
NOTICE OF PUBLIC MEETING
December 09, 2019- 6:30 PM

CITY OF BELLE ISLE
PLANNING AND ZONING BOARD REGULAR SESSION

1. Call to Order, Confirmation of Quorum and Pledge to the Flag
2. Approval of the October 22, 2019 minutes
3. Approval of the September 24, 2019 minutes
4. PUBLIC HEARING CASE #2019-10-033 - PURSUANT TO BELLE ISLE CODE SEC. 42-63 AND SEC. 54-75 (C) (5) THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SPECIAL EXCEPTION TO ALLOW A GUEST COTTAGE WITHOUT A KITCHEN ON A SINGLE-FAMILY RESIDENTIAL PROPERTY WITH A PRIMARY DETACHED SINGLE-FAMILY DWELLING, SUBMITTED BY APPLICANT PROTEAM LLC, LOCATED AT 2520 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 19-23-30-5888-06-122.
5. Other Business
6. Adjournment

Should any person decide to appeal any decision made regarding any matter considered at this meeting such person may need to ensure that a verbatim record of the proceedings is made to include testimony and evidence upon which the appeal is to be based, Persons with disabilities needing assistance to participate in these proceedings should contact the City Clerk at 407-851-7730 at least 24 hours in advance of the meeting.



April Fisher, AICP
fisherpds@outlook.com
 407-494-8789

November 20, 2019

Special Exception Application: 2520 HOMEWOOD DRIVE- GUEST COTTAGE WITHOUT A KITCHEN

Applicant Request: PURSUANT TO BELLE ISLE CODE SEC. 42-63 AND SEC. 54-75 (C) (5) THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SPECIAL EXCEPTION TO ALLOW A GUEST COTTAGE WITHOUT A KITCHEN ON A SINGLE-FAMILY RESIDENTIAL PROPERTY WITH A PRIMARY DETACHED SINGLE-FAMILY DWELLING, SUBMITTED BY APPLICANT PROTEAM LLC, LOCATED AT 2520 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 19-23-30-5888-06-122.

Zoning/ Existing Use: R-1-AA/ Single-family Residence

Review Comments

This application seeks a special exception as identified above. The property is currently developed with a home that is being redeveloped. The property owner is in the process of permitting a new house to be located on the property incorporating the proposed guest cottage without a kitchen.

The applicant has provided supporting documentation addressing this special exception application.

Staff Recommendation

Section 54-75 (C) (5) provides that a guest cottage (without a kitchen) may be permitted in a residential zoning district through the special exception process. The Code identifies that the Planning and Zoning Board will review special exception requests to determine whether the request would adversely affect the public interest and whether public health, safety, and welfare are promoted or improved.

The proposed guest cottage meets the setback and height requirements of the R-1-AA Zoning District and is designed to be architecturally consistent with the primary structure. Additionally, the guest cottage is in the rear of the property, meeting the required 50-foot setback from the Normal High Water Elevation of Lake Conway. Due to meeting these requirements, and the location and design, the proposed guest cottage is in harmony with the purpose and intent of the Land Development Code.

Although the application states that the requested guest cottage is to be 300 square feet, the plan set submitted identifies an area larger than 300 square feet that could be construed to be part of the guest

cottage (area encompassing the guest suite, through to the attached bathroom and closet). This area roughly equals 355 square feet. The code does not prohibit the Planning and Zoning Board from approving a guest cottage larger than 300 square feet. The Board must find that the public health, safety, comfort, order, convenience, prosperity, morals or general welfare is promoted, protected or improved.

Based on consideration of these review criteria staff recommends approval of the request subject to the following conditions:

1. The guest cottage shall be used exclusively for housing members of the family occupying the principal building and their nonpaying guests, such quarters shall have no kitchen facilities and shall not be rented or otherwise used as a separate dwelling;
2. The plans shall be revised to remove the proposed open exterior shower, BBQ Area and deck/patio areas (including the area for pool equipment) that are proposed to sit within the required 7.5-foot side setback area prior to submitting for building permitting. The deck/patio areas must meet an accessory building/structure 5-foot setback requirement from the side property line and the open exterior shower and any vertical structures in the BBQ Area and Wood Deck area must meet the 7.5-foot setback since these are attached to the guest cottage pursuant to Sec. 50-102 (a) (2); and,
3. Any changes to this special exception that are not memorialized in this approval must be submitted for review and approval by the Planning and Zoning Board.
4. The guest cottage must be maintained in a functional and aesthetically pleasing manner so as not to adversely impact the public interest.

Additional Notes

Please note that the Board may approve the proposed special exception application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which criteria are not met.

A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ITEM 3

MEMORANDUM

TO: Planning and Zoning Board

DATE: December 9, 2019

PUBLIC HEARING CASE #2019-10-033 - PURSUANT TO BELLE ISLE CODE SEC. 42-63 AND SEC. 54-75 (C) (5) THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SPECIAL EXCEPTION TO ALLOW A GUEST COTTAGE WITHOUT A KITCHEN ON A SINGLE-FAMILY RESIDENTIAL PROPERTY WITH A PRIMARY DETACHED SINGLE-FAMILY DWELLING, SUBMITTED BY APPLICANT PROTEAM LLC, LOCATED AT 2520 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 19-23-30-5888-06-122.

Background:

1. On October 21, 2019, ProTeam LLC submitted the application and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed in the Saturday, November 29, 2019, Orlando Sentinel.
3. Letters to the abutting property owners within 300 feet of the subject property were mailed on Wednesday, November 27, 2019.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings-of-fact that are presented at the public hearing. The Board will need to determine if the criteria set forth in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met, and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE: "I move, the criteria of Section 42-63 and 54-75 (c)(5) of the Belle Isle Land Development Code having been met TO APPROVE the SPECIAL EXCEPTION TO ALLOW TO ALLOW A GUEST COTTAGE WITHOUT A KITCHEN ON A SINGLE-FAMILY RESIDENTIAL PROPERTY WITH A PRIMARY DETACHED SINGLE-FAMILY DWELLING, SUBMITTED BY APPLICANT PROTEAM LLC, LOCATED AT 2520 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 19-23-30-5888-06-122.

SAMPLE MOTION TO DENY: "I move, the justifying criteria of the Belle Isle Land Development Code, Section 54-75(c)(5), having NOT been met; *[use only if NONE of the justifying criteria have been met]* the requirements of section 42-63, Subsections: *[STATE ONLY THE SUBSECTIONS BELOW THAT ARE NOT SATISFIED]* **having NOT been met;** *[may be used in addition to above or alone]* **TO DENY** the proposed SPECIAL EXCEPTION TO ALLOW A GUEST COTTAGE WITHOUT A KITCHEN ON A SINGLE-FAMILY RESIDENTIAL PROPERTY WITH A PRIMARY DETACHED SINGLE-FAMILY DWELLING, SUBMITTED BY APPLICANT PROTEAM LLC, LOCATED AT 2520 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 19-23-30-5888-06-122.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 * Tel 407-851-7730 * Fax 407-240-2222

APPLICATION FOR VARIANCE / SPECIAL EXCEPTIONDATE: 10/21/19P&Z CASE #: 2019-10-033☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHERDATE OF HEARING: 11/26/19APPLICANT: ProTeam LLCOWNER: Mark:ADDRESS: 2520 Homewood Drive
Belle Isle FL 32809Jessica JonesPHONE: 321-295-6572PARCEL TAX ID #: 19-23-30-5888-06-122LAND USE CLASSIFICATION: Lakefront Residential ZONING DISTRICT: R1 AADETAILED VARIANCE REQUEST: 300 sqft living space. New guest cottage without a kitchen that adheres to the setbacks and impervious surface ratio regulations stated in the City of Belle Isle Code.SECTION OF CODE VARIANCE REQUESTED ON: Sec 42-63 special exemption

The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within a period of nine (9) months prior to the filing of the application. Further that the requested use does not violate any deed restriction of the property.

By submitting the application, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property, during reasonable hours, to inspect the area of my property to which the application applies.

Applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) photograph of the front of the property and at least two photographs (from different angles) of the specific area of the property to which the application applies.

K. Smith
APPLICANT'S SIGNATURE

DocuSigned by:
Jessica M Jones
OWNER'S SIGNATURE

FOR OFFICE USE ONLY:

FEE: \$150.00

N/A SPECIAL EXCEPTION

Date Paid

Check/Cash

Rec'd By

Determination _____

Appealed to City Council: ☐ Yes ☐ No

Council Action: _____

Date: 10/22/2019

RE: JONES RESIDENCE
2520 Homewood Drive,
Belle Isle, Florida, 32809



email: admin@ksarchitect.net
cell: (386) 405 - 8322
office: (386) 314 - 0044
website: ksarchitect.net
145 Canal Street,
New Smyrna Beach,
FL, 32168

Dear City of Belle Isle Planning and Zoning Board,

Please find attached the responses to the variance request application supplement questions that are part of the special exception application process.

What are the special conditions and circumstances unique to your property? What would be the unnecessary hardship?

The owner of the 2520 Homewood Drive property is seeking the addition of a guest cottage, which is a detached 300 square foot living structure without a kitchen, for family and friend use only. This guest cottage is to be built within the required building setback limits and to meet City of Belle Isle Codes and Regulations. I am the son of the architect who designed the original house in 1965 and we want to maintain the architectural aesthetics in the new design. However, the permitting of the guest cottage needs to be approved by the planning and zoning board through a special exception, before it gets reviewed by the building department.

How were the special conditions noted above created?

There is no reasonable place to locate the guest cottage other than the proposed location due to the placement of the existing house, pool and drain field. The proposed guest cottage is located South of the pool in a detached manner but still tying it to the original house with cohesive architectural aesthetics.

Can you accomplish your objective in another way? List alternatives you have considered and evidence as to why they are not feasible.

Without eliminating the existing structures, an alternative placement for the guest cottage would not be feasible.

What effects will approval of the variance have on adjacent properties or the surrounding neighborhood? (For example: adequate light, air, access, use of adjacent property, density, compatibility with surrounding land uses, traffic control, pedestrian safety, etc)

There will be no effects to any adjacent properties as the proposed guest cottage is located in the rear yard of the property and meets all of the building setback requirements as well as the impervious surface ratio. The small scale of this cottage is actually much less impact on the lakeside portion of the site than a new, larger structure built to the waterfront setback. The proposed cottage will match the architectural aesthetic of the original building designed in 1965 by Architect Nils M. Schweizer; a very respected and prominent architect in the Central Florida area that designed many important Orlando landmarks, including the Orlando International Airport, the Chamber of Commerce and the Orlando Public Library.

Thank you,

Kevin Schweizer, AIA
AR0013154
kevin@ksarchitect.net

Date: 10/10/2019

RE: JONES RESIDENCE
2520 Homewood Drive,
Belle Isle, Florida, 32809



KEVIN SCHWEIZER
ARCHITECT

AA26002348

email: admin@ksarchitect.net

cell: (386) 405 - 8322

office: (386) 314 - 0044

website: ksarchitect.net

145 Canal Street,
New Smyrna Beach,
FL, 32168

Dear Yolanda Quiceno,

I am the Architect for the renovation and addition project at 2520 Homewood Drive, Belle Isle, Florida, 32809. We have designed a guest cottage that is detached from the original existing residence designed by my father Nils M. Schweizer in 1965. The new guest cottage is 300 square foot of living space, without a kitchen and adheres to the setbacks and Impervious Surface Ratio regulations stated in the City of Belle Isle Code.

As an architect and son of the original architect of this residence, it is my intention that the architectural aesthetic of the new building adheres to the original design and is compatible with its surroundings, given the site and location.

I ask that you please consider this project for a special exception in your October Planning and Zoning Board meeting.

Thank you,

Kevin Schweizer, AIA
AR0013154
kevin@ksarchitect.net

Property Record - 19-23-30-5888-06-122

Orange County Property Appraiser •
http://www.ocpafl.org

Property Summary as of 10/21/2019

Property Name

2520 Homewood Dr

Names

Jones Mark Allen
Jones Jessica M

Municipality

BI - Belle Isle

Property Use

0130 - Sfr - Lake Front

Mailing Address

2520 Homewood Dr
Belle Isle, FL 32809-6111

Physical Address

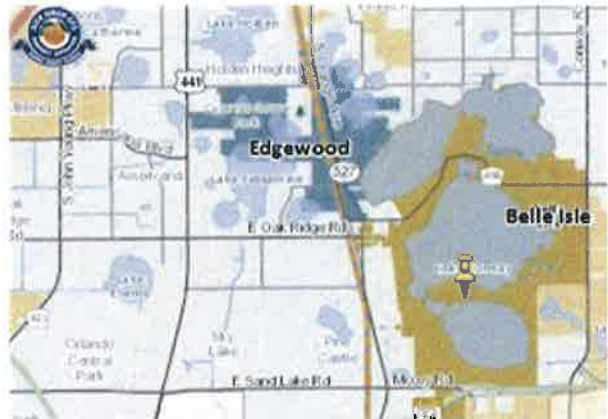
2520 Homewood Dr
Orlando, FL 32809



QR Code For Mobile Phone



302319588806122 09/29/2006



Value and Taxes

Historical Value and Tax Benefits

Tax Year Values		Land	Building(s)	Feature(s)	Market Value	Assessed Value
2019	✓ MKT	\$345,000	+	\$249,187	+	\$25,250 = \$619,437 (2.0%)
2018	✓ MKT	\$345,000	+	\$236,776	+	\$25,250 = \$607,026 (.69%)
2017	✓ MKT	\$345,000	+	\$232,615	+	\$25,250 = \$602,865 (5.3%)
2016	✓ MKT	\$320,000	+	\$227,550	+	\$25,250 = \$572,800
						\$376,493

Legal Description:

Flood Disclaimer

By performing a search with the local governing municipality or www.fema.gov, the property appears to be located in zone X, X500, AE. This Property was found in City of Belle Isle, community number 120181, dated 09/25/2009.

CERTIFIED TO:

JESSICA M. JONES

-Vertical Datum-

Benchmark Information

Florida Department of Transportation Datum Elevation: 92.78'

Florida Department of Transportation
Florida Permanent Reference Network (FPRN) District 5
G.P.S. - Geodetic NTRIP Network Base I.D. - Orlando, Orange County
Continuously Operating Reference Station (CORS) Station: ORL 1

(Elevations are based upon North American Vertical Datum 1988)

-Site Benchmark Information-

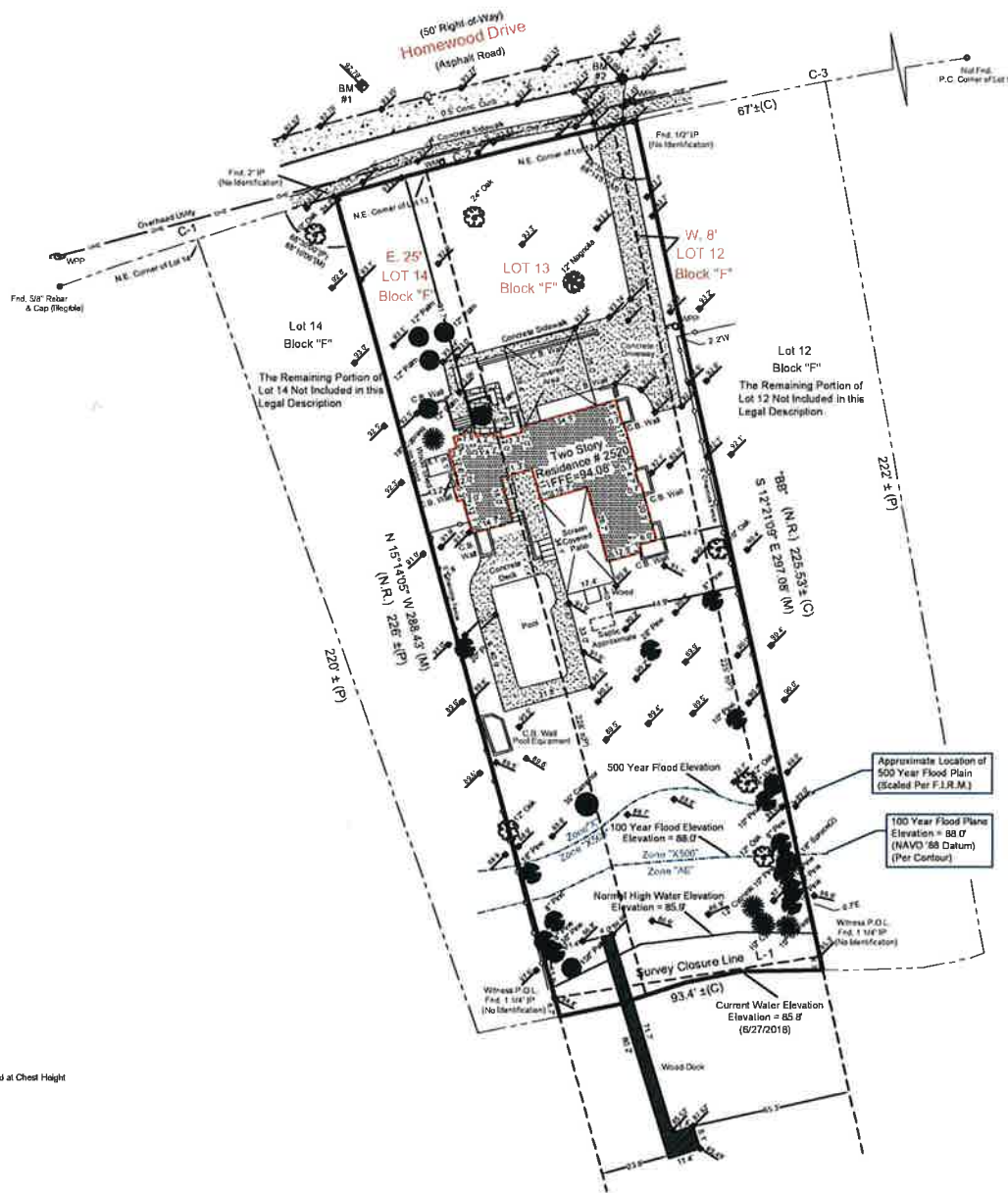
BM #1

Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 92.79'

BM #2

Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 93.08'

 = Existing Elevations (Typical)



Line Data

1.1

Survey Closure Line
S 81°10'20" W 93.19' (M)

Curve Data

C-1

R=1383.00'
L=100.00'
 $\Delta=4^{\circ}08'35''$
CB=N71°53'51"E
C=99.98'
N 71°55'15" E 100.0' (M)

Curve Data

C-2

R=1383.00'
L=108.08'
 $\Delta=4^{\circ}28'39''$
CB=N75°52'22"E
C=108.05'
N 75°53'41" E 107.6' (M)

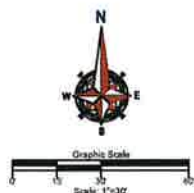
Curve Data

C-3

R=1383.00'
L=117.00'
 $\Delta=4^{\circ}50'50''$
CB=S79°16'16"W
C=116.97'

Tree Note:

Palm - Denotes Tree Type
(18") - Diameter of Tree measured at Chest Height



4

C

[illegible]







CODE COMPLIANCE

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS, BY WORKING ON, OR PROVIDING MATERIALS FOR THIS PROJECT HEREBY AGREE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT, AND TO COMPLY WITH ALL GOVERNING CODES, INCLUDING BUT NOT LIMITED TO, THE MOST CURRENT EDITIONS AS ADOPTED BY THE STATE OF FLORIDA, OF THE FOLLOWING:

2017 FLORIDA BUILDING CODE, RESIDENTIAL 6TH EDITION and all current amendments

2011 NATIONAL ELECTRIC CODE and all current amendments

ZONING INFORMATION

R-1-AA ZONING

SETBACKS
FRONT: 30'
SIDE: 7.5'
WATERFRONT REAR: 50'

BASE IMPERVIOUS SURFACE RATIO: 35%
MAXIMUM IMPERVIOUS SURFACE RATIO: 65%
MAXIMUM BUILDING HEIGHT: 35'

PROJECT DESCRIPTION:

REMODEL OF EXISTING POOL AND POOL DECK
ADDITION OF NEW DECK AND 300SF (LIVING AREA) GUEST COTTAGE

PROPERTY DESCRIPTION:

PARCEL NUMBER: 19-23-30-5888-06-122
JURISDICTION: CITY OF BELLE ISLE

GENERAL SPECIFICATIONS

ROOFING

- MIN. SLOPE ROOF TO BE MODIFIED BITUMINOUS ROOF BY CERTAINTED OVER TAPERED RIGID INSULATION @ 1/4" FT MIN. MAINTAIN HORIZONTAL FASCIA EDGE.
- POLYCARBONATE BY GALINA USA - OPAL/ 18MM/ 5-WALL RDC OR APPROVED SIMILAR.
- ROOF DECKING TO BE 1/2" ZIP SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED SIMILAR.

WINDOWS AND DOORS

- WINDOWS AND DOORS TO BE BY WESTERN WINDOW OR APPROVED SIMILAR W/ FLORIDA PRODUCT APPROVAL
- DOOR HARDWARE - EMTEK OR APPROVED SIMILAR

CONCRETE

- NEW SLAB ON GRADE 4" - REINFORCED WITH 6X6 W1.4/1.4 WWM AND OVER 6 MIL VAPOR BARRIER OVER 95% COMPACTED TERMIT TREATED EARTH. CONCRETE TO BE 3000 PSI MINIMUM AFTER 28 DAYS. FIBER REINFORCED CONCRETE CAN BE SUBSTITUTED FOR THE WWM.
- ALL SLOPES IN CONCRETE SLABS AND TOPPINGS TO BE INTEGRAL WITH THE SLAB POUR AND TO BE VERIFIED WITH ARCHITECT AND BY THE GENERAL CONTRACTOR PRIOR TO POURING TO AVOID ANY PONDING OF WATER.
- EXPANSION JOINTS TO BE DETERMINED BY THE ARCHITECT PRIOR TO POURING CONCRETE AND ONCE FINAL CONCRETE MIX IS DETERMINED. GENERAL CONTRACTOR TO NOTIFY ARCHITECT 1 WEEK PRIOR TO POURING.
- UNCOUPLING MEMBRANE BY SCHLUTER DITRA SYSTEMS - MODEL DITRA 5M - 12" WIDE OVER THINSET MORTAR OVER CLEAN CMU OR CONCRETE OR ICF.

MASONRY

- ALL NEW EXPOSED MASONRY TO MATCH EXISTING IN TERMS OF CMU TEXTURE AND JOINT STYLE. JOINTS ARE TO ALIGN HORIZONTALLY WITH EXISTING.

WATERPROOFING CMU

DRYLOK LATEX COATING - INSTALLED PER MANUFACTURERS RECOMMENDATION ON EXTERIOR SIDE OF WALL. TOP OF DRYLOK TO BE 2" BELOW TOP OF PLANTER WALL

INSULATION

- OPEN CELL AND CLOSED CELL POLYURETHANE INSULATION SHALL BE SEALITETM BY NCFI POLYURETHANES OR APPROVED SIMILAR

FASTENERS

- BY SIMPSON STRONG-TIE OR EQUAL, HOT DIPPED GALV. ZMAX
- ANY DISSIMILAR METALS TO BE SEPARATED WITH NYLON WASHER OR APPROPRIATE MATERIAL. CONTRACTOR TO CONFIRM IN ALL APPLICATIONS AND NOTIFY ALL SUB CONTRACTORS AND VERIFY SEPARATION.
- TRELLIS AND TRIM - 316 STAINLESS STEEL TRIM SCREWS, PRE-DRILL ALL IPE.
- DETAIL DRAWINGS HAVE PRIORITY OVER FASTENERS LISTED HERE IF ANY DISCREPANCIES. NOTIFY ARCHITECT TO CONFIRM.

HARDWOODS

- IPE WOOD TO BE S4S AND FSC APPROVED.
ALTERNATE FOR DECKING:
(1) KILN DRIED CUMARU FCS APPROVED.
(2) TREX, TRANSCEND 1 X 6 SQUARE EDGE BOARD- COLOR TBD OR APPROVED SIMILAR
VERIFY WITH ARCHITECT PRIOR TO ORDERING ANY HARDWOODS.

EXTERIOR FINISHES

- PAINT FASCIA/EXPOSED ROOF FRAMING- SOLID BODY STAIN BY SW WOOD CLASSIC OR APPROVED SIMILAR. COLOR: TBD
- EXTERIOR CEILING FINISH TO BE SYNTHETIC STUCCO BY STO CORP, SAND FINISH - COLOR: TBD
- EXTERIOR GYPSUM CEILING BOARD TO BE 5/8" DENSGLASS GOLD.
- PVC FASCIA BOARD TO BE BY AZEK OR APPROVED SIMILAR.
PROVIDE 4 LF PAINTED SAMPLE

INTERIOR FINISHES

- ALL CERAMIC, GLASS TILE, AND STONE TILE INSTALLATION WILL BE IN ACCORDANCE WITH THE TILE COUNCIL OF NORTH AMERICA (TCNA) DESIGN STANDARDS (PROVIDE SAMPLES FOR APPROVAL)
- INTERIOR WALL & CEILING FINISH - INTERIOR PLASTER OVER BLUEBOARD - MEDIUM TEXTURE WALLS (1/2"), HEAVY TEXTURE CEILINGS (5/8") - 4'X4' SAMPLES REQUIRED FOR APPROVAL
- TILE UNDERLAYMENT - SCHLUTER SYSTEM
- GENERAL EXTERIOR TYPICAL CAULKING TO BE ADHESIVE CAULK BY OSI QUAD PRO SERIES CAULKING. ROOFING AND FLASHING NOT INCLUDED.
- WOOD FLOORING IS RUSSIAN WHITE OAK BY SIBERIAN FLOORS - SEE TYPICAL INSTALLATION VIDEO AT: www.youtube.com/watch?v=u5szYJrxwns

EQUIPMENT

- FIREPLACE - REGENCY® LIBERTY® LR13E NATURAL GAS FIREPLACE OR APPROVED SIMILAR
- NATURAL GAS WATER HEATER BY RINNAI ULTRA SERIES RUR TANKLESS HOT WATER HEATER
- AC SYSTEM BY MITSUBISHI MR SLIM 2 ZONE DUCTED HEAT PUMP OR APPROVED SIMILAR
- HOSE BIBS - RECESSED AND COVERED BY AQUOR WATER SYSTEMS OR APPROVED SIMILAR
- HOOD BY ZLINE OR APPROVED SIMILAR

POOL - BY OTHERS (DESIGN GUIDELINES)

- POOL SHALL BE CONSTRUCTED OF REINFORCED 5000 PSI SHOTCRETE.
- POOL FINISH SHALL BE NPT STONECAPES MINI PEBBLE "TAHOE BLUE." ALTERNATE TO BE EXPOSED AGGREGATE W/ MOSAIC GLASSS TILE ACCENT AT WATERFALL WALL AND WATER LINE.
- POOL HEAT PUMP BASIS OF DESIGN IS RHEEM HEAT PUMP CLASSIC SERIES M6310H.
- POOL SANITATION SYSTEM TO BE SALTWATER BASED.
- POOL PUMP TO UTILIZE 2" PVC PIPING AND POOL PUMP SHALL BE SIZED AT 1/2 HP PER 1000 GAL. MAXIMUM

LANDSCAPE - BY OTHERS

- ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED A MINIMUM OF 2" FROM BUILDING. THE IRRIGATION SYSTEM SHALL BE INSTALLED SUCH THAT NO WATER HITS THE BUILDING DURING OPERATION.
- SLOPE GRADES AWAY FROM BUILDING ON ALL SIDES.
- IF APPLICABLE, CONTRACTOR SHALL REMOVE ALL CLASS 1 INVASIVE EXOTIC PLANTS FROM LOT. SEE www.fwpc.org/list1.htm FOR A LIST OF INVASIVE SPECIES
- LANDSCAPE CONTRACTOR TO PROVIDE "4" DEEP NON-CYPRESS MULCH AROUND PLANTS, TREES AND LANDSCAPE BEDS. ACCEPTABLE MULCH TYPES INCLUDE PINE STRAW, PINE BARK, MELALEUCA, EUCALYPTUS.
- CONTRACTOR SHALL UTILIZE SILT FENCE TO CONTROL SEDIMENT. SEE SITE PLAN FOR PLACEMENT LOCATION.

WIND CALCULATIONS

WIND LOAD BY FBC 1609 AND ASCE7-10
RISK CATEGORY: II
EXPOSURE D WIND SPEED: 136 MPH (3 SECOND GUST)

GUEST COTTAGE	FREE STANDING ROOF
ENCLOSED DESIGN. INTERNAL PRESSURE COEFFICIENT +/- .18 MEAN ROOF HEIGHT: 15'	OPEN DESIGN. INTERNAL PRESSURE COEFFICIENT +/- 0.0 MEAN ROOF HEIGHT: 15' MAIN WIND FORCE RESISTING SYSTEM MAXIMUM PRESSURE 25.5, -23.3
COMPONENTS AND CLADDING	COMPONENTS AND CLADDING
ROOF ZONE 1: 11.9, -29.4 ROOF ZONE 2: 11.9, -49.3 ROOF ZONE 3: 11.9, -74.1 OVERHANG ZONE 1.2: -42.3 OVERHANG ZONE 3: -69.7 WALL ZONE 4: 26.9, -29.1 WALL ZONE 5: 26.9, -35.8 10'x8' SLIDING GLASS DOOR 23.3, -25.5 20 SF FIXED GLASS 25.7, 25.9	ROOF ZONE 1: 25.4, -23.3 ROOF ZONE 2: 35.9, 38.1 ROOF ZONE 3: 50.8, -69.8

*PRESSURES ARE WORKING STRESS DESIGN (NOMINAL) PRESSURES IN POUNDS PER SF

JONES RESIDENCE

ADDITION + REMODEL
2520 HOMEWOOD DR,
BELLE ISLE, FLORIDA, 32809

PARCEL #: 19-23-30-5888-06-122

ARCHITECTURAL DRAWINGS

- A-0.1 SITE PLAN/ COVER SHEET/ DEMOLITION PLAN
- A-0.2 GENERAL NOTES
- A-1.1 FOUNDATION SLAB / SLAB PLAN
- A-1.2 FLOOR PLAN / FRAMING PLAN / ROOF PLAN
- A-1.3 ELECTRICAL/ MECHANICAL/ RCP
- A-2.1 GUEST COTTAGE ELEVATIONS
- A-3.1 BUILDING SECTIONS

THIS PROJECT HAS A 3D BimX COMPONENT.
FOR ACCESS:
DOWNLOAD BIMX APP ON TABLET OR SMARTPHONE
AND OPEN LINK BELOW ON BROWSER
<https://bimx.graphisoft.com/model/52c5c52f-99a1-4135-95d5-6fa225fd3722>

NOTE: THE 3D MODEL IS NOT LIMITED TO THE SCOPE OF THE WORK OUTLINED IN THIS PERMIT AND DEPICTS ALL POSSIBLE PHASES OF THE DESIGN.

ARCHITECT

KEVIN SCHWEIZER ARCHITECT
205 PARKETOWNE BLVD, SUITE 3
EDGEWATER, FL 32132
PHONE: 386-405-8322

CONTACT: KEVIN SCHWEIZER, ARCHITECT
E-MAIL: kevin@ksarchitect.net

OWNER:

MARK AND JESSICA JONES
2520 HOMEWOOD DR,
BELLE ISLE, FLORIDA, 32809
PHONE: 407-376-6397

CONTACT: MARK JONES
EMAIL: majones@cloud.com

CONTRACTOR

PROTEAM PND LLC,
747 CLIFFORD DRIVE,
ORLANDO, FLORIDA, 32804
PHONE: 321-295-6572

CONTACT: KEITH SMITH
EMAIL: ksmith7047@gmail.com

AREA CALCULATIONS

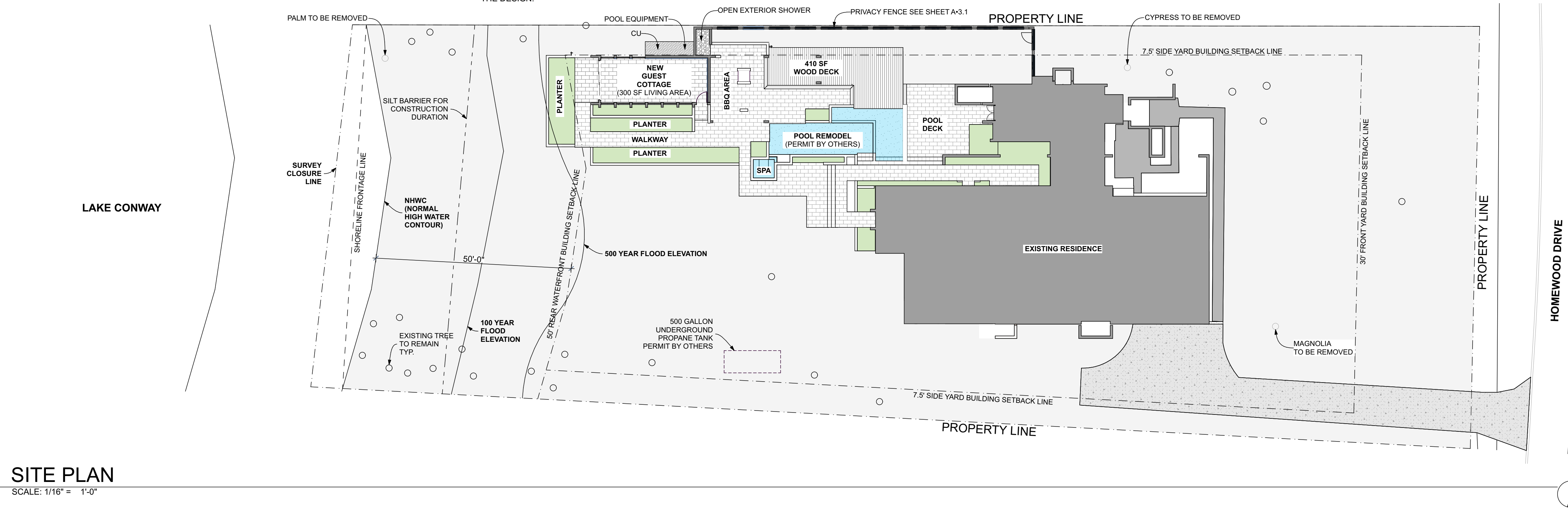
EXISTING RESIDENCE:	3,444	SF
GUEST COTTAGE:	364	SF
DRIVEWAY	1,340	SF
POOL DECK	2,231	SF
POOL+SPA	444	SF
TOTAL IMPERVIOUS AREAS	7,823	SF
TOTAL SITE AREA:	29,387	SF
TOTAL LOT COVERAGE: (SITE AREA TOTAL IMPERVIOUS AREA)	26.6%	
BASE IMPERVIOUS SURFACE RATIO: MAXIMUM IMPERVIOUS SURFACE RATIO:	35% 65%	

SITE PLAN MATERIAL LEGEND

	EXTERIOR SHOWER
	AC PAD
	POOL
	NEW PLANTER
	NEW POOL DECK PAVER
	EXISTING CONCRETE DRIVEWAY
	EXISTING BUILDING FOOTPRINT
	EXISTING SIDEWALK



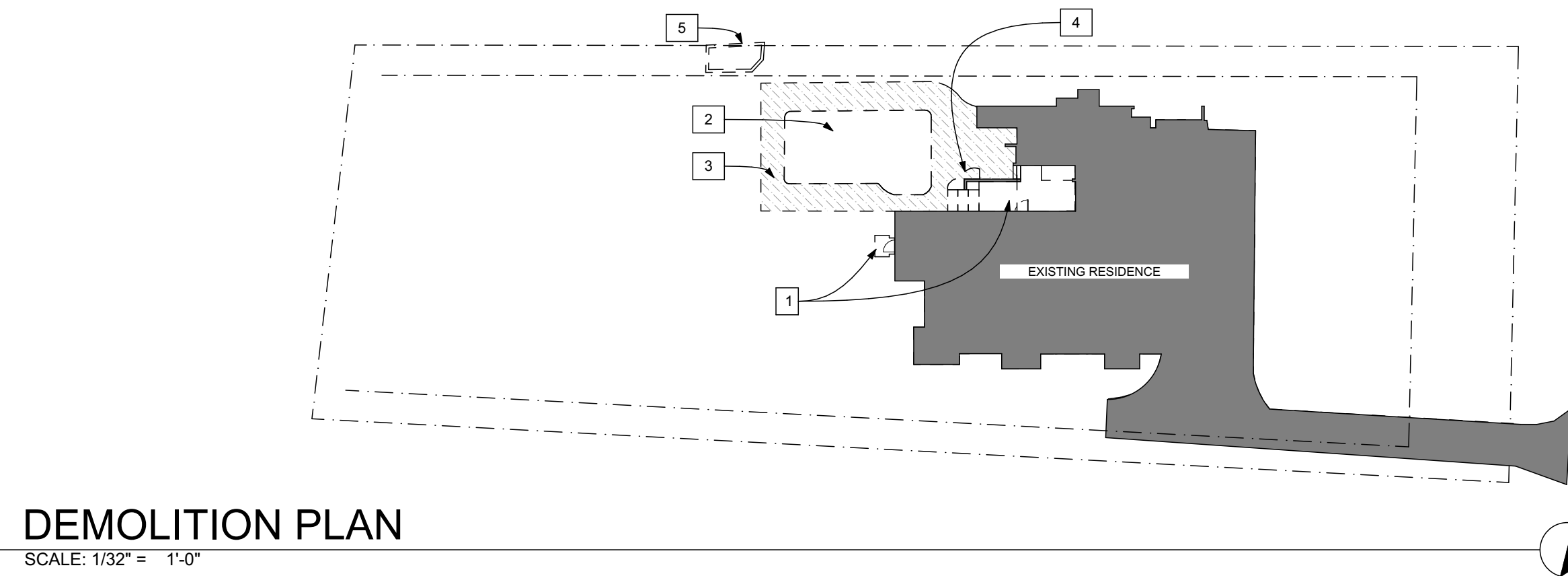
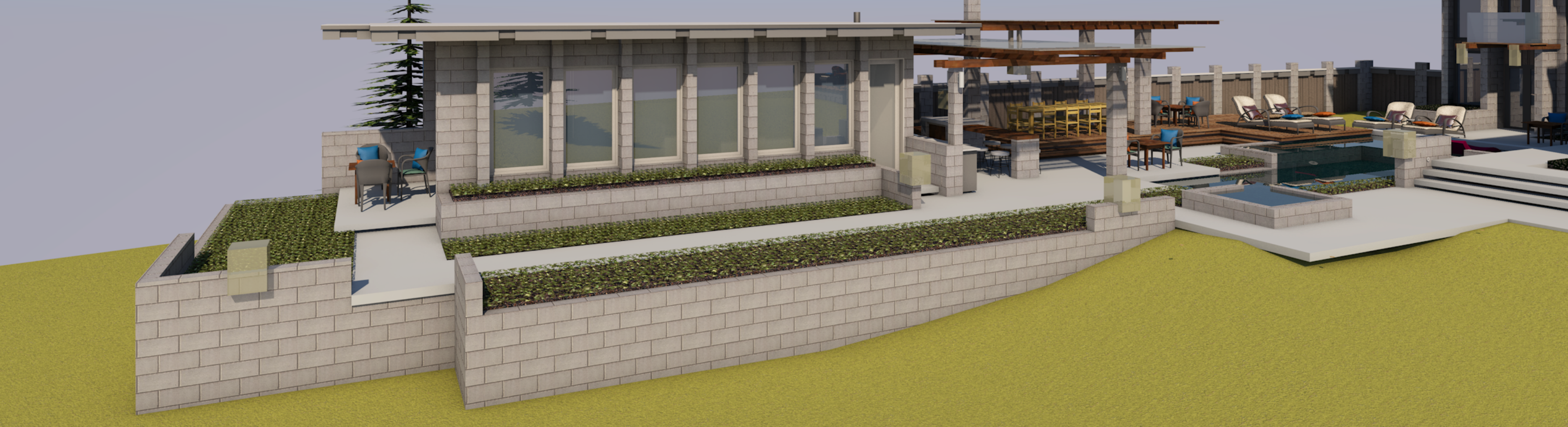
SITE LOCATION (NOT TO SCALE)



SITE PLAN

SCALE: 1/16" = 1'-0"

BUILDING PERSPECTIVE



DEMOLITION PLAN

SCALE: 1/32" = 1'-0"

DEMOLITION NOTES

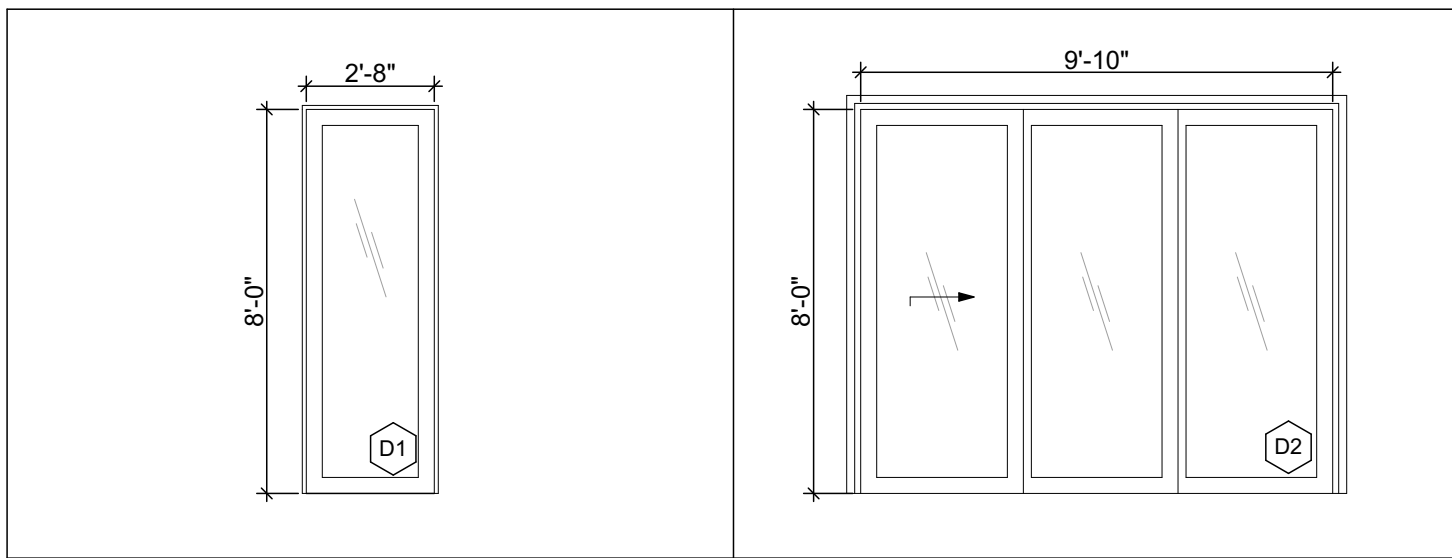
ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AT APPROPRIATE TIMES TO AVOID HAZARD WHILE EXITING THE BUILDING

WORK SHALL CONFORM TO THE LATEST EDITION OF ALL APPLICABLE REFERENCE SPECIFICATIONS AND TO ALL GOVERNING BUILDING CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION

JOB SITE INSPECTIONS BY DEMOLITION CONTRACTOR MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS AND DETERMINE THE NATURE AND SCOPE OF WORK OR ANY DIFFICULTIES THAT MIGHT ARISE AT THE TIME OF WORK - ANY DISCREPANCY IN THE DEMOLITION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT

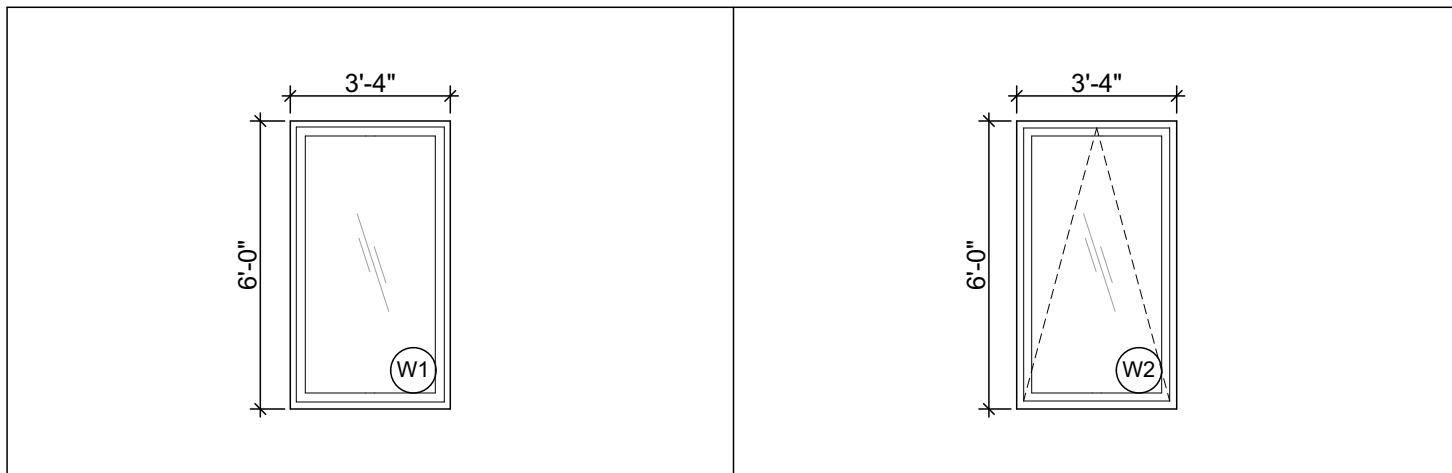
- REMOVE CONCRETE WALKWAY & STEPS. LEVEL AND PREP GRADE FOR NEW CONSTRUCTION.
- REPAIR AND MODIFY POOL - SEE POOL DRAWINGS SHEET A-1.2, A-3.1
- REMOVE POOL DECK
- REMOVE PLANTER
- REMOVE CONCRETE BLOCK WALL AND POOL EQUIPMENT - VERIFY WITH OWNER THE OPTION TO STORE EQUIPMENT

DOOR SCHEDULE					
ID	DOOR		QUANTITY	TYPE	MODEL
	W	HT			
D 1	2'-8"	8'-0"	1	GLASS DOOR	TBD
D 2	9'-10"	8'-0"	1	3 PANEL SLIDING GLASS DOOR	TBD



WINDOW SCHEDULE					
ID	WINDOW		QUANTITY	TYPE	MODEL
	W	HT			
W 1	3'-4"	6'-0"	7	FIXED GLASS	TBD
W 2	3'-4"	6'-0"	2	OPERABLE AWNING	TBD

*NOTE: OPERABLE AWNING AND FIXED CASING WINDOWS TO HAVE MATCHING CASING.



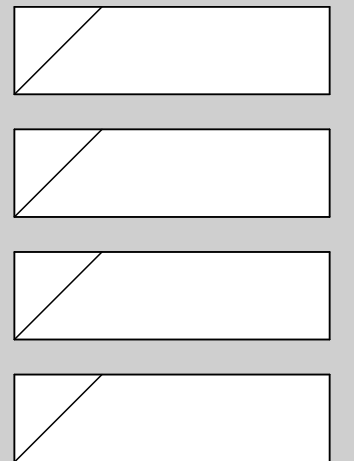


KEVIN SCHWEIZER
ARCHITECT
AA26002348
CORAL DESIGN & PLANNING INC.
145 CANAL STREET
NEW SMYRNA BEACH, FL 32168
PHONE:
C 386-405-8322
O 386-314-0044

ALL IDEAS, DESIGNS, PLANS
AND ARRANGEMENTS
INDICATED ON THIS SHEET
ARE THE PROPERTY OF KEVIN
SCHWEIZER ARCHITECT,
AND WERE CREATED,
EVOLVED AND DEVELOPED
FOR THIS SPECIFIC PROJECT.

JONES RESIDENCE REMODEL

NILS M. SCHWEIZER ORIGINAL - 1965
2520 HOMEWOOD DRIVE,
BELLE ISLE, FLORIDA 32809



SITE PLAN/ COVER
SHEET/ DEMOLITION
PLAN
SEPTEMBER 10, 2019

SHEET NUMBER

A-0.1

CHARLES KEVIN SCHWEIZER
FLORIDA REGISTERED ARCHITECT
AR0013154

ARCHITECT'S INTENT:

IN THE EVENT OF ANY AMBIGUITY OR QUESTION WITH REGARD TO THE INTENT OF THE DOCUMENTS, THE ARCHITECT SHALL INTERPRET THE CONSTRUCTION DOCUMENTS.

SITE/LANDSCAPING:

- 1. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED A MINIMUM OF 2" FROM BUILDING. THE IRRIGATION (IF USED) SYSTEM SHALL BE INSTALLED SUCH THAT NO WATER HITS THE BUILDING DURING OPERATION.
- 2. NO PLANT MATERIAL OR TURF SHALL BE PLACED WITHIN 2' OF BUILDING.
- 3. SLOPE GRADIES AWAY FROM BUILDING ON ALL SIDES.
- 4. IF APPLICABLE, CONTRACTOR SHALL REMOVE ALL CLASS 1 INVASIVE EXOTIC PLANTS FROM LOT. SEE www.flhpc.org/listlist.htm FOR A LIST OF INVASIVE SPECIES.
- 5. LANDSCAPE CONTRACTOR TO PROVIDE 3'-4" DEEP NON-CYPRESS MULCH AROUND PLANTS, TREES, AND LANDSCAPE BEDS. ACCEPTABLE MULCH TYPES INCLUDE PINE STRAW, PINE BARK, MELALEUCA, EUCALYPTUS, AND RECYCLED.
- 6. CONTRACTOR SHALL UTILIZE SILT FENCE TO CONTROL SEDIMENT.

ALLOWANCES:

- 1. CUSTOM 4" GATE - \$800
- 2. CUSTOM LIGHTS - \$2,500
- 3. LANDSCAPE LIGHTING - \$2,500
- 4. LANDSCAPE AND IRRIGATION - \$6,000
- 5. SECURITY / WIFI - \$1,500
- 6. LIGHT FIXTURES / FANS - \$3,500
- 7. PLUMBING FIXTURES - \$2,500
- 8. APPLIANCES - \$4,500
- 9. TRAVERTINE TILE / PAVER - 2,050 SF @ \$3.50 / SF = \$7,200 - MATERIAL ONLY
- 10. TILE FOR BATH AND BACK SPLASH - \$2,500 - MATERIAL ONLY
- 11. BATH ACCESSORIES AND MIRROR - \$1,000 - MATERIAL ONLY

STRUCTURAL NOTES:

- 1. STRUCTURE HAS BEEN DESIGNED FOR A 136 MILE PER HOUR BASIC WIND SPEED EXPOSURE D, IN ACCORDANCE WITH THE 2010 EDITION OF THE FLORIDA STATE BUILDING CODE (FBC).
- 2. DESIGN ROOF LOADS:
LIVE LOAD = 20 PSF
DEAD LOAD = 15 PSF
- DESIGN FLOOR LOADS:
LIVE LOADS: MINIMUM UNIFORMLY DISTRIBUTED
UNINHABITABLE ATTIC W/ STORAGE = 30 PSF
LIVING AREA = 40 PSF
BALCONIES = 60 PSF
DEAD LOAD = 15 PSF
- 3. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL CONSTRUCTION AND ITS CONTENTS.
- 4. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT GIVEN OR INDICATED. ANY DIMENSION DISCREPANCIES FOUND ON THE STRUCTURAL DRAWINGS SHALL BE CONTROLLED BY THE DIMENSIONS INDICATED ON THE ARCHITECTURAL DRAWINGS AFTER VERIFICATION WITH THE ARCHITECT & ENGINEER.
- 5. FOR MOUNTING AND SECURING MECHANICAL EQUIPMENT, REFER TO THE MANUFACTURER'S INSTRUCTIONS.

CONCRETE:

- 1. STRUCTURAL CONCRETE, INCLUDING FOOTINGS, SHALL CONFORM TO THE REQUIREMENTS OF ACI 301 AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS (FO) OF 3000 PSI UNLESS OTHERWISE NOTED. CONCRETE FOR SLABS ON-GRADE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 2500 PSI.
- 2. CONCRETE, WHEN PLACED, SHALL HAVE A SLUMP OF 6 INCHES MAXIMUM AND 1 INCH MINIMUM EXCEPT FOR SLABS ON-GRADE WHICH SHALL HAVE A MAXIMUM SLUMP OF 5 INCHES AND A MINIMUM OF 3 INCH.
- 3. ALL REINFORCING SHALL CONFORM TO ASTM 615 FOR GRADE 60 STEEL; WELDED WIRE MESH TO ASTM A-185.
- 4. CHECK ALL DRAWINGS AND APPLICABLE MANUFACTURER'S SHOP DRAWINGS FOR LOCATION OF ALL EMBEDDED ITEMS SUCH AS PIPE SLEEVES, ANCHOR BOLTS, ETC., PRIOR TO PLACING CONCRETE.
- 5. REINFORCEMENT FOR CONTINUOUS FOOTINGS SHALL BE CONTINUOUS AND SPLICED WITH A FULL 30 INCH LAP. PROVIDE CORNER BARS FOR EACH CONTINUOUS BAR, HAVING 30 INCH LEGS IN EACH DIRECTION.
- 6. REINFORCEMENT FOR BOND BEAMS SHALL BE CONTINUOUS AND SPLICED WITH A FULL 30 INCH LAP. PROVIDE CORNER BARS FOR EACH CONTINUOUS BAR HAVING 30 INCH MINIMUM LEGS IN EACH DIRECTION.
- 7. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START INITIAL CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR NOT LESS THAN 7 DAYS IN ACCORDANCE WITH ACI 301 PROCEDURES. PERFORM CURING OF THE CONCRETE BY CURING AND SEALING COMPOUND, BY MOIST CURING, BY MOISTURE RETAINING COVER CURING OR BY COMBINATION THEREOF.
- 8. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR THE REINFORCEMENT:
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - B. CONCRETE EXPOSED TO EARTH OR WEATHER: #5 BARS AND SMALLER, 1 1/2" INCHES; #6 BARS AND LARGER, 2 INCHES
- 9. CONCRETE SLAB ON GRADE CONTROL JOINTS SHALL BE AS SHOWN ON THE FOUNDATION PLAN OR TYPICAL DETAILS. WHERE CONTROL JOINTS ARE NOT SHOWN ON PLANS, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY KEYED, DOVELEED OR SAW-CUT CONTROL JOINTS SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 260 SQUARE FEET. RATIO OF BOUNDARY DIMENSIONS SHALL NOT EXCEED 5:1. KEYED OR DOVELEED CONTROL JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING. ALL OTHER JOINTS MAY BE SAW-CUT. POST-TENSIONED CONCRETE SLABS ON GRADE SHALL HAVE NOT HAVE CONTROL JOINTS UNLESS SPECIFICALLY NOTED ON THE PLANS.
- 10. CONSTRUCTION JOINTS OR POUR JOINTS IN STRUCTURAL ELEMENTS (BEAMS, COLUMNS, ELEVATED SLABS, ETC.) NOT SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS REQUIRE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING PROPOSED JOINTS TO ENGINEER FOR APPROVAL.
- 11. ALL CONCRETE SHALL UTILIZE A MINIMUM OF 20% FLY ASH CONTENT.

STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL SHAPES SHALL CONFORM TO ASTM A-36 AND THE 'SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS' BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. ALL STEEL PIPE SHALL CONFORM TO ASTM A-53, TYPE E (Fy = 35 KSI).
- 2. ALL SHOP CONNECTIONS TO BE WELDED (UTILIZING E70XX ELECTRODES) AND FIELD CONNECTIONS TO BE BOLTED UNLESS OTHERWISE SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF 'THE STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION' OF THE AMERICAN WELDING SOCIETY.
- 3. ALL STEEL TO RECEIVE ONE SHOP COAT AND ONE FIELD TOUCHUP COAT OF APPROVED PAINT.
- 4. ALL BOLTED CONNECTIONS SHALL CONSIST OF ASTM A325 HIGH STRENGTH BOLTS AND HARDENED WASHERS AS SHOWN ON THE STRUCTURAL DRAWINGS. ALL BOLTED CONNECTIONS SHALL CONFORM TO THE 'SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS' BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- 5. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A36 OR A307 (THREADED ROD).
- 6. SUBMIT SHOP DRAWINGS FOR REVIEW OF CONFORMANCE TO DESIGN CONCEPT. CONTRACTOR TO MAKE CHANGES AS REQUIRED AND RESUBMIT TWO COPIES.
- 7. GROUT FOR COLUMN BASE PLATES SHALL BE NON-SHRINK GROUT BY 'EMBECCO' OR APPROVED EQUAL, 5000 PSI MINIMUM.

FOUNDATIONS:

- 1. SLAB HAS BEEN DESIGNED FOR A MINIMUM UNIFORM ALLOWABLE SOIL BEARING VALUE OF 2000 PSF. CONTRACTOR SHALL SUBMIT SOILS TEST REPORTS TO THE ARCHITECT VERIFYING THE ALLOWABLE SOIL BEARING CAPACITY PRIOR TO ANY FLAT WORK.
- 2. CONTRACTOR RESPONSIBLE FOR IN-PLACE SOILS TO BE UNIFORMLY COMPACTED AND TESTED TO ENSURE MINIMUM SOIL BEARING PRESSURE CAPACITY OF 2,000 PSF.
- 3. ANY ADDITIONAL FILL MATERIAL REQUIRED SHALL CONSIST OF SOILS THAT CONTAIN NOT MORE THAN 12 % OF FINES (SILT OR CLAY PARTICLES) PASSING A NO. 200 SIEVE AND SHALL BE PLACED IN UNIFORM LAYERS NOT EXCEEDING 12.0 INCHES THICK. EACH LAYER SHALL BE SYSTEMATICALLY AND UNIFORMLY COMPACTED IN THE MANNER AND TO THE DEGREE SPECIFIED FOR THE IN-PLACE SOILS.
- 4. COMPLY WITH SPECIFIED TERMITE TREATMENT (SECTION 1816 FBC), UNLESS LATEST REGULATIONS WILL NOT ALLOW SPECIFIED CHEMICALS. PROVIDE SUBMITTAL OF CURRENTLY ALLOWED CHEMICALS. IF NO CHEMICALS SPECIFIED OR NOT ALLOWABLE AS SPECIFIED, TERMITE TREATMENT SHALL BE IN COMPLIANCE WITH LATEST APPLICABLE FHA RULING AND STATE LAW. CONTRACTOR TO FURNISH OWNER WITH A WRITTEN GUARANTEE 5 YEAR WRITTEN BOND PRIOR TO RECEIVING PAYMENT, UNLESS INDICATED OTHERWISE IN SPECIFICATIONS.

MASONRY:

- 1. ALL MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90 FOR LOAD BEARING MASONRY WITH A MINIMUM Fm OF 1500 PSI UNLESS NOTED OTHERWISE ON THE PLANS. MASONRY STRENGTH (Fm DESIGN) 1500
- BLOCK STRENGTH = 1900
- MORTAR STRENGTH = 1800
- GROUT STRENGTH = 2000
- 2. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL THE REQUIREMENTS OF THE 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 530.1-02/ASCE 5-02/MS 402-02), AS PUBLISHED BY THE MASONRY STANDARDS JOINT COMMITTEE.
- 3. MASONRY CONSTRUCTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A 'CERTIFIED STRUCTURAL MASONRY CONTRACTOR' OR 'CERTIFIED STRUCTURAL MASON' AS RECOGNIZED BY THE FLORIDA CONCRETE AND PRODUCTS ASSOCIATION (F&CPA).
- 4. MORTAR MIX SHALL CONFORM TO REQUIREMENTS OF FLBC STANDARDS. TYPE M OR S. TYPE M MORTAR SHALL BE USED WHERE MASONRY IS IN CONTACT WITH SOIL.
- 5. GROUT SHALL HAVE A SLUMP OF 8 TO 11 INCHES, BE IN CONFORMANCE WITH ASTM C 476-02 AND ATTAIN A COMPRESSIVE STRENGTH OF 1800 PSI. GROUT SHALL CONFORM TO REQUIREMENTS OF FLBC STANDARDS. USE SUFFICIENT WATER FOR GROUT TO FLOW INTO ALL JOINTS OF THE MASONRY WITHOUT SEGREGATION. ALL CELLS IN CONCRETE BLOCKS CONTAINING REINFORCING SHALL BE FILLED SOLID WITH GROUT. ALL MASONRY BEFORE FINISHED FLOOR OR GROUND SHALL BE GROUTED. HOLD GROUT DOWN 1'-1/2" BELOW TOP OF BLOCK AT GROUT LIFT JOINTS AND AT CONCRETE PLACED OVER MASONRY.
- 6. CONCRETE MASONRY UNITS SHALL BE PLUMB, TRUE TO LINE, WITH LEVEL COURSES ACCURATELY SPACED AND BUILT TO THE THICKNESS AND IN A RUNNING BOND AS INDICATED AND CONFORMING TO THE TOLERANCES SPECIFIED IN ACI 531.1 AND 530.1. CONCRETE UNITS SHALL BE STORED OFF OF THE GROUND SURFACE AND COVERED TO PROTECT THEM FROM ABSORBING RAIN OR BEING CONTAMINATED WITH OTHER FOREIGN MATTER. CONCRETE UNITS SHALL BE DRY WHEN LAID. EACH UNIT SHALL BE ADJUSTED TO FINAL POSITION IN THE WALL WHILE THE MORTAR IS STILL SOFT AND PLASTIC. ANY UNIT DISTURBED AFTER THE MORTAR HAS STIFFENED SHALL BE REMOVED AND RE-LAID WITH FRESH MORTAR. VERTICAL CELLS SHALL BE ALIGNED TO PROVIDE A CONTINUOUS, UNOBSTRUCTED OPENING. ALL ANCHORS, ACCESSORIES, FLASHING AND OTHER ITEMS TO BE BUILT-IN SHALL BE INSTALLED AS THE MASONRY WORK PROGRESSES. ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF OTHERS SHALL BE DONE BY MASONRY CRAFTSMEN WITH MASONRY SAWS.
- 7. HOLLOW UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS TO THE THICKNESS OF THE FACE SHELL AS A MINIMUM. THE WEBS SHALL BE LAID IN COURSES, STARTING AT THE FOUNDATION, ADJACENT TO CELLS TO BE REINFORCED AND/OR FILLED WITH GROUT. MORTAR JOINTS SHALL BE TOOLED WHEN THE MORTAR IS 'THUMBPRINT' HARD, BOTH ON THE INSIDE AND OUTSIDE SURFACES OF THE BUILDING WALL, WITH A TOOL PRODUCING A CONCAVE SURFACE. BED JOINTS SHALL BE 3/8" H 1/8" IN THICKNESS; HEAD JOINTS SHALL BE 3/8" L 1/4" L 3/8".
- 8. REINFORCING BARS SHALL BE PLACED IN THE MIDDLE OF THE CELLS, UNLESS NOTED OTHERWISE, AND TIED OR OTHERWISE SECURELY SUPPORTED AT THE TOP AND BOTTOM TO ENSURE THAT THE BAR DOES NOT MOVE DURING GROUTING. MINIMUM LAP AT ALL SPLICES OR DOWELS SHALL BE 30 INCHES FOR #5 BARS AND 25 INCHES FOR #4 BARS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 9. GROUTING SHALL BE ACCOMPLISHED IN 5 FOOT LIFTS. EACH LIFT SHALL BE MECHANICALLY CONSOLIDATED INTO THE PREVIOUS LIFT WHEN PLACED, SO AS TO PREVENT COLD JOINTS. RECONSOLIDATE AS REQUIRED. A 12 SQUARE INCH CLEANOUT OPENING SHALL BE PLACED AT THE BOTTOM OF EACH CELL TO BE FILLED AND IT SHALL BE THOROUGHLY CLEANED OUT PRIOR TO FILLING OF THE CELL. GROUT PLACEMENT STOPPED FOR MORE THAN ONE HOUR SHALL BE STOPPED BELOW THE TOP OF THE MASONRY UNIT 1-1/2" TO PROVIDE A KEY FOR SUBSEQUENT GROUTING.
- 10. THE MINIMUM CONTINUOUS UNOBSTRUCTED CELL AREA IN CELL TO RECEIVE GROUT MUST NOT BE LESS THAN 2" X 3". MORTAR FINIS MUST BE REMOVED AS BLOCK PLACEMENT PROCEEDS. MORTAR DROPPINGS MUST BE KEPT OUT OF CELLS WHICH ARE TO BE GROUTED.
- 11. TEMPORARY BRACING AND SHORING OF ALL CONCRETE MASONRY CONSTRUCTION, TO PROVIDE STABILITY DURING CONSTRUCTION UNTIL THE CONSTRUCTION ACHIEVES ITS PROPER STRENGTH AND SUPPORTING CONSTRUCTION CAN WITHSTAND THE INDUCED LOADS, TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 12. CONTROL JOINTS SHALL BE PROVIDED IN ACCORDANCE WITH THE LOCATIONS AND DETAILS SHOWN ON THE DRAWINGS. CONTROL JOINTS SHALL NOT EXTEND THROUGH THE TOP BOND BEAM COURSE. THE JOINTS ON BOTH SIDES OF THE WALL SHALL BE SEALED AND TOOLED SMOOTH.
- 13. UNLESS SPECIFICALLY SHOWN OTHERWISE, PROVIDE #9 GA. HOT DIP GALVANIZED 'DUR-O-WALL' TRUSS TYPE REINFORCING IN EVERY OTHER COURSE.
- LUMBER:
 - 1. ALL STRUCTURAL (LOAD BEARING) LUMBER SHALL BE S, Y, P, GRADE #1, KD, 19% (F) FOR LUMBER SIZES NOTED TO BE IN CONFORMANCE WITH VALUES LISTED IN THE NATIONAL FOREST PRODUCTS ASSOCIATION NATIONAL DESIGN STANDARD SUPPLEMENT TABLE 4B), AND SHALL CONFORM TO THE NATIONAL GRADING RULE FOR DIMENSION LUMBER, THE SOUTHERN PINE INSPECTION BUREAU AND THE SOUTHERN FOREST PRODUCTS ASSOCIATION. ALL NON-LOAD BEARING FRAMING LUMBER (INTERIOR WALLS) TO BE #2 S-P.F. OR BETTER.
 - 2. ALL PLYWOOD SHALL BE C-D OR C-C SHEATHING CONFORMING TO FBC STANDARD 23-2 AND 23-3. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PROVIDE BLOCKING AT PANEL EDGES WHEN INDICATED ON THE PLANS. ALL PLYWOOD SHALL CONFORM TO THE FOLLOWING NOMINAL THICKNESS, SPAN RATING AND NAILING PATTERN UNLESS NOTED OTHERWISE.

THICKNESS:	SPAN RATING:	EDGE NAILING:	FIELD NAILING:
15/32" (1/2")	32/16	8d RING SHANK @ 6" O.C.	8d RING SHANK @ 6" O.C.
19/32" (5/8")	32/16	10d @ 4" O.C.	10d @ 6" O.C.
- UNLESS NOTED OTHERWISE ON PLAN (SEE PLAN), ROOF SHEATHING SHALL BE 19/32" MINIMUM AT PANELIZED CONSTRUCTION LAY UP PLYWOOD WITH FACE GRAIN PARALLEL TO SUPPORTS USING 5-PLY PLYWOOD.
- 3. PREFABRICATED WOOD TRUSSES, JOISTS AND GIRDER TRUSSES SHALL BE DESIGNED TO SUPPORT THEIR SELF-WEIGHT, PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS, INCLUDING, BUT NOT LIMITED TO, WALLS EITHER PARALLEL OR PERPENDICULAR TO THE SPAN, ALL MECHANICAL AND OTHER EQUIPMENT, AND SHALL BE DESIGNED TO RESIST ALL DRAG FORCES, SHEARWALL UPLIFT AND DOWNWARD LOADS, AND OTHER SPECIAL LOADS NOTED ON STRUCTURAL, MECHANICAL, PLUMBING, OR ARCHITECTURAL DRAWINGS OR CALCULATIONS. MINIMUM ALLOWABLE SHEAR BRIDGING SHALL BE AS SPECIFIED AND BRIDGING SHALL BE AS DESIGNED BY TRUSS MANUFACTURER UNLESS NOTES OTHERWISE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ERECTION DRAWINGS AND DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER. SHOP DRAWINGS SHALL SHOW ANY SPECIAL DETAILS REQUIRED AT BEARING POINTS. ALL CONNECTIONS SHALL HAVE CURRENT ICBO APPROVAL. THE MANUFACTURER SHALL DESIGN CONNECTION OF TRUSS REQUIRING PREFABRICATED HARDWARE HANGER OR OTHER.
- 4. ALL TRUSSES FURNISHED SHALL BE SUPPLIED WITH SIGNED AND SEALED TRUSS DIAGRAMS PROVIDING THE MANUFACTURER'S TRUSS SPECIFIC REQUIREMENTS FOR BRACING AND LATERAL MOVEMENT. ALL TRUSS-TO-TRUSS CONNECTORS TO BE SUPPLIED BY THE TRUSS MANUFACTURER. VERIFY THAT THE CAPACITY OF THE TRUSS ANCHORS CALLED OUT ON THE CONSTRUCTION DRAWINGS MEET OR EXCEED THE UPLIFT VALUES ON THE TRUSS ENGINEERING. ANY TRUSS ANCHORS CALLED OUT THAT ARE OF INSUFFICIENT CAPACITY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR SUBSTITUTION.
- 4.1 PREFABRICATED WOOD TRUSSES-AND ANCILLARY WOOD-WORK, FASTENERS, ETC.
 - 1. FABRICATOR TO SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ALL ELEMENTS OVER SIGNATURE AND SEAL OF FLORIDA ENGINEER (SPECIALTY ENGINEER).
 - 2. SPECIALTY ENGINEER MAY SUBMIT PREFERRED CONNECTION AND OTHER DETAILS IF DIFFERENT FROM SAME ON DRAWINGS FOR APPROVAL.
- 5. DO NOT SHIM ANY FRAMING COMPONENTS. DO NOT CUT ANY FRAMING MEMBERS WITHOUT EXPRESS WRITTEN AUTHORITY FROM THE ENGINEER. DO NOT CUT ANY TRUSSES.
- 6. DO NOT LOCATE ANY HOLES CLOSER THAN FOUR (4) BOLT DIAMETERS FROM THE END OF ANY WOOD FRAMING MEMBER.
- 7. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE AND/OR MASONRY TO BE PRESSURE TREATED. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH THE GROUND TO BE PRESSURE TREATED TO 0.80 CCA.
- 8. ALL ROOF SHEATHING TO BE MINIMUM 19/32" AND WALL SHEATHING TO BE 15/32" WITH FRAMING AT 16" OC APA RATED C-D PLYWOOD AS COVERED IN PS 1 OR ZIP BOARD BY HUBER OS, BLOCKED WHERE SHOWN ON ROOF PLAN, NAILED TO ROOF AND WALL FRAMING USING 8d RING SHANK NAILS @ 6" ALL SUPPORTED EDGES AND BLOCKING AND 16" O.C. FIELD OF ROOF PANELS. USE 10d @ 4" O.C. WITHIN 5' OF ALL RIDGES, VALLEYS AND EAVES OF THE ROOF.
- 9. NAILS SHALL RING SHANK FOR ROOF PANEL SHEATHING.
- 10. LAMINATED TIMBER ELEMENTS (BENTS, BEAMS, DECK, ETC., AND ANCILLARY ACCESSORIES, FASTENERS, ETC.)
 - 1. FABRICATOR TO SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR ALL ELEMENTS OVER SIGNATURE AND SEAL OF FLORIDA ENGINEER (SPECIALTY ENGINEER)
 - 2. SPECIALTY ENGINEER MAY SUBMIT CONNECTION DETAILS FOR BENTS AND BEAMS AND FASTENING MODE AND INTERVALS FOR DECK. (CONNECTIONS FOR BEAM-ENDS TO RESIST ROTATION.)
- 10.1. GLUE-LAMINATED BEAMS (GLULAM) SHALL BE DOUGLAS FIR COMBINATION 24F-V4 AT SIMPLE SPANS AND 24F-V4 AT CANTILEVER SPANS HAVING THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fv = 190 PSI, Fc (PERPENDICULAR) = 650 PSI, E = 1,800,000 PSI, FABRICATION AND HANDLING SHALL CONFORM TO THE LATEST AMERICAN INSTITUTE FOR TIMBER CONSTRUCTION (AITC) AND ASTM STANDARDS. BEAMS SHALL BEAR AN APPROPRIATE GRADE STAMP CLEARLY NOTING ITS DESIGN PROPERTIES. UNLESS CAMBER AND TOLERANCE IS SPECIFICALLY NOTED ON THE DRAWINGS, BEAMS SHALL BE MANUFACTURED WITH INDUSTRY STANDARD MINIMUM CAMBER OR UPWARD TO SPAN/200. ERECT WITH CROWN OR CAMBER UP. IN HEADER CONDITIONS (BEAM BUILT INTO WALL) CRIPPLE FRAMING ABOVE HEADER SHALL MAINTAIN CAMBER. HEADER BEAMS MAY HAVE ZERO CAMBER, PROVIDED CRIPPLE FRAMING ABOVE HEADER IS BUILT WITH MINIMUM CAMBER STATED ABOVE.

FIRE BLOCKING - DRAFT STOPPING:

FIRE BLOCKING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH HORIZ. AND VERT. AND TO FORM A FIRE BARRIER BETWEEN FLOORS AND BETWEEN THE UPPER FLOOR AND THE ROOF SPACE. WALLS AND STUD PARTITIONS SHALL BE FIRE BLOCKED AT FLOORS, CEILINGS AND ROOFS.

CHIMNEYS SHALL BE FIRE BLOCKED WITH NONCOMBUSTIBLE MATERIAL. THE FIRE BLOCKING OF SPACES BETWEEN CHIMNEY AND WOOD JOISTS, BEAMS, OR HEADERS SHALL BE TO A DEPTH OF 1" ONLY, PLACED ON STRIPS OF METAL OR METAL LATH LAID ACROSS THE SPACES BETWEEN COMBUSTIBLE MATERIAL AND THE CHIMNEY.

FIRE BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

CONCEALED SPACES OF STUD WALLS AND PARTITION INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZ. SPACES SUCH AS SOFFITS, DROP CEILINGS, COVE CEILINGS ETC. AT OPENINGS ABOVE VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS AT ALL ALL INTERCONNECTIONS BETWEEN CONCEALED VERT. STUD WALLS OR PARTITION SPACES CREATED BY AN ASSEMBLY OF TRUSSES OR FLOOR JOISTS. FIRE BLOCKING SHALL BE PROVIDED FOR FULL DEPTH OF JOISTS OR TRUSSES AT THE ENDS AND OVER THE SUPPORTS

FIRE BLOCKING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, TWO THICKNESSES OF 1- INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, 3/4" PARTICLE BOARD WITH WITH JOINTS BACKED BY 3/4" PARTICLE BOARD, GYPSUM BOARDS, CEMENT FIBER BOARD, BATTS, OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. THE INTEGRITY OF FIRE BLOCKS SHALL BE MAINTAINED.

DOORS AND WINDOWS:

- 1. ALL DOORS AND WINDOWS SHALL MEET WITH MANUFACTURER'S INSTALLATION REQUIREMENTS IN ACCORD WITH SBCCI COMPLIANCE REPORT.
- 2. SEE MANUFACTURERS SPECIFICATION FOR REQUIRED FASTENERS TO ATTACH ALL GARAGE DOOR, ENTRY DOORS, PATIO DOORS AND WINDOWS TO STRUCTURE.
- 3. GARAGE DOOR "BUCKS" SHALL BE ATTACHED TO STUDS WITH 1/4" X 4" BOLTS, SPACED EACH 24" O.C. WITH MINIMUM OF 3 BOLTS.
- 4. DOOR AND WINDOW TYP. DETAILS.
- 5. ALL SLEEPING ROOM SHALL HAVE AT LEAST ONE MIN. EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING MIN. HEIGHT 24" MIN. WIDTH 20" AND A MIN. NET CLEAR OPENING AREA 5.7 SQ.FT. - FBC 1005.4
- 6. UNLESS OTHERWISE SPECIFIED BY WINDOW OR DOOR MFG. USE THE FOLLOWING FOR JAMBS AND HEADERS. FOR EXTERIOR WINDOWS USE 2x P.T. BUCK ON JAMBS AND HEAD. FOR EXTERIOR DOORS USE 2x PT BUCK AND JAMB.
- 7. FOR GARAGE DOOR USE MINIMUM 2" x 6" P.T. BUCK FOR JAMBS AND SPRING PADS.

APPROVED FASTENERS:

316" TAPCON WITH 1 3/4" PENETRATION = 230 LB OF HOLDING POWER

14" TAPCON WITH 1 1/4" PENETRATION = 320 LB OF HOLDING POWER

12" ANCHOR BOLT WITH 4 1/4" EMBED = 2410 LB OF HOLDING POWER

- 8. PROVIDE ENOUGH FASTENERS OF TYPE USED TO EQUAL OR EXCEED STATED LOADS ON TABLE.

MINIMUM FASTENERS FOR TOP BUCK IS 2
MINIMUM FASTENERS FOR SIDE BUCK IS 3.

- 9. TAPCON FASTENERS ON WINDOWS AND DOORS ARE REQUIRED NO CLOSER THAN 2" OR MORE THAN 4" FROM ENDS AND SPACED EQUAL DISTANCE ALONG BALANCE OF BUCK. WHEN USING 1/2" ANCHOR BOLTS ON GARAGE DOORS, THEY SHALL BE SPACED APPROX EQUAL DISTANCE. (MAX SPACING OF 42" AND SHALL NOT INTERFERE WITH PLACEMENT OF ROLLER BRACKET).

- 10. FLANGE DESIGN ON WINDOWS AND DOORS MAY VARY BETWEEN DIFFERENT MANUFACTURERS. SEE MANUFACTURES SPECIFICATIONS FOR REQUIRED FASTENERS TO ATTACH GARAGE DOOR, ENTRY DOORS, PATIO DOORS AND WINDOWS TO BUILDING. (USE MFG. INSTALLATION INSTRUCTIONS IF THEY VARY FROM THESE SHOWN HERE)

- 11. USE (1) #8 SCREW IN ALL FACTORY HOLES IN FRAME NOT USED FOR TAPCONS. SCREWS ARE TO BE OF SUFFICIENT LENGTH FOR MIN. 5/8" EMBED INTO WOOD BUCK.

- 12. NOTE: FRAME CONSTRUCTION
EACH GARAGE DOOR BUCK SHALL BE ATTACHED TO STUDS WITH 1/2" x 4" LAG BOLTS, NO CLOSER THAN 2" OR MORE THAN 8" FROM ENDS AND SPACED APPROX EQUAL DISTANCE BALANCE OF BUCK. (MAX SPACING OF 42") HEADER BUCK TO BE ATTACHED WITH 1/2" x 4" LAG BOLTS.

HVAC:

PLANS ARE SCHEMATIC. EXACT LAYOUT OF UNITS, DUCTS, RETURN AIR GRILLES AND SUPPLY GRILLES ETC, SHALL BE DETERMINED BY A FLORIDA A/C CONTRACTOR AND THE ARCHITECT ON SITE AFTER FRAMING IS COMPLETE. ENGINEERED SIGNED AND SEALED ENERGY CALCULATIONS SHALL BE SUPPLIED TO THE BUILDING DEPARTMENT BY THE HVAC CONTRACTOR OR APPROVED ENERGY ANALYST AT THE TIME OF PERMIT APPLICATION.

SMOKE DETECTORS:

ALL SMOKE DETECTORS TO BE UL LISTED, HARD WIRED, AND HAVE AUXILIARY BATTERY BACKUP

ELECTRICAL:

- 1. ARCH FAULT PROTECTION PROVIDED FOR ALL BEDROOM OUTLETS 210-12 NEC.
- 2. GROUND FAULT CIRCUIT INTERRUPTERS WILL BE PROVIDED IN ALL EXTERIOR OUTLETS, BATHROOM OUTLETS, AND KITCHEN OUTLETS WITHIN 6'-0" OF WATER SUPPLY.
- 3. ELECTRICAL PLANS AS SHOWN MAY VARY. ACTUAL LAYOUT AND ELECTRICAL SERVICE TO BE DETERMINED BY A LICENSED FLORIDA ELECTRICIAN. PANEL SIZE AND LOCATION TO BE DETERMINED BY BUILDER AND ELECTRICIAN AND SHALL BE APPROVED BY THE ARCHITECT.
- 4. ELECTRICAL SYSTEMS SHALL COMPLY WITH HE PROVISIONS OF NFPA 70.

PLUMBING:

- 1. PLAN IS SCHEMATIC. ACTUAL LOCATION AND SIZE OF RISE VENTS SHALL BE DETERMINED BY A LICENSED FLORIDA PLUMBER AND APPROVED BY THE ARCHITECT.
- 2. NO PLUMBING REQUIREMENTS SHALL INTERRUPT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- 3. PLUMBER TO PROVIDE AFFIDAVIT PRIOR TO FINAL PURGE PER FPC 610.

ROOF PENETRATIONS:

VERIFY ALL REQUIRED ROOF PENETRATIONS FROM HVAC, PLUMBING, ELECTRICAL, AND OTHER DRAWINGS. PROVIDE ALL NECESSARY PENETRATIONS WITH REQUIRED ACCESSORIES TO PREVENT MOISTURE INTRUSION AND RETAIN STRUCTURAL STABILITY. IN ADDITION TO THOSE INDICATED ON THE ROOF PLAN, CONSULT ARCHITECT IF ROOF PLAN CONFLICTS WITH AN REQUIRED ROOF PENETRATIONS.

FIRE RATED UL FLOOR, WALL, & ROOF PENETRATIONS:

CONTRACTOR MUST USE SPECIFIC UNDERWRITERS LABORATORIES DESIGN NUMBERED SYSTEMS FOR PENETRATING RATED WALLS, FLOORS, AND CEILINGS. ARCHITECT'S DOCUMENTS MAY OR MAY NOT INDICATE CERTAIN SYSTEMS. CONTRACTOR TO FURNISH UL NUMBERS ON DEMAND.

DEFERRED SUBMITTALS: (N/A)

- 1. IN ACCORDANCE WITH THE FBC, SPECIALTY ITEMS, PRE-ENGINEERED COMPONENTS, AND DESIGN/BUILD ELEMENTS MAY BE SUBMITTED FOR APPROVAL BY THE ENGINEER OF RECORD AND THE BUILDING OFFICAL BY DEFERRED SUBMITTAL. SUCH ITEMS ARE DEFINED AS THOSE SPECIFIED IN CONSTRUCTION DOCUMENTS BUT WHICH REQUIRE DESIGN BY THE MANUFACTURER, SUPPLIER OR INSTALLER.
- 2. DEFERRED SUBMITTALS ARE REQUIRED FOR THE FOLLOWING:
 - PREMANUFACTURED ROOF TRUSSES
 - GLULAM AND HEAVY TIMBER PACKAGE
 - STRUCTURAL INSULATED PANELS
- 3. SUBMITTALS SHALL INCLUDE:
 - A) CALCULATIONS, PREPARED AND SEALED BY AN APPROPRIATELY REGISTERED ENGINEER (THE 'SPECIALTY ENGINEER').
 - B) DIAGRAM PREPARED AND SEALED BY THE SPECIALTY ENGINEER, SHOWING LOAD MAGNITUDES AND LOCATIONS - SEPARATED INTO DEAD, LIVE, WIND AND/OR SEISMIC COMPONENTS - THAT ARE APPLIED TO THE PRIMARY STRUCTURE.
 - C) ERECTION OR DESIGN DRAWINGS BEARING THE SPECIALTY ENGINEER'S SEAL AND THE ARCHITECT'S STAMP INDICATING HIS REVIEW.
- 4. SUBMIT TWO (2) REPRODUCIBLE COPIES, TWO (2) WET SEALED COPIES FOR THE ARCHITECT AND ENGINEER OF RECORD'S FILE, AND ADDITIONAL COPIES AS ARE NECESSARY FOR THE BUILDING DEPARTMENT.
- 5. THE STRUCTURAL ENGINEER OF RECORD'S REVIEW IS STRICTLY LIMITED TO THE FOLLOWING:
 - A) THE DRAWINGS AND CALCULATIONS ARE PROPERLY SEALED.
 - B) THE LOAD CRITERIA IS CONSISTENT WITH THE CONTRACT DOCUMENTS AND UNIFORM BUILDING CODE REQUIREMENTS.
 - C) THE CONNECTIONS TO THE PRIMARY STRUCTURE ARE CONSISTENT WITH THE PRIMARY DESIGN.
 - D) THE BASE STRUCTURE IS CAPABLE OF SUPPORTING THE IMPOSED LOADS.
- 6. IF THE LOADS IMPOSED ON THE STRUCTURE EXCEED THE LOAD ALLOWANCE PROVIDED, THE STRUCTURAL ENGINEER OF RECORD WILL REJECT THE SUBMITTAL. ONLY AT THE OWNER'S WRITTEN DIRECTION WILL MODIFICATIONS TO THE BASE STRUCTURE TO ACCOMMODATE THE SPECIALTY ITEM(S) BE MADE BY THE ENGINEER OF RECORD. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE ENGINEER OF RECORD OR THE ARCHITECT HAVE APPROVED SUBMITTAL DOCUMENTS.

GENERAL NOTES (APPLIES TO ALL TRADES):

COORDINATION:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK FOR ALL TRADES.

ALL SUBCONTRACTORS AND GENERAL CONTRACTORS MUST REVIEW COMPLETE SETS OF DRAWINGS, SPECIFICATIONS, ADDENDA AND ALL OTHER PORTIONS OF THE COMPLETE CONSTRUCTION DOCUMENTS. YOUR SECTIONS WORK MAY BE SUPPLEMENTED BY OTHER SECTIONS. OTHER SECTIONS OF THE DOCUMENTS MAY CONTAIN ITEMS THAT ARE PART OF YOUR BID. OR, MAY CONFLICT WITH YOUR SPECIFIC SECTION. YOU ARE TO INCLUDE THE MOST STRINGENT REQUIREMENTS. IN PARTICULAR, CLOSELY COMPARE THE PLUMBING, HVAC, AND ELECTRICAL SECTIONS WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. IN PARTICULAR, LOOK AT THE ARCHITECTURAL FLOOR PLANS), RESTROOM ELEVATIONS, AND INTERIOR ELEVATIONS. IN THE EVENT THAT THE ARCHITECTURAL PLAN (OR OTHER PLANS, ETC.) INDICATES ITEMS NOT CONTAINED WITHIN YOUR FORMAL SECTION, ALLOW FOR THESE ITEMS IN YOUR BID. CONTACT THE ARCHITECT WITHIN 10 DAYS PRIOR TO BID DATE TO ALLOW FOR ISSUANCE OF ADDENDUM (IF APPLICABLE). IN OTHER WORDS, THE ARCHITECTURAL OR OTHER SECTIONS MAY OR MAY NOT CONTAIN ADDITIONAL OR CONFLICTING WRITTEN OR GRAPHIC INFORMATION ABOUT YOUR TRADE. PROVIDE FOR EVERYTHING INDICATED OR IMPLIED (BY CODE) RESULTING AS A COMBINATION OF THE INFORMATION FROM THE ENTIRE SET OF CONSTRUCTION DOCUMENTS, NOT JUST YOUR TRADITIONAL SEPARATE SECTION. IN CASE OF CONFLICT, THE MOST STRINGENT ITEM SHALL GOVERN, WITHOUT ADDITIONAL COST TO THE OWNER. HOWEVER, THIS DOES NOT RELIEVE THE CONTRACTOR FROM CALLING IT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

CONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO MAKING BIDS. BY MAKING BIDS, CONTRACTORS ARE IN EFFECT AGREEING THAT THEY HAVE DONE THIS. A DRAWING MAY INADVERTENTLY OMIT SOME RELATED ITEM FROM ANOTHER DRAWING. THIS DOES NOT MEAN THAT THE SECONDARILY OMITTED ITEM IS NOT REQUIRED IN SO FAR AS IT AFFECTS THE TRADES. ALL TRADES SHALL INCLUDE EVERYTHING NECESSARY FOR A COMPLETE AND PROPERLY FUNCTIONING CODE - ACCEPTABLE PROJECT, UNLESS CERTAIN ITEMS ARE SPECIFICALLY INDICATED AS BEING PROVIDED BY OTHERS AS "NIC" (NOT IN CONTRACT).

ABBREVIATIONS:

SEE ABBREVIATION LIST FOR DEFINITIONS WHICH ARE USED IN THESE DRAWINGS AND SPECIFICATIONS.

CONDITIONS NOT DETAILED:

CONSTRUCTION DOCUMENTS CANNOT DETAIL EVERY CONDITION OR INSTRUCT THE CONTRACTOR ON HOW TO PERFORM THE WORK. EVERY CONNECTION, CORNER, FLASHING, ETC. MUST BE RESOLVED. THESE AND OTHER CONDITIONS SHALL BE HANDLED IN A MANNER COMPATIBLE WITH THE REST OF THE WORK. NOTIFY ARCHITECT IF A CONDITION NEEDS ADDITIONAL DIRECTION OR DETAIL.

VERIFY SITE INFORMATION:

CONTRACTOR IS TO VERIFY ALL SITE INFORMATION AND ASSUMPTIONS, ESPECIALLY SUBTERRANEAN, CONCEALED CONDITIONS INVOLVING UTILITIES AND SOIL CONDITIONS. SHOULD ANY CONDITIONS AFFECTING THE WORK BE DISCOVERED BY THE CONTRACTOR, HE IS TO NOTIFY THE ARCHITECT IMMEDIATELY. CONTRACTOR SHALL VERIFY THAT EXISTING SOILS MEET THE MINIMUM CAPACITY PER THE STRUCTURAL DESIGN.

PRIOR TO ANY EXCAVATION WORK:

THE CONTRACTOR IS REQUIRED TO LOCATE ANY AND ALL UTILITIES IN OR UNDER NEW CONSTRUCTION, AND MAKE ARRANGEMENTS FOR THEIR LEGAL RE-ROUTING, AS ACCEPTABLE TO GOVERNING AGENCIES, AUTHORITIES, UTILITIES AND OWNER. CONTRACT ALL AFFECTED UTILITY COMPANIES AND INFORM THEM OF THE IMPENDING CONSTRUCTION, AND OBTAIN THEIR ASSISTANCE IN LOCATING THEIR UTILITIES.

CODES COMPLIANCE:

THIS PROJECT WAS DESIGNED UNDER THE FOLLOWING CODES: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS, BY WORKING ON, OR PROVIDING MATERIALS FOR THIS PROJECT HEREBY AGREE TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT, AND TO COMPLY WITH ALL GOVERNING CODES, INCLUDING BUT NOT LIMITED TO, THE MOST CURRENT DETIONS AS ADOPTED BY THE STATE OF FLORIDA, OF THE FOLLOWING:

2010 FLORIDA BUILDING CODE - RESIDENTIAL and all current amendments
2008 NATIONAL ELECTRIC CODE and all current amendments

SITE SAFETY:

ALL CONTRACTORS AND OTHERS WORKING ON THIS PROJECT AGREE TO COMPLY WITH ALL SAFETY AND OTHER CODES AND REGULATIONS, STATE, LOCAL AND NATIONAL, AND TO CONDUCT THEMSELVES AT ALL TIMES IN A MANNER SO AS TO PRESERVE SAFE CONDITIONS AT ALL TIMES FOR EVERYONE AND EVERYTHING ON AND SURROUNDING THE PROJECT.

DIMENSIONS:

DIMENSIONS ON ARCHITECTURAL DRAWINGS MAY BE "ROUGH" OR "FINISH." SEE PLANS FOR REQUIREMENTS. ARCHITECTURAL DIMENSIONS SHALL TAKE PRECEDENCE OVER STRUCTURAL OR OTHER DIMENSIONS, IF NO OTHER CONFLICT RESULTS. DOCUMENT ANY SUCH DISCREPANCIES TO ARCHITECT IN WRITING.

HEIGHT ELEVATIONS:

BUILDING HEIGHT ELEVATIONS TYPICALLY USE THE MAIN FLOOR SLAB AS ELEVATION 0'-0" (BUILDING ELEVATIONS MAY BE NOTED AS "BLOG EL. ____' ____\"", SEE SITE PLAN AND FLOOR PLANS). SITE ELEVATIONS MAY BE BASED ON THE SURVEY, WHICH MAY USE MEAN SEA LEVEL, NGVD, OR OTHER HEIGHT AS A REFERENCE DATUM (SITE ELEVATIONS MAY BE NOTED AS: "SITE EL. ____' ____" (OR CIVIL) ON THE SITE PLAN OR FLOOR PLANS). ON OTHER DETAILED ARCHITECTURAL DRAWINGS, TYPICALLY ALL OTHER ELEVATIONS ARE BASED ON THE "BLOG EL. OF 0'-0" AS THE MAIN FLOOR, OR THE FLOOR THE DETAILS S ON, AND ARE NOT NECESSARILY NOTED AS "BLOG EL." CONSULT ARCHITECT FOR ANY QUESTIONABLE LOCATIONS PRIOR TO CONSTRUCTING.

ARCHITECT'S INTENT:

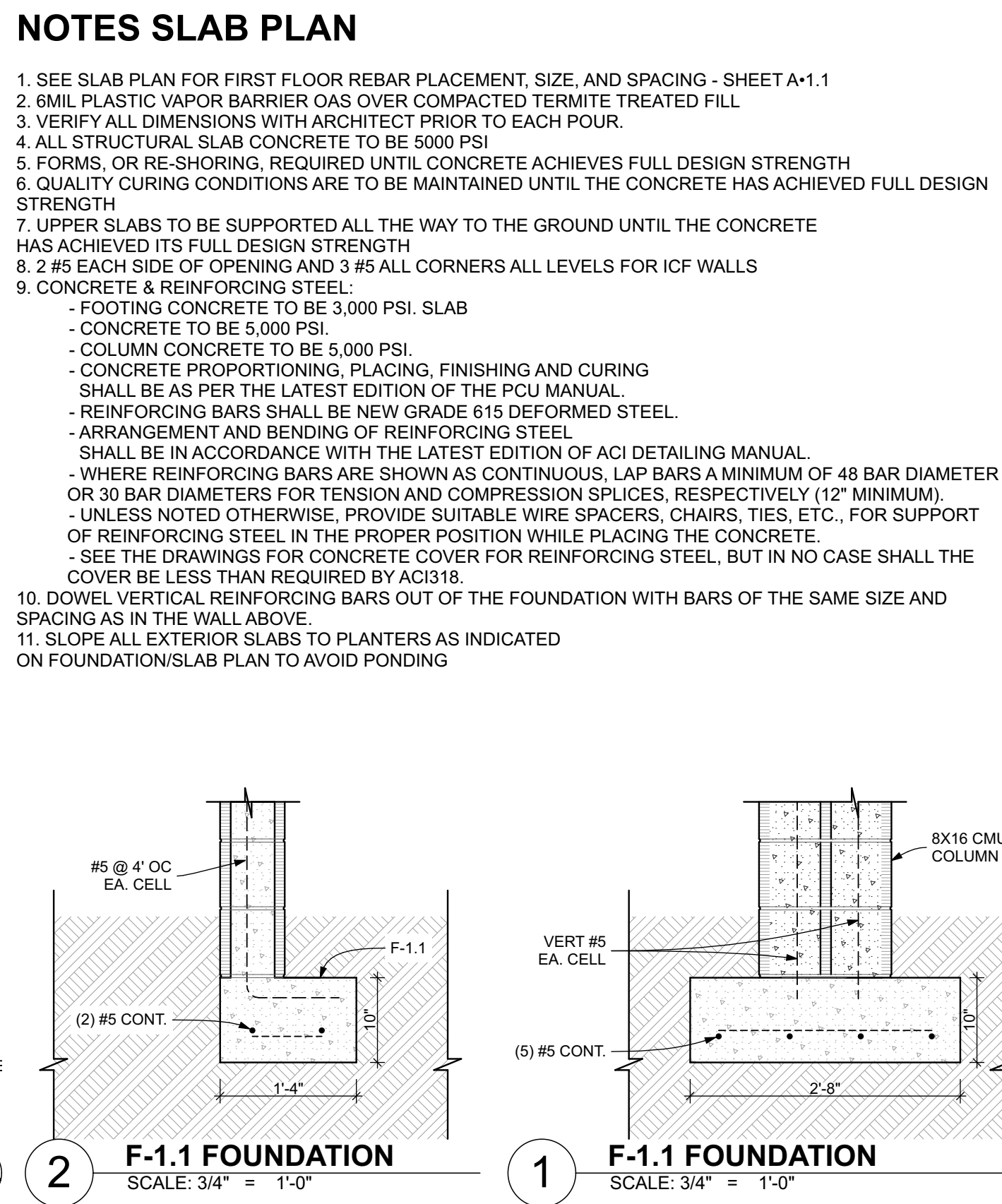
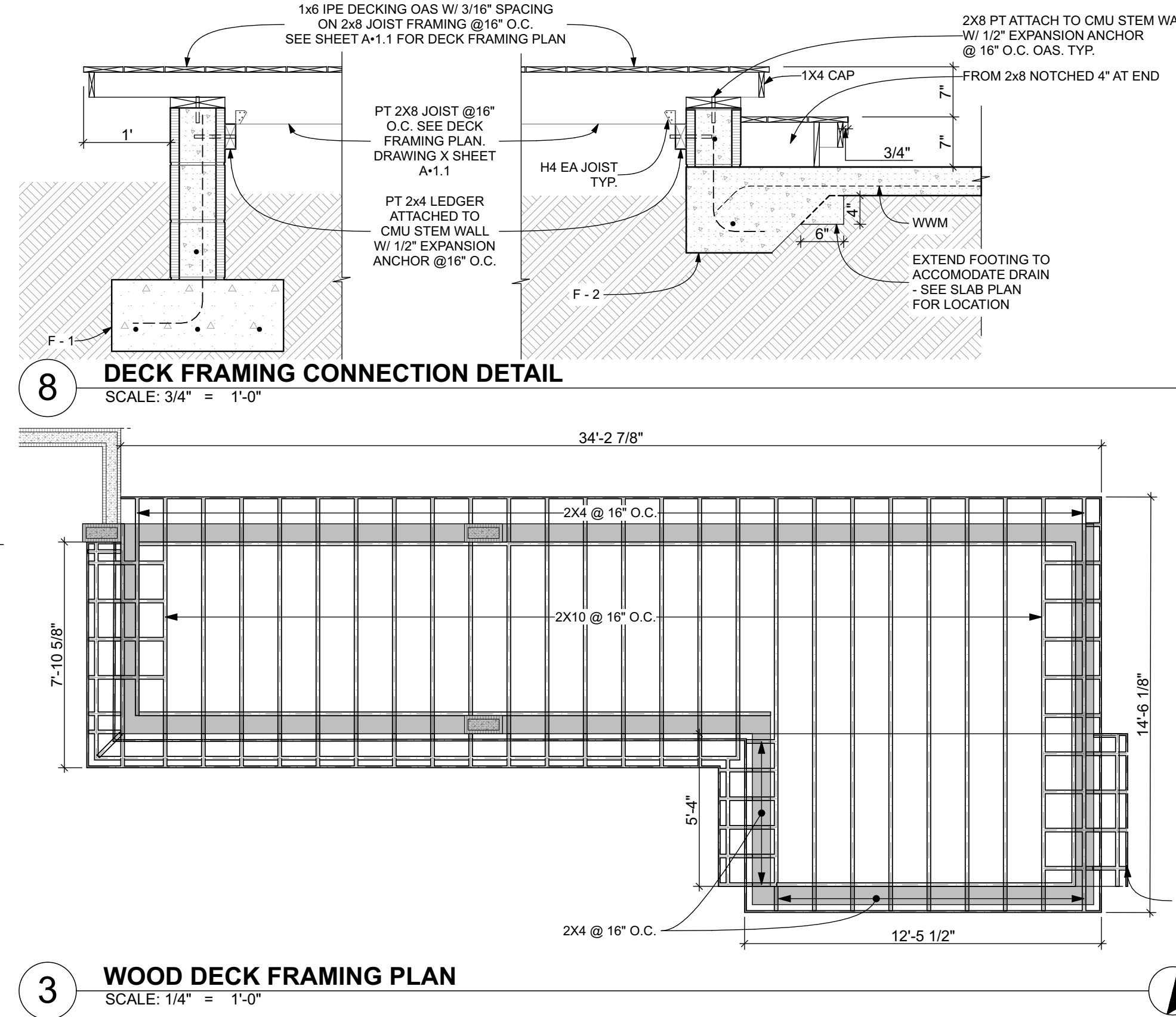
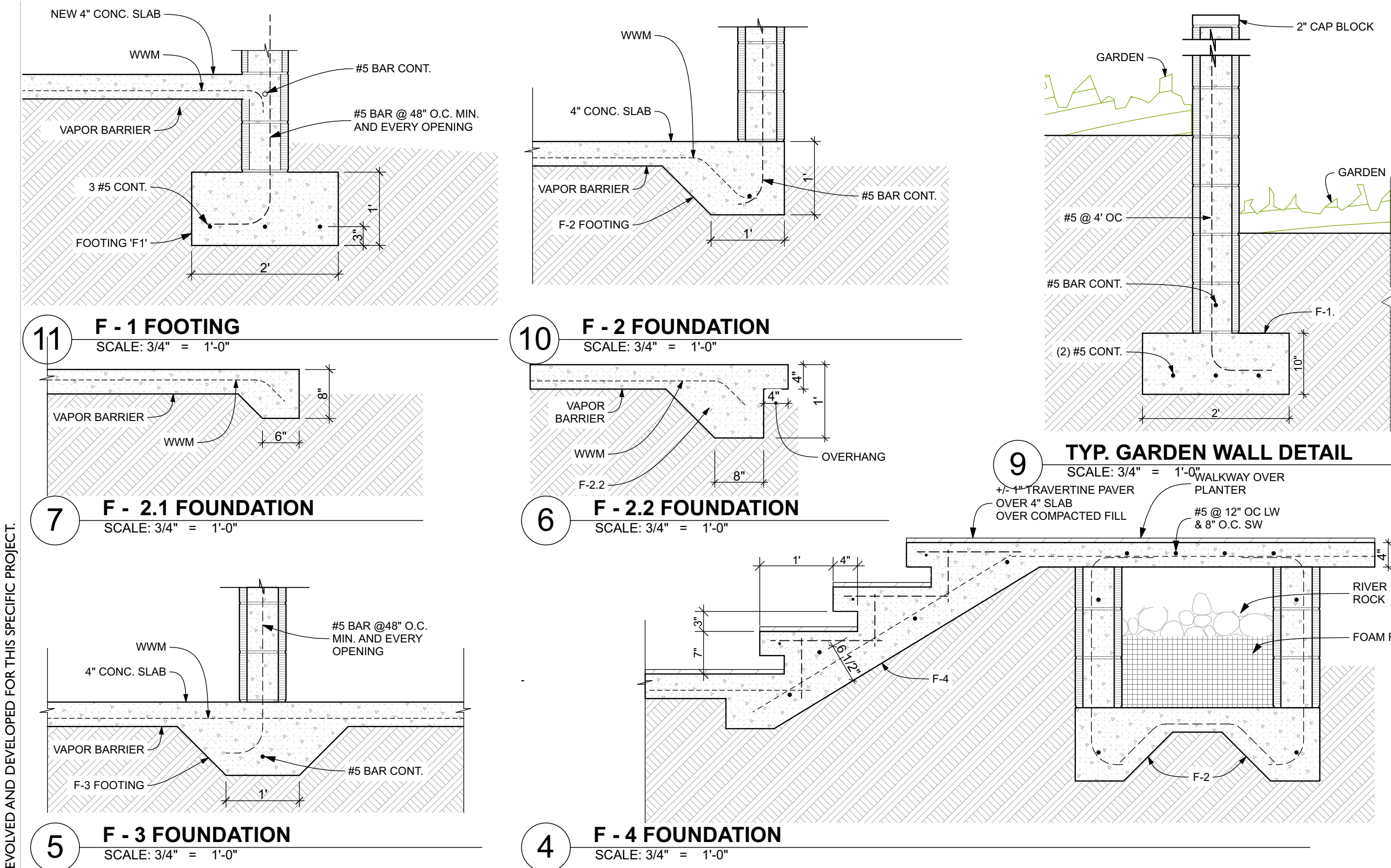
IN THE EVENT OF ANY AMBIGUITY OR QUESTION WITH REGARD TO THE INTENT OF THE DOCUMENTS, THE ARCHITECT SHALL INTERPRET THE CONSTRUCTION DOCUMENTS.

WORKMANSHIP & WARRANTY:

THE FOLLOWING GENERAL & SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS ENGAGED IN EXECUTION OF WORK ON THESE PLANS.

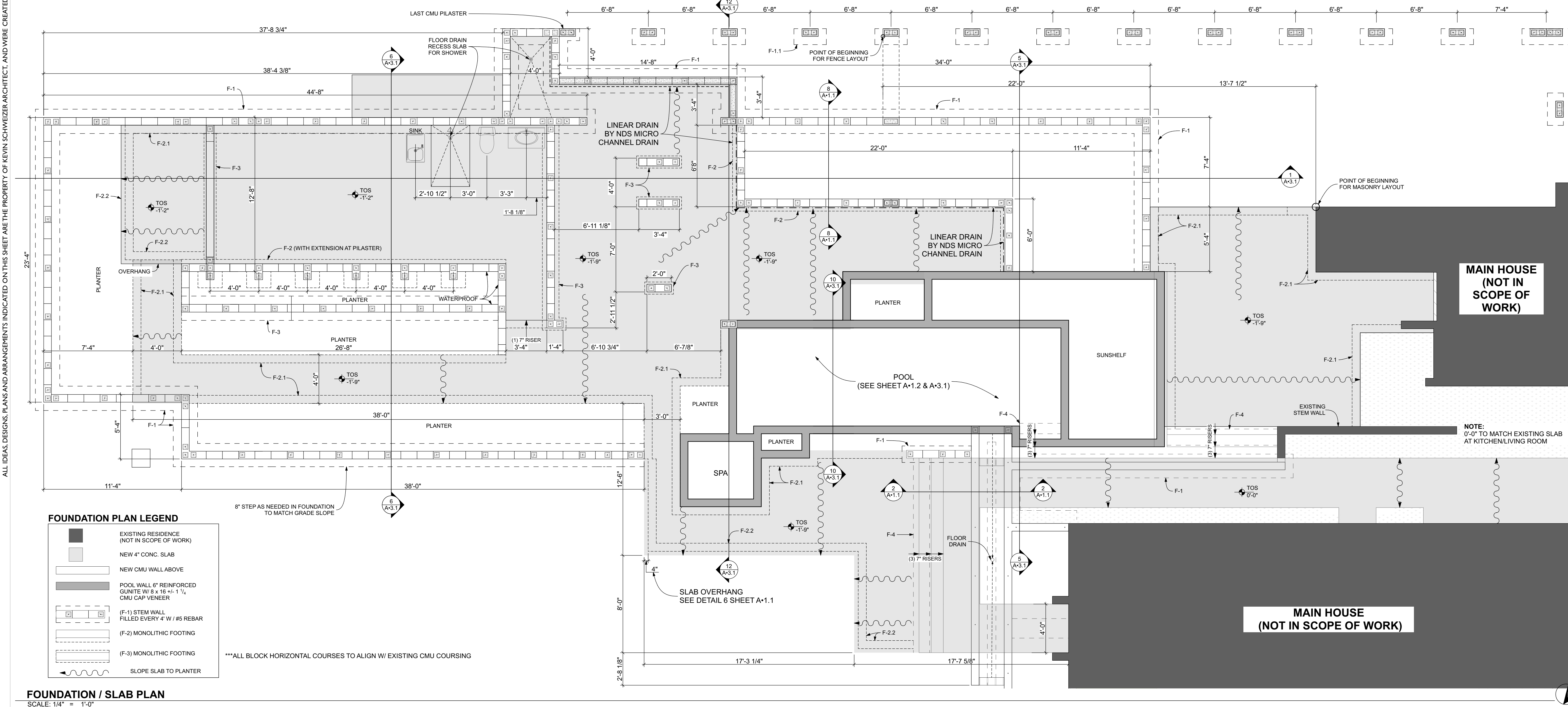
IT SHALL BE THE DUTY OF EACH SUBCONTRACTOR WHO REQUIRES CHASES OR OPENINGS OF ANY KIND FOR HIS WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT, TO SEE THAT THEY ARE PROPERLY CONSTRUCTED AND IN THE CASE OF FAILURE, IT SHALL BE THE DUTY OF SAME SUBCONTRACTOR TO CUT, SUCH CHASES OR OPENINGS AS MAY BE NECESSARY AND PROPER FOR HIS OWN WORK AT HIS OWN EXPENSE, BUT NOT WITHOUT OBTAINING THE APPROVAL OF THE

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NOTES SLAB PLAN

- SEE SLAB PLAN FOR FIRST FLOOR REBAR PLACEMENT, SIZE, AND SPACING - SHEET A-1.1
- 6MIL PLASTIC VAPOR BARRIER OAS OVER COMPACTED TERMITE TREATED FILL
- VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO EACH POUR
- ALL STRUCTURAL SLAB CONCRETE TO BE 5000 PSI
- FORMS, OR RE-SHORING, REQUIRED UNTIL CONCRETE ACHIEVES FULL DESIGN STRENGTH
- QUALITY CURING CONDITIONS ARE TO BE MAINTAINED UNTIL THE CONCRETE HAS ACHIEVED FULL DESIGN STRENGTH
- UPPER SLABS TO BE SUPPORTED ALL THE WAY TO THE GROUND UNTIL THE CONCRETE HAS ACHIEVED ITS FULL DESIGN STRENGTH
- 2 #5 EACH SIDE OF OPENING AND 3 #5 ALL CORNERS ALL LEVELS FOR ICF WALLS
- CONCRETE & REINFORCING STEEL:
 - FOOTING CONCRETE TO BE 3,000 PSI. SLAB
 - CONCRETE TO BE 5,000 PSI.
 - COLUMN CONCRETE TO BE 5,000 PSI.
 - CONCRETE PROPORTIONING, PLACING, FINISHING AND CURING SHALL BE AS PER THE LATEST EDITION OF THE PCU MANUAL.
 - REINFORCING BARS SHALL BE NEW GRADE 615 DEFORMED STEEL.
 - ARRANGEMENT AND BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI DETAILING MANUAL.
 - WHERE REINFORCING BARS ARE SHOWN AS CONTINUOUS, LAP BARS A MINIMUM OF 48 BAR DIAMETER OR 30 BAR DIAMETERS FOR TENSION AND COMPRESSION SPLICES, RESPECTIVELY (12" MINIMUM).
 - UNLESS NOTED OTHERWISE, PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC., FOR SUPPORT OF REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING THE CONCRETE.
 - SEE THE DRAWINGS FOR CONCRETE COVER FOR REINFORCING STEEL, BUT IN NO CASE SHALL THE COVER BE LESS THAN REQUIRED BY ACI 318.
- DOWEL VERTICAL REINFORCING BARS OUT OF THE FOUNDATION WITH BARS OF THE SAME SIZE AND SPACING AS IN THE WALL ABOVE.
- SLOPE ALL EXTERIOR SLABS TO PLANTERS AS INDICATED ON FOUNDATION/SLAB PLAN TO AVOID PONDING



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PHONE:
C 386-405-8322
O 386-314-0044

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JONES RESIDENCE REMODEL
NILS M. SCHWEIZER ORIGINAL - 1965
2520 HOMEWOOD DRIVE,
BELLE ISLE, FLORIDA 32809

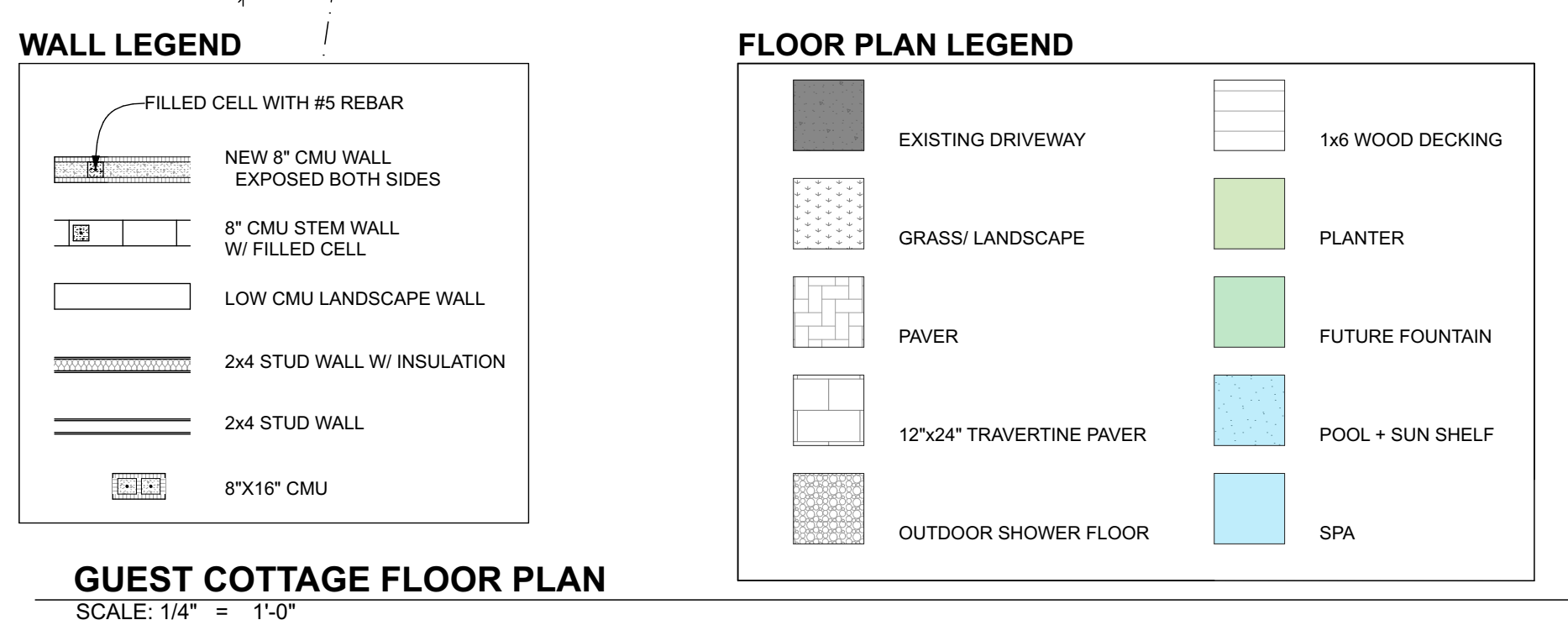
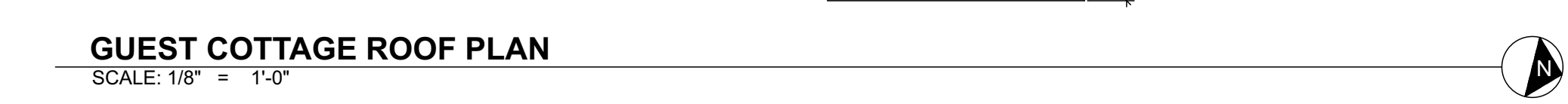
FOUNDATION SLAB / SLAB PLAN

SEPTEMBER 10, 2019

SHEET NUMBER
A•1.1

CHARLES KEVIN SCHWEIZER
FLORIDA REGISTERED ARCHITECT
AR0013154

15

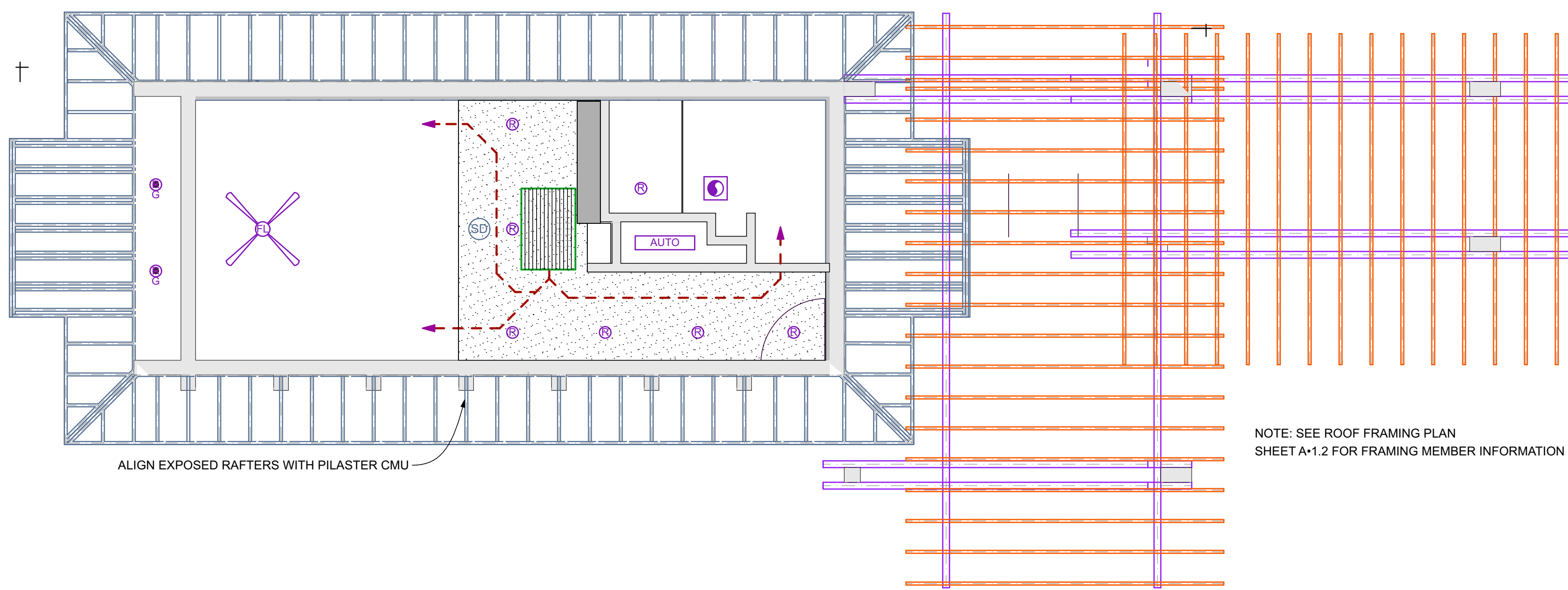


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2 GUEST COTTAGE MECH / RCP PLANS

SCALE: 1/4" = 1'-0"



NOTE: SEE ROOF FRAMING PLAN
SHEET A-1.2 FOR FRAMING MEMBER INFORMATION

HVAC LEGEND

ID	DESCRIPTION
	EXHAUST FAN
	EXHAUST DUCT
	AC SIDEWALL SUPPLY
	AC RETURN DUCT - R6 MIN.
	AC SUPPLY DUCT - R6 MIN.
	MINI SPLIT AHU IN DROP SOFFIT WITH ACCESS PANEL
	RETURN GRILLE
	SUPPLY GRILLE
	VERTICAL DUCT TRANSITION

MECHANICAL NOTES

1. SYSTEM BY MITSUBISHI - MR SLIM 2 ZONE DUCTED HEAT PUMP 9K / 15K BTU.
ALTERNATE SYSTEM: DAIKIN MINI-SPLIT TYPE 50/60 HZ COOLING AND HEAT PUMP AIR CONDITIONING WITH DC INVERTER AND SWING COMPRESSOR
2. DUCT BOARD TO BE QUIET R BY OWENS CORNING
3. FLEXIBLE DUCT TO BE ECOTOUCH BY OWENS CORNING
4. GRILLES BY TITUS OR APPROVED SIMILAR - COLOR TO BE WHITE UNO. EXACT GRILLE LOCATIONS TO BE DETERMINED ON SITE WITH ARCHITECT.
5. PROVIDE GFIC AS DETERMINED BY NEC- 2008 ARTICLE 210-63.
6. HOT WATER HEATER - SEE GENERAL SPECIFICATIONS SHEET A0.1
7. CENTRAL BATH EXHAUST SYSTEM BY BROAN 688 / 50 CFM / 4.0 SONES OR APPROVED SIMILAR
8. ALTERNATE ADD: CENTRAL VACUUM BY SILENT MASTER

POWER / COMMUNICATION LEGEND

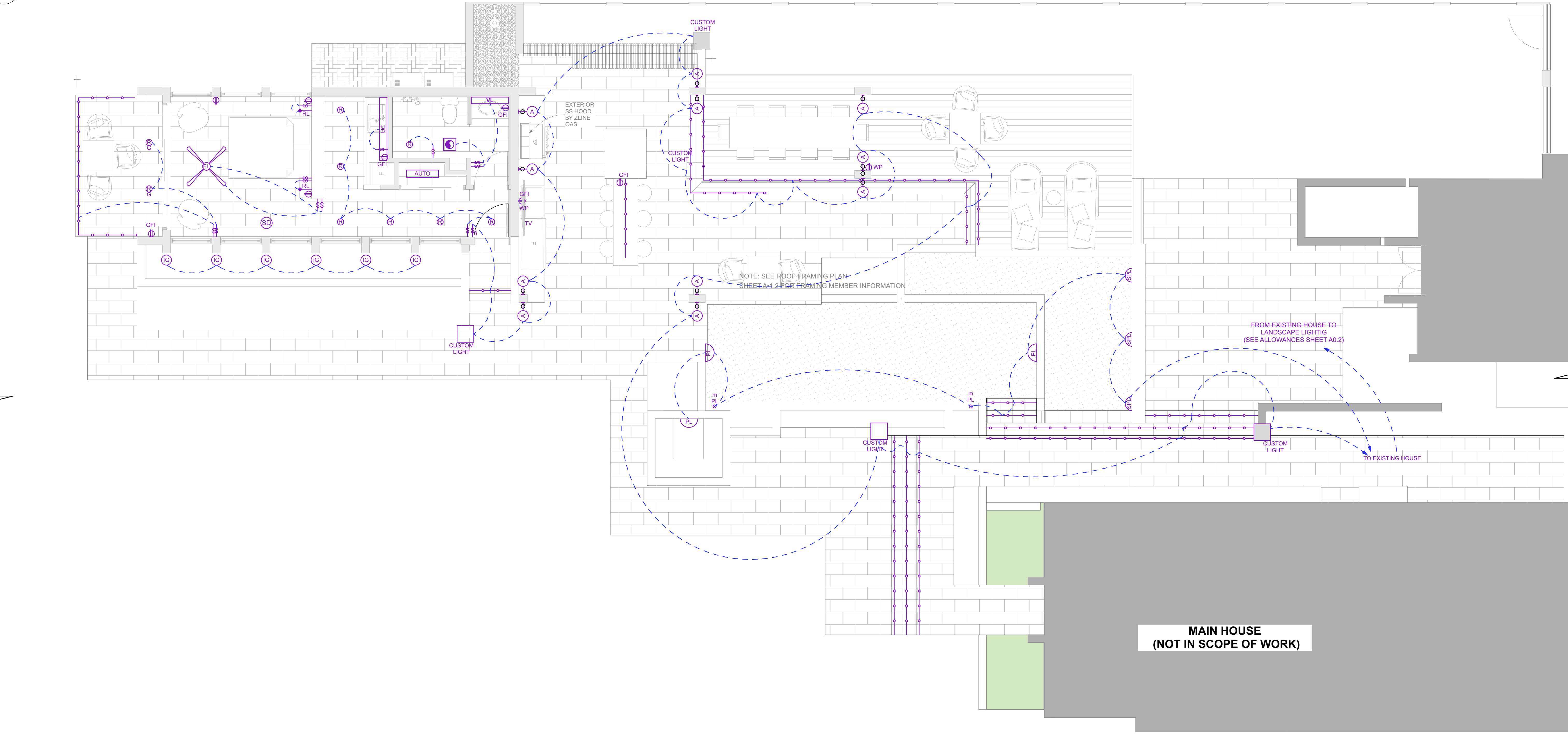
ID	DESCRIPTION
	CAT 6 ETHERNET CABLE
	SMOKE DETECTOR
	115V DUPLEX POWER OUTLET- GFIC
	115V DUPLEX POWER OUTLET- AFCI
	220V DUPLEX POWER OUTLET- GFIC

LIGHTING LEGEND

ID	DESCRIPTION
	WALL SCONCE - UP / DOWN
	3" RECESSED CEILING CAN
	6" RECESSED CEILING CAN
	IN GROUND LIGHT
	UNDER CABINET SPOT LIGHT
	CEILING FAN W/ LIGHT
	EXHAUST FAN / LIGHT
	POOL LIGHT
	MINI POOL LIGHT
	LED STRIP COVE LIGHT
	EXTERIOR LED STRIP LIGHT
	LED READING LIGHT
	HORIZONTAL VANITY LIGHT
	AUTOMATIC LIGHT

1 ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



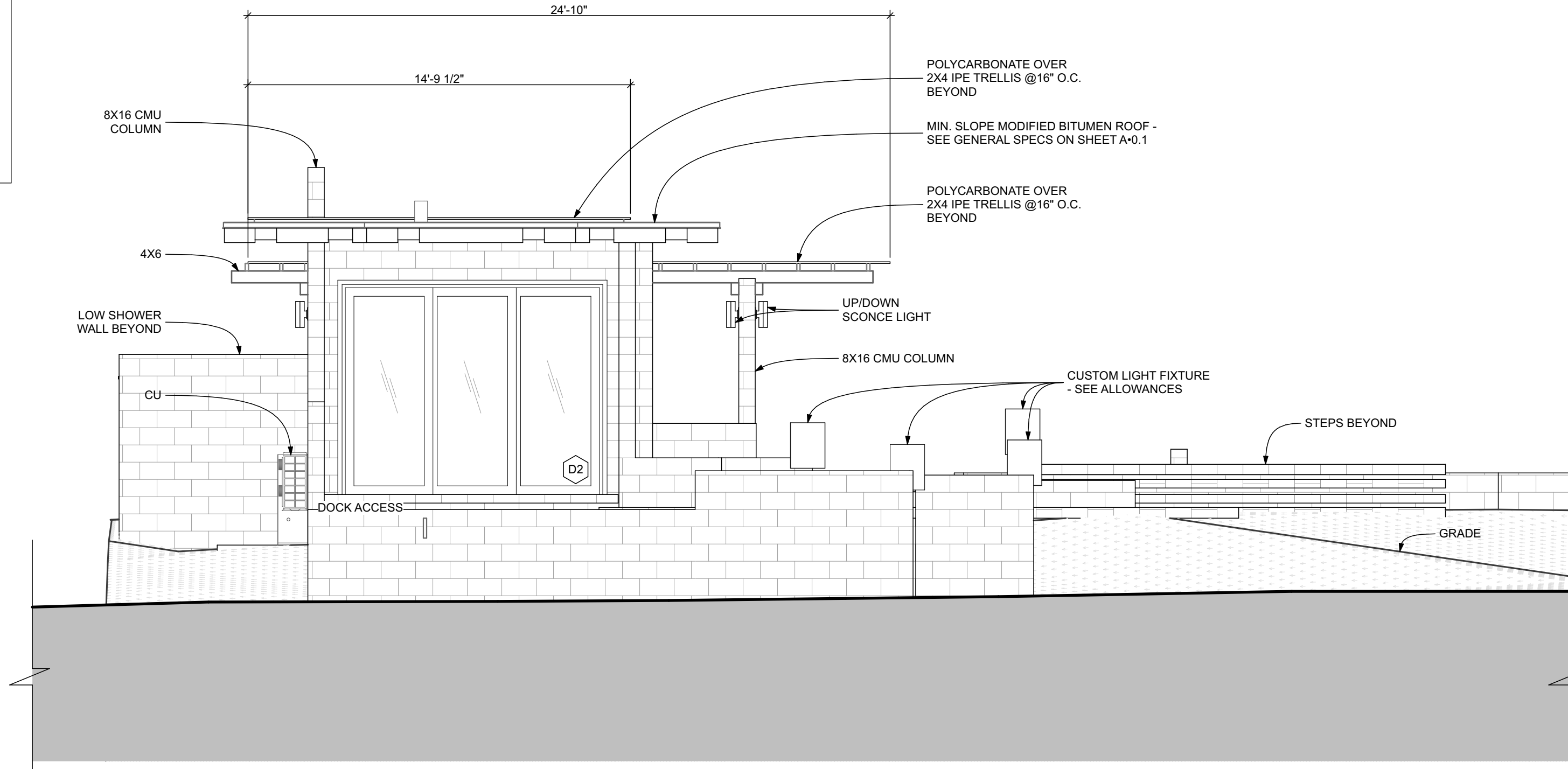
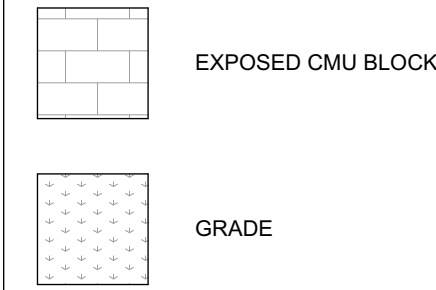
MAIN HOUSE
(NOT IN SCOPE OF WORK)

FROM EXISTING HOUSE TO
LANDSCAPE LIGHTING
(SEE ALLOWANCES SHEET A0.2)

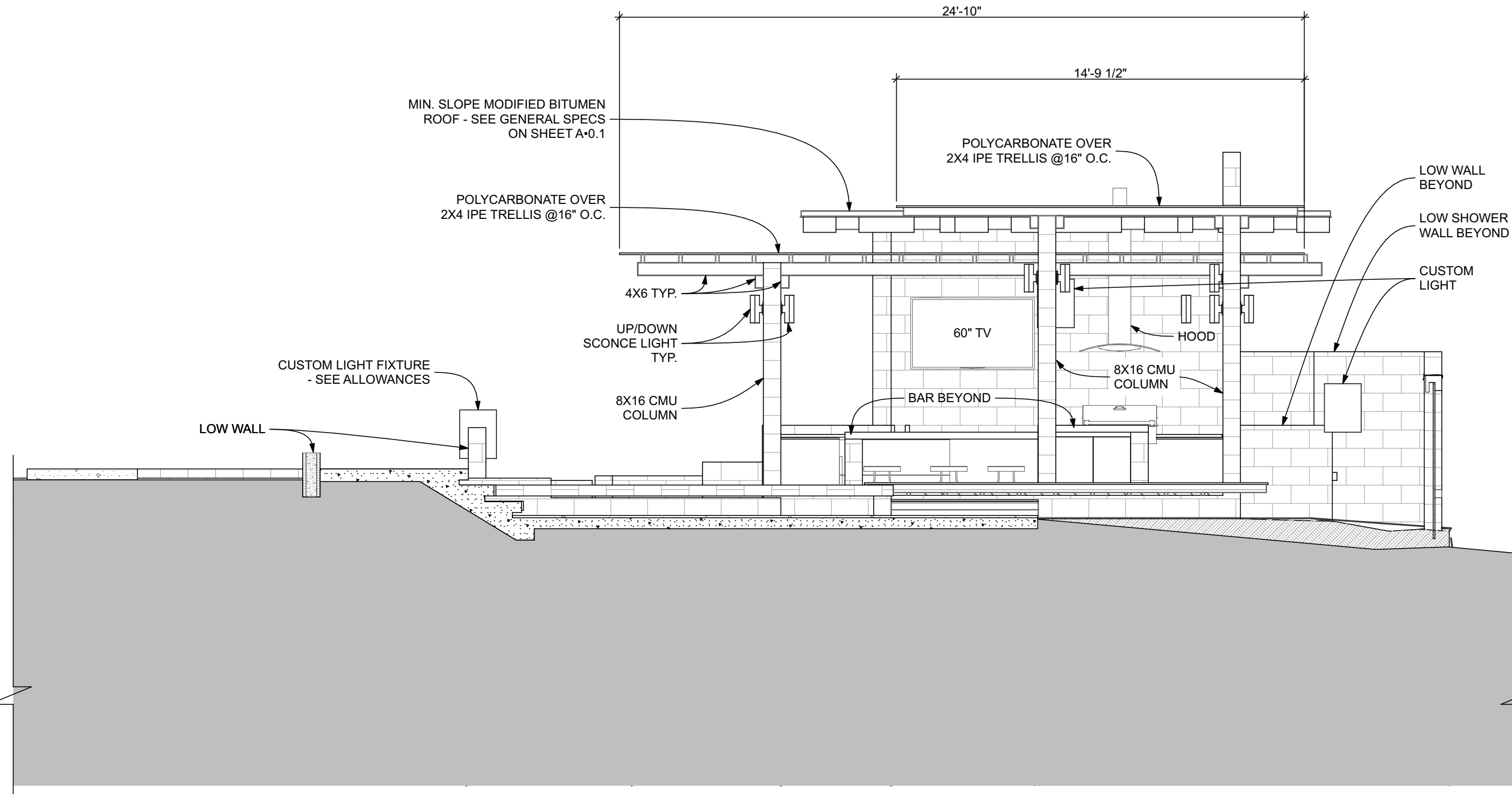
TO EXISTING HOUSE

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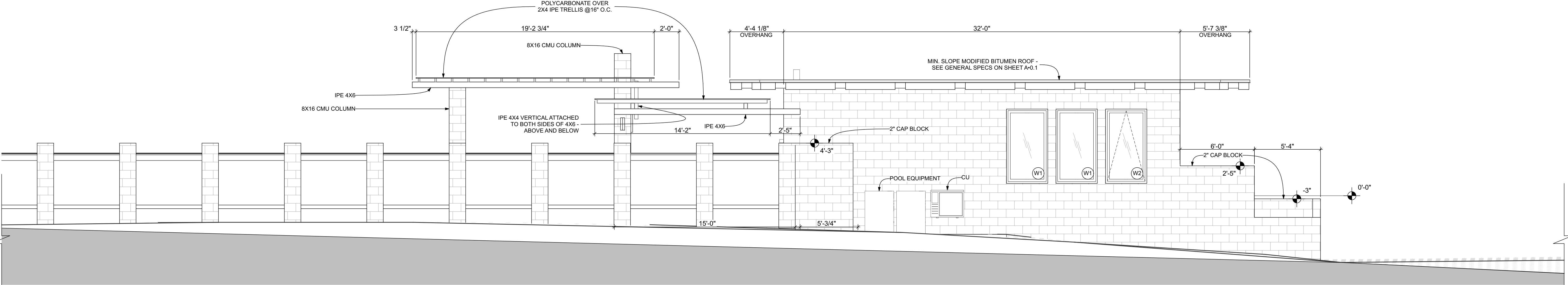
ELEVATION LEGEND



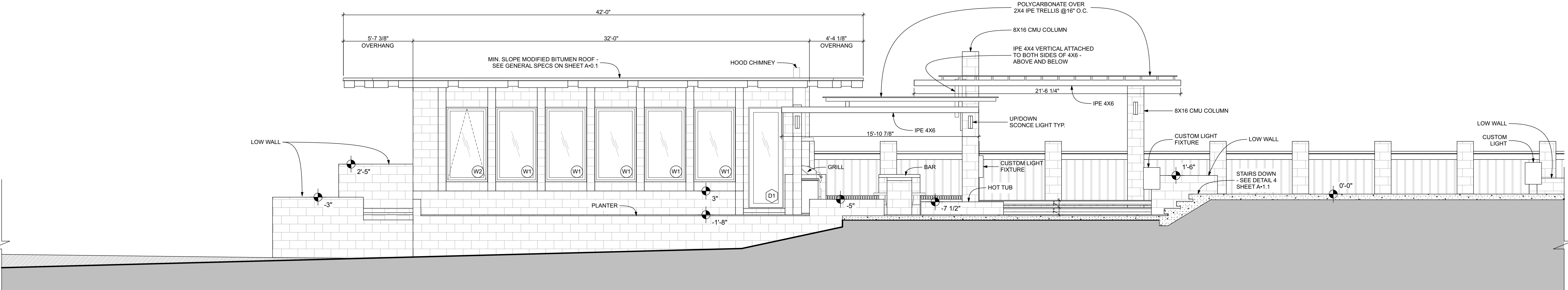
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

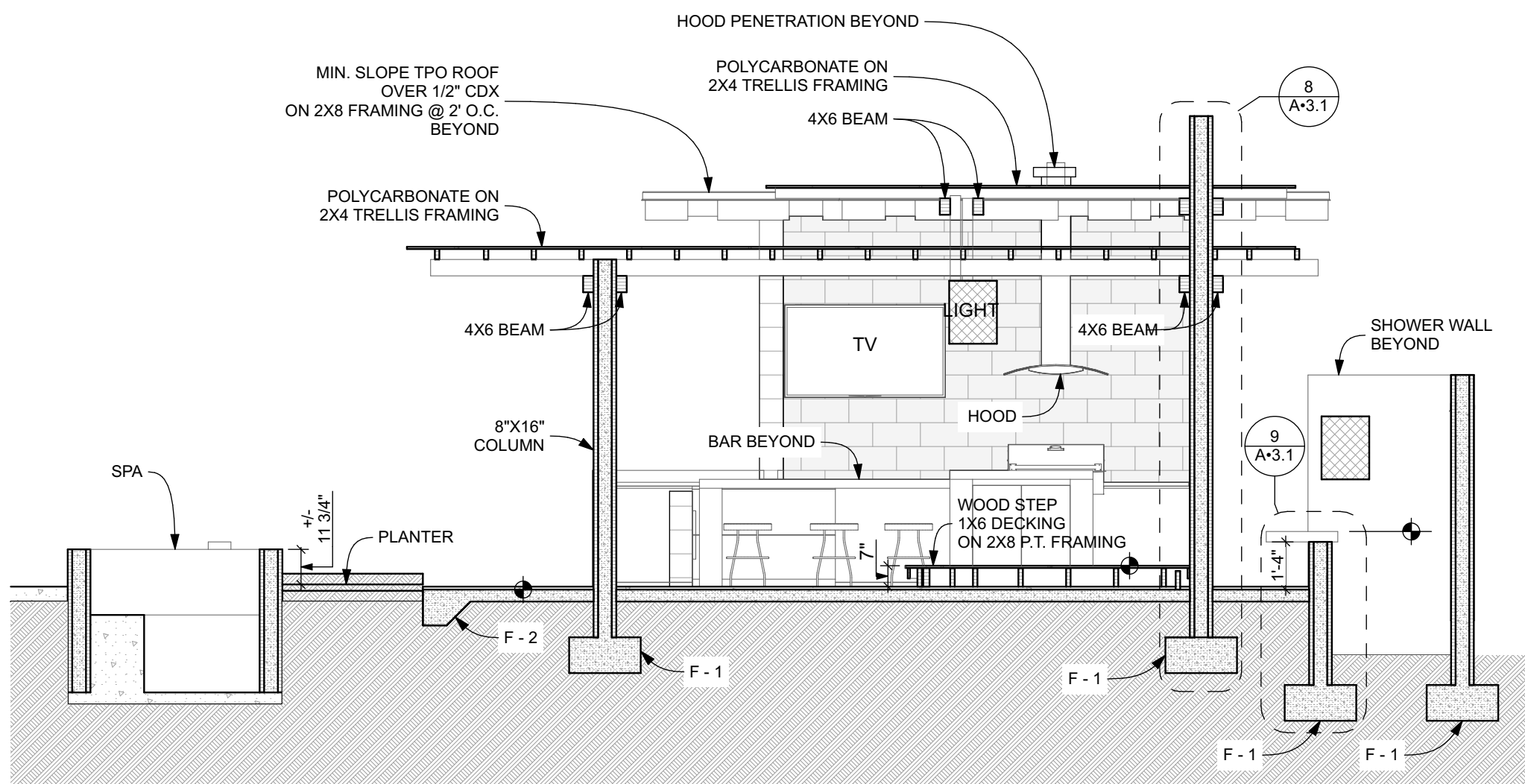


2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

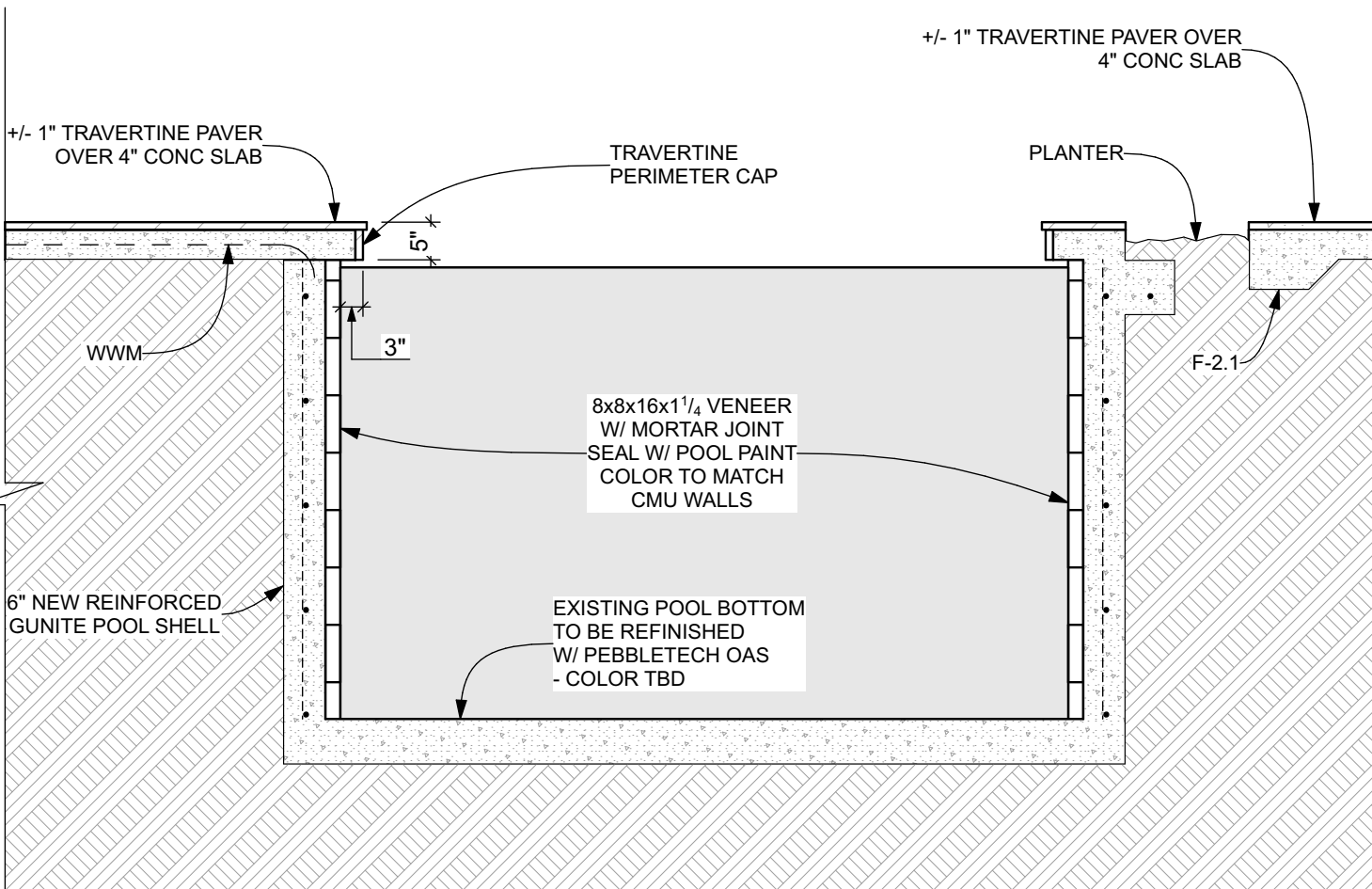


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

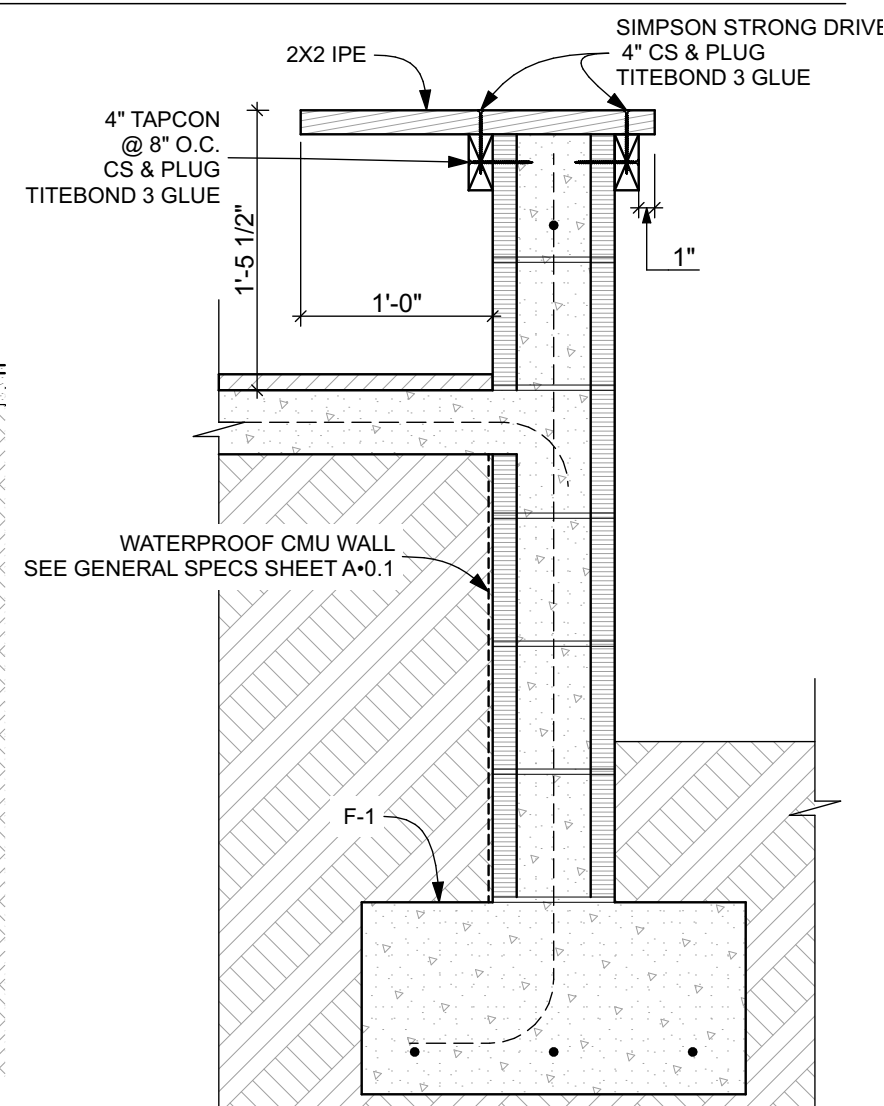
ALL IDEAS, DESIGNS, PLANS AND ARRANGEMENTS INDICATED ON THIS SHEET ARE THE PROPERTY OF KEVIN SCHWEIZER ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR THIS SPECIFIC PROJECT.



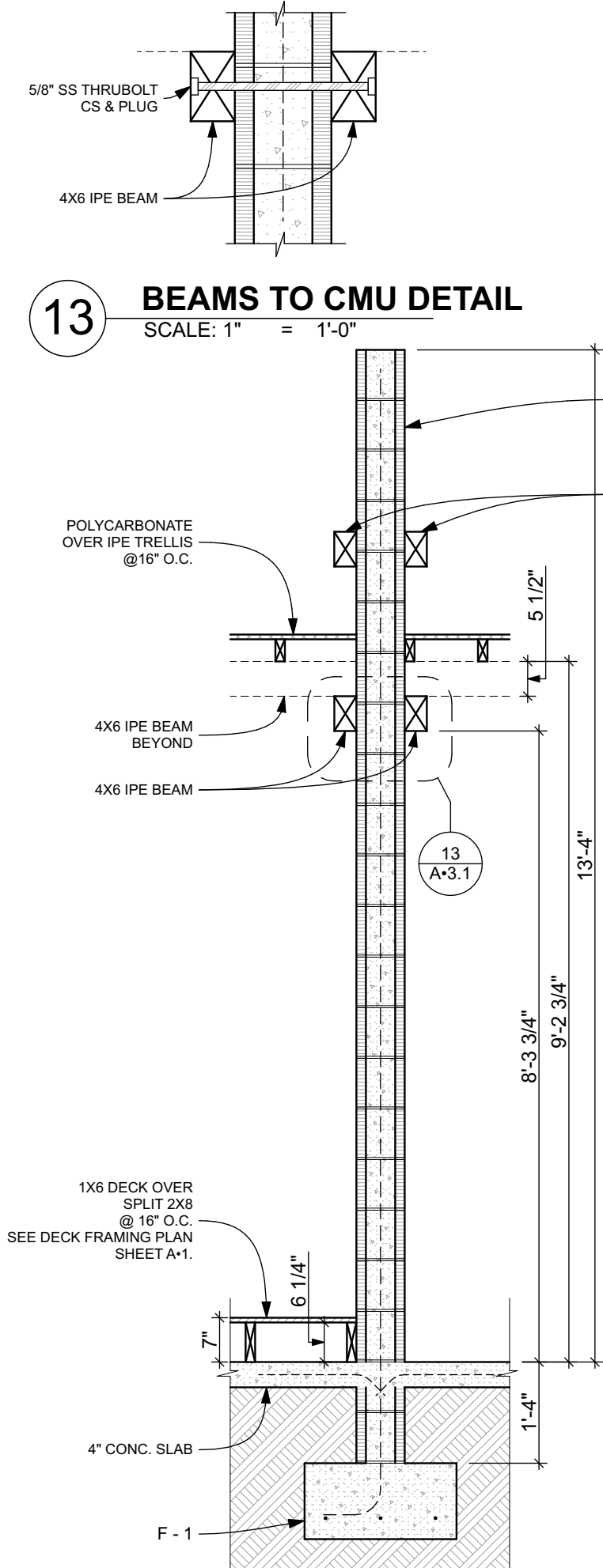
12 TRELLIS BUILDING SECTION
SCALE: 1/4" = 1'-0"



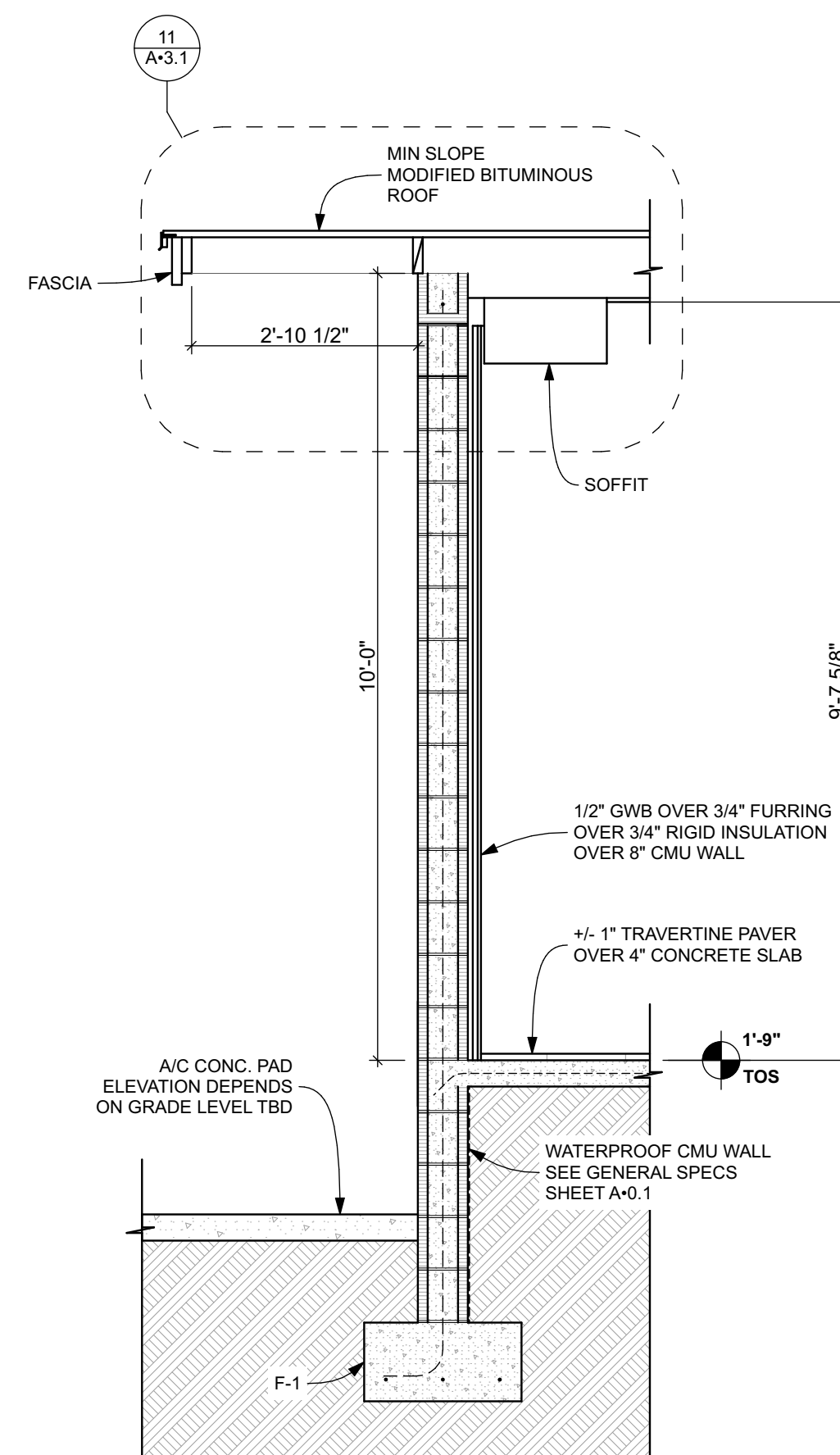
10 POOL SECTION
SCALE: 1/2" = 1'-0"



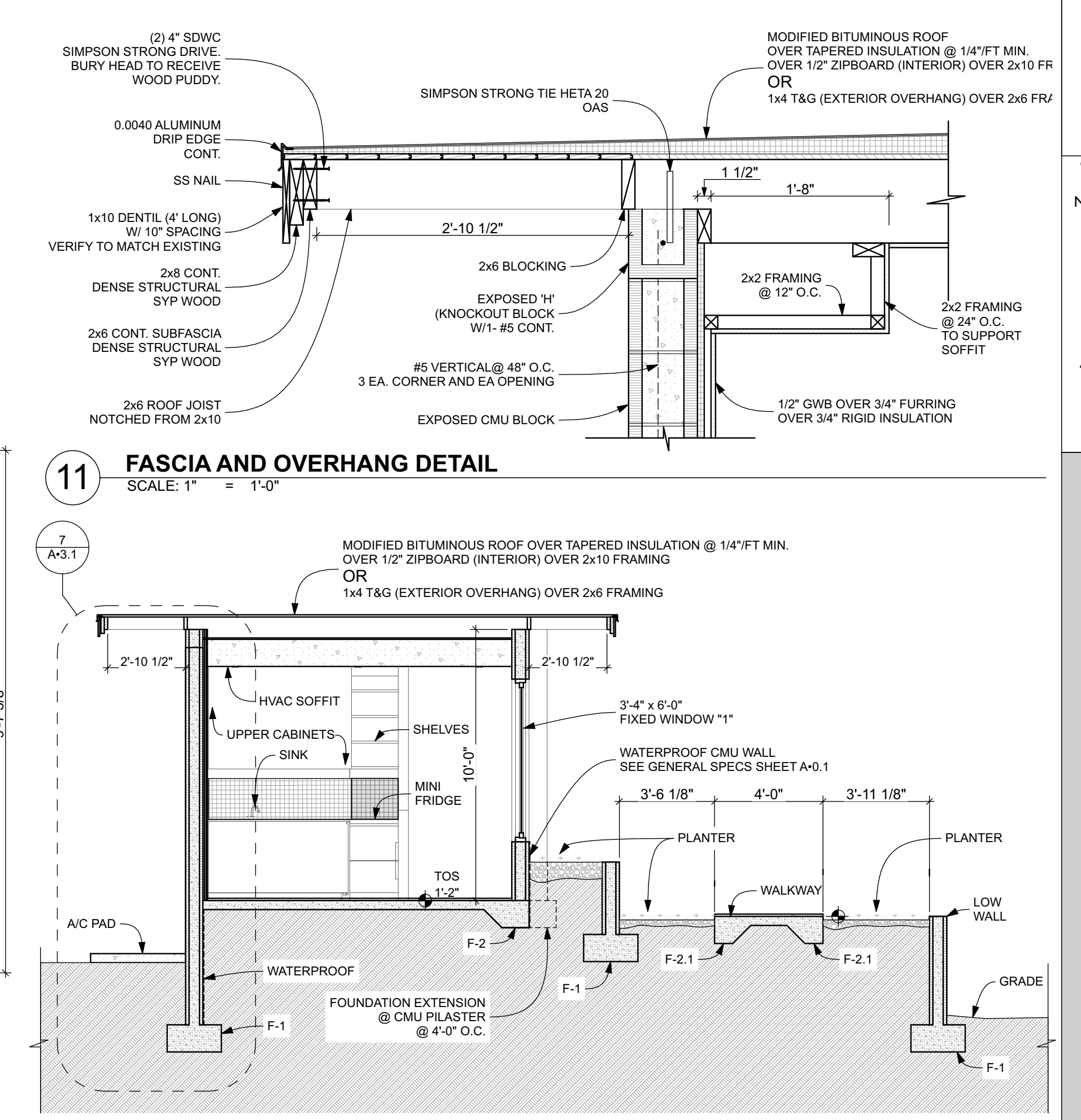
9 CUSTOM SEAT DETAIL
SCALE: 1" = 1'-0"



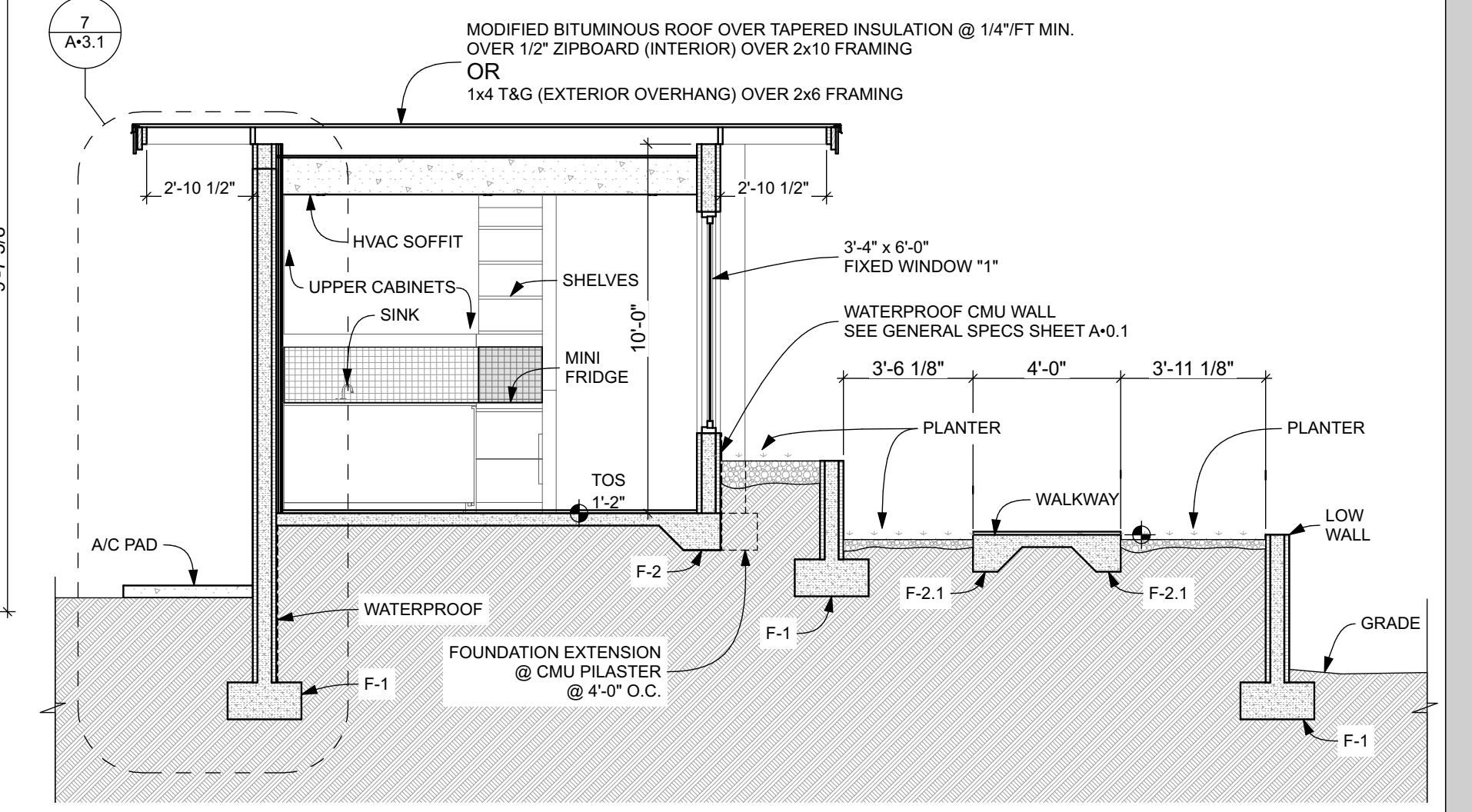
8 8\"X16\" CMU TO S CONNECTION DETAIL
SCALE: 1/2" = 1'-0"



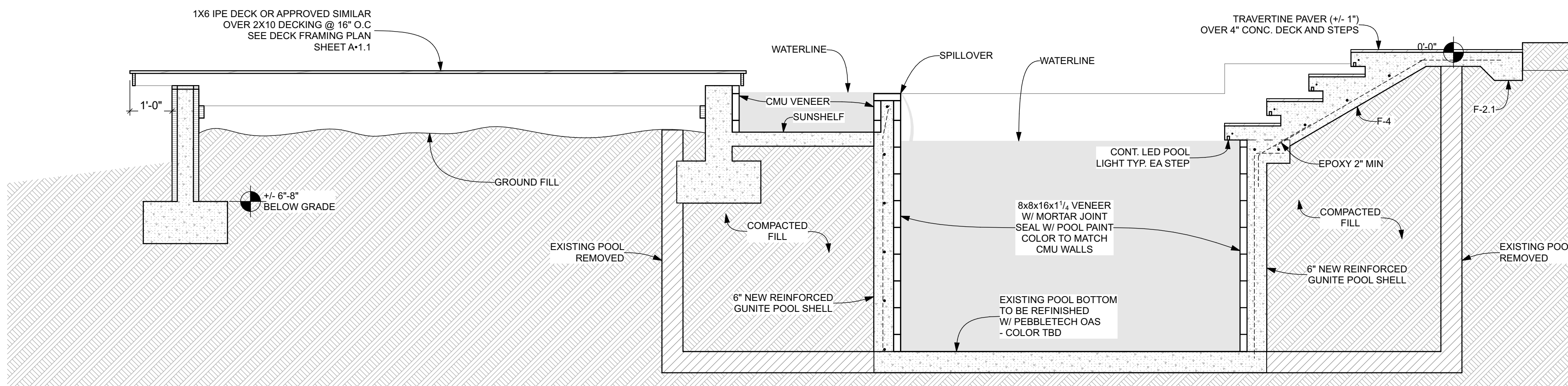
7 TYP. WALL SECTION DETAIL
SCALE: 1/2" = 1'-0"



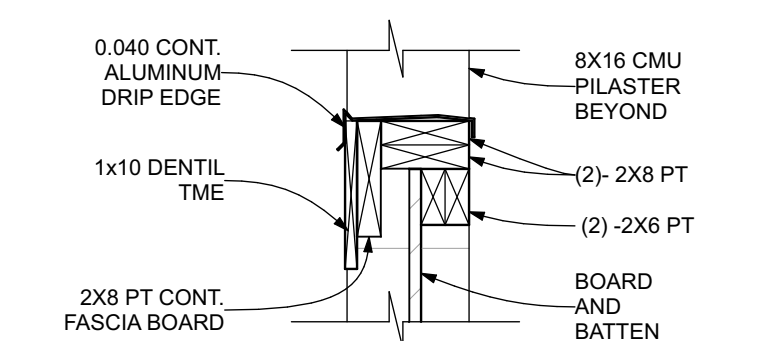
11 FASCIA AND OVERHANG DETAIL
SCALE: 1" = 1'-0"



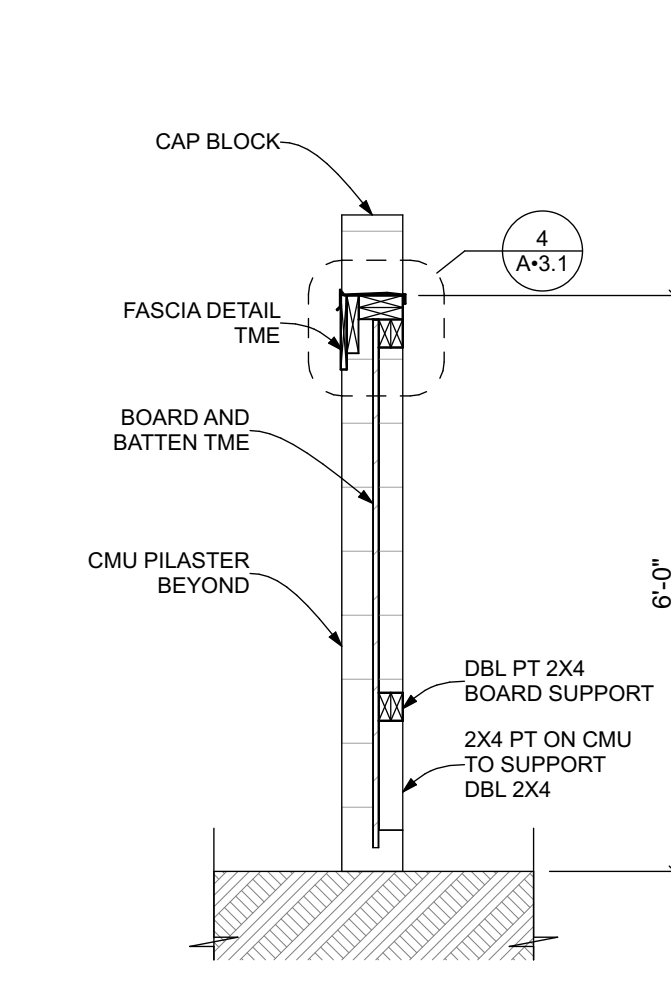
6 GUEST COTTAGE SECTION
SCALE: 1/4" = 1'-0"



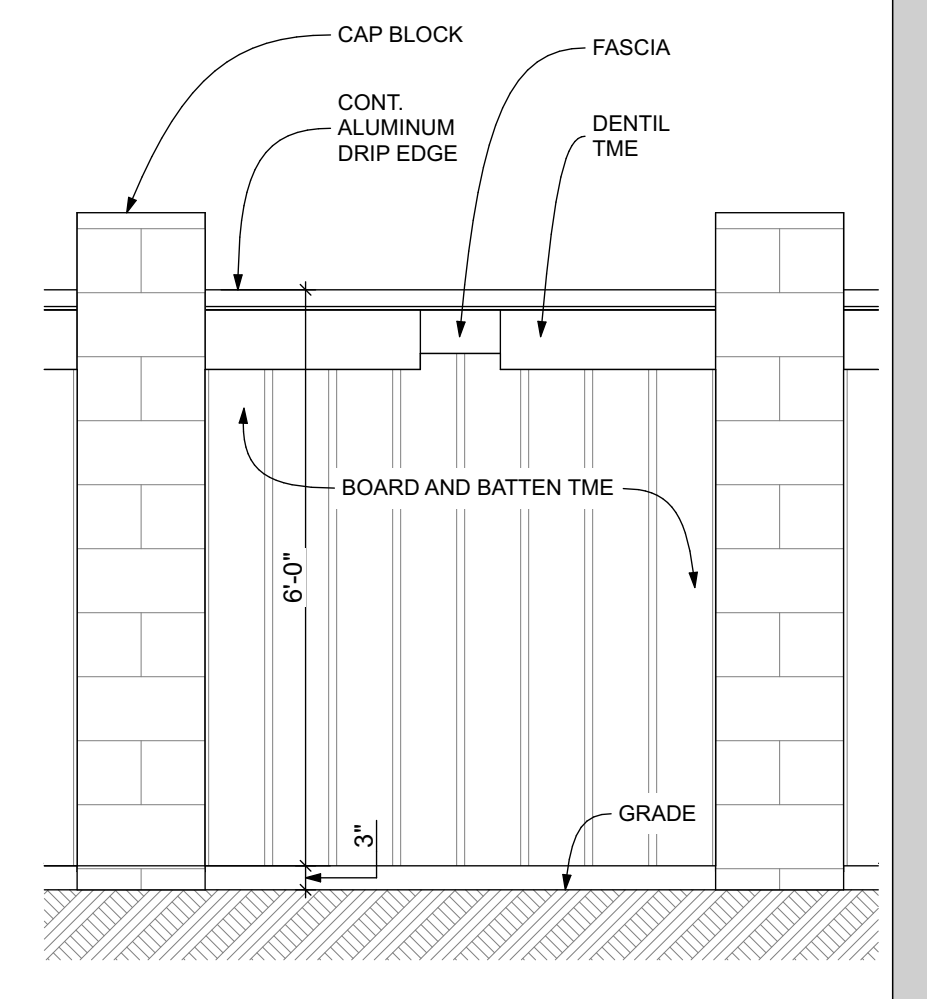
5 POOL SECTION
SCALE: 1/2" = 1'-0"



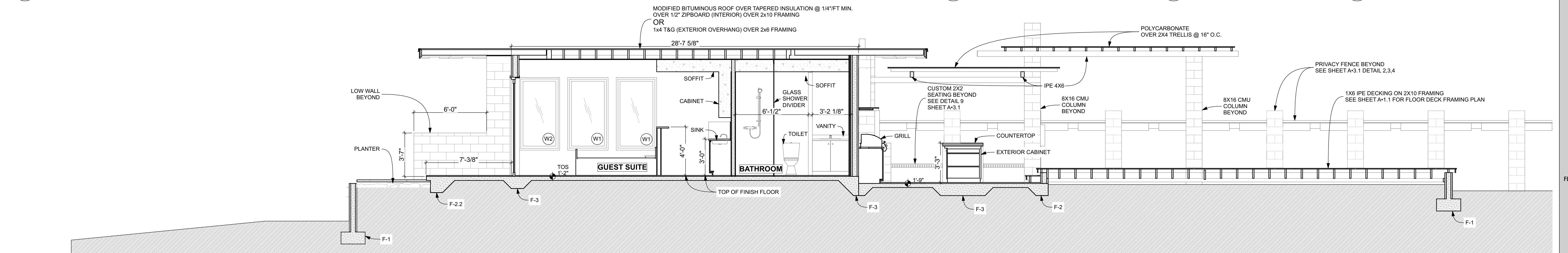
4 PRIVACY FENCE FASCIA DETAIL
SCALE: 1" = 1'-0"



3 PRIVACY FENCE DETAIL
SCALE: 1/2" = 1'-0"



2 PRIVACY FENCE ELEVATION
SCALE: 1/2" = 1'-0"



1 GUEST COTTAGE BUILDING SECTION
SCALE: 1/4" = 1'-0"