



BLUE RIVER PLANNING & ZONING COMMISSION OCTOBER 2024

October 10, 2024 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO

AGENDA

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

- I. CALL TO ORDER, ROLL CALL
 - II. APPROVAL OF MINUTES
 - [A.](#) Minutes from September 3, 2024
 - III. PUBLIC HEARING
 - [B.](#) Lot Line Vacation Lots 418 & 419 Coronet
 - IV. PROJECT APPROVAL
 - [C.](#) 6306 Hwy 9-New Construction
 - V. ADJOURN
- NEXT MEETING -



BLUE RIVER PLANNING & ZONING COMMISSION MEETING SEPTEMBER 2024

September 03, 2024 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO

MINUTES

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

I. CALL TO ORDER, ROLL CALL

Chair Johnson called the meeting to order at 6:00 p.m.

PRESENT

Travis Beck-virtually

Tim Johnson

Doug O'Brien

Ben Stuckey

Troy Watts-virtually

ABSENT

Mike Costello

Gordon Manin

Also present: Town Manager Michelle Eddy; Town Attorney Bob Widner; Building Official Kyle

Parag all virtually and Deputy Clerk John DeBee in person.

II. APPROVAL OF MINUTES

A. Minutes from August 6, 2024

Motion made by Beck, Seconded by Stuckey to approve the minutes of August 2024. voting

Yea: Beck, Johnson, O'Brien, Stuckey, Watts. Motion passed unanimously.

III. PROJECT APPROVAL

B. 0043 Backland New Construction

Manager Eddy noted the Building Official's report showing the project meets the requirements.

Motion made by O'Brien, Seconded by Stuckey to approve the new construction project as presented.

Voting Yea: Beck, Johnson, O'Brien, Stuckey, Watts. Motion passed unanimously.

C. 6419 Hwy 9 New Construction

Manager Eddy noted updates provided bringing the application into general conformance. Building Official Parag provided additional information noting that it does substantially meet approval requirements.

Discussion of the review points and overall project. Discussion that if he is using a hardy cement board with the proposed rendering colors it would meet requirements. The siding will be horizontal to create a wood look.

Motion made by Beck, Seconded by O'Brien to approve the new construction project at 6419 Hwy 9 as presented conditioned the garage meet building requirements and plank cement board siding horizontally placed as discussed.

Voting Yea: Beck, Johnson, O'Brien, Stuckey. Motion passed unanimously.

IV. OTHER BUSINESS

D. Land Use Building Size Review

Attorney Widner was present to answer questions and provide suggestions based on the Attorney memo.

Watts noted he didn't see a need for these additional regulations as the current regulations seem sufficient. Stuckey agreed. Discussion whether or not there is a need and options if the code were to be updated.

Beck noted that square footage isn't the concern but more the "fit/character" within the community. Attorney Widner noted this was designed within the Land Use Code.

Watts moved and Beck seconded to noodle/table the issue for more thought about what is need. Motion passed unanimously.

- E. Construction Rules & Regulations Review for recommendation to the Board of Trustees
Manager Eddy noted the Board of Trustees asked the Planning & Zoning Commission to review the regulations and provide any suggestions for changes.

Discussion that the rules are sufficient but enforcement is a challenge. It was noted a new Code Ambassador position is open and should assist with enforcement. It was suggested to ask for photos when a complaint is made and additional rules.

- F. Review of Shed Regulations Section 16B-7-40 of the Blue River Land Use Code

Chair Johnson had asked for this to be on the agenda. Manager Eddy noted this was reviewed while the land use code was being developed. The Trustees had noted there were several places with two sheds and they had no issue with a two shed limit.

Discussion of the project that started the concern. Building Official Parag provided a status of the project and progress in working with the homeowner. Discussion on whether or not it needs Planning & Zoning Commission. It was noted that the project should be brought to Planning & Zoning for approval as the project has evolved to allow for a proper process. Decision to bring the project to Planning & Zoning Commission for approval.

Discussion on sheds and outbuildings and whether or not they should match the home. Additional discussion of the differences in use and whether it falls under a shed or garage. It was noted that size determines where it falls.

V. ADJOURN

O'Brien moved and Stuckey seconded to adjourn the meeting at 7:32 p.m.

NEXT MEETING - Tuesday, October 8, 2024

October 8, 2024



Lot Line Adjustment Application

Legal Description: Lot: 418 and 419 Subdivision: Coronet
 Physical Address: 0588 Coronet Dr Blue River Co 80424
 Homeowner Name: Shanan and Jim Cox Phone: 303 591-1985
 Mailing Address: 0588 Coronet Dr Blue River Co 80424
 Email: JSWFJ COX @ hot mail.com

Requirements

Sec. 17-1-30. Partial replatting of approved subdivisions.

The procedure for the amendment or partial replatting of approved subdivisions, including lot line adjustments, lot line vacations and resubdivision of single-family lots as duplex lots shall be as follows:

- (1) Applications for the amendment or partial replatting of approved subdivisions, including lot line adjustments, lot line vacations and re-subdivision of single-family lots as duplex lots, shall include the following:
 - a. An application form, signed by the owner of the property, in a format prescribed by the Town, including a brief description of the purpose of the application, a legal description and the name and address of the property owner, together with evidence of ownership and any liens against the property (such as an informational title commitment).
 - b. An application deposit in the amount of five hundred dollars (\$500.00) for lot line adjustments or two hundred (\$200.00) for other applications, which deposit will be used to pay actual review costs, including attorney and engineering costs and any recording, publication or other miscellaneous fees and costs. If such costs are less than the deposit, the difference shall be refunded to the applicant. If the costs are more than the deposit, the applicant shall pay all amounts due in full before approval.
 - c. A copy of the original plat, or relevant portion thereof, which would be affected by approval of the application and a vicinity map indicating the location of the property.
 - d. The names and addresses of any property owners within three hundred (300) feet of the property.
 - e. A plat in recordable form, at a minimum meeting the requirements for plats of the *Summit County Land Use and Development Code*, Section 8700 and Appendix 8-3, Standard Plat Certificates and Notes, subject to the following changes and unless otherwise approved by the Town Attorney:
 1. Change "Summit County" or "County of Summit" to "Town of Blue River."
 2. "Summit County Clerk and Recorder" – no change.
 3. Change "Summit County Planning Commission" to "Town of Blue River Planning and Zoning Commission."
 4. Change "Board of County Commissioners" to "Board of Trustees."

Said plat shall contain the following additional certificate:

This plat is approved for recording by the Board of Trustees of the Town of Blue River the _____ day of _____, 20____.

Mayor

ATTEST:

Town Clerk

The plat shall state the name of the original subdivision and show all easements and rights-of-way for roads and utility lines as constructed. The plat shall state the purpose of the resubdivision or partial replatting of the subdivision. In the case of lot line adjustments and lot line vacations, the plat shall also show the existing lot line and, in the case of lot line adjustments, the new lot line.

f. Letters of consent from any utility companies identified on the plat as having the right of use of any easements which will be affected by approval of the application.

(2) Any application for a lot line vacation shall also contain a restrictive covenant for recording, in a form prescribed by the Town, wherein the owner agrees for himself or herself and successors and assigns that, if the lot line vacation is approved, there shall be no future resubdivision of the new lot.

(3) Procedure for review of application.

a. The Town Attorney will determine if the application is complete. If the Town Attorney determines that any application may materially affect third parties, a public hearing shall be conducted pursuant to Section 16-2-60 of this Code.

b. Within thirty (30) days of the receipt of a complete application, the Planning and Zoning Commission shall review the application and recommend to the Board of Trustees approval, approval with conditions or denial of the application. An application shall be approved only if:

1. Except in the case of an application for resubdivision of single-family lots as duplex lots, no additional lots will be created;
2. No lots will be created which do not comply with zoning requirements;
3. No lots will be created which cannot be built upon under the regulations of the Town;
4. No other lot lines within the subdivision are affected; and
5. In the case of resubdivision of a single-family lot as a duplex lot, the single-family lot was approved as a duplex lot but not originally subdivided as such.

c. At its next regular meeting following the receipt of the recommendation of the Planning and Zoning Commission, the Board of Trustees shall consider the recommendation and shall deny the application or approve the plat for recording, with or without conditions. (Prior code 7-1-8; Ord. 05-03 §5, 2005; Ord. 06-01 §1, 2006)

RESTRICTIVE COVENANT FOR THE VACATION OF LOT LINES

THIS RESTRICTIVE COVENANT ("Covenant") is entered into this 26 day of August, 2004, by and between Sharon and Jim Cox, whose address is 0588 Coronet Dr ("Grantor"), and the **TOWN OF BLUE RIVER, COLORADO**, by and through its Board of Trustees, whose address is P. O. Box 1784, Breckenridge, Colorado, 80424 ("Grantee"), for the purpose of forever restricting the use of and on the subject property.

RECITALS

- A. Grantor warrants that it is the sole and lawful owner of property located in the Town of Blue River, Colorado, and identified as 0588 Coronet Dr, Blue River lots 418 and 419 ("the Property"), and is authorized to enter into this agreement; and
- B. The Property is currently within an R-1 zoning district, as defined in the Blue River, Colorado Zoning Code. The R-1 zoning designation on this Property allows single-family residential dwellings on the Property and certain accessory uses as enumerated in the Blue River Zoning Code; and
- C. Grantor wishes to vacate the lot line between Lots 418 and 419 for the purpose of creating one parcel to be known as Lot 419 and
- D. Grantor further agrees to abide by the existing R-1 zoning designation on the Property, as such zoning may be revised from time to time in the future. Grantor enters into this restrictive covenant with full knowledge and understanding of the density restrictions which will be imposed upon said Property as a result of the subject lot line vacation and this covenant.

AGREEMENT

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, Grantor hereby covenants and agrees to restrict any future subdivision of the Property, subject to the following terms and conditions:

- 1. Grantor covenants and warrants that the Property shall not be subdivided in the future, at any time and for any purpose, by any lawful manner; including, but not limited to, action under the Blue River Town Code, by operation of law, or by order of any court as detailed in Section 30-28-101 (10), C.R.S. Grantor covenants that the Property shall at all times in the future consist of only one lot.
- 2. This Covenant shall constitute a restrictive covenant which shall run with the land in perpetuity for the benefit of Grantee. The terms and obligations of this Covenant shall be binding upon all parties hereto, and their respective heirs, successors and assigns.
- 3. This Covenant expressly inures to the benefit of and is enforceable by Grantee. Grantee shall have the right to prevent and correct or require correction of violations of the terms and purposes of this Covenant by injunction or otherwise. In the event of any litigation, the prevailing party shall recover its costs and reasonable attorney's fees. Enforcement of the terms and provisions of this Covenants shall be at the discretion of the Grantee and any failure of Grantee to discover a violation or any forbearance to exercise its rights hereunder shall not be deemed or construed to be a waiver of such terms or of any subsequent breach of the same or any other term of this Covenant or of any of the Grantee's rights hereunder or an abandonment of any duties or responsibilities hereunder.
- 4. Grantor waives any defense of laches, estoppel, prescription, and any and all requirements in Section 38-41-119, C.R.S. that require Grantee to bring action to enforce the terms of this

Covenant or to compel the removal of any building or improvement on the Property within one year from the date of the violation.

5. Grantee shall record this instrument in a timely fashion in the official records of Clerk and Recorder of Summit County, and Grantee may re-record it at any time as may be required to preserve its rights in the Covenant.

6. The interpretation and performance of the Covenant shall be governed by the laws of the State of Colorado. Venue shall only proper in Summit County, Colorado.

7. In the case one or more of the provisions contained in the Covenant, or any application hereof, shall be invalid, illegal or unenforceable in any respect, the validity, legality and enforce ability of the remaining provisions contained in this Covenant and application thereof shall not in any way be affected or impaired thereby.

IN WITNESS WHEREOF, the parties have executed this Covenant, as of the date first above written.

Grantor:

Grantee:

TOWN OF BLUE RIVER, COLORADO

By: _____
Mayor

ATTEST:

Town Clerk

STATE OF COLORADO)
) ss.
COUNTY OF _____)

The foregoing instrument was acknowledge before me on _____, 20__
by _____, as Grantor.

Witness my hand and official seal.

Notary Public: _____
My commission expires: _____

STATE OF COLORADO)
) ss.
COUNTY OF SUMMIT)

The foregoing instrument was acknowledged before me on _____, 200__, by
_____, as Mayor, and _____, a Town Clerk, Town of
Blue River, Colorado, as Grantee.

Witness my hand and official seal.

Notary Public: _____
My commission expires: _____



Plat Amendment Application Form

1. Please check the action requested:

Lot Line Adjustment (LLA)

A Lot Line Adjustment will change an existing platted area. The lot line adjustment process allows one or more Property Owners to move, change, modify or relocate an existing lot line located between two or more lots, without creating additional lots and without substantially modifying the original subdivision. This type of adjustment requires a public hearing before either the Planning Commission or the Town Board of Trustees. Where more than one Property Owner owns the lots that will be affected by the lot line adjustment, all Property Owners must complete a Lot Line Adjustment Application.

Check this box if the proposed Lot Line Adjustment involves lots owned by two or more Property Owners.

Lot Consolidation

A Lot Consolidation will change an existing platted area by combining two or more lots into a fewer number of lots. The lot consolidation process allows a Property Owner to combine two or more previously platted lots through the elimination of lot lines for the purpose of creating a single lot. This type of replat requires a public hearing before either the Planning Commission or the Town Board of Trustees.

Plat Text Amendment

The Plat Text Amendment process allows one or more Property Owners to modify, amend, add, or delete a written note, restriction, limitation, condition, or other obligation, right, or duty that is stated on a recorded plat that affects their respective lots. This type of replat requires a public hearing before either the Planning Commission or the Town Board of Trustees.

Check this box if the proposed Lot Line Adjustment involves lots owned by two or more Property Owners.

2. Property, Applicant and Owner Information:

Property Address (or general location if not addressed): 0588 Coronet Dr. Blue River, Co
80424

Legal Description: Lot ⁴¹⁸419 Block Subdivision Coronet (or attach description)

Lot Area (in square feet or acres): 82,764 Existing Zoning: B1

Existing Use of Property: Residential

Property Owner's Name: Shanan G Cox Living Trust; Jim Cox and Shanan Cox, Trustees

Phone: 303 591-1985

Owner's Email: JSWFJCOX@hotmail.com

Check this box if another person (identified below) is acting as an Agent on behalf of the Property Owner and is authorized to act on behalf of the Property Owner in processing the Plat Amendment. Please note: The Owner, and not the Agent, must sign the applicable Plat Amendment instrument, if approved by the Town, which is recorded with the County Clerk & Recorder's Office.

Applicant as Agent for Property Owner:

Name: _____

Company (if applicable): _____

Phone: _____

Agent's Mailing Address: _____

Agent's Email: _____

3. Project Information:

A. Please describe the Project. vacate lot line between lots 418 and 419, Coronet Subdivision, making one lot.

B. If the Project involves an LLA and a potential transfer parcel, is there an agreement between the owners of both parcels? If written, please attach. If verbal, please describe.

C. If the Project involves an LLA, will there be legal access from a public road to both parcels?

Yes No Show access to both parcels after adjustment on a sketch map and describe:

D. Describe any practical problems with any new access from a public road to both parcels (None, AWD only, 4 WD only, ATV only, motorcycle/bicycle only, or foot only):

None

E. Are there any existing wells and water lines? Yes No on lot 419

F. Does the Project change ownership of any existing wells? Yes No

G. Are there any existing on-site sewage disposal systems? Yes No *on lot 414*

H. Does the Project change ownership of any portion of the existing sewage system?

Yes No

I. Are there any existing liens against all or any portion of either parcel? Yes No

J. Are there any covenants or property owners' association rules and regulations (in any form) that are applicable to either existing parcel, which would prohibit this Project? If yes, please explain:

- None -

K. Surveyor:

Name: _____ License #: _____

Signature of Property Owner:

First Parcel Owner

The undersigned person represents that they are the legal owner of record of the property identified in this application and that the information contained herein is true and accurate to the best of my knowledge. Further, the undersigned authorizes the Agent identified in this application to act on the Property Owner's behalf in the processing of the application.

Shanan G Cox

Signature

Shanan G Cox

Print Name

Aug 25, 20*24*

Date

Second Parcel Owner

The undersigned person represents that they are the legal owner of record of the property identified in this application and that the information contained herein is true and accurate to the best of my knowledge. Further, the undersigned authorizes the Agent identified in this application to act on the Property Owner's behalf in the processing of the application.

Signature

_____, 20____
Date

FOR STAFF USE ONLY

Application received by: _____ Date/Time: _____

Fee: _____ Date Fee Paid: _____ Receipt #: _____ Check #: _____

Project Name: _____

File Name: _____



1019571

Kathleen Neel - Summit County Recorder

QUIT CLAIM DEED

THIS DEED, made this 5th day of ~~January~~ February 2013, between James W. Cox and Shanana Cox of the County of Jefferson, State of Colorado, GRANTORS, and the SHANAN G. COX LIVING TRUST, dated June 15, 2012, (the legal address of which is 2215 Afton Lane, Evergreen, CO 80439), State of Colorado, GRANTEE.

WITNESSETH, that the Grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), the receipt and sufficiency of which is hereby acknowledged, have demised, released, sold, conveyed, and QUIT CLAIMED, and by these presents do demise, release, sell, convey, and QUIT CLAIM unto the Grantees, its successors and assigns forever, all the right, title, interest, claim, and demand which the Grantors have in and to the real property, together with improvements, if any, situate, lying, and being in the lying and being in the County of Summit and the State of Colorado, described as follows:

Lots 418 and 419, The Coronet Subdivision - Blue River Estates, Inc. according to the Plat thereof recorded July 27, 1965 at Reception No. 102530, County of Summit, State of Colorado.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances and privileges thereunto belonging or in anywise thereunto appertaining and all the estate, right, title, interest, and claim whatsoever, of the Grantors, either in law or equity, to the only proper use, benefit and behoof of the Grantee, its successors and assigns forever.

IN WITNESS THEREOF, the Grantors have executed this deed on the date set forth above.

James W. Cox
James W. Cox, Grantor

Shanana Cox
Shanana Cox, Grantor

STATE OF COLORADO)
)ss
COUNTY Summit)

On February 5th, 2013, before me personally appeared James W. Cox and Shanana Cox, known to be the persons described in and who executed the foregoing instrument, and acknowledged that they executed the same as their free act and deed for the purposes and consideration herein contained.

Witness my hand and official seal.

[Signature]
Notary Public
My commission expires: 5/11/16

Dana Galenski
Notary Public
State of Colorado
My Commission Expires 05/11/2016

Davis Schilken, PC
Attn: Brandy Noriega
7887 E. Belleview Ave. Ste 820
Denver, CO 80111



1019572

Kathleen Neel - Summit County Recorder

STATEMENT OF AUTHORITY

The undersigned, as trustees of the SHANAN G. COX LIVING TRUST, dated June 15, 2012, hereby issue this statement of authority pursuant to Colorado Revised Statutes §38-30-108.5 and §38-30-172.

1. The SHANAN G. COX LIVING TRUST is a revocable living trust formed under the laws of the State of Colorado.

2. The trustees and mailing address for the trust are:

SHANAN G. COX
2215 Afton Lane
Evergreen, CO 80439

JAMES W. COX, JR.
2215 Afton Lane
Evergreen, CO 80439

3. The acting trustee or trustees of the trust are the only persons authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the trust. There are no limitations on the authority of the trustee or trustees of the trust concerning the manner in which the trust deals with any interest in real property.

Signed and dated this 5th day of February, 2013.

SHANAN G. COX, Trustee

JAMES W. COX, JR., Trustee

STATE OF COLORADO)
)ss.
COUNTY OF Summit)

Subscribed to and sworn before me by SHANAN G. COX and JAMES W. COX, JR., as trustees of the SHANAN G. COX LIVING TRUST, on the 5th day of February, 2013.

Dana Galenski
Notary Public
State of Colorado
My Commission Expires 05/11/2016

Notary Public

My commission expires: 5/11/16

Davis Schilken, PC
Attn: Brandy Noriega
7887 E. Belleview Ave. Ste 820
Denver, CO 80111

THE CORONET SUBDIVISION -
BLUE RIVER ESTATES, INC.

BOOK _____ PAGE _____

102530

D. The names and addressees of any property owners within three hundred feet of the property:

| Schedule | Name | Address |
|----------|---|--|
| 101081 | Town of Breckenridge | P O Box 168, Breckenridge, Co 80424-0168 |
| 100095 | Bill Frederick Trust | 16421 Bonnie Ln, Los Gatos, Ca 95032-4714 |
| 100258 | Guarding Your Investments LLC. | 8252 S43rd St, Franklin,WI 53132-7915 |
| 100369 | Holly Lane LLC | 22316 S Shore Dr., Waterloo NE 68069-0000 |
| 101299 | Kniffen Revocable Living Trust, Glen Mitchell | 8105 S Adams Way, Centennial Co 80122-3605 |
| 101276 | Randall Nations | P O Box 4149, Breckenridge, Co 80424-4149 |
| 6505313 | Peterson Family Trust | P O Box 3596, Breckenridge, Co 80424-3569 |
| 101300 | John T. Schillingburg | 5196 N Ocean Dr, Rivera Beach, FL 33404-0000 |
| 4008686 | U S Dept of Agriculture | P O Box 620, Silverthorne Co 80498-0620 |
| 100390 | Kathleen A Valenta | 19 S LAGrange Rd Ste 200, LAGrange IL 60525-6332 |

SCHEDULE, FULLNAME, ADDRESS, CITYSTATEZIP

101081,Property Owner,PO BOX 168,BRECKENRIDGE CO 804240168
6515388,Property Owner,905 COUNTY ROAD 65,KILLEN AL 356455937
6515389,Property Owner,905 COUNTY ROAD 65,KILLEN AL 356455937
100095,Property Owner,16421 BONNIE LANE,LOS GATOS CA 950324714
100258,Property Owner,8252 S 43RD ST,FRANKLIN WI 531327915
100369,Property Owner,22316 S SHORE DR,WATERLOO NE 680690000
101299,Property Owner,8105 S ADAMS WAY,CENTENNIAL CO 801223605
101276,Property Owner,PO BOX 4149,BRECKENRIDGE CO 804244149
6505313,Property Owner,PO BOX 3596,BRECKENRIDGE CO 804243596
101300,Property Owner,5196 N OCEAN DR,RIVERIA BEACH FL 334040000
4008686,Property Owner,PO BOX 620,SILVERTHORNE CO 804980620
100390,Property Owner,19 S LA GRANGE RD STE 200,LA GRANGE IL 605256332

OWNERS' CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT SHANAN G COX LIVING TRUST, BEING THE OWNER OF THE FOLLOWING DESCRIBED REAL PROPERTY SITUATED IN THE COUNTY OF SUMMIT, STATE OF COLORADO:

LOTS 418 AND 419, CORONET SUBDIVISION, AS SHOWN ON THE PLAT RECORDED JULY 20th, 1985 UNDER RECEPTION NO. 102630 OF THE RECORDS OF THE CLERK AND RECORDER OF SUMMIT COUNTY, COLORADO HAS LAID OUT, SUBDIVIDED AND PLATTED THE SAME INTO LOTS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME AND STYLE OF AMENDED REPLAT, LOT 419R, CORONET SUBDIVISION; AND BY THESE PRESENTS, DO HEREBY SET APART AND DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL OF THE STREETS, ALLEYS AND OTHER PUBLIC WAYS AND PLACES AS SHOWN HEREON, AND FURTHER HEREBY DEDICATES THOSE PORTIONS OF LAND LABELED AS EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AS SHOWN HEREON.

DATED THIS ____ DAY OF _____, 2024

SHANAN G COX LIVING TRUST
By: JAMES COX, REPRESENTATIVE

STATE OF COLORADO)
) SS.
COUNTY OF SUMMIT)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2024, BY JAMES COX, REPRESENTATIVE.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

AMENDED REPLAT
LOTS 418 AND 419
CORONET SUBDIVISION
LOCATED IN THE SEC. 1, T8S, R78W OF THE 6TH P.M.
TOWN OF BLUE RIVER, COUNTY OF SUMMIT
STATE OF COLORADO

TITLE COMPANY CERTIFICATE

AND TITLE GUARANTEE COMPANY, DOES HEREBY CERTIFY THAT WE HAVE EXAMINED THE TITLE TO ALL LANDS SHOWN HEREON AND ALL LANDS HEREIN DEDICATED BY VIRTUE OF THIS PLAT AND TITLE TO ALL SUCH LANDS IS IN THE DEDICATOR FREE AND CLEAR OF ALL LIENS, TAXES AND ENCUMBRANCES, EXCEPT AS FOLLOWS:

DATED THIS ____ DAY OF _____, A.D., 2024.

AGENT

APPROVAL BY CHAIRMAN OF BOARD OF COUNTY COMMISSIONERS:

I, _____, ON BEHALF OF THE SUMMIT COUNTY BOARD OF COUNTY COMMISSIONERS DO HEREBY APPROVE THIS SUBDIVISION PLAT ON THIS ____ DAY OF _____, 2024, AND HEREBY ACCEPT DEDICATION OF UTILITY EASEMENTS AS SHOWN HEREON.

BY: _____
CHAIRMAN, BOARD OF COUNTY COMMISSIONERS

TREASURER'S CERTIFICATE

I THE UNDERSIGNED DO HEREBY CERTIFY THAT THE ENTIRE AMOUNT OF TAXES AND ASSESSMENTS DUE AND PAYABLE AS OF _____ UPON ALL PARCELS OF REAL ESTATE DESCRIBED ON THIS PLAT ARE PAID IN FULL.

DATED THIS ____ DAY OF _____, 2024.

SIGNATURE
SUMMIT COUNTY TREASURER

BOARD OF TRUSTEES CERTIFICATE

THIS PLAT APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF BLUE RIVER, COLORADO THIS DAY OF OCTOBER ____, 2024, FOR FILING WITH THE CLERK AND RECORDER OF SUMMIT COUNTY, COLORADO AND FOR THE CONVEYANCE TO AND ACCEPTANCE BY THE TOWN OF BLUE RIVER OF THE PUBLIC DEDICATIONS SHOWN HEREON; SUBJECT TO THE PROVISION THAT APPROVAL IN NO WAY OBLIGATES THE TOWN OF BLUE RIVER FOR MAINTENANCE OF ROADS DEDICATED TO THE PUBLIC UNTIL CONSTRUCTION OF IMPROVEMENTS THEREON SHALL HAVE BEEN COMPLETED IN ACCORDANCE WITH TOWN OF BLUE RIVER SPECIFICATIONS, AND THE BOARD OF TRUSTEES OF THE TOWN OF BLUE RIVER HAS BY A SUBSEQUENT RESOLUTION AGREED TO UNDERTAKE MAINTENANCE OF THE SAME. THIS APPROVAL DOES NOT GUARANTEE THAT SOIL CONDITIONS, SUBSURFACE GEOLOGY, GROUND WATER CONDITIONS, OR FLOODING CONDITIONS OF ANY LOT SHOWN HEREON ARE SUCH THAT A BUILDING PERMIT OR ANY OTHER REQUIRED PERMIT WILL BE ISSUED. THIS APPROVAL IS WITH THE UNDERSTANDING THAT ALL EXPENSES INVOLVING ALL IMPROVEMENTS REQUIRED SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND NOT THE TOWN OF BLUE RIVER.

MAYOR, TOWN OF BLUE RIVER

ATTEST:

NICHOLAS DECICCO

TOWN CLERK

PLANNING AND ZONING COMMISSION CERTIFICATE

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE TOWN OF BLUE RIVER PLANNING AND ZONING COMMISSION THIS DAY OF OCTOBER ____, 2024.

CHAIRPERSON

ATTEST:

NAME?
BLUE RIVER PLANNING & ZONING COMMISSION

TOWN CLERK

CLERK AND RECORDERS CERTIFICATE

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE SUMMIT COUNTY CLERK AND RECORDER ON THIS ____ DAY OF _____, 2024 AND FILED FOR RECORD AT UNDER RECEPTION No. _____

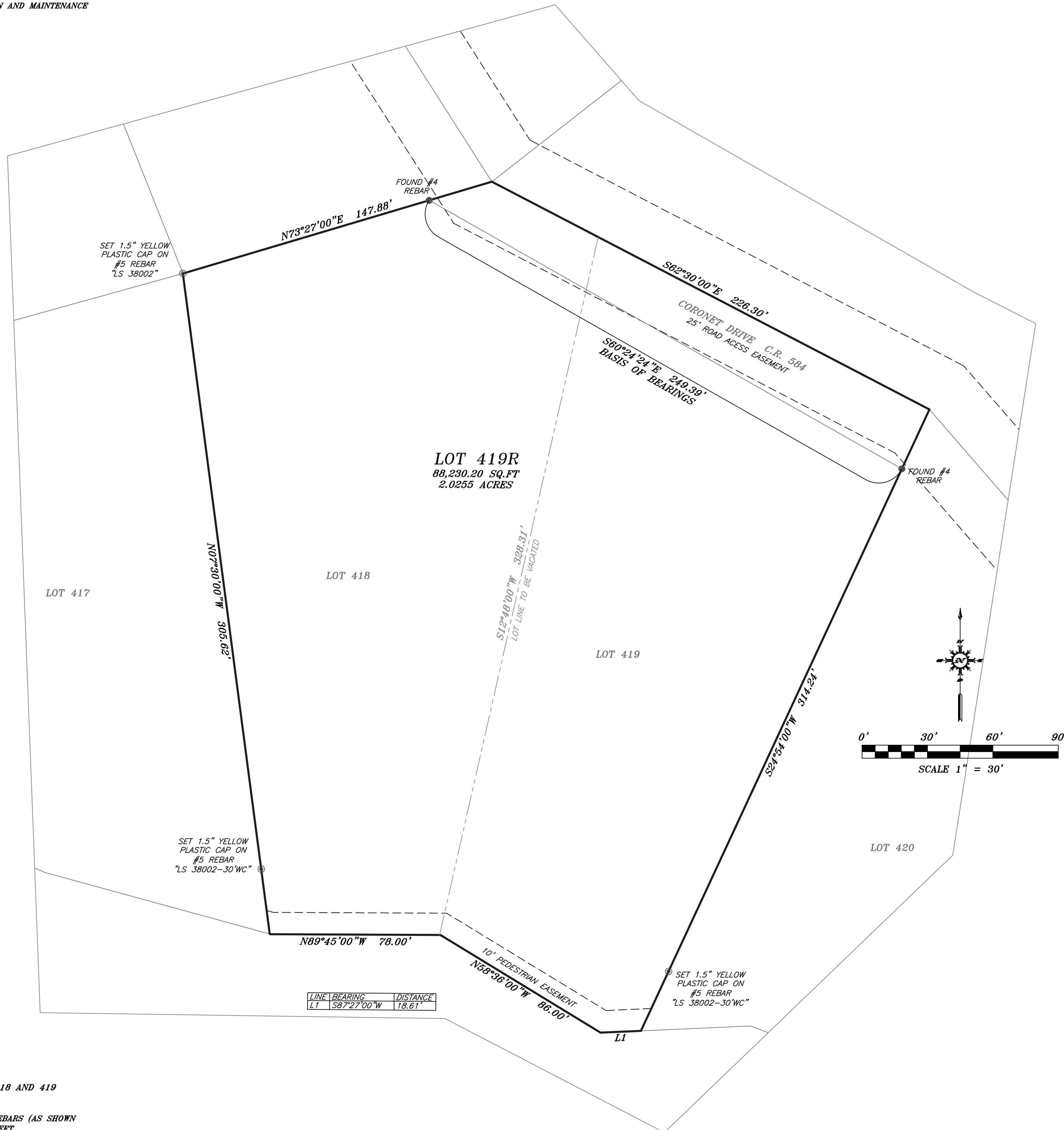
SIGNATURE
SUMMIT COUNTY CLERK AND RECORDER

SURVEYOR'S CERTIFICATE

I, GEORGE CHRISTIAN MOODY, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THIS AMENDED REPLAT, LOT 40R, TOWNAL ESTATES, WAS PREPARED BY ME AND UNDER MY SUPERVISION, THAT BOTH THIS PLAT AND THE SURVEY ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE MONUMENTS WERE PLACED PURSUANT TO 38-51-105, C.R.S.

DATED THIS ____ DAY OF _____, 2024.

GEORGE CHRISTIAN MOODY, P.L.S.
COLORADO L.S. No. 38002
FOR AND ON BEHALF OF BASELINE SURVEYS, LLC



| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S87°27'00"W | 18.67 |

PLAT NOTES:

- 1) THE AMENDED PLAT, A RESUBDIVISION OF LOTS 418 AND 419 CORONET SUBDIVISION
- 2) BASIS OF BEARINGS: BETWEEN TWO FOUND #4" REBAR (AS SHOWN HEREON) WITH A BEARING OF S80°24'24"W, 249.39 FEET.
- 3) FOR THE PURPOSE OF TITLE AND EASEMENTS OF RECORD, BASELINE SURVEYS LLC RELIED UPON THE TITLE COMMITMENT No. 1016389-C, PREPARED BY TITLE COMPANY OF THE ROCKIES, DATED OCTOBER 12, 2020.

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Baseline Surveys LLC
AMENDED REPLAT
LOTS 418 AND 419
CORONET SUBDIVISION
LOCATED IN THE SEC. 1, T8S, R78W OF THE 6TH P.M.
TOWN OF BLUE RIVER, COUNTY OF SUMMIT
STATE OF COLORADO

| Date | Revisions | Date | Scale |
|------|-----------|---------------|----------------------|
| | | 10/07/2024 | 1"=30' |
| | | Drawn By: RDG | Checked By: GCM |
| | | Job No: 4729 | DWG File: 4729 RESUB |

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: September 30, 2024
RE: Planning/Zoning/Architectural Guidelines review – 6306 Hwy 9

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Zoning Regulation analysis –

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 4 bedroom, 3 bath home, includes 3431 s.f. of living space and an attached 671 s.f., 2 vehicle garage for a combined 4102 square feet.

Zoning district: R-1

Lot Size: ~ 20,000 sq. ft.
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 155’
100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs.

Height: Architecturals documents measured the height incorrectly, height is 30’8”

Garage Stds: The proposed garage is ~671sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior parking. The exterior parking space will partially be in the side setback.

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

| | |
|-----|---|
| Y | Element is in substantial compliance with the design guidelines |
| N | Does not comply with the design guidelines |
| PC | Subject to Planning Commission Specific approval |
| | Requires additional information from applicant |
| N/A | Not Applicable to the application |

| STANDARD | NOTES/REMARKS | SUBSTANTIAL COMPLIANCE |
|--|---|------------------------|
| DEVELOPMENT STANDARD | | |
| Article 3: Easements | Several easements are located on the property, access easements and pedestrian easement, with blue river road extending past the easement onto the property. Utility easement on the Hwy 9 side may be missing. From the information known, it appears compliant. | Y |
| Article 4: Buildable Area/setbacks | Setbacks appear to be measured correctly | Y |
| Article 5 Building Design Standards | | |
| Article 5-20 Building Height | Height is indicated at 23', but is more accurately determined to be 30'-8", which complies | Y |
| Article 5-60 Foundation | Foundation is not exposed, covered with siding | Y |
| Article 5-70 Roofs | Main roof design is a gable roof with a slope of 2.5:12, less than 4:12 requires discretionary review. | PC |
| Article 5-80 Garages | Shows general conformance | Y |
| Article 5-90 Window and doors | Windows are sized to complement the home. | Y |
| Article 5-100 | Vertical wood is indicated | Y |

| | | |
|---|---|---|
| Balconies and railings | | |
| Article 5-110 Chimney and Roof Penetrations | Chimney is indicated on the north side of the home, shows general conformance | Y |
| Article 6 Building Materials and Colors | | |
| Article 6-20 Materials | Siding is LP smart side | Y |
| Article 6-30 Colors | Colors are not provided | N |
| Article 7 Accessory Improvements | | |
| Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos | None indicated. Garage is indicated at 671 Sqft | Y |
| Article 7-50 Driveways | Width indicated at 12'. Slopes are minimal. 16B-7-50 (c) (2) requires an agreement approved by the Town attorney, not provided. Snow storage calculations are not provided | N |
| Article 7-60 Parking Areas | Parking comprises of 2 interior spaces and one exterior space. The exterior space is partially in the side setback. 3 spaces are required. | N |
| Article 7-100 Decks | Large deck is proposed, shows general conformance | Y |
| Article 7-120 Hot Tubs | None indicated | Y |
| Article 7-140 Fences | None indicate | Y |
| Article 7-150 Retaining walls | None indicated | Y |
| Article 8 Signs | | |

| | | |
|---|--|---|
| Article 8 Signs | None indicated | Y |
| Article 9 Lighting | | |
| Article 9 Lighting | Lighting details are not provided | Y |
| Article 13 Environmental Regulations | | |
| Article 13-20 Wetlands | None indicated, however the river is adjacent. | Y |



Design, with family in mind
 (719) 641-2095
 1760 S. Highway 24
 Woodland Park, CO 80863
 allegrodesignco.com

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Intel Build Solutions
 6306 Hwy 9
 Breckenridge, CO 80424

GENERAL CONSTRUCTION & PLAN NOTES:

- These plans are copyrighted 2024 by Allegro Design Co. LLC (Allegro Design Co.), all rights reserved. Any sale, reproduction, creation of derivative works based on these plans, or use of these plans for any purpose without proper compensation to and the express written consent of Allegro Design Co. is strictly prohibited. These plans are subject to copyright protection as an architectural work, under Section 102 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form, as well as, the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or forms represented, can legally result in the cessation of such construction or buildings being seized and/or razed.
- All construction and construction practices to be performed in accordance with all applicable codes and requirements of all regulatory agencies having jurisdiction over the project. Under no condition shall Allegro Design Co. have responsibility for the means, methods or techniques used by the builder in the performance of the work or for conditions of safety at the job site.
- The builder (owner or contractor) is responsible for payment and acquisition of all required permits and fees associated with this project.
- It is the builder's responsibility to thoroughly review and become familiar with all pertinent documents regarding the construction of this project. Any ambiguity, omission or discrepancy discovered in the documents which may cause construction concerns shall be reported to Allegro Design Co. for immediate attention. Failure to discover and notify Allegro Design Co. of said ambiguity, omission or discrepancy prior to the start of construction shall not relieve the builder of responsibility relating to the matter.
- Allegro Design Co.'s liability regarding errors, omissions or discrepancies shall be limited to the correction of the original project drawings.
- It is the builder's responsibility to verify with the home owner or client all finish materials stated on the plans prior to construction. Any ambiguity, omission or discrepancy discovered in the documents which may cause construction concerns shall be reported to Allegro Design Co. for immediate attention.
- Changes or deviations from the original documents, made by the builder or their suppliers without the written consent of the designer, are unauthorized changes to the work and as such shall relieve Allegro Design Co. of all responsibility for any consequences arising therefrom.
- The builder shall be responsible for ensuring that the plans being used for construction are the most current, and match the approved Building Department plan set.
- The builder shall coordinate all colors, finishes, cabinets, countertops, plumbing fixtures, appliances, window and door manufacturers, etc. with the owner.
- The builder shall coordinate the location and construction of all "built-in" requirements for bookcases, entertainment centers, closet shelving, etc. with the owner unless noted otherwise on the plans.
- The builder shall coordinate all "as-built" requirements such as telephone jacks, outlets, switches, fans, lights, security system, intercom, computer network, surround sound, satellite system, central vacuum, air conditioning, home humidifier, water softener, barbecue grill, etc, with the owner and the service installer.
- Allegro Design Co. is not responsible for electrical, plumbing or mechanical system layouts.
- Do not scale the drawings.** If questions arise as to the dimensional requirements of the plans, contact Allegro Design Co. for clarification.
- Automatic sprinkler system may be required.
- All dimensions of walls are from face of stud framing, unless otherwise noted. Undimensioned interior walls are 2x4, unless otherwise noted. Building square footages are calculated from the outside face of exterior stud walls or face of exterior concrete foundation. Door and window dimensions are noted in feet and inches.
- Doors are located 6" from adjacent corner or centered (u.n.o.). Transom and sidelight windows may be included in the door callout. The builder shall verify all door callouts and dimensions with the elevations prior to construction and prior to ordering the door package. (See notes 4, 5, 6, & 13)
- Window callouts are noted as the rough opening, unless otherwise noted. Transom windows may be included in the rough opening window callout. The builder shall verify all window callouts and dimensions with the elevations prior to construction and prior to ordering the window package. (See notes 4, 5, 6, & 13)
- Wall bracing information: unless noted otherwise, all exterior walls shall be constructed as per the wall bracing method cs-wsp (continuous sheathing structure) as per the structural plans (Reference IRC R602.10.4). This shall include the interior of all exterior walls to have 1/2" (min) thick gypsum wall board applied with nails at 8" o.c. or screws at 16" o.c.. See IRC Table R702.3.5 for nail/screw sizes and additional information. All vertical joints shall occur over, and be fastened to, common studs. All horizontal joints shall occur over, and be fastened to, common blocking of a minimum 1-1/2" thickness. See IRC R602.10.10.
- Provide 1 sq. ft. of attic ventilation per 150 sq. ft. attic area or 300 sq. ft. of attic area with 50% of the required ventilation to be located at the upper portion of the roof and the balance of the ventilation to be provided by eave vent. Provide a 22"x30" min access into all attic areas having at least 30" of unobstructed headroom.
- Smoke detectors shall be hardwired, interconnected, and have a battery back-up. An approved carbon monoxide detector shall be installed within 15 ft. of the entrance to all sleeping rooms, and be hardwired w/ battery backup.
- Safety glass shall be required within 18" of floor, 2' of doors, 36" of stairs, and 5' of a bathtub or shower drain. (Reference IRC R308.4)

GENERAL CONSTRUCTION NOTES (CONT.):

- All receptacles within 6' of a water source shall be ground-fault circuit-interrupted. Provide a GFI outlet in garage and on front and rear of house.
- Provide exhaust fans in all bathrooms without windows. Vent to exterior through wall or roof to approved termination cap.
- Cement, fiber cement, or glass mat gypsum shall be used as backers for wall tile in tub and shower areas and wall panels in shower areas. Provide water resistant sheet rock at all other applications which may be subject to the adverse effects of moisture.
- Provide egress windows in all sleeping rooms. Maintain a 44" max sill height. Minimum width of opening shall be 20" and min height shall be 24", with the net opening being at least 5.7 sq. ft. Provide a 3'-0"x3'-0" min exterior egress window well if top of window sill is below grade. Provide a permanently secured ladder if well is deeper than 44".
- Provide fire blocking at 10'-0" intervals, horizontal or vertical.
- Float all non-load bearing walls over concrete slabs per the soils report and the detail on these plans.
- A euer rod is required to be provided in location and manner consistent with applicable codes.

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All Concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.

PROJECT TEAM:

OWNER

Name: Intel Build Solutions
 Client:
 Billing Address: 509 Scott Ave suite 154
 Woodland Park, CO 80863
 Email: tyler@intelbuiltsolutions.com
 Phone: 308-672-9696

LEGAL DESCRIPTION

L170R BLUE RIVER ESTATES, MOUNTAIN VIEW SUB, in Summit County, State of Colorado.

Site Address: 6306 Hwy 9 Breckenridge, CO 80424

Acre: 0.43

DESIGN GROUP & BUILDER

ARCHITECTURAL & STRUCTURAL
 Allegro Design Co. LLC
 1760 S. Highway 24
 Woodland Park, CO 80863
 (719) 641-2095, info@allegrodesignco.com

REVISIONS DESCRIPTIONS

- | Rev. # | Date | Description |
|--------|--------|-------------------------------------|
| 1. | XX/23- | NOTES DESCRIPTION INFO ON REVISIONS |
| 2. | XX/23 | NOTES DESCRIPTION INFO ON REVISIONS |

ARCHITECTURAL

- CS Cover Sheet & General Notes
- C1 Site Plan

FOUNDATION

- F1 Foundation Plan
- F2 Foundation Details

STRUCTURAL

- S1 STR Framing Details
- S2 Main Floor & Deck Framing Plans

| Rev. # | Date | Description |
|--------|---------|-------------|
| 1 | 1/22/23 | AX |
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PROJECT No. 24-0166
 DATE 8/8/24
 DRAWN BY MA
 CHECKED BY JLH

CS

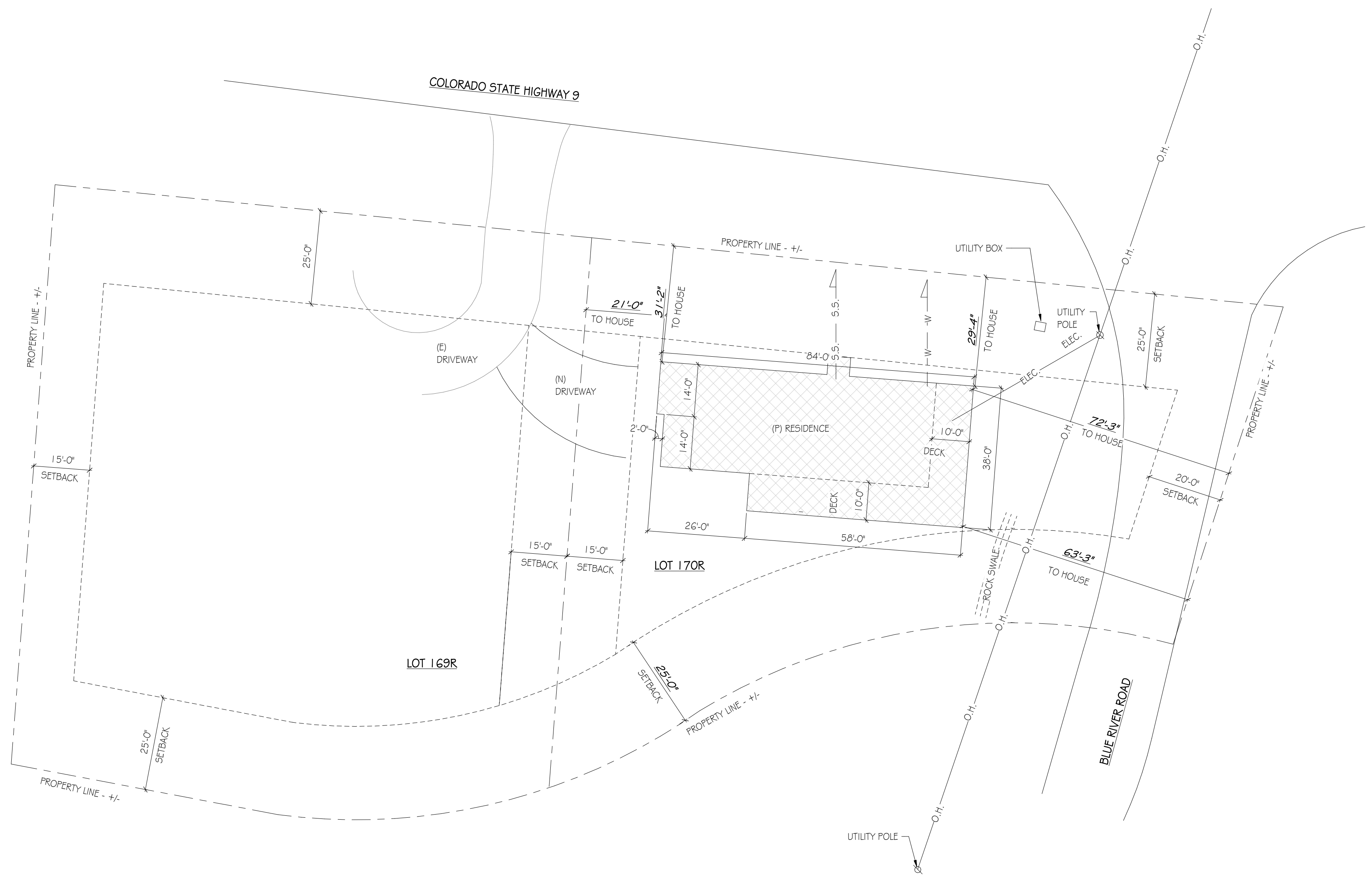
Cover Sheet & General Notes



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DRAWN BY

Allegro Design Co. LLC
 1760 S. Highway 24
 Woodland Park, CO 80863
 (719) 641-2095, info@allegrodesignco.com

Signature:

LEGAL DESCRIPTION

L170R BLUE RIVER ESTATES, MOUNTAIN VIEW SUB, in Summit County, State of Colorado.

Site Address: 6306 Hwy 9 Breckenridge, CO 80424

Acres: 0.43

| | |
|-----------------------|--------------|
| ELECTRIC | — E — |
| WATER | — W — |
| SEPTIC | — S — |
| GAS | — G — |
| EXISTING TOPOGRAPHY | — (dashed) — |
| PROPOSED GRADING | — (solid) — |
| T.O.S. = TOP OF SLAB | |
| T.O.F. = TOP OF FLOOR | |

SITE PLAN LEGEND

SCALE 1" = 20'-0"

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All Concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.
- Refer to applicable building code and the Local Home Owners Association requirements for specifications not stated in the plans.
- All native vegetation is to remain as practical.
- The Contractor and all Sub-Contractors shall take careful consideration to construction practices to help insure proper care of native landscape.

ARCHITECTURAL

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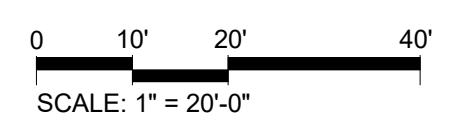
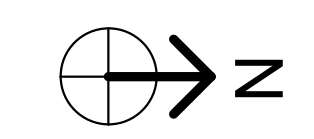
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|-------------|---------|
| PROJECT No. | 24-0166 |
| DATE | 8/8/24 |
| DRAWN BY | JLH |
| CHECKED BY | JLH |

C1
 Site Plan

SITE PLAN

SCALE 1" = 20'-0"

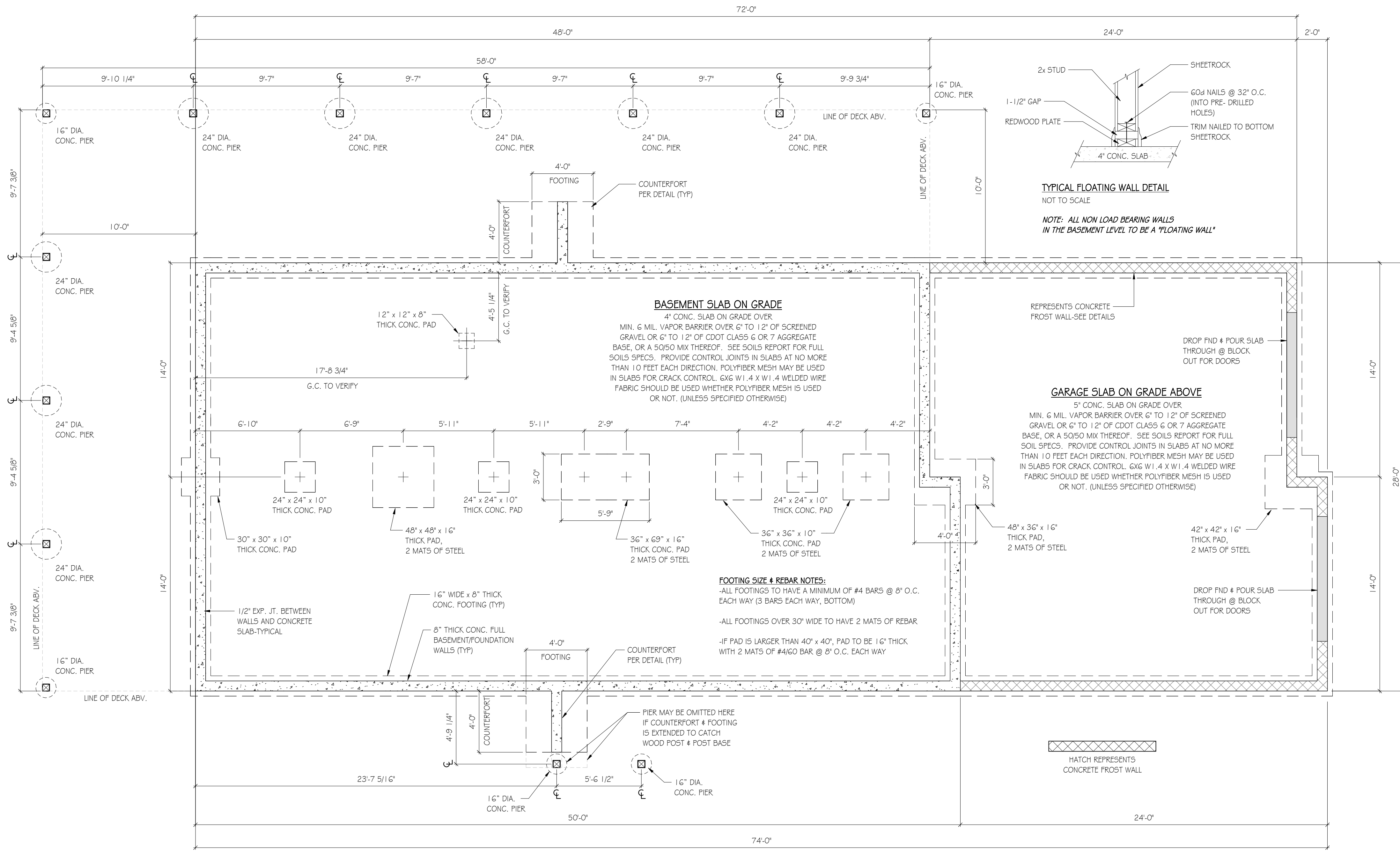




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CRAWLSPACE NOTES: (IF APPLICABLE, VERIFY w/ GOVERNING AUTHORITY)

VENTED CRAWLSPACES:
 PER R408.1, VENTED CRAWLSPACE: VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MIN. NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 500 SQUARE FEET OF UNDER FLOOR SPACE AREA, UNLESS THE GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL. WHERE CLASS 1 VAPOR RETARDER MATERIAL IS USED THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

UNVENTED CRAWLSPACES:
 PER R408.3, UNVENTED CRAWLSPACE: 6 MIL VAPOR RETARDER. OVERLAP SEAMS 6", SEAL & TAPE. EDGES OF VAPOR RETARDER SHALL EXTEND 6" MIN. UP STEM WALL AND SHALL BE ATTACHED & SEALED TO THE STEM WALL OR INSULATION.

*MECHANICAL EQUIPMENT IN CRAWLSPACE TO CONFORM TO IRC M1305.1.4 TYPICAL

***RADON:** THE GEOLOGY OF BUILDING SITES IN COLORADO HAVE A POTENTIAL FOR RADON GAS TO BE PRESENT IN THE SOIL. EXPOSURE TO RADON GAS FOR LONG PERIODS OF TIME IS KNOWN TO BE HEALTH HAZARDOUS. IT IS RECOMMENDED THAT PREVENTATIVE MEASURES BE INCORPORATED INTO THE DESIGN OF THE HOME. ALLEGRO DESIGN CO. IS NOT RESPONSIBLE FOR THE DESIGN OF ANY RADON DETECTION OR PREVENTATIVE SYSTEMS OR ANY OTHER RADON ASSOCIATED ITEMS OR DESIGN.

GENERAL FOUNDATION NOTES:
 CONTRACTOR/BUILDER IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO SETTING FORMS. ANY DISCREPANCIES WITH ITEMS ON THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF ALLEGRO DESIGN CO. LLC. ALLEGRO DESIGN CO. LLC IS NOT RESPONSIBLE FOR FOUNDATION DIMENSIONS AFTER CONCRETE IS POURED.

PROVIDE CONTROL JOINTS IN SLABS AT NO MORE THAN 12 FEET EACH DIRECTION. POLYFIBER MESH MAY BE USED IN SLABS FOR CRACK CONTROL. 6X6 W1.4 X W1.4 WELDED WIRE FABRIC SHOULD BE USED WHETHER POLYFIBER MESH IS USED OR NOT. (UNLESS SPECIFIED OTHERWISE)

PROVIDE 1/2" x 1/0" LONG A307 A.B. @ 4'-0" O.C. MAX. AT 2'-P.T. SILL TO CONC. WALL.

WALL THICKNESSES SHOWN ARE NOMINAL (OR TO OUTSIDE OF ICF FORMS AS APPLICABLE).

REFER TO DETAIL SHEETS FOR REINFORCEMENT AND ADDITIONAL INFORMATION.

LOAD BEARING COMPONENTS SUSCEPTIBLE TO WEATHER SHALL BE FINISHED TO A MINIMUM OF 30" BELOW AND 6" ABOVE FINISHED GRADE.

FINAL WALL HEIGHT AND STEP DOWNS ARE TO BE FIELD DETERMINED BY CONTRACTOR BASED ON THE FINAL EXTERIOR GRADE. THE CROSS SECTIONS, BEAM POCKETS, ETC. SHOWN ARE FOR GENERAL REFERENCE AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.

PLACE AND COMPACT BACKFILL IN LIFTS ALONG ENTIRE LENGTH OF WALL. SEE SOILS REPORT FOR SPECIFICATIONS.

CONTRACTOR/BUILDER SHALL VERIFY AND COMPLY WITH ALL LOCAL AND BUILDING CODE OFFICIAL REQUIREMENTS REGARDING ALL TREATED SILLLEDGERS CONTACTING WITH CONCRETE OR METAL HANGERS. THIS COMPLIANCE SHALL INCLUDE THE VERIFICATIONS AND COMPLIANCE CHECK FOR ALL COMPATIBLE CONNECTORS (SUCH AS HOT-DIPPED GALVANIZED OR STAINLESS STEEL CONNECTORS AND SCREWS/NAILS WITH THE PROPER CORROSION RESISTANCE.)

FOOTING SIZE & REBAR NOTES:
 -ALL FOOTINGS OVER 30" WIDE TO HAVE 2 MATS OF REBAR

-IF PAD IS LARGER THAN 40" x 40", PAD TO BE 16" THICK WITH 2 MATS OF #4/60 BAR @ 8" O.C. EACH WAY

DESIGN LOADS:
 2,500 PSF - (PER SOILS REPORT BY LITTLEHORN ENGINEERING & SURVEYING, LLC. PROJECT #2017-410)

DESIGN LOADS:

GOVERNING AGENCY
 City of Blue River Colorado
 0110 Whispering Pines Circle, Blue River
 PO Box 1784, Breckenridge, CO 80424

LIVE & DEAD LOADS

FLOOR: 40 LIVE LOAD
 15 DEAD LOAD
 55 TOTAL LOAD

DECK: 125 LIVE LOAD
 15 DEAD LOAD
 140 TOTAL LOAD

ROOF: 100 LIVE LOAD
 15 DEAD LOAD

115 TOTAL LOAD
 GROUND SNOW = 130 LB/FT

(NO REDUCTION IN SNOW LOAD FOR DURATION)

WIND LOADS
 90 MPH, 3-SECOND GUST EXPOSURE "C"

FROST DEPTH = 40"

*PIERS SUPPORTING ONLY DECK WITH NO ROOF ELEMENTS MAY BE A MINIMUM OF 24" BELOW GRADE.

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

ARCHITECTURAL

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| Rev. # | Date | Description |
|--------|------|-------------|
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| | | |
| | | |
| | | |

PROJECT No. 24-0166

DATE 8/8/24

DRAWN BY JLH

CHECKED BY LM

F1
 Foundation Plan



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Intel Build Solutions
 6306 Hwy 9
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FOUNDATION SPECIFICATIONS:

GENERAL
 ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE APPLICABLE BUILDING CODE, AS WELL AS ANY OTHER REGULATING AGENCIES WITH AUTHORITY OVER ANY PORTION OF THE WORK.

ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS OF ALL GOVERNING AGENCIES. DESIGN, MATERIALS, EQUIPMENT, AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ENGINEER, AND GOVERNING CODE AUTHORITY.

THIS ENGINEERED FOUNDATION DESIGN HAS BEEN COMPLETED WITH ECONOMY, CONSTRUCT, AND ADHERENCE TO THE STANDARDS OF THE CURRENT BUILDING CODES AS PRIMARY CONSIDERATIONS AND REFLECTS THE CURRENT STANDARDS OF PRACTICE IN THIS AREA.

THE PROVIDED DETAILS ARE NOT INTENDED TO PRESENT STEP-BY-STEP INSTALLATION INSTRUCTIONS. A WORKING KNOWLEDGE OF THE BUILDING CODES AND PRACTICAL BUILDING KNOWLEDGE ARE REQUIRED TO COMPLETE THE FOUNDATION CONSTRUCTION.

THE CONTRACTOR MUST CONTACT THIS OFFICE PRIOR TO CONSTRUCTION SHOULD ANY QUESTION ABOUT ANY ASPECT OF THIS DESIGN ARISES.

THIS FOUNDATION HAS NOT BEEN DESIGNED TO WITHSTAND EVERY CONCEIVABLE EVENT THAT MIGHT OCCUR. UNFORESEEN EVENTS, SUCH AS, BUT NOT LIMITED TO, FLOODING, EXCEPTIONAL LOADS, OR IMPROPER CONSTRUCTION TECHNIQUES ARE BEYOND THE CONTROL OF ALLEGRO DESIGN CO. LLC. THE LIMITS OF LIABILITY EXTEND TO THE FEE RENDERED FOR THE PROFESSIONAL SERVICES PROVIDED. ERRORS OR OMISSIONS ON THE PART OF THIS COMPANY OR ITS EMPLOYEES MUST BE BROUGHT TO THE ATTENTION OF THIS COMPANY PROMPTLY FOR RESOLUTION.

ANY CONTROVERSY OR CLAIM ARISING FROM OR RELATING TO THIS DESIGN SHALL BE SETTLED BY ARBITRATION ADMINISTERED BY THE AMERICAN ARBITRATION ASSOCIATION UNDER ITS CONSTRUCTION INDUSTRY ARBITRATION RULES. ANY JUDGMENT OR AWARD RENDERED BY THE ARBITRATORS MAY BE ENTERED IN ANY COURT HAVING JURISDICTION THEREOF.

ANY CONSTRUCTION PERFORMED USING THIS DESIGN IMPLIES ACCEPTANCE AND UNDERSTANDING OF ALL TERMS AND CONDITIONS MENTIONED

CONCRETE
 THIS FOUNDATION DESIGN ASSUMES CONCRETE WITH THE FOLLOWING STRENGTHS AND PROPERTIES:

| ITEM | STRENGTH | SLUMP | WATER RATIO | AIR CONTENT | AGGREGATE |
|-----------------|-----------|----------|-------------|-------------|---------------------|
| -SLABS-GARAGE | 4,000 PSI | 3" TO 5" | 0.49 | 3%-5% | 67/57 |
| -SLABS-INTERIOR | 3,000 PSI | 3" TO 5" | 0.49 | 3%-5% | 67/57 |
| -SLABS-EXTERIOR | 4,000 PSI | 3" TO 5" | 0.49 | 5%-7% | 67/57 |
| -WALLS | 3,000 PSI | 4" TO 5" | 0.53 | 5%-7% | 67/57 |
| -FOOTINGS | 3,000 PSI | 4" TO 5" | 0.53 | 5%-7% | 67/57 |
| -CAISSONS | 3,500 PSI | 4" TO 6" | 0.50 | 5%-7% | 67/57 |
| -ICF WALLS | 3,000 PSI | 6" TO 7" | 0.53 | 3%-5% | 3/8 (#8) PEA-GRAVEL |

NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE MIX WITHOUT THE CONSENT OF THE ENGINEER OF RECORD.

CONCRETE SHALL NOT BE PLACED AT TEMPERATURES BELOW 32° F WITHOUT HEATING AND/OR COVERING THE FORMS FOR 72 HOURS.

DO NOT ALLOW CONCRETE TO DROP MORE THAN 10 FEET DURING PLACEMENT INTO THE FORMS.

CONCRETE MUST BE EFFECTIVELY RODDED OR VIBRATED TO ELIMINATE VOIDS IN THE VOLUME OF THE CONCRETE ELEMENTS.

DO NOT BACKFILL AGAINST CONCRETE WALLS UNTIL SEVEN DAYS HAVE PASSED.

USE FORMWORK THAT HAS BEEN PROPERLY OILED AND BRACED.

PROVIDE CONTROL JOINTS IN SLABS AT NO MORE THAN 12 FEET EACH DIRECTION. POLYFIBER MESH MAY BE USED IN SLABS FOR CRACK CONTROL. 6X6 W1.4 X W1.4 WELDED WIRE FABRIC SHOULD BE USED WHETHER POLYFIBER MESH IS USED OR NOT. (UNLESS SPECIFIED OTHERWISE)

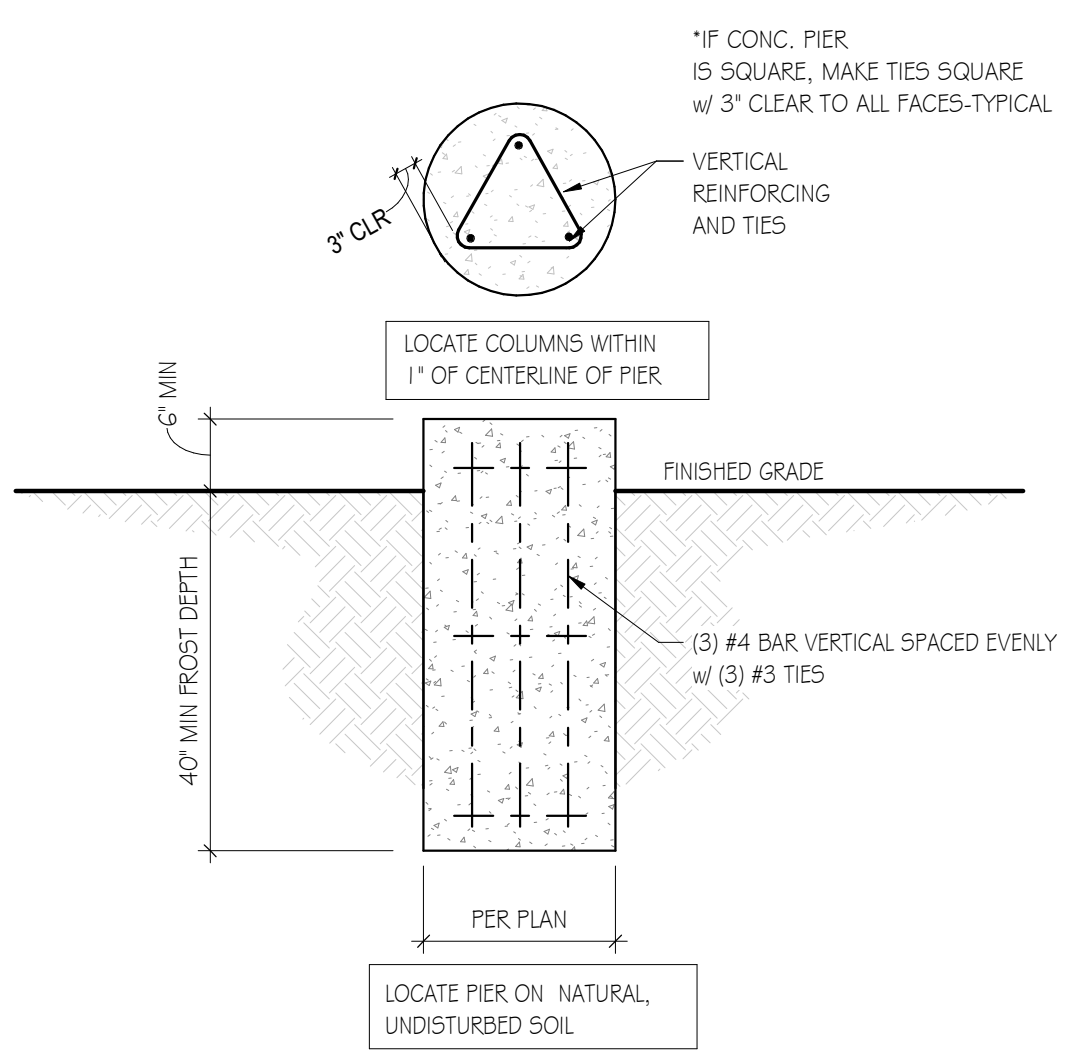
REINFORCEMENT
 GRADE 60 REINFORCEMENT SHALL BE USED THROUGHOUT, UNLESS OTHERWISE NOTED.

REMOVE ALL DUST, SCALE, RUST, OR OTHER DEBRIS FROM THE STEEL PRIOR TO POURING CONCRETE.

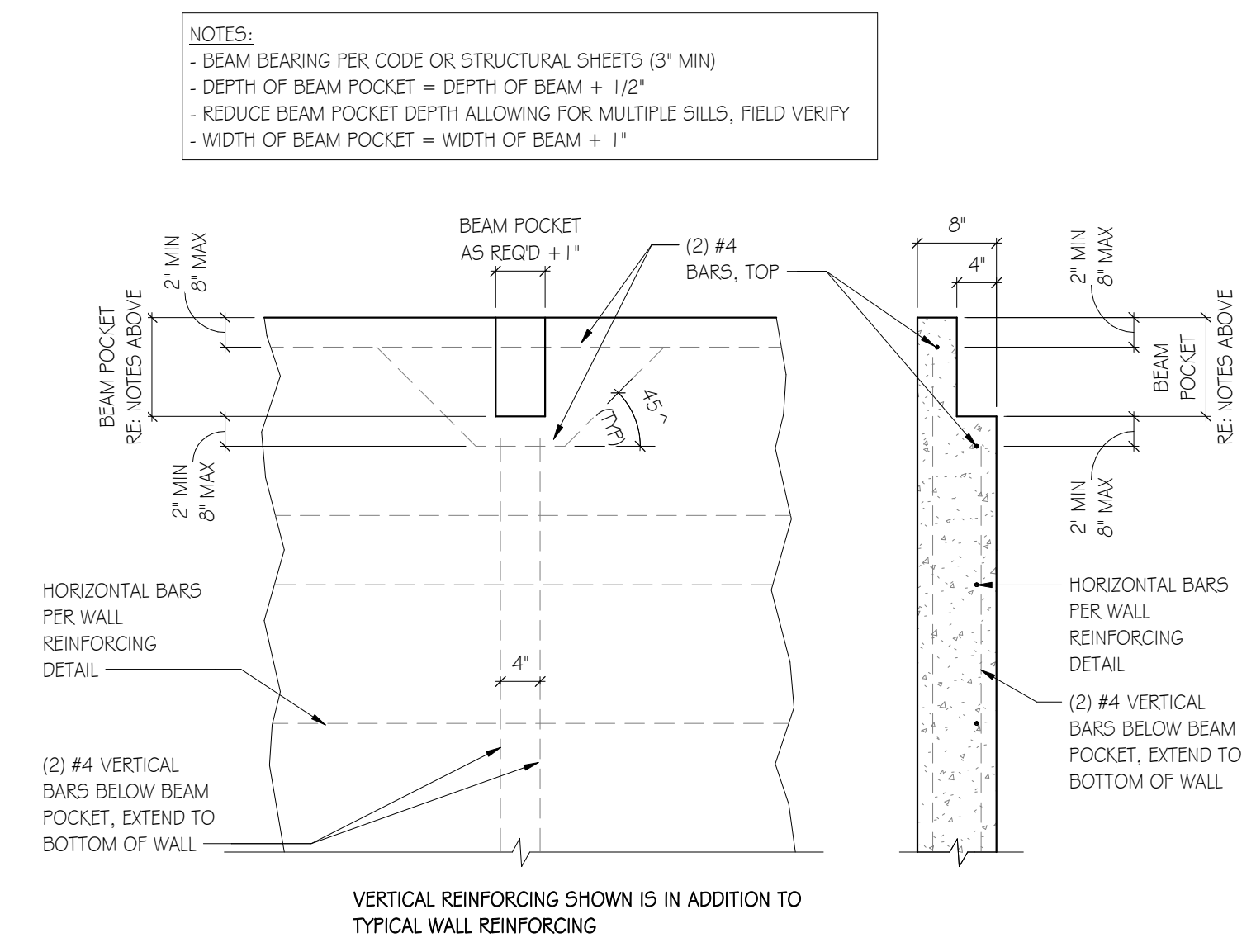
ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE AT ALL INTERSECTIONS PRIOR TO POURING CONCRETE. SUPPLY 3" CLEAR COVER FOR ALL REINFORCEMENT IN CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. PROVIDE 2" CLEAR COVER IN ALL OTHER CASES, UNLESS DETAILED OTHERWISE.

PROVIDE THE FOLLOWING MINIMUM SPLICE LENGTHS (UNLESS DETAILED OTHERWISE):
 #4 BAR - 24", #5 BAR - 30", #6 BAR - 36"

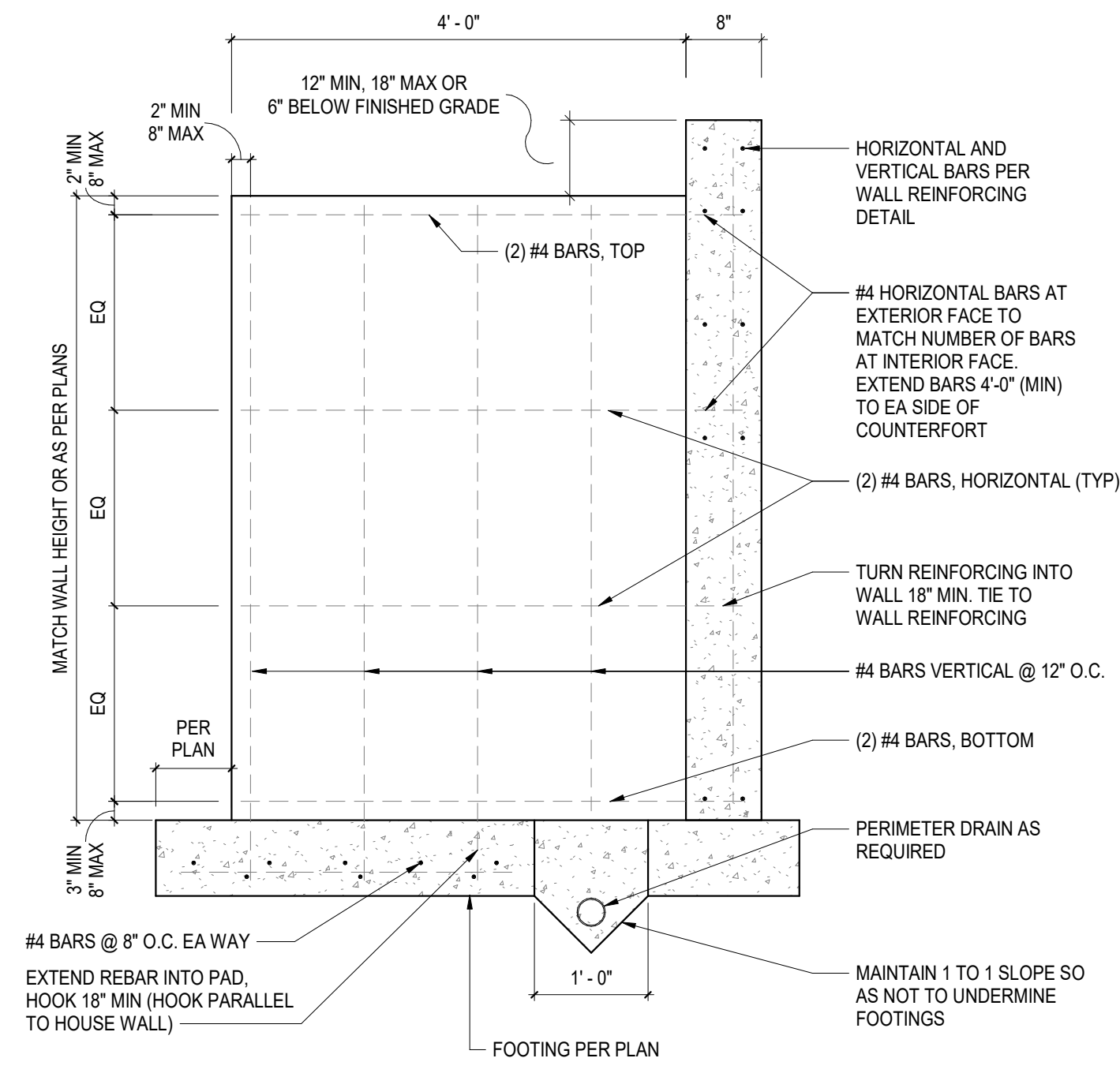
PROVIDE CORNER BARS AT ALL FOUNDATION WALL CORNERS AND INTERSECTIONS. EACH 'LEG' OF THE CORNER BAR SHALL HAVE A MINIMUM LENGTH OF 24". IF THIS IS NOT POSSIBLE, HOOK THE BAR UP OR DOWN INTO THE WALL.



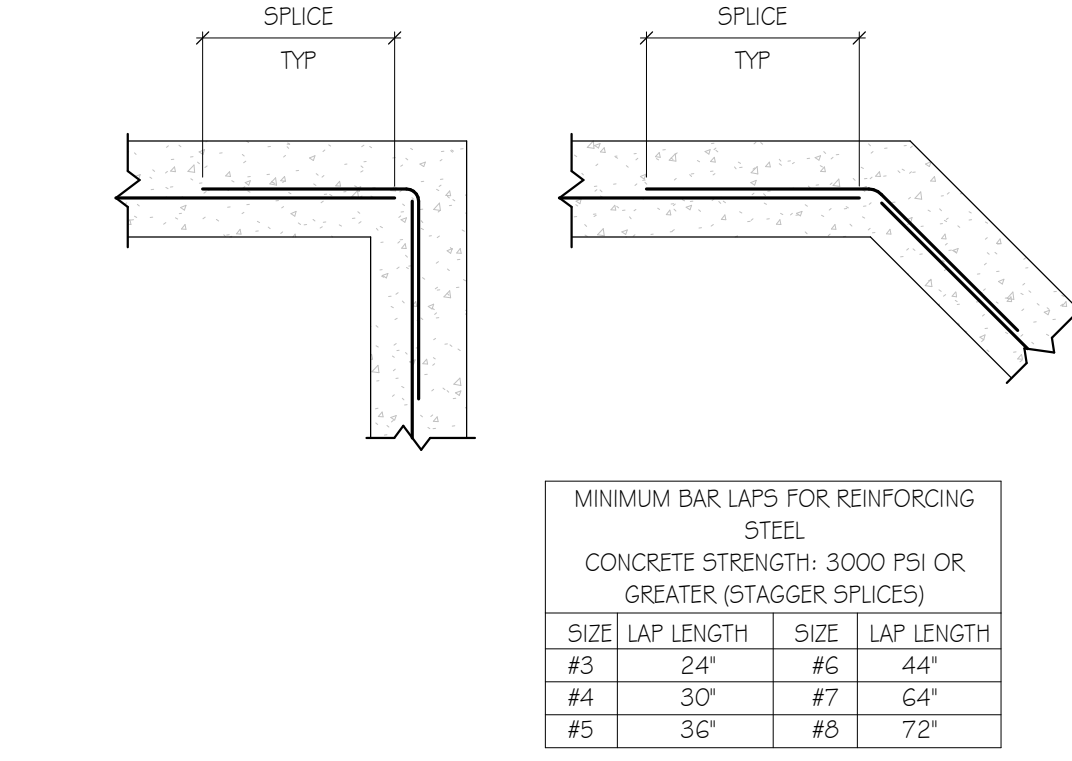
1
 F2
CONC. PIER
 SCALE 3/4" = 1'-0"



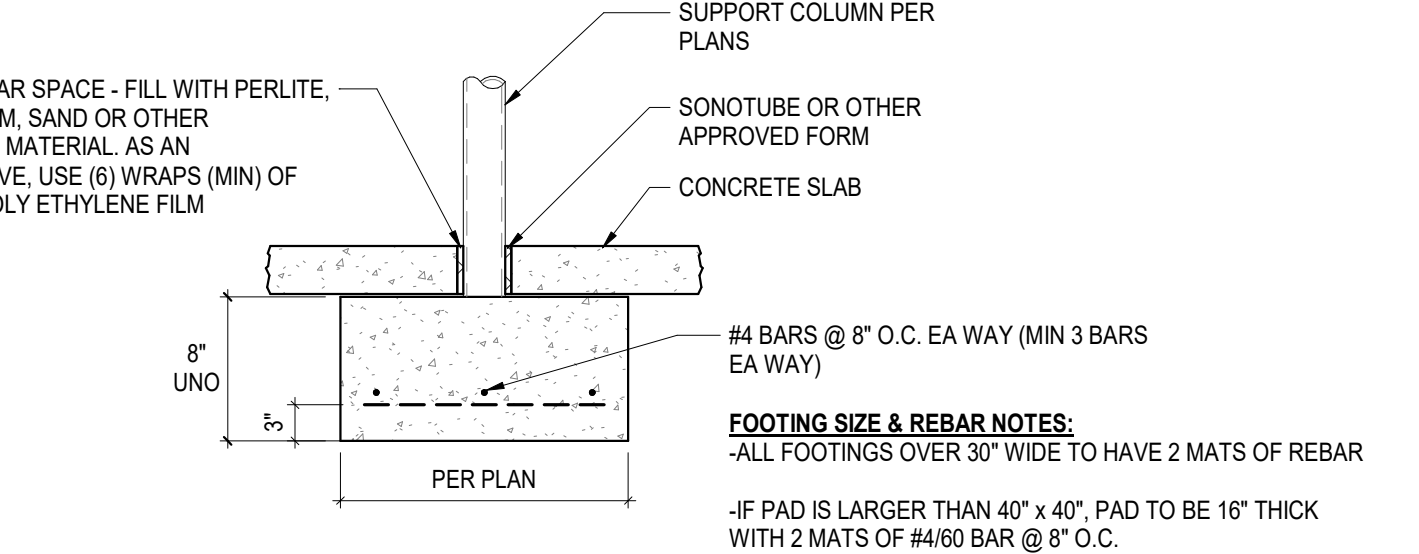
2
 F2
BEAM POCKET
 SCALE 3/4" = 1'-0"



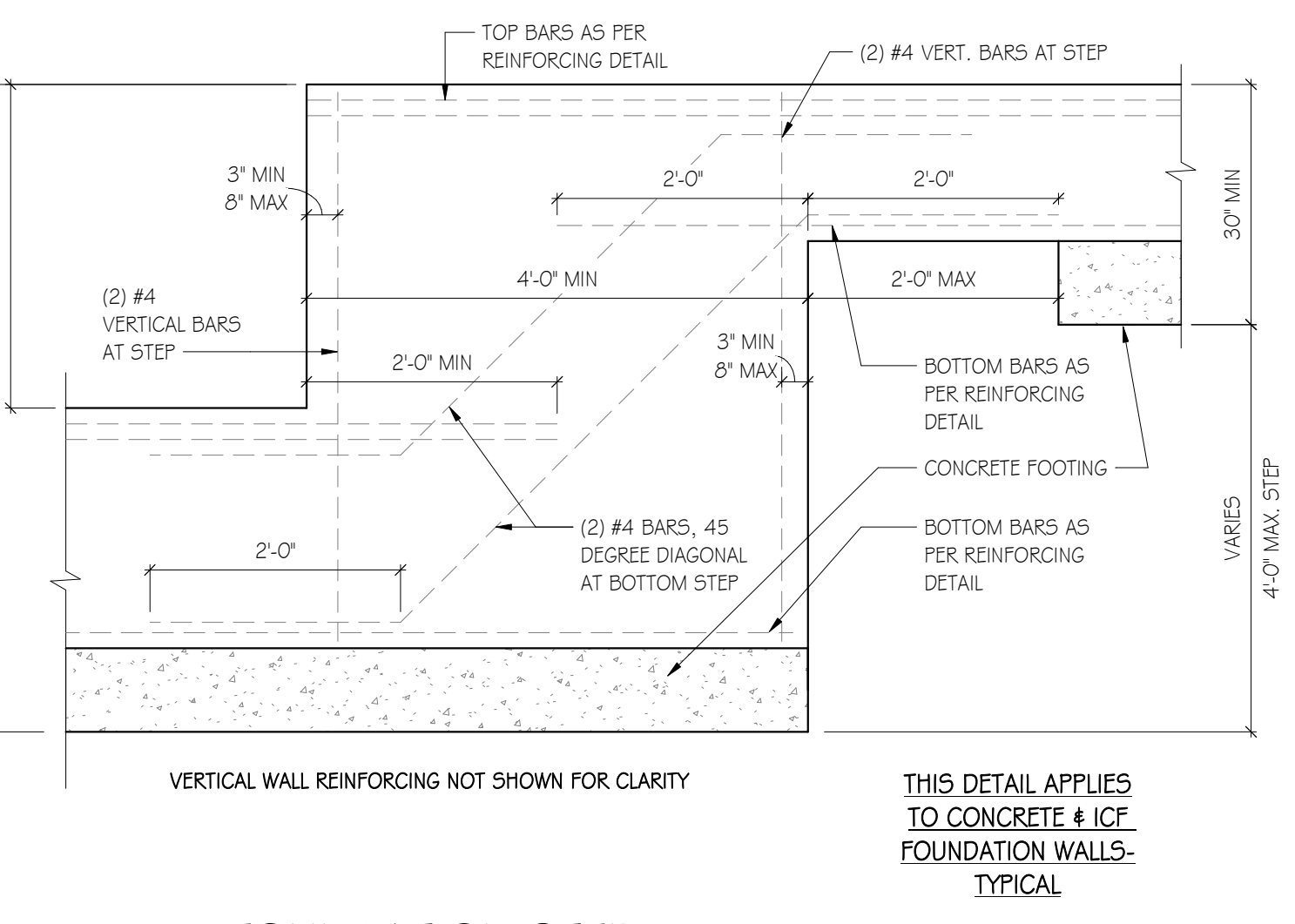
3
 F2
COUNTERFORT w/ DRAIN BLOCKOUT
 SCALE 3/4" = 1'-0"



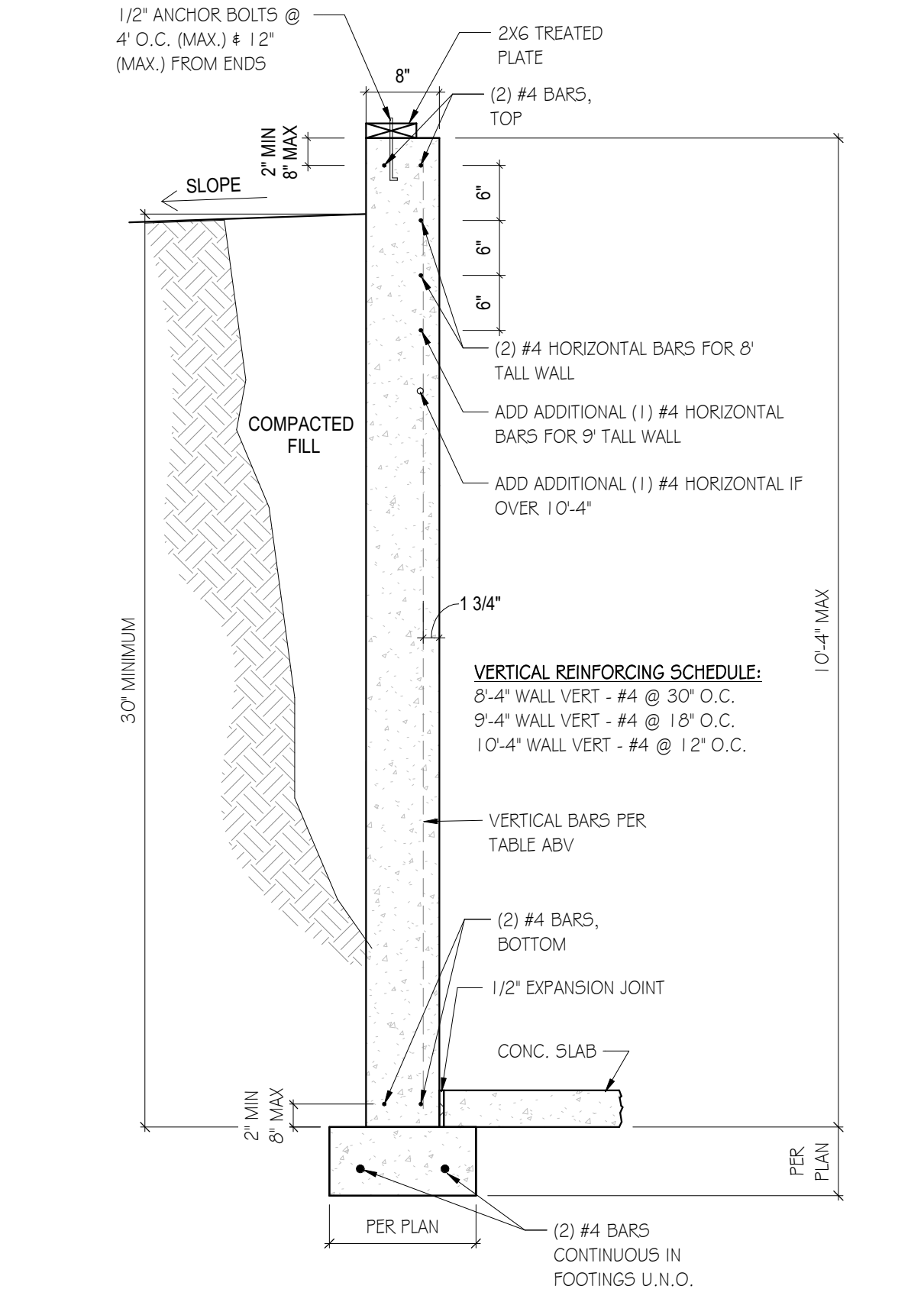
5
 F2
TYPICAL REINFORCING DETAILS
 SCALE 3/4" = 1'-0"



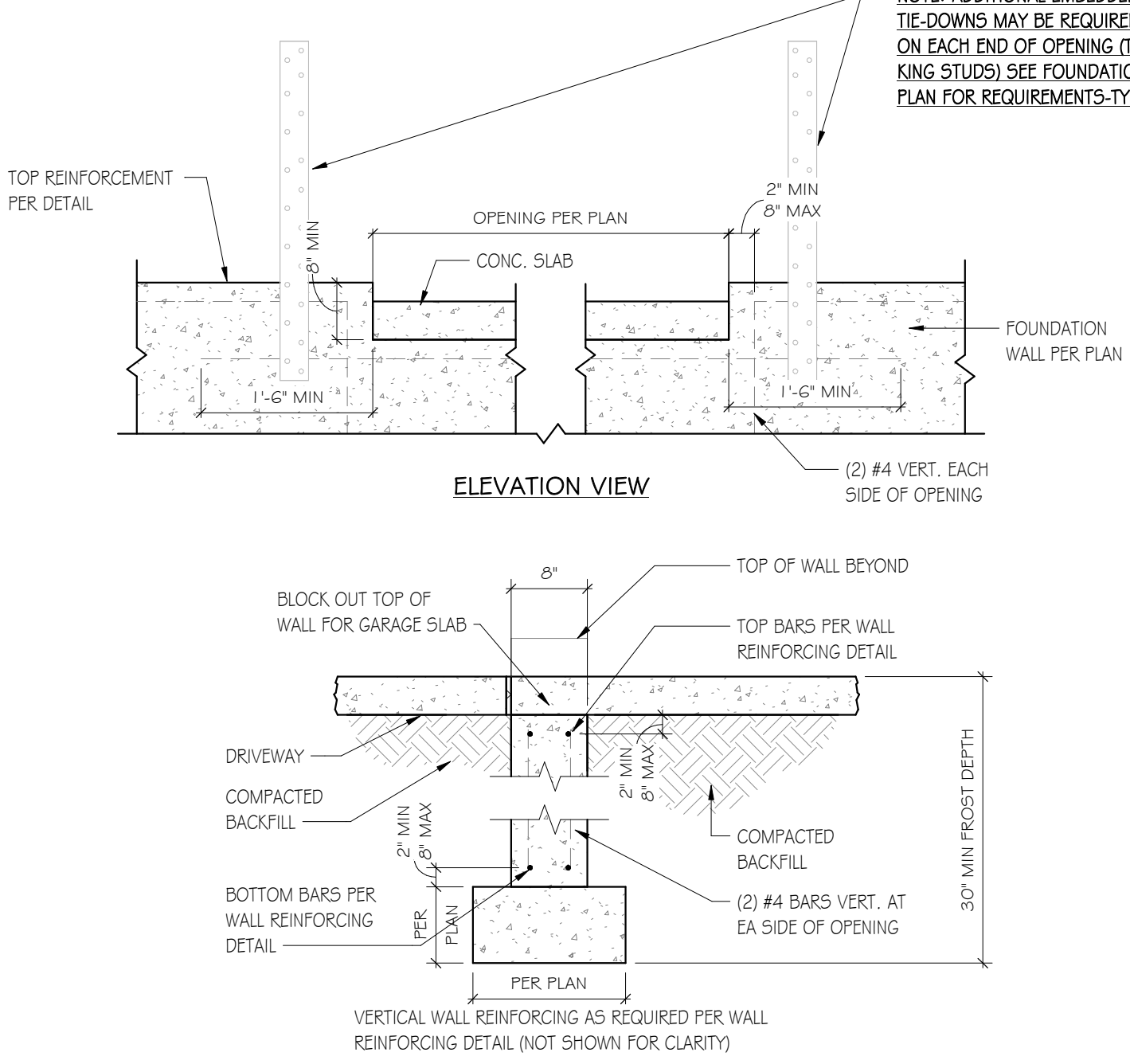
11
 F2
INTERIOR CONCRETE PAD
 SCALE 3/4" = 1'-0"



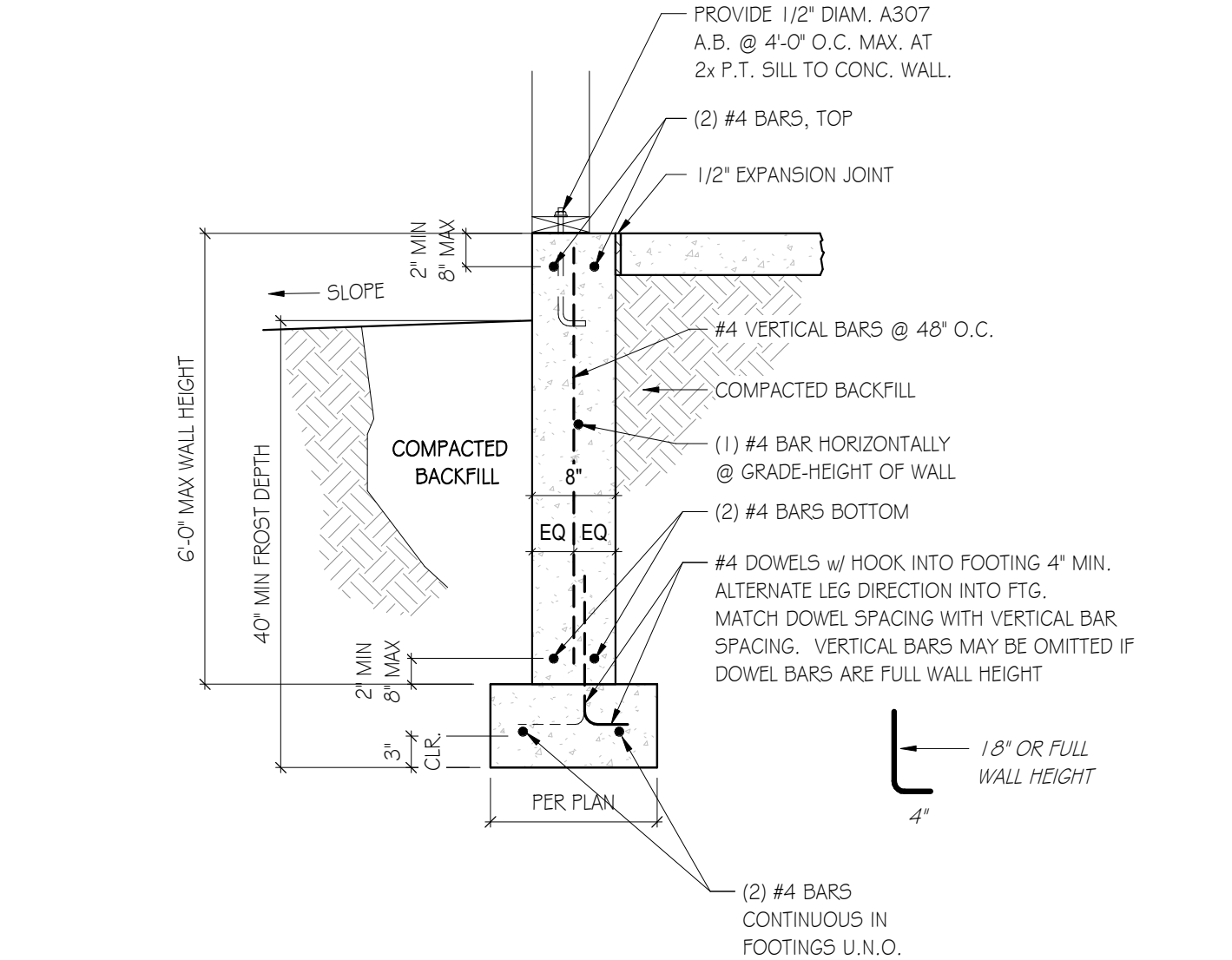
7
 F2
FOUNDATION STEP
 SCALE 3/4" = 1'-0"



8
 F2
**FULL BASEMENT WALL 8\"/>
 SCALE 3/4" = 1'-0"**



9
 F2
FROST WALL BELOW GARAGE FLOOR
 SCALE 3/4" = 1'-0"



4
 F2
FROST WALL/S.O.G. (6' MAX. HT.)
 SCALE 3/4" = 1'-0"

ARCHITECTURAL
 CS Cover Sheet & General Notes
 C1 Site Plan

FOUNDATION
 F1 Foundation Plan
 F2 Foundation Details

STRUCTURAL
 S1 STR Framing Details
 S2 Main Floor & Deck Framing Plans

| Rev. # | Date | Description |
|--------|------|-------------|
| | | |
| | | |
| | | |
| | | |

PROJECT No. 24-0166
 DATE 8/8/24
 DRAWN BY JLH
 CHECKED BY JKH

F2
 Foundation Details



Design, with family in mind
 (719) 641-2095
 1760 S. Highway 24
 Woodland Park, CO 80863
 allegrodesignco.com

THESE PLANS ARE COPYRIGHTED 2024 BY ALLEGRO DESIGN CO. LLC. ALL RIGHTS RESERVED. ANY SALE, REPRODUCTION, CREATION OF DERIVATIVE WORKS BASED ON THESE PLANS, OR USE OF THESE PLANS FOR ANY PURPOSE WITHOUT PROPER COMPENSATION TO AND THE EXPRESS WRITTEN CONSENT OF ALLEGRO DESIGN CO. LLC, IS STRICTLY PROHIBITED.

Intel Build Solutions
 6306 Hwy 9
 Breckenridge, CO 80424



STRUCTURAL FLOOR FRAMING NOTES:

- E.E. - EACH END
- - POINT LOAD FROM ABOVE
- B.B. - BEARING BLOCK
- K - KING
- T - TRIMMER
- - BLOCKING BETWEEN EACH JOIST AS RECOMMENDED PER JOIST MFG. SPECIFICATIONS

PROVIDE 1/2" DIAM. A307 A.B. @ 4'-0" O.C. MAX. AT 2x P.T. SILL TO CONC. WALL.

EXTERIOR WALLS AND GARAGE WALLS ARE 1C1 OR 2x6 HF#2, OR BETTER, STUDS @ 16" O.C.; ALL INTERIOR WALLS ARE 2x4 STUDS @ 16" O.C., UNLESS OTHERWISE NOTED. PROVIDE FIRE BLOCKING AT 10'-0" INTERVALS, HORIZONTAL OR VERTICAL PER IRC R302.1.1

EXTERIOR WALL SHEATHING SHALL BE 7/16" OSB NAILED TO WALL STUDS w/ 8d NAILS @ 6" O.C. ALONG ALL SUPPORTED PANEL EDGES AND 12" O.C. IN FIELD.

PROVIDE FIRE BLOCKING AT 10'-0" INTERVALS, HORIZONTAL OR VERTICAL.

ALL HEADERS TO BE (3) 2x10 HEM-FIR #2 OR BETTER, OR AS NOTED ON PLAN. TRIMMERS AND KING STUDS ARE NOTED ON PLAN.

POST SIZES ARE NOMINAL. ALL COLUMNS SHALL BE CONTINUED TO THE FOUNDATION OR OTHER SUPPORTING MEMBER, AND SHALL BE BLOCKED SOLID AT THE FLOOR SYSTEM.

1 | 1 7/8" BCI SINGLE JOIST HANGERS TO BE SIMPSON IUS2.37/1.1.88; DOUBLE JOIST HANGERS TO BE SIMPSON MIU4.75/1.1. (UNLESS OTHERWISE NOTED)

INSTALL DOUBLE FLOOR JOISTS UNDER ALL PARTITION WALLS THAT RUN PARALLEL TO THE FLOOR SYSTEM.

FLOOR SHEATHING SHALL BE 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED TO JOISTS w/ 10d NAILS @ 6" O.C. ALONG ALL SUPPORTED PANEL EDGES AND 12" O.C. IN FIELD.

REFER TO ARCH PLAN SECTION FOR T.O.W., T.O. SLAB, T.O. STEEL, AND T.O. FLR./STEP ELEVATIONS. IF NOT SHOWN SPECIFICALLY ON THIS PLAN.

FLOOR SYSTEM, HANGERS, AND OTHER HARDWARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. REFER TO MANUF. INSTALL. DETAILS FOR ALL TYPICAL SECTIONS & DETAILS IF NOT OTHERWISE NOTED PLAN.

IRC317.1.3 - WHEN DECK LUMBER MEMBERS ARE EXPOSED TO THE WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE OR WATER ACCUMULATION ON THE SURFACE OR AT JOINTS BETWEEN MEMBERS, IT MUST BE DECAY RESISTANT, PRESSURE TREATED OR SEALED COMPLETELY INCLUDING CUTS AND HOLES IN ACCORDANCE WITH AWPA M4 UC3B.

HANGER ATTACHMENTS NOT LISTED IN PLANS ARE FULL NAIL AND AS NOTED BELOW:
 DIMENSIONAL LUMBER SHALL BE LUS2x HANGERS MATCHING THE DEPTH OF THE MEMBER (I.E. 2X10 JOISTS SHALL HAVE LUS210 HANGERS) WITH THE FOLLOWING NAILS/SCREWS:
 A. NAILED CONNECTIONS - 0.148 x 3" (16d SINKER)
 B. SCREWED CONNECTIONS - #9 x 1-1/2" STRONG DRIVE SD CONNECTOR SCREW

SLOPED DIMENSIONAL LUMBER SHALL BE BRZ HANGERS
 SKEWED OR SLOPED AND SKEWED DIMENSIONAL LUMBER SHALL BE L55 J HANGERS
 BCI 6000 JOISTS SHALL BE IUS2.37 HANGERS
 SLOPED OR SKEWED BCI6000 JOISTS SHALL BE U3516/20 OR HUMHUC35.1
 HUMHUC HANGERS CALLED OUT SHALL HAVE THE FOLLOWING NAILS:
 HEADER/BEAM: 0.162 x 3-1/2" (16d COMMON) INTO HEADER/BEAM,
 JOIST 2-1/2" THICK AND LESS: 0.148 x 1-1/2" (16d SINKER)
 JOIST GREATER THAN 2-1/2" AND UP TO 4-1/2" THICK: 0.148 x 3"
 JOIST GREATER THAN 4-1/2": 0.162 x 3-1/2"

POST CAP & POST BASE ATTACHMENTS NOT LISTED IN PLANS ARE FULL NAIL, FULL SCREW, OR FULL BOLT AND AS NOTED BELOW:

1. NAILED CONNECTIONS - 0.148 x 3" (16d SINKER)
2. SCREWED CONNECTIONS - #9 x 1-1/2" STRONG DRIVE SD CONNECTOR SCREW
3. CORRECT BOLTED CAP CONNECTIONS - 5/8" THRU BOLTS. LENGTHS MAY VARY AND SHALL BE VERIFIED PRIOR TO INSTALLATION.

*SEE PLANS FOR OTHER HANGER NAILING REQUIREMENTS NOT LISTED HERE

STRUCTURAL WALL BRACING NOTES:

UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS SHALL BE CONSTRUCTED AS PER THE WALL BRACING METHOD CS-WSP (CONTINUOUS SHEATHING STRUCTURE) AS PER THE STRUCTURAL PLANS (REFERENCE IRC R602.10.4). THIS SHALL INCLUDE THE INTERIOR OF ALL EXTERIOR WALLS TO HAVE 1/2" (MIN) THICK GYPSUM WALL BOARD APPLIED WITH NAILS AT 8" O.C. OR SCREWS AT 16" O.C. THE EXTERIOR OF ALL WALLS EXTERIOR WALLS SHALL HAVE 7/16" OSBPLY NAILED TO WALL STUDS w/ 8d NAILS @ 6" O.C. ALONG ALL SUPPORTED PANEL EDGES AND 12" O.C. IN FIELD. SEE IRC TABLE R702.3.5. ALL VERTICAL JOINTS SHALL OCCUR OVER, AND BE FASTENED TO, COMMON STUDS. SEE BELOW FOR HORIZONTAL JOINTS.

UNLESS NOTED AS UNBLOCKED, ALL EXTERIOR WALLS SHALL HAVE HORIZONTAL JOINTS OF SHEATHING OCCUR OVER AND BE FASTENED TO COMMON BLOCKING OF A MINIMUM 1-1/2" THICKNESS. SEE IRC R602.10.10.

BOTTOM PLATE OF EXTERIOR WALLS SHALL BE NAILED TO JOISTS, RIM JOISTS, BAND JOISTS OR BLOCKING WITH:

1. (3) 16d BOX (3-1/2" x 0.135") @ 16" O.C.
2. (2) 16d COMMON (3-1/2" x 0.162") @ 16" O.C.
3. (4) 3" x 0.31" NAILS @ 16" O.C.

DOUBLE TOP PLATES OF EXTERIOR WALLS SHALL BE NAILED TO RIM, FULL HEIGHT BLOCKING OR JOISTS ABOVE w/ 8d NAILS @ 6" O.C. SEE IRC R602.10.8(2)

DESIGN LOADS:

GOVERNING AGENCY
 City of Blue River Colorado
 0110 Whispering Pines Circle, Blue River
 PO Box 1784, Breckenridge, CO 80424

LIVE & DEAD LOADS

FLOOR: 40 LIVE LOAD
 15 DEAD LOAD
 55 TOTAL LOAD

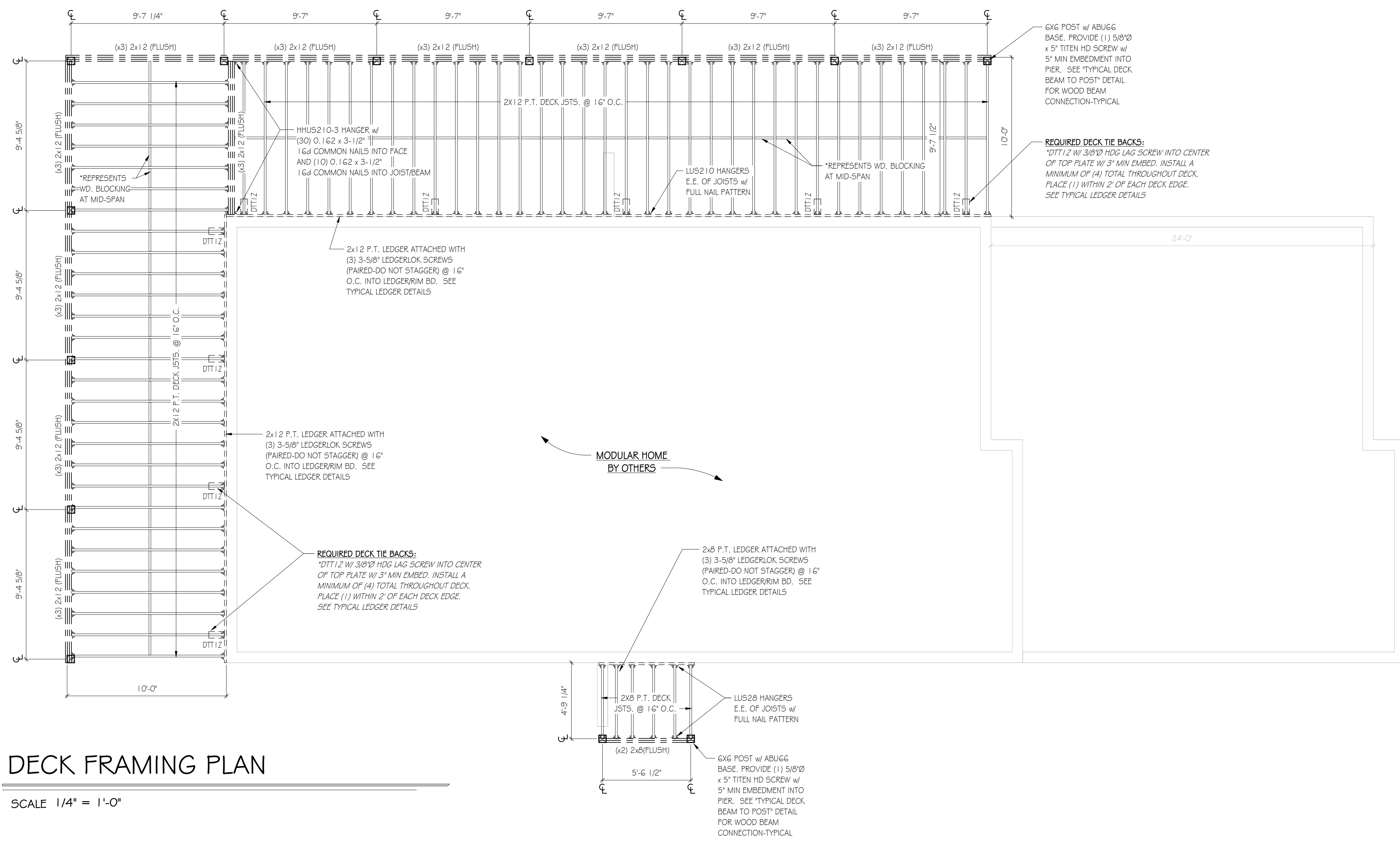
DECK: 125 LIVE LOAD
 15 DEAD LOAD
 140 TOTAL LOAD

ROOF: 100 LIVE LOAD
 15 DEAD LOAD
 115 TOTAL LOAD

GROUND SNOW = 130 LB/FT
 (NO REDUCTION IN SNOW LOAD FOR DURATION)

WIND LOADS
 90 MPH, 3-SECOND GUST EXPOSURE "C"
 FROST DEPTH = 40"

*PIERS SUPPORTING ONLY DECK WITH NO ROOF ELEMENTS MAY BE A MINIMUM OF 24" BELOW GRADE.



DECK FRAMING PLAN

SCALE 1/4" = 1'-0"

ARCHITECTURAL

- CS Cover Sheet & General Notes
- C1 Site Plan

FOUNDATION

- F1 Foundation Plan
- F2 Foundation Details

STRUCTURAL

- S1 STR Framing Details
- S2 Main Floor & Deck Framing Plans

| Rev. # | Date | Description |
|--------|------|-------------|
| | | |
| | | |
| | | |
| | | |

PROJECT No. 24-0166
 DATE 8/8/24
 DRAWN BY JLH
 CHECKED BY LM

S2

Main Floor & Deck Framing Plans

Form No. GWS-44
5/2024
Page 1 of 3
STATE OF COLORADO
OFFICE OF THE STATE ENGINEER
1313 Sherman St., Room 821, Denver, CO 80203
Phone: (303) 866-3581 Website: <https://dwr.colorado.gov/>
Email to: dwrpermitsonline@state.co.us

Office Use Only

RESIDENTIAL Water Well Permit Application
Note: Also use this form to apply for livestock watering
Review form instructions prior to completing form.

1. Applicant Information

Name of Applicant(s)
Skyridge Lending LLC
Mailing address
509 Scott Ave., Suite 154
City: Woodland Park State: CO Zip Code: 80863
Telephone #: 720-371-3580 E-mail: jeremy@phoenixcrpro.com

6. Use Of Well (check applicable boxes)

See instructions to determine use(s) for which you may qualify
 A. Ordinary household use in one single-family dwelling (no outside use)
 B. Ordinary household use in 1 to 3 single-family dwellings: Number of dwellings: _____
 Home garden/lawn irrigation, not to exceed one acre: area irrigated _____ sq. ft. acre
 Domestic animal and poultry watering (non-commercial)
 C. Livestock watering (on farm/ranch/range/pasture)

2. Type Of Application (check applicable boxes)

Construct new well Change source (aquifer)
 Replace existing well Reapplication (expired permit)
 Use existing well Rooftop precipitation collection
 Change or increase use Other: _____

3. Refer To (if applicable)

Well permit #: n/a Water Court case #: n/a
Designated Basin Determination #: n/a Well name or #: n/a

7. Well Data (proposed)

Maximum pumping rate: 15 GPM Annual amount to be withdrawn: 1 acre-feet
Total Depth: 100 est Aquifer: alluvium

4. Location Of Proposed Well (SEE INSTRUCTIONS)

Property address (Include City, State, Zip) Check if well address is same as Item 1
6306 HWY 9, Breckenridge, CO 80424
Rule 6.2.3 Yes No (see instruction for information)
County: Summit
SE 1/4 of the NW 1/4 Section 19 Township 7 N or S Range 77 E or W P.M. 6th

8. Water Supplier

Is this parcel within boundaries of a water service area? YES NO
If yes, provide name of supplier: _____

Preferred location format: GPS well location information in UTM format. The following GPS settings are required: Format must be UTM. Units must be in meters. Datum must be NAD83. Unit must be set to true north.
 Zone 12 or Zone 13.

Easting: TBD

Northing: _____

Optional Location Information (must be provided if GPS location is not provided above and Rule 6.2.3 does not apply): distances from section lines:

1800 feet from the N. or S. Line,
2000 feet from the E. or W. Line

9. Type Of Sewage System

Septic tank / absorption leach field
 Central system: District name Blue River
 Vault: Location sewage to be hauled to: _____
 Other (explain) _____

5. Parcel On Which Well Will Be Located (You must attach a current deed for the subject parcel)

A. You must check and complete one of the following:
 Subdivision: Name Mountain View Lot 170 Block _____ Filing/Unit _____
 County exemption (attach copy of county approval & survey) Name/# _____ Lot # _____
 Parcel less than 35 acres, not in a subdivision attach a deed with metes & bounds description recorded prior to June 1, 1972, and current deed
 Mining claim (attach copy of deed or survey) Name/#: _____
 Square 40 acre parcel as described in Item 4 (1/4 of the 1/4 is required)
 Parcel of 35 or more acres (attach metes & bounds description or survey)
 Other: (attach metes & bounds description or survey)

B. # of acres in parcel _____ C. Are you the owner of this parcel? If no, list owner.
 YES NO _____

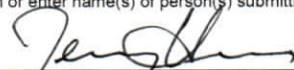
D. Will this be the only well on this parcel? YES NO (if no - list other wells)

E. Parcel ID# (optional):

10. Proposed Well Driller License # (optional):

11. Sign or Enter Name of Applicant(s) or Authorized Agent

The making of false statements herein constitutes perjury in the second degree, which is punishable as a class 1 misdemeanor pursuant to C.R.S. 24-4-104 (13)(a). I have read the statements herein, know the contents thereof and state that they are true to my knowledge.

Sign or enter name(s) of person(s) submitting application Date (mm/dd/yyyy)
 09/05/2024

If signing print name
Jeremy Hume

Title
Owner - Phoenix CR Pro LLC

Office Use Only

Skyridge Lending, LLC
509 Scott Avenue, Ste 154
Woodland Park, CO 80863

WARRANTY DEED

THIS DEED, Made on May 7, 2019 between
Merle K. Miller and Katie M. Miller
of the County of Summit State of Colorado, grantor(s), and
Skyridge Lending, LLC
whose legal address is 509 Scott Avenue, Ste 154, Woodland Park, CO 80863
of the County of _____ and State of Colorado, grantee(s):

WITNESS, That the grantor(s), for and in consideration of the sum of One Hundred Twenty-Five Thousand And No/100 DOLLARS (\$125,000.00), the receipt and sufficiency of which are hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell, convey and confirm unto the grantee(s), their heirs and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the County of Summit, State of Colorado, described as follows:

as known by street and numbers: 6306 Highway 9, Breckenridge, CO 80424

TOGETHER with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances.

TO HAVE AND TO HOLD the said premises above bargained and described with the appurtenances, unto the grantee(s), their heirs and assigns forever. And the grantor(s), for themselves, their heirs, and personal representatives, do covenant, grant, bargain, and agree to and with the grantee(s), their heirs and assigns, that at the time of the ensembling and delivery of the presents, they are well seized of the premises above conveyed, had good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple and have good right, full power and lawful authority to grant, bargain, sell and convey the same in manner aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except for:

Subject to statutory exceptions.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above-bargained premises in the quiet and peaceable possession of the grantee(s), their heirs and assigns, against all and every person or persons lawfully claiming the whole of any part thereof. Wherever used herein, the plural references shall be construed to be singular references and singular references shall be construed to be plural references where the context requires and all references of gender and person shall be construed to refer to the grantor or grantors identified herein regardless of the context.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Merle K. Miller
Merle K. Miller
Katie M. Miller
Katie M. Miller

State of Colorado
County of Summit

On May 17th 2019 before me, the undersigned a Notary Public in and for said County and State, personally appeared Merle K. Miller and Katie M. Miller personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature: [Signature]
Notary Public

My Commission expires: 08/20/2022

CINTHIA Y ORTIZ VALDERRAMA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184033173
MY COMMISSION EXPIRES 08/20/2022

32300-19-11761



INVOICE

Date: 09/05/2024
 Order Number: 46943

Water well permit application for Skyridge Lending LLC

| Receipt Number | Quantity | Description | Unit Price | Extended Price |
|----------------|----------|---|------------|----------------|
| 10038136 | 1 | Exempt Well Permit Application - Outside DesB (Legacy Code: 11) | 100.00 | 100.00 |
| | | | Subtotal | \$100.00 |
| | | | Total | \$100.00 |

To make the payment for this invoice, please visit our [Online Payment Portal](#).

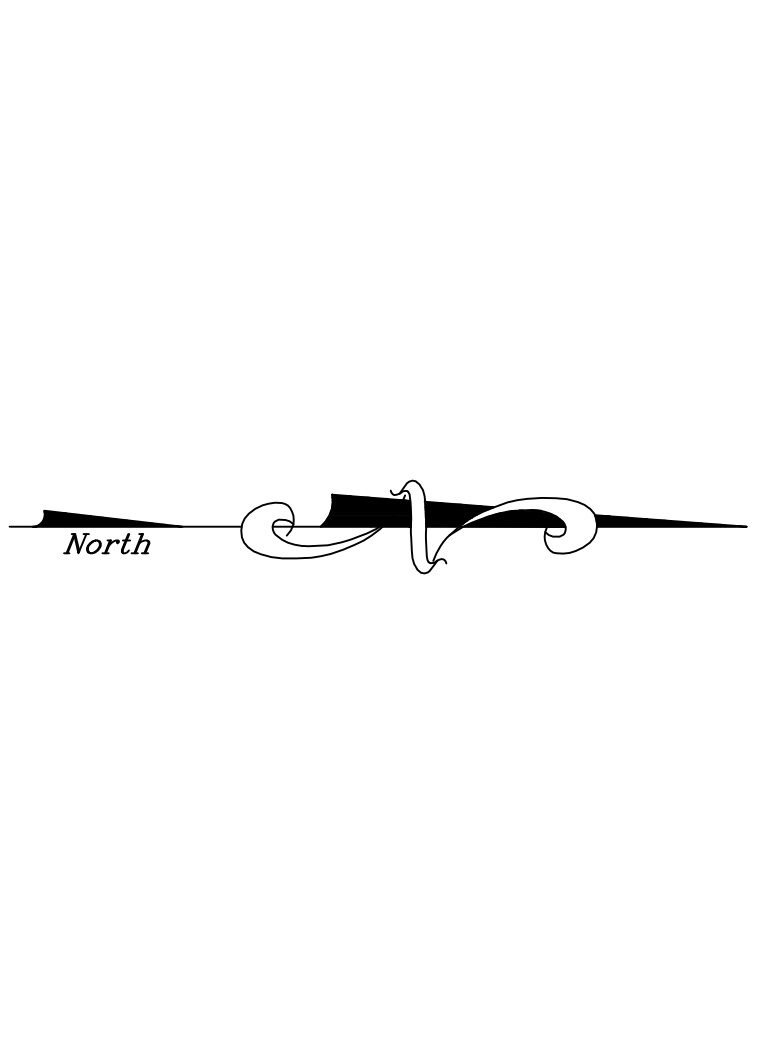
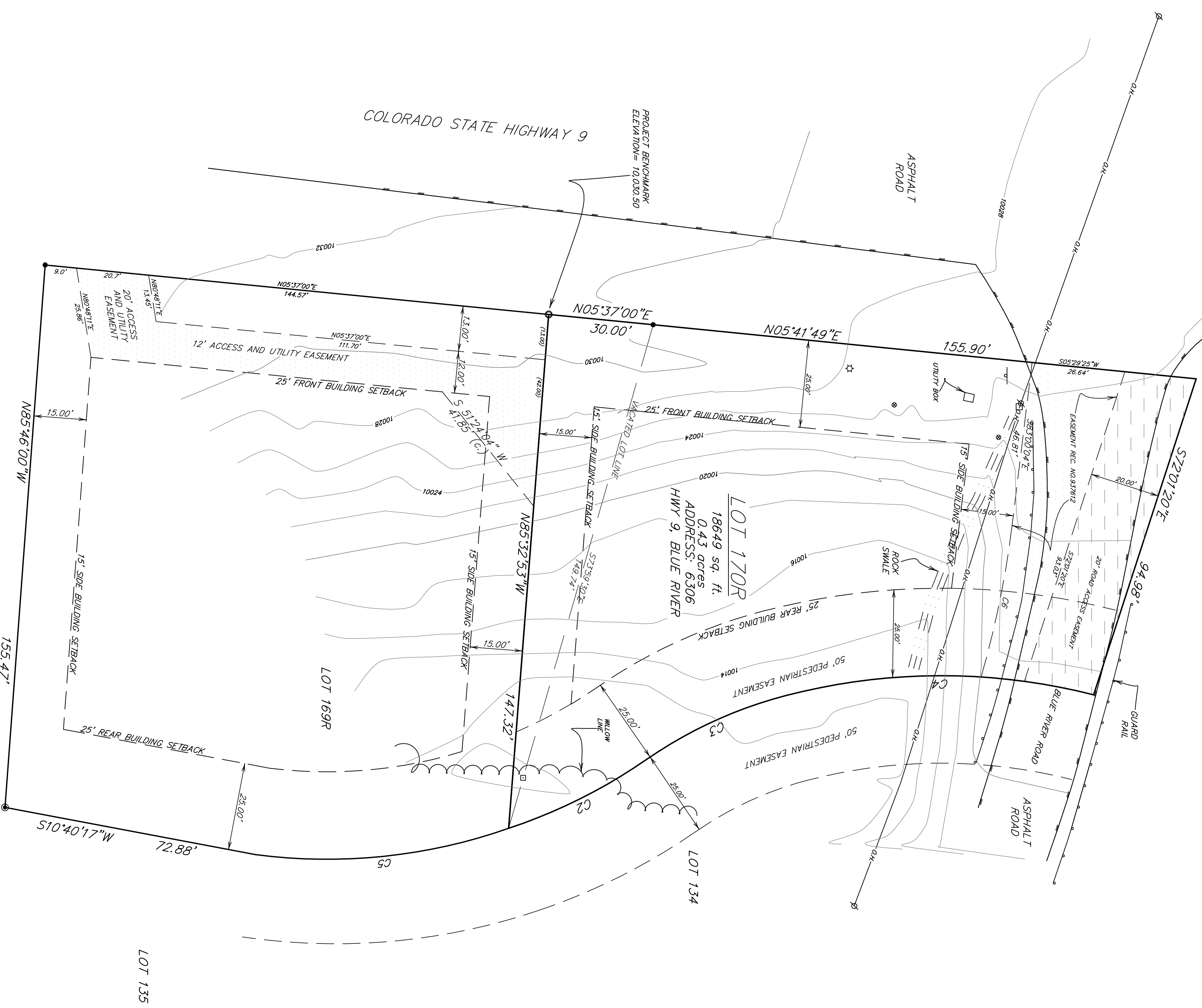
A third-party payment processing fee will be added to the total price at checkout. The third-party service fee for electronic check is **\$1.00**. If you pay by credit card, your fee will be **\$3.02** for this order. This amount will be included in the total price on your receipt. If you are unable to make payment online, please visit our website to view [alternative payment methods](#). Applications or requests will not be processed until payment has been received. Fees are nonrefundable.

If you have any questions regarding this invoice, please contact:

Main Office
 1313 SHERMAN ST, STE 821
 DENVER, CO. 80203
 (303) 866-3581



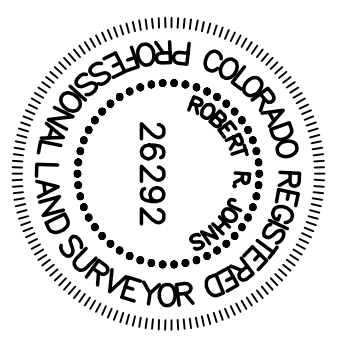
A TOPOGRAPHIC MAP OF
LOT 170R BLUE RIVER ESTATES, MOUNTAIN VIEW SUB
 LOCATED IN SEC. 19 & 30, TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6TH P.M.
 ACCORDING TO THE PLAT RECORDED 1/20/16 AT REC. NO. 1102615
 SUMMIT COUNTY, COLORADO



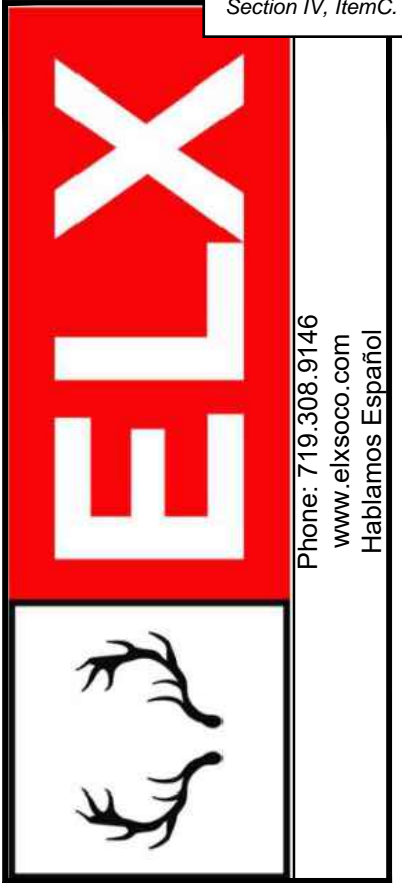
DATE OF FIELD SURVEY: 09/27/2022
 CONTOUR INTERVAL = 2 FEET
 ELEVATIONS BASED ON HAND HELD GPS

- LEGEND**
- FOUND REBAR & PLASTIC CAP (PLS 19588)
 - FOUND REBAR & PLASTIC CAP (PLS 38266)
 - FOUND #4 REBAR
 - WITNESS CORNER FOUND REBAR & ALUMINUM CAP (PLS 16406)
 - GAS LINE MARKER
 - UTILITY PEDESTAL
 - ∅ UTILITY POLE
 - O.H. — OVER HEAD UTILITY
 - SIGN
 - ☆ GREEN UTILITY MARKER

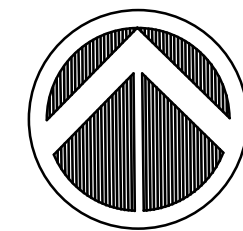
| CURVE | LENGTH | RADIUS | CHORD | BEARING | DELTA |
|-------|--------|---------|--------|-------------|------------|
| C1 | 44.231 | 155.291 | 44.091 | N85°21'53"W | 167°19'24" |
| C2 | 88.91 | 156.44 | 87.261 | S25°35'42"E | 40°02'33" |
| C3 | 23.86 | 156.44 | 22.639 | N05°05'56"W | 28°51'02" |
| C4 | 44.21 | 278.00 | 44.16 | N72°26'45"W | 97°03'39" |



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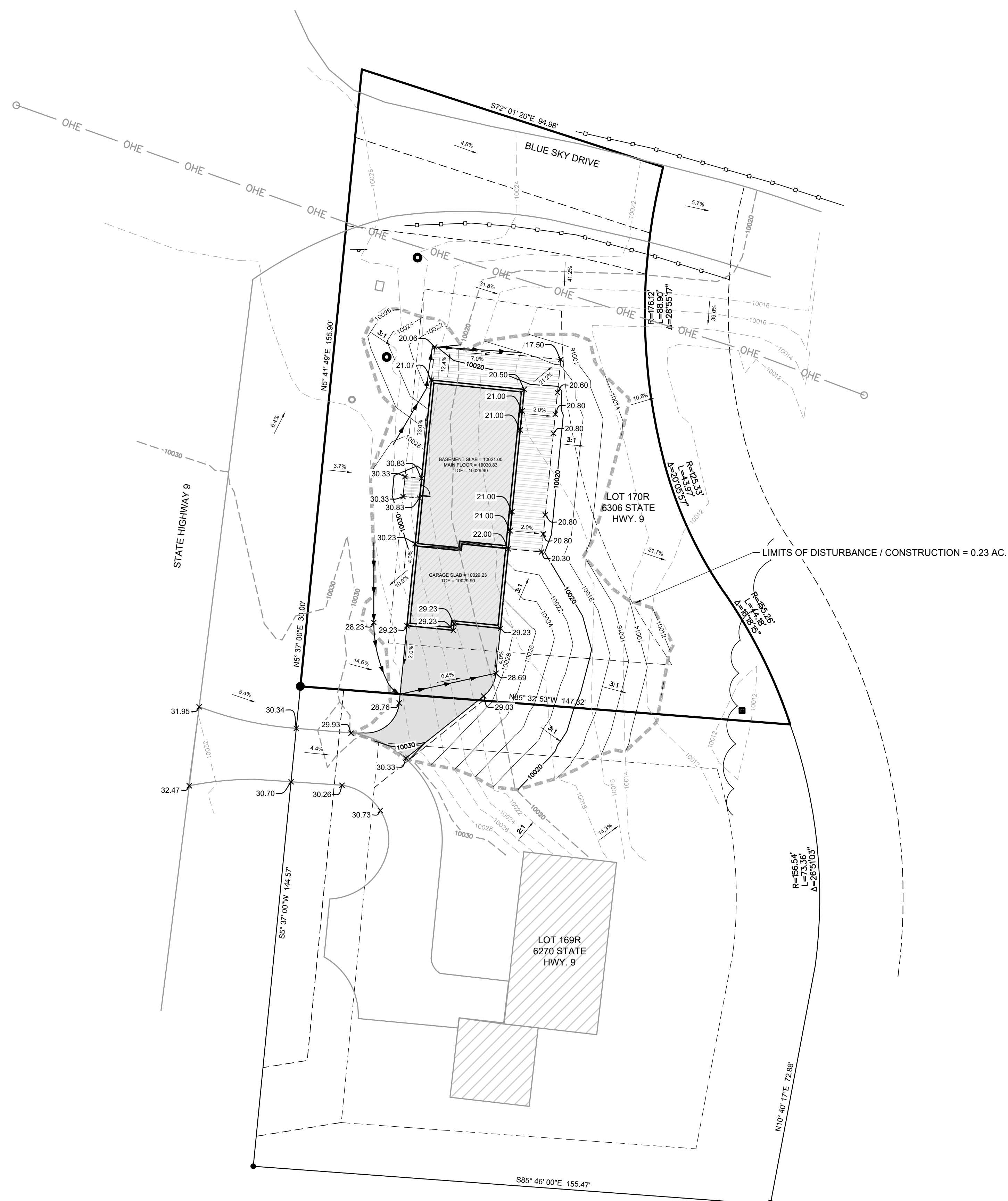
Phone: 719.308.9146
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Harrison Espinoza



0 20 40 Feet
SCALE: 1" = 20'

Volume

Base Surface 170R_MV_EG
Comparison Surface 170R_MV-FG
Cut Factor 1.00
Fill Factor 1.15
Cut volume (adjusted) 40.60 Cu. Yd.
Fill volume (adjusted) 1347.18 Cu. Yd.
Net volume (adjusted) 1306.57 Cu. Yd. <Fill>
Cut volume (unadjusted) 40.60 Cu. Yd.
Fill volume (unadjusted) 1171.46 Cu. Yd.
Net volume (unadjusted) 1130.85 Cu. Yd. <Fill>



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PROJECT NAME:

LOT 170R MOUNTAIN VIEW SUBDIVISION

PROJECT LOCATION:

6306 STATE HIGHWAY 9
BLUE RIVER, CO 80424
LOT 170R MOUNTAIN VIEW SUBDIVISION

CLIENT:

INTELBUILD SOLUTIONS

CONTACT INFO:

TYLER KERSENBOCK
TYLER@INTELBUILDSOLUTIONS.COM

PROFESSIONAL SEAL:

DATE: 07/27/24

DESCRIPTION: SUBMITTAL 1

JOB #: 101103

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:

SITE AND GRADING PLAN

SHEET TITLE:

SITE AND GRADING PLAN

SHEET NO.:



Littlehorn Engineering & Surveying, LLC

P. O. Box 776390
Steamboat Springs, CO 80477
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Steamboat Office: (970) 879-5112

"Peace of mind through comprehensive design"

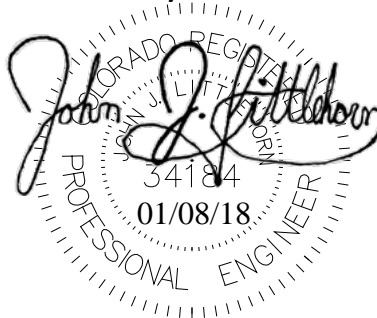
Preliminary SOILS ENGINEERING REPORT & DESIGN RECOMMENDATIONS FOR

6306/6270 Highway 9
Blue River, CO 80424

Technical Report for:

Katie Miller
5432 Thornbush Rd
Fort Worth, TX 76179

To Construct a Single Family Residence
January 08, 2018



Our Project No.
2017-410

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- Soil Drawing Exhibit (Soil Profile Hole Location)



1.0 INTRODUCTION

- 1.1 The owners are proposing to construct a new single family residence on a two parcels to be combined into one single parcel through a lot consolidation process. As requested, we have prepared this report to present the methodology and results of a subsoil study to develop guidelines for designing the residence foundation and any associated deck piers or house piers. Upon use of this report for construction, it is understood that you are familiar with this report in its entirety and have agreed to the terms in our contract for professional services. This contract is on file with our office; for a small fee, a copy is available upon request.
- 1.2 The property is located at the addresses of 6306 & 6270 Highway 9, near Blue River, Colorado, at an approximate Google elevation of 10,094 feet. The Town of Blue River has adopted the 2012 International Building Codes. The applicable codes and Town of Blue River Building, Planning, and Zoning, and The State of Colorado and the Corps of Engineers shall govern construction. The State of Colorado typically governs such items as well construction, graded areas larger than 1 acre, etc. The Corps of Engineers governs wetlands. Wetlands shall not be disturbed without county and Corps approval.
- 1.3 This report is being prepared as a general site specific guide only. To date, we have not been provided complete building plans for the residence including foundation plans. We have received a preliminary architectural floor plan schematic which is shown in the attached site plan drawing.
- 1.4 For information regarding adoptions and amendments of the Town of Blue River Building Code, please visit:
https://www.colorado.gov/pacific/sites/default/files/015_CHAPTER%2018%20Building%20Regulations.pdf
- 1.5 If there is an active Home Owners Association (HOA), the Town of Blue River will require a written letter from the HOA stating that they are aware of the project, that proposed plans are approved, and that colors and types of construction materials are approved.
- 1.6 Town of Blue River design criteria is as follows: Design snow loads are site specific and are based upon subdivision. Design wind speed is 90 miles per hour. Frost line depth, as measured from the finish grade to the bottom of the concrete footing, is required to be at least 40 inches. The applicable snow load is 100 pounds per square foot and 125 pounds per square foot for exterior decks.

- 1.7 For this project, we were requested to provide soils testing as associated with the design of a single family residence and to prepare a report summarizing our findings. For the purposes of this report, we have not included construction related details. Prior to construction, our office should either be permitted to provide such details or be allowed to review complete construction plans.
- 1.8 Prior to construction, our office shall be contacted for an “open hole” inspection of the home and any other excavations used to support buildings over 120 square feet in basal area. During construction, the owner may desire to have an engineering firm perform routine backfill inspections to verify compaction of backfill.
- 1.9 We presume that the proposed project will consist of improvements where site cuts will range from 2 feet to a maximum of 8 feet in depth. If deeper cuts are proposed, our office shall be permitted to revisit the site and perform further testing.
- 1.10 It is the owner’s and contractor’s responsibility to ensure that all foundation, walls, house, and any proposed deck piers (1) are constructed in the area where the soil samples were collected, (2) will meet all setback requirements, and (3) are installed and designed per this report, county guidelines, state guidelines, and manufacturer’s specifications.

2.0 GEOLOGY AND SOILS TESTING

As requested, we visited the referenced site on September 19, 2017 to examine septic profile holes and foundation profile holes. At the time of our inspection and collection of soil samples, the weather was warm and the skies were sunny. We visited the site to perform density tests and examine the underlying soils for classification. Based upon the data developed during our field investigation, laboratory testing, engineering analyses and experience with similar conditions, this report presents our opinions and recommendations for design criteria and construction details for foundations, slab-on-grade floor systems, lateral earth loads, drainage recommendations, underslab utilities, and radon control recommendations.

- 2.1 Substratum Geology. Soils in the general area consist of gravelly sandy loam with cobbles & boulders. To evaluate underlying soil geology in the area of the site a mini excavator was used to excavate two (2) soil profile holes. All test pits have been assigned a letter and respective locations are shown in the accompanying drawing soils exhibit. Samples were obtained from one (1) of the excavation pits and laboratory testing was performed. These samples were collected from the gravelly matrix below the surface. Sampling methods were used to collect relatively undisturbed and disturbed soils for soils testing per ASTM guidelines. The soils in the excavation test

pits generally consisted of:

Soil Profile Hole A (90-inch depth)

| | HOLE | DEPTHS | DESCRIPTION | COLORS |
|-----------------|------|----------|--|----------|
| ROCK | 35% | 0 – 12" | OTS with fine to medium roots. | DK Brown |
| SLOPE SHAPE | LL | 12 – 36" | Sandy gravelly loam with cobbles & fine roots. | LT Brown |
| STRUCTURE SHAPE | BL | | | |
| STRUCTURE GRADE | WE | 36 – 60" | Gravelly sand with loam. | LT Brown |
| SOIL TYPE | 2A | 60 – 90" | Gravelly sandy loam with silt, cobbles & boulders. | LT Brown |

Notes: Pooling ground water not present. Possible water table at 48" depth.

Soil Profile Hole B (84-inch depth)

| | HOLE | DEPTHS | DESCRIPTION | COLORS |
|-----------------|------|----------|--|----------|
| ROCK | 35% | 0 – 12" | OTS with fine to medium roots. | DK Brown |
| SLOPE SHAPE | LL | 12 – 36" | Sandy gravelly loam with cobbles & fine roots. | LT Brown |
| STRUCTURE SHAPE | BL | | | |
| STRUCTURE GRADE | WE | 36 – 60" | Gravelly sand with loam & fine roots. | LT Brown |
| SOIL TYPE | 2A | 60 – 84" | Gravelly sandy loam with silt, cobbles & boulders. | LT Brown |

Notes: Pooling ground water not present. Possible water table at 48" depth.

2.2 Density testing, Index testing, consolidation, and sieve testing was performed in the relatively undisturbed soils per ASTM guidelines.

Sample Location Tested (Hole A)

Soils Description: GW-GM (Well Graded Gravel with Silt);

Percent of Fines: 8.06%;

Percent of Sand: 27.68%;

Percent of Gravel: 64.26%

Liquid Limit: 22; Plastic Limit: 3; Group Index A-1-A(0)

Sediment Ratio: 1.0; Degree of Swelling: None

3.0 WATER

- 3.1 A seasonal standing ground water table was not observed in the test pits; however, a seasonal water table is believed to be present during spring runoff and especially in a heavy snow year at approximately 48 inches below the surface. The supply of moisture can make the prediction of soil behavior difficult. A foundation drain tile system shall be installed around the foundation to mitigate water away from the foundation. Keep in mind that the general development of the area, heavy rainfall, flooding, snow melt, new springs, or surrounding development can contribute to a rise of the perched water table and greatly affect the foundation's performance. Roof drainage, landscaping, impervious soils coverings such as concrete and pavement must be considered and designed to mitigate water away from the structure
- 3.2 When practical, retaining walls should be designed with wall drains on the uphill side. Drains should consist of a sock drain or rigid perforated PVC pipe (4-inch diameter) bedded in a gravel envelope and sloped to daylight at a minimum of 0.5%. Gravel should be isolated from soil with fabric.
- 3.3 All excavated areas must drain via a foundation drain and the area shall be properly graded at the surface to drain well. All foundation drains and graded swales must daylight away from all wells, wastewater components, and must not create a problem for a neighboring property.
- 3.4 The site lies near Blue River. This river can flood in a significant storm. All foundation openings shall be placed at least 12 inches above the 100 year flood stage.

4.0 BEARING CAPACITY AND DESIGN RECOMMENDATIONS

For the proposed house foundation, the following criteria should be used as a guide:

- 4.1. Footings. Footings shall be comprised of continuous concrete. Wood or stone is not permitted without written approval and a complete review by this office.
- a. Eight-(8) inch-thick by sixteen-(16) inch-wide footers shall be considered as a minimum and reinforced per code. If piers are used, 12-inch diameter piers shall be considered as a minimum and reinforced per code
 - b. Footings shall bear on undisturbed soil or may bear on 1 to 3 inches of imported ¾-inch angular screened gravel.
 - c. Make sure to remove all disturbed soil and keep the foundation area where

slabs and footings will bear free of debris, ice, snow, and organic material. Do not place footings on wet or soft soils.

- d. Use an allowable soil bearing value of 2,500 PSF for all foundation spread footings that bear on undisturbed soil.
 - e. When concrete bears on undisturbed native soil, a friction coefficient of 0.4 may be used.
 - f. Piers: All piers shall bear on native, gravelly-type soil. Use an allowable soil bearing value of 2,500 PSF for piers (see below). The bottom of all piers must be placed at least 40 inches below the surface.
 - g. When foundation steps are required, all footings should be connected via a continuous footing using continuous-type footings and rebar through foundation steps.
 - h. All footings should be reinforced and verified by a structural engineer to support both vertical and horizontal loads. All footings should be reinforced for temperature, shrinkage, hydraulic, shear, and surcharge loads.
 - i. An on-site inspection is required when the foundation excavation has been completed (prior to concrete placement) and again when the gravel for any slabs is installed (prior to concrete placement). Please contact this office at (719) 836-7120 for these inspections and provide at least 5 days' notice for each inspection.
- 4.2. Frost Mitigation. Town of Blue River soils are unique due to the environment and varying snow cover throughout the county. The county requires footings to be placed at least 40 inches below the surface. This is measured from finish grade to the bottom of the footing
- 4.3. Structural Floor Slabs. Buildings are permitted to have a concrete slab on grade or crawl space-type foundation. If slabs are used, the following is a guide:
- a. Structural floor slabs should be isolated from perimeter footings, walls, and other interior-type load bearing walls and footings with a slip joint that allows free vertical movement of the slabs. An exception to this is at door locations where a thickened concrete slab may overlay the constructed foundation wall. All slip joints must remain post construction and be maintained as slip joints through the life of the project.

- b. All concrete slabs on ground shall be placed over 6 to 12 inches of screened gravel or 6 to 12 inches CDOT class 6 or class 7 aggregate base or a 50/50 mix thereof. Gravel and fill-type soils shall be vibrated and compacted into place. This gravel or base shall be placed on undisturbed natural soil.
- c. The 2012 International Code requires a vapor retarder between the base course or subgrade soils and the bottom of the slab. A properly installed vapor retarder (minimum 6 mill's in thickness) shall be installed between the concrete slab and gravel (or under the gravel in some cases). Check with the flooring manufacturer to determine exactly where the moisture barrier should be placed, i.e., above or below the gravel base course where floors coverings are sensitive to moisture. Flooring comprised of painted floor surfaces, vinyl products, wood products, and other type products are sensitive to moisture and heat levels in concrete. Be sure to follow the general recommendations of the American Concrete Institute (ACI). Refer to the ACI302.1R-04 (77 pages) and ACI302.R-96 (67 pages). For a fee, a PDF copy can be provided upon request.
- d. We recommend a concrete floor thickness of at least 4 inches for typical residential-type loading and at least 5 inches if the slab is to contain in-floor heat tubing. For garage-type floors (i.e., carport areas, garages, etc.), we recommend a minimum floor thickness of 5 inches. Any building expected to contain commercial equipment, accommodate tractor-type loading (skid steers), should be analyzed on an individual basis.
- e. Where applicable and when slabs are heated, rigid foam insulation should be installed under the slab per Town of Blue River requirements, manufacturer' specifications and the general recommendations of the Portland Cement Association. Concrete placed directly on non-permeable surfaces may be subject to structural and architectural aesthetic issues. Be aware that with some foam manufacturers, the foam may replace the need for a separate vapor barrier if the foam edges/joints are properly sealed.
- f. When the floor level of a concrete slab is installed within 3 feet of natural grade, a drainage system is recommended but not required to be installed below the slab; however, when the floor level of a concrete slab is installed deeper than 4 feet below the surface, a drainage system shall be installed below interior concrete slabs. If installed, this drainage system shall be installed slightly below the radon piping described in item 4.5 below. Three-inch diameter or 4-inch diameter PVC pipe laid on a 10-foot or 15-foot grid system usually works

well. Make sure to daylight these pipes on property and away from any leach field or septic tank areas (use of a sump pump may be required).

- g. All concrete-type slabs shall be reinforced and verified by a structural engineer. Generally, welded wire fabric is sufficient if properly installed near the top of the slab. However, we advocate #4 (minimum grade 60) reinforcing steel placed on 18-inch centers as a minimum.
- h. Control joints should be cut into the slabs within 48 hours of slab placement to control cracking per ACI. Frequent control joints should be provided in conventional slabs-on-grade to reduce problems associated with slab curling and shrinkage cracking. Panels that are approximately square seem to perform better than rectangular areas. We advocate a control joint at the inside corners of all concrete slabs. A detailed control joint plan should be submitted to our office for review, prior to construction.

4.4 Utilities. Underslab utilities shall consist of such things as plumbing, electrical, phone, cable, gas, and other miscellaneous piped utilities located under the building slabs and on-site.

- a. Plumbing and other utilities that pass through slabs should be isolated from the slabs. Any pipes passing through the slab should be provided with flexible couplings or other means to allow for independent slab movement.
- b. Heating and air conditioning systems constructed on slabs should be provided with flexible connections capable of at least 1½ inches of vertical movement so that slab movement is not transferred to the ductwork.
- c. All plumbing that is required to be pressure tested shall be tested in accordance with the appropriate agency.
- d. All piping shall be properly bedded in a ¾-inch gravel envelope or CDOT road base or as approved by the Town of Blue River. When placed, gravel will not compact itself. Compact and vibrate all gravel prior to concrete placement.

4.5 Radon. Radon testing has not been performed at this site. For more information about radon, visit: <http://www.epa.gov/radon/pubs/devprot2.html> or go to www.epa.gov.

- a. If a concrete slab is used at the site, we recommend that radon mitigation features be built into the structure. This is not required for detached garages (garages without any living space attached or above) but recommended.

These features should include placement of a 4-inch diameter schedule 40 perforated PVC pipe placed on a 10-foot (centerline to centerline) or 15-foot (maximum) grid. Be sure to vent the collection of the pipe grids to a common area via a single pipe where a fan (if needed) can be installed to vent the air to the outside of the building.

- b. If radon piping is installed, the gravel which underlies the slab shall be increased in depth by the diameter of the radon piping and all piping shall be properly bedded. ASTM D4564 provides a sleeve method analyses for testing compacted gravel. For typical residential-type construction, we don't advocate gravel compaction testing. We do however advocate that the contractor take the time to carefully vibrate (with mechanical equipment) all gravel into place in 6-inch (preferable) or maximum 10-inch loose lifts.
- c. Post-building construction, we recommend that radon testing be performed prior to inhabiting the building and at a minimum, annually thereafter.
- d. Upon request, a detailed drawing of the under slab piping system can be reviewed or provided once we receive building plans.

4.6 Porches, Decks, Patios. Porches, patios, and decks shall consist of site-built porches, decks, and patios.

- a. Patio slabs, porch slabs, and other concrete landings and aprons should be isolated from the foundation and constructed as described above in item 4.3. Do not connect patio slabs to the house foundation.
- b. Porch slabs shall bear on 6 inches of clean gravel or CDOT class 6 structural fill. Porch slabs which do not carry load bearing columns are not required to contain a perimeter frost wall; however, we advocate installing a small, 8-inch wide x 24-inch depth, perimeter frost wall (thickened edge) around the perimeter of all porch-type slabs and using a lintel or other type ledge/haunch at the house foundation to mitigate movement and to help stabilize typical slab loading and movement.

4.7 Foundation and Retaining Walls. Footings shall be comprised of concrete. Foundation walls may consist of concrete, masonry, or wood. Retaining walls may consist of concrete, masonry, wood, or stone.

- a. All walls shall be reinforced with double rebar at the top and bottom of all walls. All reinforcing shall be by structural engineering analyses. Analyses shall

accommodate both lateral and vertical loads, temperature and shrinkage control (bar typically will not be spaced further apart than 18 inches on center) hydraulic loads, shear loads, and surcharge loads.

- b. If on-site soils are used as backfill and the backfill is NOT saturated, we recommend using an active equivalent fluid unit density (weight) of 50 pounds per cubic foot load on the wall (use a passive pressure of 250 PCF.). All earth retention structures should be designed to sustain potential surcharge loadings. Retaining walls should be constructed with free-draining backfill materials and with effective drainage systems as required. If water is allowed to pond behind the wall, the additional water pressure will dramatically increase the load on the wall and a higher Y_{eq} must be used.
- c. All crawl space-type foundation shall be sprayed with a foundation approved water resistant product/barrier. Basements for this site are permitted and if installed foundation walls shall be sprayed with waterproofed with MiraDRI 860/861 water membrane (tar is not acceptable) and then protected with Mirafi 140N filter fabric or approved equal. The waterproofing must extend from the top of the wall to the bottom of the wall and across the footing and down the footing face. Henry Blueskin or other similar-type products are also acceptable. Submit type and material to our firm for review prior to installation. Keep in mind that the area lies close to the Blue River so any foundation openings shall be located at least 12 inches above the 100 year flood level.
- d. A foundation drain is not required (but highly recommended) if a crawl space-type foundation is installed (verify with the county). If a basement-type foundation is installed then a foundation drain is required. When installed, install at the base of the wall in conjunction with a foundation composite or perimeter drain system. Sock drain is permitted to be used in or around this foundation if the backfill heights will be less than 4 feet. SDR35 perforated PVC or schedule 40 perforated PVC must be used for all backfill heights in excess of 4 feet. All pipe shall be sloped at a minimum 0.5% grade to daylight, use a stainless steel (1/4-inch mesh openings w/ stainless steel clamps is typical) insect/rodent screen at the pipe outlet and gabion-type outlet bed to mitigate erosion at the outlet. All drains should daylight (a sump pump may be required) on the property and away from leach fields, septic tank areas, and well heads. The foundation drain (3/4-inch to 1-inch clean gravel) should extend to within 12 inches of the surface. The top 12 inches of backfill around the building foundation wall should contain on-site materials that have low permeability. In lieu of full depth gravel, a drainage composite system such as a Miradrain (303-696-8960) product can be used.

- e. Upon request, our office would be happy to provide a waterproofing and drain detail or review details provided/designed by others.

4.8 Drainage. Water in the foundation area and around buildings will reduce the soil bearing capacity of the soils and have many other adverse results.

- a. The foundation system shall be installed with an adequate drain system which mitigates the water away from the foundation area. The provision for the perimeter drain system will not eliminate or prevent moist conditions in interior spaces, but will reduce the risk of moisture penetration.
- b. Moist conditions can still develop in non-basement crawl spaces, resulting in musty smells and damp/wet soils. In addition to the perimeter drain system, crawl spaces and basements must be well ventilated (refer to the code and provide accordingly). In lieu of a crawl space with openings to the exterior, a conditioned crawl space may be installed (if approved by the county). Our firm advocates properly designed and fully conditioned crawl spaces over using openings around the crawl space which allow plumbing to freeze.
- c. Landscaping and irrigation practices will affect foundation performance. Surface drainage shall be away from buildings, leach fields, well heads, neighboring properties, and other type improvements.
- d. The ground surface surrounding the exterior of any building should be sloped away from the foundation in all directions, at least 6 inches (but not more than 24 inches) in the first 5 feet. If this cannot be provided due to site constraints, please contact our office for a more specific evaluation.
- e. Window wells must be installed and constructed to code. Perimeter foundation drains must be extended up to the bottom of the interior window well so that any water which enters the window well may drain quickly and properly. Ponding or standing water in window wells should be avoided by good construction techniques.

4.9 Backfill. Backfill shall consist of all backfill for the project including utility trenching.

- a. All structural soil-type backfill should be compacted to the specifications listed below in section 6.5. Exercise care when driving equipment near any foundation wall since this could cause pressure overburden.
- b. All retaining and foundation walls should be backfilled with free draining materials.

Soils do not compact themselves - approved vibratory equipment must be used when placing all structural fill. Using a track-hoe bucket or small tamping device (like a plate compactor or “wacker”) to compact soils may not be acceptable. Larger vibratory equipment like a pad drum vibratory roller (5 ton minimum) should be considered. Exercise care when driving equipment near any foundation wall since this could cause pressure overburden and crack and move foundation walls which are not properly braced with slabs, counterforts, floors, buttresses, and shear walls.

- c. Inspect trenches, cuts, and general excavation before placing any material to ensure topsoil and debris has properly been removed and to ensure general location of said components are properly excavated and within the site constraints (requires inspection by surveyor).
- d. Backfill materials for utility trenches should be sand or other approved material in and around the utility followed by native soils compacted as described above.

5.0 DIFFERENTIAL AND REASONABLE SETTLEMENT

- 5.1 Uniform settlement seldom presents any serious problems, but differential settlement is usually a problem. The difference of settlement between two adjacent columns is commonly referred to as “differential settlement.” Generally, it is assumed that differential settlement is about one quarter of the maximum settlement. For a small building, it is not uncommon to see ½-inch to 1-inch of settlement; this is more prone to occur when footings are not located below frost depth. Owners may have the false impression that a properly designed foundation will not settle. They may be greatly alarmed when they discover that the building moves.
- 5.2 Unless we are contracted and paid to be on-site during a significant portion of the excavation process, we have very limited control over actual site conditions during and after construction.
- 5.3 With any structure it is important for the building owner to monitor the foundation for settlement cracks and contact the engineer(s) with any questions or concerns. Settlement cracks generally assume a near 45 degree angle and take place invariably over and below doors and windows. The crack is generally wider at the top than at the bottom. Temperature cracks can sometimes be mistaken for settlement cracks. Cracks in concrete floors usually assume a hairline pattern and cannot be detected without close examination. These are typical for mountain construction and usually visible in all slabs. If after construction, any cracks appear in the buildings finishes, this office should be contacted for evaluation.

6.0 GRADING AND COMPACTION

Permits are required for all grading operations in Town of Blue River prior to site disturbance. Grading, erosion, and revegetation plans must be submitted to the county for approval prior to construction. Our office shall be notified at least 5 days before beginning grading.

- 6.1 **Historic Remains.** When the grading operations encounter remains of prehistoric people's dwelling sites, remains, or artifacts of historical, paleontological or archaeological significance, the operations shall be temporarily discontinued. The contractor shall notify the engineer and promptly contact the proper authorities to determine the disposition thereof. If required by state or federal authorities, the contractor shall preserve the area of significance to allow authorities to excavate and recover the items of significance.
- 6.2 **Clearing and grubbing.** All surface objects and all trees, stumps, roots, and other vegetation over 6 inches in height, and other protruding objects, not designated to remain, shall be cleared and/or grubbed, including mowing, as required. Stump holes and other holes from which obstructions are removed (like boulders), shall be backfilled with suitable materials and compacted in accordance with this report. Materials and debris shall be disposed of in accordance with state and county regulations.
- 6.3 **Topsoil.** All topsoil, where physically practical, shall be salvaged. Topsoil shall consist of loose friable loam reasonably free of admixtures of subsoil, refuse, stumps, roots, rocks, brush, weeds, or other material which would be detrimental to the proper development of vegetative growth. Materials selected for topsoil and lying within the limits of the project shall be excavated and stockpiled as required and where permissible. Topsoil shall be keyed to the underlying materials by the use of harrows, rollers, or other equipment suitable for the purpose. For sites that don't contain enough reusable top soil, approved top soil will have to be imported to the site.
- 6.4 **General excavation and embankment.** Excavation and embankment grading consists of excavation, disposal, shaping, or compaction of all material encountered within the limits of the grading plans including excavation for ditches and channels necessary for the construction of the project in accordance with the grading plans and in reasonably close conformity with the lines, grades, and typical cross-sections shown on the plans. The excavation and embankments shall be finished to reasonably smooth and uniform surfaces. Grading operations shall be conducted so that material outside of the limits of slopes will not be disturbed. Where material encountered within the limits of grading is considered unsuitable for embankment foundations, streets/roads, or

structural areas by the soils engineer, such material shall be excavated and replaced with suitable material. Some examples of unsuitable material include soils which contain significant amounts of organic material or large diameter rocks, concrete, or asphalt. Excess unsuitable excavated material, including rock and boulders, that cannot be used in embankments may be placed in non-structural areas as approved by this office.

- 6.5 Backfill. For these site soils, the moisture content of the soil at the time of compaction shall always be within +/-2% of optimum moisture. Should too much water be added to any part of the fill, all work on that section of the fill shall be delayed until the material has been allowed to dry to the required moisture content. Fill materials shall be placed such that the thickness of loose material does not exceed 10 inches and the compacted lift thickness does not exceed 6 inches. Rocks, broken concrete, or other solid materials more than 6 inches in greatest dimension shall be excluded from backfill material. Compaction, as specified above, shall be obtained by the use of water and sheepsfoot rollers, multiple-wheel pneumatic-tired rollers, or other equipment approved by the soils engineer. Granular fill shall be compacted using vibratory equipment and water or other equipment approved by this office. Compaction of each layer shall be continuous over the entire area. All disturbed areas should be re-seeded to mitigate erosion (a copy of the revegetation plan must be provided to this office for review prior to construction). Call engineer for inspection as required. Inspections are routinely performed during the backfill operations. If not performed, the backfill will likely settle (see item 6.7 below). Structural fill shall be properly compacted to not less than the following densities:
- a. Structural fill under concrete footings should be left undisturbed or be 100% natural density.
 - b. Structural fill under parking areas and roads shall be compacted to 95% natural density.
 - c. Landscape areas shall be compacted to 90% natural density.
 - d. The above information is a general recommendation only. Other registered professionals shall have responsibility for the systems designed. These include but are not limited to such items as concrete foundations, retaining walls, reinforced earth sections, driveway construction, waste disposal system construction, and site utilities.
- 6.6 Slope standards. Cut slopes (i.e., excavated slopes) shall be no steeper than two (2) horizontal to one (1) vertical. Fill slopes shall not exceed two (2) horizontal to one (1)

vertical. All permanent cut and fill slopes shall be constructed at slopes which ensure long term slope stability and that will not cause accelerated erosion.

- a. The tops and toes of cut and fill slopes shall be set back from property boundaries as far as necessary for safety of the adjoining properties and to prevent damage resulting from water run-off or erosion of the slope.
- b. The tops and toes of cut and fill slopes shall be set back from structures as far as it is necessary for adequacy of foundation support and to prevent damage as a result of water run-off or erosion of the slopes.

6.7 Grading reports. If the owner desires, this office or any qualified soils engineer can take sufficient compaction tests to determine that the site is ready for the intended uses. If this is not done, the contractor and owner assume all responsibility for soil settlement.

6.8 Watering. Water shall be applied to the topsoil at the locations and in the amounts where required. Water shall be applied in a fine spray by nozzles or spray bars in such a manner that it will not wash or erode the topsoil area. All water used shall be free of any mineral salts or contaminating material which might result in expansion of materials after placement. Water used in landscaping shall be provided for seeding, mulching, planting, transplanting, sodding, and soil sterilization, and any other landscaping work as required.

7.0 LIMITATIONS

7.1 Our investigation, layout, design, and recommendations are based upon data submitted by the owner and contractor, data/samples observed and collected in the field, and data compiled through technical research and testing. We have not, and cannot design the system to withstand every conceivable event which might occur, as that would render the design exceptionally expensive and difficult to construct. All construction not discussed in this report shall conform to applicable county, state, and manufacturer guidelines.

7.2 Buildings should be designed by a licensed professional engineer familiar with the local climate, standards, and practices. If this is not done, problems with the foundation may occur. Our firm would be happy to assist in this process (review plans) if requested.

Thank you for the opportunity to serve your needs. If you have any questions, or if we can provide further assistance, please call us at (719) 836-7120. When you have completed the building plans for the project, please be sure to provide a copy for our review prior to placement of any concrete and preferably prior to the excavation.

Sincerely,

Littlehorn Engineering & Surveying, LLC



John J. Littlehorn, P.E.

Enclosure

- Sieve Testing Results
- Index Testing Results
- Soil Profile Location Exhibit

LITTLEHORN ENGINEERING & SURVEYING, LLC

P.O. BOX 776390 - STEAMBOAT SPRINGS, COLORADO 80477

(719) 836-7120 – FAIRPLAY (970) 879-5112 – STEAMBOAT SPRINGS

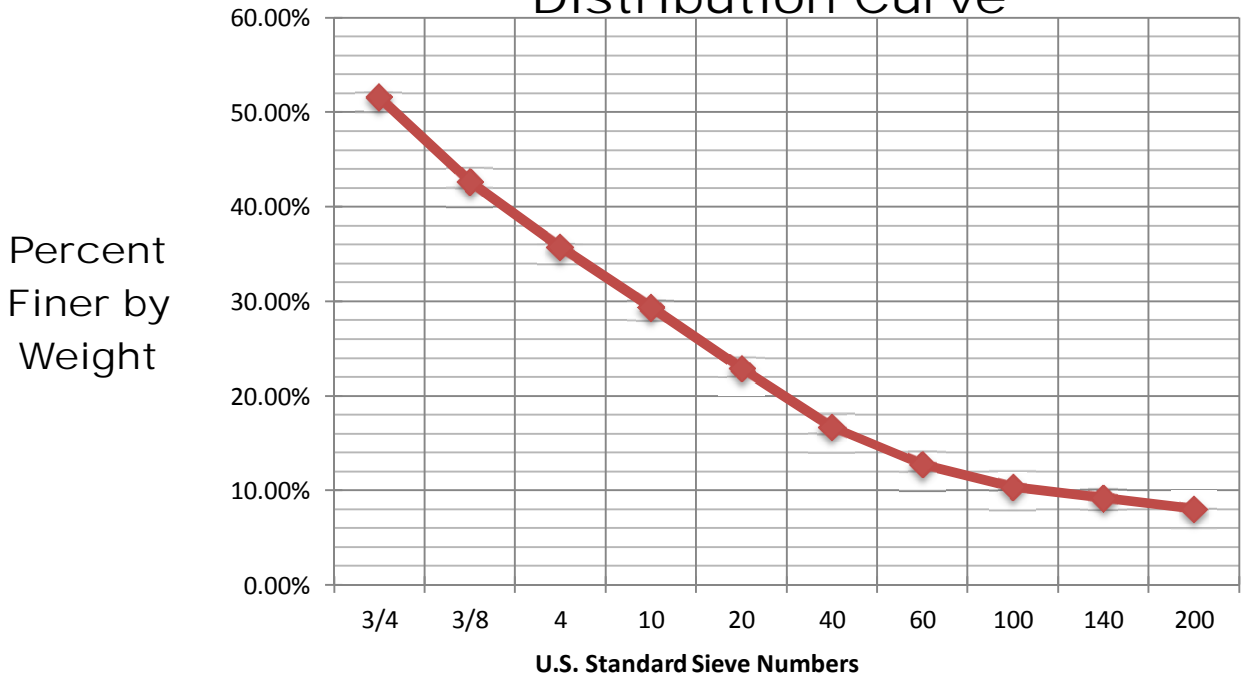
Sieve Test Results - Hole A

| | | |
|--------------------------------|----------------------|------------------------------------|
| Project No: | 2017-410 | PROPERTY |
| Date Testing Conducted: | 8-Jan-18 | 6306/6270 HWY 9, BLUE RIVER |
| Contractor or Owner: | MILLER, KATIE | SUMMIT COUNTY, CO |

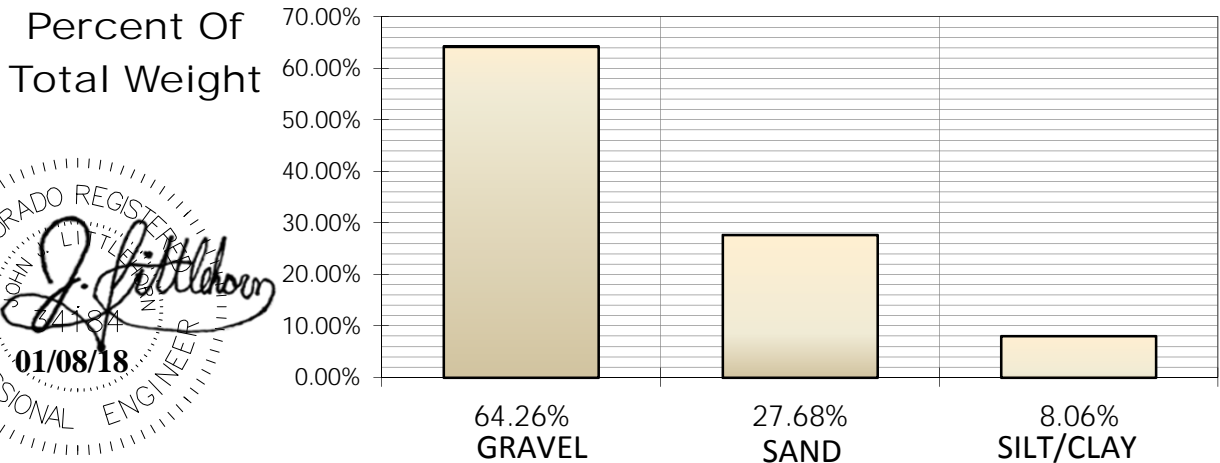
SOIL CLASSIFICATION

GW-GM (WELL GRADED GRAVEL WITH SILT)

Typical Grain Size Distribution Curve



Classification By Particle Size



| | | | |
|-------------------------------------|---------------|------------------------------------|-------------|
| Uniformity Coefficient (Cu): | 198.59 | Curvature Coefficient (Cc): | 0.70 |
|-------------------------------------|---------------|------------------------------------|-------------|

LITTLEHORN ENGINEERING & SURVEYING, LLC

P.O. BOX 776390 - STEAMBOAT SPRINGS, COLORADO 80477

(719) 836-7120 – FAIRPLAY (970) 879-5112 – STEAMBOAT SPRINGS

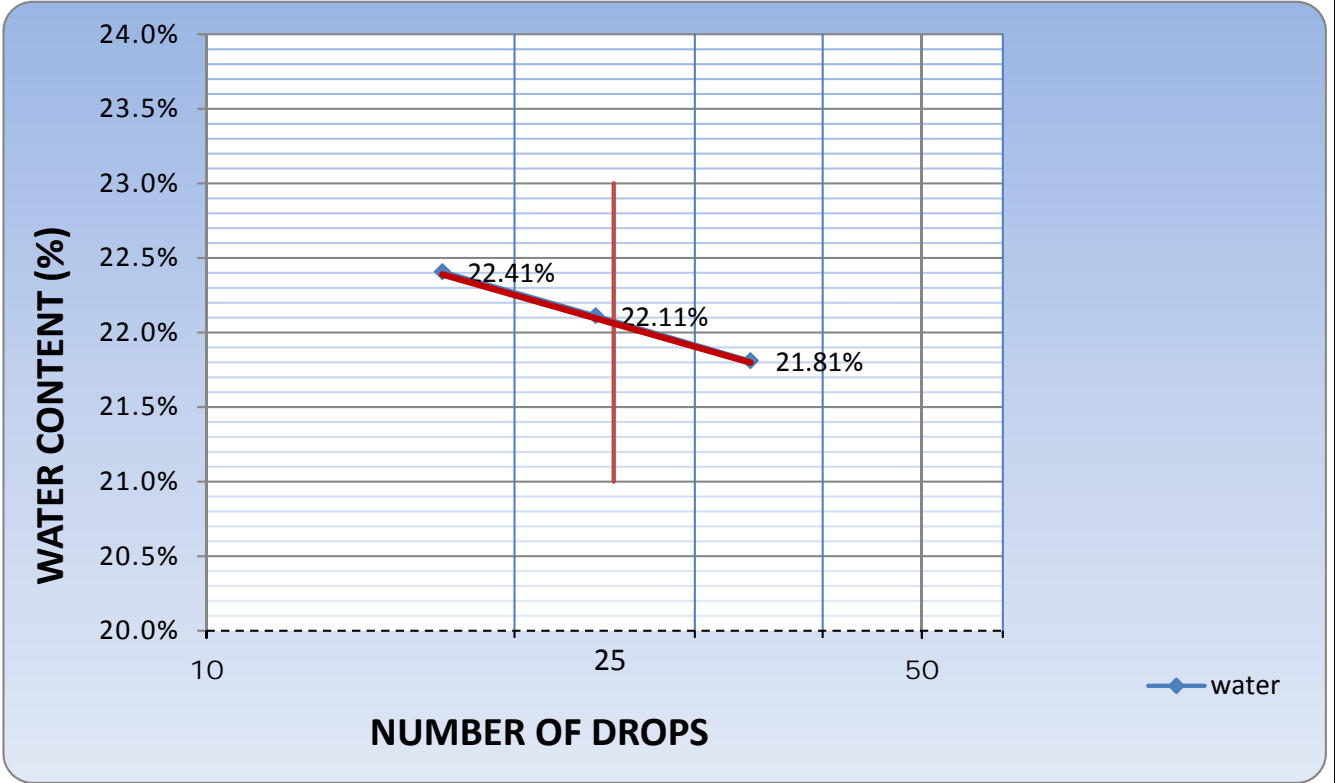
INDEX TESTING - SOIL PROFILE A

| | | |
|--------------------------------|----------------------|------------------------------------|
| Project No: | 2017-410 | PROPERTY |
| Date Testing Conducted: | 8-Jan-18 | 6306/6270 HWY 9, BLUE RIVER |
| Contractor or Owner: | MILLER, KATIE | SUMMIT COUNTY, CO |

| | | | | |
|--|-----------|--------------------------|-----------------|-------------------|
| LIQUID LIMIT: | 22 | PLASTICITY INDEX: | 3 | NONPLASTIC |
| PLASTIC LIMIT: | 19 | GROUP INDEX: | A-1-A(0) | |
| SOIL TYPE: GW-GM (WELL GRADED GRAVEL WITH SILT) | | | | |
| SEDIMENT RATIO: | 1 | SWELLING DEGREE: | NONE | |

THE GRAPH AND SOIL PROPERTIES DESCRIBED HEREIN USES SOIL WHICH PASSED THE #40 SIEVE

FLOW CURVE

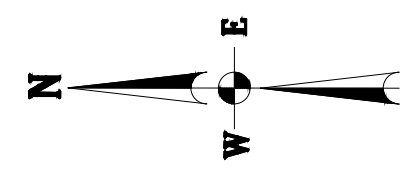
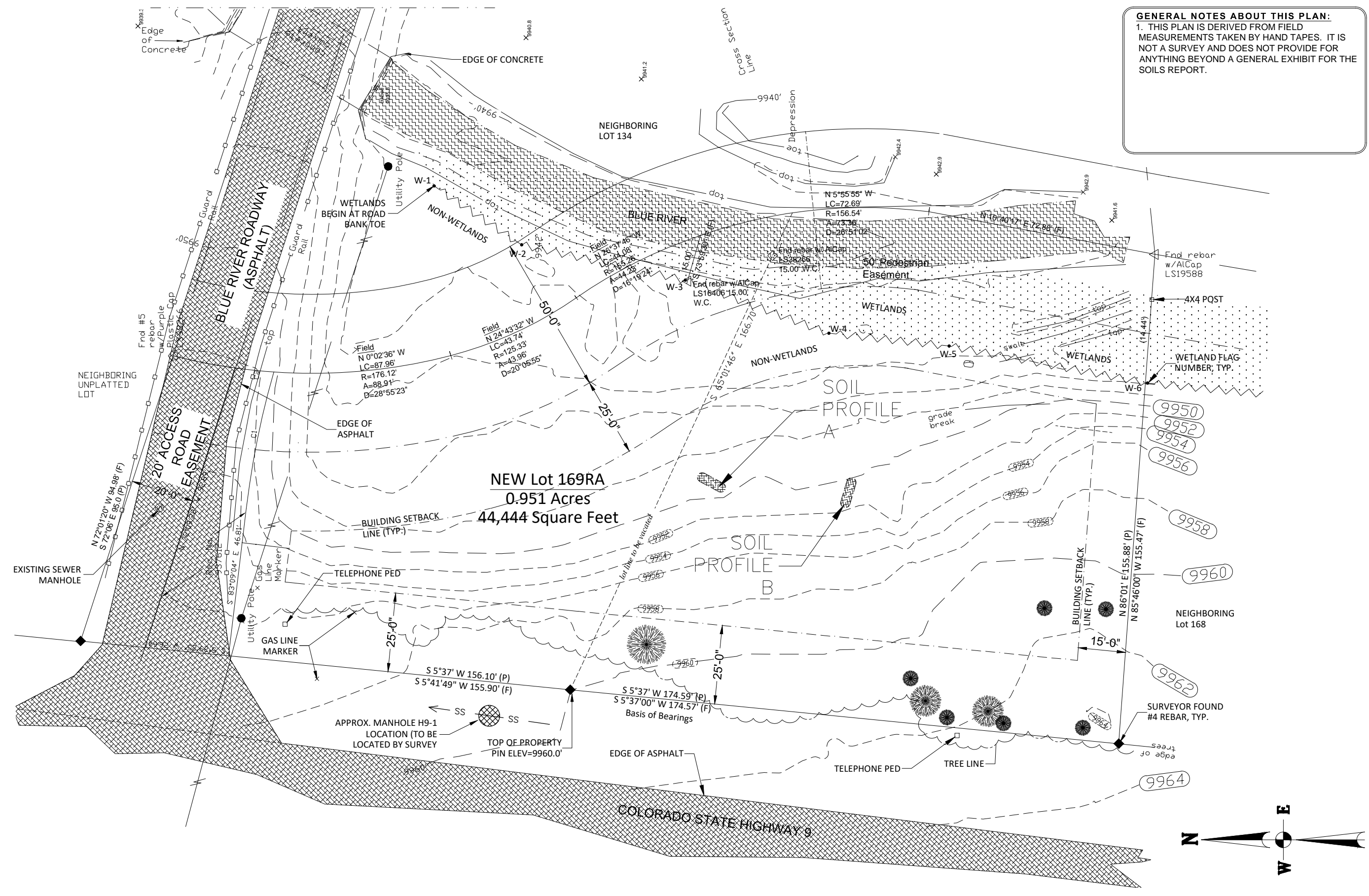


THIS GRAPH ACCOMPANIES A WRITTEN SOILS REPORT



GENERAL NOTES ABOUT THIS PLAN:
 1. THIS PLAN IS DERIVED FROM FIELD MEASUREMENTS TAKEN BY HAND TAPES. IT IS NOT A SURVEY AND DOES NOT PROVIDE FOR ANYTHING BEYOND A GENERAL EXHIBIT FOR THE SOILS REPORT.

PREPARED FOR A SINGLE PROJECT. THESE PLANS ARE THE PROPERTY OF LITTLEHORN ENGINEERING, LLC. ANY REPRODUCTION OR COPYING OF THE INFORMATION CONTAINED ON THESE PLANS IS CONSIDERED AN INFRINGEMENT ON COPYRIGHT LAWS.



SOILS EXHIBIT
PLOTTED AT 1" = 30'-0"

SOILS EXHIBIT
 MOUNTAIN VIEW SUBDIVISION
 NEW LOT 169RA
 FORMERLY 6270/6306 HIGHWAY 9
 TOWN OF BLUE RIVER, CO

LITTLEHORN ENGINEERING & SURVEYING, LLC
 DESIGNING BEAUTIFUL HOMES AND PROPERTIES THROUGHOUT COLORADO
 P.O. BOX 776390 • STEAMBOAT SPRINGS, COLORADO 80477
 FAIRPLAY PHONE 719.836.7120 • STEAMBOAT PHONE - 970.879.5112

| | |
|-------------|-------------------------|
| PROJECT NO. | 2017-410 |
| CLIENT | KATIE MILLER |
| DATE | JAN 9, 2018 |
| REVISION: | △ N/A △ N/A △ N/A |



Building Permit Application

Email to: info@townofblueriver.org
Questions? Call (970) 547-0545 ext. 1

Lot Number: 170R **Subdivision:** Mountain View
Blue River Physical Address: 6306 Hwy 9

Homeowner Information:

Name: John Michael Morrow
Mailing Address: _____
Phone: _____
Email: _____

Contractor Information

Company Name: Phoenix CR Pro LLC
Contact Name: Mark Stroud
Mailing Address: PO Box 5330, Frisco, CO 80443
Phone: 405-802-7862
Email: mark@phoenixcrpro.com
Contractor Registration #: BL24-000051

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

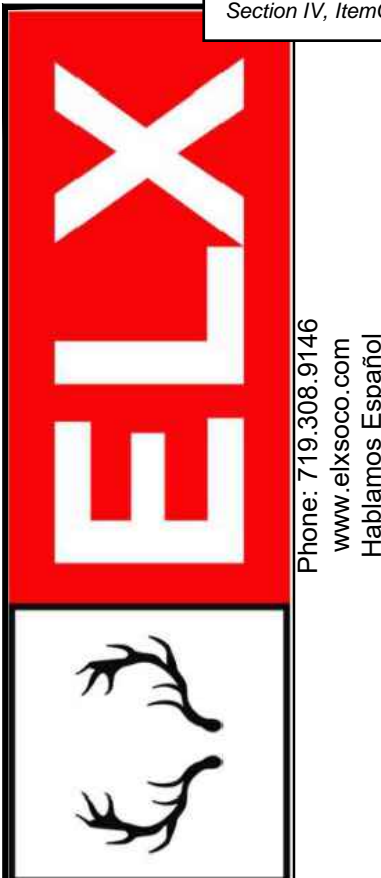
Construction of a 3431 sq.ft. system built home on a standard foundation.

| | | |
|-----------------------------------|---|--------------------------------------|
| Distance to Property Line | Type of Heat: <u>Forced Air</u> | Construction Type: <u>Wood Frame</u> |
| North: <u>15</u> | Roof: <u>Metal</u> | Building Height: <u>33</u> |
| South: <u>20</u> | Exterior Walls: <u>LP Smartside</u> | No. Stories: <u>3</u> |
| East: <u>25</u> | Interior Walls: <u>Drywall</u> | Total # Bedrooms: <u>4</u> |
| West: <u>25</u> | Basement Fin. Sq.Ft.: <u>1368</u> | Total # Bathrooms: <u>4</u> |
| New Addition/Res. Sq.Ft.: | Main Level Sq.Ft.: <u>867</u> | Septic or Sewer: |
| Garage Sq.Ft.: <u>671</u> | 2 nd Level Sq.Ft.: <u>1196</u> | Sewer |
| Total Square footage: <u>3431</u> | 3 rd Level Sq.Ft.: | |

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Jeremy Hume Date: 09/10/2024



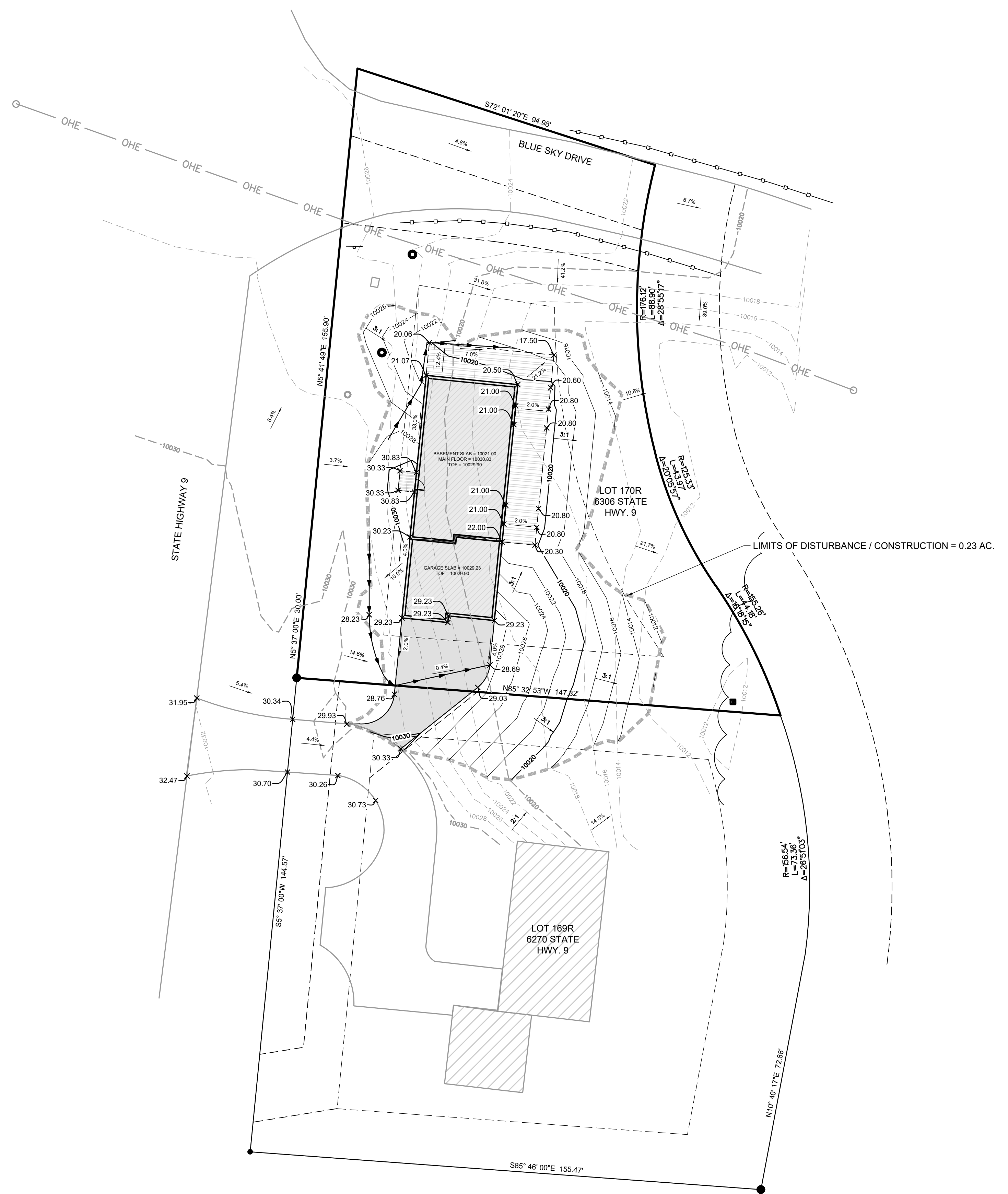
Phone: 719.308.9146
www.localxperts.com
Harrison Espinoza



0 20 40 Feet
SCALE: 1" = 20'

Volume

Base Surface 170R_MV_EG
Comparison Surface 170R_MV-FG
Cut Factor 1.00
Fill Factor 1.15
Cut volume (adjusted) 40.60 Cu. Yd.
Fill volume (adjusted) 1347.18 Cu. Yd.
Net volume (adjusted) 1306.57 Cu. Yd. <Fill>
Cut volume (unadjusted) 40.60 Cu. Yd.
Fill volume (unadjusted) 1171.46 Cu. Yd.
Net volume (unadjusted) 1130.85 Cu. Yd. <Fill>



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PROJECT NAME:

LOT 170R MOUNTAIN VIEW SUBDIVISION

PROJECT LOCATION:

6306 STATE HIGHWAY 9
BLUE RIVER, CO 80424
LOT 170R MOUNTAIN VIEW SUBDIVISION

CLIENT:

INTELBUILD SOLUTIONS

CONTACT INFO:

TYLER KERSENBOCK
TYLER@INTELBUILDSOLUTIONS.COM

PROFESSIONAL SEAL:

DATE: 07/27/24

DESCRIPTION: SUBMITTAL 1

JOB #: 101103

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

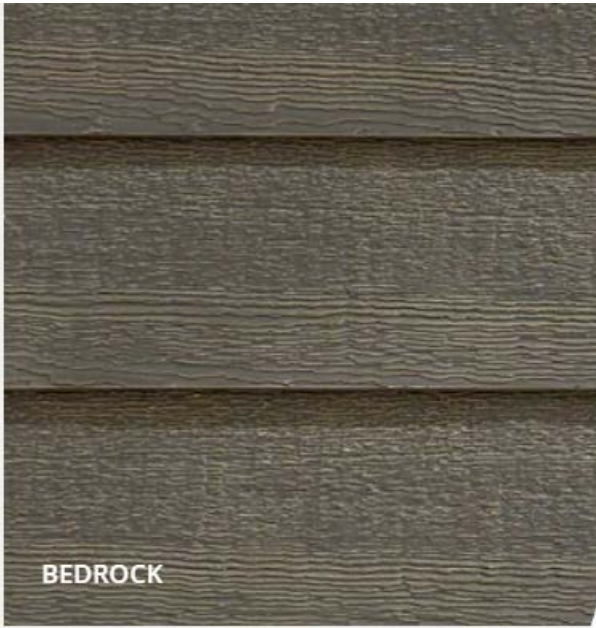
PLAN SET:

SITE AND GRADING PLAN

SHEET TITLE:

SITE AND GRADING PLAN

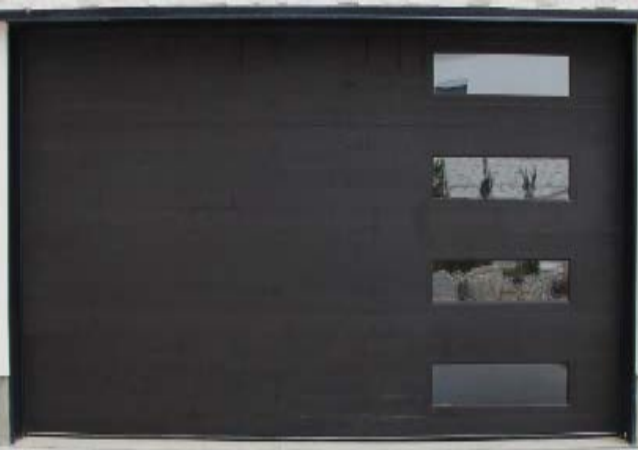
SHEET NO.:



Lap Siding - Diamond Kote - Bedrock Board and Batten Accents - LP Black Abyss Trim, 2 stage Facia - LP Black Abyss House and Porch Soffits - Cedar T&G EXT Down Lighting - Night Sky - Black



Timberline HDZ 30 yr Arch Shingles - Charcoal Shed Dormers only. Metal Hidden Rib Fastener Roofing - Midnight Black Front Mono-Slope and Covered Porches.



Metal Insulated House and Garage Doors - Black Vinyl Insulated Frame Casement & Picture Windows - Black



Medium and Large Telluride Gold Boulders



Biltmore Detail

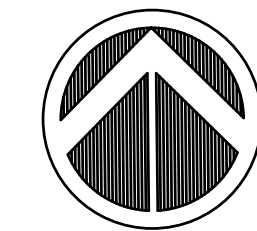
Stacked Stone accents. Firpleace, Porch Piers, and Wainscoting - Light and Dark Gray color scheme Retaining Wall - Telluride Gold Medium and Large boulders

CIVIL GRADING AND EROSION CONTROL PLAN SET

LOT 170R BLUE RIVER ESTATES MOUNTAIN VIEW SUBDIVISION

LOCATED IN SECTION 19 & 30, TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6TH P.M.

SUMMITTY COUNTY, COLORADO



0 20 40 Feet
SCALE: 1" = 20'



NOTES:

- CONTRACTOR TO VERIFY ALL HORIZONTAL AND VERTICAL CONTROL PRIOR TO CONSTRUCTION.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE A SITE AND TOPOGRAPHIC SURVEY CONDUCTED BY RANGE WEST ENGINEERS & SURVEYORS, INC. DATED OCTOBER 2022. ELX IS NOT RESPONSIBLE FOR THE GRAPHICAL DEPICTIONS SHOWN ON THIS PLAN OR THE SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD VERIFICATIONS INCLUDING, BUT NOT LIMITED TO, CONTROL POINTS AND BENCHMARKS (LOCAL OR DATUM, PUBLIC AND PRIVATE UTILITY LOCATES, OR ANY GEOLOGIC HAZARDS THAT MAY POSE A RISK TO CONSTRUCTION OR REQUIRE MITIGATION MEASURES SUCH AS: SHALLOW GROUNDWATER, EXPANSIVE SOILS, SHALLOW BEDROCK, UNDOCUMENTED FILL MATERIAL, ETC.
- THE GRADING SHOWN ON THIS PLAN IS TO FOLLOW TYPICAL I.R.C. GRADING BEST PRACTICES. THE CONTRACTOR SHALL VERIFY VIA AS-BUILT SURVEY / DRAINAGE CERTIFICATION (OFFICIAL OR INTERNAL DOCUMENTATION) THE CONDITIONS OF THE DETAILED GRADING FOLLOWING PERMANENT STABILIZATION. ALL GRADING WITHIN 10 FEET OF THE FOUNDATION IS TO HAVE POSITIVE DRAINAGE, AS FEASIBLE. SOME AREAS OF THE FOUNDATION INCLUDE DRAINAGE SWALES TO CONVEY UPSTREAM STORMWATER WITHIN A CHANNELIZED AREA WHERE POSITIVE DRAINAGE IS NOT FEASIBLE, I.E. NORTHWEST FOUNDATION CORNER.
- MINIMUM POSITIVE DRAINAGE IS CONSIDERED 10% GRADE FOR THE FIRST 10' FROM THE FOUNDATION AND IS REQUIRED MOST ESPECIALLY IN THE AREAS OF WINDOWS AND INGRESS/EGRESS. CONCRETE PATIO SLAB AT THE LOWER LEVEL ELEVATION (EAST-FACING), LOCATED UNDER THE PROPOSED DECK STRUCTURE, IS TO BE SLOPED AT A MINIMUM OF 2% GRADE AWAY FROM THE FOUNDATION (EAST). IT IS RECOMMENDED THAT FOOTERS BE POURED FOR THE ON-GRADE PATIO SLAB.
- FRONT DOOR ENTRYWAY IS TO BE FIELD CONSTRUCTED WITH THE REQUISITE NUMBER OF STAIR TREADS/RISERS.
- THE CONTRACTOR SHALL VERIFY THAT THE DRAINAGE SWALES AT THE BUILDING FRONTAGE (WEST ELEVATION) HAVE A MINIMUM OF 2.0% LONGITUDINAL SLOPE TO THE FOUNDATION CORNERS TO ENSURE NO STORMWATER PENETRATION OF THE FOUNDATION AT THIS FACADE.

Section IV, Item C.

Phone: 719.308.9146
1000 Blue River Road
Harrison, Colorado

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PROJECT NAME:

LOT 170R MOUNTAIN VIEW SUBDIVISION

PROJECT LOCATION:

6306 STATE HIGHWAY 9
BLUE RIVER, CO 80424
LOT 170R MOUNTAIN VIEW SUBDIVISION

CLIENT:

INTELBUILD SOLUTIONS

CONTACT INFO:

TYLER KERSENBOCK
TYLER@INTELBUILDSOLUTIONS.COM

PROFESSIONAL SEAL:

DATE: DESCRIPTION:

| DATE: | DESCRIPTION: |
|---------|--------------|
| 8/20/24 | SUBMITTAL 1 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

JOB #:

101103

DRAWN BY:

CDS

REVIEWED BY:

CDS

PROJ. MNGR.:

CDS

PLAN SET:

CIVIL PLAN SET

SHEET TITLE:

SITE AND GRADING PLAN

SHEET NO.:

1

CIVIL GRADING AND EROSION CONTROL PLAN SET

LOT 170R BLUE RIVER ESTATES MOUNTAIN VIEW SUBDIVISION

LOCATED IN SECTION 19 & 30, TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6TH P.M.

SUMMITTY COUNTY, COLORADO



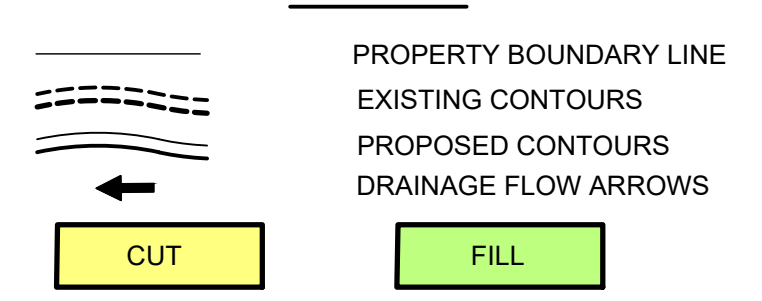
SCALE: 1" = 20'



STANDARD NOTES FOR GRADING AND EROSION CONTROL PLANS

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED STANDARDS. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL. IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS, NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE 'COLORADO WATER QUALITY CONTROL ACT' (TITLE 25, ARTICLE 6, C.R.S.) AND THE 'CLEAN WATER ACT' (33 USC 1364). ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY **LITTLE HORN ENGINEERING & SURVEYING, LLC**, DATED **JANUARY 8, 2018** AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION
WOOD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530
ATTN: PERMITS UNIT

LEGEND



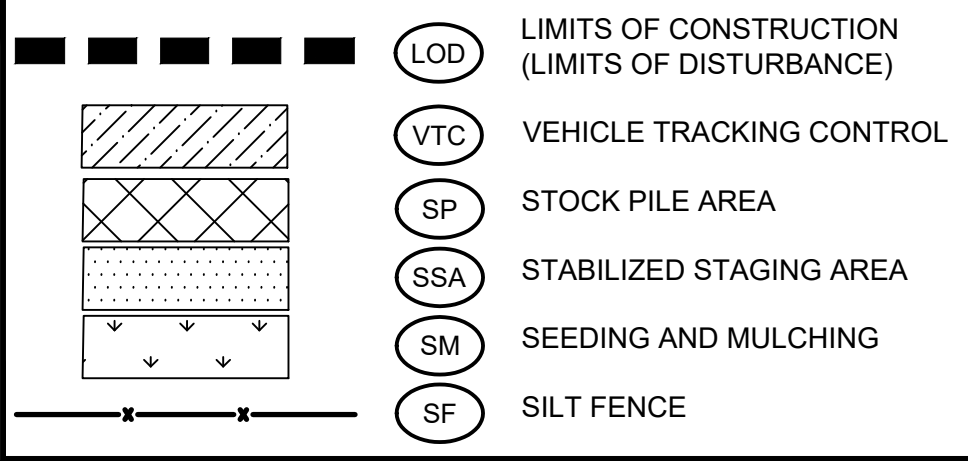
Volume

| | |
|--------------------------|------------------------|
| Base Surface | 170R_MV_EG |
| Comparison Surface | 170R_MV-FG |
| Cut Factor | 1.00 |
| Fill Factor | 1.15 |
| Cut volume (adjusted) | 40.83 Cu. Yd. |
| Fill volume (adjusted) | 1450.90 Cu. Yd. |
| Net volume (adjusted) | 1410.07 Cu. Yd. <Fill> |
| Cut volume (unadjusted) | 40.83 Cu. Yd. |
| Fill volume (unadjusted) | 1261.65 Cu. Yd. |
| Net volume (unadjusted) | 1220.82 Cu. Yd. <Fill> |

Elevations Table

| Number | Minimum Elevation | Maximum Elevation | Area | Color |
|--------|-------------------|-------------------|---------|--------|
| 1 | -3.13 | 0.00 | 955.54 | Yellow |
| 2 | 0.00 | 11.51 | 8870.93 | Green |

GRADING AND EROSION CONTROL LEGEND



Section IV, Item C.

Phone: 719.308.9146
10000 E. Highway 103
Harrison, Colorado

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PROJECT NAME:

LOT 170R MOUNTAIN VIEW SUBDIVISION

PROJECT LOCATION:

6306 STATE HIGHWAY 9
BLUE RIVER, CO 80424
LOT 170R MOUNTAIN VIEW SUBDIVISION

CLIENT:

INTELBUILD SOLUTIONS

CONTACT INFO:

TYLER KERSENBCK
TYLER@INTELBUILDSOLUTIONS.COM

PROFESSIONAL SEAL:

| DATE: | DESCRIPTION: |
|---------|--------------|
| 8/20/24 | SUBMITTAL 1 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

JOB #: 101103

DRAWN BY: CDS
REVIEWED BY: CDS
PROJ. MNGR.: CDS

PLAN SET:

CIVIL PLAN SET

SHEET TITLE:

EROSION CONTROL PLAN

SHEET NO.:

2

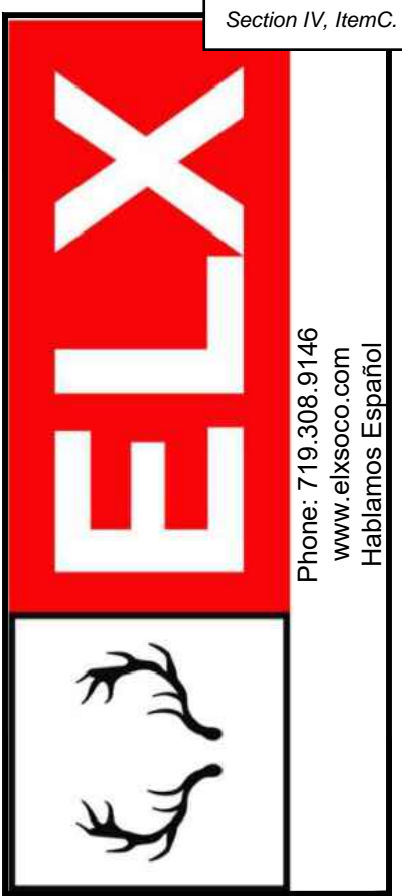
CIVIL GRADING AND EROSION CONTROL PLAN SET

LOT 170R BLUE RIVER ESTATES MOUNTAIN VIEW SUBDIVISION

LOCATED IN SECTION 19 & 30, TOWNSHIP 7 SOUTH, RANGE 77 WEST OF THE 6TH P.M.

SUMMITTY COUNTY, COLORADO

0 20 40 Feet
SCALE: 1" = 4'



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PROJECT NAME:

LOT 170R MOUNTAIN VIEW
SUBDIVISION

PROJECT LOCATION:

6306 STATE HIGHWAY 9
BLUE RIVER, CO 80424
LOT 170R MOUNTAIN VIEW
SUBDIVISION

CLIENT:

INTELBUILD SOLUTIONS

CONTACT INFO:

TYLER KERSENBOCK
TYLER@INTELBUILDSOLUTIONS.COM

PROFESSIONAL SEAL:

DATE:

8/20/24

DESCRIPTION:

SUBMITTAL 1

JOB #: 101103

DRAWN BY: CDS

REVIEWED BY: CDS

PROJ. MNGR.: CDS

PLAN SET:

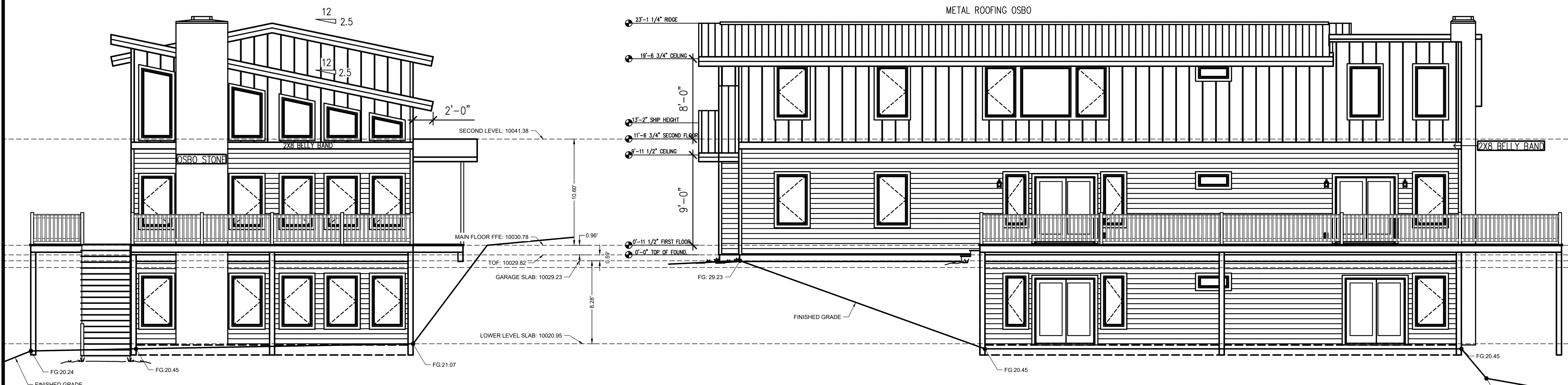
CIVIL PLAN SET

SHEET TITLE:

BUILDING ELEVATIONS

SHEET NO.:

3



LEFT
(NORTH)

REAR
(EAST)

RIGHT
(SOUTH)

FRONT
(WEST)

ALL STAIRS, DECKS, ETC. TO GRADE TO BE
DESIGNED & CONSTRUCTED ON SITE BY FIELD
CONTRACTOR.