



CITY OF BELLE ISLE, FL
PLANNING & ZONING BOARD MEETING

Held in City Hall Chambers 1600 Nela Avenue
Held the 4th Tuesday of Every Month
Tuesday, April 27, 2021 * 6:30 PM

AGENDA

Planning and Zoning Board Members

District 1 member – David Woods, VChair | District 2 member – Christopher Shenefelt | District 3 member – OPEN SEAT
District 4 member – Randy Holihan, Chair | District 5 member – Rainey Lane | District 6 member – Andrew Thompson
District 7 member – Dr. Leonard Hobbs

Welcome to the City of Belle Isle Planning & Zoning meeting. Agendas and all backup material supporting each agenda item are available in the City Clerk's office or on the city's website at cityofbelleislefl.org. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

1. **Call to Order and Confirmation of Quorum**
2. **Invocation and Pledge to Flag – Board Member Hobbs, District 7**
3. **Approval of Minutes** - No report.
4. **Public Hearings**
 - a. PUBLIC HEARING CASE #2021-04-001- Pursuant to Belle Isle Code Sec. 42-64, the Board shall consider and take action on a requested variance from Sec. 50-73 (a) to allow a variance from the required building setbacks, submitted by the applicant Pete Clarke, located at 7600 Daetwyler Drive, Belle Isle FL 32812, also known as Parcel # 29-23-30-8036-02-010.
 - b. PUBLIC HEARING CASE #2021-04-002- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, at 6810 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-021.
 - c. PUBLIC HEARING CASE #2021-04-005- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Chris George, at 6814 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-031.
 - d. PUBLIC HEARING CASE #2021-04-003- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, 6806 Seminole LLC, at 6820 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-040.
 - e. PUBLIC HEARING CASE #2021-04-004- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Steven Kneipp, at 6822 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-050.
5. **Other Business**
6. **Adjournment**

APPEALS: "If a person decides to appeal (Belle Isle's City Code Section 42-71) any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105). A notice of appeal to the City Clerk should be submitted within fifteen (15) days after such recommendation or decision is made "Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-851-7730) at least 48 hours in advance of the meeting. --Page 1 of 1

April 16, 2021

Variance Application: 7600 DAETWYLER DRIVE

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 42-64 THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE FROM SEC. 50-73 (A) TO ALLOW A VARIANCE FROM THE REQUIRED BUILDING SETBACKS, SUBMITTED BY APPLICANT PETE CLARKE, LOCATED AT 7600 DAETWYLER DRIVE, BELLE ISLE FL 32812, ALSO KNOWN AS PARCEL # 29-23-30-8036-02-010.

Existing Zoning/Use: Residential, R-1-AA / Single-Family Home

This variance application seeks a variance as identified above. The applicant has provided supporting documentation addressing the variance criteria.

The application requests a one-foot variance from the required 7.5-foot side building setback in the R-1-AA Zoning District for a proposed addition to the primary residence that would be 6.5 feet from the side property line. The proposed addition in the area affected is for a garage addition.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

The application requests a variance from the 7.5-foot side building setback. The house is not built parallel to the property lines but sits at an angle, so the side where the garage addition is proposed would be closer to the side property line.

2. Not Self- Created (Section 42-64 (1) e):

The request for a variance is self-created as the proposed addition could be redesigned to meet the required setback while also not impacting any other setback areas.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance is the minimum possible variance to make reasonable use of the land. The house is not built parallel to the property lines so the side where the garage addition is

proposed would be closer to the side property line and this request is for a 1-foot variance due to the angle of the current house to place the addition. It does not seek a greater variance such as sitting on the property line.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance could be construed to be in harmony with the general purpose and intent of the Land Development Code given that the request is encroaching into the required side yard by one foot in a limited section of the side yard, and therefore is not injurious to the neighborhood, nor detrimental to the public welfare, and will not be contrary to the public interest.

Staff provides a recommendation to not approve the requested variance based on not meeting Criterion #2 above, as it is self-created. The Land Development Code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met.

A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 4(a)
MEMORANDUM

TO: Planning and Zoning Board

DATE: April 27, 2021

PUBLIC HEARING CASE #2021-04-001- Pursuant to Belle Isle Code Sec. 42-64, the Board shall consider and take action on a requested variance from Sec. 50-73 (a) to allow a variance from the required building setbacks, submitted by the applicant Pete Clarke, located at 7600 Daetwyler Drive, Belle Isle FL 32812, also known as Parcel # 29-23-30-8036-02-010.

Background:

1. On March 29, 2021, the applicant Pete Clarke submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, April 17, 2021, in Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on April 15, 2021.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle Code **SEC. 42-64 and SEC 50-73(a)** of the Belle Isle Land Development Code having been met **TO APPROVE** a variance from the required building setbacks, submitted by applicant Pete Clarke, located at 7600 Daetwyler Drive, Belle Isle FL 32812, also known as Parcel # 29-23-30-8036-02-010.

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code **SEC. 42-64 and SEC 50-73(a)**, the justifying criteria of the Belle Isle Land Development Code, **having NOT been met; [use only if NONE of the justifying criteria have been met]** the requirements of, Subsections: *[STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED]* **having NOT been met;** *[may be used in addition to above or alone]* **TO DENY** a variance from the required building setbacks, submitted by applicant Pete Clarke, located at 7600 Daetwyler Drive, Belle Isle FL 32812, also known as Parcel # 29-23-30-8036-02-010.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

PROJECT NAME:
CLARKE RESIDENCE
 7600 DATEWYLER DR. BELLE ISLE, FL

SCOPE OF WORK:

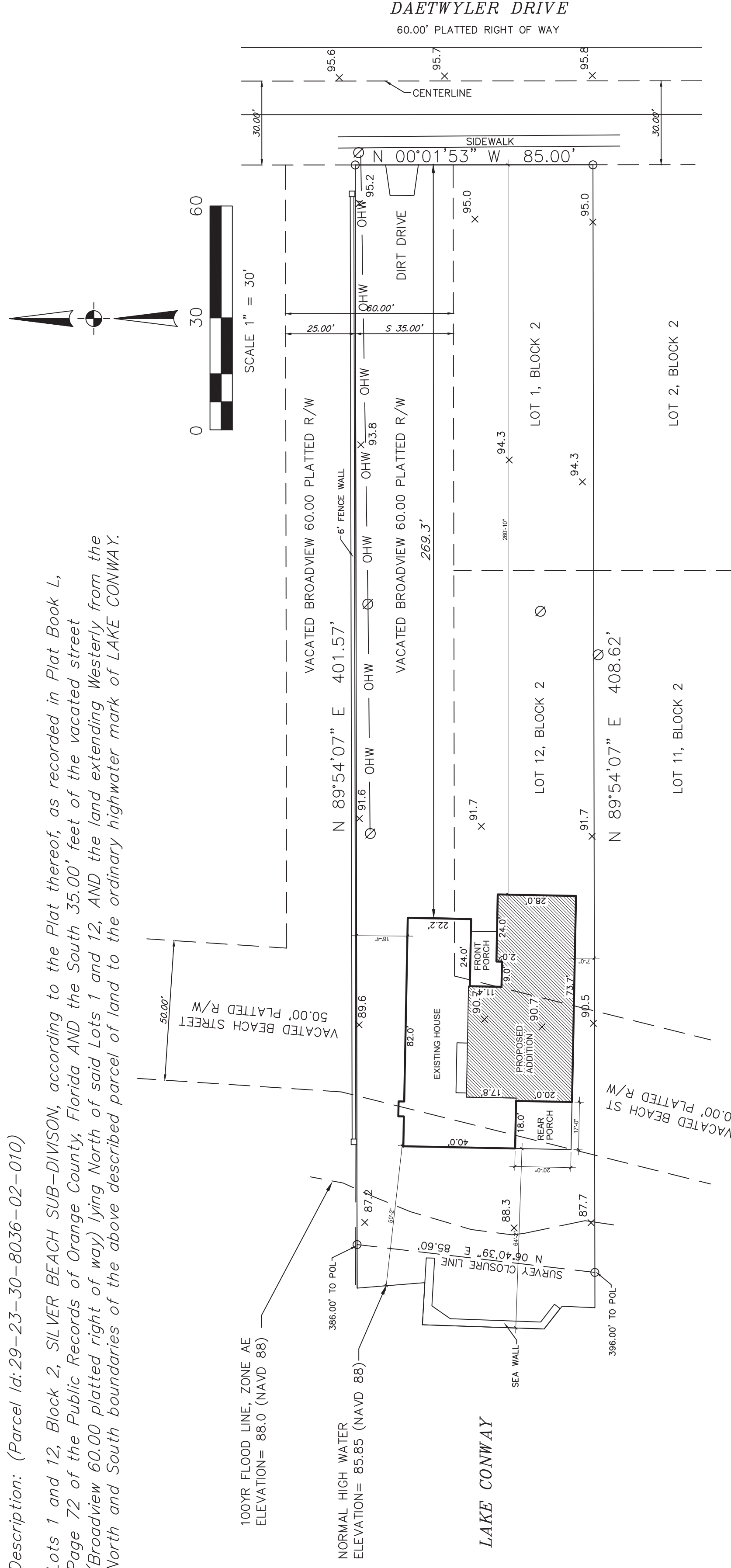
- PARTIALLY DEMO AND REWODEL 1 STORY RESIDENCE WITH FRONT AND BACK PORCHES

SHEET INDEX:

A-1	ARCHITECTURAL SITE PLAN, INDEX, AND GENERAL NOTES
A-2	AS-BUILT / DEMO PLAN
A-3	FOUNDATION PLAN
A-4	FLOOR PLAN & SPACE ANALYSIS
A-5	FRONT & SIDE ELEVATIONS
A-6	REAR & SIDE ELEVATIONS
A-7	ROOF PLAN
E-1	ELECTRICAL PLAN
S-1	GENERAL STRUCTURAL NOTES
S-2	STRUCTURAL DETAILS
S-3	STRUCTURAL DETAILS
S-4	LINTEL PLAN
S-5	TRUSS FRAMING PLAN
S-6	STRUCTURAL SECTIONS
S-7	STRUCTURAL SECTIONS

CODES IN EFFECT:

FLORIDA BUILDING CODE.	F.B.C. 6TH EDITION 2017, BUILDING
FLORIDA PLUMBING CODE.	F.P.C. 6TH EDITION 2017, RESIDENTIAL
FLORIDA MECHANICAL CODE.	F.M.C. 6TH EDITION 2017.
NATIONAL ELECTRICAL CODE	N.E.C. 2014 EDITION
FLORIDA FUEL GAS CODE	F.F.G.C. 6TH EDITION 2017
FLORIDA FIRE PREVENTION CODE	F.F.P.C. 6TH EDITION 2017
NATIONAL FIRE ALARM CODE	N.F.P.A. 72-2016



Description: (Parcel Id: 29-23-30-8036-02-010)

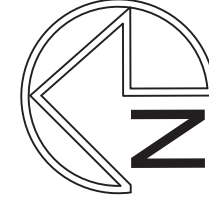
Lots 1 and 12, Block 2, SILVER BEACH SUB-DIVISION, according to the Plat thereof, as recorded in Plat Book L, Page 72 of the Public Records of Orange County, Florida AND the South 35.00 feet of the vacated street (Broadview 60.00 platted right of way) lying North of said Lots 1 and 12, AND the land extending Westerly from the North and South boundaries of the above described parcel of land to the ordinary highwater mark of LAKE CONWAY.

- NOTES:
- BEARINGS SHOWN HEREON ARE BASED ON THE WEST LINE OF DATEWYLER DRIVE AS BEING NORTH/SOUTH, ASSUMED.
 - SUBJECT PROPERTY SHOWN HEREON LIES IN ZONES AE AND AE ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 120500430F. MAP REVISED 12/11/2020. THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
 - UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNRESTRICTED VISIBLE ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
 - ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON BENCHMARK 550R ELEVATION 84.716.
 - REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER AND/OR ELECTRONIC SIGNATURE AS SET FORTH IN F.A.C. 51-17.600(3).
 - LAST DATE OF FIELD SURVEY: 12-11-2020.
 - CONTAINING 0.860 ACRES, MORE OR LESS.

- LEGEND:
- POL POINT ON LINE
 - O FOUND 1/2" IRON ROD NO#
 - R/W RIGHT OF WAY
 - UTILITY POLE
 - X 91.7 SPOT ELEVATION
 - OVERHEAD WIRES

ARCHITECTURAL SITE PLAN

SCALE: 1" = 30' - 0"
 CONTRACTOR VERIFY ALL
 DIMENSIONS AT JOB SITE.



Project Title: **CLARKE RESIDENCE RENOVATION & ADDITION**
 7600 DATEWYLER DR. BELLE ISLE, FL
 Sheet Title: ARCHITECTURAL SITE PLAN, INDEX AND GENERAL NOTES

Revisions:

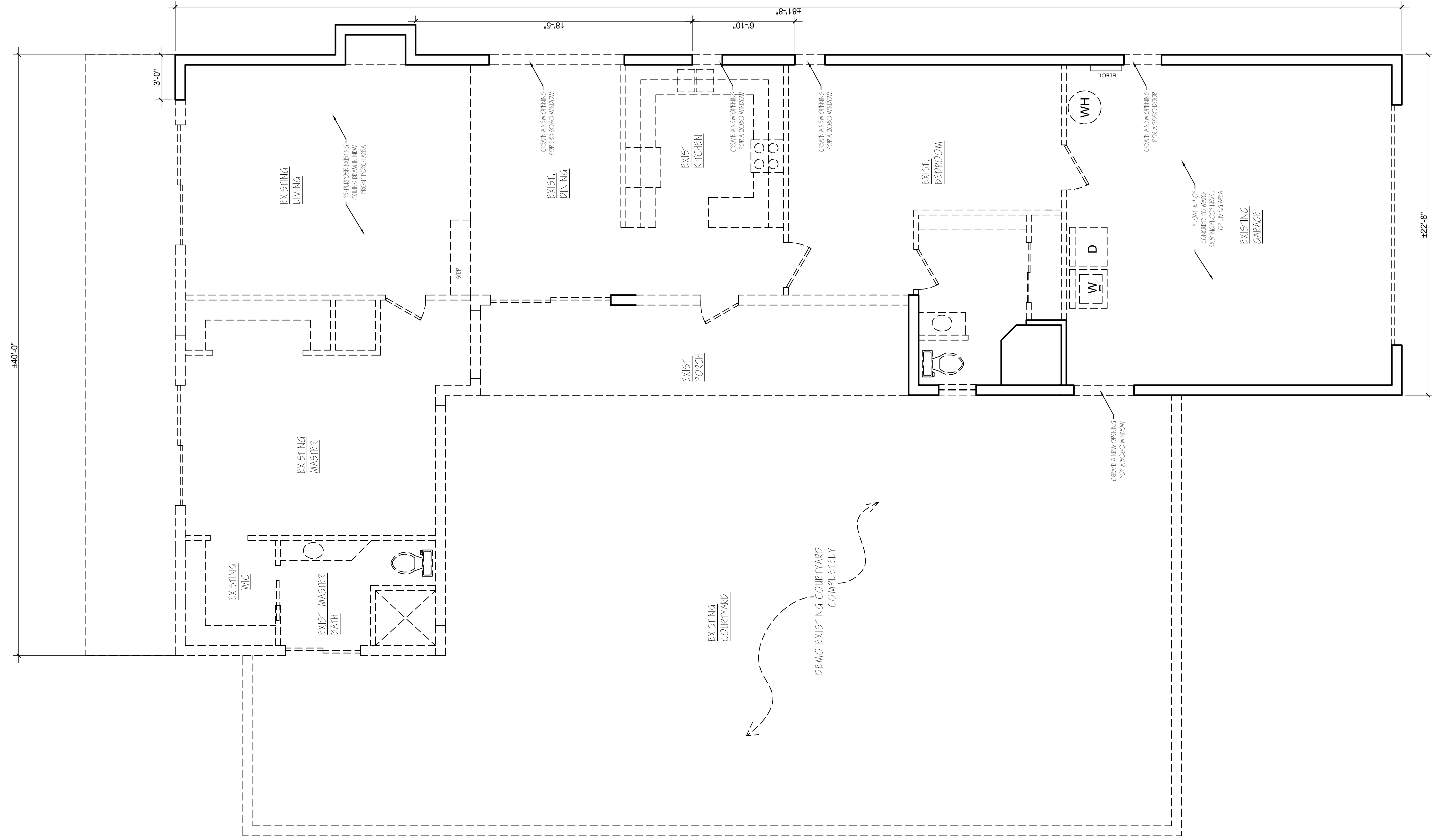
No.	Date	Issued For

DATE	JUL 20, 2020
CHECKED BY	KLC
DRAWN BY	ICA
SCALE	AS NOTED
SHEET	A-1

Seal/Signature

Consultants
alba
 ENGINEERING
 C.A. 800556
 DANIEL SOUTER, P.E.
 11111 W. BOYNTON AVE.
 SUITE 100
 ORLANDO, FL 32834
 PHONE: (407) 421-8888





AS BUILT / DEMO PLAN

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL
 DIMENSIONS AT JOB SITE.

PROJECT NAME:
 CLARK RESIDENCE
 7600 DATEWATER DR. BELLE ISLE, FL

SCOPE OF WORK:

- PARTIALLY DEMO AND RECONSTRUCT 1 STORY RESIDENCE WITH FRONT AND BACK PORCHES

SHEET INDEX:

- A-1 AS-BUILT/ DEMO, INDEX, AND GENERAL NOTES
- A-2 FOUNDATION PLAN
- A-3 FLOOR PLAN & SPACE ANALYSIS
- A-4 FRONT & SIDE ELEVATIONS
- A-5 REAR & SIDE ELEVATIONS
- A-6 ROOF PLAN
- E-1 ELECTRICAL PLANS
- S-1 GENERAL STRUCTURAL NOTES
- S-2 STRUCTURAL DETAILS
- S-3 STRUCTURAL DETAILS
- S-4 LINTEL PLAN
- S-5 TRUSS FRAMING PLAN
- S-6 STRUCTURAL SECTIONS
- S-7 STRUCTURAL SECTIONS

DEMOLITION NOTES:

- PHILIPPER TO FIELD VERIFY ALL EXISTING BEARING LOCATIONS PRIOR TO ALL DEMOLITION.
- IT IS THE RESPONSIBILITY OF THE PHILIPPER TO PROVIDE TEMPORARY SOUND SUPPORT OF ANY EXISTING TRUSSES PRIOR TO REMOVING ANY INTERIOR BEARING WALL - PHILIPPER MUST NOTIFY THE ENGINEER OF RECORD IMMEDIATELY WHERE NEW BEAMS OR BEAMING WALL PARTITIONS OR BEARING POSTS MAY BE REQUIRED IN THE FIELD.



Seal/Signature

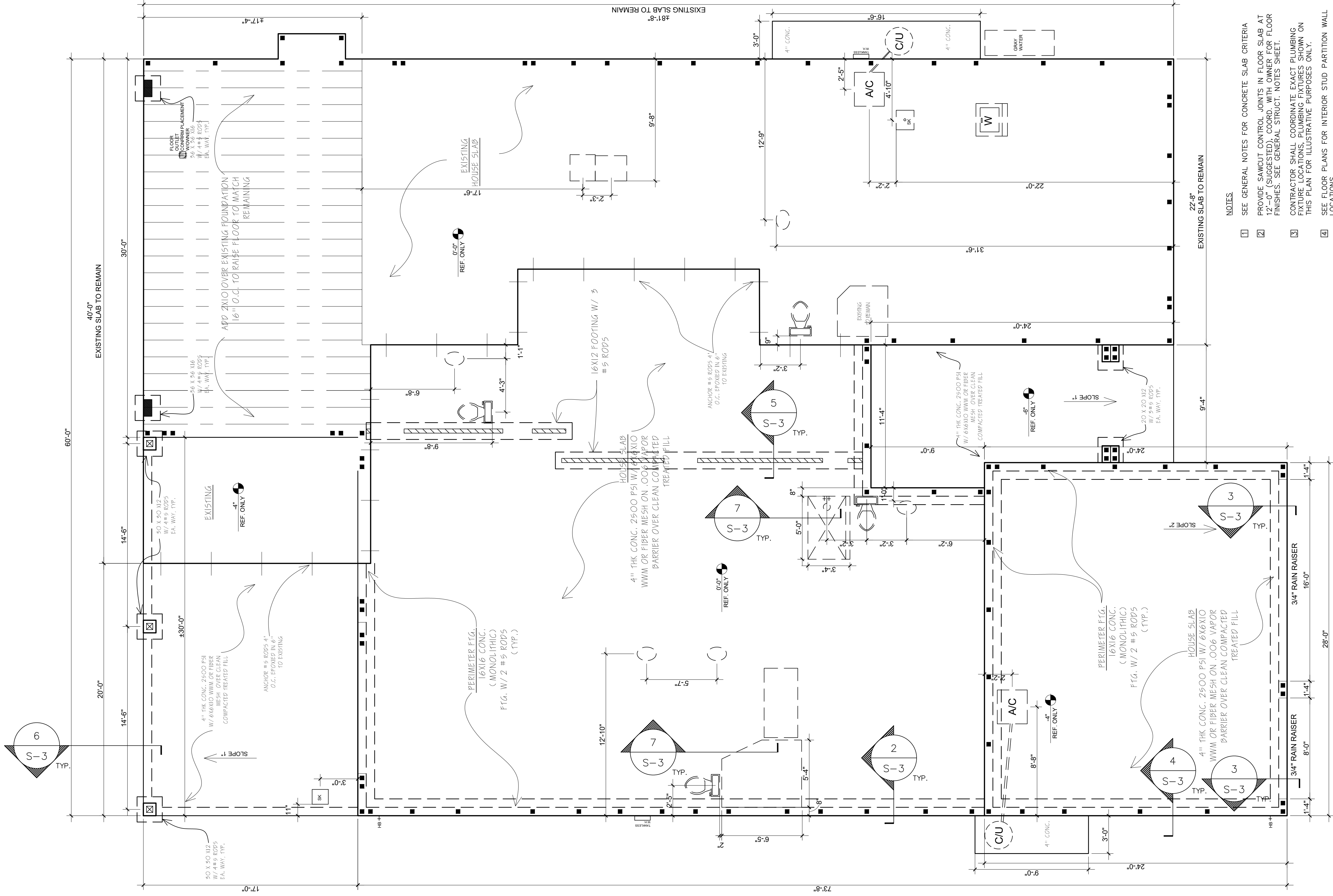
Consultants
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 ENGINEERING
 CA. 600568
 DANIEL SCUTER, P.E.
 P.E.# 65901
 P.O. BOX 547774
 ORLANDO, FL 32854
 PHONE (407) 421-8666

Project Title:
CLARK RESIDENCE RENOVATION & ADDITION
 7600 DATEWATER DR. BELLE ISLE, FL
 Sheet Title:
 AS-BUILT/DEMO. PLAN, INDEX AND GENERAL NOTES

Revisions:

No.	Date	Issued For

DATE
 DECEMBER 07, 2020
 CHECKED BY:
 KLC
 DRAWN BY:
 DCA
 SCALE
 AS NOTED
 SHEET
A-1



- NOTES**
- 1 SEE GENERAL NOTES FOR CONCRETE SLAB CRITERIA
 - 2 PROVIDE SAWCUT CONTROL JOINTS IN FLOOR SLAB AT 12'-0" (SUGGESTED), COORD. WITH OWNER FOR FLOOR FINISHES. SEE GENERAL STRUCT. NOTES SHEET.
 - 3 CONTRACTOR SHALL COORDINATE EXACT PLUMBING FIXTURE LOCATIONS, PLUMBING FIXTURES SHOWN ON THIS PLAN FOR ILLUSTRATIVE PURPOSES ONLY.
 - 4 SEE FLOOR PLANS FOR INTERIOR STUD PARTITION WALL LOCATIONS.
 - 5 ALL INTERIOR FOOTINGS TO EXTEND 8" MIN. PAST END OF BEARING WALL U.N.O.
 - 6 PROVIDE BOND BEAM BB1 OR PRECAST CONCRETE SILL BELOW ALL MASONRY WINDOW OPENINGS.
 - 7 PROVIDE BOND BEAM BB1 AT TOP OF ALL CMU WALLS. SEE DETAILS SHEET.
 - 8 8" CMU WALL WITH #5 REINFORCING IN CENTER OF SOLID GROUDED CELLS AS SHOWN, AT 6'-0" O.C. MAX. AND AT ALL CORNERS AND JAMBS.
- 2x4 (OR 2x6 IF NOTED ON PLAN) INTERIOR LOAD BEARING STUD WALL. STUDS SPACED AT 16" O.C. U.N.O., PROVIDE DBL TOP PLATE, AND SINGLE P.T. SILL PLATE CONNECTED TO FOUNDATION WITH 1/2" DIA. ANCHOR BOLTS AT 32" O.C. AND WITHIN 8" OF ENDS OF SILL PLATE. PROVIDE SP4 (2x4) OR SP6 (2x6) CONNECTIONS TOP AND BOTTOM OF EVERY OTHER STUD.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR VERIFY ALL DIMENSIONS & CONDITIONS AT JOB SITE.



Seal/Signature

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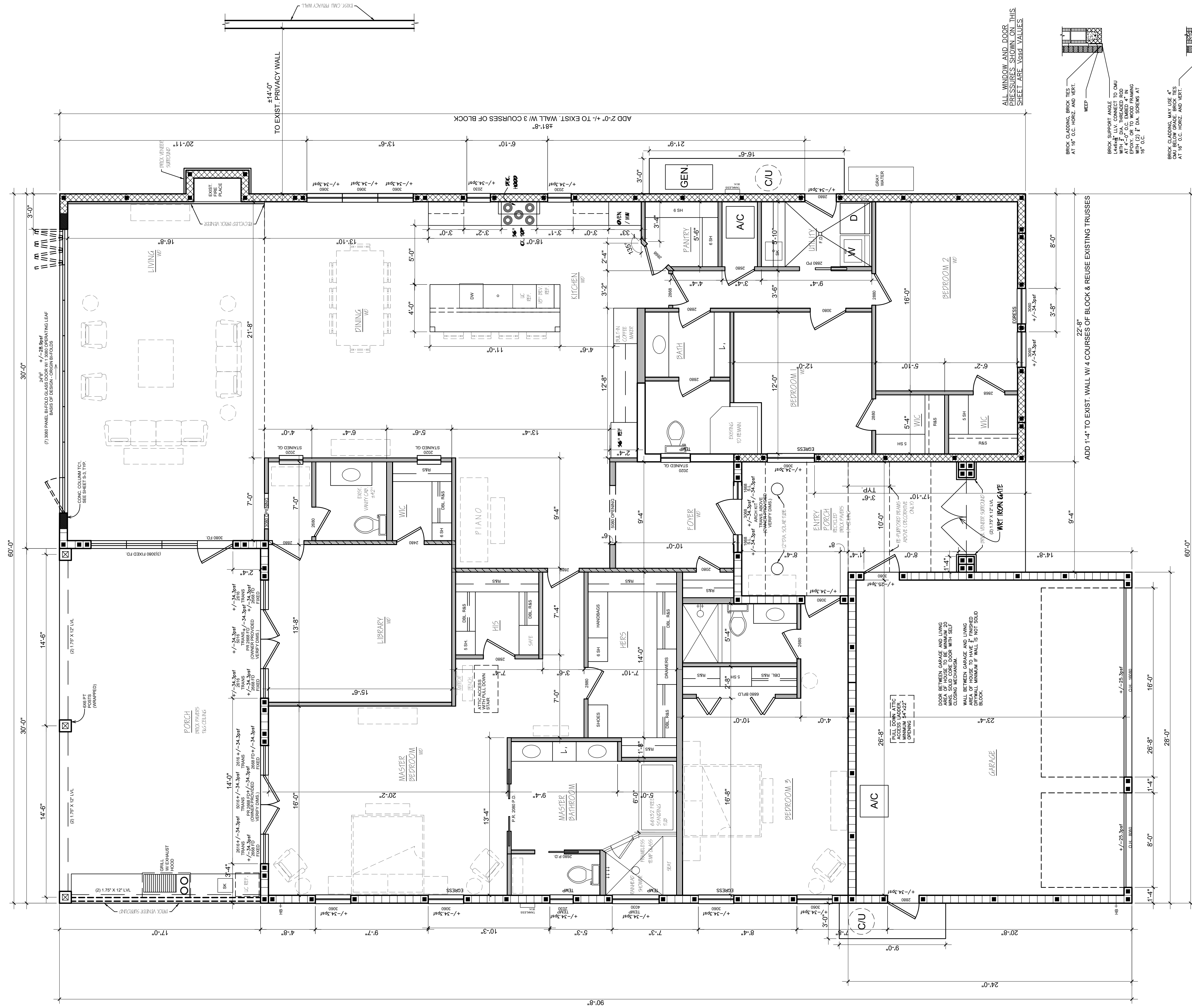
Project Title: **CLARK RESIDENCE RENOVATION & ADDITION**
7600 DATEWLER DR., BELLE ISLE, FL

Sheet Title: **FOUNDATION PLAN**

No.	Date	Issued For

Revisions:

DATE	DECEMBER 07, 2020
CHECKED BY:	KLC
DRAWN BY:	DCA
SCALE	AS NOTED
SHEET	A-2



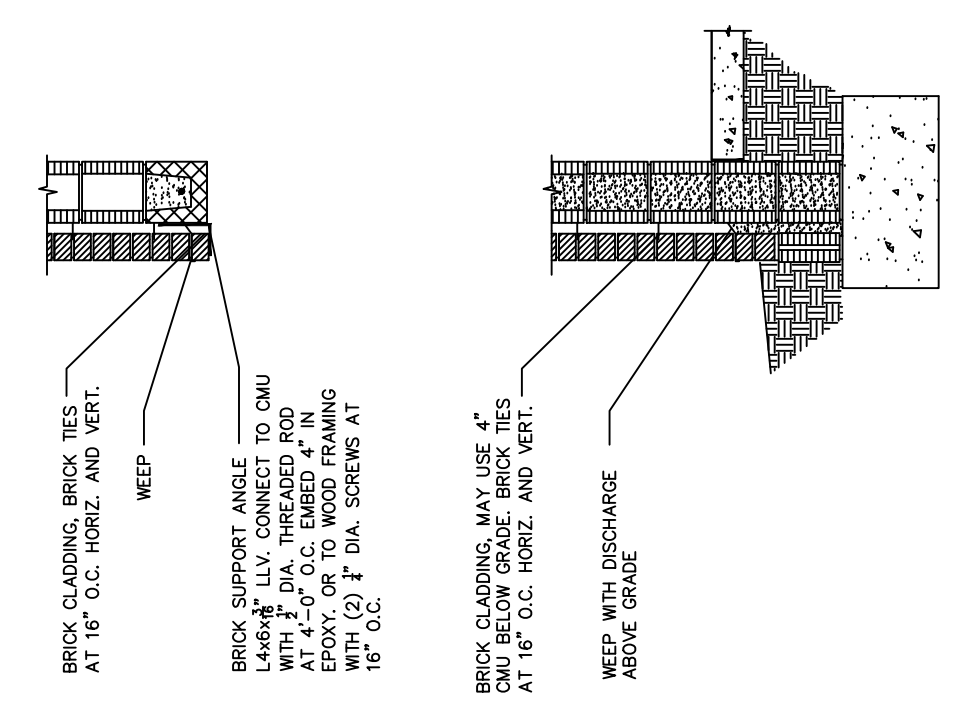
FLOOR PLAN

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL
 DIMENSIONS AT JOB SITE.

- NOTES:
- ALL NEW EXTERIOR WALLS TO BE 8" CMU
 - ALL DOORS TO BE 6'-0" HIGH U.N.O.
 - ALL INTERIOR WALLS TO BE 2X4 U.N.O.
 - ADD 6" CROWN MOULD. IN FOYER, KITCHEN, OFFICE, & FAMILY ROOM
 - ALL BASE BOARDS TO BE 8" U.N.O.
 - CEILING INSULATION TO BE BATT, R-30
 - WALL INSULATION TO BE BATT, R-15
 - ADD 5 COURSES OF BLOCK TO ALL EXISTING EXTERIOR WALL TO REMAIN

- SPACE ANALYSIS
- EXISTING LIVING TO REMAIN - 1690 S.Q.F.T.
 ADDITIONS - 2052 S.Q.F.T.
 FRONT PORCH - 242 S.Q.F.T.
 BACK PORCH - 510 S.Q.F.T.
 GARAGE - 672 S.Q.F.T.
 TOTAL UNDER ROOF - 5166 S.Q.F.T.

1 BRICK VENEER DETAILS
 A-3 SCALE: NTS



ALL WINDOW AND DOOR PRESSURES SHOWN ON THIS SHEET ARE URBAN VALUES.



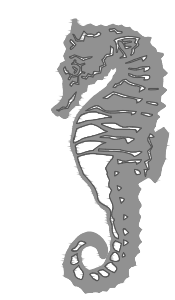
Consultants
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Project Title:
CLARK RESIDENCE RENOVATION & ADDITION
 7600 DATEWELLER DR. BELLE ISLE, FL

Sheet Title:
 FLOOR PLAN & SPACE ANALYSIS

No.	Date	Issued For

DATE	DECEMBER 07, 2020
CHECKED BY:	KLC
DRAWN BY:	DCA
AS NOTED	
SHEET	A-3



KLC Designs, Inc.
 Kelly Carr
 321.946.5957
 k@kcdesigns.com

Seal/Signature

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Project Title: **CLARK RESIDENCE RENOVATION & ADDITION**
 7600 DATEWELLER DR., BELLE ISLE, FL

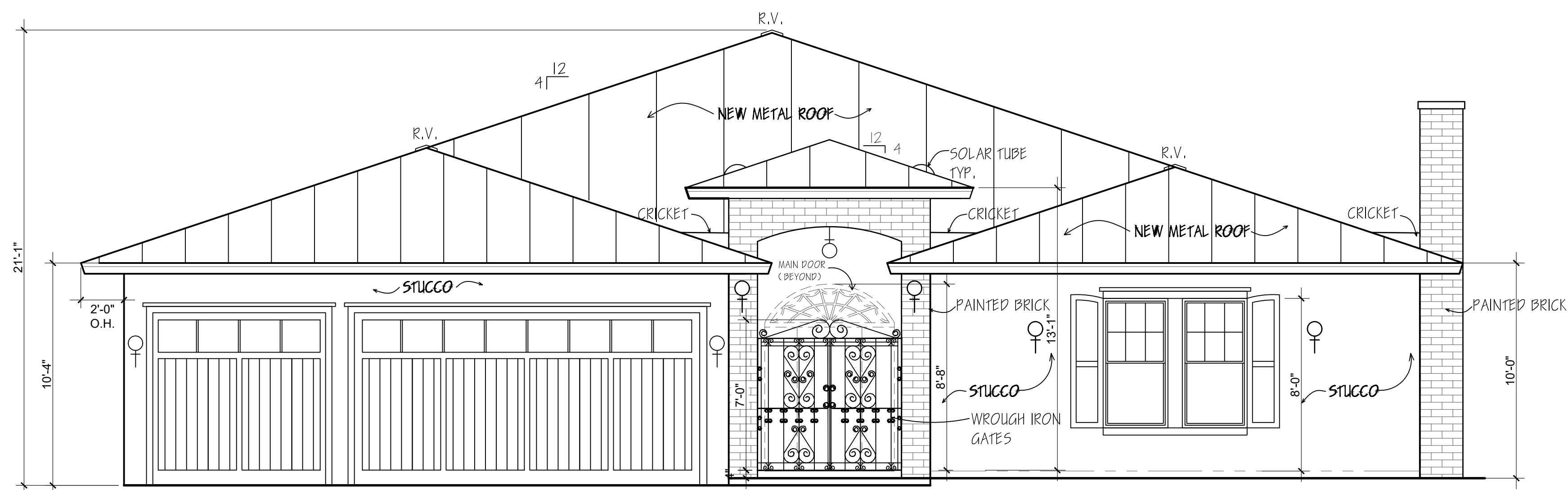
Sheet Title: **EXTERIOR ELEVATIONS**

Revisions:

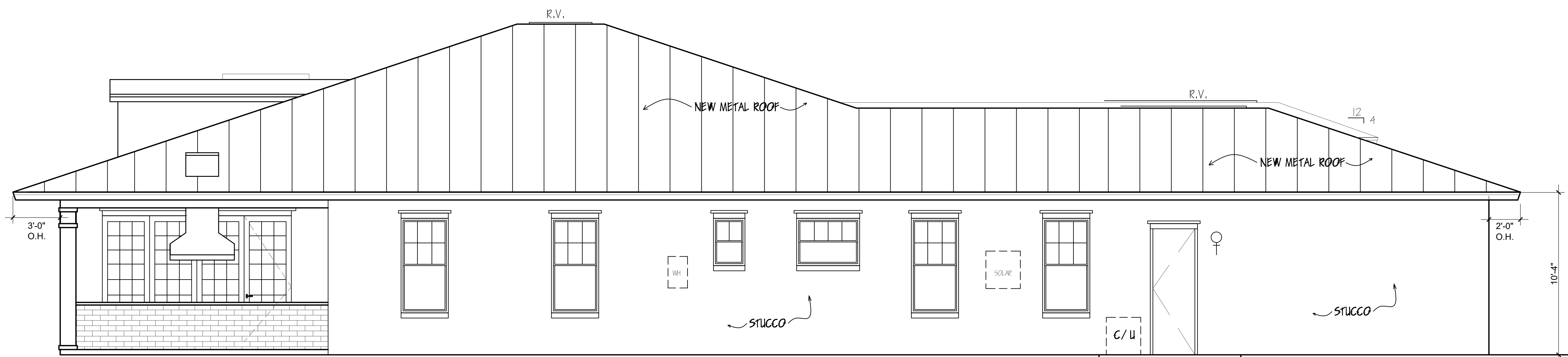
No. Date Issued For

DATE
 DECEMBER 07, 2020
 CHECKED BY:
 KLC
 DRAWN BY:
 DCA
 SCALE
 AS NOTED
 SHEET

A-4



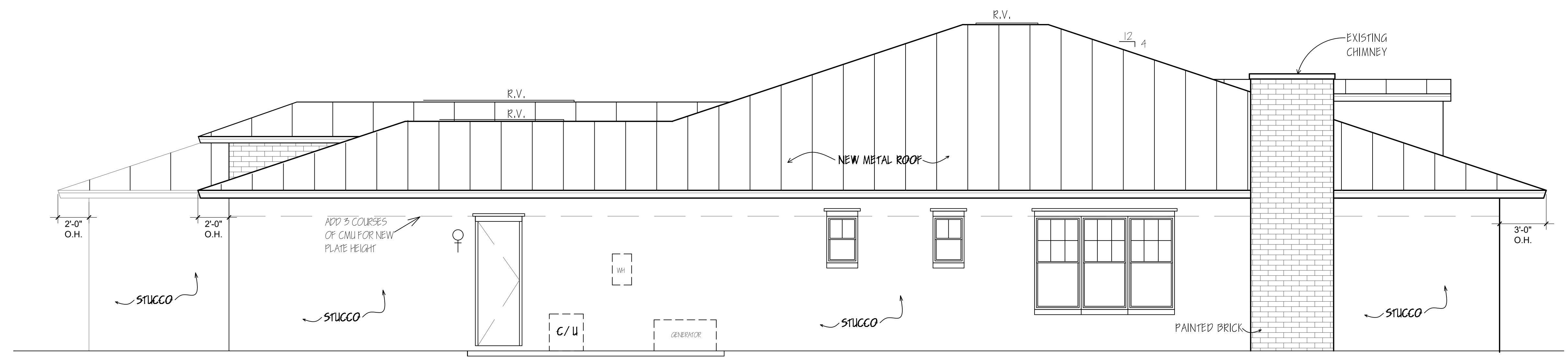
FRONT ELEVATION
 1/4" = 1'-0"



SIDE ELEVATION
 1/4" = 1'-0"



BACK ELEVATION
 1/4" = 1'-0"



SIDE ELEVATION
 1/4" = 1'-0"

Seal/Signature

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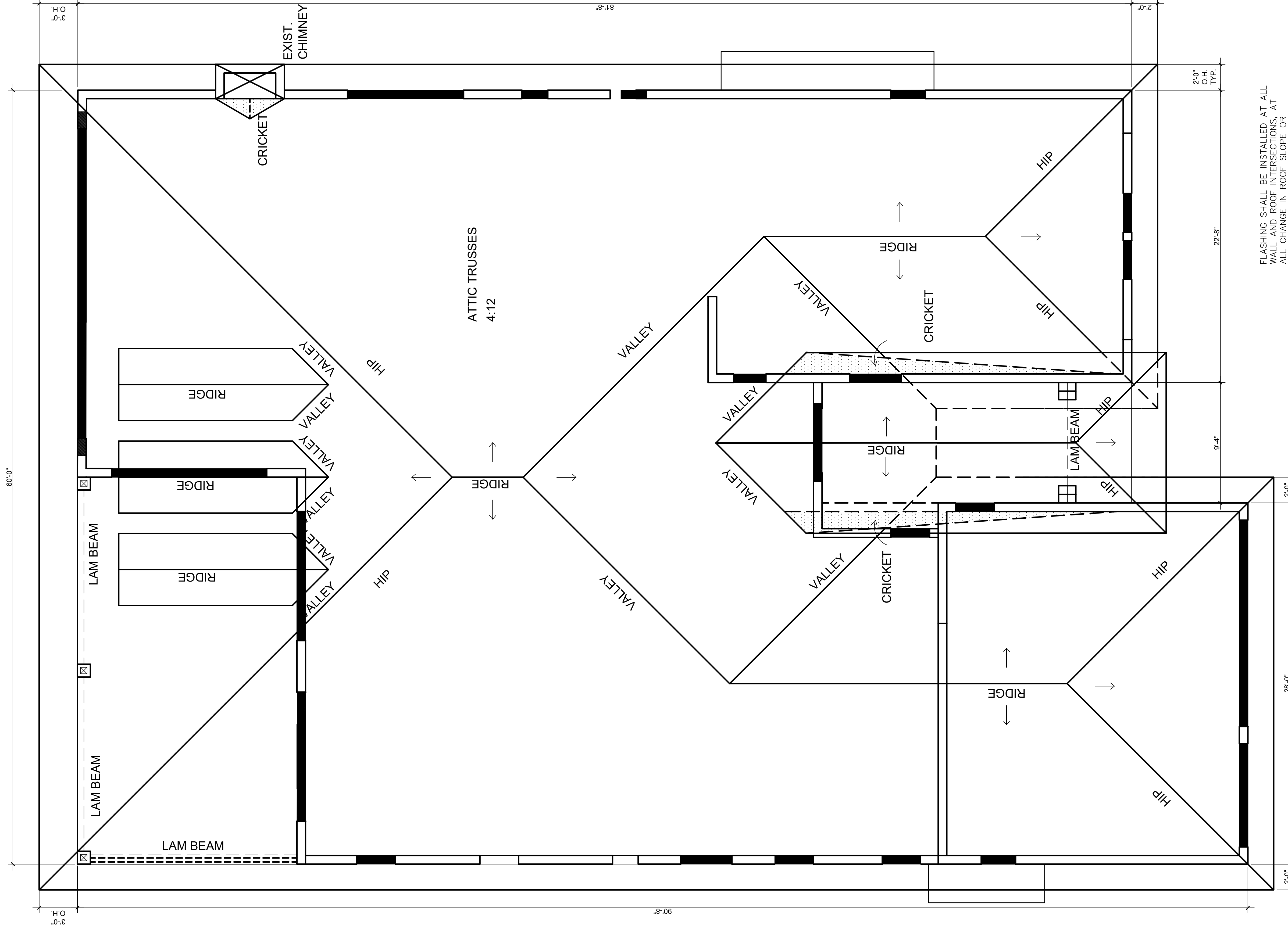
Project Title: **CLARK RESIDENCE RENOVATION & ADDITION**
 7600 DATEWELLER DR., BELLE ISLE, FL
 Sheet Title: EXTERIOR ELEVATIONS

Revisions:

No.	Date	Issued For

DATE
 DECEMBER 07, 2020
 CHECKED BY:
 KLC
 DRAWN BY:
 DCA
 SCALE
 AS NOTED
 SHEET

A-5



FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS, AT ALL CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ALL ROOF OPENINGS, (FBCR-R312)

ROOF PLAN

SCALE: 1/4" = 1'-0"

CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.
(REF. ONLY, SEE TRUSS ENG. DRAWINGS AND SPECS FOR ADDITIONAL INFORMATION)

- ATTIC VENTILATION PER FBC-R806
- 50% OF VENTILATION THROUGH VENTED SOFFIT
- 50% OF VENTILATION THROUGH ROOF VENTS
- ATTIC SQUARE FOOTAGE AREA = 5166 S.F.
- 5166 S.F. / 300 = 17.22 S.F. VENTILATION REQUIRED
- 17.22 S.F. x 50% = 8.61 S.F. (1240 SQ. IN.)
- PROVIDE RIDGE VENT PROVIDING 1240 SQ. IN. OF VENTILATION (105 SQ. IN. PER 4' VENT TYP., PROVIDE 12 4' OFF-RIDGE VENTS)
- (18 SQ. IN. PER LINEAR FOOT TYP., PROVIDE 69 LINEAR FEET)
- OR
- PROVIDE OFF-RIDGE VENTS PROVIDING 1240 SQ. IN. OF VENTILATION (105 SQ. IN. PER 4' VENT TYP., PROVIDE 12 4' OFF-RIDGE VENTS)
- (VENTING MUST BE ELIMINATE IF SPRAY FOAM INSULATION IS SUBSTITUTED)



Seal/Signature

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Project Title:
CLARK RESIDENCE RENOVATION & ADDITION
 7600 DATEWILER DR. BELLE ISLE, FL

Revisions:

Sheet Title:
 ROOF PLAN

No.	Date	Issued For

DATE
 DECEMBER 07, 2020

CHECKED BY:
 KLC

DRAWN BY:
 DCA

SCALE
 AS NOTED

SHEET
A-6

1. BUILDING CODES

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2017 (6th EDITION) FLORIDA BUILDING CODE – RESIDENTIAL.
- B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE OR LOCAL JURISDICTIONAL REQUIREMENTS.

2. DESIGN LOADS

- A. THE DESIGN DEAD LOADING FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE SPECIFICATIONS. ALL FRAMING IS DESIGNED FOR THE FOLLOWING UNIFORM DEAD LOADS APPLIED IN ADDITION TO STRUCTURE SELF WEIGHT:

MECH., ELECT., PLUMBING, CEILING, ETC.....15PSF
 ROOFING.....15PSF

- B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LIVE LOADS
 UNINHABITABLE ATTICS WITHOUT STORAGE.....10PSF
 UNINHABITABLE ATTICS W/ STORAGE.....20PSF
 SLEEPING AREAS.....30PSF
 ALL OTHER AREAS INCL. STAIRS.....40PSF
 ROOF LIVE LOAD.....20PSF

C. HANDRAIL/GUARDRAIL LIVE LOADS

GUARDS AND HANDRAILS (HIGHER OF) 200LB PT LOAD OR 50PLF.
 GUARD PICKET/INFRILLS COMPONENTS 50PSF OVER A 1 SQ. FT. AREA.

- D. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACKFILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTORS RESPONSIBILITY. ANY SHORING OR BRACING ENGINEERING SHALL BE BY OTHERS.

3. MISCELLANEOUS

- A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.

- B. THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL, MECHANICAL, ELECTRICAL PLUMBING AND STRUCTURAL DRAWINGS FOR LOCATION AND DIMENSION OF CHASES, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS.

- C. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION. ALL DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONALS.

- D. SCALES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

4. SPREAD FOOTING FOUNDATIONS

- A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE LOCATED AS INDICATED ON THE DRAWINGS.
- B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THE ALLOWABLE SOIL BEARING PRESSURE SHALL BE FIELD VERIFIED BY A LICENSED GEOTECHNICAL ENGINEER AND APPROVED PRIOR TO PLACING FOUNDATIONS. SHOULD THE ACTUAL SOIL BEARING PRESSURE BE LESS THAN 2000 PSF, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- C. ALL FILL PLACED UNDER SPREAD FOOTINGS SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 OR ALTERNATIVE REQUIREMENTS PROVIDED BY A GEOTECHNICAL ENGINEER.
- D. ALL EXISTING SOIL CONTAINING GRAVEL, CONSTRUCTION OR DEMOLITION DEBRIS, ORGANIC SUBSTANCES, OR OTHER FOREIGN OBJECTS SHALL BE REMOVED FROM THE REGION WITHIN THE FOOTPRINT OF THE STRUCTURE.

5. STRUCTURAL FILL

- A. NEW FILL MATERIAL AND EXISTING BASE MATERIAL SHALL BE FREE OF ALL REFUSE, DEBRIS, AND ORGANIC MATTER AND SHALL BE APPROVED FOR USE BY A GEOTECHNICAL ENGINEER.
- B. FILL MATERIAL SHALL BE DEPOSITED IN 8 INCH MAXIMUM LOOSE LIFTS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 OR ALTERNATIVE REQUIREMENTS PROVIDED BY A GEOTECHNICAL ENGINEER.

6. SLABS ON GRADE

- A. ALL SLABS ON GRADE SHALL CONSIST OF A 4 INCH THICK 2500 PSI (MIN) SLAB PLACED OVER A 6 MIL (MIN.) POLYETHYLENE VAPOR RETARDER OVER CLEAN COMPACTED FILL REINFORCED WITH POLYPROPYLENE FIBERS (FIBERMESH OR EQUAL), MIN. 1-1/2" LONG AT A RATE OF 1.5 LBS/ CY OF CONCRETE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED 6 INCHES MIN. AND TAPED AT ALL JOINTS/PENETRATIONS.
- B. ANY TERMITE TREATMENT SPECIFIED AND PERMITTED BY FBC-1816 (FBCR-318) IS ACCEPTABLE, INCLUDING:
 SOIL TREATMENT WITH REGISTERED TERMITICIDE
 BAITING SYSTEMS (SENTRICON OR APPROVED EQUAL), OR
 PESTICIDES APPLIED TO WOOD (BORA-CARE OR APPROVED EQUAL)
- C. SLABS ON GRADE SHALL BE SCREED, FLOATED, AND STEEL TROWELED TO FORM A SMOOTH, DENSE, AND PLANE SURFACE.
- D. PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND FOLLOW GUIDELINES SET FORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.
- E. EXTEND SLAB 1-1/2" INCHES AT DOOR OPENINGS, EXTEND SLAB 1-1/2" INCHES AT SLIDING GLASS DOORS AND RECESS 3/4" FOR TRACKS.
- F. SAWCUT CONTROL JOINTS IN CONCRETE SLAB RECOMMENDED AT 12'-0" O.C. MAX

7. CAST IN PLACE CONCRETE

- A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)"; AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".
- B. IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 - REC. PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 - REC. PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 - REC. PRACTICE FOR CONCRETE FORMWORK (ACI 347).

- C. ALL CONCRETE EXPOSED TO PUBLIC VIEW SHALL CONFORM TO THE REQUIREMENTS FOR ARCHITECTURAL CONCRETE CONTAINED IN ACI 301.

- D. ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS:

FOUNDATIONS 2500 PSI
 SLABS ON GRADE 2500 PSI
 BEAMS/COLUMNS/ELEVATED SLABS 4000 PSI

ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5% +/- 1% NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1" AND MAXIMUM SLUMP SHALL BE 4" 3" FOR SLABS ON GRADE. ALL CONCRETE EXCEPT FOOTINGS SHALL CONTAIN A WATER REDUCING ADMIXTURE. PORTLAND CEMENT SHALL CONFORM TO ASTM C 150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM ASTM C 33.

- E. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO GRADE 60 MIN. GRADE 40 ACCEPTABLE FOR FOUNDATIONS. ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A 185. LAP ALL REINFORCING BARS A MINIMUM OF 48 BAR DIAMETERS (30" FOR #5 REINF.) AND ALL W.W.F. A MINIMUM OF TWO FULL GRIDS, UNLESS OTHERWISE INDICATED.

- G. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE", ACI 315' DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", ACI SP 66 "DETAILING MANUAL".

- H. GROUND BLAST FURNACE SLAG MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C 989.

- L. MINIMUM COVER FOR ALL REINFORCING SHALL BE AS FOLLOWS UNLESS OTHERWISE INDICATED:

FOUNDATIONS 3 INCHES
 SLABS ON GRADE 2 INCHES (TOP)
 ALL OTHER CONCRETE ACI STANDARDS

8. CONCRETE MASONRY

- A. ALL MASONRY CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402)" AND TO THE "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)".

- B. ALL CONCRETE MASONRY SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH OF MASONRY, f'm = 1500 PSI.

- C. ALL WALLS SHALL BE CONSTRUCTED OF NORMAL WEIGHT HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90 WITH A NET COMPRESSIVE STRENGTH OF 1900 PSI.

- D. ALL EXTERIOR WALLS AND BEARING WALLS SHALL BE CONSTRUCTED WITH TYPE "S" CEMENT LIME MORTAR ABOVE GRADE, AND TYPE "M" BELOW GRADE. ALL MORTAR SHALL CONFORM TO ASTM C270 WITH TYPE "S" MORTAR OBTAINING AN AVERAGE COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS AND TYPE "M" MORTAR OBTAINING AN AVERAGE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

- E. ALL FILL FOR CONCRETE MASONRY SHALL BE GROUT CONFORMING TO ASTM C 476 WITH A COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

- F. ALL MASONRY WALLS SHALL BE REINFORCED WITH 9 GA LADDER TYPE GALVANIZED HORIZONTAL JOINT REINFORCING CONFORMING TO ASTM A 82 AND SPACED VERTICALLY AT 16" O.C., UNLESS OTHERWISE INDICATED. PROVIDE CORNER AND TEE PIECES AT ALL INTERSECTIONS. LAP ALL JOINTS 6" MINIMUM. LADDER REINF. IS RECOMMENDED FOR SHRINKAGE CRACK CONTROL, HOWEVER, AT GENERAL CONTRACTOR DISCRETION THE LADDER REINFORCING MAY BE ELIMINATED AND IS NOT A FBC MANDATED REQUIREMENT.

- G. ALL REINFORCING BARS FOR MASONRY SHALL BE NEW BILLET STEEL CONFORMING TO GRADE 40 MIN
- H. ALL VERTICAL REINFORCING SHALL BE LAP SPICED A MINIMUM OF 40 BAR DIAMETERS (30" FOR #5 REINF.) UNLESS OTHERWISE INDICATED. ALL MASONRY CORES CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID.

- I. IF VERTICAL REINF. IS MISSING/MISPLACED, REPLACEMENT REINF. MAY BE DOWELED INTO FOOTING 5" MIN. WITH EPOXY.

9. EPOXY

- A. ALL EPOXY CALLED FOR IN PLANS TO BE SIMPSON SET, SIMPSON HP-ET, HILTI HIT-RE 500 V3 (CONCRETE), OR HILTI HIT-HY 270 (MASONRY)

10. WOOD

- A. ALL STRUCTURAL SHEATHING SHALL CONFORM TO THE DESIGN SPECIFICATIONS OF THE AMERICAN PLYWOOD ASSOCIATION. APA PS 1. PLYWOOD SHALL HAVE A MINIMUM OF THREE CONTINUOUS SPANS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. ALL SHEATHING SHALL BE SPAN RATED FOR THE LOADS AND FRAMING SPACING AS INDICATED ON THE DRAWINGS.

- B. FLOOR SHEATHING:
 USE 25/32" PLYWOOD (MIN.) FOR FLOOR SHEATHING. FASTEN PLYWOOD TO FLOOR TRUSSES W/ #8 SCREWS AT 6" O.C. AND GLUE.

- C. ROOF SHEATHING:
 USE 5/8" CDX OR OSB OR ZIP (MIN.) FOR ROOF SHEATHING. FASTEN TO ROOF TRUSSES W/ 8d RING SHANK NAILS @ 6" O.C. AT ALL EXTERIOR SUPPORTS AND BLOCKING AND 6" O.C. AT ALL INTERIOR SUPPORTS. (MIN. PENETRATION 1-1/2") REDUCE NAIL SPACING TO 4" O.C. WITHIN 4'-0" OF ALL ROOF EDGES PER DIAGRAM SHOWN BELOW (ZONES 2 AND 3). CONTRACTOR PERMITTED TO SUBSTITUTE 1/2" CDX/OSB/ZIP IF USING PLYWOOD SHEATHING CLIPS AND WITH OWNER'S APPROVAL.

- D. VERTICAL WALL SHEATHING (GABLES, TRUSS HEELS ETC.):
 USE 15/32" CDX OR 7/16" OSB OR ZIP (MIN.) FOR WALL SHEATHING. FASTEN SHEATHING TO STUDS W/ 8d NAILS @ 6" O.C. AT ALL EXTERIOR SUPPORTS AND BLOCKING AND 6" O.C. AT ALL INTERIOR SUPPORTS. (MIN. PENETRATION 1-1/2")

- E. WOOD GRADE SHALL BE REGULAR SOUTHERN PINE NO. 2, 19% MOISTURE CONTENT MAX., Fb = 1400psi MIN. 2x4 STUDS MAY BE SPRUCE OR PINE.
- F. ALL MANUFACTURED/GLULAM/POWERBEAM/LVL MEMBERS TO HAVE A MINIMUM BENDING STRESS OF Fb = 2250psi.

- G. ALL DOUBLE BEAMS TO BE CONNECTED WITH 12d NAILS AT 16" O.C. STAGGERED, MIN. ALL TRIPLE AND QUADRUPLE BEAMS TO BE CONNECTED WITH 3/8" DIA. LAG SCREWS AT 16" O.C. ON BOTH FACES OF BEAM.

- H. ALL SIMPSON CONNECTORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, INCLUDING NUMBER, LENGTH AND DIAMETER OF FASTENER. WHERE CONNECTOR HAS MULTIPLE OPTIONS FOR NUMBER OF NAIL HOLES TO BE FILLED, THE MAX. NUMBER OF NAIL HOLES SHOULD BE FILLED U.N.O.

- I. ALL WOOD IN CONTACT WITH THE GROUND AND THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESERVATIVE TREATED WOOD (FBC R317.1.2.)

- J. INTERIOR NON-LOAD BEARING STUD WALLS TO BE 2x4 STUDS SPACED AT 24" ON CENTER.

11. PRE-ENGINEERED WOOD ROOF TRUSSES

- A. WOOD TRUSSES SHALL BE DESIGNED FOR THE LOADS INDICATED ON THE CONTRACT DOCUMENTS. ALL TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED AND SPECIFIED BY THE TRUSS SUPPLIER.

- B. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING TRUSS LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS WITH CLEARLY INDICATED REACTIONS, AND THE DESIGN AND LOCATION OF ALL REQUIRED BRACING AND BRIDGING. THE TRUSSES SHALL BE DESIGNED IN A MANNER THAT AVOIDS ADDITIONAL MEMBER BRACING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA. CONTRACTOR TO VERIFY THAT TRUSS DESIGN MATCHES ROOF PLAN PRIOR TO FABRICATION.

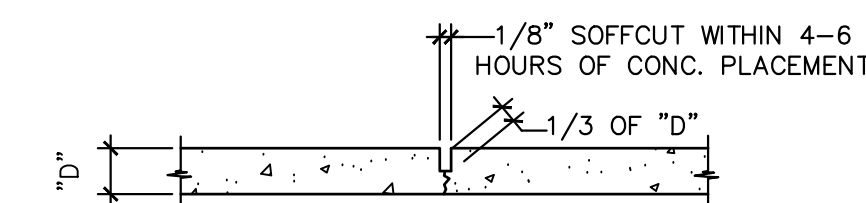
12. WIND LOADING:

DESIGN WIND SPEED Vult = 139 MPH (Vasd = 108 MPH)
 RISK CATEGORY = II
 WIND EXPOSURE CATEGORY = C
 INTERNAL PRESSURE COEFF. (ASCE ENCLOSED BLDG) = ± 0.18

COMPONENTS AND CLADDING WIND PRESSURE SCHEDULE (ROOF ANGLE 7° - 27°)

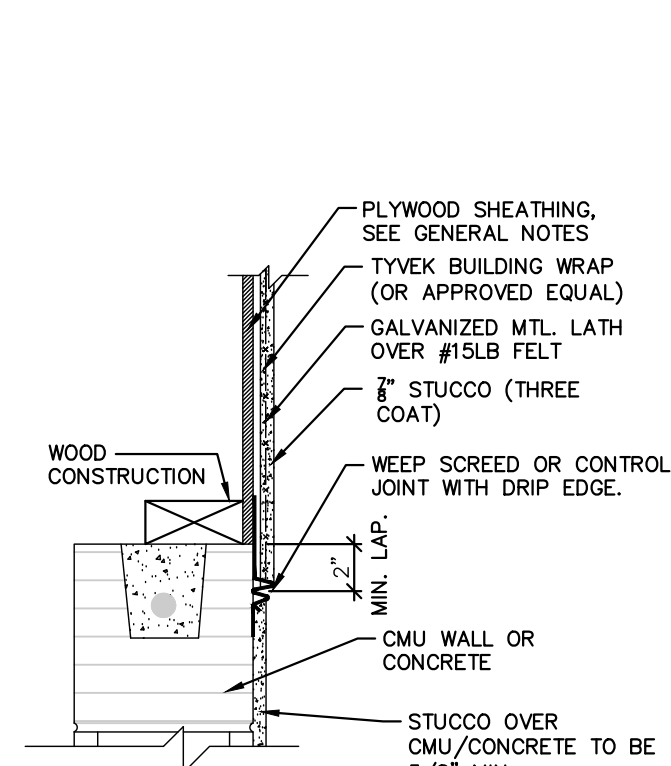
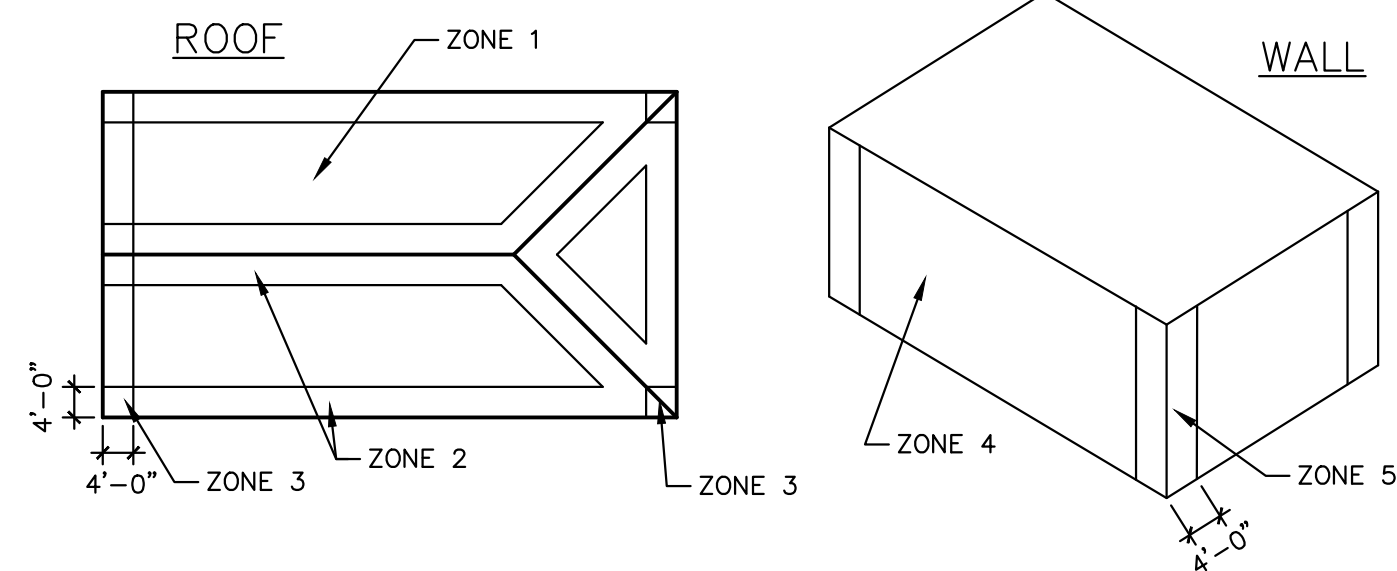
	ZONE	TRIBUTARY AREA	PRESSURE
ROOF	1	10	+24.6, -39.1
		20	+22.4, -38.0
		50	+19.5, -36.5
	2	10	+24.6, -68.0
		20	+22.4, -62.6
		50	+19.5, -55.3
	3	10	+24.6, -100.6
		20	+22.4, -94.0
		50	+19.5, -85.3
WALL	4	10	+42.7, -46.2
		20	+40.8, -44.4
		50	+38.2, -41.9
	5	10	+42.7, -57.1
		20	+40.8, -53.2
		50	+38.2, -48.2
	100	10	+36.3, -39.9
		20	+36.3, -39.9
		50	+36.3, -39.9

ALL WINDOWS AND DOORS TO BE SELECTED FROM WALL PRESSURE TABLES. VALUES ARE ULTIMATE, FOR ALLOWABLE LOADS MULTIPLY LISTED VALUES BY 0.6. ZONES 2,3&5 WITHIN 4'-0" OF CORNERS

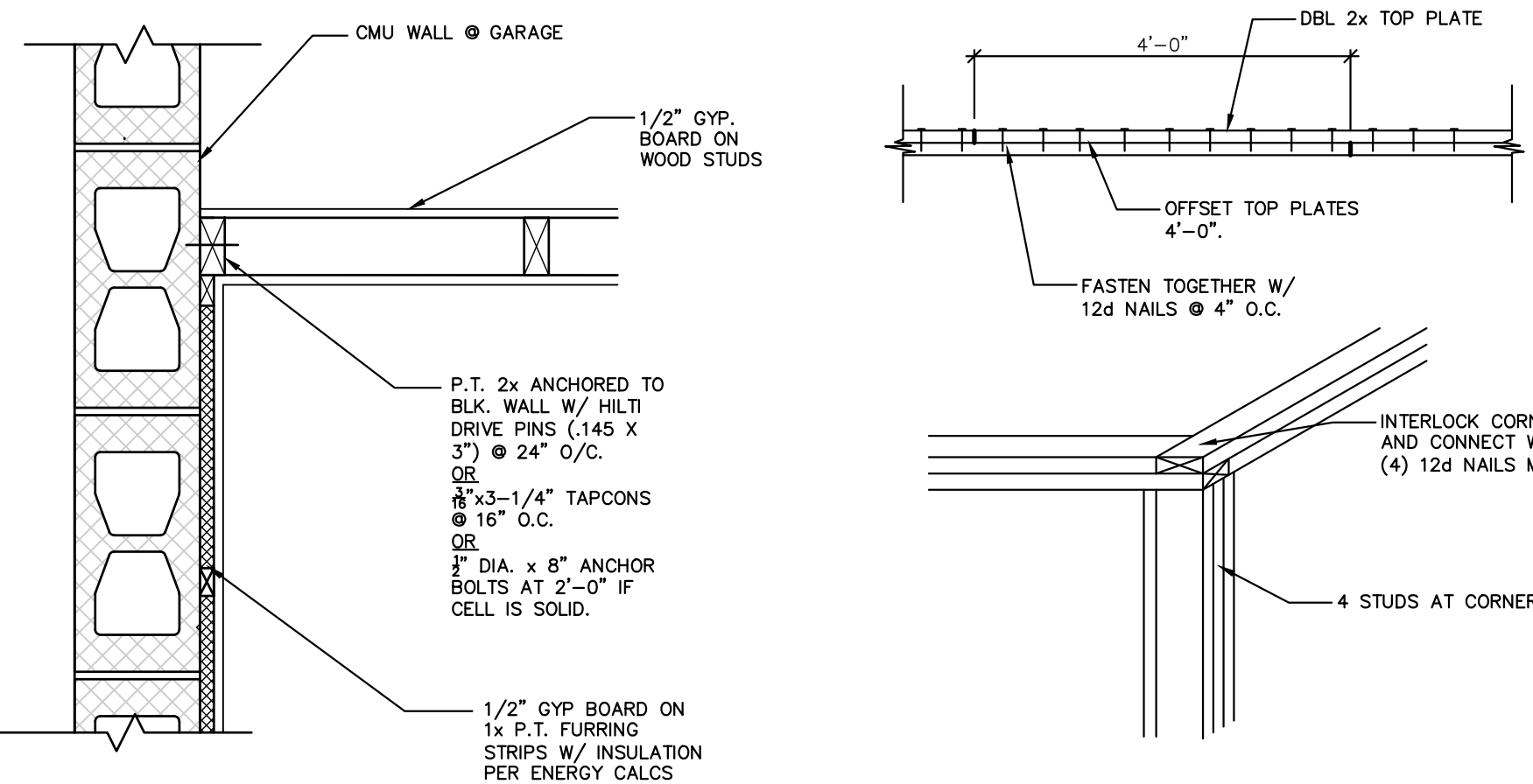


NOTE: RECOMMENDED SPACING OF CONTROL JOINTS NOT TO EXCEED MAX. SPACING OF 12'-0"

1 STRUCTURAL GENERAL NOTES SCALE: N.T.S.



2 WEEP SCREEN / STUCCO OVER FRAME SCALE: N.T.S.



3 FRAME TO CMU DET. SCALE: N.T.S.

4 WOOD TOP PLATE SCALE: N.T.S.

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Project Title: **CLARK RESIDENCE RENOVATION & ADDITION**
 7600 DATEWILER DR. BELLE ISLE, FL
 Sheet Title: GENERAL STRUCTURAL NOTES

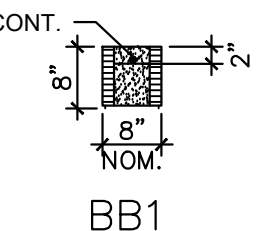
Revisions:

No.	Date	Issued For

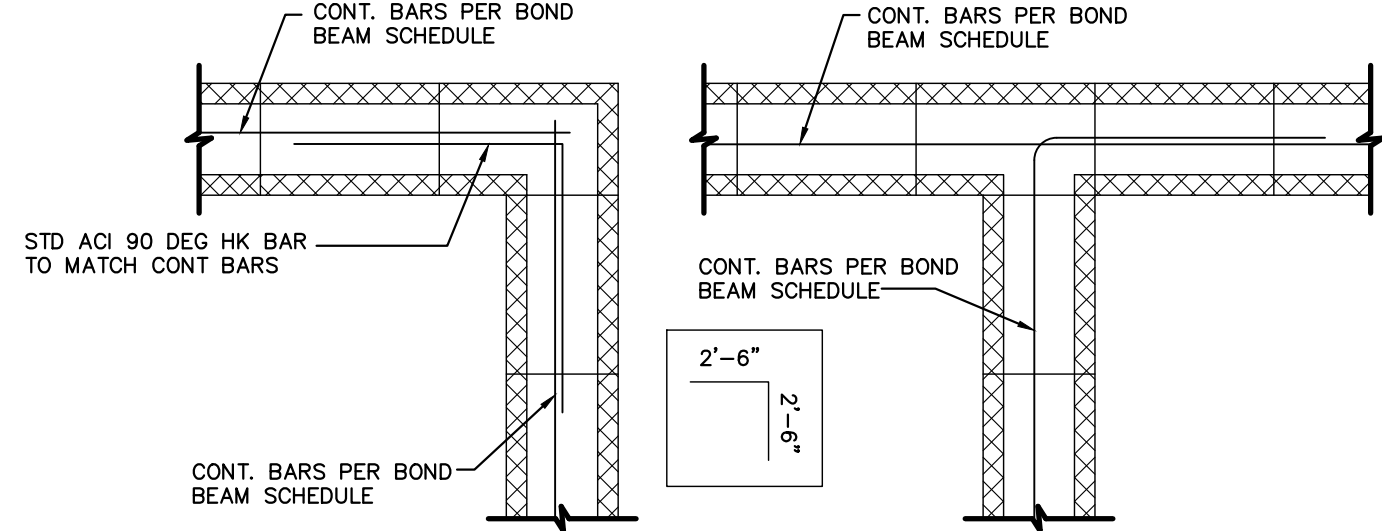
DATE: DECEMBER 07, 2020
 CHECKED BY: DS
 DRAWN BY: KSS
 SCALE: AS NOTED
 SHEET

S-1

BOND BEAM REINFORCEMENT:
LAP ALL HORIZ. BARS 30" MIN. USE ACI 90 DEG. BENDS AT ALL CORNERS. ALL PIERS, BOND BEAMS AND LINTELS SHALL BE FILLED SOLID W/ 3000psi GROUT.

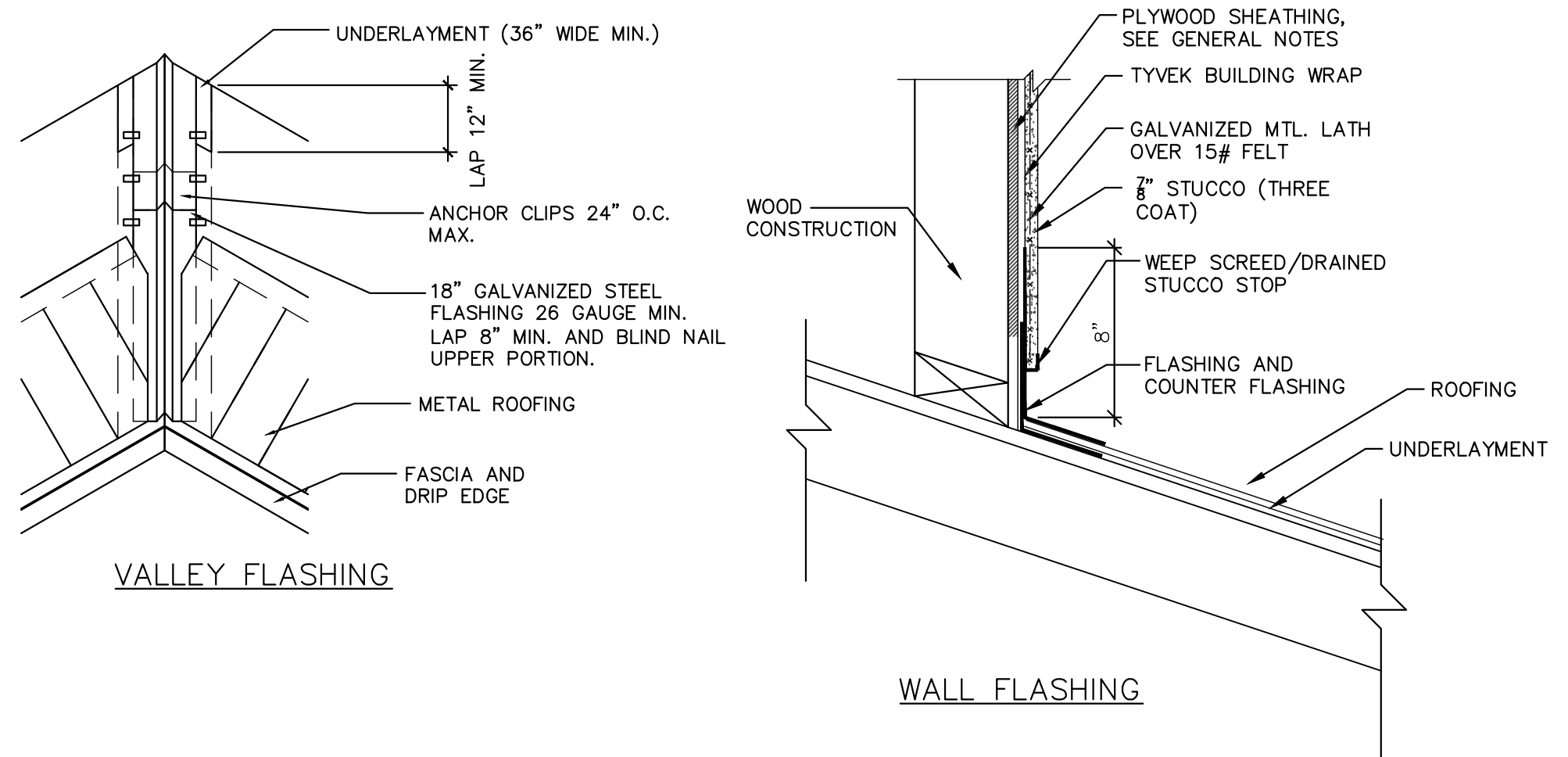


BOND BEAM DETAILS



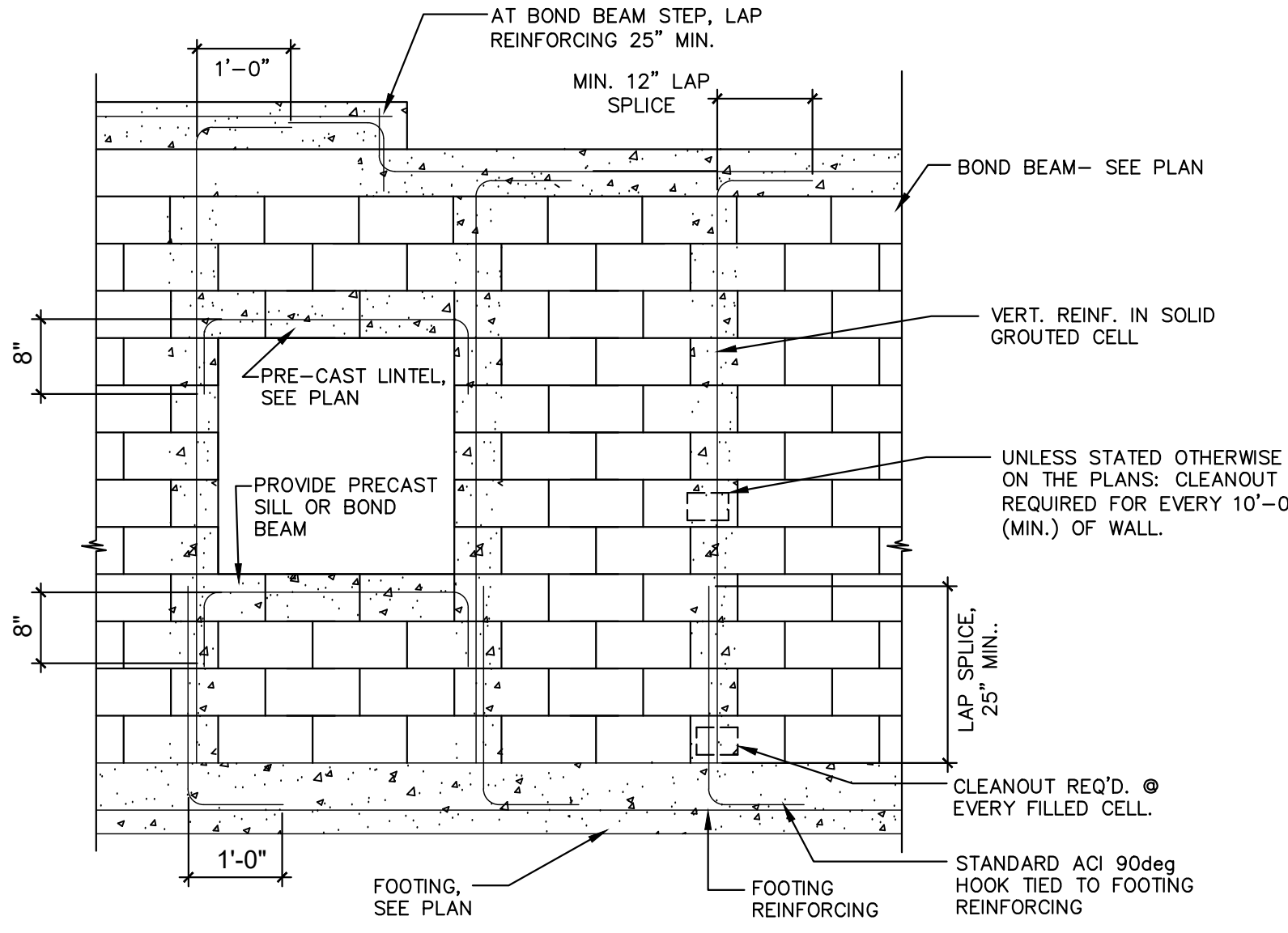
BOND BEAM CORNER DETAILS

METAL ROOFING UNDERLAYMENT PER FBC R905.5.3
UNDERLAYMENT 2:12 TO 4:12, ASTM D226, TYPE I OR II OR ASTM D4869 TYPE I, II OR IV OR ASTM D6757.
UNDERLAYMENT 4:12 AND GREATER, ASTM D226, TYPE II OR ASTM D4869 TYPE IV OR ASTM D6757.
FOR ROOF SLOPES FROM 2:12 AND LESS THAN 4:12 THE UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER. APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES AND FASTENING WITH 1 INCH ROUND CAP NAILS ATTACHED TO A NAILABLE DECK WITH ONE ROW IN THE FIELD OF THE SHEET WITH A MAX. SPACING OF 12 INCHES O.C. AND ONE ROW AT THE OVERLAPS FASTENED 6 INCHES O.C.
FOR ROOF SLOPES 4:12 AND GREATER THE UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED WITH 1 INCH ROUND CAP NAILS ATTACHED TO A NAILABLE DECK WITH TWO STAGGERED ROWS IN THE FIELD OF THE SHEET WITH A MAX. SPACING OF 12 INCHES O.C. AND ONE ROW AT THE OVERLAPS FASTENED 6 INCHES O.C.
ASTM D1970 SELF ADHERED UNDERLAYMENT MAY BE USED INSTEAD OF NAILED UNDERLAYMENT IN ALL CASES.

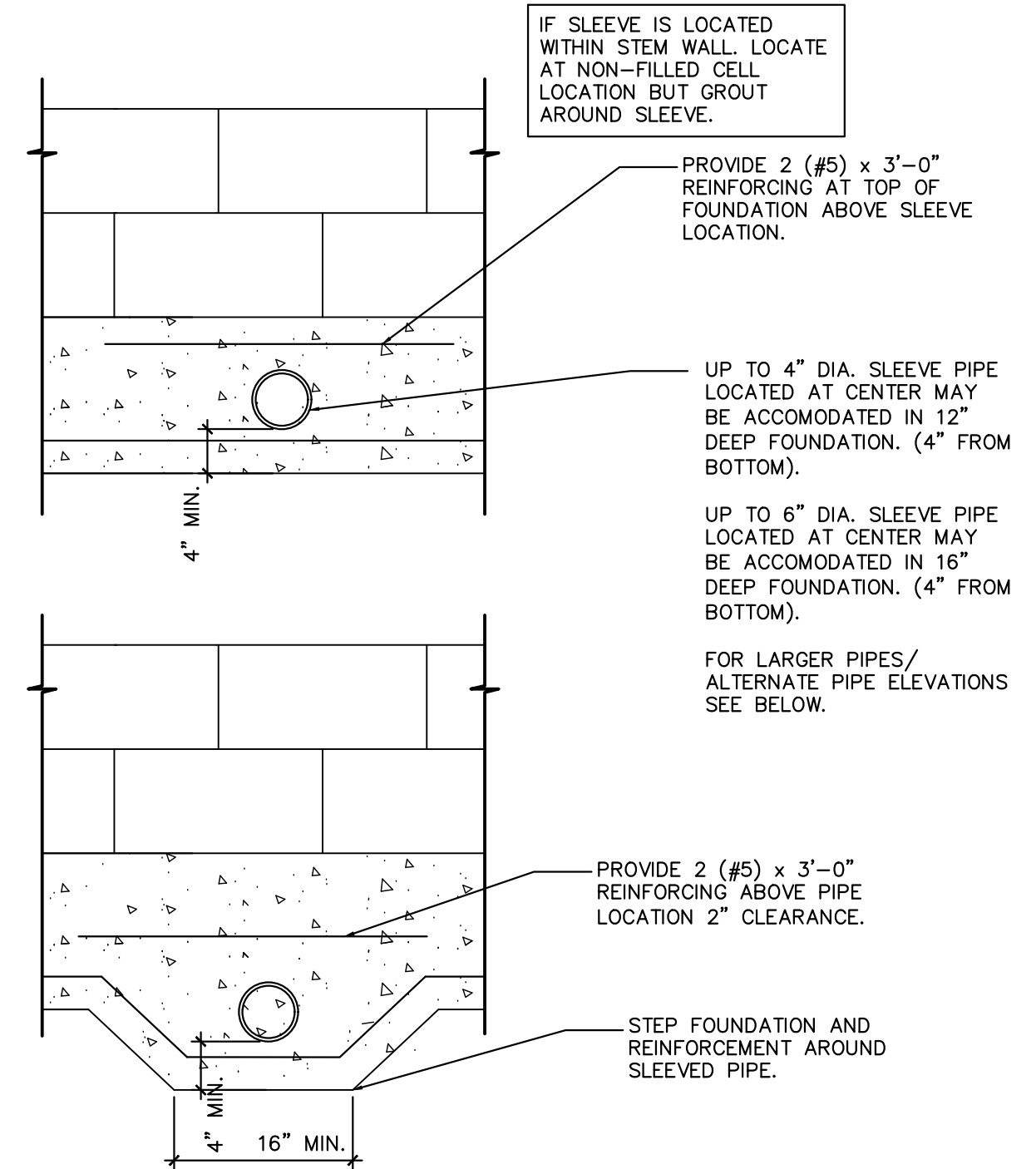


VALLEY FLASHING

WALL FLASHING

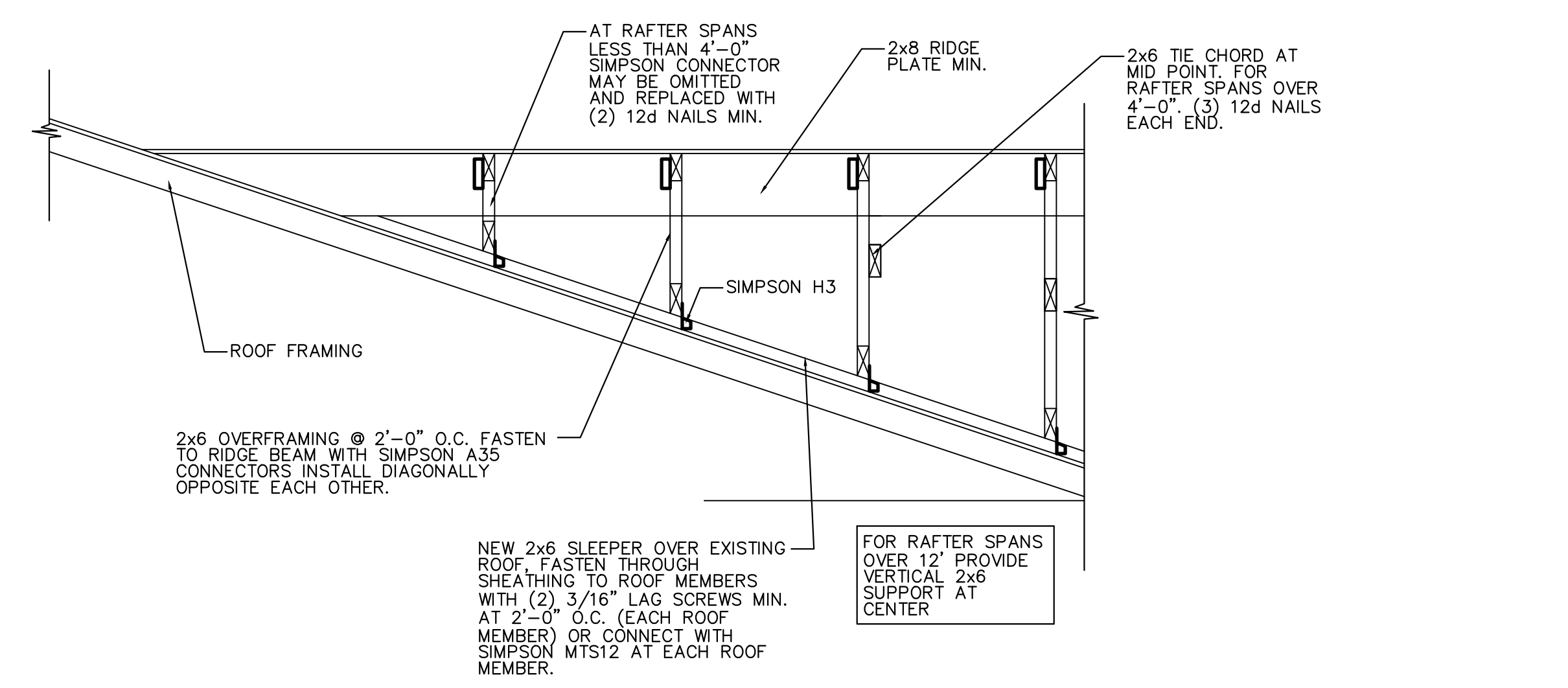


TYPICAL CMU WALL CONSTRUCTION DETAIL



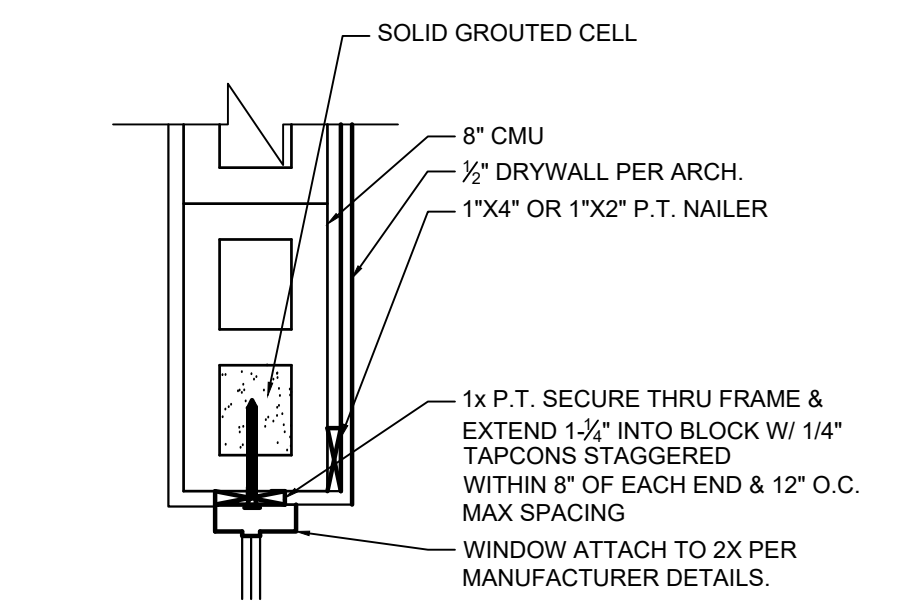
SLEEVED FOUNDATION DETAIL

3 ROOFING DETAILS
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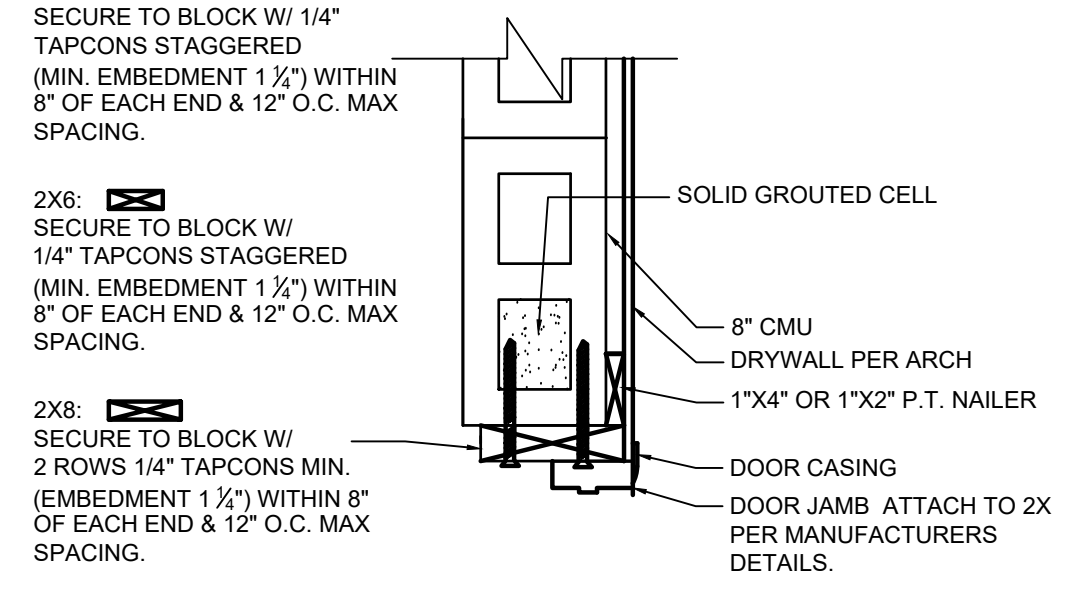


4 OVERFRAMING DETAIL
SCALE: N.T.S.

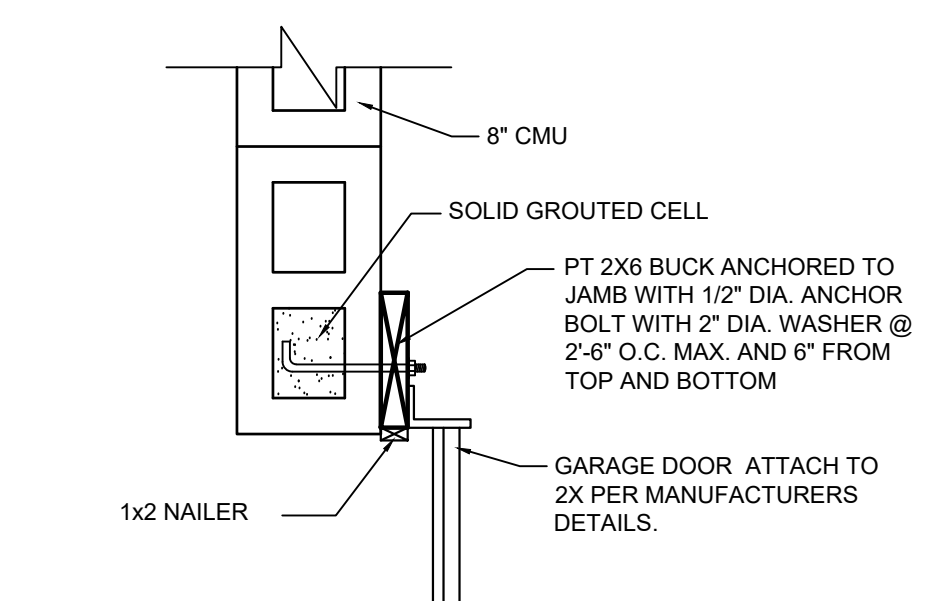
1 TYPICAL CMU WALL CONSTRUCTION
SCALE: N.T.S.



A WINDOW JAMB TO BLOCK WALL CONNECTION
N.T.S.



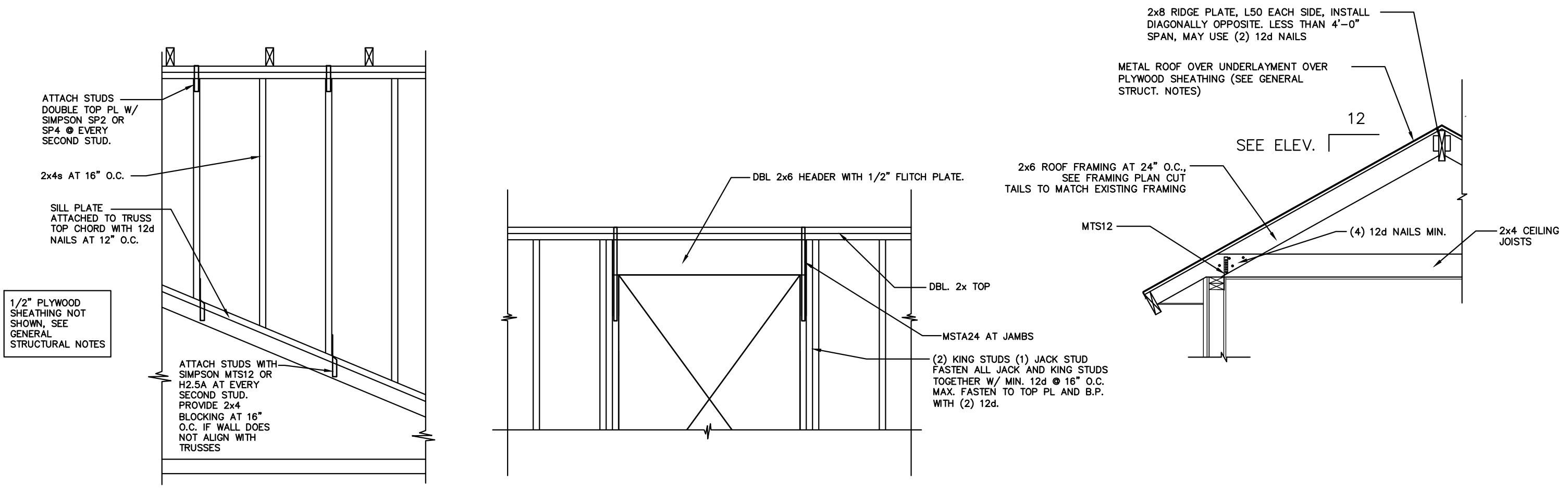
B DOOR JAMB TO BLOCK WALL CONNECTION
N.T.S.



C GARAGE DOOR JAMB TO BLOCK WALL CONNECTION
N.T.S.

2 JAMB/BUCK DETAILS
SCALE: N.T.S.

5 DORMER DETAIL
SCALE: N.T.S.



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Project Title: **CLARK RESIDENCE RENOVATION & ADDITION**
7600 DATEWILDER DR. BELLE ISLE, FL
Sheet Title: **STRUCTURAL DETAILS**

Revisions:

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CHECKED BY:	DS
DRAWN BY:	KSS
SCALE	AS NOTED
SHEET	S-2

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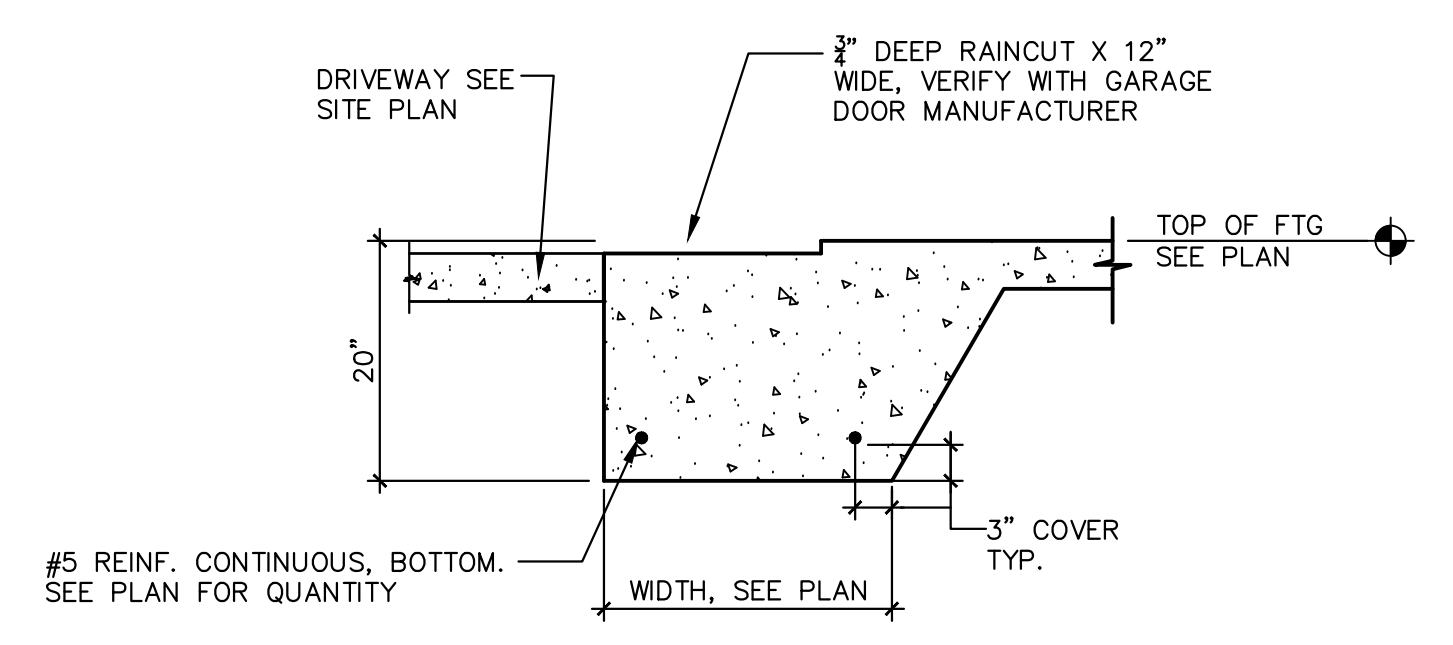
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CLARK RESIDENCE RENOVATION & ADDITION
7600 DATEWILDR. BELLE ISLE, FL

Sheet Title:
STRUCTURAL DETAILS

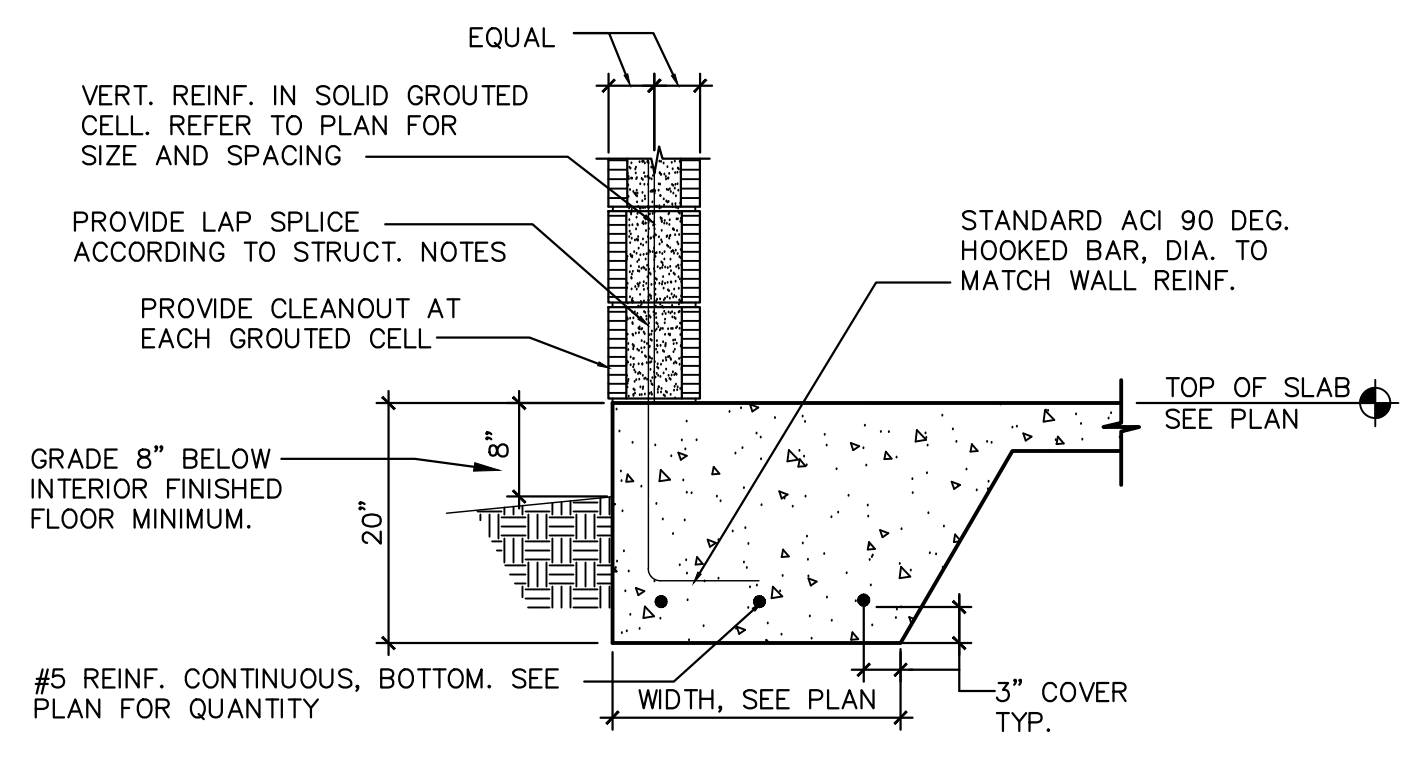
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No. Date Issued For

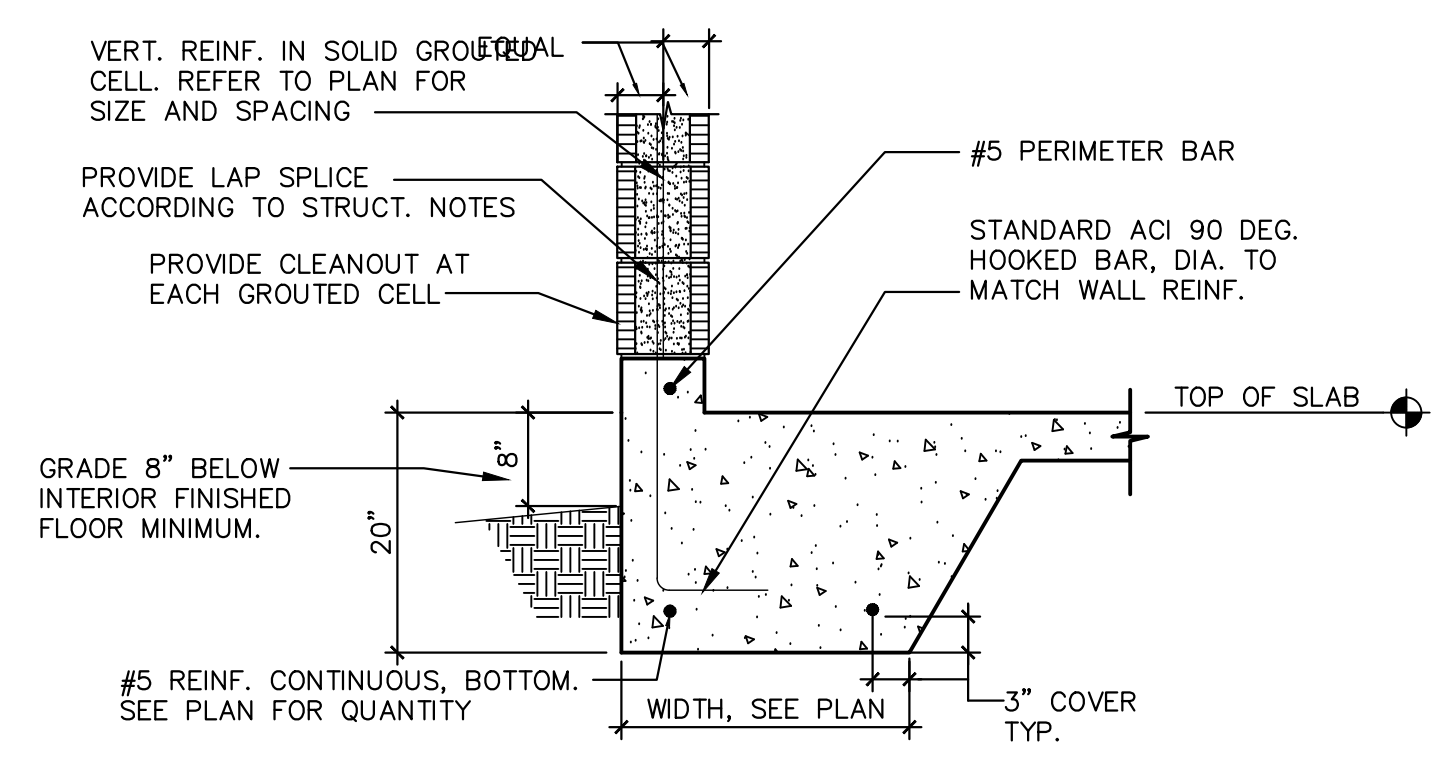
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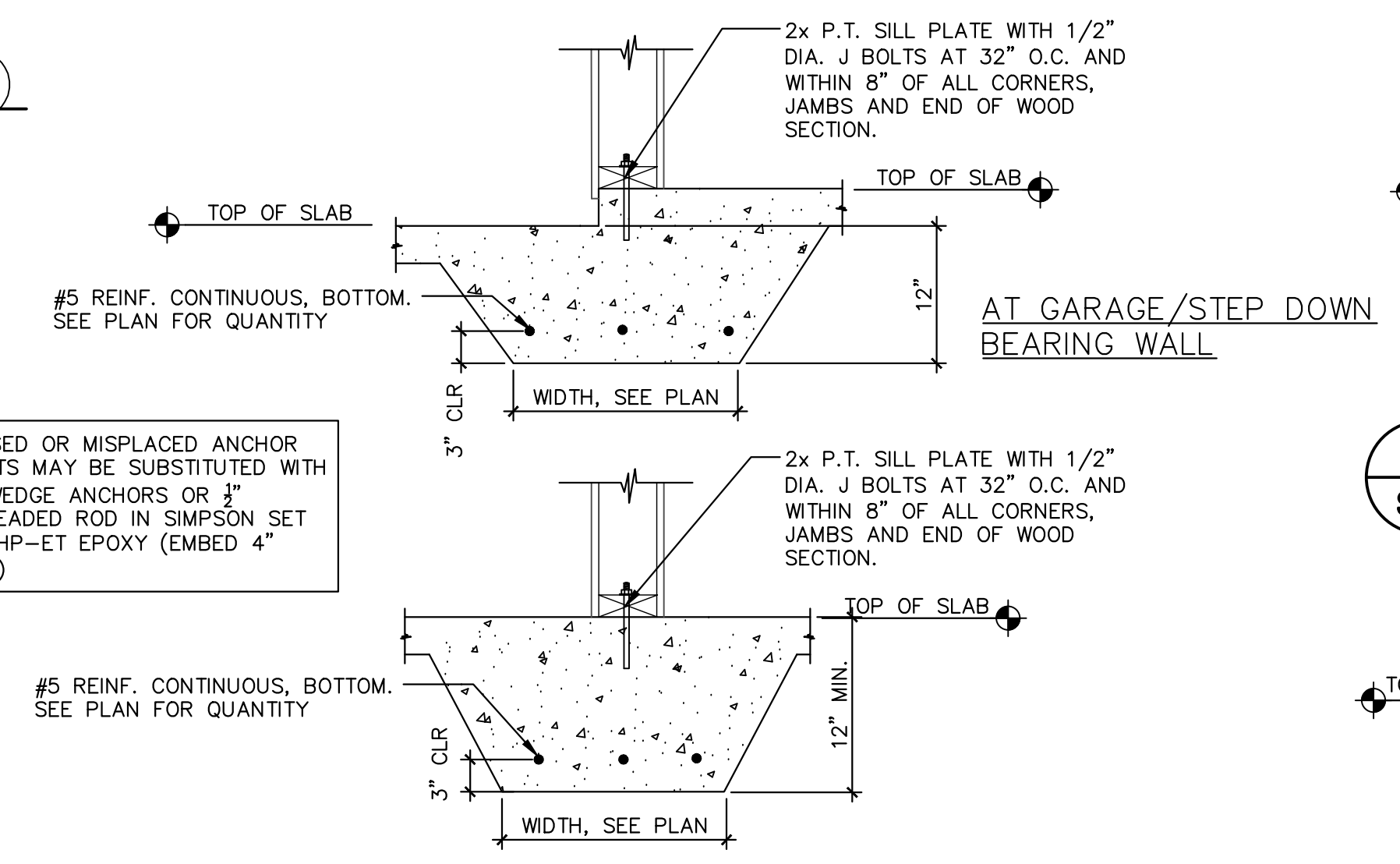
3
S-3 THICKENED EDGE FTG DET. (GARAGE DOOR)
SCALE: NTS



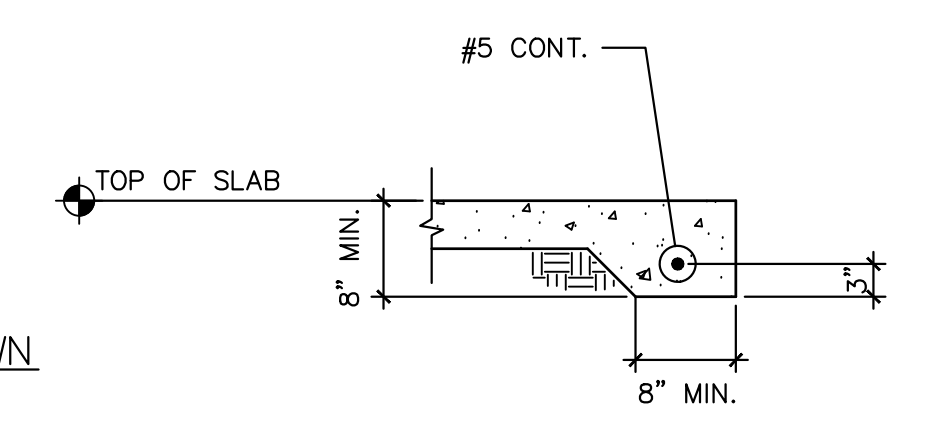
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S-3 THICKENED EDGE FTG DETAIL
SCALE: NTS



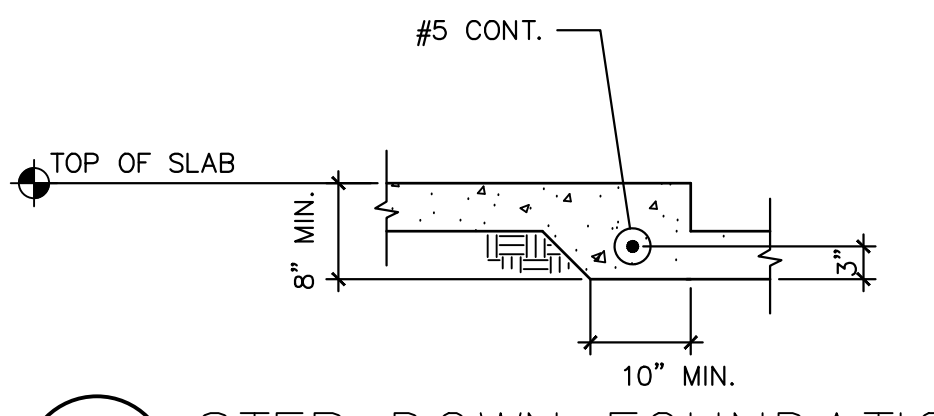
4
S-3 THICKENED EDGE FTG DETAIL (GARAGE)
SCALE: NTS



5
S-3 THICKENED SLAB FTG (INT. WALL)
SCALE: NTS



6
S-3 SLAB THICKENED EDGE
SCALE: NTS



7
S-3 STEP DOWN FOUNDATION
SCALE: NTS

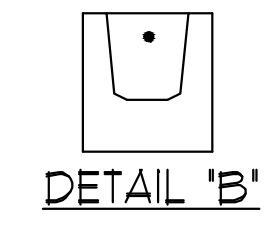


TABLE No. 2
GRAVITY & UPLIFT
SAFE LOADS (PLF)
8' x 8' LINTELS

MARK NO.	LINTEL LENGTH	CLEAR SPAN	LINTEL TYPE	GRAVITY SAFE LOAD	
				SOLID	%13X11
M-1	2'-0"	1'-6"	Precast	1629	DETAIL B
M-2	3'-6"	2'-2"	Precast	3831	
M-3	4'-0"	2'-8"	Precast	2711	
M-4	4'-6"	3'-2"	Precast	2669	
M-5	4'-8"	3'-4"	Precast	2671	
M-6	5'-4"	4'-0"	Precast	1651	
M-7	5'-10"	4'-6"	Precast	1423	
M-8	6'-4"	5'-0"	Precast	1283	
M-9	6'-6"	5'-2"	Precast	1232	
M-10	6'-8"	5'-4"	Precast	1184	
M-11	7'-0"	6'-4"	Precast	959	
M-12	7'-8"	6'-8"	Precast	907	
M-13	8'-4"	7'-0"	Precast	891	
M-14	9'-4"	8'-0"	Precast	756	
M-15	10'-6"	9'-2"	Precast	618	
M-16	11'-4"	10'-0"	Precast	561	
M-17	12'-4"	11'-2"	Precast	498	
M-18	13'-4"	12'-0"	Precast	458	
M-19	14'-0"	12'-8"	Precast	430	

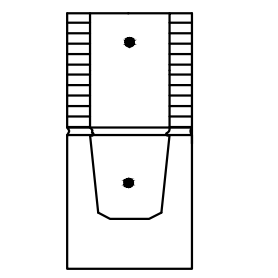


TABLE No. 4
GRAVITY & UPLIFT
SAFE LOADS (PLF)
8' x 16' COMPOSITE LINTELS

MARK NO.	LINTEL LENGTH	CLEAR SPAN	LINTEL TYPE	GRAVITY SAFE LOAD	
				SOLID	%13X11
M-1	2'-0"	1'-6"	Precast	10000	DETAIL J
M-2	3'-6"	2'-2"	Precast	10000	
M-3	4'-0"	2'-8"	Precast	10000	
M-4	4'-6"	3'-2"	Precast	962	
M-5	4'-8"	3'-4"	Precast	844	
M-6	5'-4"	4'-0"	Precast	6437	
M-7	5'-10"	4'-6"	Precast	509	
M-8	6'-4"	5'-0"	Precast	479	
M-9	6'-6"	5'-2"	Precast	3934	
M-10	6'-8"	5'-4"	Precast	379	
M-11	7'-0"	6'-4"	Precast	291	
M-12	7'-8"	6'-8"	Precast	276	
M-13	8'-4"	7'-0"	Precast	261	
M-14	9'-4"	8'-0"	Precast	226	
M-15	10'-6"	9'-2"	Precast	187	
M-16	11'-4"	10'-0"	Precast	160	
M-17	12'-4"	11'-2"	Precast	135	
M-18	13'-4"	12'-0"	Precast	121	
M-19	14'-0"	12'-8"	Precast	114	
M-20	14'-8"	13'-4"	Precast	106	
M-21	15'-4"	14'-0"	Precast	100	
M-22	16'-4"	15'-0"	Precast	92	
M-23	17'-4"	16'-0"	Precast	82	
M-24	18'-4"	17'-0"	Precast	74	
M-25	19'-4"	18'-0"	Precast	67	
M-26	20'-0"	18'-8"	Precast	62	
M-27	21'-4"	20'-0"	Precast	56	
M-28	22'-0"	20'-8"	Precast	51	
M-29	24'-0"	22'-8"	Precast	40	

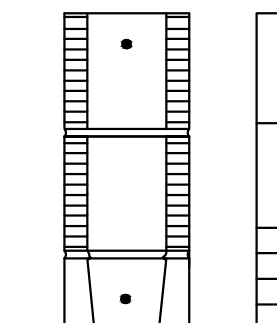


TABLE No. 6
GRAVITY & UPLIFT
SAFE LOADS (PLF)
8' x 24' COMPOSITE LINTELS

MARK NO.	LINTEL LENGTH	CLEAR SPAN	LINTEL TYPE	GRAVITY SAFE LOAD	
				SOLID	%13X11
M-1	2'-0"	1'-6"	Precast	10000	DETAIL Q
M-2	3'-6"	2'-2"	Precast	10000	
M-3	4'-0"	2'-8"	Precast	10000	
M-4	4'-6"	3'-2"	Precast	10000	
M-5	4'-8"	3'-4"	Precast	10000	
M-6	5'-4"	4'-0"	Precast	10000	
M-7	5'-10"	4'-6"	Precast	10000	
M-8	6'-4"	5'-0"	Precast	10000	
M-9	6'-6"	5'-2"	Precast	10000	
M-10	6'-8"	5'-4"	Precast	948	
M-11	7'-0"	6'-4"	Precast	646	
M-12	7'-8"	6'-8"	Precast	624	
M-13	8'-4"	7'-0"	Precast	536	
M-14	9'-4"	8'-0"	Precast	487	
M-15	9'-4"	8'-0"	Precast	376	
M-16	10'-6"	9'-2"	Precast	291	
M-17	11'-4"	10'-0"	Precast	253	
M-18	12'-0"	10'-8"	Precast	230	
M-19	12'-6"	11'-2"	Precast	214	
M-20	13'-4"	12'-0"	Precast	196	
M-21	14'-0"	12'-8"	Precast	178	
M-22	14'-8"	13'-4"	Precast	171	
M-23	15'-4"	14'-0"	Precast	160	
M-24	17'-4"	16'-0"	Precast	137	
M-25	18'-4"	18'-0"	Precast	111	
M-26	20'-0"	18'-8"	Precast	102	
M-27	21'-4"	20'-0"	Precast	104	
M-28	22'-0"	20'-8"	Precast	95	
M-29	24'-0"	22'-8"	Precast	67	

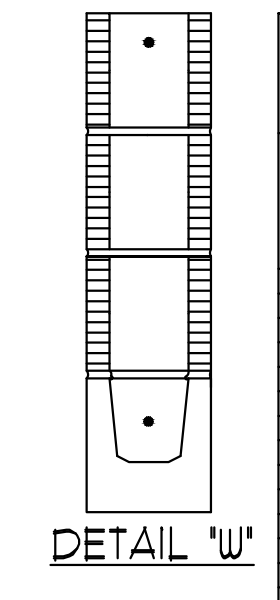


TABLE No. 8
GRAVITY & UPLIFT
SAFE LOADS (PLF)
8' x 32' COMPOSITE LINTELS

MARK NO.	LINTEL LENGTH	CLEAR SPAN	LINTEL TYPE	GRAVITY SAFE LOAD	
				SOLID	%13X11
M-1	2'-0"	1'-6"	Precast	10000	DETAIL U
M-2	3'-6"	2'-2"	Precast	10000	
M-3	4'-0"	2'-8"	Precast	10000	
M-4	4'-6"	3'-2"	Precast	10000	
M-5	4'-8"	3'-4"	Precast	10000	
M-6	5'-4"	4'-0"	Precast	10000	
M-7	5'-10"	4'-6"	Precast	10000	
M-8	6'-4"	5'-0"	Precast	10000	
M-9	6'-6"	5'-2"	Precast	10000	
M-10	6'-8"	5'-4"	Precast	10000	
M-11	7'-0"	6'-4"	Precast	10000	
M-12	7'-8"	6'-8"	Precast	10000	
M-13	8'-4"	7'-0"	Precast	8756	
M-14	9'-4"	8'-0"	Precast	7891	
M-15	9'-4"	8'-0"	Precast	6199	
M-16	10'-6"	9'-2"	Precast	4799	
M-17	11'-4"	10'-0"	Precast	4221	
M-18	12'-0"	10'-8"	Precast	3679	
M-19	12'-6"	11'-2"	Precast	3369	
M-20	13'-4"	12'-0"	Precast	2961	
M-21	14'-0"	12'-8"	Precast	2699	
M-22	14'-8"	13'-4"	Precast	2662	
M-23	15'-4"	14'-0"	Precast	2499	
M-24	17'-4"	16'-0"	Precast	1991	
M-25	18'-4"	18'-0"	Precast	1676	
M-26	20'-0"	18'-8"	Precast	1509	
M-27	21'-4"	20'-0"	Precast	1441	
M-28	22'-0"	20'-8"	Precast	1376	
M-29	24'-0"	22'-8"	Precast	1000	

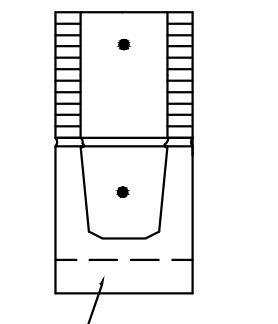
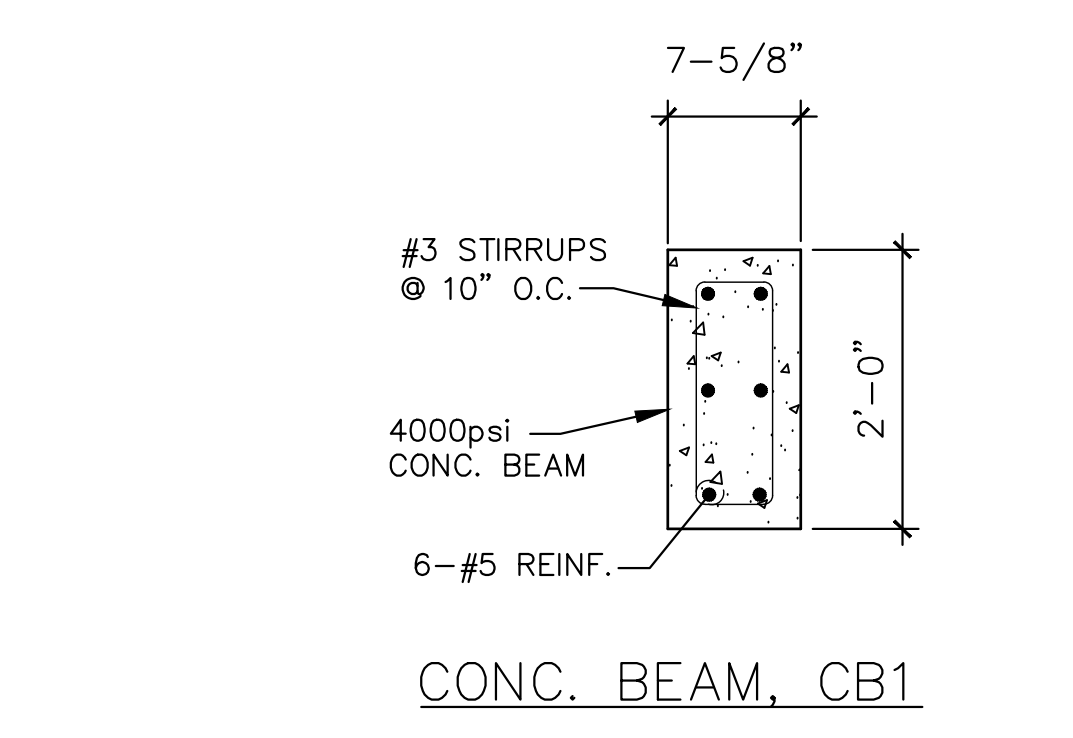
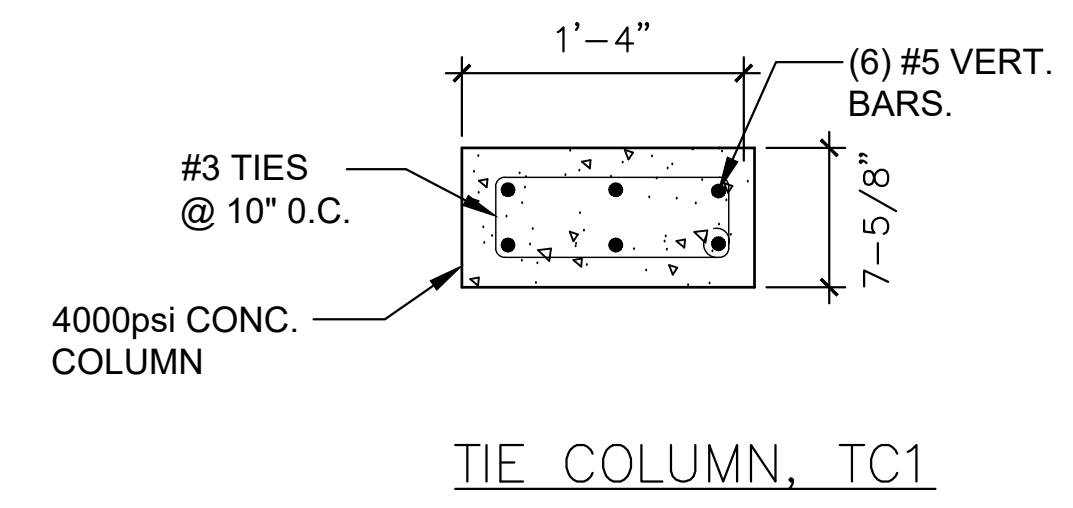


TABLE No. 13
GRAVITY & UPLIFT SAFE LOADS (PLF)
8' x 16' RECESS DOOR HEADER

MARK NO.	TOTAL LENGTH	CLEAR SPAN	DOOR SIZE	LINTEL TYPE	GRAVITY SAFE LOAD	
					SOLID	%13X11
D-1	3'-0"	2'-4"	2'-0"	Precast	10000	DETAIL DE
D-2	4'-0"	2'-8"	2'-4"	Precast	10000	
D-3	4'-2"	2'-10"	2'-6"	Precast	9266	
D-4	4'-4"	3'-0"	2'-8"	Precast	8693	
D-5	4'-8"	3'-4"	3'-0"	Precast	6731	
D-6	5'-0"	4'-4"	4'-0"	Precast	3860	
D-7	6'-0"	5'-4"	5'-0"	Precast	2736	
D-8	7'-0"	6'-4"	6'-0"	Precast	2099	
D-9	8'-0"	8'-4"	8'-0"	Precast	1436	

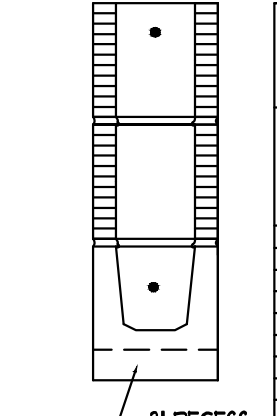


TABLE No. 15
GRAVITY & UPLIFT SAFE LOADS (PLF)
8' x 24' RECESS DOOR HEADER

MARK NO.	TOTAL LENGTH	CLEAR SPAN	DOOR SIZE	LINTEL TYPE	GRAVITY SAFE LOAD	
					SOLID	%13X11
D-1	3'-0"	2'-4"	2'-0"	Precast	10000	DETAIL DR
D-2	4'-0"	2'-8"	2'-4"	Precast	10000	
D-3	4'-2"	2'-10"	2'-6"	Precast	10000	
D-4	4'-4"	3'-0"	2'-8"	Precast	10000	
D-5	4'-8"	3'-4"	3'-0"	Precast	10000	
D-6	5'-0"	4'-4"	4'-0"	Precast	10000	
D-7	6'-0"	5'-4"	5'-0"	Precast	993	
D-8	7'-0"	6'-4"	6'-0"	Precast	846	
D-9	8'-0"	8'-4"	8'-0"	Precast	580	

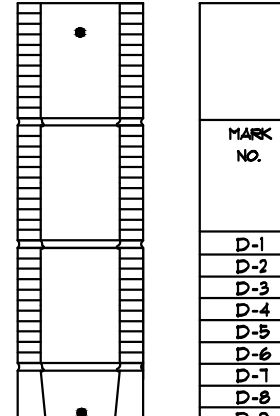


TABLE No. 17
GRAVITY & UPLIFT SAFE LOADS (PLF)
8' x 32' RECESS DOOR HEADER

MARK NO.	TOTAL LENGTH	CLEAR SPAN	DOOR SIZE	LINTEL TYPE	GRAVITY SAFE LOAD	
					SOLID	%13X11
D-1	3'-0"	2'-4"	2'-0"	Precast	10000	DETAIL DX
D-2	4'-0"	2'-8"	2'-4"	Precast	10000	
D-3	4'-2"	2'-10"	2'-6"	Precast	10000	
D-4	4'-4"	3'-0"	2'-8"	Precast	10000	
D-5	4'-8"	3'-4"	3'-0"	Precast	10000	
D-6	5'-0"	4'-4"	4'-0"	Precast	10000	
D-7	6'-0"	5'-4"	5'-0"	Precast	10000	
D-8	7'-0"	6'-4"	6'-0"	Precast	10000	
D-9	8'-0"	8'-4"	8'-0"	Precast	10000	

1
S-3 LINTEL DETAILS
SCALE: N.T.S.

Seal/Signature

Consultants
alba
 ENGINEERING
 CA 400506
 DANIEL BOUTER, P.E.
 PE# 63601
 P.O. BOX 547774
 ORLANDO, FL 32854
 PHONE (407) 421-8888

Project Title:
CLARK RESIDENCE RENOVATION & ADDITION
 7600 DATEWALKER DR. BELLE ISLE, FL

Sheet Title:
 LINTEL PLAN

Revisions:

No.	Date	Issued For

DATE
 DECEMBER 07, 2020

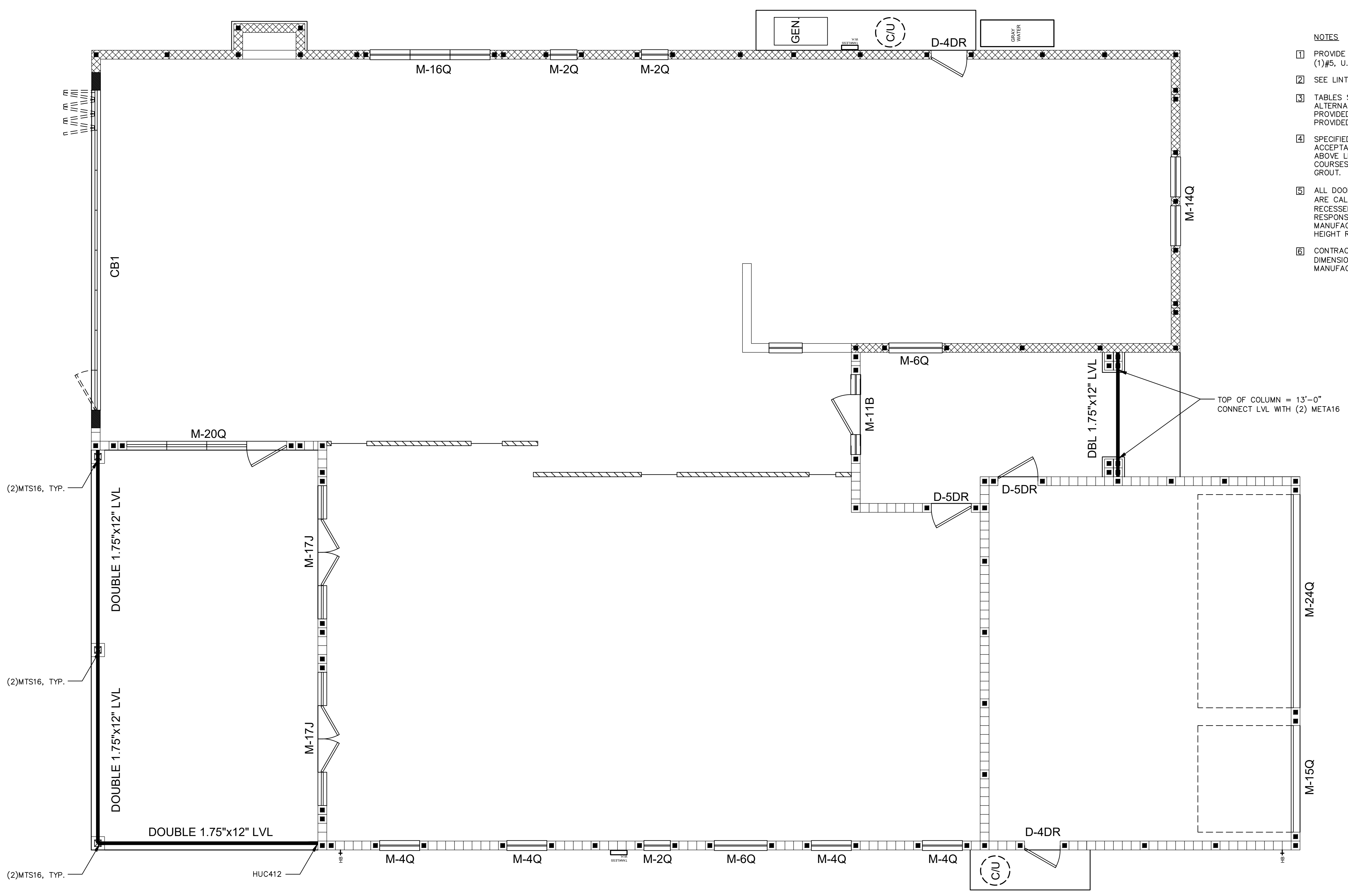
CHECKED BY:
 DS

DRAWN BY:
 KSS

SCALE
 AS NOTED

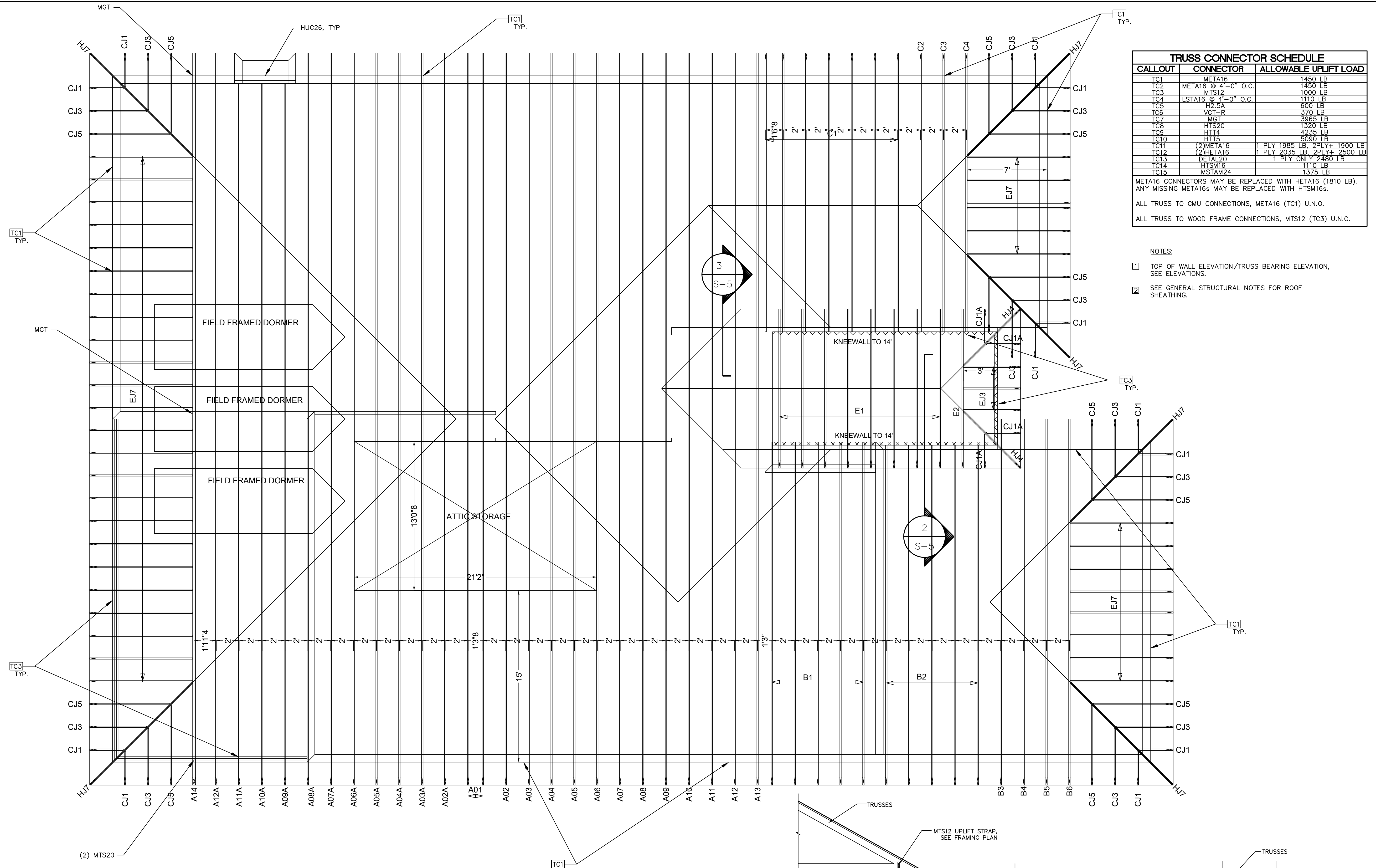
SHEET

S-4



- NOTES
- 1 PROVIDE BOND BEAM AT TOP OF ALL WALLS WITH (1)#5, U.N.O., SEE TYPICAL CMU WALL DETAILS
 - 2 SEE LINTEL TABLES ON SHEET S-3
 - 3 TABLES SHOWN ARE "QUALITY PRECAST", ALTERNATIVE LINTEL MANUFACTURER MAY BE USED PROVIDED LOAD TABLES MEET OR EXCEED VALUES PROVIDED ON THESE PLANS.
 - 4 SPECIFIED LINTEL DEPTH IS THE MINIMUM ACCEPTABLE. ANY EXTRA COURSES OF BLOCK ABOVE LINTEL ARE ACCEPTABLE AS LONG AS ALL COURSES ABOVE PRECAST LINTEL ARE FILLED WITH GROUT.
 - 5 ALL DOORWAY LINTELS (NOT SLIDING GLASS DOORS) ARE CALLED OUT ON LINTEL PLAN WITH 2" RECESSED LINTELS (DE, DR AND DX). CONTRACTOR RESPONSIBILITY TO VERIFY WITH DOOR MANUFACTURER FOR ACTUAL DOORWAY HEAD HEIGHT REQUIREMENTS PRIOR TO BEGINNING WORK.
 - 6 CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSION REQUIREMENTS WITH DOOR/WINDOW MANUFACTURER PRIOR TO BEGINNING WORK.

1 LINTEL PLAN
 S-4 SCALE: 1/4" = 1'-0"



TRUSS CONNECTOR SCHEDULE		
CALLOUT	CONNECTOR	ALLOWABLE UPLIFT LOAD
TC1	META16	1450 LB
TC2	META16 @ 4'-0" O.C.	1450 LB
TC3	MTS12	1000 LB
TC4	LSTA16 @ 4'-0" O.C.	1110 LB
TC5	H2_5A	600 LB
TC6	VC1-R	370 LB
TC7	MGT	3965 LB
TC8	HTS20	1320 LB
TC9	HT4	4235 LB
TC10	HT15	5090 LB
TC11	(2)META16	1 PLY 1985 LB, 2PLY+ 1900 LB
TC12	(2)META16	1 PLY 2035 LB, 2PLY+ 2500 LB
TC13	DETAL20	1 PLY ONLY 2480 LB
TC14	HISM16	1110 LB
TC15	MSTAM24	1375 LB

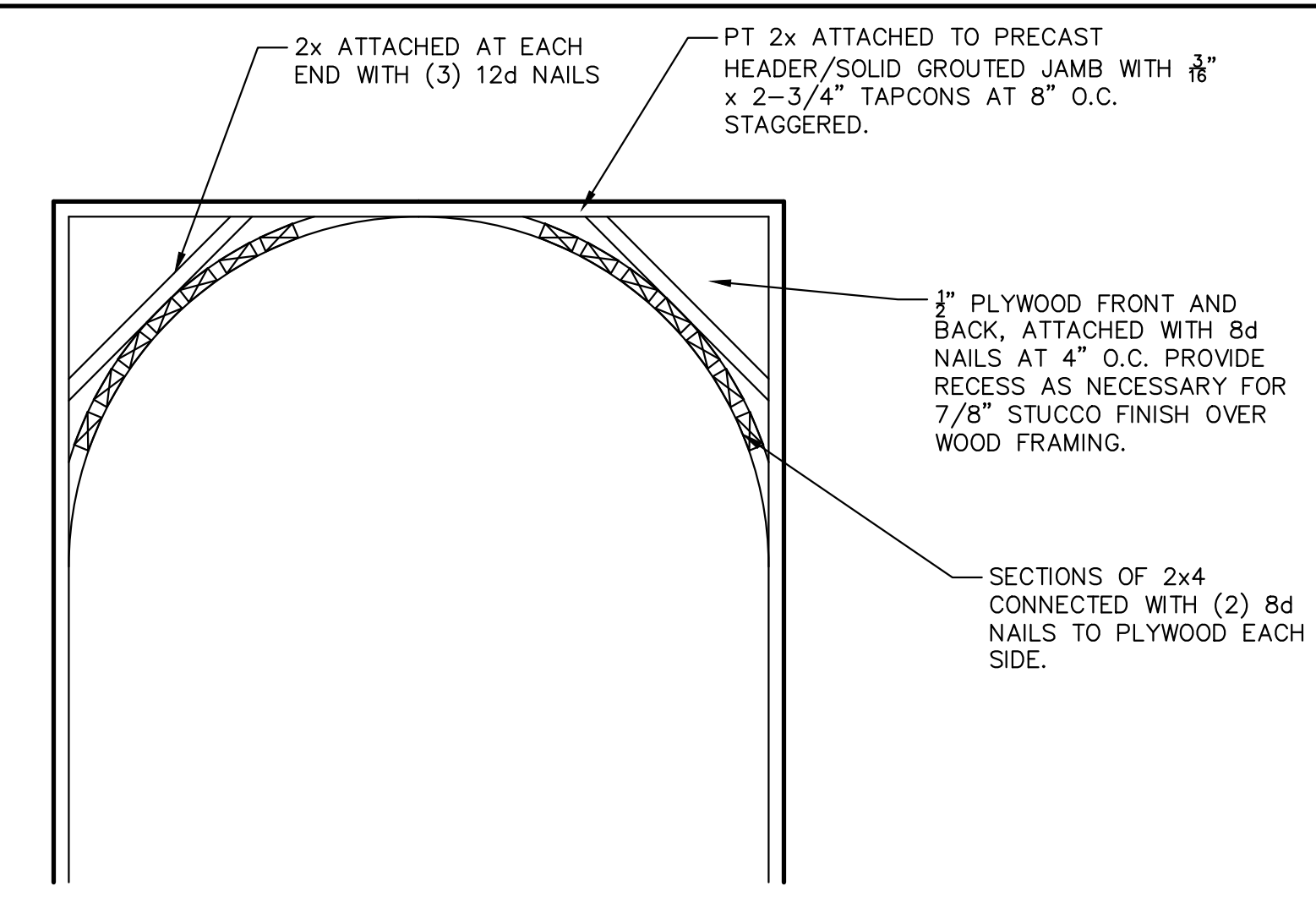
META16 CONNECTORS MAY BE REPLACED WITH HETA16 (1810 LB). ANY MISSING META16s MAY BE REPLACED WITH HISM16s.
ALL TRUSS TO CMU CONNECTIONS, META16 (TC1) U.N.O.
ALL TRUSS TO WOOD FRAME CONNECTIONS, MTS12 (TC3) U.N.O.

- NOTES:
- TOP OF WALL ELEVATION/TRUSS BEARING ELEVATION, SEE ELEVATIONS.
 - SEE GENERAL STRUCTURAL NOTES FOR ROOF SHEATHING.

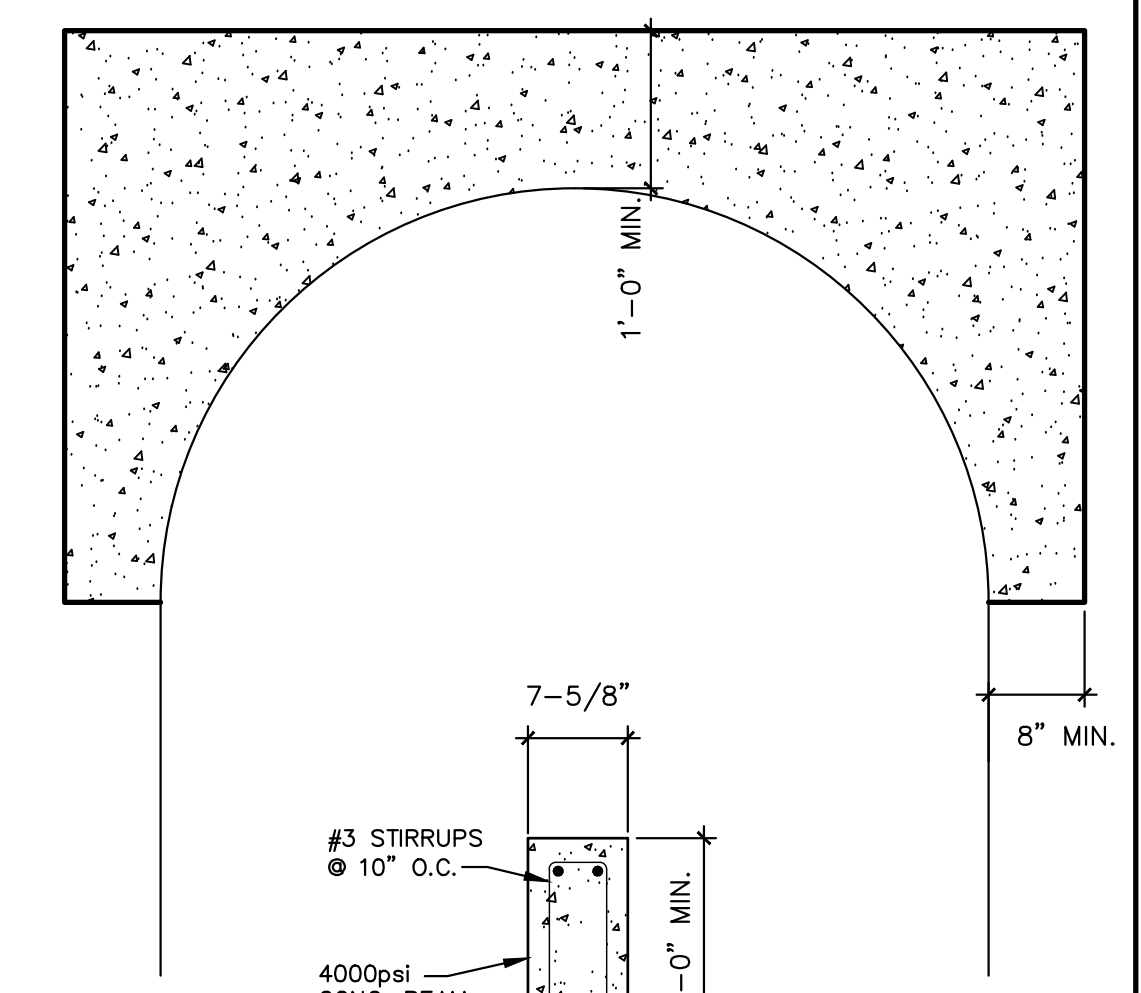
1 TRUSS FRAMING PLAN
SCALE: 1/4" = 1'-0"

2 KNEE WALL DETAIL
SCALE: N.T.S.

3 KNEE WALL DETAIL
SCALE: N.T.S.

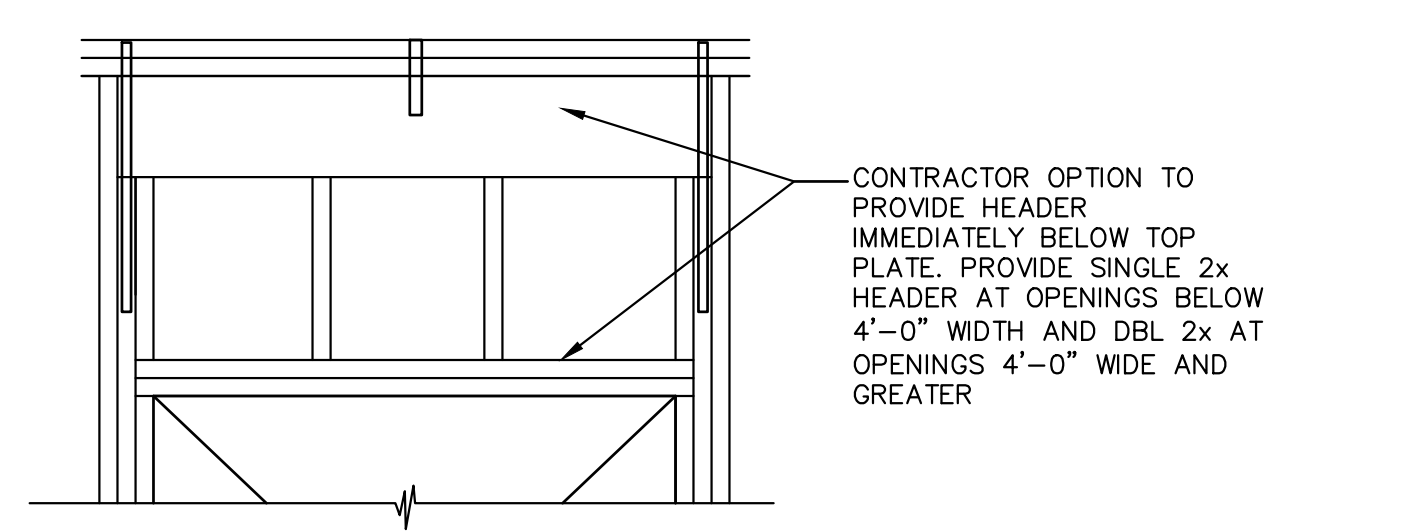


WOOD ARCH OPTION



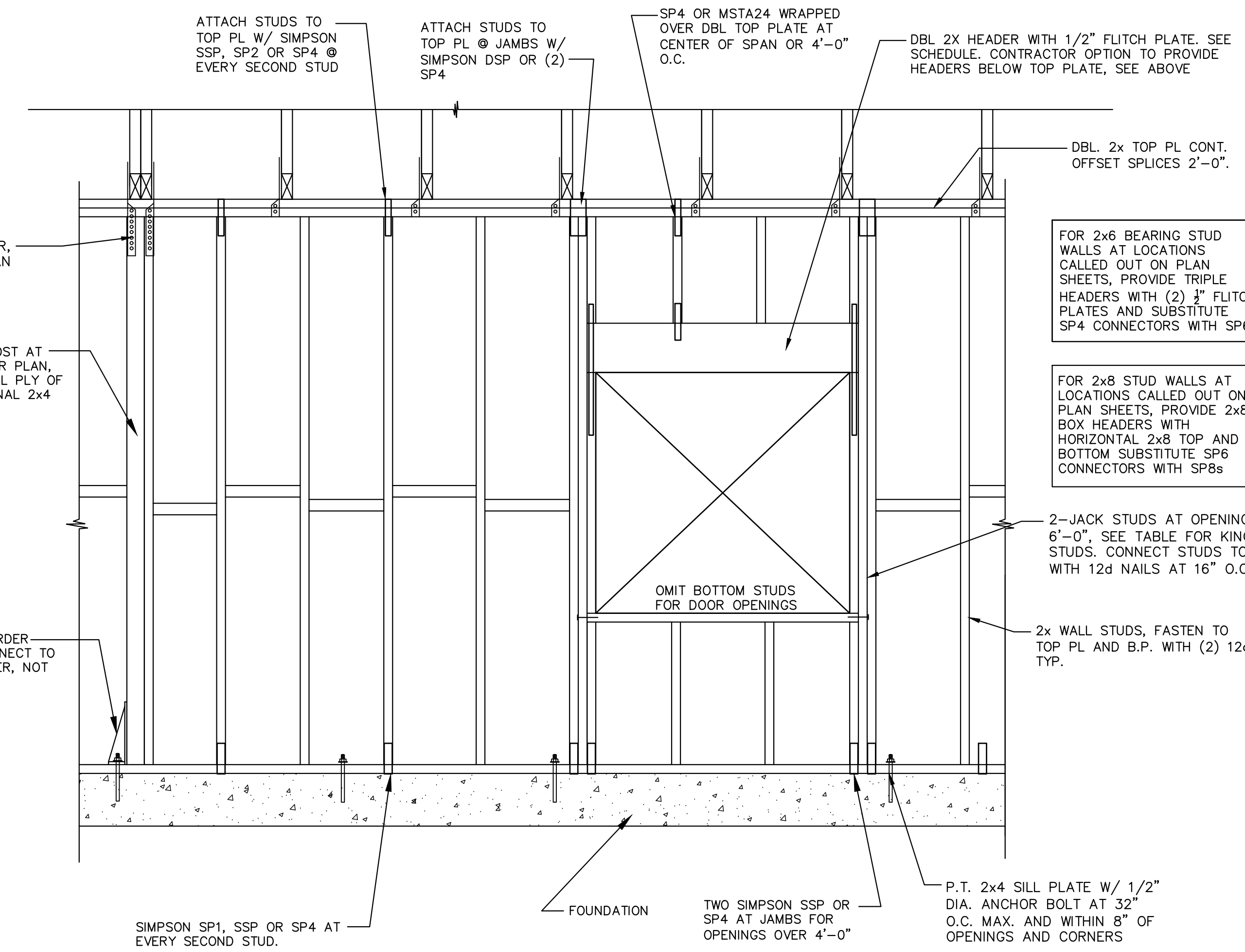
CONCRETE ARCH OPTION

3 ARCHED OPENING DETAIL
S-6 SCALE: N.T.S.

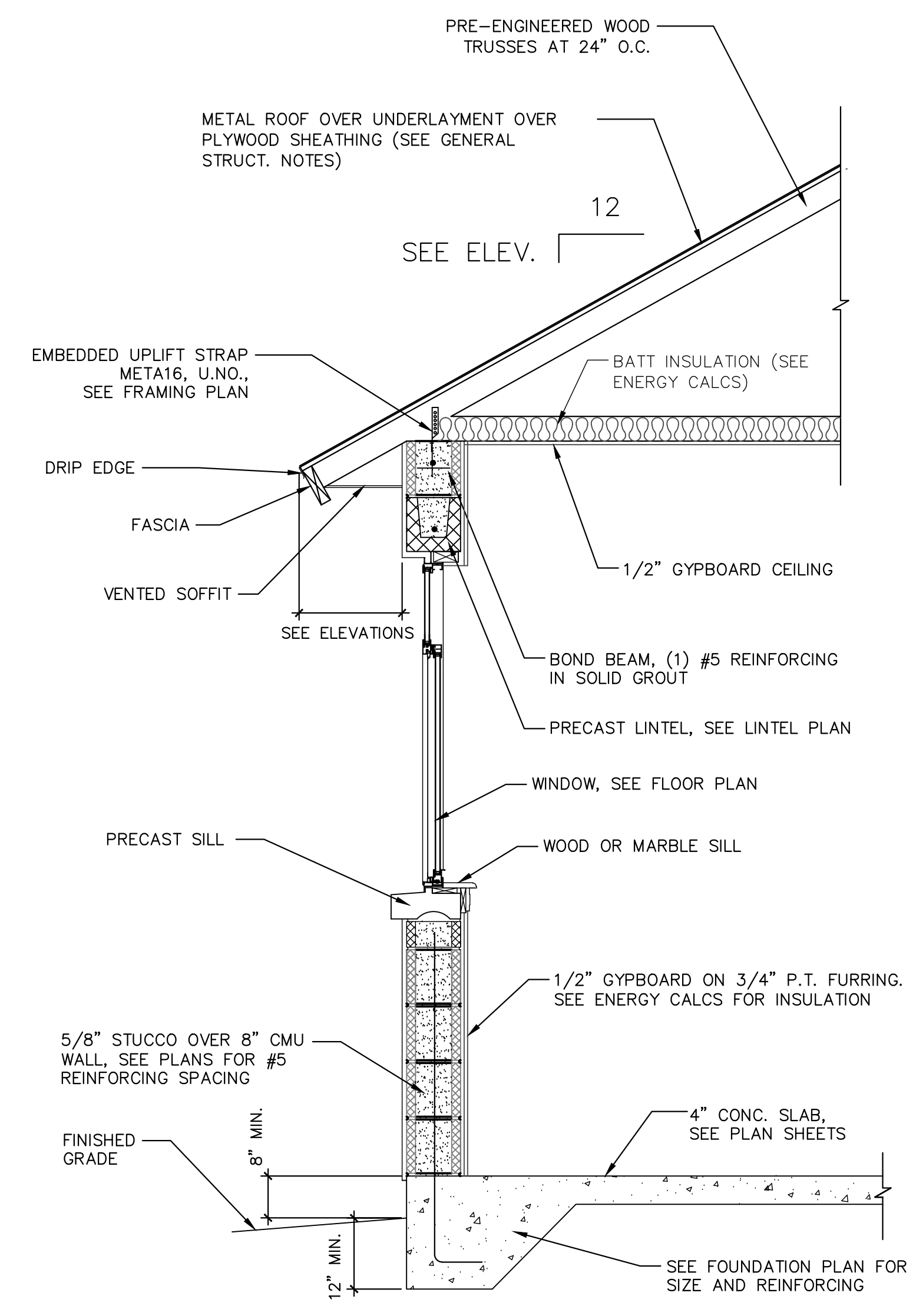


WOOD HEADER SCHEDULE			
OPENING WIDTH	MIN. ROD HEADERS	UPLIFT CONNECTIONS AT HEADER TO JACK STUD	# KING STUDS
OPNG < 5'-0"	(2) 2X6	LSTA12	1
5'-1" < OPNG < 7'-0"	(2) 2X8	(2) LSTA12	2
7'-1" < OPNG < 9'-0"	(2) 2X10	(2) LSTA24	2
9'-1" < OPNG < 12'-0"	(2) 2X12	(2) MSTA24	2
OPNG > 12'-0"	SPECIAL CONDITION - SEE FRAMING PLAN SHEETS		

DOUBLE 2x12s MAY BE USED FOR ALL OPENINGS UP TO 12'-0"



2 INTERIOR BEARING WALL DETAILS
S-6 SCALE: N.T.S.

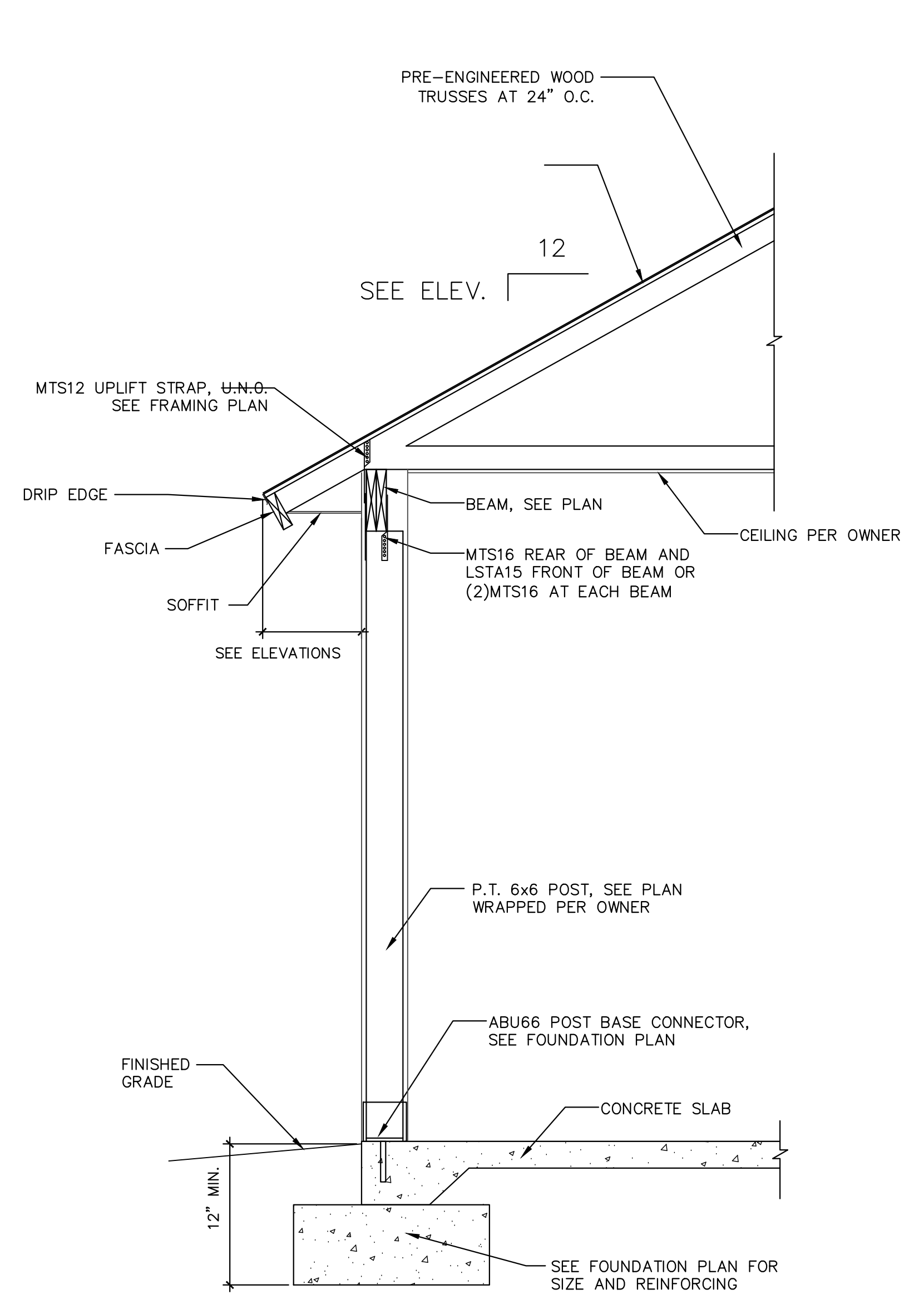


1 EXTERIOR WALL SECTION
S-6 SCALE: N.T.S.

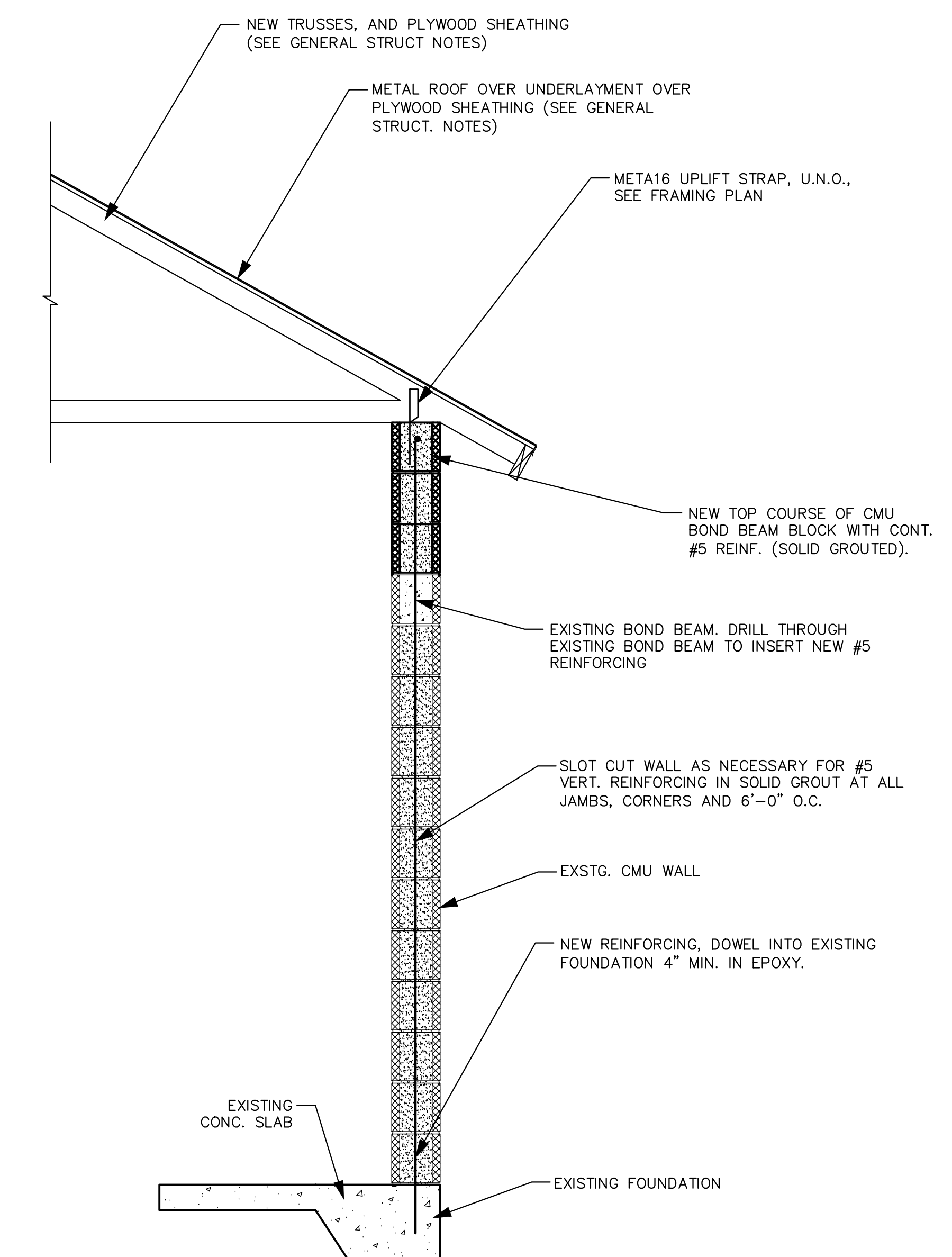
Revisions:

No.	Date	Issued For

DATE	DECEMBER 07, 2020
CHECKED BY:	DS
DRAWN BY:	KSS
SCALE	AS NOTED
SHEET	S-7



1 EXTERIOR PORCH WALL SECTION
 SCALE: N.T.S.



2 EXTERIOR WALL SECTION - NEW CMU ADDITION
 SCALE: N.T.S.

April 16, 2021

Variance Application: 6810 Seminole Drive

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 50-102 (B) (5), SEC. 50-102 (B) (16) AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PLACE DECORATIVE COLUMNS WITH A GATE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY, SUBMITTED BY THE PROPERTY OWNER, AT 6810 SEMINOLE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL # 29-23-30-4389-02-021.

Existing Zoning/Use: R-2/ single-family home

This variance application seeks a variance from Sec. 50-102 (b) (5) (a) to allow decorative columns and an optional gate in the front yard of the property.

Security and safety have been an issue on the subject property. There has been trespassing and other criminal activity on the property. The applicant has provided information supporting the variance request with additional information about the security and safety issues encountered. Please see this information enclosed with this agenda item packet.

The board in granting an application for the variance may consider as justifying criteria, the following from Sec. 50-102 (b) (16):

1. A difference in grade between the property upon which the fence will be installed and the immediately adjacent property;
2. The height or construction materials of already existing abutting walls or fences; and/or
3. Conditions existing upon or occupational use of adjacent property creating an exceptional privacy or security need of applicant.

The requirements of Sec. 42-64 (1) except for subsections 42-64 (1) (d) and (1) (f) shall otherwise be met.

Staff Recommendation

Based on the applicant's identification that security and safety are concerns, staff recommends approval of the requested variance. This is consistent with meeting the criteria established in Sec. 50-102 (b) (16) (3) which the Board may consider as justifying criteria according to the code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 4(b)
MEMORANDUM

TO: Planning and Zoning Board

DATE: April 27, 2021

Public Hearing Case #2021-04-002- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, at 6810 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-021.

Background:

1. On April 1, 2021, the applicant, Leslie Kinsella, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, April 17, 2021, in Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on April 15, 2021.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle Code **50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64** of the Belle Isle Land Development Code having been met **TO APPROVE** a variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, at 6810 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-021.

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code **50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64**, the justifying criteria of the Belle Isle Land Development Code, **having NOT been met; [use only if NONE of the justifying criteria have been met]** the requirements of, Subsections: [STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED] **having NOT been met; [may be used in addition to above or alone]** **TO DENY** a variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, at 6810 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-021.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-240-2222

b.

APPLICATION FOR VARIANCE / SPECIAL EXCEPTION

DATE: 2-22-21 P&Z CASE #: 2021-04-002

[X] VARIANCE [] SPECIAL EXCEPTION [] OTHER DATE OF HEARING:

Table with 2 columns: Applicant, Owner, ADDRESS, PHONE, PARCEL TAX ID #.

LAND USE CLASSIFICATION: R1-AA ZONING DISTRICT:

DETAILED VARIANCE REQUEST: To add decorative columns at end of driveway with an option to install automatic gate, hedges to fill up remainder of frontage on Seminole Drive.

SECTION OF CODE VARIANCE REQUESTED ON:

- The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board... Sec. 42-64. - Variances. The board shall have the power to approve, conditionally approve or deny applications for variance from the terms of the Land Development Code.

The board shall find that the preceding requirements have been met by the applicant for a variance.

(2) Violations of conditions.

- a. In granting any variance, the board may prescribe appropriate conditions and safeguards to ensure compliance with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the discretion of the board, such variance may be revoked for violation of the condition and/or safeguards.
- b. The board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both. Under no circumstances, except as permitted above, shall the board grant a variance to permit a use not generally or by special exception permitted in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures or buildings in the same zoning district, and no permitted use of land, structures or buildings in other zoning districts shall be considered grounds for the authorization of a variance.



John

APPLICANT'S SIGNATURE

OWNER'S SIGNATURE

FOR OFFICE USE ONLY:

FEE: \$150.00

4/1/2021
Date Paid

check
363
Check/Cash

Hrp
Rec'd By

Determination _____

Appealed to City Council: Yes No

Council Action: _____

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-240-2222

ABOUT YOUR PUBLIC HEARING

The following information is provided to assist applicants in applying for a variance, special exception or use determination. Please familiarize yourself with the process by visiting

The City of Belle Isle's Planning and Zoning Board, which is comprised of seven (7) non-paid volunteer residents, meets on the fourth Tuesday of the month to hear various planning and zoning issues, including variances, special exceptions and use determinations. In recommending approval or denial of a request, the Board looks at each application individually to determine if the request meets the following criteria:

A written application for variance must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. The application **MUST** include:

- a. the \$150.00 filing fee,
- b. a completed application form,
- c. proof of ownership of the property, or, a notarized statement from the owner with the representative's information,
- d. 10 copies of a plot plan or survey showing all improvements to the property, 10 copies of a scale drawing of the planned construction, illustrated on the survey, and
- e. for boat dock variances, the survey must clearly illustrate the Normal High Water Line elevation (NHWL) of Lake Conway.
- f. A narrative addressing how the variance complies with the following:
 - 1) The literal enforcement of the provisions of the zoning ordinance would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved including, but not limited to, dimensions, topography or soil conditions.
 - 2) Personal hardship is not being considered as grounds for a variance, since the variance will continue to affect the Character of the neighborhood after the title to the property has passed, and that the special conditions and circumstances were not created in order to circumvent the zoning ordinance for the purpose of obtaining a variance.
 - 3) The variance is the minimum variance that will make possible reasonable use of the land, building or structure.
 - 4) The granting of the variance will be in harmony with the general purpose and intent of the zoning ordinances, will not be detrimental to the public welfare and will not be contrary to the public interest.

Applications submitted must meet all of the above criteria before the Board can grant a variance. The burden of proof is on the applicant to show compliance with the criteria.

A special exception addresses compatibility of uses, differing slightly from a variance. The approval of a special exception is dependent upon how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

- 1. A written application for special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
- 2. The Board shall make a finding that it is empowered under the section of the zoning ordinance described in the application to grant the special exception, and that granting of the special exception will not adversely affect the public interest.
- 3. It is determined that the public health, safety, comfort, order, convenience, prosperity, morals or general welfare is promoted, protected or improved.

General Information

- 1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
- 2. The applicant must be present at all hearings.
- 3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period gives all aggrieved parties an opportunity to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where he or she feels the Planning and Zoning Board erred in their decision. An appeal hearing will then be held by Belle Isle's City Council.
- 4. Sec 42-67 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

Variance Request – Application Supplement

*Standards of Variance Justification	Section 42-64 of the Land Development Code (LDC) states that no application for a Zoning Variance shall be approved unless the Planning and Zoning Board finds that all of the following standards are met. Please answer each bold-text question in a separate typed or written document and submit it to the City as part of your variance request.
Special Conditions and/or Circumstances Section 42-64 (1) d	The applicant must prove that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions. WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY? WHAT WOULD BE THE UNNECESSARY HARDSHIP?
Not Self-Created Section 42-64 (1) e	The applicant must prove that the special conditions and circumstances do not result from the actions of the applicant. A personal (self-created) hardship shall not justify a variance; i.e. when the applicant by their own conduct creates the hardship alleged to exist, they are not entitled to relief. HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?
Minimum Possible Variance Section 42-64 (1) f	The applicant must prove that the zoning variance is the minimum variance that will make possible the reasonable use of the land, building or structure. CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY? LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE. <i>No.</i>
Purpose and Intent Section 42-64 (1) g	The applicant must prove that approval of the zoning variance will be in harmony with the general purpose and intent of the Code and such zoning variance will not be injurious to the neighborhood, not detrimental to public welfare, and not contrary to the public interest. WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD? (FOR EXAMPLE: ADEQUATE LIGHT, AIR, ACCESS, USE OF ADJACENT PROPERTY, DENSITY, COMPATIBILITY WITH SURROUNDING LAND USES, TRAFFIC CONTROL, PEDESTRIAN SAFETY, ETC) <i>None.</i>

*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, you do not have to comply with Sec. 42-64 (1) d and (1) f.

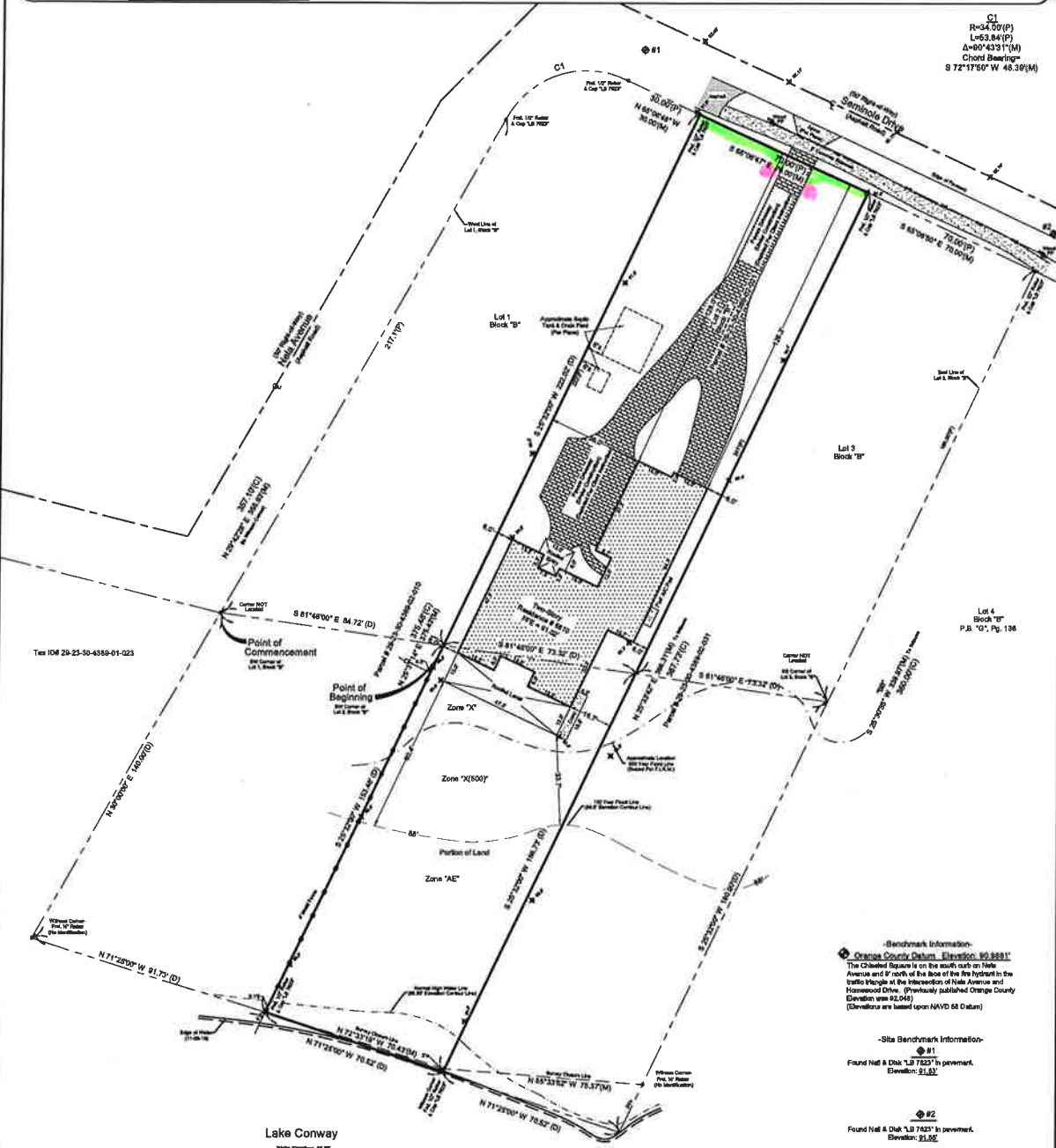
Boundary Survey

Legal Description:

Lot 2, Block B, Lake Conway Park, according to the Plat thereof as recorded in Plat Book G, Page 138, of the Public Records of Orange County, Florida, and the portion of land between the East and West property lines of said Lot 2, Block "B" extended to the waters of Lake Conway, being more particularly described as follows:
 Commence from the Southwest corner of Lot 1, Block "B" Lake Conway Park, according to Plat Book G, Page 138, of the Public Records of Orange County, Florida, then run S 81°46'00" E a distance of 84.72 feet to the Southwest corner of said Lot 2, Block "B" and the Point of Beginning; thence continue S 81°46'00" E a distance of 73.32 feet to the East line of Said Lot 2, Block "B"; thence run S 25°32'00" W along the prolongation of said East line of Lot 2, Block "B" a distance of 166.73 feet; thence run N 71°25'00" W a distance of 70.52 feet to a point on the prolongation of the West line of said Lot 2 Block "B"; thence run N 25°32'00" E along said West line of said Lot 2, Block "B" a distance of 153.46 feet to the Point of Beginning.

Flood Disclaimer: By performing a search with the local governing municipality or www.fema.gov, the property appears to be located in zone AE/X500/X. This Property was found in City of Belle Isle, community number 120181, dated 08/25/2009.

CERTIFIED TO: [REDACTED]



C1
 R=34.00(P)
 L=63.84(P)
 Δ=60°43'31"(M)
 Chord Bearing
 S 72°17'50" W 45.39(M)



Revelon: Final Survey - 07/28/20 - BMJ
 Revelon: Foundation Survey - 01/16/20 - TCD

Field Date: 11/02/16 Date Completed: 11/08/16
 Drawn By: JR File Number: IS-53263

Legend	
C	Calculated
E	Easement
CC	Centerline
CM	Concrete Monument
Co	Concrete
Co	Concrete
DE	Drainage Easement
DE	Drainage Easement
F.E.M.A.	Federal Emergency Management Agency
FFE	Finished Floor Elevation
FP	Iron Pipe
L	Length (Feet)
M	Marked
N.R.	Not Radial
ORB	Official Records Book
P.B.	Plat Book
W	Wood Fence
PC	Point of Curvature
Py	Point
PI	Point of Intersection
P.O.B.	Point of Beginning
P.O.L.	Point on Line
PP	Power Pole
PRM	Permanent Reference Monument
PT	Point of Tangency
R	Radius
RAC	Radius & Cap
REC	Recovered
RES	Residence
RS	Set 1/2" Radius
Typ	Typical
UE	Utility Easement
WM	Water Main
Δ	Delta (Central Angle)
Ch	Chain Link Fence

Notes:
 -Survey is Based upon the Legal Description Supplied by Client.
 -Adjoining Property Deeds have NOT been Researched for Gaps, Overlaps and/or Mistak.
 -Subject to any Easements and/or Restrictions of Record.
 -Bearing Bats shown hereon, is Assumed and Based upon the Line Banded with a "W".
 -Building This are NOT to be used to reconstruct Property Lines.
 -Fence Ownership is NOT determined.
 -Roof Overhang, Underground Utilities and/or Fosters have NOT been located UNLESS otherwise noted.
 -Batter Ties and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
 -Use of This Survey for Purpose other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Constructed to give ANY Rights or Benefits to Anyone Other than those Certified.
 -Flood Zone Determination Shown Herein is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NOTED hereon by NDR given to the Surveying Company at the time of this Endeavor Ireland & Associates Surveying Inc. and the signing surveyor assume NO Liability for the Accuracy of this Determination.

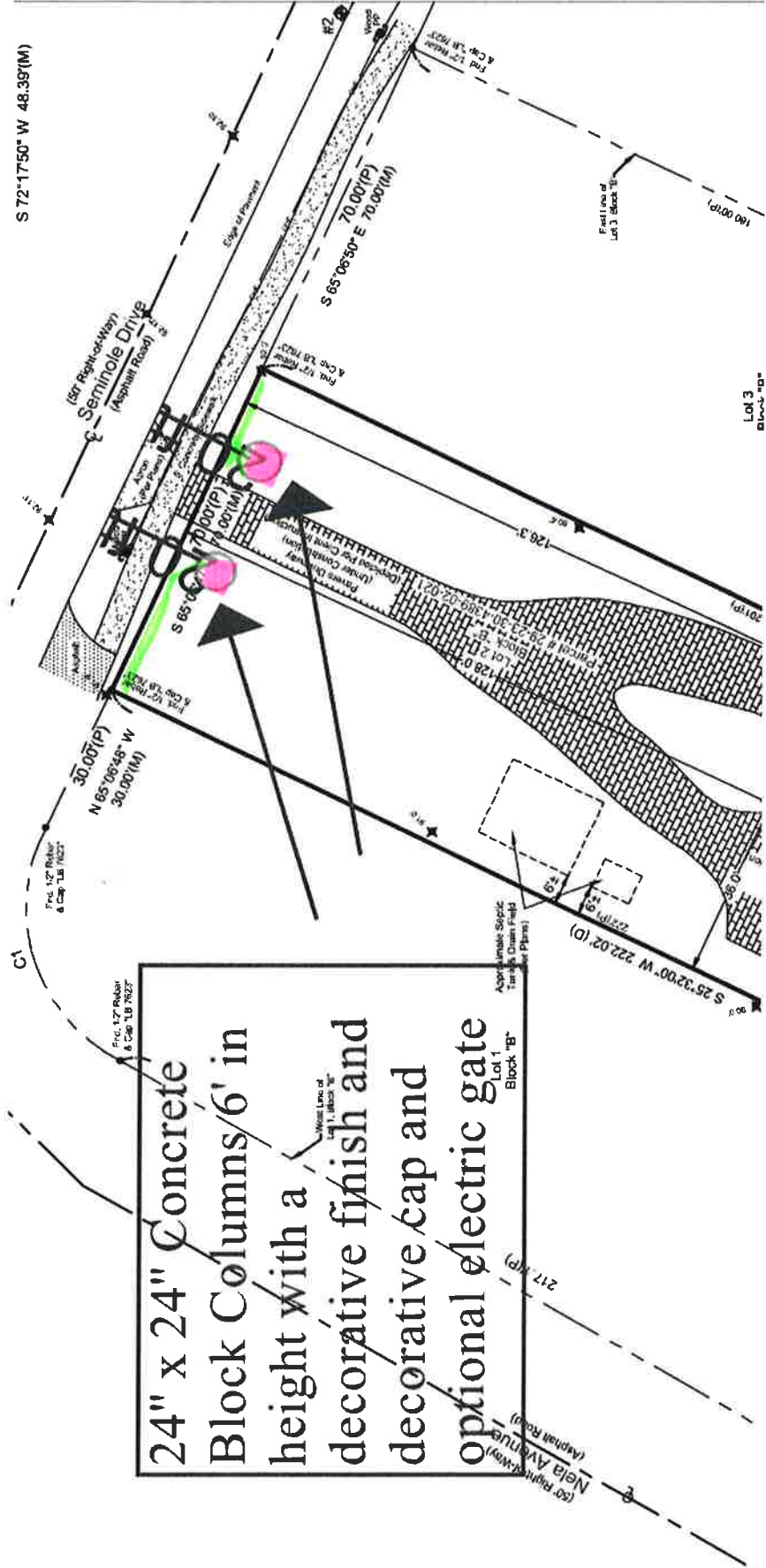
Benchmark Information:
 -Orange County Datum, Elevation 80.8881'
 The Chained Square is on the south curb on Nile Avenue and 1/4 north of the Box of the fire hydrant in the traffic triangle at the Intersection of Nile Avenue and Homewood Drive. (Previously published Orange County Elevation was 82.04')
 (Elevations are based upon NAVD 88 Datum)

Site Benchmark Information:
 -#1
 Found Nail & Disk "1.8 7823" in pavement.
 Elevation: 81.82'
 -#2
 Found Nail & Disk "1.8 7823" in pavement.
 Elevation: 81.82'

I hereby certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown. Based on Information furnished to Me as Noted and Conforme to the Standard of Practice for Land Surveying in the State of Florida in accordance with Chapter 32-11.002 Florida Administrative Code, Pursuant to Statute 475.007 Florida Statutes.

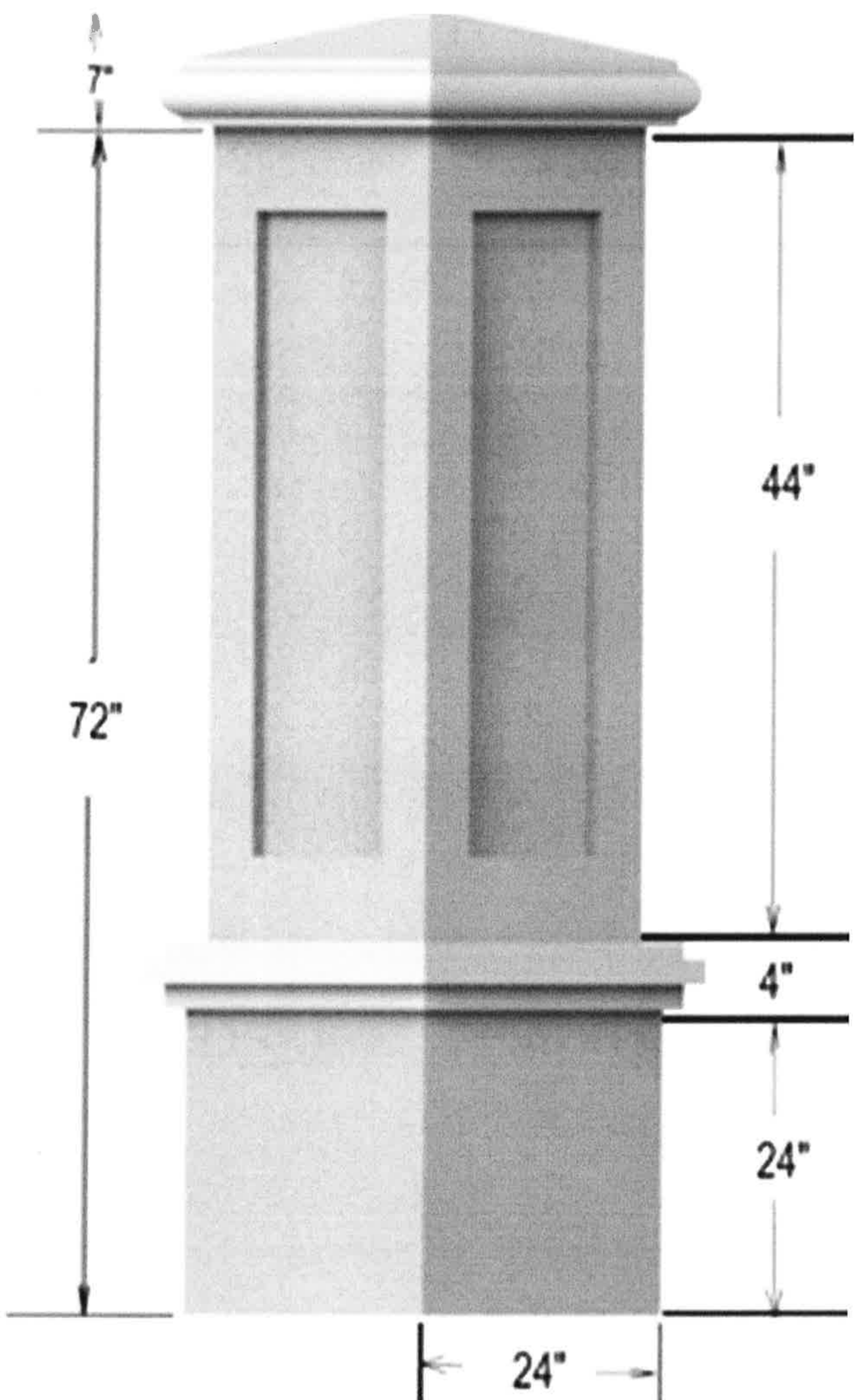
Patrick K. Ireland FOR THE SURVEYOR
 Patrick K. Ireland, P.S.M. #8837 LB 7623
 This Survey is intended ONLY for use of Salt Certified Parties. This Survey NOT VALID UNLESS SIGNED and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
 1301 S. International Parkway Suite 2001
 Lake Mary, Florida 32748
 www.irelandsurveying.com
 Office-407.878.3366 Fax-407.320.8185



24" x 24" Concrete
Block Columns 6' in
height with a
decorative finish and
decorative cap and
optional electric gate





March 22th, 2021

6810 Seminole Variance Request:

Special conditions: Given the high traffic volume on Seminole Drive there is a growing amount of foot and automotive traffic moving through the area, with this comes the higher risk of theft and vandalism. My Family and I have been victims of several criminal activities including trespassing, theft, and an incident that occurred at our home located at 6810 Seminole Dr which involved a number of charges including (Breaking and entering, drug charges, felony lewd behavior in front of a minor, trespassing, etc.) against a person who was arrested and removed from that property. This is clearly an ongoing concern for me, my Family and everyone in the area. I believe this to be a security concern on my family's behalf and after to talking to the neighbors located a couple of houses either side of my home, it's very apparent that's is a great concern for them too.

Not Self-Created: Other than choosing to build my home and live on Seminole Drive these issues are out of our control.

Minimum Possible Variance: We have considered creating a barrier by use of landscaping but do not believe this is much of a deterrent without the ability to place a gate at the driveway which many other homes on Seminole drive already have. A combination of landscaping or a fence and a gate would provide enough of a deterrent to likely limit any criminal trespassing and / or criminal activity.

Purpose and Intent: Installing columns and an automatic gate will have no effect on neighboring properties whatsoever. If approved it is the intent of lots 1 – 5 on Seminole drive to install the same type of improvements which would create a nice uniform look along Seminole Drive. There are already a number of homes on Seminole who have gates on their driveway and either front yard gates or landscape barriers combined with automatic gates. There will be zero impact to pedestrian safety or traffic control.

Construction: Columns would be placed at the edges of the driveway behind the sidewalk as to not impede any traffic if a gate is installed. Columns would be construction with concrete block and finished in either stucco or some type of decorative façade. Electric will be run to the columns to provide ability to install an automatic gate and potentially add some lighting to the columns. Columns would need exceed six feet in height to remain within standards for privacy fencing.

April 16, 2021

Variance Application: 6814 Seminole Drive

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 50-102 (B) (5), SEC. 50-102 (B) (16) AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PLACE DECORATIVE COLUMNS WITH A GATE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY, SUBMITTED BY THE PROPERTY OWNER, CHRIS GEORGE, AT 6814 SEMINOLE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL # 29-23-30-4389-02-031.

Existing Zoning/Use: R-2/ single-family home

This variance application seeks a variance from Sec. 50-102 (b) (5) (a) to allow decorative columns and an optional gate in the front yard of the property.

Security and safety are a concern due to trespassing and other criminal activity that has taken place on adjacent property. The applicant has provided information supporting the variance request with additional information about the security and safety issues encountered. Please see this information enclosed with this agenda item packet.

The board in granting an application for the variance may consider as justifying criteria, the following from Sec. 50-102 (b) (16):

1. A difference in grade between the property upon which the fence will be installed and the immediately adjacent property;
2. The height or construction materials of already existing abutting walls or fences; and/or
3. Conditions existing upon or occupational use of adjacent property creating an exceptional privacy or security need of applicant.

The requirements of Sec. 42-64 (1) except for subsections 42-64 (1) (d) and (1) (f) shall otherwise be met.

Staff Recommendation

Based on the applicant's identification that security and safety are concerns, staff recommends approval of the requested variance. This is consistent with meeting the criteria established in Sec. 50-102 (b) (16) (3) which the Board may consider as justifying criteria according to the code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 4(c)
MEMORANDUM

TO: Planning and Zoning Board

DATE: April 27, 2021

Public Hearing Case #2021-04-005- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Chris George, at 6814 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-031.

Background:

1. On April 1, 2021, the applicant, Chris George, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, March 13, 2021, in Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on April 15, 2021.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria set forth in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64** of the Belle Isle Land Development Code having been met **TO APPROVE** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Chris George, at 6814 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-031

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64**, the justifying criteria of the Belle Isle Land Development Code, **having NOT been met; [use only if NONE of the justifying criteria have been met]** the requirements of, Subsections: [STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED] **having NOT been met; [may be used in addition to above or alone] TO DENY** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Chris George, at 6814 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-031

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-240-2222

APPLICATION FOR VARIANCE / SPECIAL EXCEPTION

DATE: 3/24/21

P&Z CASE #: 2021-04-005

VARIANCE SPECIAL EXCEPTION OTHER

DATE OF HEARING: _____

APPLICANT: Chris George

OWNER: SAME

ADDRESS: 6814 Seminole Drive

Belle Isle 32812

PHONE: 407-227-7806

PARCEL TAX ID #: 29-23-30-4389-02-031

LAND USE CLASSIFICATION: R1AA ZONING DISTRICT: _____

DETAILED VARIANCE REQUEST: To add decorative columns to driveway with automated gate and filled with hedges.

SECTION OF CODE VARIANCE REQUESTED ON: _____

The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within a period of nine (9) months prior to the filing of the application. Further that the requested use does not violate any deed restriction of the property.

By submitting the application, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property, during reasonable hours, to inspect the area of my property to which the application applies.

Applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) photograph of the front of the property and at least two photographs (from different angles) of the specific area of the property to which the application applies.

APPLICANT'S SIGNATURE

OWNER'S SIGNATURE

FOR OFFICE USE ONLY:

FEE: \$150.00

4/1/21 Date Paid

1102 Check/Cash

Hrp Rec'd By

Determination _____

Appealed to City Council: Yes No

Council Action: _____

March 8th, 2021

~~6822~~ Seminole Variance Request:

6814

Special conditions: Given the high traffic volume on Seminole Drive there is a constant amount of foot and automotive traffic moving through the area. We have seen some criminal activity including multiple instances of trespassing and theft, and an incident that occurred at 6810 Seminole which involved a number of charges (drug charges, lewd behavior in front of a minor, trespassing, etc) against a person arrested and removed from that property. This is clearly an ongoing concern for everyone in the area, specifically speaking to the owners of lots 1 – 5 all share this concern and would like to mitigate any exposure. In a lower traffic area this would presumably be less of a concern.

Not Self Created: Other than choosing to live on Seminole Drive these issues are out of our control.

Minimum Possible Variance: We have considered creating a barrier by use of landscaping but do not believe this is much of a deterrent without the ability to place a gate at the driveway which many other homes on Seminole drive already have. A combination of landscaping or a fence and a gate would provide enough of a deterrent to likely limit any criminal trespassing and / or criminal activity.

Purpose and Intent: Installing columns and an automatic gate will have no effect on neighboring properties whatsoever. If approved it is the intent of lots 1 – 5 on Seminole drive to install the same type of improvements which would create a nice uniform look along Seminole Drive. There are already a number of homes on Seminole who have gates on their driveway and either front yard gates or landscape barriers combined with automatic gates. There will be zero impact to pedestrian safety or traffic control.

Construction: Columns would be placed at the edges of the driveway behind the sidewalk as to not impede any traffic if a gate is installed. Columns would be construction with concrete block and finished in either stucco or some type of decorative façade. Electric will be run to the columns to provide ability to install an automatic gate and potentially add some lighting to the columns. Columns would not exceed six feet in height to remain within standards for privacy fencing.

Property Record - 29-23-30-4389-02-031

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary as of 04/01/2021

Property Name

Seminole Dr

Names

George Christopher James

Municipality

BI - Belle Isle

Property Use

0030 - Vacant Water

Mailing Address

437 Harbour Oaks Pointe Dr
Orlando, FL 32809-3013

Physical Address

Seminole Dr
Orlando, FL 32812



QR Code For Mobile Phone



Value and Taxes

Historical Value and Tax Benefits

Tax Year Values	Land	Building(s)	Feature(s)	Market Value	Assessed Value
2020 <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$425,000	+ \$0	+ \$0 = \$425,000 (12%)	\$418,000 (10%)	
2019 <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$380,000	+ \$0	+ \$0 = \$380,000 (0%)	\$380,000 (0%)	
2018 <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$380,000	+ \$0	+ \$0 = \$380,000 (0%)	\$380,000 (0%)	
2017 <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	\$380,000	+ \$0	+ \$0 = \$380,000	\$380,000	





April 16, 2021

Variance Application: 6820 Seminole Drive

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 50-102 (B) (5), SEC. 50-102 (B) (16) AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PLACE DECORATIVE COLUMNS WITH A GATE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY, SUBMITTED BY THE PROPERTY OWNER, 6806 SEMINOLE LLC, AT 6820 SEMINOLE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL # 29-23-30-4389-02-040.

Existing Zoning/Use: R-1-AA/ single-family home

This variance application seeks a variance from Sec. 50-102 (b) (5) (a) to allow decorative columns and an optional gate in the front yard of the property.

Security and safety are a concern due to trespassing and other criminal activity that has taken place on adjacent property. The applicant has provided information supporting the variance request with additional information about the security and safety issues encountered. Please see this information enclosed with this agenda item packet.

The board in granting an application for the variance may consider as justifying criteria, the following from Sec. 50-102 (b) (16):

1. A difference in grade between the property upon which the fence will be installed and the immediately adjacent property;
2. The height or construction materials of already existing abutting walls or fences; and/or
3. Conditions existing upon or occupational use of adjacent property creating an exceptional privacy or security need of applicant.

The requirements of Sec. 42-64 (1) except for subsections 42-64 (1) (d) and (1) (f) shall otherwise be met.

Staff Recommendation

Based on the applicant's identification that security and safety are concerns, staff recommends approval of the requested variance. This is consistent with meeting the criteria established in Sec. 50-102 (b) (16) (3) which the Board may consider as justifying criteria according to the code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 4(d)
MEMORANDUM

TO: Planning and Zoning Board

DATE: April 27, 2021

Public Hearing Case #2021-04-003- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, 6806 Seminole LLC, at 6820 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-040.

Background:

1. On April 1, 2021, the applicant, Chris Comins, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, March 13, 2021, in Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on April 15, 2021.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria set forth in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64** of the Belle Isle Land Development Code having been met **TO APPROVE** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, 6806 Seminole LLC, at 6820 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-040.

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64**, the justifying criteria of the Belle Isle Land Development Code, **having NOT been met; [use only if NONE of the justifying criteria have been met]** the requirements of, Subsections: [STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED] **having NOT been met; [may be used in addition to above or alone]** **TO DENY** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, 6806 Seminole LLC, at 6820 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-040.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-240-2222

APPLICATION FOR VARIANCE / SPECIAL EXCEPTION

DATE: 3-31-21

P&Z CASE #: 2021-04-003

[x] VARIANCE [] SPECIAL EXCEPTION [] OTHER

DATE OF HEARING: _____

APPLICANT: Chris Comins

OWNER: _____

ADDRESS: 6820 Seminole

PHONE: _____

PARCEL TAX ID #: 29 23 30 4389 0 2 040

LAND USE CLASSIFICATION: RT ZONING DISTRICT: _____

DETAILED VARIANCE REQUEST: Request to add decorative columns on driveway with an option to install an automatic gate. Balance of frontage on Sem Drive to be Hedges

SECTION OF CODE VARIANCE REQUESTED ON: _____

The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within a period of nine (9) months prior to the filing of the application. Further that the requested use does not violate any deed restriction of the property.

By submitting the application, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property, during reasonable hours, to inspect the area of my property to which the application applies.

Applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) photograph of the front of the property and at least two photographs (from different angles) of the specific area of the property to which the application applies.

[Signature] APPLICANT'S SIGNATURE

[Signature] OWNER'S SIGNATURE

FOR OFFICE USE ONLY:	FEE: \$150.00	4/1/2021 Date Paid	CR# 1505 Check/Cash	Hwp Rec'd By
Determination _____				
Appealed to City Council: [] Yes [] No		Council Action: _____		

March 8th, 2021

~~6822~~ Seminole Variance Request:

6820

Special conditions: Given the high traffic volume on Seminole Drive there is a constant amount of foot and automotive traffic moving through the area. We have seen some criminal activity including multiple instances of trespassing and theft, and an incident that occurred at 6810 Seminole which involved a number of charges (drug charges, lewd behavior in front of a minor, trespassing, etc) against a person arrested and removed from that property. This is clearly an ongoing concern for everyone in the area, specifically speaking to the owners of lots 1 – 5 all share this concern and would like to mitigate any exposure. In a lower traffic area this would presumably be less of a concern.

Not Self Created: Other than choosing to live on Seminole Drive these issues are out of our control.

Minimum Possible Variance: We have considered creating a barrier by use of landscaping but do not believe this is much of a deterrent without the ability to place a gate at the driveway which many other homes on Seminole drive already have. A combination of landscaping or a fence and a gate would provide enough of a deterrent to likely limit any criminal trespassing and / or criminal activity.

Purpose and Intent: Installing columns and an automatic gate will have no effect on neighboring properties whatsoever. If approved it is the intent of lots 1 – 5 on Seminole drive to install the same type of improvements which would create a nice uniform look along Seminole Drive. There are already a number of homes on Seminole who have gates on their driveway and either front yard gates or landscape barriers combined with automatic gates. There will be zero impact to pedestrian safety or traffic control.

Construction: Columns would be placed at the edges of the driveway behind the sidewalk as to not impede any traffic if a gate is installed. Columns would be construction with concrete block and finished in either stucco or some type of decorative façade. Electric will be run to the columns to provide ability to install an automatic gate and potentially add some lighting to the columns. Columns would not exceed six feet in height to remain within standards for privacy fencing.

Property Record - 29-23-30-4389-02-040

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary as of 04/01/2021

Property Name

6820 Seminole Dr

Names

6806 Seminole LLC

Municipality

BI - Belle Isle

Property Use

0030 - Vacant Water

Mailing Address

6413 Pinecastle Blvd Ste 3
Orlando, FL 32809-6694

Physical Address

6820 Seminole Dr
Orlando, FL 32812



QR Code For Mobile Phone



6820 SEMINOLE DR, BELLE ISLE, FL 32812 1/15/2021 11:54 AM



6820 SEMINOLE DR 09/04/2013

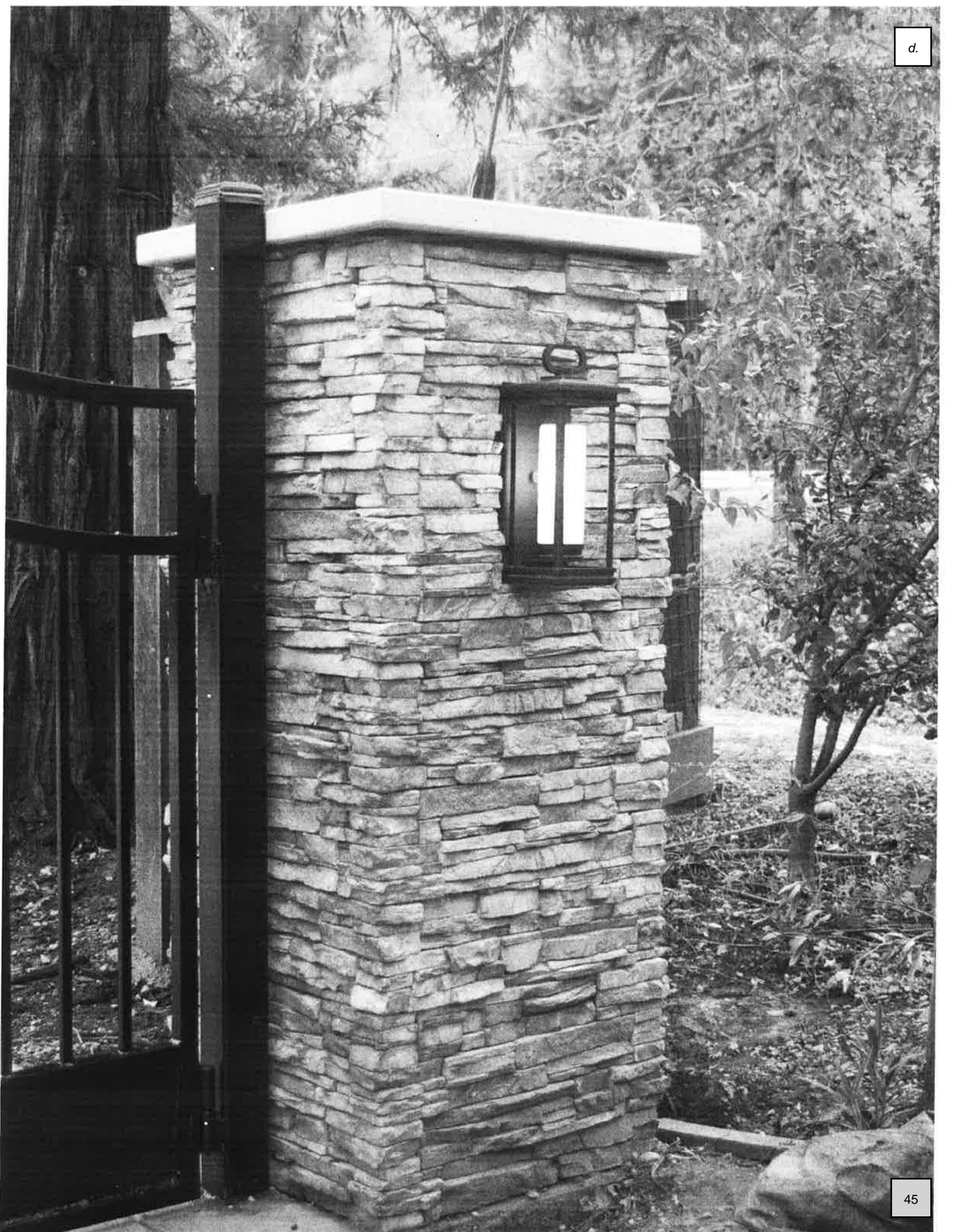


302329438902040 09/04/2013



302329438902040 09/29/2006

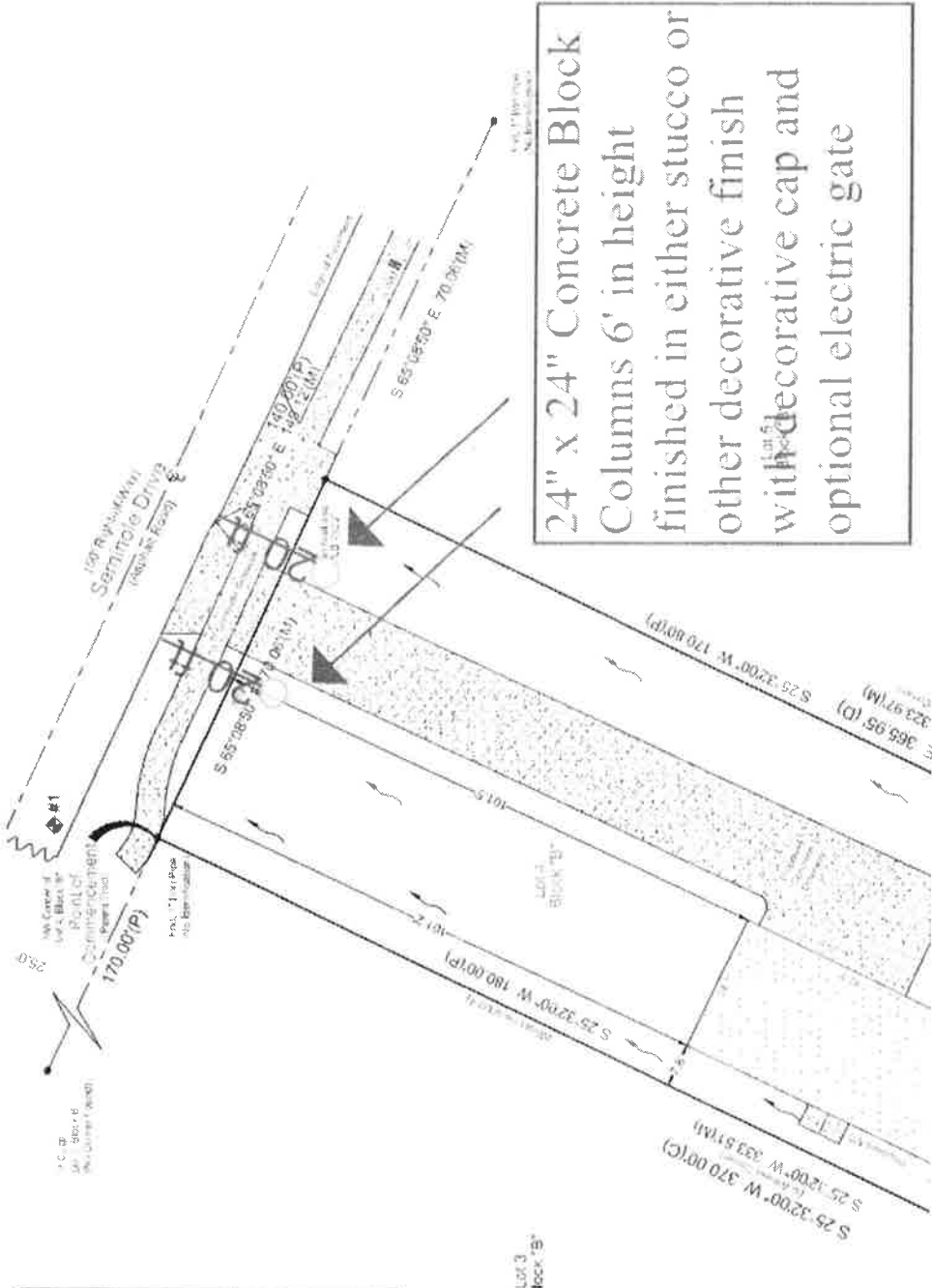




Plot Plan

Legal Description:
 Lot 4, Block B, Lake Conway Park, according to the plat thereof as recorded in Plat Book G Page 138 Public Records of Orange County, Florida and ALSO
 Beginning from the Southwest corner of said Lot 4, thence South 25°32' West 190.0 feet along the prolongation of the West line of said Lot 4 to Lake Conway, thence South 68°27'11" East 70.22 feet along Lake Conway to the prolongation of the East line of said Lot 4; thence N 25°32' E 195.15 feet to the Southeast corner of said Lot 4; thence N 72°36'58" W 73.77 feet along the South line of said Lot 4 to the POINT OF BEGINNING.
 Field Evidence:
 ALL THIS CORNER SURVEY BEING A SEARCH WITH THE LOCAL SURVEYING MUNICIPALITY OF ABBEVILLE, MISSISSIPPI, APPEARS TO BE LOCATED IN ZONE AE 450. X. THIS INSTRUMENT WAS FOUND IN CITY OF BELLE ME, COMPARISON NUMBER 125-1. CATED 05/26/2015 E.N

CERTIFIED TO:
 BRC BUILDERS, LLC



24" x 24" Concrete Block Columns 6' in height finished in either stucco or other decorative finish with decorative cap and optional electric gate

April 16, 2021

Variance Application: 6822 Seminole Drive

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 50-102 (B) (5), SEC. 50-102 (B) (16) AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PLACE DECORATIVE COLUMNS WITH A GATE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY, SUBMITTED BY THE PROPERTY OWNER, STEVEN KNEIPP, AT 6822 SEMINOLE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL # 29-23-30-4389-02-050.

Existing Zoning/Use: R-1-AA/ single-family home

This variance application seeks a variance from Sec. 50-102 (b) (5) (a) to allow decorative columns and an optional gate in the front yard of the property.

Security and safety are a concern due to trespassing and other criminal activity that has taken place on adjacent property. The applicant has provided information supporting the variance request with additional information about the security and safety issues encountered. Please see this information enclosed with this agenda item packet.

The board in granting an application for the variance may consider as justifying criteria, the following from Sec. 50-102 (b) (16):

1. A difference in grade between the property upon which the fence will be installed and the immediately adjacent property;
2. The height or construction materials of already existing abutting walls or fences; and/or
3. Conditions existing upon or occupational use of adjacent property creating an exceptional privacy or security need of applicant.

The requirements of Sec. 42-64 (1) except for subsections 42-64 (1) (d) and (1) (f) shall otherwise be met.

Staff Recommendation

Based on the applicant's identification that security and safety are concerns, staff recommends approval of the requested variance. This is consistent with meeting the criteria established in Sec. 50-102 (b) (16) (3) which the Board may consider as justifying criteria according to the code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 4(e)
MEMORANDUM

TO: Planning and Zoning Board

DATE: April 27, 2021

Public Hearing Case #2021-04-004- Pursuant to Belle Isle Code Sec. 50-102 (b) (5), Sec. 50-102 (b) (16) and Sec. 42-64, the Board shall consider and take action on a requested variance to place decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Steven Kneipp, at 6822 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-050.

Background:

1. On April 1, 2021, the applicant, Steven Kneipp, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, March 13, 2021, in Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on April 15, 2021.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria set forth in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64** of the Belle Isle Land Development Code having been met **TO APPROVE** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Steven Kneipp, at 6822 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-050.

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code **Sec 50-102 (b) (5), Sec 50-102 (b) (16) and Sec 42-64**, the justifying criteria of the Belle Isle Land Development Code, **having NOT been met; [use only if NONE of the justifying criteria have been met]** the requirements of, Subsections: [STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED] **having NOT been met; [may be used in addition to above or alone]** **TO DENY** decorative columns with a gate in the front yard of a residential property, submitted by the property owner, Steven Kneipp, at 6822 Seminole Drive, Belle Isle, FL 32812 also known as Parcel # 29-23-30-4389-02-050.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle
1600 Nela Avenue Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-851-7730

APPLICATION FOR VARIANCE / SPECIAL EXCEPTION

DATE: 2.17.21

P&Z CASE #: 2021-04-004

VARIANCE SPECIAL EXCEPTION OTHER

DATE OF HEARING: _____

APPLICANT: STEVEN KVEPP

OWNER: STEVE KVEPP

ADDRESS: 6822 SEMINOLE DR
BELLE ISLE 32812

6822 SEMINOLE
32812

PHONE: 407 434 9476

PARCEL TAX ID #: 29-23-30-4389-02-050

LAND USE CLASSIFICATION: R1 ZONING DISTRICT: _____

DETAILED VARIANCE REQUEST: REQUEST TO ADD DECORATIVE COLUMNS
ON DRIVEWAY WITH AN OPTION TO INSTALL AN AUTOMATIC
GATE. BALANCE OF FRONTAGE ON SEMINOLE DRIVE TO BE
FILLED IN WITH HEDGES

SECTION OF CODE VARIANCE REQUESTED ON: _____

The applicant hereby states that the property for which this hearing is requested has not been used for the purpose requested before the Planning and Zoning Board of the kind and type requested in the application within the period of one year prior to the filing of the application. Further that the requested use does not violate any dead-end street ordinance.

By submitting the application, I authorize City of Belle Isle employees and members of the Planning and Zoning Board to inspect the property, during reasonable hours, to inspect the area of my property to which the application applies.

Applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of the application. At least one (1) photograph of the front of the property and at least two photographs (from different angles) of the area of the property to which the application applies.

APPLICANT'S SIGNATURE _____

OWNER'S SIGNATURE _____

FOR OFFICE USE ONLY:

FEE: \$150.00

4/1/2021
Date Paid

ck# 364
Check/Cash

Hlep
Rec'd

Determination _____

Appealed to City Council: Yes No

Council Action: _____

Property Record - 29-23-30-4389-02-050

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary as of 03/31/2021

Property Name

6822 Seminole Dr

Names

Kneipp Steven
Taylor Cory L

Mailing Address

2875 S Orange Ave Ste 500-2810
Orlando, FL 32806-5455

Municipality

BI - Belle Isle

Physical Address

6822 Seminole Dr
Orlando, FL 32812

Property Use

0130 - Sft - Lake Front



QR Code For Mobile Phone



6822 SEMINOLE DR BELLE ISLE, FL 32812 11/5/2021 11:54 AM



6822 SEMINOLE DR, ORLANDO, FL 32812 10/18/2019 3:34 PM

March 8th, 2021

6822 Seminole Variance Request:

Special conditions: Given the high traffic volume on Seminole Drive there is a constant amount of foot and automotive traffic moving through the area. We have seen some criminal activity including multiple instances of trespassing and theft, and an incident that occurred at 6810 Seminole which involved a number of charges (drug charges, lewd behavior in front of a minor, trespassing, etc) against a person arrested and removed from that property. This is clearly an ongoing concern for everyone in the area, specifically speaking to the owners of lots 1 – 5 all share this concern and would like to mitigate any exposure. In a lower traffic area this would presumably be less of a concern.

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