

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry “Emmett” McCracken Jr. Council Chambers, 20
Bridge Street, Bluffton, SC

January 07, 2026

I. CALL TO ORDER

Vice Chairman DePauw called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Vice Chairman Joe DePauw
Commissioner Carletha Frazier
Commissioner Tim Probst
Commissioner Lisa Sulka

Commissioner Michael Sutcliffe

ABSENT

Commissioner Jim Hess
Commissioner Debbie Wunder

III. ADOPTION OF MINUTES

1. December 3, 2025 Minutes

Commissioner Sulka made a motion to adopt the minutes as written.

Seconded by Commissioner Frazier.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst,
Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

IV. ELECTION OF OFFICERS

1. Election of Historic Preservation Commission Chair

Commissioner Sulka made a motion to elect Joe DePauw as chair.

Seconded by Commissioner Probst.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst,
Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

2. Election of Historic Preservation Commission Vice Chair

Commissioner Sulka made a motion to elect Carletha Frazier as Vice Chairman.

Seconded by Chairman DePauw.

Voting Yea: Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner
Sulka, Commissioner Sutcliffe

All were in favor and motion passed.

3. Election of Two Historic Preservation Review Committee members.

Chairman DePauw made a motion to elect Tim Probst and Lisa Sulka to the Historic Preservation Review Committee.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

1. **36 Bruin Road:** An amendment to an approved Certificate of Appropriateness to allow certain changes for 2-story commercial building of approximately 3,130 SF at 36 Bruin Road in Old Town Bluffton Historic District, and within the Neighborhood General-HD (NG-HD) zoning district. (COFA-05-25-019766) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the proposed roof well on the rear elevation and the purpose it served. The commissioners discussed the removal of windows on the rear elevation that was previously approved.

Commissioner Probst made a motion to approve the application with the following conditions:

1. The roof well must include detailing that is similar to the porch railing.
2. The two second-story windows must remain and can be "blacked out."

and the following were determined as acceptable:

1. Removal of the ground level rear porch screen
2. Addition of brick pavers to the front porch
3. Revision of the second story rear porch railing from pickets to space boards
4. Relocation of second story rear door to be centered in the porch
5. Change of a single door to a double door at the porch

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

2. **2 Blue Crab Street, Lot 52:** A request by William Court of Court Atkins Group (Applicant) on behalf of Blue Crab Bluffton, LLC (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,839 SF and an attached carriage house of approximately 880 SF at 2 Blue Crab Street. The property is located in the Tabby Roads Development in Old

Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25-019925) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans. The commissioners shared concerns about the placement of the handrail and the inconsistency of shutters.

Commissioner Sulka made a motion to table the item.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

3. **4 Blue Crab Street, Lot 51:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,800 SF and an attached carriage house of approximately 886 SF at 4 Blue Crab Street. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019927) (Staff - Charlotte Moore)

Chairman DePauw made a motion to remove attachments 1-9 from the packet for consideration.

Seconded by Vice Chairman Frazier.

Voting Yea: Chairman DePauw, Vice Chairman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Michael Sutcliffe

All were in favor and the motion passed.

Chairman DePauw made a motion to include the correct attachments as provided by staff for consideration. (See attachments starting on page 6)

Seconded by Vice Chairman Frazier.

Voting Yea: Chairman DePauw, Vice Chairman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Michael Sutcliffe

All were in favor and the motion passed.

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans. The Commission had questions regarding the bracket detail and the brick wall being used to screen the service yard.

Commissioner Sulka made a motion to table the item.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

4. **6 Blue Crab Street, Lot 50:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,846 SF and an attached carriage house of approximately 884 SF at 2 Blue Crab Street, Lot 50. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019628) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans.

Vice Chairwoman Frazier made a motion to table the item.

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

5. **8 Blue Crab Street, Lot 49:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,741 SF and an attached carriage house of approximately 933 SF at 8 Blue Crab Street, Lot 49. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019929) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans.

Vice Chairwoman Frazier made a motion to table the item.

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff reviewed the monthly report. The Commissioners had no questions.

IX. ADJOURNMENT

Commissioner Sulka made a motion to adjourn.

Seconded by Vice Chairwoman Frazier

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed. The meeting adjourned at 8:09pm.

APPROVED



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name:		Name:	
Phone:		Phone:	
Mailing Address:		Mailing Address:	
E-mail:		E-mail:	
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name:	Conceptual: <input type="checkbox"/>	Final: <input type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address:	Application for: <input type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation		
Zoning District:			
Acreage:			
Tax Map Number(s):			
Project Description:			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 5. All information required on the attached Application Checklist. <input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:		Date:	
Blue Crab Bluffton, LLC <i>Patrick Mason</i>			
Applicant Signature: <i>[Signature]</i>		Date:	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE				CONCEPTUAL REVIEW <input type="checkbox"/>		FINAL REVIEW <input type="checkbox"/>	
2. SITE DATA							
Identification of Proposed Building Type (as defined in Article 5):							
Building Setbacks		Front:	Rear:	Rt. Side:		Lt. Side:	
3. BUILDING DATA							
Building	Description (Main House, Garage, Carriage House, etc.)			Existing Square Footage		Proposed Square Footage	
Main Structure							
Ancillary							
Ancillary							
4. SITE COVERAGE							
Impervious Coverage				Coverage (SF)			
Building Footprint(s)							
Impervious Drive, Walks & Paths							
Open/Covered Patios							
A. TOTAL IMPERVIOUS COVERAGE							
B. TOTAL SF OF LOT							
% COVERAGE OF LOT (A/B= %)							
5. BUILDING MATERIALS							
Building Element	Materials, Dimensions, and Operation			Building Element	Materials, Dimensions, and Operation		
Foundation				Columns			
Walls				Windows			
Roof				Doors			
Chimney				Shutters			
Trim				Skirting/Underpinning			
Water table				Cornice, Soffit, Frieze			
Corner board				Gutters			
Railings				Garage Doors			
Balusters				Green/Recycled Materials			
Handrails							



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Blue Crab Bluffton, LLL Patrick Mason
 Signature of Property Owner or Authorized Agent

12.05.2025

Patrick Mason
 Printed Name of Property Owner or Authorized Agent

William Court
 Signature of Applicant

12.05.2025

Date

William Court
 Printed Name of Applicant



November 05, 2025

Property owner consent for-Certificate of Appropriateness –
Old Town Bluffton Historic District
Attn: HPC
Theodore D. Washington Municipal Building
20 Bridge Street
Bluffton, SC 29910

Re: Lots 49, 50, 51, and 52 Blue Crab Street

This letter authorizes William Court, Architect- Court Atkins Group, to act as applicant of Blue Crab Bluffton LLC in pursuit of the Certificate of Appropriateness. Authorization is given by the authorized agent of Blue Crab Bluffton LLC, Patrick Mason.

Authorizing signature

December 10, 2025

Applicant: William Court–Court Atkins Group

Owners: Blue Crab Bluffton LLC

Location: Lot 51, 4 Blue Crab Street, Tabby Roads, Bluffton SC 29910

Zoning: Neighborhood General–HD

Narrative Summary:

The proposed project involves the construction of a **new two-story, single-family residential structure** based on the **Center Hall House** type of approximately **3,800 square feet**, along with an attached **Carriage House** of approximately **866 square feet**, located at 4 Blue Crab Street in neighborhood of Tabby Roads in the Old Town Bluffton Historic District.

The site is primarily flat with surrounding homes of similar scale to the proposed design. The design is intended to reflect the architectural character of the Neighborhood General Historic District.

The Main House is designed to reflect the Center Hall House characteristics listed below:

- 2-stories, less than 5,500 sf total, and 55'-0" wide
- Building footprint (without porches) is 1488 sf
- Features a double height front porch
- Square columns are spaced no farther apart than they are tall and comply with UDO 5.15.6.H
- Proposed railing material is powder-coated aluminum but may aesthetically reflect traditional cast iron or treated wood finish. This material is subject to less maintenance over time
- Doors and windows consistent with historic style per UDO 5.15.6.I
- Features tabby stucco on masonry elements
- Siding includes permitted board and batten, lap siding, and shingle with expression lines separating materials and floor levels per UDO 5.15.6.G
- We are suggesting boral trim material as an alternative to wood. Please see the attached supportive product information.
-

The Carriage House is designed to be subordinate in scale and complementary in style to the main residence. The accessory structure is attached but uses varied wall material from the main house and may feature unique architectural detailing such as brackets or trellis. The design reflects UDO 5.15.8.F characteristics listed below:

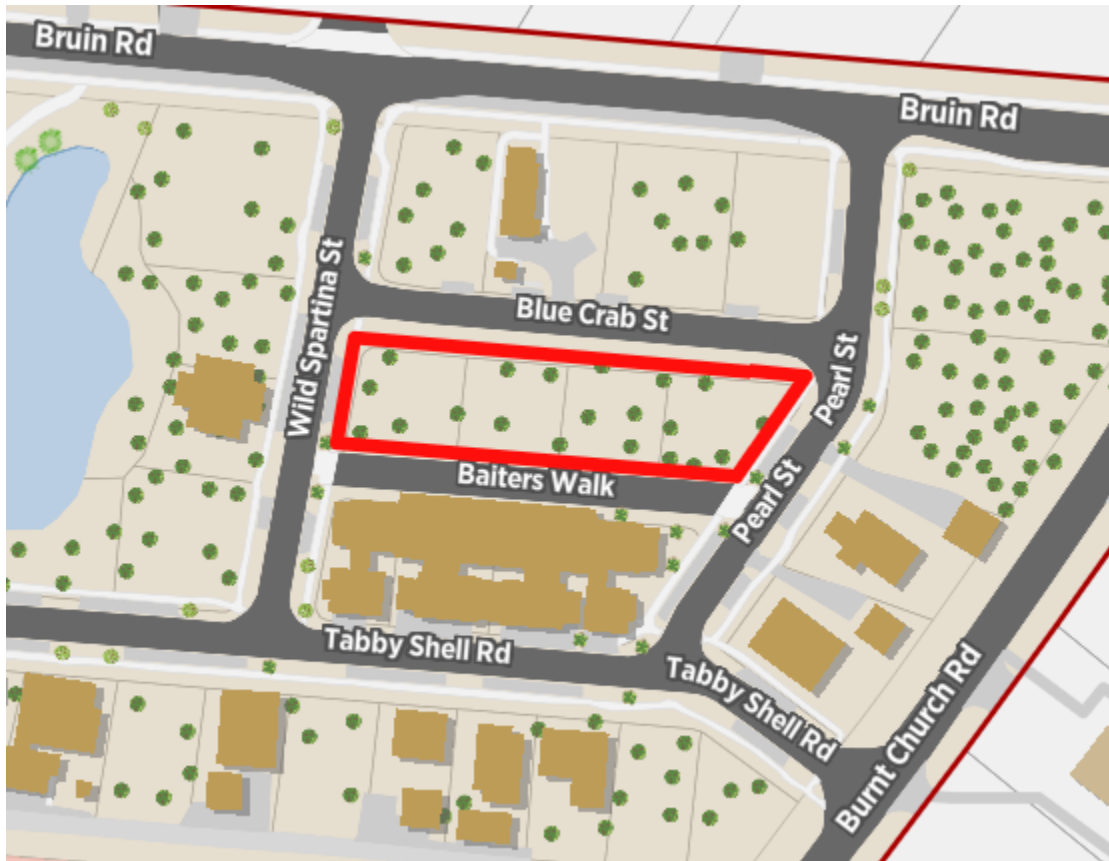
- 2-stories, less than 1,200 sf total
- Building footprint is 540sf
- Features 2-car garage and bonus dwelling unit
- Located at the rear of the primary structure

The project has been reviewed by Town Staff and is submitted for HPC approval as part of the Certificate of Appropriateness–HD process.

VICINITY MAP

BLUE CRAB STREET HOUSES

CERTIFICATE OF APPROPRIATENESS-HD



WILD
SPARTINA ST.

BLUE
LAB ST.







WILD
SPARTINA ST.

BLUE
LAB ST.







ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

Nov 9, 2025

Lot 51, 4 Blue Crab, Bluffton, South Carolina 29910
BLUE CRAB BLUFFTON LLC

To whom it may concern,

This revised letter shall serve as approval with conditions for the planned single-family residence to be built on lot 51, 4 Blue Crab Plans within the following files titled below are the basis for these comments:

2, 4, 6, 8 Blue Crab Road.HARB Review.Application.pdf

2025.12.04 Lot 51_exterior fixtures.pdf

2025.12.04 Lot 51_Garage Door Cutsheet.pdf

2025.12.4_4 Blue Crab Street_ HARB Cover Letter.pdf

2025.12.4_Lot 51_4 Blue Crab Street _ HARB Final Drawings.pdf

120325 Lot 51 Blue Crab Street Final LS Development Plans.pdf

Lot 51_Blue Crab_Final HARB_Color Board.pdf

This approval is based upon the following items of clarification:

- Per UDO, Shutters must be made from “sturdy wood”. Composite shutters are not permitted
- If gutters are installed, downspouts should terminate at French drains.
- On the base of the garage, water table trim matching the main house is required.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project.

We are sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Thank you for your understanding.
Best regards,

James Ogden, AIA, NCARB
Chairman of the Tabby Roads ARC

Cc: Charlotte Moore
Town of Bluffton

COMPOSITE PLANS

LOTS 49-52



FINAL LANDSCAPE DEVELOPMENT PLANS

For

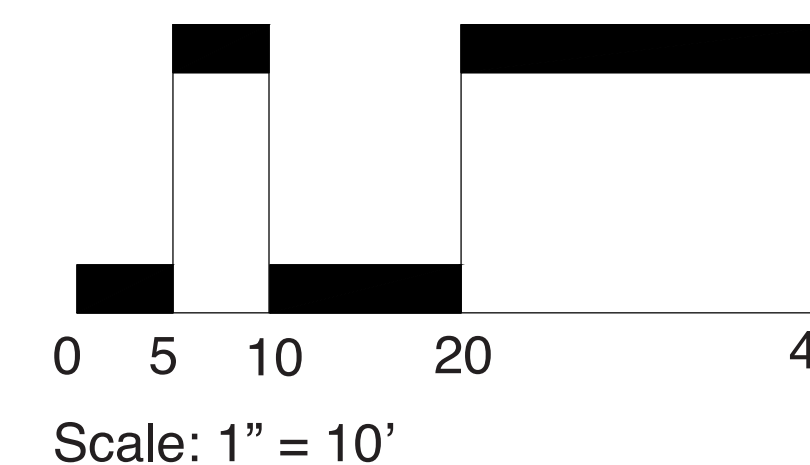
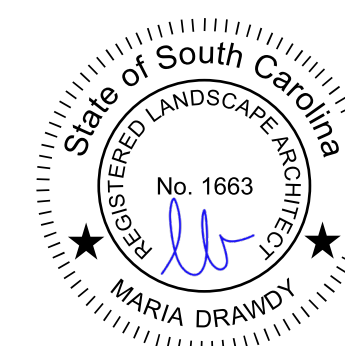
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC
December 10, 2025



Prepared By:
Maria Drawdy, PLA

MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565





① COMPOSITE FRONT ELEVATION AT BAITERS WALK
1/8" = 1'-0"



② COMPOSITE REAR ELEVATION AT BLUE CRAB STREET
1/8" = 1'-0"



PATRICK MASON CUSTOM HOMES - BLUE CRAB RESIDENCES

12.04.2025

ISSUED FOR HPC REVIEW

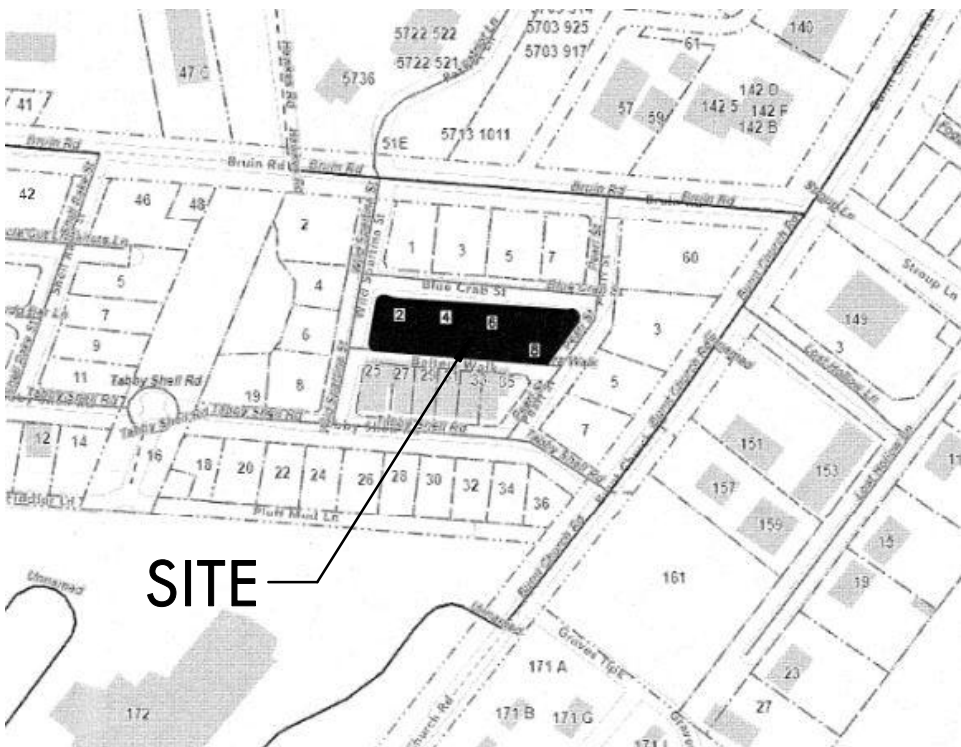
LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

SHEET INDEX:

A0.0	COVER
A0.1	GENERAL NOTES
A1.0	SITE PLAN
A1.1	SITE PLAN - MOBILIZATION
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS WITH BRICK FENCE
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS
A5.2	DETAILS
A5.3	DETAILS
A6.0	DOOR AND WINDOW SCHEDULE
A8.1	Unnamed
E2.1	FIRST FLOOR ELEC. PLAN
E2.2	SECOND FLOOR ELEC. PLAN
SURVEY	

VICINITY MAP - N.T.S.



PROJECT INFORMATION:

NAME OF PROJECT: LOT 51 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYS DESIGNS LLC	#1663	843-816-2565

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes _____ No ☒ Separation _____ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes _____ No ☒ Type _____
SPRINKLERED: Yes _____ No ☒
FIRE DISTRICT: Yes _____ No ☒
BUILDING HEIGHT: 30'-6" A.F.F. Number of Stories: 2
MEZZANINE: Yes _____ No ☒
HIGH RISE: Yes _____ No ☒

GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.



N.T.S.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE (X), OCC. TYPE (X), & OCC. TYPE (X) OCCUPANCIES

REGULATION 11-12.B.4 AND 5 STATE:

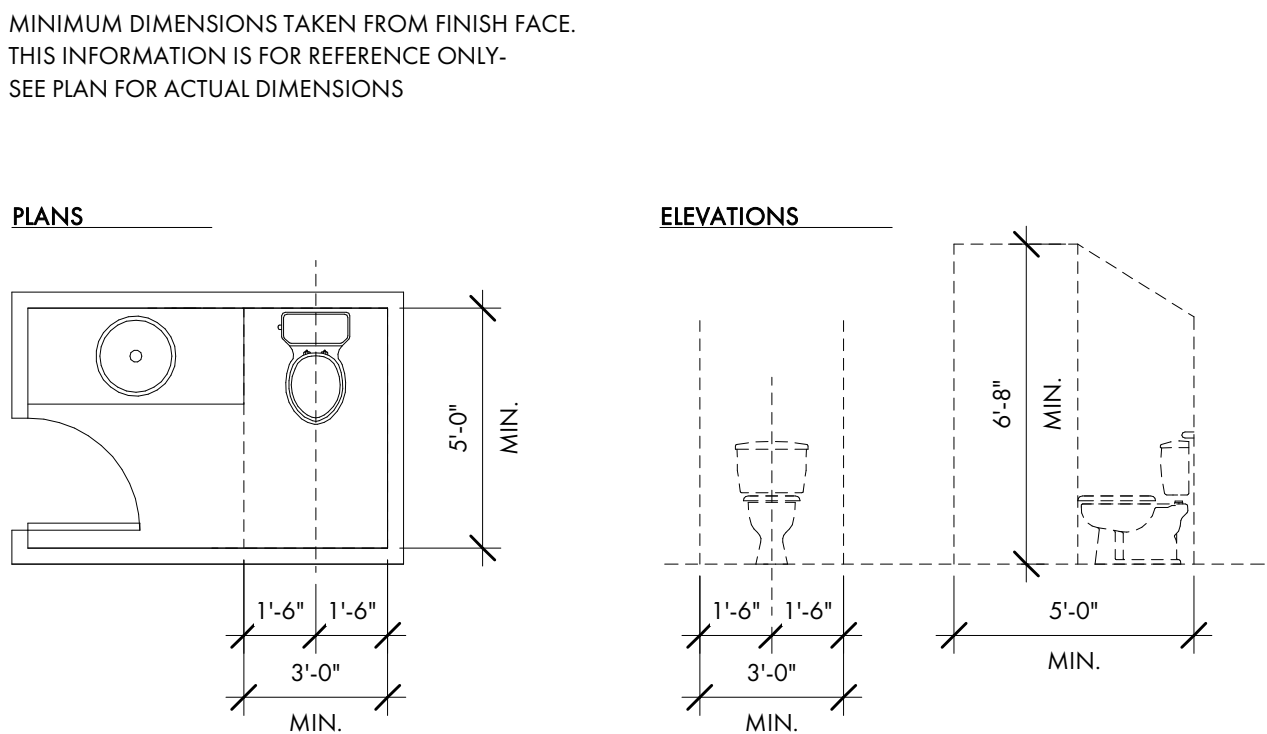
(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

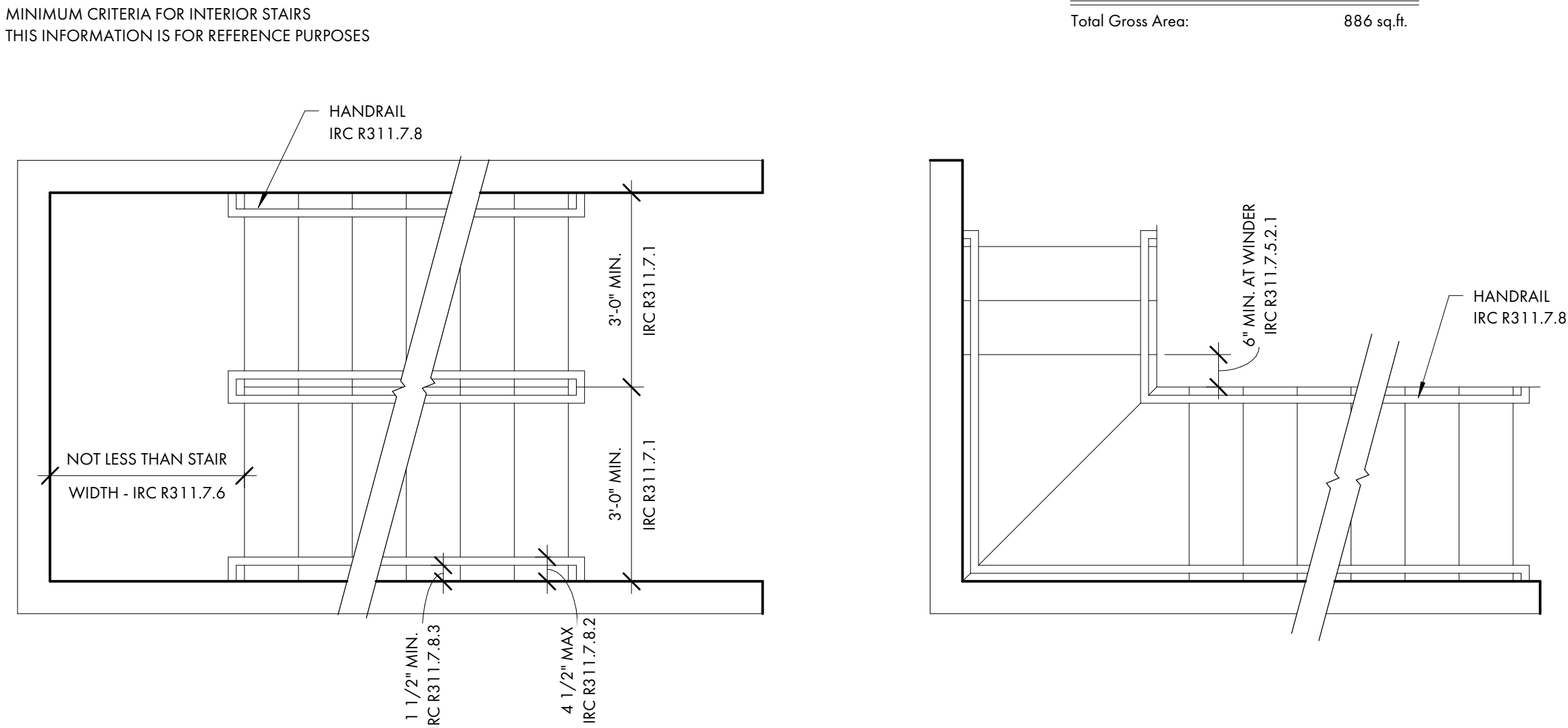
ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
AF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LIVE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BLKG	BLOCKING	MID	MIDDLE
BLDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MILLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CI	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SH	SHelf
EXST	EXISTING	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE FEET
FDTN	FOUNDATION	STD	STANDARD
FF	FIRST FLOOR	STL	STEEL
FEE	FINISH FLOOR ELEVATION	STOR	STORAGE
FIN	FINISH	SYS	SYSTEM
FIX	FIXTURE	T	TREAD
FIXT	FIXTURE	T.B.D.	TO BE DETERMINED
FLUOR	FLUORESCENT	TR	TREAD
FLR	FLOOR	T & G	TONGUE & GROOVE
FRZ	FREEZER	TEL	TELEPHONE
FRMG	FRAMING	TEMP	TEMPORARY/TEMPERATURE
FT	FEET	THK	THICK
FTG	FOOTING	T.O.	TOP OF
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZE	TYP	TYPICAL
G.C.	GENERAL CONTRACTOR	UC	UNDERCOUNTER
GH	GROUND FAULT INTERRUPTER	UNFIN	UNFINISHED
GL	GLASS	U.N.O.	UNLESS NOTED OTHERWISE
GYP	GYPsum	U.O.N.	UNLESS OTHERWISE NOTED
HB	HOSE BIBB	VB	VAPOR BARRIER
HDR	HEADER	VER	VERIFY
HORIZ	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	VERT	VERTICAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W/D	WASHER-DRYER
IN	INCH	WH	WATER HEATER
INCL	INCLUDE	WWF	WELDED WIRE FABRIC
INSUL	INSULATION		
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

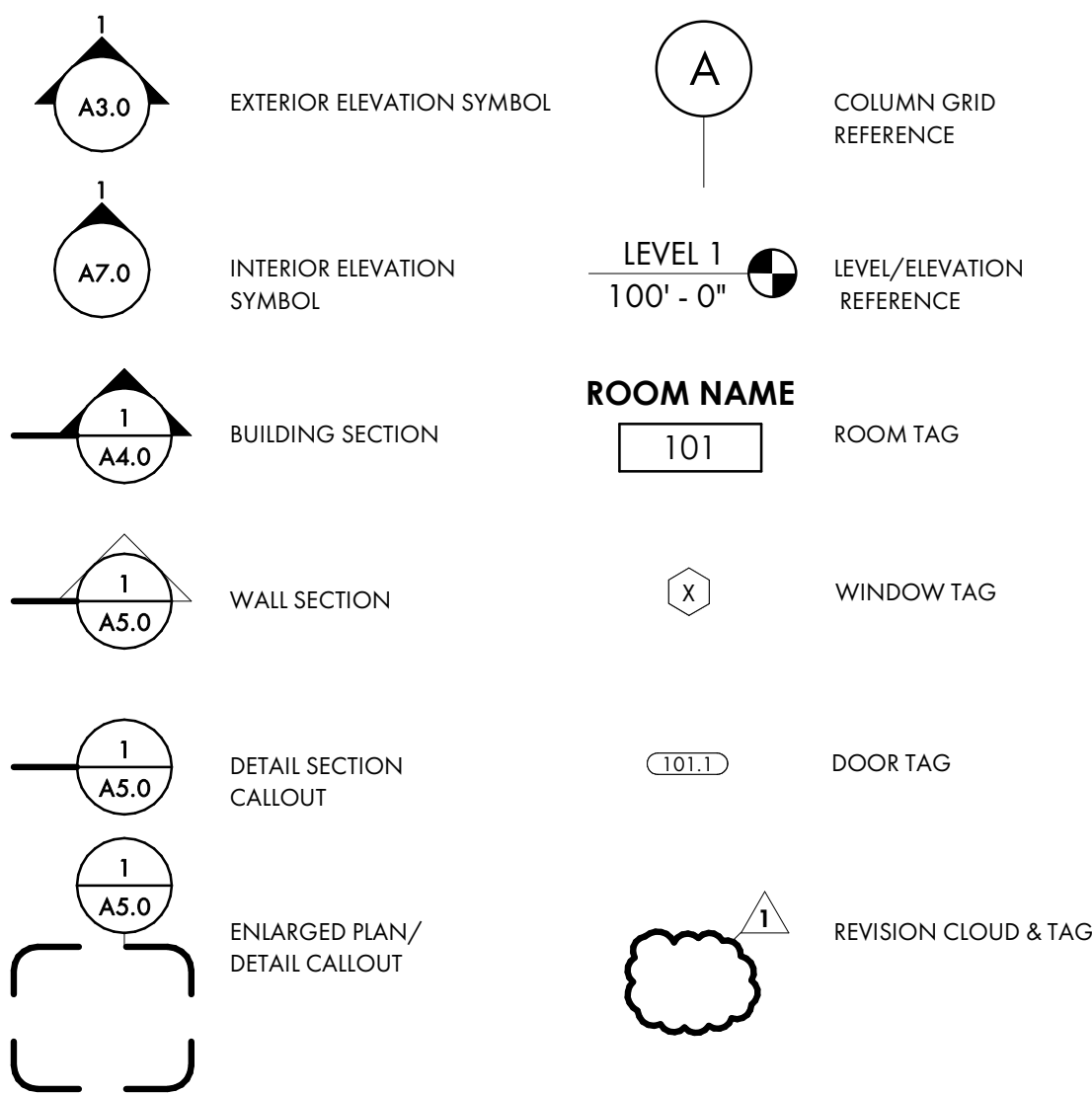
TYP. RESTROOM CLEARANCES



STAIR CRITERIA



REFERENCE SYMBOLS

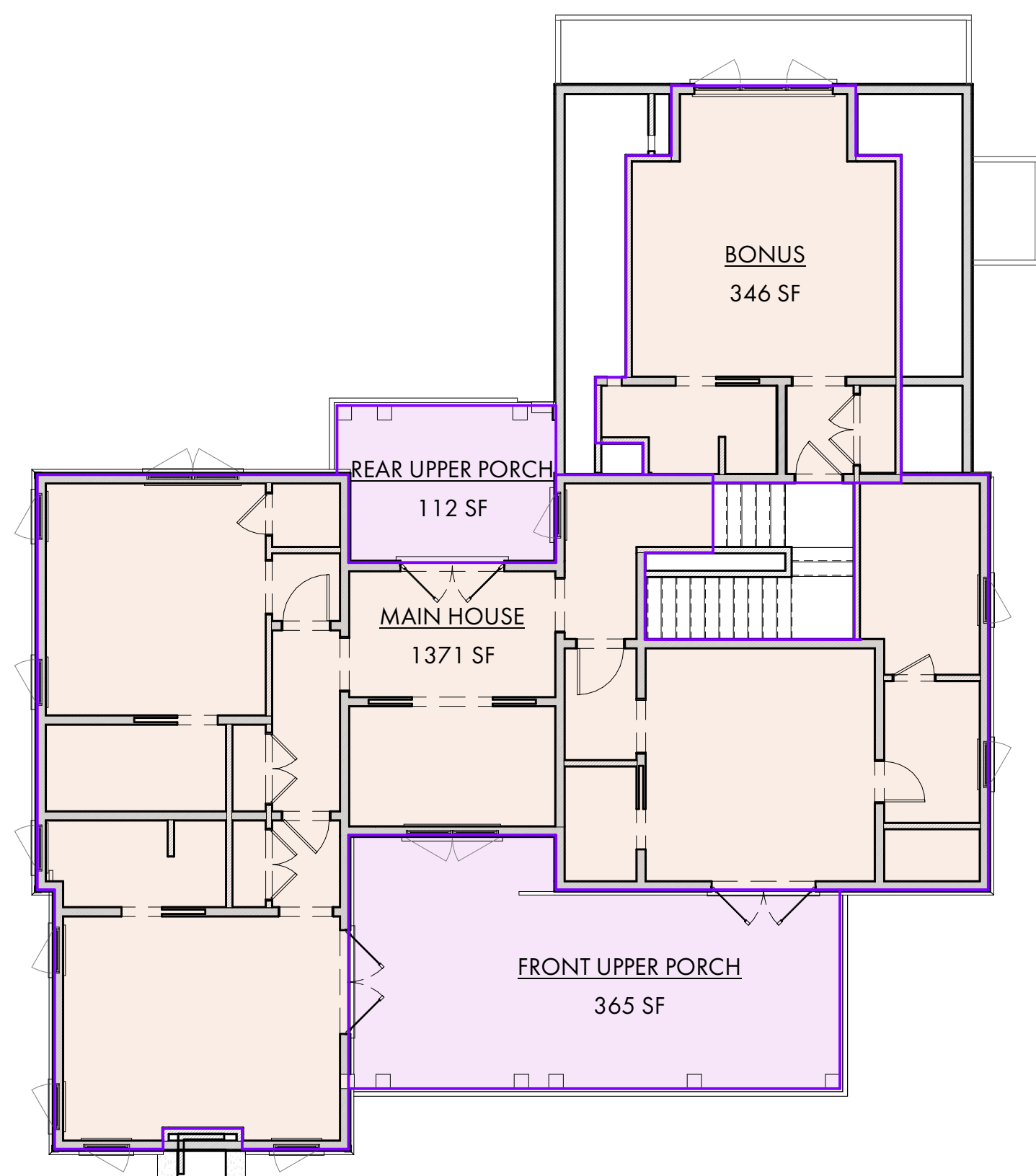
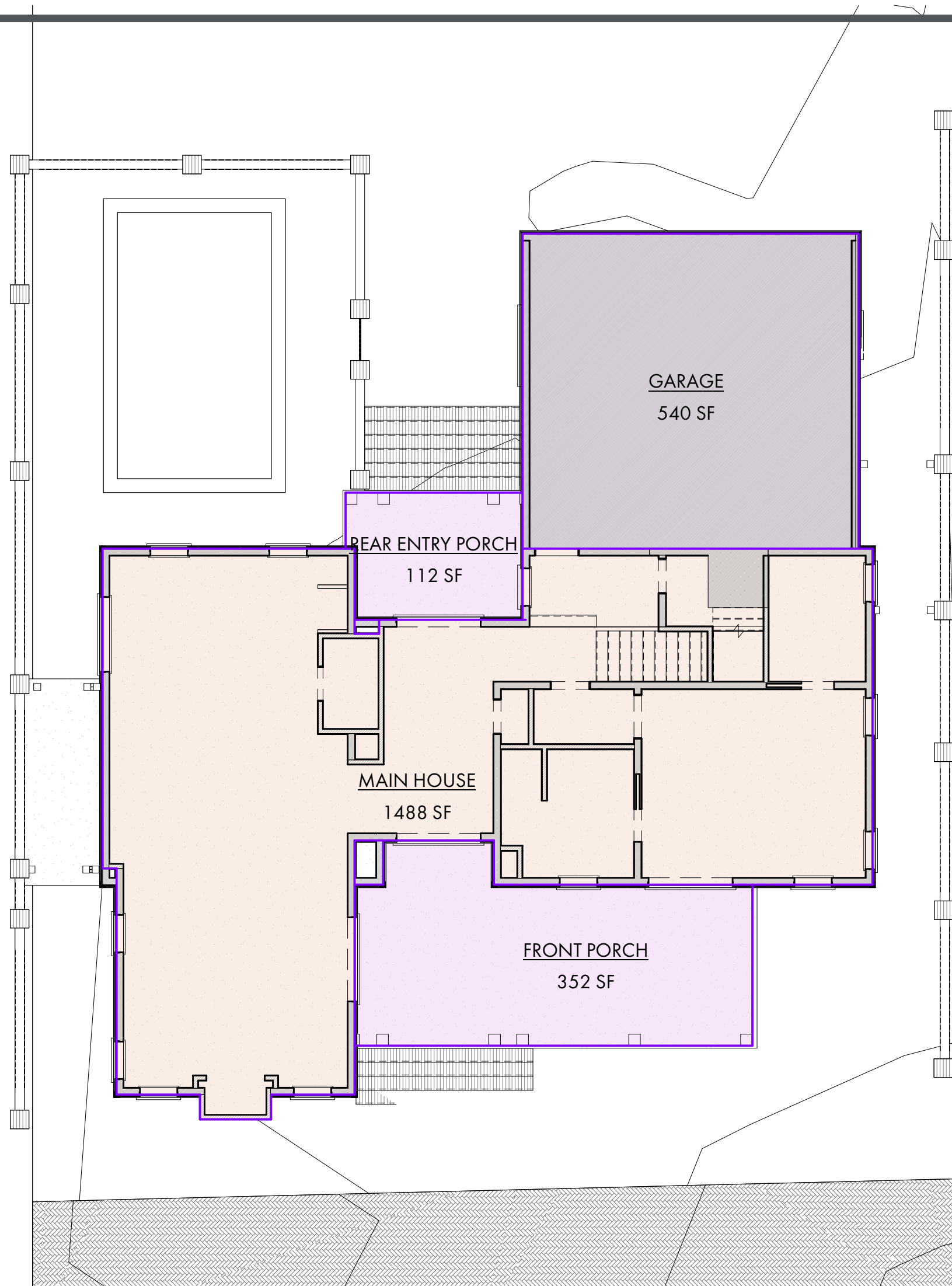


MAIN HOUSE TOTAL SF

First Floor:	
Heated and Cooled:	1,488 sq.ft.
Covered and Enclosed:	464 sq.ft.
Second Floor:	
Heated and Cooled:	1,371 sq.ft.
Covered and Enclosed:	477 sq.ft.
Total Gross Area:	3,800 sq.ft.

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	346 sq.ft.
Garage-Covered and Enclosed:	540 sq.ft.
Total Gross Area:	886 sq.ft.



PROJECT INFO

Date
12.03.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

LEGEND

- CMS - CONCRETE MONUMENT SET
■ CMF - CONCRETE MONUMENT FOUND
○ IPS - IRON PIN SET
○ IPF - IRON PIN FOUND
- INDICATES STREET ADDRESS
TBM - TEMPORARY BENCH MARK
BSL - BUILDING SETBACK LINE
● - TELEPHONE PEDESTAL/
COMMUNICATOR

- - SEWER LATERAL
■ - SANITARY SEWER MANHOLE
■ - ELECTRIC BOX
+ - SPOT ELEVATION SHOTS
- CONTOUR LINES
■ - XFMR - TRANSFORMER
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE

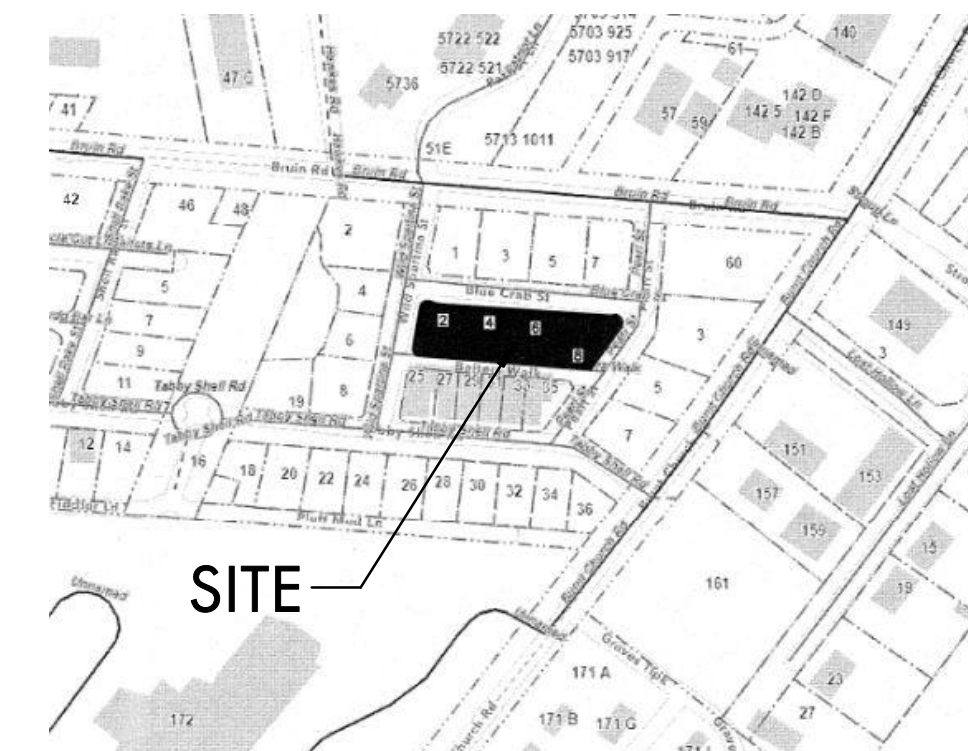
- ☀ - FIRE HYDRANT
■ - GRATE INLET
■ - POWER POLE
O.H.P.L. - OVER HEAD POWER LINE
- GUY LINE
☀ - LIGHT POLE
● - STORM DRAIN MANHOLE
● - FIBEROPTICS MANHOLE
● - PROPANE TANK

Notes:

- According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
- This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):

PLAT BOOK 142 AT PAGE 119



SITE PLAN CALCS:

TOTAL LOT AREA	5,143 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,548 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS)	378 SQ. FT.
BRICK WALKS (IMPERVIOUS)	186 SQ. FT.
POOL & TERRACE (IMPERVIOUS)	631 SQ. FT.
IMPERVIOUS COVER (LOT AREA)	3,743 SQ. FT.
IMPERVIOUS TO LOT RATIO	72%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SIAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:

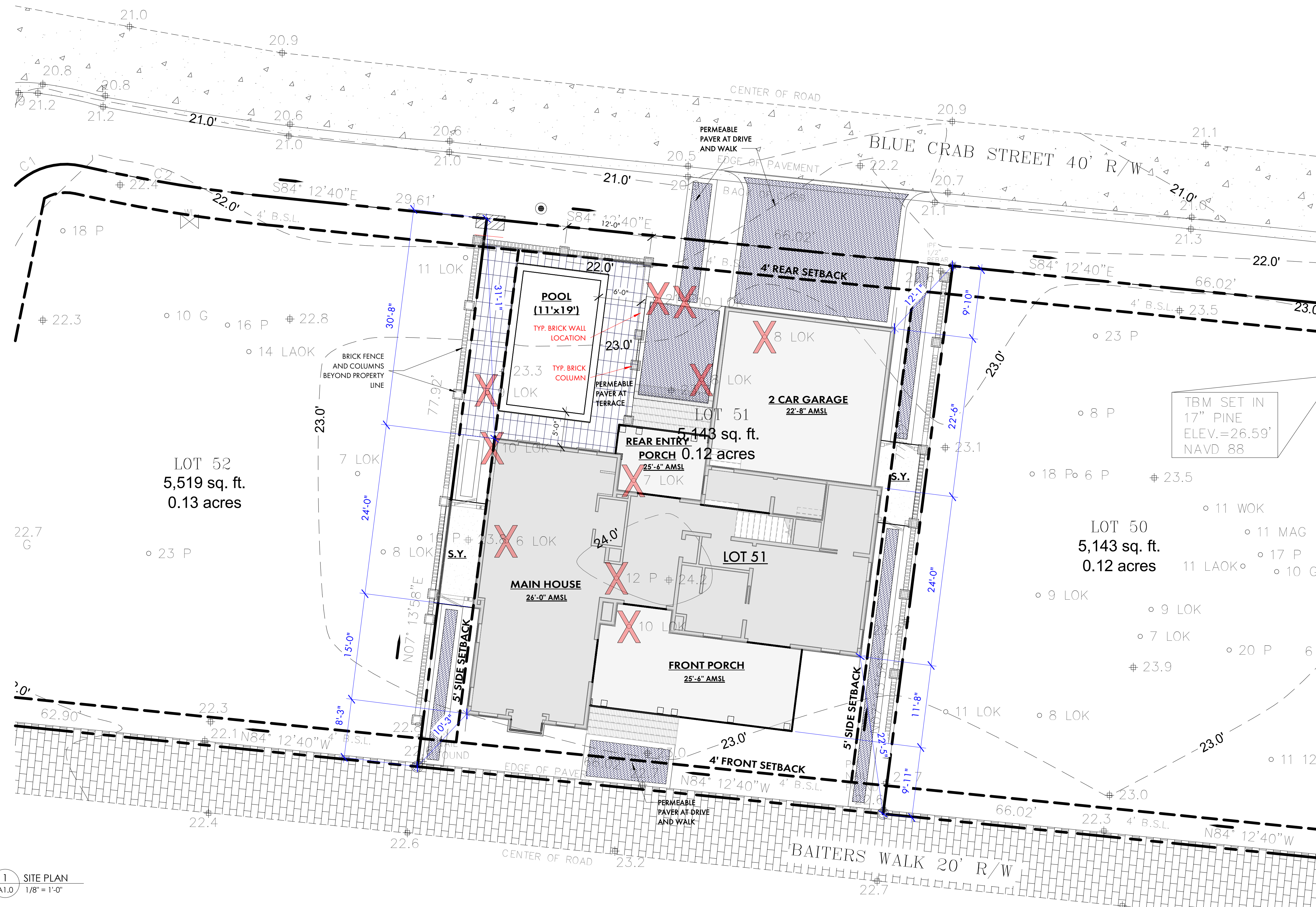
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY



1 SITE PLAN
A1.0 1/8" = 1'-0"

PROJECT INFO

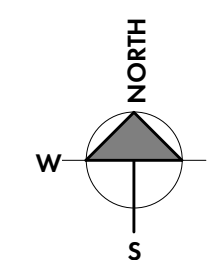
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12.03.2025

Project No.
25-072

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SHEET TITLE





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GROUP

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BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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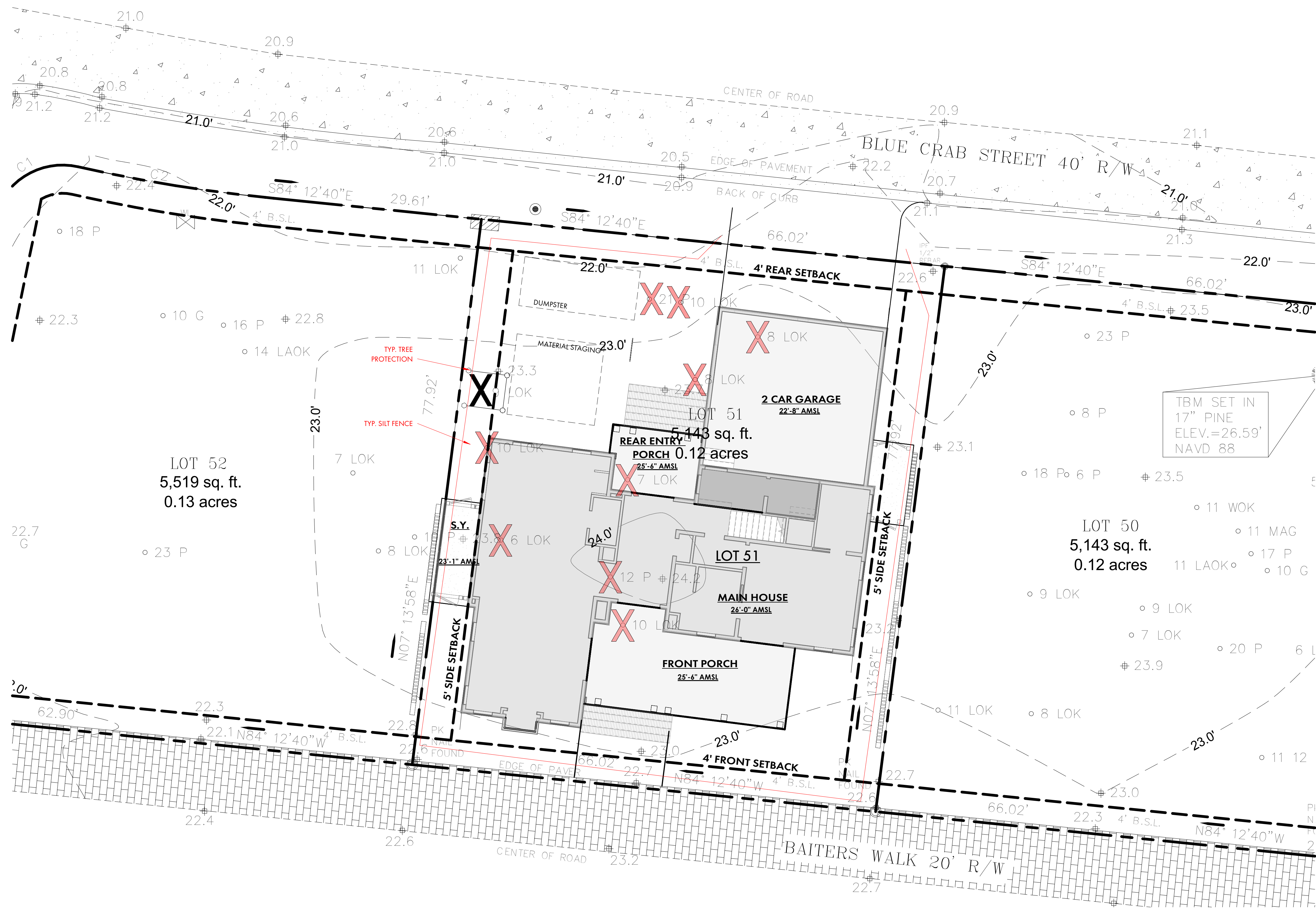
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SITE PLAN -
MOBILIZATION

A1.1



1 SITE PLAN - MOBILIZATION
A1.1 1/8" = 1'-0"



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SHEET TITLE

FOUNDATION PLAN

A2.0

FOUNDATION PLAN NOTES:

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR
TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING
AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO
COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK
LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

FOUNDATION NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH.
DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF
STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL
ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS
FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL,
WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL
DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND
DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL
WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:

SEE STRUCTURAL ENGINEERING DOCUMENTS.

TYPICAL SLAB ON GRADE:

4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK
BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING
DOCUMENTS

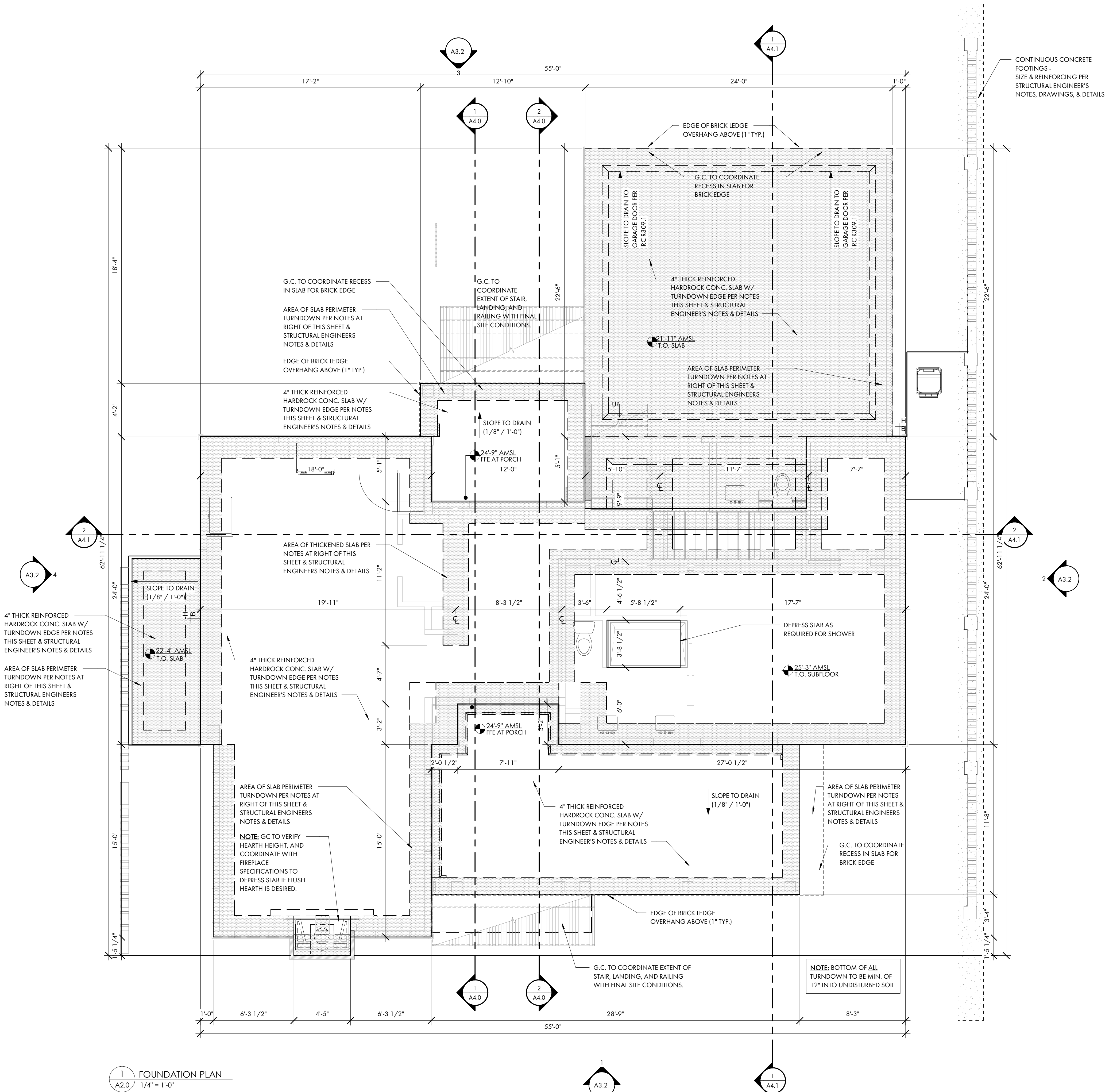
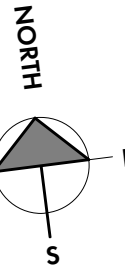
TYPICAL PIERCED BRICK LANDSCAPE WALL:

FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x
32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO
OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT
REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS,
U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

	CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
	CONCRETE SLAB



1 FOUNDATION PLAN
A2.0 1/4" = 1'-0"



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PROJECT INFO

Date
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Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

A2.1

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

CABINET & EQUIPMENT NOTES:

CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:

FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:

G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:

EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 1x4" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS, NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR
VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 1x4" TRUSS JOIST
SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE
TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE
SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND
BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:

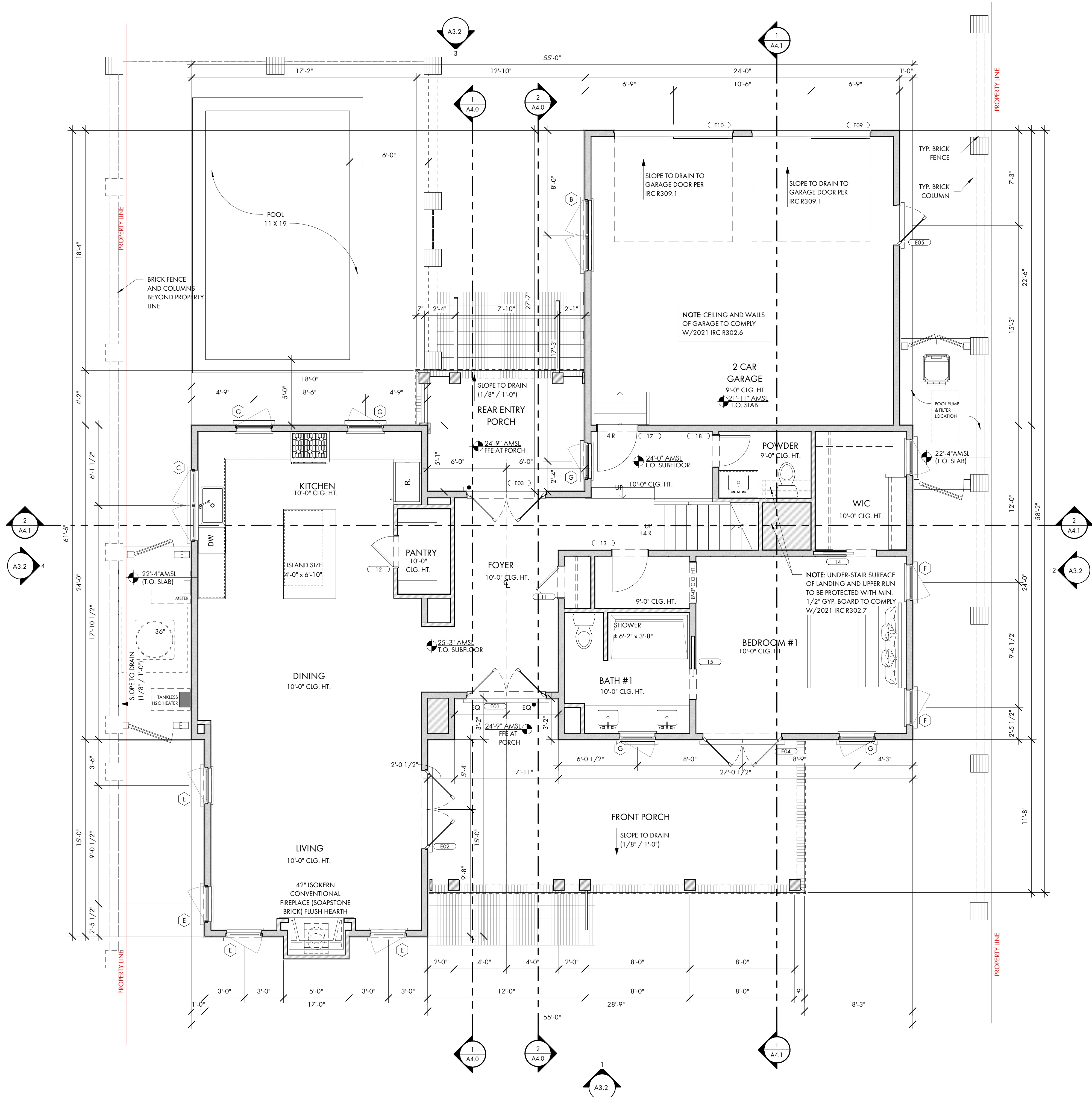
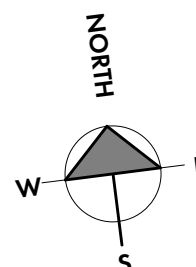
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR
SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND
FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES
U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF
ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND
DETAILS.

FLOOR PLAN - SYMBOL KEY

2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"



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LOT 51 - BLUE CRAB PRIVATE

RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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Date

12.03.2025

Project No.

25-072

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SHEET TITLE

SECOND FLOOR PLAN

A2.2

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
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CABINET & EQUIPMENT NOTES:

CABINET LAYOUTS ARE PROVIDED FOR DESIGN
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FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:

FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:

G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:

EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS, NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR
VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST
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BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
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ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:

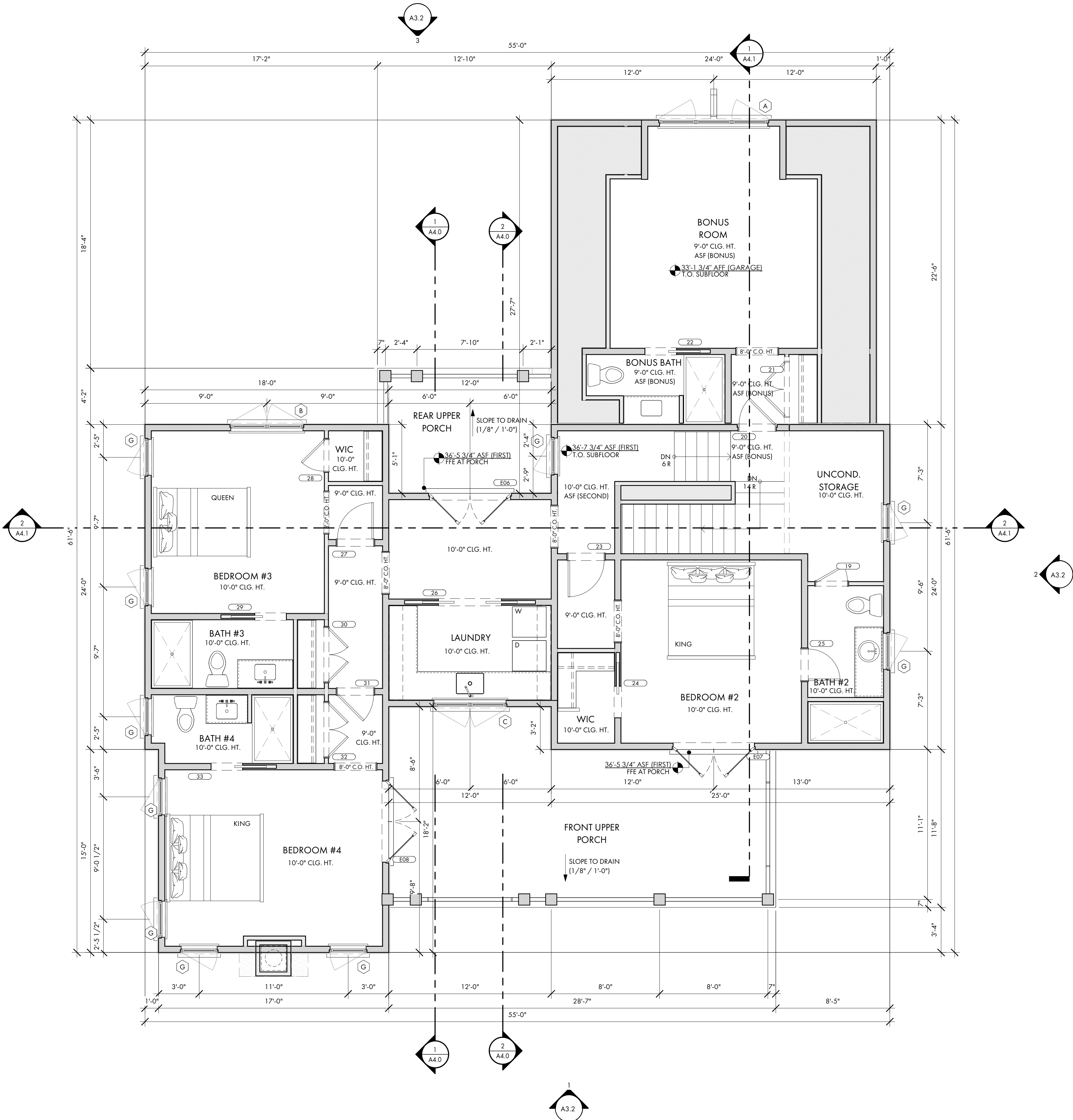
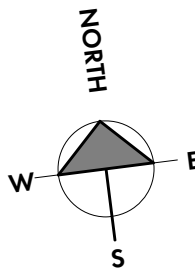
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U.O.N. G.C. TO COORDINATE SIZE AND LOCATIONS OF
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DETAILS.

FLOOR PLAN - SYMBOL KEY

2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"



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RESIDENCE

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ROOF PLAN

A2.3

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
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GENERAL CONTRACTOR NOTE:
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G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
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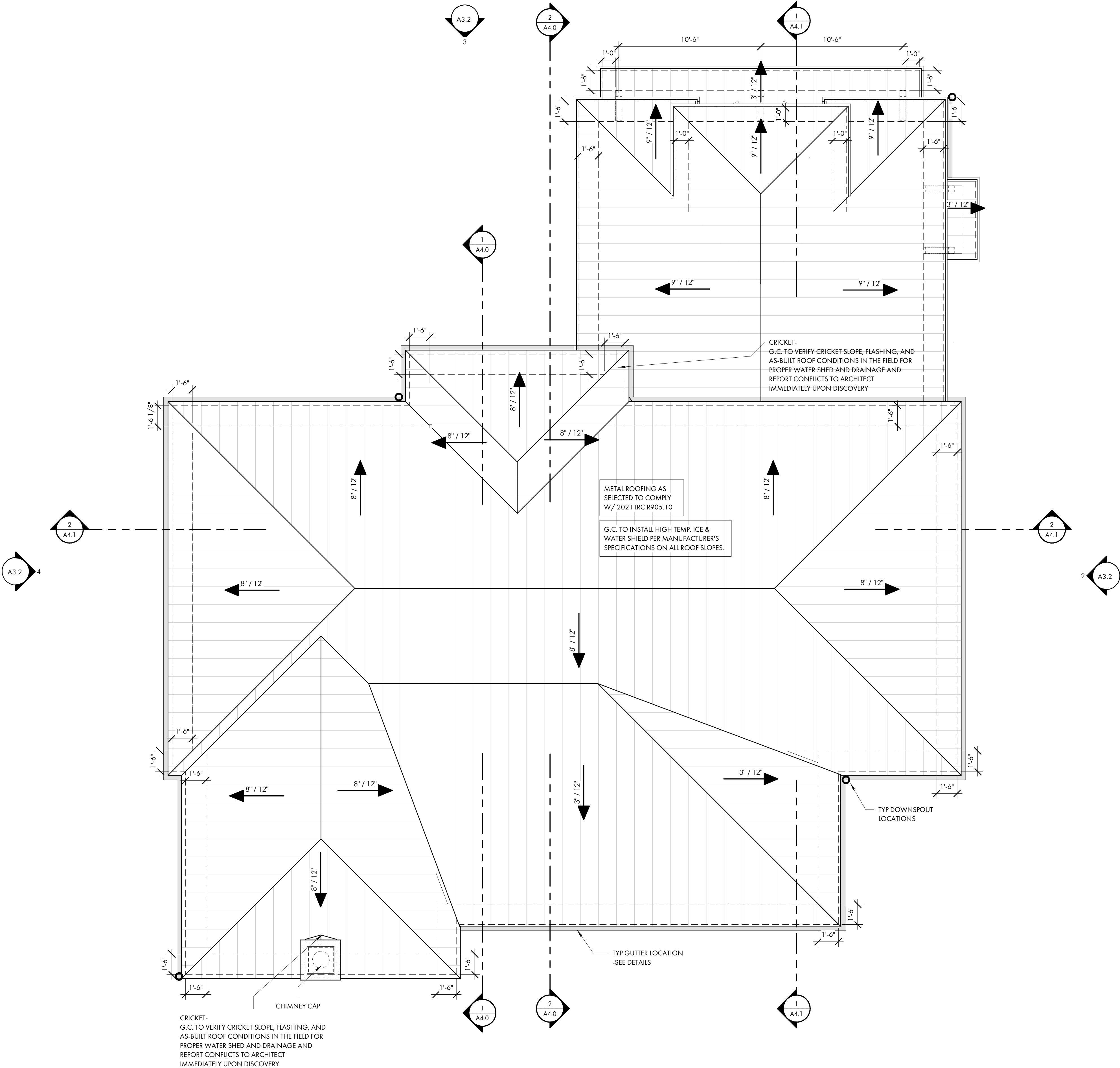
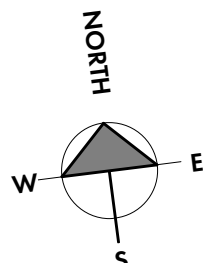
ATTIC CEILING JOISTS / PORCH CEILING:
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FLOOR PLAN - SYMBOL KEY

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2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 ROOF PLAN
A2.3 1/4" = 1'-0"



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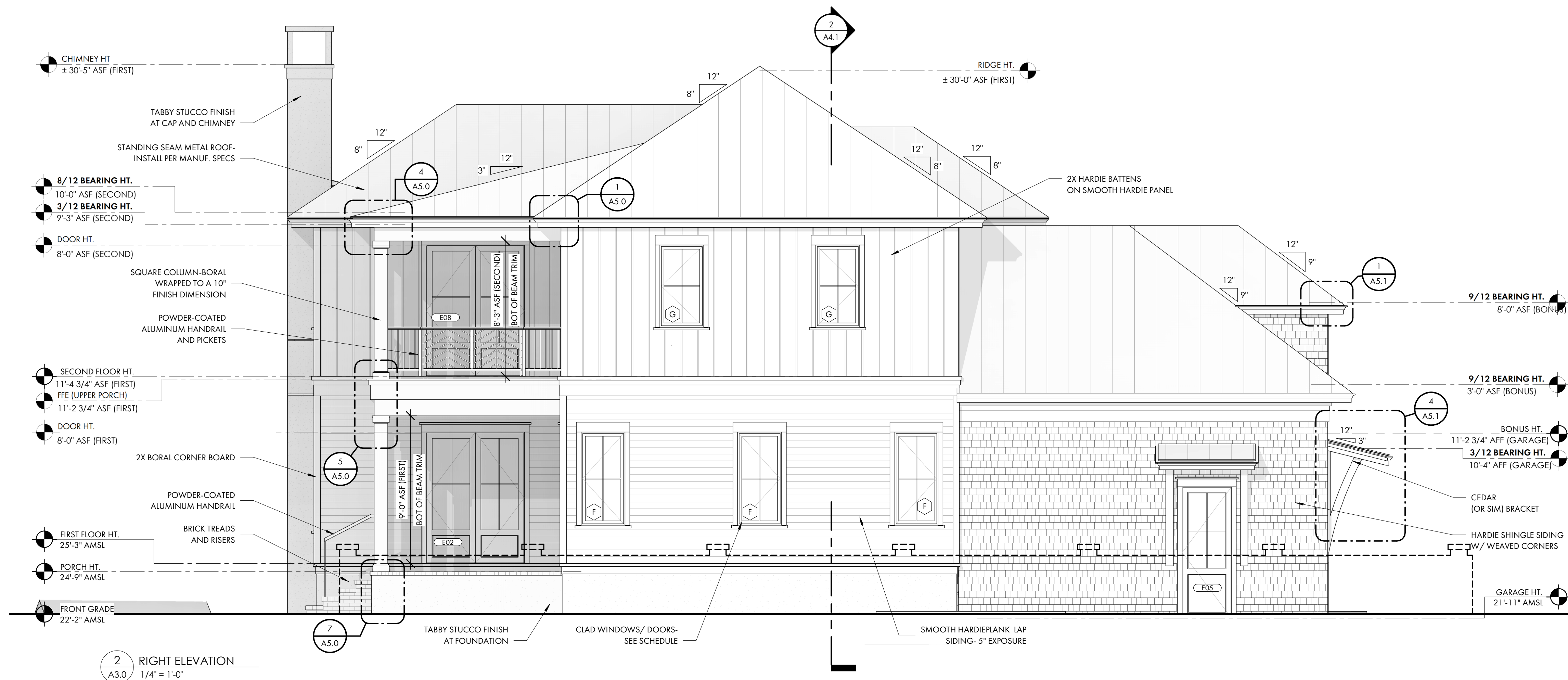
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SHEET TITLE

BUILDING ELEVATIONS

A3.0





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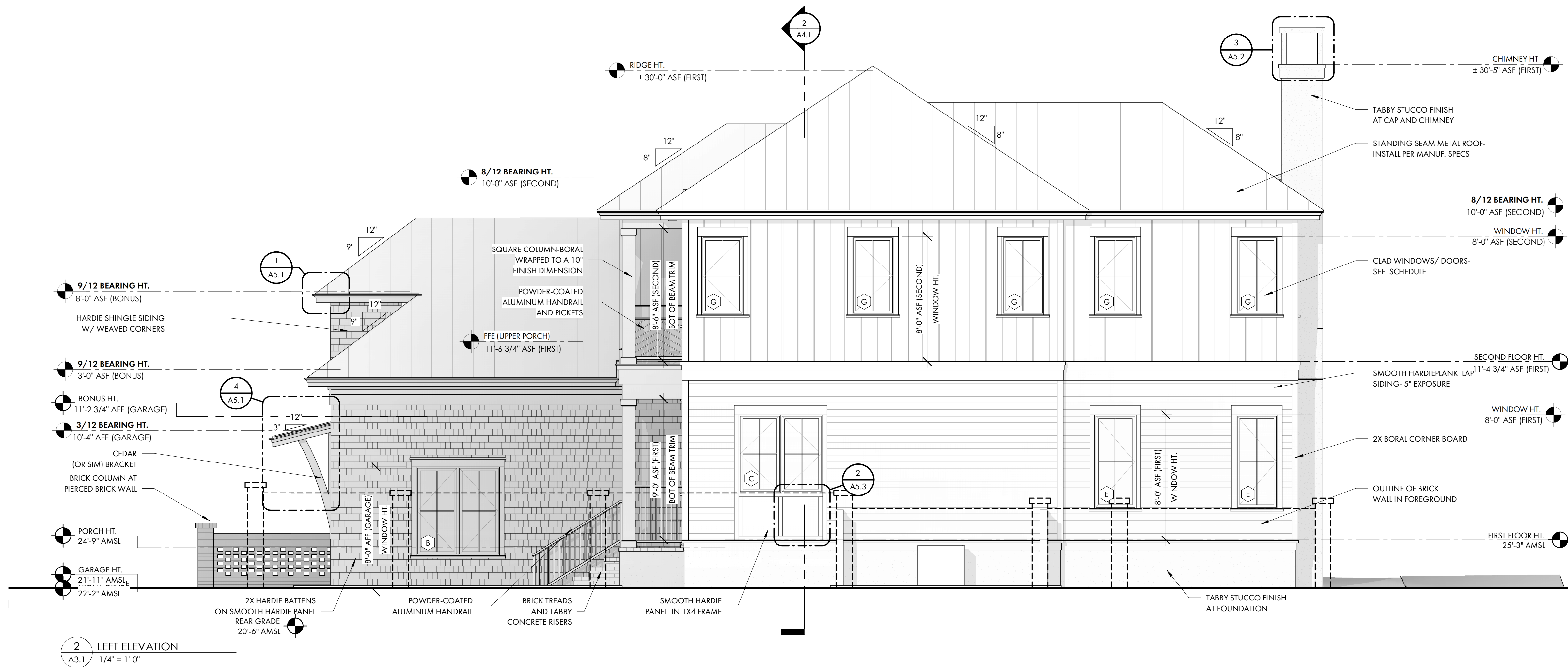
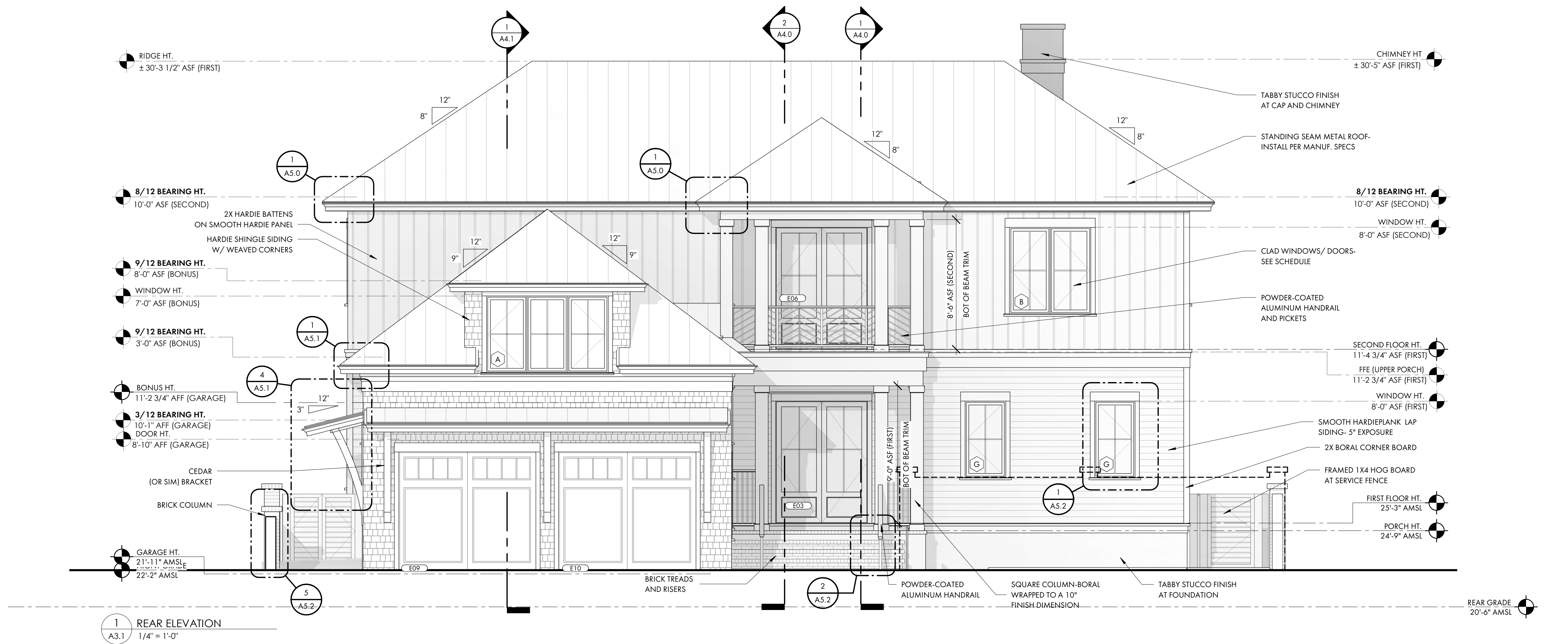
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SHEET TITLE

BUILDING ELEVATIONS

A3.1





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SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



SERVICE YARD-GATE

SERVICE YARD-GATE



42" MAX HEIGHT
WALL AT FRONT/
SIDE YARD

SERVICE YARD-MIN 25%
OPACITY PER UDO

42" HEIGHT
WALL AT REAR/
SIDE YARD

1 FRONT ELEVATION
A3.2 3/16" = 1'-0"

2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



SERVICE YARD GATE

POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY



POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY

SERVICE YARD-MIN 25%
OPACITY PER UDO

ADJACENT LOT
SERVICE YARD-MIN 25%
OPACITY PER UDO

3 REAR ELEVATION
A3.2 3/16" = 1'-0"

4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



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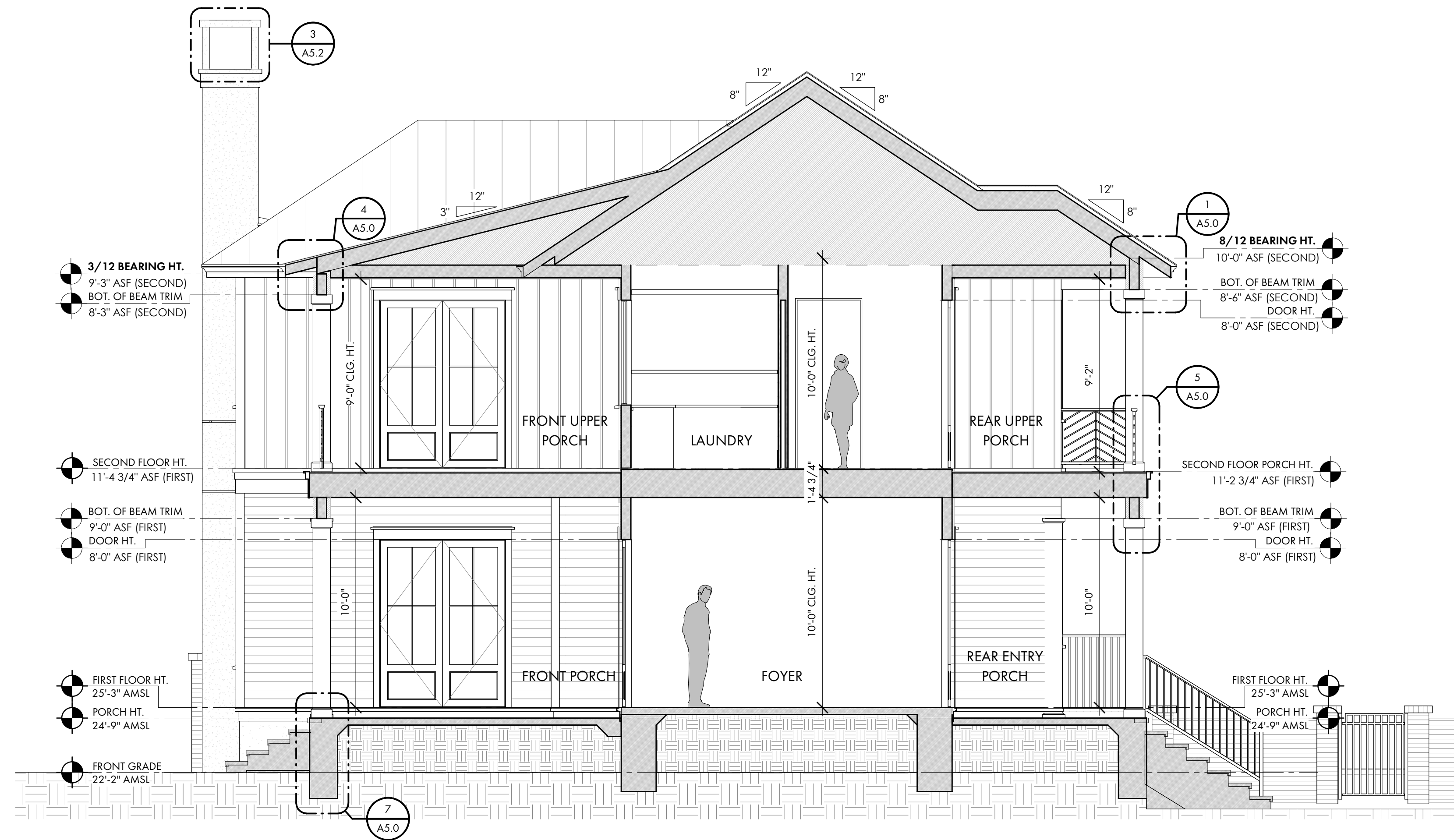
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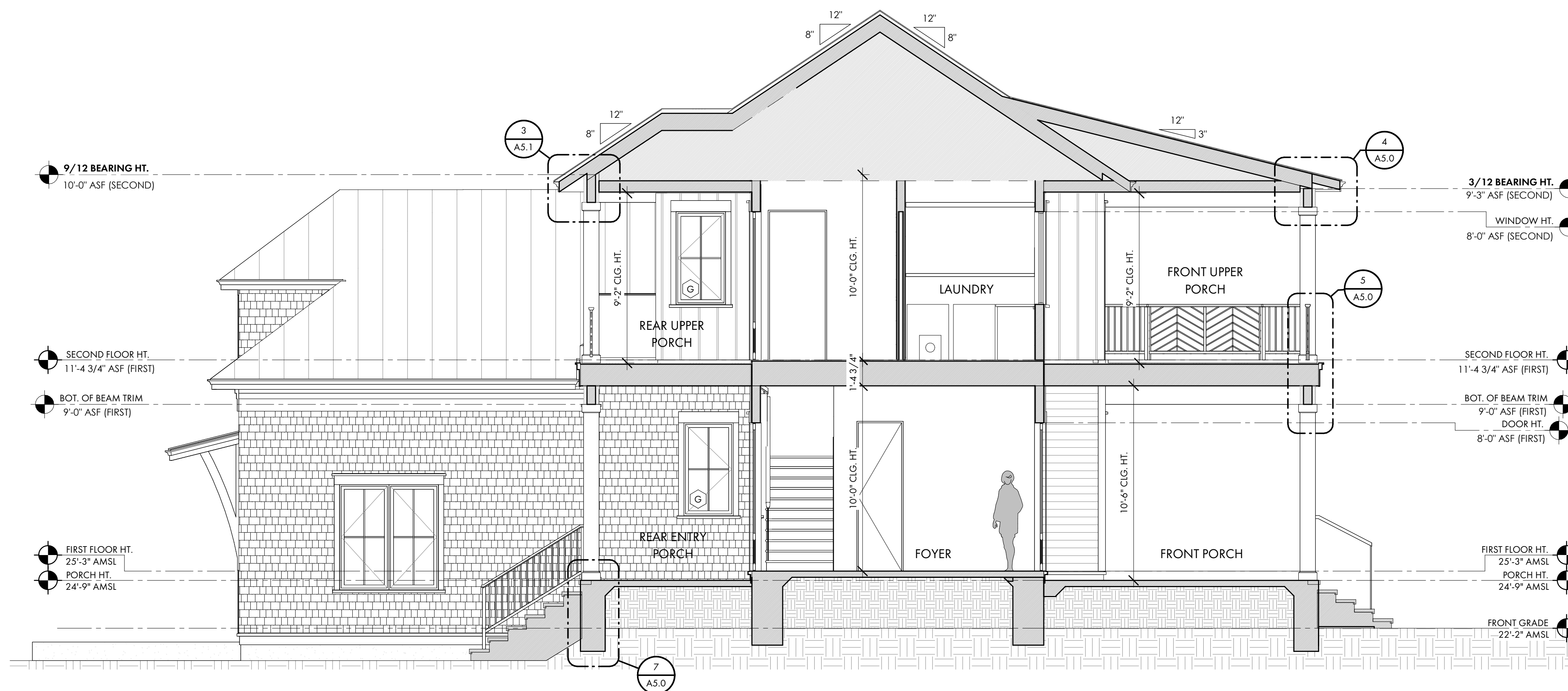
SHEET TITLE

BUILDING SECTIONS

A4.0



1 SECTION THROUGH PORCHES 1
A4.0 1/4" = 1'-0"



2 SECTION THROUGH PORCHES 2
A4.0 1/4" = 1'-0"



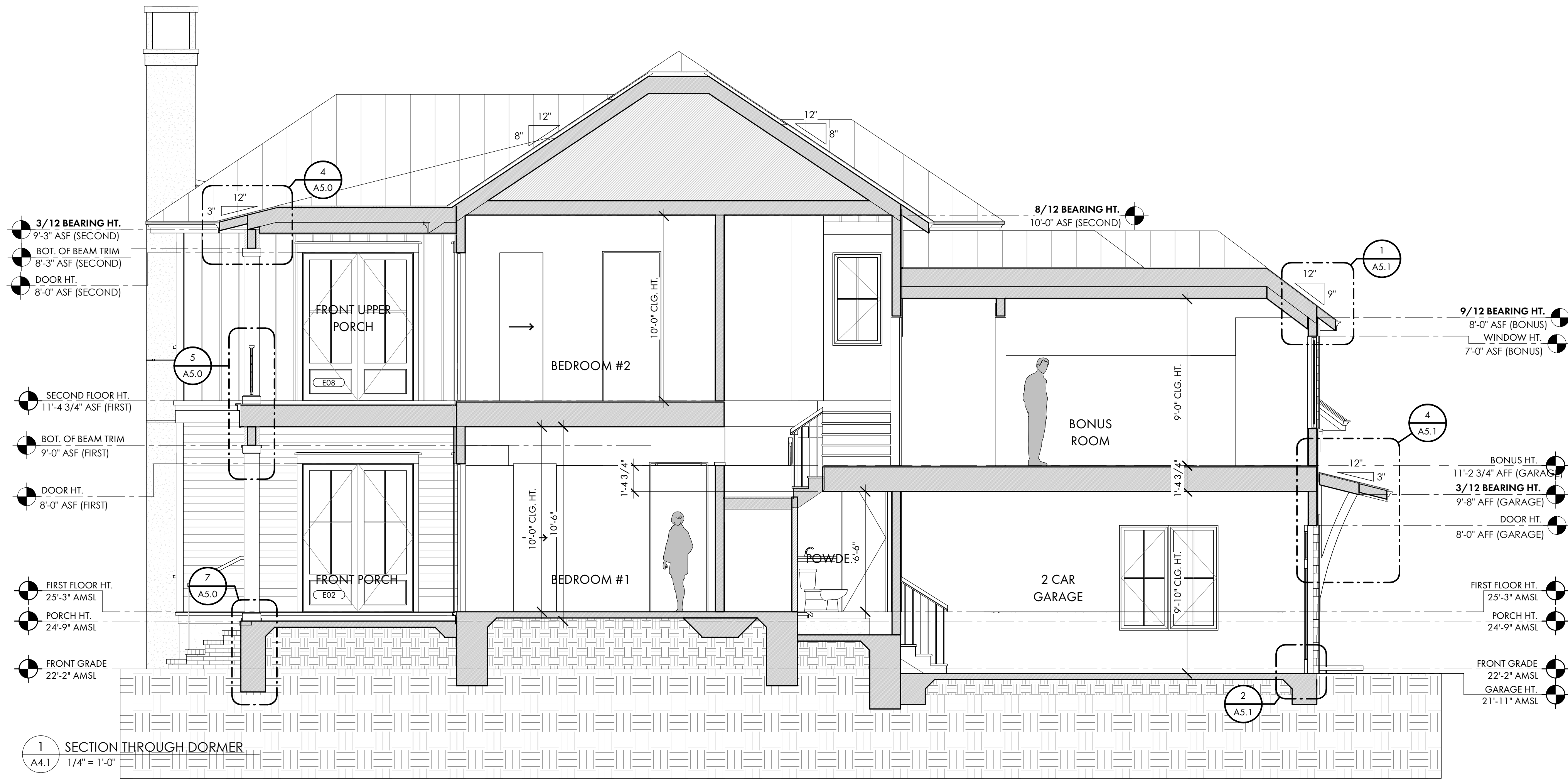
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SHEET TITLE

BUILDING SECTIONS

A4.1



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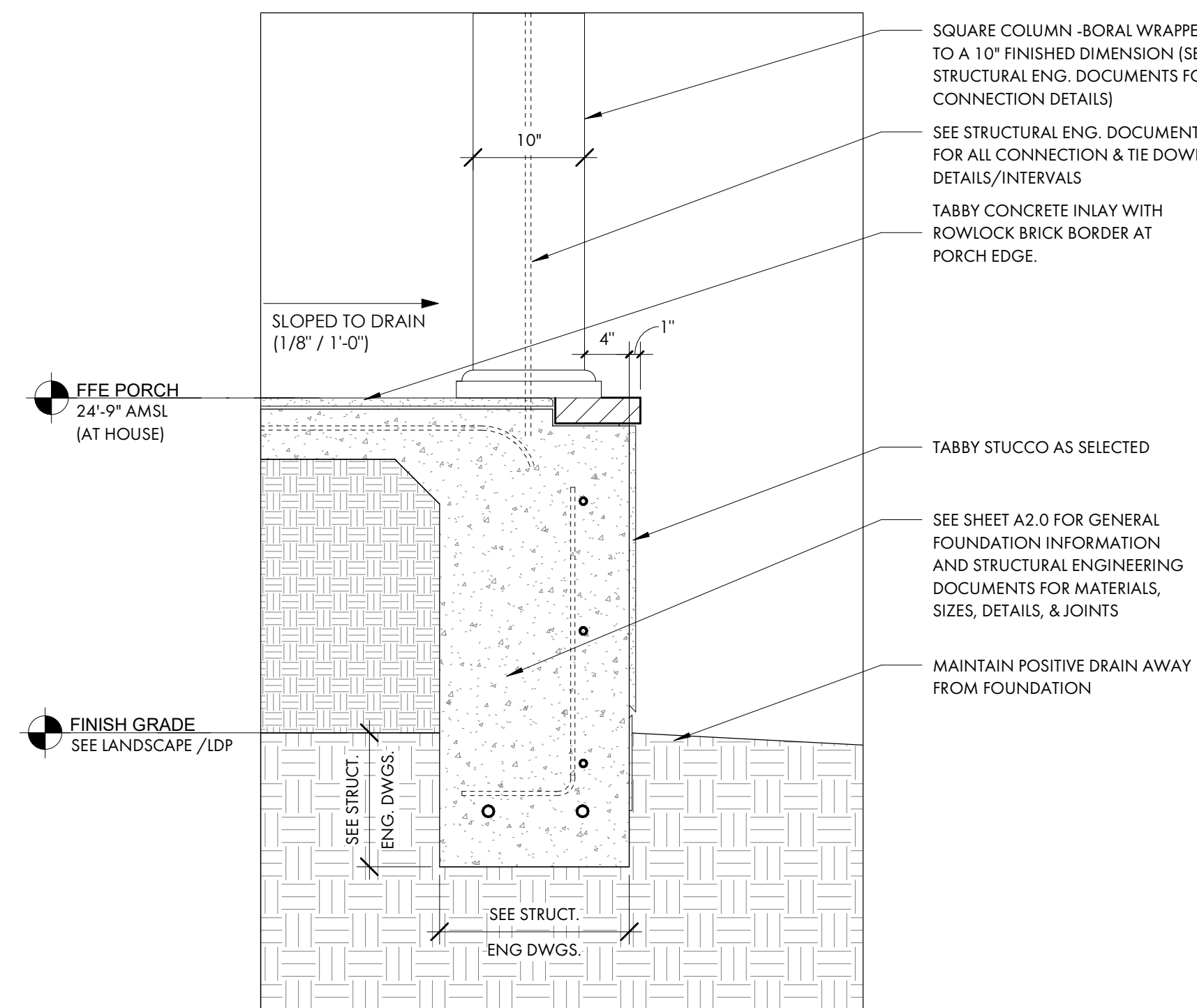
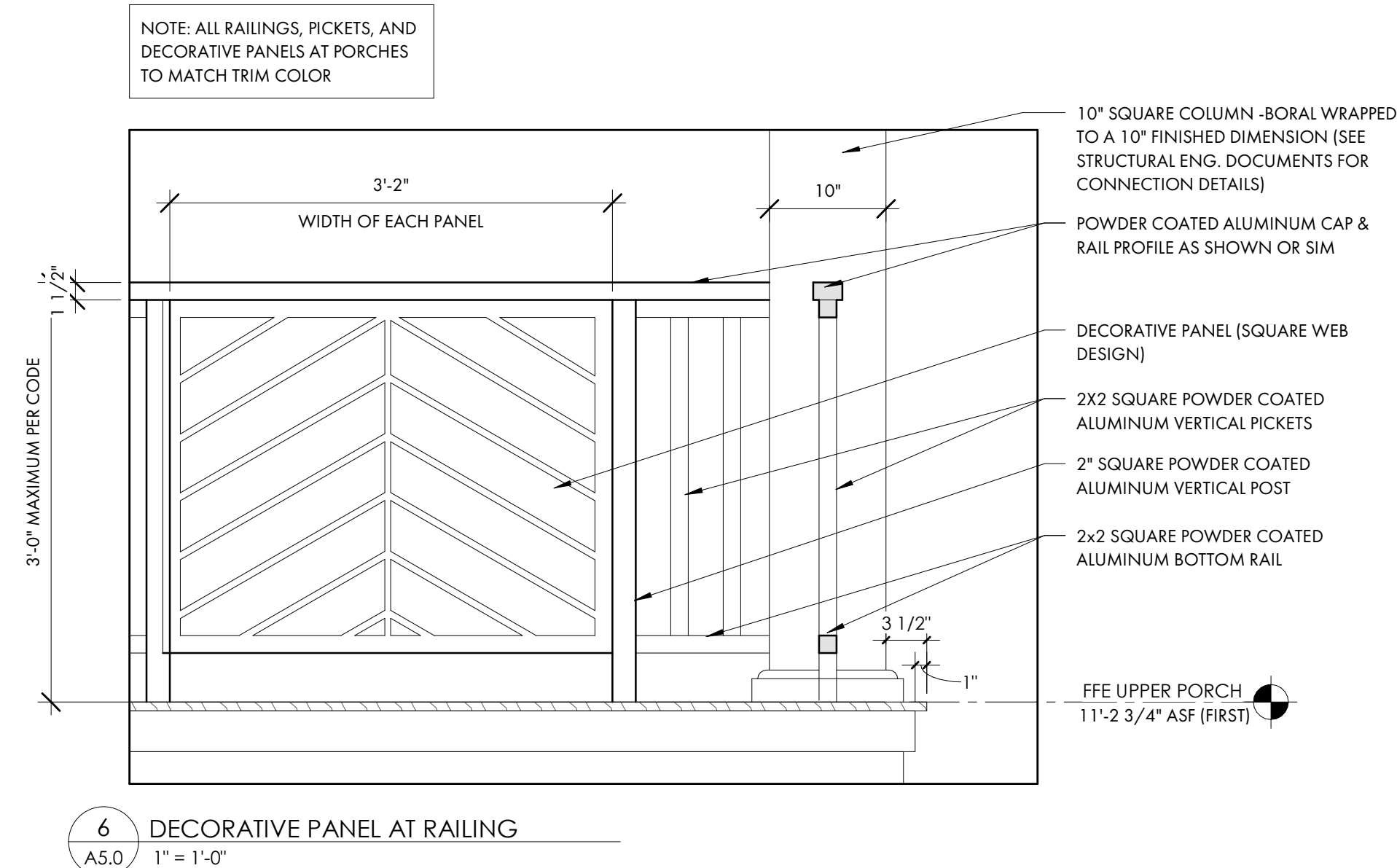
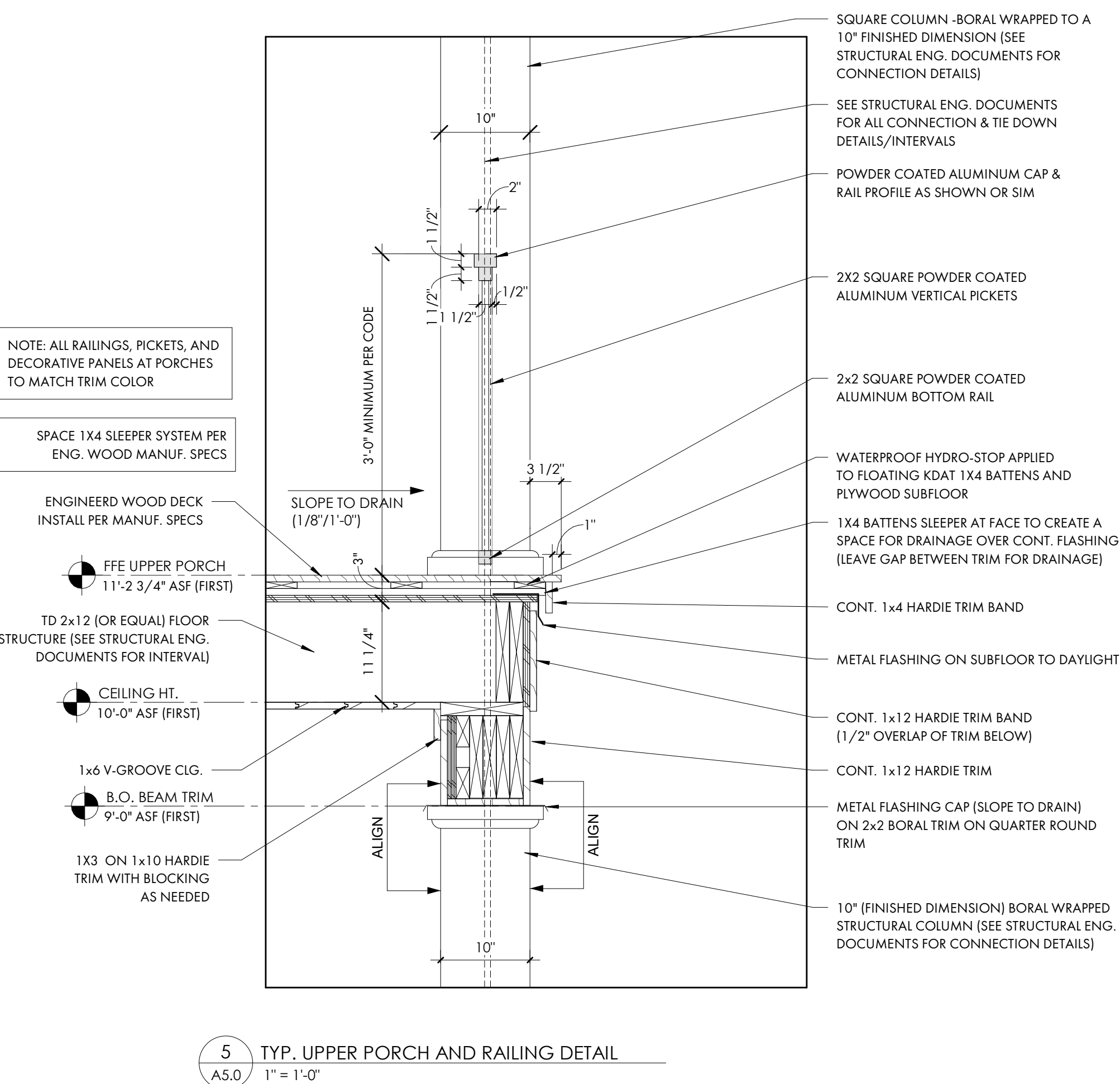
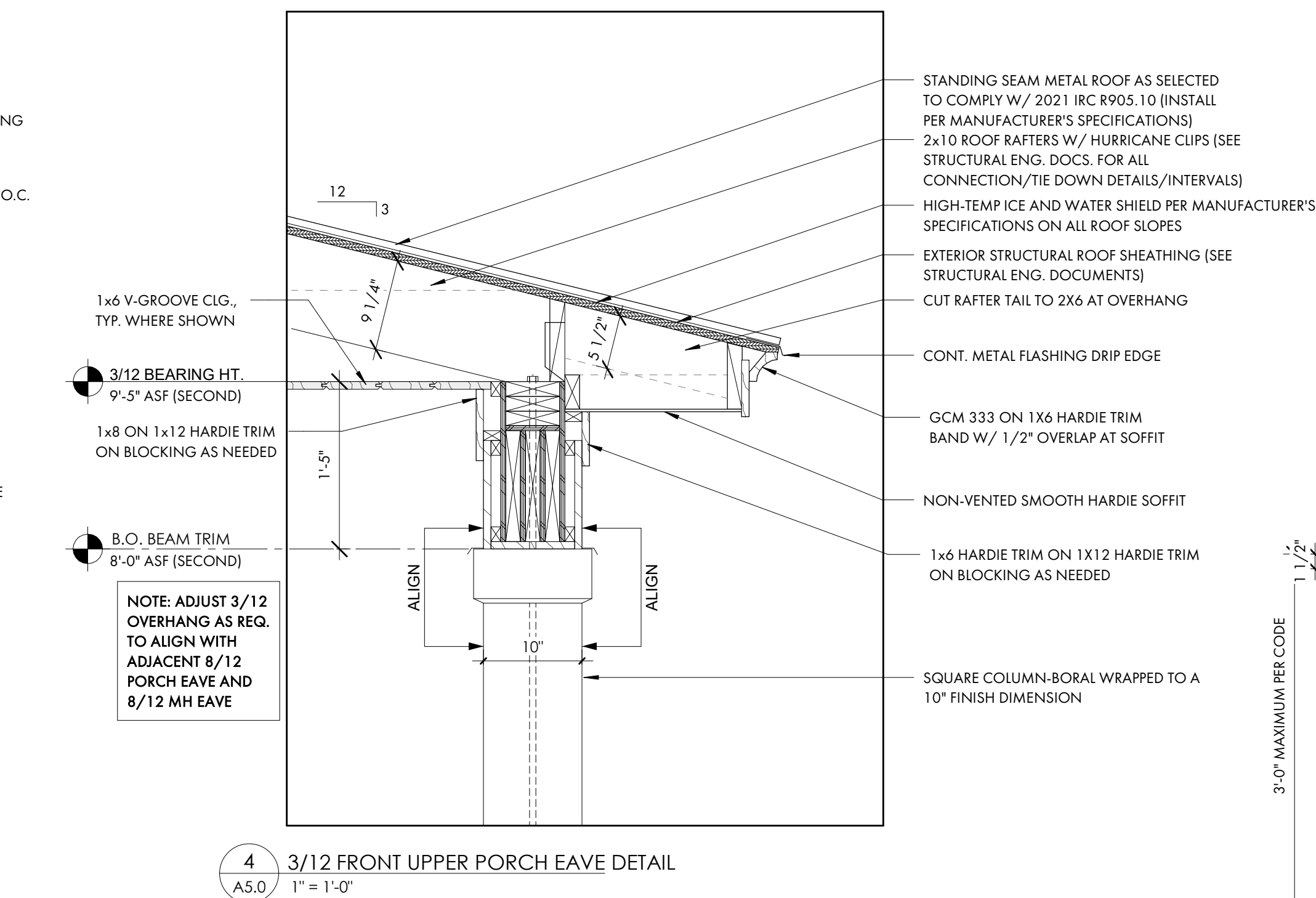
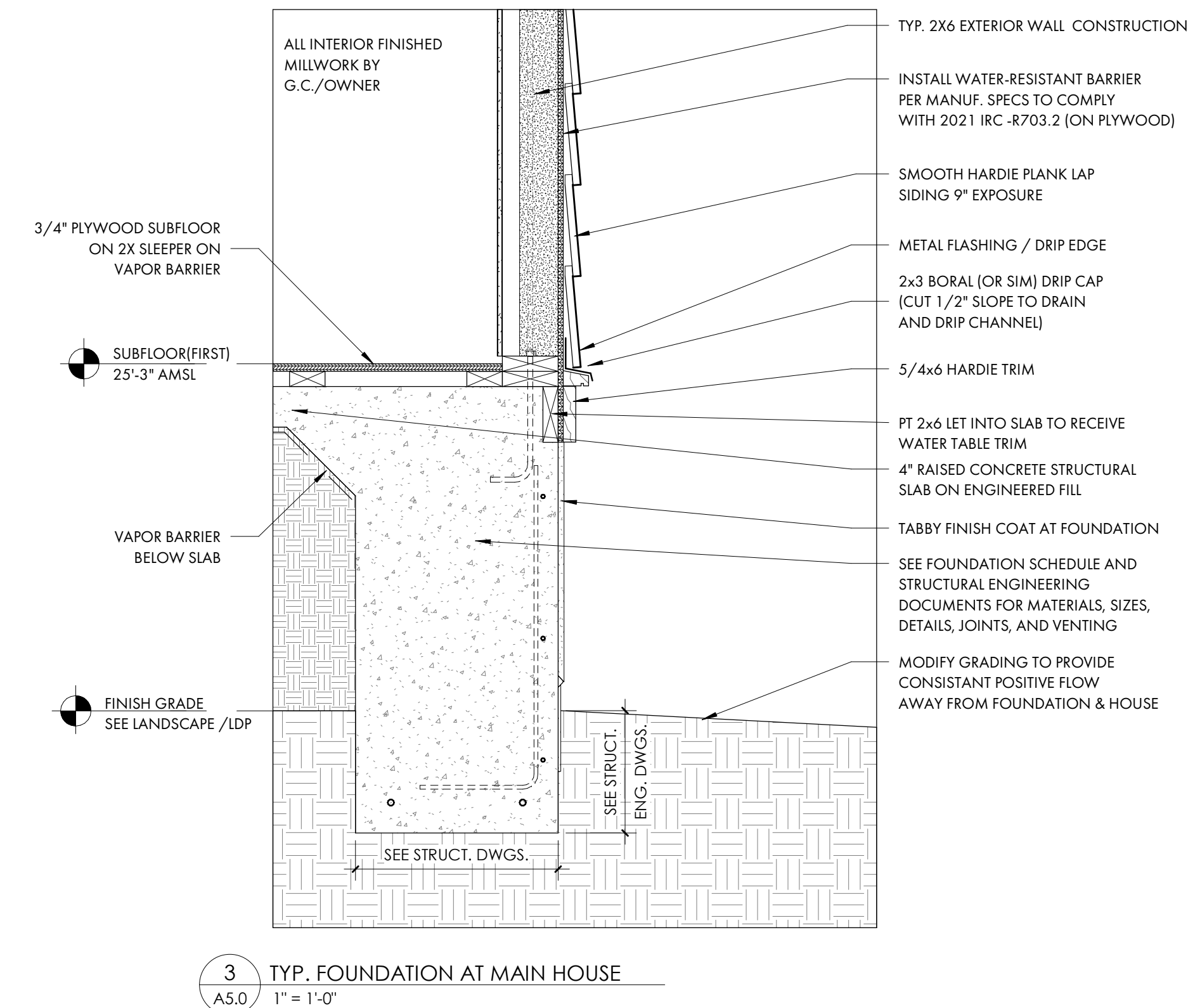
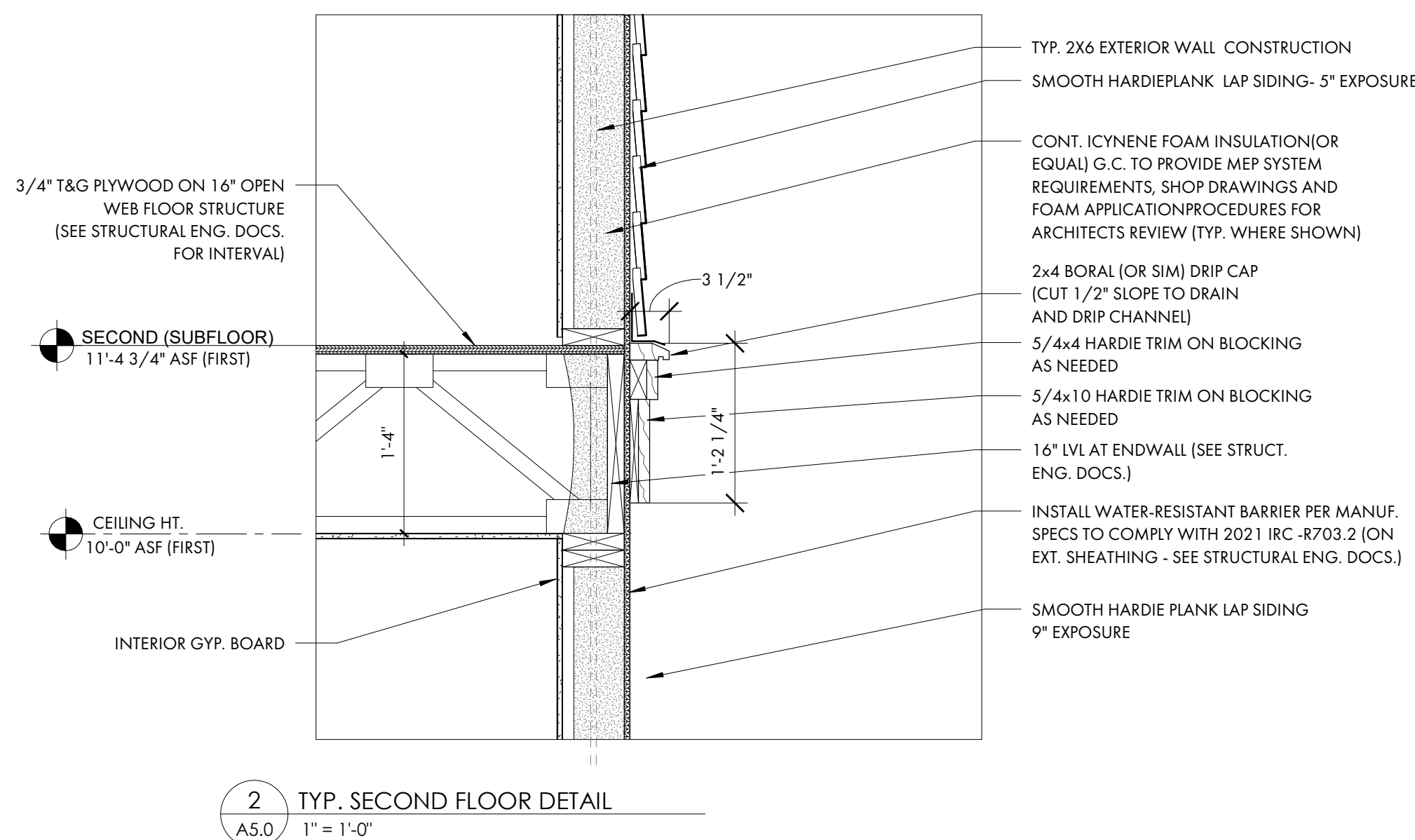
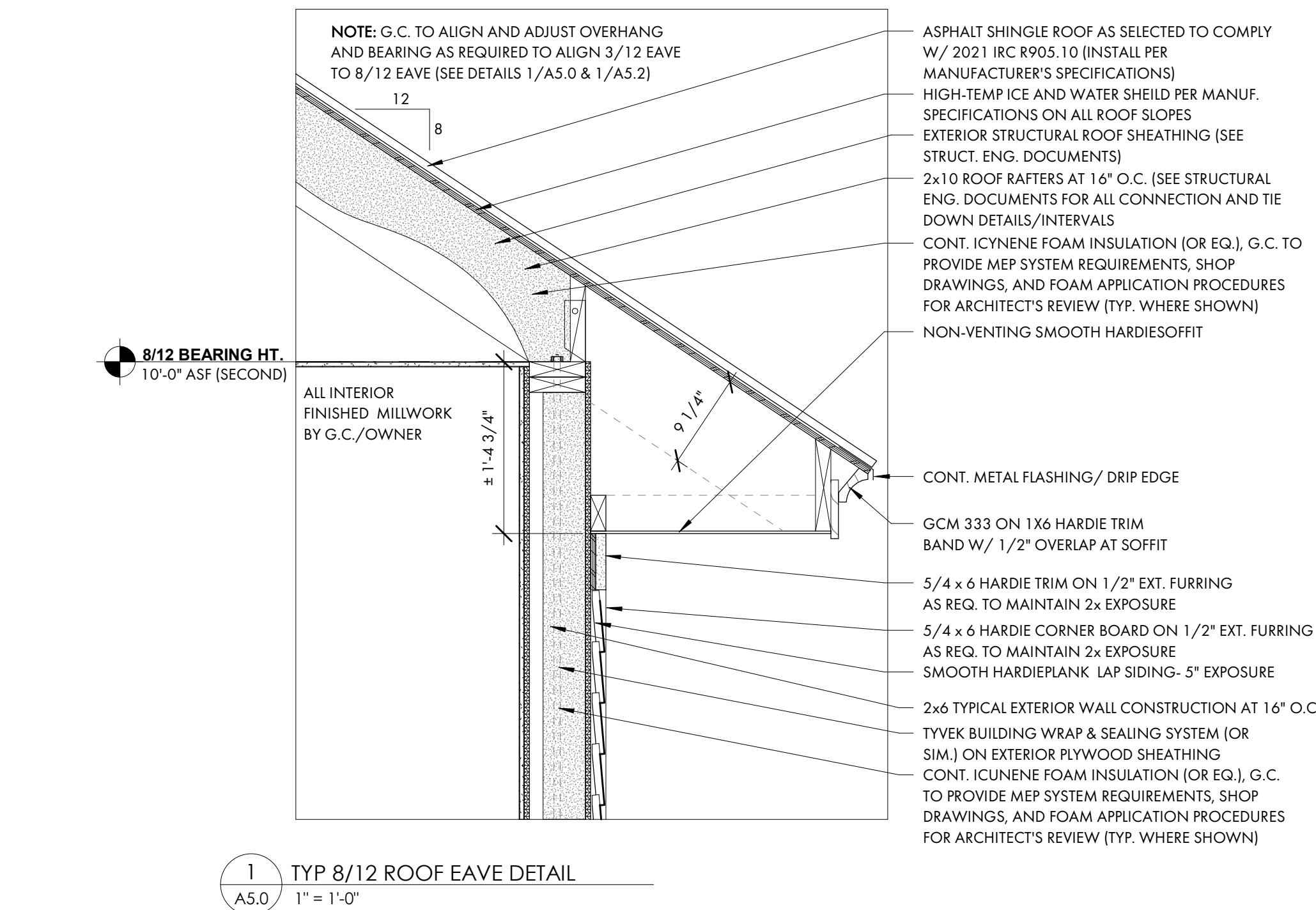
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DETAILS

A5.0





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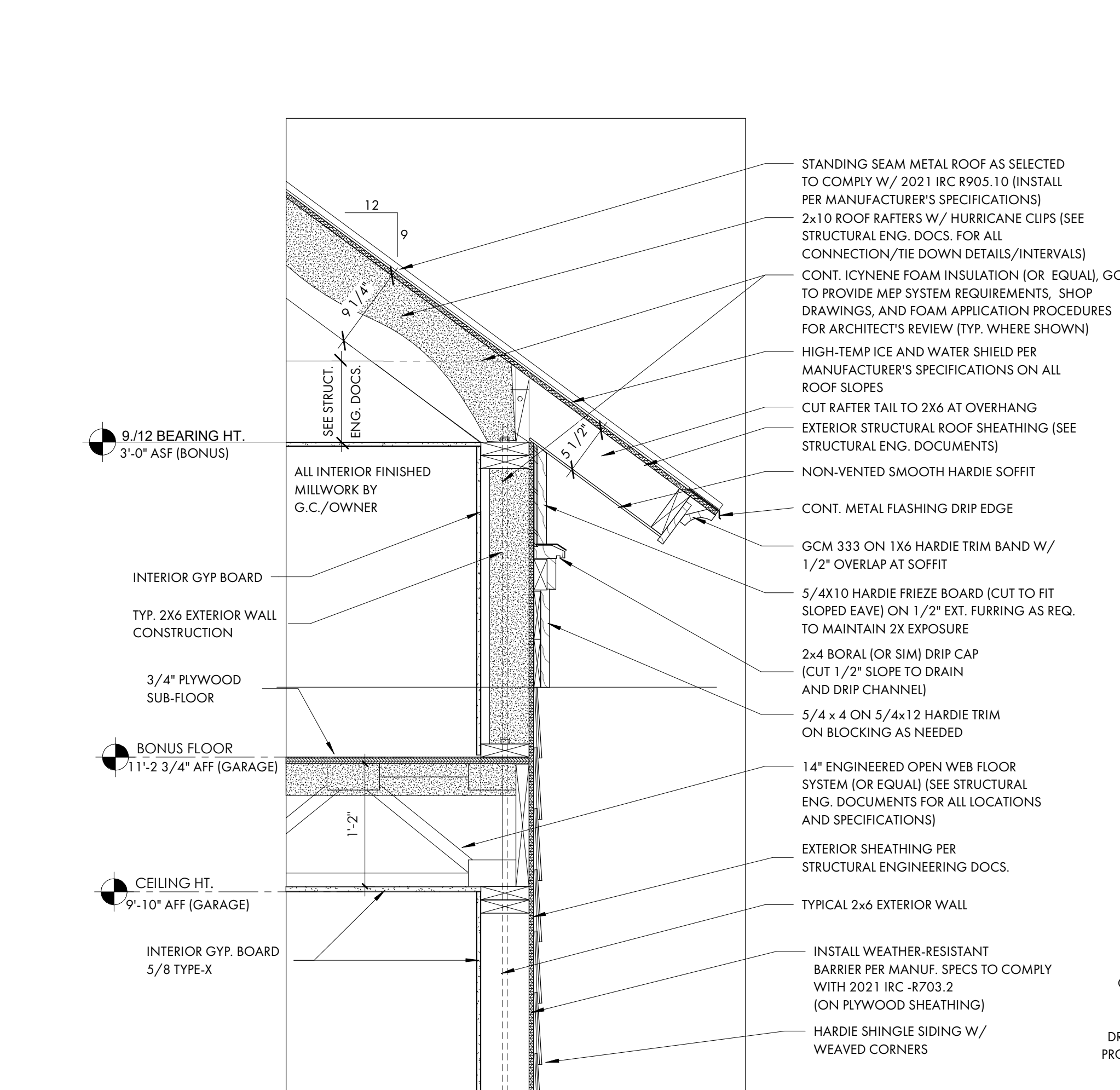
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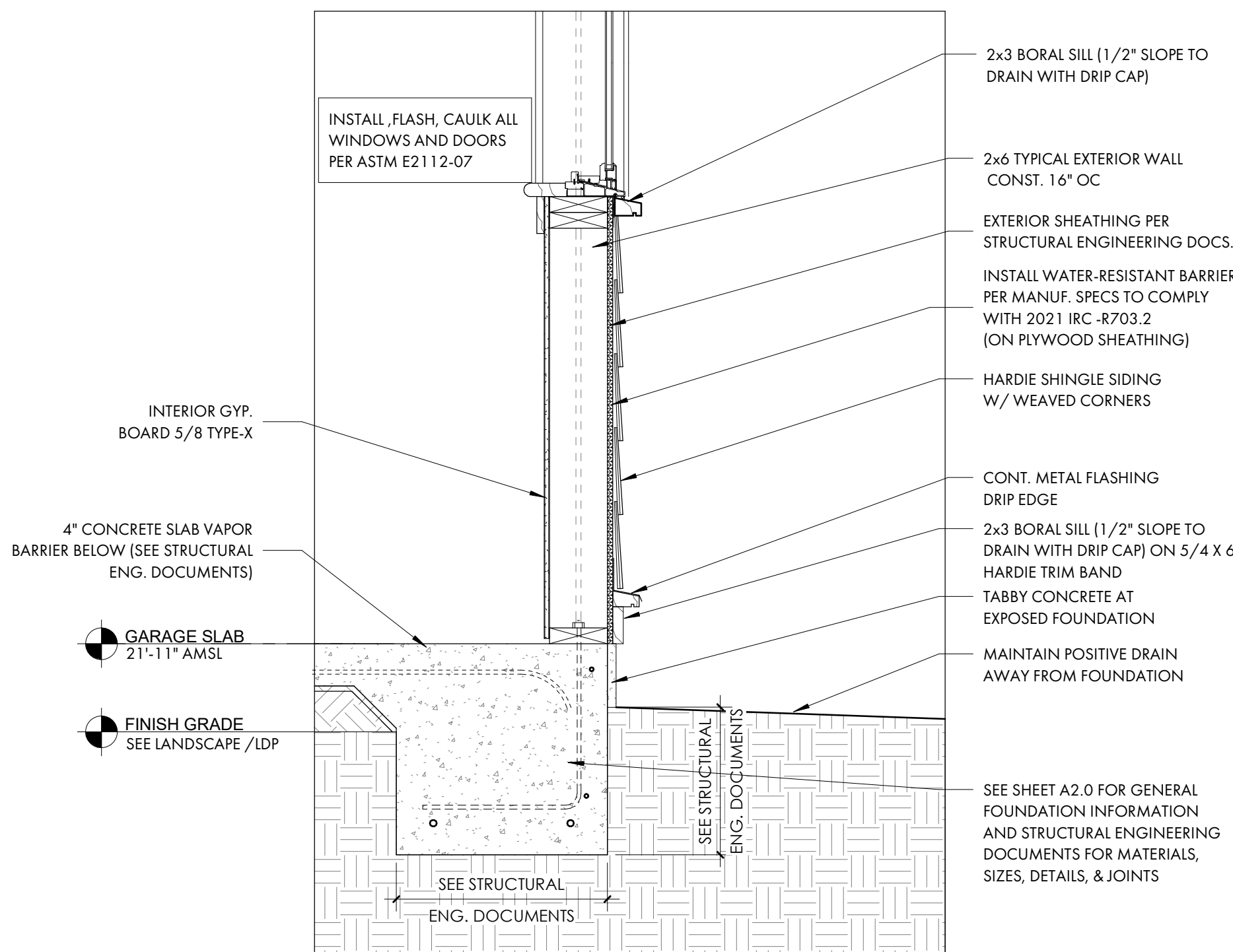
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DETAILS

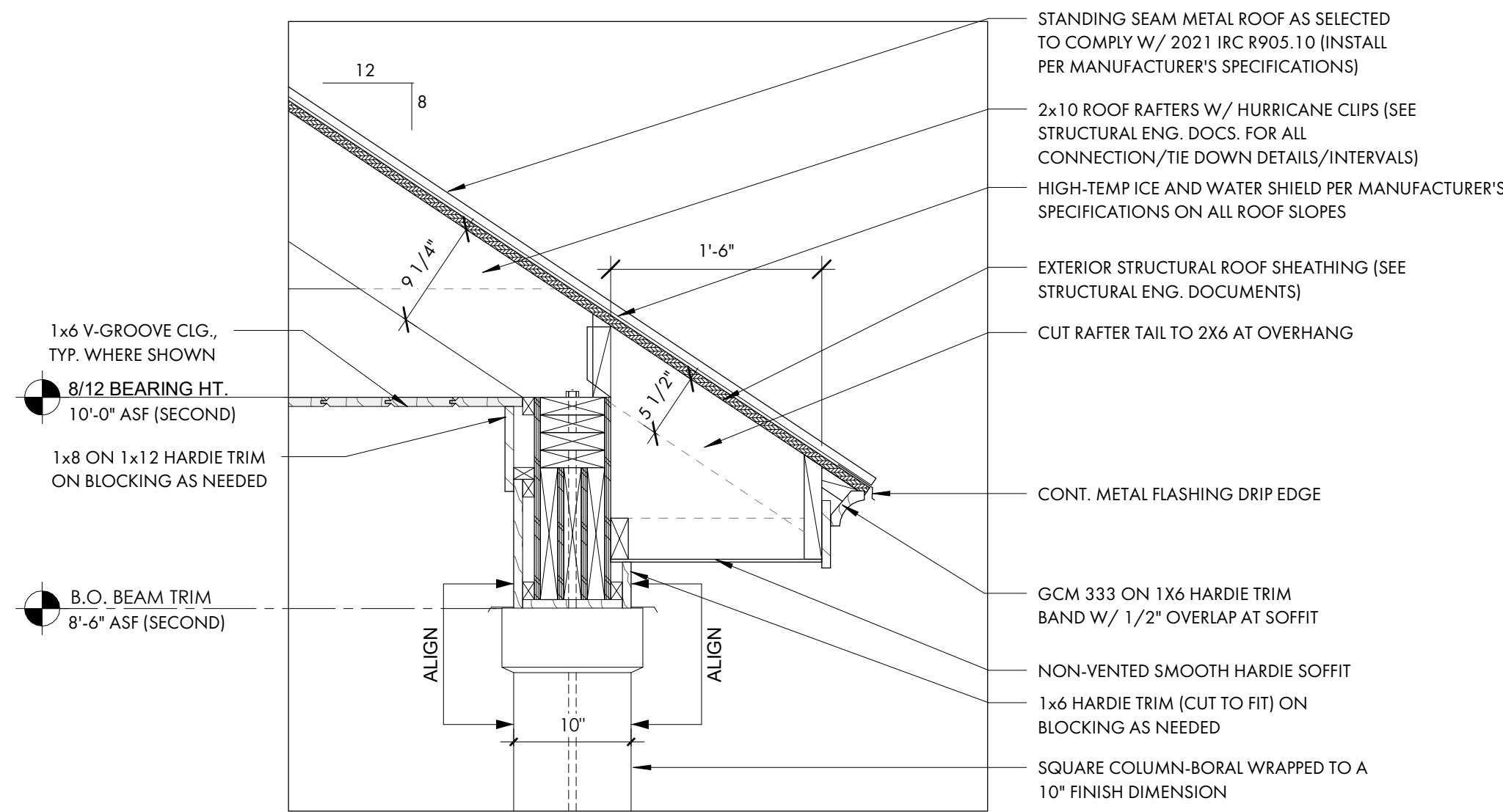
A5.1



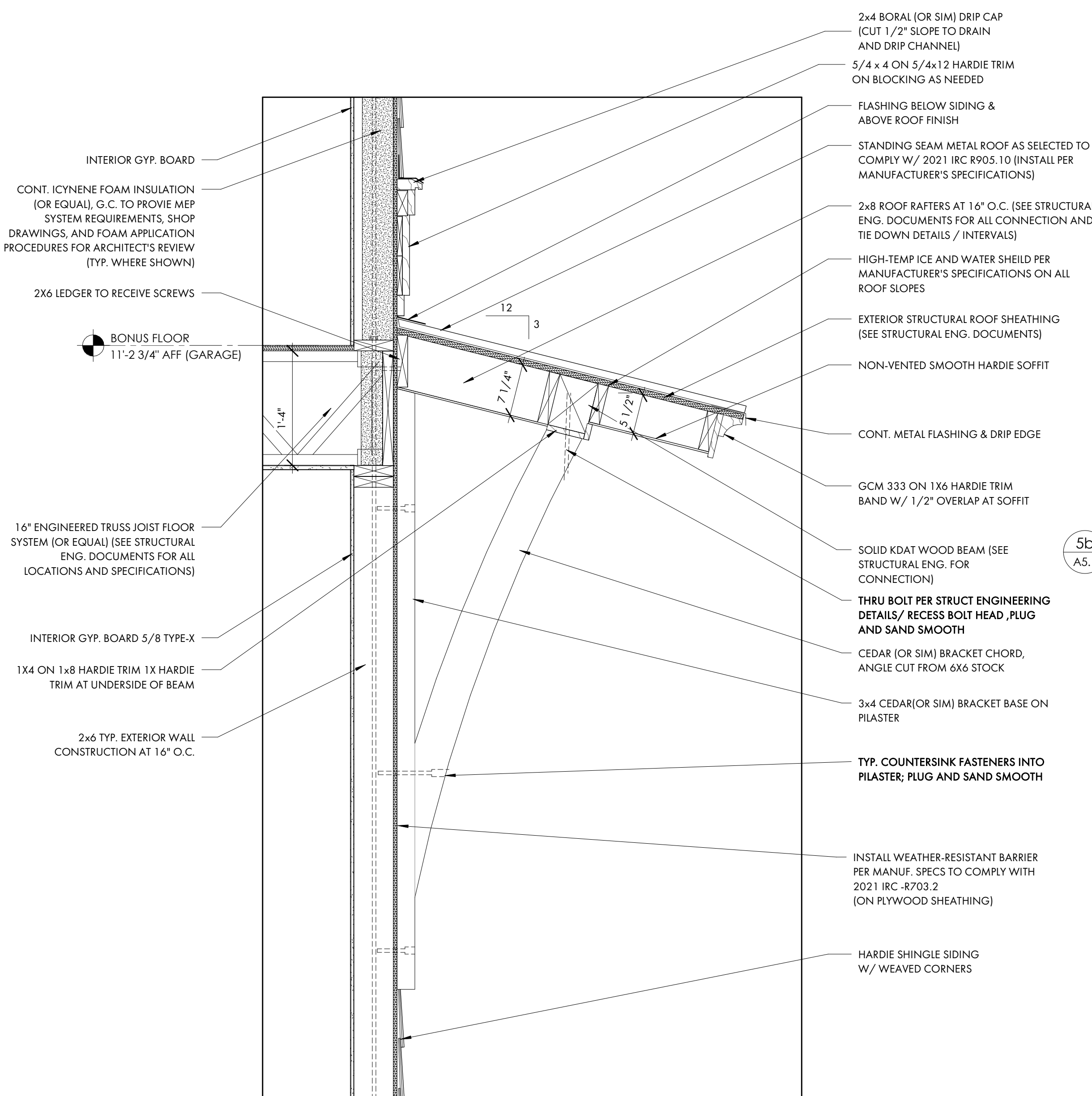
1 TYP. 9/12 ROOF EAVE AND BONUS FLOOR DETAIL
A5.1 1" = 1'-0"



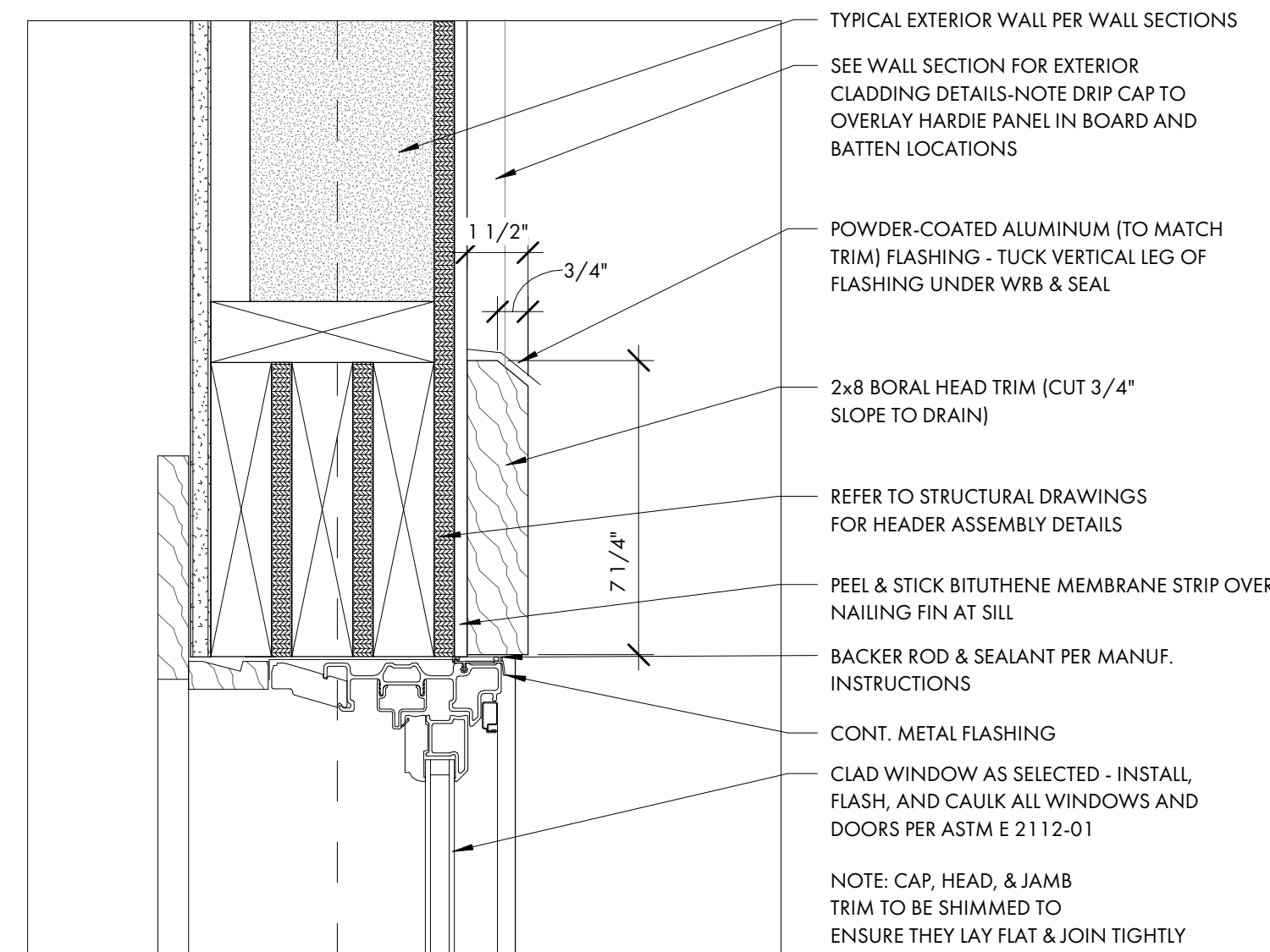
2 TYP. FOUNDATION AT GARAGE
A5.1 1" = 1'-0"



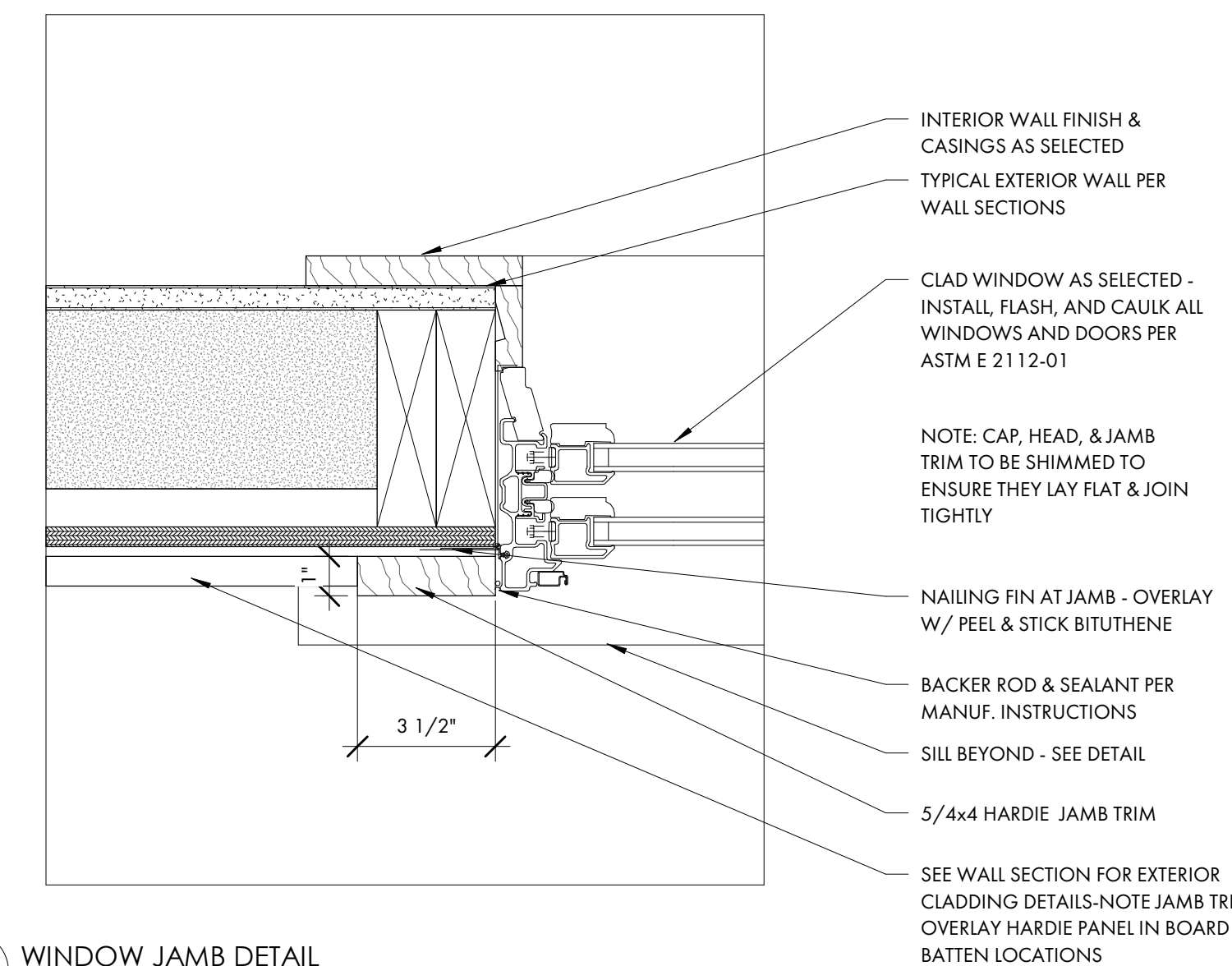
3 TYP. 8/12 REAR UPPER PORCH EAVE DETAIL
A5.1 1" = 1'-0"



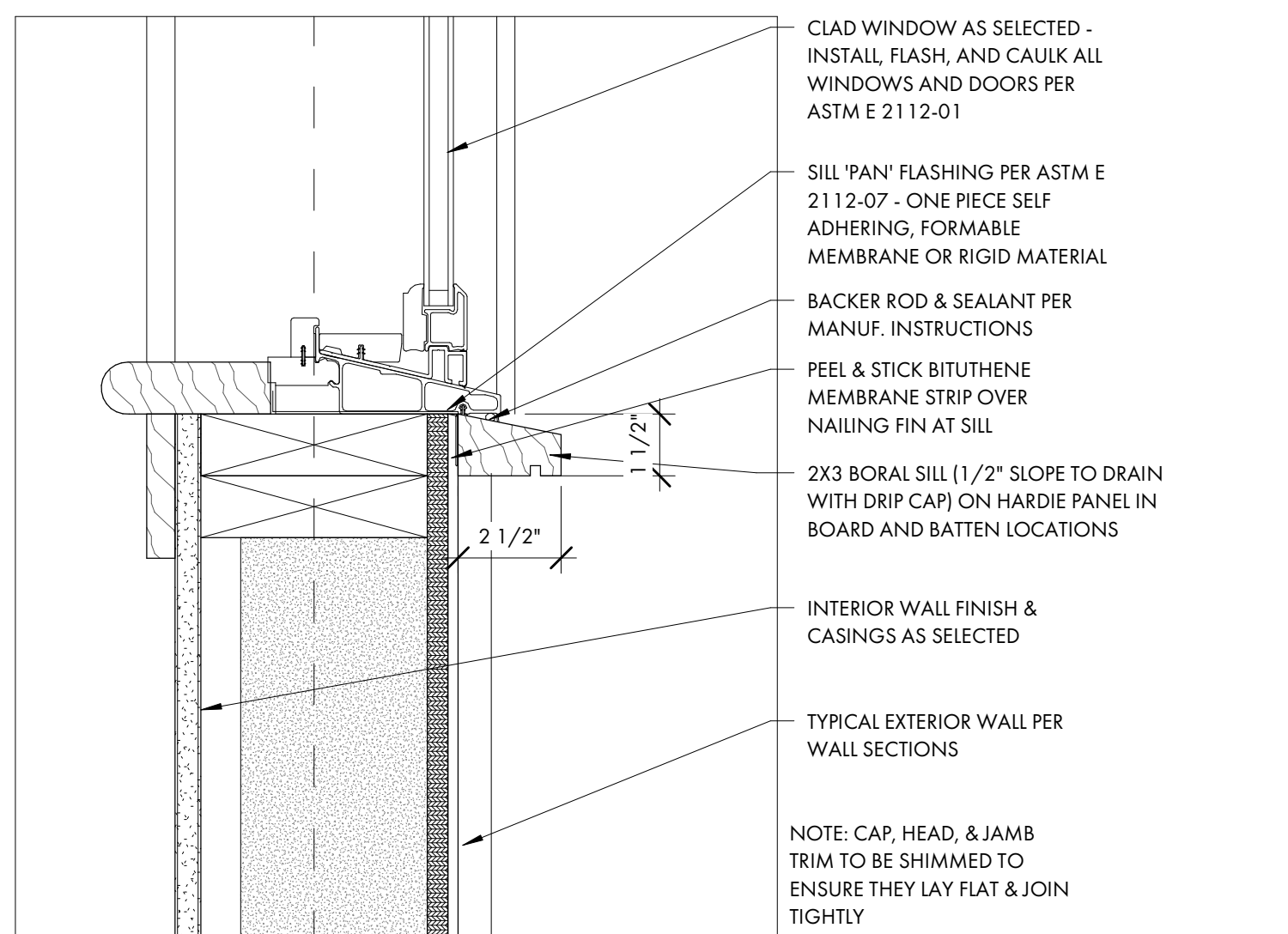
4 3/12 ROOF BRACKET
A5.1 1" = 1'-0"



5a WINDOW HEAD DETAIL
A5.1 3" = 1'-0"



5b WINDOW JAMB DETAIL
A5.1 3" = 1'-0"



5c WINDOW SILL DETAIL
A5.1 3" = 1'-0"



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LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date

12.03.2025

Project No.

25-072

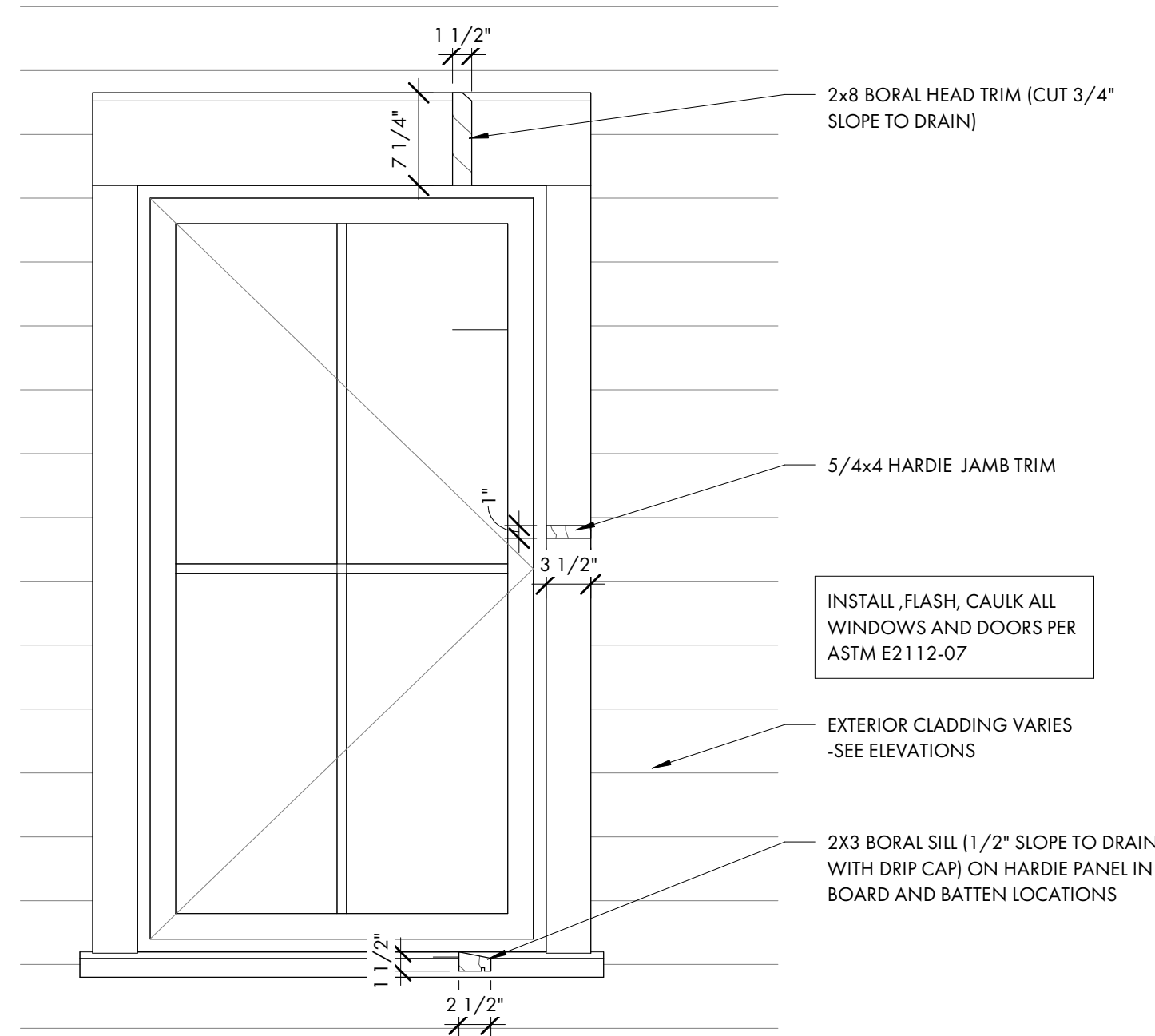
ISSUE

NO. REV. DATE DESCRIPTION

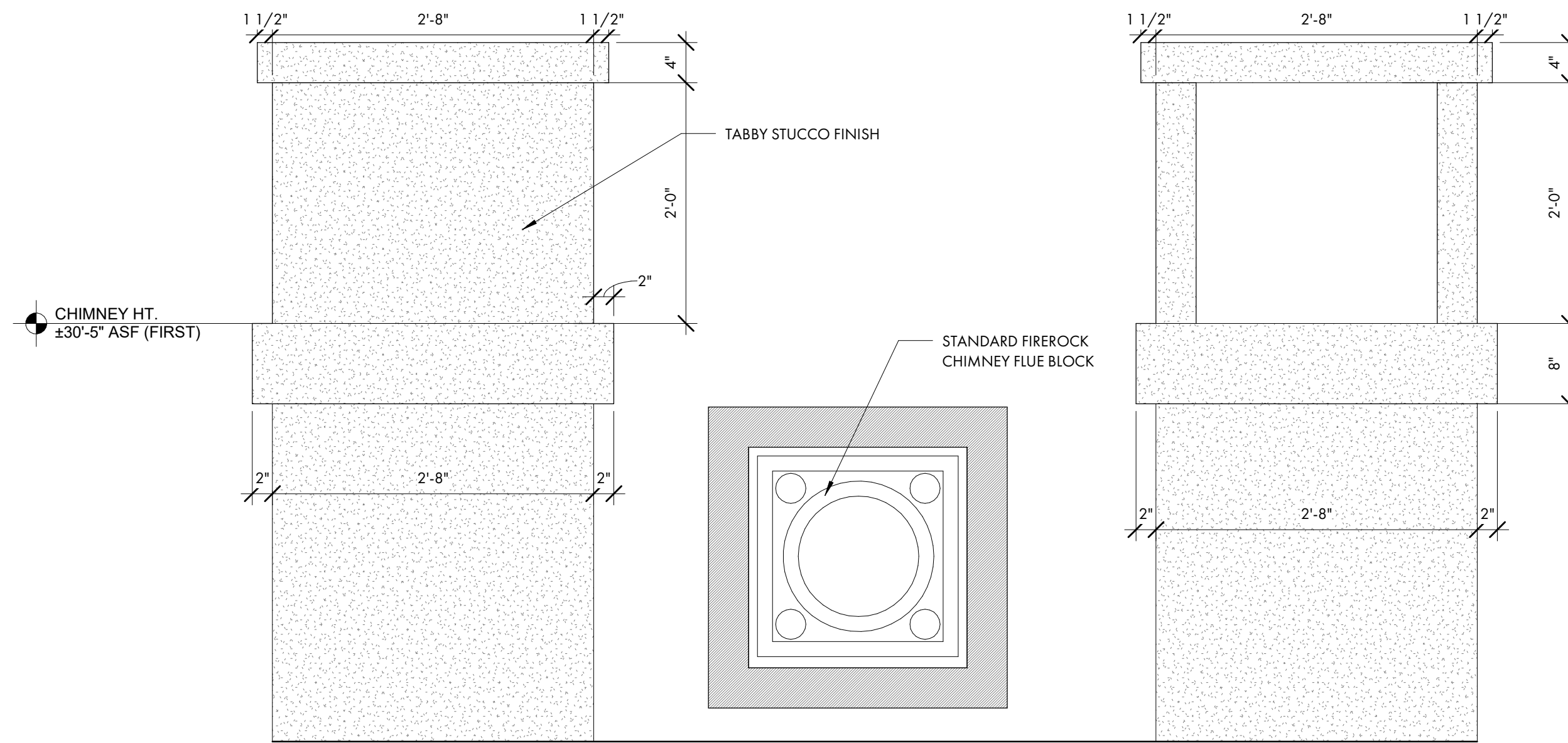
SHEET TITLE

DETAILS

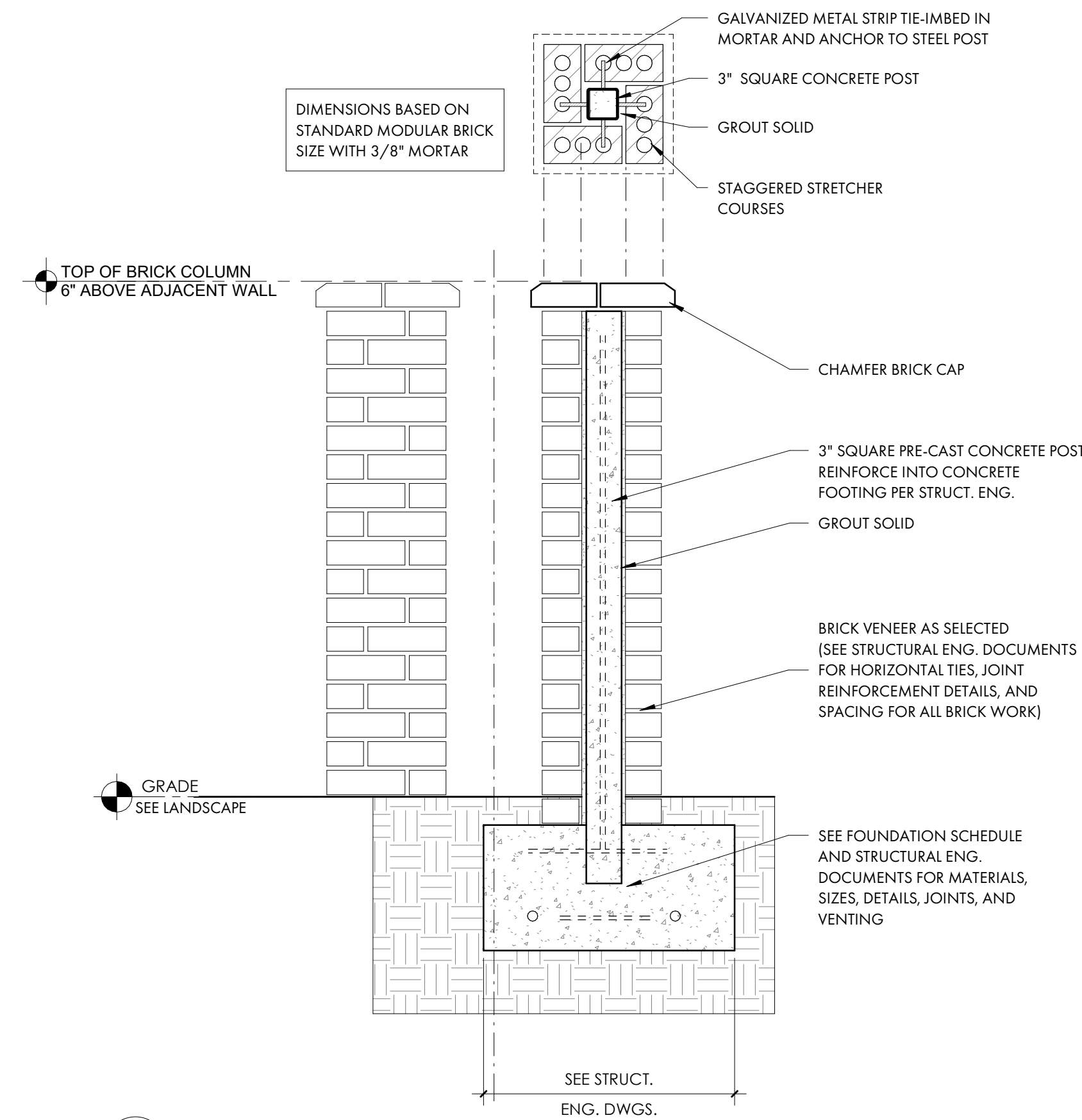
A5.2



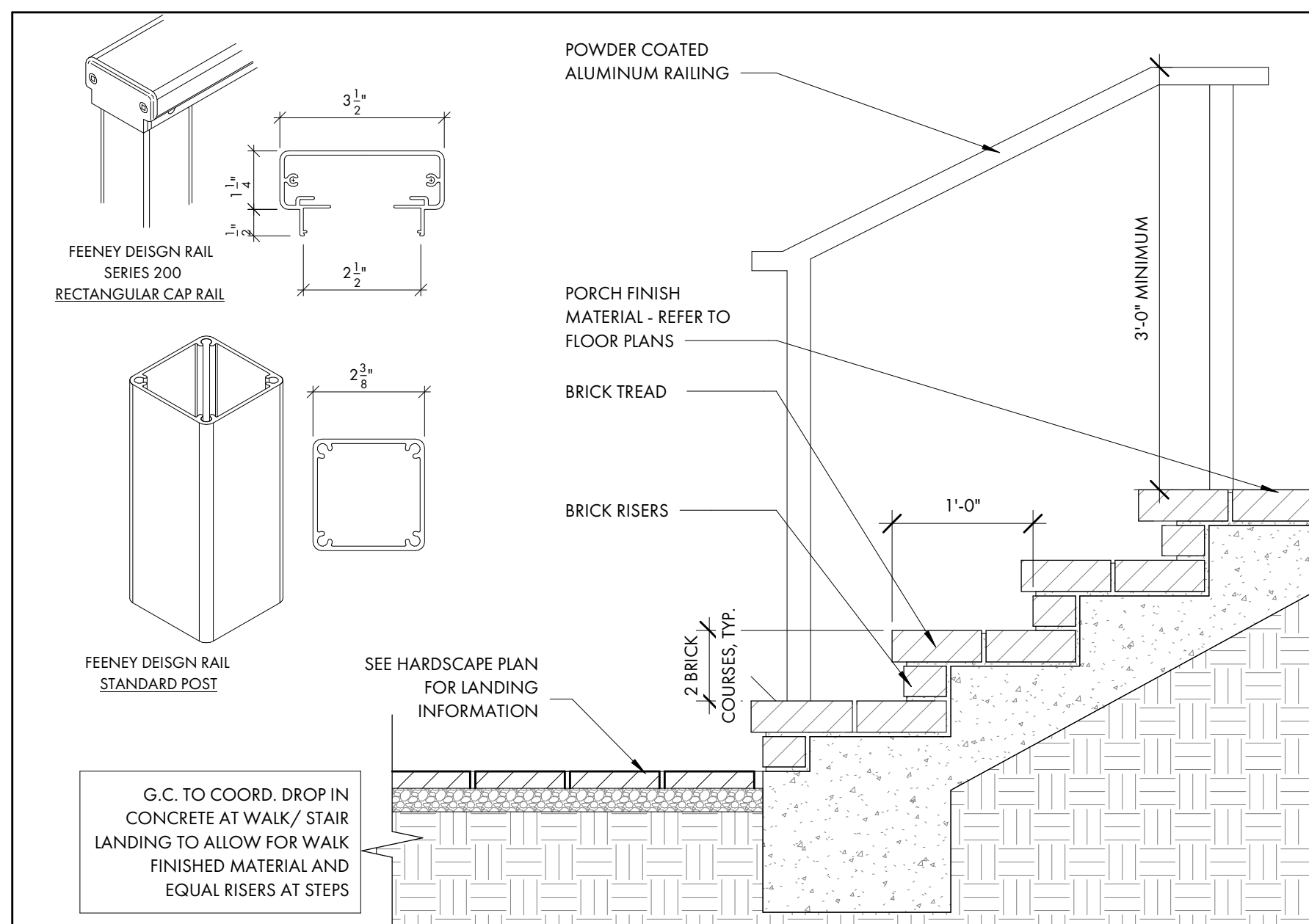
1 WINDOW TRIM DETAIL
A5.2 1" = 1'-0"



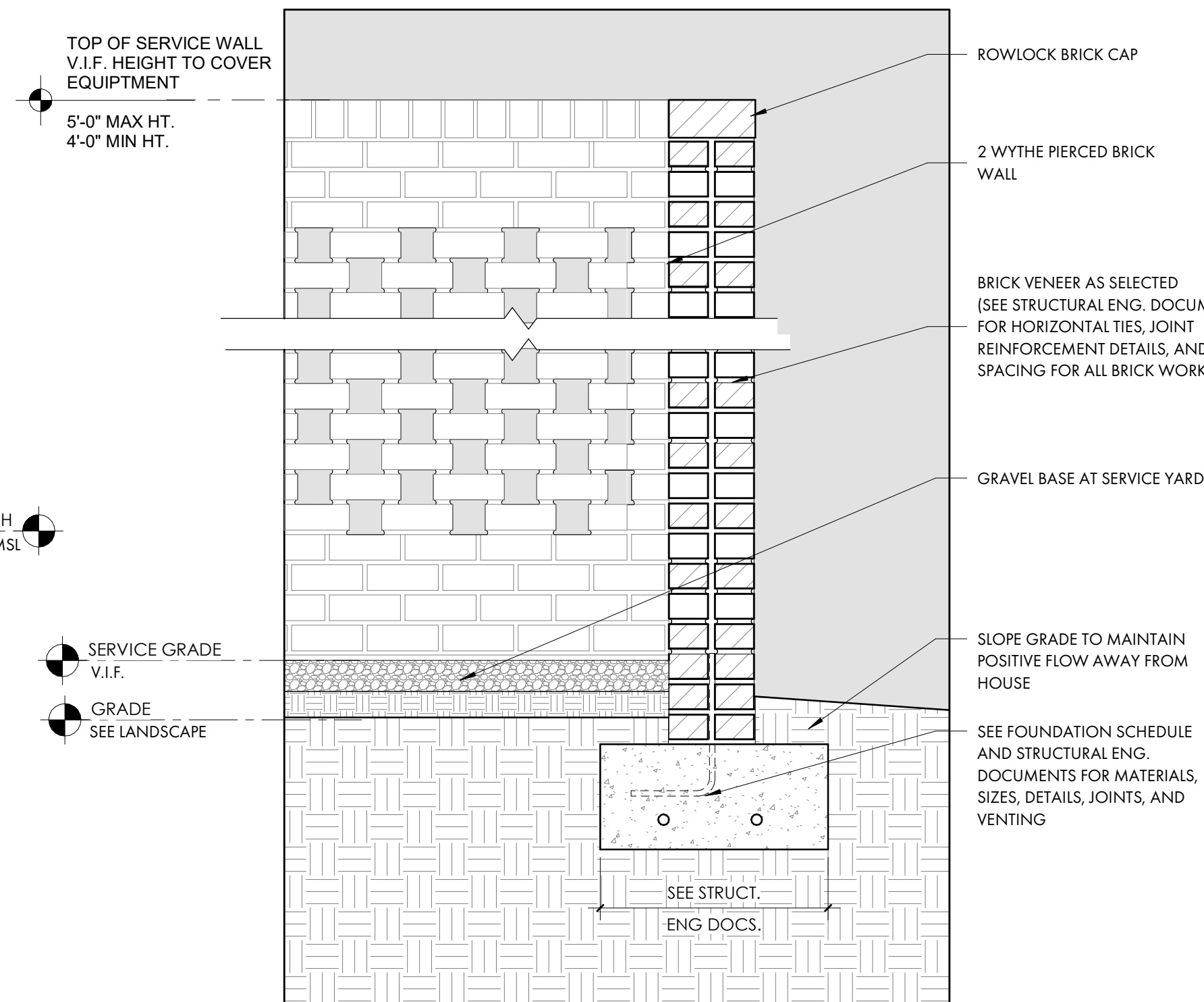
3 TYP. CHIMNEY CAP DETAIL
A5.2 1" = 1'-0"



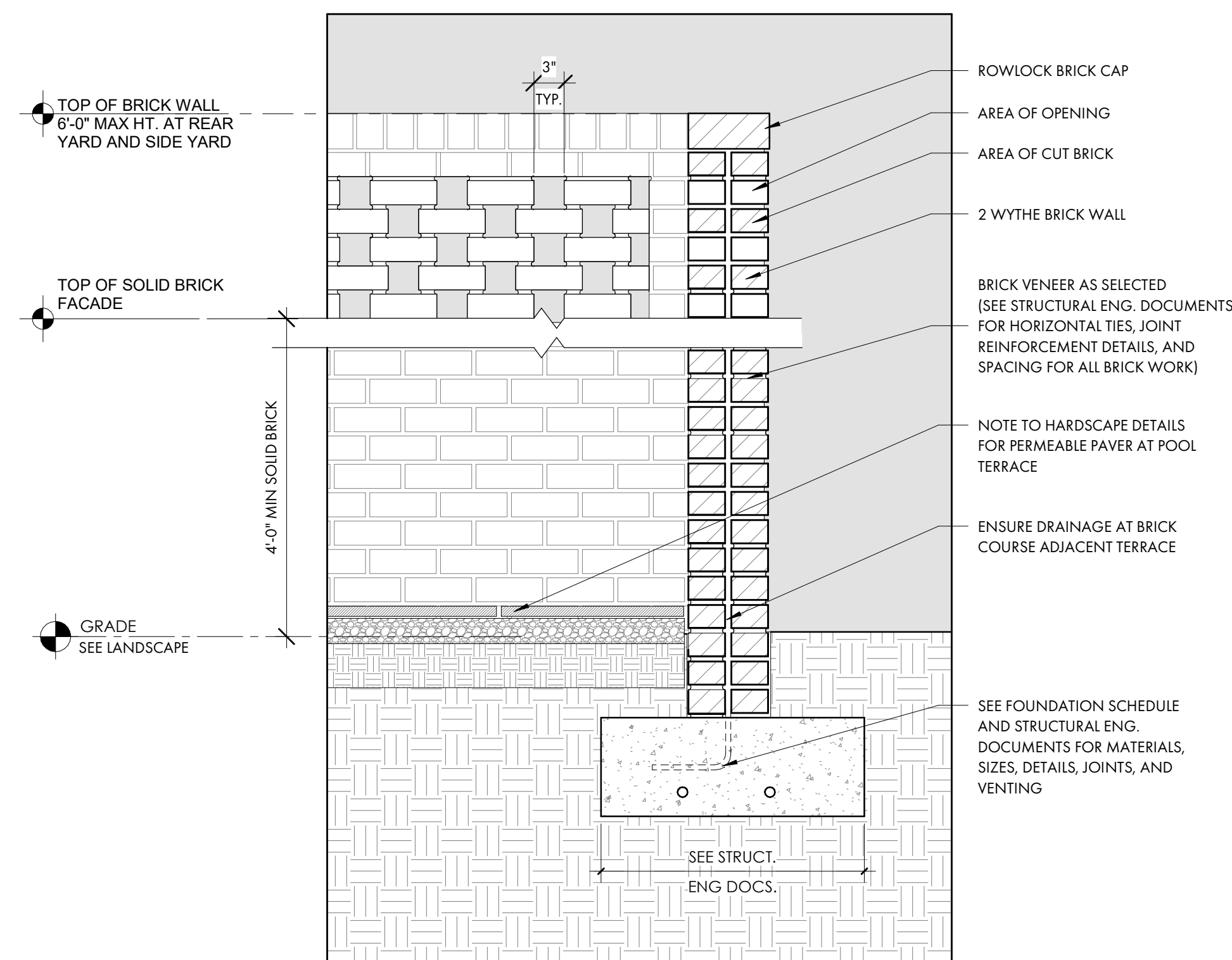
5 TYP. BRICK COLUMN DETAIL
A5.2 1" = 1'-0"



2 TYP. EXTERIOR STAIR DETAIL
A5.2 1" = 1'-0"



4 PIERCED BRICK WALL AT SERVICE YARD
A5.2 1" = 1'-0"



6 PIERCED BRICK PRIVACY WALL AT POOL TERRACE
A5.2 1" = 1'-0"



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LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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Date
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Project No.
25-072

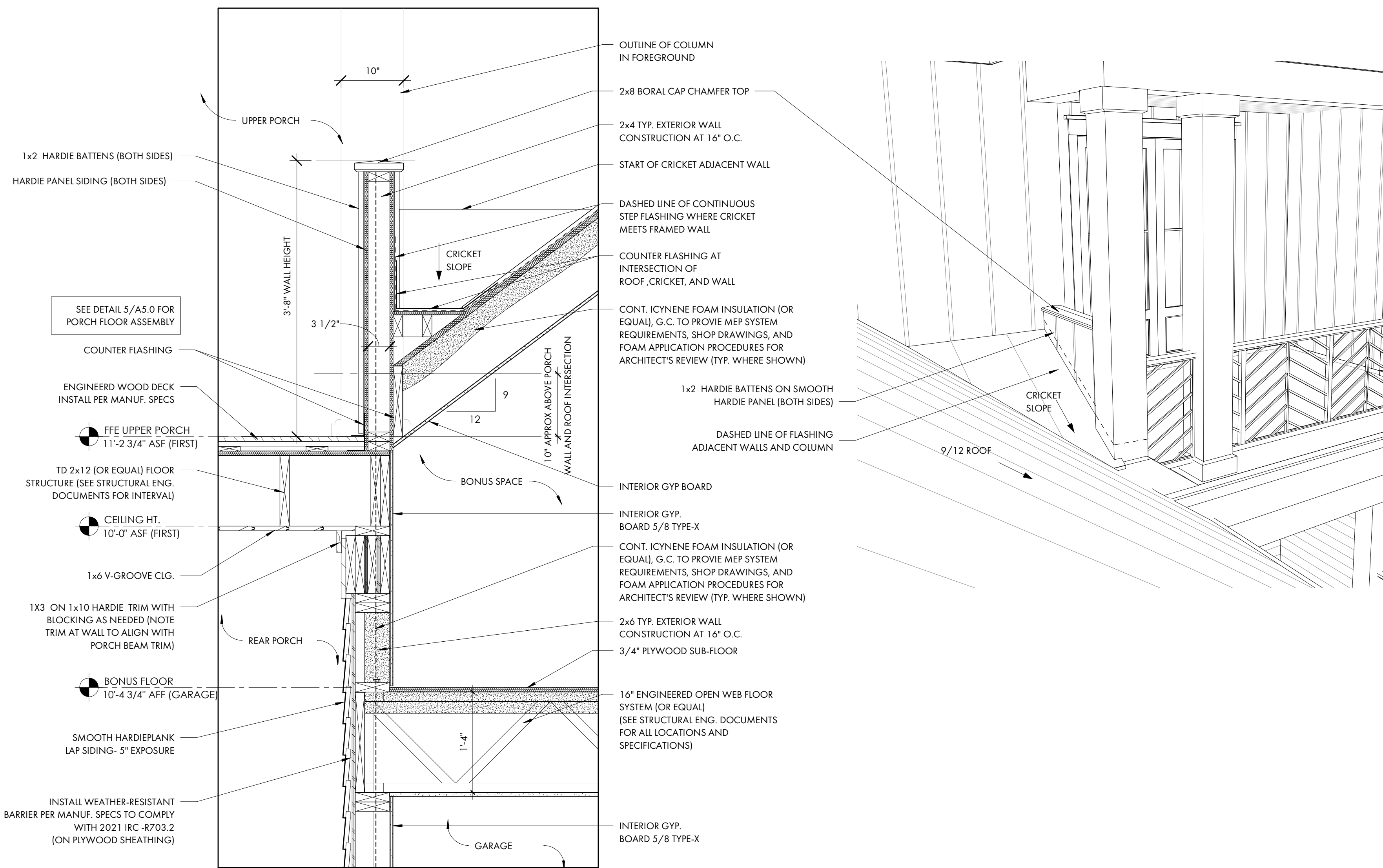
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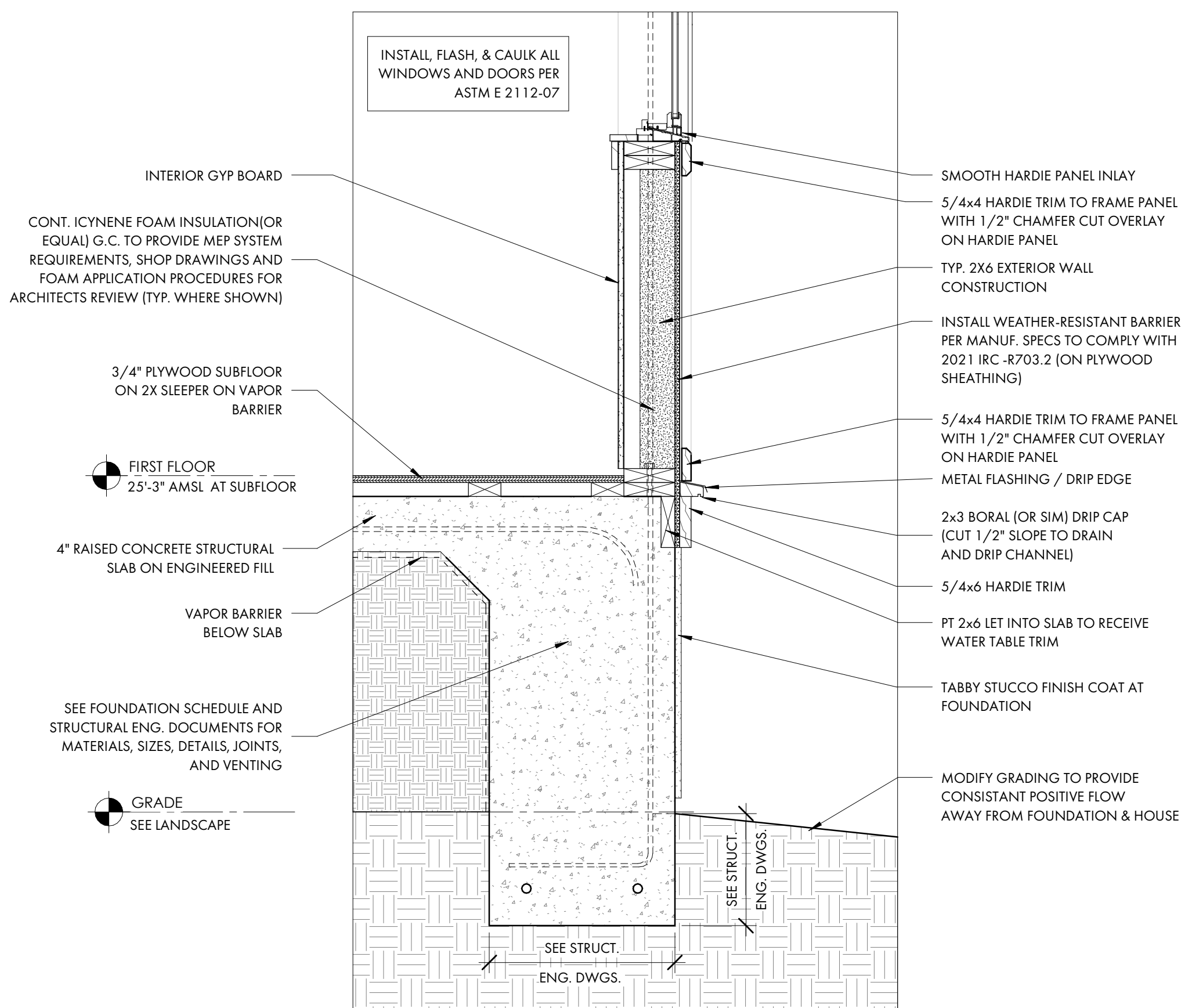
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DETAILS

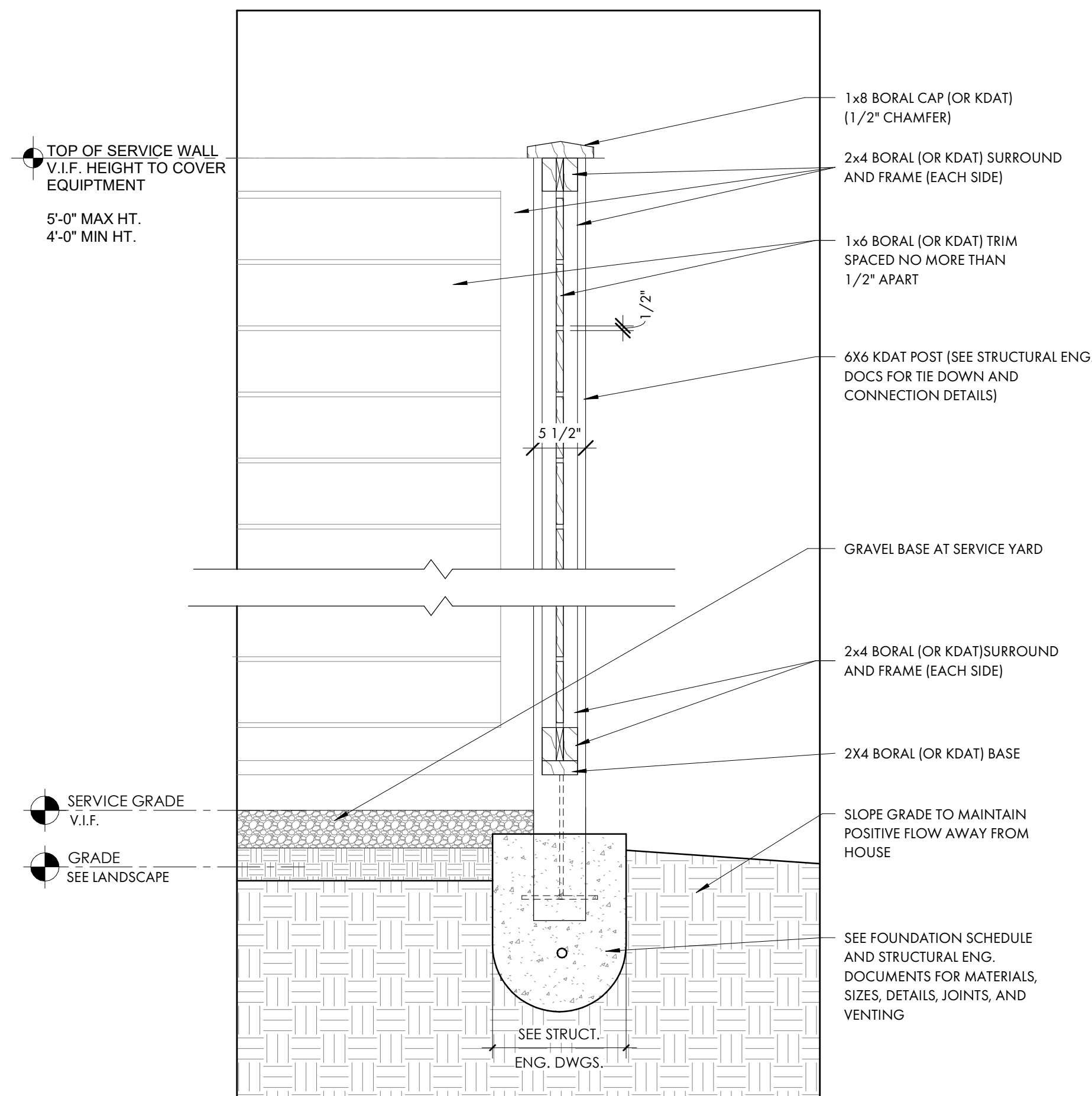
A5.3



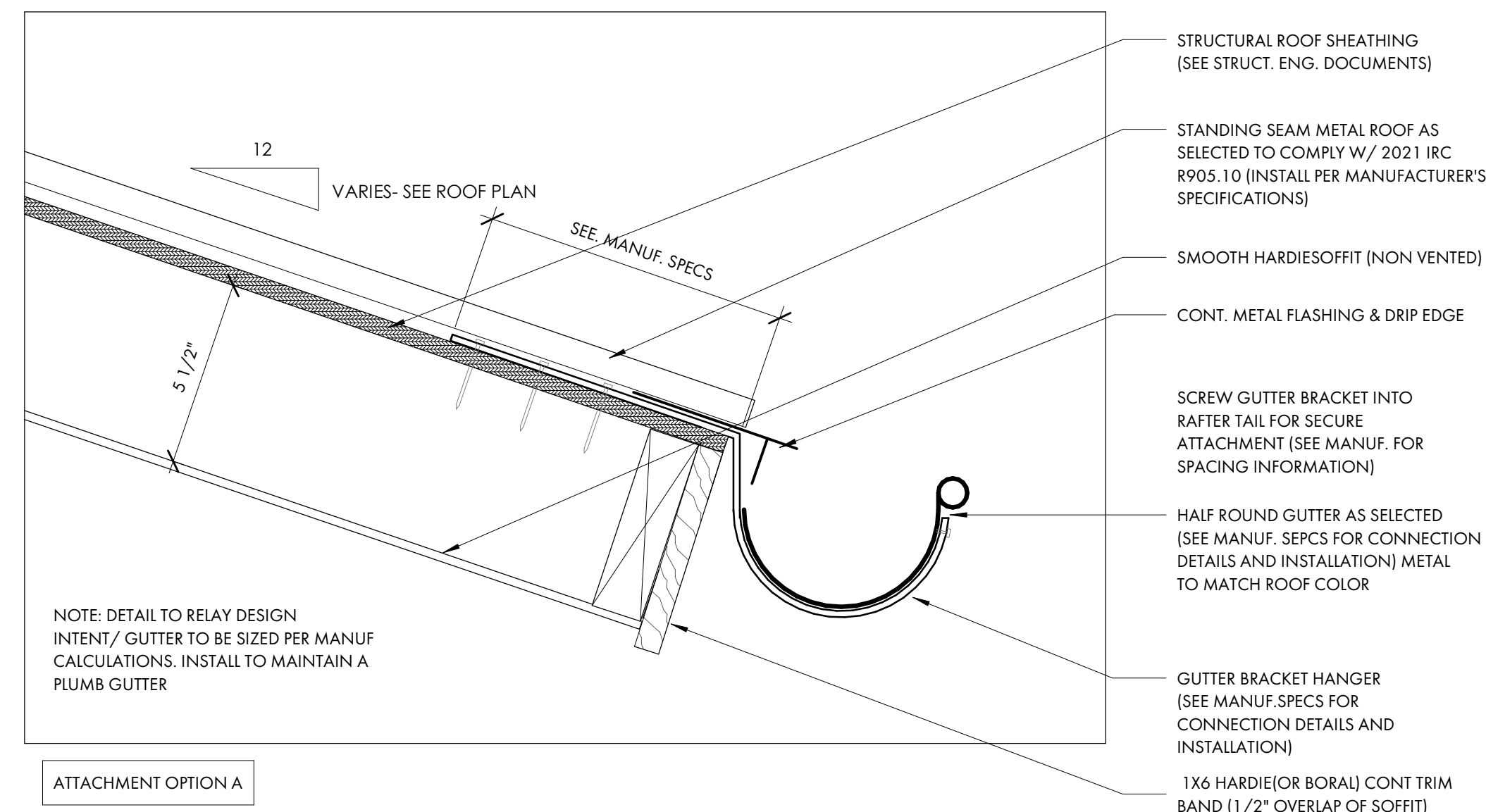
1 KNEE WALL AT UPPER PORCH DETAIL
A5.3 1" = 1'-0"



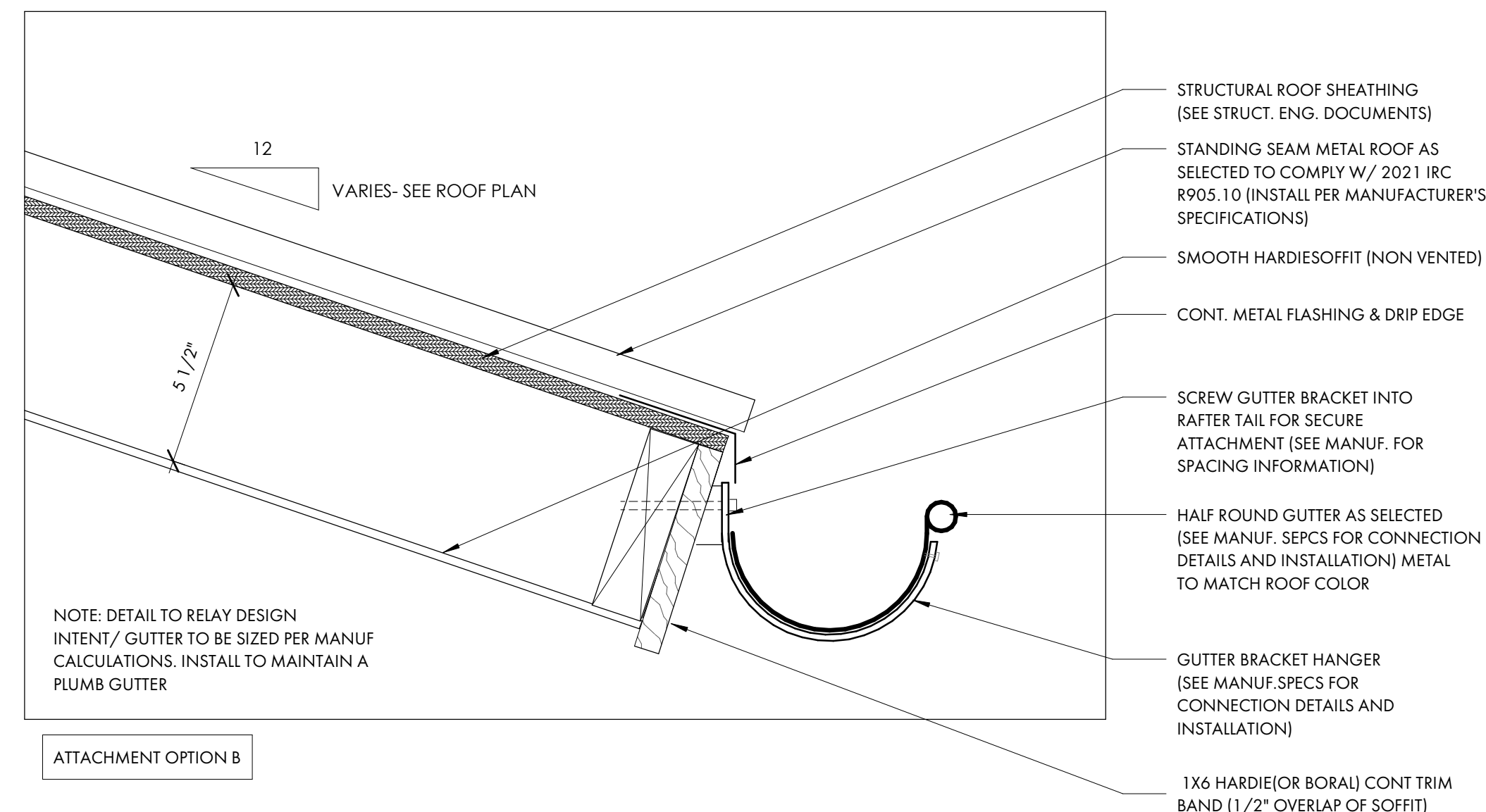
2 TYP. PANEL BELOW WINDOW
A5.3 1" = 1'-0"



3 HOG FENCE AT SERVICE YARD
A5.3 1" = 1'-0"

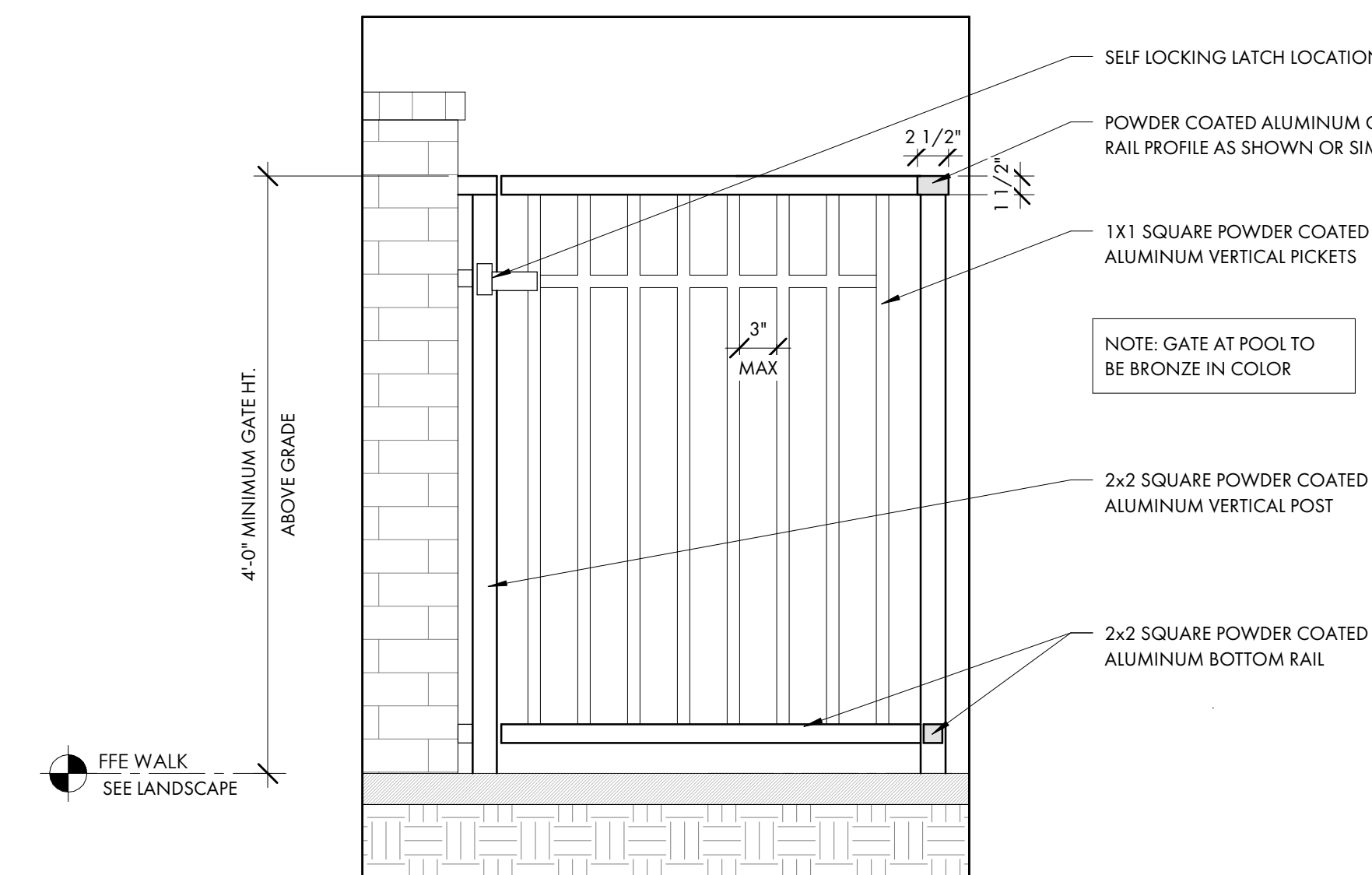


ATTACHMENT OPTION A



ATTACHMENT OPTION B

4 TYP. GUTTER DETAIL
A5.3 3" = 1'-0"



5 GATE AT POOL ENCLOSURE
A5.3 1" = 1'-0"



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LOT 51 - BLUE CRAB PRIVATE
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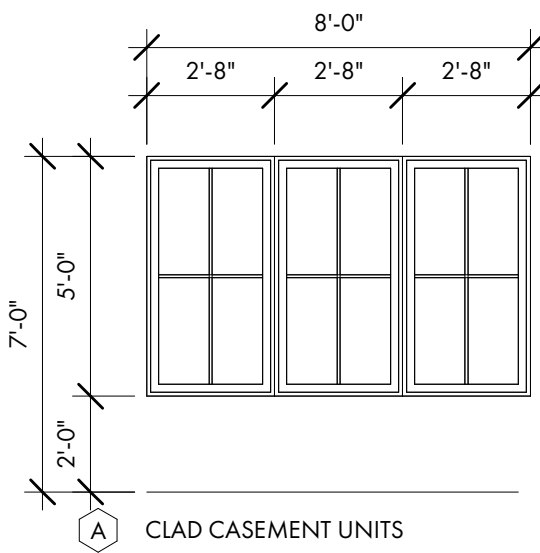
DOOR AND WINDOW
SCHEDULE

A6.0

CAG - WINDOW SCHEDULE						
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30						
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.						
Type Mark	Window Type	Description	Frame Opening		Head Height	Comments
			Frame Width	Frame Height		
A	CLAD CASEMENT UNITS	(3) 2'-8" x 5'-0"	8'-0"	5'-0"	7'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
B	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
C	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E	CLAD CASEMENT UNIT	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
F	CLAD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
G	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

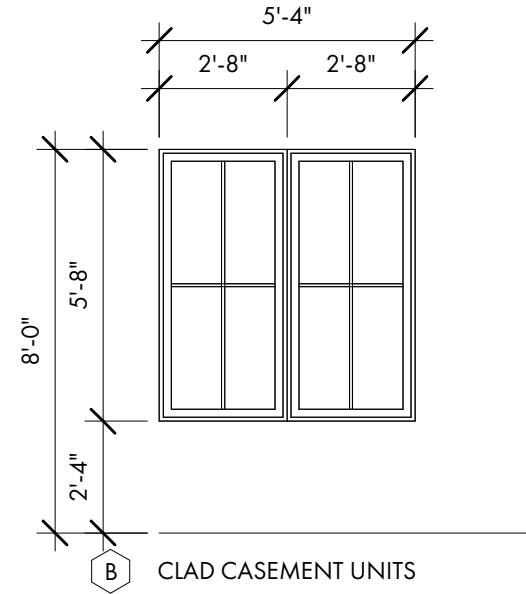
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



CLAD CASEMENT UNITS

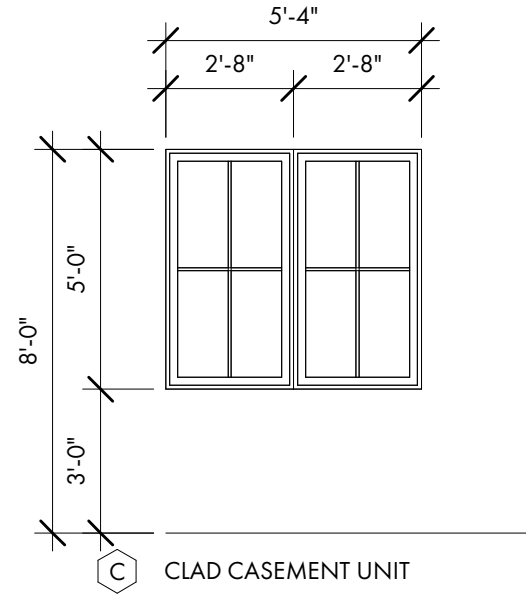
(3) 2'-8" x 5'-0" (R.O. ± 8'-0" x 5'-0")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BONUS ROOM



CLAD CASEMENT UNITS

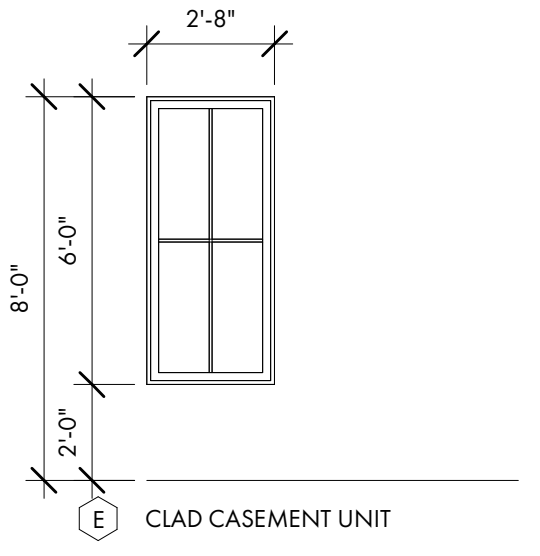
(2) 2'-8" x 5'-8" (R.O. ± 5'-4" x 5'-8")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT



CLAD CASEMENT UNIT

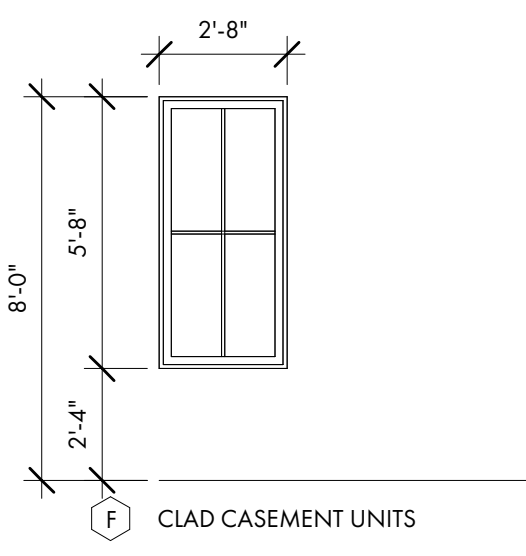
(2) 2'-8" x 5'-0" (R.O. ± 5'-4" x 5'-0")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

NOT USED



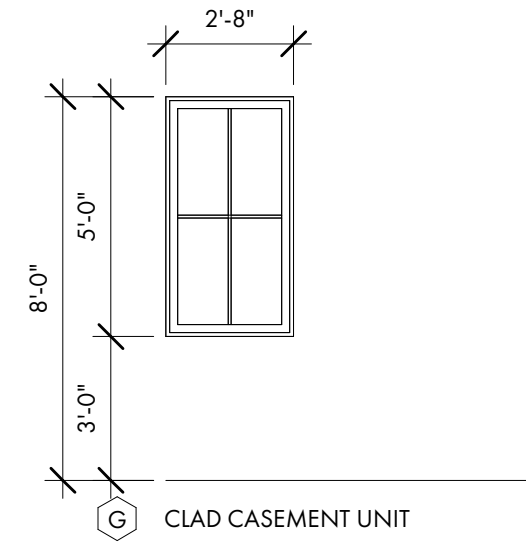
CLAD CASEMENT UNIT

2'-8" x 6'-0" (R.O. ±)
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT



CLAD CASEMENT UNITS

2'-8" x 5'-8" (R.O. ±)
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT



CLAD CASEMENT UNIT

2'-8" x 5'-0" (R.O. ±)
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

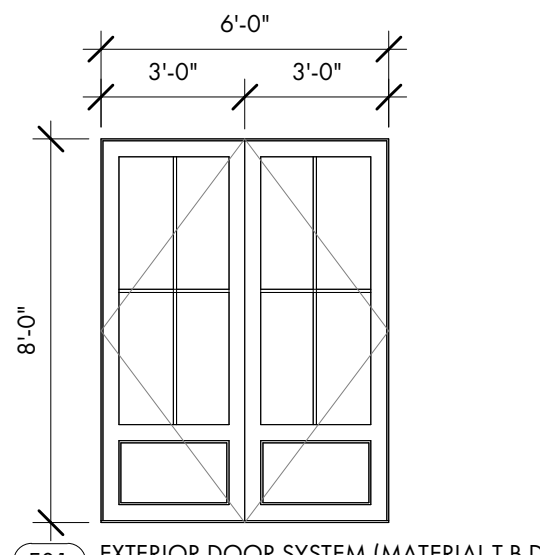
EGRESS AT BEDROOMS #3 AND #4

CAG - DOOR SCHEDULE - EXT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
E01	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E02	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E03	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E04	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E05	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"				
E06	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E07	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E08	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			
E09	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			
E10	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			
I1	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I2	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I3	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			
I4	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I5	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I7	INTERIOR DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			
I8	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I9	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I20	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			
I21	INTERIOR DOUBLE DOOR	(2) 2'-0" x 7'-0"	4'-0"	7'-0"	7'-0"	1 3/4"			
I22	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I23	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			
I24	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I25	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I26	INTERIOR DOUBLE POCKET DOOR	(2) 2'-4" x 8'-0"	4'-8"	8'-0"	8'-0"	1 3/4"			
I27	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			
I28	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I29	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			
I30	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			
I31	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			
I32	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			
I33	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

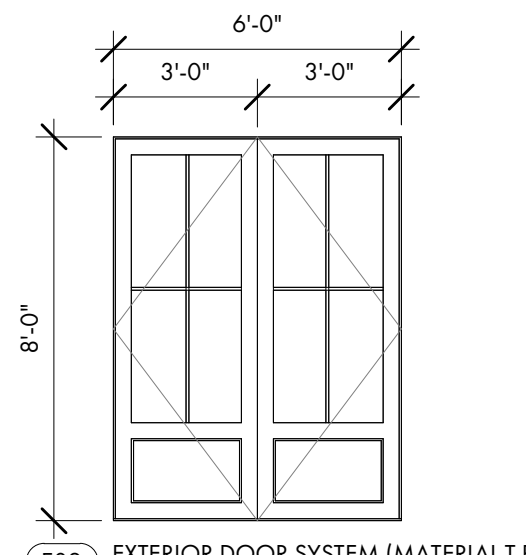
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



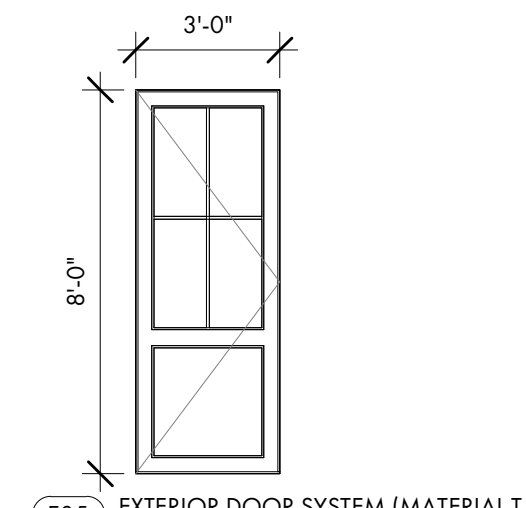
EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
INSWING DOOR
(2) 3'-0" x 8'-0" (R.O. ± 7'-0" x 8'-0")
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS



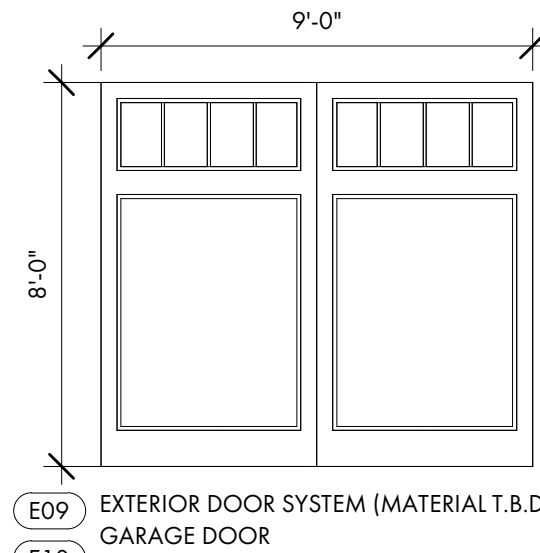
EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR
(2) 3'-0" x 8'-0" (R.O. ± 6'-0" x 8'-0")
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS

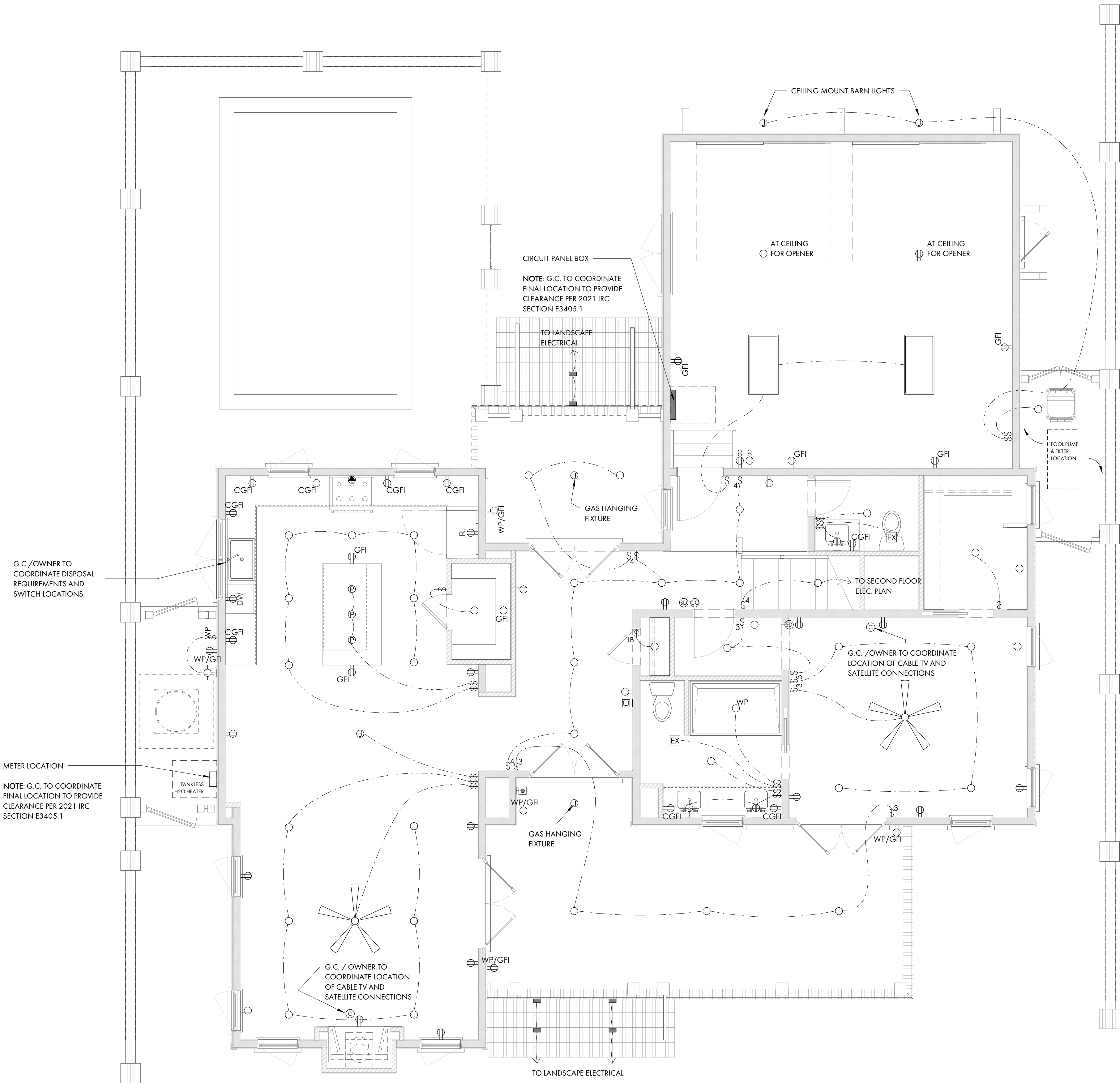


EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR
3'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS



EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR
9'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT



ELECTRICAL PLAN - SYMBOL KEY

- | | | | |
|--|---------------------------------|-----|--|
| | DUPLEX RECEPTACLE | 1. | COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER |
| | GFI RECEPTACLE | 2. | VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD. |
| | COUNTERTOP LEVEL GFI RECEPTACLE | 3. | ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED. |
| | GFI IN WATERPROOF BOX | 4. | GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD. |
| | UNDER-COUNTER RECEPTACLE | 5. | ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL |
| | SWITCH DUPLEX RECEPTACLE | 6. | ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED. |
| | 220V RECEPTACLE | 7. | ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE. |
| | FLOOR RECEPTACLE | 8. | SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C. |
| | GARAGE DOOR OPENER | 9. | OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS. |
| | SWITCH | 10. | OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS. |
| | 3-WAY SWITCH | 11. | OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS. |
| | 4-WAY SWITCH | 12. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM. |
| | WATERPROOF SWITCH | 13. | OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY. |
| | DIMMER SWITCH | 14. | OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE. |
| | CABLE | 15. | OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING. |
| | SMOKE DETECTOR | 16. | OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS. |
| | CARBON MONOXIDE DETECTOR | 17. | KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES. |
| | RECESSED CAN LIGHT | 18. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX. |
| | DIRECTIONAL CAN LIGHT | 19. | ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6. |
| | WATERPROOF CAN LIGHT | 20. | OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M1305.1.3. |
| | JUNCTION BOX | 21. | OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314. |
| | PENDANT LIGHT | 22. | ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611. |
| | WALL SCONCE | 23. | AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1. |
| | UNDERCABINET LIGHT | | |
| | PIN LIGHT | | |
| | STEP LIGHT | | |
| | EXHAUST FAN | | |
| | DOOR BELL | | |
| | DOOR BELL CHIME | | |
| | 2' X 2' FLUORESCENT | | |
| | 2' X 4' FLUORESCENT | | |
| | CEILING FAN | | |
| | ELECTRIC METER | | |
| | CIRCUIT PANEL BOX | | |



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LOT 51 - BLUE CRAB PRIVATE
RESIDENCE
4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date
12.03.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR ELEC.
PLAN

E2.1



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12.03.2025

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ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SECOND FLOOR ELEC.
PLAN

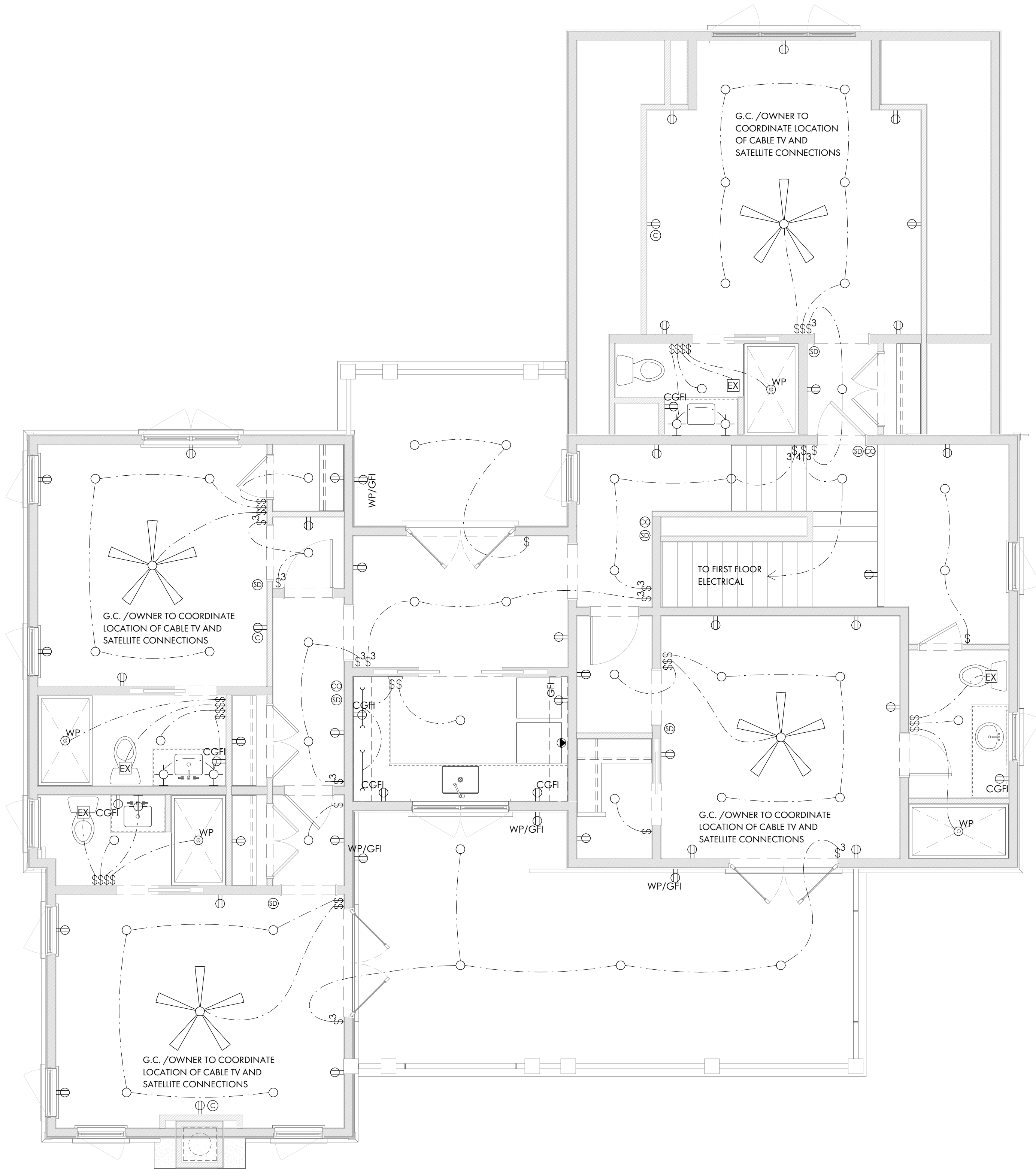
E2.2

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	DIRECTIONAL CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
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	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		
	CIRCUIT PANEL BOX		

NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1

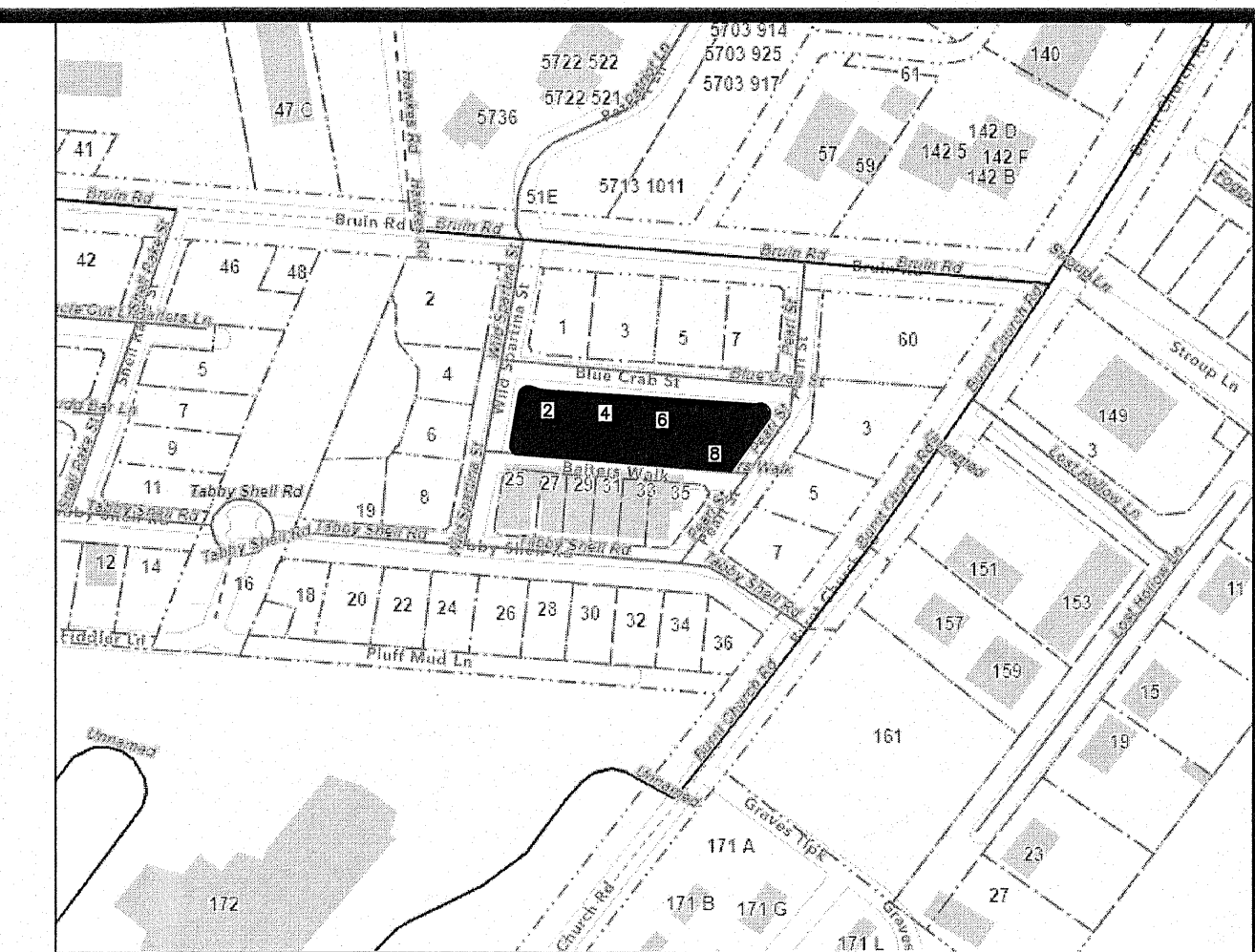
NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1



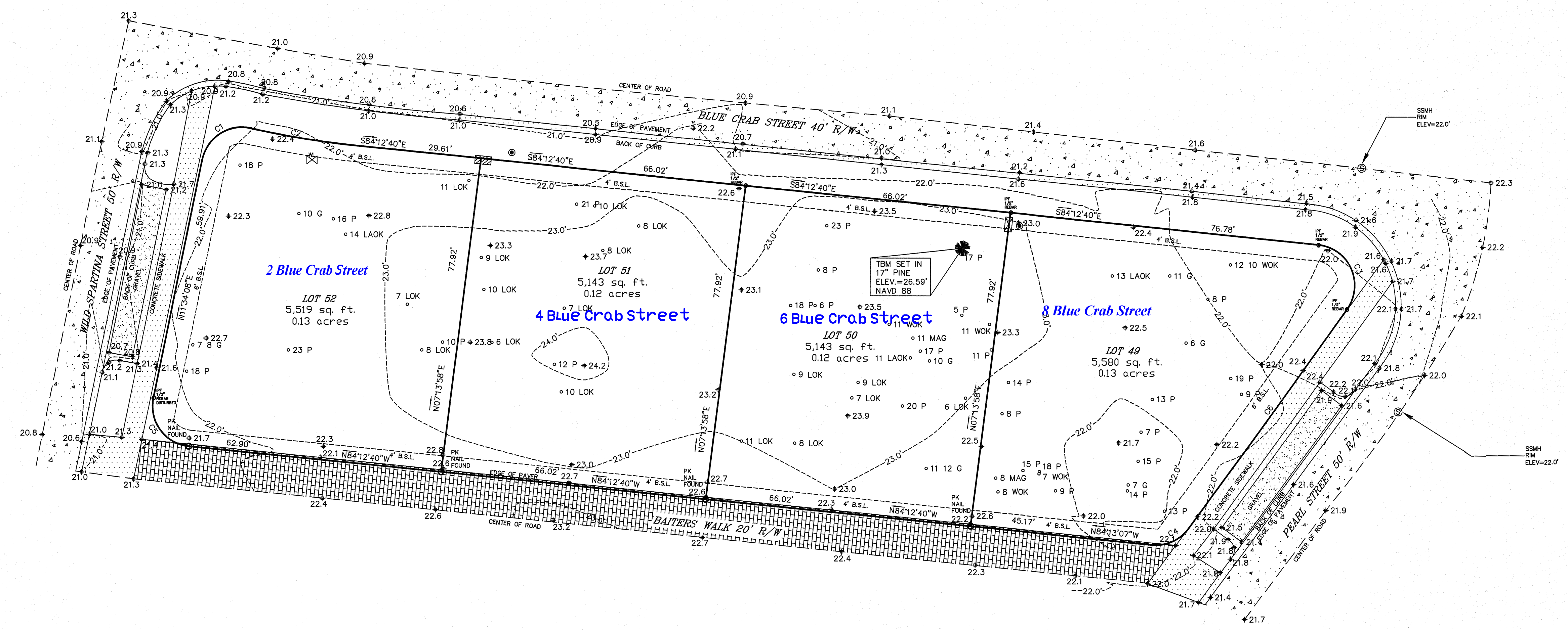


CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"W	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	7°18'38"
C3	20.90	10.00	17.30	N24°19'20"W	118°43'55"
C4	10.39	10.00	9.93	N66°00'43"E	59°32'19"
C5	16.72	10.00	14.84	S36°19'16"E	95°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

- TREE LEGEND
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

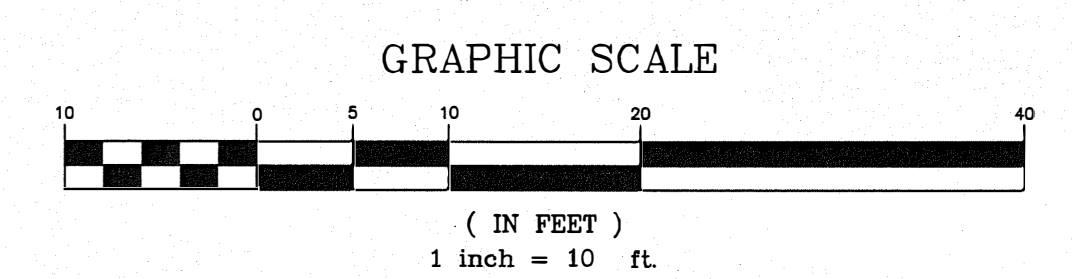


LOCATION MAP NOT TO SCALE



LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/COMMUNICATOR
- ⊗ - SEWER LATERAL
- ⊗ - SANITARY SEWER MANHOLE
- ⊗ - ELECTRIC BOX
- ⊗ - SPOT ELEVATION SHOTS
- ⊗ - CONTOUR LINES
- ⊗ - XFMR - TRANSFORMER
- ⊗ - WATER LATERAL
- ⊗ - WATER METER
- ⊗ - IRRIGATION CONTROL VALVE
- ⊗ - FIRE HYDRANT
- ⊗ - GRATE INLET
- ⊗ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊗ - GUY LINE
- ⊗ - LIGHT POLE
- ⊗ - STORM DRAIN MANHOLE
- ⊗ - FIBEROPTICS MANHOLE
- ⊗ - PROPANE TANK



T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@charleston.com
Phone 843-757-2650 Fax 843-757-5758

JOB No. 22-435TR

STATE OF SOUTH CAROLINA
LAND SURVEYORS
No. 26960
WILLIAM J. SMITH

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

W. J. Smith
WILLIAM J. SMITH, PLS # 26960

STATE OF SOUTH CAROLINA
LAND SURVEYORS
No. 4595
T. SQUARE SURVEYING COMPANY, LLC

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

ED WHITE

A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET, A PORTION OF REEVES BROTHERS SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

Notes:

1. According To FEMA Flood Insurance Rate Map # 45012C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction

Reference Plat(s):
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: JULY 21, 2023

SITE & LANDSCAPE DEVELOPMENT PLANS

Lot 51 Blue Crab Street

Bluffton, SC

SHEET INDEX		
SHEET #	SHEET NAME	
CS	COVER SHEET	
L1	Tree Removal & Tree Protection Plan	
L2	Layout Plan	
L3	Grading, Drainage Plan	
L4	Landscape Plan	
L5	Site & Planting Details & Cut Sheets	
L6	Permeable Paver Details and Cutsheets	
Original Submittal: November 5, 2025		
REVISIONS		
Date	Sheets Affected	Description
12/03/25	L1-L5	Revisions per HARB comments recieved 10/29/25
12/10/25	L4	Updates to Plant Schedule

CS

FINAL LANDSCAPE
DEVELOPMENT PLANS
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC

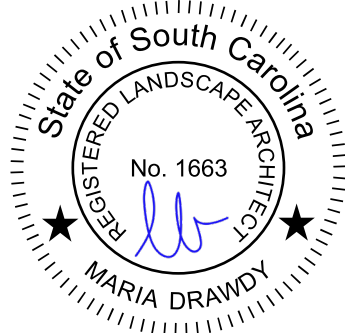
Revised: December 10, 2025



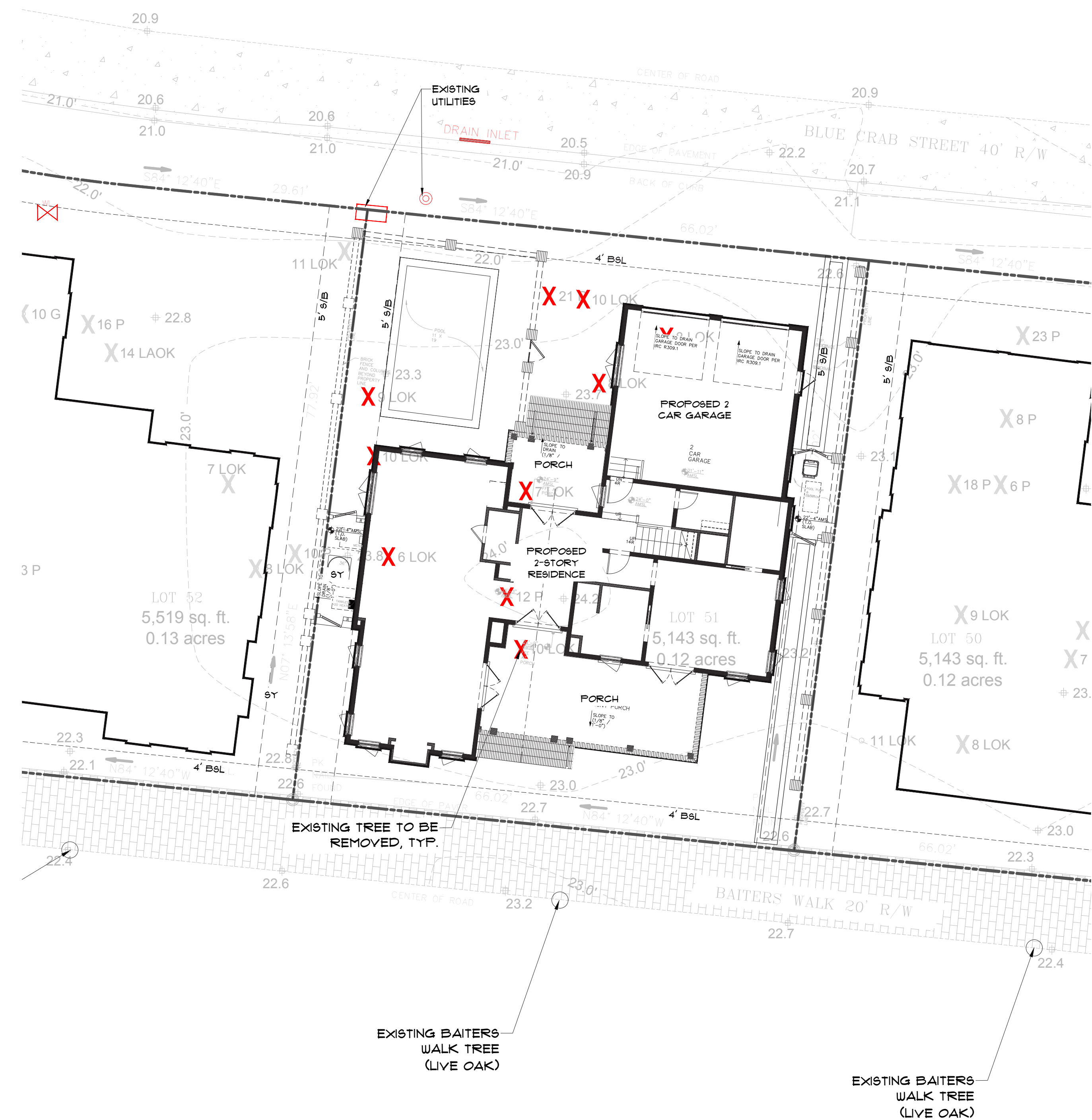
Prepared By:
Maria Drawdy, PLA

MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565

Submittal Documents
Not for Construction

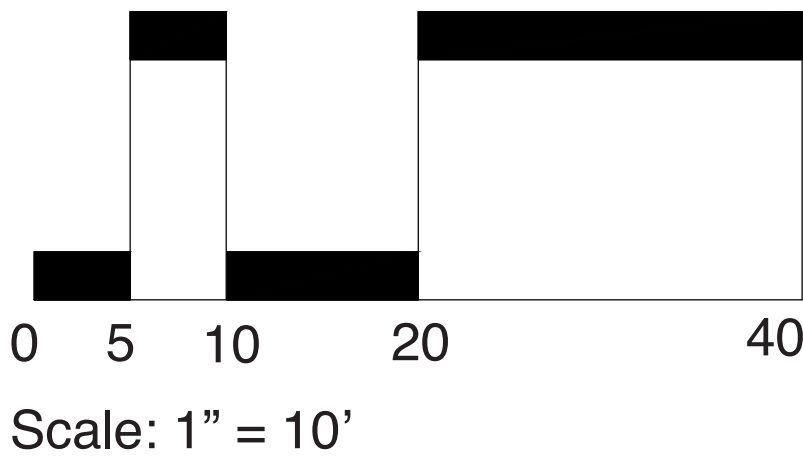
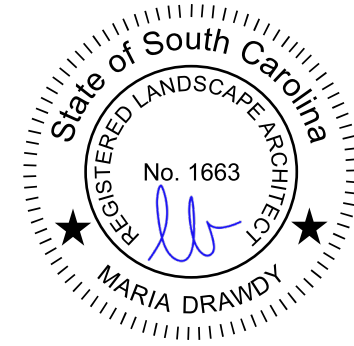


TREE REMOVAL &
TREE PROTECTION
PLAN



LEGEND	
SYMBOL	DESCRIPTION
X	TREES TO BE REMOVED
---	TREE PROTECTION FENCE

Submittal Documents
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Prepared By:
Maria Drawdy, PLA

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L1
FINAL LANDSCAPE
DEVELOPMENT PLANS
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC
Revised: December 10, 2025

SITE & LAYOUT
PLAN



L2

FINAL LANDSCAPE
DEVELOPMENT PLANS
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC

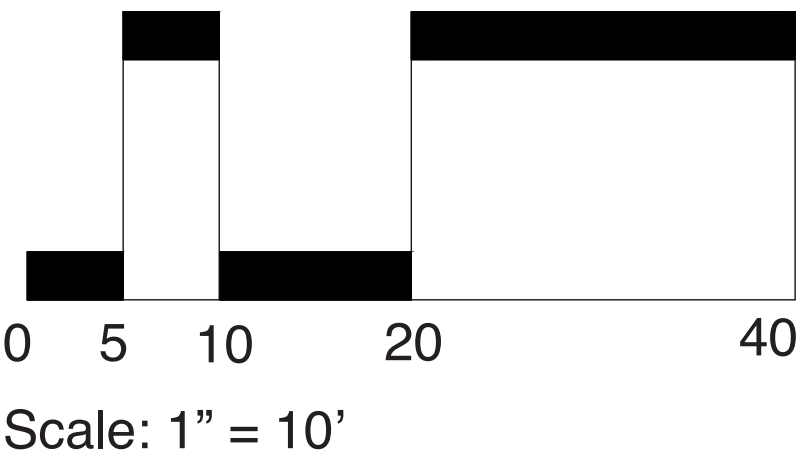
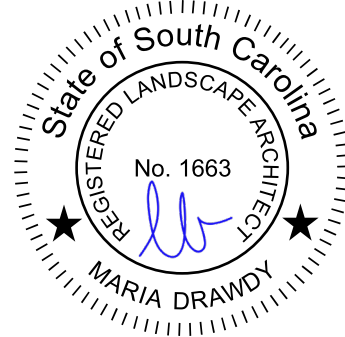
Revised: December 10, 2025



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GRADING &
DRAINAGE PLAN



LEGEND	
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	DRAINAGE ARROW
	PROPOSED SWALE
	PROPOSED SWALE CENTER LINE
	TREES TO BE REMOVED
	FRENCH DRAIN
	AREA DRAIN
	TRENCH DRAIN
	DOWN SPOUT

DRAINAGE NOTES:
1. GRADE SLOPES AWAY FROM BUILDING.
2. INSTALL WALKS/ PATIO WHICH ALLOW FLOW CONSISTENT WITH DRAINAGE PLAN.
3. CONTRACTOR TO INSURE THAT SITE DRAINAGE WILL BE MAINTAINED WITHIN THE PROPERTY BOUNDARIES AND THAT NO DRAINAGE WILL BE DIRECTED ONTO ADJACENT PROPERTIES.

L3

FINAL LANDSCAPE
DEVELOPMENT PLANS
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC

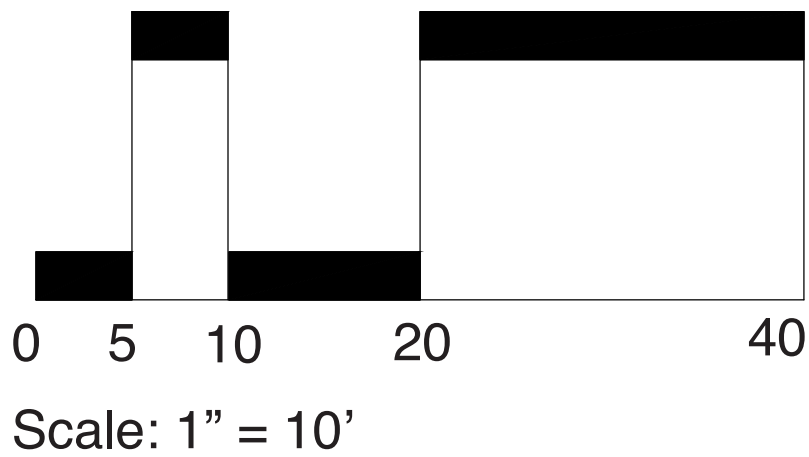
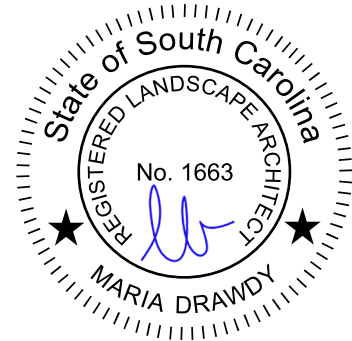
Revised: December 10, 2025



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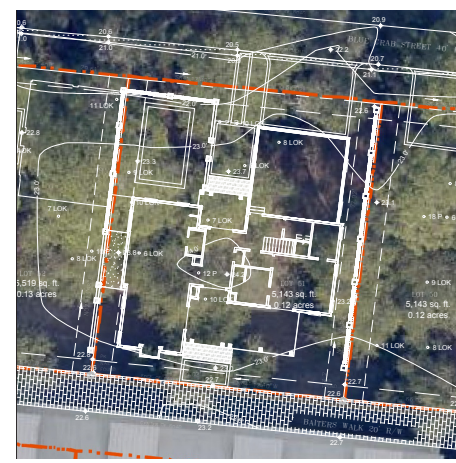
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TREE CANOPY SUMMARY

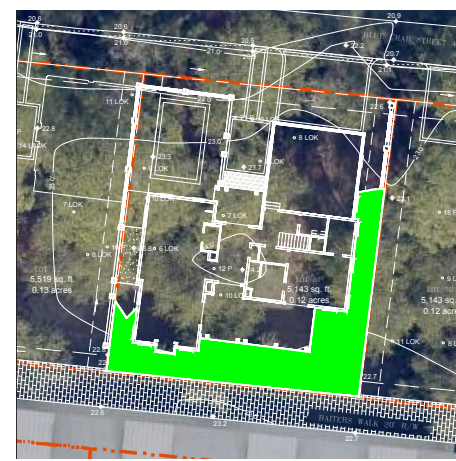
TOTAL LOT ACREAGE: 5,143 SF
TOTAL ROOF SF: +/- 2,546 SF
5,143 - 2,546 = 2,597 SF
2,597 SF X 15% = +/- 1,948 SF
TOTAL REQUIRED TREE CANOPY COVERAGE @ 15% = +/- 1,948 SF
TOTAL EXISTING ON SITE & ADJACENT TREE CANOPY: +/- 1,035 SF
TOTAL PROPOSED TREE CANOPY: +/- 1,311 SF
TOTAL EXISTING & ADJACENT TREE & PROPOSED TREE CANOPY: +/- 2,346 SF

AERIAL IMAGE OF SITE:
5,143 SF



SCALE: 1" = 50'

EXISTING TREE CANOPY:
+/- 1,035 SF



SCALE: 1" = 50'

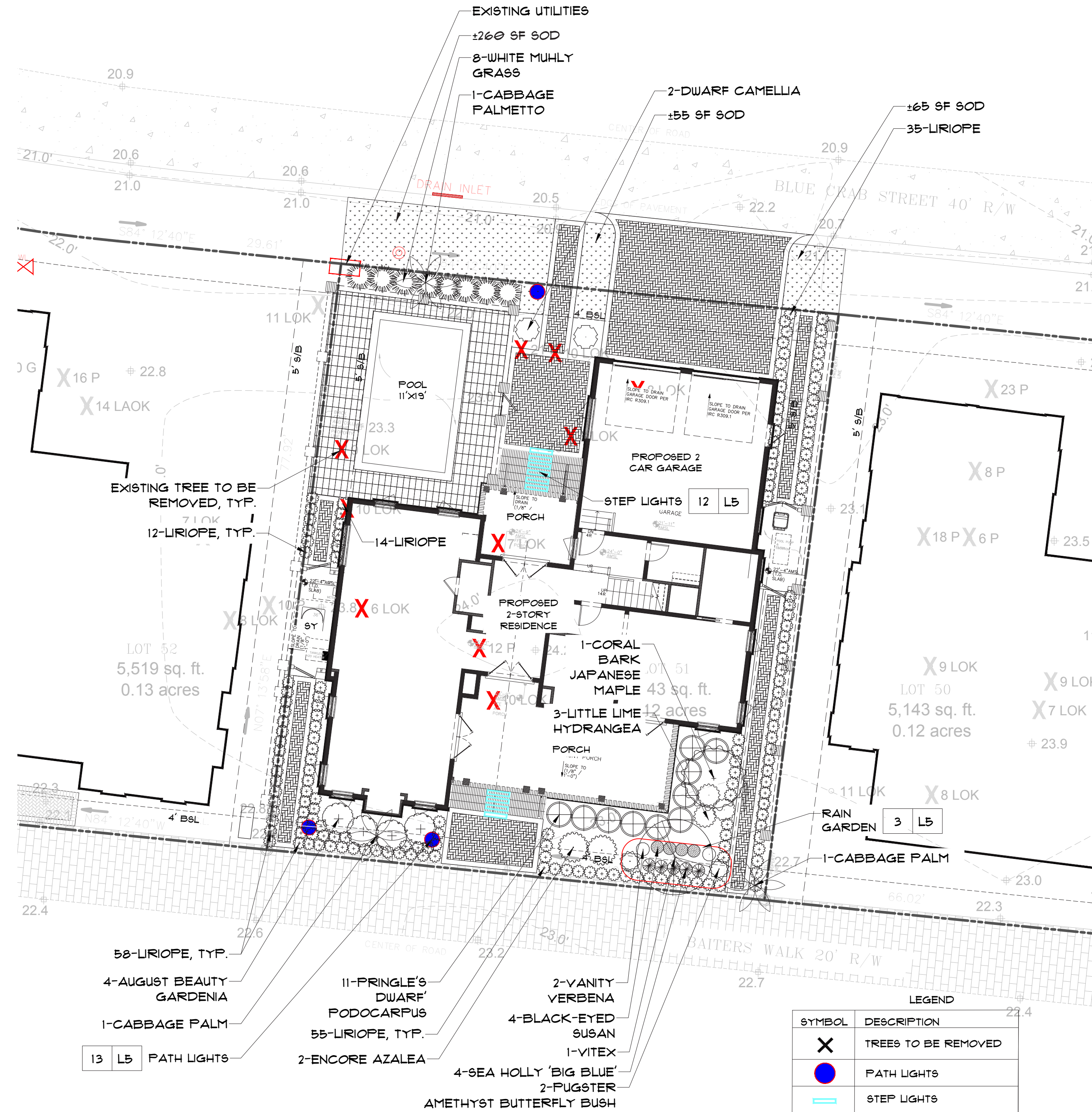
PROPOSED TREE CANOPY:
+/- 1,311 SF



SCALE: 1" = 50'

PLANT SCHEDULE

Quantity	Common Name	Botanical Name	Container	Height	Spread	Caliper	Notes
Tree							
3	Cabbage Palm	Sabal Pametto		8'-10'			Refoliated
1	Coral Bark Japanese Maple	Acer palmatum 'Sango-kaku'	15 gal.				Or similar variety that tolerates afternoon sun
Shrub							
4	August Beauty Gardenia	Gardenia jasminoides 'August Beauty'	7 gal.	3'-3.5'	2'-2.5'		
2	Dwarf Camellia	Camellia sasanqua 'Green 02-004' PP27553					White Flowering
4	Encore Azalea	Rhododendron Encore	7 gal.	2'-2.5'	2'		White Flowering
4	Little Lime Hydrangea	Hydrangea paniculata 'Little Lime'	3 gal.	1.5'	1.5'		
10	Pringle's Dwarf' Podocarpus	Podocarpus macrophyllus 'Pringle's Dwarf'	7 gal.	2.5'-3'	2.5'		
1	Vitex	Vitex agnus-castus	10 gal.	4'-5'	2'-3'		Standard
Perennials/G-Cover							
3	Black-eyed Susan	Rudbeckia fulgida	1 gal.	1'	1.25'		
160	Liriope	Liriope muscari 'Big Blue'	1 gal.	1'	1.25'		24" O.C.
2	Pugster Amethyst Butterfly Bush	Buddleia x Pugster Amethyst	3 gal.	1.25'	1.25'		
4	Sea Holly 'Big Blue'	Eryngium 'Big Blue'	1 gal.	8"	6"		
3	Vanity Verbena	Verbena bonariensis Vanity	1 gal.	18"	12"		
8	White Muhlygrass	Muhlenbergia capillaris	3 gal.	3.25'	2.5'		
325 SF +/-	Palmetto St. Augustine Grass	Palmetto St. Augustine					
1,000 SF +/-	Pinestraw Mulch	Pinestraw Mulch in Disturbed Areas					



LANDSCAPE PLAN

PLANT IMAGERY



AUGUST BEAUTY GARDENIA



BLACK-EYED SUSAN



CABBAGE PALM



CORAL BARK JAPANESE MAPLE



ENCORE AZALEA



LIRIOPE



LITTLE LIME HYDRANGEA



LIVE OAK



FRINGLE'S DWARF PODOCARPUS



PUGSTER AMETHYST BUTTERFLY BUSH



SEA HOLLY 'BIG BLUE'



VANITY VERBENA



VITEX



WHITE MUHLYGRASS



WILL FLEMING YAUPON HOLLY (MALE)



L4

FINAL LANDSCAPE DEVELOPMENT PLANS

For

Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC

Revised: December 10, 2025



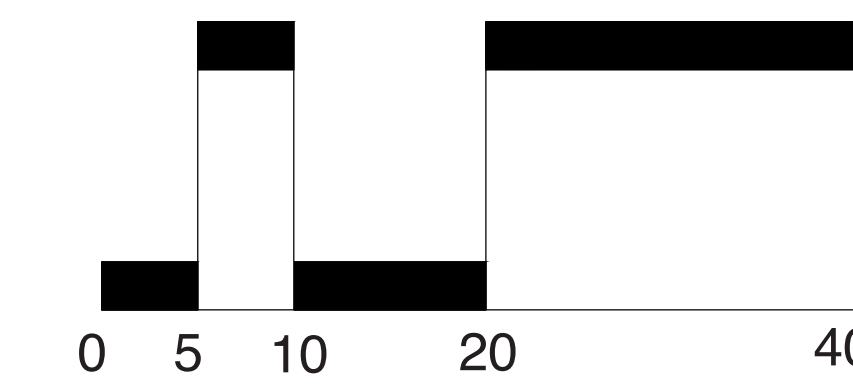
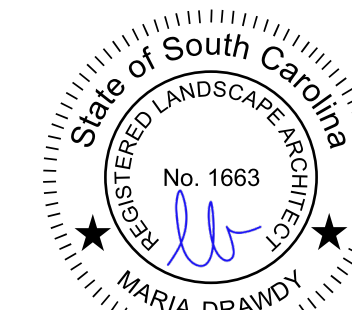
Prepared By:
Maria Drawdy, PLA

MARIA GHYS DESIGNS LLC

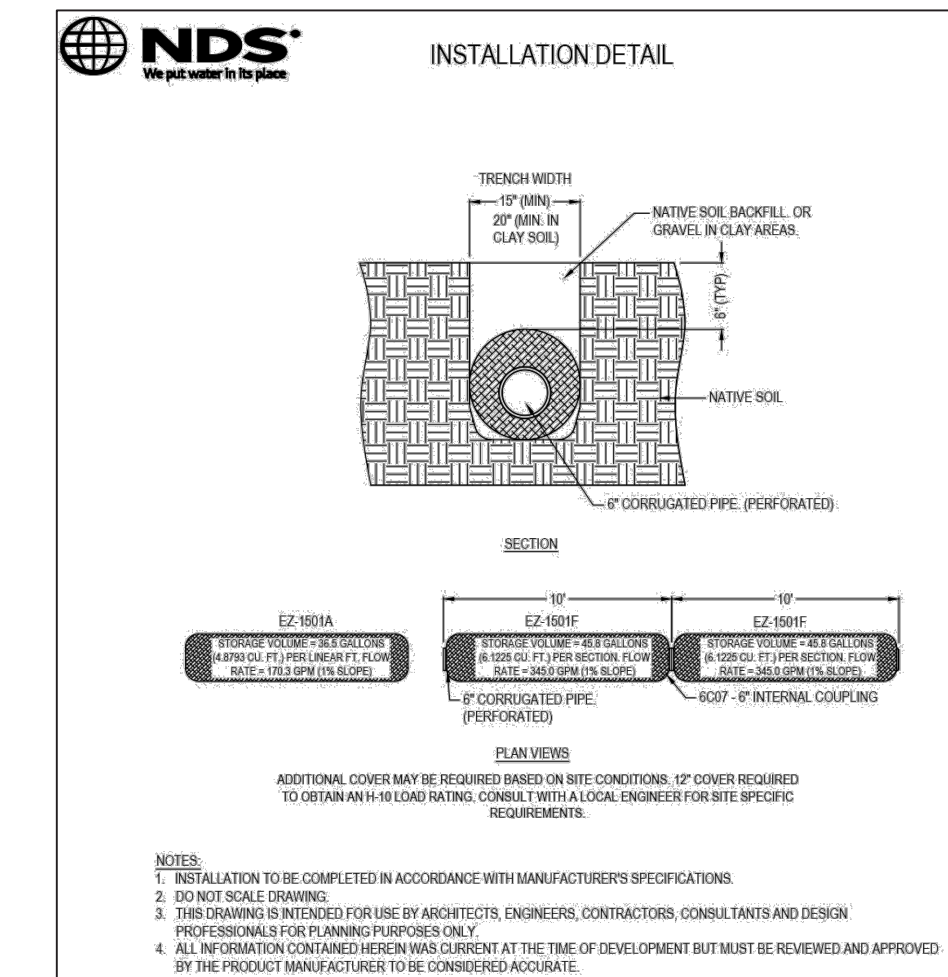
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Scale: 1" = 10'

[illegible]

A cross-sectional diagram of a square catch basin. The basin is square with a top width of 12 3/8" SQ. WIDTH and a depth of 12 1/2" DEPTH. It features a top flange labeled 'GUESS NO. 4'. The basin is surrounded by a layer of gravel, with a label 'NO. 1 SQUARE GRATE WITH' pointing to it. Below the gravel is a layer of 'COMPACTED SOIL'. The entire assembly is set in a 'GRAVEL BASE 4" DEEP BELLOW BASIN TO PREVENT STANDING WATER'. A label 'SECTION' points to the cross-section. A note at the bottom right states: 'DRILL 1/8" HOLE TYPICAL OF 4" PLACES & FITS CONDUITS'.

5.12"

4"

(100 MM)

5.31"-9.65"

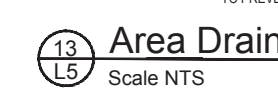
(135 MM-245 MM)

4.84"

(123 MM)

SIDE ELEVATION

SECTION



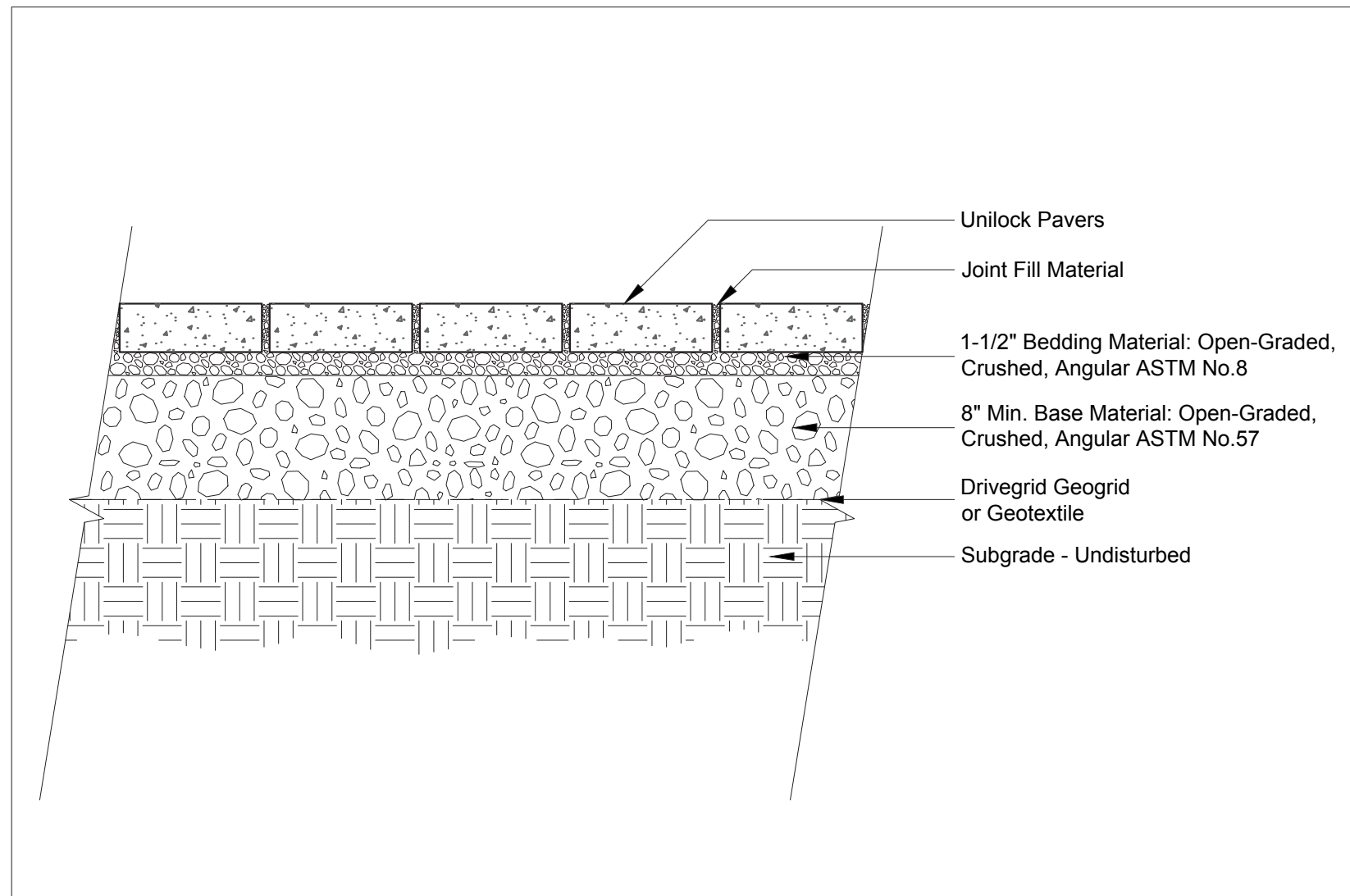
10 Palm Tree Planting
L7 Not to Scale

6 Typical Plant Spacing
L5 Not to Scale

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CROSS SECTION

Permeable Sidewalk (Non-Vehicular)



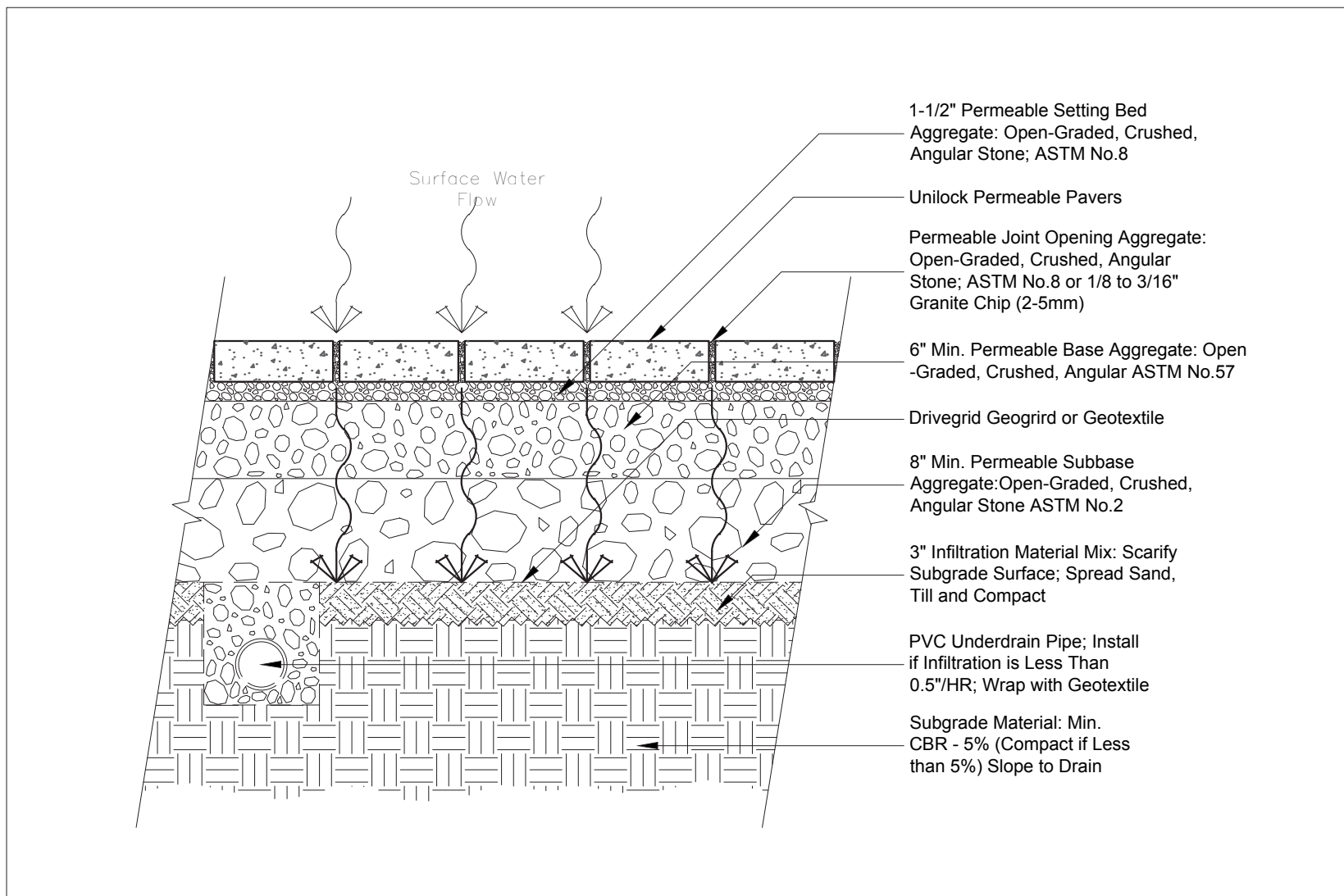
Note:
This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation.

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PAVERS & WALLS

CROSS SECTION

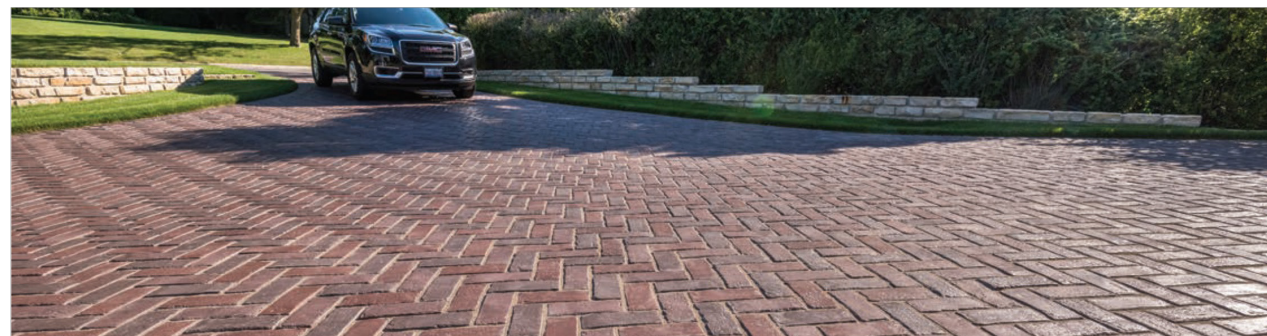
Permeable Driveway (Medium Duty)



Note:
This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation.

UNILOCK.COM | 1-800-UNILOCK

UNILOCK®
PAVERS & WALLS



Bundle Type		SINGLE
Thickness (mm)		70MM
Dimension mm		100mm x 250mm x 70mm
Dimension Imperial		3 7/8" x 9 7/8" x 2 3/4"
SQFT PER	Bundle	86.41
	Layer	11.05000
	Section	-
	Stone	6.28
PER BUNDLE	Layers	8.00
	Sections	-
SOLDIER LINT PER	SqFt	1.19
	Section	-
	Layer	13.12
SAILOR LINT PER	Bundle	194.99
	SqFt	2.97
	Section	-
	Layer	32.81
UNITS PER	Bundle	262.47
	SqFt	3.62
LBS PER	Section	-
	Bundle	320.00
LBS PER	Layer	361
	Section	-
	Bundle	2,888



STANDARD
89 x 39 x 29
250 x 100 x 70mm

ADVANTAGES

PERMEABLE
Can be installed to allow water to flow through
REALTA®
Cast from historic brick
ULTIMA®
Up to 4x stronger than poured-in-place concrete
DRIVE FRIENDLY
Can handle vehicular loads

Note: **SOLD IN FULL BUNDLES ONLY** and is produced and sold on a regional, renewable basis. **Important:** A uniform color paver must be used to prevent scaling when comparing for permeable installations. Unilock recommends using granite chips for joint fill. For traditional applications, please refer to the Polymer Joint Bed Products and Important Notice on the Product Data Guide. All measurements are nominal. Contact Unilock for more information.

Internal Use Only: TWN-01

UNILOCK

DETAILS & CUT SHEETS

Model: Town Hall 70mm
Color: Heritage 2 Color Blend
Pattern: Herringbone
Size: 3 7/8" x 9 7/8" & 2 3/4"
Manufacturer Info: Unilock
Website: www.unilock.com

Or Approved Equal

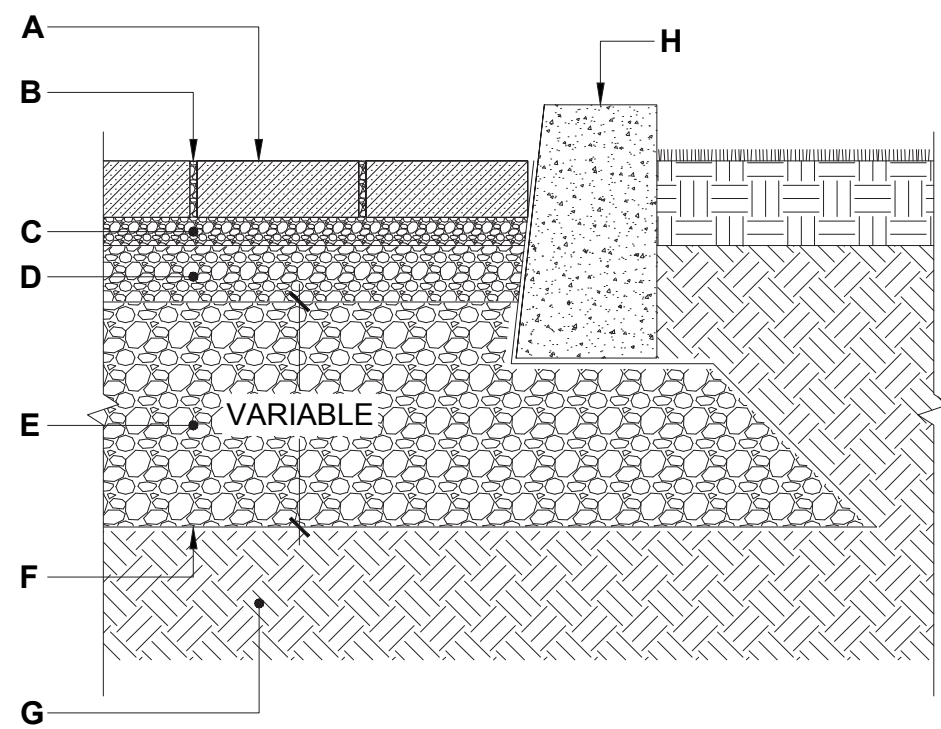
Non Vehicular Permeable Paving
Scale NTS

Medium Duty Permeable Paving
Scale NTS

Non Vehicular & Med. Duty Permeable Paving
Scale NTS

TECHO—BLOC

SEGMENTAL
PERMEABLE PAVEMENT
FULL INFILTRATION



CASE No 1 - FULL INFILTRATION

- A. PERMEABLE PAVER FROM TECO-BLOC
- B. JOINT FILLING MATERIAL
ASTM No 8 (CSA 2.5-10 mm) AGGREGATE
- C. BEDDING COURSE, 1 1/2" TO 2" (40 TO 50 mm)
ASTM No 8 (CSA 2.5-10 mm) AGGREGATE
- D. BASE COURSE, 4" (100 mm)
ASTM No. 57 (CSA 5-28 mm) AGGREGATE
- E. SUBBASE COURSE
ASTM No. 2 (CSA 40-80 mm) AGGREGATE
- F. GEOTEXTILE
- G. SUBGRADE

BLU 60 mm (6" x 13")
DESCRIPTION: Slab TEXTURE: Smooth and HD² Smooth

Pallet Overview

	Imperial	Metric
Product dimension L x W x H	6 1/2 x 13 x 2 1/4	165 x 330 x 60
Cubing	118.06 ft ³	10.78 m ³
Approx. Weight HD ² Smooth	3 138 lbs	1 423 kg
Approx. Weight HD ² Smooth	3 147 lbs	1 427 kg
Number of rows	11	
Coverage per row	10.55 ft ²	0.98 m ²
Lin. coverage per row	Depth 19.5 in. ft	5.94 in. m
	Length 9.75 in. ft	2.97 in. m

Laying Patterns Options

08 | Linear 09 | Linear 10 | Parquet 11 | Herringbone

NOTES

See page 6 for icons description.
See page 16 for more information about applications.
See page 28 to 29 for more technical information. When used in a permeable pavement application, see page 102 to 103 for more technical information.

JOINT WIDTH: 1/16" (1.7 mm)
% OF SURFACE OPENING: 4.0%
INFILTRATION RATE: 570 in./hr (14.475 mm/hr)
*For this application, it is recommended that this product be installed on a concrete base as designed by a local Engineer.

RAFFINATO 14" x 28"
DESCRIPTION: Cap double-sided TEXTURE: Smooth

90 mm

	Imperial	Metric
Product dimension L x W x H	28 x 14 x 3 1/4	711 x 356 x 90
Cubing	24 units	24 units
Approx. Weight	2 783 lbs	1 262 kg
Number of rows	8	
Linear coverage per pallet	56 in. ft	17.07 in. m
Linear coverage per row	7 in. ft	2.13 in. m

60 mm

	Imperial	Metric
Product dimension L x W x H	28 x 14 x 2 1/4	711 x 356 x 60
Cubing	24 units	24 units
Approx. Weight	1 843 lbs	839 kg
Number of rows	8	
Linear coverage per pallet	56 in. ft	17.07 in. m
Linear coverage per row	7 in. ft	2.13 in. m

By placing two units side by side, you will obtain a 28" paver cap.

NOTES

See page 6 for icons description.
See page 16 for more information about applications.
See page 28 to 29 for more technical information. When used in a permeable pavement application, see page 102 to 103 for more technical information.

COMPATIBLE WALLS
See page 282 for product compatibility.

COMPATIBLE PILLARS
Mini-Crete 2" Architectural, Manchester, Prescott 2.25 x 4.5, Raffinato 60 mm x 160 mm smooth

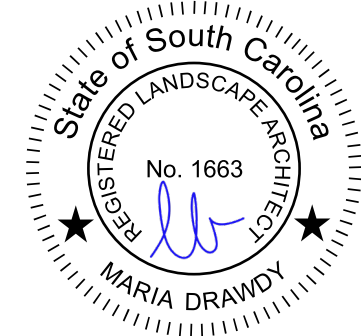
L6

Submittal Documents
Not for Construction

FINAL LANDSCAPE
DEVELOPMENT PLAN
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC

Revised: December 10, 2025



Prepared By:
Maria Drawdy, PLA

MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565

Model: Raffinato 60mm
Finish: Smooth
Color: Champagne Grey
Pattern: Linear
Size: 28" x 14" & 2 3/8"
Manufacturer Info:

December 10, 2025

Town of Bluffton Dept of Growth Management
20 Bridge Street
Bluffton, SC 29910

Cover letter addressing plan review comments for COFA-09-25-019927
Lot 51,4 Blue Crab Road – Tabby Roads

We are writing on behalf of Patrick Mason agent of Blue Crab Bluffton LLC to address HPRC staff comments received on 10.05.2025 and HARB comments received on 12.10.2025 .Please comments listed below with our responses in bold.

Growth Management Dept Review

1. Ownership/Applicant Authorization: The owner is shown as Pat Mason on the application, but Beaufort County records show Blue Crab Bluffton LLC. Update the application to show the correct property owner and provide written and signed authorization that William Court is serving as the agent/applicant.

- **The application has been updated to reflect the correct owner and Patrick Mason as the owner agent. Please see the accompanying letter authorizing William Court as the applicant**

2. Setbacks: Show the front and rear yard setback on the Composite Site Plan and the individual Site Plan.

- **All setbacks are now shown on the site plan and composite site plans**

3. Building Type: “Single Family Residential” is shown as the proposed building type, which is not a building type per the Unified Development Ordinance. Identify the building type, which must be one that is permitted in the NG-HD District (UDO Sec.5.15.5.C.). The specific building types established by district for the Old Town Bluffton are intended to “perpetuate the character that makes Bluffton distinctive” (UDO Sec. 5.15.1.C.). If an Additional Building Type is selected, identify why.

- **We have updated the application to suggest the Center Hall House building type with accompanying narrative identifying why we reference this building type**

4. Carriage House / Square Footage: As Old Town Bluffton is regulated by a form-based development code, the garage/bonus room is a carriage house and must comply with the carriage house building-type requirements of UDO Sec. 5.15.8.F. An attached carriage house “must be clearly incidental to...and distinguished from the principal building form.” Provide the individual square footage (footprint and total) for both the main structure and the carriage house. The carriage house is an ancillary structure, and it should be better differentiated from the main structure (on the eastern elevation, the wall is recessed only one foot from the main structure wall). Related to square footage, explain why the “storage room” on the second floor of the main structure is unconditioned.

- We have provided a narrative to note how the carriage house design complies with the UDO sec 5.15.8.F. We have adjusted architectural detailing and material to help distinguish the carriage house from the main house. Desired program and site limitations prevent additional distance between the house and garage. The second floor storage space is now absorbed in the conditioned space

5. Materials/Dimensions/Operations: In Section 5 of the application (Materials), for each element, provide the required materials, dimensions and operations. This information must also be shown on the architectural plans and be consistent. Some materials are not permitted per the UDO, including borol, powder-coated aluminum and composite. Your narrative, which is required with the Final Plan submission, must provide reasoning why these alternative materials are proposed and how they are the same or better in appearance and performance as permitted materials.

- Please refer to the accompanying project narratives and product cutsheets

6. Photos: Photos were not provided as required for a Concept Plan Review (COFA Application).

- Please see the accompanying site photos and surrounding context

7. On-street Parking: At the pre-application meeting, we discussed removal of the proposed on-street parking spaces. Was the plan not updated, or is it the intent to provide them? The Site Plan (P.02) and Sheet A2.1 do not match.

- We have omitted the on-street parking from the site plans as discussed

8. Screening Wall: A brick wall is shown on the east side of the house, but details are not provided. If the wall extends across property lines, an easement may be necessary that also identifies the party/parties responsible for maintenance. It appears that the wall exceeds the permitted height in the front yard; per UDO Sec. 5.15.6.K., wall height cannot exceed 42 inches and posts can be taller. Is the wall intended to serve as screen for the service yard? Consider moving the service yard farther into the property or in the rear.

- Yes, the brick wall adjacent the service yard is meant to screen the services. We have provided details in relation to the brick wall style and heights. The brick wall locations have been clarified on the site plan to show clearly where the wall and columns lie in relation to the property lines. Please see sheet A3.2 showing brick wall heights and design

9. Foundation Height: The main structure foundation is 2'-0". UDO Sec. 5.15.5.F.1.c. requires residential structure to have a "first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade."

- The foundation height has been adjusted accordingly to raise the finish floor 3ft above the average sidewalk grade

10. Rear Double Porch Detail: Show the interior elevations of the porch that are not visible.

- Please see accompanying building sections on sheet A4.0 and A4.1 showing interior areas of the porches

11. Windows: Fixed windows are not permitted as shown on the left ground floor elevation. Per UDO Sec. 5.15.5.I.3.b. Consider changing this window to match the adjacent kitchen windows.

- **We have changed the referenced windows to casements**
12. Porch Facia: The front and rear porch appear to have two fascia boards with a space in between—it's not clear why. What is the material? Porch ceiling material must be identified.
- **Please see detail sheet A5.0 clarifying the porch fascia details and identity of the porch ceiling material**
13. Second Concept Plan Review: Given the number of comments, a second Concept Plan review will be required.
- **We were able to address many of these design comments and submit back to the HPRC staff for cursory review. We were approved to move forward with final HPC submittal. Please see the attached staff response email dated 10.23.2025**
14. Final Submission: At the time of Final Plan submission, provide a landscape plan showing foundation plantings and 75% tree canopy coverage at maturity (UDO Sec. 5.3.) and architectural details of the railings and balusters, door and window schedules, corner board/pilaster trim detail and sections through the eave and wall depicting the material and dimensions (Applications Manual). A response to all Concept Plan comments must be provided.
- **We are providing landscape plans and tree canopy coverage for this lot and adjacent related lots. Please refer to our A5 sheets for architectural details**

HPRC Review

1. Modify the front porch column spacing to comply with UDO 5.15.6.H.1.a: "Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c")."
- **Columns have been modified to ensure that they are no farther apart than they are tall**
2. The small nib of hipped roof of the front elevation should be eliminated or further extruded into an appropriately scaled element. Consider simplifying the main roof mass so that the fascia matches.
- **We have simplified the main roof mass to omit the "nib" and suggest aligned fascias please see A3 sheets**
3. Review the window muntin designs for consistency. There is a mix of 4-lite and 6-lite windows that do not relate well to each other.
- **We are maintaining a consistent window and door lite pattern on this home and suggesting a 4-lite pattern. Please refer to the attached cover letter dated 12/04 that addressed HARB comments related to design.**
4. Change the lower roof of the garage to a shed roof to match the roof over the man door.
- **This roof has been changed to match**
5. Per UDO 5.15.8.F.: "An attached [carriage house] structure must be clearly incidental to, smaller than, and distinguished from the principal building form." The

garage element is not distinguished from the principal building form. Redesign the carriage house to provide definition between these two forms that is more than just “glueing” the garage onto the rear of the house. The relationship between the carriage house and porch appears haphazard and more consideration is necessary regarding how these two forms interact.

- Due to site limitations and program requirements, we are utilizing varied architectural elements and materiality to better distinguish the carriage house from the main house. Also since adjusting the main house FFE to be 3ft above grade, the carriage house is overall 1ft lower than the main house

HARB final comments

• Per UDO, Shutters must be made from “sturdy wood”. Composite shutters are not permitted. Until an alternative shutter design is submitted and approved this condition shall remain in place.

We are requesting approval from the HPC for composite shutters from the Atlantic shutter company. Should This request be denied, a sturdy wood shutter will be specified.

• If gutters are installed, downspouts should terminate at French drains.

Please see Landscape sheet L3 indicating locations where downspouts terminate into French drains

• On the base of the garage, water table trim matching the main house is required.

We have updated the garage water table detail to suggest a 5/4x6 versus 5/4 x 4 trim band to match the main house. See sheet A5.1

Sincerely,



William Court
Founding Principal
Court Atkins Group, Inc.

Build something great™



Boral **TruExterior®** Trim

PRODUCT & INSTALLATION GUIDE



About Boral®

Boral Bricks



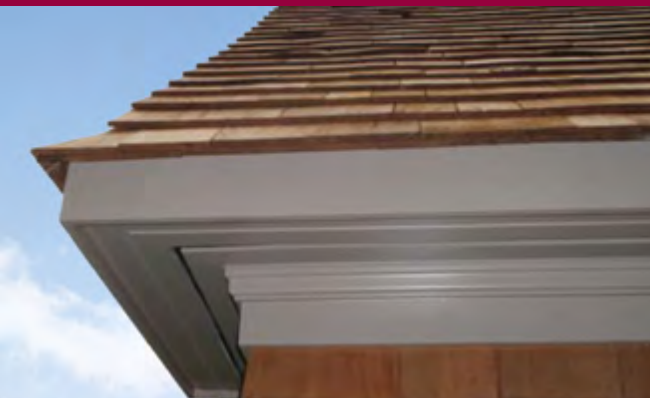
Boral Roofing



Cultured Stone® by Boral®



Boral TruExterior® Trim



Boral Limited

Boral is an international building and construction materials group, headquartered in Sydney, Australia. With annual sales over \$5.0 billion, Boral has roughly 14,000 employees working across over 580 operating sites. Boral produces and distributes a broad range of Construction Materials including quarry products, cement, fly ash, pre-mix concrete and asphalt; and Building Products including clay brick, clay and concrete roof tiles, masonry products, plasterboard, windows and timber. Boral serves customers in the building and construction industries in three key geographical markets - Australia, the USA and Asia.

Boral USA

Headquartered in Roswell, Georgia, Boral USA has been in operation for more than 30 years—with a focus on being a leading manufacturer and supplier of building products and construction materials.

- Boral USA currently holds a variety of leadership positions in the building products and construction materials markets.
- The company is active in categories that show long-term growth opportunities.
- Boral USA is a leading manufacturer and marketer of:


Boral Bricks – #1 brand of clay brick

Boral Roofing – Largest manufacturer of clay & concrete roof tiles in the U.S.

Cultured Stone® by Boral® – #1 brand of manufactured stone veneer

Boral Material Technologies – A leading marketer of fly-ash

Boral Composites - Producer of Boral TruExterior® Trim and other innovative poly-ash products



Boral TruExterior® Trim
has created an entirely
new category of exterior
trim, bringing new levels of
performance, features, and
benefits. It truly is like no other.

A New Category of Exterior Trim

A New Category of Exterior Trim

- The first and only Poly-ash trim product, consisting of a blend of proprietary polymers and coal combustion products (ash).
- Poly-ash composition provides consistency throughout the material with virtually no moisture cycling⁺ or expansion and contraction⁺.
- Developed with years of rigorous internal and 3rd party testing, proven with thousands of installations.
- Composed of more than 70% recycled materials.
- Boral TruExterior® Trim is a product you can trust to provide exceptional performance, superior workability and a lasting appearance for exterior applications.

An Excellent Exterior Trim Alternative

Like Wood, Boral TruExterior® Trim...

- is easy to handle (similar weight)
- is reversible with an authentic wood grain and smooth side
- is easy to cut, rout, drill and fasten
- can be installed with the same tools

Unlike Wood, Boral TruExterior® Trim...

- is a low maintenance product
- has exceptional durability
- is resistant to rotting, cracking, splitting from moisture and virtually free from termites⁺
- offers excellent workability

Unlike most other trim products, Boral TruExterior® Trim...

- maintains a high level of dimensional stability during periods of moisture and temperature change⁺
- is suitable for ground contact
- does not require end-sealing, special adhesives or other cumbersome and costly installation techniques
- can be painted any color
- contains one of the highest levels of recycled content



⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Like No Other

Boral TruExterior® Trim satisfies the exterior trim customer's need for a product that is:

- **Easy to install**
- **Long-lasting, withstanding nature's elements**
- **Competitively priced compared to other products in the marketplace**

Superior Workability

Boral TruExterior® Trim is creating an entirely new category of reliable exterior trim that offers phenomenal performance, remarkable workability, and a lasting look without the limitations that plague other exterior trim products. Plus it can be installed using proven woodworking tools and methods.

Applications

Designed to be used in non-structural applications, Boral TruExterior® Trim is suited for ground contact, which makes it ideal for exterior trim applications such as:

- **Corners**
- **Soffits**
- **Fascia**
- **Batten strips**
- **Frieze boards**
- **Rake boards**
- **Garage door casings**
- **Window surrounds**
- **Door trim**
- **Other non-structural exterior trim applications**



Boral TruExterior® Beadboard



Boral TruExterior® Beadboard

Complimenting the 1x and 5/4 profiles, Boral TruExterior® Beadboard offers the traditional look of wood beadboard without the problems that plague wood products, such as rotting, cupping and twisting. Boral TruExterior® Beadboard can be installed in either parallel, perpendicular, or diagonal directions. And its high level of dimensional stability[†] allows fastening up to 24" on center without the need for additional support backing.

Boral TruExterior® Beadboard is designed for non-structural applications and is ideal for soffits, porch ceilings, decorative wall applications and other moisture-prone areas.



Boral TruExterior® Beadboard Facts

- Maintains high level of dimensional stability[†]
- No need to prime end or field cuts
- Easily accepts paint of any color
- Reversible edge & center bead and V-groove profiles
- Workability exceeds wood beadboard
- Resists rot and termite attacks[†]
- Installs with standard woodworking tools and methods
- No cracking or splitting from moisture
- Accepts a wide variety of fasteners
- Spans up to 24" on center and can be ran parallel to the house for soffit applications
- Made in the USA
- 20-year limited warranty



[†]Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Boral TruExterior® Trim

Available Sizes

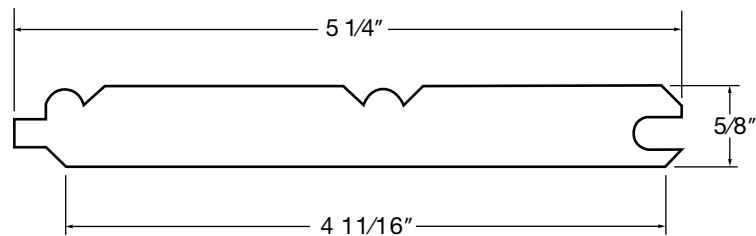
Boral TruExterior® Trim is reversible with wood grain on one side and a smooth finish on the reverse. It comes in 16' lengths and is available in both 4/4 and 5/4 thicknesses (3/4" and 1" actual, respectively).

4/4 Nominal Thickness <i>nominal size</i>	3/4" Actual Thickness <i>actual size</i>	5/4 Nominal Thickness <i>nominal size</i>	1" Actual Thickness <i>actual size</i>	2" Nominal Thickness <i>nominal size</i>	1 1/2" Actual Thickness <i>actual size</i>
1 x 4	3/4" x 3 1/2"	5/4 x 4	1" x 3 1/2"	2 x 4	1 1/2" x 3 1/2"
1 x 5*	3/4" x 4 1/2"	-	-	-	-
1 x 6	3/4" x 5 1/2"	5/4 x 6	1" x 5 1/2"	2 x 6	1 1/2" x 5 1/2"
1 x 8	3/4" x 7 1/4"	5/4 x 8	1" x 7 1/4"	2 x 8	1 1/2" x 7 1/4"
1 x 10	3/4" x 9 1/4"	5/4 x 10	1" x 9 1/4"	2 x 10	1 1/2" x 9 1/4"
1 x 12	3/4" x 11 1/4"	5/4 x 12	1" x 11 1/4"	2 x 12	1 1/2" x 11 1/4"

*Subject to regional availability.

Beadboard Product Dimensions

Nominal Dimensions	Actual Dimensions
5/8 x 6 x 16	5/8" x 5 1/4" x 16'



The Exterior Trim Landscape

Boral TruExterior® Trim compared to Other Trim Options

	BORAL TRUEXTERIOR® TRIM	WOOD TRIM	CELLULAR PVC TRIM	FIBER CEMENT TRIM	ENGINEERED/ COMPOSITE TRIM
No Special Tools Required	•	•	•		•
Easily Routed	•	•	•	✓	✓
Consistent Density	•		✓	•	
Fasten Close to Edge of Product	•		•		
Readily Accepts Wide Variety of Fasteners	•	✓	✓		
No Special Paint Needed For Light or Dark Colors	•	•		•	•
No Additional Safety Precautions Needed While Cutting	•	•	•		•
Installs the Same Way at All Temperatures	•	•		•	•
No Need to Prime End or Field Cuts	•		•		
No Need for Adhesives to Limit Movement	•	•		•	•
Dimensionally Stable After Installation ⁺	•	✓		•	
Suitable for Ground and Masonry Contact	•		•		
No Cracking or Splitting from Moisture ⁺	•		•	✓	✓
Resistant to Fungal Decay ⁺	•		•		
Over 70% Recycled Content ⁺	•				
Made in the USA	•	✓	✓	✓	✓

● All in Category ✓ Some in Category

⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

The Sustainable Solution

In the U.S., Boral continues the company's mission of being a leader in sustainability by engaging in such areas as alternative fuel sources and waste water management systems.



- Boral is committed to global environmental stewardship, which is reflected in Boral TruExterior® Trim – the first and only exterior trim product to be awarded a Cradle to Cradle certification (C2C). C2C is a multi-attribute, eco-label that assesses a product's safety to humans, environment and design for future life cycles. Within the terms of the certification program, this means pursuing the following ideals:
 - Using material that is safe for human health and the environment
 - Designing products and systems for material recovery and reutilization, such as recycling or composting
 - Using renewable energy
 - Efficiently using water and realizing maximum water quality associated with production
 - Instituting strategies for social responsibility

For more information on Cradle to Cradle Certification, please visit www.C2Ccertified.com

Cradle to Cradle Certified™ is a certification licensed by the Cradle to Cradle Products Innovation Institute.



- Boral TruExterior® Trim boasts the highest recycled content among all exterior trim products with a SCS Global Certified minimum 70% recycled content. The SCS Recycled Content certification is designed to help manufacturers make credible claims about their products by increasing the use of recycled materials which reduces solid waste and natural resource consumption. All claims are certified in accordance with U.S. Federal Trade Commission's Guides for the Use of Environmental Marketing.

For more information on SCS Global, please visit www.SCSglobalservices.com



- Coal Combustion products are endorsed by the U.S. Green Building Council for use in construction materials.

For more information on the U.S. Green Building Council, please visit www.USGBC.org

- Boral TruExterior® Trim is produced in a state of the art LEED Silver Certified facility in East Spencer, NC.



Warranty

This express Limited Product Warranty (“Warranty”) covers performance of trim product (“Trim Product”) manufactured by Boral Composites Inc. (“BCI”). This Warranty extends only to the original owner of the structure in which the Trim Product is installed (“Qualified Owner”).

BCI warrants to the Qualified Owner that each Trim Product will be free from manufacturing defects such that the Trim Product: 1) will not decay due to rot; 2) will not excessively swell from moisture; and 3) will resist termite damage in each case to the extent such properties are proven in the tests set forth in the Boral TruExterior® Trim Product Data Sheet, as amended from time to time, which is located at the www.BoralTruExterior.com website. The duration of this Warranty is twenty (20) years from the date the Trim Products were originally purchased from an approved BCI vendor. This warranty is conditioned on and subject to the additional terms and conditions set forth below.

To make a Warranty claim, the Qualified Owner must: (1) notify BCI in writing within ninety (90) days after the facts on which the claim is based become known, (2) provide BCI an opportunity to investigate and approve the claim, and (3) provide BCI an opportunity to inspect and test the Trim Product, its installation, and the environment in which it was used prior to removal by the original purchaser. Warranty claims must be made during the duration of the Warranty. Failure to comply with these notice and inspection provisions shall void this Warranty.

If BCI finds that any of your Trim Product does not meet the Warranty set forth herein, after inspecting and testing the Trim Product, BCI will furnish at its sole option new Trim Product, free of charge, to replace each defective area of Trim Product or refund the purchase price of the defective Trim Product. These remedies are the Qualified Owner's exclusive remedies for breach of warranty. BCI shall not be responsible for labor costs and shall not be liable for any other losses or damages.

Specific Exclusions: This Warranty does not cover (a) damage to the Trim Product caused during installation; (b) Trim Product not installed in accordance with appropriate local building codes and acceptable trade practices in that specified area; (c) damage caused due to failure to follow painting guidelines provided by BCI; (d) intentional or unintentional misuse of or damage to the Trim Product; (e) damage to Trim Product or structure caused by impact of foreign objects, earthquakes, fire, flood, lightning, ice, tornado, hurricane, windstorm, or any other Acts of God; (f) movement, settlement, distortion, warping or cracking of the Trim Product's structural supports or accessories used in connection therewith; (g) physical abuse, vandalism, riot, insurrection, improper maintenance, use of incompatible accessories; (h) color fading, color changes or variations of

the color hue or physical deterioration of the color for any reasons including, but not limited to pollution, mold, mildew, acid rain, weathering, oxidation, air pollutants, or application of harmful chemicals or vapors to the Trim Product. This Warranty also does not cover trim manufactured by others, accessory materials, or installation labor provided by others.

This is the entire Warranty between BCI and the Qualified Owner with respect to Trim Product. This Warranty supercedes all prior and contemporaneous agreements, representations, or understandings, whether oral or written, relating to Trim Products. Statements contained in BCI's advertising materials do not constitute a warranty. THIS WARRANTY IS THE SOLE WARRANTY GIVEN BY BCI WITH RESPECT TO THE TRIM PRODUCTS. BCI DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU. IF YOU LIVE IN A STATE WHERE THE DISCLAIMER OF IMPLIED WARRANTIES IS NOT ALLOWED, THEN THE DURATION OF ANY IMPLIED WARRANTY IS HEREBY LIMITED TO THE DURATION OF THE EXPRESS WARRANTIES. OTHERWISE, THIS WARRANTY IS THE QUALIFIED OWNER'S SOLE AND EXCLUSIVE REMEDY.

BCI reserves the right, in its sole discretion, to modify or withdraw this Warranty, in which event this Warranty will not be applicable to any purchases of Trim Products that occur after the date of modification or withdrawal.

BCI shall in no event be liable under any circumstances for incidental, punitive, consequential, exemplary or other damages, or for any damages to any structure or its contents or its occupants, whether any such claim is based upon theories of contract, warranty, negligence, tort, strict liability or otherwise. This express Warranty excludes all costs of labor, installation, reinstallation, freight, taxes or any other charge related to defective Trim Product. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation may not apply to you.

This Warranty gives the Qualified Owner specific legal rights, and the Qualified Owner may have other rights which may vary from state to state.

For further information concerning this Warranty or to report claims, contact:

Boral Composites Inc.
Attention: Director of Sales and Marketing
200 Mansell Court East, Suite 305
Roswell, Georgia 30076

Installation Guidelines

The following information offers typical installation techniques when working with Boral TruExterior® Trim. This product should never be used in structural or load bearing applications. These directions are guidelines. As with installing any building material, care should be taken to adhere to local code requirements and construction best practices to ensure installation is adequate for each specific application.

Storage and Handling

Boral TruExterior® Trim should be stored on a flat, level surface. Pallets are shipped from the manufacturing facility in a protective covering and each board has a factory applied primer, so care should be taken to keep the board covered and free of dirt and debris. If the board gets dirty, make sure to clean and dry it prior to painting.

Working With Boral TruExterior® Trim

This product is an excellent replacement for wood trim and can be installed using proven woodworking tools and methods. For ease of use, consider the following before working:

- **Cutting** – Boral TruExterior® Trim can be cut using standard saw blades. However, for longer tool life carbide tipped blades are recommended.
- **Routing & Drilling** – Boral TruExterior® Trim can be drilled and routed using standard woodworking tools, but a carbide tipped router and drill bits are recommended.
- **Fastening**
 - Use fasteners designed for exterior trim and siding
 - Use 2 fasteners per every framing member and 3 fasteners for all 12" wide boards.
 - Fasteners should be installed every 24" OC or less. For best results, place fasteners within 2" of the edge of each board.

For 2x applications:

- Use a fastener that is long enough to penetrate a solid wood substrate a minimum of 1 1/2"
- Fasteners should penetrate a framing member. Sheathing alone may not provide adequate support or holding power.
- **Safety** – In working with any product that may cause airborne debris such as nuisance dust, be sure to take proper measures to protect against eye and inhalation hazards.

Standard nail guns and screws can be used to install Boral TruExterior® Trim as it takes a variety of fasteners with ease and does not mushroom at the screw head nor require pre-drilling.

Boral TruExterior® Trim is a non-structural building material and should never be used in load-bearing or structural applications. Fasteners should be installed every 24" OC or less. For best results, be sure to place fasteners within 2" of the end of every board. Proper care should be taken to understand the desired application and ensure that proper framing and fasteners are adequate for the installation.

Expansion and Contraction – Boral TruExterior® Trim is very stable* during periods of temperature and moisture change; no special precautions are necessary to control or limit movement.

Use at Grade – Since Boral TruExterior® Trim is virtually impervious to water absorption, termite attacks and won't rot*, it is approved for ground contact.

Nail Holes and Repair – Filling nail and screw holes or repairing any minor damage caused by handling may be done using high-grade acrylic caulk or wood fillers.

Painting Boral TruExterior® Trim is a requirement, and failure to do so will void the warranty. As in preparing for any painting project, be sure the surface of the product is free of dirt, debris or other contaminants prior to paint application. Boral TruExterior® Trim can be painted using any high grade exterior paint. Make sure to follow the paint manufacturer's application recommendations.

More information can be found in Boral's technical bulletin for paint or in the product warranty. Both documents can be found at www.BoralTruExterior.com.

Boral TruExterior® Trim may be painted any color without special precaution as the product is not prone to excessive movement due to heat buildup.*

Boral TruExterior® Trim is virtually impervious to moisture*, so there is no need to prime or paint end-cuts or field-cut edges.

Moisture cycling is a primary cause for paint failure on wood products. Since Boral TruExterior® Trim is resistant to this moisture cycling*; paint will perform better.

*Please see the Boral TruExterior® Trim Product Data Sheet at www.BoralTruExterior.com for property test results.



Download a QR
Code reader app for
your smartphone,
then take a photo to
visit our website



1.888.9BORAL9 | www.BoralTruExterior.com

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**BRICKS
STONE
TRIM
ROOFING**





Welcome Home



MADE
IN THE
USA 



**Digger
Specialties
Inc.**

Transforming the Outdoor Living Experience™



Westbury® Aluminum Railing is
Six Ways Better
Than Other Railing Systems:

- Proprietary 10 Step Coating For Permanent Color and Finish
- Available In Stunning Colors and Textures
- Extremely Low Maintenance
- Designer Aesthetics To Enhance Any Deck or Porch
- Fastest Railing System To Install
- Code Approved For Residential or Commercial Construction

Railing System Comparison Chart

Railing System	Permanent Finish	Fade Resistant	Lifetime Limited Warranty	Easy to Install	Low Maintenance	Low Installation Cost
Westbury® Aluminum	•	•	•	•	•	•
Composite	•	•	•		•	
Iron or Steel		•				
Wood						•
Vinyl	•		•	•	•	•



Beauty meets strength. Elegance meets distinction. Masterpiece meets innovative engineering. Westbury® Aluminum Railing is designed with these essential elements in mind.

With a variety of designs, colors, and textures, you have the power to decide what fits your home. Whether you are adding railing to your front porch, a back yard or multi-level deck, a balcony, or to the interior of your home, Westbury® Aluminum Railing can transform your home into a welcoming retreat.

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ALUMINUM COLORS

Textured Colors

Westbury® Aluminum Railing is available in 12 standard AAMA 2604 colors to compliment your project; from satin colors to textured colors.

Custom colors and AAMA 2605 colors are available by special order.



Black Fine Texture



Bronze Fine Texture



Brown Fine Texture



White Fine Texture



Grey Fine Texture

Non Textured Colors



Gloss Beige



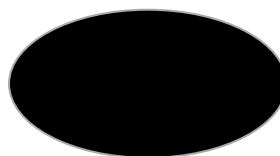
Chocolate



Ninety Bronze



Sandy Shore



Satin Black



Gloss White



Speckled Walnut



Colors shown are a close approximation of the true color.
Please consult actual samples for accurate powder coating colors.

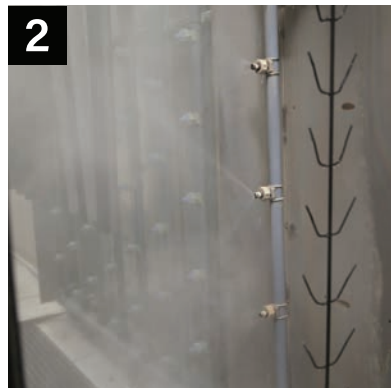
POWDER COATING PROCESS

Exclusive DSI Powder Coating Process

DSI's proprietary 10 step powder coating process provides an uncompromising quality created by state-of-the-art technology. Our system is certified by the Powder Coating Institute providing peace of mind in your investment. Our powder coating is verified by the American Architectural Manufacturers Association and is covered by a Lifetime Limited Warranty.



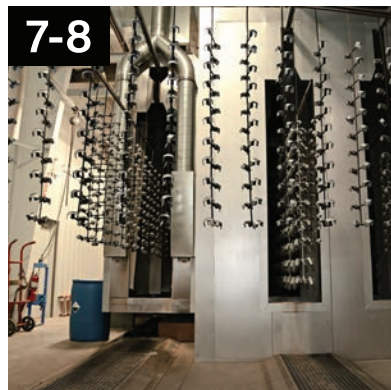
1 The raw premium-grade aluminum is **inspected** to be free of blemishes and is not exposed to the outdoor elements.



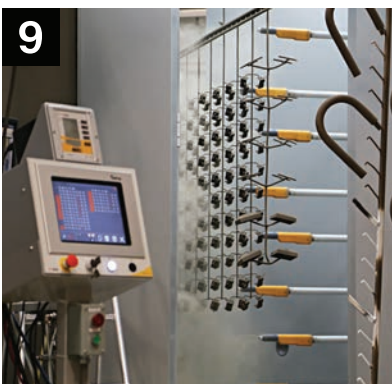
2 The product enters a heated **acidic cleaning stage** to remove extrusion debris and fabrication oils.



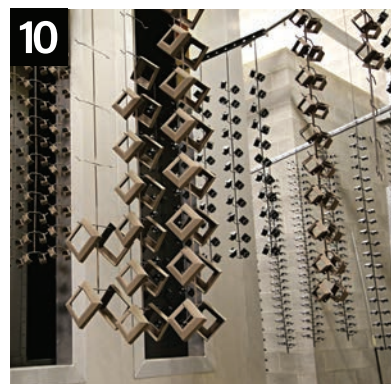
3-6 **Clean:** City water rinse.
Cleaner: Recycling reverse osmosis water rinse
Cleanest: Pure reverse osmosis water rinse
Sealer: Dried-in-place aluminum sealer



7-8 A 200 MPH air **blast removes water drops** from the pre-treated aluminum.
A convection oven completes the dry-off process.



9 Powder is **applied** with 18 automated and 2 manual spray guns. Compressed process air is dried to -35°F Dew Point for superior adhesion.



10 The powder **coating is then bonded** and adhered to the aluminum substrate in a 400 degree cure stage.



TUSCANY

SERIES



Tuscany Aluminum Railing



Tuscany (C10)
 3/4" x 3/4" Square Baluster



Tuscany (C101)
 3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.
 For code compliance information visit westburyrailing.com

Tuscany Series Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (4), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•	•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair	•	•	•	•	•	•	•

Tuscany (C10) Assembled Specifications

Assembled sections (square balusters) are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight		•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair			•		•	•	•



Welded Corner



Radius Section



VERANDA



Veranda Aluminum Railing



Veranda (C70)
 Rail Kits with Gasket for 1/4" Tempered Glass
 1/4" Glass Panels Ordered Separately




Veranda (C70)
 Rail Kits with Gasket for 3/8" Glass
 3/8" Glass Not Available Through DSI

CCRR-0163 Complies with IBC, IRC, and FBC. For code compliance information visit westburyrailing.com

Veranda Boxed Rail Kit Specifications

Boxed Kits Include: Rails, Mounts (4), and Installation Instructions. Glass Panels are ordered separately.

	Section Type	Length			Height	
		4'	5'	6'	36"	42"
	Straight	.	.	.	.	.
	Stair	All Stair Sections are Special Order				

1/4" Tempered Glass Panel Specifications

Glass Panels are ordered separately.

Panel Type	Length			Height		Color		
	4' (42-1/4")	5' (54-1/4")	6' (66-1/4")	36" (32-1/4")	42" (38-1/4")	Clear	Grey	Bronze
Straight	.	.	.	.	.	.	Special Order	Special Order
Stair	All Stair Panels are Special Order							



Grey or Bronze Special Order
Glass Panels Available



Special Order Glass Panels
for Stair Sections



VERTICABLE®



VertiCable® Aluminum Railing



VertiCable (C80) with Mounts
 5/8" Round Baluster
 1/8" Stainless Steel Cable




VertiCable (C80) without Mounts
 5/8" Round Baluster
 1/8" Stainless Steel Cable

CCRR-0163 Complies with IBC, IRC, and FBC. For code compliance information visit westburyrailing.com

VertiCable (C80) Section with Mounts Specifications


Sections Include: Factory Assembled Section, Mounts (4), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight w/Aluminum Balusters	•	•	•			•	
Straight w/Aluminum Balusters and Rail Support				•	•	•	
Straight w/Stainless Steel Balusters	•	•	•				•
Stair w/Stainless Steel Balusters	•	•	•			•	•

VertiCable (C80) Section without Mounts Specifications

Sections are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight w/Aluminum Balusters	•	•	•			•	
Straight w/Aluminum Balusters and Rail Support				•	•	•	
Stair w/Stainless Steel Balusters	•		•			•	



MONTEGO

SERIES



Montego Aluminum Railing



Montego (C20)
Two Rail
3/4" x 3/4" Architectural Baluster




Montego II (C23)
Three Rail
3/4" x 3/4" Architectural Baluster

Montego Series Aluminum Railing has NOT been tested for any building codes.

Montego (C20) Boxed Kit Specifications


Boxed Kits Include: Rails, Balusters, Mounts (4), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•	•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair	•	•	•	•	•	•	•

Montego II (C23) Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (6), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•					•	•
Straight w/Rail Support		•	•	•	•	•	•
Stair	•	•	•	•	•	•	•



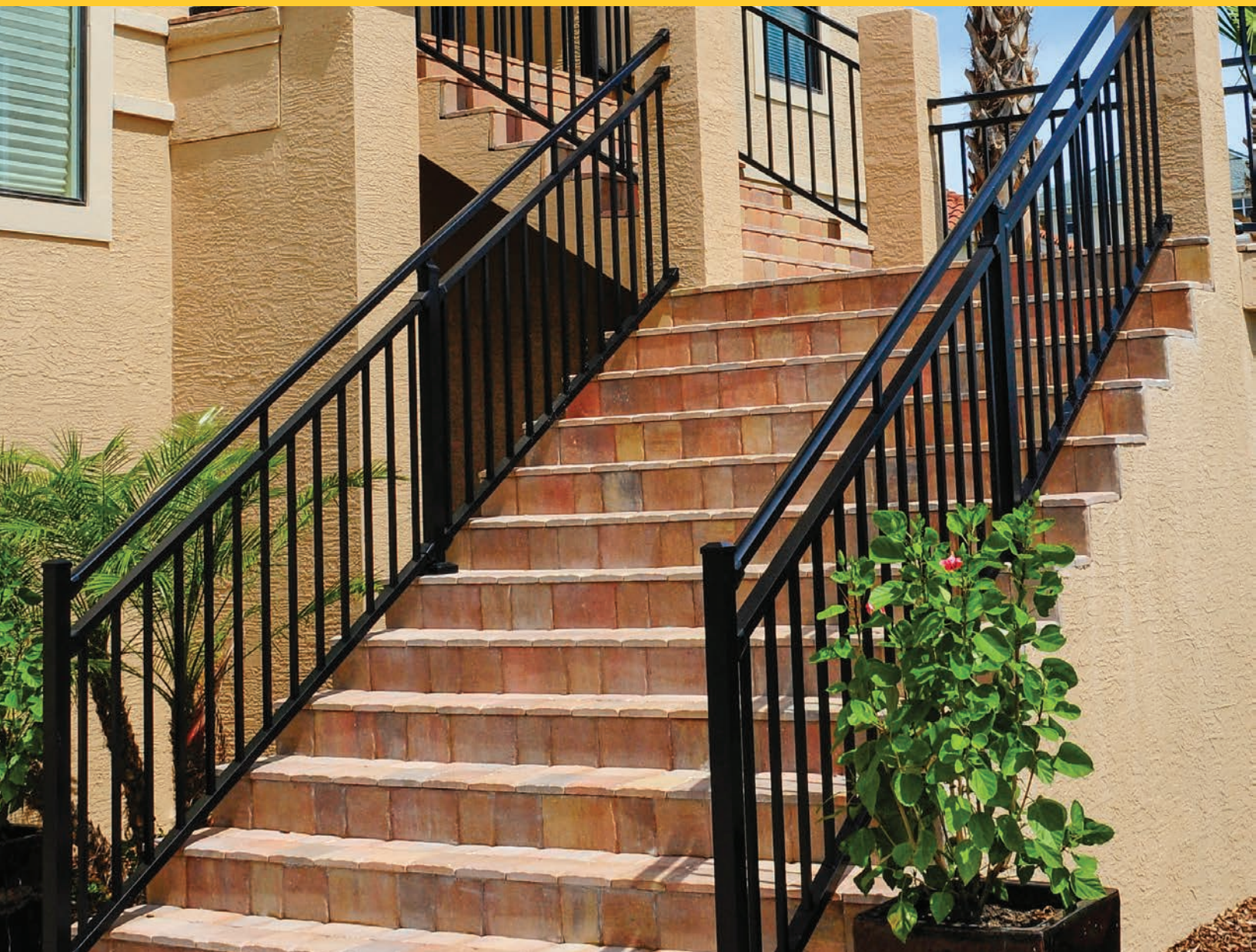
Two Rail Radius Section



Three Rail Radius Section



RIVIERA SERIES



Riviera Aluminum Railing



Riviera (C30)
3/4" x 3/4" Square Baluster

Riviera (C301)
3/4" Round Baluster



Riviera R (C30R)
3/4" x 3/4" Square Baluster

Riviera R (C301R)
3/4" Round Baluster



Riviera I (C31)
3/4" x 3/4" Square Baluster

Riviera I (C311)
3/4" Round Baluster



Riviera II (C32)
3/4" x 3/4" Square Baluster

Riviera II (C321)
3/4" Round Baluster

RIVIERA SERIES



Riviera III (C33)
3/4" x 3/4" Square Baluster

Riviera III (C331)
3/4" Round Baluster




Riviera IV (C34)
3/4" x 3/4" Square Baluster

Riviera IV (C341)
3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.
For code compliance information visit westburyrailing.com

Riviera Series Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (6), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•					•	•
Straight w/Rail Support		•	•	•	•	•	•
Stair	•	•	•	•	•	•	•



Radius Sections

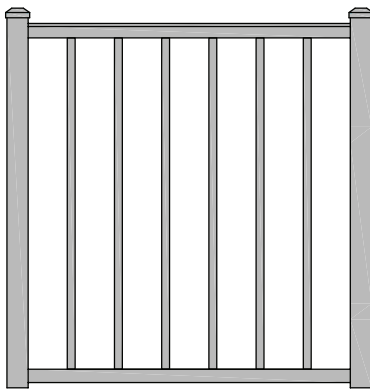
GATES & HARDWARE

DSI offers matching gates for most Westbury® Aluminum Railing styles*. Gates allow the flexibility to “enclose” your railing area, keeping your family safe from stair hazards and your pets limited to your deck or patio area. All Westbury® C Series gates, with the exception of Veranda (a welded gate), are adjustable.

*Gates are not available for Montego Series.

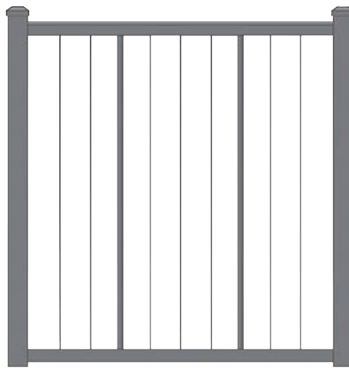


Adjustable Gates



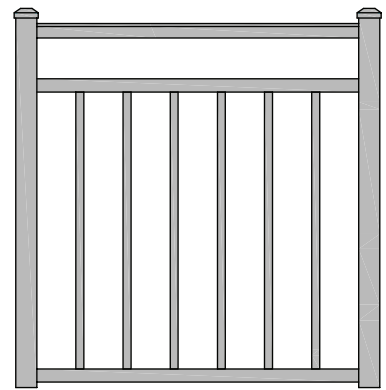
Tuscan Series

36"W, 48"W, and 60"W Openings



VertiCable®

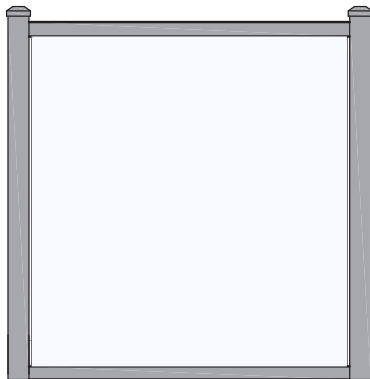
36"W, 48"W, and 60"W Openings



Riviera Series

36"W, 48"W, and 60"W Openings

Welded Gates



Veranda

36"W, 48"W, and 60"W Openings
1/4" Tempered Glass

Latches



Lokk Latch

Lokk Latch
Deluxe

Magna-Latch
Vertical Pull

Lokk Latch
Magnetic

Gravity
Latch

Hinges

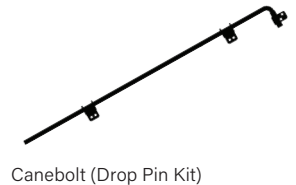


Tru Close
Hinge

Kwik Fit
Hinge

Medium
Duty Hinge

Canebolt



Canebolt (Drop Pin Kit)

DRINK RAIL ADAPTER

Turn your Westbury® Top Rail into the perfect spot for your morning cup of coffee or cool afternoon drink while enjoying your outdoor living space.

This sturdy adapter is ready to install with pre-drilled holes, allowing for a fast installation. Once attached just add the material of your choice and you are ready to enjoy your new space.



Supports Wood or Composite Deck Board
(Deck Board Not Included)



Underside view of the Seamless Integration of the Drink Rail system



Solid Wall Construction for Strength & Durability

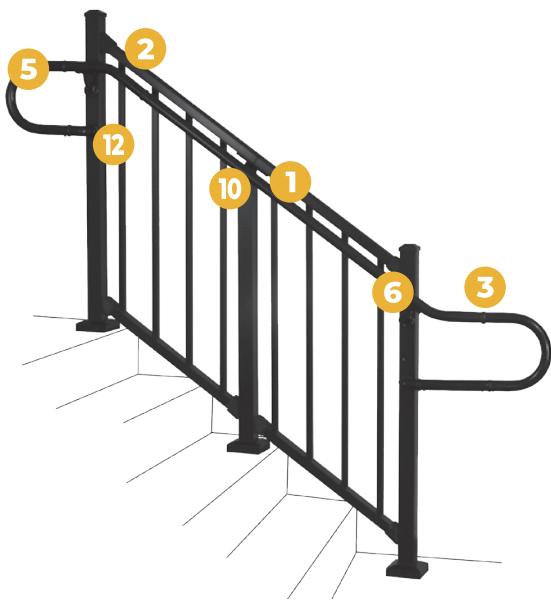


ADA CONTINUOUS HANDRAIL

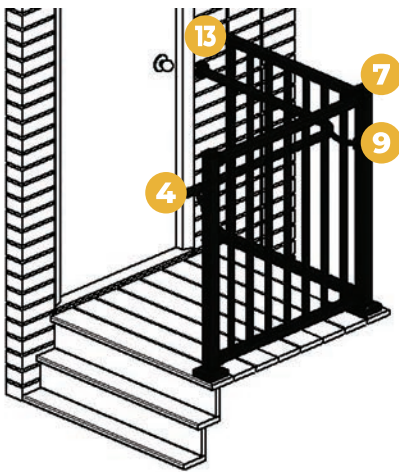
ADA Continuous Handrail is designed to assist individuals with accessibility and mobility concerns. This system offers versatile components and accessories providing the perfect safety solution for stairways, ramps, and decks. ADA Continuous Handrail is easy to install on any surface and is compatible with new or existing railing systems. Available in 12 DSI Colors (shown on page 2).



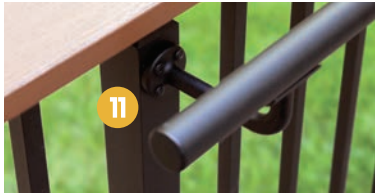
Stair Application



Deck Application



Inside Corner Mount
& 90° Elbow Detail



Extended Wall Mount Detail



90° Welded Elbow Detail



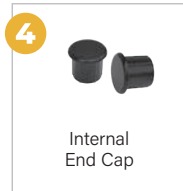
1-3/8" Handrail
(8', 10' & 16')



Internal
Connector



Collar Rings
(to cover splice)



Internal
End Cap



180° Elbow



Adjustable
Elbow



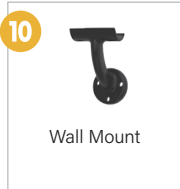
90° Elbow



90° Welded
Elbow



Inside Corner Mount
(attaches to post)



Wall Mount



Extended
Wall Mount



Wall Return



Wall-End
Mount

SCREENRAIL

Expand your living area and enjoy the outdoors without the insects. Westbury® ScreenRail is offered as a structural balcony railing system, a heavy-duty kick panel system, or a mid-rail system allowing you to customize ScreenRail to fit your needs.

Features include easy to assemble sections, assembled universal door (right or left hand hinge) with heavy-duty frame, and durable flat spline to secure the screen.

With a Lifetime Limited Warranty, ScreenRail is a premium system designed to expand your living area by bringing the outdoors into your home.



Balcony Railing System



Heavy Duty Kick Panel System



Mid-Rail System



RAIL MOUNTS

Standard Wall Mounts:

1-4 pack or 1-6 pack is included with each straight railing section.

A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.



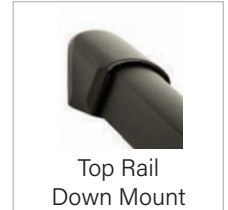
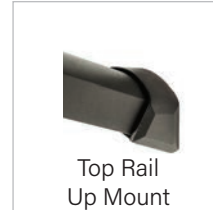
Standard Stair Mounts:

1-4 pack or 1-6 pack is included with each stair railing section.

A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.

For Stair Racking information visit westburyrailing.com



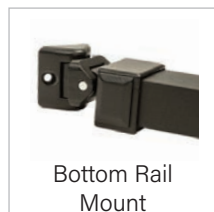
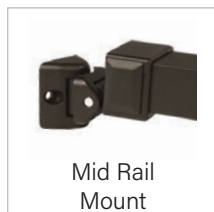
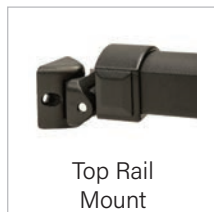
Optional Specialty Mounts:

Available as a 2 pack or 3 pack. These mounts are not included with sections.

A 2 pack contains (1) top mount, (1) bottom mount, and screws.

A 3 pack contains (1) top mount, (1) mid mount, (1) bottom mount, and screws.

Stair Double Swivel Mounts

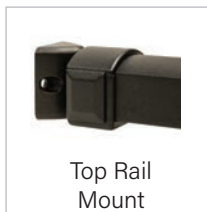


Available as a 4 pack or 6 pack. These mounts are not included with sections.

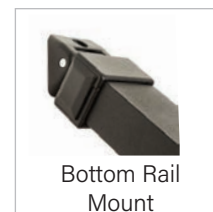
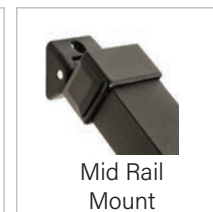
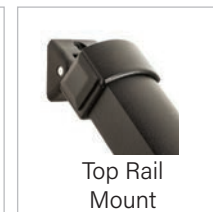
A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.

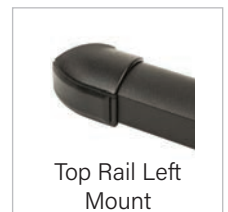
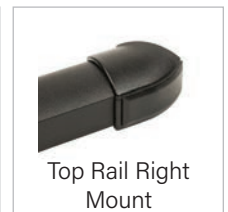
Angle Swivel Mounts



Stair Swivel Mounts



45° Angle Mounts



Round Column Adapter Kits:

Available as a 4 pack or 6 pack. These adapter kits are not included with sections.

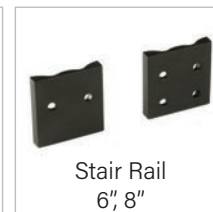
A 4 pack contains (2) top adapters (2) bottom adapters

A 6 pack contains (2) top adapters (4) mid/bottom adapters

Smooth



Fluted



POST KITS

Westbury® Aluminum Railing Post Kits contain all the components necessary to assemble a railing post. Kits eliminate the need to order post components by providing everything in one box. Kits are available for a variety of post sizes (see charts on page 21).

Kits Include:

- Post
- Flat Cap*
- 2-piece Post Flair

Assembled Post Kits come with mounts attached to the post reducing installation time. These Kits are available for VertiCable® Sections without mounts and Tuscan Assembly Sections. Assembled Post Kits are available for a variety of post types (see chart below).

Assembled Kits Include:

- Post with Sections Mounts Attached
- Flat Cap*
- 2-piece Post Flair



Assembled Post Kit

Assembled Post Kits w/Adjustable Plates 2" x 2" x .090"

Assembled Kits are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



	Line Post	End Post	Corner Post	Crossover Line Post	Crossover End Post	Crossover Corner Post
Heights	37", 43"	37", 43"	37", 43"	36", 42"	36", 42"	36", 42"

*Caps are not included with Crossover Post Kits.

POSTS WITH PLATES



	Residential 2" Post (.090" wall)	Residential 2" Crossover Post (.090" wall)	Residential 2" Corner Crossover Post (.090" wall)	2" Heavy Duty Post (.093" wall)	2" Heavy Duty Crossover Post (.093" wall)
Heights	37", 43", 47", 53"	36", 42"	36", 42"	37", 43", 47", 53"	36", 42"
Post Kit Available	✓	✓	✓	✓	✓
Code Compliance				IRC Approved	IRC Approved



	2" Heavy Duty Corner Crossover Post (.093" wall)	2-1/2" Post (.125" wall)	2-1/2" Power Post (.125" wall)	2-1/2" Crossover Power Post (.125" wall)	2-1/2" Corner Crossover Power Post (.125" wall)
Heights	36", 42"	37", 43", 47", 53"	37", 43", 47", 53"	36", 42"	36", 42"
Post Kit Available	✓		✓	✓	✓
Code Compliance	IRC Approved		IBC and Miami Dade Approved	IBC and Miami Dade Approved	IBC and Miami Dade Approved







	3" Post (.095" wall)	4" Post (.125" wall)	4" Deco Post (.090" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"
Post Kit Available	✓	✓			
Code Compliance	IRC Approved	IBC Approved			

CORE DRILL POSTS & POST SLEEVES

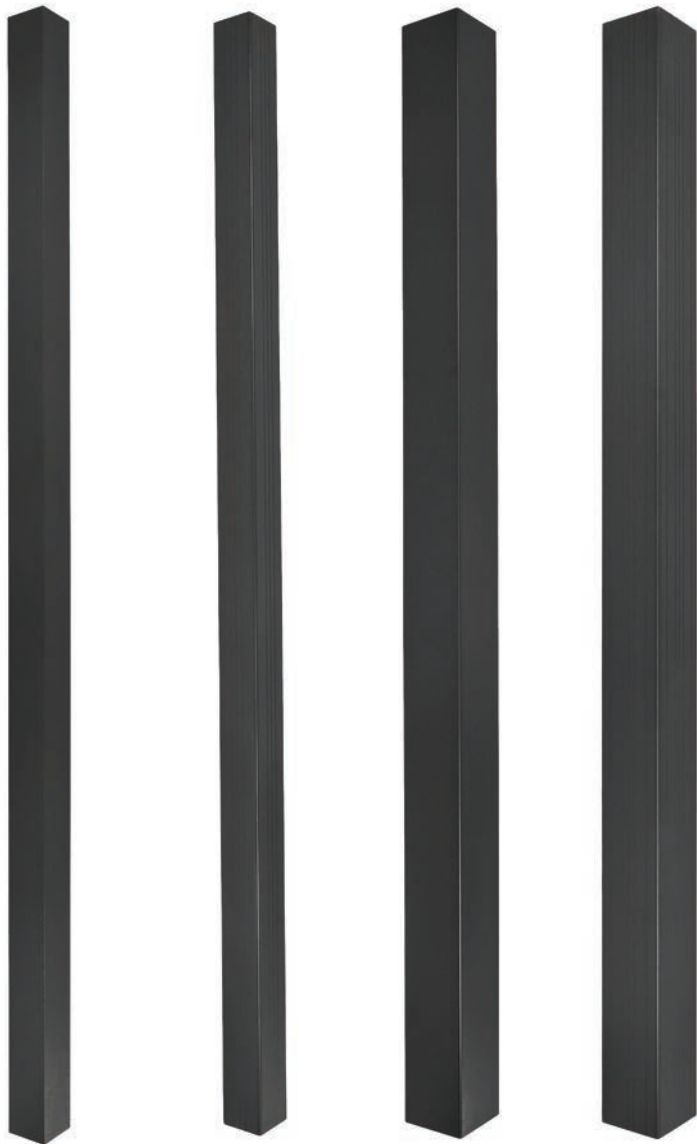
Core Drill Posts

						
	Residential 2" Post (.090" wall)	Residential 2" Crossover Post (.090" wall)	2" Heavy Duty Post (.093" wall)	2" Heavy Duty Crossover Post (.093" wall)	2-1/2" Power Post (.125" wall)	2-1/2" Crossover Power Post (.125" wall)
Heights	45", 51", 55", 61"	42", 48"	45", 51", 55", 61"	42", 48"	45", 51", 55", 61"	42", 48"

Post Sleeves

				
	4" Post (.125" wall)	4" Deco Post (.065" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"

SUPPORT POSTS



	4" Post (.125" wall)	4" Deco Post (.090" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	8-1/2', 10', 11'	8', 9', 10'	8', 9', 10'	8', 9', 10'
ASD Capacity* (Allowable Axial Loads)	8-1/2' = 17,738 lbf 10' = 16,644 lbf 11' = 14,305 lbf	8' = 13,531 lbf 9' = 12,751 lbf 10' = 11,970 lbf	8' = 25,093 lbf 9' = 25,093 lbf 10' = 25,093 lbf	8' = 16,543 lbf 9' = 16,543 lbf 10' = 16,543 lbf

*Weight values are Actual Calculated Allowable Loads

POST ACCESSORIES

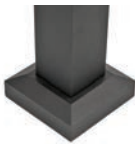
Caps



Flat Cap
2", 2-1/2", 3", 4", 6"



Ball Cap
2", 2-1/2", 4"



Flair (2-piece)
2", 2-1/2", 3", 4", 6"

Accessories



Top Rail
End Cap



Top Rail End Cover
for Crossover Post



Adjustable
Rail Support



2" Heavy Duty Post
Backer Plate
For IRC Code Approved
wood deck installation



Fascia Mount Kit
for 2" Heavy Duty Post



Fascia Mount Support
Bracket



Tie Down Bracket
with Cover (Set of 2)



Touch Up Paint



Bracket Mounting
Template (for 2", 2-1/2",
3", & 4" Posts)

Crossover Adapters for 2 inch Posts



Level Crossover†



Corner Crossover†



Stair Crossover†

†Patent No. 8,998,175

MAGENA STAR® LIGHTING

Bring your outdoor living space to life with Magena Star® lighting products from Digger Specialties, Inc.

Take comfort in our low-maintenance, precision-made lights offering quality rust-resistant architectural grade powder coating and a five year warranty.

Discover the quality of Magena Star® Ornamental Lighting.



LED Lighting



Post Cap Light
2", 2-1/2", 3", 4"



Downward
Post Cap Light
2", 2-1/2", 3", 4"



Combo
Post Cap Light
2", 2-1/2", 3", 4"



Side Light



Tear Drop
Side Light



Riser Light

Solar Lighting



Post Cap Light
2", 2-1/2", 3", 4"



Downward
Post Cap Light
2", 2-1/2", 3", 4"



INSPIRATION

Custom Railing

We put the “special” in Digger Specialties!

Let DSI help solve your unique installation challenges and design needs.



Special Welded Corners



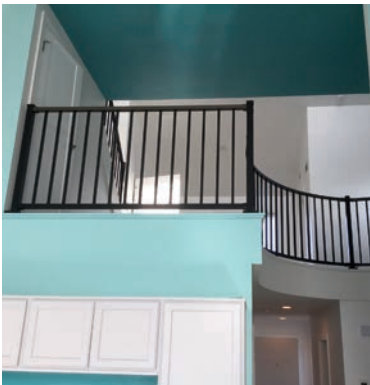
Multiple Color Rails and Balusters



Tuscany Carribean Railing

More Than Just Outdoors

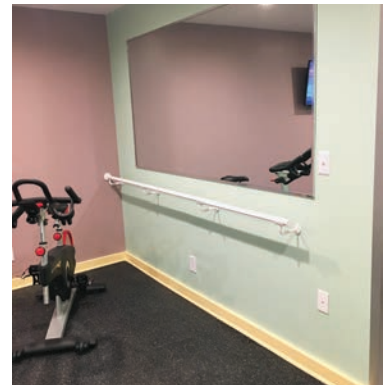
Westbury® Aluminum Railing can also be used inside your home or business.



Residential Balcony
Tuscany Railing



Retail Balcony
Veranda Railing



Ballet Barre
ADA Continuous Handrail



Transforming the Outdoor Living Experience™

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METAL ROOF

McElroy Metals - Dark Bronze



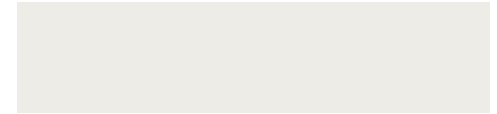
FRONT DOOR ATTACHMENT 9

Mahogany Wood



COLUMNS, TRIM, FASCIA & GARAGE DOOR

Sherwin Williams - Pure White (SW7005)



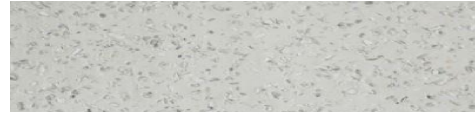
BRICK

Savannah Gray



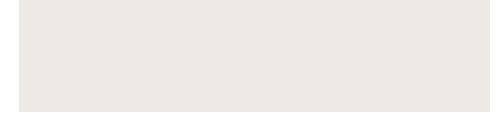
FOUNDATION & CHIMNEY

Tabby Stucco



BOARD & BATTEN & LAP SIDING

Sherwin Williams - Snowbound (SW7004)



WINDOWS

Marvin - Bronze



SHINGLE SIDING

Sherwin Williams - Knitting Needles (SW7672)



LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

BUILDING ELEVATIONS

10.03.2025



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ATKINS
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