

Historic Preservation Commission Meeting

Theodore D. Washington Municipal Building, Henry "Emmett" McCracken Jr. Council Chambers, 20 Bridge Street, Bluffton, SC

January 07, 2026

I. CALL TO ORDER

Vice Chairman DePauw called the meeting to order at 6pm.

II. ROLL CALL

PRESENT

Vice Chairman Joe DePauw
Commissioner Carletha Frazier
Commissioner Tim Probst
Commissioner Lisa Sulka

Commissioner Michael Sutcliffe

ABSENT

Commissioner Jim Hess
Commissioner Debbie Wunder

III. ADOPTION OF MINUTES

1. December 3, 2025 Minutes

Commissioner Sulka made a motion to adopt the minutes as written.

Seconded by Commissioner Frazier.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

IV. ELECTION OF OFFICERS

1. Election of Historic Preservation Commission Chair

Commissioner Sulka made a motion to elect Joe DePauw as chair.

Seconded by Commissioner Probst.

Voting Yea: Vice Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

2. Election of Historic Preservation Commission Vice Chair

Commissioner Sulka made a motion to elect Carletha Frazier as Vice Chairman.

Seconded by Chairman DePauw.

Voting Yea: Chairman DePauw, Commissioner Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and motion passed.

3. Election of Two Historic Preservation Review Committee members.

Chairman DePauw made a motion to elect Tim Probst and Lisa Sulka to the Historic Preservation Review Committee.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

V. PUBLIC COMMENT

VI. OLD BUSINESS

VII. NEW BUSINESS

1. **36 Bruin Road:** An amendment to an approved Certificate of Appropriateness to allow certain changes for 2-story commercial building of approximately 3,130 SF at 36 Bruin Road in Old Town Bluffton Historic District, and within the Neighborhood General-HD (NG-HD) zoning district. (COFA-05-25-019766) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There was discussion regarding the proposed roof well on the rear elevation and the purpose it served. The commissioners discussed the removal of windows on the rear elevation that was previously approved.

Commissioner Probst made a motion to approve the application with the following conditions:

1. The roof well must include detailing that is similar to the porch railing.
2. The two second-story windows must remain and can be “blacked out.”

and the following were determined as acceptable:

1. Removal of the ground level rear porch screen
2. Addition of brick pavers to the front porch
3. Revision of the second story rear porch railing from pickets to space boards
4. Relocation of second story rear door to be centered in the porch
5. Change of a single door to a double door at the porch

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

2. **2 Blue Crab Street, Lot 52:** A request by William Court of Court Atkins Group (Applicant) on behalf of Blue Crab Bluffton, LLC (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,839 SF and an attached carriage house of approximately 880 SF at 2 Blue Crab Street. The property is located in the Tabby Roads Development in Old

Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25-019925) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans. The commissioners shared concerns about the placement of the handrail and the inconsistency of shutters.

Commissioner Sulka made a motion to table the item.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

3. **4 Blue Crab Street, Lot 51:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,800 SF and an attached carriage house of approximately 886 SF at 4 Blue Crab Street. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25-019927) (Staff - Charlotte Moore)

Chairman DePauw made a motion to remove attachments 1-9 from the packet for consideration.

Seconded by Vice Chairman Frazier.

Voting Yea: Chairman DePauw, Vice Chairman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Michael Sutcliffe

All were in favor and the motion passed.

Chairman DePauw made a motion to include the correct attachments as provided by staff for consideration. (See attachments starting on page 6)

Seconded by Vice Chairman Frazier.

Voting Yea: Chairman DePauw, Vice Chairman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Michael Sutcliffe

All were in favor and the motion passed.

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans. The Commission had questions regarding the bracket detail and the brick wall being used to screen the service yard.

Commissioner Sulka made a motion to table the item.

Seconded by Vice Chairwoman Frazier.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

4. **6 Blue Crab Street, Lot 50:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2.5-story main house (an Additional Building Type) of approximately 3,846 SF and an attached carriage house of approximately 884 SF at 2 Blue Crab Street, Lot 50. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019628) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans.

Vice Chairwoman Frazier made a motion to table the item.

Seconded by Commissioner Sulka.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

5. **8 Blue Crab Street, Lot 49:** A request by William Court of Court Atkins Group (Applicant) on behalf of Patrick Mason (Owner), for review of a Certificate of Appropriateness-Historic District to allow the construction of a new 2-story main house (an Additional Building Type) of approximately 3,741 SF and an attached carriage house of approximately 933 SF at 8 Blue Crab Street, Lot 49. The property is in Tabby Roads Development in Old Town Historic District and zoned Neighborhood General-Historic District (NG-HD). (COFA-09-25- 019929) (Staff - Charlotte Moore)

Staff presented. The applicant was present. There were questions about the HARB requirements that were not being met. There was discussion regarding the use of multiple wall materials. The commissioners discussed the streetscape and the project's scale in comparison to neighboring structures. The commissioners had questions regarding the building type. There was discussion regarding the fence height shown on the plans.

Vice Chairwoman Frazier made a motion to table the item.

Seconded by Commissioner Probst.

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed.

VIII. DISCUSSION

1. Historic District Monthly Update. (Staff)

Staff reviewed the monthly report. The Commissioners had no questions.

IX. ADJOURNMENT

Commissioner Sulka made a motion to adjourn.

Seconded by Vice Chairwoman Frazier

Voting Yea: Chairman DePauw, Vice Chairwoman Frazier, Commissioner Probst, Commissioner Sulka, Commissioner Sutcliffe

All were in favor and the motion passed. The meeting adjourned at 8:09pm.

APPROVED



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4500
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant	Property Owner		
Name:	Name:		
Phone:	Phone:		
Mailing Address:	Mailing Address:		
E-mail:	E-mail:		
Town Business License # (if applicable):			
Project Information (tax map info available at http://www.townofbluffton.us/map/)			
Project Name:	Conceptual: <input type="checkbox"/>	Final: <input type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Address:	Application for: <input type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation		
Zoning District:			
Acreage:			
Tax Map Number(s):			
Project Description:			
Minimum Requirements for Submittal			
<input type="checkbox"/> 1. Mandatory Check In Meeting to administratively review all items required for conceptual submittal must take place prior to formal submittal. <input type="checkbox"/> 2. Digital files drawn to scale of the Site Plan(s). <input type="checkbox"/> 3. Digital files of the Architectural Plan(s). <input type="checkbox"/> 4. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 5. All information required on the attached Application Checklist. <input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note:	A Pre-Application Meeting is required prior to Application submittal.		
Disclaimer:	The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.		
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature:	Blue Crab Bluffton, LLC <i>Patrick Mason</i> Date:		
Applicant Signature:	 Date:		
<i>For Office Use</i>			
Application Number:	Date Received:		
Received By:	Date Approved:		



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE		CONCEPTUAL REVIEW <input type="checkbox"/>	FINAL REVIEW <input type="checkbox"/>
2. SITE DATA			
Identification of Proposed Building Type (as defined in Article 5):			
Building Setbacks	Front:	Rear:	Rt. Side: Lt. Side:
3. BUILDING DATA			
Building	Description (Main House, Garage, Carriage House, etc.)	Existing Square Footage	Proposed Square Footage
Main Structure			
Ancillary			
Ancillary			
4. SITE COVERAGE			
Impervious Coverage	Coverage (SF)		
Building Footprint(s)			
Impervious Drive, Walks & Paths			
Open/Covered Patios			
A. TOTAL IMPERVIOUS COVERAGE			
B. TOTAL SF OF LOT			
% COVERAGE OF LOT (A/B= %)			
5. BUILDING MATERIALS			
Building Element	Materials, Dimensions, and Operation	Building Element	Materials, Dimensions, and Operation
Foundation		Columns	
Walls		Windows	
Roof		Doors	
Chimney		Shutters	
Trim		Skirting/Underpinning	
Water table		Cornice, Soffit, Frieze	
Corner board		Gutters	
Railings		Garage Doors	
Balusters		Green/Recycled Materials	
Handrails			



TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON

HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS - HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none">• All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s);• Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary;• All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways;• Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property;• Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and• North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none">• All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s);• Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities;• Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and• Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS – OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	PHOTOS: Labeled comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relate to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	FINAL DEVELOPMENT PLAN APPLICATION: A Final Development Plan Application, along with all required submittal items as depicted on the application checklist, must be submitted prior to a Final Certificate of Appropriateness submittal and approved prior to the application being heard by the Historic Preservation Commission.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Blue Crab Bluffton ,LLL Patrick Mason
Signature of Property Owner or Authorized Agent

12.05.2025

Patrick Mason

Printed Name of Property Owner or Authorized Agent

A handwritten signature in black ink that reads "Patrick Mason".

Signature of Applicant

12.05.2025

Date

William Court

Printed Name of Applicant

November 05, 2025

Property owner consent for-Certificate of Appropriateness –

Old Town Bluffton Historic District

Attn: HPC

Theodore D. Washington Municipal Building

20 Bridge Street

Bluffton, SC 29910

Re: Lots 49, 50, 51, and 52 Blue Crab Street

This letter authorizes William Court, Architect- Court Atkins Group, to act as applicant of Blue Crab Bluffton LLC in pursuit of the Certificate of Appropriateness. Authorization is given by the authorized agent of Blue Crab Bluffton LLC, Patrick Mason.

Authorizing signature





December 10, 2025

Applicant: William Court–Court Atkins Group

Owners: Blue Crab Bluffton LLC

Location: Lot 51, 4 Blue Crab Street, Tabby Roads, Bluffton SC 29910

Zoning: Neighborhood General-HD

Narrative Summary:

The proposed project involves the construction of a **new two-story, single-family residential structure** based on the **Center Hall House** type of approximately **3,800 square feet**, along with an attached **Carriage House** of approximately **866 square feet**, located at 4 Blue Crab Street in neighborhood of Tabby Roads in the Old Town Bluffton Historic District.

The site is primarily flat with surrounding homes of similar scale to the proposed design. The design is intended to reflect the architectural character of the Neighborhood General Historic District.

The Main House is designed to reflect the Center Hall House characteristics listed below:

- 2-stories, less than 5,500 sf total, and 55'-0" wide
- Building footprint (without porches) is 1488 sf
- Features a double height front porch
- Square columns are spaced no farther apart than they are tall and comply with UDO 5.15.6.H
- Proposed railing material is powder-coated aluminum but may aesthetically reflect traditional cast iron or treated wood finish. This material is subject to less maintenance over time
- Doors and windows consistent with historic style per UDO 5.15.6.I
- Features tabby stucco on masonry elements
- Siding includes permitted board and batten, lap siding, and shingle with expression lines separating materials and floor levels per UDO 5.15.6.G
- We are suggesting boral trim material as an alternative to wood. Please see the attached supportive product information.
-

The Carriage House is designed to be subordinate in scale and complementary in style to the main residence. The accessory structure is attached but uses varied wall material from the main house and may feature unique architectural detailing such as brackets or trellis. The design reflects UDO 5.15.8.F characteristics listed below:

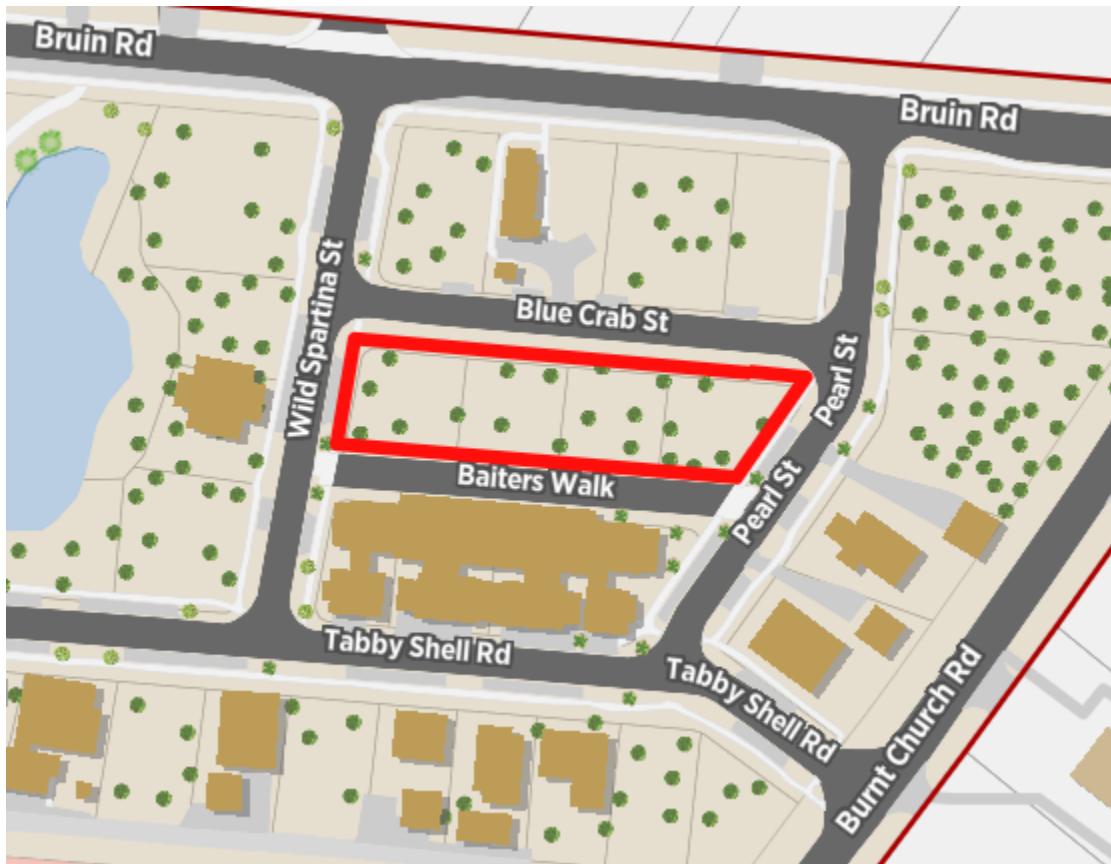
- 2-stories, less than 1,200 sf total
- Building footprint is 540sf
- Features 2-car garage and bonus dwelling unit
- Located at the rear of the primary structure

The project has been reviewed by Town Staff and is submitted for HPC approval as part of the Certificate of Appropriateness-HD process.

VICINITY MAP

BLUE CRAB STREET HOUSES

CERTIFICATE OF APPROPRIATENESS-HD





WILD
SPARTINA ST.

BLUE
TAB ST.







WILD
SPARTINA ST.

BLUE
TAB ST.





ARCHITECTURAL REVIEW BOARD

TABBY ROADS

BLUFFTON, SC

Nov 9, 2025

Lot 51, 4 Blue Crab, Bluffton, South Carolina 29910
BLUE CRAB BLUFFTON LLC

To whom it may concern,

This revised letter shall serve as approval with conditions for the planned single-family residence to be built on lot 51, 4 Blue Crab Plans within the following files titled below are the basis for these comments:

2, 4, 6, 8 Blue Crab Road.HARB Review.Application.pdf

2025.12.04 Lot 51_exterior fixtures.pdf

2025.12.04 Lot 51_Garage Door Cutsheet.pdf

2025.12.4_4 Blue Crab Street_ HARB Cover Letter.pdf

2025.12.4_Lot 51_4 Blue Crab Street _ HARB Final Drawings.pdf

120325 Lot 51 Blue Crab Street Final LS Development Plans.pdf

Lot 51_Blue Crab_Final HARB_Color Board.pdf

This approval is based upon the following items of clarification:

- Per UDO, Shutters must be made from “sturdy wood”. Composite shutters are not permitted
- If gutters are installed, downspouts should terminate at French drains.
- On the base of the garage, water table trim matching the main house is required.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project.

We are sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Thank you for your understanding.
Best regards,

James Ogden, AIA, NCARB
Chairman of the Tabby Roads ARC

Cc: Charlotte Moore
Town of Bluffton

COMPOSITE PLANS LOTS 49-52





FINAL LANDSCAPE DEVELOPMENT PLANS

For

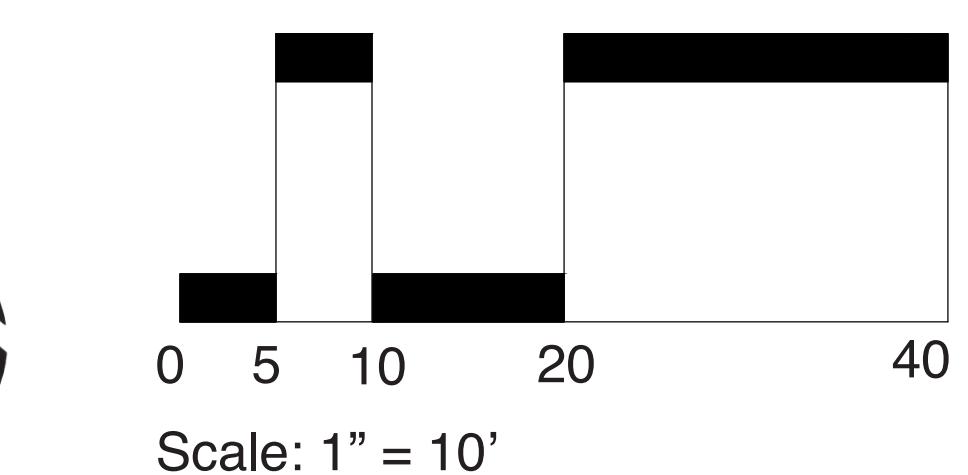
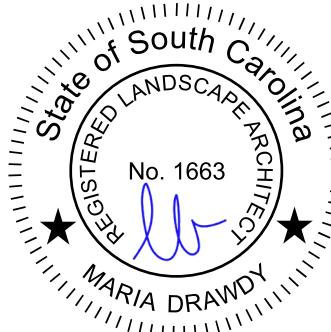
High Meadow Gardens Home

Lot 51 Blue Crab Street Bluffton, SC

December 10, 2025



Prepared By:
Maria Drawdy, PLA



MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565



LOT #52 - 2 BLUE CRAB

LOT #51 - 4 BLUE CRAB

LOT #50 - 6 BLUE CRAB

LOT #49 - 8 BLUE CRAB

① COMPOSITE FRONT ELEVATION AT BAITERS WALK
1/8" = 1'-0"



LOT #49 - 8 BLUE CRAB

LOT #50 - 6 BLUE CRAB

LOT #51 - 4 BLUE CRAB

LOT #52 - 2 BLUE CRAB

② COMPOSITE REAR ELEVATION AT BLUE CRAB STREET
1/8" = 1'-0"



LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

SHEET INDEX:

A0.0 COVER
 A0.1 GENERAL NOTES
 A1.0 SITE PLAN
 A1.1 SITE PLAN - MOBILIZATION
 A2.0 FOUNDATION PLAN
 A2.1 FIRST FLOOR PLAN
 A2.2 SECOND FLOOR PLAN
 A2.3 ROOF PLAN
 A3.0 BUILDING ELEVATIONS
 A3.1 BUILDING ELEVATIONS
 A3.2 BUILDING ELEVATIONS WITH BRICK FENCE
 A4.0 BUILDING SECTIONS
 A4.1 BUILDING SECTIONS
 A5.0 DETAILS
 A5.1 DETAILS
 A5.2 DETAILS
 A5.3 DETAILS
 A6.0 DOOR AND WINDOW SCHEDULE
 A8.1 Unnamed
 E2.1 FIRST FLOOR ELEC. PLAN
 E2.2 SECOND FLOOR ELEC. PLAN
 SURVEY

VICINITY MAP - N.T.S.



BUILDING AREA:

MAIN HOUSE TOTAL SF

First Floor	Heated and Cooled: 1,488 sq.ft.
	Covered and Enclosed: 464 sq.ft.
Second Floor	Heated and Cooled: 1,371 sq.ft.
	Covered and Enclosed: 477 sq.ft.
	Total Gross Area: 3,800 sq.ft.

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled: 346 sq.ft.
Garage-Covered and Enclosed: 540 sq.ft.
Total Gross Area: 886 sq.ft.



N.T.S.

PROJECT INFORMATION:

NAME OF PROJECT: LOT 51 - BLUE CRAB PRIVATE RESIDENCE
 ADDRESS: 4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
 OWNER / CONTACT PERSON: PATRICK MASON
 CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYS DESIGNS LLC	#1663	843-816-2565

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R.3

MIXED OCCUPANCY: Yes No Separation _____ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
 III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes No X Type _____
 SPRINKLERED: Yes No X _____
 FIRE DISTRICT: Yes No X _____
 BUILDING HEIGHT: 30'-6" A.F.F. Number of Stories: 2 _____
 MEZZANINE: Yes No X _____
 HIGH RISE: Yes No X _____

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATIVE AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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REPRODUCER. THE REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date: 12.03.2025

Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

COVER

A0.0

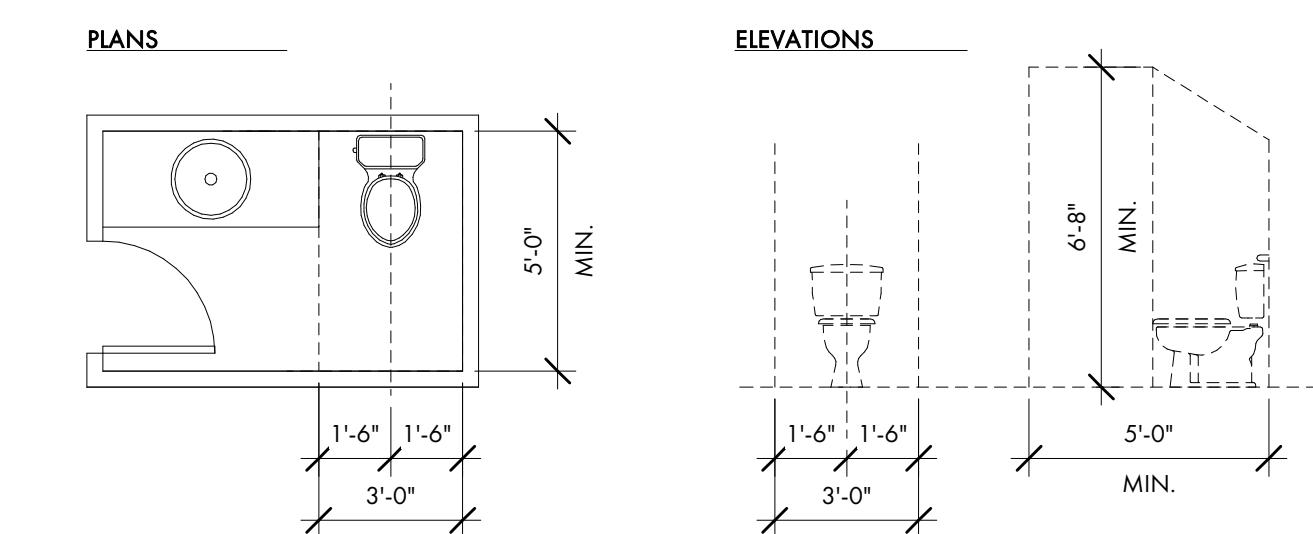


ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ASF	ABOVE SUBFLOOR
A/C	AIR CONDITIONER
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
A/V	AUDIO/VISUAL
BD	BOARD
BF	BI-FOLD
BKG	BLOCKING
BLDG	BUILDING
B.O.	BOTTOM OF
BOD	BASIS OF DESIGN
BRG	BEARING
BTW	BETWEEN
CAB	CABINET
CANT	CANTILEVER
CEN	CENTER
CI	CEILING JOIST
CL	CENTERLINE
CLG	CEILING
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CT	CERAMIC TILE
DBL	DOUBLE
DEMO	DEMOULISH
DH	DOUBLE HUNG
DIA	DIAMETER
DIM	DIMENSION
DIST	DISTANCE
DN	DOWN
DP	DESIGN PRESSURE
DR	DOOR
DW	DISHWASHER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EXIST	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FDTN	FOUNDATION
FF	FIRST FLOOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FIX	FIXTURE
FIXT	FIXTURE
FLUOR	FLUORESCENT
FLR	FLOOR
FRZ	FREEZER
FRMG	FRAMING
FT	FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZE
G.C.	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GL	GLASS
GYP	GYPSUM
HB	HOSE BIBB
HDR	HEADER
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
IN	INCH
INCL	INCLUDE
INSUL	INSULATION
INT	INTERIOR
IRC	INTERNATIONAL RESIDENTIAL CODE
JST	JOIST

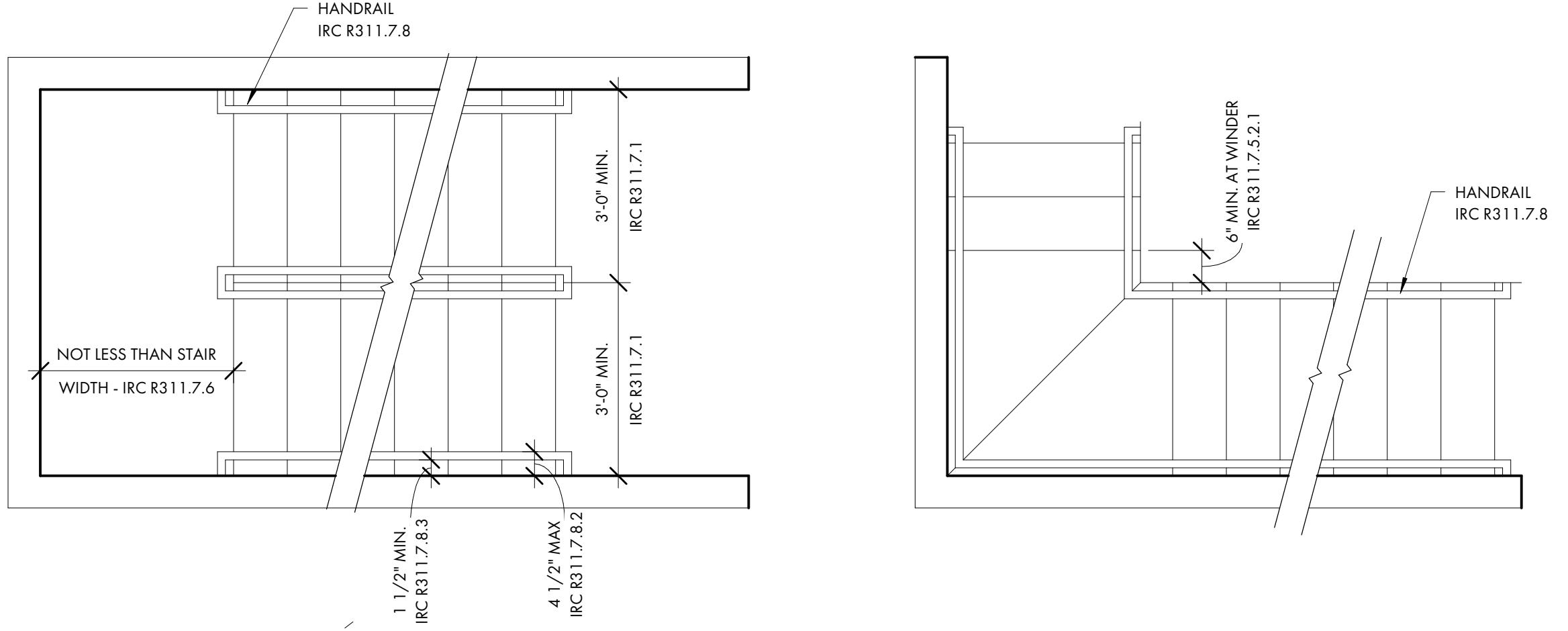
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS

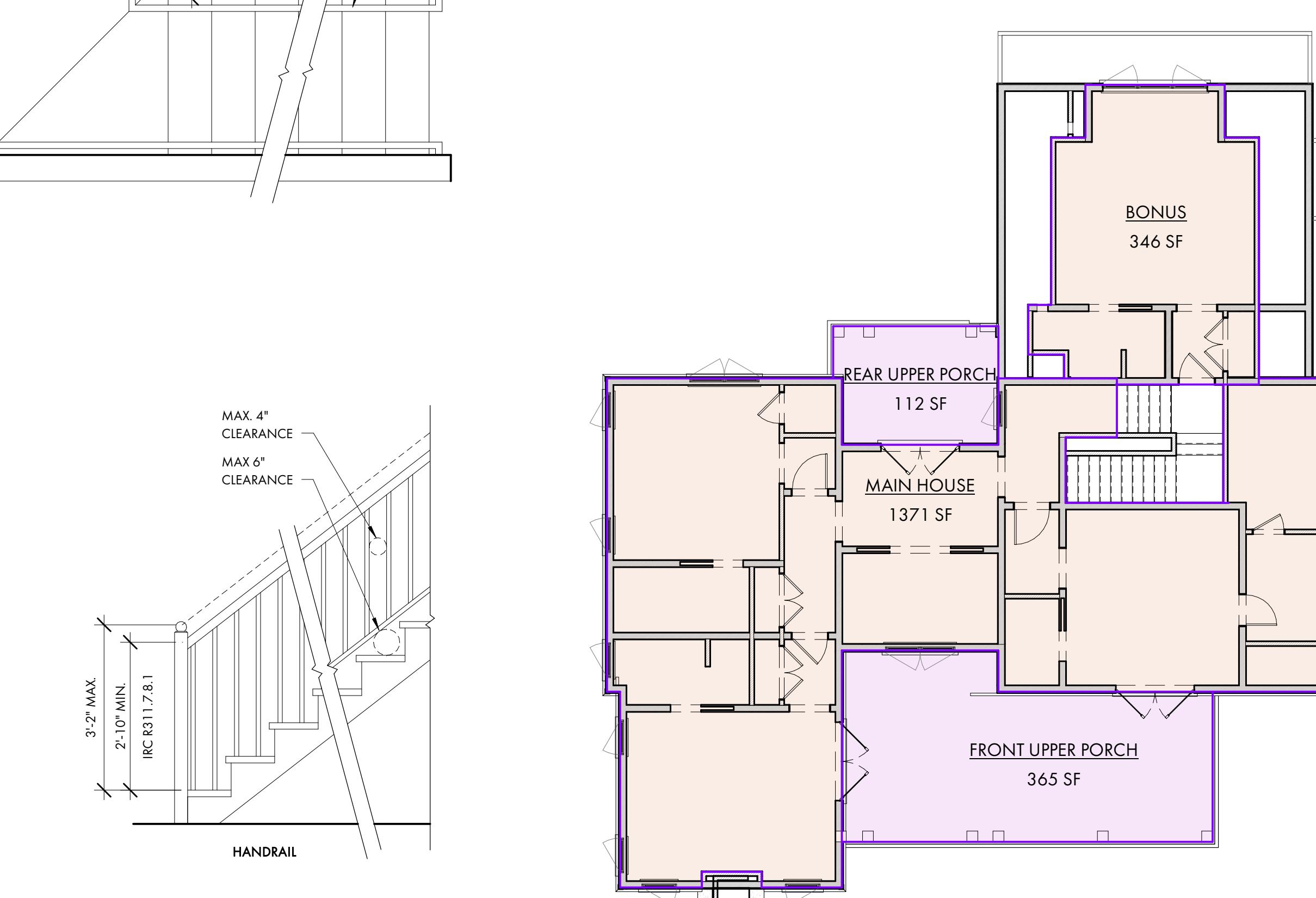
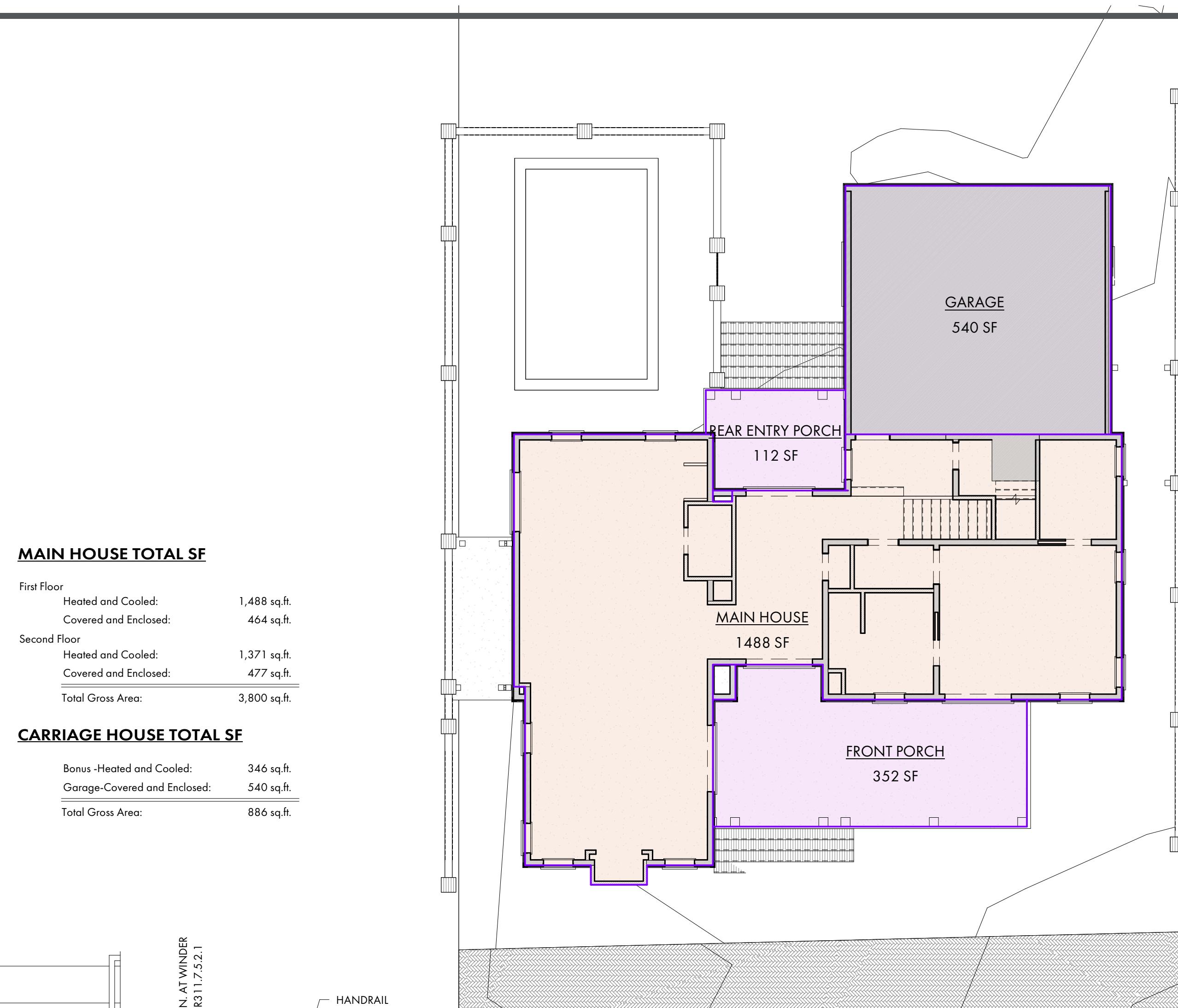
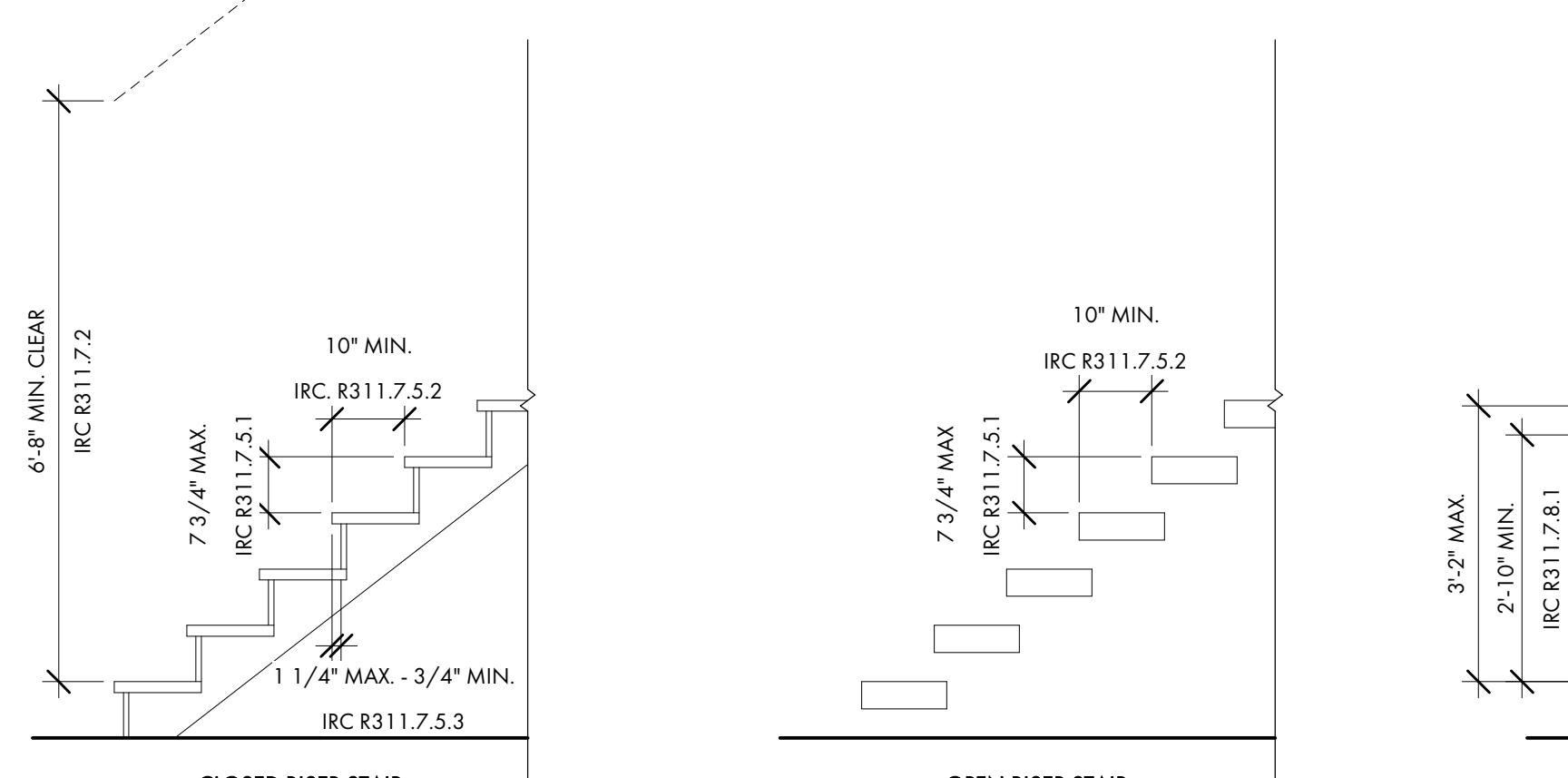
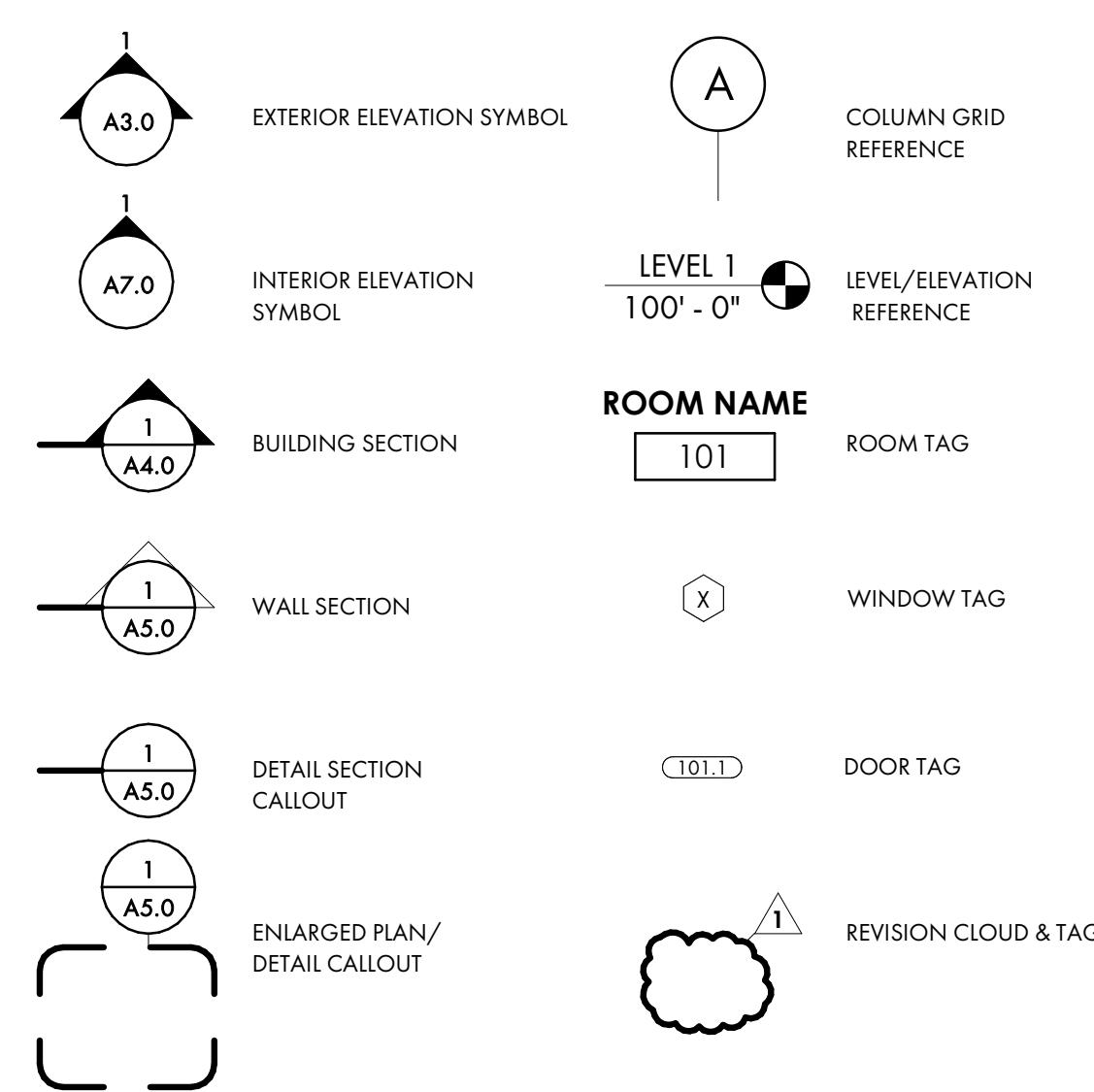


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS





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SITE PLAN CALCS:

TOTAL LOT AREA 5,143 SQ. FT.
BUILDING FOUNDATION FOOTPRINT 2,548 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS) 378 SQ. FT.
WATER LATERALS (IMPERVIOUS) 186 SQ. FT.
POOL & TERRACE (IMPERVIOUS) 631 SQ. FT.
IMPERVIOUS COVER (LOT AREA) 3,743 SQ. FT.
IMPERVIOUS TO LOT RATIO 72%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICAADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALL & TERRACE LAYOUTS
- Hardscape Details

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY

LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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PROJECT INFO

Date 12.03.2025

Project No. 25-072

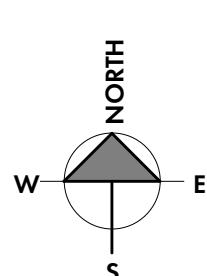
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NO. REV. DATE DESCRIPTION

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SITE PLAN

A1.0



LEGEND

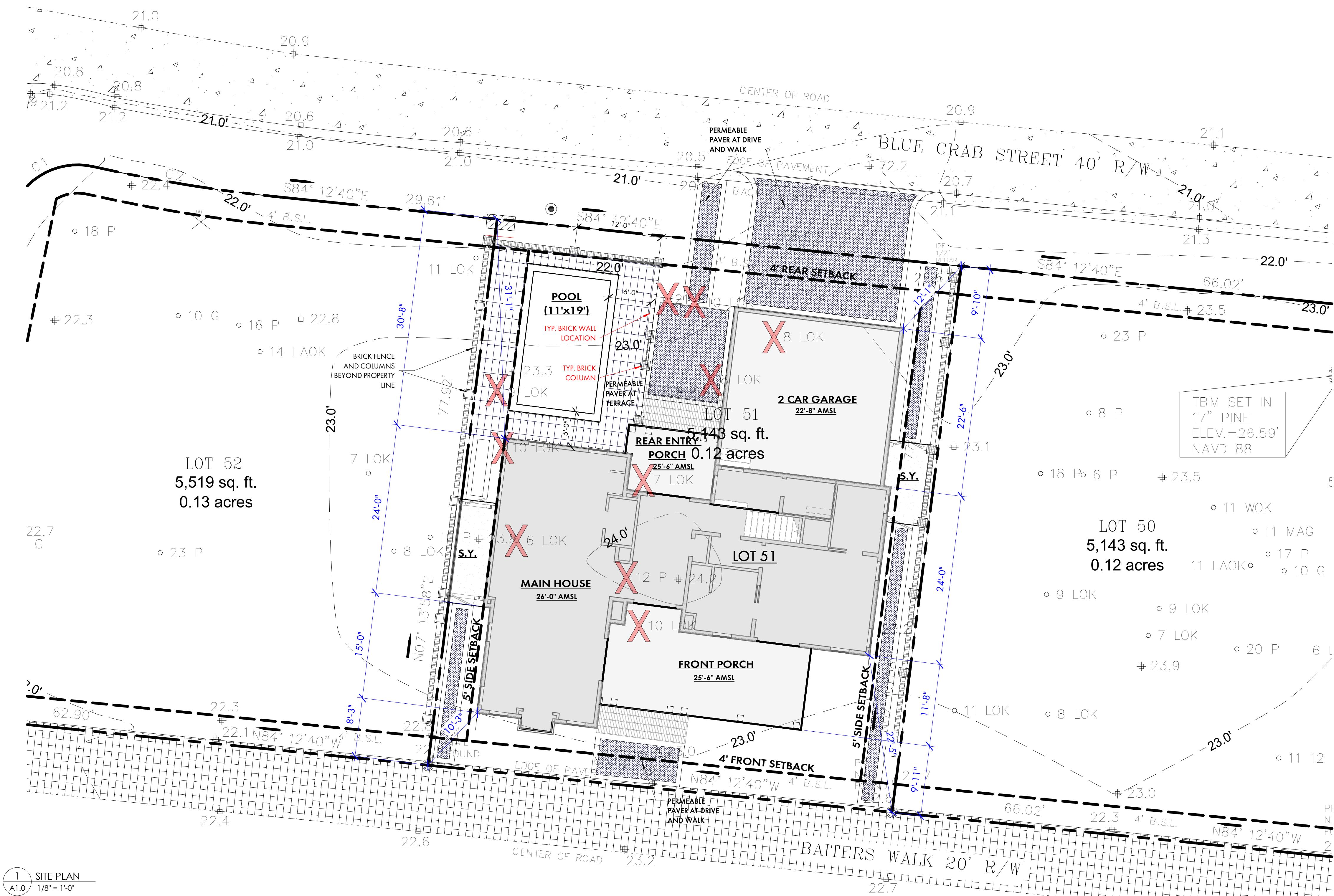
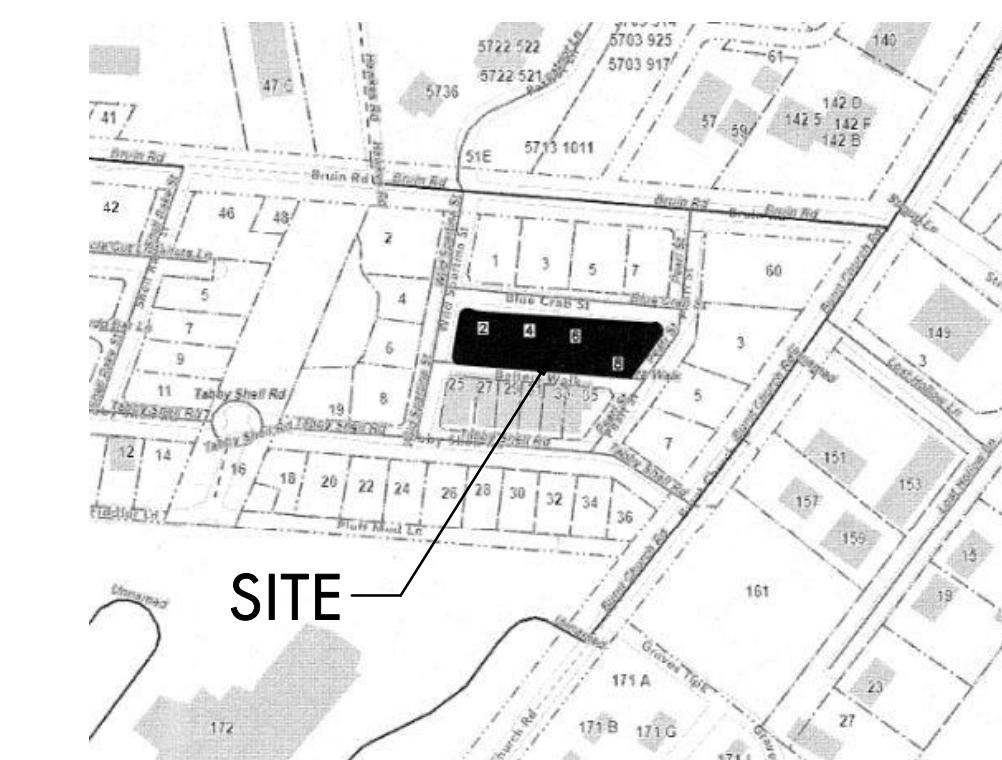
- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/ COMMUNICATOR
- SEWER LATERAL
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- SPOT ELEVATION SHOTS
- CONTOUR LINES
- XFER - TRANSFORMER
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- GRATE INLET
- POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- GUY LINE
- LIGHT POLE
- STORM DRAIN MANHOLE
- FIBEROPTICS MANHOLE
- PROPANE TANK

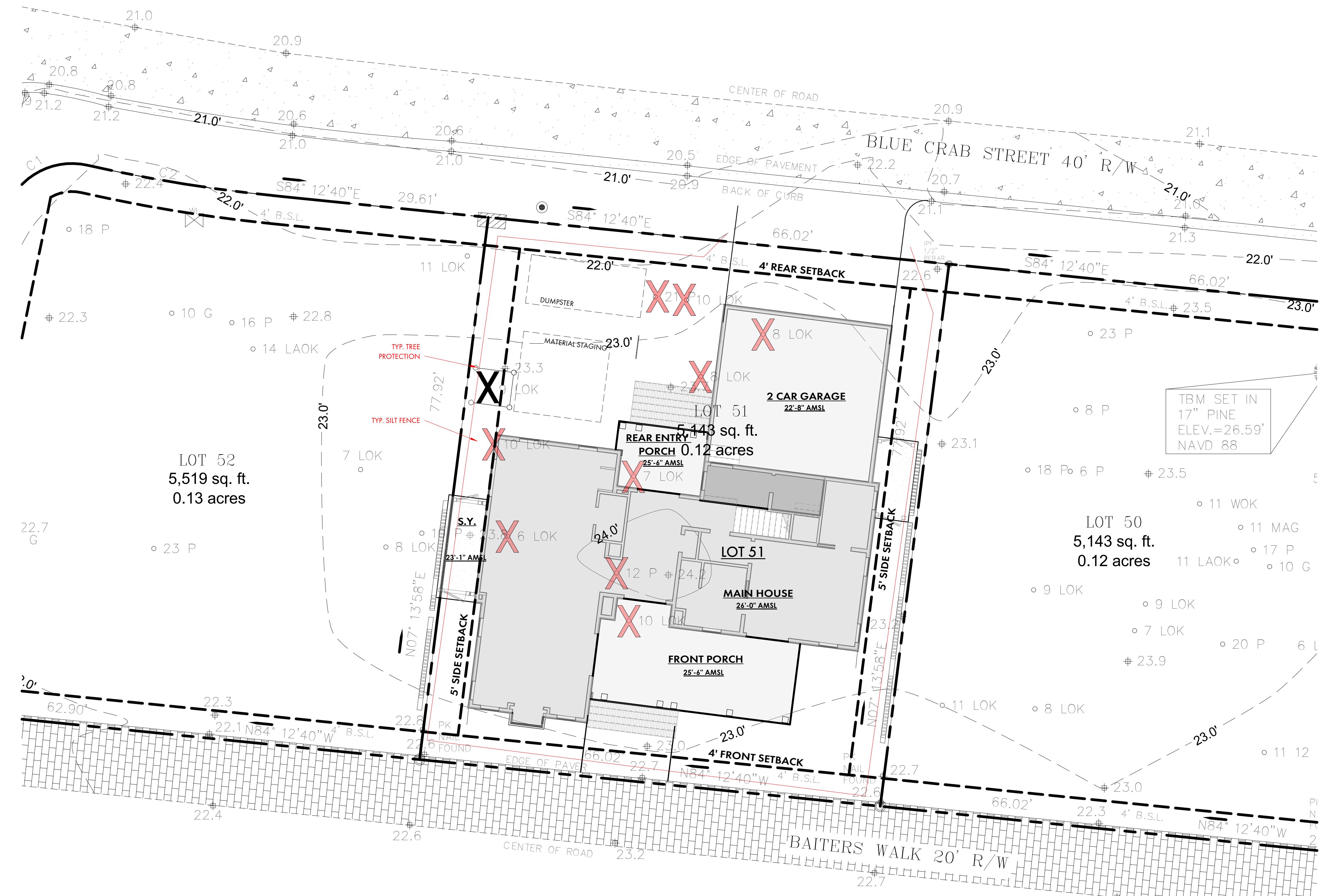
Notes:

- According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
- This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):

PLAT BOOK 142 AT PAGE 119







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LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
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FOUNDATION PLAN NOTES:
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

**G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR
TRADES PRIOR TO PLACING SLAB.**

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING
AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO
COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK
LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

FOUNDATION NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH.
DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF
STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

**UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL
ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS
FOLLOWS:**

AT ALL RETAINING / FOUNDATION WALL LOCATIONS WITH FULL
WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL
DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND
DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL
WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:
SEE STRUCTURAL ENGINEERING DOCUMENTS.

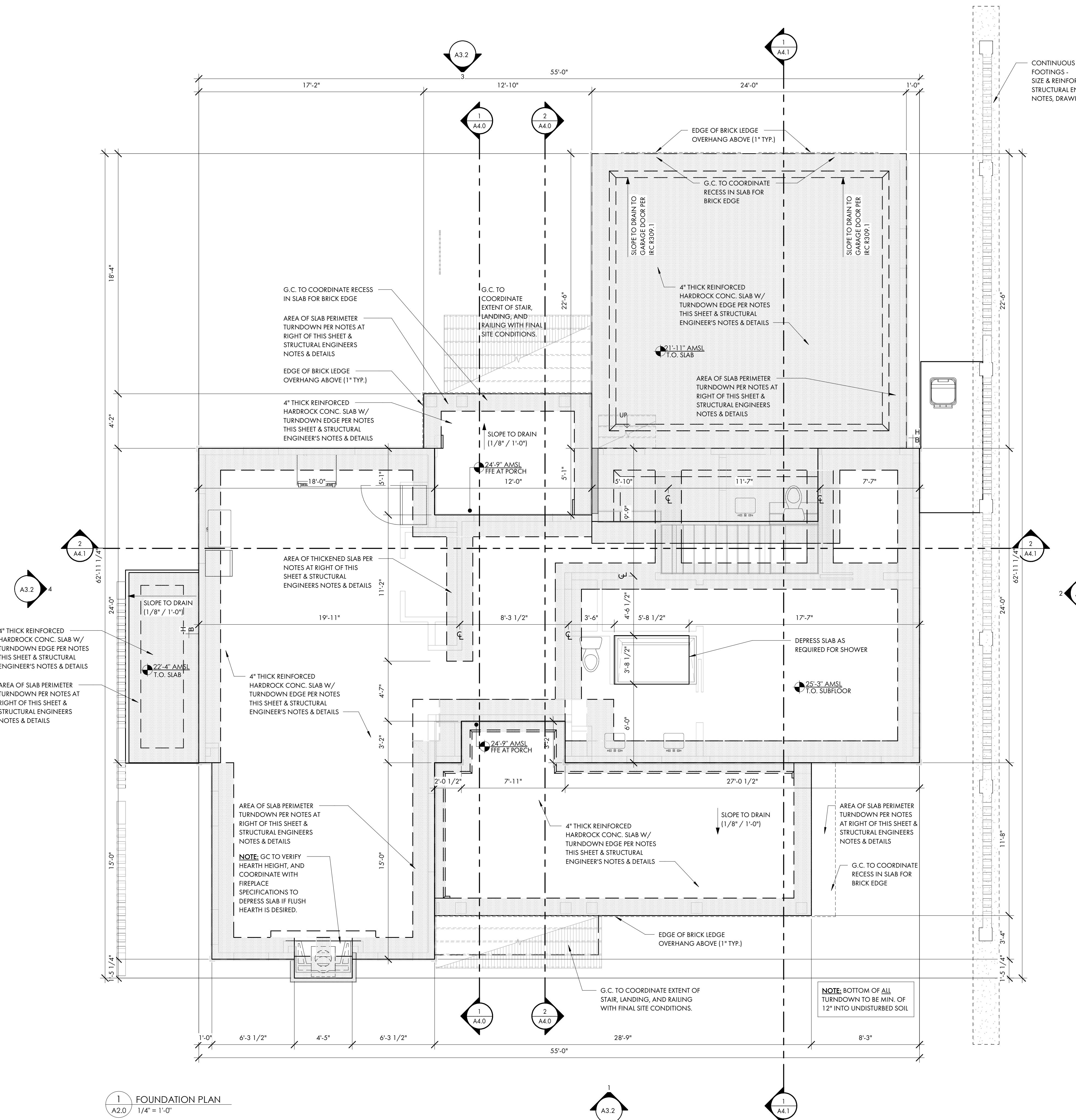
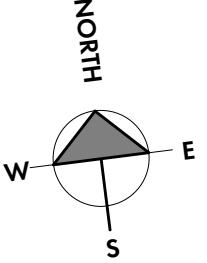
TYPICAL SLAB ON GRADE:
4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK
BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING
DOCUMENTS

TYPICAL PIERCED BRICK LANDSCAPE WALL:
FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x
32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO
OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT
REINFORCING DURING CONCRETE PLACEMENT PERIRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS,
U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

CONCRETE TURN-DOWN EDGE /
THICKENED SLAB / CMU FOOTING
 CONCRETE SLAB



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Project No.
25-072

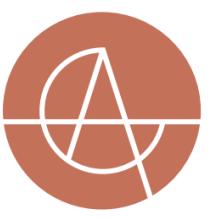
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FOUNDATION PLAN

A2.0



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EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
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CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SETTE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR
VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST
SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE
TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE
SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND
BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
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ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR
SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND
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U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF
ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND
DETAILS.

FLOOR PLAN - SYMBOL KEY

— 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

— 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

LOT 51 - BLUE CRAB PRIVATE
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4 BLUE CRAB STREET - TABBY
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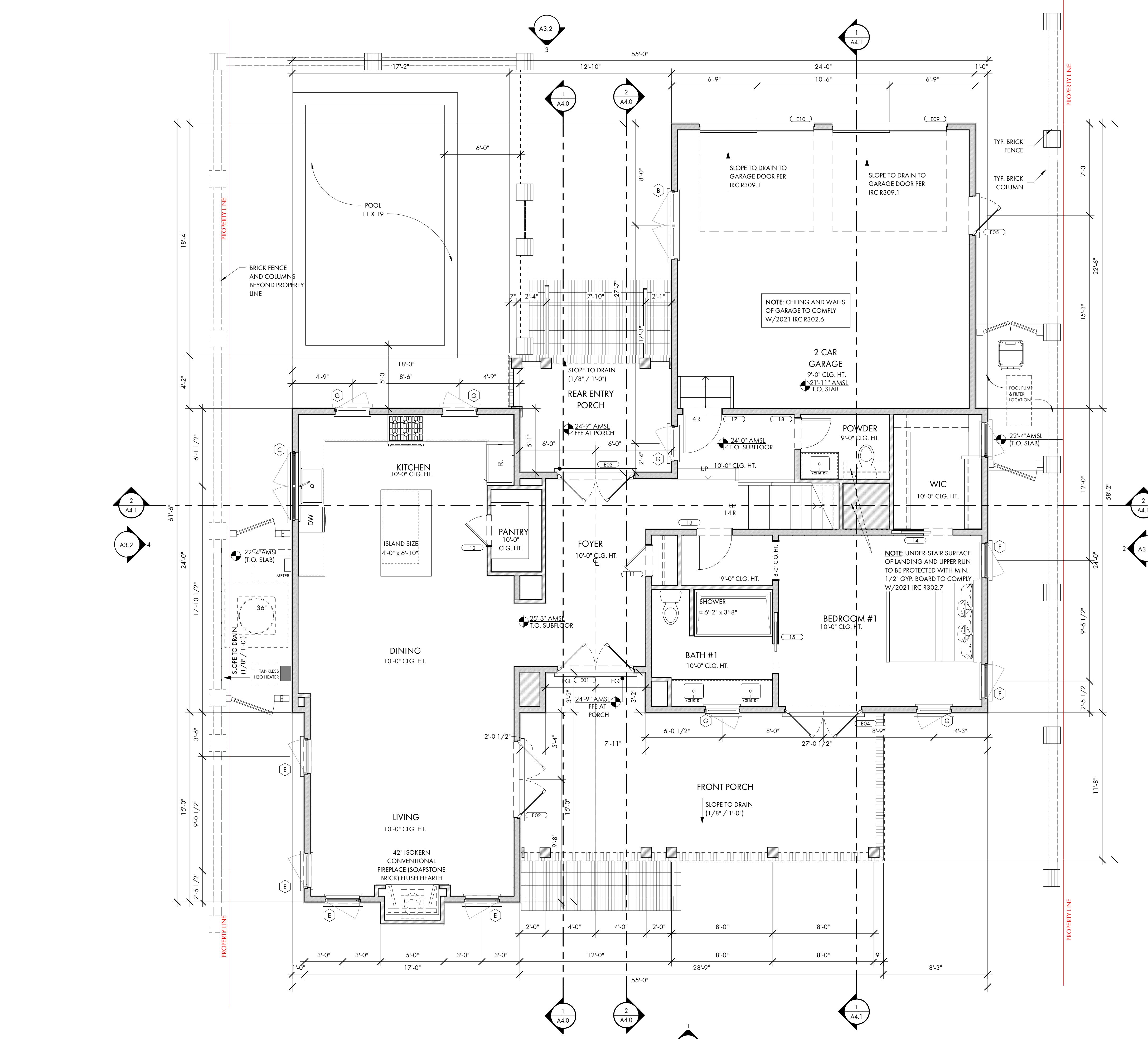
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SHEET TITLE

FIRST FLOOR PLAN

A2.1





SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
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CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
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3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST
SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE
TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE
SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND
BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
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ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR
SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND
FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES
U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF
ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND
DETAILS.

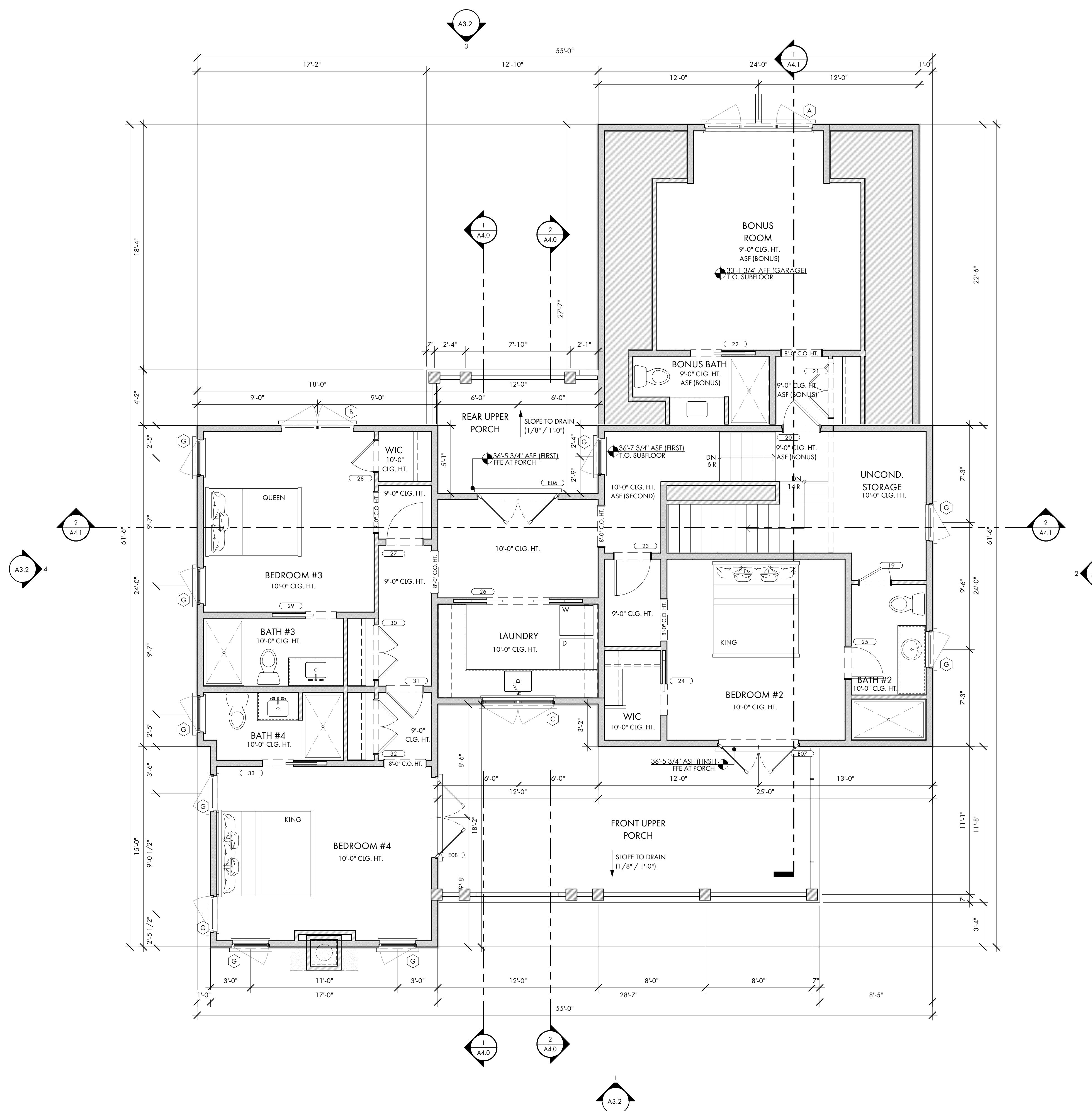
FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"

SHEET TITLE

SECOND FLOOR PLAN

A2.2



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SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SETTE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
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PORCH FLOOR SYSTEM:
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BONUS ROOM FLOOR SYSTEM:
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ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
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ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

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FLOOR PLAN - SYMBOL KEY

— 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

— 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
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Project No.
25-072

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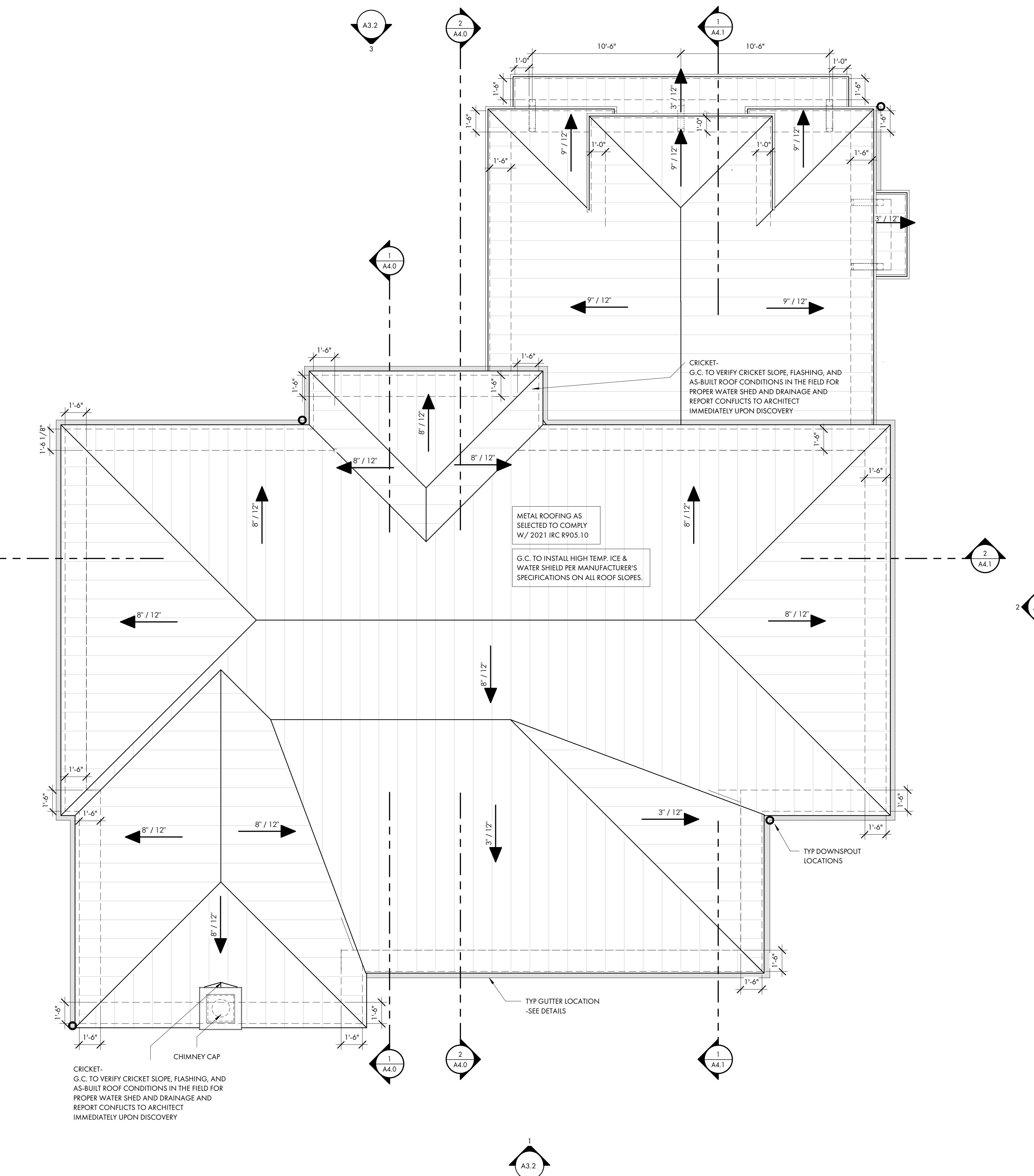
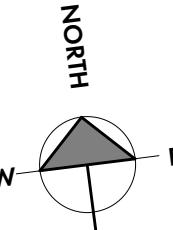
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SHEET TITLE

ROOF PLAN

A2.3

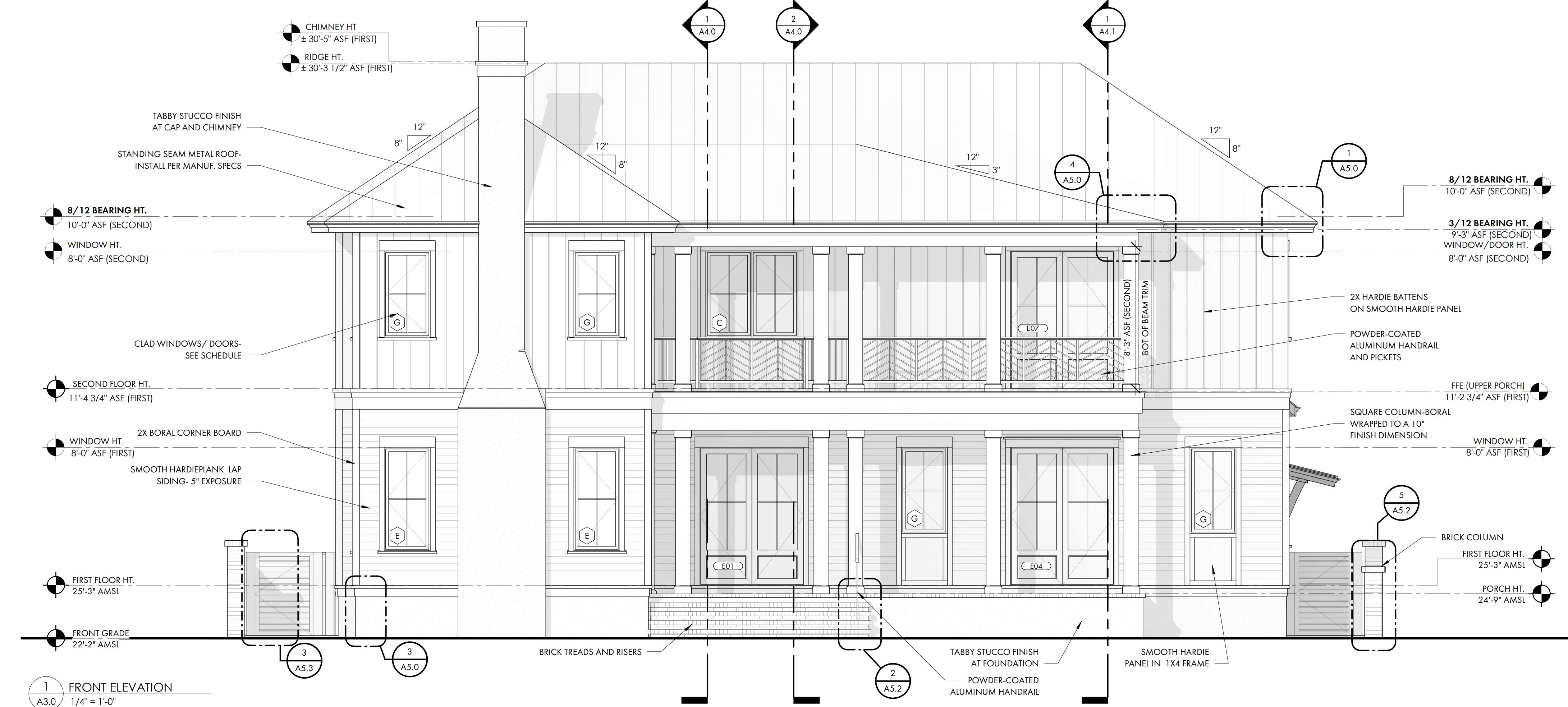
1
A2.3 ROOF PLAN
1/4" = 1'-0"





LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
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LOT 51 - BLUE CRAB PRIVATE RESIDENCE

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ROADS.

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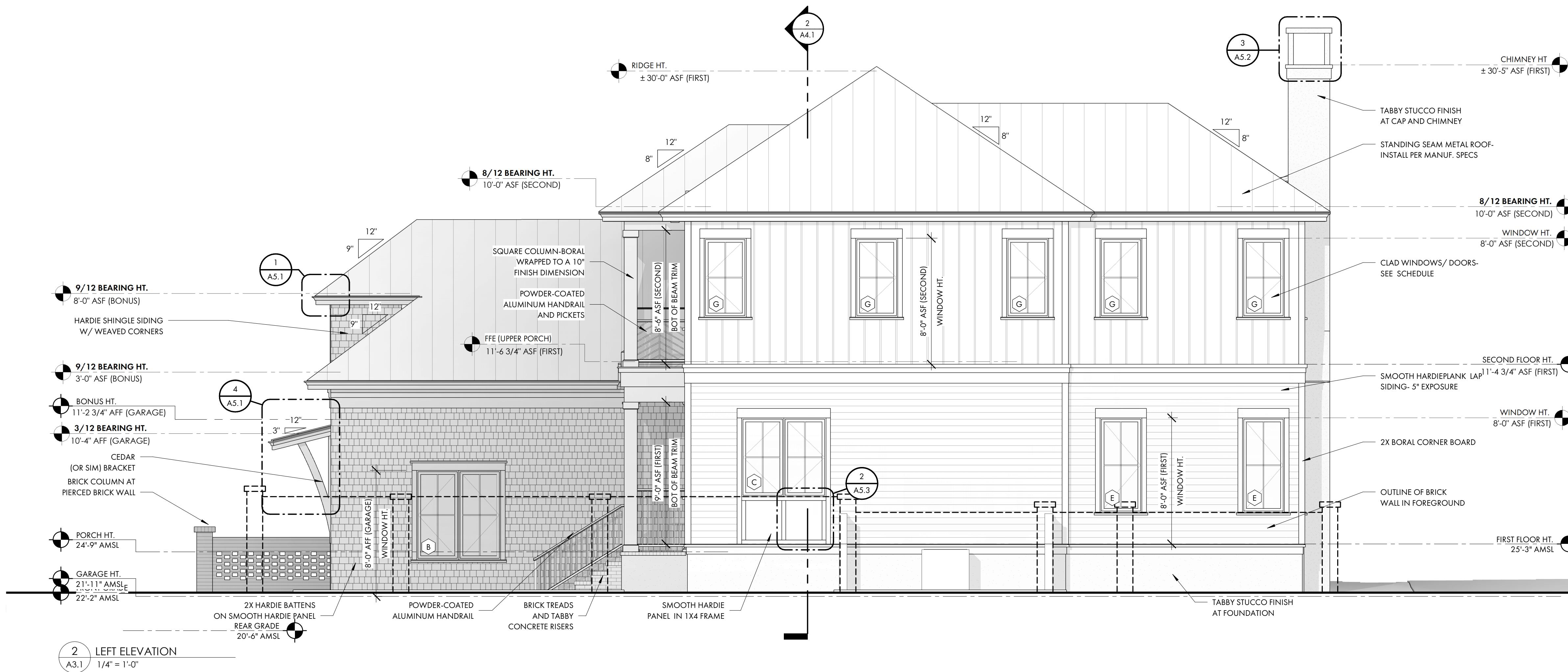
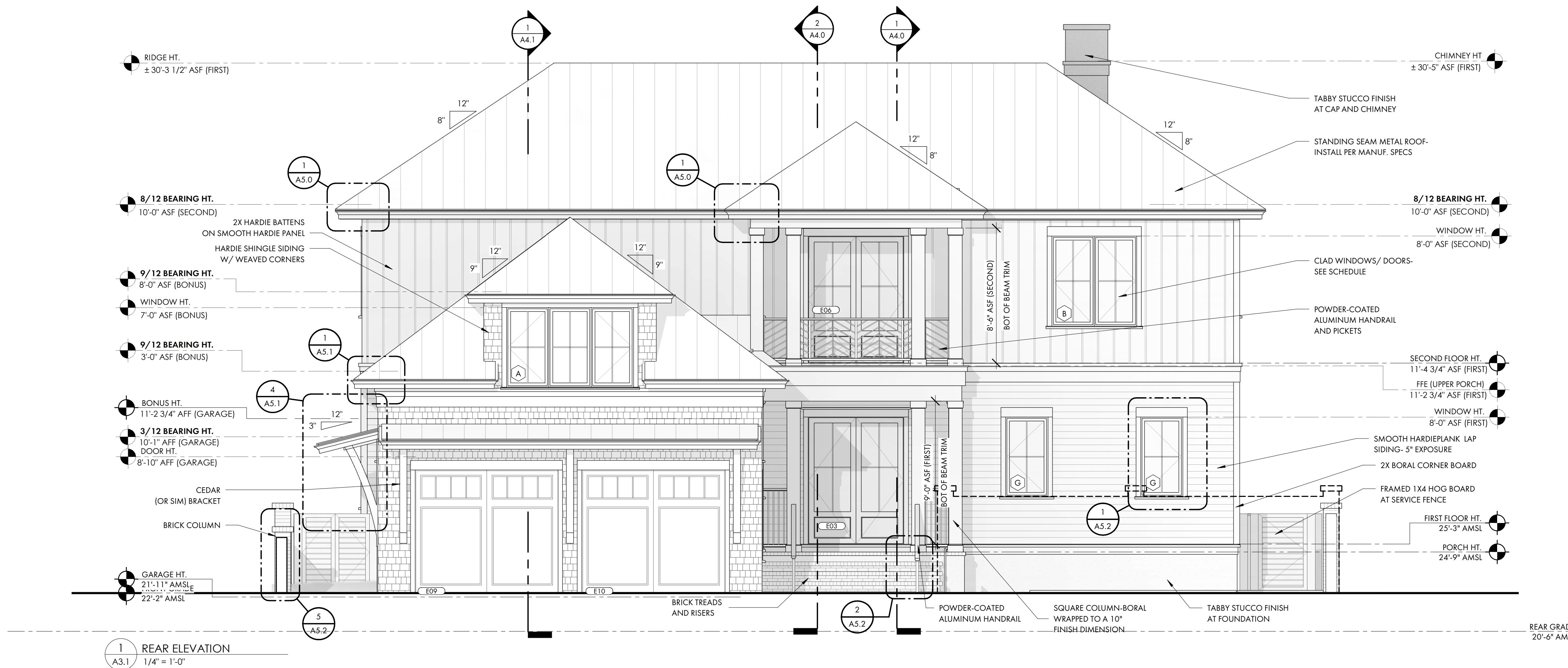
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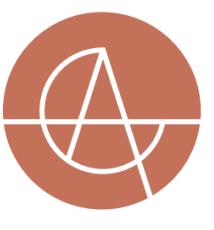
DISCUSSION

SHEET TITL

BUILDING ELEVATIONS

A3.1





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SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



1 FRONT ELEVATION
A3.2 3/16" = 1'-0"



2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



3 REAR ELEVATION
A3.2 3/16" = 1'-0"



4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



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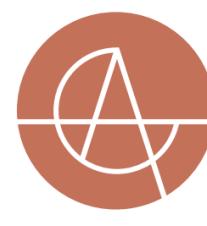
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SHEET TITLE

BUILDING 3D VIEWS



A3.3



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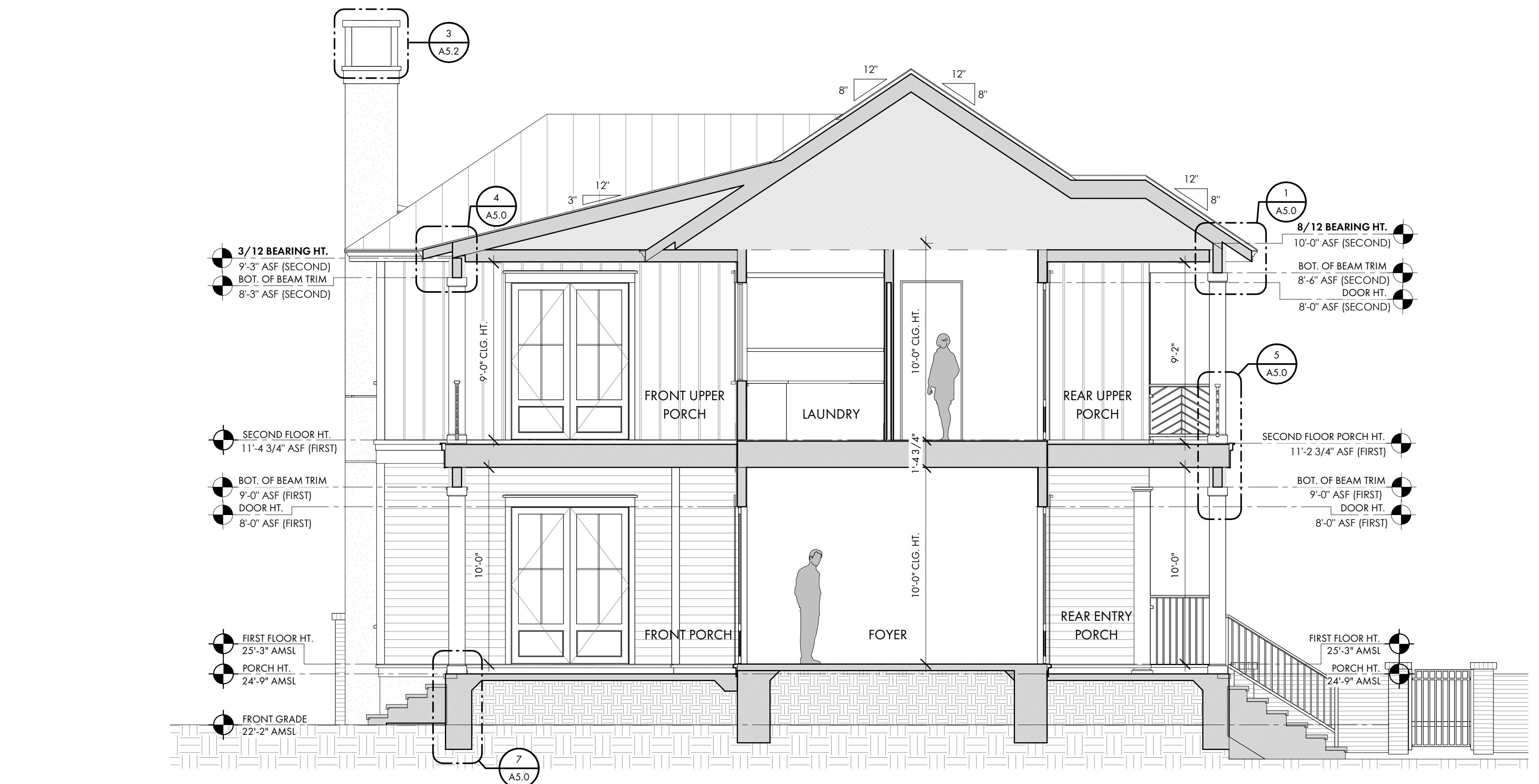
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BUILDING SECTIONS

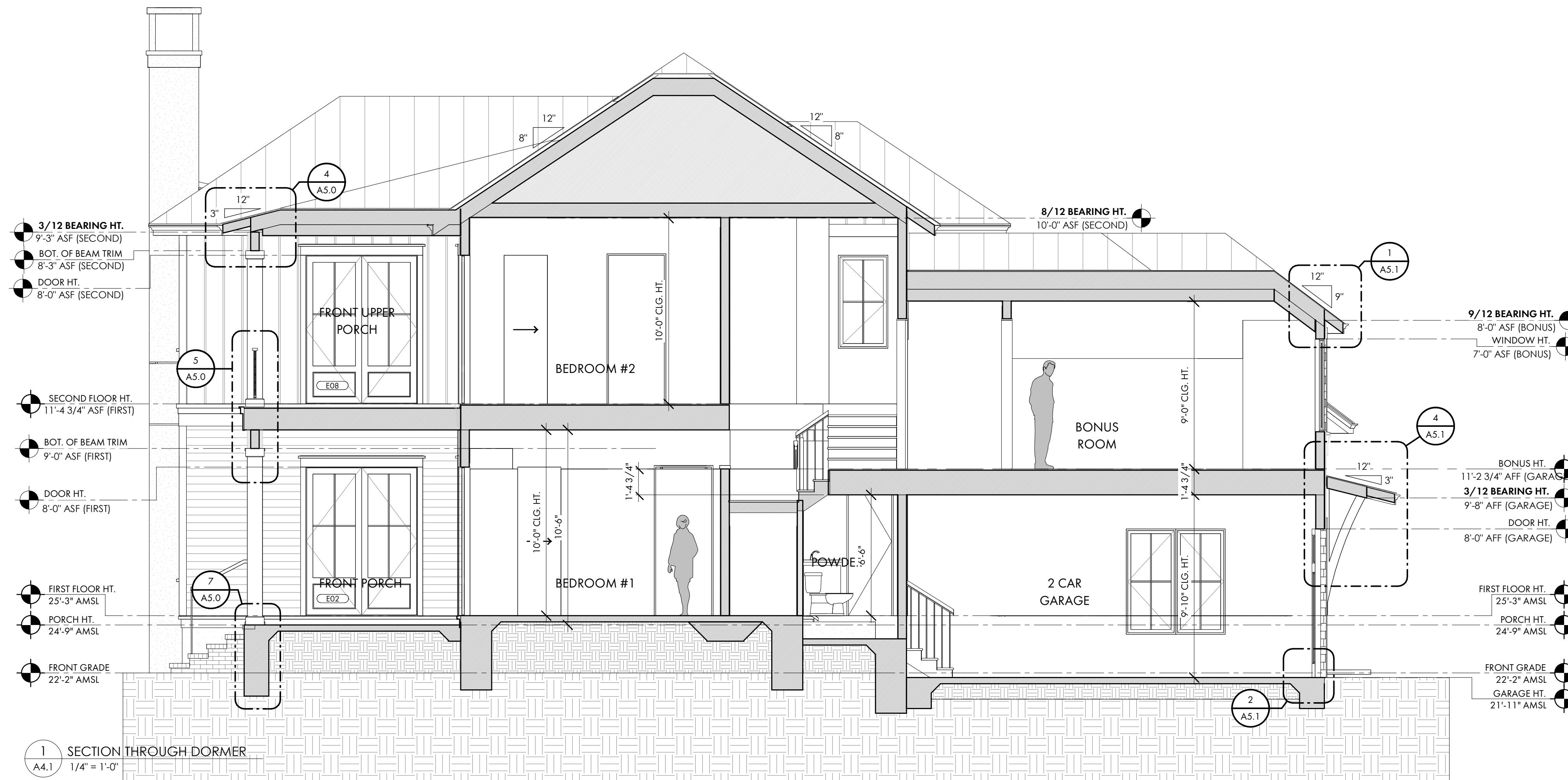
A4.0



LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC

ROADS
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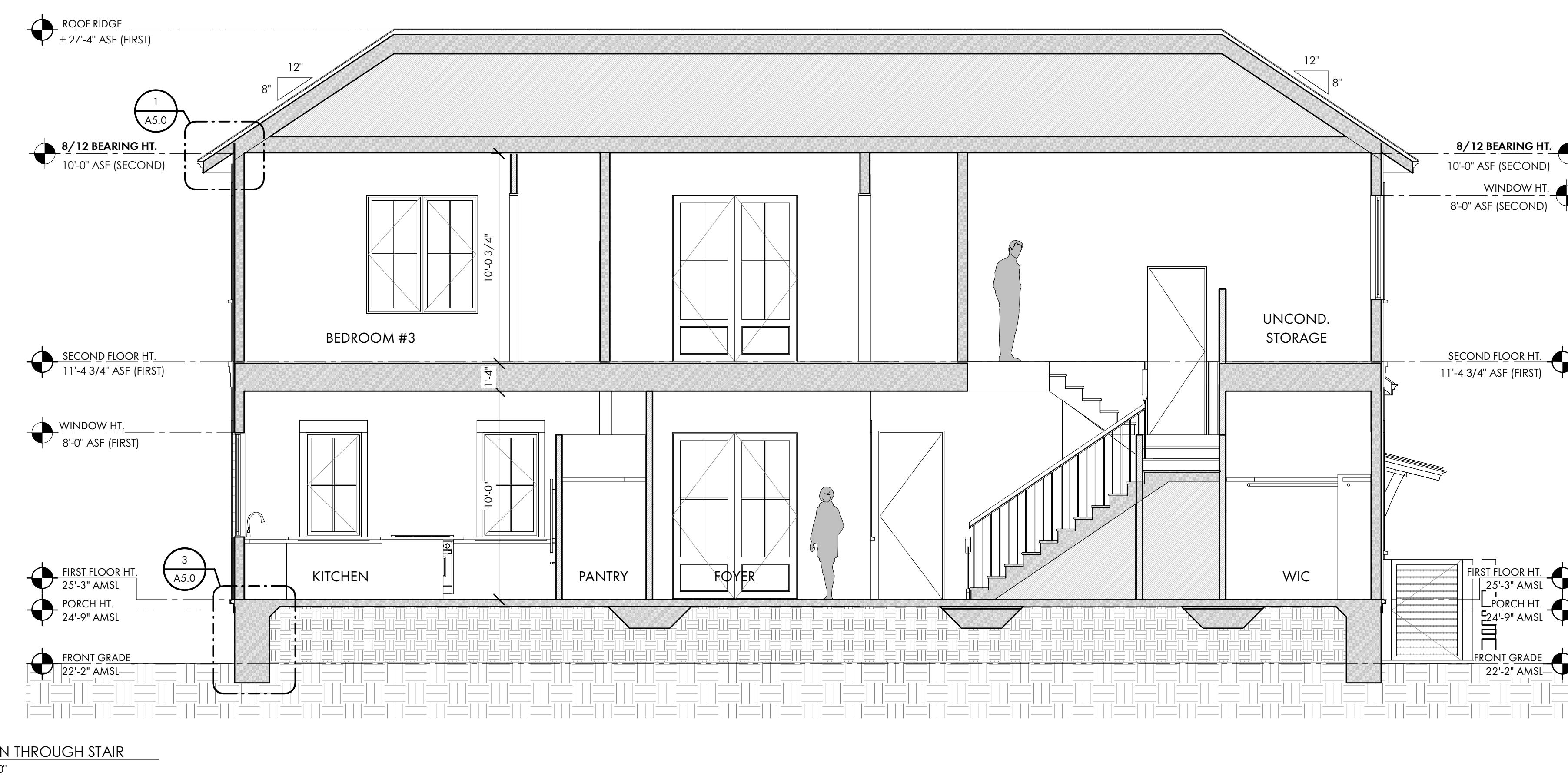
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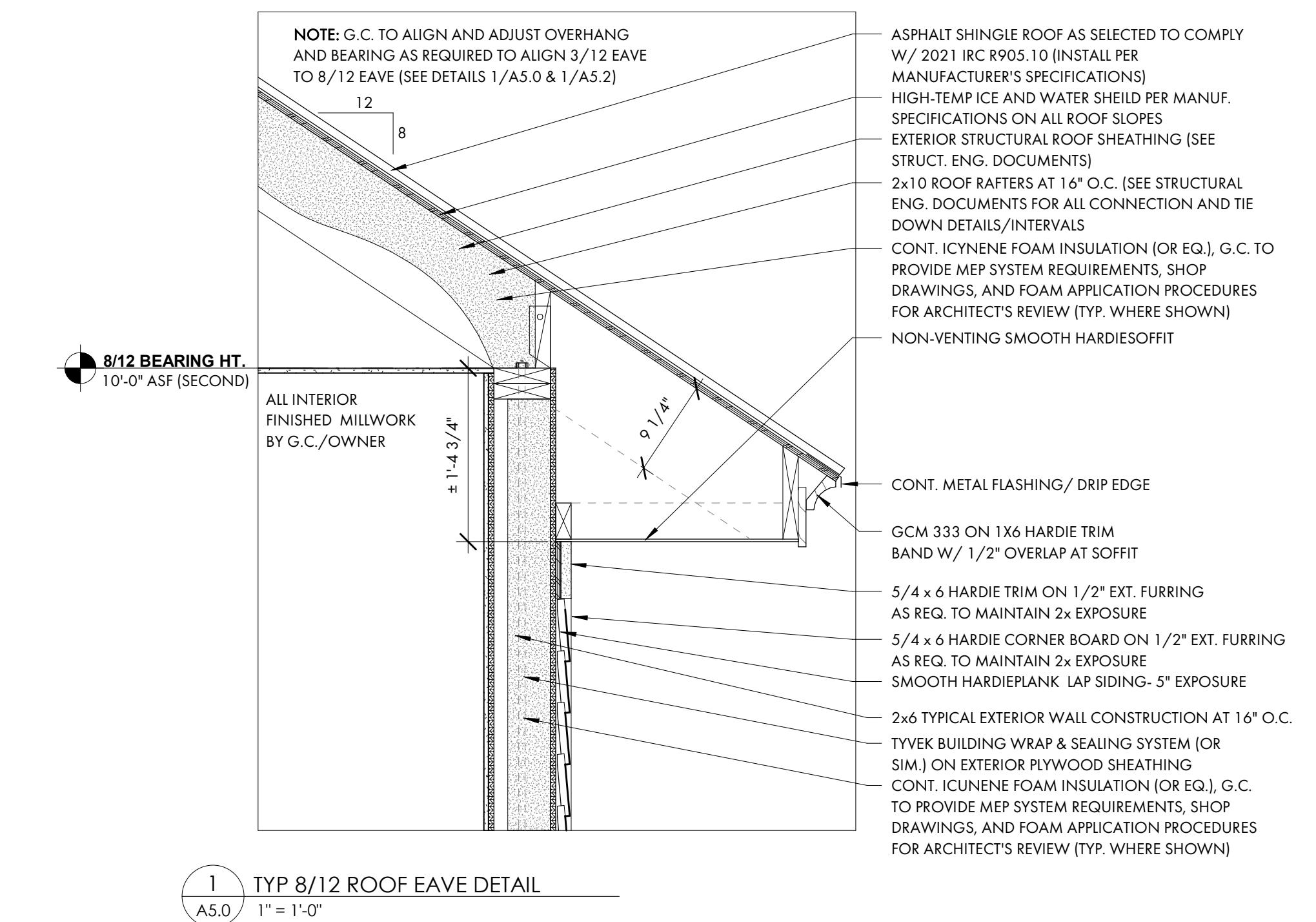
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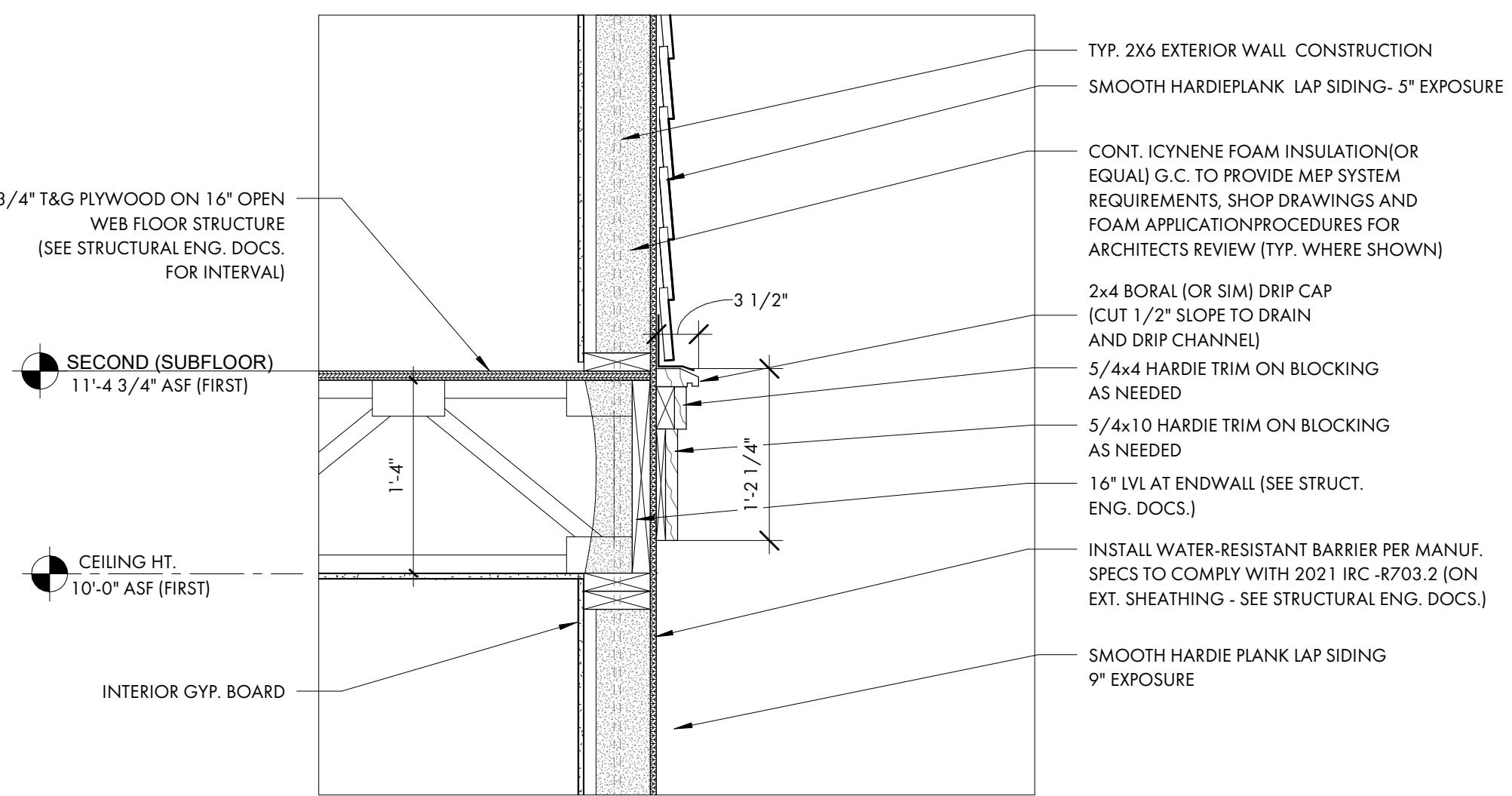
BUILDING SECTIONS



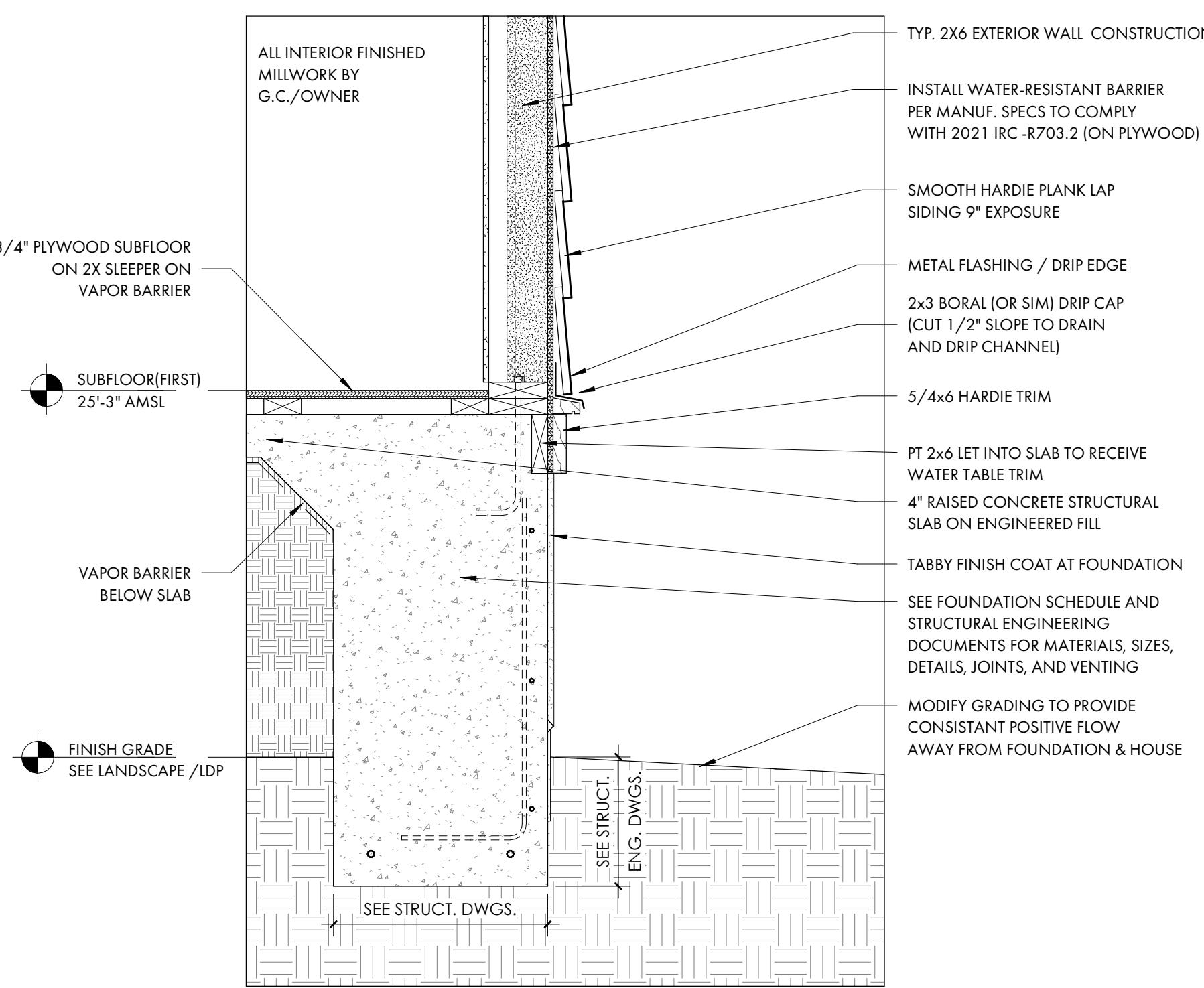
A4.1



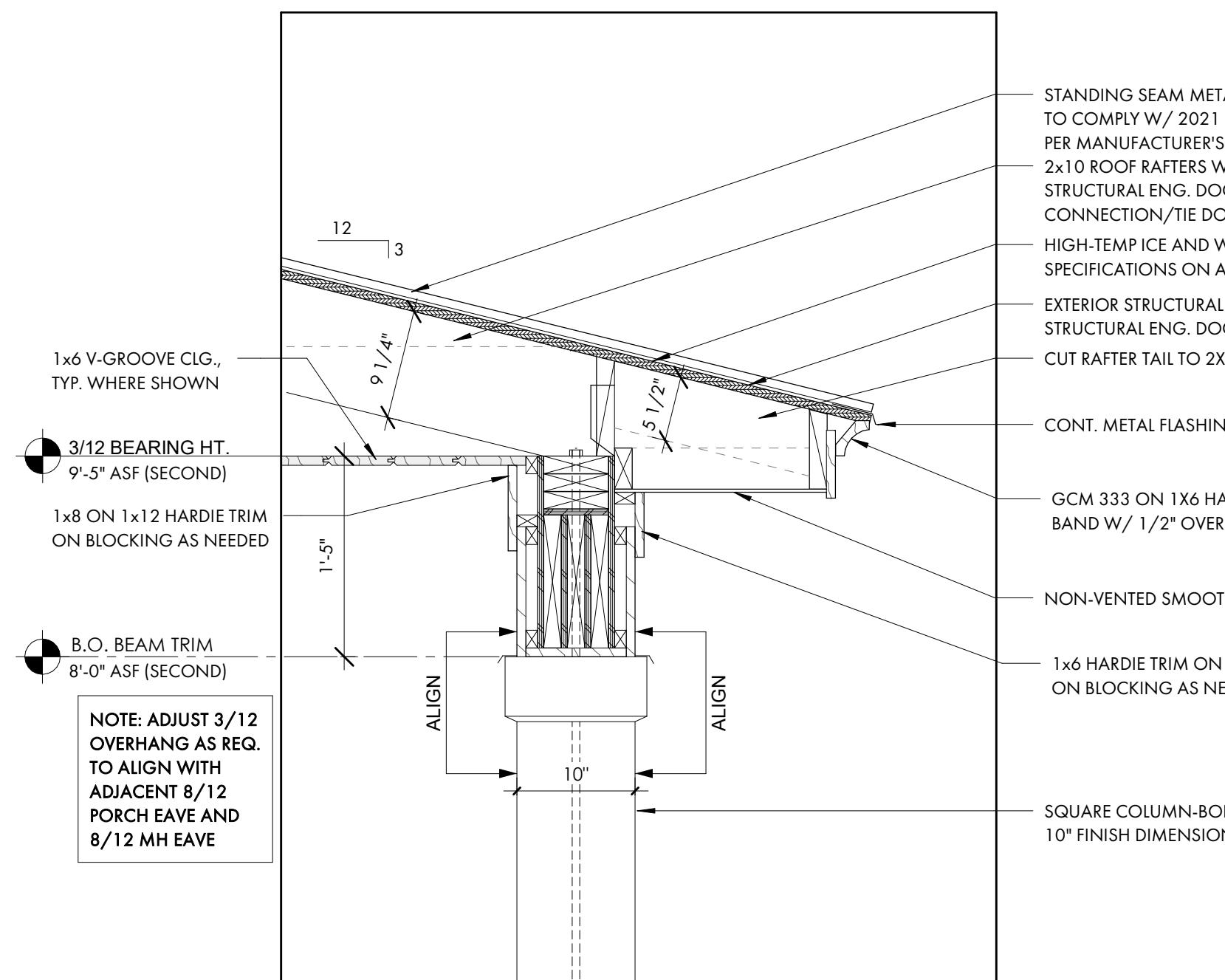
1 TYP 8/12 ROOF EAVE DETAIL
A5.0 1" = 1'-0"



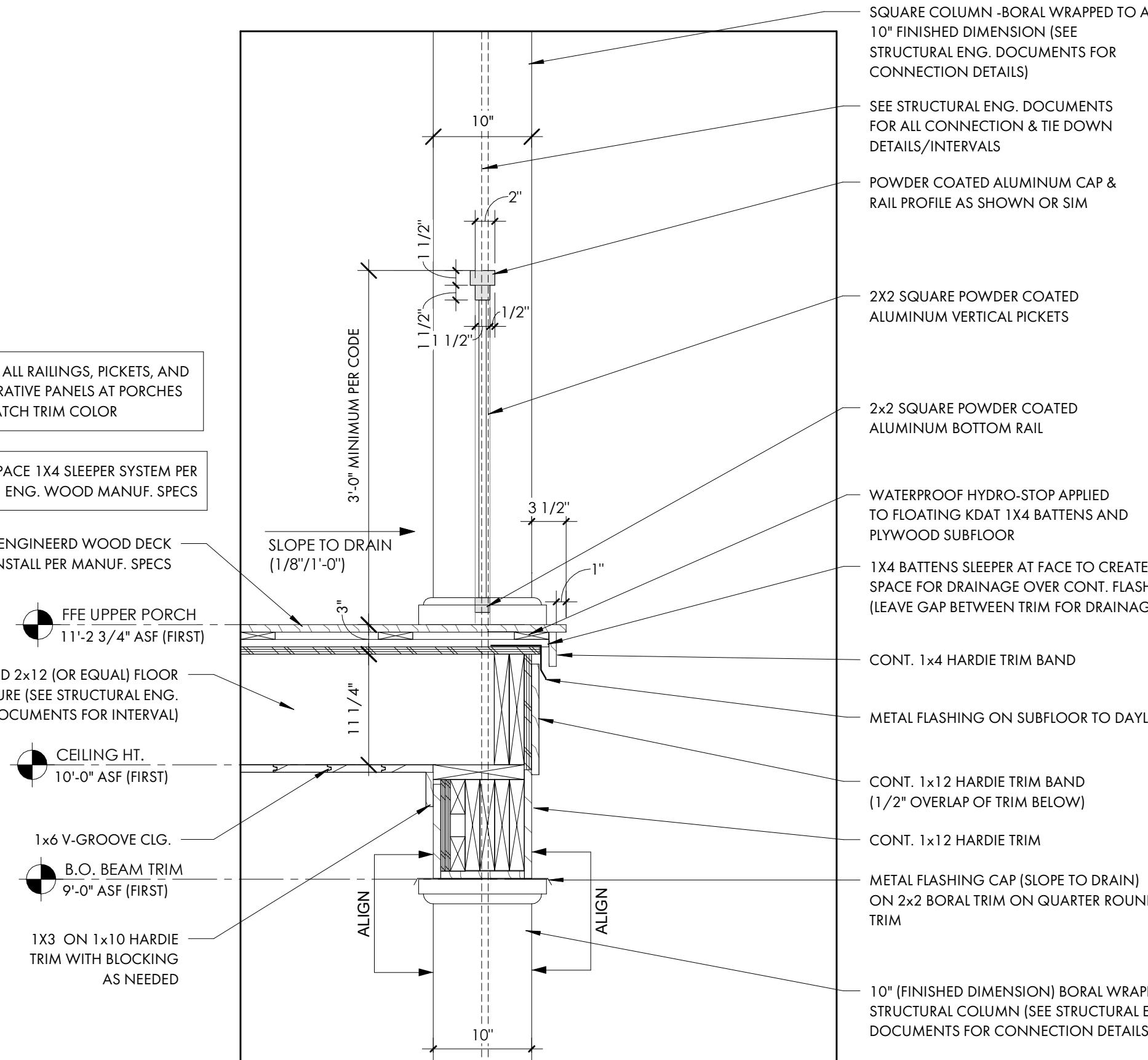
2 TYP. SECOND FLOOR DETAIL
A5.0 1" = 1'-0"



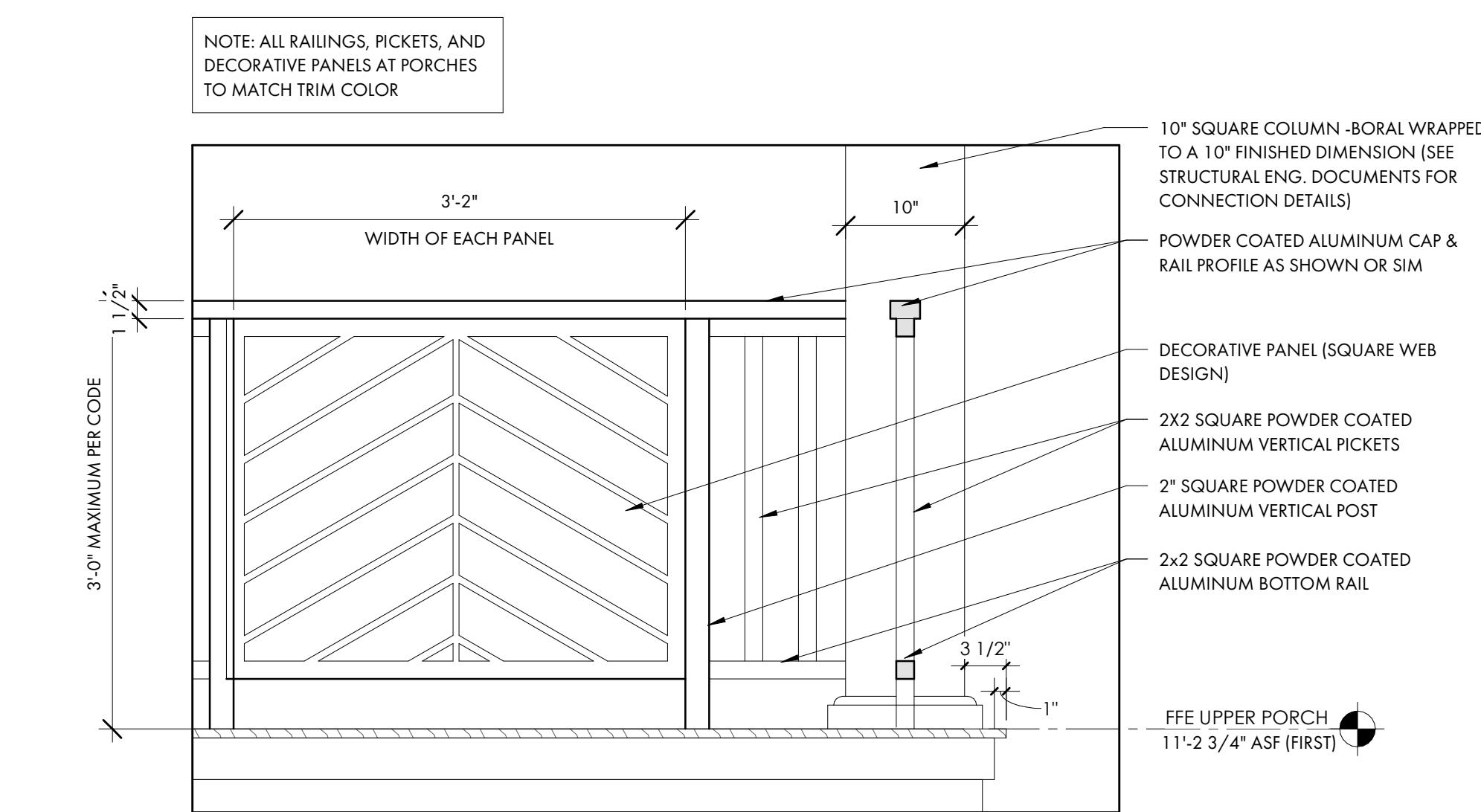
3 TYP. FOUNDATION AT MAIN HOUSE
A5.0 1" = 1'-0"



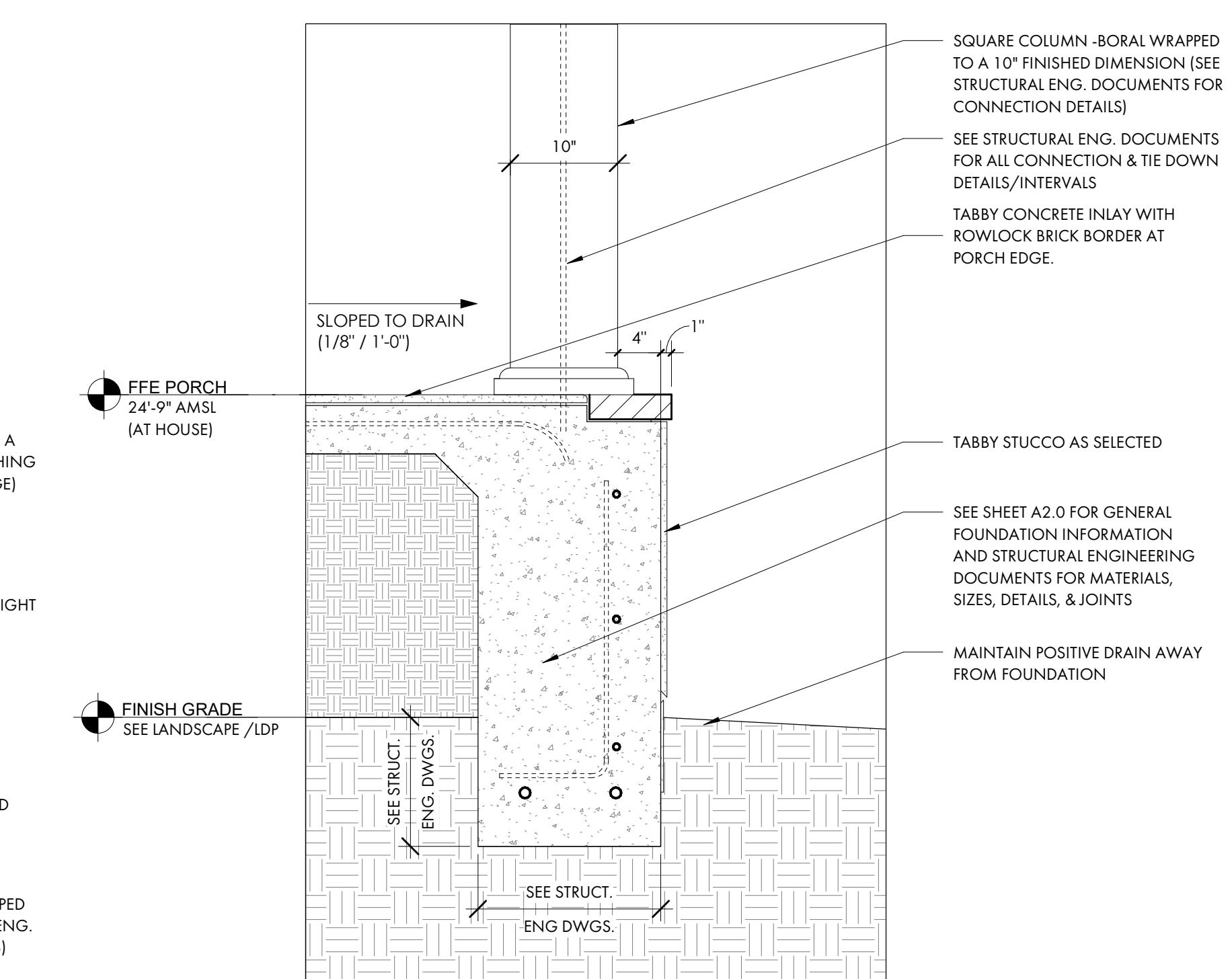
4 3/12 FRONT UPPER PORCH EAVE DETAIL
A5.0 1" = 1'-0"



5 TYP. UPPER PORCH AND RAILING DETAIL
A5.0 1" = 1'-0"



6 DECORATIVE PANEL AT RAILING
A5.0 1" = 1'-0"



7 TYP. FOUNDATION AT PORC
A5.0 1" = 1'-0"

LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY
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DETAILS

A5.0



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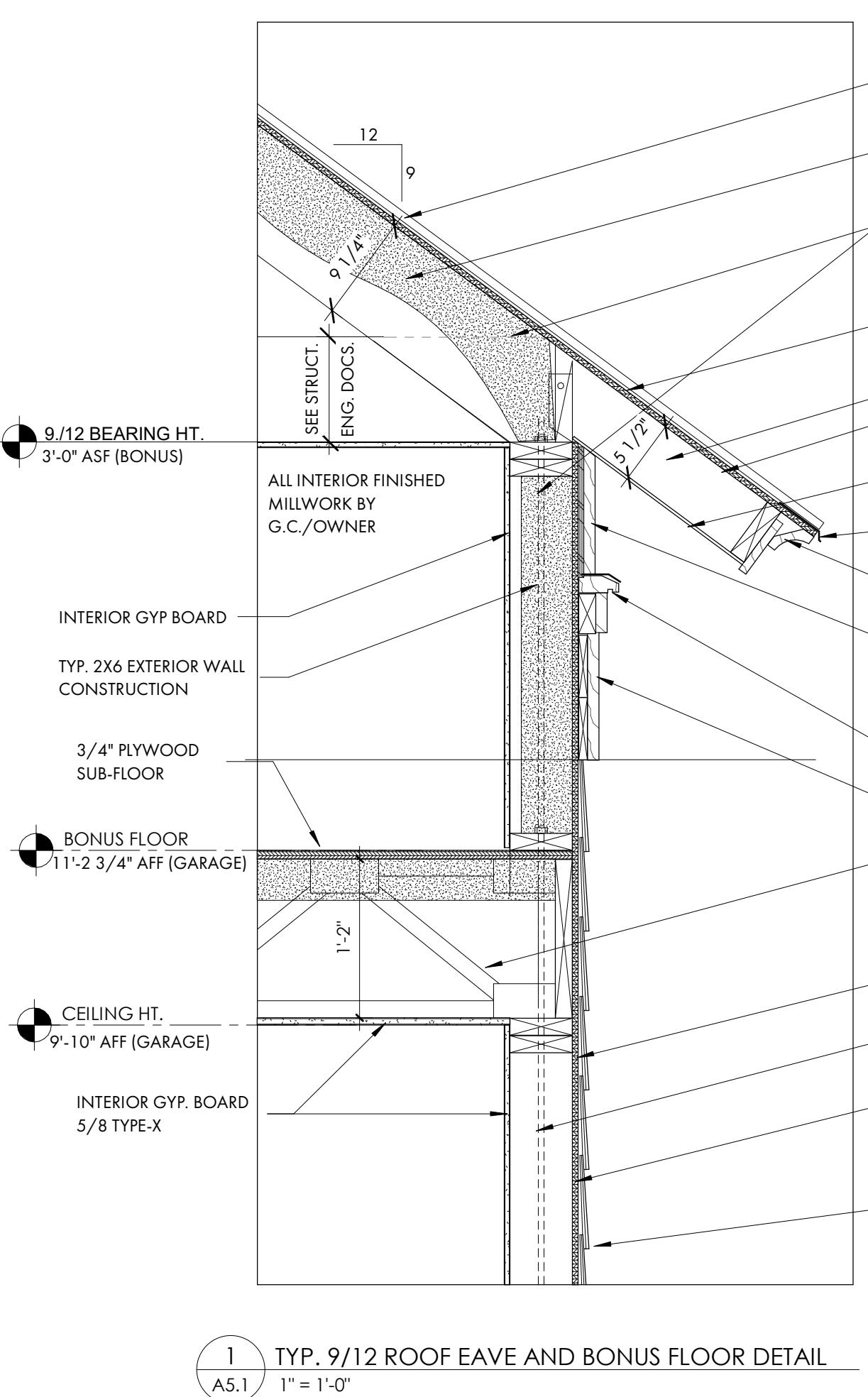
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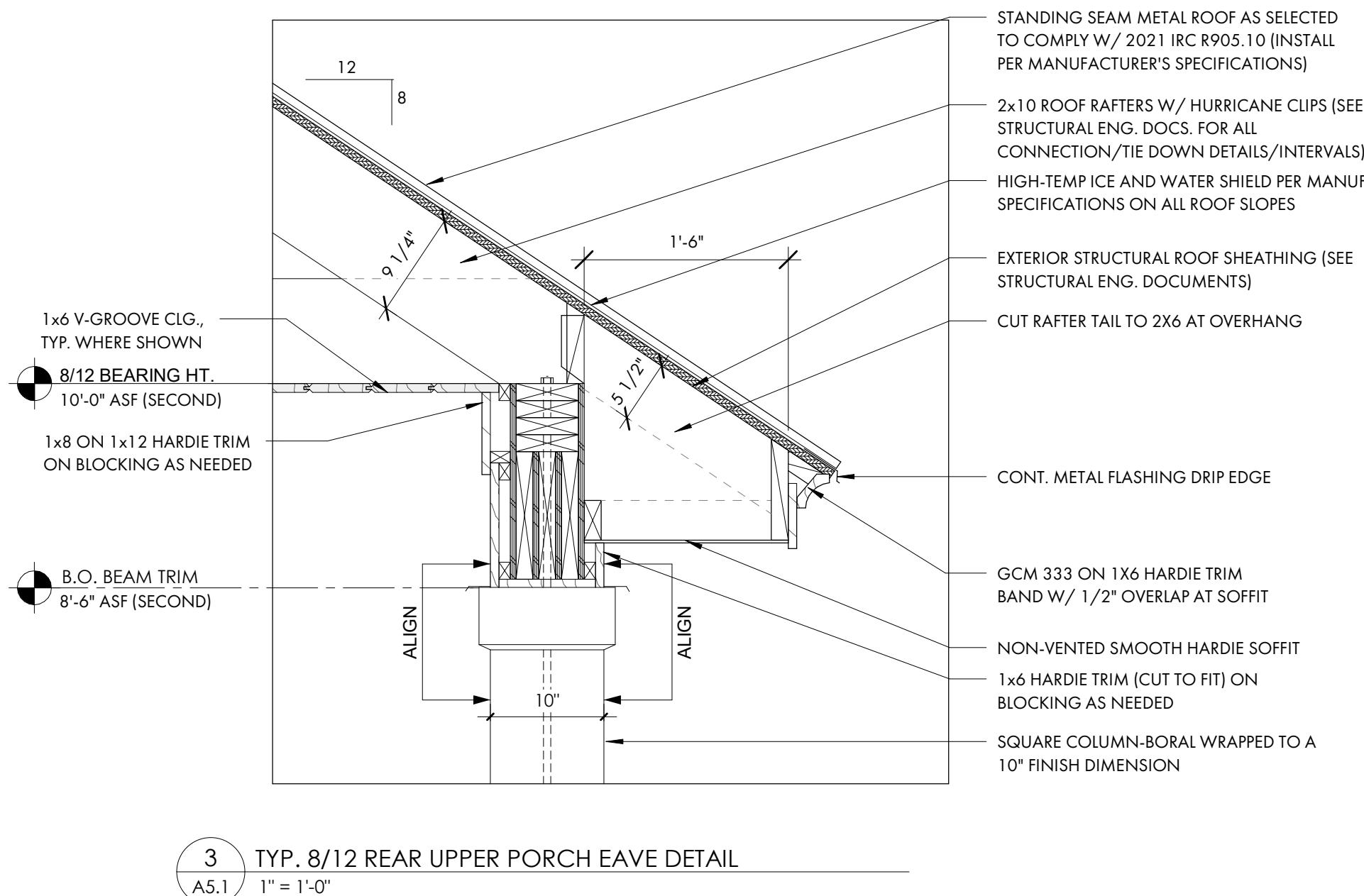
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DETAILS

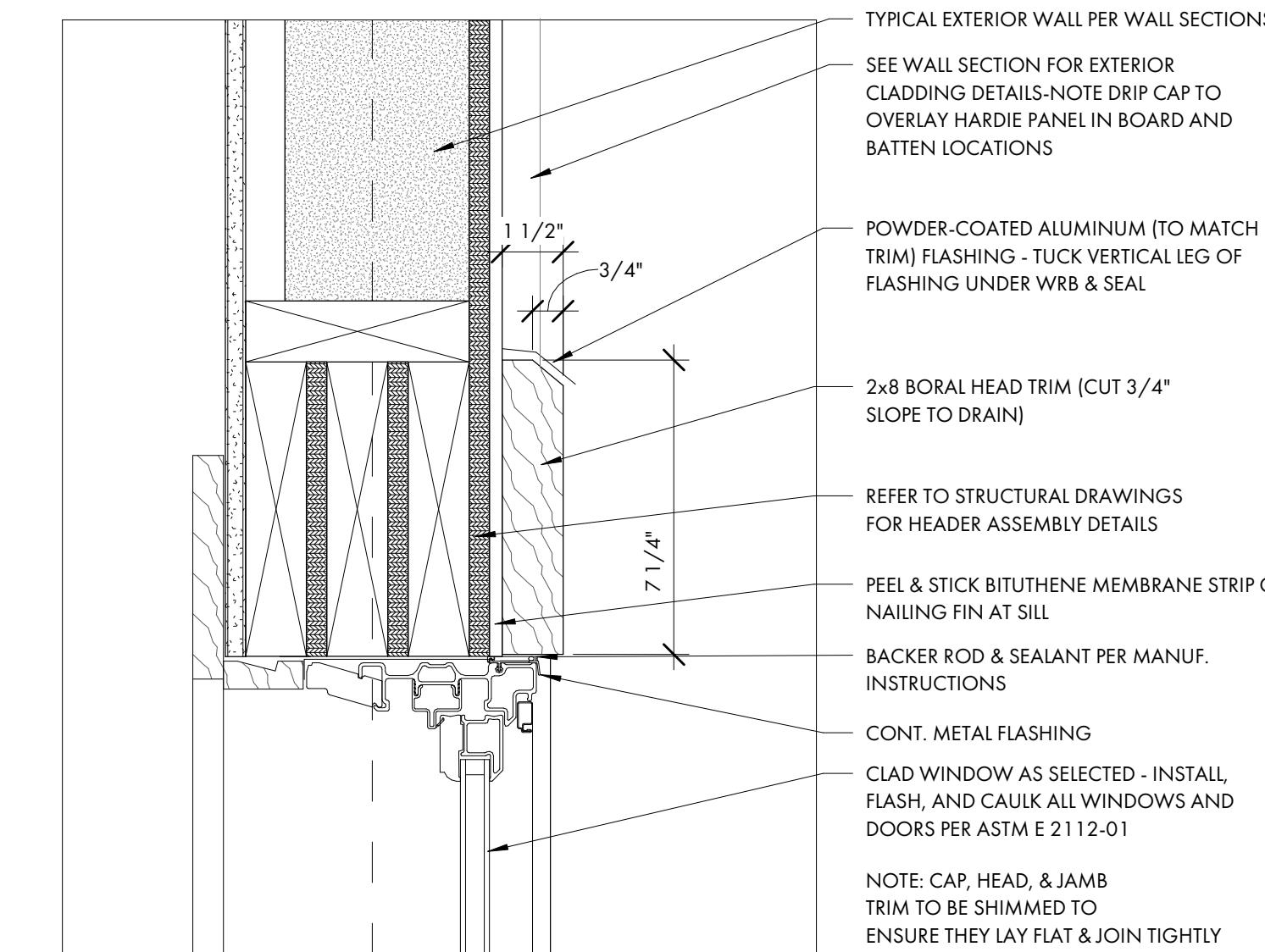
A5.1



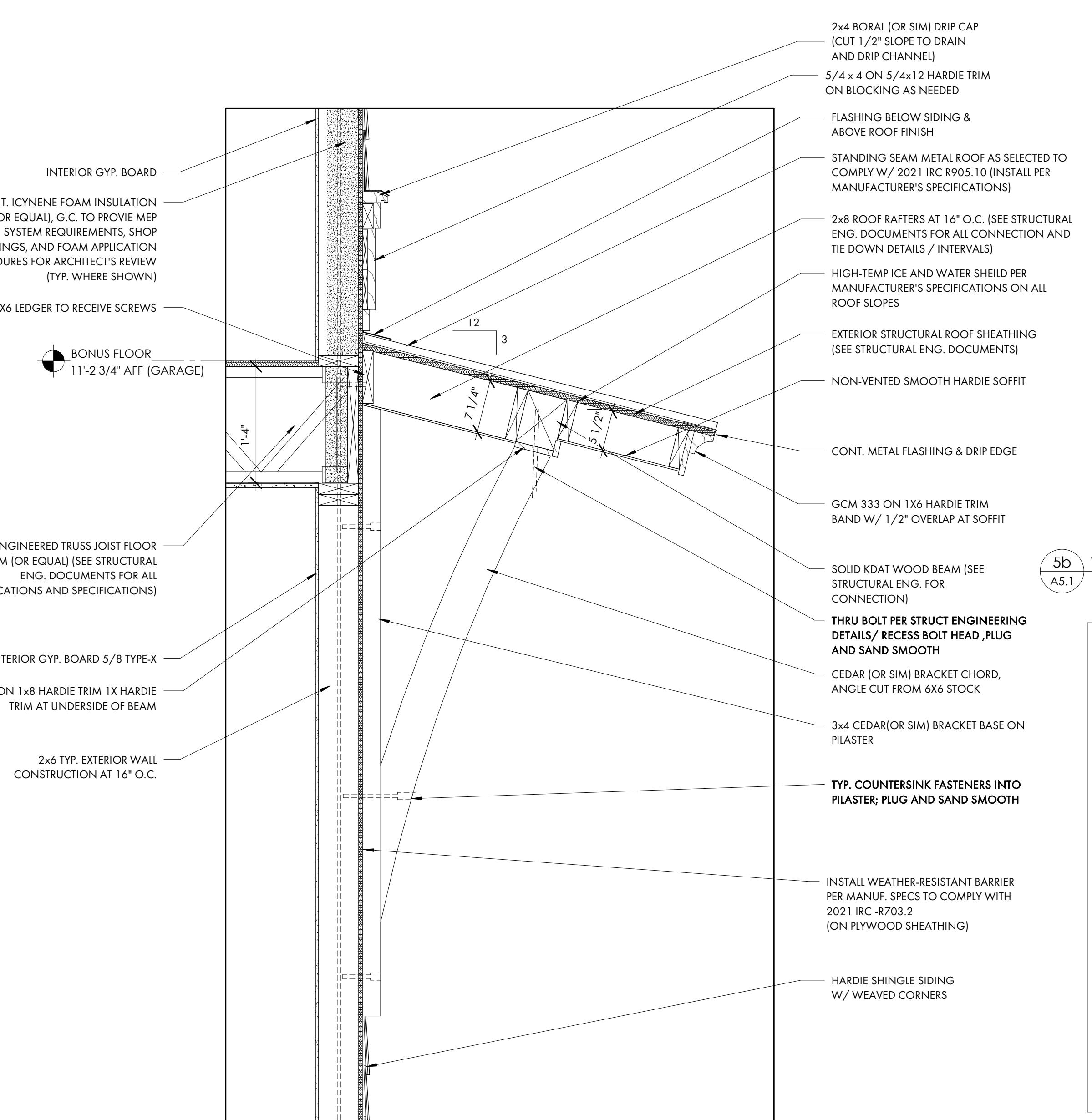
1 TYP. 9/12 ROOF EAVE AND BONUS FLOOR DETAIL
A5.1 1" = 1'-0"



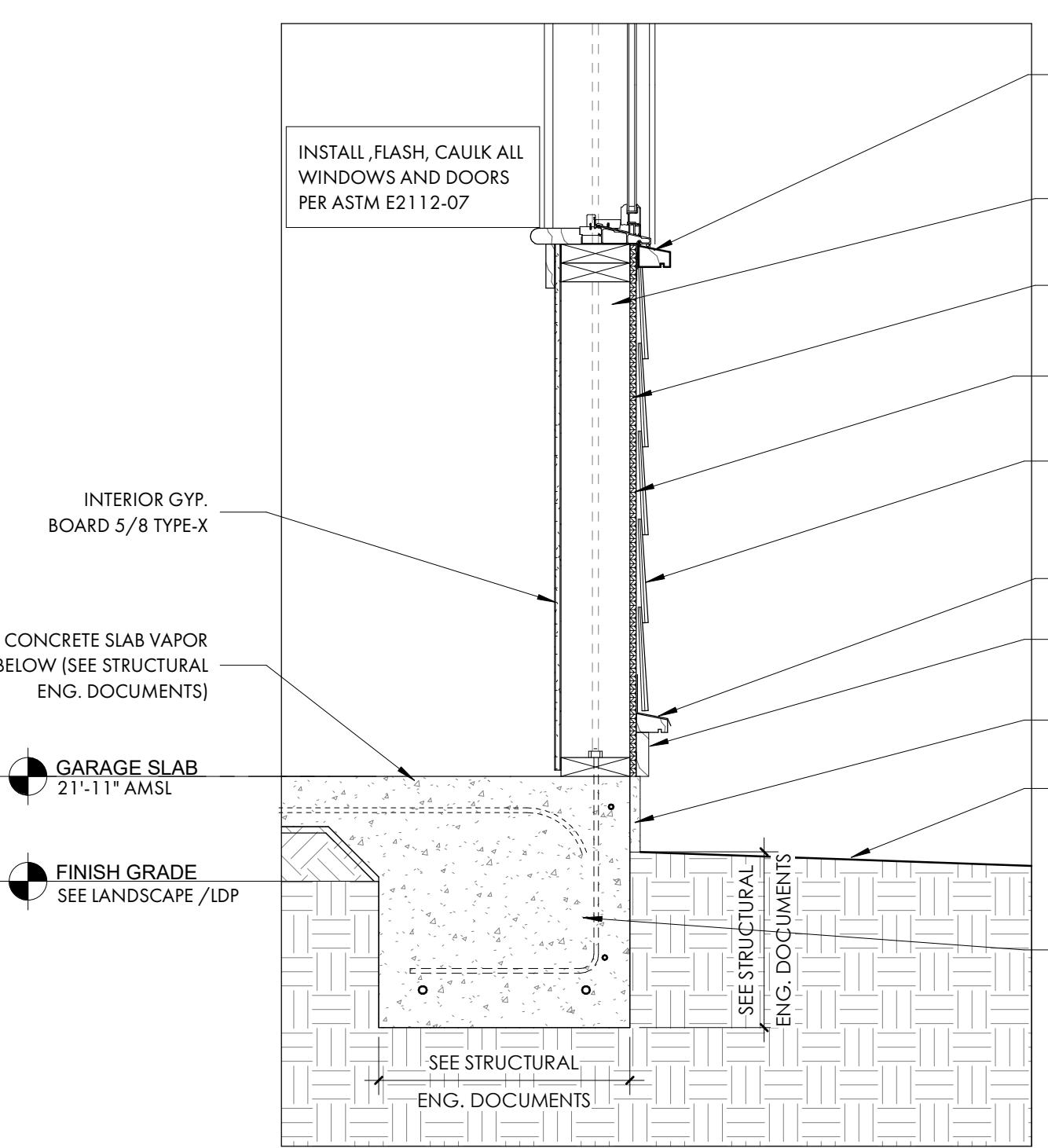
3 TYP. 8/12 REAR UPPER PORCH EAVE DETAIL
A5.1 1" = 1'-0"



5a WINDOW HEAD DETAIL
A5.1 3" = 1'-0"

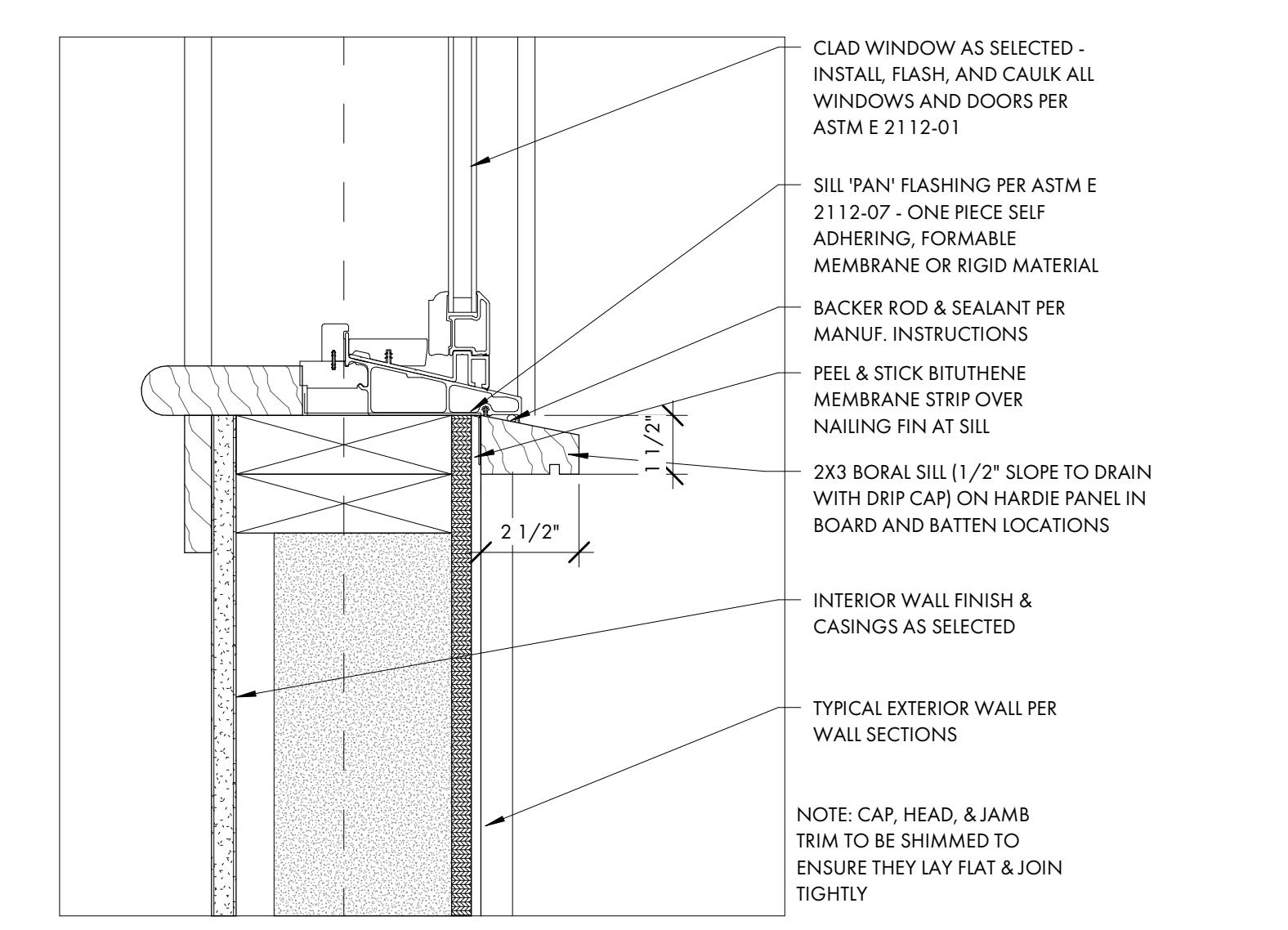


5b WINDOW JAMB DETAIL
A5.1 3" = 1'-0"



2 TYP. FOUNDATION AT GARAGE
A5.1 1" = 1'-0"

4 3/12 ROOF BRACKET
A5.1 1" = 1'-0"



5c WINDOW SILL DETAIL
A5.1 3" = 1'-0"

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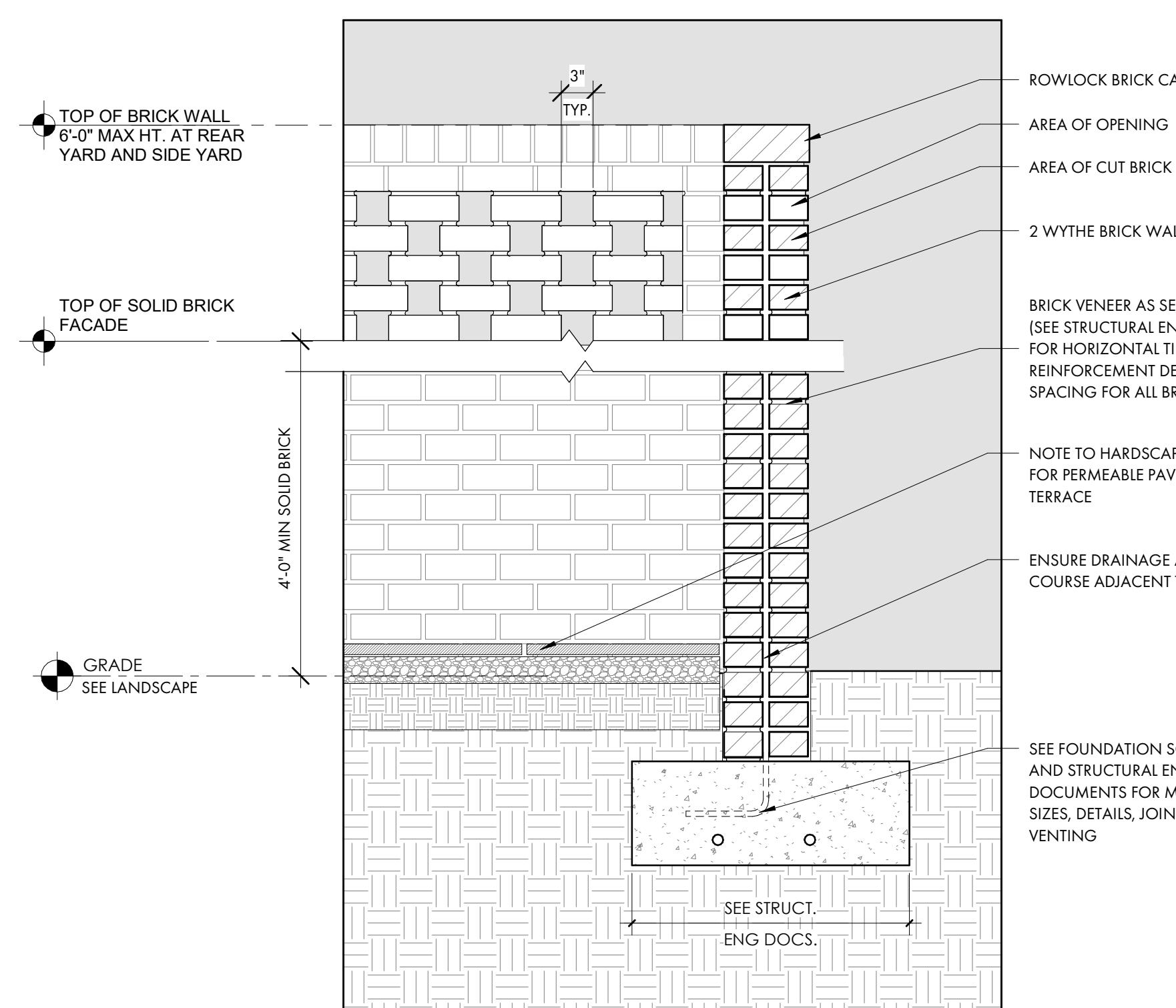
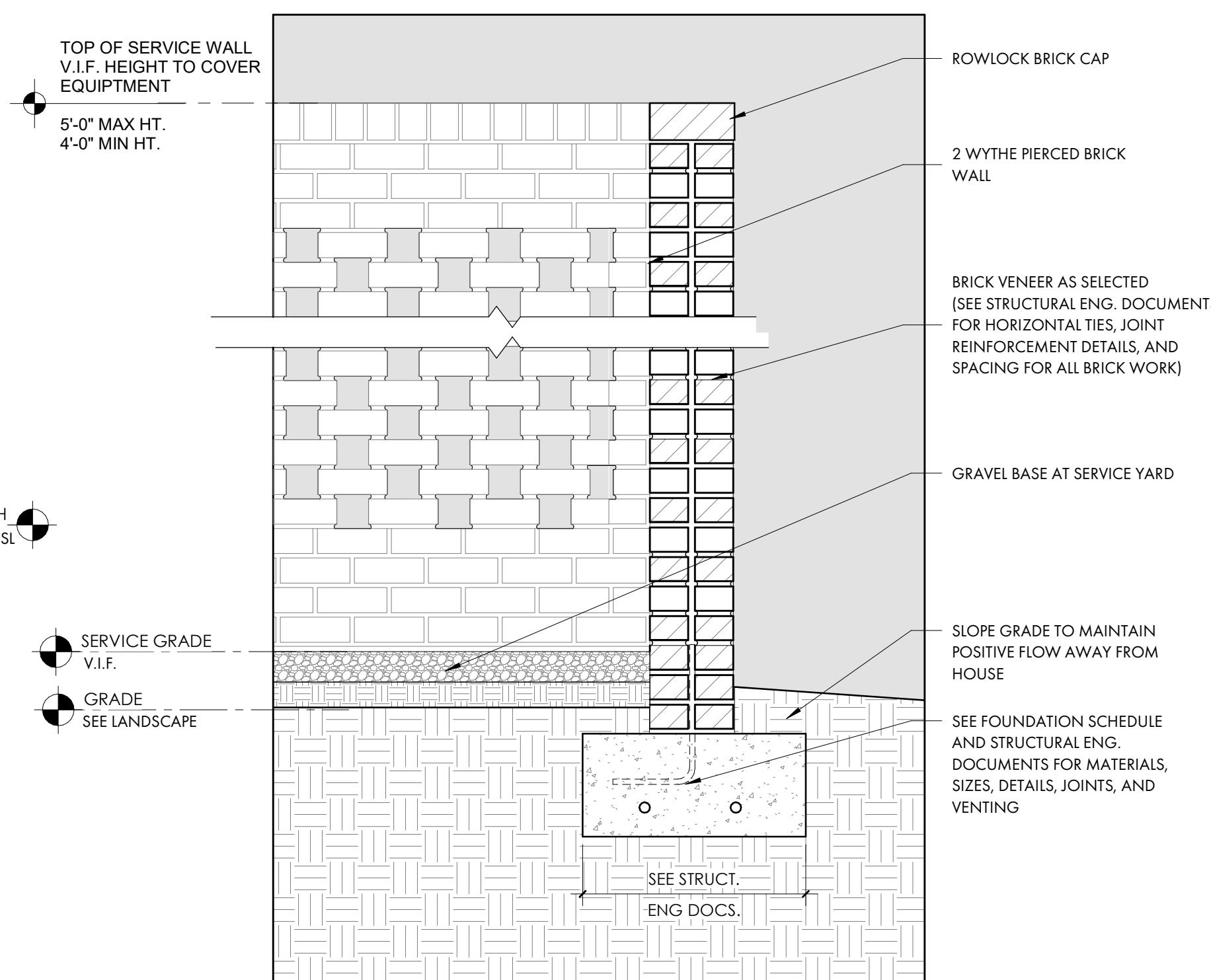
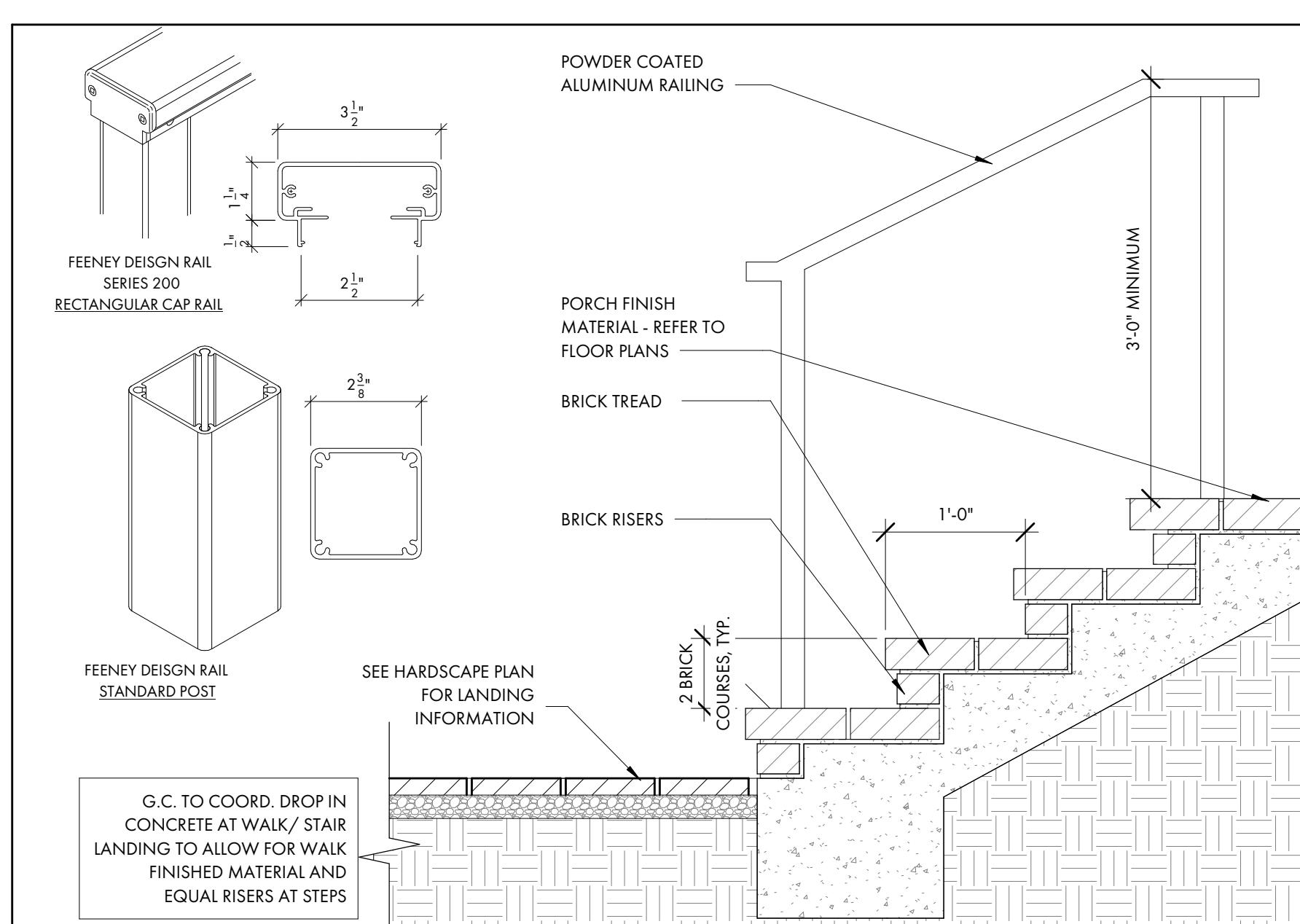
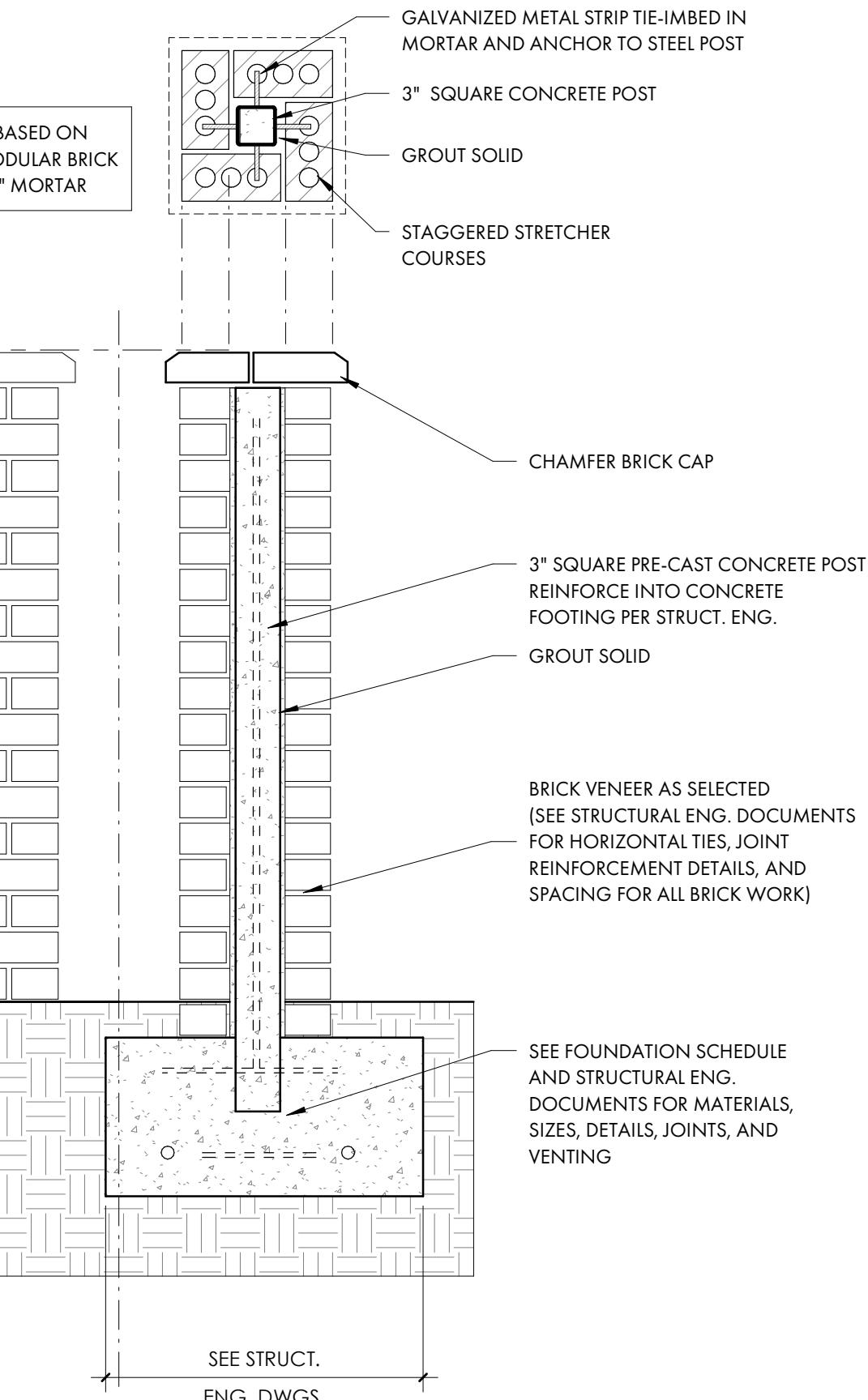
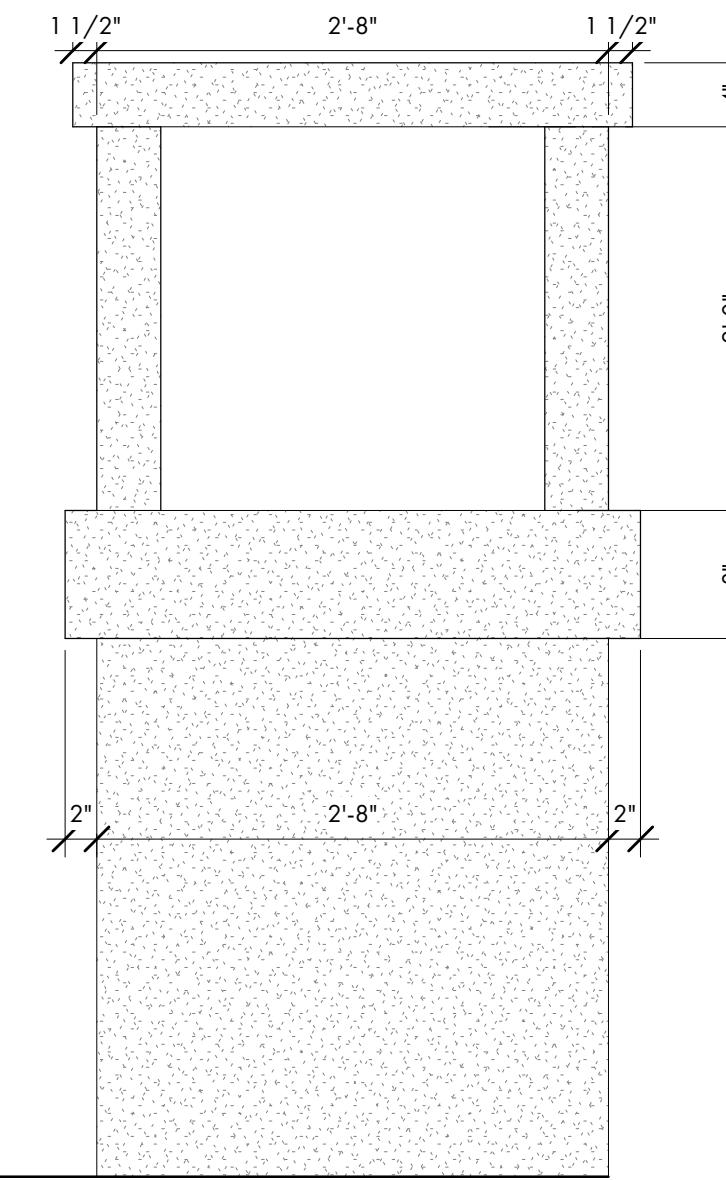
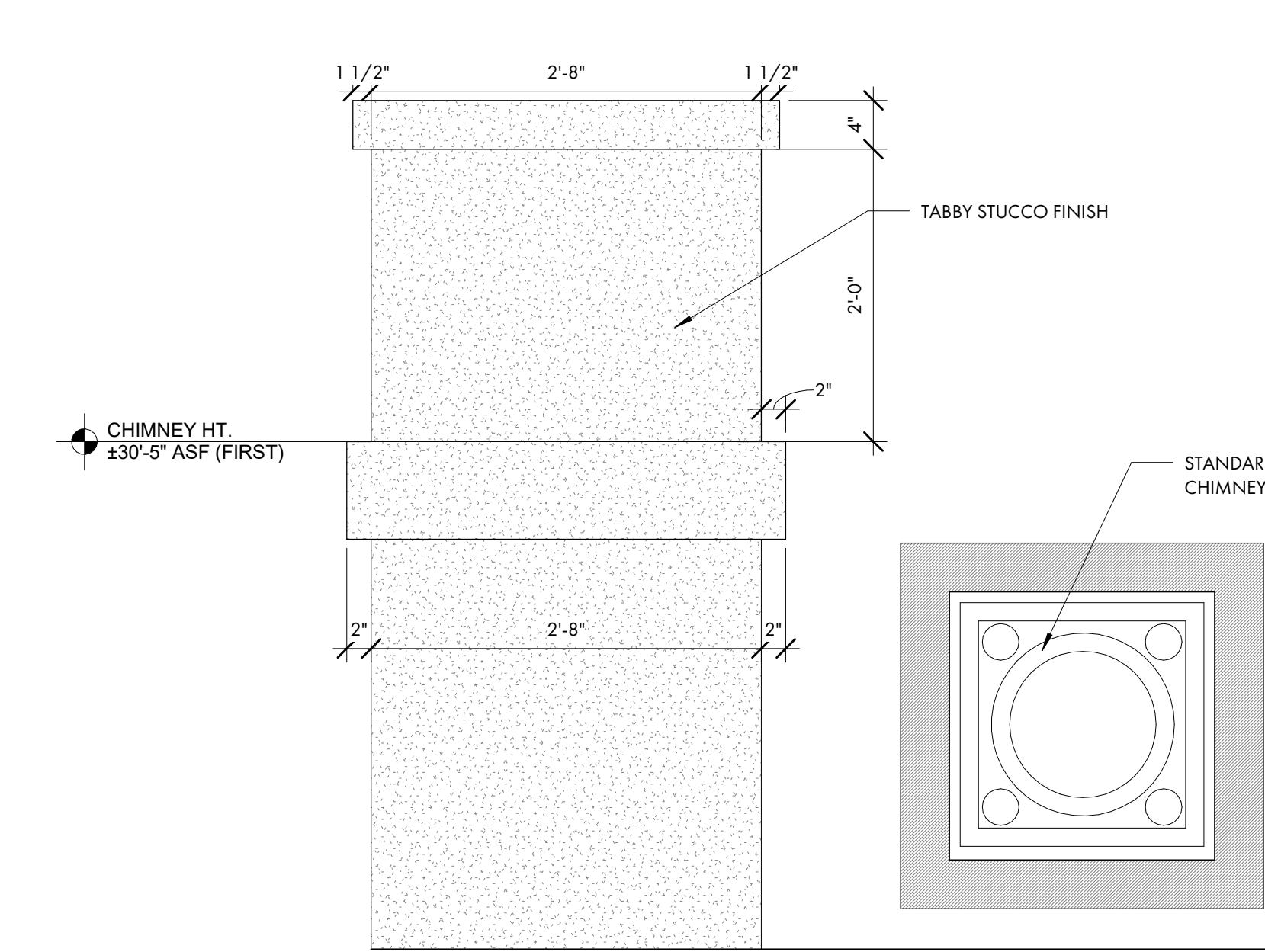
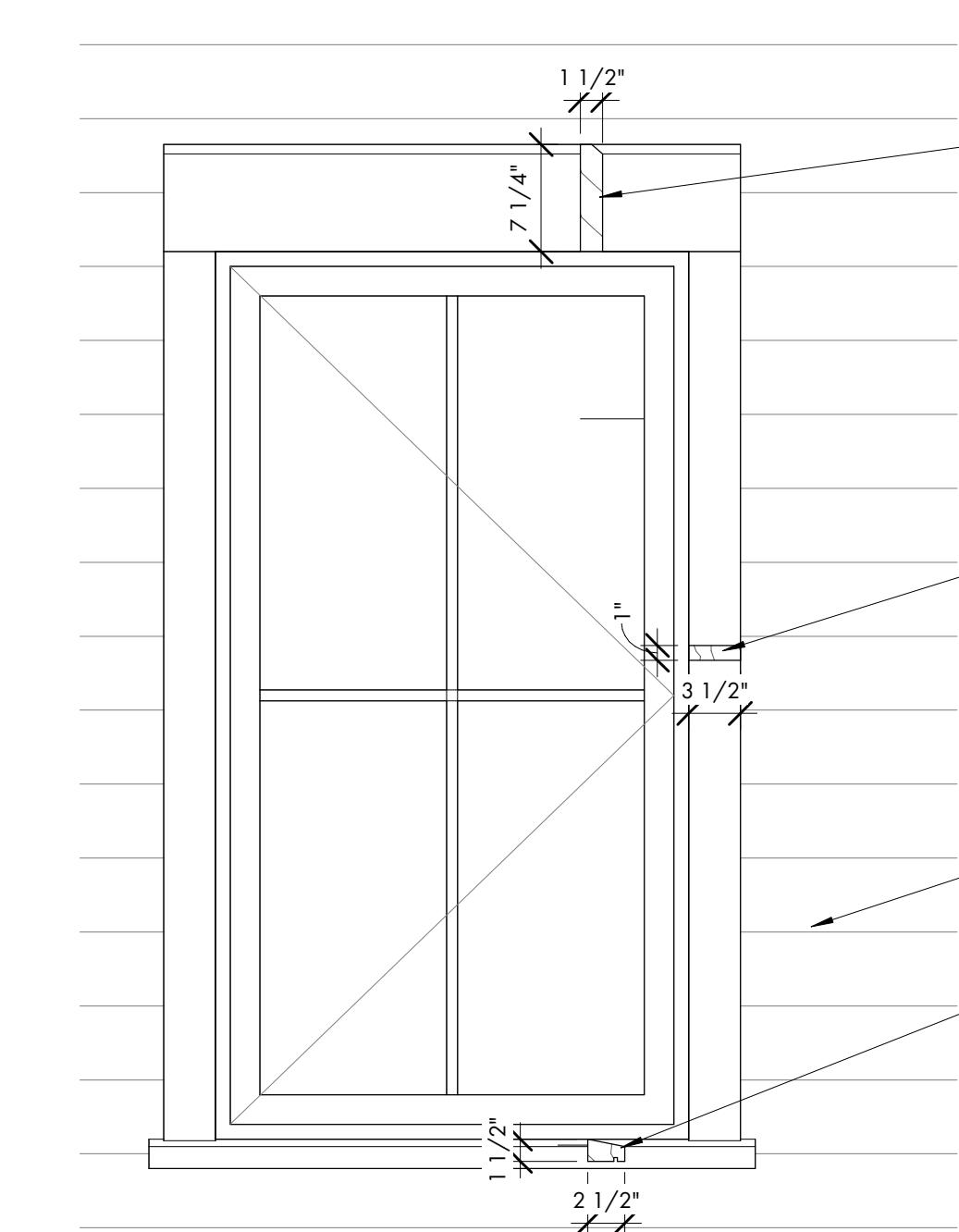
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DETAILS

A5.2



LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY
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DETAILS

Architectural cross-section diagram showing the construction details of a building's foundation and subfloor system. The diagram illustrates the following layers from top to bottom:

- Interior Gyp Board
- Cont. Icynene Foam Insulation (or equal) G.C. to provide MEP system requirements, shop drawings and foam application procedures for Architects review (typ. where shown)
- 3/4" Plywood Subfloor on 2x Sleeper on Vapor Barrier
- FIRST FLOOR 25'-3" AMSL at Subfloor
- 4" Raised Concrete Structural Slab on Engineered Fill
- Vapor Barrier Below Slab
- SEE FOUNDATION SCHEDULE AND STRUCTURAL ENG. DOCUMENTS FOR MATERIALS, SIZES, DETAILS, JOINTS, AND VENTING
- GRADE SEE LANDSCAPE

At the bottom of the diagram, there are two callouts pointing to specific areas:

- SEE STRUCT. ENG. DWGS.
- SEE STRUCT. ENG. DWGS.

A callout box at the top right of the diagram contains the following text:

INSTALL, FLASH, & CAULK ALL WINDOWS AND DOORS PER ASTM E 2112-07

TOP OF SERVICE WALL
V.I.F. HEIGHT TO COVER EQUIPMENT
5'-0" MAX HT.
4'-0" MIN HT.

SERVICE GRADE
V.I.F.

GRADE
SEE LANDSCAPE

1x8 BORAL CAP (OR KDAT)
(1/2" CHAMFER)

2x4 BORAL (OR KDAT) SURROUND AND FRAME (EACH SIDE)

1x6 BORAL (OR KDAT) TRIM SPACED NO MORE THAN 1/2" APART

6X6 KDAT POST (SEE STRUCTURAL DOCS FOR TIE DOWN AND CONNECTION DETAILS)

GRAVEL BASE AT SERVICE YARD

2x4 BORAL (OR KDAT) SURROUND AND FRAME (EACH SIDE)

2X4 BORAL (OR KDAT) BASE

SLOPE GRADE TO MAINTAIN POSITIVE FLOW AWAY FROM HOUSE

SEE FOUNDATION SCHEDULE AND STRUCTURAL ENG. DOCUMENTS FOR MATERIALS, SIZES, DETAILS, JOINTS, AND VENTING

SEE STRUCT. ENG. DWGS.

3 HOG FENCE AT SERVICE YARD

STRUCTURAL ROOF SHEATHING (SEE STRUCT. ENG. DOCUMENTS)

STANDING SEAM METAL ROOF AS SELECTED TO COMPLY W/ 2021IRC R905.10 (INSTALL PER MANUFACTURER'S SPECIFICATIONS)

SMOOTH HARDIESOFFIT (NON VENTED)

CONT. METAL FLASHING & DRIP EDGE

SCREW GUTTER BRACKET INTO Rafter tail for secure attachment (SEE MANUF. FOR SPACING INFORMATION)

HALF ROUND GUTTER AS SELECTED (SEE MANUF. SEPCS FOR CONNECTION DETAILS AND INSTALLATION) METAL TO MATCH ROOF COLOR

GUTTER BRACKET HANGER (SEE MANUF. SPECS FOR CONNECTION DETAILS AND INSTALLATION)

1X6 HARDIE(OR BORAL) CONT TRIM BAND (1/2" OVERLAP OF SOFFIT)

NOTE: DETAIL TO RELAY DESIGN
INTENT/ GUTTER TO BE SIZED PER MANUF
CALCULATIONS. INSTALL TO MAINTAIN A
PLUMB GUTTER

ATTACHMENT OPTION A

STRUCTURAL ROOF SHEATHING (SEE STRUCT. ENG. DOCUMENTS)

STANDING SEAM METAL ROOF AS SELECTED TO COMPLY W/ 2021IRC R905.10 (INSTALL PER MANUFACTURER'S SPECIFICATIONS)

SMOOTH HARDIESOFFIT (NON VENTED)

CONT. METAL FLASHING & DRIP EDGE

SCREW GUTTER BRACKET INTO Rafter tail for secure attachment (SEE MANUF. FOR SPACING INFORMATION)

HALF ROUND GUTTER AS SELECTED (SEE MANUF. SEPCS FOR CONNECTION DETAILS AND INSTALLATION) METAL TO MATCH ROOF COLOR

GUTTER BRACKET HANGER (SEE MANUF. SPECS FOR CONNECTION DETAILS AND INSTALLATION)

1X6 HARDIE(OR BORAL) CONT TRIM BAND (1/2" OVERLAP OF SOFFIT)

NOTE: DETAIL TO RELAY DESIGN
INTENT/ GUTTER TO BE SIZED PER MANUF
CALCULATIONS. INSTALL TO MAINTAIN A
PLUMB GUTTER

ATTACHMENT OPTION B

This technical drawing illustrates a gate assembly. On the left, a vertical line indicates a height of **4'-0" MINIMUM GATE HT.** above grade. A circular icon at the bottom left contains a stylized figure, with the text **F.F.E. WALK SEE LANDSCAPE** positioned below it. The main drawing shows a gate structure with a brick wall on the left and a paved area with a herringbone pattern at the bottom. The gate itself is made of vertical panels. A horizontal bar at the top is labeled **2 1/2"**. A vertical dimension line on the right indicates a height of **3"** **MAX** for the gap between the bottom of the gate panels and the paved surface. Arrows point from the text labels to the corresponding parts of the gate structure.

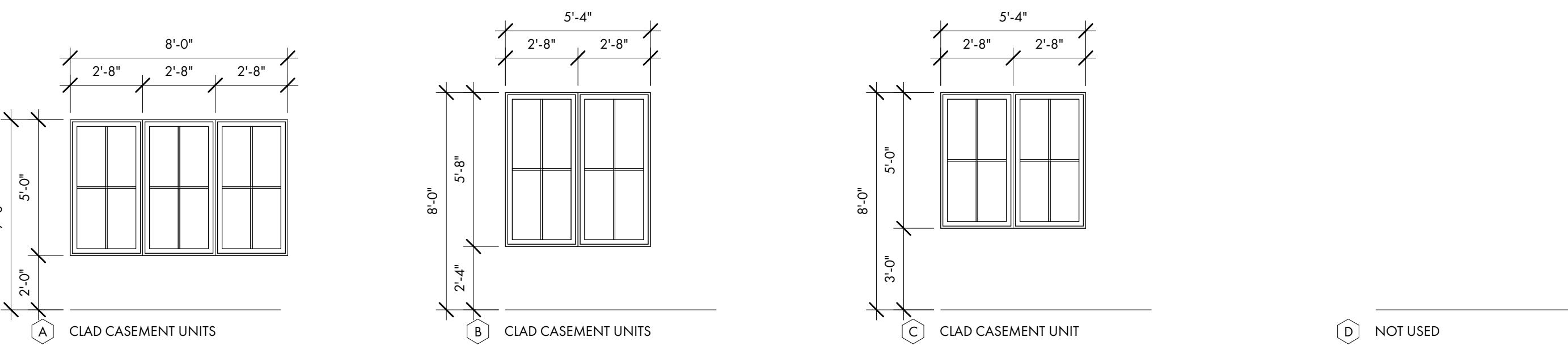
5 GATE AT POOL ENCLOSURE
A5.3 1" = 1'-0"



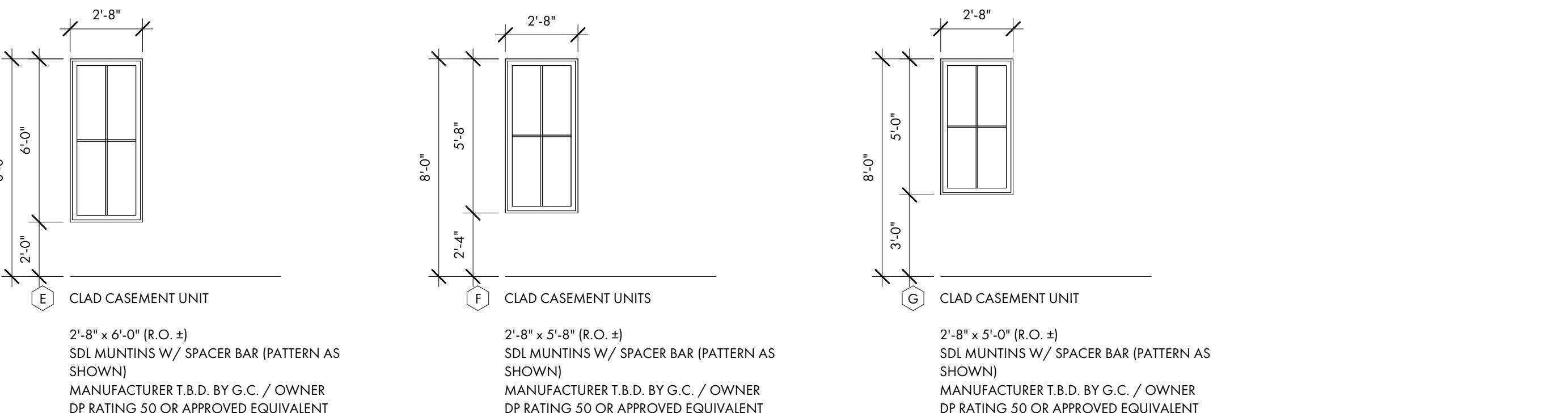
CAG - WINDOW SCHEDULE						
Type Mark	Window Type	Frame Opening		Head Height	Comments	
		Frame Width	Frame Height			
A	CLAD CASEMENT UNITS	[3] 2'-8" x 5'-0"	8'-0"	5'-0"	7'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
B	CLAD CASEMENT UNITS	[2] 2'-8" x 5'-0"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
C	CLAD CASEMENT UNITS	[2] 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E	CLAD CASEMENT UNIT	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
F	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
G	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

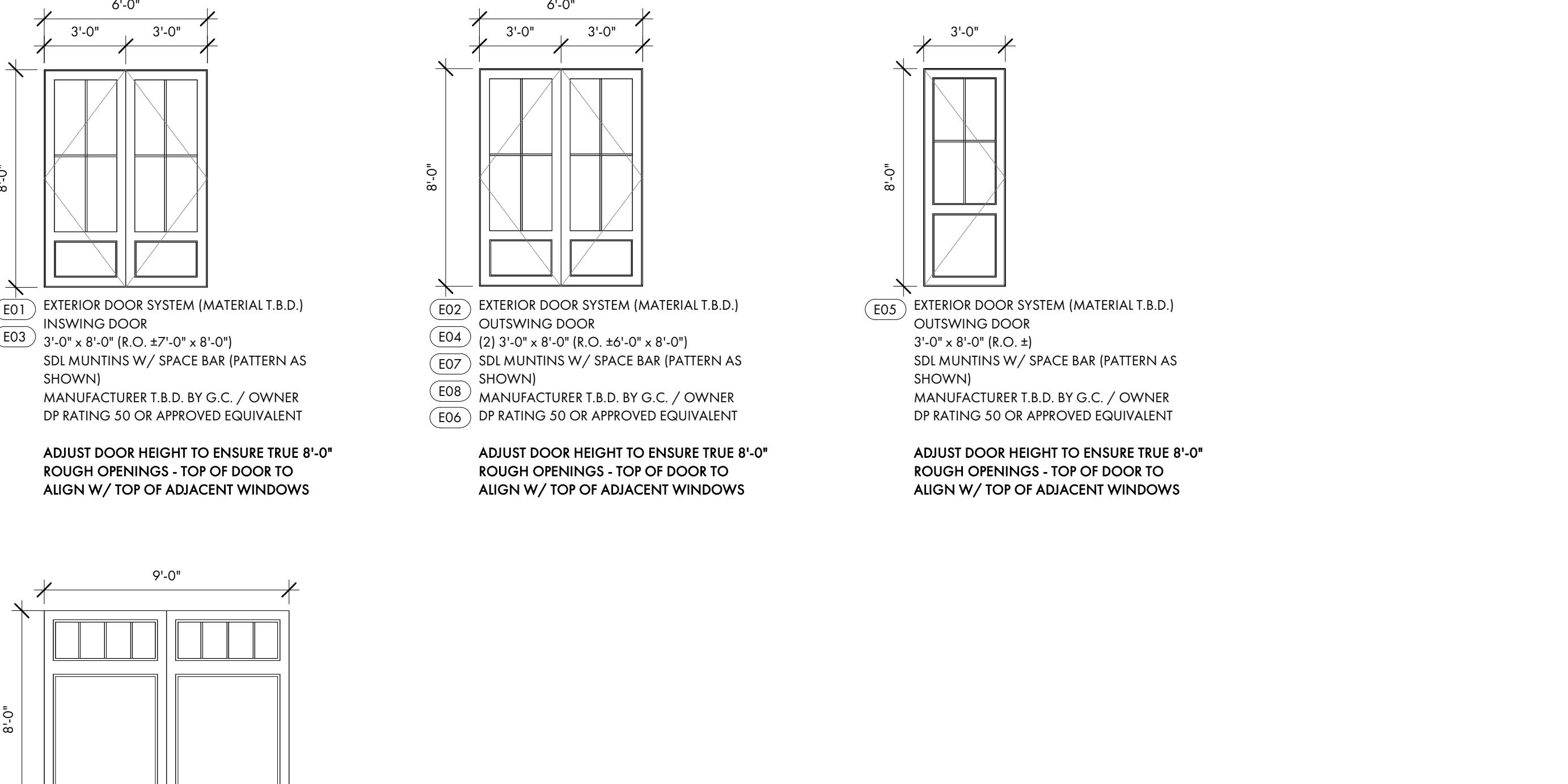
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



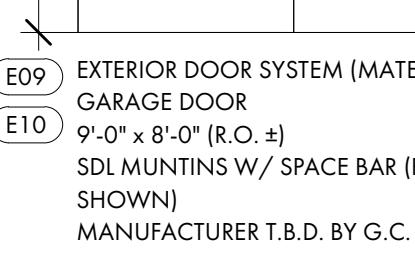
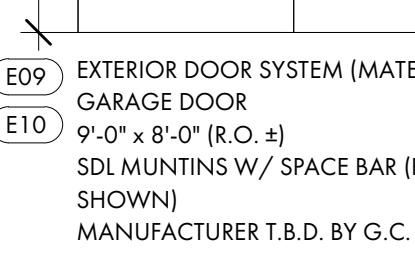
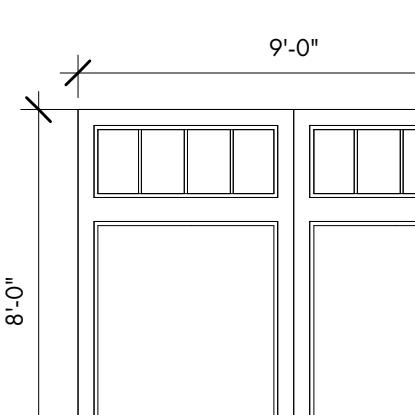
EGRESS AT BONUS ROOM



EGRESS AT BEDROOMS #3 AND #4



ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS



EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)

OUTSWING DOOR

3'-0" x 8'-0" (R.O. ±7'-0" x 8'-0")

SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"

ROUGH OPENINGS - TOP OF DOOR TO

ALIGN W/ TOP OF ADJACENT WINDOWS

EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)

GARAGE DOOR

9'-0" x 8'-0" (R.O. ±)

SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"

ROUGH OPENINGS - TOP OF DOOR TO

ALIGN W/ TOP OF ADJACENT WINDOWS

EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)

OUTSWING DOOR

3'-0" x 8'-0" (R.O. ±)

SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"

ROUGH OPENINGS - TOP OF DOOR TO

ALIGN W/ TOP OF ADJACENT WINDOWS

EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)

OUTSWING DOOR

3'-0" x 8'-0" (R.O. ±)

SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

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SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT



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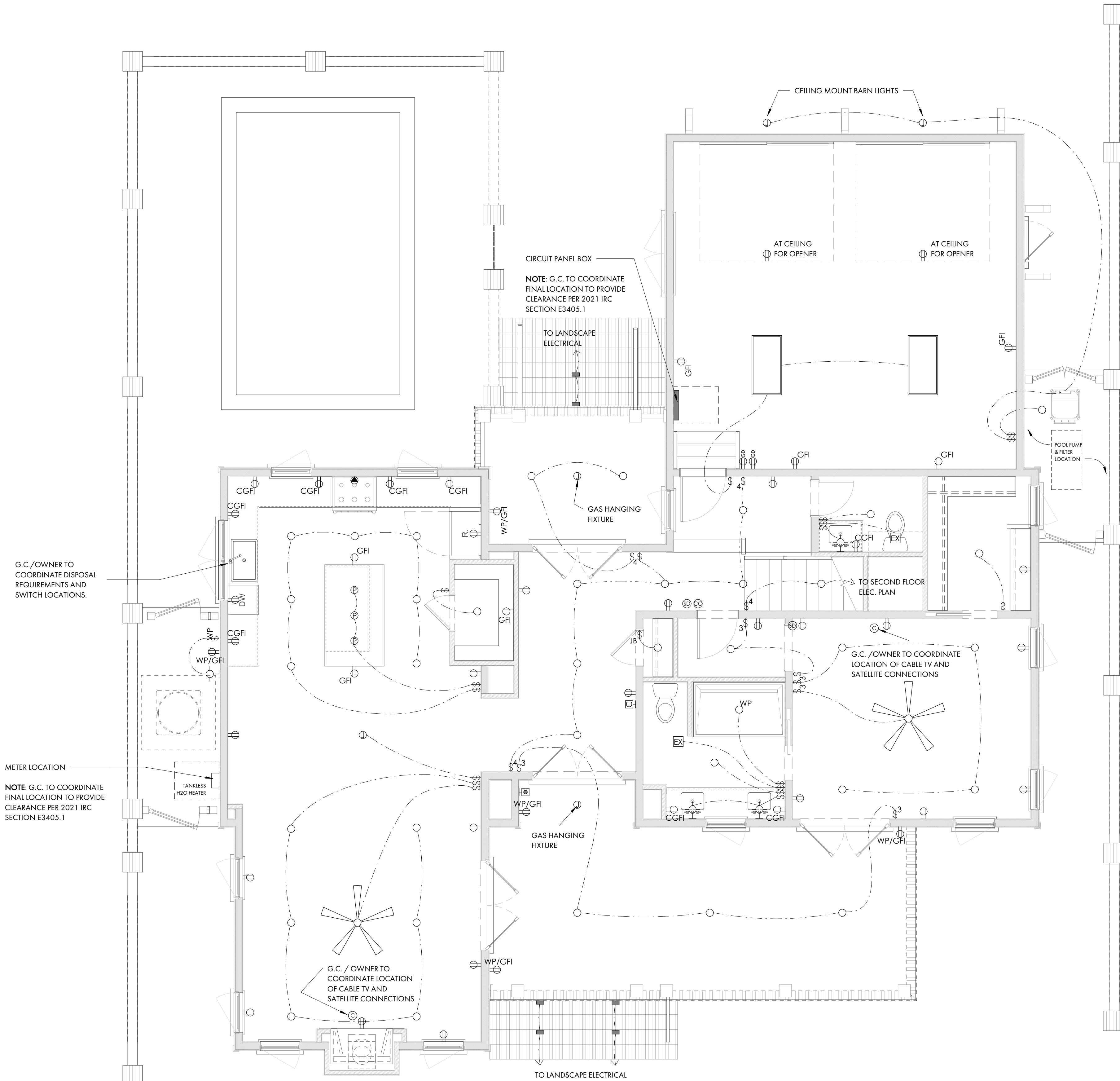
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LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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1 FIRST FLOOR PLAN
E2.1 1/4" = 1'-0"

ELECTRICAL PLAN - SYMBOL KEY

☷ DUPLEX RECEPTACLE
 ☷ GFI GFI RECEPTACLE
 ☷ C GFI COUNTERTOP LEVEL GFI RECEPTACLE
 ☷ GFI WP GFI IN WATERPROOF BOX
 ☷ UC UNDER-COUNTER RECEPTACLE
 ☷ SWITCH DUPLEX RECEPTACLE
 ▽ 220V RECEPTACLE
 ○ FLOOR RECEPTACLE
 ☷ GD GARAGE DOOR OPENER
 \$ SWITCH
 3 3-WAY SWITCH
 4 4-WAY SWITCH
 \$ WP WATERPROOF SWITCH
 \$ D DIMMER SWITCH
 ☷ C CABLE
 ☷ SD SMOKE DETECTOR
 ☷ CO CARBON MONOXIDE DETECTOR
 ○ RECESSED CAN LIGHT
 ☷ DIRECTIONAL CAN LIGHT
 ☷ WP WATERPROOF CAN LIGHT
 ○ JUNCTION BOX
 ☷ P PENDANT LIGHT
 ☷ W WALL SCONCE
 ☷ U UNDERCABINET LIGHT
 ● PIN LIGHT
 ■ STEP LIGHT
 EX EXHAUST FAN
 ☷ DB DOOR BELL
 ☷ DB CHIME DOOR BELL CHIME
 ☷ 2' X 2' FLUORESCENT
 ☷ 2' X 4' FLUORESCENT
 ☷ CEILING FAN
 ☷ ELECTRIC METER
 ☷ CIRCUIT PANEL BOX

1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
 2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD
 3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED
 4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD
 5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL
 6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED
 7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE
 8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
 9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS
 10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS
 11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS
 12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXIST OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNIAL INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM
 13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY
 14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE
 15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING
 16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS
 17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES
 18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX
 19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16
 20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M1305.1.3
 21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314
 22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021IRC SECTIONS 3607.3611
 23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021IRC SECTION N1104.1

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PROJECT INFO

Date
12.03.2025

Project No.
25-072

ISSUE

No. REV. DATE DESCRIPTION

SHEET TITLE

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PLAN

E2.1



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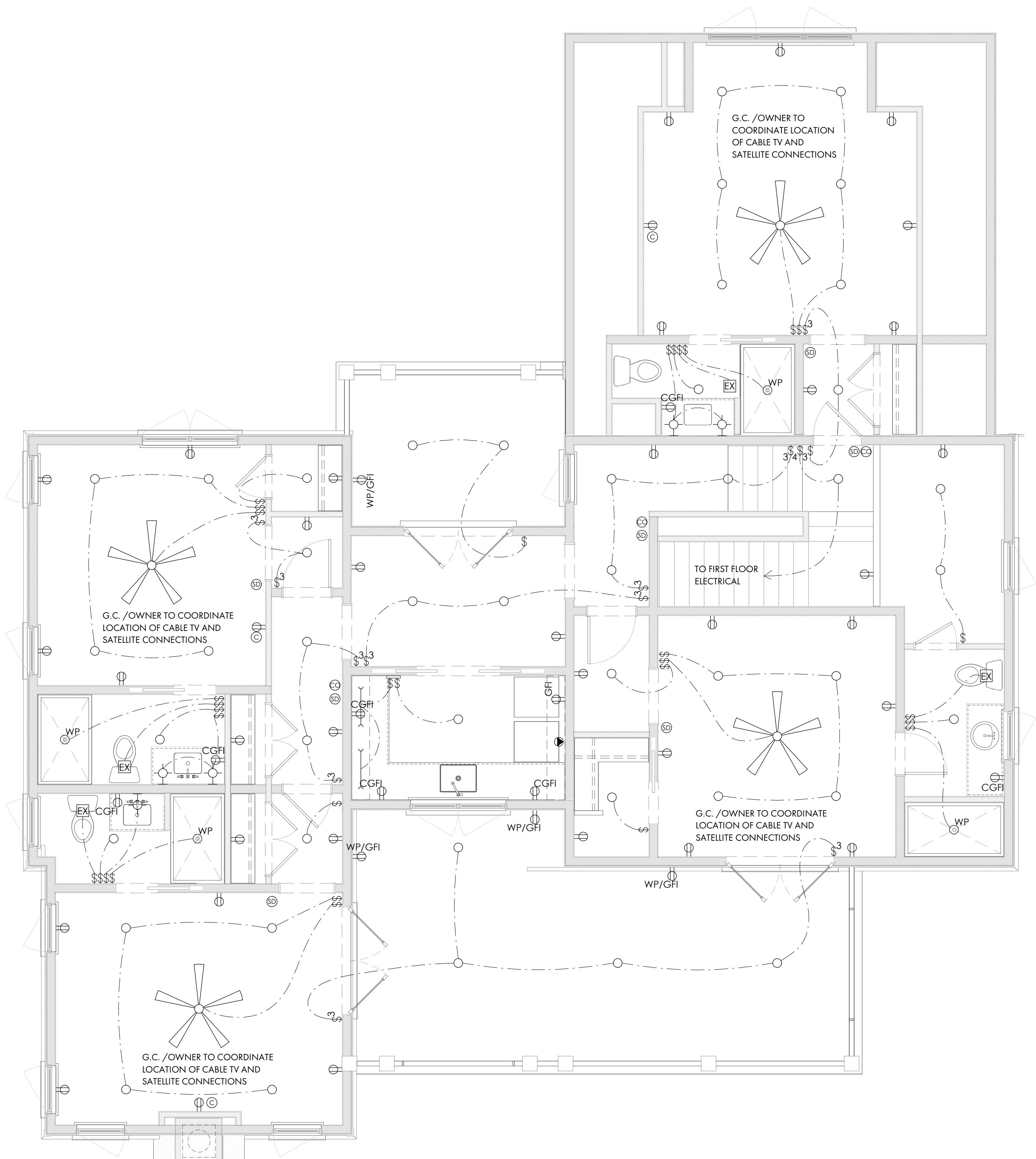
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LOT 51 - BLUE CRAB PRIVATE
RESIDENCE

4 BLUE CRAB STREET - TABBY
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ELECTRICAL PLAN - SYMBOL KEY



1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
2. VERIFY ALL SWITCH AND POWER LOCATIONS TO BE 42" A.F.F.
3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
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5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE.
8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE: SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
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20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M1305.1.3.
21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021IRC SECTIONS 3607-3611.
23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021IRC SECTION N1104.1.

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SHEET TITLE

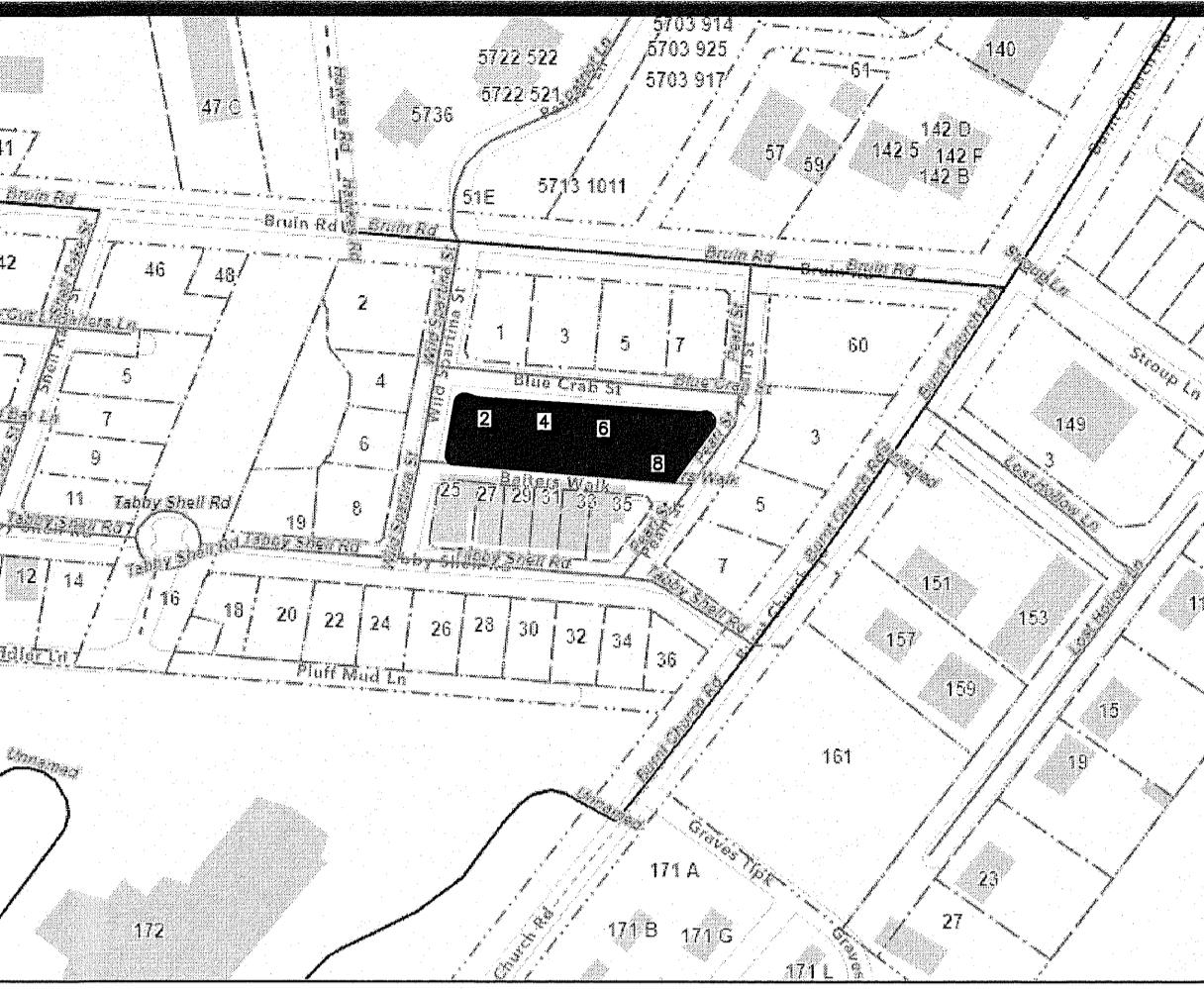
SECOND FLOOR ELEC.
PLAN

E2.2

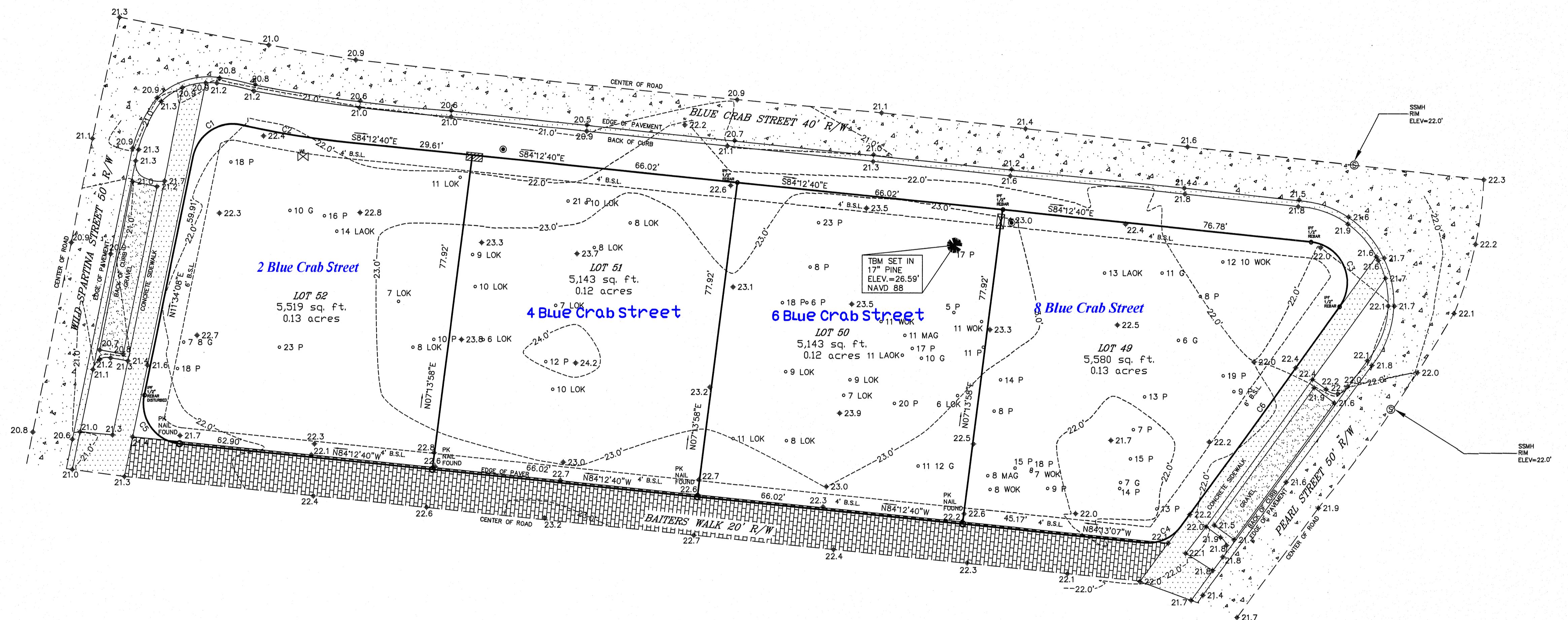
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"E	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	71°8'38"
C3	20.90	10.00	17.30	N24°19'20"W	119°45'55"
C4	10.39	10.00	9.93	N66°00'45"E	59°32'15"
C5	16.72	10.00	14.84	S36°19'16"E	95°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY



LOCATION MAP NOT TO SCALE

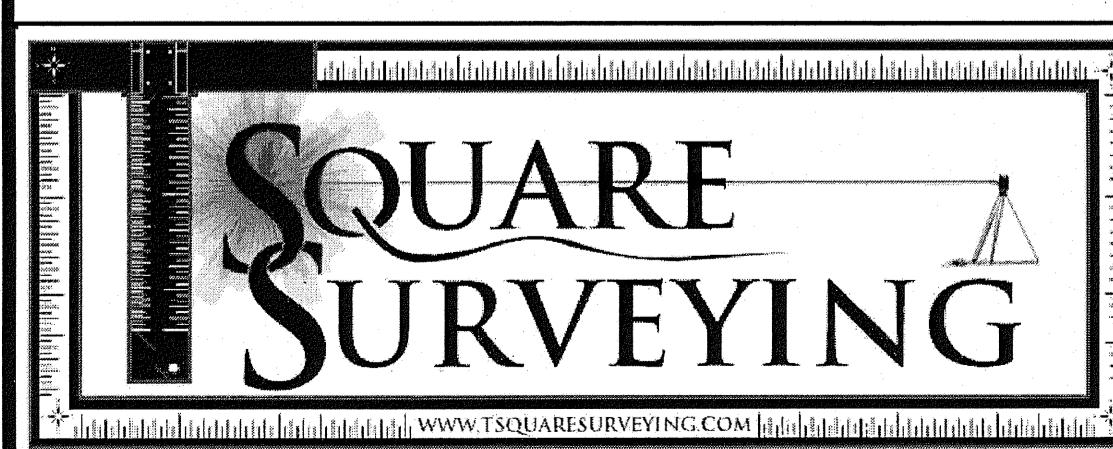
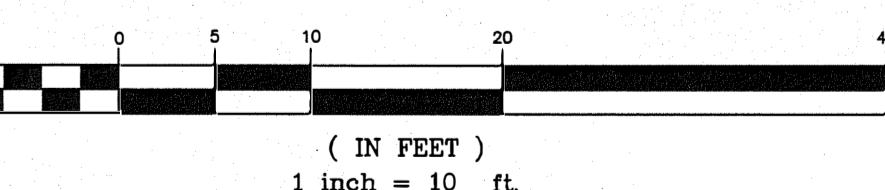


LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/COMMUNICATOR
- 12' - 12' SETBACK LINE

- (SL) - SEWER LATERAL
- (SM) - SANITARY SEWER MANHOLE
- (EP) - ELECTRIC BOX
- (SE) - SPOT ELEVATION SHOTS
- O.H.P.L. - OVER HEAD POWER LINE
- (GP) - GUY LINE
- (LP) - LIGHT POLE
- (SDM) - STORM DRAIN MANHOLE
- (FM) - FIBEROPTICS MANHOLE
- (PT) - PROPANE TANK
- (FH) - FIRE HYDRANT
- (GI) - GRATE INLET
- (PP) - POWER POLE
- (C) - CONTOUR LINES
- (X) - XFER - TRANSFORMER
- (WL) - WATER LATERAL
- (WM) - WATER METER
- (ICV) - IRRIGATION CONTROL VALVE

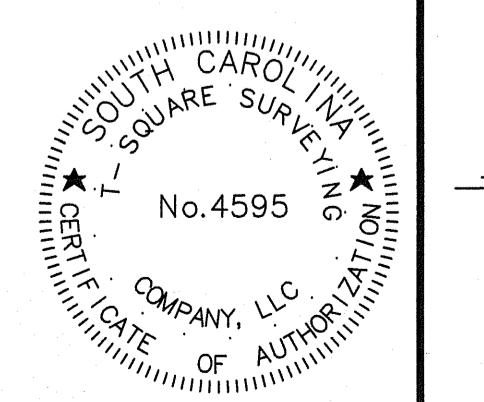
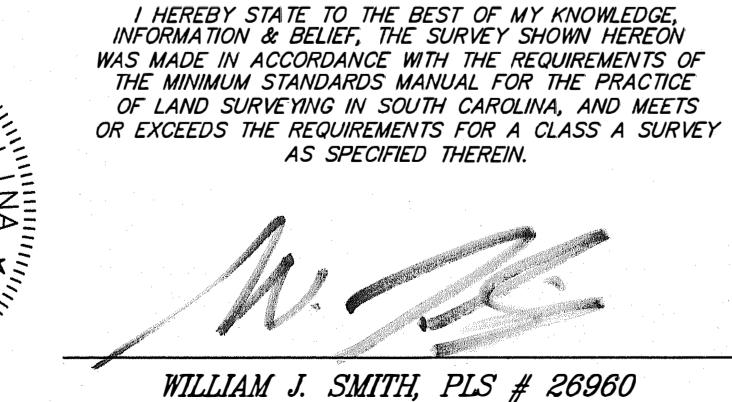
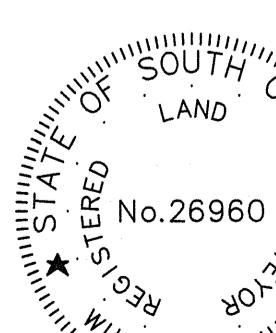
GRAPHIC SCALE



T-SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330
139 Burnt Church Road
Bluffton, SC 29910
Phone 843-757-2650 Fax 843-757-5758

JOB No. 22-435TR



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
ED WHITE
A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET,
A PORTION OF REEVES BROTHERS SUBDIVISION,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

Notes:
1. According To FEMA Flood Insurance Rate Map # 4503C0426G
This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum
Required Elevation NAV FT NAVDB8
2. This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland delineation.
4. All Building Setback Requirements Should Be Verified With The Proper
Authorities Prior To Design And Construction.
Reference Plat#:
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S
APPROVED BY: W.J.S
PARTY CHIEF: W.J.S
DATE: JULY 21, 2023

SITE & LANDSCAPE DEVELOPMENT PLANS

Lot 51 Blue Crab Street

Bluffton, SC

SHEET INDEX		
SHEET # SHEET NAME		
CS	COVER SHEET	
L1	Tree Removal & Tree Protection Plan	
L2	Layout Plan	
L3	Grading, Drainage Plan	
L4	Landscape Plan	
L5	Site & Planting Details & Cut Sheets	
L6	Permeable Paver Details and Cutsheets	
Original Submittal: November 5, 2025		
REVISIONS		
Date	Sheets Affected	Description
12/03/25	L1-L5	Revisions per HARB comments received 10/29/25
12/10/25	L4	Updates to Plant Schedule

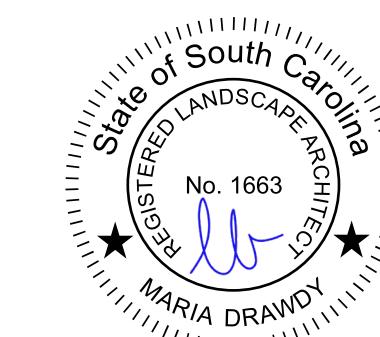
CS

FINAL LANDSCAPE
DEVELOPMENT PLANS
For
Patrick Mason Custom Homes

Lot 51 Blue Crab Street
Bluffton, SC
Revised: December 10, 2025



Prepared By:
Maria Drawdy, PLA



Submittal Documents
Not for Construction

MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565

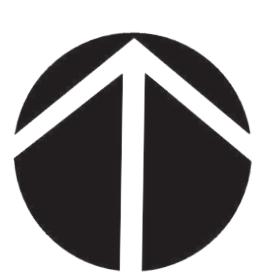
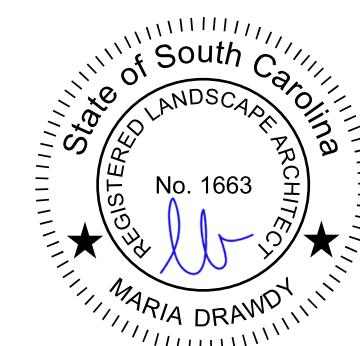
TREE REMOVAL & TREE PROTECTION PLAN



六二

LEGEND	
SYMBOL	DESCRIPTION
	TREES TO BE REMOVED
	TREE PROTECTION FENCE

Submittal Documents Not for Construction



L1

FINAL LANDSCAPE DEVELOPMENT PLANS

For

ark Mason Custom Homes

Lot 51 Blue Crab Street Bluffton, SC

Revised: December 10, 2025



Prepared By:
Maria Drawdy, PLA

MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565

SITE & LAYOUT PLAN



L2

FINAL LANDSCAPE DEVELOPMENT PLANS

For

Trick Mason Custom Homes

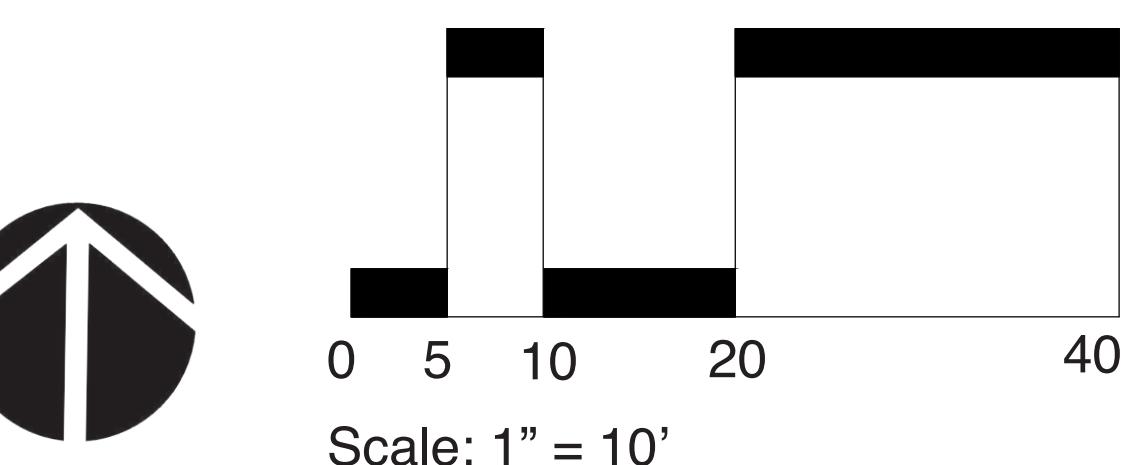
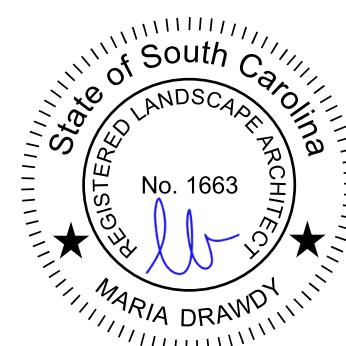
Lot 51 Blue Crab Street Bluffton, SC

Revised: December 10, 2025



Prepared By:
Maria Drawdy, PLA

Submittal Documents Not for Construction



MARIA GHYS DESIGNS LLC
P.O. Box 3523, Bluffton, SC
mariaghysdesigns@gmail.com
(843) 816-2565



L3

FINAL LANDSCAPE DEVELOPMENT PLANS

Patrick Mason Custom Homes

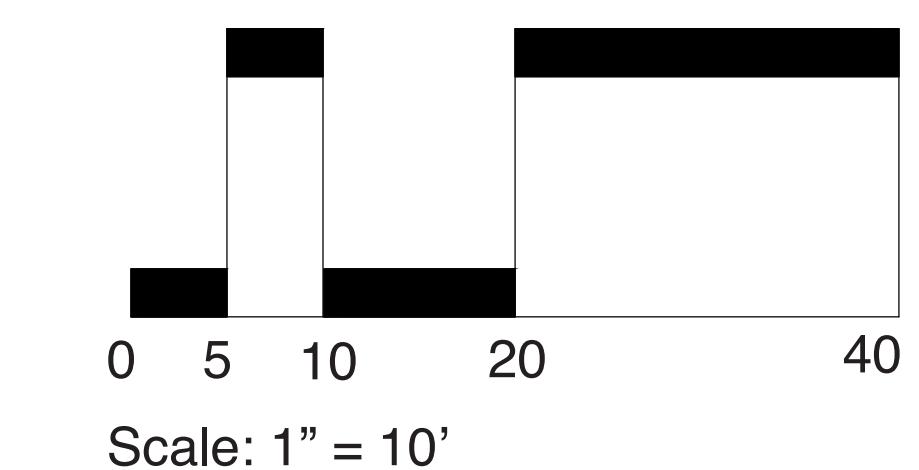
Lot 51 Blue Crab Street
Bluffton, SC

revised: December 10, 2025

Submittal Documents Not for Construction



Prepared By:
Saria Drawdy, PLA



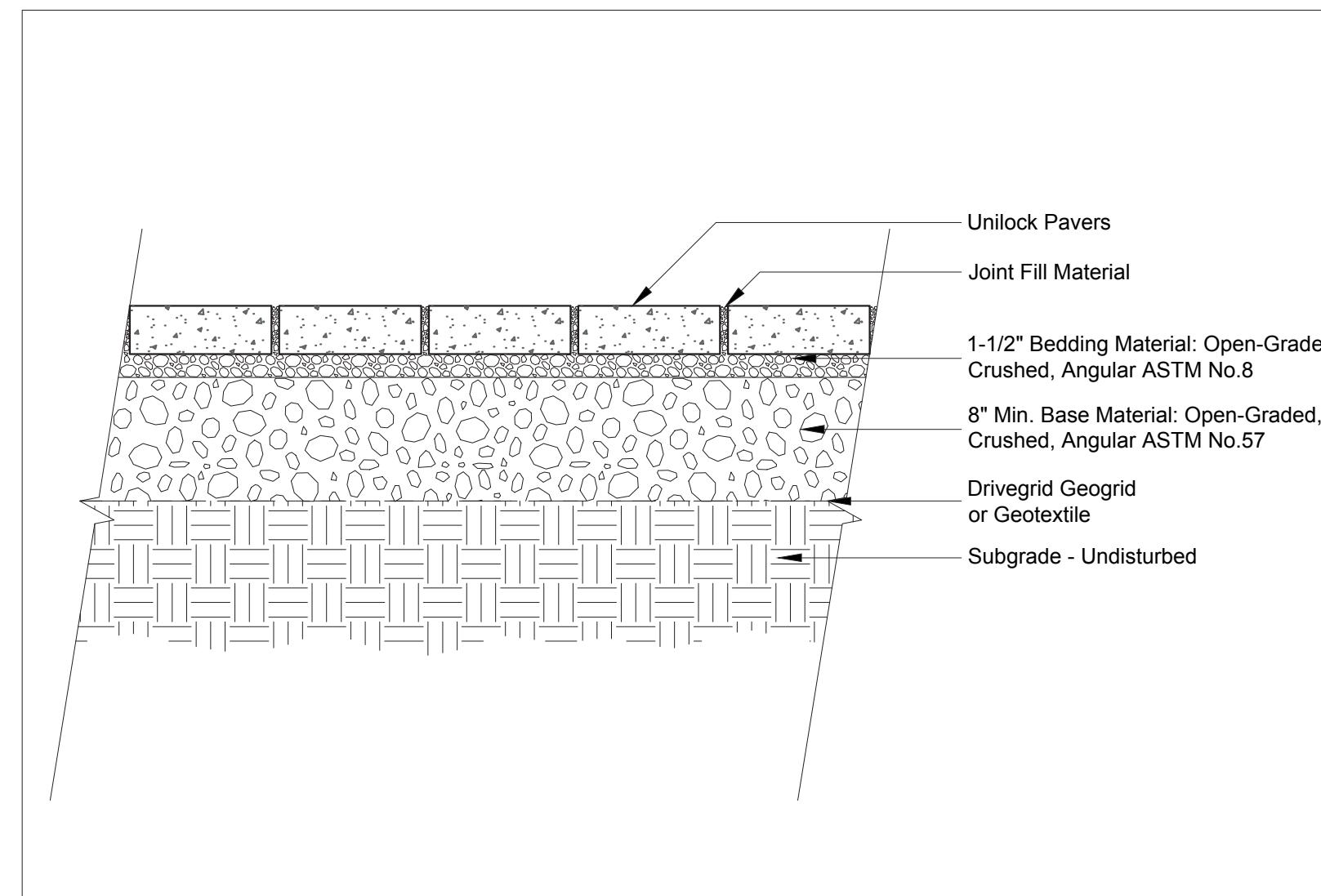
MARIA GHYS DESIGNS LLC

P.O. Box 3523 Bluffton SC

.P. Box 3323, Bluffton, SC
mariaghysdesigns@gmail.com

(843) 816-2565

Permeable Sidewalk (Non-Vehicular)

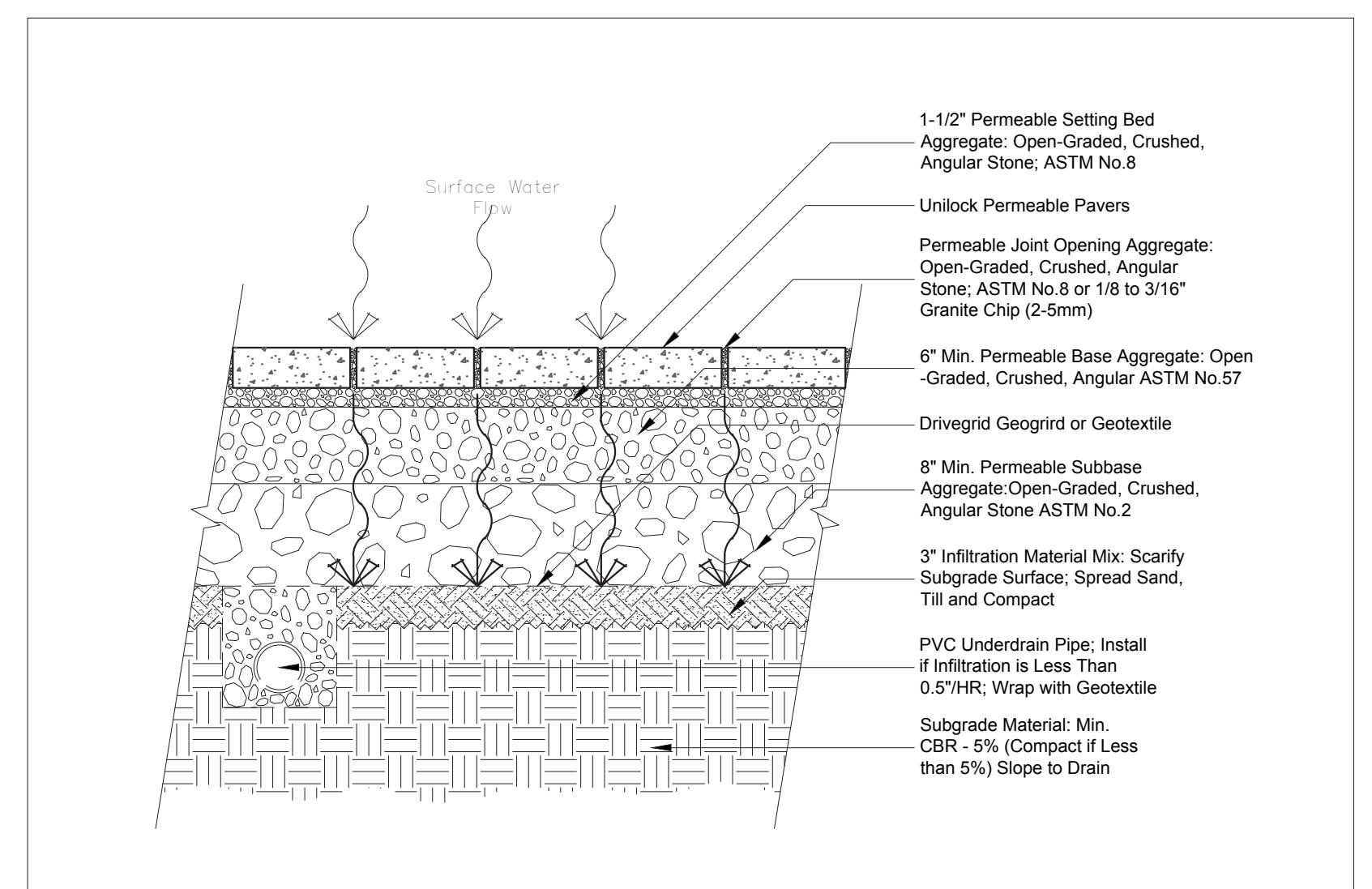


Note:
This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation.

UNILOCK.COM | 1-800-UNILOCK

UNILOCK®
PAVERS & WALLS

Permeable Driveway (Medium Duty)



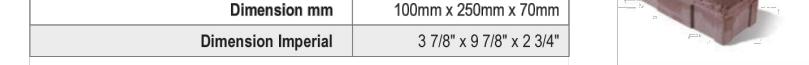
Note:
This cross section is intended for preliminary design purposes only. Confirm site conditions and consult with a qualified design professional or installer prior to installation.

UNILOCK.COM | 1-800-UNILOCK



BURGUNDY RED BURNT CLAY OLD OAK BASALT HERITAGE RED HERITAGE CLAY BURGUNDY RED BURNT CLAY OLD OAK BASALT HERITAGE RED HERITAGE CLAY
Solid Separately Blended on Site Solid Separately Blended on Site

Bundle Type	SINGLE
Thickness (mm)	70MM
Dimension mm	100mm x 250mm x 70mm
Dimension Imperial	3 7/8" x 7 7/8" x 2 3/4"
Bundle	88.41
Layer	11.0500
Section	-
Stone	0.28
PER BUNDLE	Layers 8.00 Sections -
SqFt	1.19
SOLDIER LNFT PER	Layer 13.12 Bundle 104.99
SAILOR LNFT PER	SqFt 2.97 Section - Layer 32.81 Bundle 252.47
UNITS PER	SqFt 3.62 Section - Bundle 320.00
LBS PER	Layer 361 Section - Bundle 2,888



STANDARD 9 1/2" x 3 1/2" 250 x 100 x 70mm

ADVANTAGES
PERMEABLE Permeable designed to allow water to flow through
REAL Cast from historic brick
ULTIMA™ Up to 4x stronger than poured-in-place concrete
DRIVE FRIENDLY Can handle vehicular loads

NOTES
SOLD IN FULL BUNDLES ONLY and is produced and sold on a required, returnable basis. Important: A uniform rubber liner must be used to prevent shifting when compacting. For permeable installations, Unilock recommends using granite chips for joint filler. For traditional applications, please refer to the Polymer Sand Best Practices and Important Notice in the Product Data Guide. All measurements are nominal. Contact Unilock for more information.
Internal Use Only: TWN-ON
TRADE USE ONLY: TWN-ON
TRADE USE ONLY: TWN-ON

TRADE USE ONLY: TWN-ON

December 10, 2025

Town of Bluffton Dept of Growth Management
20 Bridge Street
Bluffton, SC 29910

Cover letter addressing plan review comments for COFA-09-25-019927
Lot 51,4 Blue Crab Road – Tabby Roads

We are writing on behalf of Patrick Mason agent of Blue Crab Bluffton LLC to address HPRC staff comments received on 10.05.2025 and HARB comments received on 12.10.2025 .Please comments listed below with our responses in bold.

Growth Management Dept Review

1. Ownership/Applicant Authorization: The owner is shown as Pat Mason on the application, but Beaufort County records show Blue Crab Bluffton LLC. Update the application to show the correct property owner and provide written and signed authorization that William Court is serving as the agent/applicant.

- **The application has been updated to reflect the correct owner and Patrick Mason as the owner agent. Please see the accompanying letter authorizing William Court as the applicant**

2. Setbacks: Show the front and rear yard setback on the Composite Site Plan and the individual Site Plan.

- **All setbacks are now shown on the site plan and composite site plans**

3. Building Type: “Single Family Residential” is shown as the proposed building type, which is not a building type per the Unified Development Ordinance. Identify the building type, which must be one that is permitted in the NG-HD District (UDO Sec.5.15.5.C.). The specific building types established by district for the Old Town Bluffton are intended to “perpetuate the character that makes Bluffton distinctive” (UDO Sec. 5.15.1.C.). If an Additional Building Type is selected, identify why.

- **We have updated the application to suggest the Center Hall House building type with accompanying narrative identifying why we reference this building type**

4. Carriage House / Square Footage: As Old Town Bluffton is regulated by a form-based development code, the garage/bonus room is a carriage house and must comply with the carriage house building-type requirements of UDO Sec. 5.15.8.F. An attached carriage house “must be clearly incidental to...and distinguished from the principal building form.” Provide the individual square footage (footprint and total) for both the main structure and the carriage house. The carriage house is an ancillary structure, and it should be better differentiated from the main structure (on the eastern elevation, the wall is recessed only one foot from the main structure wall). Related to square footage, explain why the “storage room” on the second floor of the main structure is unconditioned.

- We have provided a narrative to note how the carriage house design complies with the UDO sec 5.15.8.F. We have adjusted architectural detailing and material to help distinguish the carriage house from the main house. Desired program and site limitations prevent additional distance between the house and garage. The second floor storage space is now absorbed in the conditioned space

5. Materials/Dimensions/Operations: In Section 5 of the application (Materials), for each element, provide the required materials, dimensions and operations. This information must also be shown on the architectural plans and be consistent. Some materials are not permitted per the UDO, including boral, powder-coated aluminum and composite. Your narrative, which is required with the Final Plan submission, must provide reasoning why these alternative materials are proposed and how they are the same or better in appearance and performance as permitted materials.

- Please refer to the accompanying project narratives and product cutsheets

6. Photos: Photos were not provided as required for a Concept Plan Review (COFA Application).

- Please see the accompanying site photos and surrounding context

7. On-street Parking: At the pre-application meeting, we discussed removal of the proposed on-street parking spaces. Was the plan not updated, or is it the intent to provide them? The Site Plan (P.02) and Sheet A2.1 do not match.

- We have omitted the on-street parking from the site plans as discussed

8. Screening Wall: A brick wall is shown on the east side of the house, but details are not provided. If the wall extends across property lines, an easement may be necessary that also identifies the party/parties responsible for maintenance. It appears that the wall exceeds the permitted height in the front yard; per UDO Sec. 5.15.6.K., wall height cannot exceed 42 inches and posts can be taller. Is the wall intended to serve as screen for the service yard? Consider moving the service yard farther into the property or in the rear.

- Yes, the brick wall adjacent the service yard is meant to screen the services. We have provided details in relation to the brick wall style and heights. The brick wall locations have been clarified on the site plan to show clearly where the wall and columns lie in relation to the property lines. Please see sheet A3.2 showing brick wall heights and design

9. Foundation Height: The main structure foundation is 2'-0". UDO Sec. 5.15.5.F.1.c. requires residential structure to have a "first finished floor height raised a minimum of three (3) feet above average adjacent sidewalk grade."

- The foundation height has been adjusted accordingly to raise the finish floor 3ft above the average sidewalk grade

10. Rear Double Porch Detail: Show the interior elevations of the porch that are not visible.

- Please see accompanying building sections on sheet A4.0 and A4.1 showing interior areas of the porches

11. Windows: Fixed windows are not permitted as shown on the left ground floor elevation. Per UDO Sec. 5.15.5.I.3.b. Consider changing this window to match the adjacent kitchen windows.

- **We have changed the referenced windows to casements**

12. Porch Facia: The front and rear porch appear to have two fascia boards with a space in between—it's not clear why. What is the material? Porch ceiling material must be identified.

- **Please see detail sheet A5.0 clarifying the porch fascia details and identity of the porch ceiling material**

13. Second Concept Plan Review: Given the number of comments, a second Concept Plan review will be required.

- **We were able to address many of these design comments and submit back to the HPRC staff for cursory review. We were approved to move forward with final HPC submittal. Please see the attached staff response email dated 10.23.2025**

14. Final Submission: At the time of Final Plan submission, provide a landscape plan showing foundation plantings and 75% tree canopy coverage at maturity (UDO Sec. 5.3.) and architectural details of the railings and balusters, door and window schedules, corner board/pilaster trim detail and sections through the eave and wall depicting the material and dimensions (Applications Manual). A response to all Concept Plan comments must be provided.

- **We are providing landscape plans and tree canopy coverage for this lot and adjacent related lots. Please refer to our A5 sheets for architectural details**

HPRC Review

1. Modify the front porch column spacing to comply with UDO 5.15.6.H.1.a: "Columns and porch posts shall be spaced no farther apart than they are tall as measured from the centerlines of the columns ("o.c")."

- **Columns have been modified to ensure that they are no farther apart than they are tall**

2. The small nib of hipped roof of the front elevation should be eliminated or further extruded into an appropriately scaled element. Consider simplifying the main roof mass so that the fascia matches.

- **We have simplified the main roof mass to omit the "nib" and suggest aligned fascias please see A3 sheets**

3. Review the window muntin designs for consistency. There is a mix of 4-lite and 6-lite windows that do not relate well to each other.

- **We are maintaining a consistent window and door lite pattern on this home and suggesting a 4-lite pattern. Please refer to the attached cover letter dated 12/04 that addressed HARB comments related to design.**

4. Change the lower roof of the garage to a shed roof to match the roof over the main door.

- **This roof has been changed to match**

5. Per UDO 5.15.8.F.: "An attached [carriage house] structure must be clearly incidental to, smaller than, and distinguished from the principal building form." The

garage element is not distinguished from the principal building form. Redesign the carriage house to provide definition between these two forms that is more than just “glueing” the garage onto the rear of the house. The relationship between the carriage house and porch appears haphazard and more consideration is necessary regarding how these two forms interact.

- Due to site limitations and program requirements, we are utilizing varied architectural elements and materiality to better distinguish the carriage house from the main house. Also since adjusting the main house FFE to be 3ft above grade, the carriage house is overall 1ft lower than the main house

HARB final comments

• Per UDO, Shutters must be made from “sturdy wood”. Composite shutters are not permitted. Until an alternative shutter design is submitted and approved this condition shall remain in place.

We are requesting approval from the HPC for composite shutters from the Atlantic shutter company. Should This request be denied, a sturdy wood shutter will be specified.

• If gutters are installed, downspouts should terminate at French drains.

Please see Landscape sheet L3 indicating locations where downspouts terminate into French drains

• On the base of the garage, water table trim matching the main house is required.

We have updated the garage water table detail to suggest a 5/4x6 versus 5/4 x 4 trim band to match the main house. See sheet A5.1

Sincerely,



William Court
Founding Principal
Court Atkins Group, Inc.

Build something great™



Boral TruExterior® Trim

PRODUCT & INSTALLATION GUIDE

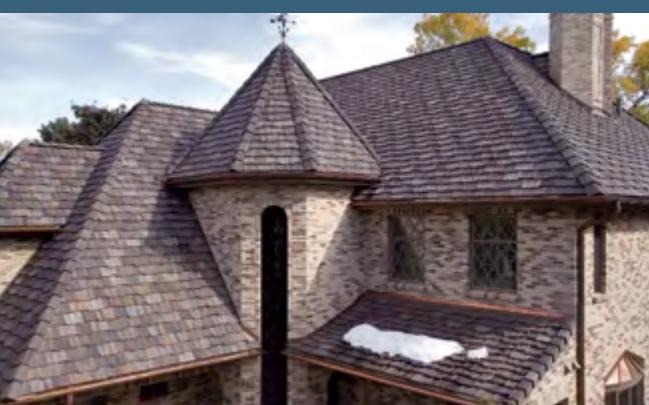


About Boral®

Boral Bricks



Boral Roofing



Cultured Stone® by Boral®



Boral TruExterior® Trim



Boral Limited

Boral is an international building and construction materials group, headquartered in Sydney, Australia. With annual sales over \$5.0 billion, Boral has roughly 14,000 employees working across over 580 operating sites. Boral produces and distributes a broad range of Construction Materials including quarry products, cement, fly ash, pre-mix concrete and asphalt; and Building Products including clay brick, clay and concrete roof tiles, masonry products, plasterboard, windows and timber. Boral serves customers in the building and construction industries in three key geographical markets - Australia, the USA and Asia.

Boral USA

Headquartered in Roswell, Georgia, Boral USA has been in operation for more than 30 years—with a focus on being a leading manufacturer and supplier of building products and construction materials.

- Boral USA currently holds a variety of leadership positions in the building products and construction materials markets.
- The company is active in categories that show long-term growth opportunities.
- Boral USA is a leading manufacturer and marketer of:

Boral Bricks – #1 brand of clay brick

Boral Roofing – Largest manufacturer of clay & concrete roof tiles in the U.S.

Cultured Stone® by Boral® – #1 brand of manufactured stone veneer

Boral Material Technologies – A leading marketer of fly-ash

Boral Composites - Producer of Boral TruExterior® Trim and other innovative poly-ash products



Boral TruExterior® Trim
has created an entirely
new category of exterior
trim, bringing new levels of
performance, features, and
benefits. It truly is like no other.

A New Category of Exterior Trim

A New Category of Exterior Trim

- The first and only Poly-ash trim product, consisting of a blend of proprietary polymers and coal combustion products (ash).
- Poly-ash composition provides consistency throughout the material with virtually no moisture cycling⁺ or expansion and contraction⁺.
- Developed with years of rigorous internal and 3rd party testing, proven with thousands of installations.
- Composed of more than 70% recycled materials.
- Boral TruExterior® Trim is a product you can trust to provide exceptional performance, superior workability and a lasting appearance for exterior applications.

An Excellent Exterior Trim Alternative

Like Wood, Boral TruExterior® Trim...

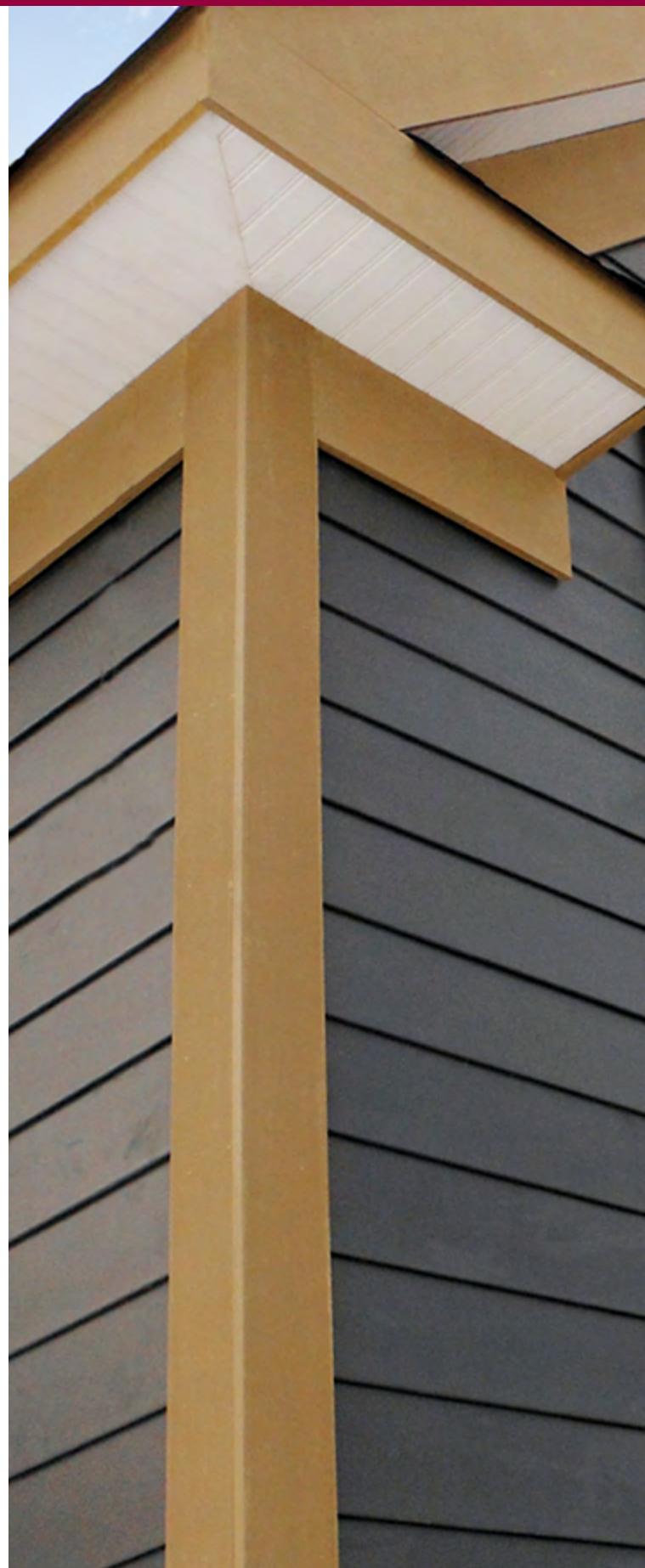
- is easy to handle (similar weight)
- is reversible with an authentic wood grain and smooth side
- is easy to cut, rout, drill and fasten
- can be installed with the same tools

Unlike Wood, Boral TruExterior® Trim...

- is a low maintenance product
- has exceptional durability
- is resistant to rotting, cracking, splitting from moisture and virtually free from termites⁺
- offers excellent workability

Unlike most other trim products, Boral TruExterior® Trim...

- maintains a high level of dimensional stability during periods of moisture and temperature change⁺
- is suitable for ground contact
- does not require end-sealing, special adhesives or other cumbersome and costly installation techniques
- can be painted any color
- contains one of the highest levels of recycled content



⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Like No Other

Boral TruExterior® Trim satisfies the exterior trim customer's need for a product that is:

- Easy to install
- Long-lasting, withstanding nature's elements
- Competitively priced compared to other products in the marketplace

Superior Workability

Boral TruExterior® Trim is creating an entirely new category of reliable exterior trim that offers phenomenal performance, remarkable workability, and a lasting look without the limitations that plague other exterior trim products. Plus it can be installed using proven woodworking tools and methods.

Applications

Designed to be used in non-structural applications, Boral TruExterior® Trim is suited for ground contact, which makes it ideal for exterior trim applications such as:

- Corners
- Soffits
- Fascia
- Batten strips
- Frieze boards
- Rake boards
- Garage door casings
- Window surrounds
- Door trim
- Other non-structural exterior trim applications



Boral TruExterior® Beadboard



Boral TruExterior® Beadboard

Complimenting the 1x and 5/4 profiles, Boral TruExterior® Beadboard offers the traditional look of wood beadboard without the problems that plague wood products, such as rotting, cupping and twisting. Boral TruExterior® Beadboard can be installed in either parallel, perpendicular, or diagonal directions. And its high level of dimensional stability[†] allows fastening up to 24" on center without the need for additional support backing.

Boral TruExterior® Beadboard is designed for non-structural applications and is ideal for soffits, porch ceilings, decorative wall applications and other moisture-prone areas.



Boral TruExterior® Beadboard Facts

- Maintains high level of dimensional stability[†]
- No need to prime end or field cuts
- Easily accepts paint of any color
- Reversible edge & center bead and V-groove profiles
- Workability exceeds wood beadboard
- Resists rot and termite attacks[†]
- Installs with standard woodworking tools and methods
- No cracking or splitting from moisture
- Accepts a wide variety of fasteners
- Spans up to 24" on center and can be ran parallel to the house for soffit applications
- Made in the USA
- 20-year limited warranty



[†]Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

Boral TruExterior® Trim

Available Sizes

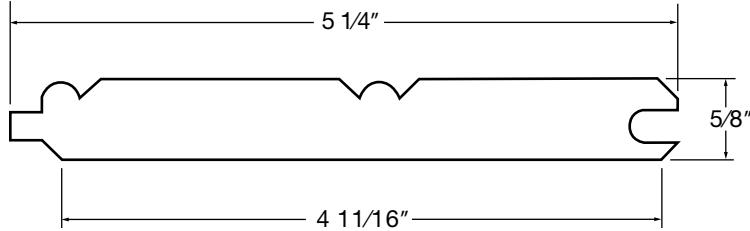
Boral TruExterior® Trim is reversible with wood grain on one side and a smooth finish on the reverse. It comes in 16' lengths and is available in both 4/4 and 5/4 thicknesses (3/4" and 1" actual, respectively).

4/4 Nominal Thickness nominal size	3/4" Actual Thickness actual size	5/4 Nominal Thickness nominal size	1" Actual Thickness actual size	2" Nominal Thickness nominal size	1 1/2" Actual Thickness actual size
1 x 4	3/4" x 3 1/2"	5/4 x 4	1" x 3 1/2"	2 x 4	1 1/2" x 3 1/2"
1 x 5*	3/4" x 4 1/2"	-	-	-	-
1 x 6	3/4" x 5 1/2"	5/4 x 6	1" x 5 1/2"	2 x 6	1 1/2" x 5 1/2"
1 x 8	3/4" x 7 1/4"	5/4 x 8	1" x 7 1/4"	2 x 8	1 1/2" x 7 1/4"
1 x 10	3/4" x 9 1/4"	5/4 x 10	1" x 9 1/4"	2 x 10	1 1/2" x 9 1/4"
1 x 12	3/4" x 11 1/4"	5/4 x 12	1" x 11 1/4"	2 x 12	1 1/2" x 11 1/4"

*Subject to regional availability.

Beadboard Product Dimensions

Nominal Dimensions	Actual Dimensions
5/8 x 6 x 16	5/8" x 5 1/4" x 16'



The Exterior Trim Landscape

Boral TruExterior® Trim compared to Other Trim Options

	BORAL TRUEXTERIOR® TRIM	WOOD TRIM	CELLULAR PVC TRIM	FIBER CEMENT TRIM	ENGINEERED/ COMPOSITE TRIM
No Special Tools Required	•	•	•		•
Easily Routed	•	•	•	✓	✓
Consistent Density	•		✓	•	
Fasten Close to Edge of Product	•		•		
Readily Accepts Wide Variety of Fasteners	•	✓	✓		
No Special Paint Needed For Light or Dark Colors	•	•		•	•
No Additional Safety Precautions Needed While Cutting	•	•	•		•
Installs the Same Way at All Temperatures	•	•		•	•
No Need to Prime End or Field Cuts	•		•		
No Need for Adhesives to Limit Movement	•	•		•	•
Dimensionally Stable After Installation ⁺	•	✓		•	
Suitable for Ground and Masonry Contact	•		•		
No Cracking or Splitting from Moisture ⁺	•		•	✓	✓
Resistant to Fungal Decay ⁺	•		•		
Over 70% Recycled Content ⁺	•				
Made in the USA	•	✓	✓	✓	✓

● All in Category ✓ Some in Category

⁺Please see Boral TruExterior® Trim Limited Warranty and Product Data Sheets for proprietary test results located at www.BoralTruExterior.com

The Sustainable Solution

In the U.S., Boral continues the company's mission of being a leader in sustainability by engaging in such areas as alternative fuel sources and waste water management systems.



- Boral is committed to global environmental stewardship, which is reflected in Boral TruExterior® Trim – the first and only exterior trim product to be awarded a Cradle to Cradle certification (C2C). C2C is a multi-attribute, eco-label that assesses a product's safety to humans, environment and design for future life cycles. Within the terms of the certification program, this means pursuing the following ideals:
 - Using material that is safe for human health and the environment
 - Designing products and systems for material recovery and reutilization, such as recycling or composting
 - Using renewable energy
 - Efficiently using water and realizing maximum water quality associated with production
 - Instituting strategies for social responsibility

For more information on Cradle to Cradle Certification, please visit www.C2Ccertified.com

Cradle to Cradle Certified™ is a certification licensed by the Cradle to Cradle Products Innovation Institute.



- Boral TruExterior® Trim boasts the highest recycled content among all exterior trim products with a SCS Global Certified minimum 70% recycled content. The SCS Recycled Content certification is designed to help manufacturers make credible claims about their products by increasing the use of recycled materials which reduces solid waste and natural resource consumption. All claims are certified in accordance with U.S. Federal Trade Commission's Guides for the Use of Environmental Marketing.

For more information on SCS Global, please visit www.SCSglobalservices.com

- Coal Combustion products are endorsed by the U.S. Green Building Council for use in construction materials.

For more information on the U.S. Green Building Council, please visit www.USGBC.org

- Boral TruExterior® Trim is produced in a state of the art LEED Silver Certified facility in East Spencer, NC.



Warranty

This express Limited Product Warranty (“Warranty”) covers performance of trim product (“Trim Product”) manufactured by Boral Composites Inc. (“BCI”). This Warranty extends only to the original owner of the structure in which the Trim Product is installed (“Qualified Owner”).

BCI warrants to the Qualified Owner that each Trim Product will be free from manufacturing defects such that the Trim Product: 1) will not decay due to rot; 2) will not excessively swell from moisture; and 3) will resist termite damage in each case to the extent such properties are proven in the tests set forth in the Boral TruExterior® Trim Product Data Sheet, as amended from time to time, which is located at the www.BoralTruExterior.com website. The duration of this Warranty is twenty (20) years from the date the Trim Products were originally purchased from an approved BCI vendor. This warranty is conditioned on and subject to the additional terms and conditions set forth below.

To make a Warranty claim, the Qualified Owner must: (1) notify BCI in writing within ninety (90) days after the facts on which the claim is based become known, (2) provide BCI an opportunity to investigate and approve the claim, and (3) provide BCI an opportunity to inspect and test the Trim Product, its installation, and the environment in which it was used prior to removal by the original purchaser. Warranty claims must be made during the duration of the Warranty. Failure to comply with these notice and inspection provisions shall void this Warranty.

If BCI finds that any of your Trim Product does not meet the Warranty set forth herein, after inspecting and testing the Trim Product, BCI will furnish at its sole option new Trim Product, free of charge, to replace each defective area of Trim Product or refund the purchase price of the defective Trim Product. These remedies are the Qualified Owner's exclusive remedies for breach of warranty. BCI shall not be responsible for labor costs and shall not be liable for any other losses or damages.

Specific Exclusions: This Warranty does not cover (a) damage to the Trim Product caused during installation; (b) Trim Product not installed in accordance with appropriate local building codes and acceptable trade practices in that specified area; (c) damage caused due to failure to follow painting guidelines provided by BCI; (d) intentional or unintentional misuse of or damage to the Trim Product; (e) damage to Trim Product or structure caused by impact of foreign objects, earthquakes, fire, flood, lightning, ice, tornado, hurricane, windstorm, or any other Acts of God; (f) movement, settlement, distortion, warping or cracking of the Trim Product's structural supports or accessories used in connection therewith; (g) physical abuse, vandalism, riot, insurrection, improper maintenance, use of incompatible accessories; (h) color fading, color changes or variations of

the color hue or physical deterioration of the color for any reasons including, but not limited to pollution, mold, mildew, acid rain, weathering, oxidation, air pollutants, or application of harmful chemicals or vapors to the Trim Product. This Warranty also does not cover trim manufactured by others, accessory materials, or installation labor provided by others.

This is the entire Warranty between BCI and the Qualified Owner with respect to Trim Product. This Warranty supercedes all prior and contemporaneous agreements, representations, or understandings, whether oral or written, relating to Trim Products. Statements contained in BCI's advertising materials do not constitute a warranty. **THIS WARRANTY IS THE SOLE WARRANTY GIVEN BY BCI WITH RESPECT TO THE TRIM PRODUCTS.** BCI DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU. IF YOU LIVE IN A STATE WHERE THE DISCLAIMER OF IMPLIED WARRANTIES IS NOT ALLOWED, THEN THE DURATION OF ANY IMPLIED WARRANTY IS HEREBY LIMITED TO THE DURATION OF THE EXPRESS WARRANTIES. OTHERWISE, THIS WARRANTY IS THE QUALIFIED OWNER'S SOLE AND EXCLUSIVE REMEDY.

BCI reserves the right, in its sole discretion, to modify or withdraw this Warranty, in which event this Warranty will not be applicable to any purchases of Trim Products that occur after the date of modification or withdrawal.

BCI shall in no event be liable under any circumstances for incidental, punitive, consequential, exemplary or other damages, or for any damages to any structure or its contents or its occupants, whether any such claim is based upon theories of contract, warranty, negligence, tort, strict liability or otherwise. This express Warranty excludes all costs of labor, installation, reinstallation, freight, taxes or any other charge related to defective Trim Product. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation may not apply to you.

This Warranty gives the Qualified Owner specific legal rights, and the Qualified Owner may have other rights which may vary from state to state.

For further information concerning this Warranty or to report claims, contact:

Boral Composites Inc.

Attention: Director of Sales and Marketing
200 Mansell Court East, Suite 305
Roswell, Georgia 30076

Installation Guidelines

The following information offers typical installation techniques when working with Boral TruExterior® Trim. This product should never be used in structural or load bearing applications. These directions are guidelines. As with installing any building material, care should be taken to adhere to local code requirements and construction best practices to ensure installation is adequate for each specific application.

Storage and Handling

Boral TruExterior® Trim should be stored on a flat, level surface. Pallets are shipped from the manufacturing facility in a protective covering and each board has a factory applied primer, so care should be taken to keep the board covered and free of dirt and debris. If the board gets dirty, make sure to clean and dry it prior to painting.

Working With Boral TruExterior® Trim

This product is an excellent replacement for wood trim and can be installed using proven woodworking tools and methods. For ease of use, consider the following before working:

- **Cutting** – Boral TruExterior® Trim can be cut using standard saw blades. However, for longer tool life carbide tipped blades are recommended.
- **Routing & Drilling** – Boral TruExterior® Trim can be drilled and routed using standard woodworking tools, but a carbide tipped router and drill bits are recommended.
- **Fastening**
 - Use fasteners designed for exterior trim and siding
 - Use 2 fasteners per every framing member and 3 fasteners for all 12" wide boards.
 - Fasteners should be installed every 24" OC or less. For best results, place fasteners within 2" of the edge of each board.

For 2x applications:

- Use a fastener that is long enough to penetrate a solid wood substrate a minimum of 1 1/2"
- Fasteners should penetrate a framing member. Sheathing alone may not provide adequate support or holding power.
- **Safety** – In working with any product that may cause airborne debris such as nuisance dust, be sure to take proper measures to protect against eye and inhalation hazards.

Standard nail guns and screws can be used to install

Boral TruExterior® Trim as it takes a variety of fasteners with ease and does not mushroom at the screw head nor require pre-drilling.

Boral TruExterior® Trim is a non-structural building material and should never be used in load-bearing or structural applications. Fasteners should be installed every 24" OC or less. For best results, be sure to place fasteners within 2" of the end of every board. Proper care should be taken to understand the desired application and ensure that proper framing and fasteners are adequate for the installation.

Expansion and Contraction – Boral TruExterior® Trim is very stable* during periods of temperature and moisture change; no special precautions are necessary to control or limit movement.

Use at Grade – Since Boral TruExterior® Trim is virtually impervious to water absorption, termite attacks and won't rot*, it is approved for ground contact.

Nail Holes and Repair – Filling nail and screw holes or repairing any minor damage caused by handling may be done using high-grade acrylic caulk or wood fillers.

Painting Boral TruExterior® Trim is a requirement, and failure to do so will void the warranty. As in preparing for any painting project, be sure the surface of the product is free of dirt, debris or other contaminants prior to paint application. Boral TruExterior® Trim can be painted using any high grade exterior paint. Make sure to follow the paint manufacturer's application recommendations.

More information can be found in Boral's technical bulletin for paint or in the product warranty. Both documents can be found at www.BoralTruExterior.com.

Boral TruExterior® Trim may be painted any color without special precaution as the product is not prone to excessive movement due to heat buildup.*

Boral TruExterior® Trim is virtually impervious to moisture*, so there is no need to prime or paint end-cuts or field-cut edges.

Moisture cycling is a primary cause for paint failure on wood products. Since Boral TruExterior® Trim is resistant to this moisture cycling*; paint will perform better.

*Please see the Boral TruExterior® Trim Product Data Sheet at www.BoralTruExterior.com for property test results.



Download a QR
Code reader app for
your smartphone,
then take a photo to
visit our website

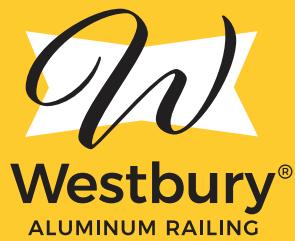


1.888.9BORAL9 | www.BoralTruExterior.com

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BRICKS
STONE
TRIM
ROOFING





Welcome Home



Digger
Specialties
Inc.

Transforming the Outdoor Living Experience™



Westbury® Aluminum Railing is
Six Ways Better
Than Other Railing Systems:

- Proprietary 10 Step Coating For Permanent Color and Finish
- Available In Stunning Colors and Textures
- Extremely Low Maintenance
- Designer Aesthetics To Enhance Any Deck or Porch
- Fastest Railing System To Install
- Code Approved For Residential or Commercial Construction



Railing System Comparison Chart

Railing System	Permanent Finish	Fade Resistant	Lifetime Limited Warranty	Easy to Install	Low Maintenance	Low Installation Cost
Westbury® Aluminum	•	•	•	•	•	•
Composite	•	•	•		•	
Iron or Steel		•				
Wood						•
Vinyl	•		•	•	•	•



Beauty meets strength. Elegance meets distinction. Masterpiece meets innovative engineering. Westbury® Aluminum Railing is designed with these essential elements in mind.

With a variety of designs, colors, and textures, you have the power to decide what fits your home. Whether you are adding railing to your front porch, a back yard or multi-level deck, a balcony, or to the interior of your home, Westbury® Aluminum Railing can transform your home into a welcoming retreat.

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ALUMINUM COLORS

Textured Colors

Westbury® Aluminum Railing is available in 12 standard AAMA 2604 colors to compliment your project; from satin colors to textured colors.

Custom colors and AAMA 2605 colors are available by special order.



Non Textured Colors



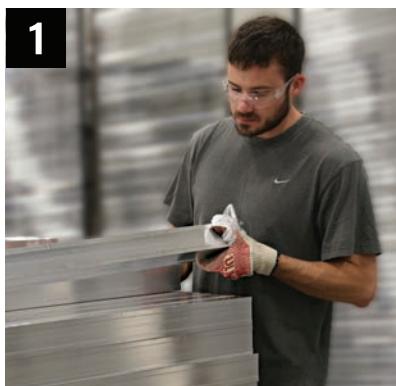
Colors shown are a close approximation of the true color.
Please consult actual samples for accurate powder coating colors.



POWDER COATING PROCESS

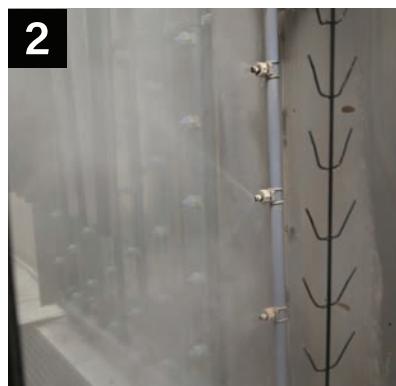
Exclusive DSI Powder Coating Process

DSI's proprietary 10 step powder coating process provides an uncompromising quality created by state-of-the-art technology. Our system is certified by the Powder Coating Institute providing peace of mind in your investment. Our powder coating is verified by the American Architectural Manufacturers Association and is covered by a Lifetime Limited Warranty.



1

The raw premium-grade aluminum is inspected to be free of blemishes and is not exposed to the outdoor elements.



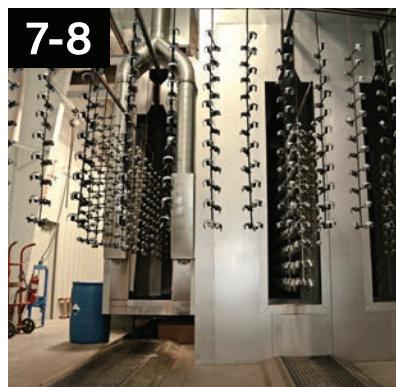
2

The product enters a heated acidic cleaning stage to remove extrusion debris and fabrication oils.



3-6

Clean: City water rinse.
Cleaner: Recycling reverse osmosis water rinse
Cleanest: Pure reverse osmosis water rinse
Sealer: Dried-in-place aluminum sealer



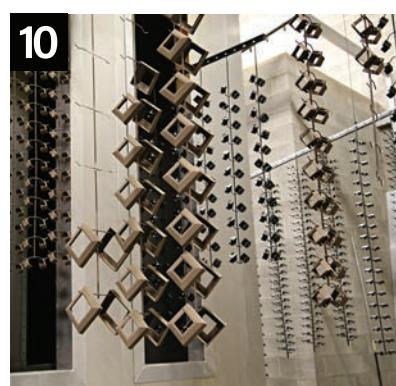
7-8

A 200 MPH air blast removes water drops from the pre-treated aluminum.
A convection oven completes the dry-off process.



9

Powder is applied with 18 automated and 2 manual spray guns. Compressed process air is dried to -35°F Dew Point for superior adhesion.



10

The powder coating is then bonded and adhered to the aluminum substrate in a 400 degree cure stage.

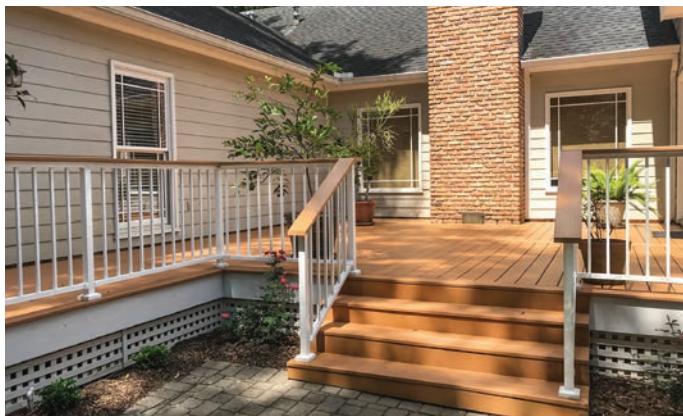


TUSCANY

SERIES



Tuscany Aluminum Railing



Tuscany (C10)
3/4" x 3/4" Square Baluster



Tuscany (C101)
3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.
For code compliance information visit westburyrailing.com

Tuscany Series Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (4), and Installation Instructions.



Section Type	4'	5'	Length 6'	7'	8'	Height 36"	42"
Straight	•	•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair	•	•	•	•	•	•	•

Tuscany (C10) Assembled Specifications

Assembled sections (square balusters) are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



Section Type	4'	5'	Length 6'	7'	8'	Height 36"	42"
Straight		•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair			•	•	•	•	•



Welded Corner



Radius Section



VERANDA



Veranda Aluminum Railing



Veranda (C70)
Rail Kits with Gasket for 1/4" Tempered Glass
1/4" Glass Panels Ordered Separately



Veranda (C70)
Rail Kits with Gasket for 3/8" Glass
3/8" Glass Not Available Through DSi

CCRR-0163 Complies with IBC, IRC, and FBC. For code compliance information visit westburyrailing.com

Veranda Boxed Rail Kit Specifications

Boxed Kits Include: Rails, Mounts (4), and Installation Instructions. Glass Panels are ordered separately.



Section Type	Length			Height	
	4'	5'	6'	36"	42"
Straight	•	•	•	•	•
Stair	All Stair Sections are Special Order				

1/4" Tempered Glass Panel Specifications

Glass Panels are ordered separately.

Panel Type	Length			Height		Color		
	4' (42-1/4")	5' (54-1/4")	6' (66-1/4")	36" (32-1/4")	42" (38-1/4")	Clear	Grey	Bronze
Straight	•	•	•	•	•	•	Special Order	Special Order
Stair	All Stair Panels are Special Order							



Grey or Bronze Special Order
Glass Panels Available



Special Order Glass Panels
for Stair Sections



VERTICABLE®



VertiCable® Aluminum Railing



VertiCable (C80) with Mounts

5/8" Round Baluster
1/8" Stainless Steel Cable



VertiCable (C80) without Mounts

5/8" Round Baluster
1/8" Stainless Steel Cable

CCRR-0163 Complies with IBC, IRC, and FBC. For code compliance information visit westburyrailing.com

VertiCable (C80) Section with Mounts Specifications

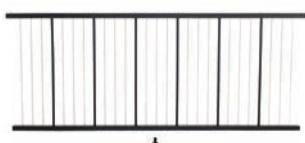
Sections Include: Factory Assembled Section, Mounts (4), and Installation Instructions.



Section Type	4'	5'	Length 6'	7'	8'	Height 36" 42"
Straight w/Aluminum Balusters	•	•	•			•
Straight w/Aluminum Balusters and Rail Support				•	•	•
Straight w/Stainless Steel Balusters	•	•	•			•
Stair w/Stainless Steel Balusters	•	•	•			• •

VertiCable (C80) Section without Mounts Specifications

Sections are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



Section Type	4'	5'	Length 6'	7'	8'	Height 36" 42"
Straight w/Aluminum Balusters	•	•	•			•
Straight w/Aluminum Balusters and Rail Support				•	•	•
Stair w/Stainless Steel Balusters	•		•			•



MONTEGO

SERIES



Montego Aluminum Railing



Montego (C20)
Two Rail
3/4" x 3/4" Architectural Baluster



Montego II (C23)
Three Rail
3/4" x 3/4" Architectural Baluster

Montego Series Aluminum Railing has NOT been tested for any building codes.

Montego (C20) Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (4), and Installation Instructions.



Section Type	4'	5'	Length 6'	7'	8'	Height 36"	Height 42"
Straight	•	•	•			•	•
Straight w/Rail Support				•	•	•	•
Stair	•	•	•	•	•	•	•

Montego II (C23) Boxed Kit Specifications

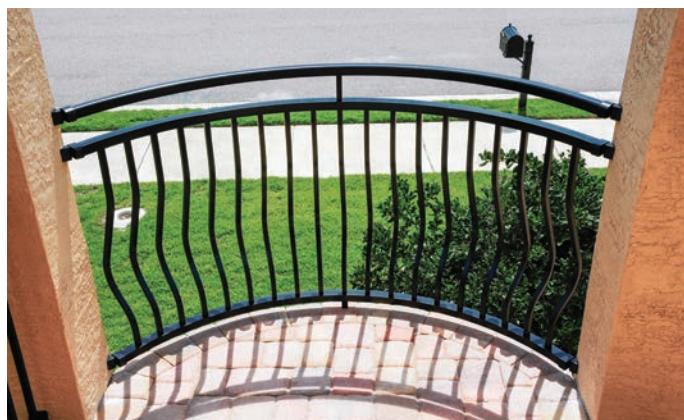
Boxed Kits Include: Rails, Balusters, Mounts (6), and Installation Instructions.



Section Type	4'	5'	Length 6'	7'	8'	Height 36"	Height 42"
Straight	•					•	•
Straight w/Rail Support		•	•	•	•	•	•
Stair	•	•	•	•	•	•	•



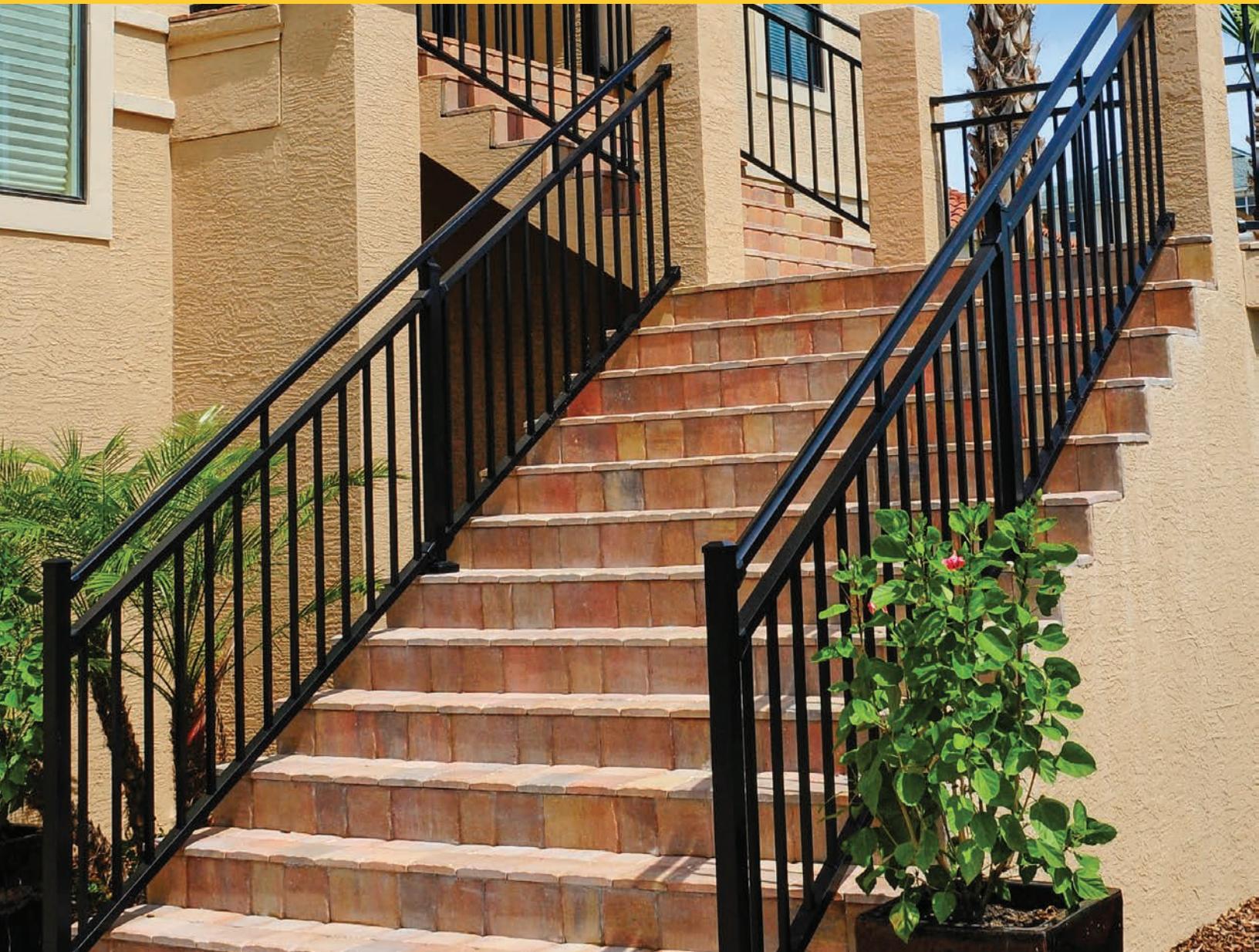
Two Rail Radius Section



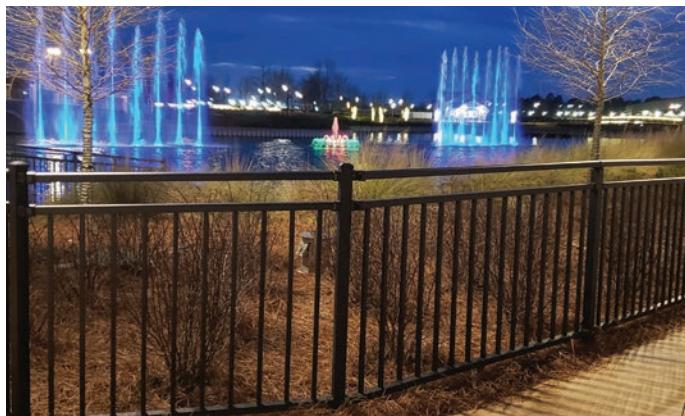
Three Rail Radius Section



RIVIERA SERIES



Riviera Aluminum Railing



Riviera (C30)
3/4" x 3/4" Square Baluster



Riviera (C301)
3/4" Round Baluster

Riviera R (C30R)
3/4" x 3/4" Square Baluster

Riviera R (C301R)
3/4" Round Baluster



Riviera I (C31)
3/4" x 3/4" Square Baluster

Riviera I (C311)
3/4" Round Baluster



Riviera II (C32)
3/4" x 3/4" Square Baluster

Riviera II (C321)
3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.
For code compliance information visit westburyrailing.com

RIVIERA SERIES



Riviera III (C33)
3/4" x 3/4" Square Baluster



Riviera IV (C34)
3/4" x 3/4" Square Baluster

Riviera IV (C341)
3/4" Round Baluster

CCRR-0163 Complies with IBC, IRC, and FBC. Miami-Dade County Approved for 4' through 6' Sections.
For code compliance information visit westburyrailing.com

Riviera Series Boxed Kit Specifications

Boxed Kits Include: Rails, Balusters, Mounts (6), and Installation Instructions.



Section Type	Length					Height	
	4'	5'	6'	7'	8'	36"	42"
Straight	•					•	•
Straight w/Rail Support		•	•	•	•	•	•
Stair	•	•	•	•	•	•	•



Radius Sections

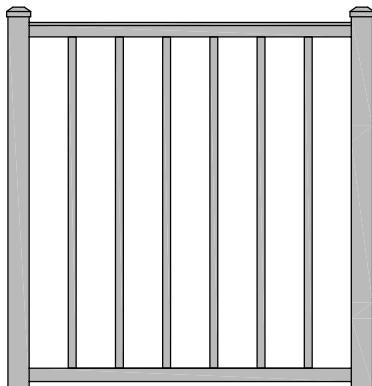
GATES & HARDWARE

DSI offers matching gates for most Westbury® Aluminum Railing styles*. Gates allow the flexibility to "enclose" your railing area, keeping your family safe from stair hazards and your pets limited to your deck or patio area. All Westbury® C Series gates, with the exception of Veranda (a welded gate), are adjustable.

*Gates are not available for Montego Series.



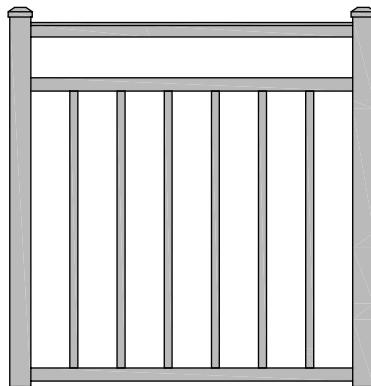
Adjustable Gates



Tuscany Series
36"W, 48"W, and 60"W Openings

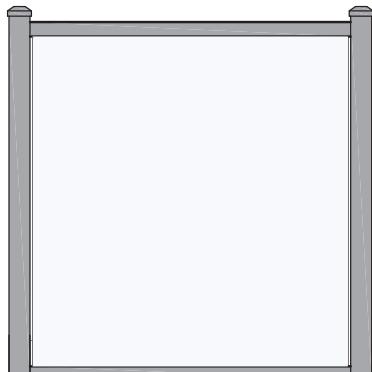


VertiCable®
36"W, 48"W, and 60"W Openings



Riviera Series
36"W, 48"W, and 60"W Openings

Welded Gates



Veranda
36"W, 48"W, and 60"W Openings
1/4" Tempered Glass

Latches



Hinges



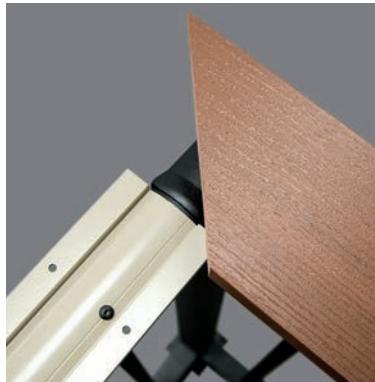
Canebolt



DRINK RAIL ADAPTER

Turn your Westbury® Top Rail into the perfect spot for your morning cup of coffee or cool afternoon drink while enjoying your outdoor living space.

This sturdy adapter is ready to install with pre-drilled holes, allowing for a fast installation. Once attached just add the material of your choice and you are ready to enjoy your new space.



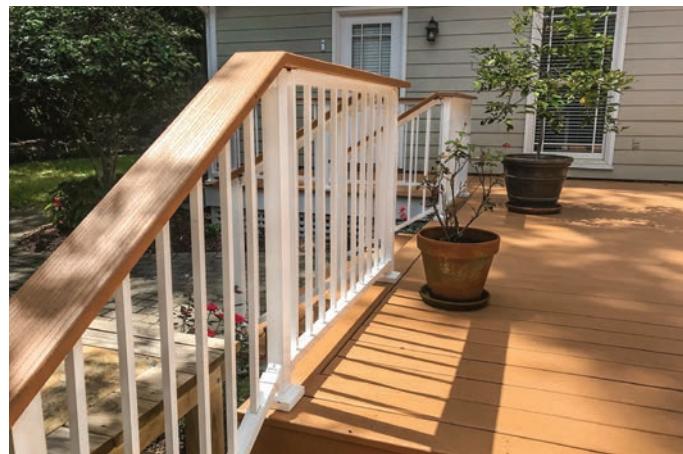
Supports Wood or Composite Deck Board
(Deck Board Not Included)



Underside view of the Seamless Integration of the Drink Rail system



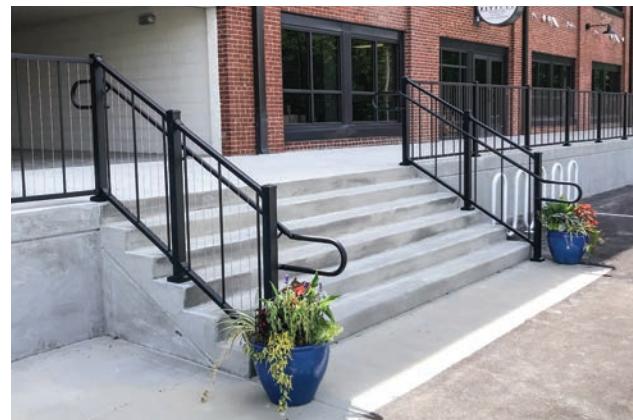
Solid Wall Construction for Strength & Durability



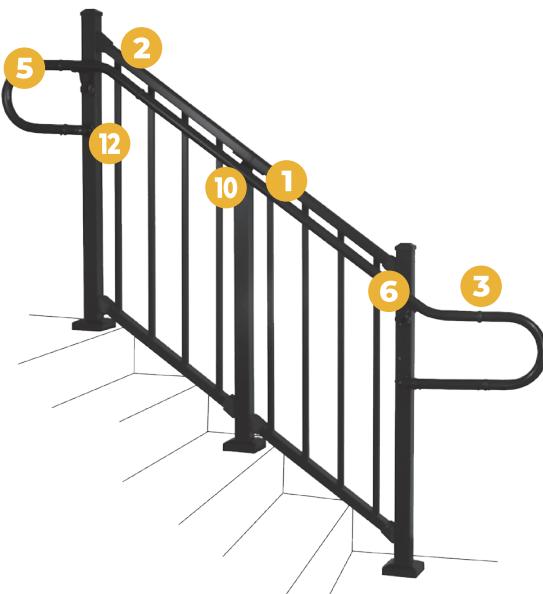
ADA CONTINUOUS HANDRAIL

ADA Continuous Handrail is designed to assist individuals with accessibility and mobility concerns. This system offers versatile components and accessories providing the perfect safety solution for stairways, ramps, and decks. ADA Continuous Handrail is easy to install on any surface and is compatible with new or existing railing systems.

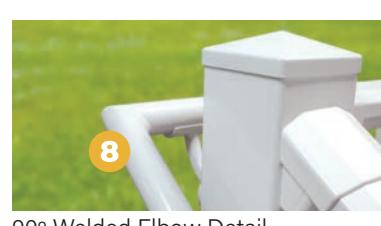
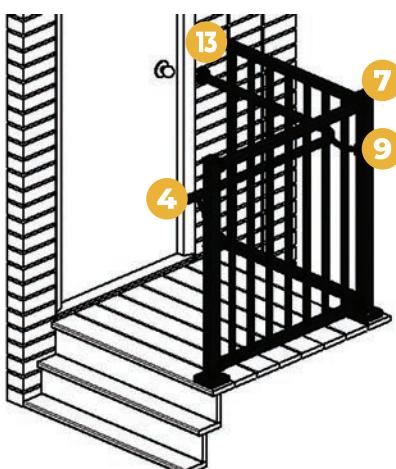
Available in 12 DSI Colors (shown on page 2).



Stair Application



Deck Application



1-3/8" Handrail
(8', 10' & 16')



Internal
Connector



Collar Rings
(to cover splice)



Internal
End Cap



180° Elbow



Adjustable
Elbow



90° Elbow



90° Welded
Elbow



Inside Corner Mount
(attaches to post)



Wall Mount



Extended
Wall Mount



Wall Return



Wall-End
Mount

SCREEN RAIL

Expand your living area and enjoy the outdoors without the insects. Westbury® ScreenRail is offered as a structural balcony railing system, a heavy-duty kick panel system, or a mid-rail system allowing you to customize ScreenRail to fit your needs.

Features include easy to assemble sections, assembled universal door (right or left hand hinge) with heavy-duty frame, and durable flat spline to secure the screen.

With a Lifetime Limited Warranty, ScreenRail is a premium system designed to expand your living area by bringing the outdoors into your home.



Balcony Railing System



Heavy Duty Kick Panel System



Mid-Rail System



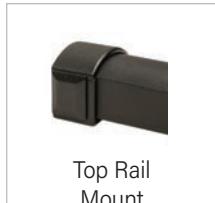
RAIL MOUNTS

Standard Wall Mounts:

1-4 pack or 1-6 pack is included with each straight railing section.

A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.



Top Rail Mount



Mid/Bottom Rail Mount

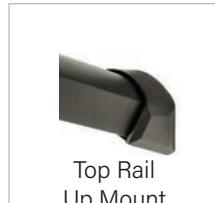
Standard Stair Mounts:

1-4 pack or 1-6 pack is included with each stair railing section.

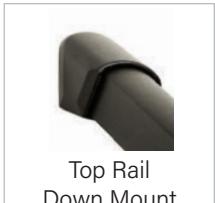
A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.

For Stair Racking information visit westburyrailing.com



Top Rail Up Mount



Top Rail Down Mount



Mid/Bottom Rail Up Mount



Mid/Bottom Rail Down Mount

Optional Specialty Mounts:

Stair Double Swivel Mounts

Available as a 2 pack or 3 pack. These mounts are not included with sections.

A 2 pack contains (1) top mount, (1) bottom mount, and screws.

A 3 pack contains (1) top mount, (1) mid mount, (1) bottom mount, and screws.



Top Rail Mount



Mid Rail Mount



Bottom Rail Mount

Angle Swivel Mounts

Available as a 4 pack or 6 pack. These mounts are not included with sections.

A 4 pack contains (2) top mounts, (2) bottom mounts, and screws.

A 6 pack contains (2) top mounts, (4) mid/bottom mounts, and screws.



Top Rail Mount



Mid/Bottom Rail Mount

Stair Swivel Mounts

Top Rail Mount



Mid Rail Mount

45° Angle Mounts

Top Rail Right Mount



Top Rail Left Mount



Bottom Rail Mount



Mid/Bottom Rail Right Mount

Round Column Adapter Kits:

Available as a 4 pack or 6 pack. These adapter kits are not included with sections.

A 4 pack contains (2) top adapters (2) bottom adapters

A 6 pack contains (2) top adapters (4) mid/bottom adapters

Smooth

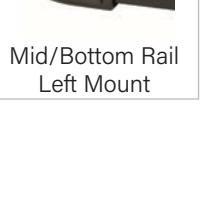


Level Rail 8", 10"
Stair Rail 8", 10"

Fluted



Level Rail 6", 8"
Stair Rail 6", 8"



Mid/Bottom Rail Left Mount

POST KITS

Westbury® Aluminum Railing Post Kits contain all the components necessary to assemble a railing post. Kits eliminate the need to order post components by providing everything in one box. Kits are available for a variety of post sizes (see charts on page 21).

Kits Include:

- Post
- Flat Cap*
- 2-piece Post Flair

Assembled Post Kits come with mounts attached to the post reducing installation time. These Kits are available for VertiCable® Sections without mounts and Tuscany Assembled Sections. Assembled Post Kits are available for a variety of post types (see chart below).

Assembled Kits Include:

- Post with Sections Mounts Attached
- Flat Cap*
- 2-piece Post Flair



Assembled Post Kit

Assembled Post Kits w/Adjustable Plates 2" x 2" x .090"

Assembled Kits are available in four Powdered Coated Colors: Black Fine Texture, Bronze Fine Texture, White Fine Texture, and Gloss White.



	Line Post	End Post	Corner Post	Crossover Line Post	Crossover End Post	Crossover Corner Post
Heights	37", 43"	37", 43"	37", 43"	36", 42"	36", 42"	36", 42"

*Caps are not included with Crossover Post Kits.

POSTS WITH PLATES



	Residential 2" Post (.090" wall)	Residential 2" Crossover Post (.090" wall)	Residential 2" Corner Crossover Post (.090" wall)	2" Heavy Duty Post (.093" wall)	2" Heavy Duty Crossover Post (.093" wall)
Heights	37", 43", 47", 53"	36", 42"	36", 42"	37", 43", 47", 53"	36", 42"
Post Kit Available	✓	✓	✓	✓	✓
Code Compliance				IRC Approved	IRC Approved



	2" Heavy Duty Corner Crossover Post (.093" wall)	2-1/2" Post (.125" wall)	2-1/2" Power Post (.125" wall)	2-1/2" Crossover Power Post (.125" wall)	2-1/2" Corner Crossover Power Post (.125" wall)
Heights	36", 42"	37", 43", 47", 53"	37", 43", 47", 53"	36", 42"	36", 42"
Post Kit Available	✓		✓	✓	✓
Code Compliance	IRC Approved		IBC and Miami Dade Approved	IBC and Miami Dade Approved	IBC and Miami Dade Approved



	3" Post (.095" wall)	4" Post (.125" wall)	4" Deco Post (.090" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"
Post Kit Available	✓	✓			
Code Compliance	IRC Approved	IBC Approved			

CORE DRILL POSTS & POST SLEEVES

Core Drill Posts



	Residential 2" Post (.090" wall)	Residential 2" Crossover Post (.090" wall)	2" Heavy Duty Post (.093" wall)	2" Heavy Duty Crossover Post (.093" wall)	2-1/2" Power Post (.125" wall)	2-1/2" Crossover Power Post (.125" wall)
Heights	45", 51", 55", 61"	42", 48"	45", 51", 55", 61"	42", 48"	45", 51", 55", 61"	42", 48"

Post Sleeves



	4" Post (.125" wall)	4" Deco Post (.065" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"	37", 43", 47", 53"

SUPPORT POSTS



	4" Post (.125" wall)	4" Deco Post (.090" wall)	6" Post (.110" wall)	6" Deco Post (.090" wall)
Heights	8-1/2', 10', 11'	8', 9', 10'	8', 9', 10'	8', 9', 10'
ASD Capacity* (Allowable Axial Loads)	8-1/2' = 17,738 lbf 10' = 16,644 lbf 11' = 14,305 lbf	8' = 13,531 lbf 9' = 12,751 lbf 10' = 11,970 lbf	8' = 25,093 lbf 9' = 25,093 lbf 10' = 25,093 lbf	8' = 16,543 lbf 9' = 16,543 lbf 10' = 16,543 lbf

*Weight values are Actual Calculated Allowable Loads

POST ACCESSORIES

Caps



Flat Cap
2", 2-1/2", 3", 4", 6"



Ball Cap
2", 2-1/2", 4"

Flair



Flair (2-piece)
2", 2-1/2", 3", 4", 6"

Accessories



Top Rail
End Cap



Top Rail End Cover
for Crossover Post



Adjustable
Rail Support



2" Heavy Duty Post
Backer Plate
For IRC Code Approved
wood deck installation



Fascia Mount Kit
for 2" Heavy Duty Post



Fascia Mount Support
Bracket



Tie Down Bracket
with Cover (Set of 2)



Touch Up Paint



Bracket Mounting
Template (for 2", 2-1/2",
3", & 4" Posts)

Crossover Adapters for 2" Posts



Level Crossover[†]



Corner Crossover[†]



Stair Crossover[†]

[†]Patent No. 8,998,175

MAGENA STAR® LIGHTING

Bring your outdoor living space to life with Magena Star® lighting products from Digger Specialties, Inc.

Take comfort in our low-maintenance, precision-made lights offering quality rust-resistant architectural grade powder coating and a five year warranty.

Discover the quality of Magena Star® Ornamental Lighting.



LED Lighting



Post Cap Light
2", 2-1/2", 3", 4"



Downward
Post Cap Light
2", 2-1/2", 3", 4"



Combo
Post Cap Light
2", 2-1/2", 3", 4"



Side Light



Tear Drop
Side Light



Riser Light

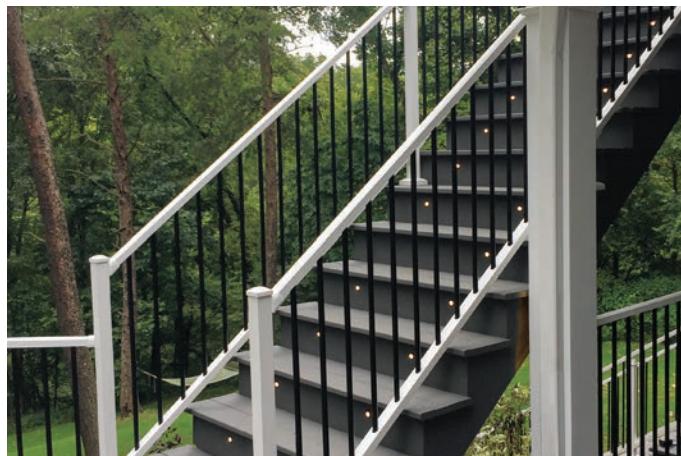
Solar Lighting



Post Cap Light
2", 2-1/2", 3", 4"



Downward
Post Cap Light
2", 2-1/2", 3", 4"



INSPIRATION

Custom Railing

We put the "special" in Digger Specialties!

Let DSI help solve your unique installation challenges and design needs.



Special Welded Corners



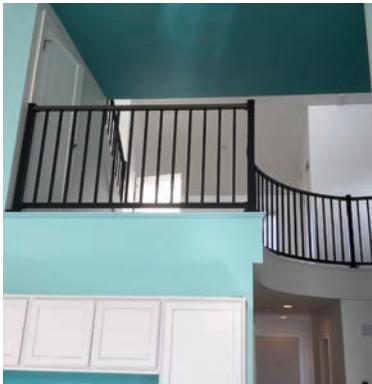
Multiple Color Rails and Balusters



Tuscany Caribbean Railing

More Than Just Outdoors

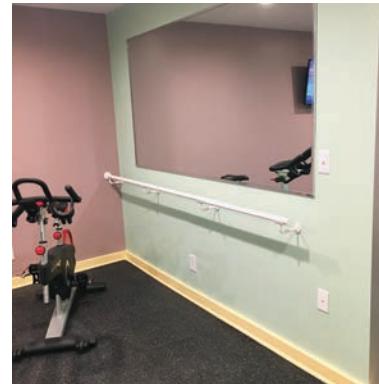
Westbury® Aluminum Railing can also be used inside your home or business.



Residential Balcony
Tuscany Railing



Retail Balcony
Veranda Railing



Ballet Barre
ADA Continuous Handrail



**Digger
Specialties
Inc.**

Transforming the Outdoor Living Experience™

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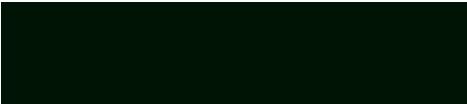
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METAL ROOF

McElroy Metals - Dark Bronze



FRONT DOOR **ATTACHMENT 9**

Mahogany Wood



BRICK

Savannah Gray



WINDOWS

Marvin - Bronze



FOUNDATION & CHIMNEY

Tabby Stucco



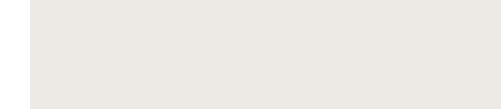
COLUMNS, TRIM, FASCIA & GARAGE DOOR

Sherwin Williams - Pure White (SW7005)



BOARD & BATTEN & LAP SIDING

Sherwin Williams - Snowbound (SW7004)



SHINGLE SIDING

Sherwin Williams - Knitting Needles (SW7672)



LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

BUILDING ELEVATIONS

10.03.2025



COURT
ATKINS
GROUP