



PLANNING & ZONING COMMISSION MAY 2023

May 02, 2023 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO

AGENDA

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

I. CALL TO ORDER, ROLL CALL

II. APPROVAL OF AGENDA

III. APPROVAL OF MINUTES

A. Minutes from April 4, 2023

IV. PROJECT APPROVAL

B. New Construction Approval 0710 Whispering Pines

V. OTHER BUSINESS

C. Introduction of the Land Use Code

VI. ADJOURN

NEXT MEETING - June 14, 2023



PLANNING & ZONING COMMISSION

April 04, 2023 at 6:00 PM
0110 Whispering Pines Circle, Blue River, CO

MINUTES

The public is welcome to attend the meeting either in person or via Zoom.

The Zoom link is available on the Town website:

<https://townofblueriver.colorado.gov/planning-zoning>

Please note that seating at Town Hall is limited.

I. CALL TO ORDER, ROLL CALL

PRESENT

Bevan Hardy

Doug O'Brien

Tim Johnson-Chair

Ben Stuckey

Troy Watts

Noah Hopkins-Board Liaison

Excused

Travis Beck

Gordon Manin

Also present: Town Manager Michelle Eddy

II. APPROVAL OF MINUTES February 7, 2023

Motion made by Watts, Seconded by O'Brien.

Voting Yea: Hardy, O'Brien, Johnson, Stuckey, Watts

A. Minutes from February 7, 2023

III. PROJECT APPROVAL

New Construction 0033 Golden Crown

B. New Construction-0033 Golden Crown

Manager Eddy presented project noting it meets the requirements and has been recommended for approval.

Motion made by O'Brien, Seconded by Stuckey.

Voting Yea: Hardy, O'Brien, Johnson, Stuckey, Watts

C. New Construction resubmittal 0066 Conifer

Manager Eddy noted reasons for a new approval and new submittal mirrors what was previously approved. It has been recommended for approval.

It was noted to have the driveway width addressed per the fire district.

Motion made by Watts, Seconded by O'Brien.

Voting Yea: Hardy, O'Brien, Johnson, Stuckey, Watts

D. Rescheduling of the June 6th Meeting Date

Manager Eddy noted a conflict for the June 6th meeting.

Discussion of timing of projects. Decision to host the meeting Wednesday, June 14, 2023.

IV. ADJOURN

Meeting was adjourned at 6:20 p.m.

Motion made by O'Brien, Seconded by Hardy.

Voting Yea: Hardy, O'Brien, Johnson, Stuckey, Watts

NEXT MEETING - May 2, 2023



Submittal Cover Letter
710 Whispering Pines Circle LOT 17-B

To: Michelle Eddy – Town Manager
Town of Blue River

Delivered via email: PDF copies

From : Otto Burden – Civil Engineer

Date: April 11th, 2023

Project Address: Timber Creek Estates
710 Whispering Pines Circle – Lot 17B
Blue River, CO

RE: Planning and Zoning Submittal

Encl: Application Packet
Material & Color Board
Application Fee \$50.00
24X36 Sets
HOA approval pending

I am pleased to submit this planning and zoning submittal on behalf of River Blue Investments LLC, (Rich & Marshella Davis) Owners of Lot 17-B with address of 710 Whispering Pines Circle, Blue River CO. The Davis's have been looking to build in the area for several years and finally found the lot that they wanted to build their dream log home. They are looking forward to building and seeing their vision become a reality and a place their entire family can enjoy in the years to come.

The lot 17-B is a gently sloping lot from back to front with a great view and national forest behind the lot. The home will be two story with a "walkout" basement as well.

Should you have any questions or comments, feel free to call or email me.

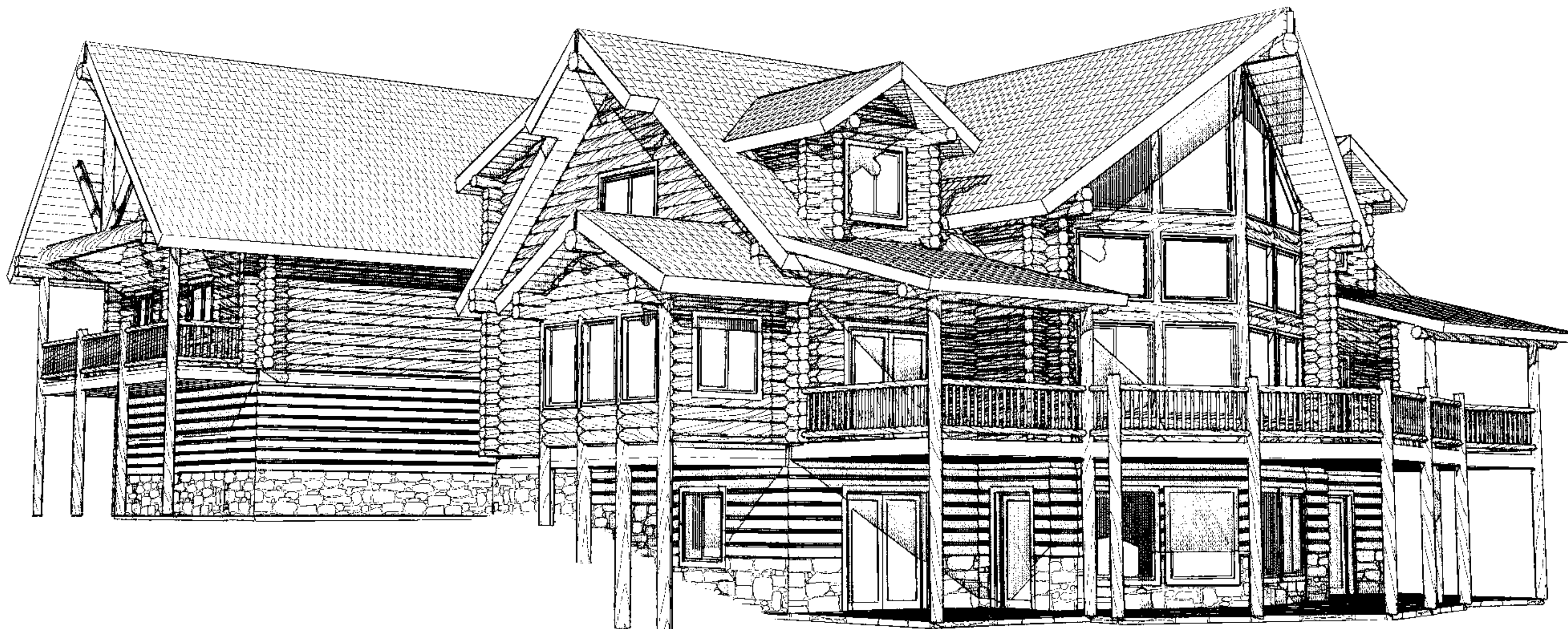
Respectfully,
COLORADO CIVIL ENGINEERING LLC

A handwritten signature in black ink that reads 'Otto L. Burden'. The signature is written in a cursive, flowing style.

Otto L. Burden, P.E.

Principal

Email: oburden@coloradocivil.com



Log Home Residence

Basement area: 1,848 ft²
Main Floor living area: 2,156 ft²
Loft living area: 1,290 ft²
Total living area: 5,294 ft²

Uncovered Decks: 272 ft²
Covered Porches: 416 ft²

Log Carriage House

Main Floor living area: 780 ft²
Loft living area: 195 ft²
Total living area: 975 ft²

Garage area: 780 ft²
Covered Porches: 156 ft²



LAZARUS LOG HOMES
Manufacturer of Custom Log Homes
Design-Delivery
Box 671, Whitefish, MT 59937
P (406)730-2222 F (406)730-2221

**Rich &
Marshella
Davis**

Revisions

Date:
Mark:
By:

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Designer:
Jacob
Prestegaard

Date: 02/24/23

CS

710 Whispering Pines - Selection Board



Stain Color - Driftwood
Gray/Brown



Certaiteed - Moire
Black Asphalt Shingle



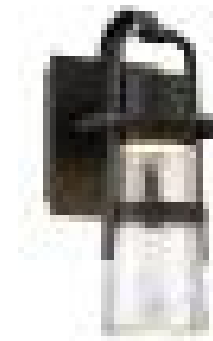
Dark Bronze
Aluminum Clad Windows



Driftwood - Permachink
Stain



Stone Accent - Gray/Brown mix



Exterior Lighting - Dark
Sky Compliant



Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: 17-B Subdivision: Timber Creek Estates
Blue River Physical Address: 710 Whispering Pines Cr. Lot 17-B

Homeowner Information:

Name: River Blue Investments LLC (Rich & Marshella Davis)
Mailing Address: 1831 12th Ave S. Suite 155
Phone: 214-299-3929
Email: raddevgroup@gmail.com

Contractor Information

Company Name: TBD
Contact Name: _____
Mailing Address: _____
Phone: _____
Email: _____
Contractor Registration #: _____

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project:

New construction single family log home with a driftwood stain - Asphalt roofing Certaineed Moire Black color, Gray brown stone veneer base/with stained wood on walk out portion. Proposed residence will have 5862 SF (6) bedrooms (6) full baths (1) half bath (2) car garage (2) indoor gas fireplaces, (1) outdoor gas firepit.

Distance to Property Line	Type of Heat: Gas	Construction Type: VB
North: 46.5 ft	Roof: Asphalt Shingle	Building Height: 32.5
South: 24.3 ft	Exterior Walls: Log	No. Stories: 2
East: 36.9 ft	Interior Walls: Log/Drywall	Total # Bedrooms: 6
West: 89.1 ft	Basement Fin. Sq.Ft.: 1848	Total # Bathrooms: 6
New Addition/Res. Sq.Ft.: 5862	Main Level Sq.Ft.: 2158	Septic or Sewer: sewer
Garage Sq.Ft.: 780	2 nd Level Sq.Ft.: 2070	
Total Square footage: 6642	3 rd Level Sq.Ft.:	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ___ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOR OF ___ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINDED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUMED TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: _____ Date: _____

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed <input checked="" type="checkbox"/>	Item	Description	Page #
<input checked="" type="checkbox"/>	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	9
<input checked="" type="checkbox"/>		Property Boundaries	8
<input checked="" type="checkbox"/>		Building Envelope with setbacks	9
<input checked="" type="checkbox"/>		Proposed Buildings	9
<input checked="" type="checkbox"/>		Structures (existing & proposed)	9
<input checked="" type="checkbox"/>		Driveway & Grades	10
<input checked="" type="checkbox"/>		A wetlands delineation & Stream crossing structures where applicable.	8 & 18
<input checked="" type="checkbox"/>		Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	8
		Transformer & vault location (if installed by owner or existing)	TBD
<input checked="" type="checkbox"/>		Well location; septic if applicable	N/A
<input checked="" type="checkbox"/>		Snow storage areas and calculations	TBD
<input checked="" type="checkbox"/>		Major site improvements	9
<input checked="" type="checkbox"/>		Existing & proposed grading & drainage	8 & 10
	Landscaping Plan	*May be included in the site plan**	
<input checked="" type="checkbox"/>		Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	11
<input checked="" type="checkbox"/>		Indicate the percentage of trees removed and revegetation to be conducted.	TBD
<input checked="" type="checkbox"/>		Upon completion of the construction project, all land must be raked and	

		reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	SO NOTED
		Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	SO NOTED
X		Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	9 & 10
	Floor Plans	Scale 1/8" = 1'	
X		Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	12
	Exterior Elevations	Scale same as floor plans	14
X		Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	9, 14, & 15
	Roof Plan	Scale same as floor plans	13
X		Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	14
X	Materials Sheet	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	3

710 Whispering Pines - Selection Board



Stain Color - Driftwood
Gray/Brown



Certaiteed - Moire
Black Asphalt Shingle



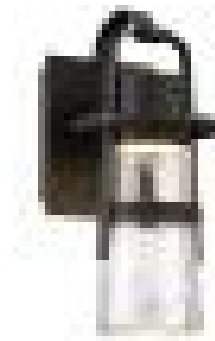
Dark Bronze
Aluminum Clad Windows



Driftwood - Permachink
Stain



Stone Accent - Gray/Brown mix



Exterior Lighting - Dark
Sky Compliant



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Rich & Marshella Davis

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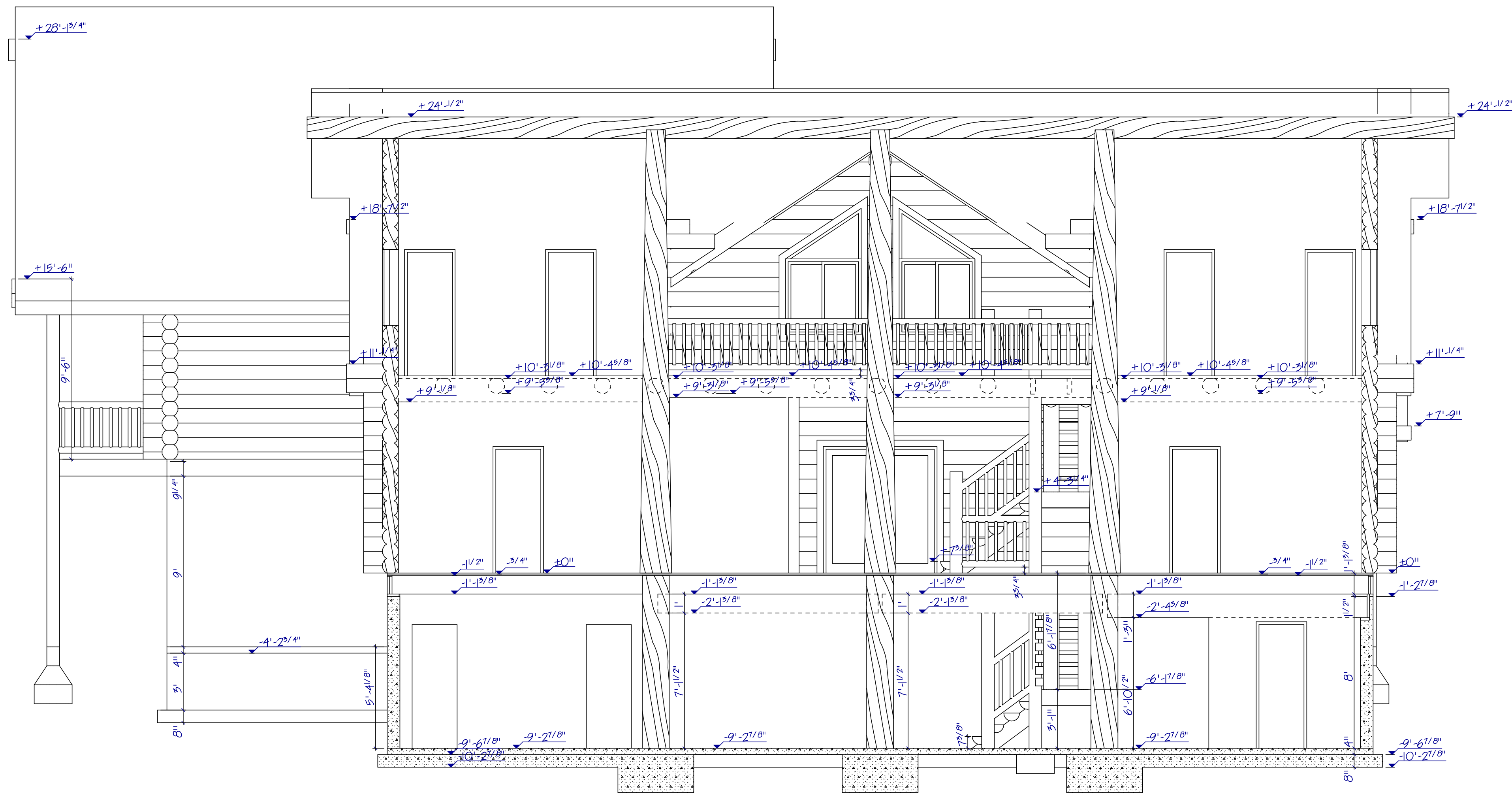
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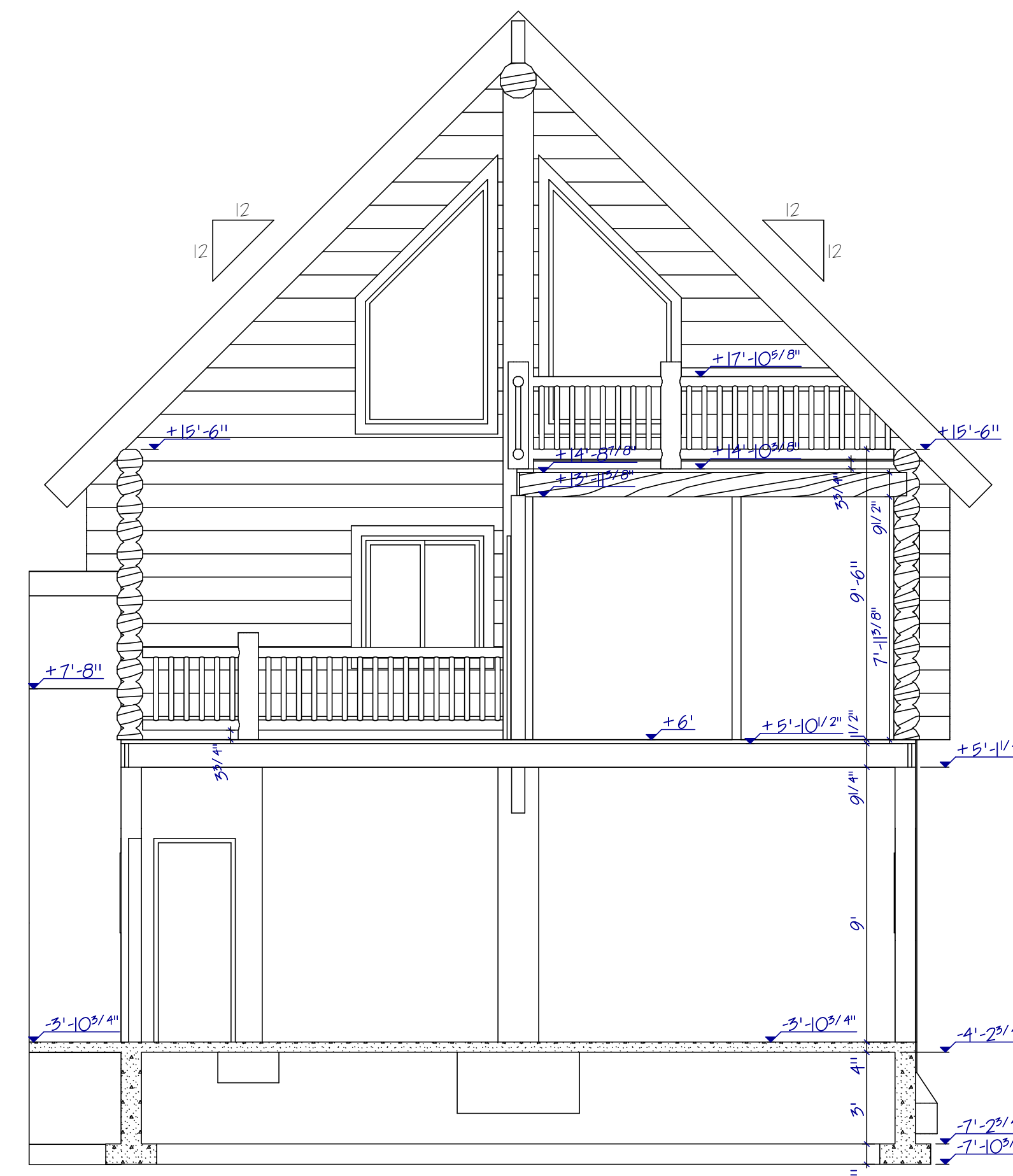
Designer:
Jacob Prestegaard

Date: 02/24/23

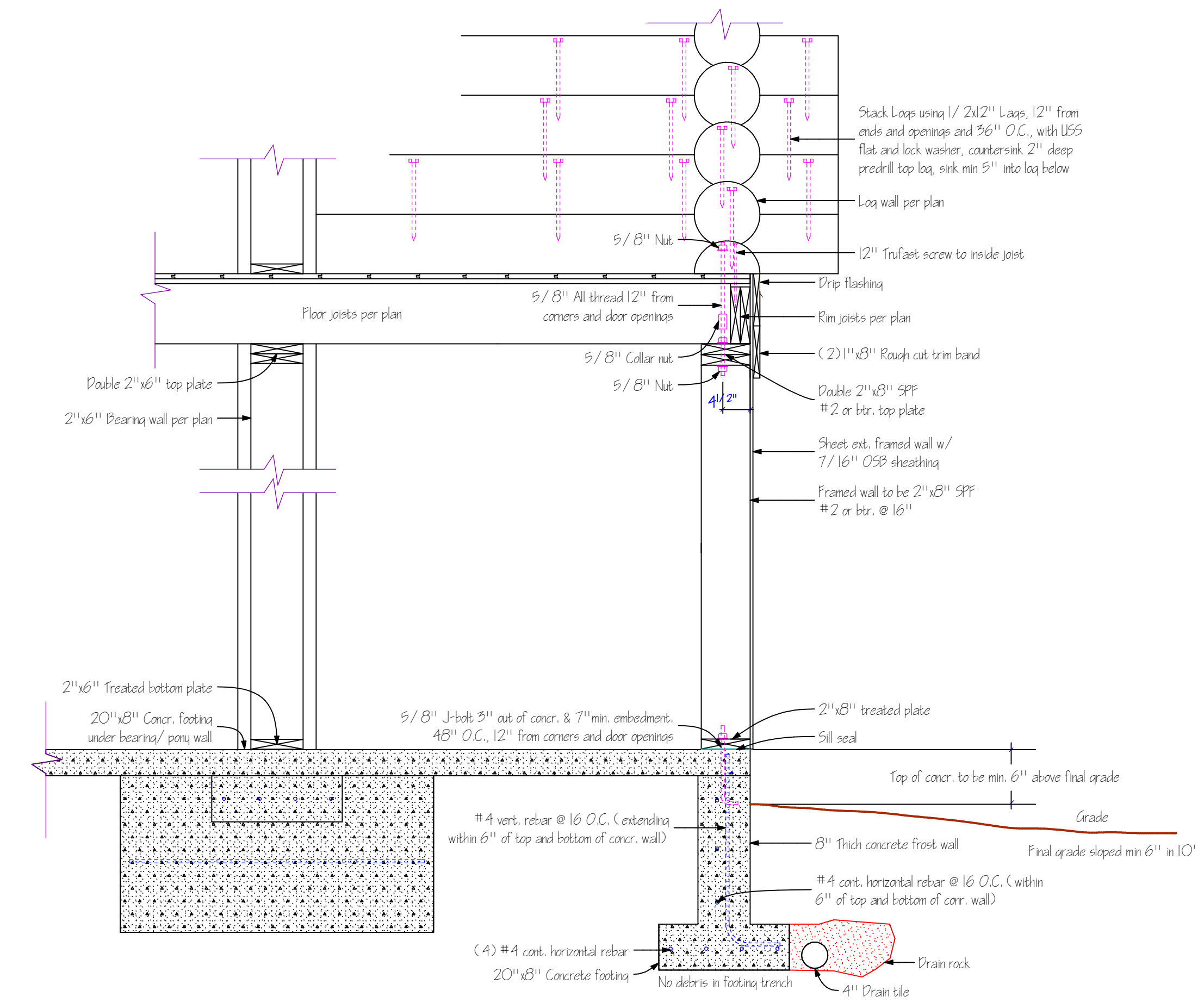
A8



A8-1
Building Section
1/4" = 1'-0"

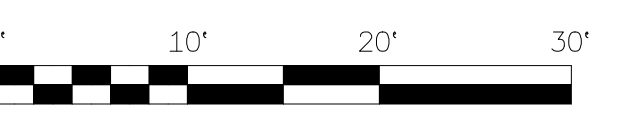
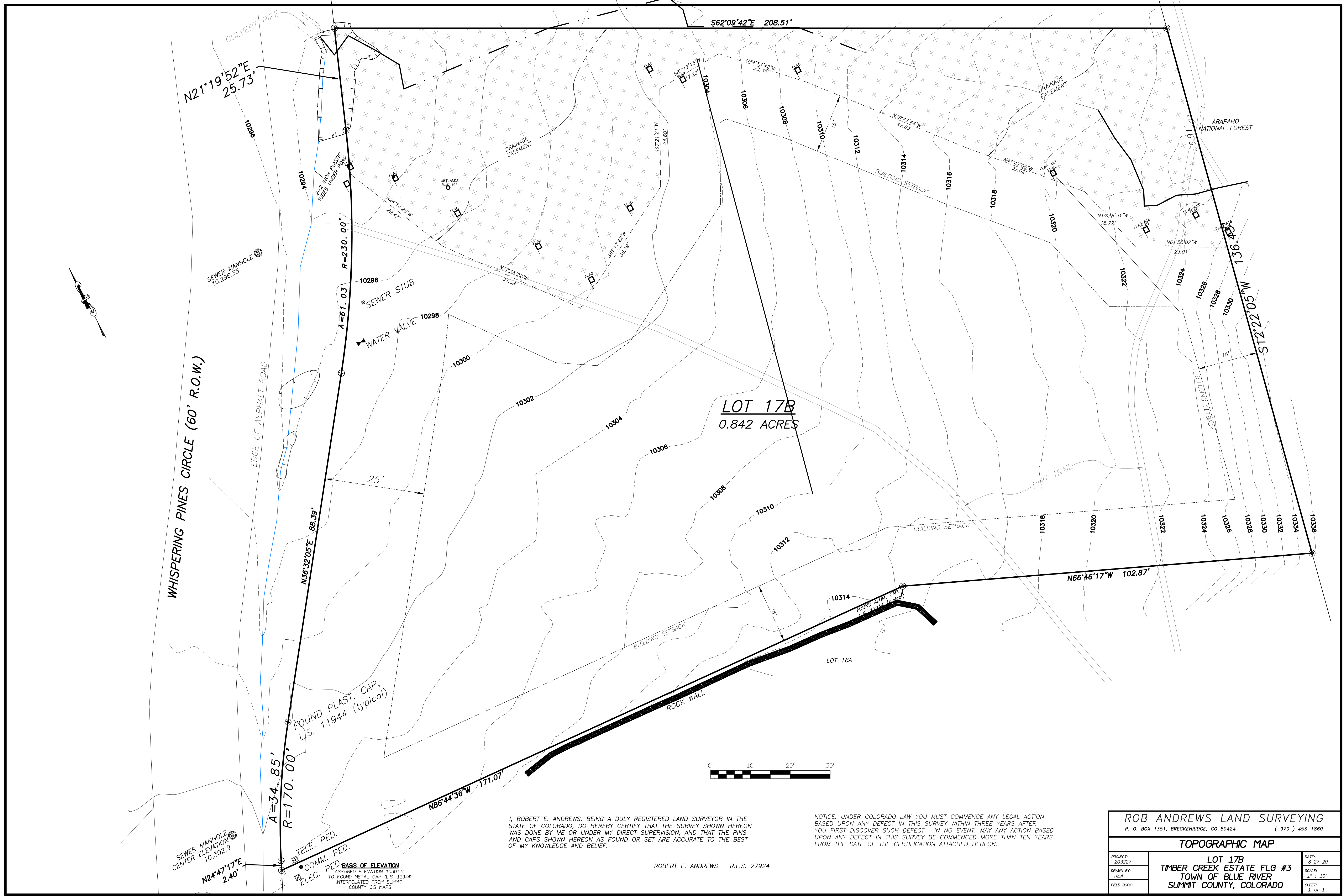


A8-2
Garage Section
1/4" = 1'-0"



A8-3
Garage Foundation Detail
3/4" = 1'-0"

LOT 30B



I, ROBERT E. ANDREWS, BEING A DULY REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE PINS AND CAPS SHOWN HEREON AS FOUND OR SET ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

NOTICE: UNDER COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION ATTACHED HEREON.

ROBERT E. ANDREWS R.L.S. 27924

ROB ANDREWS LAND SURVEYING P. O. BOX 1351, BRECKENRIDGE, CO 80424 (970) 453-1860		
TOPOGRAPHIC MAP		
PROJECT: 203227	DATE: 8-27-20	SCALE: 1" = 10' SHEET: 1 of 1
DRAWN BY: REA	LOT 17B TIMBER CREEK ESTATE FLG #3 TOWN OF BLUE RIVER SUMMIT COUNTY, COLORADO	
FIELD BOOK:		

WHISPERING PINES CIRCLE (60' R.O.W.)

LOT 17B
0.842 ACRES

SEWER MANHOLE CENTER ELEVATION 10,302.9
 N24°47'17"E 2.40'
 TELE. PED.
 COMM. PED.
 ELEC. PED.
 FOUND PLAST. CAP, L.S. 11944 (typical)
 FOUND ALUM. CAP, L.S. 11944 (typical)
 BASE OF ELEVATION ASSIGNED ELEVATION: 10303.5' TO FOUND METAL CAP (L.S. 11944) INTERPOLATED FROM SUMMIT COUNTY GIS MAPS

FIREWISE NOTE

FUELS MANAGEMENT- SAFETY ZONE. All lots with homes constructed or reconstructed after the adoption of the ordinance, within the wildland urban interface, regardless of development plan approval date, shall be subject to the following fuels management requirements:

K102.1.1 SAFETY ZONE.
Brush patches or clusters may be left in the safety zone, but shall be separated by clear areas of at least ten feet (10') or more of noncombustible materials and/or grass mowed to not more than four inches (4") in height. (2018 CSFC §K102.1)

FUELS MANAGEMENT- CLEARANCE TO MAIN STRUCTURE. All lots with homes constructed or reconstructed after the adoption of the ordinance, within the wildland urban interface, regardless of development plan approval date, shall be subject to the following fuels management requirements:
K102.1.2 CLEARANCE TO MAIN STRUCTURE. No hazardous brush or trees (i.e. junipers and conifers) shall be allowed within fifteen feet (15') of the main structure or significant accessory structure. Conifers or other similarly combustible plants shall not be planted under soffit vents.
Exception: When approved by the fire code official, small brush patches or trees, not exceeding one hundred (100) square feet in size and no more than fifteen (15) linear feet in any direction, may be allowed to encroach into this zone. Vegetation must be maintained in accordance with the applicable Local Wildfire Protection Plan. Plants with fire resistant characteristics found on the Colorado State Forest Service list of Firewise Plants are allowed within 15# of the main structure or significant accessory structure. (2018 CSFC §K102.1.2)

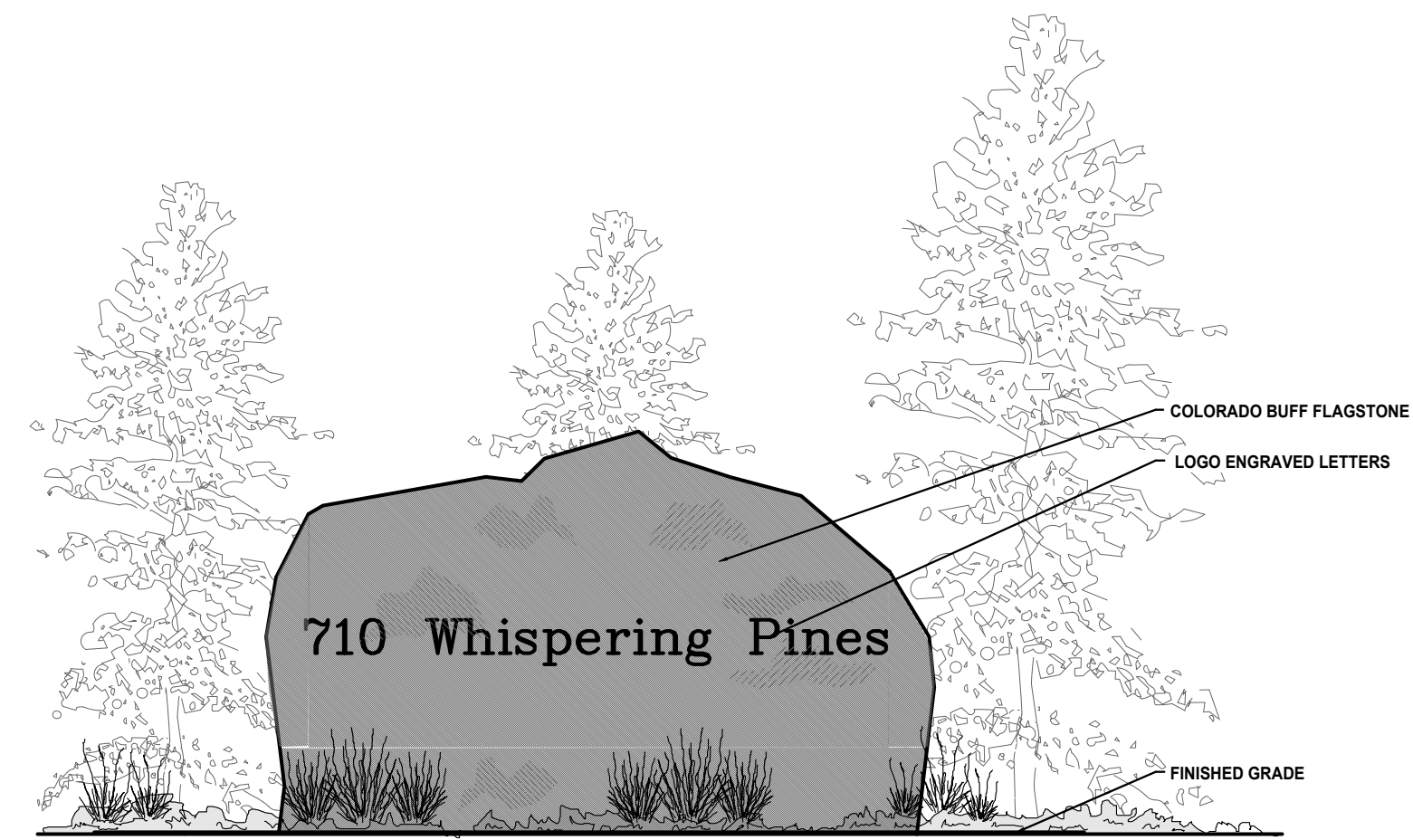
PRUNING OF DEAD LIMBS. Large trees shall not be allowed to have limbs overlap another tree and shall be pruned of dead limbs to a height of up to ten feet (10') above the ground. Tree clusters may be allowed if sufficient clear area is provided and approved. (2018 CSFC §K102.1.3)
COMMENT 5: Place the following as notes on the landscape plans.
CLEARANCE OF TREE BRANCHES TO STRUCTURES OR APPURTENANCES. Tree branches shall not extend over or under the roof or eaves, and shall not be within fifteen feet (15') of a deck or similar combustible projection, wood burning appliance or chimney. (2018 CSFC §K102.1.4)

LAYOUT NOTE

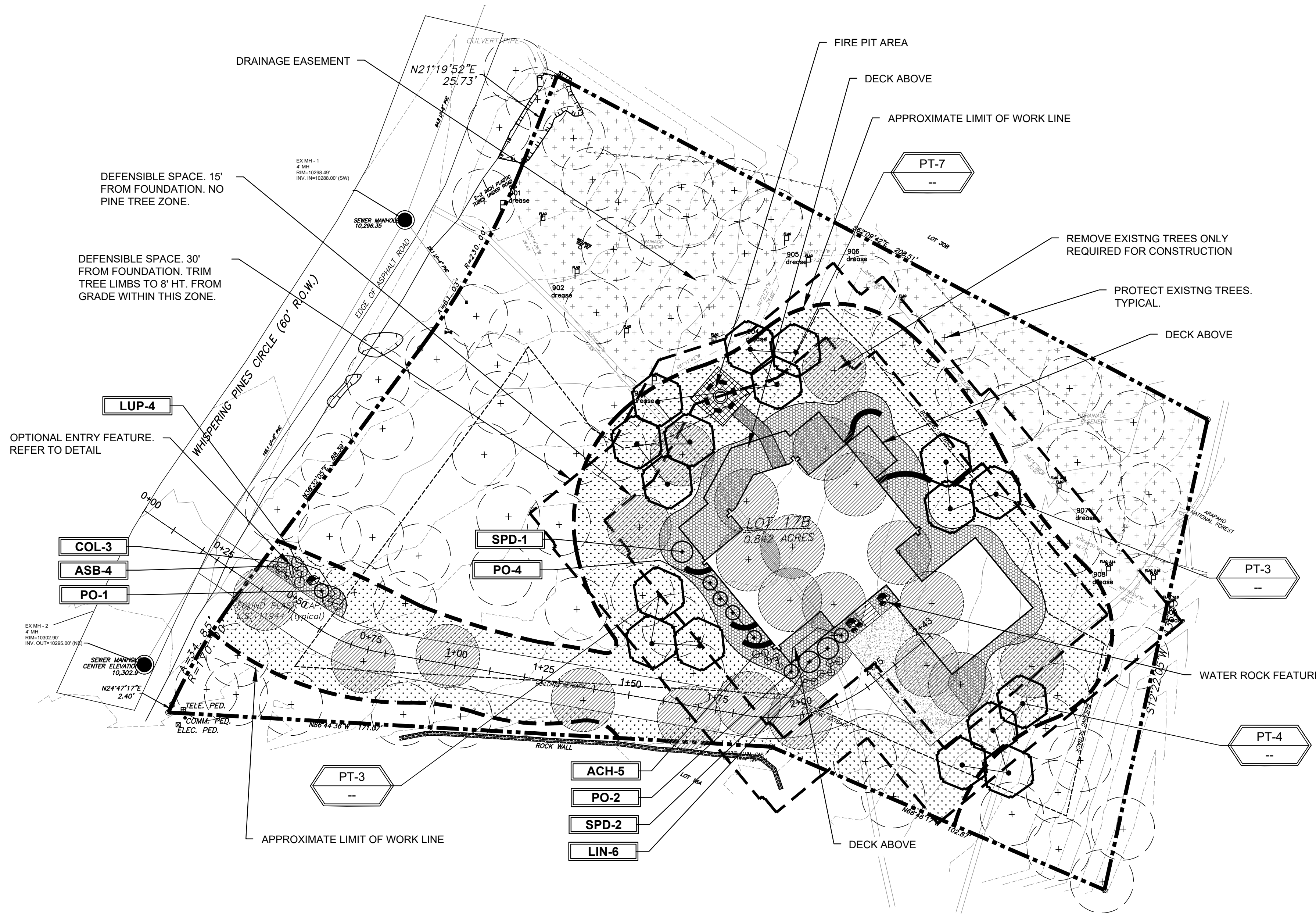
CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER.

RETAINING WALL NOTE

VERIFY WALL HEIGHTS AND STAKE LOCATIONS PRIOR TO CONSTRUCTION FOR OWNER REVIEW. LAYOUT WALLS IN FIELD FOR APPROVAL PRIOR TO CONSTRUCTION. WALL HEIGHTS ARE SUBJECT TO CHANGE BASED ON FIELD CONDITIONS. TRIMIX PLANTERS TOPSOIL SHALL BE USED TO ESTABLISH GRADE BEHIND WALL IF NEW TOPSOIL IS REQUIRED.



OPTIONAL ENTRY MONUMENT



PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Width/Hght	Size
DECIDUOUS TREES:						
PT		17	Populus tremuloides	Quaking Aspen	10'X30'	1-2" cal.
DECIDUOUS SHRUBS:						
PO		7	Potentilla fruticosa	Shrubby Cinquefoil	2-4' x 2-4'	5 gal.
SPD		3	Syringa x 'Penda'	Bloomerang 'Penda'	4-5' x 4-5'	5 gal.
PERENNIALS/GROUND COVER						
ACH		5	Achillea millefolium 'Paprika'	Paprika Yarrow	24" x 24"	#1 CONT.
ASB		4	Aurinia saxatilis	Basket-of-Gold	12" x 12"	#1 CONT.
COL		3	Aquilegia chrysantha	Golden Columbine	24" x 24"	#1 CONT.
LIN		6	Linum perenne	Blue Flax	18 x 18"	#1 CONT.
LUP		4	Lupinus Chandelier	Chandelier Lupine	2-3 x 4'	#1 CONT.

QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
[Pattern]	Granite Rock: TBD 1.5" Diameter (with weed barrier)	0 SF
[Pattern]	Granite Rock: TBD 3/4" Diameter (with weed barrier)	0 SF
[Pattern]	Pavers: TBD	0 SF
[Pattern]	Seed Grass. Seed Mix 'B'. Refer to notes.	0 SF
[Symbol]	Accent Boulder/Water Feature: Broadmoor	
[Symbol]	Retaining Walls: TBD	

QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

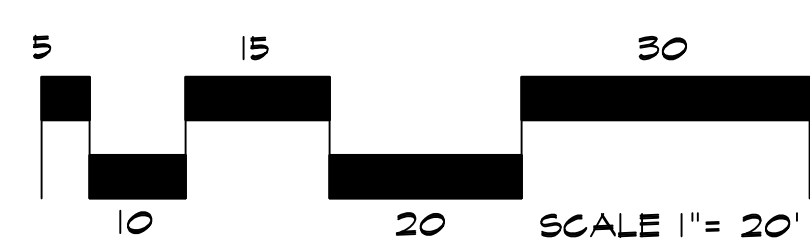
UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY UTILITY AND 10' FROM GAS MAINS. FOR SANITARY SEWER AND WATER MAIN LINES TREES SHALL BE PLACED A MINIMUM OF 15' FROM LINES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED IN THE FIELD IN ACCORDANCE WITH LOCAL CODES. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODES. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

LANDSCAPE PLAN



HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

3610 REBECCA LANE, STE. 111
COLORADO SPRINGS, CO 80917
Phone 719-477-1646
Fax 719-268-1122



710 Whispering Pines
BLUE RIVER, CO

THIS DOCUMENT IS FOR REVIEW AND APPROVAL ONLY. ALL PLANS, SPECIFICATIONS, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

PREPARED FOR:

For Approval Only

JOB NUMBER	1130-23
REVISIONS	
ORIGINAL DATE	4-11-23
DRAWN BY	
DESCRIPTION	LANDSCAPE PLAN
SHEET NO.	L1.1

NOT FOR CONSTRUCTION



LAZARUS LOG HOMES
Manufacturer of Custom Log Homes
Design-Delivery
Box 671, Whitefish, MT 59937
P (406)730-2222 F (406)730-2221

Rich & Marshella Davis

Revisions

Date:

Mark:

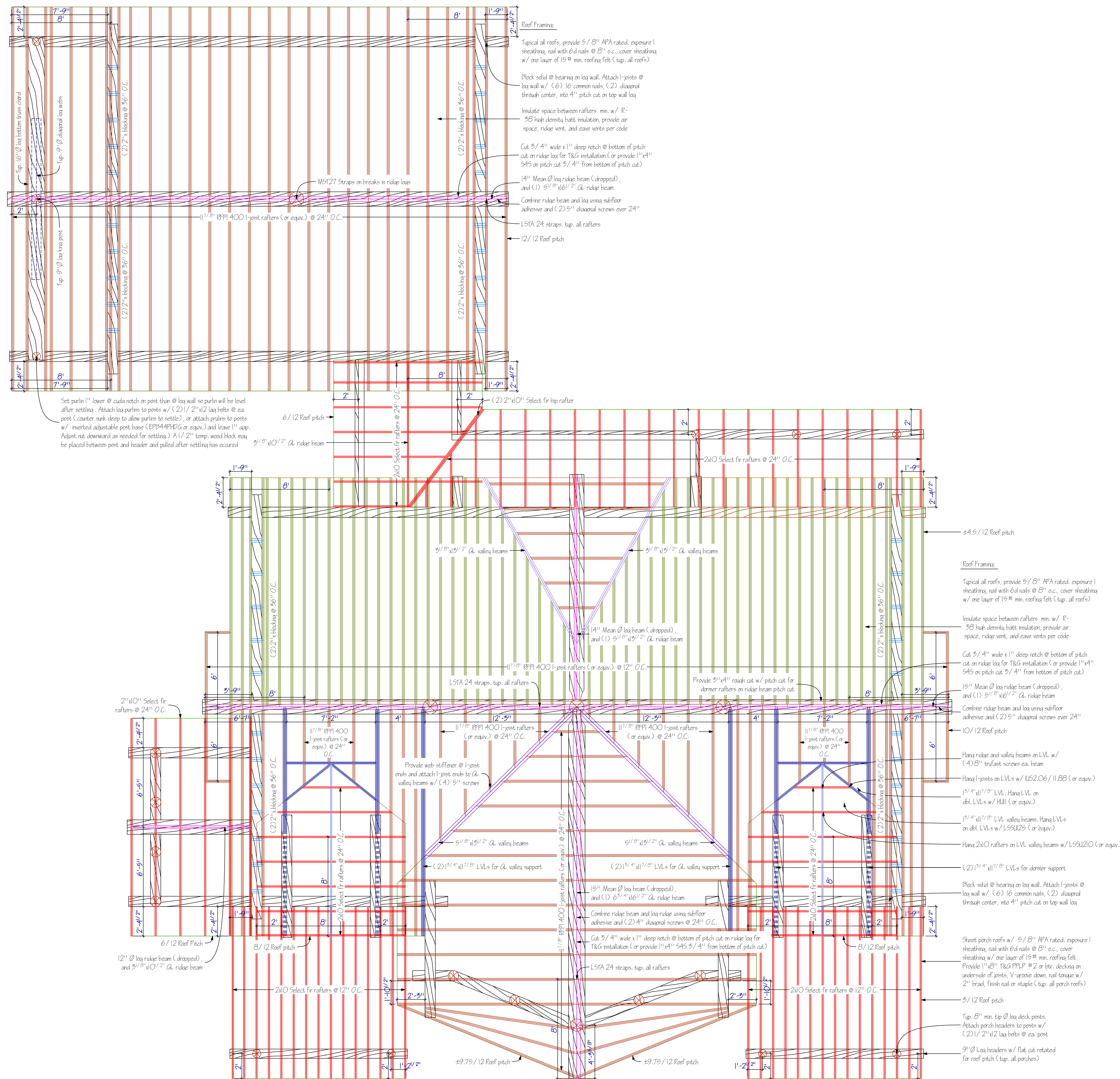
By:

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Designer:
Jacob Prestegaard

Date: 02/24/23

A7



A7-1
Roof Framing
1/4" = 1'-0"



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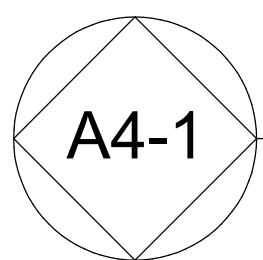
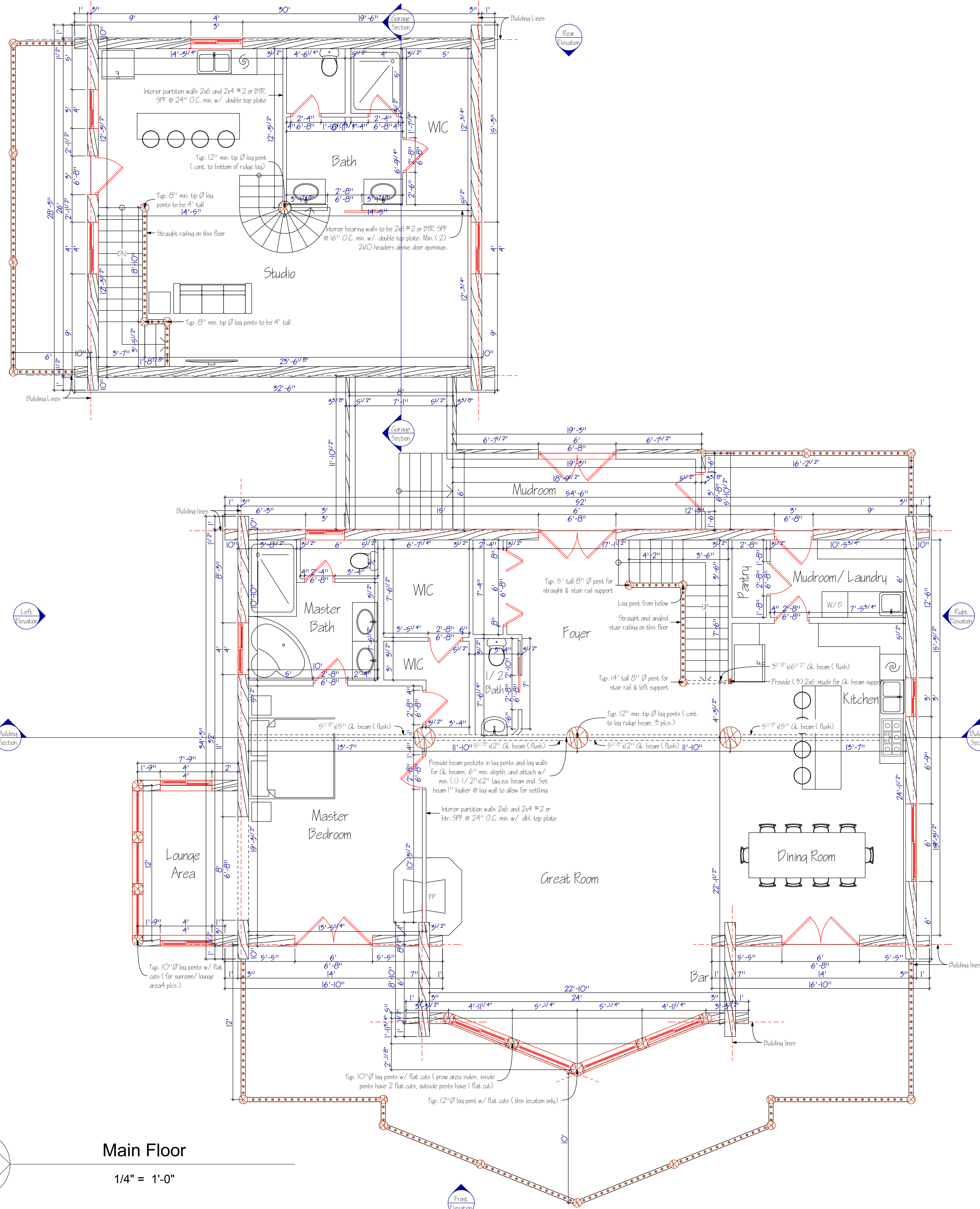
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A4



Main Floor

1/4" = 1'-0"





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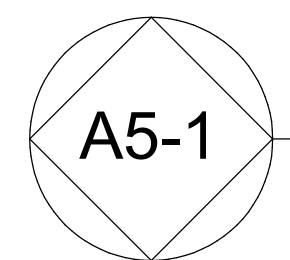
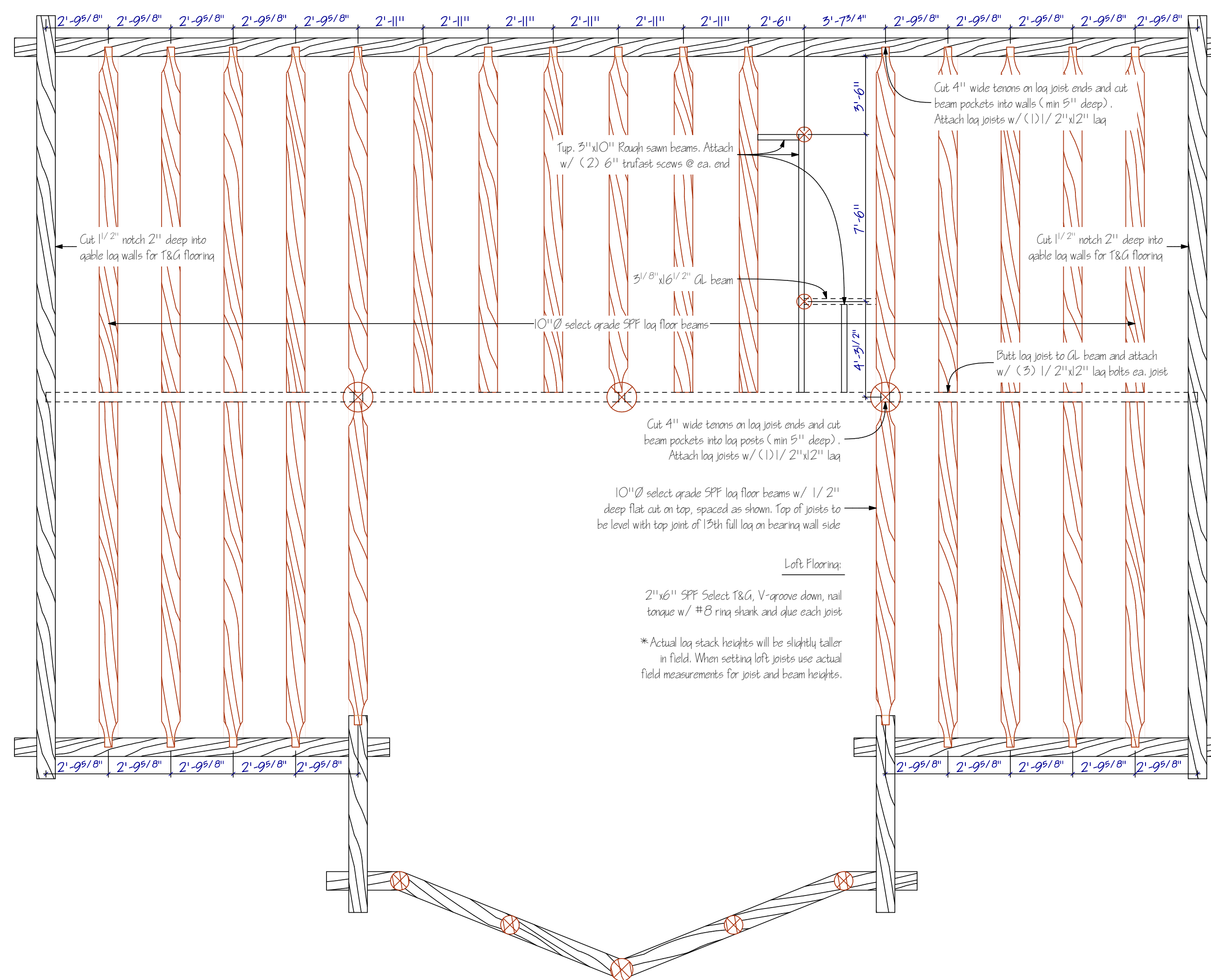
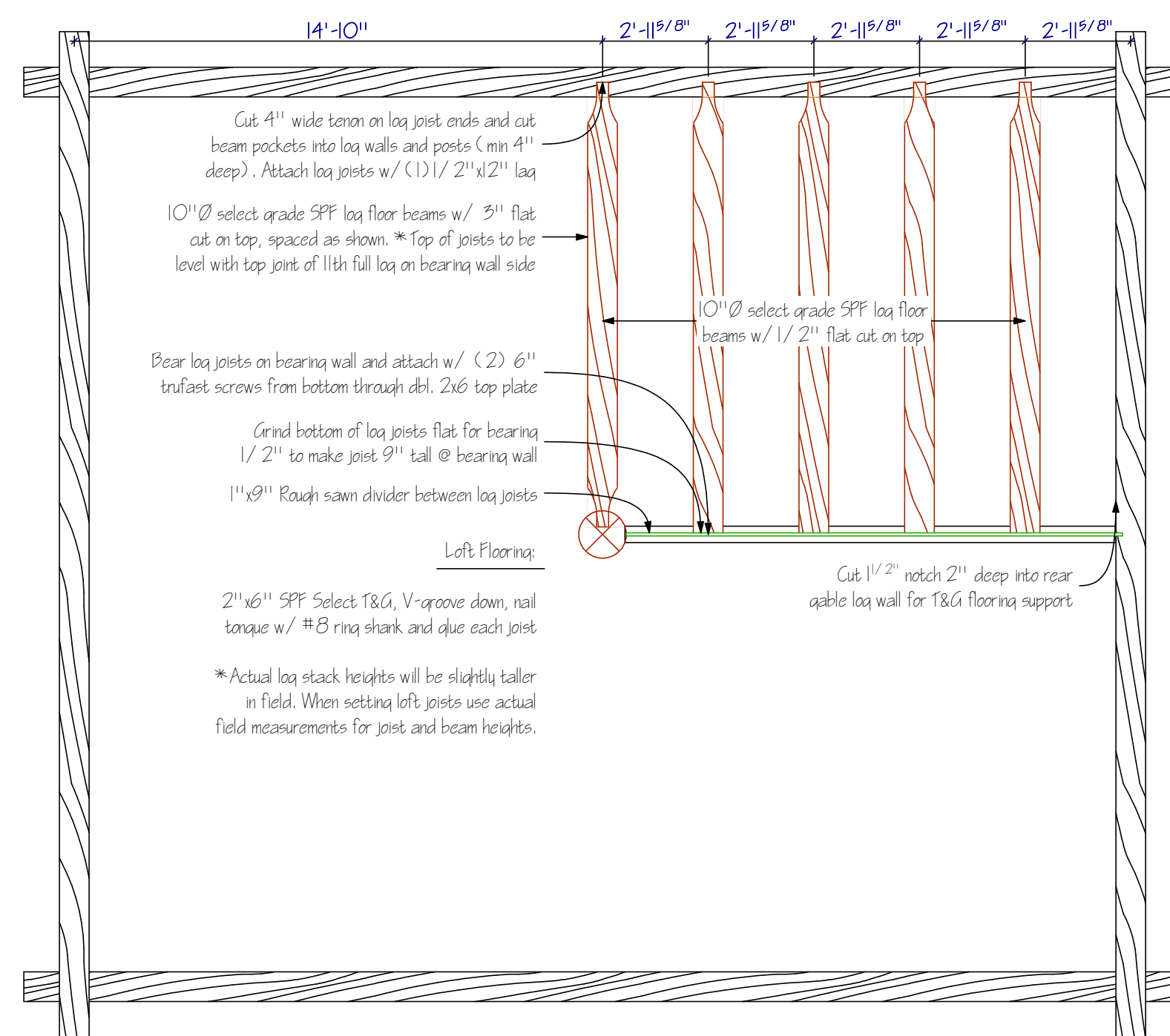
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Date: 02/24/23

A5



Loft Floor Framing

1/4" = 1'-0"



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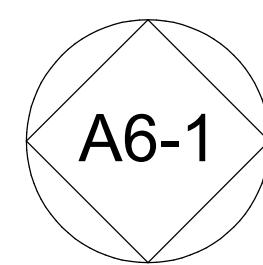
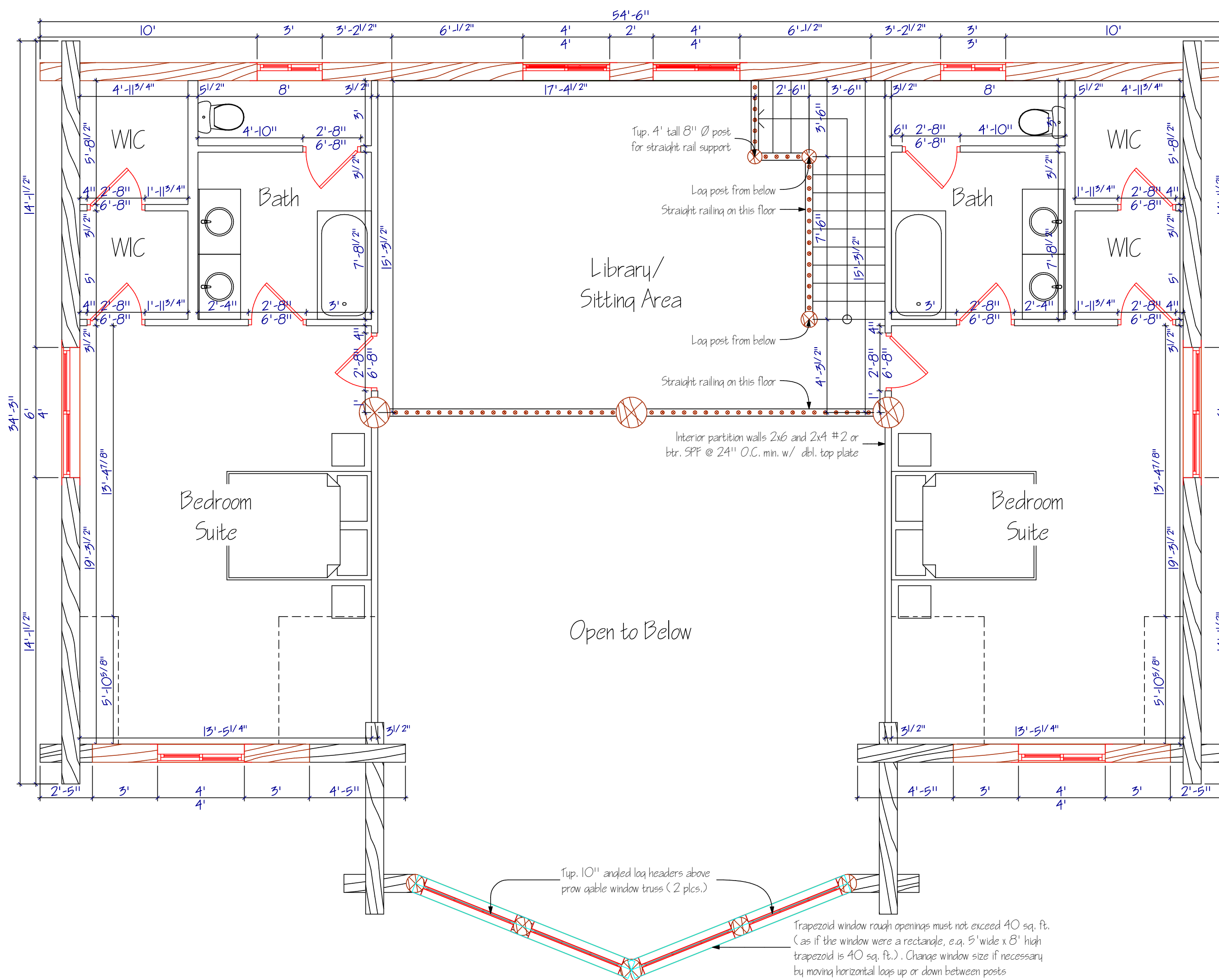
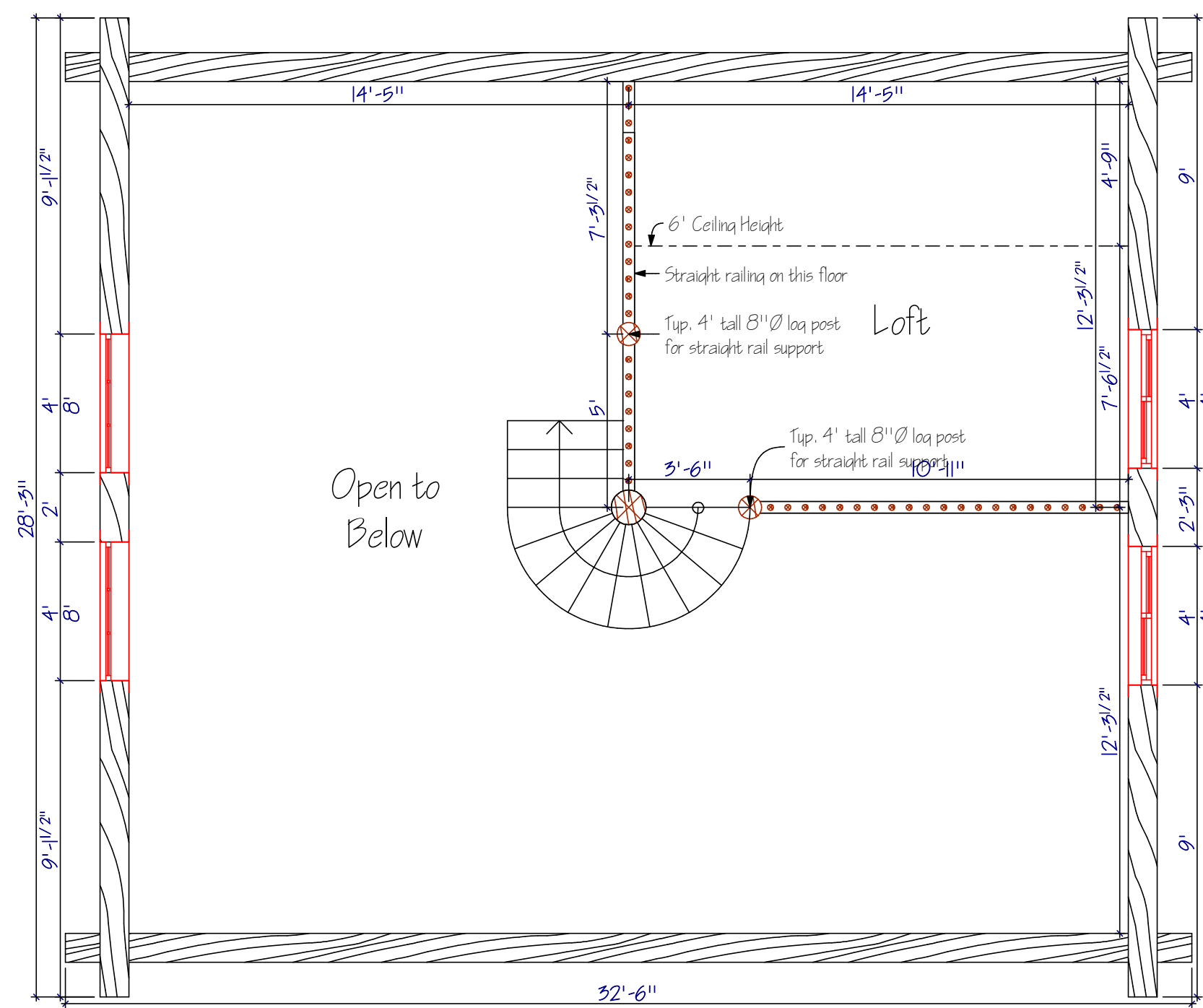
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Mark:
By:

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Designer:
Jacob Prestegaard

Date: 02/24/23

A6



Loft Floor

1/4" = 1'-0"

PREPARED FOR:

Rich Davis
710 Whispering Pines Circle
Blue River, CO 80424

710 WHISPERING PINES
BLUE RIVER, COLORADO

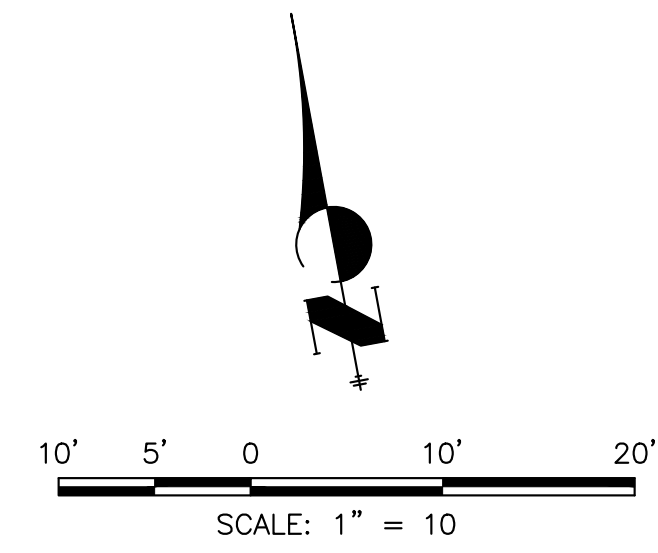
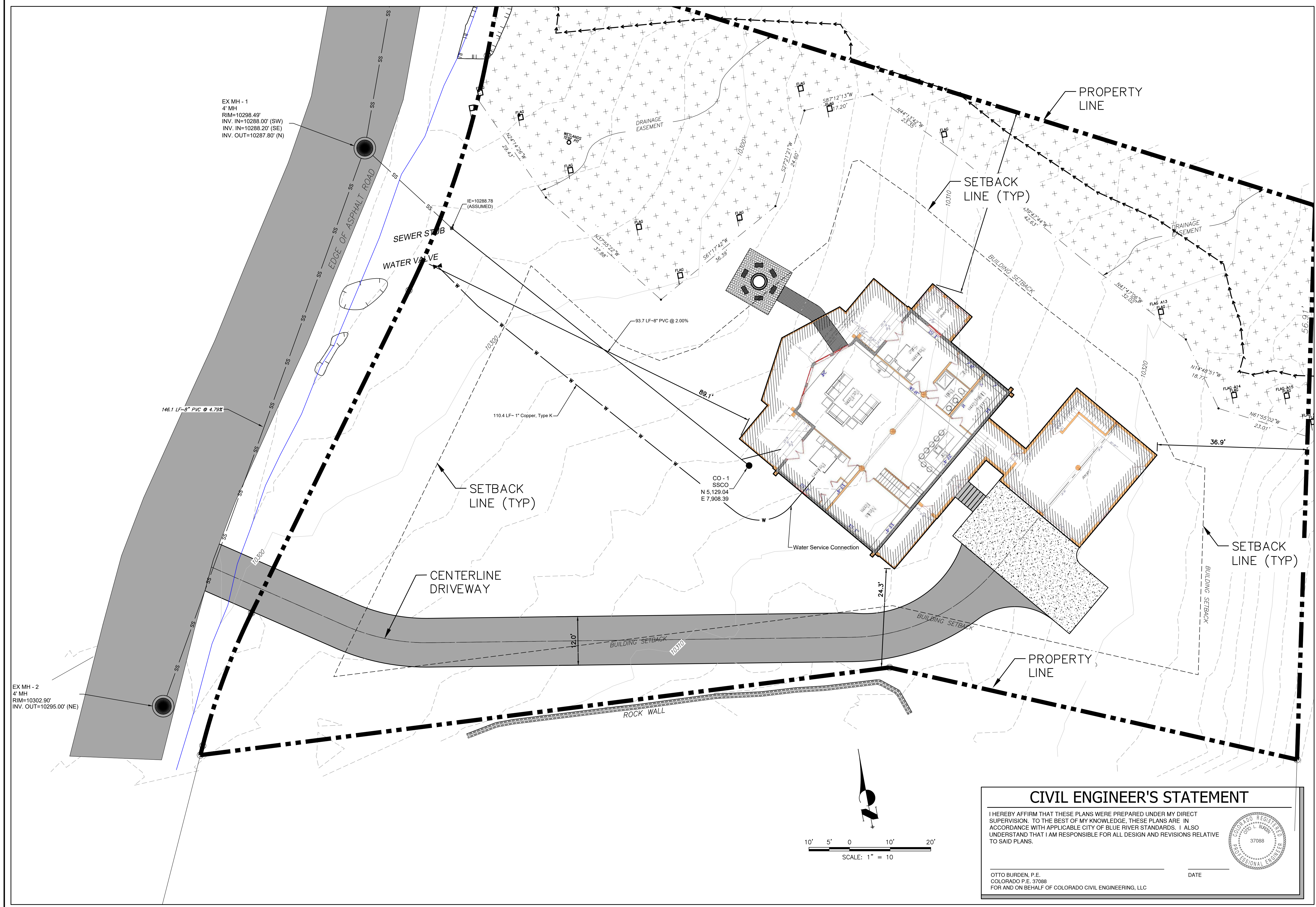
JOB NO. 1298
DESIGN BY: OLB
DRAWN BY: OLB
CHECK BY: OLB
ISSUE DATE: 03/23/2023

REVISIONS:

1)	BLUE RIVER SUBMITTAL
2)	XX
3)	
4)	
5)	
6)	

SITE PLAN

C2.0



CIVIL ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION. TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN ACCORDANCE WITH APPLICABLE CITY OF BLUE RIVER STANDARDS. I ALSO UNDERSTAND THAT I AM RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.



OTTO BURDEN, P.E.
COLORADO P.E. 37088
FOR AND ON BEHALF OF COLORADO CIVIL ENGINEERING, LLC

DATE

WETLAND DELINEATION REPORT

Prepared for:

Rich Davis

Regarding the property at:

710 Whispering Pines Circle

Town of Blue River

Schedule Number 6511068



Prepared September 9, 2020 by:

Littlehorn Engineering & Surveying, LLC

970-879-5112

Steamboat Springs, CO 80477

719-836-7120

Fairplay, CO 80440

www.littlehornengineering.com



Our Project No. 2020-6511068

CONTENT SECTIONS

I. Project Information	4
II. Project Overview	5
III. Site Description.....	7
IV. Plant List	8
V. Soils	10
VI. Hydrology	10
VII. Summary	10

Enclosure:

- Vicinity Map
- Site Map
- Data Forms A and B



List of Abbreviations and Acronyms

ACOE	U.S. Army Corps of Engineers
FAC	Facultative
FACU	Facultative Upland
FACW	Facultative Wetland
NRCS	National Resources Conservation Service
NWI	National Wetlands Inventory
NWPL	National Wetland Plant List
OBL	Obligate
UPL	Upland
USDA	U.S. Department of Agriculture
USFWS	U.S. Fish and Wildlife Service
WSS	Web Soil Survey



I. Project Information

Landowner and Client:

Rich Davis

Subject Property Address:

710 Whispering Pines Circle
Timber creek Estates
Block 3, Lot 17B
Blue River, CO 80424

Our Project Number:

2020-6511068

Field Wetland Consultant:

Joseph Littlehorn
Littlehorn Engineering & Surveying, LLC
P.O. Box 776390
Steamboat Springs, CO 80477

Engineer and Consultant:

John Littlehorn, P.E.
Littlehorn Engineering & Surveying, LLC
P.O. Box 776390
Steamboat Springs, CO 80477
351 US Hwy 285 suite 201
Fairplay, CO 80440



II. Project Overview

Per the client’s request, we visited the subject site on August 25, 2020 to perform a wetland delineation to determine the presence of wetlands and locate the wetland boundary. The purpose of the wetland delineation and this report is to document the wetland area(s) present on the site with the intention of aiding project planning to minimize disturbance of the wetland areas. Wire flags labeled “Wetland Delineation” were placed along the wetland boundary and labeled A-1 through A-16, and B-1 through B-12. These flags comprise one wetland area



illustrated on the attached site map. This delineation was conducted in accordance with the U.S. Army Corps of Engineers’ (ACOE) standard protocol for determining wetlands in the Western Mountains, Valleys, and Coast Region. Wetlands adjacent to the subject property were not delineated. Wetland-type areas shall not be disturbed without permission from the

ACOE, Town of Blue River, and us. Prior to our site visit, multiple data sources were analyzed to obtain a better understanding of the area. Some data sources consulted included aerial imagery, topographic maps, WSS maps published by the NRCS, and USFWS NWI maps. The wetland boundary on 710 Whispering Pines Circle was located based on ACOE standard protocol, in accordance with the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0)* published by the



Fringed Grass-of-Parnassus



ACOE in May 2010. Our delineation involved a detailed examination of vegetation, soils, and hydrology. Dominant vegetative species were documented and compared to the NWPL to determine the wetland indicator status of each species. OBL species occur almost exclusively in wetlands. FACW species usually occur in wetlands but may on occasion exist in non-wetland areas. FAC species occur equally in wetland and non-wetland environments. FACU species usually occur in non-wetland environments. UPL species very rarely grow in wetland environments. If a species is not found to be included in the NWPL, its indicator status is assumed to be UPL. Generally, if it is found that more than 50% of the vegetative species within a single plant community possess an indicator status of FAC, FACW, or OBL, this area would satisfy the ACOE criteria for wetland vegetation. Soil exploration and examination was conducted at multiple points across the site, collected in accordance with Munsell color methods. If hydric soil indicators were discovered, additional areas of exploration may have been

established along the gradient to accurately identify the extent of hydric soils. Throughout our investigation on-site, hydrologic indicators were taken note of, specifically looking for such indicators as surface water, high water tables, soil saturation, water marks, sediment deposits, drainage patterns, and other indicators. Examinations for all areas investigated and deemed non-wetland areas are not necessarily included in this report. The wetland boundary is characterized in many areas by an abrupt transition from mostly hydrophytic vegetation to upland species. A site map is attached that approximately illustrates the wetland area(s) in blue, with sampling point locations shown in red. Wetlands provide many valuable functions such as flood control and wildlife habitat in addition to being areas that aid to filter out contaminants in the groundwater.



Field Horsetail

Wetlands shall not be disturbed without approval from the Town of Blue



River and the ACOE. This delineation shall be considered valid for five (5) years' time.

III. Site Description

The ecosystem for these properties is in the Sub-Alpine Forest of Colorado, at an elevation of over 10,250 feet, and in the Central Colorado Rocky Mountains. The wetland delineation conducted on 710 Whispering Pines Circle in Blue River, Colorado located within Summit County, began on Whispering Pines Circle near the northwest corner of the lot and proceeded to the east.



The property slopes gently west with a canopy of Engelmann Spruce and Subalpine Fir trees. Most of the property consists of subalpine forest habitat with wildflowers, shrubs and grasses. The wetland is dominated by an herb named Field Horsetail. The wetland area has been mapped with the NWI, and is classified as

R4SBC, which stand for Riverine (R), Intermittent (4), Streambed (SB), and Seasonally Flooded (C). The “Riverine” system includes all wetlands and deep-water habitats contained within a channel. A channel is an open conduit either naturally or artificially created which periodically or continuously contains moving water, or which forms a connecting link between two bodies of standing water. The “Intermittent” subsystem is used to describe channels that contain flowing water only part of the year. When the water is not flowing, it may remain in isolated pools or surface water may be absent. The “Streambed” class includes all wetlands contained within the “Intermittent” subsystem of the “Riverine” system. A “Seasonally Flooded” water regime refers to surface water that is present for extended periods especially early in the growing season, but is absent by the end of the growing season in most years. The water table after flooding ceases is



variable, extending from saturated to the surface to a water table well below the ground surface.



Soils within the site have not been mapped with the NRCS, as the site lies just off the edge of the map. Areas within a close proximity have been classified as Grenadier gravelly loam (6 to 15 percent slopes), generally consisting of gravelly sandy clay loam with cobble. The NRCS notes that while Grenadier and similar soils comprise approximately 80% of the area, approximately 10% of the mapped area is considered a cumulic or histic cryaquoll, both of which are considered hydric soils and are strong wetland indicators.

On the north side of the property, there is a stream that appears to flow intermittently throughout the year. At the time of the delineation, the above-ground stream averaged less than 2 feet across. The wetland was marked by the small Field Horsetail herbs and fragile Streambank Pseudosaxifrage that prefer wet soils at higher elevations in Colorado, making the wetland distinctive and irreplaceable if it is disturbed. The wetland had many grasses, sedges, mosses and flowering herbaceous plants that require saturated soils.

IV. [Plants](#)

Multiple plant species were identified across the site in both wetland and upland environments as listed below. In instances where a plant species is found to be present in both wetland and upland areas, the percent coverage in each plant community has been combined to reflect total cover across the site.



Common Name	Scientific Name	Indicator Status	Coverage
Narrow-Leaf Fireweed	<i>Chamaenerion angustifolium</i>	FACU	73%
Field Horsetail	<i>Equisetum arvense</i>	FAC	65%
Engelmann's Spruce	<i>Picea engelmannii</i>	FAC	62%
Smooth Brome	<i>Bromus inermis</i>	UPL	35%
Virginia Strawberry	<i>Fragaria virginiana</i>	FACU	29%
Subalpine Fir	<i>Abies lasiocarpa</i>	FACU	20%
Grouseberry	<i>Vaccinium scoparium</i>	FACU	20%
Daffodil Leopardbane	<i>Arnica latifolia</i>	FAC	18%
Streambank Pseudosaxifrage	<i>Micranthes odontoloma</i>	FACW	18%
Silvery Lupine	<i>Lupinus argenteus</i>	UPL	10%
Four-Line Honeysuckle	<i>Lonicera involucrata</i>	FAC	10%
Queen Anne's-Lace	<i>Daucus carota</i>	FACU	10%
Common Dandelion	<i>Taraxacum officinale</i>	FACU	8%
Gray Willow	<i>Salix bebbiana</i>	FACW	8%
Unidentified Sedge	<i>Carex</i> sp.	FACW*	8%
Large Mountain Fleabane	<i>Erigeron coulteri</i>	FACW	7%
Arrow-Leaf Ragwort	<i>Senecio triangularis</i>	FACW	7%
Common Yarrow	<i>Achillea millefolium</i>	FACU	5%
Bull Thistle	<i>Cirsium vulgare</i>	FACU	5%
Fringed Grass-of-Parnassus	<i>Parnassia fimbriata</i>	OBL	5%
Red Elder	<i>Sambucus racemosa</i>	FACU	4%
Bog Orchid	<i>Platanthera aquilonis</i>	FACW	3%
Common Red Raspberry	<i>Rubus idaeus</i>	FACU	3%

*Indicator status of *Carex* sp. was assumed to be FACW. It was not able to be identified due to the fact that reproductive parts were not visible.



V. Soils

Sampling Point A was located in an area dominated by vegetation that falls under the wetland classification facultative wet. Soil samples taken in this area were dark in color, and were rich in organic matter. The texture of the soil was determined to be a silt loam by the hand-texturing method. The 0-14 inch depth exhibited a matrix that was comprised of a silt loam texture, black in color (10YR 2/1). Multiple soil samples were taken within the wetland area that yielded similar results.



VI. Hydrology

The hydrology of this wetland is supplied largely by snow melt every year. Deep snow packs accumulate in the mountains up valley (specifically Red Mountain to the east) and melt off occurs each spring, recharging the water table in the valley below. Saturated soils act as a sponge slowly releasing water that flows down valley below the surface of the soil. The property is located in the headwater region of the Blue River drainage basin. These low-lying areas likely serve important functions, such as flood control, nutrient and contaminant sequestration, as well as wildlife habitat. Seasonal fluctuations of the water table likely coincide with the runoff season with the highest water table coming in late spring. A 100-year flood evaluation or stream flow study has not been performed by our firm.

VII. Summary

Wetland delineation flags were placed on block 3, lot 17B, in the Timber Creek Estates Subdivision; a survey of the lot is currently pending and is being performed by others. The wetland is dominated by Field Horsetail across the majority of the wetland area and is part of a network of wetlands that shadow



the Blue River drainage basin as it continues down the valley. The network of wetlands is important to the wildlife habitat of the region. Wetlands shall not be disturbed without Town of Blue River and ACOE approval. Regulations include development and building setbacks to wetland boundaries, and the ACOE regulates all wetlands, therefore, all property development shall adhere to these regulations.

Thank you for the opportunity to serve your needs. If you have any questions about this report, please feel free to contact us at (970) 879-5112.

Sincerely,

Joseph Littlehorn, Wetland Consultant
Littlehorn Engineering & Surveying, LLC

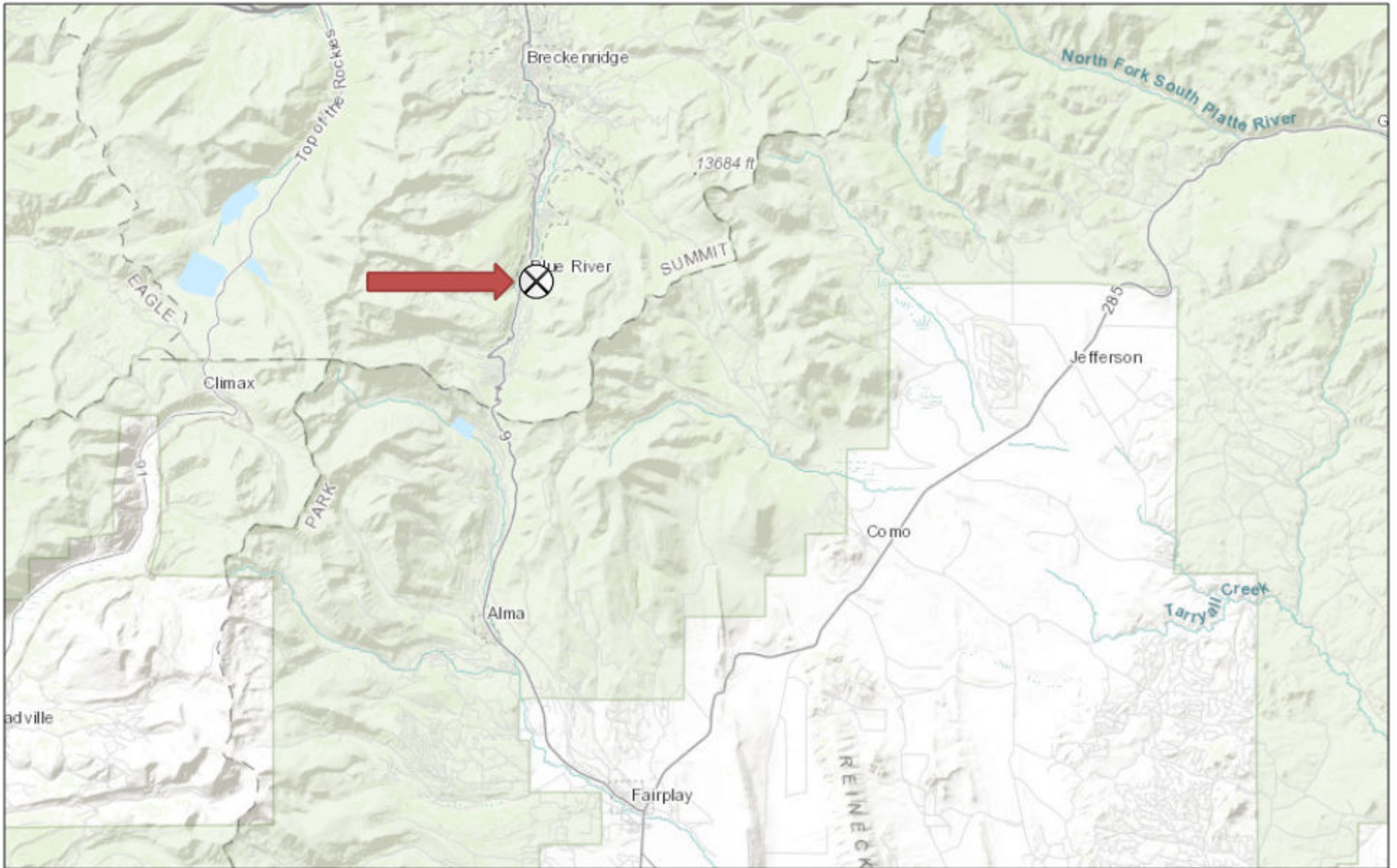
Enclosure:

- Vicinity Map
- Site Map
- Data Forms A and B

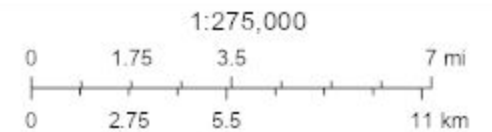


710 Whispering Pines Circle, Blue River

Section IV, Item B.





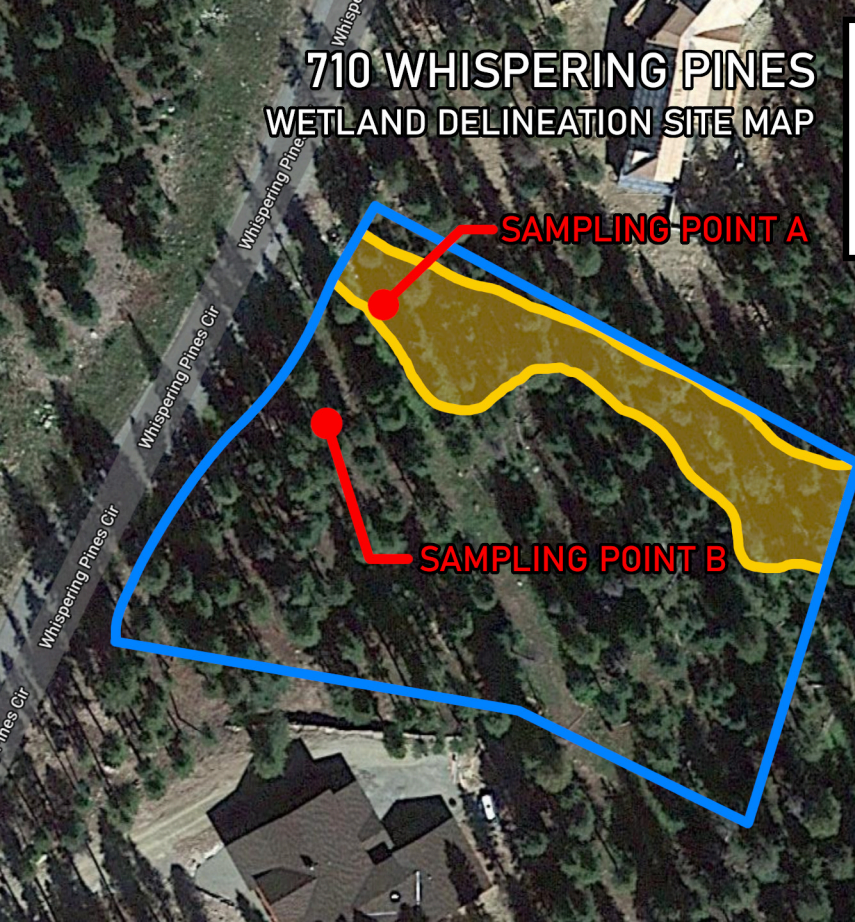
8/20/2020, 5:04:06 PM



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, US

710 WHISPERING PINES WETLAND DELINEATION SITE MAP

	APPROX. LOT <i>Section IV, Item B.</i>
	APPROX. DELINEATION LINES



WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Re

Section IV, Item B.

Project/Site: 710 Whispering Pines Circle City/County: Town of Blue River Sampling Date: 8/25/2020
 Applicant/Owner: Rich Davis State: CO Sampling Point: A
 Investigator(s): Joseph Littlehorn Section, Township, Range: S30 T7S R77W
 Landform (hillslope, terrace, etc.): Hillslope Local relief (concave, convex, none): None Slope (%): 15
 Subregion (LRR): E Lat: 39°24'25.91"N Long: 106°02'33.96"W Datum: WGS84
 Soil Map Unit Name: Not mapped NWI classification: R4SBC

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Hydric Soil Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

Remarks:
Hydrology is problematic because we are outside of the peak wet season, which was ~June 7 this year.

VEGETATION – Use scientific names of plants.

<u>Tree Stratum</u> (Plot size: _____*)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:	
1. <u>Picea engelmannii</u>	25	<input checked="" type="checkbox"/>	FAC		Number of Dominant Species That Are OBL, FACW, or FAC: <u>6</u> (A)
2. _____				Total Number of Dominant Species Across All Strata: <u>6</u> (B)	
3. _____				Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)	
4. _____				Prevalence Index worksheet:	
	25 = Total Cover				Total % Cover of: _____ Multiply by: _____
<u>Sapling/Shrub Stratum</u> (Plot size: _____*)				OBL species <u>5</u> x 1 = <u>5</u>	
1. <u>Lonicera involucrata</u>	8	<input checked="" type="checkbox"/>	FAC	FACW species <u>59</u> x 2 = <u>118</u>	
2. <u>Salix bebbiana</u>	8	<input checked="" type="checkbox"/>	FACW	FAC species <u>105</u> x 3 = <u>315</u>	
3. <u>Picea engelmannii</u>	7	<input checked="" type="checkbox"/>	FAC	FACU species <u>16</u> x 4 = <u>64</u>	
4. _____				UPL species <u>0</u> x 5 = <u>0</u>	
5. _____				Column Totals: <u>185</u> (A) <u>502</u> (B)	
	23 = Total Cover			Prevalence Index = B/A = <u>2.71</u>	
<u>Herb Stratum</u> (Plot size: _____*)				Hydrophytic Vegetation Indicators:	
1. <u>Equisetum arvense</u>	65	<input checked="" type="checkbox"/>	FAC		<input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation
2. <u>Micranthes odontoloma</u>	18	<input checked="" type="checkbox"/>	FACW		<input checked="" type="checkbox"/> 2 - Dominance Test is >50%
3. <u>Poa leptocoma</u>	15		FACW		<input checked="" type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹
4. <u>Chamaenerion angustifolium</u>	8		FACU		<input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet)
5. <u>Carex sp.</u>	8		FACW		<input checked="" type="checkbox"/> 5 - Wetland Non-Vascular Plants ¹
6. <u>Senecio triangularis</u>	7		FACW		<input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)
7. <u>Parnassia fimbriata</u>	5		OBL		¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
8. <u>Fragaria virginiana</u>	4		FACU		
9. <u>Daucus carota</u>	4		FACU		
10. <u>Patanthera aquilonis</u>	3		FACW		
11. _____					
	137 = Total Cover				
<u>Woody Vine Stratum</u> (Plot size: _____*)				Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
1. _____					
2. _____					
% Bare Ground in Herb Stratum <u>20</u>					

Remarks:
***Sampled entire plant community. Unidentified moss present, approximately 60 percent of the canopy cover.**

SOIL

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-14	10YR 2/1	100	-	-	-	-	SiL	~25% organic matter

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) **(except MLRA 1)**
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils³:

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes No

Remarks:

HCl test did not yield noticeable Hydrogen Sulfide odor.

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)
- Water-Stained Leaves (B9) **(except MLRA 1, 2, 4A, and 4B)**
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) **(LRR A)**
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) **(MLRA 1, 2, 4A, and 4B)**
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC-Neutral Test (D5)
- Raised Ant Mounds (D6) **(LRR A)**
- Frost-Heave Hummocks (D7)

Field Observations:

Surface Water Present? Yes No Depth (inches): _____
 Water Table Present? Yes No Depth (inches): 6
 Saturation Present? Yes No Depth (inches): 0
 (includes capillary fringe)

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

USGS 09046490 Stream Gauge at Blue River recorded peak flows around June 7, 2020, and July 20, 2020.

Remarks:

Problematic hydrology because the delineation was performed during the dry season.

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Re

Section IV, Item B.

Project/Site: 710 Whispering Pines Circle City/County: Town of Blue River Sampling Date: 8/25/2020
 Applicant/Owner: Rich Davis State: CO Sampling Point: B
 Investigator(s): Joseph Littlehorn Section, Township, Range: S30 T7S R77W
 Landform (hillslope, terrace, etc.): Hillslope Local relief (concave, convex, none): None Slope (%): 15
 Subregion (LRR): E Lat: 39°24'25.09"N Long: 106°02'34.23"W Datum: WGS84
 Soil Map Unit Name: Not mapped NWI classification: Not mapped

Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , or Hydrology significantly disturbed? Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , or Hydrology naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Is the Sampled Area within a Wetland?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Wetland Hydrology Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Remarks: Hydrology is problematic because we are outside of the peak wet season, which was ~June 7 this year.					

VEGETATION – Use scientific names of plants.

<u>Tree Stratum</u> (Plot size: _____*)	Absolute % Cover	Dominant Species?	Indicator Status																	
1. <u>Picea engelmannii</u>	30	<input checked="" type="checkbox"/>	FAC	Dominance Test worksheet: Number of Dominant Species That Are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>5</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>20</u> (A/B)																
2. <u>Abies lasiocarpa</u>	20	<input checked="" type="checkbox"/>	FACU																	
3. _____																				
4. _____																				
	50	= Total Cover																		
<u>Sapling/Shrub Stratum</u> (Plot size: _____*)				Prevalence Index worksheet: <table style="width:100%; border:none;"> <tr> <td style="width:50%;">Total % Cover of:</td> <td style="width:50%;">Multiply by:</td> </tr> <tr> <td>OBL species <u>0</u></td> <td>x 1 = <u>0</u></td> </tr> <tr> <td>FACW species <u>7</u></td> <td>x 2 = <u>14</u></td> </tr> <tr> <td>FAC species <u>50</u></td> <td>x 3 = <u>150</u></td> </tr> <tr> <td>FACU species <u>161</u></td> <td>x 4 = <u>644</u></td> </tr> <tr> <td>UPL species <u>45</u></td> <td>x 5 = <u>225</u></td> </tr> <tr> <td>Column Totals: <u>263</u> (A)</td> <td><u>1033</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align:center;">Prevalence Index = B/A = <u>3.92</u></td> </tr> </table>	Total % Cover of:	Multiply by:	OBL species <u>0</u>	x 1 = <u>0</u>	FACW species <u>7</u>	x 2 = <u>14</u>	FAC species <u>50</u>	x 3 = <u>150</u>	FACU species <u>161</u>	x 4 = <u>644</u>	UPL species <u>45</u>	x 5 = <u>225</u>	Column Totals: <u>263</u> (A)	<u>1033</u> (B)	Prevalence Index = B/A = <u>3.92</u>	
Total % Cover of:	Multiply by:																			
OBL species <u>0</u>	x 1 = <u>0</u>																			
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FAC species <u>50</u>	x 3 = <u>150</u>																			
FACU species <u>161</u>	x 4 = <u>644</u>																			
UPL species <u>45</u>	x 5 = <u>225</u>																			
Column Totals: <u>263</u> (A)	<u>1033</u> (B)																			
Prevalence Index = B/A = <u>3.92</u>																				
1. <u>Vaccinium scoparium</u>	20	<input checked="" type="checkbox"/>	FACU																	
2. <u>Sambucus racemosa</u>	4		FACU																	
3. <u>Rubus idaeus</u>	3		FACU																	
4. <u>Lonicera involucrata</u>	2		FAC																	
5. _____																				
	29	= Total Cover																		
<u>Herb Stratum</u> (Plot size: _____*)				Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is >50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> 5 - Wetland Non-Vascular Plants ¹ <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.																
1. <u>Chamaenerion agustifolium</u>	65	<input checked="" type="checkbox"/>	FACU																	
2. <u>Bromus inermis</u>	35	<input checked="" type="checkbox"/>	UPL																	
3. <u>Fragaria virginiana</u>	25		FACU																	
4. <u>Arnica latifolia</u>	18		FAC																	
5. <u>Lupinus argenteus</u>	10		UPL																	
6. <u>Taraxacum officinale</u>	8		FACU																	
7. <u>Erigeron coulteri</u>	7		FACW																	
8. <u>Daucus carota</u>	6		FACU																	
9. <u>Achillea millefolium</u>	5		FACU																	
10. <u>Cirsium vulgare</u>	5		FACU																	
11. _____																				
	184	= Total Cover																		
<u>Woody Vine Stratum</u> (Plot size: _____*)				Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>																
1. _____																				
2. _____																				
% Bare Ground in Herb Stratum <u>10</u>																				
Remarks: *Sampled entire plant community.																				

SOIL

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-1	10YR 2/2	100	-	-	-	-	SiL	Spruce needles/O.M.
1-14	7.5YR 5/3	100	-	-	-	-	SiL	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1) (**except MLRA 1**)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils³:

- 2 cm Muck (A10)
- Red Parent Material (TF2)
- Very Shallow Dark Surface (TF12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes _____ No

Remarks:

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Surface Soil Cracks (B6)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)

- Water-Stained Leaves (B9) (**except MLRA 1, 2, 4A, and 4B**)
- Salt Crust (B11)
- Aquatic Invertebrates (B13)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres along Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Stunted or Stressed Plants (D1) (**LRR A**)
- Other (Explain in Remarks)

Secondary Indicators (2 or more required)

- Water-Stained Leaves (B9) (**MLRA 1, 2, 4A, and 4B**)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Saturation Visible on Aerial Imagery (C9)
- Geomorphic Position (D2)
- Shallow Aquitard (D3)
- FAC-Neutral Test (D5)
- Raised Ant Mounds (D6) (**LRR A**)
- Frost-Heave Hummocks (D7)

Field Observations:

Surface Water Present? Yes _____ No Depth (inches): _____
 Water Table Present? Yes _____ No Depth (inches): _____
 Saturation Present? Yes _____ No Depth (inches): _____
 (includes capillary fringe)

Wetland Hydrology Present? Yes _____ No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

USGS 09046490 Stream Gauge at Blue River recorded peak flows around June 7, 2020, and July 20, 2020.

Remarks:

Problematic hydrology because the delineation was performed during the dry season.

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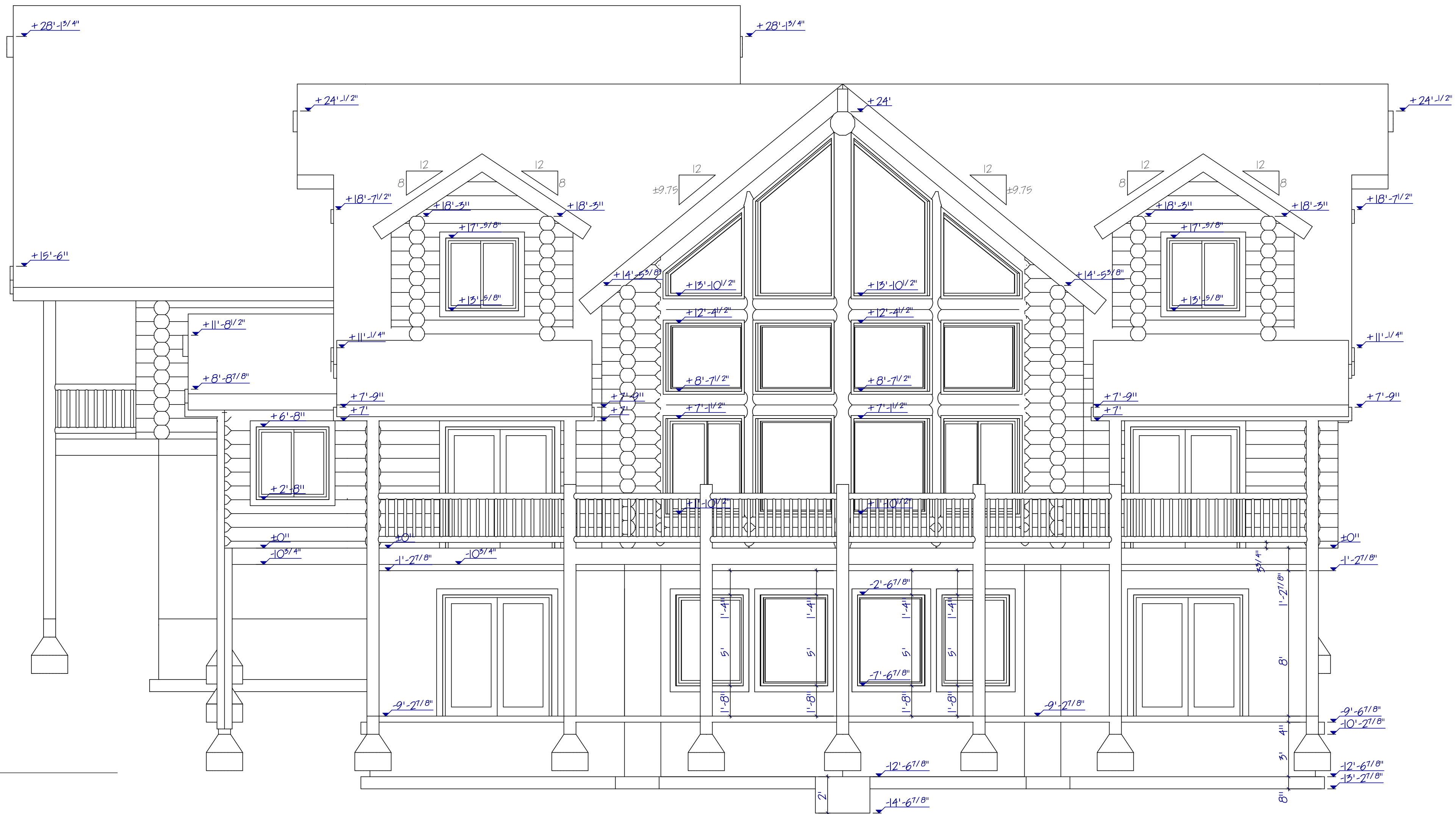
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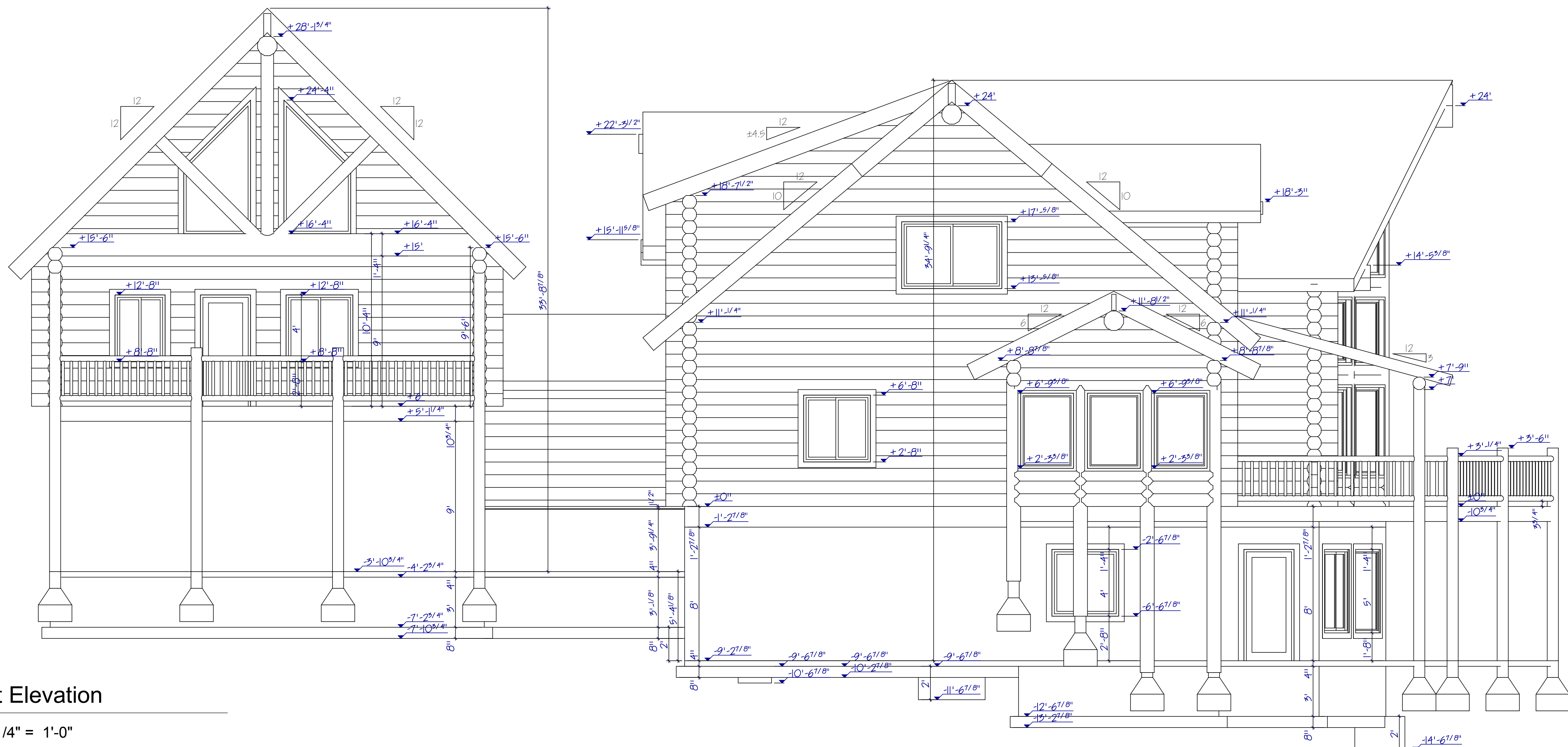
A9



A9-1

Front Elevation

1/4" = 1'-0"



A9-2

Left Elevation

1/4" = 1'-0"



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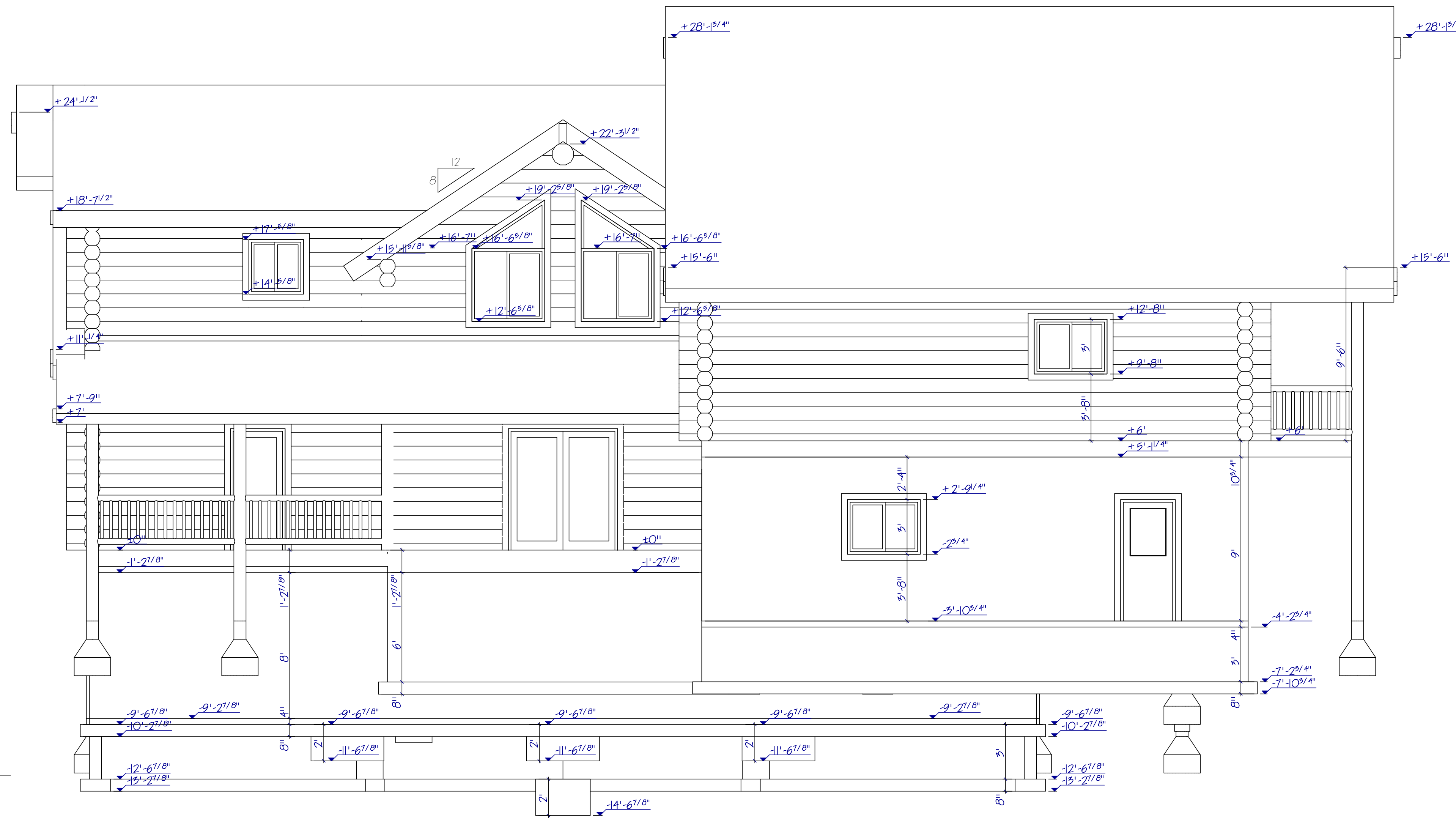
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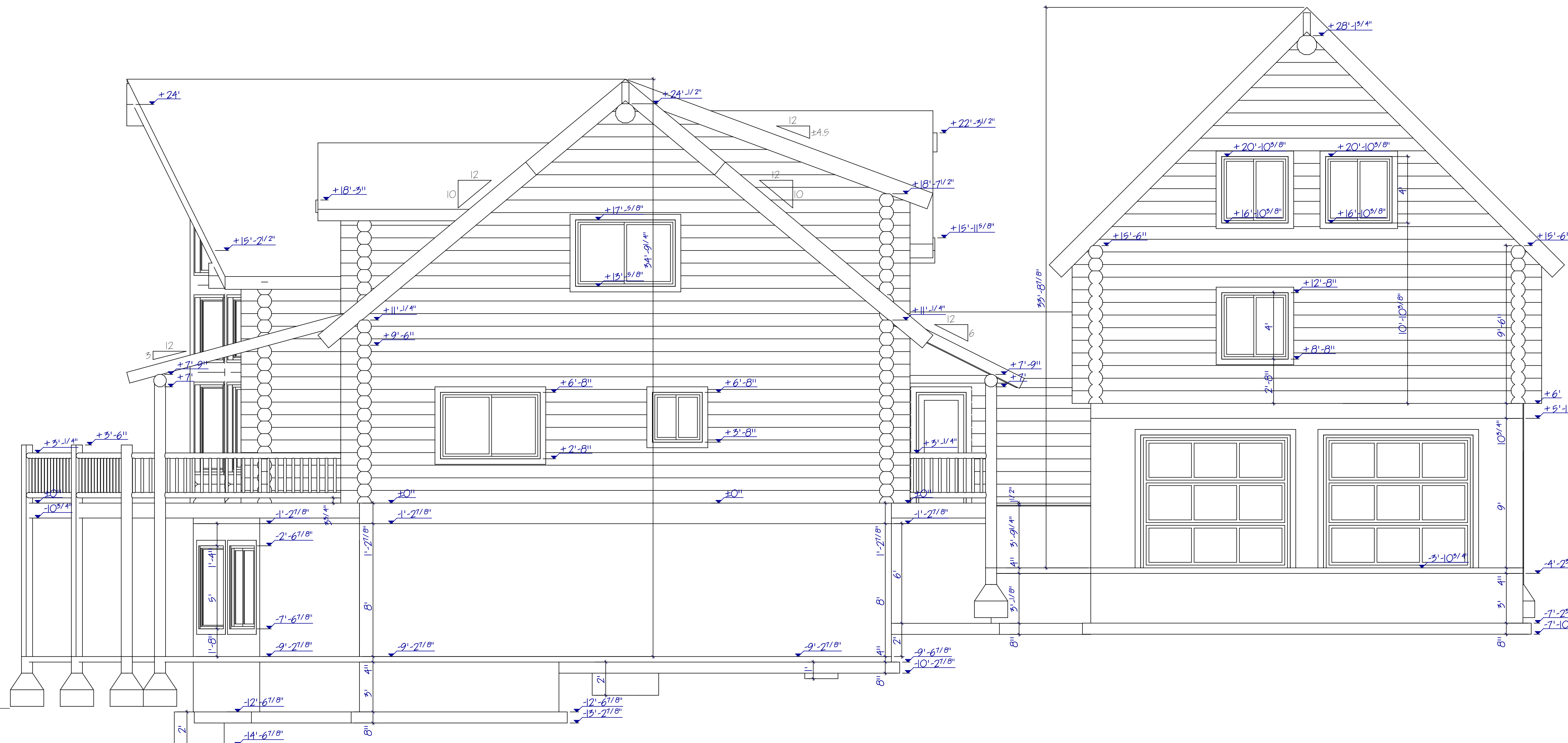
A10



Rear Elevation

1/4" = 1'-0"

A10-1



Right Elevation

1/4" = 1'-0"

A10-2

PREPARED FOR:

Rich Davis
710 Whispering Pines Circle
Blue River, CO 80424

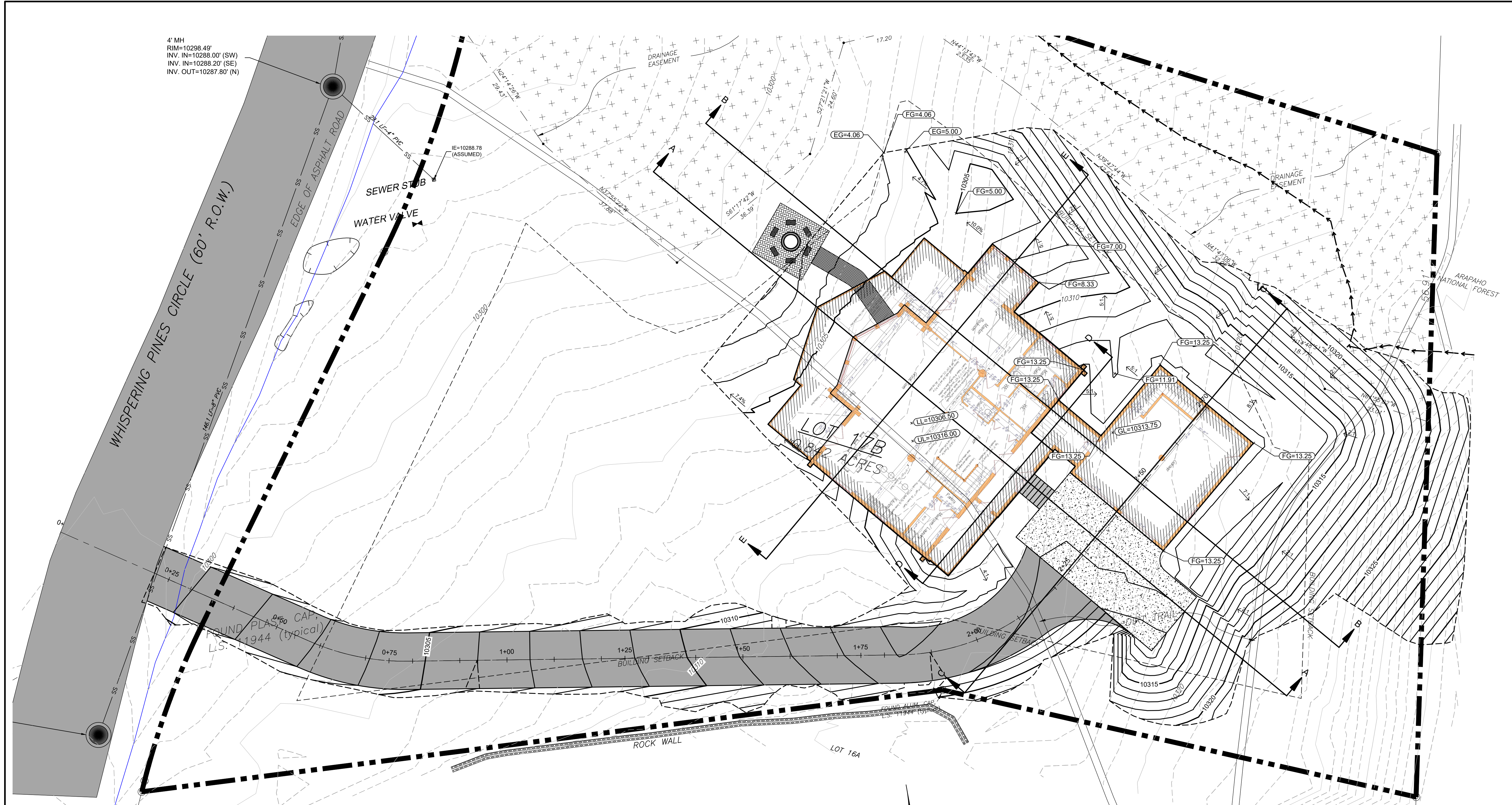
710 WHISPERING PINES
BLUE RIVER, COLORADO

JOB NO. 1298
DESIGN BY: OLB
DRAWN BY: OLB
CHECK BY: OLB
ISSUE DATE: 03/23/2023

REVISIONS:	
1)	BLUE RIVER SUBMITTAL
2)	XX
3)	
4)	
5)	
6)	

GRADING PLAN

C3.0



4' MH
RIM=10298.49'
INV. IN=10288.00' (SW)
INV. IN=10288.20' (SE)
INV. OUT=10287.80' (N)

OUND PLAN
1944 (typical)

ROCK WALL

LOT 16A

ARAPAHO NATIONAL FOREST

SURVEYOR

NOTE: INFORMATION SHOWN ON THIS PLAN ARE BASED ON A SURVEY PLAT PREPARED BY:

ROB ANDREWS LAND SURVEYING
PO BOX 1351
BRECKENRIDGE, CO 80424
OFFICE (970) 453-1860
CONTACT: ROB ANDREWS, PLS

CIVIL ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION. TO THE BEST OF MY KNOWLEDGE, THESE PLANS ARE IN ACCORDANCE WITH APPLICABLE CITY OF BLUE RIVER STANDARDS. I ALSO UNDERSTAND THAT I AM RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.



OTTO BURDEN, P.E.
COLORADO P.E. 37088
FOR AND ON BEHALF OF COLORADO CIVIL ENGINEERING, LLC

DATE

PREPARED FOR:

Rich Davis
710 Whispering Pines Circle
Blue River, CO 80424

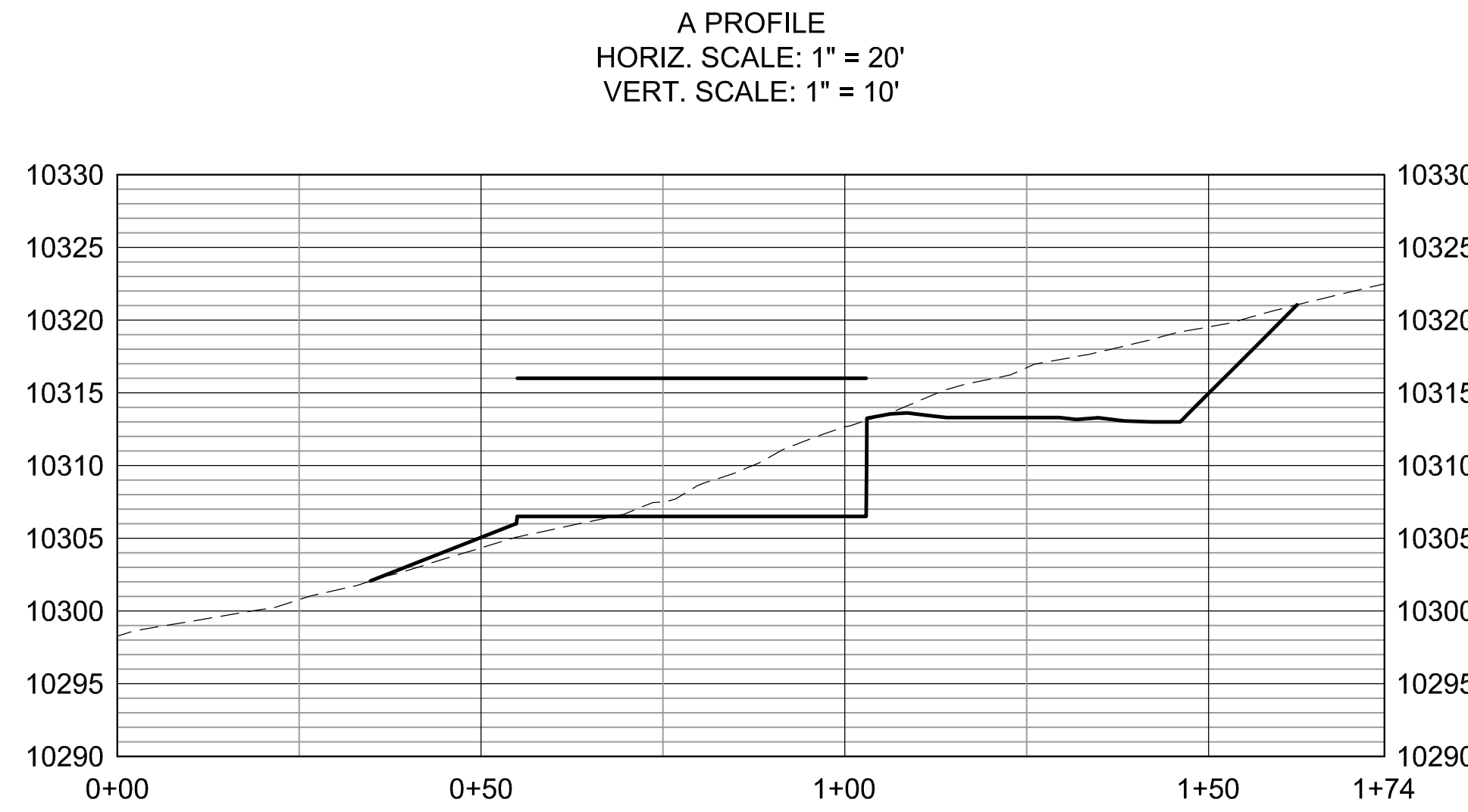
710 WHISPERING PINES
BLUE RIVER, COLORADO

JOB NO.	1298
DESIGN BY:	OLB
DRAWN BY:	OLB
CHECK BY:	OLB
ISSUE DATE:	03/23/2023

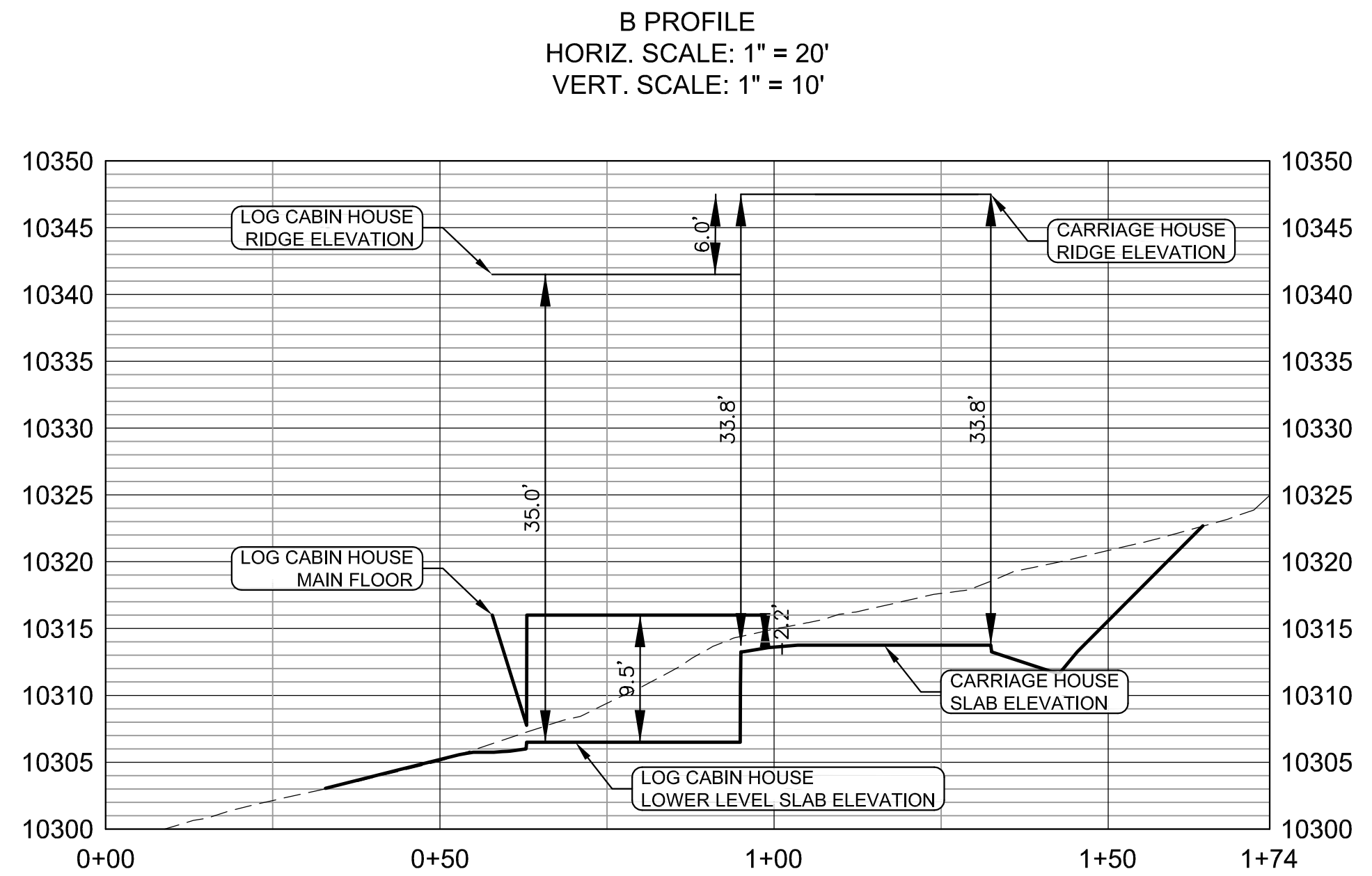
REVISIONS:	
1)	BLUE RIVER SUBMITTAL
2)	XX
3)	
4)	
5)	
6)	

GRADING SECTIONS

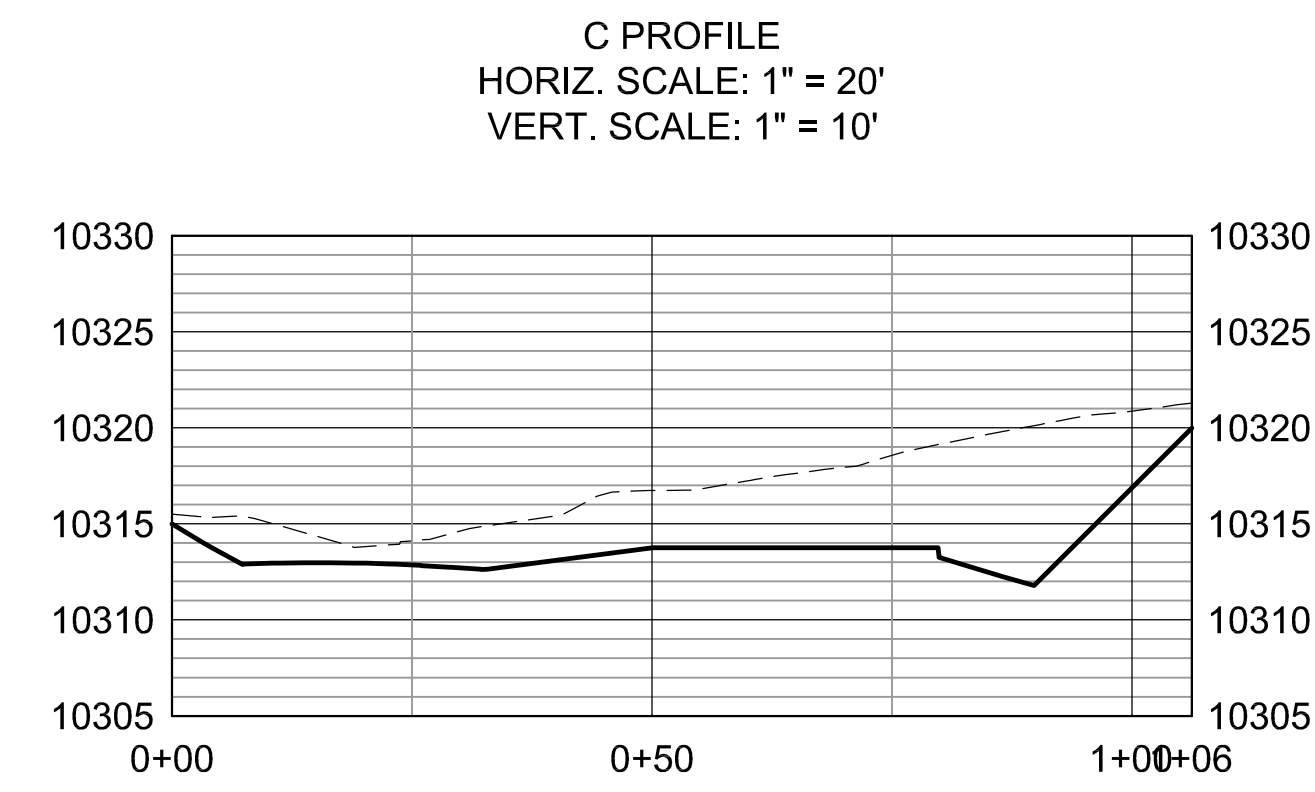
C3.1



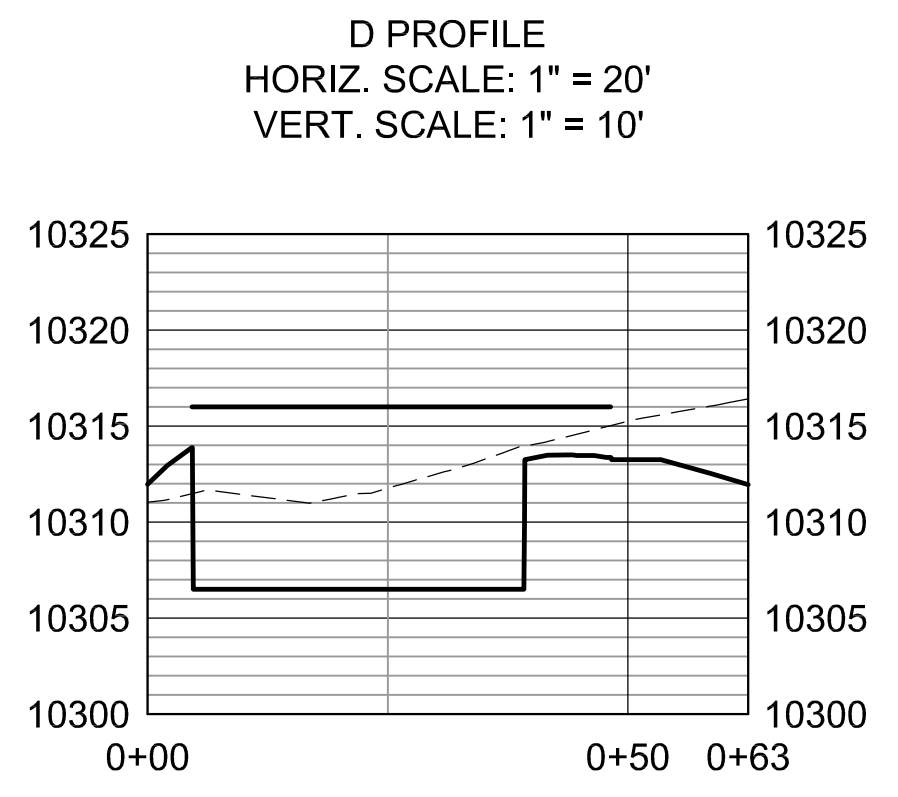
1 GRADING SECTION A-A
C2.1 NO SCALE



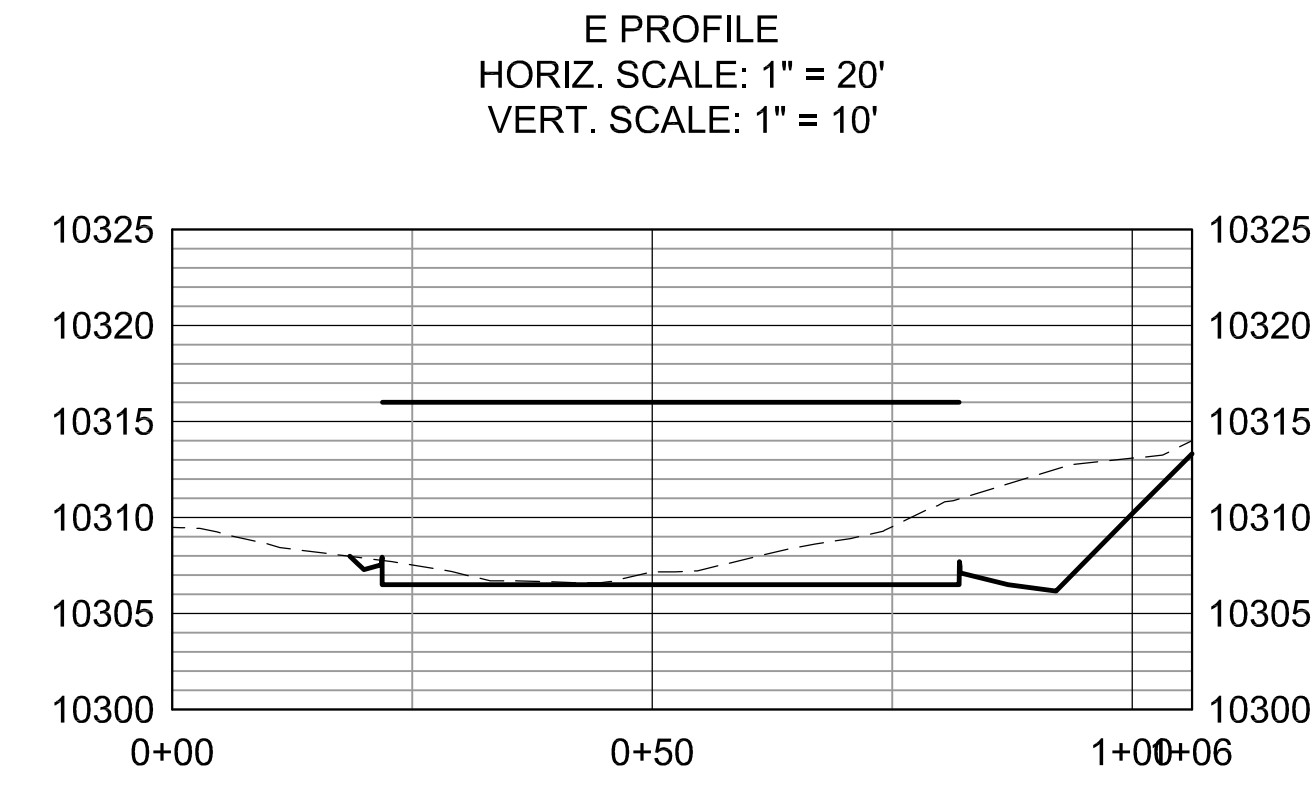
2 GRADING SECTION B-B
C2.1 NO SCALE



3 GRADING SECTION C-C
C2.1 NO SCALE



4 GRADING SECTION D-D
C2.1 NO SCALE



5 GRADING SECTION E-E
C2.1 NO SCALE

SURVEYOR

NOTE: INFORMATION SHOWN ON THIS PLAN ARE BASED ON A SURVEY PLAT PREPARED BY:

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BRECKENRIDGE, CO 80424
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COLORADO P.E. 37088
FOR AND ON BEHALF OF COLORADO CIVIL ENGINEERING, LLC

DATE _____

Section IV, Item B.



Section IV, Item B.





Log Home Residence

Basement area: 1,848 ft²
Main Floor living area: 2,156 ft²
Loft living area: 1,290 ft²
Total living area: 5,294 ft²

Uncovered Decks: 272 ft²
Covered Porches: 416 ft²

Log Carriage House

Main Floor living area: 780 ft²
Loft living area: 195 ft²
Total living area: 975 ft²

Garage area: 780 ft²
Covered Porches: 156 ft²



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**Rich &
Marshella
Davis**

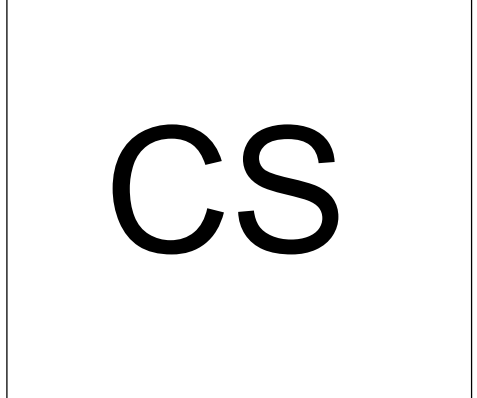
Revisions

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Mark:
By:

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Designer:
Jacob
Prestegaard

Date: 02/24/23





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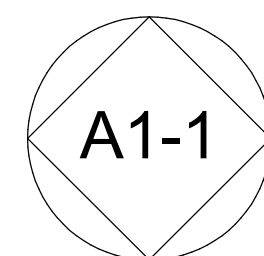
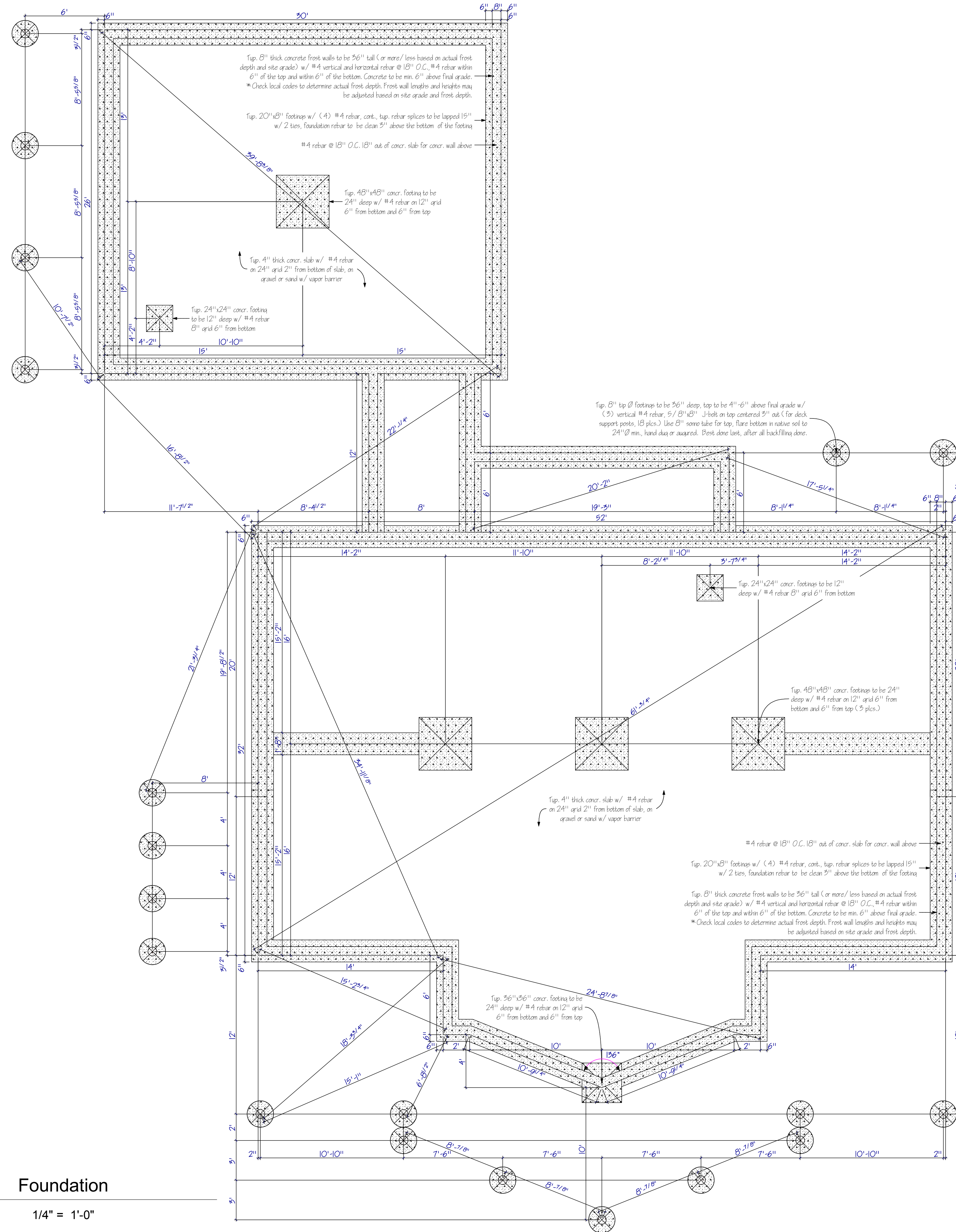
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A1



Foundation

1/4" = 1'-0"



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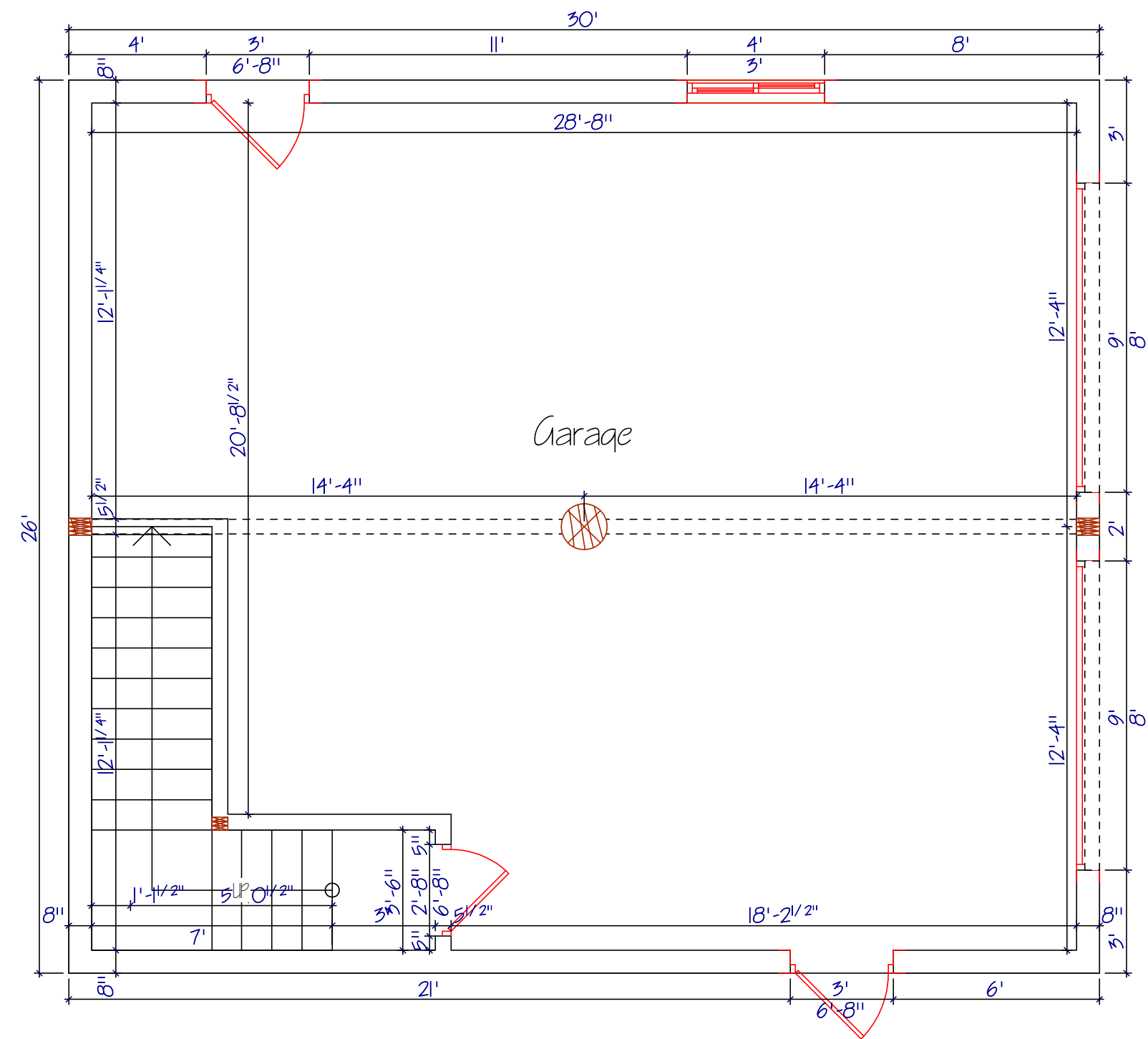
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A2



Basement Notes:

*Determine actual window and door rough openings before pouring / building walls. See construction guide for pre-hung door rough openings or contact your window / door provider

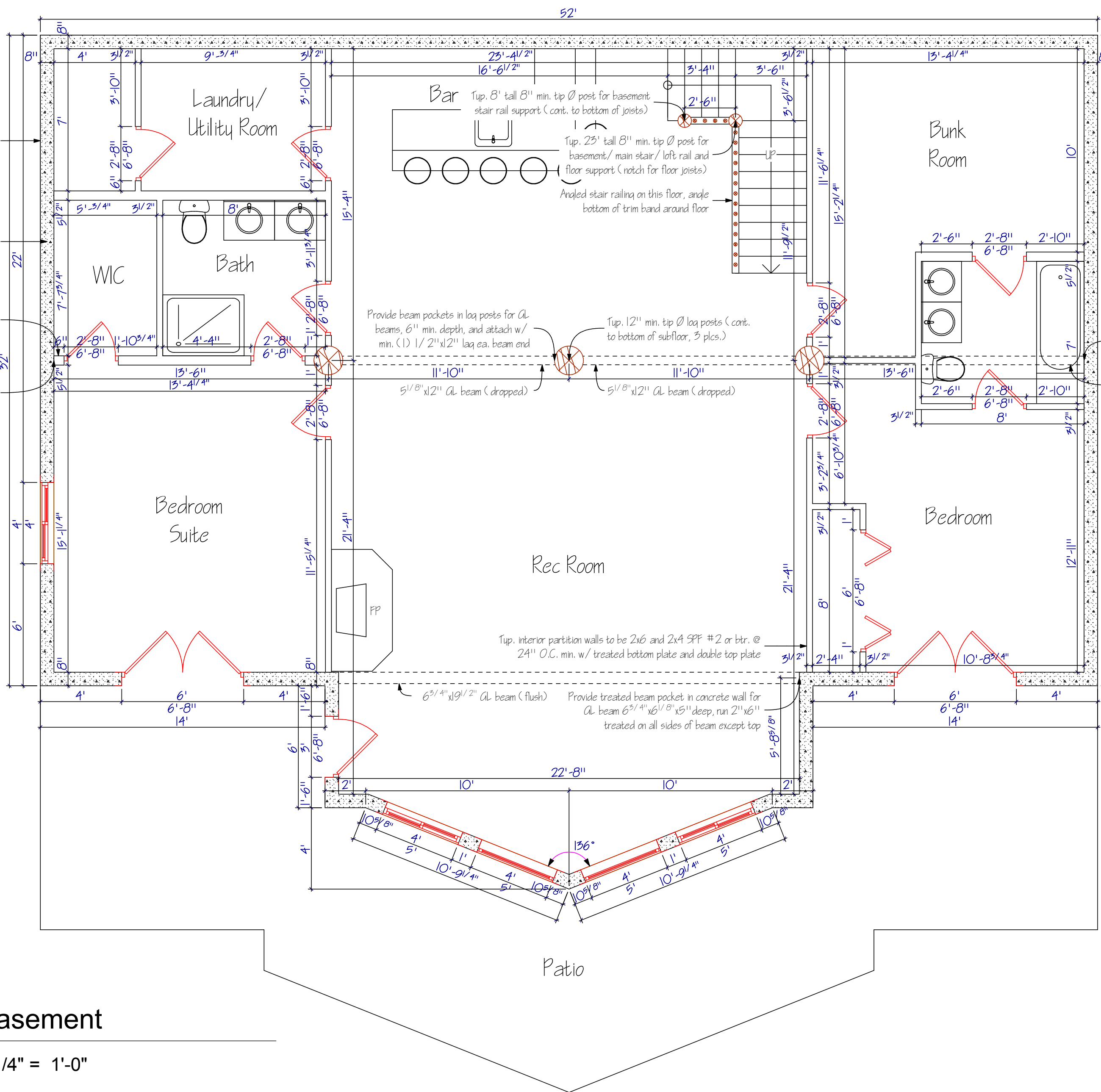
*Basement wall height is measured from top of slab. If slab butts to basement walls, slab height should be added to wall height

Tip: 8" tall ext. walls to be 8" thick w/ #4 vertical and horizontal rebar @ 16" O.C., #4 rebar within 6" of the top and within 6" of the bottom. Concrete to be min. 6" above final grade. Framed walls can be used in lieu of conc. (where grade permits) w/ 2"x8" SFF #2 or btr. @ 16" O.C. w/ treated bottom plate and double top plate. Attach treated plate to slab w/ 5/8" anchor bolts, min. 7" embedment, 12" from ends and openings and 36" O.C. Sheet ext. walls w/ min. 7/16" OSB sheathing.

Provide 5/8" J-bolts in concrete walls 5" out of concrete and min. 7" embedment, 4.5" in from outer edge, 12" from corners or openings and every 48" O.C.

Tip: interior bearing walls to be 2x6 SFF #2 or btr. @ 16" O.C. w/ treated bottom plate and dbl. top plate. Min. (2) 2x10 headers above door openings. Attach treated plate to slab w/ 5/8" anchor bolts, 12" min. from ends and 48" O.C. and min. 4" embedment.

Provide treated 2"x6" stud @ conc. wall for railing. Attach to conc. wall w/ conc. nails



A2-1

Basement

1/4" = 1'-0"



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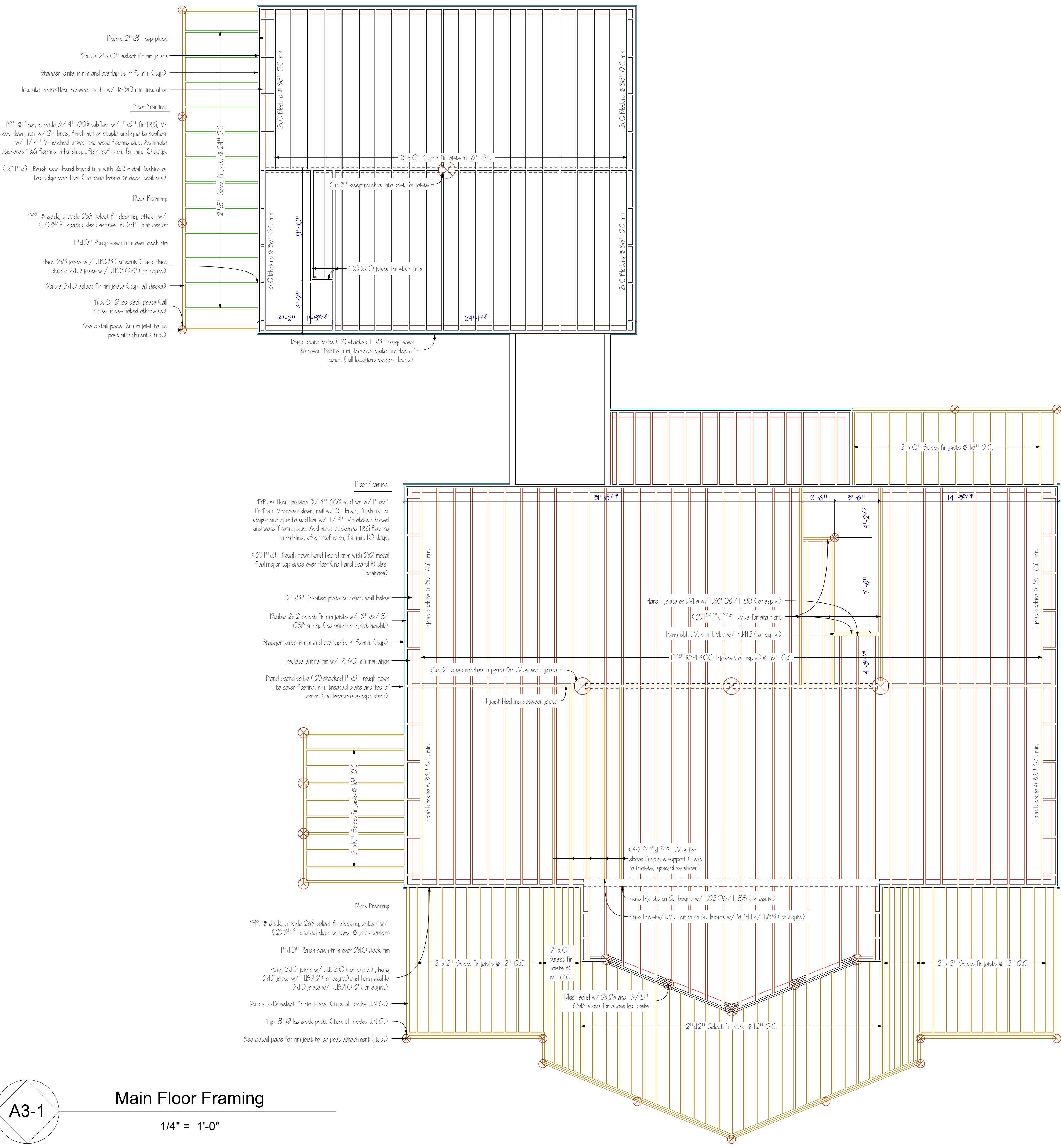
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Date: 02/24/23

A3



A3-1 Main Floor Framing
1/4" = 1'-0"



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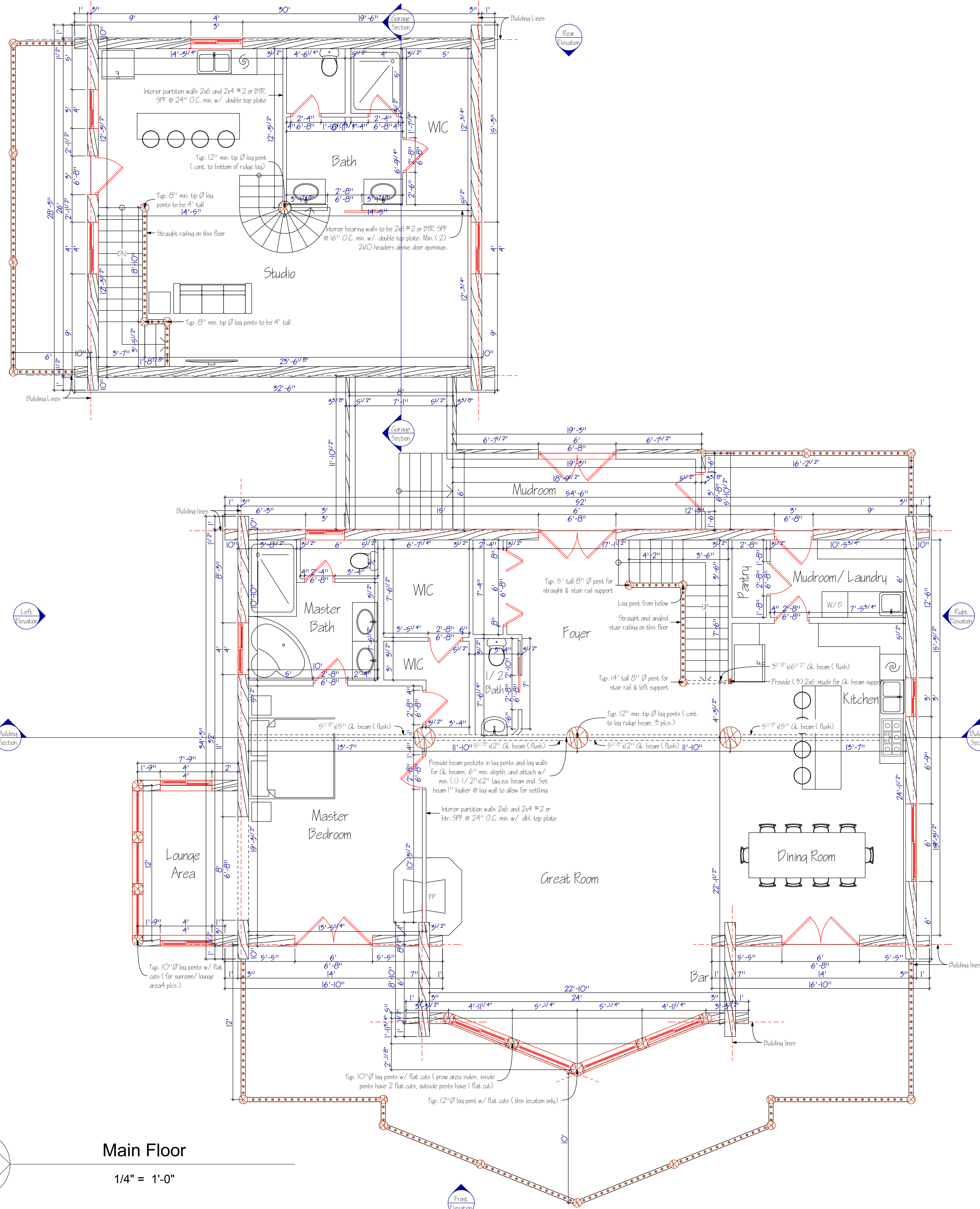
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A4



A4-1

Main Floor

1/4" = 1'-0"





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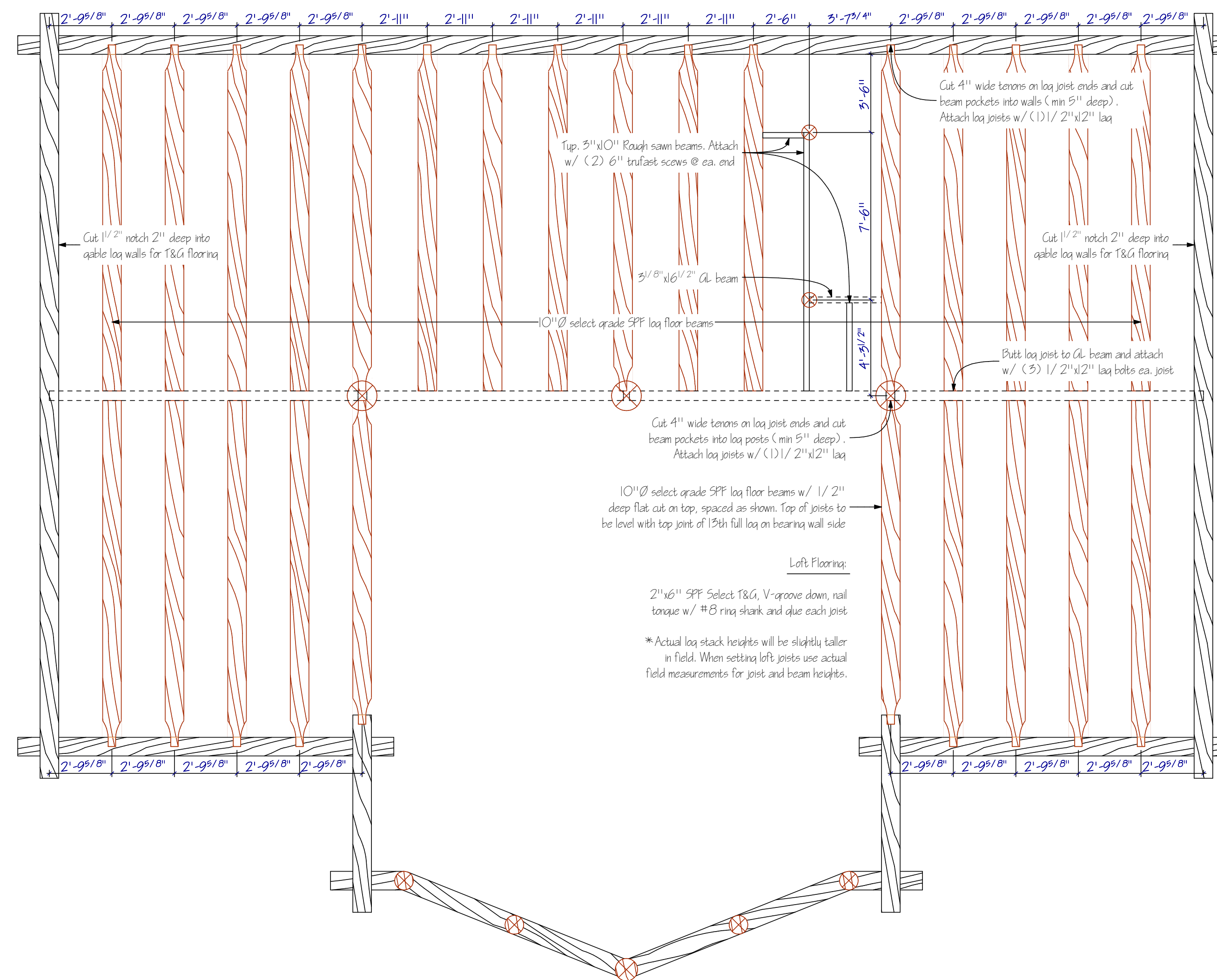
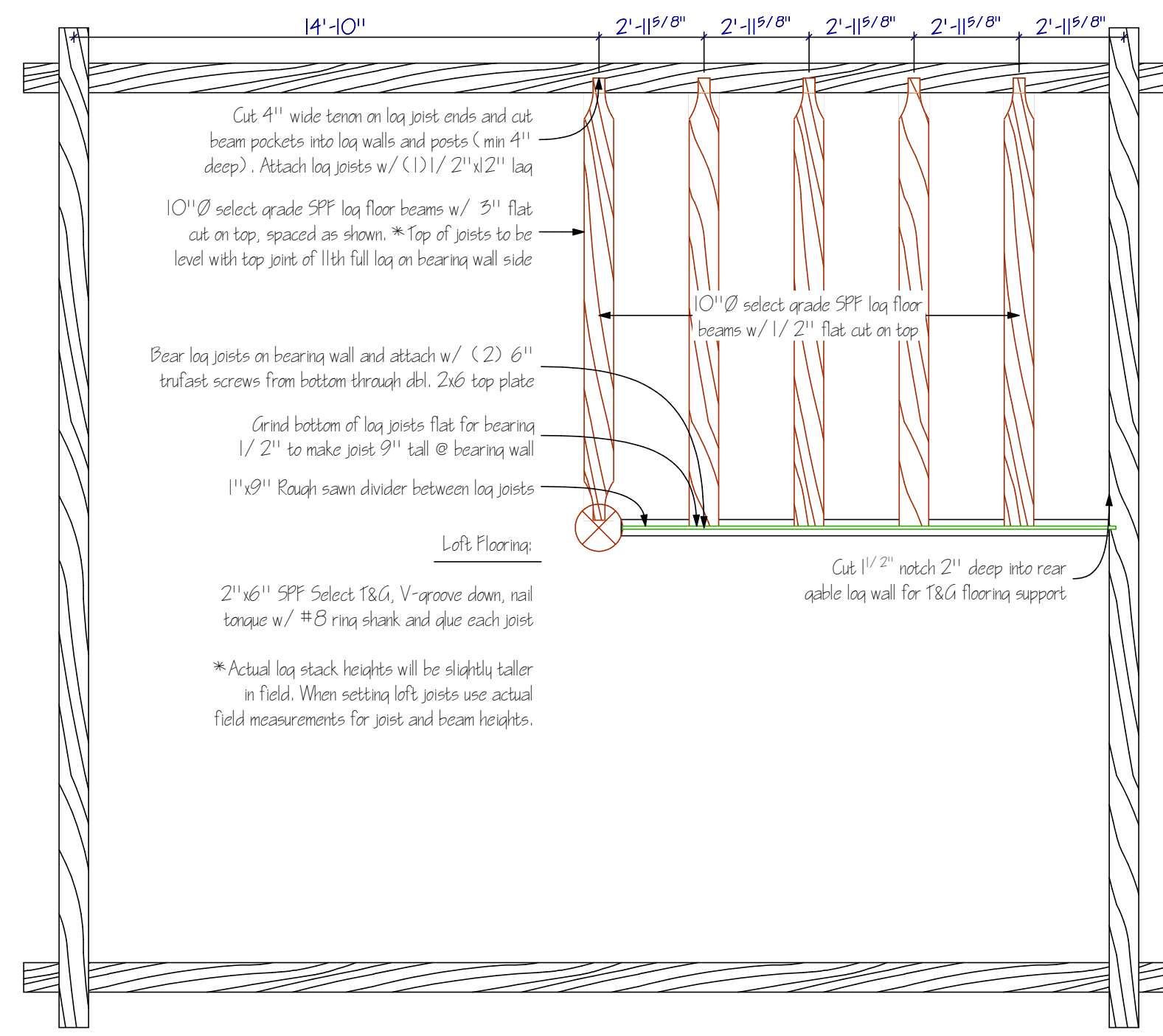
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A5



A5-1 Loft Floor Framing
 1/4" = 1'-0"



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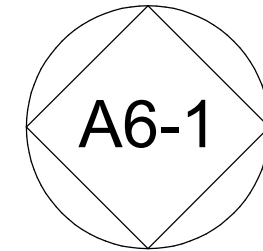
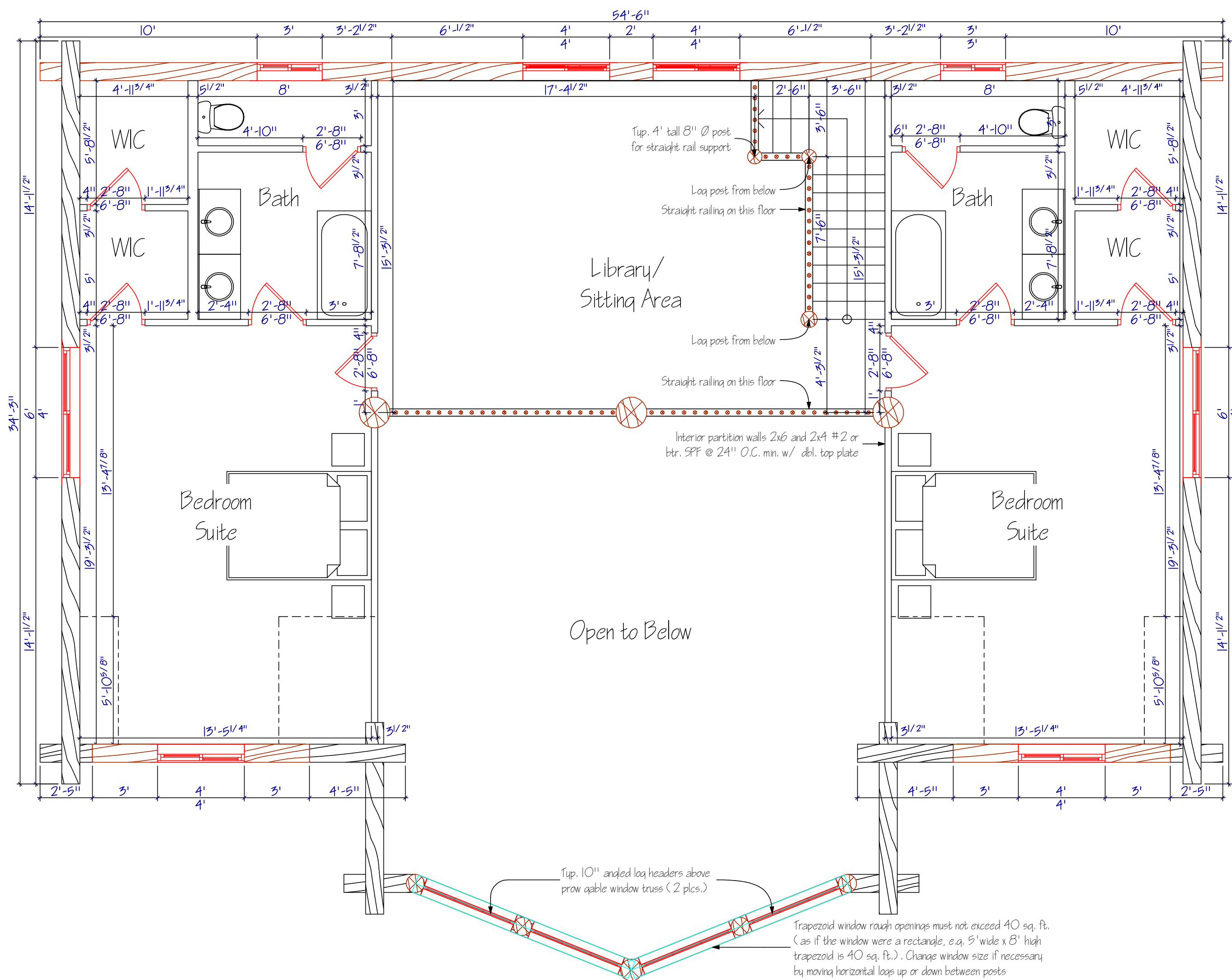
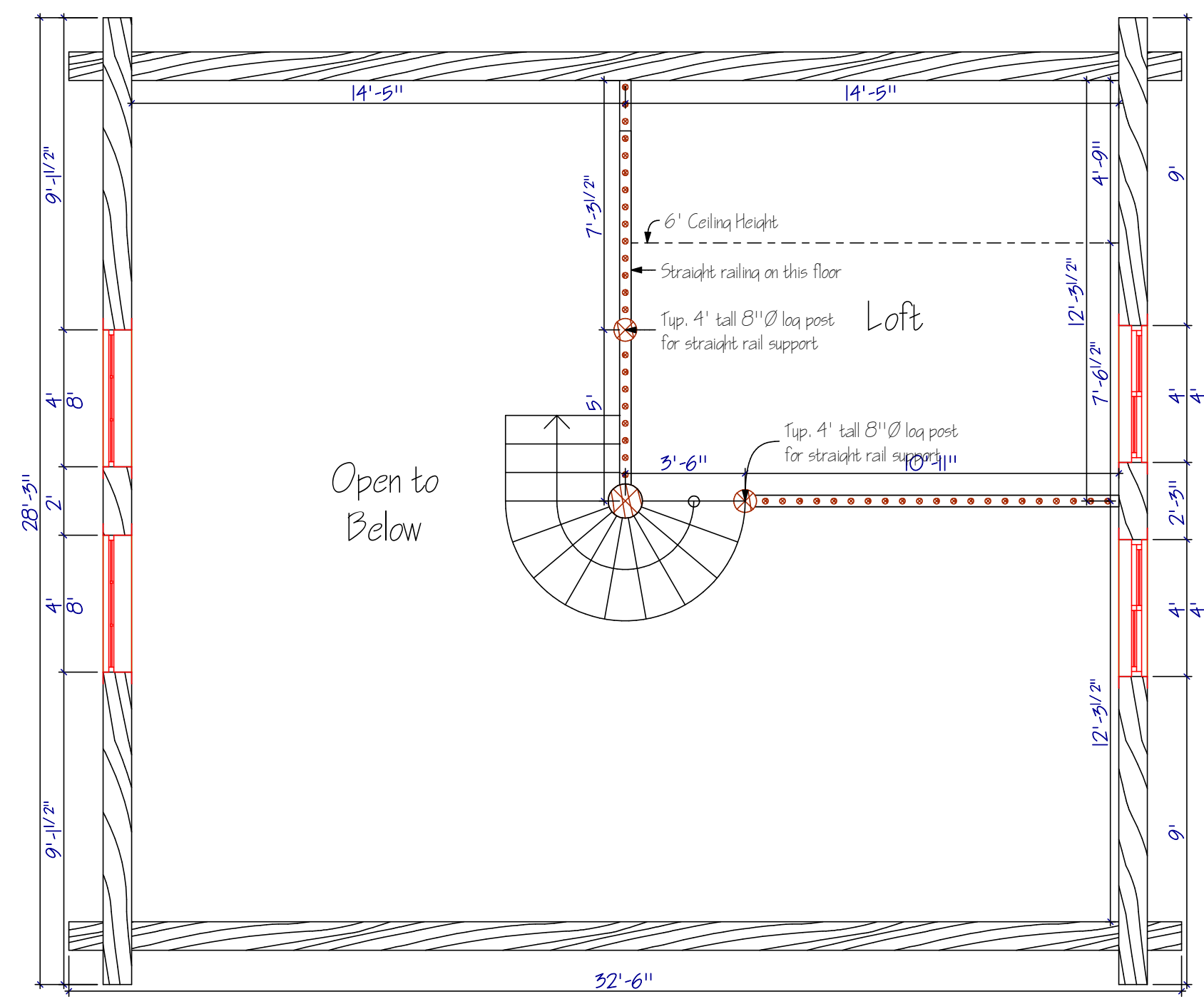
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A6



Loft Floor

1/4" = 1'-0"



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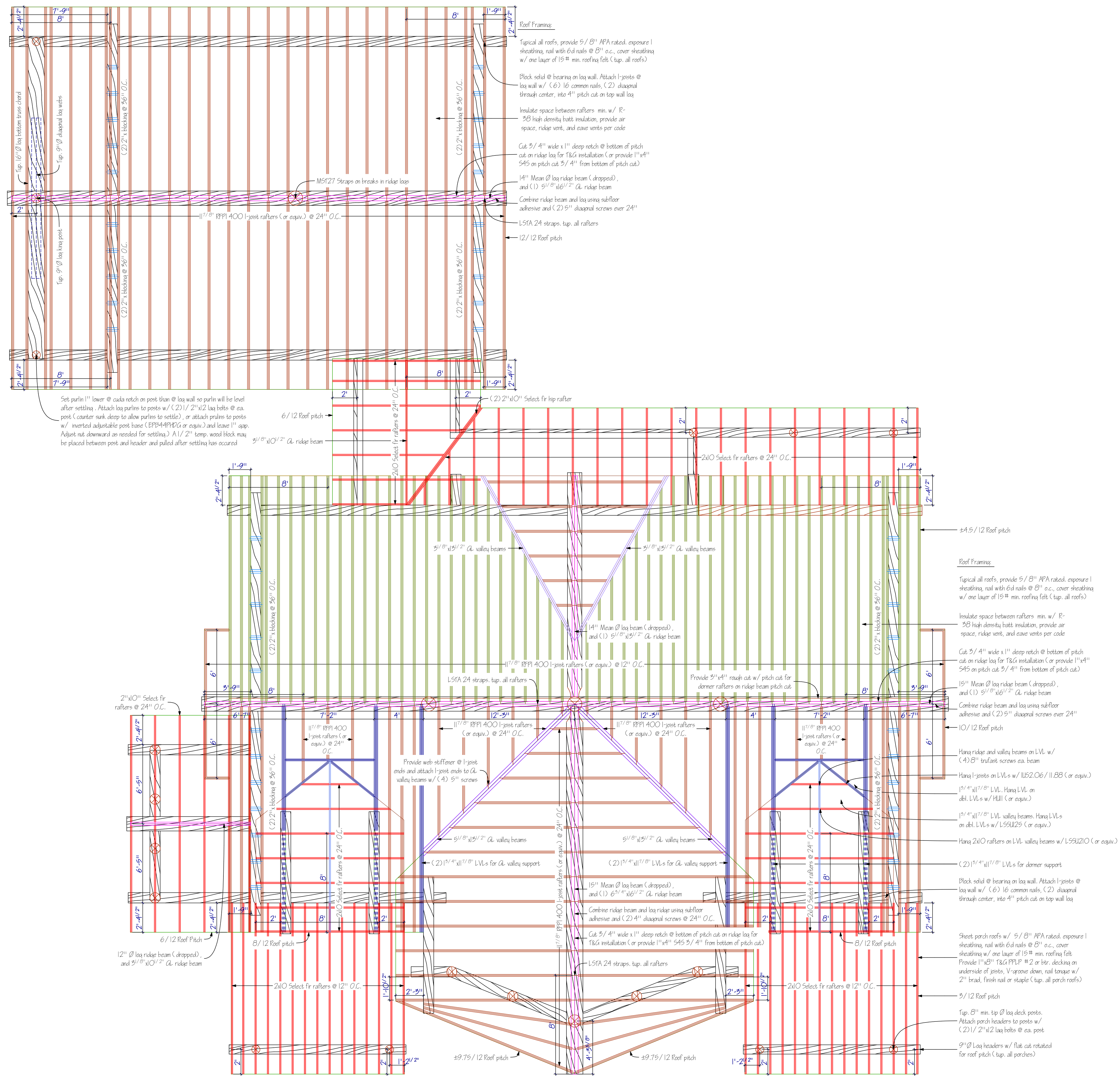
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Date: 02/24/23

A7



A7-1 Roof Framing
1/4" = 1'-0"



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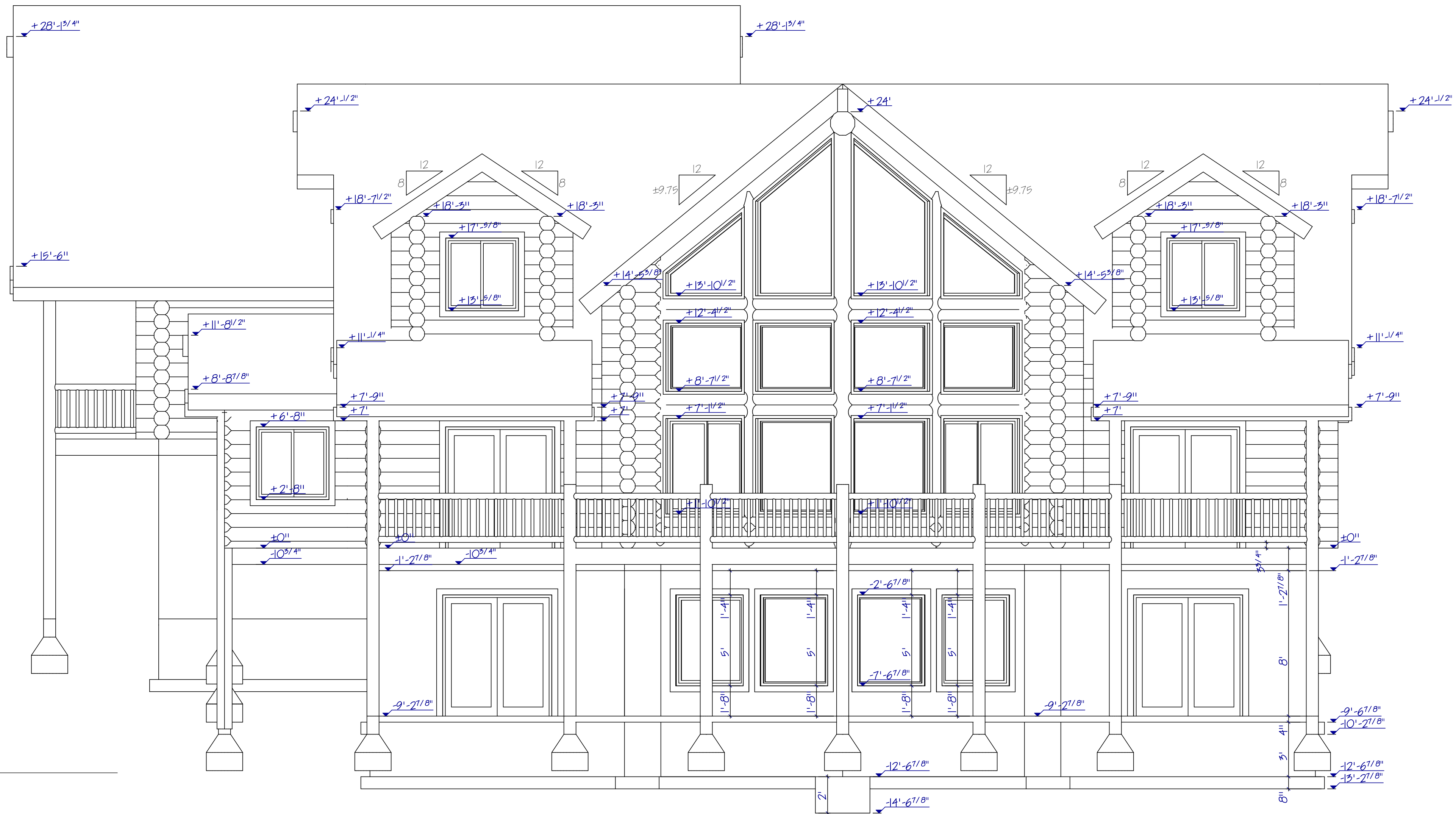
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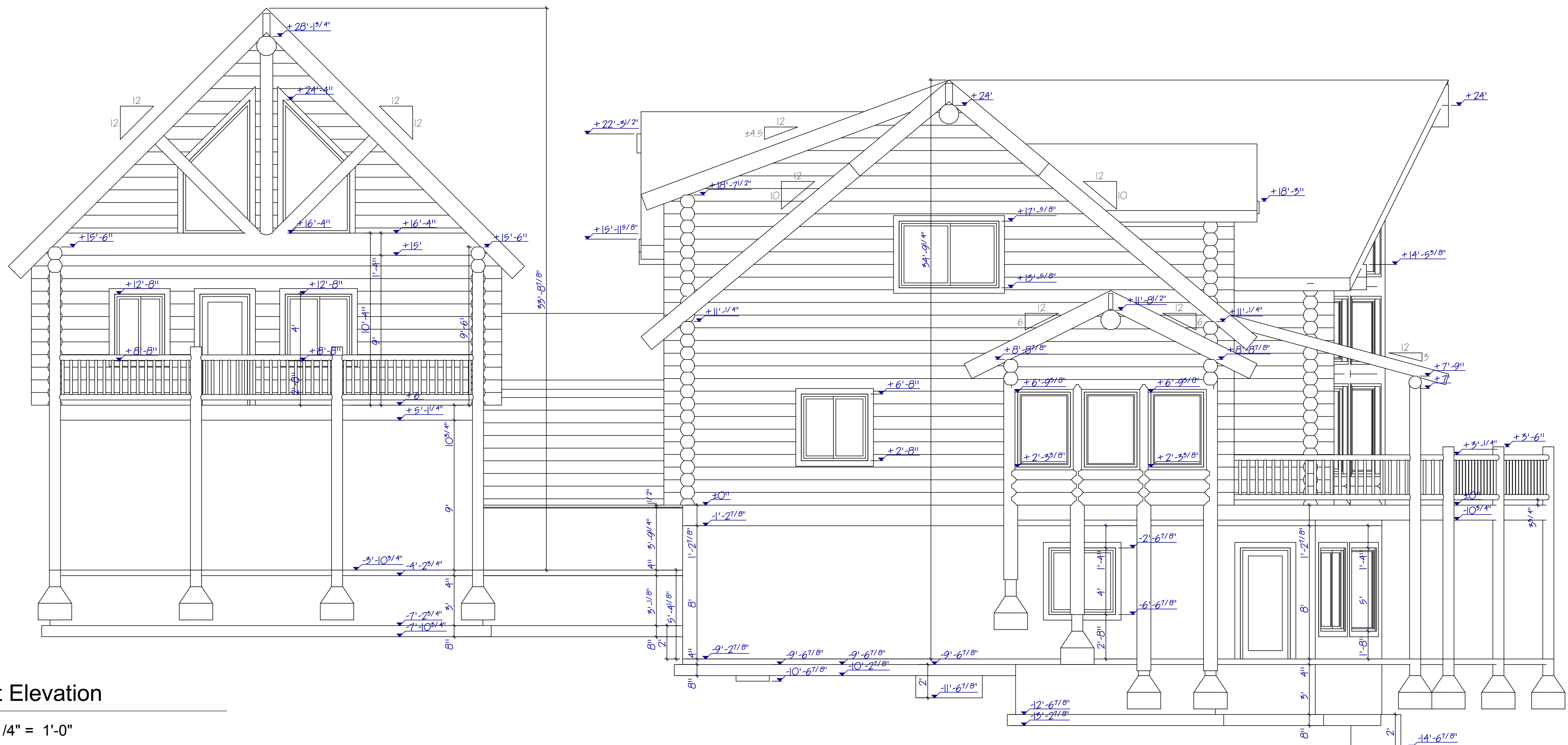
A9



A9-1

Front Elevation

1/4" = 1'-0"



A9-2

Left Elevation

1/4" = 1'-0"



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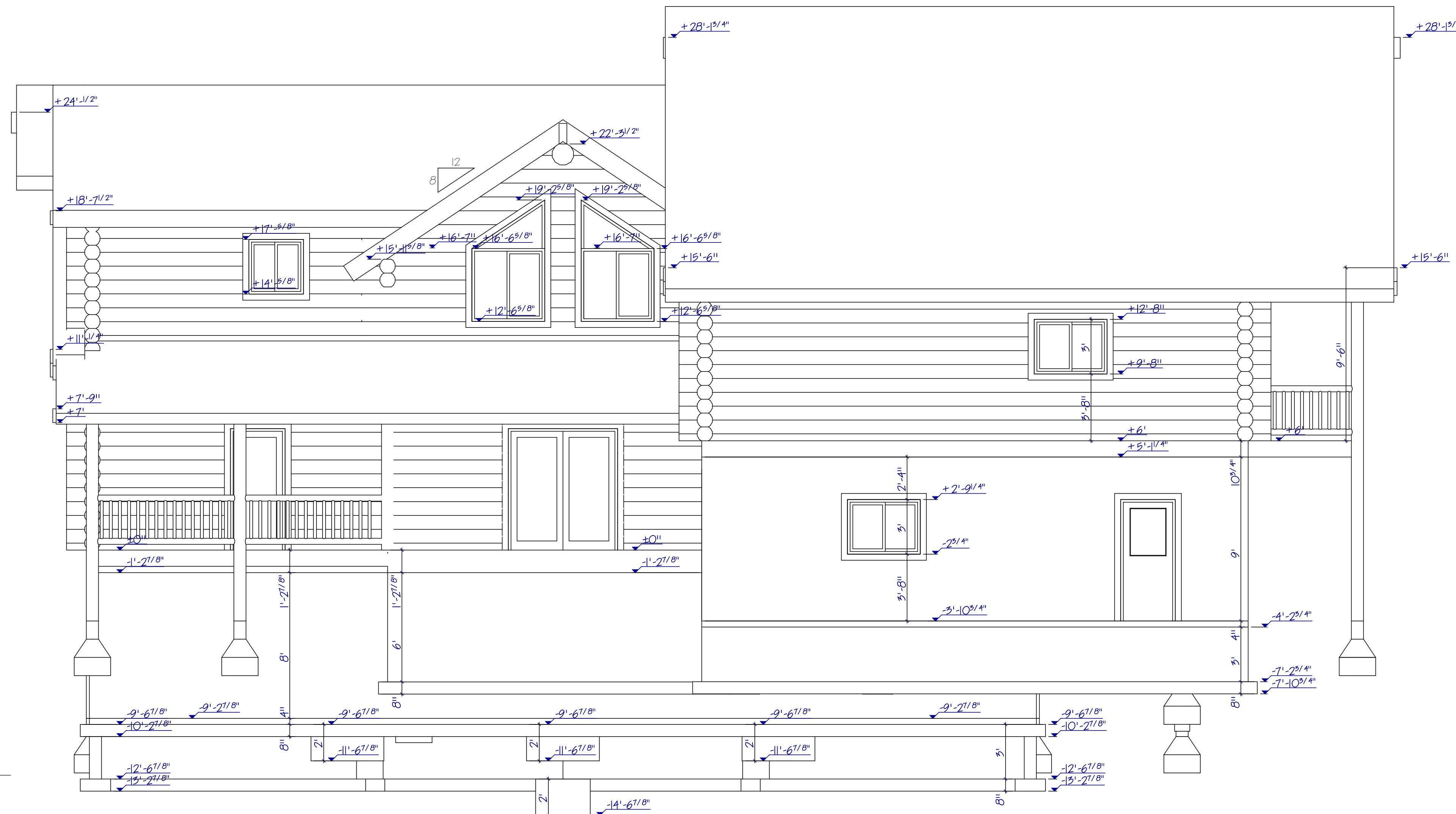
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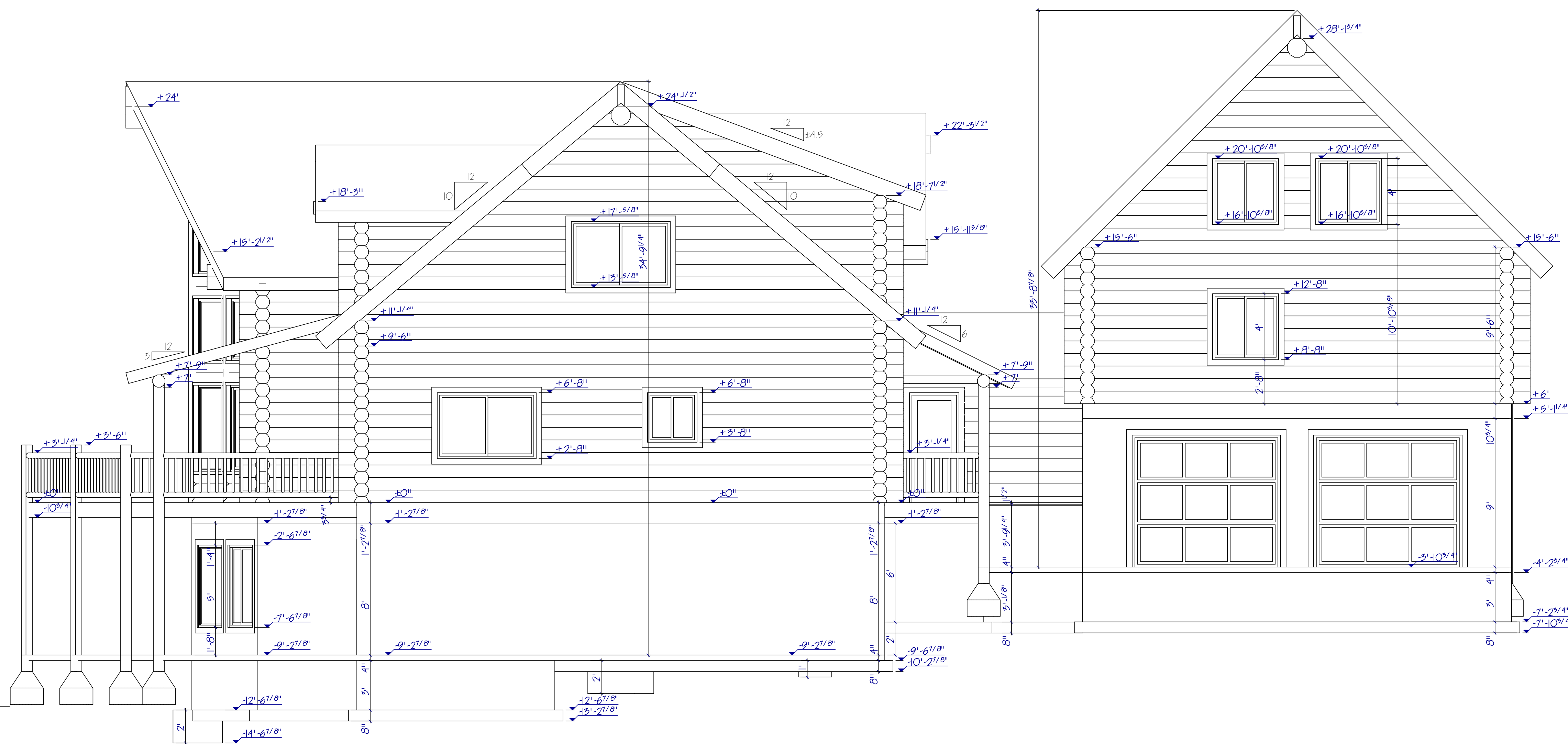
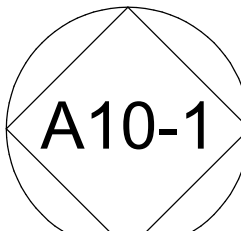
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A10



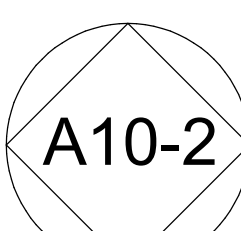
Rear Elevation

1/4" = 1'-0"



Right Elevation

1/4" = 1'-0"





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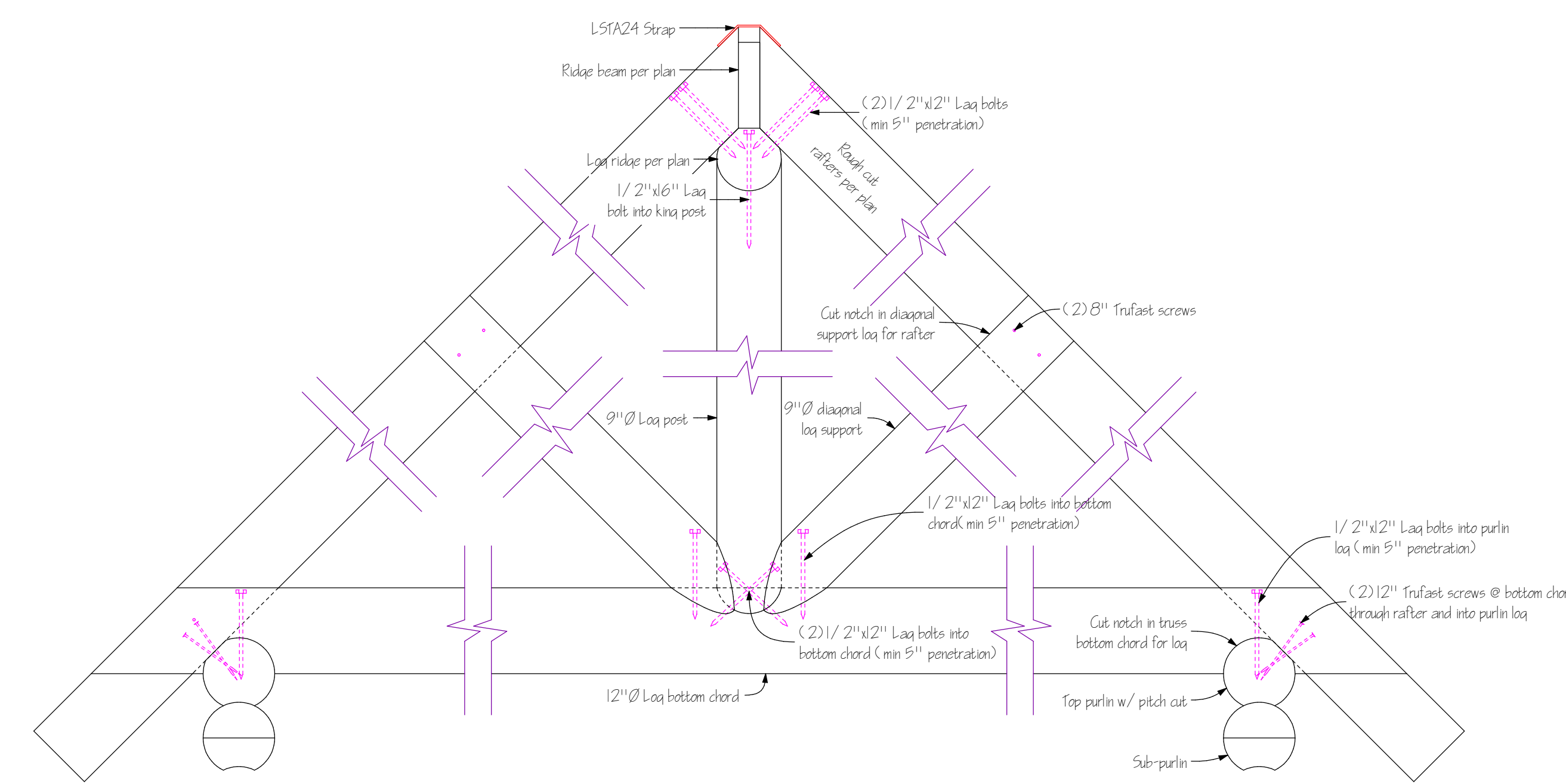
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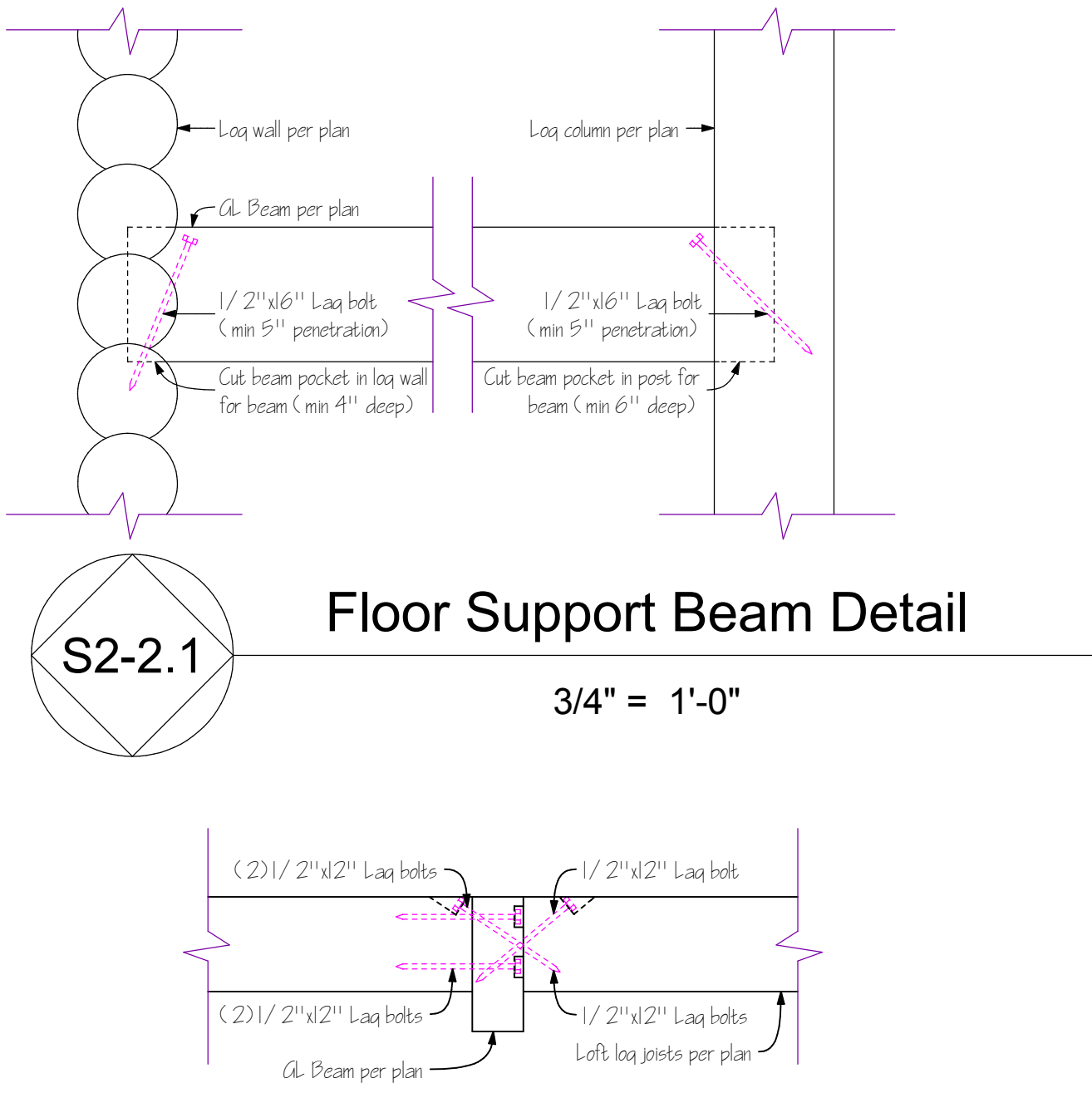
Designer:
Jacob Prestegaard

Date: 02/24/23

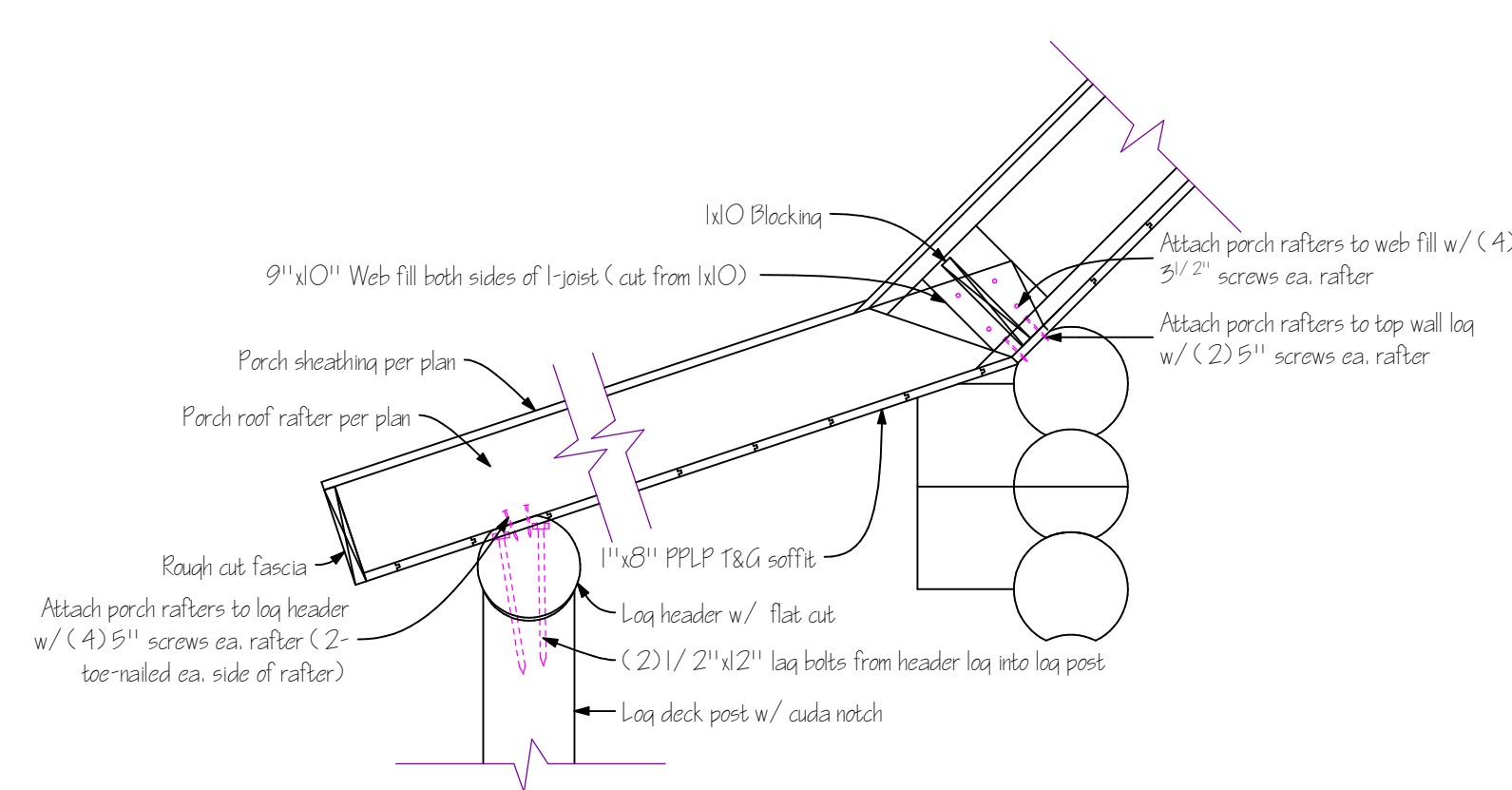
S2.1



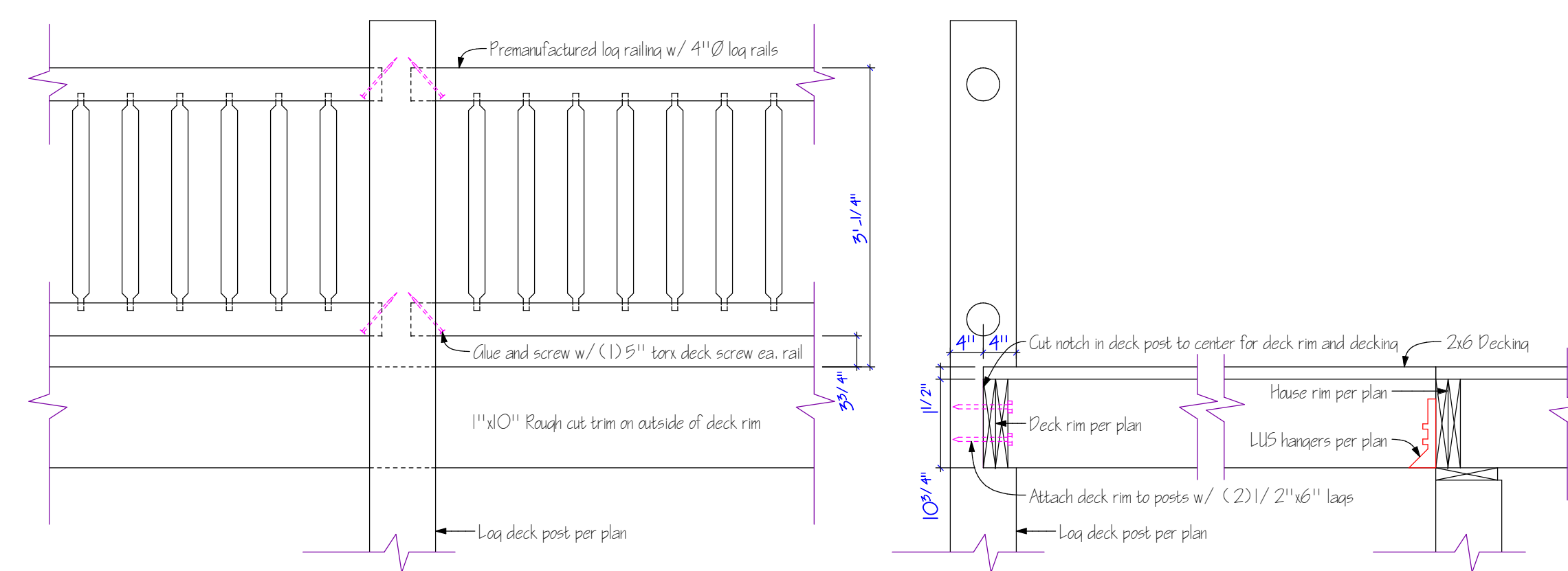
S2.1-4 Truss Detail
3/4" = 1'-0"



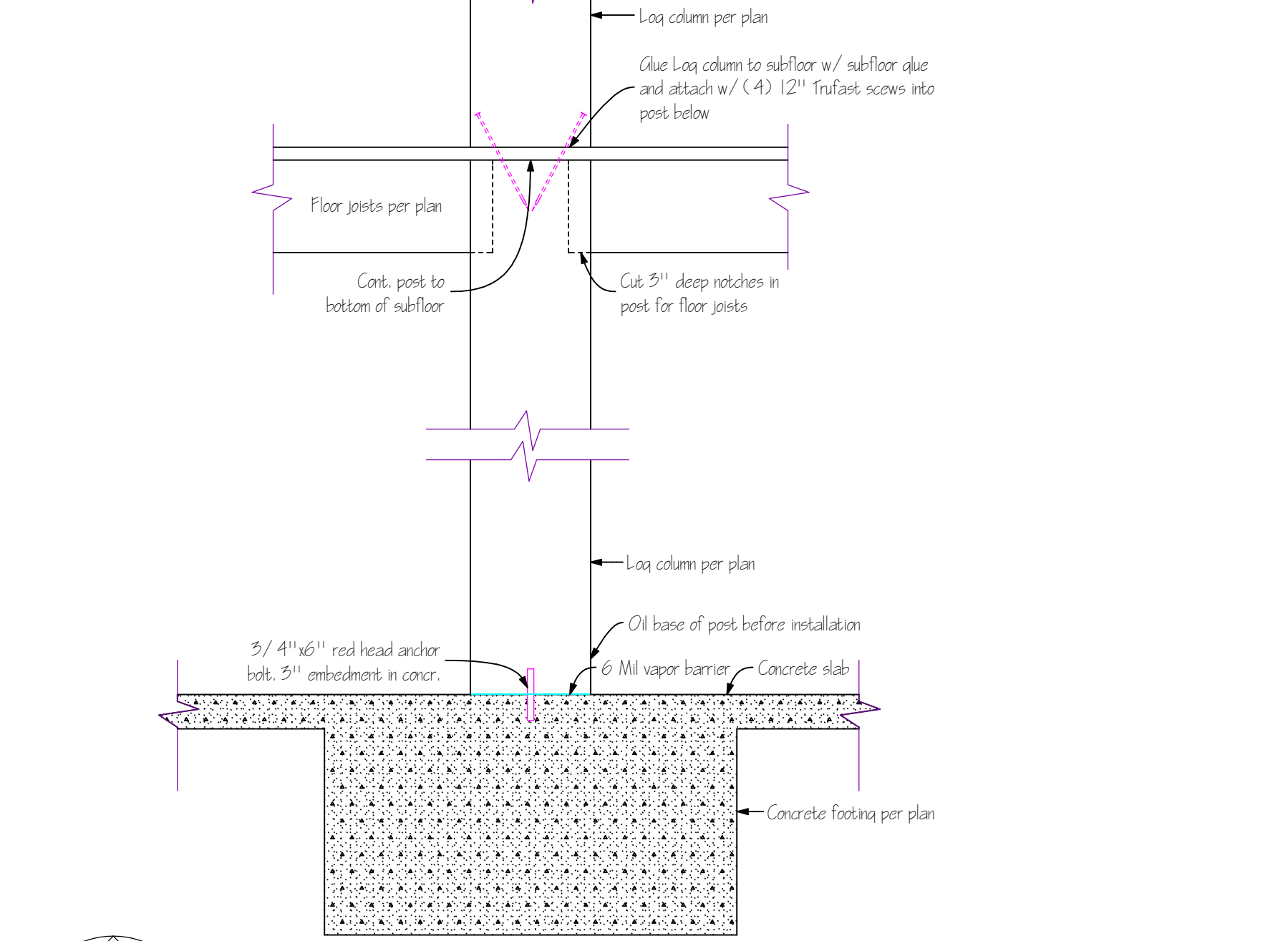
S2.2.1 Floor Support Beam Detail
3/4" = 1'-0"



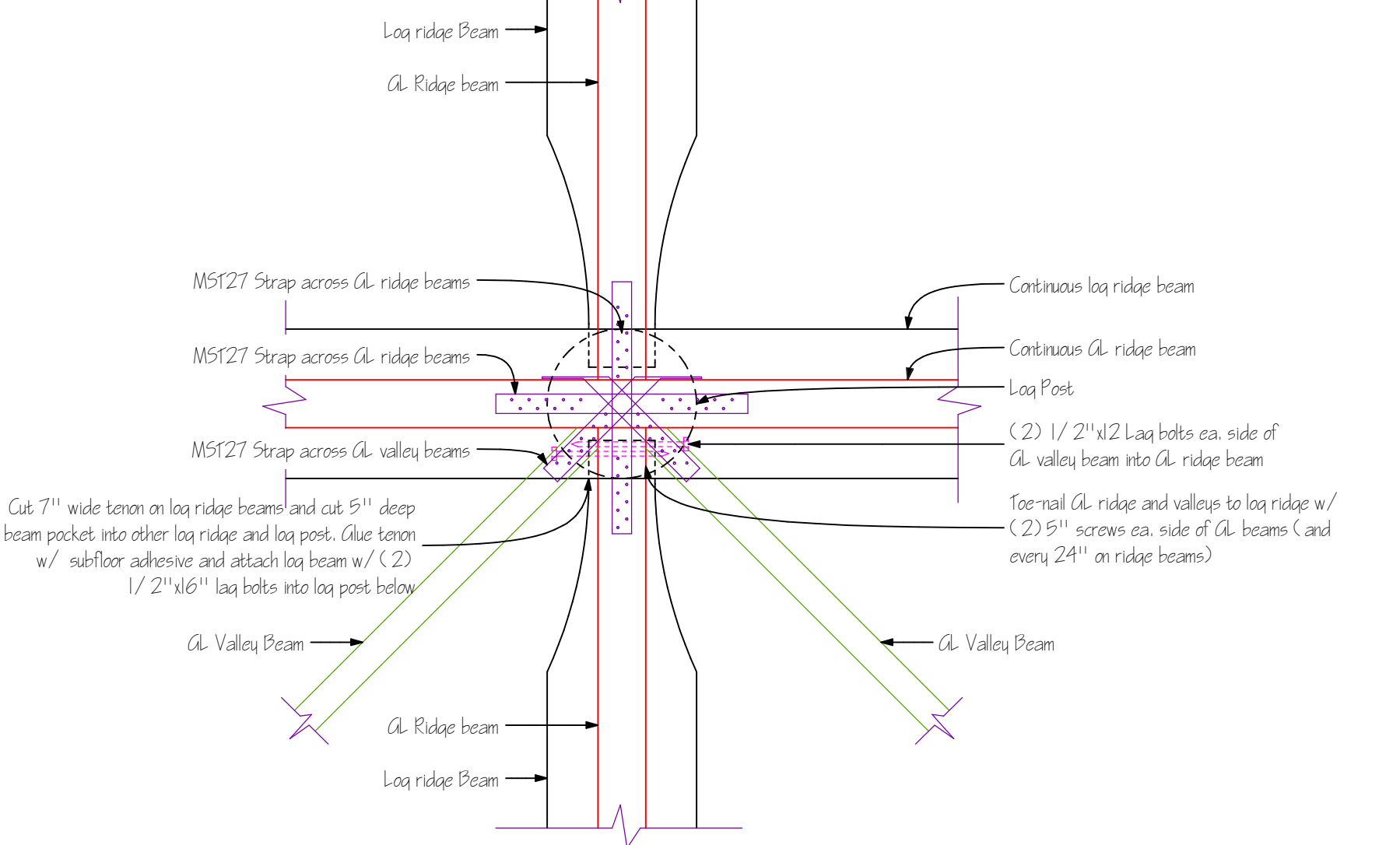
S2.1-6 Shed Porch Roof Detail
3/4" = 1'-0"



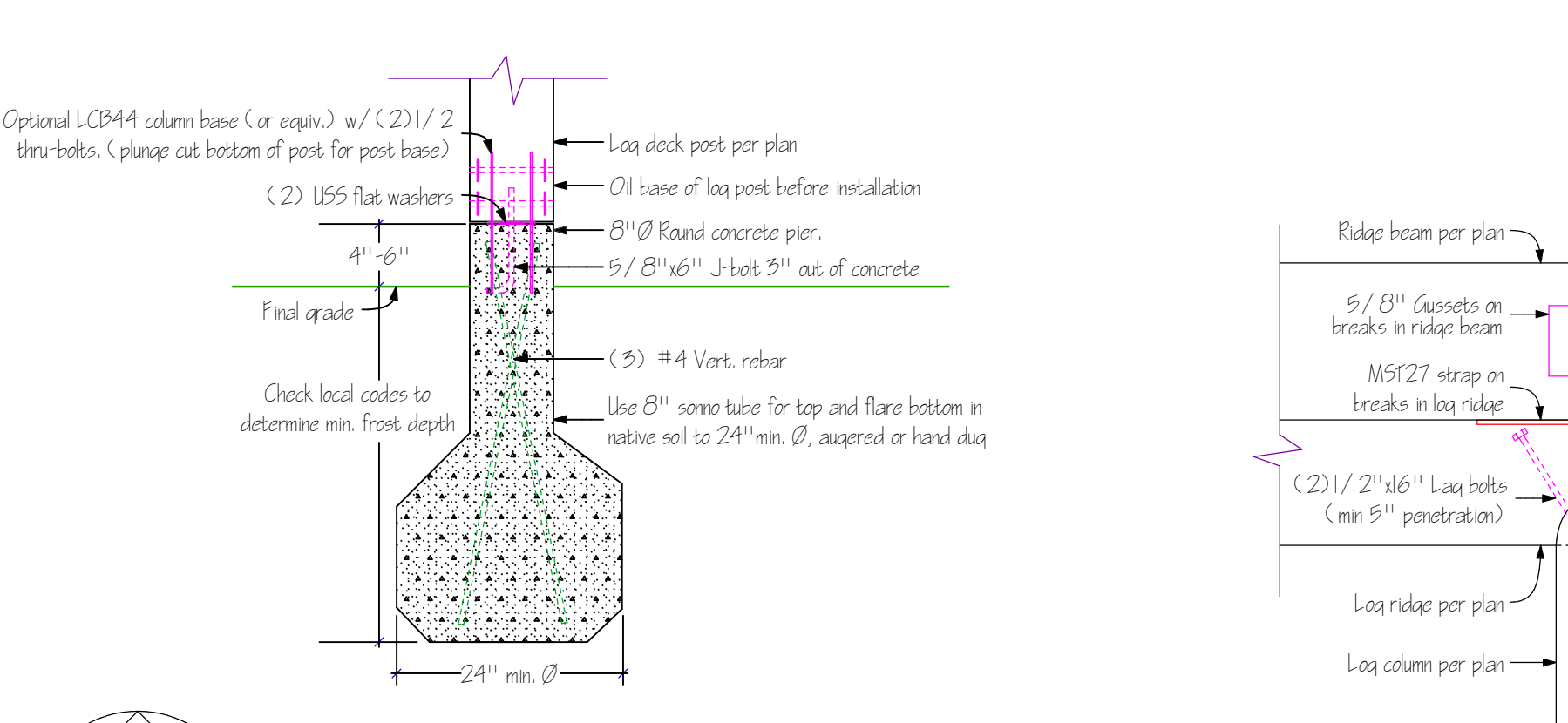
S2.1-7 Deck Post and Rail Detail
3/4" = 1'-0"



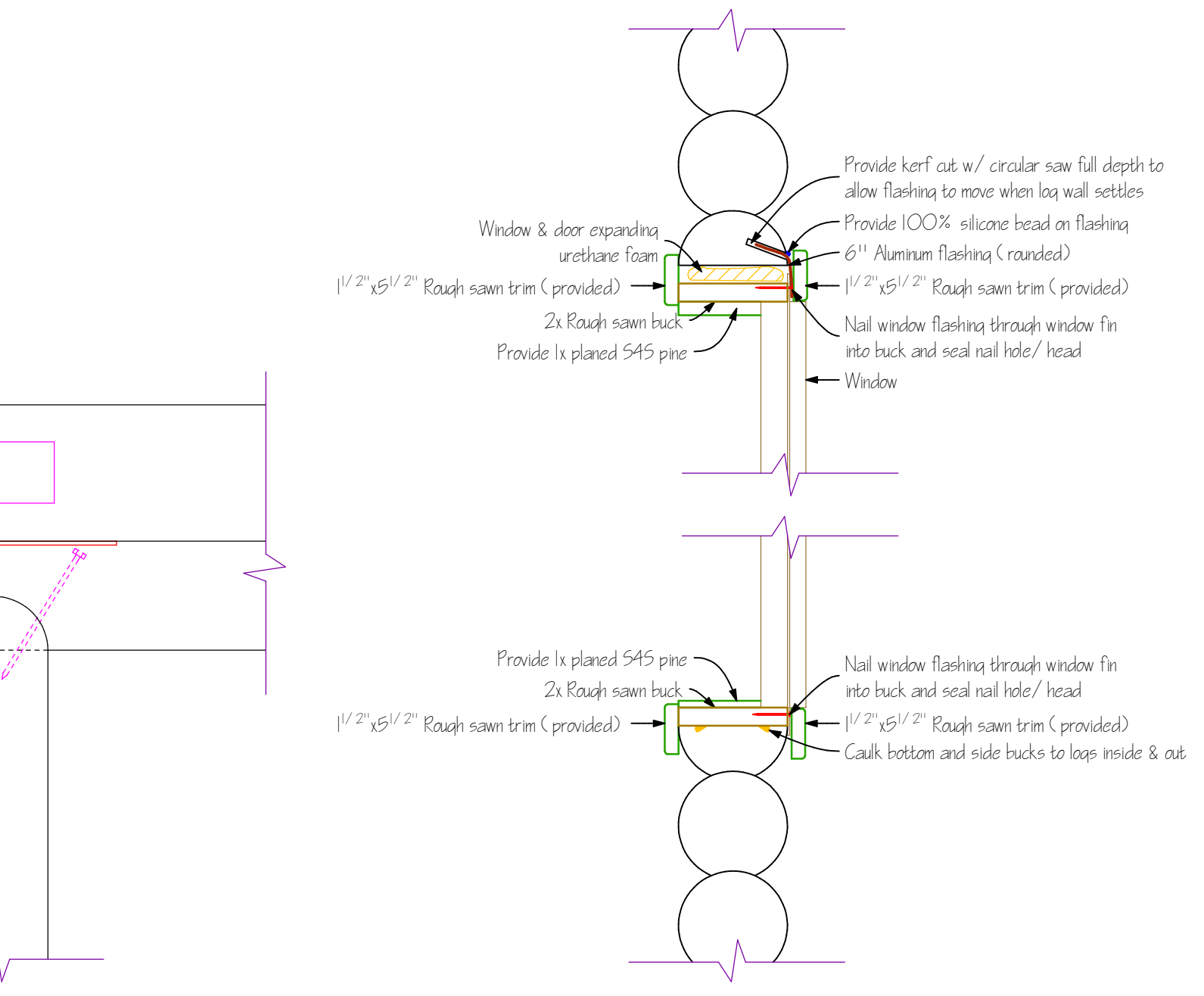
S2.1-1 Center Post Detail
3/4" = 1'-0"



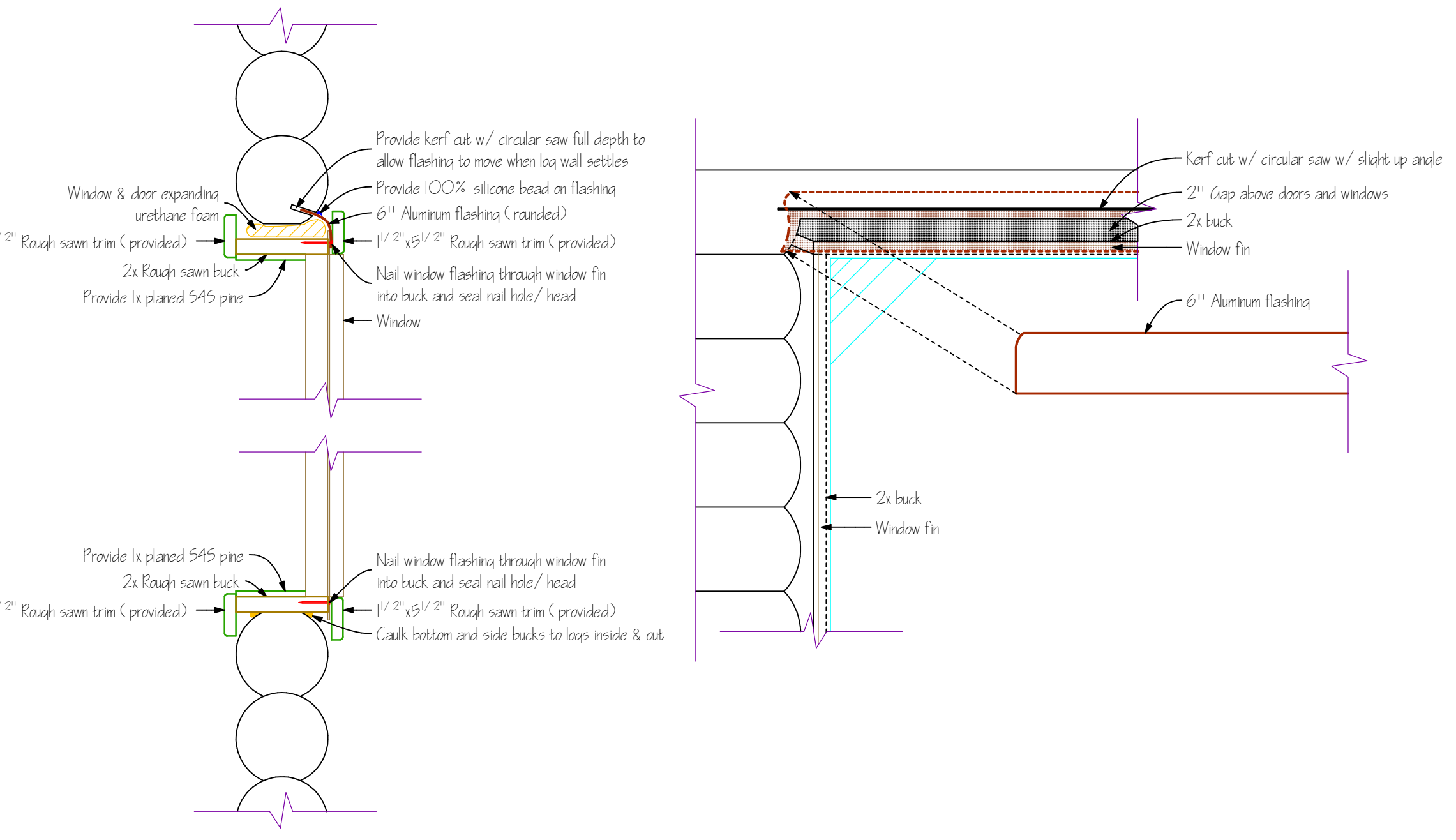
S2.1-5 Ridge and Valley Detail
3/4" = 1'-0"



S2.1-8 Deck Post Footing Detail
3/4" = 1'-0"



S2.1-9 Ridge Beam Detail
3/4" = 1'-0"



S2.1-10 Window Detail
3/4" = 1'-0"

S2.1-9



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Manufacturer of Custom Log Homes
Design-Delivery
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P (406)730-2222 F (406)730-2221

Rich & Marshella Davis

Revisions

Date:

Mark:

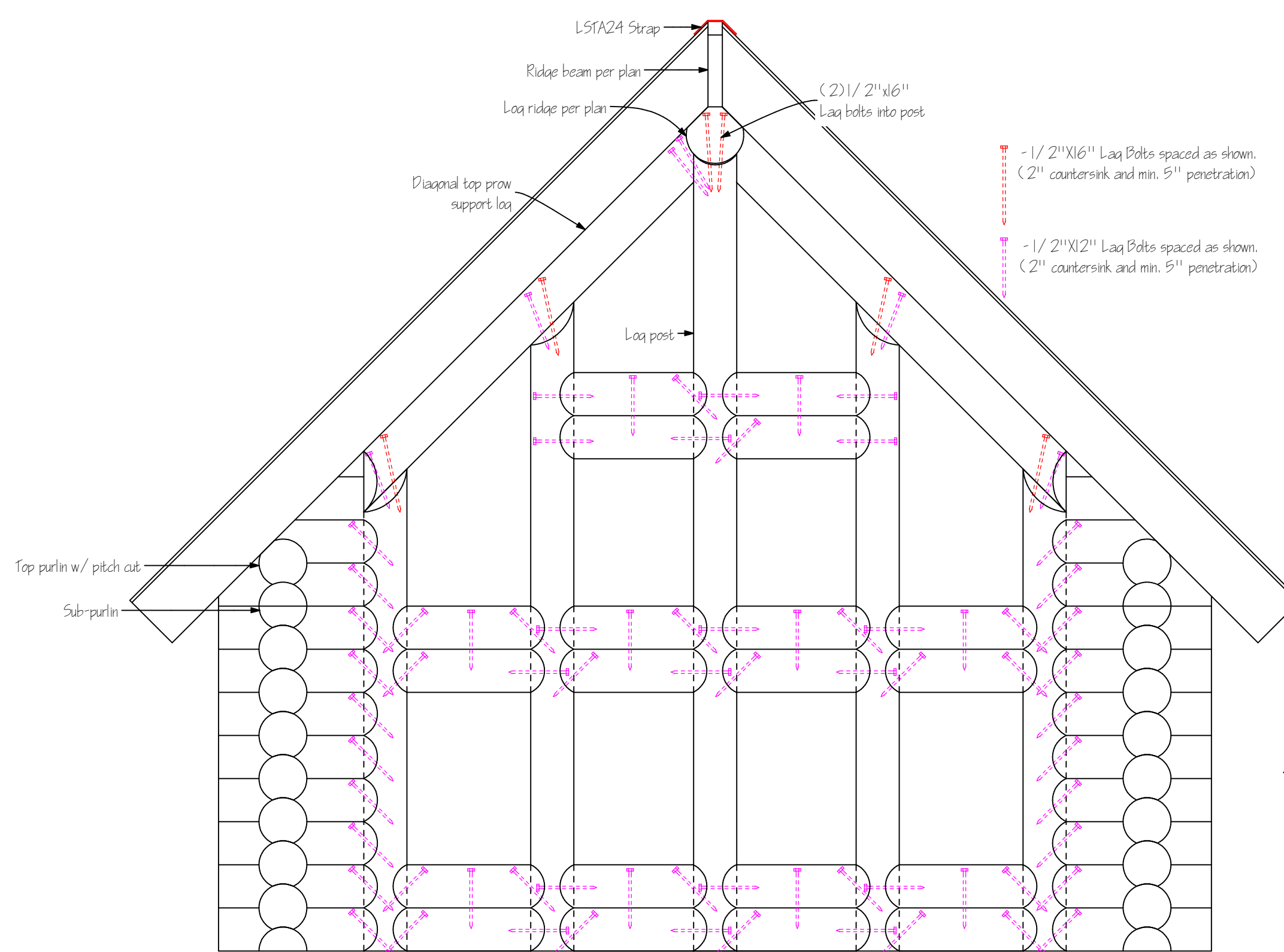
By:

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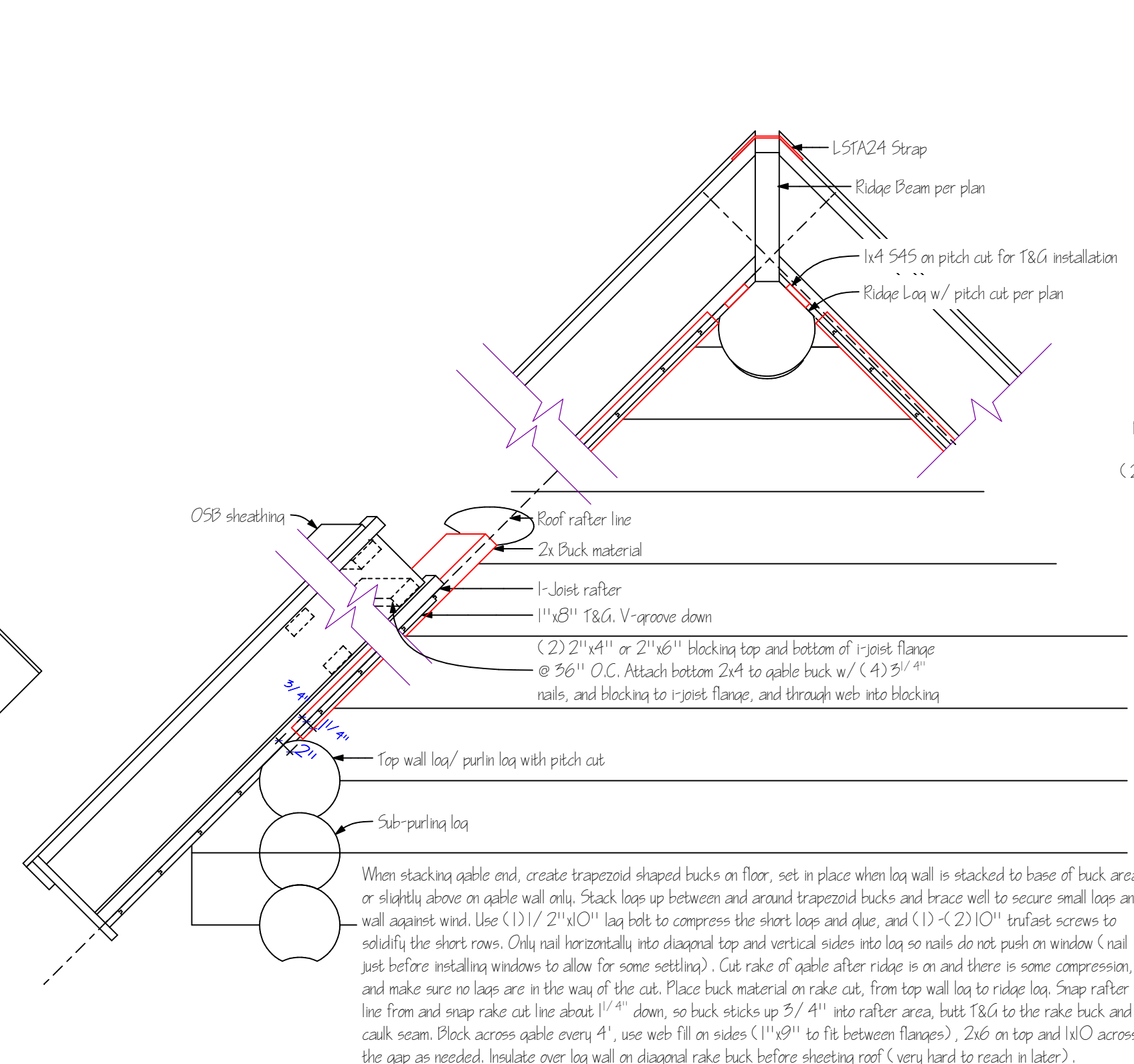
Designer:
Jacob Prestegaard

Date: 02/24/23

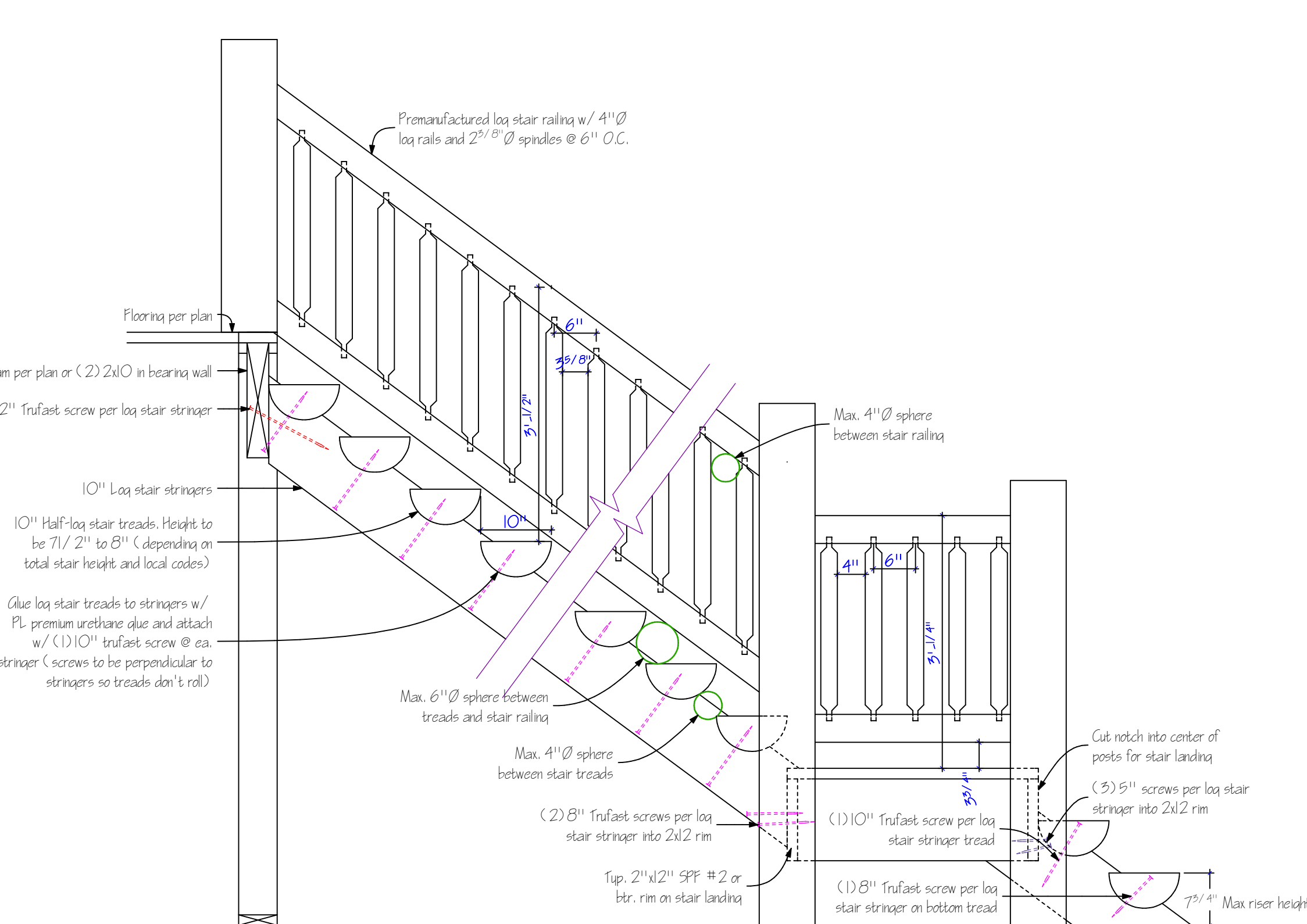
S2



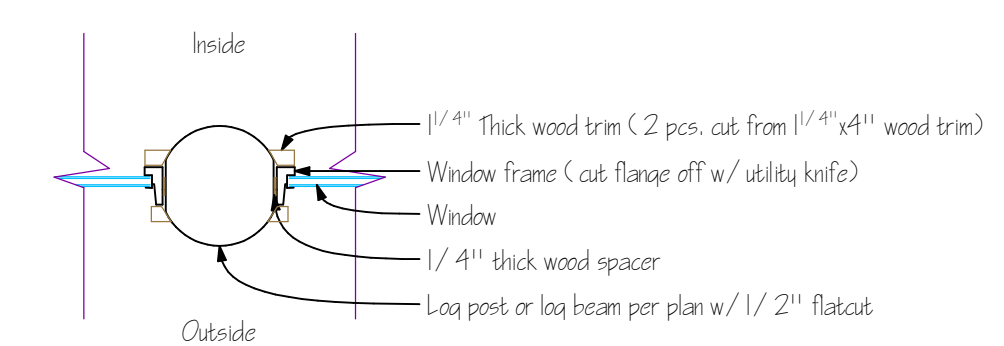
S2-1 Prow Detail
1/2" = 1'-0"



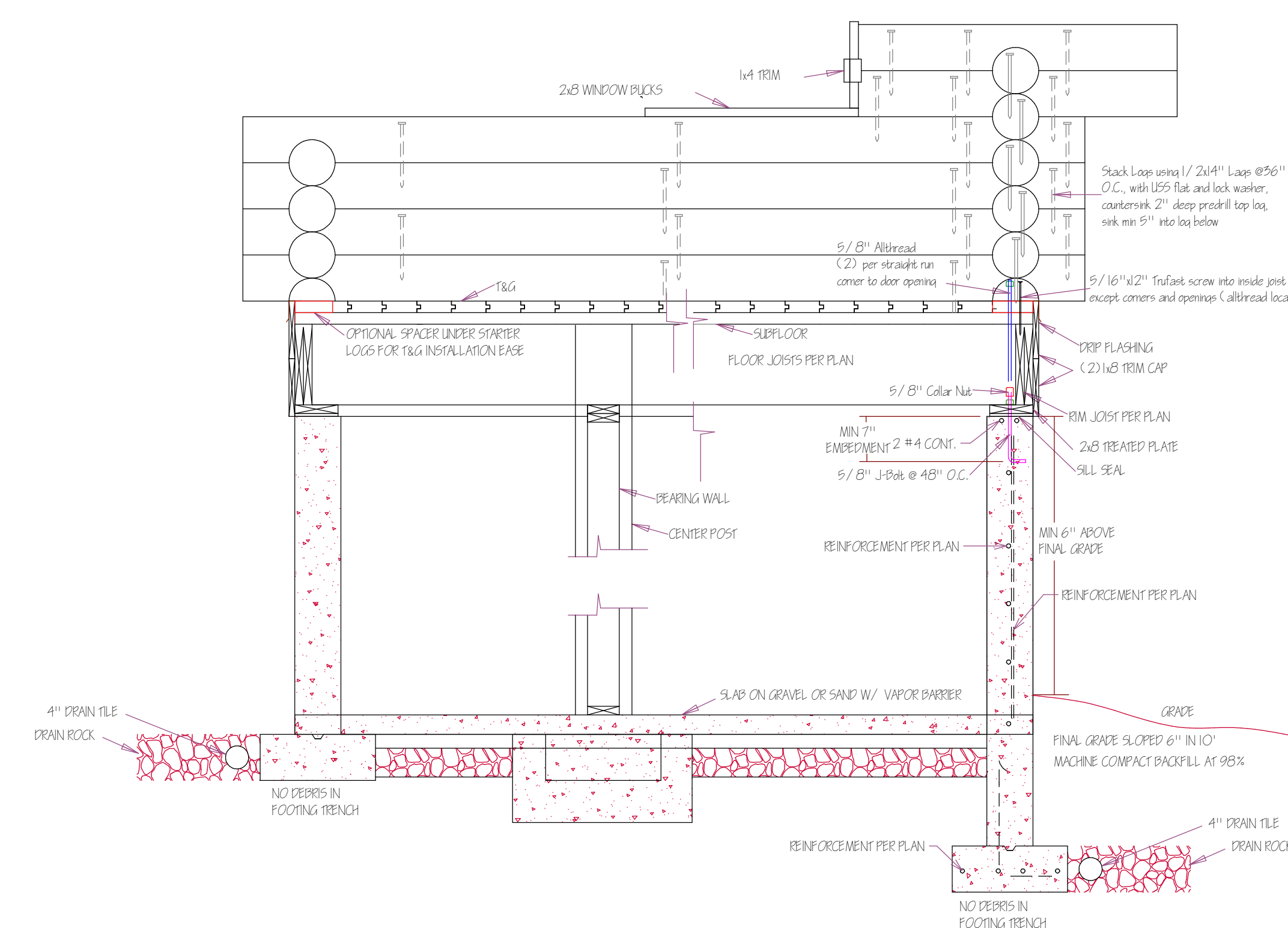
S2-2 Gable Rake Detail
3/4" = 1'-0"



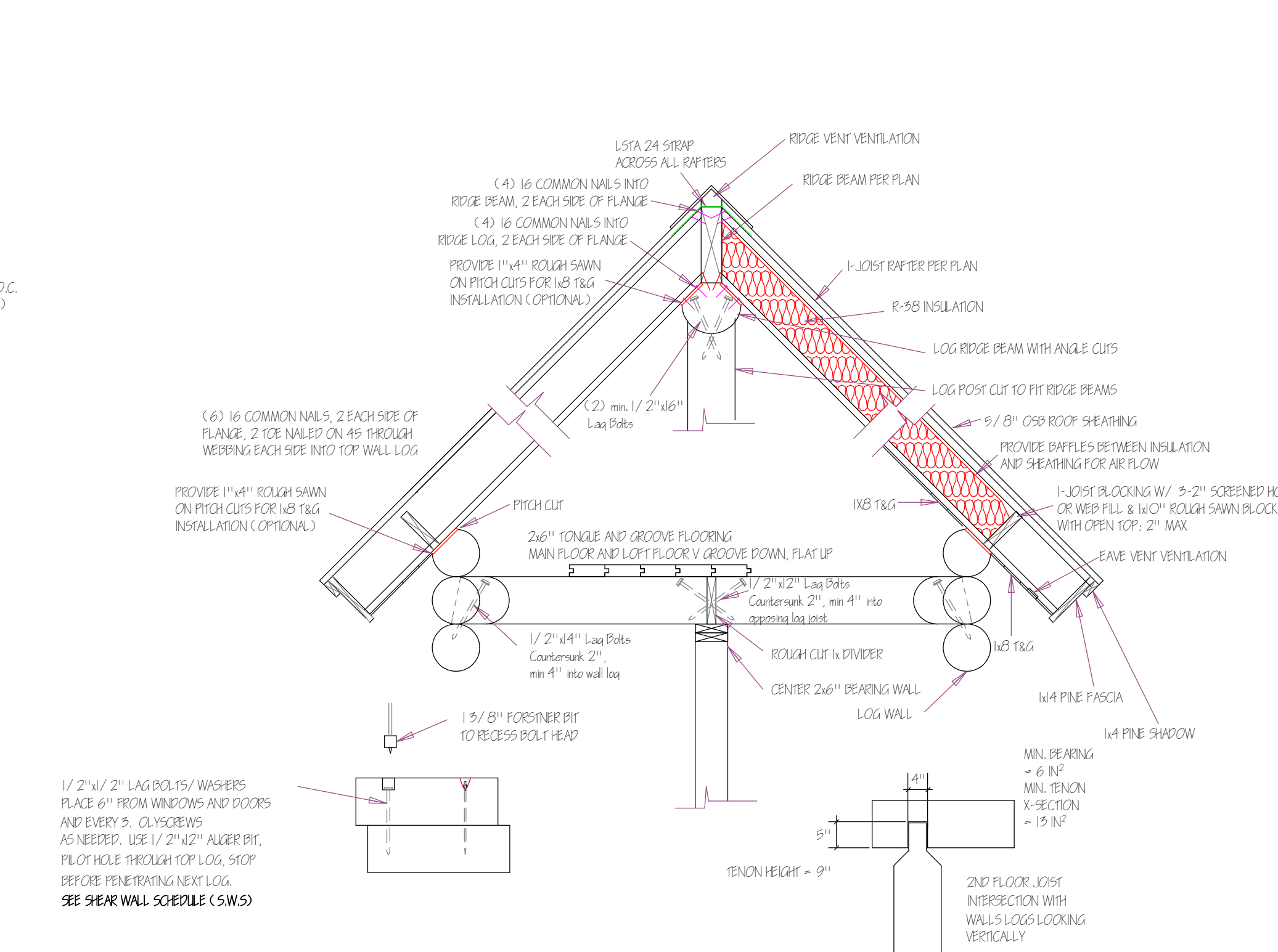
S2-3 Log Stair Detail
3/4"=1'-0"



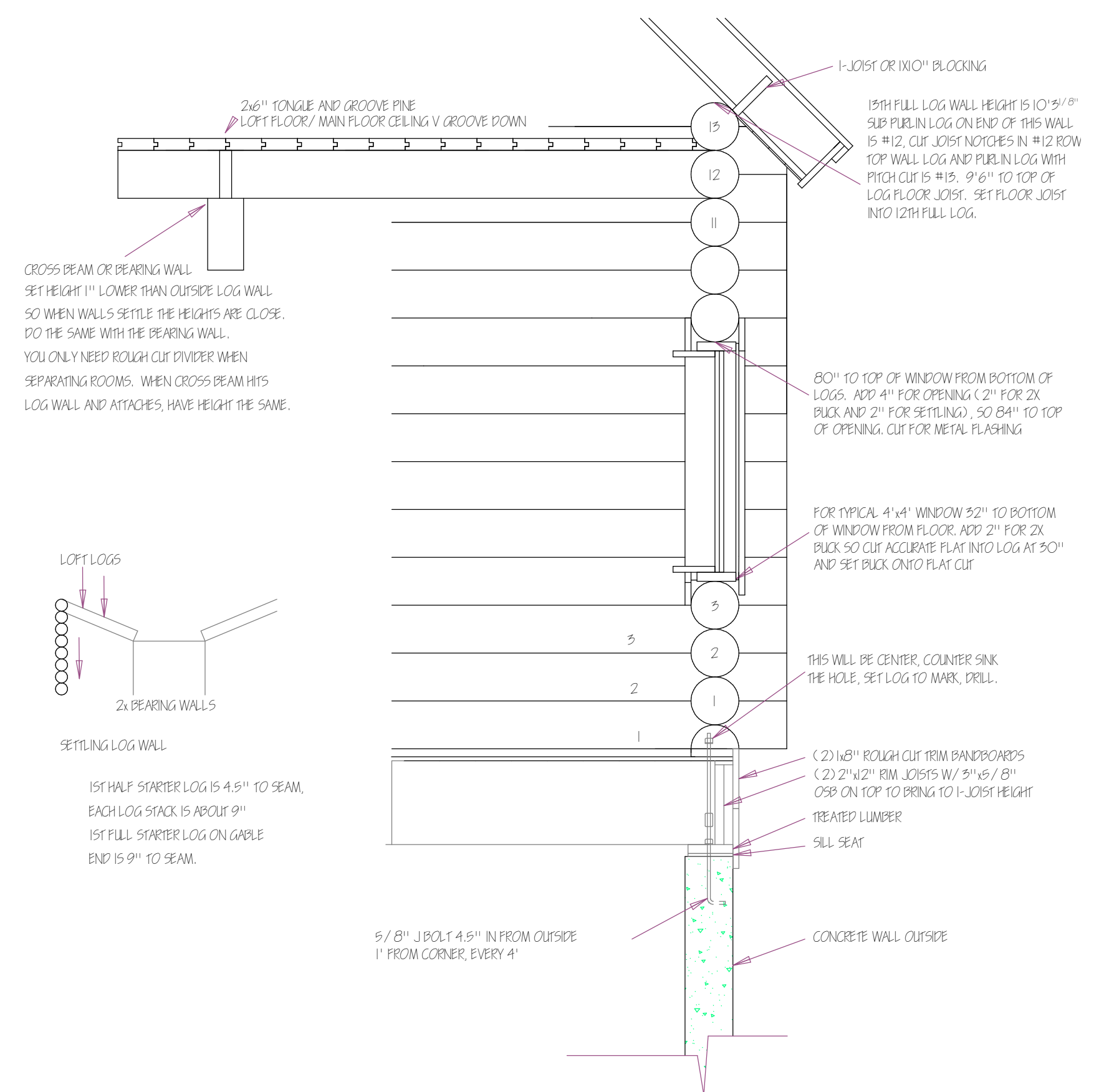
S2-4 Prow Window Detail
3/4" = 1'-0"



S2-5 Foundation Detail
NTS



S2-6 Roof Detail
NTS



S2-7 10in Log Wall Detail
NTS



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**Rich &
Marshella
Davis**

Revisions

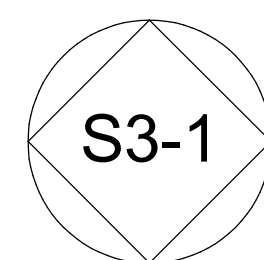
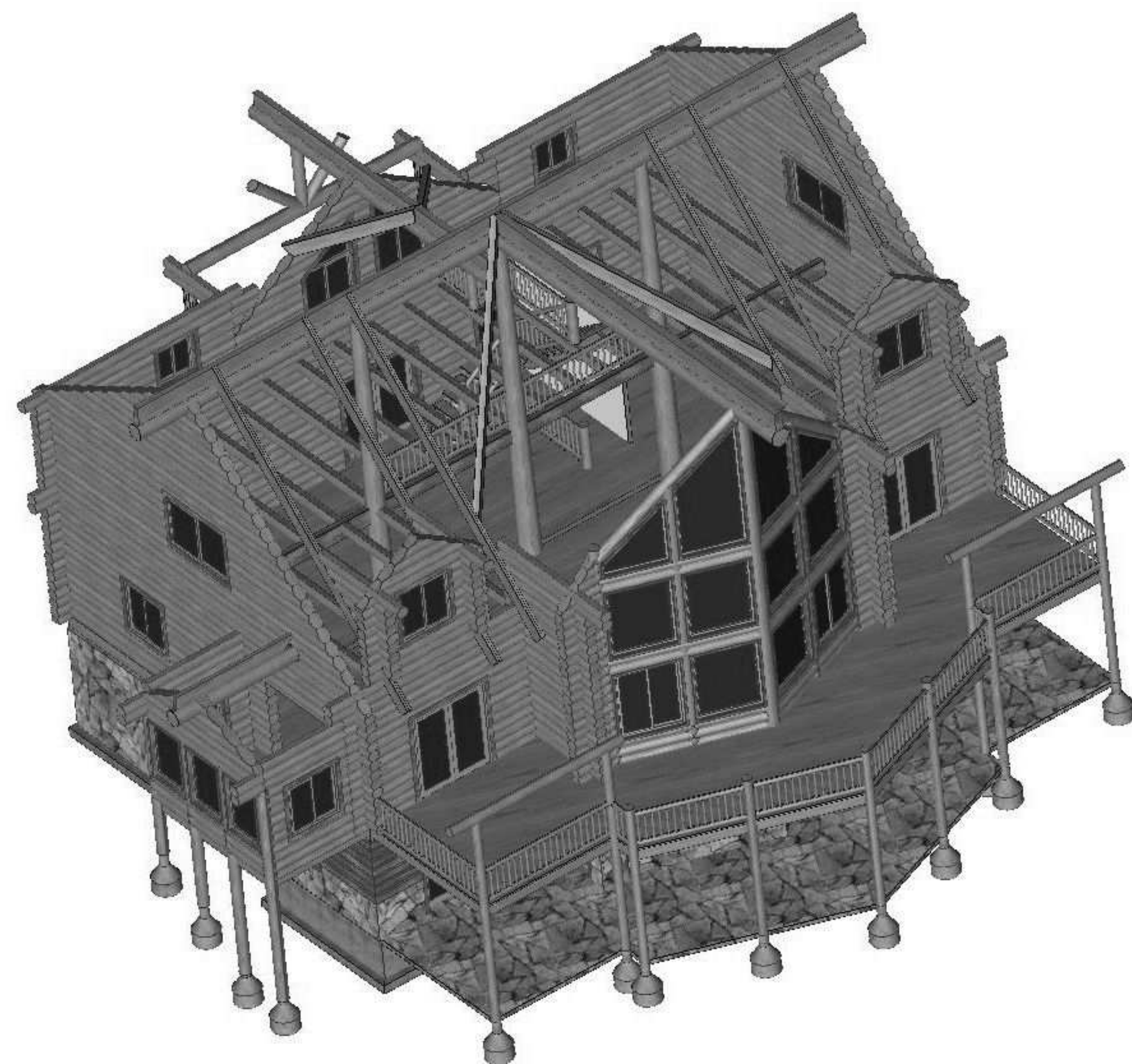
Date:
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By:

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**Designer:
Jacob
Prestegaard**

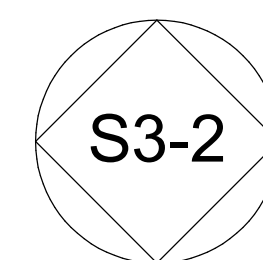
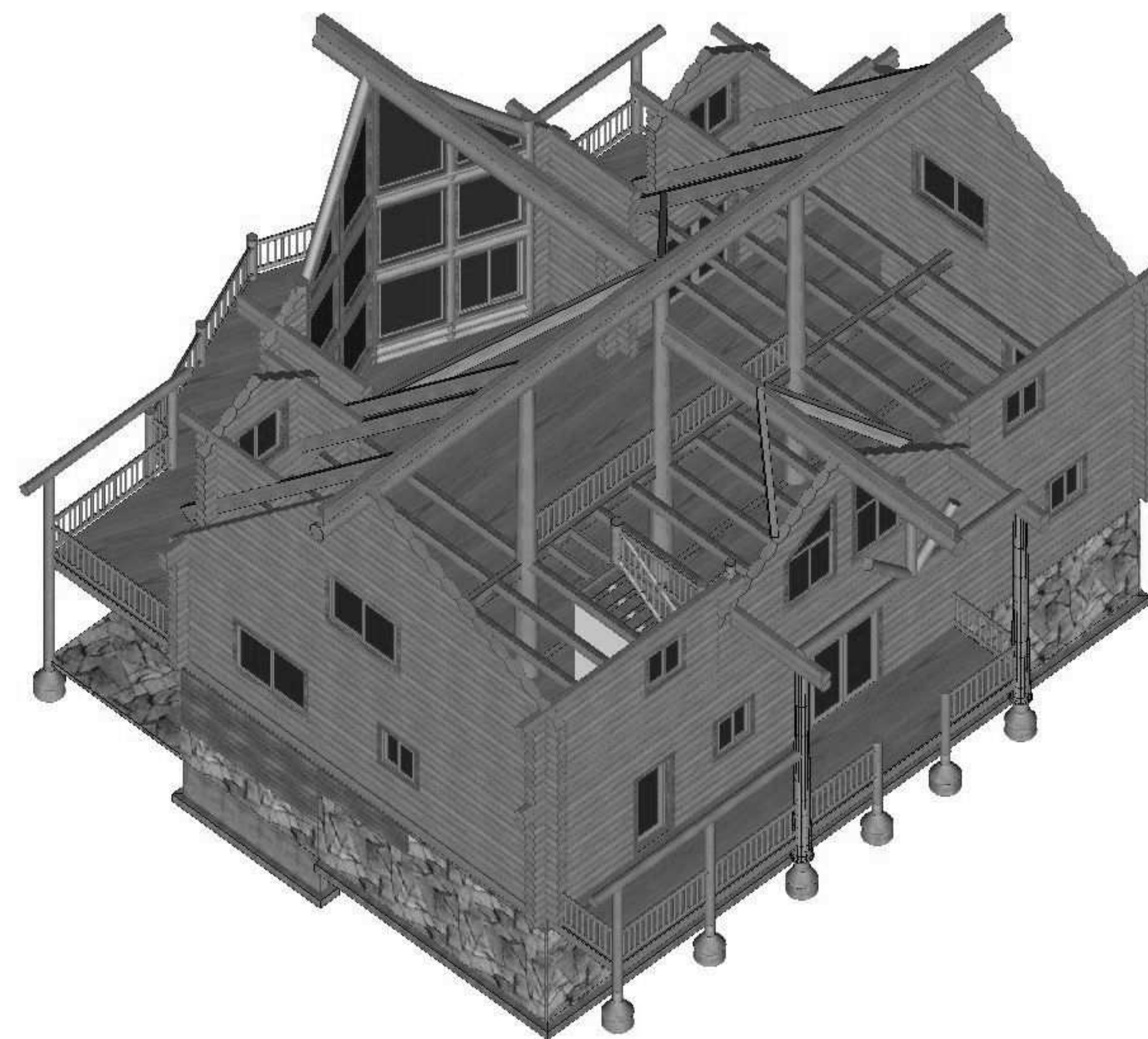
Date: 02/24/23

S3



3D Front Log Structure

NTS



3D Rear Log Structure

NTS

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
 FROM: Kyle Parag, Plan Reviewer - CAA
 DATE: April 25, 2023
 RE: Planning/Zoning/Architectural Guidelines review –
 710 Whispering Pines

Below please find staff’s analysis that outlines the review with the Town’s Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0710 Whispering Pines

Staff Recommendation:

Staff recommendation is to approve the planning review. The concerns with the height, snow storage and National Forest disturbance will be addressed with subsequent reviews. Information on any proposed chimney should be requested before approval.

Zoning Regulation analysis –

Proposal: A new single-family residence in the design of a log structure. A carriage house is proposed to adjoin the main structure. Total living area is indicated at 5,294 Sqft and 975 Sqft for the secondary building plus 780 sqft for the garage. The primary and secondary are connected and can be considered one structure.

Zoning district: R1

Lot Size: ~ 36,667 sq. ft.
 80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: ~ 210’
 100 ft. Required - Complies

Setbacks: Proposed principal residence and secondary structure are within the setback requirements. A recreational area is proposed beyond the limits of the building envelope.

Height: Given the provided information, the main structure might not comply with the specific definitions of Blue River for height. The indicate maximum

height is 35', however the measurement is taken from slab elevation and does not account for extended roof structure.

Garage Stds: The proposed garage is 975, which is under the maximum of 1200 sqft permitted for this property.

Parking Stds: Parking requirements will be met through the proposed garage parking and exterior parking space

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
VI. B. Building Envelope	The proposed principal residence is properly sited within required setbacks. The submitted site plan depicts compliance.	Y
VI. C. Building Siting	Structure is proposed in context with natural drainage patterns, contours, and landforms. The moderate sloping property will be leveled off for the footprint of the home, and will create the maximum 2:1 slopes at the rear of the property.	Y
VI. D. Grading and Drainage	Final grading is proposed to avoid unnaturally broad, flat surfaces. Maximum 2:1 slopes are proposed. Construction area is proposed to extend onto the National Forest land to achieve the slopes. Permitting from National Forest will be required.	Y

VI. E. Driveways	Proposed asphalt driveway. Snow storage area calculations are not provided, and snow storage is not provided. TBD is indicated on the application. Driveway width is scaled at 11'4" Culvert is not indicated but will be required. Driveway grade is proposed at about 10% grade continuous.	
VI. F. Parking / Garages	The proposed attached two vehicle garage and the additional exterior parking space complies with minimum standards.	y
VI. G. Exterior Equipment and Satellite Dishes	No exterior equipment is indicated	Y
VI. H. Easements and Utilities	Easements are indicated	Y
VI. I. Recreation Facilities	A small facility is proposed on the northwestern part of the property without details.	Y
VI. J. Signage	Address marker/signage is in compliance with visual and practical standards	Y
VI. K. Pathways /Walkways	No walking paths are proposed or indicated	Y
VI. L. Wetlands	No wetlands are identified on the plan. A drainage easement is indicate on the north side of the property	N/A
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction. Firewise construction details are proposed and compliant	Y
ARCHITECTURAL GUIDELINES		
VI. B. Building Forms	Proposed foundation walls merge with the existing grade. Foundation walls are indicated to be covered with a stone veneer.	Y

VII. C. Setbacks	The proposed structures sit within the required setbacks per the submitted site plan.	Y
VII. D. Building Height	Building height is indicated at 34' 9" but is not measured according to Blue River definitions. The actual height is indicated is estimated at 35'6" which is non-compliant. More information or possible modifications will be required to be made in subsequent reviews to correctly verify the height.	
VII. E. Roofs	Roof design is gabled and relatively simple. Roof material is black asphalt shingles	Y
VII. F. Exterior Wall Materials	Exterior walls are log with a driftwood color stain that has a natural appearance.	Y
VII. G. Exterior Trim	Trim colors are not clearly indicated but look to be darker than the wall color.	
VII. H. Windows and Doors	Windows, doors, and garage doors are proportional to the structure and appear in general compliance. A large window wall is proposed on rear of home.	Y
VII. I. Balconies and Railings	Railings are substantial in appearance and consist of vertical and horizontal wood.	Y
VII. J. Chimneys and Roof Vents	Fireplace is drawn on the floor plans, but not indicated on the exterior elevations. Expectation of a significantly sized chimney.	
VII. K. Exterior Colors	Proposed colors indicated on the color board are in general conformance. Colors are natural wood colors, with brown/wood colors for stone and posts.	Y
VII. L. Solid Waste Collection and Service Areas	Trash and storage areas are not indicated.	Y
SITE ELEMENTS		

VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	Retaining walls are not indicated, but may be required depending on the National Forest limitations	Y
VIII. B. Terraces, Patios, Walkways and Decks	Deck is in the building envelope and complements the site and structure. The deck is not clearly indicated on the site plan of the rear of the garage structure, assumed deck is included in the footprint drawing. Walkways are indicated and appear to be in general conformance.	Y
VIII. C. Driveway Paving Surfaces	Driveway and parking area material is pavement	Y
VIII. D. Exterior Landscape Lighting	Proposed exterior lighting is in general conformance. Specific information could not be located.	Y