



PLANNING & ZONING COMMISSION SEPTEMBER 2023

September 05, 2023 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO

AGENDA

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

I. CALL TO ORDER, ROLL CALL

II. APPROVAL OF MINUTES

A. Minutes from July 6, 2023

III. PROJECT APPROVAL

B. 0294 Davis Ct-Addition

IV. ADJOURN

NEXT MEETING -



PLANNING & ZONING COMMISSION JULY 2023

**July 06, 2023 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO**

MINUTES

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

I. CALL TO ORDER, ROLL CALL

PRESENT

- Travis Beck
- Bevan Hardy
- Doug O'Brien
- Tim Johnson
- Gordon Manin
- Troy Watts

ABSENT

- Ben Stuckey
- Noah Hopkins

Also present: Town Manager Michelle Eddy; Building Official Kyle Parag.

II. APPROVAL OF MINUTES

A. Minutes from June 14, 2023

Motion made by Beck, Seconded by Hardy to approve the minutes of June 14, 2023. Motion passed unanimously.

Voting Yea: Beck, Hardy, O'Brien, Johnson, Manin, Watts

III. PROJECT APPROVAL

B. New Construction Project

Manager Eddy presented proposed new construction project. She noted the Building Official's report recommended approval. She noted the color board was in the legend and meets requirements.

Motion made by O'Brien, Seconded by Watts.

Voting Yea: Beck, Hardy, O'Brien, Johnson, Manin, Watts

C. 0038 Rock Springs-Addition

Manager Eddy presented the addition project for 0038 Rock Springs Rd. This project is recommended for approval by the Building Official.

Motion made by Hardy, Seconded by O'Brien to approve the addition at 0038 Rock Springs Road. Motion passed unanimously.

Voting Yea: Beck, Hardy, O'Brien, Johnson, Manin, Watts

D. Permit has been issued. This is a design change order for the garage.

Manager Eddy noted there was an issue with the original survey. Upon finding the error and making corrections, as well as a need to meet the CDOT Access agreement requirements, the owners have opted to change the garage. The Building Official has recommended approval of the change.

Motion made by O'Brien, Seconded by Hardy to approve the change order at 6270 Hwy 9. Motion passed unanimously.

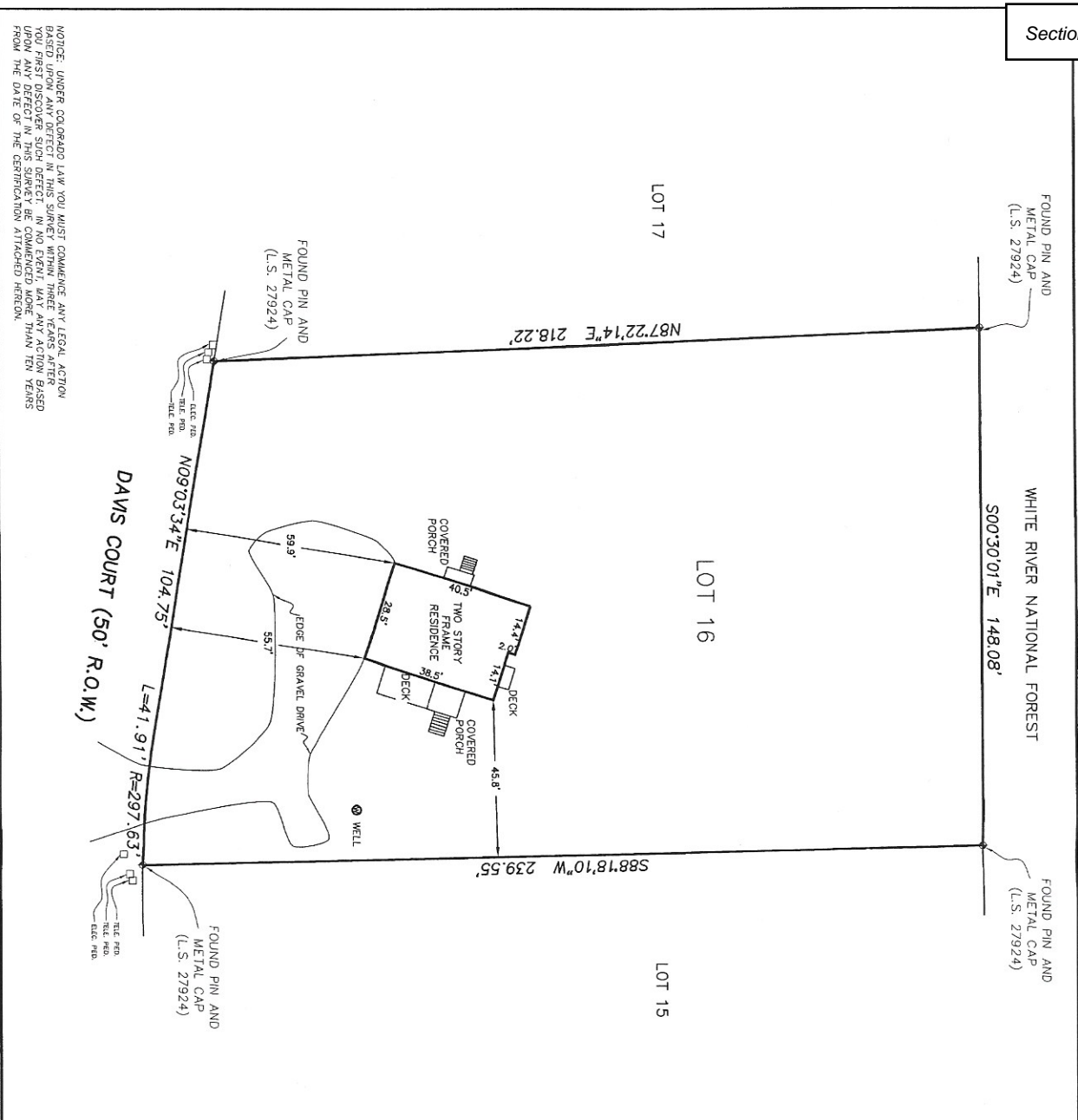
Voting Yea: Beck, Hardy, O'Brien, Johnson, Manin, Watts

IV. ADJOURN

Motion made by Beck, Seconded by O'Brien to adjourn at 6:23 p.m. Motion passed unanimously.

Voting Yea: Beck, Hardy, O'Brien, Johnson, Manin, Watts

NEXT MEETING -



NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER THE DATE OF THE CERTIFICATION ATTACHED HEREON. IF YOU FAIL TO FILE A WRIT OF HABEAS CORPUS WITHIN THE PERIOD OF TEN YEARS UPON ANY DEFECT IN THIS SURVEY, YOU SHALL BE CONSIDERED TO HAVE WAIVED YOUR RIGHTS TO CHALLENGE THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR WILLIAM K. REID AND CATHERINE B. REID, THAT IT IS NOT A LAND SURVEY PLAN OR IMPROVEMENT SURVEY PLAN AND THAT IT IS NOT TO BE RELED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.

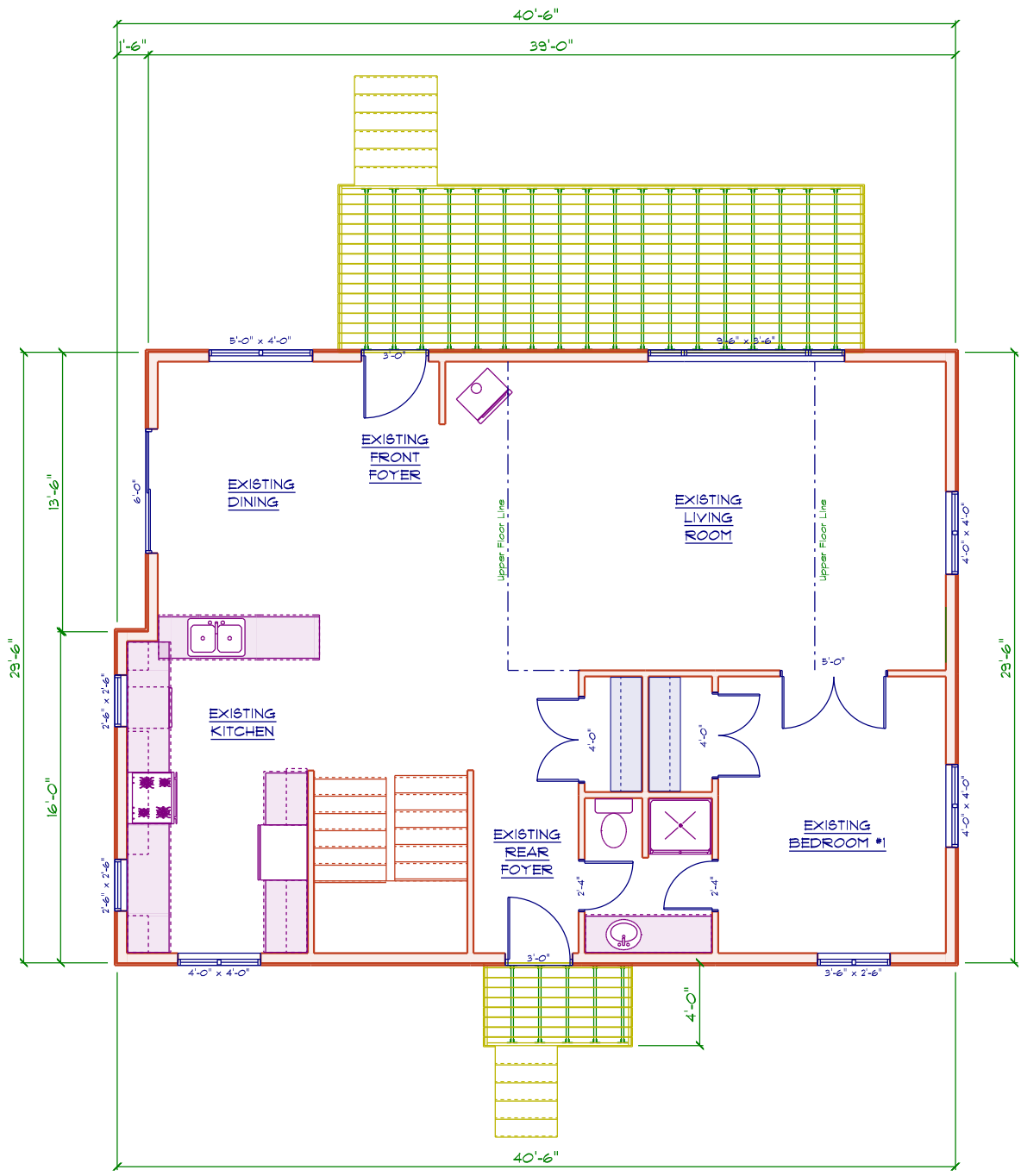
I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, OCTOBER 12, 2004, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

THIS IMPROVEMENT LOCATION SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ROB ANDREWS LAND SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD, FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, ROB ANDREWS LAND SURVEYING RELIED UPON TITLE COMMITMENT NO. 34012804 ISSUED BY TEN MALE FIDELITY AS AN AGENT FOR LAWYERS TITLE INSURANCE CORPORATION.

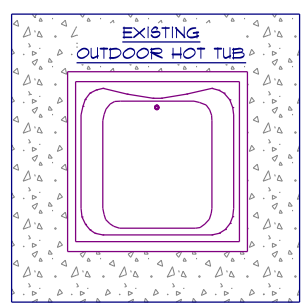
By *Robert E. Andrews*
 ROBERT E. ANDREWS, S. L.S. 27924
 OCTOBER 12, 2004
 PROFESSIONAL LAND SURVEYOR



ADDRESS: 0294 DAVIS COURT	
ROB ANDREWS LAND SURVEYING	
P. O. BOX 1351, BRECKENRIDGE, CO 80424	
(970) 453-1880	
IMPROVEMENT LOCATION CERTIFICATE	
LOT 16	
ASPEN VIEW SUBDIVISION	
TOWN OF BLUE RIVER	
SUMMIT COUNTY, COLORADO	
DRAWN BY: JEM	PROJECT NUMBER: 042507
SCALE: 1" = 30'	DATE: OCTOBER 12, 2004



294 DAVIS COURT
EXISTING CONDITIONS





Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: _____ Subdivision: _____

Blue River Physical Address: _____

Homeowner Information:

Name: _____

Mailing Address: _____

Phone: _____

Email: _____

Contractor Information

Company Name: _____

Contact Name: _____

Mailing Address: _____

Phone: _____

Email: _____

Contractor Registration #: _____

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

Distance to Property Line	Type of Heat:	Construction Type:
North:	Roof:	Building Height:
South:	Exterior Walls:	No. Stories:
East:	Interior Walls:	Total # Bedrooms:
West:	Basement Fin. Sq.Ft.:	Total # Bathrooms:
New Addition/Res. Sq.Ft.:	Main Level Sq.Ft.:	Septic or Sewer:
Garage Sq.Ft.:	2 nd Level Sq.Ft.:	
Total Square footage:	3 rd Level Sq.Ft.:	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: _____ Date: _____



Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: 16 Subdivision: Aspen View
Blue River Physical Address: 294 Davis Ct Breckenridge, CO 80424

Homeowner Information:

Name: Jennifer Doerger, Craig Doerger
Mailing Address: 294 Davis Ct Breckenridge, CO 80424
Phone: 513-544-5083
Email: cjdoerger@gmail.com

Contractor Information

Company Name: JVC LLC
Contact Name: Rodney Bahr
Mailing Address: 96 Climax Dr. Dillon, CO 80435
Phone: 651-757-7869
Email: rod@jvcconsult.com
Contractor Registration #: To Be Updated with Town of Blue River

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

On the North Side Construct a 15' 7" x 18' Master Bedroom with Ensuite Bathroom Addition with an Integrated Porch to the West to match the Existing House

Distance to Property Line	Type of Heat: <u>Electric Baseboard</u>	Construction Type: <u>Stick Frame</u>
North: <u>48.5</u>	Roof: <u>Asphalt Shingles</u>	Building Height: <u>15' 10"</u>
South: <u>45.8</u>	Exterior Walls: <u>2x6</u>	No. Stories: <u>1</u>
East: <u>120.5</u>	Interior Walls: <u>2x4</u>	Total # Bedrooms: <u>1</u>
West: <u>55.7'</u>	Basement Fin. Sq.Ft.: <u>N/A</u>	Total # Bathrooms: <u>1</u>
New Addition/Res. Sq.Ft.: <u>280</u>	Main Level Sq.Ft.: <u>280</u>	Septic or Sewer: <u>Sewer</u>
Garage Sq.Ft.: <u>N/A</u>	2 nd Level Sq.Ft.: <u>N/A</u>	
Total Square footage: <u>280</u>	3 rd Level Sq.Ft.: <u>N/A</u>	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ___ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ___ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: _____ Date: _____

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
X	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	A0.1
X		Property Boundaries	A0.1
X		Building Envelope with setbacks	A0.1
X		Proposed Buildings	A0.1
X		Structures (existing & proposed)	A0.1
		Driveway & Grades	
		A wetlands delineation & Stream crossing structures where applicable.	
		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	
X		Transformer & vault location (if installed by owner or existing)	A0.1
X		Well location; septic if applicable	A0.1
		Snow storage areas and calculations	
		Major site improvements	
		Existing & proposed grading & drainage	
	Landscaping Plan	*May be included in the site plan**	
X		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	A0.1
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	
		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	
	Floor Plans	Scale 1/8" = 1'	
X		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	A2.2
	Exterior Elevations	Scale same as floor plans	
X		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	A3.0
	Roof Plan	Scale same as floor plans	
X		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	A2.3
X	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	A4.0

After Approval and BEFORE Permit is Issued:

ELECTRONIC COPY Stamped set.

- All of the above mentioned plus items below in one plan set.

Completed <input checked="" type="checkbox"/>	Item	Page #
	Soils report if applicable	
	Electrical, plumbing and mechanical plans.	
	Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.	
	Stamped structural plan	
	Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.	
	Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District	
	Colorado Department of Transportation Hwy Access Permit	
	Designation of General Contractor, except for bona fide homeowner contractor	
	For Manufactured Homes the following additional information is required	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Approved Plans 	
	<ul style="list-style-type: none"> • State of Colorado Division of Housing Registered Installer Certificate 	

Blue River Plan Submittal Requirements for Residential Plan Review

- ❖ When designing the structure, refer to the Blue River Municipal Town Code, Chapter 16 for zoning information and allowable uses/construction. The Building Code information is available under Chapter 18. <https://townofblueriver.colorado.gov>.
- ❖ Building Codes Adopted:
 - International Residential Code 2018
 - The Electrical Code is the current code adopted by the State of Colorado: 2020

Note: Applicable codes are required to be notated on plans.

- ❖ Snow loads:
 - Roofs shall be designed in accordance with accepted engineering practice based upon a ground snow load of 100 psf.
 - Balconies/decks-125 psf.
 - No reductions for duration.
- ❖ Frost line depth:
 - Foundation footing minimum depth below grade-40 inches.
 - Uncovered deck piers may be set at 24 inches.
- ❖ Roof underlayment 100% Ice & Water shield.
- ❖ Roof may be metal; 30-year minimum architectural grade, composition fiberglass (dark brown, dark gray, dark green, weathered wood or black only); or class-A #1 cedar shakes.
- ❖ Wind speed: 90 mph, exposure “B”. Seismic design category: “B”.
- ❖ Propane gas alarm/shutoff system required.
- ❖ Wood burning stoves: Required to meet Colorado Dept. of Health, Regulation No. 4.
- ❖ The building height limit in the Town is 35 feet. Refer to the Architectural Guidelines for additional information.
- ❖ Locally re-settable GFCI breakers are required in bathrooms.
- ❖ Compliance with the International Energy Conservation Code is required.
- ❖ Any application that would create an accessory apartment must meet zoning regulations and will not be processed without prior approval of the Town Board of Trustees.
- ❖ Note that Hwy 9 access permits may require 3-4 months and well permits 5-6 weeks.
- ❖ Planning & Zoning Commission approvals become void if the building permit is not issued within eighteen (18) months.
- ❖ Building permits become void if construction is discontinued for more than 180 days.

In order for your permit application to be reviewed and processed properly, the following construction information must be provided. **Note:** "Preliminary" and/or plans shown as "Not for Construction" or similar are unacceptable. ***Hardcopy submittals will not be accepted.***

Note: Items below are not all inclusive of the requirements. Please review the Building Application Packet, design guidelines, building and land use codes for complete information.

Soils Report

Must be sealed and signed by a licensed Colorado Engineer.

- Provide an engineer's soil investigation report indicating type of soil and recommended foundation design. include any required shoring.

Improvement Survey Plat

- Provide an Improvement Survey Plat (ISP) following Colorado Revised Statutes for new principal structures, substantial expansions (25% or more) to principal structures and new accessory dwelling units (ADU's).
- Provide a permanent reference to spot elevation (benchmark) that will not be disturbed during construction.
- Provide existing spot elevations at property corners and at midpoints of the side property lines.
- Must be stamped and signed by a Professional Land Surveyor (PLS) licensed by the state of Colorado.

Site Plan

- Provide site plan that shows dimensions reflecting the distances to property lines
- Indicate all public or private easements
- Show location of all proposed and existing structures with dimensions
- Provide type of construction for all structures on site
- Provide landscaping plan.
- Show permanent reference spot elevation (benchmark), existing spot elevations at property corners and at midpoints of the side property lines.
- Indicate roof drainage on site plan with arrows showing the direction of the gutter downspouts. Roof drainage shall flow towards the road and away from all structures.

Structural Plans

Plans must be sealed and signed by a Colorado Structural Engineer or Architect

- Indicate size, location and method of reinforcement for all proposed footings, column pads, piers, caissons, grad beams, foundation walls, decks, guardrails, guardrail posts. Specify location of reinforcing steel and anchor bolts.

- Provide complete and clearly dimensioned floor framing plan for each level and roof framing plan which indicates the materials, types, sizes and location of all structural elements.
- Provide complete structural design criteria including but not limited to required design loads, material specifications and structural construction requirements.
- Provide complete structural calculations for each structure.

Architectural Plans

- Provide complete and dimensioned floor layout at each level which identifies the use of each room.
- Provide Complete and dimensioned roof plan and indicate all roof slopes.
- Provide complete and dimensioned reflected ceiling plan.
- Provide exterior elevations for each side of the building which contains an overall building height and floor-to-floor heights and indicate location, size and types of all doors and glazed openings including hazardous glazing and fall protection locations.
- Provide a bulk plane diagram on front and rear exterior elevations relative to the base plane elevation. The base plan for the bulk plane is establishing by taking the average of the existing grades of the midpoints of the two side property lines.
- Provide building and wall sections which clearly identify the required type and location of all materials for construction of beams, columns, floors, walls, ceilings, roofs.
- Provide stair geometry. Include rise and run, handrail and guardrail heights.
- Provide one major section through the exterior wall from footings to the highest part of the roof (min. scale 1/4"=1')
- Provide square foot area breakdown per floor level.

Electrical Plans

Provide electrical plans showing the location and capacity of the service equipment and electrical panels, the location of all smoke detectors, carbons monoxide detectors, electrical receptacles, switches, and lighting fixtures.

Mechanical Plans

- Provide mechanical plans and indicate the location of all heating, ventilating and air conditioning equipment. Show the location of the condensing unit. Detail the equipment access and working clearances.
- Show dryer exhaust termination location and clearances, environmental exhaust termination locations and clearances.
- Provide Manual J and Manual D calculations. Must be legible. No exceptions.
- Provide all fireplace specifications, rated separation details, direct vent termination details when applicable, hearth extensions when required, chimney clearances, shutoff and control access.

Plumbing Plans

- Provide plumbing plans and indicate the location of all plumbing fixtures and appliances (Isometric may be required per the discretion of the plans examiner.)
- Provide the supply line size and main discharge size. Note the water supply inlet location.
- Indicate whether appliances are gas-operated, electric, or otherwise. List types of material to be used for all water supply, drainage and vent piping. Provide fixture max flow rates and insulation values.
- Gas load calculations and piping diagram is required.

Energy Conservation Plans

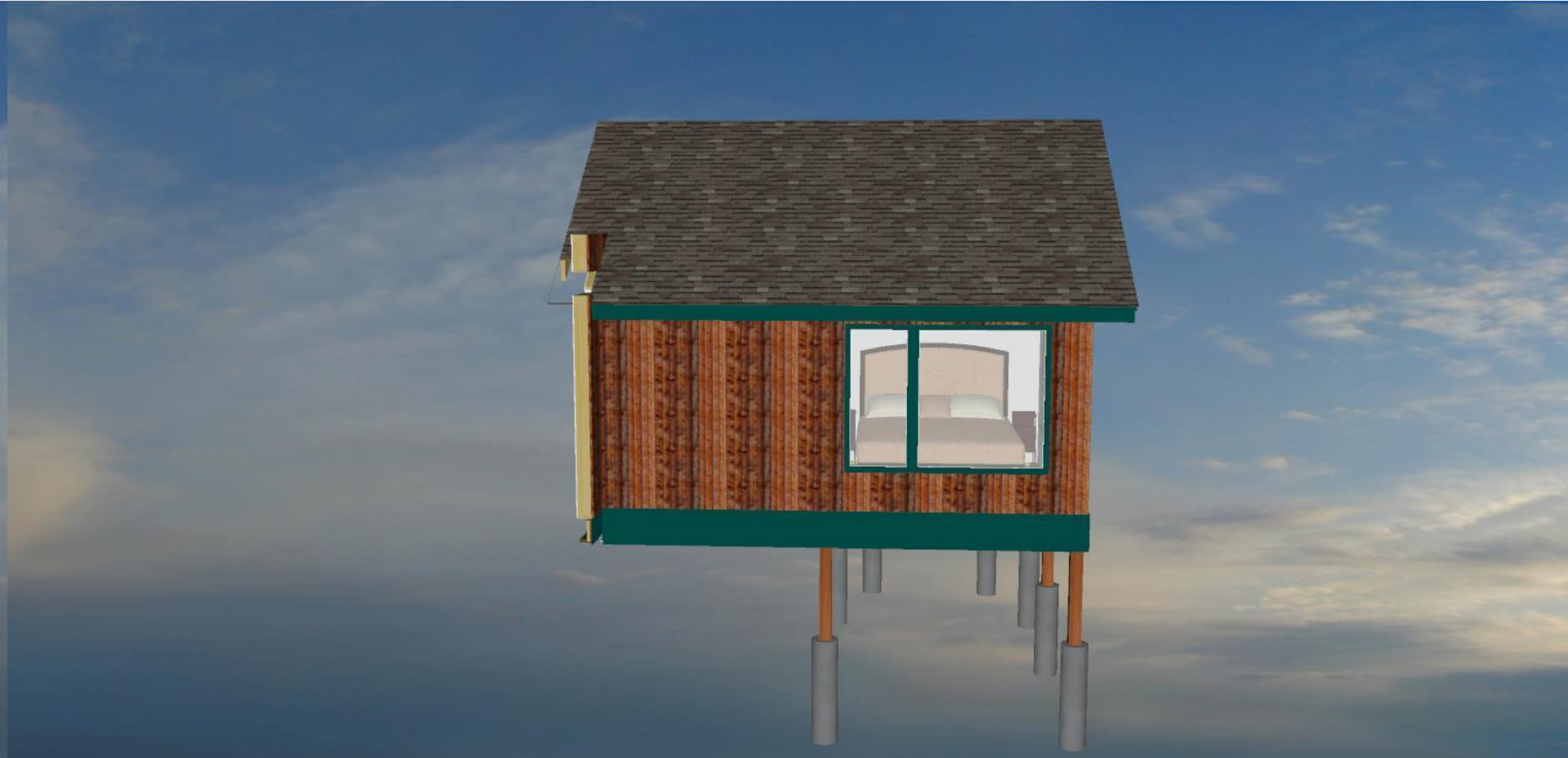
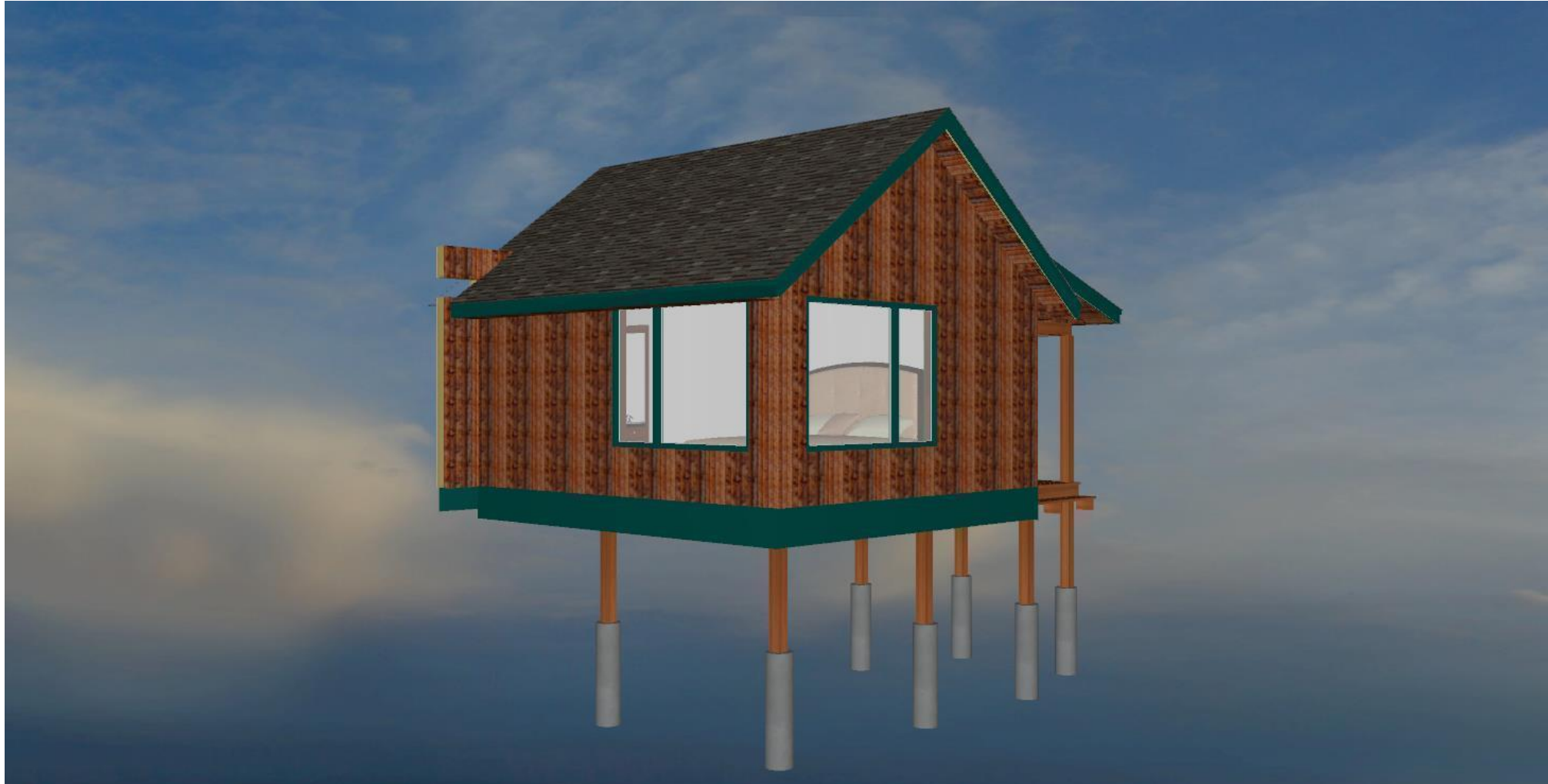
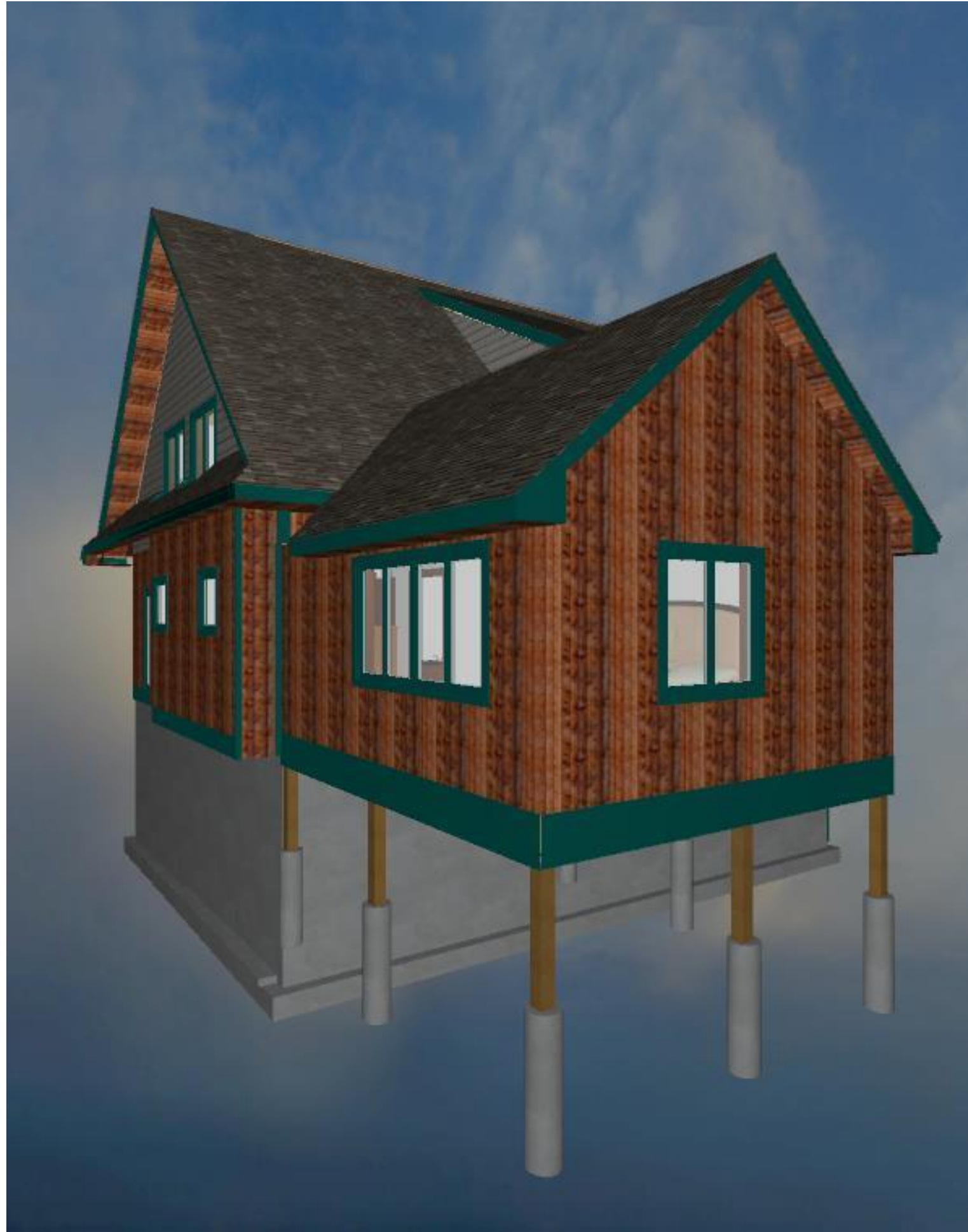
Provide verification that the project meets the requirements of the IECC, or provide a simulated energy performance analysis such as RES-check. Provide all required information per 2012 IECC R103.2.

Resubmittal Requirements

- Provide a written response addressing each correction.
- Provide revision clouds for each correction made.
- Provide updated information in the revision section of the title block.
- Provide complete plan packs per discipline requiring corrections. Example: If you are resubmitting for Civil corrections, provide a complete revised plan pack.

JEN DOEGER ADDITION

294 DAVIS COURT
 BLUE RIVER COLORADO 80424



PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
 96 CLIMAX DRIVE
 DILLON CO 80435

ENGINEER:

SQUARE FOOTAGES

AREA SCHEDULE	
NAME	AREA
ADDITION	281 sq. ft.
DECK AREA ADDITION	74 sq. ft.
DECK AREA EXISTING	230 sq. ft.
LOWER FLOOR	1060 sq. ft.
MAIN FLOOR	1180 sq. ft.
UPPER FLOOR	858 sq. ft.

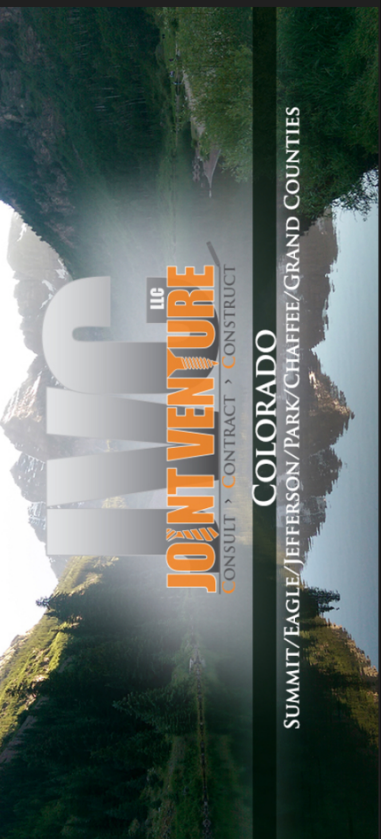
SHEET INDEX

NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	SURVEY
A1.0	SITE PLAN & UTILITIES PLAN
A1.1	CONST MGMT & TREE CONSERVATION
A2.0	FOUNDATION LOWER LEVEL PLAN
A2.2	FIRST FLOOR PLAN
A2.3	ROOF PLAN
A3.0	ELEVATION
A3.1	ELEVATION
A3.2	ELEVATION
A4.0	BUILDING SECTION & FOUNDATION PLAN
E1.0	ELECTRICAL PLAN

DRAWN BY: K GORMAN
 SCALE: NOTED ON PLAN
 DRAFTER: KEN GORMAN
 DATE: AUGUST 8, 2023

CONTRACTORS AND VENDORS ARE RESPONSIBLE FOR VERIFICATION OF DIMENSIONS, LOADS, SPANS AND WILL VERIFY ALL ENGINEERING REQUIRED TO COMPLY WITH STATE AND LOCAL CODE AND ORDINANCES. KEN GORMAN IS A DESIGNER NOT AN ENGINEER, ARCHITECT OR SURVEYOR.

RODNEY BAHR- Owner
 Main Business # 970 279 3763
 Cell Phone # 651 757 1869
 www.jvccconsult.com



JEN DOEGER ADDITION
 294 DAVIS COURT
 BLUE RIVER CO 80424

SHEET #

A0.0

PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
 96 CLIMAX DRIVE
 DILLON CO 80435
 ENGINEER:

DRAWN BY: K GORMAN
 SCALE: NOTED ON PLAN
 DRAFTER: KEN GORMAN
 DATE: AUGUST 8, 2023
 REVISIONS
 APPROVAL, DATE

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SQUARE FOOTAGES

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E1.0	ELECTRICAL PLAN

RODNEY BAHR- Owner
 Main Business # 970 279 3763
 Cell Phone # 651 157 1869
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JEN DOERGER ADDITION
 294 DAVIS COURT
 BLUE RIVER CO 80424

SHEET #

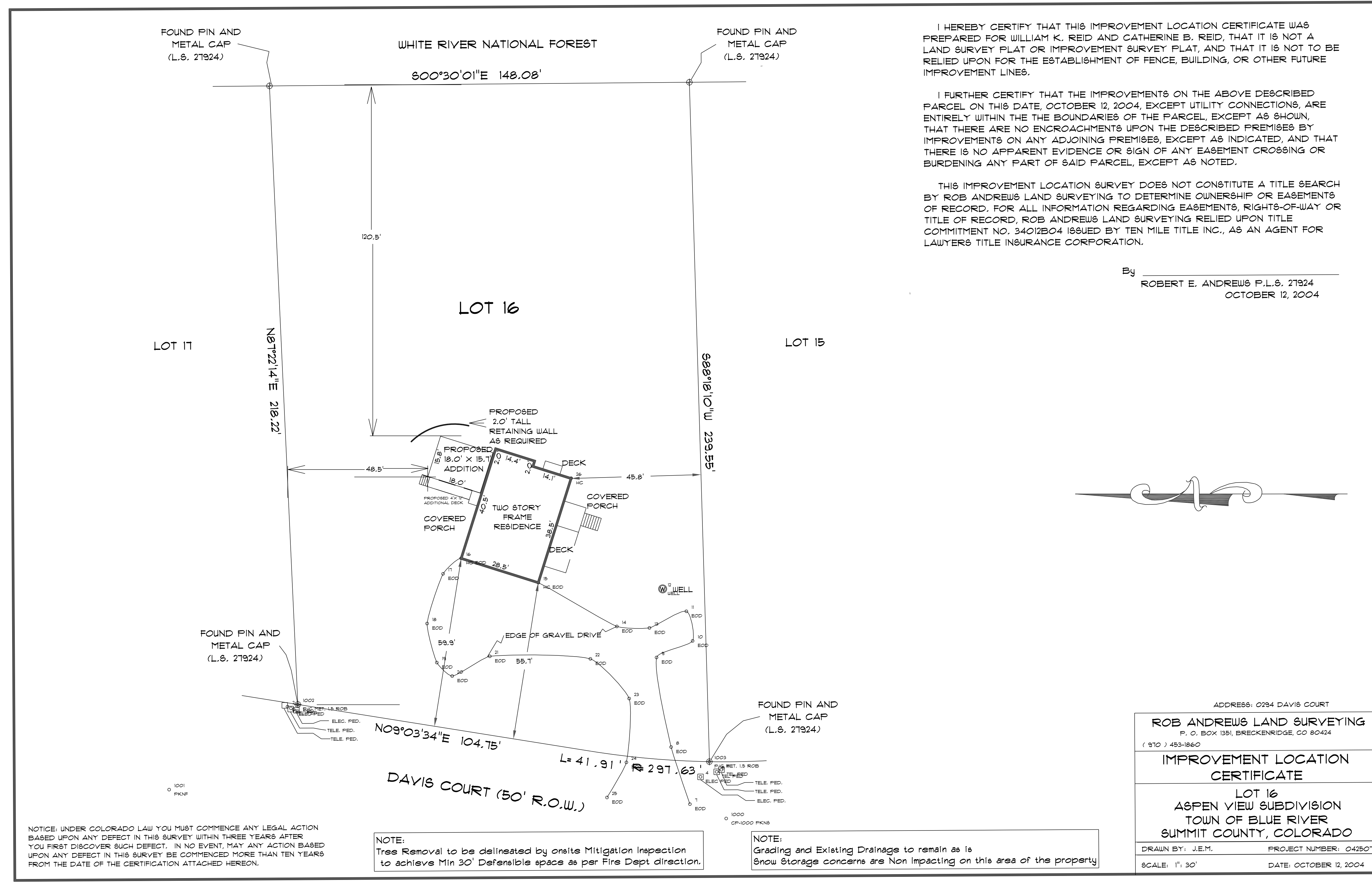
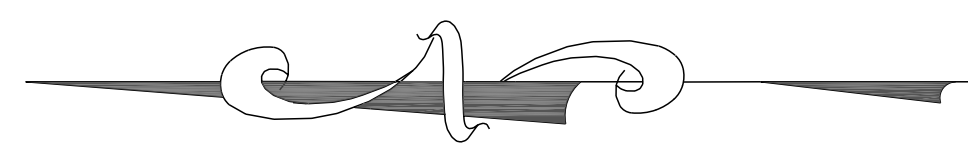
AO.1

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR WILLIAM K. REID AND CATHERINE B. REID, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, OCTOBER 12, 2004, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

THIS IMPROVEMENT LOCATION SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ROB ANDREWS LAND SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, ROB ANDREWS LAND SURVEYING RELIED UPON TITLE COMMITMENT NO. 34012B04 ISSUED BY TEN MILE TITLE INC., AS AN AGENT FOR LAWYERS TITLE INSURANCE CORPORATION.

By _____
 ROBERT E. ANDREWS P.L.S. 27924
 OCTOBER 12, 2004



NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

NOTE:
 Tree Removal to be delineated by onsite Mitigation Inspection to achieve Min 30' Defensible space as per Fire Dept direction.

NOTE:
 Grading and Existing Drainage to remain as is
 Snow Storage concerns are Non impacting on this area of the property

ADDRESS: 0294 DAVIS COURT
 ROB ANDREWS LAND SURVEYING
 P. O. BOX 1951, BRECKENRIDGE, CO 80424
 (970) 453-1860
IMPROVEMENT LOCATION CERTIFICATE
 LOT 16
 ASPEN VIEW SUBDIVISION
 TOWN OF BLUE RIVER
 SUMMIT COUNTY, COLORADO
 DRAWN BY: J.E.M. PROJECT NUMBER: 042601
 SCALE: 1" = 30' DATE: OCTOBER 12, 2004

SITE PLAN
 SCALE: NOT TO SCALE

PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
36 CLIMAX DRIVE
DILLON CO 80435

ENGINEER:

DRAWN BY: K GORMAN
SCALE: NOTED ON PLAN
DRAFTER: KEN GORMAN
DATE: AUGUST 8, 2023
REVISIONS
APPROVAL, DATE

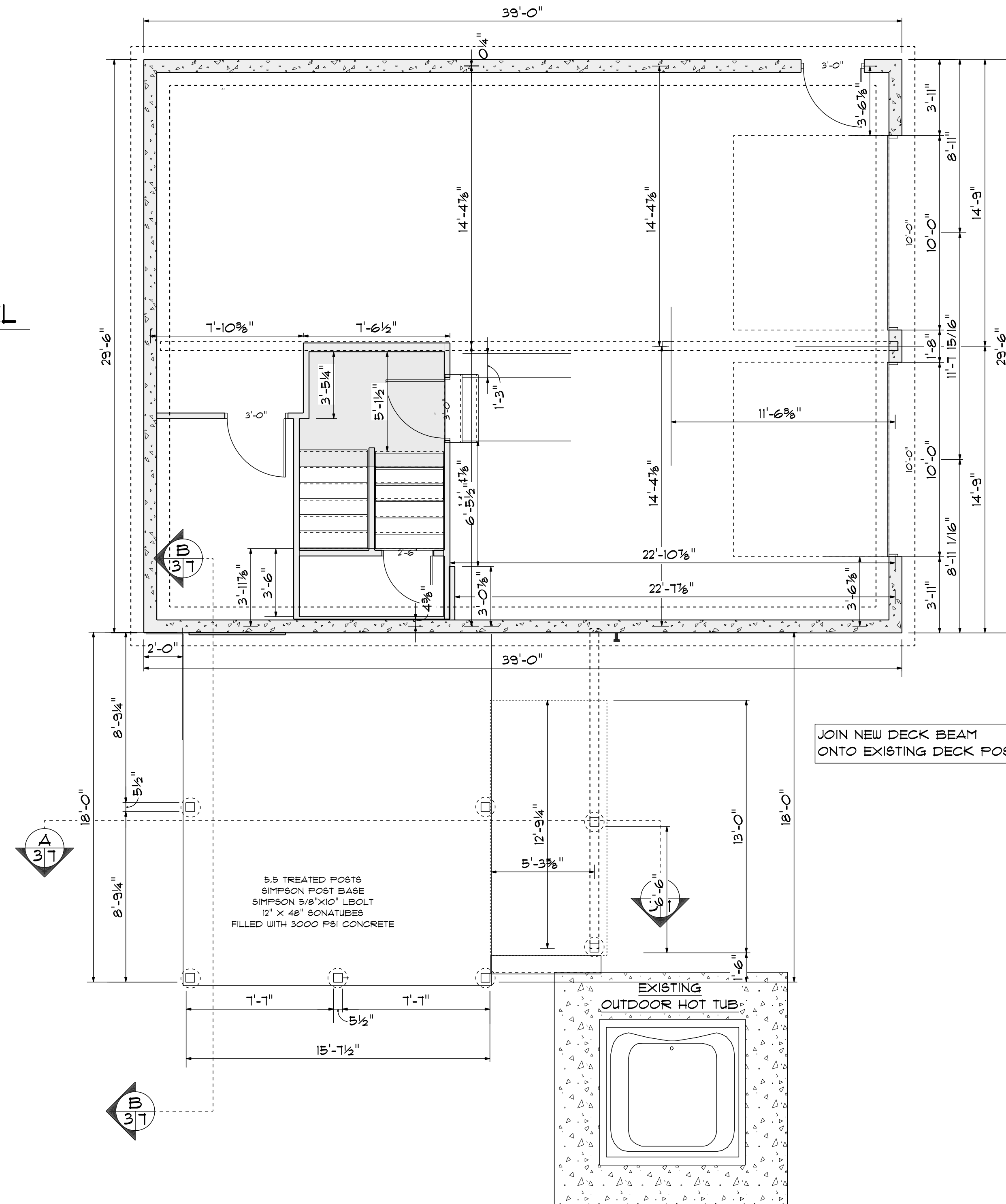
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SQUARE FOOTAGES

SHEET INDEX

NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	SURVEY
A1.0	SITE PLAN & UTILITIES PLAN
A1.1	CONST MGMT & TREE CONSERVATION
A2.0	FOUNDATION LOWER LEVEL PLAN
A2.2	FIRST FLOOR PLAN
A2.3	ROOF PLAN
A3.0	ELEVATION
A3.1	ELEVATION
A3.2	ELEVATION
A4.0	BUILDING SECTION & FOUNDATION PLAN
E1.0	ELECTRICAL PLAN

EXISTING LOWER LEVEL
SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL FOOTINGS
SCALE: 1/4" = 1'-0"

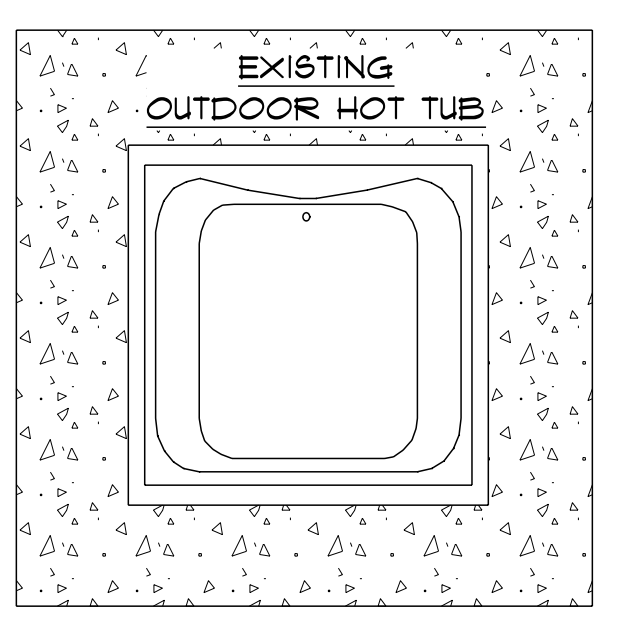
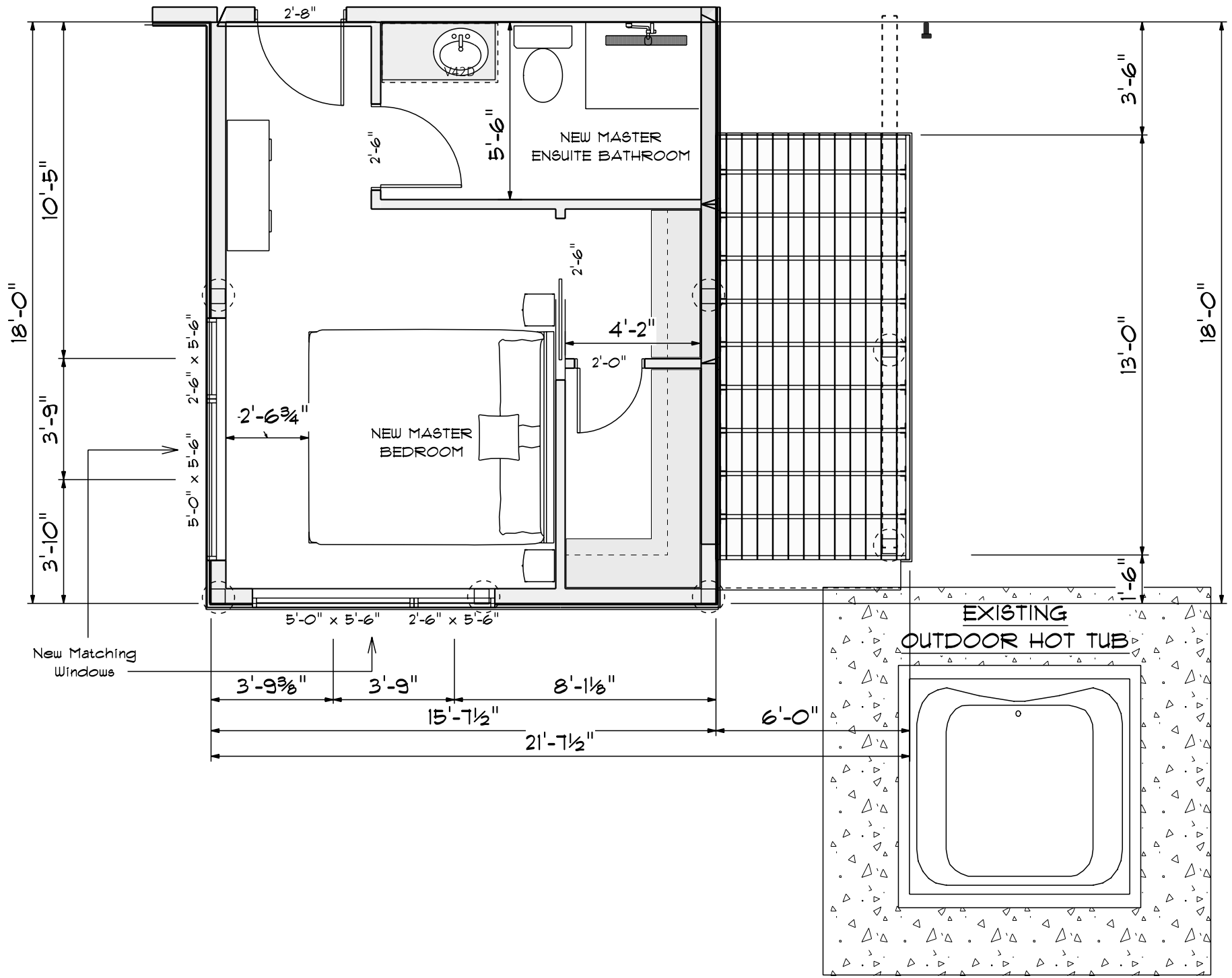
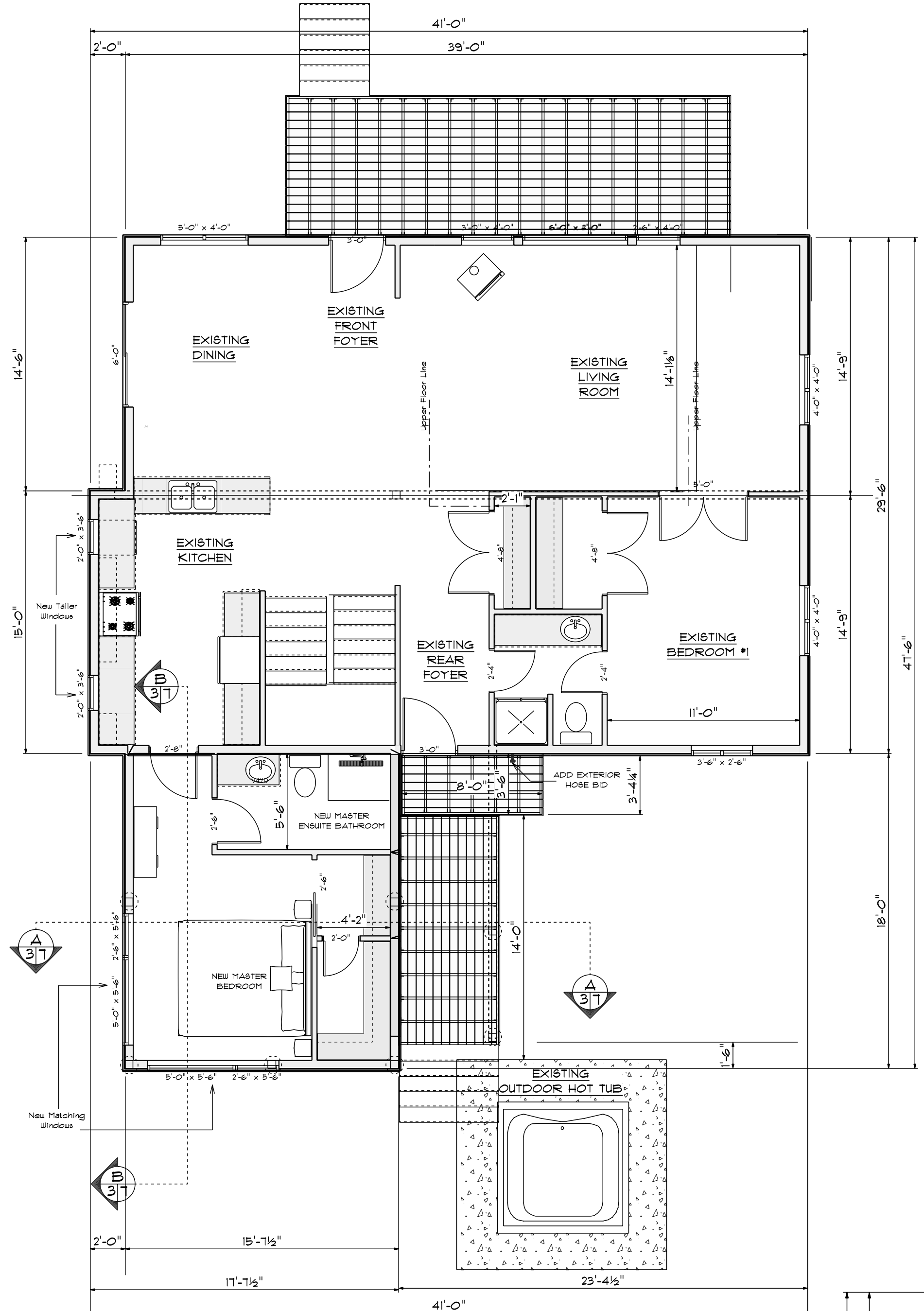
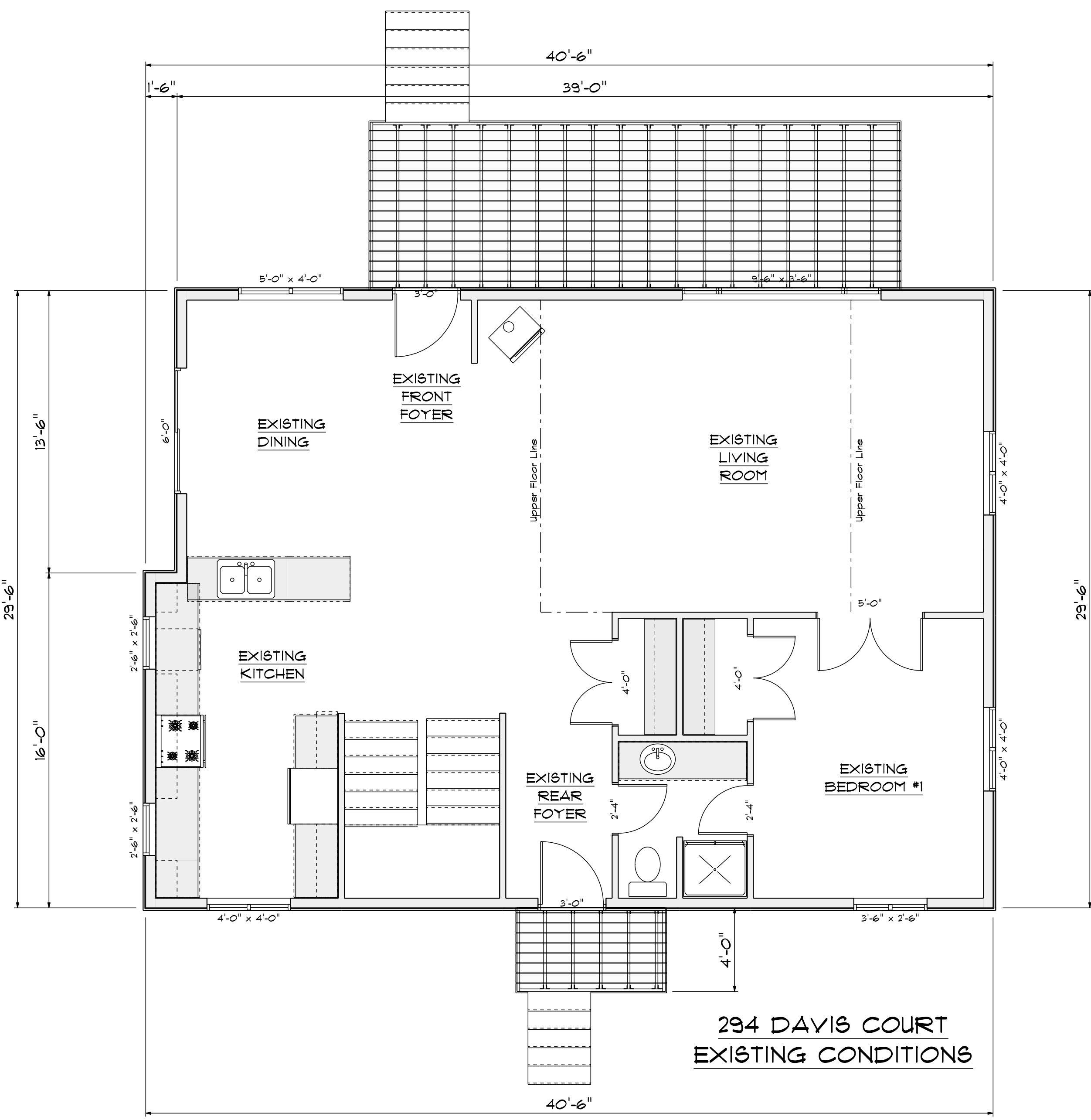
RODNEY BAHR- Owner
Main Business # 970 279 3763
Cell Phone # 651 757 7869
www.jvccconsult.com



JEN DOERGER ADDITION
294 DAVIS COURT
BLUE RIVER CO 80424

SHEET #

A2.0



PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
36 CLIMAX DRIVE
DILLON CO 80435

ENGINEER:

SQUARE FOOTAGES

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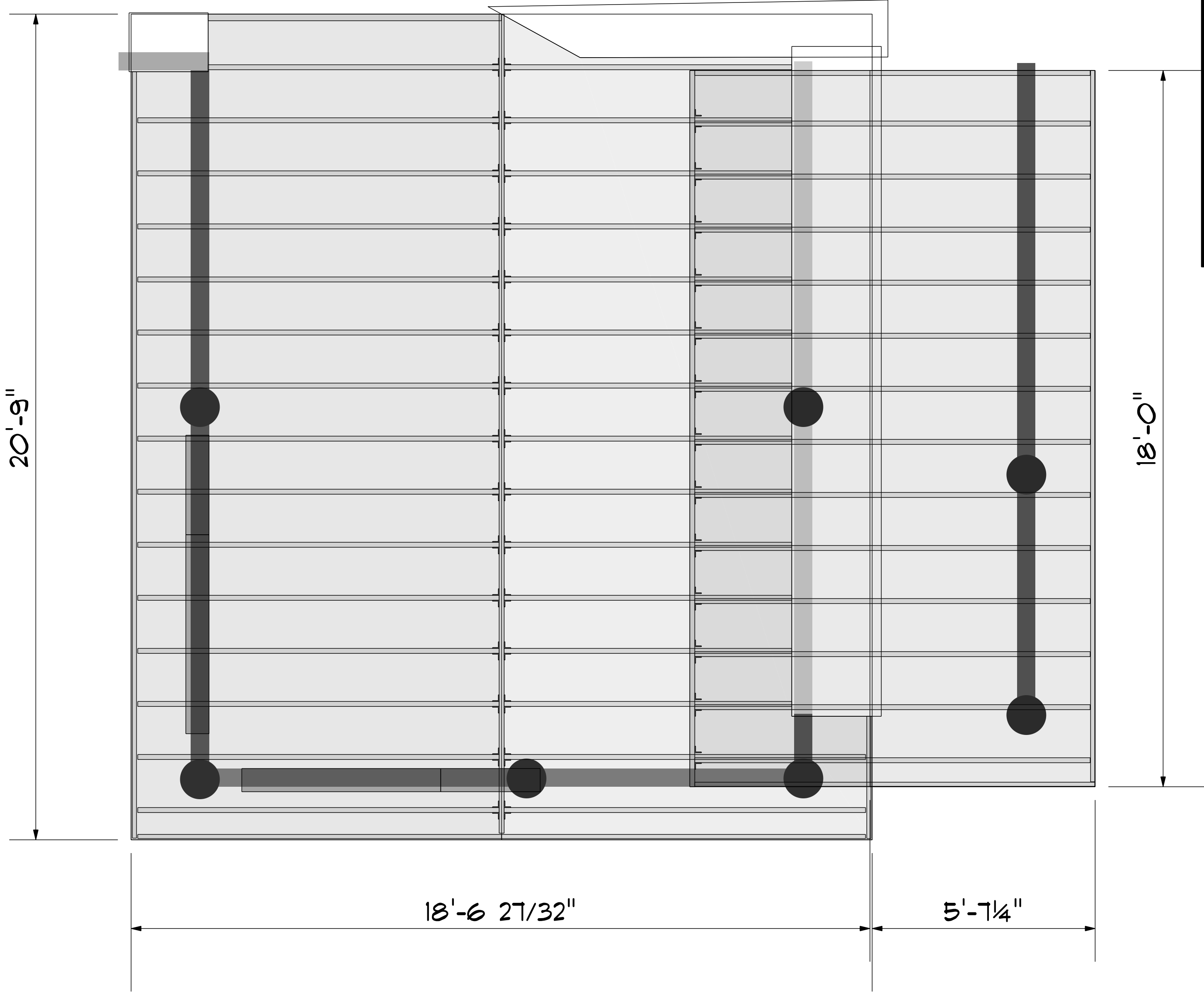
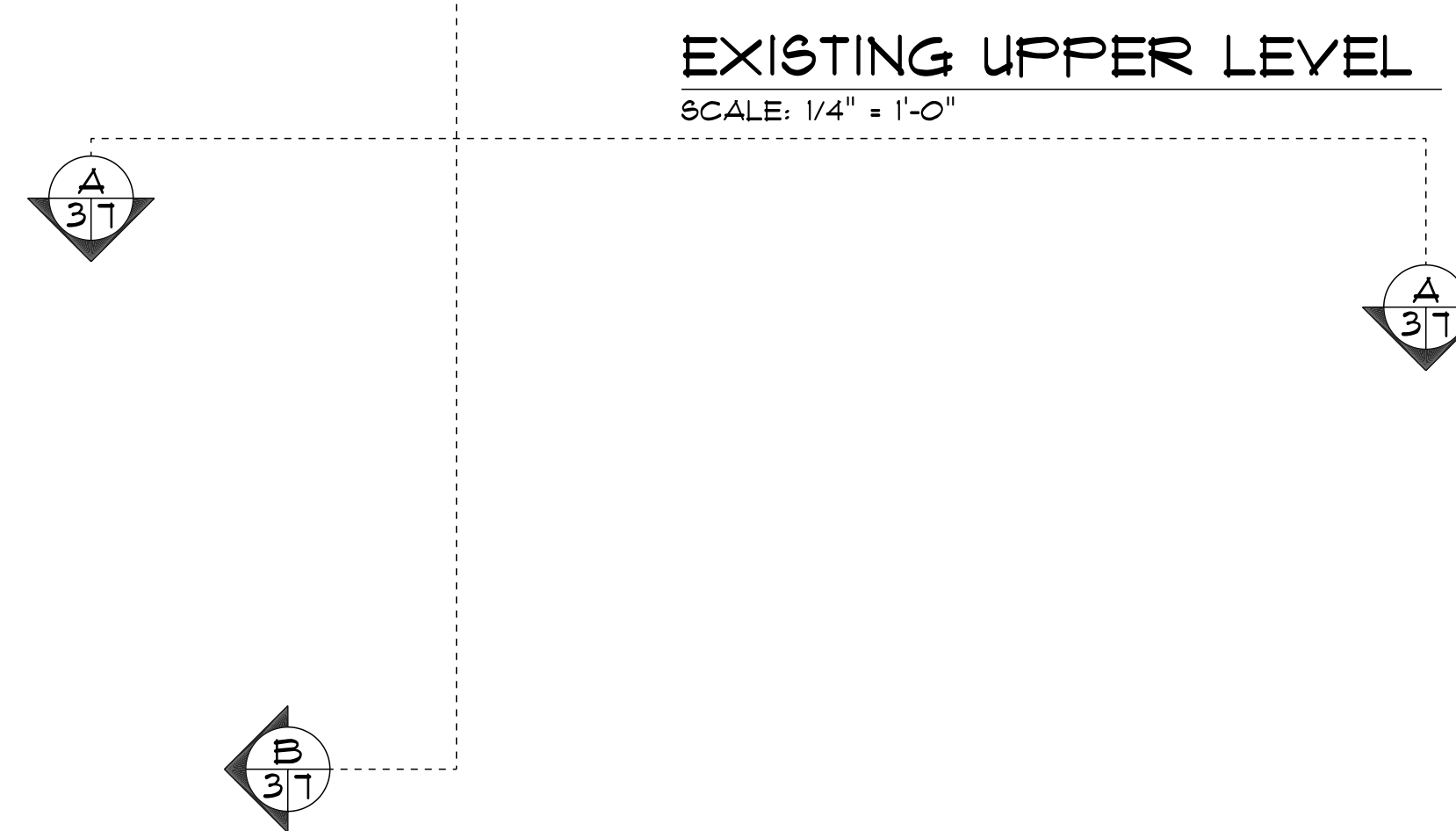
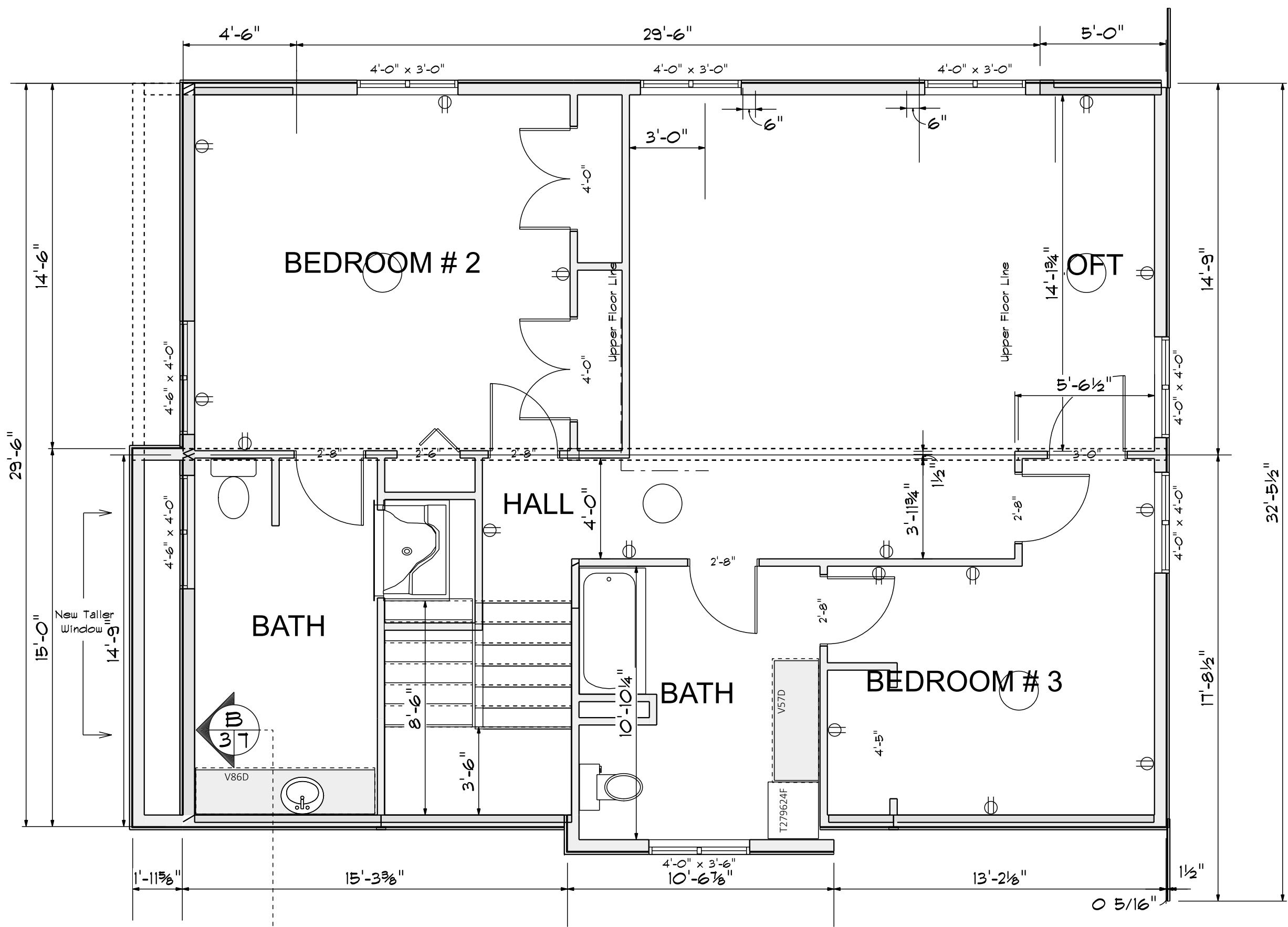
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BLUE RIVER CO 80424

SHEET #

A2.2



PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

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ENGINEER:

SQUARE FOOTAGES

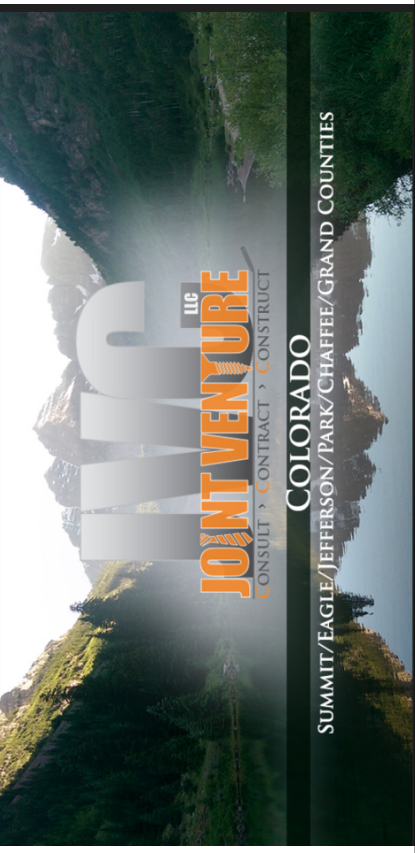
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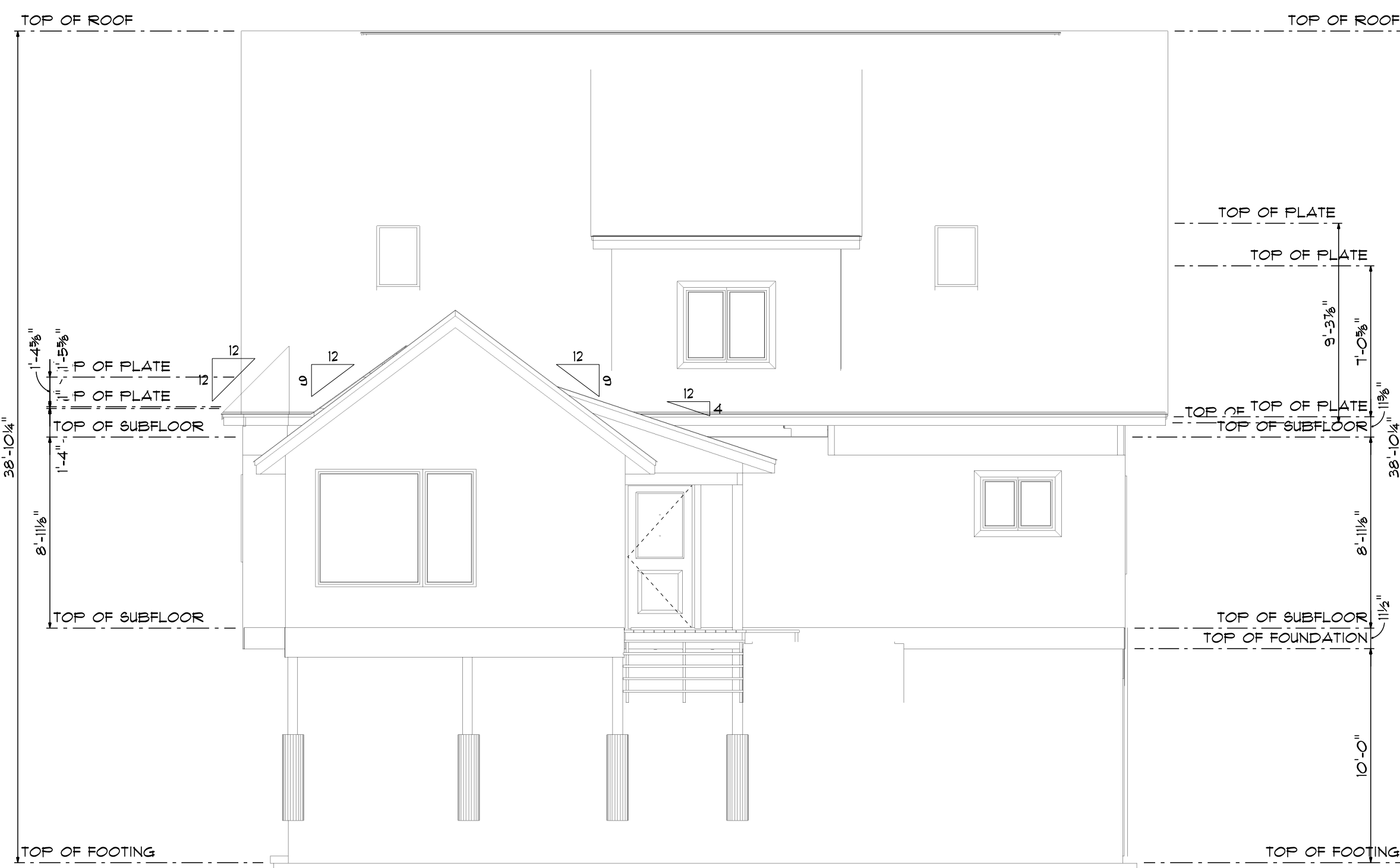
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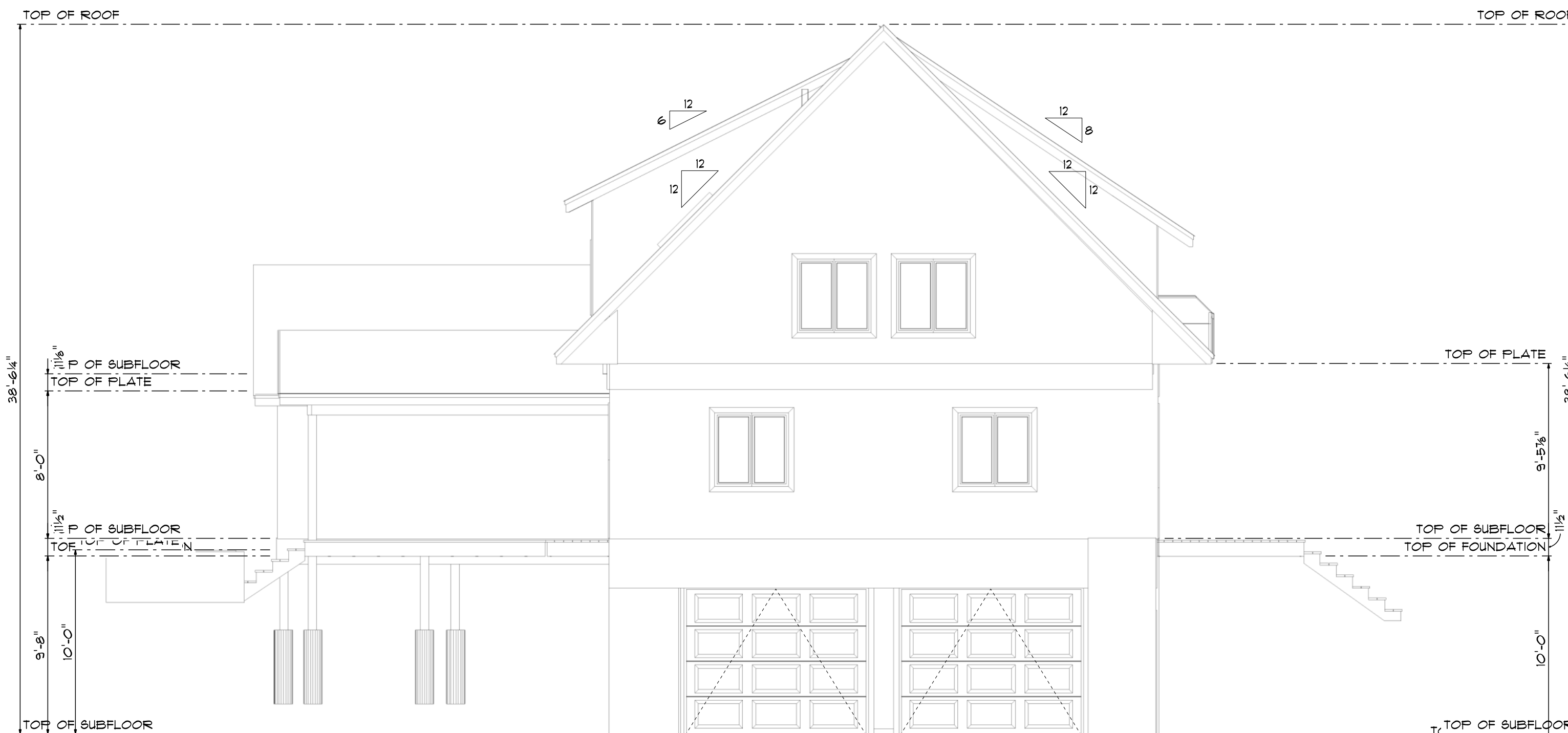
A2.3



Rear Elevation
SCALE: 3/16" = 1'-0"



Right Elevation
SCALE: 3/16" = 1'-0"



Left Elevation
SCALE: 3/16" = 1'-0"



Front Elevation
SCALE: 1/8" = 1'-0"

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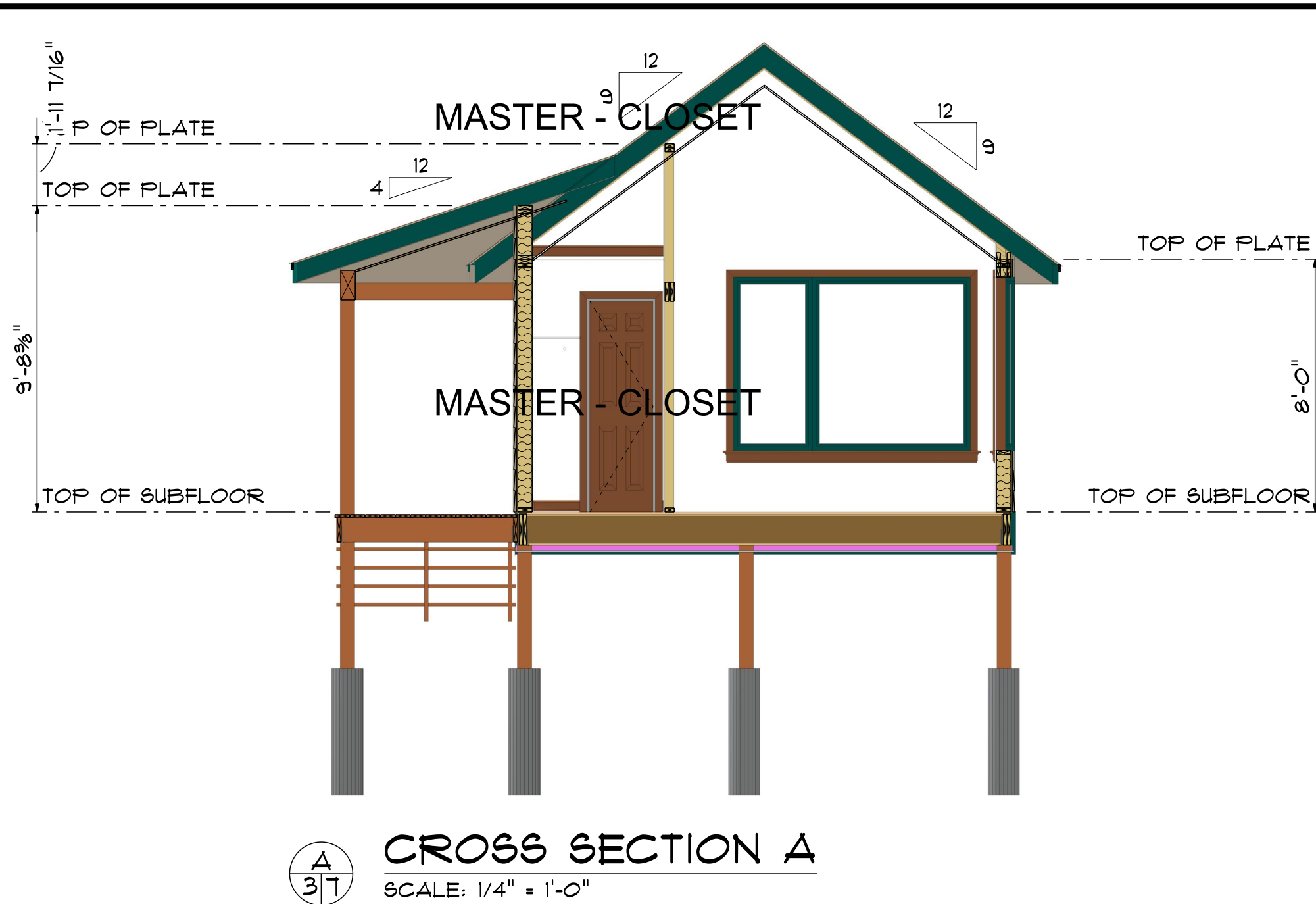
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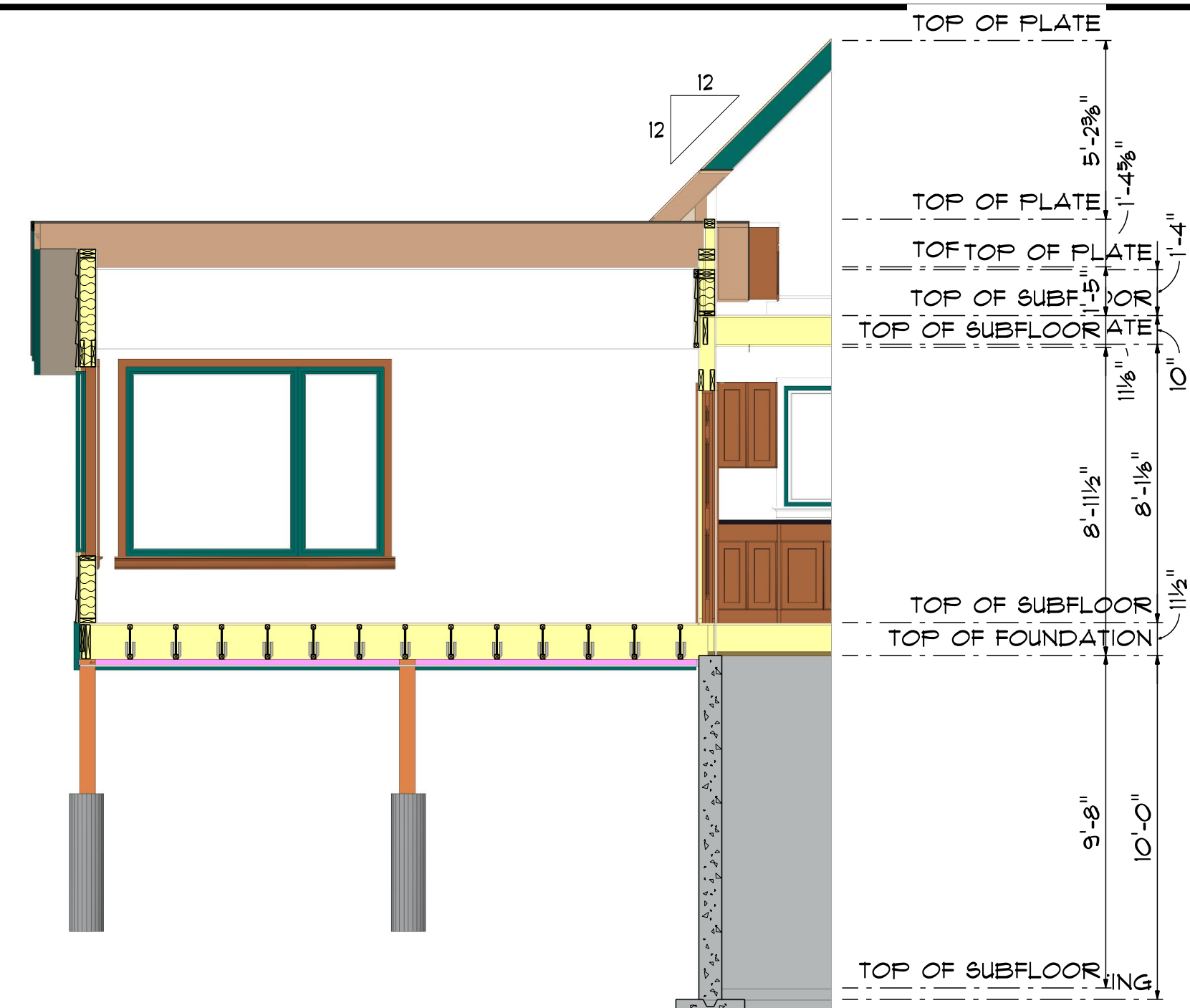
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SHEET #

A3.0



CROSS SECTION A
SCALE: 1/4" = 1'-0"



CROSS SECTION B
SCALE: 1/4" = 1'-0"

EXISTING CONDITIONS



ALL EXISTING CONDITIONS MATERIALS TO MATCH EXISTING HOUSE AND ADDITION



PROJECT NARRATIVE

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SHEET #

A4.0

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Kyle Parag, Plan Reviewer - CAA
DATE: August 30, 2023
RE: Planning/Zoning/Architectural Guidelines review – 0294 Davis Ct

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed

Staff Recommendation:

Staff recommendation is to approve. The addition is in general conformance and matches existing building designs.

Zoning Regulation analysis –

Proposal: A 282.6 sqft addition to a single family home. Addition will serve as the new master suite and is accessed off the kitchen. New deck is proposed to extend from the existing deck.

Zoning district: R1

Lot Size: Unknown/ not applicable

Lot Width: Unknown/ not applicable

Setbacks: Addition complies with setback requirements

Height: Addition does not increase the height of the structure, nor does the addition exceed limitations. Estimated height of 18’

Garage Stds: No garage is indicated on the structure.

Parking Stds:

Unknown/ not applicable

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
Article 3: Easements	No easements indicated	Y
Article 4: Buildable Area/setbacks	Addition sits within the required setbacks	Y
Article 5 Building Design Standards		
Article 5-20 Building Height	Addition does not increase the height of the structure, nor does the addition exceed limitations. Estimated height of 18'	Y
Article 5-60 Foundation	Foundations system is different than existing structure. Addition is proposed to be designed with piers.	Y
Article 5-70 Roofs	Roof is gable, and matches existing roof lines well.	Y
Article 5-80 Garages	No garage is indicated	Y
Article 5-90 Easements and Utilities	No applicable easements	Y

Article 5-100 Balconies and railings	None indicated or applicable	Y
Article 5-110 Chimney and Roof Penetrations	None indicated or applicable	Y
Article 6 Building Materials and Colors		
Article 6-10 Materials	Materials to match existing and will comprise of wood	Y
Article 6-10 Colors	Colors are indicated in the elevation graphics, to match existing, appear to be in general conformance	Y
Article 7 Accessory Improvements		
Article 7-(20-40, 110) Berms, Garages, sheds and Gazebos	None indicated or applicable	Y
Article 7-50 Driveways	None indicated or applicable	Y
Article 7-60 Parking Areas	None indicated or applicable	Y
Article 7-100 Decks	New deck is indicated and appears in general conformance	Y
Article 7-120 Hot Tubs	Existing hot tub is located near addition.	Y
Article 7-140 Fences	None indicated or applicable	Y
Article 7-150 Retaining walls	New retaining wall is indicated behind new addition. Height is indicated at 2' details of appearance are not located	
Article 8 Signs		

Article 8 Signs	None indicated or applicable	Y
Article 9 Lighting		
Article 9 Lighting	None indicated or applicable	Y
Article 13 Environmental Regulations		
Article 13-20 Wetlands	None indicated or applicable	