



# BLUE RIVER BOARD OF TRUSTEES REGULAR MEETING JUNE 2024

June 13, 2024 at 5:00 PM  
0110 Whispering Pines Circle, Blue River, CO

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## AGENDA

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The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

### 5:00 PM WORK SESSION:

#### I. EXECUTIVE SESSION

A. Executive Session pursuant to CRS 24-6-402(4)(b) to receive legal advice concerning the legal rights of the Town to the established Town road system. and pursuant to CRS 24-6-402(4)(b) and (e) to receive legal advice and to instruct negotiators concerning a potential land acquisition.

### 6:00 PM REGULAR MEETING:

#### I. CALL TO ORDER, ROLL CALL

#### II. APPROVAL OF CONSENT AGENDA

[A.](#) Minutes for May 9, 2024

[B.](#) Approval of Bills-\$31,608.11

#### III. COMMUNICATIONS TO TRUSTEES

**Citizen Comments (Non-Agenda Items Only- 3-minute limit please). Any written communications are included in the packet.**

[C.](#) Written Comments Received

#### IV. PUBLIC HEARING

[D.](#) 0132 Mountain View Addition Variance

**V. ORDINANCE CONSIDERATION FOR APPROVAL**

**E. ORDINANCE NO. 2024-01 AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF BLUE RIVER, COLORADO, AMENDING SECTION 2-2-90 OF THE BLUE RIVER MUNICIPAL CODE PERTAINING TO REGULAR MEETINGS OF THE BOARD OF TRUSTEES**

**VI. NEW BUSINESS**

**F.** Meeting Protocols/Guidelines

**G.** Review of Plow Contract

**H.** Citizen Advisory Committee Survey Report

**I.** Spruce Creek Road Improvement Project Update

**J.** Update of Town Code for Goose Pasture Tarn Use Discussion

**VII. REPORTS**

**K.** Mayor

**L.** Trustees Reports/Comments

**M.** Attorney

**N.** Staff Reports

**VIII. ADJOURN**

**NEXT MEETING - Work Session, July 2, 2024, 5:00 p.m.; Regular Meeting, July 16, 2024, 6:00 p.m.**

*Reports from the Town Manager, Mayor and Trustees; Scheduled Meetings and other matters are topics listed on the Regular Trustees Agenda. If time permits at the work session, the Mayor and Trustees may discuss these items. The Board of Trustees may make a Final Decision on any item listed on the agenda, regardless of whether it is listed as an action item.*



## BLUE RIVER BOARD OF TRUSTEES MAY 2024

May 09, 2024 at 5:00 PM  
0110 Whispering Pines Circle, Blue River, CO

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### MINUTES

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The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/board-of-trustees>

Please note that seating at Town Hall is limited.

#### 5:00 PM WORK SESSION:

Mayor Decicco called the work session to order at 5:00 p.m.

Swearing of Trustee Heckman

Town Manager/Clerk Eddy conducted the oath of office for Trustee Heckman.

Board of Trustees Training

Attorney Widner reviewed key items for the Board of Trustees to note in their roles and the responsibilities as a member of the Board of Trustees. He noted the Board are the policy makers on a high level. This includes contracts, laws and decide what they want the Town to be and policies to achieve those goals. He asked the Trustees to have a discussion on what it is they want the future to be and come to a consensus to help direct staff on what to work on and develop.

What do you see for the future of the Town?

**Trustee Stimson:** First priority is roads. Looking at first what can be done internally before engaging engineers and finding common sense solutions. Second, looking at how much area is allowed to be built on and applying a density formula to limit the size of structures. Third, improve conduit for citizens to provide feedback with a general contact button that emails all Trustees. Fourth, oversight of the budget.

**Trustee Heckman:** Priorities include plowing. Review the current contract and how plowing occurs. Road maintenance in general. Building regulations and the building department contract. Limiting size of structures on lots. Short-term rentals and enforcement regulations.

**Trustee Willey:** Priorities include roads and contracts involved. Bylaws and codes understanding and working through conflicts. Short-term rental review and regulations. Providing more structure. How did some laws and codes come about.

Attorney Widner provided some history and background.

**Trustee Hopkins:** Priorities include refer to Town's guiding documents of the Comprehensive Plan and Capital Plans. Roads are a priority. Listening to the community and addressing needs as they emerge.

**Trustee Slaughter:** Priorities include listening to the citizens and roads. Continue Trustee Talks and open houses for active engagement. Use and refer to Town plans and documents.

**Trustee Pilling:** Agreed with other comments and reviewing roads. Finding "homegrown" solutions to address roads. Being mindful of not being bureaucratic and too structured for the size of the Town. Address the concerns of short-term rentals and neighborhood issues. Identifying priorities with roads at the top as a Board but also reviewing what the citizens desire to address. He recommended to wait on setting priorities report from the Citizen Advisory Committee's survey.

**Mayor Decicco:** Noted roads as a priority and evaluating options. Evaluating short-term rentals as they pertain to septic systems. Encouraging participation with Town events as a Board and bringing back a Town celebration.

Attorney Widner noted there was a consistency of what is identified as priorities: roads, short-term rentals, citizen communication, smart structure of rules and regulations. He noted there will need to be education on the history of the roads and the challenges the Town faces in order address issues.

He noted when it comes to short-term rentals, it's important to understand what it is believed to be the issue. He noted a need to provide background on how regulations were developed and how Blue River is actually in a good position.

He remarked there will need to be education on CDOT and Hwy 9.

He noted that communication was noted as a priority. He stated that communication from the Board as a group is key with each other. Communication with citizens is a different as the Board was seated to addressing what the citizens want but not individually but as a group to the community as whole. It's important to understand the limitations of what can be done and make decisions accordingly.

Attorney Widner noted the budget is prepared by the Town Manager but adopted and approved by the Board of Trustees. He noted the challenges will be limited funding as a small town. Additionally, limited staff presents unique challenges to achieve certain goals. Addressing issues that were set in the past and coming into current standards and practices. He noted issues with drafting laws with no enforceability. If regulations are drafted, they must be enforceable.

Discussion of how to address enforcing rules that have changed over time. Attorney Widner recommended setting up training sessions to educate everyone on the different aspects.

It was asked to have the Town Manager develop information on the Comprehensive Plan and the Capital Plan to present to the Trustees in June. It was asked to have the June work session to be a training module versus the short-term rental discussion.

**6:00 PM REGULAR MEETING:**

**I. CALL TO ORDER, ROLL CALL**

Mayor Decicco called the regular meeting of the Board of Trustees to order at 6:08 p.m.

PRESENT

Trustee Barrie Stimson

Mayor Nick Decicco

Trustee Jonathon Heckman

Trustee Jodie Willey

Trustee Ted Pilling

Trustee Noah Hopkins

Trustee Ted Slaughter

Also present: Town Manager Michelle Eddy; Town Attorney Bob Widner

**II. APPROVAL OF CONSENT AGENDA**

Motion made by Trustee Hopkins, Seconded by Trustee Slaughter to approve the consent agenda. Voting Yea: Trustee Stimson, Mayor Decicco, Trustee Heckman, Trustee Willey, Trustee Pilling, Trustee Hopkins, Trustee Slaughter. Motion passed unanimously.

A. Minutes for April 25, 2024

B. Approval of Bills-\$41,018.75

**III. COMMUNICATIONS TO TRUSTEES**

**Citizen Comments (Non-Agenda Items Only- 3-minute limit please). Any written communications are included in the packet.**

There were no written communications to the Trustees received.

No comments were received.

**IV. PUBLIC HEARING**

**C. Variance Request 0034 Rustic Terrace**

Mayor Decicco opened the public hearing for a variance request at 0034 Rustic Terrace at 6:12 p.m.

Manager Eddy reviewed the staff memo included in the packet. She noted there were three resident communications received concerning the variance request and none objected to the request. Attorney Widner provided additional information on variances and reasoning for the application.

Applicant Thomas Fitzgerald presented additional information on the request and reason for the ask. He noted a variance would be required to do any type of an addition. The reason for the addition is to provide more space for his family.

Mayor Decicco closed the public hearing at 6:18 p.m.

Trustee Pilling remarked that resident Dan Cleary remarked at the Planning Commission meeting and had no objection.

Trustee Stimson asked about snow storage and parking. Mr. Fitzgerald noted there will be parking with the garage and there is current snow storage that will be improved. He also noted he will be required to connect to the sewer and there will be an agreement with the neighbor for a lift station. Trustee Stimson asked about drainage. It was noted there shouldn't be any drainage issues.

Motion made by Trustee Heckman, Seconded by Trustee Slaughter to approve the variance request at 0034 Rustic Terrace. Voting Yea: Trustee Stimson, Mayor Decicco, Trustee Heckman, Trustee Willey, Trustee Pilling, Trustee Hopkins, Trustee Slaughter. Motion passed unanimously.

**V. NEW BUSINESS**

**D. Appointment of Mayor Pro Tem**

Mayor Decicco nominated Trustee Jodie Willey to serve as Mayor Pro Tem. There was a discussion on the role and reasons for the nomination.

Motion made by Trustee Willey, Seconded by Trustee Slaughter to approve Trustee Willey as Mayor Pro Tem.

Voting Yea: Trustee Stimson, Mayor Decicco, Trustee Heckman, Trustee Willey, Trustee Pilling, Trustee Hopkins, Trustee Slaughter. Motion passed unanimously.

E. Committee Assignments

- Finance Committee
- Planning & Zoning Commission Liaison
- Citizen Advisory Committee Liaison
- Wildfire Council
- Transit Authority

Mayor Decicco recommended the following committee appointments. It was noted that the Finance Committee will also serve as the signatories for the Town at Alpine Bank and Colorado Trust.

**Finance Committee**-Mayor Decicco; Trustee Willey; Trustee Pilling.

Trustee Heckman moved and Trustee Hopkins seconded to appoint Mayor Nick Decicco, Trustee Jodie Willey, Trustee Ted Pilling and Town Manager Eddy to the Finance Committee and as signatories for bank accounts. Motion passed unanimously.

**Planning & Zoning Commission Liaison**

Trustee Stimson moved and Trustee Hopkins seconded to appoint Trustee Heckman as Board Liaison to Planning & Zoning Commission.

**Citizen Advisory Committee Liaison**

Trustee Stimson stated a desire to improve the conduit of communication with citizens and remove the need of the Citizen Advisory Committee.

Trustee Willey noted there is a need for the Citizen Advisory Committee.

Discussion of how communications are handled. Discussion of possibly revamping the committee to fit the needs of the new Board. Discussion to conduct more surveys for citizens especially on big topics before decisions are made. Discussion to continue this at a future meeting.

Trustee Heckman moved and Trustee Slaughter seconded to appoint Trustee Hopkins to the Board Liaison to Citizen Advisory Committee. Motion passed unanimously.

**Wildfire Council**

Trustee Heckman moved and Trustee Willey seconded to appoint Trustee Slaughter to the Wildfire Council. Motion passed unanimously.

**Transit Authority**

Trustee Stimson moved and Trustee Heckman seconded to appoint Trustee Pilling to the Transit Authority. Motion passed unanimously.

Trustee Pilling noted that if the Open Space and Trails Advisory Committee is brought back, there will be a need to assign a Board Liaison.

**VI. RESOLUTIONS**

Manager Eddy noted that all resolutions may be passed as one motion.

Motion made by Mayor Decicco, Seconded by Trustee Slaughter to approve Resolutions 2024-02 to 2024-05 Resolutions of Thanks to Trustees Dixon, Finley, Fosset and former Mayor Babich. Voting Yea: Trustee Stimson, Mayor Decicco, Trustee Heckman, Trustee Willey, Trustee Pilling, Trustee Hopkins, Trustee Slaughter. Motion passed unanimously.

- F. Resolution 2024-02 Resolution of Thanks Finley
- G. Resolution 2024-03 Resolution of Thanks Fossett
- H. Resolution 2024-04 Resolution of Thanks Dixon
- I. Resolution 2024-05 Resolution of Thanks Babich

**VII. OTHER BUSINESS**

J. Meeting Dates Discussion

The Trustees held a discussion on potential meeting dates and time changes. It was noted, the current date was changed starting January 2024. An ordinance would be required to be passed in June if a date and time were changed. Any changes would take effect in July.

Trustee Pilling proposed meeting twice a month as the new Board receives training. He recommended moving the meetings back to the third Tuesday of the month and adding an additional meeting of the month for a work session/training.

Discussion to move the meeting back to the third Tuesday of the month. An ordinance will be brought back in June to take effect in July. Discussion to include a temporary work session day on the first Tuesday of the month at 5:00 p.m.

**VIII. REPORTS**

K. Mayor

No report.

L. Trustee Reports



Trustee Hopkins reported on the Planning & Zoning approving a new construction at 0545 Coronet. He noted a need for additional education for the Planning & Zoning Commission on what can be approved and when there is a need for a variance request. He noted there was a discussion on size of structures that should be allowed and perhaps limiting buildings based on a percentage of lot based on size. They will be discussing this further next month.

Trustee Slaughter noted the Wildfire Council will meet next month. He noted the Blue River East project is moving forward and will be conducted in 2025.

Trustee Willey noted Citizen Advisory will meet Thursday, May 16th.

Trustee Pilling had no update from the Transit Authority. He noted the Blue River schedule has not changed but there have been issues with the app and the Authority is changing companies.

M. Attorney

No report.

N. Staff Reports

No additional report was given.

O. Short-term Rental Review Discussion-June 2024 Work Session

It was noted the work session will be Board training and not a discussion on short-term rentals. The next work session will be continued training.

**IX. EXECUTIVE SESSION**

P. Pursuant to CRS 24-6-402(4)(b) and (e) to receive legal advice and to instruct negotiators concerning a potential land acquisition.

Mayor Decicco moved, and Trustee Stimson seconded to adjourn into executive session pursuant to CRS 24-6-402(4)(b) and (e) to receive legal advice and to instruct negotiators concerning a potential land acquisition at 7:42 p.m. Motion passed unanimously.

Trustee Hopkins moved and Trustee Pilling seconded to adjourn executive session at 9:17 p.m. with no action taken. Motion passed unanimously.

**X. ADJOURN**

Trustee Willey moved and Trustee Hopkins seconded to adjourn the meeting at 9:18 p.m. Motion passed unanimously.

**NEXT MEETING -**

Jun 13, 2024

*Reports from the Town Manager, Mayor and Trustees; Scheduled Meetings and other matters are topics listed on the Regular Trustees Agenda. If time permits at the work session, the Mayor and Trustees may discuss these items. The Board of Trustees may make a Final Decision on any item listed on the agenda, regardless of whether it is listed as an action item.*

Respectfully Submitted:

Michelle Eddy, MMC

Town Clerk

# Town of Blue River

Section II, Item B.

## A/P Aging Summary

As of June 10, 2024

	CURRENT	1 - 30	31 - 60	61 - 90	91 AND OVER	TOTAL
Adamson Police Products	53.05					\$53.05
Betone LLC	8,891.60					\$8,891.60
Early Childhood Options	9,135.64					\$9,135.64
Elijah Brito*		341.87				\$341.87
Fresh & Clean Ltd.		24.00				\$24.00
Muller Engineering Co	10,660.50					\$10,660.50
Valvoline	179.95					\$179.95
Widner Juran LLP	2,321.50					\$2,321.50
<b>TOTAL</b>	<b>\$31,242.24</b>	<b>\$365.87</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$0.00</b>	<b>\$31,608.11</b>

**Michelle Eddy**

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**From:** Paul and Martie Semmer <semmer@colorado.net>  
**Sent:** Sunday, May 5, 2024 10:29 PM  
**To:** Michelle Eddy  
**Subject:** Communications to Trustees  
**Attachments:** Re: Winter Road Maintenance; 5-5-24 Winter Road Mtce Issues\_Semmer memo to BOT.pdf

Michelle,

The agenda for this week’s BOT meeting was not posted on the Town website until last Friday and I noticed under New Business there will be a discussion of the “Review of Plow Contract”. I sent you an email 3/11/24, attached, that documents some concerns related to winter road maintenance. I am not sure if these comments were passed on to the Trustees at that time, and whether those comments will be included in the discussion this week.

I have updated the email I sent you in March with additional information that may be pertinent to the BOT discussion of the Plow Contract. Unfortunately, I will be out of town this week and unable to attend the BOT meeting to present my comments in person. And, I realize it is too late to include any written material as Communications to the Trustees for this week’s meeting. Therefore, I wish the attached pdf memo (5-5-24 Winter Road Mtce Issues\_Semmer memo to BOT.pdf) be included in the BOT packet for the June meeting, and perhaps you could let the Trustees know that my comments are “in the mail”.

Thanks!  
Paul

To: Town of Blue River Mayor and Board of Trustees  
From: Paul and Martie Semmer  
Re: Communications to Trustees - Winter Road Maintenance in the Town of Blue River  
Date: 5-5-24

During the February 8, 2024 Town of Blue River Board of Trustees (BOT) meeting I offered public comment regarding road maintenance. (SEE <https://blueriver-co.municodemeetings.com/bc-bot/page/board-trustees-regular-meeting-february-2024> -- Work Session on Roads Maintenance & Planning, recording time 00:30:26 to 00:34:31, and Communications to Trustees, recording time 00:36:58 to 00:38:040).

Specifically, I expressed concerns dealing with road maintenance activities taking place outside the road right-of-way (r-o-w). Many of the original Town roads were located and established based on what worked on the ground and not necessarily what was recorded on the subdivision plats. Although many of the roads are formally recorded on subdivision plats as being 20 feet in width, the current use far exceeds that when considering drainage ditches, culverts, traffic signs, widened curves at intersections and areas for snow storage. To the best of my knowledge no effort has been made to document the change in use, either by obtaining recorded easements or validation of prescription rights or other land use agreements with lot owners to use lands adjacent to the original 20 ft wide r-o-w. In addition, the continued encroachment on private lands for road maintenance activities outside the documented r-o-w is infringing on private property rights.

The December 2023 Blue River News included the following notice:

**Winter Plowing Operations**

Snow is in the air and hopefully this snow season will be a great winter season of moisture. A reminder that snow storage is used on both sides of the road to allow for snow removal. Crews do try to be aware of sensitive area, however, there are designated snow storage areas in each subdivision. Please ensure all items are moved away from the roads to allow for the proper snow storage. If you see the crews out, feel free to reach out to them with any questions or to bring something to their attention.

In March 2024 I asked Staff; "Does the Town have a map showing where the 'designated snow storage areas in each subdivision' are located?" Staff responded saying:

- There are no marked areas on a map or on the ground where snow is stored.
- The contractor stores snow where they have historically always stored snow utilizing the 10' on the side of the roads that have been used in the past.
- The location of snow storage areas was developed based on how plows move and operate and where it makes the most sense with the least amount of impact. And,
- The drivers work to be respectful of where and when landscape markers are placed.

The agenda for the upcoming BOT 5/9/24 meeting, under New Business, includes a discussion of the Review of the Plow Contact. A copy of the 2023-24 "Agreement for Winter Snow Removal and Road Maintenance Annually Renewal Contract" and a list of other documents pertinent to the "Snow Contract 2023-2024 – Final Audit Report" is included in the BOT packet. However, the public is not able to access those specific documents in the "Snow Contract 2023-2024 History" of the audit report, and therefore unable to compare and verify their connection to the 2023-24 contract. This is concerning because many of the exhibits referenced in the contract, and available for the public to see in the packet, are incomplete and miss important details of the contract work. Most importantly is that there is nothing in "Exhibit D – Winter Snow Removal and Road Maintenance Methodology Narrative", which asks for a description of details of "plowing, snow bank removal, pack removal

and road sanding.” Perhaps this missing information is found in the documents listed in the “Snow Contract 2023-2024 – Final Audit Report”?

With this understanding that the public is not able to access all of the documents referenced in the BOT packet, it is confusing as to what the contractor’s responsibilities and obligations are. In particular, dealing with snow storage areas, the 2023-24 contract states:

*B. Contractor’s Obligations for Winter and Spring Snow Removal.*

*7. Snow Banks.*

*c) Contractor shall take care to ensure that snow storage areas are selected to avoid damage to trees and other property and to minimize the impact upon Town property owners. **A map of the Town and designated areas shall be highlighted.** [Emphasis added]*

This provision in the contract implies that there is a map of the designated areas to be used for snow storage. Yet there is no map in the 2023-24 contract in the BOT packet. And, Town Staff acknowledged that there are no marked areas on a map or on the ground where snow is stored. How then does the contract plow operator(s) and landowners know where the snow storage areas are located?

As lot owners place markers and barriers on their private property in areas historically used for snow storage, more snow accumulates in the road, road widths begin to narrow, and new areas to store snow are found. A similar situation exists in addition to snow removal activities along roads where traffic signs, drainage ditches, culverts and widened areas for curves and enhanced sight distance at intersections is needed. Staff noted that “10’ on the side of the roads that has been used in the past” is where such use occurs, implying that the road r-o-w can be 40 feet wide! When the legal road r-o-w is only 20 feet wide, the road maintenance activities are clearly outside the r-o-w and trespassing on private property. Where is it recorded that the Town has a legal right to the full 40 feet being used for road maintenance? Has this been documented to assert a prescriptive right-of-way? How are landowners notified that the Town has asserted prescriptive rights on their property beyond the platted road r-o-w and/or deeded easements?

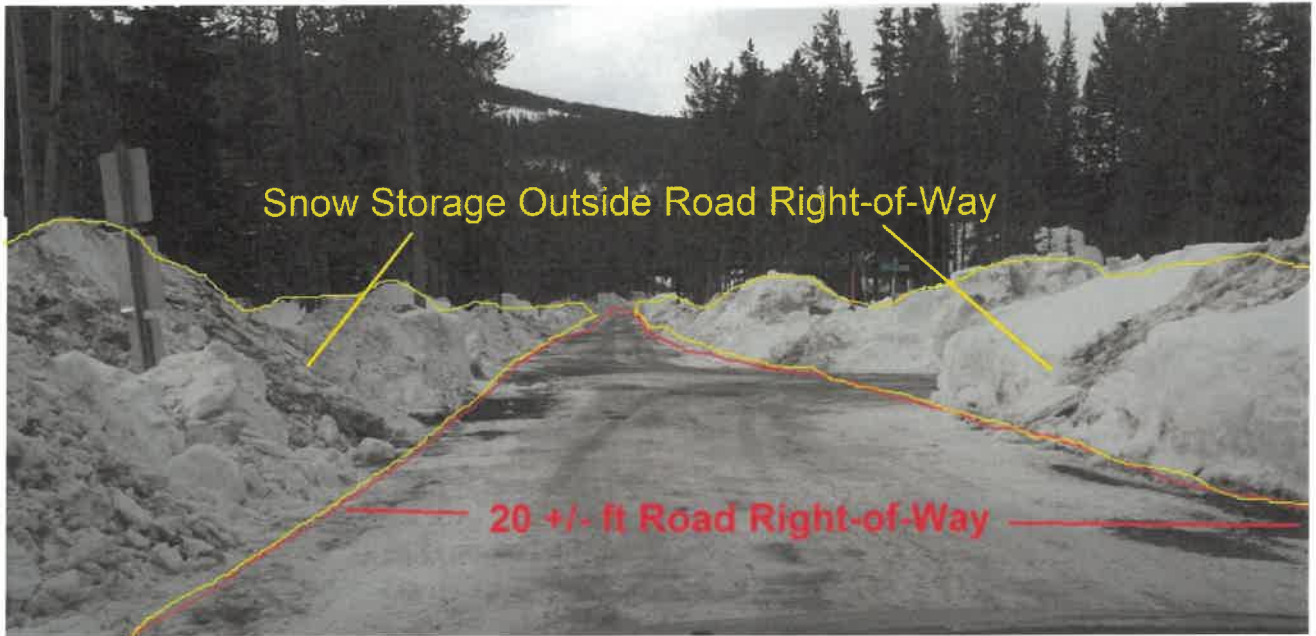
There are inevitable impacts to private land and personal property as trees are damaged, address signs and road delineate posts and telephone pedestals are pushed over, manmade landscape features are buried, and other personal items buried or damaged with tons of snow stacked on top including road base shavings and residual mag chloride – in spite of the efforts of the road maintenance contractors to “be respectful of where and when landscape markers are placed”. However, without well-defined limits of the plowed roadway and snow storage areas, how is one to know if the property damage is in or outside the responsibility of the Town/contractor? This is particularly pertinent when the 2023-24 contract states:

*I. Damage to Public or Private Property.*

*1. If the Contractor damages public or private property, the Contractor will be responsible for its repair and or replacement within 30 days or within a reasonable time depending upon seasonal conditions.*

Driving the roads around Town today, one can see there are several areas where excessive snow removal over the winter has deposited a significant amount of road base and debris onto snow banks outside the roadway onto private property. As the snow melts, this shows up as several inches of road base/debris on top of the ground in some cases. Unless the debris is removed, it remains forever as an eye sore to beauty of our natural environment and neighborhoods. Additionally, the deposition of a few inches of road base and debris, often with residual mag chloride, prohibits the growth of native plants previously established along the roadway. Is the contractor responsible for raking off the road debris from these areas to allow the native vegetation to reclaim the area and before invasive noxious species take hold on the disturbed soils?

## Typical Town of Blue River Winter Road Maintenance



The March 2023 Blue River News posted a notice on Winter Plowing Operations stating “Crews have begun to remove snowpack ahead of the spring melt and will work to minimize the spring slush/rut cycle. As the pack is removed, snow will be placed along the road right-of-way as in years past.”

The pages that follow include a series of photos taken in early March 2023 that show various roads in subdivisions throughout Town where the contractor has removed the snowpack and placed it along the road r-o-w. The photos are alarming and show piles of snow in excess of 8 feet tall and more than 10 feet beyond the r-o-w. (Figures 3, 9, 12 & 14). In some cases, the plow operator has intentionally ignored snow poles that designate an area to avoid and stacked snow on either side of the poles or pushed them over altogether. (Figures 19 & 20). Trees that are outside the r-o-w, and have never been damaged before, show witness marks of the recent snow removal activity. (Figures 11 & 18). Recently placed boulders along Coronet Drive to define the roadway for summer use have been pushed away and buried in the snowpack. (Figure 9). Traffic signs are barely visible. (Figure 14). The Town Park is becoming buried and unsightly to use. (Figure 2). Snow is being pushed off the road and dumped in the live water channel along the Blue River (Figure 13) and Pennsylvania Creek (Figure 10). Photos 21, 22, 23 & 24 were taken on recently, showing the impacts of snow removal activities and the deposition of road base/debris along the roads. Figure 23 is from Theobald Way looking at the Blue River and shows the road debris from snow stacking being discharged into the Blue River.

The notice on Winter Plowing Operations is right that “this is a messy process...” around town. It is a fact of life that we have to deal with snow removal on our road system with long winters at 10,000 feet in a community that was designed 60 years ago and did not plan for the level of development and winter use that we have today. However, is the Board of Trustees aware of the extent of the mess it is allowing to occur on private lands outside the road right-of-way and overall aesthetic landscape around “our serene mountain community”?

**What can be done about this?**

Any resolutions to the issues related to road needs to reaffirm the goals of the Town Mission Statement:

*The Town of Blue River endeavors to nurture our serene mountain community by conserving our natural residential environment, promoting unity with our neighbors and surroundings, channeling the voice of our residents, and enhancing the quality of life for all.*

Related to the Mission Statement, during the Town of Blue River Candidate Forum earlier this year, both incumbent and prospective Mayor and Trustees were asked a question related to road design standards for width and road surface and drainage treatments. All candidates stated that it was important to develop “site specific” management guidelines that address the diverse neighborhoods and environmental characteristics in the Town.

The following recommendations are presented for you to consider as you tackle the challenge of developing a comprehensive plan to address the multifaceted issues of road maintenance for the Town. In order to engage the community and “channeling the voice of our residents” maybe the BOT could convene a special taskforce to help on specific recommendations to assist the Town moving forward in addressing Roads as a high priority item for 2024.

- Make it a priority action item for the Town’s 2024 -25 program of work to thoughtfully evaluate what rights and responsibilities the Town and lot owners have within the rights-of-way of all roads in town.
- Prepare a comprehensive road management plan that addresses legal easements, road standards, acquisition of new easements and updated evaluation of CIP projects, in addition to the annual program of work for road maintenance.
- Survey the legal r-o-w of all roads, as needed, and determine where snow storage areas are appropriate.
- Conduct a survey of vacant lands within and adjacent to the Town that may be suitable for off-site snow storage and evaluate the feasibility for transporting snow to designated sites on an as needed basis.
- Negotiate with lot owners to obtain authorizations for snow storage and widened road r-o-w on a case-by-case basis.
- Stop the creep of road maintenance and continued encroachment on private lands.
- Talk with lot owners, who know the boundaries of their lots and road r-o-w, to determine the acceptable area(s) for roadway travel, snow storage areas and specific road maintenance considerations (e.g. application of mag chloride and road base).
- Establish an appropriate sign ordinance to designate snow storage areas.
- Compensate landowners for damage done to private property outside the r-o-w.
- Roads will be narrower in the winter and consider one lane and one-way roads where the r-o-w width does not allow for adequate snow removal for two-way travel. (e.g. Theobald Way bridge).

Thank you for your attention to the ever-present concern for road maintenance in the Town of Blue River. We look forward to staying involved in future discussions on these matters as it relates not only to our neighborhood of 43 years, but also the character of the entire Town of Blue River.

Respectfully,  
Paul and Martie Semmer  
272 Blue Grouse Trail

Attachment: Representative Photos of Winter road Maintenance Concerns in the Town of Blue River



**REPRESENTATIVE PHOTOS OF WINTER ROAD MAINTENANCE CONCERNS IN THE TOWN OF BLUE RIVER**

Figure 1. Wilderness Road & Blue River Road



Figure 2. Coronet Drive at Town Park



Figure 3. Davis Court and Silverheels Road



Figure 4. Blue River Road and Mountain View Drive



Figure 5. Calle de Plata



Figure 6. Whispering Pines Circle in Timber Creek Estates



Figure 7. Starlit Lane



Figure 8. Sherwood Lane



Figure 9. Coronet Drive



Figure 10. Regal Circle and Coronet Drive – Town Park



Figure 11. Sherwood Lane



Figure 12. Blue Grouse Trail



Figure 13. Theobald Way



Figure 14. Royal and Blue River Road



Figure 15. Blue River Road



Figure 16. 97 Circle and Hwy 9



Figure 17. Sherwood Lane



Figure 18. Sherwood Lane



Figure 19. Blue Grouse Trail



Figure 20. Blue Grouse Trail



Figure 21. Bent tree - Damage to vegetation outside r-o-w. (May 5, 2024)



Figure 22. Damage to vegetation outside r-o-w and discharge of road base into Blue River. (May 5, 2024)



Figure 23. Discharge of road base in stacked snow bank into Blue River. (May 5, 2024)



Figure 24. Excessive amount of road base in snow stacking (April 23, 2024)





### VARIANCE APPLICATION

Legal Description: Lot LOT 137 Subdivision Mountain View Sub  
Street Address: 132 Mountain View Dr

Homeowner Name: Jason and Meredith Himmelman Phone: 970-470-1816  
Mailing Address: PO Box 6658- Breckenridge CO 80424 Email: jake@breckenridgeassociates.com

**Variance Being Requested:**

We are requesting a variance to the street side of our home. We have another baby on the way and need more space. The other side of the home is the river and wetlands

Zoning Ordinance to which the variance is requested, and specify the nature of the variance requested:

Sec. 16-5-50. Site and structure requirements

a. Front yard. The front yard requirement shall be twenty-five (25) feet

We are requesting that the front setback as measured from road easement be reduced as shown on attached site plan.

State if the variance requested meets each of the following six (6) conditions. Please explain for each one:

1. That the granting of the variance will not authorize a use not permitted by the zoning regulations of the Town:  
There is no proposed change to the existing use of this lot with the approval of this variance.
2. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitation on other properties having the same classification in the same zone district:  
We believe that any other property with similar existing hardships could apply for similar setback variances. We also feel that numerous homes within our subdivision are already within the easement due to the challenges that the river/wetlands present
3. That the granting of the variance will not be detrimental to the public health, safety or welfare, materially injurious to properties or improvements in the vicinity, or prevent the proper access of light and air to adjacent properties:  
The requested variance presents no detrimental effects to the health, safety, and welfare of the public.
4. That the strict, literal interpretation and enforcement of the specified regulation would result in unnecessary hardship inconsistent with the objectives of the Title:

Driveway and garage access are already in place, additions to the north end would exclude access to your existing garage. West Side- pedestrian access easement and wetland setbacks. Existing on site wastewater treatment system in place prohibits additions to the south. Also need privacy from house above

- 5. That the circumstances found to create a hardship were not created by the owner, and are not due to, or the result of, general conditions in the zone district and cannot reasonably be corrected:

The hardships were created outside of the control of the existing homeowner. The river/wetlands run the length of the house. Septic cant be moved.

House above us is extremely close

- 6. That the variance would not be out of harmony with the intent and purpose of the zoning code:

The variance would be in harmony with the purpose of the code. The variance would be small but would allow us comfortable living without disturbing the natural environment. Would also be in line with other homes in the sub that previously faced these challenges

**NO VARIANCE AUTHORIZING A CHANGE IN THE PERMITTED USE OF THE PROPERTY SHALL BE GRANTED.**

The following documents are submitted herewith for the Commission’s information and review:

- 1. Completed Application Form / Application Fee
- 2. Site plan diagram with proposed addition and setbacks / Proposed plans and elevations.
- 3. Adjacent neighbor mailing list.
- 4. \_\_\_\_\_

I/We the applicant named herein understand the following:

- 1. That the main function of the Planning and Zoning Commission is to provide for reasonable interpretations of codes and ordinances with relation to their intent, so that the spirit of the ordinance(s) shall be observed, public safety and welfare secured and justice adhered to.
- 2. Notice of hearings to be given at the expense of the applicant by publication in a newspaper of general circulation within the Town by posting on the premises and by mailing to all property owners within three hundred (300) feet of the property in question. Notices shall be posted, published and mailed at least ten (10) days before the hearing date and shall contain the time and date of the hearing, the name of the applicant, a general description of the property indicating its location (which may be shown by map), what relief is being sought and the grounds on which the relief is being sought. The owners within three hundred (300) feet of the affected property were notified of the variance request. This letter shall contain all the names and addresses of those notified, and shall be submitted to the Building Department at least ten (10) days prior to the scheduled hearing. The application must be submitted to the Building Department at least twenty (20) days prior to the date of the hearing.
- 3. I/We (the applicant) shall be notified of the Commission’s decision within thirty (30) days after the date of the hearing.
- 4. That any decision made by the Planning and Zoning Commission is not binding as to covenants, which apply to the property in question. Applicant is responsible for obtaining any necessary approvals from the Homeowner’s Associations or Committees, which administer the covenants within the subdivision where the property is located.
- 5. Within seven (7) days following action by the Planning and Zoning Commission, written findings and decision, in the form of a resolution, shall be transmitted to the applicant and to the Board of Trustees. Such decision of the Planning and Zoning Commission, with respect

to variances, is final and is subject to appeal only through a court competent jurisdiction pursuant to §31-23-307, C. R. S.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Findings of the Planning & Zoning Commission:

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## GENERAL INFORMATION AND GUIDELINES

The Town of Blue River has established specified distances from the front, back and sides of all lots as “setbacks” wherein no structures may be erected. These setbacks are maintained to create more open space between homes and structures upon and adjacent to other lots and to maintain open areas along roads and lot lines to prevent encroachment problems along these lines. It is expected that all property owners will respect the concepts and guidelines established by the Town with respect to these setback distances. It is incumbent upon the property owner to consider these setback distances prior to purchasing a new lot, or prior to attempting to enlarge any building or structure upon an existing lot that may not allow such improvements within the allowable building envelope, considering all setback distances.

Only after a property owner has fully demonstrated a true hardship, which was not caused and/or could have been reasonably averted by the applicant, will the Planning and Zoning Commission consider granting a variance to those established setback distances.

The Commission’s main criterion for granting a variance is that of a demonstrated “hardship” upon the applicant. Many times an applicant wishes to build a larger structure that is not conducive to the available area (building envelope) upon a lot, taking into account all front, side, and rear setbacks, and they request a variance. You must demonstrate a true hardship, not created by the applicant, to the Commission, which explains why the structure(s) cannot be placed elsewhere without a variance, or downsized to permit the structure to be placed on your lot without a variance, or modified to request the smallest possible sized variance for your situation. The Commission will request you to fully discuss all these other possible alternatives and why they will not work prior to considering a variance for your situation.

The Planning and Zoning Commission (P&Z) consists of seven (7) voting members appointed by the Town of Blue River Board of Trustees for two and four year terms. Assistance with application questions can be obtained from the Town of Blue River Building Official, who is not a member of the Commission and can answer questions and provide guidance without compromising the voting procedure.

After receipt, the Chairman of the P&Z, and/or the Town Building Official, will verify that the application is complete; all questions answered clearly and concisely, with appropriate attachments (maps) that are legible, drawn to scale (not reduced), marked with property locations (subdivisions and lot numbers), dates of survey and by whom, and that the drawings display the variance request clearly (i.e.- locations of all lot lines, structures and sizes, wells, septic system tanks and fields, roads, easements, setbacks, etc.). It is strongly suggested that a registered land surveyor prepare an Improvement Location Certificate (ILC) or a detailed survey for the property and submit it with the application. Applicants must be aware that this is not an extra step; if the variance is approved, the TOBR Building Official must receive an ILC prior to any excavation or construction commencing on the property. Applicants should be aware that surveys in the middle of winter, with heavy snow cover present, are more difficult, costly and time consuming. Such ILC surveys can easily take several weeks to perform, dependent on weather conditions and surveyor workloads. Also, specific dimensions must be stated in the variance request. For example, if a garage or home is requested to be built within a lot setback, the exact distances and exact location from the lot lines to all



home/garage corners and sides (to drip lines) within that variance request must be accurately labeled on the ILC survey, stated on the map, in the application and staked with labeled lath or stakes on the lot for P&Z and public inspection. If a variance is approved, the written approval will state these same exact dimensions in the approval and/or attachments.

The applicant shall also provide an accurate drawing to scale (not reduced) copy of the map they used to determine all property owners located within 300 feet of the subject property seeking the variance. Such a map may be obtained from the Summit County Clerk and Recorder's Office. The Summit County Assessor's Office can provide ownership addresses of the property owners to be notified. Both offices are located at the Summit County Courthouse, 208 E. Lincoln in Breckenridge. The map submitted to the TOBR Clerk should be marked with a line encompassing the 300-foot mark, measured from all points along the property lines. A pencil, compass and straight edge are necessary to perform this task properly.

Accompanying that map shall be a list of all the Subdivision name(s), lot number, and names and addresses of the owners of record that fall within the 300-foot mark. The P&Z Chairman or Building Official may verify with the Assessor's Office regarding the accuracy of the data submitted on the list. Applicant's failure to notify owners of record within 300 feet of the subject property can cause unnecessary delays. If the applicant fails to properly notify a landowner, the applications may be rejected. Applicants should also be aware that the County Assessor's Office maps are not survey accurate, and can be slightly misleading as to exact distances. However, they do show all adjoining subdivisions in relation to each other. Therefore, re-checking exact distances on the official recorded plat in the Clerk and Recorder's Office may be necessary. If there is any question as to a "close distance" of a property to the 300-foot requirement, it is strongly suggested to add extra neighbor notifications rather than risk missing a property owner.

A property owner located within the 300-foot distance that must be notified also includes all Municipal, County, State or Federal landowners (i.e.-county, state or federal roads, national or state forest or lands, county lands, etc.).

If the P&Z Chairman and/or the Building Inspector now deem, the application complete, the TOBR Clerk will send copies of the application and supporting documents to all P&Z members for their information.

The applicant must then pick up a poster from the TOBR Clerk to be displayed upon the lot, which will inform all interested parties of the date, time, and location of the scheduled public hearing regarding the variance request for that property ten days before the hearing. The applicant must also publish notice of the public hearing in the Summit County Journal ten days before the scheduled hearing. Call the TOBR Clerk (970) 547-0545 for assistance with timetables in publishing the notice. The property shall also be marked with stakes identifying the lot lines, setback, and exact location of corners requested in the variance so that interested parties and the P&Z members can relate to the variance request on the ground and identify the specifics of the variance request. It is preferred for these markings to be completed by a registered land surveyor, as part of the ILC survey. After this is completed, the applicant must mail notice to all the property owners on the list provided located within 300-feet of the property. Notice shall include the complete application, including all supporting document and maps along with a brief letter explaining the nature of the variance request.

As an overview, considering all the above steps, it can easily take a considerable amount of time to properly schedule a public meeting, providing all steps are correctly followed, and depending upon time of year, availability of surveyors, publication notices, review of applications, etc.

#### APPLICANT CHECKLIST

1. \$400.00 refundable deposit, payable to the Town of Blue River
2. Completed "Request for hearing and variance" application including—
  - A. Name and address of the owner and, if the applicant is not the owner, written authorization of the owner to the applicant to make application and act as agent for the owner.
  - B. Evidence of ownership (such as an informational title commitment) and a legal description for all property to be considered for rezoning.
  - C. A written description of the precise nature of the proposed variance and its operating characteristics, and measures proposed to make the variance compatible with other properties in the vicinity
  - D. A site plan, (ILC or survey) preferably by a registered land surveyor, showing proposed development of the site, including topography, building or structure locations, parking, traffic circulation, landscaped area, utilities, drainage features, setbacks and all easements (if any).
  - E. Preliminary building plans and elevations sufficient to indicate the dimensions, general appearance, scale and interior plan of all buildings
3. Notice of hearings to be given at the expense of the applicant by publication in a newspaper of general circulation within the Town by posting on the premises and by mailing to all property owners within three hundred (300) feet of the property in question. Notices shall be posted, published and mailed at least ten (10) days before the hearing date and shall contain the time and date of the hearing, the name of the applicant, a general description of the property indicating its locations (which may be shown by map), what relief is being sought and the grounds on which the relief is being sought.
4. The applicant shall submit a letter certifying to the Commission all property owners within three hundred (300) feet of the affected property that were notified of the variance request. This letter shall contain all the names and addresses of those notified, and shall be submitted to the Building Department at least ten (10) days prior to the scheduled hearing date. In addition, the applicant shall also provide a copy, to scale (not reduced) of the map they used to determine all property owners within 300 feet of the subject property, which shows the 300 foot distances from all property lines and the affected lots (property owners) to be notified within these distances.
5. The application must be submitted to the Building Department at least twenty (20) days prior to the date of the hearing.

## ARTICLE XI Variances

### **Sec. 16-11-10. Application; public hearing.**

An application for a variance shall be heard by the Planning and Zoning Commission in accordance with Section 16-2-60(b) of this Chapter. The application shall include the following information, unless determined by the Building Official to be unnecessary for its consideration:

- (1) Name and address of the owner and, if the applicant is not the owner, written authorization of the owner to the applicant to make application and act as agent for the owner;
- (2) Evidence of ownership (such as an informational title commitment) and a legal description for all property to be considered for rezoning;
- (3) A list of the owners of all properties within the boundaries of the area to be rezoned or changed, and of all properties within three hundred (300) feet of the property proposed to be rezoned or changed. The owners list shall include the name of all owners, their addresses and a general description of the property owned by each.
- (4) A description of the precise nature of the proposed variance and its operating characteristics, and measures proposed to make the variance compatible with other properties in the vicinity;
- (5) A site plan, showing proposed development of the site, including topography, building or structure locations, parking, traffic circulation, usable open space, landscaped area and utilities and drainage features;
- (6) Preliminary building plans and elevations sufficient to indicate the dimensions, general appearance, scale and interior plan of all buildings;
- (7) Such additional materials as the Planning and Zoning Commission may prescribe or the applicant may submit pertinent to the application and to the findings prerequisite to the granting of a variance. (Ord. 05-02 §6, 2005)

### **Sec. 16-11-20. Approval criteria.**

The following criteria shall be considered in reviewing applications for a variance:

- (1) The relationship of the requested variance to other existing or potential uses and structures in the vicinity;
- (2) The degree to which relief from the strict or literal interpretation and enforcement of a specified regulation is necessary to achieve compatibility and uniformity of treatment objectives of this Chapter without grant of special privilege;
- (3) The effect of the requested variance on light and air, traffic movement, public facilities and utilities and public safety;
- (4) Such other factors and criteria as the Planning and Zoning Commission deems applicable to the proposed variance. (Ord. 05-02 §6, 2005; Ord. 06-01 §1, 2006)

### **Sec. 16-11-30. Findings required.**

The Planning and Zoning Commission shall make all the following written findings before granting a variance:

- (1) That the granting of the variance will not authorize a use not permitted by the zoning regulations of the Town;
- (2) That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties having the same classification in the same district;
- (3) That the granting of the variance will not be detrimental to the public health, safety or welfare, materially injurious to properties or improvements in the vicinity or prevent the proper access of light and air to adjacent properties;
- (4) That the strict, literal interpretation and enforcement of the specified regulation would result in unnecessary physical hardship inconsistent with the objectives of this Chapter;

(5) That the circumstances found to create a hardship were not created by the owner, are not due to or the result of general conditions in the zone district and cannot reasonably be corrected; and

(6) That the variance would not be out of harmony with the intent and purpose of this Chapter. (Ord. 05-02 §6, 2005)

**Sec. 16-11-40. Decision final.**

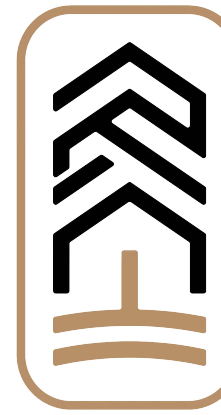
Any decision of the Planning and Zoning Commission shall be final unless an appeal is taken to a court of competent jurisdiction pursuant to Section 31-23-307, C.R.S. (Ord. 05-02 §6, 2005)

**Sec. 16-2-30. Deposit and fees for land use development applications.**

Any person applying for a land use development application, including but not limited to an annexation, subdivision, planned residential development, conditional use permit, easement vacation, replat, rezoning, variance, lot line adjustment, or any other land use development application, shall pay all direct costs accrued by the Town as a result of the application and development process, including but not limited to publication of notices, public hearing and professional costs, including engineering, attorney, consultant and recordation fees. In order to ensure that these fees are paid and development pays its own way, as well as the prompt payment of such costs to the Town, all land use applicants shall deposit the following sums with the Town at the time of initial land use development application:

<i>Land Use Application</i>	<i>Deposit Fees</i>
Annexations, subdivisions, replats or planned residential developments	\$2,000.00
Lot line vacation applications	250.00
Lot line adjustments or rezoning requests	500.00
Conditional use permit	300.00
Easement vacation or relocations	1,500.00
Variances	400.00
Any other land use applications	500.00

Any balance remaining after the payment of all costs to the Town shall be returned to the applicant. If the balance on deposit with the Town falls below twenty-five percent (25%) of the initial amount deposited, the applicant shall deposit such additional sums as the Town deems necessary in order to raise the balance to the initial amount deposited. Any dispute regarding the reasonableness or appropriateness of fees charged shall be presented to and resolved by the Board of Trustees. (Prior code 1-6-3)



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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**SITE PLAN**

DRAWING NO:

**A0.2**

**NOTES: SITE PLAN**

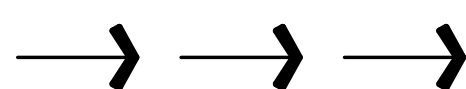
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

**NOTES: SITE CONTOUR LEGEND**

- EXISTING MAJOR CONTOUR: 10,000'
- EXISTING MINOR CONTOUR: 10,002'
- PROPOSED CONTOUR:

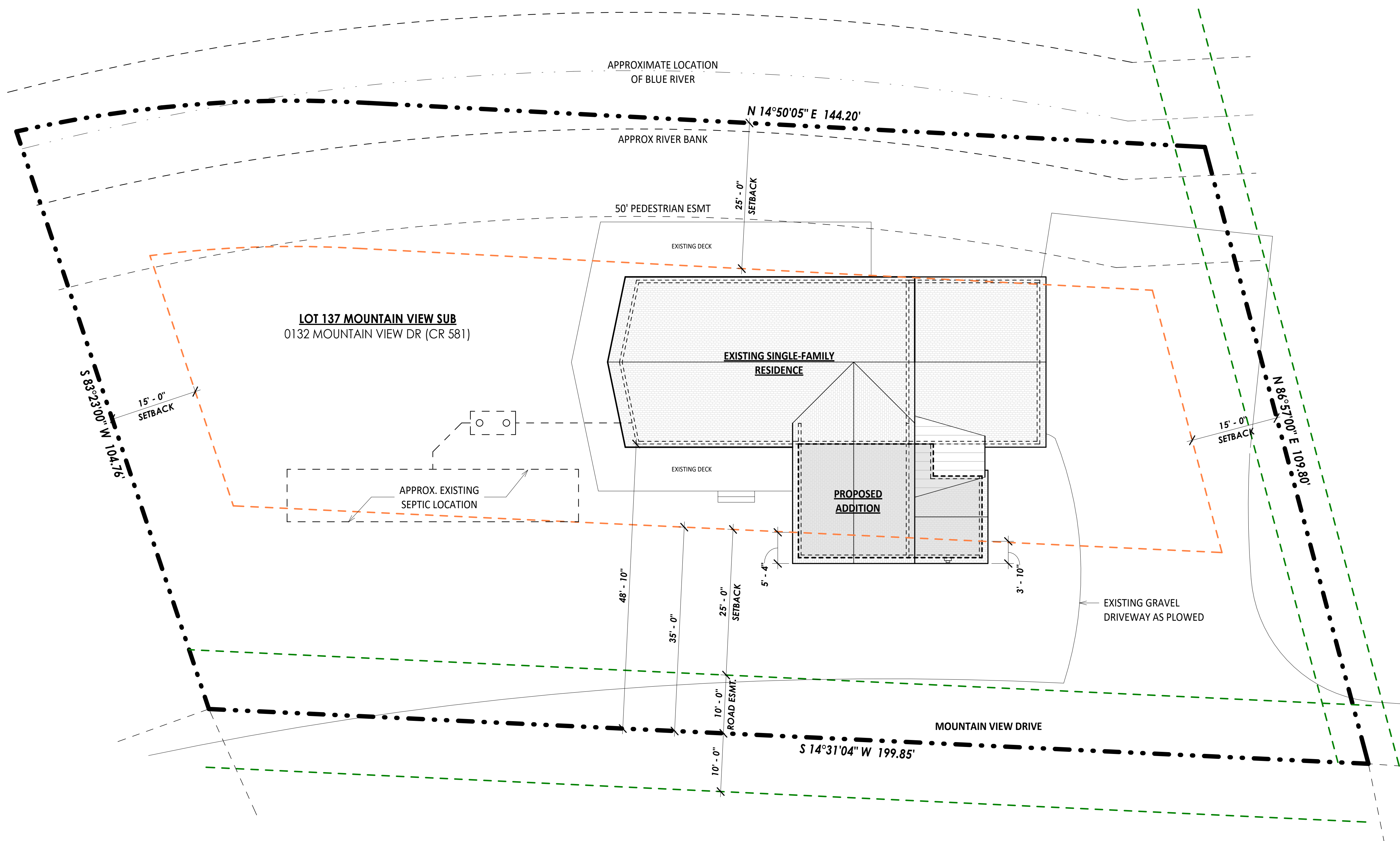
**NOTES: SITE DRAINAGE**

1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE
3. OF AT LEAST 4% AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO DALLAS DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENT.
4. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS:



**NOTES: FOUNDATION DRAIN**

- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
  2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
  3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 1/2-INCH TO 3/4-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
  4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).



**1** PROPOSED SITE PLAN  
1" = 10'-0"





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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - LOWER**

DRAWING NO:

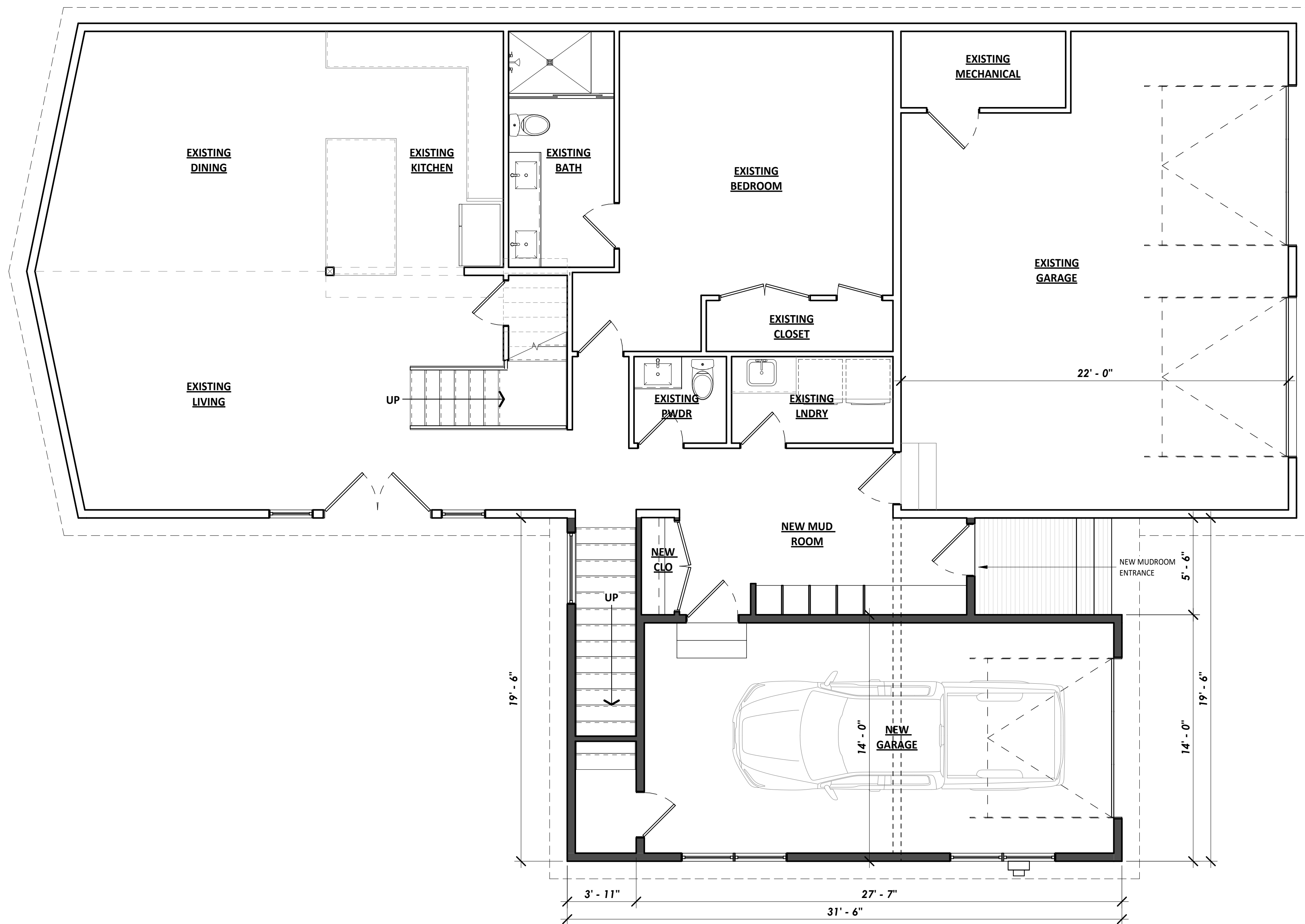
**A1.1**

**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"



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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - UPPER**

DRAWING NO:

**A1.2**

**WALL LEGEND**

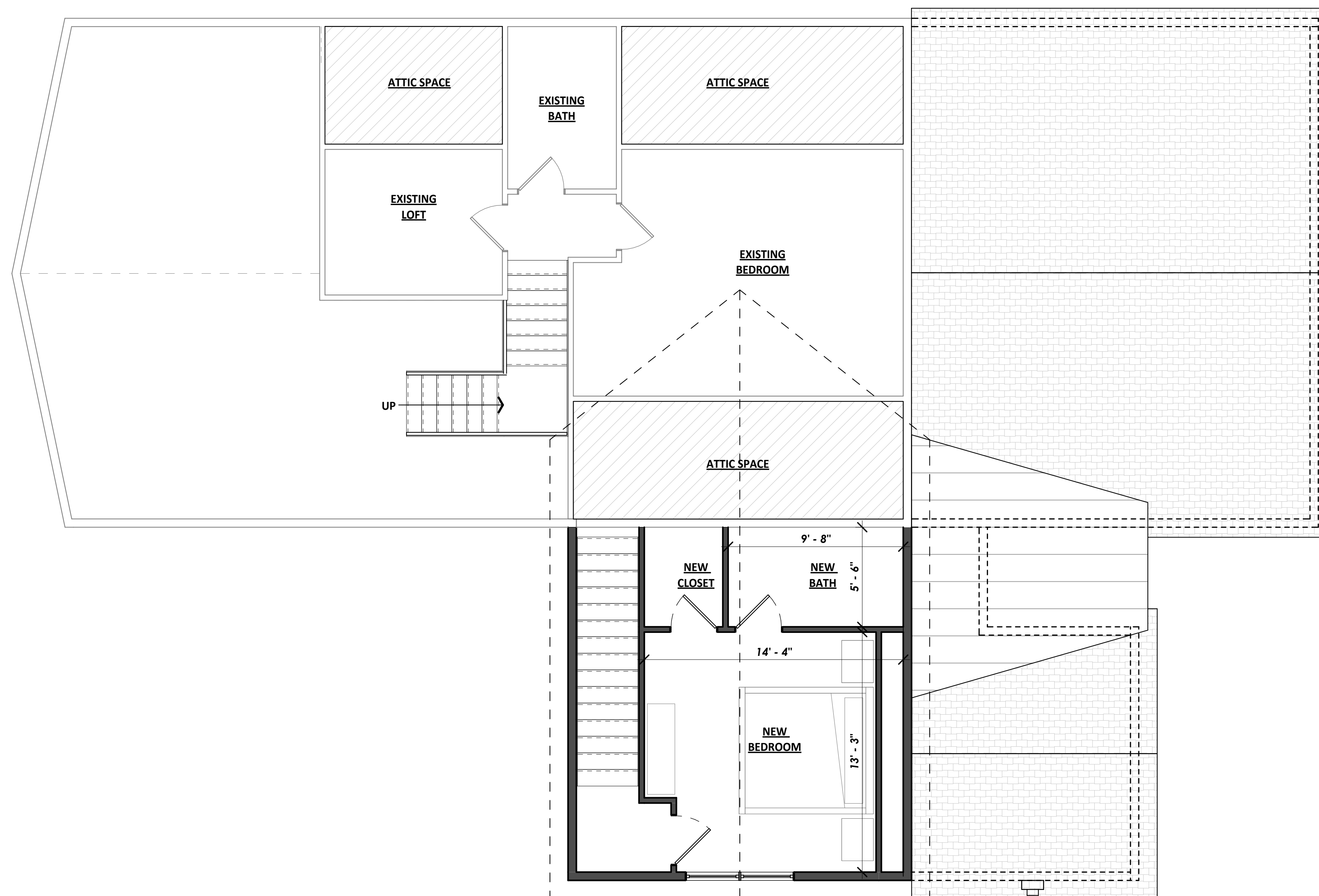
NEW 2X4 / 2X6 WOOD STUD WALL

EXISTING 2X4 / 2X6 WOOD STUD WALL

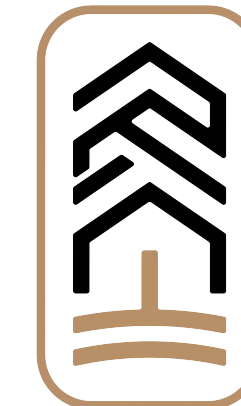
EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"



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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**ROOF PLAN**

DRAWING NO:

**A3.1**

**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

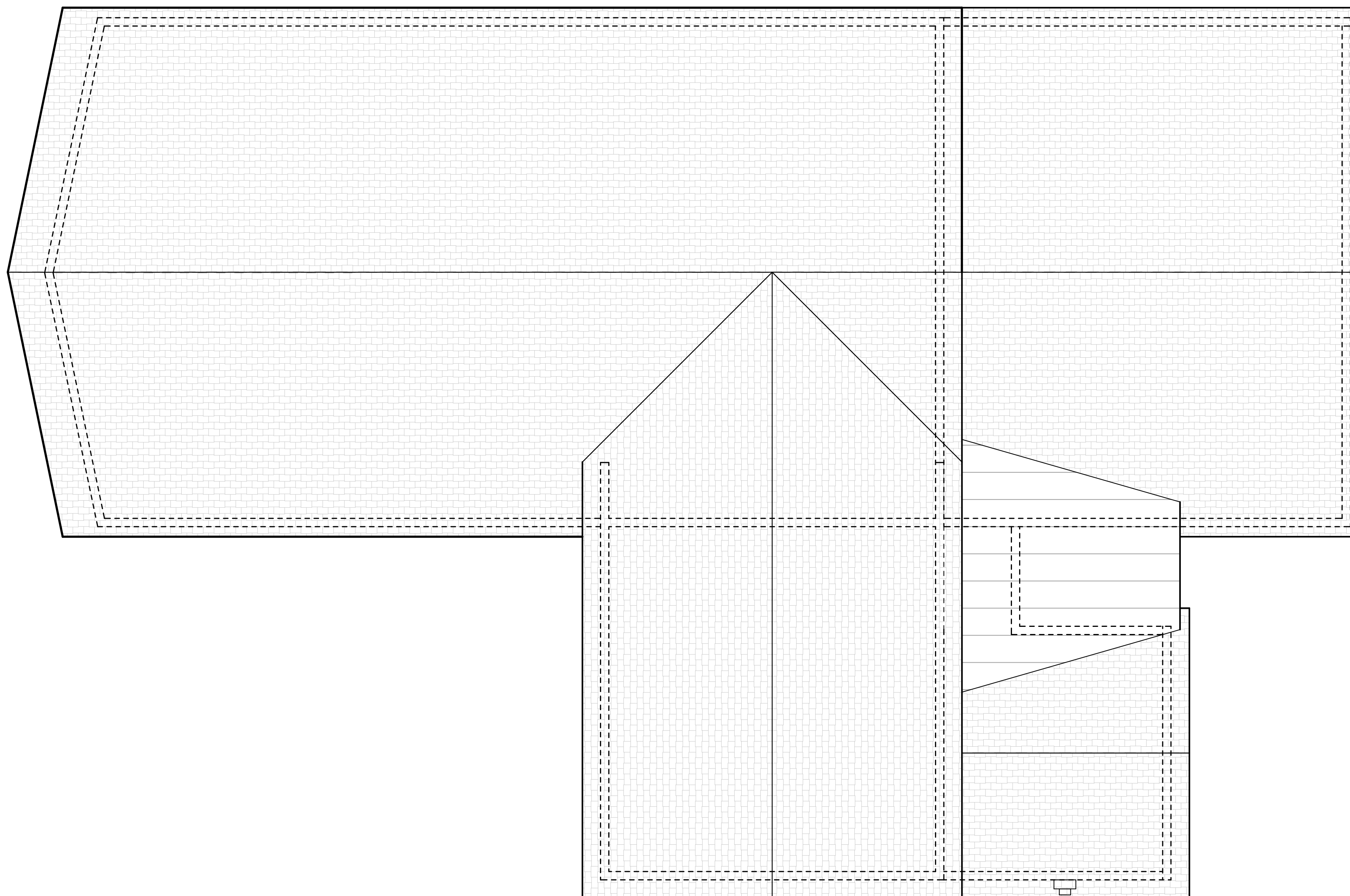
**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

**RIDGE HEIGHT CALCULATIONS**

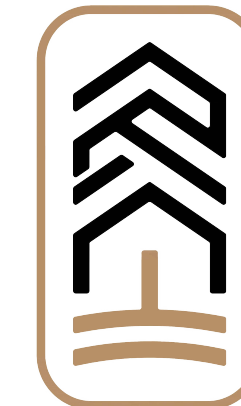
RIDGE	RIDGE HEIGHT (USGS)	PROP. GRADE (USGS)	EXIST. GRADE (USGS)	ROOF HEIGHT
A	XXX	XXX	XXX	XXX
B	---	---	---	---
C	---	---	---	---
D	---	---	---	---

NOTE:



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

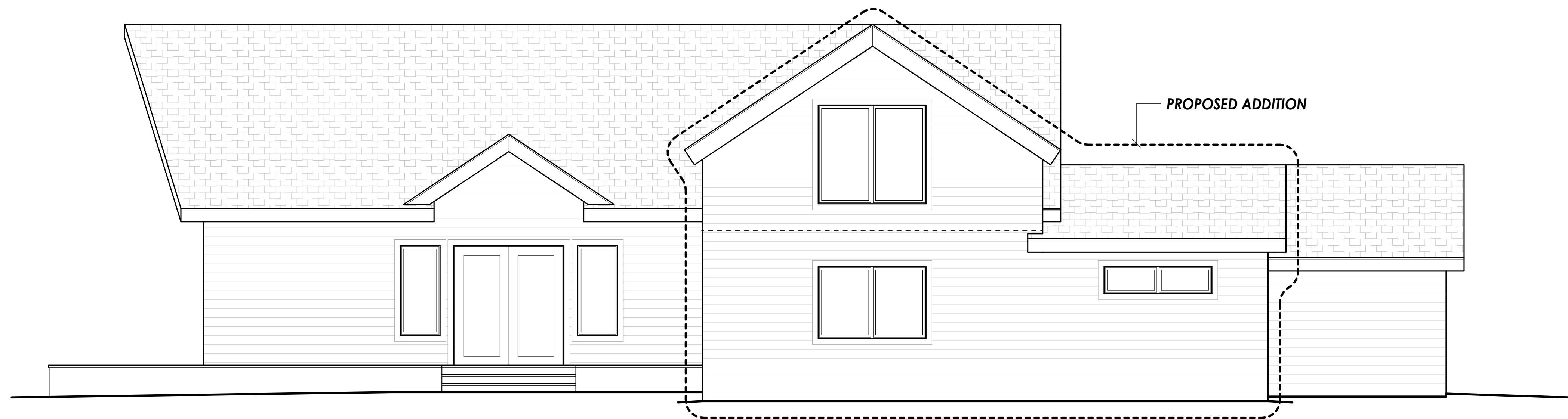
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**NOTES: AIR BARRIER / VAPOR BARRIER**

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

**NOTES: WEATHER RESISTIVE BARRIER**

1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.



**1** PROPOSED EAST ELEVATION  
1/4" = 1'-0"

No.	Date	Revisions

Project No: 2024-04  
 Stage: VARIANCE REQUEST  
 Date: 05/13/2024  
 Scale: As indicated

DRAWING TITLE:

**EXTERIOR ELEVATIONS**

DRAWING NO:

**A4.1**

**Improvement Survey Plat**  
**Lot 137**  
**Blue River Estates**  
**Mountain View**  
**Town of Blue River**  
**Summit County, Colorado**  
**Section 19, T7S, R77W, 6th P.M.**  
**(0132 Mountain View Drive)**



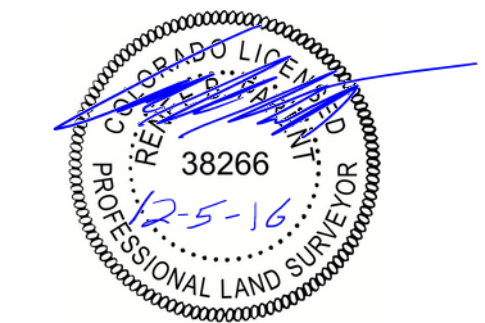
- Legend**
- (F) Field Measurement
  - (P) Plat, Rec. No. 92845
  - (C) Calculated from Plat
  - ◆ Found rebar with aluminum cap LS19588
- 
- Ⓟ Power
  - Ⓠ Gas
  - Ⓡ Communications

- Notes:**
- 1) Bearings are based on the north line of Lot 137, N86°57'E per record plat. Both ends said line are rebar with aluminum cap LS19588.
  - 2) Lineal Units: US Survey foot.
  - 3) Lot Area: 0.488 Acres, 21253 Square feet
  - 4) Only visible utilities located. Underground locate not done.
  - 5) Approximately 6 inches of snow on the ground at the time of the survey. Improvements, utilities and encroachments at or near ground level would not have been seen or shown on this survey.
  - 6) River shown based on best available evidence at the time of the survey (survey records, aerial and edge locations in a few spots). River was snow and ice covered at the time of the survey. Platted 50 foot Pedestrian easement centered on river per record plat.
  - 8) The boundary shown is based on found monumentation and is consistent with the survey by Flatiron survey dated December 19, 2007. Per record plat, the westerly lot boundary line is intended to roughly follow the centerline of the Blue River, 197 +/- of frontage.

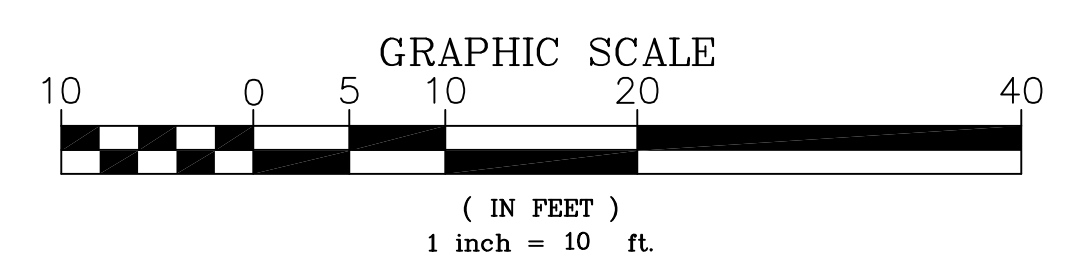
This survey does not constitute a title or ownership search by Blue River Land Surveying. All ownership, easement and public record information was based on the Owner's Title Commitment Order No. 01330-91148, issued by Stewart Title.

Property is subject to exceptions as described in the title policy as referenced.

I, Renee B. Parent, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this plat was prepared by me and under my supervision from a survey made by me and under my supervision and that both the plat and the survey are true and correct to the best of my knowledge and belief.



Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.



**Blue River**  
**Land Surveying**  
**(970) 668-3730**  
 PO Box 2820 Breckenridge, CO 80424  
 www.blueriverlandsurveying.com

*Improvement Survey Plat*  
 Lot 137  
 Blue River Estates  
 Mountain View  
 Town of Blue River  
 Summit County, Colorado  
 Section 19, T7S, R77W, 6th P.M.  
 (0132 Mountain View Drive)



# BLUE RIVER PLANNING & ZONING COMMISSION MEETING JUNE 2024

June 04, 2024 at 6:00 PM  
0110 Whispering Pines Circle, Blue River, CO

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## AGENDA

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The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

**I. CALL TO ORDER, ROLL CALL**

**II. APPROVAL OF MINUTES**

[A.](#) Minutes from May 7, 2024

**III. PUBLIC HEARING**

[B.](#) 0132 Mountain View Home Addition Variance Request

**IV. PROJECT APPROVAL**

[C.](#) 0034 Rustic-Addition

**V. OTHER BUSINESS**

[D.](#) Land Use Building Size Review

**VI. ADJOURN**

**NEXT MEETING -**



## PLANNING & ZONING COMMISSION MAY 2024

May 07, 2024 at 6:00 PM  
0110 Whispering Pines Circle, Blue River, CO

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### MINUTES

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The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

#### I. CALL TO ORDER, ROLL CALL

PRESENT

Travis Beck

Mike Costello

Tim Johnson

Gordon Manin

Doug O'Brien

Ben Stuckey

Troy Watts had connectivity issues.

Also present Town Manager Eddy; Board Liaison Trustee Noah Hopkins

#### II. APPROVAL OF MINUTES

A. Minutes from April 9, 2024

Motion made by Manin, Seconded by Costello to approve the minutes of April 9, 2024. Voting Yea: Costello, Johnson, Manin, O'Brien

#### III. PROJECT APPROVAL

B. 0345 Coronet New Construction

Manager Eddy provided an overview of the project. Noting the roof pitches mirror the neighbor. A concern with the siding was noted. The architect provided clarification on the siding material as well as the design and what will be exposed as well as the project in general. It was noted that it fits a mountain modern design complimenting the neighboring property.

Motion made by Costello, Seconded by Beck to approve the new construction at 0345 Coronet. Voting Yea: Beck, Costello, Johnson, Manin, O'Brien, Stuckey. Motion passed unanimously.

**IV. OTHER BUSINESS**

C. Land Use Discussion-Buildable Area

The Town Attorney's office provided a memo of options if the Planning & Zoning Commission should wish to make a recommendation to add to the Land Use Code.

Town Manager Eddy provided an overview of the memo and options. Discussion of reasoning for limiting size of homes and area allowed to be built within the buildable area. Discussion to potentially limit by total lot and not buildable area. Discussion to read through the memo and come back with suggestions in June.

**V. ADJOURN**

Motion made by Beck, Seconded by O'Brien to adjourn the meeting at 6:52 p.m. Voting Yea: Beck, Costello, Johnson, Manin, O'Brien, Stuckey Motion passed unanimously.

**NEXT MEETING -**

June 4, 2024



### VARIANCE APPLICATION

Legal Description: Lot LOT 137 Subdivision Mountain View Sub  
Street Address: 132 Mountain View Dr

Homeowner Name: Jason and Meredith Himmelman Phone: 970-470-1816  
Mailing Address: PO Box 6658- Breckenridge CO 80424 Email: jake@breckenridgeassociates.com

**Variance Being Requested:**

We are requesting a variance to the street side of our home. We have another baby on the way and need more space. The other side of the home is the river and wetlands

Zoning Ordinance to which the variance is requested, and specify the nature of the variance requested:

Sec. 16-5-50. Site and structure requirements

a. Front yard. The front yard requirement shall be twenty-five (25) feet

We are requesting that the front setback as measured from road easement be reduced as shown on attached site plan.

State if the variance requested meets each of the following six (6) conditions. Please explain for each one:

1. That the granting of the variance will not authorize a use not permitted by the zoning regulations of the Town:  
There is no proposed change to the existing use of this lot with the approval of this variance.
2. That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitation on other properties having the same classification in the same zone district:  
We believe that any other property with similar existing hardships could apply for similar setback variances. We also feel that numerous homes within our subdivision are already within the easement due to the challenges that the river/wetlands present
3. That the granting of the variance will not be detrimental to the public health, safety or welfare, materially injurious to properties or improvements in the vicinity, or prevent the proper access of light and air to adjacent properties:  
The requested variance presents no detrimental effects to the health, safety, and welfare of the public.
4. That the strict, literal interpretation and enforcement of the specified regulation would result in unnecessary hardship inconsistent with the objectives of the Title:

Driveway and garage access are already in place, additions to the north end would exclude access to your existing garage. West Side- pedestrian access easement and wetland setbacks. Existing on site wastewater treatment system in place prohibits additions to the south. Also need privacy from house above

- 5. That the circumstances found to create a hardship were not created by the owner, and are not due to, or the result of, general conditions in the zone district and cannot reasonably be corrected:

The hardships were created outside of the control of the existing homeowner. The river/wetlands run the length of the house. Septic cant be moved.

House above us is extremely close

- 6. That the variance would not be out of harmony with the intent and purpose of the zoning code:

The variance would be in harmony with the purpose of the code. The variance would be small but would allow us comfortable living without disturbing the natural environment. Would also be in line with other homes in the sub that previously faced these challenges

**NO VARIANCE AUTHORIZING A CHANGE IN THE PERMITTED USE OF THE PROPERTY SHALL BE GRANTED.**

The following documents are submitted herewith for the Commission’s information and review:

- 1. Completed Application Form / Application Fee
- 2. Site plan diagram with proposed addition and setbacks / Proposed plans and elevations.
- 3. Adjacent neighbor mailing list.
- 4. \_\_\_\_\_

I/We the applicant named herein understand the following:

- 1. That the main function of the Planning and Zoning Commission is to provide for reasonable interpretations of codes and ordinances with relation to their intent, so that the spirit of the ordinance(s) shall be observed, public safety and welfare secured and justice adhered to.
- 2. Notice of hearings to be given at the expense of the applicant by publication in a newspaper of general circulation within the Town by posting on the premises and by mailing to all property owners within three hundred (300) feet of the property in question. Notices shall be posted, published and mailed at least ten (10) days before the hearing date and shall contain the time and date of the hearing, the name of the applicant, a general description of the property indicating its location (which may be shown by map), what relief is being sought and the grounds on which the relief is being sought. The owners within three hundred (300) feet of the affected property were notified of the variance request. This letter shall contain all the names and addresses of those notified, and shall be submitted to the Building Department at least ten (10) days prior to the scheduled hearing. The application must be submitted to the Building Department at least twenty (20) days prior to the date of the hearing.
- 3. I/We (the applicant) shall be notified of the Commission’s decision within thirty (30) days after the date of the hearing.
- 4. That any decision made by the Planning and Zoning Commission is not binding as to covenants, which apply to the property in question. Applicant is responsible for obtaining any necessary approvals from the Homeowner’s Associations or Committees, which administer the covenants within the subdivision where the property is located.
- 5. Within seven (7) days following action by the Planning and Zoning Commission, written findings and decision, in the form of a resolution, shall be transmitted to the applicant and to the Board of Trustees. Such decision of the Planning and Zoning Commission, with respect

to variances, is final and is subject to appeal only through a court competent jurisdiction pursuant to §31-23-307, C. R. S.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Findings of the Planning & Zoning Commission:

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## GENERAL INFORMATION AND GUIDELINES

The Town of Blue River has established specified distances from the front, back and sides of all lots as “setbacks” wherein no structures may be erected. These setbacks are maintained to create more open space between homes and structures upon and adjacent to other lots and to maintain open areas along roads and lot lines to prevent encroachment problems along these lines. It is expected that all property owners will respect the concepts and guidelines established by the Town with respect to these setback distances. It is incumbent upon the property owner to consider these setback distances prior to purchasing a new lot, or prior to attempting to enlarge any building or structure upon an existing lot that may not allow such improvements within the allowable building envelope, considering all setback distances.

Only after a property owner has fully demonstrated a true hardship, which was not caused and/or could have been reasonably averted by the applicant, will the Planning and Zoning Commission consider granting a variance to those established setback distances.

The Commission’s main criterion for granting a variance is that of a demonstrated “hardship” upon the applicant. Many times an applicant wishes to build a larger structure that is not conducive to the available area (building envelope) upon a lot, taking into account all front, side, and rear setbacks, and they request a variance. You must demonstrate a true hardship, not created by the applicant, to the Commission, which explains why the structure(s) cannot be placed elsewhere without a variance, or downsized to permit the structure to be placed on your lot without a variance, or modified to request the smallest possible sized variance for your situation. The Commission will request you to fully discuss all these other possible alternatives and why they will not work prior to considering a variance for your situation.

The Planning and Zoning Commission (P&Z) consists of seven (7) voting members appointed by the Town of Blue River Board of Trustees for two and four year terms. Assistance with application questions can be obtained from the Town of Blue River Building Official, who is not a member of the Commission and can answer questions and provide guidance without compromising the voting procedure.

After receipt, the Chairman of the P&Z, and/or the Town Building Official, will verify that the application is complete; all questions answered clearly and concisely, with appropriate attachments (maps) that are legible, drawn to scale (not reduced), marked with property locations (subdivisions and lot numbers), dates of survey and by whom, and that the drawings display the variance request clearly (i.e.- locations of all lot lines, structures and sizes, wells, septic system tanks and fields, roads, easements, setbacks, etc.). It is strongly suggested that a registered land surveyor prepare an Improvement Location Certificate (ILC) or a detailed survey for the property and submit it with the application. Applicants must be aware that this is not an extra step; if the variance is approved, the TOBR Building Official must receive an ILC prior to any excavation or construction commencing on the property. Applicants should be aware that surveys in the middle of winter, with heavy snow cover present, are more difficult, costly and time consuming. Such ILC surveys can easily take several weeks to perform, dependent on weather conditions and surveyor workloads. Also, specific dimensions must be stated in the variance request. For example, if a garage or home is requested to be built within a lot setback, the exact distances and exact location from the lot lines to all

home/garage corners and sides (to drip lines) within that variance request must be accurately labeled on the ILC survey, stated on the map, in the application and staked with labeled lath or stakes on the lot for P&Z and public inspection. If a variance is approved, the written approval will state these same exact dimensions in the approval and/or attachments.

The applicant shall also provide an accurate drawing to scale (not reduced) copy of the map they used to determine all property owners located within 300 feet of the subject property seeking the variance. Such a map may be obtained from the Summit County Clerk and Recorder's Office. The Summit County Assessor's Office can provide ownership addresses of the property owners to be notified. Both offices are located at the Summit County Courthouse, 208 E. Lincoln in Breckenridge. The map submitted to the TOBR Clerk should be marked with a line encompassing the 300-foot mark, measured from all points along the property lines. A pencil, compass and straight edge are necessary to perform this task properly.

Accompanying that map shall be a list of all the Subdivision name(s), lot number, and names and addresses of the owners of record that fall within the 300-foot mark. The P&Z Chairman or Building Official may verify with the Assessor's Office regarding the accuracy of the data submitted on the list. Applicant's failure to notify owners of record within 300 feet of the subject property can cause unnecessary delays. If the applicant fails to properly notify a landowner, the applications may be rejected. Applicants should also be aware that the County Assessor's Office maps are not survey accurate, and can be slightly misleading as to exact distances. However, they do show all adjoining subdivisions in relation to each other. Therefore, re-checking exact distances on the official recorded plat in the Clerk and Recorder's Office may be necessary. If there is any question as to a "close distance" of a property to the 300-foot requirement, it is strongly suggested to add extra neighbor notifications rather than risk missing a property owner.

A property owner located within the 300-foot distance that must be notified also includes all Municipal, County, State or Federal landowners (i.e.-county, state or federal roads, national or state forest or lands, county lands, etc.).

If the P&Z Chairman and/or the Building Inspector now deem, the application complete, the TOBR Clerk will send copies of the application and supporting documents to all P&Z members for their information.

The applicant must then pick up a poster from the TOBR Clerk to be displayed upon the lot, which will inform all interested parties of the date, time, and location of the scheduled public hearing regarding the variance request for that property ten day before the hearing. The applicant must also publish notice of the public hearing in the Summit County Journal ten days before the scheduled hearing. Call the TOBR Clerk (970) 547-0545 for assistance with timetables in publishing the notice. The property shall also be marked with stakes identifying the lot lines, setback, and exact location of corners requested in the variance so that interested parties and the P&Z members can relate to the variance request on the ground and identify the specifics of the variance request. It is preferred for these markings to be completed by a registered land surveyor, as part of the ILC survey. After this is completed, the applicant must mail notice to all the property owners on the list provided located within 300-feet of the property. Notice shall include the complete application, including all supporting document and maps along with a brief letter explaining the nature of the variance request.

As an overview, considering all the above steps, it can easily take a considerable amount of time to properly schedule a public meeting, providing all steps are correctly followed, and depending upon time of year, availability of surveyors, publication notices, review of applications, etc.

#### APPLICANT CHECKLIST

1. \$400.00 refundable deposit, payable to the Town of Blue River
2. Completed "Request for hearing and variance" application including—
  - A. Name and address of the owner and, if the applicant is not the owner, written authorization of the owner to the applicant to make application and act as agent for the owner.
  - B. Evidence of ownership (such as an informational title commitment) and a legal description for all property to be considered for rezoning.
  - C. A written description of the precise nature of the proposed variance and its operating characteristics, and measures proposed to make the variance compatible with other properties in the vicinity
  - D. A site plan, (ILC or survey) preferably by a registered land surveyor, showing proposed development of the site, including topography, building or structure locations, parking, traffic circulation, landscaped area, utilities, drainage features, setbacks and all easements (if any).
  - E. Preliminary building plans and elevations sufficient to indicate the dimensions, general appearance, scale and interior plan of all buildings
3. Notice of hearings to be given at the expense of the applicant by publication in a newspaper of general circulation within the Town by posting on the premises and by mailing to all property owners within three hundred (300) feet of the property in question. Notices shall be posted, published and mailed at least ten (10) days before the hearing date and shall contain the time and date of the hearing, the name of the applicant, a general description of the property indicating its locations (which may be shown by map), what relief is being sought and the grounds on which the relief is being sought.
4. The applicant shall submit a letter certifying to the Commission all property owners within three hundred (300) feet of the affected property that were notified of the variance request. This letter shall contain all the names and addresses of those notified, and shall be submitted to the Building Department at least ten (10) days prior to the scheduled hearing date. In addition, the applicant shall also provide a copy, to scale (not reduced) of the map they used to determine all property owners within 300 feet of the subject property, which shows the 300 foot distances from all property lines and the affected lots (property owners) to be notified within these distances.
5. The application must be submitted to the Building Department at least twenty (20) days prior to the date of the hearing.

## ARTICLE XI Variances

### **Sec. 16-11-10. Application; public hearing.**

An application for a variance shall be heard by the Planning and Zoning Commission in accordance with Section 16-2-60(b) of this Chapter. The application shall include the following information, unless determined by the Building Official to be unnecessary for its consideration:

- (1) Name and address of the owner and, if the applicant is not the owner, written authorization of the owner to the applicant to make application and act as agent for the owner;
- (2) Evidence of ownership (such as an informational title commitment) and a legal description for all property to be considered for rezoning;
- (3) A list of the owners of all properties within the boundaries of the area to be rezoned or changed, and of all properties within three hundred (300) feet of the property proposed to be rezoned or changed. The owners list shall include the name of all owners, their addresses and a general description of the property owned by each.
- (4) A description of the precise nature of the proposed variance and its operating characteristics, and measures proposed to make the variance compatible with other properties in the vicinity;
- (5) A site plan, showing proposed development of the site, including topography, building or structure locations, parking, traffic circulation, usable open space, landscaped area and utilities and drainage features;
- (6) Preliminary building plans and elevations sufficient to indicate the dimensions, general appearance, scale and interior plan of all buildings;
- (7) Such additional materials as the Planning and Zoning Commission may prescribe or the applicant may submit pertinent to the application and to the findings prerequisite to the granting of a variance. (Ord. 05-02 §6, 2005)

### **Sec. 16-11-20. Approval criteria.**

The following criteria shall be considered in reviewing applications for a variance:

- (1) The relationship of the requested variance to other existing or potential uses and structures in the vicinity;
- (2) The degree to which relief from the strict or literal interpretation and enforcement of a specified regulation is necessary to achieve compatibility and uniformity of treatment objectives of this Chapter without grant of special privilege;
- (3) The effect of the requested variance on light and air, traffic movement, public facilities and utilities and public safety;
- (4) Such other factors and criteria as the Planning and Zoning Commission deems applicable to the proposed variance. (Ord. 05-02 §6, 2005; Ord. 06-01 §1, 2006)

### **Sec. 16-11-30. Findings required.**

The Planning and Zoning Commission shall make all the following written findings before granting a variance:

- (1) That the granting of the variance will not authorize a use not permitted by the zoning regulations of the Town;
- (2) That the granting of the variance will not constitute a grant of special privilege inconsistent with the limitations on other properties having the same classification in the same district;
- (3) That the granting of the variance will not be detrimental to the public health, safety or welfare, materially injurious to properties or improvements in the vicinity or prevent the proper access of light and air to adjacent properties;
- (4) That the strict, literal interpretation and enforcement of the specified regulation would result in unnecessary physical hardship inconsistent with the objectives of this Chapter;

(5) That the circumstances found to create a hardship were not created by the owner, are not due to or the result of general conditions in the zone district and cannot reasonably be corrected; and

(6) That the variance would not be out of harmony with the intent and purpose of this Chapter. (Ord. 05-02 §6, 2005)

**Sec. 16-11-40. Decision final.**

Any decision of the Planning and Zoning Commission shall be final unless an appeal is taken to a court of competent jurisdiction pursuant to Section 31-23-307, C.R.S. (Ord. 05-02 §6, 2005)

**Sec. 16-2-30. Deposit and fees for land use development applications.**

Any person applying for a land use development application, including but not limited to an annexation, subdivision, planned residential development, conditional use permit, easement vacation, replat, rezoning, variance, lot line adjustment, or any other land use development application, shall pay all direct costs accrued by the Town as a result of the application and development process, including but not limited to publication of notices, public hearing and professional costs, including engineering, attorney, consultant and recordation fees. In order to ensure that these fees are paid and development pays its own way, as well as the prompt payment of such costs to the Town, all land use applicants shall deposit the following sums with the Town at the time of initial land use development application:

<i>Land Use Application</i>	<i>Deposit Fees</i>
Annexations, subdivisions, replats or planned residential developments	\$2,000.00
Lot line vacation applications	250.00
Lot line adjustments or rezoning requests	500.00
Conditional use permit	300.00
Easement vacation or relocations	1,500.00
Variances	400.00
Any other land use applications	500.00

Any balance remaining after the payment of all costs to the Town shall be returned to the applicant. If the balance on deposit with the Town falls below twenty-five percent (25%) of the initial amount deposited, the applicant shall deposit such additional sums as the Town deems necessary in order to raise the balance to the initial amount deposited. Any dispute regarding the reasonableness or appropriateness of fees charged shall be presented to and resolved by the Board of Trustees. (Prior code 1-6-3)



**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**SITE PLAN**

DRAWING NO:

**A0.2**

**NOTES: SITE PLAN**

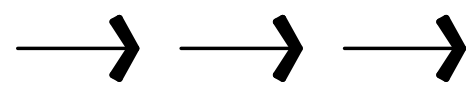
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

**NOTES: SITE CONTOUR LEGEND**

- EXISTING MAJOR CONTOUR: 10.000'
- EXISTING MINOR CONTOUR: 10.002'
- PROPOSED CONTOUR:

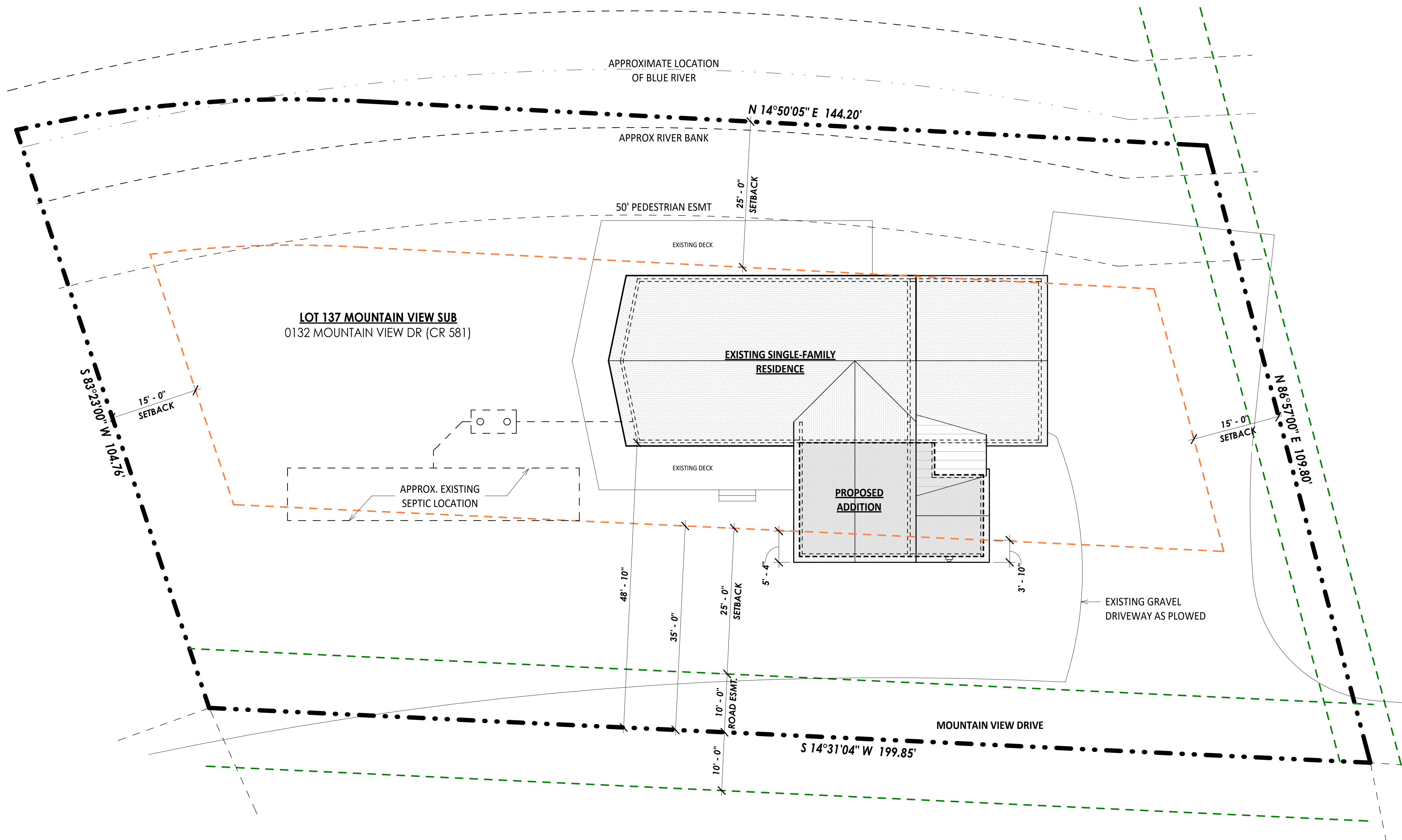
**NOTES: SITE DRAINAGE**

1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE
3. OF AT LEAST 4% AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO DALLAS DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENT.
4. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS:



**NOTES: FOUNDATION DRAIN**

- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
  2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
  3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 1/2-INCH TO 3/4-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
  4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).



**1** PROPOSED SITE PLAN  
1" = 10'-0"





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ARCHITECTURE

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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - LOWER**

DRAWING NO:

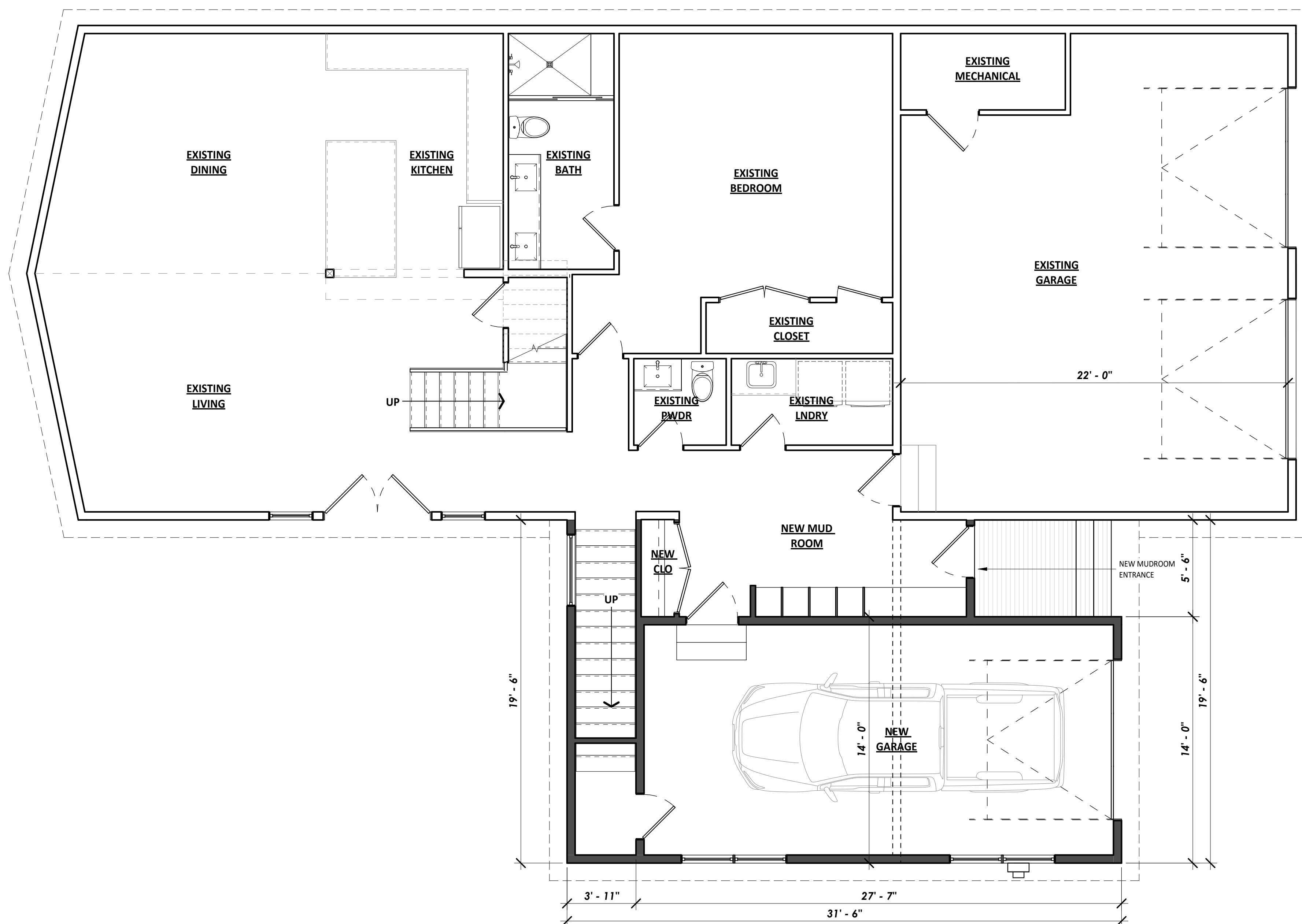
**A1.1**

**WALL LEGEND**

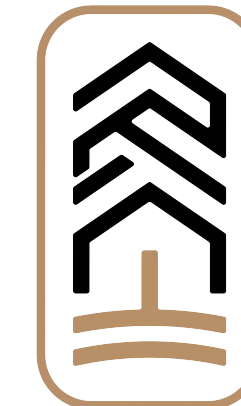
- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"



**ROOTED**  
ARCHITECTURE

SEAL:

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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - UPPER**

DRAWING NO:

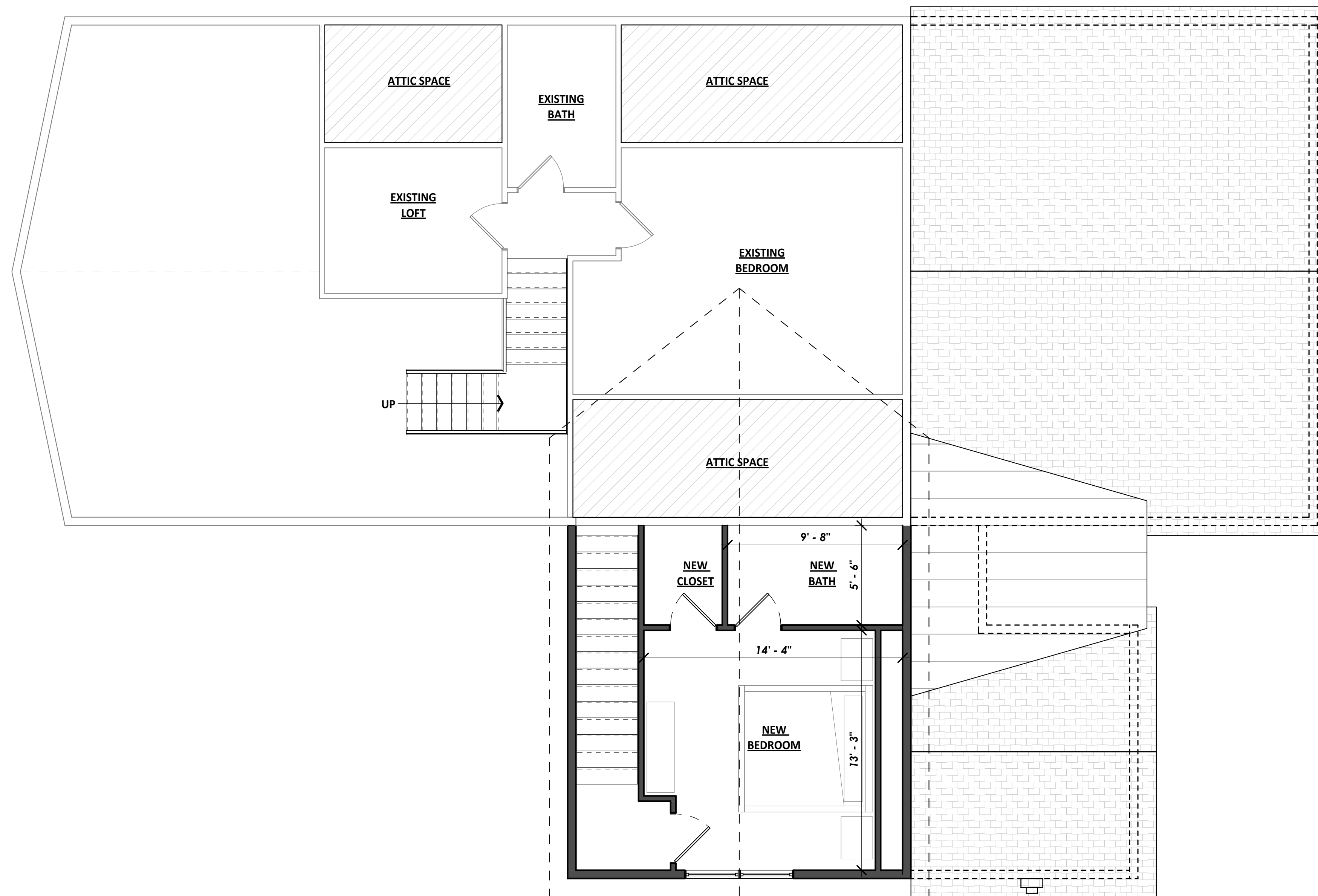
**A1.2**

**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

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**HIMMELMAN ADDITION**

0132 MOUNTAIN VIEW DRIVE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2024-04  
Stage: VARIANCE REQUEST  
Date: 05/13/2024  
Scale: As indicated

DRAWING TITLE:

**ROOF PLAN**

DRAWING NO:

**A3.1**

**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

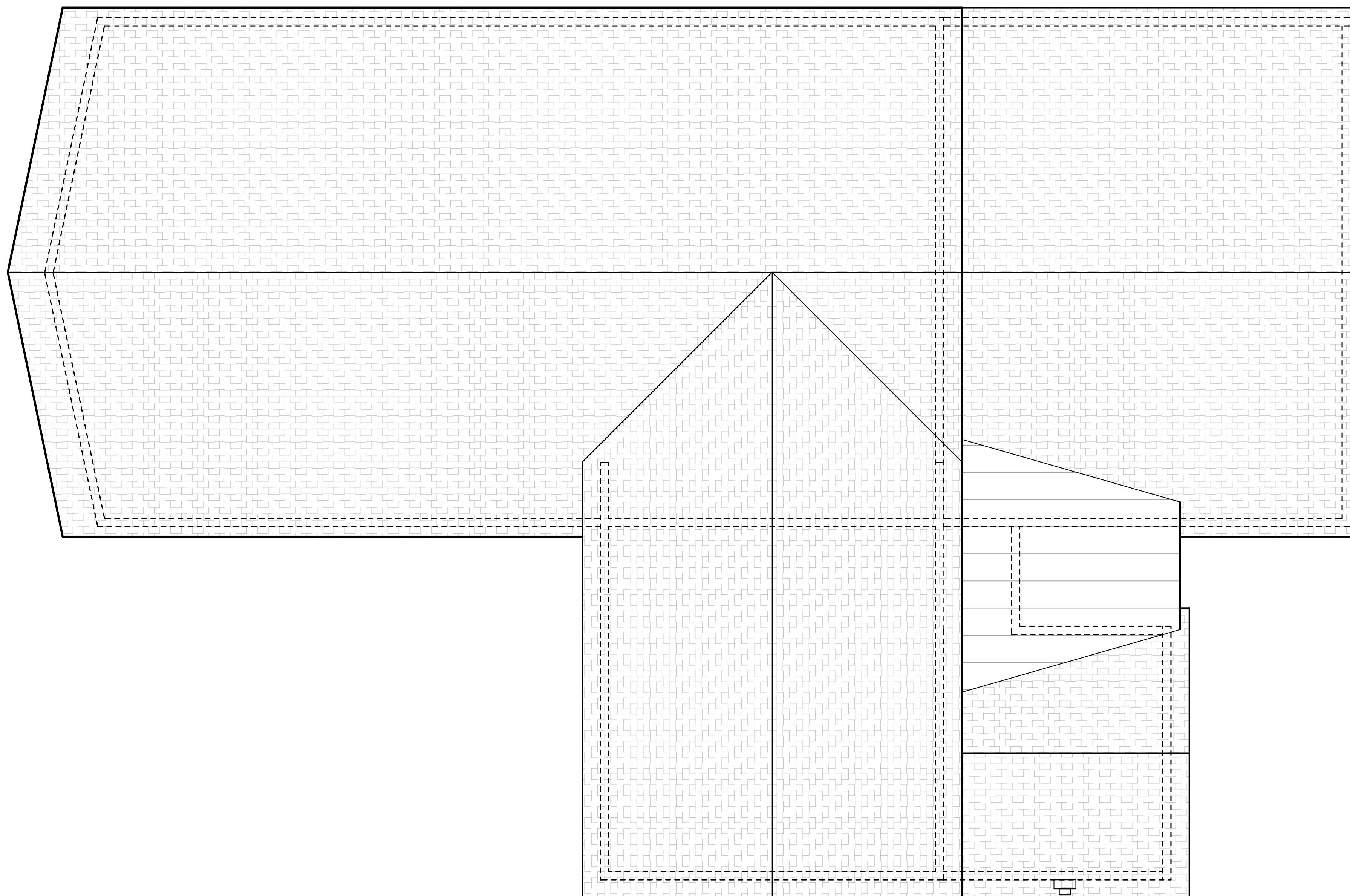
**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.

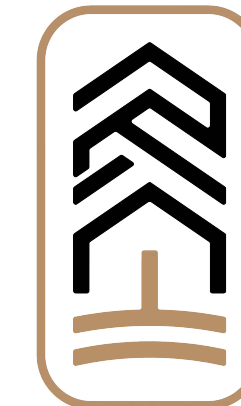
**RIDGE HEIGHT CALCULATIONS**

RIDGE	RIDGE HEIGHT (USGS)	PROP. GRADE (USGS)	EXIST. GRADE (USGS)	ROOF HEIGHT
A	XXX	XXX	XXX	XXX
B	---	---	---	---
C	---	---	---	---
D	---	---	---	---

NOTE:



**1 LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"



**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

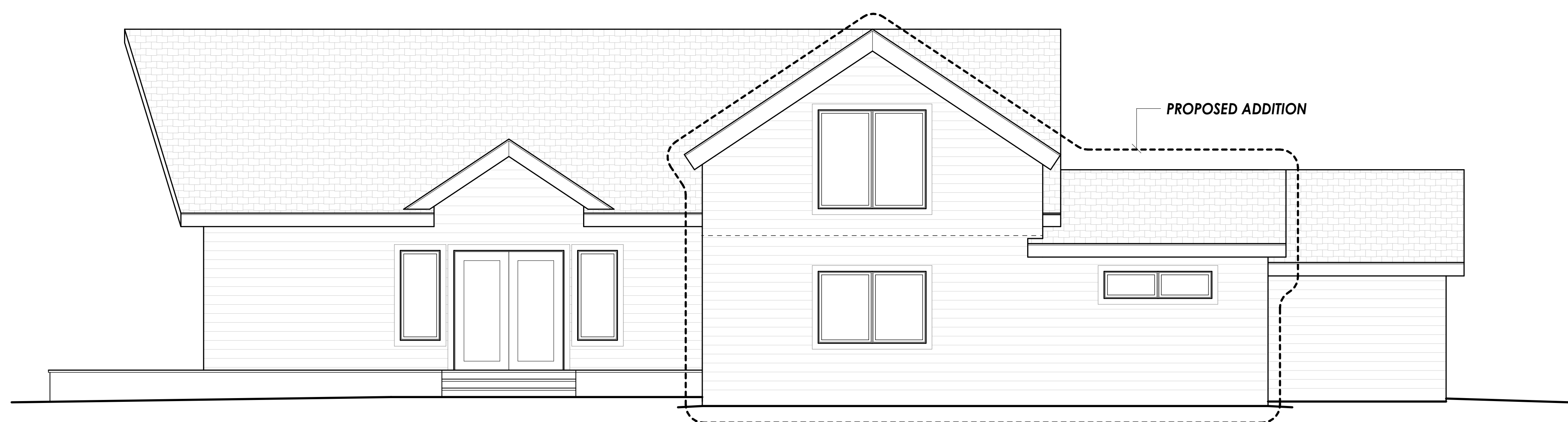
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**NOTES: AIR BARRIER / VAPOR BARRIER**

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

**NOTES: WEATHER RESISTIVE BARRIER**

1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.



**1** PROPOSED EAST ELEVATION  
1/4" = 1'-0"

No.	Date	Revisions

Project No: 2024-04  
 Stage: VARIANCE REQUEST  
 Date: 05/13/2024  
 Scale: As indicated

DRAWING TITLE:

**EXTERIOR ELEVATIONS**

DRAWING NO:

**A4.1**

**Improvement Survey Plat**  
**Lot 137**  
**Blue River Estates**  
**Mountain View**  
**Town of Blue River**  
**Summit County, Colorado**  
**Section 19, T7S, R77W, 6th P.M.**  
**(0132 Mountain View Drive)**



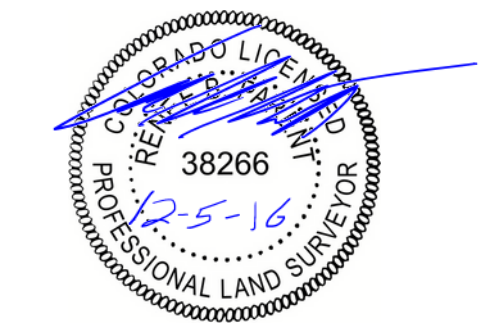
- Legend**
- (F) Field Measurement
  - (P) Plat, Rec. No. 92845
  - (C) Calculated from Plat
  - ◆ Found rebar with aluminum cap LS19588
- 
- Ⓟ Power
  - Ⓠ Gas
  - Ⓡ Communications

- Notes:**
- 1) Bearings are based on the north line of Lot 137, N86°57'E per record plat. Both ends said line are rebar with aluminum cap LS19588.
  - 2) Lineal Units: US Survey foot.
  - 3) Lot Area: 0.488 Acres, 21253 Square feet
  - 4) Only visible utilities located. Underground locate not done.
  - 5) Approximately 6 inches of snow on the ground at the time of the survey. Improvements, utilities and encroachments at or near ground level would not have been seen or shown on this survey.
  - 6) River shown based on best available evidence at the time of the survey (survey records, aerial and edge locations in a few spots). River was snow and ice covered at the time of the survey. Platted 50 foot Pedestrian easement centered on river per record plat.
  - 8) The boundary shown is based on found monumentation and is consistent with the survey by Flatirons survey dated December 19, 2007. Per record plat, the westerly lot boundary line is intended to roughly follow the centerline of the Blue River, 197 +/- of frontage.

This survey does not constitute a title or ownership search by Blue River Land Surveying. All ownership, easement and public record information was based on the Owner's Title Commitment Order No. 01330-91148, issued by Stewart Title.

Property is subject to exceptions as described in the title policy as referenced.

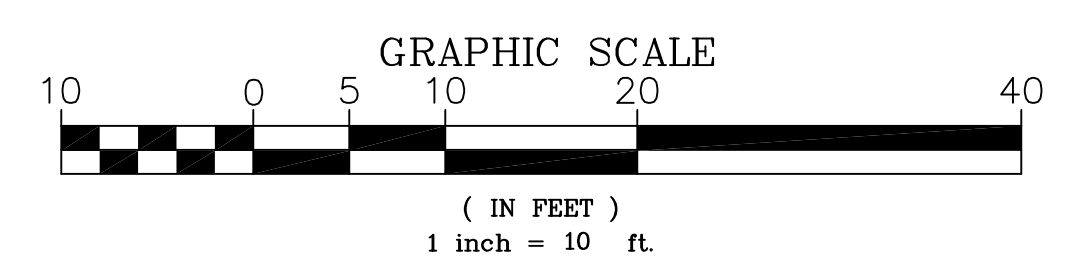
I, Renee B. Parent, being a Registered Land Surveyor in the State of Colorado, do hereby certify that this plat was prepared by me and under my supervision from a survey made by me and under my supervision and that both the plat and the survey are true and correct to the best of my knowledge and belief.



Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

**Blue River Land Surveying**  
**(970) 668-3730**  
 PO Box 2820 Breckenridge, CO 80424  
 www.blueriverlandsurveying.com

*Improvement Survey Plat*  
 Lot 137  
 Blue River Estates  
 Mountain View  
 Town of Blue River  
 Summit County, Colorado  
 Section 19, T7S, R77W, 6th P.M.  
 (0132 Mountain View Drive)





# Building Permit Application

Email to: [info@townofblueriver.org](mailto:info@townofblueriver.org)

Questions? Call (970) 547-0545 ext. 1

**Lot Number:** #8 \_\_\_\_\_ **Subdivision:** Blue Rock Springs Sub \_\_\_\_\_  
**Blue River Physical Address:** 34 Rustic Terrace \_\_\_\_\_

**Homeowner Information:**

Name: \_\_\_\_\_  
 Mailing Address: 34 Rustic Terrace \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Contractor Information**

Company Name: The Ashlan Group LLC \_\_\_\_\_  
 Contact Name: Matt Krigman \_\_\_\_\_  
 Mailing Address: 400 North Park Ave - Suite 12-B \_\_\_\_\_  
 Phone: 970-333-8624 \_\_\_\_\_  
 Email: MattKrigman@Gmail.com \_\_\_\_\_  
 Contractor Registration #: \_\_\_\_\_

*\*\*Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. \*\**

**Description of Project:**

Adding on to existing home - 1500 sq. ft. 2 bedroom/ 1 bathroom \_\_\_\_\_

Distance to Property Line	Type of Heat:	Construction Type: wood
North:	Roof:	Building Height: 33' - 10 1/4"
South:	Exterior Walls:	No. Stories: 3
East:	Interior Walls:	Total # Bedrooms: 4
West:	Basement Fin. Sq.Ft.:	Total # Bathrooms: 3
New Addition/Res. Sq.Ft.:	Main Level Sq.Ft.: 1499	Septic or Sewer:
Garage Sq.Ft.:	2 <sup>nd</sup> Level Sq.Ft.:	1783
Total Square footage:	3 <sup>rd</sup> Level Sq.Ft.:	803

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN \_\_\_\_ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF \_\_\_\_ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Matt Krigman \_\_\_\_\_ Date: 5/16/2024 \_\_\_\_\_

# Submittal Requirements

**\*\*ALL Submittals Must be Electronic\*\***  
**Emailed to: info@townofblueriver.org**

## Planning & Zoning Review Submittal Requirements

**\*\*Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
	<b>Site Plan</b>	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	AO.1 AO.2
		Property Boundaries	AO.2
		Building Envelope with setbacks	AO.2
		Proposed Buildings	AO.2
		Structures (existing & proposed)	AO.2
		Driveway & Grades	AO.2
		A wetlands delineation & Stream crossing structures where applicable.	<b>AO.2</b>
		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	AO.2
		Transformer & vault location (if installed by owner or existing)	<b>AO.2</b>
		Well location; septic if applicable	AO.2
		Snow storage areas and calculations	AO.2
		Major site improvements	AO.2
		Existing & proposed grading & drainage	<b>N/A</b>
	<b>Landscaping Plan</b>	<b>*May be included in the site plan**</b>	N/A
		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	N/A
		Indicate the percentage of trees removed and revegetation to be conducted.	N/A
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	yes
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	AO.2
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	A1.1 -A7.1
	<b>Floor Plans</b>	<i>Scale 1/8" = 1'</i>	
		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	AO.1
	<b>Exterior Elevations</b>	<i>Scale same as floor plans</i>	
		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	A4.1 A5.1
	<b>Roof Plan</b>	<i>Scale same as floor plans</i>	
		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	A5.1
	<b>Materials Sheet</b>	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	TBD

After Approval and BEFORE Permit is Issued:

**ELECTRONIC COPY Stamped set.**

- All of the above mentioned plus items below in one plan set.

Completed <input checked="" type="checkbox"/>	Item	Page #
	Soils report if applicable	at time of excavation
	Electrical, plumbing and mechanical plans.	A2.1
	Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.	AO.1
	Stamped structural plan	S1.1-S2.2
	Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.	
	Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District	
	Colorado Department of Transportation Hwy Access Permit	
	Designation of General Contractor, except for bona fide homeowner contractor	
	For Manufactured Homes the following additional information is required	
	<ul style="list-style-type: none"> <li>• State of Colorado Division of Housing Approved Plans</li> </ul>	
	<ul style="list-style-type: none"> <li>• State of Colorado Division of Housing Registered Installer Certificate</li> </ul>	

## Blue River Plan Submittal Requirements for Residential Plan Review

- ❖ When designing the structure, refer to the Blue River Municipal Town Code, Chapter 16 for zoning information and allowable uses/construction. The Building Code information is available under Chapter 18. <https://townofblueriver.colorado.gov>.
- ❖ Building Codes Adopted:
  - International Residential Code 2018
  - The Electrical Code is the current code adopted by the State of Colorado: 2020

**Note: Applicable codes are required to be notated on plans.**

- ❖ Snow loads:
  - Roofs shall be designed in accordance with accepted engineering practice based upon a ground snow load of 100 psf.
  - Balconies/decks-125 psf.
  - No reductions for duration.
- ❖ Frost line depth:
  - Foundation footing minimum depth below grade-40 inches.
  - Uncovered deck piers may be set at 24 inches.
- ❖ Roof underlayment 100% Ice & Water shield.
- ❖ Roof may be metal; 30-year minimum architectural grade, composition fiberglass (dark brown, dark gray, dark green, weathered wood or black only); or class-A #1 cedar shakes.
- ❖ Wind speed: 90 mph, exposure “B”. Seismic design category: “B”.
- ❖ Propane gas alarm/shutoff system required.
- ❖ Wood burning stoves: Required to meet Colorado Dept. of Health, Regulation No. 4.
- ❖ The building height limit in the Town is 35 feet. Refer to the Architectural Guidelines for additional information.
- ❖ Locally re-settable GFCI breakers are required in bathrooms.
- ❖ Compliance with the International Energy Conservation Code is required.
- ❖ Any application that would create an accessory apartment must meet zoning regulations and will not be processed without prior approval of the Town Board of Trustees.
- ❖ Note that Hwy 9 access permits may require 3-4 months and well permits 5-6 weeks.
- ❖ Planning & Zoning Commission approvals become void if the building permit is not issued within eighteen (18) months.
- ❖ Building permits become void if construction is discontinued for more than 180 days.



In order for your permit application to be reviewed and processed properly, the following construction information must be provided. **Note:** "Preliminary" and/or plans shown as "Not for Construction" or similar are unacceptable. ***Hardcopy submittals will not be accepted.***

***Note: Items below are not all inclusive of the requirements. Please review the Building Application Packet, design guidelines, building and land use codes for complete information.***

### **Soils Report**

Must be sealed and signed by a licensed Colorado Engineer.

- Provide an engineer's soil investigation report indicating type of soil and recommended foundation design. include any required shoring.

### **Improvement Survey Plat**

- Provide an Improvement Survey Plat (ISP) following Colorado Revised Statutes for new principal structures, substantial expansions (25% or more) to principal structures and new accessory dwelling units (ADU's).
- Provide a permanent reference to spot elevation (benchmark) that will not be disturbed during construction.
- Provide existing spot elevations at property corners and at midpoints of the side property lines.
- Must be stamped and signed by a Professional Land Surveyor (PLS) licensed by the state of Colorado.

### **Site Plan**

- Provide site plan that shows dimensions reflecting the distances to property lines
- Indicate all public or private easements
- Show location of all proposed and existing structures with dimensions
- Provide type of construction for all structures on site
- Provide landscaping plan.
- Show permanent reference spot elevation (benchmark), existing spot elevations at property corners and at midpoints of the side property lines.
- Indicate roof drainage on site plan with arrows showing the direction of the gutter downspouts. Roof drainage shall flow towards the road and away from all structures.

### **Structural Plans**

Plans must be sealed and signed by a Colorado Structural Engineer or Architect

- Indicate size, location and method of reinforcement for all proposed footings, column pads, piers, caissons, grad beams, foundation walls, decks, guardrails, guardrail posts. Specify location of reinforcing steel and anchor bolts.

- Provide complete and clearly dimensioned floor framing plan for each level and roof framing plan which indicates the materials, types, sizes and location of all structural elements.
- Provide complete structural design criteria including but not limited to required design loads, material specifications and structural construction requirements.
- Provide complete structural calculations for each structure.

### **Architectural Plans**

- Provide complete and dimensioned floor layout at each level which identifies the use of each room.
- Provide Complete and dimensioned roof plan and indicate all roof slopes.
- Provide complete and dimensioned reflected ceiling plan.
- Provide exterior elevations for each side of the building which contains an overall building height and floor-to-floor heights and indicate location, size and types of all doors and glazed openings including hazardous glazing and fall protection locations.
- Provide a bulk plane diagram on front and rear exterior elevations relative to the base plane elevation. The base plan for the bulk plane is establishing by taking the average of the existing grades of the midpoints of the two side property lines.
- Provide building and wall sections which clearly identify the required type and location of all materials for construction of beams, columns, floors, walls, ceilings, roofs.
- Provide stair geometry. Include rise and run, handrail and guardrail heights.
- Provide one major section through the exterior wall from footings to the highest part of the roof (min. scale 1/4"=1')
- Provide square foot area breakdown per floor level.

### **Electrical Plans**

Provide electrical plans showing the location and capacity of the service equipment and electrical panels, the location of all smoke detectors, carbons monoxide detectors, electrical receptacles, switches, and lighting fixtures.

### **Mechanical Plans**

- Provide mechanical plans and indicate the location of all heating, ventilating and air conditioning equipment. Show the location of the condensing unit. Detail the equipment access and working clearances.
- Show dryer exhaust termination location and clearances, environmental exhaust termination locations and clearances.
- Provide Manual J and Manual D calculations. Must be legible. No exceptions.
- Provide all fireplace specifications, rated separation details, direct vent termination details when applicable, hearth extensions when required, chimney clearances, shutoff and control access.

### **Plumbing Plans**

- Provide plumbing plans and indicate the location of all plumbing fixtures and appliances (Isometric may be required per the discretion of the plans examiner.)
- Provide the supply line size and main discharge size. Note the water supply inlet location.
- Indicate whether appliances are gas-operated, electric, or otherwise. List types of material to be used for all water supply, drainage and vent piping. Provide fixture max flow rates and insulation values.
- Gas load calculations and piping diagram is required.

### **Energy Conservation Plans**

Provide verification that the project meets the requirements of the IECC, or provide a simulated energy performance analysis such as RES-check. Provide all required information per 2012 IECC R103.2.

### **Resubmittal Requirements**

- Provide a written response addressing each correction.
- Provide revision clouds for each correction made.
- Provide updated information in the revision section of the title block.
- Provide complete plan packs per discipline requiring corrections. Example: If you are resubmitting for Civil corrections, provide a complete revised plan pack.

**2022 WETLAND DELINEATION REPORT – FITZGERALD**

Best Ecological Design Group (BEDG) has been contracted by Tom & Alex Fitzgerald to conduct a delineation of wetlands located on the subject property.

The description of the subject property is as follows.  
Lot 8, Blue Rock Springs Sub, Blue River, Colorado 80424  
Address: 0034 Rustic Terrace/CR 603, Blue River, Colorado  
Latitude: 39.4357° North  
Longitude: -106.0423° West  
Elevation: ~9,990'  
Lot Acreage: Approx. 1.22-Acres  
Nearest Town: Blue River, Colorado  
Nearest TNW/Water Body: Blue River/Dillon Reservoir  
Nearest Stream: N/A  
NRCS Soils Map Type: Histic cryaquolls  
Date(s) of Fieldwork: May 2023  
Date of Corps Site visit: None required  
Date of Submittal to Client: 17 June 2023

Location of Wetlands on Subject Property - See Map 1.

Habitat of the surrounding area includes subalpine pine-spruce forest with extensive stands of Aspen, and broad wetlands associated with the valley floor and riparian corridor of the Blue River; the valley is dominated by Riparian and Palustrine scrub-shrub wetlands with inclusions of Palustrine forested habitat.

Located at approximately 9,990' elevation and positioned within the upper Blue River valley & drainage area, the wetlands of the property are typical for the ecological position. Hydrology is provided by groundwater seeps and sheet flows, for deep rooted species. In addition to groundwater, snowpack and summer precipitation supply the subject wetland, contributing hydrology to the shallow root zone.

The subject wetlands are Palustrine scrub-shrub with hydrophytic herbaceous, shrub, and tree strata dominants. The wetland boundary delineation is identified by a single flag series, W-1 through W-8. The subject wetlands are a portion of a greater wetland complex, contiguous, and within the historic river floodplain. Multiple probe samples were utilized to identify hydric soil variations and the wetland boundary. See map 1 for the location of the subject wetlands.

Natural Resources Conservation Service mapped for the area of the Subject Property as Histic cryaquolls; gravelly sandy soils were verified along the wetland boundary.

The delineation was conducted during the 2023 season, during multiple visits. Delineation methodology was conducted in accordance with the 1987 "U.S. Army Corps of Engineers Wetlands Delineation Manual" with updates according to the Western Mountains, Valleys & Coast Regional Supplement. Schmidt Land Surveying conducted surveying of the wetland boundaries. Indicators examined to determine the presence of wetlands include vegetation, hydrology, and soils.

DESCRIPTION OF WETLANDS

Palustrine shrub wetlands of the property are associated with the riparian corridor of the valley floor, Palustrine scrub-shrub wetlands dominate the site; the subject wetland complex is contiguous within the greater wetland complex. No surface flows were observed along the identified boundary.

Palustrine Scrub-Shrub

Palustrine wetlands (PSS1B) of the subject property exhibit varied qualities, Hydrophytic shrubs dominate in the richest portions, some dead or stressed shrubs mark the diminished portions along the boundary. The diminished portion also demonstrates encroachment by non-wetland plant species.

Multiple *Salix* species and *Alnus* dominate the shrub layer. Ground cover vegetation of varied density is dominated by *Calamagrostis canadensis*, *Mertensia ciliata*, and *Carex* species.

Soil indicators for wetland presence are variable but verified in probe samples.

The flag boundaries were set according to the density and quality of hydrophytic plant species, hydric soil indicators, and presence of hydrology.

PLANT LISTDominant plant species

<u>Wetland Species</u>	<u>Indicator Status</u>
<i>Calamagrostis canadensis</i>	Obl
<i>Mertensia ciliata</i>	FacW
<i>Salix drummondiana</i>	FacW
<i>Salix planifolia</i>	Obl

Upland Species

*Chamerion danielsii*  
*Fragaria virginiana*

Resources

U.S. Army Corps of Engineers, Wetland Delineation Manual (1987) & Western Mountains, Valleys, and Coast Region Supplement (2010)  
Lichvar, R.W., D.L. Banks, W.N. Kirchner, and N.C. Melvin. 2016.  
*The National Wetland Plant List: 2016 wetland ratings.*  
Phytoneuron 2016-30: 1-17. Published 28 April 2016. ISSN 2153 733X  
U.S. Natural Resources Conservation Service, WSS Web Soil Survey of Summit County Area (2016)  
Weber, W. A. and, R. C. Wittmann, Colorado Flora – Western Slope, (2001)

CONTACT INFORMATIONClient/Applicant

TOM FITZGERALD  
POST OFFICE BOX 2710  
BRECKENRIDGE, COLORADO 80424  
TMFITZGERALD@GMAIL.COM

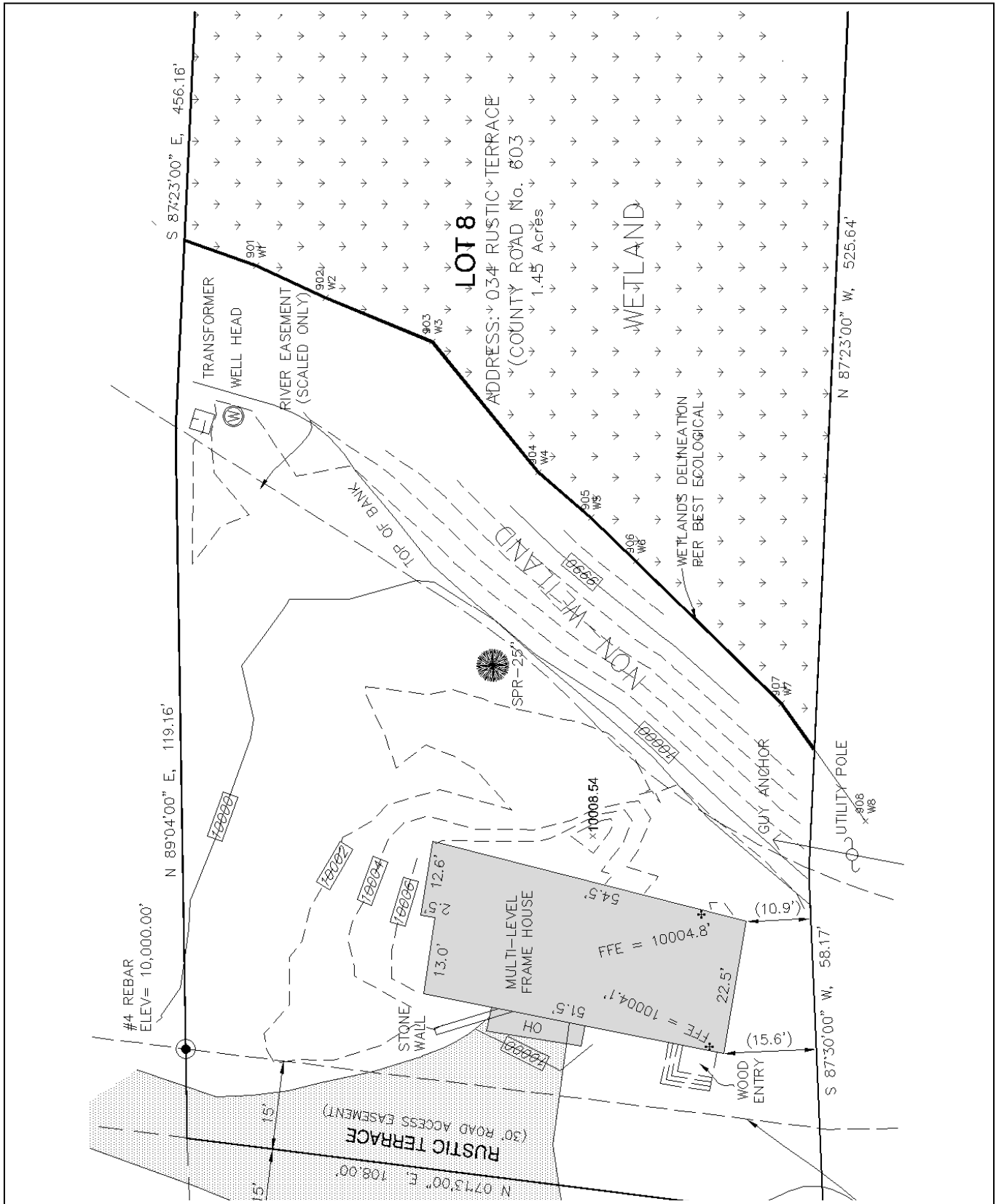
Wetland Consulting

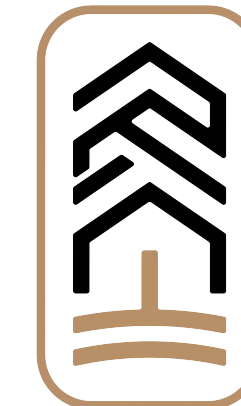
VIRGIL O. BEST II  
BEST ECOLOGICAL DESIGN GROUP  
POST OFFICE BOX 2301-152  
SILVERTHORNE, COLORADO 80498  
970.389.7670 MOBILE

Surveying

SCHMIDT LAND SURVEYING  
970.409.9963

Map 1 – Location of Subject Wetlands on Subject Property





ROOTED ARCHITECTURE

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FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

# Fitzgerald Addition

## 0034 RUSTIC TERRACE - BLUE RIVER, COLORADO

### GENERAL NOTES PROJECT DATA SHEET INDEX

**1) COPYRIGHT:**  
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ROOTED ARCHITECTURE, LLC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR OR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

**2) CODES:**  
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY BLUE RIVER, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

**3) FIELD VERIFICATION:**  
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

**4) DIMENSIONS:**  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR OP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

**5) DISCREPANCIES:**  
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

**6) DUTY OF COOPERATION:**  
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

**7) CHANGES TO THE WORK:**  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

**8) WORKMANSHIP:**  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

**9) SUBSTITUTIONS:**  
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

**10) CONSTRUCTION SAFETY:**  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

**11) EXCAVATION PROCEDURES:**  
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

**12) FIELD CUTTING OF STRUCTURAL MEMBERS:**  
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**13) EXTERIOR MATERIAL MOCK UP:**  
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCK UP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER. THIS MOCK UP SHALL BE PROVIDED AND SIGNED OFF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONE WORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

**14) WEATHER CONDITIONS:**  
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

**15) BUILDING AREA**  
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

**16) PROJECT STAKING**  
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

**17) SITE DISTURBANCE**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

**18) PROJECT GRADES**  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

**19) EXISTING CONDITIONS**  
THE PLANNED MODIFICATIONS AND ADDITIONS INCLUDED IN THESE DOCUMENTS DO NOT REQUIRE CHANGES OR MODIFICATIONS TO THE EXISTING STRUCTURAL COMPONENTS OF THIS BUILDING. THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL STRUCTURAL CONDITIONS ARE UNCHANGED DURING DEMOLITION AND CONSTRUCTION. ANY AND ALL STRUCTURAL COMPONENTS DISCOVERED TO REQUIRE MODIFICATION SHALL BE REPORTED TO THE ARCHITECT AND IF REQUIRED, REFERRED TO A STRUCTURAL ENGINEER FOR EVALUATION AND RECOMMENDATION BEFORE WORK PROCEEDS IN AFFECTED AREA.

**20) 3D MODELING**  
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA. UNLESS OTHERWISE AGREED IN WRITING, ANY USE OF, TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

**LEGAL DESCRIPTION:**  
0034 RUSTIC TER (CR 603) BLUE RIVER, COLORADO 80461  
LOT 8 BLUE ROCK SPRINGS SUBDIVISION

**USGS DATUMS**

EXISTING GARAGE: 100'-0" = 10,000.1' USGS  
 MAIN LEVEL: 109'-6" = 10,009.6' USGS  
 LOFT LEVEL: 118'-5" = 10,018.4' USGS

**NOTE: CONTRACTOR TO VERIFY ALL EXISTING DATUMS PRIOR TO CONSTRUCTION**

**AREAS CALCULATIONS**

	FINISHED (EXIST)	UNFINISHED (EXIST)	FINISHED (NEW)	UNFINISHED (NEW)	TOTAL
LOWER LEVEL	298 SF	434 SF	0 SF	767 SF	1,499 SF
MAIN LEVEL	1,277 SF	0 SF	506 SF	0 SF	1,783 SF
LOFT LEVEL	532 SF	0 SF	271 SF	0 SF	803 SF
<b>TOTAL:</b>	<b>2,107 SF</b>	<b>434 SF</b>	<b>777 SF</b>	<b>767 SF</b>	<b>4,085 SF</b>

NOTE: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

**CODE INFORMATION**

**ADOPTED CODES:**

- 2018 International Residential Code with Blue River Amendments
- 2018 International Energy Conservation Code with Blue River Amendments
- Blue River Development Code

### ENERGY REQUIREMENTS

- ENERGY EFFICIENT DESIGN FEATURES:**
- RADIANT HEATING SYSTEM, MINIMUM 95% AFUE.
  - HIGH-EFFICACY LED LIGHTING
  - ENERGY EFFICIENT WATER HEATER. ELECTRIC MINIMUM 0.95 ENERGY FACTOR /GAS, MINIMUM 0.76 ENERGY FACTOR.
  - PROVIDE AN ELECTRICAL CAR CHARGING ROUGH IN, INCLUDING A BLANKED ELECTRICAL BOX, AND A RACEWAY TERMINATING IN THE ELECTRICAL PANEL.
  - PROVIDE PV READY CONSTRUCTION INCLUDING A METAL RACEWAY FROM THE ELECTRICAL PANEL TO THE ROOF LOCATION WHERE THE PANELS WILL BE INSTALLED, INCLUDING A ROOF JACK, A #8 COPPER GROUND, A 2 PULL BLANK IN THE ELECTRICAL PANEL AND AN ELECTRICAL CONDUIT FROM THE ELECTRICAL PANEL OUT TO THE ELECTRIC METER.
  - WATERSENSE FIXTURES THROUGHOUT.
  - (OPTIONAL) HRV/ ERV, 65% SENSIBLE HEAT RECOVERY EFFICIENCY, MEETING MINIMUM AIRFLOW RATES PER IRC INSTALLED.
  - PROGRAMMABLE THERMOSTATS.

**THERMAL ENVELOPE REQUIREMENTS (2018 IRC CH. 11 - SUMMIT COUNTY ZONE 7):**

**ROOF/ CEILING:** R49 CLOSED-CELL SPRAY FOAM  
**ABOVE GRADE WALLS:** R23 CAVITY CLOSED-CELL SPRAY FOAM PER AMENDMENT TO TABLE N1102.1.2 (IECC R402.1.2)  
 R10 /4'  
 MAX U 0.30 / SHGC N/A

**SLABS, INCLUDING SLAB EDGE:** R38  
**FENESTRATIONS:** R15 CI OR R19 CAVITY  
**FLOOR R-VALUE:** R15 CI OR R19 CAVITY  
**BASEMENT WALL:** R15 CI OR R19 CAVITY  
**BLOWER DOOR:** ACH 2.7 AT A PRESSURE 0.2 INCHES W.G. (50 PASCALS)

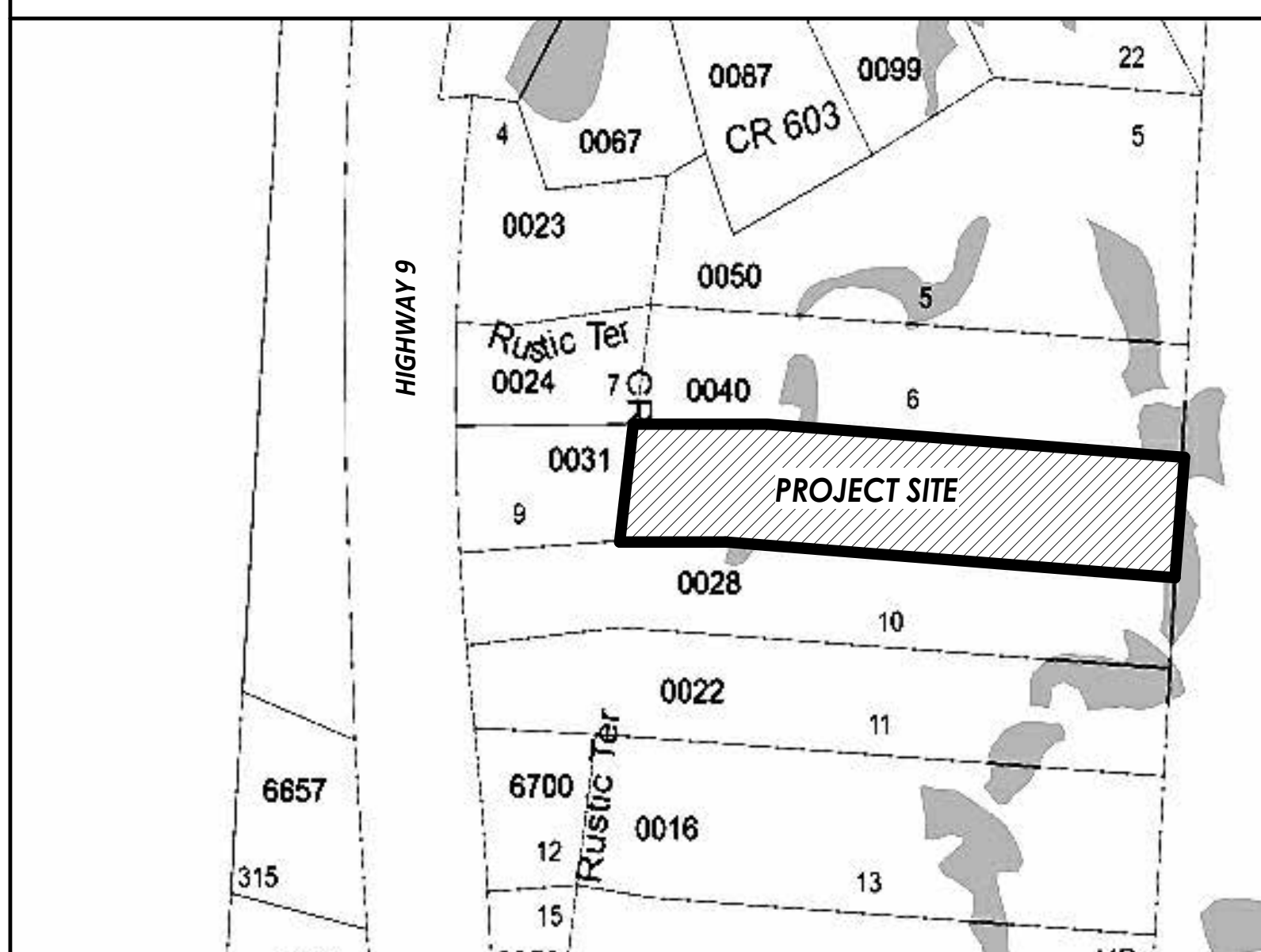
THESE SPECIFICATIONS ARE BASED OFF OF THE 2018 IECC RESIDENTIAL THERMAL ENVELOPE REQUIREMENTS AS DESCRIBED IN TABLE R402.1.3, WHICH SHOULD BE REFERRED TO FOR INTERPRETATION REASONS. SEE PLANS AND DETAILS RELATED TO SPECIFIC INSULATION REQUIREMENTS FOR EXTERIOR BUILDING ENVELOPE.

THERMAL AND VAPOR CONTROL DESIGN BASED ON CLOSED-CELL FOAM INSULATION AND AIR SEALING THROUGHOUT.

**SHEET INDEX**

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0.1	COVER SHEET	05.01.2023
A0.2	ENLARGED SITE PLAN	05.01.2023
A1.1	FLOOR PLAN - LOWER	05.01.2023
A1.2	FLOOR PLAN - MAIN	05.01.2023
A1.3	FLOOR PLAN - UPPER	05.01.2023
A1.4	ROOF PLAN	05.01.2023
A2.1	CEILING PLANS	05.01.2023
A4.1	EXTERIOR ELEVATIONS	05.01.2023
A5.1	BUILDING SECTIONS	05.01.2023
A6.1	POWER PLANS	05.01.2023
A7.1	DETAILS	05.01.2023
S1.1	FOUNDATION PLAN	05.01.2023
S1.2	MAIN LEVEL FRAMING PLAN	05.01.2023
S1.3	UPPER LEVEL FRAMING PLAN	05.01.2023
S1.4	ROOF FRAMING PLAN	05.01.2023
S2.1	NOTES AND DETAILS	05.01.2023
S2.2	FRAMING DETAILS	05.01.2023

### LOCATION MAP



SURVEYOR	INTERIOR DESIGN	STRUCTURAL ENG.	CONTRACTOR	ARCHITECT	OWNER
SCHMIDT LAND SURVEYING, INC. LIZ SCHMIDT 970 409-9963		FOX STRUCTURAL ENGINEERING, LLC KRISTEN E. FOX, P.E. (970)376-2005	THE ASHLAN GROUP MATT KRIGMAN 970-333-8624	ROOTED ARCHITECTURE, LLC BRANDON SMITH BRANDON@ROOTEDARCH.COM 469.363.2821	TOM AND ALEX FITZGERALD ATAYLORFITZ@GMAIL.COM TMFITZGERALD@GMAIL.COM

No.	Date	Revisions

**Project No:** 2023-16  
**Stage:** FINAL REVIEW SET  
**Date:** 05/02/2024  
**Scale:** 12" = 1'-0"

**DRAWING TITLE:**  
COVER SHEET

**DRAWING NO:**  
A0.1





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

FITZGERALD ADDITION

34 RUSTIC TERRACE BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

ENLARGED SITE PLAN

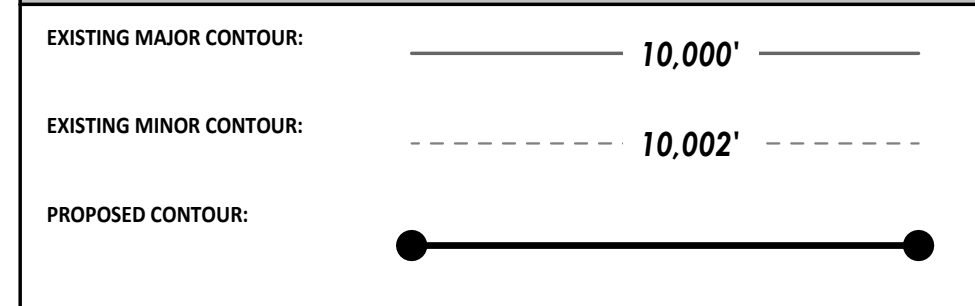
DRAWING NO:

A0.2

NOTES: SITE PLAN

- 1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

NOTES: SITE CONTOUR LEGEND



NOTES: SITE DRAINAGE

- 1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE OF AT LEAST 1/4% AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO LAKE COUNTY DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENTS.
3. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS.

NOTES: FOUNDATION DRAIN

- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 3/4-INCH TO 1-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).

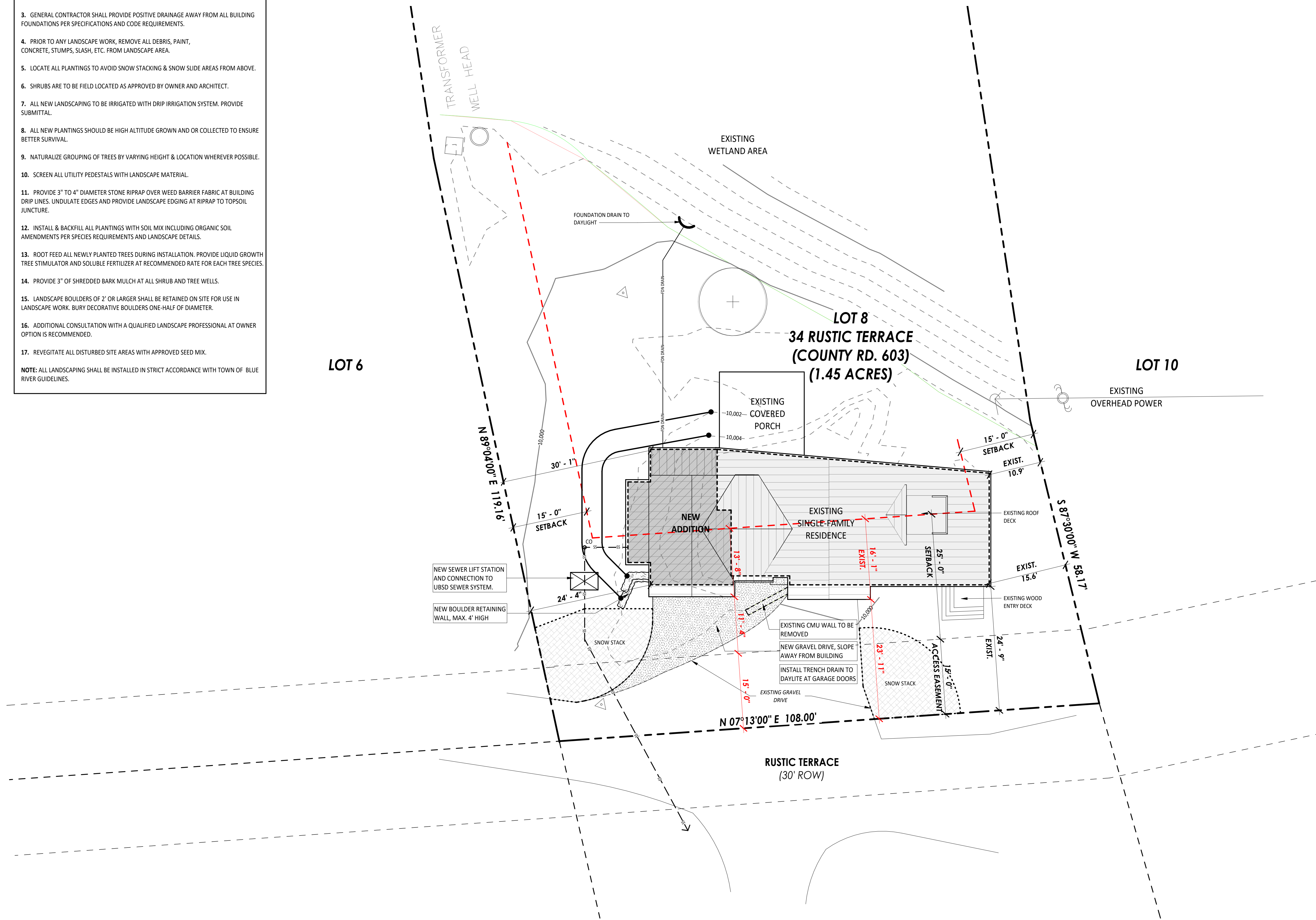
SNOWSTACK CALCULATIONS

Table with 3 columns: Item, Square Footage, Percentage. Rows include Existing Driveway (998 SF), New Driveway (317 SF), Decks and Hardscape (NA), Total Coverage (1,315 SF, 100%), Snowstack Required (329 SF, 25%), Snowstack Provided (605 SF, 46%), and Total Lot Area (1.45 Acres).

NOTES: LANDSCAPE

- 1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND. PROVIDE 2"-3" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX (AS APPROVED BY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
2. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
17. REVEGETATE ALL DISTURBED SITE AREAS WITH APPROVED SEED MIX.

NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF BLUE RIVER GUIDELINES.



1 SITE PLAN - ENLARGED 1" = 10'-0"





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - LOWER

DRAWING NO:

A1.1

NOTES: FLOOR PLAN

- ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
- BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
- ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
- DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
- ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
- ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
- GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
- CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
- ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
- MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
- CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

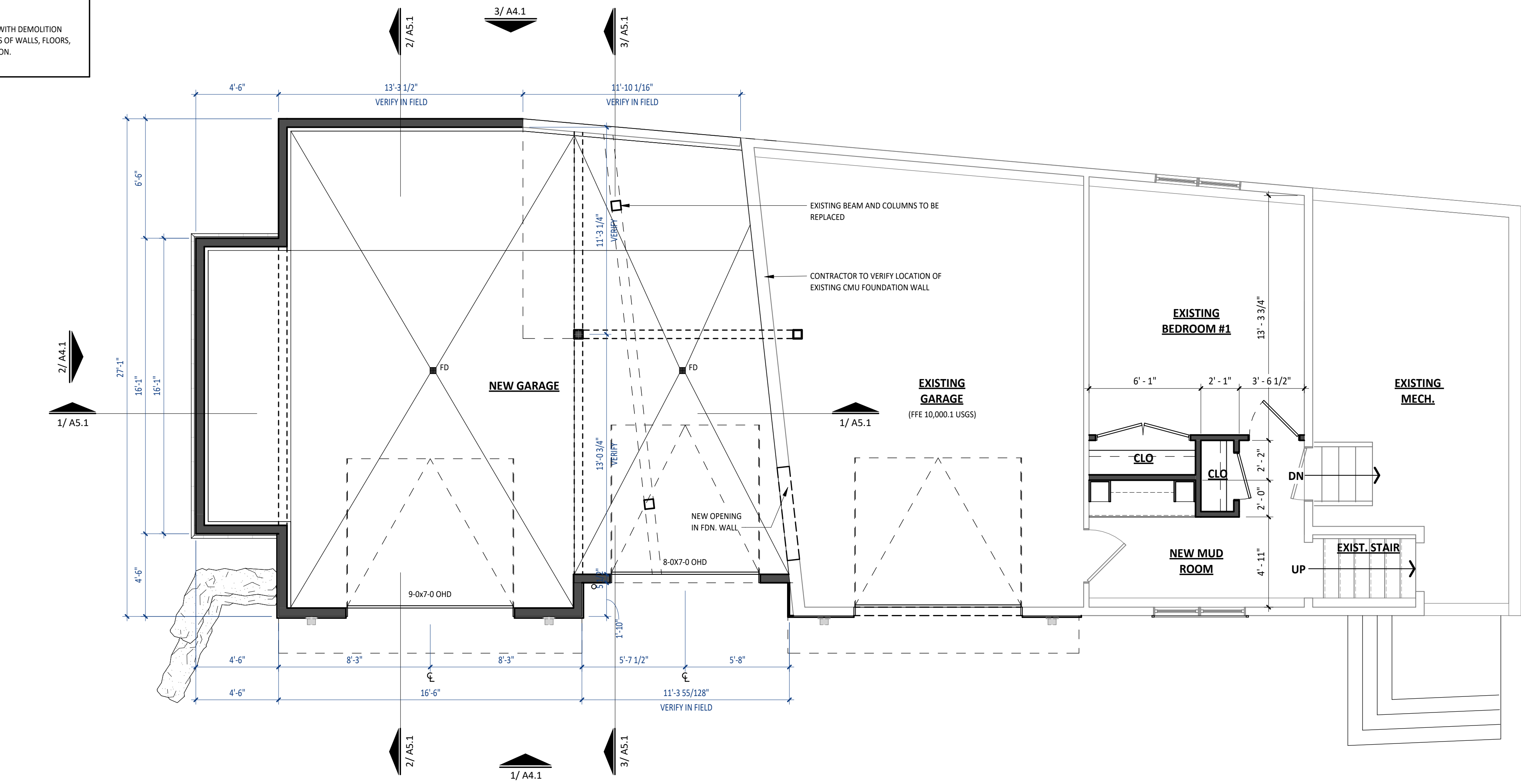
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- SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
- PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
- PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
- ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
- WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
- PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
- WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
- INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
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- VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
- WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

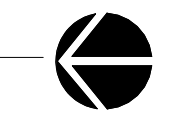
NOTES: REMODEL

- PROTECTION OF EXISTING TO REMAIN:** THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
- SCHEDULING:** THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
  - SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
  - MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
- CLEARANCES:** THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
- MATERIAL ALIGNMENT:** THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
- AS BUILT VERIFICATION:** THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
- REMOVAL SURVEY:** THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
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1 FLOOR PLAN - LOWER LEVEL

1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - MAIN**

DRAWING NO:

**A1.2**

**NOTES: FLOOR PLAN**

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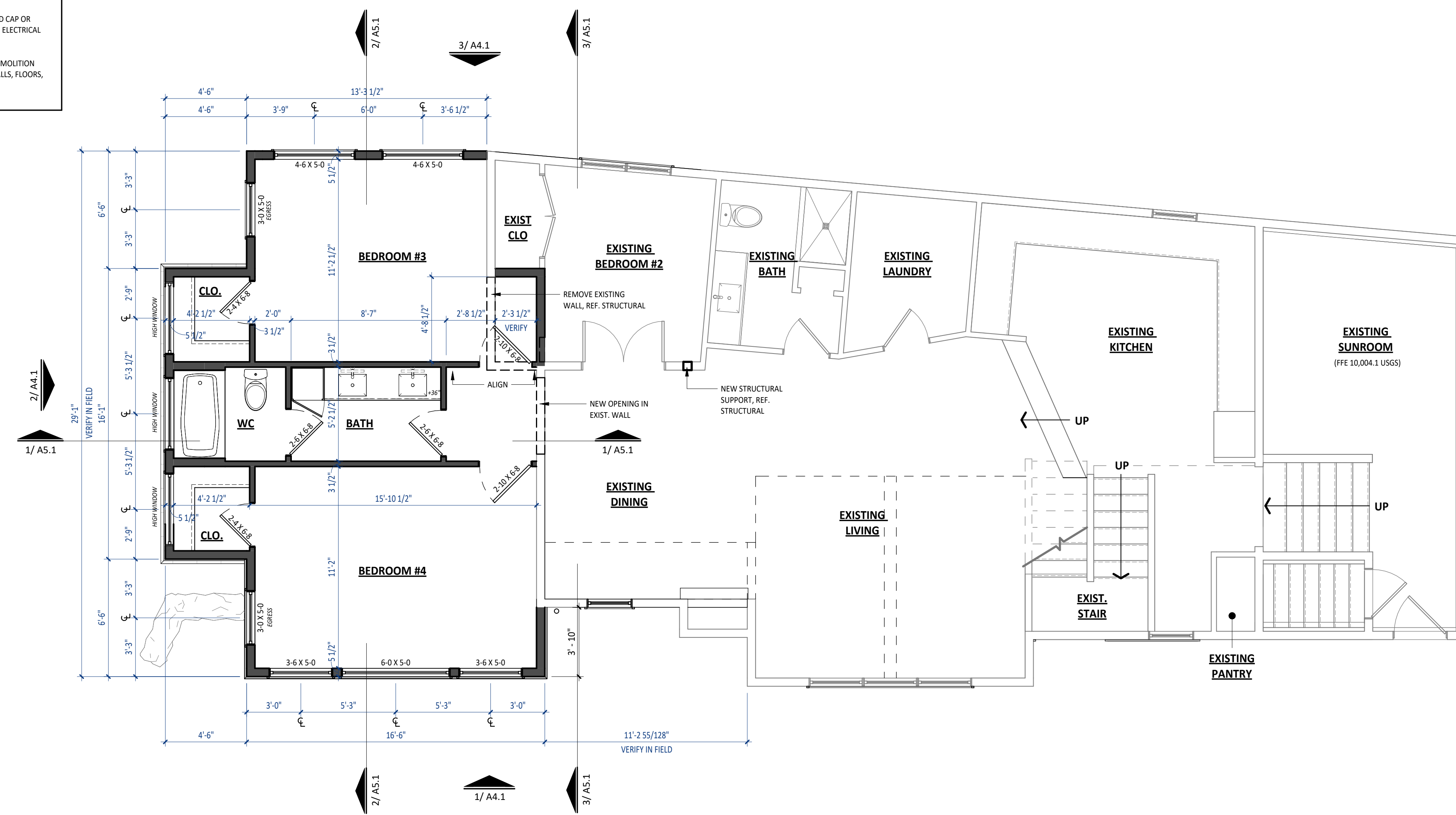
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**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: REMODEL**

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9. **PIPING:** ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
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**1 FLOOR PLAN - MAIN LEVEL**  
1/4" = 1'-0"





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - UPPER

DRAWING NO:

A1.3

NOTES: FLOOR PLAN

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4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
12. CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

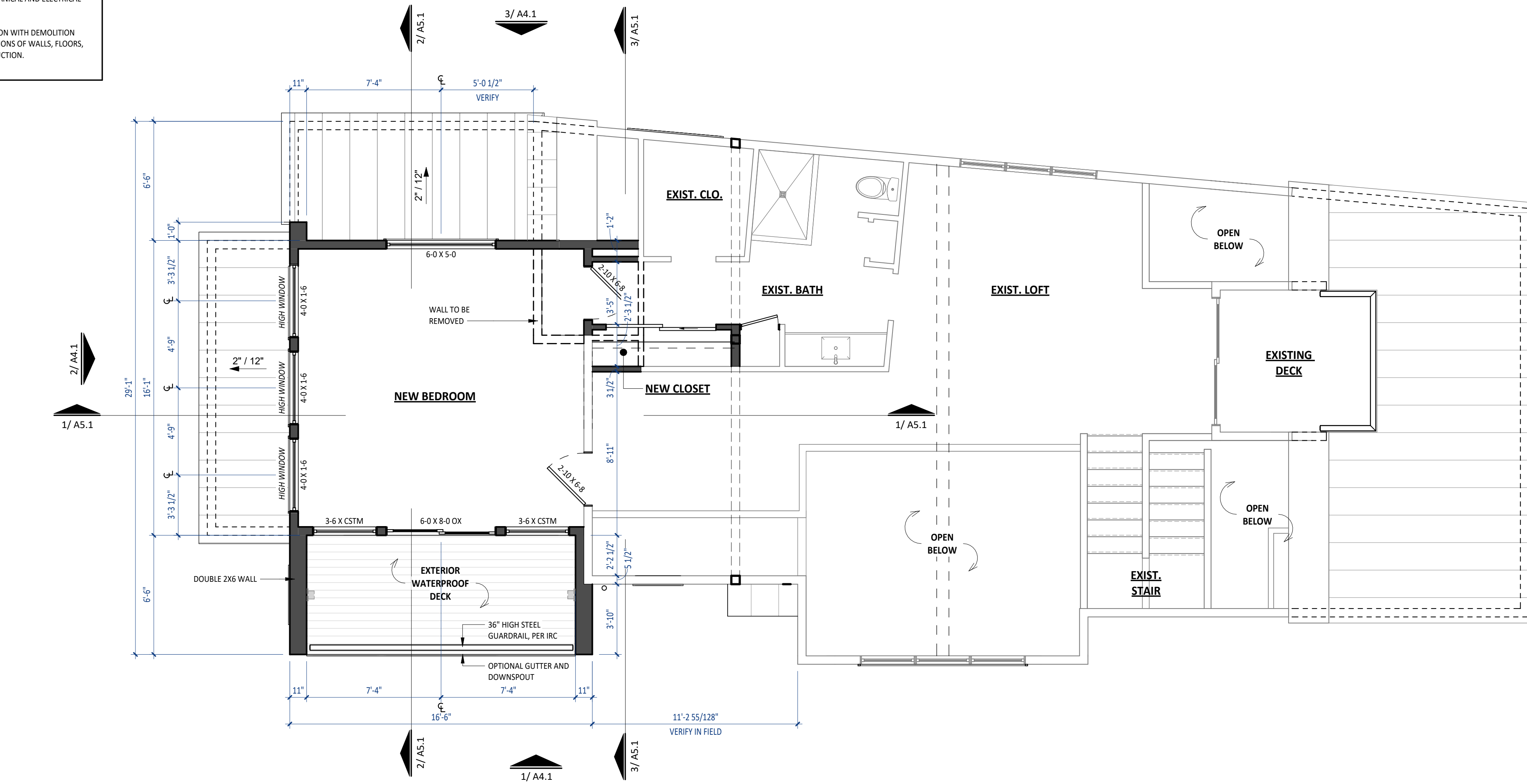
- 1. ALL WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF WINDOW; CONTRACTOR TO COORDINATE ACTUAL REQUIRED ROUGH OPENING WITH WINDOW MANUFACTURER. PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
3. PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
4. PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
5. ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
7. PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
8. WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
9. INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
10. ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
11. WINDOWS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
12. COORDINATE WINDOW SILL HEIGHT WITH GYPCRETE AND FLOOR FINISH THICKNESS WHERE REQUIRED. VERIFY AT LOCATIONS WHERE WINDOW SILLS TERMINATE AT FLOOR LEVEL OR AT TOP OF MILLWORK.
13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

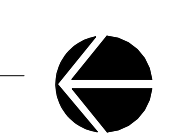
- NEW 2X4 / 2X6 WOOD STUD WALL
EXISTING 2X4 / 2X6 WOOD STUD WALL
EXISTING WALL TO BE REMOVED

NOTES: REMODEL

- 1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. CLEARANCES: THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
4. MATERIAL ALIGNMENT: THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
5. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.
8. CORRECTING DEFECTIVE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
9. PIPING: ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. FIXTURE REMOVAL: REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



1 FLOOR PLAN - UPPER LEVEL  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

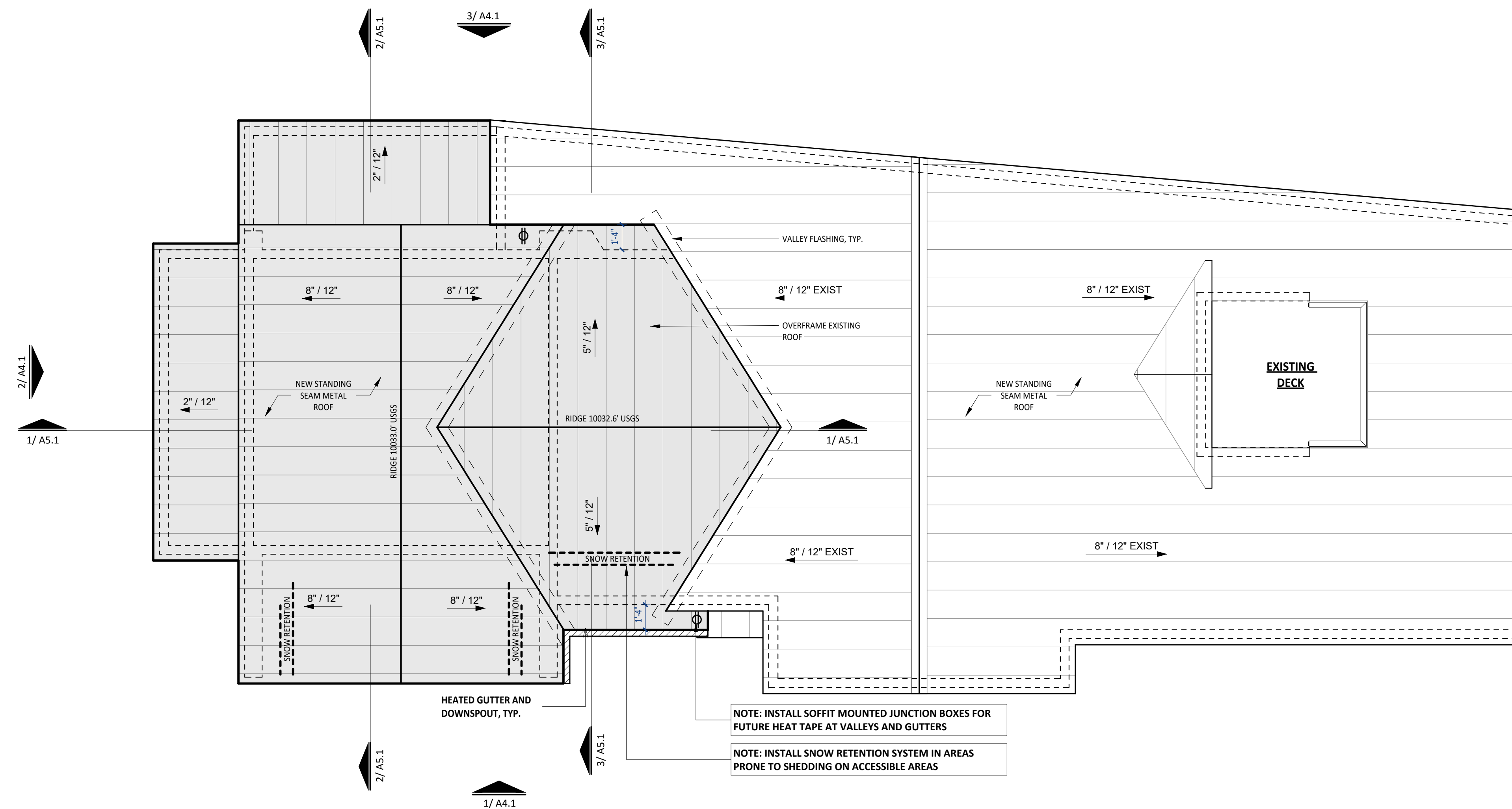
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



**1 ROOF PLAN**  
1/4" = 1'-0"

**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

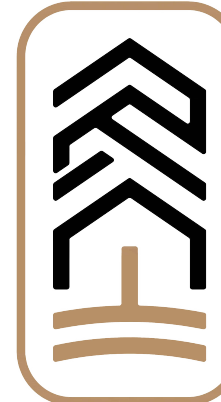
Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:

**ROOF PLAN**

DRAWING NO:

**A1.4**



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ARCHITECTURE

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**CEILING PLANS**

DRAWING NO:

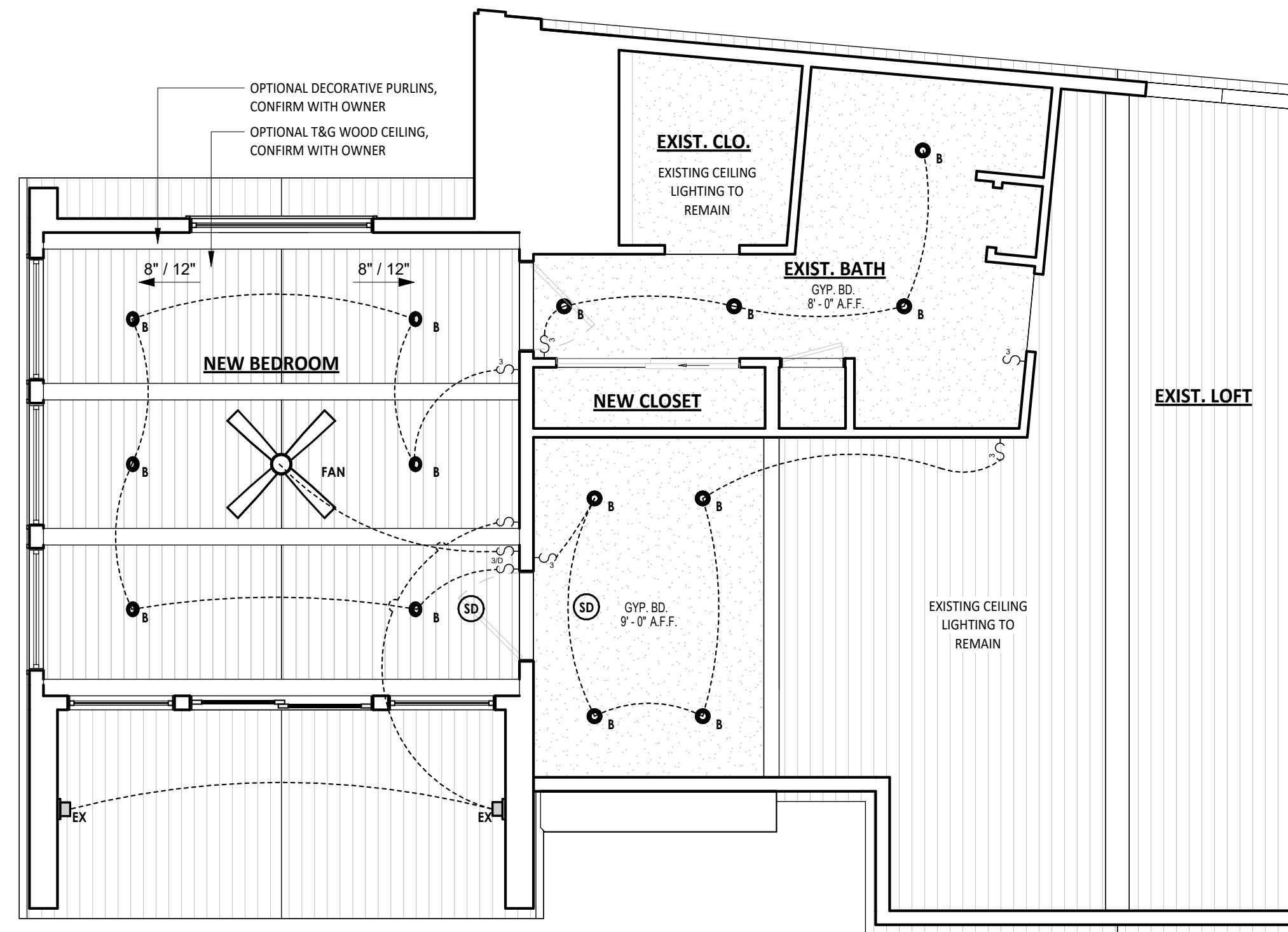
**A2.1**

FIXTURE / DEVICE LEGEND	
	A 6" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	A1 6" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B 4" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B1 4" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B2 4" RECESSED CAN LIGHT (WALL WASHER) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	C DECORATIVE PENDANT FIXTURE FIXTURE TO BE SELECTED
	D 4" SURFACE MOUNT FLUORESCENT FIXTURE FIXTURE TO BE SELECTED
	E LINEAR LED UNDERCABINET TASK LIGHTING FIXTURE TO BE SELECTED
	F SURFACE MOUNT FIXTURE FIXTURE TO BE SELECTED
	WS WALL MOUNTED SCONCE FIXTURE FIXTURE TO BE SELECTED
	EX WALL MOUNTED EXTERIOR FIXTURE FIXTURE TO BE SELECTED
	FL WALL MOUNTED EXTERIOR FLOOD LIGHT FIXTURE FIXTURE TO BE SELECTED
	SD CEILING MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FAN CEILING MOUNTED CEILING FAN (WITH OPTIONAL LIGHT KIT) FIXTURE TO BE SELECTED

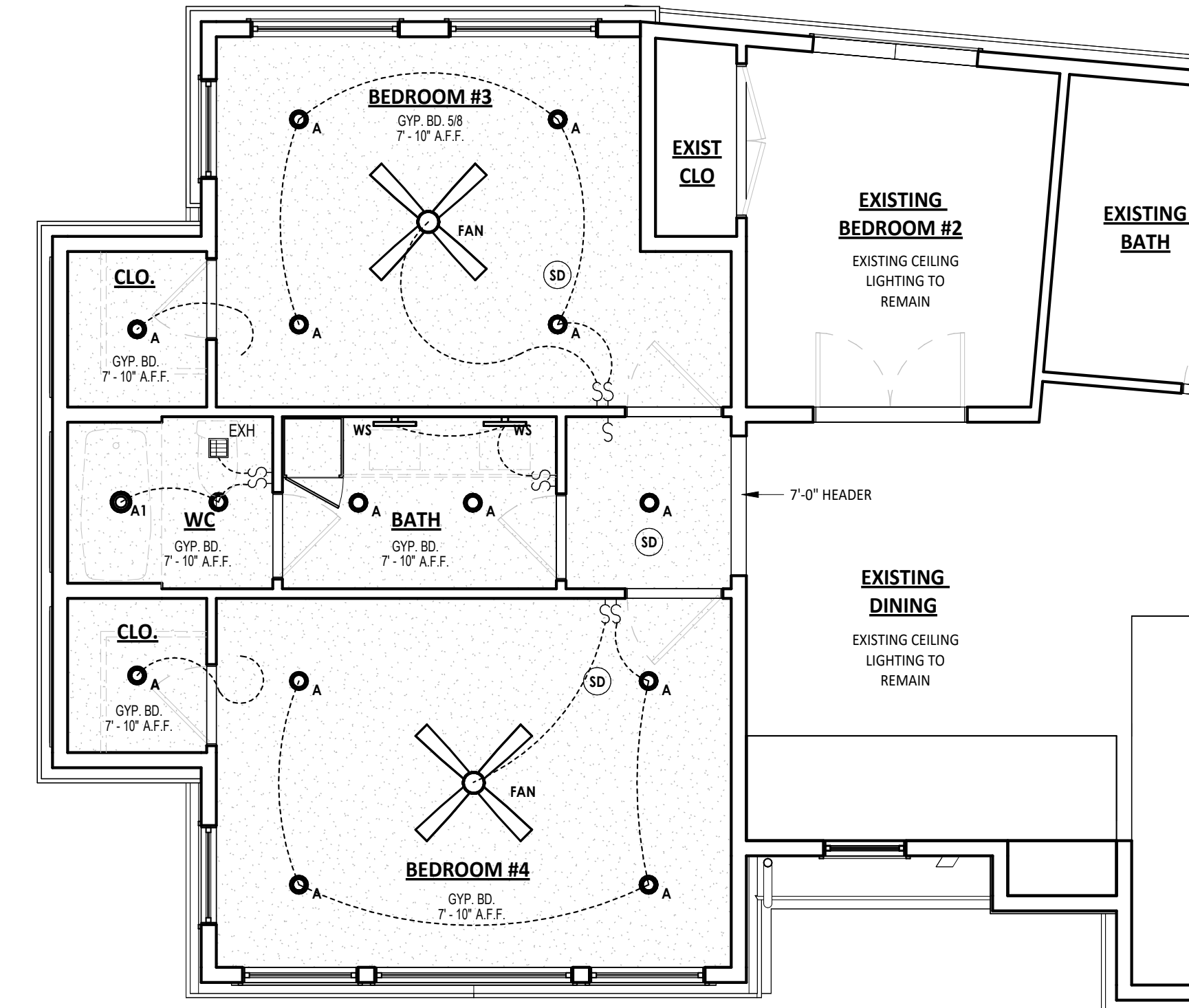
DEVICE CONTROL LEGEND	
	S SINGLE POLE SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>D</sup> SINGLE POLE DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>3</sup> SINGLE POLE 3 WAY SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>3/D</sup> SINGLE POLE 3 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>4/D</sup> SINGLE POLE 4 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>5</sup> SINGLE POLE DOOR JAMB SWITCH LEVITON 1865 OR SIMILAR

**NOTES: REFLECTED CEILING PLAN**

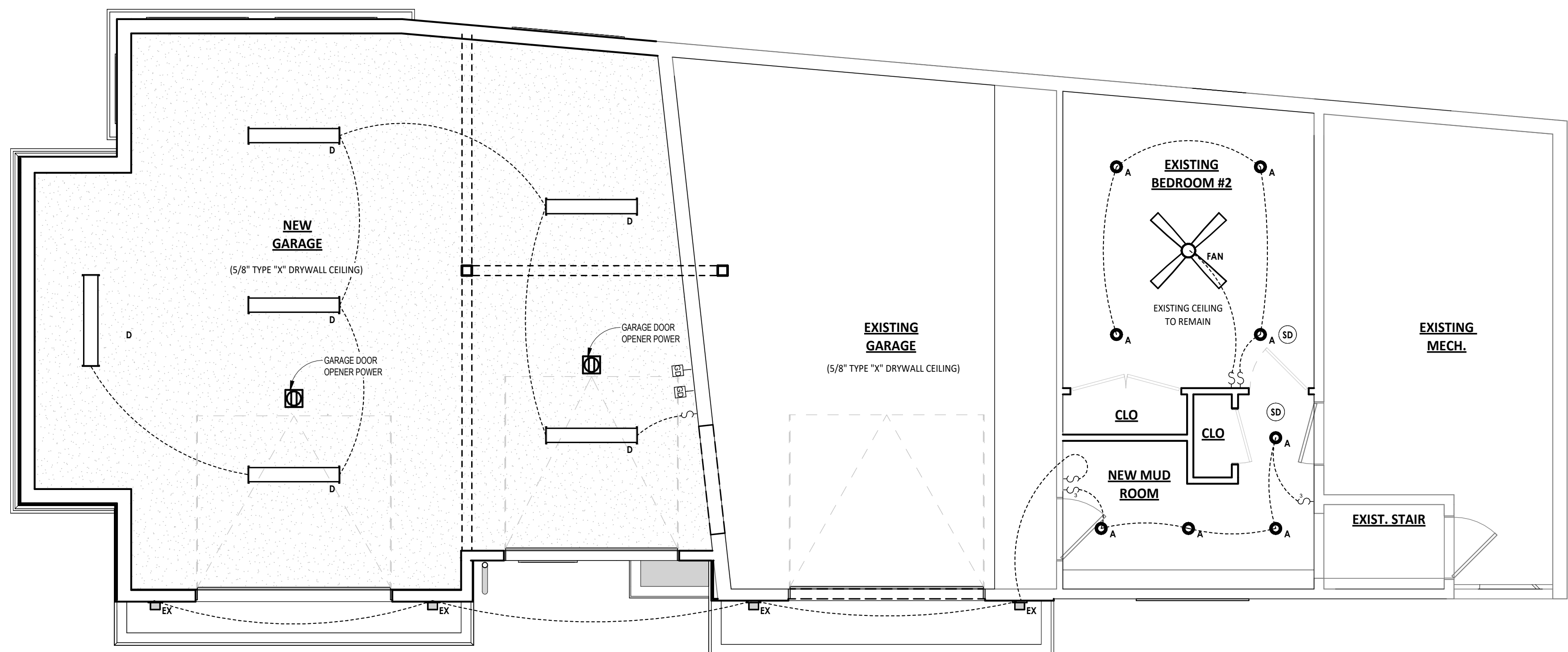
- ALL RCP DIMENSIONS ARE TO FACE OF FINISH OR FIXTURE CENTERLINE U.N.O.
- ALL CEILINGS ARE PAINTED GYPSUM BOARD U.N.O.
- REFERENCE FIXTURE LEGEND FOR FIXTURE TYPES AND DESIGNATIONS.
- LOCATE PAINTED METAL CEILING ACCESS PANELS BENEATH:
  - MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
  - VALVES, BALANCING DEVICES, ELECTRICAL JUNCTIONS, F/S DAMPERS AND ALL OTHER ITEMS REQUIRING MAINTENANCE.
- COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT AND DUCTWORK WITH STRUCTURAL, AS WELL AS, WITH CEILING HEIGHTS SHOWN. NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS BEFORE PROCEEDING.
- IF ANY LIGHTING ITEMS OR CEILING FIXTURES CANNOT BE INSTALLED AT LOCATIONS SHOWN DUE TO FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY FOR ALTERNATE LOCATIONS BEFORE PROCEEDING.



**3 CEILING PLAN - LOFT LEVEL**  
1/4" = 1'-0"



**2 CEILING PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**1 CEILING PLAN - LOWER LEVEL**  
1/4" = 1'-0"



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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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DRAWING TITLE:

**EXTERIOR ELEVATIONS**

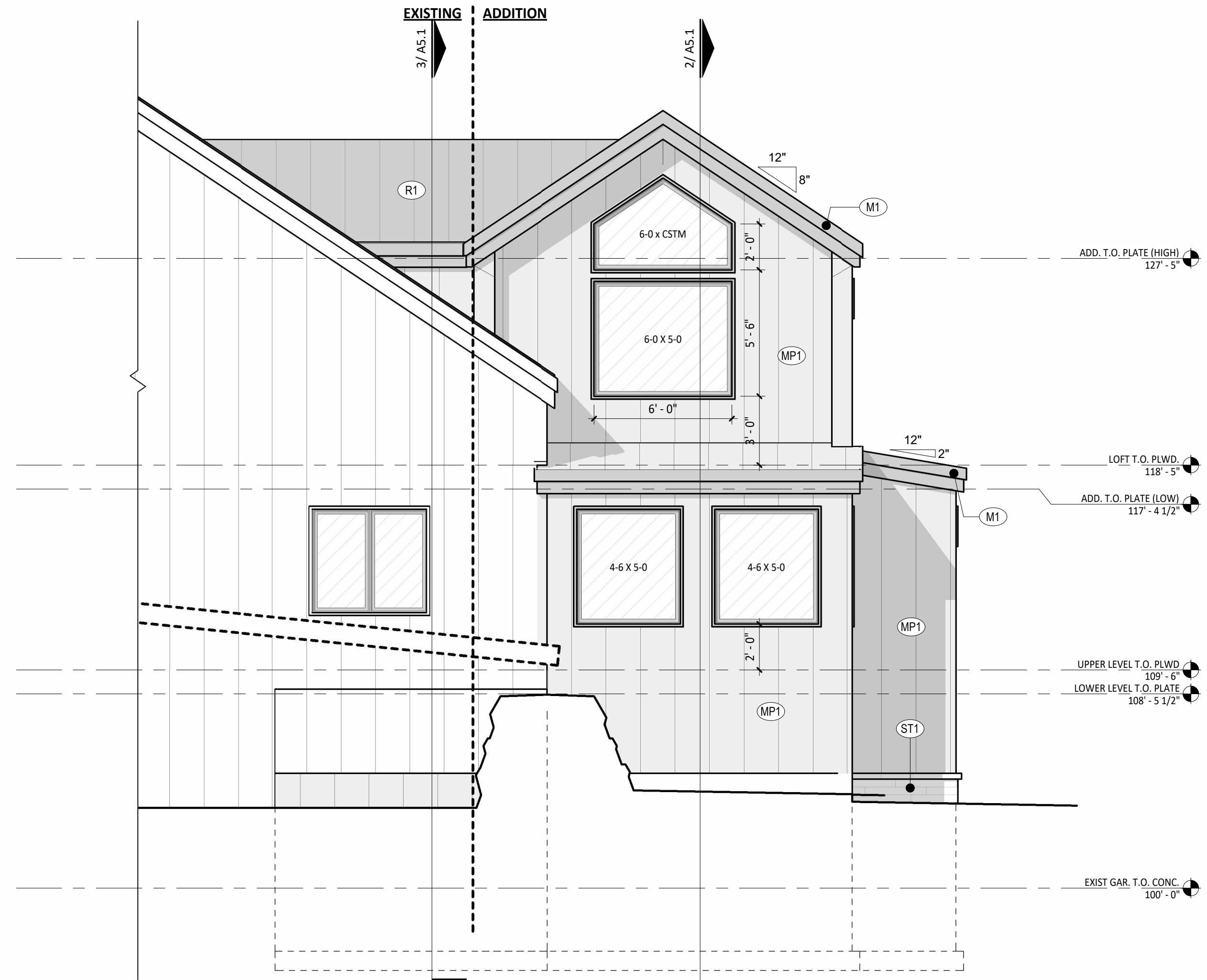
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**A4.1**

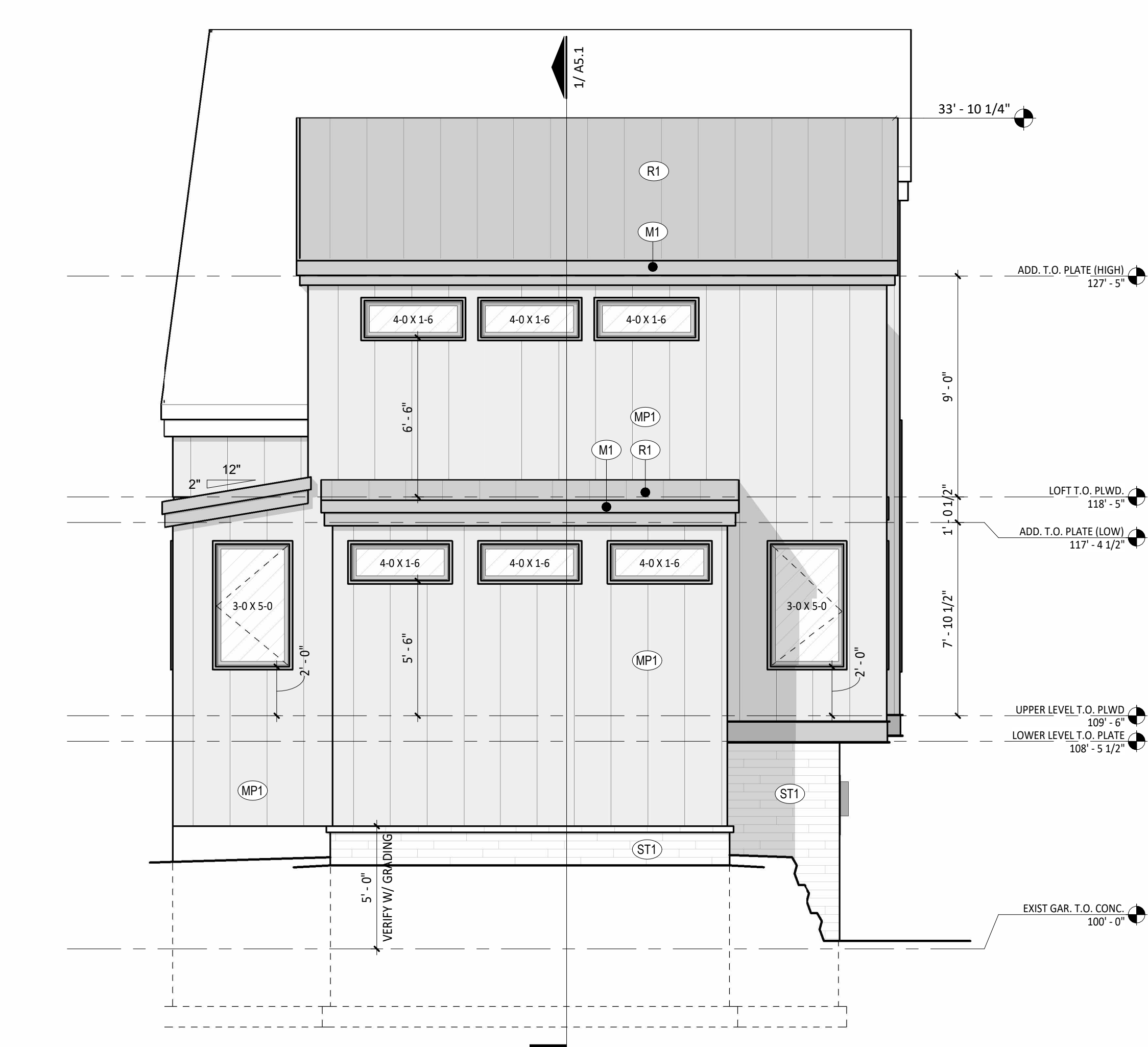
NOTES: AIR BARRIER / VAPOR BARRIER		
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.		
NOTES: WEATHER RESISTIVE BARRIER		
1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.		
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.		
EXTERIOR FINISH LEGEND		
MATERIAL SYMBOL	TYPE	NOTES:
(WD1)	T&G WOOD VENEER	HORIZONTAL T&G THERMALLY MODIFIED PRE-FINISHED WOOD SIDING (OWNER TO VERIFY COLOR)
(WD2)	WOOD TRIM	1X OR 2X THERMALLY MODIFIED PRE-FINISHED WOOD TRIM (MATCH SIDING) (OWNER TO VERIFY COLOR)
(MP1)	PREFINISHED METAL PANEL VENEER	METAL BOARD AND BATTEN SIDING FLATIRON STEEL "BOARD AND BATTEN" COLOR: BLACK OR MIDNIGHT BRONZE (CONFIRM WITH OWNER)
(M1)	PREFINISHED METAL FASCIA	PREFINISHED METAL TO MATCH SIDING
(ST1)	STONE VENEER	TELLURIDE STONE OPTIONAL STONE VENEER (CONFIRM WITH OWNER) COLOR: SILVERLEAF
(R1)	METAL ROOFING	STANDING SEAM METAL ROOFING COLOR: BLACK (CONFIRM WITH OWNER)
NOTE: CONTRACTOR TO PROVIDE PHYSICAL MATERIAL SAMPLE BOARD FOR OWNER / ARCHITECT APPROVAL		
NOTE: ALL EXTERIOR MATERIALS TO BE NON-REFLECTIVE		



**1 WEST ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



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**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

**Project No:** 2023-16  
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**Date:** 05/02/2024  
**Scale:** As indicated

**DRAWING TITLE:**

**BUILDING SECTIONS**

**DRAWING NO:**

**A5.1**

**NOTES: FRAMING**

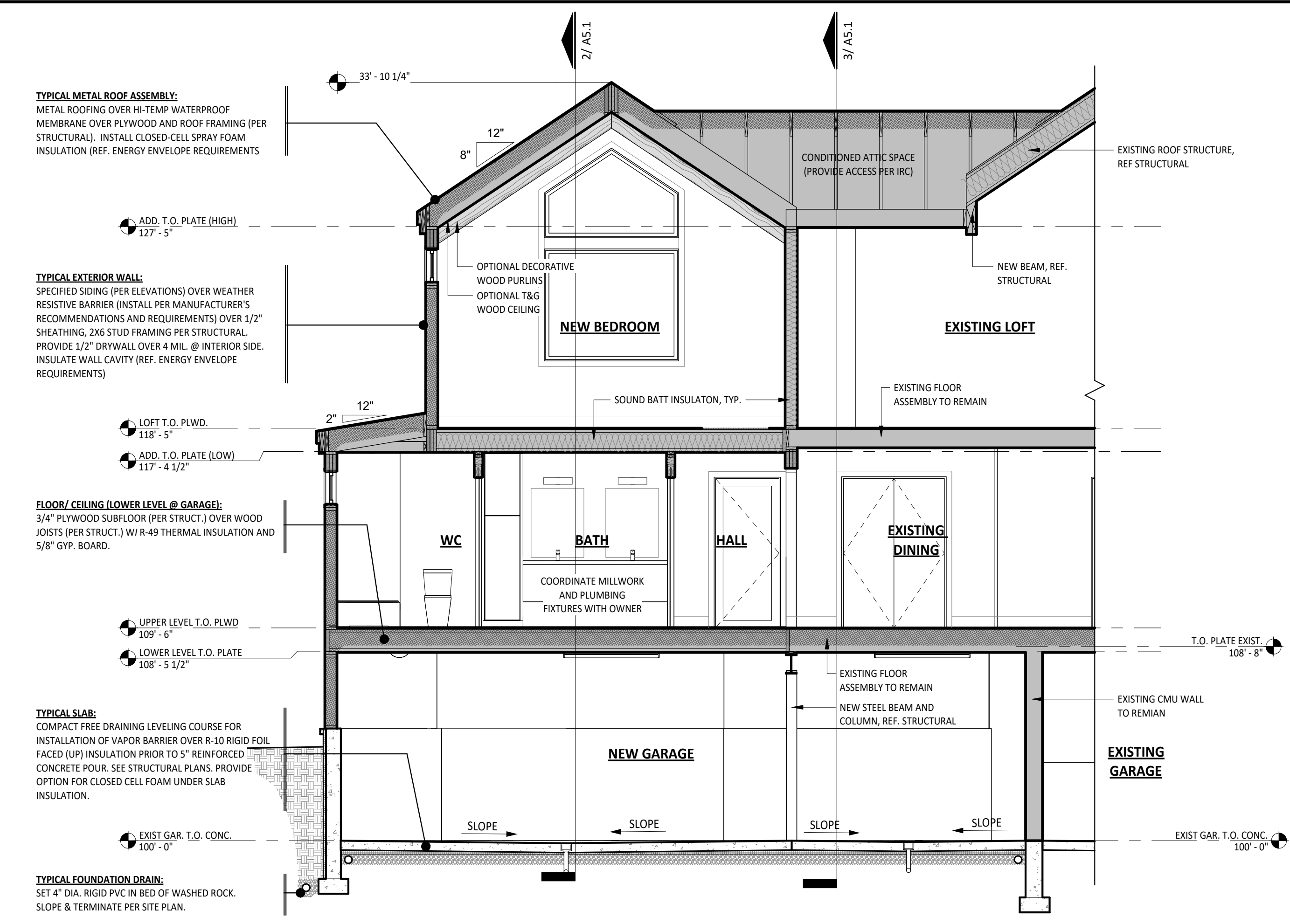
- ALL FRAMING SHOWN IS DIAGRAMMATIC AND SHALL BE STRUCTURALLY ENGINEERED WHERE APPLICABLE. CONTRACTOR TO CONFIRM COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
- ALL ROOF AND FLOOR TRUSSES SHALL BE PRE-ENGINEERED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL USE PRESSURE TREATED LUMBER WHERE REQUIRED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

**NOTES: WEATHER RESISTIVE BARRIER**

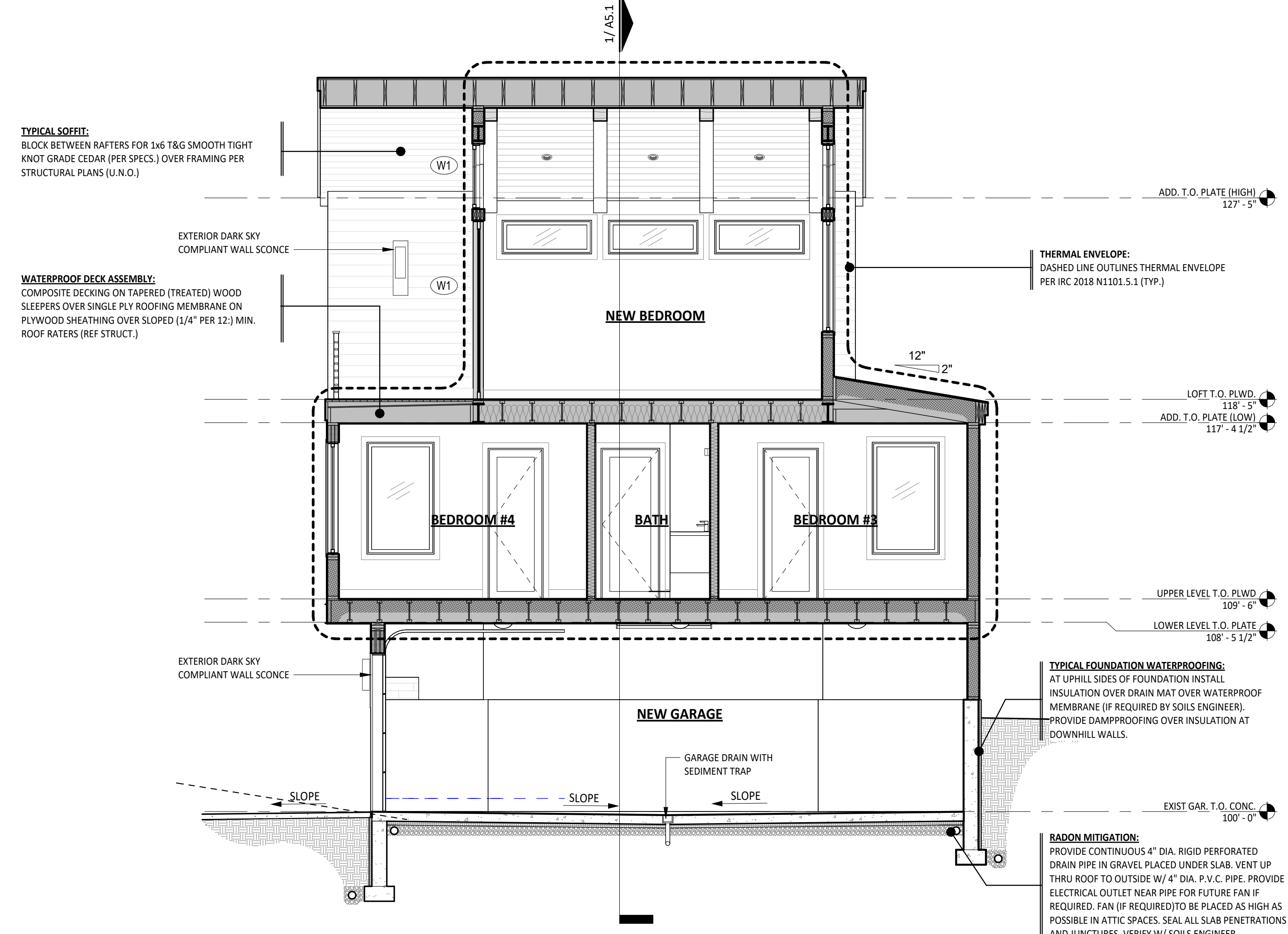
- INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
- REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.

**NOTES: AIR BARRIER / VAPOR BARRIER**

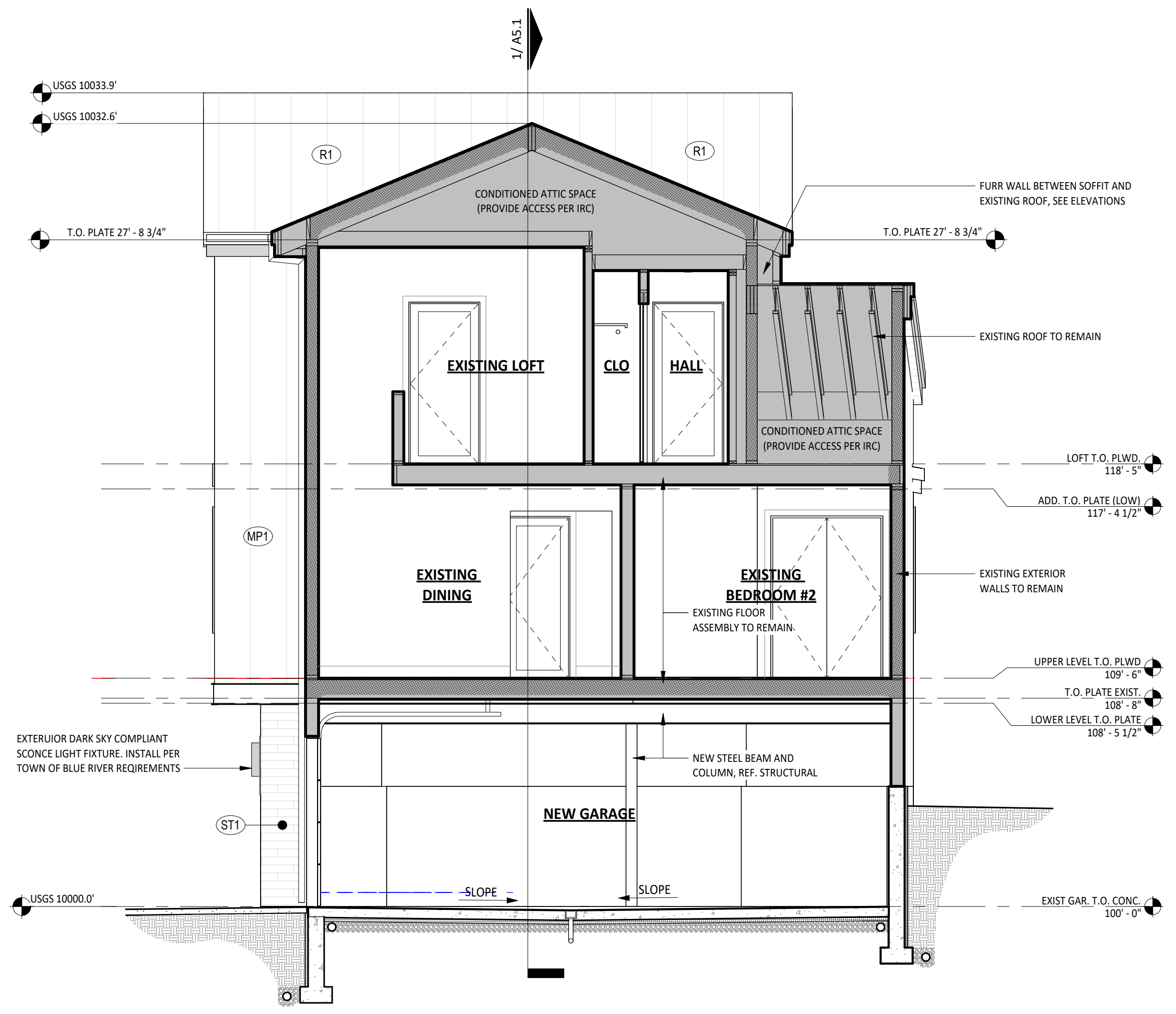
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.



**1 SECTION A**  
1/4" = 1'-0"

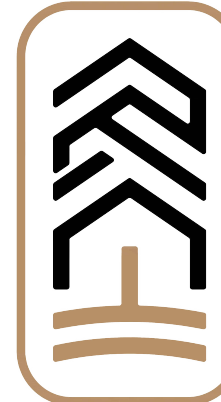


**2 SECTION B**  
1/4" = 1'-0"



**3 SECTION C**  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

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DRAWING TITLE:

**POWER PLANS**

DRAWING NO:

**A6.1**

- NOTES: LOW VOLTAGE**
- ROUGH-IN PHONE, INTERNET, AND CATV FROM SITE UTILITY LOCATION TO MECHANICAL / AV ROOM.
  - PROVIDE PHONE, SECURITY, AND DATA BOARDS IN MECHANICAL / AV ROOM.
  - PROVIDE CONDUIT OR STRUCTURED CABLE TO SOUTH ROOF FOR SATELLITE DISH WIRING OPTION.
  - COORDINATE PHONE LINE WITH SECURITY SYSTEM REQUIREMENTS.
  - COORDINATE CATV / DATA / LIGHTING / HOME COMPUTER CONTROL REQUIREMENTS WITH OWNER.
  - COORDINATE HOME AUTOMATION / MECHANICAL CONTROLS INTERFACE AS REQUIRED BY OWNER.
  - COORDINATE SOUND SYSTEM, HOME AUTOMATION AND ALL OTHER LOW VOLTAGE SYSTEMS PER OWNER REQUIREMENTS.

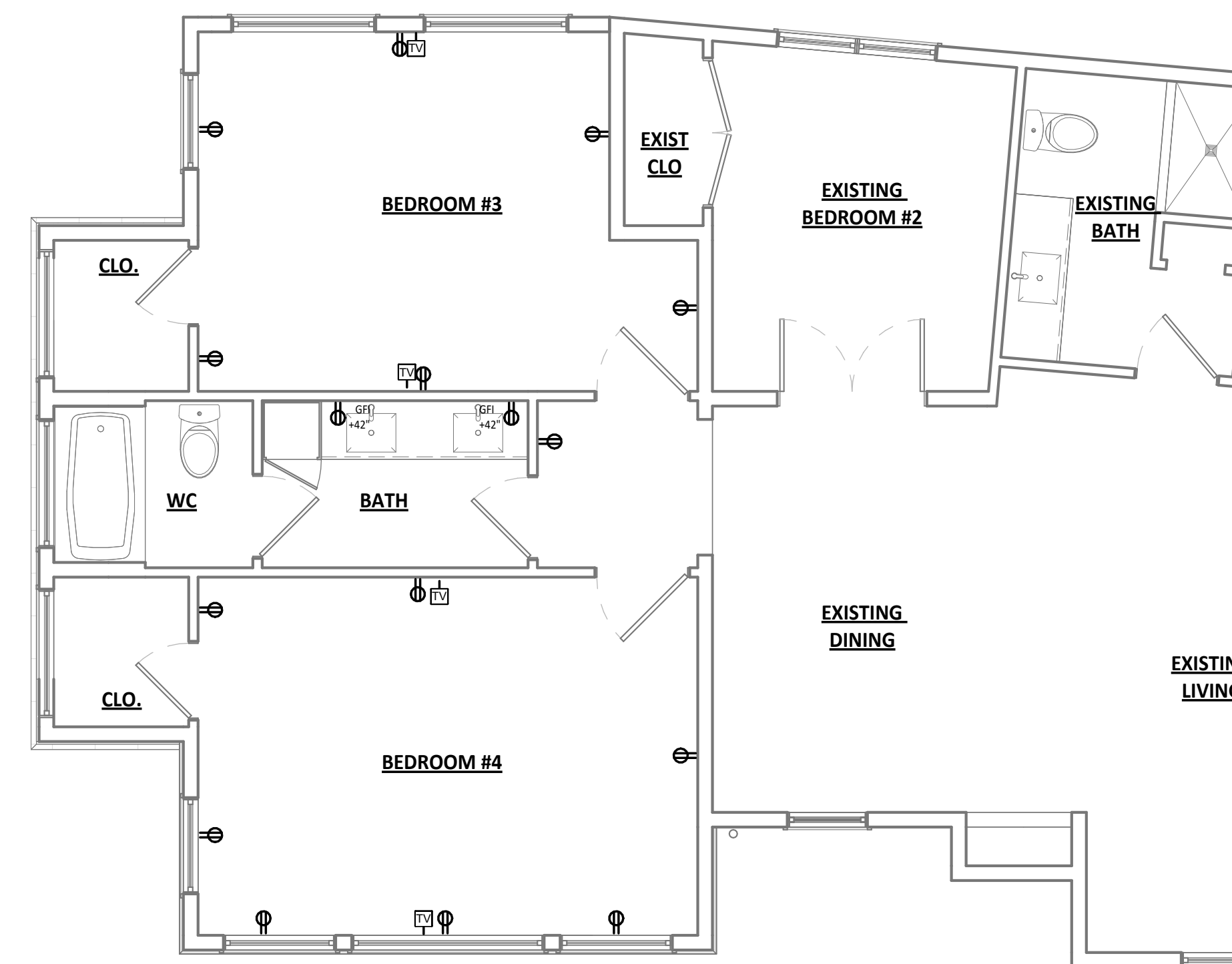
- NOTES: WINDOW SHADES**
- PROVIDE OPTION FOR MOTORIZED WINDOW SHADE SYSTEMS WHERE INDICATED ON ELECTRICAL PLANS. CONFIRM SHADE LOCATIONS WITH OWNER PRIOR TO ELECTRICAL ROUGH-IN. COORDINATE WITH ELECTRICAL AND HOME AUTOMATION WORK. ALL SHADES TO BE INSTALLED IN RECESSED WINDOW POCKETS WHERE REQUIRED.

- NOTES: HOME AUTOMATION**
- PRIOR TO ANY ELECTRICAL WORK CONFIRM SCOPE OF SMART HOME CONTROL AND AUTOMATION REQUIREMENTS WITH OWNER. WORK TO INCLUDE PROCESSOR USER INTERFACE, SCOPE OF DEVICES AND/OR SYSTEMS TO BE CONTROLLED. SCOPE OF CABLE OR WIRELESS LINKS AND POSSIBLE EMERGENCIES BACKUP POWER.
- SYSTEMS TO INCLUDE SECURITY, ENTERTAINMENT, BUILDING SERVICES, AND ENVIRONMENTAL COMPONENTS.

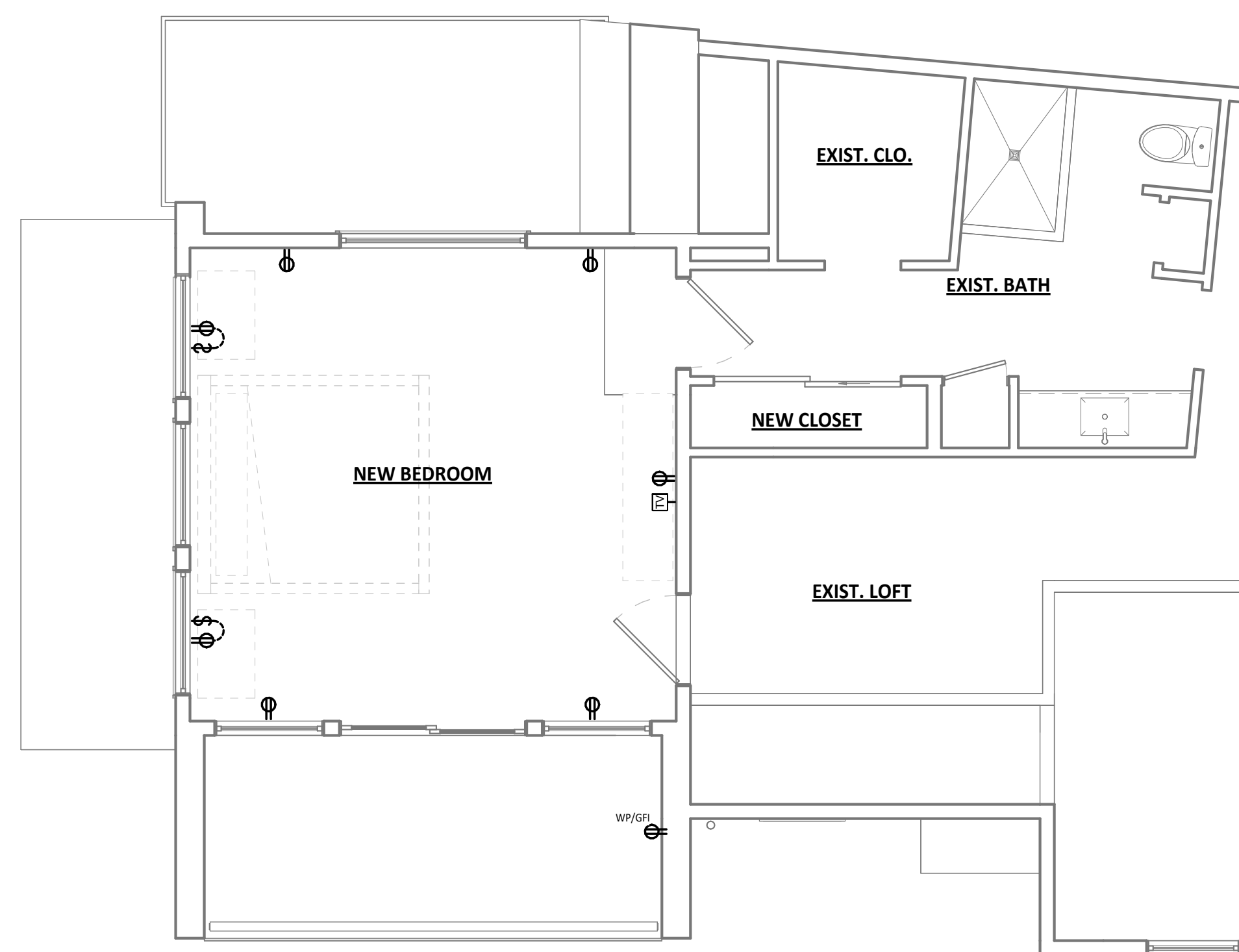
**ELECTRICAL DEVICE LEGEND**

	DOUBLE RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	220V RECEPTACLE OUTLET WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER INSTALL WATERPROOF COVER FOR EXTERIOR USE
	FOURPLEX RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE FLOOR OUTLET INSTALL RECESSED FLOOR OUTLET COVER
	TEL / DATA FLOOR OUTLET
	RECESSED JUNCTION BOX COORDINATE LOCATION WITH EQUIPMENT MANUFACTURER
	TEL / DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	TELEVISION OUTLET PROVIDE RECESSED POWER AND OUTLET FOR WALL MOUNTING WHERE REQUIRED BY OWNER

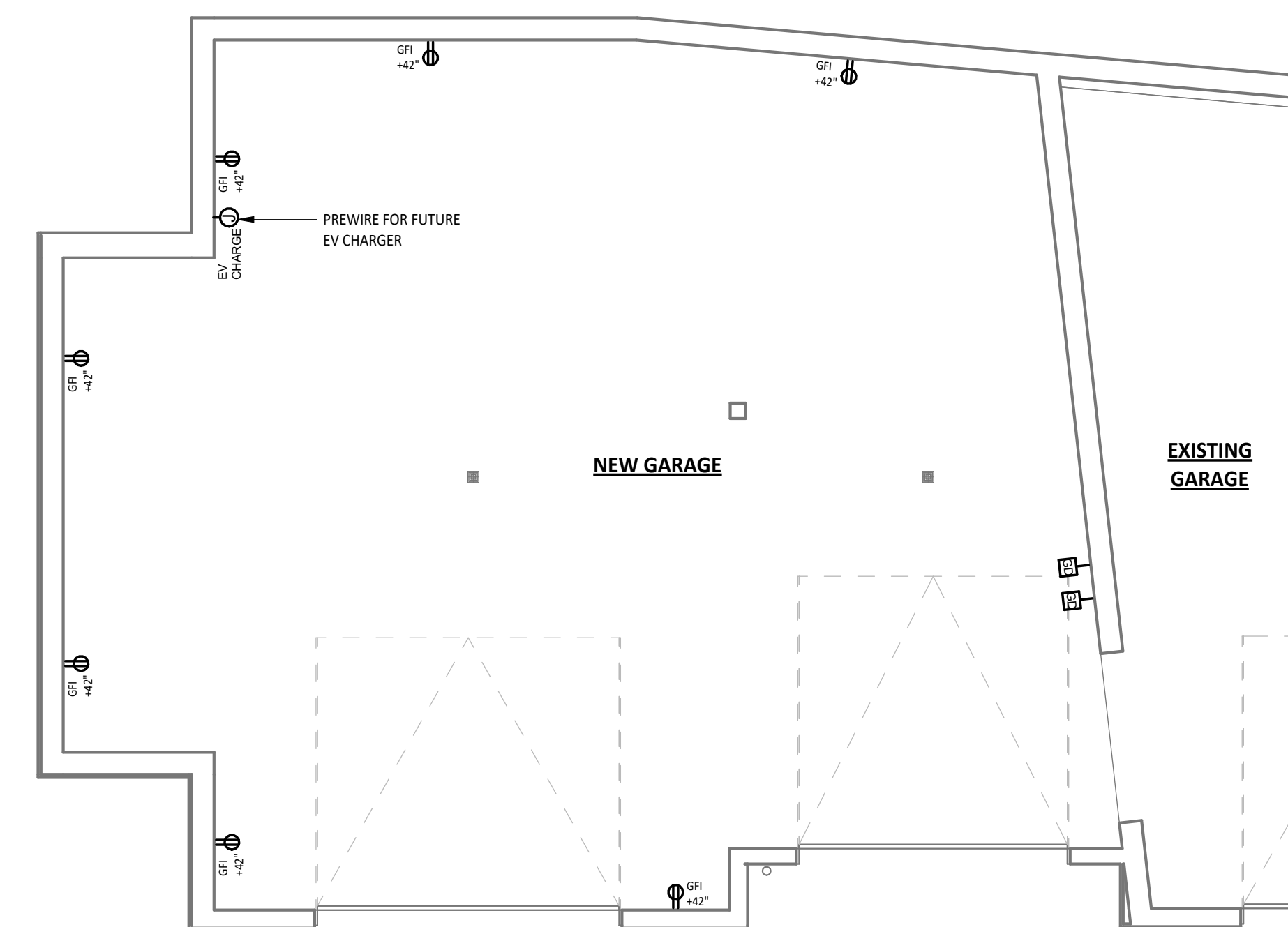
- NOTES: MECHANICAL / ELECTRICAL**
- ALL MECHANICAL AND ELECTRICAL WORK SHALL CONFORM TO CURRENT UNIFORM MECHANICAL AND NATIONAL ELECTRIC CODES AND RELATED NFPA REQUIREMENTS.
  - MECHANICAL AND ELECTRICAL INFORMATION SHOWN IS FOR DESIGN INFORMATION PURPOSES ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL/ELECTRICAL CONTRACTOR(S) TO PROVIDE NECESSARY INFORMATION TO LOCAL BUILDING DEPARTMENT FOR ISSUANCE OF PERMITS FOR CONSTRUCTION.
  - SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR TO ARCHITECT / OWNER FOR REVIEW.
  - CONTRACTOR SHALL VERIFY AND CONFORM TO PRODUCT INSTALLATION REQUIREMENTS AND SHALL PROVIDE ANY ADDITIONAL BLOCKING/PREP WORK NECESSARY FOR INSTALLATION PER MANUFACTURERS SPECIFICATIONS.
  - ALL RECESSED FIXTURES WITHIN INSULATED FLOOR AND OR CEILING SPACES MUST BE U.L. APPROVED FOR USE IN THESE LOCATIONS.
  - UNLESS OTHERWISE SHOWN, FIXTURES ARE TO BE PLACED CENTERED IN GIVEN SPACE. VERIFY ALL FIXTURE AND OUTLET LOCATIONS WITH DRAWINGS.
  - VERIFY ELECTRICITY, GAS, WATER, AND DRAINAGE REQUIREMENTS OF EQUIPMENT AND PROVIDE ANDY MECHANICAL SERVICE OR VENTING REQUIRED PRIOR TO OPERATION. PLUMB PRESSURE RELIEF OR OVERFLOW VALVES TO A DRAIN. COORDINATE WITH CARPENTRY CONTRACTOR TO PROVIDE PROPER ACCESS PANELS FOR ALL EQUIPMENT.
  - PROVIDE DUCTING TO EXTERIOR FOR ALL REQUIRED MECHANICAL EQUIPMENT. COORDINATE ALL EXTERIOR VENTS AND EXHAUST OUTLETS TO MINIMIZE VISIBILITY.
  - ALL PLUMBING FIXTURES SHALL HAVE WATER SAVING DEVICES AND/OR AERATORS TO COMPLY WITH LOCAL REQUIREMENTS.
  - ALL PENETRATIONS IN CEILINGS AND WALLS MUST BE DAFT STOPPED WITH APPROVED MATERIALS.
  - CHECK DOOR SWINGS BEFORE INSTALLATION OF WALL SWITCHES AND RELOCATE AS REQUIRED. LOCATE LIGHTING FIXTURES IN MECHANICAL ROOMS OR ATTIC SPACES TO CORRELATE WITH EQUIPMENT LOCATIONS AND PROVIDE ADEQUATE ILLUMINATION FOR SERVICING.
  - COORDINATE ELECTRICAL BRANCH CIRCUITS WITH FINAL MECHANICAL EQUIPMENT LOAD. ADVISE ARCHITECT/OWNER OF CHANGES FROM ANY DRAWING REQUIREMENTS PRIOR TO INSTALLATION OF ANY ELECTRICAL OR MECHANICAL WORK.
  - INSTALLATION OF ALL EQUIPMENT SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS AND RECOMMENDATIONS. CONTRACTOR SHALL INCLUDE ALL NECESSARY ACCESSORIES AND PIPING FOR A COMPLETE AND OPERATIONAL SYSTEM.



**2 POWER PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**3 POWER PLAN - LOFT LEVEL**  
1/4" = 1'-0"



**1 POWER PLAN - LOWER LEVEL**  
1/4" = 1'-0"



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

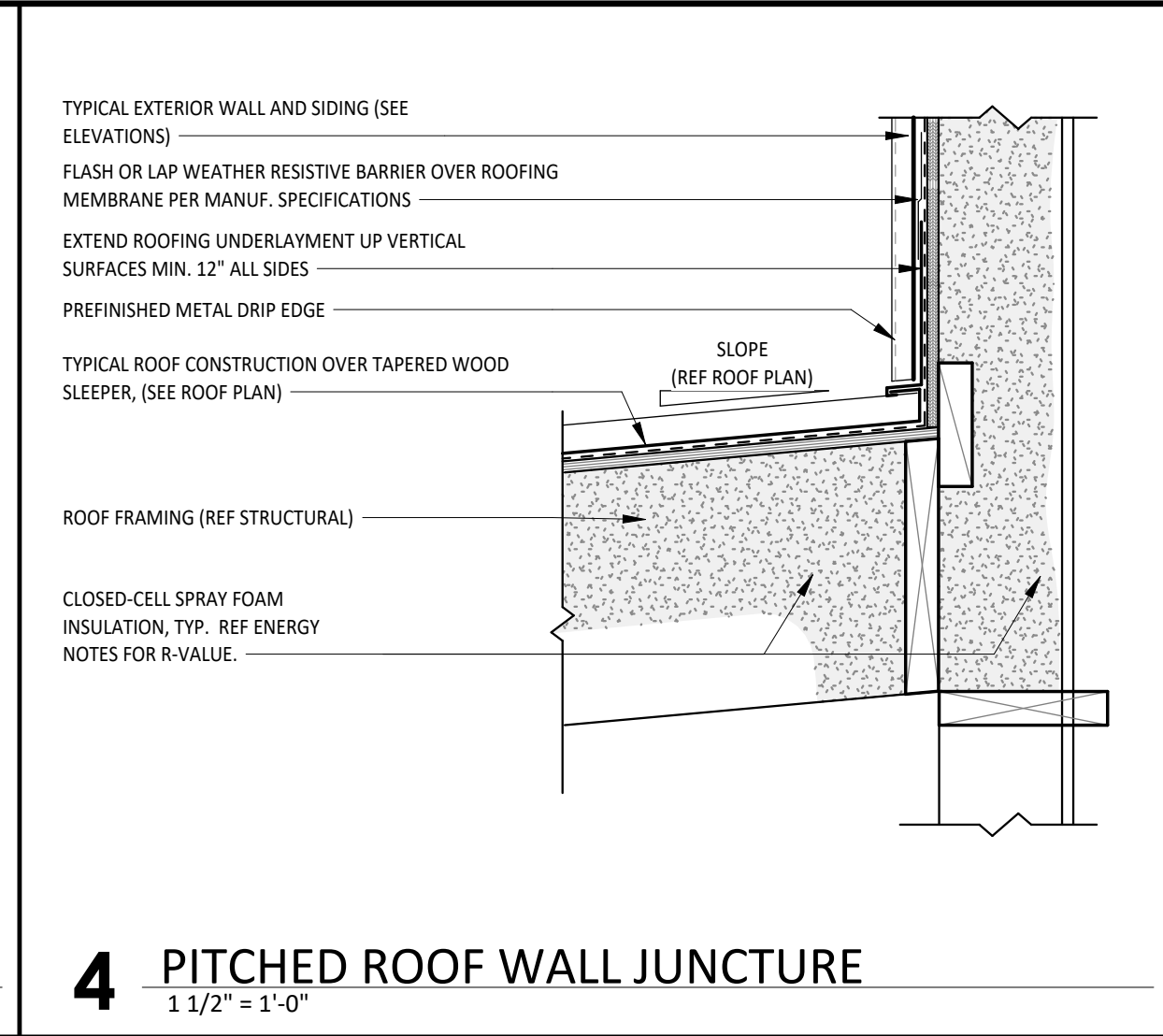
Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

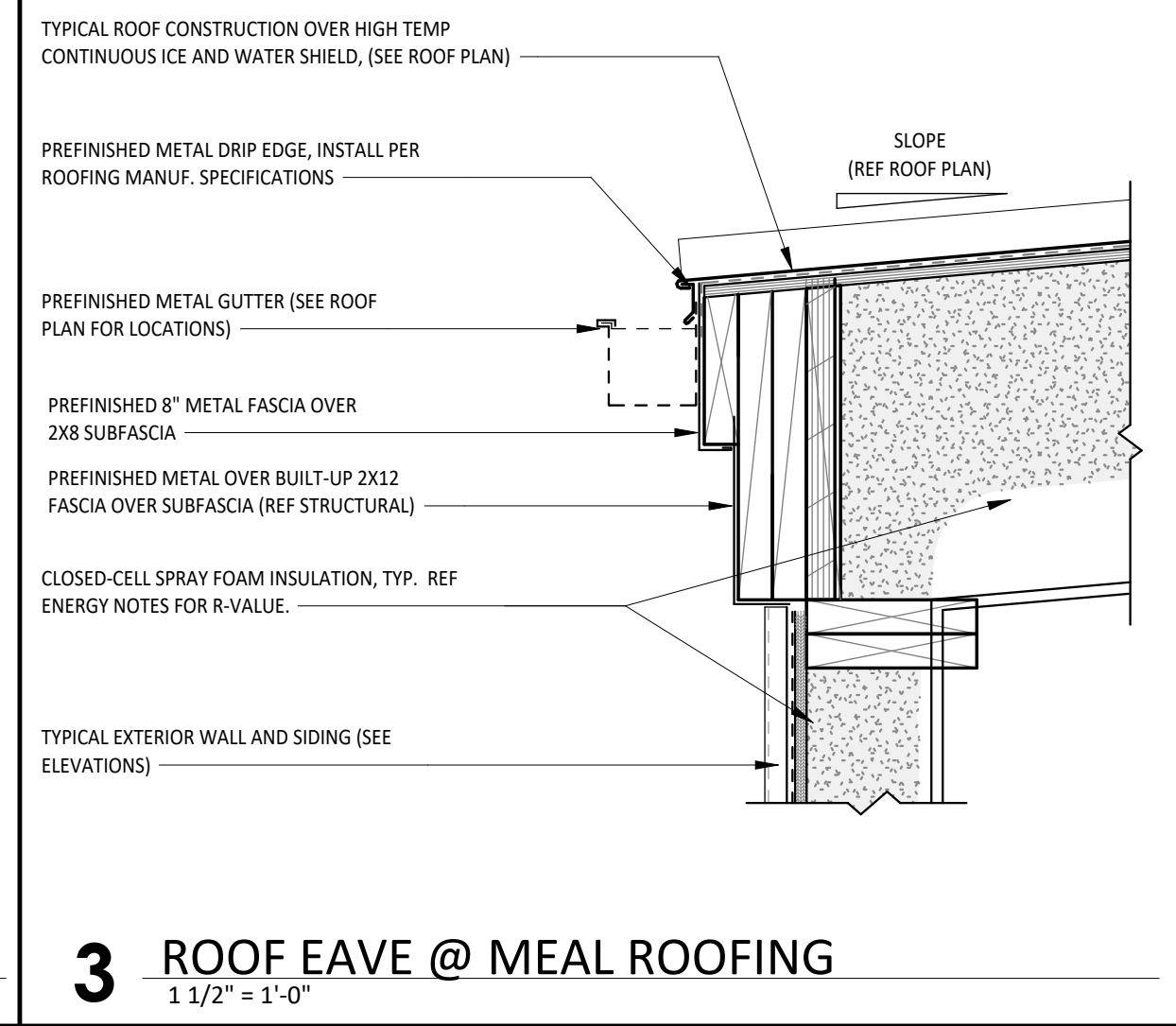
DETAILS

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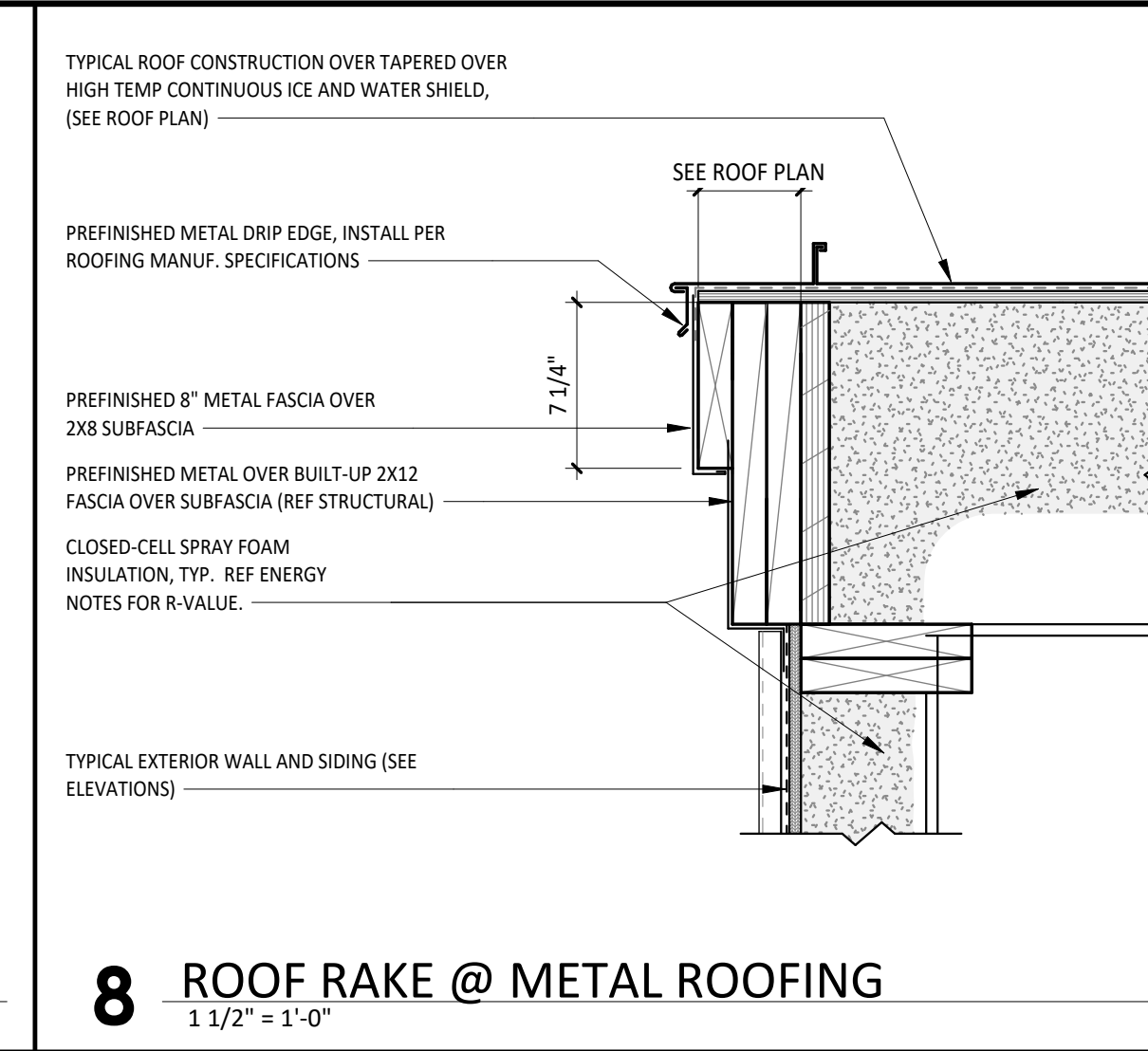
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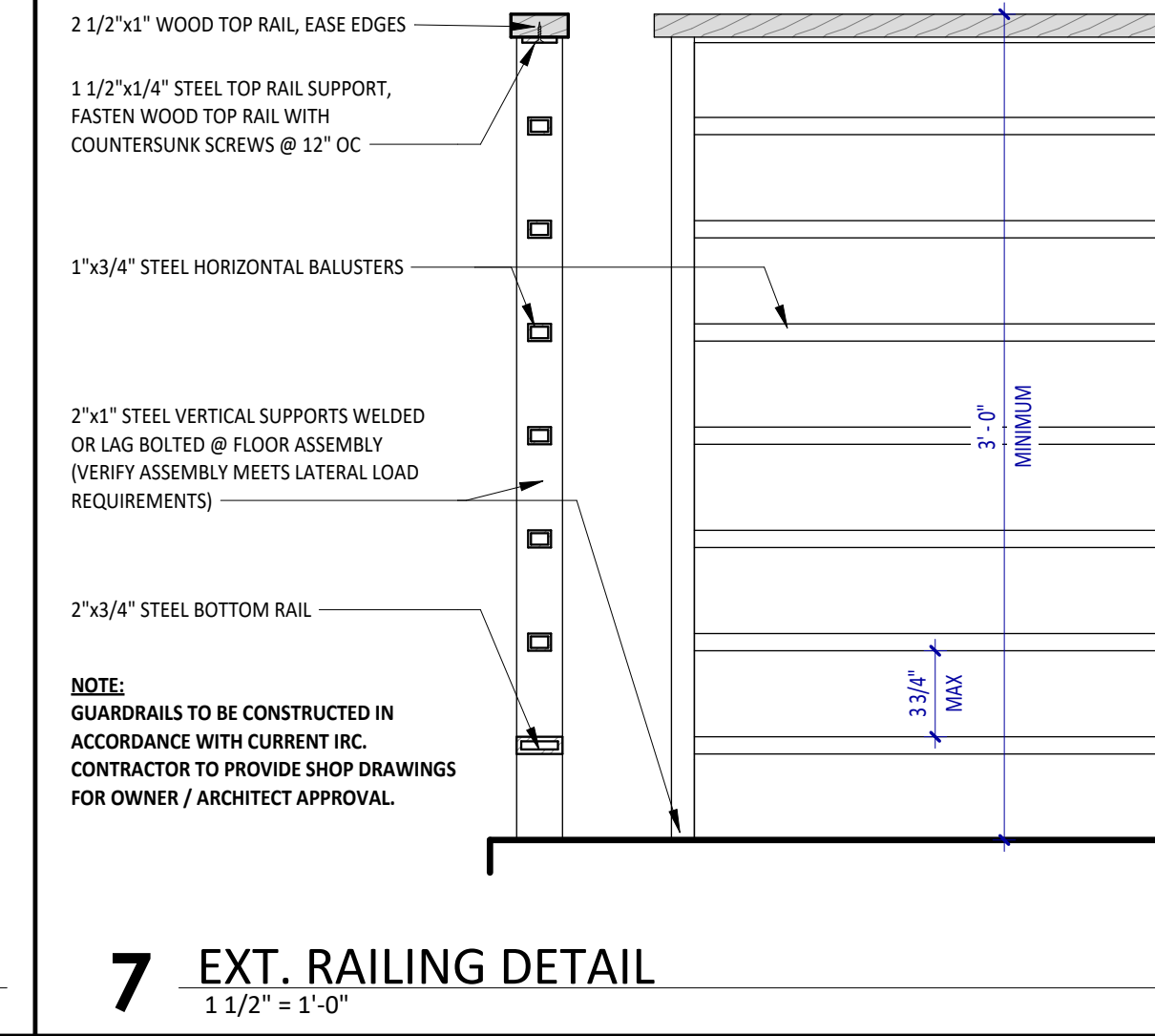
4 PITCHED ROOF WALL JUNCTURE  
1 1/2" = 1'-0"



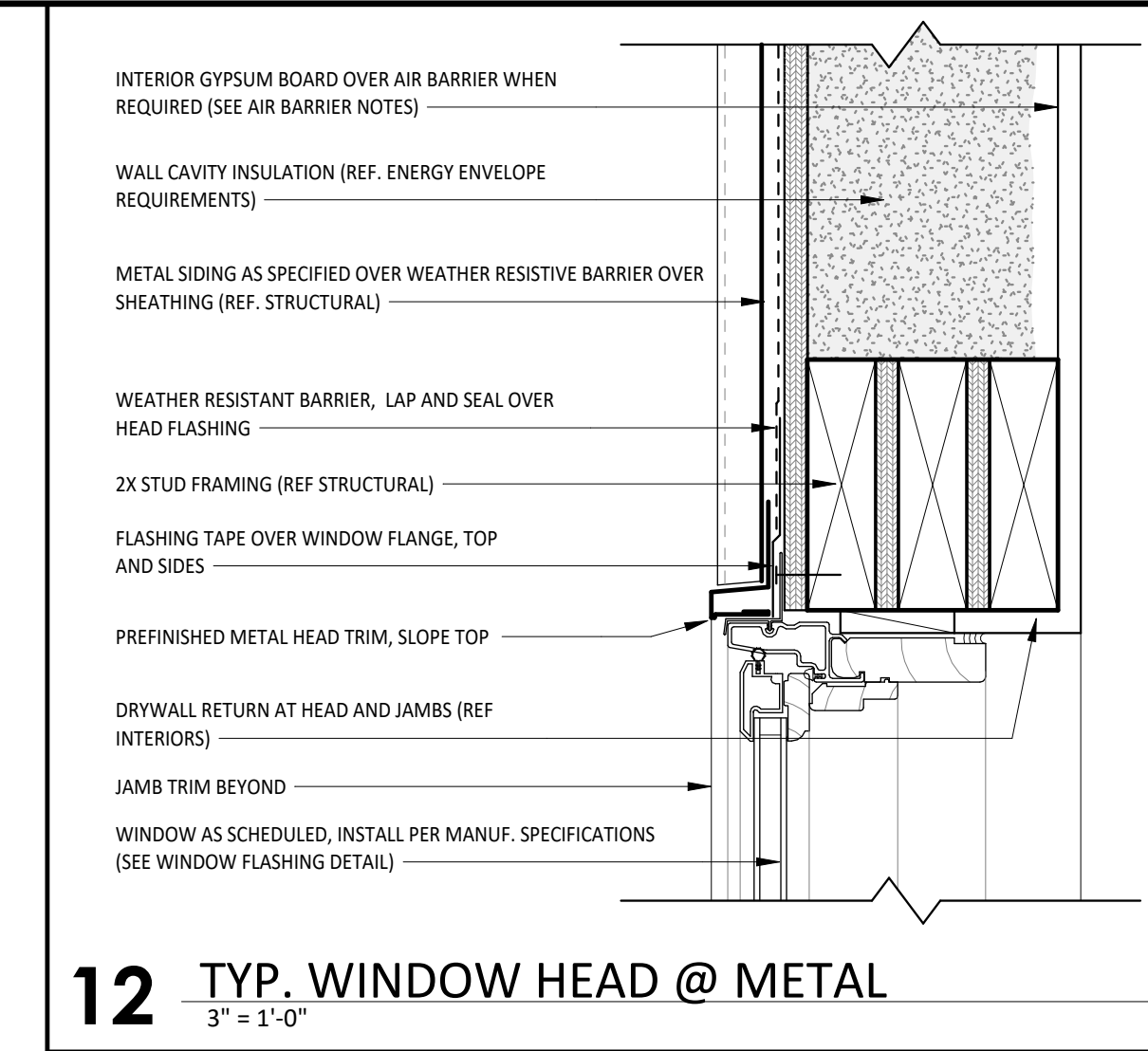
3 ROOF EAVE @ MEAL ROOFING  
1 1/2" = 1'-0"



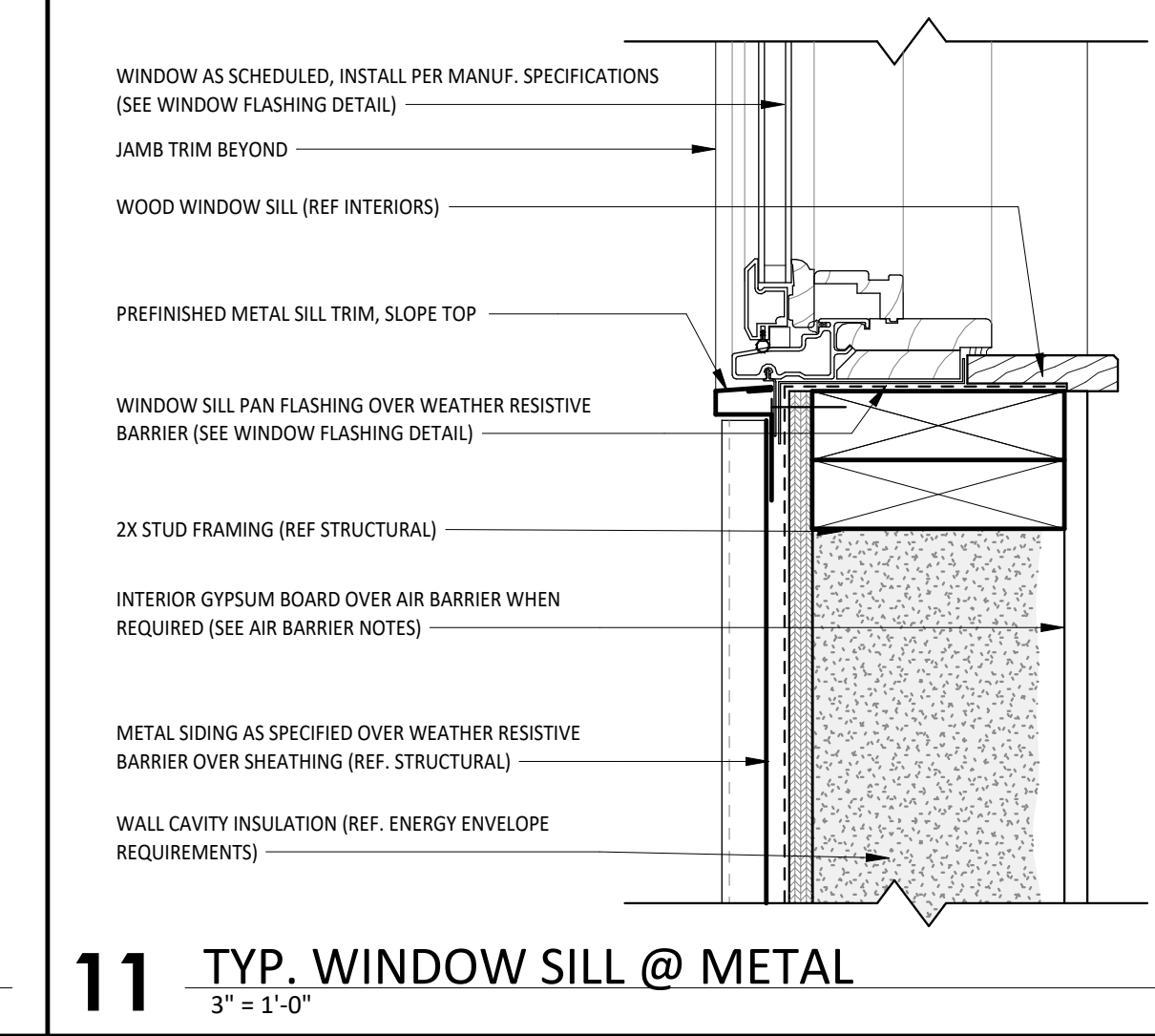
8 ROOF RAKE @ METAL ROOFING  
1 1/2" = 1'-0"



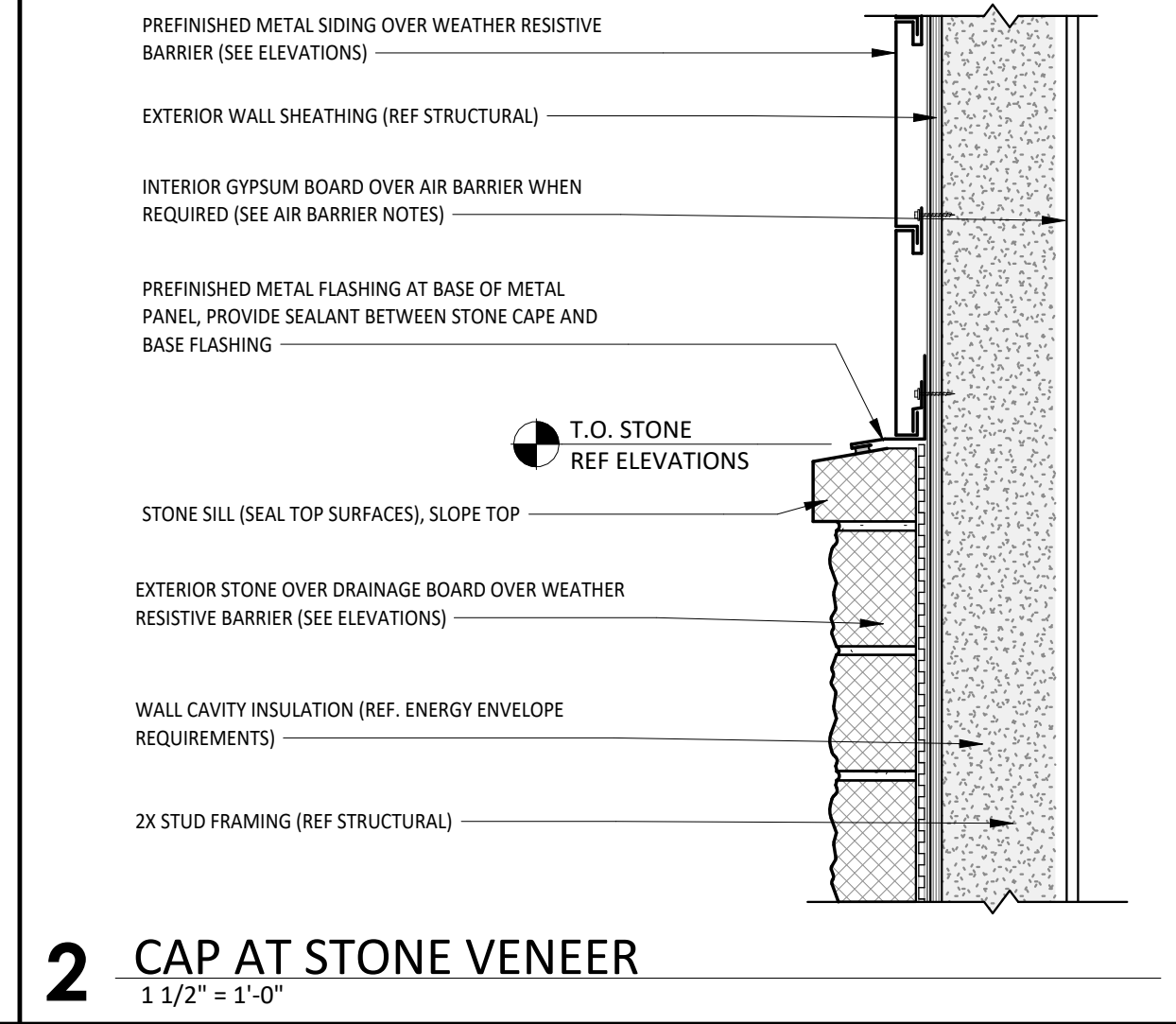
7 EXT. RAILING DETAIL  
1 1/2" = 1'-0"



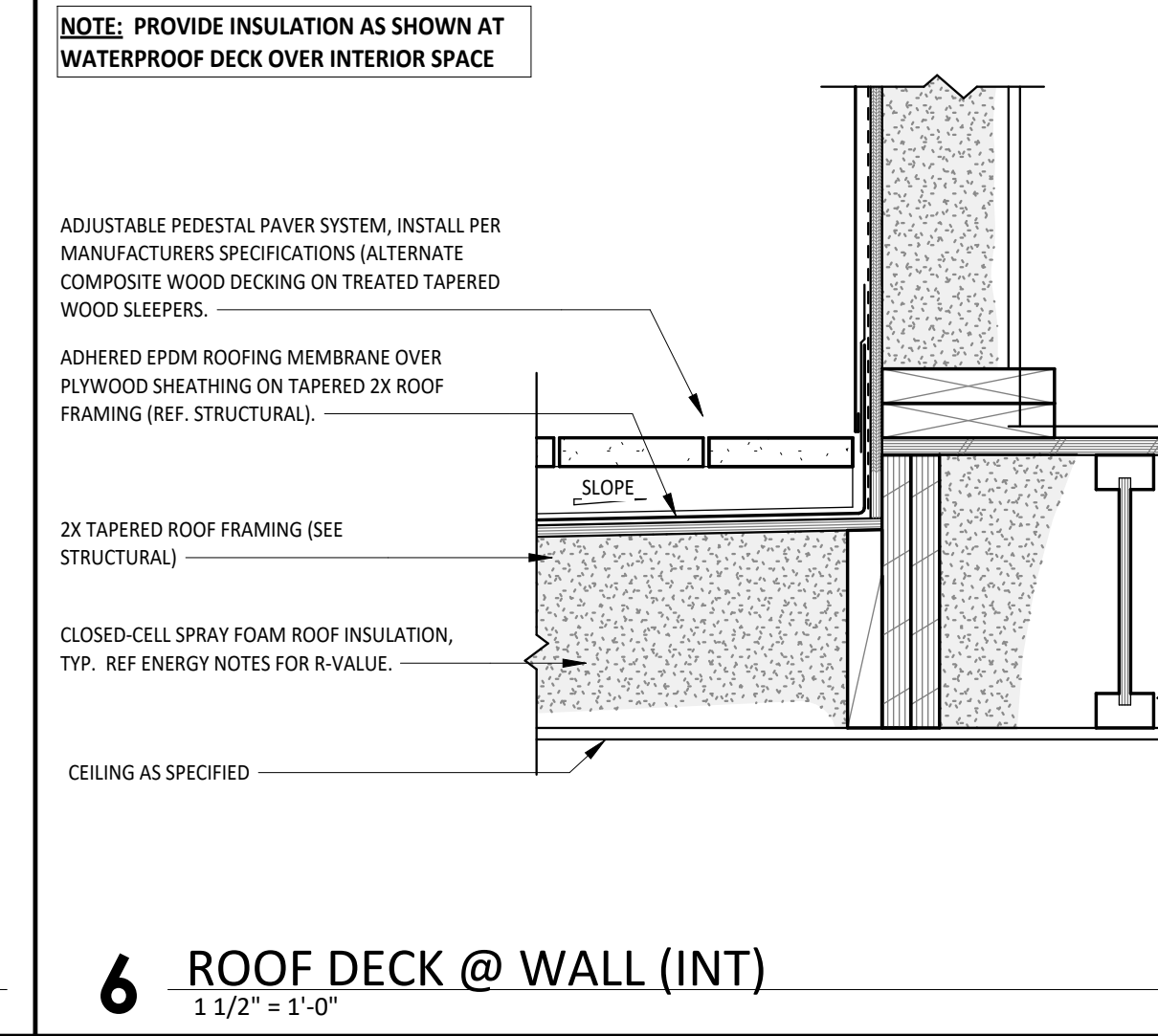
12 TYP. WINDOW HEAD @ METAL  
3" = 1'-0"



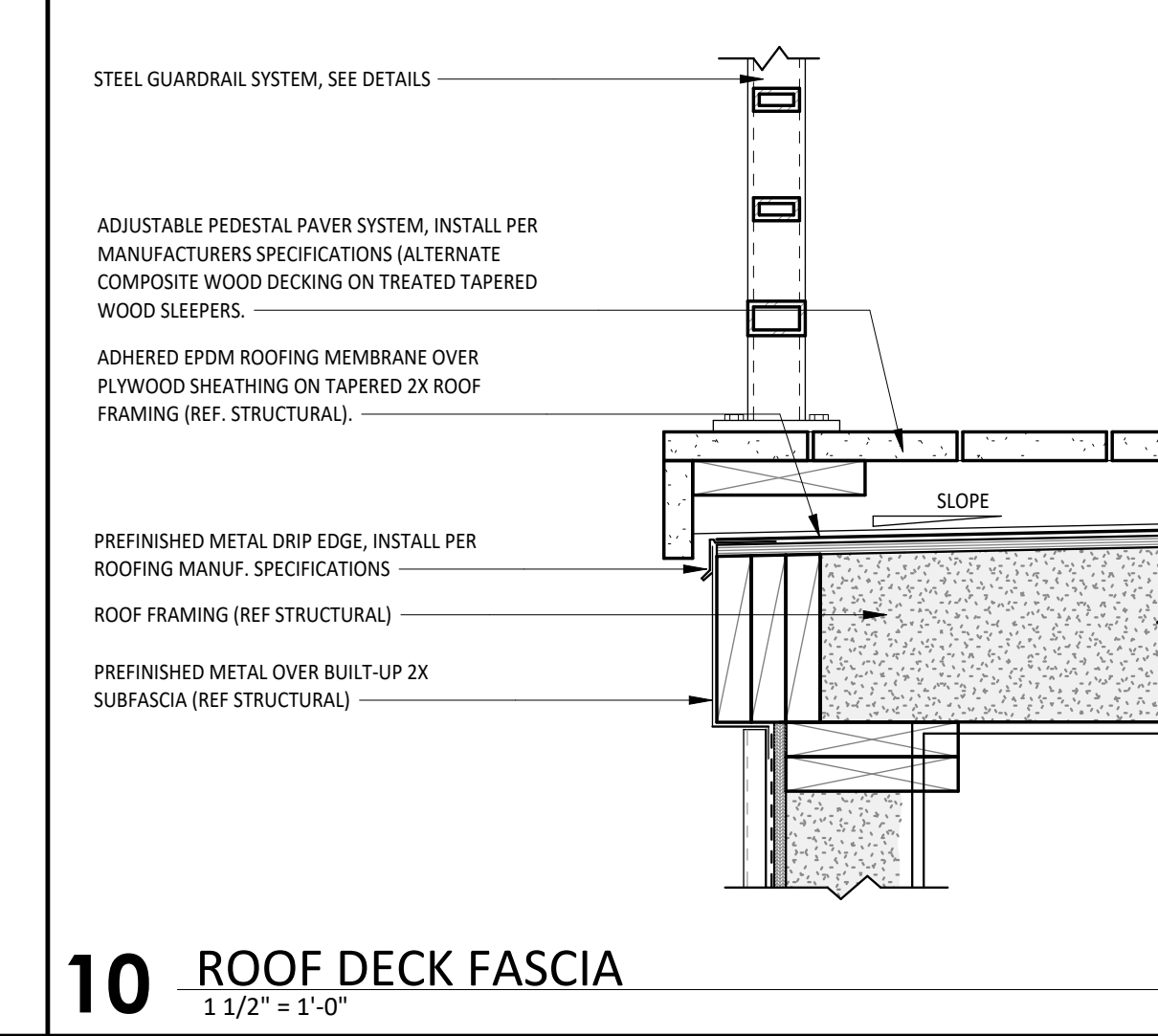
11 TYP. WINDOW SILL @ METAL  
3" = 1'-0"



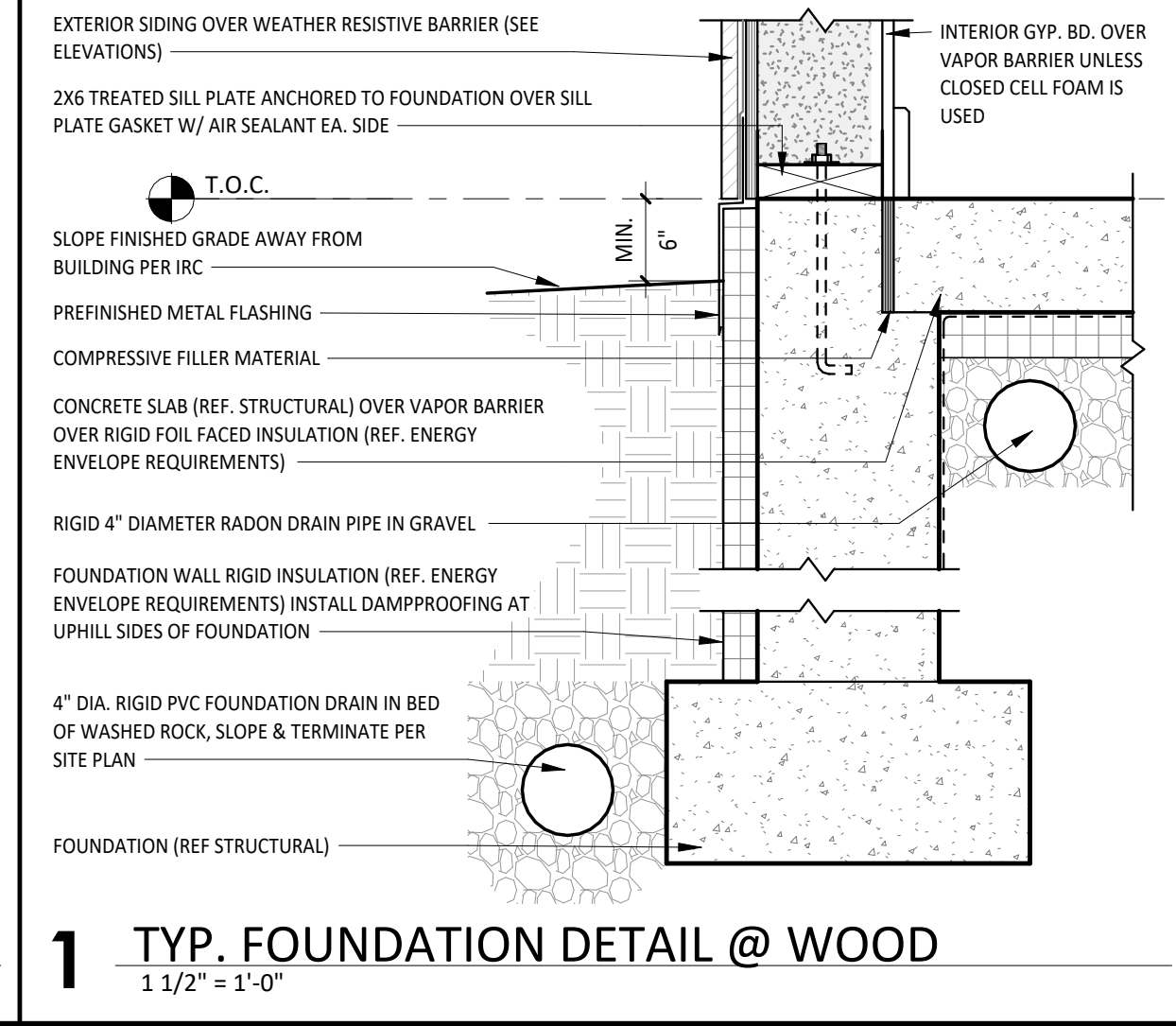
2 CAP AT STONE VENEER  
1 1/2" = 1'-0"



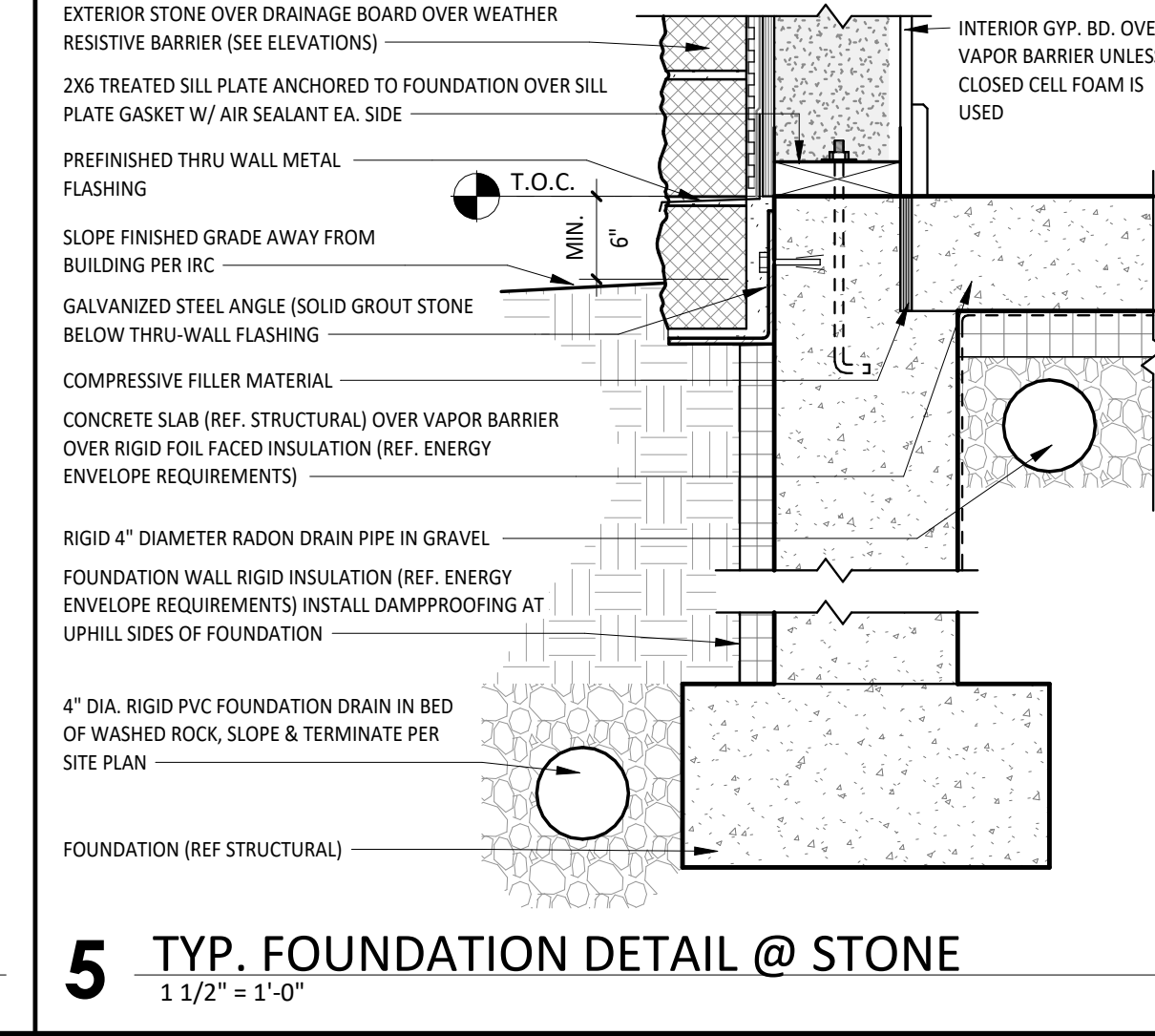
6 ROOF DECK @ WALL (INT)  
1 1/2" = 1'-0"



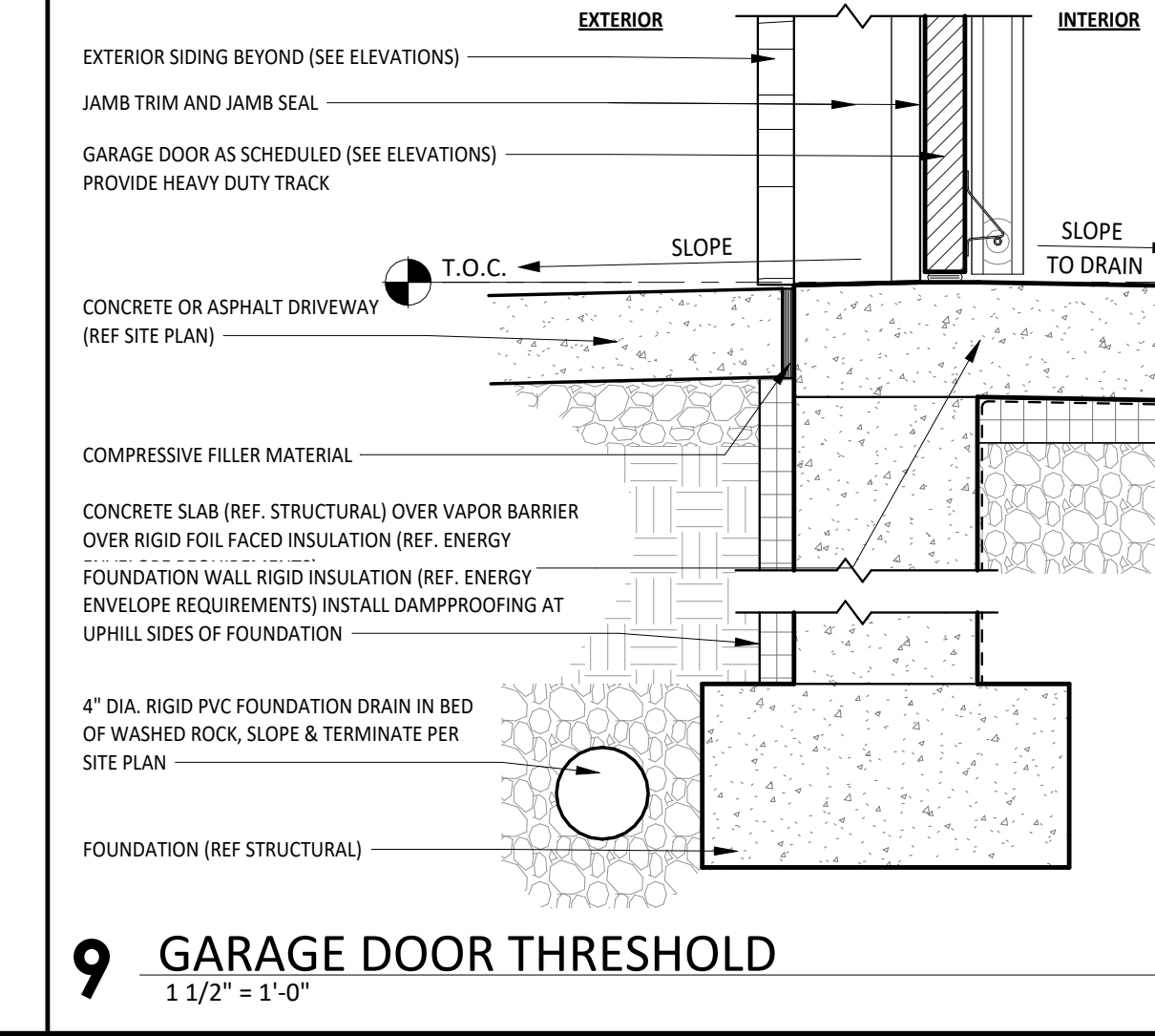
10 ROOF DECK FASCIA  
1 1/2" = 1'-0"



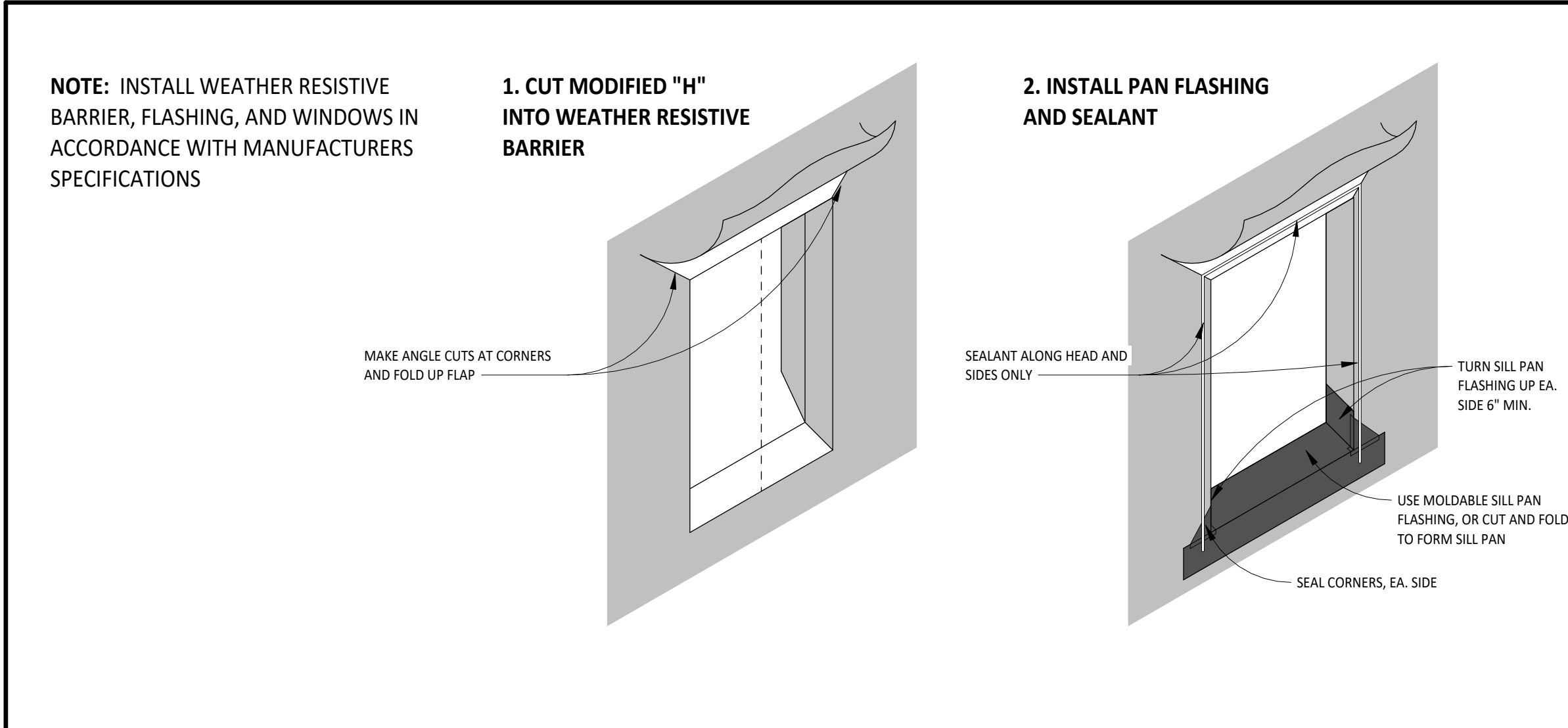
1 TYP. FOUNDATION DETAIL @ WOOD  
1 1/2" = 1'-0"



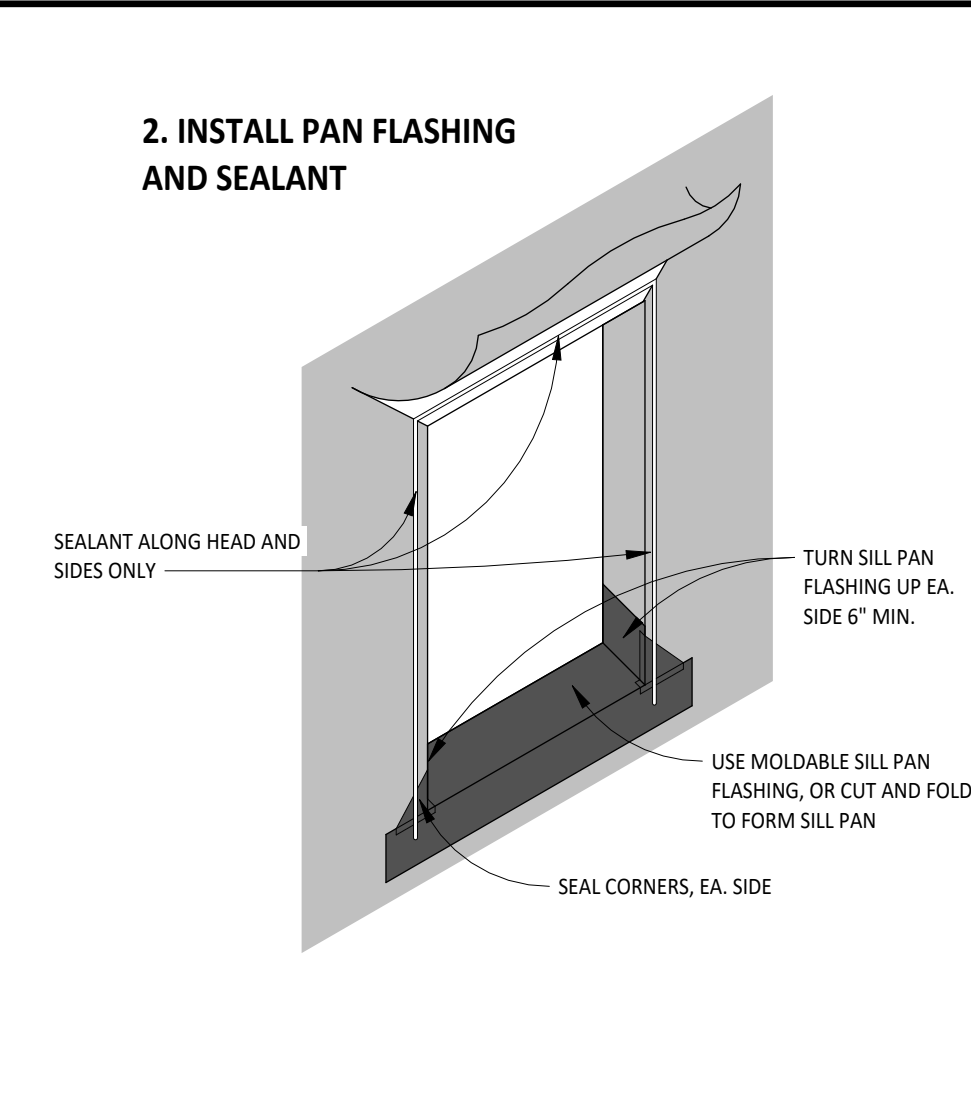
5 TYP. FOUNDATION DETAIL @ STONE  
1 1/2" = 1'-0"



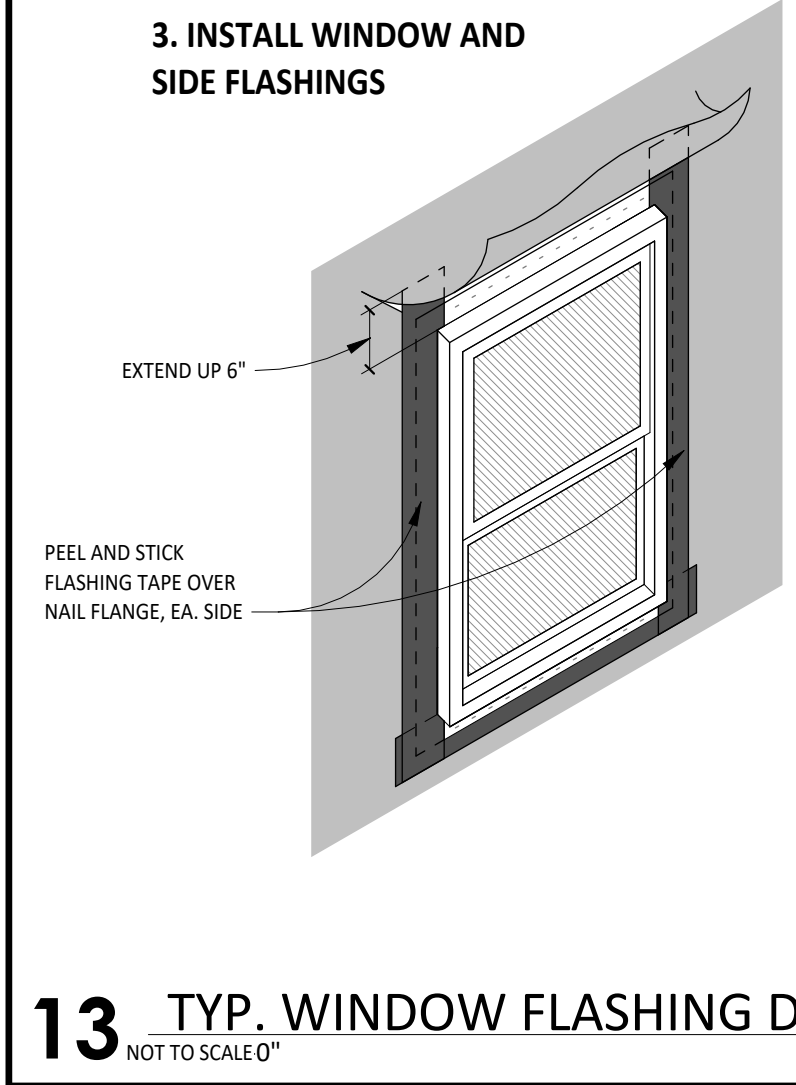
9 GARAGE DOOR THRESHOLD  
1 1/2" = 1'-0"



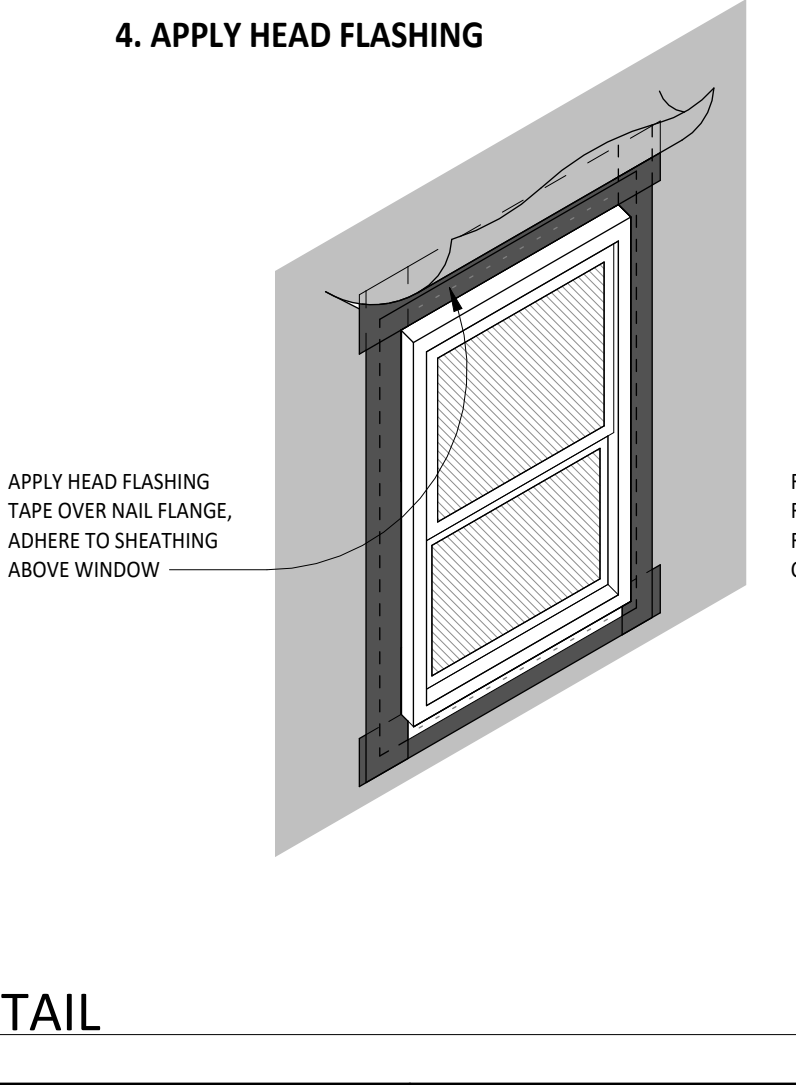
1. CUT MODIFIED "H" INTO WEATHER RESISTIVE BARRIER



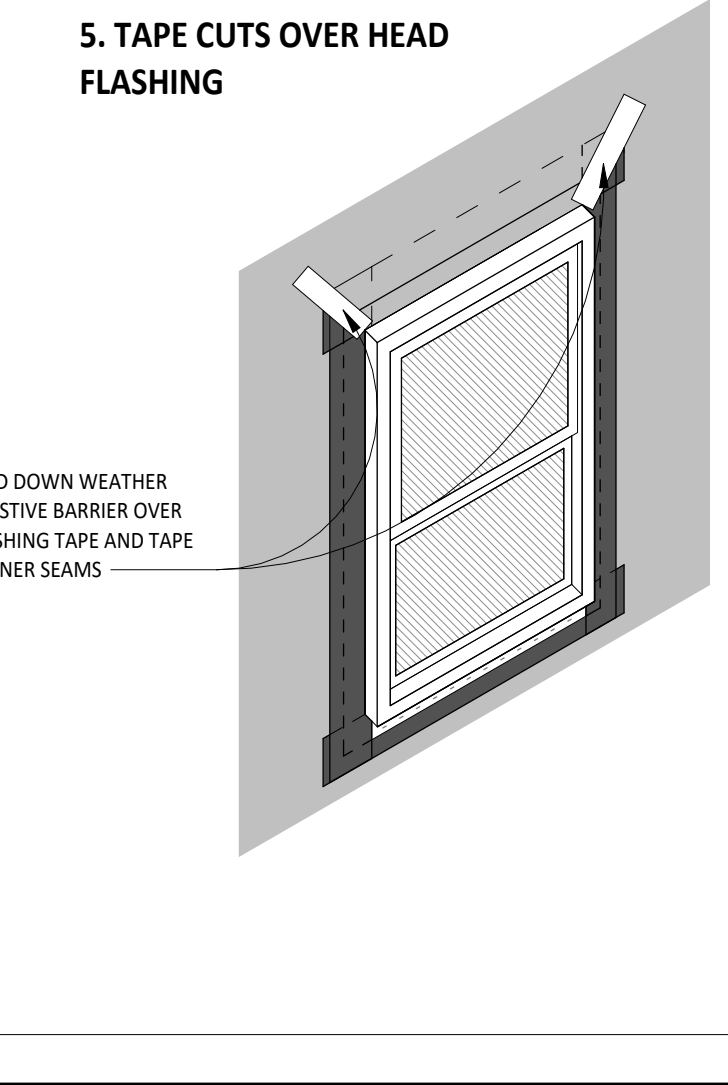
2. INSTALL PAN FLASHING AND SEALANT



3. INSTALL WINDOW AND SIDE FLASHINGS



4. APPLY HEAD FLASHING



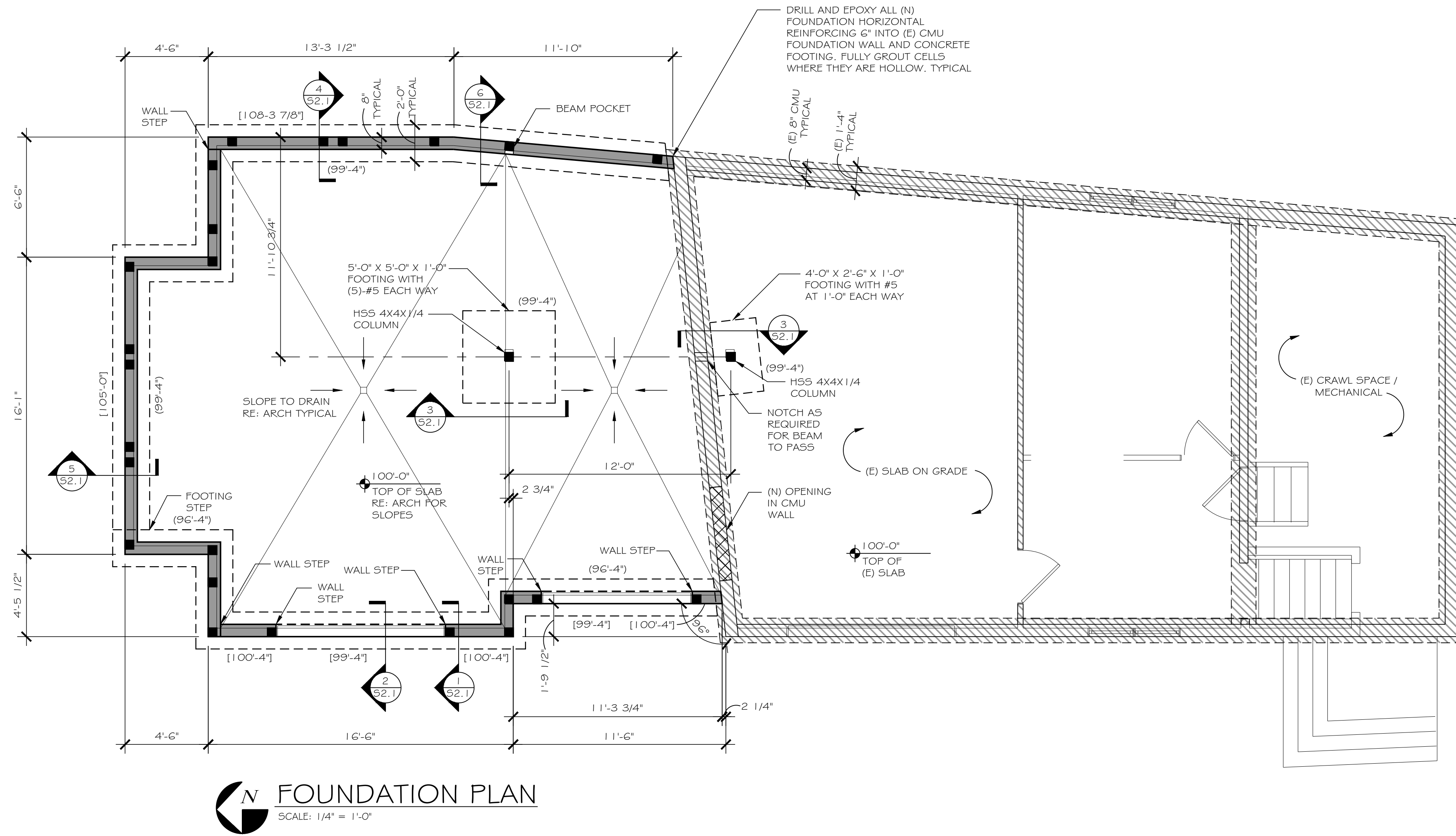
5. TAPE CUTS OVER HEAD FLASHING

13 TYP. WINDOW FLASHING DETAIL  
NOT TO SCALE 0"



**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, COLORADO



**FOUNDATION NOTES:**

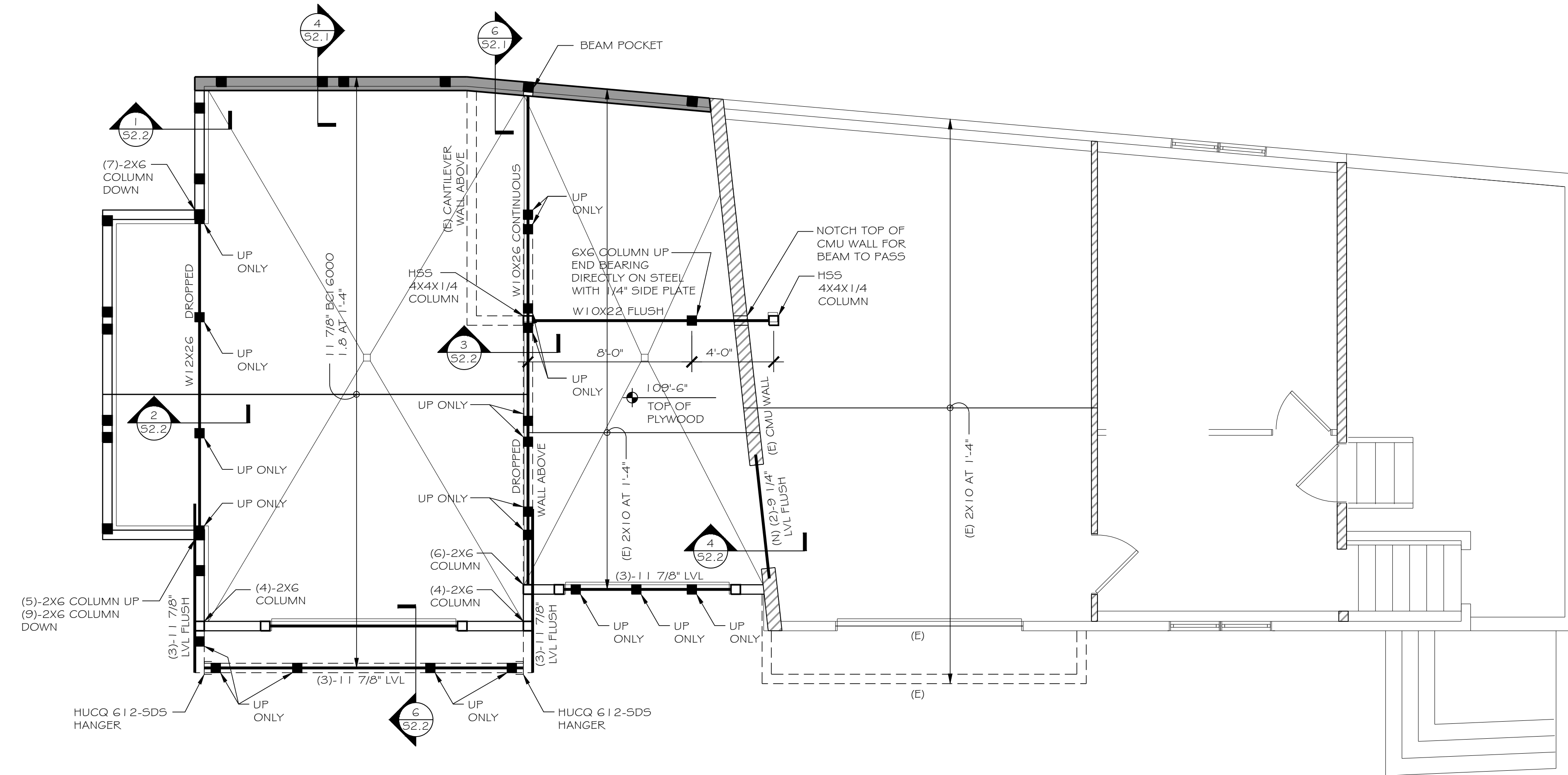
1. DATUM ELEVATION 100'-0" EQUALS LOWER LEVEL TOP OF SLAB ELEVATION. RE: ARCH FOR USGS.
2. [XX-XX'] INDICATES TOP OF FOUNDATION WALL ELEVATION.
3. (XX-XX') INDICATES TOP OF FOOTING ELEVATION.
4. FLOOR ELEVATIONS SHOWN ARE AT TOP OF SLAB OR AT TOP OF PLYWOOD FLOOR SHEATHING.
5. FOOTING ELEVATIONS SHOWN ARE MAXIMUMS AND MAY NEED TO BE LOWERED DUE TO SOIL CONDITIONS. VERIFY CHANGES WITH STRUCTURAL ENGINEER.
6. ALL SLABS ON GRADE ARE 4" THICK WITH GXG W2.1XW2.1 WELDED WIRE FABRIC UNLESS NOTED OTHERWISE.
7. SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO BUILDING UNLESS NOTED OTHERWISE.
8. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

**S1.1**

FOUNDATION PLAN

**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO



**MAIN LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

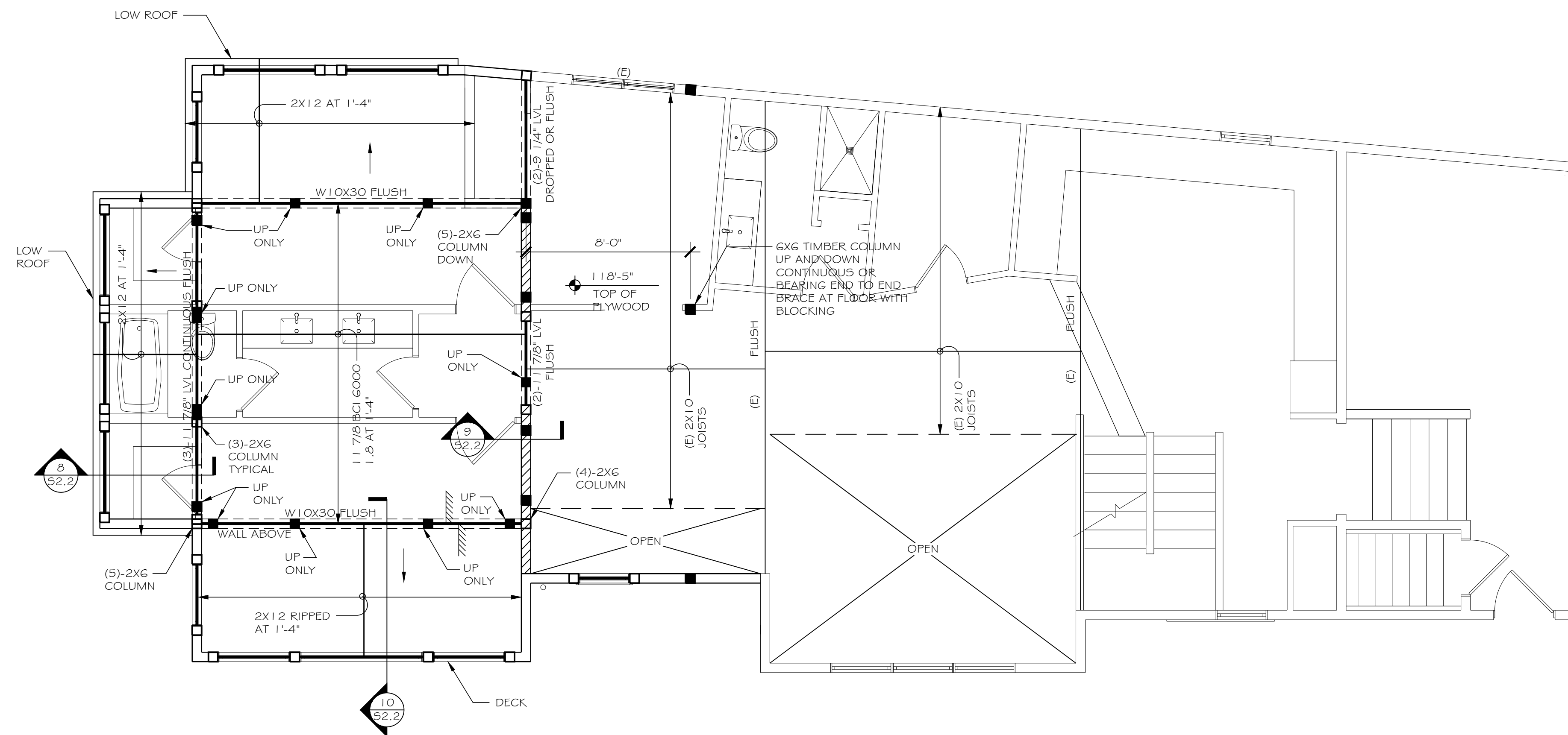
**FRAMING NOTES:**

- INDICATES COLUMN DOWN ONLY.
- INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR SUB COLUMN.
- ▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
- ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
- <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
- HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
- ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
- ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
- REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
- REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- BCI 6000 1.8 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
- FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

**S1.2**  
 MAIN LEVEL FRAMING PLAN

**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO



**UPPER LEVEL FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

- INDICATES COLUMN DOWN ONLY.
- INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR SUB COLUMN.
- ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
- ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
- <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
- HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
- ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
- ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
- REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
- REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- BCI 6000 1.8 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
- FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

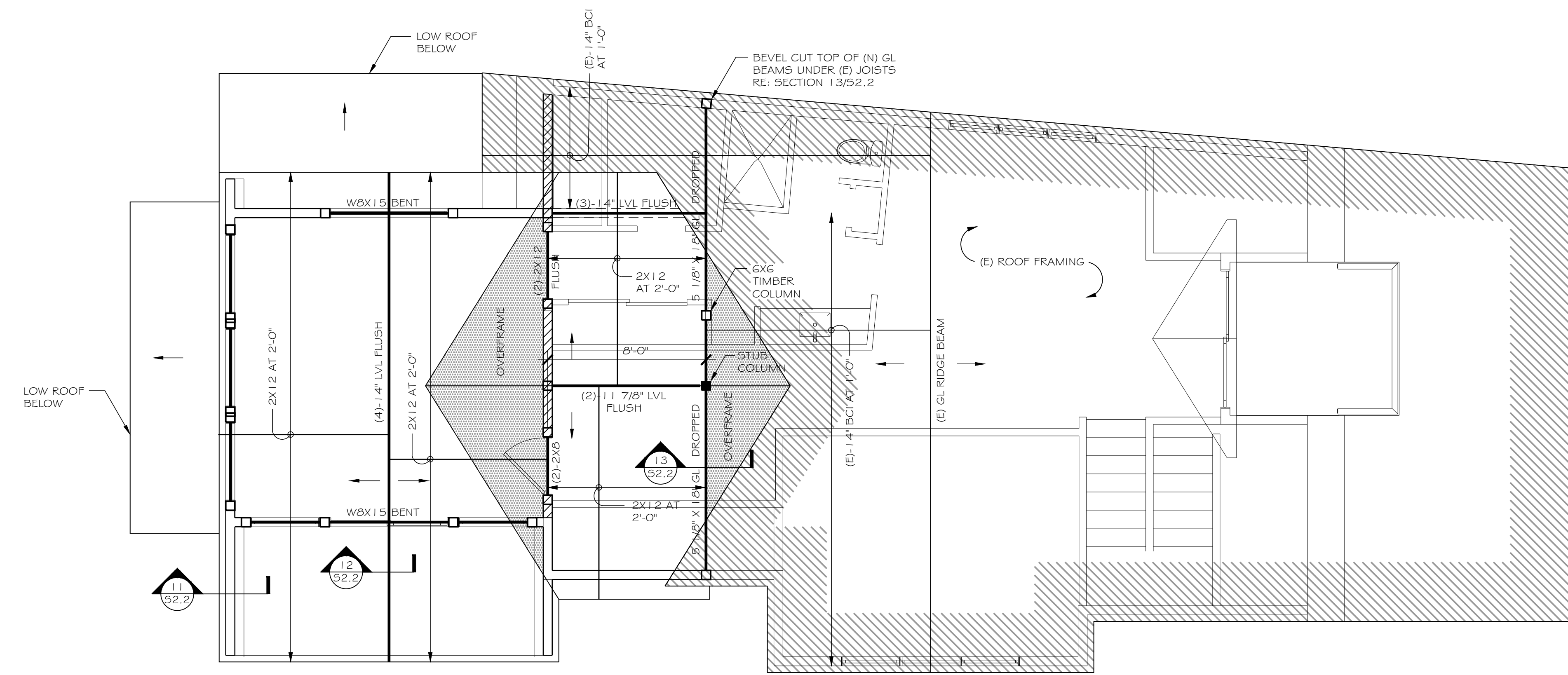
**S1.3**  
UPPER LEVEL FRAMING  
PLAN

**FOX STRUCTURAL ENGINEERING, LLC**  
 216 SNOWBERRY WAY  
 DILLON, COLORADO 80435  
 (970) 376-2005

**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

**S1.4**  
 ROOF FRAMING PLAN



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRJZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

**GENERAL NOTES:**

1. LIVE LOADS USED IN DESIGN

- A. ROOF SNOW 1 00 PSF
- B. DECK LIVE LOAD 1 25 PSF
- C. INTERIOR FLOOR 40 PSF
- D. ULTIMATE DESIGN WIND 1 15 MPH EXPOSURE B
- E. SEISMIC SITE CLASS D, DESIGN CATEGORY B

2. TESTING, INSPECTIONS AND OBSERVATIONS

- A. THE STRUCTURAL ENGINEER DOES NOT PROVIDE INSPECTIONS OF CONSTRUCTION. STRUCTURAL ENGINEER MAY MAKE PERIODIC OBSERVATIONS OF THE CONSTRUCTION. SUCH OBSERVATIONS SHALL NOT REPLACE REQUIRED INSPECTIONS BY THE GOVERNING AUTHORITIES OR SERVE AS "SPECIAL INSPECTIONS" AS MAY BE REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

3. FOUNDATIONS

- A. ALLOWABLE SOIL BEARING PRESSURE ASSUMED IN DESIGN IS 2000 PSF.
- B. CONTRACTOR SHALL RETAIN A LICENSED SOILS ENGINEER TO INSPECT THE FOUNDATION EXCAVATION. SOILS ENGINEER SHALL VERIFY IN WRITING THE ACTUAL SOILS CAPACITY IS EQUAL TO OR GREATER THAN ASSUMED.
- C. THE PREPARATION OF THE SUBGRADE SHALL BE IN STRICT ACCORDANCE WITH THE SOILS ENGINEER. QUESTIONS REGARDING THE SUBGRADE PREPARATION SHALL BE DIRECTED TO THE GEOTECHNICAL ENGINEER.
- D. NOTIFY SOILS ENGINEER WHEN EXCAVATION IS COMPLETE SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.
- E. CONTRACTOR TO PROVIDE, AT HIS EXPENSE, FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND INTERIOR SLABS ON GRADE.
- F. ALL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS BY CONTRACTOR WITH APPROVAL OF SOILS ENGINEER. ALL BOTTOMS OF FOOTINGS SHALL BE A MINIMUM OF 40" BELOW EXTERIOR GRADE.
- G. ALL FOOTINGS SHALL BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL OR PROPERLY COMPACTED STRUCTURAL BACKFILL, APPROVED BY THE SOILS ENGINEER.
- H. CONTRACTOR SHALL BACKFILL EQUALLY ON EACH SIDE OF FOUNDATION WALLS IN 1 2 INCH MAXIMUM VERTICAL LIFTS OR AS RECOMMENDED BY THE SOILS ENGINEER. REFER TO SOILS ENGINEER FOR BACKFILL MATERIAL.
- I. CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS DIMENSIONED OTHERWISE.
- J. REFERENCE THE SOILS ENGINEER AND GRADING DRAWINGS FOR SOIL DRAINAGE REQUIREMENTS.

4. CONCRETE AND REINFORCEMENT

- A. CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I/II PORTLAND CEMENT AND SHALL SATISFY 3000 PSI MINIMUM. GARAGE FLOOR SLAB SHALL SATISFY 4000 PSI MINIMUM. CONCRETE WITH EXPOSURE TO WEATHER, INCLUDING GARAGE FLOOR SLABS, SHALL BE AIR ENTRAINED AND MEET ALL REQUIREMENTS IN TABLE R402.2 FOR SEVERE WEATHERING POTENTIAL.
- B. ALL CONCRETE AND REINFORCEMENT WORK SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318 LATEST EDITION.
- C. CONTRACTOR SHALL SAWCUT OR TROWELCUT JOINTS IN SLABS ON GRADE. JOINTS SHALL BE SPACED 12 FEET MAXIMUM AND CUT 1/4 OF SLAB DEPTH X 3/16" WIDE WITHIN 12 HOURS AFTER POURING. AREA BETWEEN JOINTS SHALL NOT EXCEED 100 SQUARE FEET. CARRY ALL SLAB REINFORCEMENT THROUGH JOINT.
- D. ALL REINFORCING SHALL BE HIGH-STRENGTH DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT TIES, STIRRUPS AND PLATE ANCHORS WHICH SHALL BE DEFORMED BARS, ASTM DESIGNATION A615, GRADE 40 OR A706 GRADE 60.
- E. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 GRADE 65 AND SHALL BE LAPPED ONE FULL MESH AT SIDE AND END SPLICES AND WIRED TOGETHER.
- F. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS. USE STANDARD HOOKS FOR DOWELS UNLESS NOTED OTHERWISE.

5. STRUCTURAL STEEL

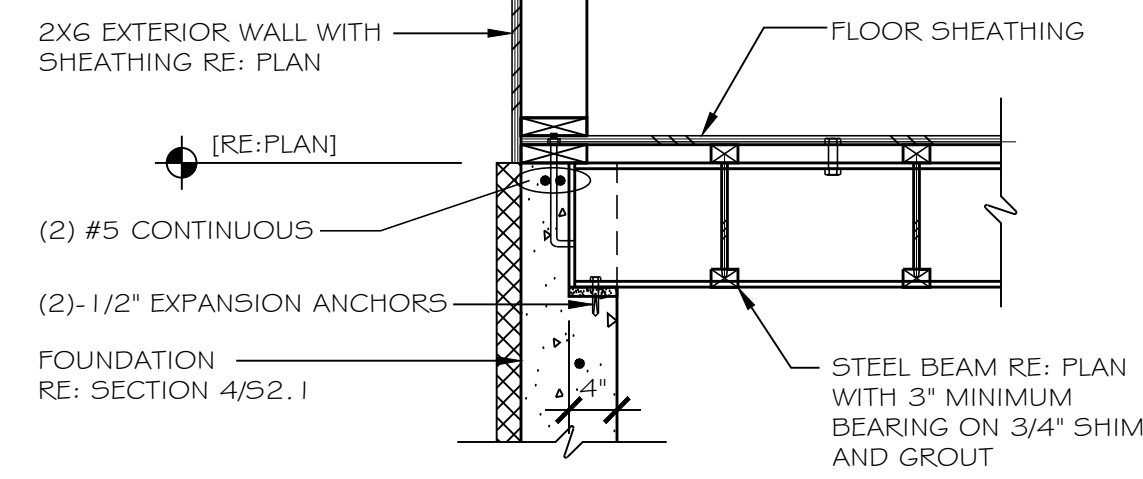
- A. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM 992, 50 KSI; TUBES SHALL CONFORM TO ASTM A500, GRADE B; PIPES SHALL CONFORM TO ASTM A53, GRADE B. MISCELLANEOUS ITEMS SHALL BE A36 STEEL.
- B. ALL STRUCTURAL BOLTS SHALL BE A325N INSTALLED TO A MINIMUM SHUG TIGHT CONDITION. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- C. STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE LATEST PROVISIONS OF AISC "MANUAL OF STEEL CONSTRUCTION".
- D. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE AMERICAN WELDING SOCIETY STANDARD QUALIFICATIONS TESTS AS OUTLINED IN AWS-D1.1.
- E. MINIMUM WELDS TO BE PER AISC TABLE J2.4 BUT NOT LESS THAN 3/16" CONTINUOUS FILLET UNLESS NOTED OTHERWISE.
- F. SUBMIT SHOP AND ERECTION DRAWINGS TO ENGINEER FOR REVIEW OF ALL STRUCTURAL STEEL MEMBERS. THE MANUFACTURING OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF SHOP DRAWINGS WILL BE ENTIRELY AT RISK OF THE CONTRACTOR.

6. WOOD

- A. ALL FRAMING LUMBER SHALL BE DRY HEM-FIR, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 2 GRADE (Fb = 850 PSI). WALL STUDS ONLY MAY CONFORM TO STUD GRADE (Fb = 675 PSI).
- B. ALL FRAMING TIMBERS (5"X5" AND LARGER) SHALL BE DRY DOUGLAS FIR LARCH, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 1 GRADE (Fb = 1350 PSI).
- C. PREFABRICATED WOOD MEMBERS SHALL BE "BCI" JOIST AS MANUFACTURED BY BOISE CASCADE OR "TJI" JOIST AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER, TYPES AS NOTED ON THE DRAWINGS. THE BCI JOISTS SPECIFIED HAVE SLIGHTLY HIGHER CAPACITIES THAN THE TJI JOISTS SPECIFIED. ALTERNATES SHALL BE REVIEWED BY THE ENGINEER. TO BE CONSIDERED, ALTERNATES SHALL HAVE A LOAD CAPACITY IN BENDING, SHEAR AND DEFLECTION EQUAL TO OR GREATER THAN THE SIZES SHOWN ON THE DRAWINGS. WEB BLOCKING AND BRIDGING TO BE AS REQUIRED BY THE JOIST MANUFACTURER.
- D. "LVL" INDICATES 1 3/4" WIDE LAMINATED VENEER LUMBER MEMBERS, WHICH SHALL HAVE THE FOLLOWING MINIMUM STRESS CAPACITIES: Fb = 2600 PSI, Fv = 285 PSI, E = 2,000,000 PSI. BUILT UP MEMBERS SHALL BE CONNECTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- E. "GL" INDICATES GLULAM MEMBERS, WHICH SHALL BE FABRICATED OF DOUGLAS FIR LARCH AT 12 PERCENT MOISTURE CONTENT IN ACCORDANCE WITH WCLUB. PROVIDE MEMBERS CONFORMING WITH AITC 117, 24F-V4 DF/DF UNLESS NOTED OTHERWISE.
- F. PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS AT ALL SUPPORTS AND ENDS OF CANTILEVERS.
- G. WHEN PRESERVATIVE TREATED LUMBER IS USED ALL CONNECTIONS AND NAILING SHALL BE ADEQUATELY GALVANIZED.
- H. ALL BEAM/BEAM AND BEAM/COLUMN CONNECTIONS SHALL BE MADE WITH SIMPSON STEEL PLATE CONNECTORS UNLESS NOTED OTHERWISE.
- I. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE IRC TABLE R602.3(1) UNLESS NOTED OTHERWISE.
- J. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- K. OVERFRAMING SHALL BE 2X6 MINIMUM POSTED DOWN TO MAIN JOISTS ON A GRID NOT TO EXCEED 2'-0" X 2'-0".
- L. PLYWOOD DECK AND/OR ORIENTED STRAND BOARD
  - 1. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
  - 2. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCTS STANDARD PSI, LATEST EDITION FOR PLYWOOD.
  - 3. FOR FLOORING USE 3/4" T&G STURD-I-FLOOR SHEATHING GLUED AND NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 4. FOR ROOF USE 5/8" (40/20 SPAN RATING) EXPOSURE 1 SHEATHING NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 5. EXTERIOR WALLS SHALL HAVE ONE LAYER 7/16" EXPOSURE 1 SHEATHING NAILED WITH 8D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. ALL PANEL EDGES SHALL BE BLOCKED.
  - 6. FLOOR AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS WITH END JOINTS STAGGERED.
  - 7. INSTALL SUITABLE EDGE SUPPORT BY USE OF PLYCLIPS, TONGUE AND GROOVE PANELS OR SOLID WOOD BLOCKING SUPPORTS.

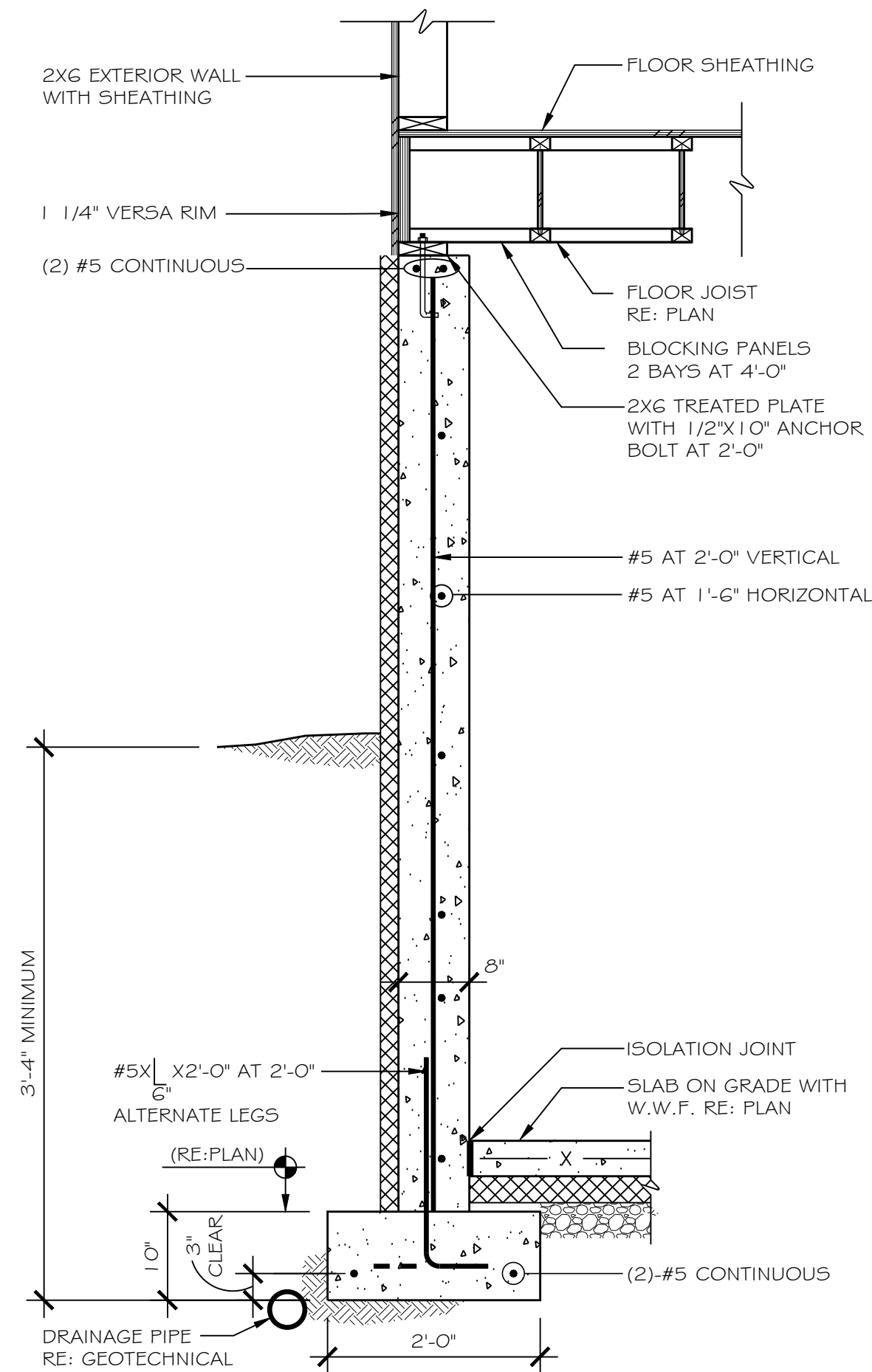
7. GENERAL

- A. ENGINEER'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
- B. ALL DIMENSIONS AND DETAILS ON STRUCTURAL DRAWINGS SHALL BE FIELD VERIFIED AND CHECKED AGAINST ARCHITECTURAL DRAWINGS.
- C. WATERPROOFING, VAPOR BARRIERS, WATERSTOP, ETC., SHALL BE AS SHOWN IN ARCHITECTURAL DRAWINGS AND DETAILS.
- D. ELEMENTS SUCH AS NON-BEARING PARTITIONS ATTACHED TO AND/OR SUPPORTED BY THE STRUCTURE SHALL TAKE INTO ACCOUNT DEFLECTIONS AND OTHER STRUCTURAL MOVEMENTS.
- E. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. VERIFICATION OF LOCATIONS, SIZES AND REQUIRED CONNECTIONS ARE CONTRACTOR'S RESPONSIBILITY. ENGINEER'S APPROVAL OF CONNECTIONS AND SUPPORTS SHALL BE OBTAINED PRIOR TO INSTALLATION OF MECHANICAL AND ELECTRICAL EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR STAIR FRAMING DETAILS AND LANDING SLAB ELEVATIONS.
- G. ALL STONE VENEERS SHALL BE THIN ADHERED TYPE AND SHALL BE ATTACHED TO INTERIOR AND EXTERIOR WALLS AS SPECIFIED IN SECTION R703.8 OF THE INTERNATIONAL RESIDENTIAL CODE.
- H. (E) INDICATES EXISTING, (N) INDICATES NEW.



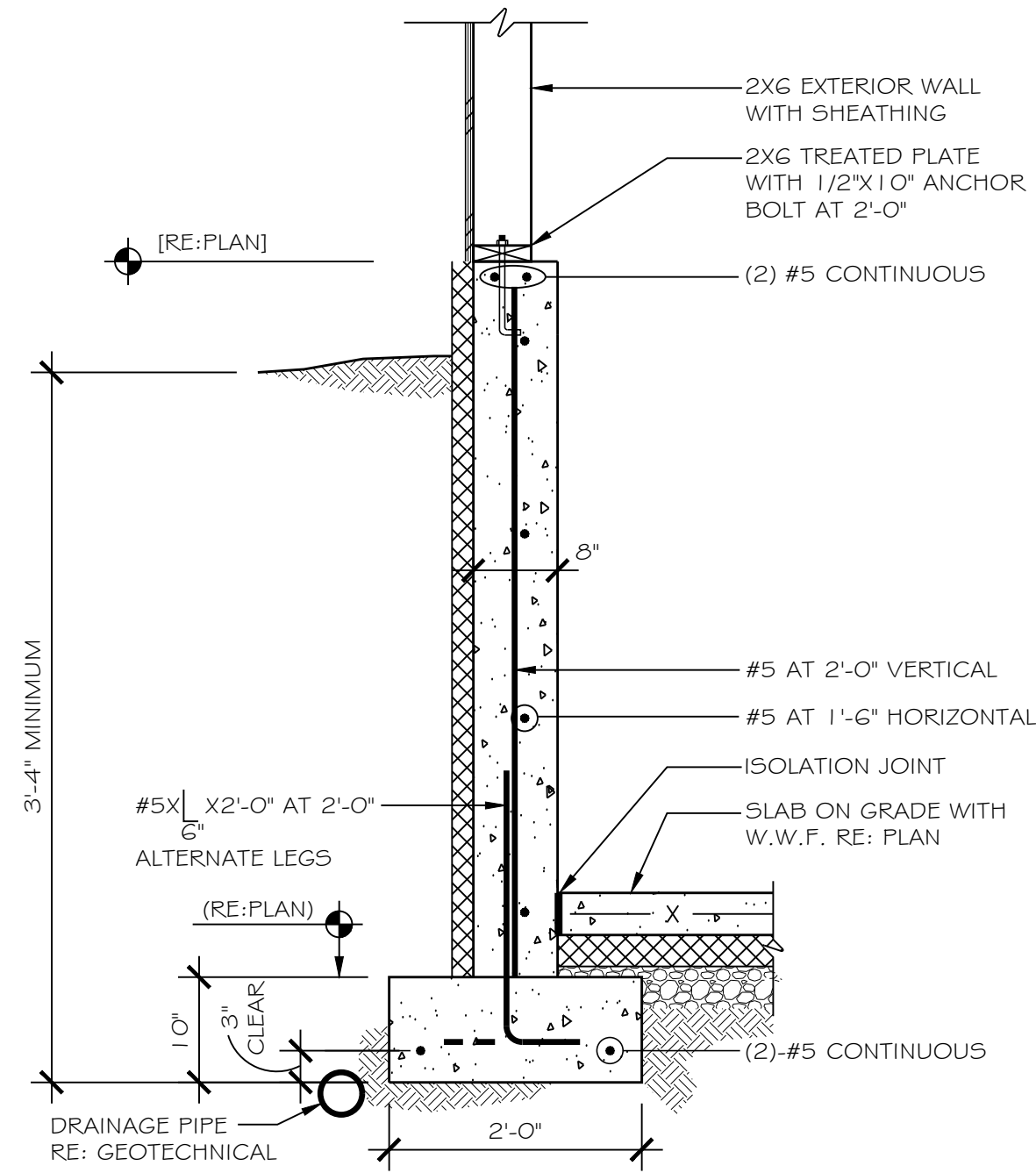
6 BEAM POCKET

SCALE: 3/4" = 1'-0"



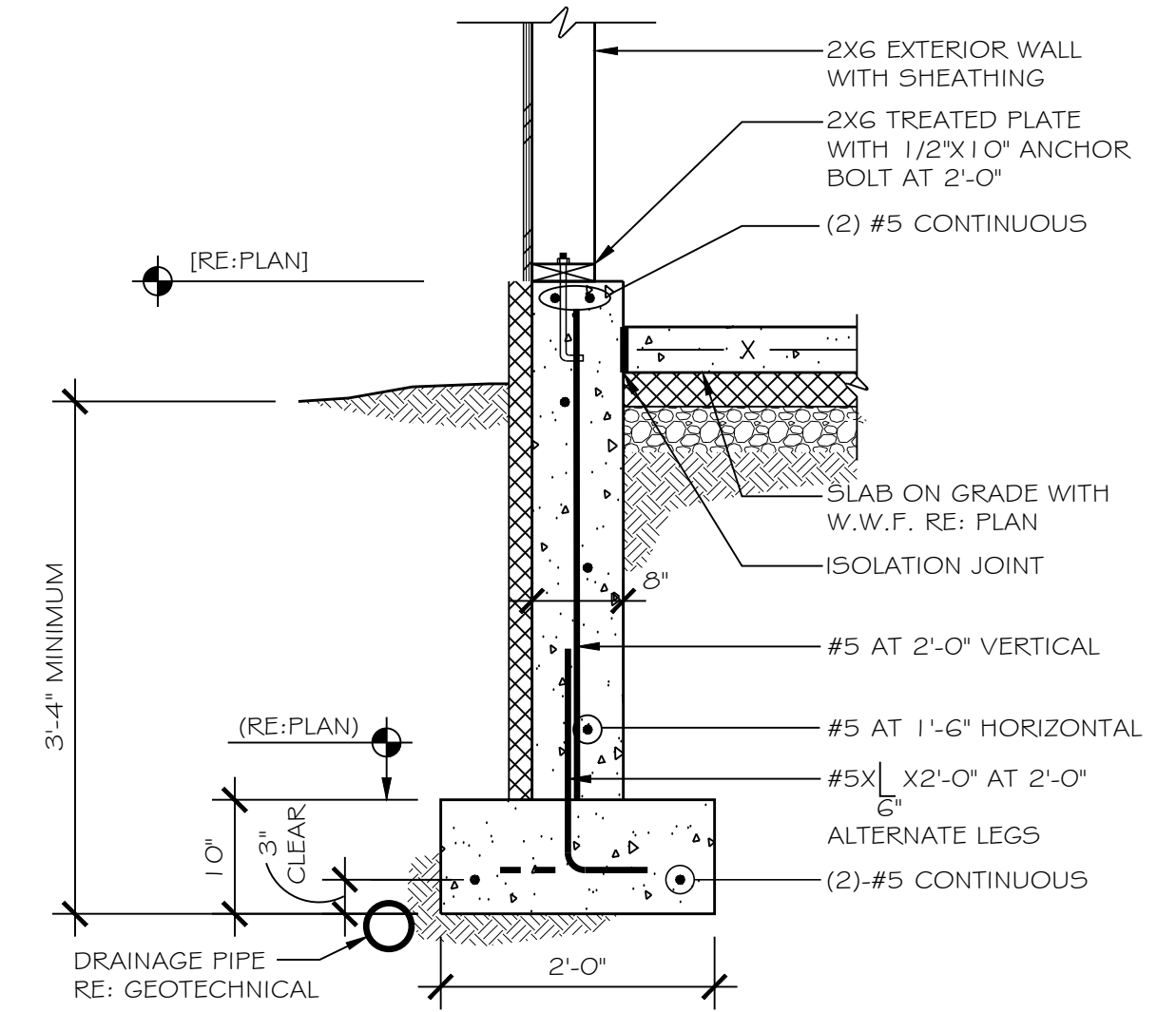
4 GARAGE BACK WALL

SCALE: 3/4" = 1'-0"



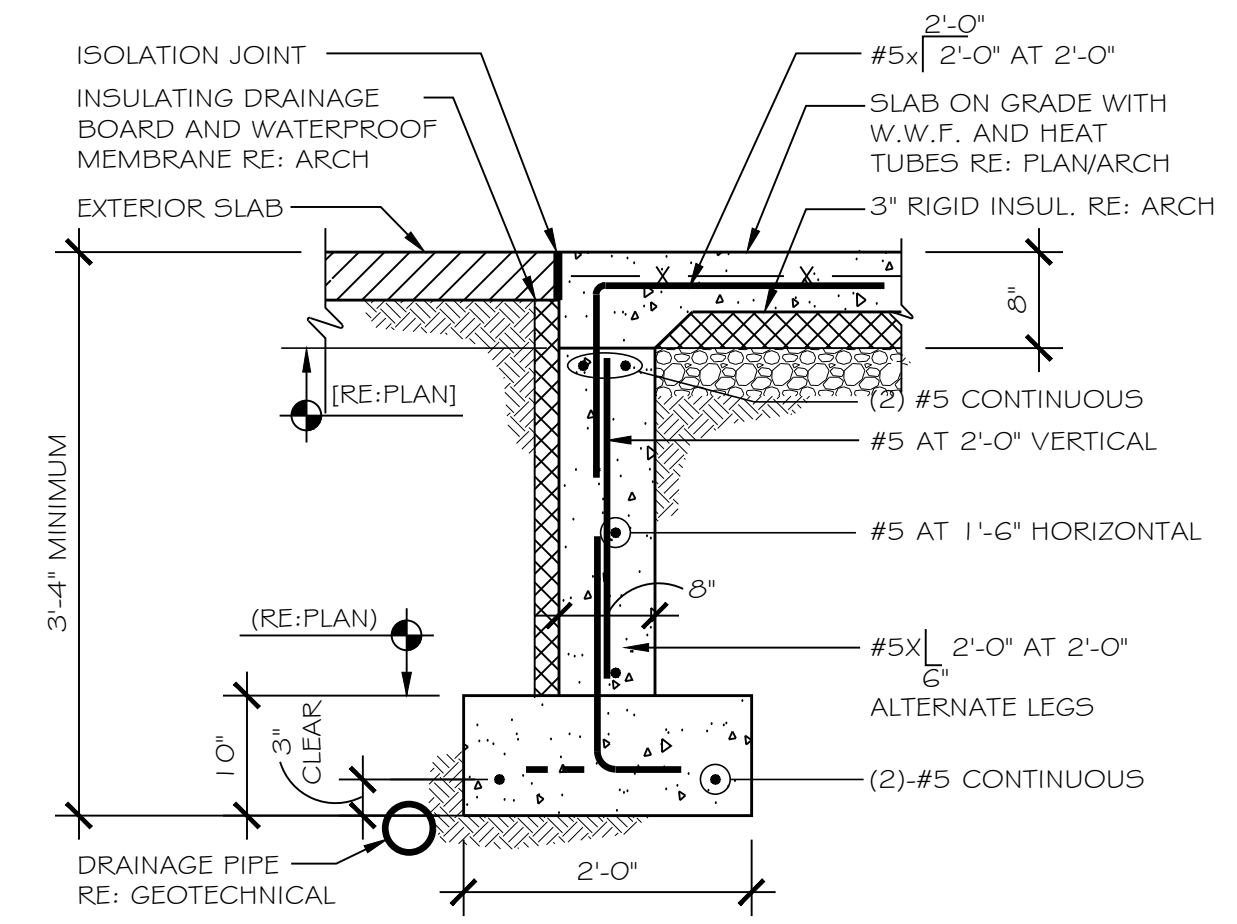
5 GARAGE SIDE WALL

SCALE: 3/4" = 1'-0"



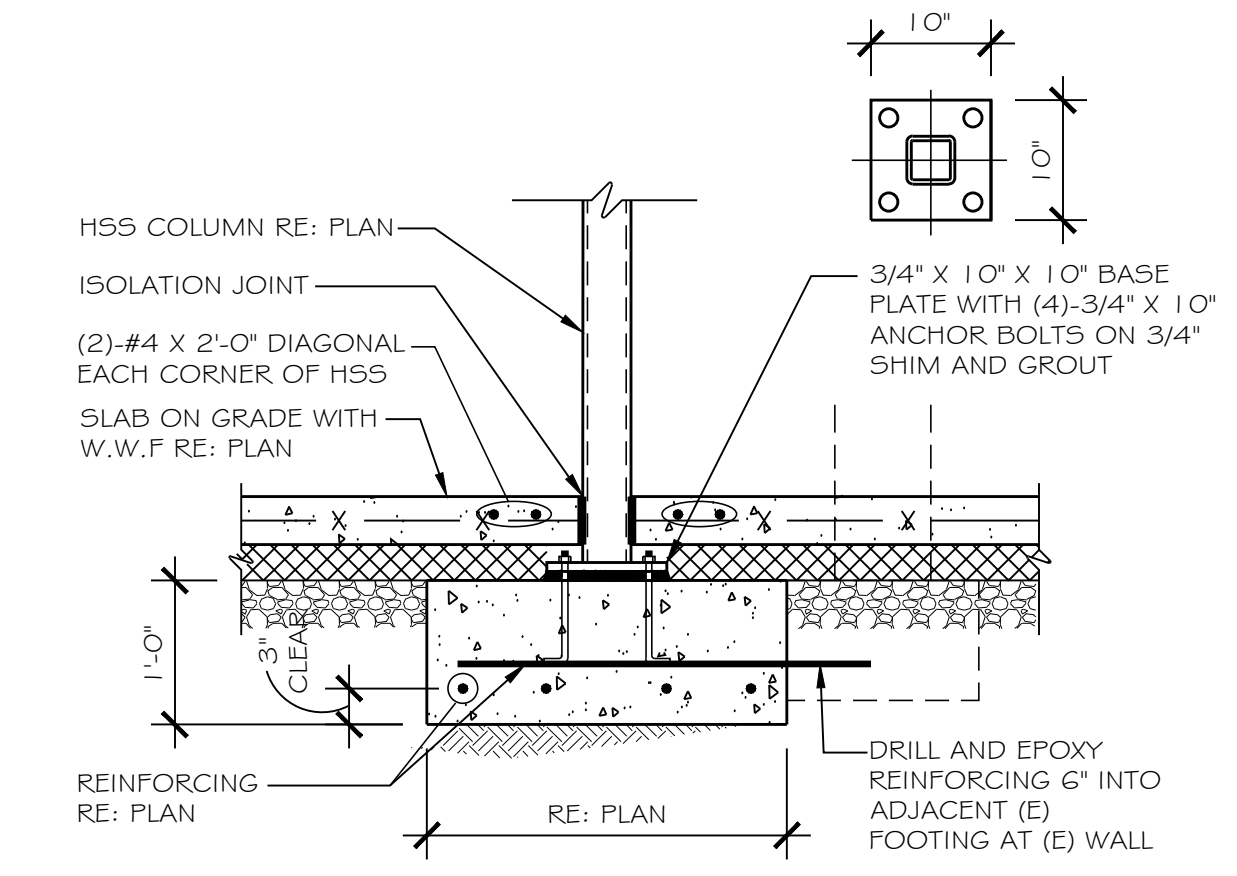
1 LOWER FOUNDATION

SCALE: 3/4" = 1'-0"



2 FOUNDATION AT DOOR

SCALE: 3/4" = 1'-0"



3 HSS COLUMN FOOTING

SCALE: 3/4" = 1'-0"

**FOX STRUCTURAL ENGINEERING, LLC**

216 SNOWBERRY WAY  
DILLON, COLORADO 80435  
(970) 376-2005

**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

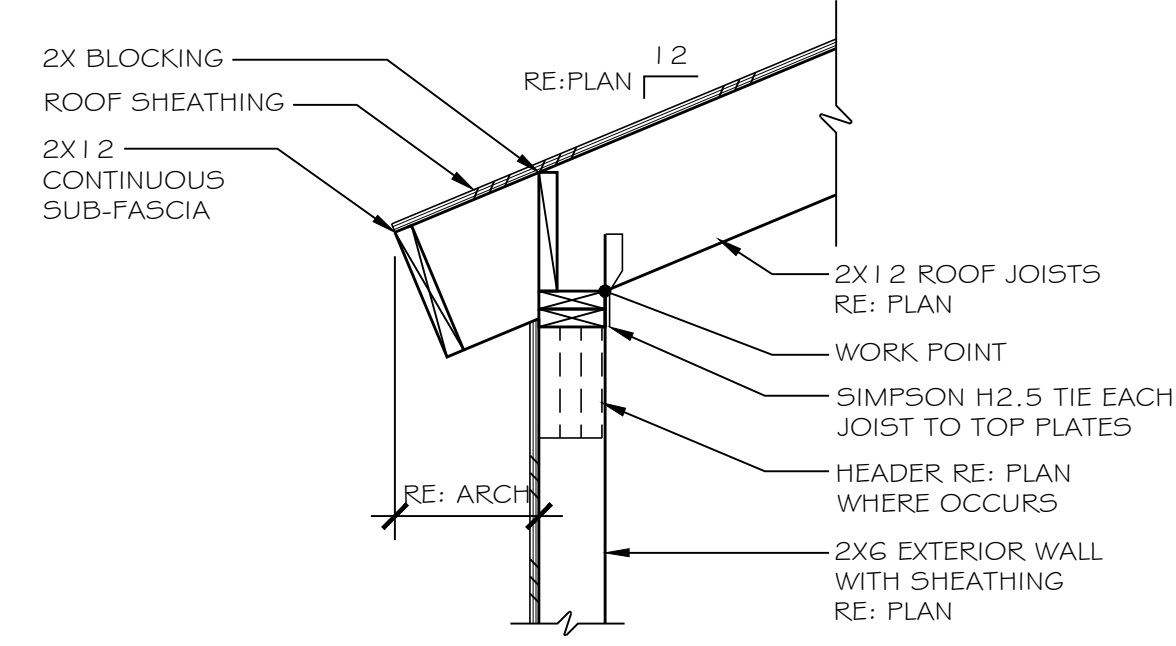
**S2.1**

NOTES & DETAILS

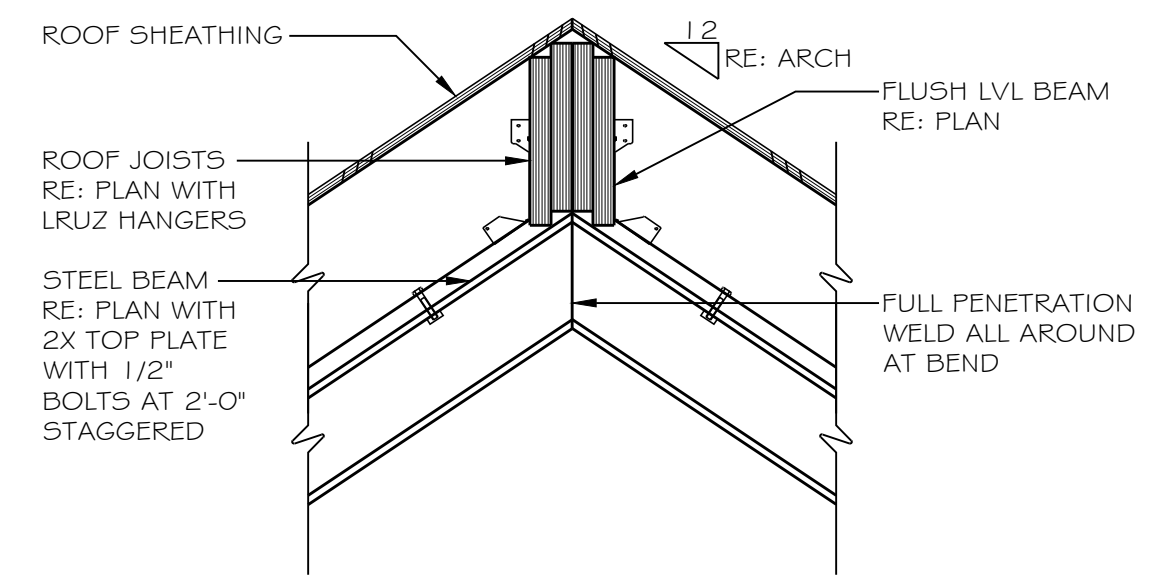
**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

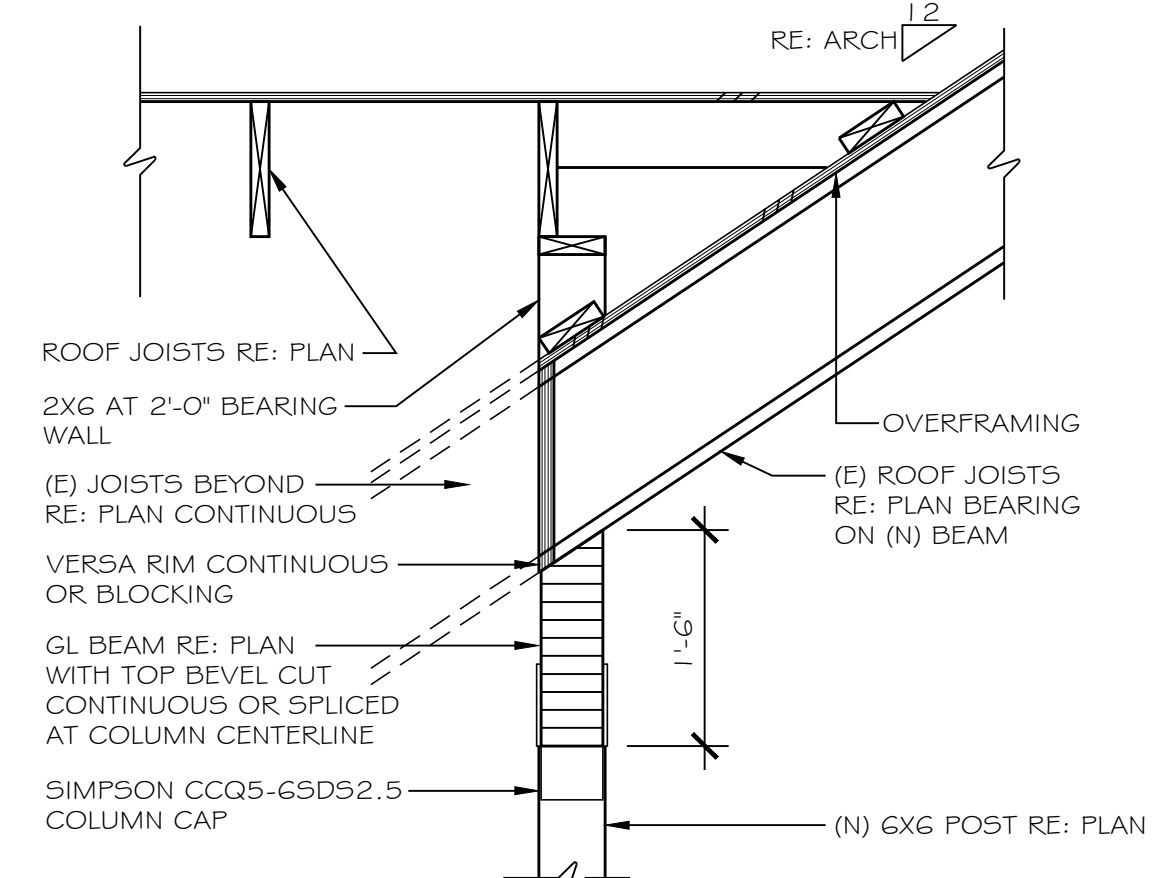
**S2.2**  
FRAMING DETAILS



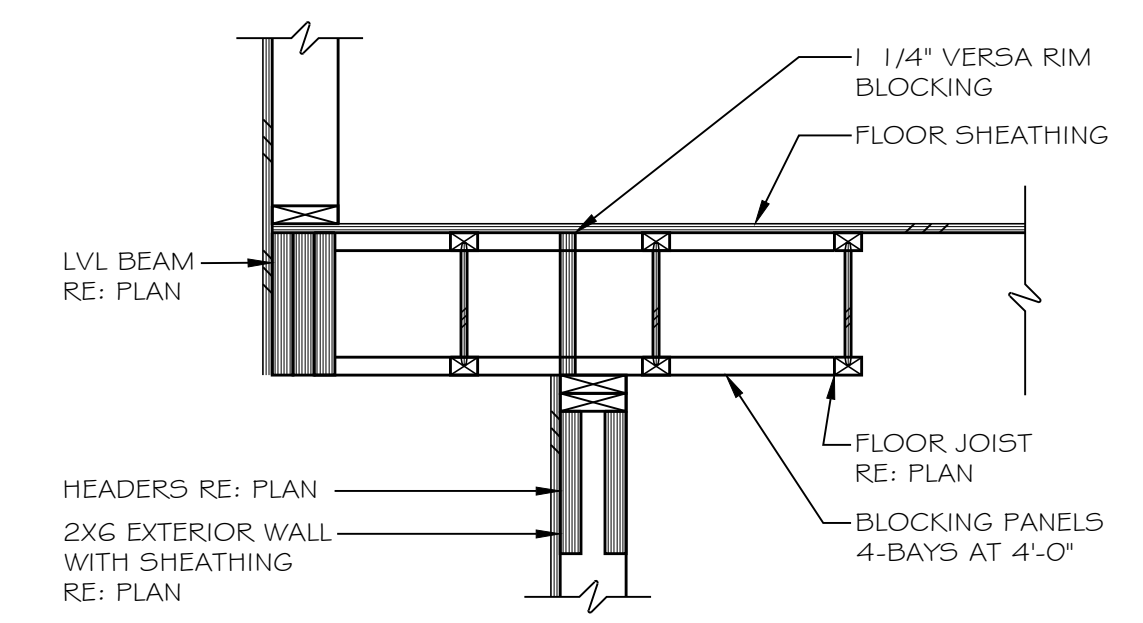
**11 EAVE SECTION**  
SCALE: 3/4" = 1'-0"



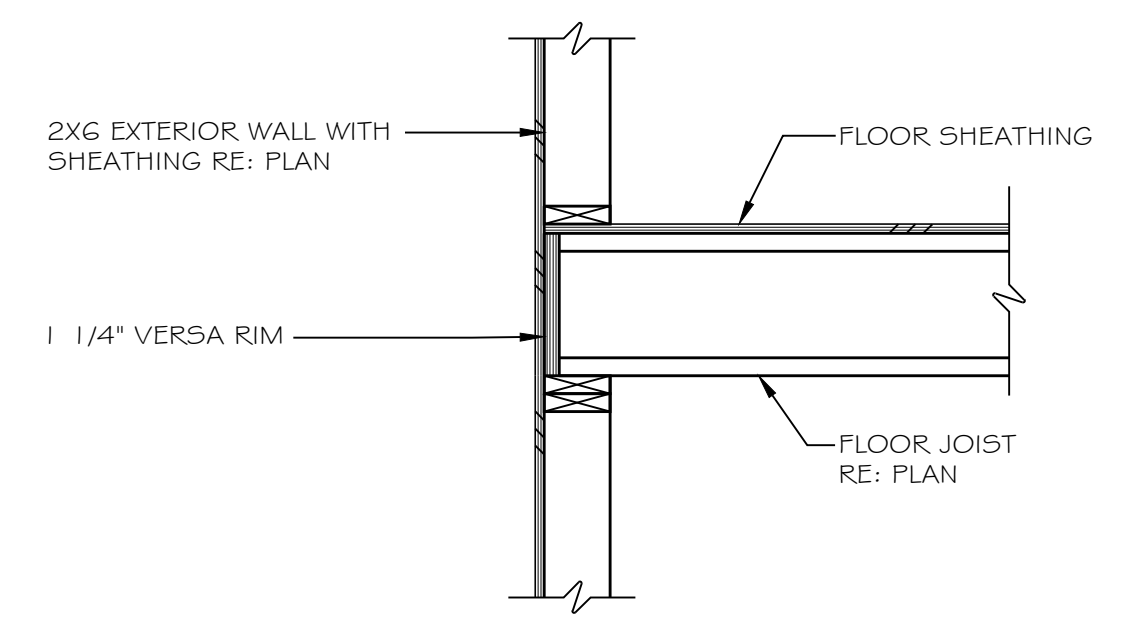
**12 FLUSH LVL RIDGE**  
SCALE: 3/4" = 1'-0"



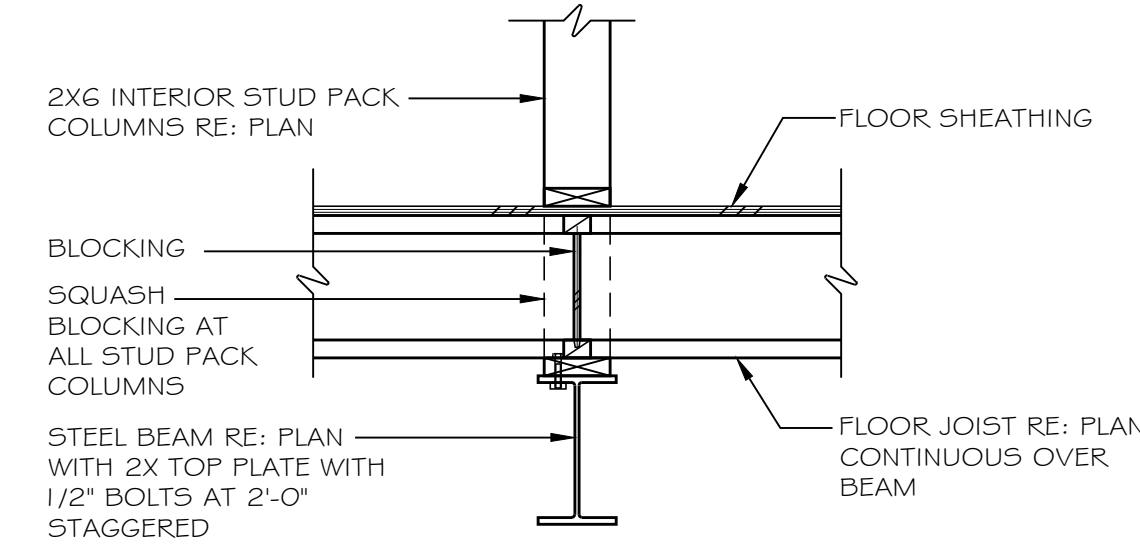
**13 (N) ROOF BEAM AT (E)**  
SCALE: 3/4" = 1'-0"



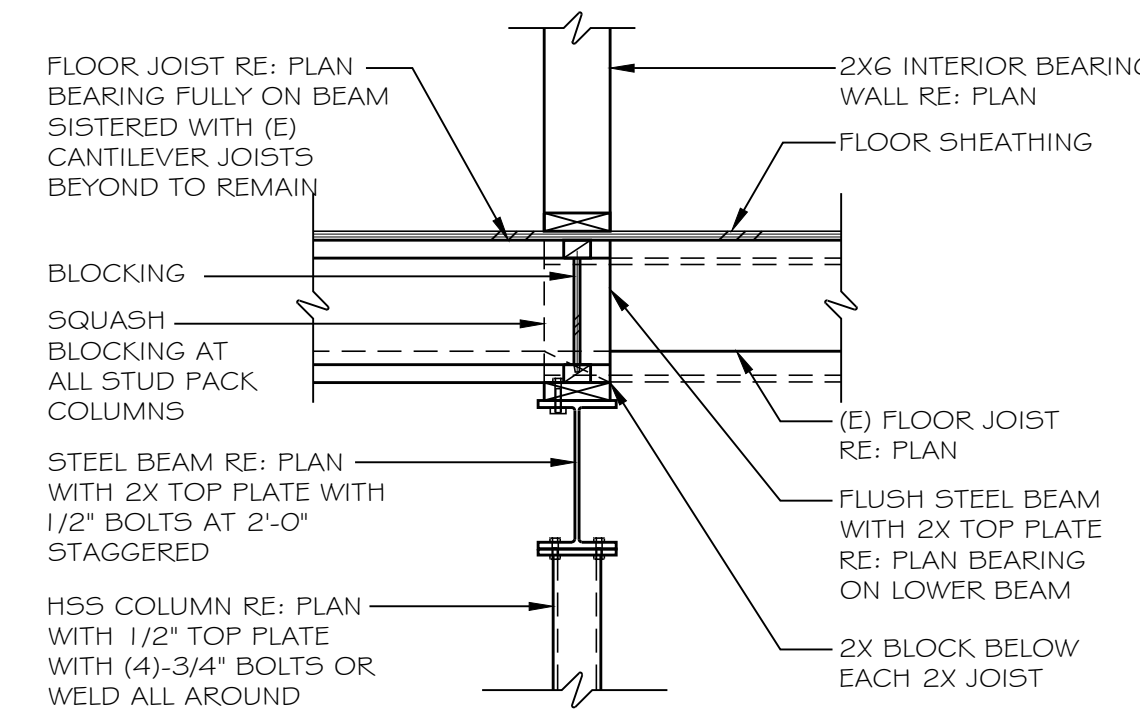
**6 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



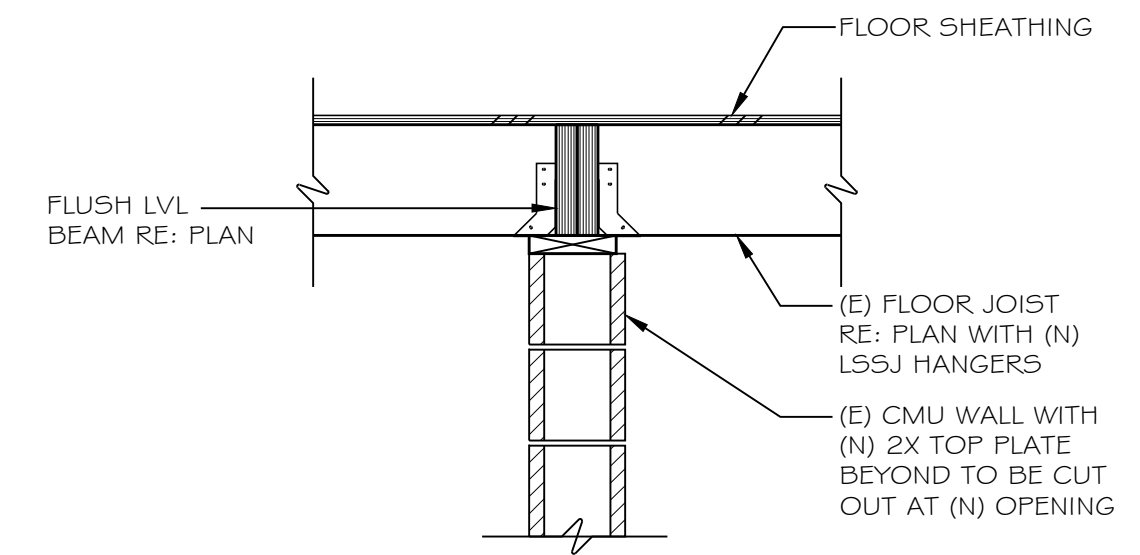
**1 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



**2 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"

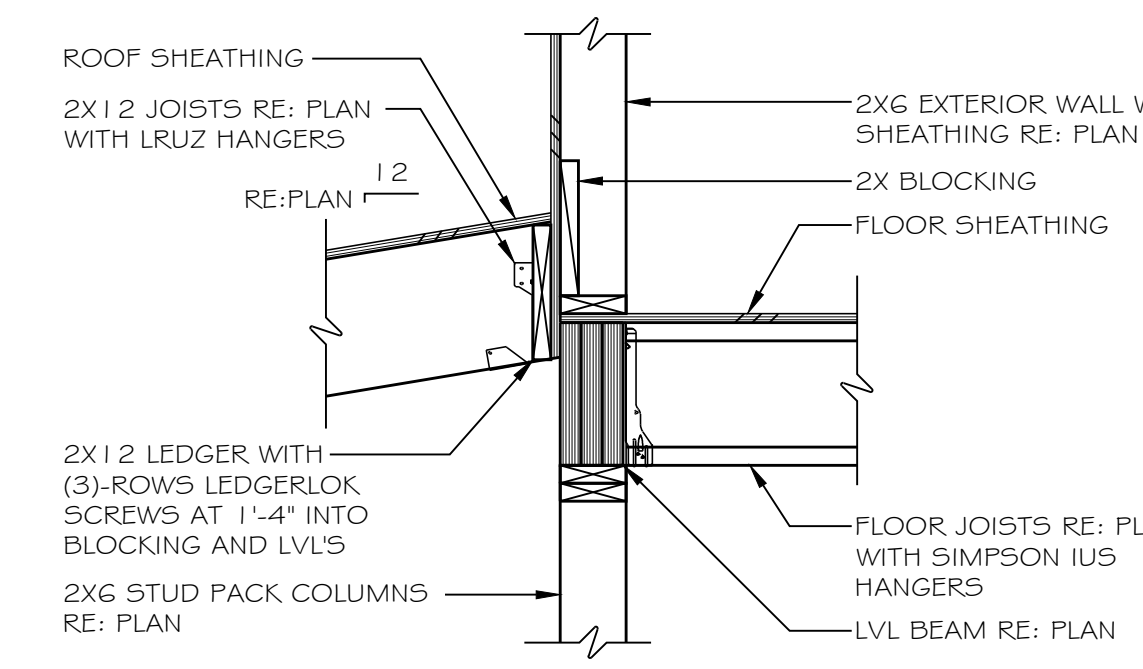


**3 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"

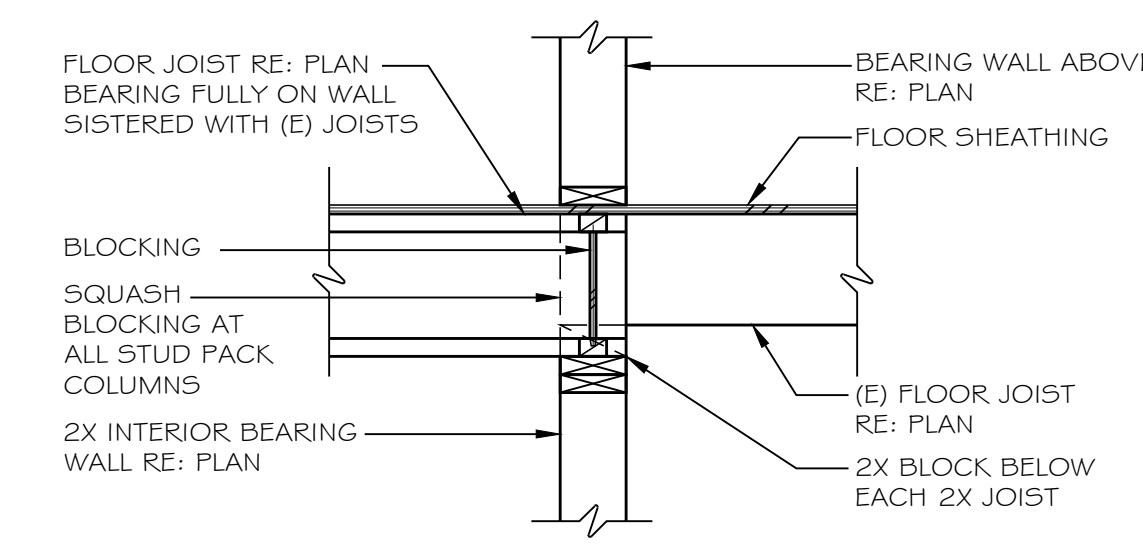


**4 FLUSH BEAM AT CMU**  
SCALE: 3/4" = 1'-0"

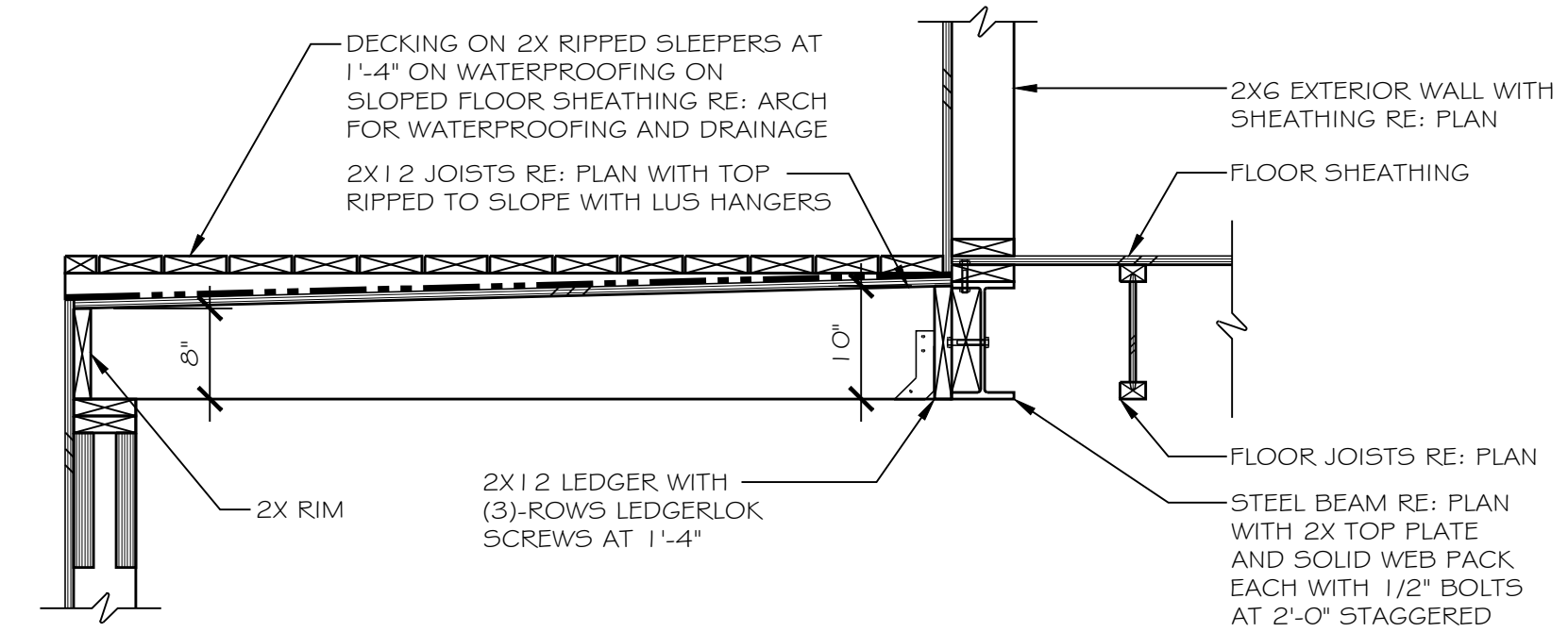
**7 NOT USED**  
SCALE: 3/4" = 1'-0"



**8 FLUSH LVL BEAM / LOW ROOF**  
SCALE: 3/4" = 1'-0"



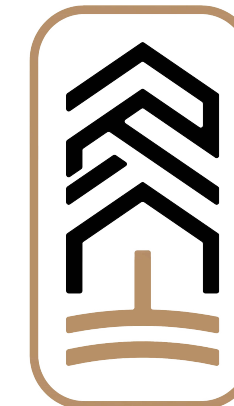
**9 BEARING WALL SECTION**  
SCALE: 3/4" = 1'-0"



**10 UPPER LEVEL DECK**  
SCALE: 3/4" = 1'-0"

**5 NOT USED**  
SCALE: 3/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

# Fitzgerald Addition

0034 RUSTIC TERRACE - BLUE RIVER, COLORADO

## GENERAL NOTES

### 1) COPYRIGHT:

ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ROOTED ARCHITECTURE, LLC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR OR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

### 2) CODES:

THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY BLUE RIVER, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

### 3) FIELD VERIFICATION:

VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

### 4) DIMENSIONS:

WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR OP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

### 5) DISCREPANCIES:

THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

### 6) DUTY OF COOPERATION:

RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

### 7) CHANGES TO THE WORK:

ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

### 8) WORKMANSHIP:

IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

### 9) SUBSTITUTIONS:

SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

### 10) CONSTRUCTION SAFETY:

THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

### 11) EXCAVATION PROCEDURES:

UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

### 12) FIELD CUTTING OF STRUCTURAL MEMBERS:

THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

### 13) EXTERIOR MATERIAL MOCK UP:

THE GENERAL CONTRACTOR SHALL PROVIDE A MOCK UP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER. THIS MOCK UP SHALL BE PROVIDED AND SIGNED OFF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONE WORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

### 14) WEATHER CONDITIONS:

THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

### 15) BUILDING AREA

BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

### 16) PROJECT STAKING

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

### 17) SITE DISTURBANCE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

### 18) PROJECT GRADES

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

### 19) EXISTING CONDITIONS

THE PLANNED MODIFICATIONS AND ADDITIONS INCLUDED IN THESE DOCUMENTS DO NOT REQUIRE CHANGES OR MODIFICATIONS TO THE EXISTING STRUCTURAL COMPONENTS OF THIS BUILDING. THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL STRUCTURAL CONDITIONS ARE UNCHANGED DURING DEMOLITION AND CONSTRUCTION. ANY AND ALL STRUCTURAL COMPONENTS DISCOVERED TO REQUIRE MODIFICATION SHALL BE REPORTED TO THE ARCHITECT AND IF REQUIRED, REFERRED TO A STRUCTURAL ENGINEER FOR EVALUATION AND RECOMMENDATION BEFORE WORK PROCEEDS IN AFFECTED AREA.

### 20) 3D MODELING

THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA, UNLESS OTHERWISE AGREED IN WRITING. ANY USE OF TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

## PROJECT DATA

### LEGAL DESCRIPTION:

0034 RUSTIC TER (CR 603) BLUE RIVER, COLORADO 80461  
LOT 8 BLUE ROCK SPRINGS SUBDIVISION

## USGS DATUMS

EXISTING GARAGE: 100'-0" = 10,000.1' USGS

MAIN LEVEL: 109'-6" = 10,009.6' USGS

LOFT LEVEL: 118'-5" = 10,018.4' USGS

NOTE: CONTRACTOR TO VERIFY ALL EXISTING DATUMS  
PRIOR TO CONSTRUCTION

## AREAS CALCULATIONS

	FINISHED (EXIST)	UNFINISHED (EXIST)	FINISHED (NEW)	UNFINISHED (NEW)	TOTAL
LOWER LEVEL	298 SF	434 SF	0 SF	767 SF	1,499 SF
MAIN LEVEL	1,277 SF	0 SF	506 SF	0 SF	1,783 SF
LOFT LEVEL	532 SF	0 SF	271 SF	0 SF	803 SF
<b>TOTAL:</b>	<b>2,107 SF</b>	<b>434 SF</b>	<b>777 SF</b>	<b>767 SF</b>	<b>4,085 SF</b>

NOTE: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

## CODE INFORMATION

### ADOPTED CODES:

2018 International Residential Code with Blue River Amendments  
2018 International Energy Conservation Code with Blue River Amendments  
Blue River Development Code

## ENERGY REQUIREMENTS

### ENERGY EFFICIENT DESIGN FEATURES:

- RADIANT HEATING SYSTEM, MINIMUM 95% AFUE.
- HIGH-EFFICACY LED LIGHTING
- ENERGY EFFICIENT WATER HEATER. ELECTRIC MINIMUM 0.95 ENERGY FACTOR /GAS, MINIMUM 0.76 ENERGY FACTOR.
- PROVIDE AN ELECTRICAL CAR CHARGING ROUGH IN, INCLUDING A BLANKED ELECTRICAL BOX, AND A RACEWAY TERMINATING IN THE ELECTRICAL PANEL.
- PROVIDE PV READY CONSTRUCTION INCLUDING A METAL RACEWAY FROM THE ELECTRICAL PANEL TO THE ROOF LOCATION WHERE THE PANELS WILL BE INSTALLED, INCLUDING A ROOF JACK, A #8 COPPER GROUND, A 2 PULL BLANK IN THE ELECTRICAL PANEL AND AN ELECTRICAL CONDUIT FROM THE ELECTRICAL PANEL OUT TO THE ELECTRIC METER.
- WATERSENSE FIXTURES THROUGHOUT.
- (OPTIONAL) HRV/ ERV, 65% SENSIBLE HEAT RECOVERY EFFICIENCY, MEETING MINIMUM AIRFLOW RATES PER IRC INSTALLED.
- PROGRAMMABLE THERMOSTATS.

### THERMAL ENVELOPE REQUIREMENTS (2018 IRC CH. 11 - SUMMIT COUNTY ZONE 7):

<b>ROOF/ CEILING:</b>	R49 CLOSED-CELL SPRAY FOAM
<b>ABOVE GRADE WALLS:</b>	R23 CAVITY CLOSED-CELL SPRAY FOAM PER AMENDMENT TO TABLE N1102.1.2 (IECC R402.1.2) R10 /4' MAX U 0.30 / SHGC N/A
<b>SLABS, INCLUDING SLAB EDGE:</b>	R38
<b>FENESTRATIONS:</b>	R15 CI OR R19 CAVITY
<b>FLOOR R-VALUE:</b>	R15 CI OR R19 CAVITY
<b>BASEMENT WALL:</b>	ACH 2.7 AT A PRESSURE 0.2 INCHES W.G. (50 PASCALS)
<b>BLOWER DOOR:</b>	

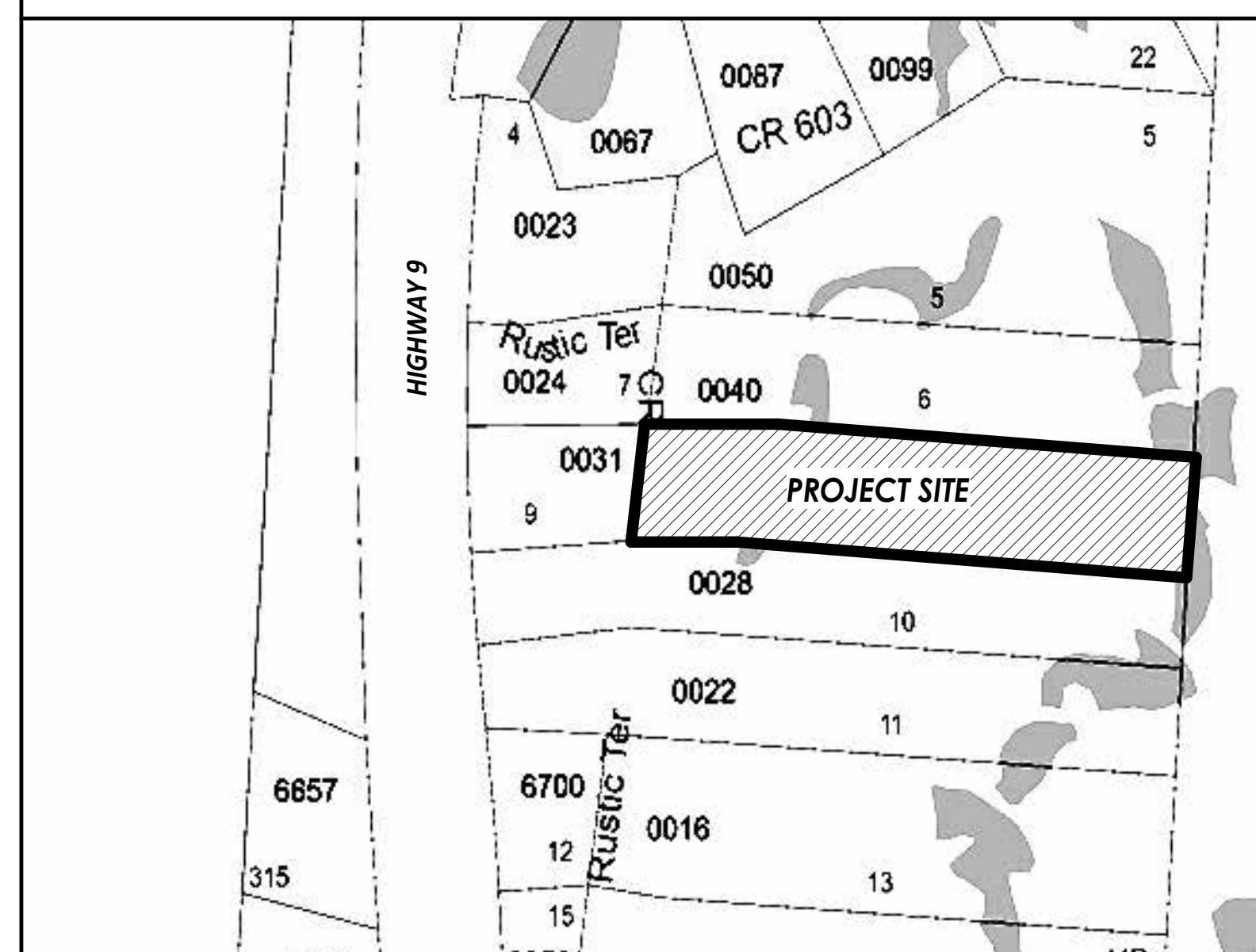
THESE SPECIFICATIONS ARE BASED OFF OF THE 2018 IECC RESIDENTIAL THERMAL ENVELOPE REQUIREMENTS AS DESCRIBED IN TABLE R402.1.3, WHICH SHOULD BE REFERRED TO FOR INTERPRETATION REASONS. SEE PLANS AND DETAILS RELATED TO SPECIFIC INSULATION REQUIREMENTS FOR EXTERIOR BUILDING ENVELOPE.

THERMAL AND VAPOR CONTROL DESIGN BASED ON CLOSED-CELL FOAM INSULATION AND AIR SEALING THROUGHOUT.

## SHEET INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0.1	COVER SHEET	05.01.2023
A0.2	ENLARGED SITE PLAN	05.01.2023
A1.1	FLOOR PLAN - LOWER	05.01.2023
A1.2	FLOOR PLAN - MAIN	05.01.2023
A1.3	FLOOR PLAN - UPPER	05.01.2023
A1.4	ROOF PLAN	05.01.2023
A2.1	CEILING PLANS	05.01.2023
A4.1	EXTERIOR ELEVATIONS	05.01.2023
A5.1	BUILDING SECTIONS	05.01.2023
A6.1	POWER PLANS	05.01.2023
A7.1	DETAILS	05.01.2023
S1.1	FOUNDATION PLAN	05.01.2023
S1.2	MAIN LEVEL FRAMING PLAN	05.01.2023
S1.3	UPPER LEVEL FRAMING PLAN	05.01.2023
S1.4	ROOF FRAMING PLAN	05.01.2023
S2.1	NOTES AND DETAILS	05.01.2023
S2.2	FRAMING DETAILS	05.01.2023

## LOCATION MAP



## SURVEYOR

SCHMIDT LAND SURVEYING, INC.  
LIZ SCHMIDT  
970 409-9963

## INTERIOR DESIGN

## STRUCTURAL ENG.

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## CONTRACTOR

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## ARCHITECT

ROOTED ARCHITECTURE, LLC  
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## OWNER

TOM AND ALEX FITZGERALD  
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TMFITZGERALD@GMAIL.COM

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: 12" = 1'-0"

DRAWING TITLE:

COVER SHEET

DRAWING NO:

**A0.1**



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION

34 RUSTIC TERRACE BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:  
**ENLARGED SITE PLAN**  
 DRAWING NO:

A0.2

- NOTES: SITE PLAN**
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
  2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
  3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
  4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
  5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
  6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
  7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
  8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

- NOTES: SITE CONTOUR LEGEND**
- EXISTING MAJOR CONTOUR: 10.000'
- EXISTING MINOR CONTOUR: 10.002'
- PROPOSED CONTOUR: 10.002'

- NOTES: SITE DRAINAGE**
1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
  2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE OF AT LEAST 1/4" AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO LAKE COUNTY DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENTS.
  3. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS:
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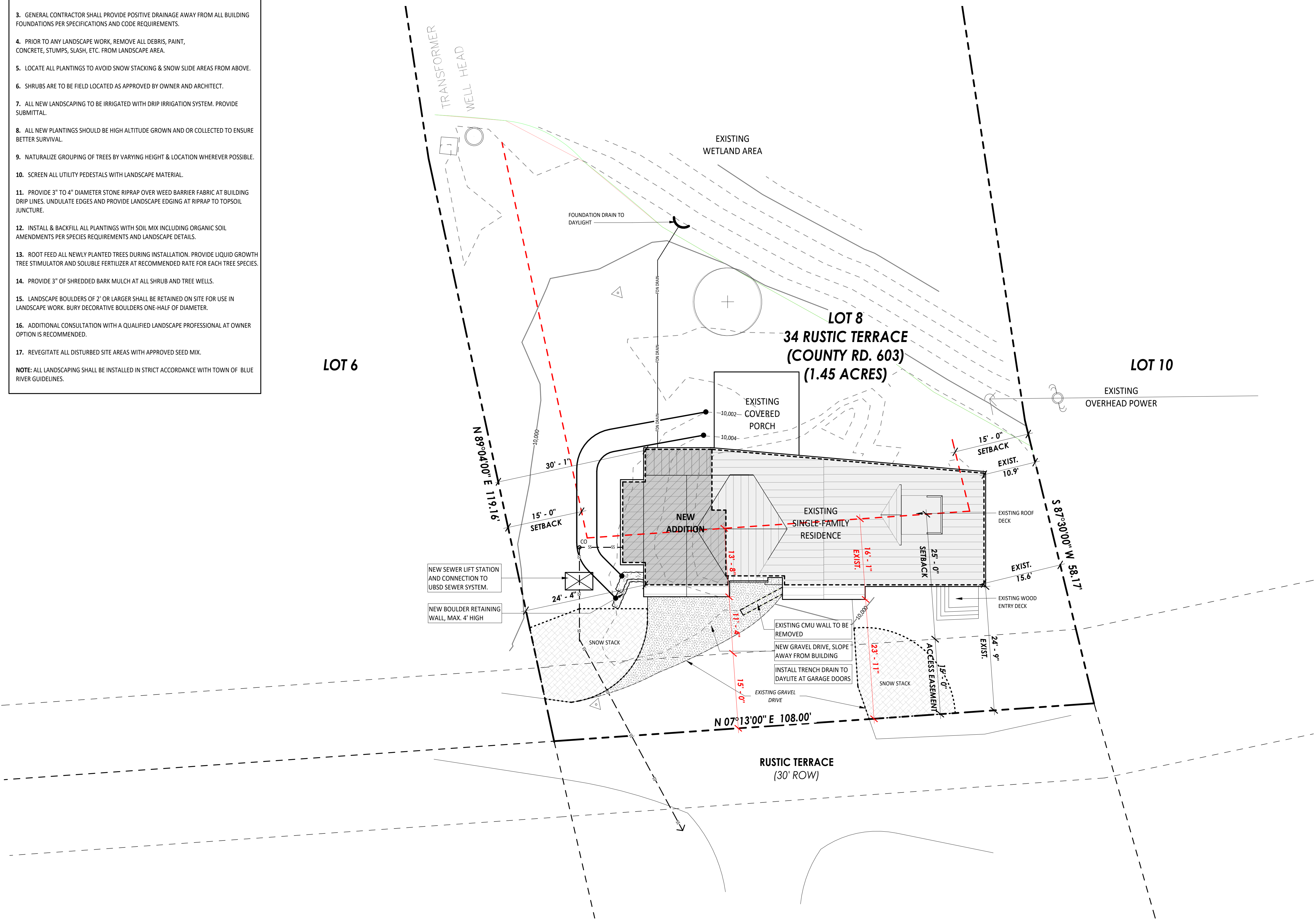
- NOTES: FOUNDATION DRAIN**
- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
  2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
  3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 3/4-INCH TO 1-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
  4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).

**SNOWSTACK CALCULATIONS**

	SQUARE FOOTAGE	PERCENTAGE
EXISTING DRIVEWAY	998 SF	
NEW DRIVEWAY	317 SF	
DECKS AND HARDSCAPE	NA	
TOTAL COVERAGE	1,315 SF	100%
SNOWSTACK REQUIRED	329 SF	25%
SNOWSTACK PROVIDED	605 SF	46%

TOTAL LOT AREA: 1.45 ACRES

- NOTES: LANDSCAPE**
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND. PROVIDE 2"-3" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX (AS APPROVED BY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
  2. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
  3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
  4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
  5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
  6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
  7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
  8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
  9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
  10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
  11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
  12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
  13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
  14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
  15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
  16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
  17. REVEGETATE ALL DISTURBED SITE AREAS WITH APPROVED SEED MIX.
- NOTE:** ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF BLUE RIVER GUIDELINES.



1 SITE PLAN - ENLARGED  
1" = 10'-0"





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FITZGERALD ADDITION  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - LOWER

DRAWING NO:

A1.1

NOTES: FLOOR PLAN

- 1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
12. CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

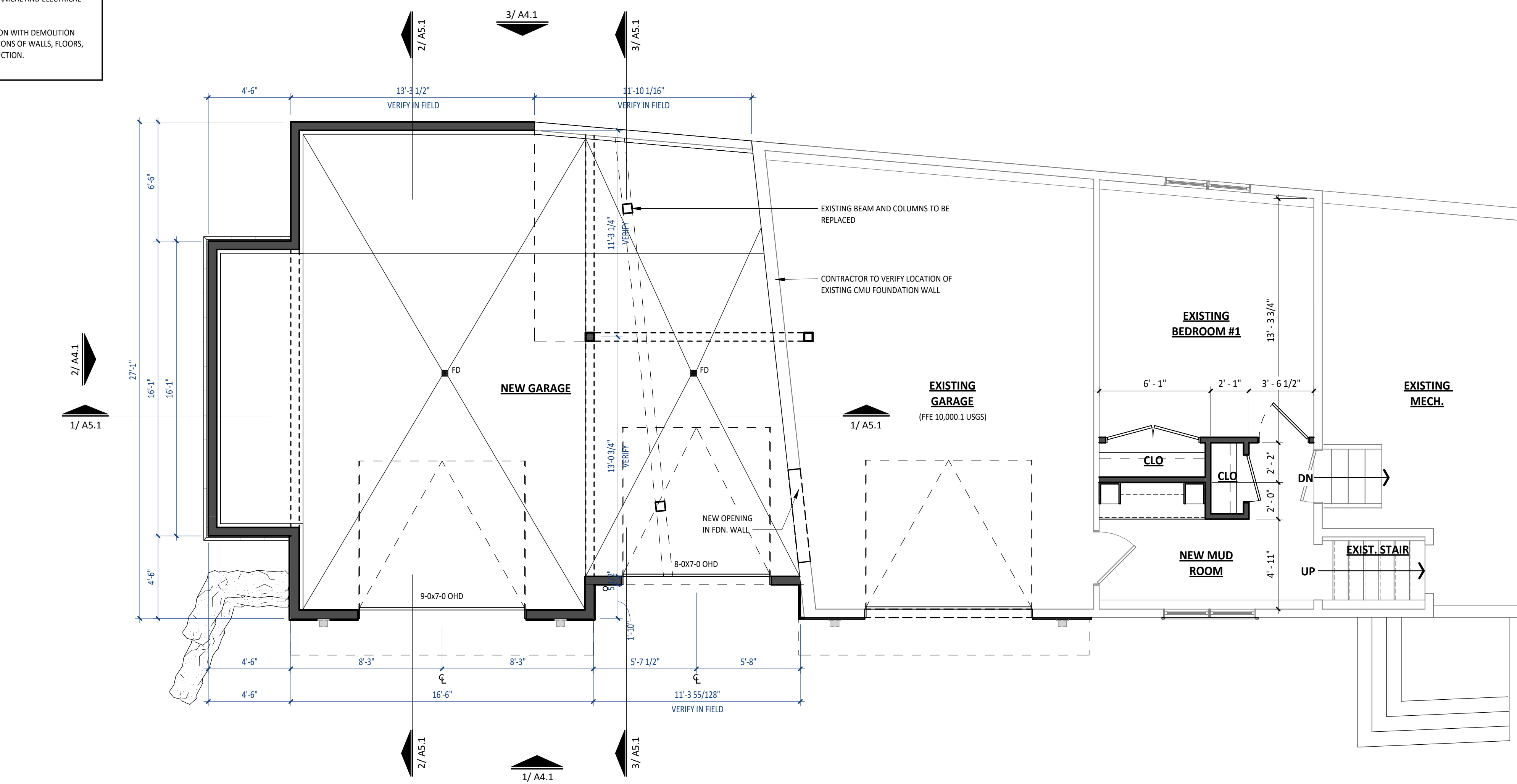
- 1. ALL WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF WINDOW; CONTRACTOR TO COORDINATE ACTUAL REQUIRED ROUGH OPENING WITH WINDOW MANUFACTURER. PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
3. PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
4. PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
5. ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
7. PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
8. WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
9. INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
10. ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
11. WINDOWS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
12. COORDINATE WINDOW SILL HEIGHT WITH GYPCRETE AND FLOOR FINISH THICKNESS WHERE REQUIRED. VERIFY AT LOCATIONS WHERE WINDOW SILLS TERMINATE AT FLOOR LEVEL OR AT TOP OF MILLWORK.
13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

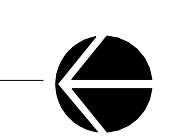
- NEW 2X4 / 2X6 WOOD STUD WALL
EXISTING 2X4 / 2X6 WOOD STUD WALL
EXISTING WALL TO BE REMOVED

NOTES: REMODEL

- 1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. CLEARANCES: THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
4. MATERIAL ALIGNMENT: THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
5. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.
8. CORRECTING DEFECTIVE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
9. PIPING: ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. FIXTURE REMOVAL: REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



1 FLOOR PLAN - LOWER LEVEL  
1/4" = 1'-0"





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FITZGERALD ADDITION  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:  
**FLOOR PLAN - MAIN**  
DRAWING NO:

**A1.2**

**NOTES: FLOOR PLAN**

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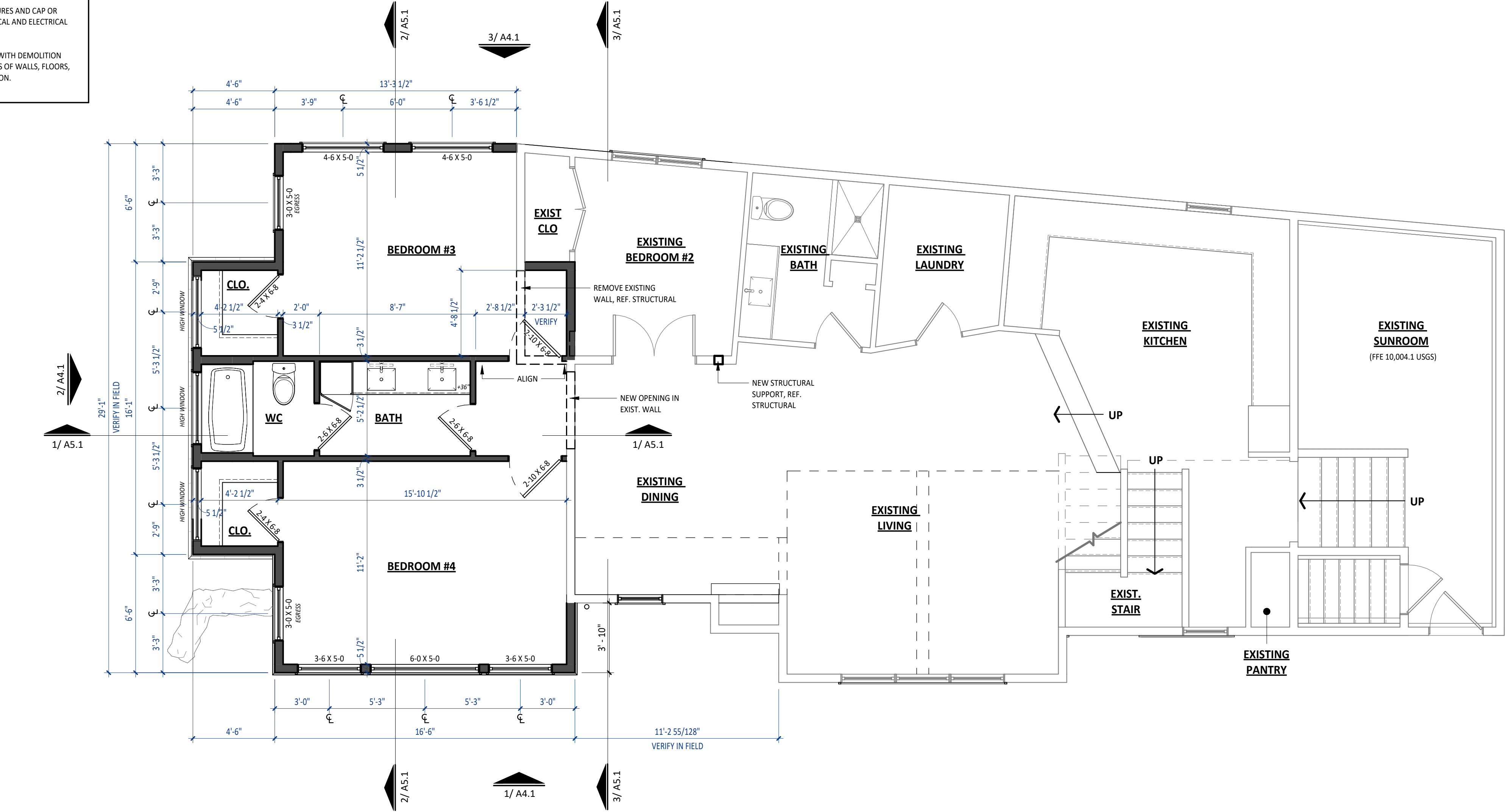
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**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

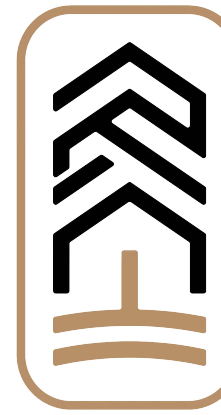
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9. **PIPING:** ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. **FIXTURE REMOVAL:** REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. **COORDINATION:** COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



**1 FLOOR PLAN - MAIN LEVEL**  
1/4" = 1'-0"





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - UPPER

DRAWING NO:

A1.3

NOTES: FLOOR PLAN

- 1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
12. CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

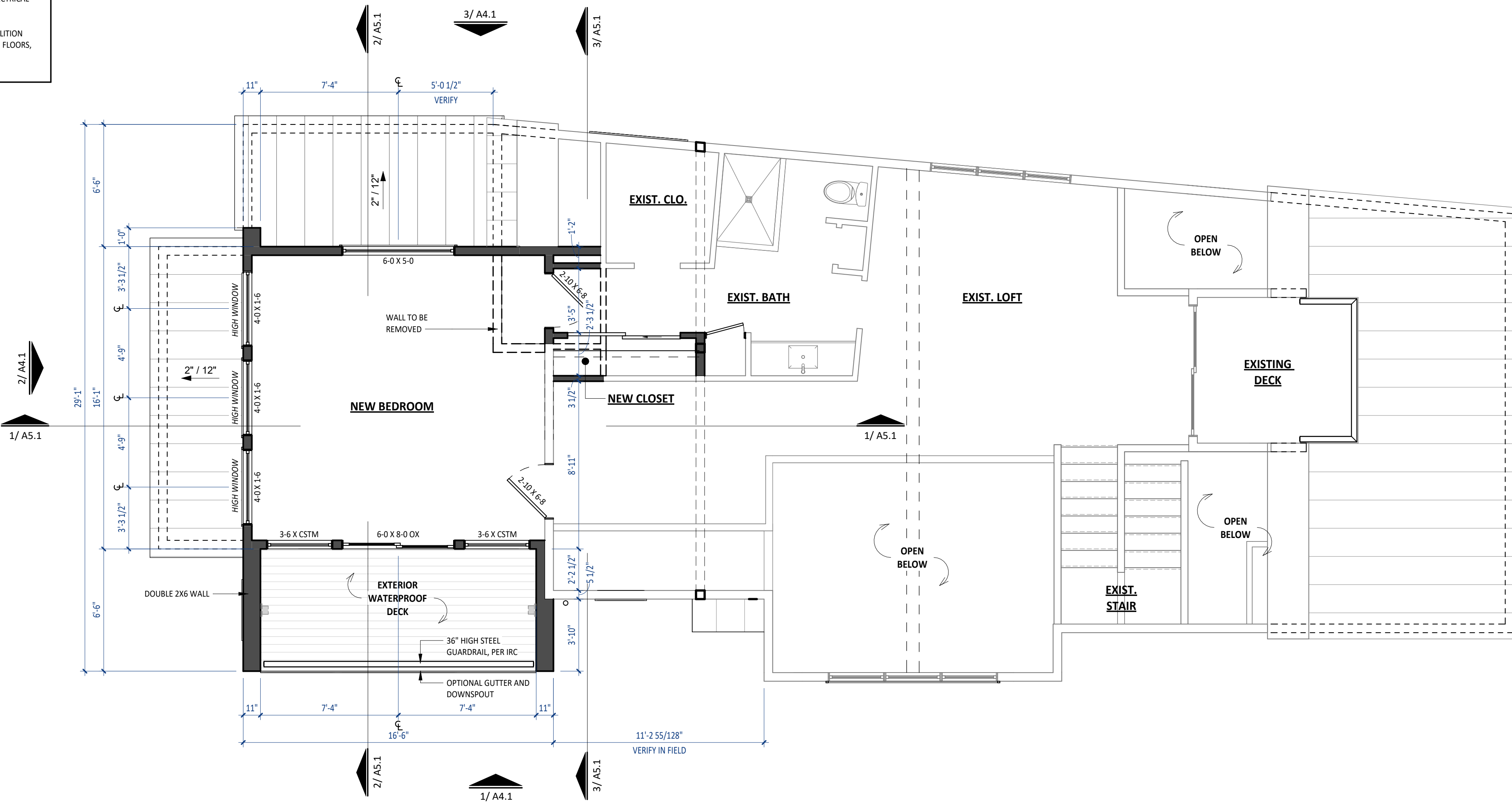
- 1. ALL WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF WINDOW; CONTRACTOR TO COORDINATE ACTUAL REQUIRED ROUGH OPENING WITH WINDOW MANUFACTURER. PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
3. PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
4. PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
5. ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
7. PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
8. WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
9. INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
10. ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
11. WINDOWS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
12. COORDINATE WINDOW SILL HEIGHT WITH GYPCRETE AND FLOOR FINISH THICKNESS WHERE REQUIRED. VERIFY AT LOCATIONS WHERE WINDOW SILLS TERMINATE AT FLOOR LEVEL OR AT TOP OF MILLWORK.
13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

- NEW 2X4 / 2X6 WOOD STUD WALL
EXISTING 2X4 / 2X6 WOOD STUD WALL
EXISTING WALL TO BE REMOVED

NOTES: REMODEL

- 1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. CLEARANCES: THE CONTRACTOR SHALL VERIFY THAT NEW CEILING CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
4. MATERIAL ALIGNMENT: THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
5. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.
8. CORRECTING DEFECTIVE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
9. PIPING: ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. FIXTURE REMOVAL: REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILING, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



1 FLOOR PLAN - UPPER LEVEL
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

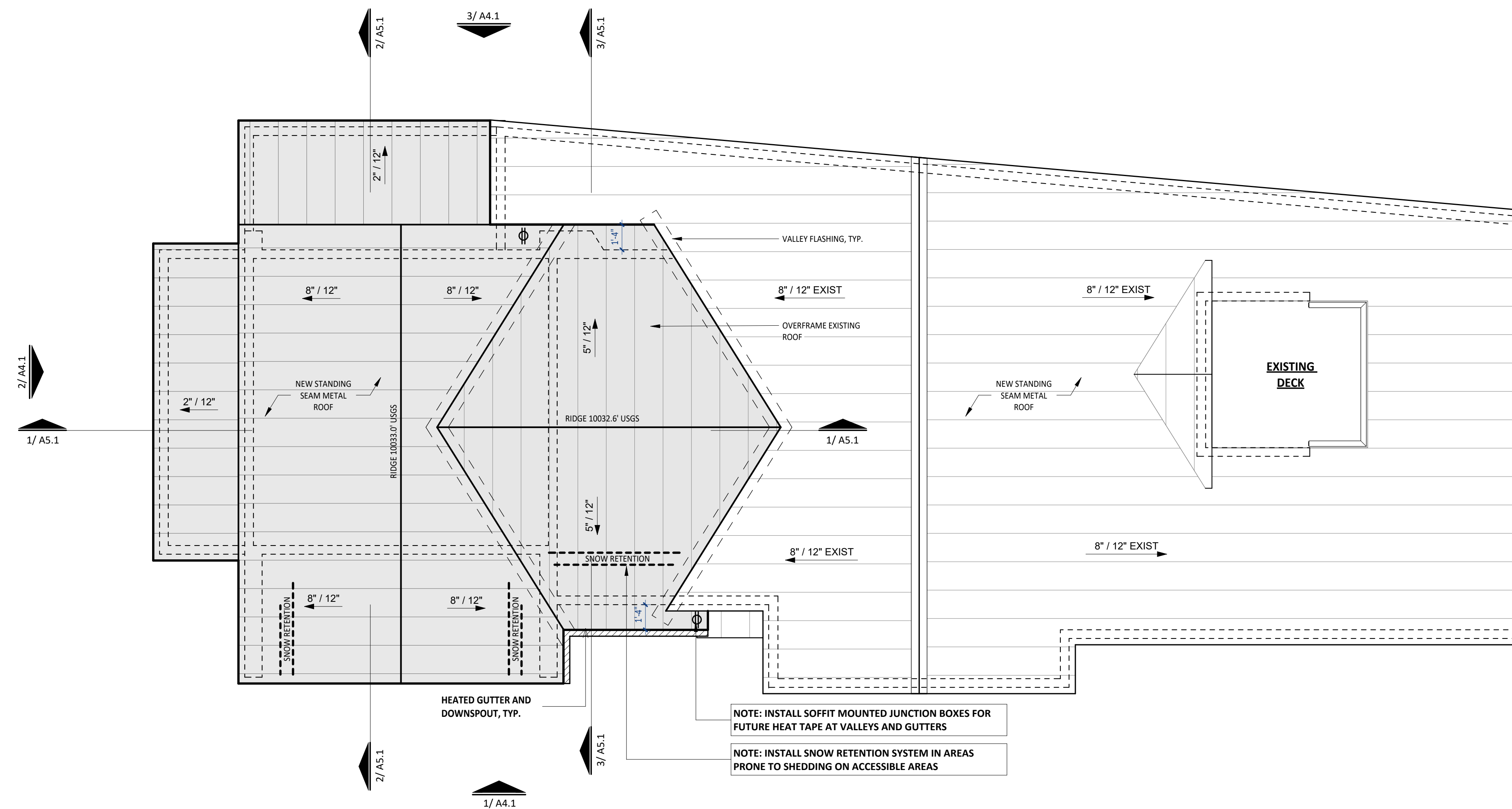
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



NOTE: INSTALL SOFFIT MOUNTED JUNCTION BOXES FOR FUTURE HEAT TAPE AT VALLEYS AND GUTTERS

NOTE: INSTALL SNOW RETENTION SYSTEM IN AREAS PRONE TO SHEDDING ON ACCESSIBLE AREAS

**1 ROOF PLAN**  
1/4" = 1'-0"

**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:  
**ROOF PLAN**

DRAWING NO:

**A1.4**



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ARCHITECTURE

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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DRAWING TITLE:

**CEILING PLANS**

DRAWING NO:

**A2.1**

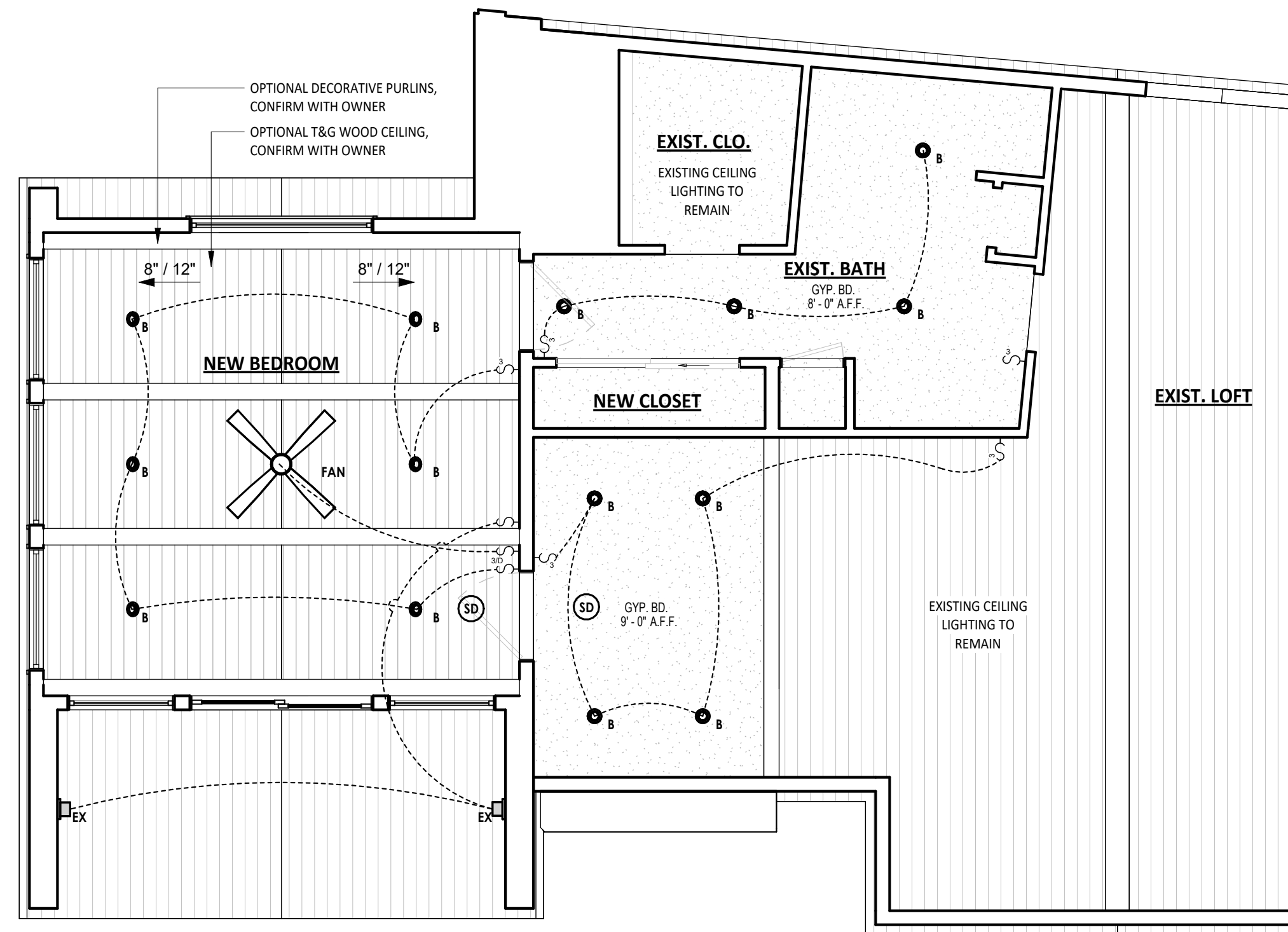
FIXTURE / DEVICE LEGEND	
	A 6" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	A1 6" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B 4" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B1 4" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B2 4" RECESSED CAN LIGHT (WALL WASHER) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	C DECORATIVE PENDANT FIXTURE FIXTURE TO BE SELECTED
	D 4" SURFACE MOUNT FLUORESCENT FIXTURE FIXTURE TO BE SELECTED
	E LINEAR LED UNDERCABINET TASK LIGHTING FIXTURE TO BE SELECTED
	F SURFACE MOUNT FIXTURE FIXTURE TO BE SELECTED
	WS WALL MOUNTED SCONCE FIXTURE FIXTURE TO BE SELECTED
	EX WALL MOUNTED EXTERIOR FIXTURE FIXTURE TO BE SELECTED
	FL WALL MOUNTED EXTERIOR FLOOD LIGHT FIXTURE FIXTURE TO BE SELECTED
	SD CEILING MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FAN CEILING MOUNTED CEILING FAN (WITH OPTIONAL LIGHT KIT) FIXTURE TO BE SELECTED

DEVICE CONTROL LEGEND	
	§ SINGLE POLE SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	§ <sup>D</sup> SINGLE POLE DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	§ <sup>3</sup> SINGLE POLE 3 WAY SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	§ <sup>3/D</sup> SINGLE POLE 3 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	§ <sup>4/D</sup> SINGLE POLE 4 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	§ <sup>S</sup> SINGLE POLE DOOR JAMB SWITCH LEVITON 1865 OR SIMILAR

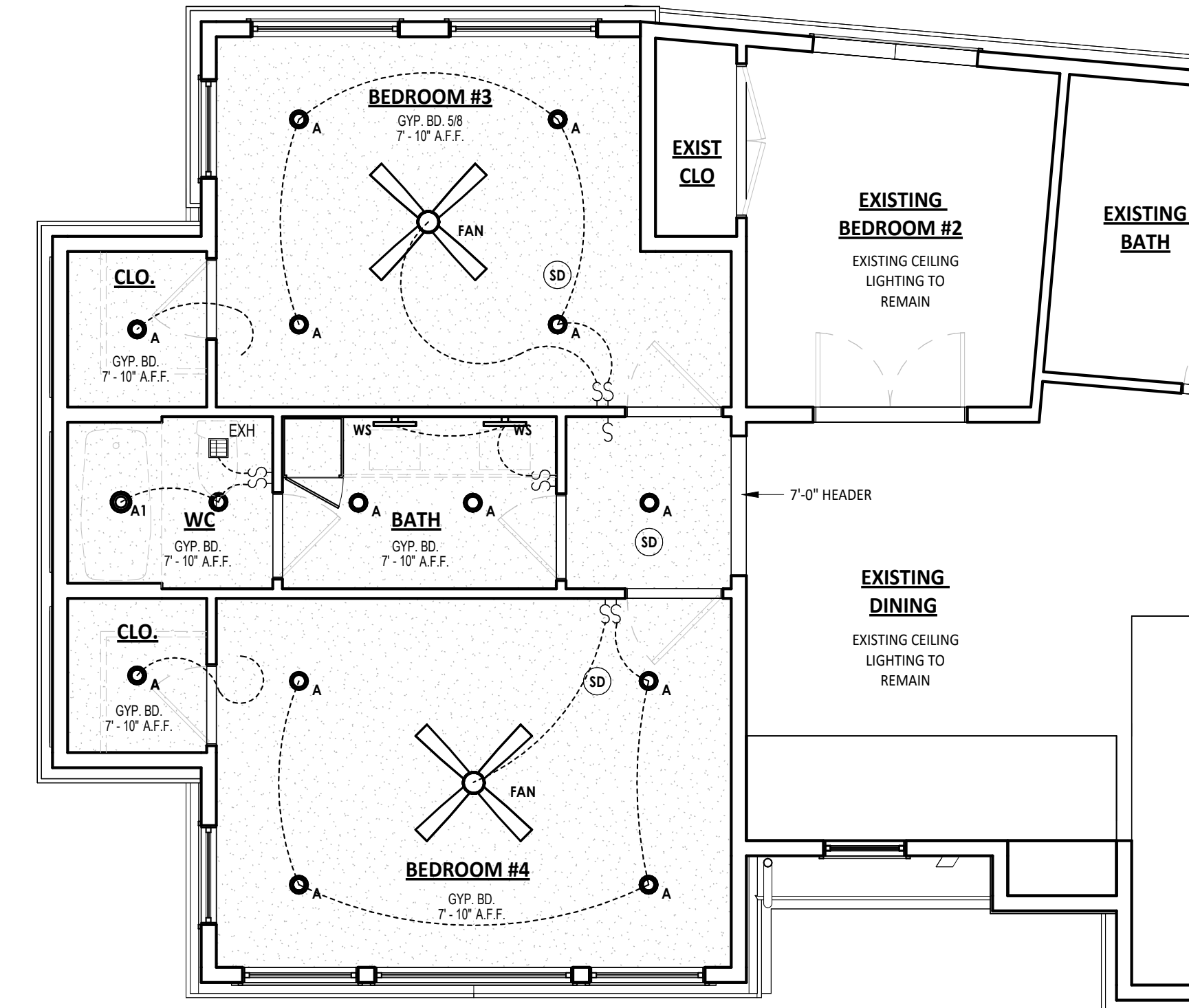
**NOTES: REFLECTED CEILING PLAN**

- ALL RCP DIMENSIONS ARE TO FACE OF FINISH OR FIXTURE CENTERLINE U.N.O.
- ALL CEILINGS ARE PAINTED GYPSUM BOARD U.N.O.
- REFERENCE FIXTURE LEGEND FOR FIXTURE TYPES AND DESIGNATIONS.
- LOCATE PAINTED METAL CEILING ACCESS PANELS BENEATH:  
- MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS  
- VALVES, BALANCING DEVICES, ELECTRICAL JUNCTIONS, F/S DAMPERS AND ALL OTHER ITEMS REQUIRING MAINTENANCE.
- COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT AND DUCTWORK WITH STRUCTURAL, AS WELL AS, WITH CEILING HEIGHTS SHOWN - NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS BEFORE PROCEEDING.
- IF ANY LIGHTING ITEMS OR CEILING FIXTURES CANNOT BE INSTALLED AT LOCATIONS SHOWN DUE TO FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY FOR ALTERNATE LOCATIONS BEFORE PROCEEDING.

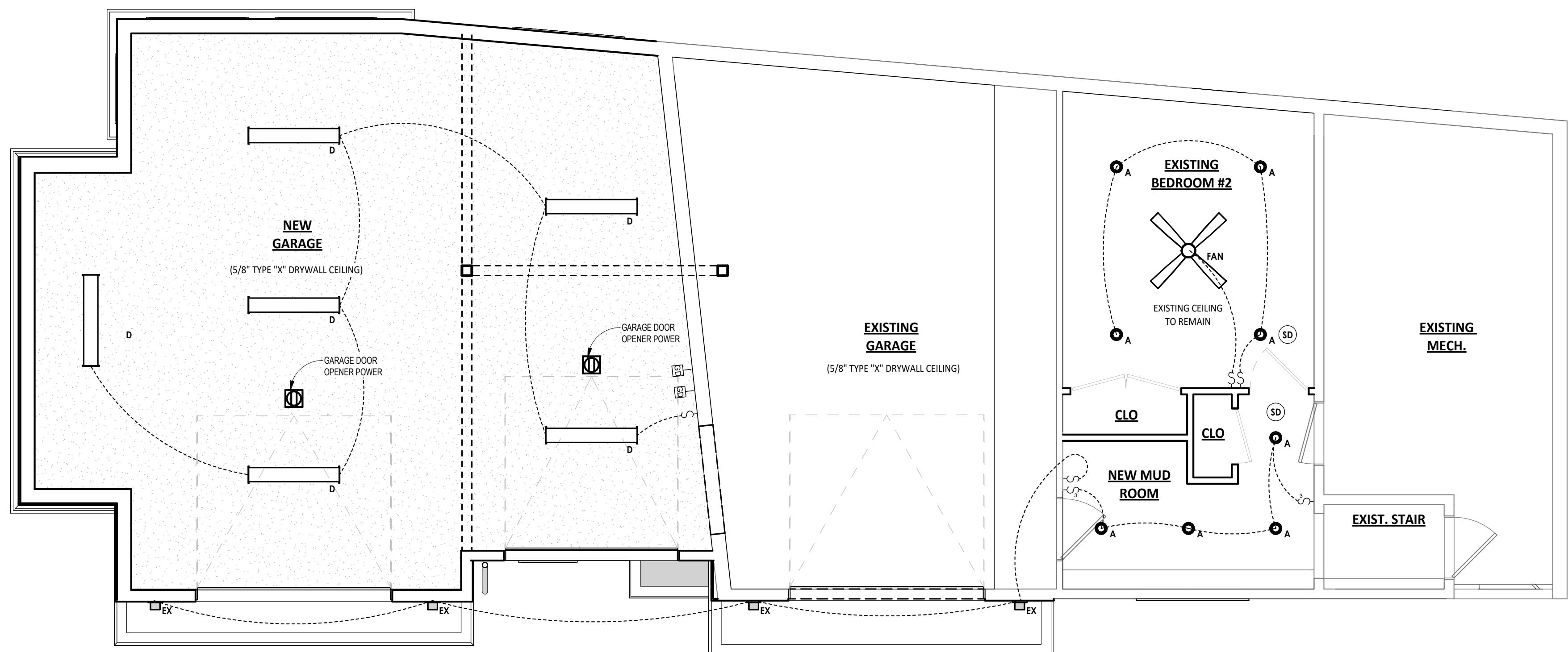
**3 CEILING PLAN - LOFT LEVEL**  
1/4" = 1'-0"



**2 CEILING PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**1 CEILING PLAN - LOWER LEVEL**  
1/4" = 1'-0"





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ARCHITECTURE

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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DRAWING TITLE:

**EXTERIOR ELEVATIONS**

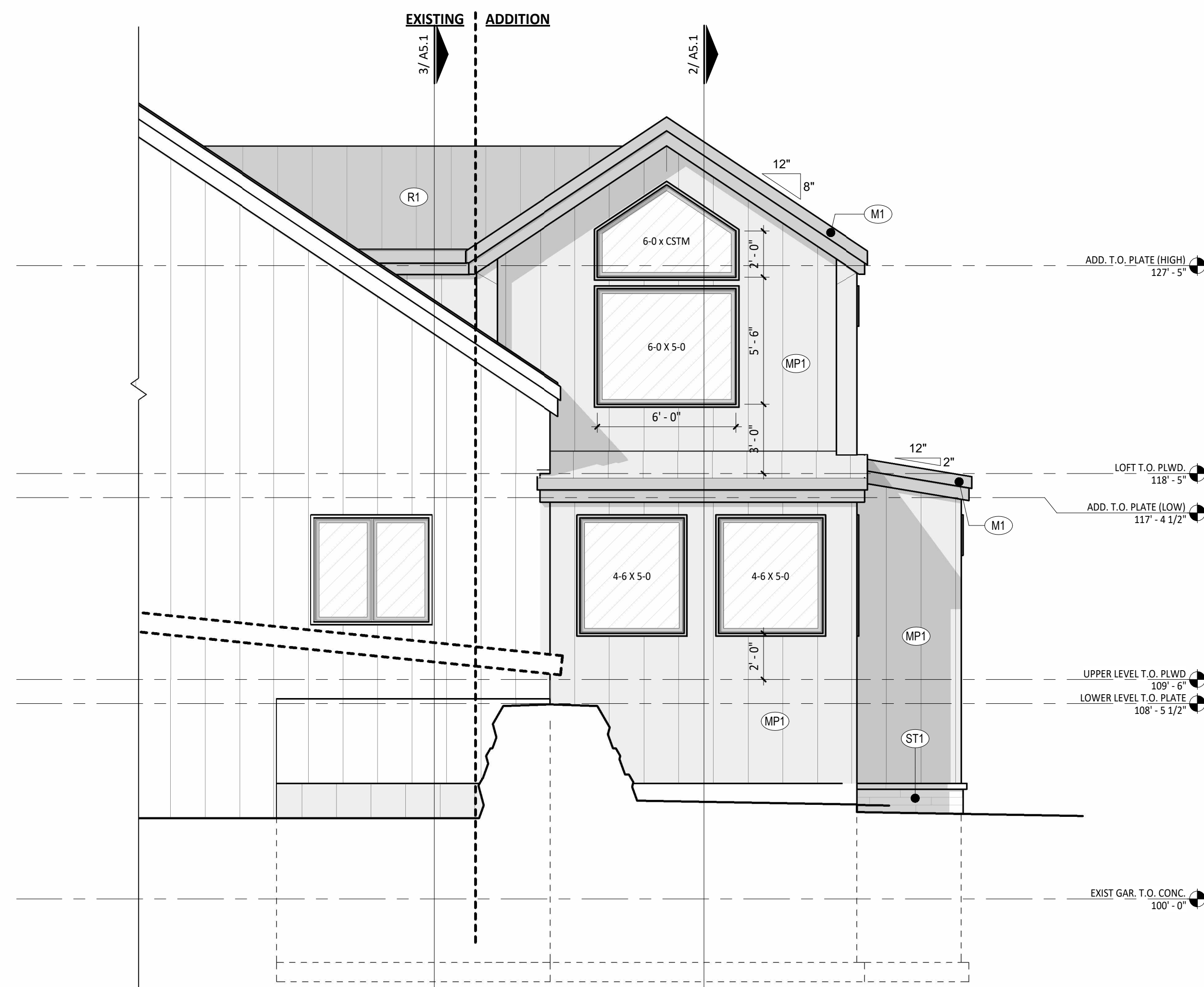
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**A4.1**

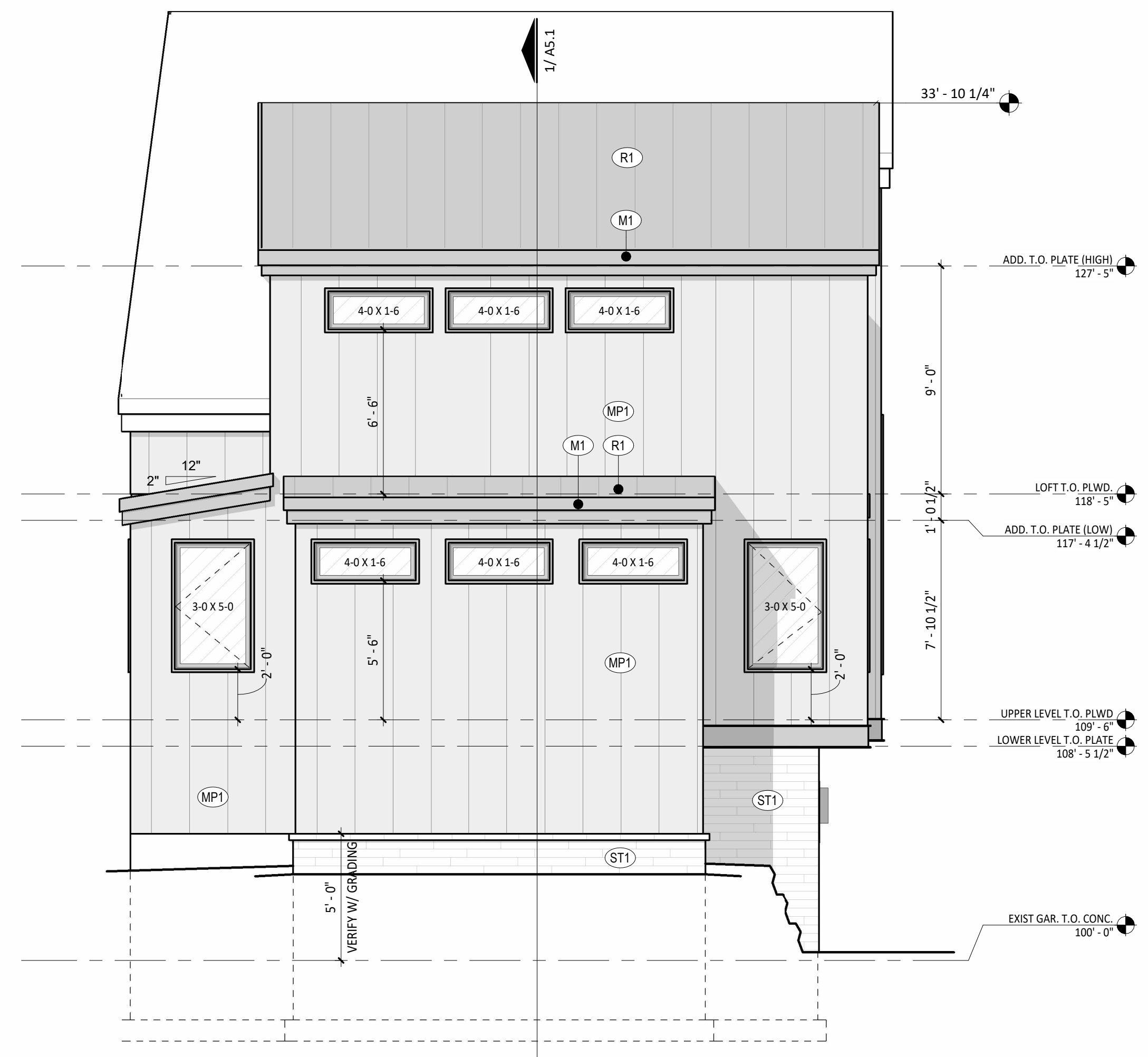
NOTES: AIR BARRIER / VAPOR BARRIER		
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.		
NOTES: WEATHER RESISTIVE BARRIER		
1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.		
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.		
EXTERIOR FINISH LEGEND		
MATERIAL SYMBOL	TYPE	NOTES:
(WD1)	T&G WOOD VENEER	HORIZONTAL T&G THERMALLY MODIFIED PRE-FINISHED WOOD SIDING (OWNER TO VERIFY COLOR)
(WD2)	WOOD TRIM	1X OR 2X THERMALLY MODIFIED PRE-FINISHED WOOD TRIM (MATCH SIDING) (OWNER TO VERIFY COLOR)
(MP1)	PREFINISHED METAL PANEL VENEER	METAL BOARD AND BATTEN SIDING FLATIRON STEEL "BOARD AND BATTEN" COLOR: BLACK OR MIDNIGHT BRONZE (CONFIRM WITH OWNER)
(M1)	PREFINISHED METAL FASCIA	PREFINISHED METAL TO MATCH SIDING
(ST1)	STONE VENEER	TELLURIDE STONE OPTIONAL STONE VENEER (CONFIRM WITH OWNER) COLOR: SILVERLEAF
(R1)	METAL ROOFING	STANDING SEAM METAL ROOFING COLOR: BLACK (CONFIRM WITH OWNER)
NOTE: CONTRACTOR TO PROVIDE PHYSICAL MATERIAL SAMPLE BOARD FOR OWNER / ARCHITECT APPROVAL		
NOTE: ALL EXTERIOR MATERIALS TO BE NON-REFLECTIVE		



**1 WEST ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"





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**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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DRAWING TITLE:

**BUILDING SECTIONS**

DRAWING NO:

**A5.1**

**NOTES: FRAMING**

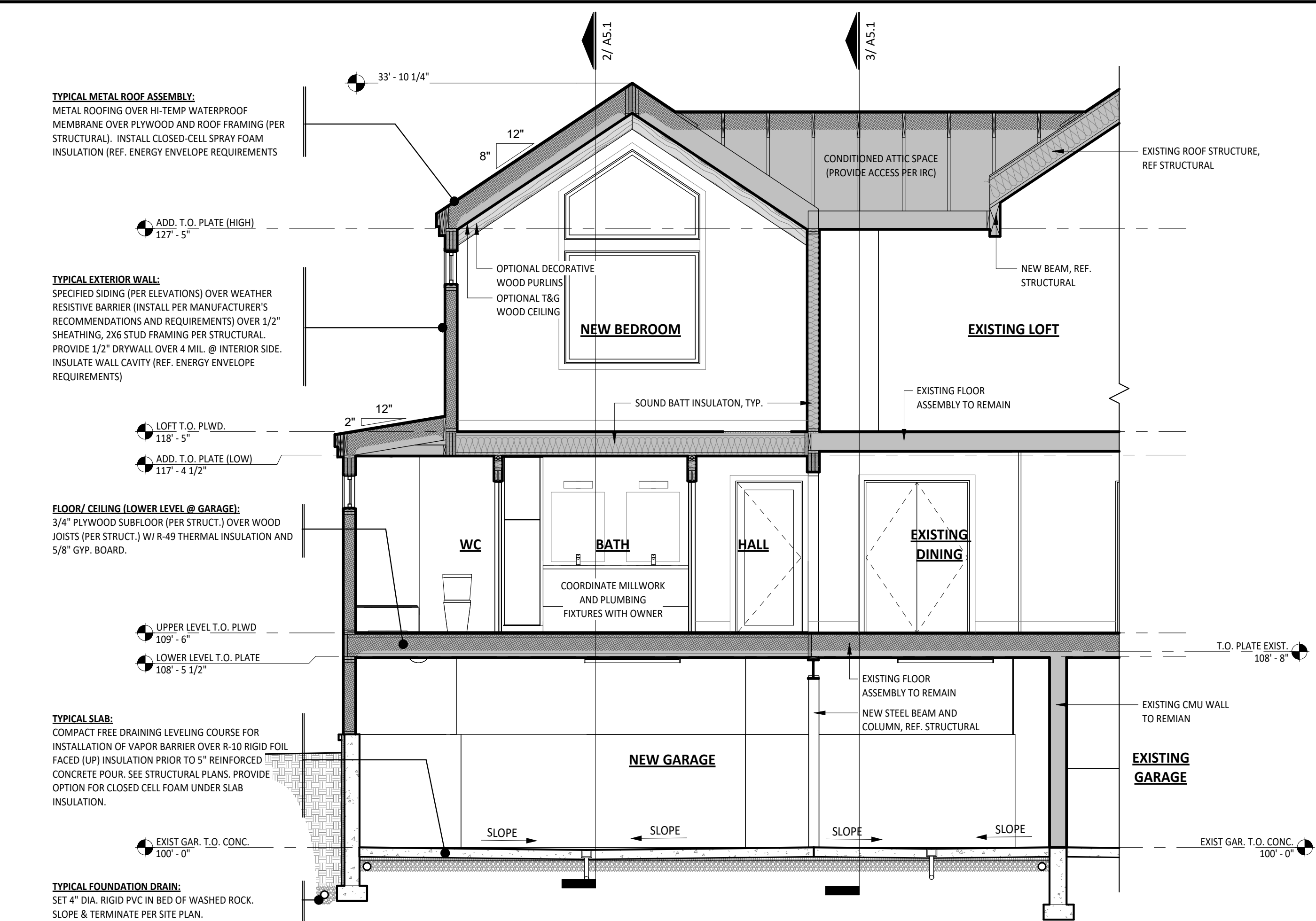
- ALL FRAMING SHOWN IS DIAGRAMMATIC AND SHALL BE STRUCTURALLY ENGINEERED WHERE APPLICABLE. CONTRACTOR TO CONFIRM COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
- ALL ROOF AND FLOOR TRUSSES SHALL BE PRE-ENGINEERED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL USE PRESSURE TREATED LUMBER WHERE REQUIRED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

**NOTES: WEATHER RESISTIVE BARRIER**

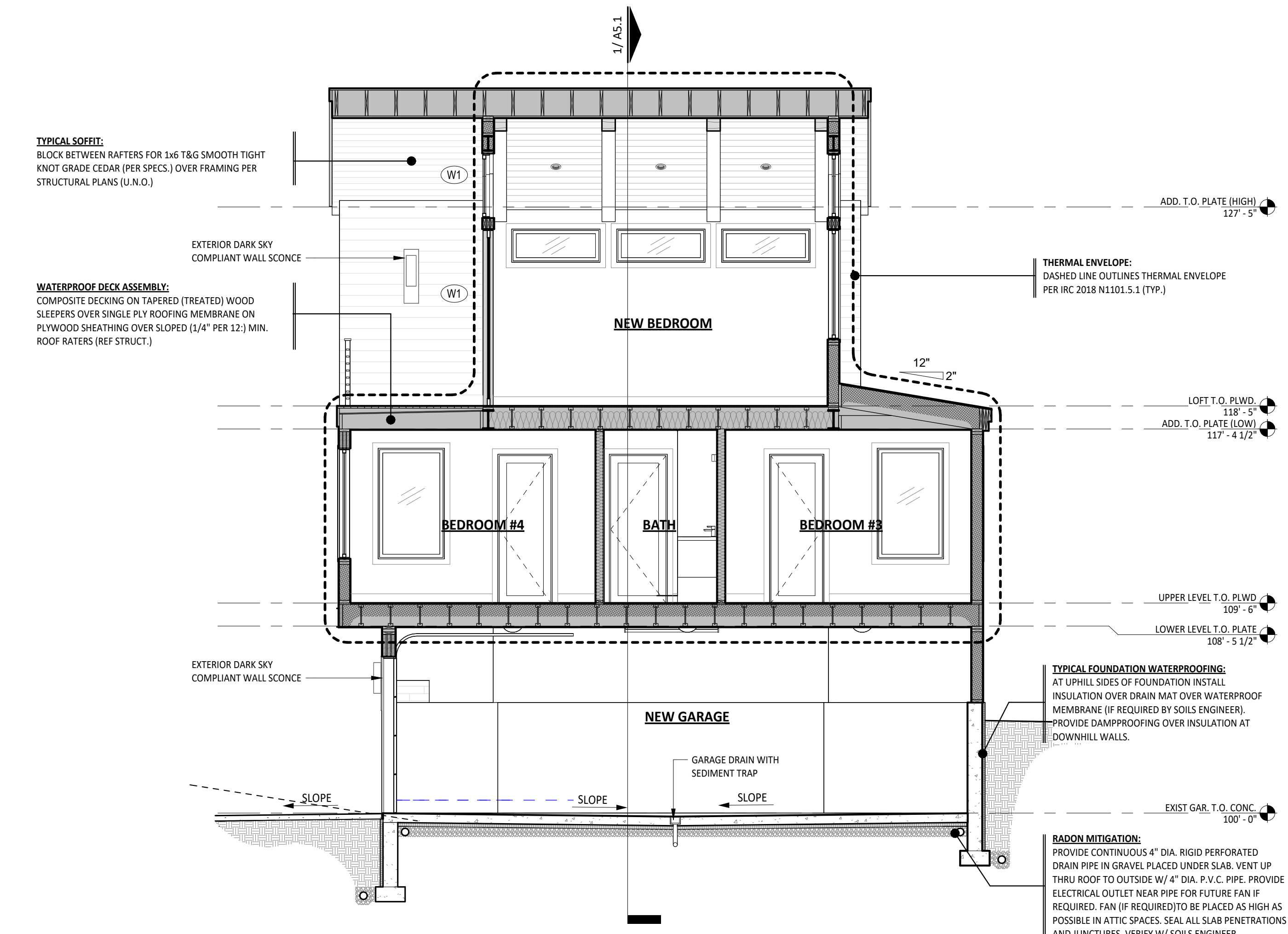
- INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
- REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.

**NOTES: AIR BARRIER / VAPOR BARRIER**

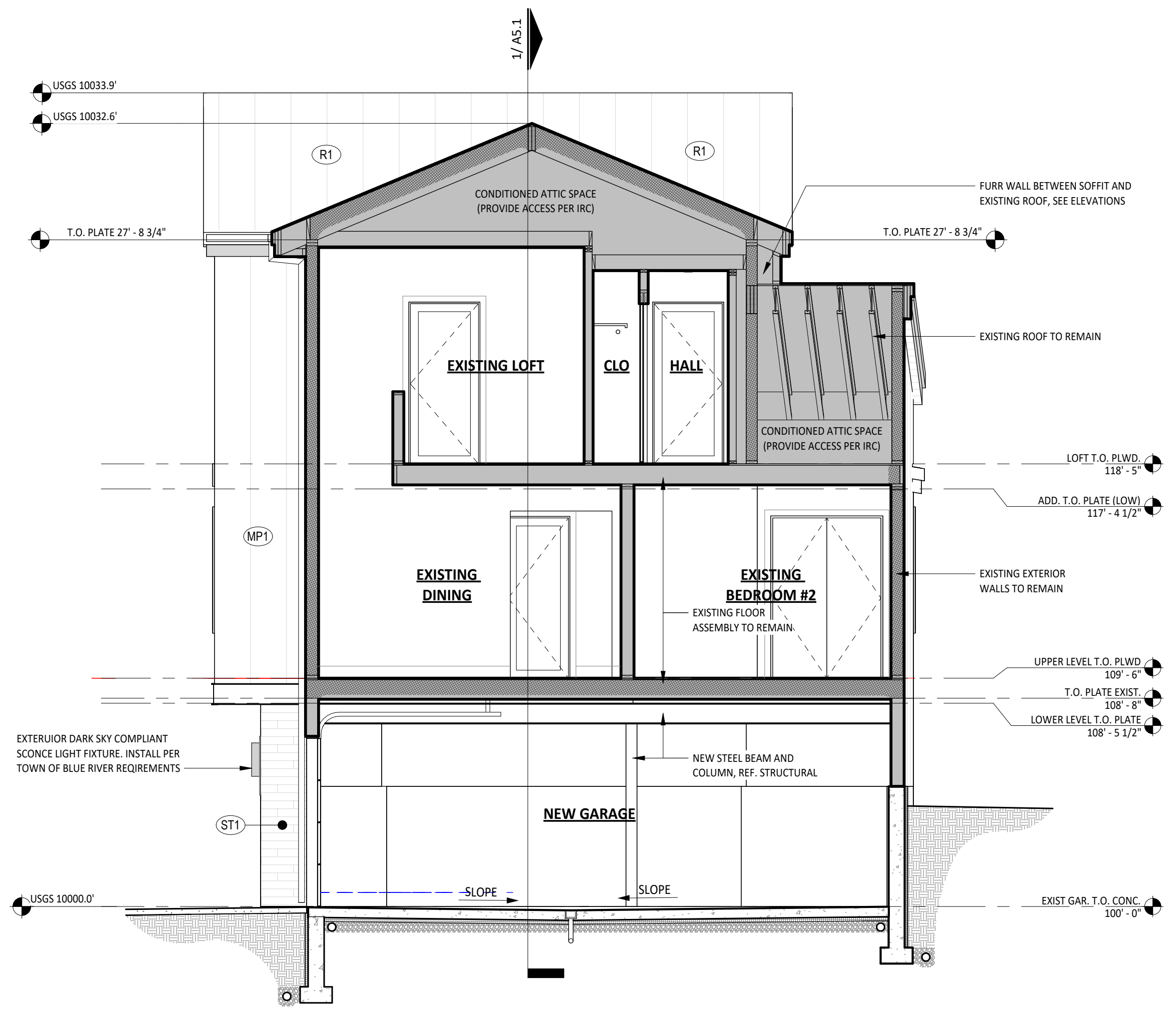
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.



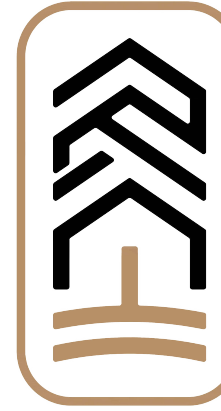
**1 SECTION A**  
1/4" = 1'-0"



**2 SECTION B**  
1/4" = 1'-0"



**3 SECTION C**  
1/4" = 1'-0"



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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**POWER PLANS**

DRAWING NO:

**A6.1**

**NOTES: LOW VOLTAGE**

- ROUGH-IN PHONE, INTERNET, AND CATV FROM SITE UTILITY LOCATION TO MECHANICAL / AV ROOM.
- PROVIDE PHONE, SECURITY, AND DATA BOARDS IN MECHANICAL / AV ROOM.
- PROVIDE CONDUIT OR STRUCTURED CABLE TO SOUTH ROOF FOR SATELLITE DISH WIRING OPTION.
- COORDINATE PHONE LINE WITH SECURITY SYSTEM REQUIREMENTS.
- COORDINATE CATV / DATA / LIGHTING / HOME COMPUTER CONTROL REQUIREMENTS WITH OWNER.
- COORDINATE HOME AUTOMATION / MECHANICAL CONTROLS INTERFACE AS REQUIRED BY OWNER.
- COORDINATE SOUND SYSTEM, HOME AUTOMATION AND ALL OTHER LOW VOLTAGE SYSTEMS PER OWNER REQUIREMENTS.

**NOTES: WINDOW SHADES**

PROVIDE OPTION FOR MOTORIZED WINDOW SHADE SYSTEMS WHERE INDICATED ON ELECTRICAL PLANS. CONFIRM SHADE LOCATIONS WITH OWNER PRIOR TO ELECTRICAL ROUGH-IN. COORDINATE WITH ELECTRICAL AND HOME AUTOMATION WORK. ALL SHADES TO BE INSTALLED IN RECESSED WINDOW POCKETS WHERE REQUIRED.

**NOTES: HOME AUTOMATION**

PRIOR TO ANY ELECTRICAL WORK CONFIRM SCOPE OF SMART HOME CONTROL AND AUTOMATION REQUIREMENTS WITH OWNER. WORK TO INCLUDE PROCESSOR USER INTERFACE, SCOPE OF DEVICES AND/OR SYSTEMS TO BE CONTROLLED. SCOPE OF CABLE OR WIRELESS LINKS AND POSSIBLE EMERGENCES BACKUP POWER.

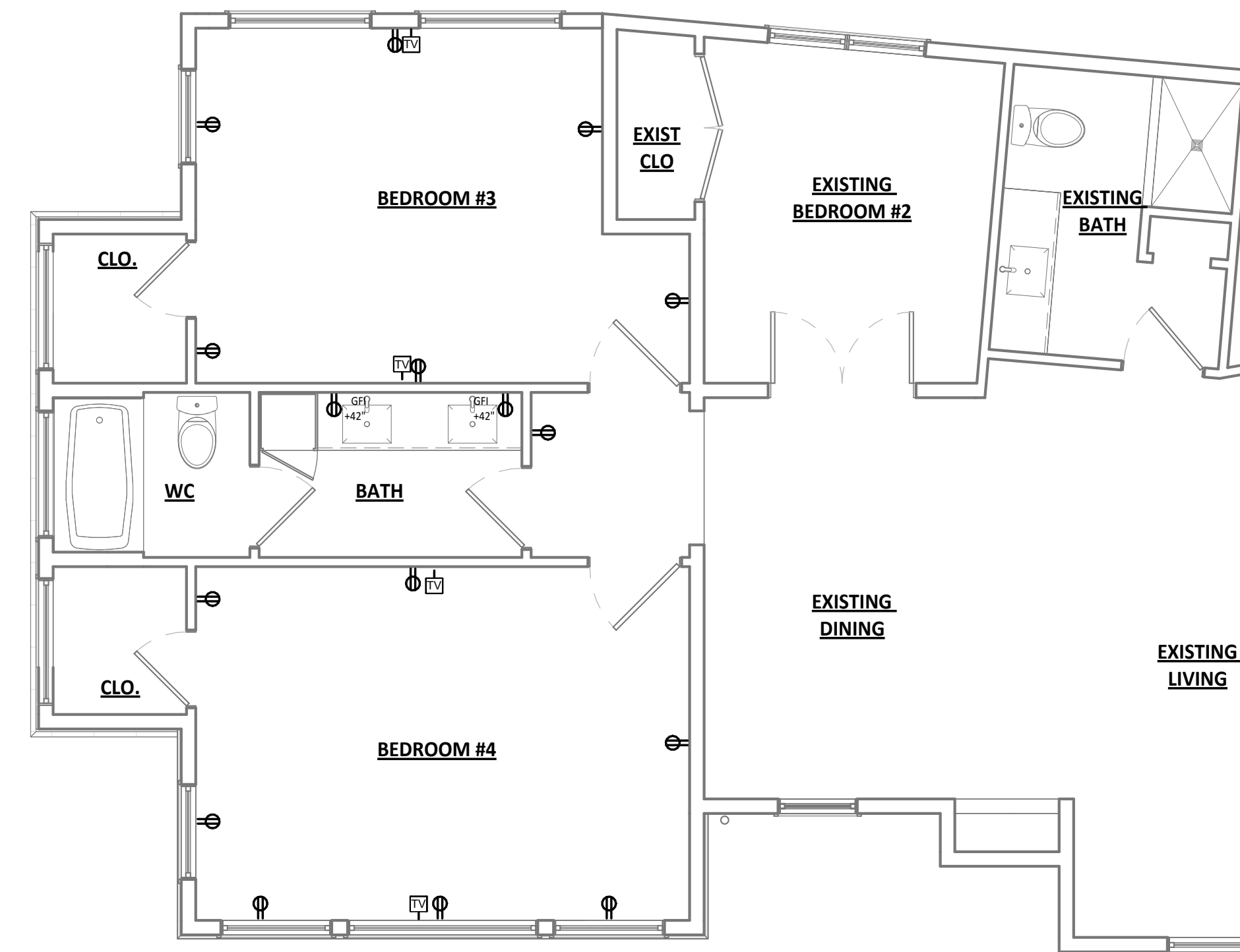
SYSTEMS TO INCLUDE SECURITY, ENTERTAINMENT, BUILDING SERVICES, AND ENVIRONMENTAL COMPONENTS.

**ELECTRICAL DEVICE LEGEND**

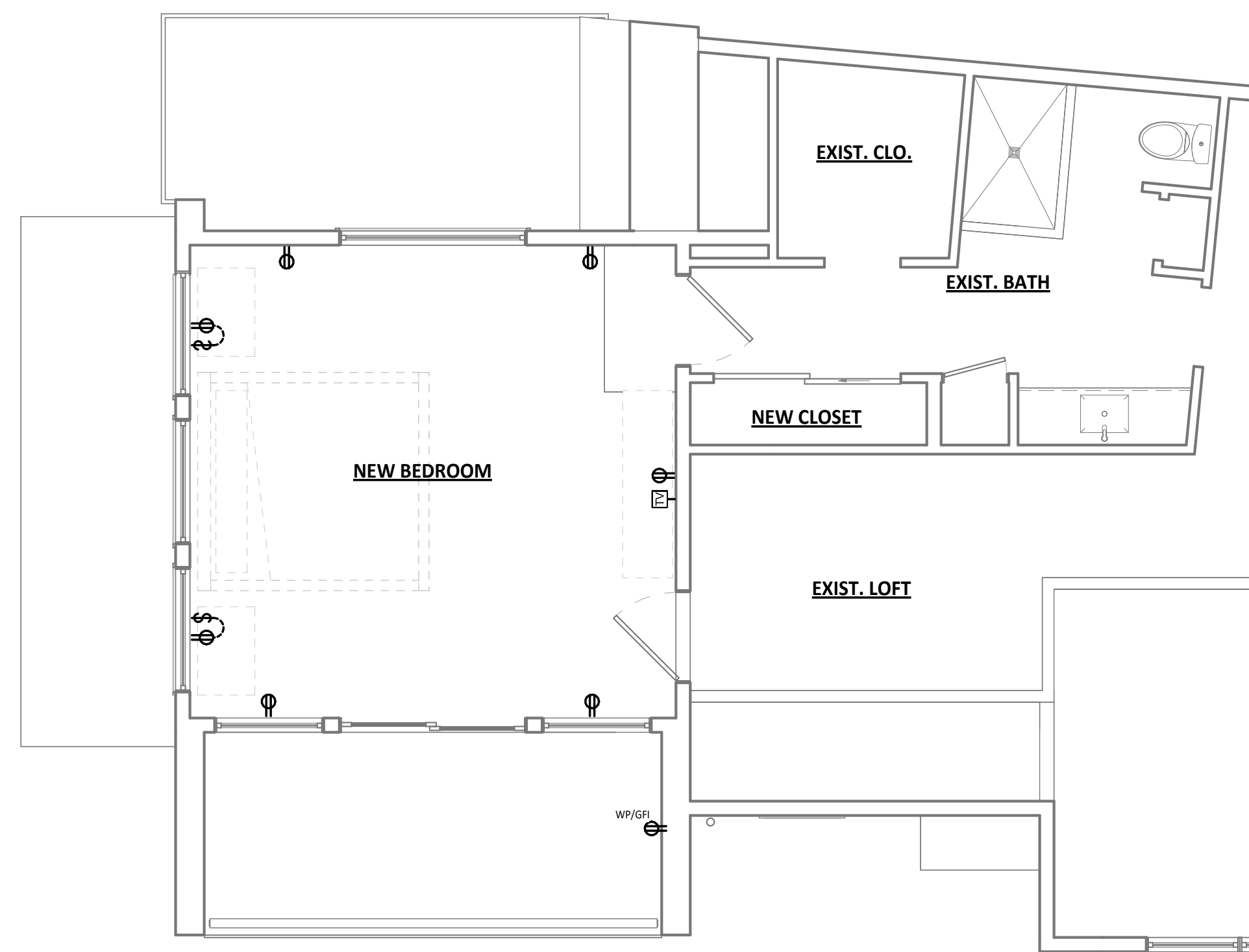
	DOUBLE RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	220V RECEPTACLE OUTLET WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER INSTALL WATERPROOF COVER FOR EXTERIOR USE
	FOURPLEX RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE FLOOR OUTLET INSTALL RECESSED FLOOR OUTLET COVER
	TEL / DATA FLOOR OUTLET
	RECESSED JUNCTION BOX COORDINATE LOCATION WITH EQUIPMENT MANUFACTURER
	TEL / DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	TELEVISION OUTLET PROVIDE RECESSED POWER AND OUTLET FOR WALL MOUNTING WHERE REQUIRED BY OWNER

**NOTES: MECHANICAL / ELECTRICAL**

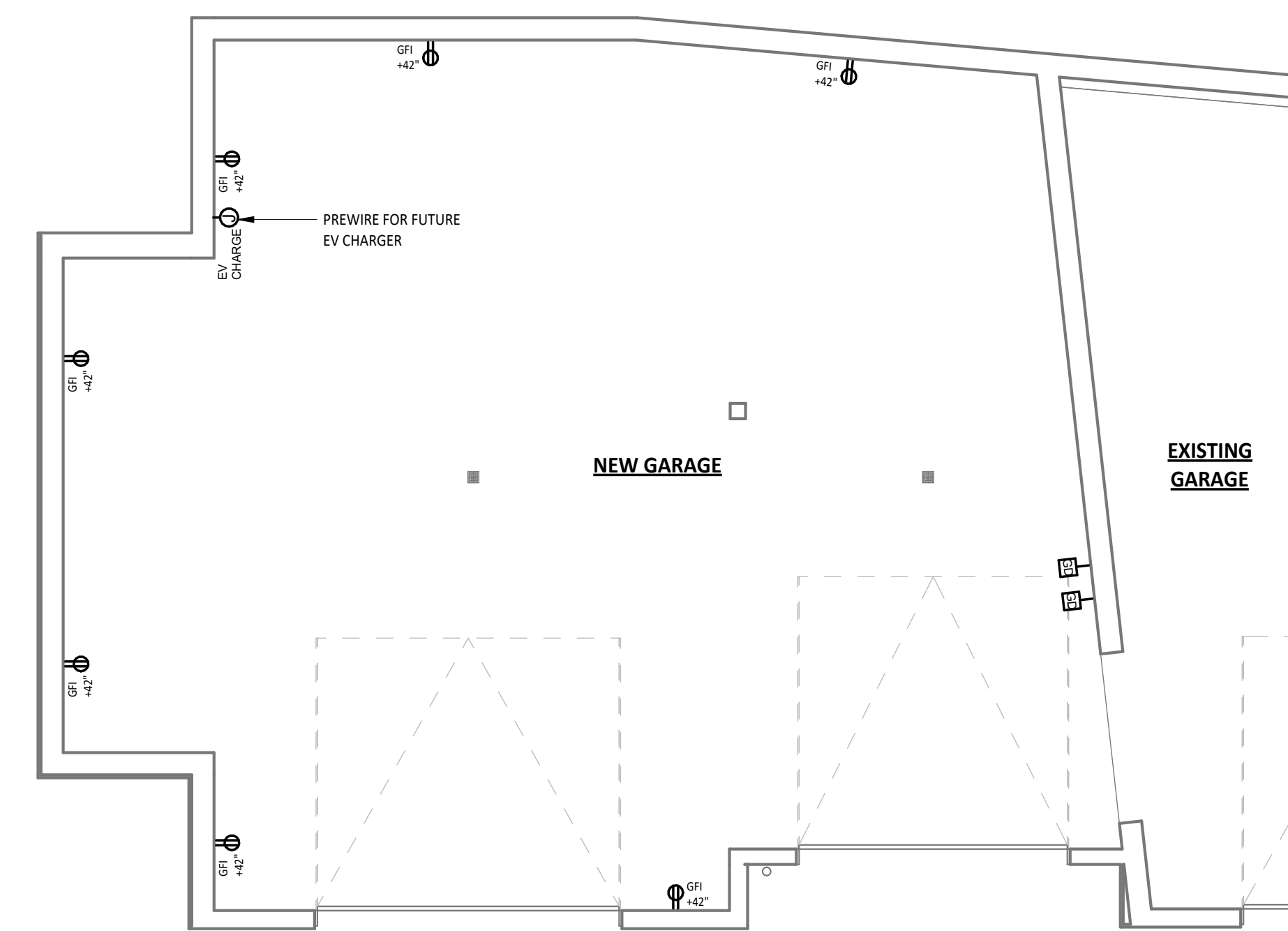
- ALL MECHANICAL AND ELECTRICAL WORK SHALL CONFORM TO CURRENT UNIFORM MECHANICAL AND NATIONAL ELECTRIC CODES AND RELATED NFPA REQUIREMENTS.
- MECHANICAL AND ELECTRICAL INFORMATION SHOWN IS FOR DESIGN INFORMATION PURPOSES ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL/ELECTRICAL CONTRACTOR(S) TO PROVIDE NECESSARY INFORMATION TO LOCAL BUILDING DEPARTMENT FOR ISSUANCE OF PERMITS FOR CONSTRUCTION.
- SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR TO ARCHITECT / OWNER FOR REVIEW.
- CONTRACTOR SHALL VERIFY AND CONFORM TO PRODUCT INSTALLATION REQUIREMENTS AND SHALL PROVIDE ANY ADDITIONAL BLOCKING/PREP WORK NECESSARY FOR INSTALLATION PER MANUFACTURERS SPECIFICATIONS.
- ALL RECESSED FIXTURES WITHIN INSULATED FLOOR AND OR CEILING SPACES MUST BE U.L. APPROVED FOR USE IN THESE LOCATIONS.
- UNLESS OTHERWISE SHOWN, FIXTURES ARE TO BE PLACED CENTERED IN GIVEN SPACE. VERIFY ALL FIXTURE AND OUTLET LOCATIONS WITH DRAWINGS.
- VERIFY ELECTRICITY, GAS, WATER, AND DRAINAGE REQUIREMENTS OF EQUIPMENT AND PROVIDE ANDY MECHANICAL SERVICE OR VENTING REQUIRED PRIOR TO OPERATION. PLUMB PRESSURE RELIEF OR OVERFLOW VALVES TO A DRAIN. COORDINATE WITH CARPENTRY CONTRACTOR TO PROVIDE PROPER ACCESS PANELS FOR ALL EQUIPMENT.
- PROVIDE DUCTING TO EXTERIOR FOR ALL REQUIRED MECHANICAL EQUIPMENT. COORDINATE ALL EXTERIOR VENTS AND EXHAUST OUTLETS TO MINIMIZE VISIBILITY.
- ALL PLUMBING FIXTURES SHALL HAVE WATER SAVING DEVICES AND/OR AERATORS TO COMPLY WITH LOCAL REQUIREMENTS.
- ALL PENETRATIONS IN CEILINGS AND WALLS MUST BE DAFT STOPPED WITH APPROVED MATERIALS.
- CHECK DOOR SWINGS BEFORE INSTALLATION OF WALL SWITCHES AND RELOCATE AS REQUIRED. LOCATE LIGHTING FIXTURES IN MECHANICAL ROOMS OR ATTIC SPACES TO CORRELATE WITH EQUIPMENT LOCATIONS AND PROVIDE ADEQUATE ILLUMINATION FOR SERVICING.
- COORDINATE ELECTRICAL BRANCH CIRCUITS WITH FINAL MECHANICAL EQUIPMENT LOAD. ADVISE ARCHITECT/OWNER OF CHANGES FROM ANY DRAWING REQUIREMENTS PRIOR TO INSTALLATION OF ANY ELECTRICAL OR MECHANICAL WORK.
- INSTALLATION OF ALL EQUIPMENT SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS AND RECOMMENDATIONS. CONTRACTOR SHALL INCLUDE ALL NECESSARY ACCESSORIES AND PIPING FOR A COMPLETE AND OPERATIONAL SYSTEM.



**2 POWER PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**3 POWER PLAN - LOFT LEVEL**  
1/4" = 1'-0"



**1 POWER PLAN - LOWER LEVEL**  
1/4" = 1'-0"



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

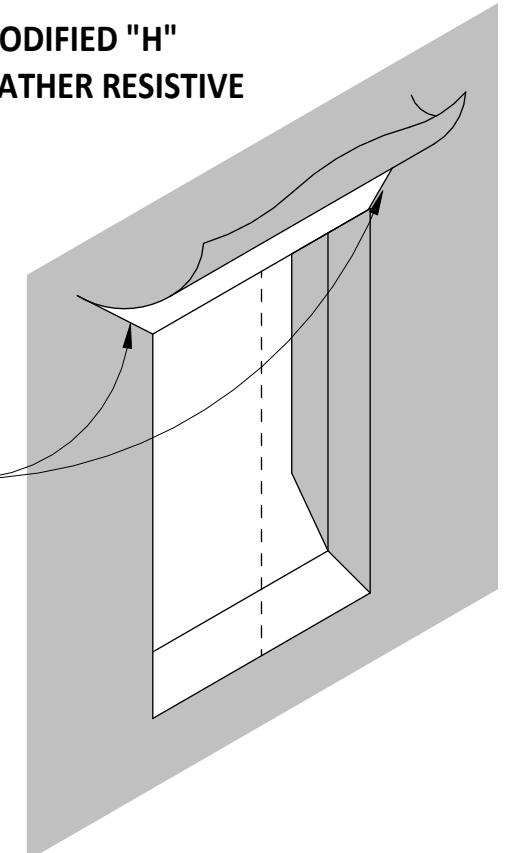
FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

NOTE: INSTALL WEATHER RESISTIVE BARRIER, FLASHING, AND WINDOWS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

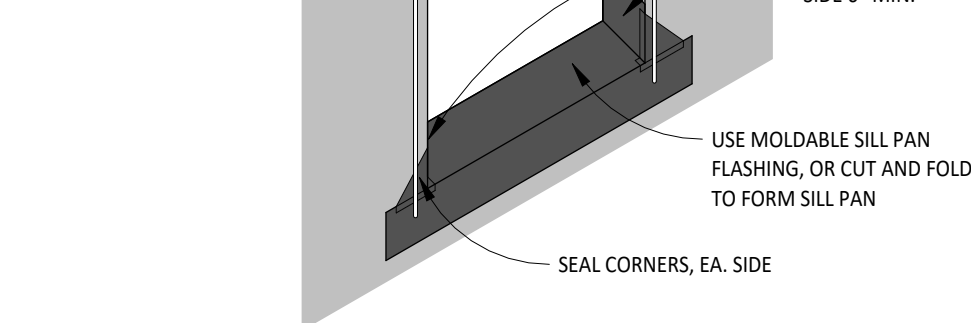
1. CUT MODIFIED "H" INTO WEATHER RESISTIVE BARRIER

MAKE ANGLE CUTS AT CORNERS AND FOLD UP FLAP



2. INSTALL PAN FLASHING AND SEALANT

SEALANT ALONG HEAD AND SIDES ONLY



TURN SILL PAN FLASHING UP EA. SIDE 6" MIN.

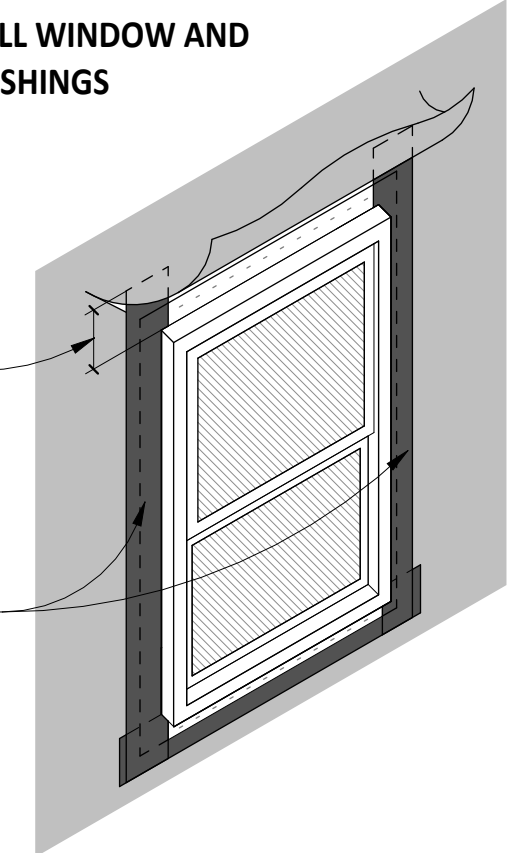
USE MOLDABLE SILL PAN FLASHING, OR CUT AND FOLD TO FORM SILL PAN

SEAL CORNERS, EA. SIDE

3. INSTALL WINDOW AND SIDE FLASHINGS

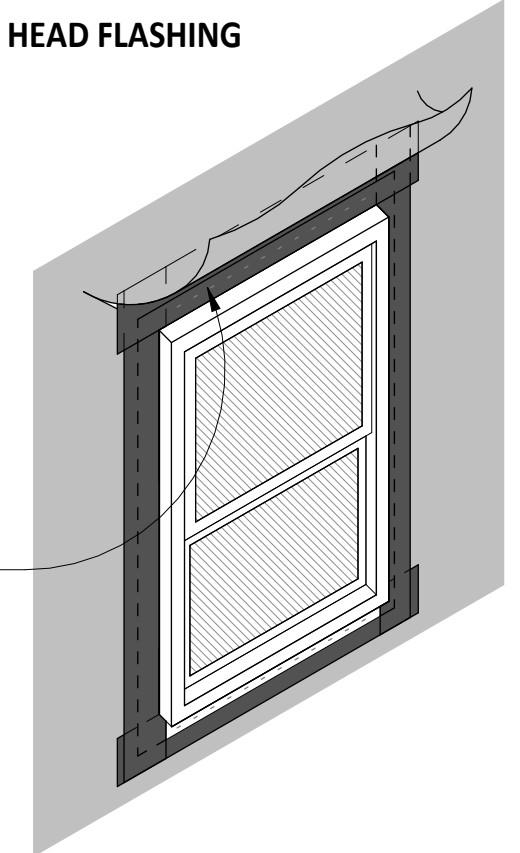
EXTEND UP 6"

PEEL AND STICK FLASHING TAPE OVER NAIL FLANGE, EA. SIDE



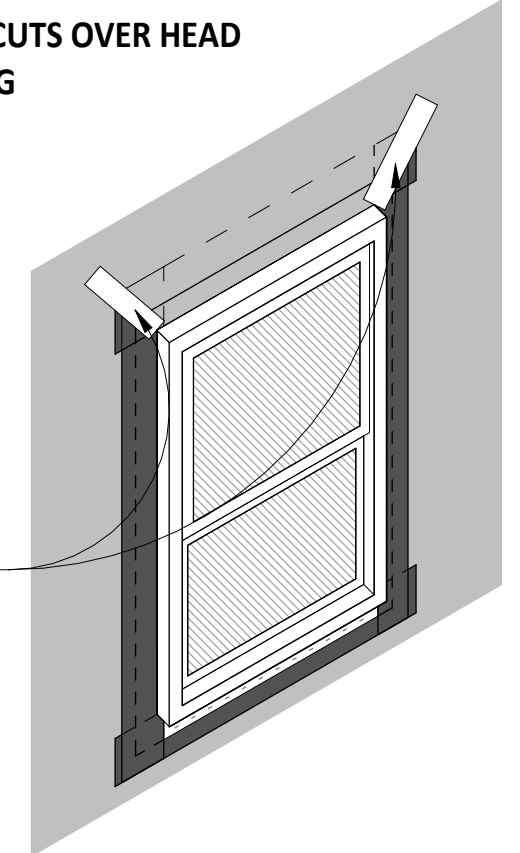
4. APPLY HEAD FLASHING

APPLY HEAD FLASHING TAPE OVER NAIL FLANGE, ADHERE TO SHEATHING ABOVE WINDOW



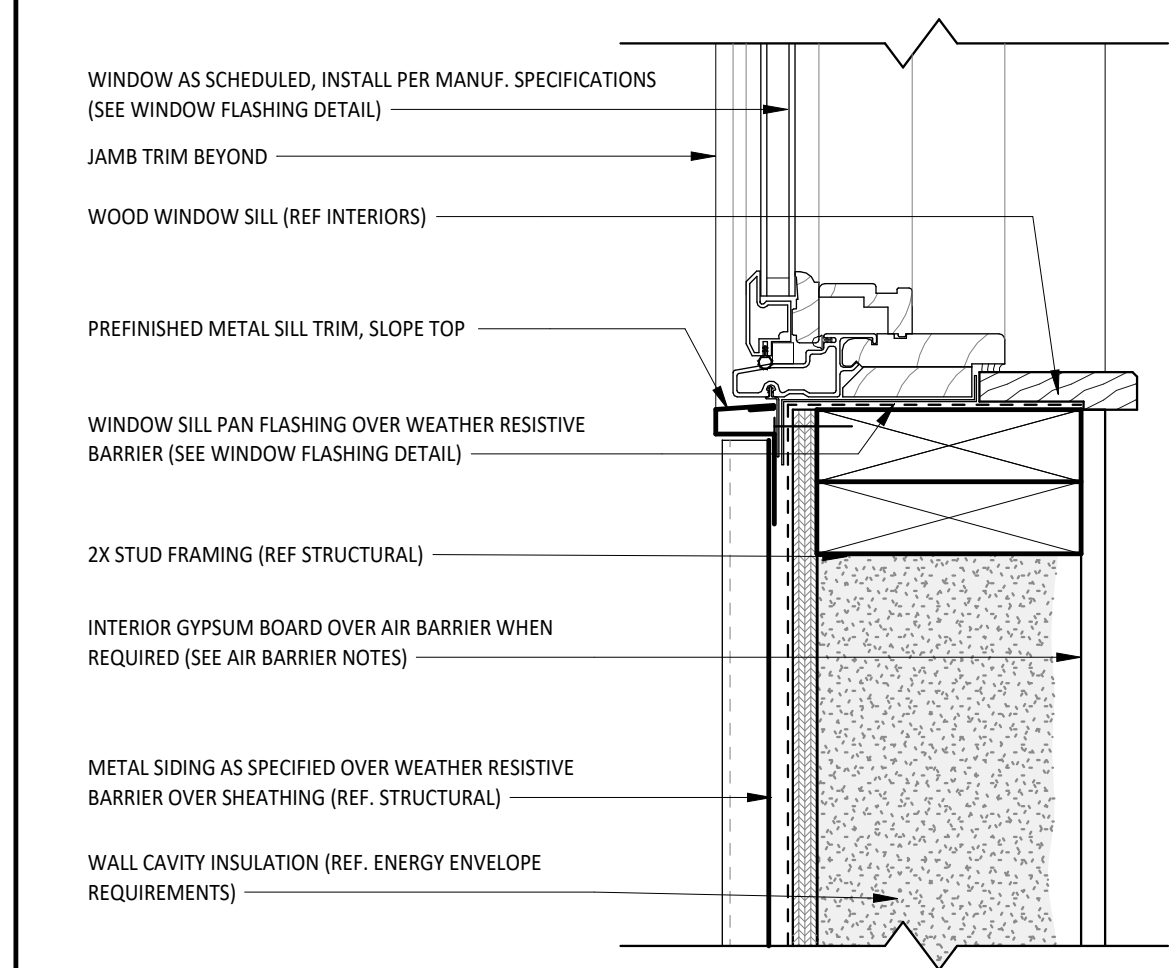
5. TAPE CUTS OVER HEAD FLASHING

FOLD DOWN WEATHER RESISTIVE BARRIER OVER FLASHING TAPE AND TAPE CORNER SEAMS

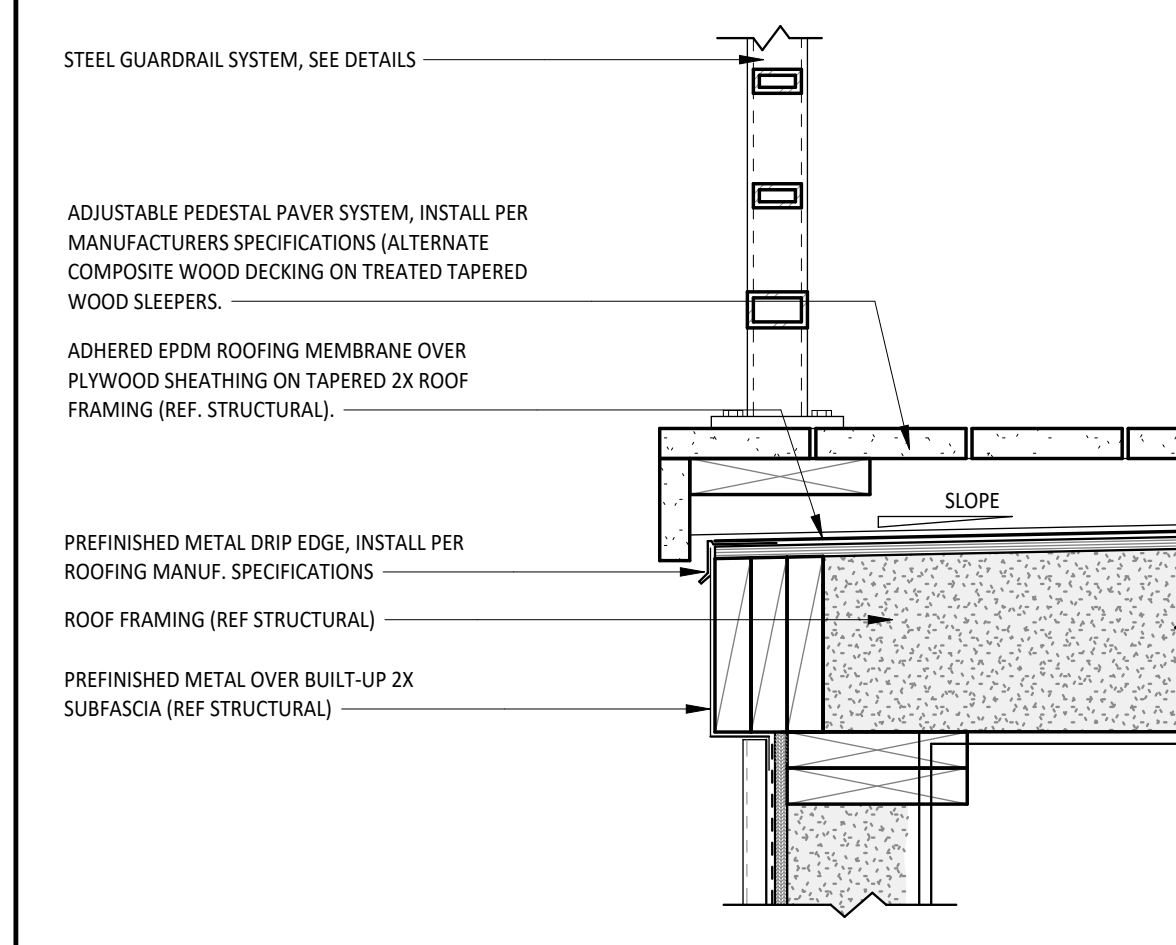


13 TYP. WINDOW FLASHING DETAIL  
NOT TO SCALE

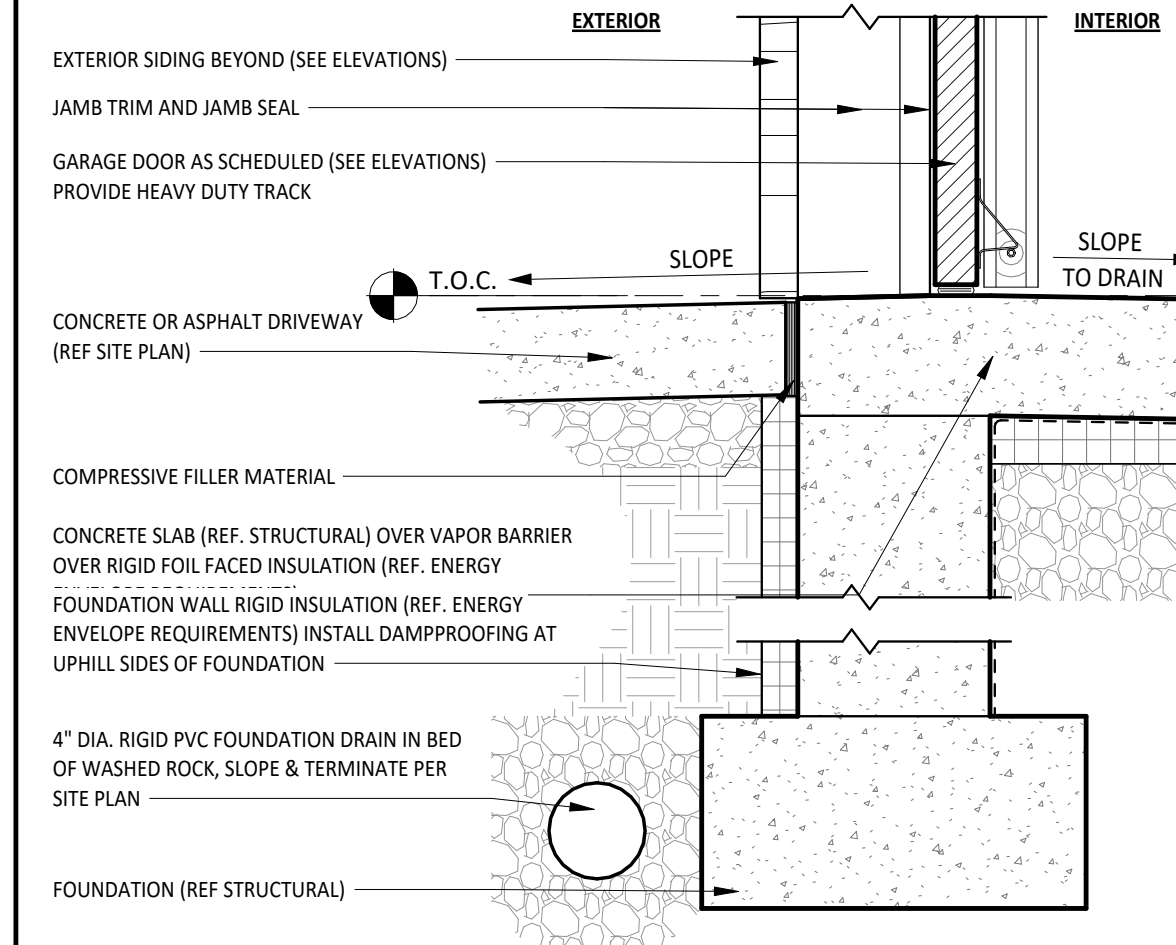
12 TYP. WINDOW HEAD @ METAL  
3" = 1'-0"



11 TYP. WINDOW SILL @ METAL  
3" = 1'-0"

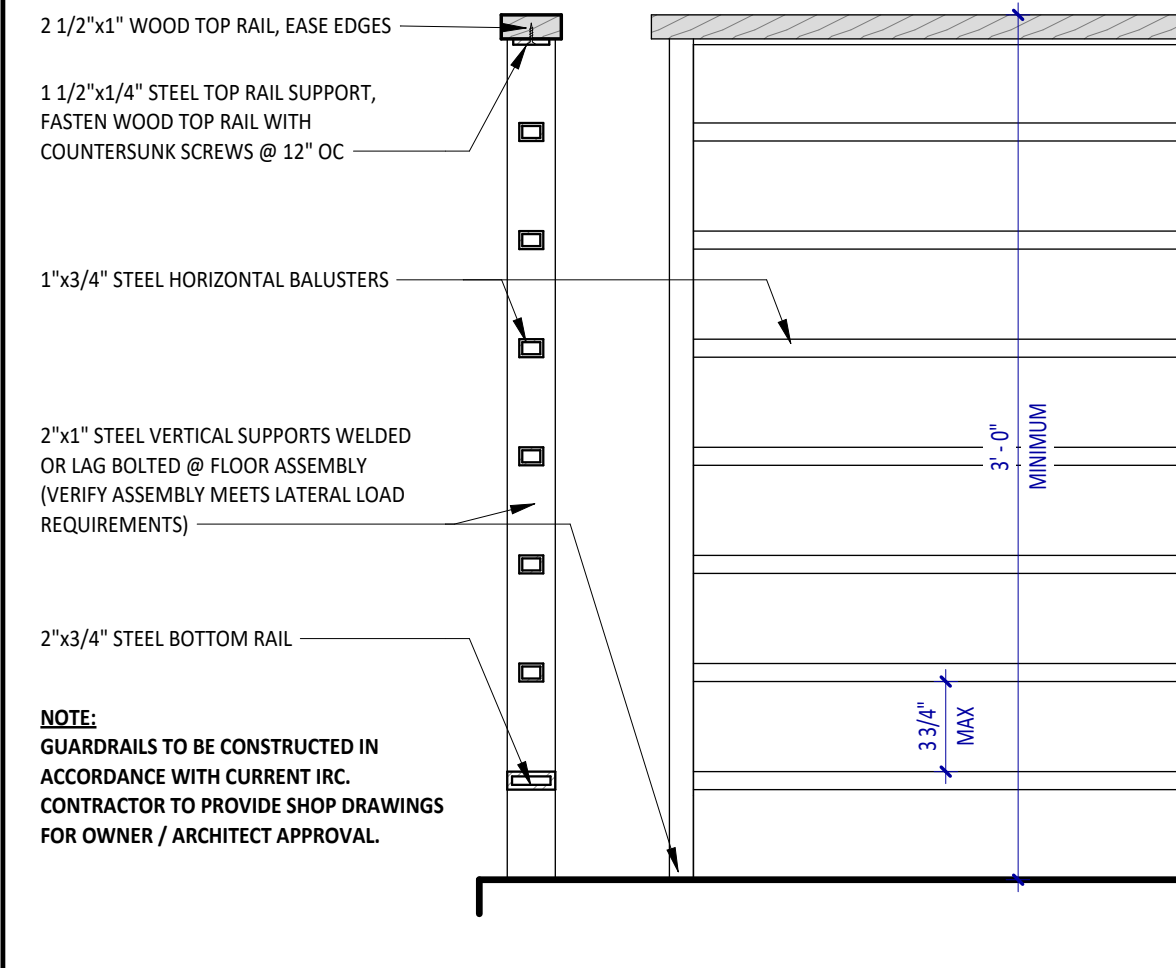


10 ROOF DECK FASCIA  
1 1/2" = 1'-0"

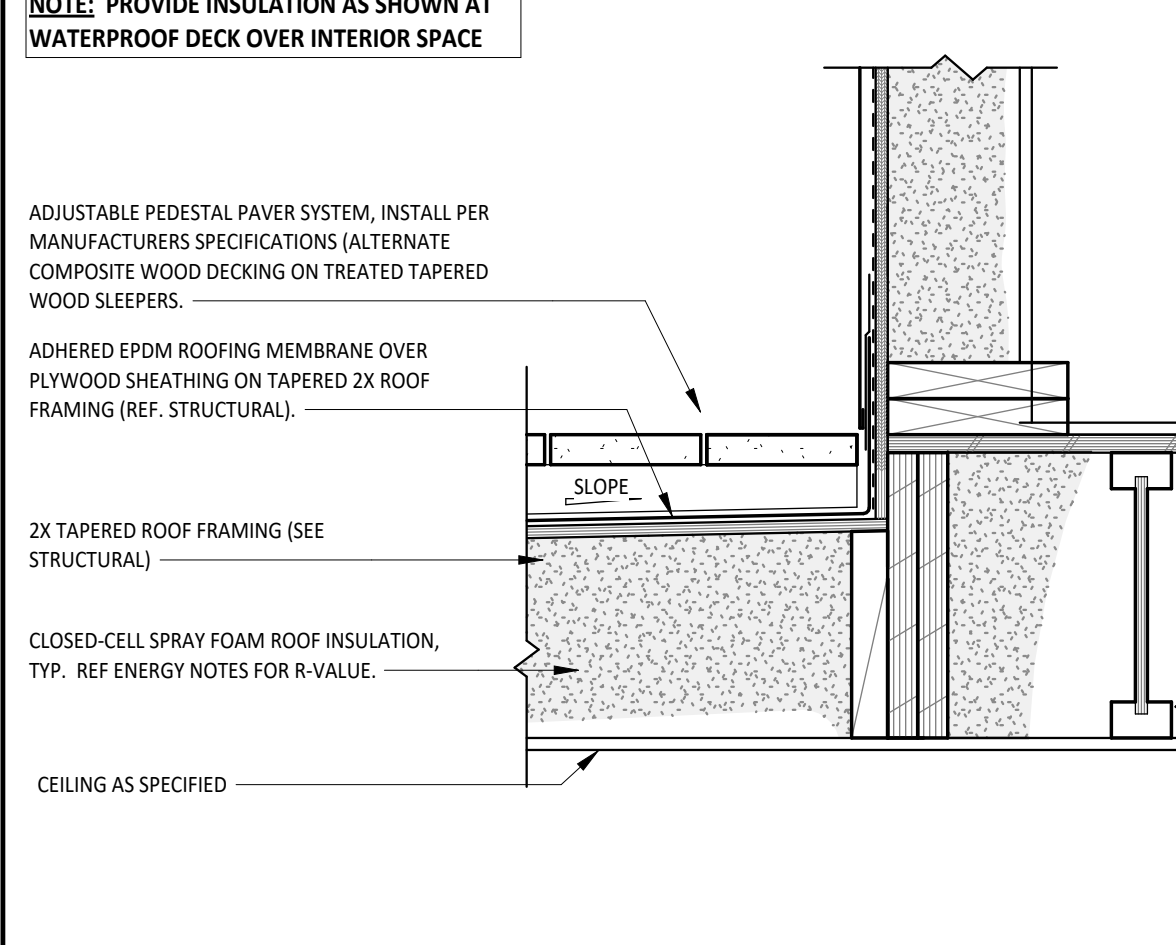


9 GARAGE DOOR THRESHOLD  
1 1/2" = 1'-0"

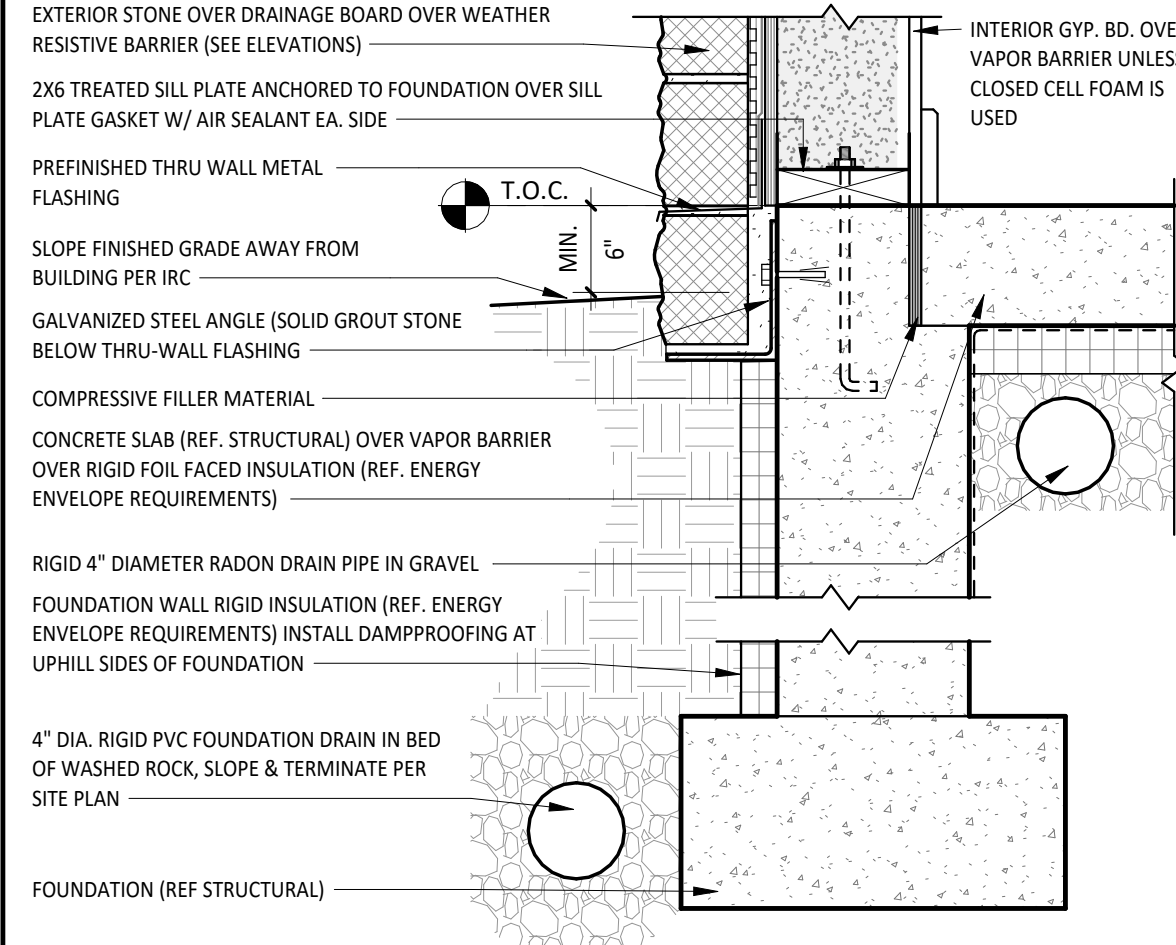
8 ROOF RAKE @ METAL ROOFING  
1 1/2" = 1'-0"



7 EXT. RAILING DETAIL  
1 1/2" = 1'-0"

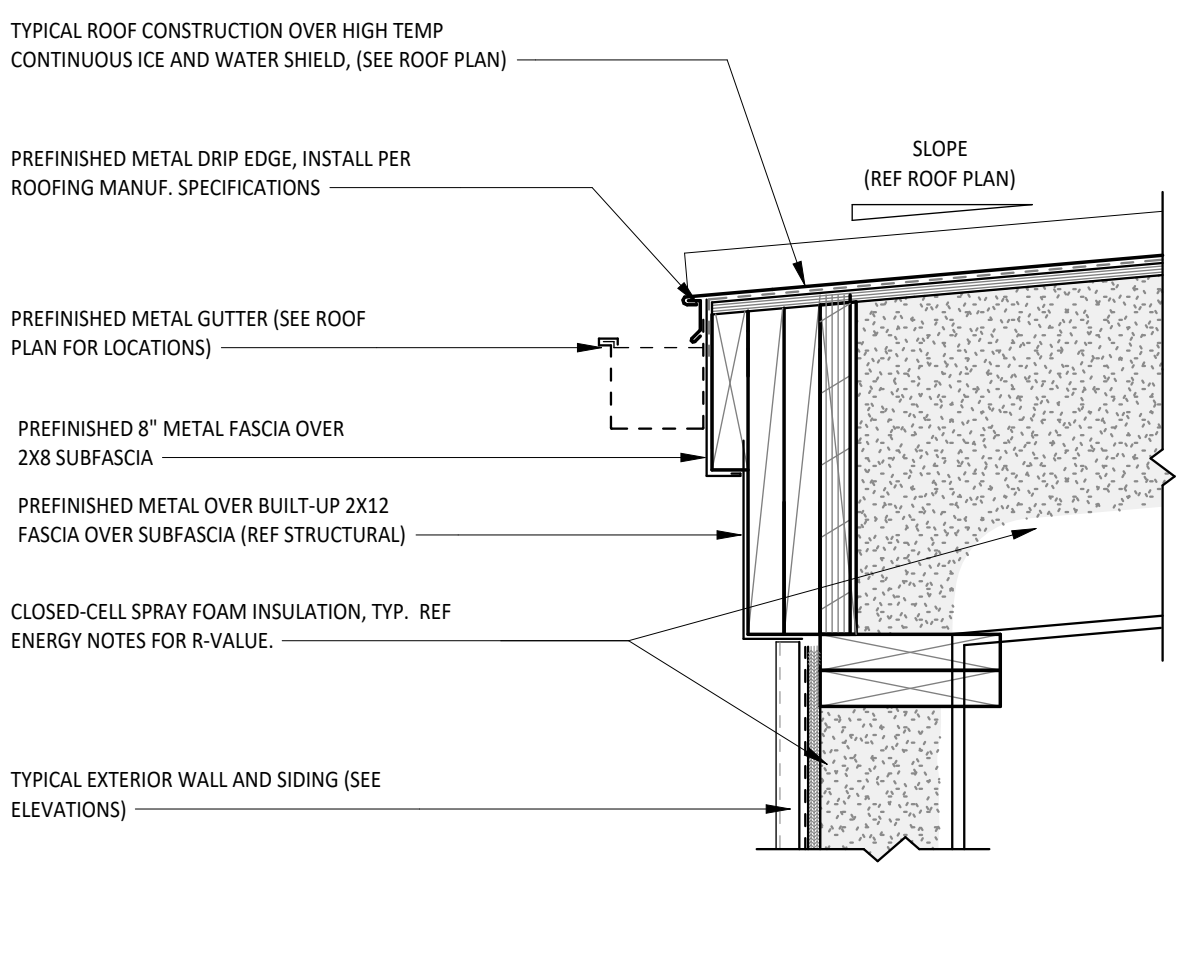


6 ROOF DECK @ WALL (INT)  
1 1/2" = 1'-0"

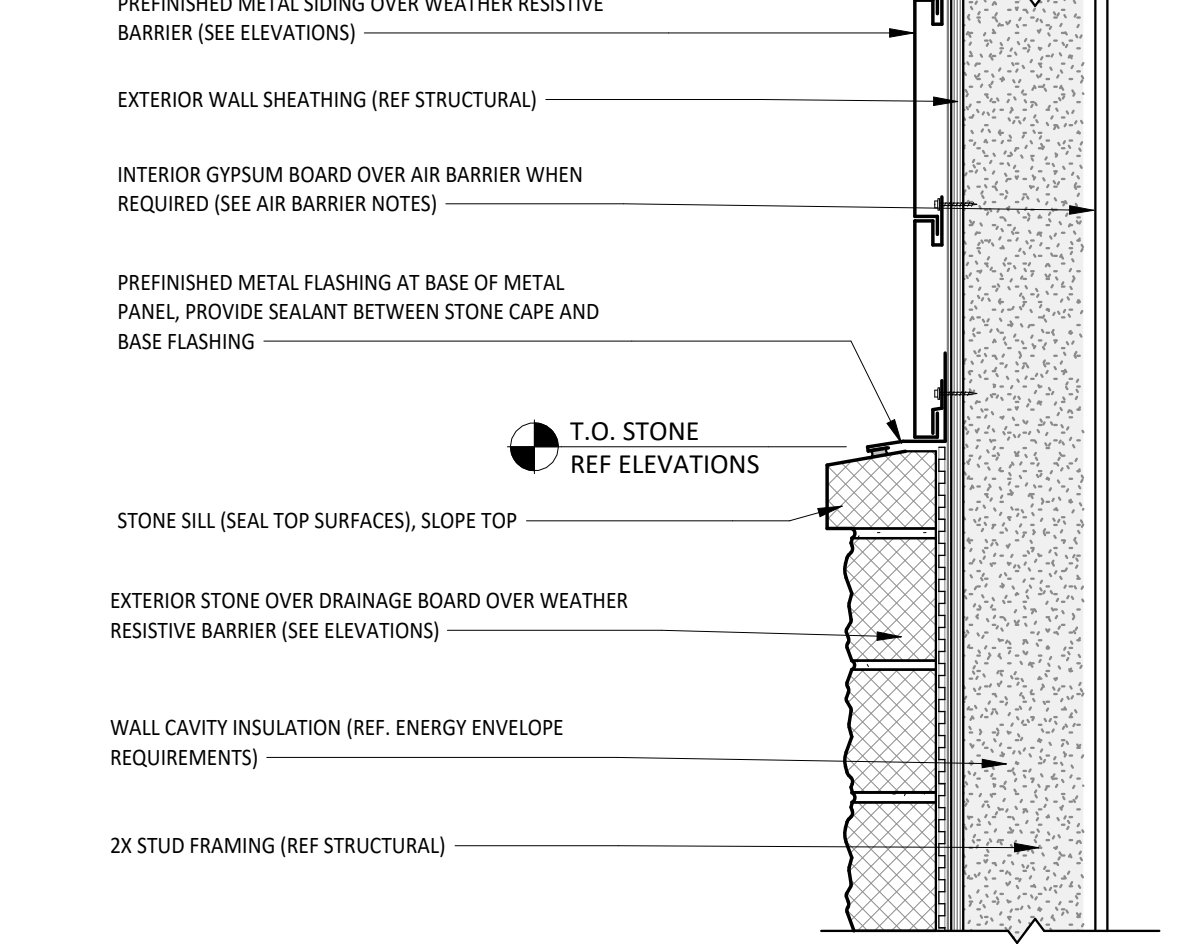


5 TYP. FOUNDATION DETAIL @ STONE  
1 1/2" = 1'-0"

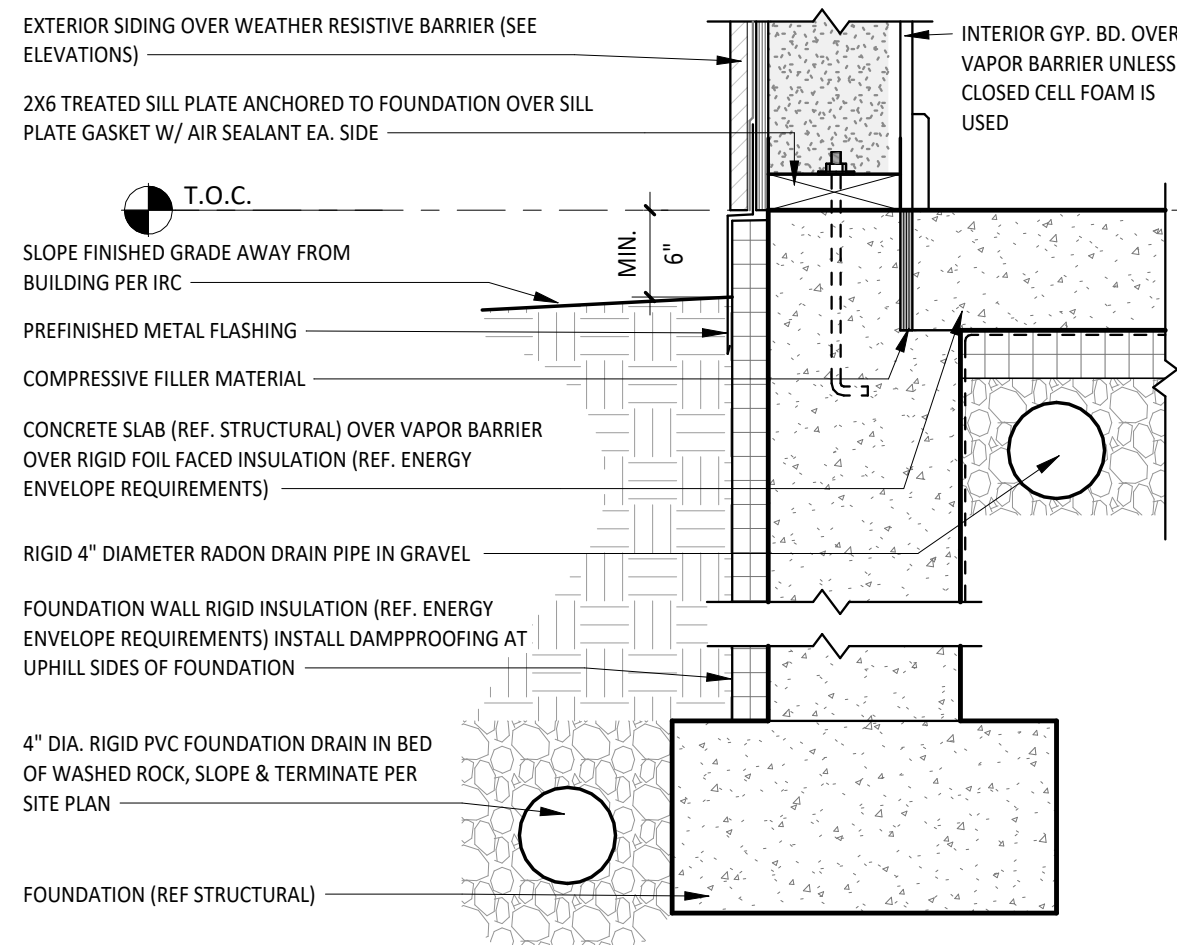
4 PITCHED ROOF WALL JUNCTURE  
1 1/2" = 1'-0"



3 ROOF EAVE @ MEAL ROOFING  
1 1/2" = 1'-0"



2 CAP AT STONE VENEER  
1 1/2" = 1'-0"



1 TYP. FOUNDATION DETAIL @ WOOD  
1 1/2" = 1'-0"

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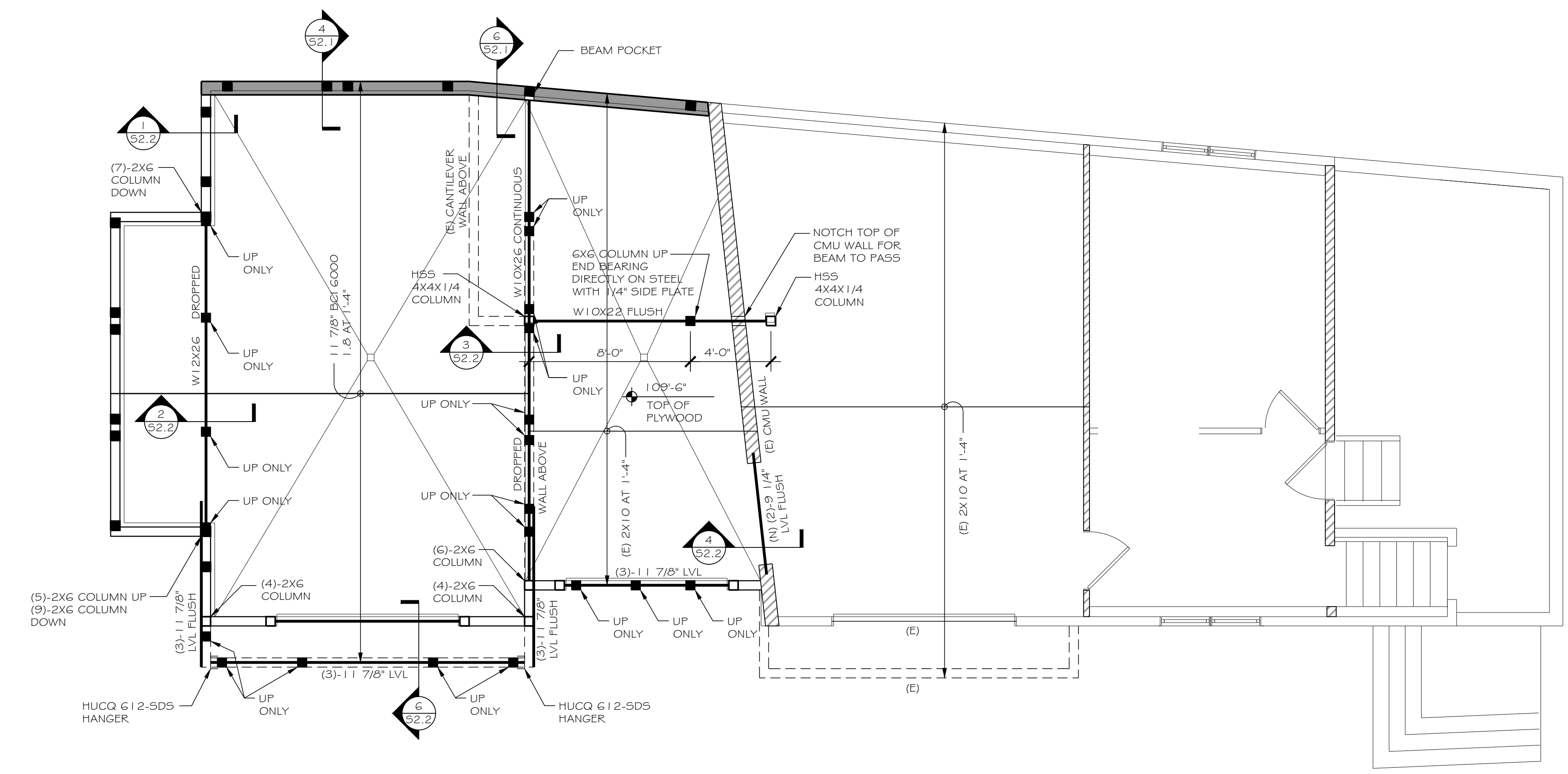
DETAILS

DRAWING NO:

A7.1



**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO



**MAIN LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

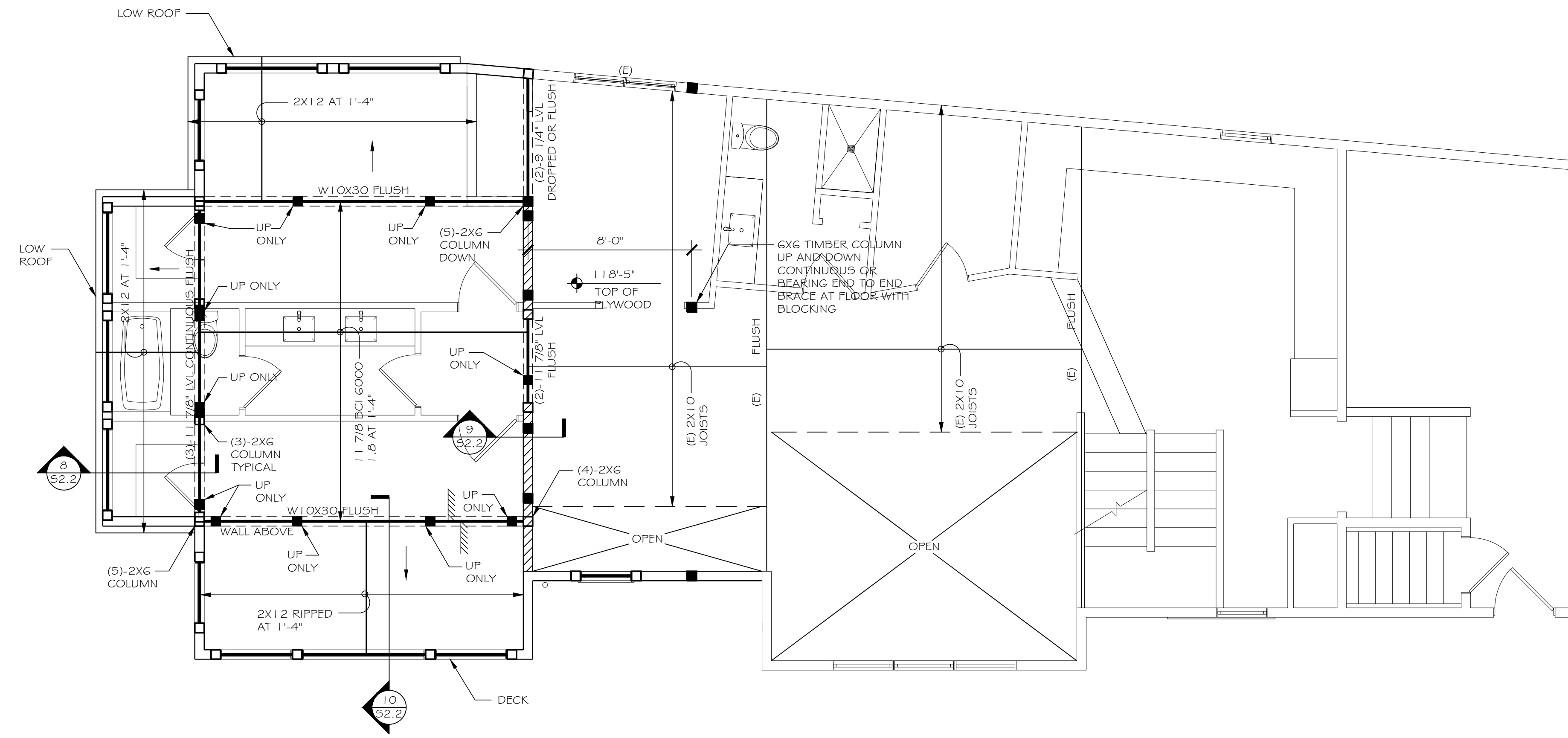
**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR SUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. BCI 6000 1.8 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
13. FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

**S1.2**  
 MAIN LEVEL FRAMING PLAN

**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO



**UPPER LEVEL FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR SUB COLUMN.
3. ▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. BCI 6000 1.8 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
13. FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
DRAWN: CM/KF  
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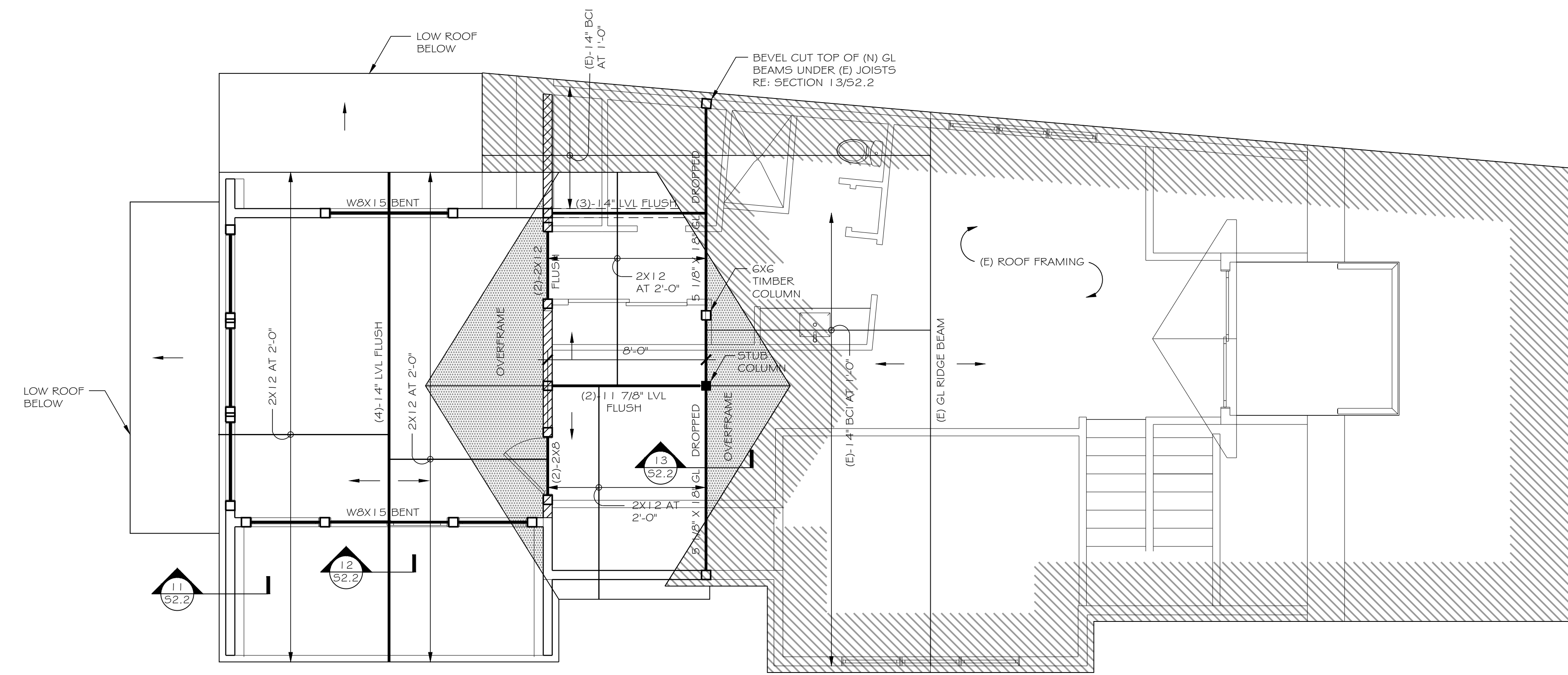
**S1.3**  
UPPER LEVEL FRAMING  
PLAN

**FOX STRUCTURAL ENGINEERING, LLC**  
 216 SNOWBERRY WAY  
 DILLON, COLORADO 80435  
 (970) 376-2005

**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO

PROJECT #2337  
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 FOR PERMIT

**S1.4**  
 ROOF FRAMING PLAN



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRJZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

**GENERAL NOTES:**

1. LIVE LOADS USED IN DESIGN

- A. ROOF SNOW 1 00 PSF
- B. DECK LIVE LOAD 1 25 PSF
- C. INTERIOR FLOOR 40 PSF
- D. ULTIMATE DESIGN WIND 1 15 MPH EXPOSURE B
- E. SEISMIC SITE CLASS D, DESIGN CATEGORY B

2. TESTING, INSPECTIONS AND OBSERVATIONS

- A. THE STRUCTURAL ENGINEER DOES NOT PROVIDE INSPECTIONS OF CONSTRUCTION. STRUCTURAL ENGINEER MAY MAKE PERIODIC OBSERVATIONS OF THE CONSTRUCTION. SUCH OBSERVATIONS SHALL NOT REPLACE REQUIRED INSPECTIONS BY THE GOVERNING AUTHORITIES OR SERVE AS "SPECIAL INSPECTIONS" AS MAY BE REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

3. FOUNDATIONS

- A. ALLOWABLE SOIL BEARING PRESSURE ASSUMED IN DESIGN IS 2000 PSF.
- B. CONTRACTOR SHALL RETAIN A LICENSED SOILS ENGINEER TO INSPECT THE FOUNDATION EXCAVATION. SOILS ENGINEER SHALL VERIFY IN WRITING THE ACTUAL SOILS CAPACITY IS EQUAL TO OR GREATER THAN ASSUMED.
- C. THE PREPARATION OF THE SUBGRADE SHALL BE IN STRICT ACCORDANCE WITH THE SOILS ENGINEER. QUESTIONS REGARDING THE SUBGRADE PREPARATION SHALL BE DIRECTED TO THE GEOTECHNICAL ENGINEER.
- D. NOTIFY SOILS ENGINEER WHEN EXCAVATION IS COMPLETE SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.
- E. CONTRACTOR TO PROVIDE, AT HIS EXPENSE, FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND INTERIOR SLABS ON GRADE.
- F. ALL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS BY CONTRACTOR WITH APPROVAL OF SOILS ENGINEER. ALL BOTTOMS OF FOOTINGS SHALL BE A MINIMUM OF 40" BELOW EXTERIOR GRADE.
- G. ALL FOOTINGS SHALL BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL OR PROPERLY COMPACTED STRUCTURAL BACKFILL, APPROVED BY THE SOILS ENGINEER.
- H. CONTRACTOR SHALL BACKFILL EQUALLY ON EACH SIDE OF FOUNDATION WALLS IN 1 2 INCH MAXIMUM VERTICAL LIFTS OR AS RECOMMENDED BY THE SOILS ENGINEER. REFER TO SOILS ENGINEER FOR BACKFILL MATERIAL.
- I. CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS DIMENSIONED OTHERWISE.
- J. REFERENCE THE SOILS ENGINEER AND GRADING DRAWINGS FOR SOIL DRAINAGE REQUIREMENTS.

4. CONCRETE AND REINFORCEMENT

- A. CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I/II PORTLAND CEMENT AND SHALL SATISFY 3000 PSI MINIMUM. GARAGE FLOOR SLAB SHALL SATISFY 4000 PSI MINIMUM. CONCRETE WITH EXPOSURE TO WEATHER, INCLUDING GARAGE FLOOR SLABS, SHALL BE AIR ENTRAINED AND MEET ALL REQUIREMENTS IN TABLE R402.2 FOR SEVERE WEATHERING POTENTIAL.
- B. ALL CONCRETE AND REINFORCEMENT WORK SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318 LATEST EDITION.
- C. CONTRACTOR SHALL SAWCUT OR TROWELCUT JOINTS IN SLABS ON GRADE. JOINTS SHALL BE SPACED 12 FEET MAXIMUM AND CUT 1/4 OF SLAB DEPTH X 3/16" WIDE WITHIN 12 HOURS AFTER POURING. AREA BETWEEN JOINTS SHALL NOT EXCEED 100 SQUARE FEET. CARRY ALL SLAB REINFORCEMENT THROUGH JOINT.
- D. ALL REINFORCING SHALL BE HIGH-STRENGTH DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT TIES, STIRRUPS AND PLATE ANCHORS WHICH SHALL BE DEFORMED BARS, ASTM DESIGNATION A615, GRADE 40 OR A706 GRADE 60.
- E. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 GRADE 65 AND SHALL BE LAPPED ONE FULL MESH AT SIDE AND END SPLICES AND WIRED TOGETHER.
- F. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS. USE STANDARD HOOKS FOR DOWELS UNLESS NOTED OTHERWISE.

5. STRUCTURAL STEEL

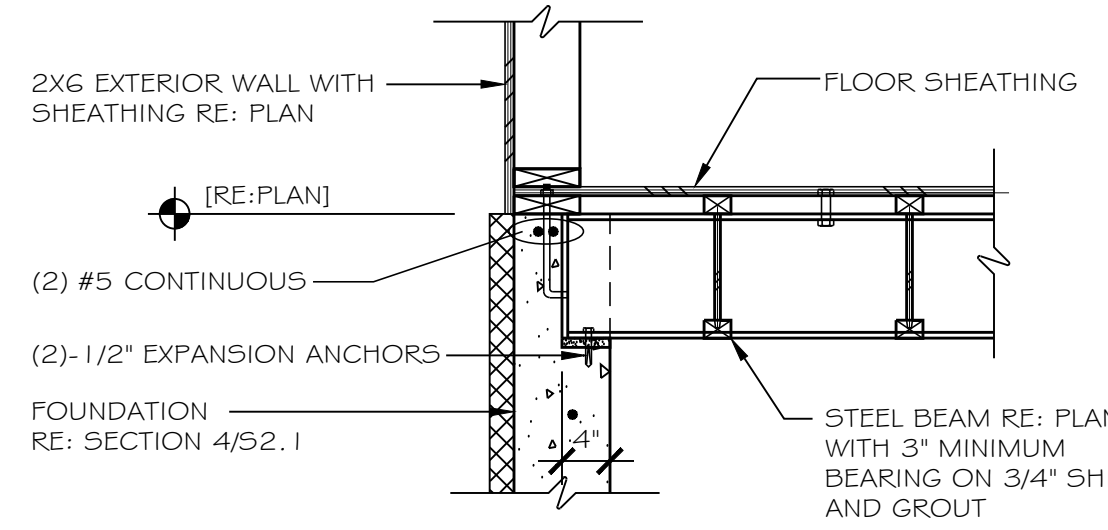
- A. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM 992, 50 KSI; TUBES SHALL CONFORM TO ASTM A500, GRADE B; PIPES SHALL CONFORM TO ASTM A53, GRADE B. MISCELLANEOUS ITEMS SHALL BE A36 STEEL.
- B. ALL STRUCTURAL BOLTS SHALL BE A325N INSTALLED TO A MINIMUM SHUG TIGHT CONDITION. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- C. STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE LATEST PROVISIONS OF AISC "MANUAL OF STEEL CONSTRUCTION".
- D. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE AMERICAN WELDING SOCIETY STANDARD QUALIFICATIONS TESTS AS OUTLINED IN AWS-D1.1.
- E. MINIMUM WELDS TO BE PER AISC TABLE J2.4 BUT NOT LESS THAN 3/16" CONTINUOUS FILLET UNLESS NOTED OTHERWISE.
- F. SUBMIT SHOP AND ERECTION DRAWINGS TO ENGINEER FOR REVIEW OF ALL STRUCTURAL STEEL MEMBERS. THE MANUFACTURING OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF SHOP DRAWINGS WILL BE ENTIRELY AT RISK OF THE CONTRACTOR.

6. WOOD

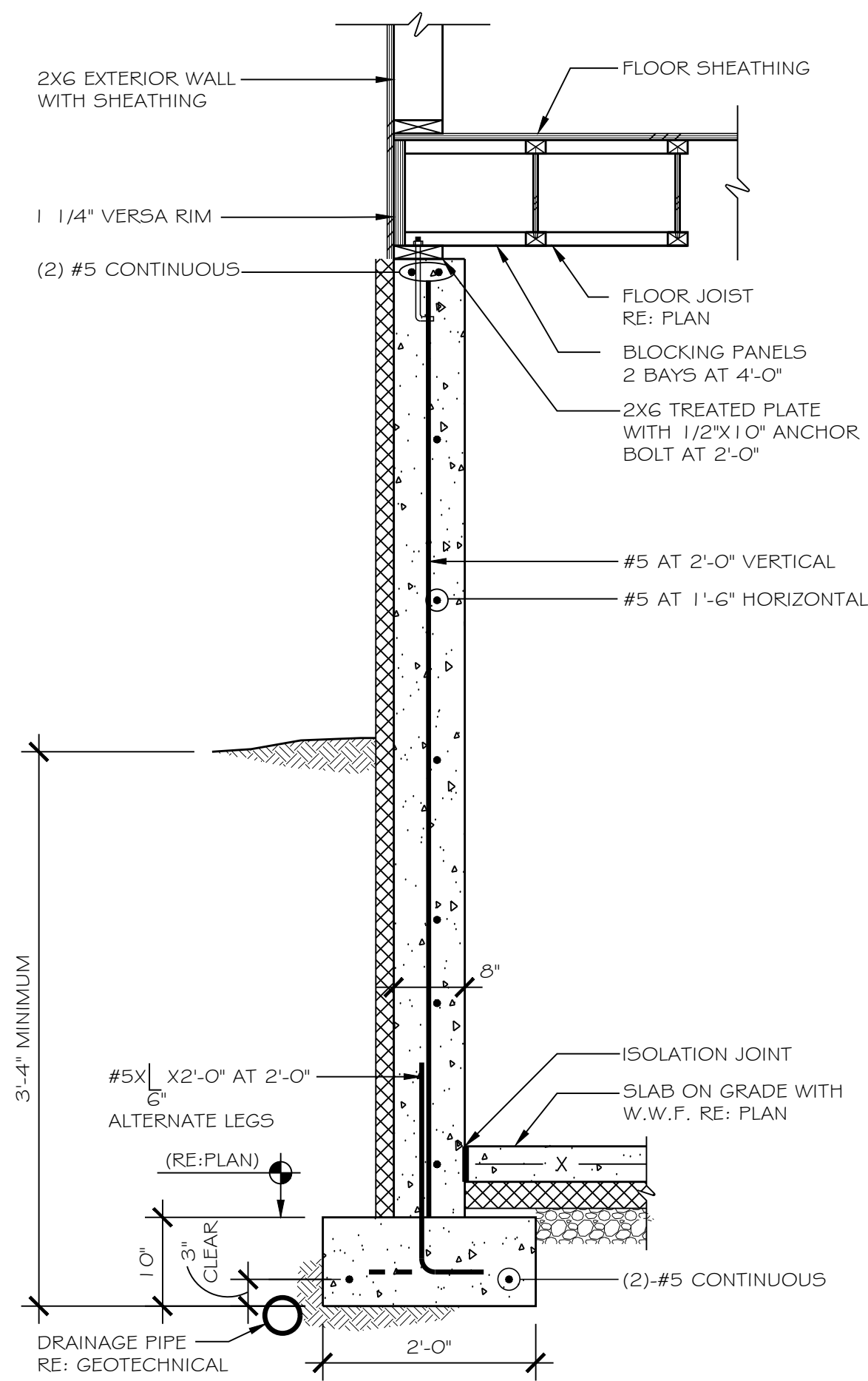
- A. ALL FRAMING LUMBER SHALL BE DRY HEM-FIR, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 2 GRADE (F<sub>b</sub> = 850 PSI). WALL STUDS ONLY MAY CONFORM TO STUD GRADE (F<sub>b</sub> = 675 PSI).
- B. ALL FRAMING TIMBERS (5"X5" AND LARGER) SHALL BE DRY DOUGLAS FIR LARCH, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 1 GRADE (F<sub>b</sub> = 1350 PSI).
- C. PREFABRICATED WOOD MEMBERS SHALL BE "BCI" JOIST AS MANUFACTURED BY BOISE CASCADE OR "TJI" JOIST AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER, TYPES AS NOTED ON THE DRAWINGS. THE BCI JOISTS SPECIFIED HAVE SLIGHTLY HIGHER CAPACITIES THAN THE TJI JOISTS SPECIFIED. ALTERNATES SHALL BE REVIEWED BY THE ENGINEER. TO BE CONSIDERED, ALTERNATES SHALL HAVE A LOAD CAPACITY IN BENDING, SHEAR AND DEFLECTION EQUAL TO OR GREATER THAN THE SIZES SHOWN ON THE DRAWINGS. WEB BLOCKING AND BRIDGING TO BE AS REQUIRED BY THE JOIST MANUFACTURER.
- D. "LVL" INDICATES 1 3/4" WIDE LAMINATED VENEER LUMBER MEMBERS, WHICH SHALL HAVE THE FOLLOWING MINIMUM STRESS CAPACITIES: F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, E = 2,000,000 PSI. BUILT UP MEMBERS SHALL BE CONNECTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- E. "GL" INDICATES GLULAM MEMBERS, WHICH SHALL BE FABRICATED OF DOUGLAS FIR LARCH AT 12 PERCENT MOISTURE CONTENT IN ACCORDANCE WITH WCLUB. PROVIDE MEMBERS CONFORMING WITH AITC 117, 24F-V4 DF/DF UNLESS NOTED OTHERWISE.
- F. PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS AT ALL SUPPORTS AND ENDS OF CANTILEVERS.
- G. WHEN PRESERVATIVE TREATED LUMBER IS USED ALL CONNECTIONS AND NAILING SHALL BE ADEQUATELY GALVANIZED.
- H. ALL BEAM/BEAM AND BEAM/COLUMN CONNECTIONS SHALL BE MADE WITH SIMPSON STEEL PLATE CONNECTORS UNLESS NOTED OTHERWISE.
- I. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE IRC TABLE R602.3(1) UNLESS NOTED OTHERWISE.
- J. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- K. OVERFRAMING SHALL BE 2X6 MINIMUM POSTED DOWN TO MAIN JOISTS ON A GRID NOT TO EXCEED 2'-0" X 2'-0".
- L. PLYWOOD DECK AND/OR ORIENTED STRAND BOARD
  - 1. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
  - 2. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCTS STANDARD PSI, LATEST EDITION FOR PLYWOOD.
  - 3. FOR FLOORING USE 3/4" T&G STURD-I-FLOOR SHEATHING GLUED AND NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 4. FOR ROOF USE 5/8" (40/20 SPAN RATING) EXPOSURE 1 SHEATHING NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 5. EXTERIOR WALLS SHALL HAVE ONE LAYER 7/16" EXPOSURE 1 SHEATHING NAILED WITH 8D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. ALL PANEL EDGES SHALL BE BLOCKED.
  - 6. FLOOR AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS WITH END JOINTS STAGGERED.
  - 7. INSTALL SUITABLE EDGE SUPPORT BY USE OF PLYCLIPS, TONGUE AND GROOVE PANELS OR SOLID WOOD BLOCKING SUPPORTS.

7. GENERAL

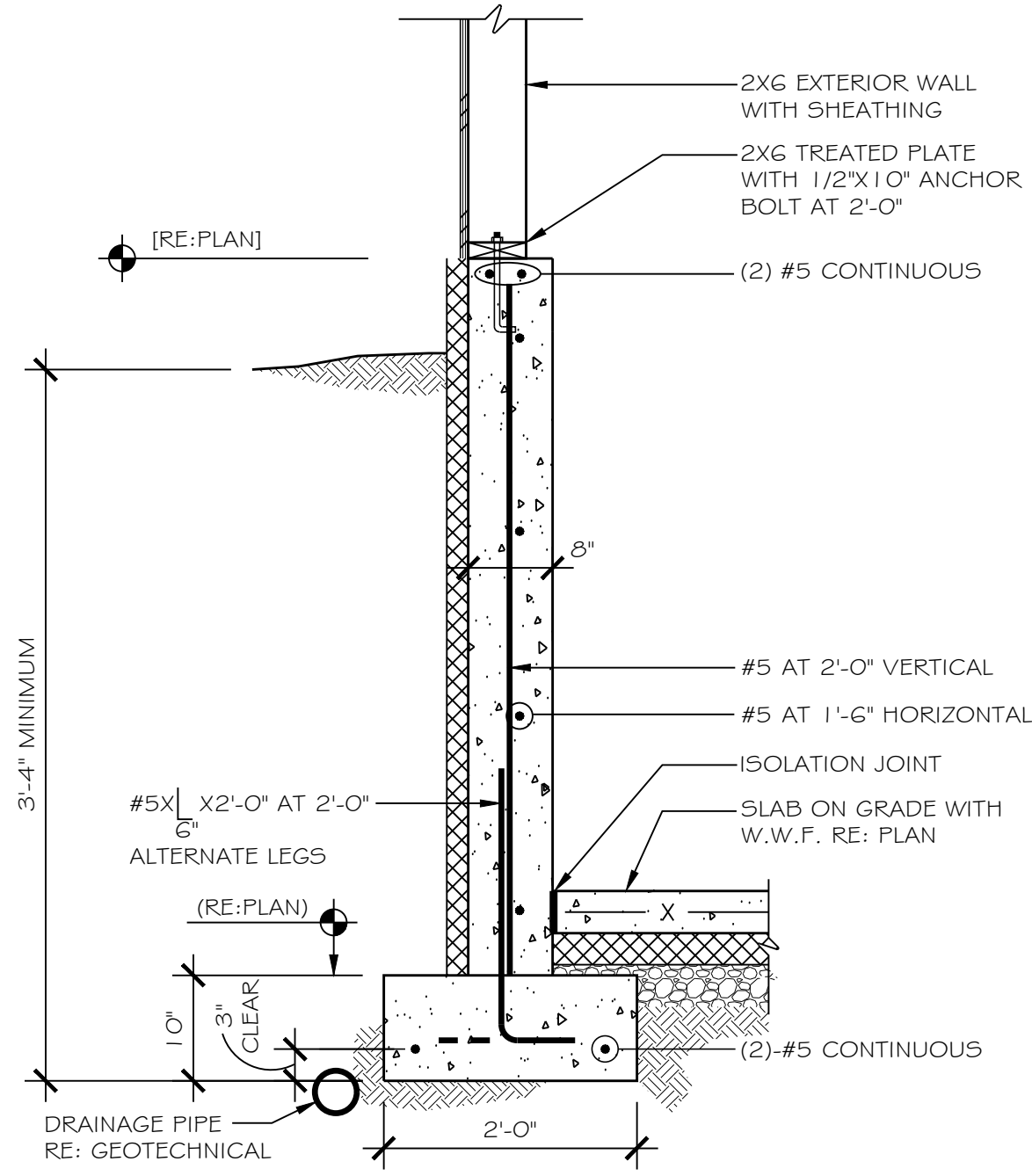
- A. ENGINEER'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
- B. ALL DIMENSIONS AND DETAILS ON STRUCTURAL DRAWINGS SHALL BE FIELD VERIFIED AND CHECKED AGAINST ARCHITECTURAL DRAWINGS.
- C. WATERPROOFING, VAPOR BARRIERS, WATERSTOP, ETC., SHALL BE AS SHOWN IN ARCHITECTURAL DRAWINGS AND DETAILS.
- D. ELEMENTS SUCH AS NON-BEARING PARTITIONS ATTACHED TO AND/OR SUPPORTED BY THE STRUCTURE SHALL TAKE INTO ACCOUNT DEFLECTIONS AND OTHER STRUCTURAL MOVEMENTS.
- E. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. VERIFICATION OF LOCATIONS, SIZES AND REQUIRED CONNECTIONS ARE CONTRACTOR'S RESPONSIBILITY. ENGINEER'S APPROVAL OF CONNECTIONS AND SUPPORTS SHALL BE OBTAINED PRIOR TO INSTALLATION OF MECHANICAL AND ELECTRICAL EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR STAIR FRAMING DETAILS AND LANDING SLAB ELEVATIONS.
- G. ALL STONE VENEERS SHALL BE THIN ADHERED TYPE AND SHALL BE ATTACHED TO INTERIOR AND EXTERIOR WALLS AS SPECIFIED IN SECTION R703.8 OF THE INTERNATIONAL RESIDENTIAL CODE.
- H. (E) INDICATES EXISTING, (N) INDICATES NEW.



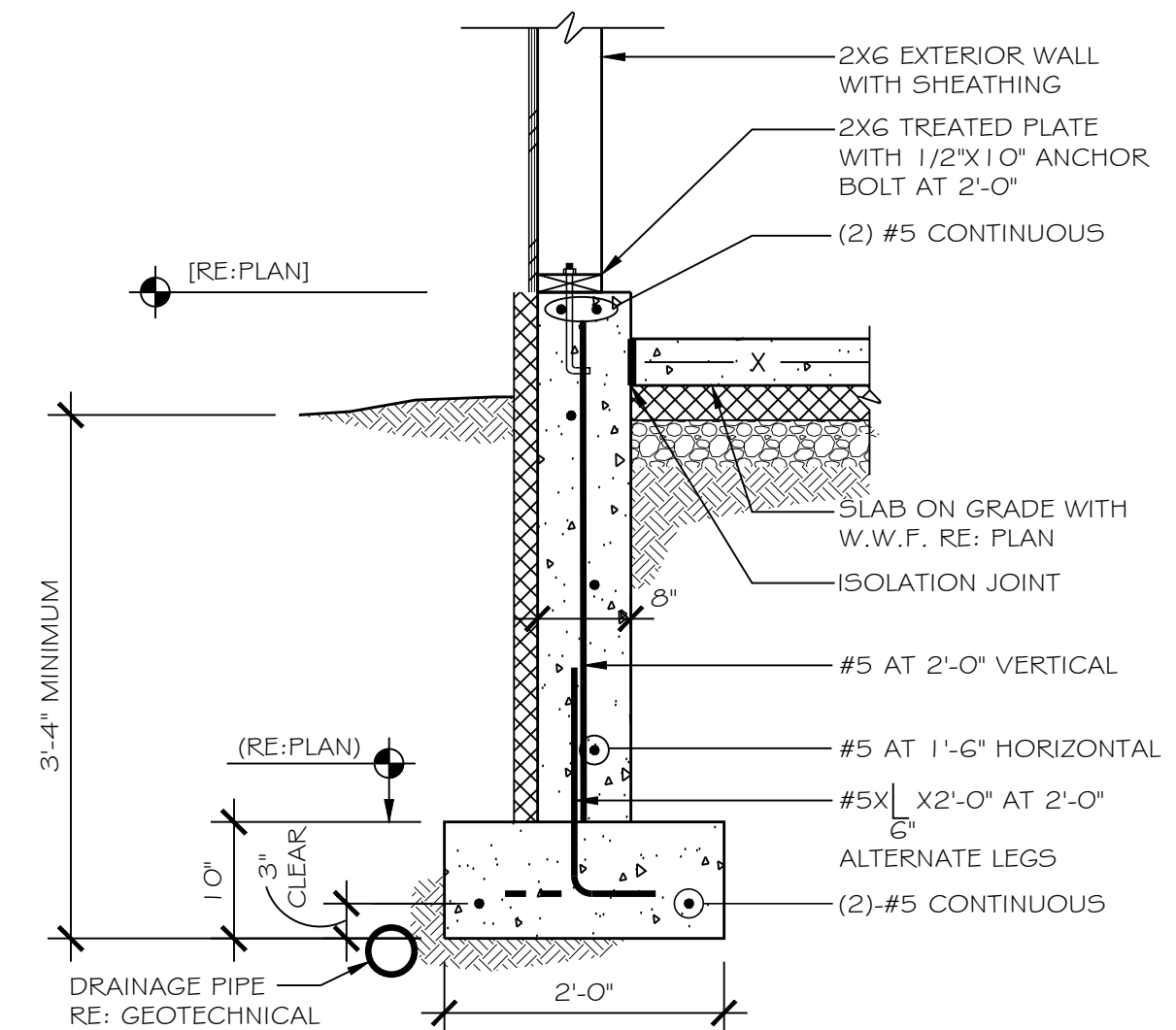
**BEAM POCKET**  
SCALE: 3/4" = 1'-0"



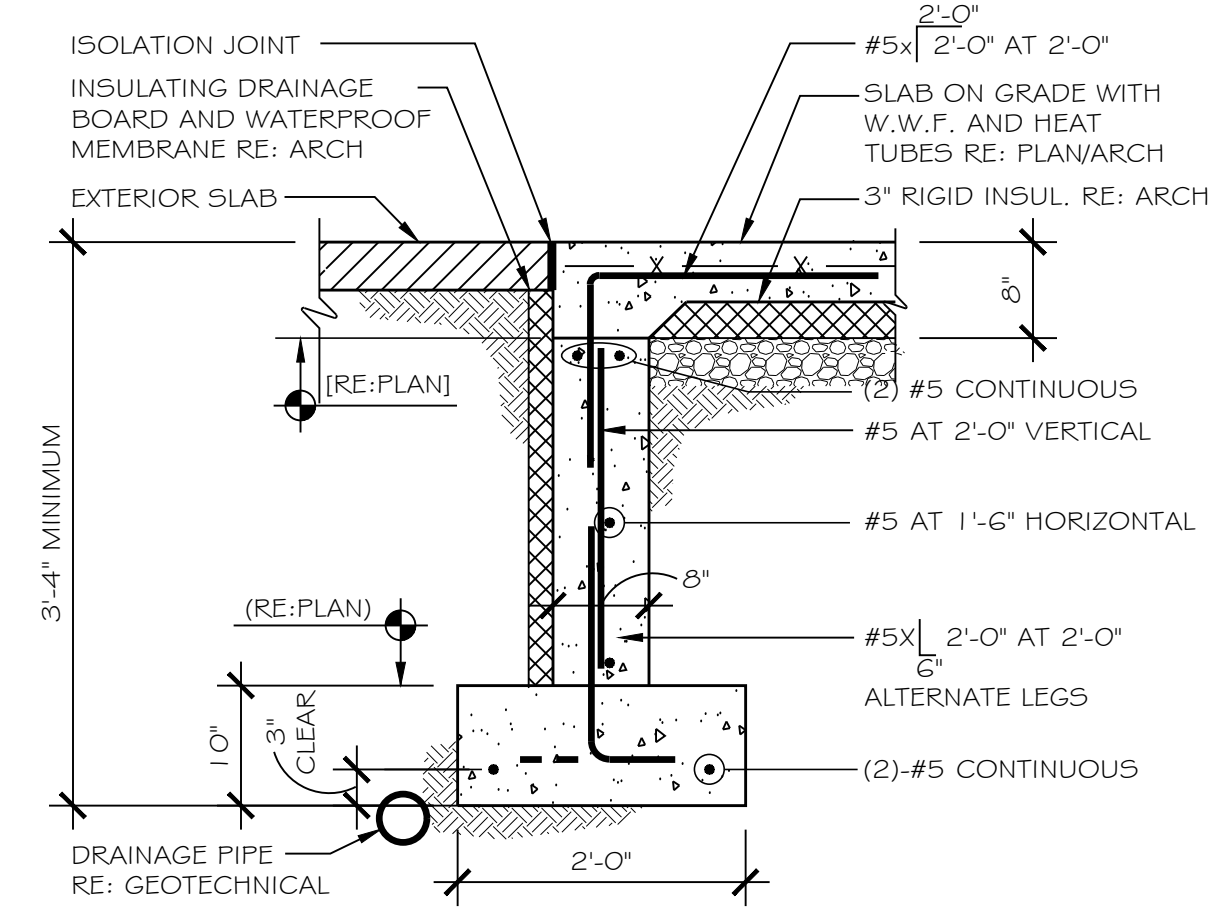
**GARAGE BACK WALL**  
SCALE: 3/4" = 1'-0"



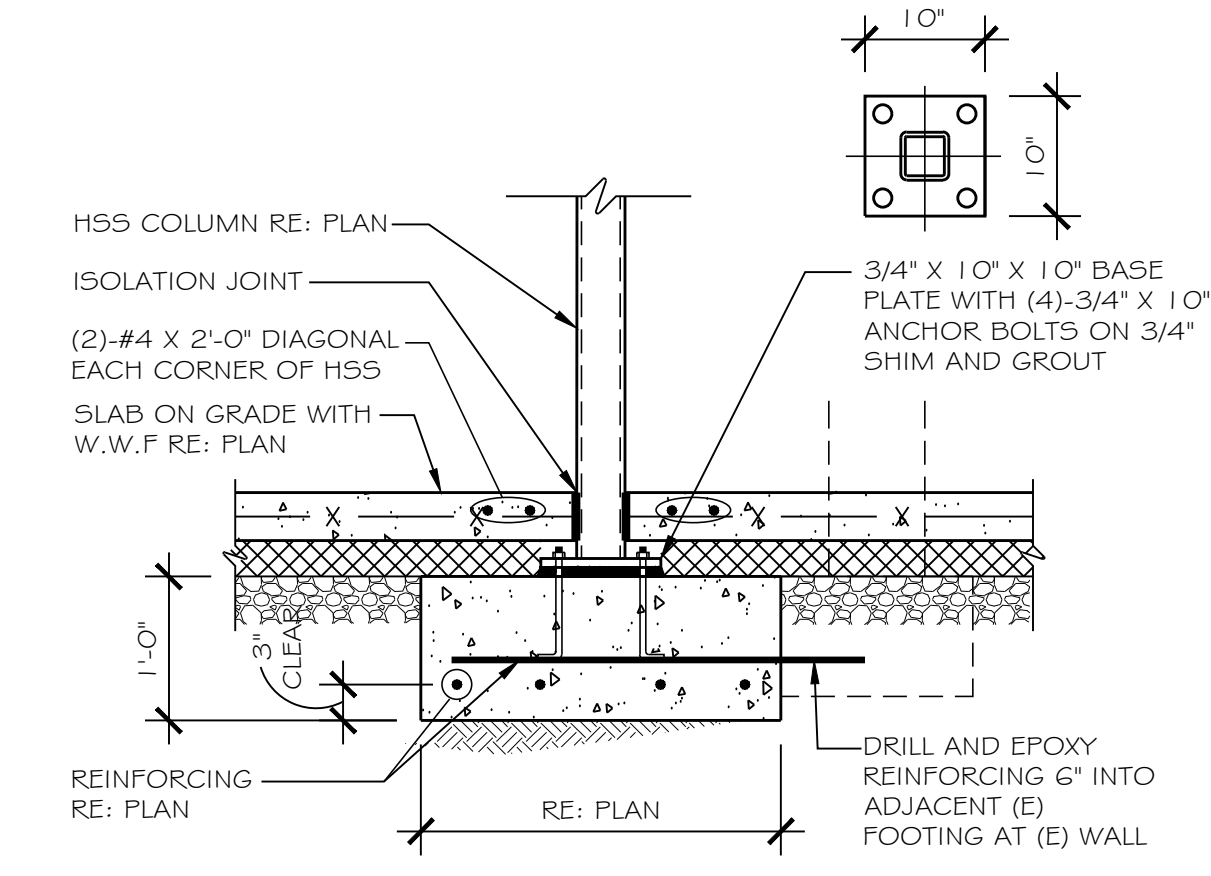
**GARAGE SIDE WALL**  
SCALE: 3/4" = 1'-0"



**LOWER FOUNDATION**  
SCALE: 3/4" = 1'-0"



**FOUNDATION AT DOOR**  
SCALE: 3/4" = 1'-0"



**HSS COLUMN FOOTING**  
SCALE: 3/4" = 1'-0"

**FOX STRUCTURAL ENGINEERING, LLC**  
216 SNOWBERRY WAY  
DILLON, COLORADO 80435  
(970) 376-2005

**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

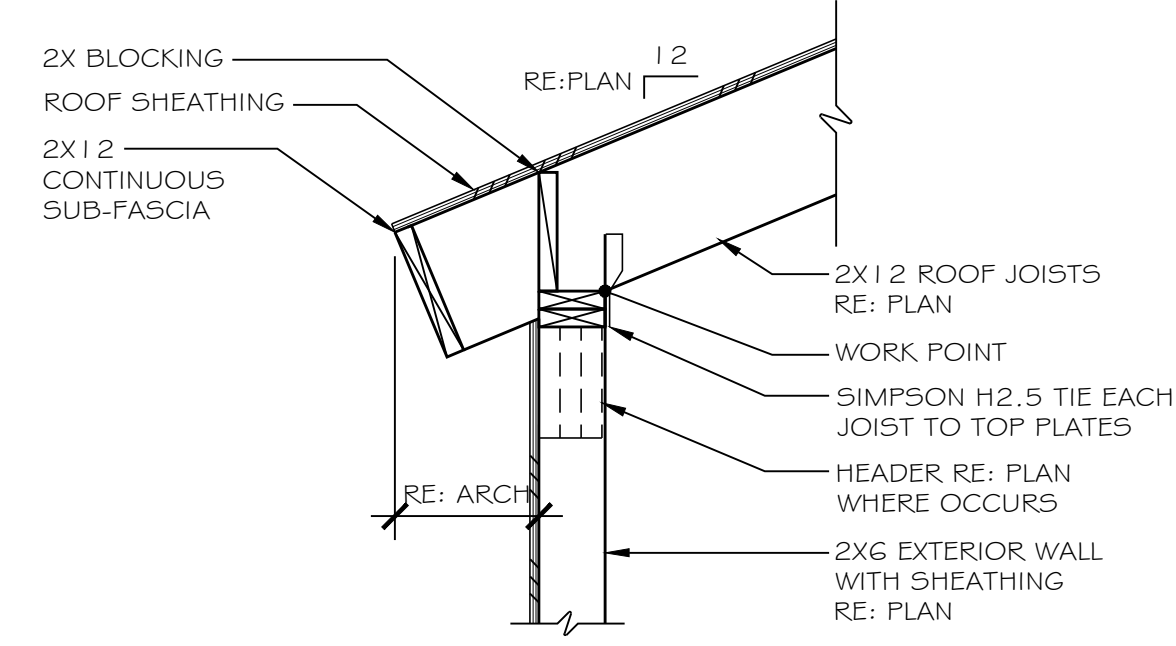
**S2.1**  
NOTES & DETAILS



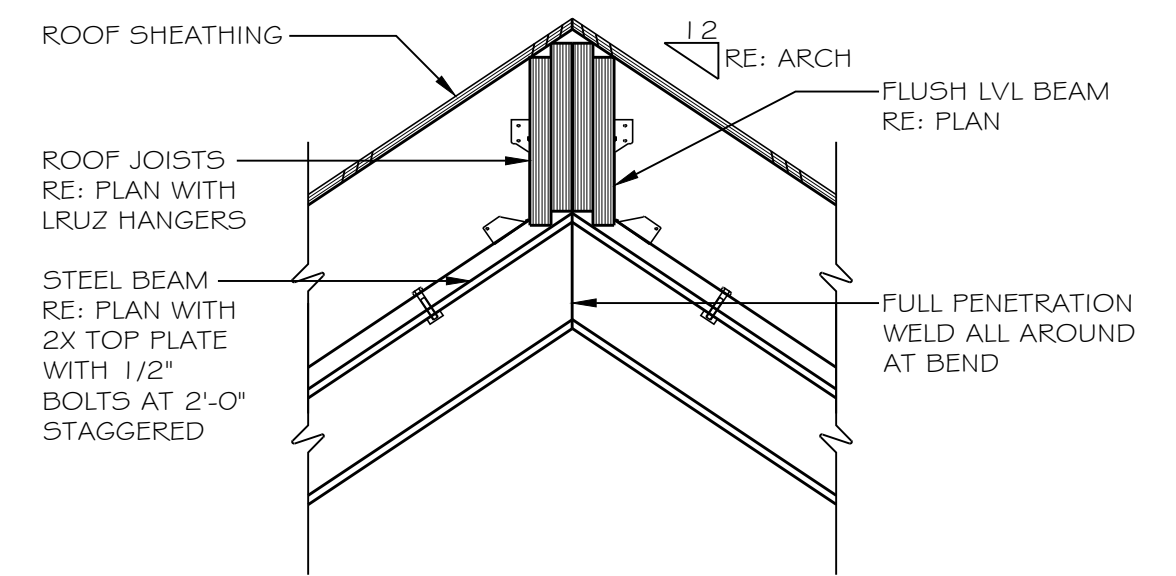
**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

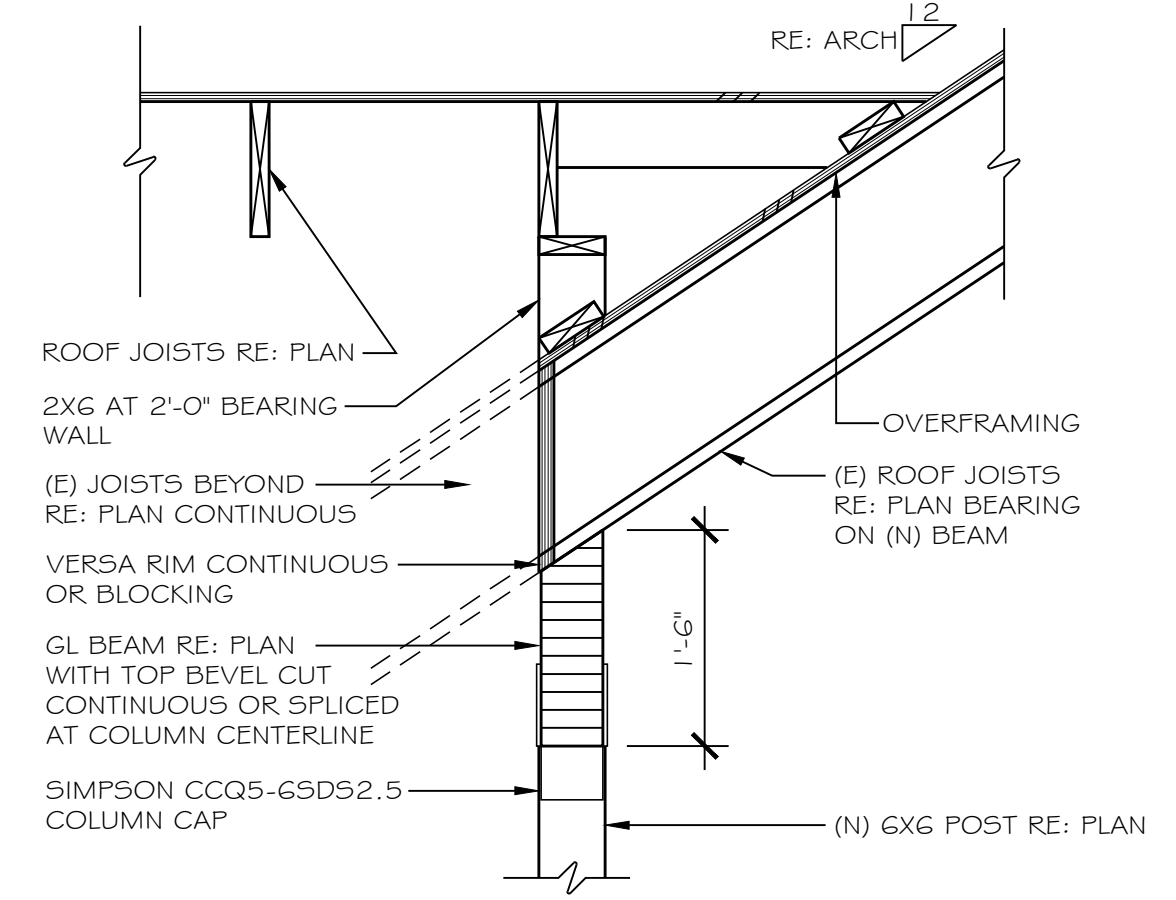
**S2.2**  
FRAMING DETAILS



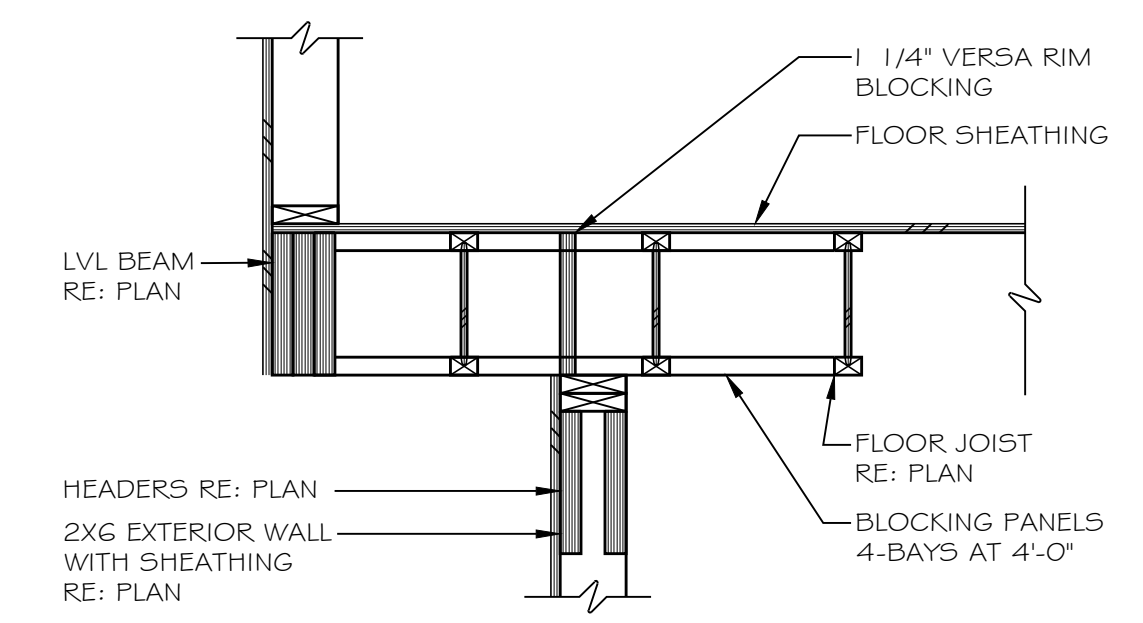
**11 EAVE SECTION**  
SCALE: 3/4" = 1'-0"



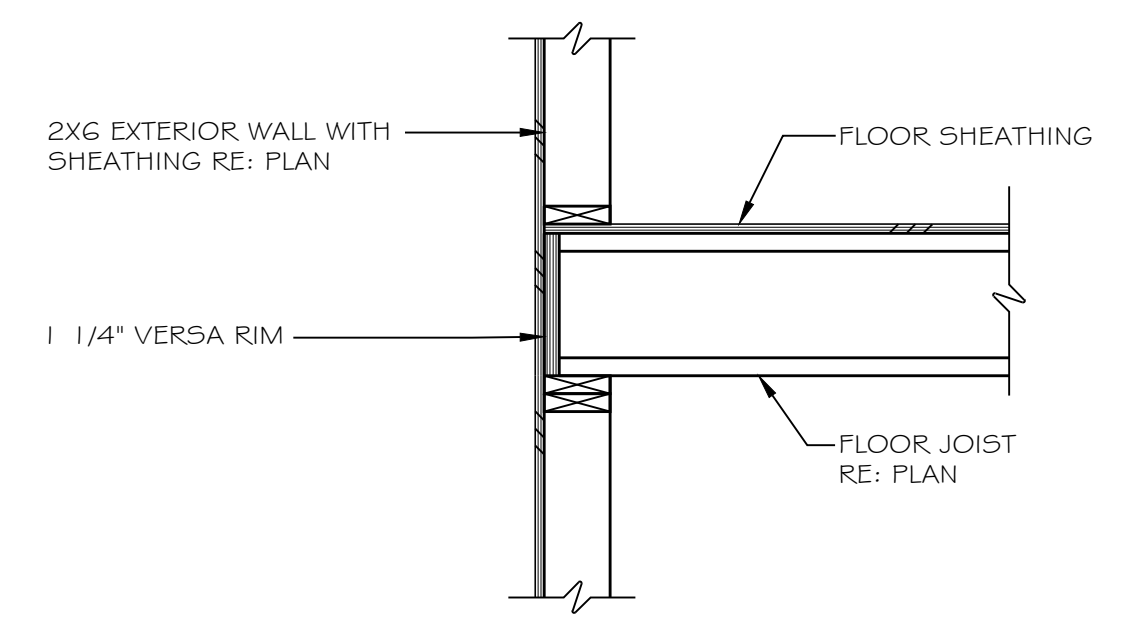
**12 FLUSH LVL RIDGE**  
SCALE: 3/4" = 1'-0"



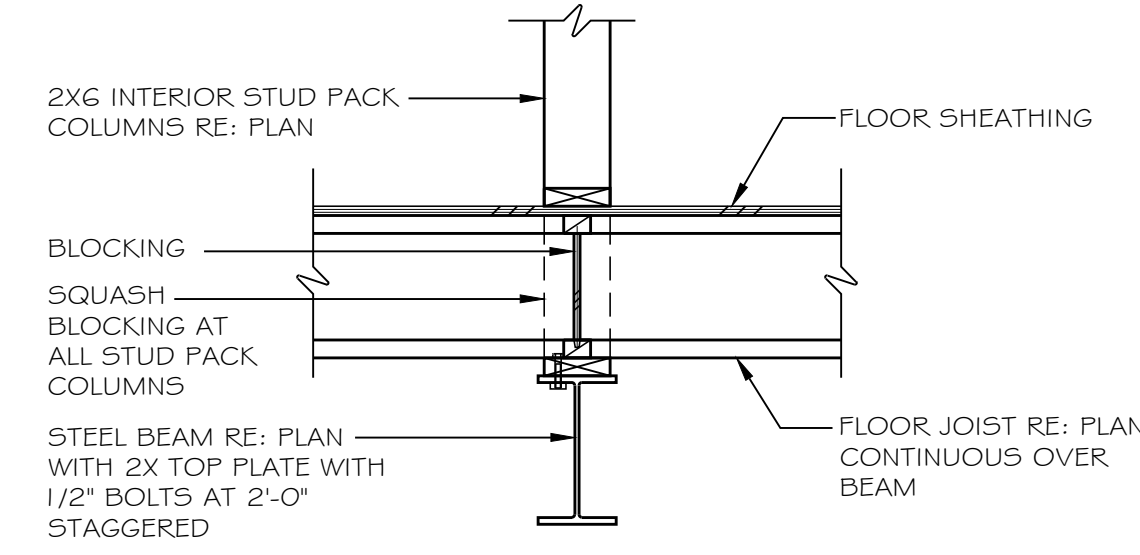
**13 (N) ROOF BEAM AT (E)**  
SCALE: 3/4" = 1'-0"



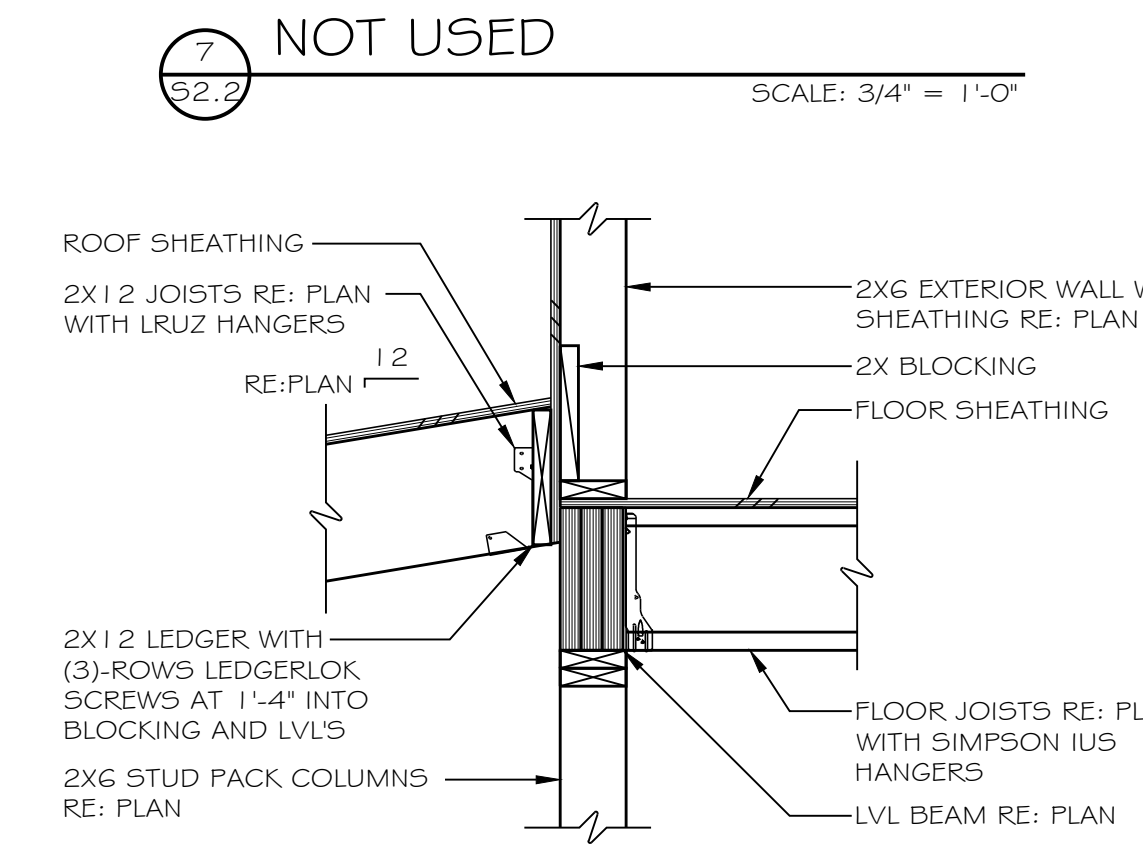
**6 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



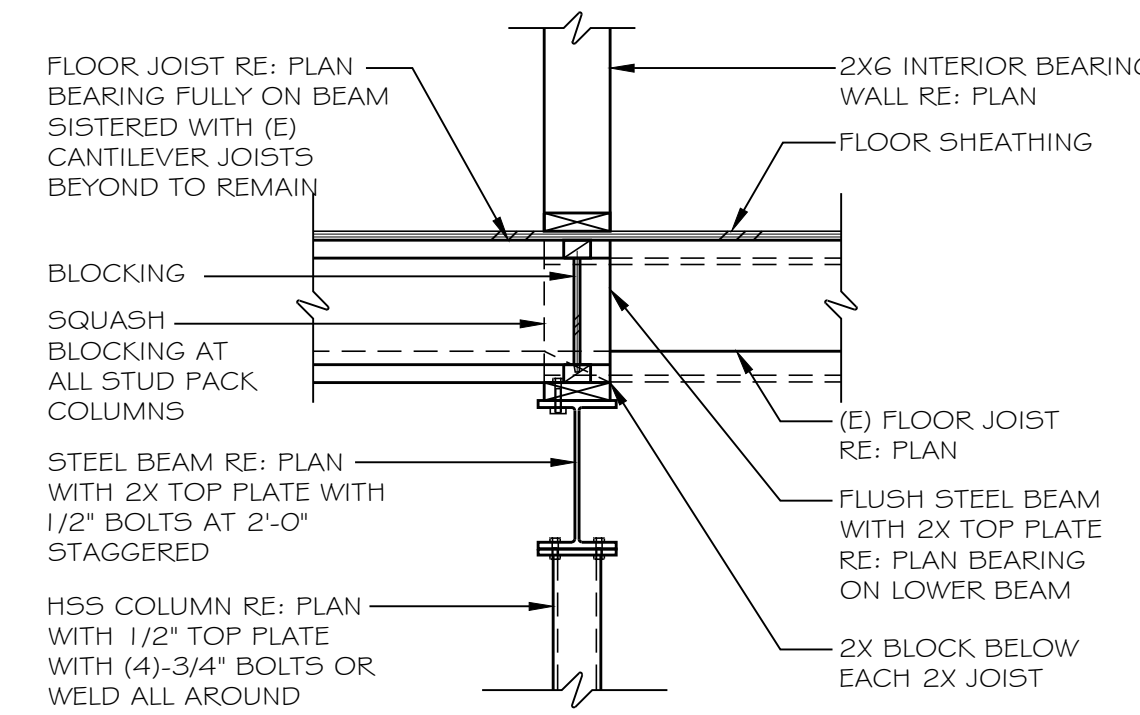
**1 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



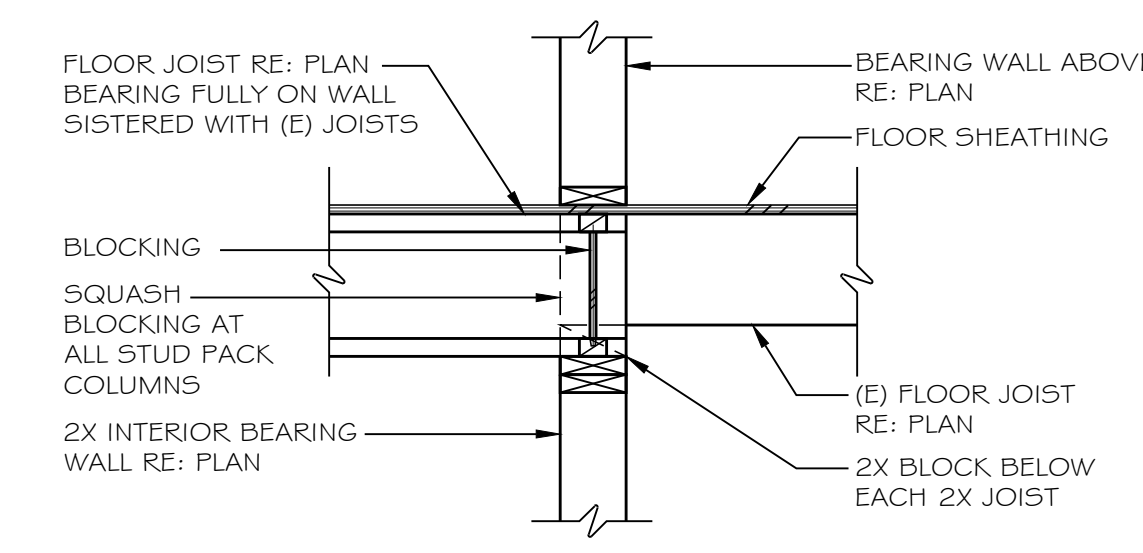
**2 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"



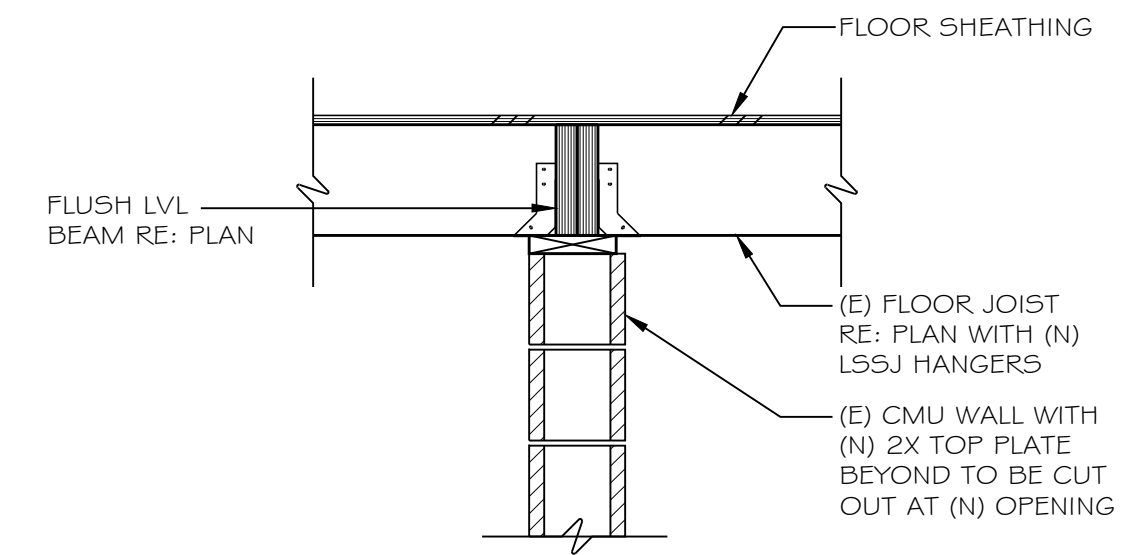
**8 FLUSH LVL BEAM / LOW ROOF**  
SCALE: 3/4" = 1'-0"



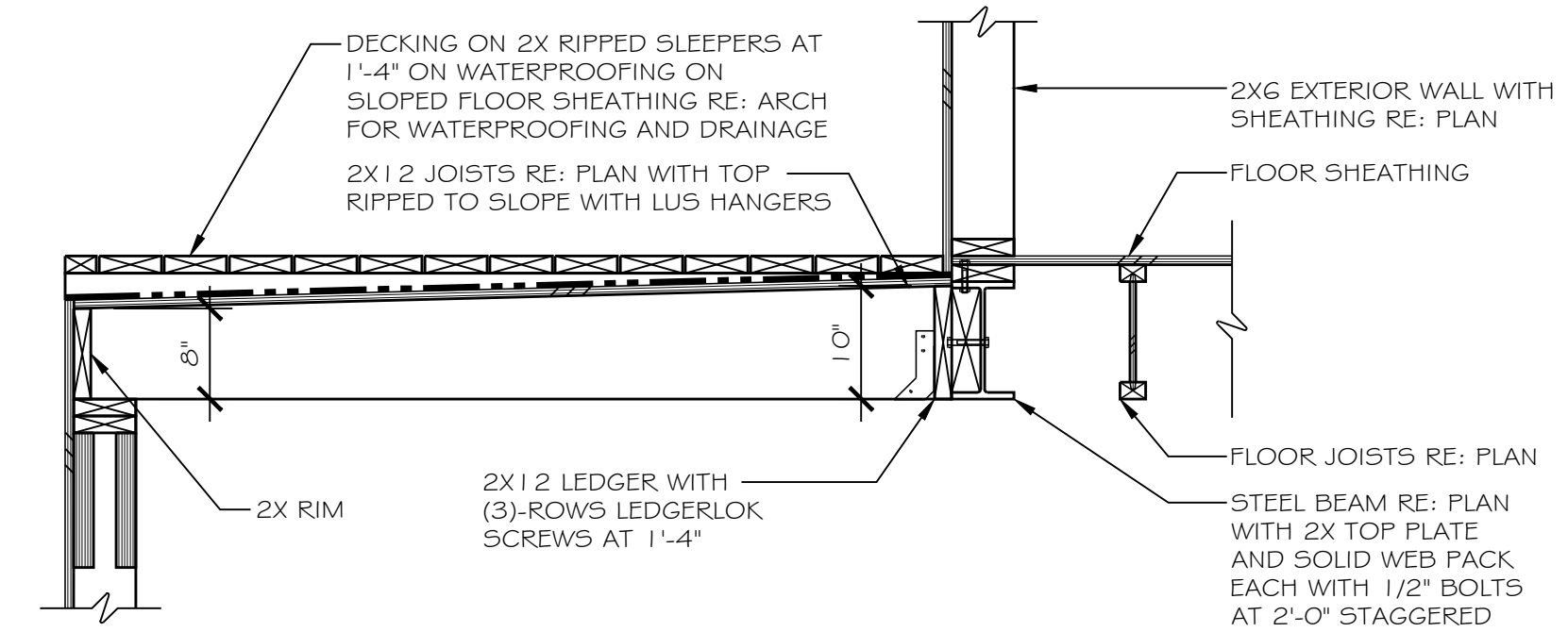
**3 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"



**9 BEARING WALL SECTION**  
SCALE: 3/4" = 1'-0"



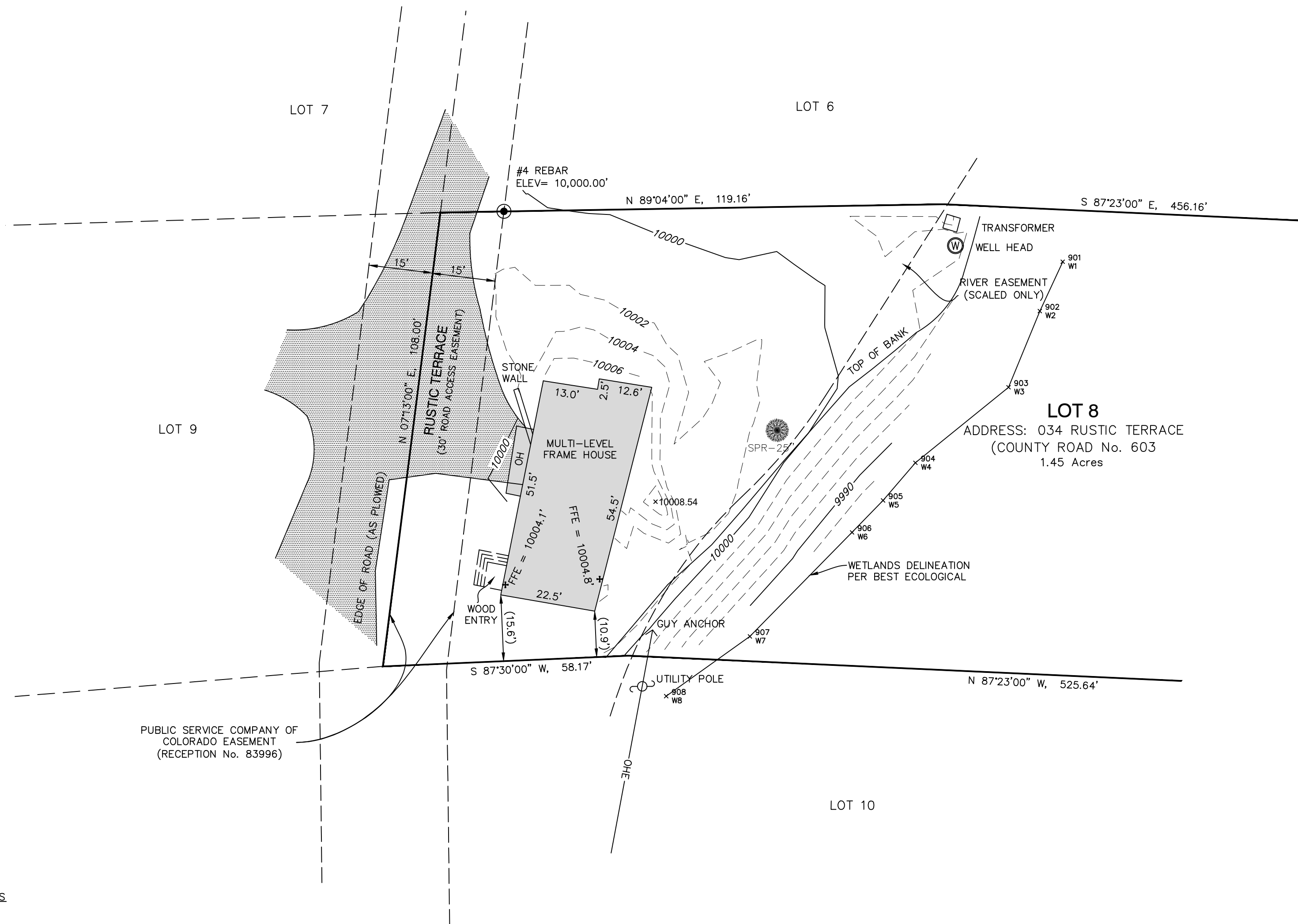
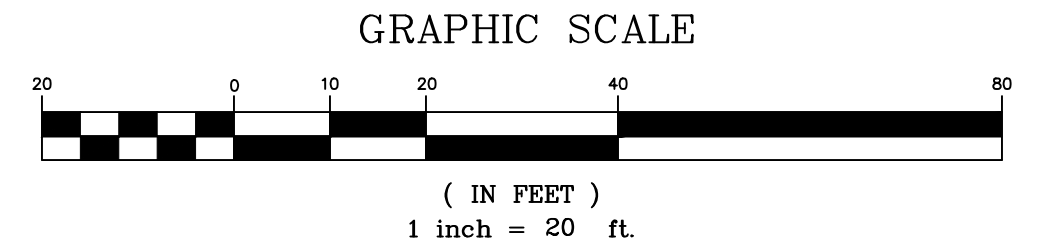
**4 FLUSH BEAM AT CMU**  
SCALE: 3/4" = 1'-0"



**10 UPPER LEVEL DECK**  
SCALE: 3/4" = 1'-0"

**5 NOT USED**  
SCALE: 3/4" = 1'-0"

# A PARTIAL TOPOGRAPHIC MAP OF LOT 8, BLUE RIVER ESTATES INC, BLUE ROCK SPRINGS SUBDIVISION TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO



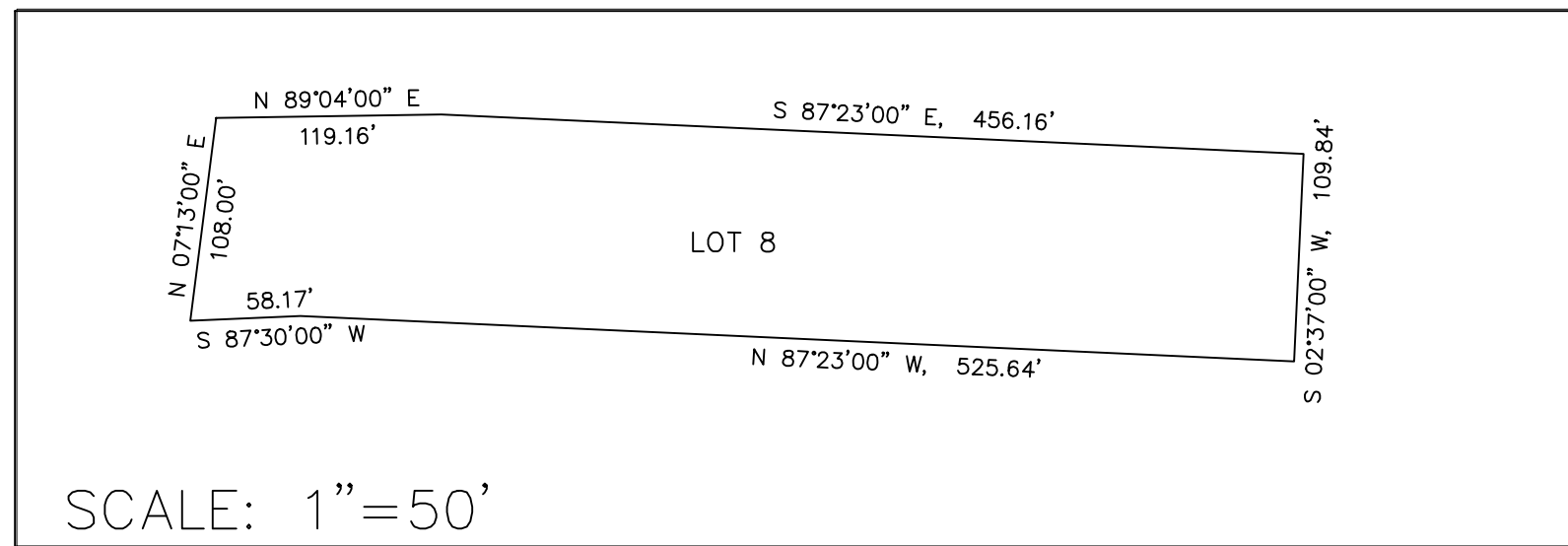
**LEGEND**

	#4 REBAR
	UTILITY POLE
	WELL HEAD
	WETLANDS FLAGGING WITH NUMBER
	SPRUCE TREE WITH TRUNK DIAMETER
	OVERHEAD ELECTRIC LINE

**SURVEYOR'S CERTIFICATE**  
I, ELIZABETH K. SCHMIDT, A PROFESSIONAL LAND SURVEYOR REGISTERED UNDER THE LAWS OF THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC MAP WAS MADE BY ME AND UNDER MY SUPERVISION, AND THAT THE MAP IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

DATE: \_\_\_\_\_  
  
*Elizabeth Schmidt*  
 ELIZABETH K. SCHMIDT  
 COLORADO P.L.S. 37047

- GENERAL NOTES**
- DATE OF SURVEY: MARCH 11, 2022. ADD WETLANDS JUNE 13, 2023.
  - CONTOUR INTERVAL = TWO FEET.
  - PROJECT BENCHMARK: HELD ELEVATION 10,000.0' AT NORTHWEST CORNER LOT 8, INTERPOLATED FROM SUMMIT COUNTY GIS WEBSITE.
  - THE PLAT FOR LOT 8, BLUE RIVER ESTATES INC, BLUE ROCK SPRINGS SUBDIVISION, WAS RECORDED AUGUST 7, 1961 AT RECEPTION No. 93729 IN THE SUMMIT COUNTY CLERK AND RECORDER'S OFFICE.
  - TWO TO FOUR FEET OF SNOW ON SITE AT TIME OF SURVEY. OTHER FEATURES MAY EXIST THAT WERE NOT VISIBLE NOR SHOWN HERON.
  - SCHMIDT LAND SURVEYING, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD.

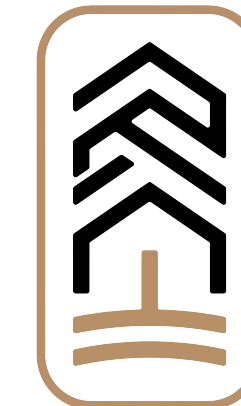


SCALE: 1" = 50'

**NOTICE:**  
 ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

Drawn TMB	Dwg 2724 TP.dwg	Project 2724
Date 6/13/23	Scale 1" = 20'	Sheet 1 of 1

**SCHMIDT**  
 LAND SURVEYING, INC.  
 P.O. Box 5761  
 FRISCO, CO 80443 970-409-9963



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF THE ARCHITECT. THEY SHALL NOT BE USED, TRANSFERRED, OR SOLD FOR USE EXCEPT BY AN AGREEMENT IN WRITING FROM THE ARCHITECT.

FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

# Fitzgerald Addition

## 0034 RUSTIC TERRACE - BLUE RIVER, COLORADO

### GENERAL NOTES PROJECT DATA SHEET INDEX

**1) COPYRIGHT:**  
ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ROOTED ARCHITECTURE, LLC. AND SHALL NOT BE USED, DISCLOSED, OR REPRODUCED FOR OR ANY PURPOSE WHATSOEVER WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

**2) CODES:**  
THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION AS ADOPTED BY BLUE RIVER, COLORADO. CODE COMPLIANCE IS MANDATORY. THE DRAWINGS AND SPECIFICATIONS SHALL NOT PERMIT WORK THAT DOES NOT CONFORM TO THESE CODES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER PURPOSES.

**3) FIELD VERIFICATION:**  
VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DRAWINGS IMMEDIATELY.

**4) DIMENSIONS:**  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS SHOWN PRIOR TO BEGINNING ANY WORK AND NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOR INTERPRETATION OR CLARIFICATION. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR OP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.

**5) DISCREPANCIES:**  
THE OWNER HAS REQUESTED THE ARCHITECT TO PROVIDE LIMITED ARCHITECTURAL AND ENGINEERING SERVICES. IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THIS PROJECT, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO GIVE SIMPLE NOTICE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED WITH WRITTEN DIRECTION FROM THE ARCHITECT.

**6) DUTY OF COOPERATION:**  
RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES.

**7) CHANGES TO THE WORK:**  
ANY ITEMS DESCRIBED HEREIN THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER REQUEST PRIOR TO SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER INDICATES GENERAL CONTRACTOR'S ACKNOWLEDGMENT OF NO INCREASE IN CONTRACT SUM OR TIME. CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.

**8) WORKMANSHIP:**  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.

**9) SUBSTITUTIONS:**  
SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

**10) CONSTRUCTION SAFETY:**  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

**11) EXCAVATION PROCEDURES:**  
UPON COMPLETION OF ANY EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

**12) FIELD CUTTING OF STRUCTURAL MEMBERS:**  
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING. REFER TO CURRENT INTERNATIONAL BUILDING CODE, MANUFACTURER'S OR SUPPLIER'S INSTRUCTIONS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

**13) EXTERIOR MATERIAL MOCK UP:**  
THE GENERAL CONTRACTOR SHALL PROVIDE A MOCK UP OF ALL EXTERIOR MATERIALS FOR REVIEW BY THE OWNER, ARCHITECT AND INTERIOR DESIGNER. THIS MOCK UP SHALL BE PROVIDED AND SIGNED OFF IN WRITING PRIOR TO ANY EXTERIOR FINISH WORK. THE SAMPLE SHALL INCLUDE FASCIA, TRIM WINDOW CLADDING, AND ALL OTHER EXTERIOR FINISHES INCLUDING 3'X3' SAMPLE OF EXTERIOR STONE WORK. THIS SHALL BE RETAINED ON SITE UNTIL THE FINAL PUNCH LIST IS COMPLETE.

**14) WEATHER CONDITIONS:**  
THE OWNER HAS BEEN ADVISED THAT DUE TO HARSH WINTER CONDITIONS, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER (W.R. GRACE FOR BITUTHENE, ETC.) PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO PROVIDE THESE WRITTEN APPROVALS REMOVES ALL RESPONSIBILITY FOR THE WORK FROM THE ARCHITECT.

**15) BUILDING AREA**  
BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ANY OTHER USE.

**16) PROJECT STAKING**  
THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND STAKE ALL BUILDING CORNERS AND DRIVEWAY LOCATION FOR OWNER/ARCHITECT AND DESIGN REVIEW BOARD APPROVAL PRIOR TO BEGINNING ANY SITE CLEARING.

**17) SITE DISTURBANCE**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE EXISTING TREES TO REMAIN AND ADJACENT PROPERTIES FROM DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTIVE FENCING THROUGHOUT CONSTRUCTION.

**18) PROJECT GRADES**  
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL GRADES INCLUDING PAVED AREA SLOPES PRIOR TO POURING ANY FOUNDATIONS. SURVEY WORK SHOULD BE VERIFIED IN DETAIL.

**19) EXISTING CONDITIONS**  
THE PLANNED MODIFICATIONS AND ADDITIONS INCLUDED IN THESE DOCUMENTS DO NOT REQUIRE CHANGES OR MODIFICATIONS TO THE EXISTING STRUCTURAL COMPONENTS OF THIS BUILDING. THE GENERAL CONTRACTOR IS TO FIELD VERIFY ALL STRUCTURAL CONDITIONS ARE UNCHANGED DURING DEMOLITION AND CONSTRUCTION. ANY AND ALL STRUCTURAL COMPONENTS DISCOVERED TO REQUIRE MODIFICATION SHALL BE REPORTED TO THE ARCHITECT AND IF REQUIRED, REFERRED TO A STRUCTURAL ENGINEER FOR EVALUATION AND RECOMMENDATION BEFORE WORK PROCEEDS IN AFFECTED AREA.

**20) 3D MODELING**  
THIS PROJECT HAS BEEN DIGITALLY MODELED IN 3D SOFTWARE. THE DIGITAL MODEL IS PROVIDED FOR REFERENCE PURPOSES ONLY. TRANSMISSION OF DIGITAL MODEL FILES CONSTITUTES A WARRANTY BY THE PARTY TRANSMITTING FILES TO THE PARTY RECEIVING FILES THAT THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF THE DIGITAL DATA. UNLESS OTHERWISE AGREED IN WRITING, ANY USE OF, TRANSMISSION OF, OR RELIANCE ON THE MODEL IS AT THE RECEIVING PARTY'S RISK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF QUESTIONS OR COORDINATION ISSUES BETWEEN THE CONTRACT DOCUMENTS AND DIGITAL MODEL.

**LEGAL DESCRIPTION:**  
0034 RUSTIC TER (CR 603) BLUE RIVER, COLORADO 80461  
LOT 8 BLUE ROCK SPRINGS SUBDIVISION

**USGS DATUMS**

<b>EXISTING GARAGE:</b>	100'-0" = 10,000.1' USGS	<b>NOTE: CONTRACTOR TO VERIFY ALL EXISTING DATUMS PRIOR TO CONSTRUCTION</b>
<b>MAIN LEVEL:</b>	109'-6" = 10,009.6' USGS	
<b>LOFT LEVEL:</b>	118'-5" = 10,018.4' USGS	

**AREAS CALCULATIONS**

	FINISHED (EXIST)	UNFINISHED (EXIST)	FINISHED (NEW)	UNFINISHED (NEW)	TOTAL
LOWER LEVEL	298 SF	434 SF	0 SF	767 SF	1,499 SF
MAIN LEVEL	1,277 SF	0 SF	506 SF	0 SF	1,783 SF
LOFT LEVEL	532 SF	0 SF	271 SF	0 SF	803 SF
<b>TOTAL:</b>	<b>2,107 SF</b>	<b>434 SF</b>	<b>777 SF</b>	<b>767 SF</b>	<b>4,085 SF</b>

NOTE: SQUARE FOOTAGE CALCULATIONS ARE FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES

**CODE INFORMATION**

**ADOPTED CODES:**

- 2018 International Residential Code with Blue River Amendments
- 2018 International Energy Conservation Code with Blue River Amendments
- Blue River Development Code

### ENERGY REQUIREMENTS

- ENERGY EFFICIENT DESIGN FEATURES:**
- RADIANT HEATING SYSTEM, MINIMUM 95% AFUE.
  - HIGH-EFFICACY LED LIGHTING
  - ENERGY EFFICIENT WATER HEATER. ELECTRIC MINIMUM 0.95 ENERGY FACTOR /GAS, MINIMUM 0.76 ENERGY FACTOR.
  - PROVIDE AN ELECTRICAL CAR CHARGING ROUGH IN, INCLUDING A BLANKED ELECTRICAL BOX, AND A RACEWAY TERMINATING IN THE ELECTRICAL PANEL.
  - PROVIDE PV READY CONSTRUCTION INCLUDING A METAL RACEWAY FROM THE ELECTRICAL PANEL TO THE ROOF LOCATION WHERE THE PANELS WILL BE INSTALLED, INCLUDING A ROOF JACK, A #8 COPPER GROUND, A 2 PULL BLANK IN THE ELECTRICAL PANEL AND AN ELECTRICAL CONDUIT FROM THE ELECTRICAL PANEL OUT TO THE ELECTRIC METER.
  - WATERSENSE FIXTURES THROUGHOUT.
  - (OPTIONAL) HRV/ ERV, 65% SENSIBLE HEAT RECOVERY EFFICIENCY, MEETING MINIMUM AIRFLOW RATES PER IRC INSTALLED.
  - PROGRAMMABLE THERMOSTATS.

**THERMAL ENVELOPE REQUIREMENTS (2018 IRC CH. 11 - SUMMIT COUNTY ZONE 7):**

<b>ROOF/ CEILING:</b>	R49 CLOSED-CELL SPRAY FOAM
<b>ABOVE GRADE WALLS:</b>	R23 CAVITY CLOSED-CELL SPRAY FOAM PER AMENDMENT TO TABLE N1102.1.2 (IECC R402.1.2) R10 /4' MAX U 0.30 / SHGC N/A
<b>SLABS, INCLUDING SLAB EDGE:</b>	R38
<b>FENESTRATIONS:</b>	R15 CI OR R19 CAVITY
<b>FLOOR R-VALUE:</b>	ACH 2.7 AT A PRESSURE 0.2 INCHES W.G. (50 PASCALS)
<b>BASEMENT WALL:</b>	
<b>BLOWER DOOR:</b>	

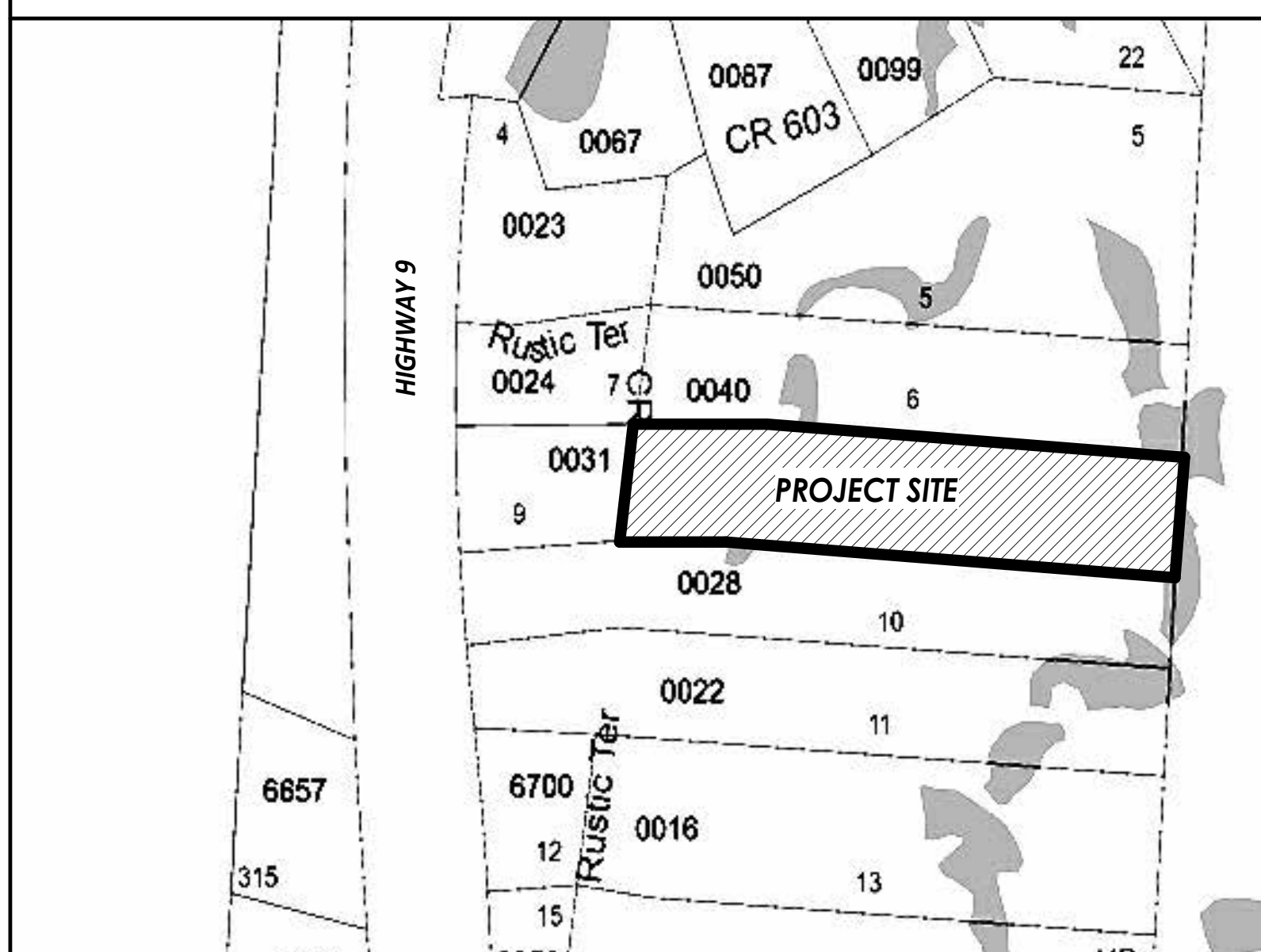
THESE SPECIFICATIONS ARE BASED OFF OF THE 2018 IECC RESIDENTIAL THERMAL ENVELOPE REQUIREMENTS AS DESCRIBED IN TABLE R402.1.3, WHICH SHOULD BE REFERRED TO FOR INTERPRETATION REASONS. SEE PLANS AND DETAILS RELATED TO SPECIFIC INSULATION REQUIREMENTS FOR EXTERIOR BUILDING ENVELOPE.

THERMAL AND VAPOR CONTROL DESIGN BASED ON CLOSED-CELL FOAM INSULATION AND AIR SEALING THROUGHOUT.

**SHEET INDEX**

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
A0.1	COVER SHEET	05.01.2023
A0.2	ENLARGED SITE PLAN	05.01.2023
A1.1	FLOOR PLAN - LOWER	05.01.2023
A1.2	FLOOR PLAN - MAIN	05.01.2023
A1.3	FLOOR PLAN - UPPER	05.01.2023
A1.4	ROOF PLAN	05.01.2023
A2.1	CEILING PLANS	05.01.2023
A4.1	EXTERIOR ELEVATIONS	05.01.2023
A5.1	BUILDING SECTIONS	05.01.2023
A6.1	POWER PLANS	05.01.2023
A7.1	DETAILS	05.01.2023
S1.1	FOUNDATION PLAN	05.01.2023
S1.2	MAIN LEVEL FRAMING PLAN	05.01.2023
S1.3	UPPER LEVEL FRAMING PLAN	05.01.2023
S1.4	ROOF FRAMING PLAN	05.01.2023
S2.1	NOTES AND DETAILS	05.01.2023
S2.2	FRAMING DETAILS	05.01.2023

### LOCATION MAP



SURVEYOR	INTERIOR DESIGN	STRUCTURAL ENG.	CONTRACTOR	ARCHITECT	OWNER
SCHMIDT LAND SURVEYING, INC. LIZ SCHMIDT 970 409-9963		FOX STRUCTURAL ENGINEERING, LLC KRISTEN E. FOX, P.E. (970)376-2005	THE ASHLAN GROUP MATT KRIGMAN 970-333-8624	ROOTED ARCHITECTURE, LLC BRANDON SMITH BRANDON@ROOTEDARCH.COM 469.363.2821	TOM AND ALEX FITZGERALD ATAYLORFITZ@GMAIL.COM TMFITZGERALD@GMAIL.COM

No.	Date	Revisions

**Project No:** 2023-16  
**Stage:** FINAL REVIEW SET  
**Date:** 05/02/2024  
**Scale:** 12" = 1'-0"

**DRAWING TITLE:**  
COVER SHEET

**DRAWING NO:**  
A0.1



ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION

34 RUSTIC TERRACE BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:  
**ENLARGED SITE PLAN**  
 DRAWING NO:

A0.2

- NOTES: SITE PLAN**
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
  2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET.
  3. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE.
  4. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVAL.
  5. PROTECT REMAINING TREES WITH APPROVED BARRIER DURING CONSTRUCTION.
  6. GENERAL CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL ZONING AND SUBDIVISION CONDITIONS.
  7. FINISHED GRADING SHALL BE A MINIMUM OF 6" BELOW FOUNDATION REFERENCE ADOPTED IRC.
  8. CONTRACTOR TO TRIM OR REMOVE ANY TREES ADJACENT TO BUILDING FOUNDATION AS REQUIRED, VERIFY WITH OWNER PRIOR TO REMOVAL.

- NOTES: SITE CONTOUR LEGEND**
- EXISTING MAJOR CONTOUR: 10.000'
- EXISTING MINOR CONTOUR: 10.002'
- PROPOSED CONTOUR:

- NOTES: SITE DRAINAGE**
1. CONTRACTOR SHALL PROVIDE PROPER SITE GRADING THAT DIRECTS SURFACE WATER AWAY FROM BUILDING FOUNDATIONS, WALLS AND NEIGHBORING PROPERTIES.
  2. GRADING AND LANDSCAPING SHOULD BE PLANNED WITH A SURFACE GRADE OF AT LEAST 1/4" AROUND AND AWAY FROM THE ENTIRE STRUCTURE. REFER TO LAKE COUNTY DEVELOPMENT CODE FOR SITE DRAINAGE REQUIREMENTS.
  3. PROPOSED SITE DRAINAGE INDICATED ON SITE PLAN WITH FLOW ARROWS:
- 

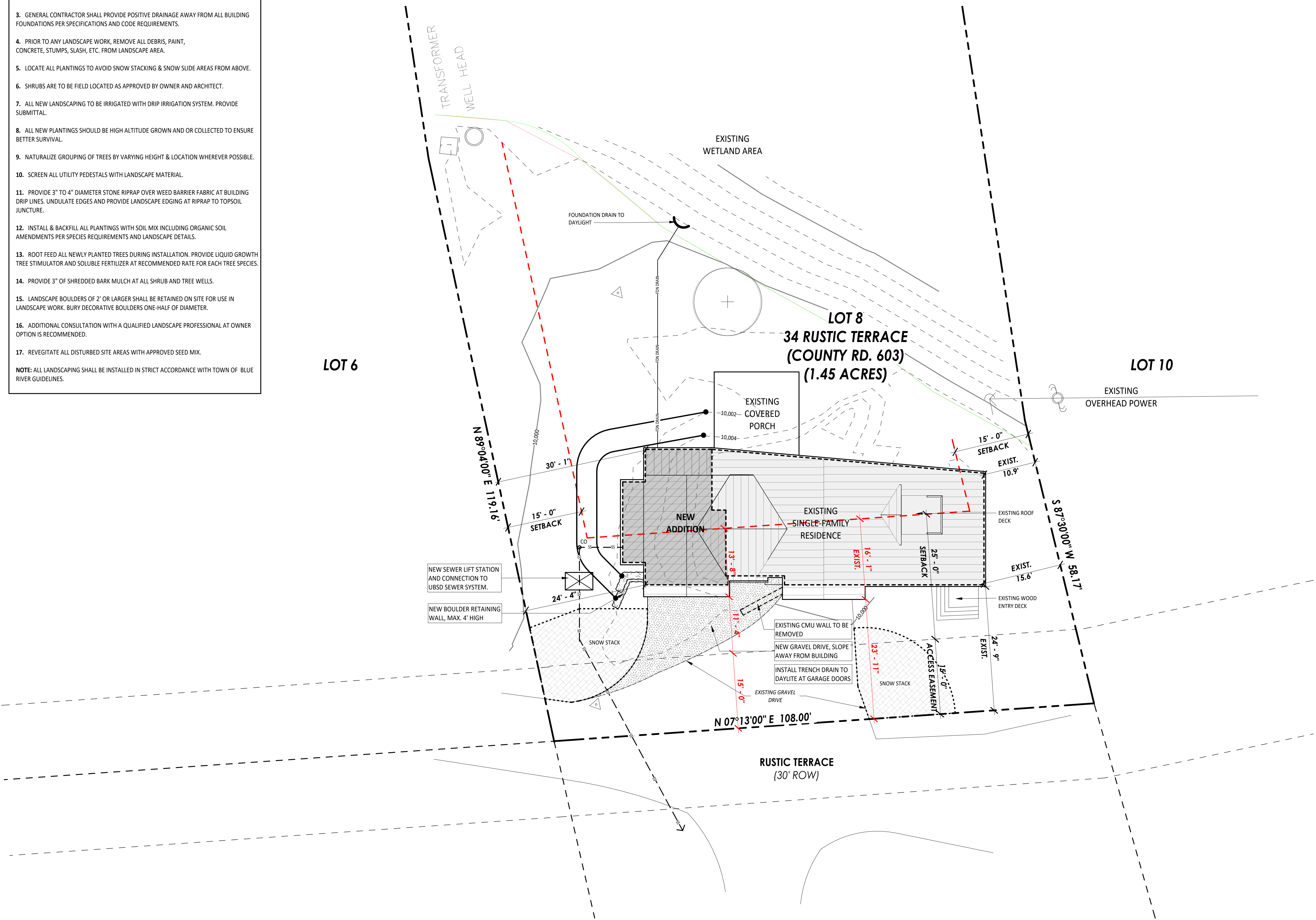
- NOTES: FOUNDATION DRAIN**
- INSTALL DRAIN TILE (PERFORATED PLASTIC DRAINAGE PIPE) ALONG THE EXTERIOR OF THE FOOTINGS OF BASEMENT OR CRAWLSPACE WALLS TO PROVIDE DRAINAGE AROUND FOUNDATION PERIMETER.
1. INSTALL DRAIN PIPE TO SIT OUTSIDE OF, NOT ON TOP OF, THE FOOTINGS AND BELOW THE BOTTOM OF THE CONCRETE SLAB OR CRAWLSPACE FLOOR.
  2. LAY THE PIPE WITH ENOUGH SLOPE TO DRAIN TO A NON-PERFORATED PIPE THAT CARRIES THE COLLECTED WATER TO DAYLIGHT, TO A DRYWELL, TO A STORM SEWER IF APPROVED BY THE LOCAL MUNICIPALITY, OR TO A SUMP PUMP THAT WILL TRANSPORT IT TO DAYLIGHT, A STORM SEWER, OR A DRYWELL.
  3. LAY THE DRAIN PIPE, PERFORATIONS DOWN, IN A GRAVEL TRENCH WITH AT LEAST 6 INCHES OF 3/4-INCH TO 1-INCH WASHED GRAVEL OR STONE ABOVE THE PIPE AND AT LEAST 2 INCHES BELOW (IRC).
  4. INSTALL LANDSCAPE FABRIC UNDER, AROUND, AND OVER THE WASHED GRAVEL (IRC) ALTERNATELY, USE DRAIN PIPE ENCASED IN A FILTER-FABRIC SOCK AND SURROUND THE CLOTH-COVERED PIPE WITH GRAVEL. OR, INSTALL A CODE-APPROVED COMPOSITE FOUNDATION DRAINAGE SYSTEM (CFDS) (IRC).

**SNOWSTACK CALCULATIONS**

	SQUARE FOOTAGE	PERCENTAGE
EXISTING DRIVEWAY	998 SF	
NEW DRIVEWAY	317 SF	
DECKS AND HARDSCAPE	NA	
TOTAL COVERAGE	1,315 SF	100%
SNOWSTACK REQUIRED	329 SF	25%
SNOWSTACK PROVIDED	605 SF	46%

TOTAL LOT AREA: 1.45 ACRES

- NOTES: LANDSCAPE**
1. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND. PROVIDE 2"-3" (MIN.) CLAY FREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX (AS APPROVED BY STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
  2. KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
  3. GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
  4. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
  5. LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
  6. SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
  7. ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
  8. ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
  9. NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
  10. SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
  11. PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
  12. INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
  13. ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
  14. PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
  15. LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
  16. ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
  17. REVEGETATE ALL DISTURBED SITE AREAS WITH APPROVED SEED MIX.
- NOTE:** ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH TOWN OF BLUE RIVER GUIDELINES.



1 SITE PLAN - ENLARGED  
1" = 10'-0"





ROOTED ARCHITECTURE

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FITZGERALD ADDITION  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - LOWER

DRAWING NO:

A1.1

NOTES: FLOOR PLAN

- 1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
12. CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

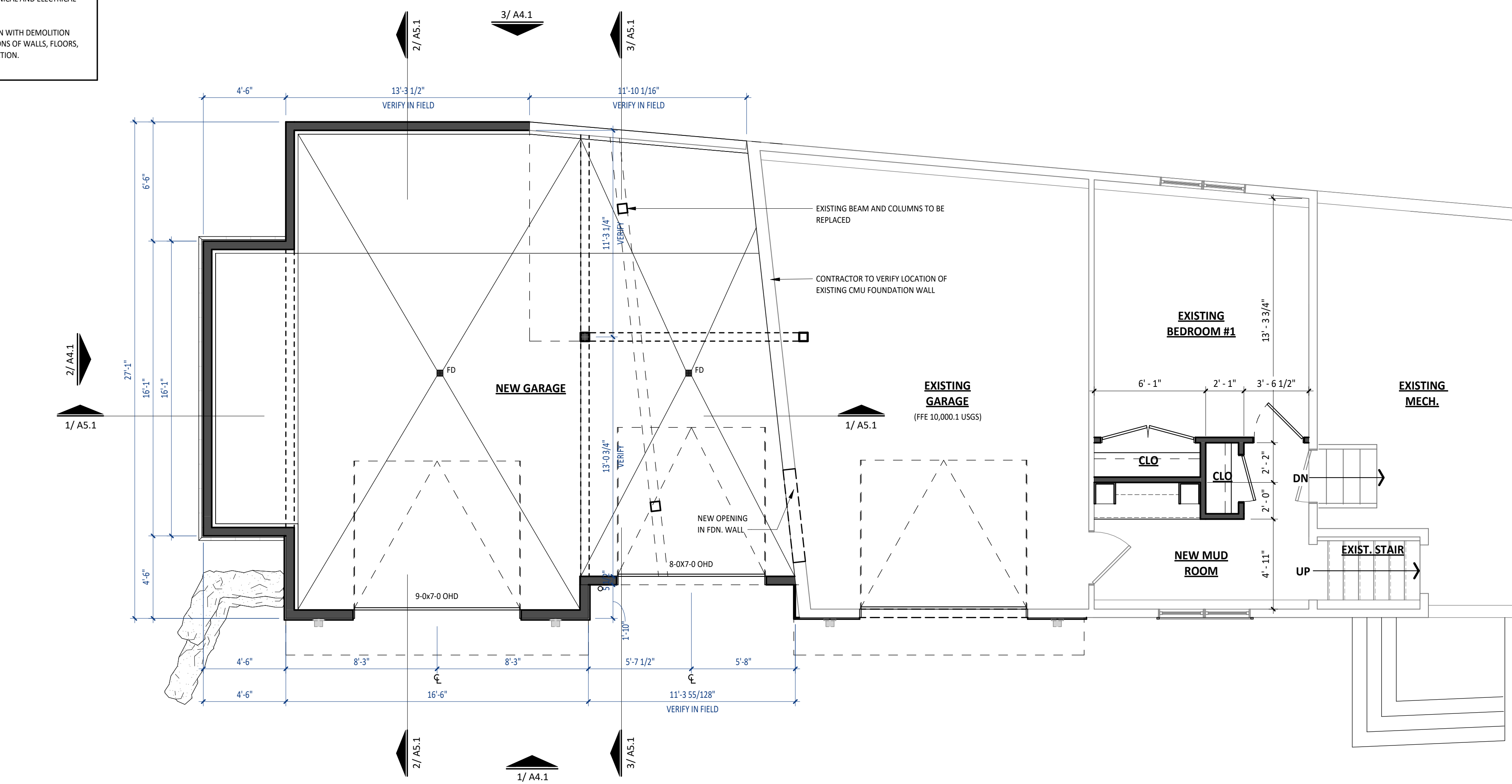
- 1. ALL WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF WINDOW; CONTRACTOR TO COORDINATE ACTUAL REQUIRED ROUGH OPENING WITH WINDOW MANUFACTURER. PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
3. PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
4. PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
5. ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
7. PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
8. WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
9. INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
10. ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
11. WINDOWS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
12. COORDINATE WINDOW SILL HEIGHT WITH GYPCRETE AND FLOOR FINISH THICKNESS WHERE REQUIRED. VERIFY AT LOCATIONS WHERE WINDOW SILLS TERMINATE AT FLOOR LEVEL OR AT TOP OF MILLWORK.
13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

- NEW 2X4 / 2X6 WOOD STUD WALL
EXISTING 2X4 / 2X6 WOOD STUD WALL
EXISTING WALL TO BE REMOVED

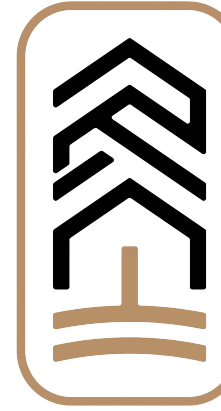
NOTES: REMODEL

- 1. PROTECTION OF EXISTING TO REMAIN: THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
2. SCHEDULING: THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. CLEARANCES: THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
4. MATERIAL ALIGNMENT: THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
5. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. REMOVAL SURVEY: THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. CONSTRUCTION DEFECTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.
8. CORRECTING DEFECTIVE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
9. PIPING: ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. FIXTURE REMOVAL: REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



1 FLOOR PLAN - LOWER LEVEL  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**FLOOR PLAN - MAIN**

DRAWING NO:

**A1.2**

**NOTES: FLOOR PLAN**

1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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**NOTES: DOOR AND WINDOW**

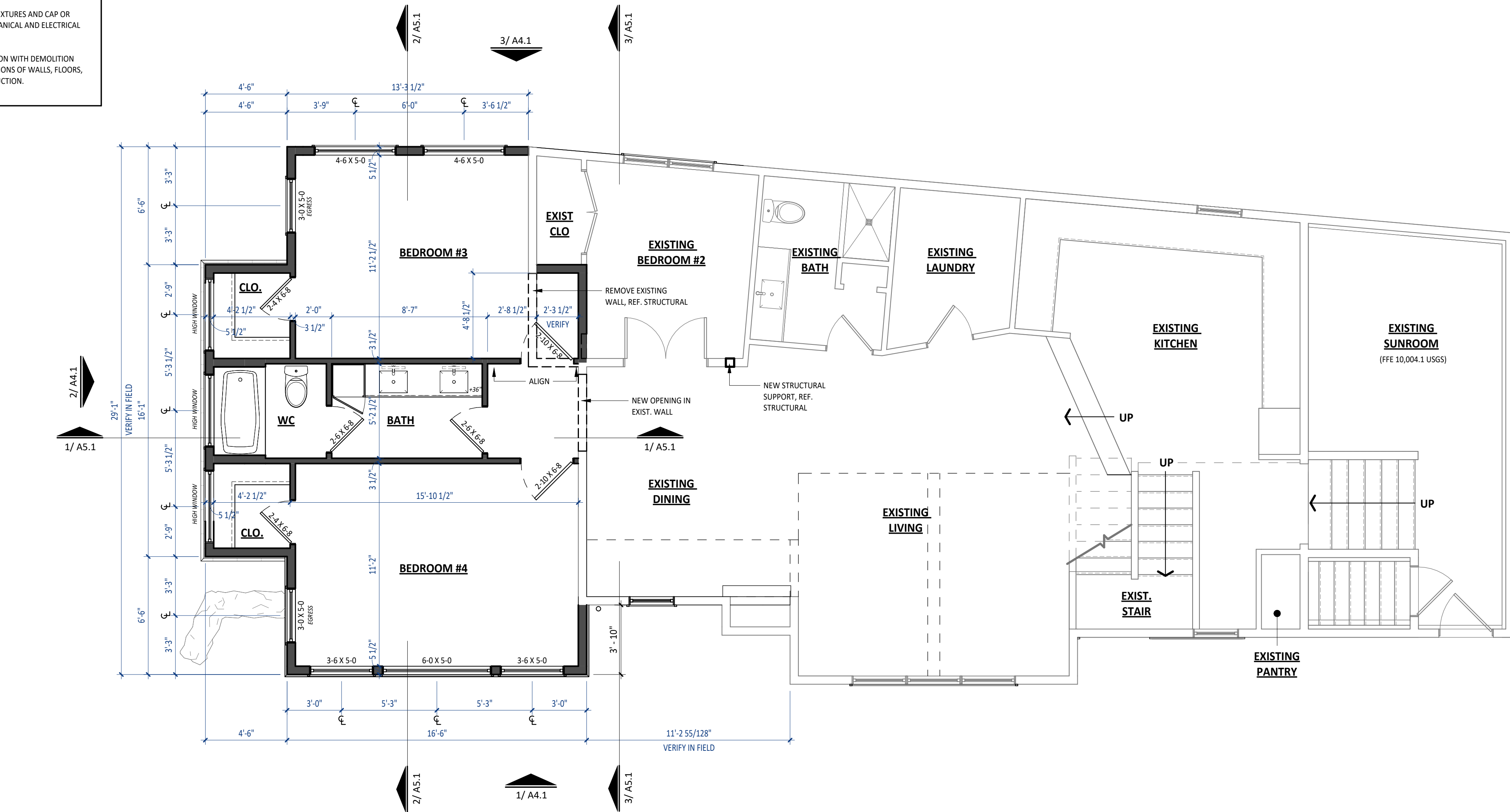
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6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
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13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

**WALL LEGEND**

- NEW 2X4 / 2X6 WOOD STUD WALL
- EXISTING 2X4 / 2X6 WOOD STUD WALL
- EXISTING WALL TO BE REMOVED

**NOTES: REMODEL**

1. **PROTECTION OF EXISTING TO REMAIN:** THE CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR CARPET, FURNISHINGS, AND FINISHES IN EXISTING AREAS NOT DESIGNATED FOR DEMOLITION OR NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK OR ANY SUBCONTRACTOR. IN PARTICULAR, THE CONTRACTOR SHALL MAINTAIN A DUST-FREE ENVIRONMENT WITHIN THE MAGNET VAULT.
2. **SCHEDULING:** THE CONTRACTOR SHALL MEET WITH THE OWNER IN ADVANCE OF CONSTRUCTION COMMENCEMENT TO:
  - A. SCHEDULE, SEQUENCE AND COORDINATE ALL WORK
  - B. MAINTAIN EXITS AND EGRESS WIDTHS REQUIRED BY CODES DURING ALL PHASES OF CONSTRUCTION
3. **CLEARANCES:** THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
4. **MATERIAL ALIGNMENT:** THE FINISH FACE OF MATERIAL OF NEW PARTITIONS SHALL ALIGN ON BOTH SIDES OF THE PARTITION WITH THE FACE OF THE MATERIALS ON EXISTING COLUMNS, WALLS, OR PARTITIONS, UNLESS NOTED OTHERWISE.
5. **AS BUILT VERIFICATION:** THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD OBSERVATIONS AND/OR THE ORIGINAL CONSTRUCTION DOCUMENTS OF THE FACILITY.
6. **REMOVAL SURVEY:** THE CONTRACTOR SHALL SURVEY AND DETERMINE THE REMOVAL OF EXISTING CONSTRUCTION, EITHER WHOLE OR IN PART, AS REQUIRED FOR THE INSTALLATION OF THE NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. **CONSTRUCTION DEFECTS:** THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY CONSTRUCTION DEFECTS FOUND IN UNCOVERING WORK IN THE EXISTING CONSTRUCTION.
8. **CORRECTING DEFECTIVE WORK:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTIVE WORK IN EXISTING CONSTRUCTION WITHIN THE LIMITS OF THE CONSTRUCTION AREA. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH NEW ADJACENT SURFACES.
9. **PIPING:** ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. **FIXTURE REMOVAL:** REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. **COORDINATION:** COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



**1 FLOOR PLAN - MAIN LEVEL**  
1/4" = 1'-0"





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

FLOOR PLAN - UPPER

DRAWING NO:

A1.3

NOTES: FLOOR PLAN

- 1. ALL INFORMATION MUST BE CONFIRMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ERRORS OR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL CONTRACTORS TO SEE THAT ALL ITEMS MEET OR EXCEED CODE REQUIREMENTS.
3. BUILDING SHALL VERIFY ALL DIMENSIONS, INTERIOR & EXTERIOR FINISHES, CONSTRUCTION & FRAMING METHODS PRIOR TO CONSTRUCTION.
4. ALL MATERIALS & WORKMANSHIP INVOLVED IN THE CONSTRUCTION OF THIS PROJECT ARE TO CONFORM WITH ALL LOCAL, STATE, NATIONAL, & INTERNATIONAL BUILDING CODES AS DESCRIBED IN THE INTERNATIONAL ONE & TWO FAMILY DWELLING CODE.
5. DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O. ALL DIMENSIONS LABELED "CLEAR" ARE TO FACE OF FINISH MATERIAL.
6. ALL INTERIOR GYPSUM BOARD TO BE 1/2" MINIMUM. USE WATER-RESISTANT GYPSUM BOARD AT ALL WET WALL LOCATIONS. USE 5/8" TYPE "X" DRYWALL SEPARATIONS BETWEEN LIVING SPACES AND GARAGES AS REQUIRED BY CODE.
7. ALL TUB & SHOWER UNITS TO HAVE ANTI-SCALDING DEVICES INSTALLED.
8. GARAGE DOORS TO BE CERTIFIED BY MANUFACTURER FOR LOCAL WIND REQUIREMENTS
9. CONTRACTOR TO COORDINATE ELECTRICAL, PLUMBING AND HEATING WORK WITH SUBCONTRACTORS PRIOR TO STARTING WORK. PROVIDE ARCHITECT AND OWNER WITH SUBMITTALS WHERE APPLICABLE.
10. ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
11. MILLWORK SUBCONTRACTOR TO PROVIDE MILLWORK SHOP DRAWINGS TO THE ARCHITECTS, OWNER, AND CONTRACTOR FOR APPROVAL PRIOR TO COMMENCING FABRICATION.
12. CONTRACTOR TO COORDINATE BASEBOARD RADIANT HEAT LOCATIONS WITH OWNER AND MECHANICAL DESIGNER PRIOR TO INSTALLATION.

NOTES: DOOR AND WINDOW

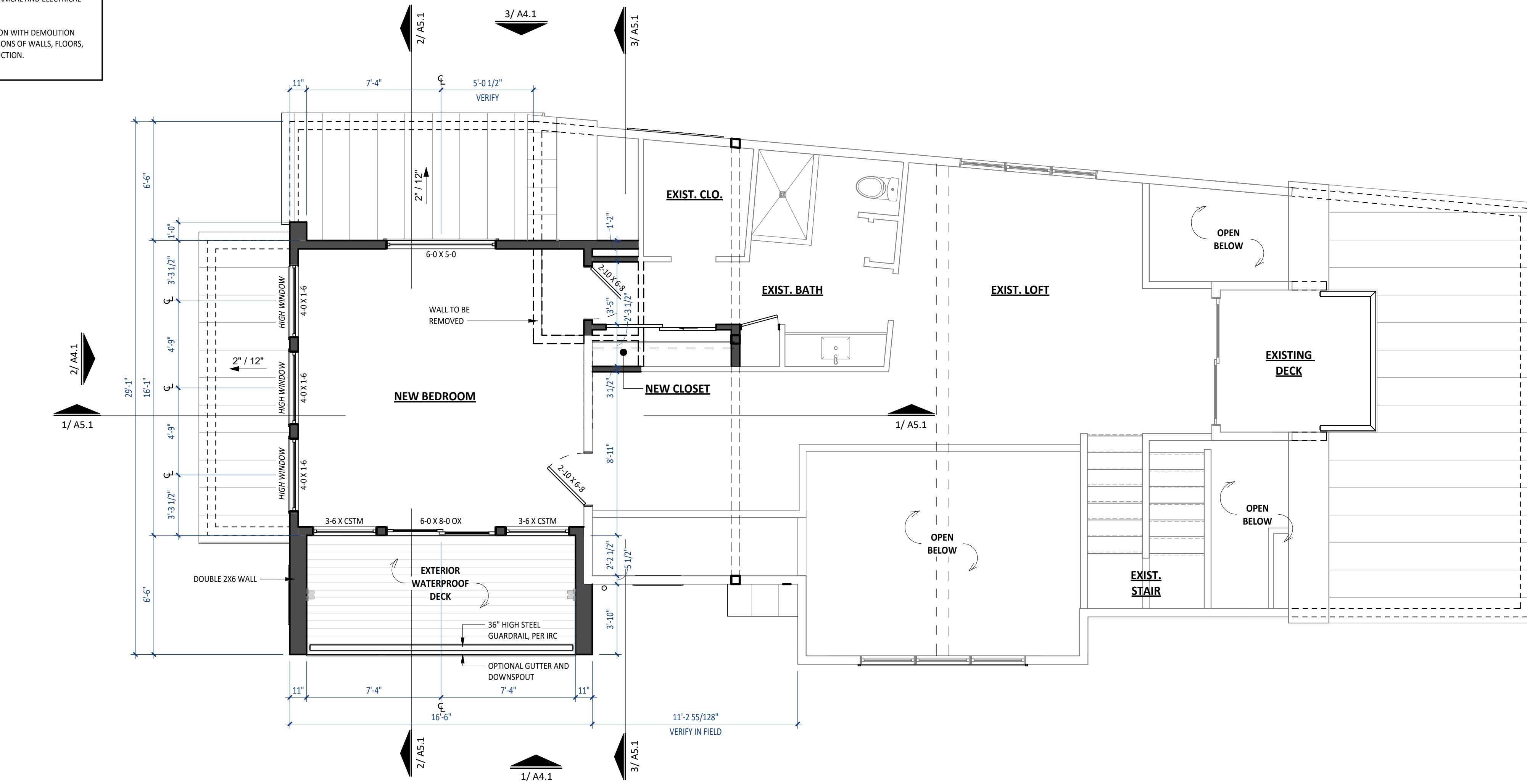
- 1. ALL WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF WINDOW; CONTRACTOR TO COORDINATE ACTUAL REQUIRED ROUGH OPENING WITH WINDOW MANUFACTURER. PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. SEE PLANS / DOOR AND WINDOW SCHEDULES FOR WINDOW / DOOR OPERATION, SIZES AND TYPES. VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION
3. PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD SET IN SEALANT AT ALL EXTERIOR DOORS.
4. PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE CURRENT I.R.C.). WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE AND LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED SHALL HAVE OPENING CONTROL DEVICES IN ACCORDANCE WITH IRC R310.2.2. WINDOWS / DOORS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
5. ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS. GLAZED FENESTRATION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF IRC AND SUMMIT COUNTY SUSTAINABILITY CODE.
6. WRAP ALL EXTERIOR OPENINGS WITH WEATHER RESISTIVE BARRIER PER MANUFACTURERS SPECIFICATIONS. PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD). INSULATE ALL EXTERIOR SHIM SPACES AT WINDOWS AND DOORS.
7. PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION. FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
8. WINDOWS AND PATIO DOORS REFER TO 'JELD-WEN' BRAND OR COMPARABLE
9. INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (U.N.O.). ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
10. ALL WINDOW OPENINGS TO HAVE PAINTED GYPSUM BOARD RETURNS ON INTERIOR SIDE UNLESS NOTED OTHERWISE, REF. INTERIORS.
11. WINDOWS LOCATED IN SLEEPING ROOMS SHALL ACT AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC R310.1
12. COORDINATE WINDOW SILL HEIGHT WITH GYPCRETE AND FLOOR FINISH THICKNESS WHERE REQUIRED. VERIFY AT LOCATIONS WHERE WINDOW SILLS TERMINATE AT FLOOR LEVEL OR AT TOP OF MILLWORK.
13. VERIFY WINDOW STYLE, OPERATION, FINISH AND HARDWARE WITH OWNER PRIOR TO PLACING ORDER.
14. WINDOW SUPPLIER TO PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.

WALL LEGEND

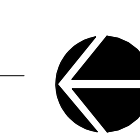
- NEW 2X4 / 2X6 WOOD STUD WALL
EXISTING 2X4 / 2X6 WOOD STUD WALL
EXISTING WALL TO BE REMOVED

NOTES: REMODEL

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3. CLEARANCES: THE CONTRACTOR SHALL VERIFY THAT NEW CEILINGS CAN BE INSTALLED IN EXISTING SPACES TO CLEAR DUCTWORK AND OTHER CONSTRUCTED ITEMS AND MAINTAIN FLOOR TO CEILING HEIGHTS INDICATED ON DRAWINGS. IF DISCREPANCIES OCCUR DUE TO EXISTING CONDITIONS, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING.
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9. PIPING: ALL PIPING ABOVE GRADE AND INSIDE THE BUILDING REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED IN AREAS WHERE IT WILL BE CONCEALED. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
10. FIXTURE REMOVAL: REMOVE MECHANICAL AND ELECTRICAL FIXTURES AND CAP OR REMOVE EXISTING BRANCH LINES AS INDICATED IN THE MECHANICAL AND ELECTRICAL DOCUMENTS.
11. COORDINATION: COORDINATE PLANS FOR NEW CONSTRUCTION WITH DEMOLITION PLANS FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.



1 FLOOR PLAN - UPPER LEVEL  
1/4" = 1'-0"





**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

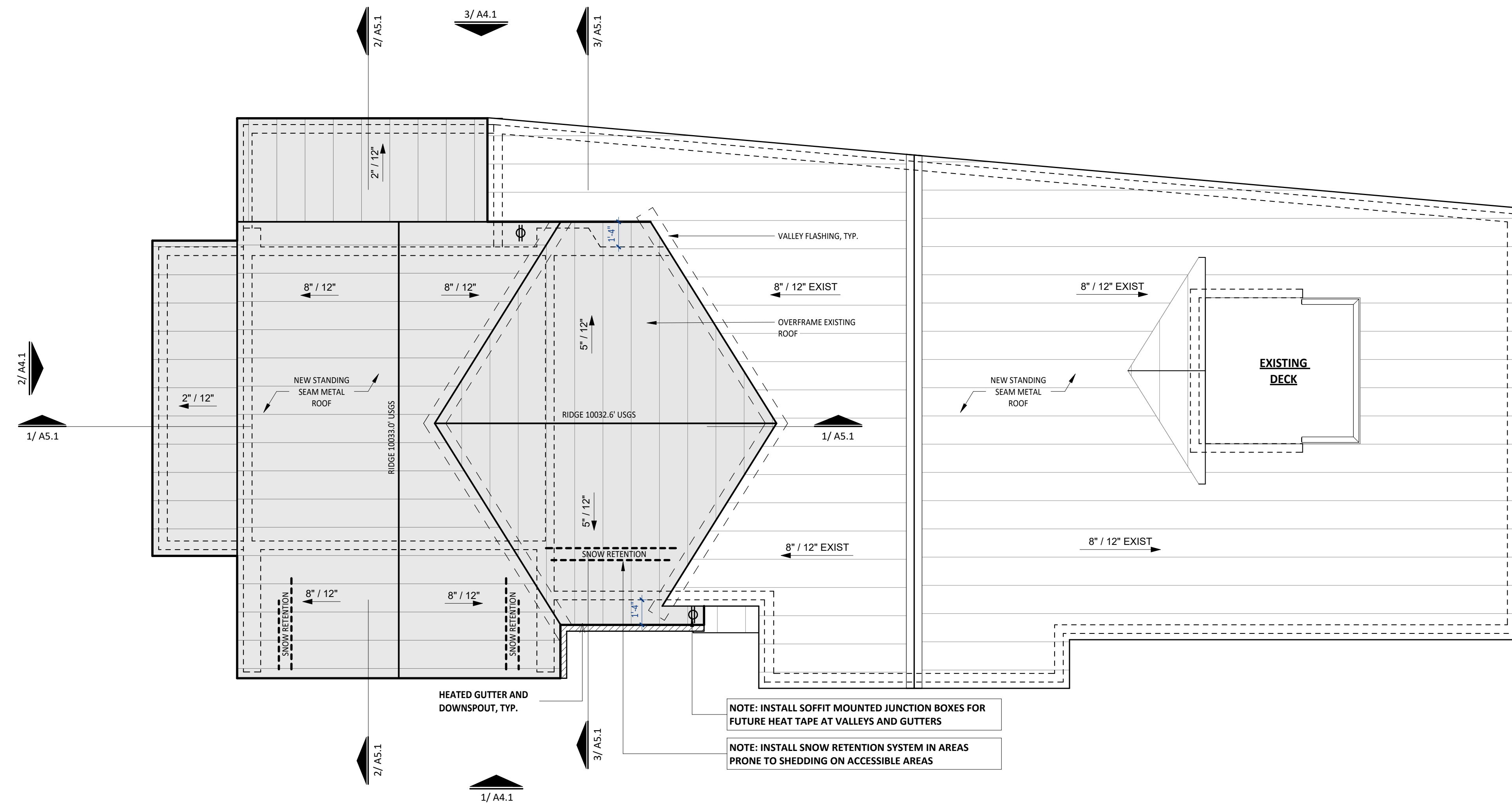
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**NOTES: ROOF PLAN**

- COORDINATE INSTALLATION OF NEW ROOFING WITH OTHER TRADES. REPORT ANY CONFLICTS WITH ITEMS INSTALLED BY OTHER TRADES TO DESIGNER.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- ALL PLUMBING VENTS SHALL EXTEND ABOVE THE FINISHED SURFACE OF THE ROOF SYSTEM AS REQUIRED TO PROVIDE FOR A MINIMUM OF 8" BASE FLASHING.
- ALL EXPOSED METAL FLASHING/ TRIM PIECES TO BE PRE-FINISHED 24 GA. STL. U.N.O.. PROVIDE PRE-FINISHED OR FIELD PAINT FLASHING ONLY AS NOTED.
- GUTTERS - ALL GUTTERS TO BE PRE-FINISHED. PROVIDE PRE-FINISHED SUPPORTS AND SPACERS @ 36" O.C. MAX. MATCH EXISTING GUTTER PROFILE AND FINISH.
- ALL DOWNSPOUTS TO BE PRE-FINISHED, REFERENCE ELEVATIONS FOR LOCATIONS.
- PROVIDE HEAT TAPE AT GUTTERS AND DOWNSPOUTS. REFER TO ROOF PLAN FOR ADDITIONAL FUTURE HEAT TAPE OUTLETS. SEE ROOF PLAN FOR WATERPROOF OUTLETS AT SIDEWALL AREAS. ALL GUTTERS AND DOWNSPOUTS TO BE HEATED. REFER TO PLAN FOR ALL SOLAR AND HEAT TAPE.
- PAINT ALL EXPOSED PIPING EXTENDING THROUGH ROOF TO MATCH ROOF
- PROVIDE VALLEY FLASHING AT ALL VALLEYS AS INDICATED ON PLANS.
- OVERHANG DIMENSIONS ARE TO END OF RAFTER OR TRUSS AS INDICATED ON PLANS.
- PROVIDE KICK-OUT FLASHING AT ALL EAVE/WALL JUNCTURES.
- PROVIDE ILC AS REQUIRED.
- CONTRACTOR TO COORDINATE HEATED GUTTER AND DOWNSPOUT LOCATIONS WITH ARCHITECT.
- DOWNSPOUTS SHALL NOT DISCHARGE ONTO FLATWORK OR DECKS BELOW. CONTRACTOR TO ROUTE DISCHARGE BELOW SURFACE OR PROVIDE CHANNEL DRAIN IN FLATWORK WITH HEAT TAPE.
- REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER, ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION REQUIREMENTS. PROVIDE "W.R. GRACE" MANUFACTURER CERTIFICATION LETTER STATING THAT ALL MEMBRANES HAVE BEEN INSTALLED IN COMPLETE COMPLIANCE WITH ALL MANUFACTURER'S REQUIREMENTS.
- UNVENTED ROOFS SHALL HAVE A MINIMUM 60% AIR IMPERMEABLE CLOSED CELL INSULATION AT UNDERSIDE OF DECK.

**NOTES: ROOF MAINTENANCE**

THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE OF SNOW & ICE.



**1 ROOF PLAN**  
1/4" = 1'-0"

**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

DRAWING TITLE:

**ROOF PLAN**

DRAWING NO:

**A1.4**







**ROOTED**  
ARCHITECTURE

SEAL:

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**CEILING PLANS**

DRAWING NO:

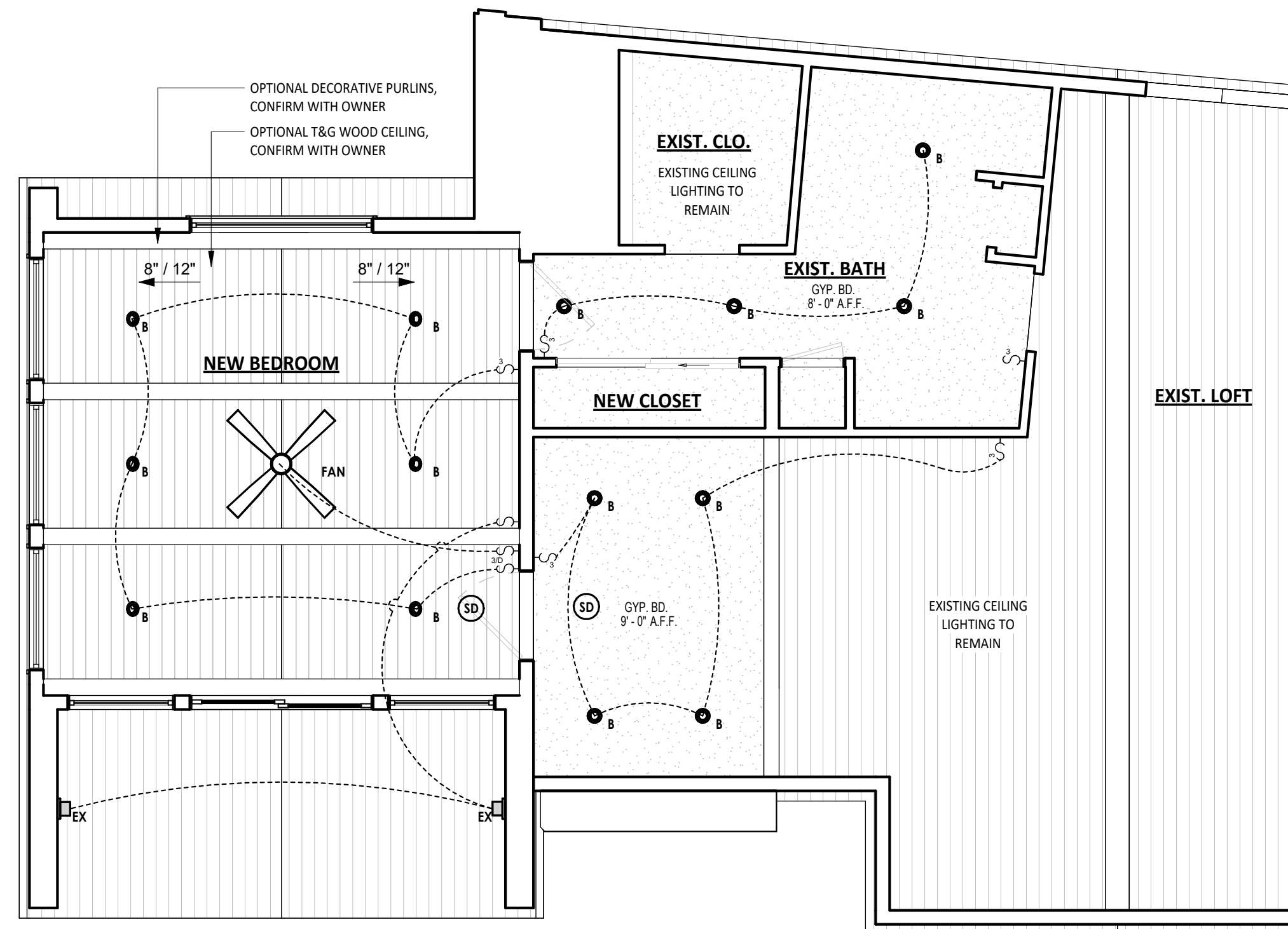
**A2.1**

FIXTURE / DEVICE LEGEND	
	A 6" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	A1 6" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B 4" RECESSED CAN LIGHT FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B1 4" RECESSED CAN LIGHT (MOISTURE RESISTANT) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	B2 4" RECESSED CAN LIGHT (WALL WASHER) FIXTURE TO BE SELECTED - FLUORESCENT OR LED LIGHT SOURCE
	C DECORATIVE PENDANT FIXTURE FIXTURE TO BE SELECTED
	D 4" SURFACE MOUNT FLUORESCENT FIXTURE FIXTURE TO BE SELECTED
	E LINEAR LED UNDERCABINET TASK LIGHTING FIXTURE TO BE SELECTED
	F SURFACE MOUNT FIXTURE FIXTURE TO BE SELECTED
	WS WALL MOUNTED SCONCE FIXTURE FIXTURE TO BE SELECTED
	EX WALL MOUNTED EXTERIOR FIXTURE FIXTURE TO BE SELECTED
	FL WALL MOUNTED EXTERIOR FLOOD LIGHT FIXTURE FIXTURE TO BE SELECTED
	SD CEILING MOUNTED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FAN CEILING MOUNTED CEILING FAN (WITH OPTIONAL LIGHT KIT) FIXTURE TO BE SELECTED

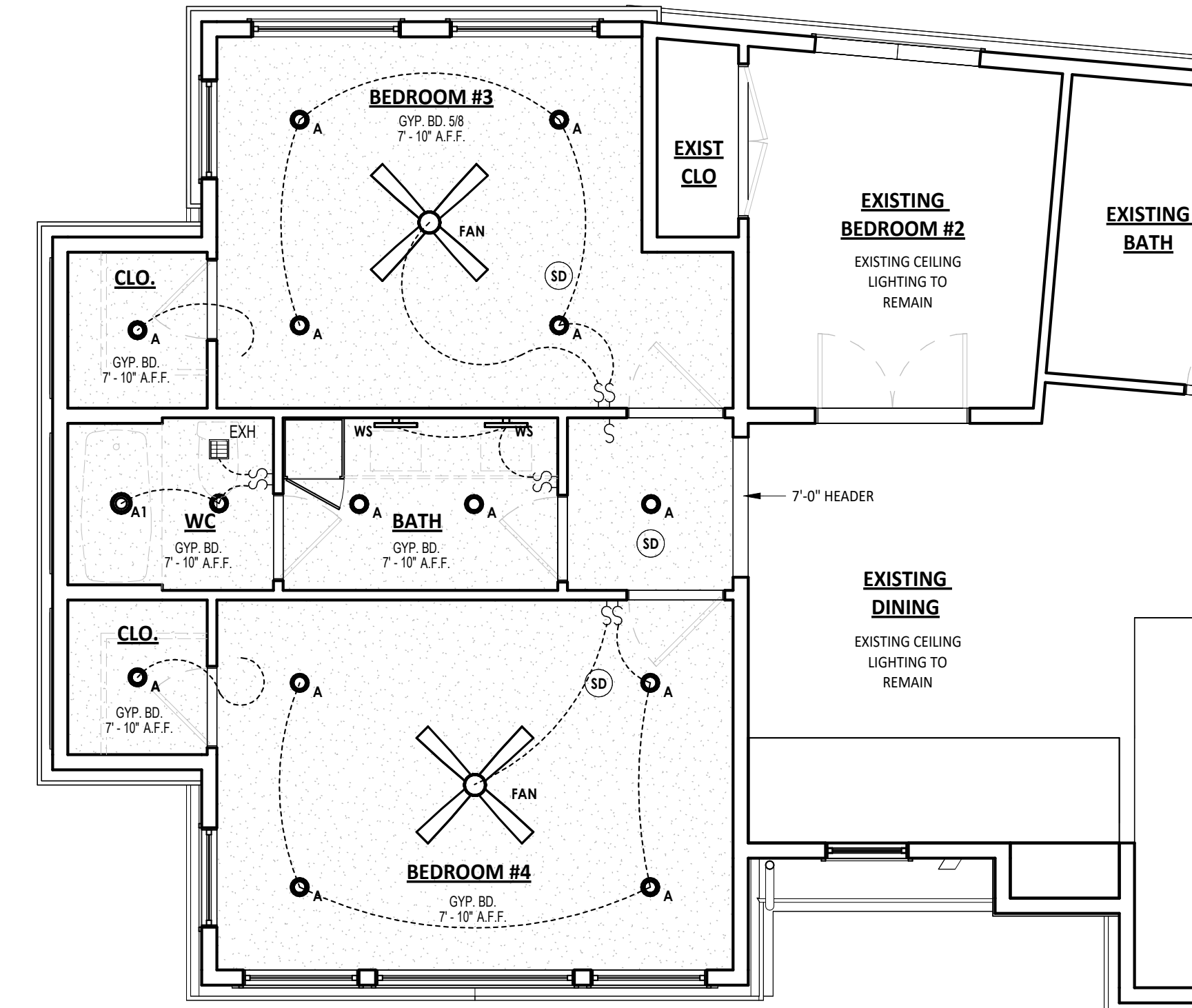
DEVICE CONTROL LEGEND	
	S SINGLE POLE SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>D</sup> SINGLE POLE DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>3</sup> SINGLE POLE 3 WAY SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>3/D</sup> SINGLE POLE 3 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>4/D</sup> SINGLE POLE 4 WAY DIMMER SWITCH LEGRAND "RADIANT" OR SIMILAR - WHITE
	S <sup>5</sup> SINGLE POLE DOOR JAMB SWITCH LEVITON 1865 OR SIMILAR

**NOTES: REFLECTED CEILING PLAN**

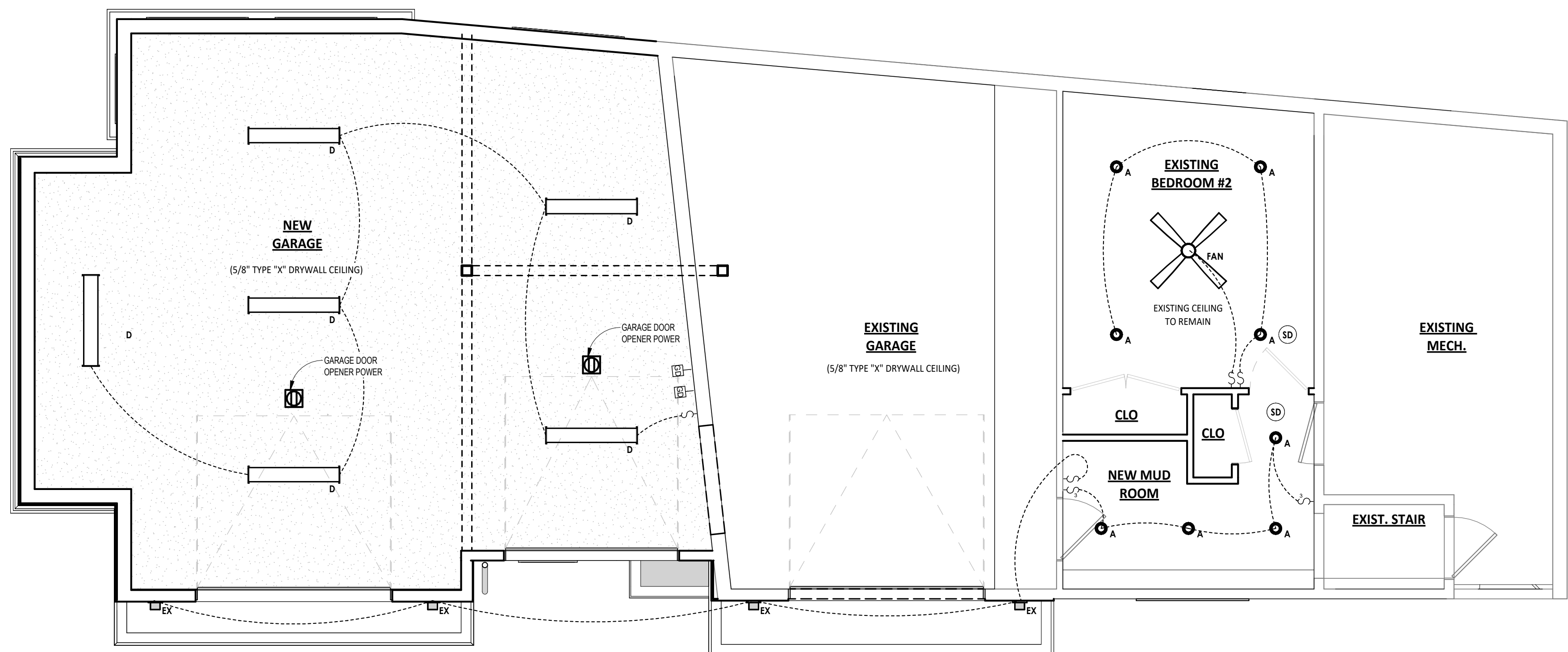
- ALL RCP DIMENSIONS ARE TO FACE OF FINISH OR FIXTURE CENTERLINE U.N.O.
- ALL CEILINGS ARE PAINTED GYPSUM BOARD U.N.O.
- REFERENCE FIXTURE LEGEND FOR FIXTURE TYPES AND DESIGNATIONS.
- LOCATE PAINTED METAL CEILING ACCESS PANELS BENEATH:
  - MECHANICAL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
  - VALVES, BALANCING DEVICES, ELECTRICAL JUNCTIONS, F/S DAMPERS AND ALL OTHER ITEMS REQUIRING MAINTENANCE.
- COORDINATE LOCATION OF ALL MECHANICAL EQUIPMENT AND DUCTWORK WITH STRUCTURAL, AS WELL AS, WITH CEILING HEIGHTS SHOWN. NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS BEFORE PROCEEDING.
- IF ANY LIGHTING ITEMS OR CEILING FIXTURES CANNOT BE INSTALLED AT LOCATIONS SHOWN DUE TO FIELD CONDITIONS, NOTIFY ARCHITECT IMMEDIATELY FOR ALTERNATE LOCATIONS BEFORE PROCEEDING.



**3 CEILING PLAN - LOFT LEVEL**  
1/4" = 1'-0"



**2 CEILING PLAN - MAIN LEVEL**  
1/4" = 1'-0"



**1 CEILING PLAN - LOWER LEVEL**  
1/4" = 1'-0"



**ROOTED**  
ARCHITECTURE

SEAL:

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No. Date Revisions

Project No: 2023-16  
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DRAWING TITLE:

**EXTERIOR ELEVATIONS**

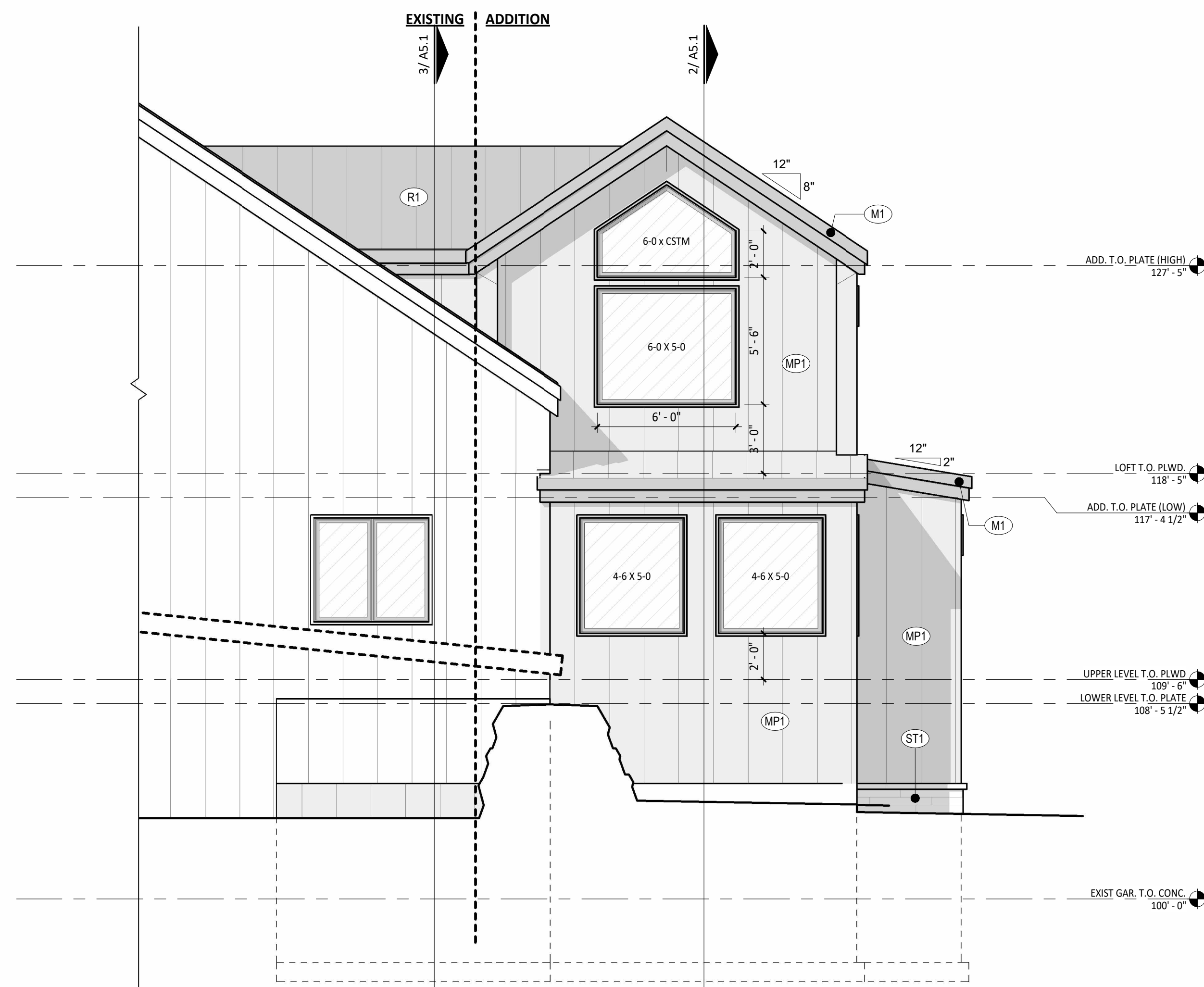
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**A4.1**

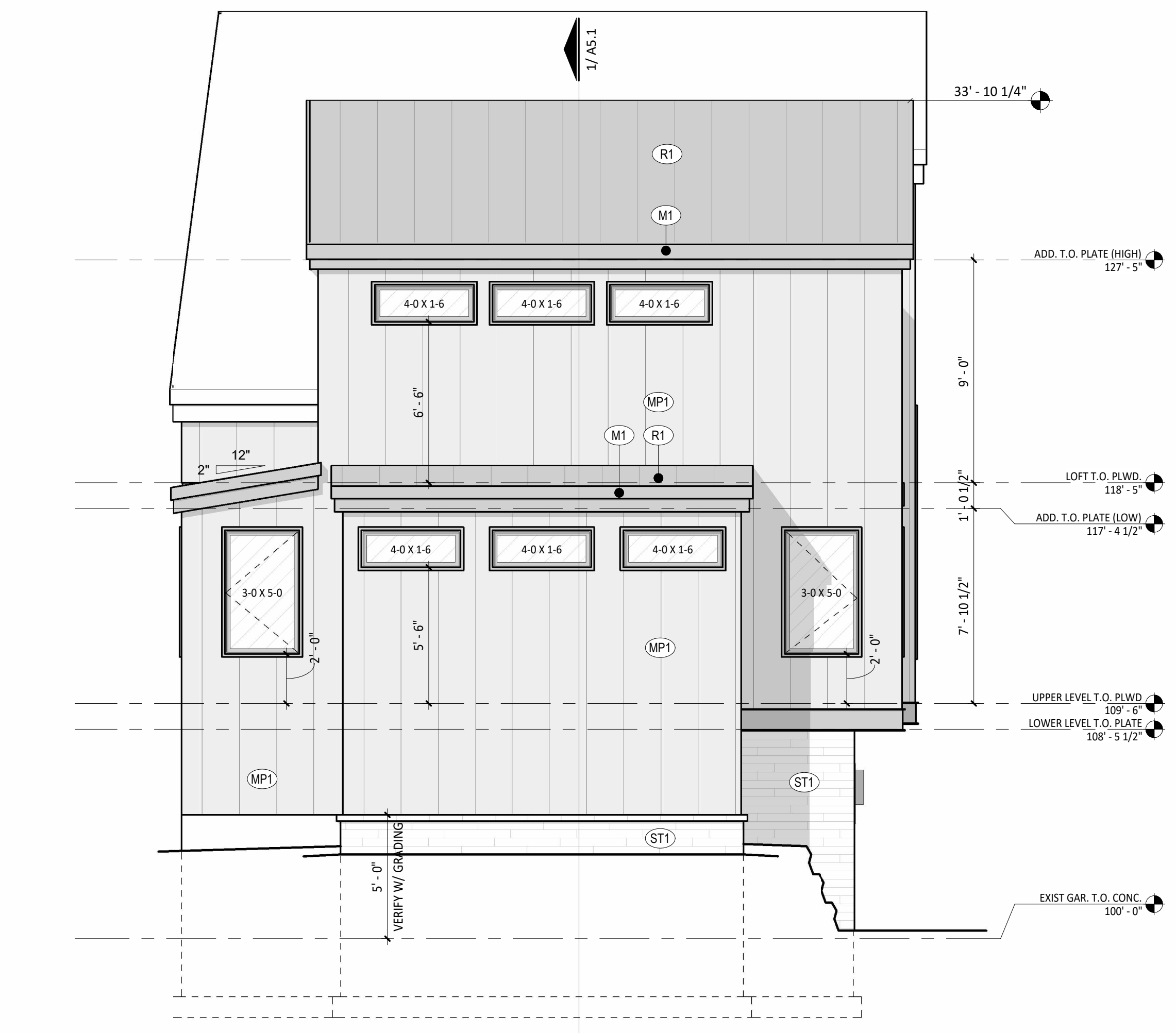
NOTES: AIR BARRIER / VAPOR BARRIER		
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.		
NOTES: WEATHER RESISTIVE BARRIER		
1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.		
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.		
EXTERIOR FINISH LEGEND		
MATERIAL SYMBOL	TYPE	NOTES:
(WD1)	T&G WOOD VENEER	HORIZONTAL T&G THERMALLY MODIFIED PRE-FINISHED WOOD SIDING (OWNER TO VERIFY COLOR)
(WD2)	WOOD TRIM	1X OR 2X THERMALLY MODIFIED PRE-FINISHED WOOD TRIM (MATCH SIDING) (OWNER TO VERIFY COLOR)
(MP1)	PREFINISHED METAL PANEL VENEER	METAL BOARD AND BATTEN SIDING FLATIRON STEEL "BOARD AND BATTEN" COLOR: BLACK OR MIDNIGHT BRONZE (CONFIRM WITH OWNER)
(M1)	PREFINISHED METAL FASCIA	PREFINISHED METAL TO MATCH SIDING
(ST1)	STONE VENEER	TELLURIDE STONE OPTIONAL STONE VENEER (CONFIRM WITH OWNER) COLOR: SILVERLEAF
(R1)	METAL ROOFING	STANDING SEAM METAL ROOFING COLOR: BLACK (CONFIRM WITH OWNER)
NOTE: CONTRACTOR TO PROVIDE PHYSICAL MATERIAL SAMPLE BOARD FOR OWNER / ARCHITECT APPROVAL		
NOTE: ALL EXTERIOR MATERIALS TO BE NON-REFLECTIVE		



**1 WEST ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"



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ARCHITECTURE

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**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

**Project No:** 2023-16  
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**Scale:** As indicated

**DRAWING TITLE:**

**BUILDING SECTIONS**

**DRAWING NO:**

**A5.1**

**NOTES: FRAMING**

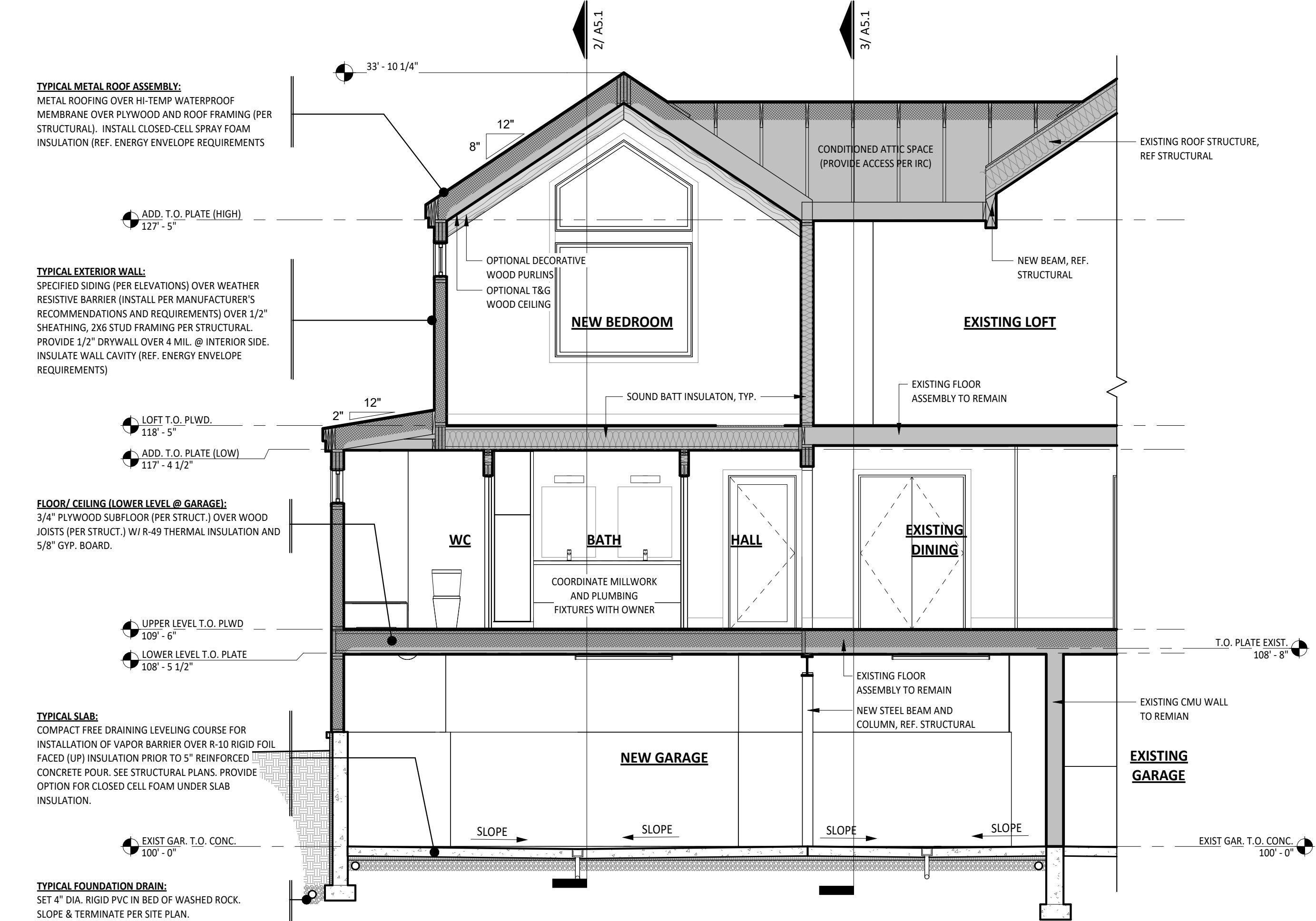
1. ALL FRAMING SHOWN IS DIAGRAMMATIC AND SHALL BE STRUCTURALLY ENGINEERED WHERE APPLICABLE. CONTRACTOR TO CONFIRM COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
2. ALL ROOF AND FLOOR TRUSSES SHALL BE PRE-ENGINEERED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
3. CONTRACTOR SHALL USE PRESSURE TREATED LUMBER WHERE REQUIRED IN COMPLIANCE WITH LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

**NOTES: WEATHER RESISTIVE BARRIER**

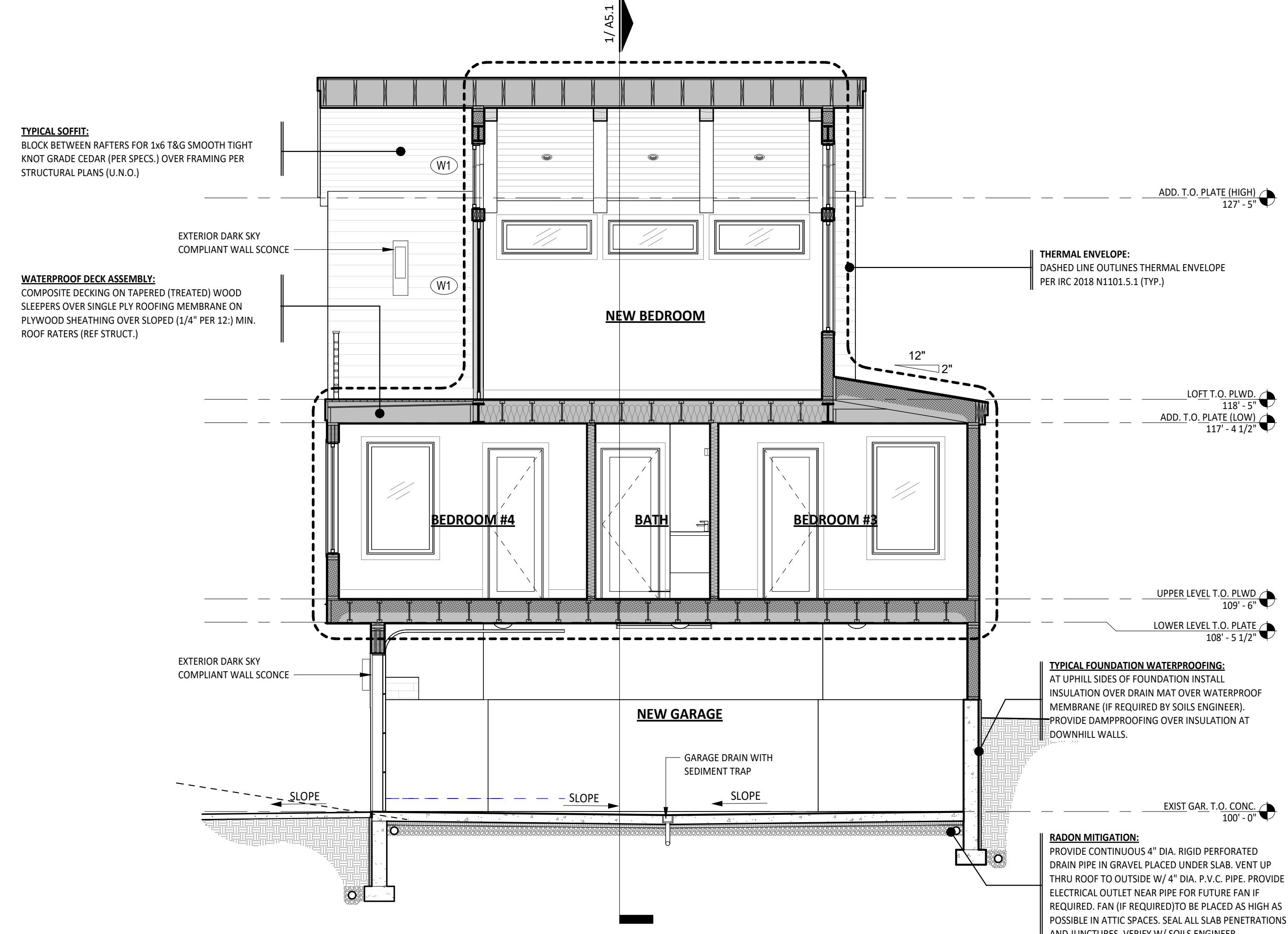
1. INSTALL WEATHER RESISTIVE BARRIER IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS AND DETAILS. USE ONLY APPROVED PRODUCTS AND FASTENING METHODS.
2. REFERENCE LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS PRIOR TO INSTALLATION. INSTALL PER GOVERNING CODE REQUIREMENTS. NOTIFY ARCHITECT IF ANY CONFLICT ARISES.

**NOTES: AIR BARRIER / VAPOR BARRIER**

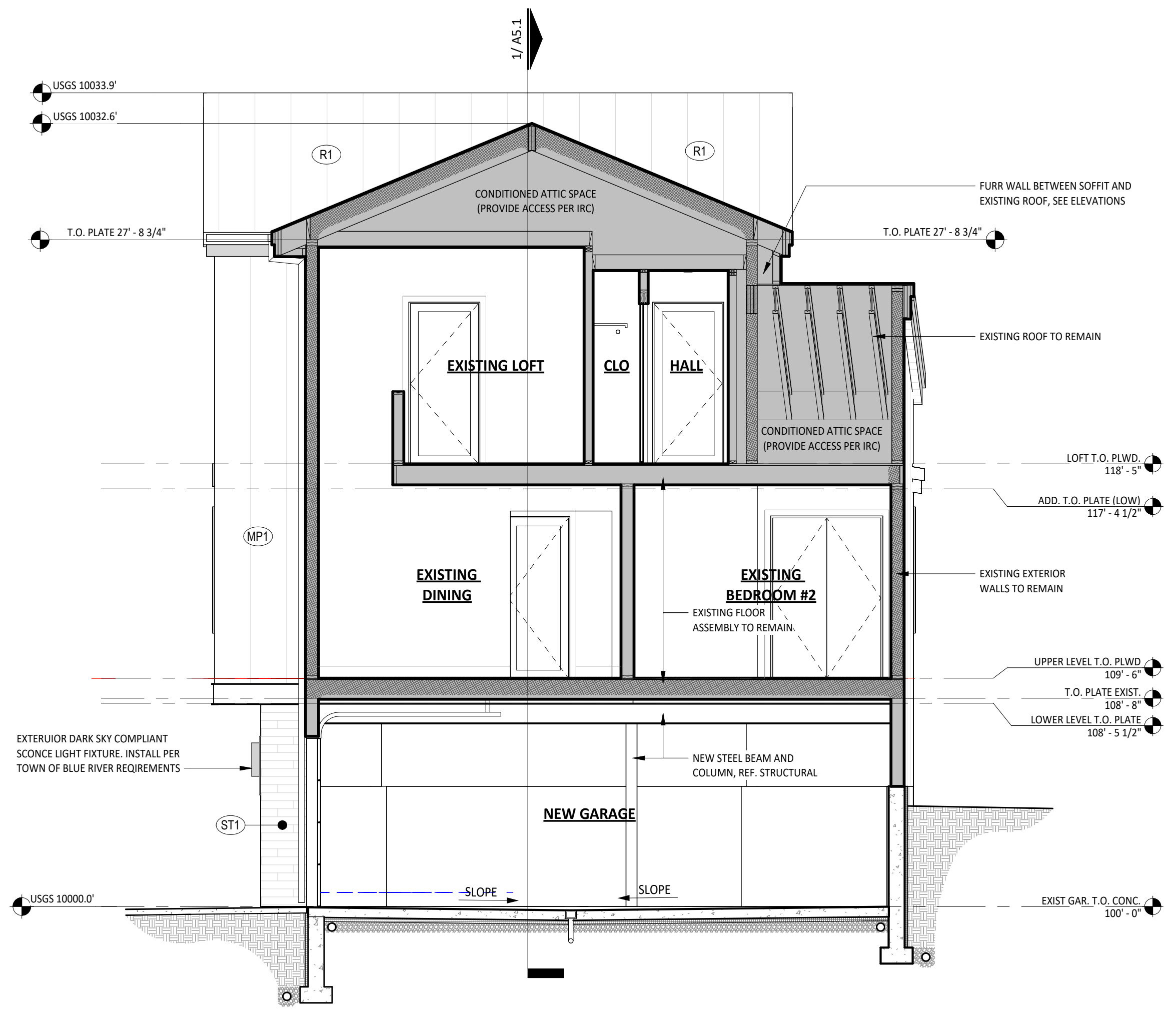
IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.



**1 SECTION A**  
1/4" = 1'-0"



**2 SECTION B**  
1/4" = 1'-0"



**3 SECTION C**  
1/4" = 1'-0"



**ROOTED**  
ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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**FITZGERALD ADDITION**

34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

Project No: 2023-16  
Stage: FINAL REVIEW SET  
Date: 05/02/2024  
Scale: As indicated

DRAWING TITLE:

**POWER PLANS**

DRAWING NO:

**A6.1**

**NOTES: LOW VOLTAGE**

- ROUGH-IN PHONE, INTERNET, AND CATV FROM SITE UTILITY LOCATION TO MECHANICAL / AV ROOM.
- PROVIDE PHONE, SECURITY, AND DATA BOARDS IN MECHANICAL / AV ROOM.
- PROVIDE CONDUIT OR STRUCTURED CABLE TO SOUTH ROOF FOR SATELLITE DISH WIRING OPTION.
- COORDINATE PHONE LINE WITH SECURITY SYSTEM REQUIREMENTS.
- COORDINATE CATV / DATA / LIGHTING / HOME COMPUTER CONTROL REQUIREMENTS WITH OWNER.
- COORDINATE HOME AUTOMATION / MECHANICAL CONTROLS INTERFACE AS REQUIRED BY OWNER.
- COORDINATE SOUND SYSTEM, HOME AUTOMATION AND ALL OTHER LOW VOLTAGE SYSTEMS PER OWNER REQUIREMENTS.

**NOTES: WINDOW SHADES**

PROVIDE OPTION FOR MOTORIZED WINDOW SHADE SYSTEMS WHERE INDICATED ON ELECTRICAL PLANS. CONFIRM SHADE LOCATIONS WITH OWNER PRIOR TO ELECTRICAL ROUGH-IN. COORDINATE WITH ELECTRICAL AND HOME AUTOMATION WORK. ALL SHADES TO BE INSTALLED IN RECESSED WINDOW POCKETS WHERE REQUIRED.

**NOTES: HOME AUTOMATION**

PRIOR TO ANY ELECTRICAL WORK CONFIRM SCOPE OF SMART HOME CONTROL AND AUTOMATION REQUIREMENTS WITH OWNER. WORK TO INCLUDE PROCESSOR USER INTERFACE, SCOPE OF DEVICES AND/OR SYSTEMS TO BE CONTROLLED. SCOPE OF CABLE OR WIRELESS LINKS AND POSSIBLE EMERGENCES BACKUP POWER.

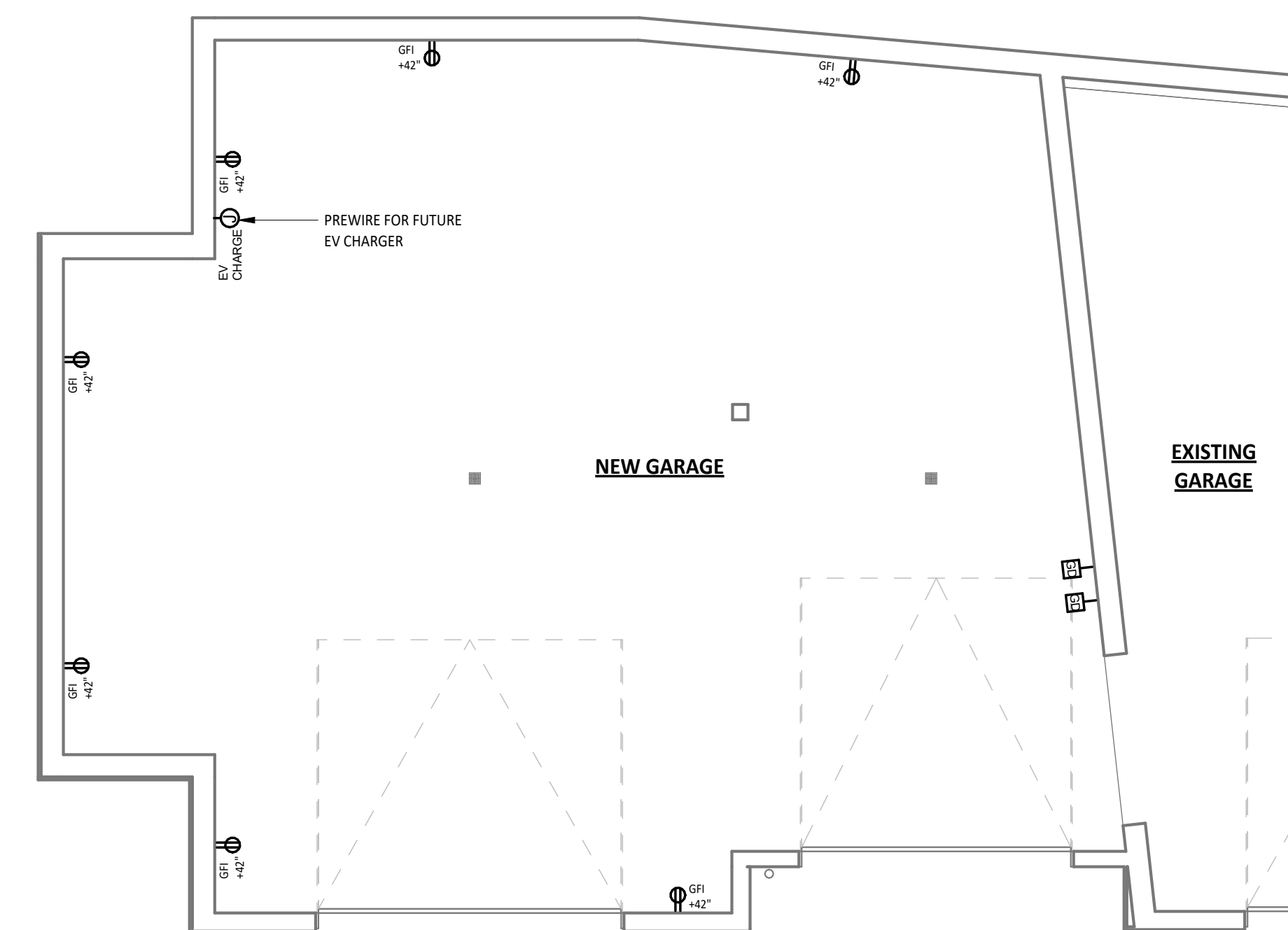
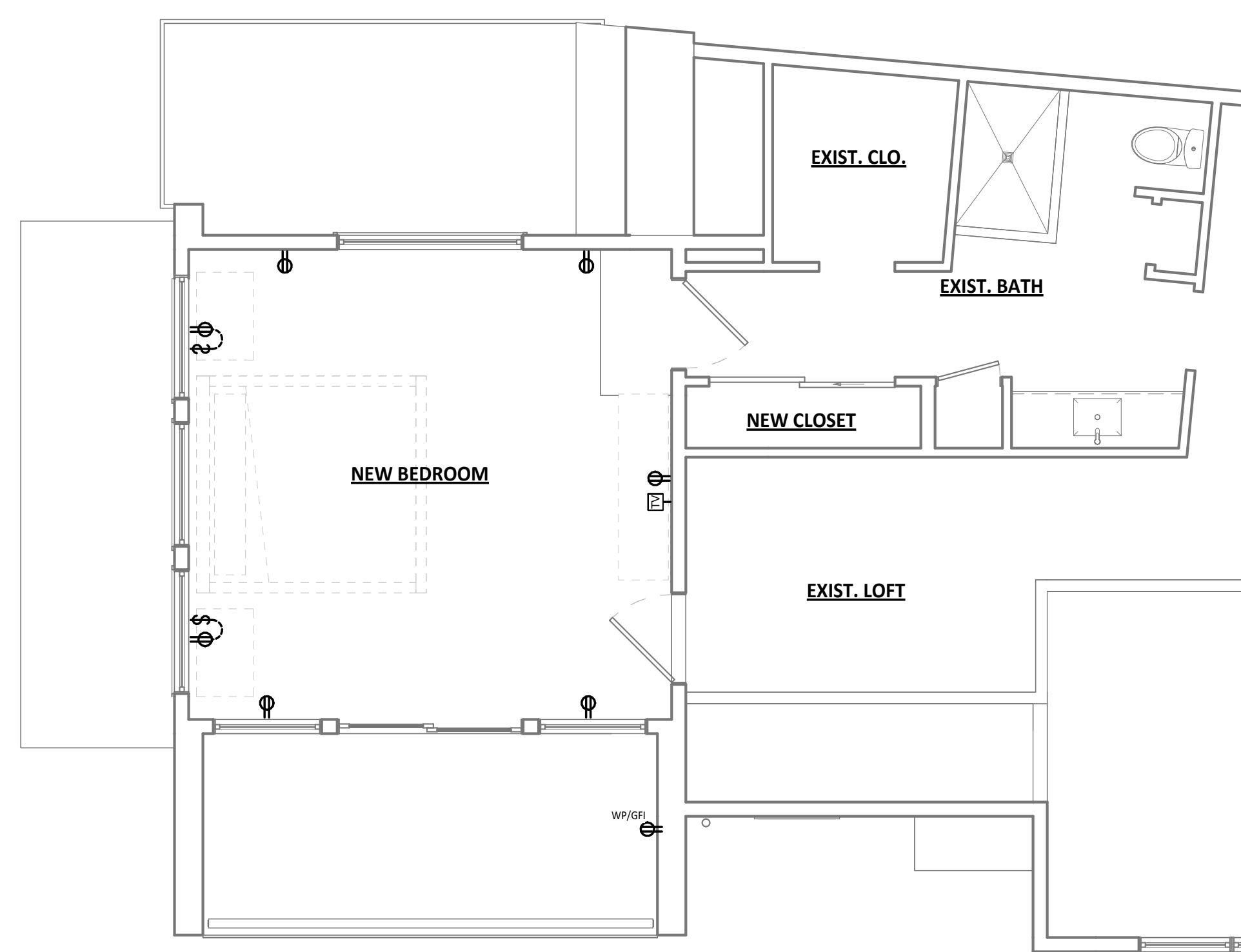
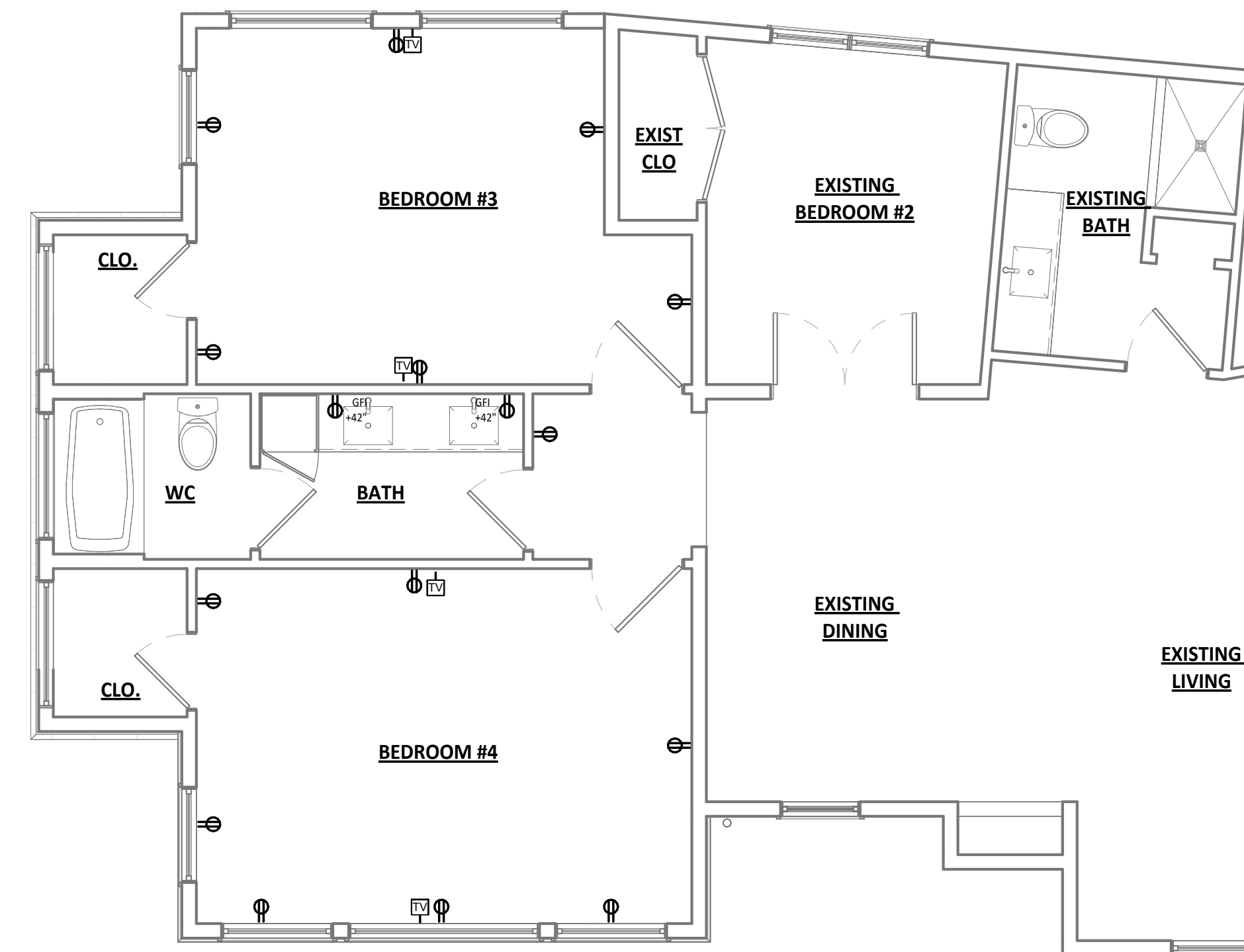
SYSTEMS TO INCLUDE SECURITY, ENTERTAINMENT, BUILDING SERVICES, AND ENVIRONMENTAL COMPONENTS.

**ELECTRICAL DEVICE LEGEND**

	DOUBLE RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	220V RECEPTACLE OUTLET WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE OUTLET W/ GROUND FAULT INTERRUPTER INSTALL WATERPROOF COVER FOR EXTERIOR USE
	FOURPLEX RECEPTACLE OUTLET LEGRAND "RADIANT" OR SIMILAR - WHITE
	DOUBLE RECEPTACLE FLOOR OUTLET INSTALL RECESSED FLOOR OUTLET COVER
	TEL / DATA FLOOR OUTLET
	RECESSED JUNCTION BOX COORDINATE LOCATION WITH EQUIPMENT MANUFACTURER
	TEL / DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	DATA OUTLET CAT 6 OUTLET 14" AFF U.N.O.
	TELEVISION OUTLET PROVIDE RECESSED POWER AND OUTLET FOR WALL MOUNTING WHERE REQUIRED BY OWNER

**NOTES: MECHANICAL / ELECTRICAL**

- ALL MECHANICAL AND ELECTRICAL WORK SHALL CONFORM TO CURRENT UNIFORM MECHANICAL AND NATIONAL ELECTRIC CODES AND RELATED NFPA REQUIREMENTS.
- MECHANICAL AND ELECTRICAL INFORMATION SHOWN IS FOR DESIGN INFORMATION PURPOSES ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL/ELECTRICAL CONTRACTOR(S) TO PROVIDE NECESSARY INFORMATION TO LOCAL BUILDING DEPARTMENT FOR ISSUANCE OF PERMITS FOR CONSTRUCTION.
- SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR TO ARCHITECT / OWNER FOR REVIEW.
- CONTRACTOR SHALL VERIFY AND CONFORM TO PRODUCT INSTALLATION REQUIREMENTS AND SHALL PROVIDE ANY ADDITIONAL BLOCKING/PREP WORK NECESSARY FOR INSTALLATION PER MANUFACTURERS SPECIFICATIONS.
- ALL RECESSED FIXTURES WITHIN INSULATED FLOOR AND OR CEILING SPACES MUST BE U.L. APPROVED FOR USE IN THESE LOCATIONS.
- UNLESS OTHERWISE SHOWN, FIXTURES ARE TO BE PLACED CENTERED IN GIVEN SPACE. VERIFY ALL FIXTURE AND OUTLET LOCATIONS WITH DRAWINGS.
- VERIFY ELECTRICITY, GAS, WATER, AND DRAINAGE REQUIREMENTS OF EQUIPMENT AND PROVIDE ANDY MECHANICAL SERVICE OR VENTING REQUIRED PRIOR TO OPERATION. PLUMB PRESSURE RELIEF OR OVERFLOW VALVES TO A DRAIN. COORDINATE WITH CARPENTRY CONTRACTOR TO PROVIDE PROPER ACCESS PANELS FOR ALL EQUIPMENT.
- PROVIDE DUCTING TO EXTERIOR FOR ALL REQUIRED MECHANICAL EQUIPMENT. COORDINATE ALL EXTERIOR VENTS AND EXHAUST OUTLETS TO MINIMIZE VISIBILITY.
- ALL PLUMBING FIXTURES SHALL HAVE WATER SAVING DEVICES AND/OR AERATORS TO COMPLY WITH LOCAL REQUIREMENTS.
- ALL PENETRATIONS IN CEILINGS AND WALLS MUST BE DAFT STOPPED WITH APPROVED MATERIALS.
- CHECK DOOR SWINGS BEFORE INSTALLATION OF WALL SWITCHES AND RELOCATE AS REQUIRED. LOCATE LIGHTING FIXTURES IN MECHANICAL ROOMS OR ATTIC SPACES TO CORRELATE WITH EQUIPMENT LOCATIONS AND PROVIDE ADEQUATE ILLUMINATION FOR SERVICING.
- COORDINATE ELECTRICAL BRANCH CIRCUITS WITH FINAL MECHANICAL EQUIPMENT LOAD. ADVISE ARCHITECT/OWNER OF CHANGES FROM ANY DRAWING REQUIREMENTS PRIOR TO INSTALLATION OF ANY ELECTRICAL OR MECHANICAL WORK.
- INSTALLATION OF ALL EQUIPMENT SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION SPECIFICATIONS AND RECOMMENDATIONS. CONTRACTOR SHALL INCLUDE ALL NECESSARY ACCESSORIES AND PIPING FOR A COMPLETE AND OPERATIONAL SYSTEM.





ROOTED ARCHITECTURE

SEAL:

NOT FOR CONSTRUCTION

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FITZGERALD ADDITION

34 RUSTIC TERRACE  
BLUE RIVER, CO

No.	Date	Revisions

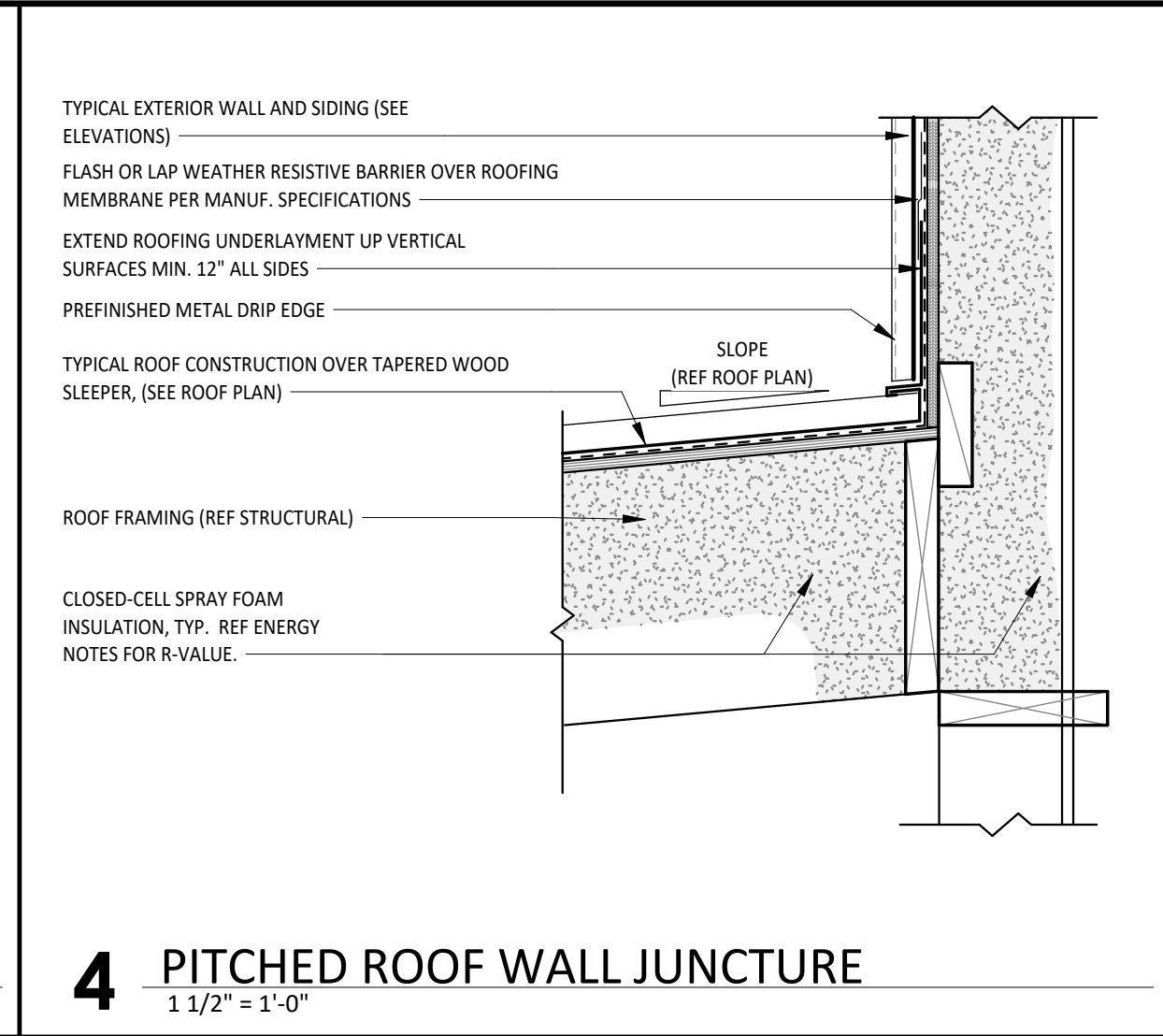
Project No: 2023-16  
 Stage: FINAL REVIEW SET  
 Date: 05/02/2024  
 Scale: As indicated

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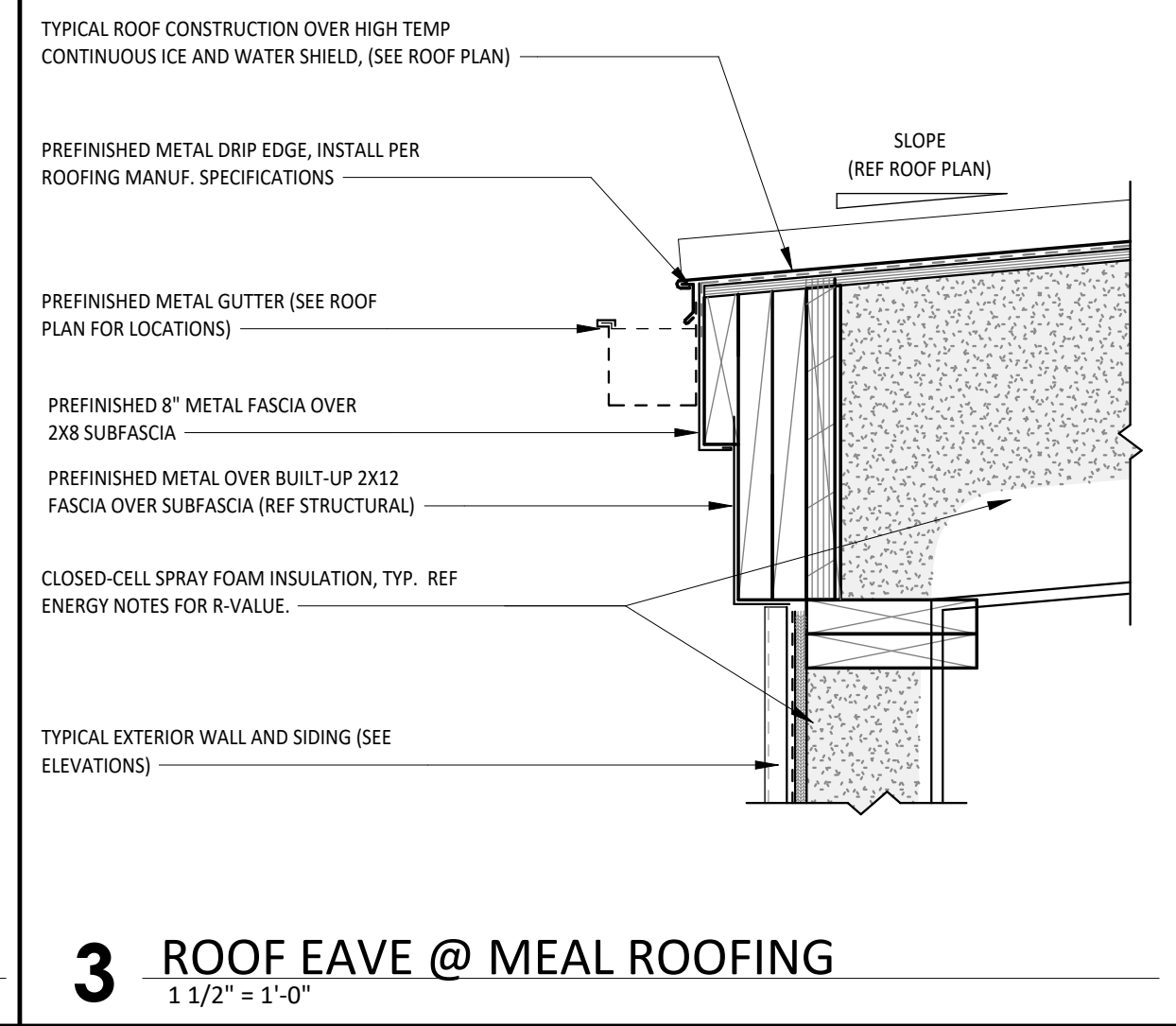
DETAILS

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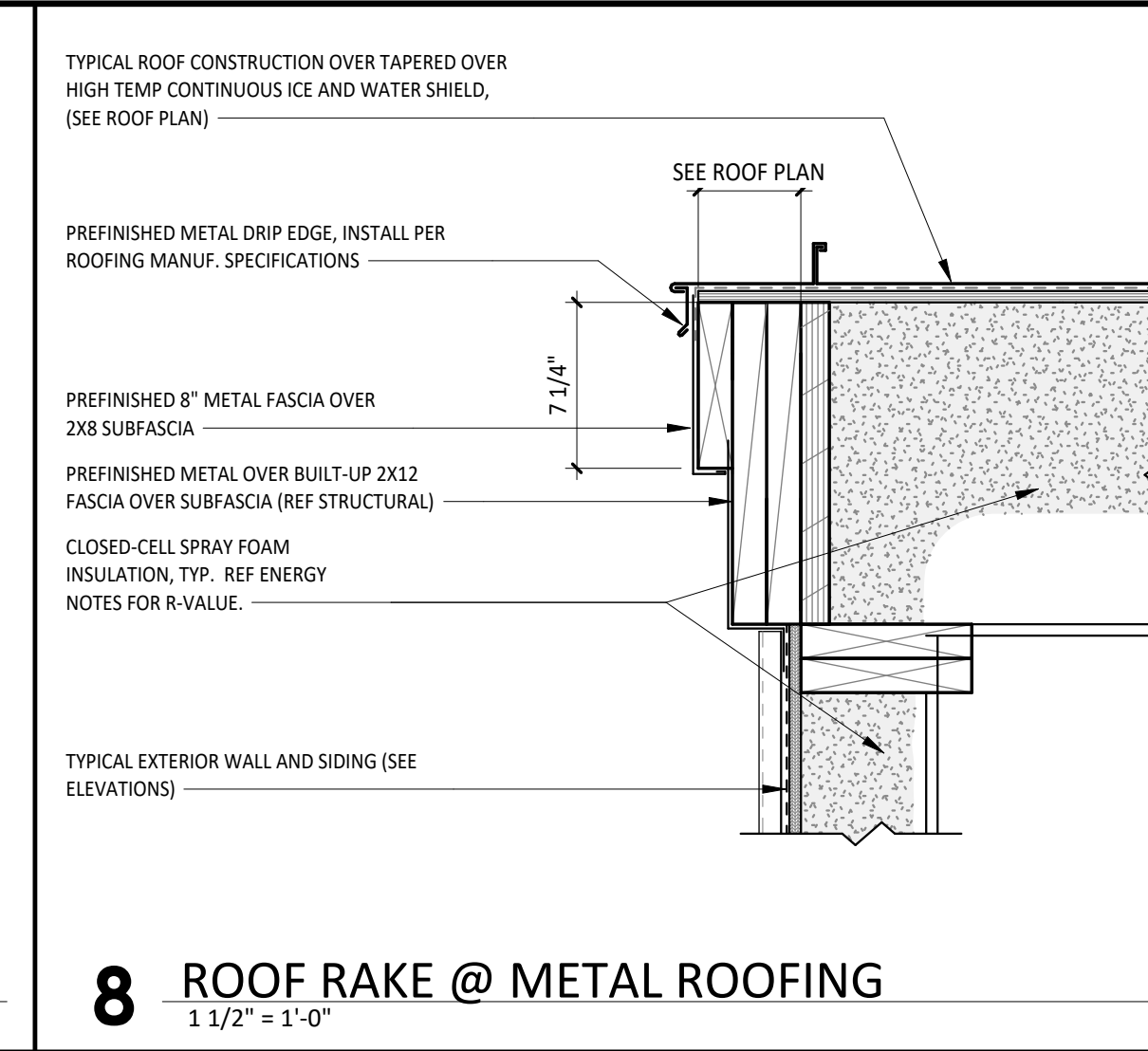
A7.1



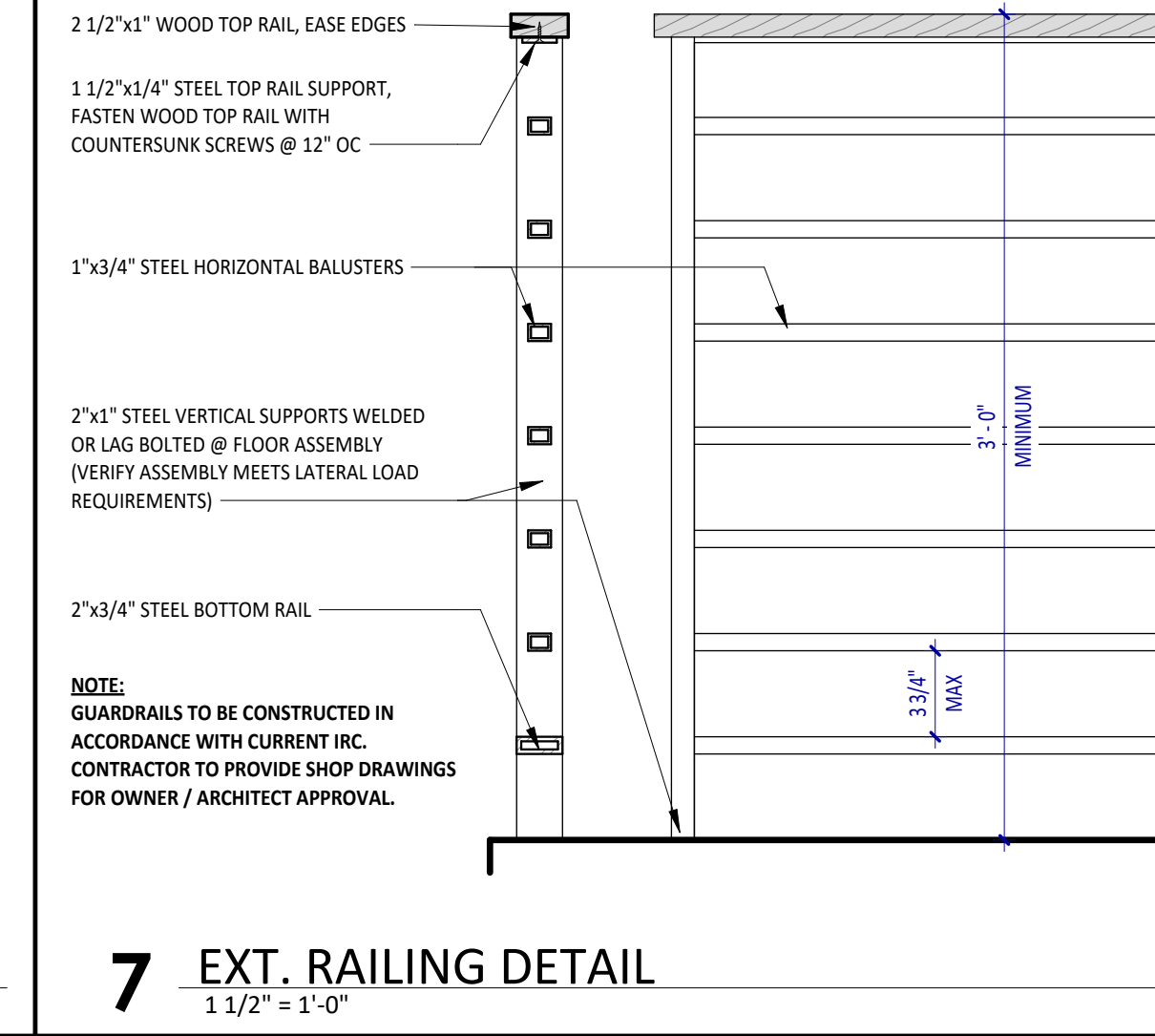
4 PITCHED ROOF WALL JUNCTURE  
1 1/2" = 1'-0"



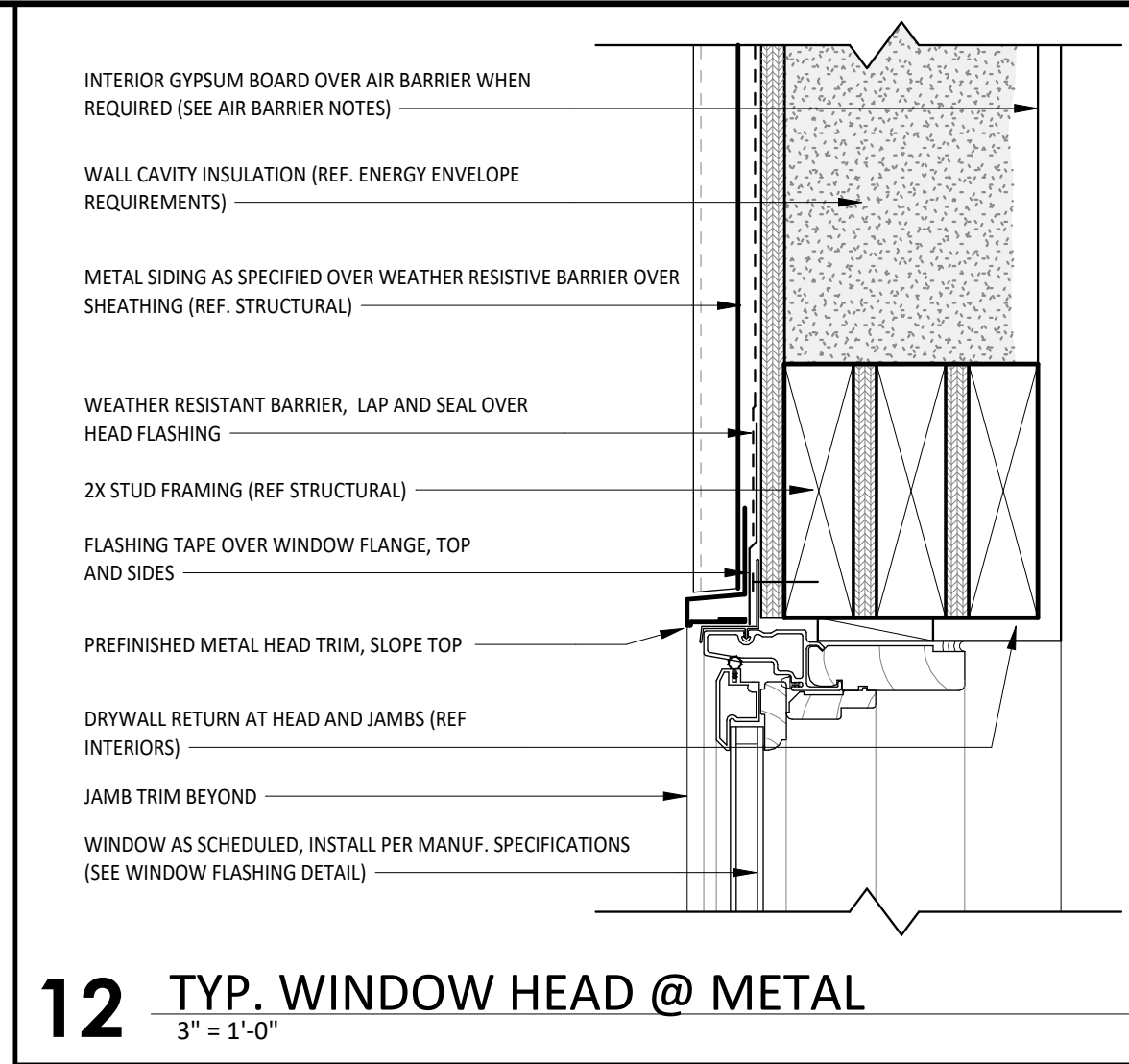
3 ROOF EAVE @ MEAL ROOFING  
1 1/2" = 1'-0"



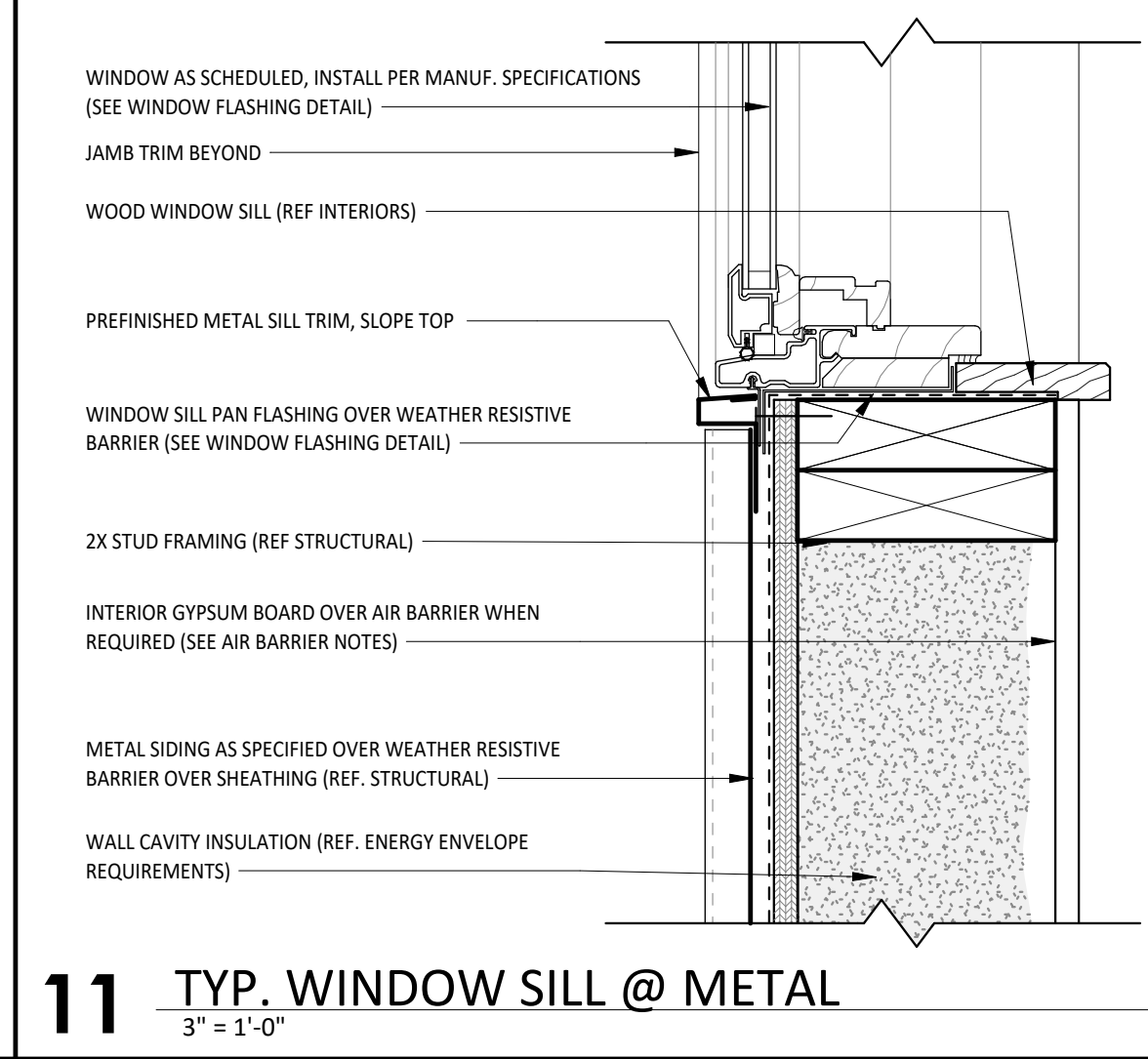
8 ROOF RAKE @ METAL ROOFING  
1 1/2" = 1'-0"



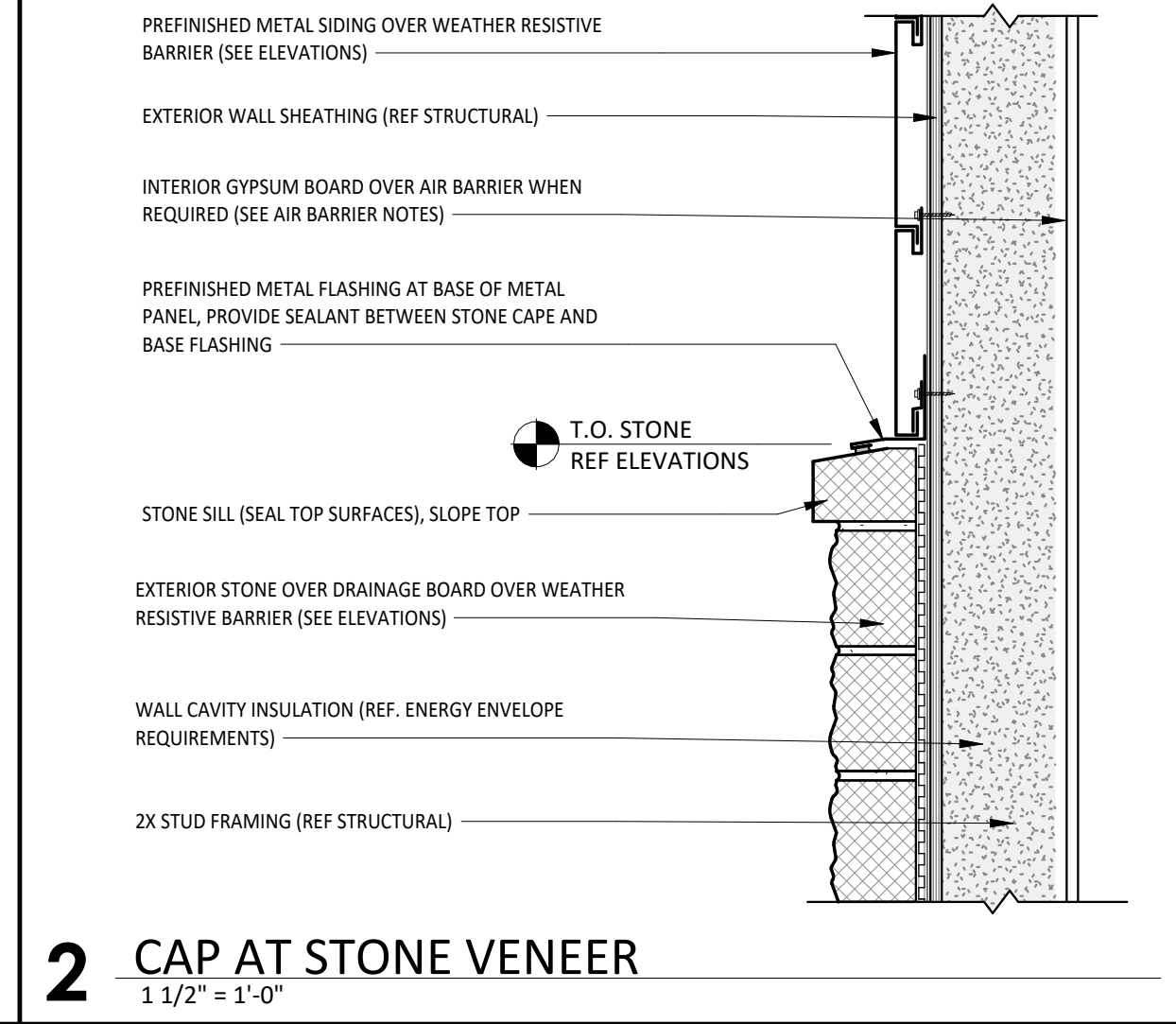
7 EXT. RAILING DETAIL  
1 1/2" = 1'-0"



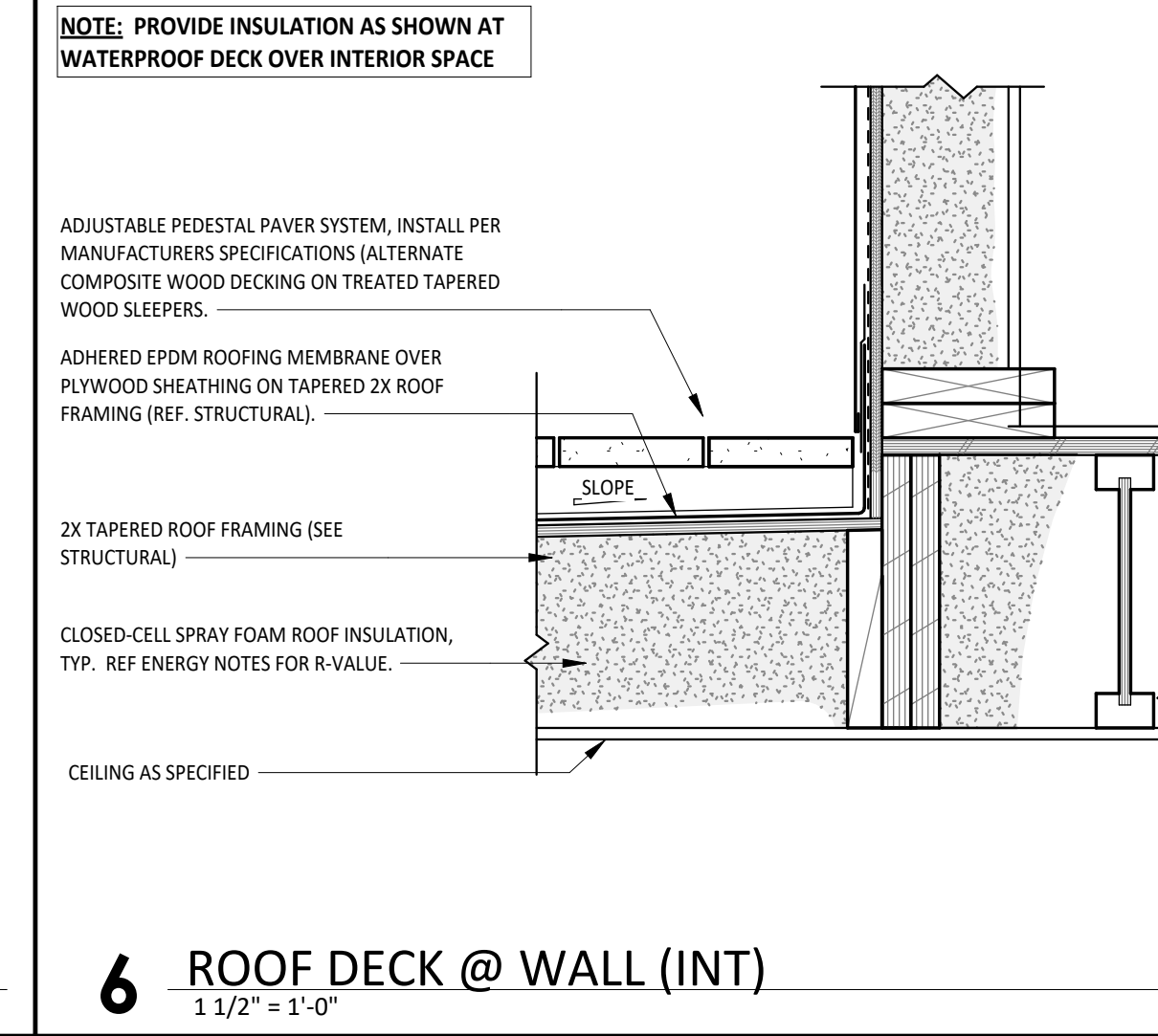
12 TYP. WINDOW HEAD @ METAL  
3" = 1'-0"



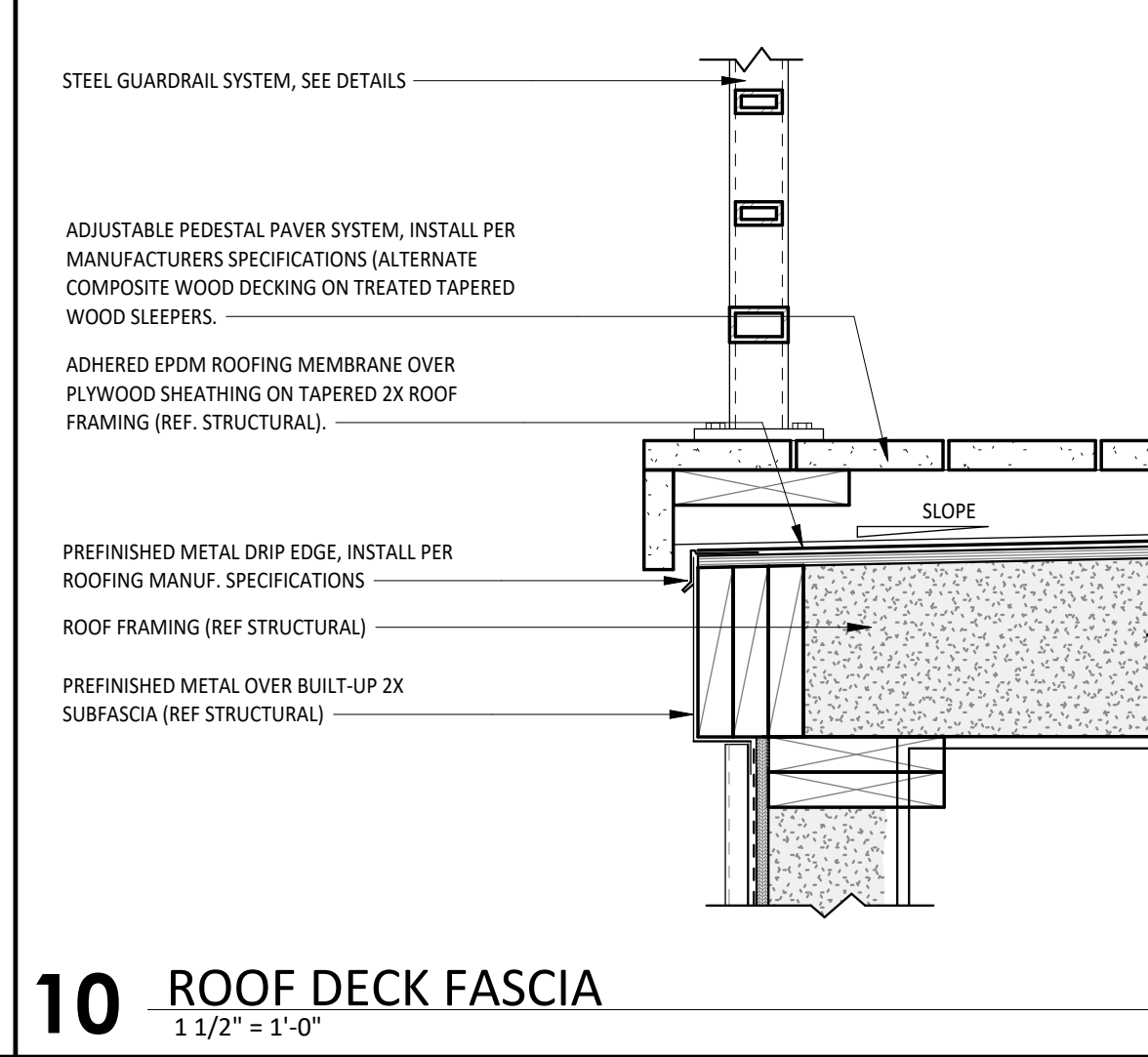
11 TYP. WINDOW SILL @ METAL  
3" = 1'-0"



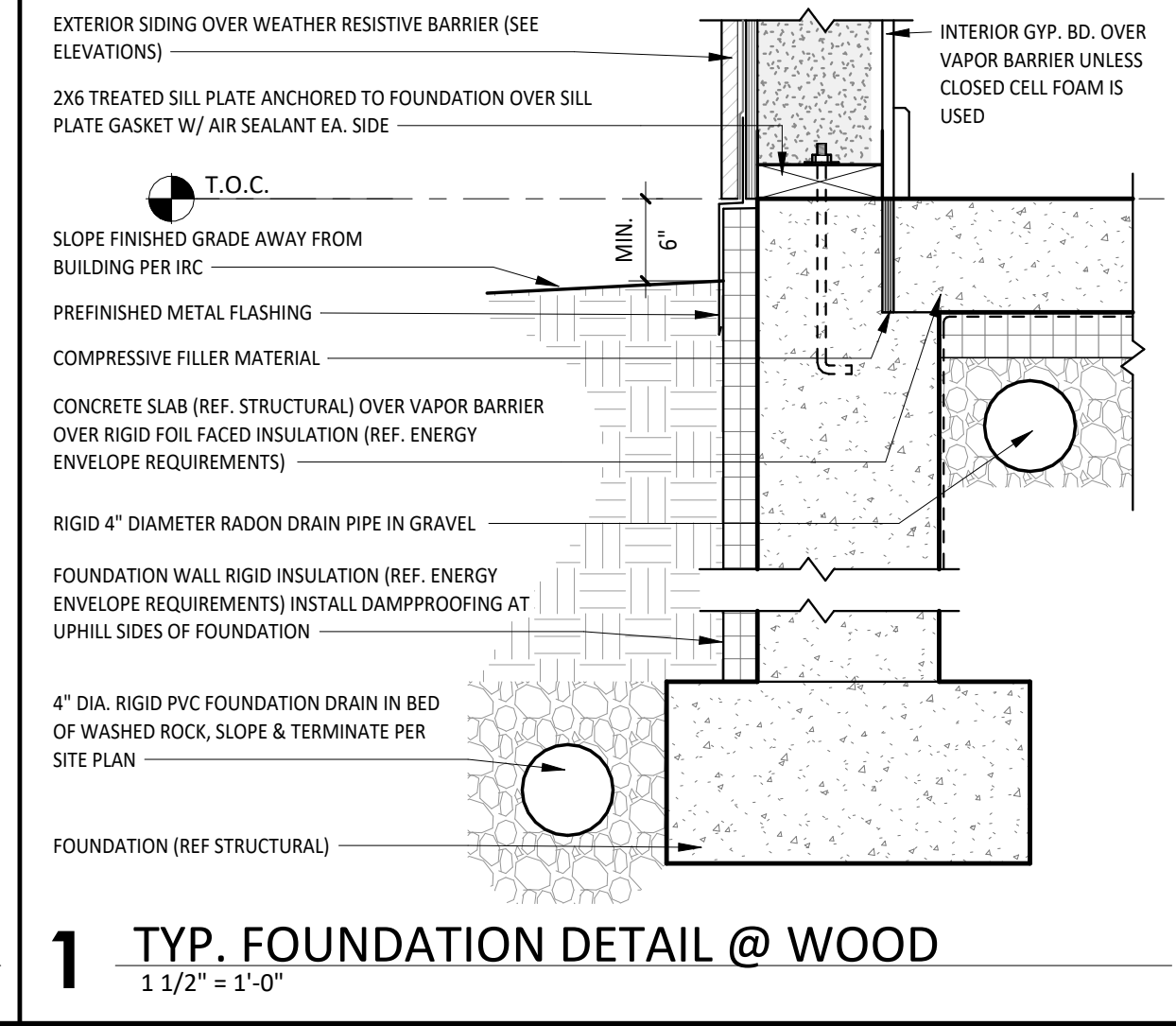
2 CAP AT STONE VENEER  
1 1/2" = 1'-0"



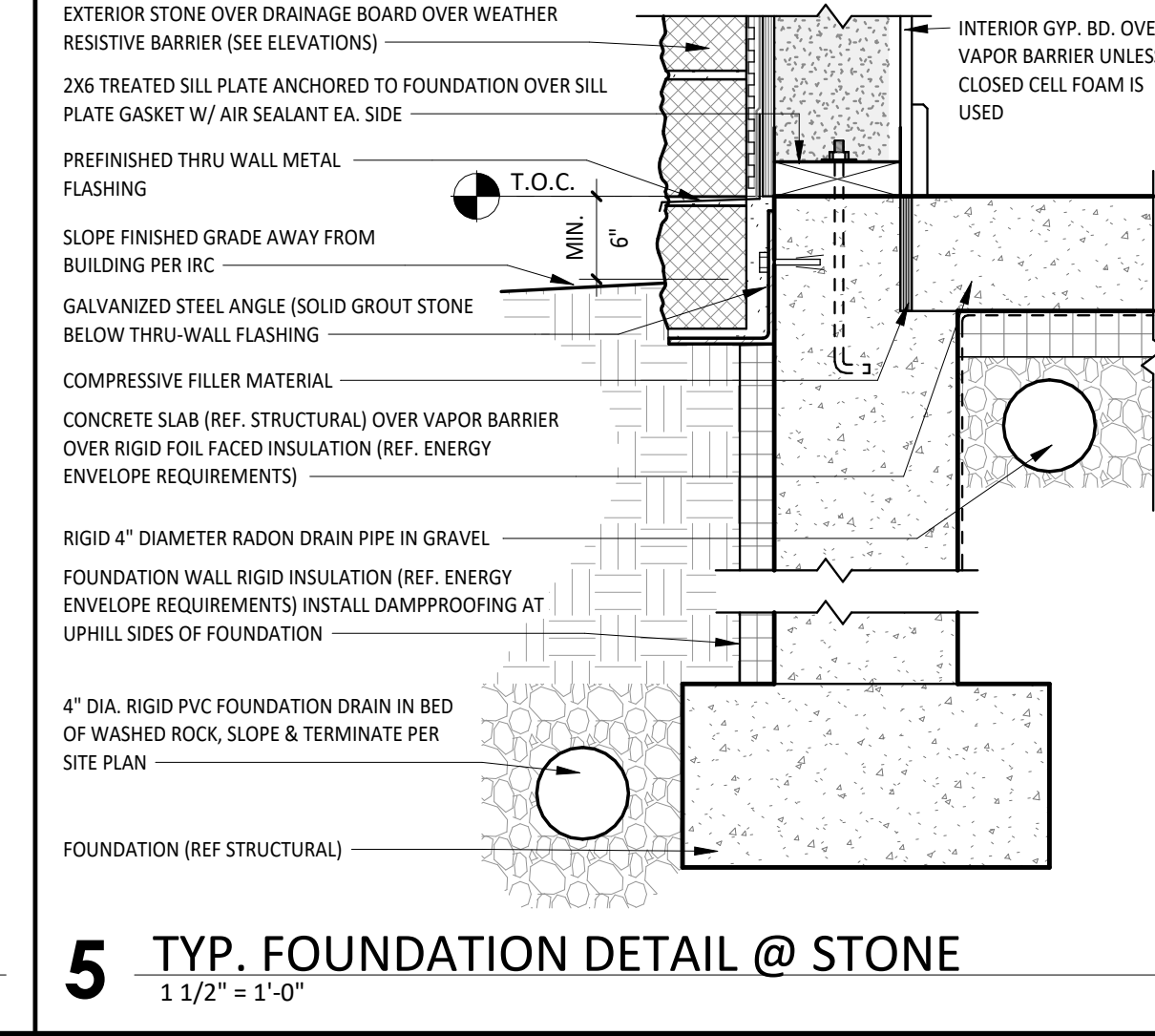
6 ROOF DECK @ WALL (INT)  
1 1/2" = 1'-0"



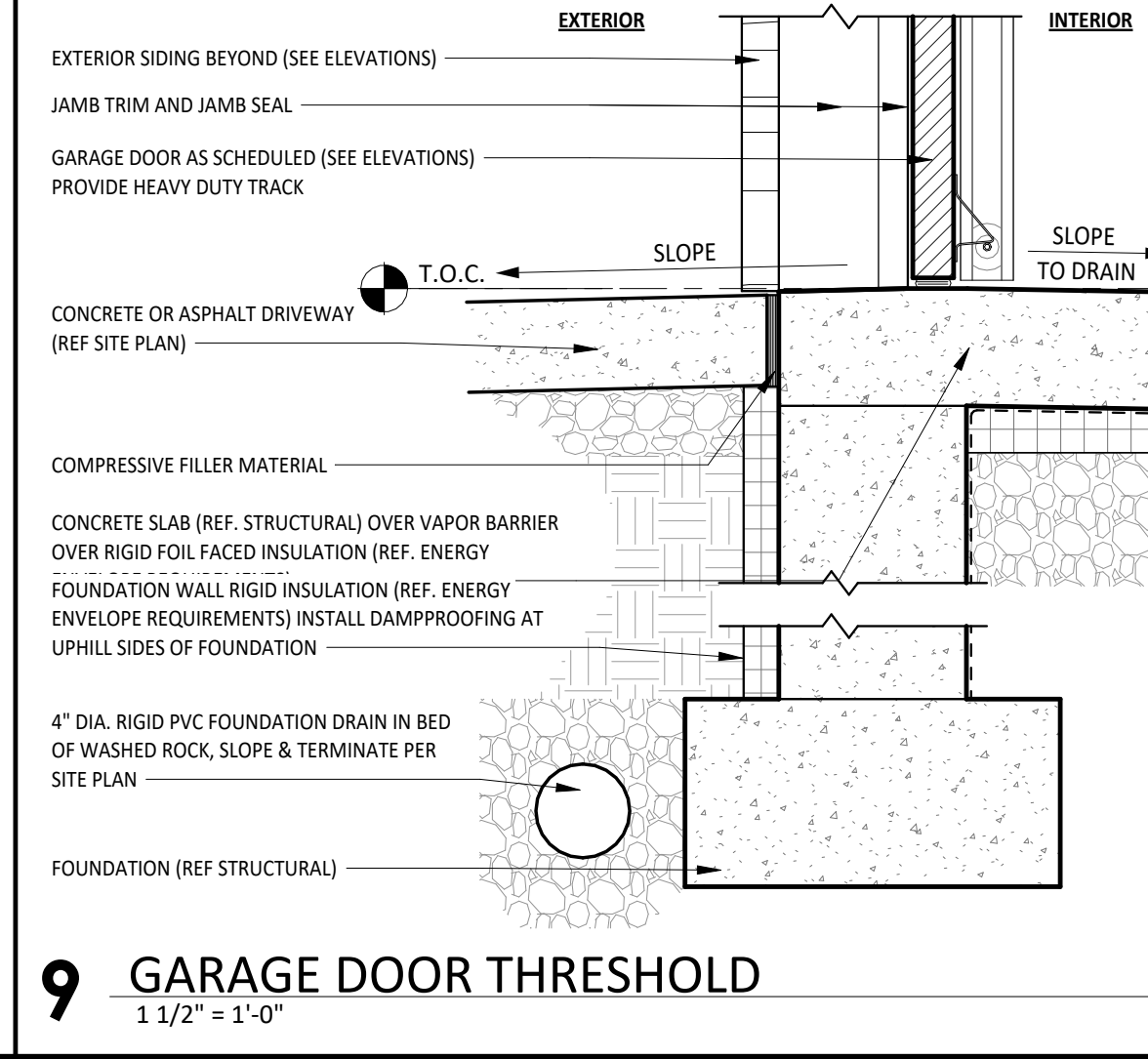
10 ROOF DECK FASCIA  
1 1/2" = 1'-0"



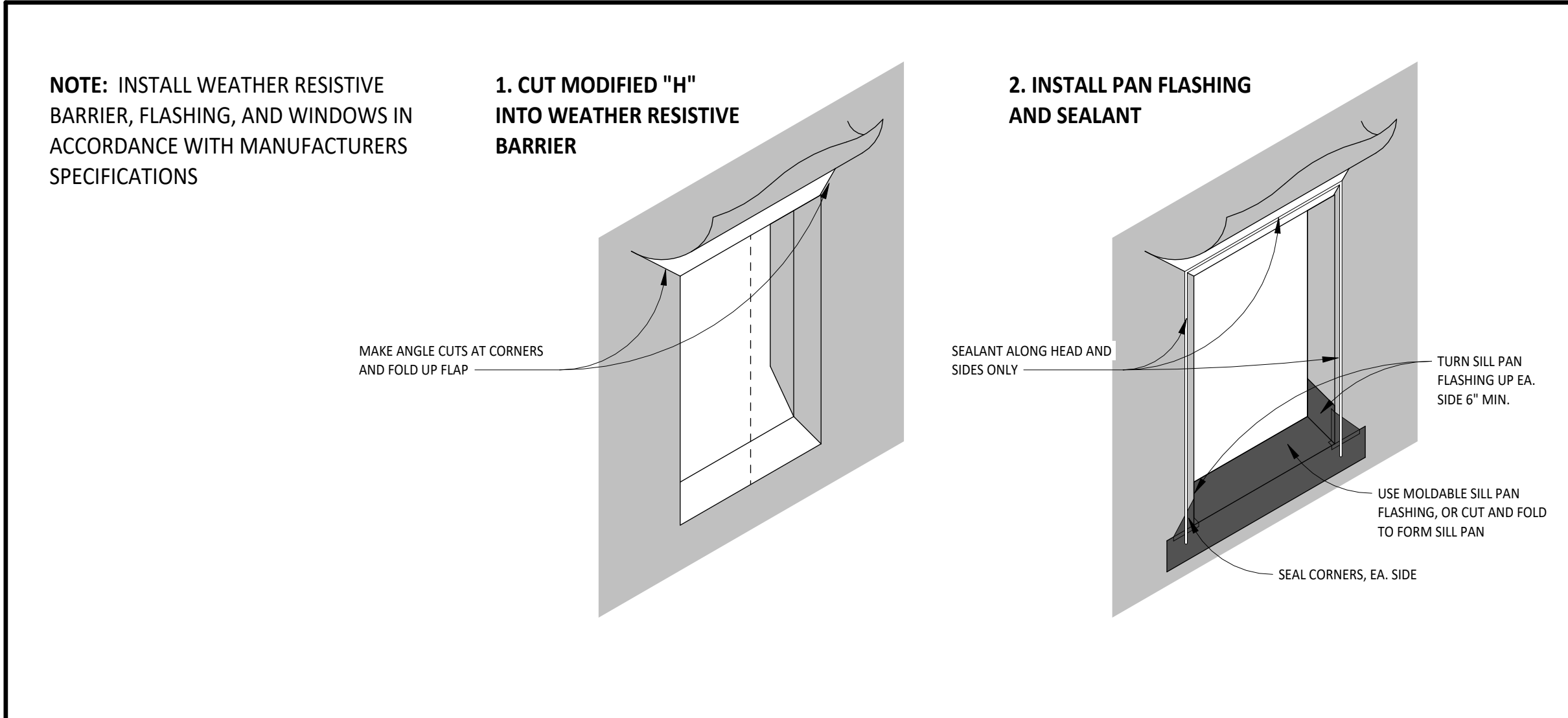
1 TYP. FOUNDATION DETAIL @ WOOD  
1 1/2" = 1'-0"



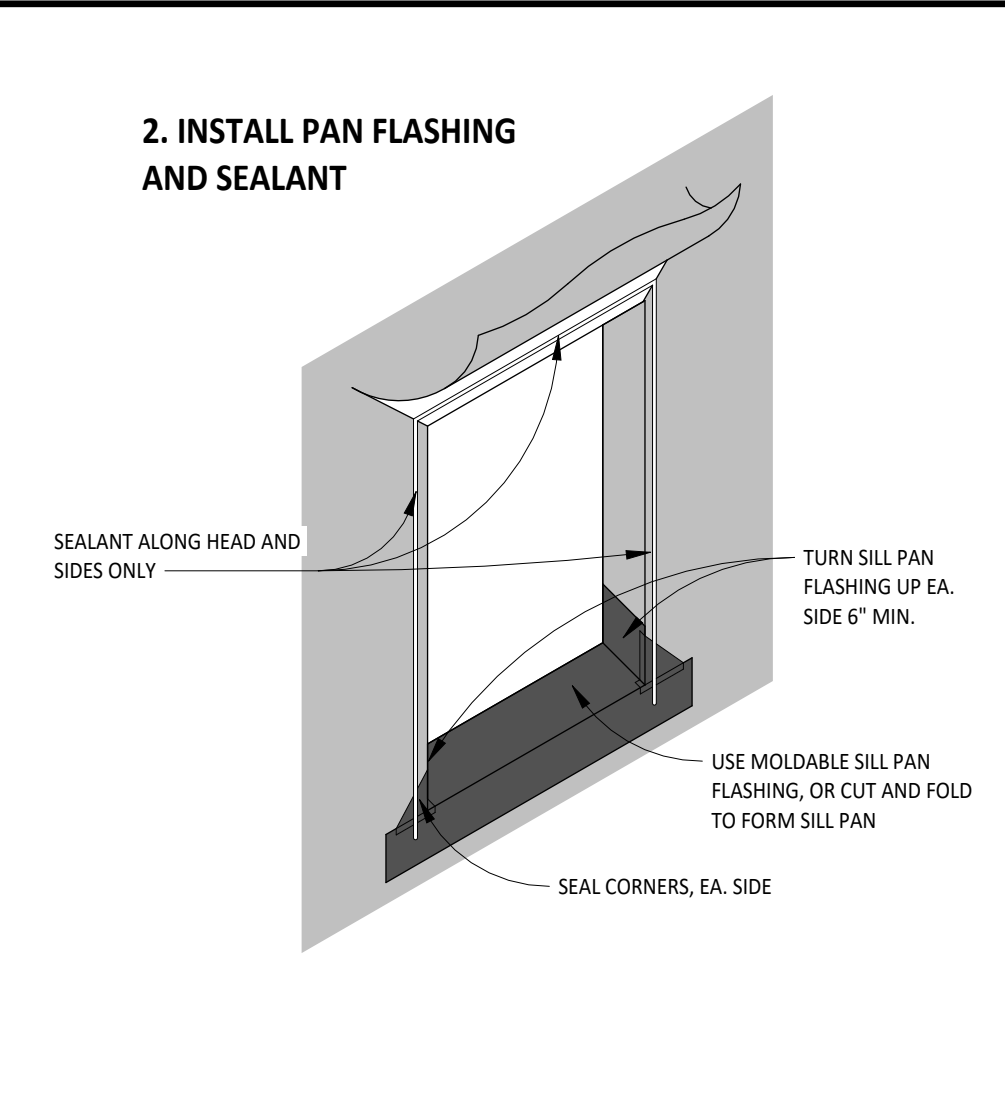
5 TYP. FOUNDATION DETAIL @ STONE  
1 1/2" = 1'-0"



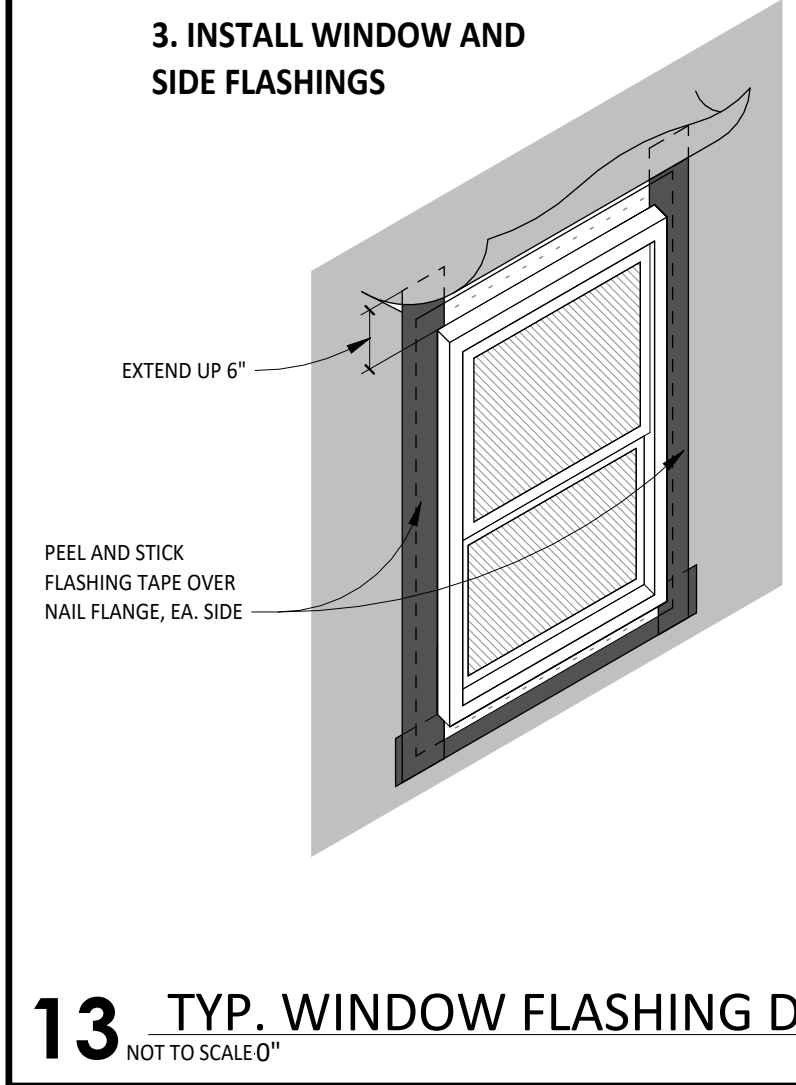
9 GARAGE DOOR THRESHOLD  
1 1/2" = 1'-0"



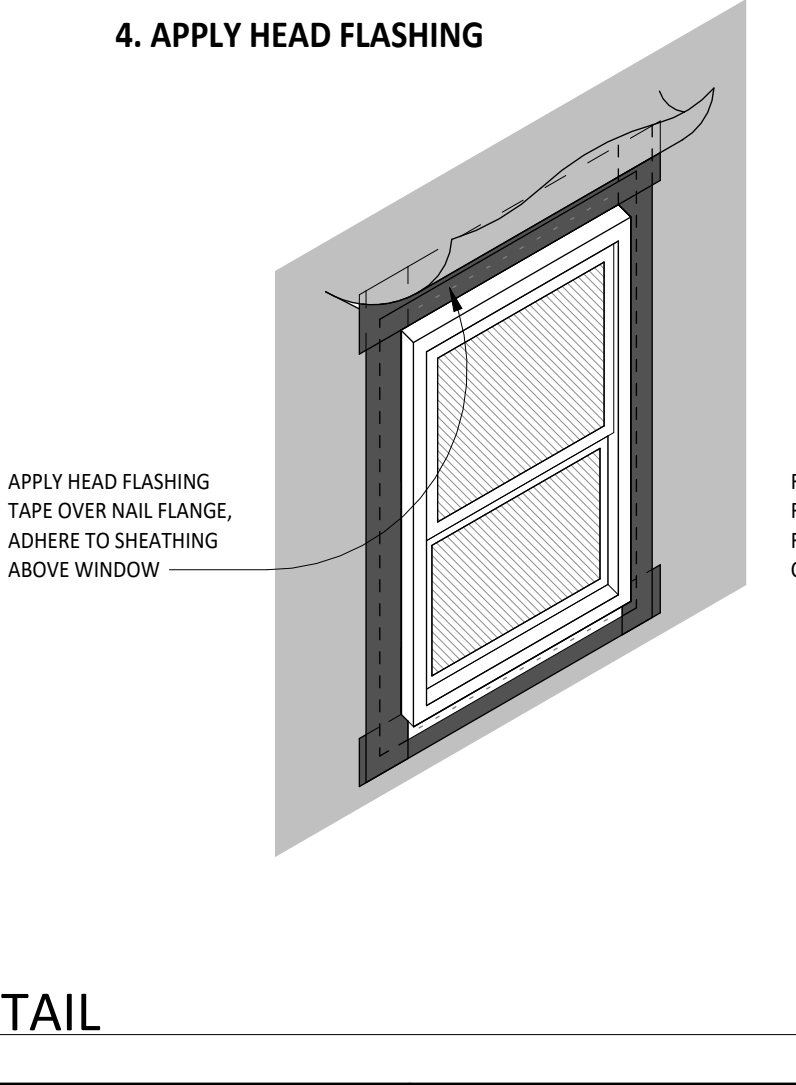
1. CUT MODIFIED "H" INTO WEATHER RESISTIVE BARRIER



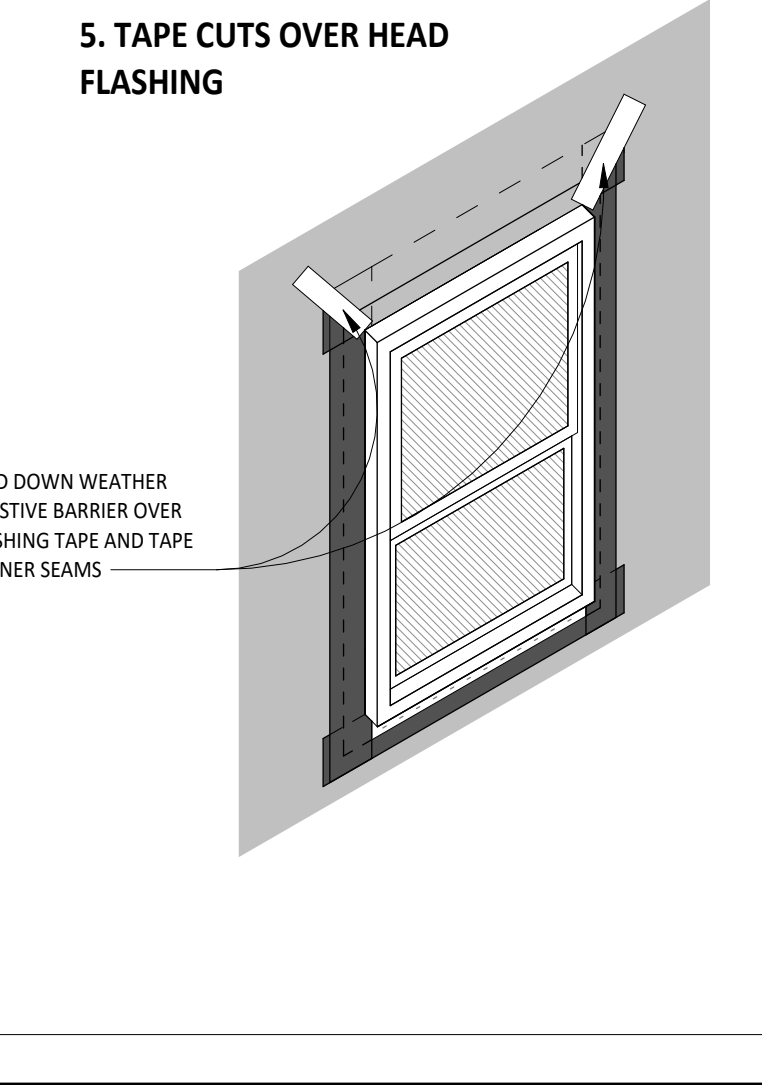
2. INSTALL PAN FLASHING AND SEALANT



3. INSTALL WINDOW AND SIDE FLASHINGS



4. APPLY HEAD FLASHING

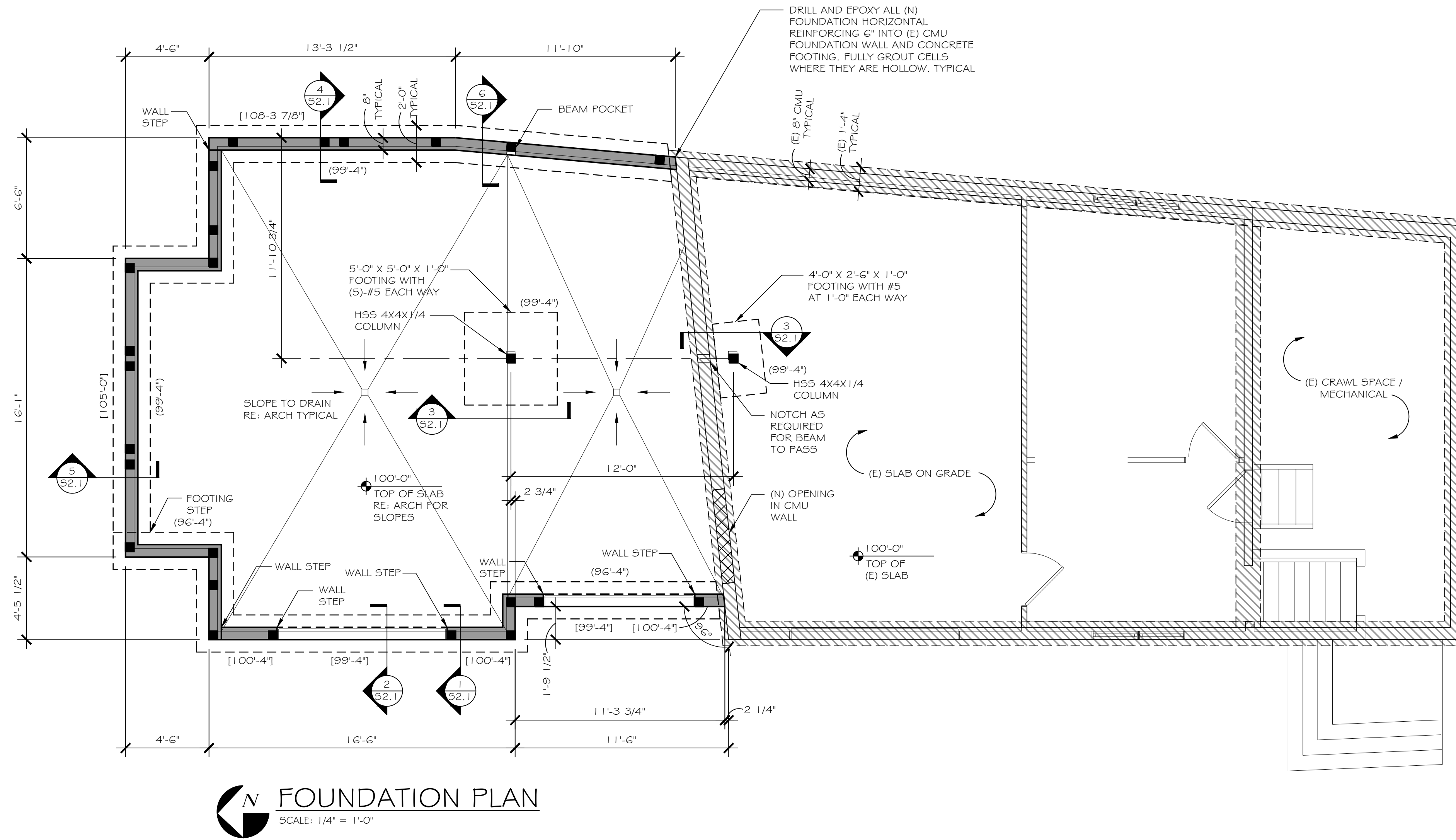


5. TAPE CUTS OVER HEAD FLASHING

13 TYP. WINDOW FLASHING DETAIL  
NOT TO SCALE 0"



**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

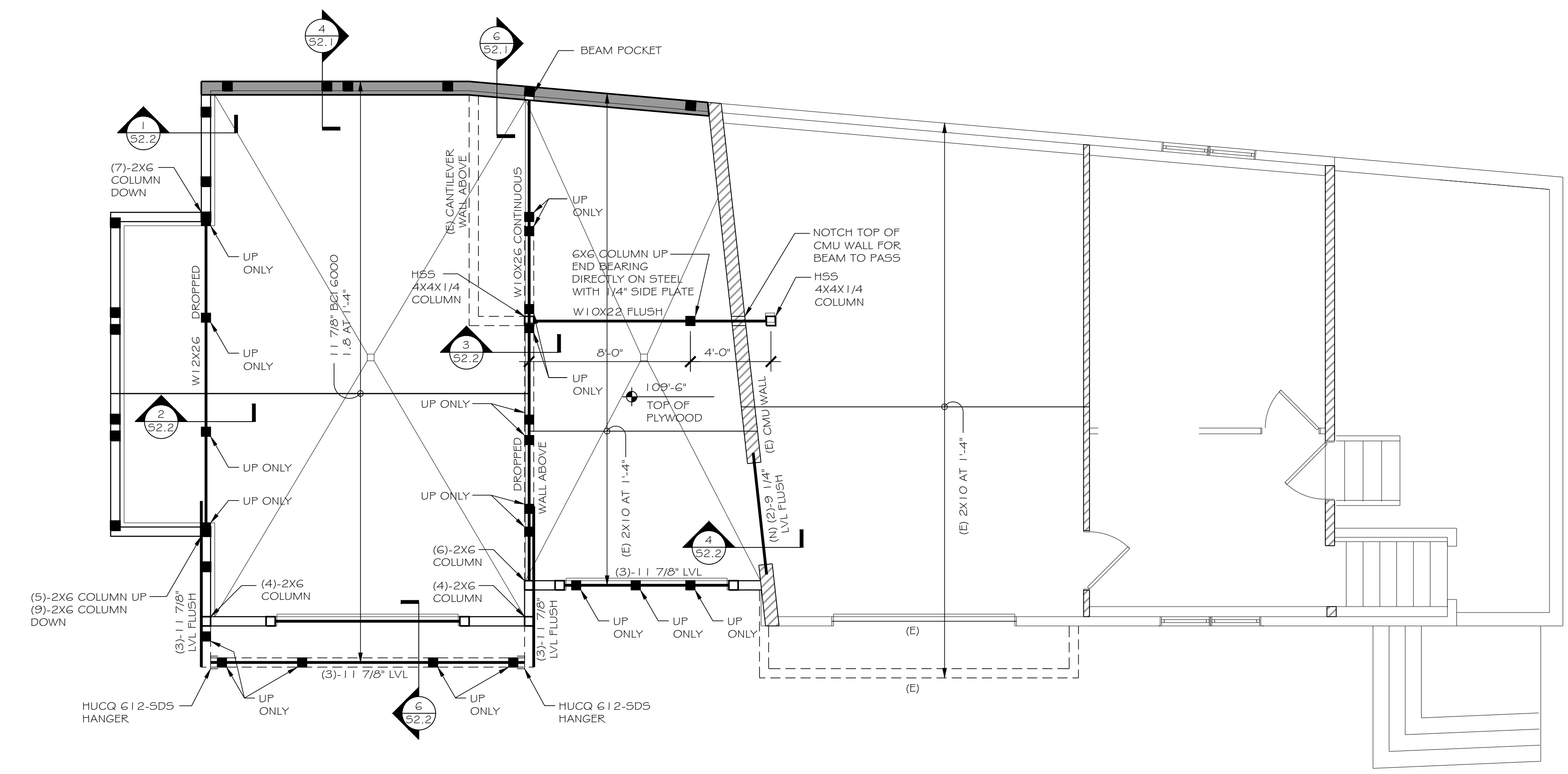
**FOUNDATION NOTES:**

- DATUM ELEVATION 100'-0" EQUALS LOWER LEVEL TOP OF SLAB ELEVATION. RE: ARCH FOR USGS.
- (XX'-XX") INDICATES TOP OF FOUNDATION WALL ELEVATION.
- (XX'-XX") INDICATES TOP OF FOOTING ELEVATION.
- FLOOR ELEVATIONS SHOWN ARE AT TOP OF SLAB OR AT TOP OF PLYWOOD FLOOR SHEATHING.
- FOOTING ELEVATIONS SHOWN ARE MAXIMUMS AND MAY NEED TO BE LOWERED DUE TO SOIL CONDITIONS. VERIFY CHANGES WITH STRUCTURAL ENGINEER.
- ALL SLABS ON GRADE ARE 4" THICK WITH GXG W2.1XW2.1 WELDED WIRE FABRIC UNLESS NOTED OTHERWISE.
- SITE WALLS NOT SHOWN ON THIS PLAN SHALL BE BUILT PER ARCHITECTURAL LANDSCAPE PLANS, DETAILS AND ELEVATIONS. SITE WALLS SHALL NOT BE CONNECTED TO BUILDING UNLESS NOTED OTHERWISE.
- REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

**S1.1**  
FOUNDATION PLAN

**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO



**MAIN LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

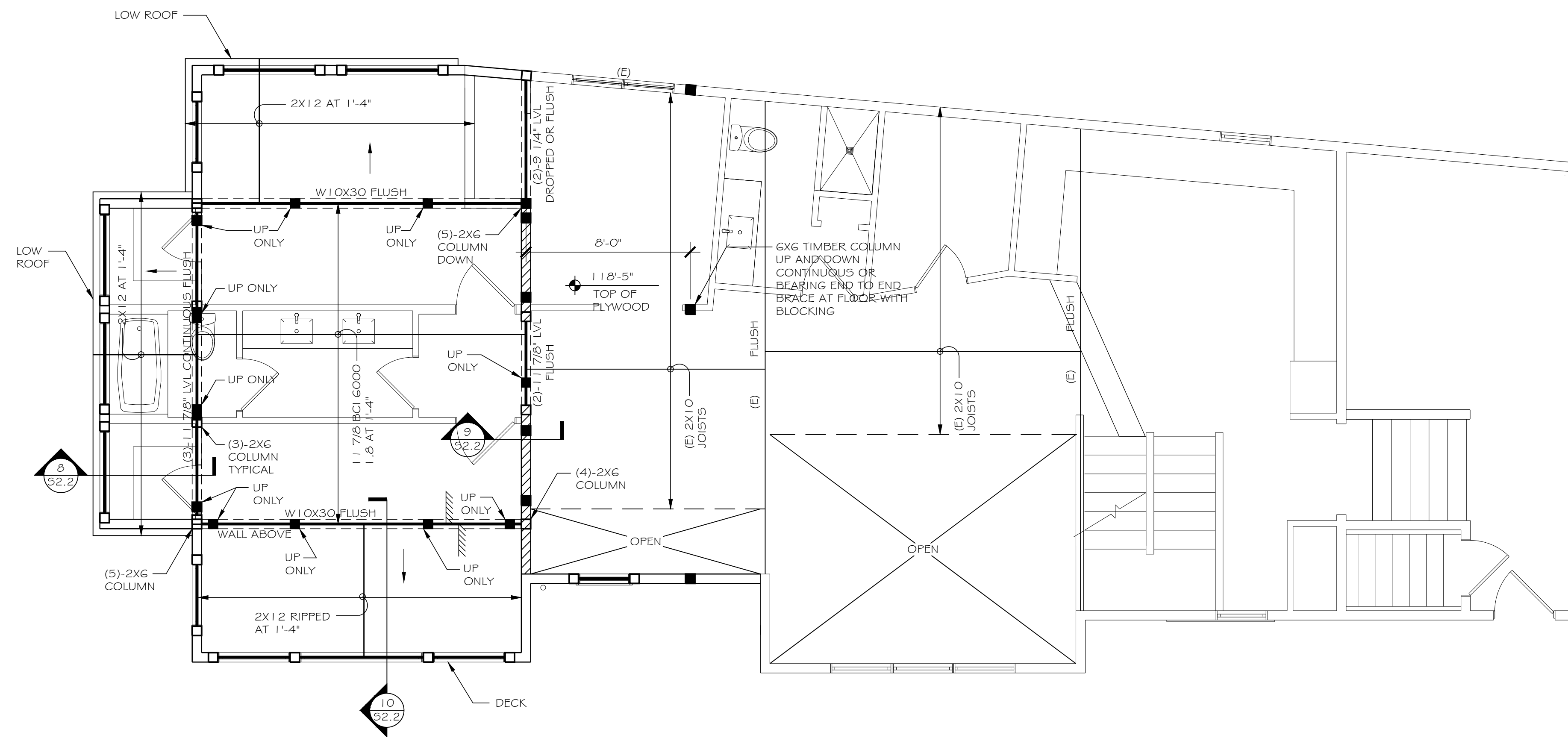
**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. BCI 6000 1.8 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
13. FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

**S1.2**  
 MAIN LEVEL FRAMING PLAN

**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO



**UPPER LEVEL FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR SUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRUZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. BCI 6000 1.5 JOISTS MAY BE REPLACED WITH TJI 210 JOISTS EQUAL DEPTH AND SPACING RE: GENERAL NOTES.
13. FLOOR FRAMING IS NOT SIZED FOR GYPCRETE TOPPING.

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

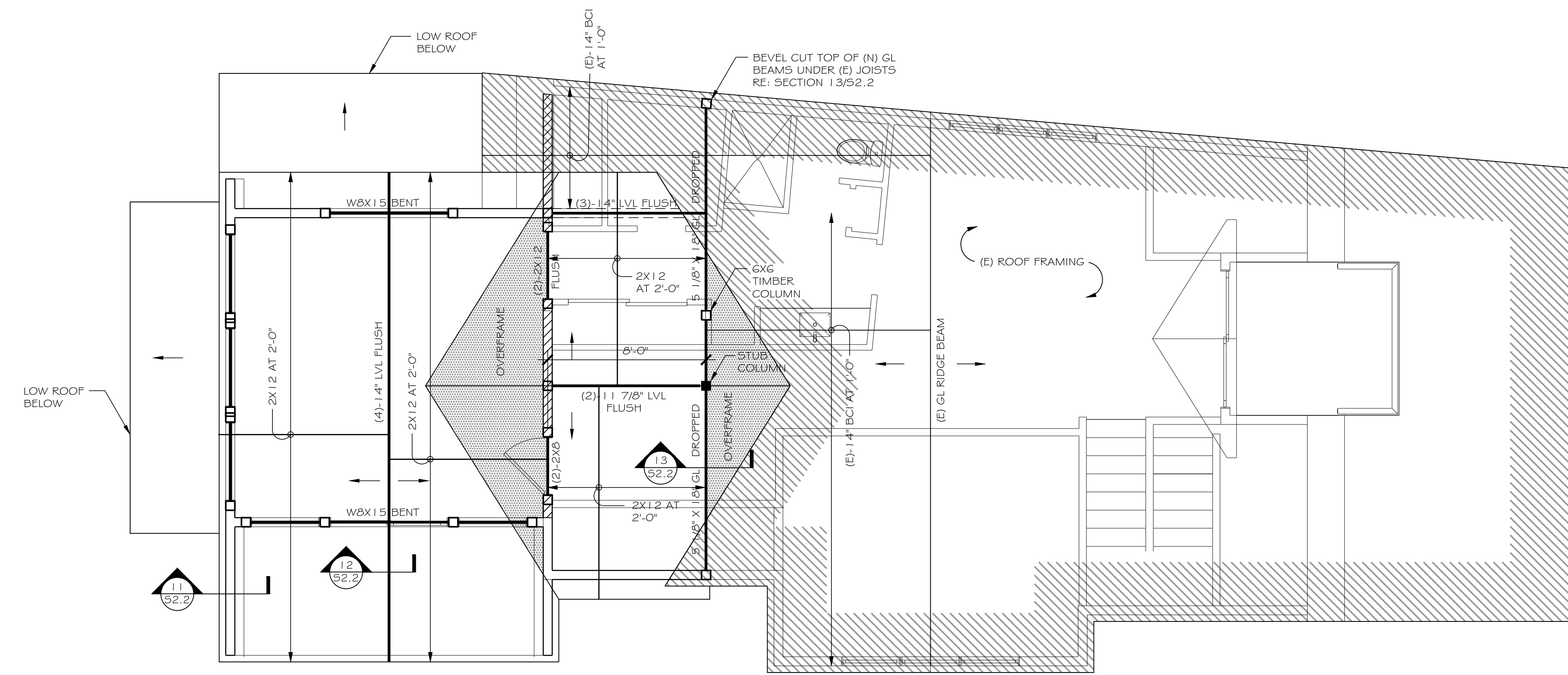
**S1.3**  
 UPPER LEVEL FRAMING PLAN



**FITZGERALD ADDITION**  
 34 RUSTIC TERRACE  
 BLUE RIVER, COLORADO

PROJECT #2337  
 DRAWN: CM/KF  
 DATE: 04/23/2024  
 FOR PERMIT

**S1.4**  
 ROOF FRAMING PLAN



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FRAMING NOTES:**

1. □ INDICATES COLUMN DOWN ONLY.
2. ■ INDICATES COLUMN UP AND DOWN UNLESS IT BEARS ON CONCRETE BELOW, OR IT IS LABELED UP ONLY OR STUB COLUMN.
3. ▨▨▨▨ INDICATES INTERIOR BEARING WALLS, JOISTS BEARING LOCATIONS SHALL LINE UP WITH STUDS BELOW.
4. ALL COLUMNS SHALL BE (3)-2X6 MINIMUM UNLESS NOTED OTHERWISE. COLUMNS AND STUDS SHALL BE CONTINUOUS FLOOR TO FLOOR OR FLOOR TO ROOF.
5. <XX-XX> INDICATES TOP OF BEAM ELEVATION OR PLATE HEIGHT ELEVATION.
6. HEADERS SHALL BE (2)-9 1/4" LVL UNLESS NOTED OTHERWISE. ALL HEADERS SHALL BE BUILT OUT TO 5 1/2" WIDTH BY ADDING RIGID INSULATION RE: ARCH.
7. ALL HEADERS 6'-0" AND LONGER SHALL REQUIRE TWO TRIM STUDS AND TWO KING STUDS EACH SIDE. HEADERS SHORTER THAN 6'-0" REQUIRE ONE TRIM STUD AND ONE KING STUD EACH SIDE UNLESS NOTED OTHERWISE.
8. ROOF JOIST HANGERS SHALL BE SIMPSON LSSR OR LRJZ TYPE UNLESS NOTED OTHERWISE. FLOOR JOIST HANGERS SHALL BE SIMPSON IUS TYPE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 STUDS. REFER TO EXTERIOR WALL DETAILS FOR MORE INFORMATION. STUDS CAN BE SPACED AT 2'-0" FOR WALLS SHORTER THAN 10'-0" UNLESS NOTED OTHERWISE. STUDS SHALL BE SPACED 1'-0" FOR WALLS SHORTER THAN 14'-0" AND TALLER THAN 10'-0" UNLESS NOTED OTHERWISE.
10. REFERENCE ARCHITECTURAL DRAWINGS FOR LOCATION AND SIZE OF ROUGH OPENINGS IN WOOD STUD WALLS.
11. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

**GENERAL NOTES:**

1. LIVE LOADS USED IN DESIGN

- A. ROOF SNOW 1 00 PSF
- B. DECK LIVE LOAD 1 25 PSF
- C. INTERIOR FLOOR 40 PSF
- D. ULTIMATE DESIGN WIND 1 15 MPH EXPOSURE B
- E. SEISMIC SITE CLASS D, DESIGN CATEGORY B

2. TESTING, INSPECTIONS AND OBSERVATIONS

- A. THE STRUCTURAL ENGINEER DOES NOT PROVIDE INSPECTIONS OF CONSTRUCTION. STRUCTURAL ENGINEER MAY MAKE PERIODIC OBSERVATIONS OF THE CONSTRUCTION. SUCH OBSERVATIONS SHALL NOT REPLACE REQUIRED INSPECTIONS BY THE GOVERNING AUTHORITIES OR SERVE AS "SPECIAL INSPECTIONS" AS MAY BE REQUIRED BY CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

3. FOUNDATIONS

- A. ALLOWABLE SOIL BEARING PRESSURE ASSUMED IN DESIGN IS 2000 PSF.
- B. CONTRACTOR SHALL RETAIN A LICENSED SOILS ENGINEER TO INSPECT THE FOUNDATION EXCAVATION. SOILS ENGINEER SHALL VERIFY IN WRITING THE ACTUAL SOILS CAPACITY IS EQUAL TO OR GREATER THAN ASSUMED.
- C. THE PREPARATION OF THE SUBGRADE SHALL BE IN STRICT ACCORDANCE WITH THE SOILS ENGINEER. QUESTIONS REGARDING THE SUBGRADE PREPARATION SHALL BE DIRECTED TO THE GEOTECHNICAL ENGINEER.
- D. NOTIFY SOILS ENGINEER WHEN EXCAVATION IS COMPLETE SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.
- E. CONTRACTOR TO PROVIDE, AT HIS EXPENSE, FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND INTERIOR SLABS ON GRADE.
- F. ALL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS BY CONTRACTOR WITH APPROVAL OF SOILS ENGINEER. ALL BOTTOMS OF FOOTINGS SHALL BE A MINIMUM OF 40" BELOW EXTERIOR GRADE.
- G. ALL FOOTINGS SHALL BE PLACED ON FIRM, UNDISTURBED NATIVE SOIL OR PROPERLY COMPACTED STRUCTURAL BACKFILL, APPROVED BY THE SOILS ENGINEER.
- H. CONTRACTOR SHALL BACKFILL EQUALLY ON EACH SIDE OF FOUNDATION WALLS IN 1 2 INCH MAXIMUM VERTICAL LIFTS OR AS RECOMMENDED BY THE SOILS ENGINEER. REFER TO SOILS ENGINEER FOR BACKFILL MATERIAL.
- I. CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS DIMENSIONED OTHERWISE.
- J. REFERENCE THE SOILS ENGINEER AND GRADING DRAWINGS FOR SOIL DRAINAGE REQUIREMENTS.

4. CONCRETE AND REINFORCEMENT

- A. CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I/II PORTLAND CEMENT AND SHALL SATISFY 3000 PSI MINIMUM. GARAGE FLOOR SLAB SHALL SATISFY 4000 PSI MINIMUM. CONCRETE WITH EXPOSURE TO WEATHER, INCLUDING GARAGE FLOOR SLABS, SHALL BE AIR ENTRAINED AND MEET ALL REQUIREMENTS IN TABLE R402.2 FOR SEVERE WEATHERING POTENTIAL.
- B. ALL CONCRETE AND REINFORCEMENT WORK SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 318 LATEST EDITION.
- C. CONTRACTOR SHALL SAWCUT OR TROWELCUT JOINTS IN SLABS ON GRADE. JOINTS SHALL BE SPACED 12 FEET MAXIMUM AND CUT 1/4" OF SLAB DEPTH X 3/16" WIDE WITHIN 12 HOURS AFTER POURING. AREA BETWEEN JOINTS SHALL NOT EXCEED 100 SQUARE FEET. CARRY ALL SLAB REINFORCEMENT THROUGH JOINT.
- D. ALL REINFORCING SHALL BE HIGH-STRENGTH DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60, EXCEPT TIES, STIRRUPS AND PLATE ANCHORS WHICH SHALL BE DEFORMED BARS, ASTM DESIGNATION A615, GRADE 40 OR A706 GRADE 60.
- E. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 GRADE 65 AND SHALL BE LAPPED ONE FULL MESH AT SIDE AND END SPLICES AND WIRED TOGETHER.
- F. NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS. USE STANDARD HOOKS FOR DOWELS UNLESS NOTED OTHERWISE.

5. STRUCTURAL STEEL

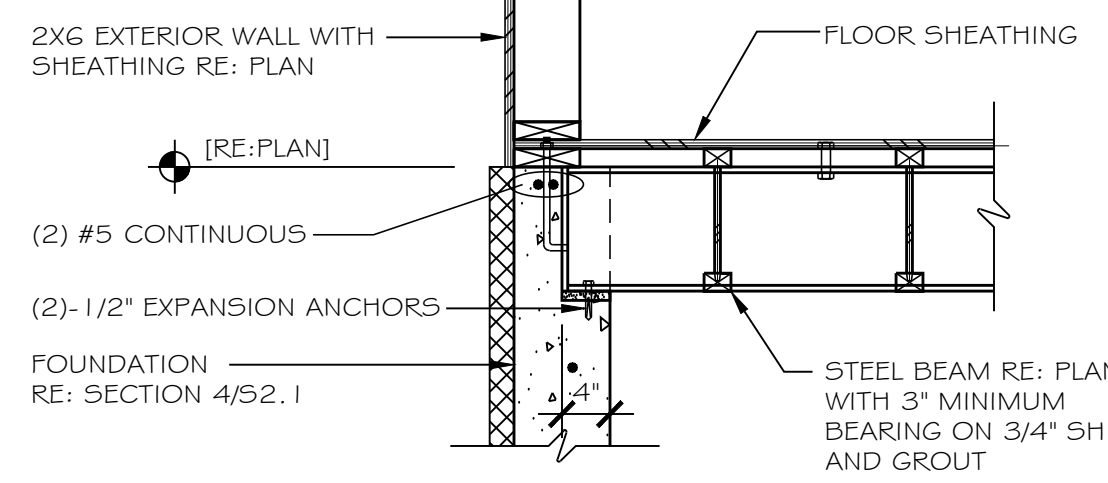
- A. STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM 992, 50 KSI; TUBES SHALL CONFORM TO ASTM A500, GRADE B; PIPES SHALL CONFORM TO ASTM A53, GRADE B. MISCELLANEOUS ITEMS SHALL BE A36 STEEL.
- B. ALL STRUCTURAL BOLTS SHALL BE A325N INSTALLED TO A MINIMUM SHUG TIGHT CONDITION. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- C. STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH THE LATEST PROVISIONS OF AISC "MANUAL OF STEEL CONSTRUCTION".
- D. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE AMERICAN WELDING SOCIETY STANDARD QUALIFICATIONS TESTS AS OUTLINED IN AWS-D1.1.
- E. MINIMUM WELDS TO BE PER AISC TABLE J2.4 BUT NOT LESS THAN 3/16" CONTINUOUS FILLET UNLESS NOTED OTHERWISE.
- F. SUBMIT SHOP AND ERECTION DRAWINGS TO ENGINEER FOR REVIEW OF ALL STRUCTURAL STEEL MEMBERS. THE MANUFACTURING OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN REVIEW OF SHOP DRAWINGS WILL BE ENTIRELY AT RISK OF THE CONTRACTOR.

6. WOOD

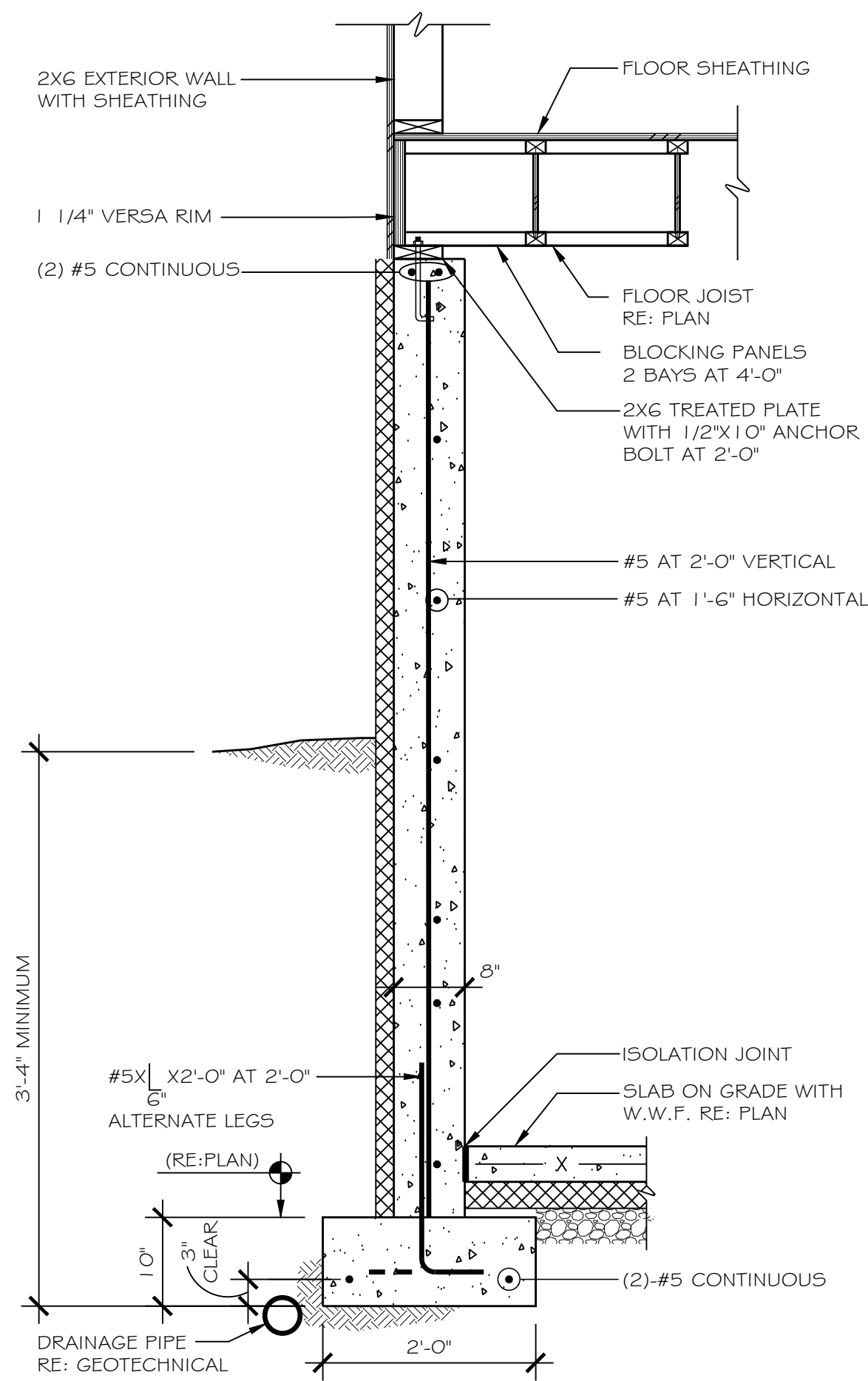
- A. ALL FRAMING LUMBER SHALL BE DRY HEM-FIR, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 2 GRADE (F<sub>b</sub> = 850 PSI). WALL STUDS ONLY MAY CONFORM TO STUD GRADE (F<sub>b</sub> = 675 PSI).
- B. ALL FRAMING TIMBERS (5"X5" AND LARGER) SHALL BE DRY DOUGLAS FIR LARCH, GRADED BY WESTERN WOOD PRODUCTS ASSOCIATION AND CONFORMING TO NO. 1 GRADE (F<sub>b</sub> = 1350 PSI).
- C. PREFABRICATED WOOD MEMBERS SHALL BE "BCI" JOIST AS MANUFACTURED BY BOISE CASCADE OR "TJI" JOIST AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER, TYPES AS NOTED ON THE DRAWINGS. THE BCI JOISTS SPECIFIED HAVE SLIGHTLY HIGHER CAPACITIES THAN THE TJI JOISTS SPECIFIED. ALTERNATES SHALL BE REVIEWED BY THE ENGINEER. TO BE CONSIDERED, ALTERNATES SHALL HAVE A LOAD CAPACITY IN BENDING, SHEAR AND DEFLECTION EQUAL TO OR GREATER THAN THE SIZES SHOWN ON THE DRAWINGS. WEB BLOCKING AND BRIDGING TO BE AS REQUIRED BY THE JOIST MANUFACTURER.
- D. "LVL" INDICATES 1 3/4" WIDE LAMINATED VENEER LUMBER MEMBERS, WHICH SHALL HAVE THE FOLLOWING MINIMUM STRESS CAPACITIES: F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, E = 2,000,000 PSI. BUILT UP MEMBERS SHALL BE CONNECTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- E. "GL" INDICATES GLULAM MEMBERS, WHICH SHALL BE FABRICATED OF DOUGLAS FIR LARCH AT 12 PERCENT MOISTURE CONTENT IN ACCORDANCE WITH WCLUB. PROVIDE MEMBERS CONFORMING WITH AITC 117, 24F-V4 DF/DF UNLESS NOTED OTHERWISE.
- F. PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS AT ALL SUPPORTS AND ENDS OF CANTILEVERS.
- G. WHEN PRESERVATIVE TREATED LUMBER IS USED ALL CONNECTIONS AND NAILING SHALL BE ADEQUATELY GALVANIZED.
- H. ALL BEAM/BEAM AND BEAM/COLUMN CONNECTIONS SHALL BE MADE WITH SIMPSON STEEL PLATE CONNECTORS UNLESS NOTED OTHERWISE.
- I. FASTEN ALL WOOD MEMBERS WITH COMMON NAILS ACCORDING TO THE IRC TABLE R602.3(1) UNLESS NOTED OTHERWISE.
- J. ALL EXTERIOR WALLS SHALL HAVE CONTINUOUS STUDS FROM FLOOR TO FLOOR OR FLOOR TO ROOF (INCLUDING RAKE WALLS).
- K. OVERFRAMING SHALL BE 2X6 MINIMUM POSTED DOWN TO MAIN JOISTS ON A GRID NOT TO EXCEED 2'-0" X 2'-0".
- L. PLYWOOD DECK AND/OR ORIENTED STRAND BOARD
  - 1. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
  - 2. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCTS STANDARD PSI, LATEST EDITION FOR PLYWOOD.
  - 3. FOR FLOORING USE 3/4" T&G STURD-I-FLOOR SHEATHING GLUED AND NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 4. FOR ROOF USE 5/8" (40/20 SPAN RATING) EXPOSURE 1 SHEATHING NAILED WITH 1 0D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS.
  - 5. EXTERIOR WALLS SHALL HAVE ONE LAYER 7/16" EXPOSURE 1 SHEATHING NAILED WITH 8D NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ALONG INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. ALL PANEL EDGES SHALL BE BLOCKED.
  - 6. FLOOR AND ROOF SHEATHING SHALL BE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS WITH END JOINTS STAGGERED.
  - 7. INSTALL SUITABLE EDGE SUPPORT BY USE OF PLYCLIPS, TONGUE AND GROOVE PANELS OR SOLID WOOD BLOCKING SUPPORTS.

7. GENERAL

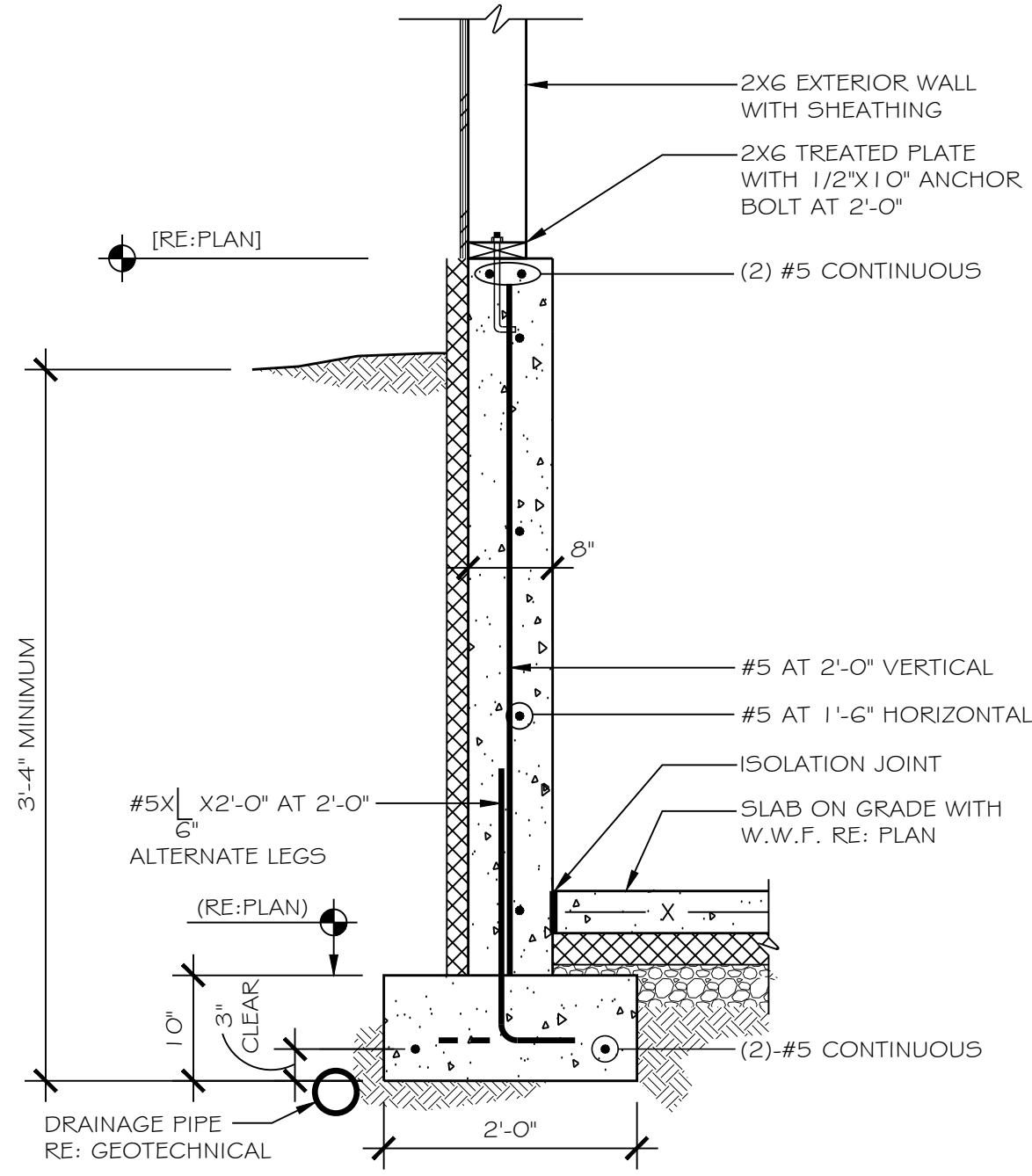
- A. ENGINEER'S ACCEPTANCE MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
- B. ALL DIMENSIONS AND DETAILS ON STRUCTURAL DRAWINGS SHALL BE FIELD VERIFIED AND CHECKED AGAINST ARCHITECTURAL DRAWINGS.
- C. WATERPROOFING, VAPOR BARRIERS, WATERSTOP, ETC., SHALL BE AS SHOWN IN ARCHITECTURAL DRAWINGS AND DETAILS.
- D. ELEMENTS SUCH AS NON-BEARING PARTITIONS ATTACHED TO AND/OR SUPPORTED BY THE STRUCTURE SHALL TAKE INTO ACCOUNT DEFLECTIONS AND OTHER STRUCTURAL MOVEMENTS.
- E. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. VERIFICATION OF LOCATIONS, SIZES AND REQUIRED CONNECTIONS ARE CONTRACTOR'S RESPONSIBILITY. ENGINEER'S APPROVAL OF CONNECTIONS AND SUPPORTS SHALL BE OBTAINED PRIOR TO INSTALLATION OF MECHANICAL AND ELECTRICAL EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE.
- F. REFER TO ARCHITECTURAL DRAWINGS FOR STAIR FRAMING DETAILS AND LANDING SLAB ELEVATIONS.
- G. ALL STONE VENEERS SHALL BE THIN ADHERED TYPE AND SHALL BE ATTACHED TO INTERIOR AND EXTERIOR WALLS AS SPECIFIED IN SECTION R703.8 OF THE INTERNATIONAL RESIDENTIAL CODE.
- H. (E) INDICATES EXISTING, (N) INDICATES NEW.



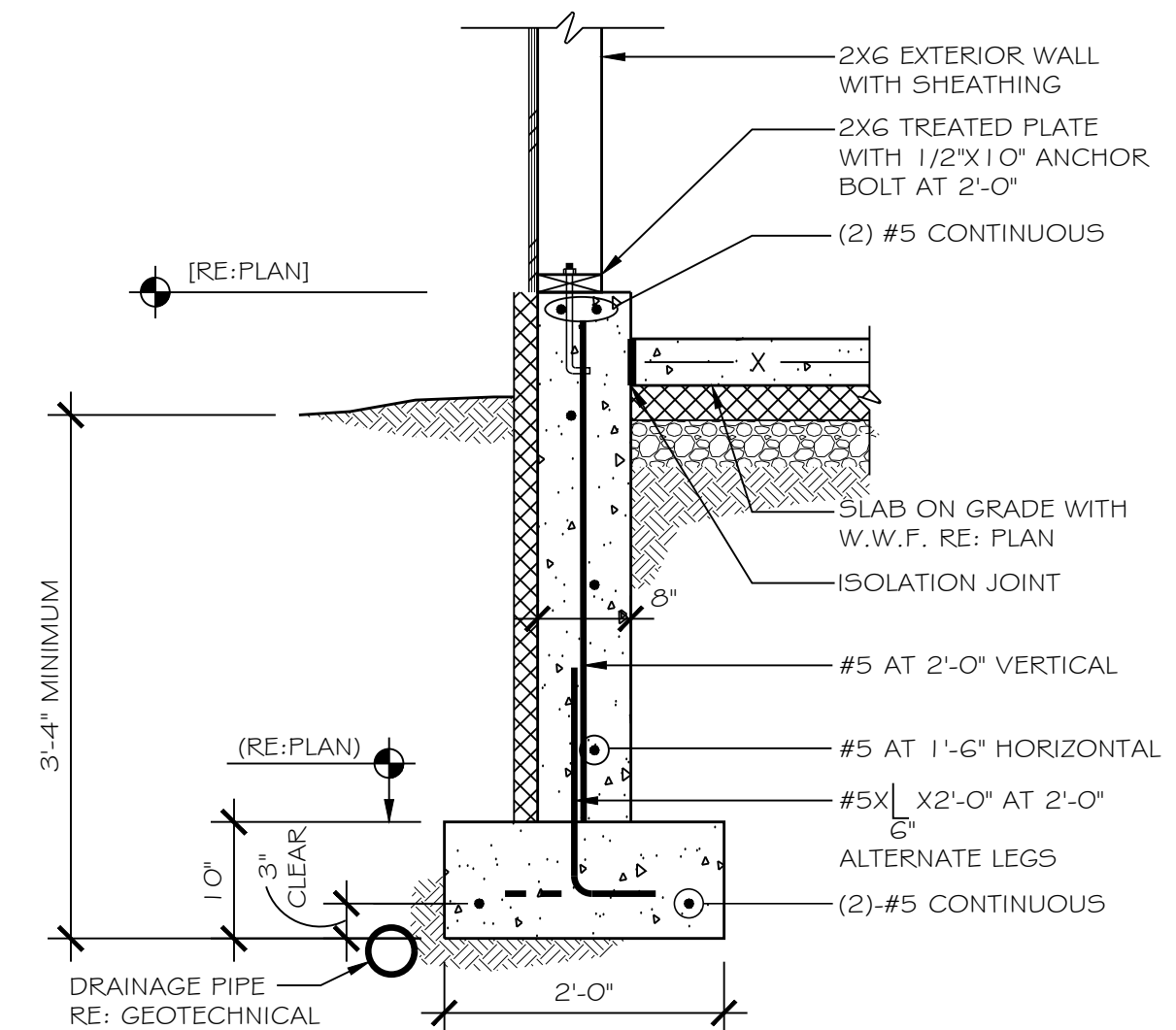
**BEAM POCKET**  
SCALE: 3/4" = 1'-0"



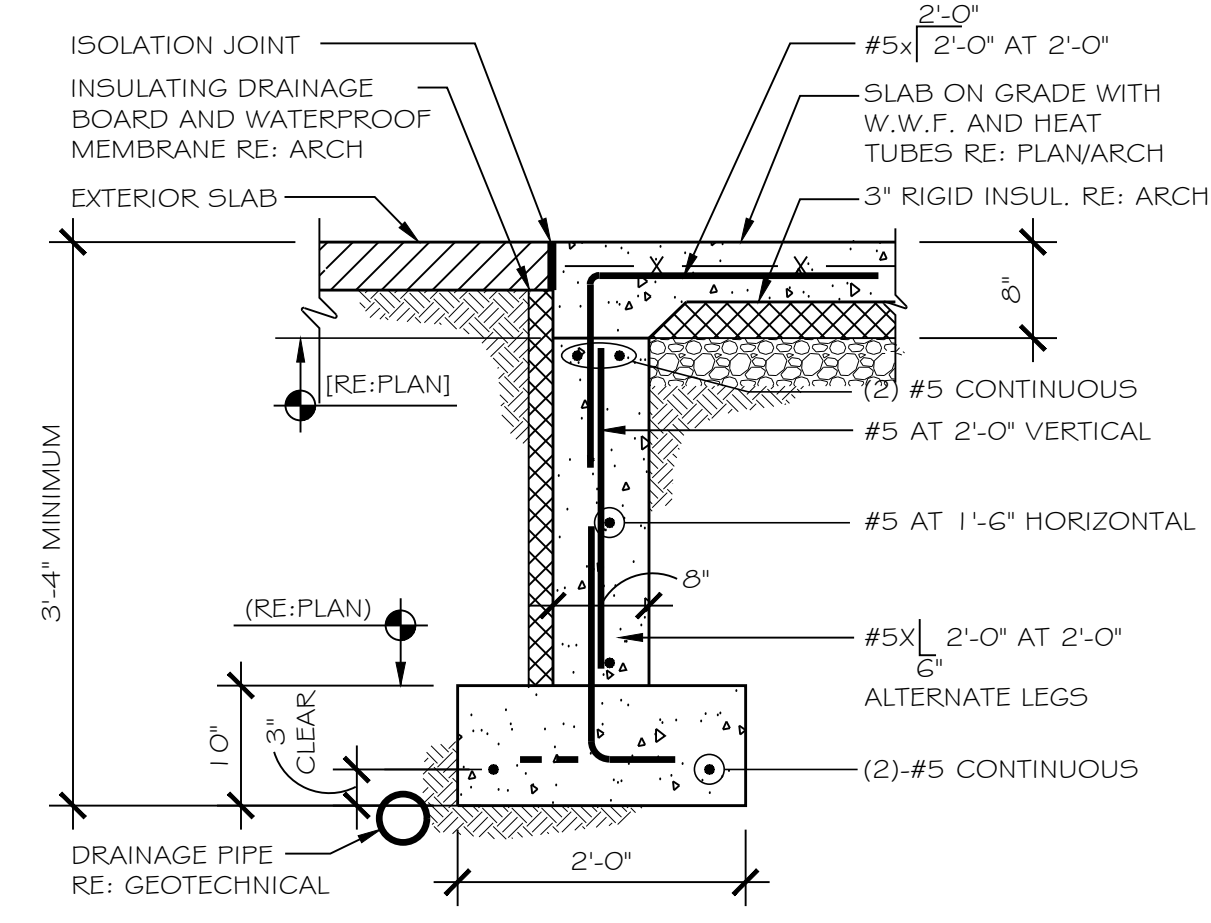
**GARAGE BACK WALL**  
SCALE: 3/4" = 1'-0"



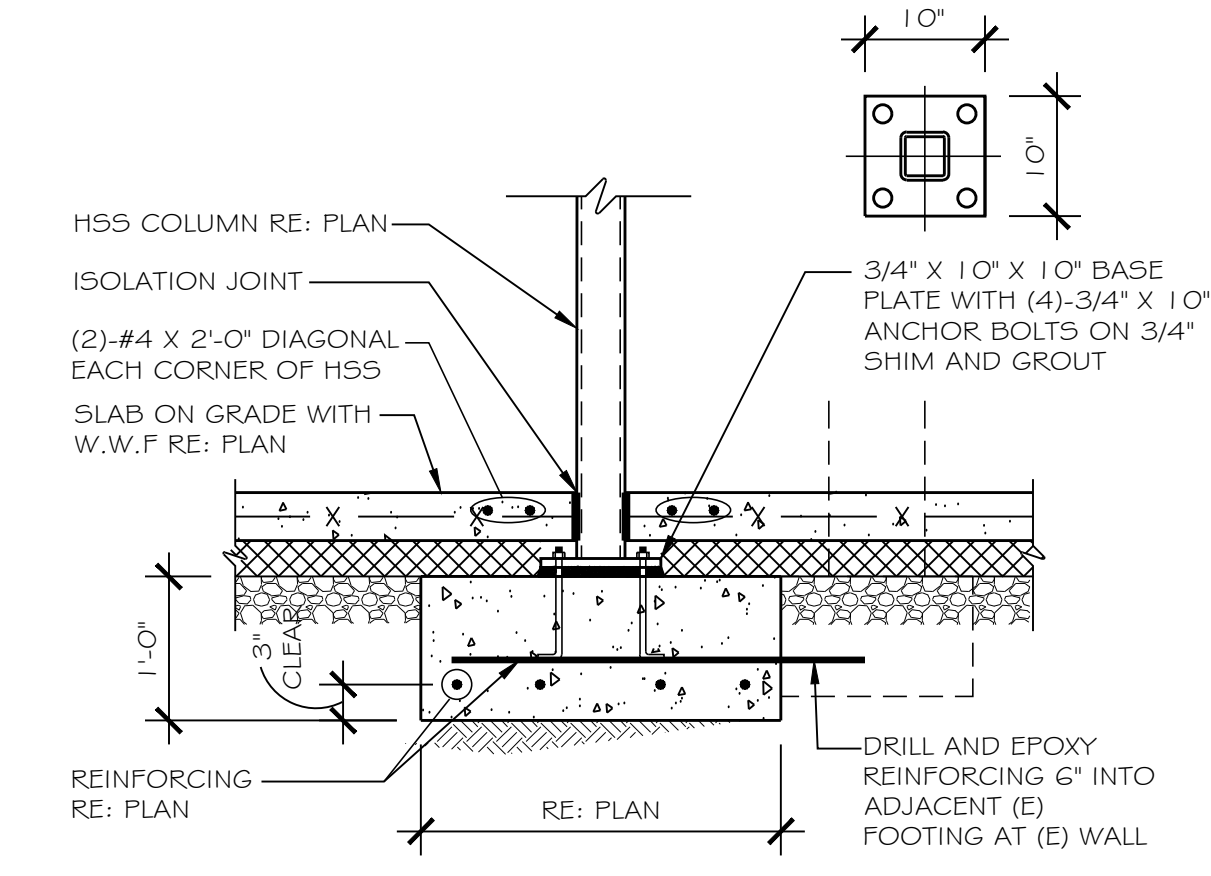
**GARAGE SIDE WALL**  
SCALE: 3/4" = 1'-0"



**LOWER FOUNDATION**  
SCALE: 3/4" = 1'-0"



**FOUNDATION AT DOOR**  
SCALE: 3/4" = 1'-0"



**HSS COLUMN FOOTING**  
SCALE: 3/4" = 1'-0"

**FOX STRUCTURAL ENGINEERING, LLC**  
216 SNOWBERRY WAY  
DILLON, COLORADO 80435  
(970) 376-2005

**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

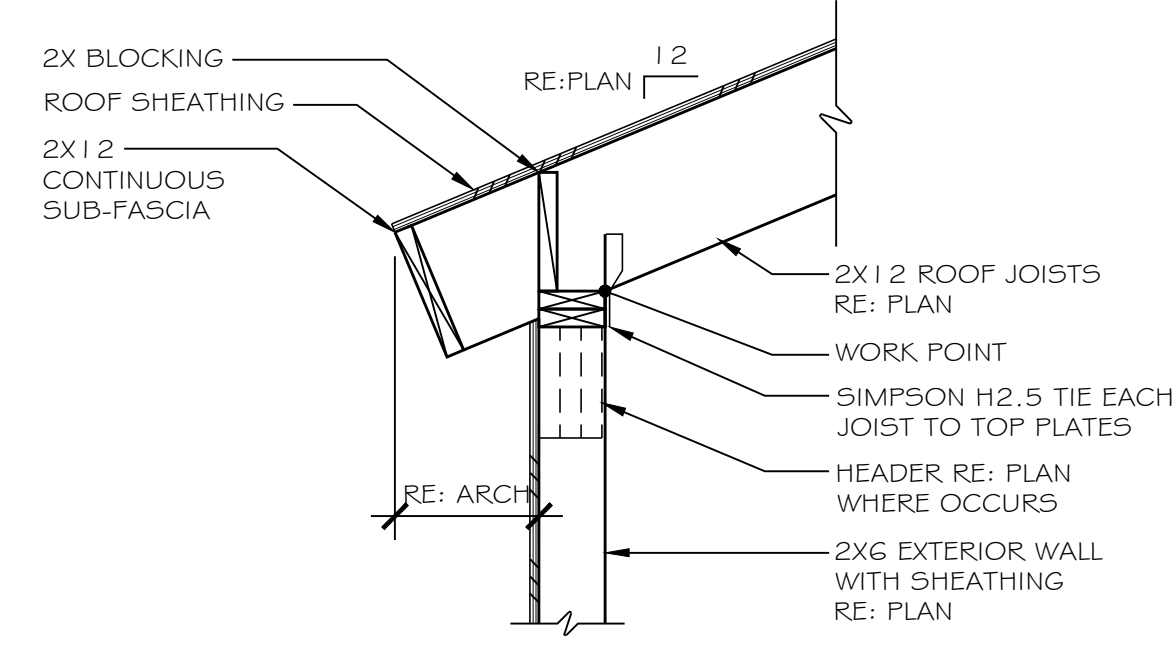
PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

**S2.1**  
NOTES & DETAILS

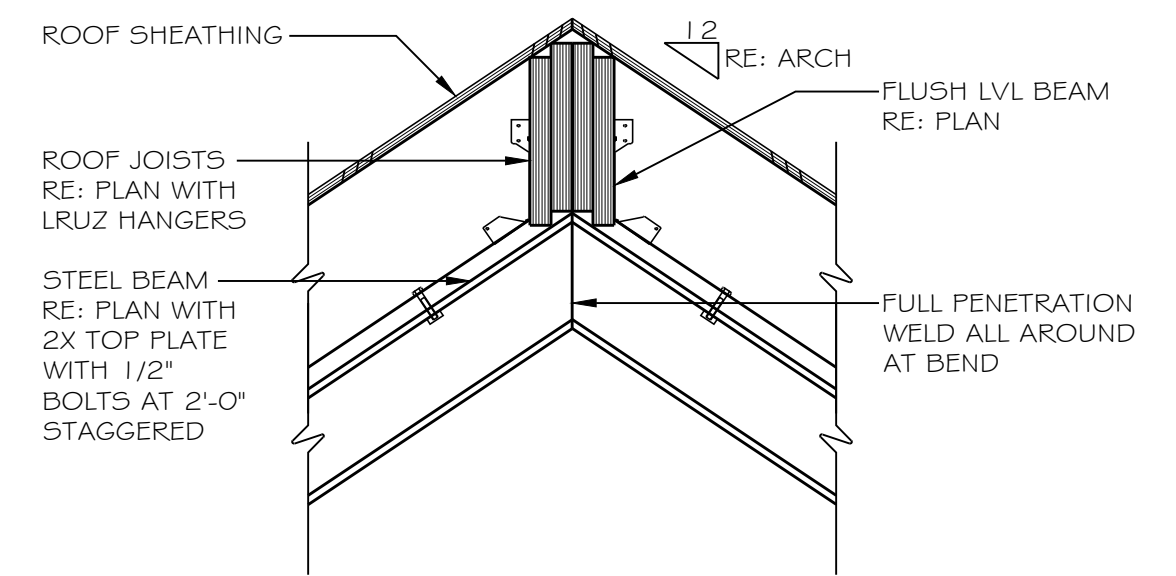
**FITZGERALD ADDITION**  
34 RUSTIC TERRACE  
BLUE RIVER, COLORADO

PROJECT #2337  
DRAWN: CM/KF  
DATE: 04/23/2024  
FOR PERMIT

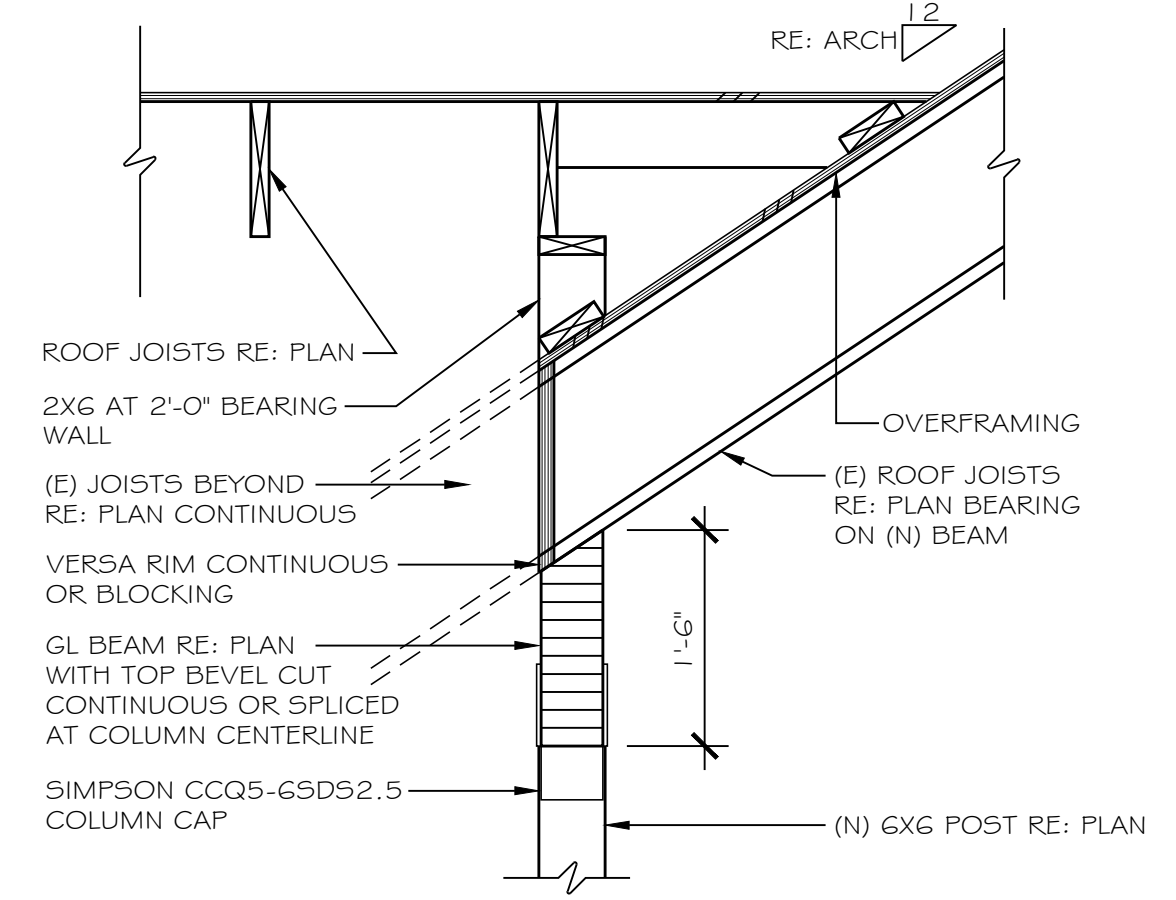
**S2.2**  
FRAMING DETAILS



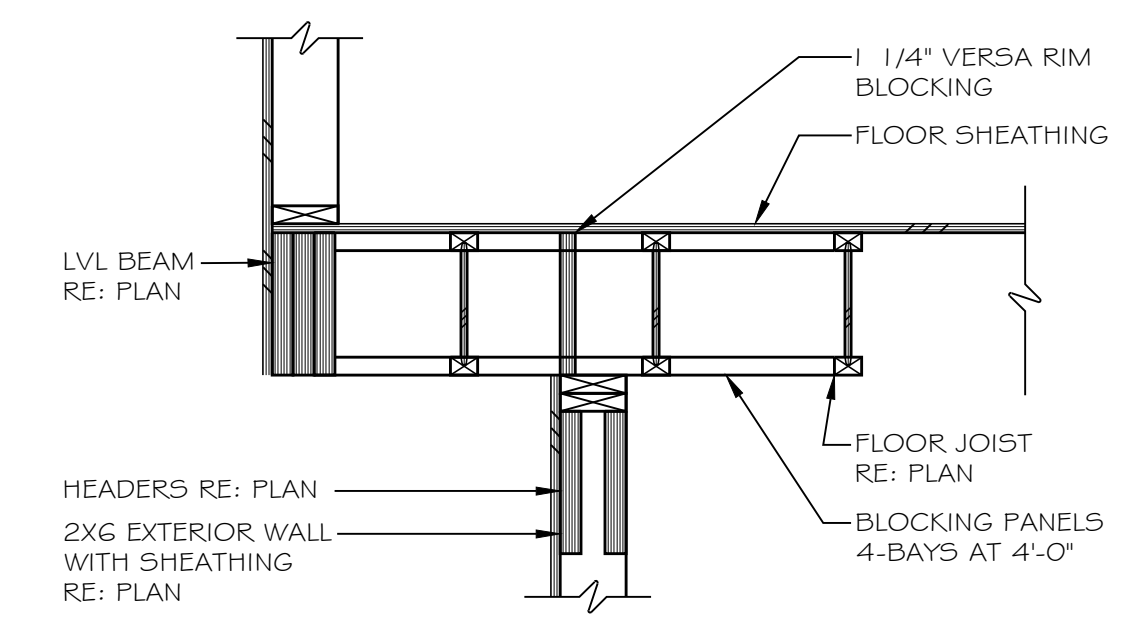
**11 EAVE SECTION**  
SCALE: 3/4" = 1'-0"



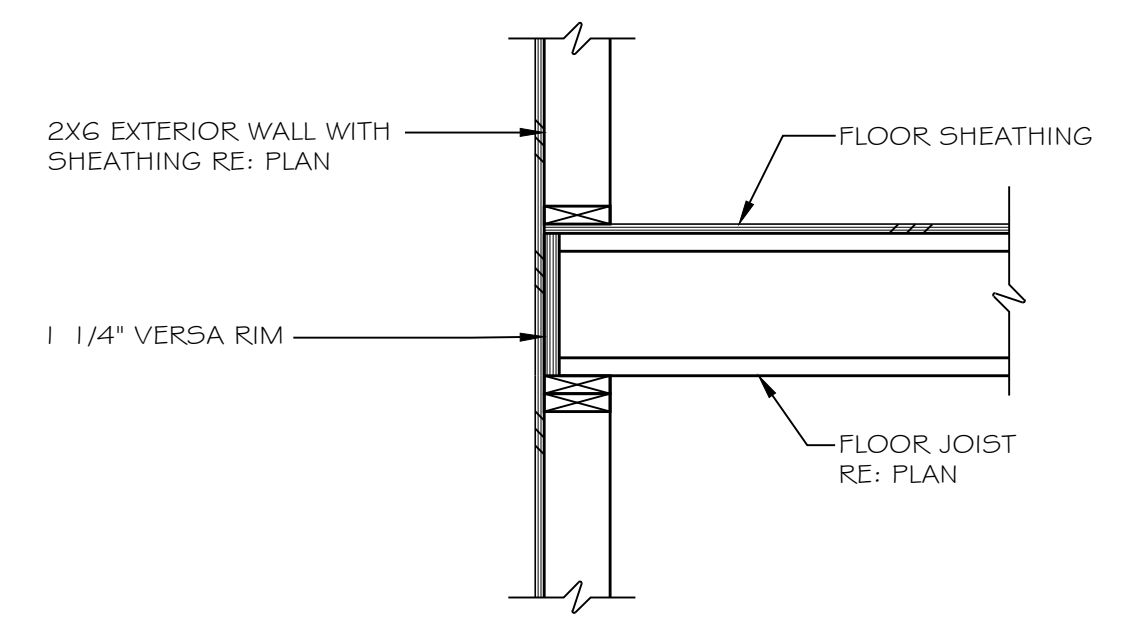
**12 FLUSH LVL RIDGE**  
SCALE: 3/4" = 1'-0"



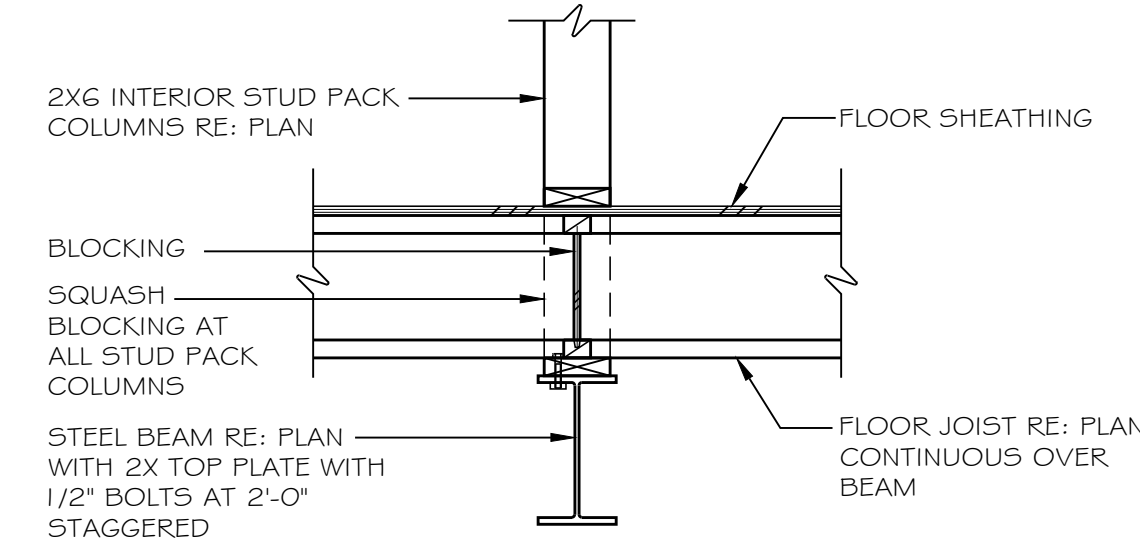
**13 (N) ROOF BEAM AT (E)**  
SCALE: 3/4" = 1'-0"



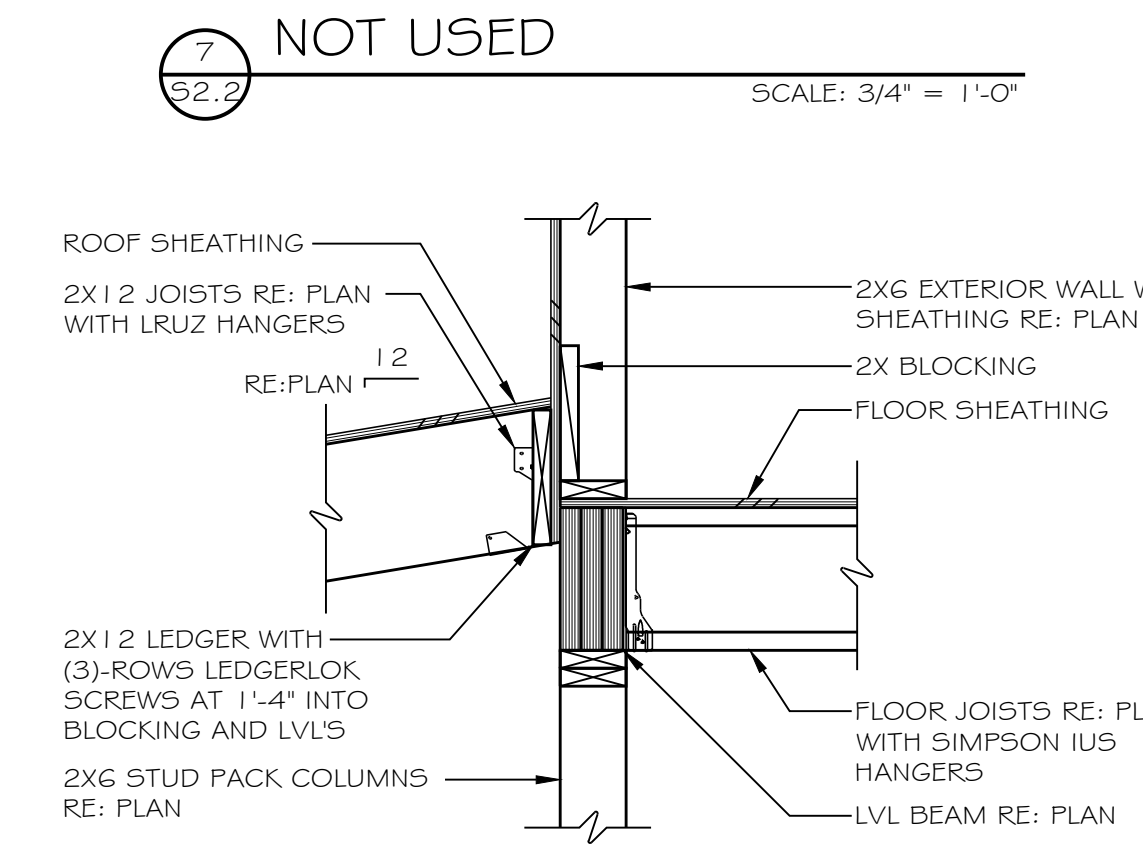
**6 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



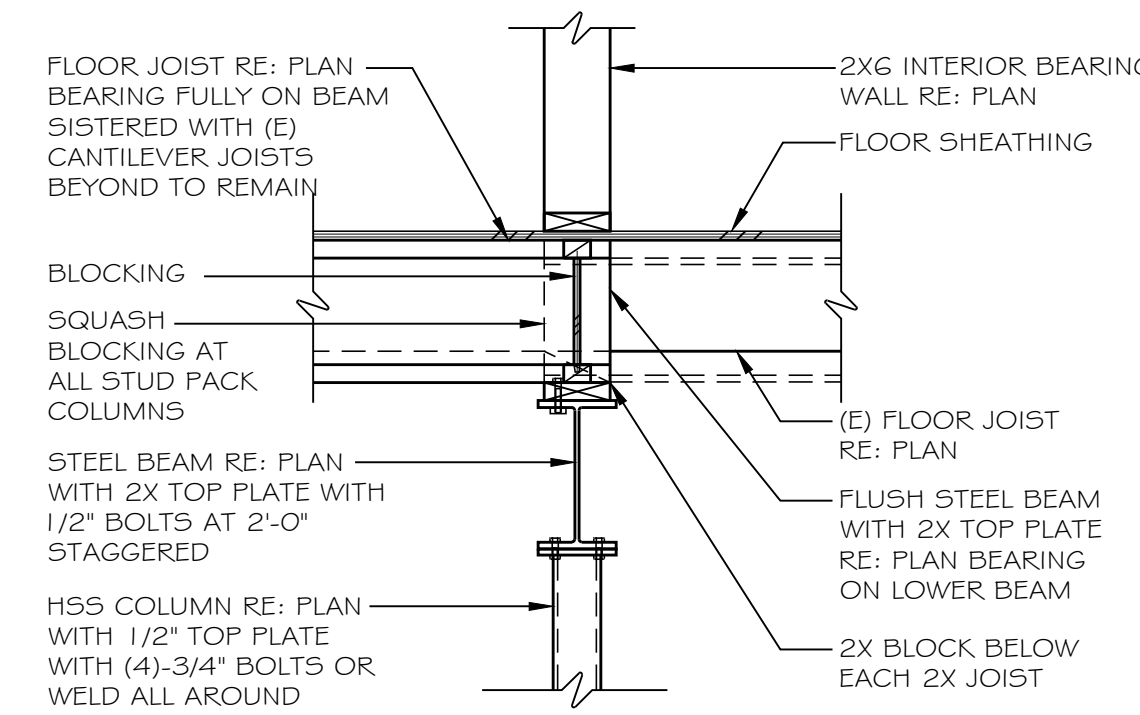
**1 FLOOR SECTION**  
SCALE: 3/4" = 1'-0"



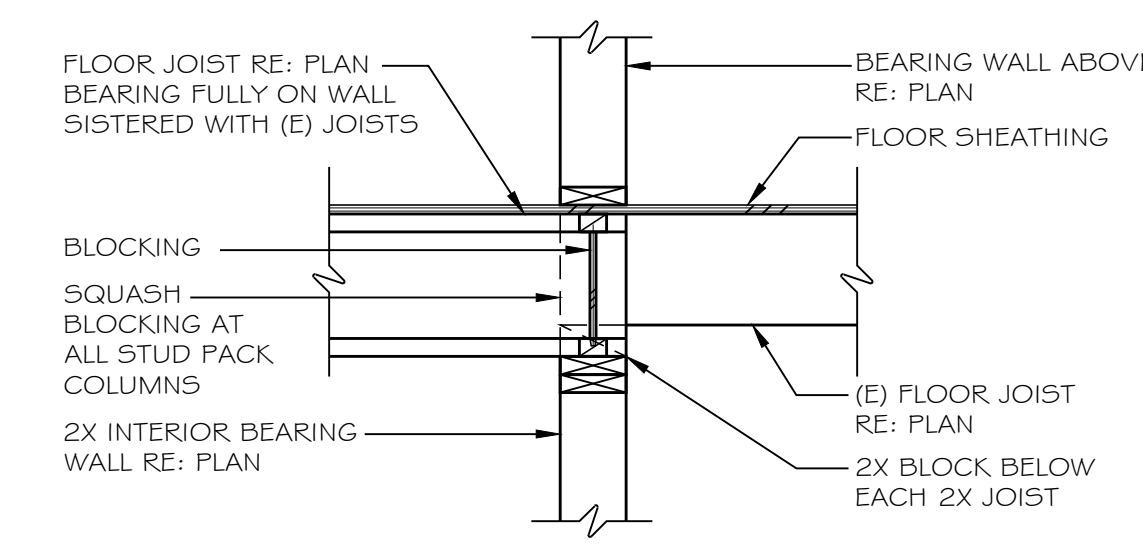
**2 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"



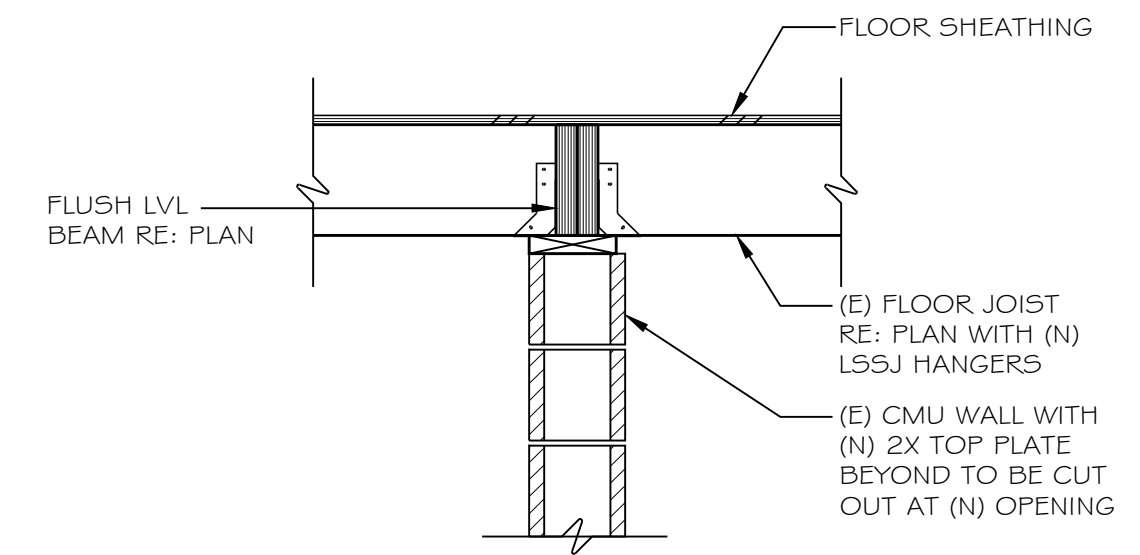
**8 FLUSH LVL BEAM / LOW ROOF**  
SCALE: 3/4" = 1'-0"



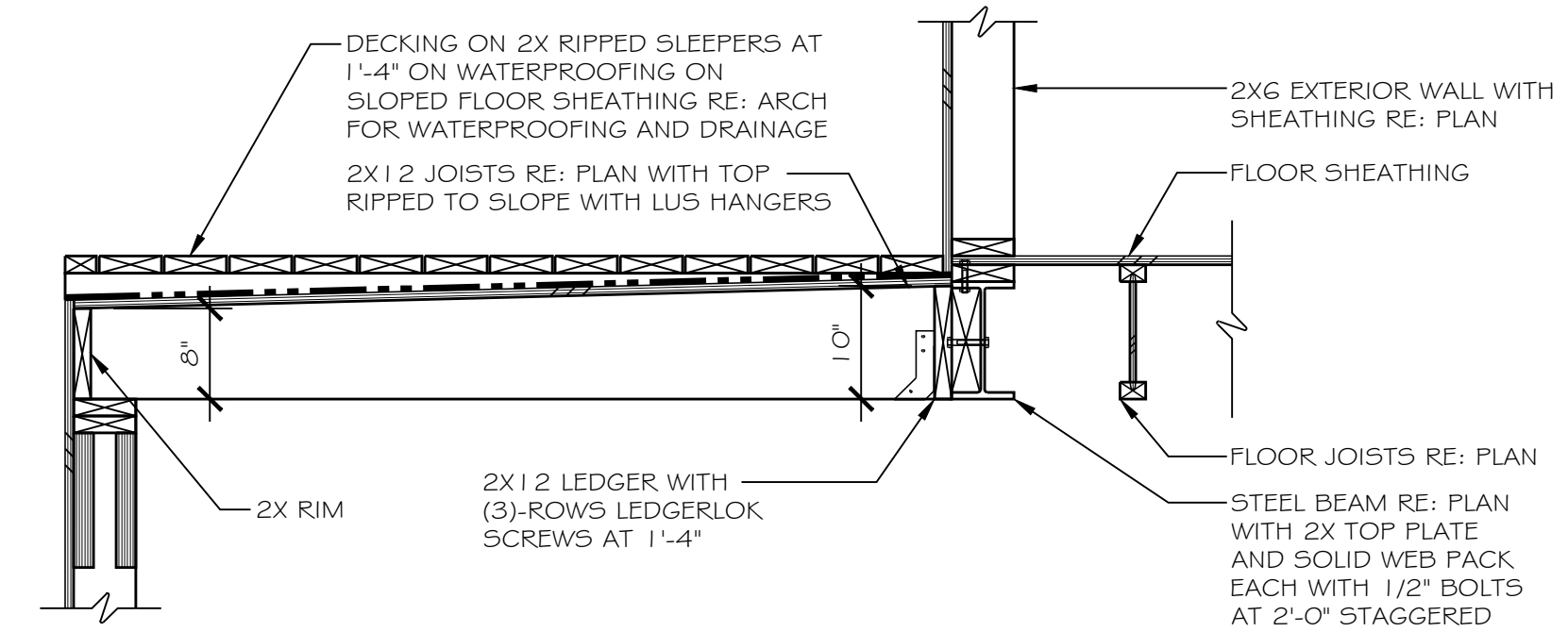
**3 DROPPED STEEL BEAM**  
SCALE: 3/4" = 1'-0"



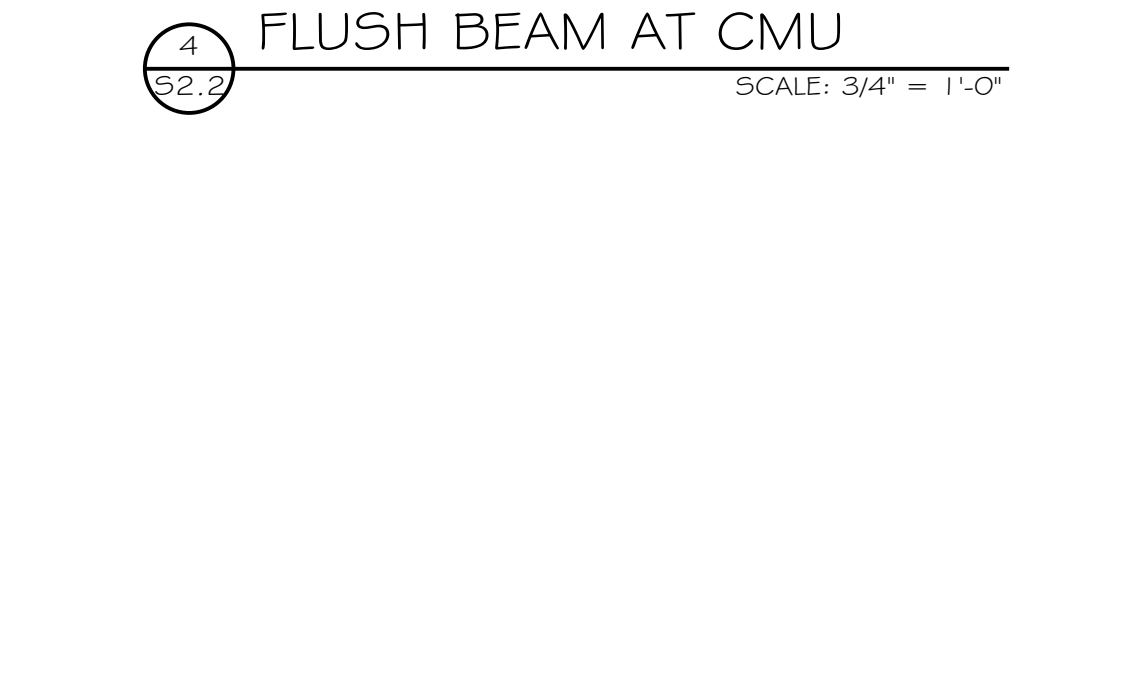
**9 BEARING WALL SECTION**  
SCALE: 3/4" = 1'-0"



**4 FLUSH BEAM AT CMU**  
SCALE: 3/4" = 1'-0"



**10 UPPER LEVEL DECK**  
SCALE: 3/4" = 1'-0"



**5 NOT USED**  
SCALE: 3/4" = 1'-0"

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
FROM: Kyle Parag, Plan Reviewer - CAA  
DATE: September 27<sup>th</sup>, 2023  
RE: Planning/Zoning/Architectural Guidelines review – 0034 Rustic Terrace addition

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

**Zoning Regulation analysis –**

Proposal: An existing 1 bedroom single family 2,107 Sqft home is proposed to have a 777 Sqft addition to increase the total Sqft to 4,085. The drawings have limited elevation information.

Zoning district: R

Lot Size: ~ Unkown  
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 107’  
100 ft. Required - Complies

Setbacks: Existing home and proposed addition do not comply with front setbacks. See Variance approval.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 31’ 10”

Garage Stds: The proposed garage is ~774 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
PC	Subject to Planning Commission Specific approval
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
Article 3: Easements	Road access easement is indicated, no other easements are indicated	Y
Article 4: Buildable Area/setbacks	Property ha received a Variance for the front setback encroachment	Y
<b>Article 5 Building Design Standards</b>		
Article 5-20 Building Height	Height is measured at 33' 10" and shows general compliance	Y
Article 5-60 Foundation	Exposed Foundation is unclear, and appears to be exposed concrete which is prohibited Materials sheet not provided.	PC
Article 5-70 Roofs	Roof shows general conformance	Y
Article 5-80 Garages	Garage is scaled to 1120 sqft, which shows general conformance with requirements for homes under 5000 sqft and under. 1200 sqft is permitted for this home of a habitable size of 2,884	Y
Article 5-90 Easements and	Indicated easements and utilities show general conformance	Y

Utilities		
Article 5-100 Balconies and railings	Railing is indicated on the upper level, steel horizontal railing is indicated, but unable to be confirmed due to lack of materials sheet.	PC
Article 5-110 Chimney and Roof Penetrations	None indicated	Y
<b>Article 6 Building Materials and Colors</b>		
Article 6-20 Materials	Materials sheets location is indicated as <b>TBD</b> , but elevations show consistency with existing structure.	PC
Article 6-30 Colors	Materials sheets is indicated as TBD, but elevations show consistency with existing structure. <b>Colors are not indicated</b>	N
<b>Article 7 Accessory Improvements</b>		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated	Y
Article 7-50 Driveways	Driveway is indicated at 42' wide, which does not comply with the maximum allowed of 12'. Unique conditions exist.	PC
Article 7-60 Parking Areas	Parking is provided with attached garage	Y
Article 7-100 Decks	Shows general conformance	Y
Article 7-120 Hot Tubs	None indicated	Y
Article 7-140 Fences	None indicated	Y
Article 7-150 Retaining walls	None indicated	Y

<b>Article 8 Signs</b>		
Article 8 Signs	None indicated	Y
<b>Article 9 Lighting</b>		
Article 9 Lighting	Drawings indicate compliance	Y
<b>Article 13 Environmental Regulations</b>		
Article 13-20 Wetlands	Study provided, project does not encroach on designated areas.	Y

## TOWN OF BLUE RIVER, COLORADO MEMORANDUM

**NOT CONFIDENTIAL - AVAILABLE FOR PUBLIC DISTRIBUTION ON REQUEST**

TO: Michelle Eddy  
 THROUGH: Bob Widner, Town Attorney  
 FROM: Keith Martin, Deputy Town Attorney  
 DATE: May 1, 2024  
 SUBJECT: Zoning Methods to Control Housing Size and Bulk

This memorandum provides a brief overview of some of the various land-use controls commonly employed to limit the size and bulk of residential homes. Size and bulk controls are often used to limit the new development and redevelopment of lots and prevent what has been colloquially referred to as “McMansions” or larger homes which can be inconsistent with the character of the existing developed neighborhood.

### Authority

Colorado’s Zoning Enabling Act provides that a community may enact “bulk” regulations for buildings.<sup>1</sup> “Bulk” regulations are a combination of controls (lot size, floor area ratio, lot coverage, open space, yards, height, and setback) that determine the maximum size and placement of a building on a zoning lot.

### Types of Bulk Controls

#### *Minimum Lot Size*

Nearly all land use and zoning codes include minimum lot size requirements for zone districts. For example, the Town of Blue River’s Land Use Code (LUC) sets a minimum lot size of 80,000 square feet in the R-1 Zone District. This standard prevents lots larger than 80,000 square feet from being subdivided into smaller lots and prevents existing lots that are smaller than 80,000 square feet from being further subdivided into smaller lots.

<sup>1</sup> “. . . [F]or the purpose of promoting health, safety, morals, or the general welfare of the community, including energy conservation and the promotion of solar energy utilization, the governing body of each municipality is empowered to regulate and restrict the height, number of stories, and size of buildings and other structures, the percentage of lot that may be occupied, the size of yards, courts, and other open spaces, the density of population, the height and location of trees and other vegetation, and the location and use of buildings, structures, and land for trade, industry, residence, or other purposes.” C.R.S. § 31-23-301.



Minimum lot size requirements help control the density of housing in a neighborhood and preserve view and open space. Reasonable minimum lot size requirements are valid.<sup>2</sup>

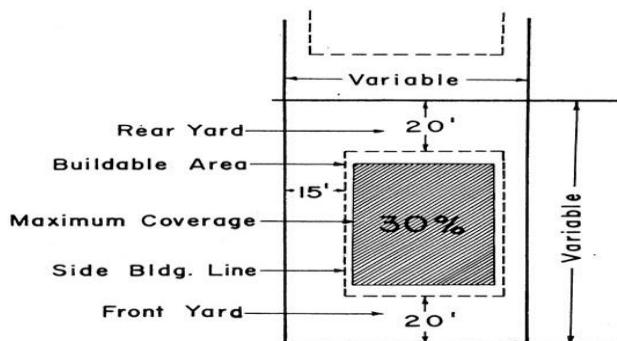
### Setbacks

An ordinance may mandate building location by requiring minimum front, side and rear yards in residential districts.<sup>3</sup> Setbacks are universally common in land use codes in order to prevent certain areas of a lot from development and, in turn, limiting the area of a lot that can be developed.

**IMPORTANT NOTE:** Blue River’s LUC uses both *minimum lot size* and *setbacks* to define the “Buildable Area” of a lot. However, where a lot is larger in size and the setbacks are relatively short, the Buildable Area can potentially accommodate a significantly large residential structure. For example, a 40,000 square foot lot that is accompanied by front and rear yard setbacks of 25 feet and side yard setbacks of 15 feet, creates a potential Buildable Area as great as **25,500** square feet (assuming the lot is relatively flat and not encumbered by undevelopable slopes or easements). Even where the owner limits the footprint of the structure to 10,000 square feet, a one-, two-, or three-story residence will dwarf most homes in the neighborhood. Granted, not all owners will construct a residence of such size, but the potential will remain.

### Maximum Lot Coverage

A zoning ordinance can specify a percent of lot coverage in a residential zone to prevent building to the maximum bulk permitted by lot area, setback and height dimensions alone. For example:



<sup>2</sup> *Di Salle v Giggall*, 128 Colo 208, 261 P2d 499 (1953)

<sup>3</sup> In *Gorieb v. Fox*, 274 U.S. 603, 47 S. Ct. 675, 71 L. Ed. 1228, 53 A.L.R. 1210 (1927), the United States Supreme Court upheld the general validity of setbacks to further the general goals of open space, light and air, and safety from fire; see also *Flinn v Treadwell*, 120 Colo 117, 207 P2d 967 (1949).

### *Maximum Building Size*

The Town could set minimum and maximum size for residential buildings, generally based on aesthetic and community character concerns. Limits on the size of residential structures have been upheld by many courts. As an example, the Town can limit all homes in the R-1 Zone District to a maximum of 4,500 square feet (regardless of the size of the lot).

### *Maximum Building Footprint (First Story)*

The Town could set a maximum building footprint (or the maximum size of the first story of the residential structure on a lot). Such a limitation, together with the zone district's maximum building *height*, will effectively limit the total size or bulk of the lot's residential structure. For example, a maximum first story building footprint of 2,000 square feet (regardless of the size of the lot) will limit the lot to a one-story residential home to 2,000 square feet and, depending on the maximum building height allowed, a two-story home of 4,000 square feet or three-story home of 6,000 square feet could theoretically be constructed (assuming no overhang of higher floors).

### *Floor Area Ratio (FAR)*

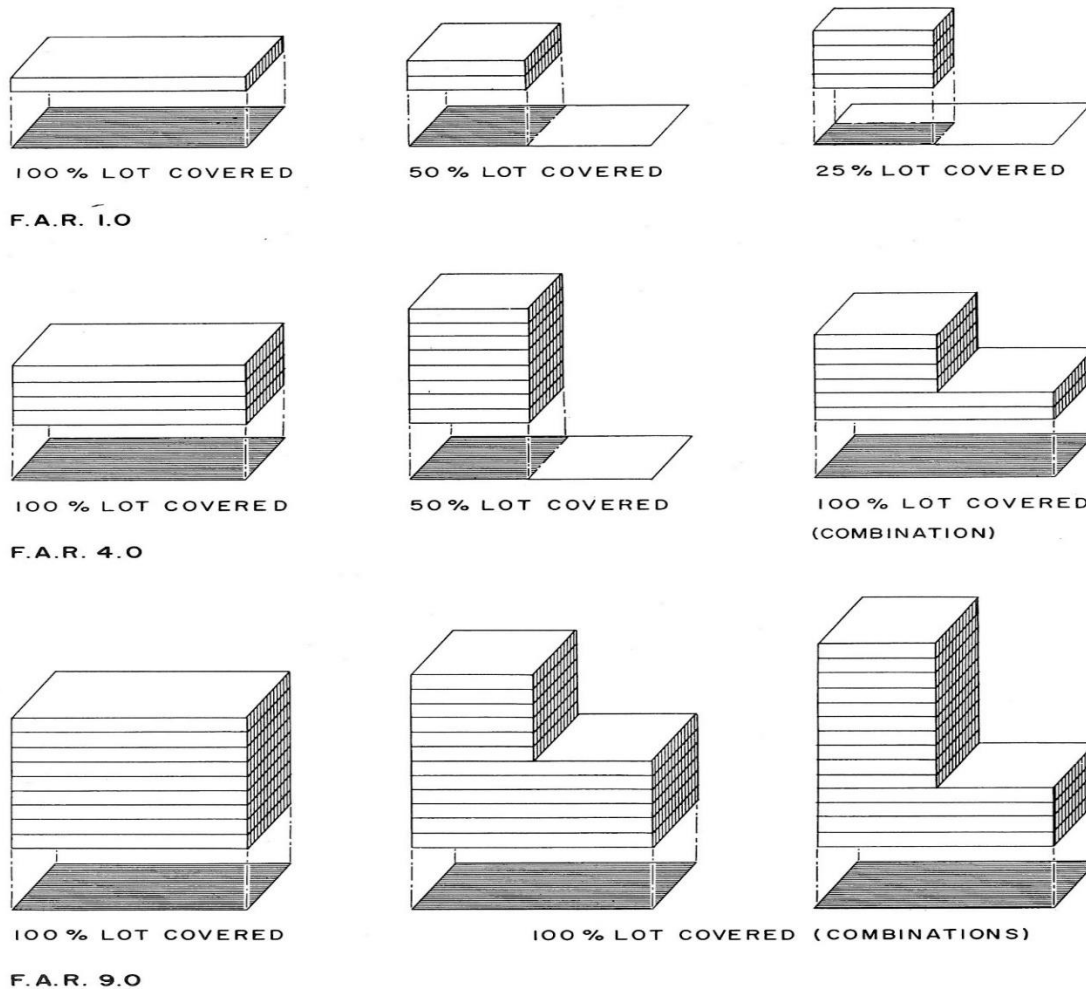
Floor area ratio or "FAR" is a metric used to measure how large a building on a lot is relative to the lot's size and is another device that permits variable dimensions within an over-all volume limit. Most of the ordinances that employ it also retain some if not all of the ordinary size limiting controls (e.g., minimum lot size, setbacks, and height). However, it does not in any way control the placement of that volume on the land. Therefore, if placement is a factor to be regulated, other bulk controls are required.

In nearly every ordinance in which it is used, a floor area ratio is obtained by the following simple formula:

$$\text{FAR} = \text{floor area} / \text{lot area}$$

In practice, this ratio is constant for a zone. For example, on a 10,000 square foot lot, a FAR of 0.5, allows a maximum 5,000 square foot building. A floor area ratio of 1.0 means that floor area may equal the lot area (10,000 square feet).

Although setting a floor area ratio affects volume, shape, and spacing of buildings on the lot, it does not determine a particular shape or spacing. Rather, it permits a choice. The following diagram (Figure 1) shows three of many possibilities under FAR 1.0, 4.0, and 9.0 and demonstrates that shape, height, and arrangement on a lot may vary widely.



Illustrations of Floor Area Ratios. Source: *A New Zoning Plan for the District of Columbia*. Harold M. Lewis, 1956.

### ***Bulk Plane Requirements***

Bulk plane standards lower the permitted height of development near front, side and/or rear property lines by establishing an inclined plane over which buildings may not protrude. By pushing taller building elements towards the center of a lot, a bulk plane may be used to reduce looming impacts on neighboring properties and promote access to light and air.

Bulk plane standards are best suited to larger municipalities with planning staff due to the complexity of the tool and its application. If more information is desired about this method of controlling building size, bulk, and mass, please contact me.

As always, please let us know of any questions or concerns.

**TOWN OF BLUE RIVER, COLORADO**

**ORDINANCE NO. 2024-01**

**AN ORDINANCE OF THE BOARD OF TRUSTEES OF THE TOWN OF BLUE RIVER, COLORADO, AMENDING SECTION 2-2-90 OF THE BLUE RIVER MUNICIPAL CODE PERTAINING TO REGULAR MEETINGS OF THE BOARD OF TRUSTEES**

**WHEREAS**, the Town of Blue River, Colorado (“Town”) is a statutory municipality incorporated and organized pursuant to the provisions of Section 31-2-101, et seq., C.R.S.; and

**WHEREAS**, the Board of Trustees for the Town of Blue River desires to set an understanding of when regular meetings of the Board may be held.

**BE IT ORDAINED** by the Board of Trustees of the Town of Blue River, Colorado, as follows:

**Section 1. Amendment of Section 2-2-90.** Section 2-2-90 of the Municipal Code of the Town of Blue River titled *Regular Meetings* is hereby amended to read in full as follows:

**Sec. 2-2-90. Regular Meetings.**

A regular meeting of the Board of Trustees shall be customarily held on the third Tuesday of each month at the Town Hall commencing at 6:00 p.m., except on legally recognized holidays, as needed and as a quorum may exist. However, in the event the Board of Trustees determines it is necessary to schedule a regular meeting at a different time or place, the Board shall provide notice to the public within twenty-four (24) hours of any proposed regular meeting, consistent with the Colorado Open Meetings Law, C.R.S. § 24-6-402 et seq. and consistent with Section 2-2-110 of this Chapter.

**Section 2. Severability.** Should any one or more sections or provisions of this Ordinance or of the Code provisions enacted hereby be judicially determined invalid or unenforceable, such judgment shall not affect, impair, or invalidate the remaining provisions of this Ordinance or of such Code provision, the intention being that the various sections and provisions are severable.

**Section 3. Repeal.** Any and all Ordinances or Codes or parts thereof in conflict or inconsistent herewith are, to the extent of such conflict or inconsistency, hereby repealed; provided, however, that the repeal of any such Ordinance or Code or part thereof shall not revive any other section or part of any Ordinance or Code provision heretofore repealed or superseded.

**Section 4. Minor Revision or Correction Authorized.** The Town Manager, in consultation with the Town Attorney, is authorized to make minor revisions or corrections to the

codified version of the provisions of this Ordinance provided that such revisions or corrections are grammatical, typographical, or non-substantive and do not alter or change the meaning and intent of this Ordinance.

**Section 5. Effective Date.** The provisions of this Ordinance shall become effective thirty (30) days after publication following the final passage.

**INTRODUCED, READ, PASSED, ADOPTED, AND ORDERED PUBLISHED** at a regular meeting of the Board of Trustees of the Town of Blue River, Colorado, held on the 13th day of June, 2024.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Town Clerk

Published in the Summit County Journal \_\_\_\_\_, 2024.

AGREEMENT  
FOR WINTER SNOW REMOVAL AND ROAD MAINTENANCE  
ANNUALLY RENEWAL CONTRACT

THIS AGREEMENT (“Agreement”) may be annually renewed by mutual written consent of the parties for any “Snow Year” which shall mean a six (6) consecutive month period commencing a 12:00 a.m. on November 1 of the designated Snow Year and terminating at 11:59 p.m. on April 30 of the following year. For example, the “2023 Snow Year” commences at 12:00 a.m. on November 1, 2023 and terminates at 11:59 p.m. on April 30, 2024.

DESIGNATED SNOW YEAR: 2023-2024

This agreement is and entered into 12<sup>th</sup> day of October 2023, of the Snow Year by and between the **TOWN OF BLUE RIVER**, a Colorado municipal corporation, whose address is P.O. Box 1784, Breckenridge, Colorado 80424 (hereinafter referred to as the “Town”), and Highland Galloway whose address is P.O. Box 1646, Gypsum, Colorado 81637 (hereinafter referred to as the “Contractor”).

**WITNESSETH:**

**WHEREAS**, the Town seeks to retain the services of a Contractor for the purpose of snow removal and sanding of the roads within the Town during the winter months; and

**WHEREAS**, the Contractor submitted to the Town a proposal for performance of winter and spring snow removal within the Town; and

**WHEREAS**, the Town has accepted Contractor’s proposal for winter and spring snow removal; and

**WHEREAS**, the Town and Contractor desire to enter into an agreement setting forth the terms and conditions of their agreement with respect to winter snow removal within the Town;

**NOW, THEREFORE**, for and in consideration of the mutual promises and covenants contained herein, the Town and the Contractor agree as follows:

- A. Term.** The term of this Agreement shall be six (6) months, commencing at 12:00 a.m. on November 1, of the designated Snow Year and terminating at 11:59 p.m. on April 30, of the following year.
- B. Contractor’s Obligations for Winter and Spring Snow Removal.**
  - 1. **General.** The Contractor agrees to remove snow from all roads and streets within the Town, and to apply sand as indicated herein, the boundaries of which are identified on the list attached here to as Exhibit “A”, and incorporated here by reference, during the winter and spring which, for the purposed of this Agreement, commences on November 1, of the Snow Year and concludes on April 30, of the following year. The Contractor should be aware that Exhibit “A” might not accurately identify all roads within the Town. The Contractor shall become familiar with all roads and streets within the Town prior to winter and spring and shall be responsible for maintenance thereof.

For purposes of this Agreement, to “remove snow” or “plow, “plowed,” or “plowing” shall mean that the Contractor uses vehicles and equipment specifically designed for the purpose of snow and ice removal and that the road is made reasonably passable for the common passenger vehicle.

2. **Additional Roads or Abandoned Roads**. In the event roads within the Town are abandoned or new roads are constructed within the Town, the Town shall notify Contractor in writing and any addition or reduction in costs for snowplowing and maintenance will be determined on a linear distance pro rata basis, or as otherwise agreed upon by both parties prior to each deletion and/or addition.
3. **Plowing Scheduling**. Under the terms of this Agreement it is the responsibility of the Contractor to ensure that all identified and known roads are completely plowed to the full extent of the roadways each and every day that plowing is required. During the designated Snow Year, plowing shall be required each and every time snow, or any additional snow, has accumulated to a total depth of four inches (4”) from the previous plowing. It is understood that no more than one (1) plowing per 24-hour day (12:00 a.m.-11:59 p.m.) will be required. That one (1) plowing shall be considered a normal maintenance plowing. Additional plowing requested by the Town Manager, or her designee, shall be considered an extra plowing. Extra plowings will be compensated at the rate stated in the Bid Schedule attached hereto as Exhibit “B” and incorporated herein by reference, and shall be paid to the Contractor in accordance with this Agreement.
4. **Road Blockage**. In the event of a partial or complete blockage of roads within the Town including, but not limited to, by avalanche, snow slide, drifting snow, fallen trees, rocks or other debris, Contractor will clear such blockage upon notification by the Town Manager, or her designee. Additional compensation of for each incident shall be at the rate stated in the Bid Schedule attached hereto as Exhibit “B” and incorporated herein by reference, and shall be paid to the Contractor.
5. **Additional Plowing Schedule**. In addition to the foregoing schedule, the Town Manager, or their designee, may require additional plowing as may be necessary. Such additional plowing shall be considered an extra plow and shall be compensated at the rate stated for extra maintenance, all roads or hourly, whichever is less, in the Bid Schedule attached hereto as Exhibit “B” and incorporated herein by reference, and shall be paid to the Contractor in accordance with the terms of this Agreement.
6. **Plowing**
  - a) Prior to the establishment of a snow pack on the roads and after break up of snowpack and where road gravel is evident in the roadway, the Contractor shall use its best efforts not to remove any of the existing road gravel. However, the Contractor cannot guarantee that some existing road gravel will not be removed during the normal course of plowing.

- b) Need for plowing shall be determined by a four (4") inch accumulation of snow evaluated at Town Hall, which site shall not be sheltered by trees nor particularly susceptible to drifting snow. The Contractor shall, in addition to the measurement at Town Hall be responsible for evaluating different areas of town Contractor shall be responsible for daily measurement of snowfall. However, the Town Manager or, in the Manager's absence, the Manager's designee, shall be the final arbitrator as to the determination of snow depth, and the Manager's determination shall be binding in all respects.
- c) Determine the need for plowing shall be made any time between the hours of 1:00 a.m. and 3:00 p.m. MDT. Removal operations shall begin within 1 hour of determination of need for plowing
- d) Failure to commence plowing within 2 hours of when there is a need for plowing as described above shall be considered Failure to Respond.
- e) The Contractor shall use its best efforts to avoid the pushing and piling of snow into or onto residents' driveways in a manner that will prevent a common passenger vehicle from exiting or entering the driveway without additional efforts to remove the accumulation of snow. The Contractor shall also use its best efforts to keep from damaging trees and other property along the roadways and turnarounds.

**7. Snow Banks.**

- a) The Contractor shall maintain, clear, and push back the snow banks as often and to the extent necessary to keep the roads plowed to the full width of the roadways and turnarounds. Affected driveways shall be cleared at the same time.
- b) Snow banks at road intersections shall be maintained and cleared to enable full visibility for traffic ingress and egress.
- c) Contractor shall take care to ensure that snow storage areas are selected to avoid damage to trees and other property and to minimize the impact upon Town property owners. A map of the Town and designated areas shall be highlighted.



- d) In the event that snow banks exceed ten feet (10') or snow storage areas become full, Contractor will remove excess snow through the use of dump trucks to be deposited at a pre-determined location approved by the Town. Cost for excess removal listed in the bid schedule Exhibit "B".
- e) No additional compensation shall be paid to contractor for pushbacks. A pushback is the action of relocating and stacking snow by the use of a snow plow blade or other equipment blade, scoop, or bucket inserted or pushed into snow and the lifting or stacking of the snow in order to gain height for improved storage capacity.

**8. Snow Pack.**

- a) Any time that the snow pack builds up to more than six (6) inches, the Contractor shall remove the build-up by cutting or scraping. The Town Manager or her designee shall determine the need for such removal. Removal operations will be performed only between the hours of 8:00 a.m. and 4:00 p.m. MDT. Effected driveways shall be cleared at the same time. No additional compensation will be paid to Contractor for the clearing of snow pack. Contractor is responsible for identifying and clearing of snow pack as needed.
- b) If, during spring melt or warm weather, in the reasonable opinion of the Town Manager, or her designee, the accumulation of slush renders any road or any part of a road impassable to normal vehicular traffic, or creates a driving hazard, slush removal operations will be required. Slush removal will be required only during the period that slush removal operations are effective, normally between noon and 4:00 p.m. MDT. No additional compensation will be paid for the clearing of slush.
- c) It shall be mandatory for the snow pack and slush be removed from all Town roads between March 1 and March 15.

**9. Road Sanding.**

- a) Areas to be routinely sanded will be designated by the Town Manager in consultation with the Contractor. For bidding purposes it can be assumed that approximately 1.5 lane miles of road throughout Town will need to be sanded.
- b) The Contractor shall supply sand spreading equipment and necessary sand to routinely sand certain segments of Town roads.
- c) Areas to be routinely sanded shall be addressed daily on an as-needed basis determined by the Town, during the designated Snow Year, except that it is understood that no more than one sanding per road/day will be required. One sanding per day shall be considered a normal maintenance sanding. Additional sanding shall be considered an extra sanding and

will be compensated at the rate stated in the Bid Schedule attached hereto as Exhibit “B” and incorporated herein by reference, and shall be paid to the Contractor in accordance with the terms of this Agreement.

- d) Town Manager or her designee shall determine the need for additional sanding.

10. **Obstruction by Vehicles.** In the event any road is partially or completely obstructed by a parked, stalled or abandoned vehicle, the Contractor shall make every effort to plow around the vehicle without damaging the vehicle. If this effort will create additional hazards, maintenance problems and/or visibility problems, the Contractor shall not be required to plow past the obstruction, provided, however, the Contractor shall notify, first the Town Marshal, and second, if the Town Police Chief cannot be reached, the Town Manager, as soon as possible, but not later than two (2) hours from Contractor’s discovery of the situation so that it can be remedied. If the Town requests that the Contractor return to plow areas where vehicles have been moved, the Contractor shall be compensated at the hourly rate set forth on Exhibit “B”. Notwithstanding any provision to the contrary, the Town shall not indemnify or hold the Contractor harmless for any Contractor caused damage to vehicles during the performance of the services under this Agreement.

**C. Contractor's Responsibilities.**

- 1. Contractor represents that it is fully experienced, properly qualified, licensed, equipped, organized and financed to perform the work under this Agreement.
- 2. Contractor shall furnish all equipment, supplies, labor and material necessary to carry out the work hereunder, which equipment and manpower is shown as Exhibit “C” attached hereto and incorporated herein by reference.
- 3. Contractor shall ensure that its employees and agents are fully trained in the operation of equipment to be utilized and will provide specific orientation/training with regard to the roads within the Town.
- 4. Contractor shall maintain Worker’s Compensation Insurance, as required by law, on each and every employee of Contractor.
- 5. Contractor is responsible for monitoring snow fall and shall commence plowing when snow fall has accumulated to a total depth of four (4”) inches from the previous plowing.

**D. Contract Price.**

- 1. **Winter and Spring Road Maintenance.** The Town hereby agrees to pay the Contractor six (6) fixed monthly payments of **Thirty-six thousand, three hundred-eighty and ten cents \$ 36,840.35** for all performance under this Agreement. These six (6) payments represent the total lump sum price for winter

snow removal for the entire designated Snow Year. Contractor is responsible for submitting monthly invoices on or before the 10<sup>th</sup> of each month beginning November 1<sup>st</sup>. The final lump sum payment shall be promptly made on or within a reasonable time on the last day of the designated Snow Year. Invoices are usually paid on the third Tuesday of each month but are paid in accordance with the Town's monthly invoice processing practices. In addition to the base amount agreed upon, a fuel charge of \$250 per plow will be assessed based on number of plows conducted in a single month.

2. **Disputes In Performance and Payment.** In the event the Town Manager disputes the services provided hereunder and notifies the Town Board prior to the first of the month, payment to the Contractor shall be delayed until such time that the dispute can be resolved. All payments will be paid for work performed; no amounts will be paid in advance. The lump sum price shall be inclusive of all labor, materials and equipment necessary to perform Contractor's obligations hereunder.
- E. Payment.** The Contractor shall invoice monthly for the pro-rata portion of any lump-sum items due as well as all extra work performed during the month. Invoice shall detail all work performed during the month, whether lump sum or extra. Detail shall include specific work performed, location, time started, time completed as well as the date and name of the individual authorizing any extra work on behalf of the Town. Invoices are due by the 10<sup>th</sup> of each month.
- F. Penalty.** If at any time the Contractor fails to perform his obligations within the time or times set forth herein, then the Contractor shall be penalized an amount as indicated in this Agreement, which shall be withheld from payments to the Contractor until such time as the failure has been corrected. The Contractor may appeal the imposition of any penalty to the discretion of the Board of Trustees.
- G. Assignments.** Contractor shall not assign any of this Agreement, or its rights hereunder, without prior written approval from the Town.
- H. Suspension or Termination for Convenience.** The Town reserves the right to suspend or terminate this Agreement. Notification of such suspension or termination will be made by the Town to the Contractor in writing and may include the whole or any specified part of the Agreement. If this Agreement, or a specified part hereof, is suspended or terminated by the Town, the Contractor will be paid a pro rata portion of the Contract Price, as determined by the Town based upon the part of the Agreement terminated and the percent of the work completed.
- I. Damage to Public or Private Property.**
1. If the Contractor damages public or private property, the Contractor will be responsible for its repair and or replacement within 30 days or within a reasonable time depending upon seasonal conditions.
  2. If the Contractor damages traffic control devices such that they no longer perform their intended function, the Contractor shall immediately notice the Town Manager and Town Police Chief and shall be responsible for all costs of repair. Where repairs involve actions capable of correction within 24 hours, the Contractor shall perform



and reasonable attorneys' fees and costs.

- P. Construction of Language.** The language used in this Agreement, and all parts thereof, shall be construed as a whole according to its plain meaning, and not strictly for or against any party. All parties have equally participated in the preparation of this Agreement.
- Q. Section Headings.** The section or paragraph headings contained within this Agreement are inserted for convenience only and shall not be construed to vary or add to the meaning of the Agreement.
- R. Severability.** If any covenant, term, condition, or provision contained in this Agreement is held by a court of competent jurisdiction to be invalid, illegal, or unenforceable in any respect, such covenant, term, condition, or provision shall be severed or modified to the extent necessary to make it enforceable, and the resulting Agreement shall remain in full force and effect.
- S. Complete Agreement.** This Agreement embodies the entire agreement between Town and Contractor. Contractor represents that, in entering into this Agreement, it does not rely on any previous oral, written, or implied representation, inducement of understanding of any kind or nature.
- T. Subject to Annual Appropriation.** Consistent with Article X, Sec 20 of the Colorado Constitution, any financial obligation of the Town not performed during the fiscal year is subject to annual appropriation, shall extend only to monies currently appropriated and shall not constitute a mandatory charge, requirement, debt or liability beyond the current fiscal year.

IN WITNESS WHEREOF, the parties execute this Contract Agreement on the day and year set forth above.

**TOWN OF BLUE RIVER, COLORADO**

By: *Toby Babich*  
Toby Babich (Oct 13, 2023 10:33 MDT)  
**Toby Babich, Mayor**

ATTEST:

*Michelle Eddy*

\Town Clerk

**CONTRACTOR:**

*Michelle*  
Michelle (Oct 17, 2023 12:18 MDT)

By: \_\_\_\_\_

Road Name	Other Comments	Length	Road Name	Other Comments	Length
Starlit Lane		0.225	Blue Rock Drive		0.190
97 Circle		0.653	Rock Springs Road		0.143
Aspen Meadows		0.159	Snowy Court	Dirt only	0.045
Kerrigan Court	No Summer Maintenance	0.060	Lakeshore Loop		0.419
Timber Court	No Summer Maintenance	0.050	Burntwood Lane		0.100
Cooney Court	No Summer Maintenance	0.040	Lakecrest Drive		0.100
Whispering Pines Circle	No Summer Maintenance	1.013	Twilight Trail		0.130
Fire Station	No Summer Maintenance	0.010	Tarn Trail		0.061
Town Hall	No Summer Maintenance	0.020	Trapper Place		0.090
Silverheels Road		0.140	Rivershore Drive	No Maintenance	0.185
Davis Court	No Summer Maintenance	0.359	Wagon Road		0.160
Fredonia Gulch Road	No Maintenance	0.120	Indiana Creek Road	No Summer Maintenance	1.397
Calle De Plata		0.165	Spruce Valley Drive	No Summer Maintenance	1.054
New Eldorado Lane	No Maintenance	0.057	Tarnwood Drive	No Summer Maintenance	0.294
Red Mountain Trail		0.120	Tarnwood Court	No Summer Maintenance	0.031
Sherwood Lane		0.266	Mt. Argentine Road	No Summer Maintenance	0.689
Blue Grouse Trail	Dirt only	0.220	Alpenview Road		0.220
Mountain View Trail		0.531	Crown Drive		0.560
Wilderness Drive		0.540	Gold Nugget Drive		0.380
Backland Court	Dirt only	0.070	Nugget Lane		0.060
Hinterland Trail	Dirt only	0.201	Spruce Creek Drive (CR800)		0.580
Grey Squirrel Lane		0.159	Golden Crown Lane		0.218
Creekside Drive		0.225	Lodestone Trail		0.050
Placer Trail	Dirt only	0.110	County 801	No Maintenance	
Royal Drive		0.230	Bryce Estates Road	Dirt only	0.165
Regal Circle		0.340	Tesemini Lane		0.143
Coronet Drive		0.680	Louise Placer Road		0.108
Bonanza Trail	Dirt only	0.130	Miners Court	Dirt only	0.037
Holly Lane	Dirt only	0.250	Conifer Drive	No Maintenance	0.066
Pennsylvania Creek Trail	Dirt only	0.150	Leap Year Trail		0.130
Blue River Road		0.890	Rio Azul	To Lot 1 Only	0.090
No-name Circle	Dirt only	0.020	Blue River Road Cistem	Clear to allow maintenance And Emergency Use	0.010
Mariposa Place		0.053			
Rustic Terrace #1		0.060			
Rustic Terrace #2		0.020			
				Total Mileage:	16.241

**EXHIBIT "B"**

BID SCHEDULE

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QTY.</u>	<u>UNIT</u>	<u>UNIT PRICE</u>
1)	Winter Maintenance (All Roads)	Yr.	Lump-sum	_____
2)	Extra Maintenance Plowing (All Roads)	Ea.	Lump-sum	_____
3)	Extra Maintenance (Hourly)	Ea.	Hour	_____
4)	Sanding (Call-out)	Ea.	Occurrence	_____
5)	Road Blockage (Call-out)	Ea.	Occurrence	_____

EQUIPMENT RATES - CHANGED OR EXTRA WORK

<u>EQUIPMENT DESCRIPTION</u>	<u>HOURLY RATE</u>	<u>DAILY RATE</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

HOURLY LABOR RATES - CHANGED OR EXTRA WORK

<u>CLASSIFICATION</u>	<u>STRAIGHT TIME</u>	<u>OVERTIME</u>
_____	_____	_____
_____	_____	_____

EQUIPMENT LIST AND MANPOWER FOR USE UNDER CONTRACT (Attach additional pages as necessary)

MANPOWER

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LIST OF EQUIPMENT FOR USE UNDER CONTRACT (OWNED)

Year:	Make:	Model:	Description & Additional Equipment:
			(e.g. # of tire chains, 3 <sup>rd</sup> valve, Hydraulic Angle Blade, Wing Plow Etc.)

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EQUIPMENT LIST (LEASED) (Attach name and contact information of lien holder)

Year:	Make:	Model:	Description & Additional Equipment:
			(e.g. # of tire chains, 3 <sup>rd</sup> valve, Hydraulic Angle Blade, Wing Plow Etc.)

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**EXHIBIT “D”**

**WINTER SNOW REMOVAL AND ROAD MAINTENANCE METHODOLOGY**

**NARRATIVE:**

(Please briefly describe below or on attachment methodology for: plowing, snow bank removal, pack removal and road sanding. Please including but not limited to: equipment and manpower to be used, where equipment will be stored, where and when work will commence and general manner in which it will proceed.)

**Exhibit "E"**

The undersigned ("Contractor"), a party to the contract entered into on August \_\_\_\_, 2014 with the Town of Blue River ("Agreement") hereby agrees to comply with the requirements of this Addendum as a requirement of the Agreement.

**Illegal Alien Workers.** Contractor shall not knowingly employ or contract with an illegal alien to perform work under the Agreement or contract with a sub-contractor who knowingly employs or contracts with an illegal alien to perform work under the Agreement. Execution of this Addendum by Contractor shall constitute a certification by Contractor that it does not knowingly employ or contract with an illegal alien and that the Contractor has participated or attempted to participate in the Basic Pilot Employment Verification Program administered by the United States Department of Homeland Security, ("Basic Pilot Program") in order to confirm the employment eligibility of all employees who are newly hired for employment in the United States.

1. Contractor shall comply with the following:
  - (a) Contractor shall confirm or attempt to confirm the employment eligibility of all employees who are newly hired for employment in the United States through participation in the Basic Pilot Program. Contractor shall apply to participate in the Basic Pilot Program every three months until all Contractor requirements under this Agreement are completed or until Contractor is accepted into the Basic Pilot Program, whichever occurs earlier.
  - (b) Contractor shall not utilize the Basic Pilot Program procedures to independently undertake pre-employment screening of job applicants.
  - (c) Contractor shall require each subcontractor to certify that subcontractor will not knowingly employ or contract with an illegal alien to perform work under the Agreement. If Contractor obtains actual knowledge that a subcontractor performing work under the Agreement knowingly employs or contracts with an illegal alien the Contractor shall be required to:
    - i. Notify the subcontractor and the Town within three (3) days that Contractor has actual knowledge that the subcontractor is employing or contracting with an illegal alien; and
    - ii. Terminate the subcontract with the subcontractor if within three (3) days of receiving notice from the Contractor, the subcontractor does not stop employing or contracting with the illegal alien; except that the Contractor shall not terminate the contract with the subcontractor if during such three (3) days the subcontractor provides information to establish that the subcontractor has not knowingly employed or contracted with an illegal alien.
  - (d) Contractor shall comply with any reasonable request by the Department of Labor and Employment ("Department") made in the course of an investigation by the Department.
2. If Contractor violates any provision of this Addendum, Town may terminate the Agreement immediately and Contractor shall be liable to Town for actual and consequential damages of Town resulting from such termination and Town shall report such violation by Contractor to the Colorado Secretary of State as required by law.

Executed this \_\_\_ day of \_\_\_\_\_, 20\_\_.

*CONTRACTOR*

BY: \_\_\_\_\_










# Snow Contract 2023-2024

Final Audit Report

2023-10-17

Created:	2023-10-12
By:	Michelle Eddy (michelle@townofblueriver.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAANiGrqZTB6UADYDyinb4Xax3rEaJoS8Pm

## "Snow Contract 2023-2024" History

-  Document created by Michelle Eddy (michelle@townofblueriver.org)  
2023-10-12 - 9:52:20 PM GMT- IP address: 13.78.170.178
-  Document emailed to babich.blueriver@gmail.com for signature  
2023-10-12 - 9:53:03 PM GMT
-  Email viewed by babich.blueriver@gmail.com  
2023-10-13 - 4:33:31 PM GMT- IP address: 73.78.114.170
-  Signer babich.blueriver@gmail.com entered name at signing as Toby Babich  
2023-10-13 - 4:33:43 PM GMT- IP address: 73.78.114.170
-  Document e-signed by Toby Babich (babich.blueriver@gmail.com)  
Signature Date: 2023-10-13 - 4:33:45 PM GMT - Time Source: server- IP address: 73.78.114.170
-  Document emailed to william allan (highlandexcavating4@gmail.com) for signature  
2023-10-13 - 4:33:48 PM GMT
-  Email viewed by william allan (highlandexcavating4@gmail.com)  
2023-10-17 - 6:17:41 PM GMT- IP address: 108.147.94.90
-  Document e-signed by william allan (highlandexcavating4@gmail.com)  
Signature Date: 2023-10-17 - 6:18:25 PM GMT - Time Source: server- IP address: 108.147.94.90
-  Agreement completed.  
2023-10-17 - 6:18:25 PM GMT



# Town of Blue River Memorandum

TO: Mayor Decicco & Members of the Board of Trustees

FROM: Citizen Advisory Committee

DATE: May 29, 2024

SUBJECT: **Citizen Advisory Committee Survey Report**

Mayor & Board of Trustees

In January 2024, the Citizen Advisory Committee was asked to conduct a survey of the citizens as it relates to the priorities set by the Board of Trustees for the 2024 fiscal year. There were a total of 158 unique validated responses. A summary of the results were provided and each member was assigned a section to evaluate the written responses and provide a summary and recommendation. Below are those reports.

### Short Term Rentals

102 Comments were received on the topic of Short Term Rentals in the Citizen Advisory Survey. Comments sorted into five categories based on favorability.

Short Term Rental Comments	#	%
Pro	33	32%
Pro w/ Regulatory Enforcement	24	24%
Neutral	13	13%
More Regulation / Limits / Cap	23	23%
Against	9	9%

32% of comments supported Short Term Rentals, their regulation, and number, as it exists currently, and the continued ability for property owners to utilize their property as they see fit.

24% of comments generally supported current Short Term Rental regulations and numbers, but with improved enforcement of ordinances related to Short Term Rentals and ordinances related to all residents and citizens.

13% of comments did not express an opinion for or against Short Term Rentals or provided comments both for and against Short Term Rentals.

23% of comments indicated a preference for added regulation, permit limits, or a hard cap on the number of permits issued for Short Term Rentals.

9% of comments opposed to Short Term Rentals and believe they should not be allowed in the Town of Blue River.

**Summary**

All comments received are consistent with data gathered in previous surveys or fielded from residents at meetings. There is general favorability for Short Term Rentals in Blue River, albeit with improved enforcement of existing town ordinance and permit requirements.

The Board might consider methods for communicating directly with Short Term Rental guests regarding their responsibilities and expectations, perhaps a required affidavit hosted on the TOBR website or creating an employee position whose responsibility includes outreach to Short Term renters or responding to violation reports, funded through Short Term Rental-specific tax revenue.

Additionally, concerns among those opposed or seeking limits may be addressed by the Board considering a formal review of Short Term Rentals, documented in a public report that addresses key concerns. Reconciliation with the TOBR Mission Statement, financial analysis, and the recognition of key impacts of Short Term Rentals on the experience of full time residents could help to more clearly distinguish between renter behavior and land use policy.

Trustee Hopkins  
Liaison, Citizen Advisory Committee

**Goose Pasture Tarn & Trails**

As far as the tarn responses are concerned, the overriding theme is the need for enforcement of existing code and rules.

The citizens want staffing from town at the tarn to make sure only residents are accessing it.

They want sufficient and safe parking access.

There were requests for seating and bathroom facilities at the tarn

Many wanted to make sure the tarn will be properly stocked each year.

Finally, as a broader point the respondents want to make sure trail access is maintained and improved in Blue River.

In conclusion, the citizens that responded want appropriate staffing and visibility by the town at the tarn to maintain and confirm only access by actual residents.

Thank you again-Trevor Kraus-Chair

**Blue River Roads Comments**

Paved	14
Grading	7
Plowing	5
Speed/parking Enforcemnt	7
Easement Rights	6

**Areas of Concern from Residents**

Junction of Royal & Blue River	
Timber Creek Estates - some cracking	2
Curve on Coronet Hill	

Drainage 97 Circle & culverts	
Louise Placer & Spruce Creed Road	2
Grading Lakeshore Loop	
Spruce Valley Ranch	
Regal & Coronet - curve	2
Spruce Creek	3

See .pdf with highlighted comments.  
Former Member & Vice Chair/Now Trustee-Jodie Willey

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**Blue River Citizen’s Survey: Wildfire Component Comments Summary**

Here are my observations from reviewing the results. Different readers may find different emphases. I try to present a broad and balanced perspective on my read of the results here, including minority opinions. It is worth reading all the responses, in addition to my comments, to develop a strong sense of the commonalities and, where they exist, differences within the community to inform future decisions on the matter.

- Not to diminish the results below, but a sizable number of respondents indicated confusion on how to interpret and report using the scale described for completing the survey. A number of respondents indicated this confusion and then, to be sure, wrote responses such as these two: “I assume that this was meant to be high, medium and low as the others above - high concern for me” and “I don't know what your choices mean. It's obviously VERY important.”
- There is a solid consensus in the responses of the importance of wildfire mitigation resources and activities by individuals, neighbors and the town. Examples of written comments, that were highly varied and reflected more a theme than a consensus on any specific mitigation activity included: fire mitigation incentives, removing trees within 30’ of one’s residence, protection of homes, cisterns, insurance premiums, activities by forest service.

Not everyone supports tree removal. Three separate residents wrote:

“The forest service has already ruined our view with its slaughter of live trees. NO MORE CUTTING” and “The mitigation efforts seem to be needlessly ugly and perhaps useless. They were never explained adequately.” and “Stop cutting all trees. A plan to thin trees might be welcome.”

More numerous, others wrote: “I know not everyone likes the fire mitigation but I think it is necessary and needs to be done. Samewith the chipping program.” and “All fire mitigation should be a vital part of mountain communities.” and “safe zonesr around homes is essential and continuing slash cleanups”

- Concerns were expressed about the actions of others, such as the risk posed by people throwing lit cigarettes out the window on highway 9, activities of neighbors including renters or campers on trails (presumably) building campfires.
- Finally, my read of the consensus in the comments is that citizens have a favorable view of the town government’s and other interested entities (e.g. forest service, Red, White and

Blue, etc.) activities. For example: “The town has done a nice job coordinating the wildfire mitigation efforts. It was a big impact having the logging trucks on Spruce road but they did operate within the designated hours and did not speed.”

In closing and on behalf of my fellow BRCAC members and the town’s elected trustees, wildfire risks and risk mitigation are on the minds of our fellow citizens in the town and they consider it to be a very important concern. This is captured in a number of comments, such as this one for example: “Very important with where we live. The current programs we stand behind and hope that they continue to make our town more fire safe. I hope that we continue with the chipping program in the future. The trees marked along the street we hope are removed (*sic*).”

-Stephen D. Kucera, Ph. D.

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#### Safety & Code Enforcement

1. 40% of the responses addressed Highway 9 as their largest safety concern (No Surprise). Specifically speed was mentioned consistently and the need to reduce the speed limit to be more in keeping with a residential area. The need for wider shoulders and safer crossing options or adjustments to bus stops to reduce need for pedestrians to cross the highway.
2. 40% thought that Blue River was "safe" or were complementing the police or didn't understand the question.
3. Remainder were comments that were so off the mark that they weren't relevant to the question. For example there were several comments about trash cans being left out over night.

In summary most respondents were concerned about the highway and the hazards related to speed and operation of vehicles on the road.

hope this helps

Bruce



### Constant Contact Survey Results

Campaign Name: Untitled Survey Page Created 2024/02/19, 11:35:20 AM MST

Survey Starts: 588

Survey Submits: 187

Export Date: 03/19/2024 02:58 PM

#### OPEN QUESTION

Blue River Address

[Redacted]

[Redacted]

[Redacted]

187 Response(s)

#### OPEN QUESTION

Email

[Redacted]

[Redacted]

[Redacted]

187 Response(s)

#### MULTIPLE CHOICE

1. Roads (maintenance, rights and easements)

Answer Choice	0%	100%	Number of Responses	Responses Ratio
High			109	59%
Medium			57	30%
Low			18	9%
<b>Total Responses</b>			<b>184</b>	<b>100%</b>

#### OPEN QUESTION

Comments

What does "Roads" mean? Before the Town spends any time/money on "roads" it MUST determine the legal rights and right-of-way boundaries on existing roads. Continued creeping of road maintenance summer/winter is causing damage to private property.

BOT incumbents & candidates at the 3/7/24 Forum all agreed to "site-specific" management guidelines that address diverse neighborhoods & environmental characteristics." Instead of bureaucracy, property owners & contractor(s) should make decisions.

As long as the pot holes and ruts are not as deep as the Grand Canyon that rattle my car to pieces I am happy. The snow removal is not as efficient as it has been in the past.

91 Response(s)

MULTIPLE CHOICE

2. Short-term Rentals

Answer Choice	0%	100%	Number of Responses	Responses Ratio
High			66	36%
Medium			58	31%
Low			59	32%
<b>Total Responses</b>			<b>183</b>	<b>100%</b>

OPEN QUESTION

Comments

Before making any STR decisions based on "the court of public opinion", the Town needs to objectively define the issues/concerns and focus on a path forward that follows the Mission Statement "... conserving our natural residential environment."

Many voting residents live here because of what is in the Mission Statement. STRs have contributed significantly to the erosion of the M.S. Instead of community-damaging Town government STR policies, follow community-caring policies, i.e. fewer STRs.

I am not a fan of STR...I like our nice quiet local neighborhood. The STR put a lot of wear on our resources. There should be a limit on nights occupancy per year and it needs to be managed.

107 Response(s)

MULTIPLE CHOICE

3. Tarn Management and Use Trails

Answer Choice	0%	100%	Number of Responses	Responses Ratio
High			99	53%
Medium			66	35%
Low			19	10%
<b>Total Responses</b>			<b>184</b>	<b>100%</b>

OPEN QUESTION

Comments

Topic is vague/nebulous. The Town doesn't own the water surface nor shoreline. Before spending time/money on this or anything related to open space/trails, engage landowners and informed neighbors, and not focus on "the court of public opinion".

I agree with the "Blue River Open Space & Trails Master Plan" recommendation: "...Goose Pasture Tarn is a relatively undisturbed wetland/riparian complex... and is important wildlife/waterfowl habitat. Do not encourage use nor future trail development..."

I like to be able to enjoy our trails and natural resources our neighborhood offers. I would like to see a safe corridor for us to get to town. Someone is going to get killed riding their bike on the highway. Tarn for locals only. Winter parking

90 Response(s)

MULTIPLE CHOICE

4. Safety Enhancement and Plans

Answer Choice	0%	100%	Number of Responses	Responses Ratio
High			51	28%
Medium			85	47%
Low			44	24%
<b>Total Responses</b>			<b>180</b>	<b>100%</b>

OPEN QUESTION

Comments

What does this mean? "Safety" is a high priority in anything/everything the Town does. Without a clear understanding of specific "enhancements" or "plans", the topic is too vague/nebulous to rate and give comment. Take it off the list.

Keep in mind that the best safety plans honor the environment plus honor the current infrastructure, i.e. emergency vehicles can safely travel on the current roads. Drivers of other vehicles can easily find a pull-out to allow for emergency vehicles.

I am not really sure what this means. People fined for pushing snow out onto road, trash cans management. They should not be put out the night before.

67 Response(s)

MULTIPLE CHOICE

5. Code Enforcement

Answer Choice	0%	100%	Number of Responses	Responses Ratio
High			60	33%
Medium			77	42%
Low			44	24%
<b>Total Responses</b>			<b>181</b>	<b>100%</b>

OPEN QUESTION

Comments

Town must adhere to rules, regulations, policy, and guidelines defined by law and the Land Use Code. Not enforcing the law is a dereliction of duties. Like "Safety", this topic is a stand-alone function and need not be on the priority list.

The Town is famous for not enforcing code. Town government is famous for including provisions in the code documents that the Town has no intention of enforcing. Existing code is enforced for some but not others. Enforce code equally for all.

Generally good presents is noted with police making rounds in the neighborhood. I do notice a lot of aggressive drivers passing inappropriately on the highway.

55 Response(s)

MULTIPLE CHOICE

6. Wildfire Mitigation

Answer Choice	0%	100%	Number of Responses	Responses Ratio
Answer 1			102	64%
Answer 2			36	22%
Answer 3			20	12%

OPEN QUESTION

Comments

"Mitigation" means lessening the impact caused by wildlife. Without a clear understanding of specific "mitigation", the topic is too vague/nebulous to rate and give comment. It is a part of the "Safety" topic and need not be on the priority list.

Town government appears to justify illegal/unauthorized tree removal & wetland willows as "wildfire mitigation." Factors, such as nearness to waterways, should be considered acceptable mitigation practices. Implement acceptable mitigation practices.

Fire pits should not be allowed, especially at rental properties. Cars should be ticketed for parking on roads - this is hazardous for fire trucks. I like the fire mitigation incentives provided tree management companies.

87 Response(s)

OPEN QUESTION

7. Please note any other priority you would like to see the Town address.

The "Survey" is poorly drafted. It does not tie in with the Town Mission Statement and does not give info on type of respondents; landowners, renters (long and short-term), full and part-time residents, visitors, etc. Topics listed are vague and nebulous, leading to too much interpretation of the issue. Many topics are actually components of the Safety topic, which is obviously a high priority. Hire a consultant to conduct an appropriate "survey" which will give meaningful actionable results.

- All policies & practices need to be connected to the Mission Statement, which is currently not happening.
- There is no mention of the environment in these BOT priorities. FYI- On a 2019 Citizen Survey, 85.4% of the respondents marked "yes" to supporting "conservation efforts and policy development." Respondents were in favor of conserving the natural day and night environment.
- Promote best stewardship practices that align with the Mission Statement: enhancing the quality of life for all.

The town needs to have a professional put a survey together, or at a minimum give the CAC ample opportunity to craft a thoughtful survey. This survey doesn't warrant response because it just appears to be looking to rank priorities. The question about wildfire makes no sense because it doesn't even list high vs low. Please do better.

101 Response(s)

**Roads**

4. Comments
Would love to have Sherwood Forest and down to blue river road paved. Would help drainage issues and is a popular neighborhood walking street which is not ideal during mud season.
More regular grading, plowing, and speed enforcement would be great. In our neck of the woods (the junction of Royal and Blue River) people feel that they're out of sight so they regularly speed around the curve. Would love for that to stop.
I wish the street plowed to the asphalt
Roads in Timber Creek Estates are in fair to good shape still with some minor deterioration in some spots. Might need another round of general crack repairs soon.
I realize the weather provides challenges and believe Blue River currently does a good job maintaining the roads.
No more easements. People already speed on Blue River Rds. If any wider, vehicles would speed more which is a huge safety concern and air quality will decline from road dust. Rd has already expanded due to maintenance past current easement of lot
The maintenance guys have been doing a great job with what they are up against.
curve on Coronet hill is always a concern. especially in winter when the snow is high and it is a blind corner.
Some ongoing drainage issues on 97 Circle
The culverts need to be addressed around my property.
Paving the roads.
Need to pave to save \$ in the long run
As long as the pot holes and ruts are not as deep as the Grand Canyon that rattle my car to pieces I am happy. The snow removal is not as efficient as it has been in the past.
The new road maintenance contractor did a much better job than Wheeler did.
Continued road management is very important. I don't see any need change what is currently being done.
Avoiding chain up station
Keeping roads safe
Louise Placer Road and Spruce Creek road are both in poor condition. We paid over \$6000 to fill and grade Louise Placer Road after putting power in the road to our house and over two years the city has neglected this road.
Underground utilities should be included
Many roads are deteriorating.
If you make the roads too nice everyone will bitch about people speeding. Things are good.
What does "Roads" mean? Before the Town spends any time/money on "roads" it MUST determine the legal rights and right-of-way boundaries on existing roads. Continued creeping of road maintenance summer/winter is causing damage to private property.

<p>The plowing should be way better and more active on whomever determines when to plow. We don't need any surveys or engineers to decide that certain portions of roads should be paved to make them better. Use logic and don't reinvent the wheel.</p>
<p>Grading on Lakeshore Loop</p>
<p>Pave the roads please, if not paving; please maintain, enforce no parking on roads.</p>
<p>would like to have roads re surfaced asap at beginning of summer and again late July early August</p>
<p>Snow plowing maintenance this year has been terrible</p>
<p>I would like to see us move to more paved roads</p>
<p>Increased traffic is having its impact but i give the public works team fair to good grades on keeping up.</p>
<p>Plowing, lighting and other measures on Hwy 9- if it is within the state maintenance, to please advocate for more services. Also, to ask Blue River Police what they see as priorities as they are on all the roads and know the issues well.</p>
<p>Speeding had been the main concern on our roads. The periodic crack sealing is next but will not be done for 1-2 more years.</p>
<p>We appreciate timely plowing and warm weather grading of our Country Road. So thank you for that! We also want to protect the Tarn area and the roadway just north of the switchbacks.</p>
<p>Blue River needs to join the 21st century and PAVE THE DAMN ROADS. We replaced outhouses with toilets, we should replace dirt with blacktop.</p>
<p>Spruce Valley Ranch address</p>
<p>Snow plowing critically important.</p>
<p>improve plowing services paving of more town streets</p>
<p>It is good to stay on top of plowing in the winter and maintenance in the summer for the safety of our community.</p>
<p>BOT incumbents &amp; candidates at the 3/7/24 Forum all agreed to "site-specific" management guidelines that address diverse neighborhoods &amp; environmental characteristics. Instead of bureaucracy, property owners &amp; contractor(s) should make decisions.</p>
<p>Road condition of Louise Placer is below the standard of most of the BR roads.</p>
<p>I know the last big storm was a mess but I'm confused how the heavy machinery was so delayed and couldn't do what it was supposed to do.</p>
<p>I think you need to make some of the bus stops larger, maybe put in turn arounds, and even have an actual covered area to wait.</p>
<p>Continue with current plans</p>
<p>wildfire mitigation effort along right of ways is very important to me.</p>
<p>Maybe more paved roads</p>
<p>Roads with inclines turn to washboard a couple of days after being graded and remain that way until the next grading. Increase frequency of grading roads with steep inclines.</p>
<p>My road is maintained well and I drive an off road vehicle around town that can handle issues</p>

We want the town to issue bonds to pave roads.
We live on a curve where many cars get stuck in snow constantly (Regal and Coronet).
Very much appreciate the timely and high quality snow removal
Imagining paving roads will come following installation of water pipes. Understand that sewer is in place, but curious if water will follow in the next few years.
Blue river does a pretty good job on the roads as far as I'm concerned. Very good about plowing, summer gets some major potholes, but understandable for a dirt road with a lot of traffic and rain. I do get a major pond in front of my driveway
Highway 9 is a nightmare these days. I always nervous when turning onto blue river road that I will get hit from behind. The bus stops and how people have to walk on the road to get to them is very dangerous. we need sidewalks or something. The street where I live is good in my area but I know others down the street have alot of problems. I would love to see the streets paved and the power lines buried.
Wagon road needs paving to save the city miner and get us out of the mud
For the most part, the roads are fine.
The roads are a priority for the residents both summer and winter. The consistency at which the roads are carried for is also important.
If there is anything effecting the current road placement affecting home owners land it needs to be addressed.
I am happy about the town staying on top plowing of 97 circle after ot snows!
NA as ToBR doesn't maintain SVR roads - do appreciate the snow plowing and would like to see a plan to have plowing contractor have resources to plow all areas in a timely manner
Safety of driving, especially on hwy9.
We need a bike path or bike lane to town
Why is the bottom of blue river road near the lift station a constant construction site/ Stan Miller's boulder and dirt storage area. All of the trucks and traffic are ugly and mess up the roads. The dirt stored everywhere is unsightly and unsafe
I would love to see more grading done. The snowplowing is fine, in my opinion.
I live on a corner of Spruce Creek where almost no one stops at the stop sign. It's a high traffic area where cars are always sliding off the road in winter because they barely slow down to make the turn (even with the flashing stop sign).
My problem with easements, my front yard has grass to the road. Contractors or whom ever use the excuse of the 10' easement so they can park their car on my lawn in front of my house. The word easement is used too liberal.

Average to poor job done on our roads in both the winter and summer. In the summer the roads should be graded correctly to direct water flow off the roads and reduce pot holes. This is done by bringing in roadbase and crowning the roads then creati

I think the work being done on Spruce Creek rd has significantly improved. Our roads are rural in nature and will always be an issue. I think we have spent enough time with the engineers and should work with the road contractor going forward.

Maintenance is a very high priority over easements

Fundamental function of government.

Fine. Please don't disturb what is there

road maintenance is always an issue. the washboard roads, the run off issues and of course the hill curve on Coronet

Note: The snowplow operator could be more considerate with how and where he plows through Timber Creek Estates, giving little regard to where he piles the snow and even allowing it to cascade down onto homes from the upper road around our house.

It is important that the Town keeps perfecting rights and easements to ensure the Town has the 100% ability to maintain the roadways.

A little more pothole maintenance would be great but generally I don't have a problem with how our town roads are managed.

Paving Starlit lane

Maintenance is important. Easements are a low priority.

They are doing a great job.

A top priority for any government is roads and property owners rights.

Assuming Hwy 9 is under this heading. I know dealing with CDOT is a pain as they do not respond to ANYONE. But speeding and traffic volume is my highest priority. Not to mention the chain up stations! Keep hammering...don't let up!

Only road maintenance

Needs to be graded more often. Would be wonderful if entrance off 9 was paved until road started up.

Keeping access during the winter and maintenance in the summer is very important for the safety of our community.

would love to see the speed limit reduced to 40 on our stretch of Hwy 9

What is the planned maintenance period for each street? Annual or some other? Does it depend on the road surface?

Roads in BR take beating with the harsh winters. HWY9 needs better surfacing and could use better shoulders. Would be nice to see more of the roads into the developments be paved versus gravel. Can a plan be developed to do so many roads each year?



Snow removal has been terrible. Blocking driveways of people who live here full time has been awful
Snow plowing is a high priority
Because our roads not paved is full of potholes and hold water most the time and I understand the city wants to pave it, but we have property owners that don't want it that way, so anyway wish you could be fixed.
No one will ever love the roads. I think the contractor is doing a good job - perhaps with some attention in the spring pothole season short of a full regrading. Need to render them safe for emergency services and save me money on wheel alignments.
Winter road conditions are always well-cared for. Summer road conditions especially on Spruce Creek Road are heavily impacted by the trailhead access and speeding (creating washboard).
Snow removal, safety and maintenance is a high priority for us.
Happy with the town's maintenance. Seems better than several years ago.
Living right off the highway, we'd love to see the speed limit reduced. It is getting more and more dangerous to pull out onto the highway.
I think the Town should plow down to the asphalt instead of letting thick layers of ice to form

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No one will ever love the roads. I think the contractor is doing a good job - perhaps with some attention in the spring pothole season short of a full regrading. Need to render them safe for emergency services and save me money on wheel alignments.

Winter road conditions are always well-cared for. Summer road conditions especially on Spruce Creek Road are heavily impacted by the trailhead access and speeding (creating washboard).

Snow removal, safety and maintenance is a high priority for us.

Happy with the town's maintenance. Seems better than several years ago.

Living right off the highway, we'd love to see the speed limit reduced. It is getting more and more dangerous to pull out onto the highway.

I think the Town should plow down to the asphalt instead of letting thick layers of ice to form

**Short Term Rental**

6. Comments
Get rid of them.
Continue to charge higher taxes on rentals until we see rental rates plateau. Give back to full time residents and improve other items in this survey.
Would be in support of more regulation of STRs as they continue to take over the neighborhood.
34% of the homes in TCE are STRs as of 2022. No official complaints received, no crime except speeding by contractors and some renters. No violations for parking, RVs/Trailers, trash, firepits, etc. Need to treat STRs just like full time homeowners.
I believe itâ€™s good for the economy and gives us an advantage over the town of Breckenridge
If Short-term rentals follow the rules, then no problem. capacity limits do need to be adhered to.
As long as trash is dealt with properly, STR has not been much of an issue to me or anyone I talk to. need to make sure town ordinances are enforced. Ie parking in street, bright outdoor lights.
Short term rental Code enforcement is the top priority. We are seeing these short term rentals taking over the neighborhoods with overcrowding litter and speeding vehicles. Is there still a hotline to call for short term rental code complaints?
Maintain policies as is please.
Not happy with the amount of STRs around us. We have issues with the one right behind us. People not caring around neighbors, using the hot tub late at night and being loud when we are sleeping, etcâ€™! STRs need to be limited!!!!
I am not a fan of STRâ€™ I like our nice quiet local neighborhood. The STR put a lot of wear on our resources. There should be a limit on nights occupancy per year and it needs to be managed.
Please regulate these. As I've mentioned in prior surveys, it's unsettling to have a new group of strangers next to your home every few days.
Iâ€™d like to see ST rentals Capped @ 30%.

We should set the example on how to live in harmony w STRs, not everyone has lived here for 20 years+ lets set the best practice
More governance on care of the rentals. I don't want to see restrictions on how many, however we need require each owner to provide standardized rules. For example, I see renters waling on other properties like they are hiking in the woods.
There is no sense of community in Timber Creek Estates because of all the STR's. I am a full time resident and there are only about 10 other full timers in our neighborhood.
Limit number of licenses, control/limit growth. When I moved in not a single house did short term rental now 4 of 8 homes rent short term
They have already killed our neighborhood.
TOO many already. Most STR do not respect neighborhood or SPEED limits
Homeowner that does not rent.
Short term rentals are extremely valuable to our community. They keep our property values higher and also help to lower our tax bills.
Renters need strict trash discipline. Maybe fining a landowner if a bear gets into their trash?
Before making any STR decisions based on "the court of public opinion" the Town needs to objectively define the issues/concerns and focus on a path forward that follows the Mission Statement "conserving our natural residential environment."
Rentals bring a lot of car and foot traffic to our area and our trails. The town may benefit from tax dollars, but with short term rentals there is the added expenses of road and trail maintenance, law enforcement for private property, etc.
No STR in neighborhoods. Too much noise and tourists can be very inconsiderate of residents with their parties and loud vehicles. Neighborhoods should be residents only. Keep tourists in Breckenridge
It's nice to have options to STR
STRs are almost equal in number to resident housing (per the ToBR Budget narrative). Has anyone even asked what the impact of this shift from residences to commercial use has on our environment and community (and the ToBR Mission Statement)?
Difficulties with maintenance/ lighting issues with absent owners or managers who do not address external property.
We want neighborhoods. Limits to #s of rental units, frequency of turnover, parking, noise, to be set so that we enjoy our home.
I think this issue is now in control, much more so than a few years ago.
Number of short term rentals, adherence to HOA, town and county ordinances are key concerns. How to hold absentee owners and irresponsible renters accountable are big issues.



Existing town rules governing STRs just needs to be better enforced in the small pockets where violations occur, not infringing on property rights of our citizens by restricting or burdening them with unjustified costs or increased taxation
No more short term rentals!
We are very concerned with the potential changes to the taxation rate of real estate used as STR. Quadrupling our rates would be devastating. We hope Blue River benefits from the licensing and lodging taxes our (and others) STR generates.
Enforce existing regulations such as leaving trash cans out. Nobody including police want to enforce rules against these commercial biz, so set enforcement priority.
I'm not trying to be difficult but I honestly don't understand what the issue to be addressed is for this one.
Not allowed
No interest in renting property.
good source of income for the town
I would like to see the codes on the books enforced. They are plenty to keep things good.
Many voting residents live here because of what is in the Mission Statement. STRs have contributed significantly to the erosion of the M.S. Instead of community-damaging Town government STR policies, follow community-caring policies, i.e. fewer STRs.
There is nowhere in town to buy a bottle of water. I'd hate to see the regular maintenance, repairs, town staff, emergency services and town budget without the impact of STR tax collections.
Short-term rental opportunities help to preserve home values. However, no short term rental guests should be able to use the Tarn under any circumstances or the Tarn will be overflowing with people.
Doesn't seem like an issue
I don't want too many STR's because it impacts the feel of a quiet neighborhood.
these are fine as long as parking on the road isn't allowed.
Many STRs are advertising for more bedrooms than what they are being assessed for, allowing for more people in the rental house, which equals more water usage. We should be monitoring STRs for the # bedrooms advertised versus # bedrooms on record
Maintaining the right to STR my home is of the utmost importance. I only rent for a few days a year but the ability to do so is a huge factor in both my long term ownership prospects and property value. The town should not restrict STR rentals.

We would like to see the rules and regulations allowing short-term rentals remain in place.
Too many short-term rentals all around us. I moved here hoping to have a sense of community and I am not comfortable with different people renting every weekend. That is why we didn't buy in Breckenridge. I would expect some, we are surrounded. What
We have a lot of knuckleheads blocking the roads this winter because they did not have 4 wheel drive vehicles and weren't thinking as they tried chaining up in the middle of the road or just sitting in the road. Never seen it this bad before.
We don't rent our home, but feel that people should be able to if they wish
Would love to see less permits given out. We are losing our small town feel.
Do not impose further restrictions on STR's
Have not considered renting out my property but new property assessments may force me to do so
If code enforcement was not an option, this would be medium. I feel most of the challenges with STRs can be solved through better enforcement.
I do short term rentals and it is very important to me
We are probably not wanting to do this ourselves, but want it regulated for our neighbours so that we it doesn't get out of control
Short term rentals are taking away from the neighborhood feel. Not to mention all of the locals I know that cannot find housing. Not sure what the answer is...
Please stop turning our community into a commercial enterprise. It sucks. I'm all for limits on STRs.
I think it's good to limit capacity to the number of bedrooms. But I also think it's good to allow short term rentals.
We rent our home on a short term basis and would not like to see any more restrictions on such rentals. Short term renting provides tourists with a place to stay at a reasonable price where they can cook their own meals and wash their own clothes.
Definitely needs to have a cap like the towns and county near Blue River.
We have had short term renters come into our yard take our sleds and use them in our yard.
If people can't afford their homes with out renting then they shouldn't own them.
Trash from short term entails is always a problem with wildlife getting into it
Police should write tickets to everyone who leaves trash out overnight. Nonody wants to write these citations and it needs to be done continuously.
Full time resident and not planning to rent.

Homeowners should be able to use their properties how they see fit, including renting them long term or short term. Either way it is just people sleeping in a house which is the purpose of housing. It limits opportunities for people and taxes for BR
Preserve property rights for owners to use the property under the same terms as when they purchased.
Restrictions lower property values translate to lower tax revenue. Completely anti-American
The changes to the Ordinance regarding STRs urged by those who wish to reduce STRs appear to have had the opposite effect. It appears more owners now do STRs than before, not less, perhaps out of fear of a cap and the minimum 10-day use mandate.
Wish there were fewer rentals so more locals can buy up here.
We live here full time and short term rentals are not good. Renters do not respect private property. Plus the do not respect the leash law.
If we want to have a community and not a hotel district all short-term rentals should be eliminated.
STRs are essential to property values and provide many jobs for Blue River residents
What is difference between short term and long term rentals? I have observed over 25years owners of long term rentals have multiple short term rentals in their property, but don't report it. They have more cars around. These renters trash the river.
More enforcement on occupancy limits needs to happen. Verifying Septic and well permits with applications is a major issue. I think 28% STR's limit per subdivision would be a better fit for keeping a balance.
I have short term rentals in both Breckenridge and Blue River and have seen the negative impact that regulations imposed in Breck have on property values. Blue River is a small community that does not need regulations, forcing houses to sit empty.
There is no enforcement or cap, my subdivision is now over 50% short term rental with no concern from board of trustees.
What exactly are you asking here??
Any policy that would allow more rentals in our residential communities.
Protect personal property rights
For the most part they don't bother me. other than the cars that get stuck and sometimes too many cars at a rental. outside lights can also be a problem if the renter does not turn them off at night
Concerned that while Breckenridge pushes their agenda to limit short term rentals, it will end up pushing more rentals into Blue River - and especially into Timber Creek Estates, causing neighborhood disruption

While Short Rental is part of the community, it also needs to be limited so as avoid become mostly short rental area and no different than Breckenridge.

I feel that limits should be placed on the number of short-term rentals in each subdivision/neighborhood.

This is by default a high priority for any mountain community. I believe that a lot of enforcement issues need to start with resident reporting & this should be more promoted and encouraged by the town.

I have encountered many short term renters whose vehicles are not equipped for our roads. Many vehicles have been stuck on Spruce Creek Road and they cannot navigate the hill (2 wheel drive and/or no snow tires).

Please limit these! Nothing worse than a new group of strangers showing up weekly next to a \$2MM home! The explosion of STRs drove me out of Peak 7 ~ Iâ€™d hate to have the same here.

It would be nice if the short term rentals in our area would stop using the park for overnight/overflow parking.

I donâ€™t understand the question

I know this is a hot-button issue, but we personally don't have any issues with the properties that short-term rent in our area. We feel that enforcing the laws on the books is a sufficient recourse for anyone that has problems.

Disappointing the current board was not pro active with the issue

Too many

I think the regulations and taxes are good right now.

I am ok with current policy; however, I am interested if there is a movement towards change so I can understand how it might affect us.

Reward the good ones and fine the bad ones.

Not a renter so this is not relevant. However, renters need to be aware of the BR/County regulations and make sure they abide by them. We do get annoyed when Renters continually use our driveway as a turn-around because the DW where staying is poor

Enforce what is in the books for STRs and keep out of home owners business and finances

Without the ability to rent my home, short-term, I would not be able to afford to own it or live there. Itâ€™s a great opportunity to have a second home in the mountains and yet make it affordable.

Out of Control. Walk any street in Blue River and you can always spot the STR. These owners are simply not good neighbors. Microtrash, unmaintained driveways in Winters, simply abysmal landscaping in the summer with yards loaded with noxious weeds

Short-term rentals are not a concern. Surrounding neighbors are respectful and organized. It is understandable that communicating about wildlife (biggest issue with trash) is difficult and must be the responsibility of the homeowner/property manager.

We seem to be the only neighborhood that is almost all STR. Noise, lights, constant traffic into the wrong houses, cars getting stuck all over the neighborhood....

We want to stay aware of any changes that may impact our property. As an owner and a short term renter we don't want to hurt either group of individuals.

We need to remember that we live and chose to live next to the busiest ski area in the country. STRs put money in the owners pockets which is not a bad thing. Treat everyone with dignity and respect. And remember living here is a privilege.

I would appreciate STR regulations to stay as is, with no new restrictions.

With current values affordability may be limited without ability to rent, yet the characteristics of the neighborhood just would seem better without renting.

I'd rather have fewer short-term rentals. I fully support STR being classified as a business-- which is what they are.

Too many STR

**Tarn Management**

8. Comments
Is the Tarn going to be stocked this summer.
Would love a gazebo or an area to picnic. Would also be great to easier connect tarn access with blue river road.
In support of regulating non-resident access.
The tarn should be developed for additional uses for residents.
Need better parking, access and marking of trails with signs prohibiting trespassing onto private property in TCE.
Iâ€™m looking forward to enjoying to the tarn after the completion of the dam project. I think Blue River has some of the best trails in the area.
Very important to our community.
The generosity of the private property owners who allow recreation the way they do is paramount to the soul of Blue River the tarn is an awesome resource for residents.
Be nice to see some infrastructure down there at the tarn for the locals to use this amenity better.
I like to be able to enjoy our trails and natural resources our neighborhood offers. I would like to see a safe corridor for us to get to town. Someone is going to get killed riding their bike on the highway. Tarn for locals only. Winter parking
Please do more research on who is providing trout to restock the tarn and not to repeat the gill lice or other issues that were encountered before.
Keep up the efforts to link the various trails within the town.
I think the shoreline on the east side of the tarn should remain private and only accessible to owners of property in Spruce Valley Ranch
Excited to see the Tarn re-open.
It would be nice to see some improvements.
More signs at the tarn to let people know it is private.
Will be very good to get the level and use of the tarn back to normal. We are full time residents with canoe use on the tarn several times a week.
The tarn gets abused by nonlocals and short term renters. Fishing debris is left behind making the shore dangerous.
Can't wait for the Tarn to re-open. I don't know the answer to enforcing trespassing there, but happy to sit with you guys and talk it over. Complicated issue.
Topic is vague/nebulous. The Town doesnâ€™t own the water surface nor shoreline. Before spending time/money on this or anything related to open space/trails, engage landowners and informed neighbors, and not focus on â€œthe court of public opinionâ€.
Would like to see the Tarn stocked again

Not that important to me. I prefer the tarn be natural without man made improvements
The Tarn is a huge asset for Blue River
Glad that the Tarn is back up to normal levels and looking forward to seeing it being used
will need to see what happens once reopened.
Truly looking forward to enjoying the tarn- haven't previously had the opportunity as we moved here 3 yrs ago. Unable to speak to this issue as of now- hoping it's great!
Not sure as we have been residents only past 3 years while tarn closed. Looking forward to enjoying it this summer.
Give us the tarn back! It's a huge plus for our family, time to open it back up or TOB should pay us for the inconvenience and loss of use.
It will be a welcome change to get our use of the Tarn back again. We are anxious to see the improvements and welcome strict user policy and enforcement.
Really anxious to get use of the TARN back for fishing and boating. Would love to see improvements in parking and possible restroom!
Fish stocking program most important. Donations to the program from residents should be encouraged.
SVR is private property - tarn.
would be good to invest a little in the park area ie, seating and cover areas. Trails are essential and should be maintained
I would like a trailhead map for our community
I agree with the "Blue River Open Space & Trails Master Plan" recommendation: "Goose Pasture Tarn is a relatively undisturbed wetland/riparian complex" and is important wildlife/waterfowl habitat. Do not encourage use nor future trail development!
Will be so good to have use again this year. We are active with our canoe many mornings.
After the latest tarn project, what else is left to plan for?
we can't park at the end of our neighborhood and walk to the Tarn. It's one of the nicest trails out there and we are threatened w getting a ticket. There's at least 5 spots that should have parking so we can enjoy.
The Tarn should be reserved for Blue River Residents ONLY.
Love the trails and can't wait to recreate at the Tarn again
Looking forward to using the tarn and I'd use trails if I knew where they were.
Hopefully will see improvements at the tarn edge, like restroom and better parking.
It will be very busy here when it reopens!
Looking forward to using the Tarn again. Good time to make adjustments/enhancements to the area
Sadly I haven't gotten to use it yet because I moved in in 2020
It really concerns me that there are "unplanned" or "unmanaged" trails around where we live and can't use them since they go through private property. There isn't enough parking by the Pennsylvania Creek Trailhead.

Critical to maintain our natural resources
What a gem! Would be terrific to figure out good walking trail into Breck. Know there's a mountain bike path!
Haven't been able to use it yet, but was one of the reasons that we bought in Blue River in 21. We are very excited to start using it when it opens, but like that it will be hopefully well regulated so that not everyone is on it
We enjoy fishing & paddling... Do we know if it will be possible to re-stock fish in the Tarn since the construction has been completed? If nobody is, I would personally be willing to start a kickstarter/donation fund for those interested.
I am very excited to get tarn access again! we've missed it so much!
What a great perk for residents! Please enforce the rules and keep non-residents AND SHORT-TERM RENTERS out!
I think we should have trailhead parking both summer and winter that gives access to Indiana Creek. I've been towed by Spruce Valley Ranch when parked in winter, when no plowing was needed, and impeding no road travel and in no visibility to any hous
The tarn and the trails are a benefit to Blue River.
With the tarn reopening it will challenging to keep usage to just TOBR residence only. That also includes NO STR PEOPLE using it.
With the limited parking it becomes difficult. TOBR RESIDENCE LOOK AFTER THAT AREA OTHERS DON'T. we need code enforceme.
I would like to see the tarn monitored more so nonresidents are not able to use it.
now that Tarn is now going to reopen, a re-education of rules for its use may be necessary - not in favor of ToBR creating a trail around the Tarn
would like to see better enforcement of dogs off leash and picking up after your dog
Keeping the Tarn to Blue River owners only is a high priority.
The trails we have are an asset and access to them should be protected. Why keep making it more difficult to use trails and areas and closing access. What is the benefit of living in the mountains if you can't park or play anywhere.
Make it the best it can be for owners
where can i park to take my dogs to the tarn, or the blue river trail? i have been parking at the end of blue river road for 20 years, but was told recently i can't.
Looking forward to the opening.
Would be nice to have a boathouse/picnic area and signage to keep outsiders out. Trails should not cross private land.



Seems on track to me
This will be the first summer we are able to take advantage of the Tarn. Iâ€™m looking forward to enjoying it!
Why wasn't the Tarn opened at the end of the summer when the work was complete?
The tarn has been closed for multiple years, this would be difficult to gauge at this time.
Realistically, how much "management" has ToBR ever provided for this? I've never seen evidence of "trail management" and the Tarn has been closed for 3 years now. How much trail system is actually in the town of Blue River vs forest service land?
Stock the Tarn
The Tarn is a great asset to the citizens of Blue River. I would like to see Trails incorporated at the Tarn as well as picnic areas and potentially a port a potty. enforcement of use will remain a priority due to limited parking
Needs clarity, communication and enforcement
It is time to begin implementation of the trails plan and begin perfecting easements for trail usage.
I would LOVE to see some trails around the tarn. This could easily become the best part of our town. Although any development might also come with more enforcement issues to keep tourists out.
Excited to finally having it opened back up this summer!
Looking forward to the Dam repairs being completed.
I donâ€™t know what you mean by Use Trails or what you are proposing for tarn management.
The Tarn is a great shared resource and we've missed it while the dam work has been going on. I served on the Trail Committee and while I know our powers are limited to improve trails, I hope the group continues to pursue easements and partnerships.
Mgmt of the tarn could be quite difficult and time consuming, that's why I rated it as medium.
Tarn has been closed for 3 years
No data to make a comment
I love that residents are the only ones able to use the tarns. I would love a map available to owners to show the trailheads in our community.
Interested in knowing progress towards adding trails, especially connecting into Breckenridge. I noticed that many communities nearby have paved paths connecting each other. Walking or riding a bike along route 9 appears dangerous.
I'd like to see a gated system installed where a transponder opens the gate for those who have proper rights to the TARN. Otherwise, it is up to the local Police to monitor and they have better things to do than police the TARN.
Keep the Tarn only for residence

It would be great to have a connected bike in Hite system, and I realize there's a lot of issues with private ownership and public ownership and right away and things like that but it sure would be nice to have something that was especially meant for

I like in the Tarn neighborhood. Don't see a problem other than the town threatening me with trespassing? Really? on land owned by the Theobalds and ToB officially finished with the dam project?

The town does a good job of monitoring the use of the tarn.

We love the Tarn and have had limited use over the last few years. It would be great to have full access this year!

I am very interested in Tarn management and helping the tarn get back to its full ecological potential. I have a degree in freshwater ecosystems and I would love to volunteer time, ideas or help in anyway to aid in this process.  
wesleyklong@gmail.com

Would love the Tarn to more of a community place. Ice skating in the winter would be fun!

Hope there can be some fish stocking. It will be important to continue close monitoring. Will car/boat stickers be needed?

I would love to have better access to trails and tarn. I fully support using tax resources to make trails accessible from all neighborhoods. Currently I have to walk on 9 to get to any accessible trails.

**Wildfire Mitigation**

14. Comments
I don't understand question 6. What is the answer 1,2 or 3?
Why are there 3 answers to choose from? TCE is working to become Fire Wise participants, to lower insurance rates, a protect our homes. TCE continues with its 25% incentive plan reimbursements to homeowners added to the counties 50% and ToBR \$100.
I'm not sure what you mean?
Homeowners and insurance companies should know what is best. Problem is education to reduce wildfires. Aren't a majority of wildfires caused by humans?
Important, but it should be at the homeowner level, not the national forest level. We messed that up generations ago.
I assume that this was meant to be high, medium and low as the others above - high concern for me
I'm not sure if this question came across clear? The answers are answer. 12 and three I don't know how to respond.
High priority ; I'm not sure what one, two, and three mean. The
Protection of homes and natural forest is most important.
Fire pits should not be allowed, especially at rental properties. Cars should be ticketed for parking on roads - this is hazardous for fire trucks. I like the fire mitigation incentives provided tree management companies.
I think that it is wise to consistently work on fire mitigation projects and possibly plan and practice emergency evacuations
This is important but needs to consider private property rights.
NA
High concern
Yes we're still in the forest transition geography and need to continue to work to mitigate this risk.
High priority. We have already done our fire mitigation around our house and others need to do the same. Concern of fire from cigarettes thrown out of car windows driving on highway 9.

I wish all the trees in the neighborhoods got cut down instead of the mountainsides.
“Mitigation” means lessening the impact caused by wildlife. Without a clear understanding of specific “mitigation”, the topic is too vague/nebulous to rate and give comment. It is a part of the “Safety” topic and need not be on the priority list.
I do t see any choices this is not a question and bad for the survey itself
?
Potential fuel for a fire; There is a property on Coronet adjacent to my property that has an excess of stacked wood. I believe it is in excess of the amount allowed in our ordinance.
High importance
what are the "answers"?
Good job on fuel mitigation
??? Unsure of what the 3 "Answers" entail. We have had fire mitigation, appreciated the Fire Dept consultation, and landscape with all due diligence.
But the renters in the adjacent duplex can have a campfire and .....
Doing everything we can, but not everyone doing so.
?? I suppose answer 1 is meant to be "high".
Timber Creek Estates reimbursed all homeowners 50% of the cost of mitigation and the Fire Marshall and County see TCE as the best example of proactive mitigation. We spent significant monies that we wish all of Blue rRiver homeowners would consider.
I know not everyone likes the fire mitigation but I think it is necessary and needs to be done. Same with the chipping program.
All fire mitigation should be a vital part of mountain communities.
high
safe zonesr around homes is essential and continuing slash cleanups
It is good to stay on top of this before there is a disaster.
Town government appears to justify illegal/unauthorized tree removal & wetland willows as “wildfire mitigation.” Factors, such as nearness to waterways, should be considered acceptable mitigation practices. Implement acceptable mitigation practices.
???
Annual plans seem to fit the needs.

In addition to hazardous fuels reduction, water cisterns should be implemented throughout the Town of Blue River.
Seems like the Town has been good with this issue
Good to sponsor fire mitigation. Maybe the town could recommend which houses are considered a danger...
Assuming answer 1 = high priority.
The forest service has already ruined our view with its slaughter of live trees. NO MORE CUTTING
We need more cisterns in neighborhoods, both to fight an actual fire and also to help with homeowner's insurance premiums.
Camp Fire 2013 regulation
Not sure what these choices mean
Have worked with Red White Blue to assess what I can do to protect my property and othersâ€™ should there be a wildfire in our area. Very helpful!
Well if the green wood burns then we all burn. Only issue is the beetle kill.
Liked that the city help do the bond for mitigation at our house, we feel much safer for it
We live in Colorado Springs and rent full-time to local tenants... having several weekends for disposal of branches/trees could be useful. Or more reseven more reources, list of willing companies who are available/paid to haul downed trees.
BIG TIME! we have done what we can for our yard and house, but others do not do anything.
Not sure what to put here!
Iâ€™m assuming this was supposed to read "high, medium, low" like the other questions so I picked "answer 1" indicating "high priority"
Not sure what answer 1-3 means. We need to continue to mitigate wildfire.
Very important with where we live. The current programs we stand behind and hope that they continue to make our town more fire safe. I hope that we continue with the chipping program in the future. The trees marked along the street we hope are remov.

Start the discussion and planning to underground utilities to harden that infrastructure.
insurance companies are making this a top priority for all mountain communities, and we all need to be very pro-active in wildfire mitigation and hope there are grants to be provided to help accomplish..
Wide fires are a concern and people driving highway 9 throughout cigarette butts.
The fire breaks are a good idea. I took advantage of the fire mitigation on my property, unfortunately my neighbors did not because they don't live there- just rent it out
Is there some way to still have a beautiful forested surroundings and have less fire risk? Perhaps under ground power would be the ideal solution
Wildfire mitigation must be a high priority for Blue Rive. It isn't clear what the "Answers" pertain to.
WE have used it.
Stop cutting all trees. A plan to thin trees might be welcome.
I don't understand the options. But of course, fire mitigation is high priority. Probably the highest priority for me.
Most of us have been doing wildfire mitigation since the "Beetle Kill" came through years ago. I think the grants are helpful for some residents. Grant money should not be used for nearly clear cutting view corridors on lots.
The mitigation efforts seem to be needlessly ugly and perhaps useless They were never explained adequately
No concern , as the forest service has been clear cutting the valley.
"answer 1; answer 2, answer 3"?? What?
Wildfire mitigation is a nice idea, but the reality is short of clear cutting the entire valley, nothing will stop a wildfire. I don't think ToBR has anywhere near the resources that project would entail, nor d
All good. I worry about the short term rentals obeying the rules or even reading the rules. ATVs destroying the roads and noise pollution. Lights glowing in a carnival atmosphere. Short term doesn't mean Lind term awareness.
This is a concern. I appreciate that the town and forest service continue to review and look at ways to mitigate the concern
The campers up Pennsylvania Creek make me nervous, due to the careless way fires are maintained. I've seen campsites with a burning fire when nobody was there.
Trying to cite "high" or answer 1? Beyond road safety, this is the other largest safety issue, is being address anywhere the town can.

Medium.
I don't know what your choices mean. It's obviously VERY important.
Thank you for asking.
I don't know what you are asking
Town can not control the environment which community is in, nor forest service and summit county.
If your answer is to clear cut then why live in this environment..
Okay
Always good to keep on top of
Is there a link to home insurance cost? As that has increased substantially since the fires north of us a couple of years ago.
See comments above.
High. Do something about the owners that refuse to cut down trees within 30 feet of their dwelling and affect their neighbors
Wildfire mitigation is high priority
I would hope that the insurance companies would take care of that by surveying the homes and making sure they're within a required distance along with Blue River fire department
Mitigation efforts having success. I don't see the STRs participating in our neighborhood however.
The town has done a nice job coordinating the wildfire mitigation efforts. It was a big impact having the logging trucks on Spruce Creek road but they did operate within the designated hours and did not speed.
Always a priority.
?
We have participated in the fire mitigation on our lot. This an important topic.

**12. Comments-Code Enforcement**

There are a few widely-known pet owners that let their dogs roam off leash. We literally saw one of them almost get hit by the UPS truck. Another friend's dog got hit within the past few months. Bad for animal safety and dog-aggressive leashed pets.

Always need enforcement to be maintained to the highest standards.

If the codes are readily available, then Codes should be adhered to. If there is a consistent repeat offender, then let the law take care of it

Don't care. Speeding is my only concern there.

The laws/rules do not matter if they are not enforced.

Generally good presents is noted with police making rounds in the neighborhood. I do notice a lot of aggressive drivers passing inappropriately on the highway.

How are the short term rental codes being enforced, ie: amount of people within each unit.

What's fair/enforced for one should be fair/enforced for another.

Seems to work based on my perspective

Especially use of fire pits.

enforcing the law is a dereliction of duties. Like "Safety", this topic is a stand-alone function and need not be on the priority list.

Enforcement of town codes and ordinances is essential- otherwise why have them?

Speeding seems important to keep to a minimum

Major concern that STR enforcement relies on neighbor complaints. I can make an STR complaint every day but won't. Why do residents need to be schoolyard snitches to a Board of Trustees policy?

of the community. Seems many who use their property for income generation fail to keep up the exterior yards.

Is this question related to short term rentals or other issues?

It depends a great deal on which codes.

Illegal parking on residential streets.

its a small community and neighbours tend to take care

I think occupancy limits should be enforced more strictly. We adhere to them and other homes in the community don't. That gives all of us that rent a bad reputation. It is not ok to do reactionary, additional regulations if you are not enforcing.



The Town is famous for not enforcing code. Town government is famous for including provisions in the code documents that the Town has no intention of enforcing. Existing code is enforced for some but not others. Enforce code equally for all.
Hwy speed still to high. Work with CDOT to reduce. Even Hartsel has a lower limit than BR!
I see the numbers in the EOY summary but have never seen a code issues directly.
Major code violations or code violations that affect neighbors (trash, abandoned cars, fencing etc.) should be dealt with in a timely manner.
Unleashed dogs are a problem, especially on trails and with encounters with Moose.
Get after the folks who just let their dogs run and don't clean up after them
Mainly for STRs. I heard from local realtors that Blue River is the hot spot to sell homes for STRs due to lack of restrictions and enforcement. Seeing 10 cars parked at a 3BR house is disturbing

Particularly related to fire danger

Rules don't work unless they are enforced. If the STRs would keep the noise down and the trash picked up there wouldn't be any problems.

I wouldn't mind seeing more leash laws enforcement as I am constantly having to chase dogs out of my yard and away from my dog that does not get along with other dogs.

Painting colors that aren't approved and the list goes on. It would be nice to keep consistency in the town.

We have the codes but NO monitoring!

Proliferations of following should be curtailed: unpermitted sheds, long term RV parking, landscaping with concrete jersey barriers.

Especially when the Tarn opens. A lot of nonresidents have used it in the past and it would be nice to have less nonresidents use it.

Too many berms on Hwy 9

We need more code enforcement. Very seldom do we ever see police car. Ever since Officer Ameid left it is hard to see a police car.

resident and are thereby in violation of State Law and infringing upon the down state water rights of CA, AZ and NV.

Enforce, but be reasonable

Wash machines and old refrigerators are left out in the yard.

More STR enforcement. Parking, Occupancy limits. Most code enforcement seems on track.

Have no idea

No enforcement for short term regulations

this should address most "short term rental" concerns.

dark sky initiatives continue to be an issue with neighbors that don't comply and leave bright lights on all night. I love that dogs can be off leash but they can also cause an issue when owner is not in control of them. Trash is an ongoing issue

Would appreciate more town police visibility

This will always be a tricky area, in that it can require a significant amount of staff time and is hard to have a full-time person just going around doing this. That really only leaves the town to be able to react when something specific comes up.

parking.

Codes and laws are meaningless unless enforced

0 enforcement in place

I think occupancy limits should be enforced more strictly. We adhere to them and other homes in the community don't. That gives all of us that rent a bad reputation. It is not ok to do reactionary, additional regulations if you are not enforcing.

would be reasonable, they park on the street. It seems that on multiple occasions they will interfere with plow operations

Stay on neighbors to enforce dark sky please!

All codes should be enforced.

One of the things that bothers me about code enforcement is the charging for everything we do it seems like it's out of hand

I'm told that residents must make complaints and sign it. No one ever asked me to be part of your enforcement. If the town cannot enforce codes with fees based staffing, they shouldn't have the codes. I don't want to be the schoolyard snitch.

The town does a good job of patrolling. Speeding on the highway is inevitable and it is a shame the wildlife is who suffers.

Joke!

**Safety Plans**

10. Comments
Not aware of any unsafe situations, yet, however ,significant risk will occur if the CDOT by[ass lane is approved and installed. Trucks will overcrowd the lane, with no enforcement on time allowances, which will cause blocking of traffic flow.
Road ways need to be as safe as possible with the challenges of weather and traffic. Additional signs and possibility lights could alert people of dangerous conditions and blind spots.
Education and communication are key not spending spending spending of money
Safety Shmafety. If you want to save our houses, cut down the trees in the neighborhoods, not the ones up on the hillsides.
This ties into the roads maintenance and easements. Walking on Route 9 to get to bus stops is quite dangerous!
I am not really sure what this means. People fined for pushing snow out onto road, trash cans management. They should not be put out the night before.
Need more details.
Egress from Hwy 9 to Spruce Creek road is a disaster. With so many STRâ€™s that use this road weâ€™re going to have more fatalities here. Also need to get the speed limit on Hwy 9 below 50 MPH. Every other town on Hwy 9 has a lower speed limit (Alma, F
Need to know more about these plans.
Safety shmafety.
What does this mean? â€œSafetyâ€ is a high priority in anything/everything the Town does. Without a clear understanding of specific â€œenhancementsâ€ or â€œplansâ€, the topic is too vague/nebulous to rate and give comment. Take it off the list.
Shed and junk storage on properties, as well as excess stacked wood creates a fire hazard and needs to be addressed.
Blue River feels safe

Happy with PD. Love the speed enforcement.
Would like to see more lights and guardrails on Hwy 9.
Not sure what this question entails
Unsure of all plans but high priorities on road safety on Hwy 9, visibility with high snow banks as one exits side streets”- and placement of any lanes or chain hook-up locations.
Safety should always be a high priority for everyone!
Too broad of a goal, so easy to waste resources playing around.
putting police along the highway does not discourage speeding. ower speed limits and widening shoulders would be a better choice
I feel very safe in Blue River
Keep in mind that the best safety plans honor the environment plus honor the current infrastructure, i.e. emergency vehicles can safely travel on the current roads. Drivers of other vehicles can easily find a pull-out to allow for emergency vehicles.
Egress from HWY 9 to Spruce Creed Road is still a disaster. We need to work with CDOT to get a deceleration lane approved. During the summer there are more than 500 hikers a day that use this road to access Spruce Creek trail system and they
I don't have any issues with this.
People drive very aggressively on Hwy 9. Iâ€™ve been passed multiple time driving in the snow. I saw a car pass the school bus that was stopped one morning.
More Police Patrols and traffic enforcement especially around the intersection of Wagon Rd and HWY 9.
I feel safe in our community. Reduce speed on Hwy 9 through town and ticket people passing on a double yellow line
Safety is always important and one of the few real jobs of government.
Highway 9 is getting rough to turn onto because of the heavier traffic it seems to be experiencing.
Critical to all communities
Seems current policies are effectual.

Highway 9 access for people walking to bus stops, bus stops lights that are brighter. Bus drivers often don't see you there until they are really close. Turning lanes on highway 9 for major roads (blue river road)
We obviously need to be concerned about fires and snow storms and need to make sure we are doing as much as possible to minimize those risks.
Safety along hwy 9 is a priority. The clearing of snow for two cars passing on streets and all signs being visible throughout the entire winter. Knocking down snow banks for visibility. More police presence on the town streets. Cars off streets night
Way too broad-based to be a priority. Find a specific topic for your focus.
safety is always a key issue especially with more and more traffic using HWY 9 as I-70 has so many closures and issues
Safety is high but what are the plans and needs?
We need a bike lane. We have a bus stop, but we can't safely walk to it from our house, so we have to drive. Kinda defeats the purpose of taking the bus.
Yesterday, I saw a family trying to walk from the bus stop with their skis on highway 9
Not enough speed enforcement on town roads. To much enforcement on Hwy 9. Too much like Alma with Hwy speed enforcement and does little for subdivision lot owners
i heard the blue river bus stop might be moved to blue river road at the mailbox turnaround. i think this is a great idea, as i worry about my son crossing the highway.
Chain up area will decrease safety in our community
What are try
Seems on track to me
Don't know what this encompasses
Hard to gauge as I've only seen one incident where high way 9 traffic (south and north ) was diverted through my neighborhood with no direction from c dot or Blue River
this is a rural community - "safety" in what context?
Mitigation is good.
not sure what plans are being considered

All for safety, but feel the town is somewhat limited on much more that can be done. Over feel we are address current concerns around town.

Being that we live along the highway, it's my biggest concern. There's a lot of kids, pedestrians, and bikers mixed with trucks/tourists/commuters/drunk drivers/road rage. We see it daily. Getting CDOT to acknowledge this is absolutely essential.

This starts with a fewer strangers in our town and a greater residential police presence.

Response time to calls is important.  
Radar enforcement of 15mph is not important.

It's unsafe to walk to the bus stops in Blue River. I have observed tourists walking on Hwy 9 with ski-boots on! And in the summer it's a dangerous bike ride to town. We need a big enough shoulder for a bike lane, and plow it in the winter.

NA

I don't know what you mean

Speeding is an issue everywhere it seems. Enforcement is nice but I hope we can find other ways to discourage speeding and manage parking issues, esp at the Spruce Creek Trailhead up from our house.  
Not sure what's involved with this category.

Blue River is a very safe community

See question 3

Stay on CDOT to reduce speed limits please!

Need to make sure fire mitigation plans are established. Good work on HWY9 this past year to clear, create fire break. Need back-up plans if a fire does develop in BR and how to evacuate (not too many directions/choices to take due to the valley)

Tell the P&Z to keep Blue River beautiful by approving only colors that blend into the forest and NO MORE WHITE HOUSES!

Not quite sure what safety issues there are, as I feel perfectly safe in Blue River  
more speed enforcement

Not sure what this would include. I am glad they are not building out the chain-up station with lights, etc.

Does this mean a safe place to walk near the highway? Does this mean being able to drive out on route 9 without fear of dying?

I don't want a chain up station across from town hall.



Other Comments

15. Please note any other priority you would like to see the Town address.
Bike path from town hall to Breck??
PLEASE take out the 2 way stop at the 3 way intersection!! It's confusing to out of towners and frustrating to residents. One stop sign would work much better, at Royal/Regal, and letting Blue River Road flow both ways.
I am concerned about the proposed chain up station near the town hall. The pollution (gas,diesel, antifreeze, battery acid; and hydraulic fluid) running off and leaching into the groundwater that Timber Creek Estates uses. I also am concerned about the impact on the wetlands around the proposed location of the chain up/ down stations
We should move to increase speed limit to 25 mph in TCE given the paved roads, and install speed humps. Need a Mail Box station so residents don't have to drive to Breck ( maybe add an extension to the chain-down lane past the sign.)
I feel like the communication is great. I'm impressed with the city management. I recently had a problem with the website and Michelle Eddy responded by phone and email in a extremely timely manner. Keep up the great work.
Term limited be consistent. 2 terms means no gray areas. Hasn't one of the Candidates served as Mayor for 2 terms?
I understand it is very difficult to police the tarn, but people ignore the current signage. If it were a little more stern and obvious, people wouldn't have the excuse "I didn't know." Also, a porta-potty or 2 is an easy decision.
465 Coronet Drive
I would like to see more of a police presence with more drive-bys through our neighborhoods. I would like to see speed enforcement on the side roads not just on Highway nine.
PO Box 8661 48 Nugget Lane City water access
Enforce dog leash law
Enforcement on highway 9 in summer near tarn when people stop for moose. Very very dangerous. Also moose crossing signs should be posted so people drive slower. Dark sky night enforcement. Trail head parking management. Town of blue river passes for cars? Management of speeding on local small roads. Barking dogs need to be ticketed.
NA
Preventing the CDOT chain up/ chain down is a high priority for those in Timber Creek Estates.
0112 Blue Rock Dr PO Box 7554
We still need a good long term solution for Spruce Creek Road. Again many accidents and fall offs of this road by NON-Residents that effect residential traffic.
Upgrade the failing power grid, bring reliable cellular service all throughout town
Any chance of the rec path coming through Blue River? There continues to be a safety factor for runners and bikers on highway 9. Also, I have seen many individuals walking along highway 9 to get to and from the Summit Stage bus stops. The bus is a fantastic amenity to our town and I use it for pleasure as well as work transportation.
Life's great here. Keep the bears out of the trash and the gapers out of the tarn, mission accomplished!
91 Lakecrest dr
The "Survey" is poorly drafted. It does not tie in with the Town Mission Statement and does not give info on type of respondents; landowners, renters (long and short-term), full and part-time residents, visitors, etc. Topics listed are vague and nebulous, leading to too much interpretation of the issue. Many topics are actually components of the Safety topic, which is obviously a high priority. Hire a consultant to conduct an appropriate "survey" which will give meaningful actionable results.
better wifi internet access
Would like to see city water and sewer service
104 Creekside Drive Paved roads Bike paths into Breckenridge
Better compliance through to the Board of Trustees on role definitions under governing state statutes.

We love Blue River's verdant valley, wildlife, safe neighborhoods and responsive town government. Matters such as the proposed chain-up lane location, and highway 9 lighting/ speed/ maintenance & guardrails that impact us significantly but are within State jurisdiction require that the Town serve as advocate for its citizens as well as a conduit of communication so citizens can be in the know, and aid in advocacy.

133 Indiana Creek Rd, Box 8302  
Blue River

US Post Office drop station where everyone could get their mail without driving to Breckenridge. Reject CDOT chain station construction. Increase number of police and issue fines for both Full time resident and STR violations of town codes. Town management is doing great with communications and transparency, but need total cell phone coverage and fiber optics.

What is the position of the Town of Blue River on the STR real estate classification change (to "lodging") proposed in the CO Legislature?

53 Mariposa Place  
PO Box 2111

Set backs to poverties is excessive and needs to be looked at.

--All policies & practices need to be connected to the Mission Statement, which is currently not happening.  
--There is no mention of the environment in these BOT priorities. FYI- On a 2019 Citizen Survey, 85.4% of the respondents marked "yes" to supporting "conservation efforts and policy development." Respondents were in favor of conserving the natural day and night environment.  
--Promote best stewardship practices that align with the Mission Statement: enhancing the quality of life for all.

Thanks for all the time that Council spends keeping BR running. It is greatly appreciated!!

Is the snowfall trigger for plowing clear to the contractor? Is it 4" after midnight (2" before and 2" after = no plowing) or once we get 4" in a 24hr period. It seems inconsistent.

I think parking near trail heads is my number one concern. There's a good 5 or so spots that we can't access because there's no parking on town streets. How hard is it to bring in some diggers and clear out a few parking spots. What's the point of us living near a trail if we can't use it? My girlfriend was almost ticketed last time taking the dogs out. The cop said that the plows had to turn around there. The plows had already moved all the snow. What is the excuse going to be in summer?

Unleashed dogs are a problem, especially on trails and with encounters with Moose. It's a liability for the Town and a leashe code should be enforced.

Would like to see a multi-use trail built connecting Breck to Blue River - property values would climb along with tax revenue. Could be as easy as widening rte 9 with federal/state bike grants??

Tarn management, since there should be improvements after all this time. Some good rules and maybe enforcement.

Lower the mill rate and raise STR taxes. Use this to fund improvements like fiber, a rec path, and more bus service to improve the amenities offered by the town while keeping property taxes low for homeowners.

The number one thing we believe is missing to make Blue River more desirable for us is a bike path connecting Blue River to Breckenridge. We realize there is a mountain bike path, but it is not easily accessible for most bikes. A cement path that follows Highway 9 would be most appreciated. With all the wonderful bike paths in Summit County, this leg of it is sorely missing. Thank you for the consideration.

I wish for the government to do the minimal it was meant to do: infrastructure and policing.

Blue River trail map. I want to know where I can hike and what is private property.

We need the bike trails from the ice rink to Blue River maintained and cleared of debris.

Moose "habitat management so they also have a good place to live close to people

We are seeing more off leash dogs and less poop cleanup. Not sure what we can do about it though.

23 Snowy Ct., Blue River  
Plans for water system.

Get rid of that pole next to calle de plata the one everyone hits and dies maybe relocate that pole or bury the electrical underground!

Yes it's been a while since a fatality but it happens once again mark my words.

None, thanks!
bike path to town
Just the STRs
Dog leash enforcement
Chain law enforcement for semi trucks more strictly enforced. The shit show on Hoosier Pass when thereâ€™s a snow storm is ridiculous
The TOBR needs an employee that looks after codes and keeps a consistency within the town. This would include STR, trash, signage, tarn usage, road issues, painting and remodeling without approval, drainage issues and keeping a true pulse on the the community by being engaged with our residents. We have worked very hard to come up with these codes, and there is no enforcement for any of it. If true relationships were built with CDOT then I believe improvements could be made through Blue River.
Neighbor disputes regarding obnoxious pets and outdoor lighting
Reduce the town taxes on electric and nat gas, please.
890 Indiana Creek Rd
Hate not having a mailbox and having to rent one in Breckenridge. Not sure why that is? 133 MOUNTAIN VIEW DR
The failing power grid is bound to cause further problems in the future, whether that be fires or even more outages than we already have. It just seems like an accident waiting to happen.
Cdot needs to work on Hwy 9 due to huge amount of traffic and horrible conditions of roadway
Overhead power and internet cables being buried instead of on poles prone to outages.
291 Tarnwood Drive
Paving roads should be on our list for those neighborhoods that desire the upgrade
755 Whispering Pines Circle
755 Whispering Pines Circle
464 WILDERNESS DR.
Fast driving
Do we require special use permits for heavy loads traveling on Blue River roads to unincorporated summit county?
Thank you for taking time to hear our thoughts. I love this town and am proud to be a part of such a wonderful community.
Better parking availability at McCullough Gulch and road improvements to Monte Cristo
Listening and representing citizens concerns.
Blue River is rustic. It is not Breckenridge and should never never try to mirror that insanity. Do not ruin what we have!!!
Traffic volume on hwy 9 and Cdot expending \$0 to handle the increase
It would be nice to have additional speed limit signs along Hwy 9. Lots of summer visitors drive 30 mph going into town.
The town needs to have a professional put a survey together, or at a minimum give the CAC ample opportunity to craft a thoughtful survey. This survey doesn't warrant response because it just appears to be looking to rank priorities. The question about wildfire makes no sense because it doesn't even list high vs low. Please do better.
Please continue with legal and vocal opposition to the proposed chain up stations right at our TOBR entrance. Never have we seen these chain ups be built on such a busy local highway with low visibility right in front of a residential area and on wetlands. This is against all logic and sensibility without regard to residents' health, safety, environment and property values.
Bike lanes into Breckenridge.
80 Grey Squirrel Ln, Blue river, CO, 80424
Internet and cell phone reception.
The amount of human waste at Spruce Creek trailhead is out of control. In the summer, you can walk 15 feet in any direction at the trailhead and find poop and toilet paper. The Forest Service/county/whoever needs to be pushed to do better in managing the overuse of this land- an outhouse would be a great start. Penn Gulch is becoming a close 2nd- weâ€™ve hiked out trash bags and extinguished fires multiple times. Bottom line: I believe relationships with CDOT/FS/Summit County are the key issues.
Adding bike lanes into Breckenridge.

No
Iâ€™d like to see the police patrolling our residential streets vs only giving out tickets on Highway 9.
We need a bike lane and hiking trail to SAFELY get to town without driving a car!
NA
I am not sure what you will learn from these general questions and answers
Accountability from town
PO Box 8023
Extension of the Rec path
Thank you for all you do! :)
104 Davis Court I think traffic in BR is up substantially as more individuals and trucks come from Denver. Road is not designed to handle all the traffic as it is designed. The "bridge" crossing over the BR at Casa de Plata is constantly full of pot holes. A plan should be developed to Repair/Replace this in due time that will still allow traffic flow (build extension to west, then work old). Would Love to see Breck-BR Rec Path installed. We would bike to town!
I love the quantness and uniqueness of BR. Letâ€™s keep it that way
Reply to these surveys! I've completed every single one but i have never seen any summary or data back. Never. I've even asked Trustees about results and heard nothing. C'mon! we are a small town. If you really love feedback, leash up your dog and walk neighborhoods. Jump in with an officer (code or Law Enforcement) while on patrol and talk to us. This is my last survey until i see accountability for providing results back.
The trailhead traffic, congestion, impact, speeding, dust and litter on Spruce Creek Road is a huge stressor every summer. It is understandable that the trailhead is not in the town's jurisdiction, but the access part of the road is. Please help us with a solution for visitors to this area.
241 97 Circle
Just trail access-- would be great to have a north/south trail that connects breck to the pass.
Water and sewer
None at this time.
Please work to restock the Tarn, itâ€™s a great family fishing spot!



## Town of Blue River Memorandum

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TO: Mayor Decicco & Members of the Board of Trustees

FROM: Town Manager Michelle Eddy;

DATE: June 4, 2024

SUBJECT: **Spruce Creek Road Project History**

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Spruce Creek Road was identified in the adopted 2018 Capital Improvement plan. In 2021, the Board of Trustees requested staff begin work to review, develop, present and implement a capital improvement project. Due to the impact and high priority listed in the Capital Improvement Plan, Spruce Creek Road was chosen for evaluation. Over the course of the next four years, staff work with Muller Engineering and the Board of Trustees to develop a project that could provide some improvement to the road. In March 2024, the Board of Trustees were presented three options for a final design. The design and final approval was approved in April 2024. The project was put out to bid with low interest. Discussion of next steps will take place at the Board of Trustees meeting on June 13, 2024.

Included in this memo are is a project timeline, resident suggestions that were included in various drafts and proposals and a summary of invoices for the project. Since 2021, the project has incurred \$122,636.02. The amount equates to \$30,659.01/year. Much of the expense was due to drafts, requests for changes, redrafts, additional scope added, redrafts and in some cases restarts on the project. Each time the engineers work to incorporate Trustee or resident requests that are either accepted, changed or rejected, it adds to the overall cost of the project. Overall, the project costs have remained relatively low for the design.

Excerpt from the 2018 Blue River Capital Improvement Plan.

Project ID	Name	Description
18-01	Mountain View Trail	Re-establish roadway and install drainage ditches along roadway draining west to Blue River.
18-02	Wilderness Drive	Establish drainage swales to convey water off roadway. Regrade low-point at Hinterland Court. Install culvert at Grey Squirrel Lane.
18-03	Sherwood and Starlit Lane	Widen roadway, establish ditches and install culverts to drain northeast along Blue Grouse Trail to Blue River
08-04	Spruce Creek Road	Regrade and realign intersection with Highway 9, establish ditches and culverts, potentially including culvert across Highway 9.
18-05	Royal Drive and Regal Circle	Widen roadway, establish ditches and culverts to convey drainage to recent Blue River Road drainage improvements to the west.
18-06	Coronet Drive	Address sediment build-up and erosion in ditches, evaluate washboarding improvements and safety along hairpin turn.
18-07	Blue River Road/Hwy 9	Install turn lanes, accel/decel lanes at Blue River Road and Highway 9.
18-08	Leap Year Trail	Construct roadway and drainage improvements along Leap Year Trail.
18-09	Calle de Plata	Install culvert, ditches to convey drainage on Calle de Plata.
18-10	Crown Drive	Widen and improve roadway along Crown Drive.
18-11	Creekside Drive	Establish ditches to convey drainage along Creekside Drive to Grey Squirrel, upsizing existing culvert.
18-12	Dead Man's Corner	Pursue signage, safety and/or access improvements at Dead Man's Corner (Highway 9, approximately MP 81.8).
18-13	Timber Creek Estates	Perform study to assess speed control signage, speed bump installation.
18-14	Whispering Pines Entrance	Establish ditches, install culverts to convey drainage.
18-15	Blue River Road	Establish drainage ditches and roadway improvements along Blue River Road.
18-16	Breckenridge Emergency Access Route	Provide redundant routes to Breckenridge in case of flooding or other emergencies
18-17	Park-n-Ride/Town Parking Lot	Provide parking lot for Town use (RV, Bus Stop, Visitor/Guest, Trailhead Parking – Indiana Creek, etc.)
18-18	Tarn Improvements	Providing improvements to Tarn access, Tarn amenities.
18-19	Develop Trail Network Study	Conduct trail network planning study for trails through Town with connections to existing trails. Includes Breckenridge to Blue River/Fairplay trail connection.



# 18-04: Spruce Creek Road

**PLANNING LEVEL ESTIMATE** **DATE: November 2018**

Summary of Work:  
 Performing major grading to reduce the maximum grade of Spruce Creek from Highway 9 to Crown Drive. Regrading several accesses and intersections. Formalizing ditches and repairing drainage on the south side of Spruce Creek Road with ditches and driveway culverts extending from Highway 9 to Crown Drive. Additional ditch and culvert improvements on Spruce Creek Road, approximately 150-ft south of intersection with Crown Drive on the west side.

DESCRIPTION OF ITEM	QUANTITY	UNIT	UNIT PRICE	ESTIMATED COST
<b>MAJOR CONSTRUCTION ITEMS</b>				
EARTHWORK	4700	CY	\$ 38.00	\$ 178,600
DITCH	380	LF	--	<i>(included above)</i>
MAJOR GRADING	4500	CY	--	<i>(included above)</i>
CDOT CLASS 6 BASE COURSE	400	CY	\$ 54.00	\$ 21,600
FORMALIZE ROADWAY	850	LF	--	<i>(included above)</i>
CULVERTS	150	LF	\$ 100.00	\$ 15,000
REMOVE CULVERT	80	LF	\$ 55.00	\$ 4,400
REMOVE TREE	15	EA	\$ 300.00	\$ 4,500
			<b>Total Major Items</b>	<b>\$ 224,100</b>
<b>ADDITIONAL ITEMS</b>				
ENVIRONMENTAL/EROSION CONTROL	10%	LS	--	\$ 22,410
MOBILIZATION	10%	LS	--	\$ 22,410
TRAFFIC CONTROL	5%	LS	--	\$ 11,205
			<b>Total Additional Items</b>	<b>\$ 56,025</b>
			<b>Contingency (25%)</b>	<b>\$ 70,031</b>
			<b>Construction Subtotal</b>	<b>\$ 350,156</b>
<b>PROGRAM ITEMS</b>				
SURVEY	3%	LS	--	\$ 10,505
EASEMENTS	10%	LS	--	\$ 35,016
DESIGN	15%	LS	--	\$ 52,523
CONSTRUCTION OBSERVATION	5%	LS	--	\$ 17,508
TOWN INDIRECTS	5%	LS	--	\$ 17,508

	<b>Total Program Items</b>	\$ 130,000
<i>Section VI, Iteml.</i>		
	<b>Total Estimate</b>	\$ 484,000

**Notes, Assumptions, Comments:**

**Earthwork:** Assumed a 2-ft depth V-ditch with 3:1 side slopes.

**CDOT Class 6:** To establish crowns and formalize roadway template after major grading, 6" of new CDOT Class 6 material assumed for 20-ft width of roadway.

**Removal of Tree:** Removal of trees quantity assumed from field visit and Google Earth imagery.

**Major Grading:** For major earthwork, assumed 5-ft depth cut/fill with 2:1 side slopes on level surface.



## Scope of Work

### Town of Blue River Spruce Creek Road Design Services

Date: December 1<sup>st</sup>, 2021

#### Project Introduction

##### 1. PROJECT BACKGROUND

The Town of Blue River Spruce Creek Road project will consist of designing improvements for the road based on results from a topographic survey. These alternatives include options such as regrading the road, adding pavement, and improving the CO 9 to Spruce Creek Road transition.

##### 2. PROJECT GOALS

The primary goals for the project are as follows:

- Maintain or improve safety by improving the CO 9 and Spruce Creek Road intersection to maintain better traction during the winter.

##### 3. PROJECT LIMITS

This project is located along Spruce Creek Road from CO 9 to Crown Drive in the Town of Blue River.

##### 4. PROJECT COSTS

The total design cost of this project is estimated at \$68,000

##### 5. WORK DURATION

The total time for the work in this full scope is approximately 12 months, assuming to start in December 2021 to December of 2022.

##### 6. CONSULTANT RESPONSIBILITY AND DUTIES

Throughout the entirety of this project, the Consultant will be responsible for: Survey, Preliminary Design, Final Design, and construction procurement services (amendment may be required if needed).

##### 7. WORK PRODUCT

The work in the scope of services for this project will be contracted on an individual Task Order basis, as needed, or determined by the Town of Blue River.

## **Project Management and Coordination**

### **1. BLUE RIVER CONTACT**

The Contract Administrator for this project is: Michelle Eddy, Town Manager and Project Manager (PM) as referenced below.

### **2. PROJECT COORDINATION**

Coordination will be required with the following stakeholders:

- Colorado Department of Transportation (CDOT)
- Town of Blue River
- Residents along Spruce Creek Road
- Emergency Responders
- Interest Groups

The Consultant should anticipate that a design that affects another agency needs to be accepted by that agency prior to its acceptance by the Town of Blue River. Submittals to affected agencies will be coordinated with the Town of Blue River.

## **Project Management and Coordination Meetings**

### **1. PROJECT MEETINGS**

All meetings except for site visits within this task order are anticipated to be held virtually.

#### **1. Site Visit**

The Consultant shall schedule and initiate a field visit to the project site during different milestones of the project. Three design team members are assumed – project manager, roadway design engineer, and hydraulics design engineer.

Design Check site visit – Spring/Summer 2022

#### **2. Progress/Project Meetings**

The Consultant shall schedule, initiate, prepare materials, facilitate, participate and provide notes and action items for the following meetings:

- a. Project meetings (6 assumed)
- b. As-needed check in meetings with staff (6 assumed)
- c. Town Board meetings (3 assumed)

#### **3. Public, Stakeholder Relations**

The Consultant shall initiate and schedule all Public Relations efforts including setting up meetings with the internal and external stakeholders. The Consultant is also responsible for preparing appropriate presentation materials for all meetings.

a. **Public/Stakeholder Meetings**

- a. Three public/stakeholder meetings (3 meetings)
- b. The Consultant will coordinate additional meetings with the Town to discuss project updates, coordination required with other stakeholders, problems encountered and potential solutions as part of item 2b above.

**Deliverables:**

- Meeting notes in OneNote - The Consultant shall take minutes at all meetings and provide the Town Project Manager access to the project notebook where all project meetings will be documented.
- Action Items and Decision Items List in One Note - When a definable task is discussed during a meeting, the minutes will identify the "Action Items", the agency responsible for accomplishing them, and the proposed completion date. Similarly, when a definable decision is made by the Board or town, it will be identified as such in the minutes in OneNote.

**2. PROJECT MANAGEMENT**

This project will require close coordination and collaboration with the Town.

Project Management activities will include:

a. **Overall Project Budget and Schedule**

At task order initiation a project budget and schedule will be developed and submitted. These will be regarded as the baseline against which status and progress are measured and reported. The Consultant will work with the Town Project Manager to ensure that invoices contain required documentation and backup and will coordinate with the Town business office as needed or requested by the Town Project Manager.

b. **Monthly Scope and Budget Updates:**

The Consultant shall monitor scope and budget and report progress monthly. The Consultant will develop and implement change management procedures to manage work progress. These updates as well as change management strategies will be documented in monthly progress reports accompanying the consultant invoices.

c. **Monthly Reporting and Billing**

The Consultant shall submit monthly progress reports that summarize:

- Work accomplished for the month
- Task percent complete
- Task percent expended
- Work planned for the upcoming month
- Change management updates

**d. General Project Management Responsibilities of Consultant**

The Consultant shall develop, manage, and implement project coordination strategies including:

- Prepare for and participate in project meetings - invitations, materials, execution, and documentation
- Maintain action items, decision log, scope log, issues tracking, etc.
- Document management for file share platforms, program level cost estimates and toggle spreadsheets, and Bluebeam reviews (if requested by the Town PM)

**Deliverables:**

- Overall Project Budget and Schedule in Microsoft Project
- Monthly Invoice
- Monthly Progress Report
- Action Item and Decision Logs to be maintained on OneNote.

**C. DEVELOP A PROJECT SCHEDULE AND ASSIGN TASKS**

The Consultant will develop and maintain a project schedule with key milestones. The schedule included in the Consultant’s proposal will serve as the starting point and will be re-baselined. Project schedule updates will be included in the monthly reporting as discussed in Section 5.B Project Management.

**Deliverables:**

- Overall Project Schedule to be maintained in Microsoft Project

**D. QUALITY ASSURANCE/QUALITY CONTROL (QA/QC)**

1. The Consultant will conduct internal QA/QC reviews of all deliverables throughout the process in accordance with Muller’s Quality Management Program (or equal).
2. Peer and interdisciplinary reviews of meeting and presentation materials will be conducted to provide consistency of project messages and communication. Quality reviews, Town reviews, Stakeholder reviews, and comment resolution periods will be incorporated into the project schedule for milestone submittals.

**Deliverables:**

- None

**Environmental Coordination**

**A. PROJECT INITIATION**

**B. DATA COLLECTION, FIELD INVESTIGATION, MITIGATION MEASURES AND DELIVERABLES**

1. **Threatened and Endangered (T&E) Species**
  - a. **IPaC and SWIFT Review:** The team will review the Information for Planning and Consultation (IPaC) from the US Fish and Wildlife Service (USFWS) to determine applicable species and habitat to this project. Additionally, the team will use the StateWide Impact Findings Tables (SWIFT) to determine if the project will affect threatened and/or endangered species.
  - b. **Note:** It is assumed the project will result in a “no effect”. Additional scope will be required if Section 7 Consultation is needed with the U.S. Fish and Wildlife Service (USFWS).
2. **Wetland and Waters of the U.S. (WOTUS)**
  - a. The project team will review NWI maps to check for the presence of wetlands. It is assumed this project will not impact nearby wetlands or WOTUS, and that delineation of wetlands will not be required.

#### **Environmental Deliverables**

- Biological Resources Report

### **Preliminary Design**

#### **A. PRELIMINARY DESIGN**

1. **Utility Coordination**
  - a. **Location Maps**
    - i. Creation of a GIS-based utility and irrigation map book that identifies the known utilities and irrigation crossings within the project limits.
  - b. **Reviews and Investigations**
    - i. Creation of a utility and irrigation tracking spreadsheet to identify, monitor and coordinate impacts to these entities within the project limits.
  - c. **SUE Investigation**
    - i. SUE will be planned to be performed as part of preliminary design, roughly in Spring 2022 as weather allows to be in compliance with ASCE 38-02.

#### **Utility Deliverables:**

- Location Maps
- Irrigation and Utility Tracking Spreadsheet

2. **Drainage Coordination**

- a. Perform preliminary investigation of culverts and drainage ditches.

#### **Drainage Deliverables:**

- Location Map
- Preliminary plan information, assumed to be included in roadway plans

**3. Roadway Design and Roadside Development**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

a. Roadway Design

- i. Initial design validation
- ii. Roadway design criteria

**Roadway Deliverables:**

- Preliminary Roadway Typical sections, Plans and Profiles
- Preliminary opinion of probable construction cost (OPCC)

**FINAL DESIGN**

**1. Utility Coordination**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

a. Utility Design

- i. Initial design validation

**Utility Deliverables:**

- Final Plans and Specifications
- Utility clearance letter
- SUE Plans

**2. Drainage Coordination**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

a. Drainage Design

- i. Initial design validation

**Drainage Deliverables:**

- Final Plans, specifications
- Final drainage memorandum

**3. Roadway Design and Roadside Development**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

a. Roadway Design

- i. Finalize design plan and specifications and prepare cost estimate

**Roadway Deliverables:**

- Final Plans (removals, signing, markings will be shown on Roadway Plans), specifications
- Final OPCC
- Construction procurement documents (if necessary).

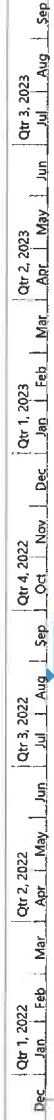
#### **ASSUMPTIONS AND EXCLUSIONS**

- Scope does not include any ROW acquisition or need for plans (General).
- Assumes no utility relocations (Utilities).
- Assumes no Section 7 Consultation is required (Environmental).
- Assumes no wetland delineation is required (Environmental).
- Assumes no construction phasing plans (Roadway)
- Assumes no approach road, driveway, or intersection details (roadway)





ID	Task Name	Start	Finish	Duration
31	Final Plans, Specs, Memo	Mon 8/22/22	Fri 9/23/22	25 days
32	Final OPCC	Mon 9/26/22	Mon 10/3/22	6 days
33	<b>Final Design Review</b>	Mon 10/3/22	Tue 1/17/23	76 days
34	Internal QA/QC	Mon 10/3/22	Wed 10/12/22	8 days
35	Send to Town, Agencies for Review	Fri 10/14/22	Fri 10/14/22	0 days
36	Town, Agencies Review	Mon 10/17/22	Wed 11/2/22	13 days
37	Comment Review Meeting	Wed 11/9/22	Wed 11/9/22	0 days
38	Address Comments	Thu 11/10/22	Thu 12/8/22	21 days
39	Final Plans, Specifications Submitted	Fri 12/9/22	Fri 12/9/22	0 days
40	Town Board Approval	Tue 1/17/23	Tue 1/17/23	0 days
41	<b>Construction</b>	Wed 1/18/23	Fri 9/8/23	168 days
42	Construction Procurement Documents	Wed 1/18/23	Fri 3/10/23	38 days
43	Bidding, Opening, Contractor Selection, Contracting	Mon 3/13/23	Wed 5/31/23	58 days
44	Construction Duration	Thu 6/1/23	Fri 9/8/23	72 days



Task

Split

Milestone

Summary

Project Summary

Inactive Task

Inactive Milestone

Inactive Summary

Manual Task

Duration-only

Manual Summary Rollup

Manual Summary

Start-only

Finish-only

External Tasks

External Milestone

Deadline

Critical

Critical Split

Progress

Manual Progress

Project: Spruce Creek Road Pro  
Date: Fri 12/17/21

ID	Task Name	Start	Finish	Duration	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
0	<b>Spruce Creek Road Project Schedule - DRAFT</b>	Mon 12/13/21	Fri 9/8/23	455 days																						
1	Environmental	Mon 12/13/21	Fri 2/11/22	45 days																						
2	IPAC, SWIFT, NWI wetland map Review	Mon 12/13/21	Fri 1/28/22	35 days																						
3	Biological Resources Report	Fri 1/21/22	Fri 2/11/22	16 days																						
4	Preliminary Design	Mon 12/13/21	Tue 3/15/22	67 days																						
5	Utility Coordination	Mon 12/13/21	Fri 2/4/22	40 days																						
6	Utility Investigation, Tracking	Mon 12/13/21	Fri 1/14/22	25 days																						
7	Location Maps	Mon 1/17/22	Fri 2/4/22	15 days																						
8	Drainage Coordination	Mon 12/13/21	Fri 2/11/22	45 days																						
9	Culvert and Drainage Investigation, Hydrology	Mon 12/13/21	Fri 1/21/22	30 days																						
10	Drainage Concept Design	Mon 1/24/22	Fri 2/11/22	15 days																						
11	Roadway Design and Roadside Development	Mon 12/13/21	Wed 2/23/22	53 days																						
12	Roadway Design	Mon 12/13/21	Fri 2/11/22	45 days																						
13	Preliminary OPCC	Mon 2/14/22	Wed 2/23/22	8 days																						
14	Preliminary Design Review	Mon 2/14/22	Tue 3/15/22	22 days																						
15	Internal QA/QC	Mon 2/14/22	Wed 2/23/22	8 days																						
16	Send to Town, Agencies for Review	Wed 2/23/22	Wed 2/23/22	0 days																						
17	Town, Agencies Review	Wed 2/23/22	Tue 3/15/22	15 days																						
18	Comment Review Meeting	Tue 3/15/22	Tue 3/15/22	0 days																						
19	Final Design	Tue 3/15/22	Tue 1/17/23	220 days																						
20	Site Visit Window	Mon 5/2/22	Thu 6/30/22	44 days																						
21	Public/Stakeholder Engagement Window	Fri 4/1/22	Wed 8/31/22	109 days																						
22	Utility Coordination	Wed 6/1/22	Fri 11/18/22	123 days																						
23	SUE Survey and Plans	Wed 6/1/22	Fri 7/29/22	43 days																						
24	Utility Plans and Specifications	Mon 8/1/22	Fri 9/23/22	40 days																						
25	Utility Clearance Letters	Mon 9/26/22	Fri 11/18/22	40 days																						
26	Drainage Coordination	Tue 3/15/22	Fri 9/23/22	139 days																						
27	Final Design	Tue 3/15/22	Fri 8/19/22	114 days																						
28	Final Plans, Specs, Memo	Mon 8/22/22	Fri 9/23/22	25 days																						
29	Roadway Design and Roadside Development	Tue 3/15/22	Mon 10/3/22	145 days																						
30	Final Design	Tue 3/15/22	Fri 8/19/22	114 days																						

Project: Spruce Creek Road Pro  
Date: Fri 12/17/21

Task Split Milestone Summary Project Summary

Inactive Task Inactive Milestone Inactive Summary Manual Task Duration-only

Manual Summary Rollup External Milestone Manual Summary Start-only Finish-only External Tasks

Manual Progress

Deadline Critical Critical Split Progress

## Memorandum

**Project:** Spruce Creek Road and Crown Drive

**To:** Michelle Eddy; Town of Blue River Trustees

**From:** Jeff Wulliman, PE  
Steven Humphrey, PE

**Date:** January 17, 2023

**Subject:** Initial Opinion for Spruce Creek Road and Crown Drive

**Attachment 1:** Spruce Creek Road Preliminary Plan and Profile

**Attachment 2:** Crown Drive Profile and Cross Sections Exhibit

**Attachment 3:** Gold Nugget Drive Initial Profile Exhibit

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This memorandum summarizes the background, initial analysis, and proposed recommended options to address observed issues at Spruce Creek Road and Crown Drive for consideration by the Town of Blue River Board Members. Attachments providing additional information regarding the existing conditions are included. The details of this memorandum and attachments will be a topic of discussion at the Board Meeting on January 31<sup>st</sup>, 2023, to discuss options the Town would like to explore. A supplementary scope of work and associated fee would then be developed to explore the shortlisted options and arrive at a final recommended design through engineering analysis, resident engagement, and stakeholder coordination.

### Background:

Muller Engineering Company worked with the Town of Blue River and its residents to develop a Capital Improvement Plan in 2018 to help the Town identify, plan and program its future capital projects. Through input from the Town Residents from online surveys and public meetings, as well as through coordination with the Town Board and staff, Crown Drive and Spruce Creek Road were identified as potential projects to include in the Plan. The excerpts below are from public feedback received through the Capital Improvement Plan's development process:

- Spruce Creek Road:
  - *Much needed improvement from Crown Drive to the highway. There is nothing proposed about improving and stabilizing Spruce Creek Road upslope south to the Town limit. That section of roadway has been eroding for years and requires major work.*
  - *Spruce Creek Road Improvements - I think this is a very needed project on a heavily used portion of roadway.*
  
- Crown Drive:

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- o *Culvert needed Crown Drive and Golden Crown Lane. Run off leaves a very deep groove in the road. Been getting deeper and deeper each year. Crown subdivision should be paved. the dirt roads are extremely bumpy and dangerous. Culverts and potholes deteriorate quickly.*

In 2021, the Town selected Spruce Creek Road to be the first project to progress towards design out of the Capital Improvement Plan, with Crown Drive intended to be the next project in the following years. In December 2021, Muller Engineering Company was contracted to provide preliminary and final design, as well as utility, environmental, public, and stakeholder coordination for Spruce Creek Road.

Preliminary design for Spruce Creek Road was completed in February 2022 and reviewed with the Town Board in May 2022 following Trustee elections. The preliminary design, attached to this memo, recommended minor vertical alignment improvements, ditch grading and culverts, and minor intersection adjustments to Highway 9 and Spruce Creek Road. The preliminary design also recommended paving Spruce Creek Road. These minor adjustments were proposed to minimize impacts to adjacent residents without requiring more costly infrastructure such as wall treatments.

At the May 2022 Board Meeting, the Trustee's expressed their desire to further review the cost and impacts associated with more significant improvements at Spruce Creek Road to weigh them against the benefits of a more permanent solution. Additionally, at the meeting an idea was identified to review the implications of treating Spruce Creek Road as a One-Way access uphill (westbound), directing downhill (eastbound) traffic to access Highway 9 from Crown Drive. Following the meeting, the preliminary design was not further pursued as additional conceptual options were considered.

In July 2022, Muller Engineering Company met with Town Administrator Michelle Eddy to review potential options for Spruce Creek Road which included more significant profile adjustments, realigning Spruce Creek Road, and further pursuing the One-Way concept originally identified in May. Because potential options for Spruce Creek Road considered Crown Drive, and because Crown Drive is intended to be the subject of the Town's next project, the Town made the decision to obtain survey of Crown Drive and to combine them into one project with Spruce Creek Road. As overall access from Highway 9 to Crystal Peak Wilderness was under review, the decision was made to also obtain survey for Gold Nugget Drive.

In December 2022, Muller Engineering Company received the completed survey for Crown Drive and Gold Nugget Drive to begin reviewing existing conditions and determining available options to propose to the Town Board of Trustees.

## Existing Conditions

This section summarizes the existing conditions of Spruce Creek Road, Crown Drive, and Gold Nugget Drive to provide a framework for the proposed options and issues below.



Figure 1 Vicinity Map

### Spruce Creek Road from Crown Drive to Highway 9:

#### Roadway:

Spruce Creek Road has two steep pitches separated by a relatively flat landing near the intersection with Gold Nugget Drive. The average slope is just under 9%, though the maximum slope is over 13%. The road is narrow with steep embankment slopes on either side, including a steep slope adjacent to the property at 97 Spruce Creek Road. Key parameters are included in the table below:

Spruce Creek Road Key Roadway Parameters	
Length	800 feet
Surface Type	Gravel
Width	20+ feet, varies
Vertical Profile	9-13% with one 0.5% landing
Embankment Slopes	Steep (2:1 +)
Private accesses	Four (4)
Intersections	Highway 9 Miners Court Louis Placer Road Gold Nugget Drive Crown Drive

#### Highway 9 Intersection:

Spruce Creek Road's profile is over 12% leading up to its intersection with Highway 9. It connects to Highway 9 at a skew and in a location between two curves in the Highway with poor sight distance. An initial review of CDOT safety reports on Highway 9 indicate that there was one rear end crash (minor injury) at Spruce Creek Road over the last six years. Additional investigation would be required to obtain the narrative reports of the incident. CDOT safety reports do not capture unreported incidents or "near misses". There have been reports from Town staff and residents who have observed "near misses" at the intersection.

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Initial Opinion for Spruce Creek Road and Crown Drive

*Drainage:*

Runoff generally flows west to east, south to north in this location. Most runoff north of Spruce Creek Road drains away from the road. Runoff south of Spruce Creek Road is captured in an informal ditch or flows down the road. Drainage upstream of the access at 97 Spruce Creek Road flows into a pipe under the road and outfalls to a valley to the north. Further downstream, runoff flows down an informal ditch to a culvert under Highway 9, outfalling to the Tarn.

*Access and Use:*

Spruce Creek Road provides access to 15 properties; four on Spruce Creek Road, three through Miner Court, and eight through Louis Placer Road. Many on Crown Drive and Gold Nugget use Spruce Creek Road as access but it is not the only access.

Additionally, Spruce Creek Road provides access to popular recreation opportunities further south and experiences extremely heavy use during the summertime months. Winter recreation is growing in popularity as well.

**Crown Drive from Spruce Creek Road to Highway 9:**

*Roadway:*

From Spruce Creek Road, Crown Drive climbs to a peak at the property address 389 Crown Drive, then slopes downhill to the intersection with Highway 9. The average slope uphill is just under 9%, and the average slope from the peak to Highway 9 is also just under 9%. The maximum slope is over 13% near the property at 293 Crown Drive. The road is narrow with steep embankment slopes on either side, including a steep slope adjacent to the property at 97 Spruce Creek Road. Key parameters are included in the table below:

<b>Crown Drive Key Roadway Parameters</b>	
Length	2,800 feet
Surface Type	Gravel
Width	Narrow 18- 20 feet
Vertical Profile	6-13%, 0.5% at Hwy 9
Embankment Slopes	Steep (2:1 +)
Private accesses	Thirty (30)
Intersections	Highway 9 Gold Nugget Drive Golden Crown Lane Lodestone Trail Spruce Creek Road

*Highway 9 Intersection:*

Crown Drive’s profile flattens to 0-0.5% leading up to its intersection with Highway 9. It connects to Highway 9 straight-on and in a location along a straighter section in the Highway with improved sight distance to Highway 9 and Spruce Creek Road. An initial review of CDOT safety reports on Highway 9 indicate that there was one embankment (run-off-road) and one rear end crash (both property damage only) at Crown Drive over the last six years. Additional investigation would be required to obtain the narrative reports of the incidents. CDOT safety reports do not capture unreported incidents or “near misses”.

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*Drainage:*

Runoff area contributing to Crown Drive is generally limited to the properties west of the roadway. There is a high point in Crown Drive approximately 800 lf north of the intersection with Spruce Creek Road. Runoff generally flows from the high point of Crown Drive and longitudinally down the roadway north or south. Runoff flowing south connects to Spruce Creek Road drainage. Runoff flowing north is captured in an informal ditch or flows down the road. Further north, runoff flows down an informal ditch to a culvert under Crown Drive, outfalling to the field just north of the intersection of Crown Drive and Highway 9.

It appears that larger offsite flows converge with Crown Drive approximately 200 feet southwest of the intersection with Highway 9. There are several driveways at this location. Significant improvements to Crown Drive may result in special attention to this location. Actual conditions would be verified with on-site investigation.

*Access and Use:*

Crown Drive provides access to approximately 37 properties; thirty on Crown Drive, and seven through Golden Crown Lane and Lodestone Trail.

Although it is not the primary recreational access, it does experience elevated traffic in the summer months as described above with Spruce Creek Road.

**Gold Nugget Drive from Crown Drive to Spruce Creek Road:**

*Roadway:*

Gold Nugget Drive's profile contains three vertical crests and two sag curves. From Spruce Creek Road, Gold Nugget Drive climbs shortly before dropping down to a low point at station 16+80, at the property on 332 Gold Nugget Drive. From there it gradually climbs to a peak before dropping to its lowest point at station 6+00, 137 Gold Nugget Drive, then climbs again to a peak before dropping down to its intersection with Crown Drive. The average slopes range from 4 to 8%, with maximum slopes occurring at the tie-in with Crown Drive at nearly 10%. The road is narrow with sections of steep embankment slopes on either side. Key parameters are included in the table below:

<b>Gold Nugget Drive Key Roadway Parameters</b>	
Length	2,034 feet (+920 feet Crown to Hwy 9)
Surface Type	Gravel
Width	Narrow 18- 20 feet
Vertical Profile	4-8%, max 9.7%
Embankment Slopes	Steep (2:1 +)
Private accesses	Nine (9)
Intersections	Crown Drive Nugget Lane Spruce Creek Road

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Initial Opinion for Spruce Creek Road and Crown Drive

*Drainage:*

Runoff contributing to Gold Nugget is generally from the area between Crown Drive and Gold Nugget. Overall topography slopes from west to east. There are two low points in Gold Nugget at approximately 600 feet and 1700 feet south the intersection with Crown Drive. Much of Gold Nugget drains towards the first low point at 600 feet while the low point at 1700 feet is much higher in elevation and appears to drain a smaller offsite area. From each low point, runoff will flow northeast towards Highway 9 and is controlled in roadside ditches and culverts which outfall to the Tarn. There are small informal ditches along much of the west side of Gold Nugget while the topography generally slopes away from the roadway on the east.

There is a house on the downstream side of the roadway at the location of the first low point (approx. 600 ft south of Crown Drive, 137 Gold Nugget Drive). No culverts or storm conveyance were surveyed at this location or visible from aerial imagery. Conveying drainage across Gold Nugget at this location will require special attention due to the proximity of the house, although it appears that runoff will generally spill across the roadway and away from the site before reaching this low point. Actual conditions would be verified with on-site investigation.

The second low point (approx. 1700 ft south of Crown Drive) appears to have a culvert to drain the contributing area across Gold Nugget, although the culvert was not surveyed.

*Access and Use:*

Crown Drive provides access to approximately 13 properties: nine on Gold Nugget Drive, and four through Nugget Lane.

**Identifying the Project:**

**Issues to Address**

The issues observed by Muller Engineering Company and Town staff that are important to address with the project scope can be defined under the larger issues of safety and maintenance.

*Safety:*

- Spruce Creek Road approach and intersection with Highway 9.
- Spruce Creek Road is very steep and can be hazardous in the winter.
- Crown Drive is steep and narrow in sections and can be hazardous in the winter.
- Speeding through Town streets.

*Maintenance:*

- Significant maintenance burden on Spruce Creek Road to address washboarding and potholes from heavy use.
- Maintenance burden on Crown Drive to manage washboarding and potholing
- Maintenance issues from rutting caused by runoff on Spruce Creek Road
- Maintenance issues from rutting caused by runoff on Crown Drive.



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- Increased maintenance and road grading affect drainage and fill in culverts with road material

### Project Factors

In seeking to address the issues above, the project scope needs to consider the following project factors:

- Upfront cost (capital to construct the project)
- Long-term maintenance burden
- Aesthetic feel of the Town of Blue River
- Property impacts, including ROW acquisition and access
- Public engagement and input
- Environmental impacts
- Utility conflicts and coordination

### Potential Options to Evaluate

The following conceptual options have been developed based on initial assessment of the survey data and previous feedback from the Town of Blue River. There are several available options that can help address the identified issues, but each comes with its own risks or drawbacks as it relates to the overall Project Factors.

#### Traffic Routing-Based Options

Recreational user traffic is a major factor in this area of the Town and must be included as roadway improvements are considered. In the following options, "uphill" refers to access from Highway 9 to Crystal Peak Wilderness, and "downhill" refers to access returning from Crystal Peak Wilderness to Highway 9.

<b>Traffic Option 1: "Do Nothing"</b>	
<b>Description:</b> Maintain recreation access up and down Spruce Creek Road.	
<b>Benefit:</b> <ul style="list-style-type: none"> <li>• Low impact to residents on Crown Drive and Gold Nugget Drive</li> <li>• Higher town maintenance burden on shorter segment of road.</li> </ul>	<b>Risk:</b> <ul style="list-style-type: none"> <li>• Continued use of hazardous Spruce Creek Road and Highway 9 intersection.</li> </ul>
<b>Consideration:</b> While not addressing the intersection safety with Highway 9, current recreational access impacts the shortest section of roadway today.	

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<b>Traffic Option 2: Crown Drive Downhill</b>	
<b>Description:</b> Make Spruce Creek Road one-way uphill to Crown Drive, route downhill traffic onto Crown Drive to Highway 9.	
<b>Implementation:</b> Re-grade Spruce Creek and Crown Drive intersection, include signage to promote through traffic onto Crown Drive. Profile changes to steep sections of Crown Drive. Anticipate some recreational and local traffic would continue to use Spruce Creek Road in the wrong direction	
<b>Benefit:</b>	<b>Risk:</b>
<ul style="list-style-type: none"> <li>Downhill users access Highway 9 at Crown Drive instead of Spruce Creek Road.</li> </ul>	<ul style="list-style-type: none"> <li>Crown Drive increases length of unpaved roadway used by recreation traffic that the Town maintains.</li> <li>Crown Drive has similarly steep slopes to Spruce Creek Road.</li> <li>Adverse resident feedback on increased traffic on Crown Drive.</li> </ul>
<b>Consideration:</b> Improvements to Crown Drive are needed to mitigate increased maintenance burden to the Town.	

<b>Traffic Option 3: Gold Nugget Drive Downhill</b>	
<b>Description:</b> Make Spruce Creek Road One-Way uphill to Gold Nugget Drive, route downhill traffic onto Gold Nugget Drive to Crown Drive to Highway 9.	
<b>Implementation:</b> Re-grade intersections with Crown Drive as well as Spruce Creek Road, signage to promote through-traffic onto Gold Nugget Drive. Anticipate local and some recreation traffic would continue to use Spruce Creek Road in the wrong direction.	
<b>Benefit:</b>	<b>Risk:</b>
<ul style="list-style-type: none"> <li>Downhill users access Highway 9 at Crown Drive instead of Spruce Creek Road.</li> <li>Gold Nugget Drive has the most mild grades of the three roads.</li> <li>Gold Nugget Drive has fewer properties and accesses than Crown Drive.</li> </ul>	<ul style="list-style-type: none"> <li>Gold Nugget Drive increases length of unpaved roadway used by recreation traffic that the Town maintains.</li> <li>Adverse resident feedback on increased traffic on Gold Nugget and Crown Drive.</li> </ul>
<b>Consideration:</b> Improvements to Gold Nugget and Crown Drive are needed to mitigate increased maintenance burden to the Town. Long-term recreational shuttle access may benefit from a gentler profile.	

*Roadway Improvement Options:*

As described above, the existing roadways in the Town are narrow with steep profiles and embankment slopes. As Muller Engineering Company and the Town review improvements, the more significant the improvement, the greater the project footprint and adjacent impact becomes, which needs to be balanced against the benefit of the improvements. The information

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below summarizes “lighter scope” and “heavier scope” options for the Town’s consideration. The desirable traffic routing option may influence where a heavier scope option is applied.

For all options considering asphalt pavement on steep slopes: Consultation with a geotechnical engineer will be required to determine implementation and the appropriate pavement section.

For options considering walls: Consultation with a geotechnical engineer will be required to determine implementation and the appropriate foundation details. Muller Engineering Company is also compiling wall type options implemented on other projects that are relatively cost-effective, lower maintenance, and can uphold the desired aesthetic of the Town of Blue River.

These options are concept-level; those desirable to the Town can be further analyzed for feasibility following discussion on January 31<sup>st</sup>, 2023.

<b>Spruce Creek Road (Lighter Scope) (see Preliminary Design)</b>	
<b>Overall Scope:</b> Pave, perform minor roadway, drainage, and Hwy 9 intersection improvements to avoid property impacts or ROW needs.	
<b>Implementation:</b>	
<ul style="list-style-type: none"> <li>• Perform profile adjustments where possible to flatten slope, especially at approach to Highway 9.</li> <li>• Replace culverts and install formal ditches on south side of Spruce Creek Road.</li> <li>• Work with CDOT on Highway 9 intersection, reducing skew and adjusting asphalt apron.</li> <li>• Consider asphalt pavement and appropriate pavement section.</li> </ul>	
<b>Benefit:</b>	<b>Risk:</b>
<ul style="list-style-type: none"> <li>• No significant environmental or resident impacts anticipated.</li> <li>• Gravel to pavement transition at Highway 9 addressed.</li> <li>• Maintenance burden to Town reduced</li> </ul>	<ul style="list-style-type: none"> <li>• Capital investment does not completely address the issues</li> <li>• Observed speeding may increase with pavement and addition of super elevations</li> <li>• Road may freeze-thaw, causing icy roads</li> </ul>
<b>Potential Limitations:</b>	
<ul style="list-style-type: none"> <li>• Appropriate pavement section for steep slopes.</li> </ul>	
<b>Project Value:</b>	
<ul style="list-style-type: none"> <li>• Lighter cost and impacts with proportional benefits</li> </ul>	

<b>Spruce Creek Road (Heavier Scope)</b>
<b>Overall Scope:</b> Pave, regrade steep sections of Spruce Creek Road to extent possible without impacting houses.
<b>Implementation:</b>
<ul style="list-style-type: none"> <li>• Perform major profile adjustments to extent possible, especially at approach to Highway 9, tying into road where profile levels out.</li> </ul>

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<ul style="list-style-type: none"> <li>Determine extent of embankment slope extension, utilize walls to avoid impacts to houses.</li> <li>Regrade property accesses and intersections with Miner Court, Louis Placer Road, and Gold Nugget Drive.</li> <li>Replace culverts and install formal ditches on south side of Spruce Creek Road.</li> <li>Work with CDOT on Highway 9 intersection, reducing skew and adjusting asphalt apron.</li> <li>Consider asphalt pavement and appropriate pavement section.</li> </ul>	
<p><b>Benefit:</b></p> <ul style="list-style-type: none"> <li>More significant adjustment to approach with Highway 9</li> <li>Road maintenance burden to Town reduced</li> </ul>	<p><b>Risk:</b></p> <ul style="list-style-type: none"> <li>Highway 9 intersection remains with minor improvements</li> <li>Wall installation and maintenance required</li> <li>ROW required</li> <li>Access reconstruction required</li> <li>Similar risks to lighter scope</li> </ul>
<p><b>Potential Limitations:</b></p> <ul style="list-style-type: none"> <li>Embankment slope and property at 97 Spruce Creek Road are extremely close to Spruce Creek Road and may limit ability to adjust roadway profile without large wall treatments</li> </ul>	
<p><b>Project Value:</b></p> <ul style="list-style-type: none"> <li>Higher cost and impact, increase in benefits though all issues may not be addressed.</li> </ul>	

<p><b>Crown Drive (Lighter Scope)</b></p>	
<p><b>Overall Scope:</b> Perform minor roadway and drainage improvements to limit property impacts or ROW needs.</p>	
<p><b>Implementation:</b></p> <ul style="list-style-type: none"> <li>Perform profile adjustments where possible to flatten slope at steeper sections.</li> <li>Replace culvert at intersection with Gold Nugget Drive</li> <li>Improve drainage conveyance down Crown Drive, including addressing offsite basin conveyance as possible.</li> <li>Consider asphalt pavement and appropriate pavement section.</li> </ul>	
<p><b>Benefit:</b></p> <ul style="list-style-type: none"> <li>Addresses issues identified in Capital Improvement Plan</li> <li>Limits impact to adjacent properties</li> </ul>	<p><b>Risk:</b></p> <ul style="list-style-type: none"> <li>Increased maintenance burden if traffic is routed via Crown Drive</li> <li>Offsite drainage may not be fully addressed</li> </ul>
<p><b>Potential Limitations:</b></p> <ul style="list-style-type: none"> <li>Appropriate pavement section for steep slopes</li> </ul>	
<p><b>Project Value:</b></p> <ul style="list-style-type: none"> <li>Lighter cost and impacts with proportional benefits</li> </ul>	

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<b>Crown Drive (Heavier Scope)</b>	
<b>Overall Scope:</b> Regrade steep sections of Crown Drive, consider pavement, and formalize drainage conveyance to extent possible without impacting houses.	
<b>Implementation:</b>	
<ul style="list-style-type: none"> <li>• Perform major profile adjustments to address Crown Drive's peak</li> <li>• Determine extent of embankment slope extension, utilize walls to avoid impacts to houses.</li> <li>• Regrade property accesses and intersections required.</li> <li>• Formalize drainage conveyance with ditches and driveway culverts along Crown Drive, including offsite drainage on west side of Crown Drive.</li> <li>• Consider asphalt pavement and appropriate pavement section.</li> </ul>	
<b>Benefit:</b>	<b>Risk:</b>
<ul style="list-style-type: none"> <li>• More substantial leveling out of the profile of Crown Drive</li> <li>• Formal drainage conveyance to address offsite basin</li> <li>• Unpaved road maintenance burden to Town reduced</li> </ul>	<ul style="list-style-type: none"> <li>• Wall installation and maintenance required</li> <li>• ROW required</li> <li>• Access reconstruction required</li> <li>• Increased maintenance for drainage infrastructure possible</li> </ul>
<b>Potential Limitations:</b>	
<ul style="list-style-type: none"> <li>• Offsite drainage basin at Crown Drive may require significant drainage conveyance improvements to fully address.</li> <li>• Tie-in to property accesses at Crown Drive peak may limit ability to adjust slope.</li> </ul>	
<b>Project Value:</b>	
<ul style="list-style-type: none"> <li>• Higher cost and impact but addresses major concerns. Requires additional evaluation and public coordination.</li> </ul>	

<b>Gold Nugget Drive (Heavier Scope) – considered if traffic option 3 is selected</b>	
<b>Overall Scope:</b> Pave Golden Nugget Drive and portion of Crown Drive, rebuild intersections, and formalize drainage conveyance to extent possible without impacting houses.	
<b>Implementation:</b>	
<ul style="list-style-type: none"> <li>• Perform minor adjustments to Golden Nugget profile and part of Crown Drive profile.</li> <li>• Regrade and design intersections at Crown Drive and Gold Nugget Drive.</li> <li>• Determine extent of embankment slope extension, utilize walls to avoid impacts to houses.</li> <li>• Regrade property access tie-ins as required.</li> <li>• Formalize drainage conveyance with ditches and driveway culverts along Gold Nugget Drive, including low point at station 6+00, and Crown Drive, including offsite drainage on west side of Crown Drive.</li> <li>• Consider asphalt pavement and appropriate pavement section.</li> </ul>	
<b>Benefit:</b>	<b>Risk:</b>

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January 17, 2023

Spruce Creek Road and Crown Drive  
Initial Opinion for Spruce Creek Road and Crown Drive

<ul style="list-style-type: none"> <li>• Gold Nugget Drive requires less significant profile adjustments</li> <li>• Less use of Spruce Creek Road and Highway 9 intersection</li> <li>• Formal drainage conveyance to address offsite basin at Crown Drive</li> <li>• Unpaved road maintenance burden to Town reduced</li> </ul>	<ul style="list-style-type: none"> <li>• Intersection(s) re-design needed, ROW may be needed</li> <li>• Public impact for residents</li> <li>• Increased maintenance for drainage infrastructure possible</li> <li>• Addressing low-point drainage at Gold Nugget Drive</li> </ul>
<p><b>Potential Limitations:</b></p> <ul style="list-style-type: none"> <li>• Offsite drainage basin at Crown Drive may require significant drainage conveyance improvements to fully address.</li> <li>• Addressing drainage low-point at Gold Nugget Drive at station 6+00 may require offsite ditch grading outside of roadway limits</li> </ul>	
<p><b>Project Value:</b></p> <ul style="list-style-type: none"> <li>• Higher cost and impact but addresses major concerns. Requires additional evaluation and public coordination</li> </ul>	

**Recommendation:**

We recommend the Board of Trustees review the information included in this memorandum to prepare for a discussion regarding this project at the January 31<sup>st</sup> Board Meeting. The desired outcome of the meeting is to review and identify which traffic options the Town would like Muller Engineering Company to continue to pursue for feasibility and implementation. Our recommendation on roadway improvements is to establish base design for the lighter scope options, and work with the Town to identify any opportunities to implement heavier scope items on a case by case basis. Upon confirmation of the path forward, Muller Engineering Company will develop an adjusted scope, fee, schedule, and approach to perform the analysis and engage the residents to determine the appropriate solutions for the Spruce Creek Road and Crown Drive project.

**Gravel Road Treatment Comparisons**

**Dust Palliatives**

<u>Treatments:</u>	<u>Pro</u>	<u>Con</u>	<u>Cost</u>
Magnesium Chloride	Spray and shallow mix Easy Application Fair/Good for Dust	Soluble / Tarnishes Polished Aluminum High Rain and Snow carry away Disappears with moisture over time.	\$
Calcium Chloride	Spray or solid mix Spray Solution Easy Fair /Good Dust like MgCl	Soluble / Not readily Available in Colorado / Solid mixing requires Special equipment with dry process	\$\$
Lingosulfonate	Spray and shallow mixing Fair / Good Dust	Little History in Colorado Better in wet climates	\$
Asphalt Emulsions	Spray and possibly till Good For Dust Insoluble once cured Readily Available	Easy Application (Blade Mix or till)	\$\$\$

**Stabilization**

Clay in Aggregate	FHWA Req. 10-14% minus 200 Plastic Index 10 +/- Provides Cohesion Improves Drainage once compacted	Poor Dust Palliative Does not affect current Agg. gradual replacement of in-situ Agg.	<\$
Bentonite	Manufactured Clay like cohesive Good adhesion	Requires pug mill mixing Fair/Poor Dust Palliative Improves Drainage and Holds Aggregate	\$\$\$
Chlorides, Ca or Mg	Spray Application 1.5 to 2 percent by weight Fair to good Dust Palliative	Mixed 2 to 3 inch depth Bladed and Compacted Longevity since soluble	\$\$
Asphalt emulsion	Very Good Dust Palliative Typically Spray Application With blade mixing or till Also will stabilize ABC	Spray on Surface	\$\$\$
Hot Mix Pavement Min 3"	Low Dust / Long lasting Good Drainage	Initial Cost Long Term Maintenance Low Maintenance early	\$\$\$\$\$

**Note:**

EarthBind is a proprietary Asphalt Emulsion Treatment  
Improves stability and surface. Cost is highest, with better durability and longevity Is also the best  
?\$\$\$

EarthBind Stabilization  
Company has similar emulsion products to stabilize gravel roads  
Company has experts to provide recommendations for treatment, site specific.  
Blue Line out to Oregon also carries a complete line of treatments, including MgCl and Lingosulfonate. May have a local representative who could provide comparative treatment costs

Could also contact local emulsion suppliers or contractors to find out who supplies similar type of treatments.





Spruce Creek Road – Ideas presented and observations from Barrie Stimson

6.14.22 Onsite meeting with Michelle (Town Manager), Jeff and Levi (Muller Engineering), Ted Slaughter (Town Trustee) and Barrie Stimson (Resident 97 Spruce Creek Rd.)

Issues in Order of Priority

- 1. Safety at Hwy 9 mainly entering Hwy.
- 2. Dust
- 3. Noise from wash boards
- 4. Speed

Possible Solutions:

Pave Spruce Creek Rd from Hwy 9 to Crown Drive

Make Spruce Creek Rd One Way from Hwy 9 to Crown Drive. Coming down the road in winter is dangerous. One Way could give more room for cars that get stuck on are spinning more room to get off to the side and people could have a better chance of getting by. People could get to Hwy 9 coming down by going down Crown Drive or Gold Nugget. Pave Rd. 1 ½ lanes wide would save money instead of 2 lanes.

Install Two Speed Humps on Spruce Creek Rd. (install one half way up from Hwy 9 and one in between Gold Nugget and Crown Drive.) Best solution for deterring speed. Humps don't impeded emergency equipment or snowplows.

Two 15 Mile Per Hour signs on Spruce Creek coming up from Hwy 9. Move the one coming off highway to the telephone pole and install another one on stop sign at Gold Nugget.

The only thing I saw that got people to slow down was a cop parked on the road and the electric speed sign on the trailer.

Consider installing culvert all the way down Spruce Creek from Louise Placer Rd. This would give people even more room. Maybe line drainage all the way from Spruce Creek Rd and Crown Road intersection with rock to keep from continued erosion from runoff.

Clean culverts, under Hwy 9, Miner's Ct. under Spruce Creek Rd, between Crown Drive and Gold Nugget Dr., under Spruce Creek Rd at Spruce Creek Rd and Crown Dr intersection, under driveway at 148 Spruce Creek.

Explore use of Camera for speed control. The revenue from ticketing could also be beneficial to Town's Budget.

Consider trying a Drywell for drainage at low spot nearing intersection of Crown Drive and Hwy 9.



**info**

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**From:** Scott Jackman <sjackman4545@gmail.com>  
**Sent:** Monday, January 30, 2023 6:35 PM  
**To:** info  
**Subject:** Spruce Creek Road discussion

Dear Board of Trustees,

We have reviewed the board packet for Tuesday's trustees meeting on the topic of Spruce Creek Road concerns. We believe that Option 1-No Change, is the best choice. We don't see any justifications explained for the major changes recommended in Options 2 and 3.

Thank you for your consideration.

Scott and Lara Jackman  
26 Nugget Lane



**info**

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**From:** dougsue9@comcast.net  
**Sent:** Wednesday, January 25, 2023 12:56 PM  
**To:** info  
**Subject:** Spruce Creek Capital Project Review Feedback for Consideration

Board of Trustees, We have reviewed the report from Muller about possible options being considered for road improvements in the Crown subdivision. The overall feedback from neighbors so far is to leave the traffic patterns as is and increase maintenance and address Spruce Creek Rd and the Hwy 9/Spruce Creek entrance. Also look into more signage from CDOT on the hwy to slow down traffic. Here is a list of the homeowners that have agreed with this being the option we would like to look into. Thank You . Doug O'Brien

(Crown Dr)

Doug and Sue O'Brien 461 Crown Dr  
Mike and Sasha Koons 462 Crown Dr  
Adam and Jodie Willey 414 Crown D  
Dick and Barbara Childs 389 Crown Dr  
Brentt and Terry Johnson 164 Crown Dr

(Gold Nugget Dr)

Nathan and Michelle Ihrig 67 Gold Nugget Dr  
Robert and Theresa Rust 251 Gold Nugget Dr  
Mark and MJ Loufek 228 Gold Nugget Dr  
Stace and Terry Green 266 Gold Nugget Dr

(Golden Crown)

Cody and Annie Graybill 61 Golden Crown  
(Nugget Lane)  
Scott and Lara Jackman 26 Nugget Lane  
Mark and Gloria Thomas 48 Nugget Lane  
(Spruce Creek Rd)  
Kara Martella 143 Spruce Creek Rd

(Louise Placer)

Mark Orton 54 and 181 Louise Placer  
James Wehrmacher 106 Louise Placer  
Barbara Scheidegger 122 Louise Placer  
Gretchen Parker 105 Louise Placer

(Miners Court)

Jerry and Donna Grant 14 Miners Ct.



## **Amendment 1 Scope of Work** **Town of Blue River Spruce Creek Road Design Services**

Revised: June 13<sup>th</sup>, 2023  
(Updates to scope for Amendment 1 are shown in red)

### **Project Introduction**

#### **1. PROJECT BACKGROUND**

The Town of Blue River Spruce Creek Road project will consist of designing improvements for Spruce Creek Road, as well as Crown Drive, and Gold Nugget Road based on results from a topographic survey. These alternatives include options such as re-grading the road, pavement, improving the CO 9 to Spruce Creek Road transition, improving the CO 9 to Crown Drive transition, reviewing potential structural elements, and analyzing options for managing speed through Town roads.

#### **2. PROJECT GOALS**

The primary goals for the project are as follows:

- Maintain or improve safety by improving the CO 9 and Spruce Creek Road intersection to maintain better traction during the winter.
- Reduce the maintenance burden to the Town by improving grade and drainage on Town roads.

#### **3. PROJECT LIMITS**

This project is located along Spruce Creek Road from CO 9 to Crown Drive, down Crown Drive to CO 9, and along Gold Nugget Road in the Town of Blue River.

#### **4. PROJECT COSTS**

The total design cost of this project is estimated at \$144,459. \$69,566 for the original contract and an additional \$74,893 for the expanded scope in Amendment 1.

#### **5. WORK DURATION**

The total time for the work in this amendment is approximately 12 months, assuming to start in June 2023 to June 2024.

#### **6. CONSULTANT RESPONSIBILITY AND DUTIES**

Throughout the entirety of this project, the Consultant will be responsible for: Survey, Preliminary Design, Final Design, and construction procurement services (additional amendments may be required if needed).

#### **7. WORK PRODUCT**

The work in the scope of services for this project will be contracted on an individual Task Order

and amendment basis, as needed, or determined by the Town of Blue River.

## Project Management and Coordination

### 1. BLUE RIVER CONTACT

The Contract Administrator for this project is: Michelle Eddy, Town Manager and Project Manager (PM) as referenced below.

### 2. PROJECT COORDINATION

Coordination will be required with the following stakeholders:

- Colorado Department of Transportation (CDOT)
- Summit County
- Town of Blue River
- Residents along Spruce Creek Road
- Emergency Responders
- Interest Groups

The Consultant should anticipate that a design that affects another agency needs to be accepted by that agency prior to its acceptance by the Town of Blue River. Submittals to affected agencies will be coordinated with the Town of Blue River.

## Project Management and Coordination Meetings

### 1. PROJECT MEETINGS

All meetings except for site visits within this amendment are anticipated to be held virtually unless otherwise noted.

#### 1. Site Visit

The Consultant shall schedule and initiate a field visit to the project site during different milestones of the project. Three design team members are assumed – project manager, roadway design engineer, and hydraulics design engineer.

Design Check site visit – Spring/Summer 2022

The Consultant shall schedule and initiate a field visit in 2023 to the project site to review the expanded project area and Spruce Creek Road. Five design members are assumed: project manager, environmental coordinator, roadway design engineer, geotechnical engineer, and structural engineer.

Site visit: Summer 2023

#### 2. Progress/Project Meetings

The Consultant shall schedule, initiate, prepare materials, facilitate, participate and provide notes and action items for the following meetings:

- a. Project meetings (12 assumed)



- b. As-needed check in meetings with staff (12 assumed)
- c. Town Board meetings (5 total assumed, 2 in person)

**3. Public, Stakeholder Relations (no change in Amendment 1)**

The Consultant shall initiate and schedule all Public Relations efforts including setting up meetings with the internal and external stakeholders. The Consultant is also responsible for preparing appropriate presentation materials for all meetings.

- a. Public/Stakeholder Meetings
  - a. Three public/stakeholder meetings (3 meetings), 2 assumed in person

The Consultant will coordinate additional meetings with the Town to discuss project updates, coordination required with other stakeholders, problems encountered and potential solutions as part of item 2b above.

**Deliverables:**

- Meeting notes in OneNote - The Consultant shall take minutes at all meetings and provide the Town Project Manager access to the project notebook where all project meetings will be documented.
- Action Items and Decision Items List in One Note - When a definable task is discussed during a meeting, the minutes will identify the "Action Items", the agency responsible for accomplishing them, and the proposed completion date. Similarly, when a definable decision is made by the Board or town, it will be identified as such in the minutes in OneNote.

**2. PROJECT MANAGEMENT**

This project will require close coordination and collaboration with the Town.

Project Management activities will include:

**a. Overall Project Budget and Schedule**

An updated project budget and schedule has been developed and will be submitted. These will be regarded as the updated baseline against which status and progress are measured and reported. The Consultant will work with the Town Project Manager to ensure that invoices contain required documentation and backup and will coordinate with the Town business office as needed or requested by the Town Project Manager.

**b. Monthly Scope and Budget Updates:**

The Consultant shall monitor scope and budget and report progress monthly. The Consultant will develop and implement change management procedures to manage work progress. These updates as well as change management strategies will be documented in monthly progress reports accompanying the consultant invoices.

**c. Monthly Reporting and Billing**

The Consultant shall submit monthly progress reports that summarize:

- Work accomplished for the month
- Task percent complete
- Task percent expended
- Work planned for the upcoming month
- Change management updates

**d. General Project Management Responsibilities of Consultant**

The Consultant shall develop, manage, and implement project coordination strategies including:

- Prepare for and participate in project meetings - invitations, materials, execution, and documentation
- Maintain action items, decision log, scope log, issues tracking, etc.
- Document management for file share platforms, program level cost estimates and toggle spreadsheets, and Bluebeam reviews (if requested by the Town PM)

**Deliverables:**

- Monthly Invoice
- Monthly Progress Report
- Action Item and Decision Logs to be maintained on OneNote.

**C. DEVELOP A PROJECT SCHEDULE AND ASSIGN TASKS**

The Consultant will maintain a project schedule with key milestones. The schedule included in the Consultant’s amendment will be re-baselined as needed. Project schedule updates will be included in the monthly reporting as discussed in Section 5.B Project Management.

**Deliverables:**

- Overall Project Schedule to be maintained in Microsoft Project

**D. QUALITY ASSURANCE/QUALITY CONTROL (QA/QC)**

1. The Consultant will conduct internal QA/QC reviews of all deliverables throughout the process in accordance with Muller’s Quality Management Program (or equal).
2. Peer and interdisciplinary reviews of meeting and presentation materials will be conducted to provide consistency of project messages and communication. Quality reviews, Town reviews, Stakeholder reviews, and comment resolution periods will be incorporated into the project schedule for milestone submittals.

**Deliverables:**

- None

## Environmental Coordination

### A. PROJECT INITIATION

Project initiation has been covered in the original task order.

### B. DATA COLLECTION, FIELD INVESTIGATION, MITIGATION MEASURES AND DELIVERABLES

Prepare an Environmental Resources Memo to identify sensitive environmental resources and determine potential next steps. Resources to be investigated further:

1. **Threatened and Endangered (T&E) Species**
  - a. IPaC Review of updated project study area: The team will review the Information for Planning and Consultation (IPaC) from the US Fish and Wildlife Service (USFWS) to determine applicable species and habitat to this project.
  - b. Migratory birds and raptors will be considered for potential impacts to nests.
  - c. A tree inventory will be taken during the site visit to document existing conditions.
  - d. Note: It is assumed the project will result in a “no effect”. Additional scope will be required if Section 7 Consultation is needed with the U.S. Fish and Wildlife Service (USFWS).
2. **Wetland and Waters of the U.S. (WOTUS)**
  - a. The project team will review NWI maps to check for the presence of wetlands. It is assumed this project will not impact nearby wetlands or WOTUS, and that delineation of wetlands will not be required. [Included in previous scope efforts]
3. **Vegetation**
  - a. Identify vegetation within the study area including tree locations.
4. **Section 6(f) Properties**
  - a. Identify and properties improved with Land and Water Conservation Funds.
5. **Historic Properties**
  - a. The project team will review assessors data to locate any potentially historic properties.

#### Environmental Deliverables

- Environmental Resource Memo

## Preliminary Design

### A. PRELIMINARY DESIGN

1. **Utility Coordination**
  - a. Location Maps
    - i. Creation of a GIS-based utility map book that identifies the known utilities and irrigation crossings within the project limits.
  - b. Reviews and Investigations
    - i. Creation of a utility tracking spreadsheet to identify, monitor and coordinate

impacts to these entities within the project limits.

- c. SUE Investigation
  - i. SUE will be planned to be performed following preliminary design as weather allows to be in compliance with ASCE 38-02.

**Utility Deliverables:**

- Location Maps as received from providers.
- Utility Tracking Spreadsheet

**2. Drainage Coordination**

- a. Update layout of culverts and drainage ditches for alternative on Spruce Creek Road.
- b. Perform site visit and preliminary scoping investigation of culverts and drainage ditches on Crown Drive.
  - i. Provide preliminary layout of drainage improvements identified during site investigation.

**Drainage Deliverables:**

- Location Map
- Preliminary plan information, assumed to be included in roadway plans
- Preliminary opinion of probable construction cost (OPCC), assumed to be included in roadway OPCC.

**3. Roadway Design and Roadside Development**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

- a. Initial design validation
- b. Roadway design criteria
- c. Spruce Creek Road Improvements Assessment
  - i. Review survey for Crown Drive, Gold Nugget, and Spruce Creek Road to determine initial list of options, including one-way traffic routing (Dec/Jan 2023)
  - ii. Analyze and layout preliminary design options on Spruce Creek Road that significantly improve road grade at approach with Hwy 9 while minimizing adjacent impacts. Two options are assumed to be included in the assessment in addition to a “do nothing” option.
  - iii. Develop evaluation matrix and concept-level relative cost estimates for each option with recommended solution for Town consideration.
  - iv. Develop preliminary plans, profile, typical section and engineer’s estimate for recommended option.

- d. Crown Drive Improvements
  - i. Identify and provide concept design for baseline improvements to Crown Drive to address identified issues.

**Roadway Deliverables:**

- Preliminary Roadway Typical sections, Plans and Profiles
- Preliminary opinion of probable construction cost (OPCC)

**6. Structural Analysis**

- a. The Consultant will analyze feasibility and structure types for walls as identified through the Spruce Creek Road Assessment, providing structural selection recommendation and concept wall layouts.

**Structural Analysis Deliverables:**

- Structural selection memo and concept-level cost estimates.
- Structural general notes sheet.
- Plan and profile sheet for each retaining wall.
- Typical section of retaining wall with a design table.
- Structural details sheet.

**5. Geotechnical Analysis**

- a. The Consultant will coordinate with a geotechnical engineering firm Yeh & Associates for this scope.
  - i. Site assessment and onboarding: an initial meeting with Yeh pavement engineer and geotechnical engineer to introduce and onboard them to the project.
  - ii. Road surface type assessment: review the existing conditions of Spruce Creek Road, perform research and provide input and considerations for appropriate road surface types for the Town, including pavement and gravel options. Findings, recommendations, and preliminary cost estimates will be summarized in a memorandum.
  - iii. Preliminary embankment and structural investigation: the Consultant will provide initial review of existing slopes to provide preliminary embankment options and preliminary structural design parameters of any walls found to be required for options. No geotechnical subsurface data collection is anticipated as part of this scope. Findings, recommendations, and preliminary cost estimates will be summarized in a memorandum.

**Geotechnical Analysis Deliverables:**

- Road Surface Type Memorandum
- Preliminary Geotechnical Memorandum

**6. Traffic Analysis**

- b. Identify potential options to address speeding issue identified by residents.
- c. Develop design memorandum identifying options and summarizing the opportunities and challenges to their implementation on Spruce Creek Road and Crown Drive.

**Traffic Deliverables:**

- Design memorandum identifying options for speed control on Town streets.

**FINAL DESIGN (not included in current scope)**

**1. Utility Coordination**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

- ~~a. Utility Design
 
  - i. Initial design validation~~
- ~~b. Utility Coordination
 
  - i. Coordination with utility providers to assess feasibility of undergrounding utilities.~~

**Utility Deliverables:**

- ~~• Final Plans and Specifications~~
- ~~• Utility clearance letter~~
- ~~• SUE Plans as applicable~~

**2. Drainage Coordination**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

- ~~a. Drainage Design
 
  - i. Initial design validation~~

**Drainage Deliverables:**

- ~~• Final Plans, specifications~~
- ~~• Final Drainage Memorandum~~

**3. Roadway Design and Roadside Development**

All design activities will be coordinated with required Town project team staff, specialty units and other outside entities.

- ~~a. Roadway Design~~

Scope of Work  
Town of Blue River Spruce Creek Road Design Services

---

- ~~i. Finalize design plan and specifications and prepare cost estimate for selected option.~~

~~Roadway Deliverables:~~

- ~~• Final Plans (removals, signing, markings will be shown on Roadway Plans), specifications~~
- ~~• Final OPCC~~
- ~~• Construction procurement documents (if necessary).~~

**ASSUMPTIONS AND EXCLUSIONS**

- Scope does not include any ROW acquisition or need for plans (General).
- Assumes no utility relocations (Utilities).
- Environmental Resources not Investigated:
  - Air Quality
  - Noise Analysis
  - Hazmat
  - ~~○ Historic Resources~~
  - ~~○ Section 4(f)~~
- Assumes no Section 7 Consultation (Environmental).
- Assumes no wetland delineation (Environmental).
- Assumes no construction phasing plans (Roadway).
- A Drainage Letter is not included with this current scope.
- All walls will be of the same structure type.
- Preliminary engineering plans and concept validation is included in Amendment 1.
- Final design will be included in future amendments when the project scope is fully defined.

**MULLER ENGINEERING COMPANY  
PROJECT FEE ESTIMATE**

CLIENT: Town of Blue River  
 PROJECT: Spruce Creek Road Amendment 1  
 PROPOSAL NO.: MA PROJECT NO.: 11-008.20  
 PREPARED BY: JHW DATE: 6/13/2023  
 CHECKED BY: NIL PROPOSED FEE: \$ 74,893

TASK NO.	TASK DESCRIPTION	STAFF										EXPENSES			TOTALS				
		ENVIRONMENTAL PLANNING MANAGER 7	PROJECT MANAGER 6 (STRUCTURAL)	PROJECT MANAGER 6 (TRAFFIC)	PROJECT ENGINEERS 5 (HYDRAULICS)	DESIGN ENGINEERS 3 (STRUCTURAL)	DESIGN ENGINEERS 3 (ROADWAY)	ENVIRONMENTAL PLANNER 1	CAD 2	YEH PRINCIPAL ENGINEER (GEO TECHNICAL)	YEH SR. PROJECT MANAGER (PAVEMENT) ENGINEER	YEH SR. PROJECT MANAGER (GEO TECHNICAL) ENGINEER	ENVIRONMENTAL PLANNING MANAGER (GEO TECHNICAL) ENGINEER	OUTSIDE SERVICES (Base/lin)	MILEAGE	TIME (HOURS)	LABOR COST	EXPENSES	SUBTOTAL
		\$219	\$188	\$188	\$178	\$140	\$140	\$113	\$101	\$220	\$210	\$210	\$210	\$0	\$0	\$5,575/ml			
1	Project Management and Coordination Meetings Billing Rate >>>																		
1.1	Project Meetings																		
1.1.1	Site Visit		8	4	8	4	8												120
1.1.2	Progress/Project Meetings			4	4		4												5,092
1.1.3	Public, Stakeholder Meetings			4	4														4,184
1.2	Project Management																		
1.3	Project Schedule																		
1.4	Quality Assurance / Quality Control																		
	<b>SUBTOTAL</b>	4	12	4	12	0	12	0	12	0	12	0	0	0	0			32	5,092
2	Environmental Coordination																		
2.1	Project Initiation																		
2.2	Data Collection and Deliverables									20									4,184
	<b>SUBTOTAL</b>	5	0	0	0	0	0	0	0	20	0	0	0	0	0			25	3,355
3	Preliminary Design																		
3.1	Preliminary Design - Utility Coordination																		
	<b>SUBTOTAL</b>	0	0	0	0	0	0	0	0	0	0	0	0	0	0				
3.2	Preliminary Design - Drainage Spruce Creek Road - update ditch and culvert design for high impact alternative. Designer hours (level) to incorporate ditches into corridor. Update typical sections. Redlines for CAD.  Crown Drive - Layout preliminary ditch and culvert improvements. Level hours for alignment of Crown Drive, corridor for ditch only, and coordinating sheet setup. Typical section. Redlines for CAD  Crown Drive - Hydrology analysis for drainage improvements  Qty's/Cost for Crown Drive and Spruce Creek QC							10	4										
	<b>SUBTOTAL</b>	1	0	0	28	0	12	0	4									14	2,340
3.3	Roadway Design and Roadside Development Review survey, One-Way Assessment (Dec/Jan 2023) Analyze and layout preliminary options (three assumed) Option evaluation, assessment, concept costs Preliminary Plans, Profile, Typ Section Engineer's estimate for recommended option																		
	<b>SUBTOTAL</b>	0	0	0	0	0	0	0	25	14	8	65						25	3,500
3.4	Preliminary Design - Structural Structure Selection Memo (1 memo to discuss both walls) Typical Section (1 sheet with table for all design heights) Quantities and Cost Estimate																		
	<b>SUBTOTAL</b>	6	4	4	0	0	68	0	40	20	30	10						46	6,788
3.5	Preliminary Design - Geotechnical Analysis Site Assessment, Onboarding Road surface type research, memorandum																		
	<b>SUBTOTAL</b>	0	14	0	0	0	30	0	0	0	0	0	0	0	0			34	4,602
	<b>SUBTOTAL</b>	0	14	0	0	0	30	0	40	20	30	10						34	4,992
	<b>SUBTOTAL</b>	11	16	4	12	0	68	0	80	40	30	75						20	4,240
	<b>SUBTOTAL</b>	11	16	4	12	0	68	0	80	40	30	75						26	5,480











## Memorandum

**Project:** Spruce Creek Road

**To:** Michelle Eddy, Town Manager

**From:** Jeff Wulliman, PE  
Bob LaForce, PE – Yeh and Associates  
Levi Niesen, EI

**Date:** March 7, 2024

**Subject:** Spruce Creek Road Design Recommendation Memorandum

---

This memorandum is provided to solicit a decision on the pavement type and limits for Spruce Creek Road in the Town of Blue River.

### Background:

The purpose of the Spruce Creek Road Project is to address and improve upon the following issues observed by the Town and nearby residents.

- Safety
  - Highway 9 Intersection, Approach
- Maintenance
  - Reducing maintenance burden and cost to the Town.
  - Improving condition of Spruce Creek Road
- Dust Control
  - Noted issue from nearby residents
- Speeding
  - Noted issue from nearby residents
  - Speed capture information from September 2023 indicate the 85% percentile speed was 22 mi/hr.

### Alternative Improvements

The following options are considered for improvement type and limits. All options include the approach to CO 9 intersection grading improvements previously reviewed with the Town.

Memorandum  
March 7, 2024

Spruce Creek Road  
Spruce Creek Road Design Recommendation Memorandum

- Asphalt Pavement
  - Spruce Creek Road to Crown Drive
  - Spruce Creek Road to Gold Nugget Drive
  - Pave CO 9 Approach Only
- Continued MgCl and emulsified asphalt treatment (Earthbind)

**Assessment:**

The benefits and drawbacks of the various options are included below. This assessment references the memorandum titled *Discussion of Paving with HMA Versus Annual Treatment with Magnesium Chloride* by Yeh and Associates, attached.

For Asphalt Pavement Options:

These options assume a 4” thick pavement on 4” of base course. Annual costs are based on an expected 14-year service life of the asphalt prior to an overlay. The preliminary level cost estimates attached to this memo are coarse and should be taken for discussion between the options. Cost estimates can be refined with final design and quantities.

Design concept exhibits for each paving alternative are also attached to this memo.

**Alternative 1: Pave to Crown Drive**

Scope Description: Asphalt pavement on Spruce Creek Road to Crown Drive	
Cost: \$400,000	Annualized Cost*: \$29,000 / year
Pros: <ul style="list-style-type: none"> <li>• Minimal annual maintenance</li> <li>• Dust Elimination</li> </ul>	Cons: <ul style="list-style-type: none"> <li>• Most expensive option</li> <li>• Gravel/pavement transition on slope</li> <li>• Higher speeds</li> <li>• Replacement cost</li> <li>• Snow and ice control</li> </ul>
<p><b>In Summary: Not Recommended</b></p> <p>Paving all the way up to Crown will reduce dust along the entire stretch of Spruce Creek Road, but comes with additional cost. The transition between gravel and pavement is not in a flat location, which can cause issues with rutting and vehicles kicking up gravel onto the asphalt.</p> <p>Addressing cons: Revisions may be needed (e.g. sand, salt) to winter maintenance practices to prevent ice and packed ice along with plowing.</p>	

\*Assumes 14-yr service life (2024 Dollars)

**Alternative 2: Pave to Gold Nugget Drive**

Scope Description: Asphalt pavement on Spruce Creek Road from CO 9 to Gold Nugget.	
Cost: \$320,000	Annualized Cost*: \$23,000 / year
<b>Pros:</b> <ul style="list-style-type: none"> <li>Minimal annual maintenance</li> <li>Dust Reduction</li> <li>Gravel to pavement transition where the road is flat</li> <li>Reduced pavement cost</li> </ul>	<b>Cons:</b> <ul style="list-style-type: none"> <li>Higher speeds</li> <li>Replacement cost</li> <li>Snow and ice control</li> </ul>
<p><b>In Summary: Recommended Asphalt Pavement Option</b></p> <p>This option reduces gravel on the roadway, dust kick-up, and annual maintenance from the Town. The transition from gravel to pavement is on the flat section of roadway, which is the most ideal for reducing gravel-on-asphalt issues. Speeding may increase on asphalt, and there are long-term replacement costs that will be necessary.</p> <p>Addressing cons: Revisions may be needed (e.g. sand, salt) to winter maintenance practices to prevent ice and packed ice along with plowing.</p>	

\*Assumes 14-yr service life (2024 Dollars)

**Alternative 3: Pave Approach Only**

Scope Description: Pave approximately 70-ft up Spruce Creek Road from CO 9	
Cost: \$110,000	Annualized Cost*: \$8,000 / year
<b>Pros:</b> <ul style="list-style-type: none"> <li>Most inexpensive option</li> <li>Reduces gravel build-up on asphalt roadway at CO 9</li> <li>Meets CDOT access standards (50ft pavement minimum)</li> </ul>	<b>Cons:</b> <ul style="list-style-type: none"> <li>Pavement to gravel transition is on steep section</li> <li>Gravel anticipated to be kicked onto asphalt from uphill drivers which could affect traction on steep section</li> <li>Differential rutting at transition area may affect road condition without maintenance attention</li> <li>Does not address dust issue.</li> <li>Does not address maintenance issue</li> </ul>
<p><b>In Summary: Recommended if Alternative 2 not selected.</b></p> <p>While this option reduces gravel on the roadway at CO 9, the transition from gravel to pavement on the steep grade may cause other issues. Drivers may kick more gravel onto the roadway higher up the road, affecting traction on the steep section during dry months. A rut may also form between asphalt and gravel which may worsen travel down to CO 9 if not maintained.</p>	

\*Assumes 14-yr service life (2024 Dollars)

**Alternative 4: Profile Improvements and Continued MgCl Treatment & Emulsified Asphalt Treatment (e.g. Earthbind)**

Scope Description: Continue current road maintenance and treatment practices.	
Cost: \$70,000	Annualized Cost*: <ul style="list-style-type: none"> <li>• Construction: \$5,000 / year</li> <li>• MgCl/Earthbind: ~\$8,000 / year <ul style="list-style-type: none"> <li>◦ (Per G&amp;G)</li> </ul> </li> </ul>
Pros: <ul style="list-style-type: none"> <li>• Low cost of initial treatment</li> <li>• Fair to good dust control</li> </ul>	Cons: <ul style="list-style-type: none"> <li>• Limited improvement to Spruce Creek Road</li> <li>• Annual treatment required</li> <li>• Dust, loss of aggregate, washboarding</li> </ul>
<p><b>In Summary: Not recommended.</b></p> <p>This option improves the intersection with CO 9 at the lowest initial cost, though the improvements may have a shorter life span than asphalt. Previous improvements have regraded the profile of Spruce Creek, however, heavy traffic volumes, plowing, and maintenance over the years has seen the issues rapidly re-emerge. This alternative is likely to follow similar patterns and only serve as a temporary measure.</p>	

\*Assumes 14-yr service life (2024 Dollars)

**Recommendation:**

We recommend installing asphalt pavement and the associated grading and drainage improvements on Spruce Creek Road from CO 9 to Gold Nugget Drive.

**Attachment 1:** Discussion of Paving with HMA Versus Annual Treatment with Magnesium Chloride

**Attachment 2:** Preliminary Cost Estimates

**Attachment 3:** Design Alternative Exhibits



March 7, 2024

Project No. 223-108

Jeff Wulliman, PE  
Project Manager  
Muller Engineering Company  
7245 W. Alaska Driver, Suite 300  
Lakewood, Colorado 80226

**Re: Spruce Creek Road in Blue River, Colorado  
Discussion on Paving with HMA Versus Annual Treatment with Magnesium Chloride**

Dear Jeff:

Yeh and Associates have been asked to provide information and discussion addressing different possible treatments for the gravel road section of Spruce Creek Road between Colorado State Highway 9 (CO 9) and Crown Drive. This section of road is constructed with grades of up to 10 or 12 percent and the current practice of maintaining this section is grading as needed and an annual treatment of Magnesium Chloride (MgCl). We believe that the steep grade on this section of Spruce Creek Road causes a greater loss of aggregate on a regular basis from traffic accelerating up the steep grade and braking downhill on the approach to CO 9 than is experienced on more level roadway sections. We believe the uphill and downhill traffic also cause wash boarding to occur sooner than on level roads.

**Site Reconnaissance**

We inspected the section of road on October 17, 2023 after a recent treatment with MgCl and the road was observed to be in good condition and ready for winter. During the site visit, we also took soil samples of the subgrade adjacent to the road. The trip report is presented in Attachment A.

**Aggregate Surface Treatment Options**

Attachment B presents a review of numerous aggregate treatments that could be considered as alternatives to the current MgCl treatment. Following is a summary of the most likely treatments presented.

MgCl treatment is the treatment currently used and stabilizes the roadway and binds fine particles to prevent dust. The treatment may also help during winter to prevent the formation of ice pack. This section of roadway is currently treated on an annual basis with the application of MgCl and additional aggregate, as needed. Some of the advantages and disadvantages of the MgCl treatment are presented below.

**Magnesium Chloride**

**Advantages:**

- Relatively low cost of Initial Treatment
- MgCl prevents ice pack for easy plowing
- Fair to good for dust control

**Disadvantages:**

- Dust in warm weather prior to winter
- Annual Treatment Required
- Traffic disruption for treatment
- MgCl pollution in drainage runoff

Loss of aggregate and wash boarding because of traffic accelerating uphill or braking down the slope

An emulsified asphalt treatment such as Earthbind would similarly help prevent dust and stabilize the existing roadway. Since the asphalt is not soluble, there would be little additional help with snowpack formation, but there would be less erosion of fines from rain and snowmelt. This type of treatment should last several years. One problem with this type of treatment is that in later years, as the asphalt treated aggregate stiffens over time, failures resemble potholes and patching these potholes requires similar effort to patching Hot Mix Asphalt pavement. Some comments on this treatment are as follows:

**Emulsified Asphalt Treatment**

**Advantages:**

Relatively low cost of Initial Treatment  
Good for dust control

**Disadvantages:**

Patching pothole failures problematic  
Failures tend to form potholes.

We do not recommend the use of Bentonite, because while it will help retain the larger gravel particles, it will not perform as well as the MgCl or emulsified asphalt. It is merely an aggregate treatment to provide cohesive fines to retain the larger aggregate. We believe the cost for this section would be too high to justify the treatment and would still have dust problems.

**Hot Mix Asphalt (HMA) Option**

If Spruce Creek Road is to be paved with HMA, we recommend that it be treated as a Local Access Road in accordance with the Summit County Standards which call for 4 inches of HMA over 4 inches of aggregate base course (ABC). The standards are presented in Attachment C. To verify the 4 inch recommendation, a pavement design following the AASHTO 1993 Pavement Design Guide is presented in Attachment D.

To address the subgrade and aggregate base course, we recommend following CDOT Specifications. We recommend the HMA mix meeting the CDOT requirements for SX(75) with asphalt binder PG 58-28 and that the new HMA be placed in two 2-inch lifts. We also recommend that the existing aggregate surface be reused as ABC with additional ABC imported, as needed. Sample specifications for imported subgrade soil and ABC are presented in Attachment D following the pavement design program printout.

Following is a summary of some advantages and disadvantages of HMA.

**Hot Mix Asphalt**

**Advantages:**

Minimal Annual Maintenance  
Dust Elimination  
SH 9 Intersection improvement  
No aggregate thrown by traffic.

**Disadvantages:**

Higher Speeds  
Replacement Cost  
Snow & Ice Control\*



\*We do not know what the current arrangements for snow removal in Blue River are, however, with paved roads, cities and CDOT routinely use some type of agent (Sand / Salt / MgCl) to prevent ice and packed ice formation along with plowing. Because of the steep slope of Spruce Creek Road, we anticipate that some type of treatment will be periodically required in winter.

### Cost Comparison of HMA and MgCl

The following is a very coarse comparison of the cost of treatment with MgCl and paving with HMA. The cost comparison is based on an expected 14 year service life of an HMA pavement prior to the need for an overlay. This is the time often used by CDOT for HMA performance before needing major structural improvements. With paving, there will also be required improvements along the ditches and at the intersection with CO 9, which are not included in our cost comparison.

The section of Spruce Creek Road between CO 9 and Crown Drive is approximately 800 feet long and is constructed at a steep grade. The width varies from 19 feet to 25 feet with an average width of approximately 23 feet. Our cost estimates are based on 2,250 square yards of pavement. Based on this area of pavement, we calculated costs based on the new pavement consisting of 4 inches of hot mix asphalt (HMA) placed over a minimum of 4 inches of aggregate base course (ABC). The existing aggregate will be reused to lower the cost for the new aggregate base course (ABC).

This pavement section will require about 500 tons of HMA for the surface and 100 cubic yards of additional ABC to address grading, leveling and improvements at the intersection with CO 9. Using these quantities and a high cost for HMA, \$300/ton, the total initial cost for pavement would be approximately \$160,000. We calculated the annual cost for the 4 inch HMA and ABC pavement to be approximately \$11,500 over the 14-year period.

Using the rates and treatment information from G & G Services for MgCl treatments, we estimate the annual cost is approximately \$8,000. Over the same 14-year design life as HMA, the total cost for MgCl is \$112,000.

These estimates are coarse and should be taken for discussion only. It could be said that the Annual Costs of HMA and MgCl treatments are of the same order of magnitude.

The major factor in the comparison is the initial cost for HMA. It should be noted that the cost of HMA is quite sensitive for small quantities. A review of the CDOT bids has shown the cost ranging from \$120/ton to \$300/ton. We used the initial cost is \$300/ton as a conservative estimate.

### Recommendations

If paving is chosen, the client has requested recommendations for the limits of paving. We recommend that if the entire section is to be paved, that the HMA be carried across the width of Crown Drive. If the entire intersection is paved, vehicles coming from the gravel road will come on the pavement on a relatively level surface to make the turn onto Spruce Drive and would carry less aggregate onto the paved section than if the transition is done on a slope.

If the cost to pave the entire segment is not possible, we recommend that the road be paved from CO 9 to across Gold Nugget Drive since that is the most level spot on the remaining section. That will



also let cross traffic enter the paved section at the most level section to prevent tracking gravel onto the pavement.

Another item requested was to recommend other treatments that could be tried on an experimental basis to obtain performance information. We would recommend that the emulsified asphalt treatment be tested if evaluation of another option is desired. It will control dust and should last longer than the current MgCl treatment. We recommend that you use the proprietary treatment mentioned above if the evaluation is to be constructed.

Please contact us if you have any questions or need more information.

Sincerely,

**Yeh and Associates, Inc.**



Robert F. LaForce, P.E.  
Senior Project Manager

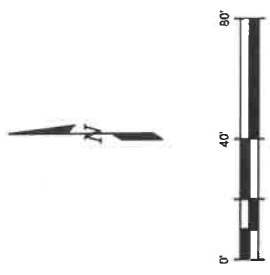
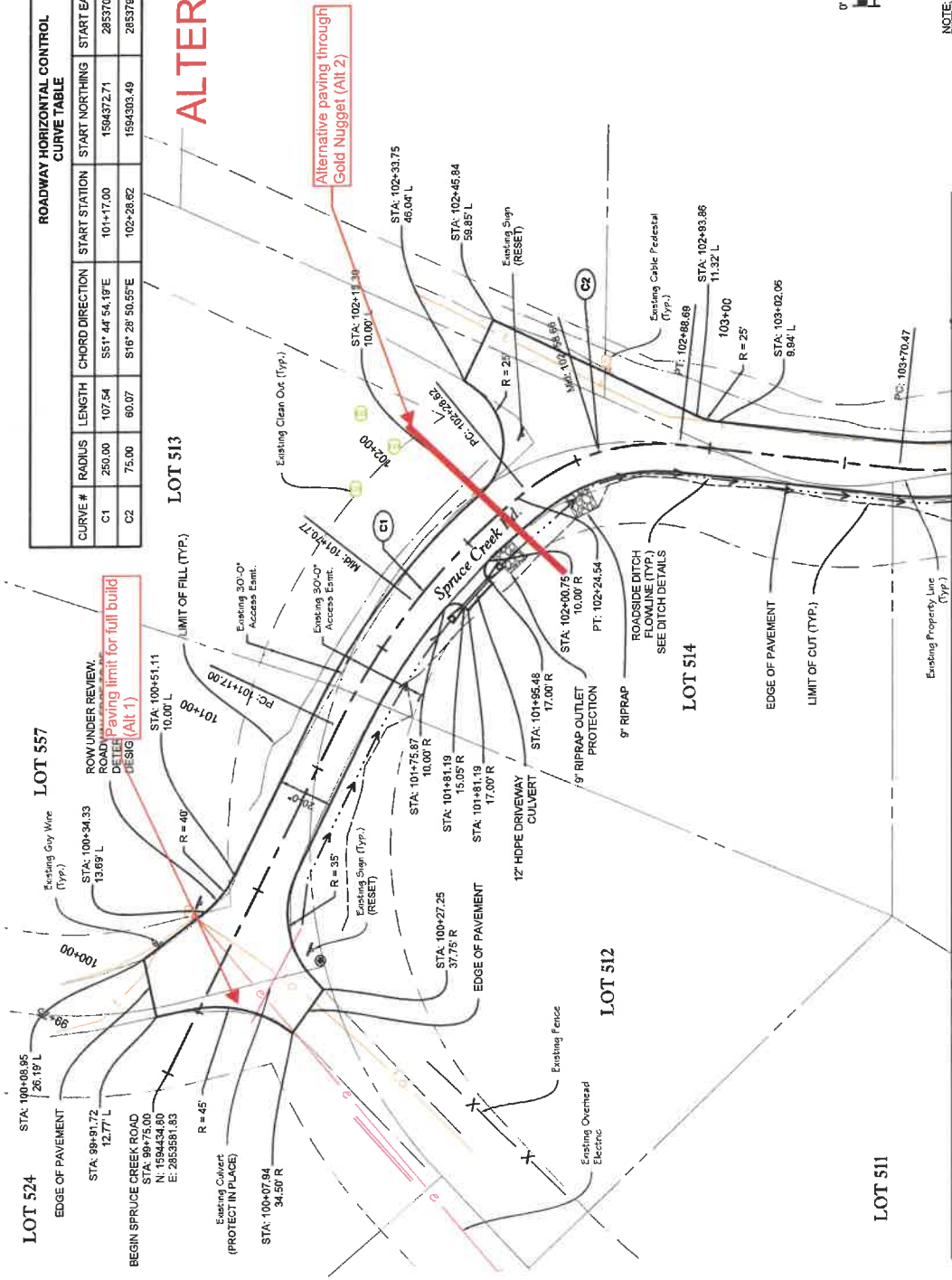
Reviewed by:  
Todd Schlittenhart, PE  
Principal Engineer

Attachments:  
Attachment A – Field Trip Report  
Attachment B – Various Treatment Discussion  
Attachment C – Summit County Standards  
Attachment D – Pavement Design



ROADWAY HORIZONTAL CONTROL CURVE TABLE						
CURVE #	RADIUS	LENGTH	CHORD DIRECTION	START STATION	START EASTING	END EASTING
C1	250.00	107.54	S51°44'54.19"E	101+17.00	2853709.53	2853793.33
C2	75.00	80.07	S16°28'50.55"E	102+28.62	2853795.93	2853812.52

# ALTERNATIVES 1 & 2



NOTE:

- CONTRACTOR SHALL HAND GRADE AROUND CULVERT ENDS AND GRADE DITCH TO DRAIN.

MATCHLINE - SHT 5

		PREPARED UNDER THE SUPERVISION OF LRM/WMG ENGINEER LRM/WMG CHECKED NUL		SHEET REVISIONS NO. DATE DESCRIPTION BY	
PROJECT NO.				TOWN OF BLUE RIVER	
PRELIMINARY PLANS				SPRUCE CREEK ROAD IMPROVEMENTS PROJECT	
ROADWAY PLANS				DATE: 2/25/2022	

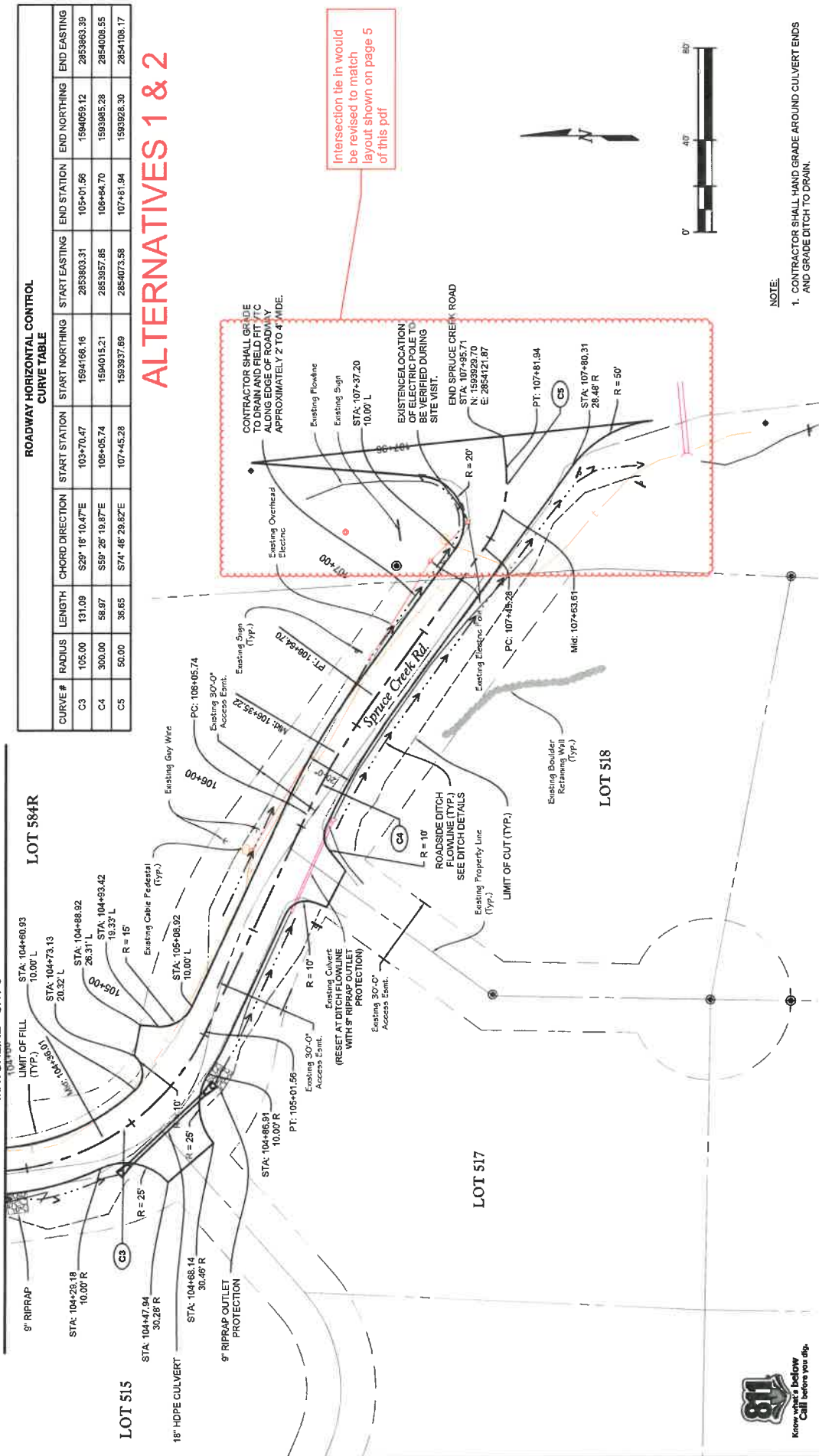
Section VI, Item I.

MATCHLINE - SHT 6

LOT 584R

ROADWAY HORIZONTAL CONTROL CURVE TABLE									
CURVE #	RADIUS	LENGTH	CHORD DIRECTION	START STATION	START NORTHING	START EASTING	END STATION	END NORTHING	END EASTING
C3	105.00	131.09	S29° 18' 10.47"E	103+70.47	1594166.16	2853803.31	105+01.56	1584059.12	2853693.39
C4	300.00	58.97	S59° 26' 19.87"E	108+05.74	1594015.21	2853957.65	108+64.70	1589395.28	2854008.55
C5	50.00	36.65	S74° 48' 29.82"E	107+45.28	1583937.69	2854073.58	107+81.94	1589328.30	2854108.17

# ALTERNATIVES 1 & 2



Intersection tie in would be revised to match layout shown on page 5 of this pdf



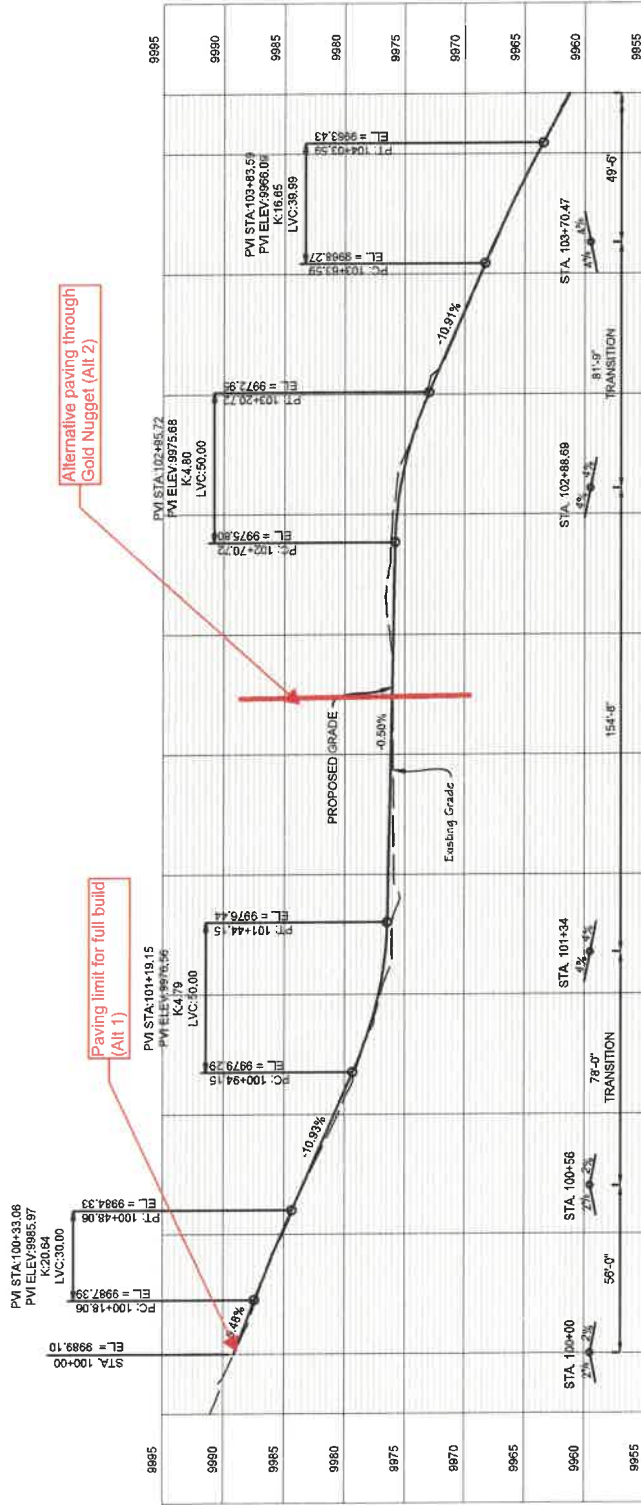
NOTE:  
1. CONTRACTOR SHALL HAND GRADE AROUND CULVERT ENDS AND GRADE DITCH TO DRAIN.

<p>DESIGNED: [ ]                  DRAWN: [ ]                  CHECKED: [ ]                  NUL</p>	<p>NO. [ ] DATE [ ]                  SHEET [ ] OF [ ]                  DESCRIPTION [ ]</p>	<p>PROJECT NO. [ ]</p>	<p>TOWN OF BLUE RIVER</p>		<p>SPRUCE CREEK ROAD IMPROVEMENTS PROJECT</p>	<p>ROADWAY PLANS</p>	DATE
							<p>PRELIMINARY PLANS</p>

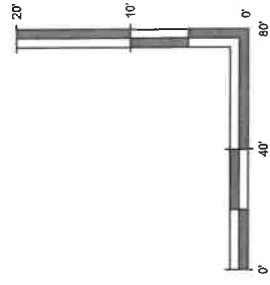
**MULLER**  
ENGINEERING COMPANY  
777 S. WASHINGTON BLVD., 4-100 LAKWOOD, COLORADO 80226



# ALTERNATIVES 1 & 2



SPRUCE CREEK ROAD CENTERLINE ALIGNMENT

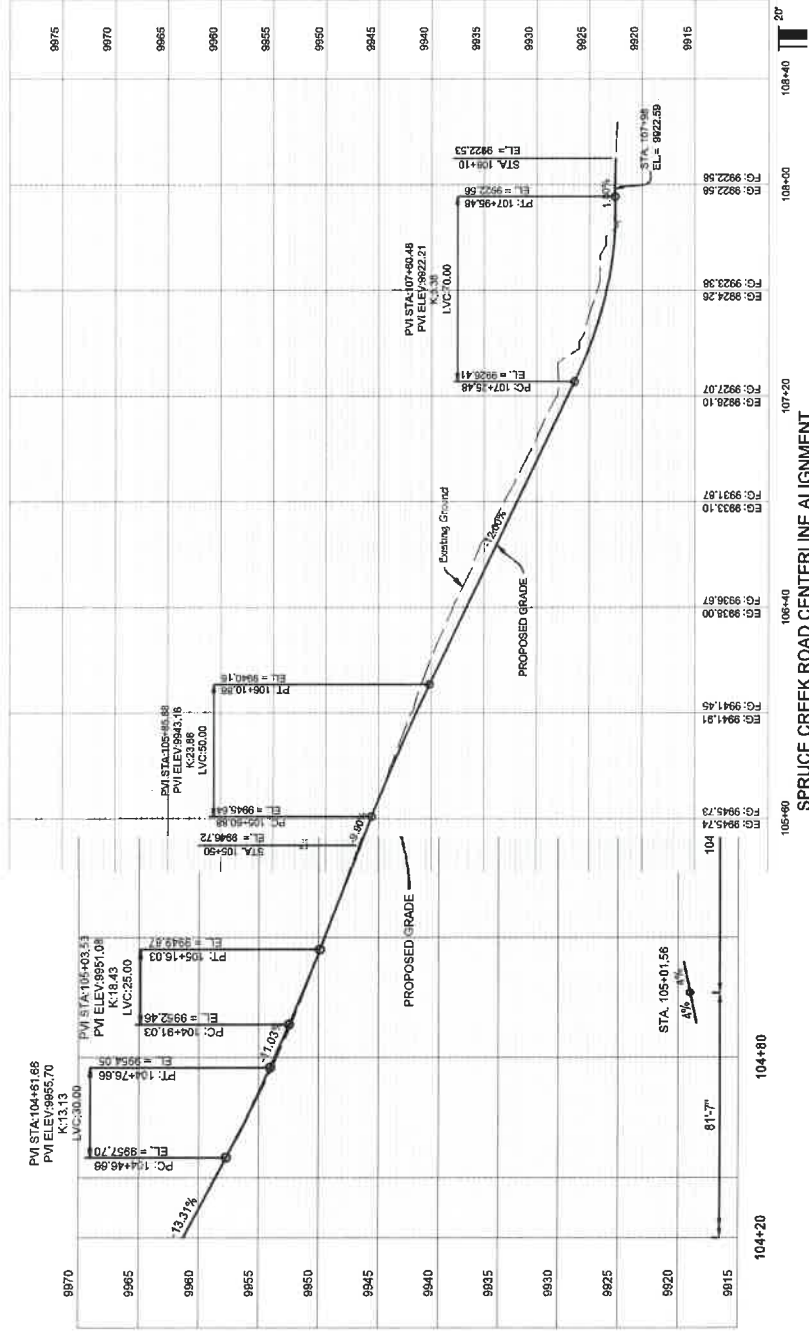


<b>PRELIMINARY PLANS</b> PROJECT NO.		<b>TOWN OF BLUE RIVER</b> 		SPRUCE CREEK ROAD IMPROVEMENTS PROJECT <b>ROADWAY PROFILE</b>	
DESIGNED BY LRN DRAWN BY M.A.S. CHECKED BY N.J.L.	NO. DATE SHEET REVISIONS DESCRIPTION BY	DATE: 2/24/2022			



PREPARED UNDER THE SUPERVISION OF  
 PROJECT NO. 10159-252 (2/22) 11 20 49 AM  
 NAME: P:\1-004-20 28 18 18 18 18 - SPRUCE CREEK ROAD\CDP\RAW\NS11-000 20 ROADWAY PROFILE.DWG

# ALTERNATIVES 1 & 2



DESIGNED	LRN	DATE	NO.	DESCRIPTION	BY
DRAWN	MJS				
CHECKED					
NUL					

**PRELIMINARY PLANS**

PROJECT NO.

**MULLER ENGINEERING COMPANY**  
 777 S. WASHINGTON BLVD., 4-100 LAKESIDE, COLORADO 80224

**TOWN OF BLUE RIVER**

ROADWAY PROFILE

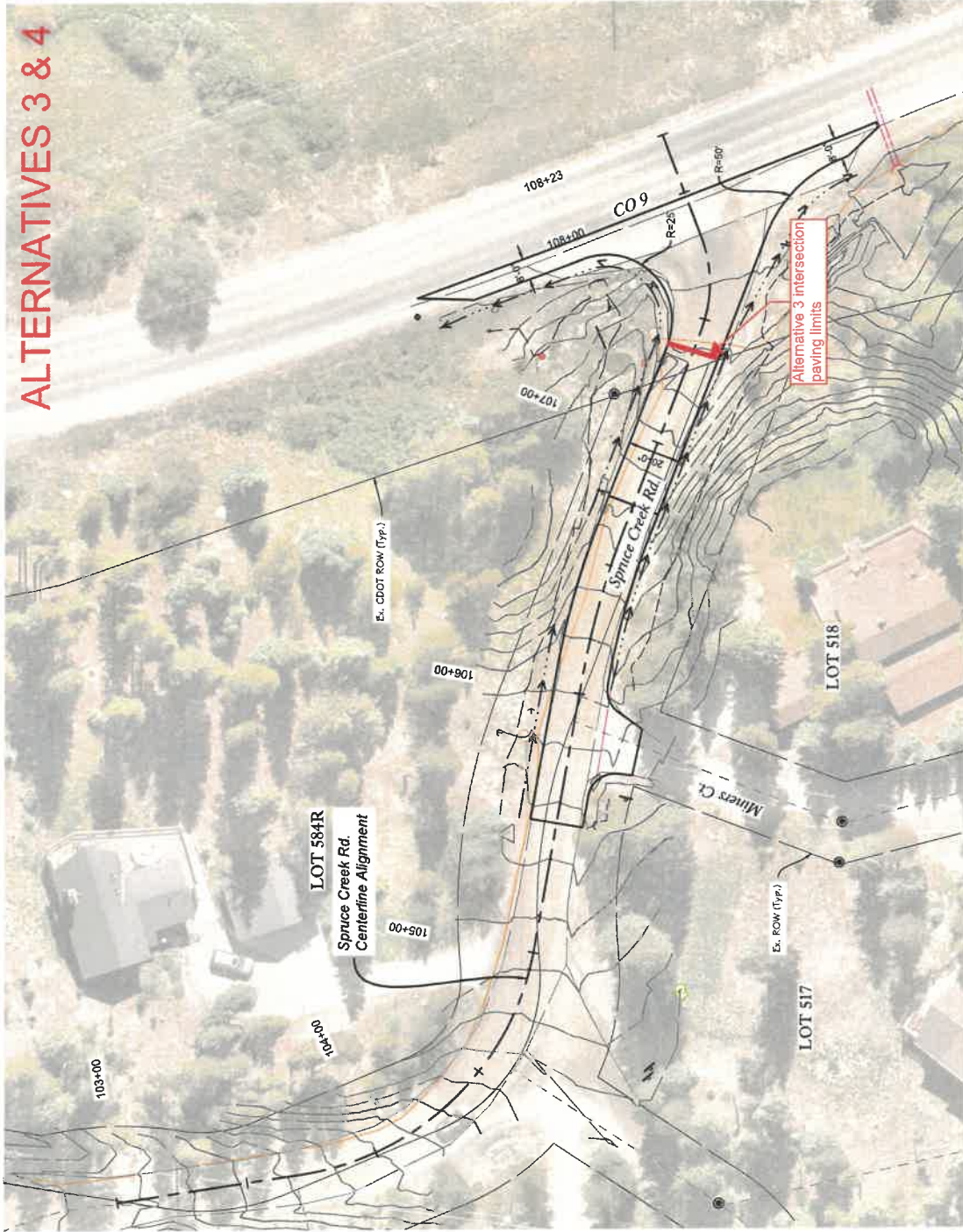
SPRUCE CREEK ROAD IMPROVEMENTS PROJECT

DATE

Section VI, Item I.



# ALTERNATIVES 3 & 4



DESIGNED LRW/MG CHECKED LRW/MG NUL		SHEET DESCRIPTION NO. DATE		PROJECT NO.	
PREPARED UNDER THE SUPERVISION OF 		SPRUCE CREEK RD EXHIBIT		SPRUCE CREEK ROAD IMPROVEMENTS PROJECT	
TOWN OF BLUE RIVER		ACCESS PERMIT EXHIBIT		DATE 1/31/2024	
				Section VI, Item I.	

DATE

SPRUCE CREEK ROAD IMPROVEMENTS PROJECT



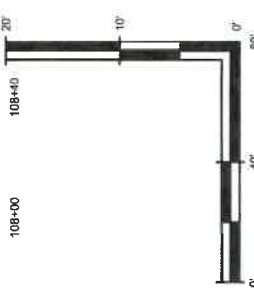
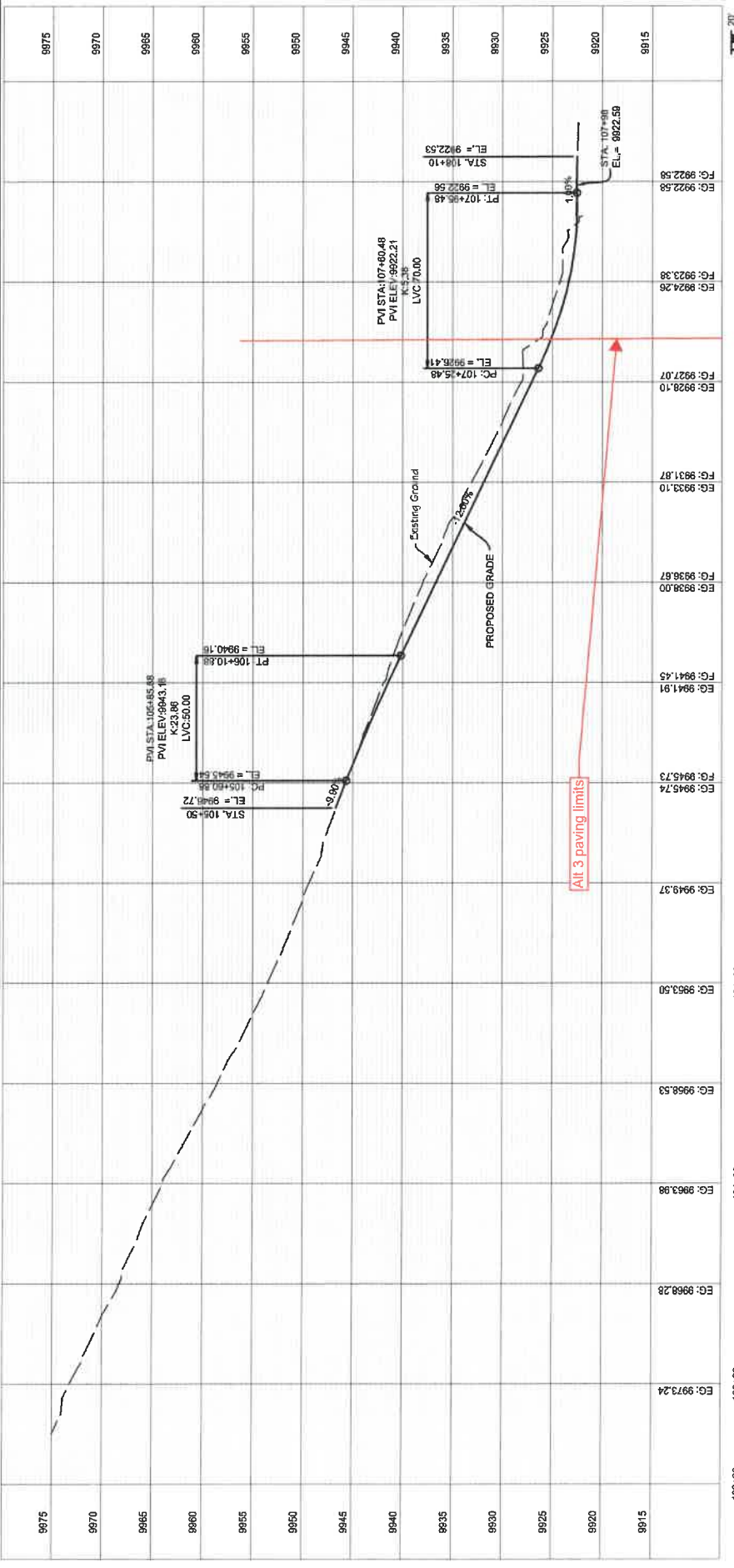
NO.	DATE	SHEET REVISIONS	DESCRIPTION	BY

**PRELIMINARY PLANS**  
PROJECT NO.

PREPARED BY	DESIGNED	NO.	DATE
DRAWN	CHECKED	NO.	DATE
CHECKED	NO.	DATE	



SPRUCE CREEK ROAD CENTERLINE ALIGNMENT  
**ALTERNATIVES 3 & 4**



**BLUE RIVER: SPRUCE CREEK RD ALTERNATIVE 1 (PAVING TO CROWN DR)  
PRELIMINARY-LEVEL ENGINEERS OPINION OF PROBABLE CONSTRUCTION COST**

PREPARED BY  
MULLER ENGINEERING COMPANY, INC.  
March 6, 2024

ITEM NUMBER	MAJOR CONSTRUCTION ITEMS	UNIT	PROJECT TOTALS		
			TOTAL QUANTITY	UNIT PRICE	COST
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	1,168	\$30.00	\$35,040.00
203-01100	PROOF ROLLING	HOUR	20	\$150.00	\$3,000.00
203-01597	POTHOLING	HOUR	20	\$225.00	\$4,500.00
206-00000	STRUCTURAL EXCAVATION	CY	23	\$50.00	\$1,150.00
207-00205	TOPSOIL	CY	274	\$60.00	\$16,440.00
210-00810	RESET GROUND SIGN	EACH	2	\$350.00	\$700.00
210-02018	RELAY PIPE (18 INCH)	LF	45	\$100.00	\$4,500.00
212-00006	SEEDING (NATIVE)	ACRE	0.34	\$5,000.00	\$1,700.00
213-00000	MULCHING	ACRE	0.34	\$5,000.00	\$1,700.00
304-06000	AGGREGATE BASE COURSE (CLASS 6)	TON	135	\$40.00	\$5,400.00
403-34721	HOT MIX ASPHALT (GRADING SX) (75) (PG 58-28)	TON	742	\$200.00	\$148,400.00
411-10255	EMULSIFIED ASPHALT (SLOW SETTING)	GAL	133	\$4.00	\$532.00
506-00209	RIPRAP (9 INCH)	CY	23	\$200.00	\$4,600.00
603-30012	12 INCH STEEL END SECTION	EACH	2	\$300.00	\$600.00
603-30018	18 INCH STEEL END SECTION	EACH	2	\$400.00	\$800.00
603-50012	12 INCH PLASTIC PIPE	LF	26	\$75.00	\$1,950.00
603-50018	18 INCH PLASTIC PIPE	LF	50	\$115.00	\$5,750.00
<b>SUBTOTAL OF MAJOR CONSTRUCTION ITEMS</b>					<b>\$236,762</b>
<b>MINOR CONSTRUCTION ITEMS (45%)</b> (Clearing and Grubbing, Traffic Control, Mobilization, Survey, etc.)					<b>\$106,543</b>
<b>CONSTRUCTION ENGINEERING (15%)</b>					<b>\$51,496</b>
<b>TOTAL CONSTRUCTION COST</b>					<b>\$394,801</b>
<b>TOTAL CONSTRUCTION COST (ROUNDED)</b>					<b>\$400,000</b>

NOTE: AGGREGATE BASE COURSE QUANTITY ASSUMES EXISTING ROADWAY MATERIAL CAN BE REUSED. ASSUME 1" OF MATERIAL REQUIRED.

**BLUE RIVER: SPRUCE CREEK RD ALTERNATIVE 2 (PAVING THROUGH GOLD NUGGET)  
PRELIMINARY-LEVEL ENGINEERS OPINION OF PROBABLE CONSTRUCTION COST**

PREPARED BY  
MULLER ENGINEERING COMPANY, INC.  
March 6, 2024

			PROJECT TOTALS		
ITEM NUMBER	MAJOR CONSTRUCTION ITEMS	UNIT	TOTAL QUANTITY	UNIT PRICE	COST
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	987	\$30.00	\$29,610.00
203-01100	PROOF ROLLING	HOUR	17	\$150.00	\$2,550.00
203-01597	POTHOLING	HOUR	20	\$225.00	\$4,500.00
206-00000	STRUCTURAL EXCAVATION	CY	15	\$50.00	\$750.00
207-00205	TOPSOIL	CY	226	\$60.00	\$13,560.00
210-00810	RESET GROUND SIGN	EACH	2	\$350.00	\$700.00
210-02018	RELAY PIPE (18 INCH)	LF	45	\$100.00	\$4,500.00
212-00006	SEEDING (NATIVE)	ACRE	0.28	\$5,000.00	\$1,400.00
213-00000	MULCHING	ACRE	0.28	\$5,000.00	\$1,400.00
304-06000	AGGREGATE BASE COURSE (CLASS 6)	TON	103	\$40.00	\$4,120.00
403-34721	HOT MIX ASPHALT (GRADING SX) (75) (PG 58-28)	TON	566	\$200.00	\$113,200.00
411-10255	EMULSIFIED ASPHALT (SLOW SETTING)	GAL	103	\$4.00	\$412.00
506-00209	RIPRAP (9 INCH)	CY	15	\$200.00	\$3,000.00
603-30018	18 INCH STEEL END SECTION	EACH	2	\$400.00	\$800.00
603-50018	18 INCH PLASTIC PIPE	LF	50	\$115.00	\$5,750.00
<b>SUBTOTAL OF MAJOR CONSTRUCTION ITEMS</b>					<b>\$186,252</b>
<b>MINOR CONSTRUCTION ITEMS (45%)</b> (Clearing and Grubbing, Traffic Control, Mobilization, Survey, etc.)					<b>\$83,813</b>
<b>CONSTRUCTION ENGINEERING (15%)</b>					<b>\$40,510</b>
<b>TOTAL CONSTRUCTION COST</b>					<b>\$310,575</b>
<b>TOTAL CONSTRUCTION COST (ROUNDED)</b>					<b>\$320,000</b>

NOTE: AGGREGATE BASE COURSE QUANTITY ASSUMES EXISTING ROADWAY MATERIAL CAN BE REUSED. ASSUME 1" OF MATERIAL REQUIRED.

**BLUE RIVER: SPRUCE CREEK RD ALTERNATIVE 3 (INTERSECTION PAVING ONLY, IMPROVEMENTS THROUGH MINERS CT)**

**PRELIMINARY-LEVEL ENGINEERS OPINION OF PROBABLE CONSTRUCTION COST**

PREPARED BY  
MULLER ENGINEERING COMPANY, INC.  
March 6, 2024

ITEM NUMBER	MAJOR CONSTRUCTION ITEMS	UNIT	PROJECT TOTALS		
			TOTAL QUANTITY	UNIT PRICE	COST
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	637	\$30.00	\$19,110.00
203-01100	PROOF ROLLING	HOUR	10	\$150.00	\$1,500.00
203-01597	POTHOLING	HOUR	20	\$225.00	\$4,500.00
207-00205	TOPSOIL	CY	137	\$60.00	\$8,228.00
210-00810	RESET GROUND SIGN	EACH	2	\$350.00	\$700.00
210-02018	RELAY PIPE (18 INCH)	LF	45	\$100.00	\$4,500.00
212-00006	SEEDING (NATIVE)	ACRE	0.17	\$5,000.00	\$850.00
213-00000	MULCHING	ACRE	0.17	\$5,000.00	\$850.00
304-06000	AGGREGATE BASE COURSE (CLASS 6)	TON	44	\$40.00	\$1,760.00
403-34721	HOT MIX ASPHALT (GRADING SX) (75) (PG 58-28)	TON	110	\$200.00	\$22,000.00
411-10255	EMULSIFIED ASPHALT (SLOW SETTING)	GAL	20	\$4.00	\$80.00
<b>SUBTOTAL OF MAJOR CONSTRUCTION ITEMS</b>					<b>\$64,078</b>
<b>MINOR CONSTRUCTION ITEMS (45%) (Clearing and Grubbing, Traffic Control, Mobilization, Survey, etc.)</b>					<b>\$28,835</b>
<b>CONSTRUCTION ENGINEERING (15%)</b>					<b>\$13,937</b>
<b>TOTAL CONSTRUCTION COST</b>					<b>\$106,850</b>
<b>TOTAL CONSTRUCTION COST (ROUNDED)</b>					<b>\$110,000</b>

NOTE: AGGREGATE BASE COURSE QUANTITY ASSUMES EXISTING ROADWAY MATERIAL CAN BE REUSED. ASSUME 1" OF MATERIAL REQUIRED.

**BLUE RIVER: SPRUCE CREEK RD ALTERNATIVE 3 (INTERSECTION GRADING ONLY)**

**PRELIMINARY-LEVEL ENGINEERS OPINION OF PROBABLE CONSTRUCTION COST**

PREPARED BY  
MULLER ENGINEERING COMPANY, INC.  
March 6, 2024

ITEM NUMBER	MAJOR CONSTRUCTION ITEMS	UNIT	PROJECT TOTALS		
			TOTAL QUANTITY	UNIT PRICE	COST
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	546	\$30.00	\$16,380.00
203-01100	PROOF ROLLING	HOUR	10	\$150.00	\$1,500.00
203-01597	POTHOLING	HOUR	20	\$225.00	\$4,500.00
207-00205	TOPSOIL	CY	137	\$60.00	\$8,228.00
210-00810	RESET GROUND SIGN	EACH	2	\$350.00	\$700.00
210-02018	RELAY PIPE (18 INCH)	LF	45	\$100.00	\$4,500.00
212-00006	SEEDING (NATIVE)	ACRE	0.17	\$5,000.00	\$850.00
213-00000	MULCHING	ACRE	0.17	\$5,000.00	\$850.00
304-06000	AGGREGATE BASE COURSE (CLASS 6)	TON	44	\$40.00	\$1,760.00
<b>SUBTOTAL OF MAJOR CONSTRUCTION ITEMS</b>					<b>\$39,268</b>
<b>MINOR CONSTRUCTION ITEMS (45%) (Clearing and Grubbing, Traffic Control, Mobilization, Survey, etc.)</b>					<b>\$17,671</b>
<b>CONSTRUCTION ENGINEERING (15%)</b>					<b>\$8,541</b>
<b>TOTAL CONSTRUCTION COST</b>					<b>\$65,479</b>
<b>TOTAL CONSTRUCTION COST (ROUNDED)</b>					<b>\$70,000</b>

NOTE: AGGREGATE BASE COURSE QUANTITY ASSUMES EXISTING ROADWAY MATERIAL CAN BE REUSED. ASSUME 1" OF MATERIAL REQUIRED.

**Attachment A – Field Trip Report**



**Blue River – Spruce Creek Road Site Visit 10/17/2023**

On October 17, 2023, Bob LaForce with Yeh and Associates visited the section of Spruce Creek Road between SH 9 and Crown Drive to inspect the condition of the road and become familiar with the project site before winter snows cover the area.



**Figure 1 - Typical Surface Condition**

The aggregate surface had recently been treated with magnesium chloride to retain aggregate and help promote drainage off the roadway surface. As noted in the above photos, the surfacing was very uniform and is providing a smooth travelling surface. The roadway was inspected from SH 9 to Crown Drive and the treatment appears to be very uniform for the length of the section.



**Figure 2 – Surface Texture**

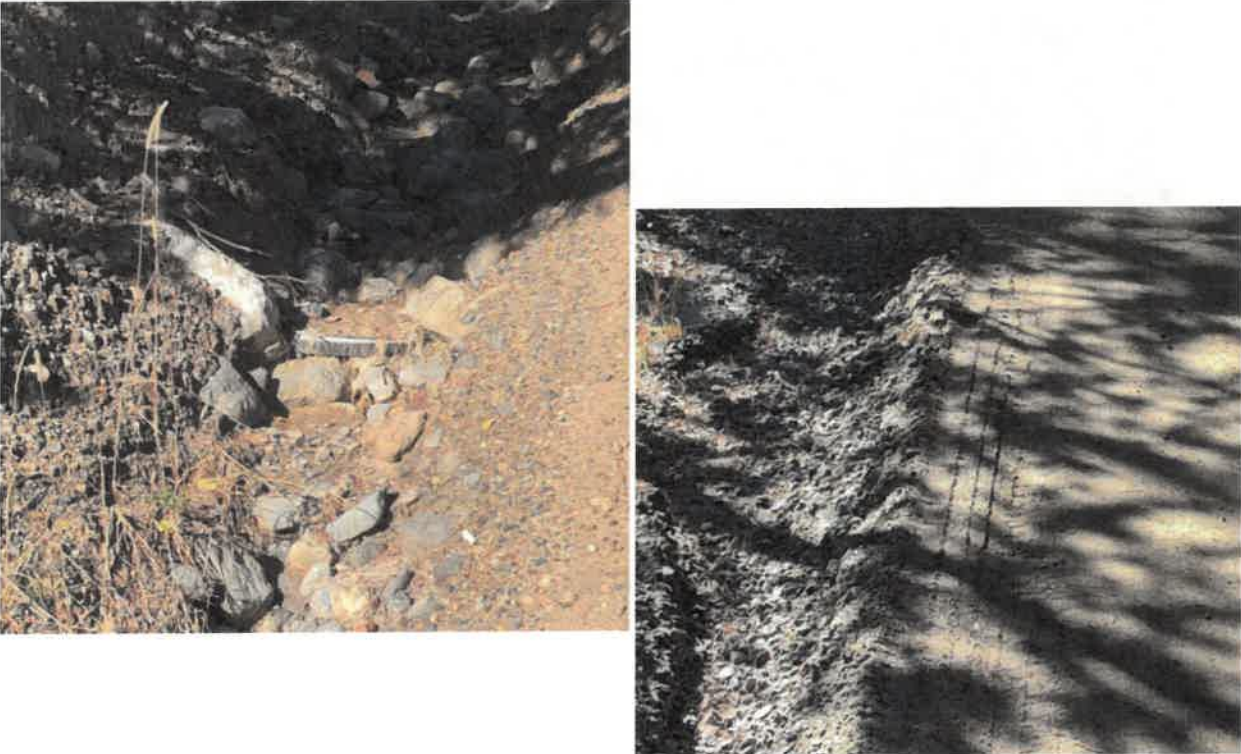
The texture of the surface was uniform for most of the area inspected with only one small area near SH 9 showing larger aggregate exposed through the compacted fine aggregate. These areas may be reviewed



**Blue River – Spruce Creek Road Site Visit 10/17/2023**

after the spring snow melts to determine if this was a segregated spot, or just a slight variation in the surfacing aggregate gradation.

In addition to the surfacing the ditches were inspected to determine if longitudinal drainage is causing extensive erosion and deterioration of the road. The following photo shows the area immediately above of SH 9 where the ditch is armored from past drainage. The second photo shows a section on a flatter section of roadway that at present only surfacing aggregate in the ditch. These areas will also be checked again in the spring.



**Figure 3 – Longitudinal Drainage Conditions**

Soils samples believed to be representative of the roadway subgrade were also taken. Sample YA-B1 was taken to the north of the entrance near the SH 9 ROW and sample YA-B2 was taken south of Louise Placer Road. The soil was sampled from approximately 1 foot to 2+ feet. The holes were filled with surrounding soil for each boring. These soils samples will be tested for gradation, classification and maybe R-value which would provide a strength value for a pavement design if needed.

**Blue River – Spruce Creek Road Site Visit 10/17/2023**



**Figure 4 – Approximate Soil Sample Locations**

The roadway surfacing will be inspected next spring to determine how well the treatment has performed over the winter.

**Attachment B – Various Treatment Discussion**



### Aggregate Surfacing Options

Discussion: Pros and cons for various aggregate treatments

Gravel (Aggregate Surfaced) Roads are very common throughout the US and in Summit County, CO. FHWA and other agencies require 10-14% minus 200 and PI 10 +/- 3 for surfacing aggregate. The plasticity (PI) in the aggregate helps retain aggregate by bonding the fine particles together, holding the larger aggregate in place. A lack of cohesive surface aggregate results in loss of large gravel from traffic. Traffic throws larger aggregates off the roadway and causes dust from loss of finer aggregate particles.

Dust Palliative – Caused fines to adhere to larger particles to prevent dust.  
Usually a spray treatment

Some typical treatments often used to control dust and stabilize the surfacing to prevent loss of large aggregate.

Calcium Chloride / Magnesium Chloride / Lignosulfonate

Method 1 – top 2 inches wet, spray process smooth and compact

Method 2 – top 3 inches wet, spray process, second application process & compact

MgCl treatment is currently done once per year. Controls dust stabilizes roadway and helps with ice/snow control.

Stabilization - Requires treatment at depth and will require mixing.

Calcium Chloride is a dry product distributed on surface with water and mixed to full depth of aggregate.

Magnesium Chloride is usually applied as a concentrated liquid tilled into the top 2-4 inches of the roadway. Annual treatment is done once per year and periodically requires that additional aggregate to make up for loss from traffic whipping large aggregate off the road and generating dust from small aggregate particles.

Mix in Pugmill

Bentonite – requires pugmill mixing. – extreme example of mixing highly plastic clay to cause aggregate to closely adhere providing extended life.

This treatment increases the cost of aggregate by an approximate factor of 3.

In the area, ABC costs about \$90/yd<sup>3</sup>, so treated aggregate would be approximately \$300/yd<sup>2</sup>.

RAP - can be used to create a surface almost like a cold mix pavement – works well, but if it starts to fail, it requires patching much like a thin asphalt lift.

RAP mixed with ABC at 50 +/- percent acts like aggregate but has more cohesion and may help retain aggregate. - This treatment was used on some approaches to US 285 east of Bailey and has worked for low volume roads.

**Aggregate Surfacing Options****References:**

Surface Aggregate Stabilization with Chloride Materials, US Dept. of Agriculture, Dec. 2006  
MgCL<sub>2</sub> & CaCL<sub>2</sub> – 39 treated and 40 untreated sections on 12 projects – 1.5% – 2% by weight of aggregate, 2 inches- monitored for 2 years. – MG & CA had similar results – reduced blading - Cost - \$8K to 10-K per mile – Savings \$3,300 /mile. – up to 8 times longer than untreated sections estimated after years monitoring. – eastern Wash. And Ore plus Montana. – Drainage 4% cross slope – moderately dry climates less than 250 ADT. – untreated sections required blading after 3,200 passes, treated sections required blading after 25,500 vehicle passes. – 90% dust reduction. - <2% grades

Gravel Roads, Maintenance and Design Manual – USDOT FHWA, Nov. 2000

So. Dakota Local Transportation Assistance Program (SD LAP)

Usually Chloride, MgCL<sub>2</sub> and CA CL<sub>2</sub> – Resins, Lignin Sulfonate - Asphalts (cutbacks, solvents, emulsions, special equipment), note: ADT = 200 equates to loss of 200 tons /year per mile – treatment allows reduced maintenance.

**Attachment C – Summit County Standards**



**SUMMIT COUNTY LAND USE AND DEVELOPMENT CODE  
CHAPTER 5: Road & Bridge Standards**

**TABLE 5-3 Minimum Structural Sections**

Road Class	Gravel	Paved
Primitive	Natural surface	Not Applicable
Low Volume	3" Base Course	3" Asphalt 3" Base course
Local Access	4" Base Course	4" Asphalt 4" Base course
Collector	Not Applicable	5" Asphalt 6" Base Course
Arterial	Not Applicable	6" Asphalt 6" Base Course
Shared Use Path/Trail	Not Applicable	3" Asphalt 4" Base Course
<ul style="list-style-type: none"> <li>• Full depth asphalt or concrete designs will be considered and may be used with approval of the County Engineer</li> <li>• Sub base may be substituted with road base with prior approval</li> </ul>		

**TABLE 5-4 Coefficient of Runoff**

Type of Surface	Vegetation Density	Value of C= (Rainfall)
Roofs		.97
Pavements		
Concrete or Asphalt		.97
Gravel from clean and loose, to clayey and compact		.60
Earth Surfaces		
Sand from uniform grain size, no fines to well graded, some, clay or silt	Bare	.60
	Light Vegetation	.45
	Dense Vegetation	.35
Clay, from coarse sandy or silty, to pure colloidal clay	Bare	.70
	Light Vegetation	.50
	Dense Vegetation	.40

**TABLE 5-5 Prescribed Manning's "n" Values**

Channel Material	"n"	Max Velocity (feet/sec)
Lines or well established grass	.05	5
Bunched grasses with exposed soil	.04	3
Fine sand or silt	.02	1
All other bare soils	.03	2

**Attachment D – Pavement Design**





### Pavement Design Discussion

#### Base and Subgrade Materials:

As noted in the site visit last fall, the subgrade soils near Spruce Creek Road were sampled and testing showed that they have an R-value of 69. To be conservative, for the pavement design, an R-value of 60 was used to calculate a resilient modulus of 18,259 psi for input to the pavement design program.

If any embankment (CDOT Item 203) is needed to be imported for this project, we recommend that it be required to have a minimum R-value of 60 when tested in accordance with AASHTO T190.

If any aggregate base course (ABC) (CDOT Item 304) is required, we recommend that it have a minimum R-value of 78, also measured in accordance with AASHTO T190.

Project special provisions for the above items are attached.

#### Hot Mix Asphalt (HMA)

The recommended HMA for this project is SX(75) with asphalt binder grade PG 58-28. We believe that this is the standard mix produced in the Blue River Valley. The HMA should conform to CDOT Specifications for SX(75) PG 58-28.

We recommend that the HMA be placed in two lifts.

#### Traffic Loading

Traffic loading was calculated based on the number of dwellings served by the roadway. In this case we used 50 dwellings, then increased the loading by 50% to address the Forest Service Trail Access. The calculation of the traffic loading is attached.

# WinPAS

Pavement Thickness Design According to  
**1993 AASHTO Guide for Design of Pavements Structures**  
 American Concrete Pavement Association

## Flexible Design Inputs

Project Name: Spruce Creek Road  
 Route:  
 Location: Blue River, Colorado  
 Owner/Agency: Blue River  
 Design Engineer: New HMA Pavement

## Flexible Pavement Design/Evaluation

<b>Structural Number</b>	1.62	<b>Subgrade Resilient Modulus</b>	18,259.00 psi
<b>Total Flexible ESALs</b>	90,908	<b>Initial Serviceability</b>	4.50
<b>Reliability</b>	90.00 percent	<b>Terminal Serviceability</b>	2.00
<b>Overall Standard Deviation</b>	0.44		

## Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	4.00	1.76
			$\Sigma$ SN	1.76

Spruce Creek Road in Blue River

Yeh No. 223-108

**ESAL LOADING**

Using MGPEC Default Equations based on number of dwellings.

$$ESAL_{20} = 62,000 + 80 * R$$

R = Number of Housing Units Served

ESAL<sub>20</sub> = 20 Year Single Axle Loads for pavement design.

For Spruce Creek Road, We assumed that there would be 50 residences. Then doubled the number of ESALS because the road services a Forest Service Facility/Trailhead.

$$ESAL_{20} = 62,000 + 80 * 50 = 66000$$

$$\text{Plus 50\% for Trail Traffic} = 99000$$

62000 ESAL value to address construction of dwellings  
 80  
 50 R - number of dwellings Served

Cars & pickups 0.003  
 Trash & Snow Plow trucks 0.249

ADT of 500 plus construct

		% of vol.					
500	veh/da X	0.98	X	0.003	ESAL/veh =	1.47	ESAL /Day
500	veh/da X	0.02	X	0.249	ESAL/veh =	2.49	ESAL /Day
						3.96	<u>ESAL /Day</u>
ESAL /Day							
3.96	<u>ESAL /Da X</u>	365	da/yr X	20	yrs =	28908	ESAL
28908	+	62000	=	<span style="background-color: yellow;">90908</span>		<span style="background-color: yellow;">Design ESALS</span>	

\* These equations were also used by CDOT when they followed the AASHTO 1993 Pavement Design Guide.

Work Sheet: 203em  
02-03-11 (Re-issued 07-03-17)  
(tech chk 01-13-23)  
ADA 8.22.23

Spruce Creek Road

1  
**Revision of Section 203  
Embankment Material**

**Revise Section 203 of the Standard Specifications for this project as follows:**

**Subsection 203.03, first paragraph, shall include the following:**

Imported embankment material shall meet the following requirements for Atterberg limits and gradation:

The upper 2 feet of embankment material below the subgrade elevation shall have a resistance value of at least 60 when tested by the Hveem Stabilometer or the equivalent resilient modulus.

Work Sheet: 304abc  
02-03-11 (Re-issued 07-03-17)  
(tech chk 01-13-23)  
ADA 8.22.23

Spruce Creek Road

### Revision of Section 304 Aggregate Base Course

Revise Section 304 of the Standard Specifications for this project as follows:

Subsection 304.02 shall include the following:

Materials for the base course shall be Aggregate Base Course (Class6) as shown in subsection 703.03

The aggregate base course (Class 6) must meet the gradation requirements and have a resistance value of at least 78 when tested by the Hveem Stabilometer method.

\*\*\*\*\*

#### Instructions to Designers (delete instructions and symbols from final draft):

- ◆ Use when appropriate, inserting the proper Class of base course.
- ▲ Use for all Classes of base course, inserting the correct figures.
- ♥ Insert the specified resistance values.



**BLUE RIVER: SPRUCE CREEK RD**  
**PRELIMINARY-LEVEL ENGINEERS OPINION OF PROBABLE CONSTRUCTION COST**  
 PREPARED BY  
 MULLER ENGINEERING COMPANY, INC.  
 April 4, 2024

				PROJECT TOTALS		
BID NUMBER	ITEM NUMBER	ITEM	UNIT	TOTAL QUANTITY	UNIT PRICE	COST
1	201-00000	CLEARING AND GRUBBING	L S	1	\$8,000.00	\$8,000.00
2	202-00035	REMOVAL OF PIPE	LF	35	\$50.00	\$1,750.00
3	203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	1,250	\$30.00	\$37,500.00
4	203-01100	PROOF ROLLING	HOUR	17	\$150.00	\$2,550.00
5	203-01597	POTHOLING	HOUR	20	\$225.00	\$4,500.00
6	207-00205	TOPSOIL (REMOVE AND REPLACE)	CY	222	\$60.00	\$13,320.00
7	208-00002	EROSION LOG TYPE 1 (12 INCH)	LF	350	\$7.00	\$2,450.00
8	208-00041	ROCK CHECK DAM	EACH	6	\$2,000.00	\$12,000.00
9	208-00070	VEHICLE TRACKING PAD	EACH	1	\$400.00	\$400.00
10	208-00207	EROSION CONTROL MANAGEMENT	DAY	7	\$350.00	\$2,450.00
11	212-00006	SEEDING (NATIVE)	ACRE	0.28	\$5,000.00	\$1,400.00
12	216-00041	SOIL RETENTION BLANKET (STRAW/COCONUT)	SY	1,333	\$4.00	\$5,332.00
13	304-06000	AGGREGATE BASE COURSE (CLASS 6)	TON	106	\$40.00	\$4,240.00
14	403-34721	HOT MIX ASPHALT (GRADING SX) (75) (PG 58-28)	TON	585	\$200.00	\$117,000.00
15	411-10255	EMULSIFIED ASPHALT (SLOW SETTING)	GAL	106	\$4.00	\$424.00
16	506-00209	RIPRAP (TYPE L) (WITH BEDDING TYPE I)	CY	6	\$200.00	\$1,200.00
17	603-05118	18 INCH EQUIVALENT REINFORCED CONCRETE END SECTION HORIZONTAL ELLIPTICAL	EACH	4	\$400.00	\$1,600.00
18	603-02185	18 INCH EQUIVALENT REINFORCED CONCRETE PIPE HORIZONTAL ELLIPTICAL	LF	88	\$115.00	\$10,120.00
19	620-00020	SANITARY FACILITY	EACH	1	\$1,500.00	\$1,500.00
20	625-00000	CONSTRUCTION SURVEYING	L S	1	\$8,000.00	\$8,000.00
21	626-00000	MOBILIZATION	L S	1	\$25,000.00	\$25,000.00
22	630-00000	FLAGGING	HOUR	200	\$35.00	\$7,000.00
23	630-00007	TRAFFIC CONTROL INSPECTION	DAY	8	\$350.00	\$2,800.00
24	630-00012	TRAFFIC CONTROL MANAGEMENT	DAY	20	\$1,200.00	\$24,000.00
25	630-80336	BARRICADE (TYPE 3 M-B) (TEMPORARY)	EA	3	\$400.00	\$1,200.00
26	630-80341	CONSTRUCTION TRAFFIC SIGN (PANEL SIZE A)	EA	9	\$75.00	\$675.00
27	630-80342	CONSTRUCTION TRAFFIC SIGN (PANEL SIZE B)	EA	4	\$90.00	\$360.00
28	630-80355	PORTABLE MESSAGE SIGN PANEL	EA	2	\$8,500.00	\$17,000.00
29	630-80360	DRUM CHANNELIZING DEVICE	EA	40	\$40.00	\$1,600.00
30	630-80364	DRUM CHANNELIZING DEVICE (WITH LIGHT) (STEADY BURN)	EA	5	\$50.00	\$250.00
31	630-80380	TRAFFIC CONE	EA	50	\$10.00	\$500.00
32	607-11525	FENCE (PLASTIC)	LF	100	\$4.00	\$400.00
<b>SUBTOTAL OF CONSTRUCTION ITEMS</b>						<b>\$316,121</b>
<b>CE/INDIRECT COSTS (20%)</b>						<b>\$63,224</b>
<b>TOTAL CONSTRUCTION COST</b>						<b>\$379,345</b>
<b>TOTAL CONSTRUCTION COST (ROUNDED)</b>						<b>\$380,000</b>

NOTE: AGGREGATE BASE COURSE QUANTITY ASSUMES EXISTING ROADWAY MATERIAL CAN BE REUSED. ASSUME 1" OF MATERIAL REQUIRED.





<u>Date</u>	<u>Memo/Description</u>	<u>Amount</u>
02/10/2022	Spruce Creek Road	\$ 4,174.00
03/11/2022	Spruce Creek Road	\$ 11,468.25
04/12/2022	Spruce Creek Road	\$ 1,158.50
05/10/2022	Spruce Creek Road	\$ 1,201.75
06/07/2022	Spruce Creek Road	\$ 354.50
07/05/2022	Spruce Creek Road	\$ 2,457.04
08/09/2022	Spruce Creek Road	\$ 941.50
09/09/2022	Spruce Creek Road	\$ 478.00
12/07/2022	Spruce Creek Road	\$ 2,731.50
12/07/2022	Spruce Creek Road	\$ 1,181.25
12/07/2022	Spruce Creek Road	\$ 1,515.75
12/07/2022	Spruce Creek Road	\$ 463.50
12/31/2022	Spruce Creek Road	\$ 1,027.50
02/13/2023	Spruce Creek Road	\$ 5,859.50
03/07/2023	Spruce Creek Road	\$ 6,165.58
04/10/2023	Spruce Creek Road	\$ 3,625.75
07/11/23	Spruce Creek Road	\$ 2,761.25
10/10/23	Spruce Creek Road	\$ 4,496.25
10/31/2023	Spruce Creek Road	\$ 3,453.50
11/30/2023	Spruce Creek Road	\$ 4,672.90
01/12/2024	Spruce Creek Road	\$ 12,051.25
02/07/24	Spruce Creek Road	\$ 10,117.00
03/04/24	Spruce Creek Road	\$ 6,603.25
04/03/24	Spruce Creek Road	\$ 8,465.50
05/07/24	Spruce Creek Road	\$ 25,211.25
<b>Total</b>		<b>\$ 122,636.02</b>
<b>2024 Total</b>	<b>Spruce Creek Road</b>	<b>\$ 50,397.00</b>



# TOWN OF BLUE RIVER, COLORADO

## MEMORANDUM

TO: Board of Trustees  
FROM: Michelle Eddy, Town Manager  
Bob Widner, Town Attorney  
DATE: June 6, 2024  
SUBJECT: Amendments to Article Concerning Use of Goose Pasture Tarn

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The attached is a redline version of a draft proposed amendment to the current Article III of Chapter 11 concerning the use of the Goose Pasture Tarn.

Changes are needed to update Article III and to clarify what uses are permitted at the Tarn.

Please review the changes as the Board will be asked at the June 13 meeting to discuss the possible revision and the following issues:

1. What uses does the Board of Trustees wish to authorize for the Tarn?
2. Is the Board of Trustees committed to enforcement of the restrictions desired at the Tarn?

**ARTICLE III Goose Pasture Tarn and the Town Park****Sec. 11-3-10. Defined.**

- (a) Goose Pasture Tarn, hereinafter referred to as "the Tarn," located within the Town, is a ~~private privately owned~~ lake ~~and private land surrounding the lake owned for which by the Town is legally authorized to manage, control, and regulate the use and available for use only to property owners of the Town. Use of the Tarn shall be limited to such uses and subject to such restrictions as further set forth below.~~
- (b) The Blue River Town Park (Theobald Park), hereinafter referred to as "the Park," located within the Town, is a park owned by the Town. ~~Use of the Park shall be limited to such uses and subject to such restrictions as further set forth below.~~

(Prior code 4-3-1; Ord. 11-08 §§1, 2, 2011)

**Sec. 11-3-20. State laws adopted.**

All state laws and rules and regulations of the Colorado Department of Fish, Game and Parks shall apply to fishing, boating and sailing on the Tarn, and the same are hereby adopted into this Chapter by reference as they are presently enacted and hereafter amended. For these purposes, a violation of any such state law shall be deemed a violation of this Chapter and subject to enforcement by any person authorized to enforce this Chapter. Any conflict between this Chapter and any state law or regulation shall be resolved in favor of that provision or law which is more restrictive of the conduct to be controlled.

**Sec. 11-3-30. Use restrictions; identification.**

- (a) ~~Use by property owners~~ Use by Tarn Limited. ~~The occupancy and use~~ Use of the Tarn shall be limited to:
- (1) ~~Owners of real property within the Town as such ownership is evidenced by the records of the Summit County Clerk and Recorder's Office (an "Owner"). To prove ownership, an Owner shall provide a copy of a Town permit issued to the Owner upon request while present at the Tarn. It shall be a defense for any charge of unlawful occupancy or use of the Tarn to provide a certified copy of a deed proving ownership which predates the date of issuance of a summons or citation for unlawful occupancy or use; and~~
  - (2) ~~Only when accompanied by an Owner, owners with proper identification, except for persons related to an Owner by blood, marriage, adoption, or foster care; and~~
  - (3) ~~Only when accompanied by an Owner, persons identified by an Owner as a guest of the Owner; and~~
  - (4) ~~A long-term tenant of an Owner's property where such tenant has: (i) executed a lease for use of the Owner's property for a term greater than 60 consecutive days which lease expressly assigns the Owner's right to use the Tarn; and (ii) the Owner has completed and filed with the Town a notice of assignment of the right to use the Tarn in a form approved by the Town Manager; and~~

~~(5) Only when accompanied by a long-term tenant as defined by (4) above, persons identified by a long-term tenant as a guest of the tenant.~~

~~(b) Other than persons identified in (a) above, no other person shall occupy, be present at, or use the Tarn, including specifically without limitation, a short-term (less than 60 days) tenant of property. It shall be unlawful and a violation of the Municipal Code to be present upon, occupy, or use the Tarn unless permitted by this Article.~~

~~duly authorized guests or tenants as further outlined below. Parents and/or children and their respective spouses and/or grandchildren of property owners residing full time on the property shall enjoy the same Tarn recreational rights as owners, excluding guest privileges.~~

~~(b) Use by guests:~~

~~(1) Guests of owners may use the Tarn only when accompanied by the owner.~~

~~(2) Owners shall be held responsible for all actions of their guests and for any violations of this Chapter as if such violation had actually been committed by the owner himself or herself.~~

~~(c) Use by long-term rental tenants:~~

~~(1) Long term rental Tenants of owners shall generally have no privileges on the Tarn, except as otherwise provided herein.~~

~~(2) Tenant is defined as a party leasing a Town property for a period of sixty (60) consecutive days or longer. A tenant may have recreational rights on the Tarn, provided that the property owner assigns the rights at the time the lease is executed. The Town shall provide appropriate forms for registration of such assignments and will maintain a file of tenants with assigned rights for enforcement purposes.~~

~~(cd) Boat and Watercraft useUse.~~

~~(1) Owners of Boatsboats without identification decals shall not be permittedare required to obtain a Town-issued permit for use of the boat on the Tarn. Applications for a Town permit shall be submitted to the Town in the form required by the Town Manager together with payment of the required permit fee. It shall be unlawful and a violation of the Municipal Code for any person to possess, hold, use, or control a boat within the Tarn without a Town-issued permit for such boat.~~

~~(2) To ascertain that boats used on the Tarn belong to an Ownerproperty owners, identification decalspermits will be issued only upon receipt of an adequate description of the boat and a statement of its size and power. Owners are required to havepresent a Town-issued permit for the boat upon demand while on the Tarn property. permits on hand. The boat registration fees charged to bona fide residents of the Town for use of the Tarn are hereby set at twenty dollars (\$20.00) per year.~~

~~(3) All boats shall be subject to an annual personal safety inspection and shall be approved by the Lake Patrol Officer or Chief of Police before any boat shall receive its decal or be placed upon the Tarn. A fee will be charged for said decal.~~

~~(4) Boats placed in the within the Tarn shall be limited in power to the use of an electric motor to be used solely for the purpose of trolling. No internalInternal combustion engines are prohibited. shall be allowed in order to limit boat size, speed of crafts and environmental damage to the Tarn by such engines.~~

~~(5) Boats shall not be stored overnight at the Tarn.~~

~~(56) Non-motorized Personal-personal watercraft of all kindsany kind, including inflatable boats, innertubes, sailboards and paddle boards, are permitted on the Tarn only with a Town-issued, provided that identification decals have been affixed to them that a permit has been obtained. Applications for a Town permit shall be submitted to the Town in the form required by the Town Manager together with payment of the required permit fee. It shall be unlawful and a violation of the Municipal Code for any person to possess, hold, use, or control a watercraft within the Tarn without a Town-issued permit.~~

~~(65) Boats and watercraft shall not be stored overnight at the Tarn.~~

~~A fee of \$20 per watercraft will be assessed annually. five dollars (\$5.00) per day, not to exceed twenty dollars (\$20.00) per year, shall be charged.~~

~~(e) Issuance of boat decalspermits. The issuance of boat decals andpermits and any other identification required by this Chapter shall be by the Lake Patrol Officer or the Town Clerk Office, who have been authorized and so designated by the Board of Trustees.~~

~~(Prior code 4-3-3; Ord. 07-03 §1, 2007; Ord. 11-05 §1, 2011; Ord. 13-07 §1, 2013; Ord. No. 19-01, §§ 2, 5, 6-18-2019)~~

### Sec. 11-3-40. Rules and regulations for the Tarn.

- (a) Spillway area. Fishing or trespassing within forty-five (45) feet of the improved concrete portion of the spillway of the Tarn is ~~absolutely~~ prohibited and unlawful. Violation of this Subsection shall be punishable upon conviction by a fine of up to one thousand dollars (\$1,000.00) for each offense.
- ~~(b) Ice fishing. Ice fishing by owners, guests and tenants shall be permitted on the Tarn as provided in Subsections 11-3-30(a), (b) and (c).~~
- ~~(c) Other than motorized boats as authorized by this Article, any other form of motorized vehicle or machine (e.g., motorcycle, snowmobile, all-terrain vehicle) is prohibited. Snowmobiles or other snow or all-terrain vehicles and cross-country skiing are strictly forbidden on the Tarn.~~
- (d) Open fires<sup>1</sup>. Open fires are prohibited at all times and in all areas adjacent to the Tarn.
- (e) Animals. Dogs and all other pets and animals ~~the regulations established in Chapter 7 Article VI of the Blue River Municipal Code. shall not be required to be under control by a tether or leash but shall be under voice control in all areas on and adjacent to the Tarn.~~
- (f) Hunting prohibited. Hunting of any kind is prohibited on the Tarn and any surrounding lands owned by the Town or the Town of Breckenridge.
- ~~(g) Swimming and bathing is prohibited. Water recreation. Bathing is prohibited on the Tarn.~~

- (h) ~~Commercial use.~~ Any use of the Tarn for commercial purposes is prohibited.
- (i) Limit on fish. The daily bag limit is three (3) fish, of which only one (1) may exceed twenty (20) inches in length. The daily possession limit is three (3) fish.
- (j) Limit on fishing hooks. Only single-bait hooks, single-hook flies and single-hook lures may be used for fishing in the Tarn.
- (k) Overnight parking, between one-half (½) hour after sunset and one-half (½) hour before sunrise, is prohibited.
- (l) Glass containers in the Tarn area are prohibited.
- (m) Littering of the Tarn area by the depositing of paper or plastic products, wood, leftover food, clothing, fishing gear, fish, junk or trash of any kind is prohibited, and "pack-it-in and pack-it-out" is required.
- (n) Boat docks. Licensing of the construction of boat docks shall be permitted by a licensing agreement which shall incorporate the Rules and Regulations for Boat Docks established by Resolution No. 13-05, adopted July 16, 2013, as from time to time amended.

(Prior code 4-3-4; Ord. 05-07 §1, 2005; Ord. 05-10 §1; Ord. 11-08 §§3, 4, 2011; Ord. 13-06 §§1, 2, 2013; Ord. 13-07 §2, 2013)

#### **Sec. 11-3-45. Rules and regulations for the Park.**

- (a) Use of the Park between the hours of 8:00 p.m. and 8:00 a.m. is prohibited.
- (b) Parking of motor vehicles at the Park between the hours of 8:00 p.m. and 8:00 a.m. is prohibited.
- (c) Parking of motor vehicles at the Park shall be "head-in parking" only.
- (d) Open fires<sup>1</sup>, including fires in grills, in the Park are prohibited.
- (e) Dogs are prohibited in the Park.
- (f) Glass containers are prohibited in the Park.
- (g) Littering in the Park by the depositing of paper or plastic products, wood, leftover food, clothing, junk or trash of any kind is prohibited, and "pack-it-in and pack-it-out" is required.

(Ord. 11-08 §5, 2011)

#### **Sec. 11-3-50. Enforcement.**

This Chapter shall be enforced by the ~~Chief of Police, the designated and authorized Lake Patrol Officer~~ Blue River Police Department and any duly commissioned law enforcement officer of the State, which enforcement authority includes the power to do the following:

<sup>1</sup> See Chapter 7, Article VII of this Code.

- (1) At any time, in the sole discretion of the enforcement officers, the Tarn becomes unsafe for the use and activities described herein, the Tarn may be declared "Closed." It shall be a violation of this Chapter for any person to use the Tarn after it has been declared "Closed."
- (2) Request the offending party to cease his or her illegal activity and to remove the offending party from the Tarn area.
- (3) Issue a summons or citations for violations of this Chapter ~~requiring the offending party to appear before the Municipal Court to answer the charges set forth in such citation.~~

**Sec. 11-3-60. Violations; penalties.**

Any person who violates any of the provisions of this Chapter shall be deemed guilty of a misdemeanor and, upon conviction for any such offense, shall be punished by a fine as provided in Section 1-4-20 of this Code.





**Blue River Staff Report**  
June 2024

Town of Blue River 0110 Whispering Pines Circle Blue River, CO 80424	970-547-0545 michelle@townofblueriver.org <a href="https://townofblueriver.colorado.gov">https://townofblueriver.colorado.gov</a>
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**Goose Pasture Tarn**

- Outreach with the Theobalds continues.
- The Tarn was stocked on Friday, May 31<sup>st</sup> with 750 pounds of Trout.
- Resident passes and boat permits are now available through the Citizen Serve Portal. You must register through the portal to obtain a pass. In the portal permits are found under Building Permits. Short-term renters are not allowed access to the Tarn. Long-term renters may obtain access when the owners of the property relinquish their access. Landlords must contact Town Hall to obtain the necessary forms and provide documentation.

**School Bus Stop**

- A formal agreement between the School District, Theobalds and Town is awaiting signatures by the Theobalds and School District.

**Spruce Creek Fire Mitigation**

- Work has begun on the Spruce Creek area mitigation project. Equipment (a skidder) is being brought in to drag trees out of the project area for hauling. Staging is set to begin the week of June 10<sup>th</sup>.

**Wildfire Mitigation Projects**

- Outreach has begun for the Blue River East project. Staff and Colorado State Forest Representatives have begun working directly with residents that will be impacted by the project. Once the initial outreach is complete, a Town Hall forum will be organized to review the larger scope of the project. In addition, staff is continuing work with Red, White and Blue on the right-of-way fire mitigation project for this year. It is hoped to conduct this project later this summer along with a Town organized chipping day at Theobald Park. Information on the Summit County Chipping Day is included in this report and online. The chipping program will be in Blue River, July 8-12<sup>th</sup>. More information will be provided soon.

### Weed & Seed Program

- For the fourth year in a row, the Town of Blue River will be hosting the Weed & Seed Program. The program is designed to encourage residents to pull and address the various noxious weeds throughout the area. Weeds may be brought to Town Hall and as a thank you, residents may take a seed of wildflower seeds. Weed mitigation is a never-ending effort but it hoped with enough work, the number of noxious weeds will be reduced and the Town filled with beautiful wildflowers.
- In addition to the Weed & Seed Program, there will be a Countywide Weed Pulling Event on Saturday, July 13<sup>th</sup>. Residents are encouraged to assist with weed mitigation not just at their properties but at Theobald Park and the Goose Pasture Tarn. Green disposable bags will be available for any participating residents and weeds may be brought to Town for wildflower seeds.

### Audit

- The annual Town audit was conducted the week of May 20<sup>th</sup>. The auditors are finalizing their report and will provide a presentation in July prior to filing with the State of Colorado.

### Roads

- Grading and reshaping began on June 6, 2024. Crews will work over the next week moving through Town. After the grading and reshaping are completed, material will be brought in and treatment application will be applied after all base has been added.
- There will be a partial closure of Spruce Creek Road on the 20<sup>th</sup> and 21 to grade and apply earth bind product.
- Culverts will be added on Coronet as well as at the parking area at Town Park.
- Treatments
  - Earthbind-Spruce Creek Road
  - Durablend-Blue River Road
- Road Base
  - 97 Circle
  - Blue Rock
  - Golden Crown
  - Leap Year
  - Lodestone
  - Louise Placer
  - Miners Court
  - Nugget
  - Regal
  - Rock Springs
  - Royal
  - Rustic Terrace
  - Tesemini
- Road Maintenance Town Hall Forum
  - On Wednesday, July 10<sup>th</sup>, 6:00 p.m. the Town's Road Contractor G & G Services as well as representatives from Envirotech will be at Town Hall to provide information and host a discussion on the products used on Town roads, benefits, reasons for the particular products as well as address environmental questions and the science of

road maintenance. This will be a hybrid meeting hosted in person and via zoom for all residents.

### **Town Statistics**

Facebook Page Likes  
Town-1,300  
Police Department-922  
Instagram-1,263 followers  
Twitter (X)-81 followers  
Threads-168  
Residents on Email List-990  
Blue River News-1,177  
TextMyGov-143

**Business Licenses-255**

**Lodging Registrations-223**

### **Municipal Court June 2024**

Total tickets written for May Court: 7  
Total on the June Docket: 3  
Total June Failure to appear(s): 0  
Total June OJW(s): 1

### **Building Statistics**

**May 2024**

**Permits Issued: 24**

**YTD: 57**

**Inspections: 60**

**New Construction 2024: 2**

**Certificates of Occupancy New**

**Construction 2024:1**

### **Tarn Permits**

**May 1-June 5, 2024**

**Resident Permits: 61**

**Boat Permits: 71**



## End of Month Report: May 2024

### Calls for Service

Total number of a calls: 170

Top 10 calls as follows:

Traffic Stops	60
Area Patrols	32
Motorist Assists	7
Information Law Related	7
Reckless Driver	6
Suspicious Person/Veh.	5
Other Agency Backup	5
Motor Vehicle Accident	5
Drunk Drivers	3
Animal/Wildlife	3

**Summary:** Calls for service are consistent with last month’s call volume. The majority of calls are related to issues with Hwy. 9 and public safety. There was a spike in motor vehicle crashes with speed being a significant contributing factor.

Arrests: 1 warrant  
 Motor Vehicle Crash: 4  
 DUI: 2

### Current Administrative Focus

- Training – Our new hire has almost completed field training. Another officer completed a patrol rifle instructor class. The staff continue to complete mandatory training to maintain certifications.
- Cybersecurity – New updates and protocols have been implemented to keep sensitive information protected.

Report prepared by:  
Chief, David Close

**Financial Summary Report**

Prepared by: Michelle Eddy, Town Manager  
Month Ending May 31, 2024

**Revenues/Expenditures:**

Revenues are ahead of budget for the by 13.91%. Sales tax, lodging tax, and franchise fees of budget. In addition the Town received a backfill for property taxes in the amount of \$39,418. Court fees and building are tracking behind budget. Expenses are tracking below budget by 8.74%

**Reserve Accounts \*As of 5/31/24**

Unrestricted	
Reserve accounts Alpine Bank:	\$1,435,512.76
CD's Citywide Bank:	\$211,498.41
Colorado Trust Assigned to Capital:	\$3,100,159.34
Colorado Trust Assigned to Broadband:	\$208,216.28
CSAFE:	\$100.00
Illiquid Trust Funds:	\$1,187.42
<b>Total Unrestricted</b>	<b>\$4,956,674.21</b>
Restricted	
American Rescue Plan Funds:	\$192,953.54
Conservation Trust:	\$149,591.41
<b>Total Reserves Restricted</b>	<b>\$342,544.95</b>

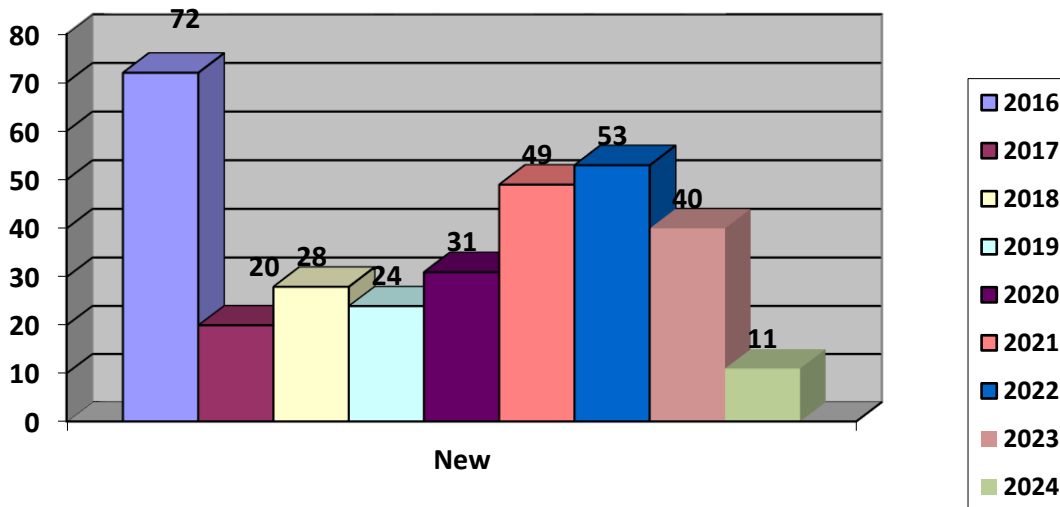


# Town of Blue River

**Staff Report**  
**Short-term Rental Update**  
**May 31, 2024**  
**Submitted By: Michelle Eddy, Town Manager**

## Statistics

Total Active Licenses as of 5/31/2024: 223



## Annual Revenue

Year	Sales Tax	Lodging Tax
2016	\$264,757.05	\$123,742.00
2017	\$237,468.92	\$126,585.55
2018	\$286,968.54	\$155,511.07
2019	\$425,616.72	\$166,883.33
2020	\$842,141.13	\$176,339.81
2021	\$844,558.23	\$228,743.34
2022	\$1,002,256.27	\$327,762.62
2023	\$996,818.50	\$303,230.72
2024	\$596,037.15	\$159,062.27



**Percentage of STRs by Subdivision**

***\*\*Please note the percentage of STRS is based on total homes built within each subdivision and NOT buildable lots.***

Subdivision	# STR	%STR **	% Build Out	% Full-Time Res.
96 Sub	10	27%	90%	30%
97 Sub	12	29%	84%	37%
Aspen View	7	44%	80%	13%
Blue Rock Springs	13	24%	93%	46%
Bryce Estates	1	25%	57%	0%
Clyde Lode	0	0%	50%	0%
Coronet	10	32%	78%	35%
Crown	23	34%	93%	28%
DOT Condo	5	14%	100%	31%
DOT Placer	0	0%	50%	100%
Golden Crown	3	60%	63%	20%
Lakeshore	13	33%	93%	23%
Leap Year	8	38%	91%	43%
Louise Placer	2	29%	70%	14%
McCullough Gulch	1	33%	43%	67%
Meiser	2	100%	100%	0%
Misc Sec TR7-77 Land	0	0%	22%	40%
Mountain View	13	27%	96%	34%
New Eldorado Sub	4	50%	73%	38%
New Eldorado Townhomes	1	11%	100%	56%
Pennsylvania Canyon	0	0%	100	0%
Pomeroy	0	0%	0%	0%
Rivershore	0	0%	63%	0%
Royal	16	24%	94%	31%
Sherwood Forest	20	26%	94%	23%
Silverheels	1	25%	67%	29%
Spillway	3	15%	90%	25%
Spruce Valley Ranch	0	0%	68%	20%
Sunnyslope	12	40%	86%	33%
Timber Creek Estates	29	41%	89%	7%
Wilderness	14	25%	96%	33%

**General Statistics**

- Total Percentage of short-term rentals 28%

**Code Violations 2024**

**Total: 17**

- Advertising Violations: 15
- Dog Violation: 1
- Snow Removal Violation: 1