



## PLANNING & ZONING COMMISSION

April 04, 2023 at 6:00 PM  
0110 Whispering Pines Circle, Blue River, CO

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### AGENDA

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The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

- I. CALL TO ORDER, ROLL CALL
  - II. APPROVAL OF MINUTES February 7, 2023
    - [A.](#) Minutes from February 7, 2023
  - III. PROJECT APPROVAL
    - New Construction 0033 Golden Crown
      - [B.](#) New Construction-0033 Golden Crown
      - [C.](#) New Construction resubmittal 0066 Conifer
      - D. Rescheduling of the June 6th Meeting Date
  - IV. ADJOURN
- NEXT MEETING - May 2, 2023



**Minutes**  
**TOWN OF BLUE RIVER**  
**PLANNING AND ZONING COMMISSION REGULAR MEETING**  
**February 7, 2023**  
**0110 Whispering Pines, Blue River, CO 80424**

Applicants and residents may attend via Zoom or in person. The Zoom link is below.

[Planning & Zoning | Town of Blue River \(colorado.gov\)](https://www.colorado.gov/planning-zoning-town-of-blue-river)

- I. Call to Order**
  - Chair Johnson called the regular meeting of the Planning & Zoning Commission to order at 6:00 p.m.
    - i. Roll Call**
      - Travis Beck
      - Tim Johnson
      - Bevan Hardy via Zoom
      - Gordon Manin
      - Doug O'Brien
      - Troy Watts via Zoom
    - ii.** Ben Stucky and Troy was excused. Town Manager Michelle Eddy and Board Liaison Noah Hopkins were also present.
- II. Approval of the Minutes**
  - Beck moved and O'Brien seconded to approve the minutes of January 3, 2023.
- III. Public Hearing**
  - **Variance 0507 97 Circle-Parking**
    - i.** Chair Johnson opened the public hearing at 6:00 p.m.
    - ii.** Town Manager Eddy provided a background and reason for the variance request. She noted the hardship due to do topography with wetlands and the requirement of a third parking space. She noted no comments were received to Town Hall and the Building Official and Town Manager recommend approval.
    - iii.** Chair Johnson closed the public hearing at 6:02 p.m.
    - iv.** Hardy moved and O'Brien seconded to approve the variance for parking space within the setbacks. Motion passed unanimously.

**IV. New Construction-0507 97 Circle**

- Town Manager Eddy presented the new construction project. She noted the comments from the Building Official have been addressed and the Building Official recommends approval.
- Discussion of the issue of the wetlands and ensuring not to encroach on the wetlands. The applicant, Brett Confer explained the steps that will be taken to ensure the wetlands are not impacted.
- Recommendation to have the Corps of Engineers review and ensure there will be no impact as it is in close proximity to the wetlands even though it is currently within the guidelines understanding the burden falls on the applicant. Requested to ensure the wetlands report with the flowline report is complete when submitted with stamped plans.
- Hardy moved and Watts seconded to approve the new construction project at 0507 97 Circle with recommendations and requests to have the wetlands report completed on the northwest corner. Motion passed unanimously.

**V. Next Meeting March 7, 2023**

There being no further business before the Planning & Zoning Commission, O'Brien moved and Beck seconded to adjourn the meeting at 6:44 p.m. Motion passed unanimously.

Respectfully Submitted  
Michelle Eddy, MMC  
Town Clerk



# Building Permit Application

Email to: [info@townofblueriver.org](mailto:info@townofblueriver.org)  
 Questions? Call (970) 547-0545 ext. 1

**Lot Number:** 534 **Subdivision:** Crown  
**Blue River Physical Address:** 33 Golden Crown Lane, Blue River, CO 80424

**Homeowner Information:**

Name: Brett Hahnenkamp (BBH Homes, LLC)  
 Mailing Address: 600 17th Street, Suite 2800 South Denver, CO 80202  
 Phone: 303-809-9635  
 Email: Brett@bbh-management.com

**Contractor Information**

Company Name: TBD  
 Contact Name: For Design questions, please contact the homeowner or Ryan Flood at Colorado Modular Homes: 720.678.9376  
 Mailing Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Contractor Registration #: \_\_\_\_\_

*\*\*Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. \*\**

**Description of Project:**

New Construction Single Family Home. Ranch on a basement with a drive under garage.

Distance to Property Line	Type of Heat: Gas forced air	Construction Type: modular stick frame
North: 43.4'	Roof: Shingles	Building Height: 32'
South: 19.8'	Exterior Walls: 2x6	No. Stories: 2-story
East: 85.4'	Interior Walls: 2x4	Total # Bedrooms: 4
West: 96.8'	Basement Fin. Sq.Ft.: 955	Total # Bathrooms: 3
New Addition/Res. Sq.Ft.:	Main Level Sq.Ft.: 1575	Septic or Sewer:
Garage Sq.Ft.: 665sf	2 <sup>nd</sup> Level Sq.Ft.:	Septic
Total Square footage: 3195	3 <sup>rd</sup> Level Sq.Ft.:	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN \_\_\_\_ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF \_\_\_\_ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Brett Hahnenkamp Digitally signed by Brett Hahnenkamp Date: 2023.03.13 19:56:31-0600 Date: 3/13/23

## Submittal Requirements

**\*\*ALL Submittals Must be Electronic\*\***

**Emailed to: [info@townofblueriver.org](mailto:info@townofblueriver.org)**

### Planning & Zoning Review Submittal Requirements

**\*\*Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
	<b>Site Plan</b>	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	
		Property Boundaries	site plan
		Building Envelope with setbacks	site plan
		Proposed Buildings	site plan
		Structures (existing & proposed)	site plan
		Driveway & Grades	site plan
		A wetlands delineation & Stream crossing structures where applicable.	<b>n/a</b>
		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	site plan
		Transformer & vault location (if installed by owner or existing)	site plan
		Well location; septic if applicable	site plan
		Snow storage areas and calculations	site plan
		Major site improvements	site plan
		Existing & proposed grading & drainage	site plan
	<b>Landscaping Plan</b>	<b>*May be included in the site plan**</b>	
		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	site plan
		Indicate the percentage of trees removed and revegetation to be conducted.	tree removal & site plan
		Upon completion of the construction project, all land must be raked and	site plan

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	site plan
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	site plan
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	site plan
	<b>Floor Plans</b>	<b>Scale 1/8" = 1'</b>	
		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	floor plan (main level and floor plan)
	<b>Exterior Elevations</b>	<b>Scale same as floor plans</b>	
		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	elevations
	<b>Roof Plan</b>	<b>Scale same as floor plans</b>	
		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	elevations
	<b>Materials Sheet</b>	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	exterior finish and color schedule

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
FROM: Kyle Parag, Plan Reviewer - CAA  
DATE: March 16, 2023  
RE: Planning/Zoning/Architectural Guidelines review –  
0033 Golden Crown Ln

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0830 whispering Pines Circle

**Staff Comment:**

**The current address is indicated as 0033 Golden Crown, however the driveway will extend from lodestone, recommendation to review addressing and possibly switch to a Lodestone Trl address.**

**Town coordination of maintenance and repair post-construction of Lodestone Trl should be discussed.**

**Zoning Regulation analysis –**

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 4 bedroom, 3.0 bath home, includes 2,530 s.f. of living space and an attached 665 s.f., 2 vehicle garage for a combined 3195 square feet.

Zoning district: R1

Lot Size: ~ 25,643 sq. ft.  
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 130’-11”  
100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs.

Height:

Complies with required height limitations. The height at the highest roof ridge is proposed at 32'

Garage Stds: The proposed garage is ~665 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size.

Parking Stds: Parking requirements will be met through the proposed garage and exterior parking.

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

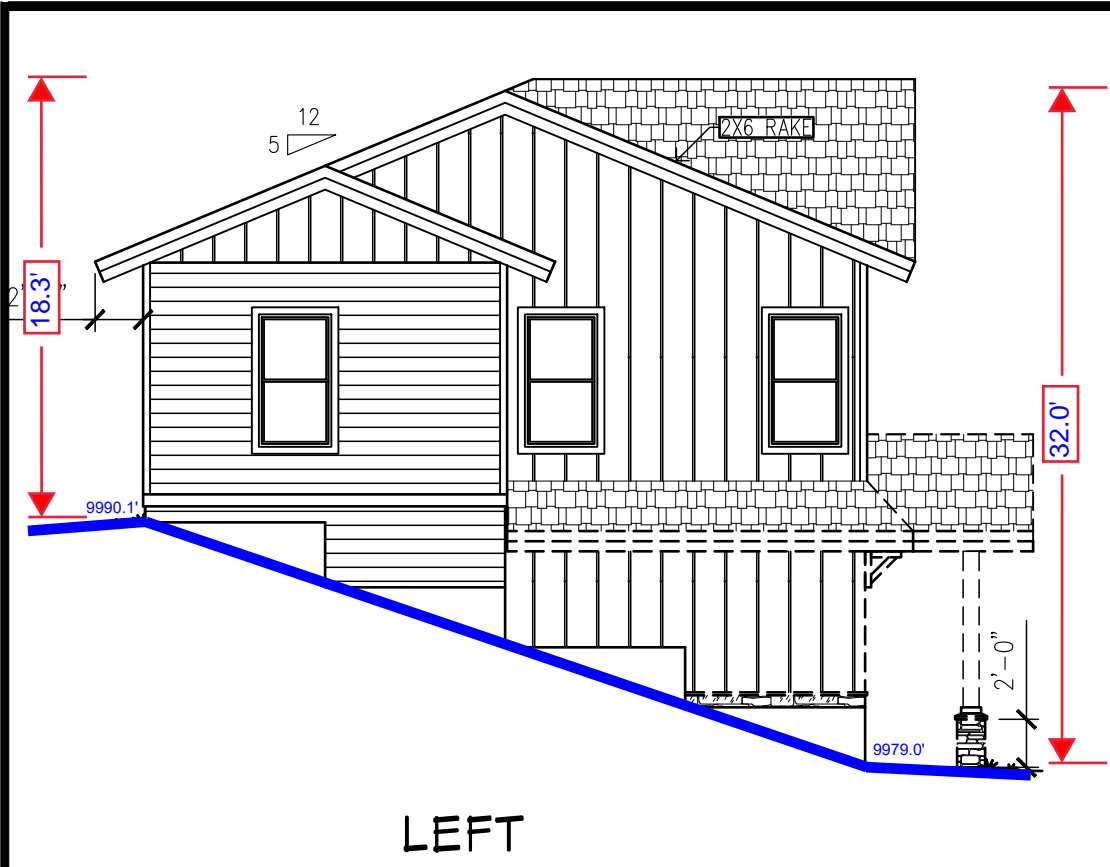
STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
VI. B. Building Envelope	The proposed principal residence is properly sited within required setbacks. The submitted site plan depicts compliance.	Y
VI. C. Building Siting	Structure is proposed in context with natural drainage patterns, contours, and landforms. Property has significant sloping, and design works well with the slope	Y
VI. D. Grading and Drainage	Final grading is proposed to avoid unnaturally broad, flat surfaces. <b>The maximum allowable 2:1 slope is proposed in several areas.</b>	Y
VI. E. Driveways	Proposed gravel driveway. Snow storage area calculations are provided,	N



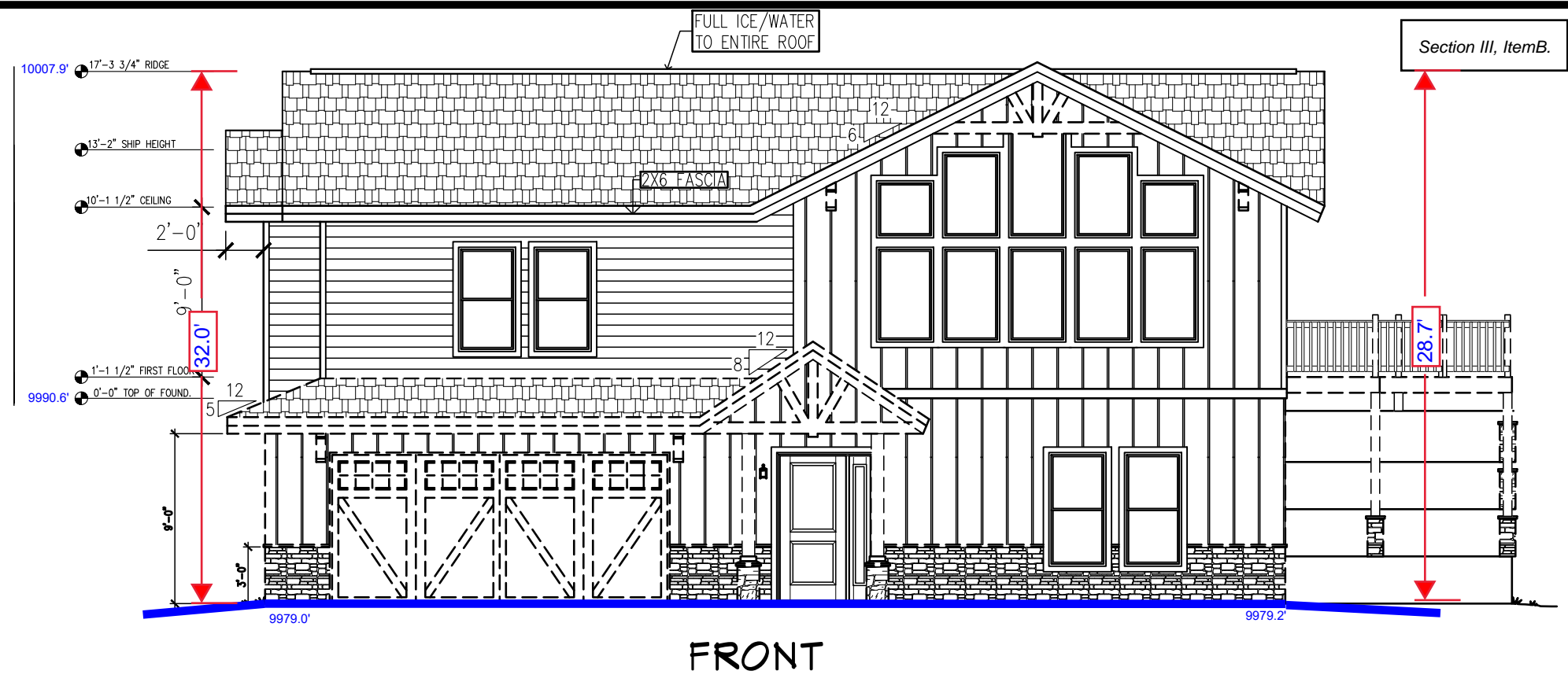
	<p>The snow storage calculations are provided outside of the driveway area. Snow storage shall be calculated on improved driveway surfaces.</p> <p>Driveway exceeds the maximum 6% in the first 20 feet and 10% slopes elsewhere, and drawn at 12%, the maximum allowable with Town approval.</p> <p>Driveway width is scaled at 16 ft, exceeding the maximum of 12”</p> <p>Culvert is indicated and appears compliant.</p>	
VI. F. Parking / Garages	The proposed attached two vehicle garage and the additional exterior parking space complies.	Y
VI. G. Exterior Equipment and Satellite Dishes	No exterior equipment is indicated	Y
VI. H. Easements and Utilities	<b>Lodestone tr is indicated to presently extend beyond the easement indicated. Lodestone Tr is currently used as a private drive for 0041</b>	Y
VI. I. Recreation Facilities	No facilities are proposed	Y
VI. J. Signage	Address marker/signage is not indicated on the drawings	Y
VI. K. Pathways /Walkways	No walking paths are proposed	Y
VI. L. Wetlands	No wetlands are identified on the plan.	N/A
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction.	Y
<b>ARCHITECTURAL GUIDELINES</b>		
VI. B. Building Forms	Proposed foundation walls merge with the existing grade. <b>Elevation Designs suggest exposed concrete foundational walls on the sides of the home and are not permitted.</b> Base mass intent is not designed on rear of home, as the main siding materials (composite) are indicated to near grade. Snow shedding will be a problem in front of garage area.	N

VII. C. Setbacks	The proposed structures sit within the required setbacks per the submitted site plan.	Y
VII. D. Building Height	Building complies with zoning district requirements.	Y
VII. E. Roofs	Gabled roof with a slope of 5:12 is proposed. Material is proposed as a charcoal black asphalt shingles	Y
VII. F. Exterior Wall Materials	Proposed exterior materials are composite wood look siding material in “cavern steel” dark grey.	Y
VII. G. Exterior Trim	Proposed trim colors are black in color, and elevations indicate an appropriate sizing	Y
VII. H. Windows and Doors	Windows, doors, and garage doors are proportional to the structure and appear in general compliance.	Y
VII. I. Balconies and Railings	Railings are traditional in appearance and complement the structure. In general conformance.	Y
VII. J. Chimneys and Roof Vents	<b>An indoor fireplace is proposed. Neither the chimney nor a roof vent is identified. Please indicate if this fireplace is vented out the side of the home, or through the roof. If through the roof, please provide enclosure material or indicate the painting of the vent extension to match the roof material.</b>	
VII. K. Exterior Colors	Proposed colors indicated on the color board are in general conformance. Colorado are dark greys and blacks, with brown/wood colors for stone and posts.	Y
VII. L. Solid Waste Collection and Service Areas	Trash and storage areas are not indicated.	Y
<b>SITE ELEMENTS</b>		

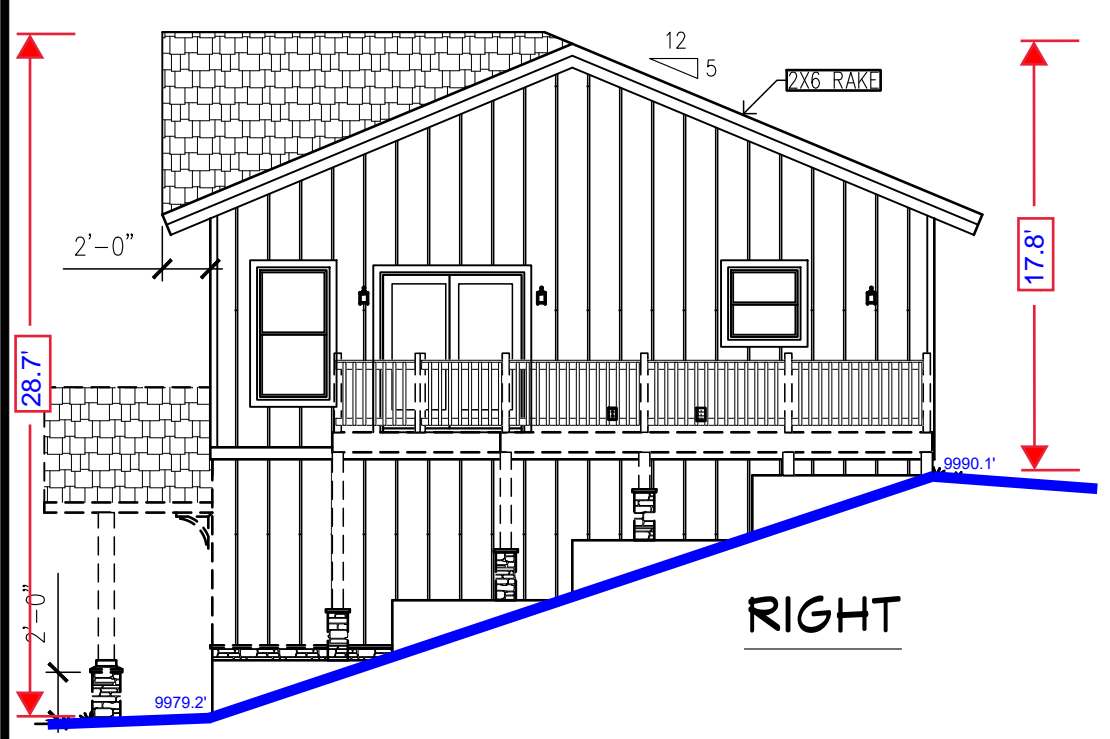
VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	A large retaining wall is proposed adjacent to the south neighboring property. <b>Materials and maximum height could not be located.</b>	
VIII. B. Terraces, Patios, Walkways and Decks	Deck is in the building envelope and complements the site and structure.	Y
VIII. C. Driveway Paving Surfaces	Driveway and parking area material is gravel. <b>Colors or specific material applications are not provided.</b>	
VIII. D. Exterior Landscape Lighting	Proposed exterior lighting is in general conformance. Down lights are proposed	Y
IX. B. Submittal Requirements	<b>The construction management plan is not included in the submittal.</b> <b>Detailed landscape plan is not included.</b> <b>Erosion control plan is not included.</b>	N



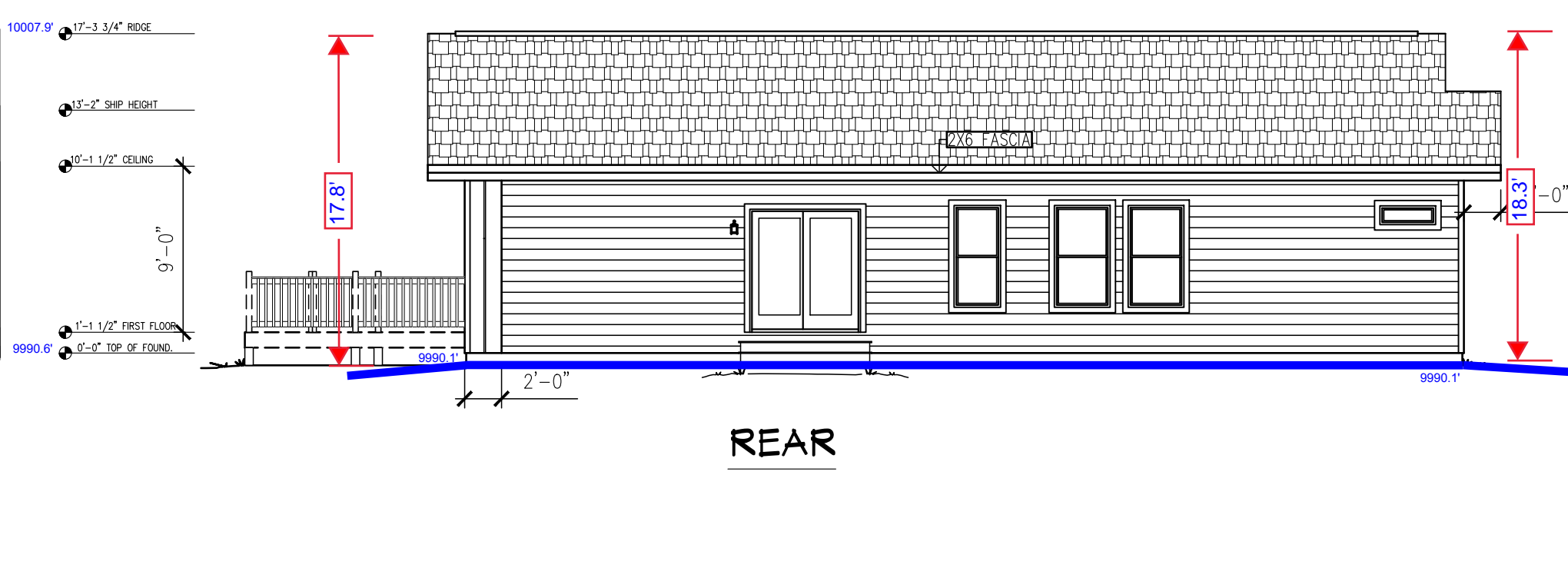
LEFT



FRONT



RIGHT



REAR

GENERAL NOTES:  
SEE SHEET A1.1


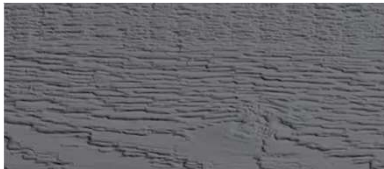
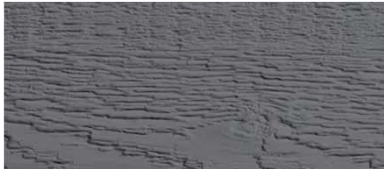



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601





ELEVATIONS

NS4602	DEALER: ROCKY MOUNTAIN HOME BUILDERS	PAGE:
DRAWN BY: MW	CUSTOMER: HAHNENKAMP	A2.
DATE: 11/21/22	REV: B BY: MW	DATE: 2/27/23
SCALE: 1/8" = 1'-0"		12

## Hahnenkamp Residence Exterior Finish Schedule

MATERIALS	DESCRIPTION	SAMPLE
1) Roof	TIMBERLINE HD ARCHITECTURAL SHINGLES charcoal	
2) Main siding (horizontal lap)	LP SMARTSIDE COMPOSITE cavern steel	
3) Secondary Siding (board and batten)	LP SMARTSIDE COMPOSITE cavern steel	
4) Trim (window/door trim)	LP SMARTSIDE COMPOSITE abyss black	

## Hahnenkamp Residence Exterior Finish Schedule

MATERIALS	DESCRIPTION	SAMPLE
5) Stone (post bases and exterior wainscot)	URESTONE LEDGESTONE mountain country	
6) Post and Beam	ROUGH SAWN PINE SEMI-TRANSPARENT STAIN sw 3522 banyan brown	
7) Windows and Patio Doors	THERMO-TECH VINYL sandlewood	
8) Decking	FIBERON COMPOSITE ipe	

## Hahnenkamp Residence Exterior Finish Schedule

### MATERIALS

### DESCRIPTION

### SAMPLE

9) Soffit & Fascia

LP SMARTSIDE  
COMPOSITE  
abyss black



10) Exterior Lights

CANARM  
lo211Bk  
outdoor down light  
(dark sky collection)  
black



## Hahnenkamp Residence Exterior Finish Schedule

### MATERIALS

### DESCRIPTION

### SAMPLE

11) Font Door

THERMATRU  
FIBERGLASS (fir grain texture)  
Rustic Clay  
*style and color pictured*

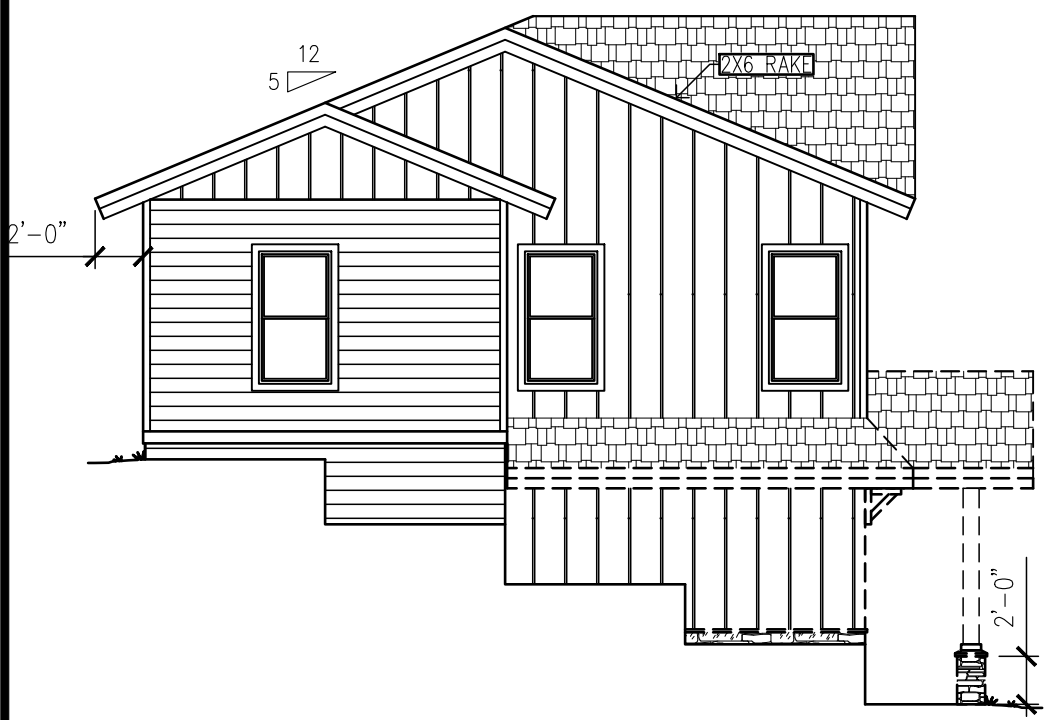


12) Garage Door

WAYNE DALTON 8500 SERIES  
STEEL - SONOMA (style)  
Mission Oak  
*Actual door, color, and hardware style  
represented by top image.  
Window style represented by bottom image.*



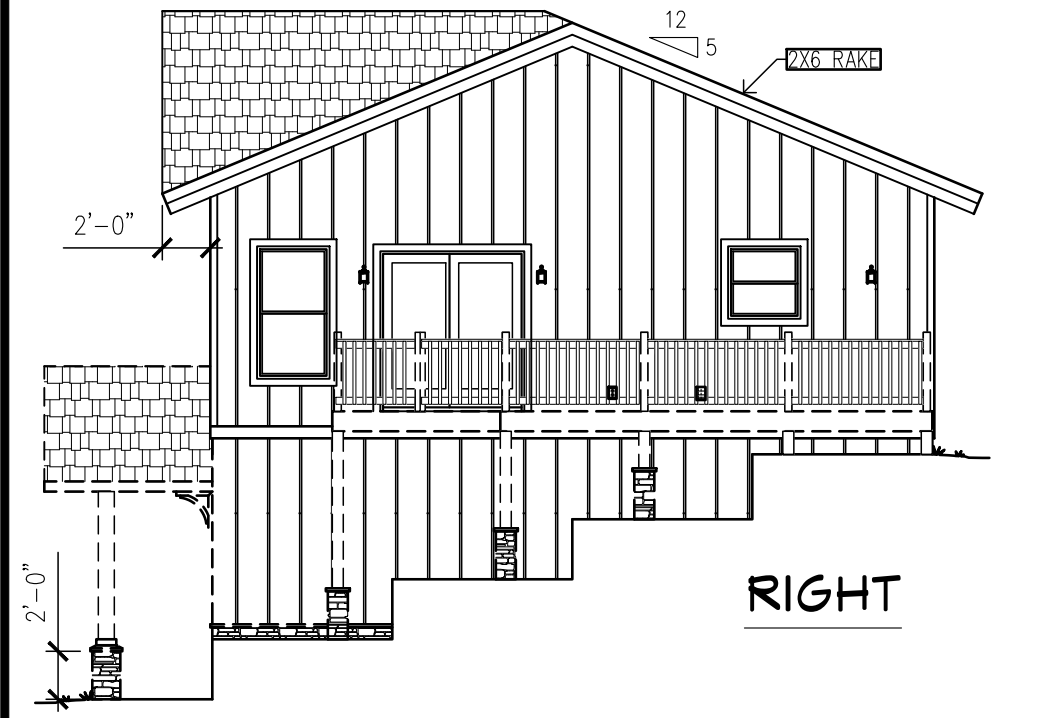




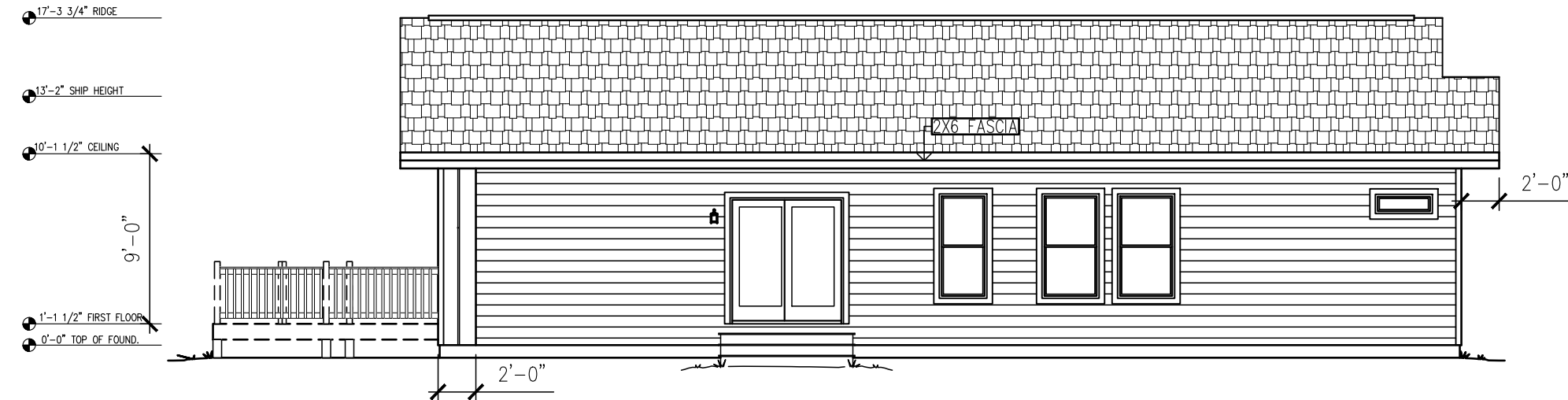
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FRONT



RIGHT



REAR

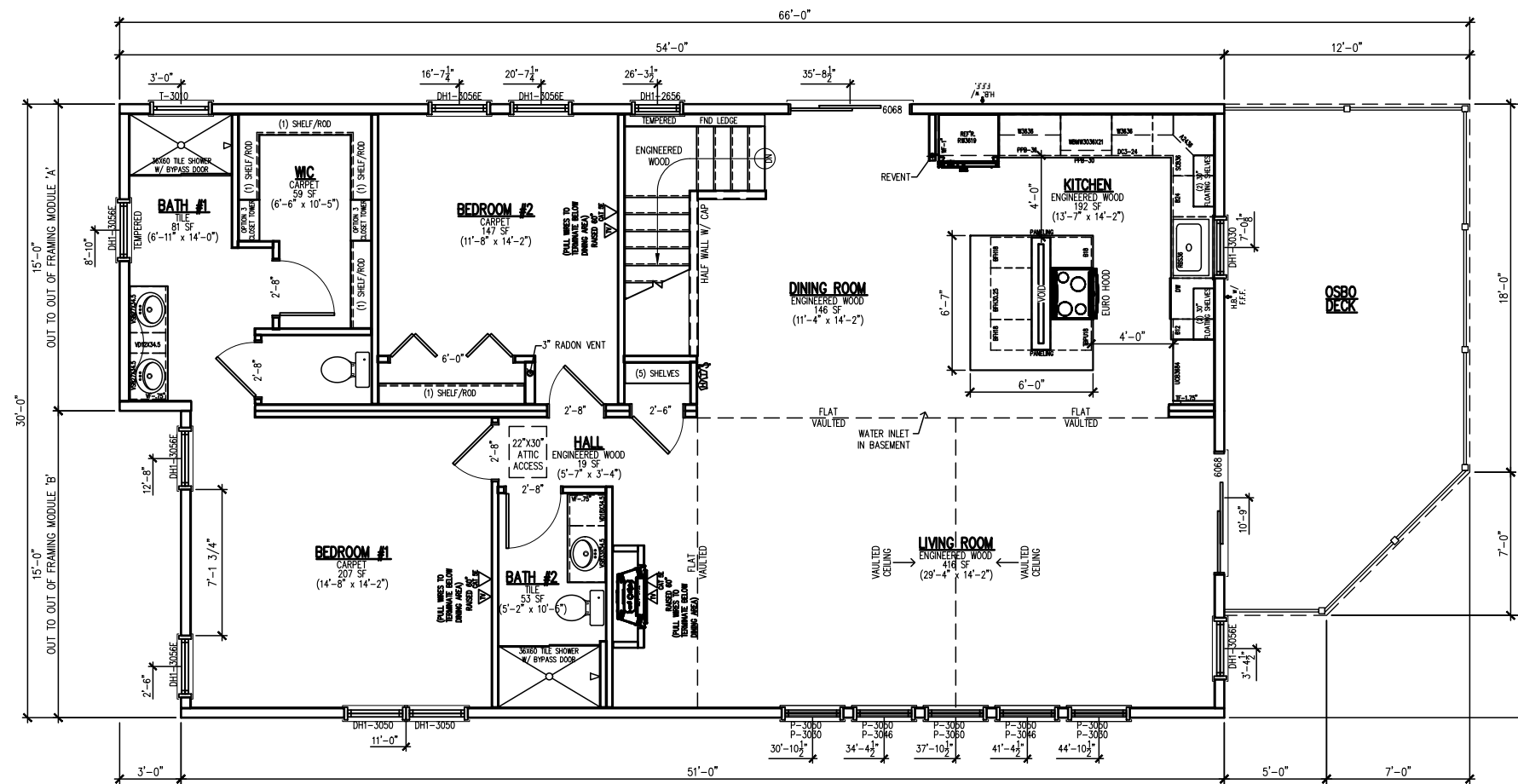
GENERAL NOTES:  
SEE SHEET A1.1



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
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ELEVATIONS

NS4602	DEALER: ROCKY MOUNTAIN HOME BUILDERS	PAGE:
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DATE: 11/21/22	REV: B BY: MW	DATE: 2/27/23
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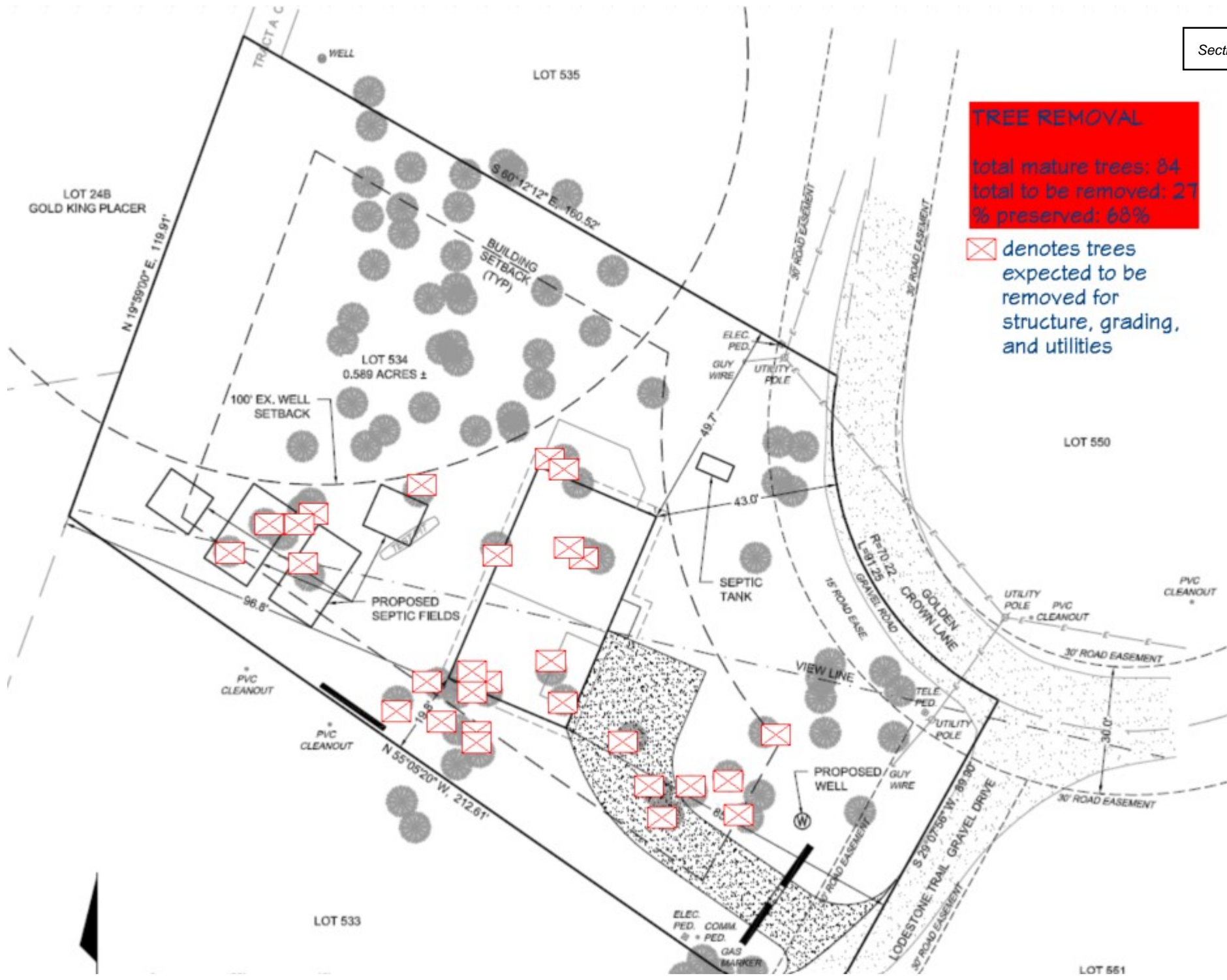
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MAIN LEVEL FLOOR PLAN

NS4602	DEALER: ROCKY MOUNTAIN HOME BUILDERS	PAGE:
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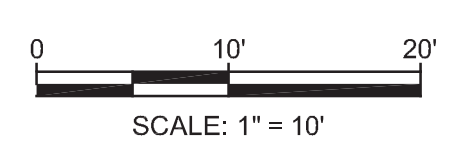
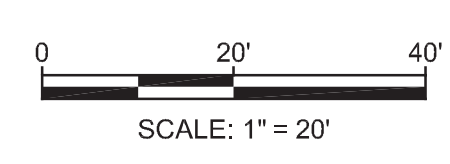
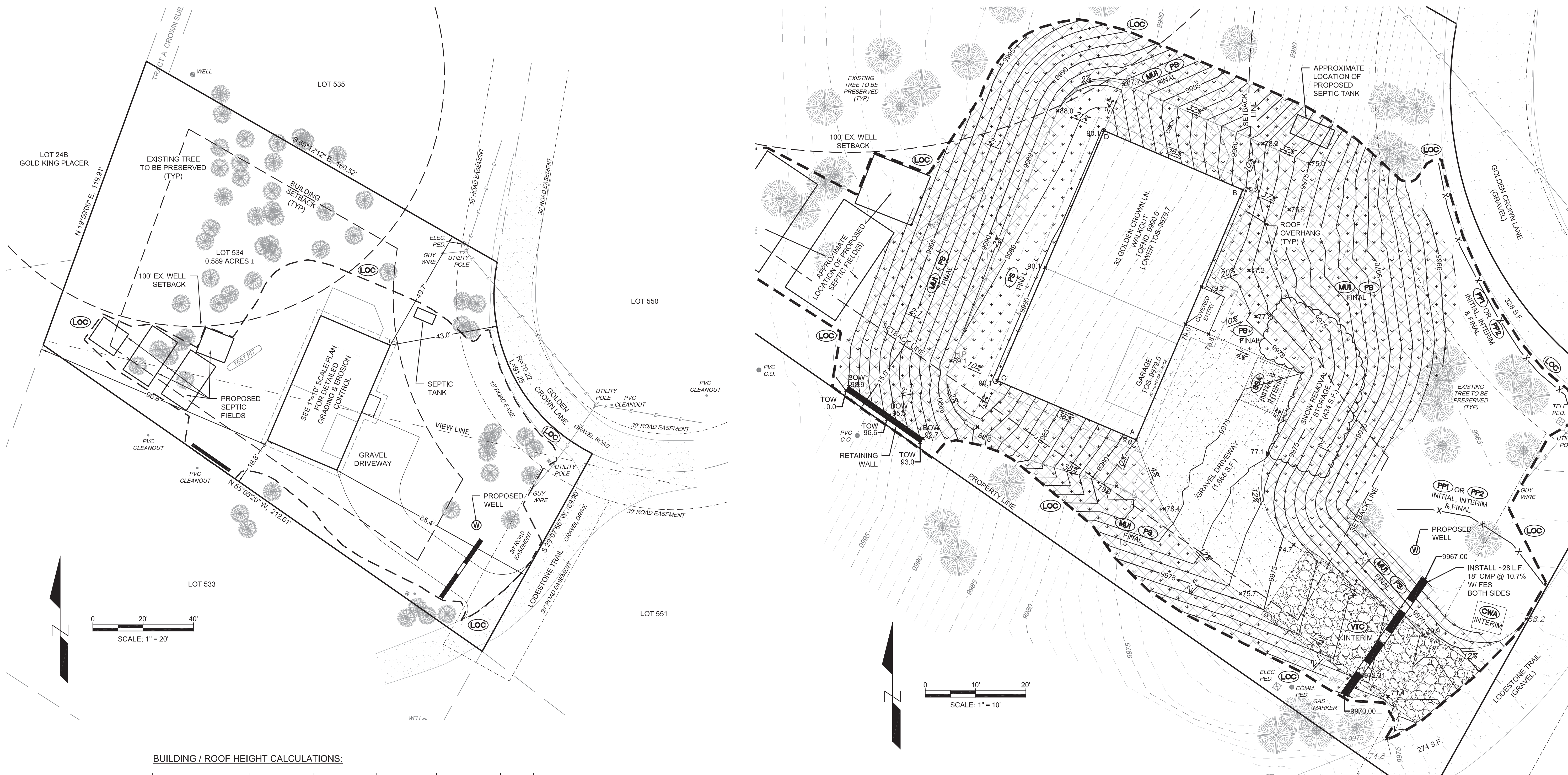
**TREE REMOVAL**  
total mature trees: 84  
total to be removed: 27  
% preserved: 68%

☒ denotes trees expected to be removed for structure, grading, and utilities



# PLOT AND EC PLAN

33 GOLDEN CROWN LANE  
 TOWN OF BLUE RIVER, COLORADO



**BUILDING / ROOF HEIGHT CALCULATIONS:**

POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT (ft)
A	9975.90	9979.00	Natural Grade	10007.91	10007.90-9975.90	32.01
B	9980.90	9979.19	Finish Grade	10007.91	10007.90-9979.19	28.72
C	9989.60	9990.09	Natural Grade	10007.91	10007.90-9989.60	18.31
D	9991.20	9990.09	Finish Grade	10007.91	10007.90-9990.09	17.82

**NOTES:**

- REFER TO THE TOWN OF BLUE RIVER ARCHITECTURAL GUIDELINES FOR EROSION CONTROL STANDARDS, NOTES, DETAILS AND FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL BMPs REQUIREMENTS.
- ANY AREA WHERE VEGETATION IS REMOVED BY VEHICLE TRAFFIC OR STAGING WILL BE SEEDED AND MULCHED.
- ANY ADDITIONAL EROSION CONTROLS DEEMED NECESSARY BY THE TOWN OF BLUE RIVER EROSION CONTROL INSPECTOR WILL BE INSTALLED PER THE INSPECTORS DIRECTION.
- ALL DISTURBED SOIL OUTSIDE OF BUILDING FOOTPRINT WILL BE SEEDED AND MULCHED WITH NATIVE SEED AND IN ACCORDANCE WITH THE TOWN OF BLUE RIVER CRITERIA UNLESS SURFACED WITH GRAVEL, CONCRETE OR OTHER IMPERVIOUS MATERIAL.
- ANY CREATED SLOPES STEEPER THAN 4H:1V WILL BE PROTECTED BY EROSION CONTROL BLANKET, SEEDING AND MULCHING.
- GRADED SLOPES SHALL NOT BE STEEPER THAN 2H:1V.
- A MINIMUM SLOPE OF 10% AND A MAXIMUM SLOPE OF 33% IN THE FIRST 10 FEET AWAY FROM THE FOUNDATION WALLS AND WINDOW WALLS SHALL BE ESTABLISHED FOR PERVIOUS SURFACES. ALL OTHER DISTURBED AREAS SHALL HAVE A MINIMUM OF 2% SLOPE.
- THIS PLOT PLAN IS FOR THE DESIGN OF GRADING AND DRAINAGE SURROUNDING THE HOUSE. IT IS NOT TO BE USED FOR FOUNDATION DIMENSIONS, OR CONSTRUCTION OF THE HOUSE EXCEPT FOR ESTABLISHING THE TOP OF FOUNDATION GRADE.
- SIDING TO REMAIN 6" ABOVE FINISHED GRADE.
- LANDSCAPING DESIGN WILL BE HARMONIOUS WITH NATURAL LANDFORMS AND DISTURBANCE AREA WILL BE REVEGETATED WITH NATIVE PLANTS.

**EROSION CONTROL LEGEND**

	LOC LIMITS OF CONSTRUCTION
	MJ1 MULCH PROTECTION (FINAL)
	PS PERMANENT SEEDING (FINAL)
	PP1 PERIMETER PROTECTION (INITIAL, INTERIM & FINAL)
	PP2 PERIMETER PROTECTION (INITIAL, INTERIM, & FINAL)
	CWA CONCRETE WASHOUT AREA (INTERIM)
	SSA STABILIZED STAGING AREA (INITIAL & INTERIM)
	VTC VEHICLE TRACKING CONTROL (INTERIM)

**LAND DATA:**

PROPOSED IMPERVIOUS AREA:	
HOUSE, ROOF, DECK	= 2,257 S.F.
DRIVEWAY - GRAVEL	= 1,665 S.F.
EXISTING GRAVEL ROAD	= 603 S.F.
TOTAL IMPERVIOUS AREA	= 4,525 S.F. (0.104 ACRES)
UNDEVELOPED / REVEGETATED AREA	= 21,113 S.F. (0.485 ACRES)
TOTAL PROPERTY AREA	= 25,638 S.F. (0.589 ACRES)

AREA OF DISTURBANCE: 10,446 S.F.  
 STEEPEST DISTURBED NATURAL SLOPE ON PROPERTY: 80%  
 STEEPEST PROPOSED GRADE: MAX 2:1 CUT/FILL SLOPE ALLOWED

SNOW REMOVAL STORAGE REQUIRED: 416 S.F.  
 SNOW REMOVAL STORAGE PROVIDED: 434 S.F.

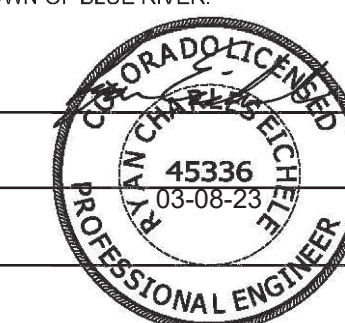
THE DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF THE TOWN OF BLUE RIVER.

DESC PLANS PREPARED BY:

2N CIVIL LLC

DATE

PROFESSIONAL LICENSE NO.



DEVELOPMENT REVIEW ENGINEER

DATE

THIS DESC PLAN HAS BEEN REVIEWED BY THE TOWN OF BLUE RIVER FOR DRAINAGE, EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

PREPARED FOR:  
 ROCKY MOUNTAIN  
 HOME BUILDERS

**PLOT AND EC PLAN**  
 33 GOLDEN CROWN LANE  
 TOWN OF BLUE RIVER, COLORADO

BY: DATE:

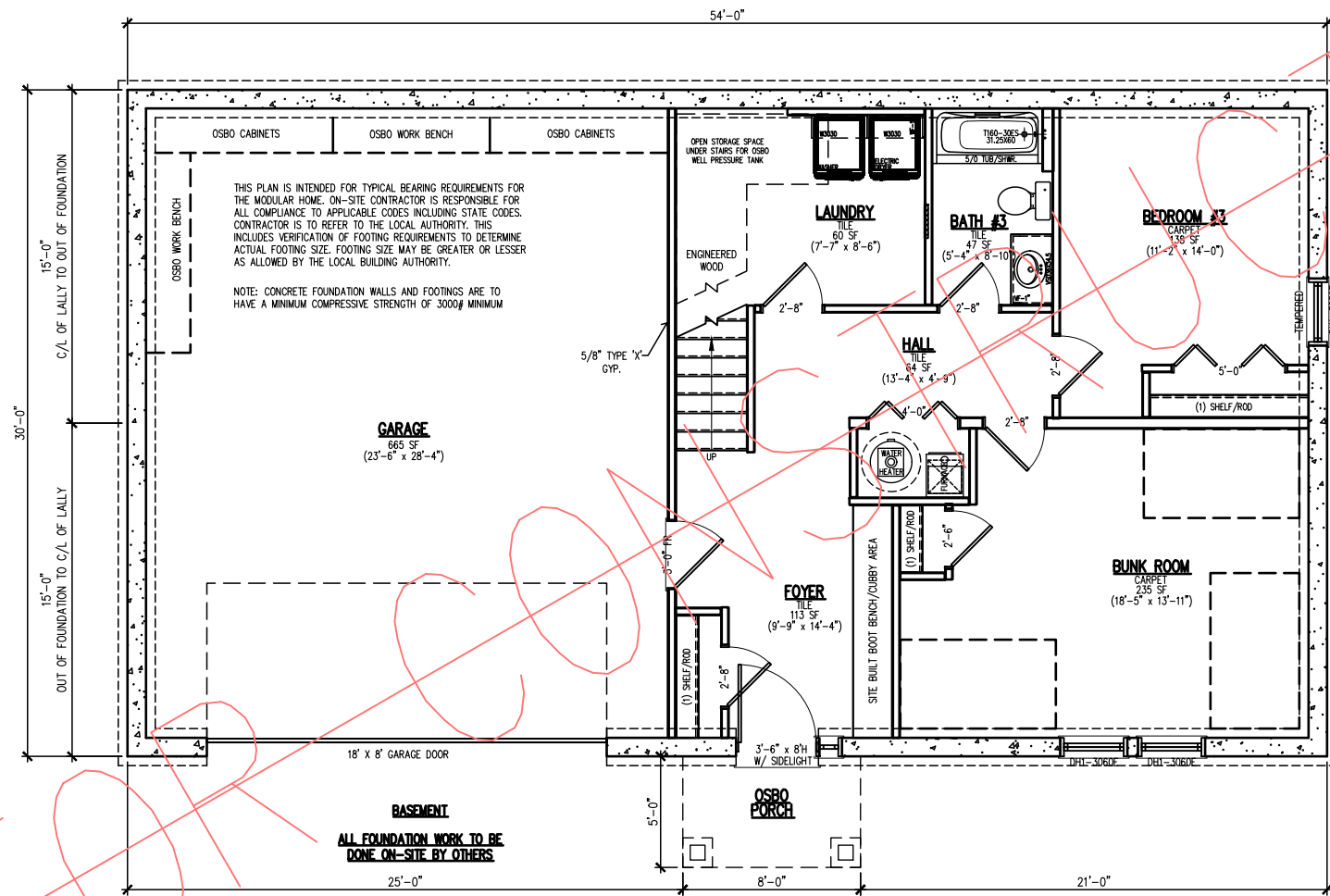
REVISIONS:  
 1.  
 2.  
 3.  
 4.

PROJECT NUMBER: 22315  
 ISSUED DATE: 2/15/2023  
 DESIGNED BY: DLC  
 REVIEWED BY: RCE

**PLOT AND EC PLAN**

J:\Projects\22315\Plot and EC Plan\33 Golden Crown Ln. 03-08-2023.dwg 3/8/2023





NOT FOR CONSTRUCTION



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

BASEMENT PLAN  
(NOT FOR CONSTRUCTION)

NS4602	DEALER: ROCKY MOUNTAIN HOME BUILDERS
DRAWN BY: MW	CUSTOMER: HAHNENKAMP
DATE: 11/21/22	REV: B BY: MW DATE: 2/27/23 SCALE: 1/8"=1'-0"



# Building Permit Application

Email to: [info@townofblueriver.org](mailto:info@townofblueriver.org)  
Questions? Call (970) 547-0545 ext. 1

**Lot Number:** TR7-77 **Subdivision:** Leap Year  
**Blue River Physical Address:** 66 Conifer Drive, Blue River, CO 80424

### Homeowner Information:

Name: Russ Blancken  
Mailing Address: 160 Live Oak Ln, Kerrville, TX 78028  
Phone: (512) 656-3839  
Email: russ@bigoftexas.com

### Contractor Information

Company Name: Owner-Builder  
Contact Name: Russ Blancken  
Mailing Address: 160 Live Oak Ln, Kerrville, TX 78028  
Phone: (512) 656-3839  
Email: russ@bigoftexas.com  
Contractor Registration #: TBD

*\*\*Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. \*\**

### Description of Project:

New construction of single family home

Distance to Property Line	Type of Heat: <b>Forced Air</b>	Construction Type: <b>Modular</b>
North: 27.9'	Roof: <b>Metal</b>	Building Height: <b>32.37'</b> (highest point)
South: 52.2'	Exterior Walls: <b>2x6</b>	No. Stories: <b>1</b>
East: 98.8'	Interior Walls: <b>2x4</b>	Total # Bedrooms: <b>4</b>
West: 27.6'	Basement Fin. Sq.Ft.: <b>1612</b>	Total # Bathrooms: <b>5</b>
New Addition/Res. Sq.Ft.:	Main Level Sq.Ft.: <b>2792</b>	Septic or Sewer:
Garage Sq.Ft.: <b>1198</b>	2 <sup>nd</sup> Level Sq.Ft.:	<b>Septic</b>
Total Square footage: <small>4404 (excluding garage)</small>	3 <sup>rd</sup> Level Sq.Ft.:	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN \_\_\_\_ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOR OF \_\_\_\_ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINDED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Russ Blancken Date: 03/30/2023

## Submittal Requirements

**\*\*ALL Submittals Must be Electronic\*\***

**Emailed to: [info@townofblueriver.org](mailto:info@townofblueriver.org)**

### Planning & Zoning Review Submittal Requirements

**\*\*Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
<input checked="" type="checkbox"/>	<b>Site Plan</b>	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	3
<input checked="" type="checkbox"/>		Property Boundaries	3
<input checked="" type="checkbox"/>		Building Envelope with setbacks	3
<input checked="" type="checkbox"/>		Proposed Buildings	3
<input checked="" type="checkbox"/>		Structures (existing & proposed)	3
<input checked="" type="checkbox"/>		Driveway & Grades	3
<input checked="" type="checkbox"/>		A wetlands delineation & Stream crossing structures where applicable.	3
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	4
<input checked="" type="checkbox"/>		Transformer & vault location (if installed by owner or existing)	5-6
<input checked="" type="checkbox"/>		Well location; septic if applicable	3
<input checked="" type="checkbox"/>		Snow storage areas and calculations	3
<input checked="" type="checkbox"/>		Major site improvements	3
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	3
<input checked="" type="checkbox"/>	<b>Landscaping Plan</b>	<b>*May be included in the site plan**</b>	3
<input checked="" type="checkbox"/>		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	3
<input checked="" type="checkbox"/>		Indicate the percentage of trees removed and revegetation to be conducted.	3
<input checked="" type="checkbox"/>		Upon completion of the construction project, all land must be raked and	3

✓		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	3
✓		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	3
✓		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	3
✓	<b>Floor Plans</b>	Scale 1/8" = 1'	
✓		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	7-8
✓	<b>Exterior Elevations</b>	Scale same as floor plans	
✓		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	9-10
✓	<b>Roof Plan</b>	Scale same as floor plans	
✓		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	9-10
✓	<b>Materials Sheet</b>	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	11-15








# Building Construction Application Packet\_4 - Copy

Final Audit Report

2023-03-30

Created:	2023-03-30
By:	Alexandra Ingold (outsilver0089@gmail.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAADSGaKkOiQHpzM2wqYSCam4Gd5indito6

## "Building Construction Application Packet\_4 - Copy" History

-  Document created by Alexandra Ingold (outsilver0089@gmail.com)  
2023-03-30 - 1:28:06 PM GMT- IP address: 73.95.41.223
-  Document emailed to Russ Blancken (russ@bigoftexas.com) for signature  
2023-03-30 - 1:28:26 PM GMT
-  Email viewed by Russ Blancken (russ@bigoftexas.com)  
2023-03-30 - 1:29:09 PM GMT- IP address: 66.249.80.194
-  Document e-signed by Russ Blancken (russ@bigoftexas.com)  
Signature Date: 2023-03-30 - 1:34:05 PM GMT - Time Source: server- IP address: 70.123.39.184
-  Agreement completed.  
2023-03-30 - 1:34:05 PM GMT

Names and email addresses are entered into the Acrobat Sign service by Acrobat Sign users and are unverified unless otherwise noted.

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk  
 FROM: Kyle Parag, Plan Reviewer - CAA  
 DATE: March 29th, 2023  
 RE: Planning/Zoning/Architectural Guidelines review –  
 0066 Conifer Dr

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0066 Conifer Dr

**Staff Recommendation:**

Staff recommendation is to approve the development review for this project. Special attention should be given to the retaining walls, roof slopes, and driveway grade.

**Zoning Regulation analysis –**

Proposal: A new single-family residence with an attached garage. The proposed 2 story, 4 bedroom, 5.0 bath home, includes about 4032 s.f. of living space and an attached 1198 s.f., 3 vehicle garage for a combined 5230 square feet. Designer did not provide size details of the property as required on the application.

Zoning district: R1

Lot Size: ~ 31,607 sq. ft.  
 80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 162’  
 100 ft. Required - Complies

Setbacks: Proposed principal residence complies with required setbacks based upon submitted docs.

Height: Complies with required height limitations. The height at the highest roof ridge is proposed at 25’

Garage Stds: The proposed garage is 1198, which is under the maximum of 1200 sqft permitted for this property.

Parking Stds:

Parking requirements will be met through the proposed garage parking

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
VI. B. Building Envelope	The proposed principal residence is properly sited within required setbacks. The submitted site plan depicts compliance.	Y
VI. C. Building Siting	Structure is proposed in context with natural drainage patterns, contours, and landforms. Property has significant sloping, and design works well with the slope.	Y
VI. D. Grading and Drainage	Final grading is proposed to avoid unnaturally broad, flat surfaces. <b>Retaining walls are used extensively.</b>	Y
VI. E. Driveways	Proposed gravel driveway. Snow storage area calculations are not provided. <b>The required snow storage is provided outside of the driveway area. Snow storage is intended to be calculated on improved driveway surfaces.</b> <b>Driveway exceeds the maximum 6% in the first 20 feet and 10% slopes elsewhere, and drawn at 10%.</b> <b>Allowable with specific Town approval</b>	

	<p><b>Driveway width is scaled at 14 ft, exceeding the maximum of 12”</b></p> <p>Culvert is not indicated.</p> <p>Driveway is not designed with cross slope, washout may be a problem.</p>	
VI. F. Parking / Garages	The proposed attached three vehicle garage and the additional exterior parking space complies with minimum standards.	Y
VI. G. Exterior Equipment and Satellite Dishes	No exterior equipment is indicated	Y
VI. H. Easements and Utilities	Easements are indicated	Y
VI. I. Recreation Facilities	No facilities are proposed	Y
VI. J. Signage	Address marker/signage is not indicated on the drawings.	Y
VI. K. Pathways /Walkways	No walking paths are proposed, pedestrian easement is located near creek.	Y
VI. L. Wetlands	No wetlands are identified on the plan.	N/A
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction.	Y
<b>ARCHITECTURAL GUIDELINES</b>		
VI. B. Building Forms	Proposed foundation walls merge with the existing grade. Base mass intent is not designed on rear or sides of home, as the main siding materials (composite) are indicated to near grade.	Y
VII. C. Setbacks	The proposed structures sit within the required setbacks per the submitted site plan.	Y
VII. D. Building Height	Building height is difficult to determine. Design heights are not calculated in accordance with Town Definitions.	Y

	Design indicates 21'-2". Actual is estimated at 25'. Maximum allowable is 35'	
VII. E. Roofs	<b>Double shed roof with a slope of 2:12 and 3:12 is proposed. Primary roofs should be 4:12 or steeper. Guidelines allow lower primary roofs to be considered.</b> Material is proposed as a charcoal metal roof. Snow shedding is not a concern.	N
VII. F. Exterior Wall Materials	Proposed exterior materials are composite wood look siding material in "cavern steel" dark grey and "Canyon Brown".	Y
VII. G. Exterior Trim	Trim colors are not clearly indicated. Windows will be black in color.	
VII. H. Windows and Doors	Windows, doors, and garage doors are proportional to the structure and appear in general compliance.	Y
VII. I. Balconies and Railings	Railings are open in appearance, and consist of horizontal wires.	Y
VII. J. Chimneys and Roof Vents	Fireplace will be vented with a minimally visible roof vent.	Y
VII. K. Exterior Colors	Proposed colors indicated on the color board are in general conformance. Colors are dark greys and blacks, with brown/wood colors for stone and posts.	Y
VII. L. Solid Waste Collection and Service Areas	Trash and storage areas are not indicated.	Y
<b>SITE ELEMENTS</b>		
VIII. A. Retaining Walls, Landscape Walls,	Large retaining walls are proposed along driveway and at rear of home near septic. Varying heights from 3' to 7' retaining walls are proposed. Retaining walls be a substantial visible aspect of the property. Materials are "natural stone" without further clarification or colors.	

Fences, and Screening	Retaining walls are located outside of the building envelope due to necessity of the terrain. <b>Plant materials for 2-3' are not indicated at the top and base of the walls are required in the guidelines.</b>	
VIII. B. Terraces, Patios, Walkways and Decks	Deck is in the building envelope and complements the site and structure.	Y
VIII. C. Driveway Paving Surfaces	Driveway and parking area material is gravel.	Y
VIII. D. Exterior Landscape Lighting	Proposed exterior lighting is in general conformance. Down lights are proposed.	Y
IX. B. Submittal Requirements	The construction management plan is not included in the submittal. Detailed landscape plan is not included.	

# Homeowner Responses to Initial Design Review Feedback


Russ Blancken  
 66 Confier Dr

*Please find an outline of the feedback received from Town of Blue River regarding the proposed residence at 66 Conifer Drive. We have provided our responses in red below. Please reference the supplemental updated floorplan and site plan for additional details.*

<p>VI. E.                  Driveways</p>	<p>Proposed gravel driveway. Snow storage area calculations are not provided,  <b>The snow storage calculations are provided outside of the driveway area. Snow storage shall be calculated on improved driveway surfaces. Turnaround will likely become a snow storage area.</b>  <b>Driveway exceeds the maximum 6% in the first 20 feet and 10% slopes elsewhere, and drawn at 10%. Allowable with specific Town approval</b>  <b>Driveway width is scaled at 14 ft, exceeding the maximum of 12”</b>                  Culvert is not indicated.                  Driveway is not designed with cross slope, washout may be a problem.</p> <p><b>HOMEOWNER RESPONSE:</b>                  See updated site plan for details.                  14’ driveway width is recommended by fire department</p>
<p>VI. F.                  Parking / Garages</p>	<p>The proposed attached three vehicle garage and the additional exterior parking space complies with minimum standards. <b>The garage is measured at 1247 Sqft, exceeding the maximum 1200 sqft permitted.</b></p> <p><b>HOMEOWNER RESPONSE:</b>                  See updated floorplan with smaller garage to meet 1200sqft maximum requirement.</p>

<p>VII. E. Roofs</p>	<p><b>Double shed roof with a slope of 2:12 and 3:12 is proposed. Primary roofs should be 4:12 or steeper. Guidelines allow lower primary roofs to be considered.</b>  Material is proposed as a charcoal metal roof.  Snow shedding is not a concern.</p> <p><b><u>HOMEOWNER RESPONSE:</u></b>  Previously submitted plan with same roof slope was approved at Town of Blue River for the same address.</p>
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<p>VII. G. Exterior Trim</p>	<p>Trim colors are not clearly indicated. Windows will be black in color.</p> <p><b><u>HOMEOWNER RESPONSE:</u></b>  There will be no exterior trim</p>
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<p>VII. J. Chimneys and Roof Vents</p>	<p><b>An indoor fireplace is proposed. Neither the chimney nor a roof vent is identified. Please indicate if this fireplace is vented out the side of the home, or through the roof. If through the roof, please provide enclosure material or indicate the painting of the vent extension to match the roof material.</b></p> <p><b><u>HOMEOWNER RESPONSE:</u></b>  Fireplace will be vented through roof and capped with a D Type Roof Vent in black as shown below</p> 
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<p>VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening</p>	<p>Large retaining walls are proposed along driveway and at rear of home near septic. <b>Materials and maximum height could not be located.</b></p> <p><b><u>HOMEOWNER RESPONSE:</u></b> See updated site plan for details.</p>
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<p>VIII. C. Driveway Paving Surfaces</p>	<p>Driveway and parking area material is gravel. <b>Colors or specific material applications are not provided.</b></p> <p><b><u>HOMEOWNER RESPONSE:</u></b> Driveway will be constructed of a road base material that is comprised of crushed gravel.</p>
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<p>IX. B. Submittal Requirements</p>	<p><b>The construction management plan is not included in the submittal.</b> <b>Detailed landscape plan is not included.</b></p> <p><b><u>HOMEOWNER RESPONSE:</u></b> See updated site plan for details on construction management plan. Reference email communication dated Wednesday, March 8<sup>th</sup> subject "Confirming on Landscape Plan". It was confirmed that details outlined on the site plan would suffice for the landscape plan.</p>
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# Blancken Residence Design Review Packet

66 Conifer Dr, Blue River, CO 80424

# Table of Contents

<b>ITEM</b>	<b>PAGE NUMBER</b>
<b>Site Plan (And Landscaping Plan)</b>	<b>3</b>
<b>Topographic Survey</b>	<b>4</b>
<b>Transformer &amp; Vault Location</b>	<b>5-6</b>
<b>Floor Plans</b>	<b>7-8</b>
<b>Exterior Elevations</b>	<b>9-10</b>
<b>Roof Plan</b>	<b>9-10</b>
<b>Materials Sheet</b>	<b>11-15</b>



# 66 CONIFER DRIVE

## TOWN OF BLUE RIVER, COLORADO PLOT AND EC PLAN

PREPARED FOR:  
ROCKY MOUNTAIN  
HOME BUILDERS

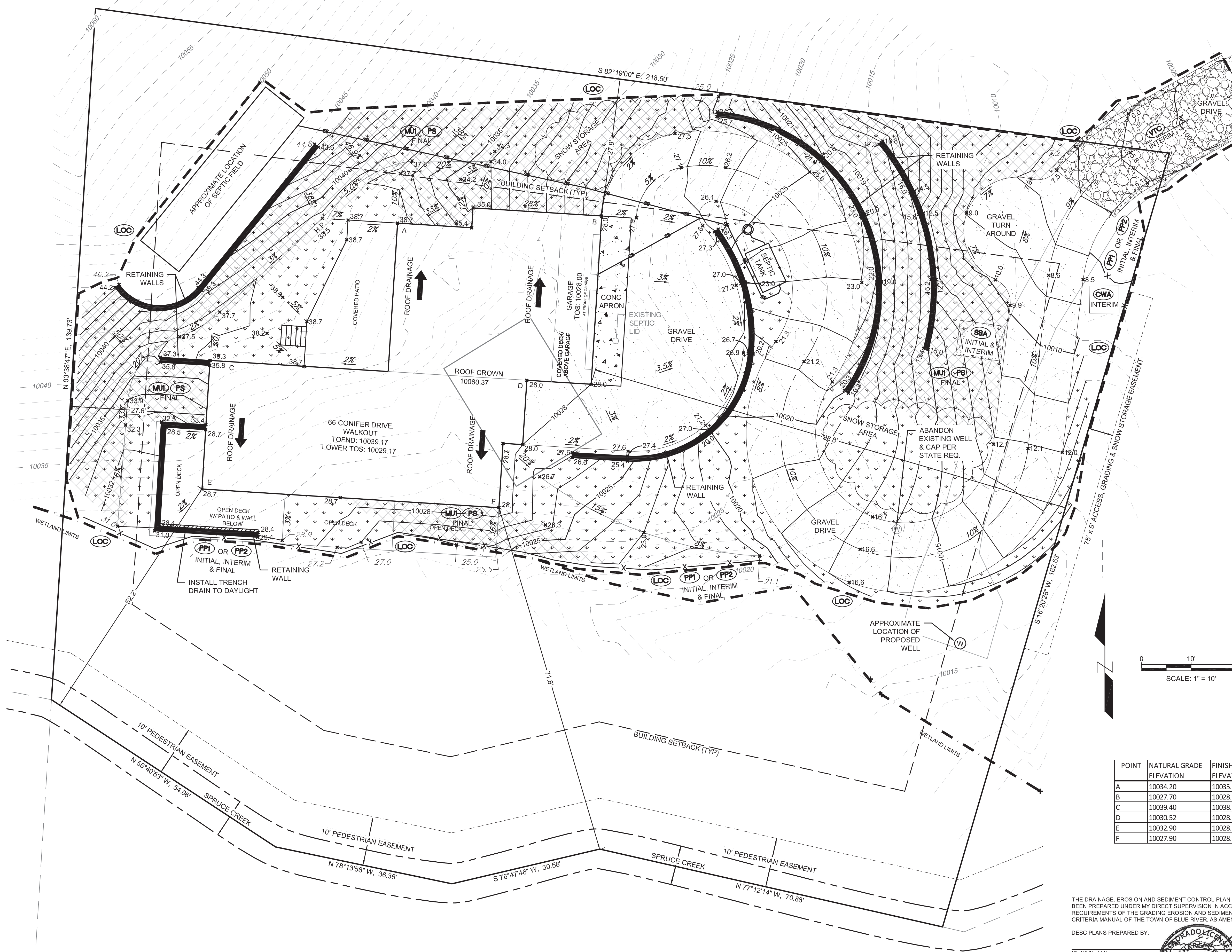
66 CONIFER DRIVE  
TOWN OF BLUE RIVER, COLORADO  
PLOT AND EC PLAN

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

REVISIONS:  
1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

PROJECT NUMBER: 23201  
ISSUED DATE: 3/10/2023  
DESIGNED BY: DLC  
REVIEWED BY: RCE

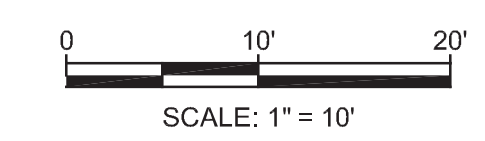
PLOT AND  
EC PLAN



LEGEND

	LOC	LIMITS OF CONSTRUCTION
	MUL	MULCH PROTECTION (FINAL)
	PS	PERMANENT SEEDING (FINAL)
	PPI	PERIMETER PROTECTION (INITIAL, INTERIM & FINAL)
	PP2	PERIMETER PROTECTION (INITIAL, INTERIM, & FINAL)
	CWA	CONCRETE WASHOUT AREA (INTERIM)
	SSA	STABILIZED STAGING AREA (INITIAL & INTERIM)
	VTC	VEHICLE TRACKING CONTROL (INTERIM)

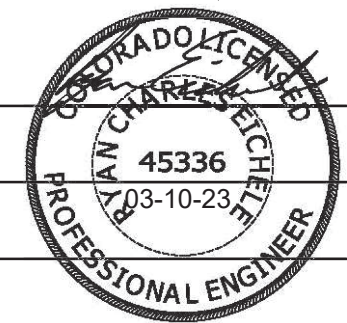
- NOTES:
- REFER TO THE TOWN OF BLUE RIVER GESC STANDARD NOTES AND DETAIL SHEETS FOR INSTALLATION AND MAINTENANCE OF GESC BMPs.
  - ANY AREA WHERE VEGETATION IS REMOVED BY VEHICLE TRAFFIC OR STAGING WILL BE SEEDED AND MULCHED.
  - ANY ADDITIONAL EROSION CONTROLS DEEMED NECESSARY BY THE TOWN OF BLUE RIVER EROSION CONTROL INSPECTOR WILL BE INSTALLED PER THE INSPECTOR'S DIRECTION.
  - ALL DISTURBED SOIL OUTSIDE OF BUILDING FOOTPRINT WILL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE TOWN OF BLUE RIVER CRITERIA UNLESS SURFACED WITH GRAVEL, CONCRETE OR OTHER IMPERVIOUS MATERIAL.
  - ANY CREATED SLOPES STEEPER THAN 4H:1V WILL BE PROTECTED BY MULCH PROTECTION AND SEEDING.
  - GRADED SLOPES SHALL NOT BE STEEPER THAN 2H:1V.
  - A MINIMUM SLOPE OF 10% AND A MAXIMUM SLOPE OF 33% IN THE FIRST 10 FEET AWAY FROM THE FOUNDATION WALLS AND WINDOW WELLS SHALL BE ESTABLISHED FOR PERVIOUS SURFACES. ALL OTHER DISTURBED AREAS SHALL HAVE A MINIMUM OF 2% SLOPE.
  - THIS PLOT PLAN IS FOR THE DESIGN OF GRADING AND DRAINAGE SURROUNDING THE HOUSE. IT IS NOT TO BE USED FOR FOUNDATION DIMENSIONS OR CONSTRUCTION OF THE HOUSE EXCEPT FOR ESTABLISHING THE TOP OF FOUNDATION GRADE.
  - SIDING TO REMAIN 6" ABOVE FINISHED GRADE.



POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT (ft)
A	10034.20	10035.00	Natural Grade	10050.27	10050.27-10034.20	16.07
B	10027.70	10028.00	Natural Grade	10050.27	10050.27-10027.70	22.57
C	10039.40	10038.29	Finished Grade	10060.37	10060.37-10038.29	22.08
D	10030.52	10028.00	Finished Grade	10060.37	10060.37-10028.00	32.37
E	10032.90	10028.67	Finished Grade	10050.27	10050.27-10028.67	21.60
F	10027.90	10028.67	Natural Grade	10050.27	10050.27-10027.90	22.37

THE DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING, EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF THE TOWN OF BLUE RIVER, AS AMENDED.

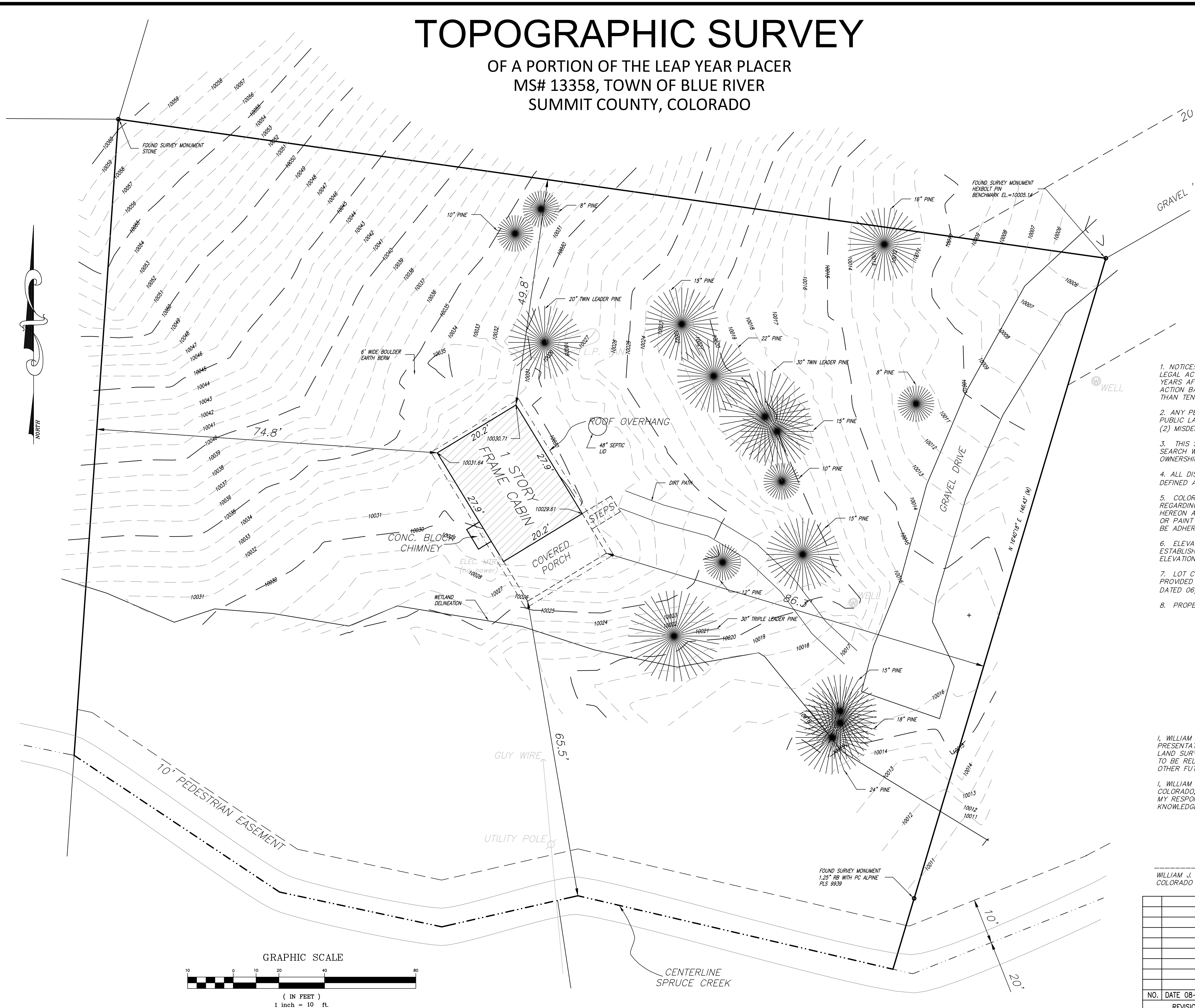
DESC PLANS PREPARED BY:  
2N CIVIL, LLC  
DATE  
PROFESSIONAL LICENSE NO.



DEVELOPMENT REVIEW ENGINEER  
DATE  
THIS DESC PLAN HAS BEEN REVIEWED BY THE TOWN OF BLUE RIVER FOR DRAINAGE, EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.  
ENGINEERING DIVISION ACCEPTANCE BLOCK

# TOPOGRAPHIC SURVEY

OF A PORTION OF THE LEAP YEAR PLACER  
MS# 13358, TOWN OF BLUE RIVER  
SUMMIT COUNTY, COLORADO



### GENERAL NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS SURVEY WAS PREPARED WITHOUT A TITLE COMMITMENT. A TITLE SEARCH WAS NOT PERFORMED BY COLORADO ILC TO DETERMINE OWNERSHIP, EASEMENTS OR OTHER MATTERS OF PUBLIC RECORD.
4. ALL DISTANCES ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET, DEFINED AS EXACTLY 1200/3937 METERS.
5. COLORADO ILC LAND SURVEYING MAKES NO REPRESENTATION REGARDING UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON ACTUAL FIELD LOCATED EVIDENCE OF PIN FLAGS OR PAINT MARKINGS. STANDARD UTILITY NOTIFICATION PROTOCOL SHOULD BE ADHERED TO PRIOR TO CONSTRUCTION OR EXCAVATION.
6. ELEVATION DERIVED FROM GPS OPUS SOLUTION. SITE BENCHMARK ESTABLISHED AT NORTHEAST CORNER OF PROPERTY, FOUND HEXBOLT PIN. ELEVATION = 10005.14 NAVD 88.
7. LOT CONFIGURATION BASED UPON IMPROVEMENT SURVEY PLAT PROVIDED BY CLIENT AS PERFORMED BY SUMMIT LAND SURVEYING, INC. DATED 06/22/2021.
8. PROPERTY ADDRESS: 66 CONIFER DRIVE, BRECKENRIDGE, COLORADO 80424

### SURVEYOR'S CERTIFICATE

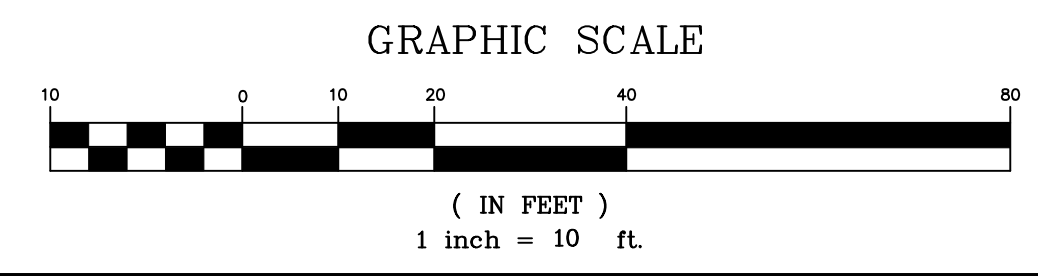
I, WILLIAM J. COREY, HEREBY CERTIFY THAT THIS TOPOGRAPHIC PRESENTATION WAS PREPARED FOR RUSS BLANCKEN, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.

I, WILLIAM J. COREY, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



WILLIAM J. COREY, P.L.S. 38594  
COLORADO PROFESSIONAL LAND SURVEYOR

PREPARED FOR:		RUSS BLANCKEN	
NO. DATE 08-09-2021		JOB NUMBER	
REVISION		21-7-733	
3000 LAWRENCE ST, STE#111 DENVER, CO 80205 O: 303.668.7540 F: 928.962.3123		DRAWN BY: S. CHAPPELL	





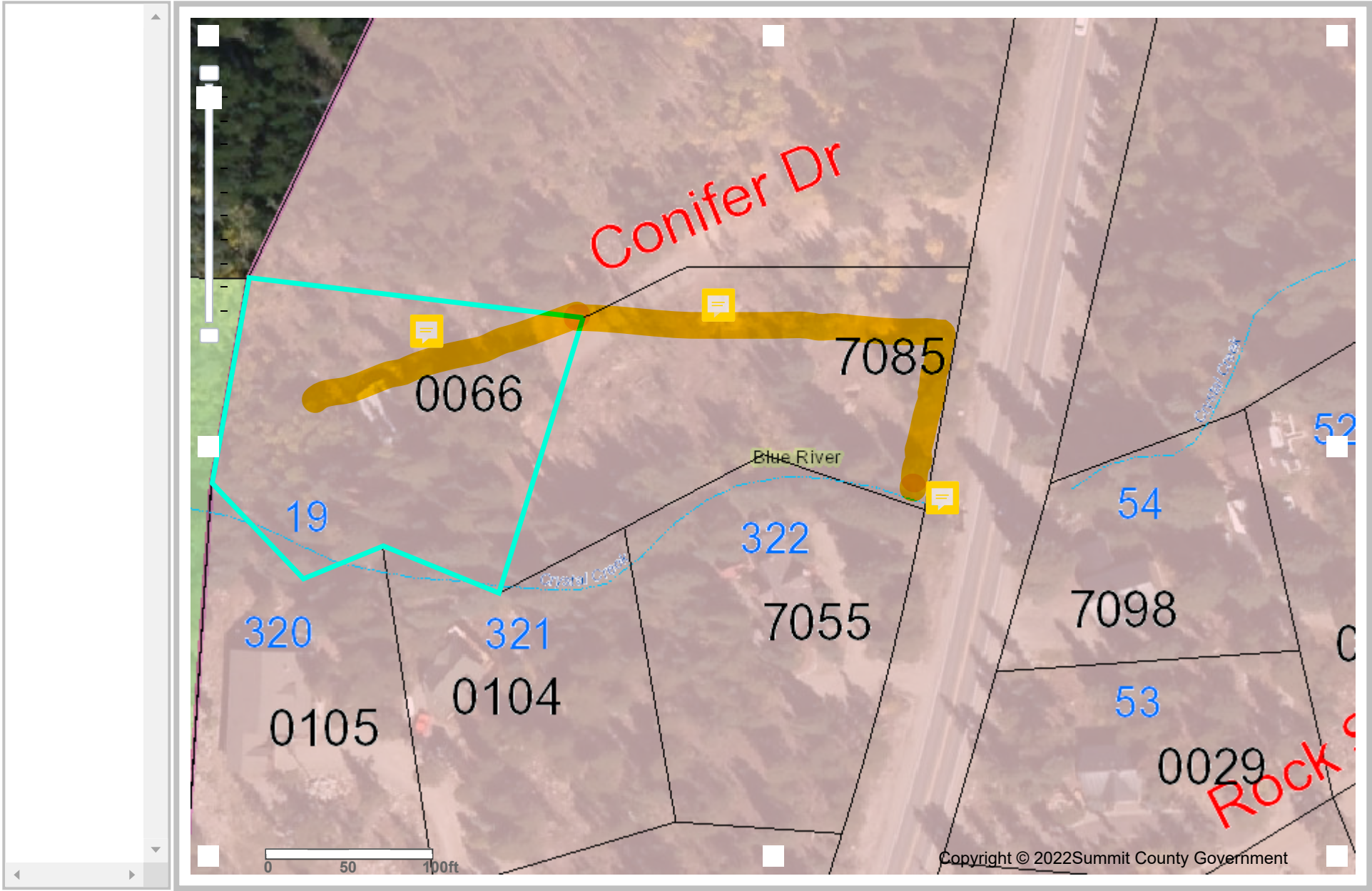
Summit County GIS -SELECT LABEL-



Clear Labels

Print this page

Section III, Item C.



Section III, Item C.

66 CONIFER DR - BLUE RIVER  
 NEAREST CROSS STREET - CONIFER DR AND HWY 9  
 ELECTRIC DISTRIBUTION UPGRADE - BETTERMENT

EXISTING OH SERVICE ON LOT CURRENTLY OUT OF STANDARD TO SERVE CUSTOMER, NEW UG DISTRIBUTION TO BE INSTALLED TO SERVE CUSTOMER FROM FRONT OF LOT.  
 -XFMR 049/921 TO BE SOURCE FOR NEW UG DISTRIBUTION, HANDDIG UP TO XFMR AND INSTALL NEW ELBOW  
 -TRENCH FOR 450' TOTAL FROM EXISTING XFMR TO PROPERTY CORNER OF 66 CONIFER DR, SET NEW 50KVA XFMR AT PROPERT CORNER  
 -150' OF TRENCHING TO OCCUR IN THE ROW OF HWY 9, CDOT PERMIT NEEDED WITH 2x DAYS OF TRAFFIC CONTROL  
 -INSTALL 460' #1 PRIMARY WIRE FROM EXISTING XFMR TO NEW XFMR  
 -BACKFILL AND COMPACT TO 95%MP

SINGLE LANE CLOSURE TRAFFIC CONTROL AND TOWN OF BLUE RIVER / CDOT PERMIT REQUIRED.

DESIGN CONTACT - PETER KUNZ - 970-409-9123 - Peter.H.Kunz@XcelEnergy.com  
 CUSTOMER CONTACT - RUSS BLANCKEN - 512-656-3839 - Russ@Bigoftexas.com

TRENCH FOR 450' TOTAL FROM EXISTING XFMR 049/921  
 -INSTALL 460' #1 PRIMARY WIRE  
 -BACKFILL AND COMPACT TO 95% MP

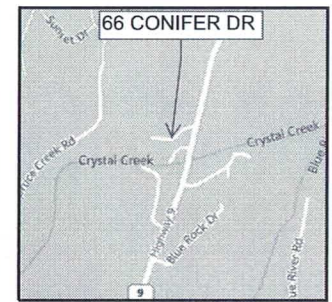
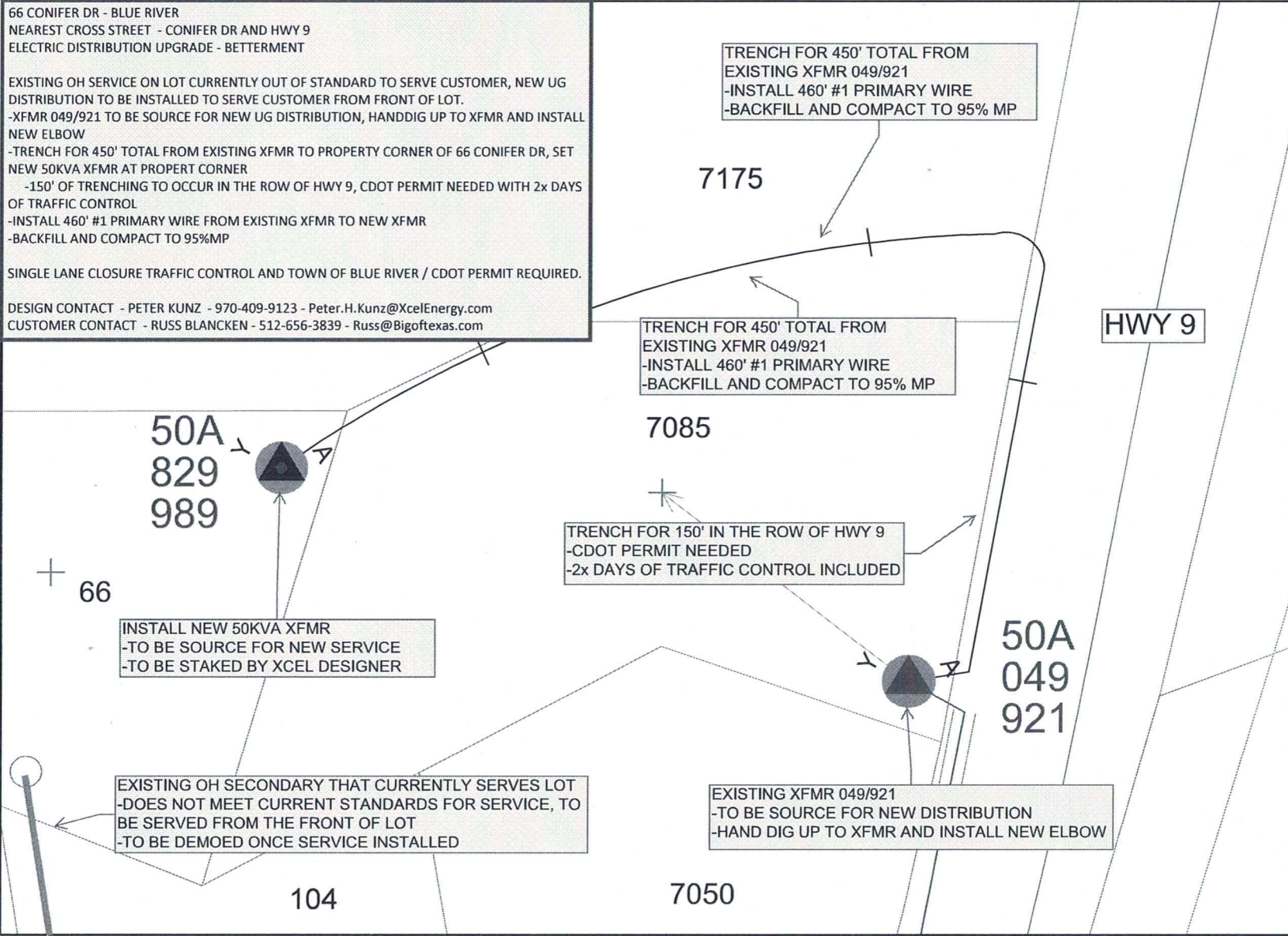
TRENCH FOR 450' TOTAL FROM EXISTING XFMR 049/921  
 -INSTALL 460' #1 PRIMARY WIRE  
 -BACKFILL AND COMPACT TO 95% MP

TRENCH FOR 150' IN THE ROW OF HWY 9  
 -CDOT PERMIT NEEDED  
 -2x DAYS OF TRAFFIC CONTROL INCLUDED

INSTALL NEW 50KVA XFMR  
 -TO BE SOURCE FOR NEW SERVICE  
 -TO BE STAKED BY XCEL DESIGNER

EXISTING OH SECONDARY THAT CURRENTLY SERVES LOT  
 -DOES NOT MEET CURRENT STANDARDS FOR SERVICE, TO BE SERVED FROM THE FRONT OF LOT  
 -TO BE DEMOED ONCE SERVICE INSTALLED

EXISTING XFMR 049/921  
 -TO BE SOURCE FOR NEW DISTRIBUTION  
 -HAND DIG UP TO XFMR AND INSTALL NEW ELBOW



SIGNATURE: *Russ Blancken*  
 DATE: 3-23-2022

Work Order Information

Service Request #	: 12745667
Design Number	: 1062691
Designer/Planner ID	: 236955
Designer/Planner Name	: Peter Kunz
Designer/Planner Ph #	: 970-409-9123
Manager Approval	:

Joint Utility

E: NO                      G: NO  
 T: NO                      C: NO

Design Location

Division : MOUNTAIN REGION  
 County : SUMMIT  
 City : BLUE RIVER  
 Address : 66 CONIFER DR  
 T: 7S    R: 77W    S: 18

Map # : 1845584 02                      Permit : CDOT / BLUE RIVER

Electric

Feeder: BREC2564M    Voltage: 14400  
 Phase: A    Bkup Dev ID:

Gas

System :                      Pressure :  
 Size :                                      Material :

Dead End :

Work Order # :  
 Date: 02/04/2022  
 Sketch: #1 Of 1 Sketch Data  
 Scale: 1" equals 33'



CONSTRUCTION USE ONLY

NO CHANGES (BUILT AS DESIGNED)  
 CHANGES MADE AS INDICATED  
 (ALL URD MUST HAVE ACTUAL MEASUREMENTS FROM THE FIELD SITE)

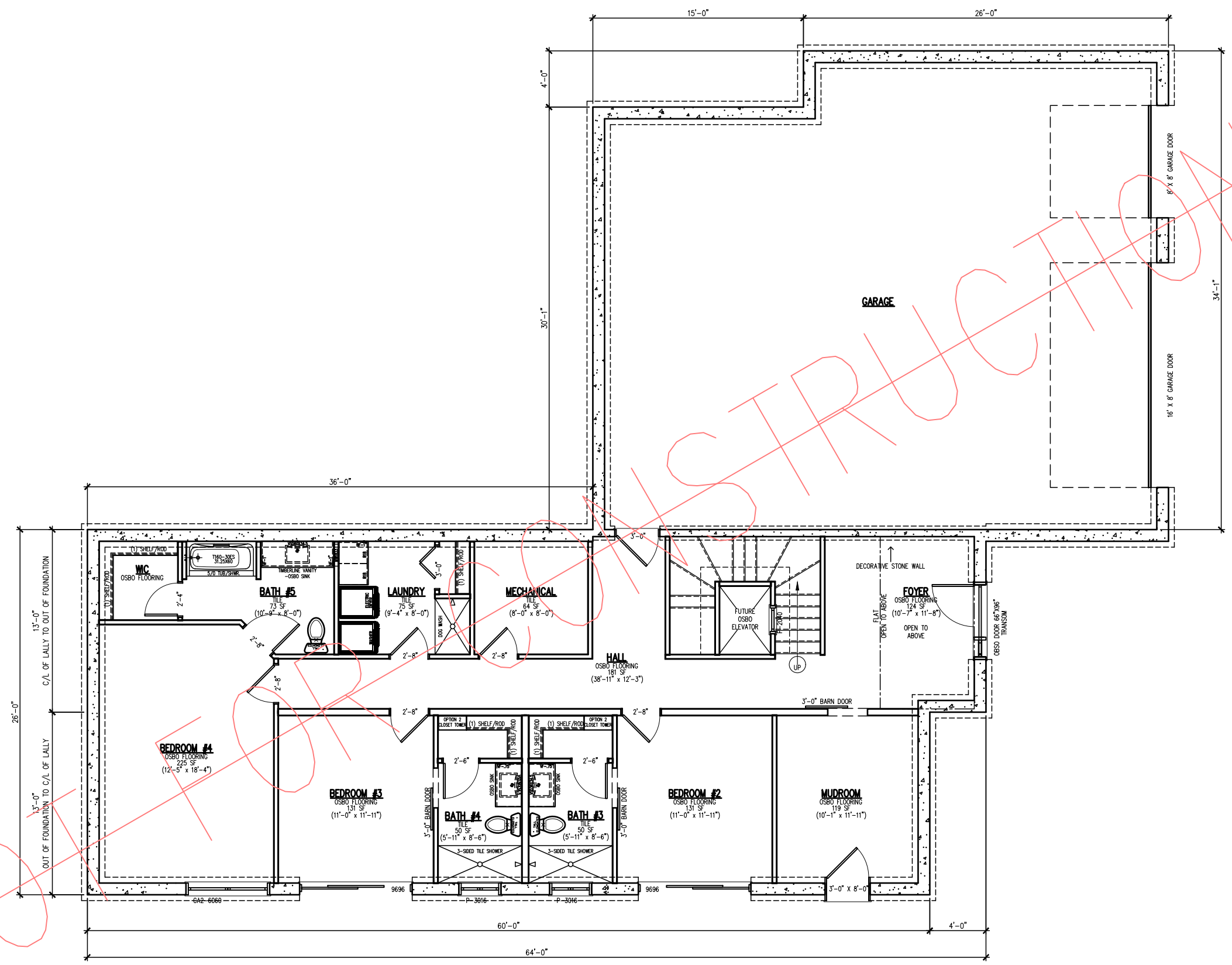
RF0 \_\_\_\_\_  
 FOREMAN \_\_\_\_\_ DATE \_\_\_\_\_  
 TEAM LEADER \_\_\_\_\_

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GENERAL NOTES:  
SEE SHEET A1.1

BASEMENT  
ALL FOUNDATION WORK TO BE  
DONE ON-SITE BY OTHERS



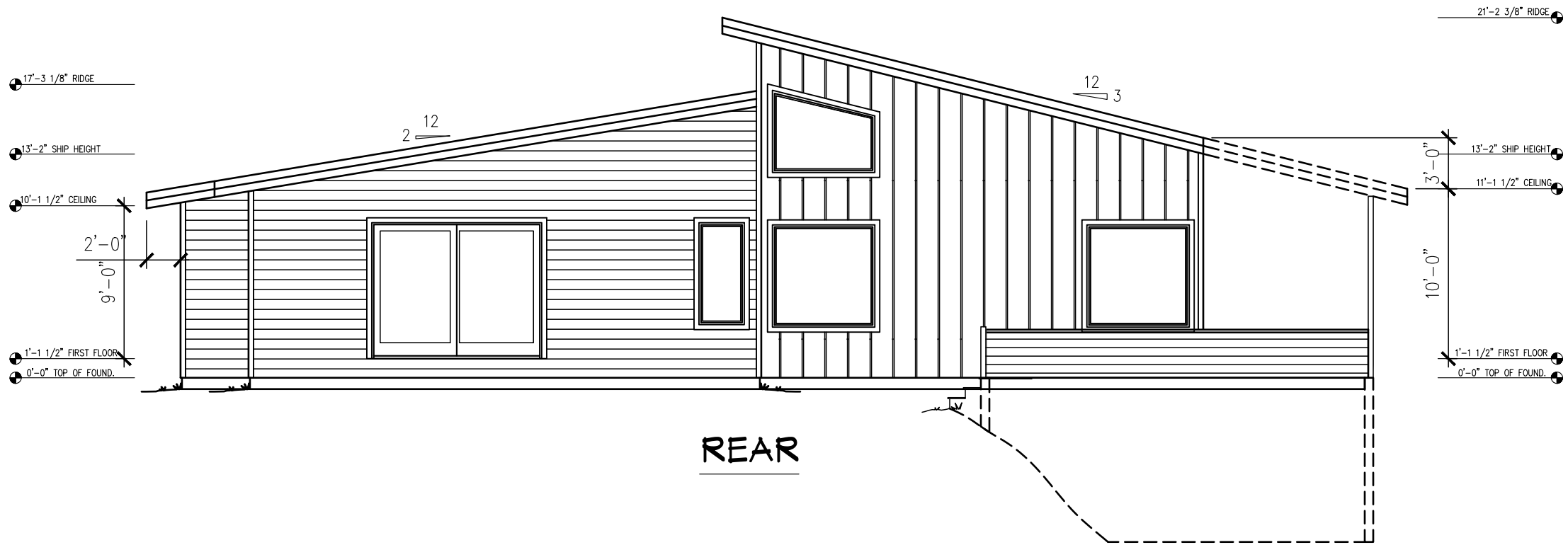
203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

BASEMENT PLAN  
(NOT FOR CONSTRUCTION)

NS4537	DEALER: ROCKY MOUNTAIN HOMES		PAGE:
DRAWN BY: MW	CUSTOMER: BLANCKEN		A3. 41
DATE: 11/29/22	REV: B	BY: MW	DATE: 1/11/23
		SCALE: 1/8" = 1'-0"	



FRONT



REAR

GENERAL NOTES:  
SEE SHEET A1.1



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

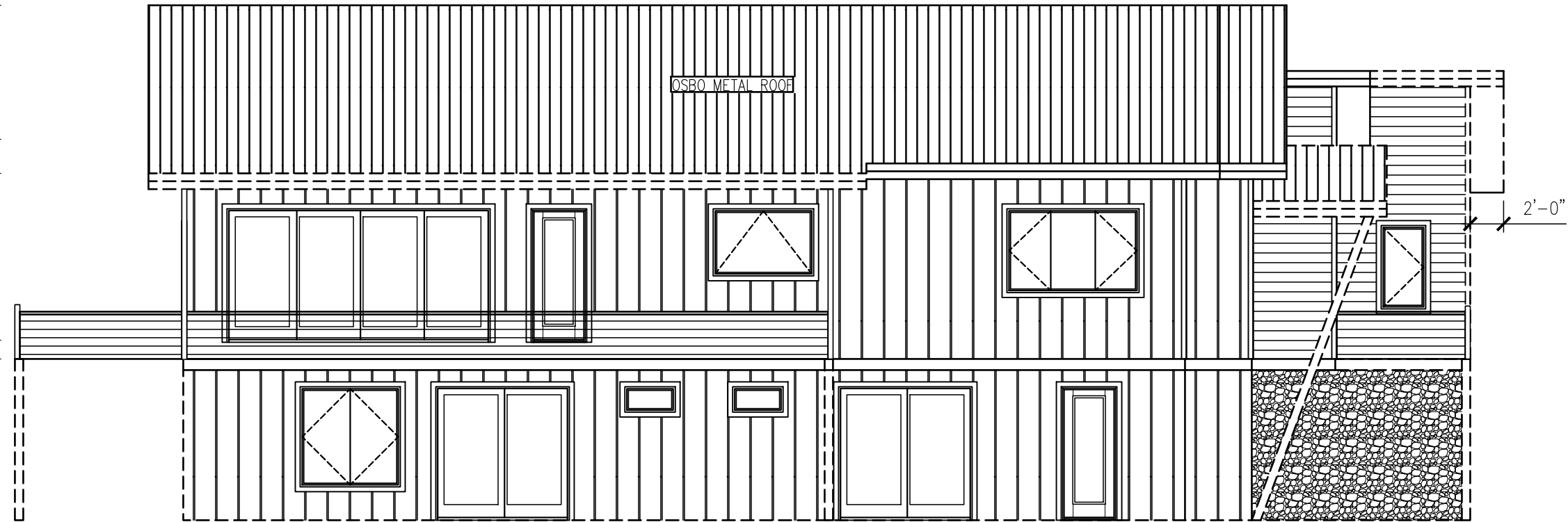
FRONT & REAR ELEVATIONS

NS4537	DEALER: ROCKY MOUNTAIN HOMES	
DRAWN BY: MW	CUSTOMER: BLANCKEN	
DATE: 9/15/22	REV: C BY: MW	DATE: 1/11/23
SCALE: 1/8"=1'-0"		

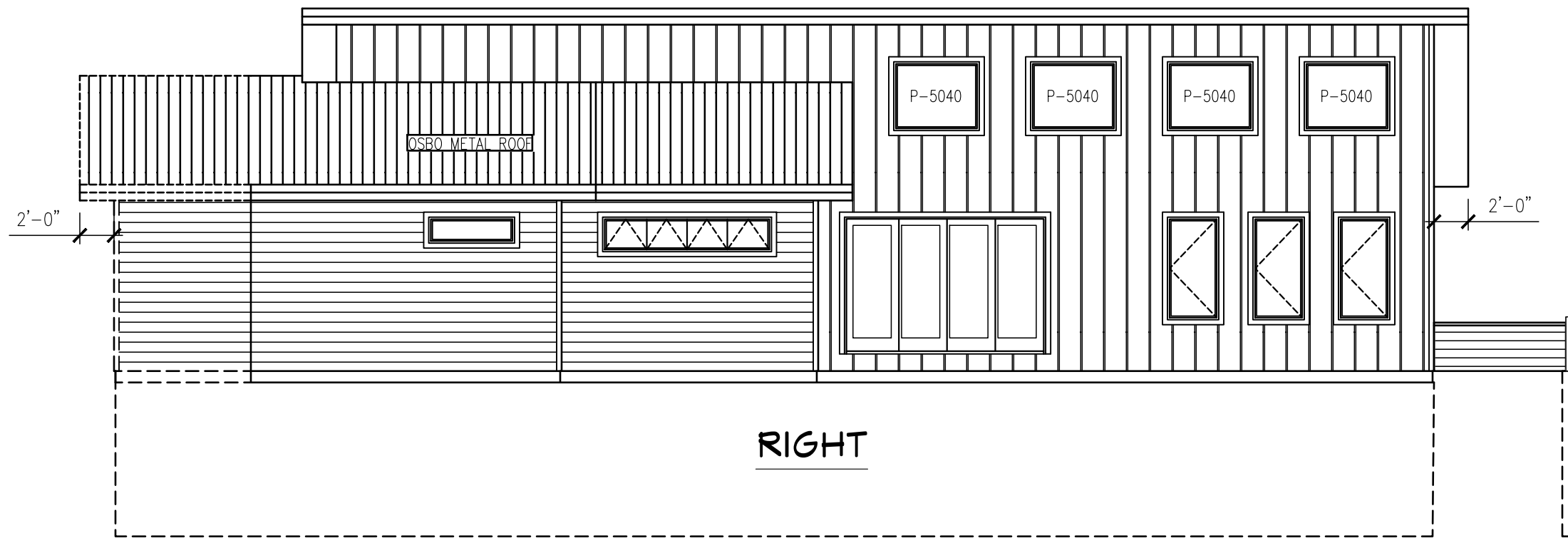
PAGE:

A2. 42

21'-2 3/8" RIDGE  
 13'-2" SHIP HEIGHT  
 11'-1 1/2" CEILING  
 10'-0"  
 1'-1 1/2" FIRST FLOOR  
 0'-0" TOP OF FOUND.



LEFT



RIGHT

GENERAL NOTES:  
 SEE SHEET A1.1



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LEFT & RIGHT ELEVATIONS

NS4537	DEALER: ROCKY MOUNTAIN HOMES		PAGE: A2.
DRAWN BY: MW	CUSTOMER: BLANCKEN		
DATE: 9/15/22	REV: C	BY: MW	DATE: 1/11/23
			SCALE: 1/8"=1'-0"

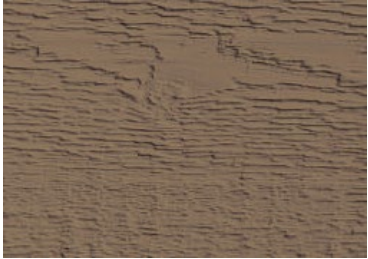
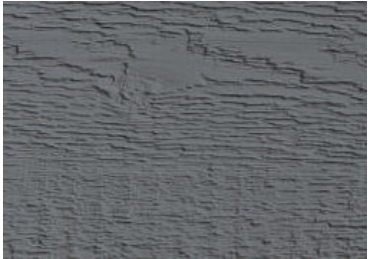
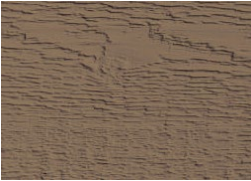
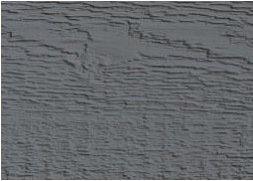


# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

Section III, Item C.

<p><b>Siding (vertical portion)</b> <i>LP Smart</i> <i>Canyon Brown</i></p>	
<p><b>Siding (horizontal portion)</b> <i>LP Smart</i> <i>Cavern Steel</i></p>	
<p><b>Soffit/Fascia</b> <i>LP Smart</i> Soffit- Canyon Brown Fascia- Cavern Steel</p>	  <p>(Soffit) (Fascia)</p>
<p><b>Metal Roof</b> <i>Charcoal</i> <i>(from approved colors)</i></p>	
<p><b>Windows</b> <i>ThermoTech</i> <i>Black</i></p>	

# Blancken Residence Materials Sheet

Section III, Item C.

66 Conifer Dr, Blue River CO 80424

## Exterior Stone

*Stacked River Rock*



## Garage Door

*Clopay*

*Modern Steel*

*Frosted Glass*

*Charcoal Body*



## Entry Door

*Feather River Doors*

*Modern Fiberglass*

*Door with Sidelite*

*Hand-Stained Cocoa*



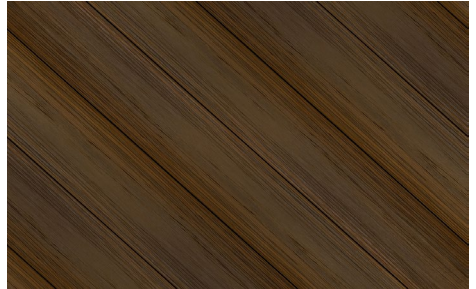
# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

Section III, Item C.

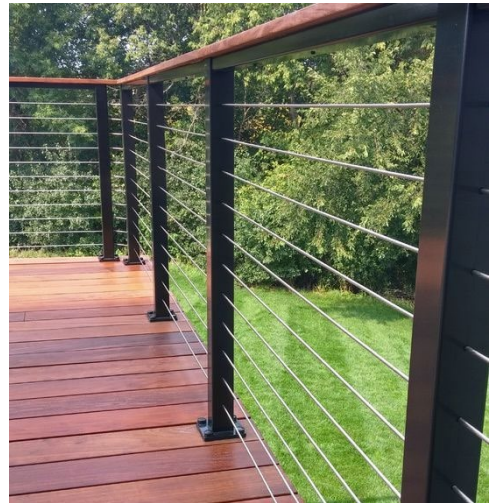
## Decking

*Fortress Building Products  
Composite Decking  
Oasis palm*



## Deck Posts & Railing

*Cable Railing  
Black Metal Posts*



## Covered Entry & Deck Posts

*Wood  
Black*



# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

Section III, ItemC.

## Exterior Lighting

*SeaGull*

*Sconce*

*Black*

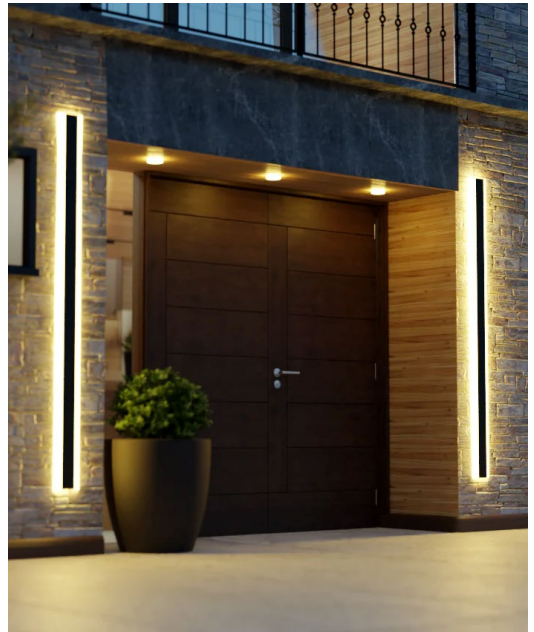


## Exterior Lighting- Entry

*CenaLighting*

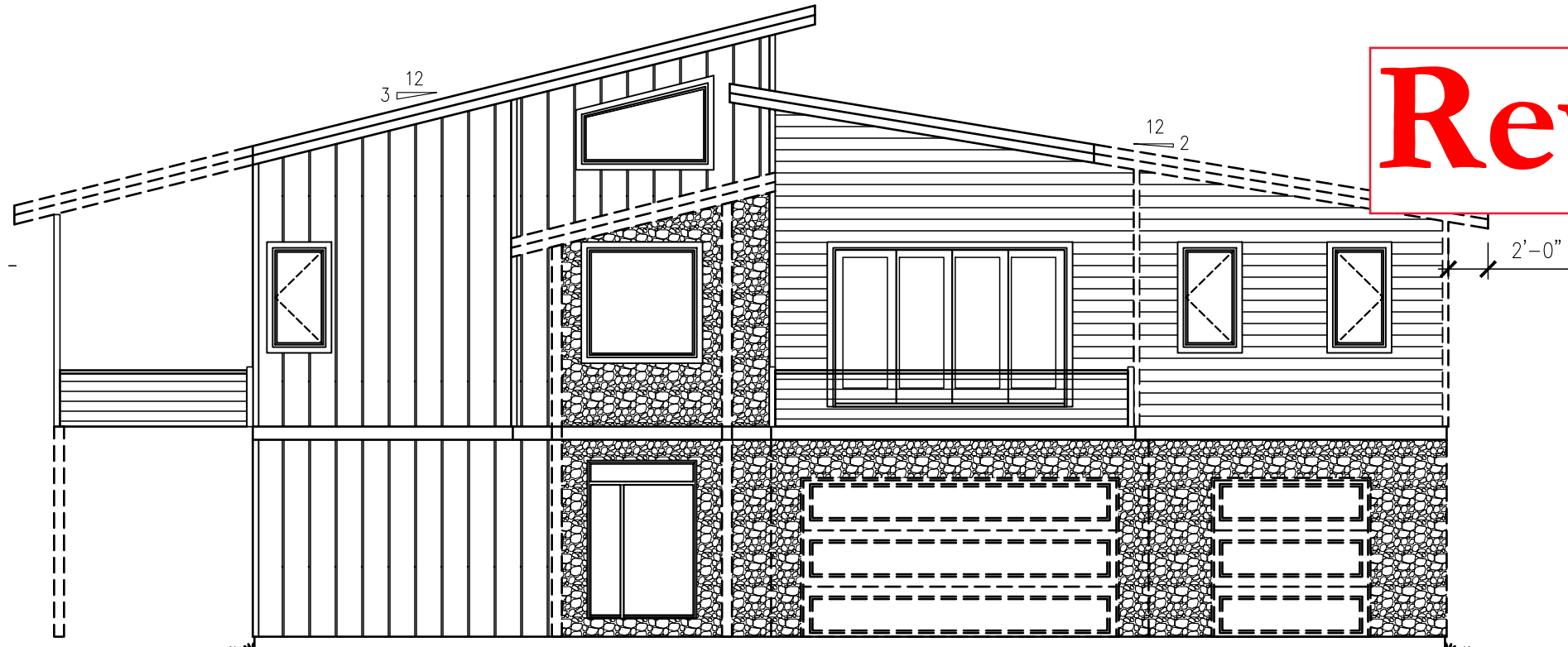
*Modern Outdoor Wall Sconce*

*Black*

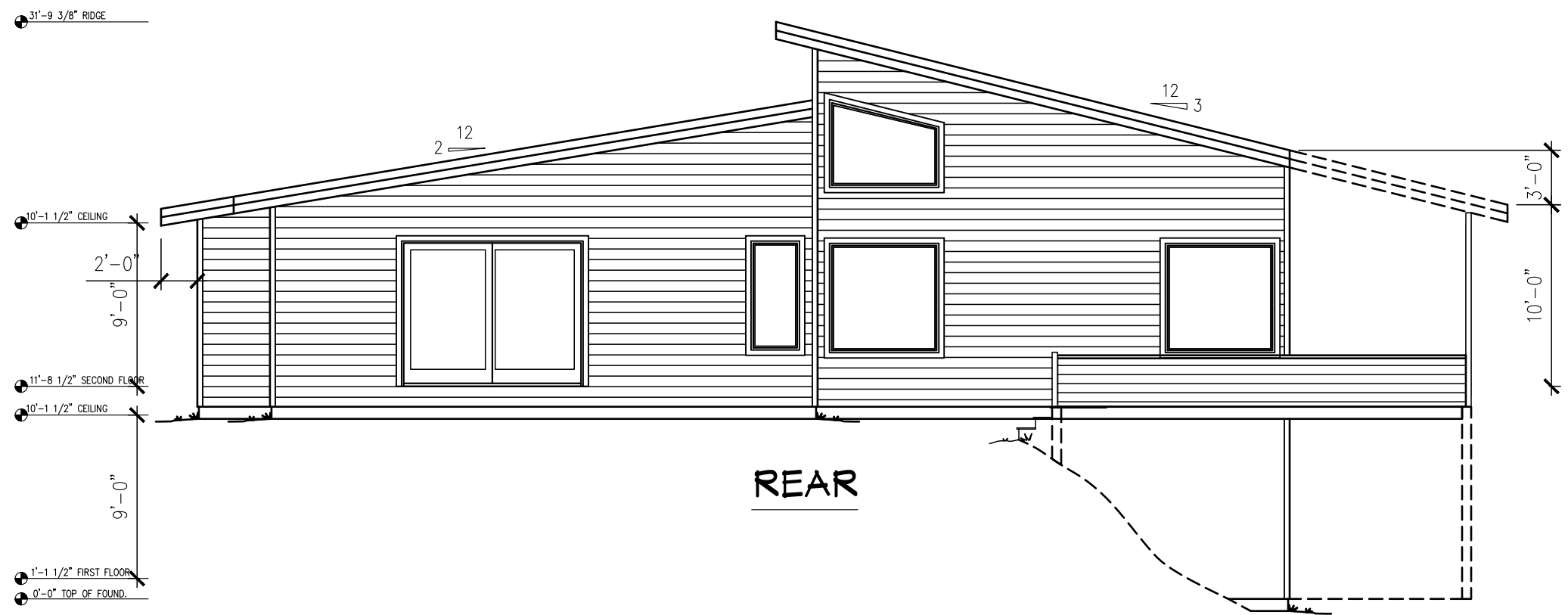




**Revised**



FRONT



REAR

GENERAL NOTES:  
SEE SHEET A1.1

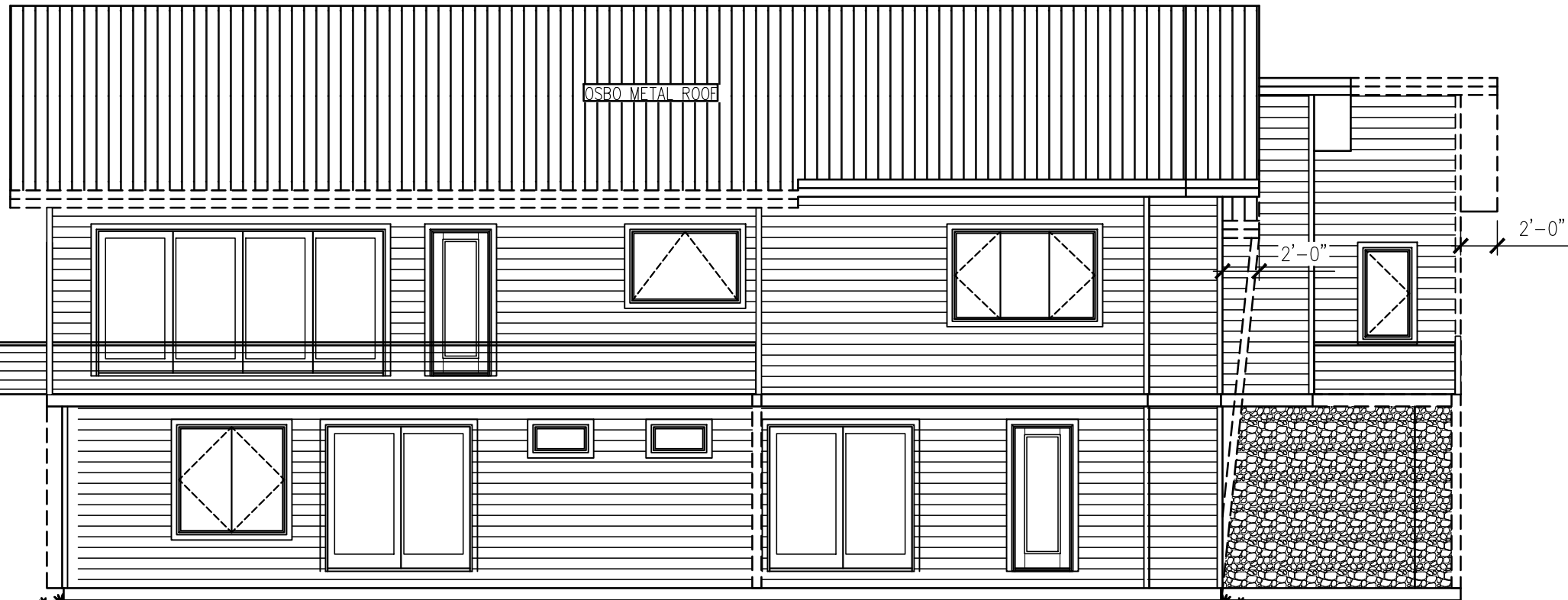


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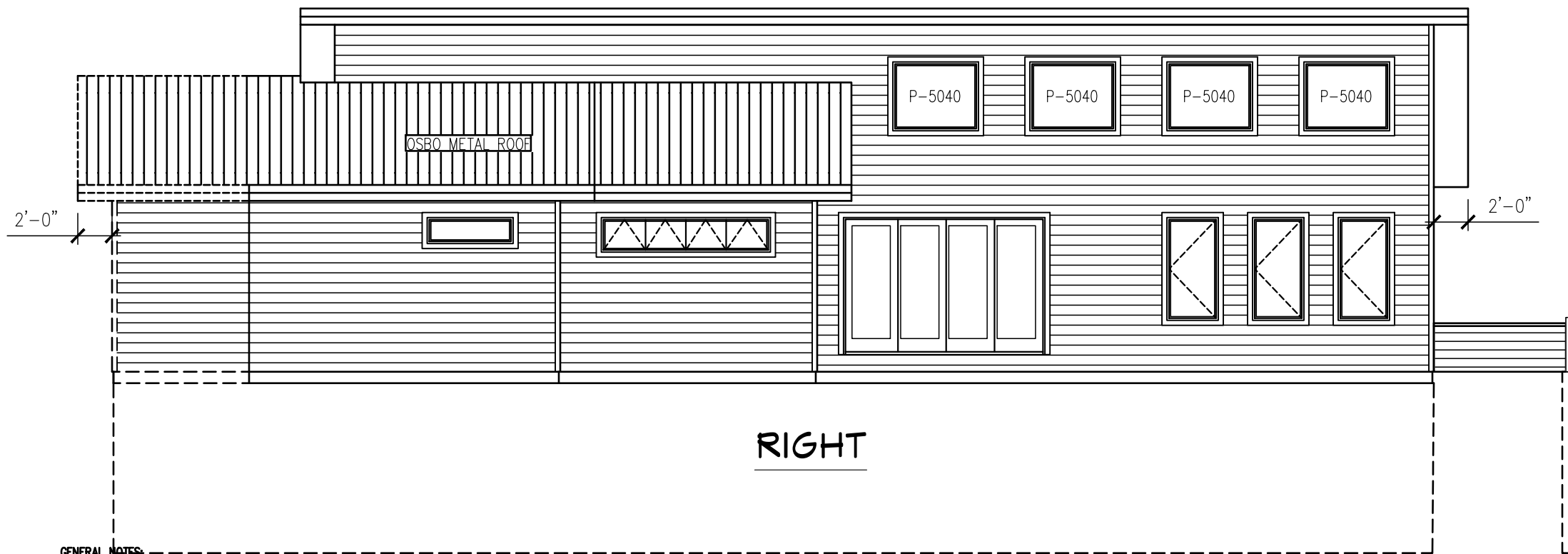
FRONT & REAR ELEVATIONS

NS4537	DEALER: ROCKY MOUNTAIN HOMES	
DRAWN BY: MW	CUSTOMER: BLANCKEN	
DATE: 9/15/22	REV: F BY: MW	DATE: 3/29/23
SCALE: 1/8"=1'-0"		

31'-9 3/8" RIDGE  
 10'-1 1/2" CEILING  
 9'-0"  
 11'-8 1/2" SECOND FLOOR  
 10'-1 1/2" CEILING  
 9'-0"  
 1'-1 1/2" FIRST FLOOR  
 0'-0" TOP OF FOUND.



LEFT



RIGHT

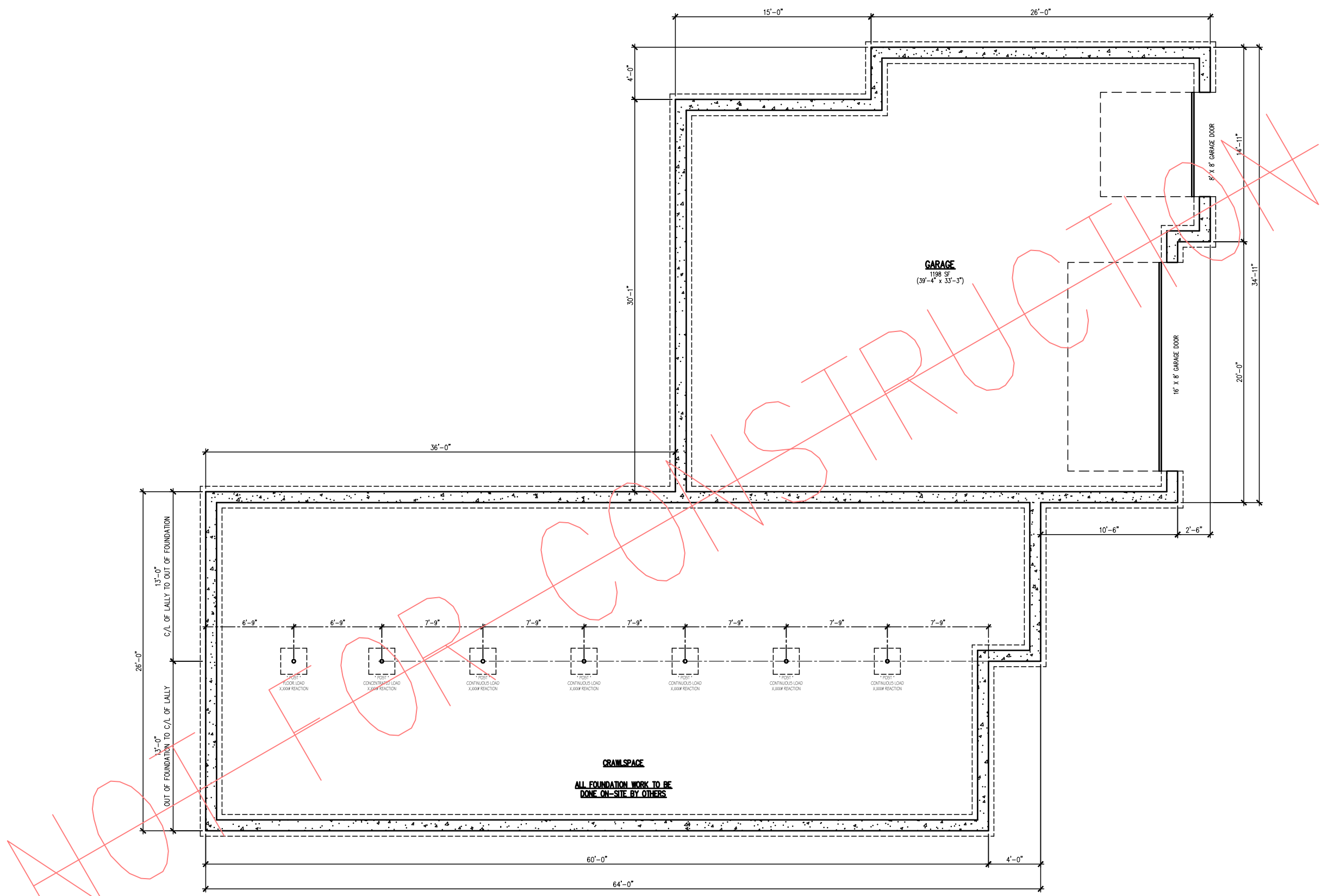
GENERAL NOTES:  
 SEE SHEET A1.1



203 Industrial Drive  
 Redwood Falls, MN  
 Ph: (507) 644-6600  
 Fx: (507) 644-6601

LEFT & RIGHT ELEVATIONS

NS4537	DEALER: ROCKY MOUNTAIN HOMES		PAGE: A2. 50
DRAWN BY: MW	CUSTOMER: BLANCKEN		
DATE: 9/15/22	REV: F	BY: MW	DATE: 3/29/23
			SCALE: 1/8"=1'-0"



GENERAL NOTES:  
SEE SHEET A1.1



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

### FOUNDATION PLAN (NOT FOR CONSTRUCTION)

NS4537	DEALER: ROCKY MOUNTAIN HOMES		PAGE: A3. 51
DRAWN BY: MW	CUSTOMER: BLANCKEN		
DATE: 11/29/22	REV: F	BY: MW	DATE: 3/29/23
			SCALE: 1/8" = 1'-0"



PREPARED FOR:  
ROCKY MOUNTAIN  
HOME BUILDERS

**66 CONIFER DRIVE**  
TOWN OF BLUE RIVER, COLORADO  
PLOT AND EC PLAN

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

REVISIONS:  
1. \_\_\_\_\_  
2. \_\_\_\_\_  
3. \_\_\_\_\_  
4. \_\_\_\_\_

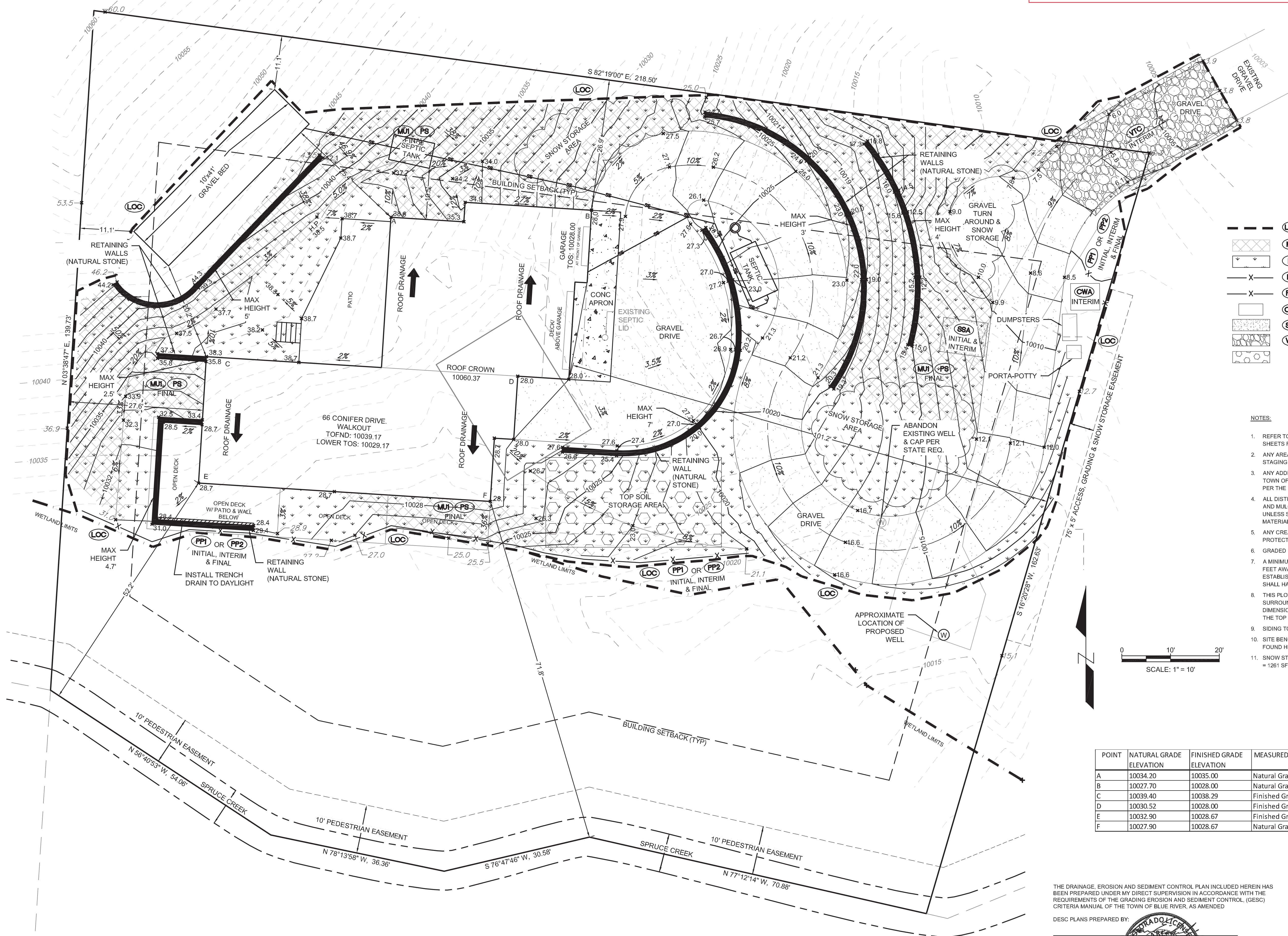
PROJECT NUMBER: 23201  
ISSUED DATE: 3/29/2023  
DESIGNED BY: DLC  
REVIEWED BY: RCE

**PLOT AND  
EC PLAN**

# 66 CONIFER DRIVE

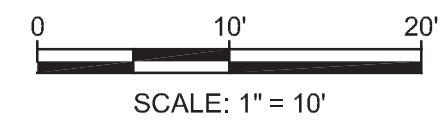
TOWN OF BLUE RIVER, COLORADO  
PLOT AND EC PLAN

**Revised**



- LEGEND**
- LOC** LIMITS OF CONSTRUCTION
  - MUL** MULCH PROTECTION (FINAL)
  - PS** PERMANENT SEEDING (FINAL)
  - PP1** PERIMETER PROTECTION (INITIAL, INTERIM & FINAL)
  - PP2** PERIMETER PROTECTION (INITIAL, INTERIM, & FINAL)
  - CWA** CONCRETE WASHOUT AREA (INTERIM)
  - SSA** STABILIZED STAGING AREA (INITIAL & INTERIM)
  - VTC** VEHICLE TRACKING CONTROL (INTERIM)
  - TOP SOIL STORAGE AREA**

- NOTES:**
1. REFER TO THE TOWN OF BLUE RIVER GESC STANDARD NOTES AND DETAIL SHEETS FOR INSTALLATION AND MAINTENANCE OF GESC BMPs.
  2. ANY AREA WHERE VEGETATION IS REMOVED BY VEHICLE TRAFFIC OR STAGING WILL BE SEEDED AND MULCHED.
  3. ANY ADDITIONAL EROSION CONTROLS DEEMED NECESSARY BY THE TOWN OF BLUE RIVER EROSION CONTROL INSPECTOR WILL BE INSTALLED PER THE INSPECTOR'S DIRECTION.
  4. ALL DISTURBED SOIL OUTSIDE OF BUILDING FOOTPRINT WILL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE TOWN OF BLUE RIVER CRITERIA UNLESS SURFACED WITH GRAVEL, CONCRETE OR OTHER IMPERVIOUS MATERIAL.
  5. ANY CREATED SLOPES STEEPER THAN 4H:1V WILL BE PROTECTED BY MULCH PROTECTION AND SEEDING.
  6. GRADED SLOPES SHALL NOT BE STEEPER THAN 2H:1V.
  7. A MINIMUM SLOPE OF 10% AND A MAXIMUM SLOPE OF 33% IN THE FIRST 10 FEET AWAY FROM THE FOUNDATION WALLS AND WINDOW WELLS SHALL BE ESTABLISHED FOR PERVIOUS SURFACES. ALL OTHER DISTURBED AREAS SHALL HAVE A MINIMUM OF 2% SLOPE.
  8. THIS PLOT PLAN IS FOR THE DESIGN OF GRADING AND DRAINAGE SURROUNDING THE HOUSE. IT IS NOT TO BE USED FOR FOUNDATION DIMENSIONS OR CONSTRUCTION OF THE HOUSE EXCEPT FOR ESTABLISHING THE TOP OF FOUNDATION GRADE.
  9. SIDING TO REMAIN 6" ABOVE FINISHED GRADE.
  10. SITE BENCHMARK ESTABLISHED AT NORTHEAST CORNER OF PROPERTY. FOUND HEXBOLT PIN, ELEVATION 10005.14 NAVD 88.
  11. SNOW STORAGE CALCULATION: DRIVEWAY SF = 5044 SF, 25% OF THAT AREA = 1261 SF, MIN. PROVIDED STORAGE AREA = 1363 SF.



POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT (ft)
A	10034.20	10035.00	Natural Grade	10050.27	10050.27-10034.20	16.07
B	10027.70	10028.00	Natural Grade	10050.27	10050.27-10027.70	22.57
C	10039.40	10038.29	Finished Grade	10060.37	10060.37-10038.29	22.08
D	10030.52	10028.00	Finished Grade	10060.37	10060.37-10028.00	32.37
E	10032.90	10028.67	Finished Grade	10050.27	10050.27-10028.67	21.60
F	10027.90	10028.67	Natural Grade	10050.27	10050.27-10027.90	22.37

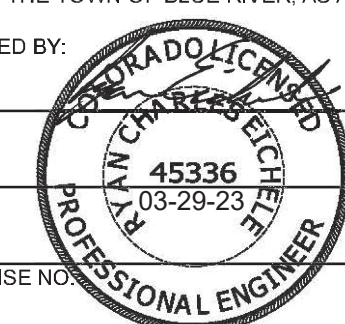
THE DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING, EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF THE TOWN OF BLUE RIVER, AS AMENDED.

DESC PLANS PREPARED BY:

2N CIVIL, LLC

DATE

PROFESSIONAL LICENSE NO.



DEVELOPMENT REVIEW ENGINEER

DATE

THIS DESC PLAN HAS BEEN REVIEWED BY THE TOWN OF BLUE RIVER FOR DRAINAGE, EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

*Previous Approval for Lake Conifer*



**Minutes  
TOWN OF BLUE RIVER  
PLANNING AND ZONING COMMISSION REGULAR MEETING  
June 7, 2022  
0110 Whispering Pines, Blue River, CO 80424**

**I. Call to Order**

- Chair Johnson called the regular meeting of the Planning and Zoning Commission to order at 6:00 p.m.

**II. Roll Call**

- Bevan Hardy
- Tim Johnson
- Doug O'Brien
- Troy Watts

Ben Stuckey was absent. Travis Beck was excused. Also present: Board Liaison Noah Hopkins; Town Manager Michelle Eddy.

**III. Approval of Minutes-May 3, 2022**

- Watts moved and Hardy seconded to approve the minutes of May 3, 2022. Motion passed unanimously.

**IV. Project Reviews**

- **0120 Blue Rock-Addition**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - O'Brien moved and Hardy seconded to approve the addition at 0120 Blue Rock. Motion passed unanimously.
- **0498 97 Circle-New Construction**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - O'Brien moved and Watts seconded to approve the new construction at 0498 97 Circle. Motion passed unanimously
- **0107 Rivershore-New Construction**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - Watts moved and O'Brien seconded to approve the new construction at 0107 Rivershore. Motion passed unanimously

- **0066 Conifer-New Construction**
  - Manager Eddy presented the project noting report from the Plan Reviewer.
  - Discussion that a letter from the Corps of Engineers will be necessary and discussion about allowing 14' driveway for fire department access. Discussion to allow for safety reasons. It was noted to change the roof color.
  - Hardy moved and O'Brien seconded to approve the new construction at 0066 Conifer. Motion passed unanimously
- **0038 Rock Springs-Garage**
  - Manager Eddy presented the project noting report from the Plan Reviewer. It was noted this was previously approved but approval expired before permit was pulled.
  - Watts moved and O'Brien seconded to approve the garage at 0038 Rock Springs. Motion passed unanimously

**V. Member Vacancy**

- Manager Eddy reported there is a vacancy on the Commission as the Board of Trustees voted to remove Jonathan Heckman for attendance issues.

**VI. Other**

- Watts requested to have the driveway 12' requirements reviewed and work with Red, White and Blue to obtain input and information on recommendations on the agenda for July.
- Discussion to also address buck rail fencing and requirements.

**VII. Next Meeting July 5, 2022**

- There being no further business before the Planning and Zoning Commission, Commissioner Hardy moved and Commissioner Watts seconded to adjourn the meeting at 6:49 p.m.

Respectfully Submitted:  
Michelle Eddy, MMC/CPM  
Town Clerk



### Building Permit Application

Email to: [info@townofblueriver.org](mailto:info@townofblueriver.org)  
Questions? Call (970) 547-0545 ext. 1

**Lot Number: TR7-77                      Subdivision: Sec 18 Qtr 3**  
**Blue River Physical Address: 66 Conifer Dr., Breckenridge CO 80424**

*Appvd 6/7/22*

**Homeowner Information:**

Name: Russell Blancken  
Mailing Address: 5541 McNeil Dr., Austin, TX 78729  
Phone: 512-656-3839  
Email: russ@bigoftexas.com

**Contractor Information**

Company Name: Littlehorn Engineering  
Contact Name: John Littlehorn  
Mailing Address: 351 Highway 285, Fairplay, CO 80440  
Phone: 719-836-7120  
Email: design@johnlittlehorn.com

Contractor Registration #: Not sure but says they are registered contractor with Blue River.  
*\*\*Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. \*\**

**Description of Project:** Site Plan for described location in process of building a single family home.

Distance to Property Line	Type of Heat: Radiant Floor	Construction Type: Frame
North: 49.8 ft	Roof: Metal	Building Height: 32.4 ft
South: 65.47 ft	Exterior Walls: stone, cem bd, cp sid	No. Stories: 2
East: 86.29 ft	Interior Walls: 5/8 gypsum, texture	Total # Bedrooms: 3 now 4 later
West: 15.39 ft	Basement Fin. Sq.Ft.: NA	Total # Bathrooms: 5 now 6 later
New Addition/Res. Sq.Ft.: 3440	Main Level Sq.Ft.: 2752	Septic or Sewer: Septic
Garage Sq.Ft., incl Mech Rm: 229	Lower Level Sq.Ft.: 2982	
Total Square footage: 5734	3rd Level Sq.Ft.: NA	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN \_\_\_\_ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF \_\_\_\_ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Russ Blancken Date: May 16, 2022

## Submittal Requirements

**\*\*ALL Submittals Must be Electronic\*\***

Emailed to: [info@townofblueriver.org](mailto:info@townofblueriver.org)

### Planning & Zoning Review Submittal Requirements

**\*\*Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/> X	Item, File	Description	Page #
X	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	
X	Site Plan	Property Boundaries	2
X	Site Plan	Building Envelope with setbacks	2
<del>X</del>	Site Plan	Proposed Buildings	2
X	Site Plan	Structures (existing & proposed)	2
X	Site Plan	Driveway & Grades	3
X	Site Plan	A wetlands delineation & Stream crossing structures where applicable.	2
X	Site Plan	Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	2, 3
In process with Xcell Energy	Transformer Vault Loc.	Transformer & vault location (if installed by owner or existing)	1, 2
X	Site Plan	Well location; septic if applicable	2
X	Site Plan	Snow storage areas and calculations	2
X	Site Plan	Major site improvements	2
X	Site Plan	Existing & proposed grading & drainage	3
	<b>Landscaping Plan</b>	<b>*May be included in the site plan**</b>	
Trees to be removed in areas of shown Roadway, Driveway and Home site.	Site Plan	Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	2-4
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	



X	Site Plan	reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	5
X	Site Plan	Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	5
X	Floor Elev Ext Roof Materials	Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	3, 4
X	<b>Floor Plans</b>	Scale 1/8" = 1'	
X	Floor Elev Ext Roof Materials	Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	5, 6
X	<b>Exterior Elevations</b>	Scale same as floor plans	
X	Floor Elev Ext Roof Materials	Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	3, 4, 7, 8
X	<b>Roof Plan</b>	Scale same as floor plans	
	Floor Elev Ext Roof Materials	Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	3, 4
X	<b>Materials Sheet</b> Floor Elev Ext Roof Materials Ext Colors	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	3, 4, 7 1

**After Approval and BEFORE Permit is Issued:**

**ELECTRONIC COPY Stamped set.**

- All of the above mentioned plus items below in one plan set.

Completed <input type="checkbox"/> X	Item	Page #
	<b>Soils report if applicable</b>	
	<b>Electrical, plumbing and mechanical plans.</b>	
	<b>Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.</b>	
	<b>Stamped structural plan</b>	
	<b>Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.</b>	
	<b>Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District</b>	
	<b>Colorado Department of Transportation Hwy Access Permit</b>	
	<b>Designation of General Contractor, except for bona fide homeowner contractor</b>	
	<b>For Manufactured Homes the following additional information is required</b>	
	<ul style="list-style-type: none"> <li>• <b>State of Colorado Division of Housing Approved Plans</b></li> <li>• <b>State of Colorado Division of Housing Registered Installer Certificate</b></li> </ul>	

**TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk**  
**FROM: Thomas Marshall, Plan Reviewer - CAA**  
**DATE: May 31, 2022**  
**RE: Planning/Zoning/Architectural Guidelines review –  
0066 Conifer Drive**

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0066 Conifer Drive.

**Zoning Regulation analysis –**

- Proposal:** A total enclosed 5734 s.f. This structure is a proposed 3440 s.f., 3 bedroom, 5 bath, 2 story single family home with an attached 1422 s.f. unconditioned 3 vehicle garage and workshop. There is an additional 872 s.f. of mechanical space and unfinished area that will support a future bedroom and bathroom. Exterior spaces include a 141 s.f. main level concrete patio, and an additional combined 1014 s.f. of elevated decks.
  
- Zoning district:** R-1
  
- Lot Size:** ~ 31,664 s.f., 0.727 acres  
80,000 sq. ft. Required– Existing Non-Conforming
  
- Lot Width:** >100'  
100 ft. Required - Complies
  
- Setbacks:** Proposed single family home with attached garage complies with the required 15' side yard and 25' front and rear yard setbacks.
  
- Height:** Complies with required height limitations. Proposed building height is 32.4'.
  
- Garage Stds:** The proposed 3 vehicle garage/workshop is ~1442 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size when broken down into ~750 s.f. of vehicle space and ~692 s.f. of workshop space.

**Parking Stds:** Parking requirements will be met through the proposed garage and exterior parking.

**Architectural Design Guideline analysis -**

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
<b>DEVELOPMENT STANDARD</b>		
VI. B. Building Envelope	The proposed home is properly sited within required setbacks. The submitted site plan also depicts several proposed boulder walls which require Town approval due to their location outside the building envelope. A proposed 5' wide easement will be sought to provide for grading, snow storage and a portion of the driveway along the Eastern boundary.	
VI. C. Building Siting	The proposed location and siting of the home takes into consideration the natural landforms and topography of the site.	Y
VI. D. Grading and Drainage	Cut and fill slopes are proposed to be kept to a minimum and final grading should avoid unnaturally broad, flat surfaces. The trees and vegetation which are to be removed to accommodate the new driveway are not adequately identified. Additional discussion should be given to the visual mass of the boulder retaining walls and seek clarification of proposed vegetative screening. Two large curves of boulder retaining walls have been proposed to support the	

	<b>serpentine driveway and mitigate the flow of water across neighboring properties to the East and North.</b>	
VI. E. Driveways	The existing gravel driveway is to be removed. A new 14' wide, 5780 s.f. serpentine gravel driveway is proposed and subject to Town approval due to the large area of disturbance. Adequate snow storage area has been calculated and shown on the site plan. <b>The maximum width allowed for driveways is 12'</b>	N
VI. F. Parking / Garages	The proposed 3 vehicle garage and exterior parking meet the requirement.	Y
VI. G. Exterior Equipment and Satellite Dishes	Exterior equipment and metering devices are identified.	Y
VI. H. Easements and Utilities	A pedestrian and existing road easement are identified. A proposed easement is noted for the Eastern property line. <b>Documentation was not included with this submittal.</b>	N
VI. I. Recreation Facilities	A gas fire pedestal is proposed on the rear concrete patio.	Y
VI. J. Signage	None identified. The required street address sign adjacent to the driveway shall be field verified for compliance	
VI. K. Pathways /Walkways	No circulation pathways are identified to connect with the rear patio steps. Please indicate the dimensions and material if proposed.	
VI. L. Wetlands	Wetlands are identified on the site plan. <b>Approval from the US ACofE and Town is required due to the proximity of of the foundation and cantilever over the wetlands. Documentation from the Corps was not included with this submittal.</b>	N
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction.	Y
<b>ARCHITECTURAL GUIDELINES</b>		

VII. B. Building Forms	Proposed foundation walls merge with the existing grade, vertical walls appear in general compliance. <b>Deck column bases are board formed concrete in a non-specific color.</b>	
VII. C. Setbacks	The proposed structure sits within the required setbacks per the submitted site plan.	Y
VII. D. Building Height	Building height complies with requirements. The new roof height is a proposed 32.4' and shall not exceed 35'.	Y
VII. E. Roofs	Primary and secondary roof slopes are proposed with a 2:12 slope which is inconsistent with the towns stated preference for slopes between 4:12 – 10:12. <b>Town approval is required. The plans identify the roof covering as silver metal. Metal roofs are allowed in muted, non-reflective earth tones or dark natural colors.</b>	N
VII. F. Exterior Wall Materials	Exterior materials are a combination of cultured stone in a non-specified light tan or off-white color, horizontal composite siding, and composite board and batten are proposed in a non-specific gray blue color. <b>A more specific color board should be provided</b>	
VII. G. Exterior Trim	Exposed painted steel beams are indicated but a color is not specified. A non-specified light-colored wood-stained soffit with wood and metal fascia are proposed. <b>A more specific color board and colored rendering is necessary.</b>	
VII. H. Windows and Doors	The garage door color and material is not specified. The front door is proposed to be black or dark brown. Windows are proposed aluminum clad. <b>A more specific color board and colored rendering is necessary.</b>	
VII. I. Balconies and Railings	A manufactured cable railing system with a wooden top rail is proposed. <b>Town approval is required for the long expanses of repetitive balconies and railings.</b>	
VII. J. Chimneys and Roof Vents	Chimneys extend above the roof line with a cultured stone veneer and capped with a metal cap and spark arrestor. <b>The metal cap color is not identified, but per</b>	

	Town regulations is required to match the approved roof color.	
VII. K. Exterior Colors	The color photograph of a similar but smaller home and the materials sheet requires more specificity. A more specific color board and colored rendering is necessary.	
VII. L. Solid Waste Collection and Service Areas	None identified but shall be field verified during construction.	
<b>SITE ELEMENTS</b>		
VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	New boulder retaining walls, require Town approval due to their proposed construction outside the setback. Additional discussion should be given to the visual mass of the boulder retaining walls as viewed from neighboring properties and seek a possible vegetative screening. Please notate the required screening of metering equipment from neighbor's view on the required landscape plans referenced in Item B below.	
VIII. B. Terraces, Patios, Walkways and Decks	New composition decks and stained concrete patios are proposed.	Y
VIII. C. Driveway Paving Surfaces	The proposed driveway is gravel.	Y
VIII. D. Exterior Landscape Lighting	An exterior lighting specification sheet was not provided.	N
IX. B. Submittal Requirements	Please provide the required landscape plans prepared by a licensed landscape architect.  Please provide a construction timeline and construction management plan with the building permit package.	





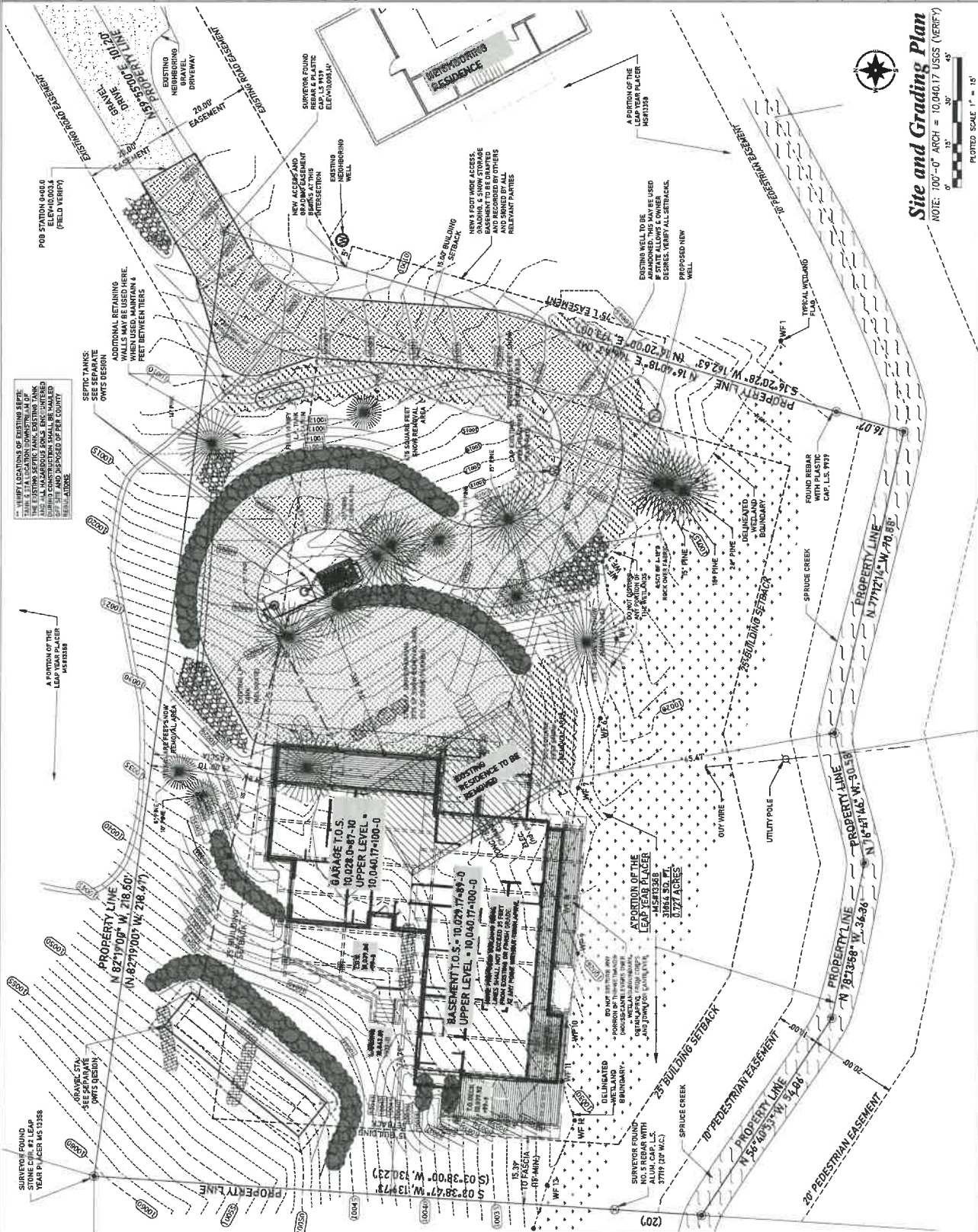


PROJECT NO. 2021-100294  
 CLIENT: RUSS BLANKEN

LITTLEHORN ENGINEERING & SURVEYING  
 PEACE OF MIND THROUGH HOLISTIC DESIGN  
 351 HIGHWAY 285, SUITE #201  
 FAIRBANK, COLORADO 80440  
 MAIN OFFICE 719.836.1130  
 SILVER CLIFF PHONE 719.783.3757

OVERALL SITE PLAN  
 LEAP YEAR PLACER, MS # 13358  
 TOWN OF BLUE RIVER, CO  
 66 CONIFER DRIVE

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Site and Grading Plan  
 NOTE: 100'-0" ARCH = 10,040.17 USGS (VERIFY)  
 PLOTTED SCALE 1" = 15'

LEGEND	
BOT	BOTTOM OF SEPTIC TANK
EDA	EDGE OF ASPHALT
EGG	EDGE OF GRAVEL
FG	FINISH GRADE (TOP OF GRAVEL)
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
POC	POINT OF CURVATURE
PT	POINT OF TANGENT
STA	SOIL TREATMENT AREA (LEACH FIELD)
TOT	TOP OF TANK
TOS	TOP OF SLAB
3	RETAINING WALL HEIGHT (ABOVE GRADE HEIGHT WITHOUT KEY)
SS	PROPOSED SEWER LINE
W	PROPOSED WATER LINE
FW	PROPOSED FENCE
FW	PROPOSED STRAW WATTLE
---	EXISTING CONTOUR
---	EXISTING CONTOUR LABEL
---	PROPOSED CONTOUR
---	PROPOSED CONTOUR LABEL
---	PROPERTY PIN
---	ELEVATION POINT (01 FEET +)
---	UTILITY
---	DRAINAGE ROUTE
---	146 TREE TYPE & SIZE (PINE/ASPEN, B)
---	PROPOSED SNOW STORAGE
---	WETLANDS OF DELINEATED
---	BLOCK RETAINING WALL
---	BOULDER RETAINING WALL
---	EXISTING GRAVEL ROADWAY
---	PROPOSED GRAVEL ROADWAY

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS DRAWING

IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 2% SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SHORING, BRACING, SLOPE STABILIZATION, AND DRAINAGE TO MAINTAIN THE SAFETY OF WORKERS AS WELL AS THE MATERIALS AND WORKMANSHIP ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND KEEPING THE SITE WATERED.

ALL DISTURBED AREAS TO BE REVEGETATED WITH NATIVE WEED-FREE GRASS. SEED, SLOPE OF 3% OR GREATER SHALL BE NETTED. CONTRACTOR & OWNER IS RESPONSIBLE FOR EROSION CONTROL, MONITORING, AND MAINTENANCE OF EROSION CONTROL MEASURES PRESENTED ARE OPERATIONAL AND FUNCTION PROPERLY. TYPICAL ALL AREAS.

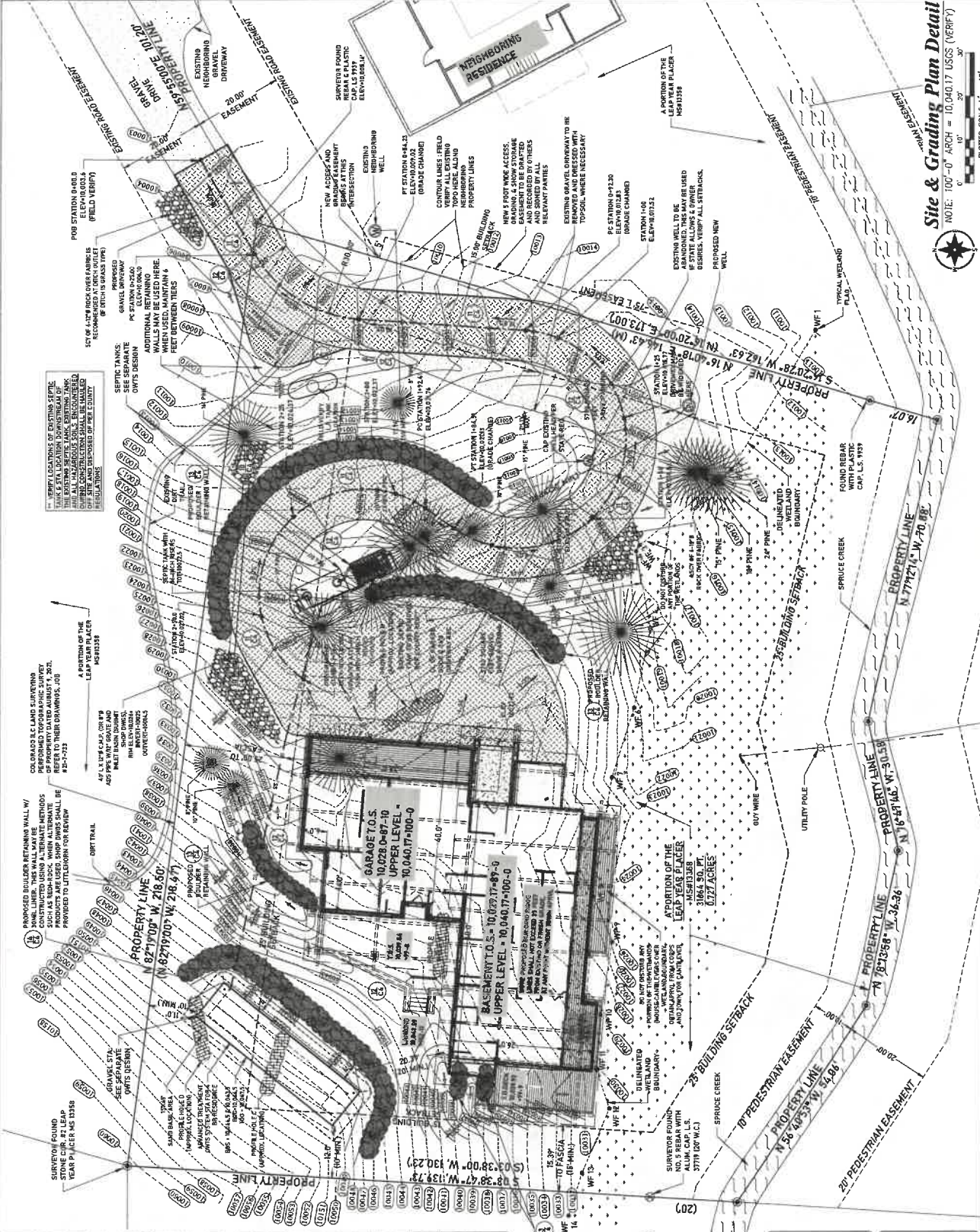
Approved 01/17/22

LITTLEHORN ENGINEERING & SURVEYING  
 "PEACE OF MIND THROUGH HOLISTIC DESIGN" 351 HIGHWAY 285, SUITE #201  
 FARMLEY, COLORADO 80440  
 MAIN OFFICE 719.856.7120  
 SLYKIE CLIFF PHONE 719.783.1757  
 LEAP YEAR PLACER, MS # 13358  
 TOWN OF BLUE RIVER, CO  
 66 CONIFER DRIVE  
 SITE & GRADING PLAN DETAIL

PROJECT NO. 2021-100294  
 CLIENT: BLANKEN  
 SURST

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Site & Grading Plan Detail  
 NOTE: 100'-0" ARCH = 10,040.17 USGS (VERFY)  
 PLOTTED SCALE: 1" = 10'



**LEGEND**

BOT	BOTTOM OF SEPTIC TANK
EGA	EDGE OF ASPHALT
EOB	EDGE OF GRAVEL
FG	FINISH GRADE (TOP OF GRAVEL)
PI	POINT OF INTERSECTION
PDB	POINT OF BEGINNING
POC	POINT OF CURVATURE
PT	POINT OF TANGENT
STA	SOIL TREATMENT AREA (LEACH FIELD)
TOR	TOP OF RISER (ON SEPTIC TANKS)
TOS	TOP OF SLAB
TOT	TOP OF TANK
3	3' WALL HEIGHT (ABOVE GRADE HEIGHT WITHOUT NEW)
SS	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED SILT FENCE
---	PROPOSED STRAW WATTLE
---	EXISTING CONTOUR
---	EXISTING CONTOUR LABEL
---	PROPOSED CONTOUR
---	PROPOSED CONTOUR LABEL
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---	DRAINAGE ROUTE
---	TREE TYPE & SIZE (PINE/ASPEN, Ø)
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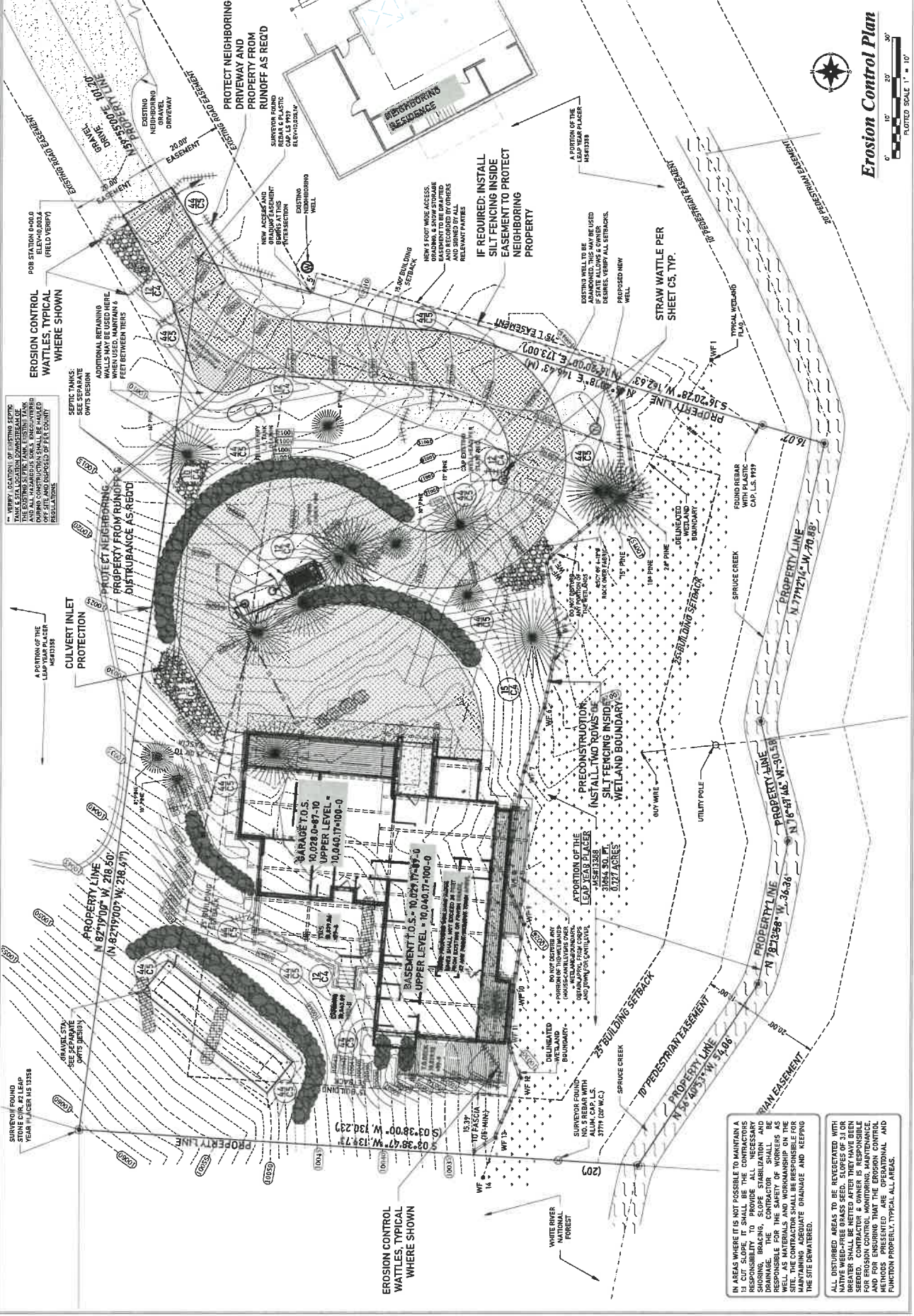
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Approved 6/7/22

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 351 HIGHWAY 285, SUITE 2401  
 FAIRPLAY, COLORADO 80440  
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PROJECT NO. 2021-100294  
 CLIENT: RUSS BLANCKEN

66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO  
 LEAP YEAR PLACER, MS # 13358



**Erosion Control Plan**  
 SHEET C5, TYP.

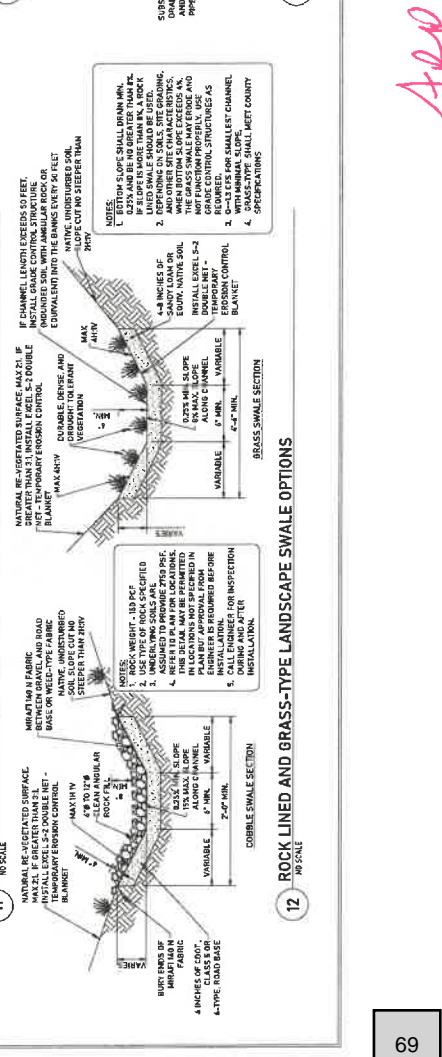
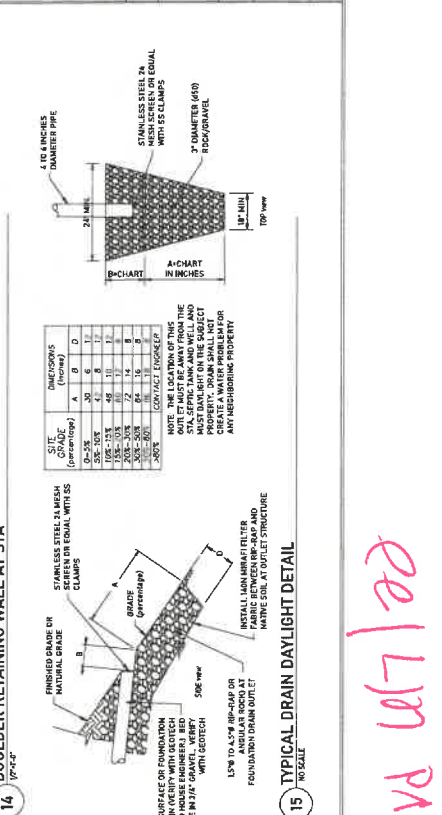
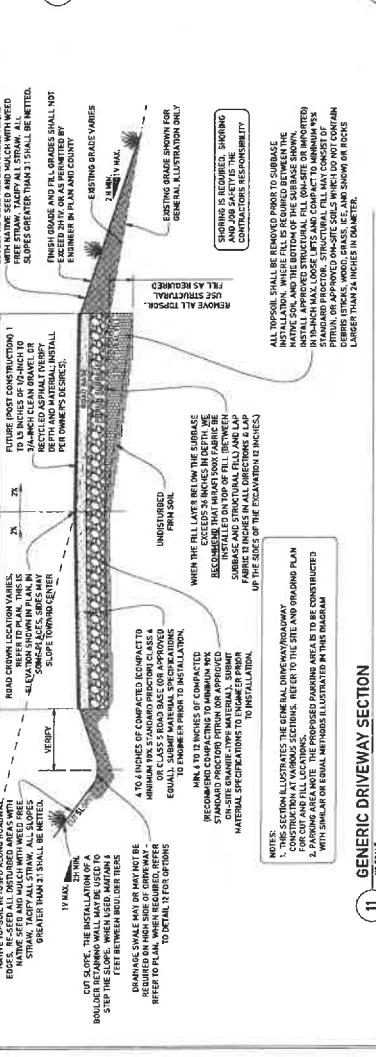
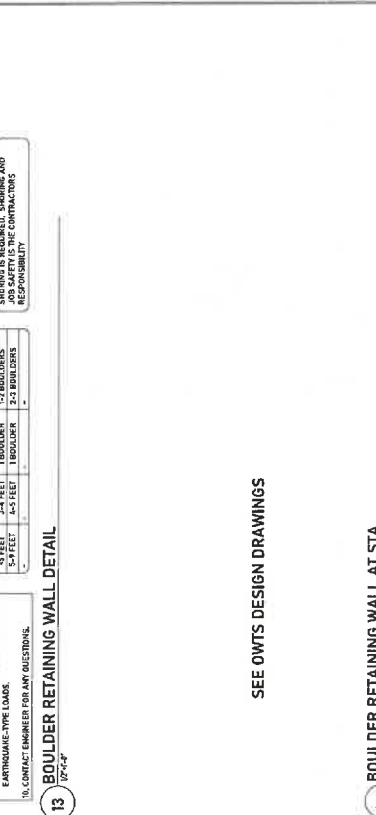
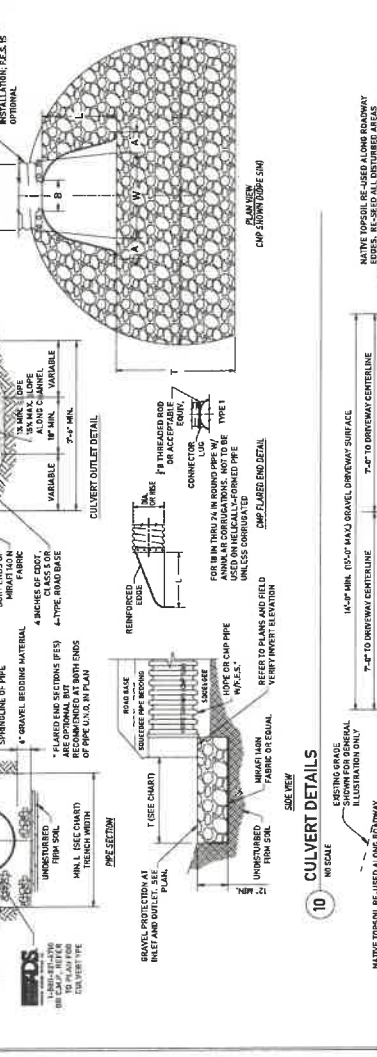
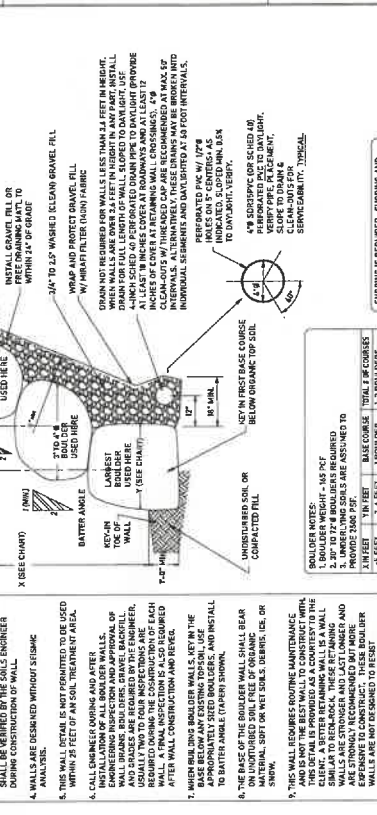
*Apply w7/20*

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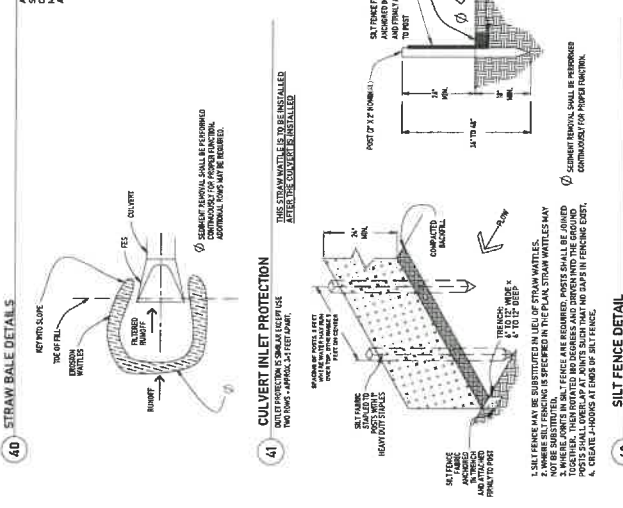
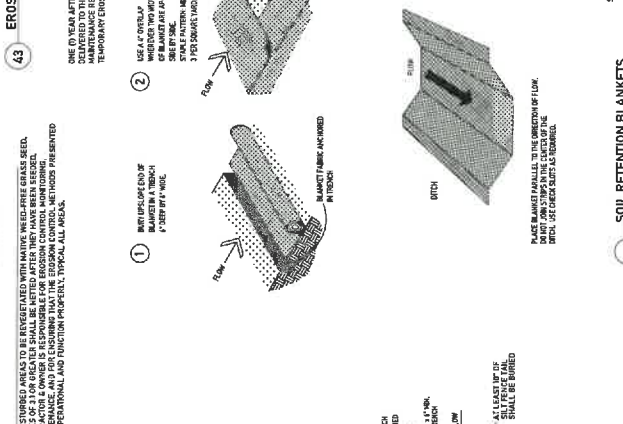
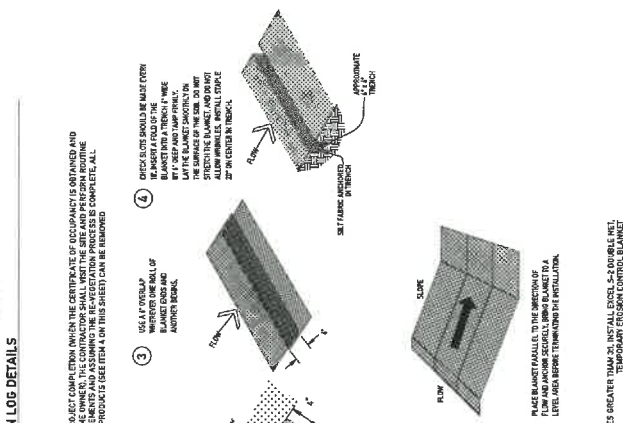
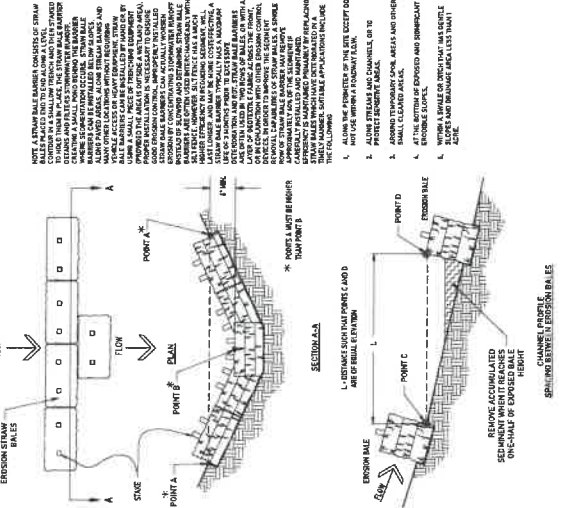
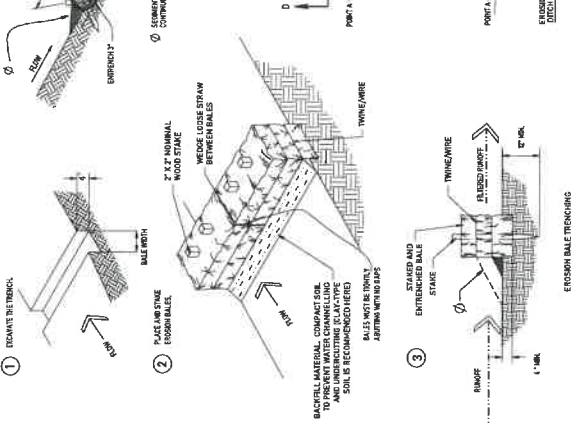
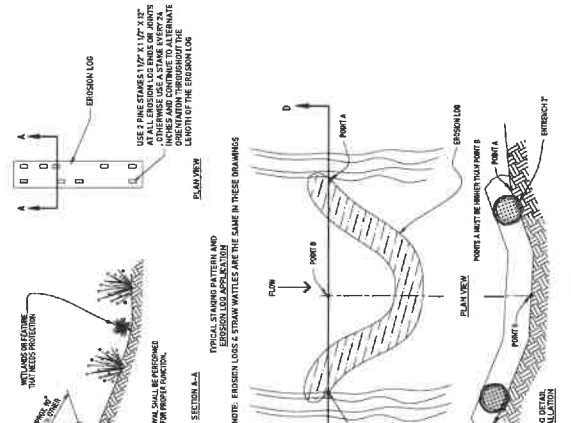
FACE OF MIND THROUGH HOLISTIC DESIGN™  
3311 HIGHWAY 585, SUITE #201  
FAIRFAX, COLORADO 80440  
MAIN OFFICE: 719.836.7120  
SLIVER CLIFF PHONE: 719.783.3757  
LEAP YEAR PLACER, MS # 13358  
SITE CONSTRUCTION DETAILS

1. THIS WALL IS NOT PERMITTED TO BE USED AS A RETAINING WALL FOR ANY TYPE OF WALL. ALL WALLS ARE DESIGNED WITHOUT SEISMIC WALLS.  
2. PLACE BOLLS SO THAT INTERLOCK BOTH VERTICALLY AND HORIZONTALLY. BACKFILL SOIL SHALL BE VERIFIED BY THE WALLS ENGINEER. FINISH GRADE AT THE TOP.  
3. DO NOT EXCEED THE HEIGHTS SHOWN IN THIS DRAWING. EXCEEDING THESE HEIGHTS MAY BE NECESSARY TO REINFORCE THE WALL.  
4. WALLS ARE DESIGNED WITHOUT SEISMIC WALLS.  
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12. WALLS ARE DESIGNED WITHOUT SEISMIC WALLS.



App'd 06/17/20

1. EROSION CONTROL: THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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2021/10/22  
Paddy

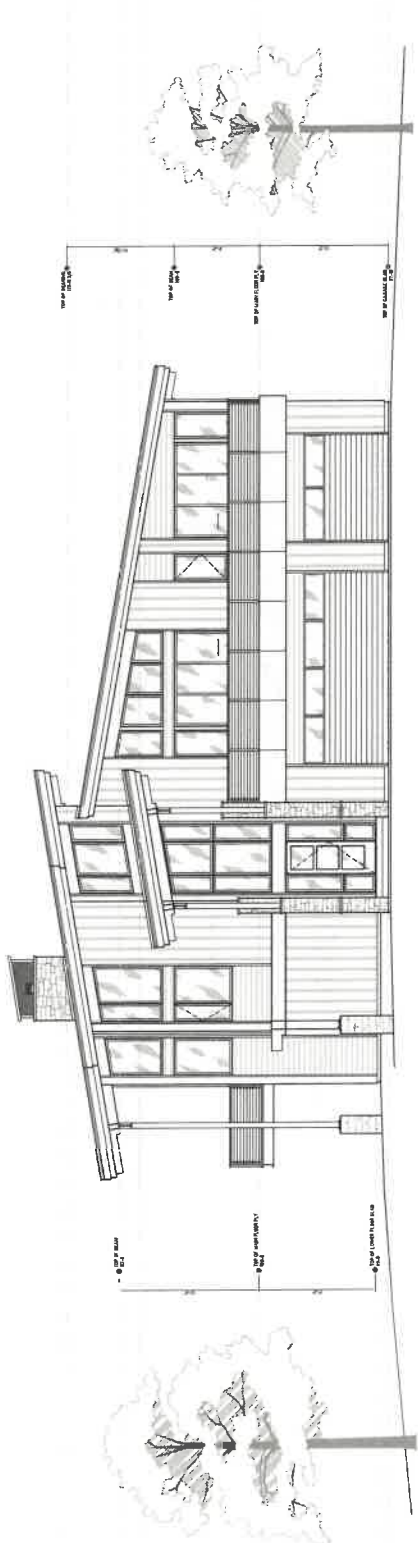
PROJECT NO. 1710  
CLIENT: RUSS BLANCKEN

PEACE OF MIND THROUGH HOLISTIC DESIGN.  
LITTLEHORN ENGINEERING, LLC  
12287 COUNTY ROAD 140  
SALIDA, CO 81201  
FAIRPLAY OFFICE 719.836.7120  
SILVER CLIFF OFFICE 719.783.3757

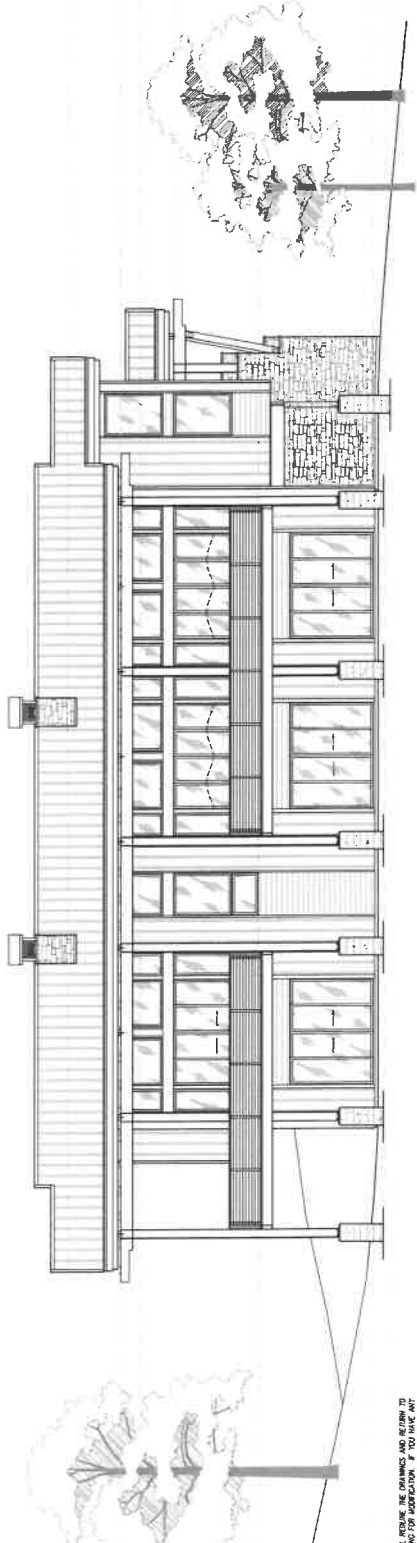
EXTERIOR ELEVATIONS  
66 CONIFER DRIVE  
TOWN OF BLUE RIVER, CO.  
LEAP YEAR PLACER, MS # 13356

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PRELIMINARY - NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

# PRELIMINARY - NOT FOR CONSTRUCTION



1 FRONT (EAST) ELEVATION 1/8" = 1'-0"



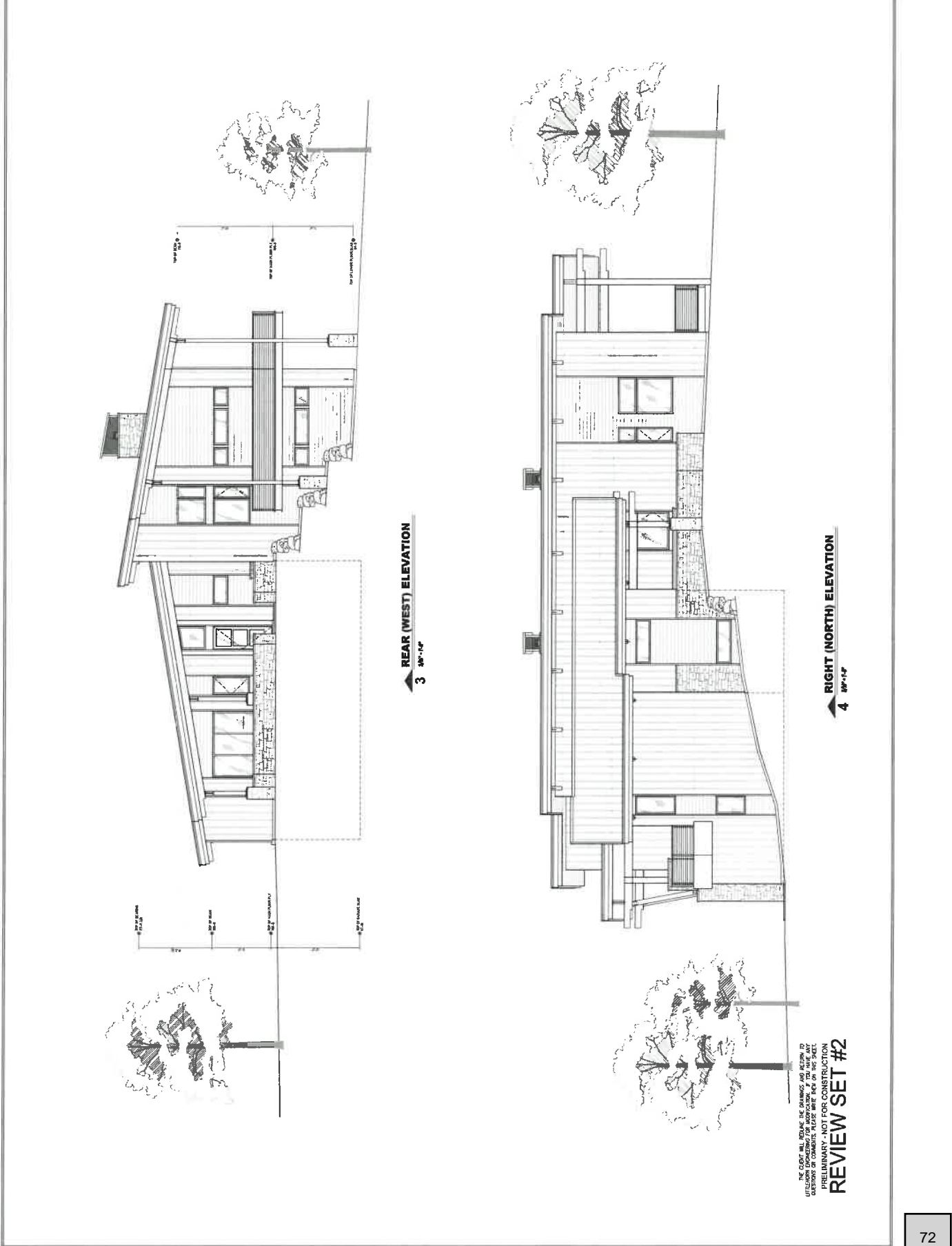
2 LEFT (SOUTH) ELEVATION 1/8" = 1'-0"

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PRELIMINARY - NOT FOR CONSTRUCTION  
**REVIEW SET #2**

ee/LP

2017/10

**LITTLEHORN ENGINEERING, LLC**  
 PEACE OF MIND THROUGH HOLISTIC DESIGN  
 EXTERIOR ELEVATIONS



3 REAR (WEST) ELEVATION  
3/8" = 1'-0"

4 RIGHT (NORTH) ELEVATION  
3/8" = 1'-0"

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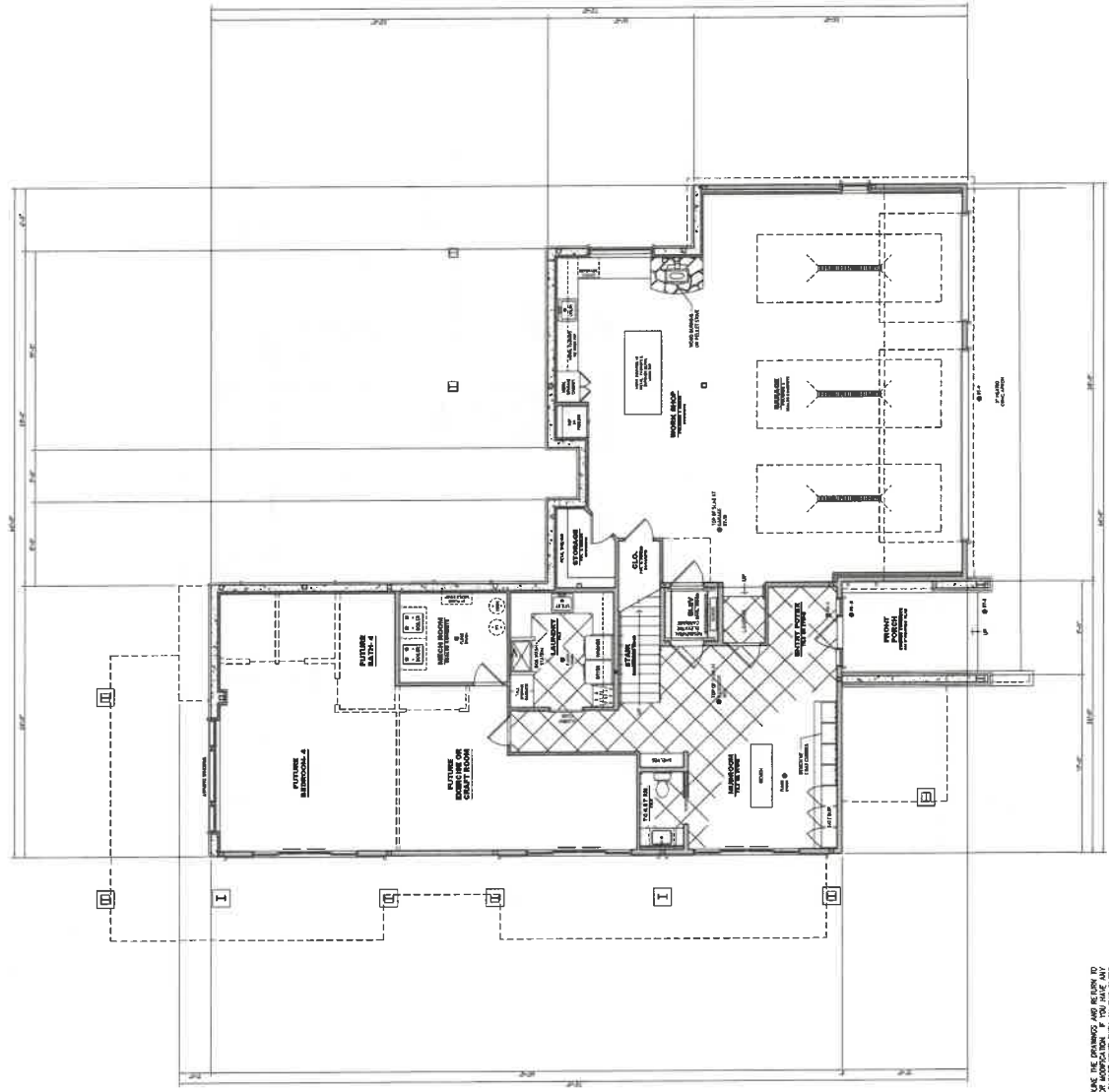
PRELIMINARY - NOT FOR CONSTRUCTION

**REVIEW SET #2**



2017/12

# PRELIMINARY - NOT FOR CONSTRUCTION



### LOWER LEVEL FLOOR PLAN

3/16" = 1'-0"

FINISHED AREA (CONDITIONED)	688 SF
GARAGE (UNCONDITIONED)	1,422 SF
MECH & FUTURE (SEMI-CONDITIONED)	872 SF
TOTAL LOWER FLOOR ENCLOSED AREA	2,982 SF
CONCRETE PATIO	141 SF
TOTAL RESIDENCE FINISHED AREA	3,440 SF
TOTAL RESIDENCE ENCLOSED AREA	5,734 SF

NOTED DRAWING SCALE  
 3/16" = 1'-0"

THE CLIENT WILL REVIEW THE DRAWINGS AND RETURN TO LITTLEHORN ENGINEERING, LLC WITH ANY COMMENTS OR QUESTIONS OF COMPANY'S POLICE WITHIN 14 DAYS OF THE DATE OF THE CLIENT'S REVIEW.

PRELIMINARY - NOT FOR CONSTRUCTION

**REVIEW SET #2**

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**PRELIMINARY NOT FOR CONSTRUCTION FOR REVIEW ONLY**

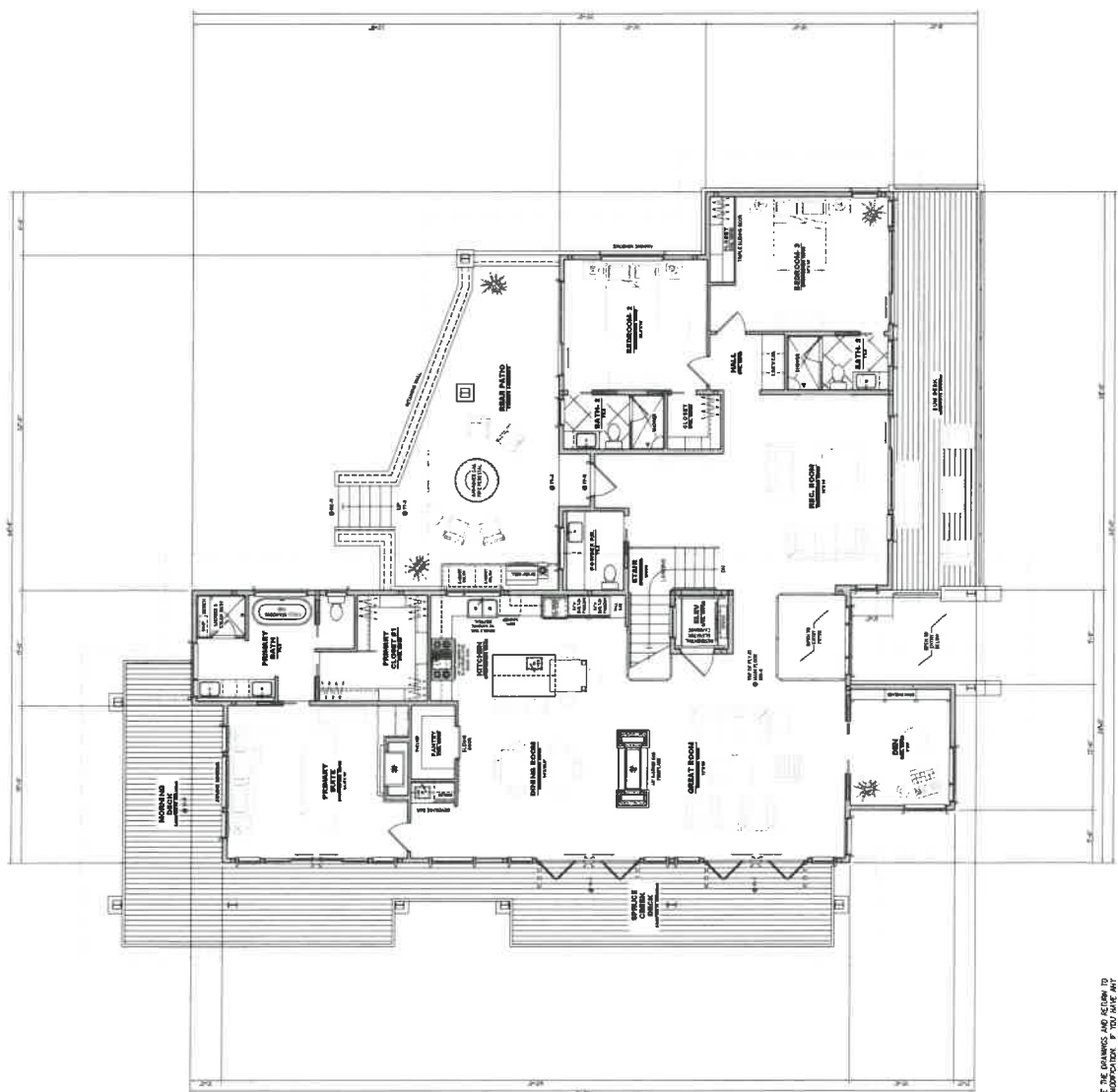
**LITTLEHORN ENGINEERING, LLC**  
 12287 COUNTY ROAD 140  
 SALUDA, CO 81201  
 PARLAY OFFICE 719.836.7120  
 SILVER CLIFF OFFICE 719.783.7377  
 LEAP YEAR PLACER, MS # 13358  
 66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO

**"PEACE OF MIND THROUGH HOLISTIC DESIGN"**  
 PROJECT NO. TBD  
 CLIENT: RUSS BLANCKEN

Section III, Item C.

**PRELIMINARY - NOT FOR CONSTRUCTION**

*ee/ls*

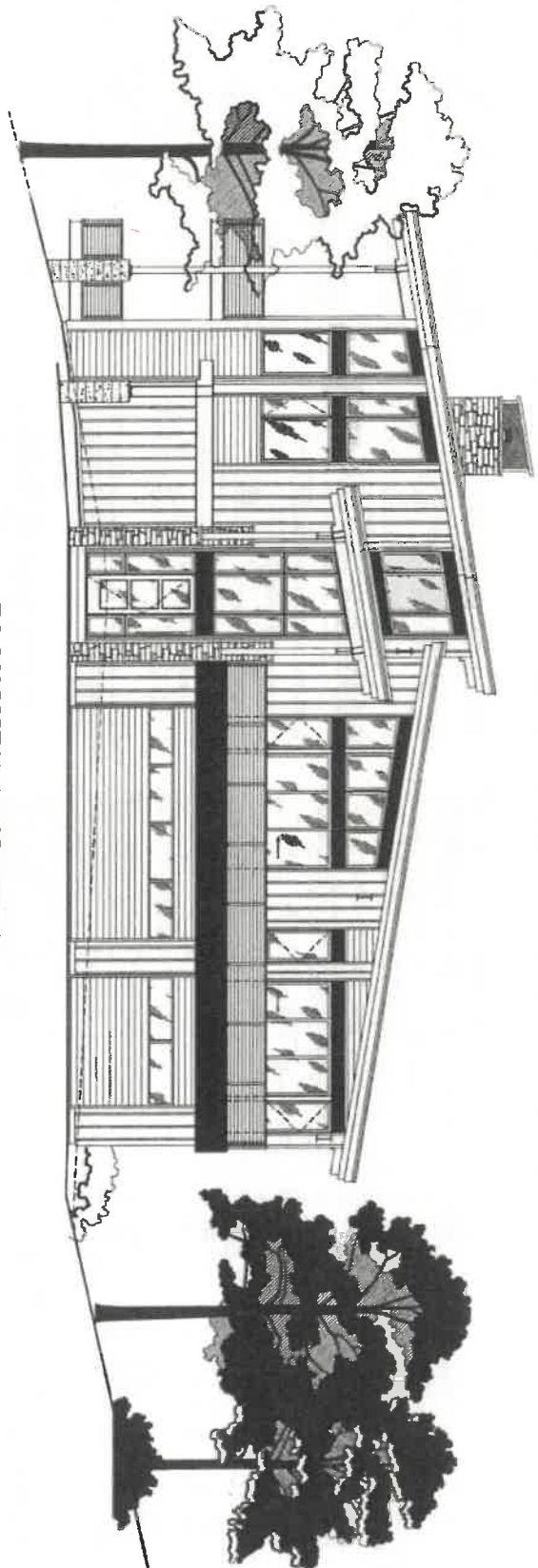


**MAIN LEVEL FLOOR PLAN**  
 3/19/2020

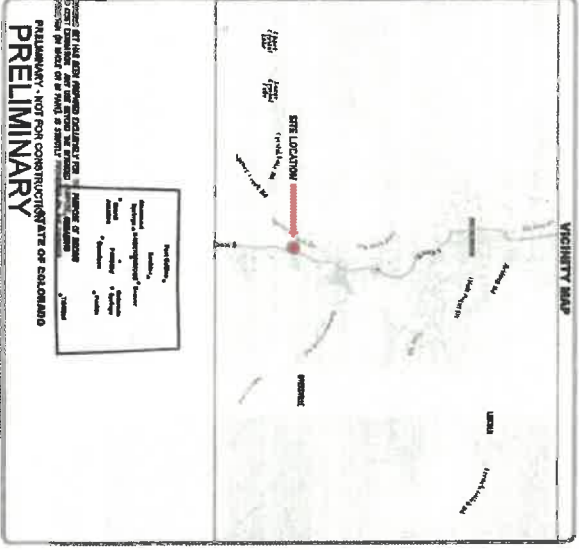
FINISHED AREA (CONDITIONED)	2,752 SF
TOTAL MAIN FLOOR ENCLOSED AREA	2,752 SF
CONCRETE PATIO	498 SF
COMPOSITE DECK	667+347 = 1,014 SF
TOTAL RESIDENCE FINISHED AREA	3,640 SF
TOTAL RESIDENCE ENCLOSED AREA	5,754 SF

PLotted DIMENS SCALE  
 1/4" = 1'-0"

IF YOU HAVE ANY COMMENTS, PLEASE CONTACT THE ARCHITECT AT THE ADDRESS OR PHONE NUMBER LISTED ON THE TITLE SHEET.  
 PRELIMINARY - NOT FOR CONSTRUCTION  
**REVIEW SET #2**



**BLANKEN RESIDENCE**  
**86 CONIFER DRIVE**  
**TOWN OF BLUE RIVER, CO**  
**LEAP YEAR PLACER, MS #13358**



**PROJECT INFORMATION**

CLIENT: PROJECT INFORMATION

DESIGNER: PROJECT INFORMATION

DATE: PROJECT INFORMATION

**PLAN SIGN-OFF**

DESIGNED AND DRAWN BY: PROJECT INFORMATION

DATE: PROJECT INFORMATION

**SHEET INDEX**

NO.	DESCRIPTION
01	COVER SHEET
02	FOUNDATION PLAN
03	FLOOR PLAN
04	CEILING PLAN
05	SECTIONAL ELEVATION
06	EXTERIOR ELEVATION
07	INTERIOR ELEVATION
08	LANDSCAPE ARCHITECTURE
09	MECHANICAL PLAN
10	ELECTRICAL PLAN
11	PLUMBING PLAN
12	ENERGY EFFICIENCY PLAN
13	CONTRACT DOCUMENTS

**WARNING CONSIDERATIONS:**

This drawing is a preliminary construction drawing and should not be used for construction without the approval of the architect. It is provided for informational purposes only.

**PRELIMINARY - NOT FOR CONSTRUCTION**

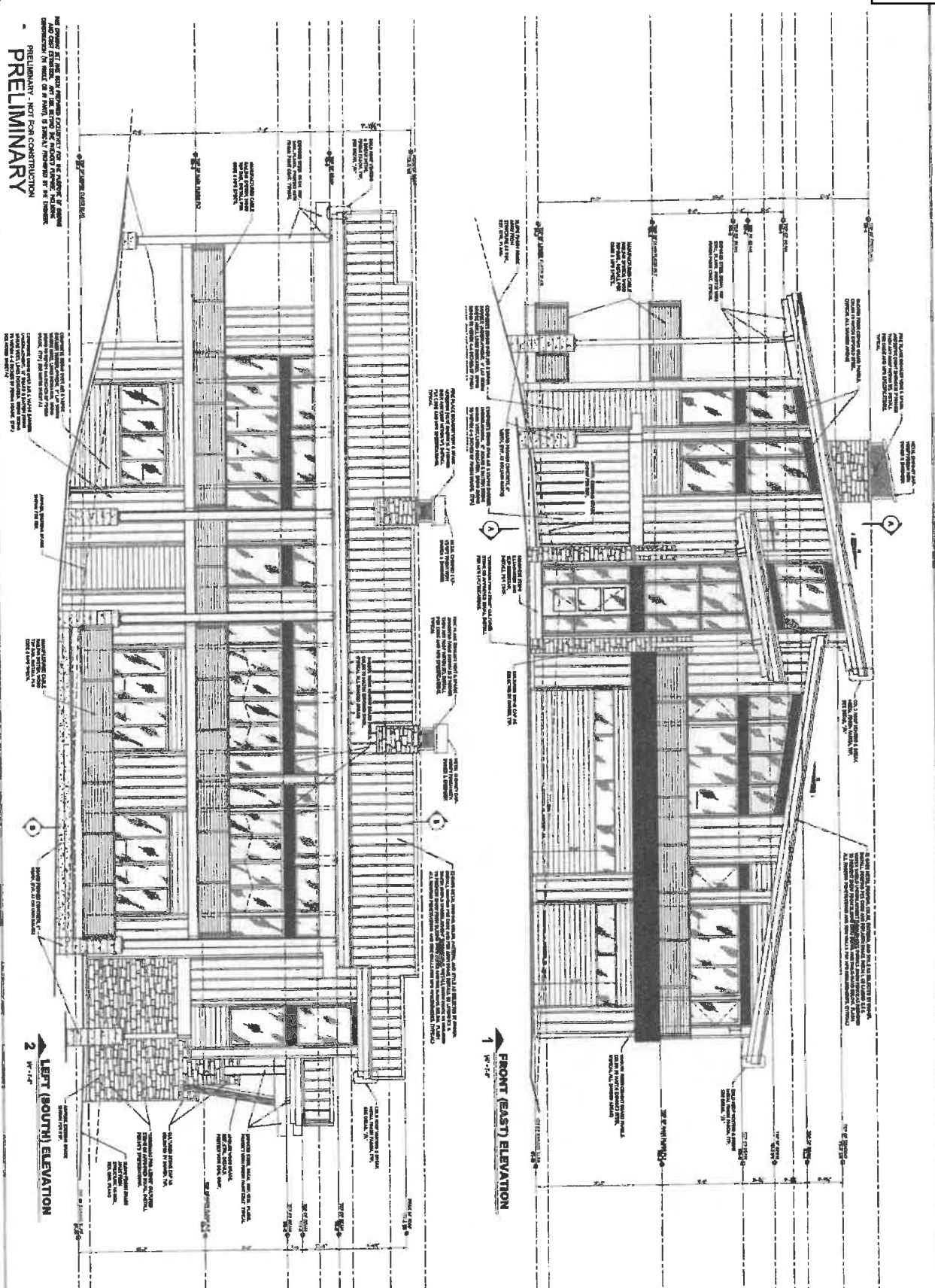
**LITTLEHORN ENGINEERING, LLC**

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

<p>PROJECT NO. 2024-001</p> <p>CLIENT: BLANKEN</p> <p>DATE: 04/02/2024</p> <p>DESIGNER: BLANKEN</p> <p>DATE: 04/02/2024</p> <p>REVISION: 1</p>	<p>12287 COUNTY ROAD 140              SALIDA, CO 81201              FAIRPLAY OFFICE 719.836.7120              SILVER CLIFF OFFICE 719.783.3757</p>	<p><b>COVER SHEET</b></p> <p>86 CONIFER DRIVE              TOWN OF BLUE RIVER, CO.              LEAP YEAR PLACER, MS # 12356</p>
--	--	--

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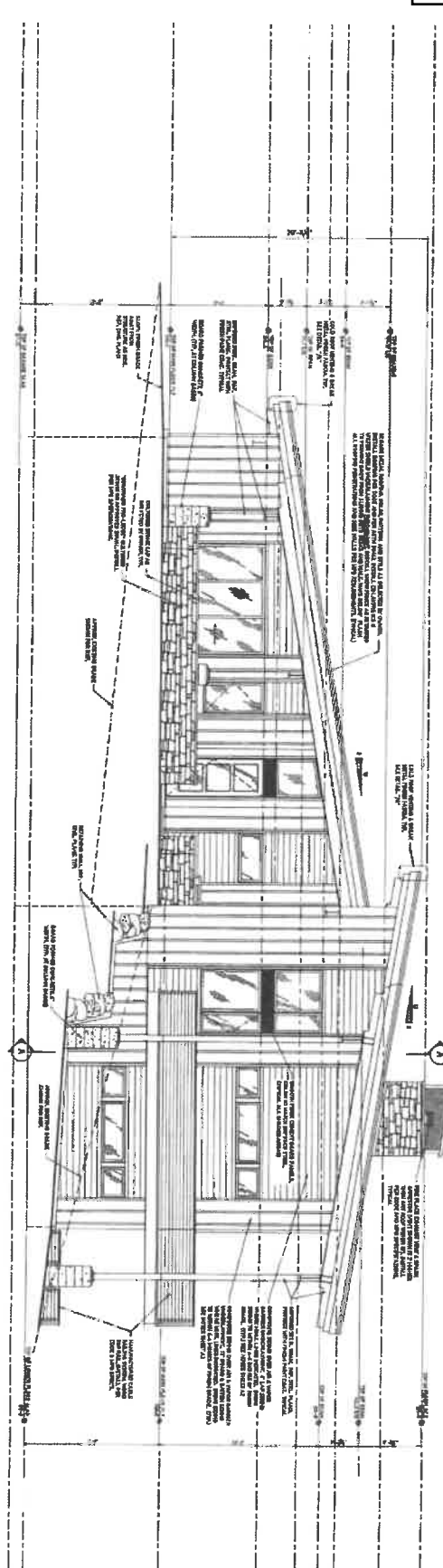
**PRELIMINARY - NOT FOR CONSTRUCTION**

**LITTLEHORN ENGINEERING, LLC**

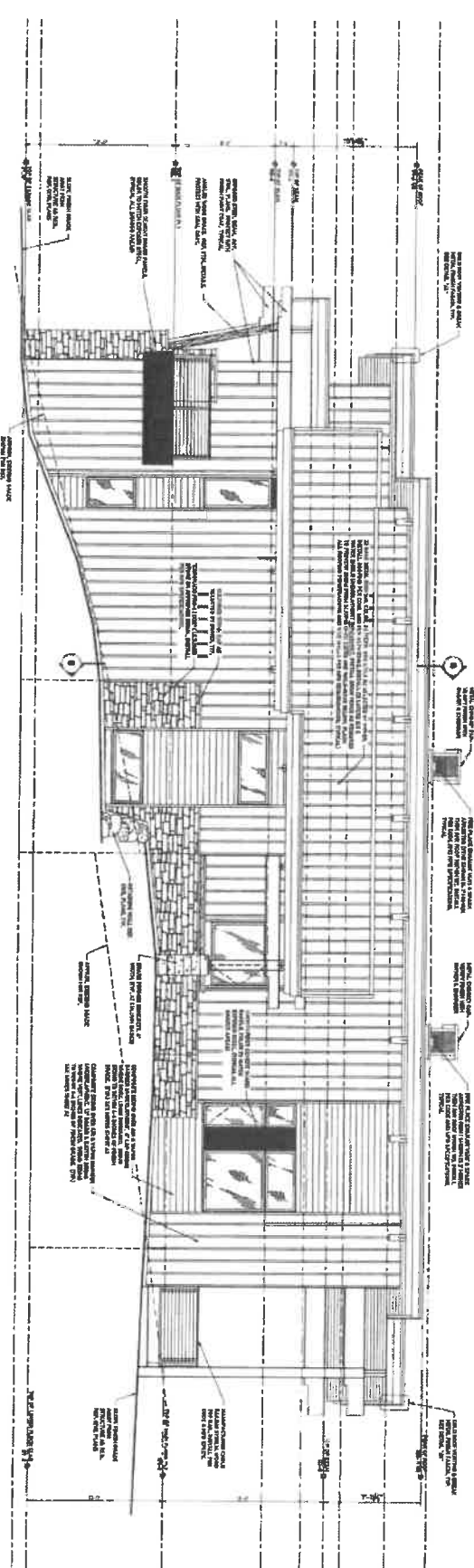
"PEACE OF MIND THROUGH HOLISTIC DESIGN"

<p>PROJECT NO. TBD</p> <p>CLIENT: RUSST BAANKEREN</p> <p>DATE: 05/09/2022</p> <p>DIVISION: A</p> <p style="text-align: right;"><b>A1</b></p>	<p>12287 COUNTY ROAD 140 SALIDA, CO 81201</p> <p>FAIRPLAY OFFICE: 719.836.7120 SILVER CLIFF OFFICE: 719.783.1757</p>	<p><b>EXTERIOR ELEVATIONS</b></p> <p>66 CONIFER DRIVE TOWN OF BLUE RIVER, CO. LEAP YEAR PLACER, MS # 13358</p>
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3 REAR (WEST) ELEVATION  
3/17/18



4 RIGHT (NORTH) ELEVATION  
4/17/18

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PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION

**LITTLEHORN ENGINEERING, LLC**  
"PEACE OF MIND THROUGH HOLISTIC DESIGN"

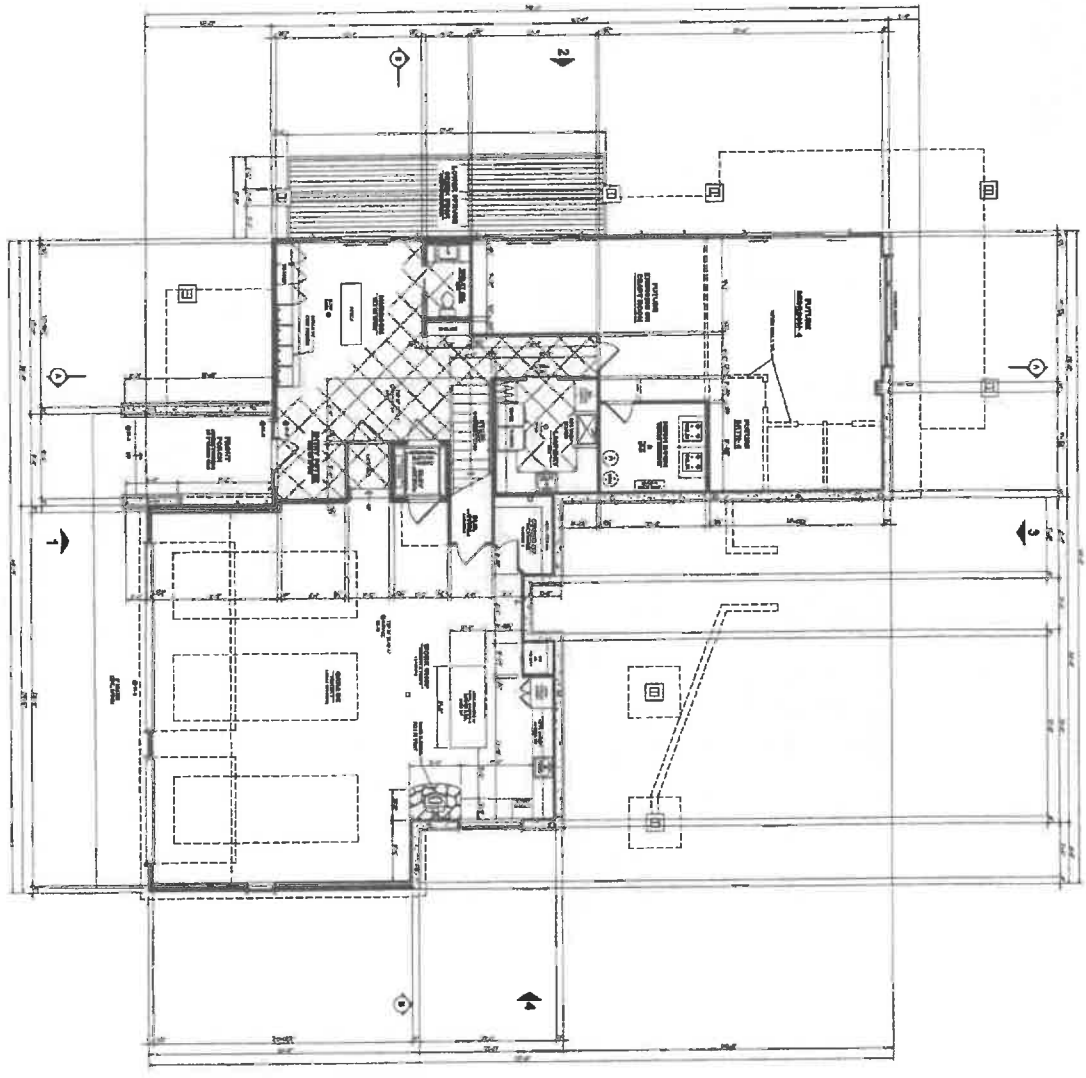
12287 COUNTY ROAD 140  
SALIDA, CO 81201  
FAIRPLAY OFFICE 719.836.7120  
SILVER CLIFF OFFICE 719.783.3757

EXTERIOR ELEVATIONS  
66 CONIFER DRIVE  
TOWN OF BLUE RIVER, CO.  
LEAP YEAR PLACER, MS # 13358

FOR BIDDING PURPOSES ONLY

DATE	05/09/2022
REVISION	A
CLIENT	KOBB BLANKENHORN
PROJECT NO.	159
DESIGNER	BLANKENHORN
SCALE	AS SHOWN
PROJECT	AS SHOWN
DATE	05/09/2022
REVISION	A
CLIENT	KOBB BLANKENHORN
PROJECT NO.	159
DESIGNER	BLANKENHORN
SCALE	AS SHOWN
PROJECT	AS SHOWN

THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.  
 PRELIMINARY - NOT FOR CONSTRUCTION  
**PRELIMINARY**



**LOWER LEVEL FLOOR PLAN**

FINISHED AREA (CONDITIONED) ..... 688 SF  
 GARAGE (UNCONDITIONED) ..... 1,422 SF  
 MECH & FUTURE (SEMI-CONDITIONED) ..... 872 SF  
 TOTAL LOWER FLOOR ENCLOSED AREA ..... 2,982 SF  
 CONCRETE PATIO ..... 141 SF  
 TOTAL RESIDENCE FINISHED AREA ..... 3,440 SF  
 TOTAL RESIDENCE ENCLOSED AREA ..... 5,794 SF



SCALE: 1/8" = 1'-0"

**PRELIMINARY - NOT FOR CONSTRUCTION**  
**LITTLEHORN ENGINEERING, LLC**

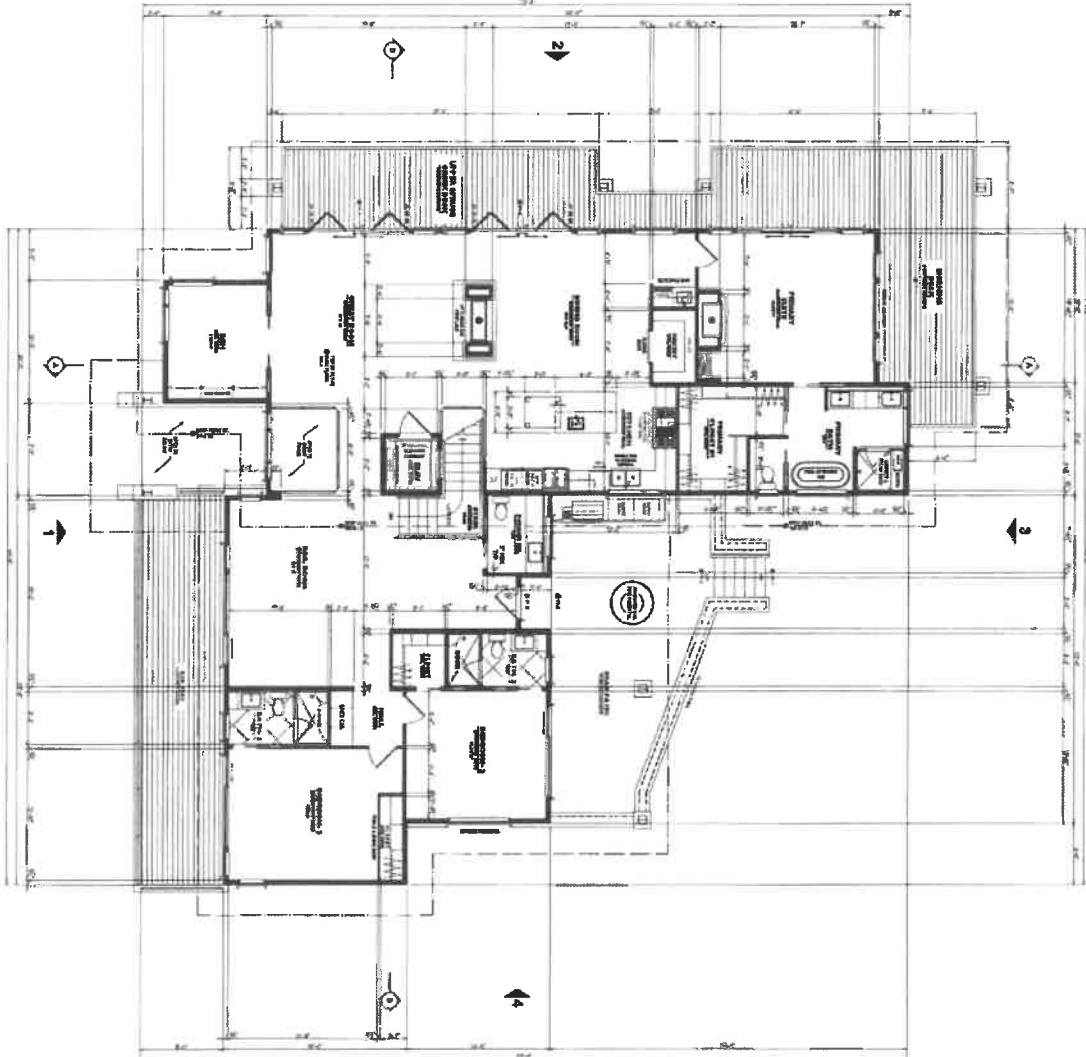
"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12257 COUNTY ROAD 146  
 SALIDA, CO 81201  
 FAIRPLAY OFFICE 719.836.7120  
 SILVER CLIFF OFFICE 719.783.3757

**LOWER LEVEL FLOOR PLAN**  
 66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO.  
 LEAP YEAR PLACER, MS # 13358

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 PRELIMINARY - NOT FOR CONSTRUCTION FOR BIDDING PURPOSES ONLY

PROJECT NO.	DATE	REVISION
CLIENT	05/19/2024	A
DRAWN BY		
BLANKENHORN		
DATE		
05/19/2024		
REVISION		
A		
A3		



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 PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.  
**PRELIMINARY - NOT FOR CONSTRUCTION**  
**PRELIMINARY**

**MAIN LEVEL FLOOR PLAN**

FINISHED AREA (CONDITIONED)	2,752 SF
TOTAL MAIN FLOOR ENCLOSED AREA	2,752 SF
CONCRETE PATIO	498 SF
COMPOSITE DECK	667'x347' = 1,014 SF
TOTAL RESIDENCE FINISHED AREA	3,440 SF
TOTAL RESIDENCE ENCLOSED AREA	5,754 SF



**PRELIMINARY - NOT FOR CONSTRUCTION**

**LITTLEHORN ENGINEERING, LLC**

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140  
 SALIDA, CO 81201  
 FAIRPLAY OFFICE 719.836.7120  
 SILVER CLIFF OFFICE 719.783.3757

**MAIN LEVEL FLOOR PLAN**  
 66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO.  
 LEAP YEAR PLACER, MS # 13358

PROJECT NO.	TBD
CLIENT	RIZEN BLANKENHORN
DATE	06.08.2022
REVISION:	
<b>A4</b>	

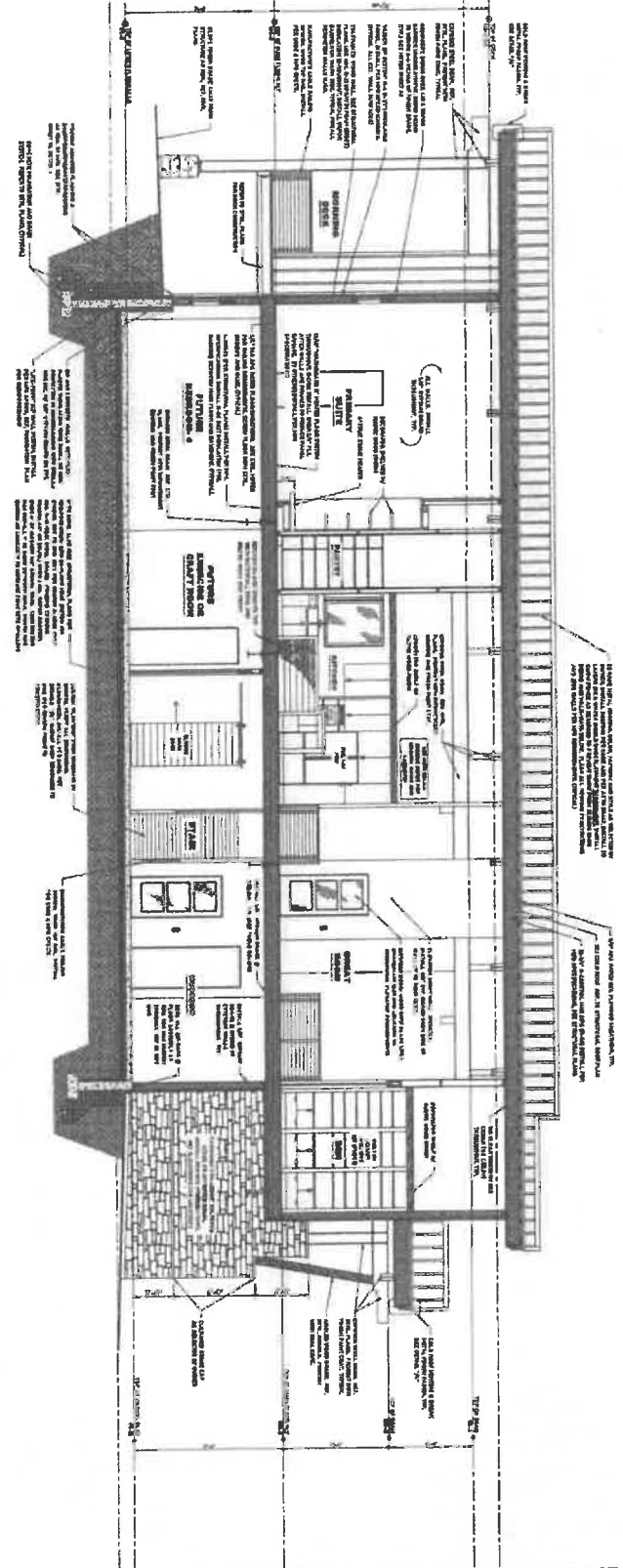
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**PRELIMINARY - NOT FOR CONSTRUCTION**

**SECTION A-A**  
1/8" = 1'-0"



1. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8" CMU WITH REINFORCING BARS AT 16" ON CENTER. THE WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON THE INTERIOR AND 1/2" GYPSUM BOARD OR 1/2" EXTERIOR FINISH ON THE EXTERIOR.

2. ALL INTERIOR WALLS SHALL BE CONSTRUCTED WITH 5/8" GYPSUM BOARD ON THE INTERIOR AND 1/2" GYPSUM BOARD ON THE EXTERIOR. THE WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON THE INTERIOR AND 1/2" EXTERIOR FINISH ON THE EXTERIOR.

3. ALL CEILING SHALL BE CONSTRUCTED WITH 5/8" GYPSUM BOARD ON THE INTERIOR AND 1/2" GYPSUM BOARD ON THE EXTERIOR. THE CEILING SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON THE INTERIOR AND 1/2" EXTERIOR FINISH ON THE EXTERIOR.

4. ALL FLOOR SHALL BE CONSTRUCTED WITH 4" CONCRETE ON 2" GYPSUM BOARD ON THE INTERIOR AND 4" CONCRETE ON 2" GYPSUM BOARD ON THE EXTERIOR. THE FLOOR SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON THE INTERIOR AND 1/2" EXTERIOR FINISH ON THE EXTERIOR.

**PRELIMINARY - NOT FOR CONSTRUCTION**  
**LITTLEHORN ENGINEERING, LLC**

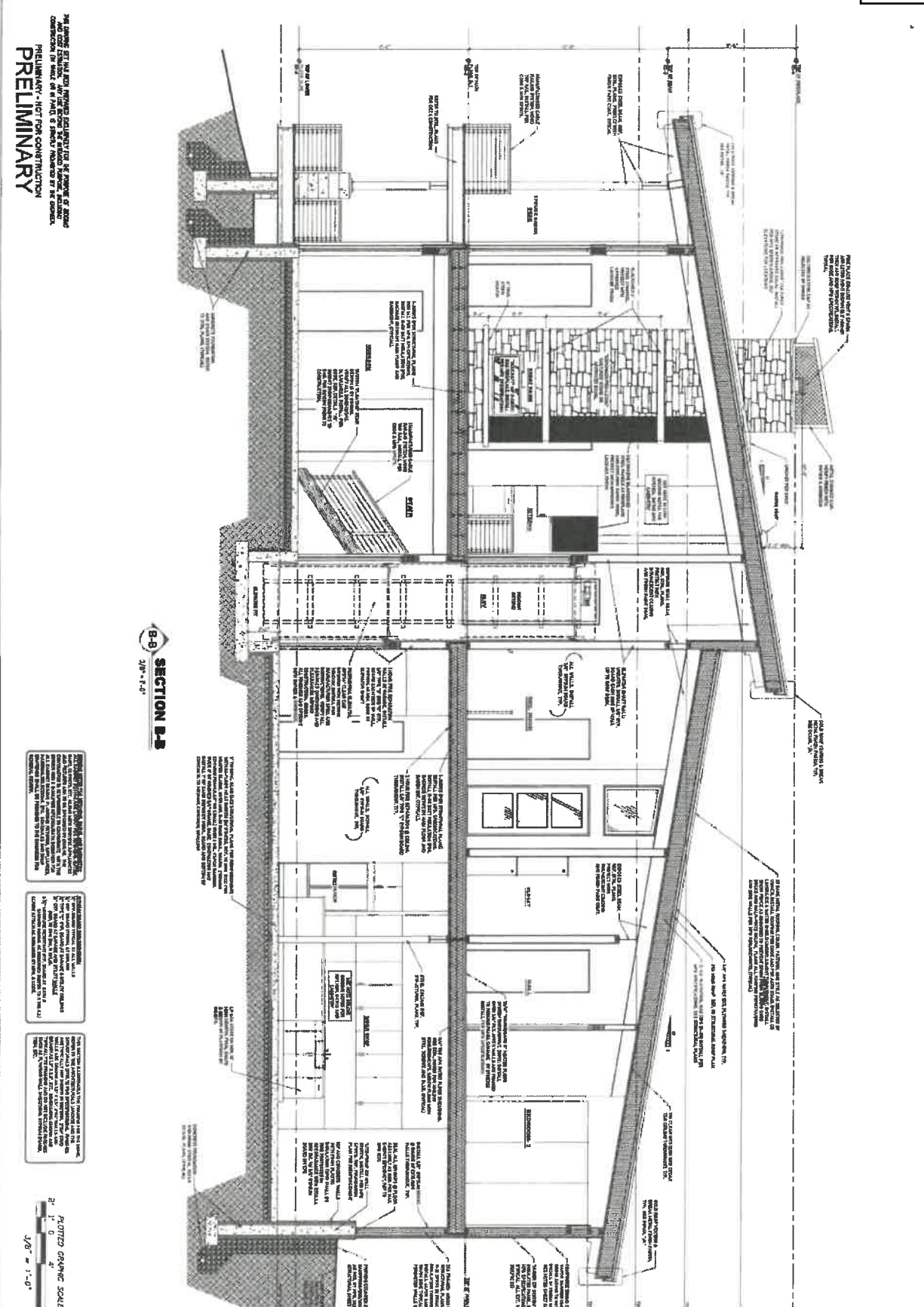
"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 146  
SALIDA, CO 81201  
FAIRPLAY OFFICE 719.836.7120  
SILVER CLIFF OFFICE 719.783.3757

**SECTION A-A**  
96 CONIFER DRIVE  
TOWN OF BLUE RIVER, CO.  
LEAP YEAR PLACER, MS # 13358

DATE	CLIENT	PROJECT NO.
05/09/2012	RUS BLANKEN	
REVISION:		
AS		

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**PRELIMINARY - NOT FOR CONSTRUCTION**

**LITTLEHORN ENGINEERING, LLC**

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140  
SALIDA, CO 81201  
FAIRPLAY OFFICE 719.836.7120  
SILVER CLIFF OFFICE 719.783.3757

**SECTION B-B**  
86 CONIFER DRIVE  
TOWN OF BLUE RIVER, CO,  
LEAP YEAR PLACER, MS # 13358

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 LITTLEHORN ENGINEERING, LLC  
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 OR DISTRIBUTION  
 WITHOUT THE WRITTEN  
 PERMISSION OF THE  
 FIRM IS PROHIBITED.  
 PRELIMINARY  
 NOT FOR  
 CONSTRUCTION  
 PURPOSES  
 ONLY

<b>DATE</b>	04/09/2012
<b>REVISION:</b>	A.
<b>DESIGNER:</b>	BLANKENHORN
<b>CHECKER:</b>	RTS66
<b>PROJECT NO.</b>	TSD

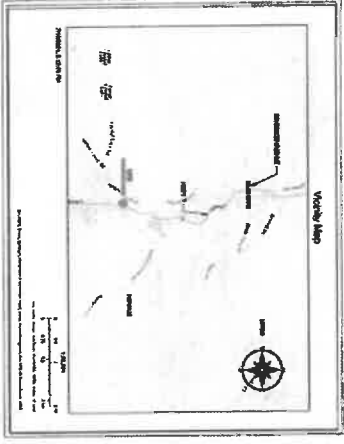
**A6**



# CIVIL SITE AND GRADING PLANS FOR A SINGLE-FAMILY RESIDENCE

## 66 CONIFER DRIVE, TOWN OF BLUE RIVER, CO

A PERMIT IS REQUIRED FROM THE TOWN OF BLUE RIVER TO EXCAVATE & INSTALL A DRAINWAY AND EXCAVATE ON THIS SITE AND FROM SINKHOLE COUNTY FOR THE DRAIN RELATED WORK.



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BLUE RIVER AND SINKHOLE COUNTY.

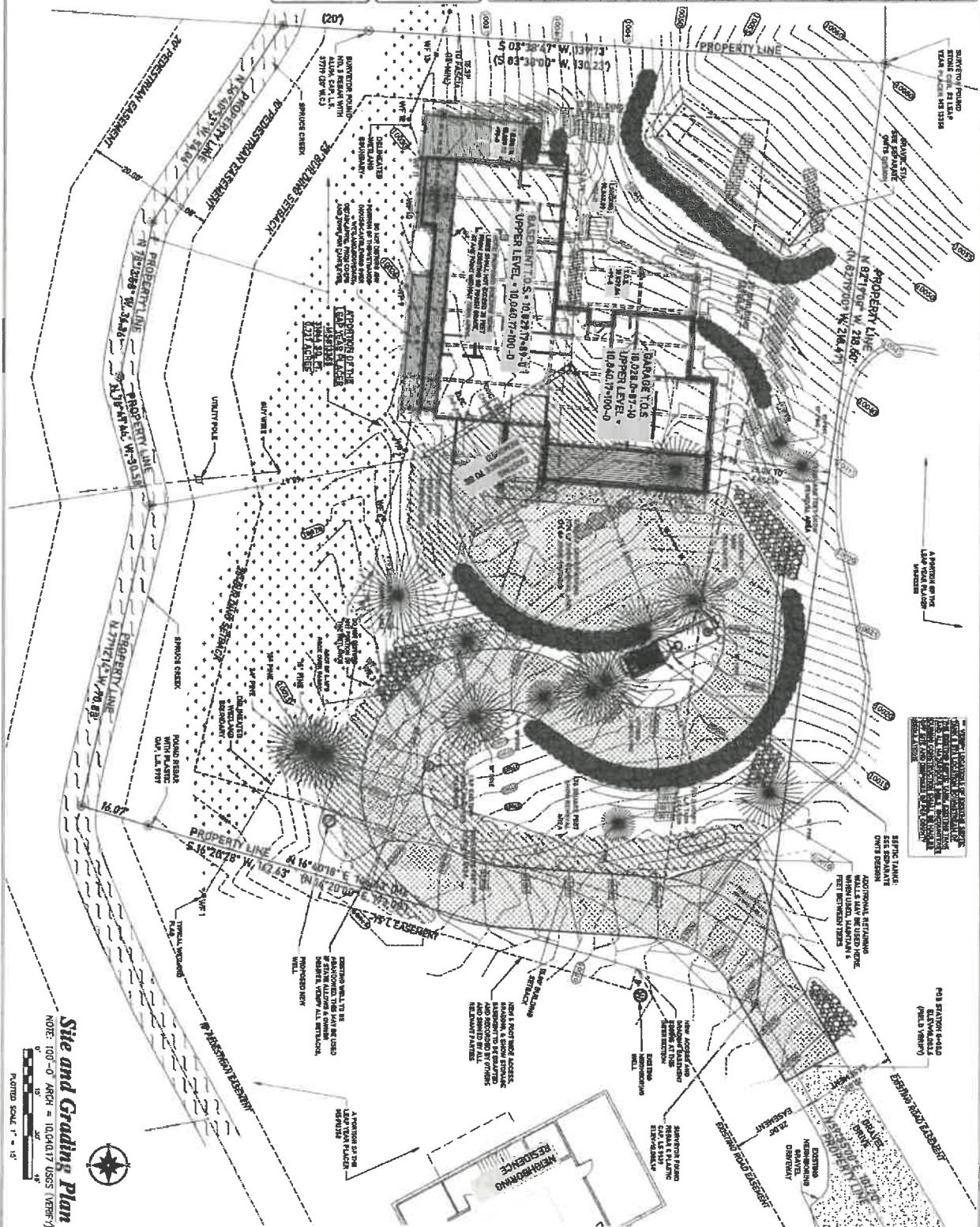
SYMBOL	MEANING
1/4" = 1' (VERTICAL)	VERTICAL SCALE
1/4" = 1' (HORIZONTAL)	HORIZONTAL SCALE
...	...

NO.	DATE	DESCRIPTION
1	05/05/2022	ISSUED FOR PERMITTING
2	05/05/2022	ISSUED FOR PERMITTING
3	05/05/2022	ISSUED FOR PERMITTING

**LITTLEHORN ENGINEERING & SURVEYING**  
"PEACE OF MIND THROUGH HOLISTIC DESIGN"  
551 HIGHWAY 285, SUITE 4201  
FAIRPLAY, COLORADO 80440  
MAIN OFFICE 719.856.7120  
SILVER CLIFF PHONE 719.783.3757

**COVER SHEET & CONSTR. NOTES**  
66 CONIFER DRIVE  
TOWN OF BLUE RIVER, CO  
LEAP YEAR PLACER, CO # 13358

LEGEND	
BT	BOTTOM OF SERVICE TANK
EA	EDGE OF ASPHALT
ES	EDGE OF DRIVEWAY
FS	FRESH GRAVEL (TOP OF GRAVEL)
FI	POINT OF INTERSECTION
FOC	POINT OF CURVATURE
PT	POINT OF TANGENT
STA	ROAD TREATMENT AREA BEACH TREATMENT
TOT	TOP OF TANK
TOS	TOP OF SLAB
3	PROPOSED SEWER LINE
4	PROPOSED WATER LINE
5	PROPOSED GAS SERVICE
6	PROPOSED STORM MAINS
7	EXISTING CONTOUR
8	PROPOSED CONTOUR LABEL
9	PROPOSED CONTOUR LABEL
10	ELEVATION POINT (E. 1001)
11	UTILITY
12	GRAVEL DRIVE
13	PROPOSED DRIVEWAY
14	PROPOSED DRIVEWAY
15	PROPOSED DRIVEWAY
16	PROPOSED DRIVEWAY
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85	PROPOSED DRIVEWAY
86	PROPOSED DRIVEWAY
87	PROPOSED DRIVEWAY
88	PROPOSED DRIVEWAY
89	PROPOSED DRIVEWAY
90	PROPOSED DRIVEWAY
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95	PROPOSED DRIVEWAY
96	PROPOSED DRIVEWAY
97	PROPOSED DRIVEWAY
98	PROPOSED DRIVEWAY
99	PROPOSED DRIVEWAY
100	PROPOSED DRIVEWAY



**Site and Grading Plan**  
 NOTE: 100'-0" ARCH = 10,000,000 USGS (VERT.)  
 PLotted SCALE 1" = 10'

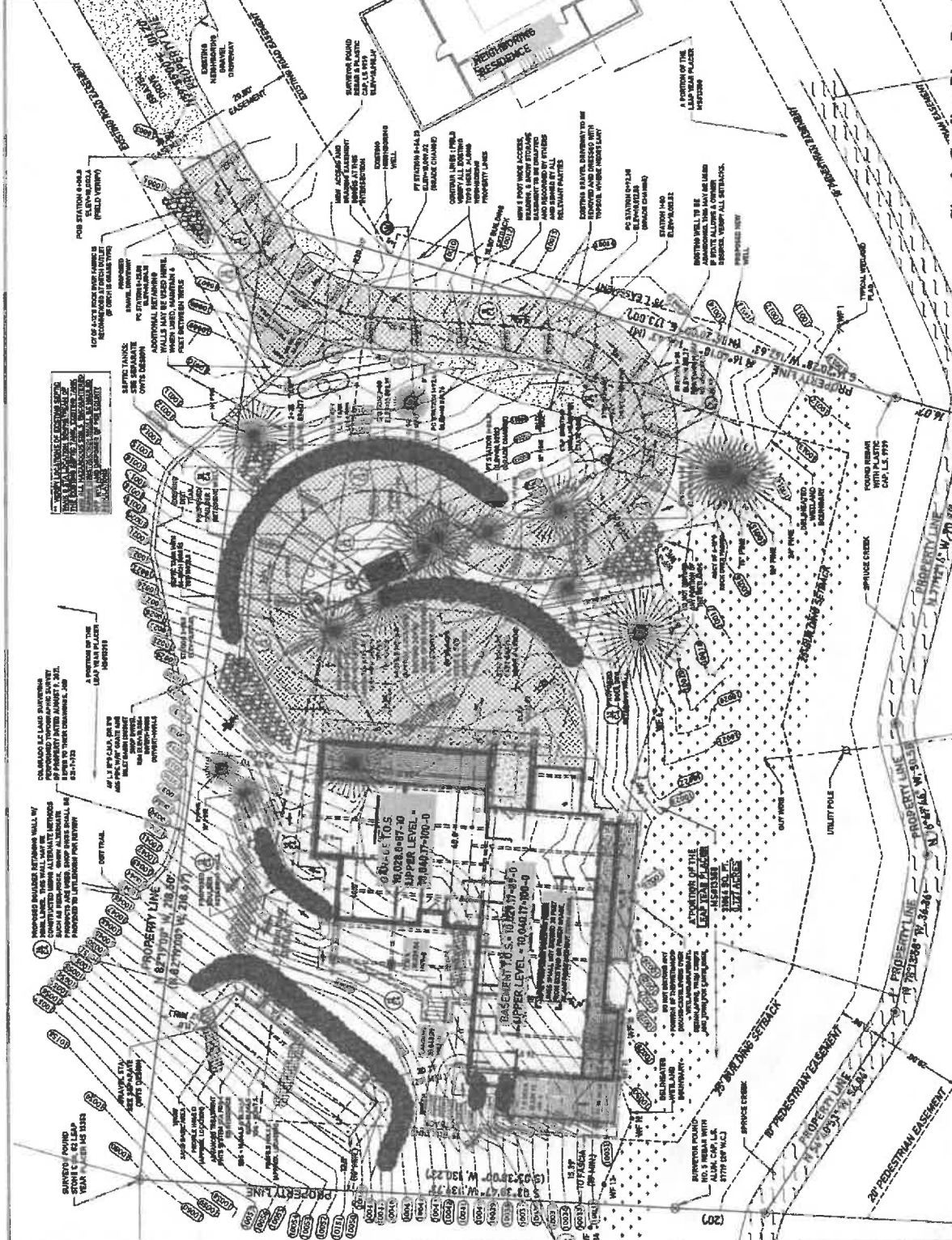
<p><b>LITTLEHORN ENGINEERING &amp; SURVEYING</b>                  "PEACE OF MIND THROUGH HOLISTIC DESIGN"                  501 HIGHWAY 285, SUITE #241                  FAIRPLAY, COLORADO 80440                  MAIN OFFICE 719.836.7120                  SILVER CLIFF PHONE 719.783.3757</p>	<p>OVERALL SITE PLAN</p> <p>66 CONIFER DRIVE                  TOWN OF BLUE RIVER, CO                  LEAP YEAR PLACER, MS # 13358</p>	<p>THE PROPERTY OF                  LITTLEHORN ENGINEERING &amp; SURVEYING, INC.                  ANY REPRODUCTION OR                  TRANSMISSION OF THIS                  DRAWING WITHOUT THE                  WRITTEN PERMISSION OF                  LITTLEHORN ENGINEERING &amp;                  SURVEYING, INC. IS                  PROHIBITED.</p>
	<p>PROJECT NO. 2021-100294</p> <p>CLIENT RUBEN BLANCHEN</p> <p>DATE 05.25.2022</p> <p>REVISION: A</p> <p>C1</p>	

**LITTLEHORN ENGINEERING & SURVEYING**  
 PEACE OF MIND THROUGH HOLISTIC DESIGN  
 351 HIGHWAY 265, SUITE #201  
 FAIRPLAY, COLORADO 80440  
 MAIN OFFICE 719.686.7120  
 SILVER CLIFF PHONE 719.783.3757

**66 CONFER DRIVE**  
 TOWN OF BLUE RIVER, CO  
 LEAP YEAR PLACER, MS # 13358

**CLIENT:** RURS  
**BLANKENET**

**PROJECT NO:** 2021-100394  
**DATE:** 05-05-2021



LEGEND	
BT	BOTTOM OF SEPTIC TANK
DA	EDGE OF ASPHALT
DB	EDGE OF GRAVEL
FR	FINISH GRADE (TOP OF GRAVEL)
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
PIC	POINT OF CURVATURE
PT	POINT OF TANGENT
STP	SOIL TREATMENT AREA (REACH WELL)
TR	TOP OF RESER (ON SPTIC TANK)
TS	TOP OF SLAB
TOT	TOP OF TANK
3	RETAINING WALL (WITHOUT ACTIVE PRESSURE) (SEE PLAN)
---	PROPOSED DRIVEWAY
---	PROPOSED WATER LINE
---	PROPOSED SALT FENCE
---	PROPOSED STRAW BATTLE
---	EXISTING CONTOUR
---	EXISTING CONTAINR LABEL
---	PROPOSED CONTAINR LABEL
---	PROPOSED CONTOUR LABEL
---	PROPOSED POINT (0. FEET ±)
---	ELEVATION POINT (0. FEET ±)
---	VUTILITY
---	DRAINAGE ROUTE
---	TREE TYPE & SIZE (SPECIES/DBH)
---	PROPOSED SNOW STORAGE
---	METAL SLAB OF CRUSHED
---	BLACK RETAINING WALL
---	BRICK/CMU RETAINING WALL
---	EXISTING DRIVEWAY
---	PROPOSED DRIVEWAY

**NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS DRAWING**

ALL UNSHADED AREAS TO BE UNDISTURBED NATURAL FOREST. SLOPES OF 2:1 OR GREATER SHALL BE SETBACK AFTER THEY HAVE BEEN SETBACK. CONTRACTOR'S RESPONSIBILITY IS TO MAINTAIN CONSTRUCTION CONTROL BARRIERS THROUGHOUT THE ENTIRE MAINTENANCE PERIOD. MAINTENANCE BARRIERS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE MAINTENANCE PERIOD. MAINTENANCE BARRIERS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE MAINTENANCE PERIOD.

**Site & Grading Plan Detail**  
 NOTE: 100'-0" ARCH = 10,040.17 USGS (MERTY)  
 SCALE: 1" = 10'

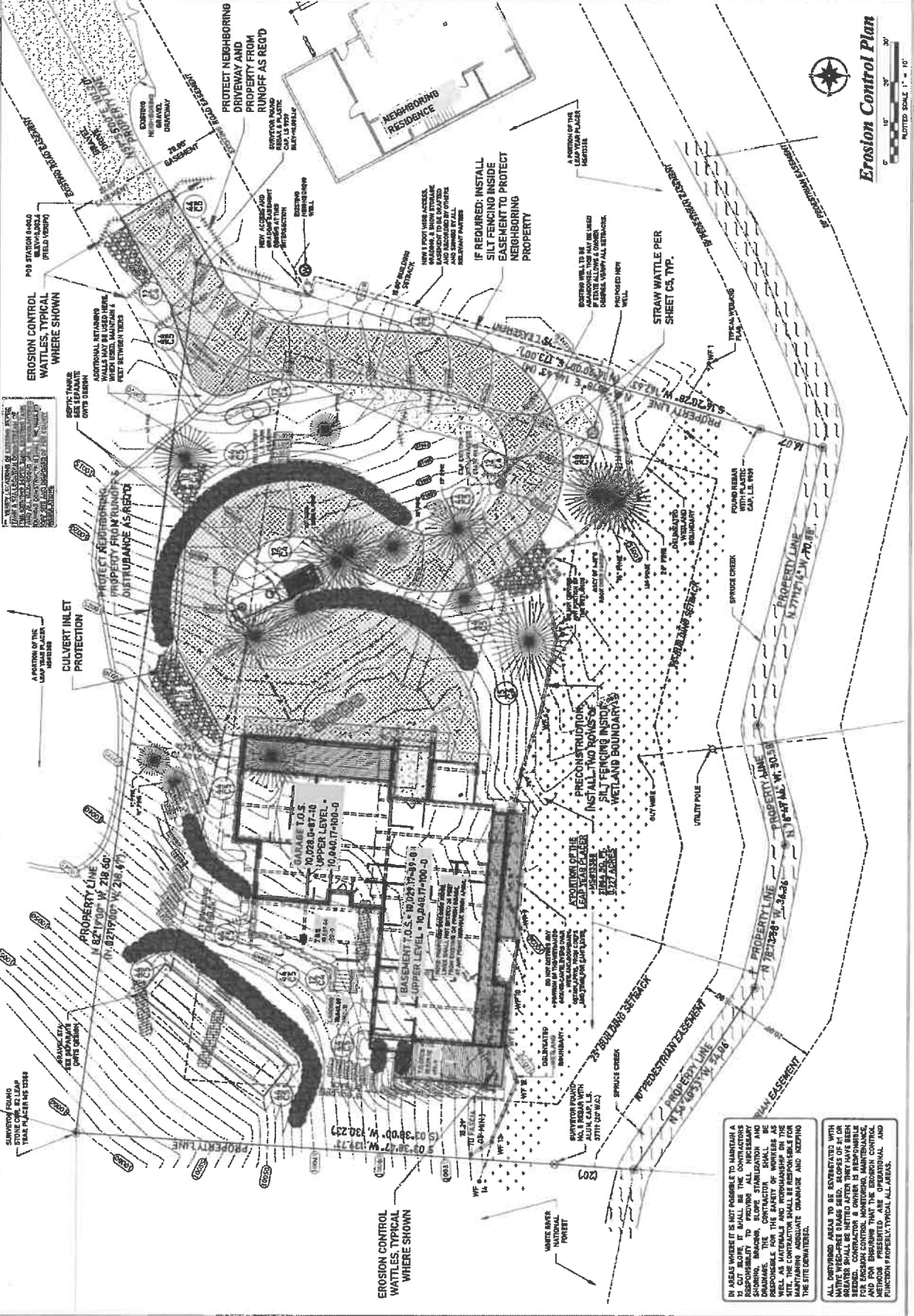
**LITTLEHORN ENGINEERING & SURVEYING**  
 351 HIGHWAY 285, SUITE #201  
 FRIELTA, COLORADO 80404  
 66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO  
 LEAP YEAR PLACER, MS # 13358  
 BLUER CLIFF PHONE 719.783.1757

PROJECT NO. 2021-100294  
 CLIENT: BLUER BLANKEN  
 DATE: 05.03.2022  
 REVIEWER: [Signature]

PEACE OF MIND THROUGH HOLISTIC DESIGN™

THE PROPERTY OF LITTLEHORN ENGINEERING & SURVEYING IS HEREBY CERTIFIED TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO PROFESSIONAL ENGINEERING BOARD AND THE COLORADO PROFESSIONAL SURVEYING BOARD.

CS 3



**EROSION CONTROL WATTTLES, TYPICAL WHERE SHOWN**

1. INSTALLATION OF WATTTLES SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:  
 a. WATTTLES SHALL BE INSTALLED AT 5 FOOT INTERVALS.  
 b. WATTTLES SHALL BE INSTALLED AT ALL CHANGES IN GRADE.  
 c. WATTTLES SHALL BE INSTALLED AT ALL EASEMENT BOUNDARIES.  
 d. WATTTLES SHALL BE INSTALLED AT ALL DRIVEWAY SETBACKS.  
 e. WATTTLES SHALL BE INSTALLED AT ALL PROPERTY CORNERS.

IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 1:1 CUT SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORKERS AS WELL AS THE SAFETY OF THE ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND KEEPING THE SITE DRAINAGE.

ALL DISTURBED AREAS TO BE RESTORATED WITH ORIGINAL OR BETTER SOIL CONDITIONS. RESTORATION SHALL BE INITIATED AS SOON AS POSSIBLE AFTER THE CONSTRUCTION HAS BEEN COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR SHOWING THAT THE EROSION CONTROL MEASURES PRESENTED ARE OPERATIONAL AND FUNCTION PROPERLY, TYPICAL ALL AREAS.

**Erosion Control Plan**

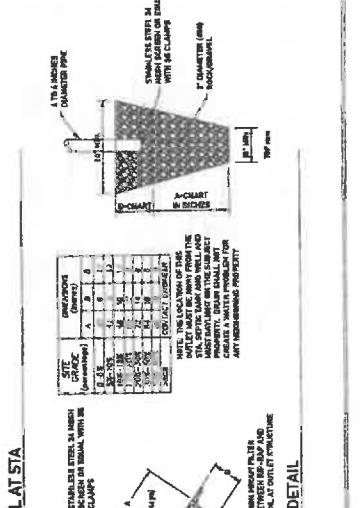
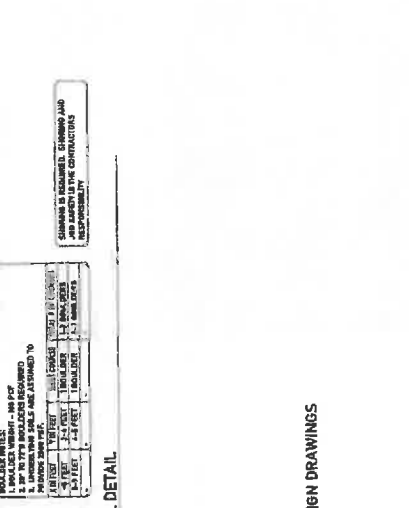
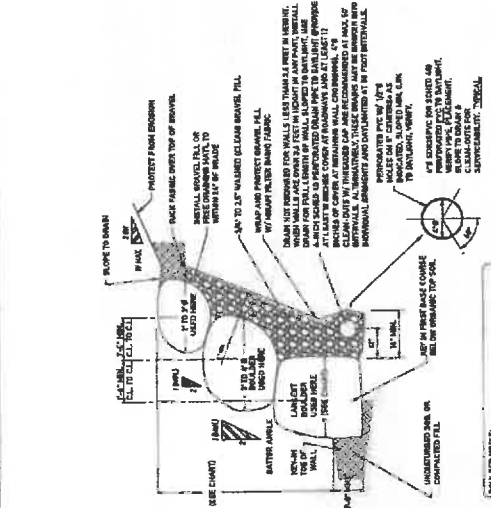
NOTED SCALE 1" = 10'  
 0' 10' 20' 30'

**LITTLEHORN ENGINEERING & SURVEYING**  
 PEACE OF MIND THROUGH HOLISTIC DESIGN™ 3411 HIGHWAY 285, SUITE 8202  
 FAIRMAYS, COLORADO 80440  
 PHONE 303.501.1200 FAX 303.501.1201  
 SILVER CLIFF PHONE 719.83.3757

**PROJECT NO.** 2021-100094  
**CLIENT** RUIBES BLANCKEN  
**DATE** 04/03/2023  
**REVISION** A

**SITE CONSTRUCTION DETAILS**  
 66 CONIFER DRIVE  
 TOWN OF BLUE RIVER, CO  
 LEAP YEAR PLACER, MS # 13356

**THESE PLANS ARE THE PROPERTY OF LITTLEHORN ENGINEERING & SURVEYING, L.L.C. NO PART OF THESE PLANS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.**



SEE OWT'S DESIGN DRAWINGS

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

SOILS SHOULD BE IDENTIFIED AND CLASSIFIED AS PER THE GEOTECHNICAL REPORT. ALL WALLS SHOULD BE DESIGNED FOR THE MOST UNFAVORABLE SOIL CONDITIONS.

THE WALL DESIGN IS NOT PERMITTED TO BE USED WITHOUT THE CONSULTATION OF THE ENGINEER. THE WALL DESIGN IS NOT PERMITTED TO BE USED WITHOUT THE CONSULTATION OF THE ENGINEER.

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**13 BOULDER RETAINING WALL DETAIL**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

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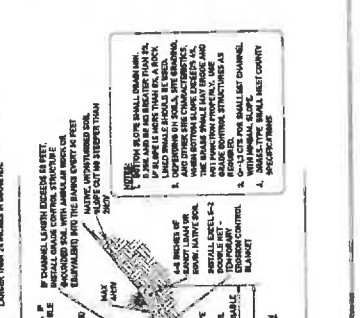
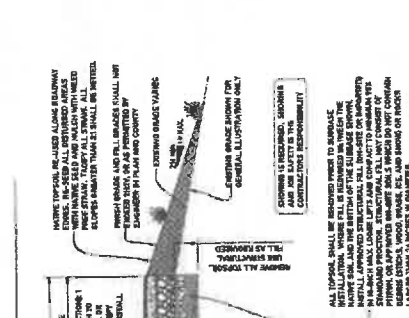
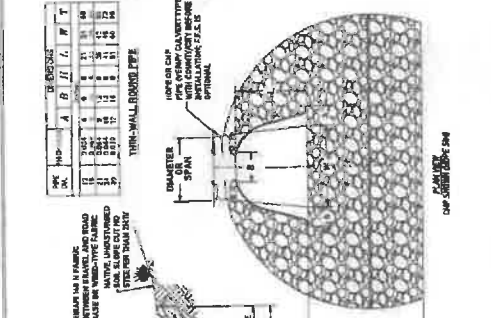
THE WALL DESIGN IS NOT PERMITTED TO BE USED WITHOUT THE CONSULTATION OF THE ENGINEER. THE WALL DESIGN IS NOT PERMITTED TO BE USED WITHOUT THE CONSULTATION OF THE ENGINEER.

**14 BOULDER RETAINING WALL AT STA 14+00**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

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**16 CULVERT DETAILS**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

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**17 GENERIC DRIVEWAY SECTION**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

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**18 ROCK LINED AND GRASS-TYPE LANDSCAPE SWALE OPTIONS**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

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**19 TYPICAL DRAIN DAYLIGHT DETAIL**

FOR ALL WALLS SHOWING AIR LOCATION, AIRWAYS SHOULD BE PROVIDED IN THE PLANS AT THE TOP OF THE WALL. AIRWAYS SHOULD BE PROVIDED AT THE BOTTOM OF THE WALL HEIGHT BELOW THE FINISH GRADE AT THE TOP.

SOILS SHOULD BE IDENTIFIED AND CLASSIFIED AS PER THE GEOTECHNICAL REPORT. ALL WALLS SHOULD BE DESIGNED FOR THE MOST UNFAVORABLE SOIL CONDITIONS.

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**20 BOULDER RETAINING WALL DETAIL**

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**21 BOULDER RETAINING WALL AT STA 14+00**

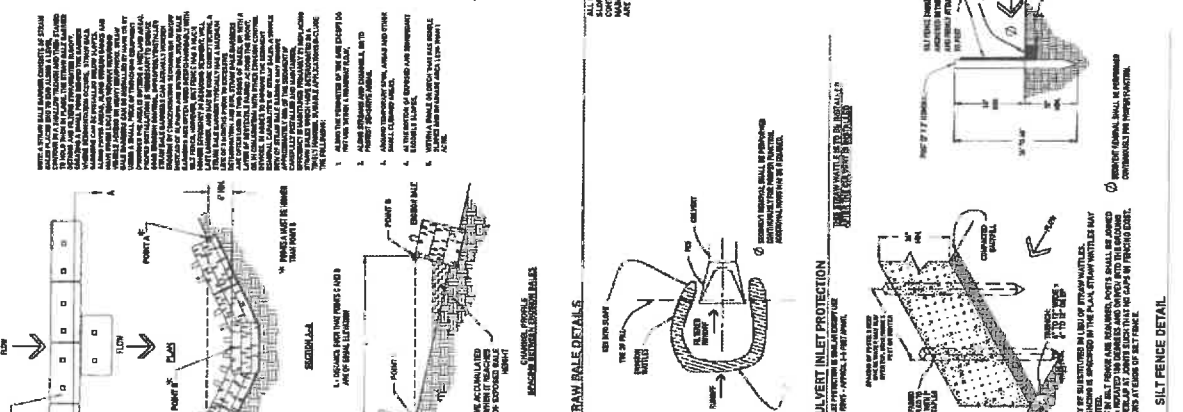
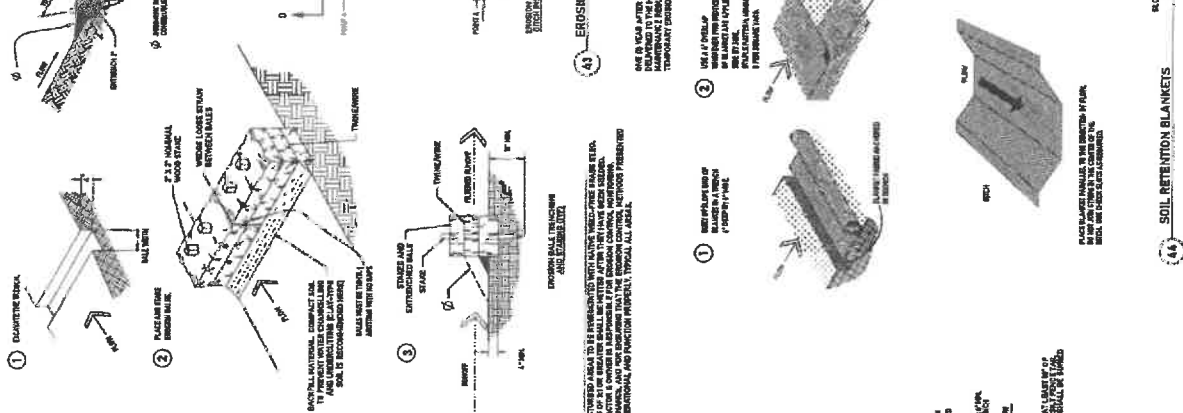
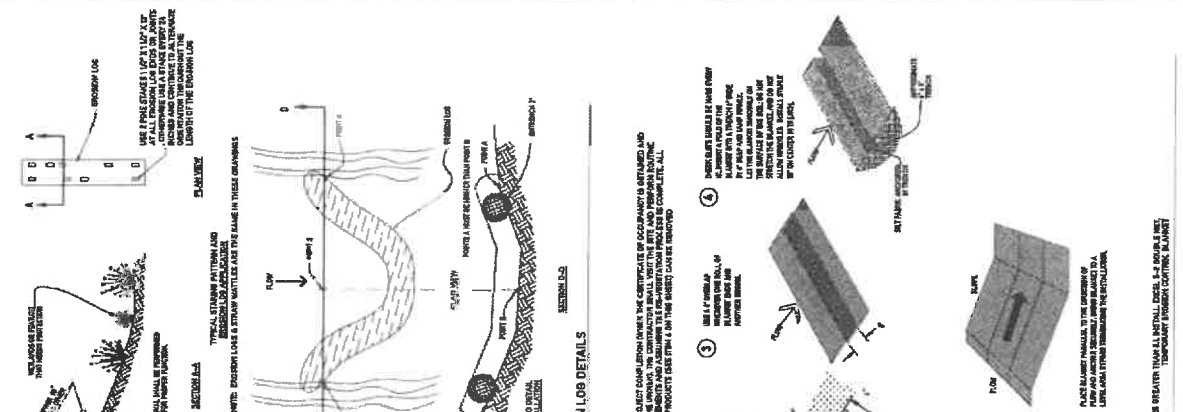
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**EROSION CONTROL MEASURES:**

1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL THE EROSION CONTROL MEASURES HAVE BEEN RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION CONTROL MEASURES UNTIL THE EROSION CONTROL MEASURES HAVE BEEN RESTORED TO ORIGINAL OR BETTER CONDITION.
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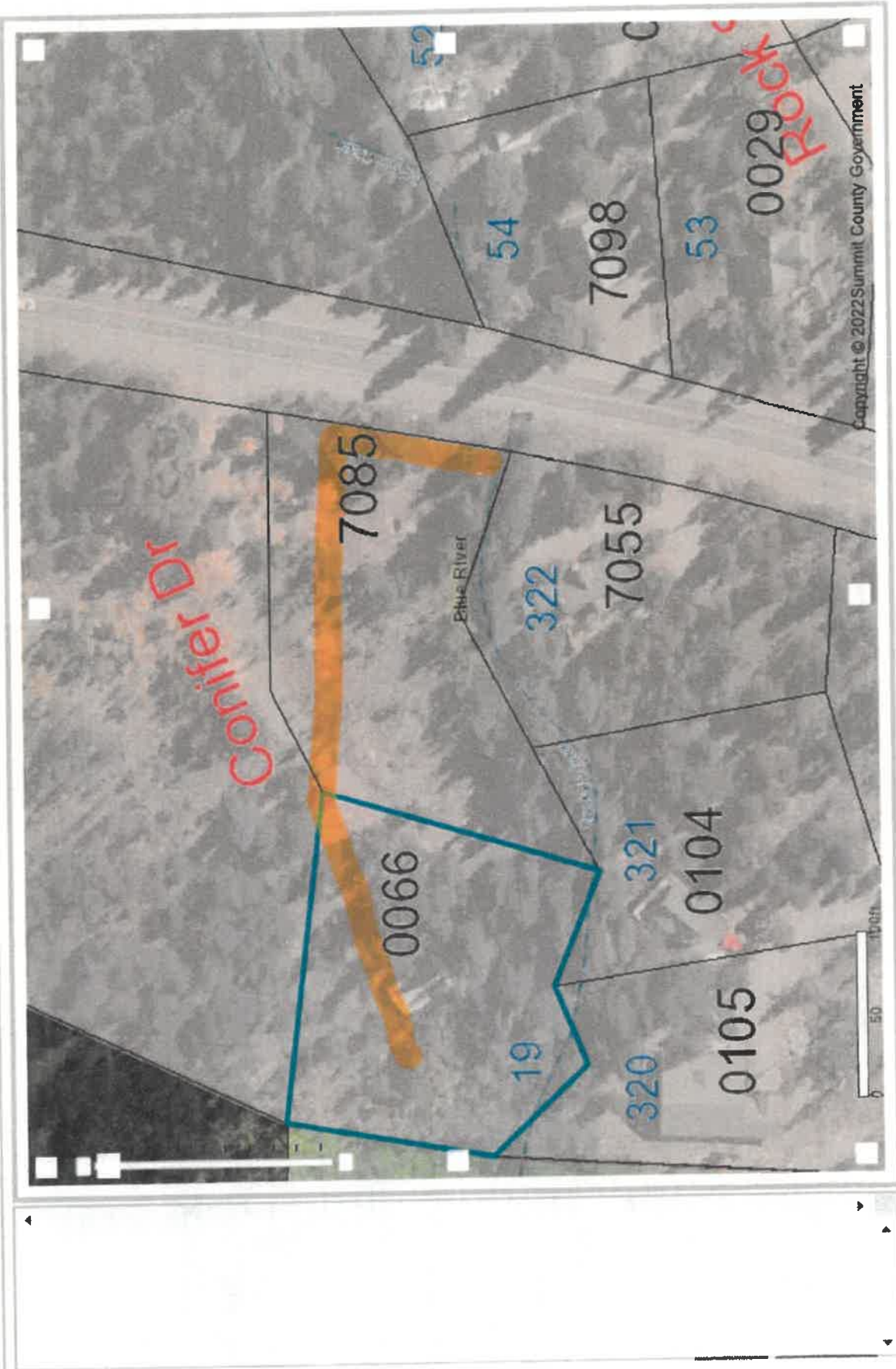
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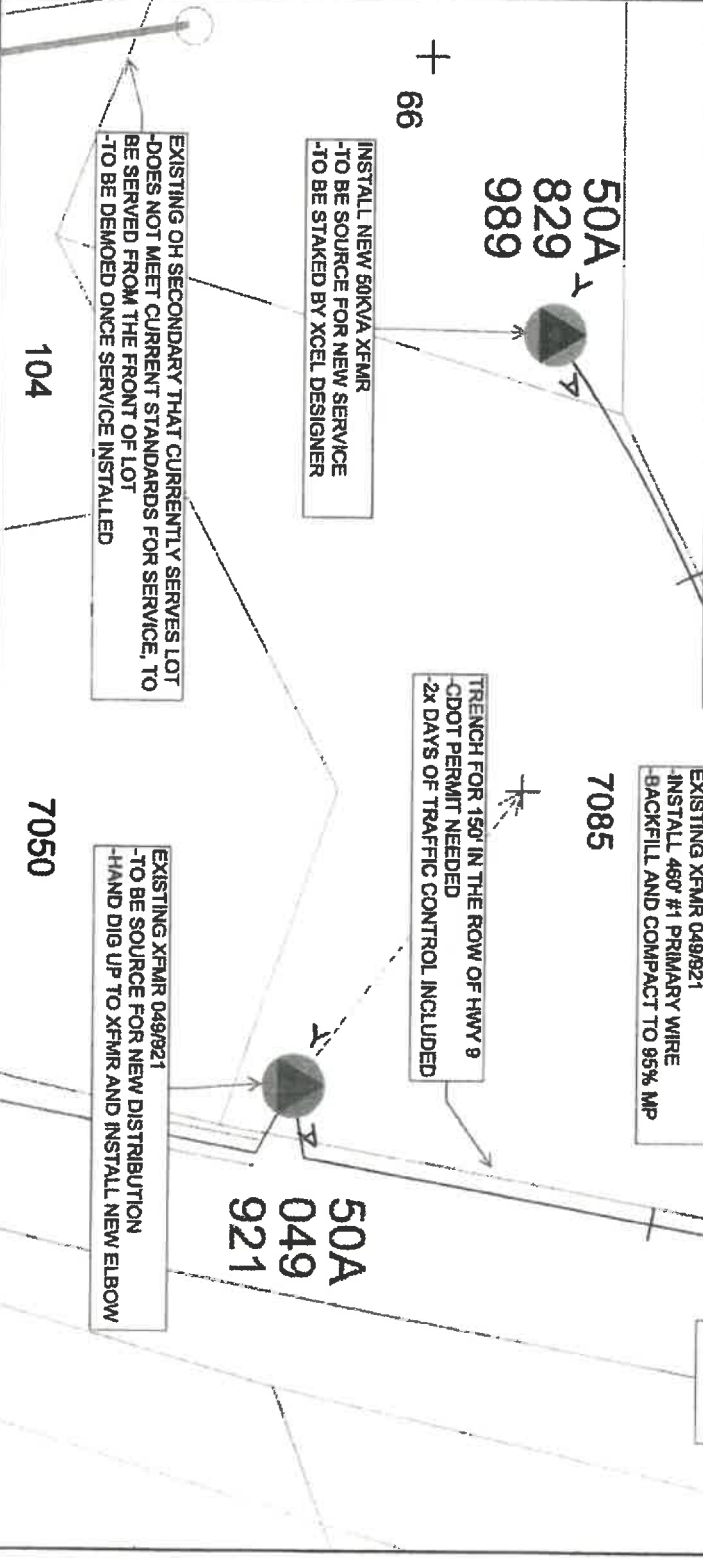


**CONIFER DR - BLUE RIVER**  
**ARREST CROSS STREET - CONIFER DR AND HWY 9**  
**CTRIC DISTRIBUTION UPGRADE - BETTERMENT**

INSTALL OH SERVICE ON LOT CURRENTLY OUT OF STANDARD TO SERVE CUSTOMER, NEW UG DISTRIBUTION TO BE INSTALLED TO SERVE CUSTOMER FROM FRONT OF LOT.  
 -XFMR 049/921 TO BE SOURCE FOR NEW UG DISTRIBUTION, HANDING UP TO XFMR AND INSTALL NEW ELBOW  
 -TRENCH FOR 450' TOTAL FROM EXISTING XFMR TO PROPERTY CORNER OF 66 CONIFER DR, SET NEW 50KVA XFMR AT PROPERT CORNER  
 -150' OF TRENCHING TO OCCUR IN THE ROW OF HWY 9, CDOT PERMIT NEEDED WITH 2X DAYS OF TRAFFIC CONTROL  
 -INSTALL 480' #1 PRIMARY WIRE FROM EXISTING XFMR TO NEW XFMR  
 -BACKFILL AND COMPACT TO 95%MP

SINGLE LANE CLOSURE TRAFFIC CONTROL AND TOWN OF BLUE RIVER / CDOT PERMIT REQUIRED.

DESIGN CONTRACT - PETER KUNZ - 970-409-9123 - Peter.Kunz@xcelenergy.com  
 CUSTOMER CONTACT - RUSS BLANCKEN - 512-656-3839 - Russ@blgrftexas.com



EXISTING OH SECONDARY THAT CURRENTLY SERVES LOT DOES NOT MEET CURRENT STANDARDS FOR SERVICE, TO BE SERVED FROM THE FRONT OF LOT  
 -TO BE DEMOED ONCE SERVICE INSTALLED

EXISTING XFMR 049/921  
 -TO BE SOURCE FOR NEW SERVICE  
 -HAND DIG UP TO XFMR AND INSTALL NEW ELBOW

TRENCH FOR 150' IN THE ROW OF HWY 9  
 -CDOT PERMIT NEEDED  
 -2X DAYS OF TRAFFIC CONTROL INCLUDED

TRENCH FOR 450' TOTAL FROM EXISTING XFMR 049/921  
 -INSTALL 480' #1 PRIMARY WIRE  
 -BACKFILL AND COMPACT TO 95% MP

TRENCH FOR 450' TOTAL FROM EXISTING XFMR 049/921  
 -INSTALL 480' #1 PRIMARY WIRE  
 -BACKFILL AND COMPACT TO 95% MP

7175

7085

HWY 9

66 CONIFER DR

Signature: Russ Blanken  
 DATE: 3-23-2022

**STANDARD**

Project Number: 100001  
 Design Number: 220001  
 Design/Drawn Name: Peter Kunz  
 Design/Drawn P#: 80-004123  
 Designer/Reviewer: Russ Blanken  
 Date: 3/23/2022

**PROJECT INFORMATION**

Project Name: 66 CONIFER DR  
 Project Address: 66 CONIFER DR  
 Project City: BLUE RIVER  
 Project State: CO  
 Project Zip: 80404

**CLIENT INFORMATION**

Client Name: XCEL ENERGY  
 Client Address: 100001  
 Client City: BLUE RIVER  
 Client State: CO  
 Client Zip: 80404

**DESIGNER INFORMATION**

Designer Name: Peter Kunz  
 Designer Title: Designer  
 Designer License: 80-004123

**DATE:** 3-23-2022

**PROJECT:** 66 CONIFER DR

**CLIENT:** XCEL ENERGY

**DESIGNER:** XCEL ENERGY

**DATE:** 3-23-2022

**PROJECT:** 66 CONIFER DR

**CLIENT:** XCEL ENERGY

**DESIGNER:** XCEL ENERGY

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**DATE:** 3-23-2022

**PROJECT:** 66 CONIFER DR

**CLIENT:** XCEL ENERGY

**DESIGNER:** XCEL ENERGY

**DATE:** 3-23-2022

**Example Pic of Exterior**



**Colors to be used:**

**Roof - Silver**

**Siding and Cement board - gray blue**

**Stone - cultured stone in light tan or off white**

**Front Door - black or dark brown**

**Soffits and Fascia - light colored wood stain**

