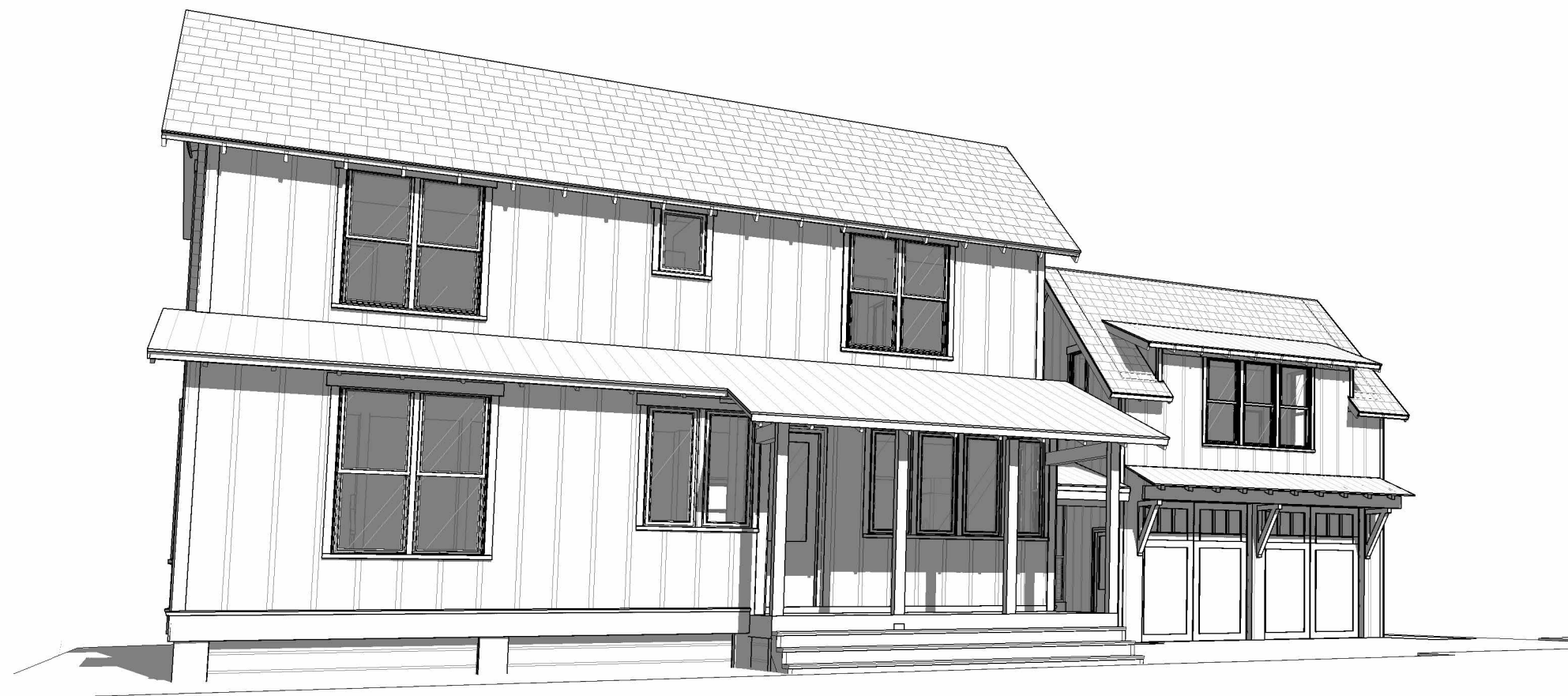


Issuances and Revisions:

- | | |
|--------------|------------------|
| 05/15/2024 | FULL SET |
| 1 3/31/2025 | REVISED FULL SET |
| 2 06/25/2025 | HP COMMENTS |

PROJECT IMAGES

NOTE: THESE IMAGES AND IMAGES CONTAINED HEREIN ARE AN ARTIST'S REPRESENTATION INTENDED FOR VISUALIZATION ONLY AND MAY NOT DEPICT ALL CONDITIONS ACCURATELY. REFER TO DRAWINGS FOR ACCURATE DESIGN.



FRONT VIEW

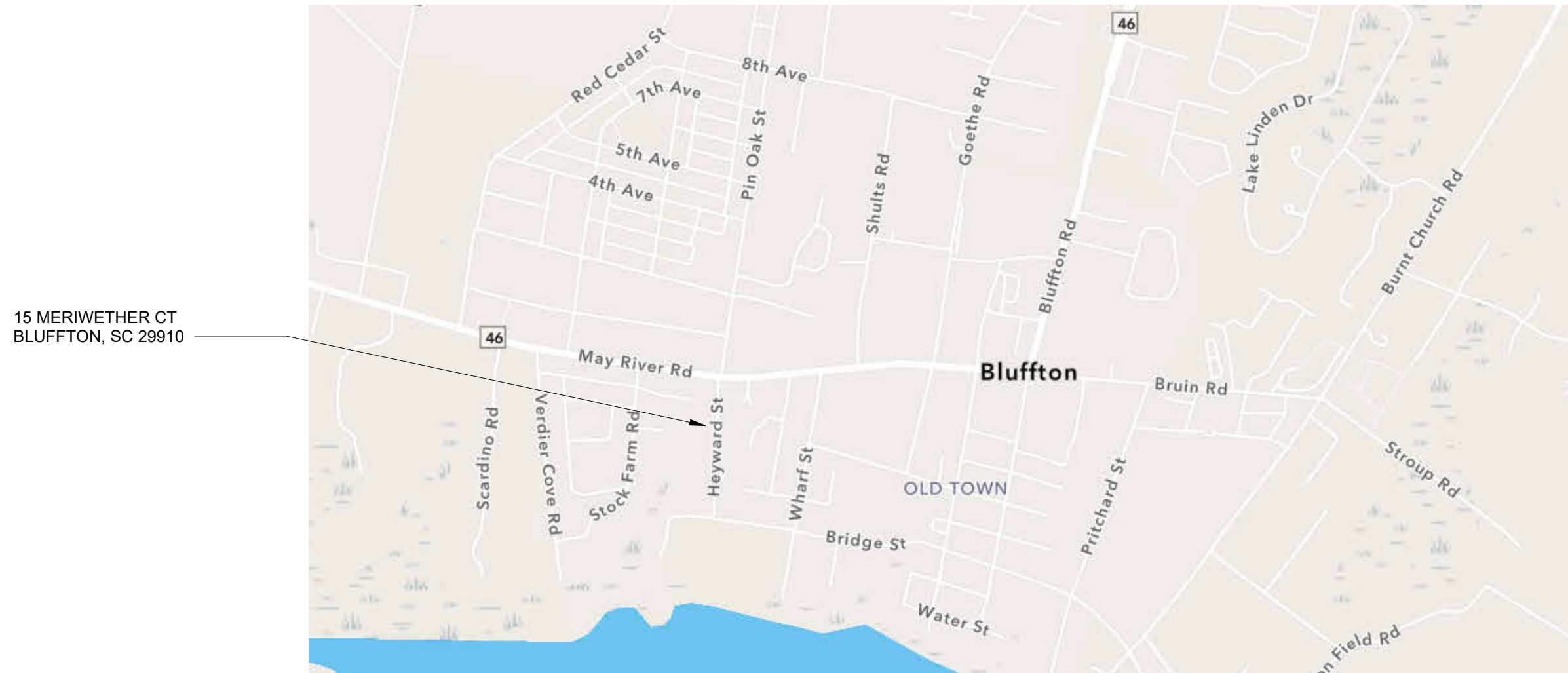
SHEET INDEX

A0.1	COVER
A1.1	SITE PLAN
A2.0	FOUNDATION PLAN
A2.1	FLOOR PLANS
A2.2	GARAGE PLANS
A2.3	ROOF LEVEL PLAN
A3.1	REFLECTED CEILING PLANS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS - GARAGE
A5.1	BUILDING SECTIONS
A5.2	BUILDING SECTIONS
A6.1	WALL SECTIONS
A6.4	STAIR SHEET
A7.4	DETAILS
A8.1	SCHEDULES

PROJECT INFORMATION

PROJECT:	15 MERIWETHER CT BLUFFTON, SC 29910
PARCEL ID:	R610 039 00A 0388 0000
PERMIT #:	PENDING
LEGAL DESCRIPTION:	LOT 1 TOWN OF BLUFFTON PB150 PG74 PB151 PG155~ AC CHANGE PB157 PG93 PB158 PG178
LOT SIZE:	0.1740 ACRES ±

VICINITY MAP (N.T.S.)



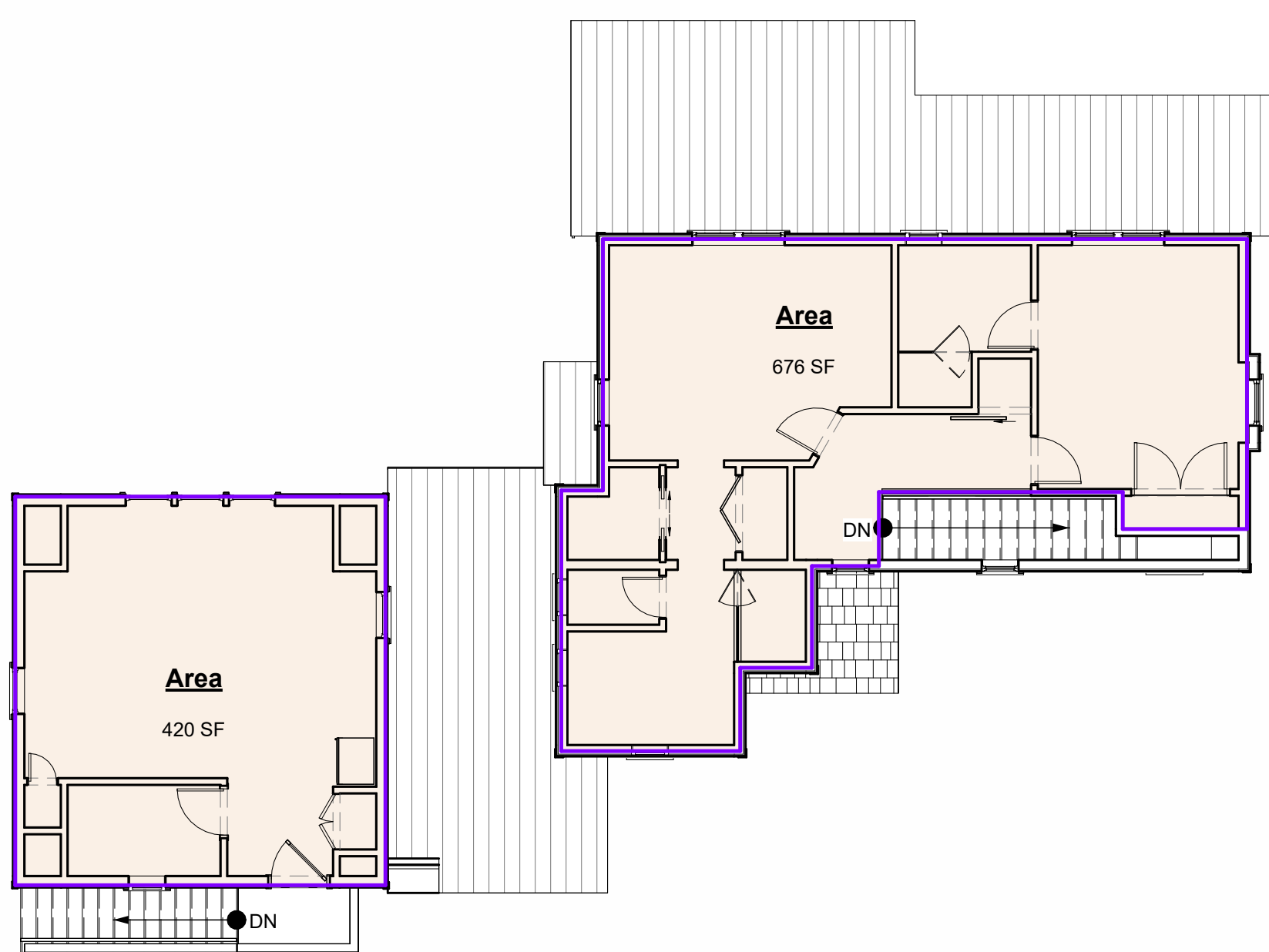
FLOOR AREA CALCULATIONS

PROPOSED AREA CONSTRAINTS

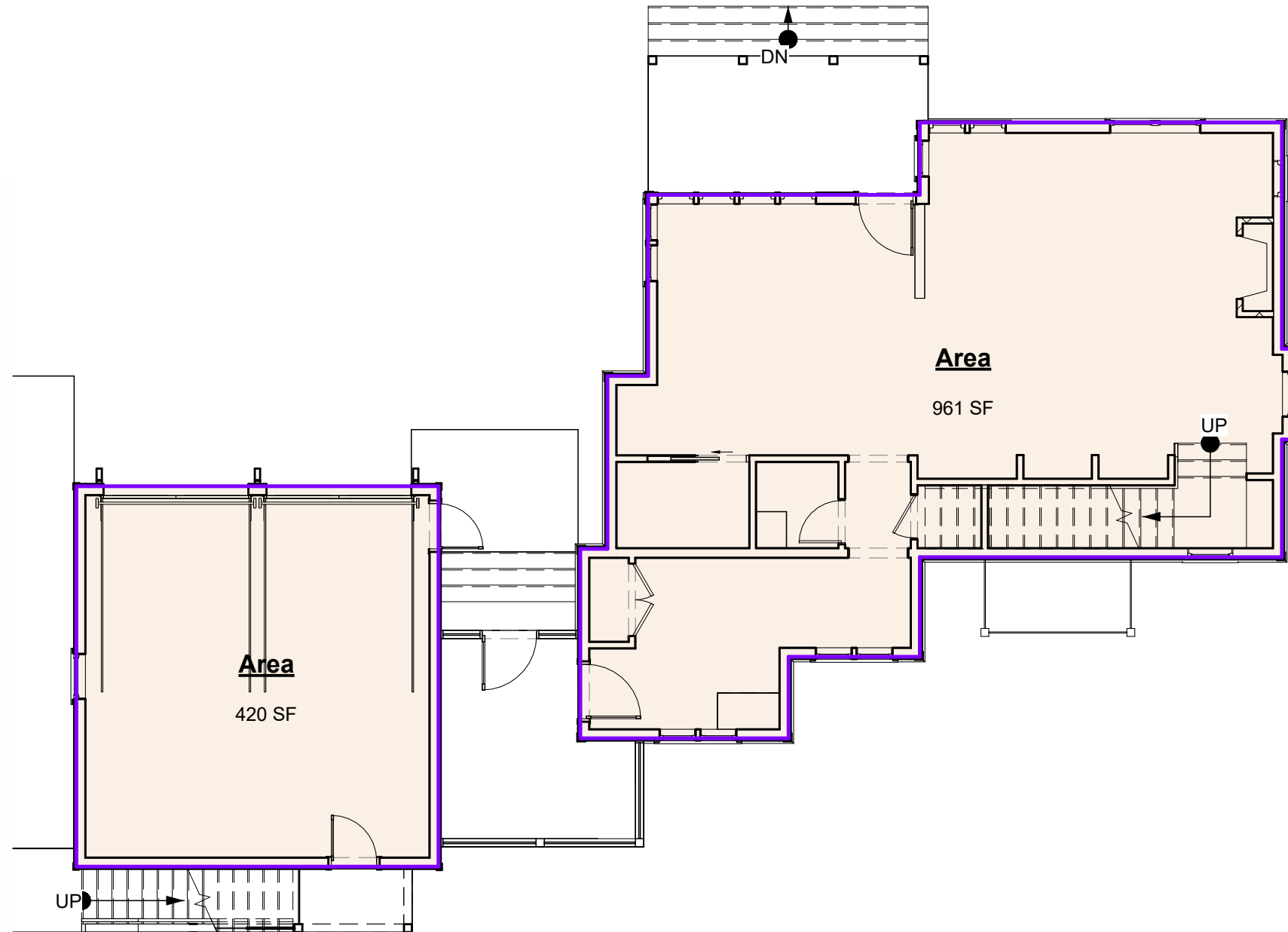
LEVEL 1 AREA (SF)	961	
LEVEL 2 AREA (SF)	676	
UPPER LEVEL RATIO	70%	(676 / 961)*100

CONDITIONED AREA CALCULATIONS

	HEATED	UNHEATED
LEVEL 1 AREA (SF)	961	420
LEVEL 2 AREA (SF)	1,096	
TOTAL AREA (SF)	2,057	420



2
A0.1
LEVEL 2 AREA PLAN
SCALE: 1/8" = 1'-0"



3
A0.1
LEVEL 1 AREA PLAN
SCALE: 1/8" = 1'-0"

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
COVER

SCALE: As indicated

A0.1

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INCLUDING COPYRIGHT THEREON.

WEST40 studio

CARBONDALE, CO

06/25/2025 HP COMMENTS

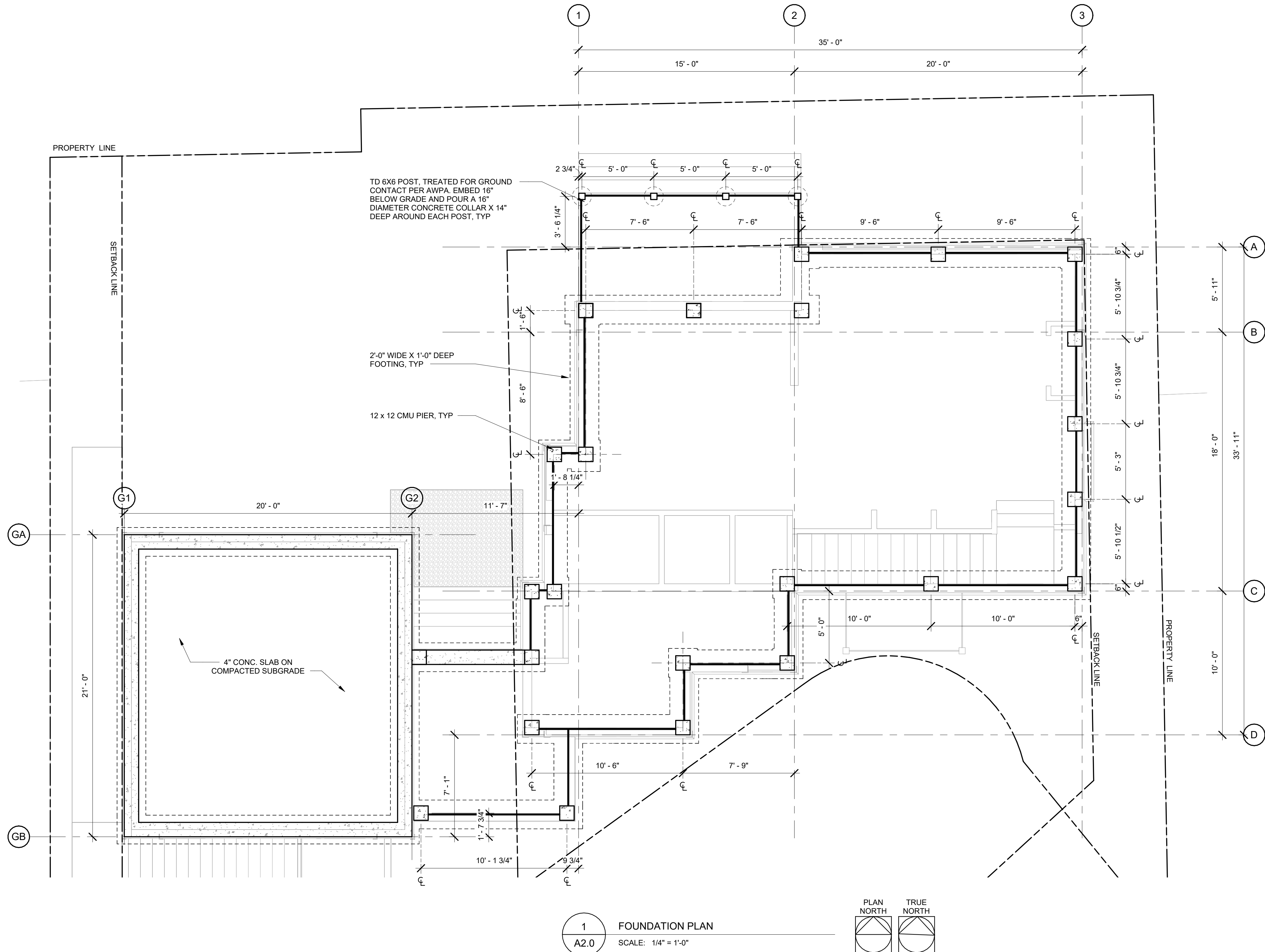
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Page 30



Issuances and Revisions:

- | | |
|--------------|------------------|
| 05/15/2024 | FULL SET |
| 1 3/31/2025 | REVISED FULL SET |
| 2 06/25/2025 | HP COMMENTS |



LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

A2.0

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HB DESIGN BUILD
PO BOX 21484
HILTON HEAD, SC 29925
843.473.3579

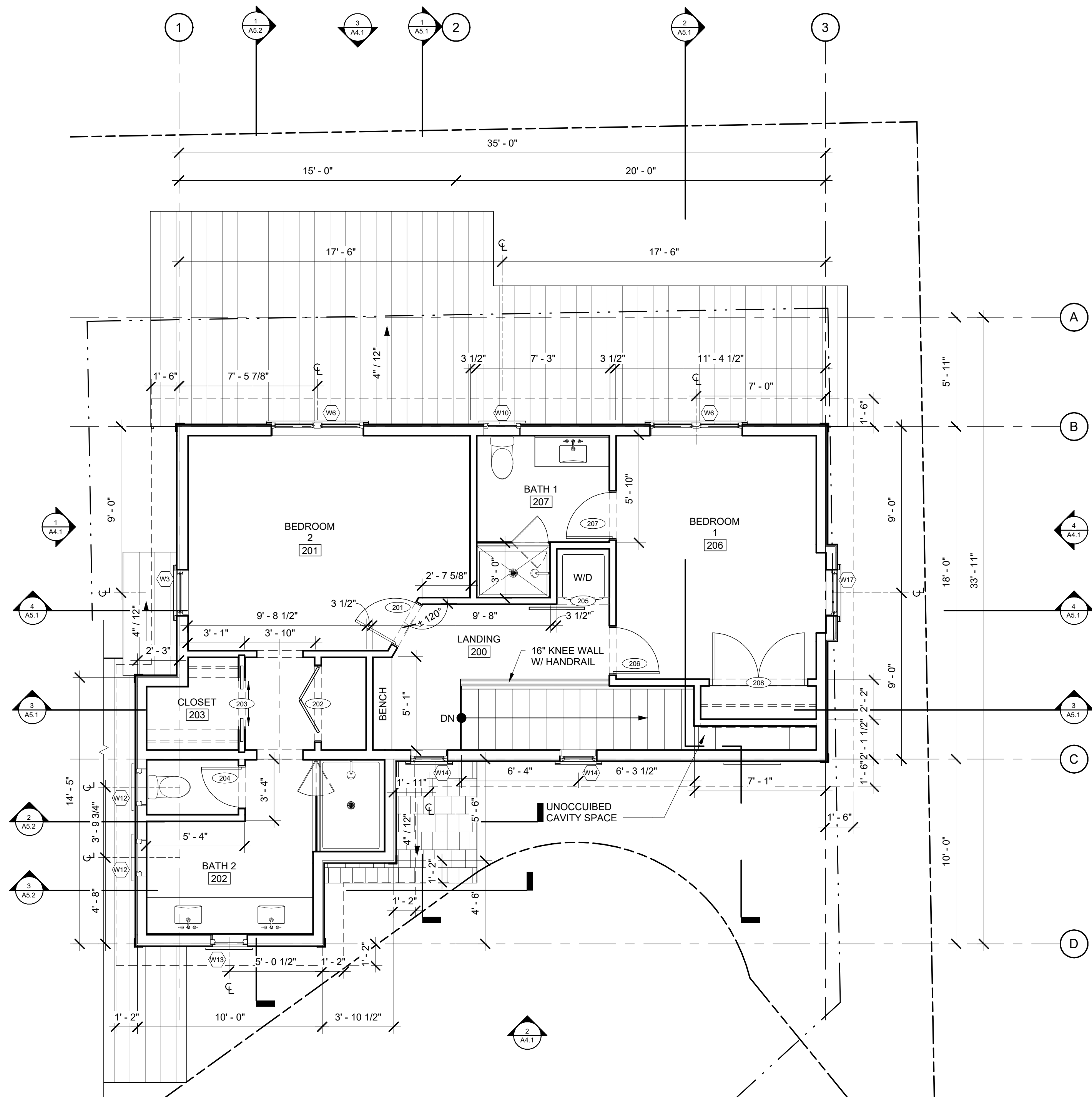
WEST40studio

architecture / design

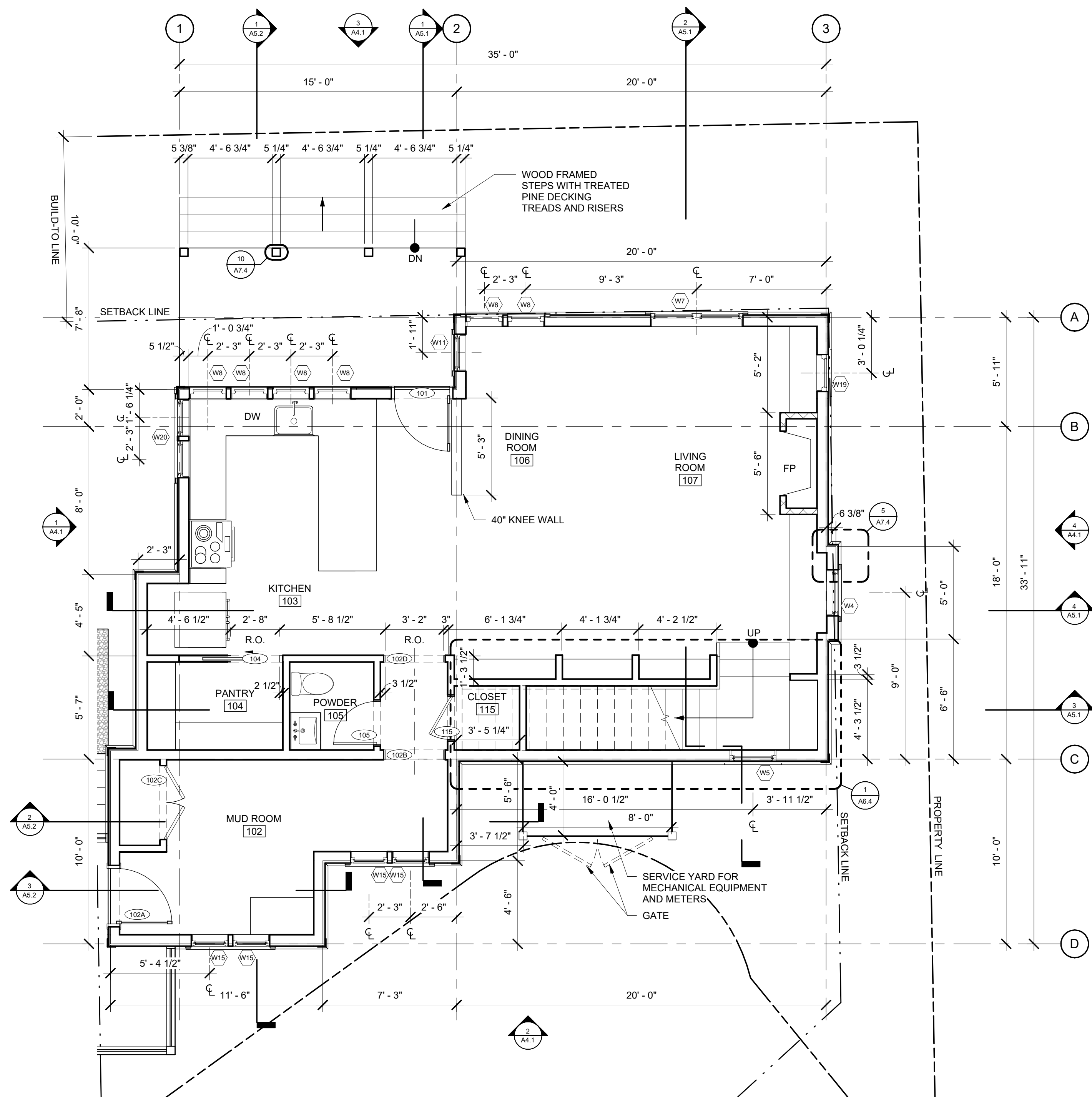
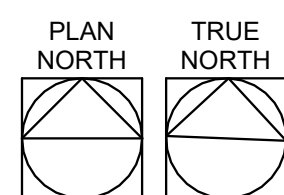
CARBONDALE, CO

Issuances and Revisions:

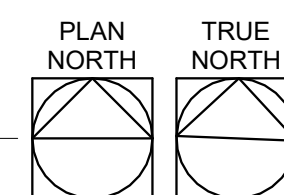
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| 05/15/2024 | FULL SET |
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2
LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1
LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
FLOOR PLANS

SCALE: 1/4" = 1'-0"

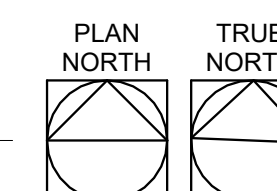
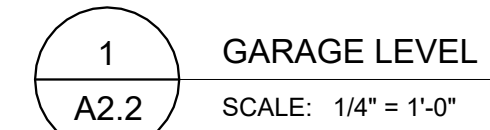
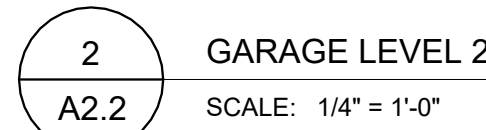
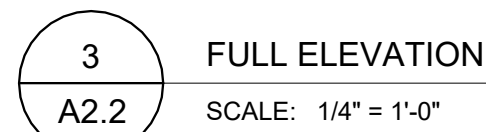
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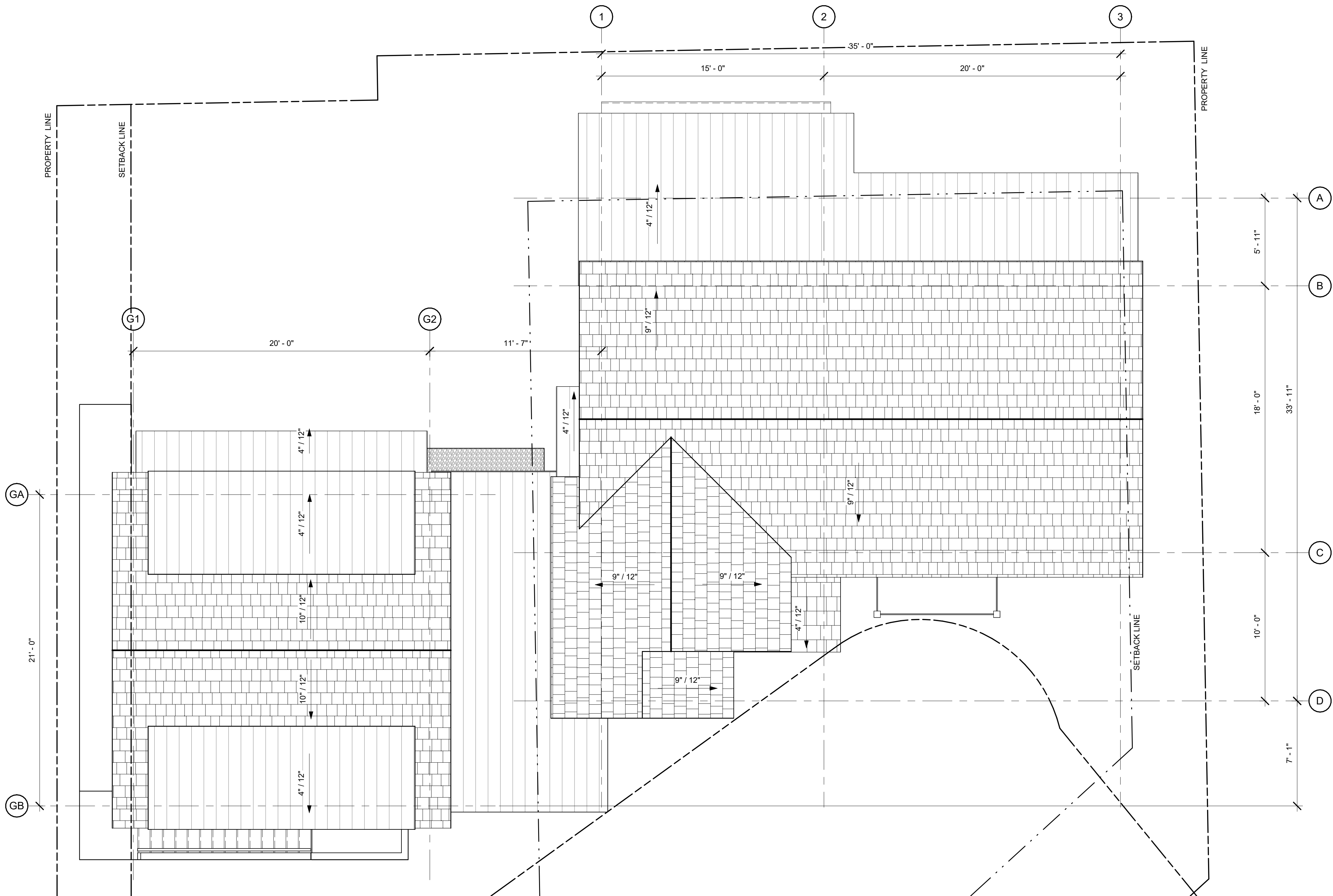


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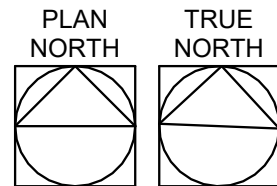
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1
A2.3
ROOF LEVEL PLAN
SCALE: 1/4" = 1'-0"



LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
ROOF LEVEL PLAN

SCALE: 1/4" = 1'-0"

A2.3

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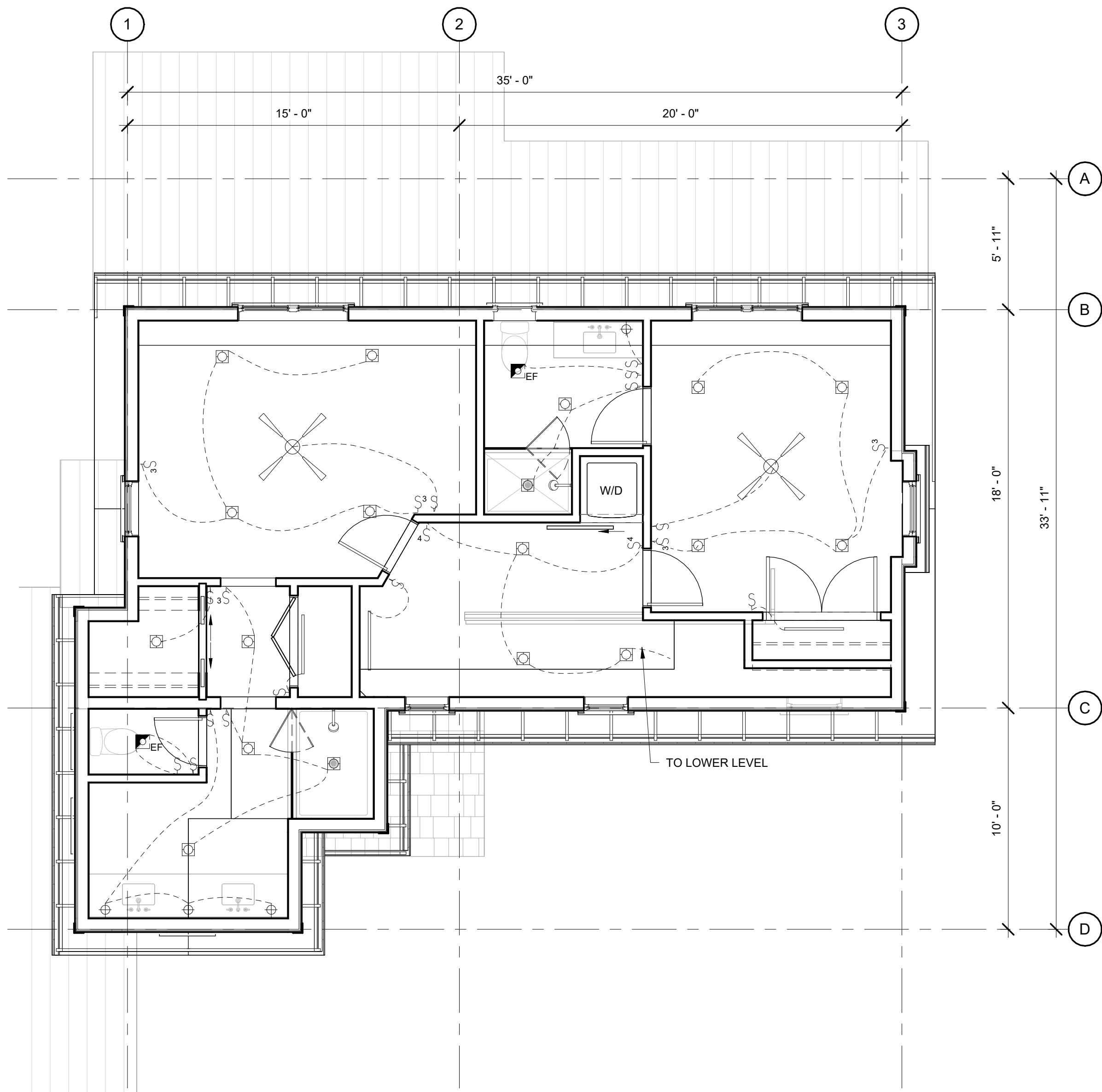
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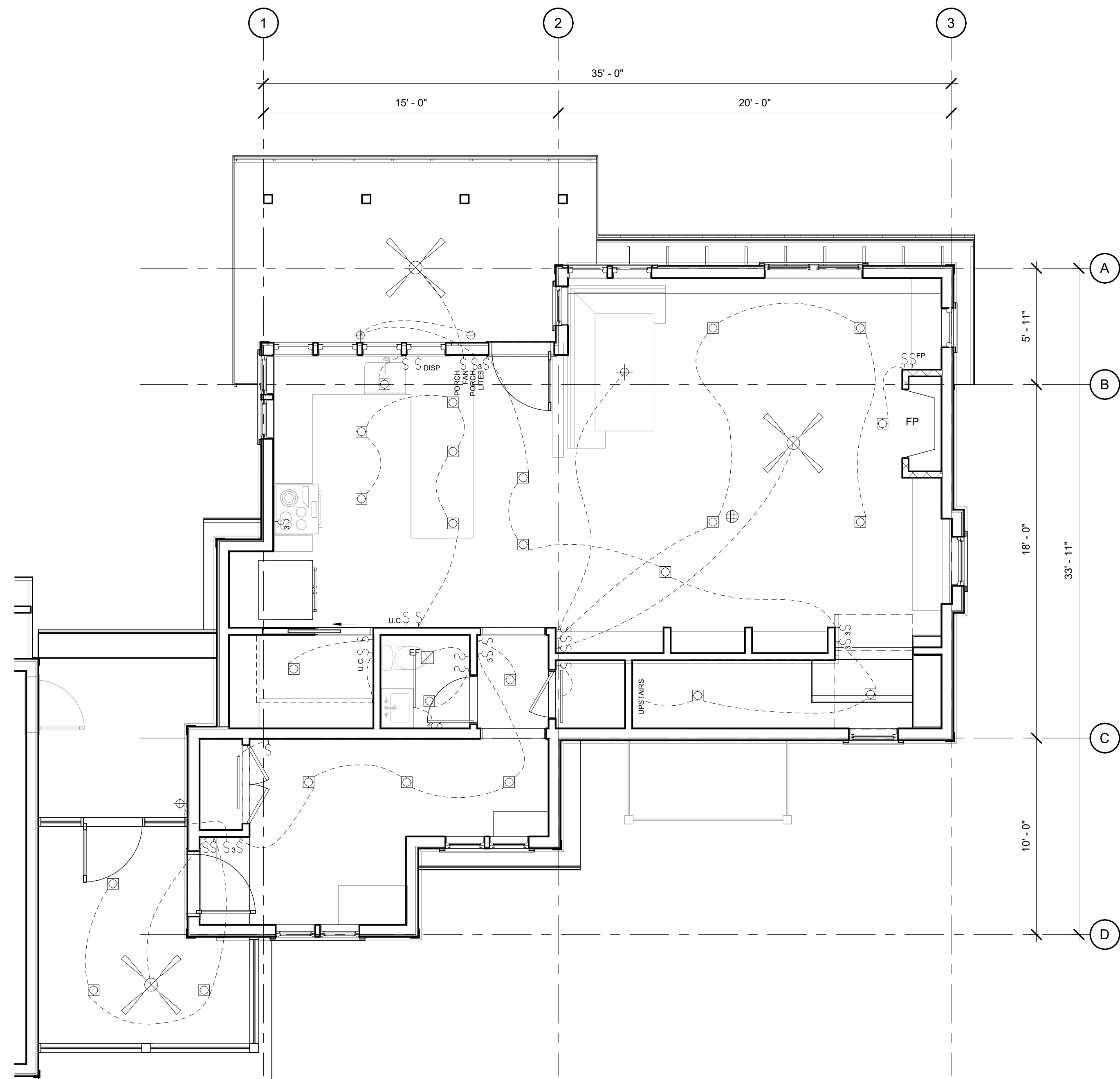
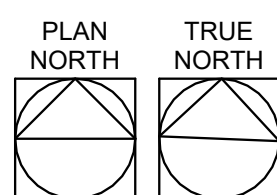
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LEGEND

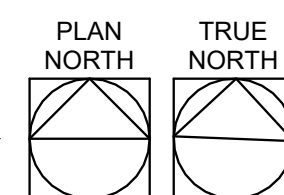
	FINISHED CEILING HEIGHT
	INDICATES DOWNWARD SLOPE
	PENDANT (FL. STRIP OR LED)
	WALL MOUNT (FL. STRIP OR LED)
	SURFACE MOUNT (FL. STRIP OR LED)
	UNDER CABINET
	PENDANT
	PENDANT - DIRECTIONAL
	SURFACE MOUNTED
	SURFACE MOUNT - DIRECTIONAL
	RECESSED STEP/WALL LIGHT
	RECESSED
	RECESSED - WALL WASH
	RECESSED - DIRECTIONAL
	SCONCE
	JUNCTION BOX
	SMOKE/CARBON MONOXIDE DETECTOR
	CEILING FAN
	THERMOSTAT
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	EXHAUST FAN
	ELECTRICAL SWITCH (X = 2-WAY, 3-WAY, ETC.)
	ELECTRICAL SWITCH - DIMMABLE
	ELECTRICAL SWITCH - FIREPLACE
	ELECTRICAL SWITCH - JAMB SWITCH
	ELECTRICAL SWITCH - MOTION SENSOR
	WALL POWER OUTLET UC = UNDERCABINET; C= MOUNT TO CABINET; TV = TV HEIGHT
	FLOOR POWER OUTLET (X = 4-PLEX IF APPLICABLE)
	CEILING POWER GFI OUTLET
	PHONE/DATA OUTLET
	SPRINKLER HEAD
	ELECTRICAL PANEL
	SPEAKER



2 LEVEL 2 REFLECTED CEILING PLAN
A3.1 SCALE: 1/4" = 1'-0"



1 LEVEL 1 REFLECTED CEILING PLAN
A3.1 SCALE: 1/4" = 1'-0"



LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:

REFLECTED CEILING PLANS

SCALE: 1/4" = 1'-0"

A3.1

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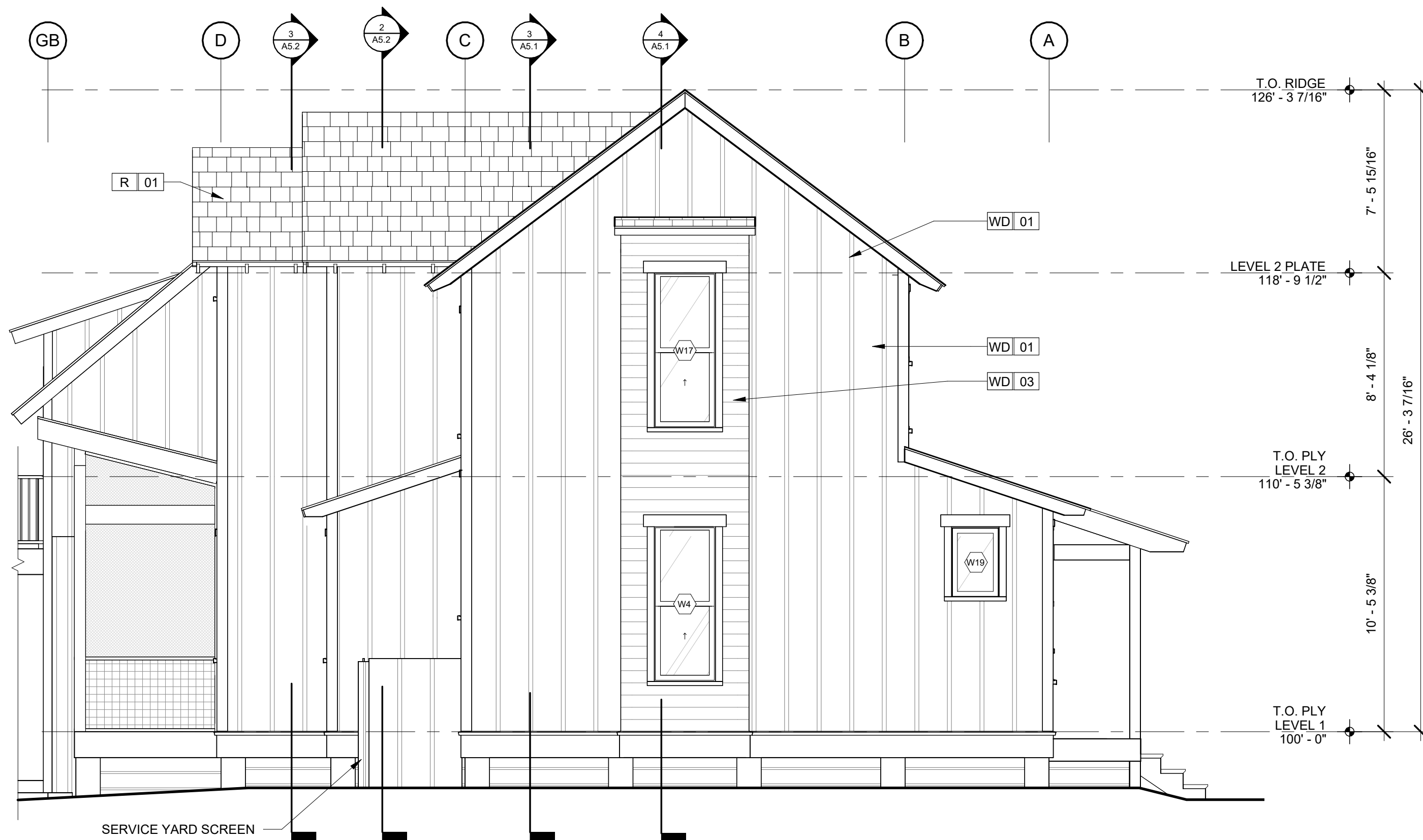
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NOTE:
WATER TABLE IS 5/4X 10
WITH RIP PT 2X CAP

EXTERIOR MATERIAL SCHEDULE:

- WD-01: BOARD AND BATTEN SIDING
WD-02: VERTICAL SIDING
WD-03: HORIZONTAL SIDING
WD-04: HORIZONTAL LOUVERS WITH 1" GAP
MTL-01: METAL ROOF - 5V CRIMP
R-01: SHINGLE ROOF - 30-YEAR ARCHITECTURAL



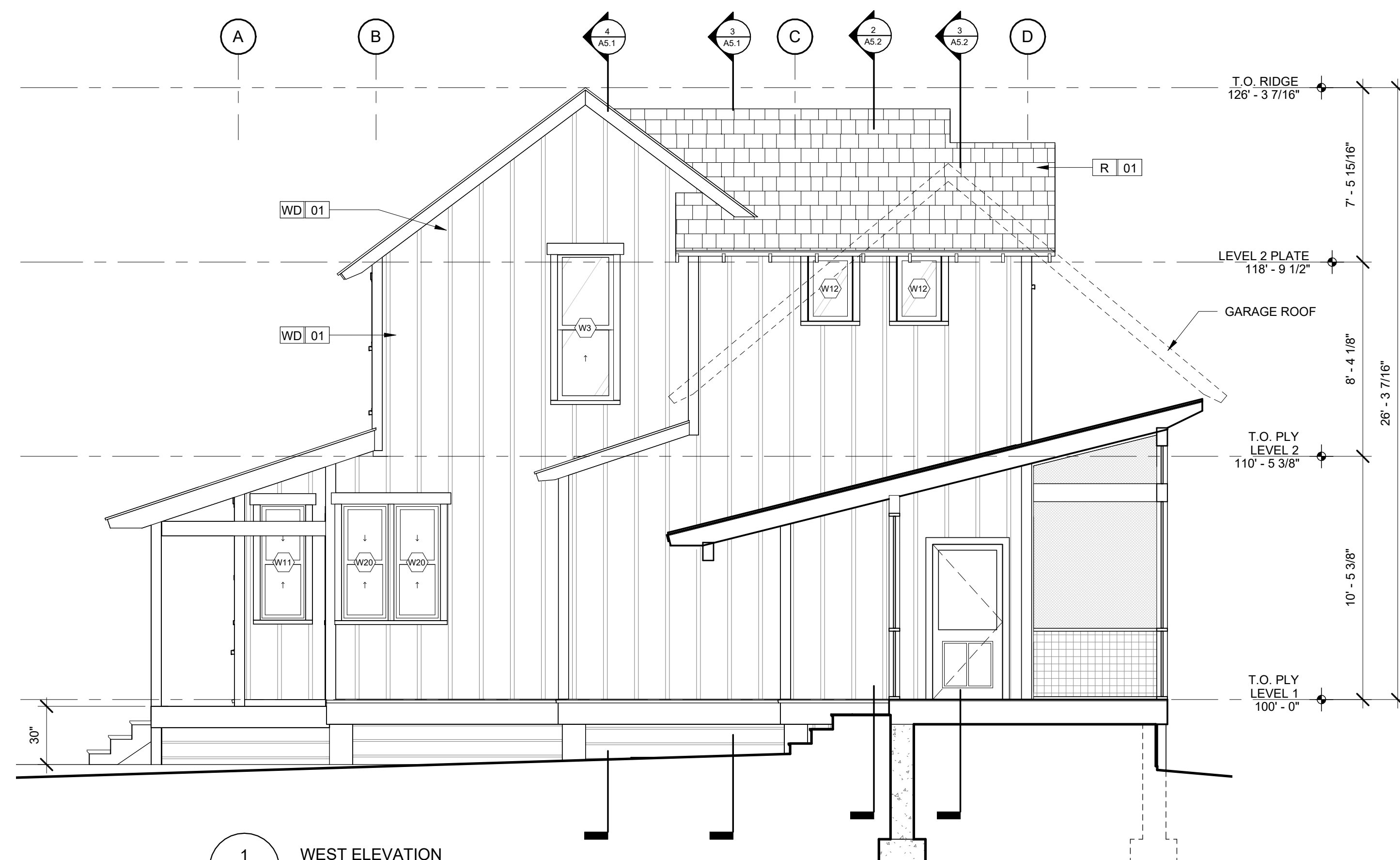
4 EAST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"

LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

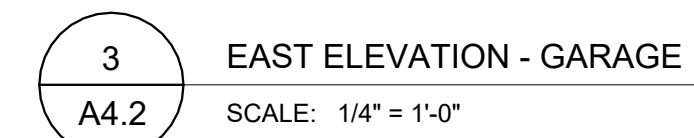
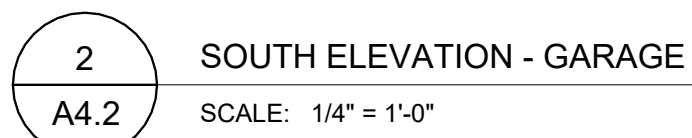
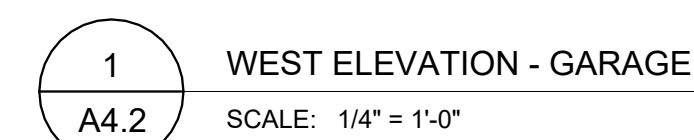
SCALE: 1/4" = 1'-0"

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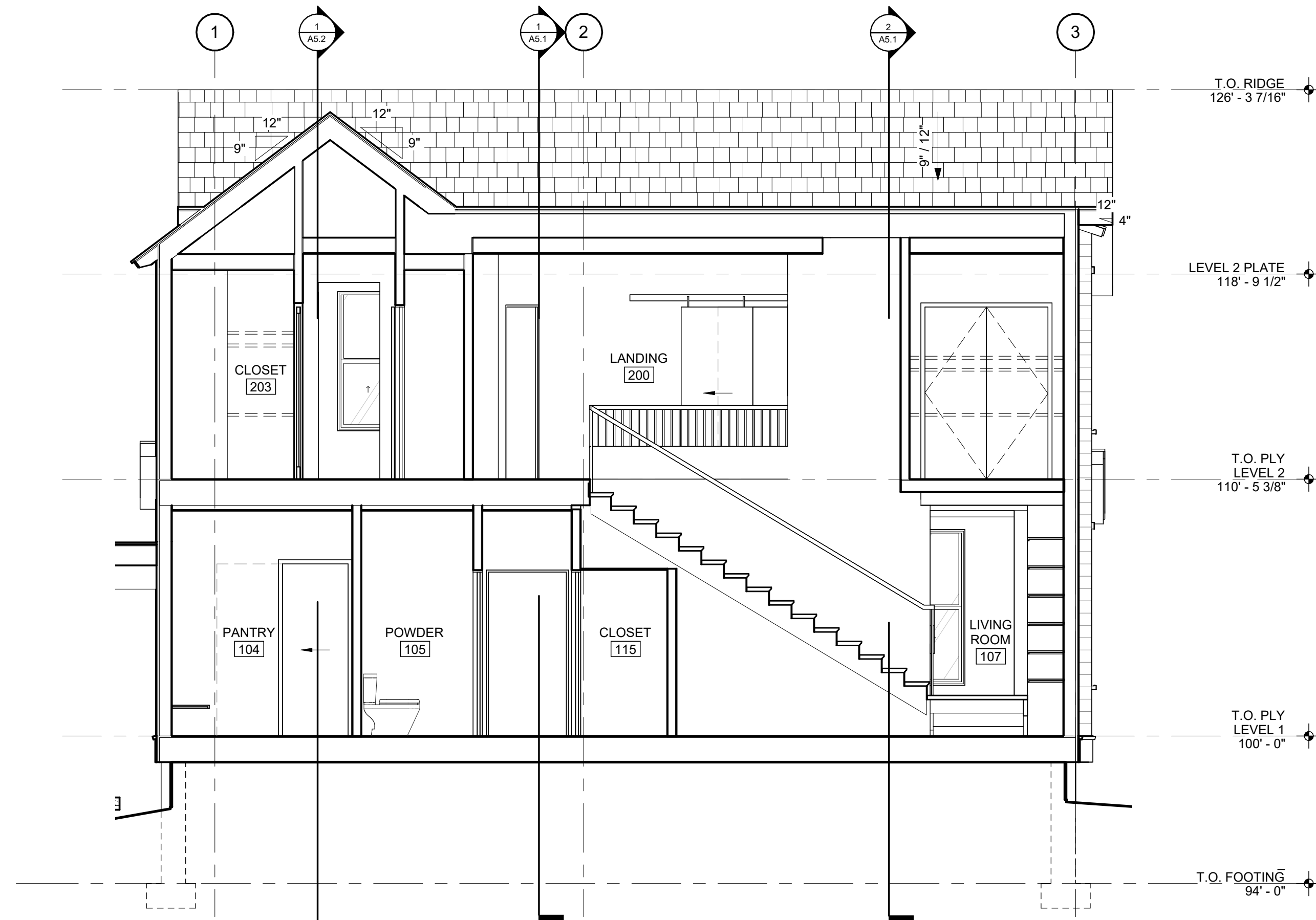
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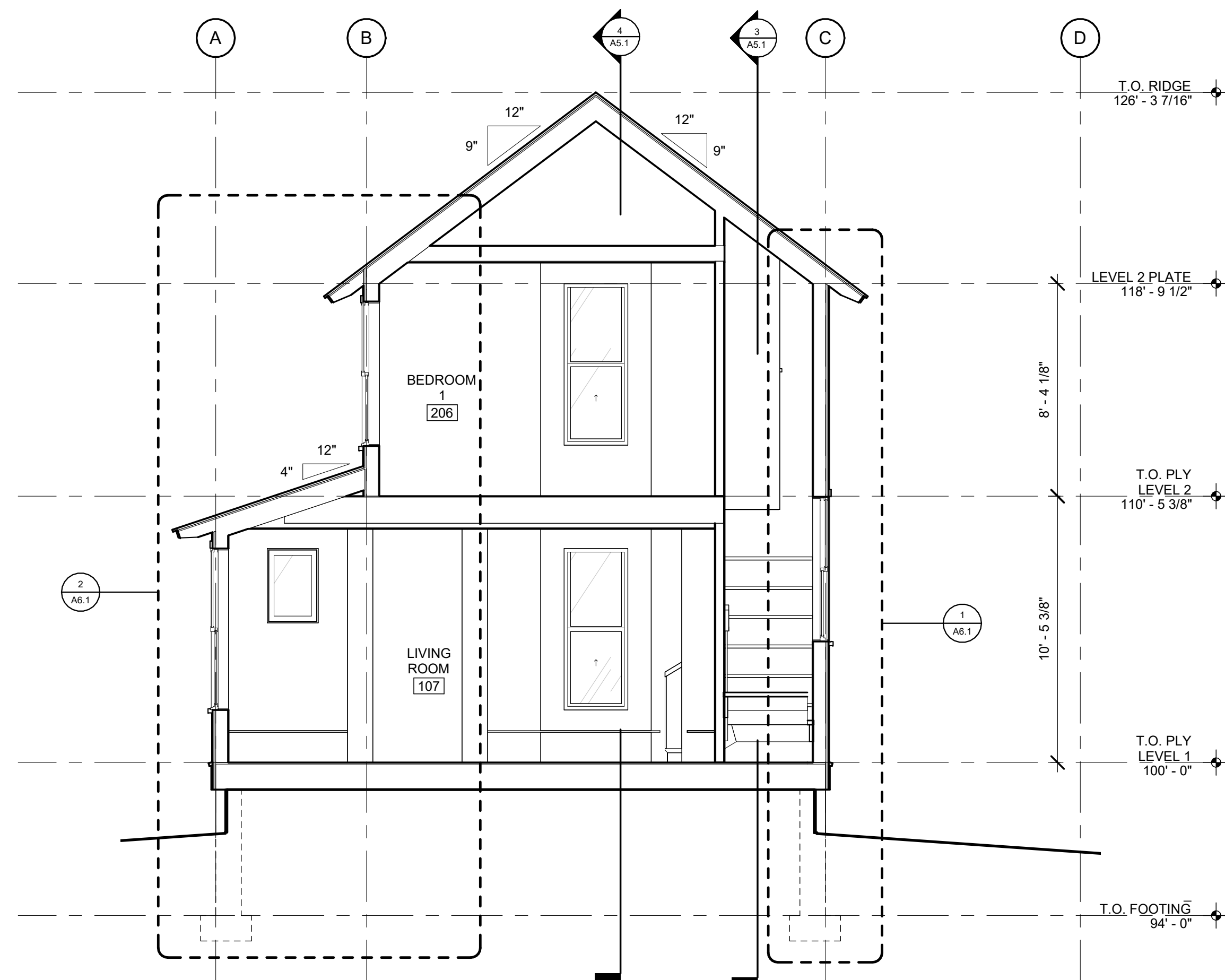
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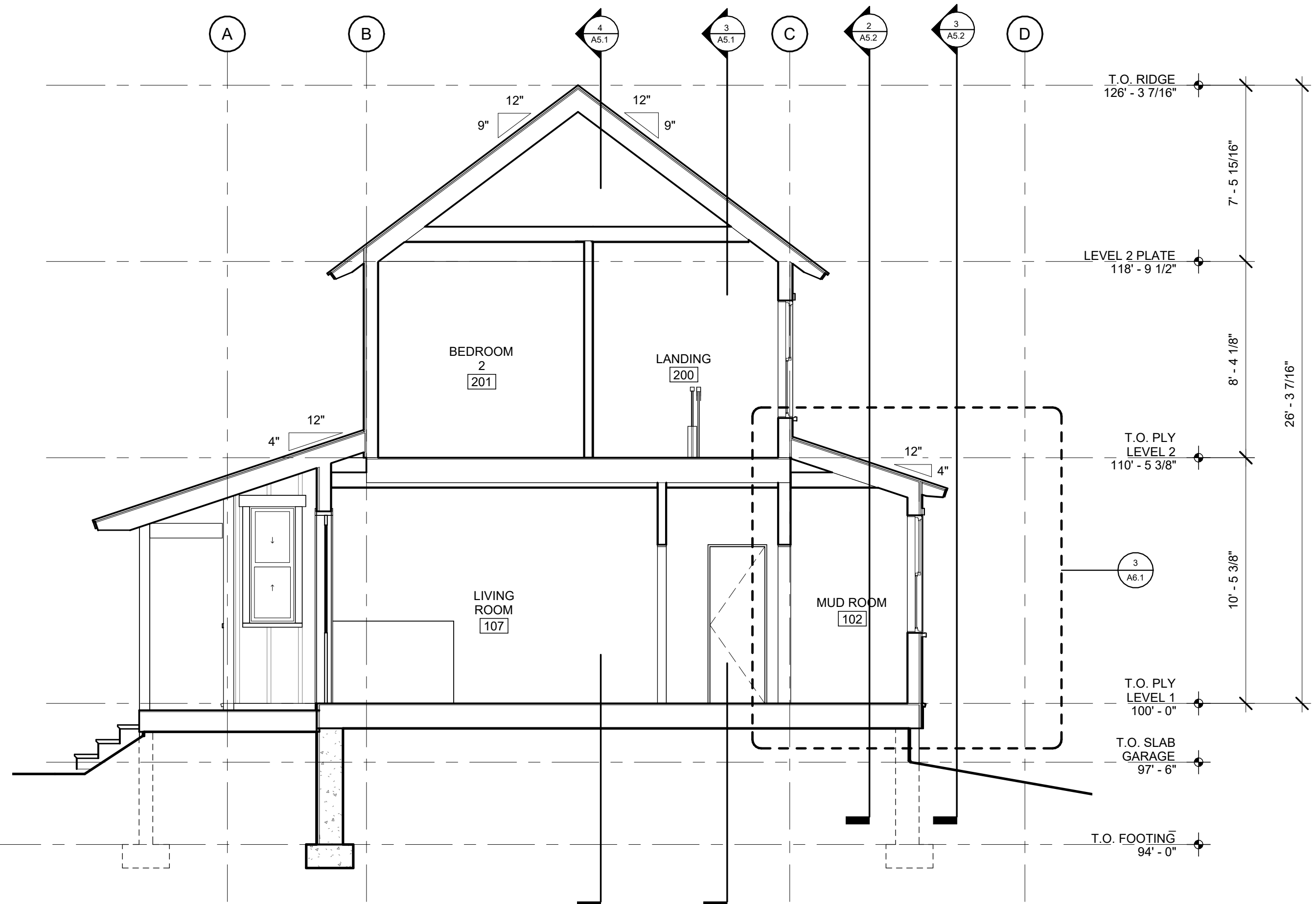
4 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"

LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

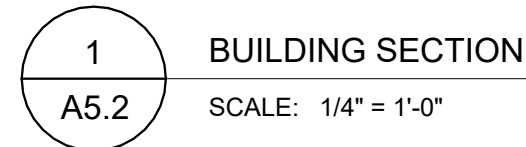
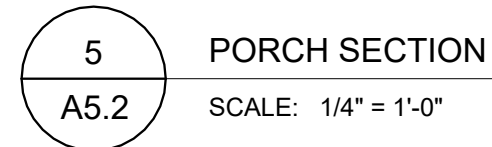
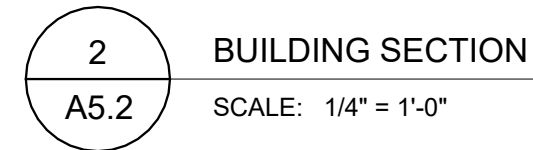
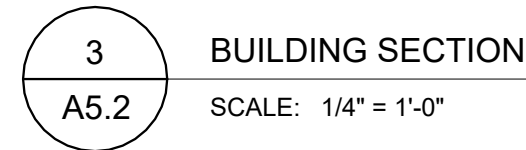
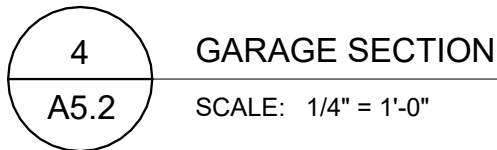
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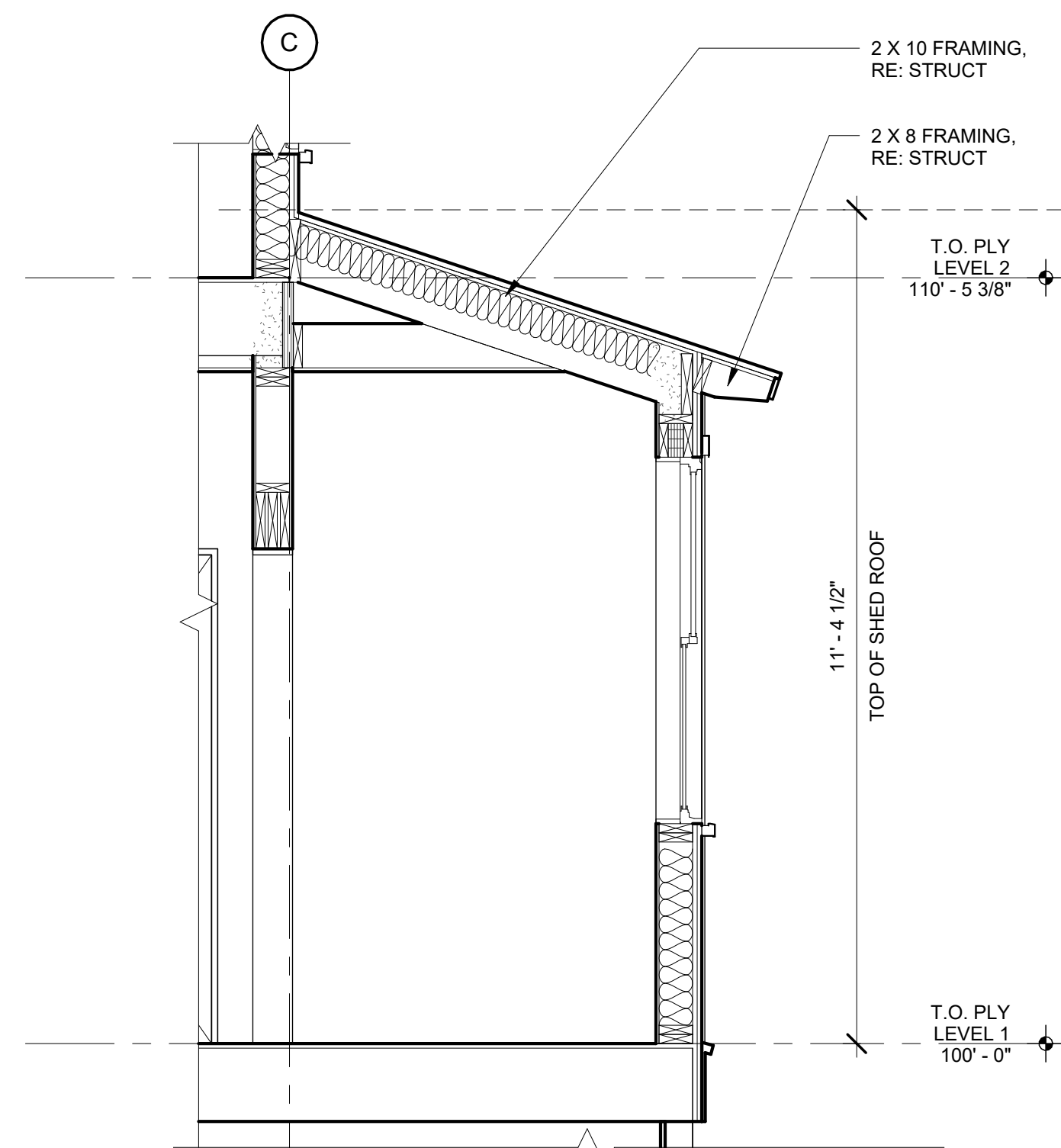
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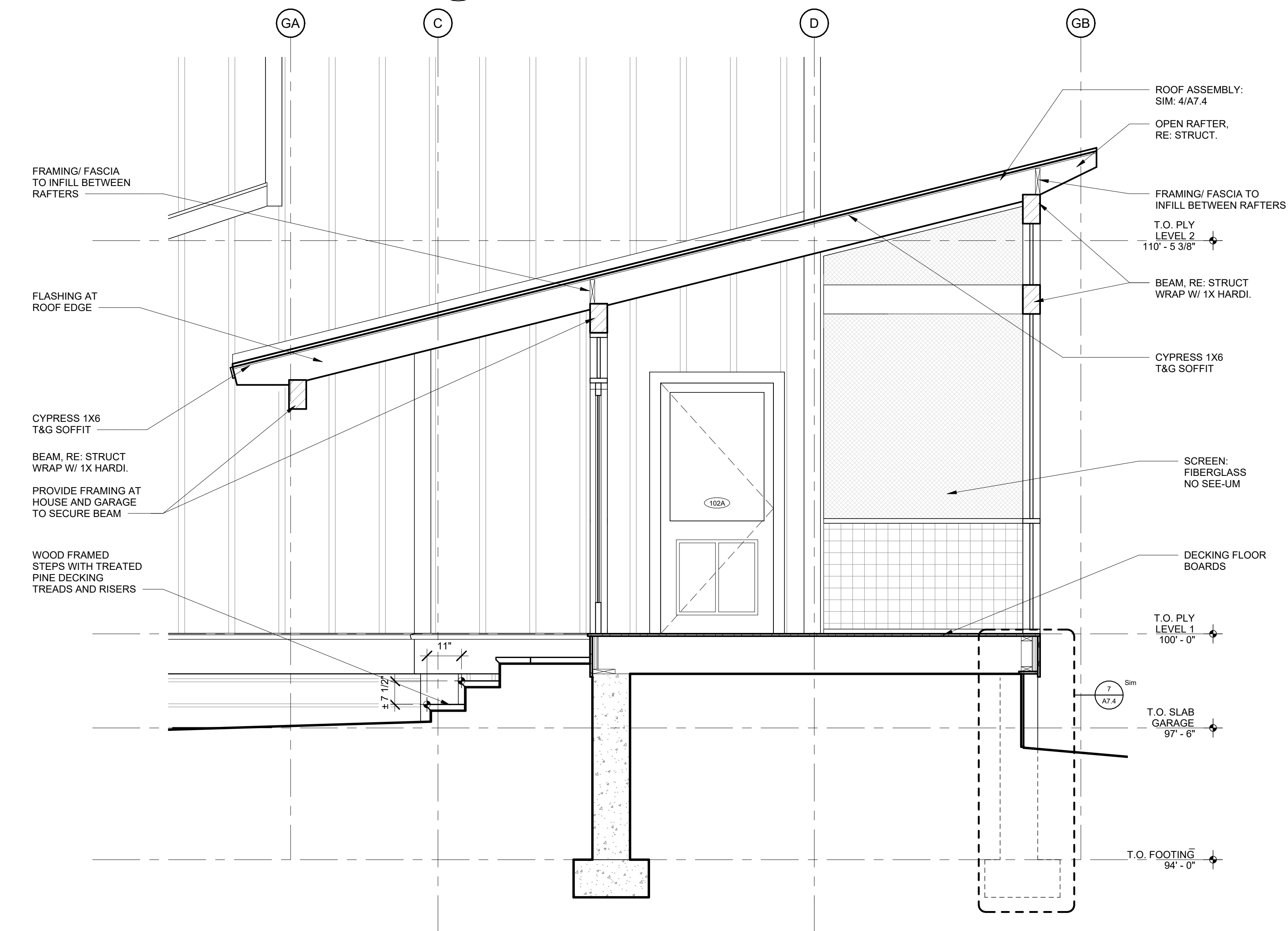
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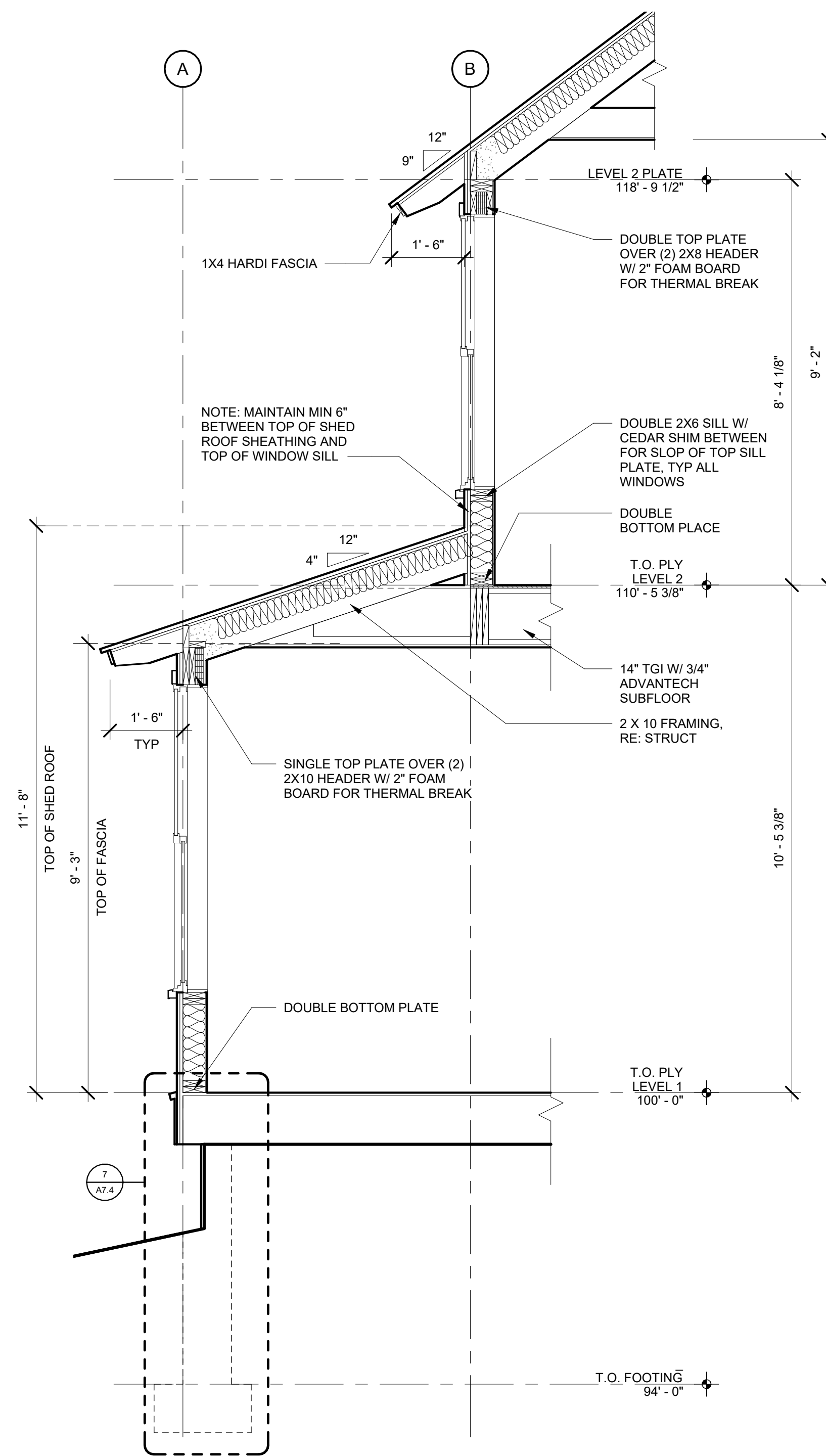
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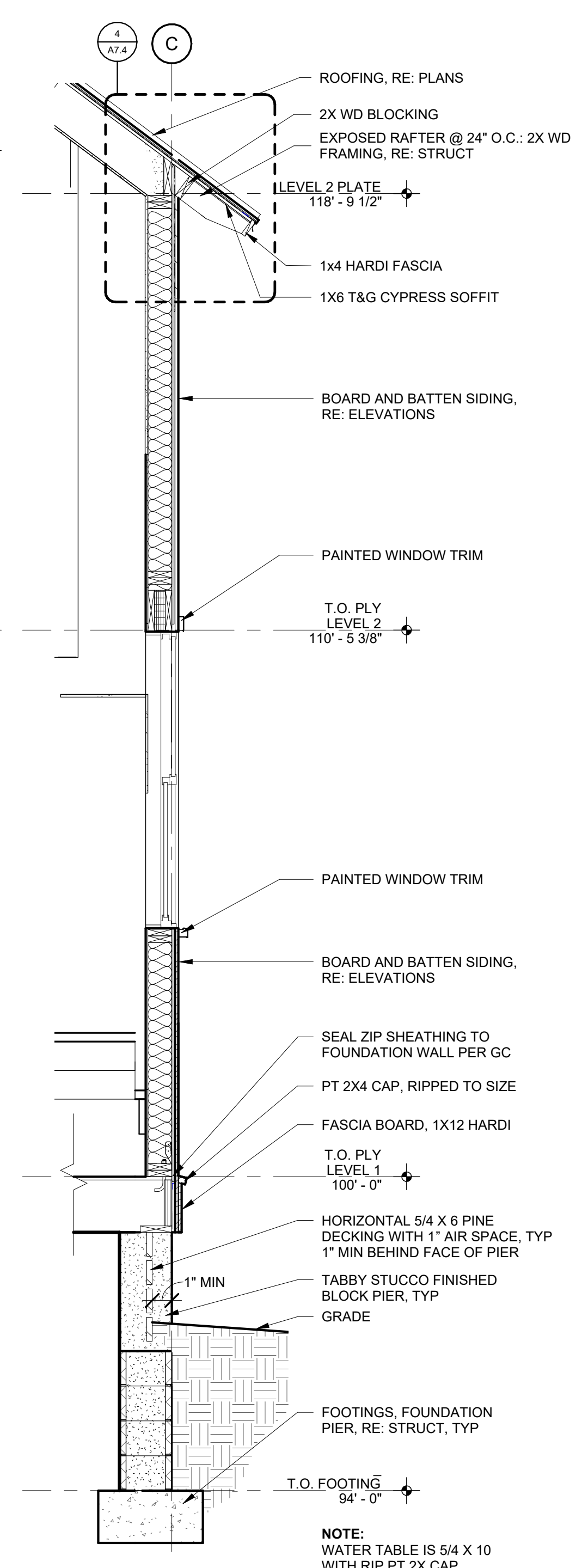
3 WALL SECTION - MUDROOM
A6.1 SCALE: 1/2" = 1'-0"



4 WALL SECTION - SCREEN PORCH
A6.1 SCALE: 1/2" = 1'-0"



2 WALL SECTION
A6.1 SCALE: 1/2" = 1'-0"



1 WALL SECTION
A6.1 SCALE: 1/2" = 1'-0"

LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
WALL SECTIONS

SCALE: 1/2" = 1'-0"

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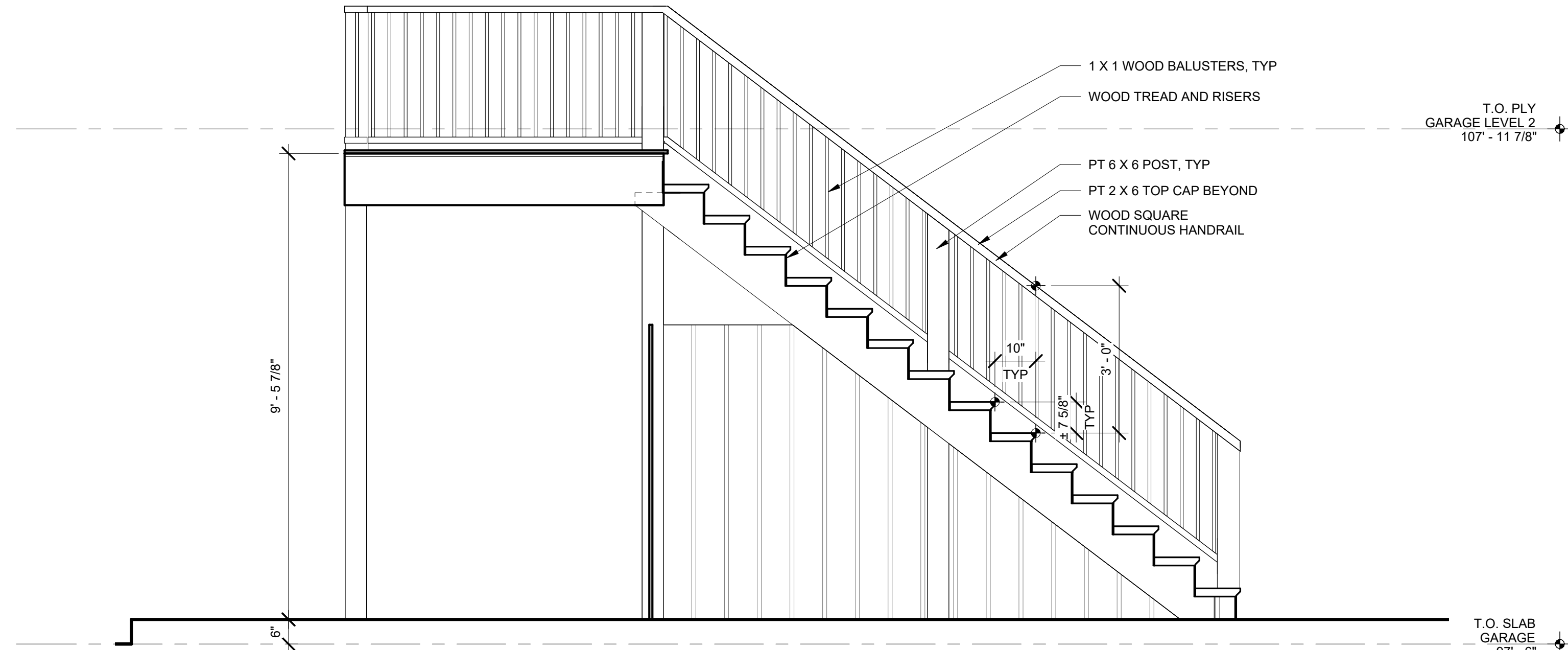
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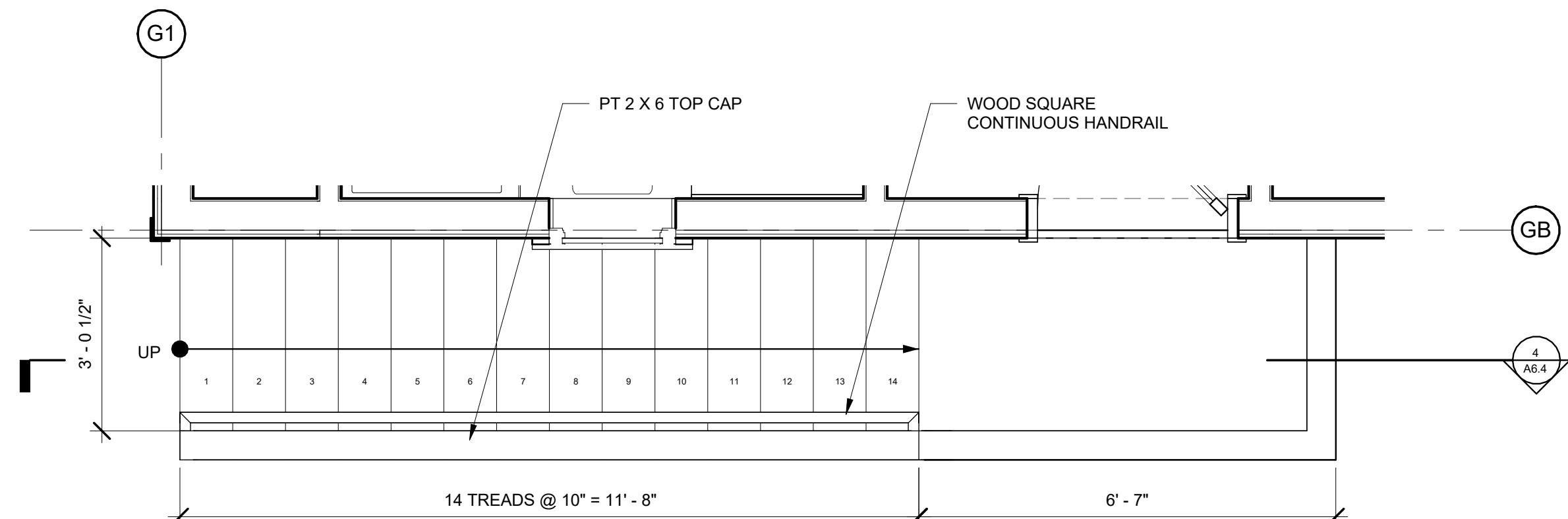
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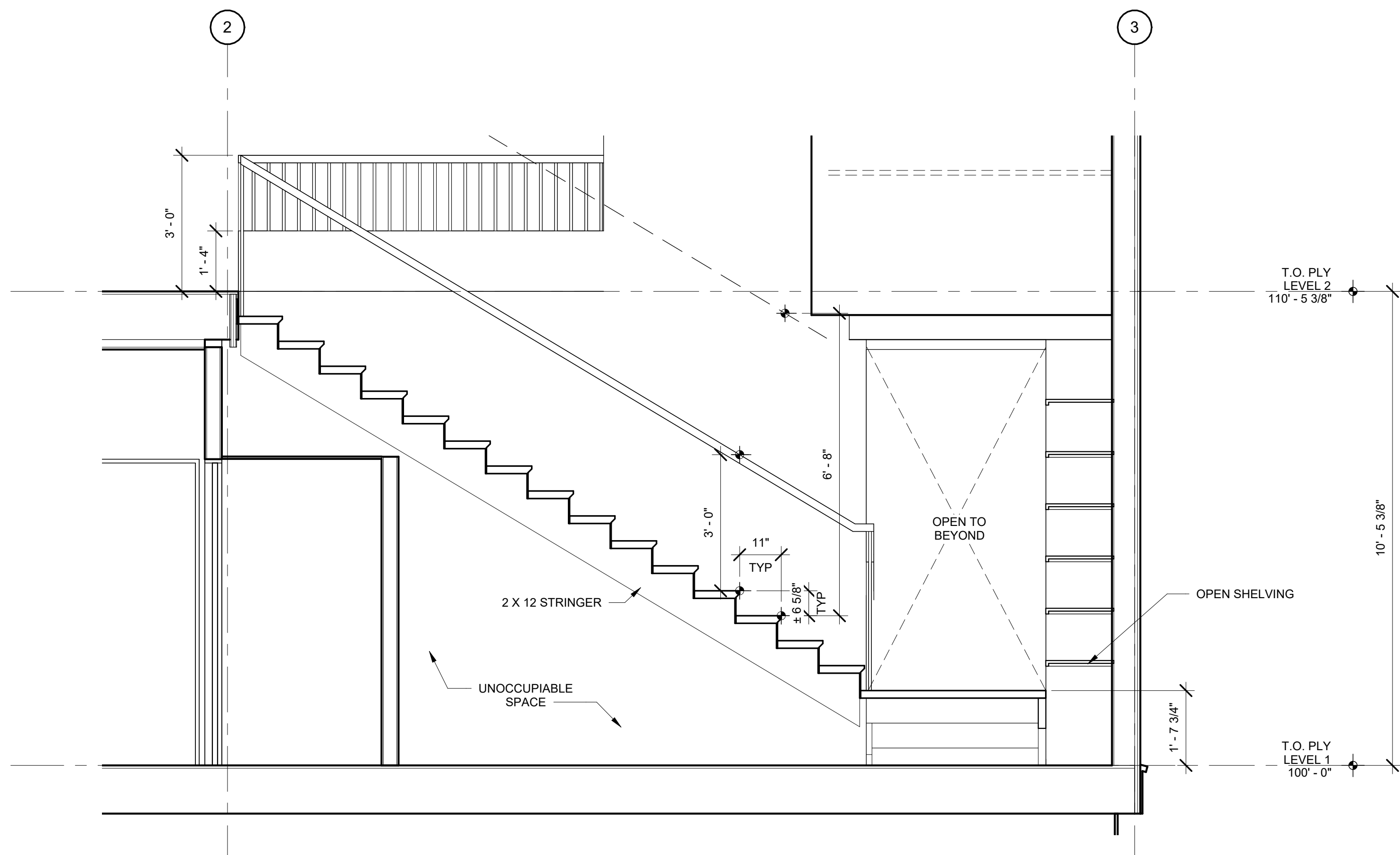
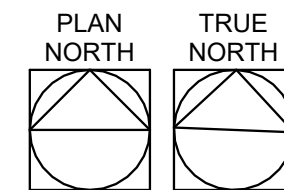
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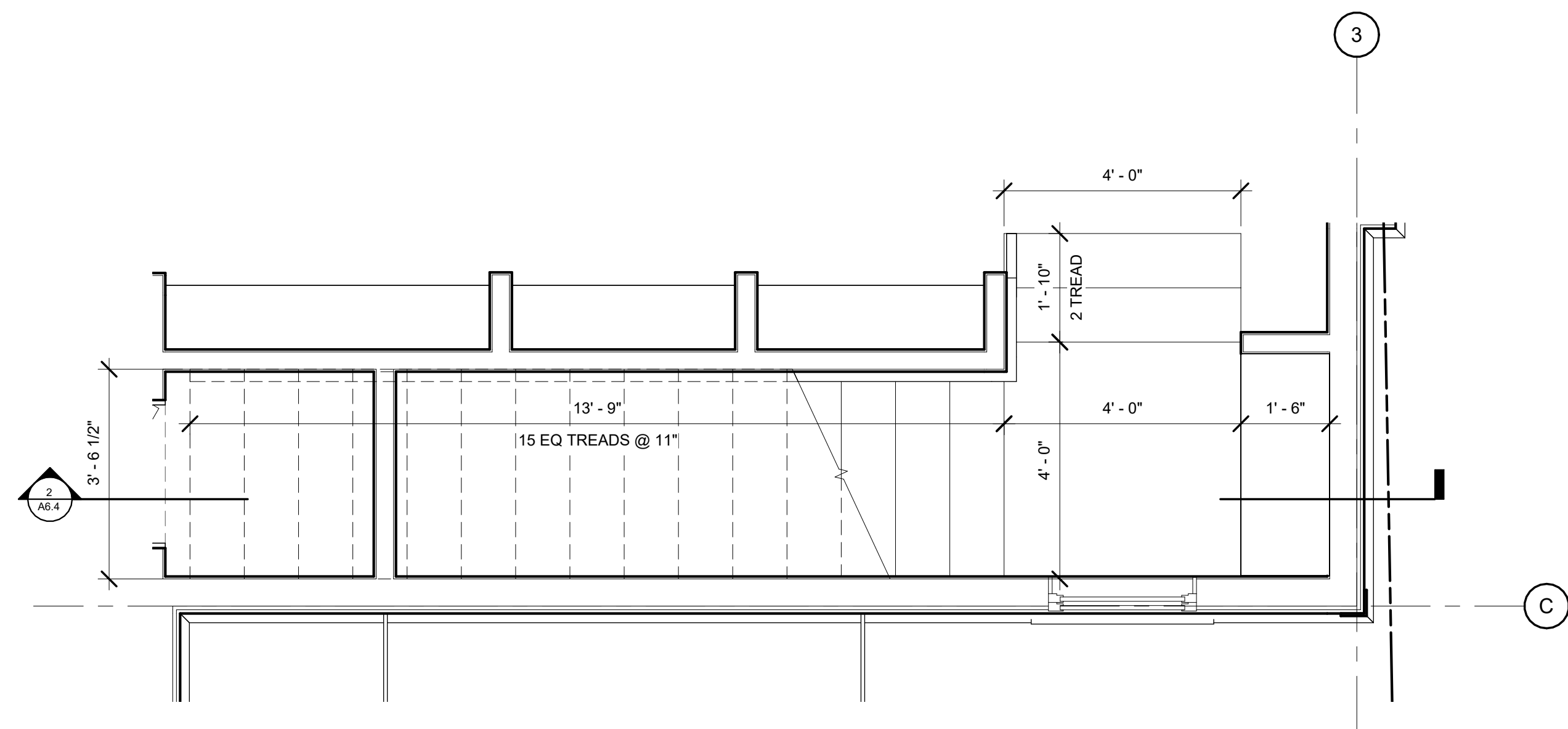
4 GARAGE STAIR SECTION
A6.4 SCALE: 1/2" = 1'-0"



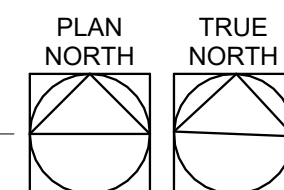
3 GARAGE STAIR
A6.4 SCALE: 1/2" = 1'-0"



2 STAIR SECTION
A6.4 SCALE: 1/2" = 1'-0"



1 STAIR PLAN
A6.4 SCALE: 1/2" = 1'-0"



LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
STAIR SHEET

SCALE: 1/2" = 1'-0"

A6.4

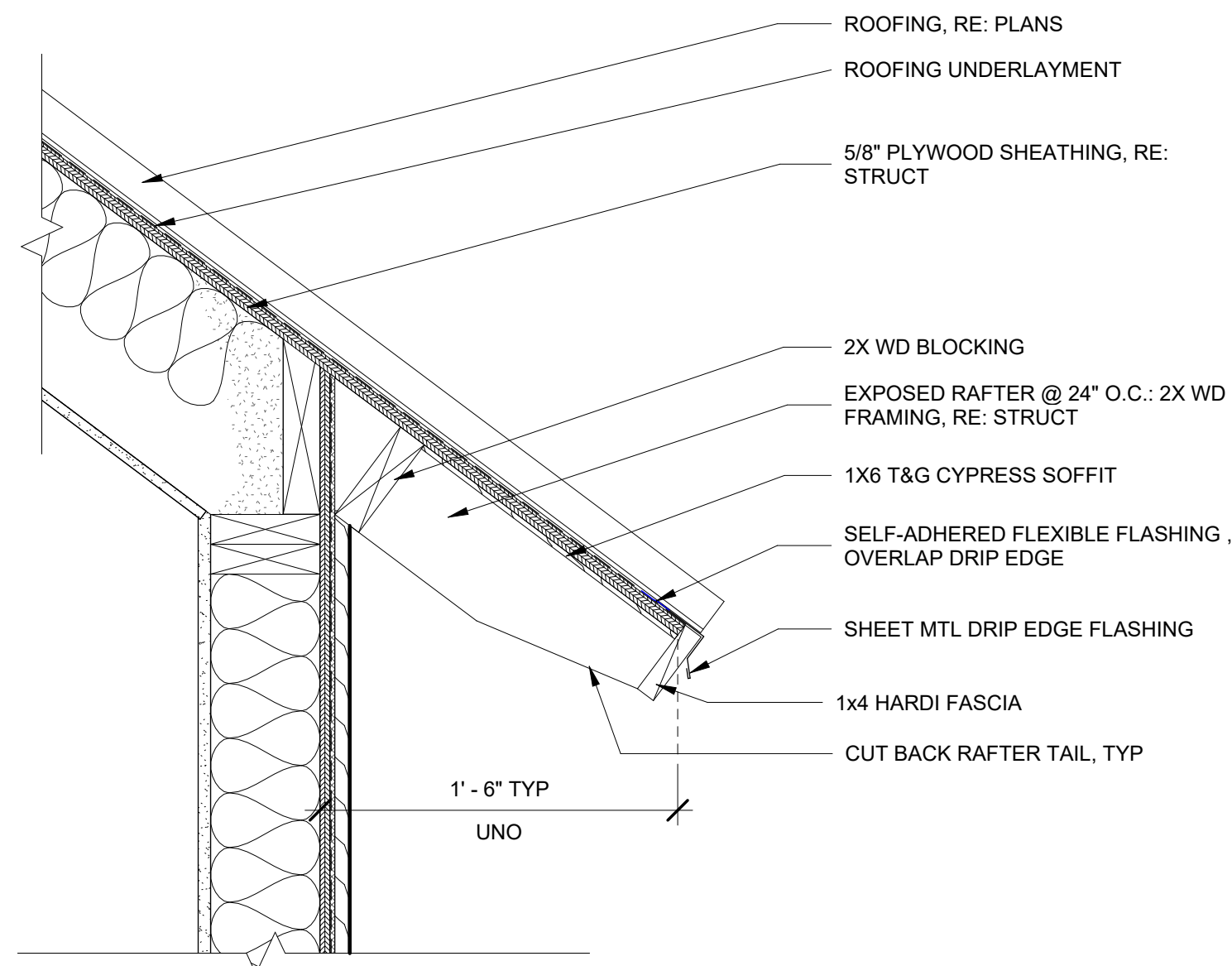
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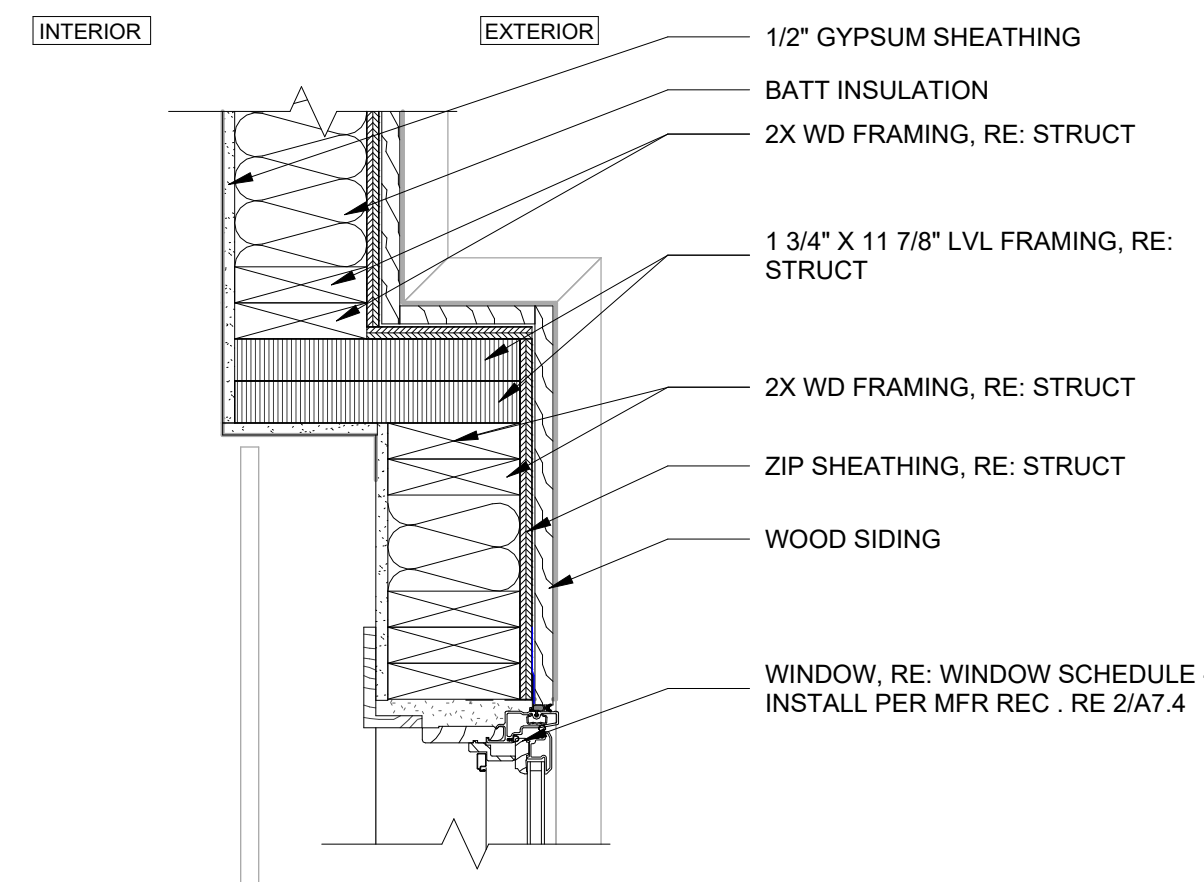
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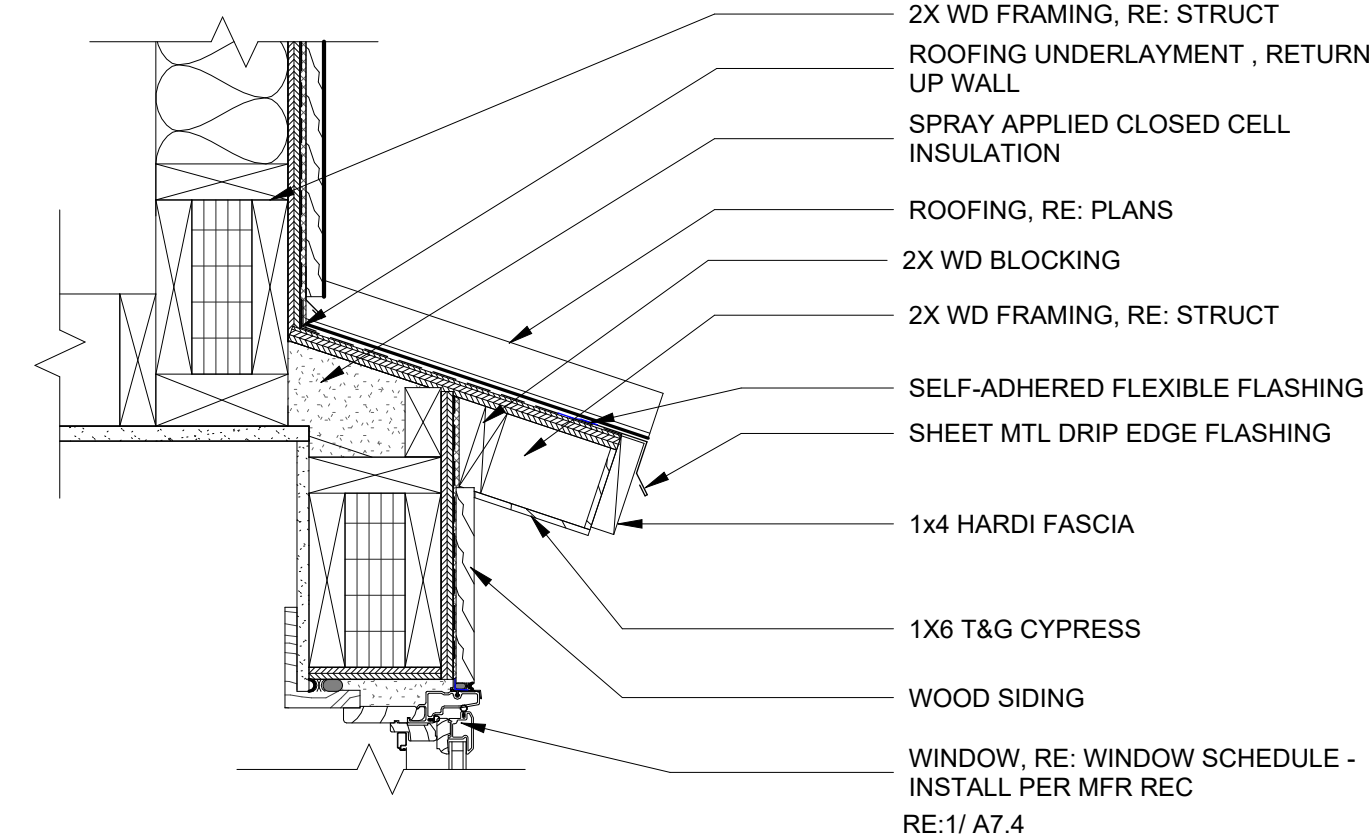
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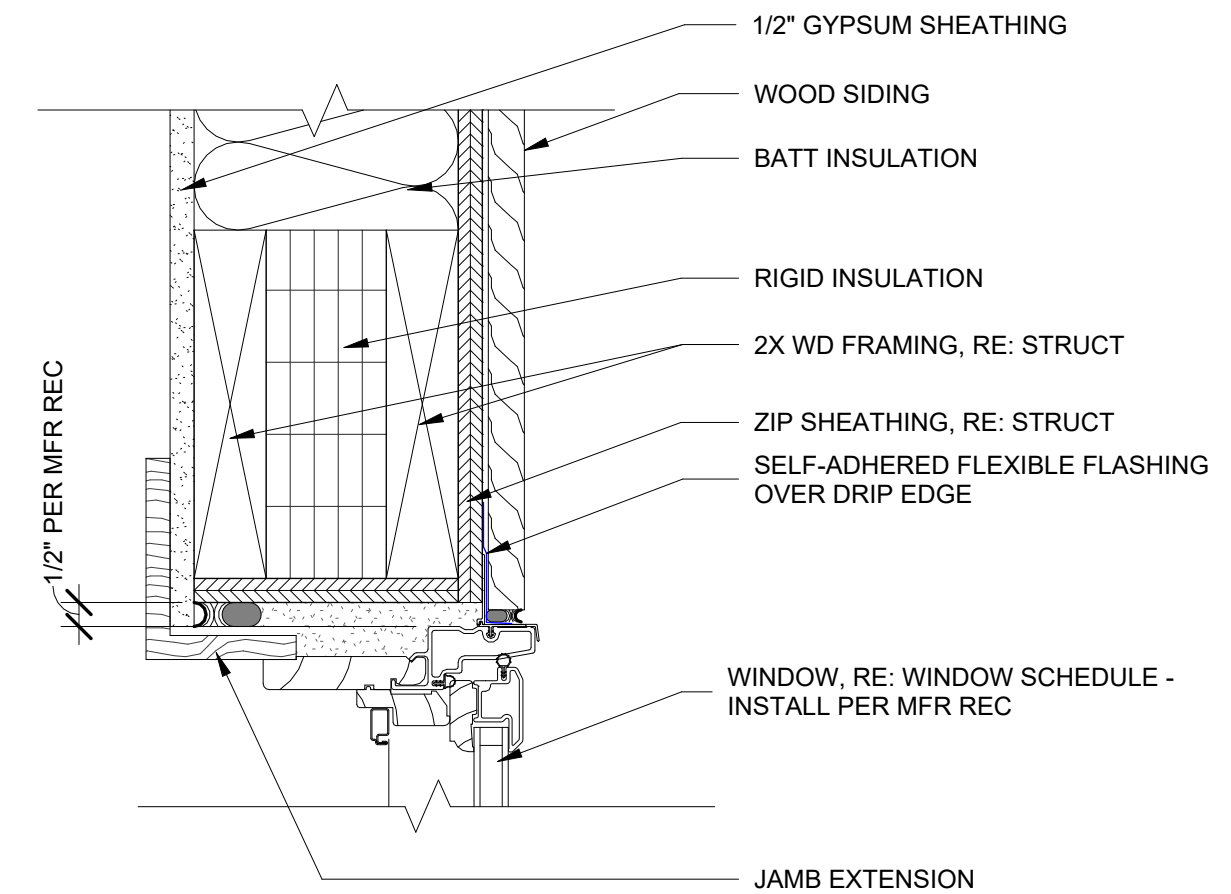
4 TYPICAL ROOF EDGE
A7.4 SCALE: 1 1/2" = 1'-0"



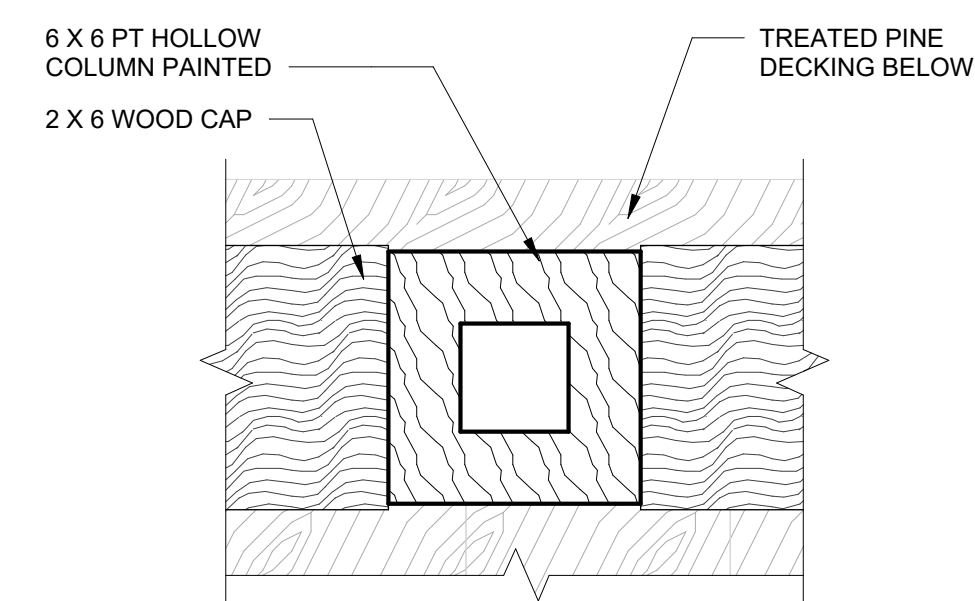
5 WINDOW BUMPOUT
A7.4 SCALE: 1 1/2" = 1'-0"



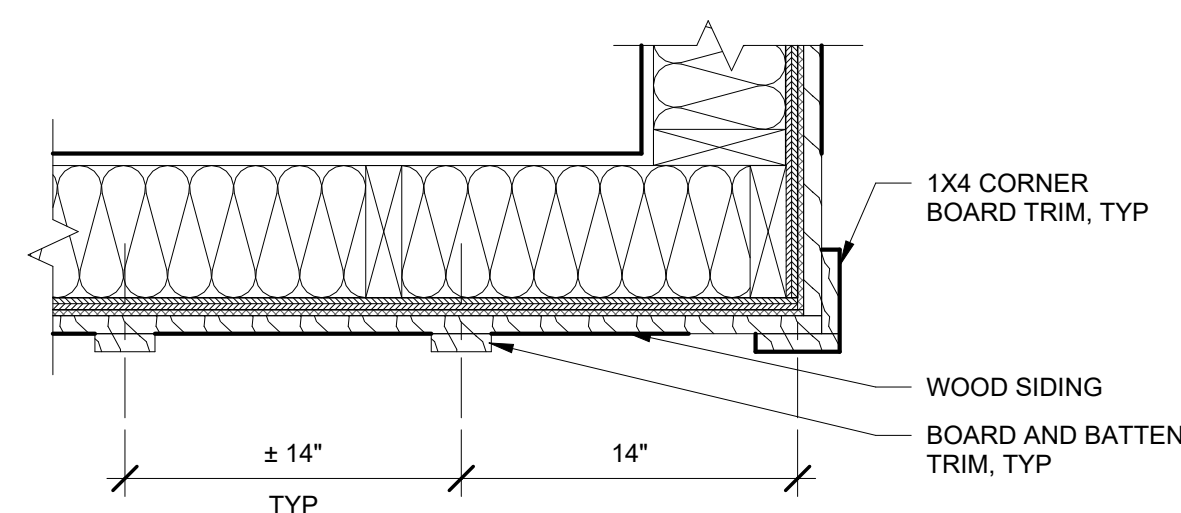
6 WINDOW BUMPOUT HEAD
A7.4 SCALE: 1 1/2" = 1'-0"



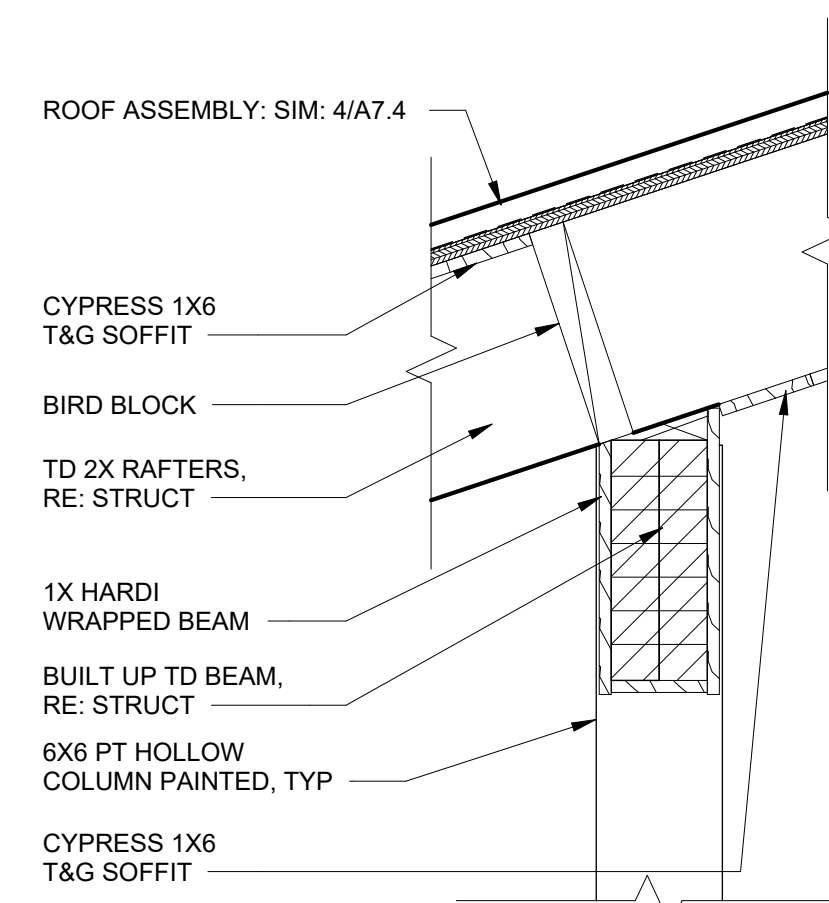
1 TYPICAL WINDOW HEAD
A7.4 SCALE: 3" = 1'-0"



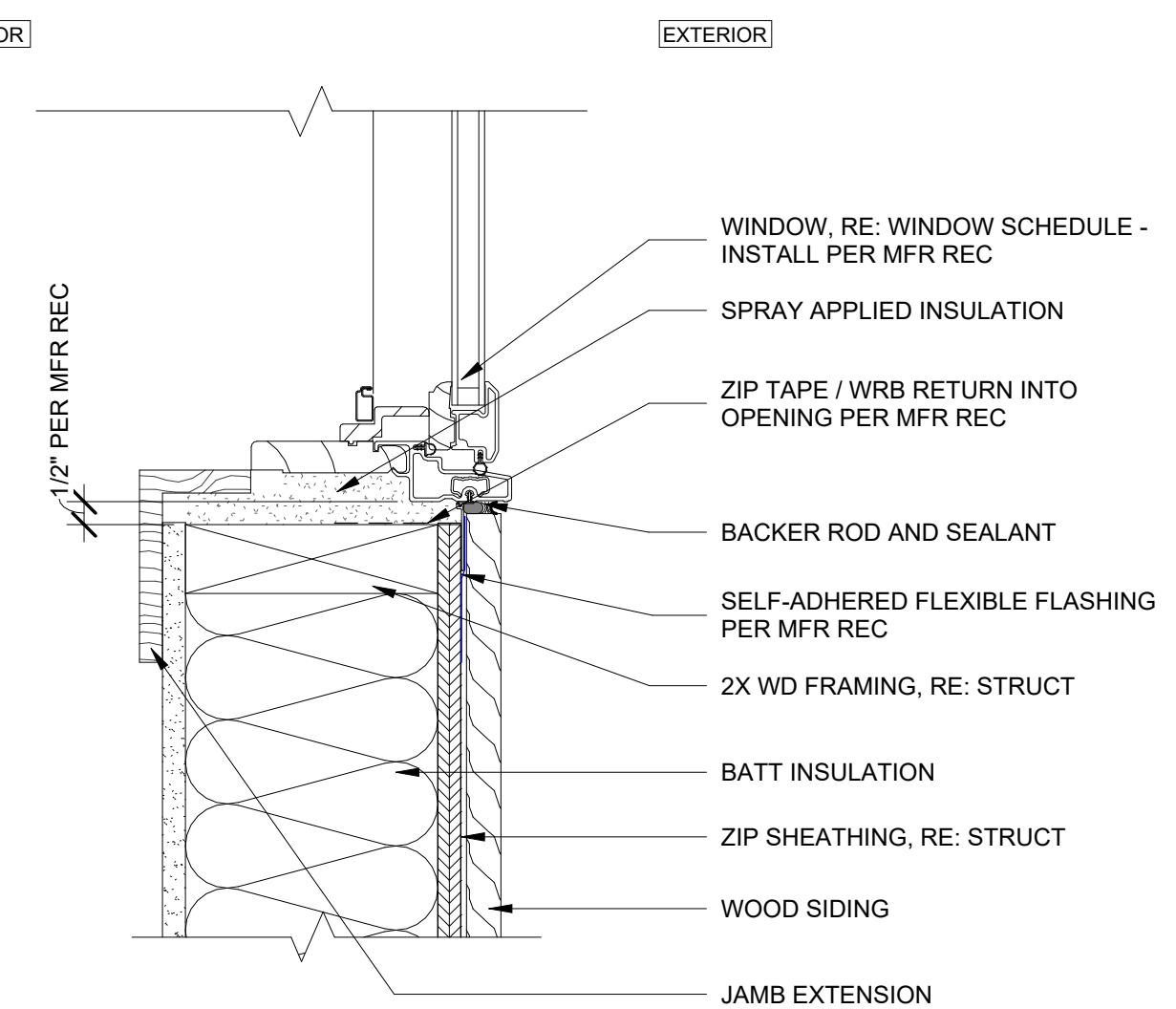
10 DECK COLUMN
A7.4 SCALE: 3" = 1'-0"



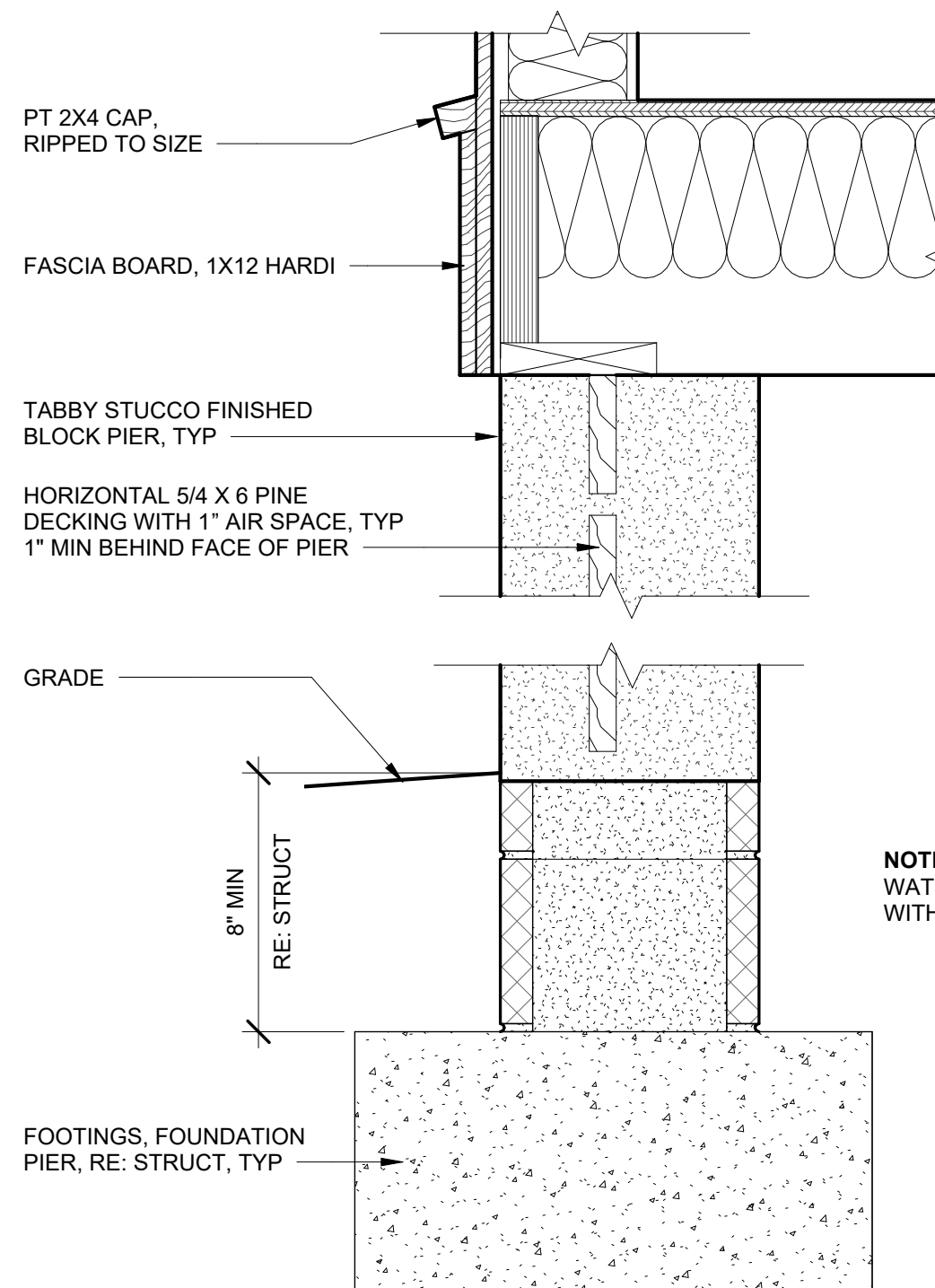
11 TYPICAL CORNER TRIM, BOARD AND BATTEN
A7.4 SCALE: 1 1/2" = 1'-0"



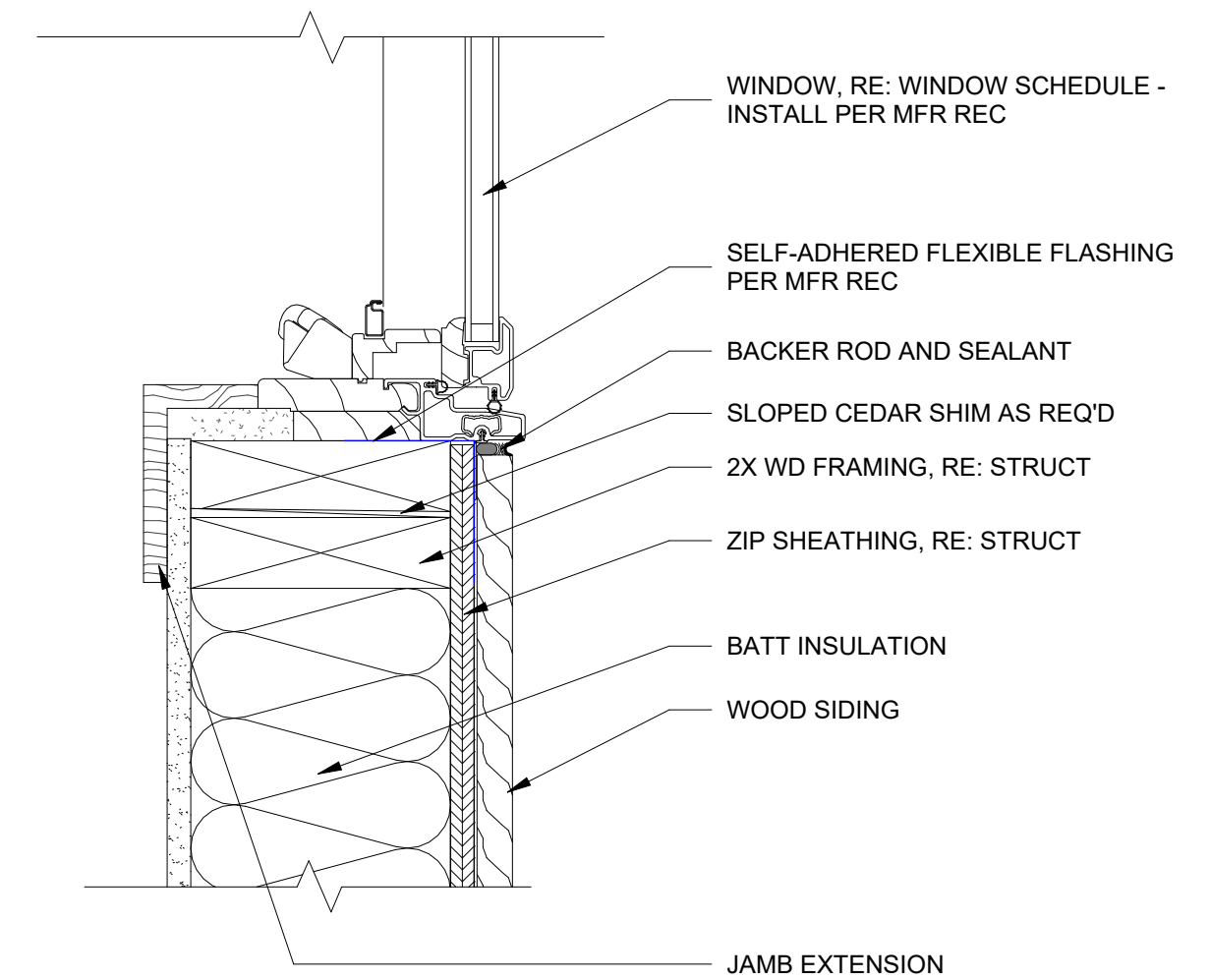
12 PORCH BEAM - DETAIL
A7.4 SCALE: 1 1/2" = 1'-0"



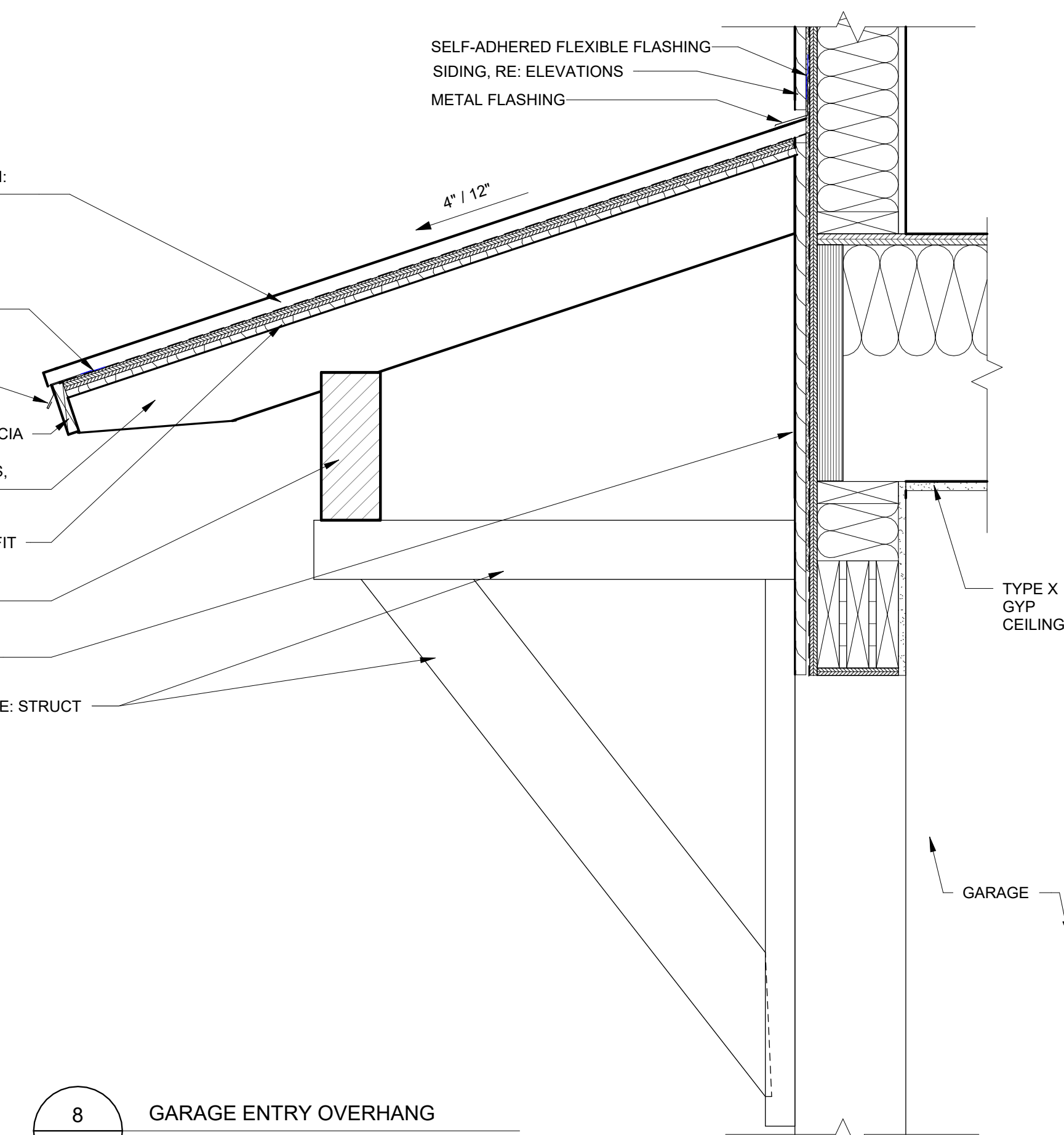
2 TYPICAL WINDOW JAMB
A7.4 SCALE: 3" = 1'-0"



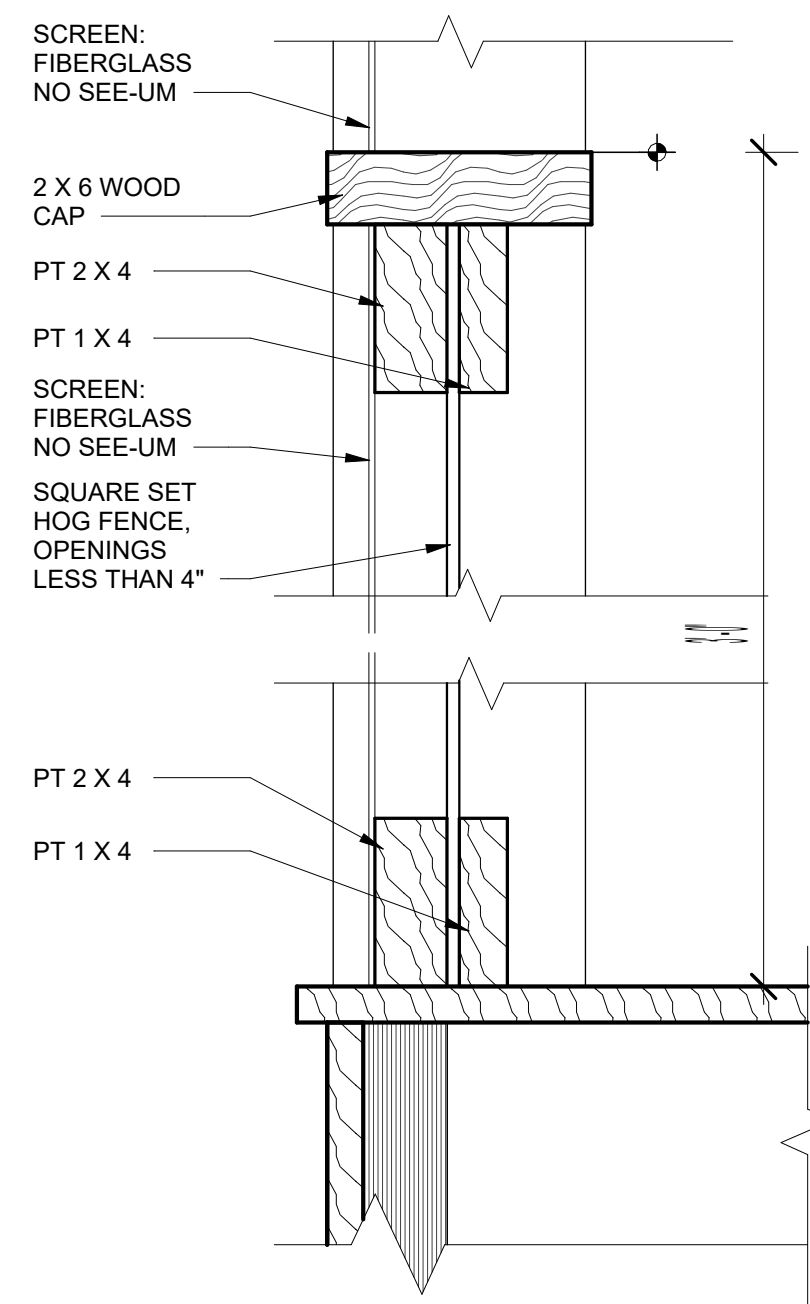
7 FOUNDATION DETAIL, TYPICAL
A7.4 SCALE: 1 1/2" = 1'-0"



3 TYPICAL WINDOW SILL
A7.4 SCALE: 3" = 1'-0"



8 GARAGE ENTRY OVERHANG
A7.4 SCALE: 1 1/2" = 1'-0"



9 REAR PORCH AND GARAGE HANDRAIL - SECTION
A7.4 SCALE: 3" = 1'-0"

LANDEN OAK - LOT 1 TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
DETAILS

SCALE: As indicated

A7.4

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DOOR SCHEDULE															
DOOR MARK	QTY.	DOOR				FRAME TYPE	FINISH	DETAILS			HEAD HEIGHT	HARDWARE GROUP	FIRE RATING	GLASS TYPE	NOTES
		WIDTH	HEIGHT	THICKNESS	TYPE MARK			HEAD	JAMB	SILL					
LEVEL 1															
101	1	3' - 0"	8' - 0"	0' - 1 3/8"	A		STAINED FIR				8' - 0"			TEMP	
102A	1	3' - 0"	6' - 8"	0' - 1 3/4"	A						6' - 8"				
102B	1	3' - 2"	6' - 8"	0' - 1 3/8"	E						6' - 8"				
102C	1	4' - 0"	6' - 8"	0' - 1 3/4"	H						6' - 8"				
102D	1	3' - 2"	6' - 8"	0' - 1 3/8"	E						6' - 8"				
104	1	2' - 8"	7' - 0"	0' - 1 3/4"	J						7' - 0"				
105	1	2' - 4"	6' - 8"	0' - 1 3/8"	A						6' - 8"				
115	1	2' - 4"	6' - 8"	0' - 1 3/8"	A						6' - 8"				
117	1	3' - 0"	6' - 8"	0' - 1 3/4"	A		STAINED FIR				6' - 8"				

LEVEL 2															
201	1	2' - 6"	7' - 0"	0' - 1 3/8"	A						7' - 0"				
202	1	4' - 0"	7' - 0"	0' - 1 3/8"	C						7' - 0"				
203	1	2' - 6"	7' - 0"	0' - 1 3/4"	G						7' - 0"				
204	1	2' - 2"	7' - 0"	0' - 1 3/8"	A						7' - 0"				
205	1	2' - 10"	7' - 0"	0' - 1 3/4"	F						7' - 0"				
206	1	2' - 6"	7' - 0"	0' - 1 3/8"	A						7' - 0"				
207	1	2' - 6"	7' - 0"	0' - 1 3/8"	A						7' - 0"				
208	1	5' - 0"	7' - 0"	0' - 1 3/4"	H						7' - 0"				

GARAGE DOOR SCHEDULE															
DOOR MARK	QTY.	DOOR				FRAME TYPE	FINISH	DETAILS			HEAD HEIGHT	HARDWARE GROUP	FIRE RATING	GLASS TYPE	NOTES
		WIDTH	HEIGHT	THICKNESS	TYPE MARK			HEAD	JAMB	SILL					
GARAGE															
120A	1	8' - 0"	9' - 0"	0' - 0"	D					9' - 0"					
120B	1	8' - 0"	9' - 0"	0' - 0"	D					9' - 0"					
120C	1	2' - 6"	6' - 8"	0' - 1 3/8"	A		STAINED FIR			7' - 2"			TEMP		
120D	1	2' - 6"	6' - 8"	0' - 1 3/8"	A					7' - 0"			TEMP		

GARAGE LEVEL 2															
220	1	3' - 0"	6' - 8"	0' - 1 3/4"	A		STAINED FIR				6' - 8"			TEMP	
221	1	2' - 6"	6' - 8"	0' - 1 3/8"	A						6' - 8"				
222	1	3' - 0"	6' - 8"	0' - 1 3/4"	H						6' - 8"				
223	1	1' - 6"	6' - 8"	0' - 1 3/8"	A						6' - 8"				

DOOR TYPE LEGEND		
MARK	DESCRIPTION	NOTES
A	SWING DOOR	
B	BI-FOLD 4 PANEL	
C	BI-FOLD 2 PANEL	
D	GARAGE DOOR	
E	CASED OPENING	
F	BARN DOOR	
G	DOUBLE POCKET DOOR	
H	DOUBLE SWING DOOR	
J	POCKET DOOR	

DOOR SCHEDULE GENERAL NOTES:

1. GC TO VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDERING AND MANUFACTURING DOORS.
2. ALL DIMENSIONS ARE PANEL SIZES. GC TO ACCOMMODATE FOR ROUGH OPENING AT ALL OPENINGS PER MANUFACTURER SPECIFICATIONS.
3. GC AND DOOR MANUFACTURER TO PROVIDE TEMPERED GLASS PER CODE. TEMPERED GLASS REQUIRED WITHIN 12" OF DOORS AND WITHIN 18" ABOVE FINISHED FLOOR.
4. ALL DOORS WHICH ARE EXISTING TO REMAIN ARE SHOWN IN THE DRAWINGS, BUT ARE NOT SCHEDULED.
5. EQUIP LOCKS WITH SPECIFIC INTERCHANGEABLE CORE CYLINDERS. INTEGRATE/COORDINATE KEYING INCLUDING MASTER, GRAND MASTER, AND GREAT GRAND MASTER WITH MANAGEMENT'S REQUIREMENTS.
6. ALL U-VALUES TO BE 0.35 OR BETTER.

NOTE: IT IS THE INTENT OF THESE DOCUMENTS AND HARDWARE SCHEDULE TO REFLECT THE GENERAL INTENTION WITH RESPECT TO HARDWARE FUNCTION. THE GENERAL CONTRACTOR SHALL PREPARE, ALONG WITH HIS ARCHITECTURAL HARDWARE CONSULTANT, A COMPLETE HARDWARE SCHEDULE LISTING ALL THE REQUIRED COMPONENTS, PARTS, EQUIPMENT THAT FULFILLS THE INTENTION OF THESE DOCUMENTS. THIS SCHEDULE WILL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT, COMPLETE WITH PRODUCT CUTS FOR EVERY PART. IN-SO-FAR-AS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER A FULLY FUNCTIONING HARDWARE PACKAGE WHICH IS CONSISTENT WITH THE INTENTION OF THESE DOCUMENTS, NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE GRANTED BY THE OWNER OR THE ARCHITECT WHICH ARISE FROM THE GENERAL CONTRACTOR'S FAILURE TO ANTICIPATE AND/OR PROVIDE ALL COMPONENTS, EQUIPMENT, LABOR, MODIFICATION OF DOORS, BUCKS, AND/OR ADJACENT MATERIALS AND SURFACES, ETC, WHICH ARE REQUIRED FOR A FULLY FUNCTIONING CODE COMPLIANT AND TENANT DESIRED GUIDELINES COMPLIANT HARDWARE PACKAGE.

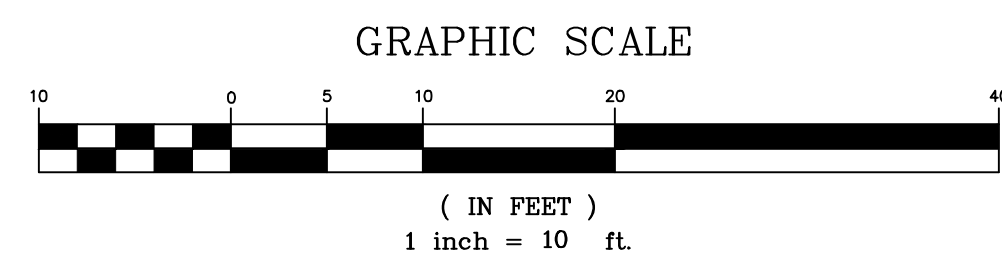
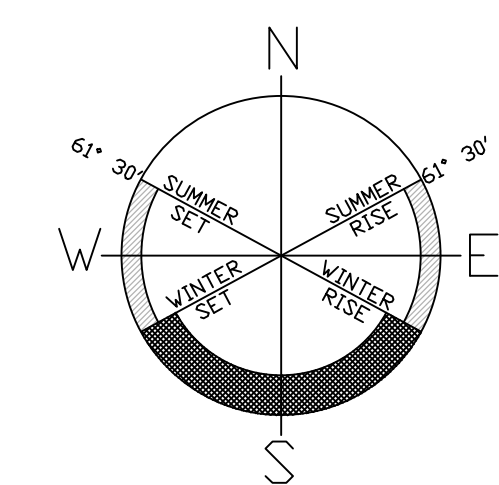
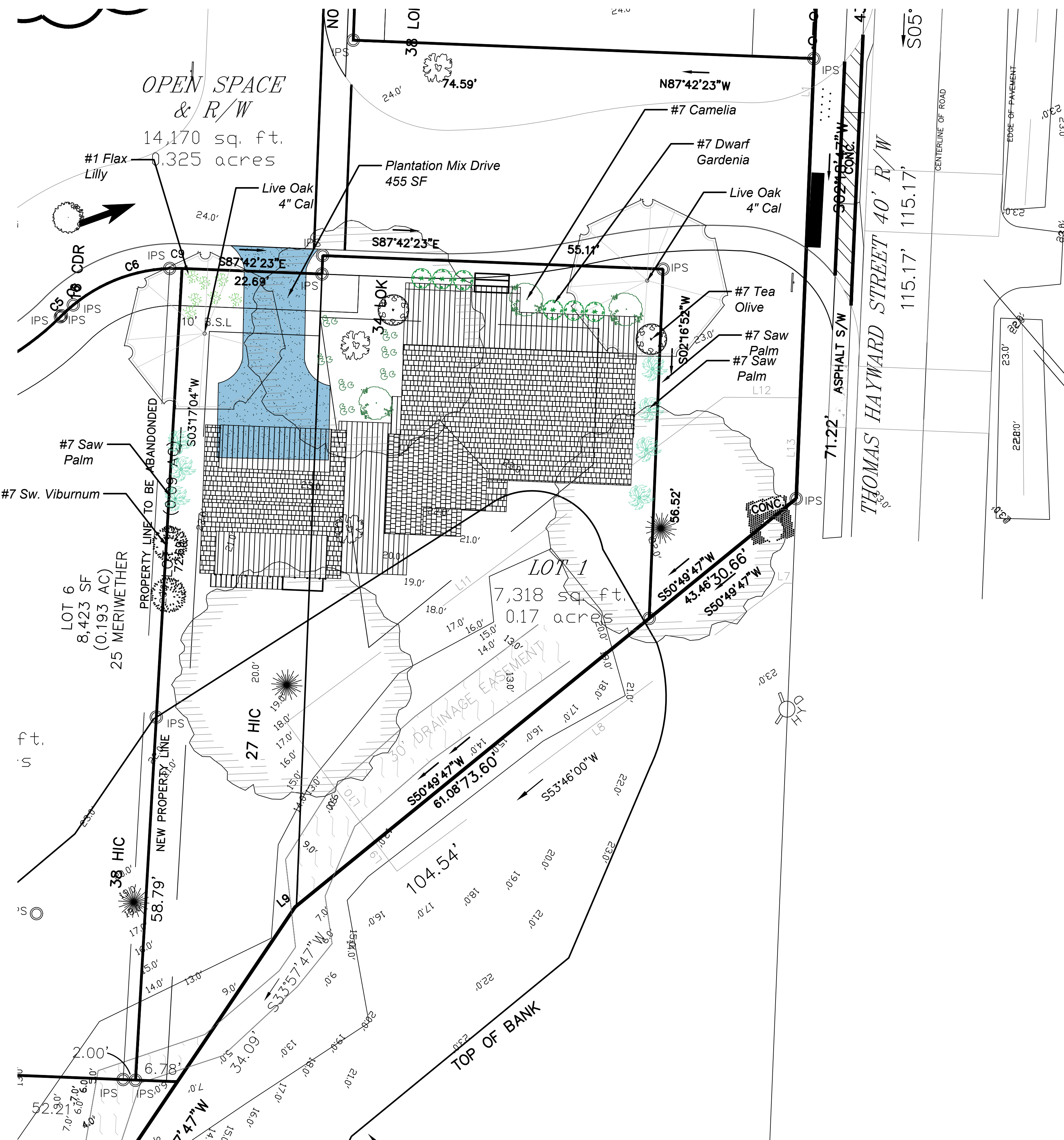
WINDOW SCHEDULE														
MARK	FRAME SIZE		ROUGH OPENING SIZE		MANUFACTURER	SERIES	MODEL	DESCRIPTION	OPERATION	COLOR	ACCESSORY GROUP	HEAD HEIGHT	TG	NOTES
	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT										
W3	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			8' - 8 1/4"		
1														
W4	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			8' - 4 3/4"	TEMP	
1														
W5	2' - 6"	5' - 8"	2' - 6 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			10' - 5"	TEMP	
1														
W6	5' - 0"	5' - 8"	5' - 0 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	MULLED SINGLE HUNG	SINGLE-HUNG			7' - 7 5/8"		
2														
W7	5' - 0"	6' - 4"	5' - 0 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	MULLED SINGLE HUNG	SINGLE-HUNG			8' - 4 3/4"		
1														
W8	2' - 0"	5' - 0"	2' - 0 1/2"	5' - 0 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT			8' - 4 3/4"		
6														
W10	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCAWN	SINGLE	AWNING			7' - 7 5/8"	TEMP - OBSCURE GLASS	
1														
W11	2' - 0"	5' - 0"	2' - 1"	5' - 1"	JELD-WEN	AURALINE	BLVDH	DOUBLE-HUNG	DOUBLE HUNG			8' - 4 3/4"	TEMP	
1														
W12	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT			8' - 8"		
2														
W13	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT			10' - 3 1/2"		
1														
W14	2' - 0"	5' - 0"	2' - 1"	5' - 1"	JELD-WEN	AURALINE	BLVDH	DOUBLE-HUNG	DOUBLE HUNG			6' - 8 1/4"		
2														
W15	2' - 0"	5' - 0"	2' - 1"	5' - 1"	JELD-WEN	AURALINE	BLVDH	DOUBLE-HUNG	DOUBLE HUNG			8' - 0"		
4														
W17	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			8' - 4"		
1														
W19	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT			8' - 4 3/4"		
1														
W20	2' - 0"	5' - 0"	2' - 1"	5' - 1"	JELD-WEN	AURALINE	BLVDH	DOUBLE-HUNG	DOUBLE HUNG			8' - 4 3/4"		
2														
27														

GARAGE WINDOW SCHEDULE														
MARK	FRAME SIZE		ROUGH OPENING SIZE		MANUFACTURER	SERIES	MODEL	DESCRIPTION	OPERATION	COLOR	ACCESSORY GROUP	HEAD HEIGHT	TG	NOTES
	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT										
W2	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCAWN	SINGLE	AWNING			6' - 8"		
1														
W3	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			9' - 4"		
2														
W5	2' - 6"	5' - 8"	2' - 6 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			8' - 0"		
3														
W18	2' - 6"	5' - 8"	2' - 6 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			8' - 8"		
1														
7														

WINDOW SCHEDULE GENERAL NOTES:

1. REFER TO ELEVATIONS FOR ALL ALIGNMENTS
2. TEMPERED LIGHTS BELOW 18", NEXT TO DOORS, AND AT STAIRS, PER CODE.
3. CONFIRM FINAL WINDOW SIZES WITH WINDOW MANUFACTURER. ROUGH OPENING SIZE BY MANUFACTURER AND ARE NOT LISTED ON THIS SCHEDULE
4. ALL OPERABLE WINDOWS TO INCLUDE SCREENS
5. WINDOW FRAME WIDTH TO ALIGN WITH DOOR FRAME WIDTH BELOW WHEN STACKED, WHERE APPLICABLE.

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MBD LANDSCAPE PLAN
1" = 10'-0"



PROJECT NOTES:

Owner: BFL Builders LLC
Property Address: 15 Meriwether Ct.
Property Lot Number: 1
Tax ID Number: R610 039 00A 0388 0000
Property Area: 7,318 SF- 0.17 Acres

LANDSCAPE NOTES

- PLANTING:**
1. MATERIAL LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
 2. ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHAINED.
 3. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
 4. SEE TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
 5. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST TO ACHIEVE PROPER SOIL CONDITION.
 6. CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY OWNER'S REPRESENTATIVE BEFORE BEGINNING PLANTING OPERATIONS.
 7. ALL PLANT BEDS TO RECEIVE 3" DEEP BROWN COLORED HARDWOOD MULCH.
 8. CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
 9. ALL PLANT BEDS AND AREAS TO RECEIVE 100% IRRIGATION COVERAGE.
 10. IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN" SHALL BE SELECTED BY THE OWNER'S REPRESENTATIVE AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
 11. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION AND ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 12. PLANT BE SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
 13. CONTRACTOR TO VERIFY UTILITY LOCATIONS BY REQUESTING "NO CUTS" 72 HOURS BEFORE INSTALLATION.

IRRIGATION:

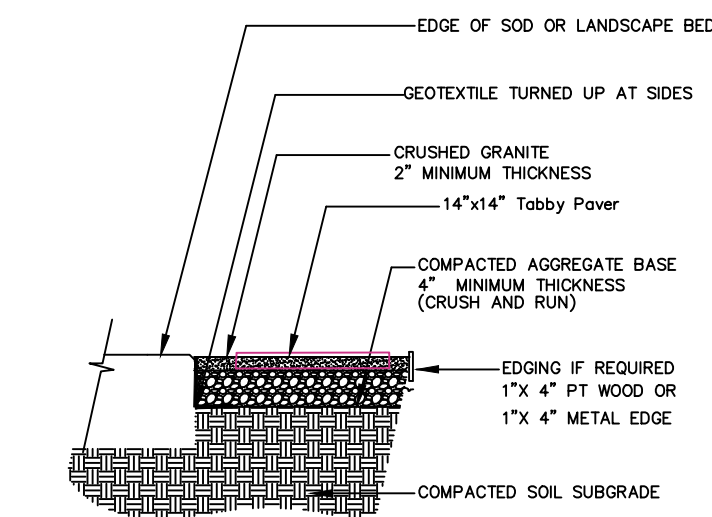
- THE IRRIGATION SYSTEM WILL CONFORM TO THE FOLLOWING STANDARDS:
1. PROVIDED 100% COVERAGE OF PLANT BEDS, GRASS AREAS AND BUFFERS. IRRIGATION SYSTEM TO MEET ALL LOCAL AND NATIONAL PLUMBING AND ELECTRICAL CODES.
 2. PROVIDE ELECTRIC AUTOMATIC TIMER CONTROL. COORDINATE LOCATION OF CONTROLLER WITH OWNER.
 3. PROVIDE BEAUFORT COUNTY APPROVED RP2 PER BWSA SPECIFICATIONS AND 1 1/2" METER SERVICE FOR IRRIGATION SYSTEM.
 4. INCORPORATE ZONES THAT SEPARATE GRASS AREAS FROM PLANT BEDS.
 5. AVOID SPRAYING ROADS, PARKING AND WALKS.
 6. UTILIZE SWING-JOINTS AND/OR FLEX-RISERS ON ALL HEADS NEXT TO ROADS, PARKING AND WALKS.
 7. CONTRACTOR WILL PROVIDE 3 SETS OF AS-BUILT IRRIGATION DRAWINGS AFTER CONSTRUCTION IS COMPLETE AND APPROVED BY THE OWNER.
 8. CONTRACTOR TO COORDINATE WITH GC AND OWNER, PRIOR TO HARDSCAPE MATERIAL INSTALLATION, INSTALLING CONDUIT FOR IRRIGATION.

DRAINAGE:

SEE GRADE AND DRAINAGE PLAN FOR PROPOSED SITE DRAINAGE.

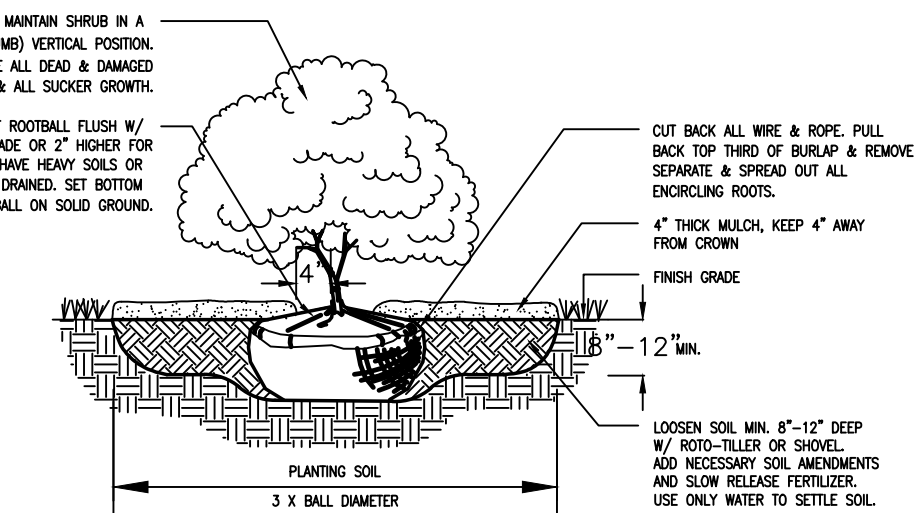
GUARANTEE:

THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIRS OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS OR DIEBACK DUE TO INSUFFICIENT IRRIGATION/WATERING SCHEDULE.

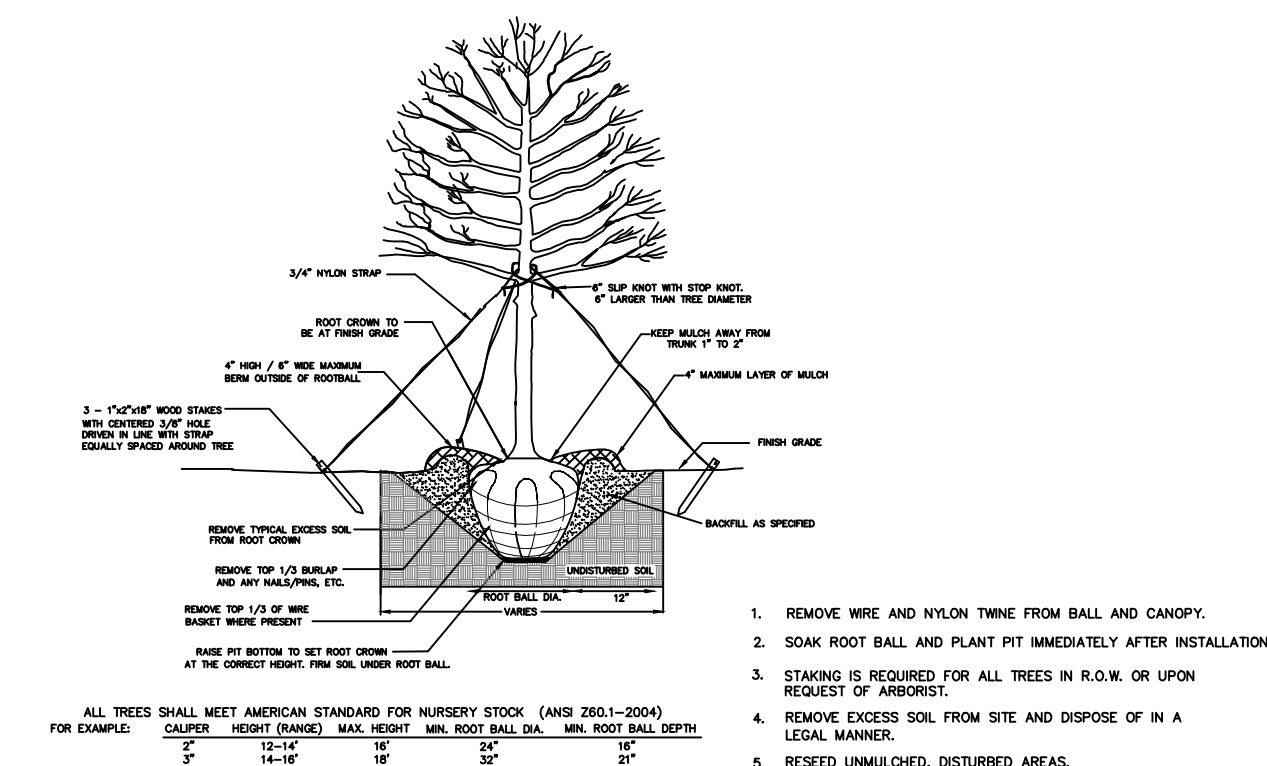


NOTES:
1. THICKNESS OF AGGREGATE BASE WILL VARY WITH TYPE OF SOIL SUBGRADE AND CLIMATE.
2. 1" X 4" METAL EDGE IS SUGGESTED FOR DRIVEWAYS OR HIGH TRAFFIC AREAS.

1/LS101 Crushed Granite Drive/Walk
N.T.S.



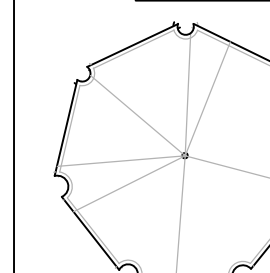
2/LS101 SHRUB PLANTING DETAIL
N.T.S.



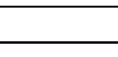
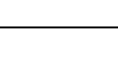
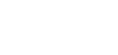
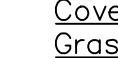
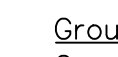
3/LS101 TREE INSTALLATION DETAIL
N.T.S.

PLANT SCHEDULE

Trees



Shrubs



QTY Common/ Botanical Name Caliper Cont. Height/Spread

2 Live Oak/ Quercus virginiana 4" Cal. B&B 8-10'

QTY Common/ Botanical Name Cont. Height/Spread

2 Sweet Viburnum/ Viburnum odortisimum 7 gal. 3-4'

3 Camellia 'Yuletide'/ Camelia sasanqua 7 gal. 42"/36"

2 Sweet Olive/ Osmanthus fragrans 7 gal. 3-4'

7 Silver Saw Palmetto/ Serenoa repens 'Cinerea' 3 gal. 3-4'

6 Dwarf Gardenia/ Gardenia jasminoides 7 gal. 2'/ 2'

QTY Common/ Botanical Name Cont. Height/Spread

7 Flax Lilly/ Dianella tasmanica 'Variegata' 1 gal. 15"-18"

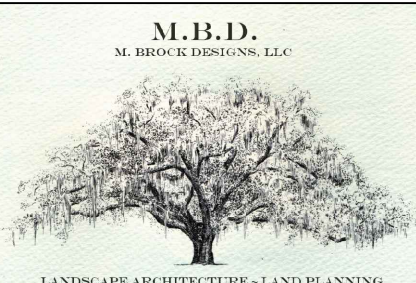
7 Giant Leopard Plant/ Farfugium japonicum 'Giganteum' 1 gal. 15"-18"



FINAL
06/2024

No.	Issue / Revision Description	Date
1		

LANDSCAPE PLANS
LOT 1
Single Family Residence
15 MERIWETHER CT.
BLUFFTON, SC



J. M. BROCK
RLA

po box 358, port royal
south carolina, 29935

ph. 843.540.6407
mbrock@mbrockdesigns.com

Drawn By: M. Brock

Drawn Date: 06.05.24

Chk'd By: M. Brock

Project ID: 24032

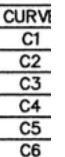
Landscape Plan
Sheet No.

LS-101

SHEET 1 OF 1

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Section VI. Item #1.





ATTACHMENT 9
PLAN REVIEW COMMENTS FOR COFA-01-25-019522

Section VI. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	Historic District	Apply Date:	01/03/2025
Plan Status:	Active	Plan Address:	15 Meriwether Court BLUFFTON, SC 29910
Case Manager:	Charlotte Moore	Plan PIN #:	R610 039 00A 0388 0000
Plan Description:	A request by BFL Builders, owner and applicant, for review of a Certificate of Appropriateness-Historic District to allow construction of a single-family residence of approximately 1,637 SF and a detached Carriage House of approximately 840 SF located at 15 Meriwether Court in the Landon Oaks Development (Parcel R610 039 00A 0388 000). The property is in Old Town Historic District and is zoned Neighborhood General-Historic District (NG-HD). STATUS (04.17.2025): Scheduled for May 5, 2025 HPRC meeting		

Staff Review (HD)

Submission #: 1 Received: 01/03/2025 Completed: 05/02/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	05/02/2025	Matthew Michaels	Approved with Conditions

Comments:
Comments may be provided at time of Final Plan submission.

HPRC Review	05/02/2025	Charlotte Moore	Approved with Conditions
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Comments:

- Overall, there are multiple window types and proportions. Consider using one to two types and make the windows more proportional with each other.
- All of the exposed rafters should match. It appears that breezeway, front porch, and garage brackets are different.
- The overhang for the garage bracket detail needs to be greater. Dimension that overhang, but it needs to be the same or greater than the house. Consider increasing the pitch of that roof as there is too much space between it and the second floor windows.
- Study the windows on front garage elevation; they look too small in that mass and are not proportional to the rest of the windows in that elevation.
- Study the windows on the second floor on the north elevation; they appear too far under the soffit.
- Study the windows on the south elevation; there are a lot of window types and too many head heights. There is also too much blank wall space on that elevation.
- In the west garage elevation, there is too much blank wall space. Suggest adding a window and repositioning the upper window to get it away from the roof.
- In the east side elevation, the window is too close to the roof; consider repositioning away from the roof.
- Wood blocking on exposed rafters against the house should be parallel to the wall.
- Change the soffit material on the typical wall section to match the brackets and the breezeway.
- Instead of wrapping the porch beams, consider making them heavy timber like the garage brackets and breezeway.
- Advise against using clips for rafter to beam details on the breezeway and garage brackets. Suggest using angle brackets or Simpson screws at these locations.

Watershed Management Review	05/02/2025	Samantha Crotty	Approved with Conditions
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Comments:

- Show location of adjacent drainage inlet between property and Thomas Heyward Street on plans.
- Recommendation to provide slope stability analysis at time of stormwater submittal.
- Show location of 30-foot drainage easement.

Comments:

1. Square Footage: Update the footprint for the main house and Carriage House, as well as the overall square footage (which is heated and unheated areas).
2. Porches: Porch height, as measured from grade to the top of stairs, is shown as 2'-2 1/2". UDO Sec. 5.15.6.E.5.c. requires 30" minimum. A sidewalk from the front porch stairs is usually required to extend to the property line, but this line is adjacent to common area. Should there be a sidewalk connection to the driveway, and a connection from the driveway to the breezeway?
3. Walls: Identify all wall materials on the Final Plan to ensure compliance with permitted wall materials (UDO Sec. 5.15.6.G.3.) Provide details for the "wood panel" and the trim on the East elevation.
4. Columns: Columns for the front porch and deck are shown to be "hollow" without an identified wrapping material. Show material on the Final Plan that complies with a material permitted by UDO Sec. 5.15.6.H.2.a. (termite resistant wood that is painted or natural, cast iron, concrete with smooth finish, brick, stone, tabby or steel). Provide details for the Carriage House stairwell posts. Note: Column base and trim cannot overhang the porch or stoop.
5. Balustrades: Provide balustrade details to show compliance with UDO Sec. 5.15.6.H.2.d. and 3.d. (i.e., material, the top rail must be a minimum of 2-3/4" and balusters spaced a 4"-5" o.c.). The HPC must approve the hog fence railing proposed for the front porch as an alternative material as it does comply with UDO Sec. 5.15.6.2.d. (termite resistant wood, painted or natural wrought iron or cast iron).
6. Windows: The use of four different types of windows with 10 different window pane proportions is proposed. Window pane proportions should be limited to a few similar proportions. The awning window underneath the single-hung window on the East elevation is awkward. The lack of alignment of some windows, as well as placement, is not typical of homes in Old Town, and the grouping of windows in the South elevation creates too much blank space. The West elevation of the Carriage House also appears too blank.
7. Doors: More information for all doors, including the breezeway and garage doors, is needed. Doors must comply with UDO Sec. 5.15.6.I.
8. Roof: The shed roof configuration may cause water to drain into a portion of the rear second floor wall.
9. Trim Details: Provide a typical wall section through the eave for both the main house and the Carriage House with trim details, configurations and dimensions. Some detailing is provided but is not complete. Corner board and water table trim details have not been provided, other than mention of Hardie material on the Project Analysis sheet. Include on the Final Plan to show compliance with UDO Sec. 5.15.6.N. Will a water table be provided for the Carriage House? Cornice, soffit and frieze details must comply with UDO Sec. 5.15.6.P.
10. Skirting: The use of pig-board is permitted, but material and placement to the pier must be provided on the Final Plan. Underpinning must be at least 1" behind the face of the pier per UDO Sec. 5.15.6.).1. Also, information is needed for the vertical skirting for the breezeway porch rear elevation.
11. Breezeway: Provide the Front elevation for the breezeway as details are difficult to see with the views provided. Include stair details.
12. Service Yard: There is only one service yard shown (rear of the Carriage House). Is this intended to serve the main residence, as well? The rear garage door may impede the usefulness of the space. If the door is to remain, it should be aligned with the second-story door. Service yards must be screened per UDO Sec. 5.15.5.F.9. and shown on the Final Plan. Electric meters must also be screened from public view.
13. Landscape Plan: Provide an updated Landscape Plan showing the main house and Carriage House, noting required foundation plantings (UDO Sec. 5.3.7.E.) that includes a planting area of at least eight feet along the Front elevation, and 75% tree canopy coverage at maturity of all trees (UDO Sec. 5.3.3.G.1.). If sidewalks/pathways are to be added, they must also be shown. A Tree Removal Permit is required for trees that are 14" or more in diameter at breast height.
14. Final Plan Submission: For the Final Plan, all required Final Plan items must be completed and provided the COFA application. Applicable materials, dimensions and details must be provided and shown on the Final Plan Additionally, provide a response to the HPRC comments. Failure to provide complete items could delay scheduling the Final Plan for HPC review.
15. For Information: During a staff meeting, it was noted that a material staging area and related activities (parking, dumpster, port-o-lets, etc) would need to be demonstrated prior to receiving a building permit.

Transportation Department
Review - HD

01/07/2025

Mark Maxwell

Approved

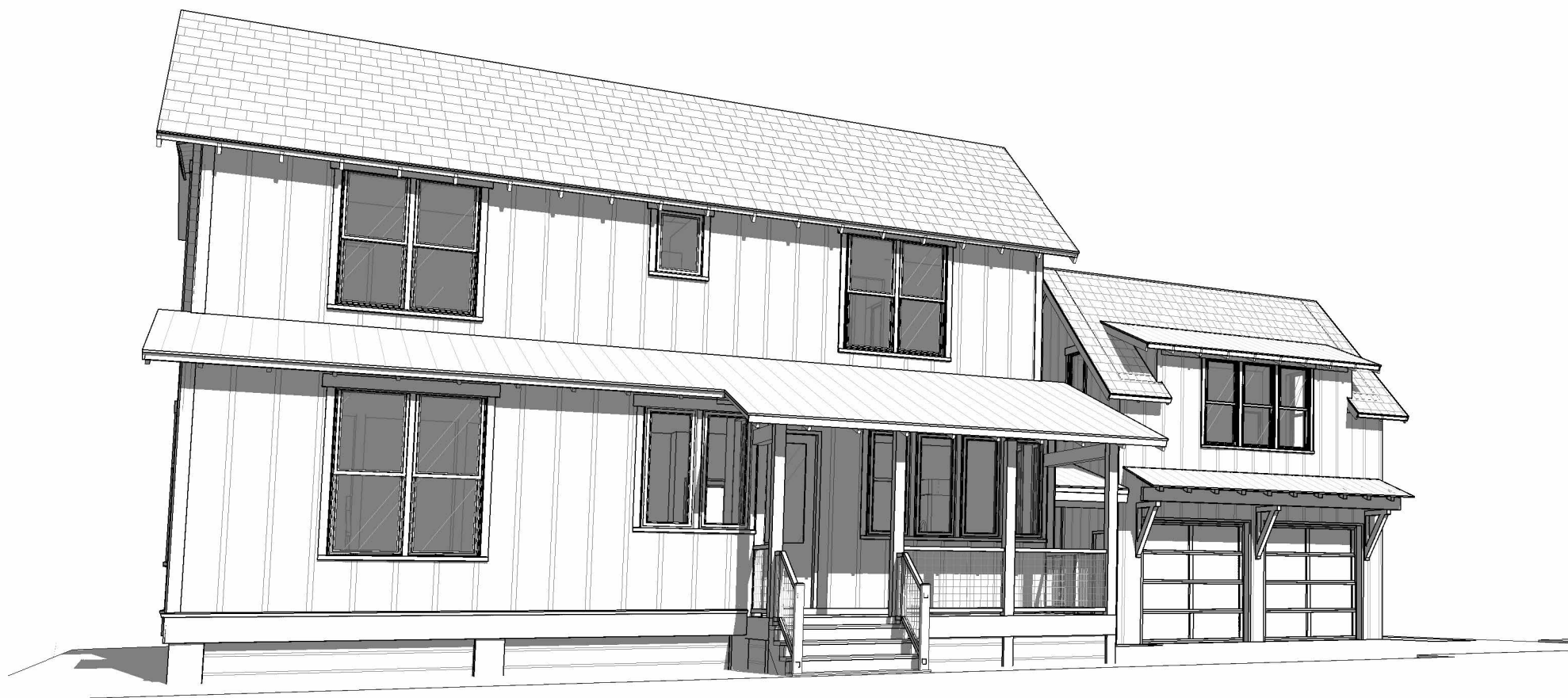
Comments:

No comments

Plan Review Case Notes:

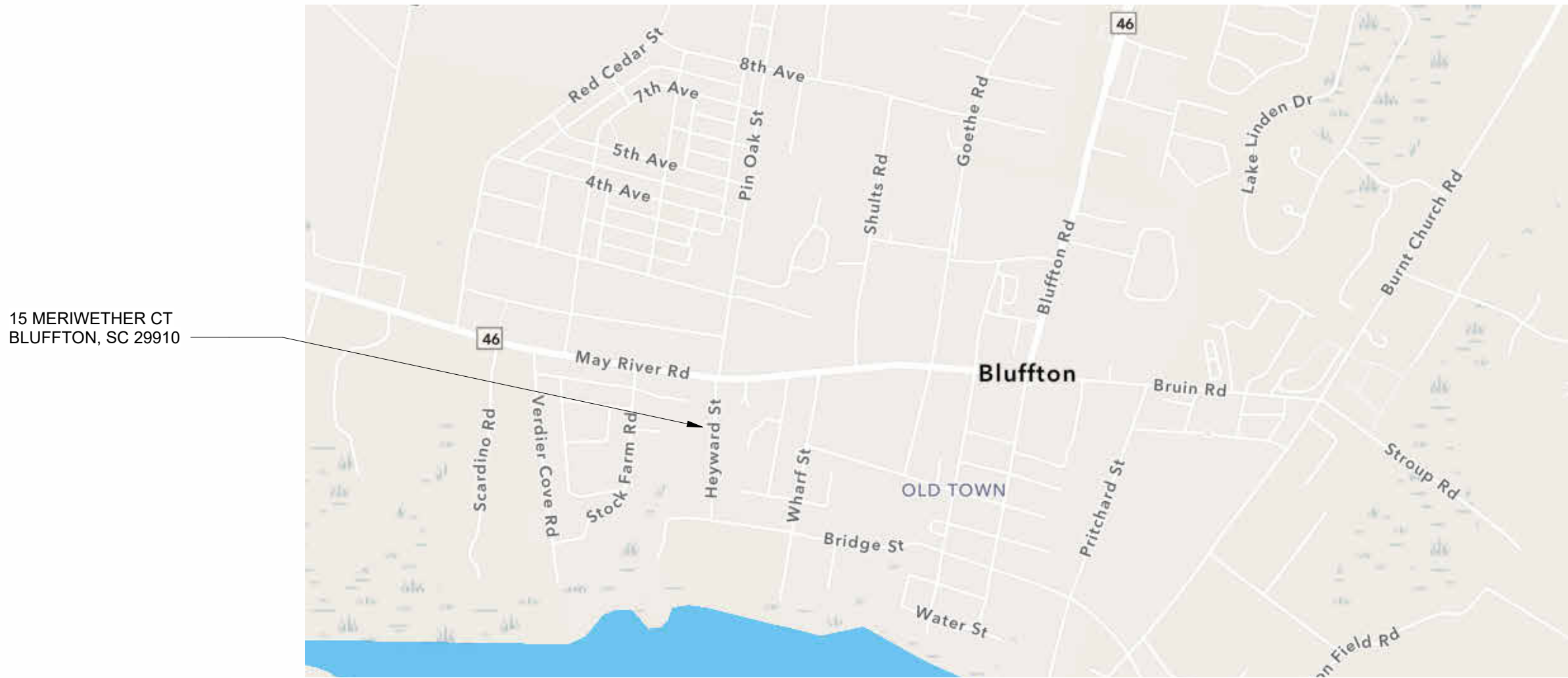
PROJECT IMAGES

NOTE: THESE IMAGES AND IMAGES CONTAINED HEREIN ARE AN ARTIST'S REPRESENTATION INTENDED FOR VISUALIZATION ONLY AND MAY NOT DEPICT ALL CONDITIONS ACCURATELY. REFER TO DRAWINGS FOR ACCURATE DESIGN.



FRONT VIEW

VICINITY MAP (N.T.S.)



SHEET INDEX

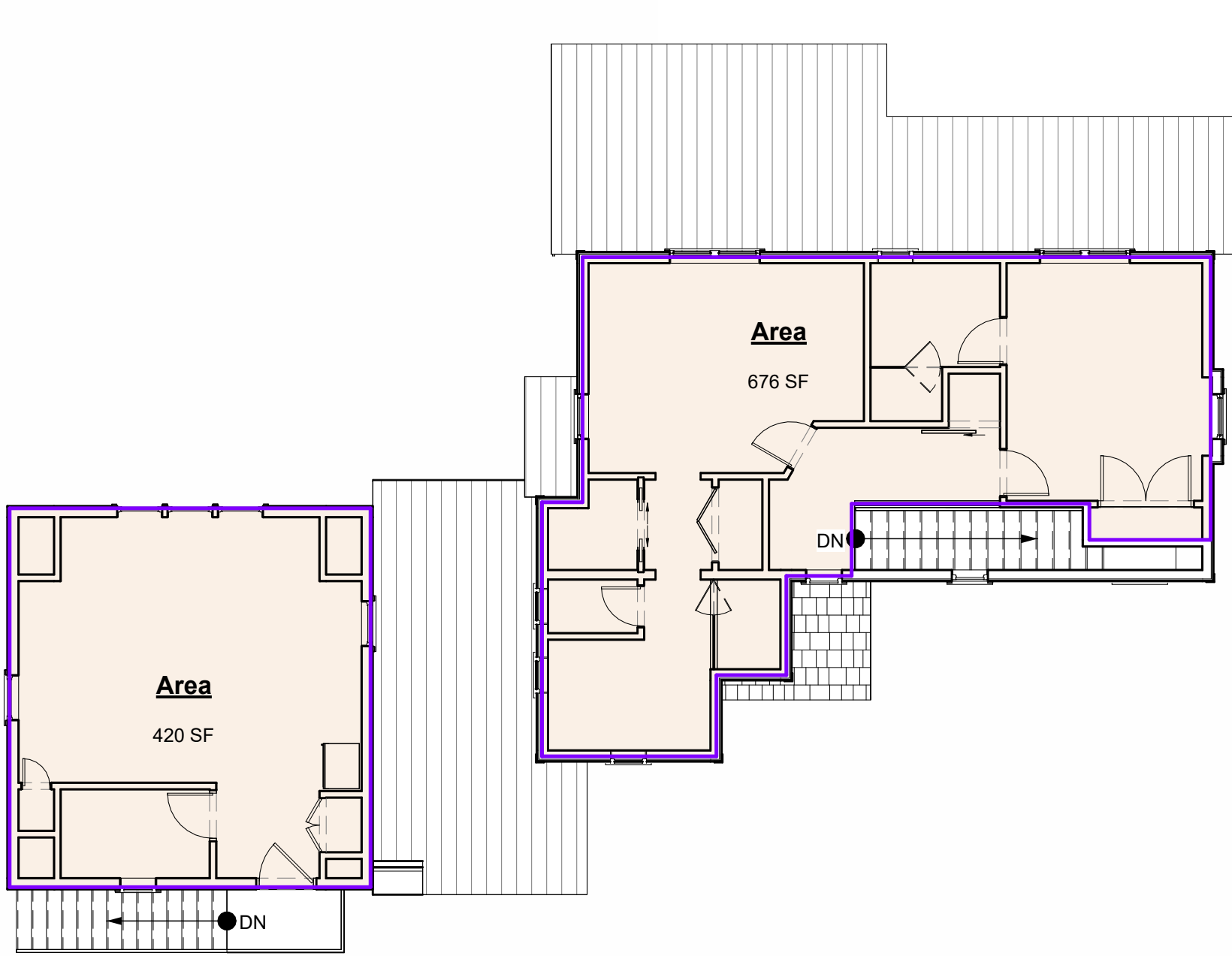
A0.1	COVER
A1.1	SITE PLAN
A2.0	FOUNDATION PLAN
A2.1	FLOOR PLANS
A2.2	GARAGE PLANS
A2.3	ROOF LEVEL PLAN
A3.1	REFLECTED CEILING PLANS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS - GARAGE
A5.1	BUILDING SECTIONS
A5.2	BUILDING SECTIONS
A6.1	WALL SECTIONS
A6.4	STAIR SHEET
A7.4	DETAILS
A8.1	SCHEDULES

PROJECT INFORMATION

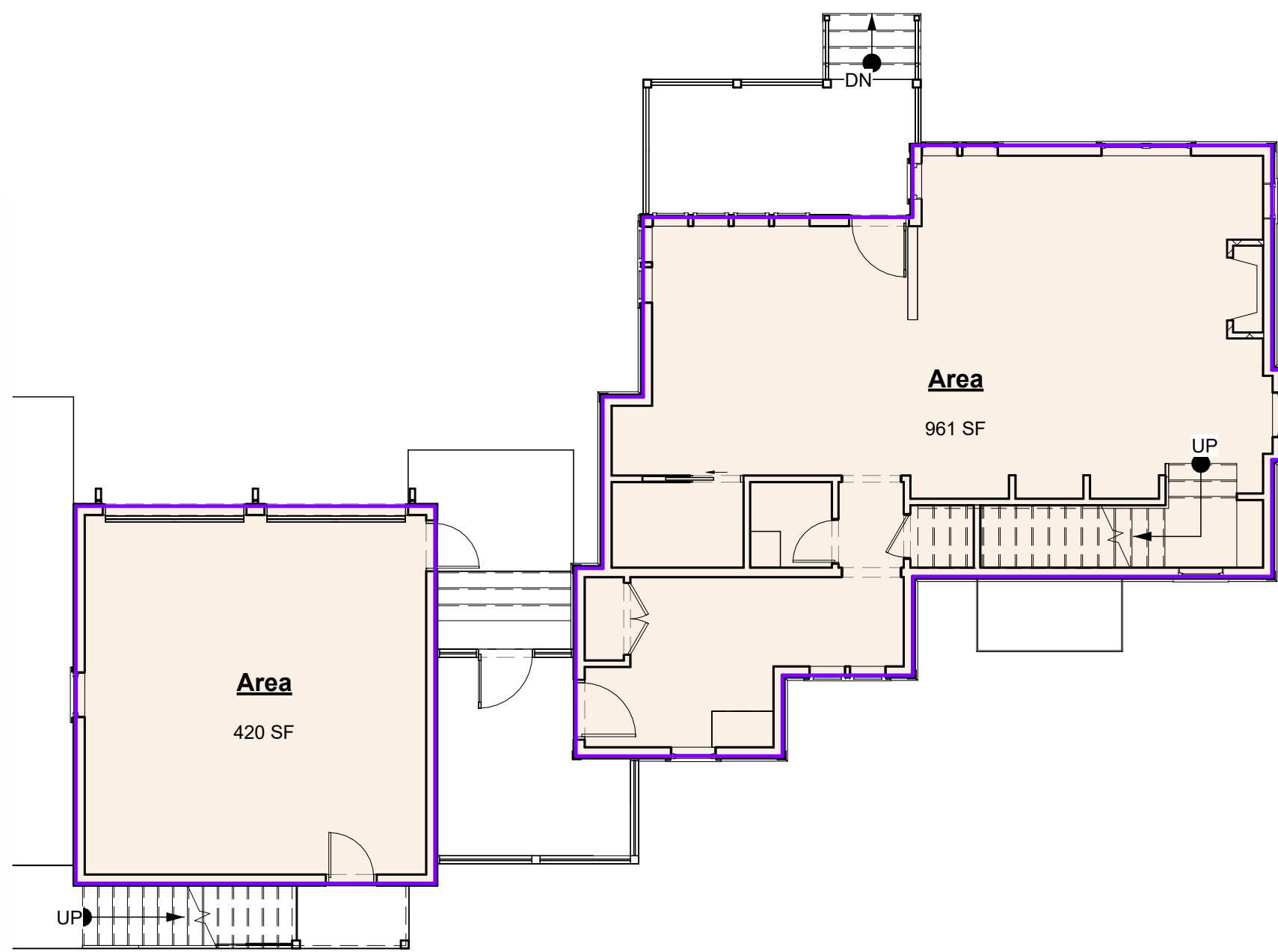
PROJECT:	15 MERIWETHER CT BLUFFTON, SC 29910
PARCEL ID:	R610 039 00A 0388 0000
PERMIT #:	PENDING
LEGAL DESCRIPTION:	LOT 1 TOWN OF BLUFFTON PB150 PG74 PB151 PG155~ AC CHANGE PB157 PG93 PB158 PG178
LOT SIZE:	0.1740 ACRES ±

FLOOR AREA CALCULATIONS			
PROPOSED AREA CONSTRAINTS			
LEVEL 1 AREA (SF)	961		
LEVEL 2 AREA (SF)	676		
UPPER LEVEL RATIO	70%		(676 / 961)*100

CONDITIONED AREA CALCULATIONS			
	HEATED	UNHEATED	
LEVEL 1 AREA (SF)	961	420	
LEVEL 2 AREA (SF)	1,096		
TOTAL AREA (SF)	2,057	420	



2
A0.1
LEVEL 2 AREA PLAN
SCALE: 1/8" = 1'-0"



3
A0.1
LEVEL 1 AREA PLAN
SCALE: 1/8" = 1'-0"



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LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

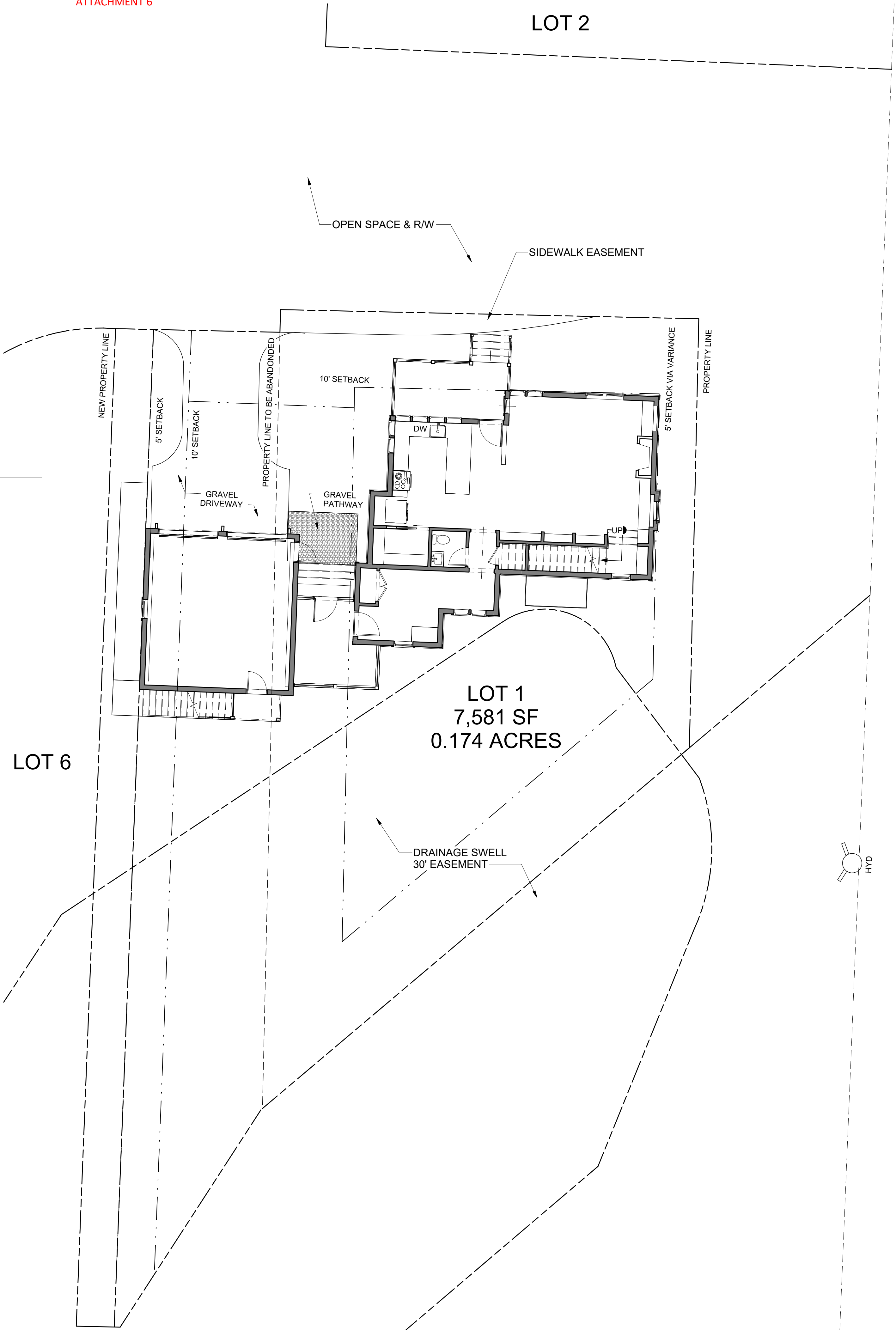
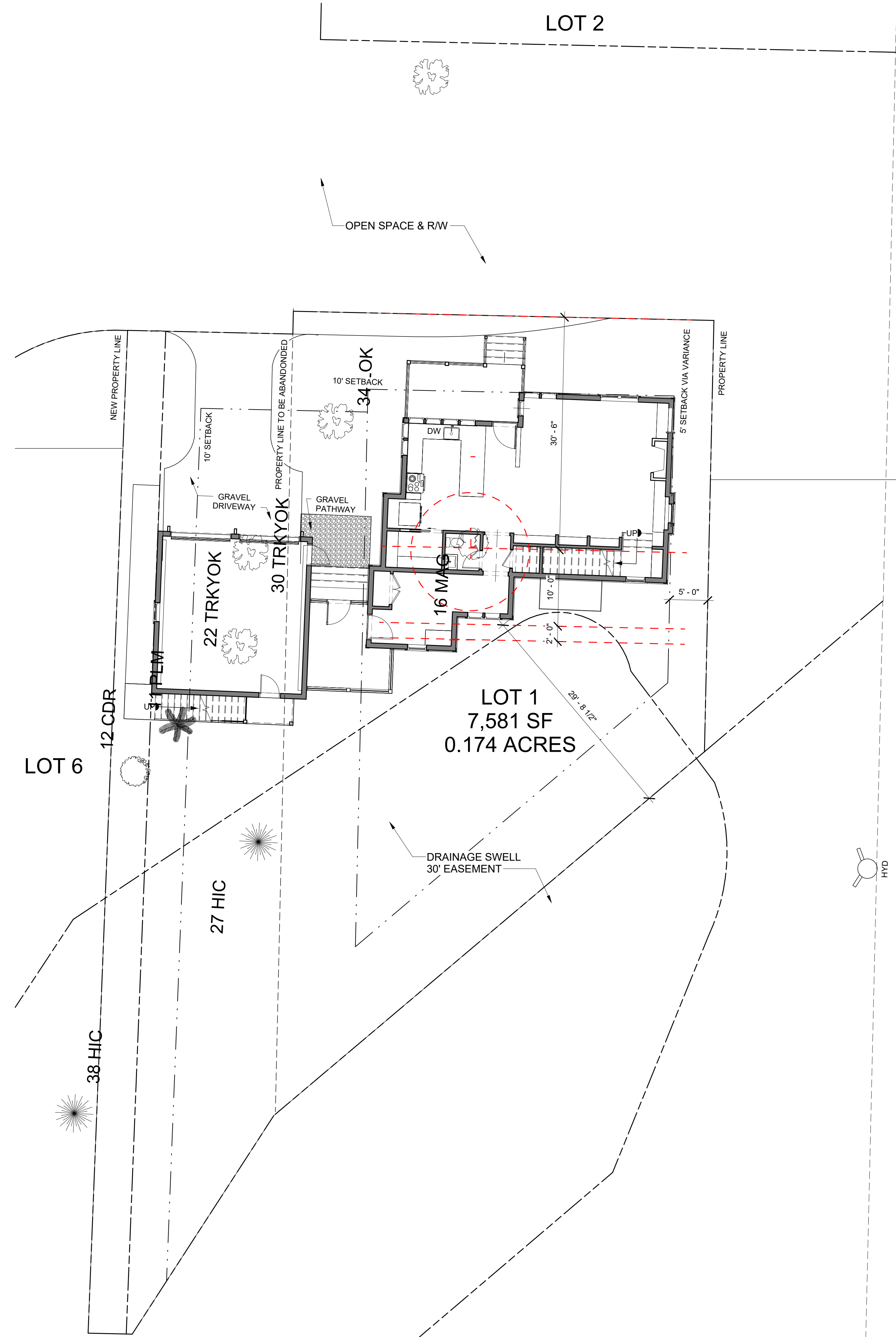
PROJECT NO:
23015.00

SHEET TITLE:
COVER

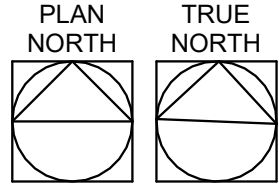
SCALE: As indicated

A0.1

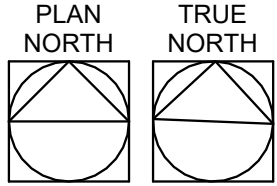
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2 SITE PLAN TREE LOCATION
A1.1 SCALE: 1/8" = 1'-0"



1 SITE PLAN
A1.1 SCALE: 1/8" = 1'-0"



Section VI, Item #1.

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15 MERIWETHER CT
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SHEET TITLE:
SITE PLAN

SCALE: 1/8" = 1'-0"

A1.1

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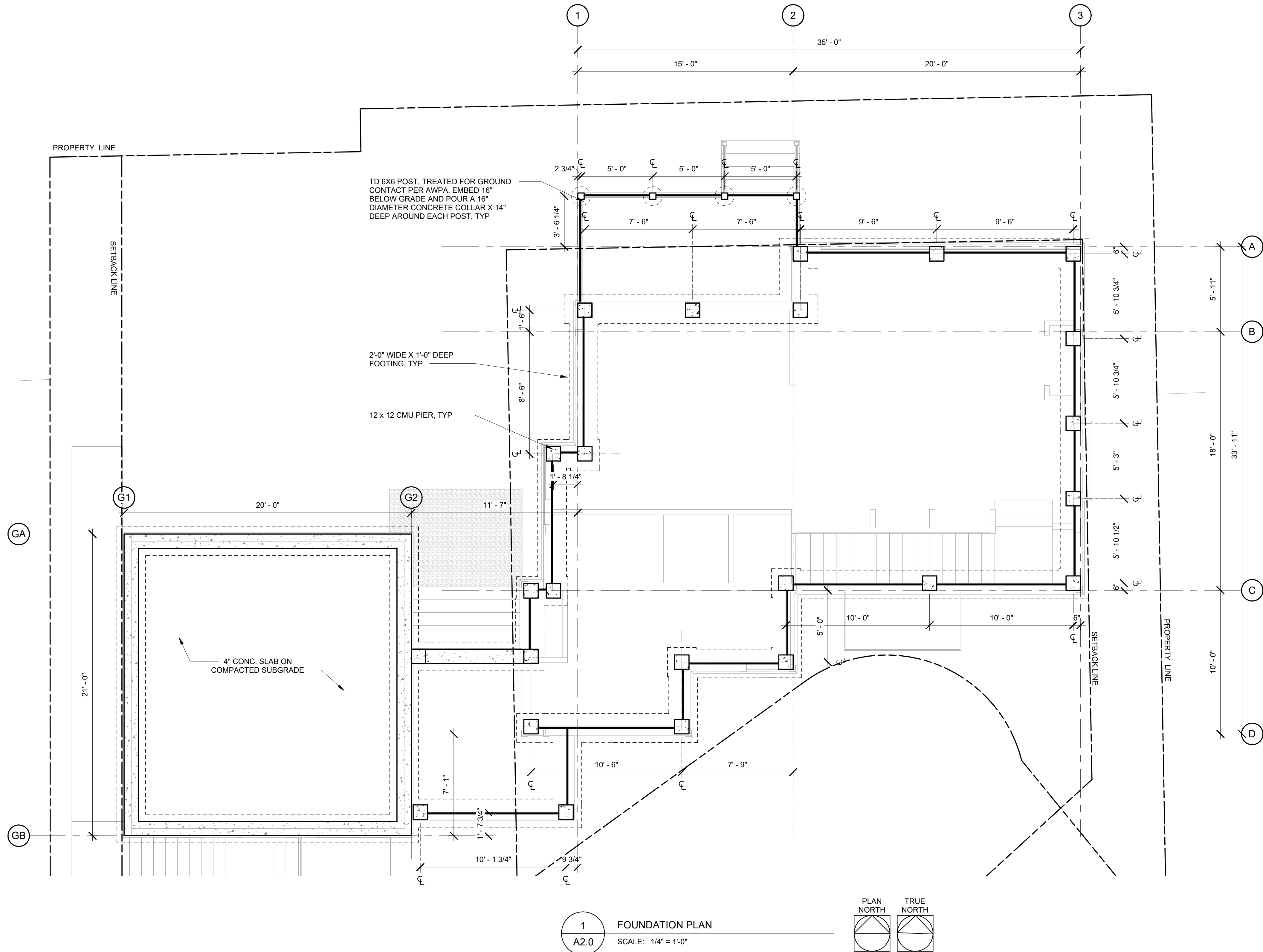
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15 MERIWETHER CT
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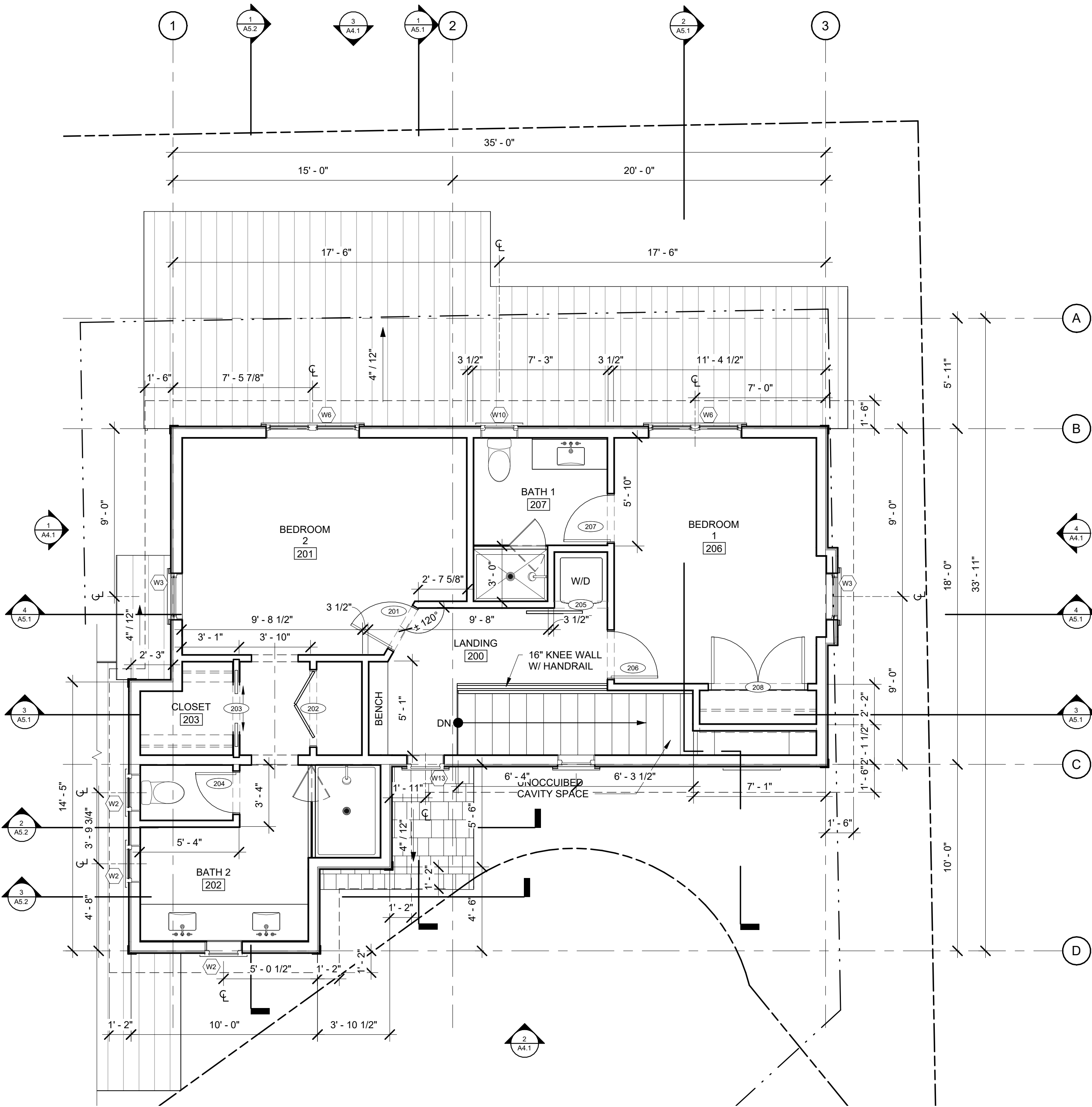
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

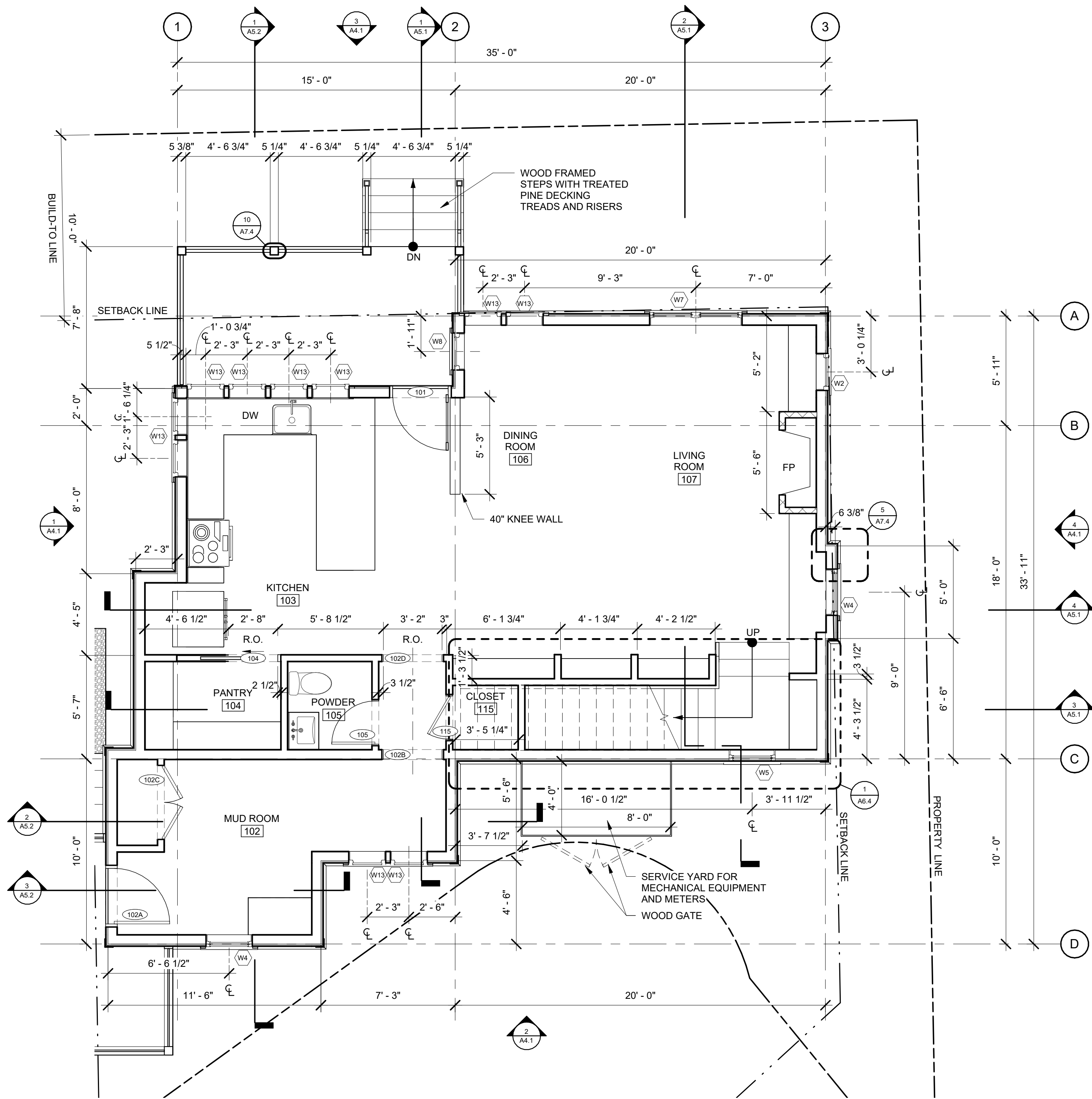
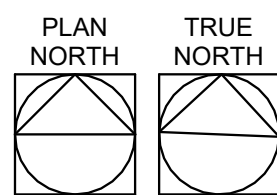
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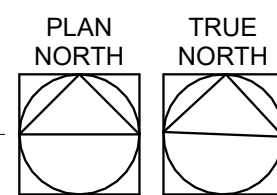
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2 LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



**LANDEN OAK - LOT 1
TURNER'S FISH CAMP**

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
FLOOR PLANS

SCALE: 1/4" = 1'-0"

A2.1

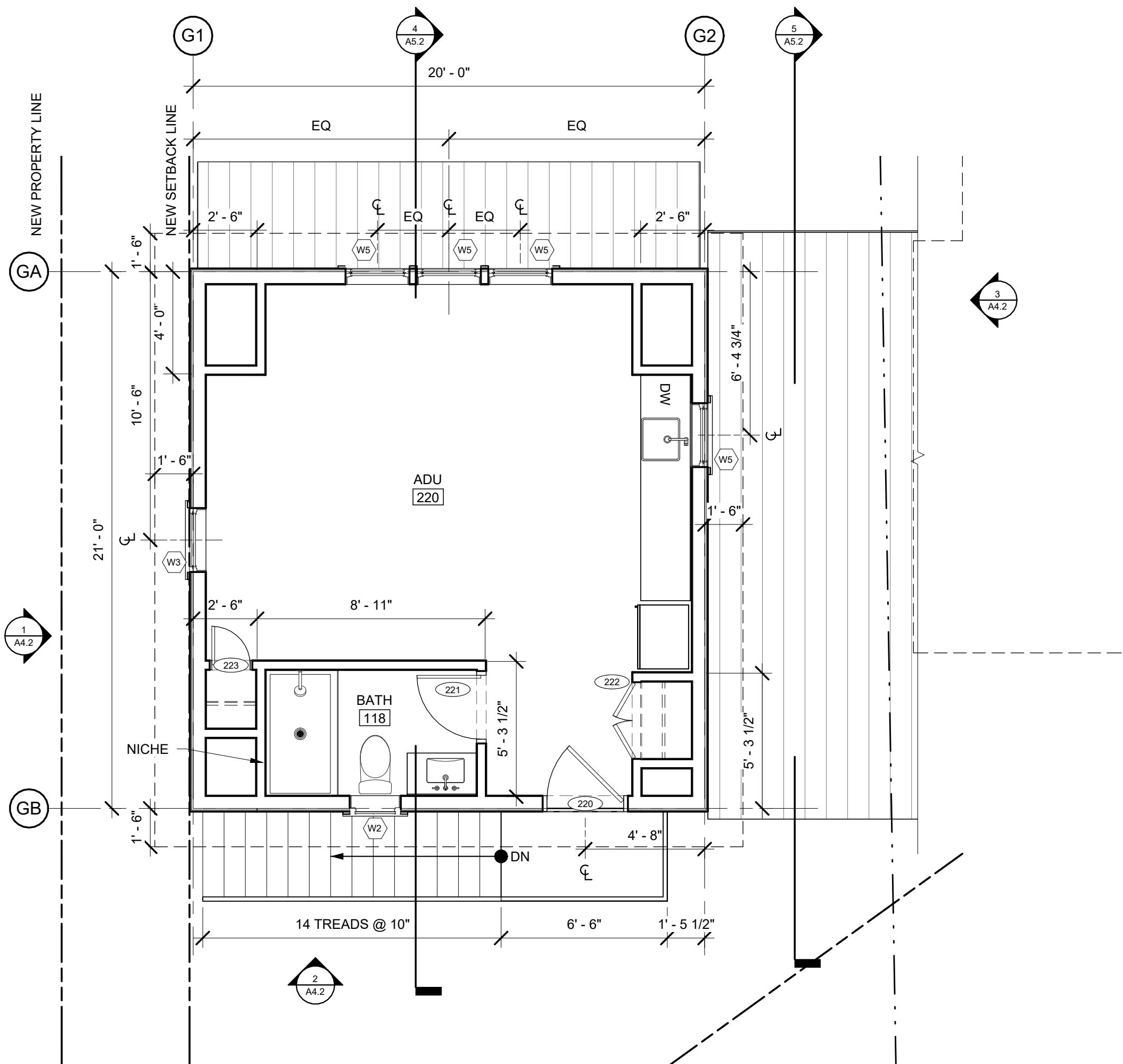
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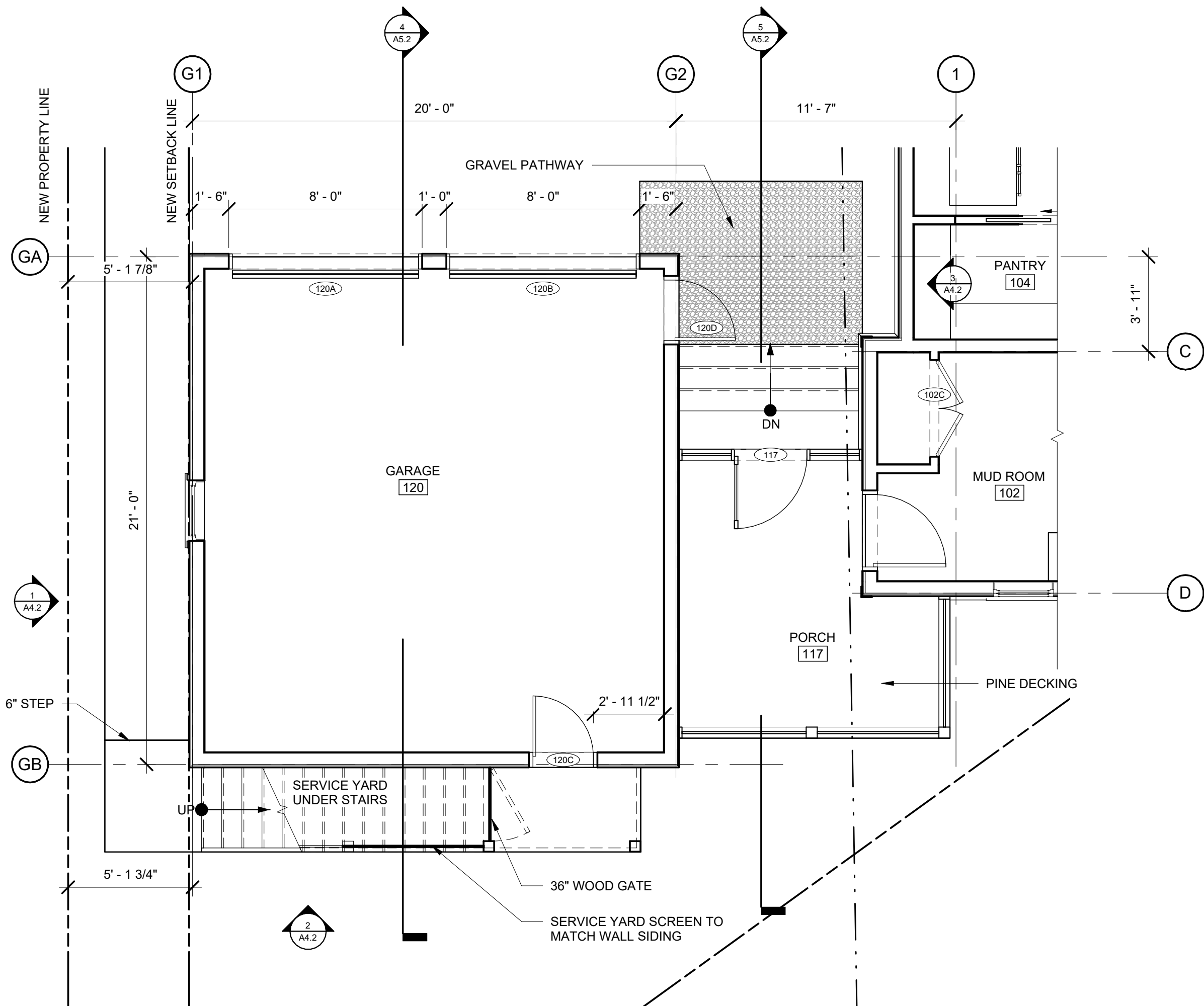
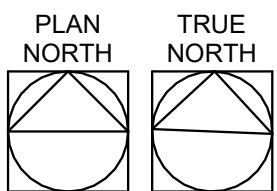
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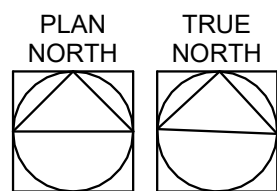
3 FULL ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



2 GARAGE LEVEL 2
A2.2 SCALE: 1/4" = 1'-0"



1 GARAGE LEVEL 1
A2.2 SCALE: 1/4" = 1'-0"



LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910



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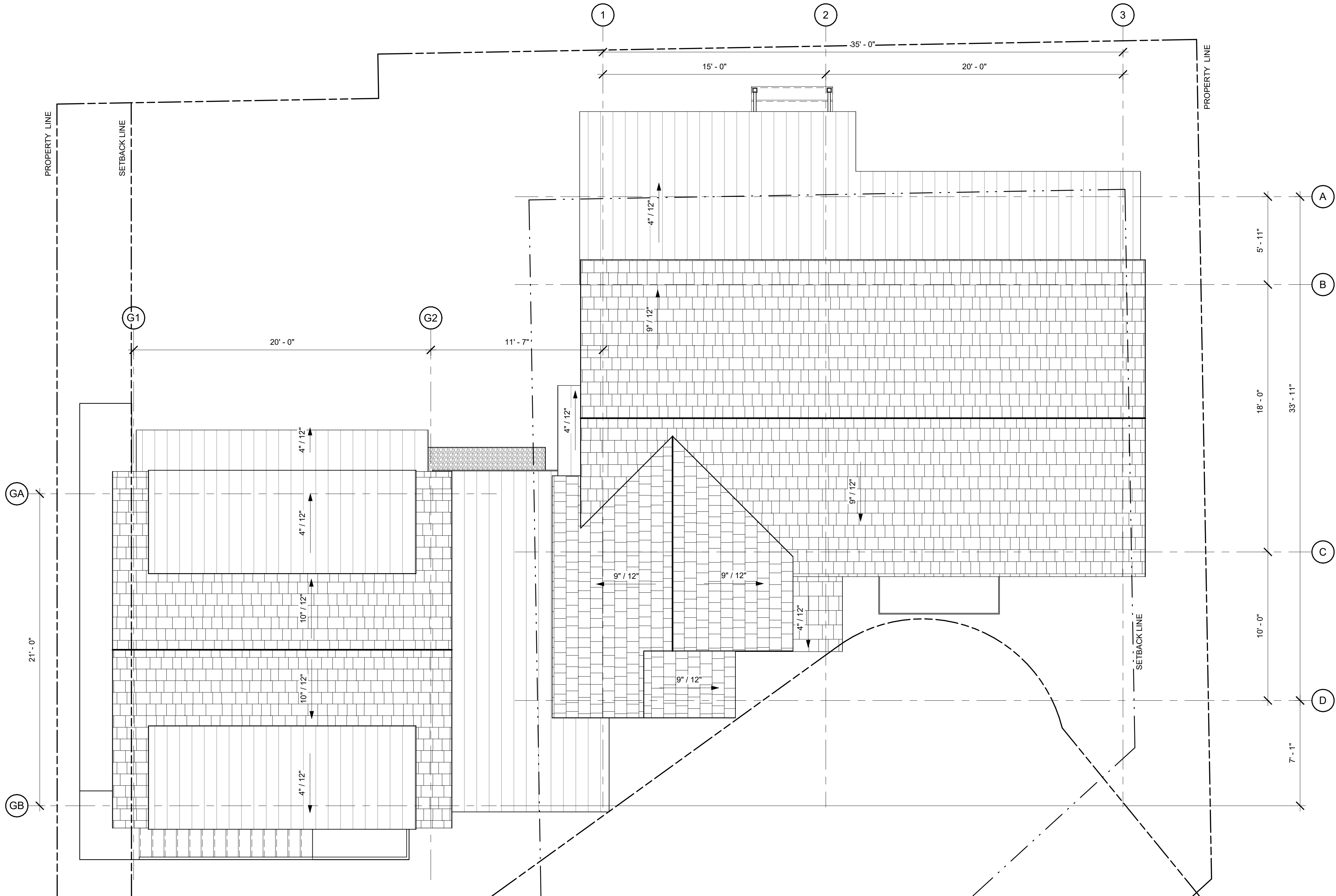
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GARAGE PLANS

SCALE: 1/4" = 1'-0"

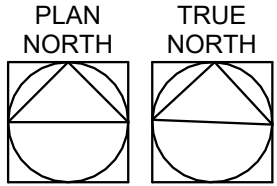
A2.2

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ROOFING MATERIAL SCHEDULE:	
	MTL-01: METAL ROOF
	R-01: SHINGLE ROOF



1
A2.3
ROOF LEVEL PLAN
SCALE: 1/4" = 1'-0"



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TURNER'S FISH CAMP

15 MERIWETHER CT
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SHEET TITLE:
ROOF LEVEL PLAN

SCALE: 1/4" = 1'-0"

A2.3

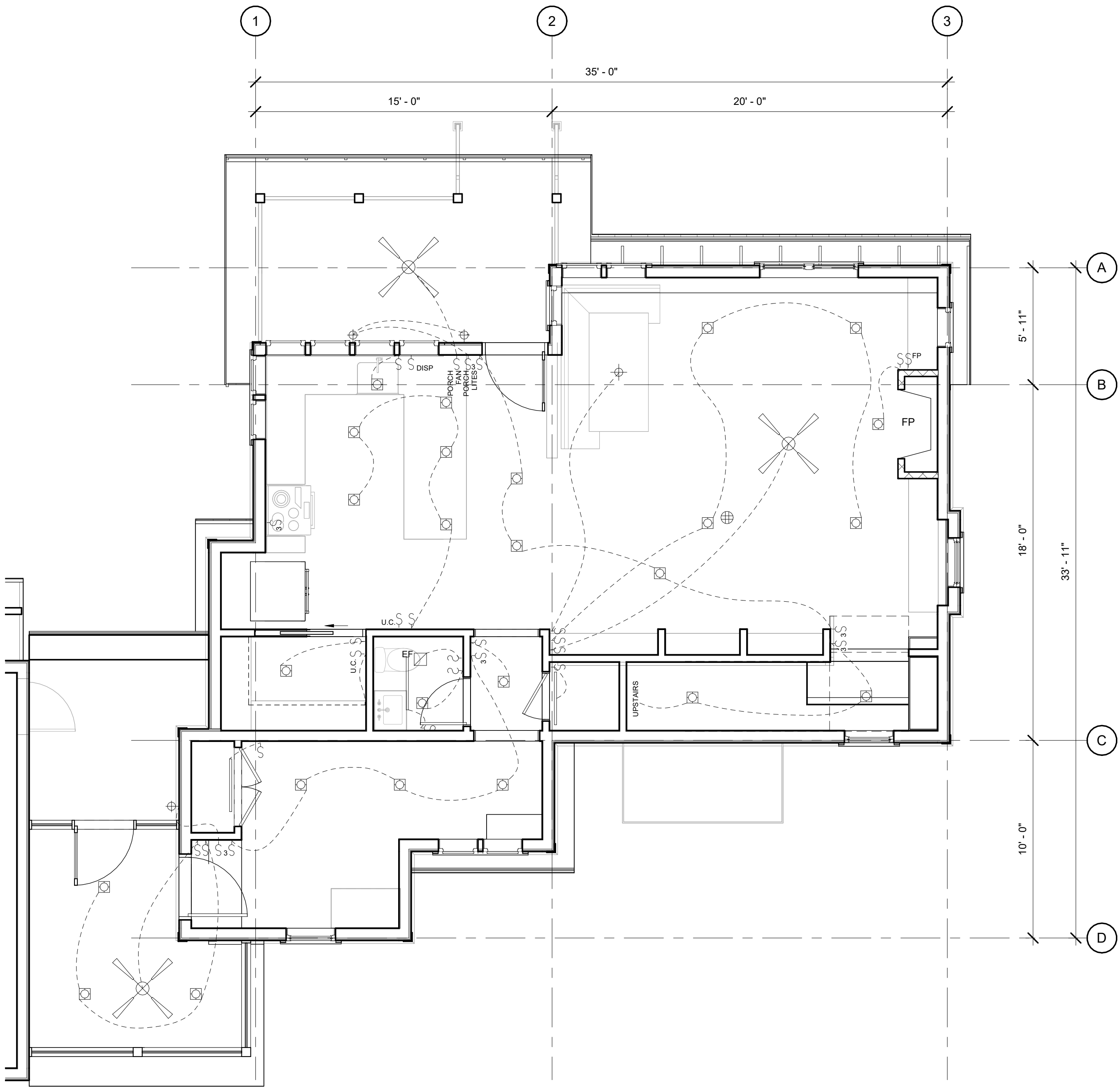
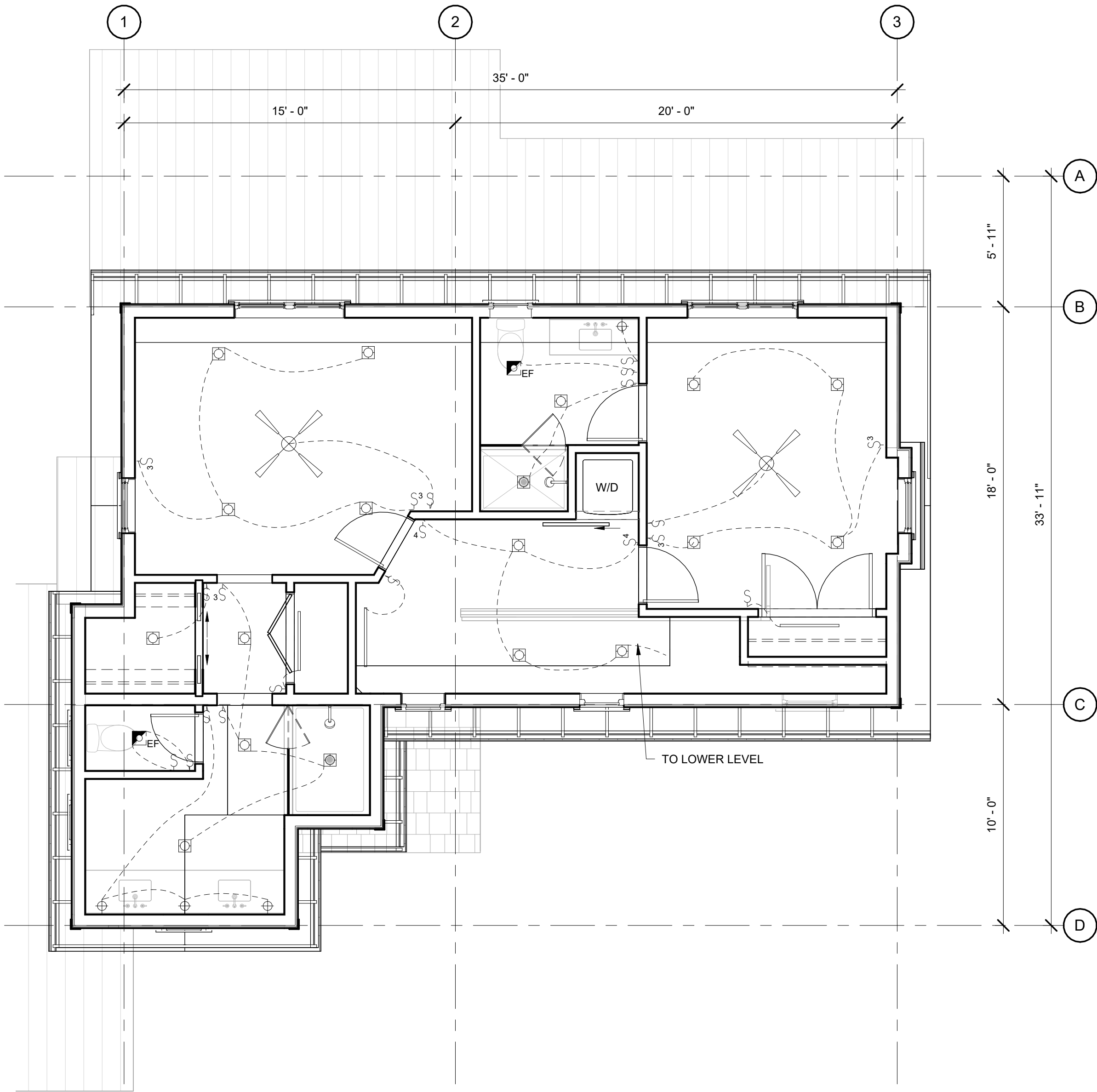
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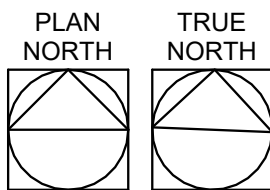
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LEGEND

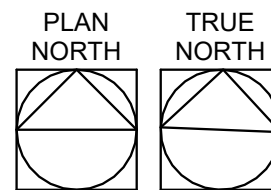
- B.O. CEILING
X'-X'
- INDICATES
DOWNWARD
SLOPE
- PENDANT (FL.
STRIP OR LED)
- WALL MOUNT (FL.
STRIP OR LED)
- SURFACE MOUNT
(FL. STRIP OR LED)
- UC UNDER CABINET
- PENDANT
- PENDANT -
DIRECTIONAL
- SURFACE MOUNTED
- SURFACE MOUNT -
DIRECTIONAL
- RECESSED
STEP/WALL LIGHT
- RECESSED
- RECESSED -
WALL WASH
- RECESSED -
DIRECTIONAL
- SCONCE
- JUNCTION BOX
- SMOKE/CARBON
MONOXIDE
DETECTOR
- CEILING FAN
- THERMOSTAT
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST FAN
- ELECTRICAL SWITCH
(X = 2-WAY, 3-WAY, ETC.)
- ELECTRICAL SWITCH -
DIMMABLE
- ELECTRICAL SWITCH -
FIREPLACE
- ELECTRICAL SWITCH -
JAMB SWITCH
- ELECTRICAL SWITCH -
MOTION SENSOR
- WALL POWER OUTLET
UC = UNDERCABINET;
C= MOUNT TO CABINET;
TV = TV HEIGHT
- FLOOR POWER OUTLET
(X = 4-PLEX IF
APPLICABLE)
- CEILING POWER GFI
OUTLET
- PHONE/DATA OUTLET
- SPRINKLER HEAD
- ELECTRICAL PANEL
- SPEAKER



2
A3.1 LEVEL 2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1
A3.1 LEVEL 1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

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SHEET TITLE:
REFLECTED CEILING
PLANS

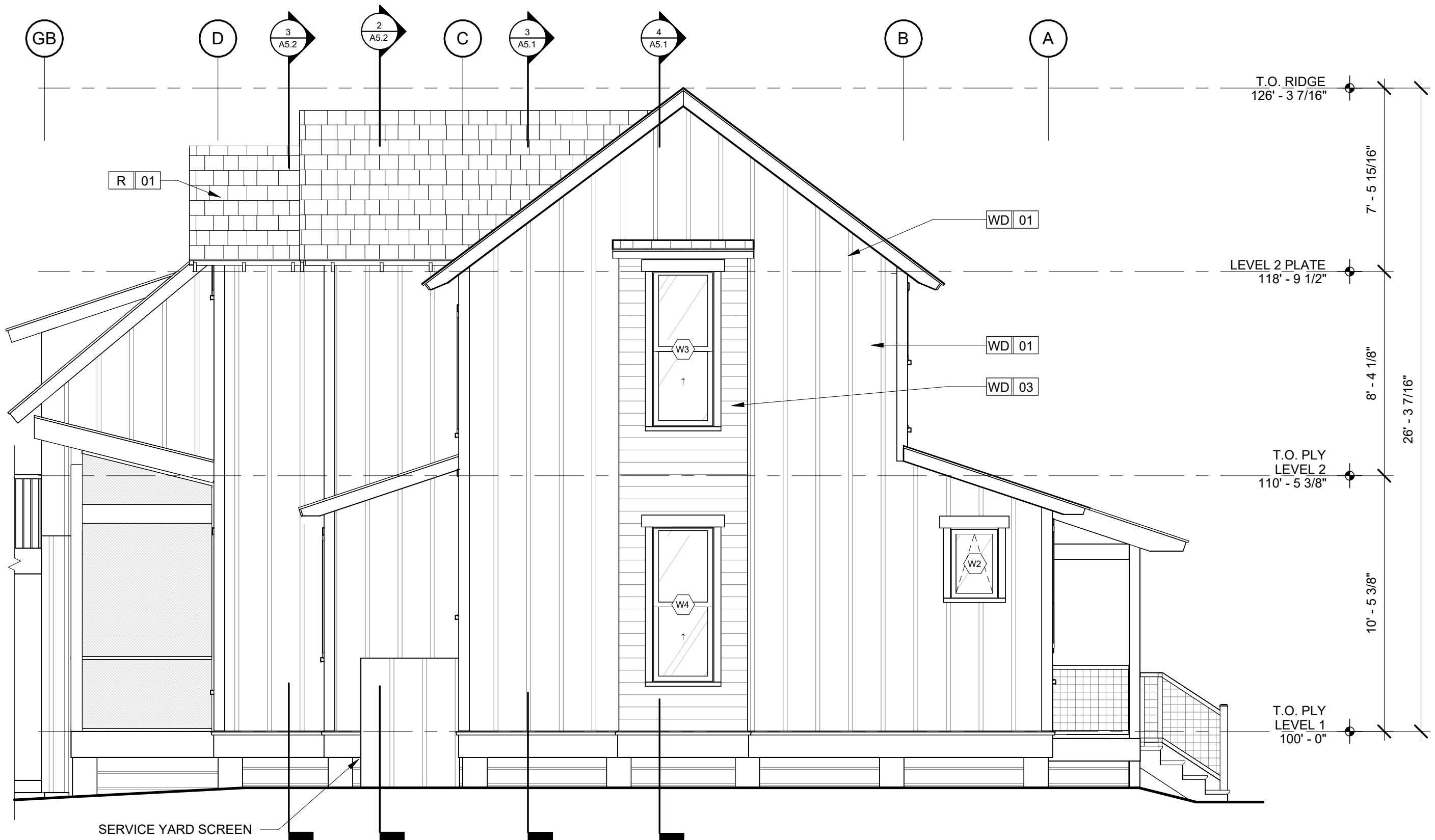
SCALE: 1/4" = 1'-0"

A3.1

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NOTE:
WATER TABLE IS 5/4X 10
WITH RIP PT 2X CAP

EXTERIOR MATERIAL SCHEDULE:
WD-01: BOARD AND BATTEN SIDING
WD-02: VERTICAL SIDING
WD-03: HORIZONTAL SIDING
WD-04: HORIZONTAL LOUVERS WITH 1" GAP
MTL-01: METAL ROOF - 5V CRIMP
R-01: SHINGLE ROOF - 30-YEAR ARCHITECTURAL



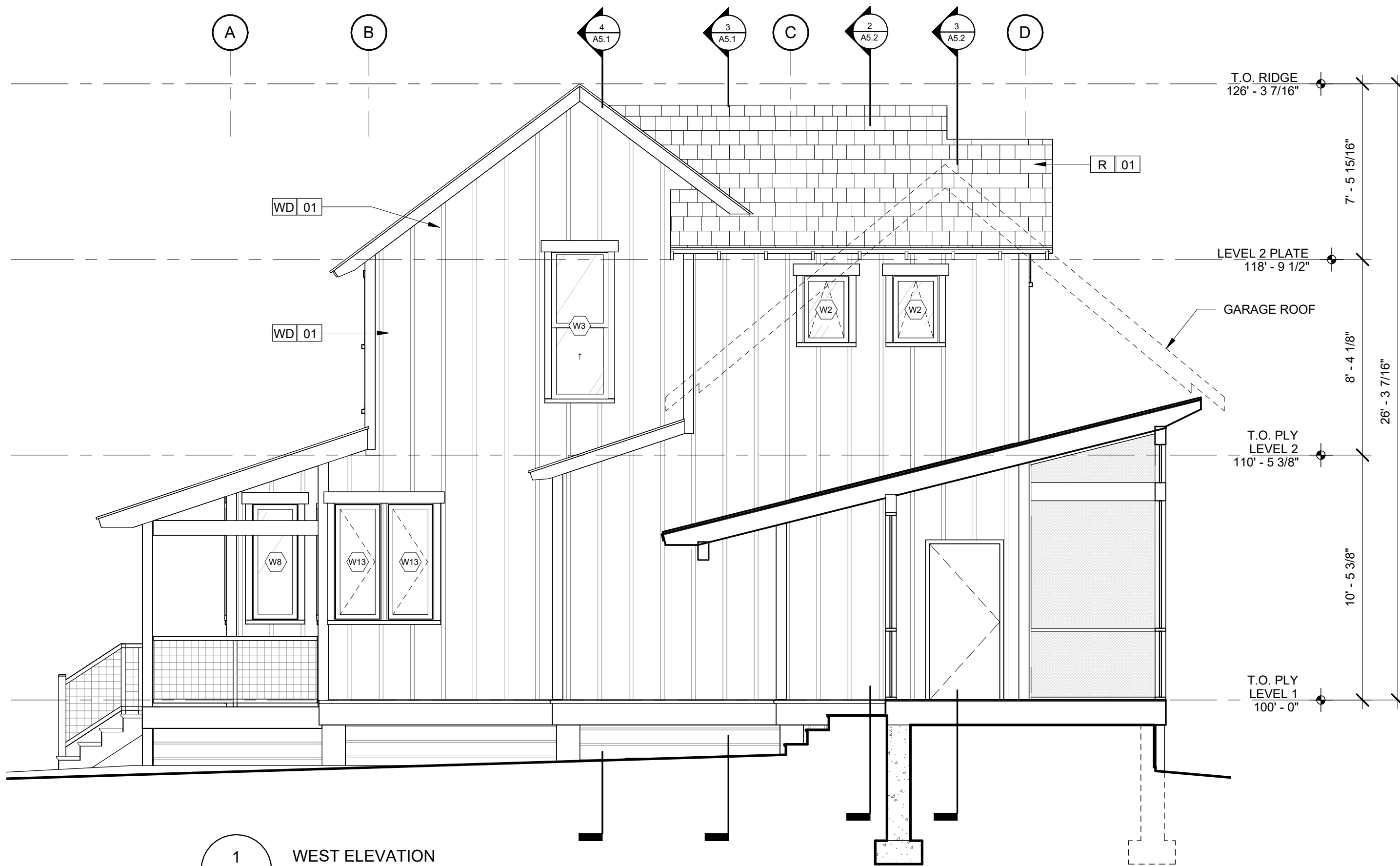
4 EAST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"

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LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

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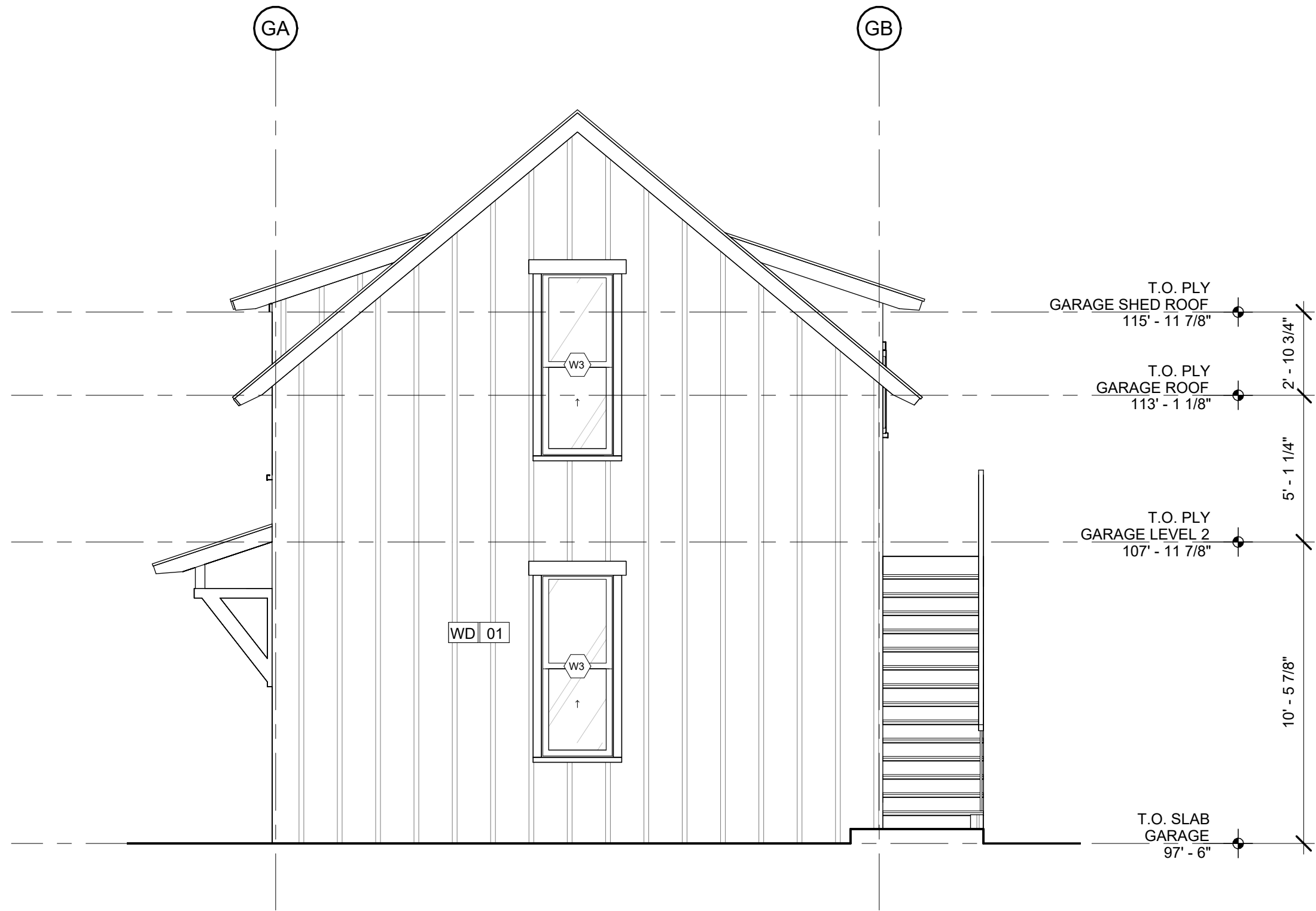
SHEET TITLE:
EXTERIOR
ELEVATIONS

SCALE: 1/4" = 1'-0"

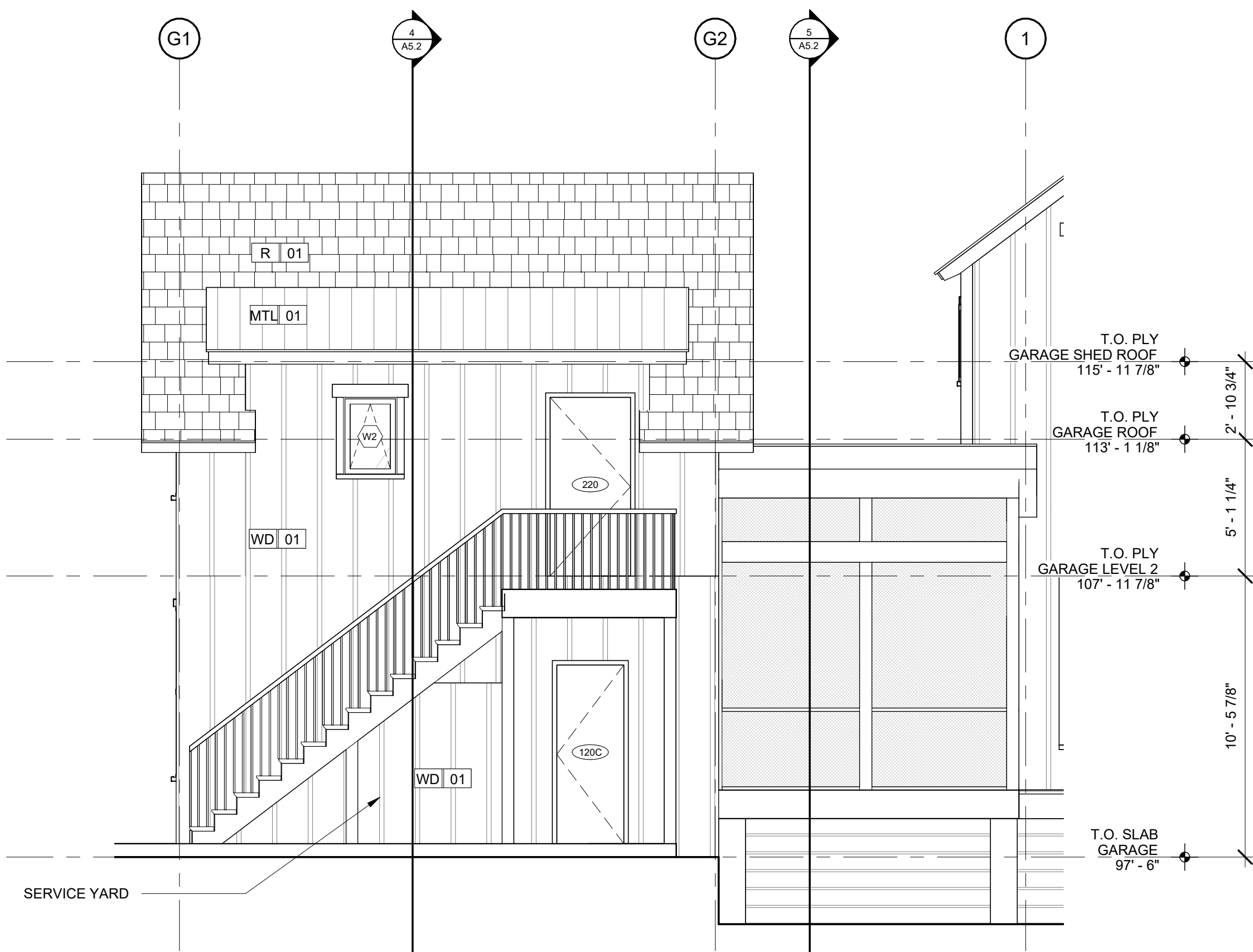
A4.1

NOTE:
WATER TABLE IS 5/4X 10
WITH RIP PT 2X CAP

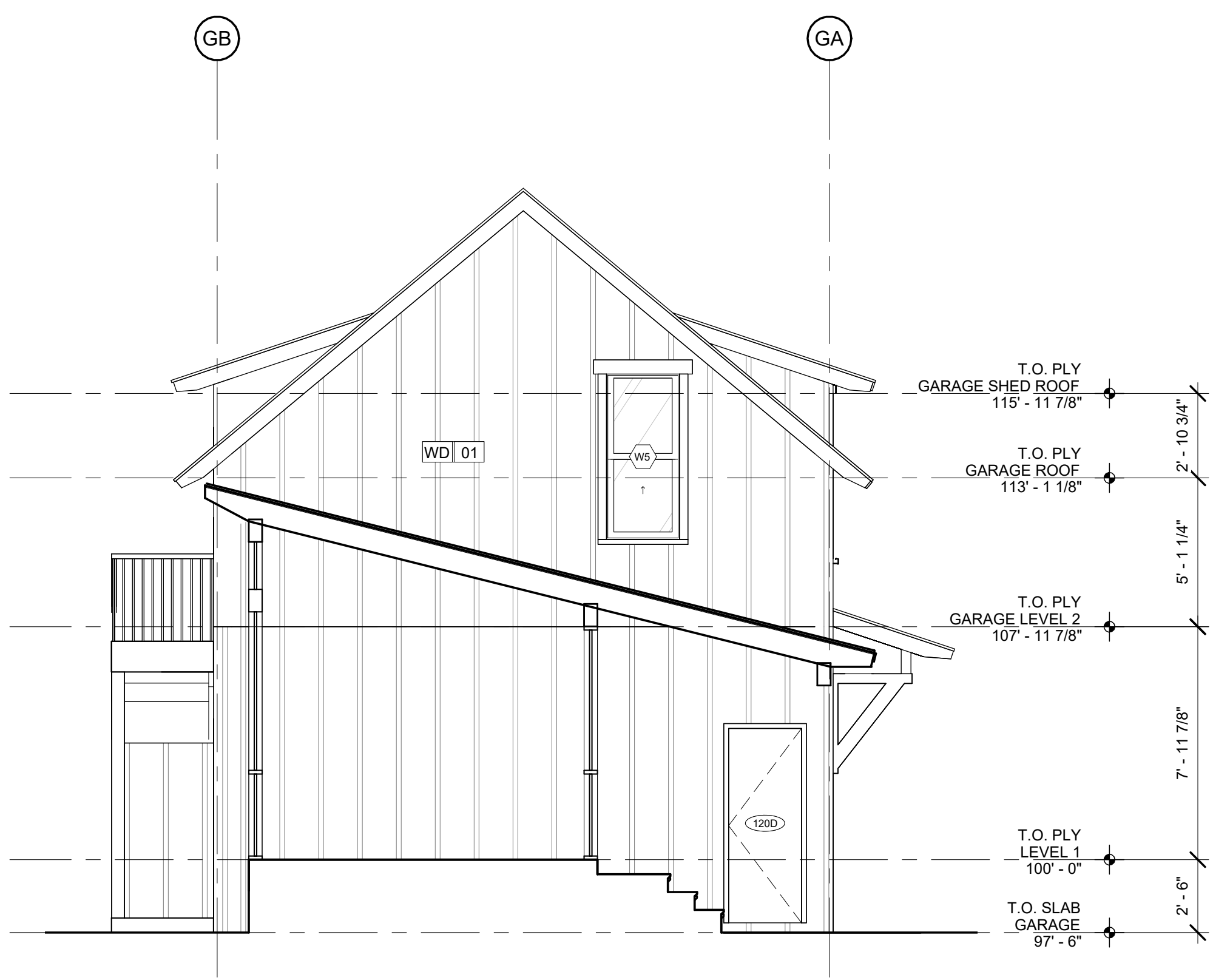
EXTERIOR MATERIAL SCHEDULE:
WD-01: BOARD AND BATTEN SIDING
WD-02: VERTICAL SIDING
WD-03: HORIZONTAL SIDING
WD-04: HORIZONTAL LOUVERS WITH 1" GAP
MTL-01: METAL ROOF - 5V CRIMP
R-01: SHINGLE ROOF - 30-YEAR ARCHITECTURAL



1 WEST ELEVATION - GARAGE
A4.2 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - GARAGE
A4.2 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION - GARAGE
A4.2 SCALE: 1/4" = 1'-0"

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TURNER'S FISH CAMP

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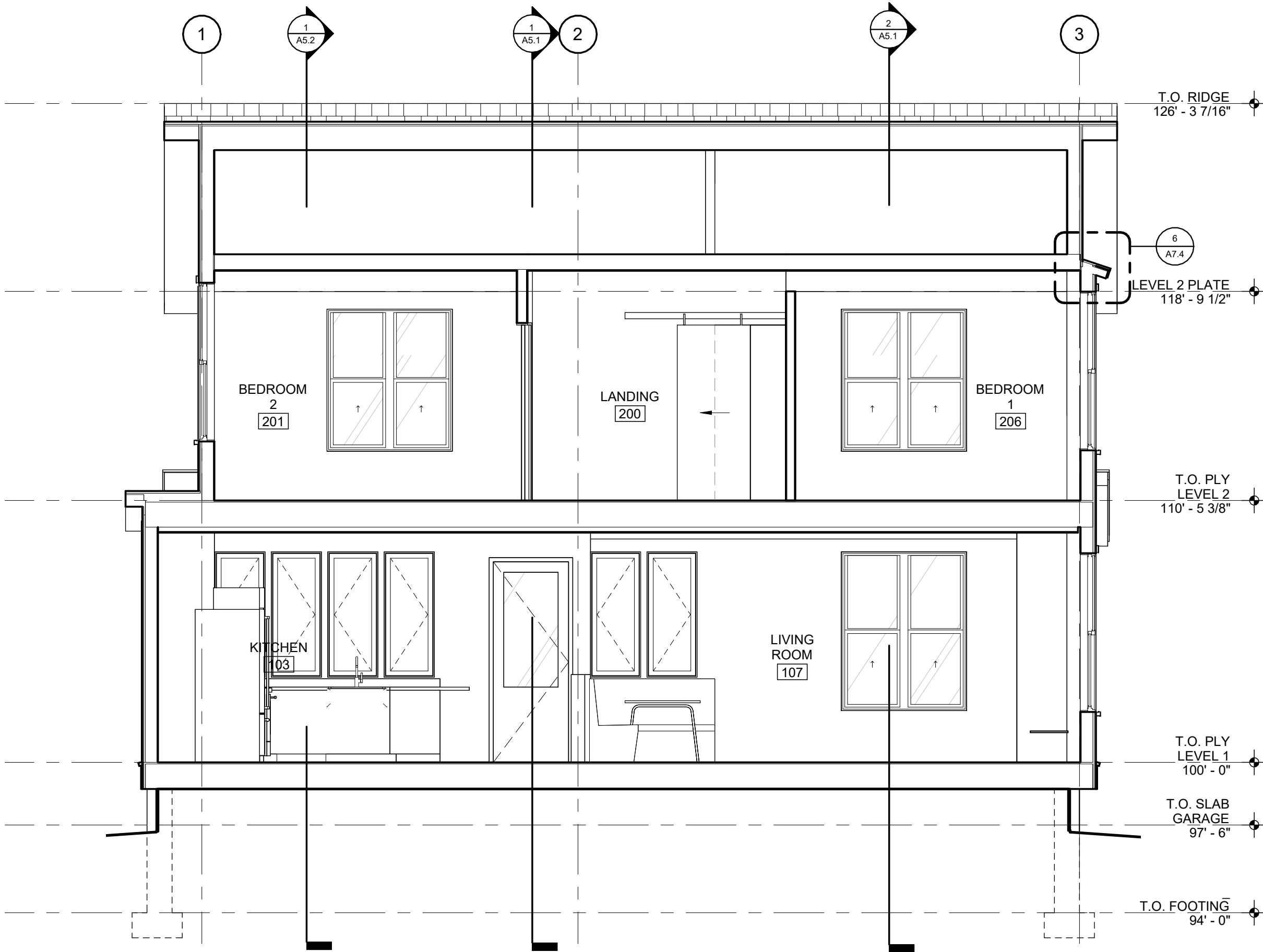
SHEET TITLE:
EXTERIOR
ELEVATIONS -
GARAGE
SCALE: 1/4" = 1'-0"

A4.2

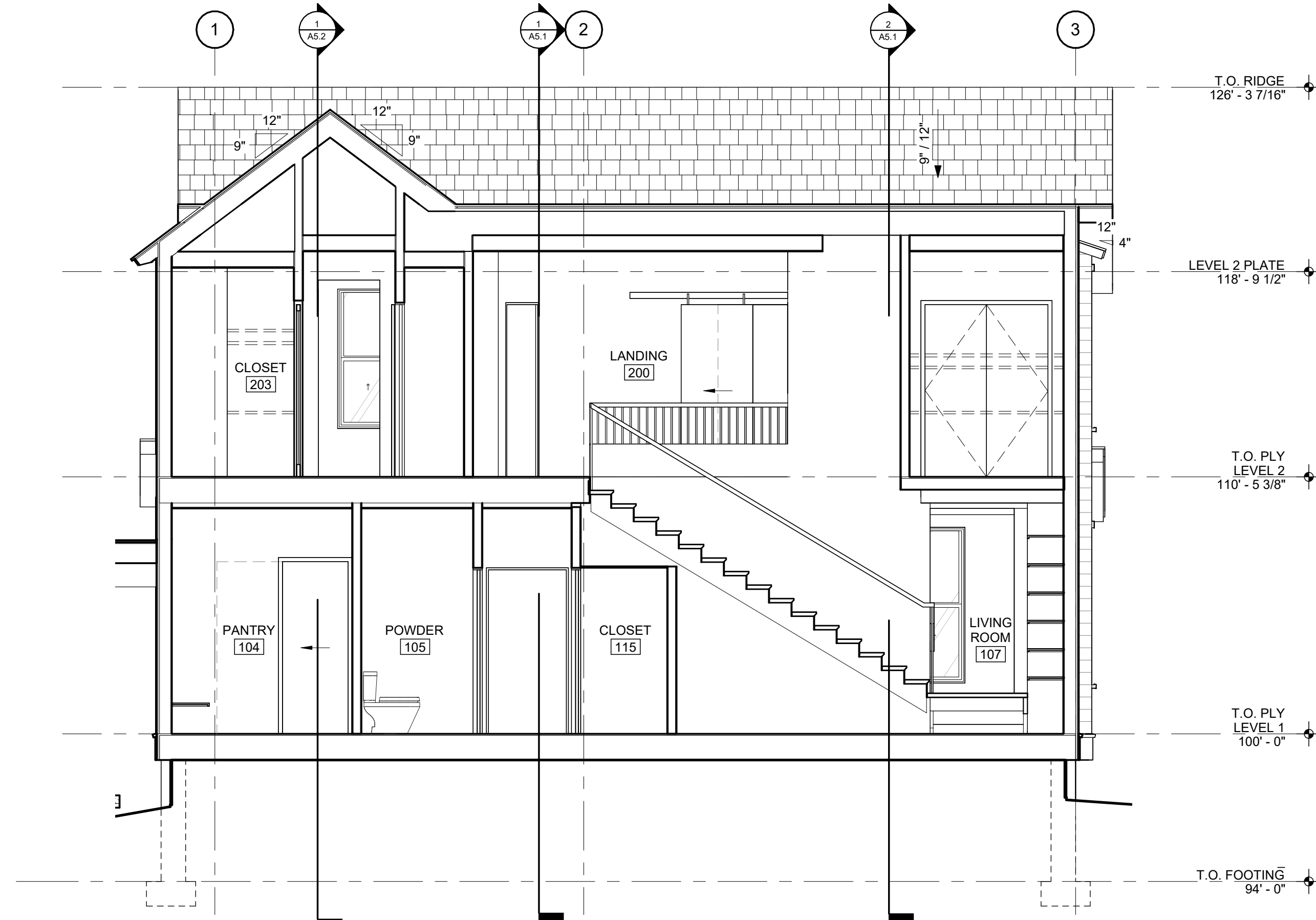
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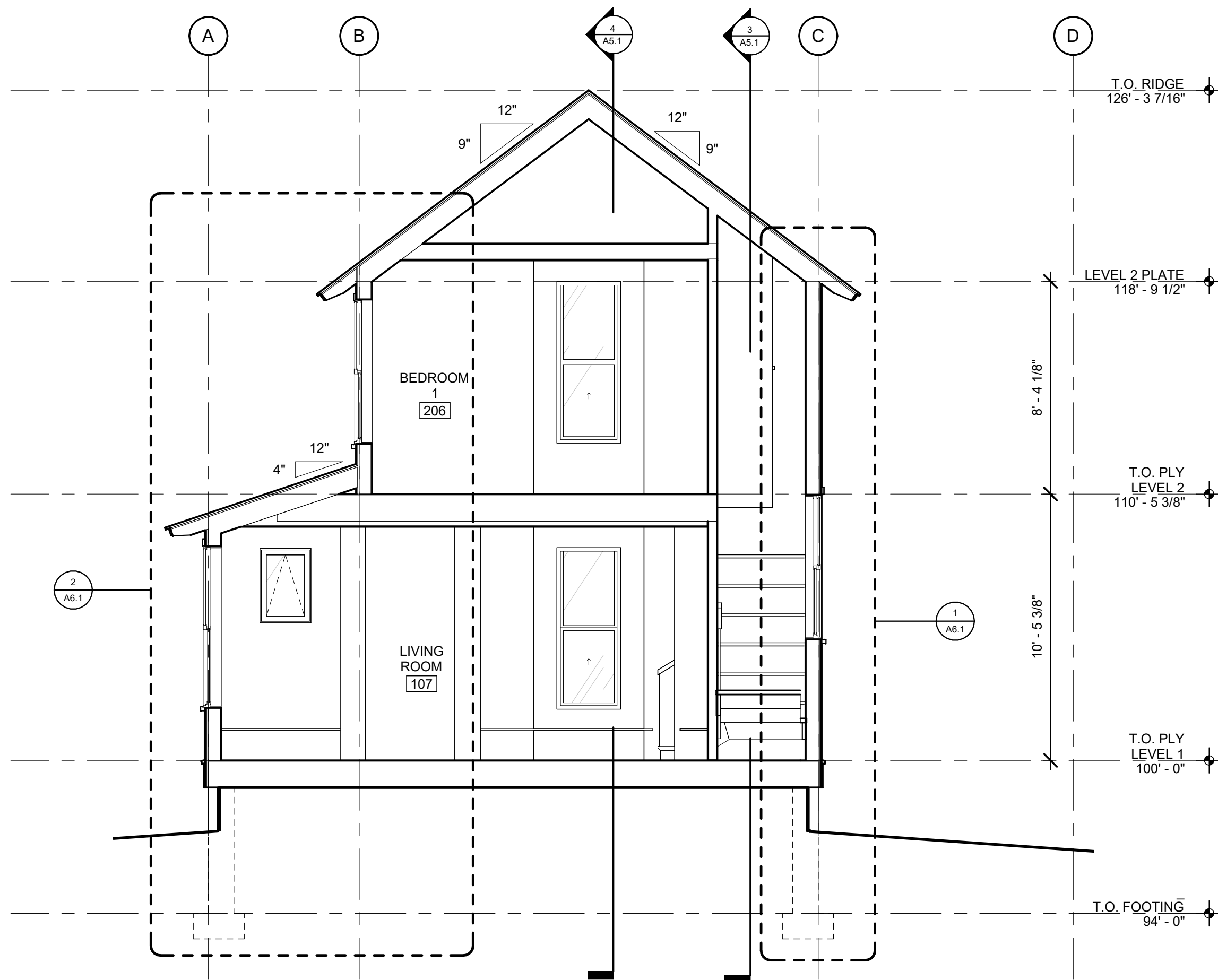
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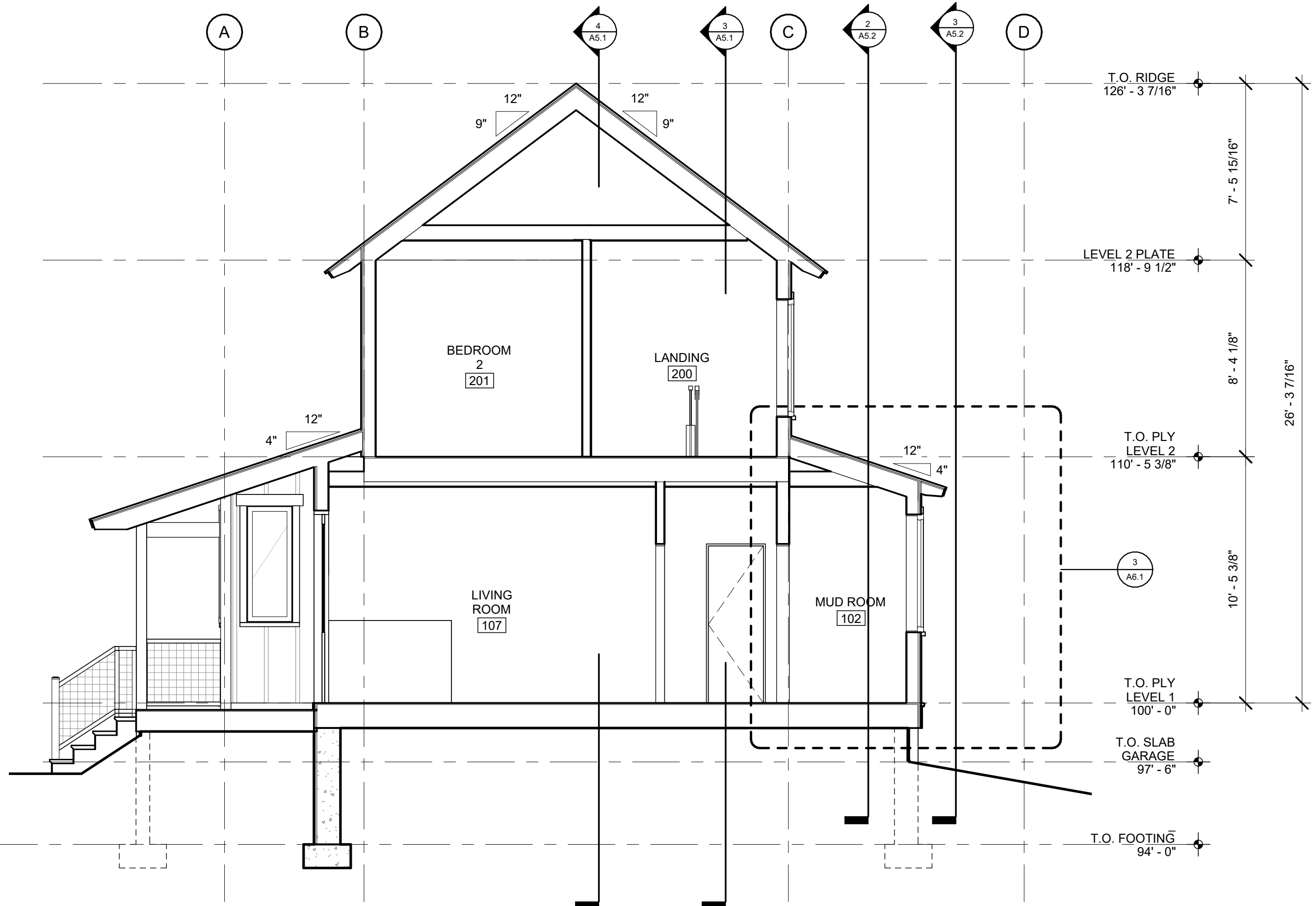
4 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A5.1 SCALE: 1/4" = 1'-0"

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

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SHEET TITLE:
BUILDING SECTIONS

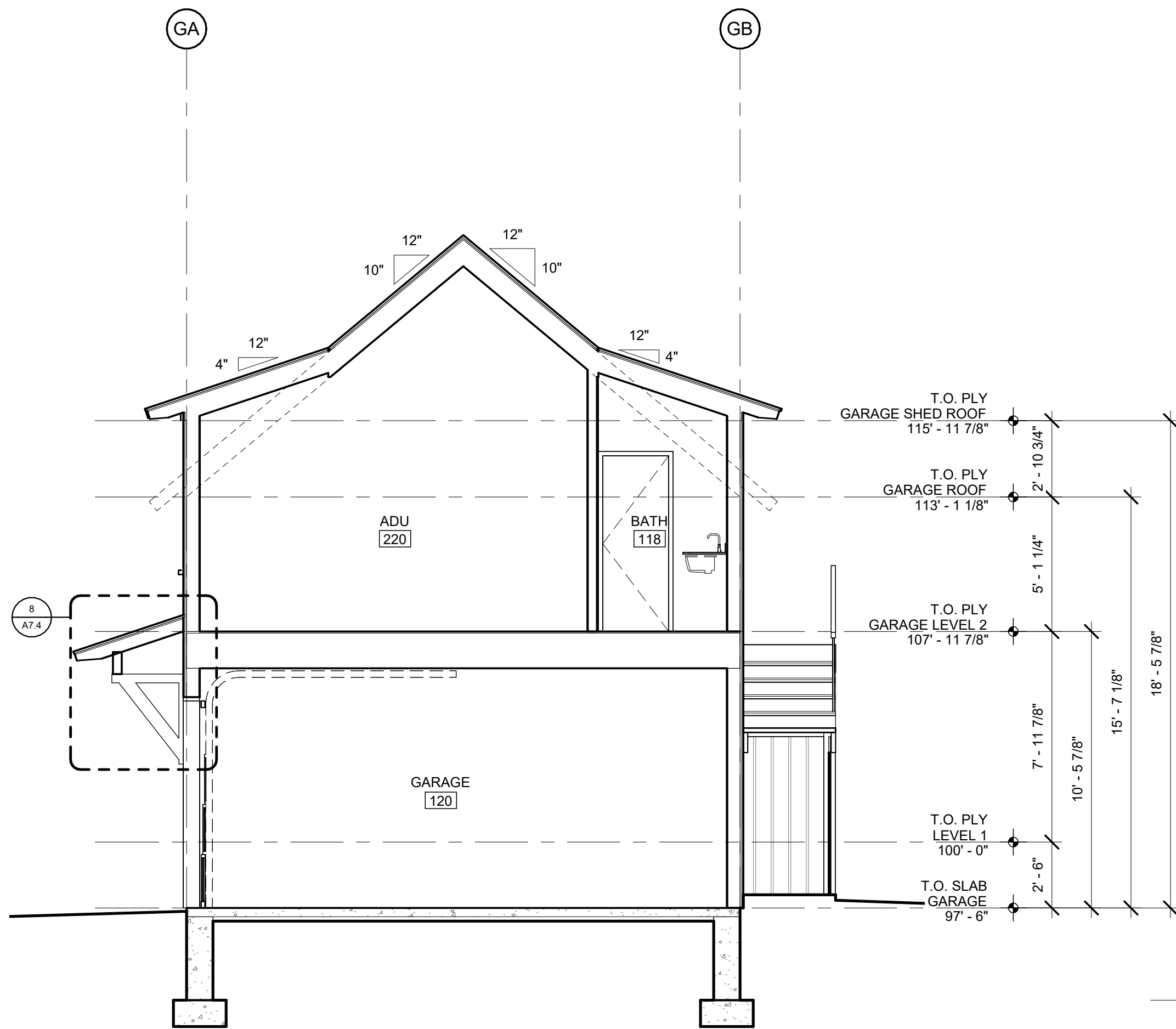
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A5.1

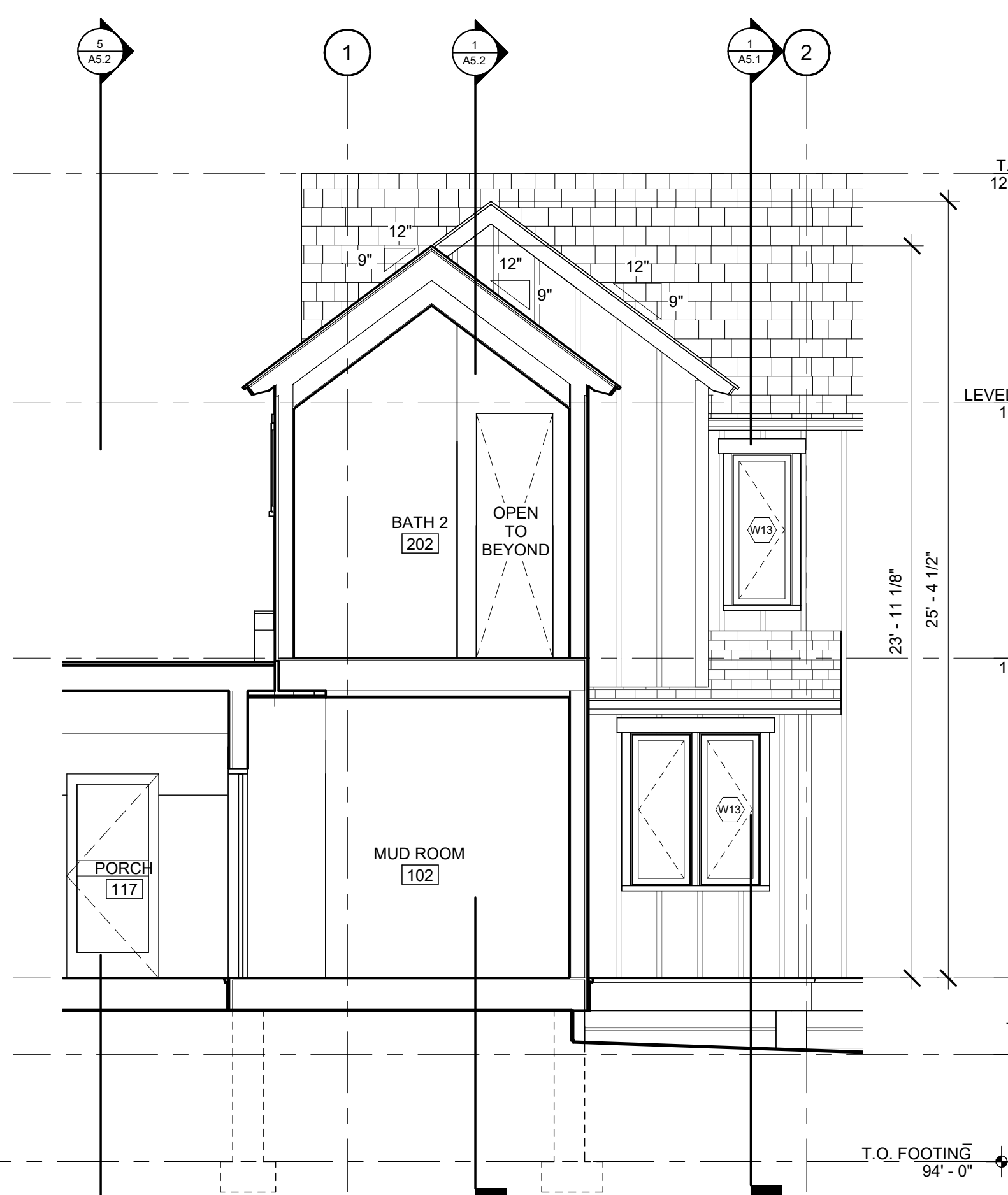
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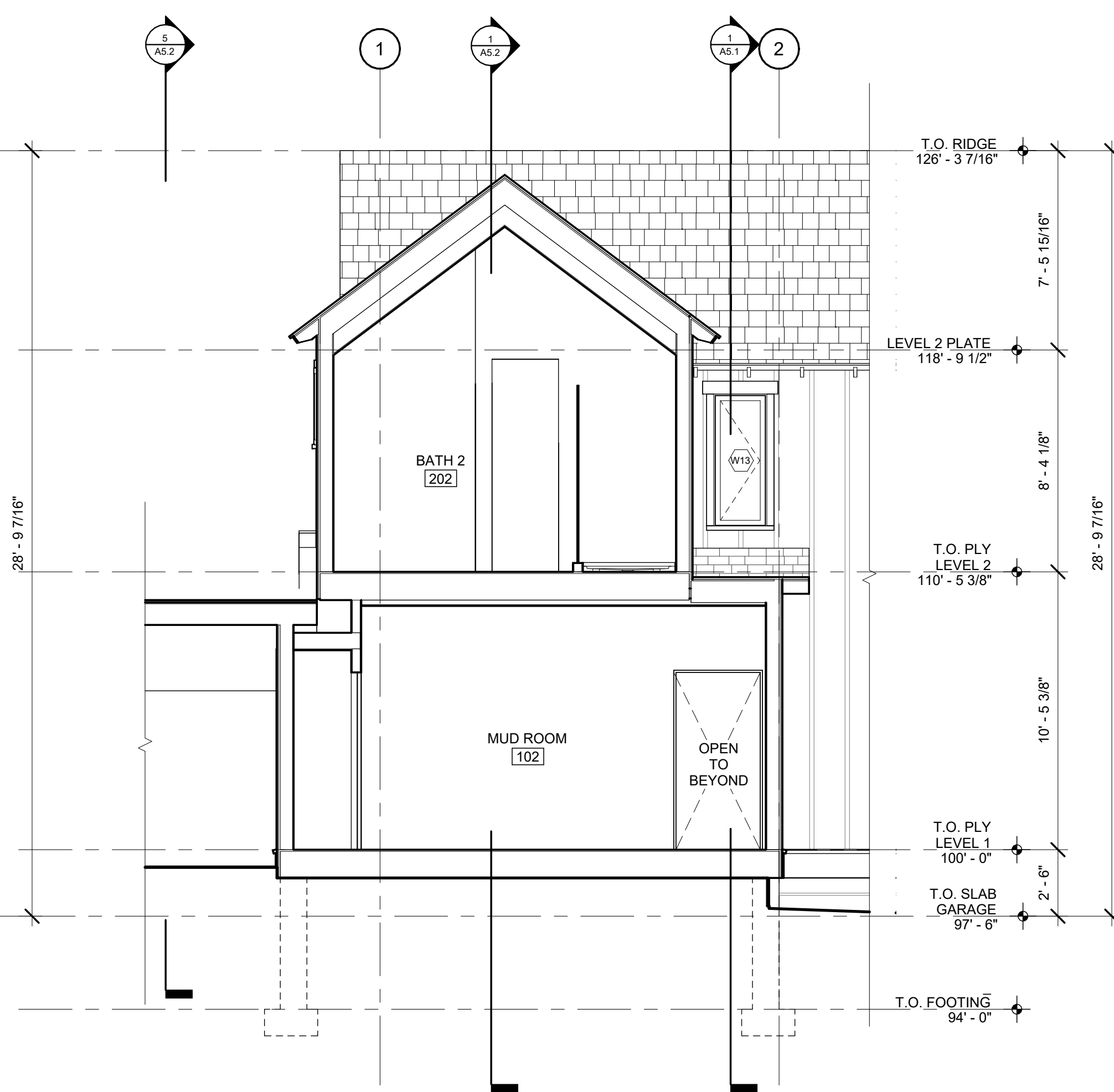
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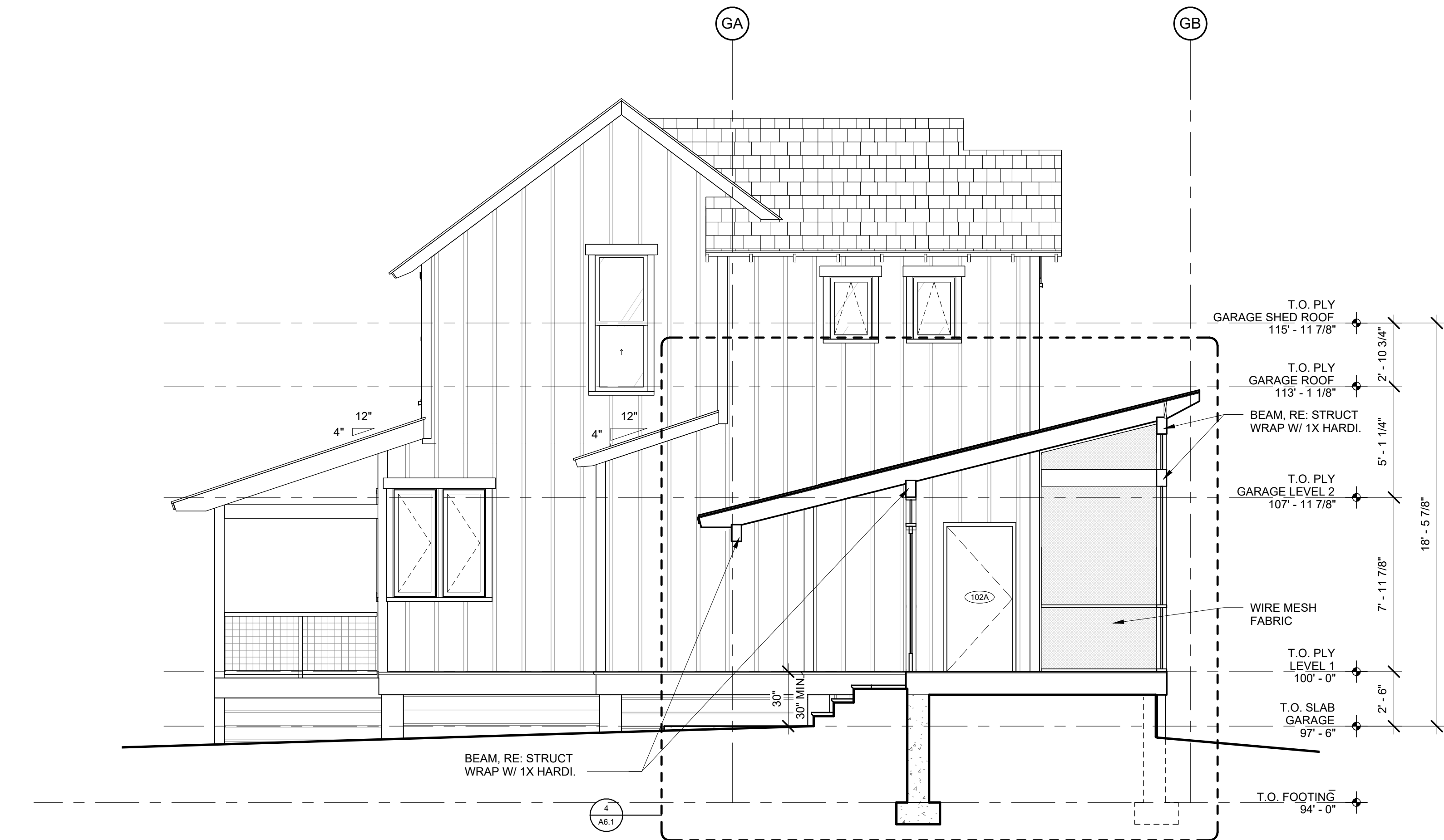
4 GARAGE SECTION
A5.2 SCALE: 1/4" = 1'-0"



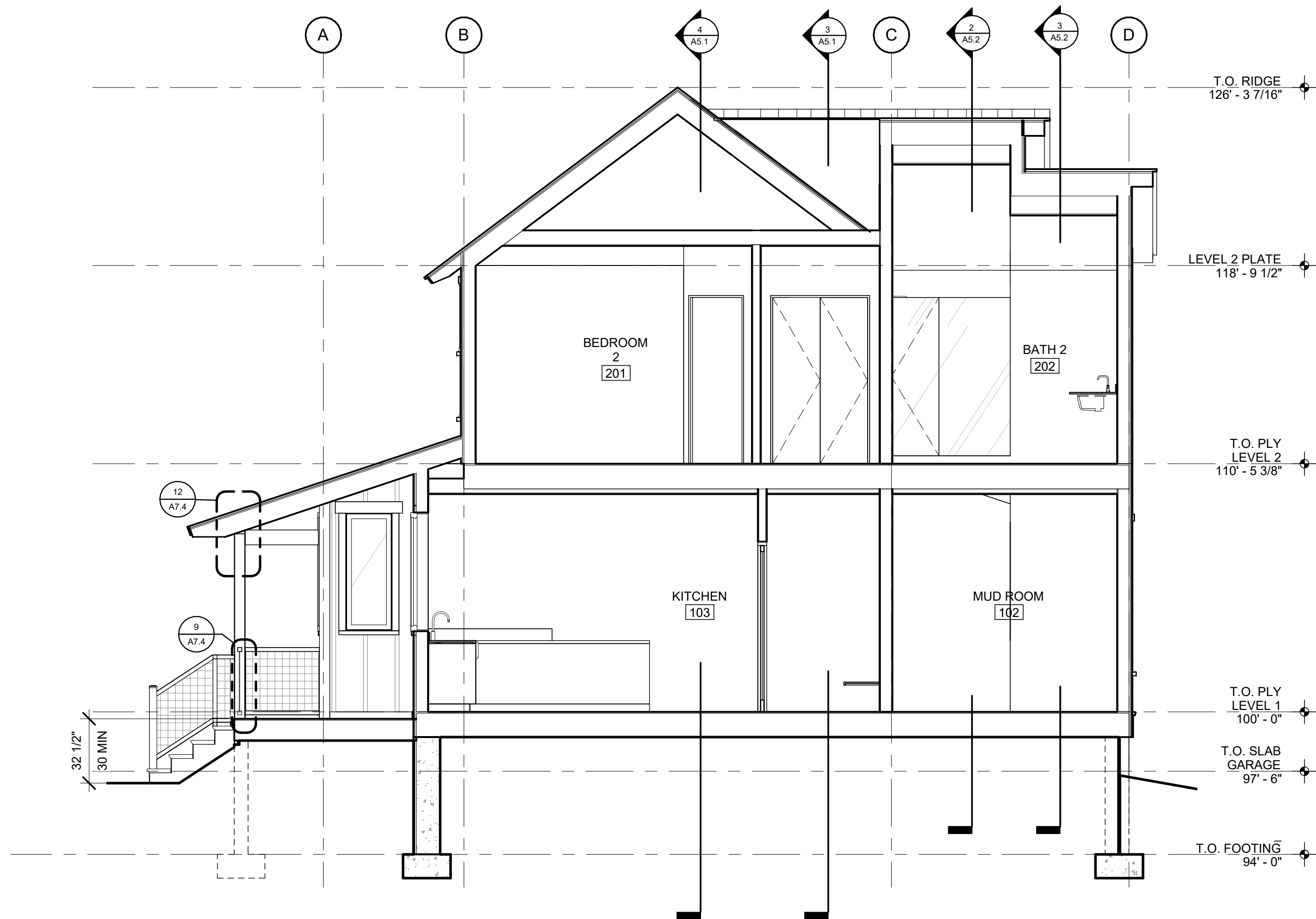
3 BUILDING SECTION
A5.2 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
A5.2 SCALE: 1/4" = 1'-0"



5 PORCH SECTION
A5.2 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A5.2 SCALE: 1/4" = 1'-0"

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
BUILDING SECTIONS

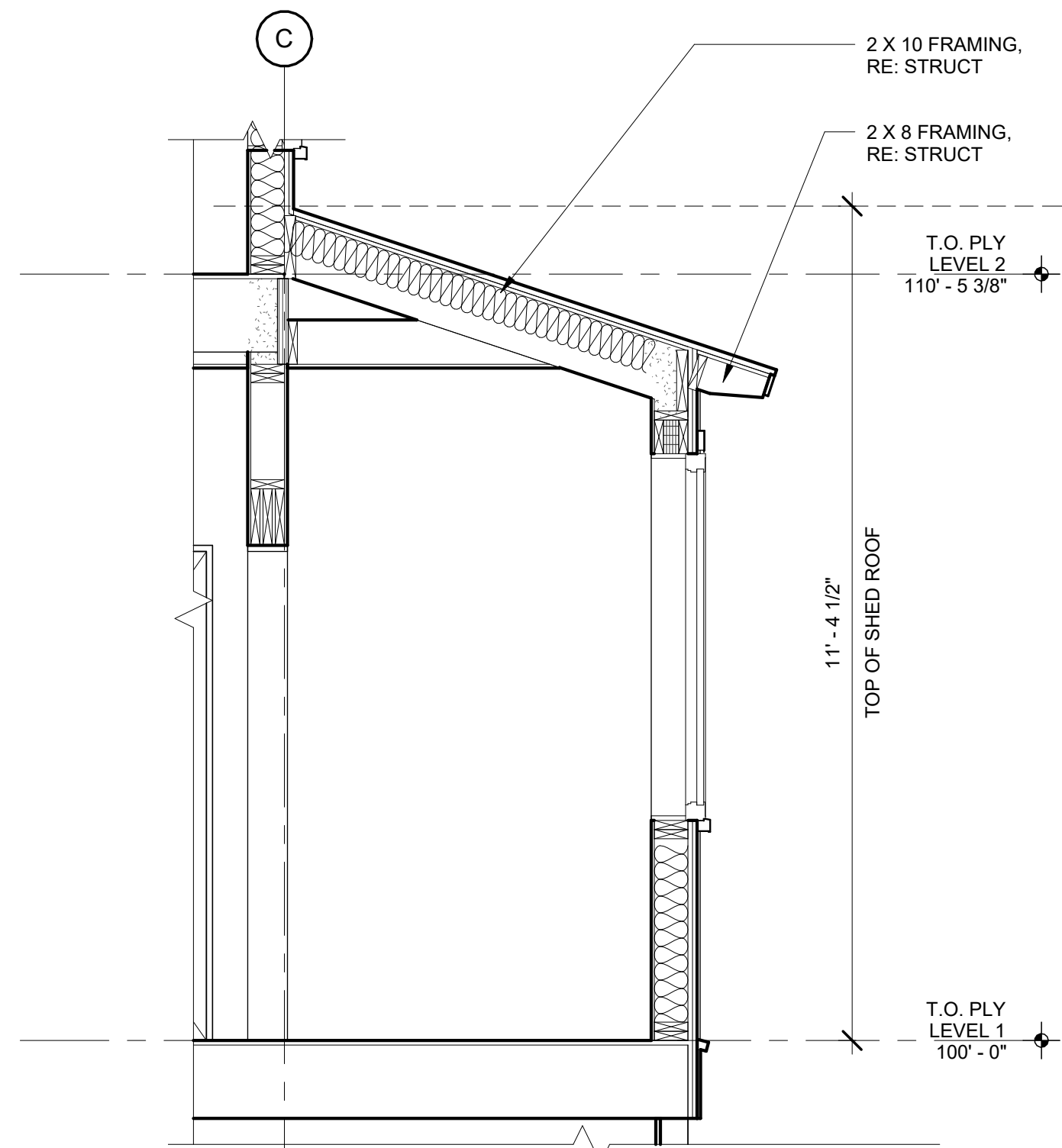
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A5.2

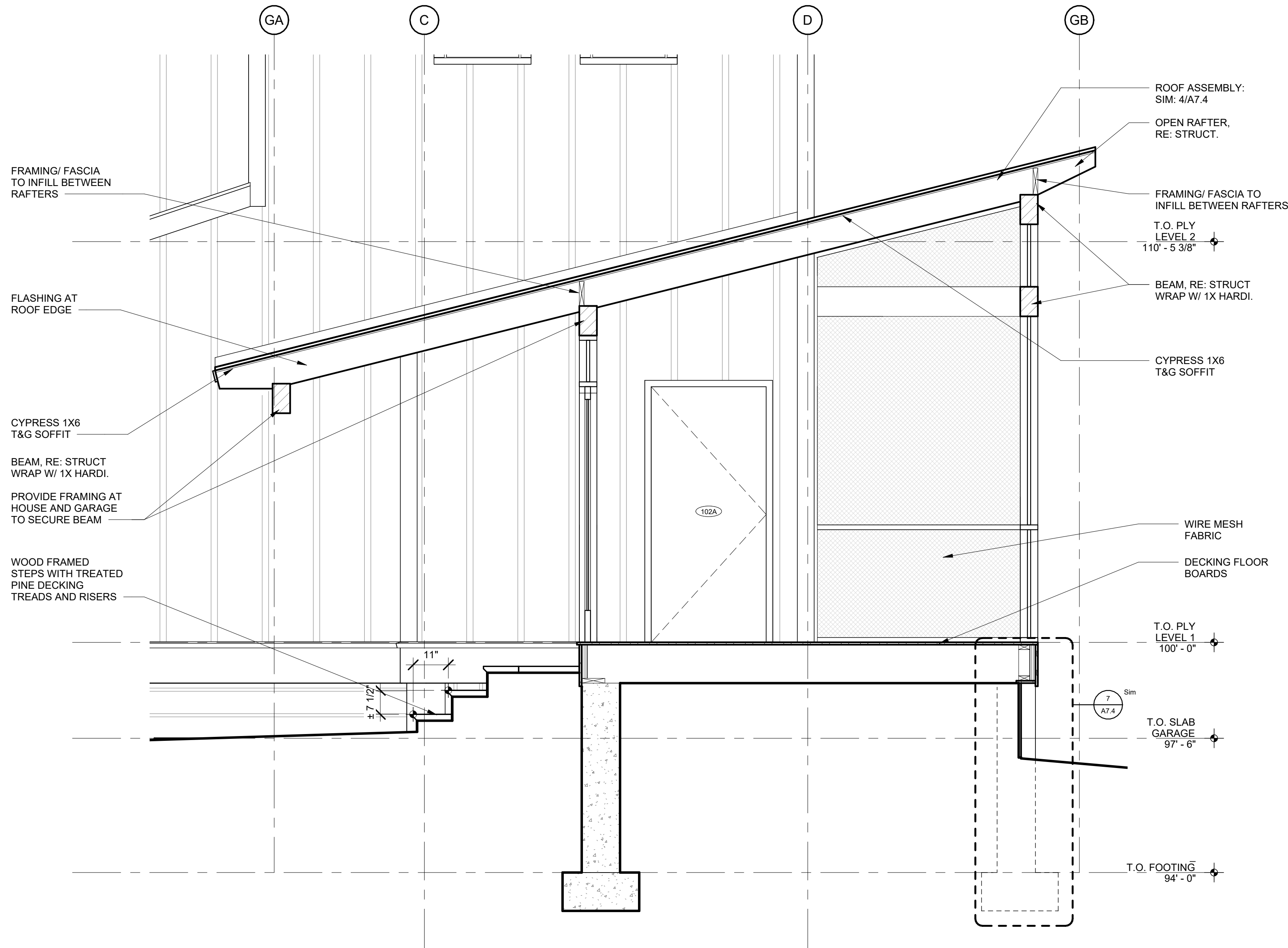
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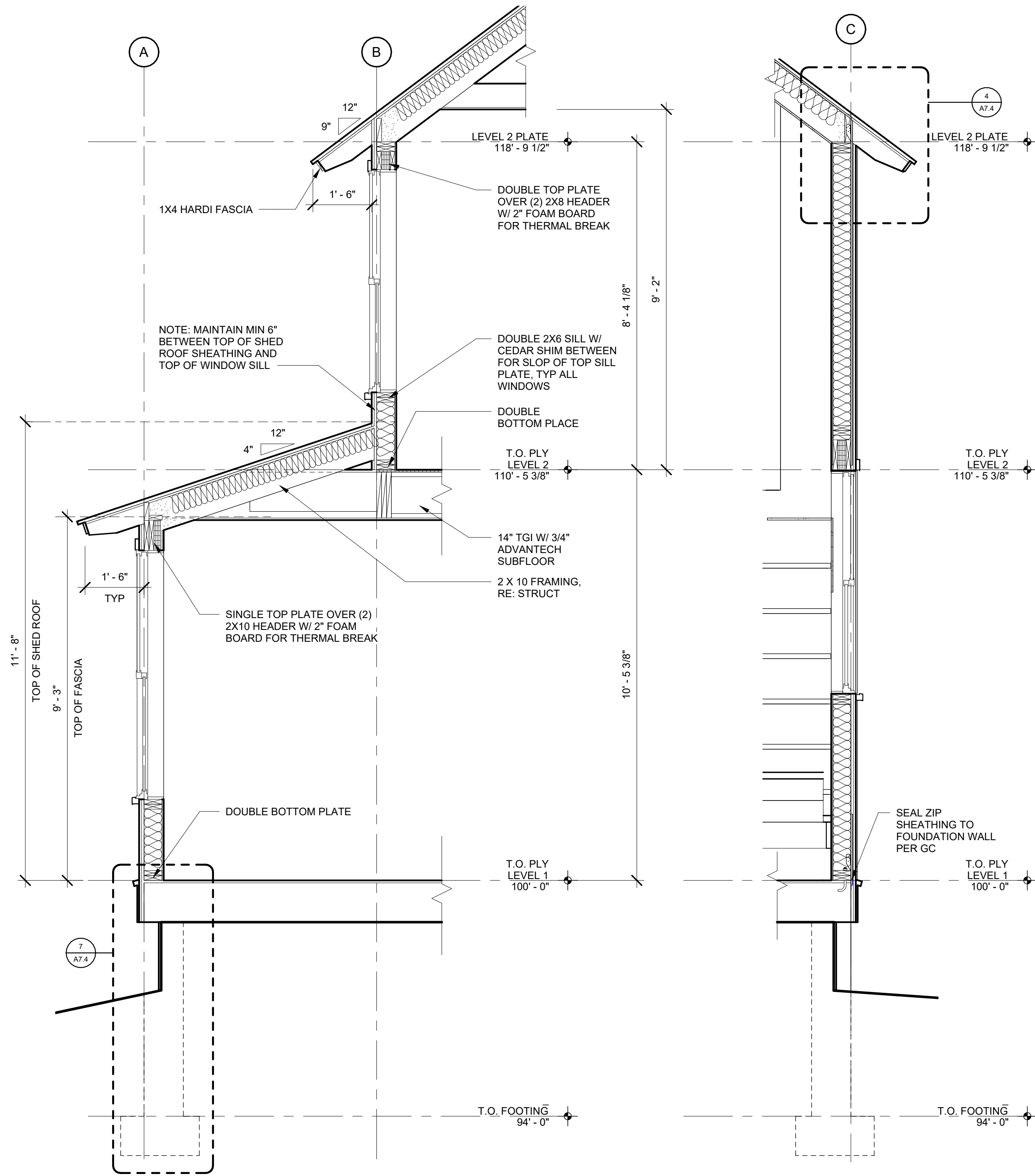
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| 1 3/31/2025 | REVISED FULL SET |
| 2 05/07/2025 | HP COMMENTS |



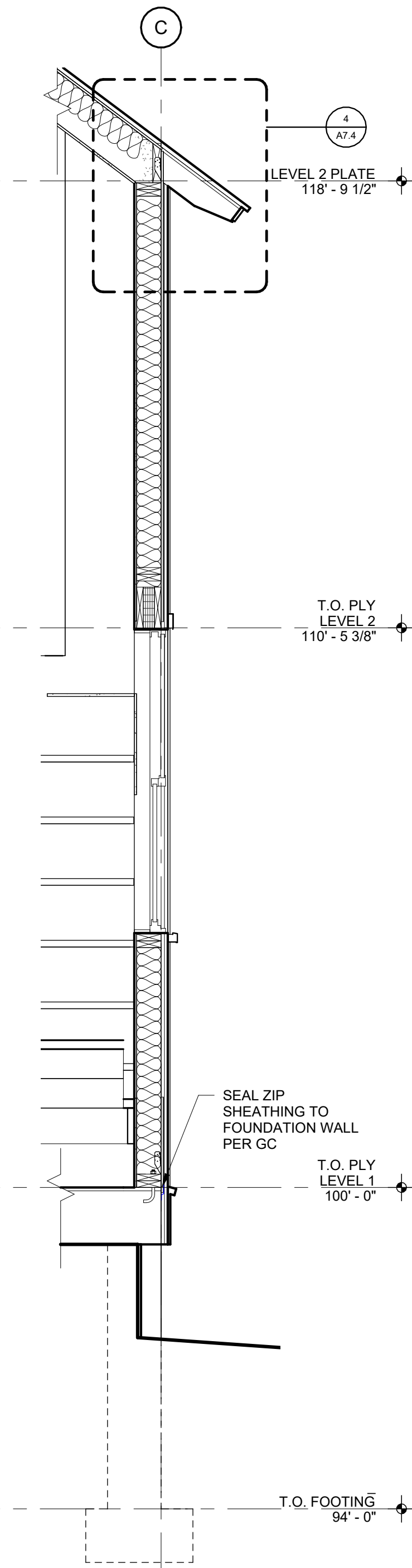
3 WALL SECTION - MUDROOM
SCALE: 1/2" = 1'-0"



4 WALL SECTION - SCREEN PORCH
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



1 WALL SECTION
SCALE: 1/2" = 1'-0"

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
WALL SECTIONS

SCALE: 1/2" = 1'-0"

A6.1

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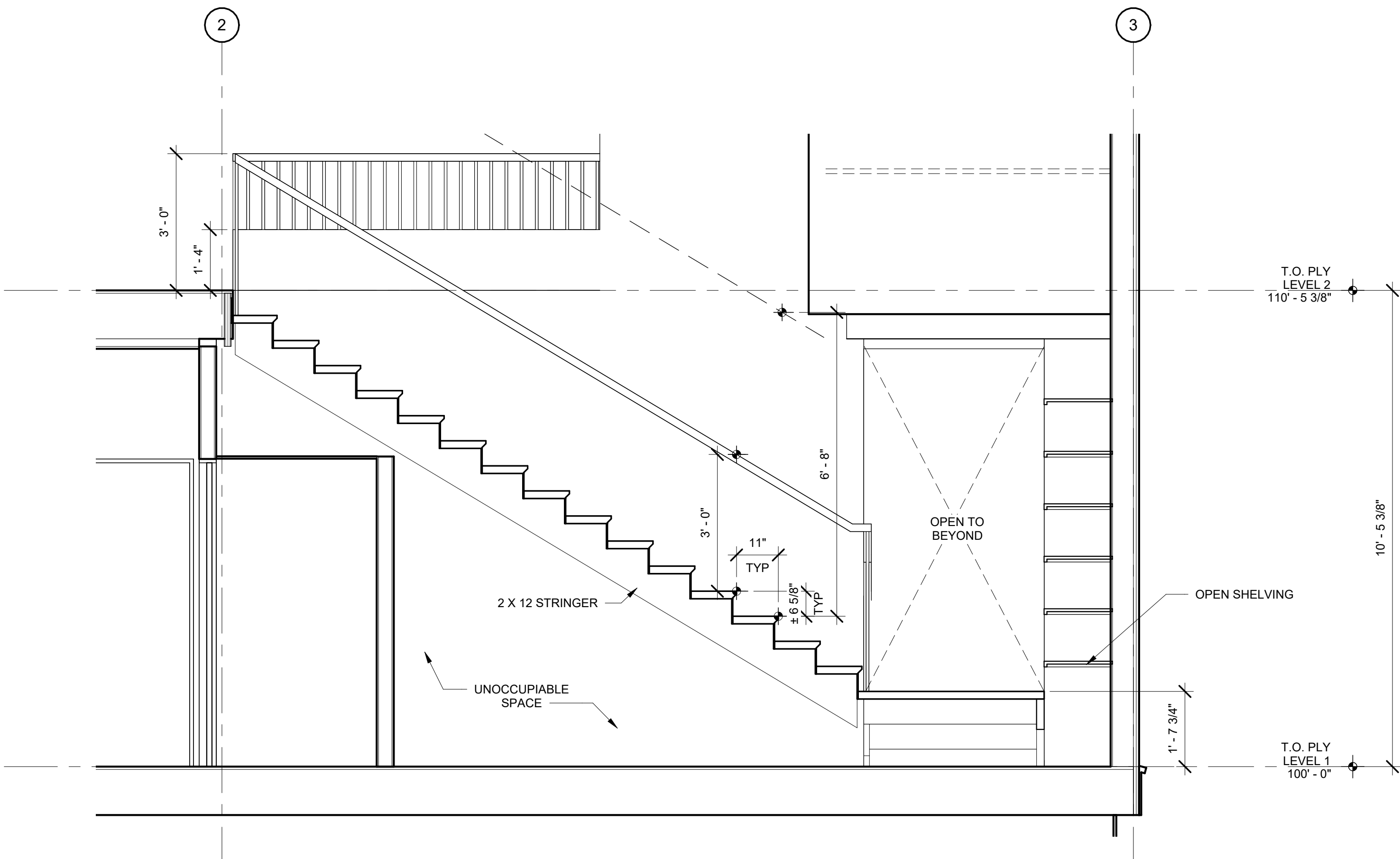
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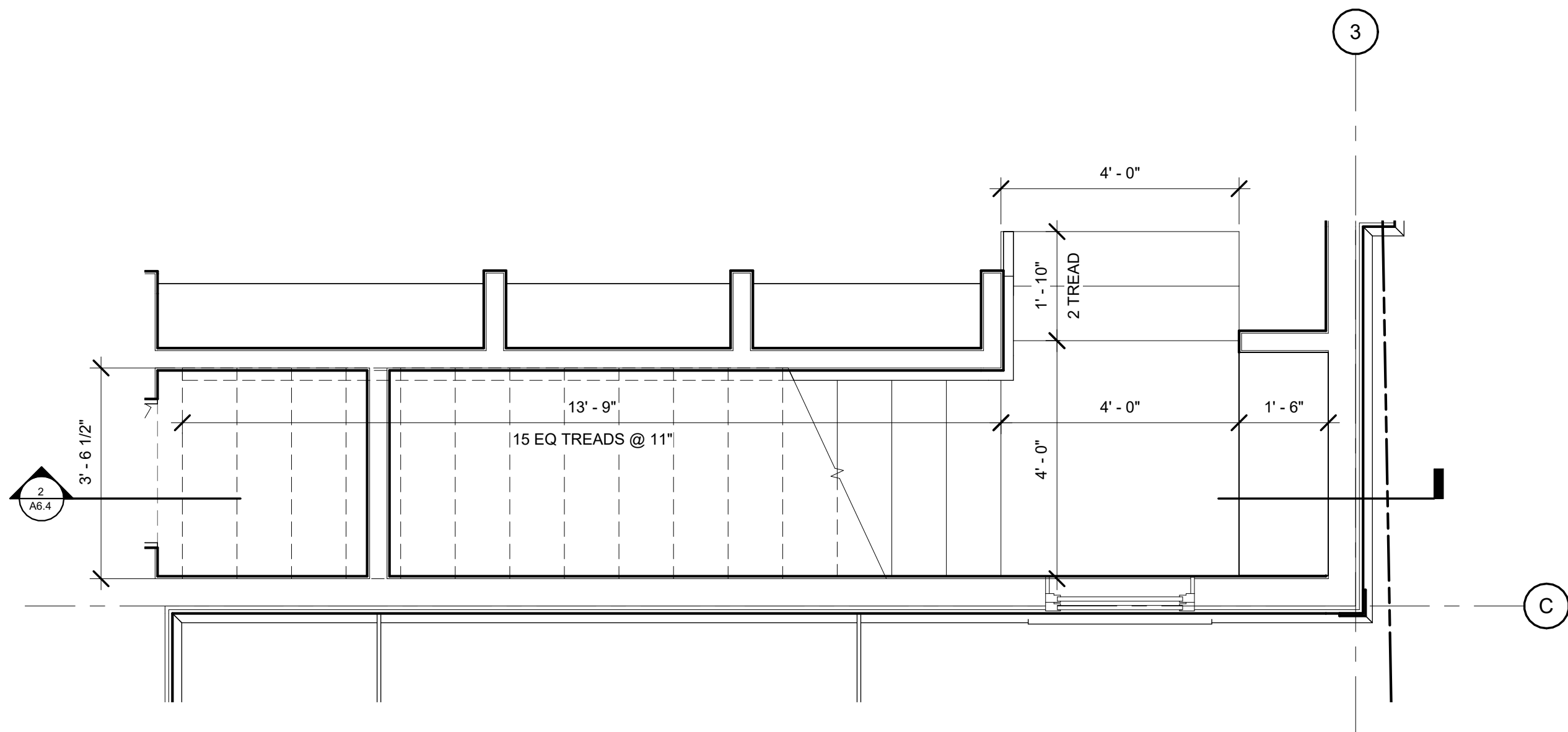
CARBONDALE, CO

Issuances and Revisions:

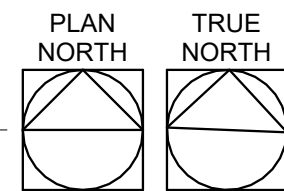
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| 05/15/2024 | FULL SET |
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| 2 05/07/2025 | HP COMMENTS |



2 STAIR SECTION
A6.4 SCALE: 1/2" = 1'-0"



1 STAIR PLAN
A6.4 SCALE: 1/2" = 1'-0"



LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
STAIR SHEET

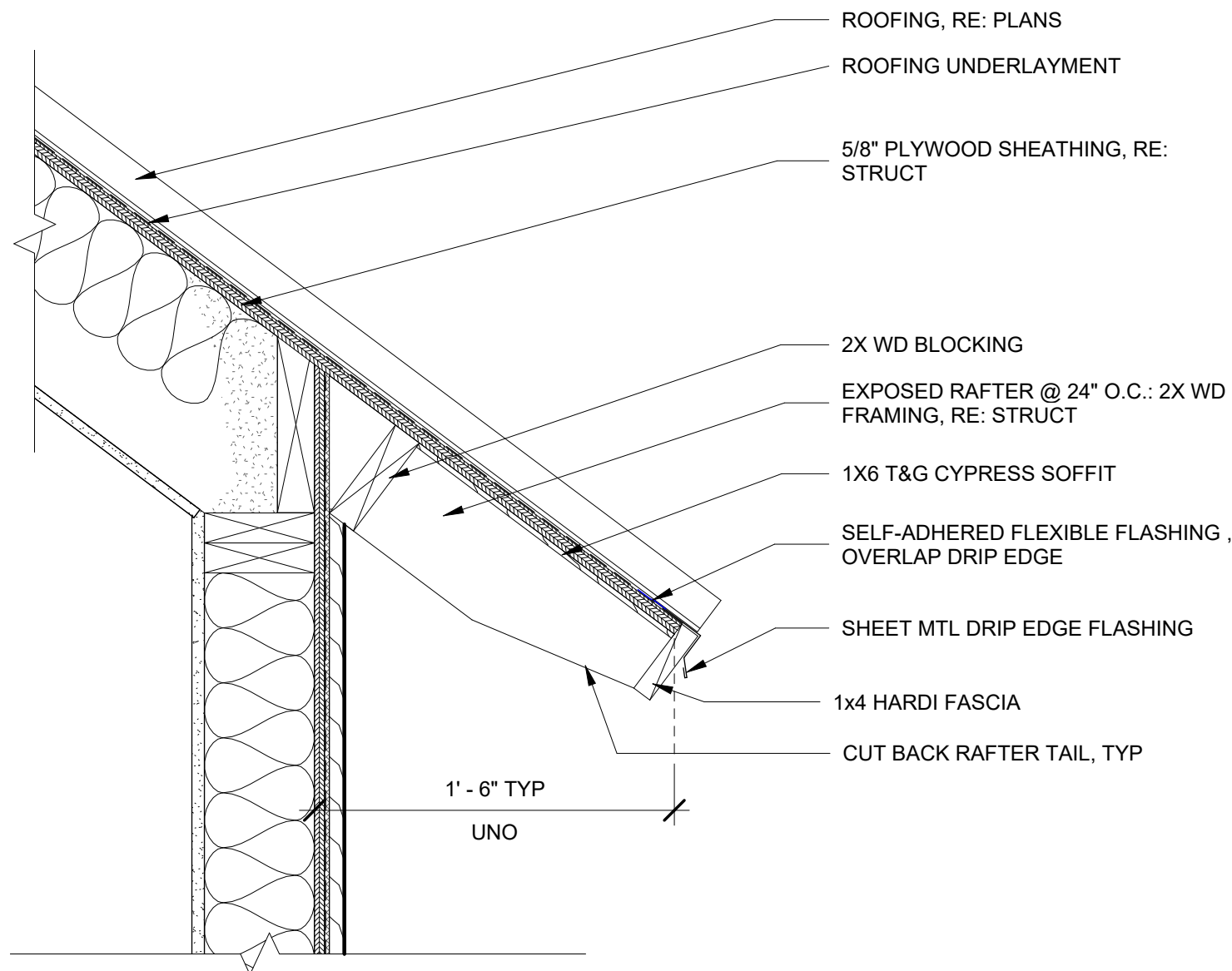
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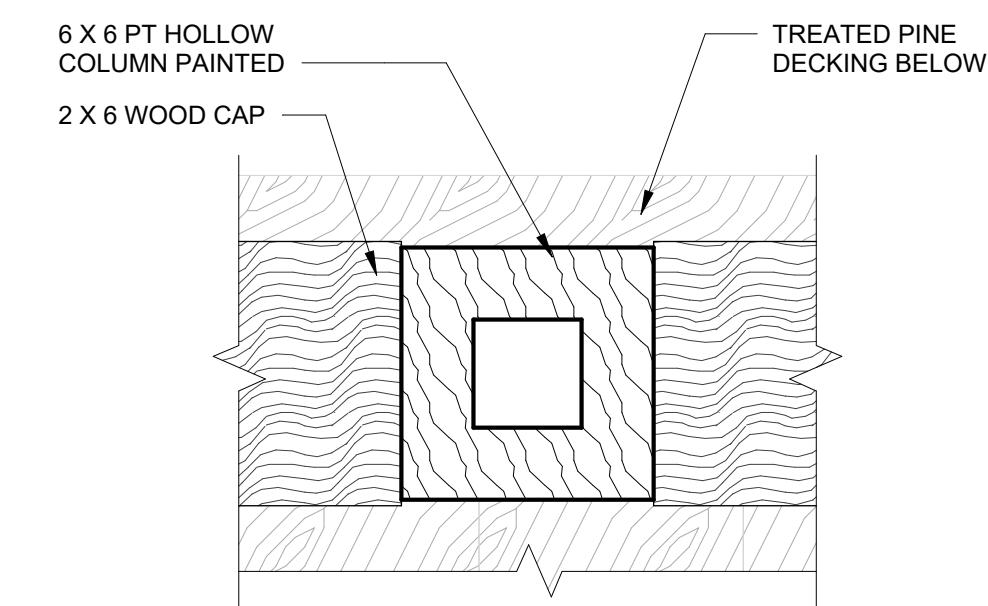
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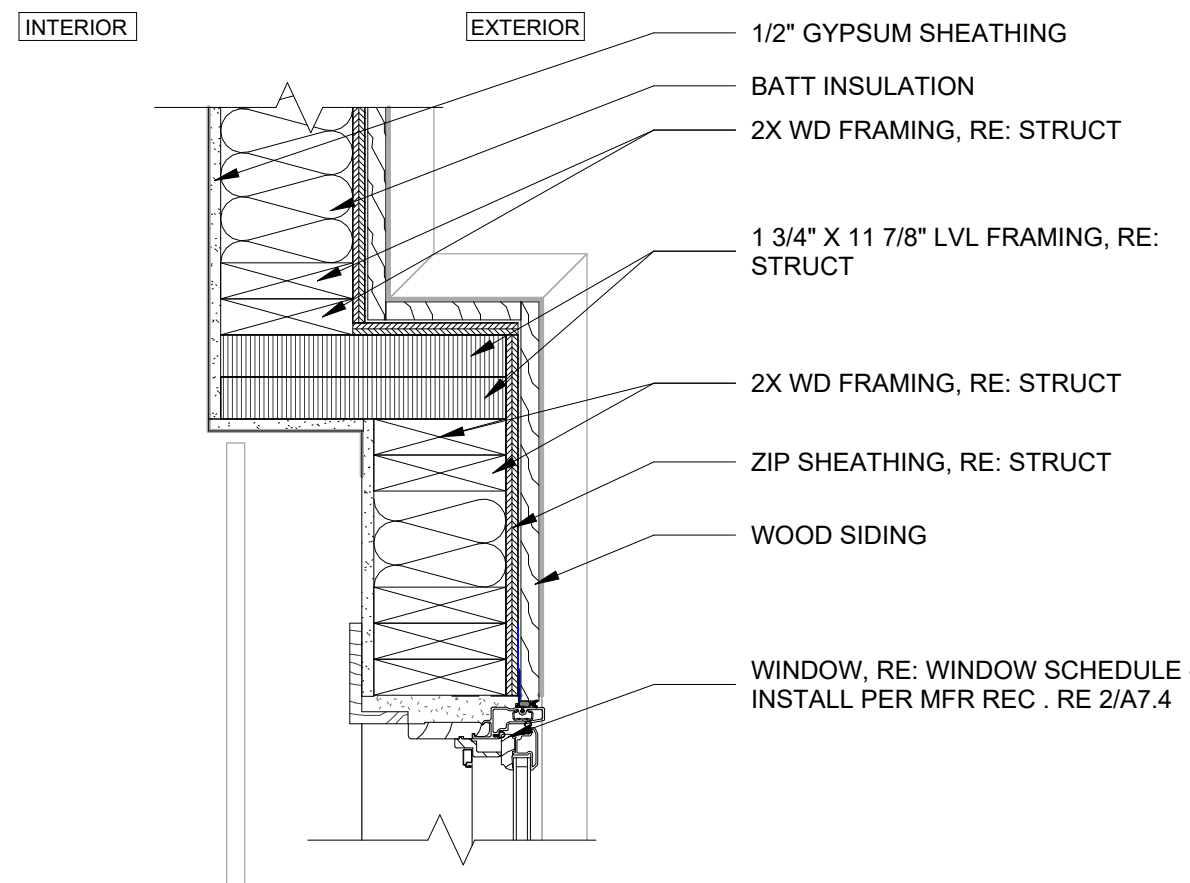
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|--------------|------------------|
| 05/15/2024 | FULL SET |
| 1 3/31/2025 | REVISED FULL SET |
| 2 05/07/2025 | HP COMMENTS |



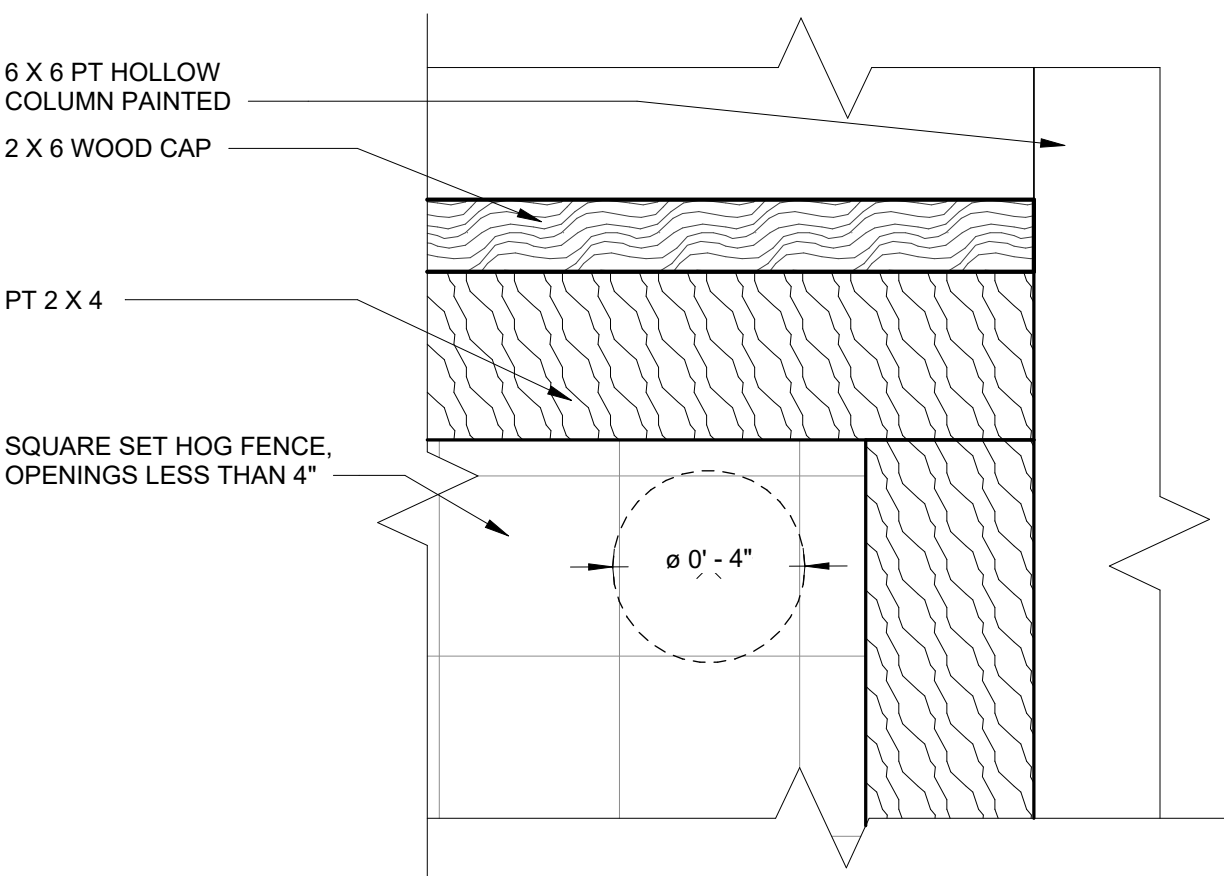
4 TYPICAL ROOF EDGE
A7.4 SCALE: 1 1/2" = 1'-0"



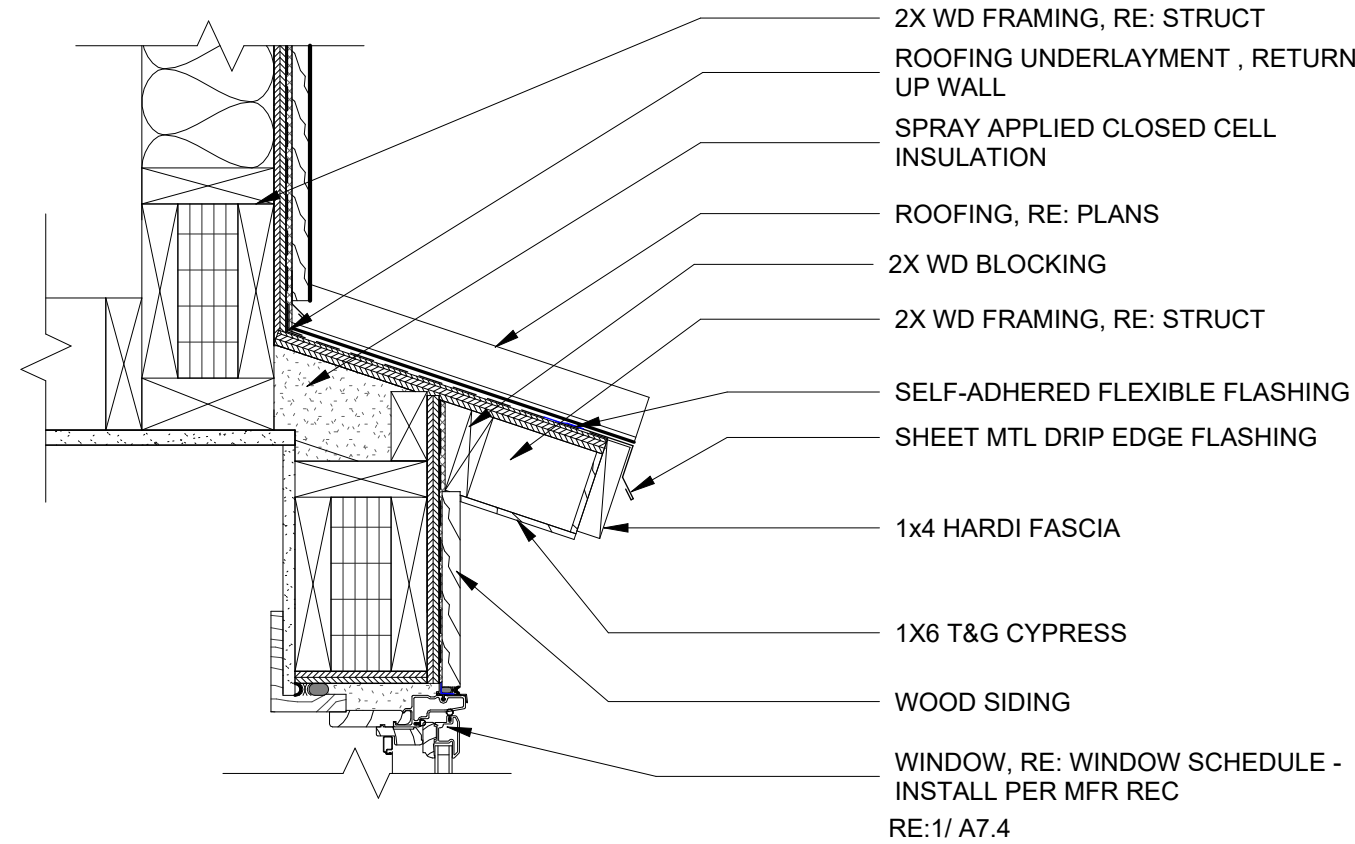
10 DTL P - DECK COLUMN
A7.4 SCALE: 3" = 1'-0"



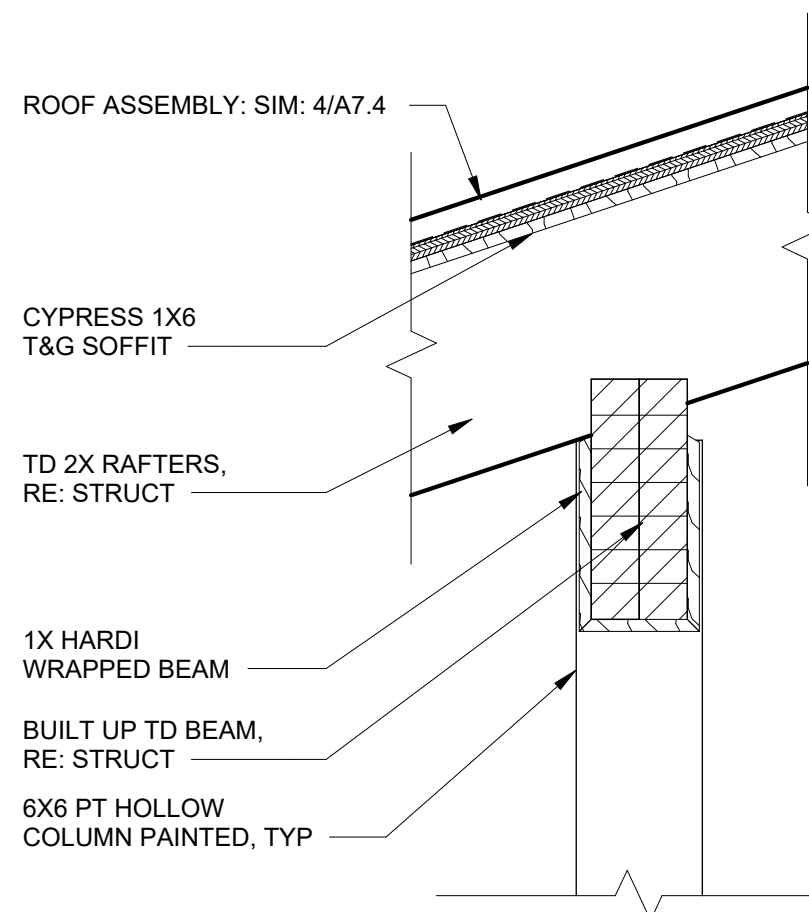
5 WINDOW BUMPOUT
A7.4 SCALE: 1 1/2" = 1'-0"



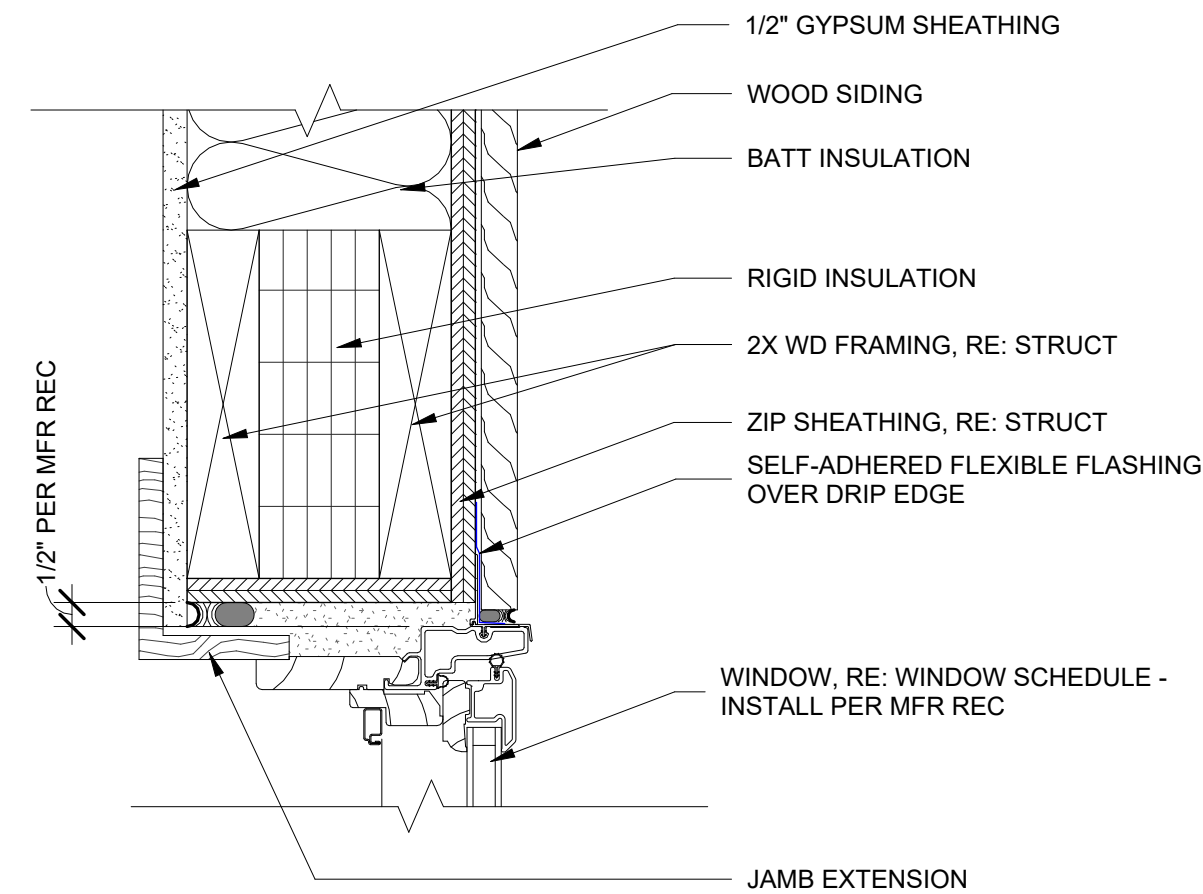
11 DTL S - DECK RAILING
A7.4 SCALE: 3" = 1'-0"



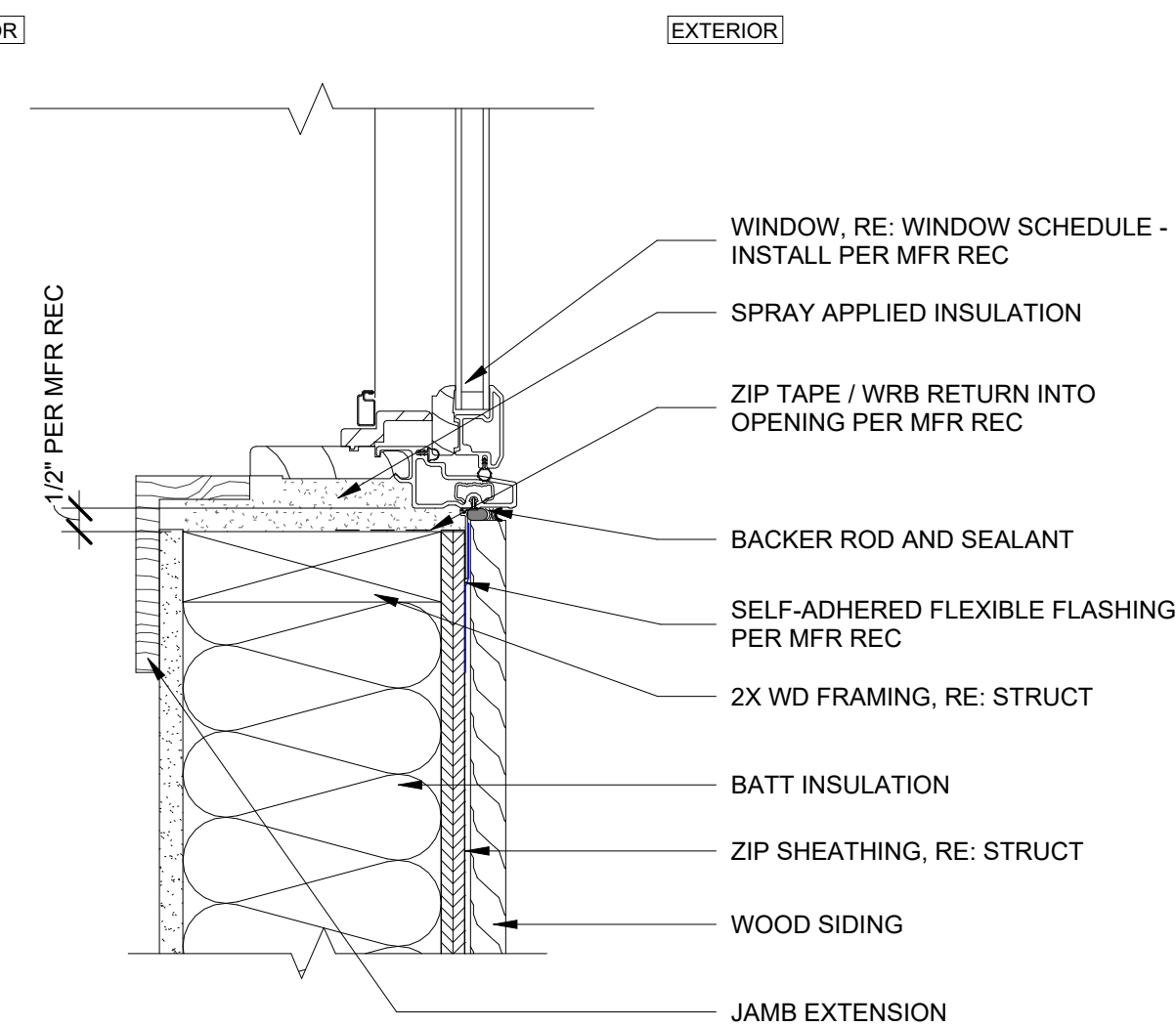
6 WINDOW BUMPOUT HEAD
A7.4 SCALE: 1 1/2" = 1'-0"



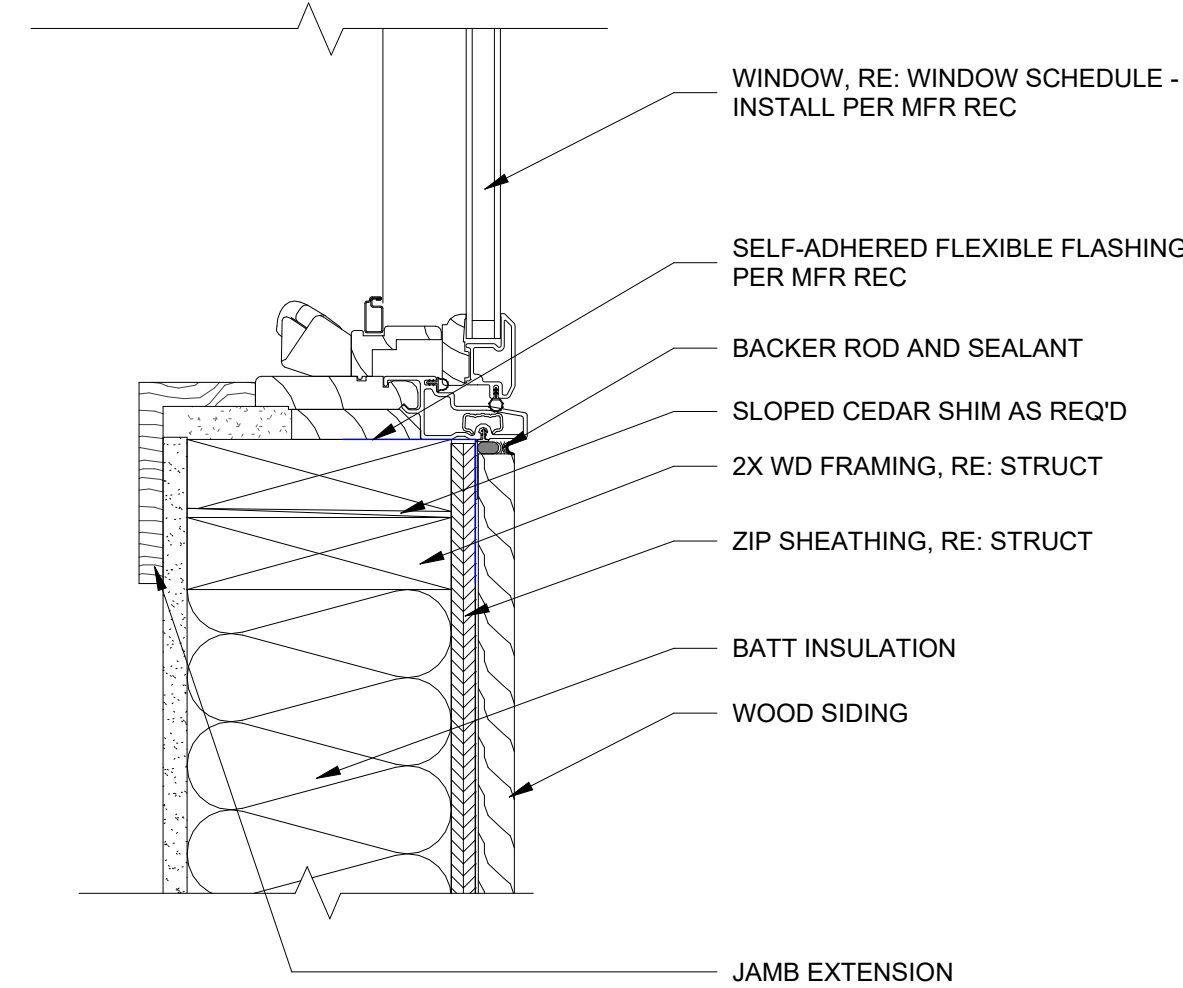
12 PORCH BEAM - DETAL
A7.4 SCALE: 1 1/2" = 1'-0"



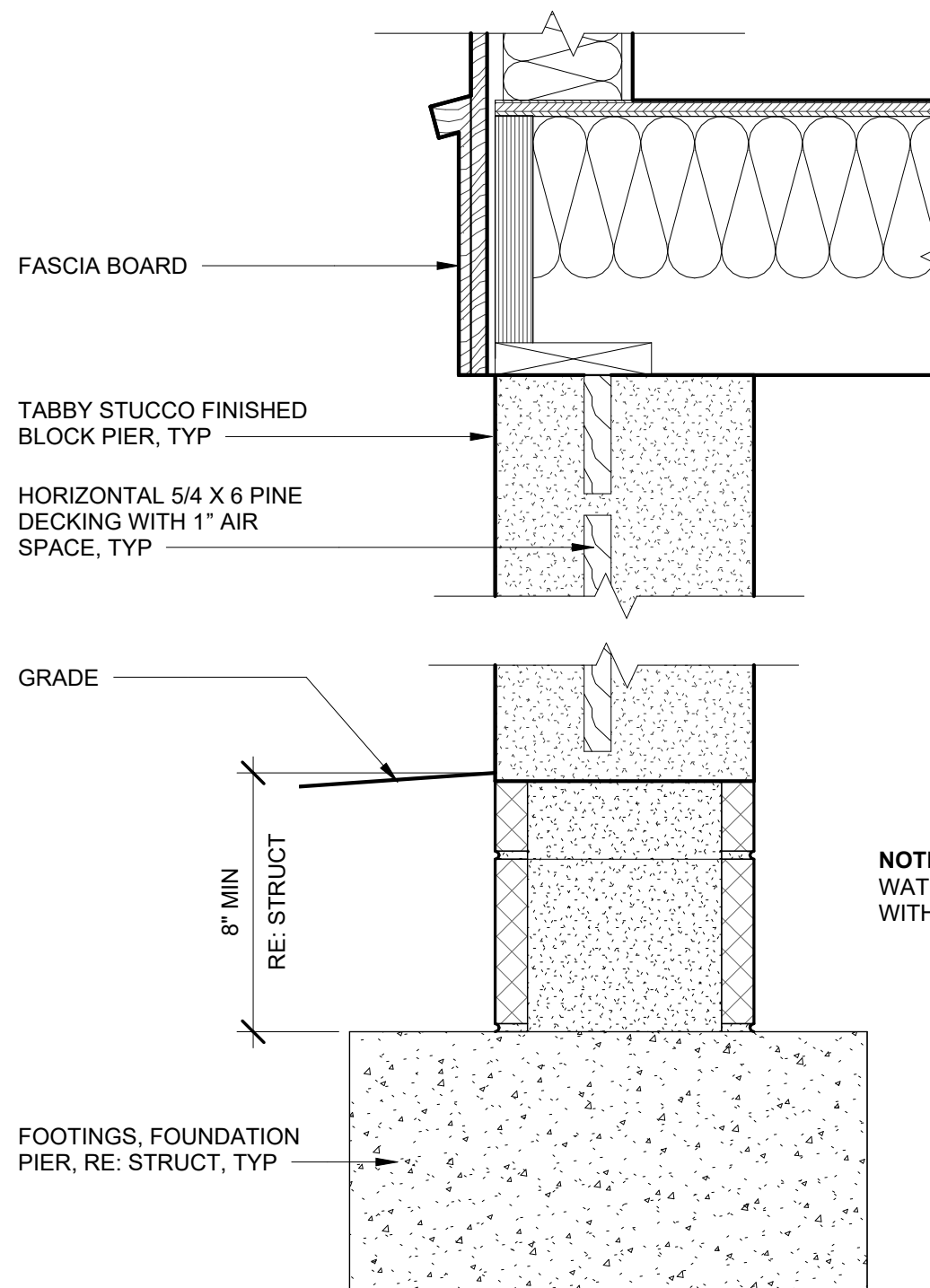
1 TYPICAL WINDOW HEAD
A7.4 SCALE: 3" = 1'-0"



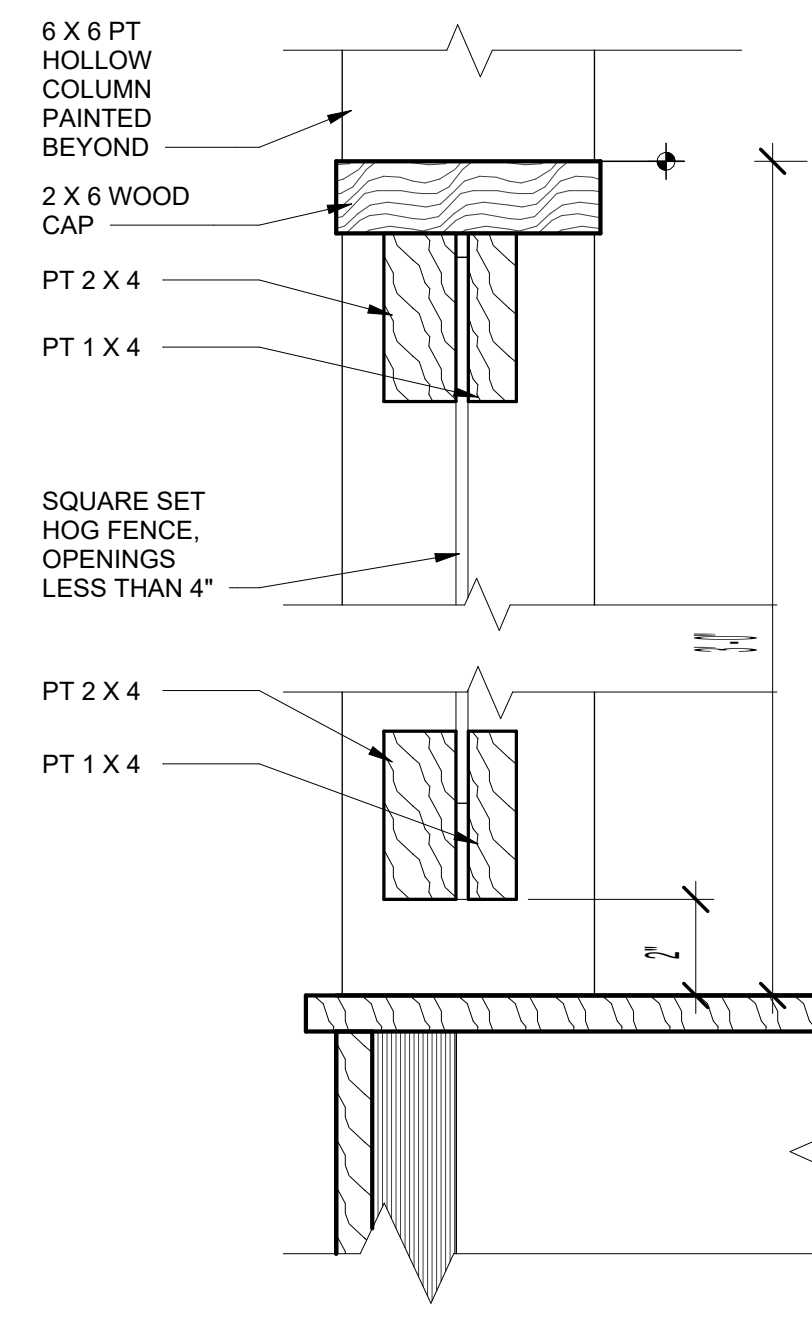
2 TYPICAL WINDOW JAMB
A7.4 SCALE: 3" = 1'-0"



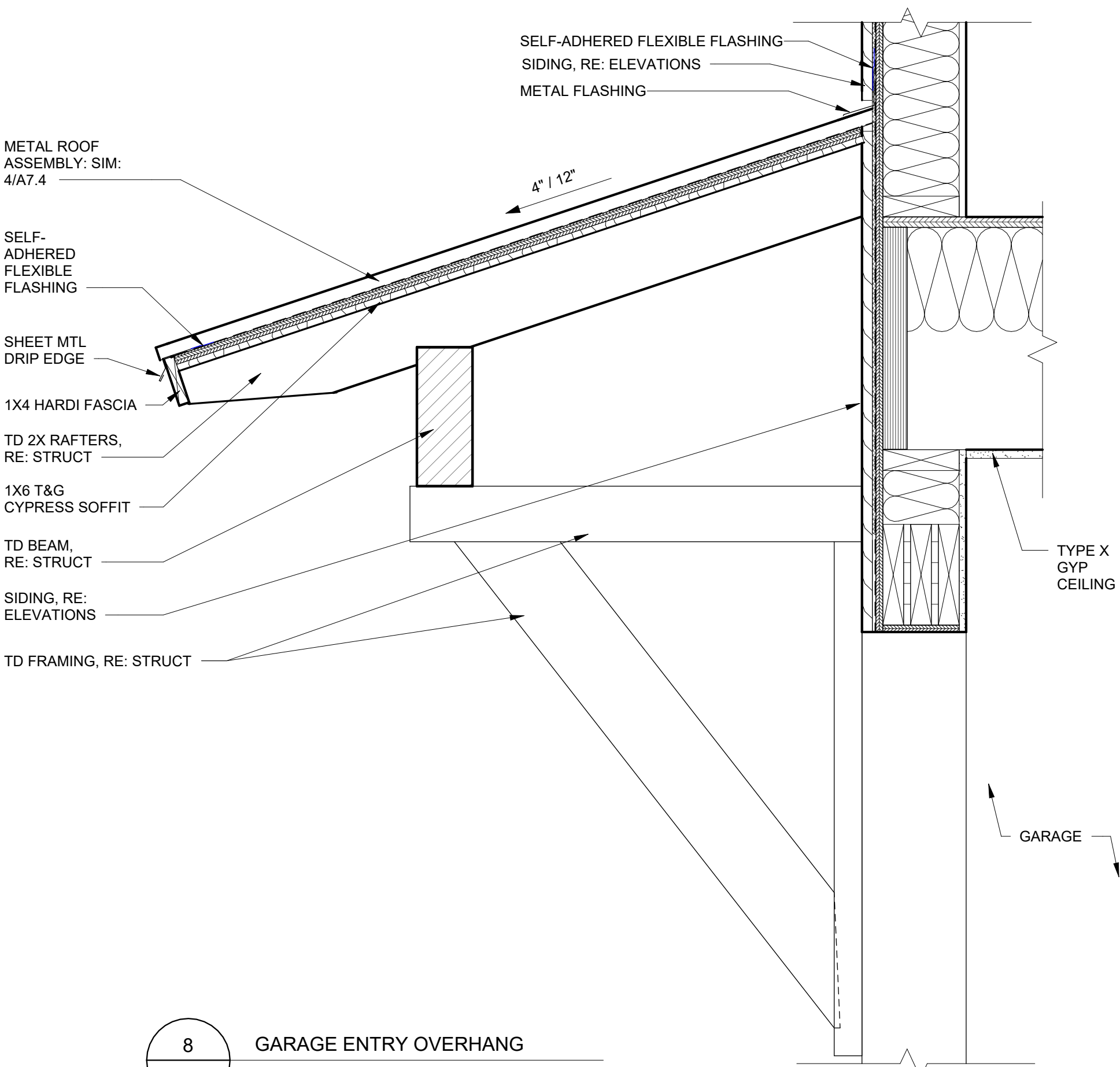
3 TYPICAL WINDOW SILL
A7.4 SCALE: 3" = 1'-0"



7 FOUNDATION DETAIL, TYPICAL
A7.4 SCALE: 1 1/2" = 1'-0"



9 DECK ELEVATION - SECTION
A7.4 SCALE: 3" = 1'-0"



8 GARAGE ENTRY OVERHANG
A7.4 SCALE: 1 1/2" = 1'-0"

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
DETAILS

SCALE: As indicated

A7.4

ATTACHMENT 6

DOOR SCHEDULE

DOOR MARK	QTY.	WIDTH	HEIGHT	DOOR		FRAME TYPE	FINISH	DETAILS			HARDWARE GROUP	FIRE RATING	GLASS TYPE	MANUF.	NOTES	
				THICKNESS	TYPE MARK			HEAD	JAMB	SILL						
LEVEL 1																
101	1	3' - 0"	8' - 0"	0' - 1 3/8"	A		STAINED FIR									
102A	1	3' - 0"	6' - 8"	0' - 1 3/4"	A											
102B	1	3' - 2"	6' - 8"	0' - 1 3/8"	E											
102C	1	4' - 0"	6' - 8"	0' - 1 3/4"	H											
102D	1	3' - 2"	6' - 8"	0' - 1 3/8"	E											
104	1	2' - 8"	7' - 0"	0' - 1 3/4"	J											
105	1	2' - 4"	6' - 8"	0' - 1 3/8"	A											
115	1	2' - 4"	6' - 8"	0' - 1 3/8"	A											
117	1	3' - 0"	6' - 8"	0' - 1 3/4"	A		STAINED FIR									

LEVEL 2																
201	1	2' - 6"	7' - 0"	0' - 1 3/8"	A											
202	1	4' - 0"	7' - 0"	0' - 1 3/8"	C											
203	1	2' - 6"	7' - 0"	0' - 1 3/4"	G											
204	1	2' - 2"	7' - 0"	0' - 1 3/8"	A											
205	1	2' - 10"	7' - 0"	0' - 1 3/4"	F											
206	1	2' - 6"	7' - 0"	0' - 1 3/8"	A											
207	1	2' - 6"	7' - 0"	0' - 1 3/8"	A											
208	1	5' - 0"	7' - 0"	0' - 1 3/4"	H											

GARAGE DOOR SCHEDULE																
DOOR MARK	QTY.	DOOR				FRAME TYPE	FINISH	DETAILS			HARDWARE GROUP	FIRE RATING	GLASS TYPE	MANUF.	NOTES	
		WIDTH	HEIGHT	THICKNESS	TYPE MARK			HEAD	JAMB	SILL						
GARAGE																
120A	1	8' - 0"	8' - 0"	0' - 1 3/4"	D											
120B	1	8' - 0"	8' - 0"	0' - 1 3/4"	D											
120C	1	2' - 6"	6' - 8"	0' - 1 3/8"	A		STAINED FIR									
120D	1	2' - 6"	6' - 8"	0' - 1 3/8"	A											

GARAGE LEVEL 2																
220	1	3' - 0"	6' - 8"	0' - 1 3/4"	A		STAINED FIR									
221	1	2' - 6"	6' - 8"	0' - 1 3/8"	A											
222	1	3' - 0"	6' - 8"	0' - 1 3/4"	H											
223	1	1' - 6"	6' - 8"	0' - 1 3/8"	A											

DOOR TYPE LEGEND																
MARK	DESCRIPTION						NOTES									
A	SWING DOOR															
B	BI-FOLD 4 PANEL															
C	BI-FOLD 2 PANEL															
D	GARAGE DOOR															
E	CASED OPENING															
F	BARN DOOR															
G	DOUBLE POCKET DOOR															
H	DOUBLE SWING DOOR															
J	POCKET DOOR															

DOOR SCHEDULE GENERAL NOTES:

- GC TO VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDERING AND MANUFACTURING DOORS.
- ALL DIMENSIONS ARE PANEL SIZES. GC TO ACCOMMODATE FOR ROUGH OPENING AT ALL OPENINGS PER MANUFACTURER SPECIFICATIONS.
- GC AND DOOR MANUFACTURER TO PROVIDE TEMPERED GLASS PER CODE. TEMPERED GLASS REQUIRED WITHIN 12" OF DOORS AND WITHIN 18" ABOVE FINISHED FLOOR.
- ALL DOORS WHICH ARE EXISTING TO REMAIN ARE SHOWN IN THE DRAWINGS, BUT ARE NOT SCHEDULED.
- EQUIP LOCKS WITH SPECIFIC INTERCHANGEABLE CORE CYLINDERS. INTERGRATE/COORDINATE KEYING INCLUDING MASTER, GRAND MASTER, AND GREAT GRAND MASTER WITH MANAGEMENT'S REQUIREMENTS.
- ALL U-VALUES TO BE 0.35 OR BETTER.

NOTE: IT IS THE INTENT OF THESE DOCUMENTS AND HARDWARE SCHEDULE TO REFLECT THE GENERAL INTENTION WITH RESPECT TO HARDWARE FUNCTION. THE GENERAL CONTRACTOR SHALL PREPARE, ALONG WITH HIS ARCHITECTURAL HARDWARE CONSULTANT, A COMPLETE HARDWARE SCHEDULE LISTING ALL THE REQUIRED COMPONENTS, PARTS, EQUIPMENT THAT FULFILLS THE INTENTION OF THESE DOCUMENTS. THIS SCHEDULE WILL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT, COMPLETE WITH PRODUCT CUTS FOR EVERY PART. IN-SO-FAR-AS IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER A FULLY FUNCTIONING HARDWARE PACKAGE WHICH IS CONSISTENT WITH THE INTENTION OF THESE DOCUMENTS. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE GRANTED BY THE OWNER OR THE ARCHITECT WHICH ARISE FROM THE GENERAL CONTRACTOR'S FAILURE TO ANTICIPATE AND/OR PROVIDE ALL COMPONENTS, EQUIPMENT, LABOR, MODIFICATION OF DOORS, BUCKS, AND/OR ADJACENT MATERIALS AND SURFACES, ETC, WHICH ARE REQUIRED FOR A FULLY FUNCTIONING CODE COMPLIANT AND TENANT DESIRED GUIDELINES COMPLIANT HARDWARE PACKAGE.

WINDOW SCHEDULE														
MARK	FRAME SIZE		ROUGH OPENING SIZE		MANUFACTURER	SERIES	MODEL	DESCRIPTION	OPERATION	COLOR	ACCESSORY GROUP	TG	NOTES	
	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT										
W2	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCAWN	SINGLE	AWNING					
4														
W3	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG					
2														
W4	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			TEMP		
2														
W5	2' - 6"	5' - 8"	2' - 6 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG			TEMP		
1														
W6	5' - 0"	5' - 8"	5' - 0 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	MULLED SINGLE HUNG	SINGLE-HUNG					
2														
W7	5' - 0"	6' - 4"	5' - 0 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	MULLED SINGLE HUNG	SINGLE-HUNG					
1														
W8	2' - 0"	5' - 0"	2' - 0 1/2"	5' - 0 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT			<varies>		
2														
W10	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCAWN	SINGLE	AWNING			TEMP - OBSCURE GLASS		
1														
W13	2' - 0"	5' - 0"	2' - 0 1/2"	5' - 0 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	CASEMENT					
11														
26														

GARAGE WINDOW SCHEDULE														
MARK	FRAME SIZE		ROUGH OPENING SIZE		MANUFACTURER	SERIES	MODEL	DESCRIPTION	OPERATION	COLOR	ACCESSORY GROUP	TG	NOTES	
	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT										
W2	2' - 0"	2' - 11"	2' - 0 1/2"	2' - 11 1/2"	JELD-WEN	AURALINE	ALCCAWN	SINGLE	AWNING					
1														
W3	2' - 6"	6' - 4"	2' - 6 1/2"	6' - 4 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG					
2														
W5	2' - 6"	5' - 8"	2' - 6 1/2"	5' - 8 1/2"	JELD-WEN	AURALINE	ALCSH	SINGLE	SINGLE-HUNG					
4														
W8	2' - 0"	5' - 0"	2' - 0 1/2"	5' - 0 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	FIXED CASEMENT					
1														
W13	2' - 0"	5' - 0"	2' - 0 1/2"	5' - 0 1/2"	JELD-WEN	AURALINE	ALCCMT	SINGLE	CASEMENT					
4														
12														

WINDOW SCHEDULE GENERAL NOTES:

- REFER TO ELEVATIONS FOR ALL ALIGNMENTS
- TEMPERED LIGHTS BELOW 18" NEXT TO DOORS, AND AT STAIRS, PER CODE.
- CONFIRM FINAL WINDOW SIZES WITH WINDOW MANUFACTURER. ROUGH OPENING SIZE BY MANUFACTURER AND ARE NOT LISTED ON THIS SCHEDULE
- ALL OPERABLE WINDOWS TO INCLUDE SCREENS
- WINDOW FRAME WIDTH TO ALIGN WITH DOOR FRAME WIDTH BELOW WHEN STACKED, WHERE APPLICABLE.



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WEST40studio

architecture / design

CARBONDALE, CO

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| 1 3/31/2025 | REVISED FULL SET |
| 2 05/07/2025 | HP COMMENTS |

LANDEN OAK - LOT 1
TURNER'S FISH CAMP

15 MERIWETHER CT
BLUFFTON, SC 29910

PROJECT NO:
23015.00

SHEET TITLE:
SCHEDULES

SCALE: 1/4" = 1'-0"

A8.1

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HISTORIC PRESERVATION COMMISSION



STAFF REPORT

Department of Growth Management

MEETING DATE:	July 2, 2025
PROJECT:	COFA-04-25-019719 5 Lawton Street Demolition of a Shed (Non-Contributing Structure)
APPLICANT:	Ansley H. Manuel, Architect (Manuel Studio)
OWNER:	James W. Jeffcoat Revocable Trust
PROJECT MANAGER:	Charlotte Moore, AICP

APPLICATION REQUEST: The Applicant, Ansley H. Manuel, on behalf of James W. Jeffcoat Revocable Trust, Owner, requests that the Historic Preservation Commission approve the following application:

A Certificate of Appropriateness-HD (Demolition) to allow the demolition of a non-contributing storage shed located at 5 Lawton Street in Old Town Bluffton Historic District and zoned Neighborhood Center-HD.

INTRODUCTION: The 1-story concrete block and wood frame shed is in the rear yard of the Eggs'n'tricities business and is approximately 400 square feet. As mentioned in the narrative provided by the Applicant (Attachment 3), the building was constructed around 1950 and is not listed as a contributing resource to the Old Town Bluffton Historic District. Removal of the shed will allow the owner to construct a new carriage house which will be used for commercial purposes. An amended Development Plan (DPA-11-24-019439) was approved in May of this year for the carriage house and related parking area.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.5.A. of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD) for demolition of non-contributing structures. The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.5.A. The Historic Preservation Commission shall consider the following in its consideration of an application for a Certificate of Appropriateness-HD for the demolition of a non-contributing structure, either in whole or in part:
 - a. The construction date, history of ownership, development, use(s), and the reason for the demolition request;

Finding. The shed is not presently listed as a Contributing Resource to the Old Town Bluffton Historic District nor does it possess the attributes to designate it as a

contributing resource, other than being an approximately 75 year old structure, which appears to have been modified over the years.

- b. Compliance with all applicable requirements in the Applications Manual.

Finding. Compliance with the Applications Manual has been demonstrated.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2.

Town Staff find that sufficient information has been provided to document the structure and that it does not possess attributes to consider a contributing resource designation and, therefore, recommends Approval of the requested demolition.

HISTORIC PRESERVATION COMMISSION ACTIONS:

As described in UDO Section 5.15.1, Old Town Bluffton Historic District Intent, the regulatory requirements, design guidelines and materials are not intended to “discourage creativity or force the replication of historic models” but to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. It is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

As granted by the powers and duties set forth in Section 2.2.6.E.4. of the UDO, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

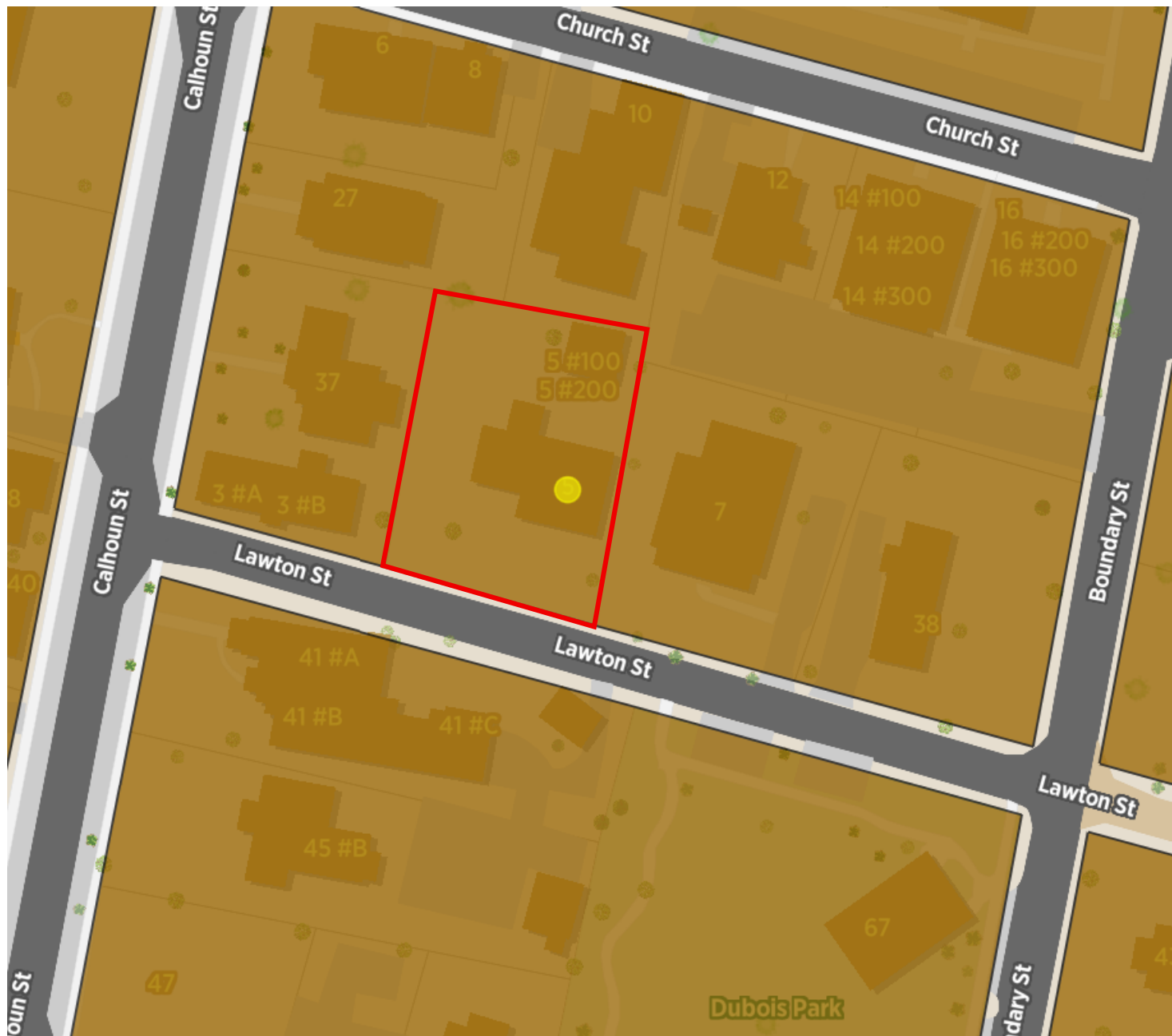
ATTACHMENTS:

1. Location and Zoning Map
2. Application
3. Narrative
4. Photos
5. Survey
6. HPRC Comments 04.14.2025

LOCATION & ZONING MAP

5 Lawton Street

Neighborhood Center-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD
TOWN BLUFFTON HISTORIC
DISTRICT (HD)-DEMOLITION APPLICATION

Growth Management Custodian

Section VII. Item #1.

Bluffton, SC 29910
(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: <i>Ansley H Manuel, Architect</i>	Name: <i>JAMES W Jeffcoat Revocable Trust</i>		
Phone: <i>843.338.8932</i>	Phone: <i>443.562.1064</i>		
Mailing Address: <i>104 Pritchard Street Bluffton, SC 29910</i>	Mailing Address: <i>605 Lakeland Road South Severna Park, MD 21146</i>		
E-mail: <i>manuel.studio@aol.com</i>	E-mail: <i>mrjeffcoat1@gmail.com</i>		
Town Business License # (if applicable): <i>LIC 03-23-048128</i>			
Project Information			
Project Name: <i>5 Lawton Street</i>		Acreage: <i>.27</i>	
Project Location: <i>5 Lawton Street</i>		Contributing Structure: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Zoning District: <i>Neighborhood Center</i>			
Tax Map Number(s): <i>RG10 03900A 00930000</i>			
Project Description: <i>Demolition of Storage Shed Located in Right, Rear Corner of Property</i>			
Minimum Requirements for Submittal			
<ol style="list-style-type: none">1. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.2. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.3. All Information required on the attached Application Checklist.4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>JAMES W Jeffcoat</i>		Date: <i>3/11/25</i>	
Applicant Signature: <i>Ansley H Manuel</i>		Date: <i>10 March 2025</i>	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

Project Narrative for 5 Lawton Street Demolition Application

The property owner, Mr. James W. Jeffcoat, wishes to demolish an existing storage shed located behind Eggs N Tricities in the right, rear corner of the property. His intentions are to replace the storage shed with an accessory commercial building.

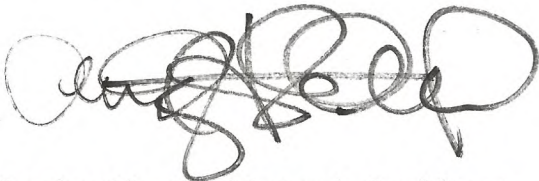
The project for the proposed commercial accessory building has been reviewed through several preapplications and a preliminary development review.

According to Beaufort County tax records, the storage shed was built in 1950 by Paul and Virginia Pinckney. The current Eggs N Tricities was once the residence of Pinckneys and built in 1946. The property remained residential until it was acquired in 2015 by Mr. Jeffcoat, the nephew of Lucille Pinckney.

The surrounding properties are mostly commercial or mixed use. The left-side adjoining properties are all commercial including Maye River Gallery and Wink/Style It Salon. The rear adjoining property is mixed use comprised of Bevan Brynne Bowler Pottery and the residence of Jacob Preston. The right-side adjoining property is all commercial consisting of Wolfgang Bakery.

The storage shed is not listed as a contributing structure. Photographs included with the submitted show a squat building with low pitched roofs. The exterior walls are comprised of a lower concrete masonry block wall and upper stud wall sheathed in a hodgepodge of exterior materials.

We respectfully ask the board to grant permission to demolish the building.

A handwritten signature in black ink, appearing to read 'Ansley Hester Manuel', with a large, stylized initial 'A'.

Ansley Hester Manuel, Architect

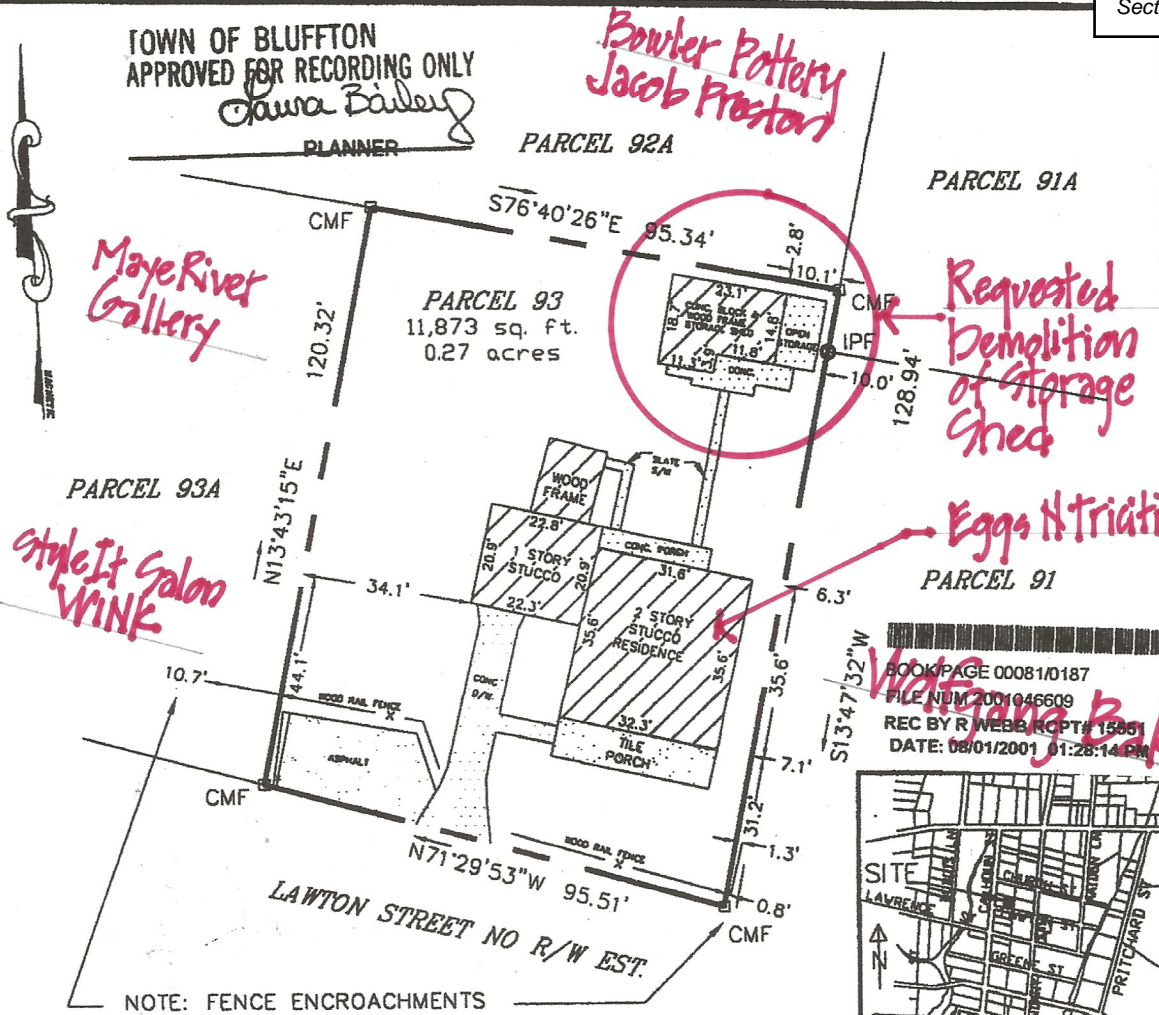








5m
Gentle 5m

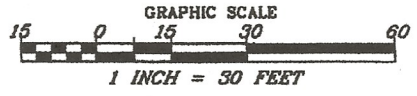


NOTE: THIS SURVEY PERFORMED BY MONUMENTATION FOUND IN THE FIELD, MAY NOT NECESSARILY MATCH REFERENCE PLAT.
CMF= CONCRETE MONUMENT FOUND
IPF= IRON PIPE FOUND

SPECIAL NOTE: THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, PROTECTIVE COVENANTS AND OTHER FACTS THAT MAY BE REVEALED BY A COMPLETE TITLE SEARCH.

REFERENCE PLAT:
A PLAT OF PARCEL 93A, PREPARED BY ME, DATED 1-6-1993(JOB#93-009A), & A PLAT PREPARED BY HORIZION SURVEYING ASSOCIATES, DATED 11-24-1997 (PROJECT NO.1197267)

NOTE: This Lot Appears to Lie In A Federal Flood Plain Zone C, Minimum Required Elevation N/A Ft. NGVD29



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PAUL R. DEAN & SUSAN M. DEAN

AN AS-BUILT SURVEY OF PARCEL 93 LAWTON STREET,
MAP 39-A, DIST. 610, TOWN OF BLUFFTON,
BEAUFORT COUNTY, SOUTH CAROLINA

DATE: JUNE 28, 2001

T-SQUARE GROUP, INC.
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.
ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED.

Forrest F. Baughman
FORREST F. BAUGHMAN, PLS # 4922



JOB # 01-073A

Added Notes
3.11.25



PLAN REVIEW COMMENTS FOR COFA-03-25-019646

Section VII. Item #1.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District - Demolition **Apply Date:** 03/13/2025
Plan Status: Active **Plan Address:** 5 Lawton St Street
BLUFFTON, SC 29910
Case Manager: Sam Barrow **Plan PIN #:** R610 039 00A 0093 0000
Plan Description: A request by Ansley Manuel (Manuel Studio), on behalf of the owner, James W. Jeffcoat Revocable Trust, for the review of a Certificate of Appropriateness-HD to allow the demolition of a non-contributing storage shed located at 5 Lawton Street in the Old Town Bluffton Historic District within the Neighborhood Center - HD zoning district.
STATUS: Concept Plan to be reviewed by HPRC April 14.

Staff Review (HD)

Submission #: 1 Recieved: 03/13/2025 Completed: 04/10/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/10/2025	Matthew Michaels	Approved

Comments:

No comments.

Growth Management Dept Review (HD)	04/10/2025	Charlotte Moore	Approved
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Comments:

Building is not a contributing resource. No comments.

HPRC Review	04/10/2025	Charlotte Moore	Approved
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Comments:

No comments.

Transportation Department Review - HD	04/10/2025	Mark Maxwell	Approved
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Watershed Management Review	04/04/2025	Samantha Crotty	Approved
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Plan Review Case Notes:

HISTORIC PRESERVATION COMMISSION



STAFF REPORT Department of Growth Management

MEETING DATE:	July 2, 2025
PROJECT:	COFA-04-25-019719 Nellie and Leroy Brown Cottage, 34 Thomas Heyward Street – The Demolition of a Contributing Resource
APPLICANT:	Jason Alexander, Owner
PROJECT MANAGER:	Glen Umberger, Historic Preservationist

APPLICATION REQUEST: The Applicant, Jason Alexander as owner, requests that the Historic Preservation Commission approve the following application:

A Certificate of Appropriateness to allow the demolition of the approximate 1,054 SF Contributing Resource known as the Nellie and Leroy Brown Cottage, located at 34 Thomas Heyward Street (Tax Parcel R610-039-00A-0223-0000) in the Old Town Bluffton Historic District and zoned Neighborhood Conservation-HD.

INTRODUCTION: The Applicant has proposed the demolition of the existing “Nellie and Leroy Brown Cottage,” a Contributing Resource; a proposal to construct a new structure at the location will be determined under a separate, future COFA-HD application. The Resource was first surveyed in September 2001 as part of the South Carolina Statewide Historic Resources Survey (Site #046-0100)(Attachment 5) and was subsequently surveyed in 2008 when it was listed as “Contributing” to the locally designated Old Town Bluffton Historic District (Attachment 6). In 2019, the Resource was again surveyed as part of the *Town of Bluffton Historic Resources Update* (Attachment 7).

The cottage was constructed in 1942 by Nelson and Nora Brown, who served as the butler and maid at Grove Point Plantation in Savannah that was purchased by George and Bessie Mercer that same year. George Mercer, who was the half-brother of musician Johnny Mercer, also owned the nearby “Mercer House” at 127 Bridge Street. In 1949, the Browns’ son, Leroy acquired the property with his wife Nellie. Leroy was employed by Great Dane Trailers in Savannah and Nellie worked for the Long Family, who owned the nearby Hancock-Long House at 123 Bridge Street. According to family sources, the cottage has not been altered since it was constructed. The property was acquired by the Applicant in March 2025. The Applicant has provided an as-built survey of the parcel (Attachment 8).

The Applicant has also provided a structural report prepared by Thomas & Reel dated April 7, 2025 which states that “the structure was boarded up and barricaded due to a previous environmental issue and deemed a biohazard by others and considered unsafe to enter (unlabeled Attachment 9). In addition, the report found that the roof, wood framing, floor, and foundation all showed significant signs of structural deterioration. The Applicant also provided a mold report, dated May 6, 2024 stating an “unhealthy indoor environment” and an “abnormal condition” of fungal growth (Attachment 10). Further, the Applicant also provided a limited asbestos bulk sampling report, dated April 21, 2025 which states that “an immediate danger and hazardous condition to human health does exist [and] noted that roof structure and floor system was collapsing and unsafe conditions were present” (Attachment 11). A wood infestation report, dated March 18, 2025 has also been provided by the Applicant (Attachment 12).

HISTORIC PRESERVATION COMMISSION ACTIONS: As described in UDO Section 5.15.1, Old Town Bluffton Historic District Intent, the regulatory requirements, design guidelines and materials are not intended to “discourage creativity or force the replication of historic models” but to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. It is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

As granted by the powers and duties set forth in Section 2.2.6.E.4. of the UDO, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant; or
4. Pursuant to Section 3.18.5.B.2., the HPC may find that the preservation and protection of the Contributing Resource and the public interest will be best served by postponing a decision for a designated period not to exceed 180 days.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.5.B. of the UDO, as adopted April 9, 2024 in assessing an application for a Certificate of Appropriateness – Historic District (HD) for the Demolition of a Contributing Resource. The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.5.B.1. The Historic Preservation Commission shall consider the following in its consideration of an application for a Certificate of Appropriateness-HD for the demolition of a Contributing Resource, either in whole or in part:

- a. The construction date, history of ownership, development, use(s), and other pertinent history of the Contributing Resource, and the reason for the request;

Finding. Based on the information and materials submitted, Staff believes this criterion has been met.

- b. A report prepared by a State of South Carolina registered professional structural engineer with demonstrated experience in historic preservation detailing the structural soundness of the Contributing Resource supported by findings, including clear and convincing evidence that demolition is necessary, in whole or in part, to alleviate a threat to public health or public safety;

Finding. Based on the information and materials submitted, Staff believes that this criterion has been met.

- c. Evidence that demolition is required to avoid exceptional practical difficulty or undue hardship upon the owner of the property and that no other reasonable alternatives to demolition exist, including but not limited to relocation. If exceptional practical difficulty or undue hardship is claimed, evidence shall be provided to demonstrate that the applicant did not have the opportunity to discover the nature of the difficulty or undue hardship, and that application of standards would deprive the applicant of reasonable use and economic return on the property;

Finding. The Applicant has provided documentation that the property is uninsurable (Attachment 13). Staff believes that this criterion has been met.

- d. Consistency with applicable principles set forth in the Old Town Bluffton Master Plan and Town of Bluffton Comprehensive Plan;

Finding. Based on the information and materials submitted, Staff believes that this criterion has been met.

- e. Compliance with all applicable requirements in the Applications Manual.

Finding. Based on the information and materials submitted, Staff believes this criterion has been met.

2. Section 3.18.5.B.2. In considering the criteria for demolition, the Historic Preservation Commission may find that the preservation and protection of the Contributing Resource and the public interest will be best served by postponing a decision for a designated period not to exceed 180 days.

During the period of postponement, the HPC shall consider what alternatives to demolition may exist. Consideration by the HPC shall include:

- a. Alternatives for preservation of the structure, either in whole or in part, including consultation with civic groups, interested private citizens, and other boards or agencies (both private and public);

Finding. The Applicant has provided letters in support of demolition by interested private citizens, including Nellie Brown's "daughter," Jane Hancock Long (Attachment 14). Staff believes this criterion has been met.

- b. If other alternatives for preservation cannot be identified, including relocation, and the preservation of the Contributing Resource is clearly in the interest of the general welfare of the community, investigation of the potential of the Town to acquire the property.

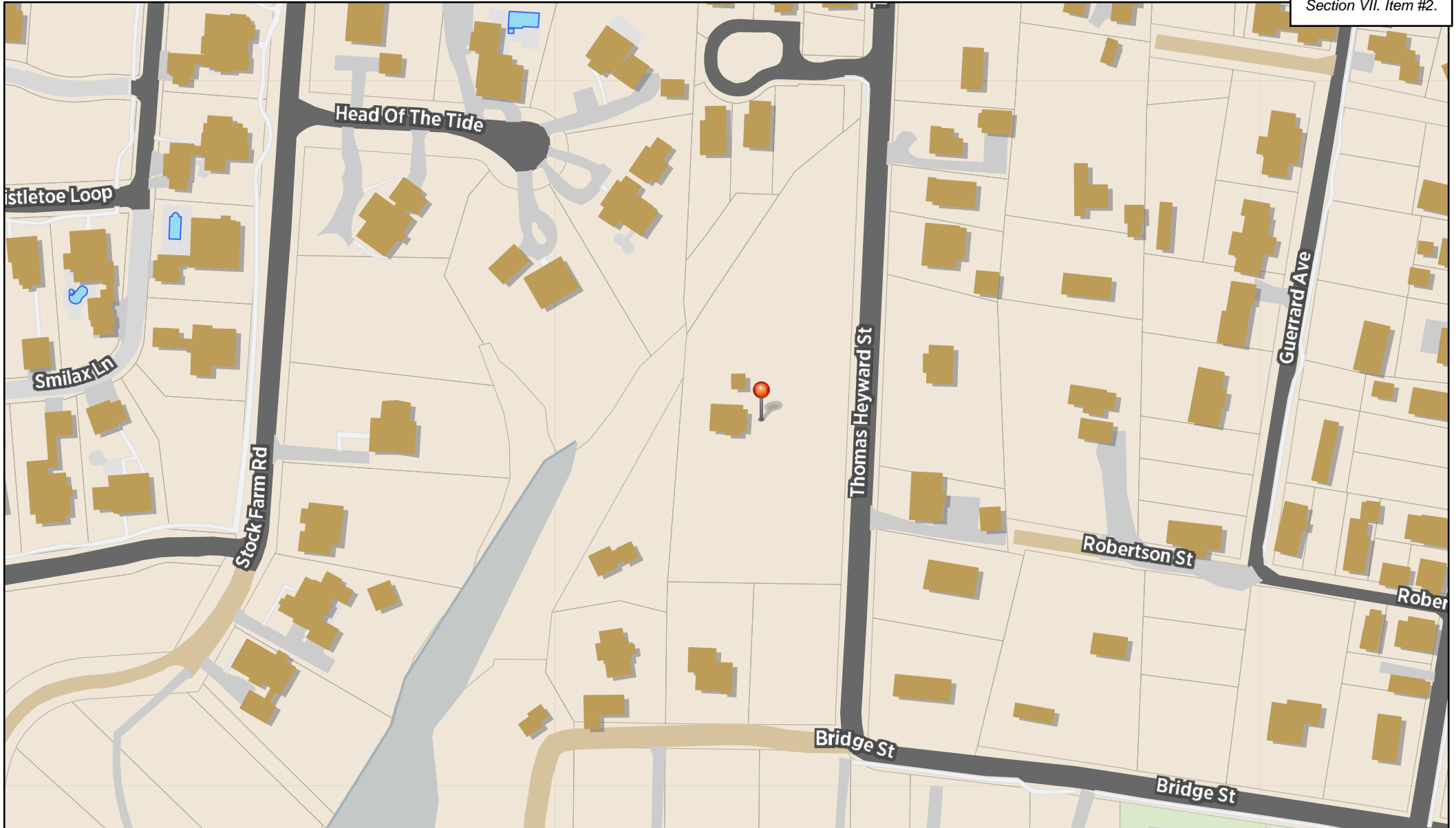
Finding. Based on the information and materials submitted, Staff believes this criterion has been met.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds the following requirements of Section 3.18.3.A. and Section 3.18.5.1. of the Unified Development Ordinance will need to be met:

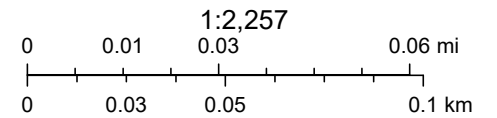
1. Per Section 3.18.3.A., any future buildings on the property will require a Certificate of Appropriateness-HD approval prior to construction.
2. Per Section 3.18.5.B.3.b., in granting a Certificate of Appropriateness-HD for demolition, the Historic Preservation Commission may impose such reasonable and additional conditions, which may include deconstruction of historic building components for re-use.
3. Per Section 3.18.5.B.3.b., the process for demolishing a Contributing Resource, including documentation to be provided, shall comply with demolition guidelines approved by Town Council.
4. Per Section 3.25.4., the demolition of a Contributing Resource does not remove its designation as a Contributing Resource to the Old Town Bluffton Historic District. Town Council alone has the authority to remove the Contributing Resource designation.

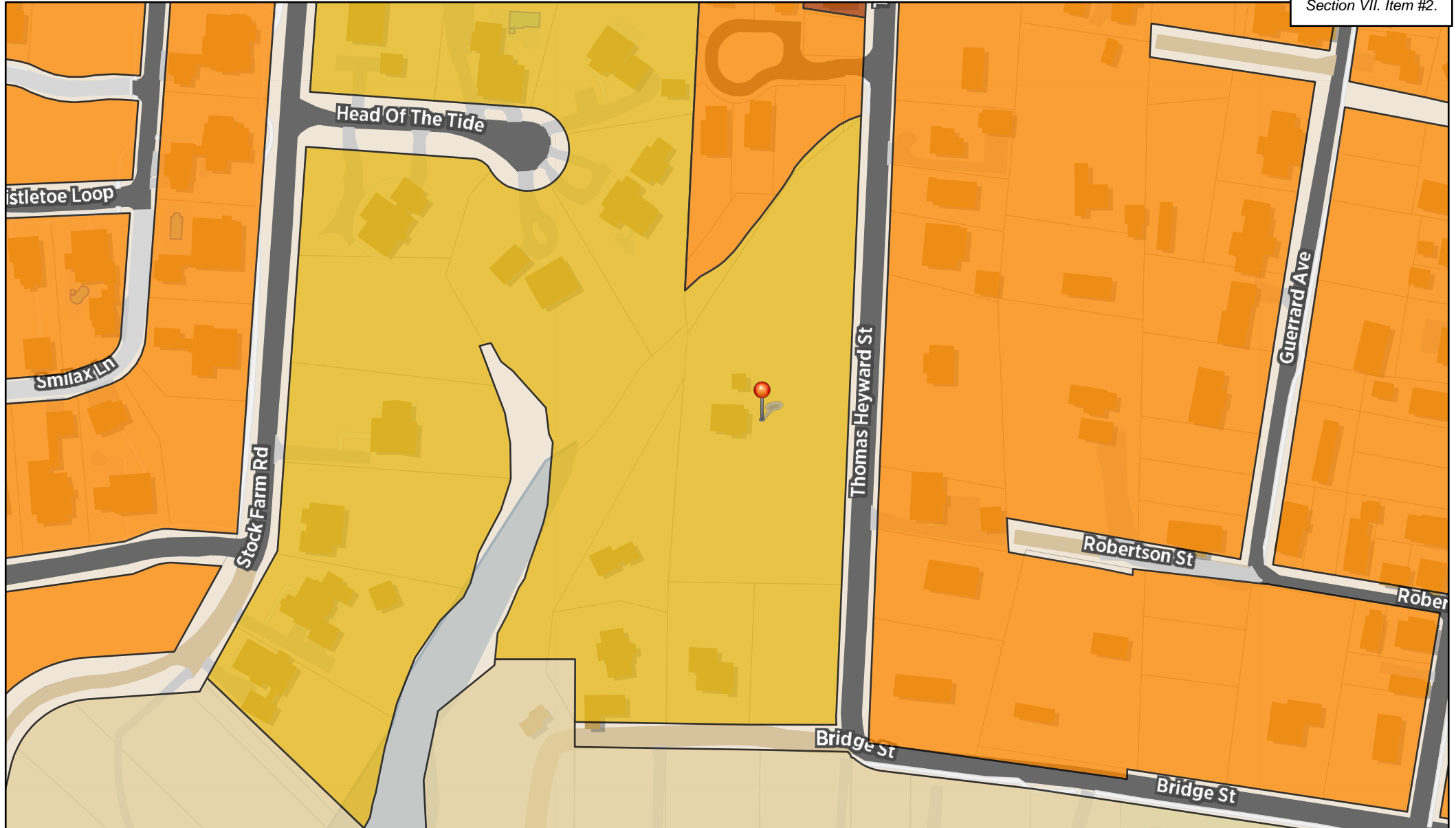
ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application and Narrative, including Exhibits
4. HPRC Comments, dated May 27, 2025
5. 2001 Survey Sheets (046-0100)
6. 2008 Survey Sheets (046-0100)
7. 2019 Survey Sheets (046-0100), edited
8. As Built Survey rev. 07/16/2024
9. Structural Engineer Report
10. Mold Report
11. Asbestos Report
12. Wood Infestation Report
13. Insurance Denial Letter
14. Letters of Support



5/29/2025, 9:54:40 AM





5/29/2025, 9:57:11 AM

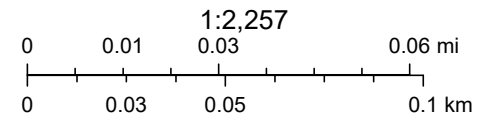
Bluffton Zoning Districts

RIVERFRONT EDGE-HD

NEIGHBORHOOD CONSERVATION-HD

NEIGHBORHOOD GENERAL-HD

NEIGHBORHOOD CORE-HD





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD
TOWN BLUFFTON HISTORIC
DISTRICT (HD)-DEMOLITION APPLICATION

Growth Management Customer Service Center
 20 Bridge Street
 Bluffton, SC 29910
 (843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Jason Alexander		Name: Jason & Carrie Alexander	
Phone: (205) 777-8967		Phone: (205) 777-8967	
Mailing Address: 316 Greenwood St. Homewood, AL 35209		Mailing Address: 316 Greenwood St. Homewood, AL 35209	
E-mail: jasoncarrie94@gmail.com		E-mail: jasoncarrie94@gmail.com	
Town Business License # (if applicable): N/A			
Project Information			
Project Name: Nellie Brown House	Acreage: 2.07 acres		
Project Location: 34 Thomas Heyward St.	Contributing Structure: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Zoning District: Neighborhood Conservation-HD			
Tax Map Number(s): R610 039 00A 0223 0000			
Project Description: Demolition of contributing structure located at 34 Thomas Heyward St.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 2. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input checked="" type="checkbox"/> 3. All Information required on the attached Application Checklist. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Jason Alexander</i>		Date: 04/22/25	
Applicant Signature: <i>Jason Alexander</i>		Date: 04/22/25	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

Project Narrative Demolition Application

Property: 34 Thomas Heyward Street
Bluffton, SC 29910
Tax Map Number - R610 039 00A 0223 0000

Applicant/Owner: Jason & Carrie Alexander
1 Head of the Tide
Bluffton, SC 29910

We, the applicant/owner, entered into a purchase agreement on April 22, 2024 to purchase the property located at 34 Thomas Heyward Street for purposes of building our primary residence. To be more specific, our desire was to divide the 2+ acre property into 4 parcels, with the intent to retain at least 3 of the parcels for ourselves and our two adult children.

Our initial plan was to renovate the existing contributing structure to serve as our secondary residence while our primary home was being built, and maintain it as a guest cottage in the long-term (Note: The Seller did not grant access to the property until a Purchase Agreement was submitted and accepted, so the condition of the contributing structure was not initially known).

During the Due Diligence period, it was discovered that the structure was in complete disrepair and that significant mold issues were present. A Baseline IAQ Mold Assessment Report was conducted by Vance Consulting Services on May 6, 2024, which concluded that it was unsafe to enter the property due to the extensive water damage and presence of heavy fungal growth. While we were no longer confident with our plan to ever occupy the contributing structure, we did move forward with the purchase of the property on March 19, 2025.

A structural engineer was engaged on April 7, 2025 to assess the structural integrity of the contributing structure. Due to the aforementioned unsafe conditions, the engineer was unfortunately not able to access the interior of the structure. Their exterior assessment determined that the roof showed signs of deterioration, the foundation was not on permanent footings, there were no straps or hold devices to support the structure, and all of the wood floor framing members needed to be replaced.

Vance Consulting Services was subsequently reengaged on April 21, 2025 to test for asbestos and to determine what, if anything, could be done to establish a safe environment to further assess the structure. Despite noting that the roof structure and floor systems were collapsed and created unsafe conditions, they were able to safely collect samples for testing. Their laboratory findings included concerning levels of asbestos in the joint compound in the back bedroom and in the VFC/backing in the living room closet, bathroom, and kitchen. Their assessment was that the mold hazards and structural integrity of the roof and subfloor system,

coupled with the presence of asbestos containing materials, created an unsafe structure and that one should assume that immediate danger and hazardous conditions to human health exists. To paraphrase their findings, it would not be safe to enter the property to conduct the necessary asbestos remediation work, and the mold and structural issues would still require the removal of the majority of the remaining materials even if the asbestos could be safely remediated. For those reasons, Vance Consulting Services recommended that the building be categorized as a “razed structure or an emergency demolition structure in which the residential structure is considered an Environmental Hazardous Condition that also contains compromised asbestos containing materials.” They, of course, also recommended that the appropriate safety steps should be taken upon demolition.

We are fully supportive of the Town’s efforts to preserve the historical character of the community, and realize that that is what makes Bluffton so special - It’s why we chose to move here. We also fully understand the sensitivity of this being a contributing structure, but there is just no indication that the structure can be safely salvaged and there would be little to no original materials remaining even if it could be safely salvaged.

While we would still like to proceed with the overall plan of dividing the property into 4 parcels and retaining most, if not, all of the parcels for our personal use, we are requesting approval to demolish the contributing structure due to its inability to be rehabilitated per the results of the mold report, the structural engineering report, and the asbestos report.

It is important to note that we have not been able to obtain liability insurance coverage for the property due to the condition of the contributing structure, and we are very concerned about our significant risk exposure. Therefore, we are respectfully requesting that the demolition approval be granted as soon as possible.



PLAN REVIEW COMMENTS FOR COFA-04-25-019719

Section VII. Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type:	Historic District - Demolition	Apply Date:	04/23/2025
Plan Status:	Active	Plan Address:	34 Thomas Heyward St Street BLUFFTON, SC 29910
Case Manager:	Glen Umberger	Plan PIN #:	R610 039 00A 0223 0000
Plan Description:	A request by Jason Alexander, Applicant and Property Owner, for review of a Certificate of Appropriateness-Historic District-Demolition, to allow the demolition of an existing house located at 34 Thomas Heyward Street (Parcel R610 039 00A 0223 0000). The cottage is a Contributing Resource to the Old Town Bluffton Historic District and is known as the Nellie and Leroy Brown Cottage. The property is zoned Neighborhood Conservation-Historic District (NCV-HD). STATUS (05.15.2025): Concept Plan to be reviewed by the HPRC on May 27.		

Staff Review (HD)

Submission #: 1 Recieved: 04/23/2025 Completed: 05/20/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Watershed Management Review	05/20/2025	William Baugher	Not Required

Beaufort Jasper Water and Sewer Review	05/20/2025	Matthew Michaels	Approved with Conditions
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Comments:
No comments at this time.

Growth Management Dept Review (HD)	05/20/2025	Glen Umberger	Approved with Conditions
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- Comments:**
1. The HPC shall consider the construction date, history of ownership, development, use(s), and other pertinent history of the Contributing Resource, and the reason for the request (3.18.5.B.1.a.).
 2. In considering the criteria for demolition, the Historic Preservation Commission may find that the preservation and protection of the Contributing Resource and the public interest will best be served by postponing a decision for a designated period not to exceed 180 days. During the period of postponement, the Historic Preservation Commission shall consider what alternatives to demolition may exist (3.18.5.B.2.).
 3. In granting a Certificate of Appropriateness-HD for demolition, the Historic Preservation Commission may impose such reasonable and additional conditions, which may include deconstruction of historic building components for re-use (3.18.5.B.3.a.).
 4. The process for demolishing a Contributing Resource, including documentation to be provided, shall comply with demolition guidelines approved by Town Council (3.18.5.B.3.b.).
 5. Any future buildings on the property will require a Certificate of Appropriateness-HD approval prior to construction (3.18.3.A.).
 6. Demolition of the Contributing Resource does not remove its designation as a Contributing Resource to the Old Town Bluffton Historic District. Only Town Council has the authority to remove the Contributing Resource designation (3.25.4.).

HPRC Review	05/20/2025	Charlotte Moore	Approved
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Comments:
No comments.

Plan Review Case Notes:

Statewide Survey of Historic Resources

State Historic Preservation Office

South Carolina Department of Archives and History

8301 Parklane Road

Columbia, SC 29223-4905 (803) 896-6100

Control Number: U/11

Section VII. Item #2.

Status County Site No.

Quadrangle Name: 046

Tax Number: R 610 039 00A 0223 0000

Intensive Survey Form**Identification**

Historic Name: Brown house

Common Name:

Address/Location: 34 Heyward St

City: Bluffton

County: Beaufort

Vicinity of:

Ownership:

- ☒ Private
☐ Corporate
☐ City
☐ County
☐ State
☐ Federal
☐ Unknown/Other

Category:

- ☒ Building
☐ Site
☐ Structure
☐ Object

Historical Use:

- ☒ single dwelling
☐ multi dwelling
☐ commercial
☐ other

Current Use:

- ☒ single dwelling
☐ multi dwelling
☐ commercial
☐ other

SHPO National Register Determination of Eligibility:

- ☐ Eligible
☐ Not Eligible
☐ Contributes to Eligible District
☐ Contributes to Listed District
☐ Potentially Eligible
☐ Listed
☐ Determined Eligible/Owner Objection
☐ Removed from NR

Other Designation:

Property Description

Construction Date: c. 1910

Alteration Date: c. 1960, c. 1980

Commercial Form:

Stories:

- ☐ 1 ½ Stories
☐ 2 Stories
☐ 2 ½ Stories
☐ Stories
☒ Other: 1 Story

Construction Method:

- ☒ Frame
☐ Log
☐ Steel
☐ Other:

Historic Core Shape:

- ☒ Rectangular
☐ Square
☐ L
☐ T
☐ U
☐ H
☐ Octagonal
☐ Irregular
☐ Other:

Exterior Walls:

- ☐ Weatherboard
☐ Beaded Weatherboard
☐ Shiplap
☐ Flushboard
☐ Wood Shingle
☐ Stucco

- ☐ Tabby
☐ Brick
☐ Brick Veneer
☐ Stone Veneer
☐ Cast-Stone
☐ Marble

- ☐ Asphalt roll
☒ Synthetic siding
☐ Asbestos shingle
☐ Pigmented Structural Glass
☐ Other:

Roof Features

Materials: raised seam metal

Shape: gable, lateral

Foundation:

- ☐ Not Visible
☐ Brick Pier
☐ Brick Pier with Fill
☐ Brick

- ☐ Stuccoed Masonry
☐ Stone Pier
☐ Stone
☐ Concrete Block

- ☐ Slab Construction
☐ Basement
☐ Raised Basement
☒ Other: Concrete piers

Porch Features

Width: full facade

Shape: hip

Significant Architectural Features: front porch and rear addition – open eaves with exposed rafters; int. brick chimney

South Carolina Statewide Survey of Historic Resources
Intensive Survey Form

Section VII. Item #2.

Site No.: 046-0100

Alterations: porch screened and rear addition added – c.1960; orig. windows replaced with dbl-hung horiz. 2/2 and synthetic siding added over orig. weatherboard – c.1980

Architect(s)/Builder(s): Building constructed for Eugene and Cornelia Brown, parents of owner Ms. Nellie Brown

Historical Information

Historical Information: Property purchased by Eugene and Cornelia Brown on April 28, 1910 from J. W. Guerard. Their daughter, Nellie Brown, now owns and resides on the property.

Source of Information: Beaufort County Deeds Office / Nellie Brown (owner)

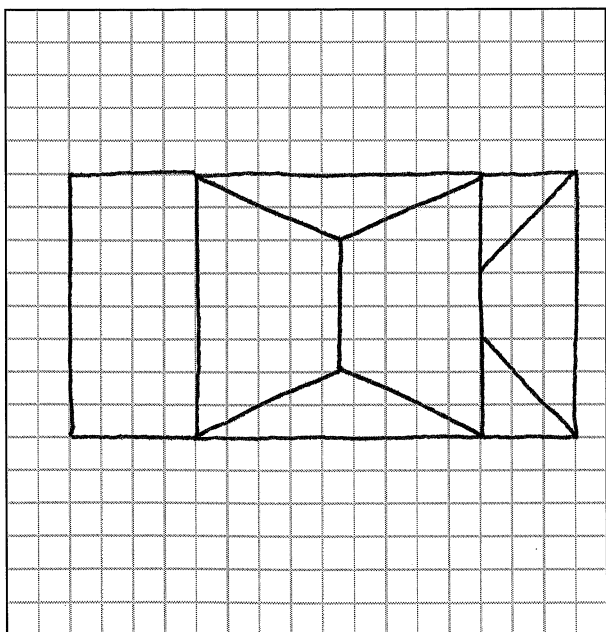
Photographs

Roll No. Neg. No. View of

2	36	East Elevation
2	35	Northeastern Oblique

Use Grid for Sketching

Attach Photographs Here

**Program Management**

Recorded by: Margaret E. Martin

PRESCON Consulting

Date Recorded: 19 September 2001



Roll No. 2, Neg. No. 36 – East Elevation



Roll No. 2, Neg. No. 35 – Northeastern Oblique

Statewide Survey of Historic Properties

State Historic Preservation Office

South Carolina Department of Archives and History

101 Parklane Road

Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 13

Section VII. Item #2.

Status County No. Site No.

Quadrangle Name: Bluffton

Tax Number: 39A-223

Intensive Survey Form

Identification

Historic Name: _____

Common Name: _____

Address/Location: 34 A Heyward Street

City: Bluffton

County: Beaufort

Vicinity of: _____

Ownership:

1 Private

2 Corporate

3 City

4 County

5 State

6 Federal

0 Unknown/Other

Category:

1 Building

2 Site

3 Structure

4 Object

Historical Use:

1 single dwelling

2 multi dwelling

3 commercial

4 other

Current Use:

1 single dwelling

2 multi dwelling

3 commercial

4 other

SHPO National Register Determination of Eligibility:

1 Eligible

2 Not Eligible

3 Contributes to Eligible District

4 Contributes to Listed District

5 Potentially Eligible

6 Listed

7 Determined Eligible/Owner Objection

8 Removed from NR

Other Designation: _____

Property Description

Construction Date: _____

Alteration Date: _____

Commercial Form: _____

Stories:

1 1 Story

2 1 1/2 Stories

3 2 Stories

4 2 1/2 Stories

5 3 Stories

0 Other: _____

Construction Method:

1 Masonry

2 Frame

3 Log

4 Steel

0 Other: _____

Historic Core Shape:

1 Rectangular

6 H

2 Square

7 Octagonal

3 L

8 Irregular

4 T

0 Other: _____

5 U

Exterior Walls:

1 Weatherboard

2 Beaded Weatherboard

3 Shiplap

4 Flushboard

5 Wood Shingle

6 Stucco

7 Tabby

8 Brick

9 Brick Veneer

10 Stone Veneer

11 Cast-Stone

12 Marble

13 Asphalt roll

14 Synthetic siding

15 Asbestos shingle

16 Pigmented Structural Glass

17 Other: _____

Roof Features

Shape: Gable front to back

Materials: Green raised metal seam

Foundation:

1 Not Visible

2 Brick Pier

3 Brick Pier with Fill

4 Brick

5 Stuccoed Masonry

6 Stone Pier

7 Stone

8 Concrete Block

9 Slab Construction

10 Basement

11 Raised Basement

12 Other: _____

Porch Features

Width: Entrance

Shape: Flat, screened

Significant Architectural Features: _____

South Carolina Statewide Survey of Historic Properties

Intensive Survey Form

Section VII. Item #2.

Site No.: U / 13 / 046-0100

Alterations: Garage added to lot, windows replaced with wood horizontal pane. Porch either added or foundation shore
up with concrete.

Architect(s)/Builder(s): _____

Historical Information

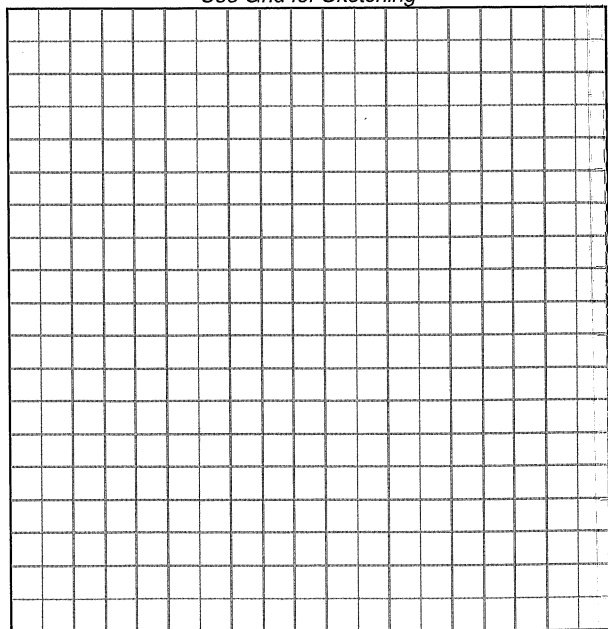
Historical Information: _____

Source of Information: _____

Photographs

Roll No. Neg. No. View of

Use Grid for Sketching

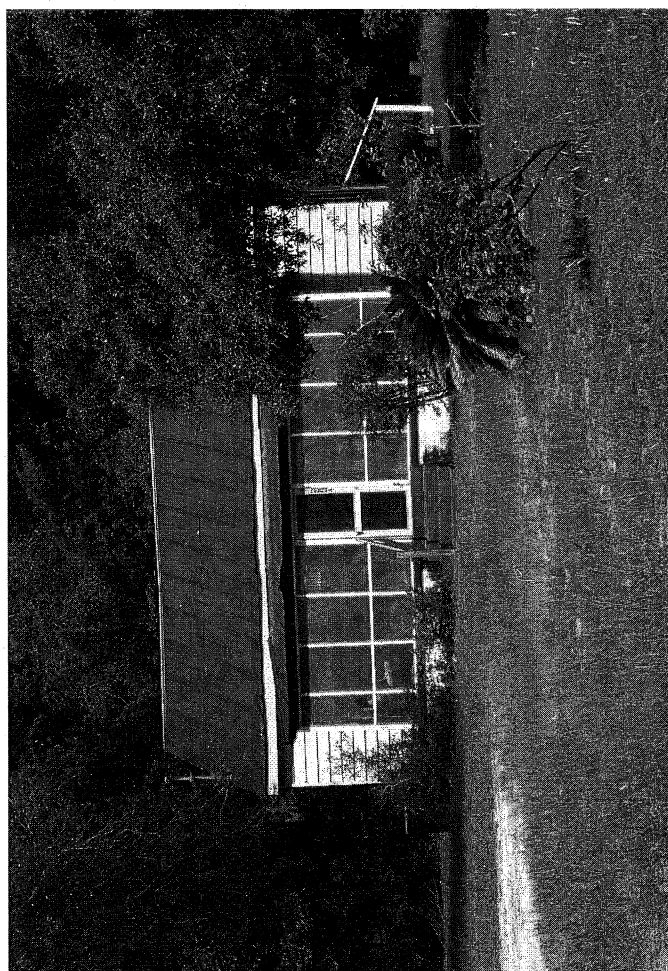


Program Management

Recorded by: Will Thompson

Maggie O'Brien

Date Recorded: July 1, 2008



Statewide Survey of Historic Properties
 State Historic Preservation Office
 South Carolina Department of Archives and History
 8301 Parklane Road
 Columbia, SC 29223-4905 (803) 896-6100

U / 046-0100 Revisit: ☒
 Status Site No.
 Quadrangle Name: Bluffton
 Tax Map No.: R610 039 00A 0223 0000

Survey Form**Identification**

Historic Name: House
 Common Name: NELLIE & LEROY BROWN
 Address/Location: 34 Thomas Heyward Street
 City: Bluffton Vicinity of ☐ County: Beaufort

Ownership: Private Category: Building
 Historical Use: Domestic Historical Use (if Other):
 Current Use: Domestic Current Use (if Other):

SHPO National Register Determination of Eligibility:

Property Description

Construction Date: c. 1940 1942
 Construction: Frame Construction (if Other):
 Historic Core Shape: Rectangular Historic Core Shape (if Other):
 Exterior Walls: Weatherboard Exterior Walls (if Other):
 Foundation: Not visible Foundation (if Other):
 Commercial Form: Commercial Form (if Other):
 Roof Shape: Gable, lateral Roof Shape (if Other):
 Roof Materials: Raised seam metal Roof Materials (if Other):
 Stories: 1 story Stories (if Other):
 Porch Width: Over 1 bay but < full facade Porch Width (if Other):
 Porch Shape: Shed Porch Shape (if Other):

Description/Significant Features:

Alterations (include date(s), if known) NONE. where?
 Possibly later alteration of vinyl siding and closed soffits. Historic shed roof rear addition. Detached wood frame garage with 2 open bays has exposed rafters and appears to be weatherboard.

Architect(s)/Builder(s):

BUILT BY
NELSON AND NORA BROWN
(BUTLER AND MAID AT GROVE
POINT PLANTATION -
OWNED BY GEORGE MERCER
(SEE MERCER HOUSE
127 BRIDGE ST.)

**South Carolina Statewide Survey of Historic Properties
Survey Form**Page 2
Site No.: 046-0100

Section VII. Item #2.

Historical Information

Historical Information:

SON, LEROY BROWN & WIFE
NELLIE
ACQUIRED PROPERTY
IN 1949.

Source of Information:

BROWN EMPLOYED
BY GREAT DANE TRAILERS
NELLIE WORKED FOR
LONG FAMILY (046-0128)
NO ALTERATIONS SINCE 1942

Digital Photo ID(s):

Digital Photo ID 01: 100001
View 01 facing W
Digital Photo ID 02: 100004
View 02 facing NW
Digital Photo ID 03: 100007
View 03 facing SW
Digital Photo ID 04:
View 04
Digital Photo ID 05:
View 05

Digital Photo ID 06:
View 06
Digital Photo ID 07:
View 07
Digital Photo ID 08:
View 08
Digital Photo ID 09:
View 09
Digital Photo ID 10:
View 10

Program Management

Recorded by: Lannie Kittrell

Organization: Brockington

Date Recorded: 1/18/2019

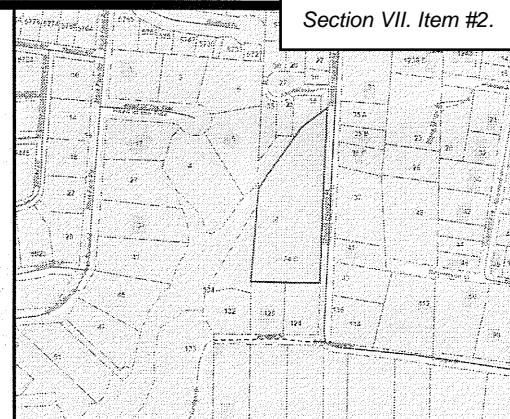
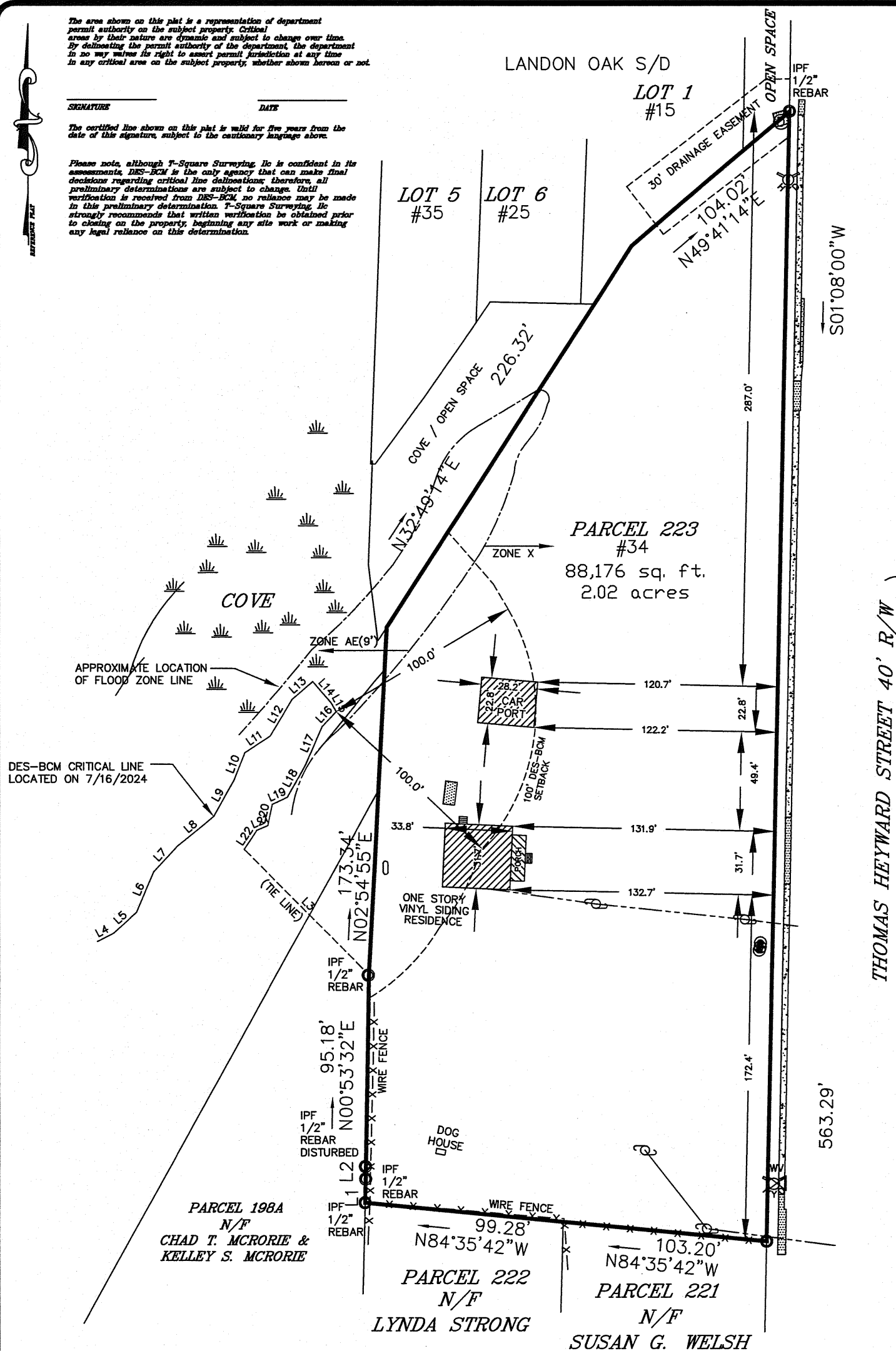
The area shown on this plot is a representation of department permit authority on the subject property. Critical areas by their nature are dynamic and subject to change over time. By delineating the permit authority of the department, the department in no way waives its right to assert permit jurisdiction at any time in any critical area on the subject property, whether shown hereon or not.

SIGNATURE

DATA























The certified line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.

Please note, although T-Square Surveying, Inc is confident in its assessment, DES-BCM is the only agency that can make final decisions regarding critical line delimitations; therefore, all preliminary determinations are subject to change. Until verification is received from DES-BCM, no reliance may be made in this preliminary determination T-Square Surveying, Inc has no responsibility for any errors or omissions that may be observed prior to closing on the property, beginning any site work or making any legal reliance on this determination.



LOCATION MAP NOT TO SCALE

LEGEND

-  CMS - CONCRETE MONUMENT SET
-  CMF - CONCRETE MONUMENT FOUND
-  IPS - IRON PIN SET
-  IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
-  - TELEPHONE PEDESTAL/
COMMUNICATOR
-  - SEWER LATERAL
-  - SANITARY SEWER MANHOLE
-  - ELECTRIC BOX
-  - SPOT ELEVATION SHOTS
- 2' -  - CONTOUR LINES
-  - XFMR - TRANSFORMER
-  - WATER LATERAL
-  - WATER METER
-  - IRRIGATION CONTROL VALVE
-  - FIRE HYDRANT
-  - GRATE INLET
-  - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
-  - GUY LINE
-  - LIGHT POLE
-  - STORM DRAIN MANHOLE
-  - FIBEROPTICS MANHOLE
-  - PROPANE TANK

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.00	N01°21'23"E
L2	6.33	N01°21'52"E
L3	84.30	S45°00'00"E
L4	9.02	N62°48'27"E
L5	15.42	N48°07'32"E
L6	21.95	N23°23'18"E
L7	16.84	N42°41'13"E
L8	24.08	N50°49'14"E
L9	20.73	N29°32'48"E
L10	14.69	N21°38'04"E
L11	15.40	N56°45'29"E
L12	21.33	N30°41'41"E
L13	13.54	N49°10'21"E
L14	14.01	S41°05'05"E
L15	5.17	S30°40'36"E
L16	10.21	S43°07'19"E
L17	21.28	S23°36'17"E
L18	18.24	S29°28'32"E
L19	8.27	S65°11'28"W
L20	10.76	S13°05'28"W
L21	5.99	S65°44'17"W
L22	11.26	S34°15'16"W

GRAPHIC SCALE

30' 0' 30' 60' 120'

1 INCH = 60 FEET

- NOTES: 1. According To FEMA Flood Insurance Rate Map # 45013C0426G
This Lot Appears To Lie In A Federal Flood Plain Zones AE & X, Minimum
Required Elevation 9 Ft. NAVD88.
2. This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.
3. All Building Setback Requirements Should Be Verified With The Proper
Authorities Prior To Design And Construction.

DIST. 610, MAP 39A, PARCEL 223

REFERENCE PLAT(S):

A PLAT OF PARCEL 223 BY WILLIAM H. GRAY, JR.,
PREPARED FOR NELLIE BROWN, DATED 5/6/2008.

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

KAREN CORNISH

AN AS-BUILT SURVEY OF PARCEL 223 THOMAS HEYWARD STREET,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

REVISED 7/16/2024 TO LOCATE DES-BCM FLAGS
WEST OF THE PROPERTY.

DATE: SEPTEMBER 14, 2023



PROFESSIONAL LAND SURVEYORS

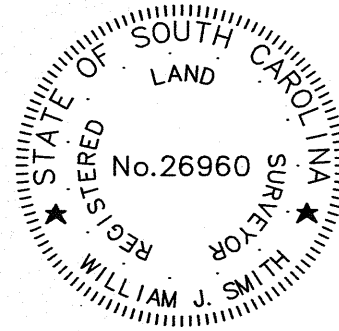
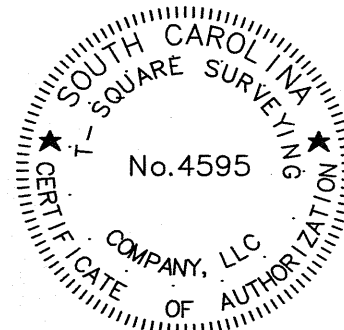
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@chargray.com

Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
AS SPECIFIED THEREIN.

ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED.

WILLIAM J. SMITH, PLS # 26960



JOB # 23-428AR



ATTACHMENT 9

Thomas & Reel

Engineering Consultants, Inc.

Section VII. Item #2.

April 7, 2025

Reference: 34 Thomas Heyward Street
Bluffton, SC

For the referenced address;

A site visit was made to view the structural condition of an existing structure.

The structure was boarded up and barricaded due to a previous environmental issue and deemed a bio hazard by others and considered unsafe to enter.

The metal roof showed significant signs of deterioration and was tarped

The crawlspace was examined. The foundation is made of pre cast pier blocks without evidence of a permanent footing. In addition there are no straps or hold down devices to secure the structure. The wood framing of the floor showed of structural deterioration. The foundation should be re built on a permanent footing and pier system and all wood floor framing member to be re built.



Respectfully,
**Thomas & Reel Engineering Consultants,
Inc. Michael I. Thomas, P.E.**

President/Owner

Mthomas@thomasreel.com

www.thomasreel.com

Structural, Civil, Mechanical and Forensic Engineering
9100 White Bluff Road, Building 300, Suite 306, Savannah, Georgia 31406
Post Office Box 15818, Savannah, Georgia 31416
Tel: 912-920-0950 / Fax: 912-920-0948
Offices: Savannah, Bluffton, Charlotte

4-7-2025



Invoice VC24-06 Vance Consulting Services

Section VII. Item #2.

May 6, 2024

Attention: Ms. Catherine Donaldson
Daniel Ravenel Sotheby's International Realty
Bluffton, South Carolina 29910

Baseline IAQ Mold Assessment Report

34 Thomas Heyward Residence
Bluffton, SC
VC24-06

Field Services	\$150.00
Air Surface Sampling Fee	\$420.00
Reporting Services	\$250.00
TOTAL AMOUNT DUE	\$820.00

Please make payment by Zelle
Barry J Vance, 843-505-0416

8 Buckingham Plantation Drive
Bluffton, SC 29910
Office: (843) 505-0416

*Vance Consulting, LLC.*

Section VII. Item #2.

8 Buckingham Plantation Drive
Bluffton, South Carolina 29910
Mobile: 843-505-0416

Email: bvance.sacs23@gmail.com

May 6, 2024

Attention: Ms. Catherine DonaldsonDaniel Ravenel Sotheby's International Realty
Bluffton, South Carolina 29910

Subject: **Baseline IAQ Mold Assessment Report**
 Residence at 34 Thomas Heyward
 Bluffton, South Carolina 29910
 VC24-06

Vance Consulting Services, LLC is please to present this Baseline IAQ Mold Assessment Report for the above-referenced project.

Purpose

At the request of Ms. Donaldson, we were to document the current conditions and obtain indoor air quality samples from randomly selected interior areas to determine the current airborne fungal spore concentrations. In addition, we were to obtain surface samples from randomly selected areas that contained visible evidence of fungal colonization to determine the absence/presence of fungal growth. Based on our laboratory results, we were to offer our professional opinion whether an **"abnormal or impaired"** airborne fungal spore and mold condition exists within the indoor environment.

Report Qualifications

This report represents the condition of the property at the time the work was performed and may not represent the condition of the property at a later date. It should be noted that no building envelope evaluation, structural assessments, invasive inspections, or other types of inspections/sampling was performed. Our work was not intended to perform a comprehensive study to locate interior or exterior physical damage or defects. Also, it should be noted that microbial/biological growth, humidity conditions, and moisture will vary within the home due to HVAC cooling or heating operations, building conditions, and changes to the outdoor environmental conditions. **We are not liable** for failure to discover any hidden mold conditions related to this sampling event.

"Building & Environmental Services"

May 6, 2024

Page 2

Baseline IAQ Mold Assessment Report

Residence at 34 Thomas Heyward

Bluffton, South Carolina 29910

VC24-06



The following paragraphs summarize our work, findings, results, and recommendations.

Summary of Findings

Mr. Barry J Vance, Certified Indoor Air Quality Professional (CIAQP), License # 595 (expires December 31, 2023) visited the subject property on May 2, 2024 to document the current conditions and perform the require IAQ and mold sampling. At the time of our visit, Ms. Donaldson and the current homeowner granted us access to the home and showed us the interior areas.

Visual Inspection: Our observations of the interior building components (i.e. walls and ceilings) revealed evidence of water damage, water staining and heavy fungal growth throughout the interior. Water damage and fungal growth was most present on the interior ceilings, which would suggest the exterior roof assembly has been severely compromised, see photographs in **Appendix A**.

Occupancy/Building Hazard: Due to the extensive water damage materials and presence of heavy fungal growth, an **unhealthy indoor environment** is present. In our professional opinion, it is possible that allergenic symptoms, inhalation issues, and dermal exposure, could affect or impair the human health of the individuals who occupy the home.

Surface Sampling: From review of our laboratory results, **evidence of Chaetomium and Stachybotrys water damage mold spores, growth, and hyphal fragments** were detected. In addition, other mold species such as Aspergillus/Penicillium/Cladosporium were also detected. In our professional opinion, the reported fungal growth on interior surfaces is considered an **"abnormal condition"**.

Occupancy/Building Hazard: Due to the extensive water damage materials and presence of heavy fungal growth, an **unhealthy indoor environment** is present. In our professional opinion, it is possible that allergenic symptoms, inhalation issues, and dermal exposure, could affect or impair the human health of the individuals who occupy the home.

May 6, 2024

Page 3

Baseline IAQ Mold Assessment Report

Residence at 34 Thomas Heyward

Bluffton, South Carolina 29910

VC24-06



Indoor Air Quality Criteria: In general, there will always be airborne fungal spores present in “normal” indoor environments and currently, there are no state or federal “official” standards for airborne fungal spores, or other microorganisms (bacterial-bioaerosols). However, some professional organizations have expressed an opinion that the following concentrations and criteria are **acceptable**;

~Residential Structures should have total indoor volumetric spore concentrations **below** 2,000 spores/m³. In addition, Aspergillus/Penicillium/Cladosporium concentrations should be **below** 700 spores/m³. All other opportunistic spores should be equal to or less than outdoors;

~No evidence of water damaged molds such as **Chaetomium**, **Stachybotrys**, **Ulocladium**, **Fusarium**, and **Memnoniella** should be present or detected.

From review of our indoor air quality results, the current indoor airborne fungal spore concentrations obtained from interior sampled areas are considered **high and acceptable**. The total indoor volumetric spore concentrations were **significantly above** 2,000 spores/m³ and the Aspergillus/Penicillium/Cladosporium fungal spore concentrations were **significantly above** 700 spores/m³. In addition, some other opportunistic spores **higher** inside than those found outdoors.

Occupancy/Building Hazard: Due to the extensive water damage materials, presence of heavy fungal growth, and an “impaired or abnormal” indoor airborne fungal spore concentration does exist within the indoor environment and the current indoor air quality is considered **unhealthy**. In our professional opinion, it is possible that allergenic symptoms, inhalation issues, and dermal exposure, could affect or impair the human health of the individuals who occupy the home.

Sampling Procedures

Surface Sampling: **Three (3)** surface samples were obtained from interior building components that showed evidence of fungal colonization. The surface samples were obtained by two different surface sampling methods: (1) Sterile Tape Lift Plastic Slide, and (2) A HealthLink two-tip rayon sterile swab.

May 6, 2024

Page 4

Baseline IAQ Mold Assessment Report

Residence at 34 Thomas Heyward

Bluffton, South Carolina 29910

VC24-06



The surface samples were placed in the laboratory-prepared plastic containers, chilled, and shipped to Aerobiology Laboratory Associates, Inc. in Smyrna, Georgia. To document the required sample possession, a chain-of-custody record accompanied the samples to the laboratory.

Indoor Air Quality Sampling: The Aero-Spore Trap device was used to collect the air samples. The Aero-Spore Trap is designed to collect/trap spores onto a grease-coated receiver (slide). The Aero-Spore Trap Device was set at normal breathing levels (approximately 5-6 feet above floor) and we proceeded to obtain **two (2) indoor air samples** from the following areas: **(1) Living/Dining Room, and (2) Hallway between bathroom and back bedroom**. In addition, **one (1) outdoor air sample** was collected approximately 75 feet away from the home to serve as a control/background sample.

In accordance with the Indoor Environmental Standard Organization (IESO), we used the recommended sampling time--**Active conditions, evidence of fungal growth, dust and debris, sampling time of 5 minutes**. Based on these conditions, we pre-calibrated the aero-trap sampler to an air-flow rate of 15 liters/minute and collected over duration of **5 minutes** for a total of 75 liters of air. Once the sampling was completed, the air samples were placed in laboratory-prepared plastic containers and shipped to a third-party National Voluntary Laboratory Accreditation Program (NVLAP) laboratory (i.e. Aerobiology Laboratories) in Smyrna, Georgia. All fungal structures (including spores and hyphal fragments) are counted and identified.

Results

Surface Sampling: From review of our laboratory results, **evidence of Chaetomium and Stachybotrys water damage mold spores, growth, and hyphal fragments** were detected. In addition, other mold species such as Aspergillus/Penicillium/Cladosporium were also detected. Results are shown in **Appendix B**.

Results-Indoor Air Quality: From review of our laboratory results, the total indoor volumetric spore concentrations were **significantly above** 2,000 spores/m³ and the Aspergillus/Penicillium/Cladosporium fungal spore concentrations were **significantly above** 700 spores/m³.

May 6, 2024
 Page 5
Baseline IAQ Mold Assessment Report
 Residence at 34 Thomas Heyward
 Bluffton, South Carolina 29910
 VC24-06



In addition, some other opportunistic spores **higher** inside than those found outdoors. A summary of the lab results are shown below and the laboratory data is presented in Appendix A.

<u>Total Spore Concentrations</u>	<u>Acceptable Levels</u> 2000 spores/m ³	<u>Current Levels</u>
Living/Dining Room		6,547 spores/m ³
Hallway between bathroom and back bedroom		36,693 spores/m ³
Average Total Indoor Spores		21,620 spores/m³
Outside		7,200 spores/m ³
<u>Aspergillus/Penicillium/Cladosporium</u>	<u>Acceptable Levels</u> 700 spores/m ³	<u>Current Levels</u>
Living/Dining Room		3,000 spores/m ³
Hallway between bathroom and back bedroom		30,613 spores/m ³
Average Total Indoor Spores		16,807 spores/m³
Outside		3,480 spores/m ³

Occupancy/Building Hazard: As building and indoor quality consultants, we cannot evaluate the individual's health exposures or risks associated with these different microorganisms, exposure, or their concentrations. However, we have listed the following associated mold hazards:

In general, **Chaetomium and Stachybotrys spores/growth** is usually found indoors when a prolonged wet, damp, or major water event has taken place. **Stachybotrys** is usually the cause of the "Sick Building Syndrome" and this mold is not known to compete well with other molds. Stachybotrys can become the dominant mold when there is a high level and constant availability of water over an extended period of time. In most cases, Stachybotrys can grow and colonize within 3-6 weeks under the right environment and the availability of a wet surface.

In addition, **Aspergillus/Penicillium spores/growth** were found inside the home at high concentrations. **Chaetomium, Stachybotrys and some Aspergillus/Penicillium species** can produce toxins called "mycotoxins".

May 6, 2024

Page 6

Baseline IAQ Mold Assessment Report

Residence at 34 Thomas Heyward

Bluffton, South Carolina 29910

VC24-06



These mycotoxins are produced in the spores, hyphal fragments, and the main fruiting bodies and these spores can contaminate the interior air space through physical disturbance. In addition, "mycotoxins" can cause individuals to suffer general allergy related symptoms, as well as, cause prolong health related problems. Some health related symptoms are listed below:

- Respiratory problems, eye irritation, and throat irritations;
- Skin inflammation;
- Nausea & Headaches;
- Cold or flu type symptoms or recurring colds;
- Fever and Vomiting.

Conclusions

In our professional opinion, we would not advise individuals to occupy or enter the home located at 34 Thomas Heyward as these current mold conditions and their concentrations are **unhealthy**. Any individual that occupy or enters the home are likely to be exposed to elevated fungal spores or other possible microorganisms that could impair human health or affect sensitive individuals. However, whether or not allergenic symptoms develop in individuals is dependent upon the nature of the fungus, the amount of exposure (i.e. inhalation, physically contacted (dermal exposure) or ingested), and the susceptibility of the exposed person. As indoor air quality consultants, we cannot evaluate the individual's health exposures or risks associated with these different microorganisms, exposure, or their concentrations.

Assessment Limitations and Closure

Vance Consulting Services, LLC has analyzed and evaluated the information collected during this sampling event using what we believe to be sound industrial hygiene sampling procedures and applicable knowledge of basic building science. **Vance Consulting Services, LLC** assumes no liability from other parties involved in losses sustained as a result of decisions made based on interpretations of this report. Reliance on this report is governed by our client (**Ms. Donaldson**) for whom our services were performed.

May 6, 2024

Page 7

Baseline IAQ Mold Assessment Report

Residence at 34 Thomas Heyward

Bluffton, South Carolina 29910

VC24-06



If any information in this report is found to be incorrect or if new information or differing conditions are found in the future, we should be contacted so that we can assess the potential impact of that information. There are no warranties, or representations, either expressed or implied, regarding the comments made in this report.

If you have any questions or comments concerning this report, please do not hesitate to contact Mr. Barry J Vance at 843-505-0416.

Sincerely,

Barry J. Vance

Barry J. Vance, IH

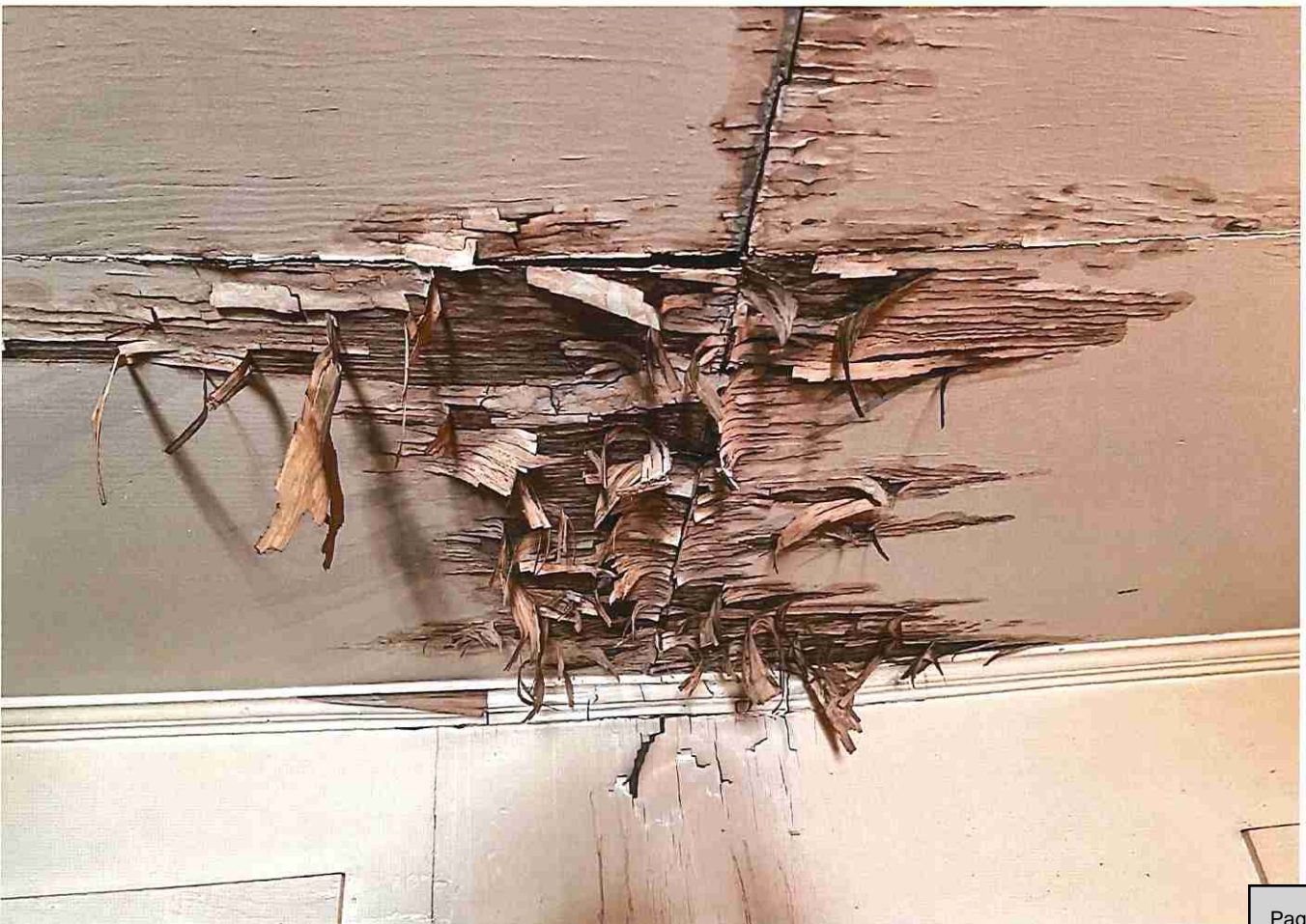
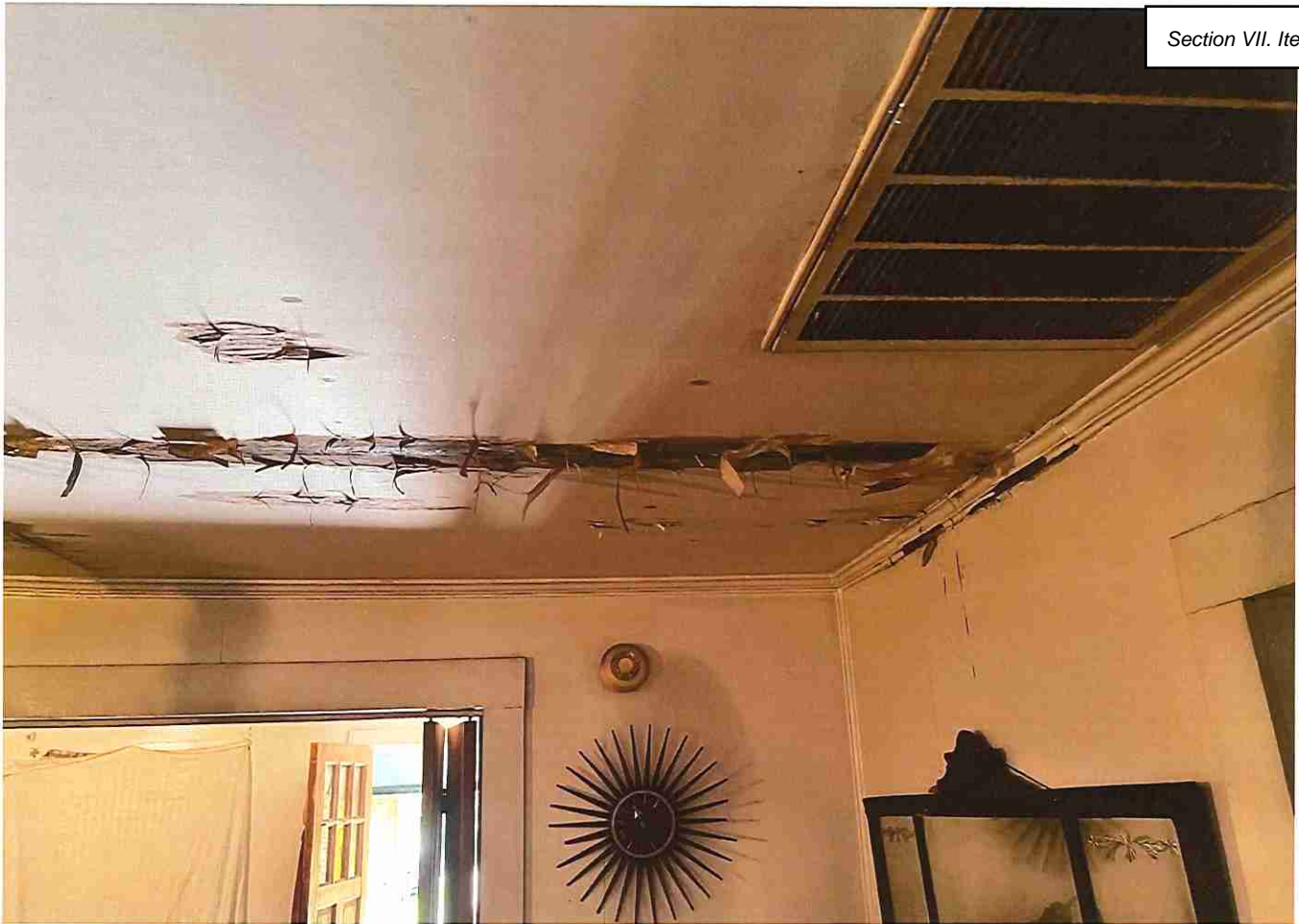
Certified Indoor Air Quality Professional, CIAQP #595

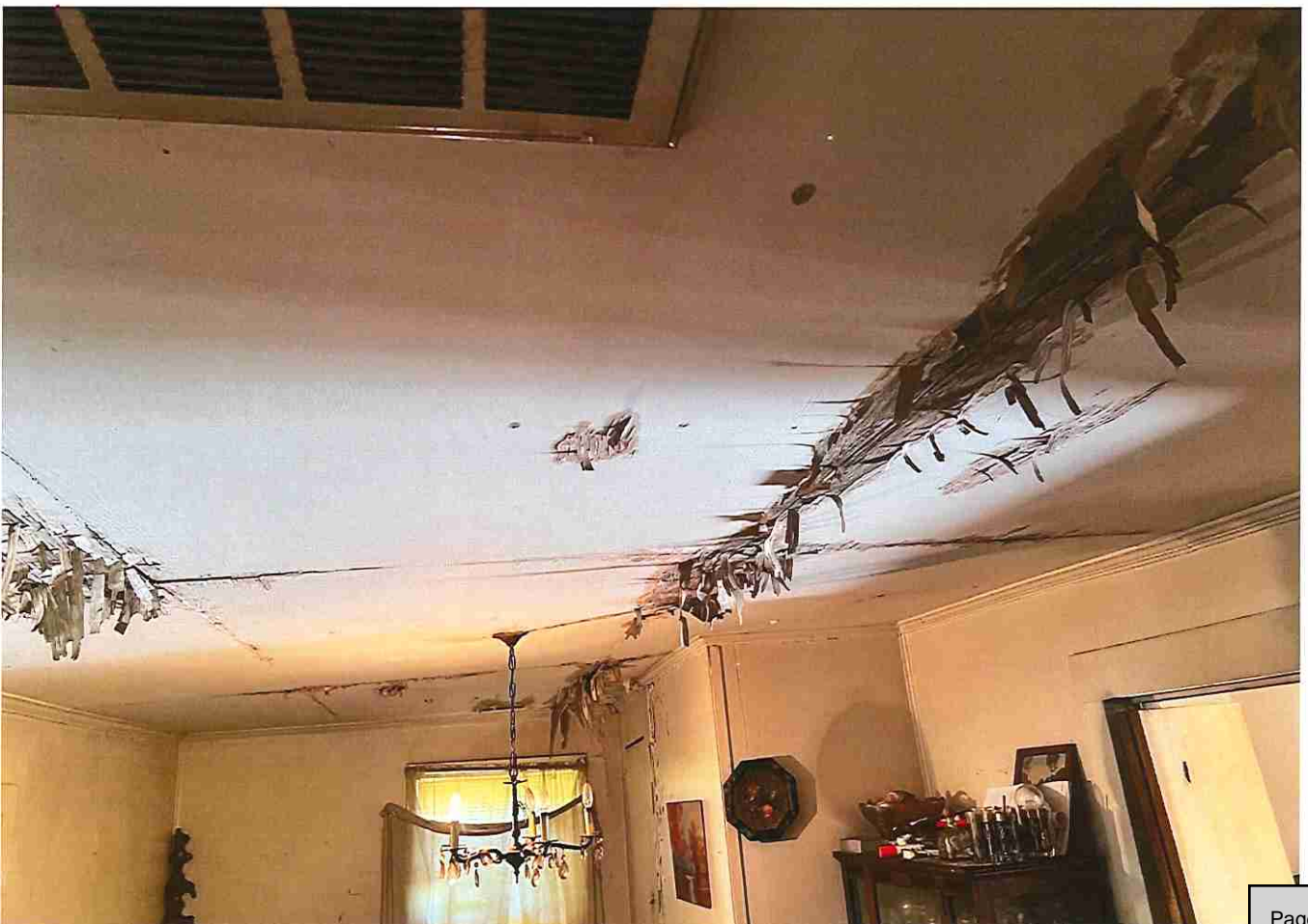
Vance Consulting Services, LLC

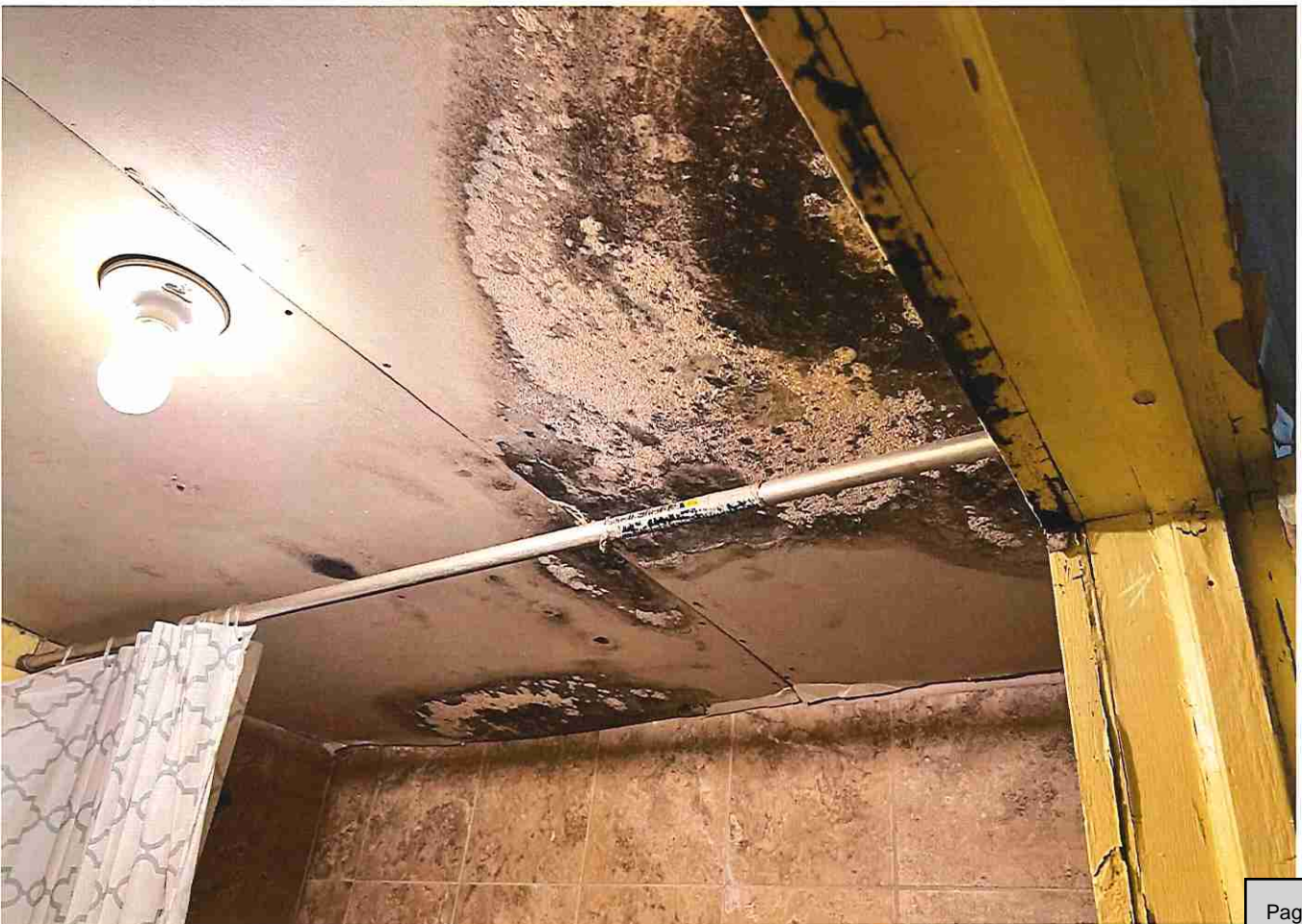
Managing Principal

APPENDIX A

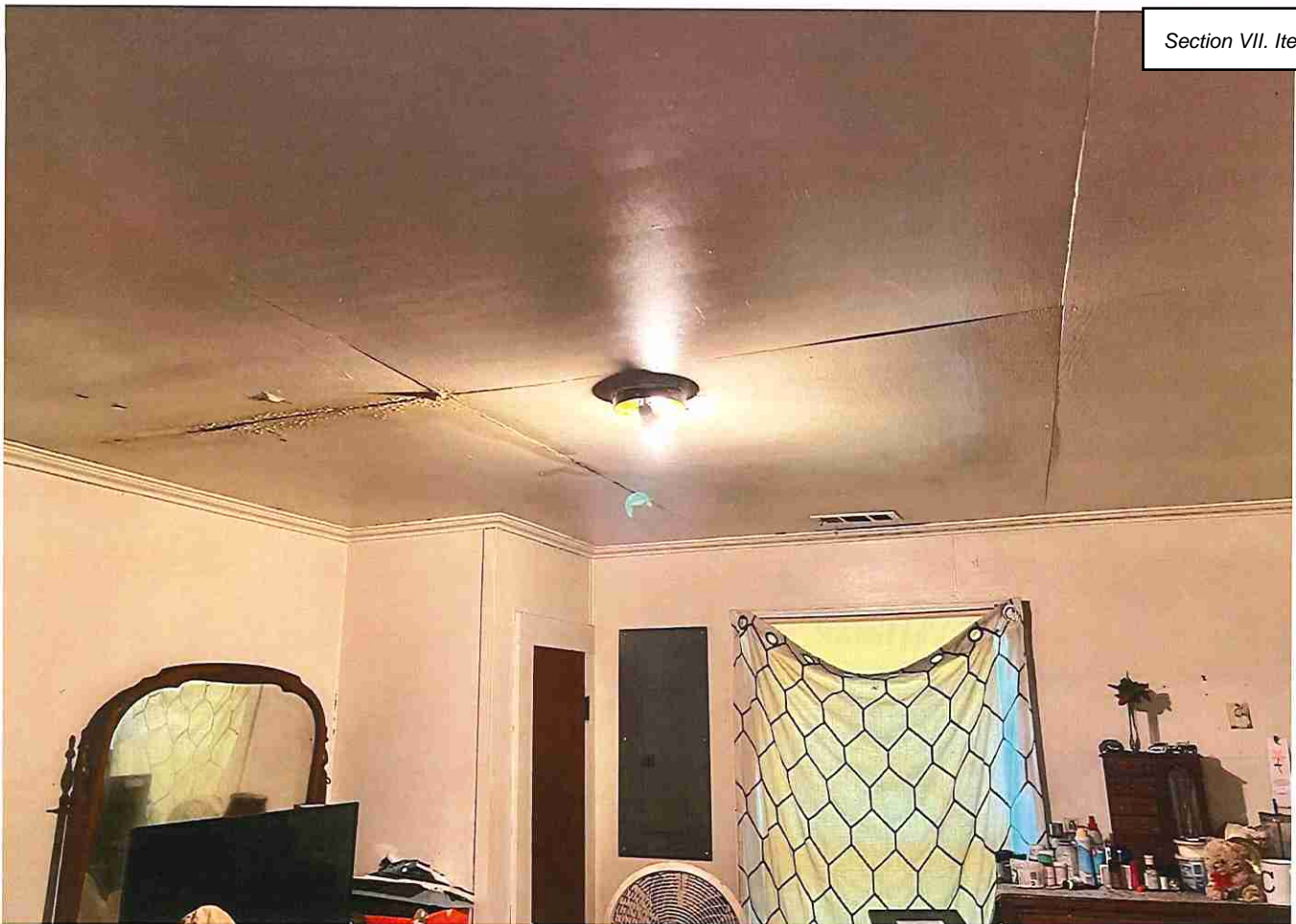




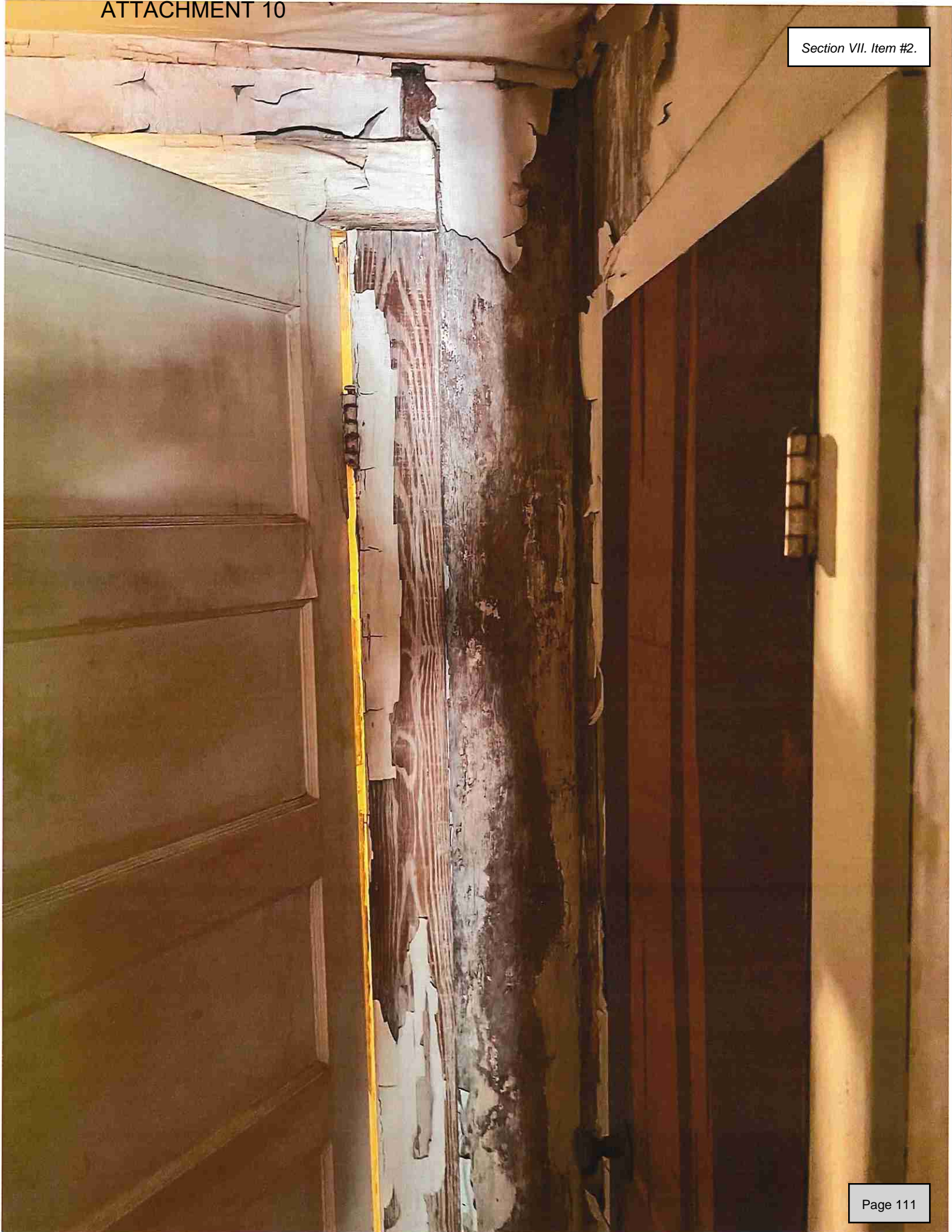


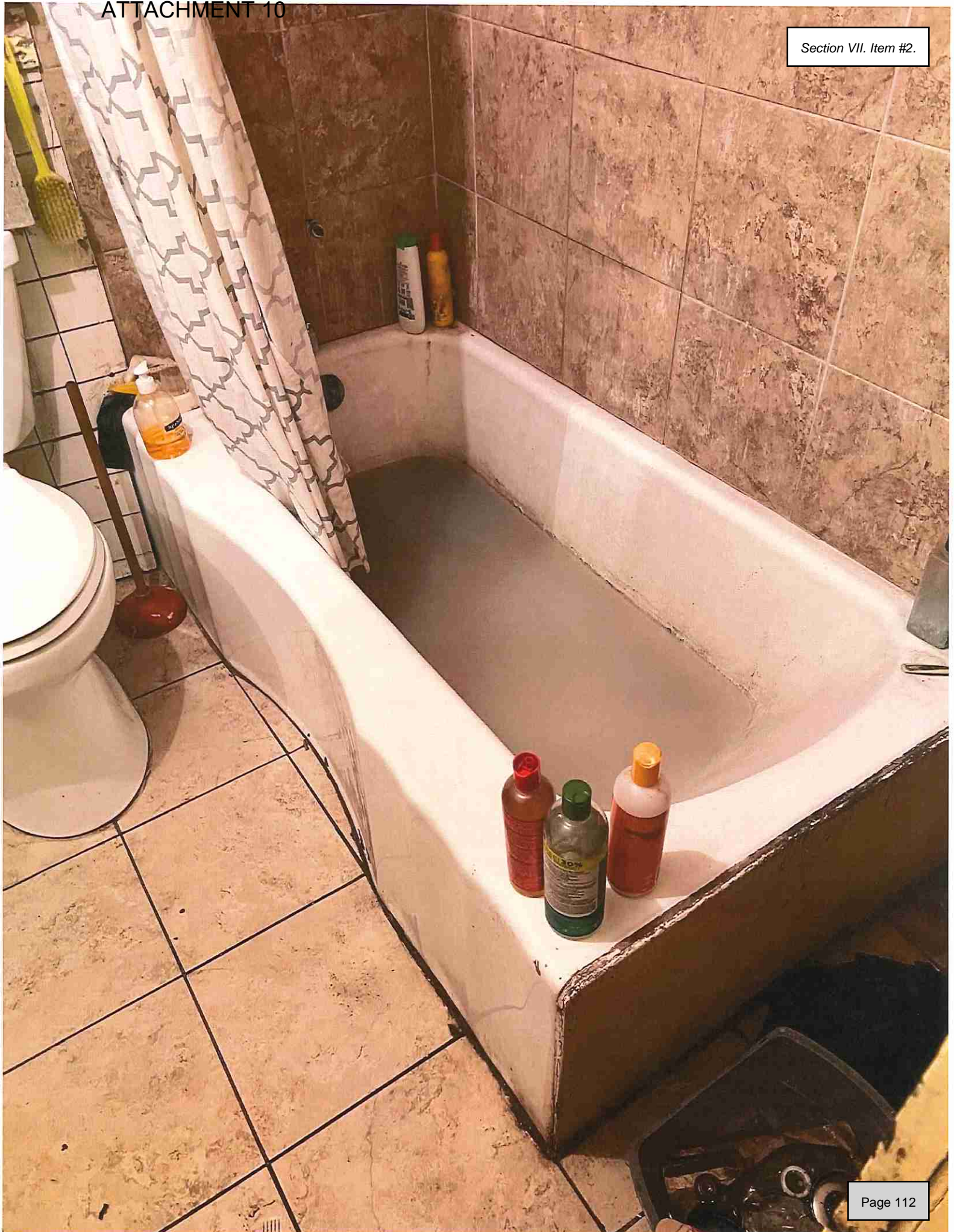












APPENDIX B

SACS, Inc.
 8 Buckingham Plantation Drive
 Bluffton SC, 29910
 Attn: Barry Vance
 Project: **34 Thomas Heyward**
 Condition of Sample(s) Upon Receipt: Acceptable

Date Collected: 5/2/2024
 Date Received: 5/3/2024
 Date Analyzed: 5/3/2024
 Date Reported: 5/6/2024
 Project ID: 24015472
 Page 1 of 3

1054 Spore Trap Analysis SOP 3.8: 24hr TAT

Client Sample #	#1				#3			
Sample Location	Living/Dining Room (middle of interior)				Outdoor			
Sample Volume (L)	75				75			
Lab Sample #	24015472-001				24015472-003			
Spore Identification	RawCt	spr/m ³	%Ttl	I/O	RawCt	spr/m ³	%Ttl	I/O
Alternaria	1	13	<1	1/2	2	27	<1	-
ascospores	5	67	1	1/5	25	333	5	-
basidiospores	86	1,147	18	1/2	49	2,613	36	-
Cercospora	1	13	<1	1/1	1	13	<1	-
Chaetomium	-	-	-	-	23	307	4	-
Cladosporium	124	1,653	25	1/2	229	3,053	42	-
Curvularia	8	107	2	8/1	1	13	<1	-
Drechslera/Bipolaris group	2	27	<1	2/1	1	13	<1	-
Epicoccum	-	-	-	-	2	27	<1	-
Gliomastix	1	13	<1	-	-	-	-	-
hyphal elements	157	2,093	32	8/1	19	253	4	-
Penicillium/Aspergillus group	101	1,347	21	3/1	32	427	6	-
Pithomyces	-	-	-	-	1	13	<1	-
Smuts,Periconia,Myxomycetes	3	40	<1	1/3	8	107	1	-
Torula	2	27	<1	-	-	-	-	-
Debris Rating 4					Debris Rating 3			
Analytical Sensitivity	Analytical Sensitivity: 13 spr/m ³				Analytical Sensitivity: 13 spr/m ³			
Comments	Spore count may be underestimated due to heavy particulate. A single Penicillium conidiophore seen.							
Total *See Footnotes	491	6,547	~100%	1/1	393	7,200	~100%	-

Client Sample #	#2				#3			
Sample Location	Hallway between bathroom and back bedroom				Outdoor			
Sample Volume (L)	75				75			
Lab Sample #	24015472-002				24015472-003			
Spore Identification	RawCt	spr/m ³	%Ttl	I/O	RawCt	spr/m ³	%Ttl	I/O
Alternaria	-	-	-	-	2	27	<1	-
ascospores	8	107	<1	1/3	25	333	5	-
basidiospores	57	3,040	8	1/1	49	2,613	36	-
Cercospora	-	-	-	-	1	13	<1	-
Chaetomium	53	707	2	2/1	23	307	4	-
Cladosporium	76	4,053	11	1/1	229	3,053	42	-
Curvularia	11	147	<1	11/1	1	13	<1	-
Drechslera/Bipolaris group	1	13	<1	1/1	1	13	<1	-
Epicoccum	-	-	-	-	2	27	<1	-
hyphal elements	152	2,027	6	8/1	19	253	4	-
Penicillium/Aspergillus group	249	26,560	72	62/1	32	427	6	-
Pestalotiopsis	1	13	<1	-	-	-	-	-
Pithomyces	-	-	-	-	1	13	<1	-
Smuts,Periconia,Myxomycetes	2	27	<1	1/4	8	107	1	-
Debris Rating 4					Debris Rating 3			
Analytical Sensitivity	Analytical Sensitivity: 13 spr/m ³				Analytical Sensitivity: 13 spr/m ³			
Comments	Spore count may be underestimated due to heavy particulate.							
Total *See Footnotes	610	36,693	~100%	5/1	393	7,200	~100%	-

SACS, Inc.
8 Buckingham Plantation Drive
Bluffton SC, 29910
Attn: Barry Vance
Project: **34 Thomas Heyward**
Condition of Sample(s) Upon Receipt: Acceptable

Date Collected: 5/2/2024
Date Received: 5/3/2024
Date Analyzed: 5/3/2024
Date Reported: 5/6/2024
Project ID: 24015472
Page 2 of 3

Client Sample #: #1 Tape
Sample Location: Bathroom Ceiling

Lab Sample #: 24015472-004

Test: 1051-24H Surface, Tape - Qualitative Direct Microscopic Exam SOP 3.7: 24hr TAT

Results:

Numerous **Chaetomium** spores seen
Numerous **Chaetomium** hyphae seen
Numerous **Chaetomium** perithecia seen
Numerous Cladosporium spores seen
Moderate Cladosporium hyphae seen
Occasional Cladosporium conidiophores seen
Numerous Penicillium/Aspergillus group spores seen
Moderate Penicillium/Aspergillus group hyphae seen

Observation
3-4 per field (minimum)
3-4 per field (minimum)
3-4 per field (minimum)
3-4 per field (minimum)
1 per 5 fields
1-5 per cover slip
3-4 per field (minimum)
1 per 5 fields

Debris Rating: 1

Client Sample #: #2 SS
Sample Location: Living Room above interior ceiling

Lab Sample #: 24015472-005

Test: 1051-24H Surface, Swab - Qualitative Direct Microscopic Exam SOP 3.7: 24hr TAT

Results:

Occasional Alternaria spores seen
Moderate Cladosporium spores seen
Occasional Curvularia spores seen
Occasional Drechslera/Bipolaris group spores seen
Occasional Penicillium conidiophores seen
Numerous Penicillium/Aspergillus group spores seen
Numerous Penicillium/Aspergillus group hyphae seen
Occasional **Stachybotrys** spores seen
Numerous hyphal elements seen

Observation
1-5 per cover slip
1 per 5 fields
1-5 per cover slip
1-5 per cover slip
1-5 per cover slip
3-4 per field (minimum)
3-4 per field (minimum)
1-5 per cover slip
3-4 per field (minimum)

Debris Rating: 4

Client Sample #: #3 SS
Sample Location: Back bedroom ceiling

Lab Sample #: 24015472-006

Test: 1051-24H Surface, Swab - Qualitative Direct Microscopic Exam SOP 3.7: 24hr TAT

Results:

Moderate Chaetomium spores seen
Moderate Chaetomium hyphae seen
Few Cladosporium spores seen
Few Penicillium/Aspergillus group spores seen

Observation
1 per 5 fields
1 per 5 fields
5 per cover slip
5 per cover slip

Debris Rating: 4

SACS, Inc.
 8 Buckingham Plantation Drive
 Bluffton SC, 29910
 Attn: Barry Vance
 Project: **34 Thomas Heyward**
 Condition of Sample(s) Upon Receipt: Acceptable

Date Collected: 5/2/2024
 Date Received: 5/3/2024
 Date Analyzed: 5/3/2024
 Date Reported: 5/6/2024
 Project ID: 24015472
 Page 3 of 3

Footnotes and Additional Report Information

Debris Rating Table

1	Minimal (<5%) particulate present	Reported values are minimally affected by particulate load.
2	5% to 25% of the trace occluded with particulate	Negative bias is expected. The degree of bias increases directly with the percent of the trace that is occluded.
3	26% to 75% of the trace occluded with particulate	Negative bias is expected. The degree of bias increases directly with the percent of the trace that is occluded.
4	75% to 90% of the trace occluded with particulate	Negative bias is expected. The degree of bias increases directly with the percent of the trace that is occluded.
5	Greater than 90% of the trace occluded with particulate	Quantification not possible due to large negative bias. A new sample should be collected at a shorter time interval or other measures taken to reduce particulate load.

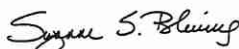
Aerobiology Laboratory Associates, Inc. shall be responsible for all the information provided in the report, except when information is provided by the customer. Data provided by a customer can affect the validity of results and shall be clearly identified. Results apply to the samples as received. Aerobiology Laboratory Associates, Inc. is not responsible for the sampling activity, such as air and water volume, area, and mass unit. The report shall not be reproduced except in full without the approval of the laboratory to ensure that parts of a report are not taken out of context. Data interpretation of this report will be the client responsibility based on their sampling.

1. Penicillium/Aspergillus group spores are characterized by their small size, round to ovoid shape, being unicellular, and usually colorless to lightly pigmented. There are numerous genera of fungi whose spore morphology is similar to that of the Penicillium/Aspergillus type. Two common examples would be Paecilomyces and Acremonium. Although the majority of spores placed in this group are Penicillium, Aspergillus, or a combination of both. Keep in mind that these are not the only two possibilities.
2. Ascospores are sexually produced fungal spores formed within an ascus. An ascus is a sac-like structure designed to discharge the ascospores into the environment, e.g. Ascobolus.
3. Basidiospores are typically blown indoors from outdoors and rarely have an indoor source. However, in certain situations a high basidiospore count indoors may be indicative of a wood decay problem or wet soil.
4. The colorless group contains colorless spores which were unidentifiable to a specific genus. Examples of this group include Acremonium, Aphanocladium, Beauveria, Chrysosporium, Engyodontium microconidia, yeast, some arthrospores, as well as many others.
5. Hyphae are the vegetative mode of fungi. Hyphal elements are fragments of individual Hyphae. They can break apart and become airborne much like spores and are potentially allergenic. A mass of hyphal elements is termed the mycelium. Hyphae in high concentration may be indicative of colonization.
6. Dash (-) in this report, under raw count column means 'not detected (ND)'; otherwise 'not applicable' (NA).
- *7. The positive-hole correction factor is a statistical tool which calculates a probable count from the raw count, taking into consideration that multiple particles can impact on the same hole; for this reason the sum of the calculated counts may be less than the positive hole corrected total.
8. Due to rounding totals may not equal 100%.
9. Analytical Sensitivity for each spores is different for Non-viable sample when the spores are read at different percentage. Analytical Sensitivity is calculated as spr/m^3 divided by raw count. $\text{spr/m}^3 = \text{raw counts} \times (100 / \% \text{ read}) \times (1000 / \text{Sample volume})$. If Analytical Sensitivity is 13 spr/m^3 at 100% read, Analytical Sensitivity at 50% read would be 27 spr/m^3 , which is 2 times higher. Analytical Sensitivity provided on the report is based on an assumed 100% of the trace being analyzed.
- *10. Minimum Reporting Limits (MRL) for BULKS, DUSTS, SWABS, and WATER samples are a calculation based on the sample size and the dilution plate on which the organism was counted. Results are a compilation of counts taken from multiple dilutions and multiple medias. This means that every genus of fungi or bacteria recovered can be counted on the plate on which it is best represented.
- *11. If the final quantitative result is corrected for contamination based on the blank, the blank correction is stated in the sample comments section of the report.
12. The results in this report are related to this project and these samples only as received.
13. For samples with an air volume of < 100L, the number of significant figures in the result should be considered (2) two. For samples with air volumes between 100-999L, the number of significant figures in the result should be considered (3) three. For example, a sample with a result of 55,443 spr/m^3 from a 75L sample using significant figures should be considered 55,000. The same result of 55,443 from a 150L sample using significant figures should be considered 55,400 spr/m^3 .
14. If the In/Out ratio is greater than 100 times it is indicated >100/1, rather than showing the real value.

Terminology Used in Direct Exam Reporting

Conidiophores are a type of modified hyphae from which spores are born. When seen on a surface sample in moderate to numerous concentrations they may be indicative of fungal growth.

*: Applicable to the reported data for culture testing



Suzanne Blevins
 Laboratory Director

Lab Use:

24 015472



AZ, CA, CO, GA,
NJ, VA, FL



NVLAP Lab Code 200860-0 (CO)
NVLAP Lab Code 200829-0 (VA)
NVLAP Lab Code 500097-0 (AZ)
NVLAP Lab Code 201076-1 (CA)



197683 (CO) 153063 (GA)
202977 (VA) 210229 (A7)
102747 (NJ) 218982 (CA)
228103 (FL)

Aerobiology Client		SACS, Inc		NJ, VA, FL		228303 (17)	
Field Contact		Barry J Vance		Collected By/Date:		5/2/24	
Reporting Address				Relinquished By/Date:		BJV	
Billing Address				Relinquished By/Date:		Received By/Date: LS 5/3 10:30	
				Sampler Type		Other	
				Andersen		SampleAire	
				SAS		AeroTrap	
Phone/Fax		843-505-0416		PO#/Job#:			
Reporting Email (s)		bvance.sacs23@gmail.com		Project Name:		34 Thomas Heyward	
Routine		24 Hour		5 Day		Notes:	
		Same Day		(Autobase Only)			
		4 Hour					
		2 Hour					
SAMPLING LOCATION ZIP CODE				CC Info:			

[illegible]

1054	Direct, Non-viable Spore Trap	1015	Culture - WATER Legionella
1051	Direct, Qualitative- Swab/Tape	1017	Culture - SWAB Legionella
1050	Direct, Qualitative- Bulk	1010	WATER - Potable - E. coli/total coliforms
1005	AIR Culture - Bacterial Count w/ ID's	1012	SWAB - E. coli/total coliforms
1030	AIR Culture - Fungal Count w/ ID's	1028	Sewage Screen (E. coli/Enterococcus/fecal coliforms)
1006	SWAB Culture - Bacterial Count w/ ID's	2056	Heterotrophic Plate Count
1031	SWAB Culture - Fungal Count w/ ID's	3001	ASBESTOS - Point count
1008	BULK Culture - Bacterial Count w/ ID's	3002	ASBESTOS - PLM Analysis
1033	BULK Culture - Fungal Count w/ ID's	3003	ASBESTOS - Particle characterization
1007	WATER Culture - Bacterial Count w/ID's	3004	ASBESTOS - PCM Analysis

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The Association of Energy Engineers
certifies that

Barry J. Vance

has completed the prescribed standards for certification, has demonstrated
a high level of competence and ethical fitness, and is hereby granted the title of

**Certified Indoor Air Quality
Professional**

Valid: January 1, 2024 - December 31, 2026 | Certification ID: 595



Nicolas Kent
Executive Director

Tranvine Seaborn
Certification Director



CONESTOGA-ROVERS & ASSOCIATES

CERTIFICATE OF TRAINING

THIS IS TO CERTIFY THAT

Barry J. Vance

HAS SUCCESSFULLY COMPLETED A THREE DAY COURSE IN
MOLD IDENTIFICATION TITLED:
ON-SITE IDENTIFICATION, RISK AND ANALYSIS OF
COMMON INDOOR FUNGI


George P. White

JANUARY 2024-2026

**Vance Consulting, LLC.**

Section VII. Item #2.

8 Buckingham Plantation Drive
Bluffton, South Carolina 29910
Mobile: 843-505-0416

Email: bvance.sacs23@gmail.com

April 21, 2025

Attention: Mr. Jason Alexander

Subject: Limited Asbestos Bulk Sampling Report
Residence located at 34 Thomas Heyward
Bluffton, South Carolina 29910
Project #:VC25-23

Vance Consulting Services, LLC is pleased to present this Limited Asbestos Bulk Sampling Report. Our sampling was intended to determine the absence/presence of asbestos containing materials (ACM) associated with exterior and interior building components. The following report summarizes our understanding of the project information, the results of our field and laboratory work, and conclusions.

General Synopsis-Project Information



The residential structure is located at 34 Thomas Heyward in Bluffton, South Carolina and we understand that structure is currently schedule for renovation or possible demolition. Therefore, due to the age of the home and potential suspect asbestos containing materials (ACM), you have requested that an asbestos survey with bulk sampling be performed to determine the absence/presence of asbestos containing materials (ACM).

The home is a one-story wood-framed structure, approximately 900 square feet, and is supported on individual concrete masonry units (CMUs) piers with no evidence of a stable footing or foundation. The **exterior** contains metal corrugated roof panels over wooden cross planks and the building envelope contains wood siding that is currently covered with 5-inch aluminum siding panels. The **interior** building materials consist of wood panel walls/ceilings, wallboard (gypsum board) walls/ceilings, and various floor covering materials such as: carpet, hardwood planks, ceramic floor tile, vinyl floor covering, and vinyl floor tile.

“Building & Environmental Services”

April 21, 2025

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23



Previous Inspection Reports and Information

Environmental Mold Inspection and Testing: We understand that an environmental mold inspection and testing was performed in May 2024 to determine whether an “abnormal or impaired” airborne fungal spore or mold condition exists within the indoor environment.

From review of that report, we understand that an **Occupancy/Building Hazard (unhealthy indoor environment/condition)** was stated due to the extensive water damage materials, presence of heavy fungal growth, evidence of water damage molds that produce “mycotoxins”, and indoor air quality conditions that could cause allergenic symptoms, inhalation issues, or dermal exposure issues. The report also stated that these mold conditions and concentrations could affect or impair human health of the individuals who occupy or enter the home.

Structural Assessment Report: We understand that a limited structural assessment was performed in April 2025 and stated that the structure was unsafe to enter due the **Occupancy/Building Hazard (unhealthy indoor mold environment/condition)**. However, the report did state that the roof condition showed significant damage and deterioration from long term water intrusion events. In addition, the crawlspace floor and sub floor components showed evidence of sagging floor system and structural deterioration, see **Appendix A**.

Summary of Asbestos Bulk Sampling Results

Based on our PLM laboratory results, the following building materials contained **Asbestos “Chrysotile” Mineral Fibers:**

- Back Bedroom Joint Compound-**2 percent**, approximately 200 sqft;
- Living Room Closet VFC/Backing-**15 percent**, approximately 15 sqft;
- Bathroom VFC/Backing-**80 percent**, approximately 60 sqft;
- Kitchen Middle Layer VFC/Backing-**20 percent**, 150 sqft;
- Kitchen Bottom Layer VFT/Backing-**10 percent**, approximately 150 sqft.

April 21, 2025

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23**Asbestos Survey and Bulk Sampling of Building Materials**

On April 15, 2025, Vance Consulting mobilized an AHERA Certified Building Inspector and Building Scientist to perform the required asbestos survey with bulk sampling. Our survey was performed in accordance with the SCDHEC Regulations 61-86.1 and applicable sections of the National Emission Standard for Hazardous Air Pollutants (NESHAP) Regulations and the EPA Regulations. The regulations require that a Certified AHERA Inspector categorize any suspect asbestos containing building materials into homogenous areas, meaning those, which are similar in age, appearance, color and texture. In addition, the regulations require sampling of materials so as to declassify the materials as presumed asbestos containing building material. **Asbestos** is a generic name that refers to the following family of naturally occurring fibrous hydrated silicate minerals such as: **chrysotile, amosite, crocidolite, anthophyllite, tremolite and actinolite.**

At the time of our visit, the residential structure was open to our inspection and all exterior and interior areas were accessible to our inspection. However, it should be noted that roof structure and floor system was collapsing and unsafe conditions were present. During our visit, a physical assessment of each homogeneous area of suspect ACM was conducted to assess the friability and condition of the materials. A friable material is defined by the EPA as a material which can be crumbled, pulverized or reduced to powder by hand pressure when dry. Friability was assessed by physically touching suspect materials. Site photographs of the suspect building materials were taken and these are shown in **Appendix B**.

From our visual inspection of the residential structure, the following homogenous building materials were identified as potential ACM miscellaneous and surface materials:

Exterior Building Components

No building materials were identified as potential ACM.

April 21, 2025

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23



Interior Building Components

- Back Bedroom/Bathroom Wallboard;
- Back Bedroom Joint Compound;
- Living Room Closet VFC/Backing;
- Bathroom VFC/Backing (note VFC was under ceramic floor tile);
- Kitchen Middle Layer VFC/Backing;
- Kitchen Bottom Layer VFT/Backing.



View back bedroom wallboard and joint compound and bathroom wallboard



View of living room, bathroom, and kitchen ACM floor covering

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23



Sampling and Analysis (PLM)

Once the various homogeneous areas are delineated, the material is categorized by the following types: surfacing (S), thermal system insulation (TSI) or miscellaneous (Misc.). Depending on the material type, the SCDHEC and EPA dictate a minimum number of samples as follows:

Surfacing Material (S):

- Less than 1,000 ft.² requires at least 3 samples;
- Thermal system insulation (TSI) requires either 3 samples or that number sufficient to determine whether the material is or is not ACM per patch, elbows, and gaskets;
- Miscellaneous (Misc.) materials require at least that number of samples sufficient to determine whether the material is or is not ACM.

As shown in our Laboratory Report, **30 PLM samples** were analyzed by Polarized Light Microscopy (PLM) analysis. Our laboratory results are presented in **Appendix C**.

Conclusions

Based on our PLM laboratory results, the following building materials contained **Asbestos "Chrysotile" Mineral Fibers:**

- **Back Bedroom Joint Compound-2 percent**, approximately 200 sqft;
- **Living Room Closet VFC/Backing-15 percent**, approximately 15 sqft;
- **Bathroom VFC/Backing-80 percent**, approximately 60 sqft;
- **Kitchen Middle Layer VFC/Backing-20 percent**, 150 sqft;
- **Kitchen Bottom Layer VFT/Backing-10 percent**, approximately 150 sqft.

In accordance with state and federal regulations, ACM **above 1%** would require proper removal and disposal prior to any physical renovations or demolition activities.

April 21, 2025

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23



Due to the **compromised (poor) condition** of these regulated asbestos building materials, we would categorize these ACMs as a "friable condition". We have estimated the total quantities of ACM listed above to be **approximately 575 sqft**.

Recommendations

HAZARDOUS CONDITION: Based on the previous environmental mold assessment and structural reports, it is our opinion that the current **mold hazards and structural integrity of the roof and sub floor system** would categorize this as an unsafe structure. In addition, it may be prudent to assume that an **immediate danger and hazardous condition to human health does exist**.

Based on our asbestos survey, the asbestos containing materials (ACMs) wallboard/joint compound would **constitute a hazardous and unsafe condition due to the heavy fungal growth and partial collapse of back bedroom and bathroom ceiling/roofing components**. In addition, **due to the kitchen sagging floor system** the removal of the various ACM flooring materials would be considered an **unsafe condition**.

Therefore, based on the interior mold hazards and overall structural integrity of the residential home, we would recommend this home be categorize as a **"razed structure"** or an **"emergency demolition"**, in which the residential structure is considered an **Environmental "Hazardous" Condition that also contains compromised asbestos containing materials**.

It should be noted that prior to any demolition work, the certified asbestos abatement contractor would need to apply for SCDHEC Asbestos Permit and potentially a demolition permit from the Town of Bluffton.

Prior to the demolition of the structure, we would recommend that the structure be pre-wetted (using an amended water). During the demolition stage, wetting (using amended water) of the structure should continue to suppress potential dust/debris particulate matter, as well as, any release of environmental hazardous such as "mycotoxin mold spores" or "asbestos mineral fibers".

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Limited Asbestos Bulk Sampling Report

Residence located at 34 Thomas Heyward

Bluffton, South Carolina 29910

Project #:VC25-23



All building materials and approximately 1 foot of surface soils within the demolition footprint should be containerized in lined dumpsters, wrapped with 10 ml poly plastic, and securely seal with duct tape for the an immediate Hazardous Transportation to a Registered Landfill.

Assessment Limitations

Vance Consulting, LLC has analyzed and evaluated the information collected during this asbestos sampling event using what we believe to be sound industrial hygiene techniques and applicable knowledge of asbestos sampling procedures. Reliance on or use of this report by any third party without explicit authorization from **Vance Consulting, LLC** and/or our Primary Client (**Mr. Jason Alexander**) does not make any third party a beneficiary to our contract with its Primary Client. Any unauthorized reliance on, or use of, this report, including its information or conclusions, will be solely at the third party's risk. There are no warranties regarding the work conducted or comments made in this report.

Closure

Vance Consulting Services, LLC is pleased to have the opportunity to assist you on this phase of your project and if you have any questions or comments concerning this report, please do not hesitate to contact us at 843-505-0416.

Barry J. Vance

Barry J. Vance, IH

Managing Principal

Certified Asbestos Building Inspector-SCDHEC BI-01247

AHERA Certification #10-6971



Vance Consulting Services, LLC

APPENDIX A



Thomas & Reel

Engineering Consultants, Inc.

April 7, 2025

Reference:

34 Thomas Heyward Street
Bluffton, SC

For the referenced address;

A site visit was made to view the structural condition of an existing structure.

The structure was boarded up and barricaded due to a previous environmental issue and deemed a bio hazard by others and considered unsafe to enter.

The metal roof showed significant signs of deterioration and was tarped

The crawlspace was examined. The foundation is made of pre cast pier blocks without evidence of a permanent footing. In addition there are no straps or hold down devices to secure the structure. The wood framing of the floor showed of structural deterioration. The foundation should be re built on a permanent footing and pier system and all wood floor framing member to be re built.



Respectfully,
Thomas & Reel Engineering Consultants,
Inc. Michael I. Thomas, P.E.

President/Owner

Mthomas@thomasreel.com

www.thomasreel.com

Structural, Civil, Mechanical and Forensic Engineering
9100 White Bluff Road, Building 300, Suite 306, Savannah, Georgia 31406
Post Office Box 15818, Savannah, Georgia 31416
Tel: 912-920-0950 / Fax: 912-920-0948
Offices: Savannah, Bluffton, Charlotte

4-7-2025

APPENDIX B



Pace Analytical Services, LLC - Woburn
22 Cummings Park
Woburn, MA 01801
(781) 935-3212
www.pacelabs.com

Client:
Vance Consulting LLC

Certificate of Analysis

Project Name: Residential Structure @ 34 Thomas Heyward

Project ID: 25012669

Attn: Barry J. Vance

Date Collected: 04/15/25
Date Received: 04/16/25
Date Analyzed: 04/16/25
Date Reported: 04/17/25
Job ID: VC25-23

Test Requested: Asbestos Bulk Analysis, Polarized Light Microscopy (PLM); EPA 600/R-93/116; Method for Asbestos in Bulk Building Materials, EPA-40 CFR Appendix E to Subpart E of Part 763, Interim Method for Asbestos in Bulk Insulation Samples

Building Materials, EPA-40 CFR Appendix E to Subpart E of Part 763, Interim Method for Asbestos in Bulk Insulation Samples					Asbestos			Non-Asbestos		
Sample Identification		Physical Description of Sample/Layer	Homo- geneous (Y/N)	Layer Percentage	Asbestos Detected	Asbestos Percentage	Non-Asbestos Fiber Percentage	Non-Fibrous Material Percentage	Matrix Material Composition	
Client	Lab Sample Number									
WB-1	25012669-001-A	Multicolored Wallboard	N	100	ND	0	5	95	CELL	
WB-2	25012669-002-A	Multicolored Wallboard	N	100	ND	0	5	95	CELL	
WB-3	25012669-003-A	Multicolored Wallboard	N	100	ND	0	10	90	CELL	
JC-1	25012669-004-A	Tan Joint Compound	Y	100	CHRY	2	0	98		
JC-2	25012669-005-A	Tan Joint Compound	Y	100	CHRY	2	0	98		
JC-3	25012669-006-A	Tan Joint Compound	Y	100	ND	0	0	100		
VFC+Backing-1	25012669-007-A	Tan Vinyl Flooring W/ Backing	N	100	CHRY	15	5	80	CELL	
VFC+Backing-2	25012669-008-A	Tan Vinyl Flooring W/ Backing	N	100	CHRY	15	5	80	CELL	
VFC+Backing-3	25012669-009-A	Tan Vinyl Flooring W/ Backing	N	100	CHRY	15	5	80	CELL	
VFC+Backing-1	25012669-010-A	Tan Vinyl Flooring W/ Backing	Y	95	CHRY	80	0	20		

Dan Pine
Analyst

Aimee Cormier
Lab Manager

A Amosite
AC Actinolite
AN Anthophyllite
CHRY Chrysotile
CR Crocidolite
TR Tremolite
Trace Less Than 1%
ND None Detected

Q Quartz
C Carbonates
G Gypsum
M Mica
T Tar
P Perlite
B Binder
D Diatoms
CELL Cellulose
MW Mineral Wool
FBG Fiberglass
SYN Synthetic
WO Wollastonite
FT Fibrous Talc
AH Animal Hair
MAC Non-Asbestiform AC
NTR Non-Asbestiform TR



Pace Analytical Services, LLC - Woburn
22 Cummings Park
Woburn, MA 01801
(781) 935-3212
www.pacelabs.com

Client:
Vance Consulting LLC

Certificate of Analysis

Project Name: Residential Structure @ 34 Thomas Heyward

Project ID: 25012669

Attn: Barry J. Vance

Date Collected: 04/15/25
Date Received: 04/16/25
Date Analyzed: 04/16/25
Date Reported: 04/17/25
Job ID: VC25-23

Test Requested: Asbestos Bulk Analysis, Polarized Light Microscopy (PLM): EPA 600/R-93/116: Method for Asbestos in Bulk Building Materials, EPA-40 CFR Appendix E to Subpart E of Part 763, Interim Method for Asbestos in Bulk Insulation Samples

Building Materials, EPA-40 CFR Appendix E to Subpart E of Part 763, Interim Method for Asbestos in Bulk Insulation Samples					Asbestos		Non-Asbestos			
Sample Identification		Physical Description of Sample/Layer	Homo- geneous (Y/N)	Layer Percentage	Asbestos Detected	Asbestos Percentage	Non-Asbestos Fiber Percentage	Non-Fibrous Material Percentage	Matrix Material Composition	
Client	Lab Sample Number									
VFC+Backing-1	25012669-010-B	Dark Brown Mastic	Y	5	ND	0	0	100		
VFC+Backing-2	25012669-011-A	Tan Vinyl Flooring W/ Backing	Y	95	CHRY	80	0	20		
	25012669-011-B	Dark Brown Mastic	Y	5	ND	0	0	100		
VFC+Backing-3	25012669-012-A	Tan Vinyl Flooring W/ Backing	Y	95	CHRY	80	0	20		
	25012669-012-B	Dark Brown Mastic	Y	5	ND	0	0	100		
VFC+Backing-1	25012669-013-A	Tan Vinyl Flooring W/ Backing	N	100	ND	0	0	100		
VFC+Backing-2	25012669-014-A	Tan Vinyl Flooring W/ Backing	N	100	ND	0	0	100		
VFC+Backing-3	25012669-015-A	Tan Vinyl Flooring W/ Backing	N	100	ND	0	0	100		
VFC+Backing-1	25012669-016-A	Multicolored Vinyl Flooring W/ Backing	N	95	CHRY	20	0	80		
	25012669-016-B	Tan Mastic	Y	5	ND	0	0	100		

Dan Pine
Analyst

Aimee Cormier
Lab Manager

A Amosite
AC Actinolite
AN Anthophyllite
CHRY Chrysotile
CR Crocidolite
TR Tremolite
Trace Less Than 1%
ND None Detected

Q Quartz
C Carbonates
G Gypsum
M Mica
T Tar
P Perlite
B Binder
D Diatoms
CELL Cellulose
MW Mineral Wool
FBG Fiberglass
SVN Synthetic
WO Wollastonite
FT Fibrous Talc
AH Animal Hair
NAC Non-Asbestosiform AC
NTR Non-Asbestosiform TR



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Test Requested: Asbestos Bulk Analysis, Polarized Light Microscopy (PLM): EPA 600/R-93/116: Method for Asbestos in Bulk Building Materials, EPA-40 CFR Appendix E to Subpart E of Part 763, Interim Method for Asbestos in Bulk Insulation Samples

Sample Identification		Physical Description of Sample/Layer	Homo- geneous (Y/N)	Layer Percentage	Asbestos		Non-Asbestos		Matrix Material Composition
Client	Lab Sample Number				Asbestos Detected	Asbestos Percentage	Non-Asbestos Fiber Percentage	Non-Fibrous Material Percentage	
VFC+Backing-2	25012669-017-A	Multicolored Vinyl Flooring W/ Backing	N	95	CHRY	20	0	80	
	25012669-017-B	Tan Mastic	Y	5	ND	0	0	100	
VFC+Backing-3	25012669-018-A	Multicolored Vinyl Flooring W/ Backing	N	95	CHRY	20	0	80	
	25012669-018-B	Tan Mastic	Y	5	ND	0	0	100	
VFT+Mastic-1	25012669-019-A	Tan Vinyl Tile W/ Backing	Y	98	CHRY	10	0	90	
	25012669-019-B	Black Mastic	Y	2	ND	0	0	100	
VFT+Mastic-2	25012669-020-A	Tan Vinyl Tile W/ Backing	Y	98	CHRY	10	0	90	
	25012669-020-B	Black Mastic	Y	2	ND	0	0	100	
VFT+Mastic-3	25012669-021-A	Tan Vinyl Tile W/ Backing	Y	98	CHRY	10	0	90	
	25012669-021-B	Black Mastic	Y	2	ND	0	0	100	

Dan Pine
Dan Pine
Analyst

Aimee Cormier
Aimee Cormier
Lab Manager

A. Amosite
AC Actinolite
AN Anthophyllite
CHRY Chrysotile
CR Crocidolite
TR Tremolite
Trace Less Than 1%
ND None Detected

Q. Quartz
C Carbonates
G Gypsum
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B Binder
D Diatoms
CELL Cellulose
MW Mineral Wool
FBG Fiberglass
SYN Synthetic
WO Wollastonite
FT Fibrous Talc
AH Animal Hair
NAC Non-Asbestosiform AC
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Certificate of Analysis

Client:
Vance Consulting LLC

Project Name: Residential Structure @ 34 Thomas Heyward

Project ID: 25012669

Attn: Barry J. Vance

Date Collected: 04/15/25
Date Received: 04/16/25
Date Analyzed: 04/16/25
Date Reported: 04/17/25
Job ID: VC25-23

General Notes

- * ND indicates no asbestos was detected; the method detection limit is 1%.
 - * Trace or "<1" indicates asbestos was identified in the sample, but the concentration is less than 1%.
 - * All regulated asbestos minerals (i.e. chrysotile, amosite, crocidolite, anthophyllite, tremolite, and actinolite) were sought in every layer of each sample, but only those asbestos minerals detected are listed. Amosite is the common name for the asbestiform variety of the mineral cummingtonite and grunerite. Crocidolite is the common name used for the asbestiform variety of the mineral riebeckite.
 - * Tile, vinyl, foam, plastic, and fine powder samples may contain asbestos fibers of such small diameter (<0.25 microns in diameter) that these fibers cannot be detected by PLM. For such samples, more sensitive analytical methods (e.g. TEM, SEM, and XRD) are recommended if greater certainty about asbestos content is required. Semi-quantitative bulk TEM floor tile analysis is accepted under NESHA regulations.
 - * These results are submitted pursuant to Aerobiology Laboratory Associates, Inc.'s current terms and conditions of sale, including the company's standard warranty and limitation of liability provisions. No responsibility or liability is assumed for the manner in which the results are used or interpreted.
 - * Unless notified in writing to return the samples covered by this report, Aerobiology Laboratory Associates, Inc. will store the samples for a minimum period of thirty (30) days before discarding. A shipping and handling charge will be assessed for the return of any samples.
 - * Aerobiology does not guarantee the results of tape lifts, microvacs, wipe, and/or debris samples. Accurate analysis cannot be performed due to particle size, media used, and/or amount of material given. Analysis of these materials should be performed by a TEM. A result of ND does not indicate that the sample area does not contain asbestos. It means the analyst could not identify asbestos in the specific sample for the reasons listed above.
- Notes Required by NVLAP**
- * Aerobiology Laboratory shall be responsible for all the information provided in the report, except when information is provided by the customer. Aerobiology Laboratory is not responsible for the sampling activity.
 - * This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government.
 - * This test report relates only to the items tested or calibrated.
 - * This report is not valid unless it bears the name of a NVLAP-approved signatory.



Lab Use:



AZ, CA, CO, GA,
NJ, VA, FL



NVLAP Lab Code 200850-0 (CO)
NVLAP Lab Code 200829-0 (VA)
NVLAP Lab Code 500097-0 (AZ)
NVLAP Lab Code 201076-1 (CA)



192683 (CO) 163063 (GA)
102977 (VA) 210229 (AZ)
102747 (NJ) 218981 (CA)
228303 (FL)

Aerobiology Client		Vance Consulting LLC	
Field Contact	Barry J Vance	Collected By/Date:	4/15/25
Reporting Address		Relinquished By/Date:	BJV
Billing Address		Received By/Date:	4/16/25
		Sample Type	SampleAire
		Andersen	Other
		SAS	BioCulture
Phone/Fax	843-505-0416	PO#/Job#:	VC25-23
Reporting Email (s)	bvance.sacs23@gmail.com	Project Name:	Residential Structure @ 34 Thomas Heyward
Routine	24 Hour	Same Day	4 Hour
	2 Hour	5 Day (Asbestos Only)	Notes:
SAMPLING LOCATION ZIP CODE		CC Info:	

Sample No.	Test Code	Sample Location	Total Volume/Area
WB-1	3002	Hallway Bathroom Wallboard	
WB-2		Back Bedroom Wallboard	
WB-3		Back Bedroom Wallboard	
JC-1		Back Bedroom Joint Compound	
JC-2		Back Bedroom Joint Compound	
JC-3		Back Bedroom Joint Compound	
VFC+Backing-1		Living Room Closet VFC+Backing	
VFC+Backing-2		Living Room Closet VFC+Backing	
VFC+Backing-3		Living Room Closet VFC+Backing	
VFC+Backing-1		Bathroom VFC+Backing	
VFC+Backing-2		Bathroom VFC+Backing	
VFC+Backing-3		Bathroom VFC+Backing	

1054	Direct, Non-viable Spore Trap	1015	Culture - WATER Legionella
1051	Direct, Qualitative- Swab/Tape	1017	Culture - SWAB Legionella
1050	Direct, Qualitative- Bulk	1010	WATER - Potable - E. coli/total coliforms
1005	AIR Culture - Bacterial Count w/ ID's	1012	SWAB - E. coli/total coliforms
1030	AIR Culture - Fungal Count w/ ID's	1028	Sewage Screen (E. coli/Enterococcus/fecal coliforms)
1006	SWAB Culture - Bacterial Count w/ ID's	2056	Heterotrophic Plate Count
1031	SWAB Culture - Fungal Count w/ ID's	3001	ASBESTOS - Point count
1008	BULK Culture - Bacterial Count w/ ID's	3002	ASBESTOS - PLM Analysis
1033	BULK Culture - Fungal Count w/ ID's	3003	ASBESTOS - Particle characterization
1007	WATER Culture - Bacterial Count w/ID's	3004	ASBESTOS - PCM Analysis

Washington, D.C. Atlanta, GA Denver, CO Phoenix, AZ Cherry Hill, NJ Los Angeles, CA Ft. Lauderdale, FL
(877) 648-9150 (770) 947-2828 (303) 232-3746 (602) 441-3700 (856) 486-1177 (714) 895-8401 (954) 451-3725



Lab Use:

AZ, CA, CO, GA,
NJ, VA, FLNVLAP Lab Code 200860-0 (CO)
NVLAP Lab Code 200829-0 (VA)
NVLAP Lab Code 500097-0 (AZ)
NVLAP Lab Code 201076-1 (CA)192683 (CO) 163063 (GA)
102977 (VA) 210229 (AZ)
102747 (NJ) 218981 (CA)
228303 (FL)

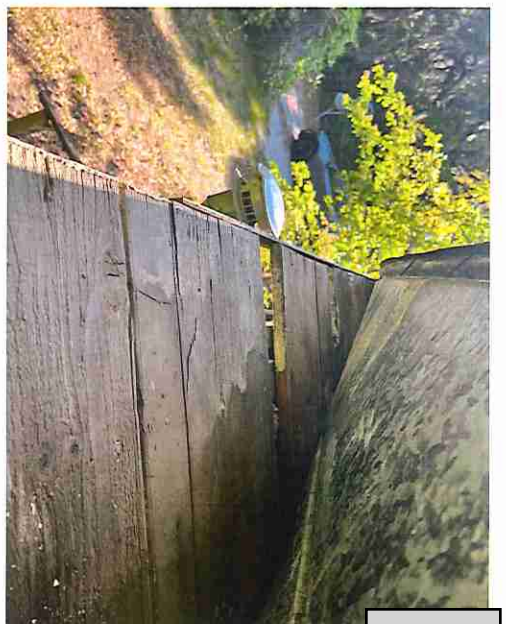
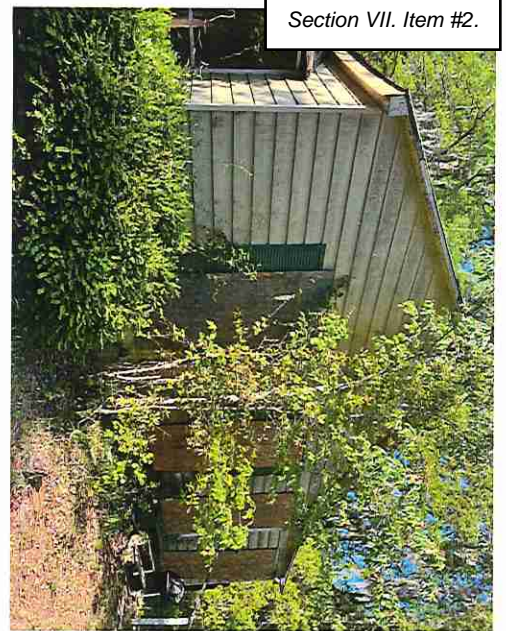
Aerobiology Client		Vance Consulting LLC	
Field Contact	Barry J Vance	Collected By/Date:	4/15/25
Reporting Address		Relinquished By/Date:	
Billing Address		Relinquished By/Date:	BJV
Phone/Fax	843-505-0416	Sample Type	Andersen____ SAS____
Reporting Email (s)	bvance.sacs23@gmail.com	Sample Aire	____
Routine	24 Hour	Other	____
	Same Day	AeroTrap	____
	4 Hour	BioCulture	____
	2 Hour	PO#/Job#:	VC25-23
	5 Day (Asbestos Only)	Project Name:	Residential Structure @ 34 Thomas Heyward
SAMPLING LOCATION ZIP CODE		Notes:	
		CC Info:	

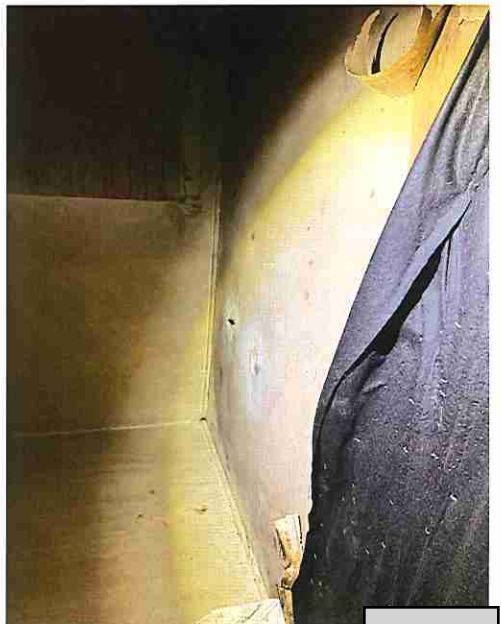
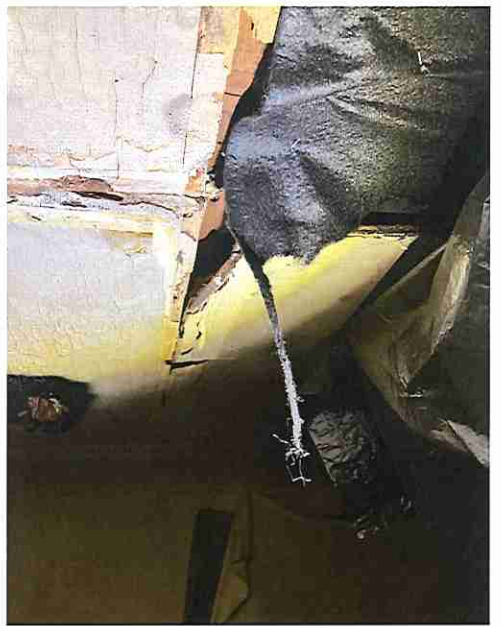
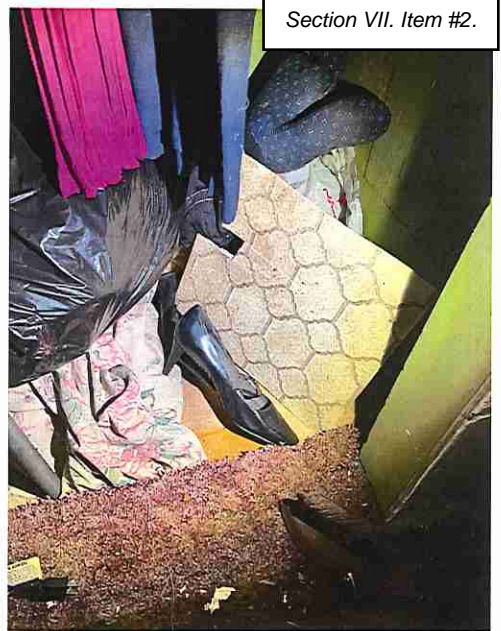
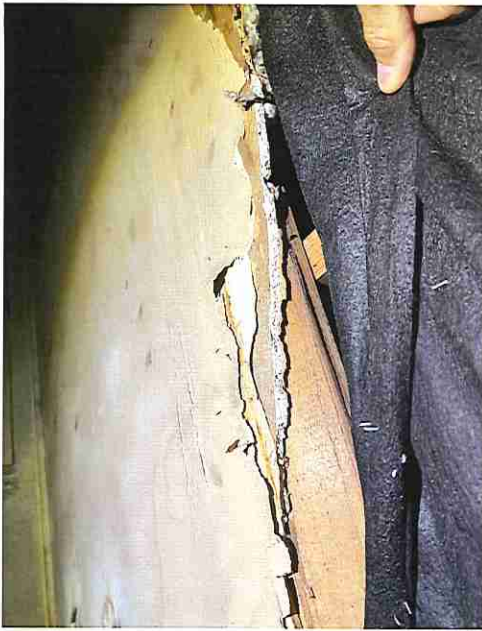
Sample No.	Test Code	Sample Location	Total Volume/Area
1 VFC+Backing-1	3002	Kitchen Top Layer VFC+Backing	
2 VFC+Backing-2		Kitchen Top Layer VFC+Backing	
3 VFC+Backing-3		Kitchen Top Layer VFC+Backing	
4 VFC+Backing-1		Kitchen Middle Layer VFC+Backing	
5 VFC+Backing-2		Kitchen Middle Layer VFC+Backing	
6 VFC+Backing-3		Kitchen Middle Layer VFC+Backing	
7 VFT+Mastic-1		Kitchen Bottom Layer VFT + Black Mastic	
8 VFT+Mastic-2		Kitchen Bottom Layer VFT + Black Mastic	
9 VFT+Mastic-3		Kitchen Bottom Layer VFT + Black Mastic	
#			
#			
#			
#			
#			

1054	Direct, Non-viable Spore Trap	1015	Culture - WATER Legionella
1051	Direct, Qualitative- Swab/Tape	1017	Culture - SWAB Legionella
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1006	SWAB Culture - Bacterial Count w/ ID's	2056	Heterotrophic Plate Count
1031	SWAB Culture - Fungal Count w/ ID's	3001	ASBESTOS - Point count
1008	BULK Culture - Bacterial Count w/ ID's	3002	ASBESTOS - PLM Analysis
1033	BULK Culture - Fungal Count w/ ID's	3003	ASBESTOS - Particle characterization
1007	WATER Culture - Bacterial Count w/ID's	3004	ASBESTOS - PCM Analysis

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 (877) 648-9150 (770) 947-2828 (303) 232-3746 (602) 441-3700 (856) 486-1177 (714) 895-8401 (954) 451-3725

APPENDIX C





ATTACHMENT 12

Section VII. Item #2.



Ken's CL-100 Inspections LLC
P.O. Box 7985
Hilton Head Island, SC 29938
(843) 384-2967
SC Lic. #CA007411

DATE: 3-18-2025		TIME: IN _____ OUT _____	
<input type="checkbox"/> REG.	<input type="checkbox"/> 1-TIME	<input type="checkbox"/> RES.	<input type="checkbox"/> COMM.
<input type="checkbox"/> INDOOR		<input type="checkbox"/> OUTDOOR	
NAME BROWN (FRASER & ALLEN)			
ADDRESS 34 THOMAS HEYWARD STREET			
CITY, STATE, ZIP BLUFFTON SC 29910		PHONE	
SERVICES PERFORMED	TARGET PEST(S)	APPLICATION METHOD	
<input checked="" type="checkbox"/> INSPECTION			
<input type="checkbox"/> TREATMENT			
<input type="checkbox"/>			
CHEMICALS USED	AMOUNT	%	EPA NUMBER
ATTN:			
	KERI		
DESCRIPTION / REMARKS		AMOUNT	
CL-100		\$169.00	
SERVICED BY	LIC. NO. KEN	TOTAL	\$169.00
CUSTOMER SIGNATURE			

INVOICE:

ATTACHMENT 12

Ken's CL-100 Inspections LLC SC Lic #CA007411

(FRASER

Section VII. Item #2.

OFFICIAL SOUTH CAROLINA WOOD INFESTATION REPORT

Date: 3-18-2025 File #: BROWN

THIS REPORT IS VALID FOR 30 DAYS ONLY. THIS REPORT IS NOT A GUARANTEE OR WARRANTY AGAINST FUTURE INFESTATION OR DAMAGE. IT IS RECOMMENDED BY THE DEPARTMENT OF PESTICIDE REGULATION THAT THE PURCHASER OF THE STRUCTURE, RATHER THAN THE SELLER, OBTAINS THIS WOOD INFESTATION REPORT.

This is to report that a qualified inspector employed by the below named firm has carefully inspected accessible areas, including attics and crawl spaces which permit entry, of the property located at the below address for termites, other wood-destroying organisms, and wood-destroying fungi. The inspection for the presence of wood-destroying fungi is only required to the level below the first main floor as defined in Section 27-1085 K(3)(f) of the Rules and Regulations for the Enforcement of the South Carolina Pesticide Control Act. This report specifically excludes hidden areas, areas not readily accessible, and the undersigned pest control operator disclaims that he has made any inspections of such hidden areas or of such areas not readily accessible.

The inspection described has been made on the basis of visible evidence, and special attention was given to those accessible areas which experience has shown to be particularly susceptible to attack by wood-destroying organisms. Probing and/or sounding of those areas and other visible and accessible wood members showing evidence of infestation was performed. This report is submitted without warranty, guarantee, or representation as to concealed evidence of infestation or damage or as to future infestation.

If there is evidence of active infestation or past infestation of termites and/or other wood-destroying organisms or fungi, it must be assumed that there is some damage to the building caused by this infestation; however, any visible damage to a wood member in accessible areas has been reported. The below-named firm's inspectors are not engineers or builders, and you may wish to call a qualified engineer, licensed contractor, or expert in the building trade to provide their opinion as to whether there is structural damage to this property.

LOCATION AND DESCRIPTION OF PROPERTY INSPECTED: 34 THOMAS HEYWARD STREET, BLUFFTON SC 29910

If any of the following items are marked YES, describe on the reverse side of this page.

Were any areas of the property obstructed or inaccessible?

Infestation:

1. There is visible evidence of:

- a. Subterranean termites
- b. Drywood termites
- c. Old house borers
- d. Powder post beetles
- e. Other wood-destroying insects

2. There is visible evidence of prior subterranean termite treatment

3. There is evidence below the first main floor of the presence of:

- a. Active wood-destroying fungi (wood moisture content $\geq 28\%$)
- b. Non-active wood-destroying fungi (wood moisture content $< 28\%$)

4. There is evidence of the presence of excessive moisture conditions below

the first main floor (20% or above wood moisture content, standing water, etc.)

Wood moisture content of the wooden substructure ranged from 10% to 14%

Damage: Termite, other wood-destroying insects and fungi (Note: reporting of fungi damage to wood, commonly called water damage, decay or rot, is limited to the area below the first main floor of the structure as defined in 27-1085 K(3)(f) SCRR.)

At the time of our inspection, there were visibly damaged wooden members (e.g. insect damage to columns, sills, joists, plates, door jambs, headers, exterior stairs, porches, or fungi damage below the first main floor)

If the answer is YES, specify causes and location(s) on back.

Damage Observed: Damage must be disclosed even if repairs are deemed unnecessary. If visible evidence of active or previous infestation caused by any wood-destroying organism is reported, it must be assumed that some degree of damage is present. Said damage and location(s) must be described on the reverse side of this report. It is recommended that evaluation of damage and any corrections be performed by a licensed contractor or structural engineer approved by the purchaser.

Treatment:

1. The property described was treated by us for the prevention or control of

wood-destroying organism for which treatment was made

date of treatment

2. An Official Waiver of Standards Form (subterranean termite treatment) has been issued. [NOTE: a signed copy must be attached to this report]

3. The property is covered by a warranty associated with the above treatment. The purchaser should contact the company regarding information required to transfer the warranty.

4. The property described has not been treated by us for any wood-destroying organisms.

Check appropriate box

☐
☐
☐
☒

See other side of this report for additional conditions governing this report. CL-100 Approved by the South Carolina Pest Control Association, Inc., and the Division of Regulatory and Public Service Programs of Clemson University

Revised 7/12 (supersedes earlier versions)

Page 140

ATTACHMENT 12

(FRASER Section VII. Item #2.

File #: BROWN

CONDITIONS GOVERNING THIS REPORT

Please read carefully.

This report is based on the observations and opinions of our inspector. It must be noted that all buildings have some wood members which are not visible or accessible for inspection. It is not always possible to determine the presence of infestation without extensive probing and in some cases actual dismantling of parts of the structure being inspected.

All inspections and reports will be made on the basis of what is visible, and we will not render opinions covering areas that are enclosed or not readily accessible, areas concealed by wall coverings, floor coverings, insulation, furniture, equipment, stored articles, or any portions of the structure in which inspection would necessitate tearing out or marring finished work. We do not move furniture, appliances, equipment, etc. Plumbing leaks may not be apparent at the time of inspection. If evidence of such leaks is disclosed, liability for the correction of such leaks is specifically denied. No opinion can be rendered as to infestation or damage on that portion of sheathing, siding, or other susceptible material which continues below soil grade.

The areas of the substructure and attic that are accessible and open for inspection have been inspected. The substructure is defined as that portion of the building below the first main floor living space.

Detached garages, sheds, lean-tos, fences, or other buildings on the property are not included in this inspection report unless specifically noted.

The company, upon specific request and agreement as to additional charge, will open any inaccessible, concealed, or enclosed area and inspect same and make a report thereon.

This property was not inspected for the presence or absence of health related molds or fungi. This inspection was conducted solely for visible evidence of wood destroying organisms and their damage and was limited to the visible and accessible areas of the structure(s) only. Inspection for the presence of wood-destroying fungi is only required to the level below the first main floor. We are not qualified to and do not render an opinion concerning mold related air quality or any other health related issues relating to this structure. Questions concerning the presence or absence of health related molds or fungi or other health related issues, which may be associated with this property, should be addressed to a properly trained Industrial Hygienist, Physician or Public Health Official.

REMARKS

THIS SPACE IS TO BE USED TO DETAIL ANY "YES" ANSWERS FROM THE FRONT OF THIS FORM. INCLUDE ITEM NUMBER WITH EACH EXPLANATION. CLARIFICATION AND EXPLANATION OF OTHER ITEMS MAY ALSO BE INCLUDED.

Additional pages are attached. YES ☐ NO ☒

34 THOMAS HEYWARD STREET, BLUFFTON SC 29910 3-18-2025 KEN HOUSE

INACCESSIBLE: PARTS OF FOUNDATION DUE TO ABUTTING CEMENT AND DECKING. ATTIC DUE TO SIZE AND LOCATION IN CLOSET. SUBFLOOR DUE TO SIZE. UNDER DECKING DUE TO HEIGHT.

DAMAGE: FUNGI DAMAGE THROUGHOUT THE UNIT. PLEASE HAVE A LICENSED BUILDER INSPECT TO SEE IF REPAIRS ARE NEEDED.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in this property. I do further state that neither I nor the company for which I am acting is associated in any way with any party to this transaction.

LICENSE NUMBER OF PERSON SIGNING THIS

CA007411

(MUST BE CERTIFIED IN CATEGORY 7A)

BUSINESS LICENSE NUMBER: B0003896

ACKNOWLEDGMENT:

FIRM: Kens's CL-100 Inspections LLC

BY:

Ken Knight
LICENSEE'S SIGNATURE

ADDRESS:

PO BOX 7985 Hilton Head
South Carolina 29938

PURCHASER ACKNOWLEDGES THAT A COPY OF THIS REPORT HAS BEEN REVIEWED AND RECEIVED.

DATE ACKNOWLEDGED

PURCHASER'S SIGNATURE

This report and the issuing licensee are regulated by Clemson University's Department of Pesticide Regulation.



USAA Casualty Insurance Company
9800 Fredericksburg Road
San Antonio, TX 78288

INSURANCE REQUEST DENIED



0000536 SP

9253

-C01-P00536-I

-04664-555892535263

JASON PAUL ALEXANDER
316 GREENWOOD ST
BIRMINGHAM AL 35209-2012

April 2, 2025

Dear Mr. Alexander,

At this time, we are not accepting your request because there is unrepaired damage that is not cosmetic, and this presents an increased risk of future loss.

We based this decision on information you provided us during the application process.

You may be eligible for coverage through the USAA Insurance Agency. For more information, call us at the number below. If you do not secure coverage through the USAA Insurance Agency, you should contact a local agent for insurance.

How to Contact Us

If you have questions about this decision, please call us at one of the following numbers.



Phone: 210-531-USAA (8722), our mobile shortcut #8722 or 800-531-8722

This notice is provided by the following company:

USAA Casualty Insurance Company

Thank you,
USAA Casualty Insurance Company

USAA Insurance Agency means USAA Insurance Agency, Inc. or USAA of Texas Insurance Agency (collectively the "Agency"). California License #0D78305, Texas License # 7096. 9800 Fredericksburg Road, San Antonio, TX 78288. The Agency contracts with insurance carriers that are not affiliated with USAA and offers products and services ("third-party insurance products") on their behalf. Third-party insurance products are not underwritten by USAA or its affiliates. The Agency receives a commission on the sale or renewal of third-party insurance products and may receive other performance-based compensation from them. Purchase of third-party insurance products does not establish USAA membership. Product and coverage descriptions are brief. All coverages are subject to the terms and conditions of your policy. Read your policy for details. Product and coverage availability may vary in some locations and all applications for insurance are subject to underwriting by the insurance carrier.



34 Heyward Street Bluffton/Heyward



lynda strong Apr 9

to me ▾



To whom it may concern,

As a resident and property owner in Old Town Bluffton and a direct neighbor to the property located at [34 Heyward Street](#), I would strongly recommend the removal of the existing structure on the property.

My husband and I have personally witnessed the decline of said structure over the last 20 years. There is also significant mold, mildew and water damage as well.

Simply stated, I do not feel it bears any historical significance to the town any longer. Please feel free to contact me if you have any questions or concerns.

Sincerely,
Lynda G. Strong
Sent from my iPhone

From: Jane Long <ewojane@gmail.com>

Date: April 1, 2025 at 3:42:25 PM EDT

To: jasoncarrie94@gmail.com

Cc: Barrriescardinobradley@gmail.com

Subject: Nellies house

Suffice it to say that I have known Nellie Brown all my life [79 years] ,and I knew her inside and out!

She was the most caring person I have ever known. She loved and was always faithful and helpful to her church. She was a true Christain in every sense of that word.

I am absolutely sure that she would not want any kind of restoration on her house. She and Leroy had a wonderful life there. It is absolute falling apart, if she saw it now the only would say is "Please tear it down"

If you want ANYTHING else from me, please feel free to call or email me.

In closing I would like to have some kind of small monument placed there. Everyone in Bluffton loved her.

Nellie's daughter (as I was listed in her obituary)
Jane Hancock Long

ATTACHMENT 14

Chad McRorie
134 Bridge Street
Bluffton, SC 29910

April 02, 2025

To Whom it May Concern,

As a tenured resident, business owner and property owner in Old Town Bluffton and a direct neighbor to the property located at 34 Thomas Heyward Street, I would highly recommend and support the condemnation, razing and removal of the existing residential structure on the property.

As a licensed SC Residential Builder and Town of Hilton Head Island Fire Rescue Operations Battalion Chief (Retired), I have determined that the existing residential structure is dilapidated and currently represents a significant health hazard, fire hazard as well as an eyesore to my adjacent home/ property, as well as to Old Town Bluffton generally. The existing structure is not habitable due to structural instability, water intrusion and the presence of significant mold and mildew in the structure's interior.

Since 2017 I have witnessed the poor upkeep and rapid decline of the structure and fail to see the benefit, excepting any unknown historical significance, of allowing the structure to remain standing in place.

Please feel free to contact me regarding any information in this correspondence or for clarification of such information.

Regards,



Chad McRorie

HISTORIC PRESERVATION COMMISSION



STAFF REPORT

Department of Growth Management

MEETING DATE:	July 2, 2025
PROJECT:	COFA 03-25-019642 89 Bridge Street - Renovation
APPLICANT:	Amanda Denmark (Pearce Scott Architects)
PROPERTY OWNER:	Jamie and Allyn Oliver
PROJECT MANAGER:	Sam Barrow, Senior Planner

APPLICATION REQUEST: The Applicant, Amanda Denmark (Pearce Scott Architects) on behalf of owners, Jamie and Allyn Oliver, requests the Historic Preservation Commission approve the following application:

COFA-03-25-019642. A Certificate of Appropriateness-HD to allow the renovation and conversion of an existing single-family residence into a bookstore with an associated icerery located at 89 Bridge Street (R610 039 00A 0234 0000). The property is located in the Old Town Bluffton Historic District and is zoned Neighborhood Conservation-Historic District (NCV-HD).

INTRODUCTION: The Applicant requests to renovate an existing single-family residence and convert into a bookstore with icerery in the Old Town Bluffton Historic District. The existing primary structure, of approximately 1418 heated SF, is classified as an “Additional House Type” within the NCV-HD. The existing structures were constructed in 1946 prior to adoption of the Unified Development Ordinance (UDO) and setback regulations. The primary and secondary structures are considered non-conforming structures because primary structure’s front elevation and secondary structure’s rear elevation are located within the setbacks required by the UDO. Non-conforming structures can be renovated, provided the extent of the non-conformity is not enlarged. In this case, the non-conformity is the location of the buildings within the required setback. The plan as submitted does not increase the extent of non-conformity.

The existing primary structure is a 1-story single family residence with additions made over time that have contributed to its unique shape and floor plan. Originally a typical narrow “shotgun” house with gabled roof on the front and rear, the building was expanded via small addition on the left (east) side. An angled entry way and small porch with gabled roof was also added. This addition created “T” shaped appearance and unique floor plan that exists today.

The existing front (north) elevation features a gabled roof with louvred vent and one double hung window. This portion of the structure is a former front porch that was enclosed to create a storage room. The front also features the covered angled entryway with gabled roof. The left (east) elevation also features the angled entryway and the aforementioned addition. The right (west) elevation features a small partially enclosed service yard, also visible from the rear elevation.

The Applicant proposes to alter the front elevation facing Bridge Street by removing the existing window and wall and adding 4 wooden columns to recreate the former front porch. Further, the Applicant proposes double French doors accompanied on either side by matching fixed single-pane windows to create a formal storefront appearance and primary entryway. Under the angled entryway, the existing exterior door will be replaced and existing windows will be replaced to matching materials.

Along the left elevation, the existing rear door will be replaced and widened to allow for ADA accessibility. On the right elevation, the Applicant plans to replace an existing double-hung window with a wooden casement window and will engage the Bluffton Public Art Committee to add a mural, effectively breaking up the long, unarticulated space. The rear elevation remains unchanged.

All materials, trim and details will match the existing structure.

This project was presented to the Historic Preservation Review Committee for conceptual review at the April 7, 2025 meeting and comments were provided to the Applicant (See Attachment 8).

REVIEW CRITERIA & ANALYSIS: In its review of this COFA-HD application, Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Unified Development Ordinance (UDO) Section 3.18.3 (COFA-HD, Application Review Criteria), applying the standards and guidelines of UDO Sec. 5.15, Old Town Bluffton Historic District. The intent of the standards and guidelines is, in part, to provide guidance and ensure consistent development without discouraging creativity or forcing the replication of historic models.

The applicable criteria of UDO Sec.3.18.3 are provided below followed by a Staff Finding based upon review of the application submittals to date.

1. **Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.**
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore

historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

Old Town Bluffton Historic District is a locally designated historic district. The proposed addition has been designed to be sympathetic to the architectural character of the neighboring structures and the Old Town Bluffton Historic District.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The addition and other changes to the existing structure proposed as part of this request will be in conformance with those standards if the conditions noted in #2 of this Section are met.

2. **Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.**

- a. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:

1) **Windows and Doors** (UDO Sec. 5.15.6.I.):

- a. Window and door materials and specifications have not been provided. Window finish materials may consist of wood, aluminum, copper, steel, vinyl, clad wood or fiberglass. The Final Plan submission must specify window finish materials. (UDO Sec. 5.15.6.I.2.a)

- 2) Building details, including materials and configurations, for any new building element, or element to be changed or reconstructed, must be consistent with existing materials and configurations.

3. **Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.**

Finding. Town Staff finds the nature and character of the addition to be consistent and harmonious with that of the surrounding neighborhood. The mass and scale of the structure is appropriate for its location and the architectural detailing, with revisions to address the items in #2 above, will be sensitive to the neighboring properties.

4. **Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.**

Finding. If the conditions #2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. **Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.**

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete with the exception of the applicable items in #2.

STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per UDO Section 5.15.6.I, provide updated building elevations that specify all new window and door finish material and operation information.
2. Per UDO Section 5.3.3.G.1, provide a landscape plan showing tree removal (if any), eight-foot foundation planting around the structure, a street tree, and canopy calculations. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing trees to be saved together with the mature canopy of proposed replacement trees.

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

ATTACHMENTS:

1. Location and Zoning Map
2. Final Application
3. Narrative
4. As-Built Survey
5. Development Plan

6. Plans
7. Casement Window Cut Sheet
8. HPRC Comments

LOCATION & ZONING MAP

89 Bridge Street

Neighborhood Conservation-HD District





TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Custom

Section VII. Item #3.

20 Bridge Street

Bluffton, SC 29910

(843)706-4500

www.townofbluffton.sc.gov

applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: Pearce Scott Architects	Name: Jamie & Allyn Oliver		
Phone: 843.837.5700	Phone: 704.999.9537		
Mailing Address: 6 State of Mind St, Ste 200	Mailing Address: 59 Myrtle Island Road		
E-mail: amanda@pscottarch.com	E-mail: jamie.oliver@jmoent.com		
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name: The Bluffton Book Shop	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address: 89 Bridge Street	Application for: <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation		
Zoning District: Neighborhood Conservation-HD			
Acreage: 0.26 Ac			
Tax Map Number(s): R610 039 00A 0234 0000			
Project Description: Remodeling existing residential building to be a commercial bookstore.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal.			
<input checked="" type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s).			
<input checked="" type="checkbox"/> 3. Digital files of the Architectural Plan(s).			
<input checked="" type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO.			
<input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist.			
<input checked="" type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date:	
Applicant Signature: Amanda J. Denmark		Date: 06.04.25	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS - OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) APPLICATION

PROCESS NARRATIVE

Section VII. Item #3.

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. The Town of Bluffton's Mission and Vision Statements help navigate staff to ensure that the goals outlined by Town Council are being met. As each project is being reviewed, Town staff will use the Mission Statement, Vision Statement, The Covenant for Bluffton and the current Strategic Plan to guide their review. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness - HD Application, the Applicant is required to consult with the UDO Administrator or designee at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness - HD Application with the required submittal materials during an mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness. Call 843-706-4500 to schedule.	
Step 3. Review by UDO Administrator or designee and HPRC	Staff
If the UDO Administrator or designee, determines that the Concept Review Submission of the Certificate of Appropriateness - HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator or designee will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness - HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness - HD Application, the UDO Administrator or designee shall issue the Certificate of Appropriateness - HD.	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) PROJECT ANALYSIS

Section VII. Item #3.

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input checked="" type="checkbox"/>	
2. SITE DATA						
Identification of Proposed Building Type (as defined in Article 5): Existing Non Conforming						
Building Setbacks		Front: existing	Rear: existing	Rt. Side: existing	Lt. Side: existing	
3. BUILDING DATA						
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage	
Main Structure	Main Building		1418		1418	
Ancillary						
Ancillary						
4. SITE COVERAGE						
Impervious Coverage			Coverage (SF)			
Building Footprint(s)			1769 Existing Main Building			
Impervious Drive, Walks & Paths						
Open/Covered Patios						
A. TOTAL IMPERVIOUS COVERAGE						
B. TOTAL SF OF LOT						
% COVERAGE OF LOT (A/B= %)						
5. BUILDING MATERIALS						
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation		
Foundation	Existing		Columns	Wood		
Walls	Match Existing		Windows	Match Existing		
Roof	Existing		Doors	Wood or Metal		
Chimney			Shutters			
Trim	Existing		Skirting/Underpinning			
Water table	Match Existing		Cornice, Soffit, Frieze			
Corner board	Match Existing		Gutters			
Railings			Garage Doors			
Balusters			Green/Recycled Materials			
Handrails						



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #3.

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Section VII. Item #3.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Signature of Property Owner or Authorized Agent

Date

Amanda J. Denmark

Printed Name of Property Owner or Authorized Agent

Amanda J. Denmark

Signature of Applicant

06.04.25

Date

Printed Name of Applicant



June 04, 2025

89 Bridge Street
The Bluffton Bookshop

Project Narrative

Currently the building at 89 Bridge Street is a residential non-conforming structure with a building foot print of +/- 1,769 sf. The building sits at ground level. The owners propose to renovate the existing interior of the building as well as a couple of exterior modifications. The building will be brought up to the IBC 2018 Commercial Code as well meet the intent of the UDO.

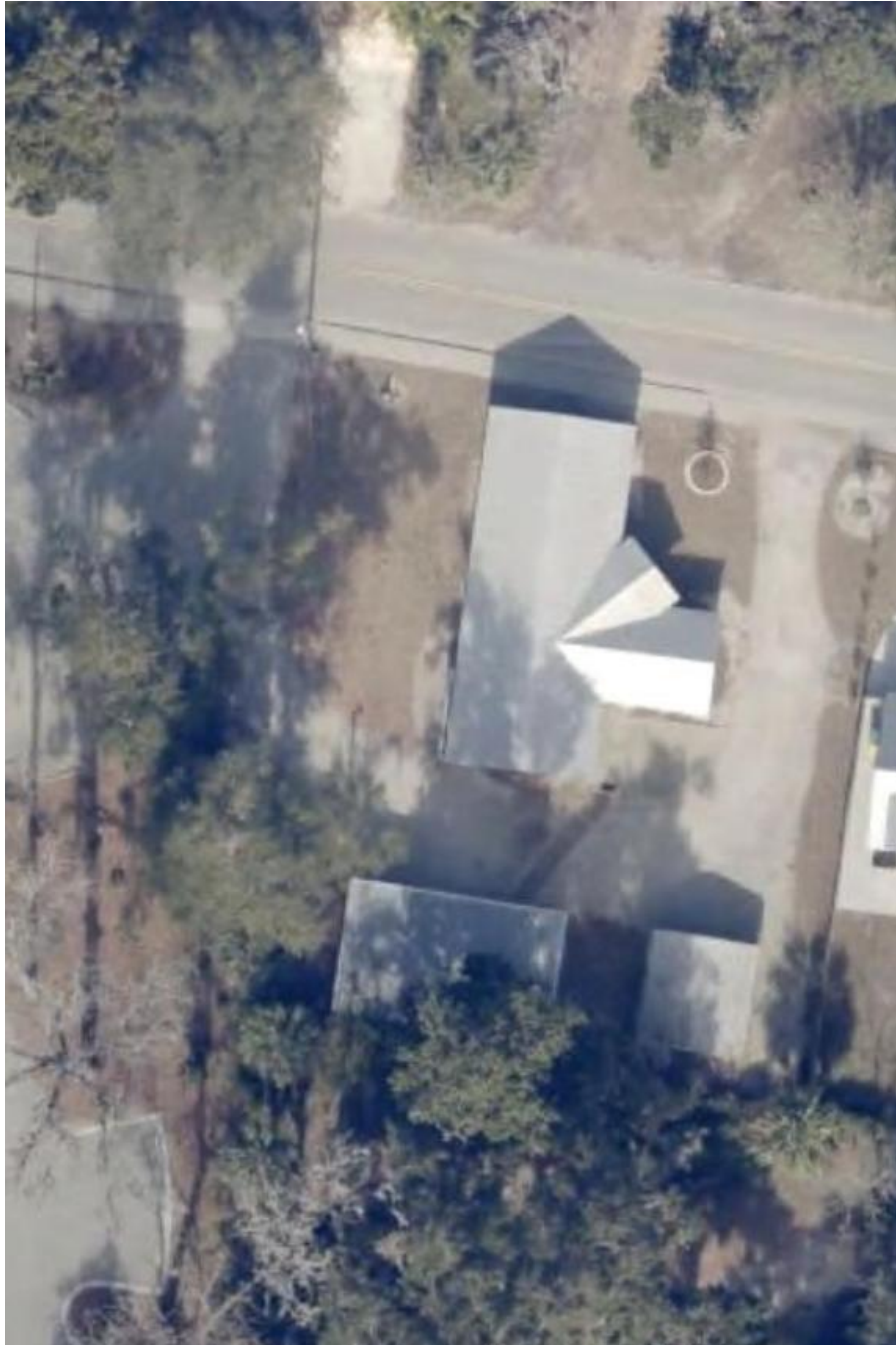
The new use for the building will be The Bluffton Bookshop. It will be a general bookshop with fiction and non-fiction titles for both adults and children. There will also be an icery located on the western side of the building. The space is currently a laundry room (109 sf) and is less than 25% of the Retail business heated square footage as required by the UDO section 4.4.2.G.

We propose to enhance the street façade of the building by making it a proper entry with a porch. We will use the existing footprint and roof structure. The street facing wall will be removed and 4 columns and new beam will replace the structure. The roof will remain intact. The porch depth will be +/-6'. There will be a new wood door with glass and 2 storefront windows on the new entry wall.

We will be adding a double set of windows to match existing, street side of the eastern part of the building. The window in the current laundry room (now Icery) will be removed and replaced with a French casement window. A mural by a local artist may be painted on the exterior wall left of the Icery window. The rear door will be replaced with a door to accommodate ADA to match the existing door style. All other enhancements will be in the interior of the building. All exterior materials and trim to Match Existing.

Witmer Jones Keefer has submitted the development plan and is set to be on the June 25 Planning Commission Agenda.

An existing garage is also located on the rear of the property. Nothing is to be done with this building at this time.



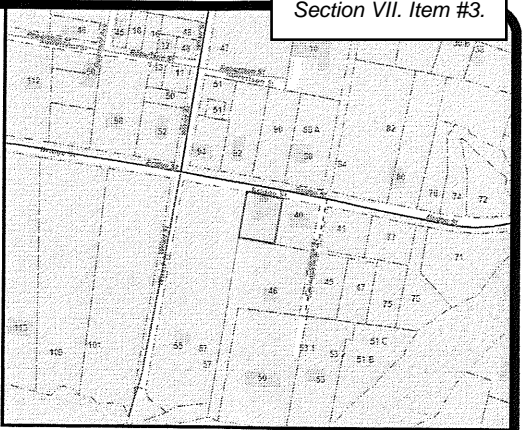


Street Elevation

Remove front wall and door
Add Columns and beam to support roof
Add Door and Windows to the Wall beyond



West Elevation
Remove and Replace Window
Possible Mural from Local Artist

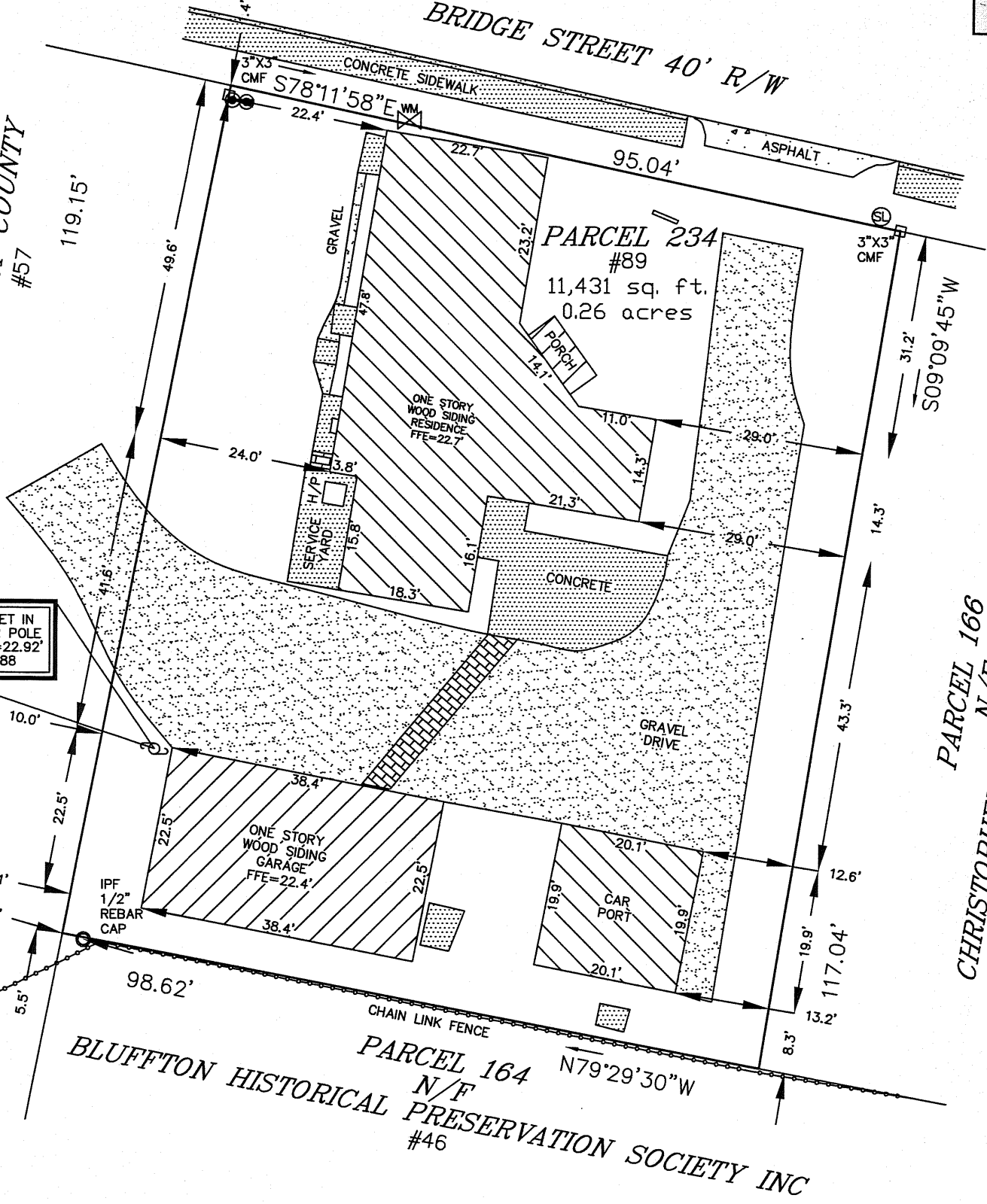


LOCATION MAP NOT TO SCALE

LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
- H/P □ - HEAT PUMP
- ⊗ - WATER METER
- ⊕ - POWER POLE
- ⊖ - SEWER LATERAL

PARCEL 165
N/F
BEAUFORT COUNTY
#57

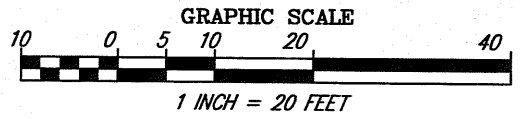


TBM SET IN
POWER POLE
ELEV.=22.92'
NAVD88

PARCEL 166
N/F
CHRISTOPHER J & LACY M CANTRELL
2015 REVOC TRUST
#40

- NOTES: 1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

DIST. 610, MAP 39A, PARCEL 234
REFERENCE PLAT(S):
PLAT BOOK 128 AT PAGE 1



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
JAMIE OLIVER

AN AS-BUILT SURVEY OF PARCEL 234 BRIDGE STREET,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

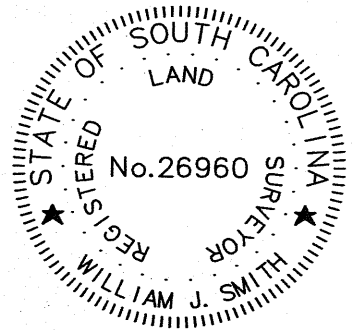
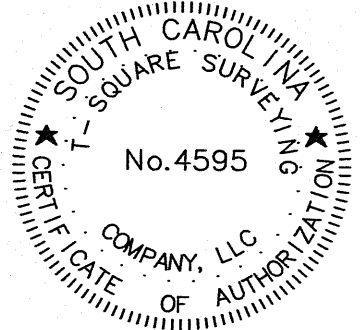
DATE: FEBRUARY 19, 2025

T-SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@hargray.com
Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED

WILLIAM J. SMITH, PLS # 26960



JOB # 94-251AR

1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. REFER TO ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES AND ROADS
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE.
4. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
5. THE REQUIREMENTS, SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES
6. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
7. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
8. W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MAKE INFIELD MODIFICATIONS, IF NECESSARY.
9. CONTRACTOR SHALL PROVIDE AND FURNISH ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
10. BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTRACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
11. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
12. CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
13. CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIF LINE OF ALL TREES, NATURAL AREAS AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
14. ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF BEAUFORT COUNTY AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNMENT REGULATIONS.
15. CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
16. CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
17. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
18. ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

1. THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
2. ALL DEMOLISHED MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS APPLICABLE PER DECATUR COUNTY CODES.
3. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
5. ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING WORK. WHEN ANY UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE, ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AUTHORITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND FOR APPROVAL OF WORK WITHIN THE EASEMENT.
7. THE REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
8. THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
9. SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE SALVAGEABLE DUE TO THE NEARBY UTILITIES.
10. BARRIERS AND / OR FLAG MIRE MAY BE REQUIRED FOR SAFETY, VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
11. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SAFETY NOTIFICATION IS MADE.

- CONTRACTOR SHALL IMPLEMENT ALL SILT FENCE OR OTHER SEDIMENT CONTROL MEASURES AROUND ALL DISTURBED AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY 24 HOURS. CALLED DATES ARE WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. SITE INSPECTIONS IDENTIFY BMP'S THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY. MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL.
- CONTRACTOR TO PROVIDE SILT FENCE AND / OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING REUSED FOR ANY PURPOSES AS REQUIRED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND / OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD / SOIL DAILY FROM ALL SURFACES AS REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND / OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED BY A DOUBLE ROW OF SILT FENCE TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 100-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL W.O.S.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN THIRTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW:
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

1. ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFER, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
4. ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS SHALL BE STAKED AND REVIEWED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
5. ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
6. ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
7. CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
8. ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

1. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
2. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS. ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE PROMPTLY UPON THE DISCOVERY OF ANY SUCH REQUIRED ADJUSTMENTS.
4. THE CONTRACTOR SHALL PROVIDE FILL AS IS REQUIRED TO OBTAIN PROPER RELATIONSHIP OF FOOTING TO FINISH GRADE REQUIREMENTS - FEATHER FILL TO ADJACENT EXISTING GRADE TO ASSURE A COORDINATED AND DESIRED EFFECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONDITIONS SCHEDULED TO REMAIN DURING CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES DURING CONSTRUCTION.
7. IN-FIELD MODIFICATIONS MAY BE NECESSARY TO PRODUCE DESIRED EFFECT. MODIFICATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
8. ALL WELDS TO BE CONTINUOUS.
9. FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
10. CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT ANY DISCREPANCIES TO OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
11. ALL NOTCHES SHALL BE SHOT CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG, SEAL AND PRIME.
12. FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
13. ALL CONNECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THROUGH RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNUAL STAINLESS STEEL.
14. ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION, MINIMUM 3" APART.

1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - 1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
 - 1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
 - 1.3. CLAY-SILT CONTENT - FIFTY-THIRTY FIVE (75) TO SEVEN (70) PERCENT BY MASS.
 - 1.4. TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7)
2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TRAP RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
3. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
4. PRIOR TO STOCKPILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SCREEN. STOCKPILING SHALL BE DONE AT LOCATIONS WITH PROPER DRAINAGE AND WHERE THERE WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
5. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
6. SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRASS AREAS INCLUDING: DRIVING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

1. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
3. LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
4. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
5. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
6. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
7. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUALITY CHECKS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION. REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
8. GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
10. ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT CRACKING.
11. ALL PLANT MATERIAL [EXCEPT SEASONAL COLOR] SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
12. ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
2. SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
3. ALL AREAS IN WHICH THE EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
4. AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
5. SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
6. THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
7. UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN [18] DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
9. LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OR OTHERWISE AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
10. MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
11. FINE SEEDING AND GRASS AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
12. SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
13. SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIAMENSION, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.

1. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWN.
2. NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ON ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
3. LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
4. LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
5. CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
6. ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
7. ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
8. CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

WITMER JONES KEEFER
BLUFFTON, SC
(843) 757.7411

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T SQUARE SURVEYING
BLUFFTON, SC.
(843) 757.2650

FOR

89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SOUTH CAROLINA

DATE:	MAY 28, 2025
PROJECT NO.:	XXXXX.XX
DRAWN BY:	JM/EB
CHECKED BY:	DK



DRAWING TITLE
**COVER SHEET AND
PROJECT NOTES**

CS

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR

89 BRIDGE STREET

NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SOUTH CAROLINA

DATE: MAY 28, 2025
PROJECT NO.: XXXXX.XX
DRAWN BY: JM/EB
CHECKED BY: DK

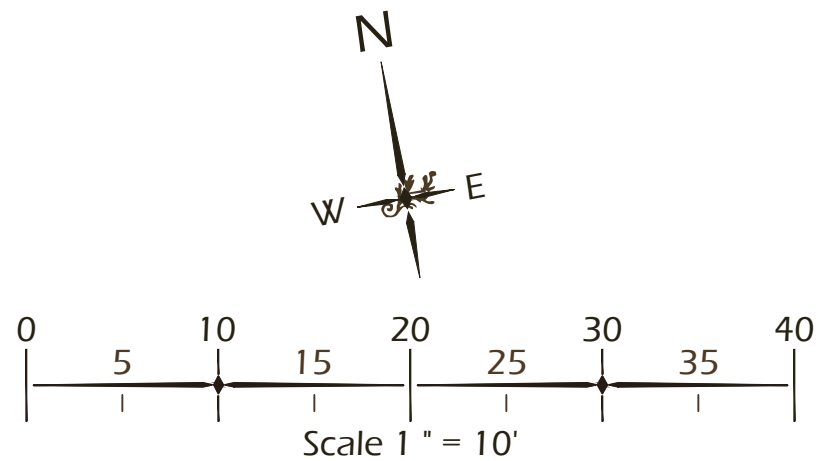
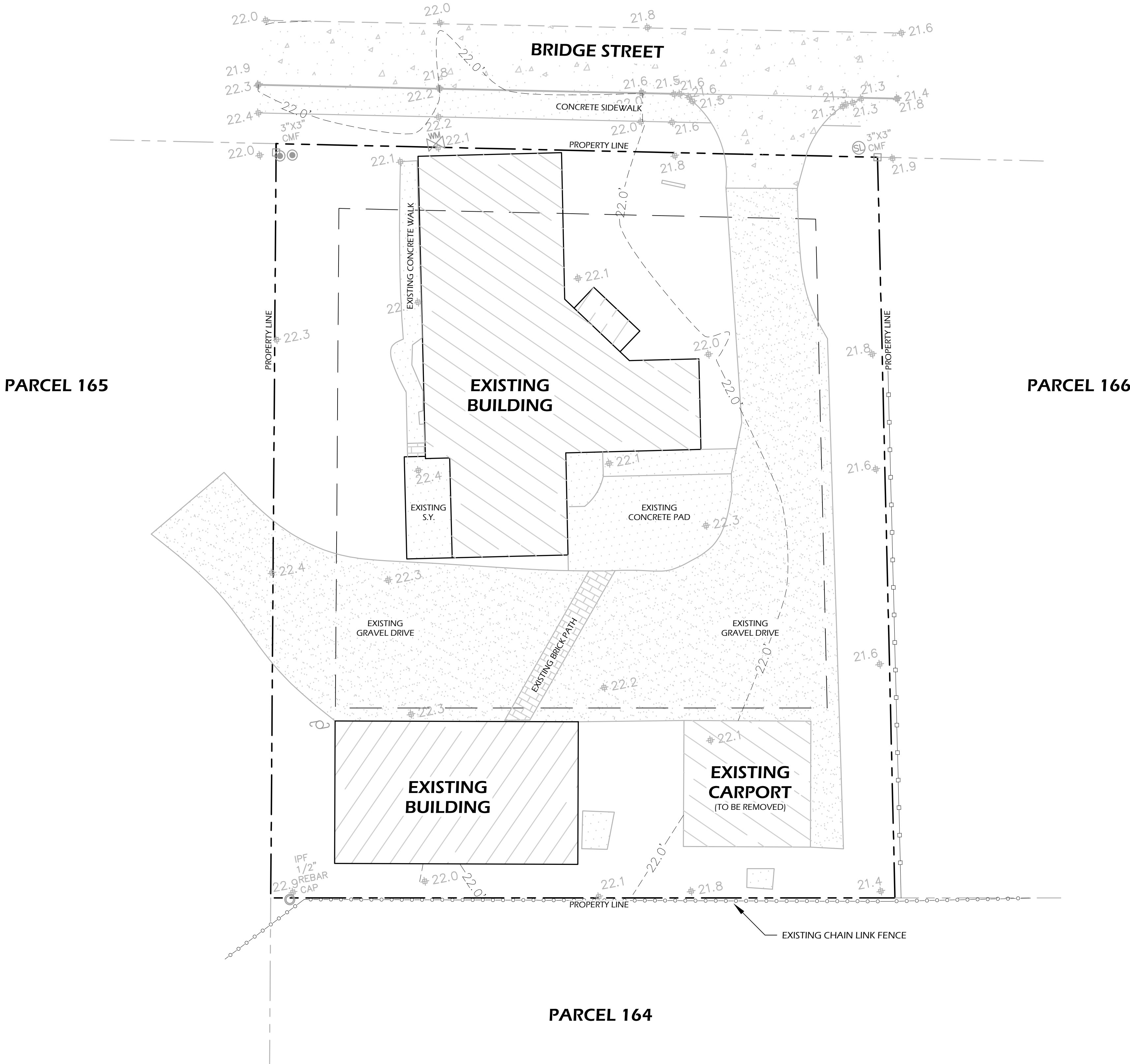


REVISIONS:

DRAWING TITLE
SITE PLAN -
EXISTING CONDITIONS

DRAWING NUMBER
L10

EXISTING SITE COVERAGE TABLE	
	ACTUAL COVERAGE (SF)
TOTAL IMPERVIOUS	7,025 S.F.
TOTAL SITE AREA	11,431 S.F.
% SITE COVERAGE	61.46%



SITE DEVELOPMENT PLANS
FOR
89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SOUTH CAROLINA

DATE:	MAY 28, 2025
PROJECT NO.:	XXXXX.XX
DRAWN BY:	JM/EB
CHECKED BY:	DK



REVISIONS:

DRAWING TITLE
**SITE PLAN -
PROPOSED CONDITIONS**



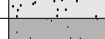
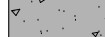

DRAWING NUMBER

L100

EXISTING SITE COVERAGE TABLE	
	ACTUAL COVERAGE (SF)
TOTAL IMPERVIOUS	7,583 S.F.
TOTAL SITE AREA	11,431 S.F.
% SITE COVERAGE	66.34%
TOTAL INCREASE IN IMPERVIOUS AREA	558 S.F. (4.88%)

REQUIRED PARKING			
DESCRIPTION	S.F.	REQUIREMENTS	PARKING SPACES
RETAIL (BOOKSTORE)	±1,660	02 SPACES/1,000 S.F.	03
CARRY-OUT (ICERY)	±109	02 SPACES/1,000 S.F.	01
TOTAL REQUIRED SPACES			04

PARKING SUMMARY	
DESCRIPTION	PARKING SPACES
CAR	05
ACCESSIBLE CAR / VAN	01
TOTAL PROPOSED SPACES	06
TOTAL EXISTING SPACES	00
TOTAL PARKING SPACES	06

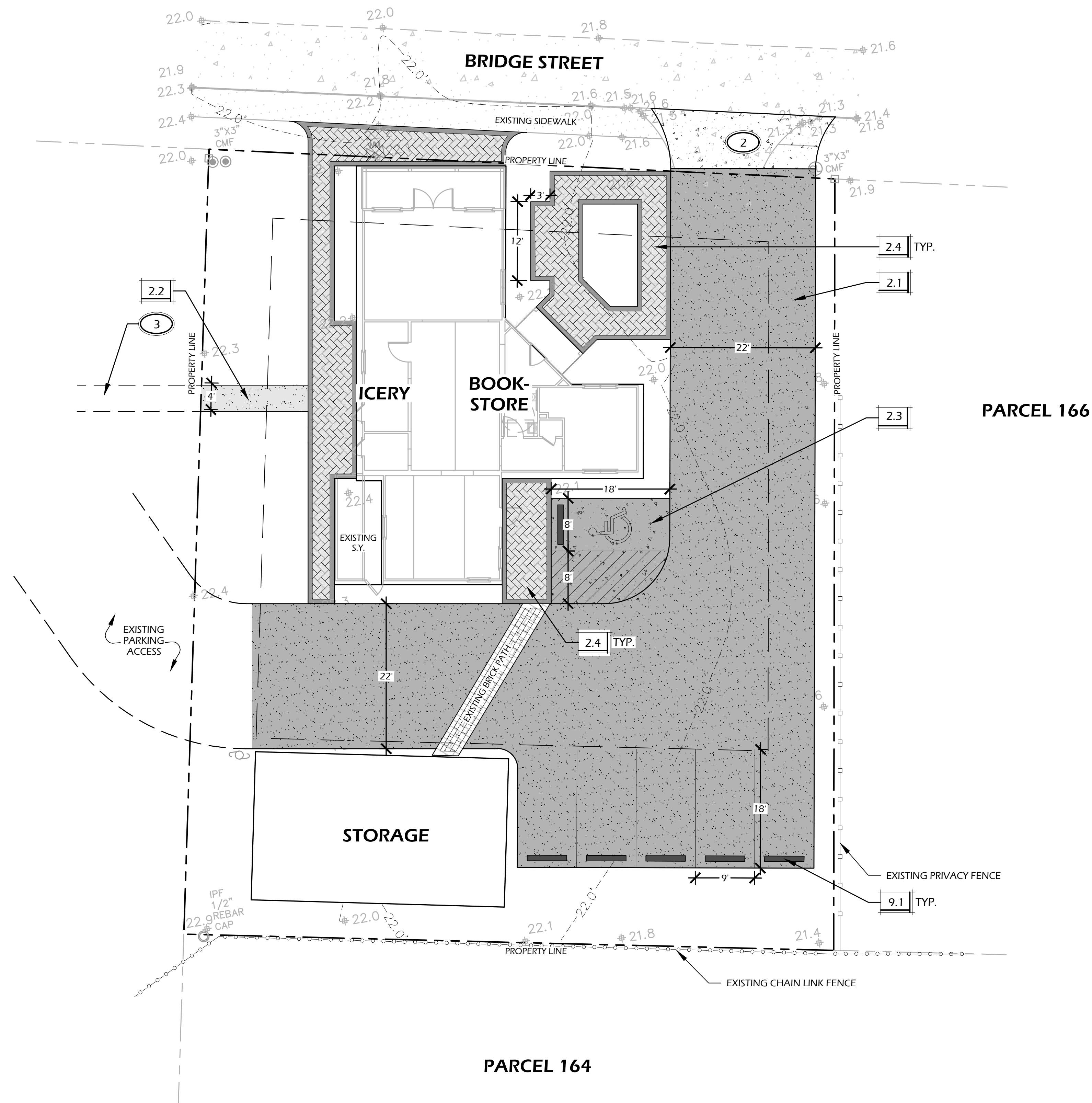
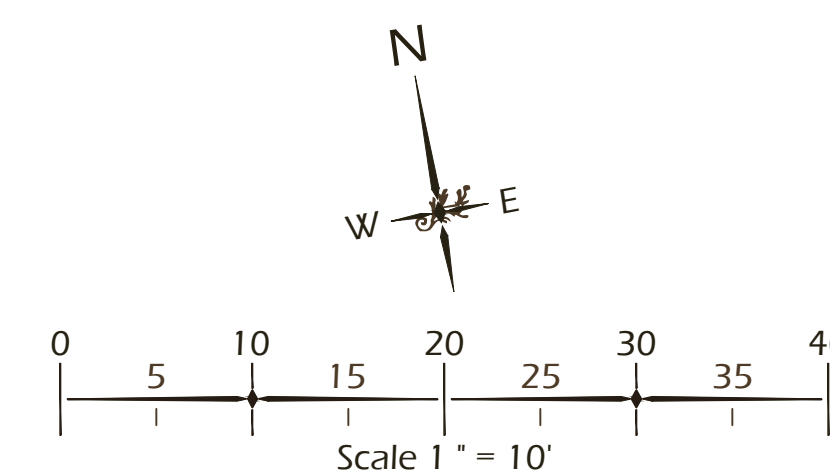
PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		GRAVEL DRIVE (NEW TOPCOAT)	1/L600
2.2		GRAVEL (S.E.) WALK	2/L600
2.3		TABBY CONCRETE APRON/PARKING	3/L600
2.4		PERVIOUS PAVER WALK	4/L600
NA		BORDER	NA

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

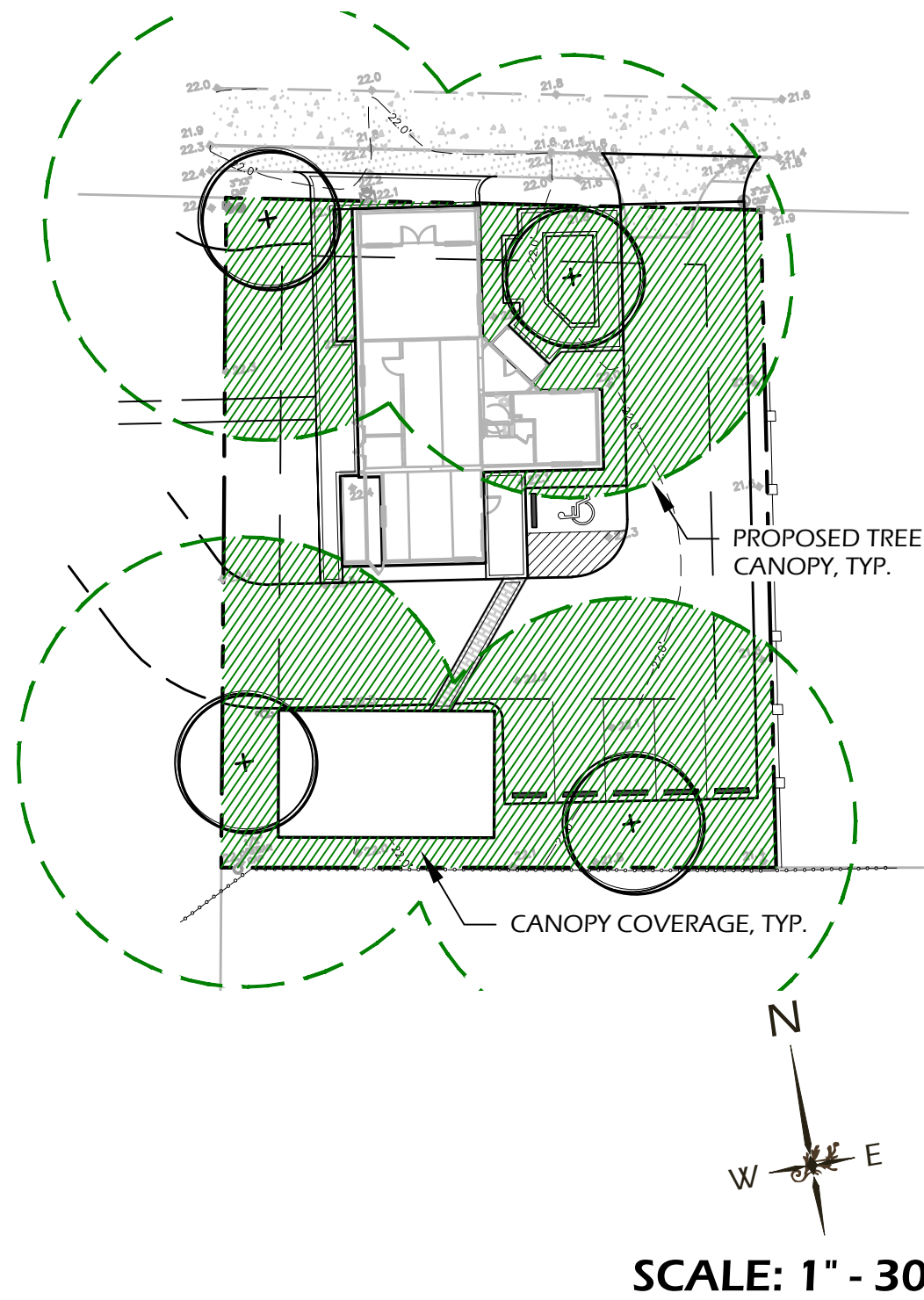
SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
9.1	WHEEL STOP	5/L600

KEY SHEET REFERENCE NOTES:

- 1 A.D.A. ACCESSIBLE PARKING.
- 2 ACCESS DRIVE APRON TO BE INSTALLED AS PART OF THE TOWN OF BLUFFTON'S BRIDGE STREET STREETSCAPE PUBLIC PROJECT.
- 3 CONNECT GRAVEL WALK TO ADJACENT PARKING LOT.

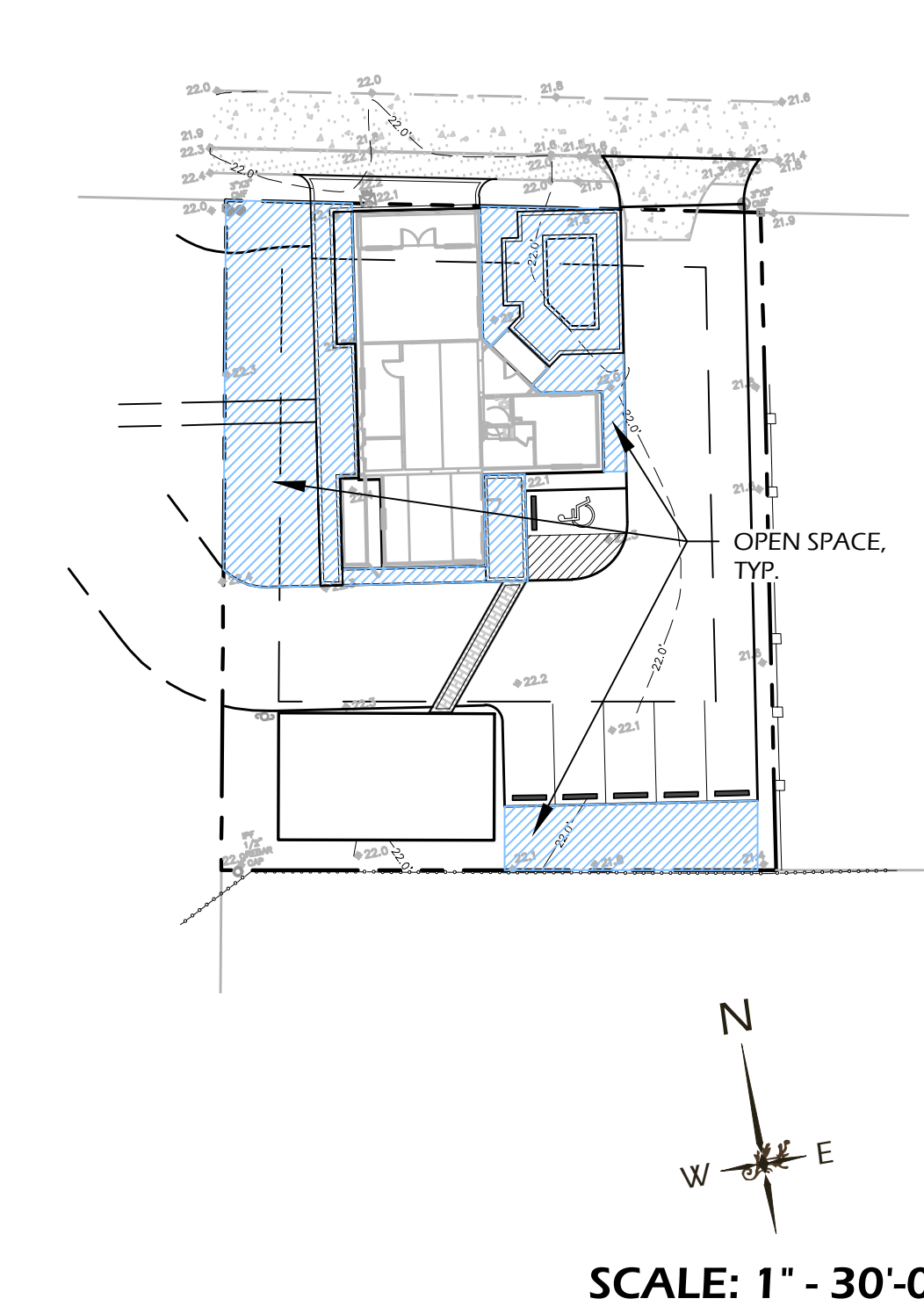


CANOPY COVERAGE EXHIBIT:



CANOPY COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	11,431 S.F.
BUILDING FOOTPRINT	2,743 S.F.
REMAINING SITE AREA	8,688 S.F.
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	6,758 S.F.
% CANOPY COVERAGE (75% MIN.)	77.8%

OPEN SPACE EXHIBIT



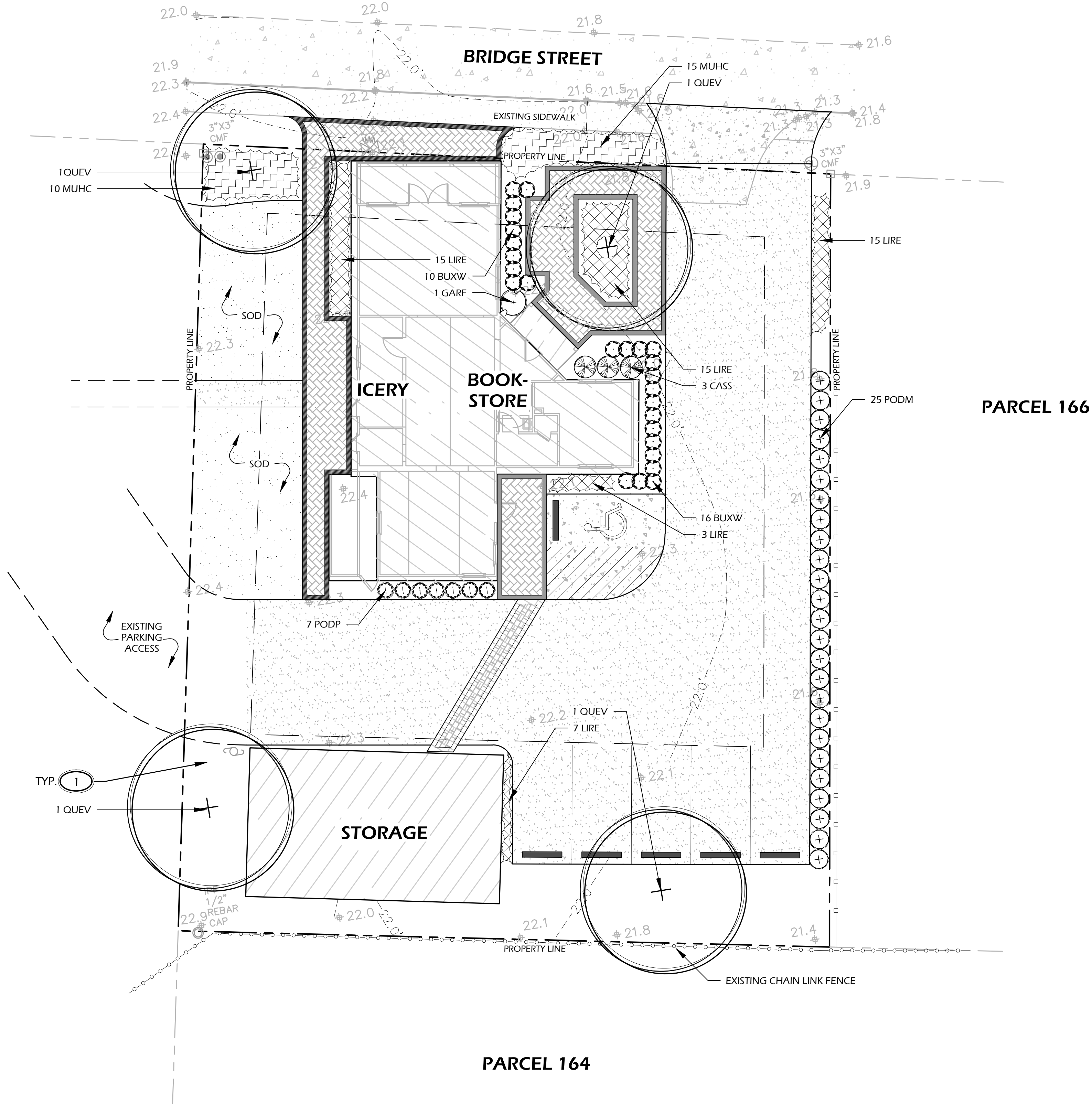
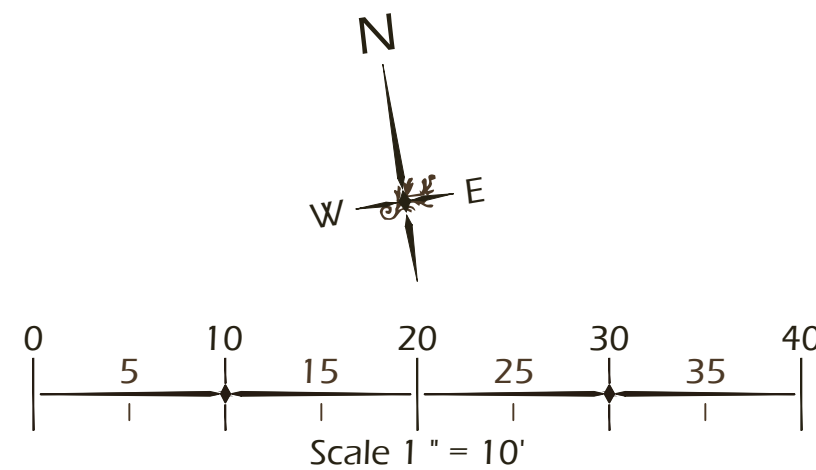
OPEN SPACE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL LIMIT OF WORK AREA	11,431 S.F.
OPEN SPACE	3,068 S.F.
% OPEN SPACE (20% MIN.)	26.84%

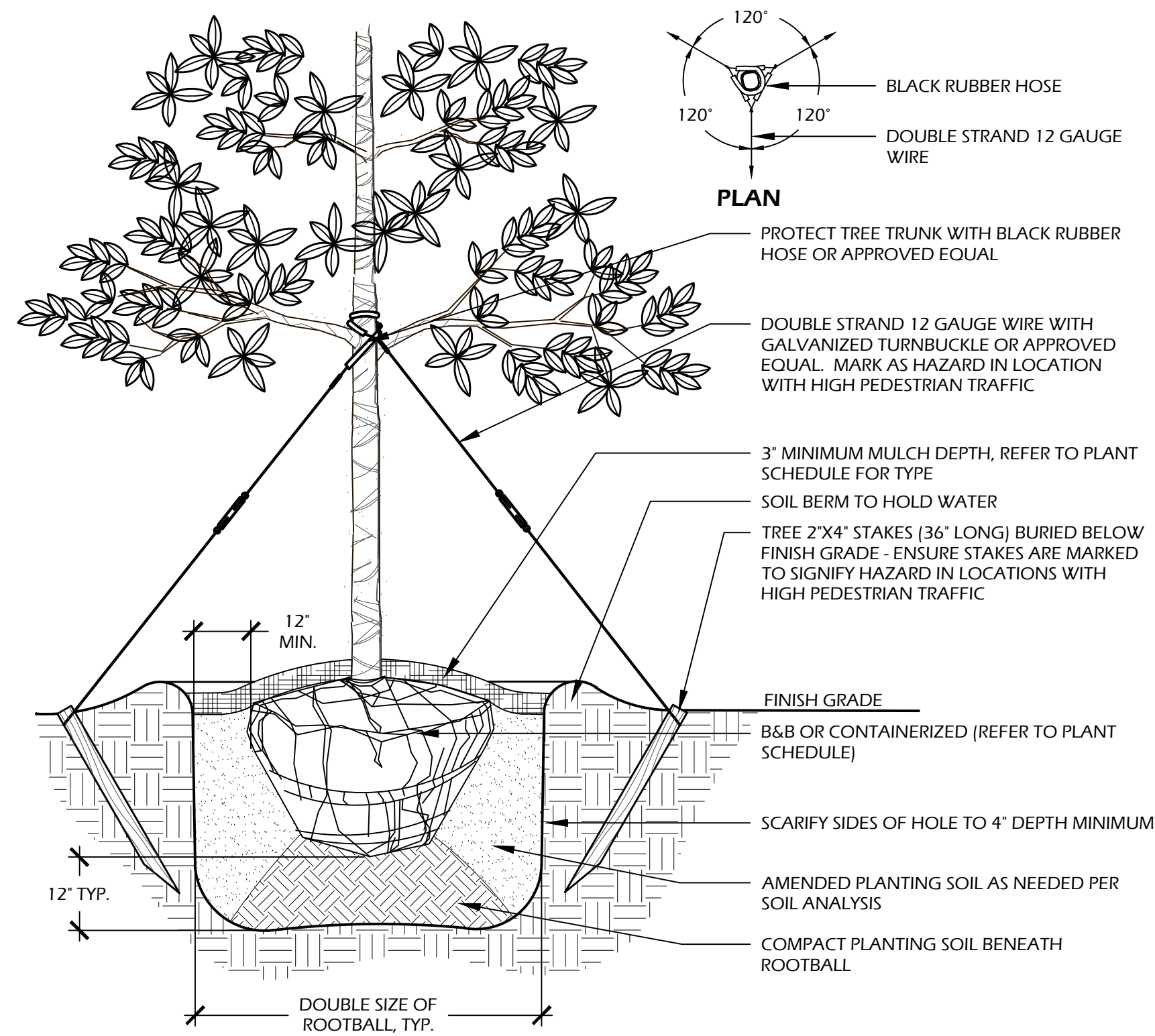
PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
SHRUBS		
BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood
CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia
GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
ORNAMENTAL GRASSES & FERNS		
MUHC	Muhlenbergia capillaris	Pink Muhly Grass
GROUND COVERS, VINES & PERENNIALS		
LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope

PLANTING REFERENCE NOTES:

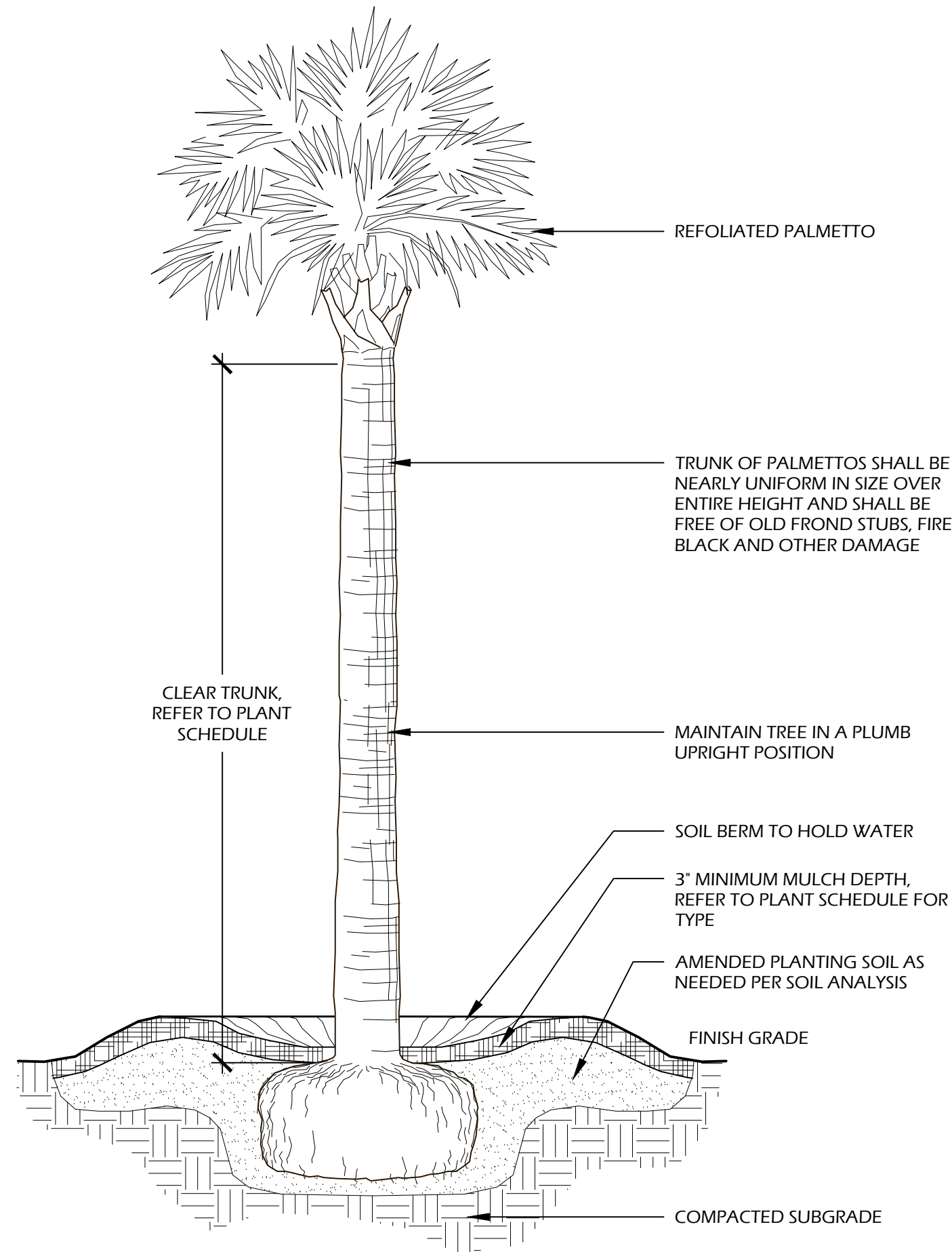
- ① MULCH DISTURBED AREAS DUE TO CONSTRUCTION.





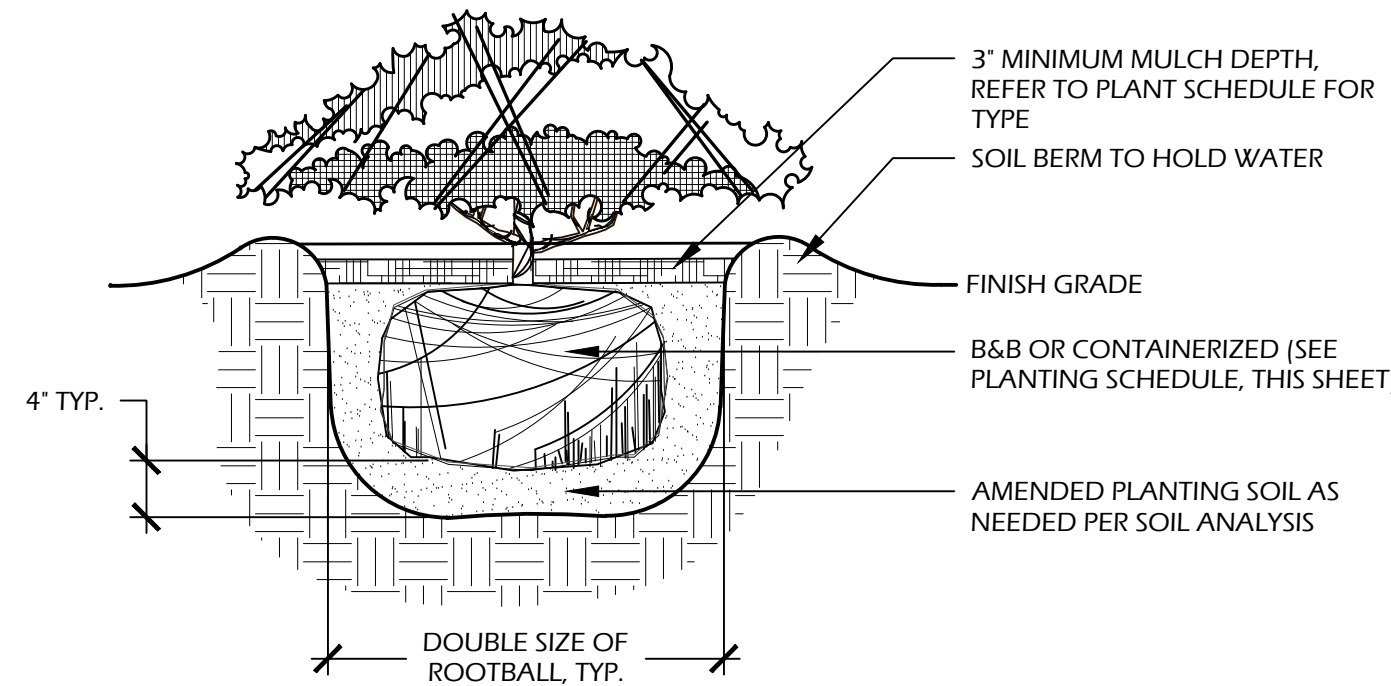
- NOTES:**
1. TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



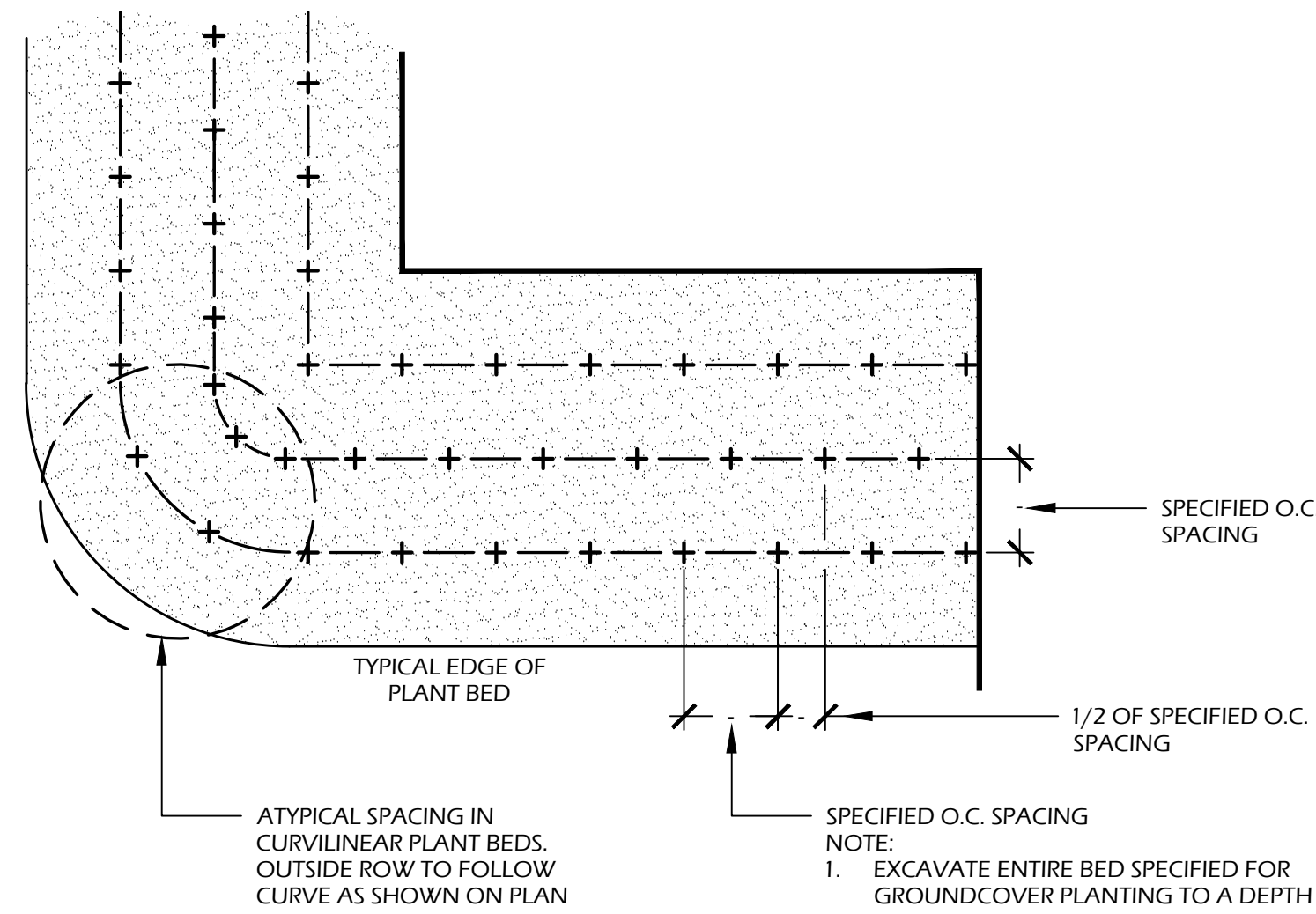
- NOTES:**
1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE ±2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

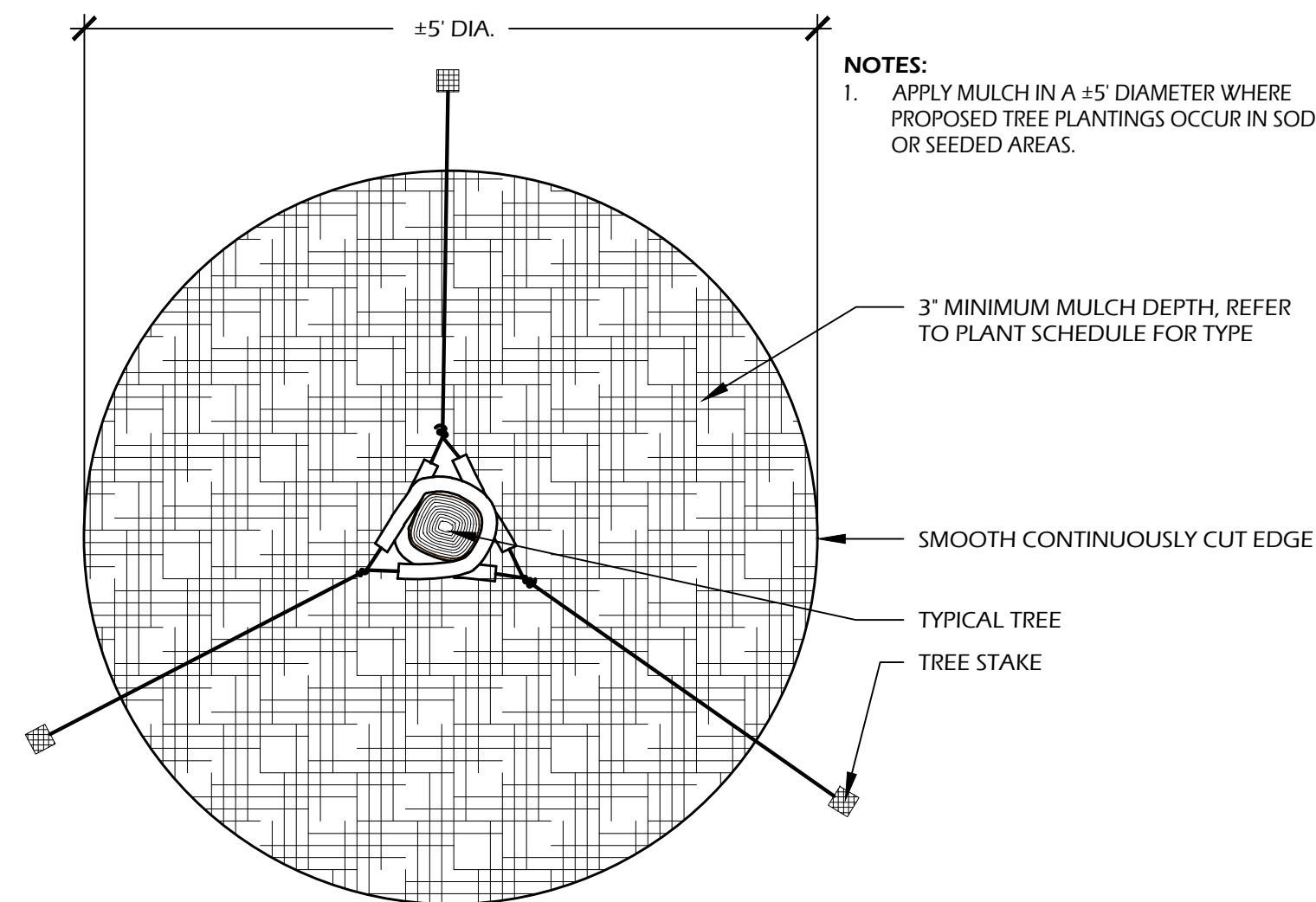
3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANTING SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
4	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
SHRUBS								
26	BUXW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	12'-18"	12'-18"	7 gal.	-	Full
3	CASS	Camellia sasanqua 'Shishi Gashira'	Shishi Gashira Dwarf Camellia	18"-24"	2'-3'	7 gal.	-	Full
1	GARF	Gardenia jasminoides 'Frost Proof'	Frost Proof Gardenia	4'-5'	2'-3'	15 gal.	-	Full
25	PODM	Podocarpus macrophyllus	Podocarpus	36"-42"	24"-30"	15 gal.	-	Full
7	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18"-24"	16"-20"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
25	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	14'-16"	10'-16"	1 gal.	30" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
40	LIRE	Liriope muscari 'Evergreen Giant'	Evergreen Giant Liriope	12"-16"	8"-12"	1 gal.	24" O.C.	Full
SOD & MULCH								
950	SODSF	-	Empire Zoysia Sod	-	-	-	-	-
1000	MULCHSF	Pine Straw - all disturbed areas	Pine Straw	-	-	-	-	-



- NOTES:**
1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREAS.

5 // L501 TREE STAKING
SCALE: N.T.S.

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR
89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SOUTH CAROLINA

DATE: MAY 28, 2025
PROJECT NO.: XXXXX.XX
DRAWN BY: JM/EB
CHECKED BY: DK

PLANNING COMMISSION
NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER
L501

SITE DEVELOPMENT PLANS
FOR
89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SOUTH CAROLINA

DATE: MAY 28, 2025
PROJECT NO.: XXXXX.XX
DRAWN BY: JM/EB
CHECKED BY: DK

PLANNING
COMMISSION
NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

L600

CONCRETE INFORMATION:

CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL

SOIL INFORMATION:

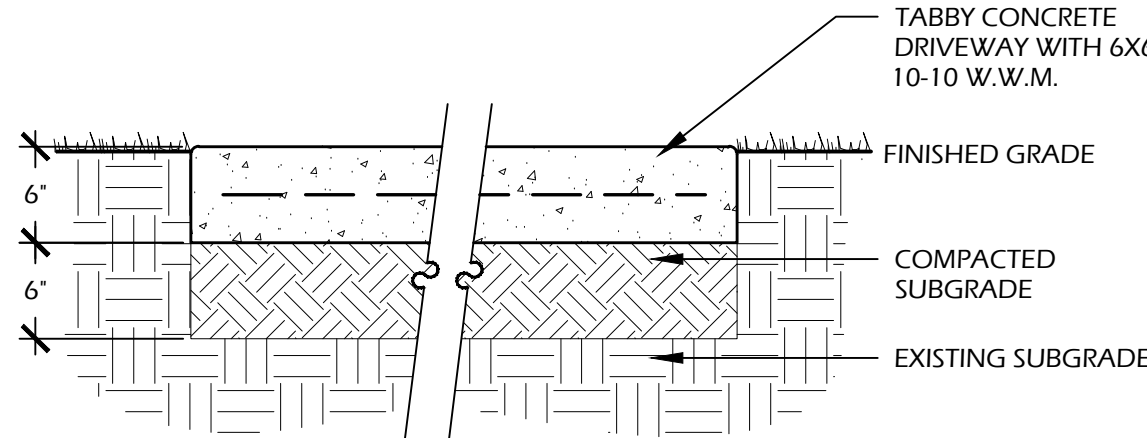
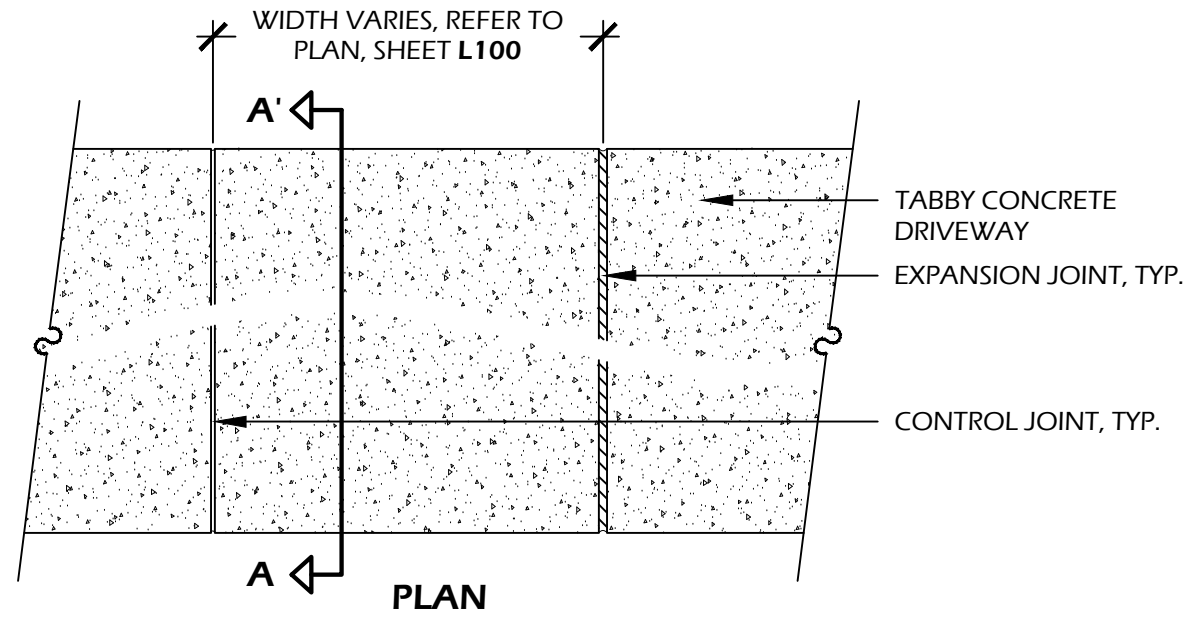
SOIL COMPACTION: 95% STANDARD
PROCTOR

TABBY SPEC:

- SHELL FINISH SHALL BE OYSTER SHELL
MIX (EQUAL PARTS, SIZE #2, AND #3)
HAND THROWN / SPREAD TO 100%
COVERAGE ON FRESH POURED AND
LEVELED CONCRETE.
- HAND FLOAT UNTIL SHELL IS
SUBMERGED, THEN AFTER 90% CURED,
LIGHTLY PRESSURE WASH UNTIL SHELL
IS EXPOSED.

NOTES:

- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE
ON ALL PAVED SURFACES FOR POSITIVE
DRAINAGE.
- REFER TO PLAN [SHEET L100] FOR
WIDTHS OF DRIVEWAY.
- CONSTRUCT EXPANSION JOINTS WHERE
WALK MEETS CURBS, STEPS, WALLS OR
FIXED SLABS.
- UPON REQUEST, CONTRACTOR SHALL
PROVIDE 4'X4' SAMPLE OF CONCRETE
WITH 2 SIZES OF OYSTER SHELL FINISH
FOR APPROVAL BY OWNER OR
LANDSCAPE ARCHITECT.



SECTION A-A'

3 // L600 TABBY CONCRETE APRON/PARKING
SCALE: 1" = 1'-0"

EDGING AND STAKE INFORMATION:

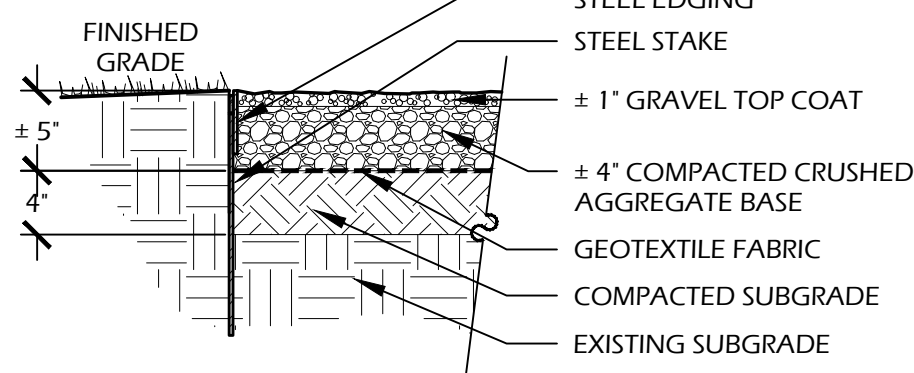
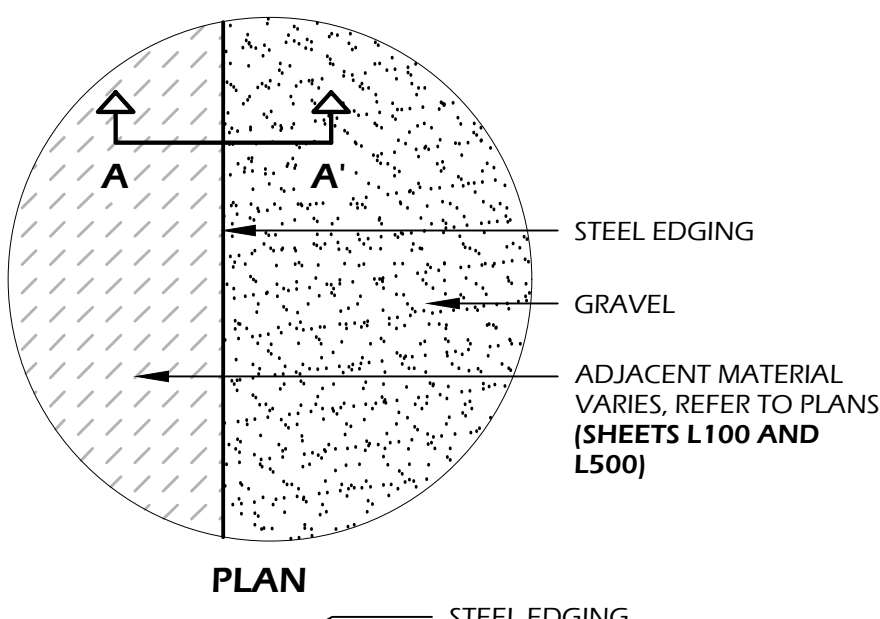
MANUFACTURER:
BORDER CONCEPTS, INC.
7621 LITTLE AVE., SUITE 426
CHARLOTTE, NC, 28226
PHONE: (800) 845.3343
WEB: WWW.BORDER CONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16" X 4" X 16"
STAKES: STANDARD STAKE 3/16" THICK X 15"
LONG [6 PER 16']
COLOR: BLACK

NOTE: INSTALL FLUSH PER MANUFACTURES
SPECIFICATIONS

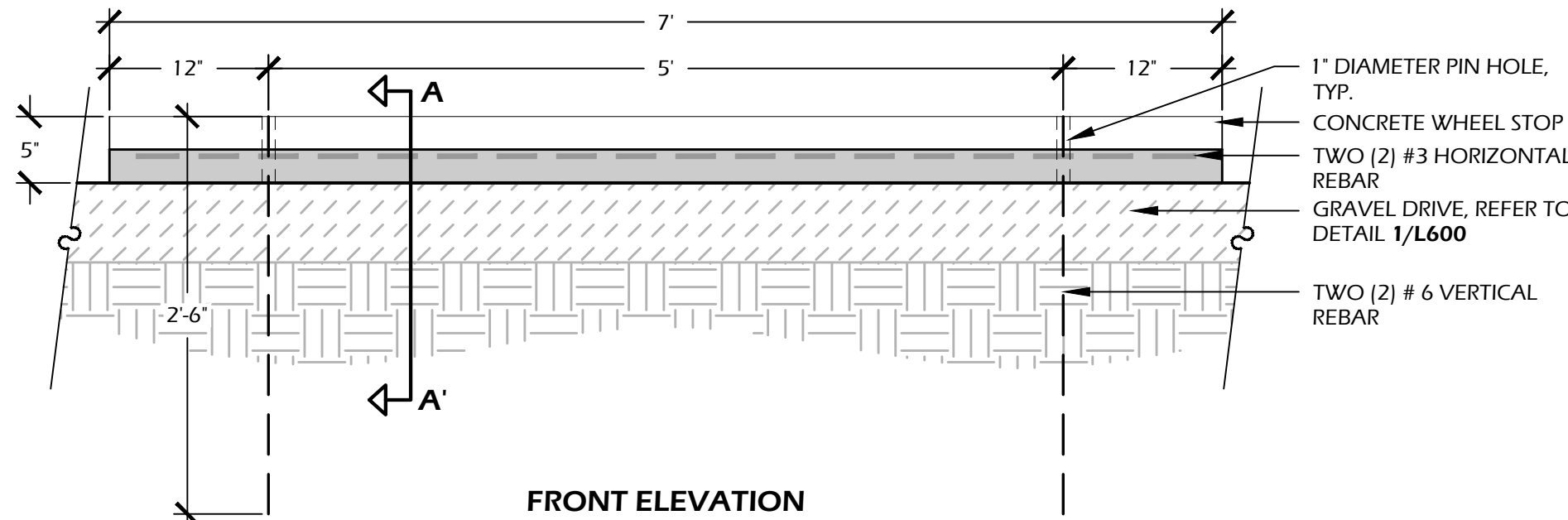
OTHER INFORMATION:

GEOTEXTILE FABRIC: TYPAR 3401 OR
APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD
PROCTOR

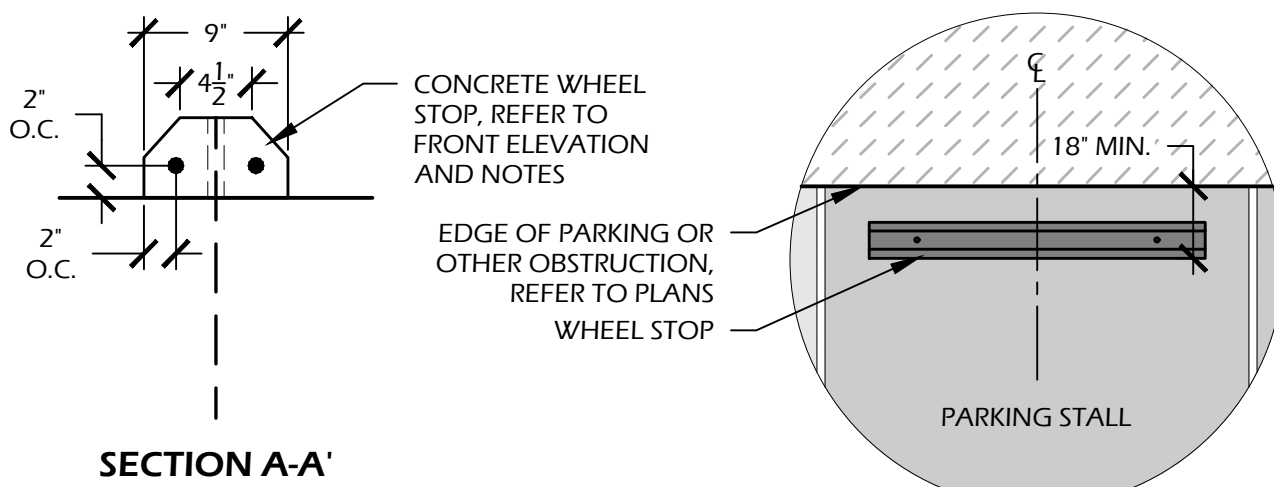


SECTION A-A'

2 // L600 GRAVEL WALK
SCALE: 1" = 1'-0"



FRONT ELEVATION



PLAN DIAGRAM - N.T.S.

CONCRETE INFORMATION:

CONCRETE: S.C.D.O.T. CLASS 3,000 P.S.I.

NOTES:

- WHEEL STOPS SHALL BE STEEL
REINFORCED PRECAST CONCRETE
UNITS.
- WHEEL STOPS SHALL BE INSTALLED
PERPENDICULAR TO PARKING
STALL AND SHALL BE PLACED A
MINIMUM OF 18" FROM END OF
PARKING STALL OR OBSTRUCTION.
- ANCHORING PINS SHALL BE
DRIVEN FLUSH TO THE TOP OF THE
WHEEL STOP AND PIN HOLES
SHALL BE SEALED WITH GROUT
UPON INSTALLATION.

EDGING AND STAKE INFORMATION:

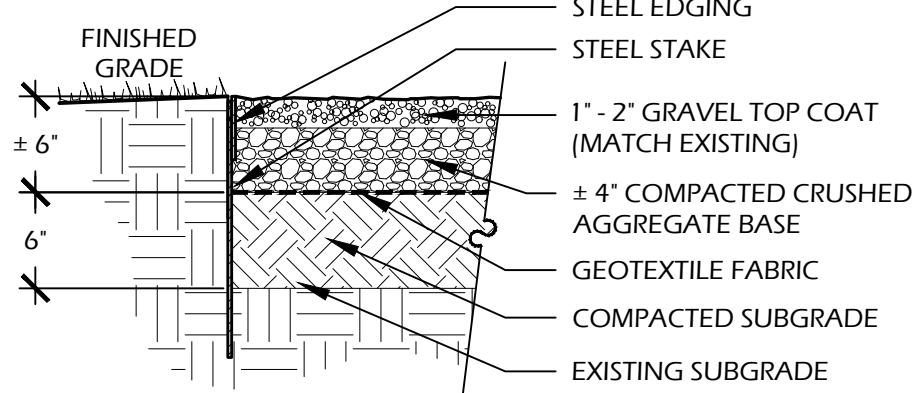
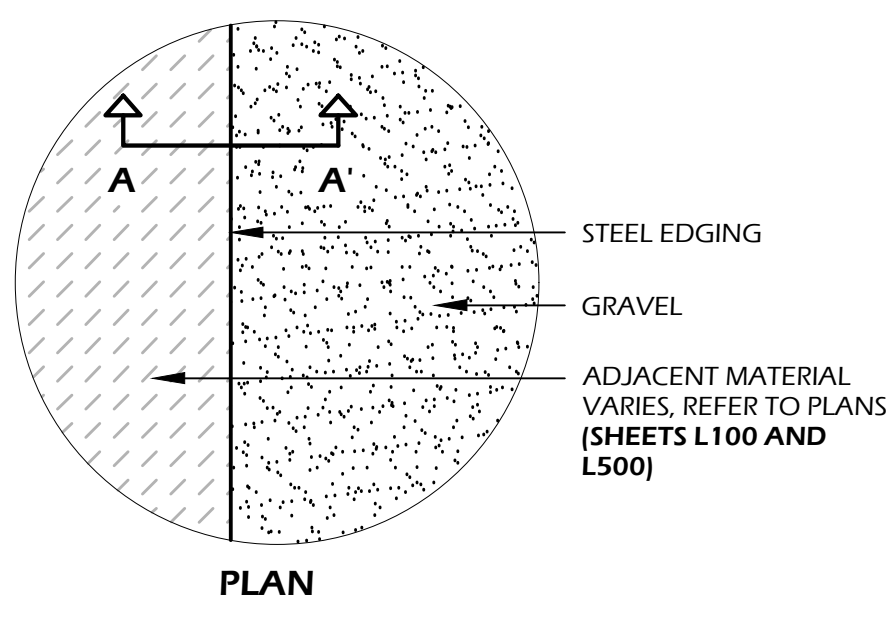
MANUFACTURER:
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PHONE: (800) 845.3343
WEB: WWW.BORDER CONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16" X 4" X 16"
STAKES: STANDARD STAKE 3/16" THICK X 15"
LONG [6 PER 16']
COLOR: BLACK

NOTE: INSTALL FLUSH PER MANUFACTURES
SPECIFICATIONS

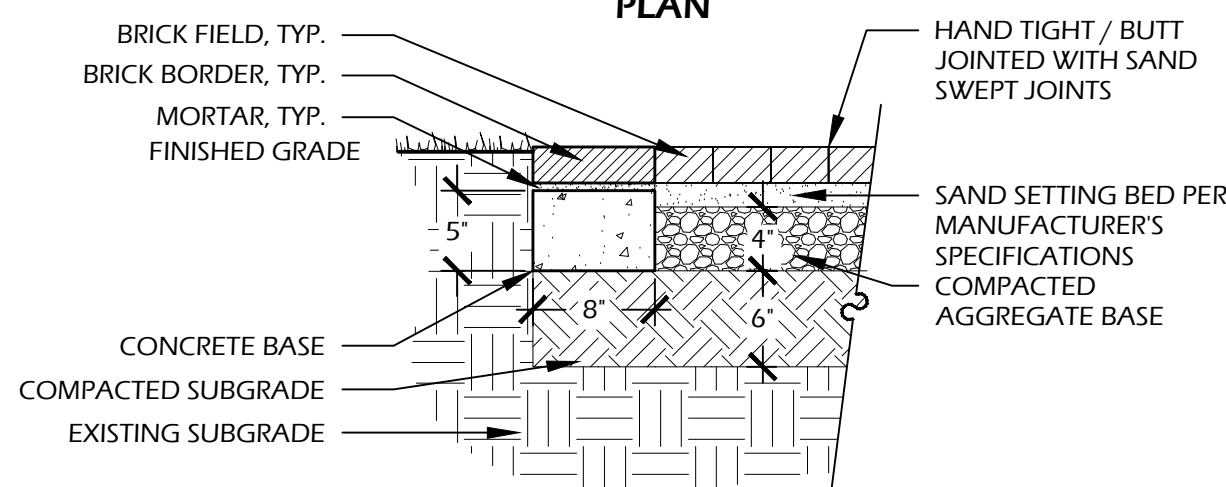
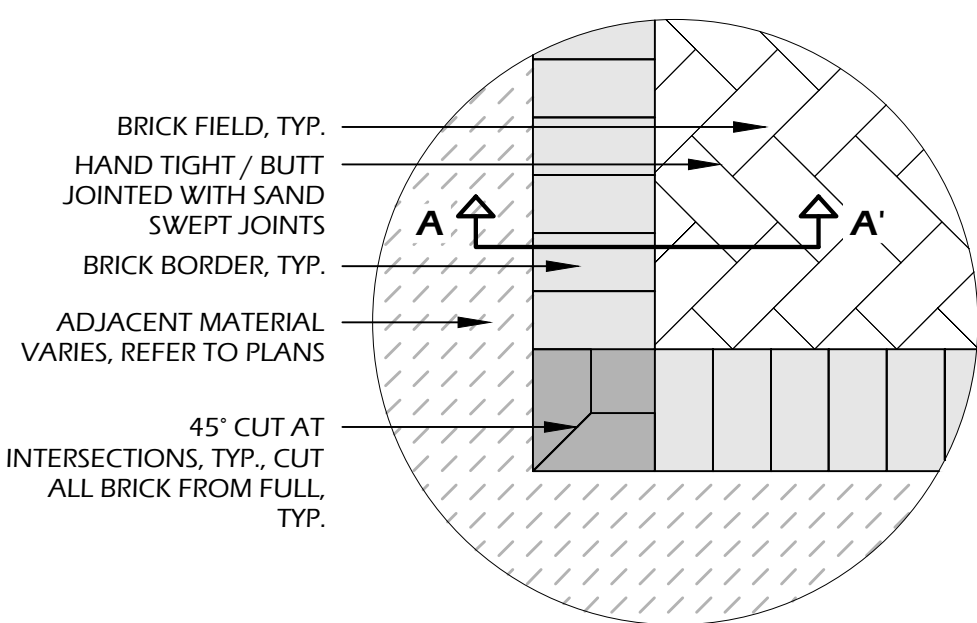
OTHER INFORMATION:

GEOTEXTILE FABRIC: TYPAR 3401 OR
APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD
PROCTOR



SECTION A-A'

1 // L600 GRAVEL DRIVE (NEW TOPCOAT)
SCALE: 1" = 1'-0"



SECTION A-A'

4 // L600 PERVIOUS PAVER WALK
SCALE: 1" = 1'-0"

BRICK MANUFACTURER INFORMATION:

MANUFACTURER: TO MATCH
ARCHITECTURE

BRICK: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: HERRINGBONE FIELD (REFER
TO PLAN, SHEET L100, FOR DIRECTION)
WITH SINGLE HEADER COURSE BORDER
JOINTS: HAND TIGHT / BUTT JOINTED,
SAND SWEEP

OTHER INFORMATION:

CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD
PROCTOR

NOTES:

- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE
ON ALL PAVED SURFACES FOR POSITIVE
DRAINAGE.
- REFER TO PLAN [SHEET L100] FOR
WIDTHS OF WALKS AND LOCATION OF
BRICK BORDERS.
- CONTRACTOR SHALL COORDINATE
BORDERS AND PATTERN WITH OWNER'S
REPRESENTATIVE PRIOR TO
CONSTRUCTION.
- UPON REQUEST, CONTRACTOR SHALL
PROVIDE 4'X4' PAVING PANELS OF
ALTERNATIVE COLORS PRIOR TO
CONSTRUCTION FOR APPROVAL BY
OWNER OR LANDSCAPE ARCHITECT.

5 // L600 WHEEL STOP
SCALE: 1" = 1'-0"

CODE INFORMATION	DRAWING INDEX
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DRAWING INDEX

NTS

GENERAL INFORMATION

24X36 PAPER SIZE

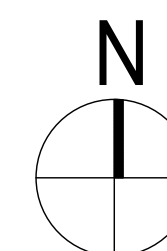
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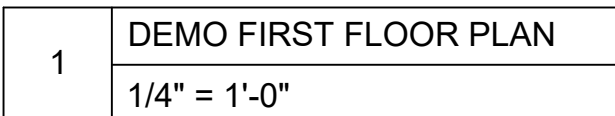
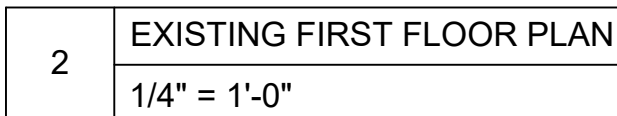
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ARCHITECTS**

6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

PROJECT NO.	2505
DATE	06.04.25
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SHEET NO.
A001
24X36 PAPER SIZE

Page 170



24X36 PAPER SIZE

DO NOT SCALE FROM DRAWINGS						
					AJD	INITIAL
					06.04.25	DATE
					03.11.25	
				FINAL HPC SUBMITTAL		
				CONCEPTUAL HPC SUBMITTAL		
				DESCRIPTION / REVISION LOG		
				NO.		

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COMMERCIAL REMODEL FOR:

ALLYN & JAMIE OLIVER
89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS

6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2505
DATE	06.04.25
DRAWN BY	AJD
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PROPOSED
PLAN

SHEET NO.

A101

24X36 PAPER SIZE

AREA CALCULATIONS

EXISTING HEATED: 1,418 S.F.

EXISTING FOOTPRINT: 1,769 S.F.

PROPOSED HEATED: 1,418 S.F.

PROPOSED FOOTPRINT: 1,769 S.F.

(checked 03/06/25 by AJD)

PLAN GENERAL NOTES:

A. ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. UNO.

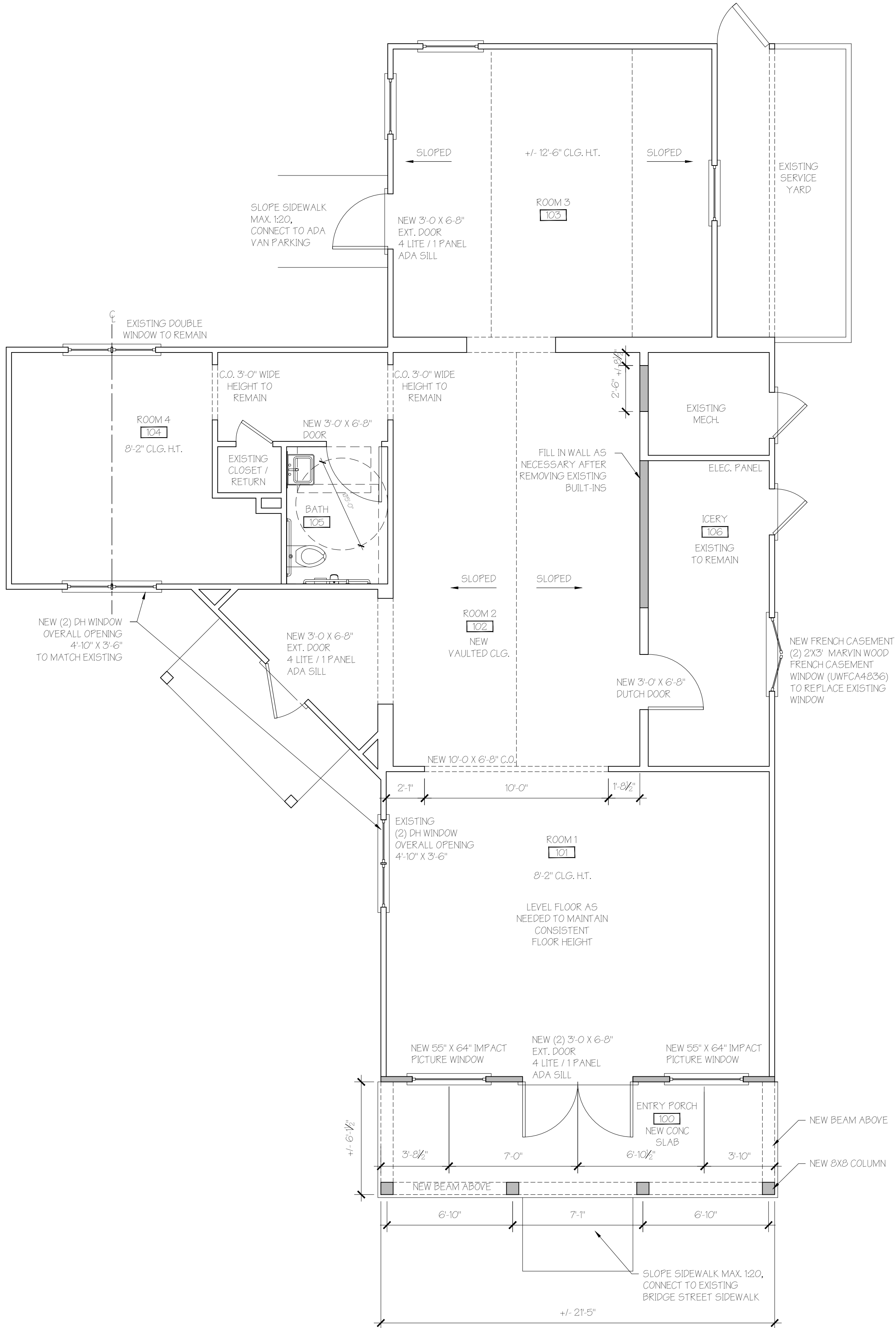
B. ALL INTERIOR DOORS TO BE 4" OFF OF ADJACENT STUD WALL UNO.

C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

D. ALL EXTERIOR WINDOW MULLS TO MATCH EXISTING

E. ALL NEW MATERIALS TO MATCH EXISTING

F. VERIFY ALL EXISTING DIMENSIONS, ALL DIMENSIONS TO BE +/-.



1 FIRST FLOOR PLAN
1/4" = 1'-0"

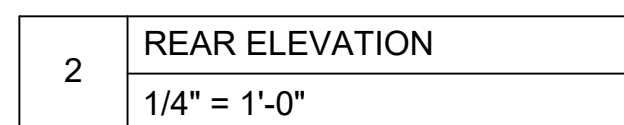
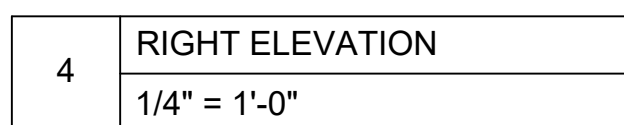
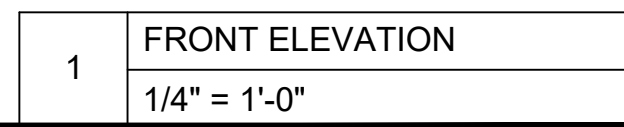
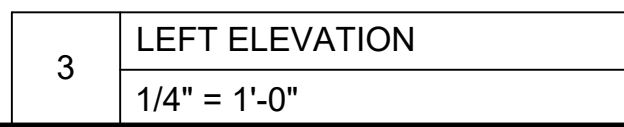
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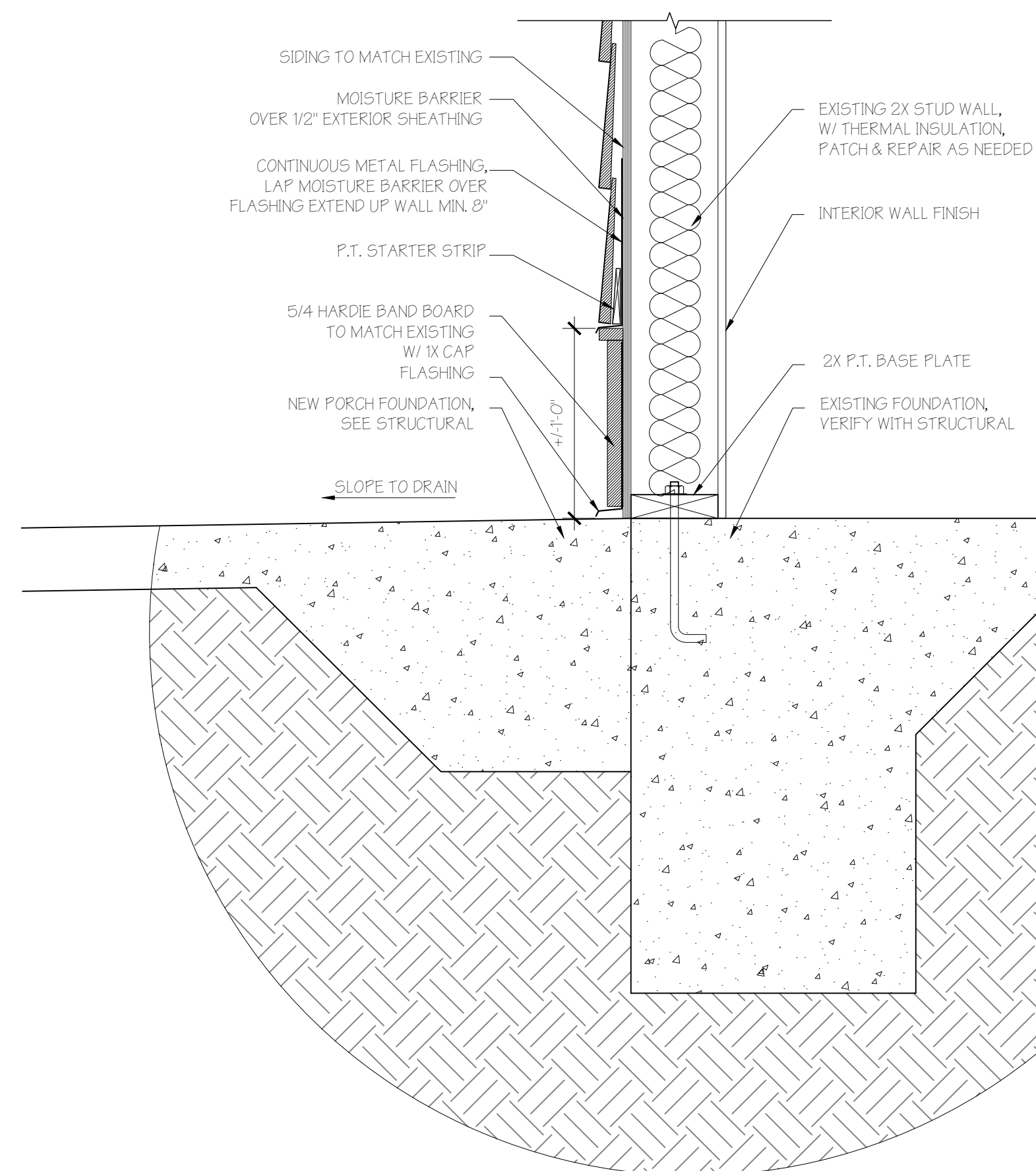
24X36 PAPER SIZE

3	LEFT ELEVATION
	1/4" = 1'-0"

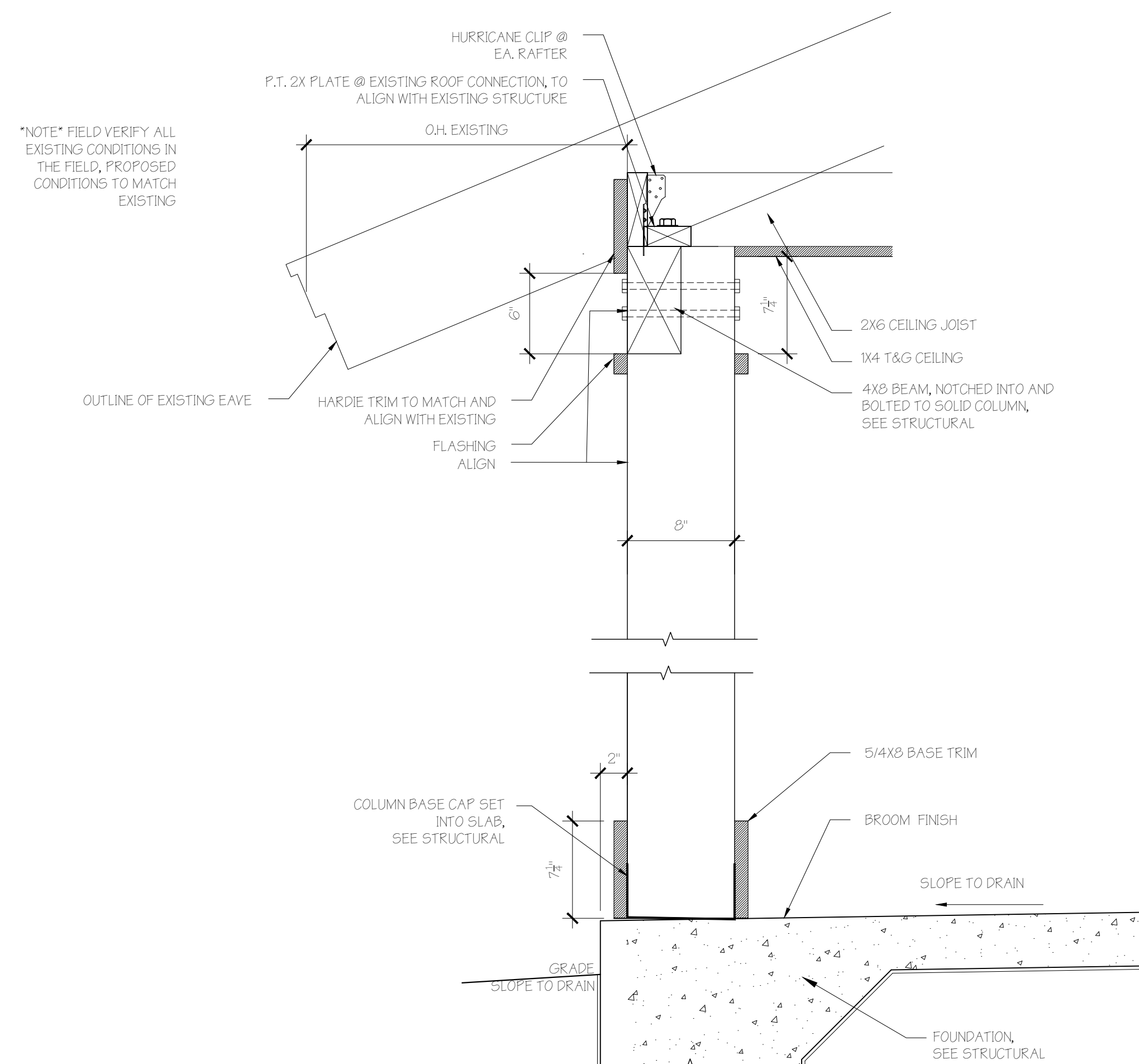
1	FRONT ELEVATION
	1/4" = 1'-0"

4	RIGHT ELEVATION
	1/4" = 1'-0"

2	REAR ELEVATION
	1/4" = 1'-0"



1	PORCH CONNECTION
	1 1/2" = 1'-0"



2	COLUMN DETAIL
	1 1/2" = 1'-0"

COMMERCIAL REMODEL FOR:
ALLYN & JAMIE OLIVER
89 BRIDGE STREET
NEIGHBORHOOD CONSERVATION - HD
BLUFFTON, SC 29910

**PEARCE
SCOTT
ARCHITECTS**

6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2505
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DRAWN BY	AJD
CHECKED BY	AWB



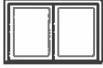
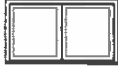



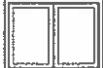




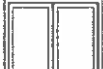

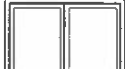


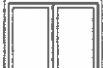









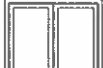


DETAILS

SHEET NO.
A301

24X36 PAPER SIZE

MARVIN SIGNATURE™ COLLECTION | ULTIMATE

WOOD FRENCH CASEMENT / WOOD FRENCH CASEMENT PUSH OUT

MO (mm)	3 - 3 5/8 (1007)	3 - 7 5/8 (1108)	4 - 3 5/8 (1311)	4 - 11 5/8 (1515)	5 - 3 5/8 (1616)
RO (mm)	3 - 1 (940)	3 - 5 (1041)	4 - 1 (1245)	4 - 9 (1448)	5 - 1 (1549)
FS (mm)	3 - 0 (914)	3 - 4 (1016)	4 - 0 (1219)	4 - 8 (1422)	5 - 0 (1524)
DLO (mm)	1 - 0 55/64 (327)	1 - 2 55/64 (378)	1 - 6 55/64 (479)	1 - 10 55/64 (581)	2 - 0 55/64 (832)
2 - 9 7/8 (860) 2 - 8 9/16 (827) 2 - 8 1/16 (814) 2 - 1 12/64 (843)	 UWFCAP03632	 UWFC4A032 UWFCAP04032	 UWFC4A832 E UWFCAP04832 E	 UWFC4A5632 E UWFCAP05632 E	 UWFC4A6032 E UWFCAP06032 E
3 - 1 7/8 (862) 3 - 9/16 (829) 3 - 1/16 (816) 2 - 5 21/64 (745)	 UWFCAP03636	 UWFC4A036 UWFCAP04036 E	 UWFC4A836 E UWFCAP04836 E	 UWFC4A5636 E UWFCAP05636 E	 UWFC4A6036 E UWFCAP06036 E
3 - 5 7/8 (1064) 3 - 4 9/16 (1030) 3 - 4 1/16 (1018) 2 - 9 21/64 (847)	 UWFCAP03640	 UWFC4A040 E UWFCAP04040 E	 UWFC4A840 E UWFCAP04840 E	 UWFC4A5640 E UWFCAP05640 E	 UWFC4A6040 E UWFCAP06040 E
3 - 9 7/8 (1165) 3 - 8 9/16 (1132) 3 - 8 1/16 (1119) 3 - 1 21/64 (948)	 UWFCAP03644	 UWFC4A044 E UWFCAP04044 E	 UWFC4A844 E UWFCAP04844 E	 UWFC4A5644 E UWFCAP05644 E	 UWFC4A6044 E UWFCAP06044 E
4 - 1 7/8 (1267) 4 - 9/16 (1234) 4 - 1/16 (1221) 3 - 5 21/64 (1050)	 UWFCAP03648 E	 UWFC4A048 E UWFCAP04048 E	 UWFC4A848 E UWFCAP04848 E	 UWFC4A5648 E UWFCAP05648 E	 UWFC4A6048 E UWFCAP06048 E
4 - 7 7/8 (1419) 4 - 6 9/16 (1386) 4 - 6 1/16 (1373) 3 - 11 21/64 (1202)	 UWFCAP03654 E	 UWFC4A054 E UWFCAP04054 E	 UWFC4A854 E UWFCAP04854 E	 UWFC4A5654 E UWFCAP05654 E	 UWFC4A6054 E UWFCAP06054 E

Details and Elevations not to scale.

E These windows meet national Egress codes for fire evacuation.
Local codes may differ.

T For safety and/or code requirements, Marvin recommends tempered glass in all units with a frame size height of 72 1/16" or larger and units with a frame size of 25.2 ft² and larger.

Please consult your local Marvin representative for more information.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

Ultimate Wood French Casement: UWFC4

Ultimate Wood French Casement Push Out: UWFCAP0



PLAN REVIEW COMMENTS FOR COFA-03-25-019642

Section VII. Item #3.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 03/11/2025
Plan Status: Active **Plan Address:** 89 Bridge St Street
BLUFFTON, SC 29910
Case Manager: Charlotte Moore **Plan PIN #:** R610 039 00A 0234 0000
Plan Description: Remodel existing residential building to be a commercial bookstore.

Staff Review (HD)

Submission #: 1 Recieved: 03/11/2025 Completed: 04/04/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Beaufort Jasper Water and Sewer Review	04/04/2025	Matthew Michaels	Approved with Conditions
Comments: Comments may be provided at time of final plan submission.			
Growth Management Dept Review (HD)	04/04/2025	Charlotte Moore	Approved with Conditions
Comments: 1. Provide letter of agency from property owner/property owner consent. 2. As the site will also require a Development Plan for the parking area, the Development Plan must be approved by the Planning Commission before the COFA-HD can be reviewed by the Historic Preservation Commission. 3. Provide details for columns, windows and doors with final plan submission. 4. If exterior lighting is proposed, compliance with Sec. 5.12 (Lighting) of the UDO is required. 5. Provide a landscape plan show tree removal (if any), eight foot foundation planting around the structure, a street tree, and canopy calculations. A tree canopy with a minimum of 75% lot coverage, not including roof tops, shall be provided where land disturbance is proposed for sites less than one (1) acre. Tree canopy is the mature canopy of any existing trees to be saved together with the mature canopy of proposed replacement trees (UDO Sec. 5.3.3.G.1.).			
Watershed Management Review	03/24/2025	Samantha Crotty	Approved with Conditions
Comments: 1. Comments may be provided at time of building permit submittal/stormwater permit review.			
HPRC Review	04/04/2025	Charlotte Moore	Approved
Comments: Comments may be provided at the HPRC meeting.			
Transportation Department Review - HD	03/12/2025	Mark Maxwell	Approved
Comments: No comments			

Plan Review Case Notes:



MEMORANDUM

TO: Historic Preservation Commissioners
FROM: Town of Bluffton Growth Management Staff
RE: Site Feature Permits from May 17, 2025 to June 16, 2025
DATE: July 1, 2025

SUMMARY: Town Staff will be updating the Historic Preservation Commission (HPC) monthly on all site feature permits that have been applied for, approved, denied, withdrawn, put on hold, or issued. These permits are reviewed at Staff level.

Address	Description of Application	Staff	Status
1231 May River Rd	Commercial Fence	Angie Castrillon	Approved
50 Pritchard St	Residential Reroof	Angie Castrillon	Applied
30 Promenade St	Adakon Sign	Angie Castrillon	Approved
15 Wharf St	Residential Reroof	Angie Castrillon	Approved
17 Lawrence St	Residential Reroof	Angie Castrillon	Applied
19 Promenande St Unit 201	Patel & Company/ Eclipse Sign	Angie Castrillon	Approved
71 Calhoun St Unit 100	Installing planter boxes	Angie Castrillon	Applied
40 Colcock St	Residential Fence	Angie Castrillon	Hold – Incomplete Submittal