



CITY OF BELLE ISLE, FL PLANNING & ZONING BOARD MEETING

Held in City Hall Chambers 1600 Nela Avenue, Belle Isle
Held the 4th Tuesday of Every Month
Tuesday, July 25, 2023 * 6:30 PM

AGENDA

Planning and Zoning Board Members

District 5 member – Rainey Lane, Chairman

District 1 – David Woods, VChair

District 2 member – Christopher Shenefelt | District 3 member – OPEN

District 4 member – Vinton Squires | District 6 member – Andrew Thompson

District 7 member – Dr. Leonard Hobbs

Welcome to the City of Belle Isle Planning & Zoning meeting. Agendas and all backup material supporting each agenda item are available in the City Clerk's office or on the city's website at www.belleislefl.gov. Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

1. **Call to Order and Confirmation of Quorum**
2. **Invocation and Pledge to Flag** – Board Member Hobbs
3. **Approval of Minutes**
 - a. Approval of the P&Z Board Minutes dated June 27, 2023
4. **Public Hearings**
 - a. PUBLIC HEARING CASE #2023-06-002 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.
 - b. PUBLIC HEARING CASE #2023-07-015 - PURSUANT TO BELLE ISLE CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.
 - c. PUBLIC HEARING CASE #2023-06-008 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.
 - d. PUBLIC HEARING CASE #2023-06-009 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.
5. **Other Business**
 - a. Discussion and Review on Amending Fences and Walls Ordinance 23-05
 - b. Updated Staff Reports Handout to Board
6. **Adjournment**

APPEALS: "If a person decides to appeal (Belle Isle's City Code Section 42-71) any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105). A notice of appeal to the City Clerk should be submitted within fifteen (15) days after such recommendation or decision is made "Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-851-7730) at least 48 hours in advance of the meeting. --Page 1 of 1

MEMORANDUM

TO: Planning and Zoning Board

DATE: July 25, 2023

RE: Variance Application – 2506 Homewood Drive

PUBLIC HEARING CASE #2023-06-002 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.

Background:

1. On June 1, 2023, the applicant, Matthew Langbehn, and Edward Harrison, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, July 15, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on July 11, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I MOVE, PURSUANT TO BELLE ISLE SEC. 48-32 (A) (6) (A) AND SEC. 42-64, **TO APPROVE** A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.

SAMPLE MOTION TO DENY:

"I MOVE, PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (6) (A) AND SEC. 42-64, HAVING NOT BEEN MET, **TO DENY** *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone]* A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809

Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov

a.

Variance and Special Exception Application

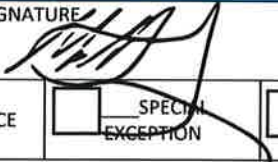

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT Matthew Langbehn	OWNER Edward T. Harrison
ADDRESS 2120 33rd St. Orlando 32839	PROJECT ADDRESS 2506 Homewood Dr. 32809
CONTACT NUMBER 407.583.6251	OWNER'S CONTACT NUMBER 407.375.3716
EMAIL matt@summertimedocks.com	OWNER'S EMAIL etharrison55@gmail.com
PARCEL ID# 19-23-30-5888-06-160	
LAND USE CLASSIFICATION 0130-Sfr-Lake Front	ZONING DISTRICT
SECTION OF THE CODE VARIANCE REQUESTED ON 48-32(a)(6)	

DETAILED VARIANCE REQUEST

Applicant is requesting to construct a dock that extends greater than 15' lakeward of an existing dock within 300'.

- The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property.
- By applying, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property during reasonable hours to inspect the area to which the application applies.
- The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies.

APPLICANTS SIGNATURE 	OWNER'S SIGNATURE 
<input checked="" type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input type="checkbox"/> OTHER	P&Z CASE NUMBER 2023-06-002 DATE OF HEARING 7-25-23

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



- Development Code or for the purpose of obtaining a variance.
 - f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
 - g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
 - h. The board shall find that the preceding requirements have been met by the applicant for a variance.
- the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the Board's discretion, such variance may be revoked for violation of the condition and safeguards.
- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

(2) Violations of conditions.

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

Applications submitted must meet all of the above criteria before the Board can grant a variance. The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

General Information

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY: FEE: \$300	<u>6-1-2023</u> Date Paid	<u>2385</u> Check/Cash	<u>[Signature]</u> Rec'd By
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City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov
Variance and Special Exception Application

ABOUT YOUR PUBLIC HEARING

The following information is provided to assist applicants in applying for a variance, special exception, or use determination. Please familiarize yourself with the process by visiting

The City of Belle Isle's Planning and Zoning Board, which comprises seven (7) non-paid volunteer residents, meets on the fourth Tuesday of the month to hear various planning and zoning issues, including variances, special exceptions, and use determinations. In recommending approval or denial of a request, the Board looks at each application individually to determine if the request meets the following criteria:

A written application for a **variance must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month.** The application **MUST** include:

- a. the \$300 filing fee,
- b. a completed application form,
- c. proof of ownership of the property, or a notarized statement from the owner with the representative's information,
- d. Ten (10) copies of a plot plan or survey showing all improvements to the property, ten copies of a scale drawing of the planned construction, illustrated on the survey, and digital format for large-scale documents is required.
- e. For boat dock variances, the survey must clearly illustrate the Normal High Water Line elevation (NHWL) of Lake Conway.
- f. **A narrative addressing how the variance complies with the following:**

*Standards of Variance Justification	Section 42-64 of the Land Development Code (LDC) states that no application for a Zoning Variance shall be approved unless the Planning and Zoning Board finds that all of the following standards are met. Please answer each bold-text question in a separate typed or a written document and submit it to the City as part of your variance request.
Special Conditions and/or Circumstances Section 42-64 (1) d	The applicant must prove that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship. That hardship is created by special conditions and circumstances peculiar to the land, structure, or building involved, including but not limited to dimensions, topography, or soil conditions. WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY? WHAT WOULD BE THE UNNECESSARY HARDSHIP?
Not-Self- Created Section 42-64 (1) e	The applicant must prove that the special conditions and circumstances do not result from the applicant's actions. A personal (self-created) hardship shall not justify a variance; i.e., when the applicant creates the alleged hardship, they are not entitled to relief by their conduct. HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?
Minimum Possible Variance Section 42-64 (1) f	The applicant must prove that the zoning variance is the minimum variance that will make the reasonable use of the land, building, or structure possible. CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY? LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE.
Purpose and Intent Section 42-64 (1) g	The applicant must prove that approval of the zoning variance will be in harmony with the general purpose and intent of the Code, and such zoning variance will not be injurious to the neighborhood, not detrimental to public welfare, and not contrary to the public interest. WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD? (FOR EXAMPLE, ADEQUATE LIGHT, AIR, ACCESS, USE OF ADJACENT PROPERTY, DENSITY, COMPATIBILITY WITH SURROUNDING LAND USES, TRAFFIC CONTROL, PEDESTRIAN SAFETY, ETC).

*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, and you do not have to comply with Sec. 42-64 (1) d and (1) f.

Property Record - 19-23-30-5888-06-160

Orange County Property Appraiser • <http://www.ocpaf1.org>

Property Summary as of 05/31/2023

Property Name

2506 Homewood Dr

Names

Harrison Edward Timothy
Harrison Deborah Kimble

Municipality

BI - Belle Isle

Property Use

0130 - Sfr - Lake Front

Mailing Address

4275 Lillian Hall Ln
Orlando, FL 32812-8154

Physical Address

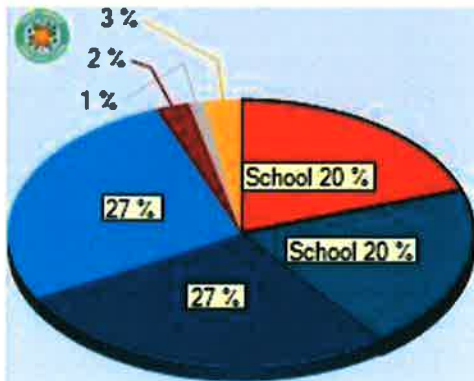
2506 Homewood Dr
Orlando, FL 32809



QR Code For Mobile Phone



302319588806160 09/29/2006



Value and Taxes

Historical Value and Tax Benefits



Summertime Deck and Dock, LLC
2120 33rd St. Orlando, FL. 32839
Phone: 407.583.6251
www.SummertimeDocks.com
info@summertimedocks.com

Licensed General Contractor: CGC1511647

City of Belle Islee
1600 Nela Avenue,
Belle Isle, FL 3280

Variance Narrative – 2023-01-012

To Whom It May Concern,

We, Summertime Deck and Dock, on behalf of Edward T. Harrison, owner of the property located at 2506 Homewood Dr., are requesting a variance approval to the dock design criteria code requirements per sec. 48-32 (a)(6) *Number and location of docks*. Based on the *Standards of Variance Justification* of sec 42-64 of the Land Development Code, the following information is being provided, addressing each section:

***Special Conditions and/or Circumstances – Section 42-64(1)d: WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY? WHAT WOULD BE THE UNNECESSARY HARDSHIP?** Given the unique topography of the shoreline and lake bottom, the dock will not be in adequate water depth to serve its intended purpose for boat mooring and cradle storage if the applicant is unable to construct their dock at the length requested.

***Not-Self-Created – Section 42-64(1)e: HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?** The unique, or in this case, particularly shallow, vegetative lake bottom in this area appears to be not-naturally occurring. Because of the boat access ramp located along the neighboring property line to the west, it appears that past dredging efforts, or excessive boat traffic caused by the use of this boat ramp, may have contributed to the unique water depths in this area. Furthermore, the shoreline takes on a more cove-like basin at the neighboring property, creating deeper water much closer to the Normal High Water Elevation, thus negating the need for a dock as long as we’re requesting. Ultimately, the existing dock that our dock is being compared to, as it relates to length, extends from an area of the shoreline that deviates from the more consistent shoreline that is found to the east of our subject property.

***Minimum Possible Variance – Section 42-64(1)f: CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY? LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE.** This variance request represents the minimum length needed to achieve the intent and purpose of the proposed boat dock (boat mooring and cradle storage). Based on individual water depth assessments, and when compared to other similar docks along the same shoreline, our proposed dock length appears to be consistent with docks that have been constructed more recently and with the shared intent and purpose of our proposed dock.

***Purpose and Intent – Section 42-64(1)g: WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD.** The approval of this variance and the construction of the proposed dock will not have any additional negative effects were it not to be approved. The construction of the proposed boat dock will be more consistent with the style and purpose of more recent docks that have been constructed over the years along the ever-evolving shoreline of Lake Conway.

NOTE: Although the dock does extend 15’ beyond the neighboring dock to the West, I don’t believe that dock to be an accurate reference for the dock we’re proposing to build. Its purpose appears to be more so for recreational fishing-type activities and not for boat mooring and storage, unlike our proposed dock, where water depth is much more part of the design criteria. The docks to the east, along with the general topography of the lake and shoreline, appear to be more consistent with our proposed dock and were used as a design reference.

Should you need any additional information to allow you to make an informed decision, please do not hesitate to call or email me personally. I can be reached at 407.583.6251 or matt@summertimedocks.com

Regards,

Matt Langbehn

Summertime Deck and Dock

BOUNDARY & TOPOGRAPHIC SURVEY

Legal Description:

Lot 15 (part of Section 16), less the Western 25 feet, of Lot Section 16(1), and South of the Northwest Corner of Lot Fifteen (15), thence run Southwesterly 244 feet along the Line between said Lot 15 and Lot 16, thence South 89° 58' 00" West 100.00 feet to the Northwest Corner of said Lot 15, thence West 100.00 feet to the North of Block 1, NE 1/4, ISLAND SECTION 16, according to plat thereof recorded in Plat Book 0, Page 95, Public Records of Orange County, Florida.

Abbreviations:

- 00 = 0.00
- 01 = 0.01
- 02 = 0.02
- 03 = 0.03
- 04 = 0.04
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Legend:

- MOOD FENCE
- DRIVE LINE FENCE
- WOOD FENCE
- POST FENCE
- LIGHT FENCE
- PAVERS
- CONCRETE
- ASPHALT

- SWAMP NOTES:**
- * FENCE IS A FENCE ON NEAR POINTING OF THE WESTERY
 - * FENCE IS A FENCE ON NEAR POINTING OF THE WESTERY
 - * FENCE IS A FENCE ON NEAR POINTING OF THE WESTERY



Address: 2506 Homewood Drive, Belle Isle Florida 32609

Certified to/for the exclusive use of:
 Old Republic National Title Insurance Company
 Division of Etics, P.A.

Flood Insurance Rate Map:
 Community Number: 120181 Panel: 0430
 SoFlo, Florida Insurance Rate Map
 Flood Zone: "X" AFS (BRE 88) *
 Map ID: 12095C0430P

Basis of Bearing:
 Bearings shown herein are based on the
 magnetic declination for the year 2022,
 being 58°25'10" W (Curve C-5) Assumed.

Surveyor's Notes:

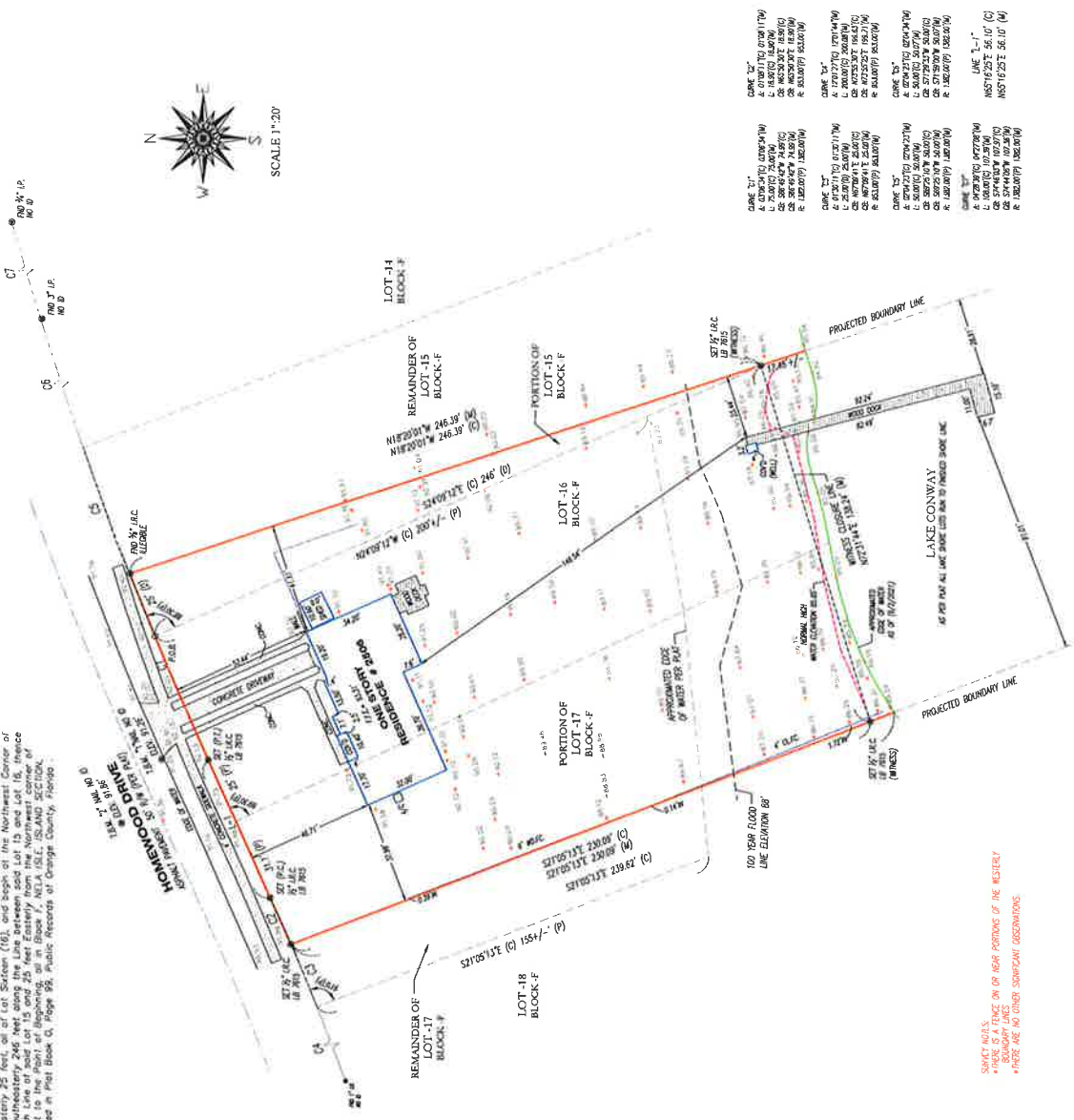
1. Legal description provided for others.
2. The lots shown herein were not distributed for accounts or other purposes.
3. Unimproved portions of blocks, subdivisions or other improvements were not surveyed.
4. The base of the wall and are not to be used to re-establish boundary lines.
5. Only public easements located.
6. Dimensions shown are feet and measured unless otherwise shown.
7. This survey was conducted in accordance with the Florida Statutes.
8. This survey showed that there are no other easements or other interests in the property.
9. No unrecorded easements or other interests have been located.
10. This survey is intended for the exclusive use and benefit of the parties stated herein.
11. The survey may not be used for other purposes.
12. This survey does not affect or determine ownership.
13. This survey is not an A/M/A/S/N Land Title Survey.
14. Subject to any decisions, conditions, restrictions, reservations, and/or covenants, encumbrances, and other interests as shown.
15. This Survey is not an A/M/A/S/N Land Title Survey.
16. The Survey was prepared without the benefit of a commitment for the recording of the Survey.
17. The Survey is not an A/M/A/S/N Land Title Survey.
18. The Survey is not an A/M/A/S/N Land Title Survey.
19. This Survey is intended for the exclusive use and benefit of the parties stated herein.
20. MAPPING CODE: 04303020000 (CONCRETE CONCRETE) AND 04303020000 (WOOD FENCE) ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
21. Elevation (if shown herein) are based on the benchmark L150002, located at the corner of the property.
22. Part of NE 1/4, Section 16, Plat Book 0, Page 95 Group 1, recorded in Public Records of Orange County, Florida, is shown in red on this map to indicate that it is not to be used for any other purpose.



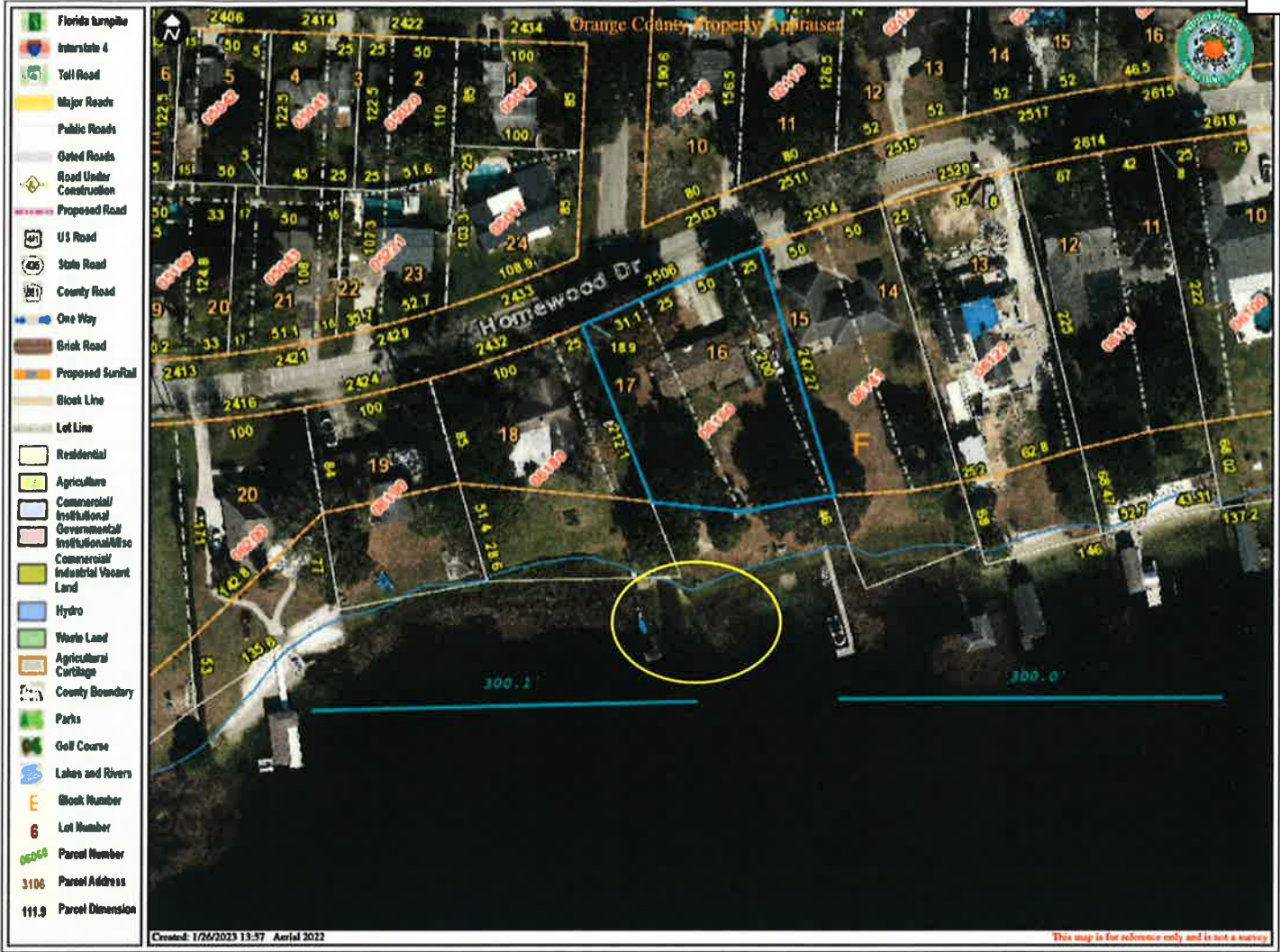
THE SURVEYOR HAS BEEN LICENSED BY THE STATE OF FLORIDA. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA STATUTES AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING.



SCALE 1"=20'



- DATE: 11/15/2022
- 1. 100 YEAR FLOOD LINE ELEVATION 88'
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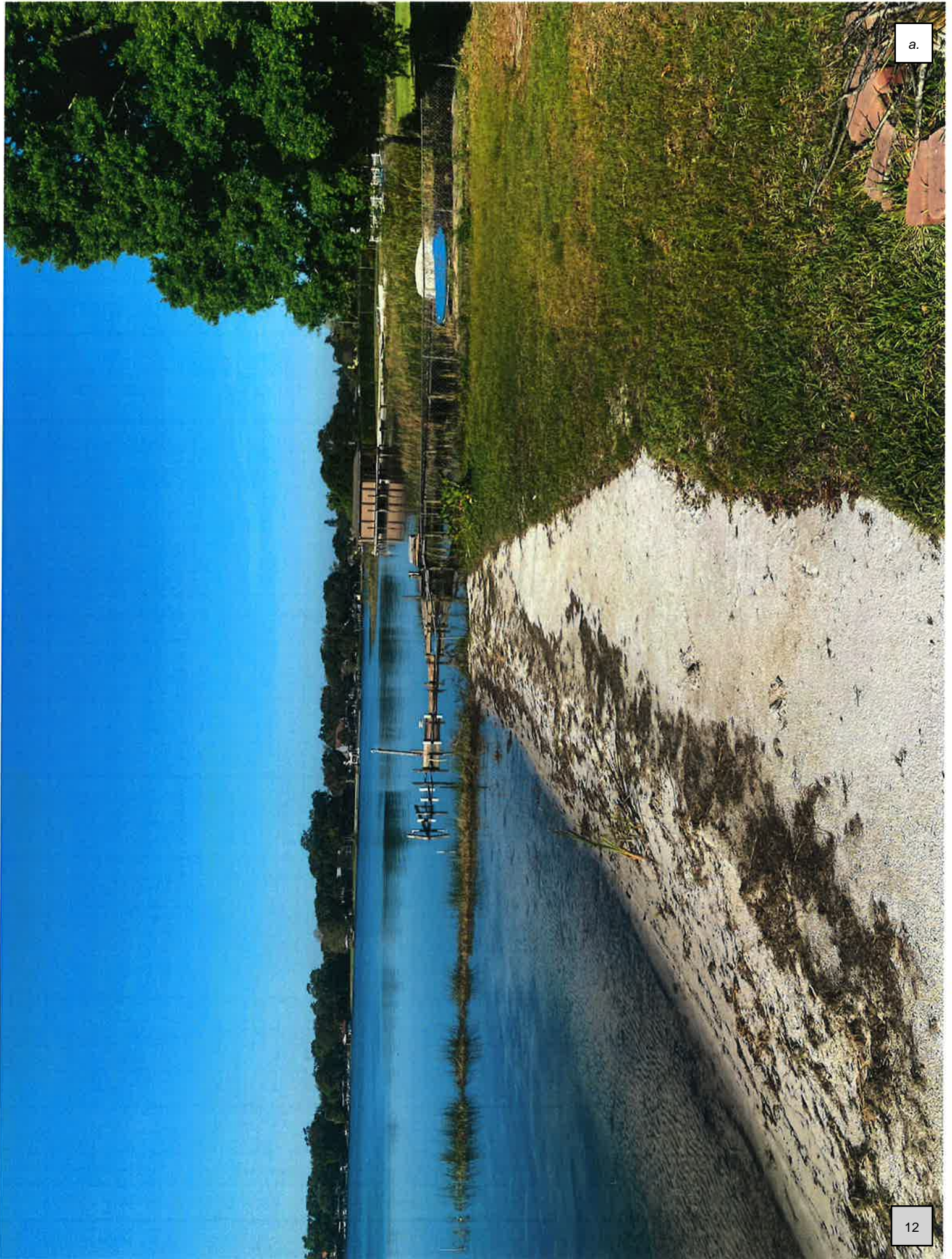


- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental
- Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



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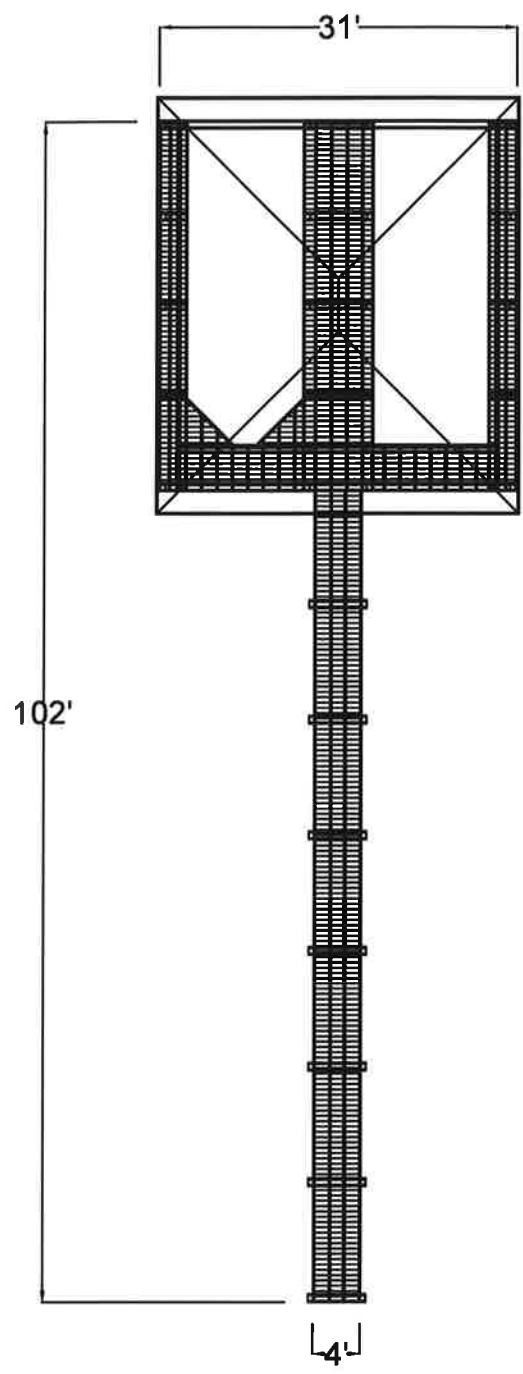


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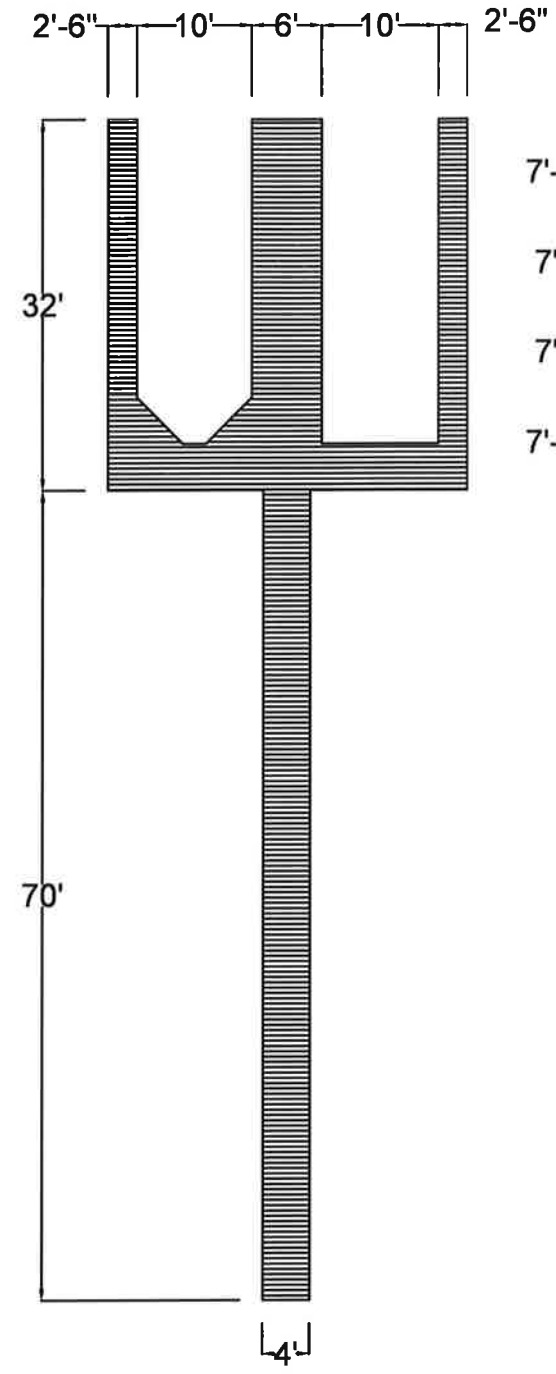


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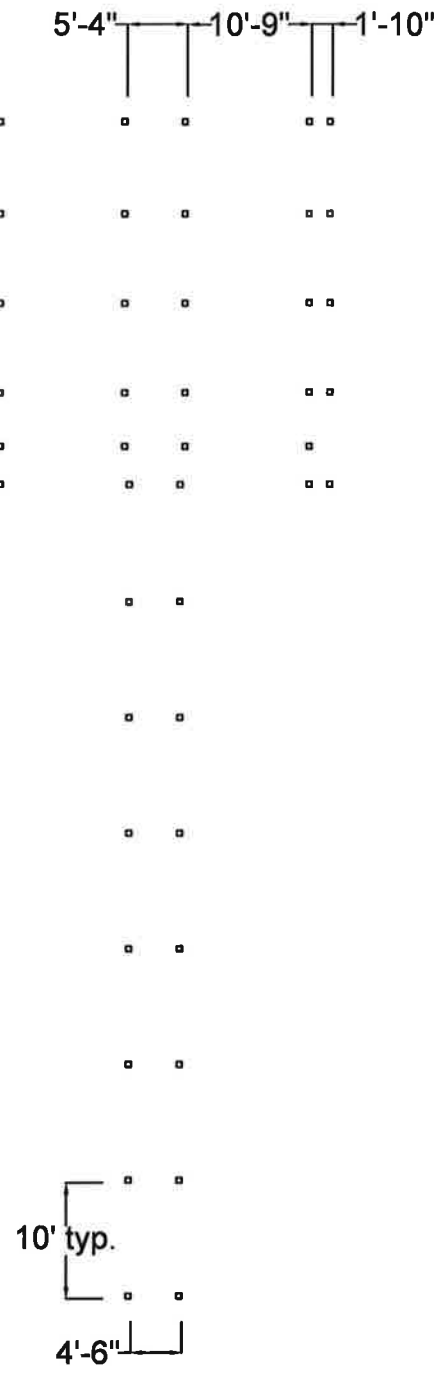




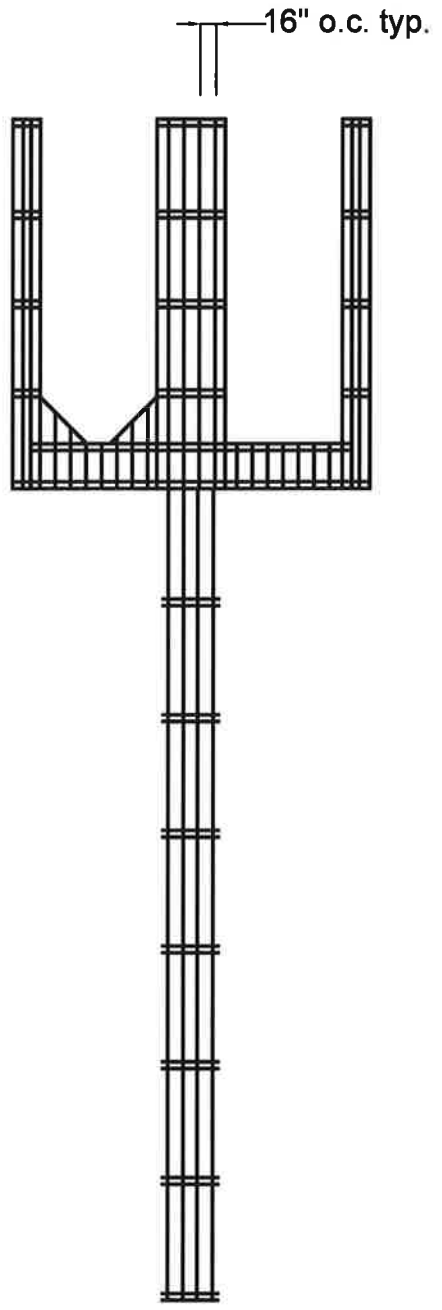
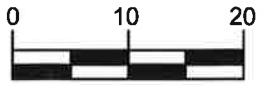
Plan View (Top View)



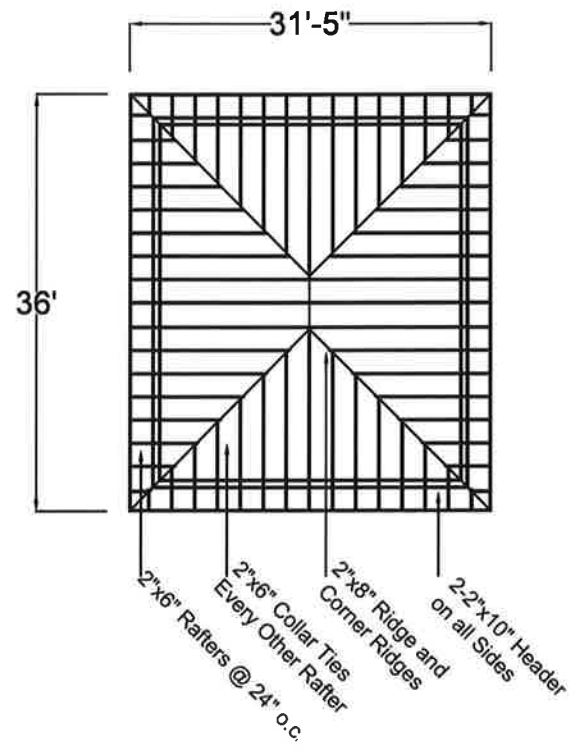
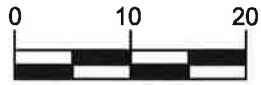
Decking Layout



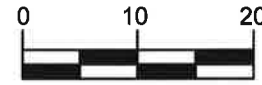
Piling Layout



Framing Layout



Roof Layout



Prepared for:
SUMMERTIME
 Summertime Deck and Dock, LLC
 2120 33rd St.
 Orlando, FL 32839
 (407) 583-6251
 www.summertime docks.com

Jennifer Teliga, P.E.
 2901 Bluestem Ln.
 Clermont, FL 34714
 P.E. #64621
 (321) 662-7503

Harrison Dock
 2506 Homewood Dr
 Belle Isle, FL 32809

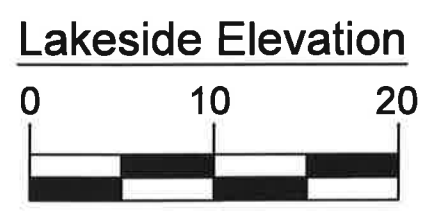
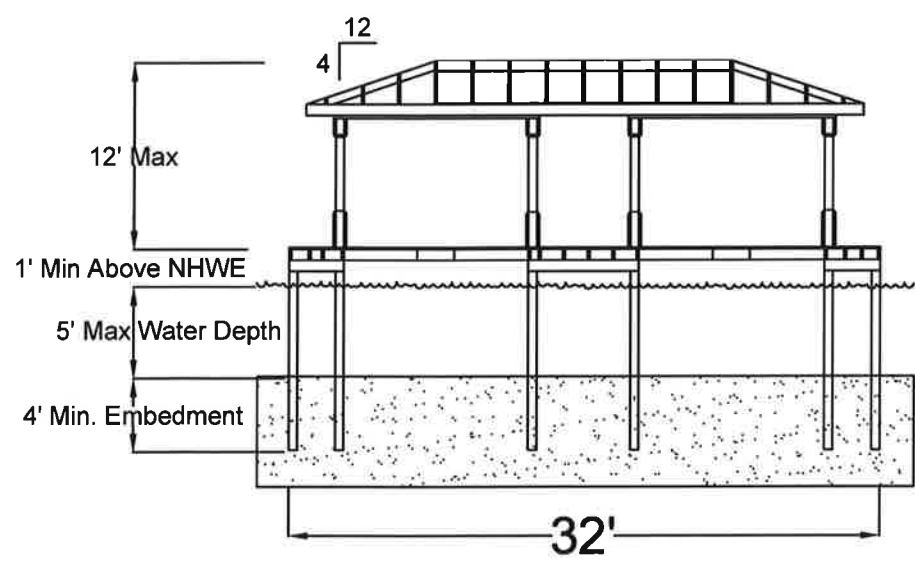
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Project:
SDD-2022-58

S1

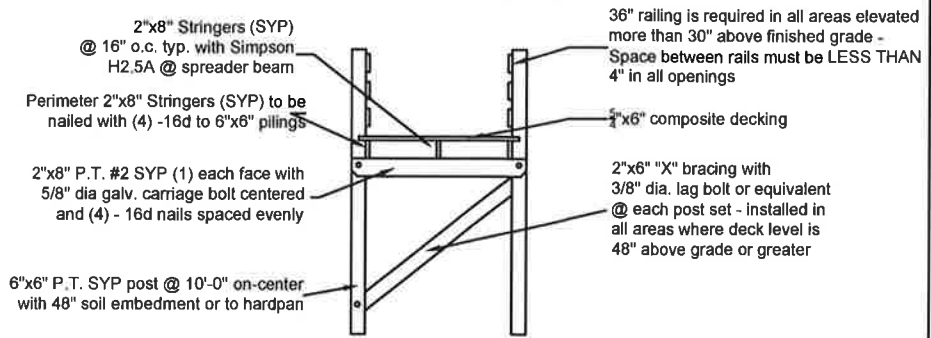
1/16" = 1'-0"

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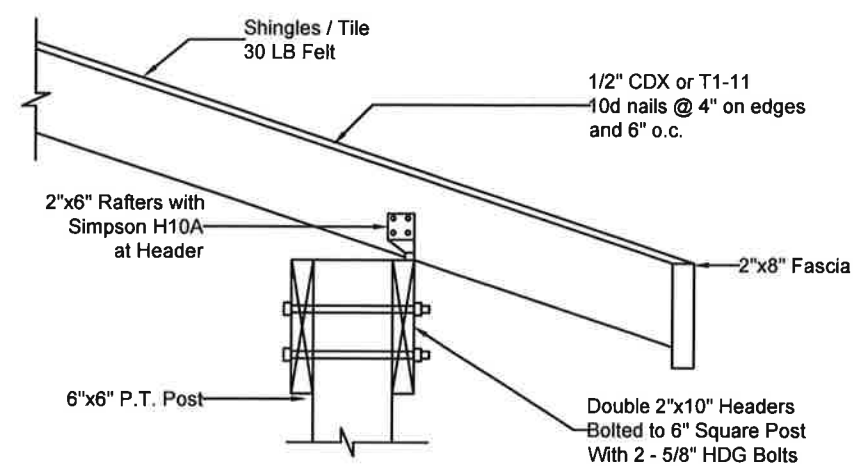
Notes:

- 1.) All framing to be fastened with 16d HDG ring shank nails.
- 2.) All decking to be fastened with 16d HDG ring shank nails - 2 per board per stringer.
- 3.) All lumber to be Southern Yellow Pine (SYP).

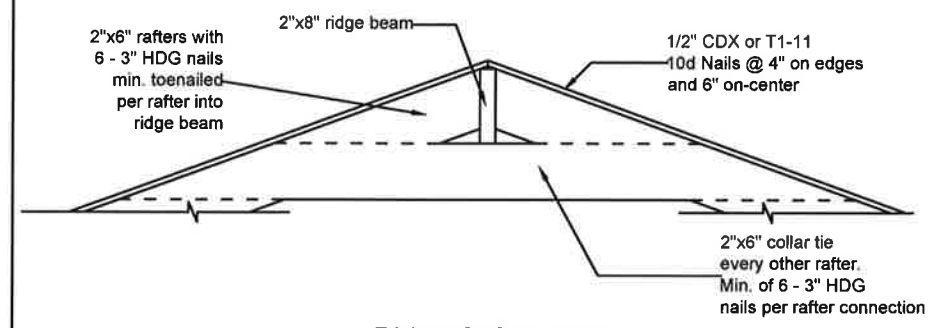


Typical Cross Section

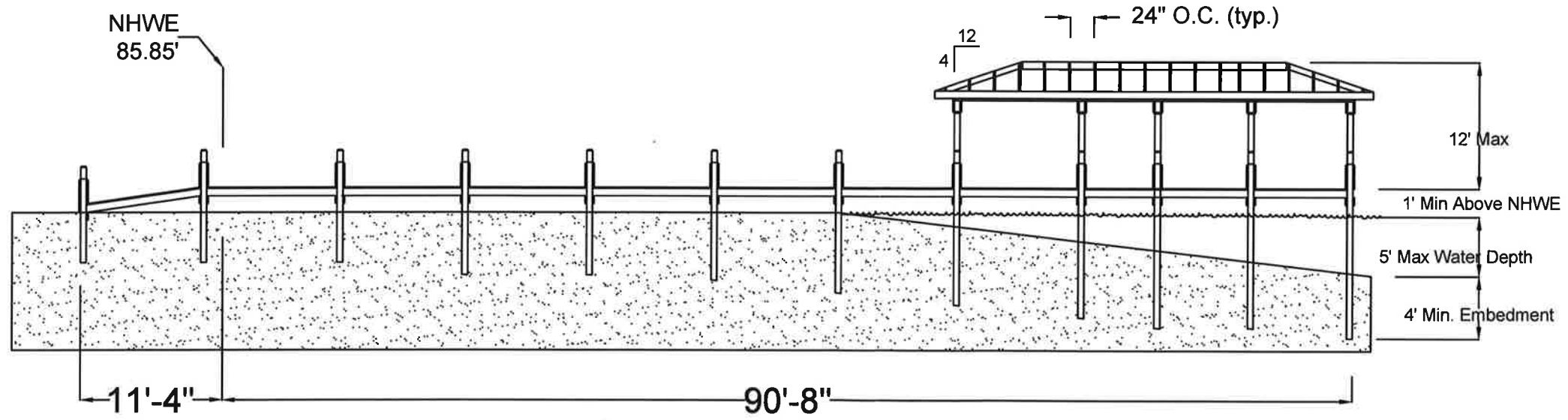
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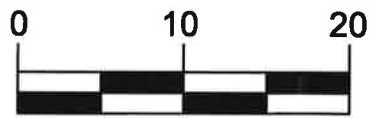
Eave Detail



Ridge/Rafter Detail



Side Elevation



Prepared for:

 Summertime Deck and Dock, LLC
 2120 State St
 Clermont, FL 34714
 (407) 552-8251
 www.summertime-docks.com

Jennifer Teliga, P.E.
 2901 Bluestem Ln.
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Harrison Dock
 2506 Homewood Dr
 Belle Isle, FL 32809

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Project:
SDD-2022-58

S2



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 2506 Homewood Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-002 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (6) (A) AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application for 2506 Homewood Drive seeks a variance from sec. 48-32 (a) (6) (a) to build a dock that projects more than 15 feet lakeward of an existing dock at 2432 Homewood Drive by approximately 40 feet. The applicant’s existing dock currently projects approximately 30 feet from the neighboring dock at 2432 Homewood Drive. The proposed dock location would not project 15 feet lakeward of the existing docks at 2514 and 2520 Homewood Drive.

The dock at 2506 Homewood Drive was permitted by Orange County government in 1990. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then. Recently, 2432 Homewood Drive received a violation notice for the condition of their existing dock by the city’s Code Enforcement Department. The homeowner at 2432 Homewood Drive has filed a demolition permit for their dock. However, until the dock's demolition permit for 2432 Homewood Drive is closed, the variance application cannot be approved for the proposed dock plans until all zoning requirements are met per sec. 48-32.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

- 2. Not Self-Created (Section 42-64 (1) e):

The property’s existing dock was created before sec. 48-32 (a) (6) (a) was adopted under Belle Isle Ordinance 17-02. An aerial view of the property shows that the shoreline location varies from 2432 Homewood Drive to 2506 Homewood Drive. While the shoreline location varies from 2432 to 2506

Homewood Drive, the requested variance is self-created as the applicant seeks to *increase* the lakeward projection of the proposed dock by approximately 10 feet.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance does not meet the minimum possible variance to make reasonable use of the land. The existing dock currently projects approximately 30 feet lakeward from the neighboring dock at 2432 Homewood Drive. Removing the existing dock and constructing a new one to expand a dock’s nonconformity to the code does not satisfy the minimum possible variance criteria.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The location and placement of the proposed dock are compatible with most other docks within 300 feet (east and west) of the site. A record request was submitted to the city’s Code Enforcement Department, and their records found no complaints on file for the property owner’s dock.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria has been met:

- i. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- ii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- iii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- iv. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- v. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to deny the requested variance from sec. 48-32 (a) (6) (a) as the request is self-created and does not meet the minimum possible variance to make reasonable use of the land. The Land Development Code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

MEMORANDUM

TO: Planning and Zoning Board
DATE: July 25, 2023
RE: Variance Application - 2802 Alsace Court

PUBLIC HEARING CASE # 2023-07-015 - PURSUANT TO BELLE ISLE CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.

Background:

- 1. On July 7, 2023, the applicant, Alan Leow, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, July 15, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on July 11, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

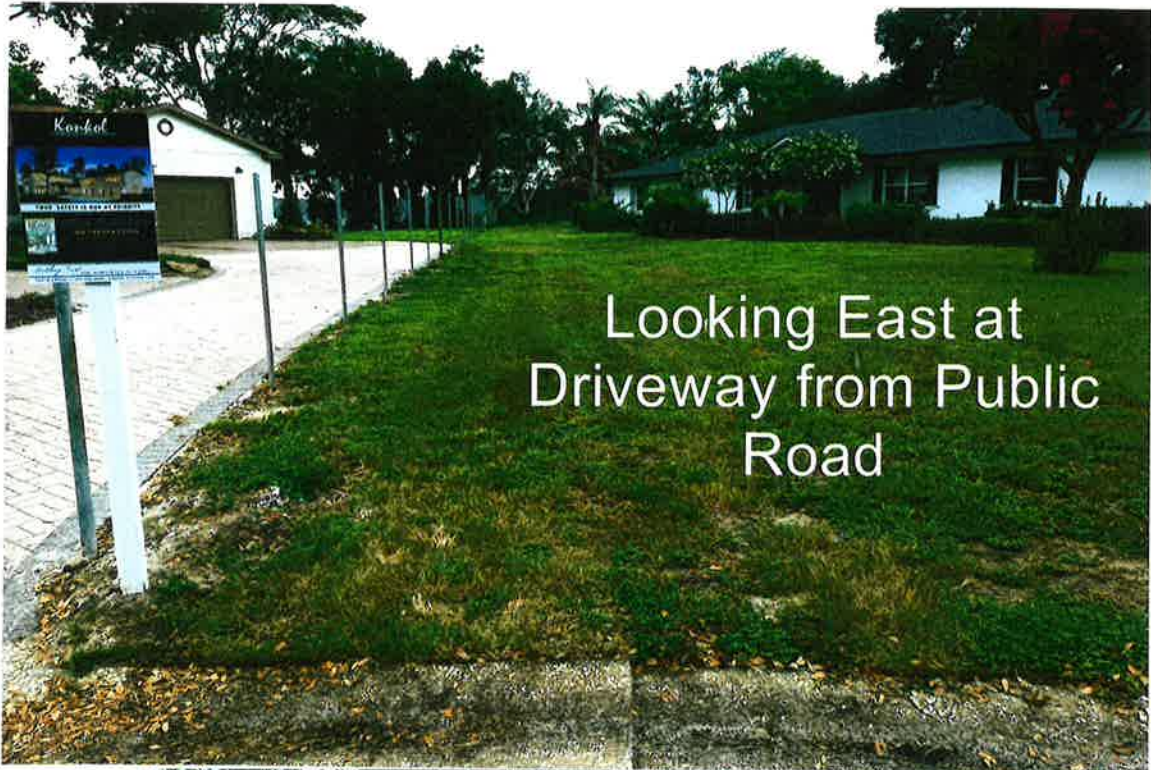
"I MOVE, PURSUANT TO BELLE ISLE CODE SEC. CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, TO APPROVE A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.

SAMPLE MOTION TO DENY:

"I MOVE, PURSUANT TO BELLE ISLE CODE SEC. CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, HAVING NOT BEEN MET, TO DENY [use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.
SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.







City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov

Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT Alan Leow	OWNER Same
ADDRESS 313 Kassik Cir, Orlando, FL 32824	PROJECT ADDRESS 2802 Alsace Ct, Belle Isle
CONTACT NUMBER 407-286-6695	OWNER'S CONTACT NUMBER Same
EMAIL leow.alan@gmail.com	OWNER'S EMAIL Same
PARCEL ID# 18-23-30-4385-04-241	
LAND USE CLASSIFICATION 0030	ZONING DISTRICT R-1-AA
SECTION OF THE CODE VARIANCE REQUESTED ON Section 50-73 (50' Lake Setback)	
DETAILED VARIANCE REQUEST Re-application for variance previously approved in 2021 to reduce required lake setback from 50' to 30' for building structures within 150' of the Eastern property line on the north side of the property.	
<ul style="list-style-type: none"> The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property. By applying, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property during reasonable hours to inspect the area to which the application applies. The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies. 	
APPLICANTS SIGNATURE <i>Alan Leow</i>	OWNER'S SIGNATURE <i>Alan Leow</i>
<input checked="" type="checkbox"/> VARIANCE	<input type="checkbox"/> SPECIAL EXCEPTION
<input type="checkbox"/> OTHER	P&Z CASE NUMBER 2023-07-015
	DATE OF HEARING 7/25/2023

CK 1421

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



City of Belle Isle
1600 Nela Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov
Variance and Special Exception Application

- Development Code or for the purpose of obtaining a variance.
- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
- g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
- h. The board shall find that the preceding requirements have been met by the applicant for a variance.

the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the Board's discretion, such variance may be revoked for violation of the condition and safeguards.

- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

(2) Violations of conditions.

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

Applications submitted must meet all of the above criteria before the Board can grant a variance. The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

General Information

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY: FEE: \$300	<u>7/7/23</u> Date Paid	<u>1421</u> Check/Cash	<u>LSimons</u> Rec'd By
------------------------------------	----------------------------	---------------------------	----------------------------

Variance Request – Application Supplement

Special Conditions and/or Circumstances

This property is very unusual because it is a peninsula with Lake Conway on 3 sides. The 50' lake setback requirement on 3 sides forces the home to be unnaturally long and thin. It also means that there is very little driveway space in front of the garage for emergency and delivery vehicles to turn around. In particular, fire trucks can be very long and hard to turn around.

The present 50' setback means that there is only 30' for emergency and delivery vehicles to turn around. **30' is not sufficient and presents a safety hazard.**

In 2021, we asked for and were approved for the setback to be reduced to 30' thereby allowing the turn-around width to be increased from 30' to 50'. Even 50' is tight but we believe this is the minimum needed for the safe turn-around of emergency vehicles.

Not Self Created

The circumstances of this property are inherent to the property and not created by the applicant or anybody else.

Minimum Possible Variance

I ask for this variance so that I can build a home whose front driveway is wide enough to turn emergency vehicles around. The buildable area of this property is so narrow that it is not possible to have a reasonable turn-around space for emergency vehicles without the variance.

Purpose and Intent

The approval of this variance will have little of no impact on adjacent properties or the surrounding neighborhood. The house of the nearest neighbor is at least 100' away. A dense forest of trees will be on the North and East side of the garage so that, even after the variance, the garage will be mostly behind trees and invisible from everyone.

Property Record - 18-23-30-4385-04-241

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary

Property Name

2802 Alsace Ct

Names

Leow Alan H
Leow Cathy

Municipality

BI - Belle Isle

Property Use

0030 - Vacant Water

Mailing Address

313 Kassik Cir
Orlando, FL 32824-5808

Physical Address

2802 Alsace Ct
Orlando, FL 32812



QR Code For Mobile Phone



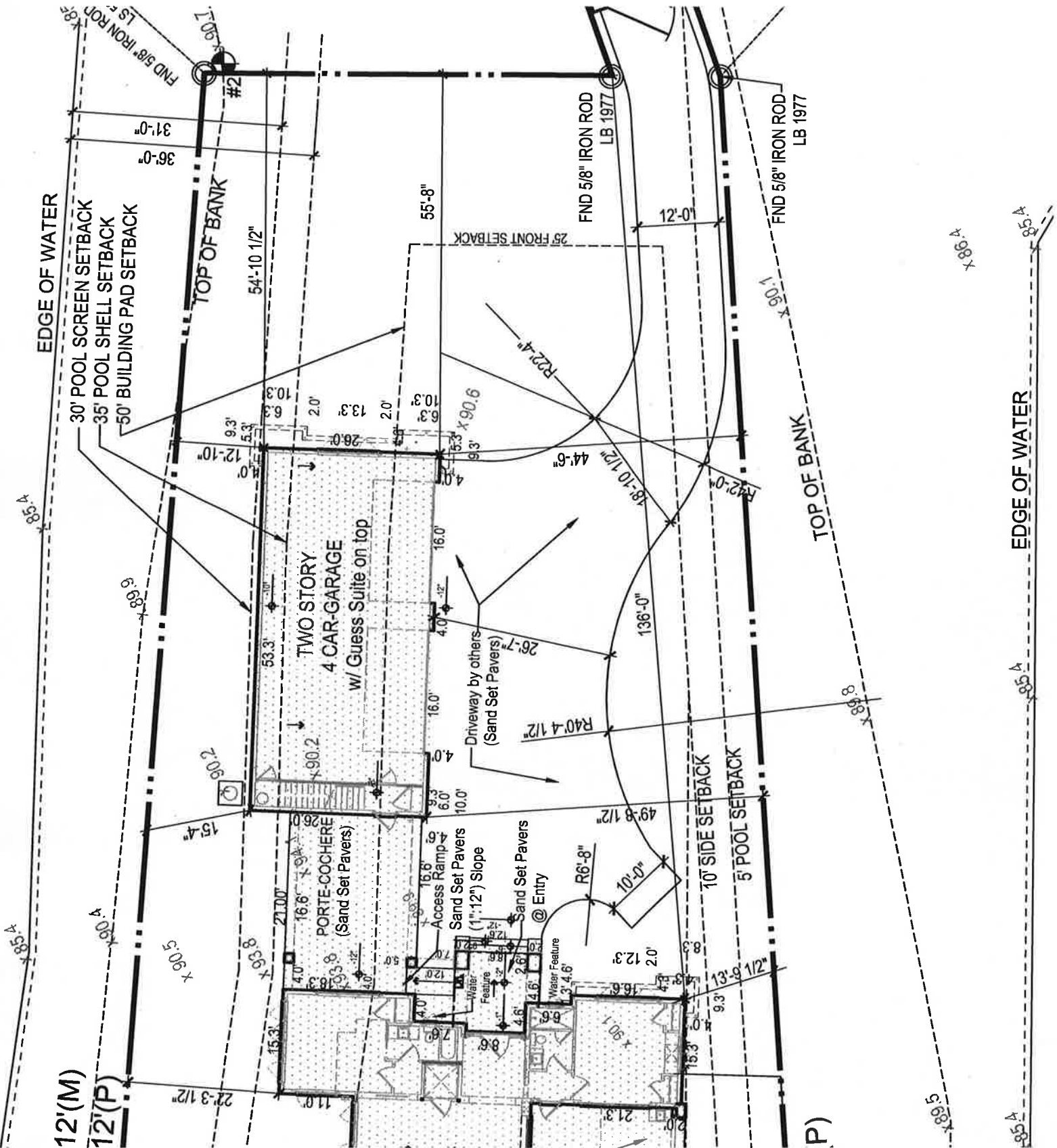
Value and Taxes

Historical Value and Tax Benefits

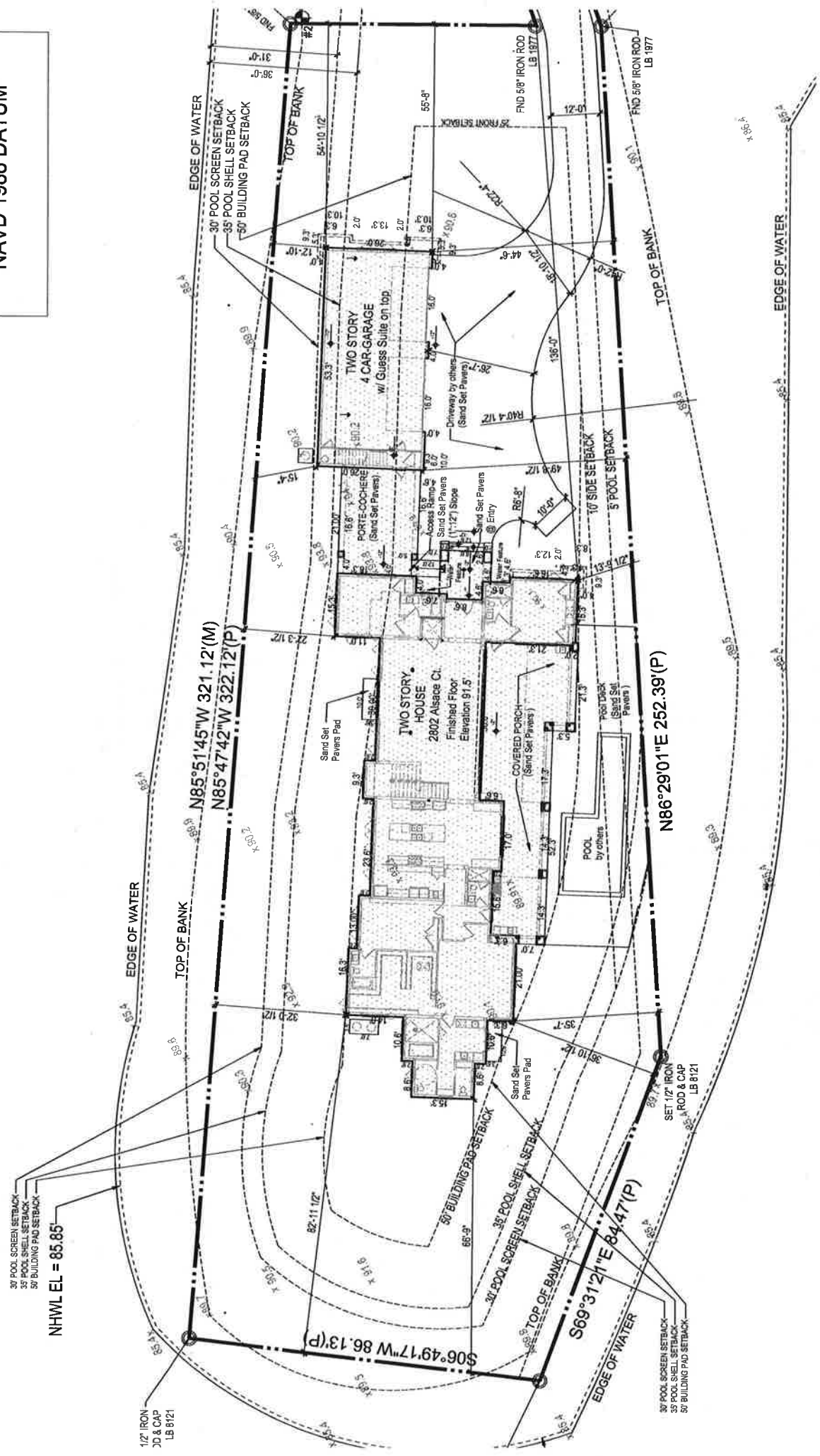
Fax Year Values	Land	Building(s)	Feature(s)	Market Value	Assessed Value
2022 <input checked="" type="checkbox"/> MKT	\$510,000	+	\$0	+	\$0 = \$510,000 (0%) \$510,000 (0%)
2021 <input checked="" type="checkbox"/> MKT	\$510,000	+	\$0	+	\$0 = \$510,000 (2.0%) \$510,000 (30%)
2020 <input checked="" type="checkbox"/> MKT	\$500,000	+	\$0	+	\$0 = \$500,000 (0%) \$392,645 (10%)
2019 <input checked="" type="checkbox"/> MKT	\$500,000	+	\$0	+	\$0 = \$500,000 \$356,950

Fax Year Benefits	Tax Savings
2022 <input checked="" type="checkbox"/>	\$0
2021 <input checked="" type="checkbox"/>	\$0
2020 <input checked="" type="checkbox"/>	\$1,058
2019 <input checked="" type="checkbox"/>	\$1,411

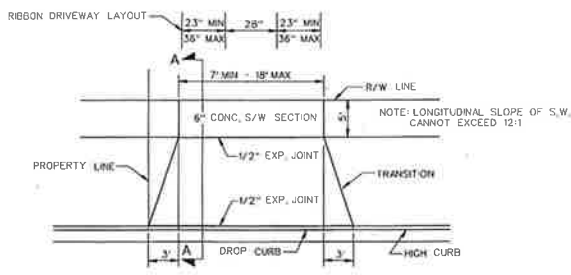
2022 Taxable Value and Certified Taxes



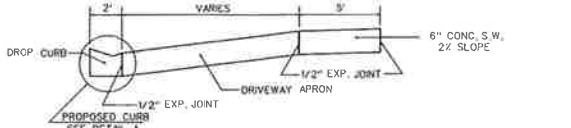
NHWL ELEVATION
 PER BELLE ISLE
 OF 85.85' IS IN
 NAVD 1988 DATUM



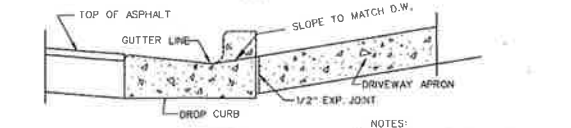
b.



RESIDENTIAL DRIVEWAY APRON
N.T.S.



SECTION A-A
N.T.S.



DETAIL A
N.T.S.

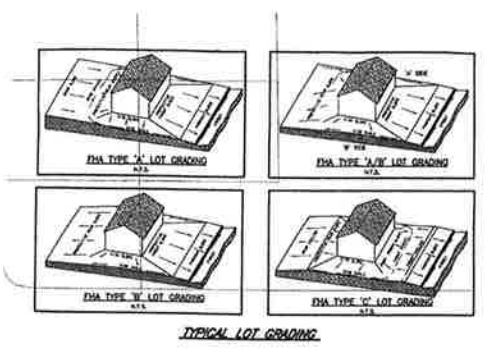
- NOTES:
- 3000 PSI CLASS 1 CONCRETE REQUIRED
 - EXISTING HIGH CURB SHALL BE REMOVED AND REPLACED WITH DROP CURB
 - 6" S.W. SECTION SHALL BE INSTALLED THROUGH DRIVEWAY

ADDRESS
2802 ALSACE COURT
ORLANDO, FLORIDA 32812

LEGAL DESCRIPTION: (AS FURNISHED)
LOT 424-A LAKE CONWAY ESTATES SECTION FOUR, SECOND ADDITION, FIRST REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 113 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHEASTERLY LINE OF LOT 424-A, BEING N70°33'33"E, PER PLAT

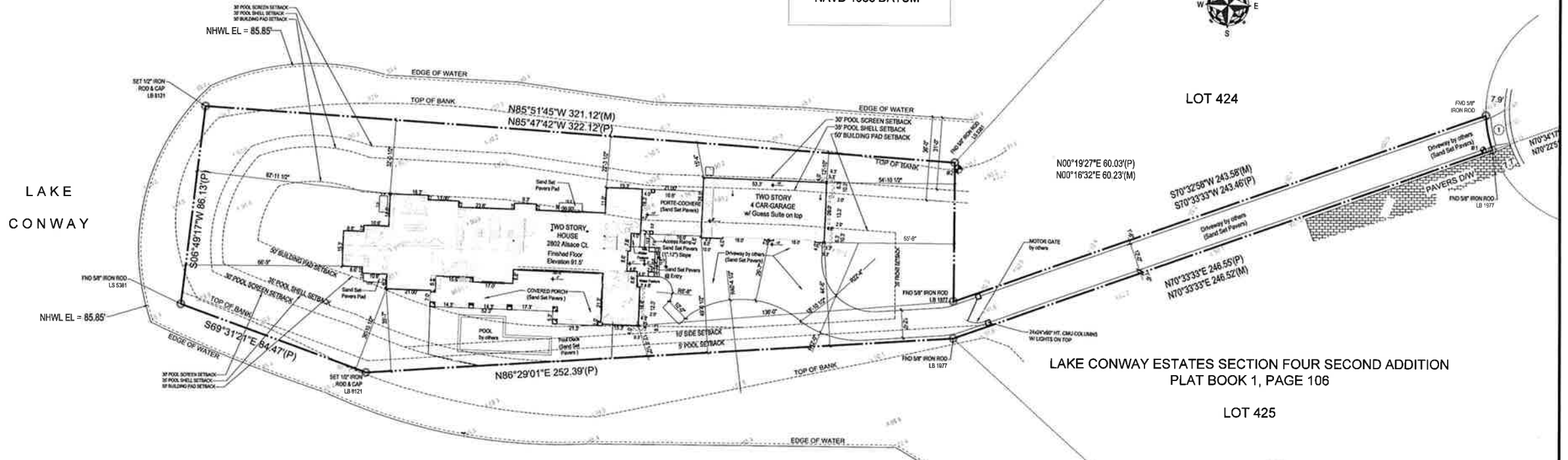
PARCEL ID#
13-23-29-0000-00-044



TYPICAL LOT GRADING

- Site Benchmark Information-
- #1
Found 5/8" Iron Rod and Cap LB 1977 on SE Corner.
Elevation: 90.93'
 - #2
Found 5/8" Iron Rod and Cap LS 5381 on NE Corner.
Elevation: 88.88'
- Benchmark Information-
Orange County Datum
Based on GPS Observations
(Elevations are based upon NAVD 88 Datum)

NHWL ELEVATION
PER BELLE ISLE
OF 85.85' IS IN
NAVD 1988 DATUM



LAKE CONWAY ESTATES SECTION FOUR SECOND ADDITION
PLAT BOOK 1, PAGE 106

LAKE CONWAY
PARCEL ID#
13-23-29-0000-00-044

- ①
- R=50.00'(P)&(M)
 - Δ=17°27'37"(C)
 - Δ=17°46'09"(M)
 - L=15.23'(P)
 - L=15.51'(M)
 - CB=N10°41'55"W(C)
 - CB=N10°32'33"W(M)
 - C=15.18'(C)
 - C=15.44'(M)

GENERAL NOTES KEY:

THIS IS NOT A SURVEY. MJS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THE OWNER AND CONTRACTOR ARE TOTALLY RESPONSIBLE FOR PLACING THE BUILDING ON THE PROPERTY.

POOL DESIGN AND LOCATION SHOWN ARE ONLY SUGGESTED. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR FINAL POOL DESIGN AND LOCATION.

LANDSCAPING DESIGN BY OTHERS.

MJS, INC. ASSUMES NO RESPONSIBILITY FOR SEPTIC DESIGN OR LOCATION. SEPTIC IF SHOWN ON PLANS IS PER BUILDER OR OWNER REQUIREMENTS. SEPTIC SYSTEMS ARE TO BE DESIGNED AND LOCATED PER DEPT. OF HEALTH REQUIREMENTS OR AS PER GOVERNING CODES.

NOTE:
THE DRAINAGE MUST BE DIRECTED TOWARDS A DRAINAGE EASEMENT WITH A POSITIVE OUTFALL OR TO THE ROADWAY R/W. INCREASE OR CREATION OF "WATER PONDING" TO ADJACENT PROPERTIES IS PROHIBITED.

NOTE:
PROPOSED IMPROVEMENTS WILL HAVE MINIMAL IMPACT TO EXISTING RUNOFF DRAINAGE PATTERNS. NO FILL WILL BE IMPORTED TO SITE EXCEPT FOR RESIDENCE FOUNDATION.

RIE ENTERPRISES LLC
Florida Reg #47515
4107 West Turkey Hill
Maitland, FL 32754

ENTERPRISES LLC
FL REG #19155 COE: 124807

815 Oriole Ave., Suite #1040
Altamonte Springs, FL 32701
Ph: (407) 629-6711
Fax: (407) 629-6776
www.mjsdesigngroup.com

MJS
designers group
residential-commercial-architecture

AL
BD

GOBA

Leow House
2802 Alsace Ct.
Orlando, FL 32812

500 N. Mainland Ave., # 313
Maitland, FL 32751
www.kankal.com
CG057805

Kankal
CUSTOM HOMES & REMODELING, LLC

DISCLAIMER:
THE SCOPE OF WORK FOR THIS DRAWING IS TO PROVIDE A PROPOSED LAYOUT TO ENSURE HOUSE FITMENT ON THE LOT AND COVERS THE FULL EXTENT OF MJS RESPONSIBILITY. IT IS THE RESPONSIBILITY OF THE BUILDER, SURVEY COMPANY, CIVIL ENGINEER (IF APPLICABLE), AND HOMEOWNER TO VERIFY ALL DIMENSIONS FOR THE ACTUAL PLACEMENT OF THE HOUSE. MJS DESIGNERS GROUP AND THE ENGINEER OF RECORD WILL NOT BE HELD LIABLE FOR ANY WORK COMPLETED OUTSIDE OF THIS SCOPE OF WORK.

Site Layout
SCALE: 1" = 20'-0"

ISSUE DATE: 01/11/2023
REVISIONS:
PROJECT: 21-0197
SCALE: AS NOTED
DRAWN BY: C.C. RHP
DESIGNED BY: MJS

SITE PLAN
S-01

b.

29



CITY OF BELLE ISLE, FL
Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 2802 Alsace Court

Applicant Request: PUBLIC HEARING CASE #- PURSUANT TO BELLE ISLE CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.

Existing Zoning/Use: R-1-AA / Vacant (Single-Family Home To Be Built)

Overview of Variance Application

The application requests a variance from the 50-foot building setback from the Normal High Water Elevation (NHWE) for portions of a new single-family home. The applicant has provided supporting documentation addressing the variance criteria.

Mr. Leow is resubmitting a similar variance application from sec. 50-73 (a), sec. 50-102 (a) (4), (5), and (8) in July 2021. The request was approved by the board in July 2021, however, under sec. 42-67, the validity of the approved variance has expired. Mr. Leow has recently filed a building permit through Universal Engineering Sciences to construct the new home.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

This property is unique as it is a peninsula, surrounded on three sides by Lake Conway. With the 50-foot setback from the NHWE requirement, this leaves limited building footprint area. The applicant is seeking a 20-foot variance (setback would be 30 feet from the NHWE) along the northeast corner only. This is to accommodate the garage, carport, and garage stairs for a new single-family home. With the configuration of property access, the applicant would like to be able to have a turnaround area for cars in front of the garage area that is wide enough.

- 2. Not Self- Created (Section 42-64 (1) e):

The request for a variance is not self-created as the property lines and lot configuration were created prior to the property owner seeking to develop the site for a single-family home.

- 3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance is the minimum possible variance to make reasonable use of the land. The application does not seek to extend the existing development footprint closer to the water on any of the other sides of the property.

4. Purpose and Intent (Section 42-64 (1) g):

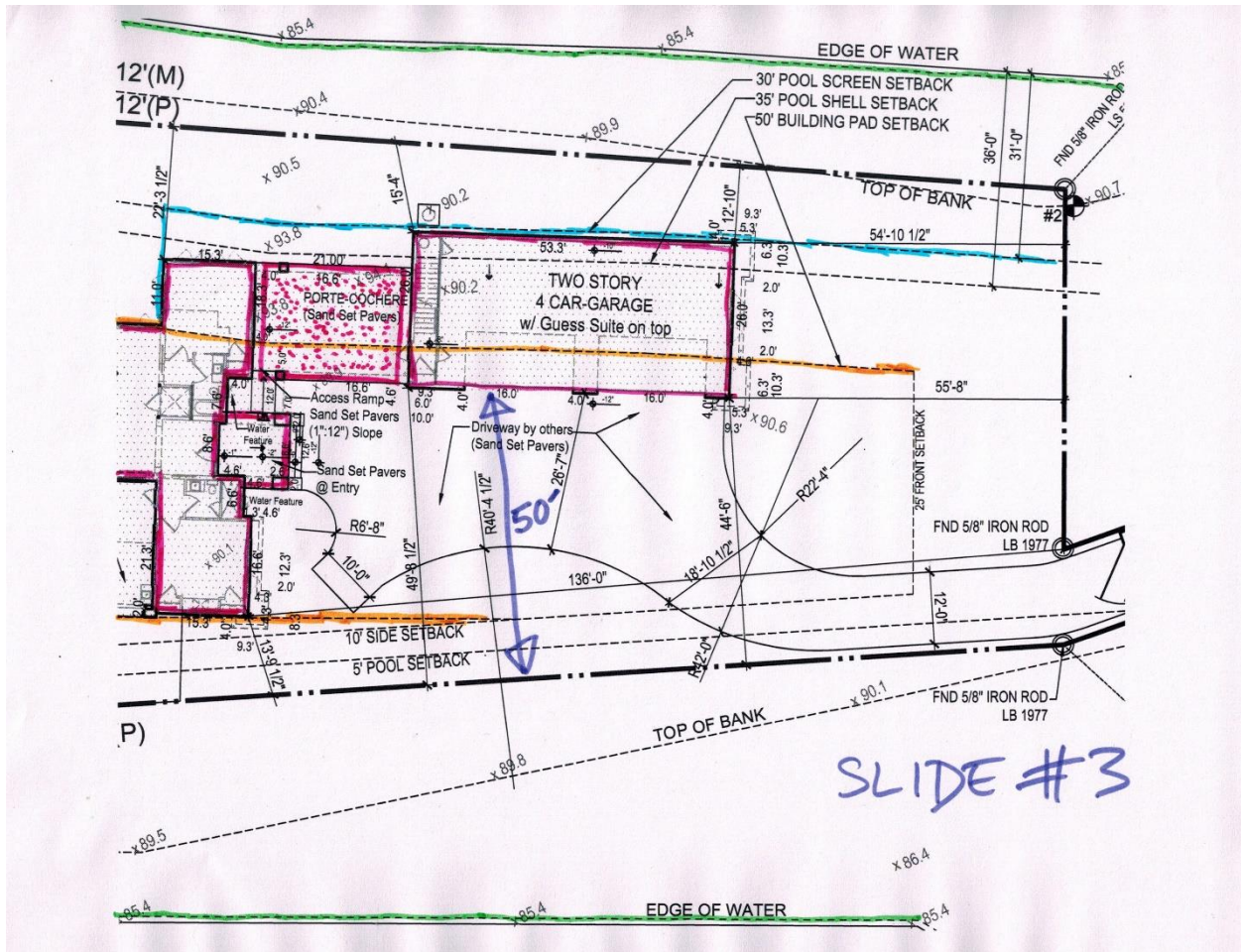
The requested variance is in harmony with the general purpose and intent of the Land Development Code and therefore is not injurious to the neighborhood, nor detrimental to the public welfare, and will not be contrary to the public interest. This is because the applicant seeks to maintain the 50-foot NHWE setback on all other sides of the property fronting Lake Conway and will not be impeding any viewshed of adjacent lake properties.

Staff provides a recommendation to approve the requested variance based on meeting all the above criteria. The Land Development Code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.







MEMORANDUM

TO: Planning and Zoning Board
DATE: July 25, 2023
RE: Variance Application - 3019 Indian Drive

PUBLIC HEARING CASE #2023-06-008 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.

Background:

- 1. On June 2, 2023, the applicant, Emily Wakely Delozier, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, July 15, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on July 11, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I MOVE, PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, TO APPROVE A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.

SAMPLE MOTION TO DENY:

"I MOVE, PURSUANT TO BELLE ISLE CODE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, HAVING NOT BEEN MET, TO DENY [use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.
SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov

c.

Variance and Special Exception Application			
City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code			
APPLICANT	Emily Wakley DeLozier	OWNER	Emily Wakley DeLozier
ADDRESS	3019 Indian Dr	PROJECT ADDRESS	3019 Indian Dr
CONTACT NUMBER	407-902-9404	OWNER'S CONTACT NUMBER	407-902-9404
EMAIL	emilysw407@gmail.com	OWNER'S EMAIL	emilysw407@gmail.com
PARCEL ID#	29-23-30-4389-01-979		
LAND USE CLASSIFICATION	SFR	ZONING DISTRICT	R-1-AA
SECTION OF THE CODE VARIANCE REQUESTED ON Section 48-32(3) and (6)			
DETAILED VARIANCE REQUEST			
Requested variance to extend an existing dock greater than 15 ft lakeward of an existing dock within 300 feet to reach lake bottom elevation 79.5 ft, as allowed under the code, and authorize a 733 sq ft roof to allow for a 1 ft overhang for the proposed 672 sq ft terminal platform of the dock.			
<ul style="list-style-type: none"> The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property. By applying, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property during reasonable hours to inspect the area to which the application applies. The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies. 			
APPLICANTS SIGNATURE		OWNER'S SIGNATURE	
<input checked="" type="checkbox"/> VARIANCE	<input type="checkbox"/> SPECIAL EXCEPTION	<input type="checkbox"/> OTHER	P&Z CASE NUMBER 2023-06-008 DATE OF HEARING 7/25/2023

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



City of Belle Isle
1600 Nela Avenue, Belle Isle, FL 32809
Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov
Variance and Special Exception Application

- Development Code or for the purpose of obtaining a variance.
- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
- g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
- h. The board shall find that the preceding requirements have been met by the applicant for a variance.

the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the Board's discretion, such variance may be revoked for violation of the condition and safeguards.

- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

(2) Violations of conditions.

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

Applications submitted must meet all of the above criteria before the Board can grant a variance. The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

General Information

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY: FEE: \$300	<u>6/2/23</u> Date Paid	<u>CK/77</u> Check/Cash	<u>Rogues Logano</u> Rec'd By
------------------------------------	----------------------------	----------------------------	----------------------------------



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov
Variance and Special Exception Application

ABOUT YOUR PUBLIC HEARING

The following information is provided to assist applicants in applying for a variance, special exception, or use determination. Please familiarize yourself with the process by visiting

The City of Belle Isle's Planning and Zoning Board, which comprises seven (7) non-paid volunteer residents, meets on the fourth Tuesday of the month to hear various planning and zoning issues, including variances, special exceptions, and use determinations. In recommending approval or denial of a request, the Board looks at each application individually to determine if the request meets the following criteria:

A written application for a variance must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. The application MUST include:

- a. the \$300 filing fee,
- b. a completed application form,
- c. proof of ownership of the property, or a notarized statement from the owner with the representative's information,
- d. Ten (10) copies of a plot plan or survey showing all improvements to the property, ten copies of a scale drawing of the planned construction, illustrated on the survey, and digital format for large-scale documents is required.
- e. For boat dock variances, the survey must clearly illustrate the Normal High Water Line elevation (NHWL) of Lake Conway.
- f. A narrative addressing how the variance complies with the following:

*Standards of Variance Justification	Section 42-64 of the Land Development Code (LDC) states that no application for a Zoning Variance shall be approved unless the Planning and Zoning Board finds that all of the following standards are met. Please answer each bold-text question in a separate typed or a written document and submit it to the City as part of your variance request.
Special Conditions and/or Circumstances Section 42-64 (1) d	The applicant must prove that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship. That hardship is created by special conditions and circumstances peculiar to the land, structure, or building involved, including but not limited to dimensions, topography, or soil conditions. WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY? WHAT WOULD BE THE UNNECESSARY HARDSHIP?
Not-Self- Created Section 42-64 (1) e	The applicant must prove that the special conditions and circumstances do not result from the applicant's actions. A personal (self-created) hardship shall not justify a variance; i.e., when the applicant creates the alleged hardship, they are not entitled to relief by their conduct. HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?
Minimum Possible Variance Section 42-64 (1) f	The applicant must prove that the zoning variance is the minimum variance that will make the reasonable use of the land, building, or structure possible. CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY? LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE.
Purpose and Intent Section 42-64 (1) g	The applicant must prove that approval of the zoning variance will be in harmony with the general purpose and intent of the Code, and such zoning variance will not be injurious to the neighborhood, not detrimental to public welfare, and not contrary to the public interest. WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD? (FOR EXAMPLE, ADEQUATE LIGHT, AIR, ACCESS, USE OF ADJACENT PROPERTY, DENSITY, COMPATIBILITY WITH SURROUNDING LAND USES, TRAFFIC CONTROL, PEDESTRIAN SAFETY, ETC).

*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, and you do not have to comply with Sec. 42-64 (1) d and (1) f.

June 1, 2023

To: City of Belle Isle

Re: Variance Application Narrative for 3019 Indian Drive

The attached application package is a request for a variance from Belle Isle’s boat dock ordinance section 48-32(3) and (6) regarding a request to extend the length of the dock approximately 23 ft longer than existing structures, which may be greater than 15 ft lakeward of an existing dock within 300 feet to reach lake bottom elevation 79.5 ft, as allowed under the code, and authorize a 733 sq ft roof over a 672 sq ft terminal platform of the dock to allow for a one (1) ft roof overhang.

Special Conditions and/or Circumstances Section 42-64 (1) d

The location of the subject property is in an area of the lake that tends to be shallower. For reference, it is close to the “sandbar” which is known to have shallow water extending further lakeward than other areas of the lake. Many of the docks, including the existing dock, are older and were built at a time of potentially higher water levels and shallower drafting older boats. The current code was updated to allow for a modern boat and functional dock depth of three (3) ft to prevent bottom scouring and allow for dock useability 80% of the time based on historical water level records. I am requesting a variance to construct the dock in accordance with the City Code to reach a lake bottom elevation of 79.5 ft to allow for a water depth conducive to boating and prevent scouring of the lake bottom. In addition, a 672 sq ft terminal platform with a 733 sq ft roof is proposed. This lot and the neighboring lots on this street tend to be narrower at around 70 ft wide, which allows for a maximum terminal platform of 700 sq ft. For comparison, when calculating the square footage of a house, the roof overhang is not included in the square footage calculations. As such, the useable square footage of the terminal platform is less than the allowable about under the City Code. The addition of a roof with small one (1) ft overhang over the terminal platform is requested.

Not-Self- Created Section 42-64 (1) e

The request for variance is not self-created in that I am seeking to rebuild the dock at a length with a water depth conducive to boating with lake bottom elevations consistent with what is allowable under the current code. It is not self-created in that I do not have a say in the construction decisions the neighbors had to construct docks closer to the shoreline. My dock and the next three existing docks within 300 ft have existing docks more than 15 ft lakeward of neighboring docks and one dock within 300 ft will extend further lakeward than my proposed dock. Additionally, the proposed terminal platform is 672 sq ft, which is less than the 700 sq ft allowed in code. I am requesting a variance to allow for an additional 33 sq ft to allow for a small roof overhang. The addition of a roof over the structure with a one (1) ft overhang brings the dock square footage to 733 sq ft, which is less than 5% over the allowable square footage. For reference, the County dock ordinance allows for a terminal platform 12 times the linear shoreline footage, not to exceed 1,000 sq ft, which would allow for an 840 sq ft dock. According to Orange County’s presentation regarding the changes to the dock code, between 2017 – 2021, 37 waivers were requested to the boat dock terminal platform size and 100% of those waivers were approved. The County realized the need for allowing the smaller lots to construct a useable dock to incorporate a boat lift and small deck without applying for a variance.

Minimum Possible Variance Section 42-64 (1) f

The requested extension is the minimum possible variance to allow for the dock to be constructed in accordance with the City Code to reach a bottom lake elevation of 79.5 ft to allow for a water depth conducive to boating and consistent with the code. In addition, the proposed terminal platform is 672 sq ft, which is less than the allowable 700 sq ft. This is a minimally sized dock to allow for single boat lift and a small deck to enjoy the water. The two (2) ft wide catwalk on the side allows for safe passage around the boat slip. The roof overhang will allow for weather protection for the boat/engine, weather protection for the edges of the wood on the dock, and additional sun/weather protection while using the dock in the heat of summer. Removal of roof overhang to align directly with the dock will cause more rain to hit the deck and cause premature deterioration in more areas. In addition, the roof overhang allows for use of the dock during a rain by keeping the occupants drier. The roof plans were minimized to stop at the edge of the catwalk since it isn't the main deck being used. The roof covering the deck with the overhang allows for greater usability of the dock year around since Florida summer and sun can be dangerous without protection.


Purpose and Intent Section 42-64 (1) g

Existing docks in the vicinity, including my existing dock, already extend 15 ft beyond the neighboring docks. A neighboring dock within 300 ft of my proposed dock will extend more than 40 ft beyond my proposed dock to reach lake bottom elevations consistent with the code due to the shallower waters in this area of the lake (sandbar). There are several examples since 2019 where new docks extend more than 15 ft lakeward beyond docks within 300 ft were permitted and approved without a variance. Neighboring docks within 300 ft of my proposed dock will extend further than my proposed dock extension. In addition to length, some existing dock platforms on the street are over 700 sq ft. My proposed terminal platform is less than 700 sq ft and the requested variance to allow for the roof overhang is less than 5% over the allowable square footage. The proposed size of the dock is compatible with the neighborhood and with the general purpose and intent of the code. Granting the variance will be in harmony with the general purpose and intent of the ordinance, will not be detrimental to the public welfare, and will not be contrary to the public interest.

No hazardous conditions to navigation nor safety hazards will be created with the proposed variance. The location and placement of the dock is compatible with other docks in the area in that this will be neither the closest to shore nor the furthest lakeward dock within 300 ft. The requested variance is not based on the current level of the lake; it is to allow for the construction of the dock at a depth consistent with the code. No special benefit is derived from the variance. 1) The extension of the dock will allow the dock to be constructed at a depth allowed under current code, 2) the terminal platform of the dock is smaller than the maximum allowable, and 3) the total square footage of the dock with the roof is neither the smallest or the largest dock nearby neighboring docks within 300 ft. Again, granting of this variance will be in harmony with the general purpose and intent of the zoning ordinances, will not be detrimental to the public welfare, and will not be contrary to the public interest.

Thank you for your consideration.

Sincerely,


Emily Wakley DeLozier

DOC # 20140255906 B: 10748 P: 9156
05/27/2014 09:12 AM Page 1 of 1
Rec Fee: \$10.00
Deed Doc Tax: \$1,330.00
Mortgage Doc Tax: \$0.00
Intangible Tax: \$0.00
Martha O. Haynie, Comptroller
Orange County, FL
Ret To: SIMPLIFILE LC

Return to:
Name:
Address:

This Instrument Prepared by:
Rebekah Gimenez
Grace Title, Incorporated
225 South Westmonte Drive
Suite 1110
Altamonte Springs, Florida 32714

as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

Property Appraisers Parcel I.D. (Folio) Number(s):
29-23-30-4389-01070
File No: 7850A

QUITCLAIM DEED
(INDIVIDUAL)

THIS INDENTURE, Made this 19th day of May, 2014, by and between Joel J. Wakley, unmarried, and Emily S. Wakley, unmarried, whose post office address is 1509 Mary Jean Ave, Orlando, FL 32809 of the County of Orange, in the state of Florida hereinafter collectively referred to as "Seller", and

Emily S Wakley, unmarried, who's post office address is 3019 Indian Drive, Belle Isle, FL 32812 of the County of Orange, in the state of Florida hereinafter collectively referred to as "Buyer",

WITNESSETH: That Seller, for and in consideration of the sum of \$10.00 Dollars and other valuable considerations, lawful money of the United States of America, to Seller in hand paid by the Buyer, the receipt whereof is hereby acknowledged, has remised, released and quitclaimed to the Buyer, Buyer's heirs and assigns forever, all the rights, title, interest and claim of the Seller in and to the following described land in Orange County, Florida, to wit:



Lot 7, Block A, Lake Conway Park, according to the Plat thereof, recorded in Plat Book G, Page(s) 138, of the Public Records of Orange County, Florida


Subject property is not the homestead of the grantor

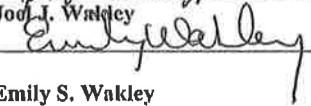
To Have and to Hold, the above described premises, with the appurtenances, unto Buyer, Buyer's heirs and assigns forever.

IN WITNESS WHEREOF, Seller has executed this deed under seal on the date aforesaid.

Signed, Sealed and Delivered in Our Presence:

Witness Signature: 
Witness Printed Name: Rebekah Gimenez
Witness Signature: 
Witness Printed Name: Janna Viasco



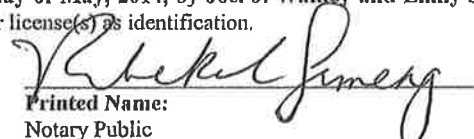
Joel J. Wakley


Emily S. Wakley

STATE OF FLORIDA
COUNTY OF SEMINOLE

The foregoing instrument was acknowledged before me this 19th day of May, 2014, by Joel J. Wakley and Emily S. Waldey. They are personally known to me or have produced driver license(s) as identification.

My Commission Expires:



Printed Name:
Notary Public
Serial Number



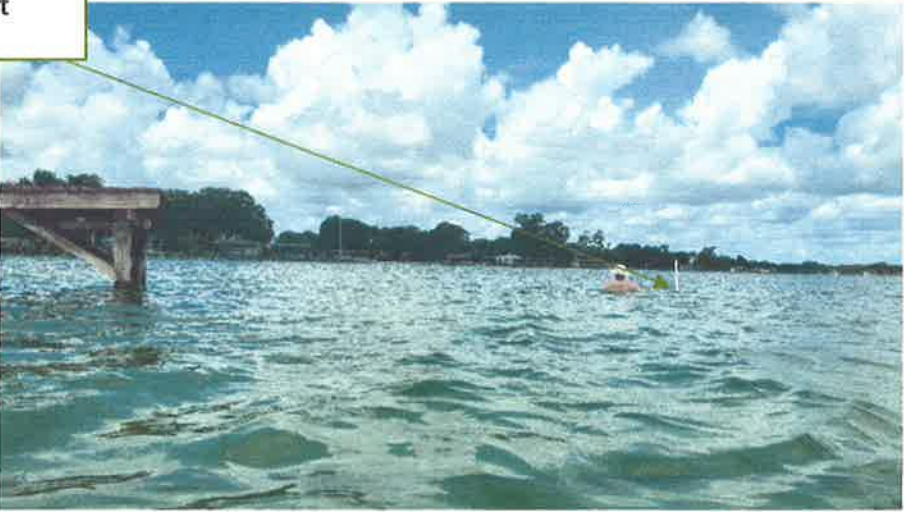


View Front



View NW, 5 ft

5 ft



View SE, 5ft



3 ft

3 ft

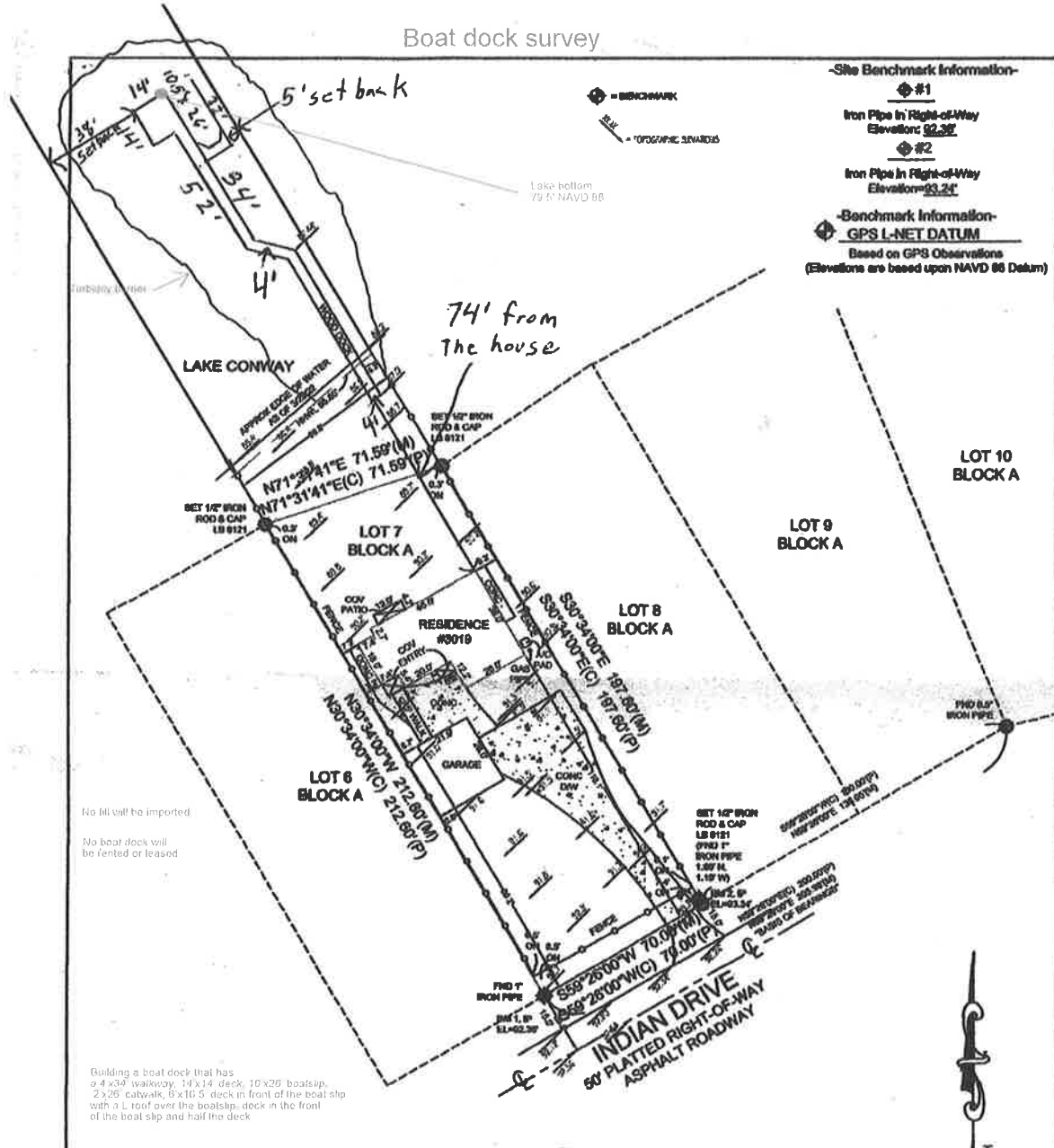
5 ft



scale (black = 5 ft, red = 3 ft)

Boat dock survey

C.



No fill will be imported
No boat dock will be rented or leased

Building a boat dock that has a 4x34 walkway, 14x14 deck, 10x26 boat slip, 2x26 catwalk, 6x10x5 deck in front of the boat slip with a L roof over the boat slip, deck in the front of the boat slip and half the deck

ADDRESS
3019 INDIAN DRIVE
BELLE ISLE, FLORIDA 32812

LEGAL DESCRIPTION: (AS FURNISHED)

LOT 7, BLOCK A, LAKE CONWAY PARK, ACCORDING TO THE PLAT THEREOF,
RECORDED IN PLAT BOOK G, PAGE(S) 138, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

BASES OF BEARINGS: BEARINGS SHOWN HEREON ARE BASED ON THE SW CORNERS LOTS 7 & 10, BEING N89°28'00\"/>

LIST OF POSSIBLE ENCROACHMENTS: DOCK AND FENCES, AS SHOWN

DLS #: 22-03-0145
CLIENT #:
FIELD DATE: 03/28/22
DRAFTER: DDM
APPROVED: BHH
CERTIFIED TO: (AS FURNISHED)
BOOTH DELOZER
BIMBY DELOZER

LEGEND

ANC	- Air Conditioner	P	- Pier
C	- Calloused	PB	- Pier Block
CB	- Concrete Block	PC	- Point of Curvature
CM	- Concrete Monument	PI	- Point of Intersection
CONC	- Concrete	POB	- Point of Beginning
COV	- Covered	POC	- Point of Commencement
D	- Driveway	PP	- Power Pole
DE	- Drainage Easement	PRC	- Point of Reverse Curvature
DUE	- Drainage & Utility Easement	PRM	- Permanent Reference Monument
DMW	- Driveway	R	- Radius
EMAT	- Easement	RAD	- Road
FPE	- Finished Floor Elevation	R&C	- Road & Cap
FSD	- Flood	RFD	- Roaded
I	- Iron Pipe	UE	- Utility Easement
L	- Length (Feet)	WB	- Water Meter
M	- Monument	WA	- Wall (Control Angle)
M&U	- Mail & Utility	W&P	- WoodPVC Fence
NR	- Non-Placed	WLF	- Chain Link Fence
OU	- Overhead Utility		
ORL	- Official Record		
ORF	- Official Record Book		

FLOOD ZONE INFORMATION
(FOR INFORMATIONAL PURPOSES ONLY)

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE X, AREA OUTSIDE OF THE 100 YEAR FLOODPLAIN, PER F.L.R.M. PANEL NUMBER 12005C 0435P, LAST REVISION DATE 08/26/00

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF SAID SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 6A-17 FLORIDA ADMINISTRATIVE CODE. FURTHER, THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AND CHAPTER 6A-17 OF THE FLORIDA ADMINISTRATIVE CODE.

DATE OF FIELD WORK: 03/28/22
DATE SIGNED: 03/31/22



RECORD NUMBER: 22-03-0145-1868
DEAL LAND SURVEYING, LLC LB 8121
NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

DATE	REVISION	DATE	REVISION



FOR ALL INQUIRIES CONTACT:
Deal Land Surveying, LLC
804 S French Avenue
Bartonsville, FL 32711
407-478-3786
INFO@dealandsurveying.com

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 3019 Indian Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-008 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), (A) (6) (A), AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AT 733 SQUARE FEET AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application seeks a variance from sec. 48-32 (a) (6) (a) to build a boat dock more than 15 feet lakeward, by approximately 23 feet, from the neighboring docks at 2935 and 3007 Nela Avenue and 3013 Indian Drive. The application also seeks a variance to exceed the allowable terminal platform size from 715.9 to 733 square feet. The allowable size is determined by the linear shoreline footage of the property per sec. 48-32 (a) (3). According to Orange County Property Appraiser, a boat dock permit was issued by Orange County government in 1962. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria of approval established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

2. Not Self- Created (Section 42-64 (1) e):

The requested variance from sec. 48-32 (a) (6) (a) is not self-created as the applicant seeks to rebuild a boat dock with a similar lakeward projection of the existing site. The proposed dock plan satisfies the allowable dock length with a lake bottom of 79.5 (NAVD 88) per sec. 48-32 (a) (2). An aerial view of the property shows that the shoreline location varies from 3013 to 3019 Indian Drive.

The requested variance from sec. 48-32 (a) (3) to expand the dock’s terminal platform size is self-created. The code allows the terminal platform size to be 715.9 square feet based on the property’s linear shoreline footage of 71.59 feet. The proposed dock with the roof overhang is 733 square feet. Without the roof overhang, the terminal platform size is 672 square feet.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance from sec. 48-32 (a) (6) (a) is the minimum possible variance to make reasonable use of the land. Removing the existing dock and constructing a new one while maintaining a similar boat dock length would be the most reasonable use of the land. The requested variance per sec. 48-32 (a) (3) does not meet the minimum possible variance as the applicant and boat contractor as the proposed size of the terminal platform could be modified to comply with the city code.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance from sec. 48-32 (a) (6) (a) could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The proposed dock location does not exceed 15 feet lakeward of the existing docks east of the site. A record request was submitted to the city’s Code Enforcement Department, and there were no complaints on file for the property owner’s dock.

The requested variance from sec. 48-32 (a) (3) could provide a special benefit to the owner.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria have been met:

- vi. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- vii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- viii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- ix. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- x. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to approve the requested variance from sec. 48-32 (a) (6) (a) as it meets the variance criteria per sec. 48-33. Staff does not recommend approval of the requested variance from sec. 48-32 (a) (3), as the land development code provides in sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

The board may choose to approve the requested variance from sec. 48-32 (a) (6) (a) with the condition that the terminal platform does not project more than approximately 23 feet lakeward of the neighboring dock at 3013 Indian Drive. Should the board approve the requested variance from sec. 48-32 (a) (3), a condition may be placed for the applicant to have a terminal platform size no more than 733 square feet or prescribe an alternative maximum terminal platform size than allowed per code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

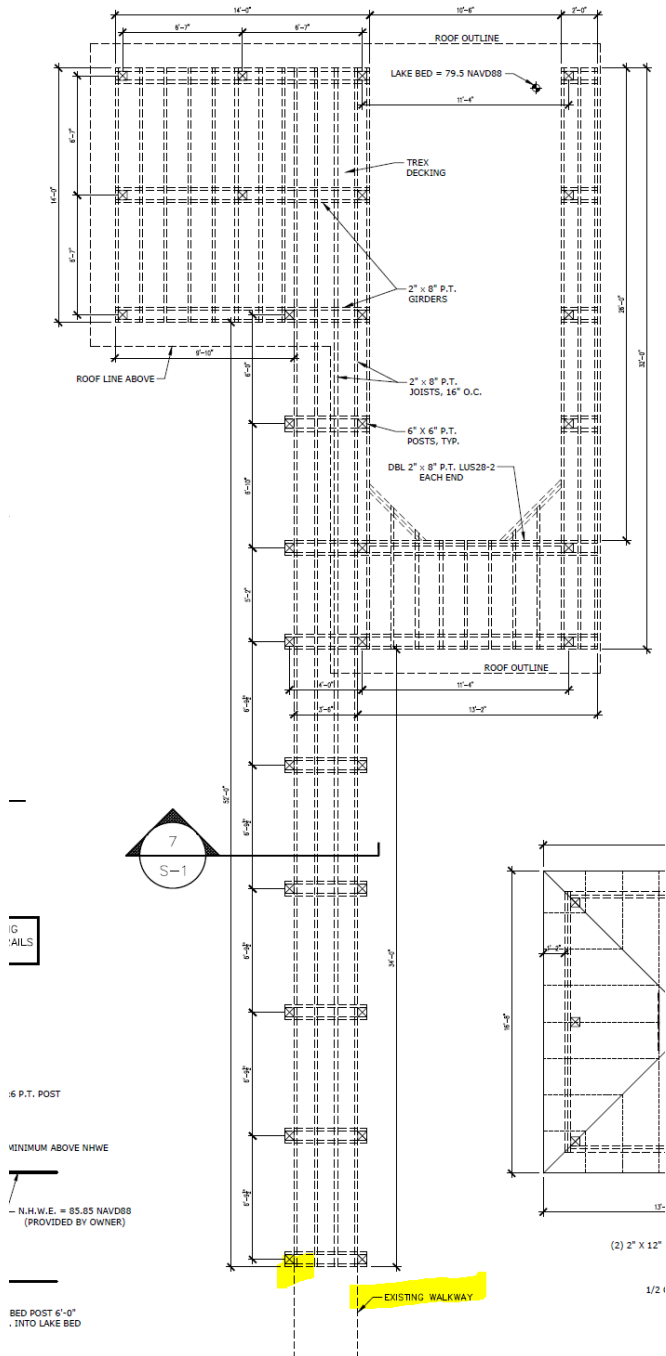
Emily Wakley DeLozier, 3019 Indian Drive – Variance Request Additional Information/Clarification

Pictures were taken Sunday, 7/16/2023. Reported lake elevation on that day was 84.44 ft (per email from David Woods). Elevation of 79.5 lake bottom would be approximately 5 ft below the water level of the lake ($84.44 \text{ ft} - 79.5 \text{ ft} = 4.94 \text{ ft}$). Markers on pole are measured as follows on the top of the color:

Black = 5'



The following measurements/pictures are taken from the end of the existing walkway (52 ft walkway ext + 14 ft dock = 66 ft)



~67 ft from end of existing walkway, water level 5' (bottom elevation ~79.44 ft)

c.



End of existing walkway





End of existing structure in pictures (to be removed) is ~43 ft from the end of the existing walkway.

I have no objection to the requested variance for extension of the length of the dock and the terminal platform with the roof addition with one ft overhang at 3019 Indian Drive.

Michael Johnson

Name

7/11/23

Date

2935 NECA AVE

Address

I have no objection to the requested variance for extension of the length of the dock and the terminal platform with the roof addition with one ft overhang at 3019 Indian Drive.

Alan F. Smith

Name

7-11-23

Date

3025 Indian Dr

Address

To: Emily + Scott DeLozier

I have no objection to the requested variance for extension of the length of the dock and the terminal platform with the roof addition with one ft overhang at 3019 Indian Drive.

Debbie Mynor Hendry

Name

July 11, 2023

Date

3007 Nela Ave

Address

32809

I have no objection to the requested variance for extension of the length of the dock and the terminal platform with the roof addition with one ft overhang at 3019 Indian Drive.

David Hall

Name

7/20/23

Date

3037 Indigo Dr., Belle Isle, FL 32812

Address

859-816-6078

MEMORANDUM

TO: Planning and Zoning Board
DATE: July 25, 2023
RE: Variance Application - 3025 Indian Drive

PUBLIC HEARING CASE #2023-06-009 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.

Background:

- 1. On June 5, 2023, the applicant, Alan Twichell, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, July 15, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on July 11, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I MOVE, PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.

SAMPLE MOTION TO DENY:

"I MOVE, PURSUANT TO BELLE ISLE CODE CODE SEC. 48-32 (A) (3), AND (A) (6) (A) AND SEC. 42-64, HAVING NOT BEEN MET, TO DENY [use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.
SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov

d.

Variance and Special Exception Application			
City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code			
APPLICANT Jason Louche	OWNER Alan Twichell		
ADDRESS 1204 Gallant Fox Way Chuluota FL 32766	PROJECT ADDRESS 3025 Indian Dr		
CONTACT NUMBER 407-761-9775	OWNER'S CONTACT NUMBER 407-376-2332		
EMAIL jlouche@ccsboatdocks.com	OWNER'S EMAIL alantwichell@gmail.com		
PARCEL ID# 29-23-30-4389-01-080			
LAND USE CLASSIFICATION 0130 - Sfr - Lake Front	ZONING DISTRICT R-1-AA		
SECTION OF THE CODE VARIANCE REQUESTED ON 48-32.(a) (3) and 48-32.(a) (6)			
DETAILED VARIANCE REQUEST <p>We would like to extend the new boat dock 24' longer in to the water so we can have water depth to get the boat in and out the boat slip and get to the lake floor elevation of 79.5 NAVD88. Also we would like to increase the docks square footage from 700sf to 720st to accommodate the property owners large pontoon boat.</p> <ul style="list-style-type: none"> The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property. By applying, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property during reasonable hours to inspect the area to which the application applies. The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies. 			
APPLICANTS SIGNATURE 		OWNER'S SIGNATURE 	
<input checked="" type="checkbox"/> VARIANCE	<input type="checkbox"/> SPECIAL EXCEPTION	<input type="checkbox"/> OTHER	P&Z CASE NUMBER 2023-06-009 DATE OF HEARING 07/25/23

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land

d.







City of Belle Isle
1600 Nela Avenue, Belle Isle, FL 32809
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Variance and Special Exception Application

- Development Code or for the purpose of obtaining a variance.
- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
- g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
- h. The board shall find that the preceding requirements have been met by the applicant for a variance.

the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the Board's discretion, such variance may be revoked for violation of the condition and safeguards.

- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

(2) Violations of conditions.

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

Applications submitted must meet all of the above criteria before the Board can grant a variance. The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

General Information

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY: FEE: \$300	6/5/23	CKD09537	Raja D. Lewis
	Date Paid	Check/Cash	Rec'd By



City of Belle Isle
 1600 Nela Avenue, Belle Isle, FL 32809
 Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov
Variance and Special Exception Application

d.

ABOUT YOUR PUBLIC HEARING

The following information is provided to assist applicants in applying for a variance, special exception, or use determination. Please familiarize yourself with the process by visiting

The City of Belle Isle's Planning and Zoning Board, which comprises seven (7) non-paid volunteer residents, meets on the fourth Tuesday of the month to hear various planning and zoning issues, including variances, special exceptions, and use determinations. In recommending approval or denial of a request, the Board looks at each application individually to determine if the request meets the following criteria:

A written application for a variance must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. The application MUST include:

- a. the \$300 filing fee,
- b. a completed application form,
- c. proof of ownership of the property, or a notarized statement from the owner with the representative's information,
- d. Ten (10) copies of a plot plan or survey showing all improvements to the property, ten copies of a scale drawing of the planned construction, illustrated on the survey, and digital format for large-scale documents is required.
- e. For boat dock variances, the survey must clearly illustrate the Normal High Water Line elevation (NHWL) of Lake Conway.
- f. **A narrative addressing how the variance complies with the following:**

*Standards of Variance Justification	Section 42-64 of the Land Development Code (LDC) states that no application for a Zoning Variance shall be approved unless the Planning and Zoning Board finds that all of the following standards are met. Please answer each bold-text question in a separate typed or a written document and submit it to the City as part of your variance request.
Special Conditions and/or Circumstances Section 42-64 (1) d	The applicant must prove that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship. That hardship is created by special conditions and circumstances peculiar to the land, structure, or building involved, including but not limited to dimensions, topography, or soil conditions. WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY? WHAT WOULD BE THE UNNECESSARY HARDSHIP?
Not-Self- Created Section 42-64 (1) e	The applicant must prove that the special conditions and circumstances do not result from the applicant's actions. A personal (self-created) hardship shall not justify a variance; i.e., when the applicant creates the alleged hardship, they are not entitled to relief by their conduct. HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?
Minimum Possible Variance Section 42-64 (1) f	The applicant must prove that the zoning variance is the minimum variance that will make the reasonable use of the land, building, or structure possible. CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY? LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE.
Purpose and Intent Section 42-64 (1) g	The applicant must prove that approval of the zoning variance will be in harmony with the general purpose and intent of the Code, and such zoning variance will not be injurious to the neighborhood, not detrimental to public welfare, and not contrary to the public interest. WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD? (FOR EXAMPLE, ADEQUATE LIGHT, AIR, ACCESS, USE OF ADJACENT PROPERTY, DENSITY, COMPATIBILITY WITH SURROUNDING LAND USES, TRAFFIC CONTROL, PEDESTRIAN SAFETY, ETC).

*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, and you do not have to comply with Sec. 42-64 (1) d and (1) f.



THIS INSTRUMENT WAS PREPARED BY
AND SHOULD BE RETURNED TO:

INSTR 20040523826
OR BK 07574 PG 0187 PGS=4
MARTHA O. HAYNIE, COMPTROLLER
ORANGE COUNTY, FL
08/12/2004 01:19:21 PM
DEED DOC TAX 3,500.00
REC FEE 35.50

RUSSELL W. DIVINE, ESQUIRE
Divine & Estes, P.A.
24 South Orange Avenue, Suite 203
Orlando, Florida 32801
1944-1

WARRANTY DEED

THIS WARRANTY DEED is executed this 11th day of August, 2004, by

JOHN L. VENABLE and MARY E. CLINGAN-VENABLE,
husband and wife
2875 South Orange Avenue, Suite 500-2525
Orlando, FL 32806
hereinafter called the Grantor

to

ALAN F. TWICHELL, JR.,
a single man
3025 Indian Drive
Orlando, FL 32812
hereinafter called the Grantee

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Orange County, Florida, described as follows:

See Exhibit "A" attached hereto and incorporated herein

Tax Parcel ID Number: 29-23-30-4389-01080

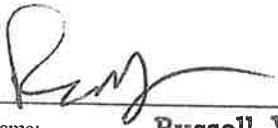
TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

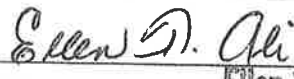
AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except the matters set forth in Exhibit "B" attached hereto.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Witnesses:



Print Name: Russell W. Divine



Print Name: Ellen T. Ali



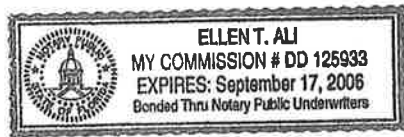
JOHN L. VENABLE




MARY E. CLINGAN-VENABLE

**STATE OF FLORIDA
COUNTY OF ORANGE**

The foregoing instrument was acknowledged before me this 11th day of August, 2004, by **John L. Venable and Mary E. Clingan-Venable**, husband and wife, who are personally known to me or have produced Florida driver's licenses as identification.





NOTARY PUBLIC
Print Name: Ellen T. Ali
My Commission Expires:
Commission #:

LEGAL DESCRIPTION

Lot 8, Block A, LAKE CONWAY PARK, as per plat thereof, recorded in Plat Book G, Page 138, Public Records of Orange County, Florida.

ALSO: Begin at the point of intersection of the easterly side line of Lot 8, Block A, Lake Conway Park, according to plat thereof recorded in Plat Book G, Page 138, Public Records of Orange County, Florida, with the U.S. Government Traverse line, run thence northwesterly along the easterly side line of Lot 8, and the extension thereof 66.5 feet to the waters of Lake Conway; thence southwesterly along the waters of Lake Conway to point of intersection with a northerly extension of the westerly side line of said Lot 8; thence southeasterly along said extension and the westerly side line of said Lot 8 a distance of 69 feet to point of intersection with said traverse line; thence northeasterly along traverse line to Point of Beginning; lying and being in Section 30, Township 23 South, Range 30 East, Orange County, Florida.

PERMITTED EXCEPTIONS

1. Taxes and assessments for the year 2004 and subsequent years, which taxes are not yet due and payable.
2. Riparian and littoral rights are not insured.
3. Rights of others to use that portion of the insured land lying within the waters of Lake Conway, shown on Plat Book G, Page 138, Public Records of Orange County, Florida.
4. Restrictions, conditions, reservations, easements and other matters contained on the Plat of Lake Conway Park, as recorded in Plat Book G, Page 138, Public Records of Orange County, Florida.
5. Reservations in favor of the State of Florida, as set forth in the Deed from the Trustees of the Internal Improvement Fund of the State of Florida, recorded June 28, 1954, in Deed Book 986, Page 258, Public Records of Orange County, Florida.
6. Ordinance No. 74-6 by the City Council of the City of Belle Isle, Florida, recorded in OR Book 2582, Page 596, Public Records of Orange County, Florida.
7. Easement in favor of Florida Power Corporation, recorded April 11, 1977, in OR Book 2774, Page 1477, Public Records of Orange County, Florida.



Creative Construction Solutions

1204 Gallant Fox Way
Chuluota, FL 32766
(407) 761-9775
jlouche@ccsboatdocks.com

June 5, 2023

To: City of Belle Isle

Re: Variance Application Narrative for 3025 Indian Drive

The attached application package is a request for a variance from Belle Isle's boat dock ordinance section 48-32(3) and (6) regarding a request to extend the length of the dock approximately 24 ft longer than existing structures, which may be greater than 15 ft lakeward of an existing dock within 300 feet to reach lake bottom elevation 79.5 ft, as allowed under the code, and authorize a 425 sq ft roof over a 653 sq ft terminal platform of the dock to allow for a one (1.25) ft roof overhang.

Special Conditions and/or Circumstances Section 42-64 (1) d

The location of the subject property is in an area of the lake that tends to be shallower. For reference, it is close to the "sandbar" which is known to have shallow water extending further lakeward than other areas of the lake. Many of the docks, including the existing dock, are older and were built at a time of potentially higher water levels and shallower drafting older boats. The current code was updated to allow for a modern boat and functional dock depth of three (3) ft to prevent bottom scouring and allow for dock useability 80% of the time based on historical water level records. I am requesting a variance to construct the dock in accordance with the City Code to reach a lake bottom elevation of 79.5 ft to allow for a water depth conducive to boating and prevent scouring of the lake bottom. In addition, a 653 sq ft terminal platform with a 425 sq ft roof is proposed. This lot and the neighboring lots on this street tend to be narrower at around 70 ft wide, which allows for a maximum terminal platform of 700 sq ft. For comparison, when calculating the square footage of a house, the roof overhang is not included in the square footage calculations. As such, the useable square

footage of the terminal platform is less than the allowable about under the City Code. The addition of a roof with one (1.25) ft overhang over the terminal platform is requested.

Not-Self- Created Section 42-64 (1) e

The request for variance is not self-created in that I am seeking to rebuild the dock at a length with a water depth conducive to boating with lake bottom elevations consistent with what is allowable under the current code. It is not self-created in that I do not have a say in the construction decisions the neighbors had to construct docks closer to the shoreline. My clients dock and the next three existing docks within 300 ft have existing docks more than 15 ft lakeward of neighboring docks and one dock within 300 ft will extend further lakeward than my clients proposed dock. Additionally, the proposed terminal platform is 653 sq ft, which is less than the 700 sq ft allowed in code. I am requesting a variance to allow for an additional 21 sq ft to allow for a small roof overhang. The addition of a roof over the structure with a one (1.25) ft overhang brings the dock square footage to 721 sq ft, which is less than 5% over the allowable square footage. For reference, the County dock ordinance allows for a terminal platform 12 times the linear shoreline footage, not to exceed 1,000 sq ft, which would allow for an 840 sq ft dock. According to Orange County’s presentation regarding the changes to the dock code, between 2017 - 2021, 37 waivers were requested to the boat dock terminal platform size and 100% of those waivers were approved. The County realized the need for allowing the smaller lots to construct a useable dock to incorporate a boat lift and small deck without applying for a variance.

Minimum Possible Variance Section 42-64 (1) f

The requested extension is the minimum possible variance to allow for the dock to be constructed in accordance with the City Code to reach a bottom lake elevation of 79.5 ft to allow for a water depth conducive to boating and consistent with the code. In addition, the proposed terminal platform is 653 sq ft, which is less than the allowable 700 sq ft. This is a minimally sized dock to allow for single boat lift and a small deck to enjoy the water. The roof overhang will allow for weather protection for the boat/engine, weather protection for the edges of the wood on the dock, and additional sun/weather protection while using the dock in the heat of summer. Removal of roof overhang to align directly with the dock will cause more rain to hit the deck and cause premature deterioration in more areas. In addition, the roof

overhang allows for use of the dock during a rain by keeping the occupants drier. The roof covering the deck with the overhang allows for greater usability of the dock year around since Florida summer and sun can be dangerous without protection.

Purpose and Intent Section 42-64 (1) g

Existing docks in the vicinity, including my clients existing dock, already extend 15 ft beyond the neighboring docks. A neighboring dock within 300 ft of my clients proposed dock will extend more than 40 ft beyond my proposed dock to reach lake bottom elevations consistent with the code due to the shallower waters in this area of the lake (sandbar). There are several examples since 2019 where new docks extend more than 15 ft lakeward beyond docks within 300 ft were permitted and approved without a variance. Neighboring docks within 300 ft of my proposed dock will extend further than my proposed dock extension. In addition to length, some existing dock platforms on the street are over 700 sq ft. My clients proposed terminal platform is less than 700 sq ft and the requested variance to allow for the roof overhang is less than 5% over the allowable square footage. The proposed size of the dock is compatible with the neighborhood and with the general purpose and intent of the code. Granting the variance will be in harmony with the general purpose and intent of the ordinance, will not be detrimental to the public welfare, and will not be contrary to the public interest.

No hazardous conditions to navigation nor safety hazards will be created with the proposed variance. The location and placement of the dock is compatible with other docks in the area in that this will be neither the closest to shore nor the furthest lakeward dock within 300 ft. The requested variance is not based on the current level of the lake; it is to allow for the construction of the dock at a depth consistent with the code. No special benefit is derived from the variance. 1) The extension of the dock will allow the dock to be constructed at a depth allowed under current code, 2) the terminal platform of the dock is smaller than the maximum allowable, and 3) the total square footage of the dock with the roof is neither the smallest or the largest dock nearby neighboring docks within 300 ft. Again, granting of this variance will be in harmony with the general purpose and intent of the zoning ordinances, will not be detrimental to the public welfare, and will not be contrary to the public interest.

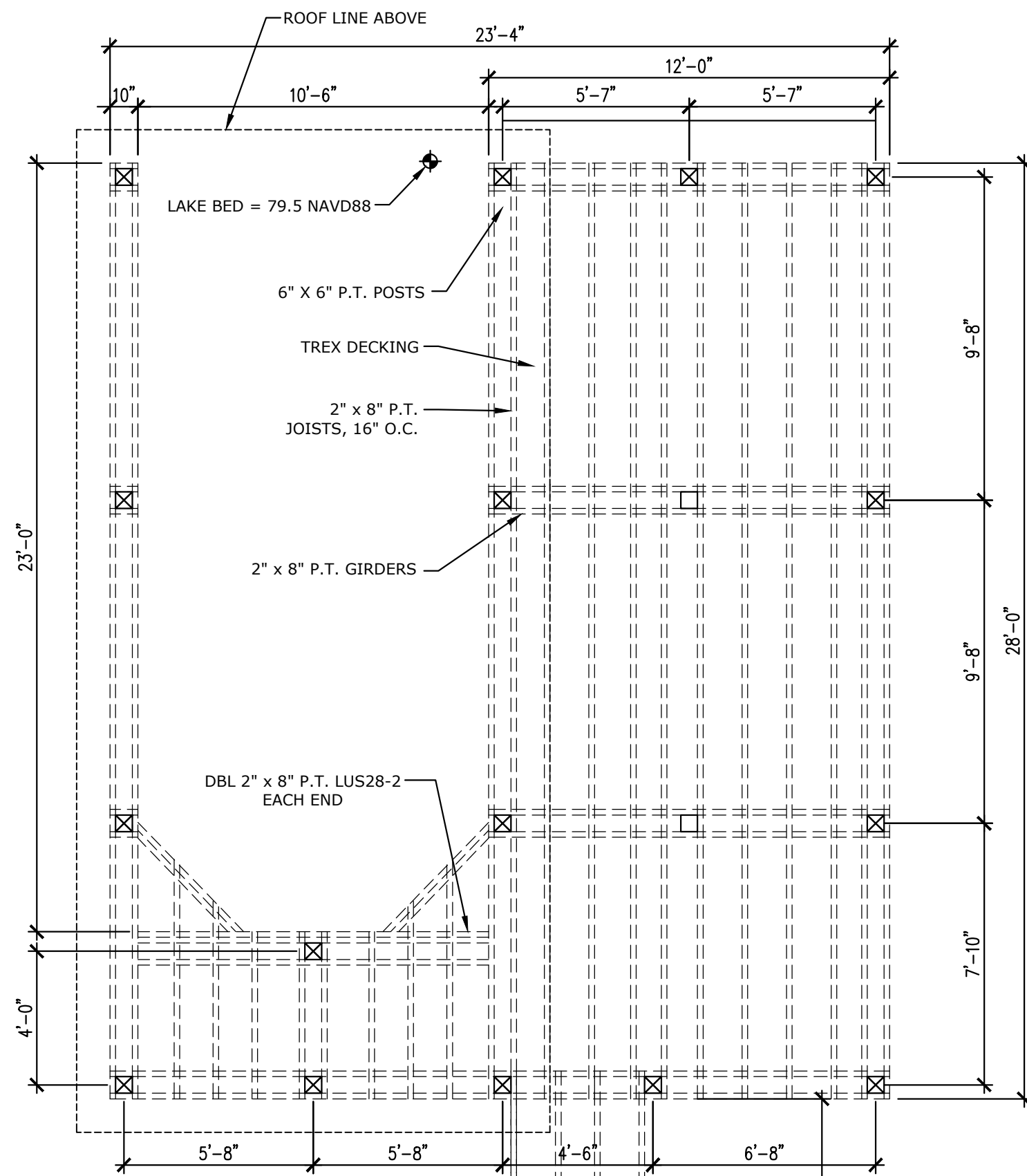
Sincerely,

Jason Louche

CGC1523728

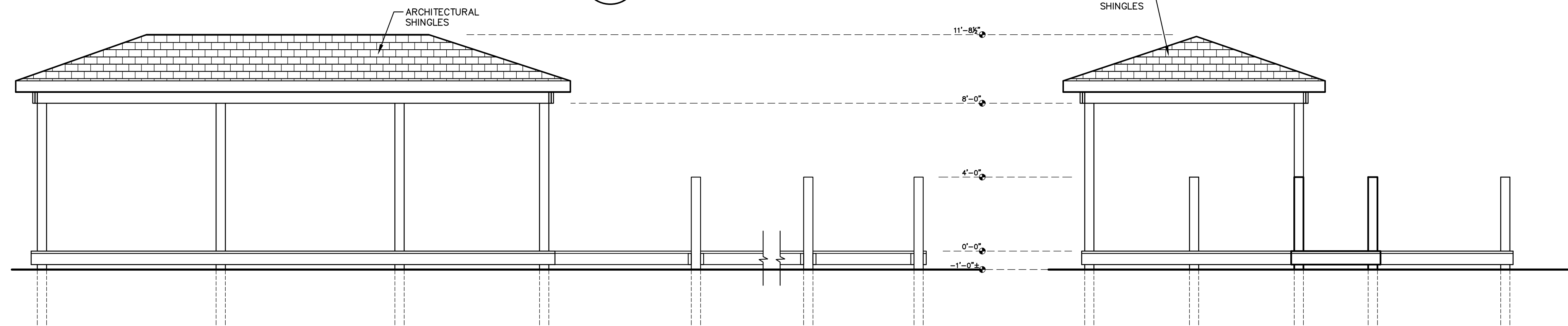
1. BUILDING CODES
 - A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2020 (7th EDITION) FLORIDA BUILDING CODE.
 - B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE OR LOCAL JURISDICTIONAL REQUIREMENTS.
2. DESIGN LOADS
 - A. THE DESIGN DEAD LOADING FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE SPECIFICATIONS. ALL FRAMING IS DESIGNED FOR THE FOLLOWING UNIFORM DEAD LOADS APPLIED IN ADDITION TO STRUCTURE SELF WEIGHT:
 - DECK MATERIALS.....10PSF
 - WALKWAY DOCKS.....40PSF
 - B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADING FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
 - WALKWAY DOCKS.....40PSF
 - C. WIND LOADING

DESIGN WIND SPEED $V_{ult} = 139$ MPH ($V_{sust} = 108$ MPH)
 BUILDING RISK CATEGORY = II
 WIND EXPOSURE CATEGORY = B
 BUILDING PRESSURE COEFF. = N/A
 - D. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACKFILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY. ANY SHORING OR BRACING ENGINEERING SHALL BE BY OTHERS, AND DRAWINGS SIGNED AND SEALED BY A LICENSED PROF. ENGINEER IN THE STATE OF FLORIDA SHALL BE SUBMITTED FOR APPROVAL.
3. WOOD
 - A. ALL STRUCTURAL SHEATHING SHALL CONFORM TO THE DESIGN SPECIFICATIONS OF THE AMERICAN PLYWOOD ASSOCIATION, APA PS 1. PLYWOOD SHALL HAVE A MINIMUM OF THREE CONTINUOUS SPANS WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. ALL SHEATHING SHALL BE SPAN RATED FOR THE LOADS AND FRAMING SPACING AS INDICATED ON THE DRAWINGS.
 - B. ROOF SHEATHING:
 - USE 15/32" CDX PLYWOOD (MIN.) FOR ROOF SHEATHING. FASTEN TO ROOF TRUSSES W/ 8d RING SHANK NAILS @ 6" O.C. AT ALL EXTERIOR SUPPORTS AND BLOCKING AND 6" O.C. AT ALL INTERIOR SUPPORTS. (MIN. PENETRATION 1-1/2") REDUCE NAIL SPACING TO 4" O.C. WITHIN 3'-0" OF ALL ROOF EDGES. CONTRACTOR OPTION TO USE 15/32 PLYWOOD FOR ROOF SHEATHING WITH PANEL EDGE CLIPS AT ALL TRUSS SPACES.
 - C. VERTICAL WALL SHEATHING (GABLES, TRUSS HEELS ETC.):
 - USE 15/32" CDX PLYWOOD (MIN.) FOR WALL SHEATHING. FASTEN PLYWOOD TO STUDS W/ 8d NAILS @ 6" O.C. AT ALL EXTERIOR SUPPORTS AND BLOCKING AND 6" O.C. AT ALL INTERIOR SUPPORTS. (MIN. PENETRATION 1-1/2")
 - D. WOOD GRADE SHALL BE REGULAR SOUTHERN PINE NO. 2, 19% MOISTURE CONTENT MAX., $F_b = 1400$ psi MIN. 2x4 STUDS MAY BE SPRUCE OR PINE.
 - E. ALL MANUFACTURED/GLULAM/POWERBEAM/LVL MEMBERS TO HAVE A MINIMUM BENDING STRESS OF $F_b = 2250$ psi.
 - F. ALL DOUBLE AND TRIPLE BEAMS TO BE CONNECTED WITH 12d NAILS AT 16" O.C. STAGGERED, MIN.
 - G. ALL SIMPSON CONNECTORS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, INCLUDING NUMBER, LENGTH AND DIAMETER OF FASTENER. WHERE CONNECTOR HAS MULTIPLE OPTIONS FOR NUMBER OF NAIL HOLES TO BE FILLED, THE MAX. NUMBER OF NAIL HOLES SHOULD BE FILLED U.N.O.
 - H. ALL EXTERIOR EXPOSED WOOD TO BE P.T., ALL FASTENERS AND CONNECTORS TO P.T. WOOD TO BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.



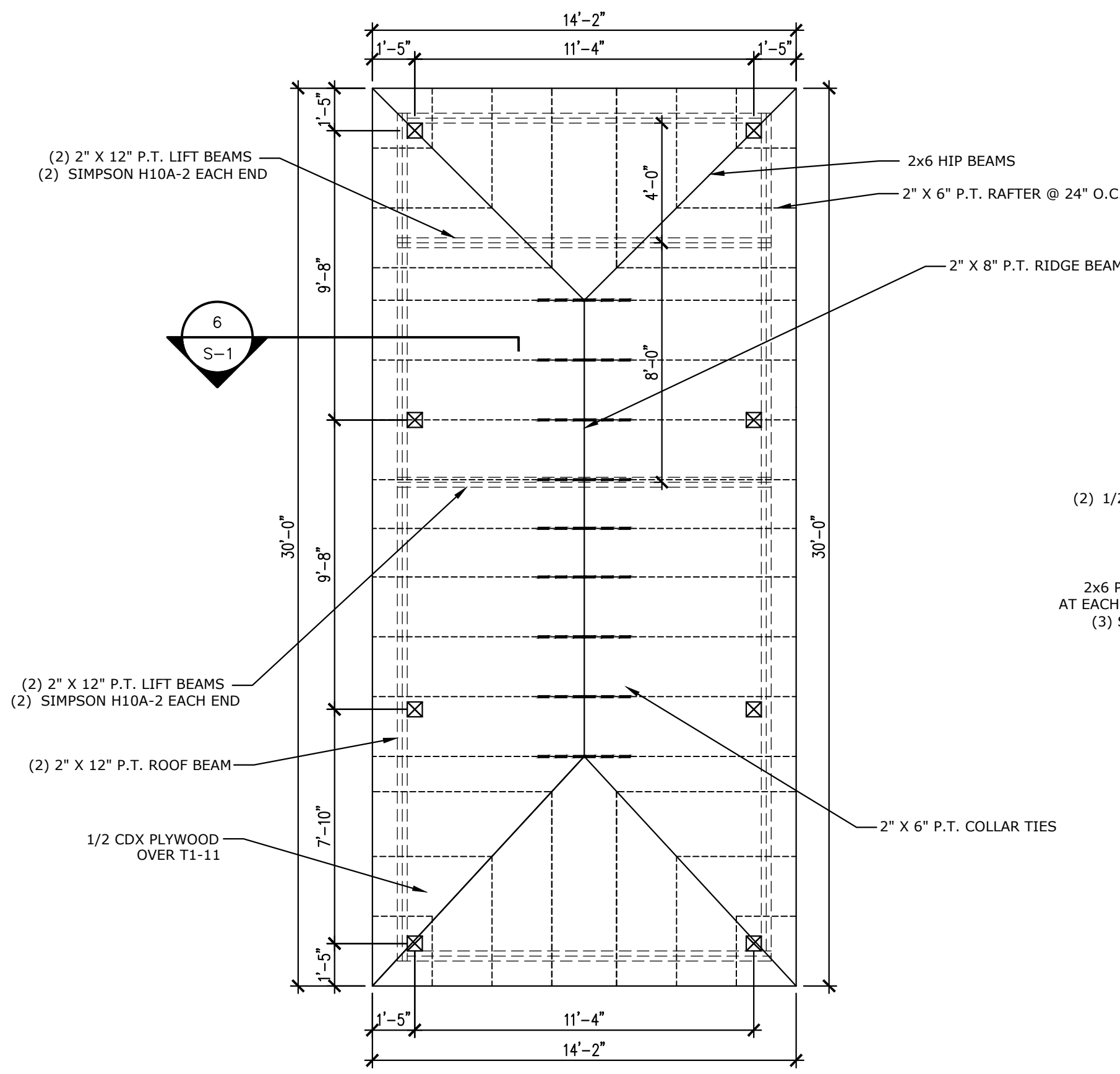
NOTES:
 NO NEW FILL WILL BE IMPORTED
 SQUARE FOOTAGE:
 DOCK - 653 S.F.
 DOCK NOT COVERED BY ROOF - 285 S.F.)
 ROOF - 425 S.F.
 WALKWAY - 483 S.F.
 TOTAL - 1,136 S.F.

2 DOCK FRAMING PLAN
 S-1 SCALE: 1/4" = 1'-0"

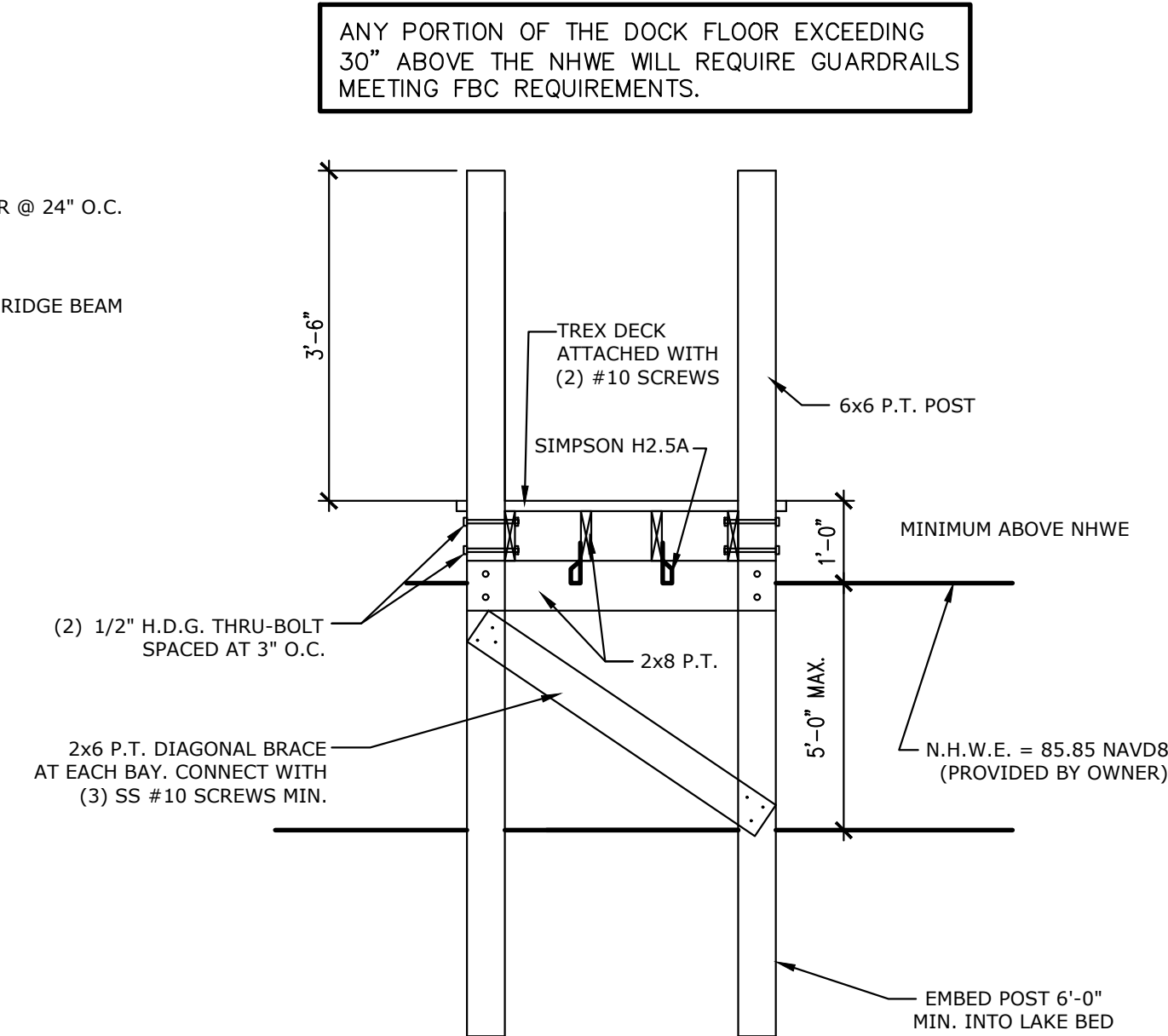


4 SIDE ELEVATION
 S-1 SCALE: 1/4" = 1'-0"

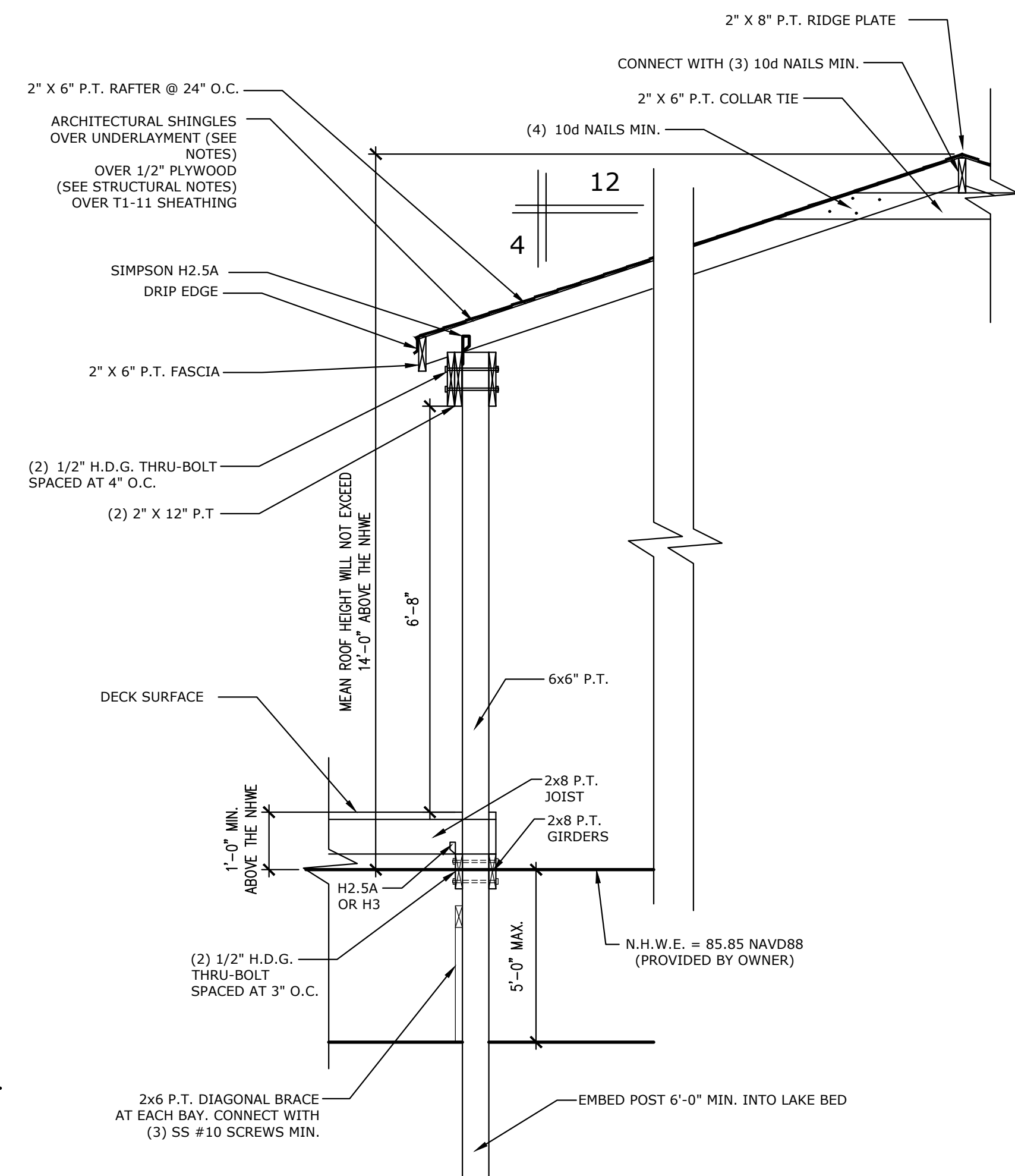
5 FRONT ELEVATION
 S-1 SCALE: 1/4" = 1'-0"



3 ROOF FRAMING PLAN
 S-1 SCALE: 1/4" = 1'-0"



7 DOCK WALKWAY SECTION
 S-1 SCALE: 1/2" = 1'-0"



6 DOCK SECTION
 S-1 SCALE: 1/2" = 1'-0"

ISSUED FOR	DATE

DANIEL SOUTER, P.E.
 P.E.# 63901
 P.O. BOX 547774
 ORLANDO, FL 32854
 PHONE: (407) 421-4866

alba
 ENGINEERING
 C.A. #90556

ALAN TWICHELL
 3025 INDIAN DR.
 BELLE ISLE, FL 32812
DOCK PLANS

DRAWN: EL
 DATE: 11.30.2022
 CHKD: DS

FILE NAME:
 STRUCT
 PROJECT NUMBER:
 22-423

LICENSE NUMBER:
 DANIEL SOUTER, P.E.
 #63901

SHEET NUMBER:

S-1



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 3025 Indian Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-009 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), (A) (6) (A), AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AT 720 SQUARE FEET AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application seeks a variance from sec. 48-32 (a) (6) (a) to build a boat dock with a lakeward projection of approximately 24 feet from the neighboring docks at 2935 and 3007 Nela Avenue, and 3013 Indian Drive. The application also seeks a variance to exceed the allowable terminal platform size from the allowed 700 square feet to 720 square feet. The allowable size is determined by the shoreline footage of the property per sec. 48-32 (a) (3).

According to Orange County Property Appraiser, a boat dock permit was issued by Orange County government in 1993. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria of approval established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

2. Not Self-Created (Section 42-64 (1) e):

The requested variance from sec. 48-32 (a) (6) (a) is not self-created as the applicant is seeking to rebuild a boat dock with a similar lakeward projection of the existing dock. The proposed dock plan satisfies the allowable dock length with a lake bottom of 79.5 (NAVD 88) per sec. 48-32 (a) (2). An aerial view of the property shows that the shoreline location varies between 2935 Nela Ave to 3025 Indian Dr.

The requested variance from sec. 48-32 (a) (3) to expand the dock’s terminal platform size is self-created. The code allows the terminal platform size to be 700 square feet based on the property’s linear shoreline footage of 70 feet. The proposed terminal platform size with the roof overhang is 708.5 square feet. The proposed terminal platform size exceeds the allowable area by 8.5 square feet. The applicant

seeks to expand the terminal platform size to 720 square feet for the owner’s platoon boat, which is a personal hardship.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance per sec. 48-32 (a) (6) (a) is the minimum possible variance to make reasonable use of the land. Removing the existing dock and constructing a new one to maintain a similar boat dock length would be the most reasonable use of the land. The requested variance per sec. 48-32 (a) (3) does not meet the minimum possible variance to make reasonable use of the land as the applicant seeks to increase the terminal platform size from the proposed plans.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance from sec. 48-32 (a) (6) (a) could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The proposed dock location does not exceed 15 feet lakeward of the existing docks east of the site. A record request was submitted to the city’s Code Enforcement Department, and their records found no complaints on file for the address.

As for the requested variance from sec. 48-32 (a) (3), it is neither injurious to the neighborhood nor does it satisfy the purpose and intent of the land development code as it may serve as a special benefit to the homeowner.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria have been met:

- xi. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- xii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- xiii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- xiv. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- xv. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to approve the requested variance from sec. 48-32 (a) (6) (a) and deny the requested variance from sec. 48-32 (a) (3) as the land development code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved. Should the board approve the request variance from sec. 48-32 (a) (3), the board may condition a maximum platform size for approval.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.

ORDINANCE NO. 23-05

AN ORDINANCE OF THE CITY OF BELLE ISLE, FLORIDA, AMENDING THE CITY'S LAND DEVELOPMENT CODE SECTION 50-102 ACCESSORY STRUCTURES TO ALLOW THE INSTALLATION OF FENCES AND WALLS IN FRONT YARDS WITHIN CERTAIN DEFINED OVERLAY AREAS AND CREATING RESTRICTIONS FOR SUCH FENCES AND WALLS: PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City of Belle Isle Land Development Code currently restricts fences in front yards; and

WHEREAS, the City wishes to allow fences in front yards, set height restrictions for such fences, and create rules for the installation of such fences that will enhance the safety of drivers, pedestrians, and property owners; and

WHEREAS, the City further wishes to add additional fence requirements specific to the Hoffner Avenue overlay district and the Daetwyler Drive overlay district due to those districts' unique nature; and

WHEREAS, the City finds that this Ordinance advances the interests of public health, safety, and welfare.

NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BELLE ISLE, FLORIDA AS FOLLOWS:

1 Section 1. Recitals. The foregoing recitals are hereby ratified and
2 confirmed as being true and correct and are hereby made a part of this Ordinance
3 as legislative findings.

4 Section 2. City Code Amendment. Section 50-102 in Chapter 50, Article IV of the
5 City Code of Ordinances is hereby amended, all as follows (words that are stricken
6 out are deletions; words that are underlined are additions; stars * * * * *
7 indicate breaks between sections, subsections, or paragraphs and do not indicate
8 changes to the City Code; provisions not included are not being amended):

9 Sec. 50-102. - Accessory structures.

10 * * * * *

11 (b) *Fences and walls*.

12 * * * * *

13 (5) *Maximum height and permitted locations of fences, walls, and privacy*
14 *screens*.

15 a. Except as provided in subsection (b) (5)b of this section, fences, and walls
16 shall be limited to a maximum height of six feet above natural grade in the rear
17 and side yards. ~~No fences or walls shall be permitted in front yards.~~ The maximum
18 height for any front yard fence or wall shall be four feet.

19 1. If a driveway gate is installed, then the gate must be setback 25 feet away
20 from the edge of the road. For purposes of calculating the distance, road means
21 the improved or paved portion but does not include the entirety of the right-of-
22 way.

23 b. A maximum fence height of eight feet shall be permitted in the following
24 situations:

25

1 1. The property line along which the fence will be installed abuts a boat ramp
2 facility, public park, or commercially zoned property.

3 2. The property owner constructing the fence has obtained the written consent
4 of all owners of property that either share a property line and property corner
5 along which the fence or wall will be installed and of any owner of the property
6 with a property line within 50 feet of the fence or wall to be installed.

7 c. Residential property owners shall not construct an additional fence or wall
8 that abuts any subdivision or commercial screening wall and can be viewed from the
9 abutting public right-of-way, street, sidewalk, or abutting other public access
10 areas.

11 * * * * *

12 (7) *Construction of fences or walls near Lake Conway.* No fence or wall located
13 within 35 feet of the ~~86.9~~ normal high water contour line of Lake Conway shall
14 exceed four feet in height.

15 (8) *Location along lot lines.* A structural fence or wall shall be erected so
16 that the entire fence and all supporting structures are entirely on the owner's
17 property. Fence posts and all other supporting structures, as well as the rough
18 side of the fence, if any, shall face the owner's property, except when said fence
19 separates a residential lot from a business or industrial lot. No inspection or
20 any permit issued by the city shall be any evidence or guarantee that the fence
21 has been so correctly located on the subject property.

22 * * * * *

23 (14) *Existing fences.* Any fence or wall which is erected and in violation of this
24 chapter at the time of its passage shall be exempt from the requirements of this
25

1 chapter, excluding those requirements of 50-102(b)(11), unless such fence or wall
2 is deemed a traffic or safety hazard.

3 (15) *Nonconforming fences.* All fences, walls, or privacy screens in violation of
4 this chapter at the time of its passage shall be governed by the following
5 conditions: Any fence, wall, or privacy screen that is in violation of the section
6 and is determined to be a traffic or safety hazard shall be made to conform to
7 this chapter three months from such determination. No portion of a nonconforming
8 fence, wall, or privacy screen shall be enlarged, extended, or structurally
9 altered except to make it conform to this chapter.

10 * * * * *

11 (17) *Overlay Districts.*

12 a. *Hoffner Avenue*

13 1. All properties within Belle Isle City Limits adjoining Hoffner Avenue may
14 install a front or side yard fence or wall with a maximum height of six feet.

15 2. If a driveway gate is installed, the gate shall be at least 20 feet outside
16 the right-of-way line. A sight triangle of at least 15 feet from the driveway to
17 the right-of-way shall be provided.

18 3. *Lake Conway Estates Sub-overlay*

19 i. For all properties that are part of Lake Conway Estates adjoining Hoffner
20 Avenue's right-of-way, a masonry wall up to eight feet high may be constructed in
21 the vicinity of the Hoffner Avenue right-of-way line, provided that wall conforms
22 to the Belle Isle approved wall materials and design requirements. The property
23 owner must pay for such wall, but ownership and maintenance shall be transferred

24
25

1 to Lake Conway Estates Homeowner's Association along with a 15-foot maintenance
2 easement at the completion of construction.

3 ii. In order to preserve as many trees as possible and avoid interfering with
4 existing utility lines, the alignment of the masonry wall may be allowed to
5 encroach into the Hoffner Avenue right-of-way by a maximum of ten feet in wall
6 easements granted to Lake Conway Estates Residents' Association by the City of
7 Belle Isle's Ordinances 98-4 and 99-1. Such encroachment is available but
8 discouraged and is subject to prior approval by the City to determine if
9 reasonably necessary to achieve the above objectives.

10 iii. If a property owner wishes to maintain ownership of the masonry wall on the
11 property owner's property, the entire wall must be located on such property and
12 must not stray into the Hoffner Avenue right-of-way. Under this condition, it is
13 not necessary for the wall to be built using the Belle Isle-approved wall
14 materials and design. If the wall is not built according to the Belle Isle-
15 approved wall materials and design, then the maximum height of the wall is six
16 feet.

17 b. Daetwyler Drive

18 1. Due to continuing increases in traffic on Daetwyler Drive, property owners
19 may build an opaque fence or wall to a height of up to six feet in the front or
20 side yard that adjoins the Daetwyler Drive right-of-way.

21 2. If a gate is installed, there must be a gate recess of 20 feet behind the
22 right-of-way.

23 Section 3. Codification. Section 2 of this Ordinance will be incorporated into
24 the Belle Isle City Code. Any section, paragraph number, letter and/or any

25

1 heading may be changed or modified as necessary to effectuate the foregoing.
2 Grammatical, typographical, and similar or like errors may be corrected, and
3 additions, alterations, and omissions not affecting the construction or meaning
4 of this Ordinance and the City Code may be freely made.

5
6 Section 4. Severability. If any section, subsection, sentence, clause, phrase,
7 word, or provision of this Ordinance is for any reason held invalid or
8 unconstitutional by any court of competent jurisdiction, whether for substantive,
9 procedural, or any other reason, such portion shall be deemed a separate,
10 distinct, and independent provision, and such holding shall not affect the
11 validity of the remaining portions of this Ordinance.

12
13 Section 5. Conflicts. In the event of a conflict or conflicts between this
14 Ordinance and any other Ordinance or provision of law, this Ordinance governs and
15 controls to the extent of any such conflict.

16
17 Section 6. Effective Dates. This Ordinance shall become effective immediately
18 upon adoption by the City Commission of the City of Belle Isle, Florida (the
19 "Effective Date") and shall apply to all applications for permits received on or
20 after the Effective Date.

21
22 First Reading held on _____.

23 Second Reading held on _____.

24
25

1 ADOPTED at a regular meeting of the City Commission of the City of Belle Isle,
2 Florida, held in City Hall, Belle Isle, on this _____ day of _____,
3 2023.

4	5 YES	NO	ABSENT	
6	Ed Gold	_____	_____	_____
7	Anthony Carugno	_____	_____	_____
8	Karl Shuck	_____	_____	_____
9	Randy Holihan	_____	_____	_____
10	Beth Lowell	_____	_____	_____
11	Stanley Smith	_____	_____	_____
12	Jim Partin	_____	_____	_____

13
14 ATTEST: _____

CITY OF BELLE ISLE

15 Yolanda Quiceno, CMC-City Clerk

16 _____

17 Nicholas Fouraker, Mayor

18 _____

19 Approved as to form and legality

20 For use and reliance by

21 Giffin Chumley, City Attorney

22

23 STATE OF FLORIDA

24 COUNTY OF ORANGE

25

1 I, Yolanda Quiceno, CITY CLERK of the City of Belle Isle, do hereby certify that
2 the above and foregoing document ORDINANCE 23-05 was duly and legally passed by
3 the Belle Isle City Council, in session assembled on the _____ day of
4 _____2023. At this session, a quorum of its members was present.

5
6 _____
7 Yolanda Quiceno, CMC-City Clerk

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1 chapter, excluding those requirements of 50-102(b)(11), unless such fence or wall
2 is deemed a traffic or safety hazard.

3 (15) *Nonconforming fences.* All fences, walls, or privacy screens in violation of
4 this chapter at the time of its passage shall be governed by the following
5 conditions: Any fence, wall, or privacy screen that is in violation of the section
6 and is determined to be a traffic or safety hazard shall be made to conform to
7 this chapter three months from such determination. No portion of a nonconforming
8 fence, wall, or privacy screen shall be enlarged, extended, or structurally
9 altered except to make it conform to this chapter.

10 * * * * *

11 (17) *Overlay Districts.*

12 a. *Hoffner Avenue*

13 1. All properties within Belle Isle City Limits adjoining Hoffner Avenue may
14 install a front or side yard fence or wall with a maximum height of six feet.

15 2. If a driveway gate is installed, the gate shall be at least 20 feet outside
16 the right-of-way line. A sight triangle of at least 15 feet from the driveway to
17 the right-of-way shall be provided.

18 3. *Lake Conway Estates Sub-overlay*

19 i. For all properties that are part of Lake Conway Estates adjoining Hoffner
20 Avenue's right-of-way, a masonry wall up to eight feet high may be constructed in
21 the vicinity of the Hoffner Avenue right-of-way line, provided that wall conforms
22 to the Belle Isle approved wall materials and design requirements. ^{Payment for such} The property
23 owner must pay for such wall, but ownership and maintenance shall be transferred
24 wall may be by any legal means

24 **It is possible the property owner may get cost participation of neighbors, donors, grants and such. The key**
25 **provision is that the wall reverts to ownership by LCERA.**

It may not be necessary to have a 15' easement on the subject property if the wall is 10' out in the right of way. That is why it is specified from the centerline of the wall.

1 to Lake Conway Estates Homeowner's Association along with a 15-foot maintenance
2 from the centerline of the wall on any private property
3 easement, at the completion of construction.

3 ii. In order to preserve as many trees as possible and avoid interfering with
4 existing utility lines, the alignment of the masonry wall may be allowed to
5 encroach into the Hoffner Avenue right-of-way by a maximum of ten feet in wall
6 The ordinances have specific rules so making it in "accord with" will prompt reading those easements.
7 easements granted to Lake Conway Estates Residents' Association by the City of
8 Belle Isle's Ordinances 98-4 and 99-1. Such encroachment is available but
9 discouraged and is subject to prior approval by the City to determine if
10 reasonably necessary to achieve the above objectives.

10 iii. If a property owner wishes to maintain ownership of the masonry wall on the
11 property owner's property, the entire wall must be located on such property and
12 must not stray into the Hoffner Avenue right-of-way. Under this condition, it is
13 not necessary for the wall to be built using the Belle Isle-approved wall
14 and will have a
15 materials and design. If the wall is not built according to the Belle Isle-
16 approved wall materials and design, then the maximum height of the wall is limited to
17 six
18 feet.

I believe this is clearer and more concise. The original wording implies any wall not meeting the design requirement is limited to 6'. It is possible someone could build a wall according to the approved design and wish to maintain ownership. In that case they should also be limited to the 6' height. Ownership is the issue, not the design.

17 b. Daetwyler Drive
18 1. Due to continuing increases in traffic on Daetwyler Drive, property owners
19 may build an opaque fence or wall to a height of up to six feet in the front or
20 side yard that adjoins the Daetwyler Drive right-of-way.

21 2. If a gate is installed, there must be a gate recess of 20 feet behind the
22 right-of-way. Include site triangle language from pg, 40 lines 16 and 17 for consistency.

23 Section 3. Codification. Section 2 of this Ordinance will be incorporated into
24 the Belle Isle City Code. Any section, paragraph number, letter and/or any

25



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Review of Fence Proposal: Ordinance 23-05

On June 25th, 2019, the board discussed and reviewed sec. 50-102 (b) for allowing front yard fences specifically for Hoffner Avenue and Seminole Drive. The following code language was presented:

Fences on Hoffner Avenue or Seminole Drive. A fence, wall, or other structure in the nature of a fence, up to four feet in height, may be located within the required front yard setback on the residential property having frontage on Hoffner Avenue or Seminole Drive, provided that the fence complies with the following:

- a. Fences shall be located on private property, no closer than five feet from the edge of the sidewalk nearest the house;
- b. Structural and decorative posts or columns, not exceeding six feet in height or eighteen inches in width, and spaced no closer than six feet apart, from the center to center shall be permitted;
- c. The color, material, and design of the fence shall be compatible with the architecture of the dwelling unit on the property;
- d. Any screen landscaping and associated irrigation shall be installed and maintained on the street side of the fence;
- e. Gates, when in an open position, shall not block the sight distance of the abutting public street, walk, or right-of-way.

An additional consideration is that for lots with a depth greater than the specified number of feet (such as 450 feet); the fence must be no closer than sixteen feet from the edge of the sidewalk nearest the house. This could prevent a possible tunnel of wall effect if the fence/wall were to be placed closer to the street.

For the proposed ordinance 23-05, staff recommends including Seminole Drive as an overlay district for permitting front yard fences. Many houses on Seminole Drive currently feature a six-foot front yard fence. Should an existing front yard fence deteriorate or require new panels, the homeowner(s) must undergo a variance approval process to replace their fence. Given the various lot depths along Seminole Drive, staff could create additional code language for the neighborhood with consensus from the Board.

In speaking with legal counsel, Attorney Chumley shared an issue for dictating the funding sources and ownership of walls and fences is between the homeowners and the existing HOA. These are matters that should or normally would be addressed by the HOA’s covenants and restrictions and other private contractual arrangements between the HOA and the owners and should not be the subject of legislation. Generally, cities are prohibited from enacting legislation that would impair or otherwise interfere with contracts between private parties.

In a separate attachment, staff created comments to Ordinance 23-05 and provided a chapter from the Florida Department of Transportation Design Manual with reference to the use of a “sight triangle,” as mentioned under the proposed ordinance.

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ORDINANCE NO. 23-05

AN ORDINANCE OF THE CITY OF BELLE ISLE, FLORIDA, AMENDING THE CITY'S LAND DEVELOPMENT CODE SECTION 50-102 ACCESSORY STRUCTURES TO ALLOW THE INSTALLATION OF FENCES AND WALLS IN FRONT YARDS WITHIN CERTAIN DEFINED OVERLAY AREAS AND CREATING RESTRICTIONS FOR SUCH FENCES AND WALLS: PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City of Belle Isle Land Development Code currently restricts fences in front yards; and

WHEREAS, the City wishes to allow fences in front yards, set height restrictions for such fences, and create rules for the installation of such fences that will enhance the safety of drivers, pedestrians, and property owners; and

WHEREAS, the City further wishes to add additional fence requirements specific to the Hoffner Avenue overlay district and the Daetwyler Drive overlay district due to those districts' unique nature; and

WHEREAS, the City finds that this Ordinance advances the interests of public health, safety, and welfare.

NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BELLE ISLE, FLORIDA AS FOLLOWS:

1 Section 1. Recitals. The foregoing recitals are hereby ratified and
2 confirmed as being true and correct and are hereby made a part of this Ordinance
3 as legislative findings.

4 Section 2. City Code Amendment. Section 50-102 in Chapter 50, Article IV of the
5 City Code of Ordinances is hereby amended, all as follows (words that are stricken
6 out are deletions; words that are underlined are additions; stars * * * * *
7 indicate breaks between sections, subsections, or paragraphs and do not indicate
8 changes to the City Code; provisions not included are not being amended):

9 Sec. 50-102. - Accessory structures.

10 * * * * *

11 (b) *Fences and walls.*

12 * * * * *

13 (5) *Maximum height and permitted locations of fences, walls, and privacy*
14 *screens.*

15 a. Except as provided in subsection (b)(5)b of this section, fences, and walls
16 shall be limited to a maximum height of six feet above natural grade in the rear
17 and side yards. ~~No fences or walls shall be permitted in front yards.~~ The maximum
18 height for any front yard fence or wall shall be four feet.

19 1. If a driveway gate is installed, then the gate must be setback 25 feet away
20 from the edge of the road. For purposes of calculating the distance, road means
21 the improved or paved portion but does not include the entirety of the right-of-
22 way. |

23 b. A maximum fence height of eight feet shall be permitted in the following
24 situations:
25

Commented [A1]: Staff recommends adjusting the verbiage to:
A driveway gate shall be setback [...] from the edge of the public street or private roadway."

Commented [A2]: Staff recommends omitting language.

1 1. The property line along which the fence will be installed abuts a boat ramp
2 facility, public park, or commercially zoned property.

3 2. The property owner constructing the fence has obtained the written consent
4 of all owners of property that either share a property line and property corner
5 along which the fence or wall will be installed and of any owner of the property
6 with a property line within 50 feet of the fence or wall to be installed.

7 c. Residential property owners shall not construct an additional fence or wall
8 that abuts any subdivision or commercial screening wall and can be viewed from the
9 abutting public right-of-way, street, sidewalk, or abutting other public access
10 areas.

11 * * * * *

12 (7) *Construction of fences or walls near Lake Conway.* No fence or wall located
13 within 35 feet of the ~~26.9~~ normal high water contour line of Lake Conway shall
14 exceed four feet in height.

15 (8) *Location along lot lines.* A structural fence or wall shall be erected so
16 that the entire fence and all supporting structures are entirely on the owner's
17 property. Fence posts and all other supporting structures, as well as the rough
18 side of the fence, if any, shall face the owner's property, except when said fence
19 separates a residential lot from a business or industrial lot. No inspection or
20 any permit issued by the city shall be any evidence or guarantee that the fence
21 has been so correctly located on the subject property.

22 * * * * *

23 (14) *Existing fences.* Any fence or wall which is erected and in violation of this
24 chapter at the time of its passage shall be exempt from the requirements of this
25

chapter, excluding those requirements of 50-102(b) (11), unless such fence or wall is deemed a traffic or safety hazard.

(15) *Nonconforming fences.* All fences, walls, or privacy screens in violation of this chapter at the time of its passage shall be governed by the following conditions: Any fence, wall, or privacy screen that is in violation of the section and is determined to be a traffic or safety hazard shall be made to conform to this chapter three months from such determination. No portion of a nonconforming fence, wall, or privacy screen shall be enlarged, extended, or structurally altered except to make it conform to this chapter.

* * * * *

(17) Overlay Districts.

a. Hoffner Avenue

1. All properties within Belle Isle City Limits adjoining Hoffner Avenue may install a front or side yard fence or wall with a maximum height of six feet.

2. If a driveway gate is installed, the gate shall be at least 20 feet outside the right-of-way line. A sight triangle of at least 15 feet from the driveway to the right-of-way shall be provided.

3. Lake Conway Estates Sub-overlay

i. For all properties that are part of Lake Conway Estates adjoining Hoffner Avenue's right-of-way, a masonry wall up to eight feet high may be constructed in the vicinity of the Hoffner Avenue right-of-way line, provided that wall conforms to the Belle Isle approved wall materials and design requirements. The property owner must pay for such wall, but ownership and maintenance shall be transferred

Commented [A3]: Staff recommends omitting language as fence code already allows a side yard fence to be 6 ft in height.

Commented [A4]: Staff recommends verbiage be changed to:
The installation of a driveway gate shall be at least 20 feet from the property line.

Commented [A5]: 1. An illustration and definition of a sight triangle would be useful and more user-friendly to readers. Or change "sight triangle" to "sight distance."
2. Some residential driveways have two points of access. Would the proposed sight triangle be measured from the outer edges of a driveway or from the centerline of the driveway?
3. Should the proposed sight triangle provided by the homeowner include existing landscaping and hardscaping features to ensure no obstruction in visibility per sec. 50-102 (b) (13)?
4. Would the city obligate the homeowner(s) to maintain clear sight triangles for driveway approaches over time?
5. If the sight triangle possesses hardscape or landscape, is the application denied? Or would it be determined by City Staff or the P&Z Board?
6. Aspects to consider for sight triangle, the placement and height of objects within the area.

Commented [A6]: Staff recommends omitting the Lake Conway Estates Sub-overlay section based on input from legal counsel. The proposed language for sec. (17) (a) (3) may be a matter determined between the HOA and the homeowner.

1 to Lake Conway Estates Homeowner's Association along with a 15-foot maintenance
2 easement at the completion of construction.

3 ii. In order to preserve as many trees as possible and avoid interfering with
4 existing utility lines, the alignment of the masonry wall may be allowed to
5 encroach into the Hoffner Avenue right-of-way by a maximum of ten feet in wall
6 easements granted to Lake Conway Estates Residents' Association by the City of
7 Belle Isle's Ordinances 98-4 and 99-1. Such encroachment is available but
8 discouraged and is subject to prior approval by the City to determine if
9 reasonably necessary to achieve the above objectives.

10 iii. If a property owner wishes to maintain ownership of the masonry wall on the
11 property owner's property, the entire wall must be located on such property and
12 must not stray into the Hoffner Avenue right-of-way. Under this condition, it is
13 not necessary for the wall to be built using the Belle Isle-approved wall
14 materials and design. If the wall is not built according to the Belle Isle-
15 approved wall materials and design, then the maximum height of the wall is six
16 feet.

17 b. Daetwyler Drive

18 1. Due to continuing increases in traffic on Daetwyler Drive, property owners
19 may build an opaque fence or wall to a height of up to six feet in the front or
20 side yard that adjoins the Daetwyler Drive right-of-way.

21 2. If a gate is installed, there must be a gate recess of 20 feet behind the
22 right-of-way.

23 Section 3. Codification. Section 2 of this Ordinance will be incorporated into
24 the Belle Isle City Code. Any section, paragraph number, letter and/or any
25

Commented [A7]: The city's fence requirements acknowledges:
1. Property owners must construct a fence or wall on or within their property lines under sec. 50-102 (b) (1).
2. Fences are allowed to be six feet in height, or eight feet in height with neighbors' consent under sec. 50-102 (b) (5).
3. Belle Isle approved wall materials are detailed under sec. 50-102 (b) (1).

Commented [A8]: Staff recommends omitting language. An explanation is not required.

Commented [A9]: Should an "opaque" percentage be assigned? The code state a minimum or maximum opaque percentage requirement for non-residential districts.

Commented [A10]: Staff recommends omitting language.

Commented [A11]: Staff recommends adjusting the verbiage to
"A gate installation shall have a gate recess of 20 feet from the property owner's lot line."

1 heading may be changed or modified as necessary to effectuate the foregoing.
2 Grammatical, typographical, and similar or like errors may be corrected, and
3 additions, alterations, and omissions not affecting the construction or meaning
4 of this Ordinance and the City Code may be freely made.

5
6 Section 4. Severability. If any section, subsection, sentence, clause, phrase,
7 word, or provision of this Ordinance is for any reason held invalid or
8 unconstitutional by any court of competent jurisdiction, whether for substantive,
9 procedural, or any other reason, such portion shall be deemed a separate,
10 distinct, and independent provision, and such holding shall not affect the
11 validity of the remaining portions of this Ordinance.

12
13 Section 5. Conflicts. In the event of a conflict or conflicts between this
14 Ordinance and any other Ordinance or provision of law, this Ordinance governs and
15 controls to the extent of any such conflict.

16
17 Section 6. Effective Dates. This Ordinance shall become effective immediately
18 upon adoption by the City Commission of the City of Belle Isle, Florida (the
19 "Effective Date") and shall apply to all applications for permits received on or
20 after the Effective Date.

21
22 First Reading held on _____.

23 Second Reading held on _____.

24

25

1 ADOPTED at a regular meeting of the City Commission of the City of Belle Isle,
2 Florida, held in City Hall, Belle Isle, on this ____ day of _____,
3 2023.

5	YES	NO	ABSENT
6	Ed Gold	_____	_____
7	Anthony Carugno	_____	_____
8	Karl Shuck	_____	_____
9	Randy Holihan	_____	_____
10	Beth Lowell	_____	_____
11	Stanley Smith	_____	_____
12	Jim Partin	_____	_____

14 ATTEST: _____ CITY OF BELLE ISLE

15 Yolanda Quiceno, CMC-City Clerk

16 _____

17 Nicholas Fouraker, Mayor

18 _____

19 Approved as to form and legality

20 For use and reliance by

21 Giffin Chumley, City Attorney

22

23 STATE OF FLORIDA

24 COUNTY OF ORANGE

25

1 I, Yolanda Quiceno, CITY CLERK of the City of Belle Isle, do hereby certify that
2 the above and foregoing document ORDINANCE 23-05 was duly and legally passed by
3 the Belle Isle City Council, in session assembled on the _____ day of
4 _____2023. At this session, a quorum of its members was present.

5
6 _____
7 Yolanda Quiceno, CMC-City Clerk

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City of Belle Isle Planning & Zoning Board Regular Session Minutes June 25, 2019 – 6:30 pm

Dan Langley City Attorney	David Woods Vice Chairman District 1	Chris Shenefelt District 2	Shawn Jervis District 3	Randy Holihan Chairman District 4	Rainey Lane District 5	Russell Cheezum District 6	Leonard Hobbs District 7
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On Tuesday, June 25, 2019, the Belle Isle Planning & Zoning Board met in a regular session at 6:30 pm in the Belle Isle City Hall Council Chambers.

Present was Chairman Holihan, Vice Chairman Woods, Board member Lane, and Board member Hobbs.

Also present was Attorney Geller, City Manager Francis, City Planner April Fisher and Admin Asst Heidi Peacock.

Absent were Board member Cheezum, Board Member Jarvis, and Board member Shenefelt.

1. Call to Order

Chairman Holihan called the meeting to order at 6:30 pm and opened with the Pledge of Allegiance.

Chairman Holihan called for a motion to excuse Board members, Jarvis, Cheezum and Shenefelt.

Board member Lane motioned to excuse Board members, Jarvis, Cheezum and Shenefelt absence for tonight’s meeting. Board member Hobbs seconded the motion which passed 4:3.

City Manager Francis reported that Board member Cheezum is moving out of his district and will be resigning in short order. The Council will be looking for a new board member for District 6.

2. Approval of May 28, 2019 minutes

Board member Rainey motioned to approve the minutes of May 28, 2019, as presented.

Vice Chairman Woods seconded the motion which passed 4:3.

3. PUBLIC HEARING CASE #2019-05-049

PROPOSED DEVELOPMENT SITE PLAN. PURSUANT TO BELLE ISLE CODE SEC. 54-79 (F) (4), THE BOARD SHALL REVIEW AND TAKE ACTION ON THE PROPOSED SITE PLAN, SUBMITTED BY LECHONERA SAJOMA, LOCATED AT 1919 MCCOY ROAD, BELLE ISLE FL 32809, ALSO KNOWN AS PARCEL # 30-23-30-0000-00-017.

Chairman Holihan opened public hearing 2019-05-049.

April Fisher, City Planner, said the case is a proposed site plan to reuse the currently developed site with a vacant building that was formerly a gas station/patio store. The applicant is proposing to utilize the site as a restaurant. The Code requires a site plan approval before pulling a building permit to retrofit the interior of the building. They will be creating a temporary outdoor seating plan and currently meet the parking requirements of the code. The Code does not require any modifications for landscaping; however, Ms. Fisher advised the applicant that they will need to update the landscaping because it is currently failing.

The applicant has taken the initiative to upgrade the landscaping on the site. April Fisher is recommending approval of the proposed site plan with the following conditions as follows,

1. A separate dumpster permit shall be required as part of the building permit process if the current dumpster facilities are being replaced/changes or do not comply with code; or, the applicant may submit a certification that the existing dumpster facilities comply with the code.
2. The restaurant shall maintain landscape enhancements.
3. If any additional outside lighting is ever needed, a lighting plan with foot-candle information shall be required as part of the building permit application process to ensure no light pollution occurs onto adjacent residential properties.
4. A separate sign permit application is required.

Alex Estevez, an applicant with offices at 1919 McCoy Rd, said they are looking to open an international food buffet-style restaurant with limited outside seating. He feels that the restaurant will benefit the residents and the visitors in with compatible priced home cooking rather than the surrounding fast food business in the area.

Vice Chairman Woods asked for clarification on the proposed parking for employees. Mr. Estevez said there is a 30-foot concrete slab in the back of the building that he would like to designate for employees down the road. Vice Chairman Woods noted to make that work he will need a 14-foot driveway (one way) which will not leave much room for maneuvering a vehicle.

Vice Chairman Woods further addressed the parking configuration and would like to see a striping plan designating before approval.

Chairman Holihan shared his concern with the outside seating and asked if it code addresses this issue. Ms. Fisher said the code is dated and silent to an outside seating situation. Chairman Holihan said his concern is approving the plan and ignoring the realistic number of spaces required for indoor and outdoor seating. Chairman Holihan said the Board might consider a condition to initially limit to a certain number of seats. April Fisher agreed with the condition.

Chairman Holihan asked since the applicant is not changing the inside of the building does it change the retention pond requirements. April Fisher said no.

Chairman Holihan closed board discussion and opened for public comment.

- Anna Marie Fiola residing at 2493 Trentwood Blvd shared asked the new business will sell alcohol and if they close at night. The applicant said they will not be selling alcohol and are open from 7am-7pm.

There is no further question; Chairman Holihan closed the public comment section.

Vice Chairman Woods asked for the section of the code regarding parking vs. seating. Ms. Fisher said the code section is 50-72.

Board member Hobbs said the Board might want to require additional parking spaces based upon the outdoor seating. Discussion ensued.

Mr. Esteves asked on how the Board calculates parking if the service is mostly taken out. April Fisher said if the Code does not delineate a separate calculation for carry-out, then it will be calculated on the proposed seating and area that the code identifies.

Vice Chairman Woods moved the criteria of Section 54-79(f)(4) of the Belle Isle Development having been met to approve the proposed development site plan application under the following conditions,

- 1. Remove the reference on the site plan to the employee parking lot**
- 2. Provide a striping plan illustrating the required number of parking spaces.**
- 3. The applicant will represent that they will not sell alcohol and are open from 7-7pm**
- 4. Landscaping according to the Code in place at the time of the initial development of the site in 2004**
- 5. The restaurant shall maintain landscaping**
- 6. Any outdoor lighting plan must be submitted and approve by the City**
- 7. Require a separate Dumpster permit**
- 8. Require a separate Sign Permit**

April Fisher asked if the Board would like the applicant to come back before the Board or if they will allow the applicant to submit the required conditions to the staff for review and approval to move forward.

Board member Lane seconded the motion which passed 4:3.

4. Discussion on Land Development Changes – Fences, walls, and perimeter buffering

April Fisher gave a brief overview of proposed code language for overlays, fences, and wall to allow an administrative format to allow applications in the front yard on properties on Seminole Drive and Hoffner Avenue, as follows,

Fences on Hoffner Avenue or Seminole Drive. A fence, wall, or other structure in the nature of a fence, up to four feet in height, may be located within the required front yard setback on the residential property having frontage on Hoffner Avenue or Seminole Drive, provided that the fence complies with the following:

- a. Fences shall be located on private property, no closer than five feet from the edge of the sidewalk nearest the house;
- b. Structural and decorative posts or columns, not exceeding six feet in height or eighteen inches in width, and spaced no closer than six feet apart, from the center to center shall be permitted;
- c. The color, material, and design of the fence shall be compatible with the architecture of the dwelling unit on the property;
- d. Any screen landscaping and associated irrigation shall be installed and maintained on the street side of the fence;
- e. Gates, when in an open position, shall not block the sight distance of the abutting public street, walk, or right-of-way.

An additional consideration is that for lots with a depth greater than the specified number of feet (such as 450 feet); the fence must be no closer than sixteen feet from the edge of the sidewalk nearest the house. This could prevent a possible tunnel of wall effect if the fence/wall were to be placed closer to the street.

After discussion, Vice Chairman Woods motioned to table the discussion to the next scheduled meeting. Board member Lane seconded the motion which passed 4:3.

5. ADJOURNED

There being no further business Chairman Holihan adjourned the meeting at 7:45 pm.

Yolanda Quiceno
City Clerk, CMC

212 Intersections

212.1 General

This chapter provides design criteria and guidance for the geometric layout of at-grade conventional intersections. Conventional intersections include 3-leg (T), 4-leg, and Multi-leg (5 or more legs).

Multi-leg conventional intersections should be avoided. Alternatives to existing multi-leg intersections include:

- (1) Converting to a roundabout.
- (2) Converting one or more legs to a one-way operation
- (3) Reconfiguring or realigning the intersection to create separate intersections, each with no more than four legs.

See **FDM 201** for design vehicle selection and design speed requirements.

See **FDM 210** for lane width, median width, island dimensions, and deflection angle requirements.

See **FDM 222** for requirements concerning pedestrian facilities and **FDM 223** for bicycle facilities.

212.1.1 Alternative Intersections

Alternative intersection design is a key component of upgrading our transportation facilities and improving the mobility and safety of all road users. These innovative designs are becoming more common as increasing traffic demand exceed the limitations of traditional intersection solutions.

Alternative intersections offer the potential to improve safety and reduce delay at lower cost and with fewer impacts than traditional solutions such as adding lanes or grade separation. Three of the more common alternative intersection types are:

- Displaced Left Turn (a.k.a. Continuous Flow Intersection)
- Restricted Crossing U-Turn (RCUT)
- Median U-Turn (MUT)

The FHWA has published comprehensive informational guides for alternative intersections which include guidance on how to plan, design, construct, and operate them. The following links provide access to these guides: [FHWA Alternative Designs](#) and [Alternative Intersections/Interchanges: Informational Report \(AIR\)](#).

These types of alternate intersection designs should be coordinated with the Central Office Roadway Design.

212.1.2 Intersection Control Evaluation

Intersection Control Evaluation (ICE) is a process to determine the most effective intersection configuration for a specified project. Through ICE, multiple alternative and conventional intersection configurations are compared to one another based on safety, operations, cost, and environmental impacts. The ICE procedure provides a transparent and consistent approach to intersection alternatives selection and provides documentation to support decisions made.

ICE policy and procedure is published on the FDOT Traffic Engineering and Operations Office website at the following Link: [Manual on Intersection Control Evaluation](#).

212.2 Intersection Control

Conventional intersections utilize one of four control types; yield, stop, all-way stop and signal.

212.2.1 Yield Control

Certain channelized movements at intersections and interchanges, and all approaches to roundabouts are often yield controlled. Refer to the [Manual on Uniform Traffic Control Devices \(MUTCD\)](#) for information on the locations where yield control traffic control devices may be appropriate.

212.2.2 Stop Control

Stop-controlled intersections have one or more legs of the intersection controlled by a "STOP" sign (R1-1).

Intersections with stop control are a common, low-cost control, which require the traffic on the minor roadway to stop before entering the major roadway. It is used where

application of the normal R/W rule is not appropriate for certain approaches at the intersection.

To meet the requirements for the assigned access classification, or where U-turn opportunities exist within a corridor, consider limiting stop controlled minor roads or driveways to “right-in, right-out” only.

212.2.3 All-Way Stop Control

For an all-way stop intersection, traffic approaching it from all directions is required to stop before proceeding through the intersection. An all-way stop may have multiple approaches and typically marked with a supplemental signing stating the number of approaches.

All-way stop control is most effective at the intersection of low-speed, 2-lane roadways not exceeding 1,400 vehicles during the peak hour. All-way stop control should not be used on multilane highways. Guidance for consideration of the application of all-way stop control is provided in the *MUTCD*.

All-way stop control may be used as an interim measure when a traffic signal or roundabout is warranted, but the installation is delayed.

212.2.4 Signal Control

Signalization provides an orderly and predictable movement of motorized and non-motorized traffic throughout the highway transportation system. It also provides guidance and warnings to ensure the safe and informed operation of the traffic stream.

Refer to *FDM 232* for design criteria for signalization.

212.3 Intersection Types

Conventional intersection configurations include flared and channelized intersections (divided and undivided). Flared intersections are illustrated in *Figure 212.3.1* and channelized intersections in *Figure 212.3.2*. See *FDM 210.3* for median and island requirements.

Figure 212.3.1 Flared Intersections

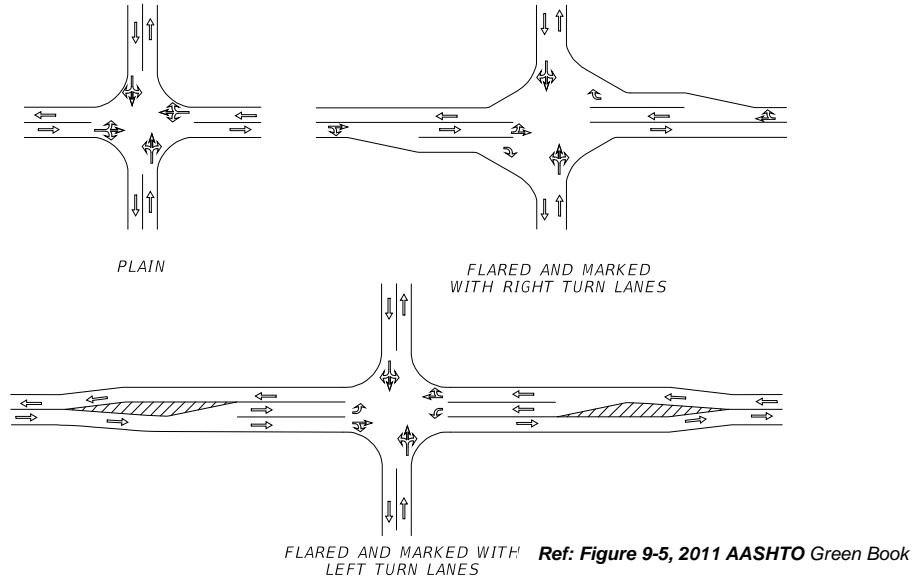
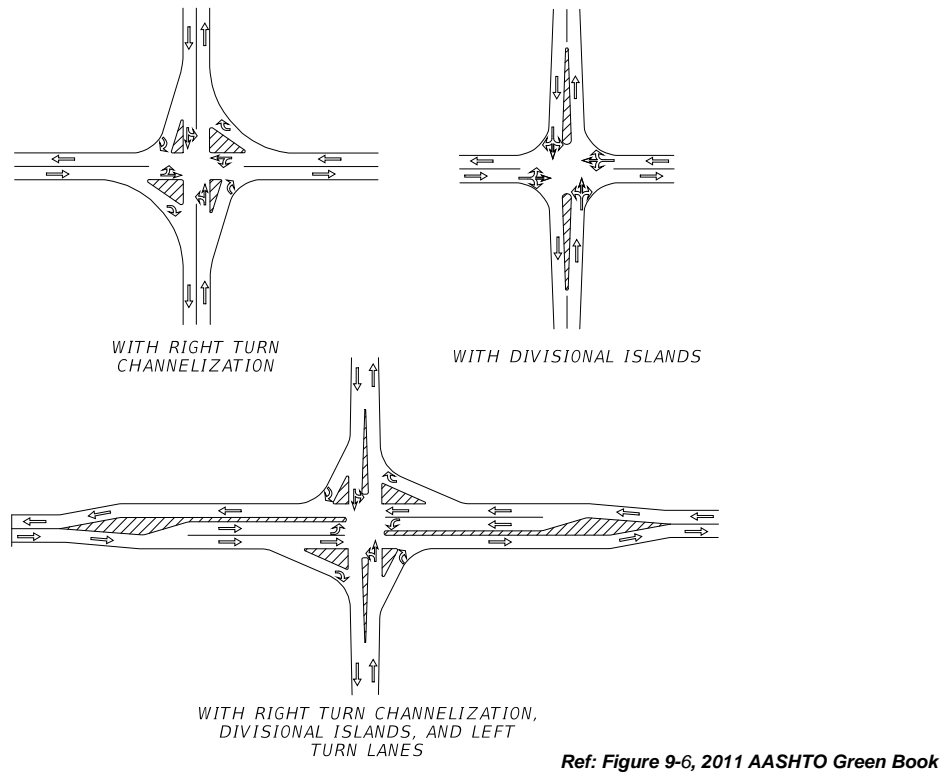


Figure 212.3.2 Channelized Intersections



212.4 Intersection Functional Area

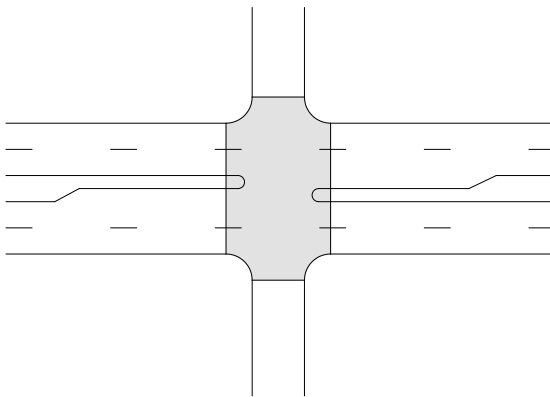
The functional area of an intersection extends in both directions including auxiliary lanes and their associated channelization. This is illustrated in **Figures 212.4.1** and **212.4.2**.

The functional area on the approach to an intersection or driveway consists of three basic elements:

- (1) Perception-reaction-decision distance
- (2) Maneuver distance
- (3) Queue-storage distance (see **FDM 212.14.2**)

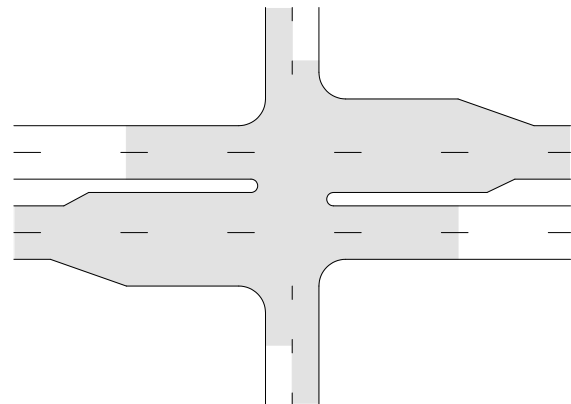
These elements are shown in **Figure 212.4.3**. The maneuver distance includes the length needed for both braking and lane changing when there is a left or right turning lane. In the absence of turn lanes, the maneuver distance is the distance to brake to a comfortable stop. The storage length includes the most distant extent of any intersection-related queue expected to occur during the design period.

**Figure 212.4.1
Physical Definition**



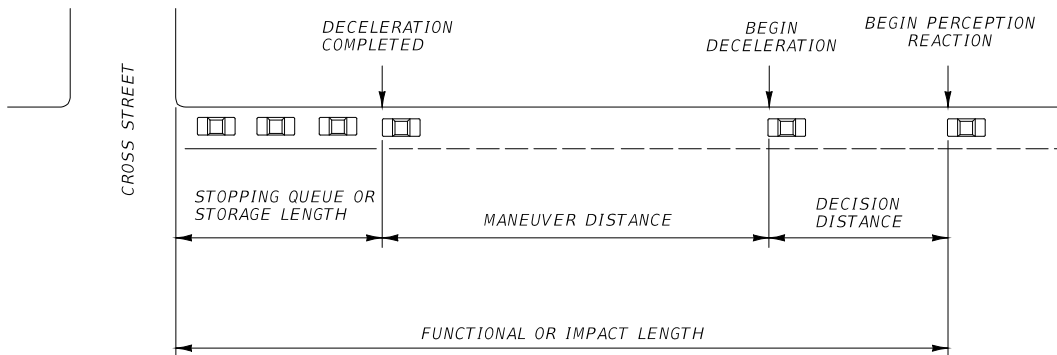
Ref: Figure 9-1, 2011 AASHTO Green Book

**Figure 212.4.2
Functional Definition**



Ref: Figure 9-1, 2011 AASHTO Green Book

Figure 212.4.3 Elements of the Functional Area



Ref: Figure 9-2, 2011 AASHTO Green Book

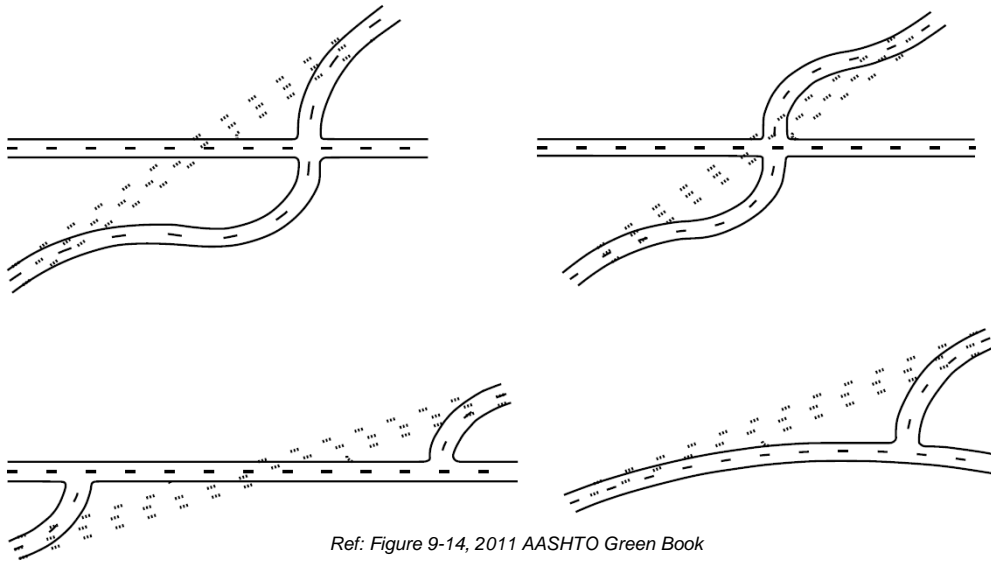
212.5 Intersection Angle

The intersection angle between two roadways has a significant influence on the safety and operation of an intersection. Intersection angles are to be as close to 90 degrees as practical. Intersection angles less than 75 degrees should be avoided for the following reasons:

- (1) Heavy skew angles increase the intersection crossing length, exposing vehicles, pedestrians, and cyclists to conflicting traffic streams for longer periods of time. This is of particular concern at stop-controlled approaches on high-speed facilities.
- (2) The road user's sight angle to the crossing leg becomes restricted due to the skew, making it difficult to see conflicting vehicles and to perceive safe crossing gaps.
- (3) Turning movements are difficult because of the skew. Additional pavement may be necessary to accommodate the turning of large trucks.
- (4) Turning movements or positioning may be confusing and require additional channelization.
- (5) Increased open pavement areas of highly skewed intersections increase construction and maintenance costs.

Evaluate intersections with severe skew angles and crash histories for geometric improvements as shown in **Figure 212.5.1**. A high incidence of right-angle crashes is an indicator that improvements may be justified.

Figure 212.5.1 Intersection Reconfigurations



Ref: Figure 9-14, 2011 AASHTO Green Book

212.6 Lane Tapers

Standard taper lengths for auxiliary lanes are given in **FDM 212.14**. Taper length is based on the following equations:

- (1) Merging Taper (L):
 - (a) For design speeds ≤ 40 mph: $L = (W \cdot S^2) / 60$
 - (b) For design speeds ≥ 45 mph: $L = W \cdot S$

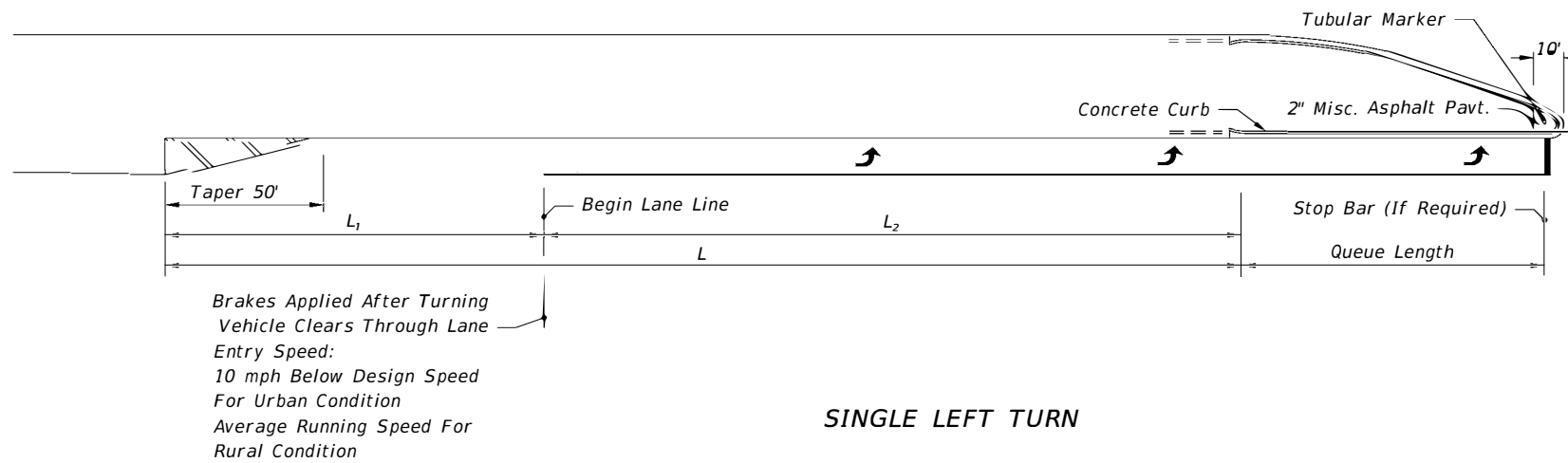
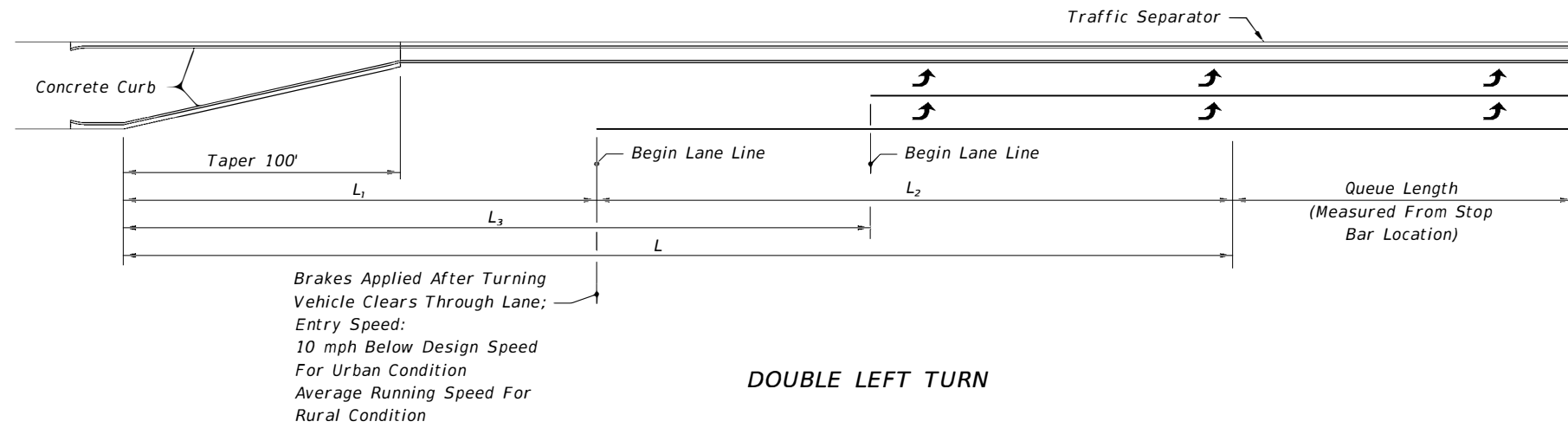
Where:

- L = Taper length (feet)
- W = Width of offset (feet)
- S = Design speed (mph)

- (2) Shifting Taper is equal to Merging Taper (L) / 2.

Minimum deceleration lengths are illustrated in **Exhibit 212-1**. Additional information on lane transitions (add or drop) are provided in **Exhibits 212-2** and **212-3**.

MEDIAN TURN LANES MINIMUM DECELERATION LENGTHS

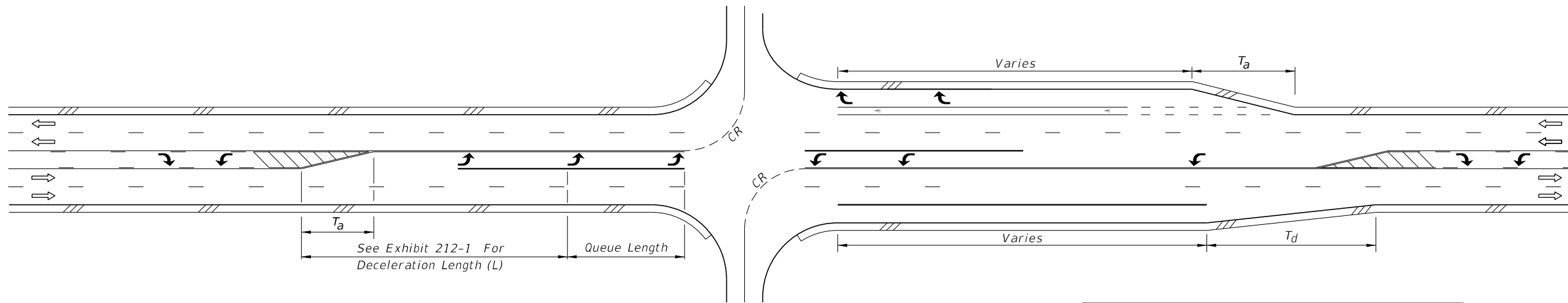


MEDIAN TURN LANES								
Design Speed (mph)	Entry Speed (mph)	Clearance Distance L ₁ (ft.)	URBAN CONDITIONS			RURAL CONDITIONS		
			Brake To Stop Distance L ₂ (ft.)	Total Decel. Distance L (ft.)	Clearance Distance L ₃ (ft.)	Brake To Stop Distance L ₂ (ft.)	Total Decel. Distance L (ft.)	Clearance Distance L ₃ (ft.)
35	25	70	75	145	110	—	—	—
40	30	80	75	155	120	—	—	—
45	35	85	100	185	135	—	—	—
50	40/44	105	135	240	160	185	290	160
55	48	125	—	—	—	225	350	195
60	52	145	—	—	—	260	405	230
65	55	170	—	—	—	290	460	270

NOT TO SCALE

LANE TRANSITIONS: 4-LANE ROADWAYS

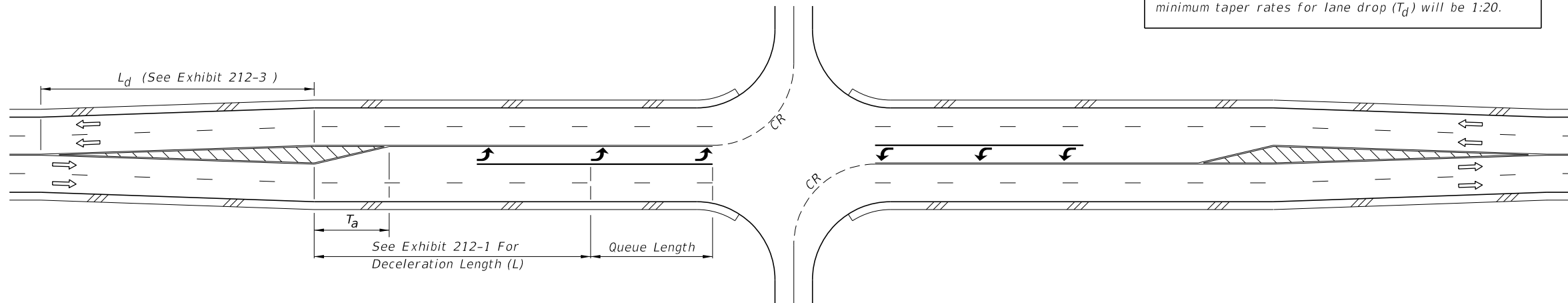
a.



TWO-WAY LEFT-TURN LANES

DESIGN SPEED (mph)	T_a (ft.)	T_d
<30	1:4, 50 ft. min.	1:25
30-45		1:30
>45		1:40

Note: For locations with unrelocatable control points minimum taper rates for lane drop (T_d) will be 1:20.

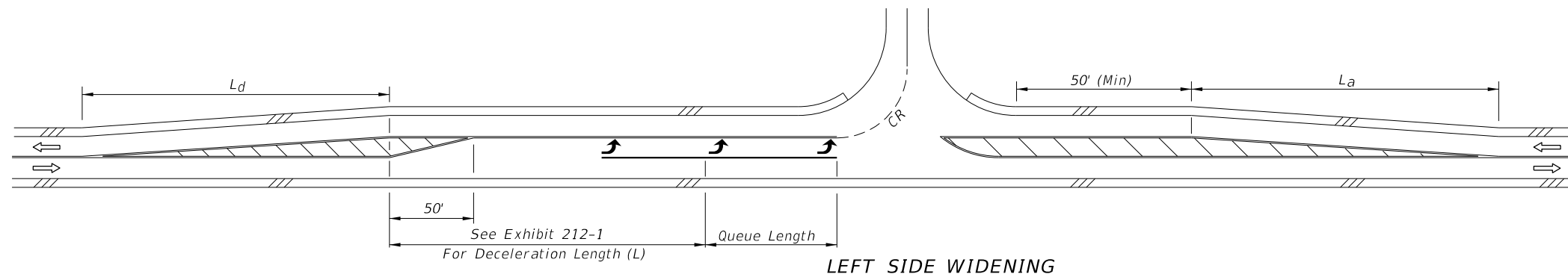


UNDIVIDED FLARED - SYMMETRICAL

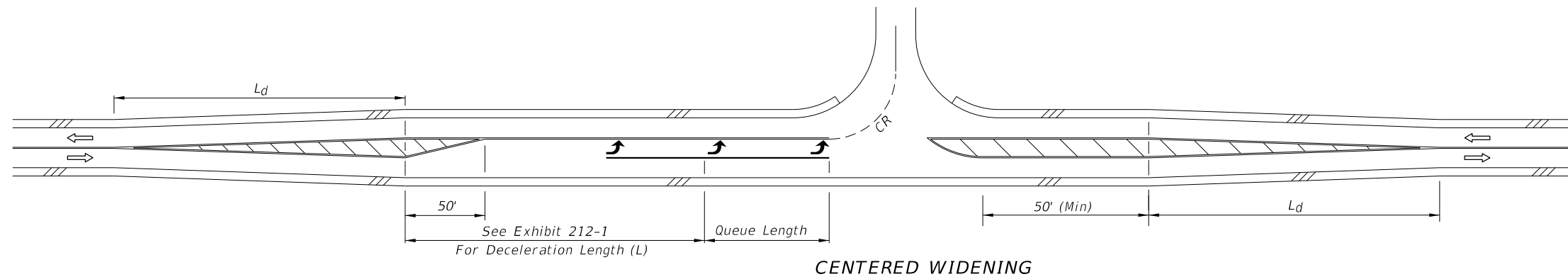
NOT TO SCALE

LANE TRANSITIONS: 2-LANE ROADWAYS

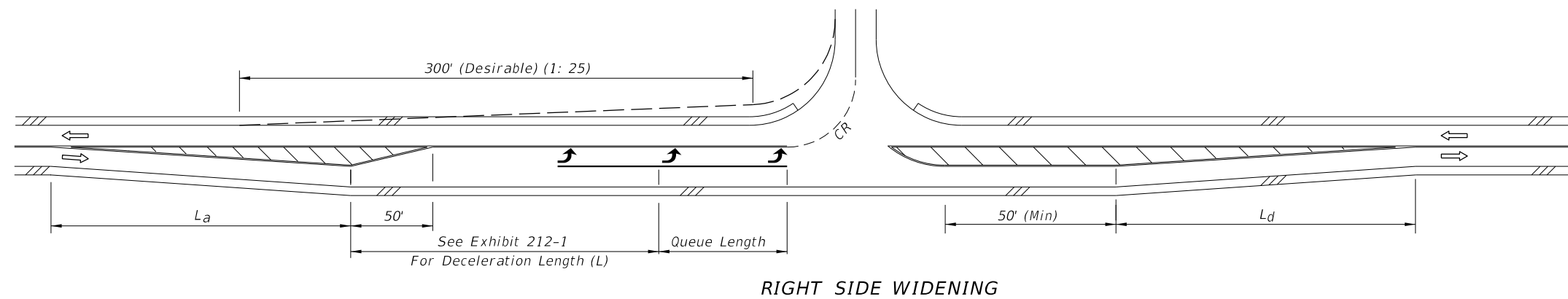
a.



LEFT SIDE WIDENING



CENTERED WIDENING



RIGHT SIDE WIDENING

FLARED & PAINTED LEFT TURNS FOR 2-LANE ROADWAYS

DESIGN SPEED (mph)	L_a (Ft.)		L_d (Ft.)	
	STANDARD	MINIMUM UNDER CONSTRAINTS	STANDARD	MINIMUM UNDER CONSTRAINTS
30	180	120	180	120
40	320	150	240	150
50	500	180	360	180
60	720	240	480	240

NOT TO SCALE

212.7 Lane Shifts

Lane shifts through intersections should meet the requirements for non-merging conditions. Pavement markings should be used through the intersection to provide positive guidance to the motorist. The shifting taper length is controlled by the size of the intersection and the deflection angle. Although deflections through intersections are discouraged, there may be conditions where they are necessary.

The maximum deflection angles at intersections to be used in establishing the horizontal alignment are given in **Table 212.7.1**.

Table 212.7.1 Maximum Deflection Angle Through Intersection

Maximum Deflection Angle Through Intersection (DM)					
Design Speed (mph)					
≤ 20	25	30	35	40	45
16° 00'	11° 00'	8° 00'	6° 00'	5° 00'	3° 00'
<p>Notes:</p> <p>(1) Deflection angle used is not to cause a lane shift (W) of more than 6 feet from stop bar to stop bar.</p>					
<p>LANE SHIFT</p>			<p>DEFLECTION THROUGH INTERSECTION</p>		

212.8 Profile Grades

The profile grade line defines the vertical alignment for construction. The grade line of the mainline road is typically carried through the intersection and the minor crossroad (or cross street) is adjusted to it. This design involves a transition in the crown of the crossroad to an inclined cross section at its junction with the mainline road, as illustrated in **Figure 212.8.1**.

The break in the crossroad profile at the center of the intersection should be accomplished with a vertical curve.

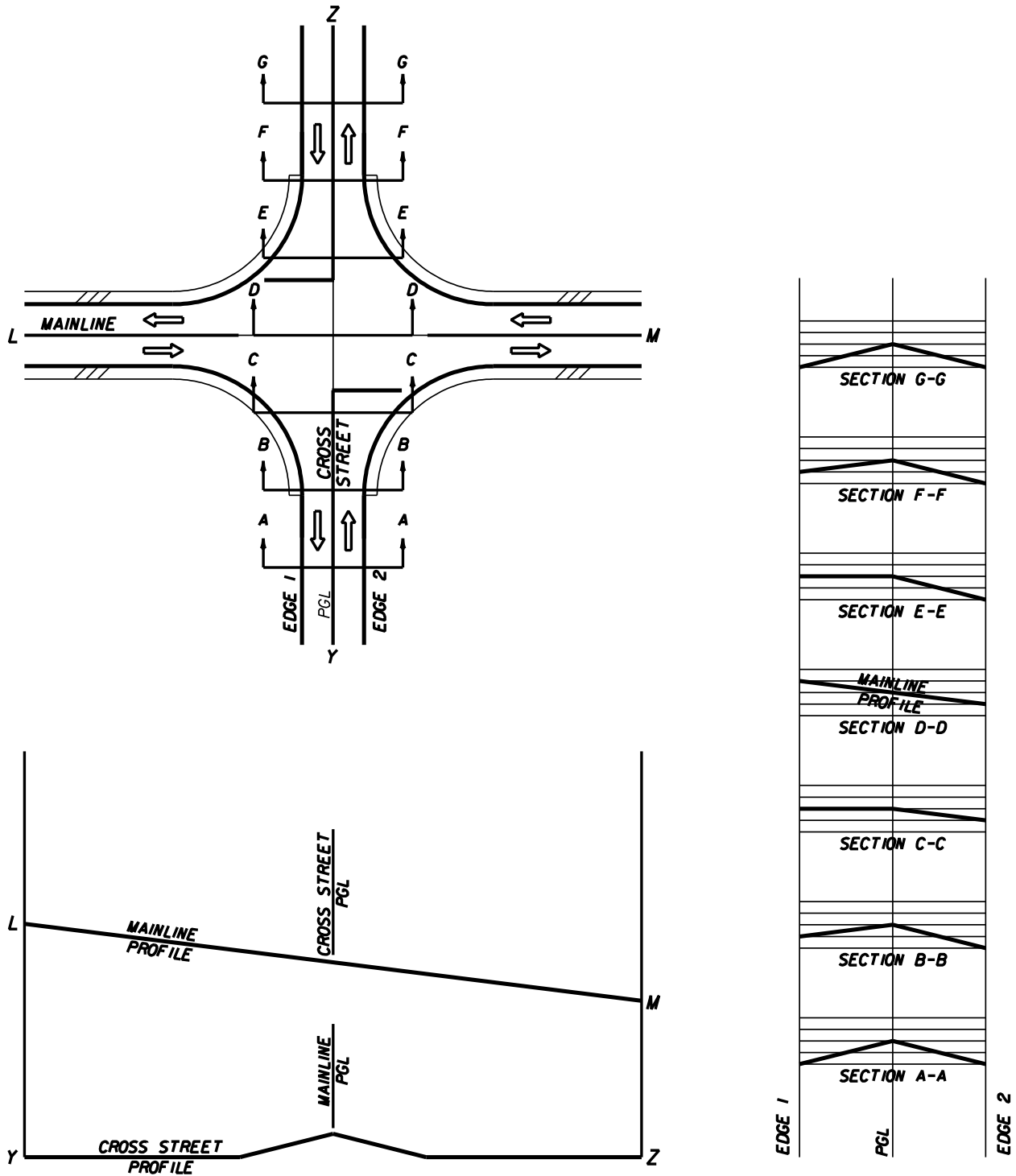
Vertical alignments at or near intersections should provide traffic lanes that are:

- (1) Clearly visible and understandable to drivers for any desired direction of travel,
- (2) Free from sudden appearance of potential conflicts, and
- (3) Consistent in design with the portions of the highway just traveled.

Steep grades at intersections may increase or decrease stopping or acceleration distance. Avoid grades in excess of 3% on intersecting roads in the vicinity of the intersection. Where conditions make such designs impractical, grades should not exceed 6%.

Provide adequate sight distance along both intersecting roads and across their included corners, even where one or both intersecting roads are on vertical curves. The gradients of intersecting roads should be as flat as practical on those sections that are to be used for storage of stopped vehicles.

Figure 212.8.1 Cross Street Intersection Transition



212.8.1 Special Profiles

Special profiles for certain roadway elements may be necessary to ensure a safe, efficient, well-drained and smooth roadway system. Elements that may require special profiles include pavement edges or gutter flow lines at street intersections, profile grade lines, intersection plateaus, curb returns, and special superelevation details. Special profiles are developed at close intervals and large scale to clearly identify all construction details of these elements.

212.8.2 Plateauing

In some instances, it is desirable for the crossroad to receive the same profile considerations as the mainline road. To provide this "equal treatment", with respect to profile, a technique commonly known as intersection plateauing is applied. Plateauing refers to flattening of the intersection and the transition of both roadway profiles and cross slopes on the intersection approaches.

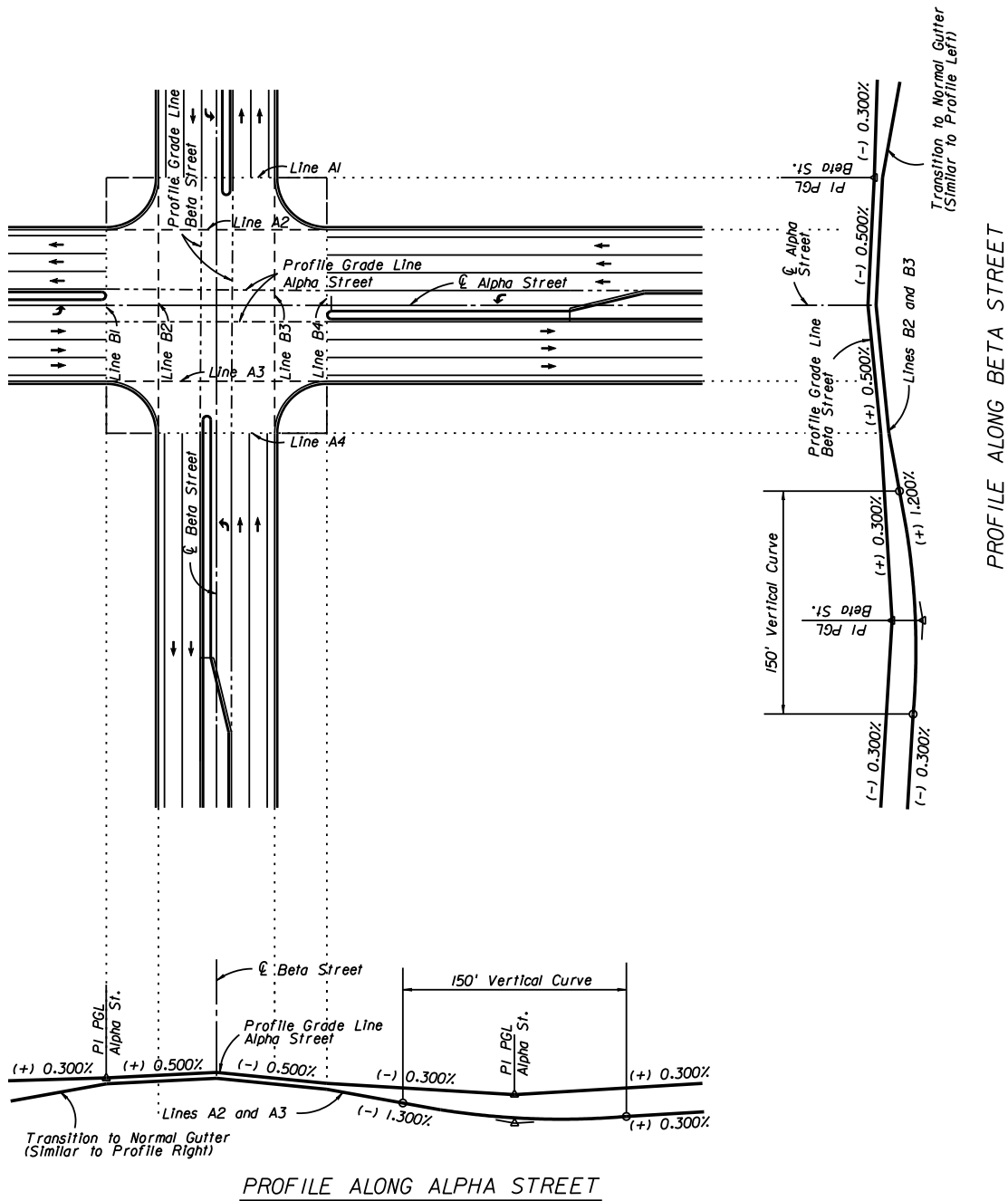
Provide a profile combination that provides a smooth transition and adequate drainage when applying intersection plateauing. Transition slope rates are to meet the values provided in **Table 212.8.1**; however, the minimum length of cross slope transition is 50 feet for design speeds less than or equal to 35 mph and 75 feet for design speeds of 40 mph or greater.

An example of a plateaued intersection is illustrated in **Figure 212.8.2**.

Table 212.8.1 Slope Rates for Intersection Approaches

Design Speed (mph)	Slope Ratio
25-35	1:100
40	1:125
45-50	1:150
55-60	1:170
65-70	1:190

Figure 212.8.2 Example of Plateaued Intersection



212.9 Median Openings

Locate and design median openings to meet traffic requirements in accordance with the access management plan for the facility. See **FDM 201.4** for more information on access management plans and decision making.

See **FDM 210.3** for additional requirements for medians at intersections.

The following conditions may require additional median width:

- accommodation for trees (provide space above and below ground for growth)
- offset turn lanes
- directional median openings
- dual and triple left turn lanes

The overall length of a full median opening is typically the same width as the intersecting road (including shoulders) which is sufficient to accommodate the swept path of left turning vehicles. Median functions and minimum widths are provided in **Table 212.9.1**.

For un-signalized intersections, median openings should not be longer than the required length to avoid multiple vehicles attempting to stop within the opening.

Table 212.9.1 Minimum Median Width

Median Function	Minimum Width (feet)
Separation of opposing traffic	4
Provision for pedestrian refuge	6
Provision for storage of left-turning vehicles	See Table 210.3.1
Provision for protection of vehicles crossing through lanes	22
Provision for U-turns, left turn lane to outside lanes	30
Provision for Dual Left Turn Lanes and U Turns	42

The control radius refers to a radius that must be considered in establishing the location of median or traffic separator ends on divided highways and the stop bar on undivided highways. Provide this radius for left-turn movements when appropriate.

Design guidance on minimum edge-of-traveled-way design for various design vehicles is provided in **FDM 212.12.1**.

For the central part of the turn the use of compound curves is not necessary and the use of simple curves is satisfactory. **Table 212.9.2** provides control radii for minimum-speed turns (10 to 15 mph) that can be used for establishing the location of the median ends.

Table 212.9.2 Control Radii for Minimum Speed Turns

Design Vehicles Accommodated	Control Radius (feet)			
	50 (40 min)	60 (50 min)	75	130
Predominant	P	SU-30	SU-40, WB-40	WB-62FL
Occasional	SU-30	SU-40, WB-40	WB-62	WB-67

212.9.1 U-Turns

Median width should accommodate passenger vehicle (P) left-turn and U-turn maneuvers. If adequate median width does not exist for accommodating U-turns, then consider adding extra pavement width such as a taper or additional shoulder width. See **FDM 210.3** for information on median width criteria.

In cases where U-turn traffic volumes are high, consider the use of jug handles, loop designs, or indirect left turn designs.

212.10 Stopping Sight Distance

See **FDM 210.11.1** for stopping sight distance requirements.

212.11 Clear Sight Triangles

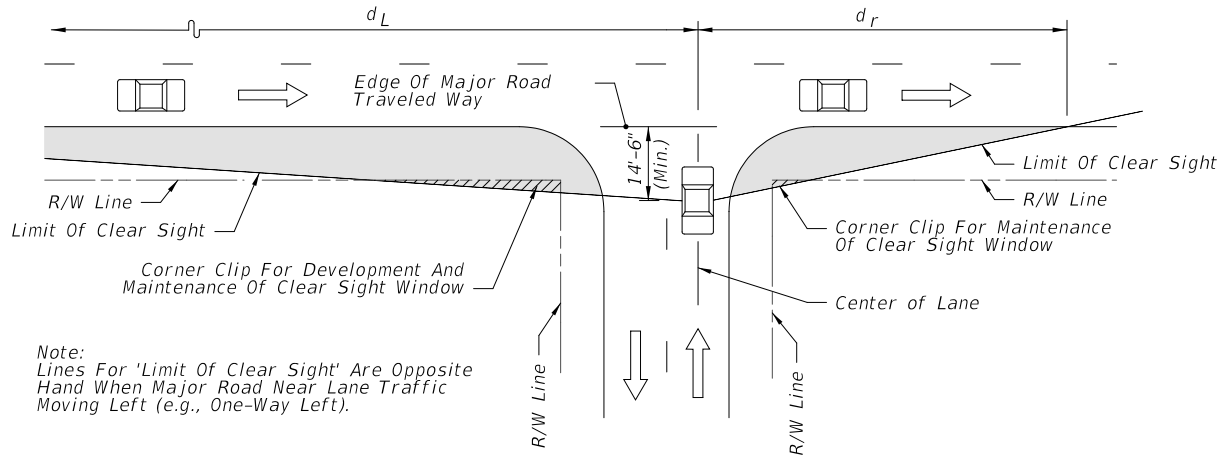
Establish clear sight triangles to assure that drivers are provided a sufficient view of the intersecting highway to identify gaps in traffic and decide when it is safe to proceed. Document the analysis of sight distance for all intersections.

Clear sight triangles are the areas along intersection approach legs and across their common corners that should be clear of visual hindrances. Dimensions of clear sight triangles are based on design speed, design vehicle, and the type of traffic control used at the intersection.

212.11.1 Stop Control (AASHTO Case B)

Figure 212.11.1 illustrates clear sight triangles for intersections and driveways.

Figure 212.11.1 Clear Sight Triangles



The minimum driver-eye setback of 14.5 feet from the edge of the traveled way may be adjusted on any intersection leg only when justified by a documented, site-specific field study of vehicle stopping position and driver-eye position.

Exhibits 212-4 through **212-7** provide intersection sight distances for stop controlled intersections. The tables in the exhibits provide sight distance values for Passenger vehicles, Single Unit (SU) Trucks, and Combination vehicles for design speeds ranging from 30 mph to 65 mph. Intersection sight distance based on Passenger vehicles is suitable for most intersections; however, consider the values for SU Vehicles or Combination vehicles for intersections with high truck volumes.

The following guidance applies to **Exhibits 212-4** through **212-7**:

- (1) Limitations
 - (a) The exhibits apply to intersections in all context classifications with stop control or flashing beacon control.
 - (b) The exhibits apply only to intersections with intersecting angles between 60° and 120°, and where vertical and horizontal curves are not present.

(2) Dimensions

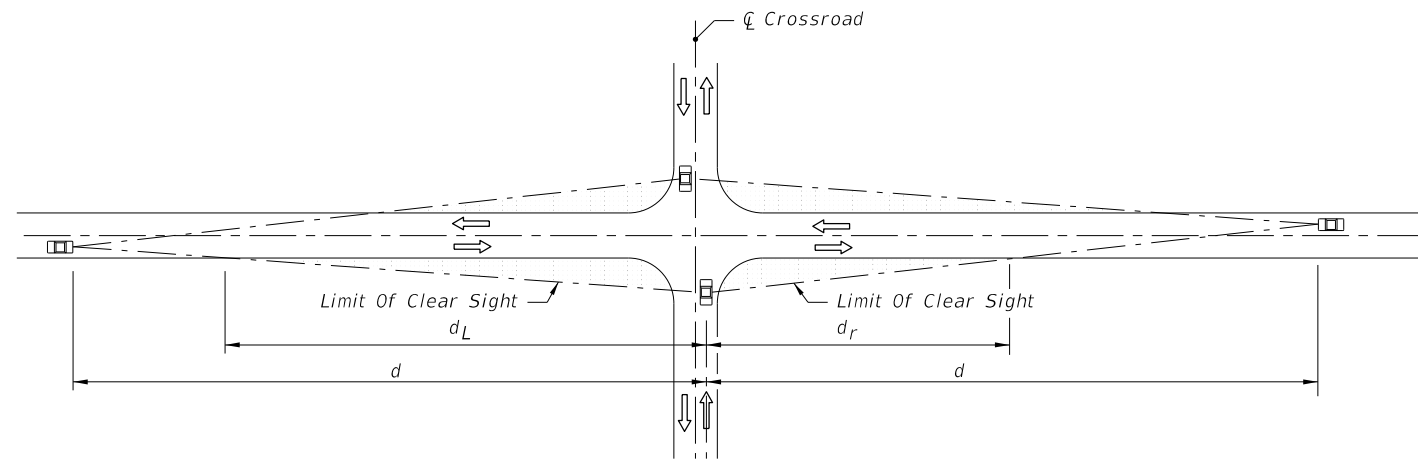
- (a) Sight distance (d) is measured from the center of the entrance lane of the crossroad to the center of the near approach lane (right or left) of the highway.
- (b) Distances 'd_L' and 'd_r' are measured from the centerline of the entrance lane of the crossroad to a point on the edge of the near side outer traffic lane on the highway.
- (c) Distance 'd_m' is measured from the centerline of the entrance lane of the crossroad to a point on the median clear zone limit or horizontal clearance limit for the far side road of the highway.

(3) Vertical limits

- (a) Provide a clear sight window throughout the limits of all intersection sight triangles.
- (b) Provide a clear line of sight between vehicles at intersection stop locations and vehicles on the highway throughout the limits of all intersection sight triangles.
- (c) The reference datum between roadways is 3'-6" above respective pavements since observations are made in both directions along the line of sight.

INTERSECTION SIGHT DISTANCE: 2-LANE UNDIVIDED

a.



Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	335	240	155
35	390	275	175
40	445	315	200
45	500	355	225
50	555	395	250
55	610	435	275
60	665	470	300
65	720	510	325

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	420	300	190
35	490	350	220
40	560	400	250
45	630	450	285
50	700	495	315
55	770	545	345
60	840	595	375
65	910	645	410

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	510	365	230
35	595	420	265
40	680	480	305
45	765	545	345
50	845	600	380
55	930	660	415
60	1015	720	455
65	1100	780	495

Passenger Vehicle

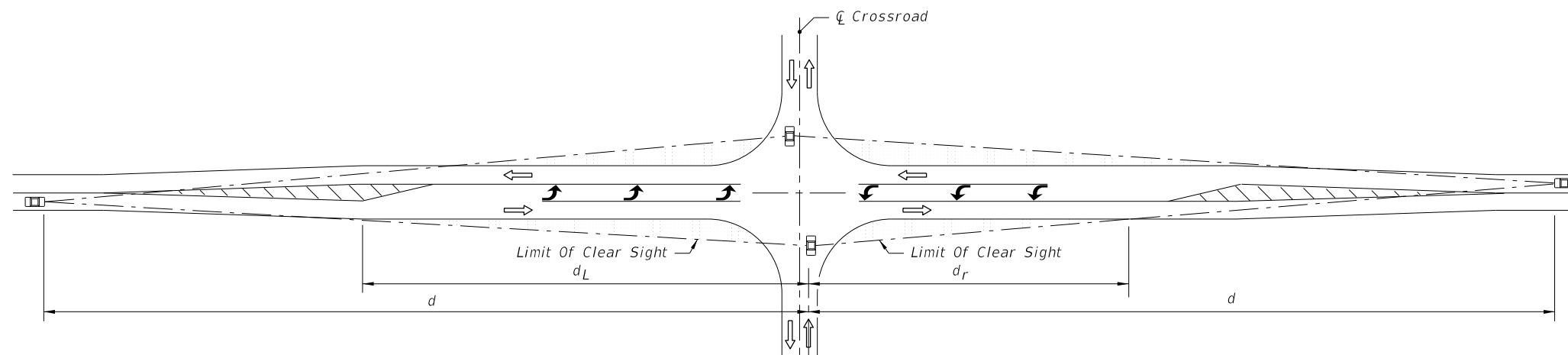
SU Vehicle

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_r) (FEET)

2 LANE UNDIVIDED

2-LANE UNDIVIDED



2-LANE WITH LEFT TURN LANE

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	355	195	135
35	415	230	160
40	475	260	180
45	530	290	200
50	590	325	225
55	650	355	245
60	710	390	270
65	765	420	290

Passenger Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	450	250	170
35	525	290	200
40	600	330	230
45	675	370	255
50	750	410	285
55	825	455	315
60	900	495	340
65	975	535	370

SU Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	540	295	205
35	630	345	240
40	720	395	275
45	810	445	305
50	900	495	340
55	990	545	375
60	1080	590	410
65	1170	640	440

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_r) (FEET)

2-LANE WITH LEFT TURN

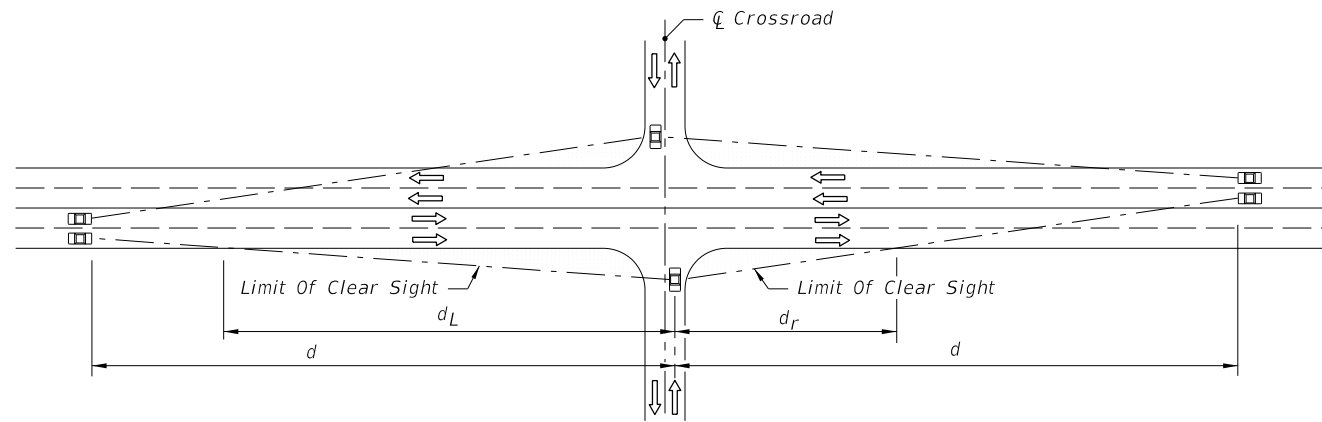
NOT TO SCALE

NOTE:
1. See Figure 212.11.1 for origin of clear sight line on the minor road.

LEGEND

Areas Free Of Sight Obstructions

INTERSECTION SIGHT DISTANCE: 4-LANE UNDIVIDED



Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	355	255	120
35	415	295	135
40	475	335	155
45	530	375	175
50	590	420	195
55	650	460	215
60	705	500	230
65	765	545	250

Passenger Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	450	320	150
35	525	375	175
40	600	425	200
45	675	480	220
50	750	530	245
55	825	585	270
60	900	640	295
65	975	690	320

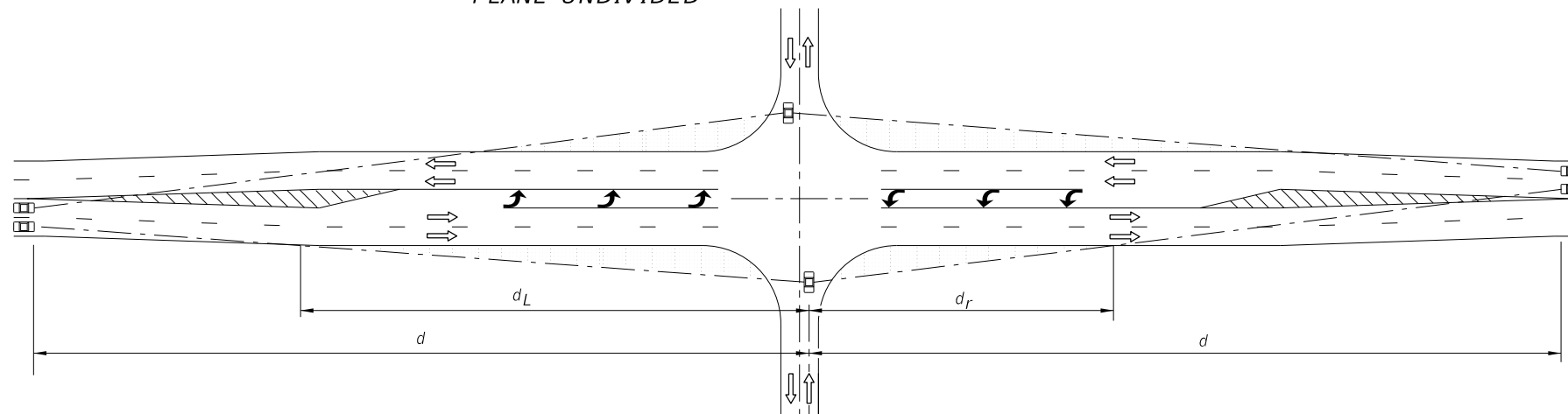
SU Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	540	385	180
35	630	450	205
40	720	510	235
45	810	575	265
50	900	640	295
55	990	700	325
60	1080	765	355
65	1170	830	385

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_r) (FEET)
4 LANE UNDIVIDED

4-LANE UNDIVIDED



Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	375	205	110
35	440	245	130
40	500	275	145
45	565	310	165
50	625	345	180
55	690	380	200
60	750	410	215
65	815	450	235

Passenger Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	480	265	140
35	560	310	165
40	640	350	185
45	720	395	210
50	800	440	230
55	880	485	255
60	960	525	280
65	1040	570	300

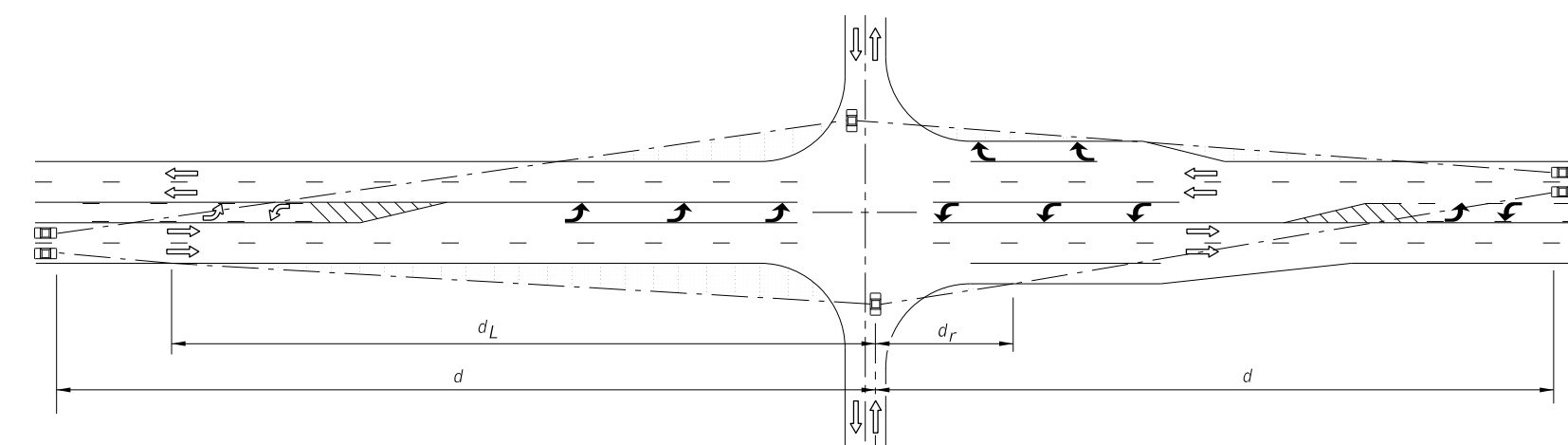
SU Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	570	315	165
35	665	365	195
40	760	420	220
45	855	470	245
50	950	520	275
55	1045	575	300
60	1140	625	330
65	1235	675	355

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_r) (FEET)
4-LANE UNDIVIDED WITH LEFT TURN LANE

4-LANE UNDIVIDED WITH LEFT TURN LANE



Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	375	265	80
35	440	315	95
40	500	355	110
45	565	400	120
50	625	445	135
55	690	490	150
60	750	530	160
65	815	580	175

Passenger Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	480	340	105
35	560	400	120
40	640	455	135
45	720	510	155
50	800	570	170
55	880	625	190
60	960	680	205
65	1040	740	220

SU Vehicle

Design Speed (mph)	d (Ft.)	d _L (Ft.)	d _r (Ft.)
≤ 30	570	405	125
35	665	470	145
40	760	540	165
45	855	605	185
50	950	675	205
55	1045	740	225
60	1140	810	245
65	1235	875	265

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_r) (FEET)
4-LANE UNDIVIDED WITH LEFT TURN LANE AND OPTIONAL LANE

4-LANE UNDIVIDED WITH LEFT TURN LANE AND OPTIONAL LANE

LEGEND

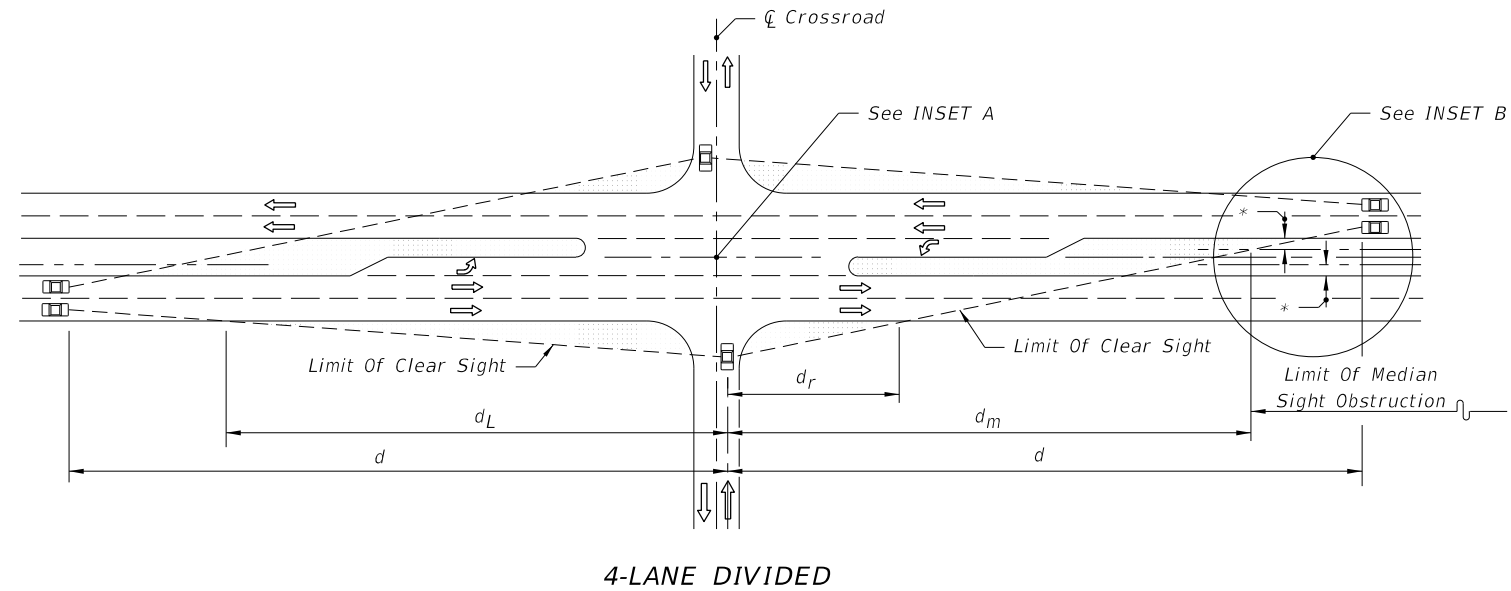
Areas Free Of Sight Obstructions

NOTE:

1. See Figure 212.11.1 for origin of clear sight line on the minor road.

NOT TO SCALE

INTERSECTION SIGHT DISTANCE: 4-LANE DIVIDED



4-LANE DIVIDED

Median 22' or Less				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	395	280	90	325
35	460	325	100	380
40	525	375	115	430
45	590	420	130	485
50	655	465	145	540
55	720	510	160	590
60	785	555	175	645
65	850	605	185	700

25'-64' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_v (Ft.)	d_{vL} (Ft.)
≤ 30	355	255	330	240
35	415	295	390	280
40	470	335	445	320
45	530	375	500	360
50	590	420	550	400
55	650	460	610	440
60	705	500	665	480
65	765	545	720	520

Passenger Vehicle

Median 35' or Less				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	540	385	110	460
35	630	450	125	535
40	720	510	145	615
45	810	575	160	685
50	900	640	180	760
55	990	700	195	840
60	1080	765	215	915
65	1170	830	230	990

40'-64' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_v (Ft.)	d_{vL} (Ft.)
≤ 30	450	320	420	330
35	525	375	490	385
40	600	425	560	440
45	675	480	630	490
50	750	530	700	545
55	825	585	770	600
60	900	640	840	655
65	975	690	910	710

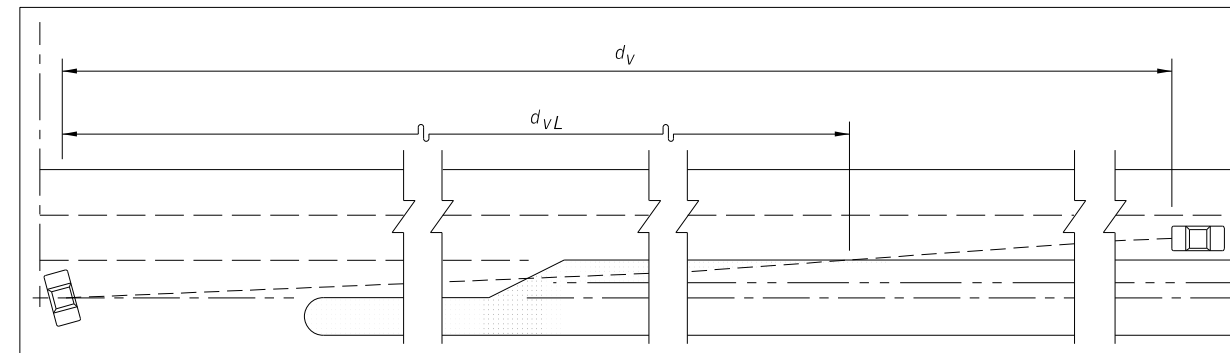
SU Vehicle

Median 30' or Less				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	615	435	120	520
35	720	510	140	605
40	820	580	160	690
45	925	655	180	780
50	1025	725	200	860
55	1130	800	220	950
60	1230	870	240	1035
65	1335	945	260	1120

35'-50' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	670	475	105	585
35	780	555	120	680
40	890	630	140	780
45	1000	710	155	875
50	1110	790	170	970
55	1225	870	190	1070
60	1335	945	205	1165
65	1445	1025	225	1265

Combined Vehicles

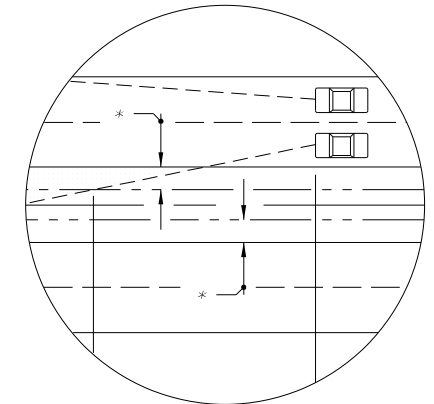
64' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_v (Ft.)	d_{vL} (Ft.)
≤ 30	540	385	510	435
35	630	450	595	500
40	720	510	680	575
45	810	575	760	645
50	900	640	845	720
55	990	700	930	790
60	1080	765	1015	865
65	1165	825	1100	935



Where The Median Is Sufficiently Wide For The Design Vehicle To Pause In The Median (Vehicle Length Plus 6' Min.) The Clear Line Of Sight To The Right (d_v) Is Measured From The Vehicle Pause Location, i.e., Not From The Cross Road Stop Position; Distances d_r & d_m Do Not Apply.

INSET A

Vehicle Type	Vehicle Length (Ft.)
Passenger (P)	19
Single Unit (SU)	30
Large School Bus	40
WB-40	45.5
WB-50	55



INSET B

* Lateral Offset For Restricted Conditions
Clear Zone For Nonrestricted Conditions

NOTES FOR 4-LANE DIVIDED ROADWAY

- See Figure 212.11.1 for origin of clear sight line on the minor road.
- Values shown in the tables are the governing (controlling) sight distances calculated based on 'AASHTO Case B - Intersection with Stop Control on the Minor Road'.

SIGHT DISTANCES (d) & (d_r) AND RELATED DISTANCES (d_L , d_r , d_m & d_{vL}) (FEET)

NOT TO SCALE

LEGEND

Areas Free Of Sight Obstructions

INTERSECTION SIGHT DISTANCE: 6-LANE DIVIDED

Median 22' or Less				
Design Speed (mph)	d_x (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	415	295	80	355
35	485	345	90	415
40	555	395	105	470
45	625	445	115	530
50	690	490	130	585
55	760	540	140	645
60	830	590	155	705
65	900	640	170	765

25'-64' MEDIAN				
Design Speed	d	d_L	d_v	d_{vL}
≤ 30	375	265	330	240
35	440	315	385	280
40	500	355	445	320
45	565	400	500	360
50	625	445	555	400
55	690	490	610	440
60	750	530	665	480
65	815	580	720	520

Passenger Vehicle

Median 35' or Less				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	570	405	90	495
35	665	470	105	580
40	760	540	120	660
45	855	605	135	745
50	955	675	155	830
55	1050	745	170	915
60	1145	810	185	995
65	1240	880	200	1080

40'-64' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_v (Ft.)	d_{vL} (Ft.)
≤ 30	480	340	420	330
35	560	400	490	385
40	640	455	560	440
45	720	510	630	490
50	805	570	700	545
55	885	625	770	600
60	965	685	840	665
65	1045	740	910	710

SU Vehicle

Median 30' or Less				
Design Speed (mph)	d_x (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	650	460	110	560
35	755	535	130	655
40	865	615	145	745
45	970	690	165	835
50	1080	765	185	930
55	1185	840	200	1025
60	1290	915	220	1115
65	1400	990	235	1210

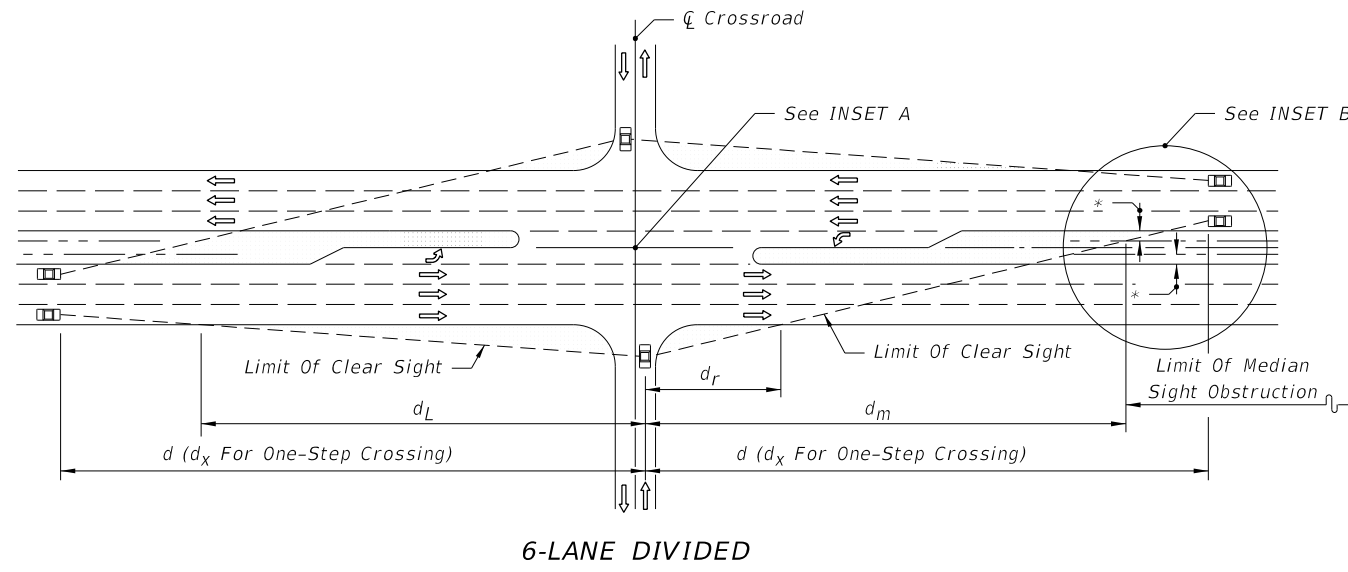
35'-50' Median				
Design Speed (mph)	d_x (Ft.)	d_L (Ft.)	d_r (Ft.)	d_m (Ft.)
≤ 30	700	495	95	625
35	815	580	115	725
40	930	660	130	825
45	1045	740	145	930
50	1165	825	160	1035
55	1280	905	175	1140
60	1395	990	190	1240
65	1510	1070	210	1340

Combined Vehicles

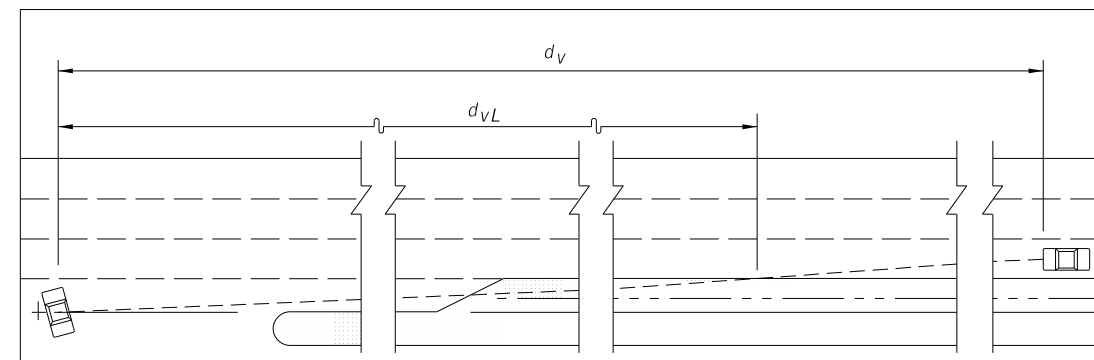
64' Median				
Design Speed (mph)	d (Ft.)	d_L (Ft.)	d_v (Ft.)	d_{vL} (Ft.)
≤ 30	570	405	510	435
35	665	470	590	500
40	760	540	680	575
45	855	605	760	645
50	950	675	845	720
55	1045	740	930	790
60	1140	805	1015	865
65	1235	875	1100	935

INSET A

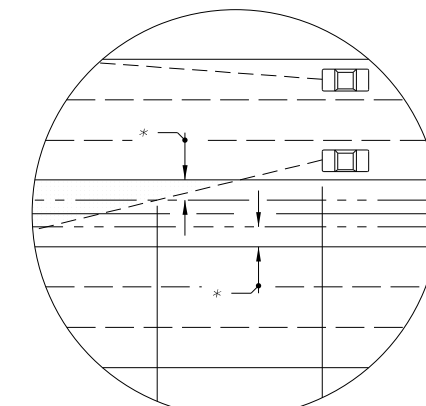
Vehicle Type	Vehicle Length (Ft.)
Passenger (P)	19
Single Unit (SU)	30
Large School Bus	40
WB-40	45.5
WB-50	55



6-LANE DIVIDED



Where The Median Is Sufficiently Wide For The Design Vehicle To Pause In The Median (Vehicle Length Plus 6' Min.) The Clear Line Of Sight To The Right (d_v) Is Measured From The Vehicle Pause Location, i.e., Not From The Cross Road Stop Position; Distances d_r & d_m Do Not Apply.



INSET B

* Lateral Offset For Restricted Conditions
Clear Zone For Nonrestricted Conditions

NOTES FOR 6-LANE DIVIDED ROADWAY

- See Figure 212.11.1 for origin of clear sight line on the minor road.
- Values shown in the tables are the governing (controlling) sight distances calculated based on 'AASHTO Case B - Intersection with Stop Control on the Minor Road.'

SIGHT DISTANCES (d), (d_v) & (d_x) AND RELATED DISTANCES (d_L , d_r , d_m & d_{vL}) (FEET)

NOT TO SCALE

LEGEND

Areas Free Of Sight Obstructions

212.11.2 All-Way Stop Control (AASHTO Case E)

Provide clear sight lines on each of the approach legs for all-way stop controlled intersections.

212.11.3 Signal Control (AASHTO Case D)

For signalized intersections incorporate the following:

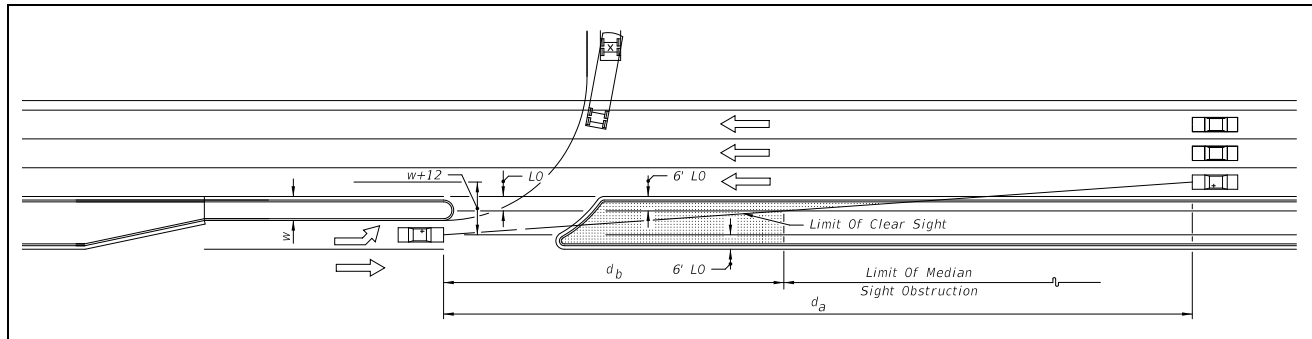
- (1) Develop sight distances based on AASHTO 'Case D-Intersections with Signal Control'.
- (2) The first vehicle stopped on any approach leg is visible to the driver of the first vehicle stopped on each of the other approach legs.
- (3) For permissive left turns provide sufficient sight distance for left turning vehicles to select gaps in oncoming traffic and complete left turns.
- (4) If a traffic signal is to be placed on two-way flashing operation (i.e., flashing yellow on the major road approaches and flashing red on the minor road approaches) under off peak or nighttime conditions, then provide the appropriate departure sight triangles for AASHTO Case B (Stop Control on the Minor Road).
- (5) If right turns on red are permitted from any approach leg then provide the appropriate departure sight triangle to the left for AASHTO Case B above.

212.11.4 Left Turn from Highway (AASHTO Case F)

Provide sufficient sight distance to accommodate a left turn maneuver for locations where left turns across opposing traffic are permitted. **Table 212.11.1** provides clear sight distance values for left turn from highway.

For additional information on determining the sight distance refer to Chapter 9 of AASHTO's ***A Policy on Geometric Design of Highways and Streets***.

Table 212.11.1 Sight Distance for Left Turn from Highway



Design Speed (mph)	d _a (feet)								
	1 Lane Crossed			2 Lane Crossed			3 Lane Crossed		
	P	SU	Comb.	P	SU	Comb.	P	SU	Comb.
25-30	245	290	330	265	320	365	290	350	395
35	285	335	385	310	370	425	335	410	460
40	325	385	440	355	425	485	385	465	525
45	365	430	495	400	475	545	430	525	590

Notes:

- (1) Provide a lateral offset (LO) of 6' as shown in the diagram above. d_b may be determined by the equation $d_b = d_a (w/(w+12))$. For roadways with non-restricted conditions, d_a and d_b should be based on the geometry for the left turn storage and on clear zone widths.
- (2) For wide medians where the turning vehicle can approach the through lane at or near 90°, use d values from tables in **Exhibits 212-6** and **212-7**. (The clear sight line origin is assumed to be 14.5 feet from the edge of the near travel lane.)

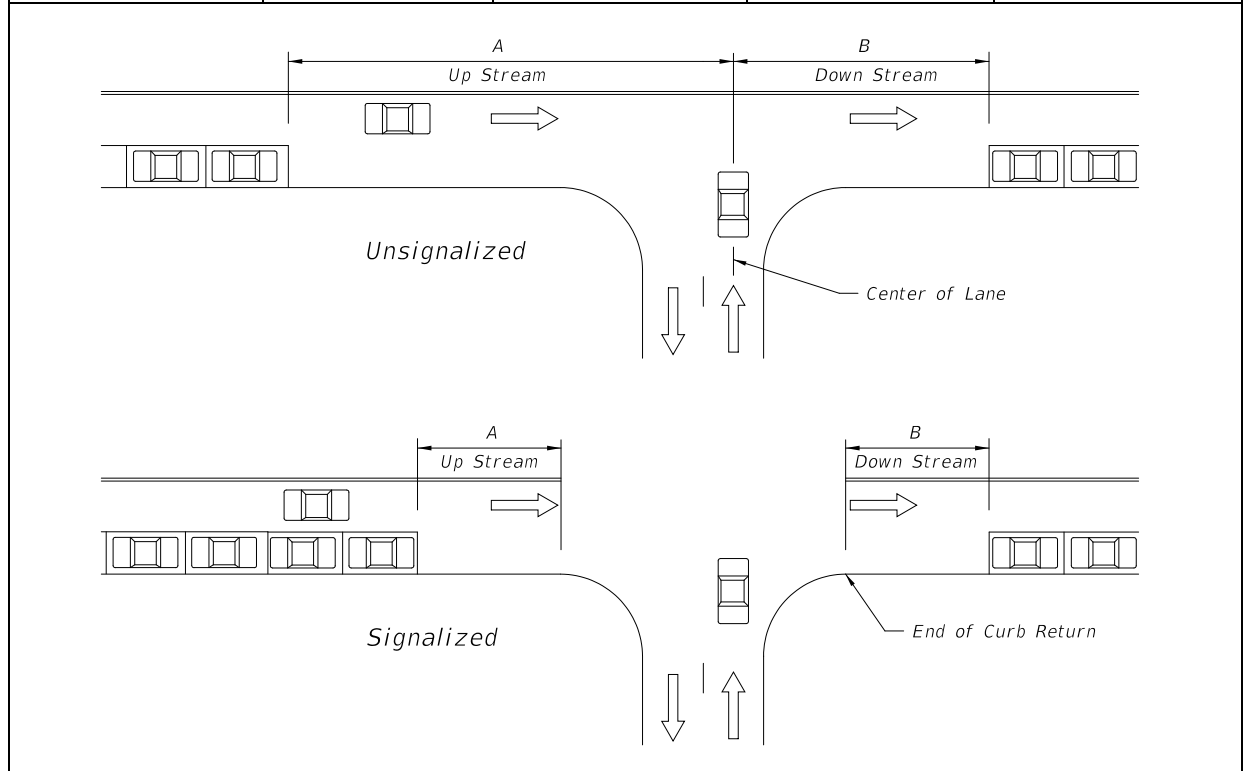
212.11.5 On-Street Parking

Table 212.11.2 provides parking restrictions for intersections; including mid-block crossings and roundabout approaches. For additional information, see the following:

- **FDM 210.2.3** for additional information concerning on-street parking.
- **FDM 222.2.6** for information concerning curb extensions (bulb-outs).
- **Chapter 316, Florida Statutes (F.S.)**, for laws governing parking spaces.

Table 212.11.2 Parking Restrictions for Driveways and Intersections

Control Type	Posted Speed (mph)	A - Up Stream (ft)	B – Down Stream (ft)	
			2-Lane	4-Lane or more
Unsignalized	< 35	90	60	45
	35	105	70	50
Signalized	< 35	30	30	30
	35	50	50	50



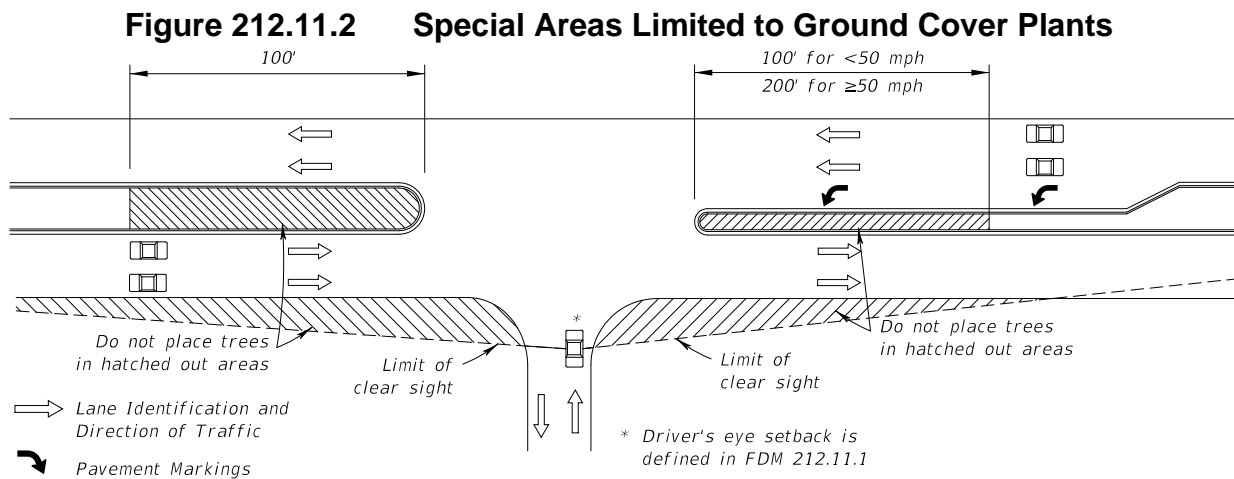
Notes:

- (1) For entrances to one-way streets, the downstream restriction (B) may be reduced to 20 feet.
- (2) Do not place parking within 20 feet of a marked crosswalk.

212.11.6 Trees and Vegetation

Intersections should be designed to accommodate the placement of trees and other desired vegetation (e.g., ground cover plants, trunked plants) in C2T, C3C, C4, C5, and C6 context classifications while still maintaining clear sight triangles. Ground cover plants are naturally low-growing plants with a maximum mature height of ≤ 18 inches. Trunked plants are those with a mature trunk diameter of 4 inches or less (measured 6 inches above the ground).

Maintain clear sight triangles for all approaches. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2**. The hatched-out areas are for ground cover plants only. Coordinate with the Project Landscape Architect for the placement of vegetation and the necessary space above and below ground for tree growth that will maintain clear sight triangles.

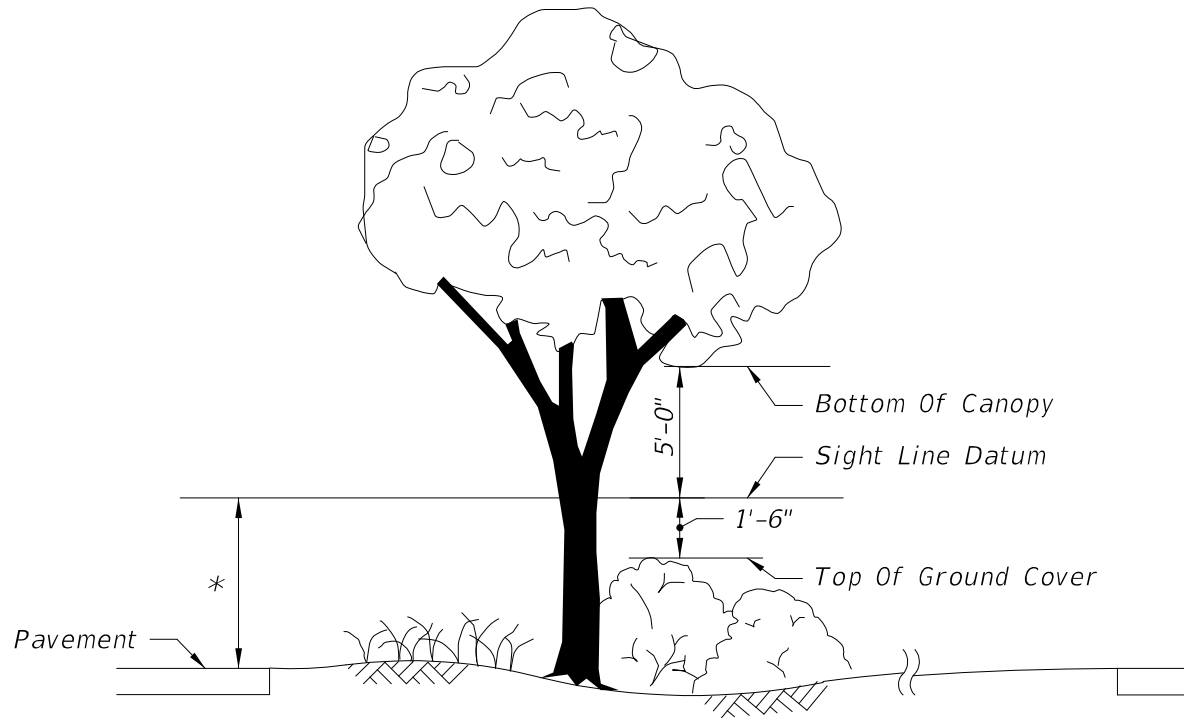


Where left turns from the major road are permitted, do not locate trees within the distance d_b shown in **Table 212.11.1** (see **FDM 212.11.4**) and not less than the distances shown in **Figure 212.11.2** and the spacings in **Table 212.11.3** as applicable.

212.11.6.1 Clear Sight Window Concept

The clear sight window concept may provide opportunities for vegetation within the limits of intersection sight triangles. This concept is illustrated in **Figure 212.11.3**. This detail provides the required vertical clear sight limits with respect to the sight line datum. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2** (even if using the clear sight window concept). The hatched-out areas are for ground cover plants only.

Figure 212.11.3 Window Detail



* Since observations are made in both directions, the line of sight datum between roadways is 3.5 feet above both pavements.

The horizontal limits of the window are defined by clear sight triangles. Within the limits of clear sight triangles, the following restrictions apply:

- Canopy of trees and trunked plants must be at least 5 feet above the sight line datum.
- The top of the ground cover plants must be at least 1.5 feet below the sight line datum.

See **FDM 228.2(2)(a)** for additional information about plant selection and placement. Enforcing these limits provides a clear line of sight for approaches to an intersection.

When trees are located in the median of a divided roadway and fall within the limits of a clear sight triangle, conform to **Table 212.11.3** for tree size and spacing. Spacing values for trees with diameter of 11 inches or less were derived assuming a maximum 6-foot-wide shadow band on a vehicle at the stop bar location when viewed by a mainline driver beginning at sight distance 'd'. This is illustrated in **Figure 212.11.4**. Spacing values for

trees with diameter greater than 11 inches and less than or equal to 18 inches were derived assuming a 2 second full view of the vehicle at the stop bar when viewed by the mainline driver beginning at sight distance 'd'. (See **Figure 212.11.5**).

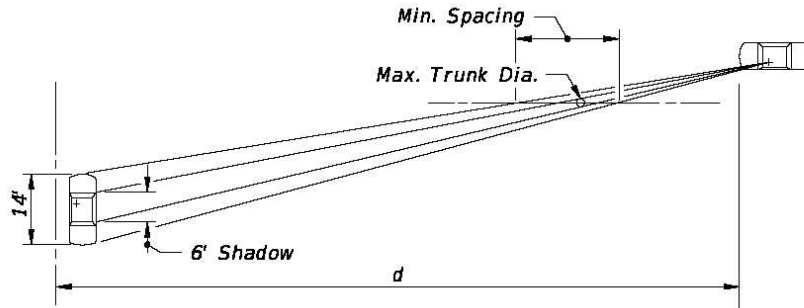
Table 212.11.3 Minimum Tree Spacing

Design Speed (mph)	Minimum Tree Spacing (Center-to-Center of Trunk) (feet)	
	4" < Tree Diameter ≤ 11"	11" < Tree Diameter ≤ 18"
25-30	25	90
35	30	105
40	35	120
45	40	135
50	50	150
55	55	165
60	60	180

Notes:

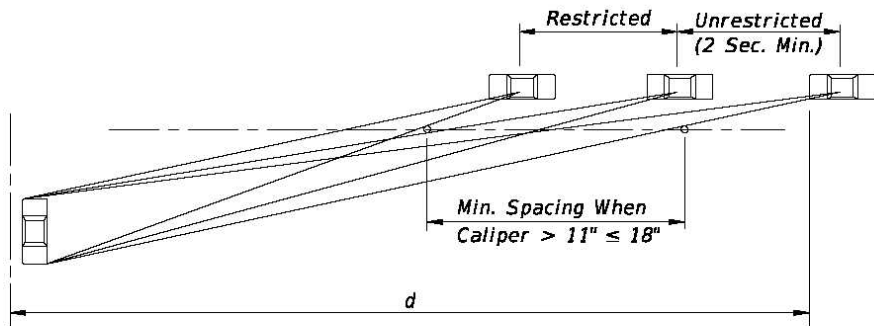
- (1) Size and spacing are based on the following conditions:
 - (a) A single line of trees in the median parallel to but not necessarily collinear with the centerline.
 - (b) A straight approaching mainline and intersection angle between 60° and 120°.
 - (c) Space trees with 4" < Dia. ≤ 11" intermixed with trees with 11" < Dia. ≤ 18" based on trees with 11" < Dia. ≤ 18".
- (2) Detail tree size, spacing, and location in the plans for any other conditions.
- (3) Trunked Plants may be placed on 20-foot centers.

Figure 212.11.4 Shadow Diagram



**SHADOW DIAGRAM
TREE SPACING (DIA. 11" OR LESS)**

Figure 212.11.5 Perception Diagram



**PERCEPTION DIAGRAM
TREE SPACING (DIA. BETWEEN 11" AND 18")**

212.12 Turning Roadways

Turning roadways are typically designed for use by right-turning traffic at intersections. There are three types of right-turning roadways:

- edge-of-traveled-way design
- design with a corner triangular island
- free-flow design using a simple radius or compound radii

The turning radii and the pavement cross slopes for free-flow right turns are functions of design speed and design vehicle.

212.12.1 Edge-of-Traveled-Way Design

When selected design vehicle is to be accommodated within minimum space, corner radii should be based on the required turning path.

Table 212.12.1 provides simple curve radii with and without tapers. **Table 212.12.2** provides symmetric and asymmetric three centered compound curve radii for a range of design vehicles. These values provide the minimum turning paths attainable at design speeds of 10 mph and less.

Figure 212.12.1 demonstrates the angle of turn for use in these tables.

The minimum edge-of-traveled-way values provided in these tables are based on the assumption that the vehicle is properly positioned within the traffic lane at the beginning and end of the turn (2 feet from the edge-of-traveled-way on the tangents approaching and leaving the intersection curve). Such designs follow closely the inner wheel path of the selected design vehicle, with a clearance of 2 feet or more throughout most of the turn, and with a clearance at no point less than 9 inches. Differences in the inner paths of vehicles turning left and right are not sufficient to be significant in design. For this reason, these edge designs also apply to left-turn maneuvers, such as a left turn by a vehicle leaving a divided highway at a very low speed.

Figure 212.12.1 Turn Angle for Turning Roadway Designs

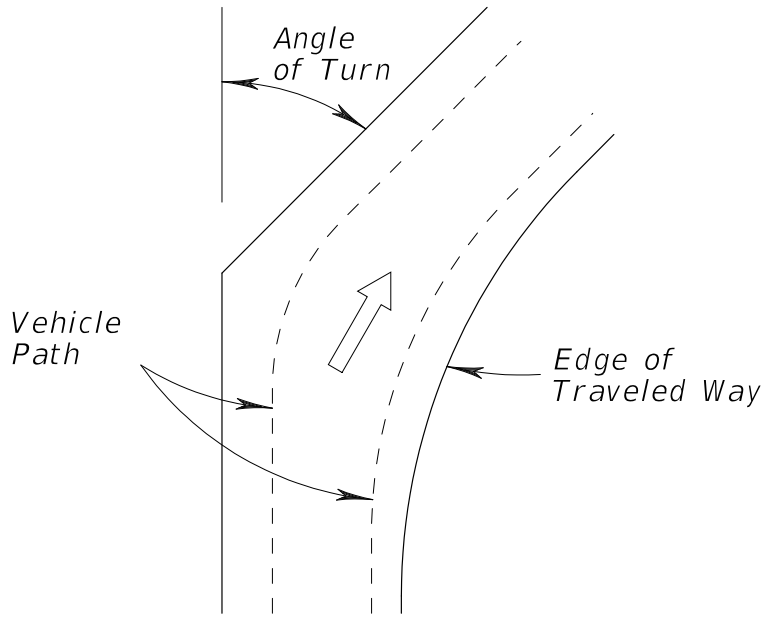


Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
30	P	60	----	----	----
	SU-30	100	----	----	----
	SU-40	140	----	----	----
	WB-40	150	----	----	----
	WB-62	360	220	3.0	15:1
	WB-62FL	380	220	3.0	15:1
	WB-67	380	220	3.0	15:1
	WB-92D	365	190	3.0	15:1
	WB-100T	260	125	3.0	15:1
	WB-109D	475	260	3.5	20:1
45	P	50	----	----	----
	SU-30	75	----	----	----
	SU-40	115	----	----	----
	WB-40	120	----	----	----
	WB-62	230	145	4.0	15:1
	WB-62FL	250	145	4.5	15:1
	WB-67	250	145	4.5	15:1
	WB-92D	270	145	4.0	15:1
	WB-100T	200	115	2.5	15:1
	WB-109D	----	200	4.5	20:1
60	P	40	----	----	----
	SU-30	60	----	----	----
	SU-40	100	----	----	----
	WB-40	90	----	----	----
	WB-62	170	140	4.0	15:1
	WB-62FL	200	140	4.5	15:1
	WB-67	200	140	4.5	15:1
	WB-92B	230	120	5.0	15:1
	WB-100T	150	95	2.5	15:1
	WB-109D	----	180	4.5	20:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
75	P	35	25	2.0	10:1
	SU-30	55	45	2.0	10:1
	SU-40	90	60	2.0	10:1
	WB-40	----	60	2.0	15:1
	WB-62	----	145	4.0	20:1
	WB-62FL	----	145	4.0	20:1
	WB-67	----	145	4.5	20:1
	WB-92D	----	110	5.0	15:1
	WB-100T	----	85	3.0	15:1
	WB-109D	----	140	5.5	20:1
90	P	30	20	2.5	10:1
	SU-30	50	40	2.0	10:1
	SU-40	80	45	4.0	10:1
	WB-40	----	45	4.0	10:1
	WB-62	----	120	4.5	30:1
	WB-62FL	----	125	4.5	30:1
	WB-67	----	125	4.5	30:1
	WB-92D	----	95	6.0	10:1
	WB-100T	----	85	2.5	15:1
	WB-109D	----	115	2.9	15:1
105	P	----	20	2.5	8:1
	SU-30	----	35	3.0	10:1
	SU-40	----	45	4.0	10:1
	WB-40	----	40	4.0	10:1
	WB-62	----	115	3.0	15:1
	WB-62FL	----	115	3.0	15:1
	WB-67	----	115	3.0	15:1
	WB-92B	----	80	8.0	10:1
	WB-100T	----	75	3.0	15:1
	WB-109D	----	90	9.2	20:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
120	P	----	20	2.0	10:1
	SU-30	----	30	3.0	10:1
	SU-40	----	35	6.0	8:1
	WB-40	----	35	5.0	8:1
	WB-62	----	100	5.0	15:1
	WB-62FL	----	105	5.2	15:1
	WB-67	----	105	5.2	15:1
	WB-92D	----	80	7.0	10:1
	WB-100T	----	65	3.5	15:1
	WB-109D	----	85	9.2	20:1
135	P	----	20	1.5	10:1
	SU-30	----	30	4.0	10:1
	SU-40	----	40	4.0	8:1
	WB-40	----	30	8.0	15:1
	WB-62	----	80	5.0	20:1
	WB-62FL	----	85	5.2	20:1
	WB-67	----	85	5.2	20:1
	WB-92D	----	75	7.3	10:1
	WB-100T	----	65	5.5	15:1
	WB-109D	----	85	8.5	20:1
150	P	----	18	2.0	10:1
	SU-30	----	30	4.0	8:1
	SU-40	----	35	7.0	8:1
	WB-40	----	30	6.0	8:1
	WB-62	----	60	10.0	10:1
	WB-62FL	----	65	10.2	10:1
	WB-67	----	65	10.2	10:1
	WB-92B	----	65	11.0	10:1
	WB-100T	----	65	7.3	10:1
	WB-109D	----	65	15.1	10:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
180	P	----	15	0.5	20:1
	SU-30	----	30	1.5	10:1
	SU-40	----	35	6.4	10:1
	WB-40	----	20	9.5	5:1
	WB-62	----	55	10.0	15:1
	WB-62FL	----	55	13.8	10:1
	WB-67	----	55	13.8	10:1
	WB-92D	----	55	16.8	10:1
	WB-100T	----	55	10.2	10:1
	WB-109D	----	55	20.0	10:1

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
30	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	----	----	----	----
	WB-62FL	460-175-460	4.0	300-175-550	2.0-4.5
	WB-67	460-175-460	4.0	300-175-550	2.0-4.5
	WB-92D	550-155-550	4.0	200-150-500	2.0-6.0
	WB-100T	220-80-220	4.5	200-80-300	2.5-5.0
	WB-109D	550-250-550	5.0	250-200-650	1.5-7.0

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
45	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	460-240-460	2.0	120-140-500	3.0-8.5
	WB-62FL	460-175-460	4.0	250-125-600	1.0-6.0
	WB-67	460-175-460	4.0	250-125-600	1.0-6.0
	WB-92D	525-155-525	5.0	200-140-500	1.5-6.0
	WB-100T	250-80-250	4.5	200-80-300	2.5-5.5
	WB-109D	550-200-550	5.0	200-170-650	1.5-7.0
60	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	400-100-400	15.0	110-100-220	10.0-12.5
	WB-62FL	400-100-400	8.0	250-125-600	1.0-6.0
	WB-67	400-100-400	8.0	250-125-600	1.0-6.0
	WB-92D	480-110-480	6.0	150-110-500	3.0-9.0
	WB-100T	250-80-250	4.5	200-80-300	2.0-5.5
	WB-109D	650-150-650	5.5	200-140-600	1.5-8.0
75	P	100-25-100	2.0	----	----
	SU-30	120-45-120	2.0	----	----
	SU-40	200-35-200	5.0	60-45-200	1.0-4.5
	WB-40	120-45-120	5.0	120-45-195	2.0-6.5
	WB-62	440-75-440	15.0	140-100-540	5.0-12.0
	WB-62FL	420-75-420	10.0	200-80-600	1.0-10.0
	WB-67	420-75-420	10.0	200-80-600	1.0-10.0
	WB-92B	500-95-500	7.0	150-100-500	1.0-8.0
	WB-100T	250-80-250	4.5	100-80-300	1.5-5.0
	WB-109D	700-125-700	6.5	150-110-550	1.5-11.5

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
90	P	100-20-100	2.5	----	----
	SU-30	120-40-120	2.0	----	----
	SU-40	200-30-200	7.0	60-45-200	1.0-4.5
	WB-40	120-40-120	5.0	120-40-200	2.0-6.5
	WB-62	400-70-400	10.0	160-70-360	6.0-10.0
	WB-62FL	440-65-440	10.0	200-70-600	1.0-11.0
	WB-67	440-65-440	10.0	200-70-600	1.0-11.0
	WB-92D	470-75-470	10.0	150-90-500	1.5-8.5
	WB-100T	250-70-250	4.5	200-70-300	1.0-5.0
	WB-109D	700-110-700	6.5	100-95-550	2.0-11.5
105	P	100-20-100	2.5	----	----
	SU-30	100-35-100	3.0	----	----
	SU-40	200-35-200	6.0	60-40-190	1.5-6.0
	WB-40	100-35-100	5.0	100-55-200	2.0-8.0
	WB-62	520-50-520	15.0	360-75-600	4.0-10.5
	WB-62FL	500-50-500	13.0	200-65-600	1.0-11.0
	WB-67	500-50-500	13.0	200-65-600	1.0-11.0
	WB-92D	500-80-500	8.0	150-80-500	2.0-10.0
	WB-100T	250-60-250	5.0	100-60-300	1.5-6.0
	WB-109D	700-95-700	8.0	150-80-500	3.0-15.0
120	P	100-20-100	2.0	----	----
	SU-30	100-30-100	3.0	----	----
	SU-40	200-35-200	6.0	60-40-190	1.5-5.0
	WB-40	120-30-120	6.0	100-30-180	2.0-9.0
	WB-62	520-70-520	10.0	80-55-520	24.0-17.0
	WB-62FL	550-45-550	15.0	200-60-600	2.0-12.5
	WB-67	550-45-550	15.0	200-60-600	2.0-12.5
	WB-92D	500-70-500	10.0	150-70-450	3.0-10.5
	WB-100T	250-60-250	5.0	100-60-300	1.5-6.0
	WB-109D	700-85-700	9.0	150-70-500	7.0-17.4

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
135	P	100-20-100	1.5	----	----
	SU-30	100-30-100	4.0	----	----
	SU-40	200-40-200	4.0	60-40-180	1.5-5.0
	WB-40	120-30-120	6.5	100-25-180	3.0-13.0
	WB-62	600-60-600	12.0	100-60-640	14.0-7.0
	WB-62FL	550-45-550	16.0	200-60-600	2.0-12.5
	WB-67	550-45-550	16.0	200-60-600	2.0-12.5
	WB-92D	450-70-450	9.0	150-65-450	7.0-13.5
	WB-100T	250-60-250	5.5	100-60-300	2.5-7.0
	WB-109D	700-70-700	12.5	150-65-500	14.0-18.4
150	P	75-20-75	2.0	----	----
	SU-30	100-30-100	4.0	----	----
	SU-40	200-35-200	6.5	60-40-200	1.0-4.5
	WB-40	100-30-100	6.0	90-25-160	1.0-12.0
	WB-62	480-55-480	15.0	140-60-560	8.0-10.0
	WB-62FL	550-45-550	19.0	200-55-600	7.0-16.4
	WB-67	550-45-550	19.0	200-55-600	7.0-16.4
	WB-92D	350-60-350	15.0	120-65-450	6.0-13.0
	WB-100T	250-60-250	7.0	100-60-300	5.0-8.0
	WB-109D	700-65-700	15.0	200-65-500	9.0-18.4
180	P	50-15-50	0.5	----	----
	SU-30	100-30-100	1.5	----	----
	SU-40	150-35-150	6.2	50-35-130	5.5-7.0
	WB-40	100-20-100	9.5	85-20-150	6.0-13.0
	WB-62	800-45-800	20.0	100-55-900	15.0-15.0
	WB-62FL	600-45-600	20.5	100-55-400	6.0-15.0
	WB-67	600-45-600	20.5	100-55-400	6.0-15.0
	WB-92B	400-55-400	16.8	120-60-400	9.0-14.5
	WB-100T	250-55-250	9.5	100-55-300	8.5-10.5
	WB-109D	700-55-700	20.0	200-60-500	10.0-21.0

For curbed intersections, the effective turning radius must be considered in addition to the actual curb radius. As shown in **Figure 212.12.2**, where a parking lane (or bike lane) is present, the vehicle turn is offset from the edge of the roadway by the width of the parking lane or bike lane, creating an “effective turning radius” that is larger than the physical curb radius. Where there is no parking lane or bike lane, the corner radius and effective turning radius are the same. To minimize pedestrian crossing distance, designers should provide the shortest curb radius possible or provide bulbouts within the effective turnin radius area. The corner radii should follow the guidance in **Table 212.12.3**, and accommodate the following:

- The control vehicle, design vehicle, and design speed for each street
- Available R/W
- Angle of turn between intersection legs
- Presence of on-street parking or a bike lane
- The width and number of lanes on the intersecting street

Figure 212.12.2 Actual Curb Radius Vs Effective Radius

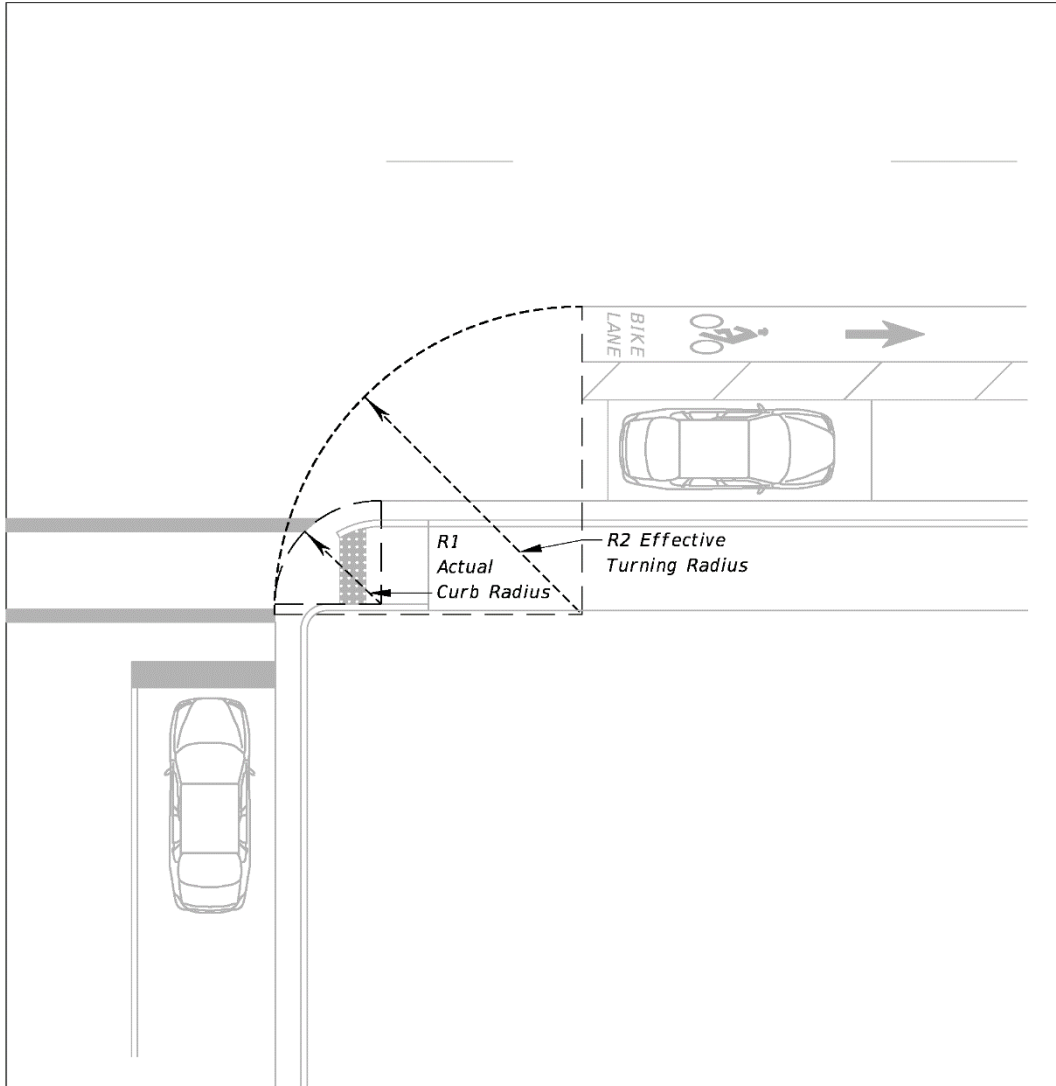


Table 212.12.3 Recommended Corner Radii

R1 Actual Curb Radius (ft)	R2 Effective Turning Radius (ft)	Operational Characteristics
5-30	25 - 30	P vehicles and SU vehicles with minor lane encroachment
5-40	40	P vehicles, SU vehicles, and WB-40 vehicles with minor encroachment
5-50	50	All vehicles up to WB-40
Notes: (1) Table 212.12.3 assumes perpendicular intersections. For skewed intersections, establish radius using AutoTurn or turning templates. (2) Confirm the actual curb radius using AutoTurn or turn templates.		

Guidelines for corner radii in C4, C5, and C6 context classification without on-street parking or a bike lane are as follows:

- (1) Radii of 15 to 25 feet are adequate for passenger vehicles. These radii are suitable for minor cross streets where there is little occasion for trucks to turn and at major intersections where there are parking lanes;
- (2) Radii of 25 feet or more should be provided at minor cross streets on new construction or reconstruction projects;
- (3) Radii of 30 feet or more should be provided at minor cross streets where practical so that an occasional truck can turn without too much encroachment;
- (4) Radii of 40 feet or more or preferably three-centered curves or simple curves with tapers to fit the paths of large truck combinations, should be provided where such combinations or buses turn frequently. Where speed reductions would cause problems, larger radii should be considered; and,
- (5) Curb radii should be coordinated with crosswalk distances or special designs should be used to make crosswalks efficient for all pedestrians. Where larger radii are used, an intermediate refuge or median island is desirable or crosswalks may need to be offset so that crosswalk distances are not excessive. See **FDM 210.3** for additional information on islands.

212.12.2 Turning Roadways with Corner Islands

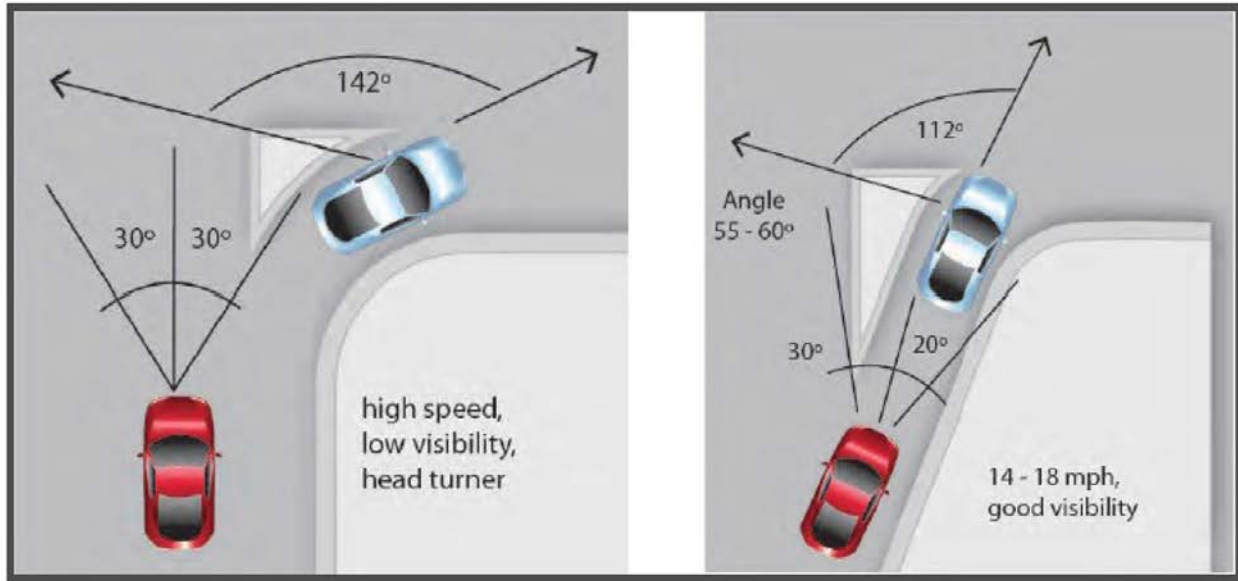
Consider providing a corner island at an intersection where paved areas are excessively large or do not establish proper channelization of traffic. Corner islands can provide delineation for through and turning traffic. In addition, corner islands shorten crosswalks and give pedestrians and bicyclists a refuge area. See **FDM 210.3.2** for island requirements.

Channelized right turn lanes can be designed with a flat or near perpendicular angle of entry to the cross street (see **Figure 212.12.3**). The flat angle of entry is most appropriate for higher speed turning movements with no pedestrian accommodations. Large turning radii and angles of entry into the cross street allow higher turning speeds, reduced traffic delays, and the turning movement of large trucks. The higher speeds, angle of entry and large radii adversely impacts pedestrian safety at the crosswalk.

The near perpendicular angle of entry is preferred where pedestrian facilities are provided. Tight turning radii and angles of entry into the cross street accommodate the following:

- Slower turning speeds,
- Reduced cross walk length,
- Improved pedestrian visibility,
- Improved sight distance
- Decreased angle of driver head turning
- Reduced right-of-way impacts.

Figure 212.12.3 Channelized Right Turn Lanes



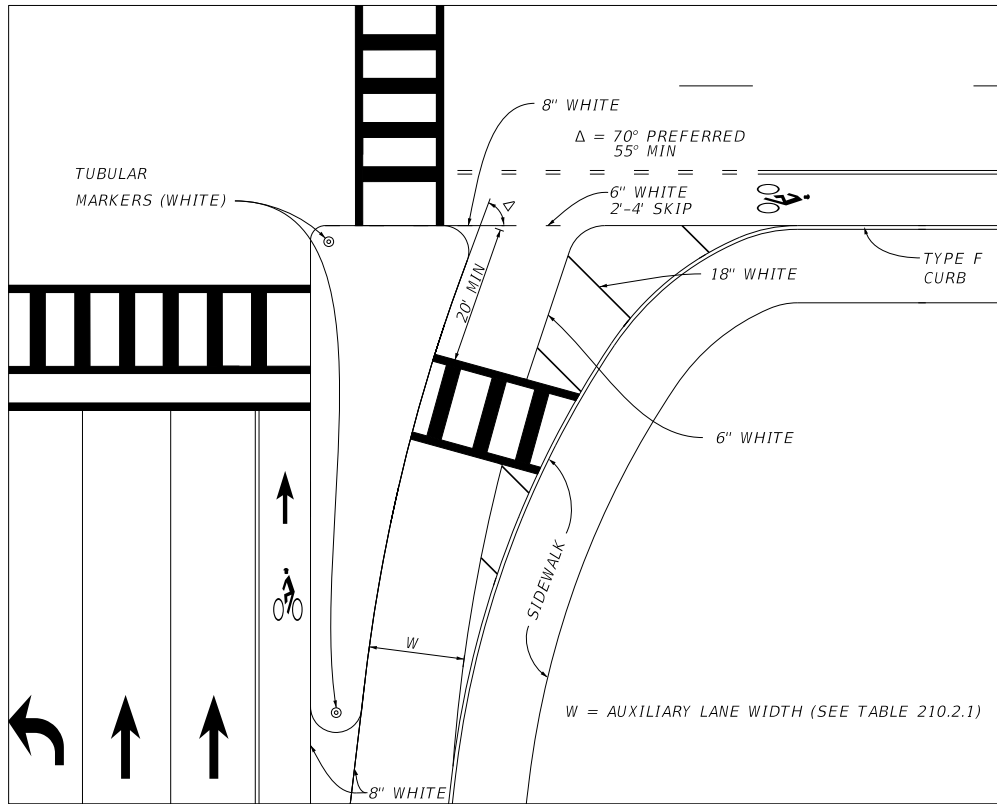
Ref: Figure 9-19, 2018 AASHTO Green Book

Consider the near perpendicular right turn lane design in **Figure 212.12.4** when the following conditions are met:

- Context Classification C2T, C3, C4, C5 and C6
- Low speed roadway (design speeds 45 mph and less)
- Pedestrian traffic is expected
- No acceleration lane is provided

This design includes the previously mentioned benefits to passenger cars and pedestrians with striping and a scalene triangle shaped corner island. An approaching deceleration lane is preferred to provide vehicles additional time to stop for crossing pedestrians. The crosswalk is set back 20 feet minimum from the end of the island to allow room for a passenger car to wait for a gap in traffic with out blocking the crosswalk. As shown in **Figure 212.12.4**, the outside curb radii can be designed to accommodate over tracking of large vehicles such as single-unit trucks, transit, or Florida Interstate Semi-trailers (WB-62FL).

Figure 212.12.4 Near Perpendicular Right Turn Lane



212.12.3 Free-Flow Design

Provide superelevation on free flow turning roadways. An important part of the design on some intersections is the design of a free-flow alignment for turns. Ease and smoothness of operation can result when the free flow turning roadway is designed with compound curves preceded by a deceleration lane. Turning radii and pavement cross slope for free flow right turns at speeds greater than 10 mph are a function of the design speed and design vehicle. In general, the design speed of the turning roadway should be equal to, or within 10 to 20 mph less than the through roadway design speed.

It is desirable to provide as much superelevation as practical on intersection curves, particularly where the intersection curve is sharp and on a downgrade. However, the short curvature and short lengths of turning roadways often prevents the development of a desirable rate of superelevation. **Table 212.12.4** provides the minimum superelevation rates in relation to design speed. The wide variation in likely speeds on intersection curves precludes the need for precision, so only the minimum superelevation rate is given for each design speed and intersection curve radius.

Table 212.12.4 Superelevation Rates for Turning Roadways

	Design Speed (mph)							
	10	15	20	25	30	35	40	45
Minimum Superelevation Rate	NC	NC	0.02	0.04	0.06	0.08	0.09	0.10
Minimum Radius (feet)	25	50	90	150	230	310	430	540

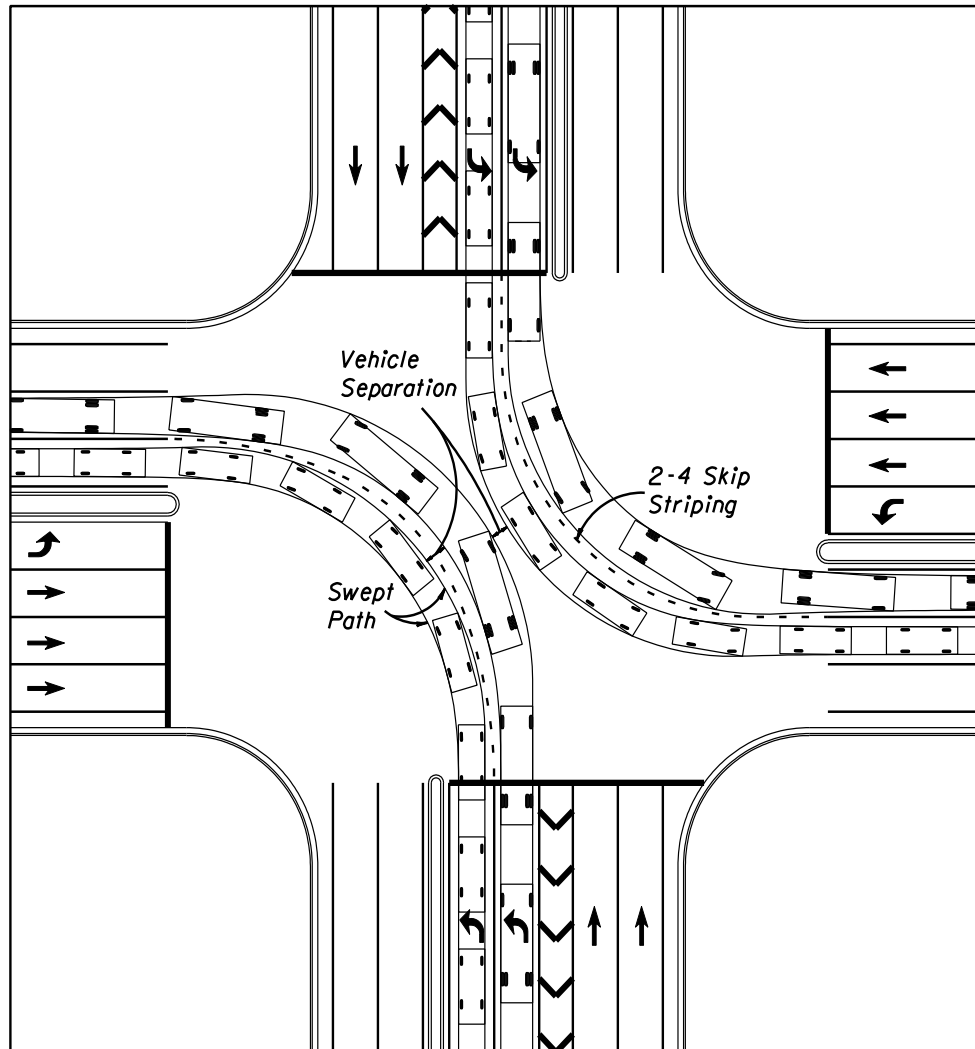
See **FDM 210.9** for additional superelevation criteria.

212.12.4 Dual and Triple Left Turns

Double and triple turn lanes require turning radii that will accommodate the selected design vehicles turning simultaneously. The radius of curvature in combination with the track width of the design vehicles will establish the required width within the turn. Lane lines (i.e., guidelines) and width requirements should be determined by plotting the swept paths of the selected design vehicles. For preliminary layout of intersection geometry, use the swept path of the design vehicle on the inside turning lane to locate the median nose and crosswalk on the crossing street (at the receiving point of the left turn).

Design of dual turns should accommodate a SU-40 vehicle and a P vehicle turning simultaneously, as illustrated in **Figure 212.12.5**.

Figure 212.12.5 P and SU Design Vehicles Turning Simultaneously



Design of triple left turns should accommodate a WB-62FL (outside lane), a SU-40 (center or inside lane), and a P vehicle (center or inside lane) turning simultaneously.

Establish control radius for the inside turning lane based on the guidance in **FDM 212.14.5** and **Table 212.9.2**. Establish the inside edge of the outer lane by providing a minimum 4-foot separation between swept paths of the selected design vehicles traveling in the same direction. Except for turns with large radii, the inside edge of the outer lane will not be concentric with the selected control radius. Radius for the inside edge of the outer turn lane should be determined by analysis of the plotted swept path of the design vehicles.

Provide minimum 8-foot separation between vehicles traveling in opposing direction. Separation may be less than 8 feet when:

- (1) Turning paths are highly visible and speeds are low, or
- (2) Signal left turn phases are not concurrent for the opposing directions.

212.13 Islands

See **FDM 210.3** for island criteria.

212.14 Auxiliary Lanes

The primary function of auxiliary lanes at intersections is to accommodate speed changes, storage and maneuvering of turning traffic. The length of the auxiliary lanes is the sum of the deceleration length, queue length and approach end taper. Pavement marking requirements for auxiliary lanes are included in [Standard Plans](#), **Index 711-001**.

212.14.1 Deceleration Length

The required total deceleration length is that needed for a safe and comfortable stop from the design speed of the highway. See **Exhibit 212-1** for minimum deceleration lengths (including taper) for left turn lanes.

Right turn lane tapers and lengths are identical to left turn lanes under stop control conditions. Right turn lane tapers and lengths are site-specific for free-flow or yield conditions.

212.14.2 Queue Length

The queue length provided should be based on a traffic study.

For low volume intersections where a traffic study is not justified, a minimum 50-foot queue length (2 vehicles) should be provided for C1, C2, and C3R context classifications. A minimum 100-foot queue length (4 vehicles) should be provided in C2T, C3C, C4, C5, and C6 context classifications. Locations with over 10% truck traffic should accommodate at least one car and one truck.

For queue lengths at signalized intersections, refer to **FDM 232.2**.

212.14.3 Approach End Taper

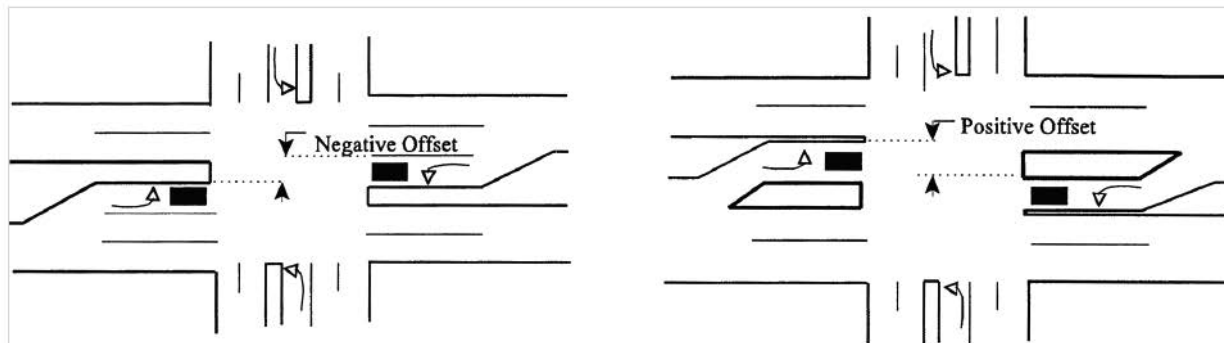
The length of approach end tapers is 50 feet for a single turn lane and 100 feet for two or more turn lanes, as shown **Exhibit 212-1**. These taper lengths apply to all design speeds.

212.14.4 Offset Left Turn Lanes

The alignment of opposing left-turn lanes and the horizontal and vertical curvature on the approaches are the principal geometric design elements that determine how much sight distance is available to a left-turning driver. Vehicles queuing in opposing left-turn lanes restrict each other's view of oncoming traffic in the through lanes. The level of restricted view depends on the alignment of opposing left-turn lanes with respect to each other and the type of vehicles in the opposing queue.

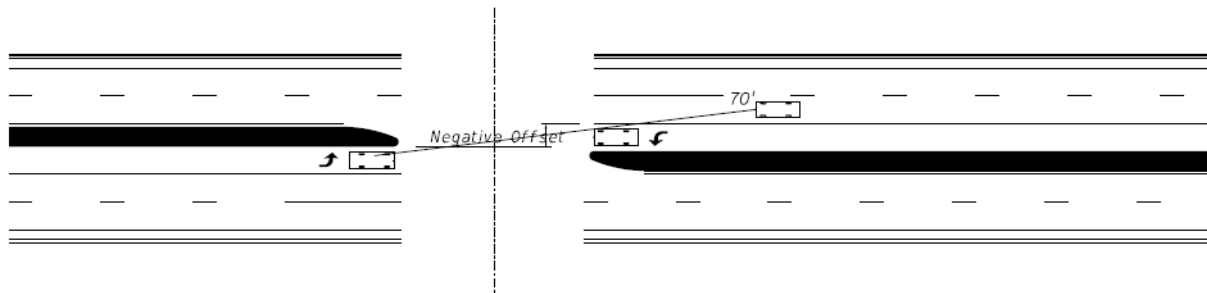
The offset distance is defined as the distance between the left edge of the turn lane and the right edge of the opposing turn lane. If the offset distance is to the left of the turn lane it is considered a negative offset, and if it is to the right of turn lane it is considered a positive offset, as illustrated in **Figure 212.14.1**.

Figure 212.14.1 Negative and Positive Offset Left Turns



The conventional method of designing left turn lanes is to place the left turn lanes adjacent to the through lanes. This design creates a negative offset which restricts the sight distance of the left-turning driver's view of oncoming traffic when another vehicle is in the opposing turn lane. **Figure 212.14.2** indicates the negative offset when the conventional design is used.

Figure 212.14.2 Opposing Left Turns (22' Median with Negative 10' Offset)

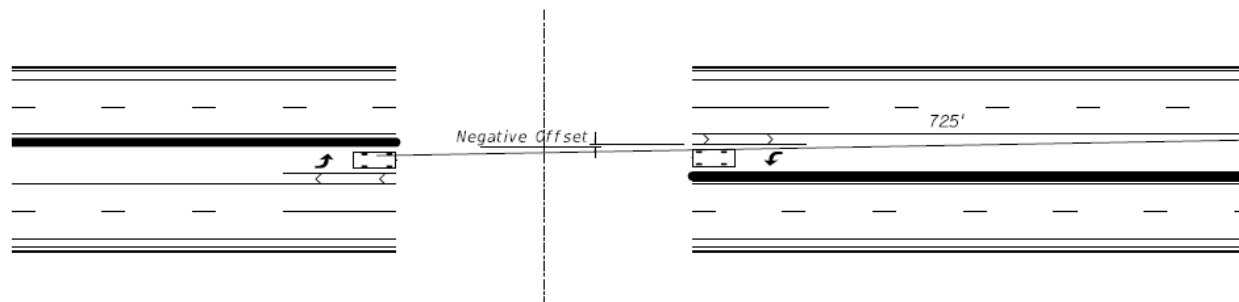


On curbed roadway designs, offset left-turn lanes should be used with median widths greater than 18 feet. A 4-foot traffic separator should be used when possible to channelize the left turn and provide separation from opposing traffic.

Consider offset left-turn lanes at C1, C2, and C3R context classification intersections with high turning movements. For median widths 30 feet or less, use a parallel offset left-turn lane. Stripe the area between the offset left-turn lane and the traffic lane where vehicles are moving in the same direction. For medians wider than 30 feet, consider a tapered offset left-turn lane. An offset left is illustrated in **Figure 212.14.3**.

2011 AASHTO Green Book Figure 9-52 illustrates the design of parallel and tapered left turn lanes.

Figure 212.14.3 Typical Opposing Left Turns (22' Median with Negative 1' Offset)



At locations where the full offset distances cannot be obtained, it is recommended that the minimum offset distances shown in **Table 212.14.1** be provided to achieve minimum required sight distances according to design speed. It is recommended that the "Opposing Truck" values be used where the opposing left-turn traffic includes a moderate to heavy volume of large trucks.

Table 212.14.1 Minimum Offset Distances for Left-Turn Lanes

Design Speed (mph)	Minimum Offset (feet)	
	Opposing Car	Opposing Truck
≤ 30	1.0	3.0
35	1.5	3.5
40 - 45	2.0	4.0
50 - 55	2.5	4.5
60 - 65	3.0	4.5
70	3.0	5.0

212.14.5 Directional Median Openings

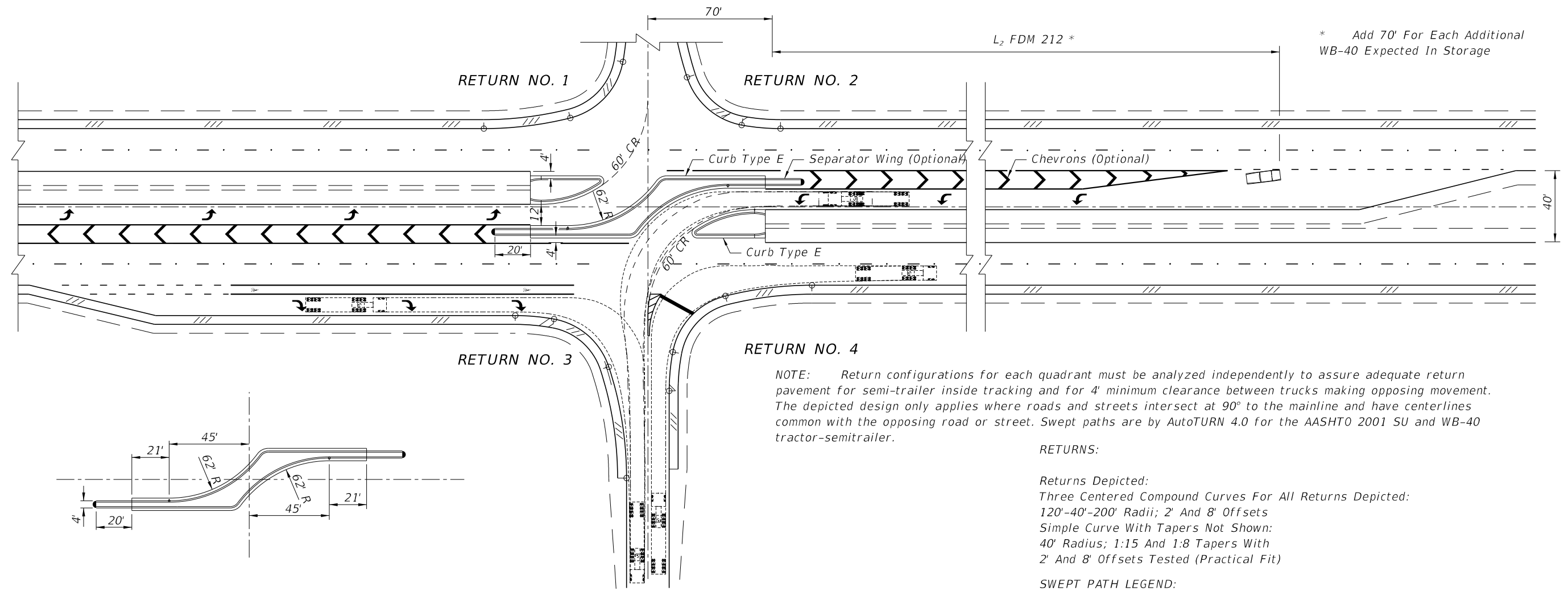
Directional (channelized) median openings are designed to accommodate left-turn movements from the through roadway and prevent or discourage left-turn and crossing movements by traffic from a side road or driveway. Directional median openings are to be provided in accordance with the access management plan for the roadway.

The design of a directional median opening must accommodate the swept path of the predominant design vehicle. Channelization may be achieved using a combination of traffic separators, islands, and tubular markers. See **FDM 210** for additional information on islands. See [Standard Plans](#), **Index 520-020** for standard details for 4 feet, 6 feet and 8.5 feet wide traffic separators. See **FDM 230.2.7** for additional information on tubular markers.

Typical layouts for directional median openings for high-speed roadways with 40-foot-wide medians are provided in **Exhibits 212-8, 212-9** and **212-10**. Type E curb and raised islands in conjunction with the minimum offsets shown in these figures may be used on high-speed roadways for directional median openings.

DIRECTIONAL MEDIAN OPENING: SU & WB-40 PARALLEL TURN BAY

a.



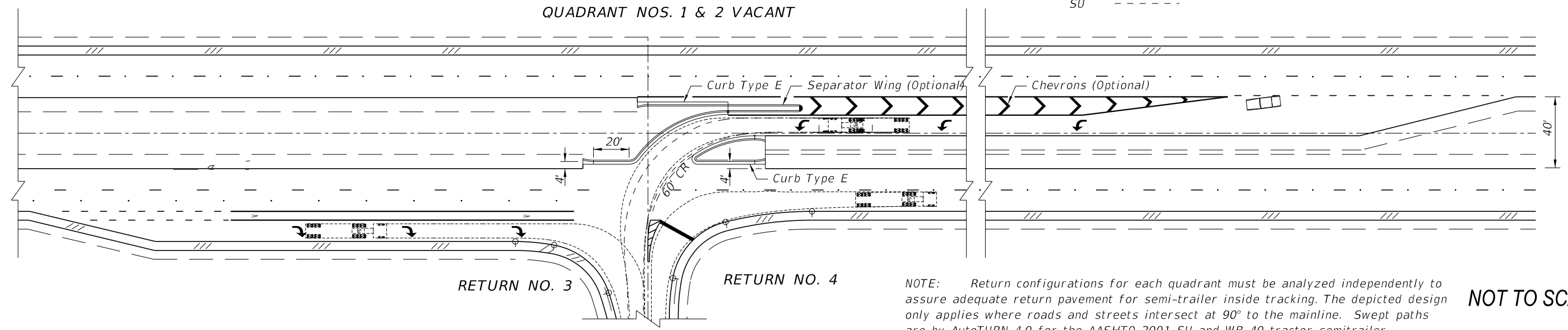
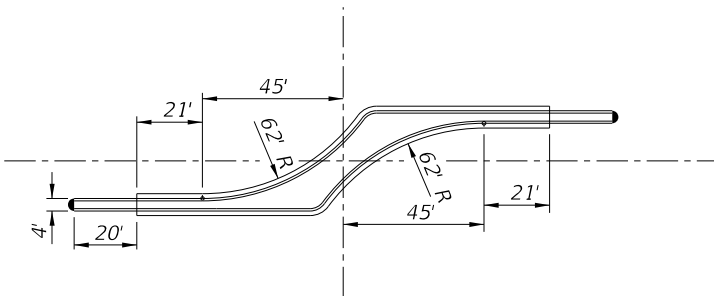
NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking and for 4' minimum clearance between trucks making opposing movement. The depicted design only applies where roads and streets intersect at 90° to the mainline and have centerlines common with the opposing road or street. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 SU and WB-40 tractor-semi-trailer.

RETURNS:

Returns Depicted:
 Three Centered Compound Curves For All Returns Depicted:
 120'-40'-200' Radii; 2' And 8' Offsets
 Simple Curve With Tapers Not Shown:
 40' Radius; 1:15 And 1:8 Tapers With
 2' And 8' Offsets Tested (Practical Fit)

SWEPT PATH LEGEND:

WB 40 -----
 SU - - - - -

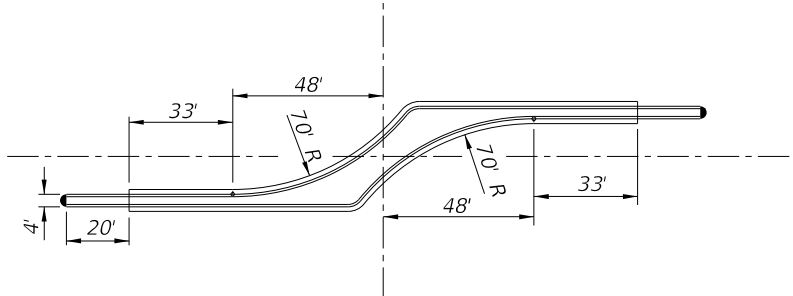
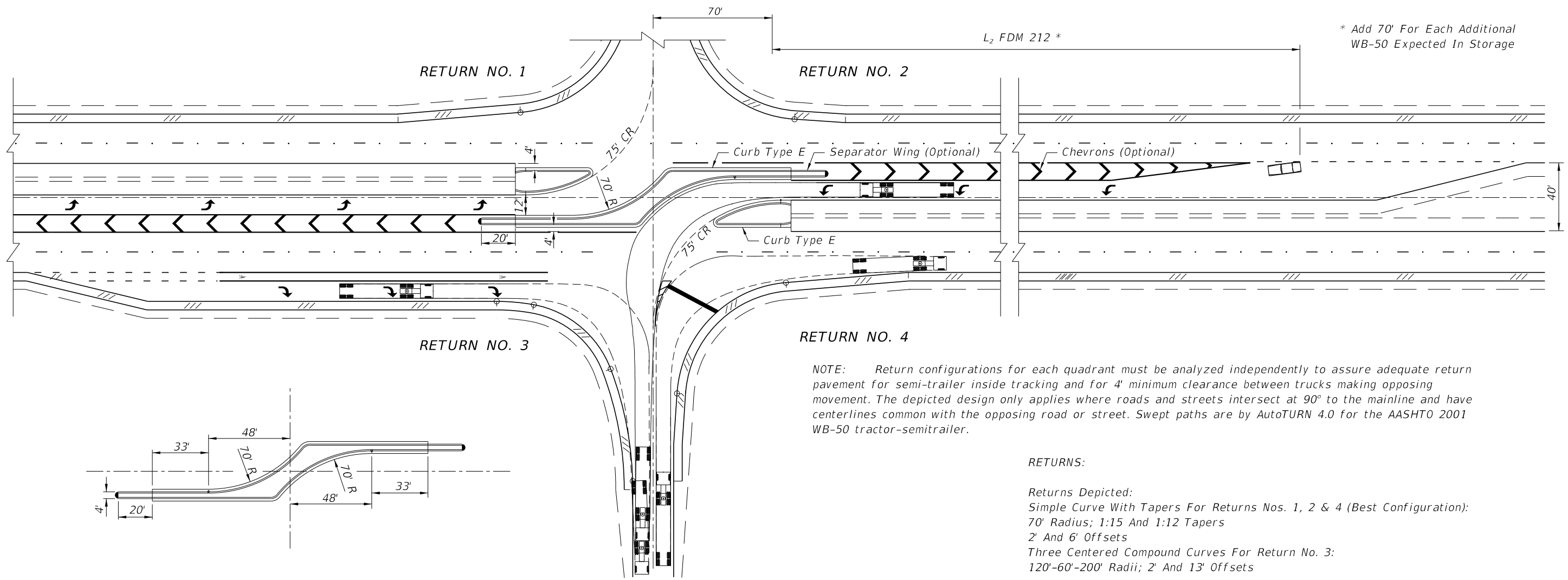


NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking. The depicted design only applies where roads and streets intersect at 90° to the mainline. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 SU and WB-40 tractor-semi-trailer.

NOT TO SCALE

DIRECTIONAL MEDIAN OPENING: WB-50 PARALLEL TURN BAY

a.

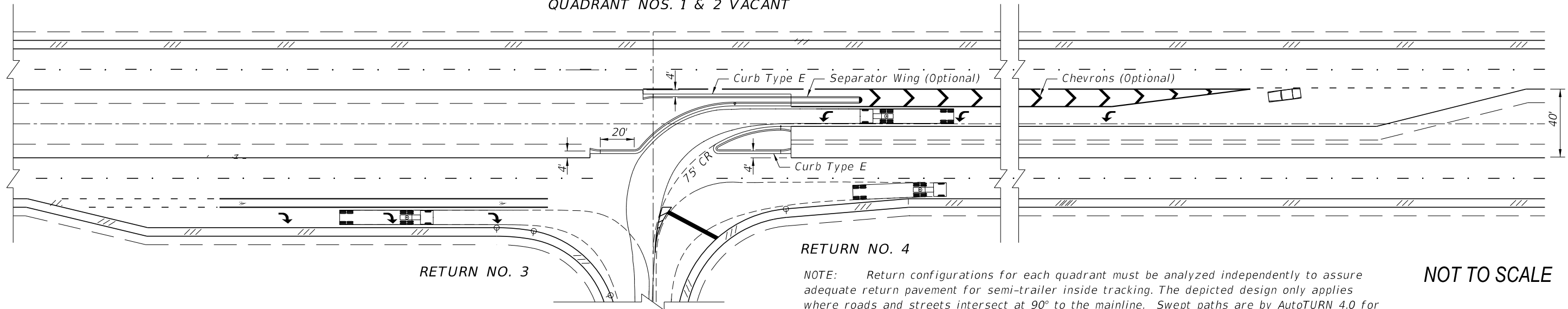


NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking and for 4' minimum clearance between trucks making opposing movement. The depicted design only applies where roads and streets intersect at 90° to the mainline and have centerlines common with the opposing road or street. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 WB-50 tractor-semitrailer.

RETURNS:

Returns Depicted:
 Simple Curve With Tapers For Returns Nos. 1, 2 & 4 (Best Configuration):
 70' Radius; 1:15 And 1:12 Tapers
 2' And 6' Offsets
 Three Centered Compound Curves For Return No. 3:
 120'-60'-200' Radii; 2' And 13' Offsets

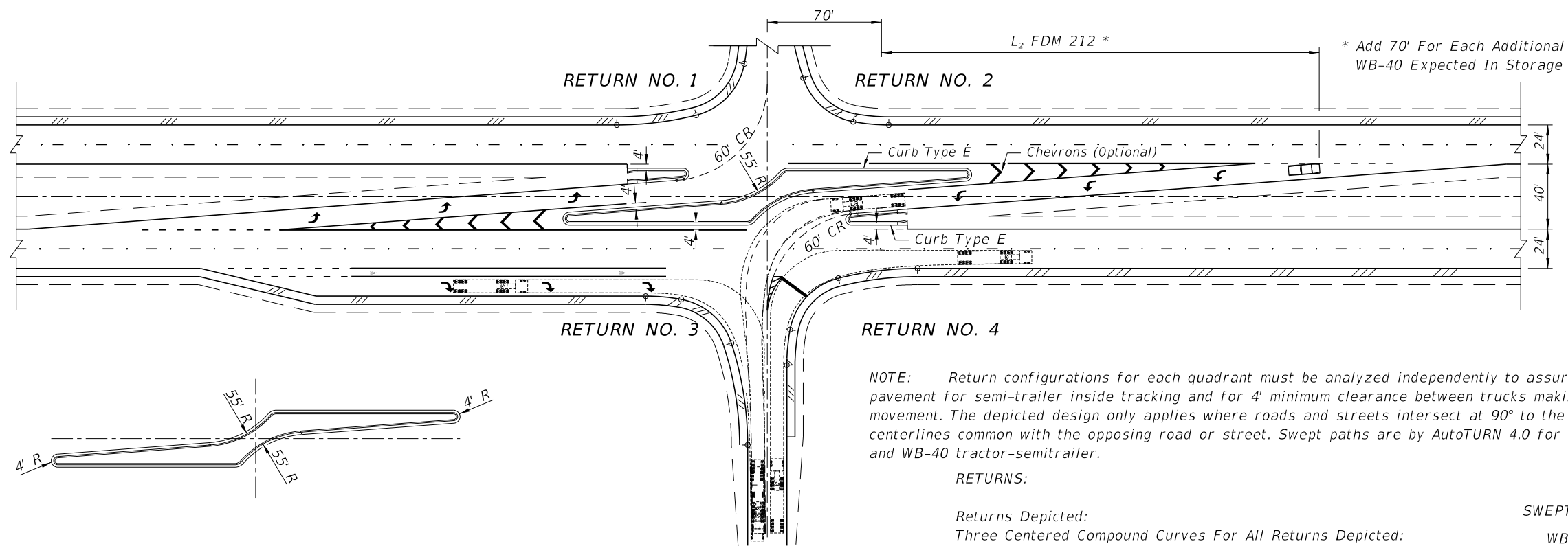
QUADRANT NOS. 1 & 2 VACANT



NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking. The depicted design only applies where roads and streets intersect at 90° to the mainline. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 WB-50 tractor-semitrailer.

NOT TO SCALE

DIRECTIONAL MEDIAN OPENING: SU & WB-40 TAPERED TURN BAY



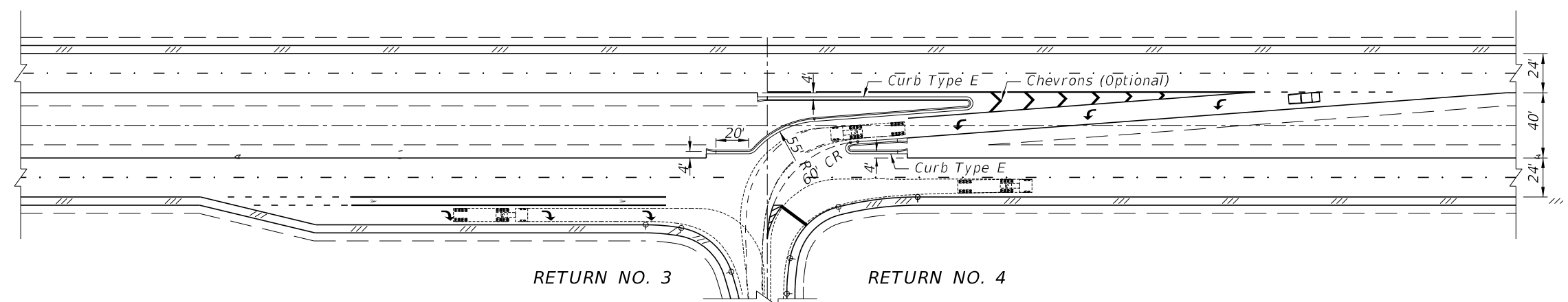
NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking and for 4' minimum clearance between trucks making opposing movement. The depicted design only applies where roads and streets intersect at 90° to the mainline and have centerlines common with the opposing road or street. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 SU and WB-40 tractor-semi-trailer.

RETURNS:

Returns Depicted:
 Three Centered Compound Curves For All Returns Depicted:
 120'-40'-200' Radii; 2' And 8' Offsets
 Simple Curve With Tapers Not Shown:
 40' Radius; 1:15 And 1:8 Tapers With
 2' And 8' Offsets Tested (Practical Fit)

SWEPT PATH LEGEND:
 WB 40 —————
 SU - - - - -

QUADRANT NOS. 1 & 2 VACANT



NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking. The depicted design only applies where roads and streets intersect at 90° to the mainline. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 SU and WB-40 tractor-semi-trailer.

NOT TO SCALE



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 2506 Homewood Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-002 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (6) (A) AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT MATTHEW LANGBEHN REPRESENTING HOMEOWNER EDWARD HARRISON LOCATED AT 2506 HOMEWOOD DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #19-23-30-5888-06-160.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application for 2506 Homewood Drive seeks a variance from sec. 48-32 (a) (6) (a) to build a dock that projects more than 15 feet lakeward of an existing dock at 2432 Homewood Drive by approximately 40 feet. The applicant’s existing dock currently projects approximately 30 feet from the neighboring dock at 2432 Homewood Drive. The proposed dock location would not project 15 feet lakeward of the existing docks at 2514 and 2520 Homewood Drive.

The dock at 2506 Homewood Drive was permitted by Orange County government in 1990. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then. Recently, 2432 Homewood Drive received a violation notice for the condition of their existing dock by the city’s Code Enforcement Department. The homeowner at 2432 Homewood Drive has filed a demolition permit for their dock. However, until the dock’s demolition permit for 2432 Homewood Drive is closed, the variance application cannot be approved for the proposed dock plans until all zoning requirements are met per sec. 48-32.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

- 2. Not Self-Created (Section 42-64 (1) e):

The property’s existing dock was created before sec. 48-32 (a) (6) (a) was adopted under Belle Isle Ordinance 17-02. An aerial view of the property shows that the shoreline location varies from 2432 Homewood Drive to 2506 Homewood Drive. While the shoreline location varies from 2432 to 2506

Homewood Drive, the requested variance is self-created as the applicant seeks to *increase* the lakeward projection of the proposed dock by approximately 10 feet.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance does not meet the minimum possible variance to make reasonable use of the land. The existing dock currently projects approximately 30 feet lakeward from the neighboring dock at 2432 Homewood Drive. Removing the existing dock and constructing a new one to expand a dock's nonconformity to the code does not satisfy the minimum possible variance criteria.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The location and placement of the proposed dock are compatible with most other docks within 300 feet (east and west) of the site. A record request was submitted to the city's Code Enforcement Department, and their records found no complaints on file for the property owner's dock.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria has been met:

- i. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- ii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- iii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- iv. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- v. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to deny the requested variance from sec. 48-32 (a) (6) (a) as the request is self-created and does not meet the minimum possible variance to make reasonable use of the land. The Land Development Code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 2802 Alsace Court

Applicant Request: PUBLIC HEARING CASE #- PURSUANT TO BELLE ISLE CODE SEC. 50-73 (A), SEC. 50-102 (A) (4), (5), AND (8) AND SEC. 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A BUILDING ENCROACHMENT WITHIN 50 FEET OF THE 86.9 CONTOUR LINE OR NORMAL HIGH WATER ELEVATION OF LAKE CONWAY, SUBMITTED BY APPLICANT ALAN LEOW LOCATED AT 2802 ALSACE COURT, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #18-23-30-4385-04-241.

Existing Zoning/Use: R-1-AA / Vacant (Single-Family Home To Be Built)

Overview of Variance Application

The application requests a variance from the 50-foot building setback from the Normal High Water Elevation (NHWE) for portions of a new single-family home. The applicant has provided supporting documentation addressing the variance criteria.

Mr. Leow is resubmitting a similar variance application from sec. 50-73 (a), sec. 50-102 (a) (4), (5), and (8) in July 2021. The request was approved by the board in July 2021, however, under sec. 42-67, the validity of the approved variance has expired. Mr. Leow has recently filed a building permit through Universal Engineering Sciences to construct the new home.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

This property is unique as it is a peninsula, surrounded on three sides by Lake Conway. With the 50-foot setback from the NHWE requirement, this leaves limited building footprint area. The applicant is seeking a 20-foot variance (setback would be 30 feet from the NHWE) along the northeast corner only. This is to accommodate the garage, carport, and garage stairs for a new single-family home. With the configuration of property access, the applicant would like to be able to have a turnaround area for cars in front of the garage area that is wide enough.

- 2. Not Self- Created (Section 42-64 (1) e):

The request for a variance is not self-created as the property lines and lot configuration were created prior to the property owner seeking to develop the site for a single-family home.

- 3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance is the minimum possible variance to make reasonable use of the land. The application does not seek to extend the existing development footprint closer to the water on any of the other sides of the property.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance is in harmony with the general purpose and intent of the Land Development Code and therefore is not injurious to the neighborhood, nor detrimental to the public welfare, and will not be contrary to the public interest. This is because the applicant seeks to maintain the 50-foot NHWE setback on all other sides of the property fronting Lake Conway and will not be impeding any viewshed of adjacent lake properties.

Staff provides a recommendation to approve the requested variance based on meeting all the above criteria. The Land Development Code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 3019 Indian Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-008 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), (A) (6) (A), AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AT 733 SQUARE FEET AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT EMILY WAKELY DELOZIER LOCATED AT 3019 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-070.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application seeks a variance from sec. 48-32 (a) (6) (a) to build a boat dock more than 15 feet lakeward, by approximately 23 feet, from the neighboring docks at 2935 and 3007 Nela Avenue and 3013 Indian Drive. The application also seeks a variance to exceed the allowable terminal platform size from 715.9 to 733 square feet. The allowable size is determined by the linear shoreline footage of the property per sec. 48-32 (a) (3). According to Orange County Property Appraiser, a boat dock permit was issued by Orange County government in 1962. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria of approval established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

- 2. Not Self- Created (Section 42-64 (1) e):

The requested variance from sec. 48-32 (a) (6) (a) is not self-created as the applicant seeks to rebuild a boat dock with a similar lakeward projection of the existing site. The proposed dock plan satisfies the allowable dock length with a lake bottom of 79.5 (NAVD 88) per sec. 48-32 (a) (2). An aerial view of the property shows that the shoreline location varies from 3013 to 3019 Indian Drive.

The requested variance from sec. 48-32 (a) (3) to expand the dock’s terminal platform size is self-created. The code allows the terminal platform size to be 715.9 square feet based on the property’s linear shoreline footage of 71.59 feet. The proposed dock with the roof overhang is 733 square feet. Without the roof overhang, the terminal platform size is 672 square feet.

- 3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance from sec. 48-32 (a) (6) (a) is the minimum possible variance to make reasonable use of the land. Removing the existing dock and constructing a new one while maintaining a similar boat dock length would be the most reasonable use of the land. The requested variance per sec. 48-32 (a) (3) does not meet the minimum possible variance as the applicant and boat contractor as the proposed size of the terminal platform could be modified to comply with the city code.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance from sec. 48-32 (a) (6) (a) could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The proposed dock location does not exceed 15 feet lakeward of the existing docks east of the site. A record request was submitted to the city’s Code Enforcement Department, and there were no complaints on file for the property owner’s dock.

The requested variance from sec. 48-32 (a) (3) could provide a special benefit to the owner.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria have been met:

- vi. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- vii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- viii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- ix. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- x. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to approve the requested variance from sec. 48-32 (a) (6) (a) as it meets the variance criteria per sec. 48-33. Staff does not recommend approval of the requested variance from sec. 48-32 (a) (3), as the land development code provides in sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved.

The board may choose to approve the requested variance from sec. 48-32 (a) (6) (a) with the condition that the terminal platform does not project more than approximately 23 feet lakeward of the neighboring dock at 3013 Indian Drive. Should the board approve the requested variance from sec. 48-32 (a) (3), a condition may be placed for the applicant to have a terminal platform size no more than 733 square feet or prescribe an alternative maximum terminal platform size than allowed per code.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Variance Request: 3025 Indian Drive

Applicant Request: PUBLIC HEARING CASE #2023-06-009 - PURSUANT TO BELLE ISLE CODE SEC. 48-32 (A) (3), (A) (6) (A), AND SEC. 48-33, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD WILL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A DOCK TO EXCEED THE ALLOWABLE TOTAL AREA FOR A TERMINAL PLATFORM AT 720 SQUARE FEET AND TO ALLOW A BOAT DOCK TO EXTEND GREATER THAN 15 FEET LAKEWARD OF AN EXISTING DOCK WITHIN 300 FEET OF THE PROPOSED LOCATION, SUBMITTED BY APPLICANT JASON LOUCHE REPRESENTING HOMEOWNER ALAN TWICHELL LOCATED AT 3025 INDIAN DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS ORANGE COUNTY TAX PARCEL ID #29-23-30-4389-01-080.

Existing Zoning/Use: R-1-AA / Single-Family Home

Overview of Variance Application

The application seeks a variance from sec. 48-32 (a) (6) (a) to build a boat dock with a lakeward projection of approximately 24 feet from the neighboring docks at 2935 and 3007 Nela Avenue, and 3013 Indian Drive. The application also seeks a variance to exceed the allowable terminal platform size from the allowed 700 square feet to 720 square feet. The allowable size is determined by the shoreline footage of the property per sec. 48-32 (a) (3).

According to Orange County Property Appraiser, a boat dock permit was issued by Orange County government in 1993. Staff found no other dock permit for the property issued by Orange County or the City of Belle Isle since then.

Staff Recommendation

Staff provides an evaluation based on the variance criteria for the application below.

- 1. Special Conditions and/ or Circumstances (Section 42-64 (1) d):

Under sec. 48-33, a dock variance must meet the criteria of approval established by sec. 42-64 (1), except for subsection 42-64 (1) (d).

- 2. Not Self-Created (Section 42-64 (1) e):

The requested variance from sec. 48-32 (a) (6) (a) is not self-created as the applicant is seeking to rebuild a boat dock with a similar lakeward projection of the existing dock. The proposed dock plan satisfies the allowable dock length with a lake bottom of 79.5 (NAVD 88) per sec. 48-32 (a) (2). An aerial view of the property shows that the shoreline location varies between 2935 Nela Ave to 3025 Indian Dr.

The requested variance from sec. 48-32 (a) (3) to expand the dock’s terminal platform size is self-created. The code allows the terminal platform size to be 700 square feet based on the property’s linear shoreline footage of 70 feet. The proposed terminal platform size with the roof overhang is 708.5 square feet. The proposed terminal platform size exceeds the allowable area by 8.5 square feet. The applicant

seeks to expand the terminal platform size to 720 square feet for the owner’s platoon boat, which is a personal hardship.

3. Minimum Possible Variance (Section 42-64 (1) f):

The requested variance per sec. 48-32 (a) (6) (a) is the minimum possible variance to make reasonable use of the land. Removing the existing dock and constructing a new one to maintain a similar boat dock length would be the most reasonable use of the land. The requested variance per sec. 48-32 (a) (3) does not meet the minimum possible variance to make reasonable use of the land as the applicant seeks to increase the terminal platform size from the proposed plans.

4. Purpose and Intent (Section 42-64 (1) g):

The requested variance from sec. 48-32 (a) (6) (a) could be construed to be in harmony with the general purpose and intent of the land development code and not injurious to the neighborhood. The proposed dock location does not exceed 15 feet lakeward of the existing docks east of the site. A record request was submitted to the city’s Code Enforcement Department, and their records found no complaints on file for the address.

As for the requested variance from sec. 48-32 (a) (3), it is neither injurious to the neighborhood nor does it satisfy the purpose and intent of the land development code as it may serve as a special benefit to the homeowner.

5. Additional Criteria for Dock Variance Approval (Section 48-33):

The board shall not approve an application for a variance unless and until each of the following criteria have been met:

- xi. The dock shall not create conditions hazardous to navigation nor any safety hazards;
- xii. The location and placement of the dock shall be compatible with other docks in the area, and the NHWC of the lake;
- xiii. The current level of the lake shall not be a factor in deciding whether to approve or deny a variance;
- xiv. The application does not confer a special benefit to the landowner over and above the adjoining landowners and does not interfere with the rights of the adjoining property owner to enjoy reasonable use of their property; and
- xv. The requirements of subsection 42-64(1), except for subsection 42-64(1)d.

Staff provides a recommendation to approve the requested variance from sec. 48-32 (a) (6) (a) and deny the requested variance from sec. 48-32 (a) (3) as the land development code provides in Sec. 42-64 (1) h. that unless all criteria are met, a variance should not be approved. Should the board approve the request variance from sec. 48-32 (a) (3), the board may condition a maximum platform size for approval.

Additional Notes

Please note that the Board may approve the proposed variance application as it is presented to them, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application, citing which variance criteria are not met. A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Code Sec. 42-71.



CITY OF BELLE ISLE, FL

Planning and Zoning: Staff Report

July 20, 2023

Review of Fence Proposal: Ordinance 23-05

On June 25th, 2019, the board discussed and reviewed sec. 50-102 (b) for allowing front yard fences specifically for Hoffner Avenue and Seminole Drive. The following code language was presented:

Fences on Hoffner Avenue or Seminole Drive. A fence, wall, or other structure in the nature of a fence, up to four feet in height, may be located within the required front yard setback on the residential property having frontage on Hoffner Avenue or Seminole Drive, provided that the fence complies with the following:

- a. Fences shall be located on private property, no closer than five feet from the edge of the sidewalk nearest the house;
- b. Structural and decorative posts or columns, not exceeding six feet in height or eighteen inches in width, and spaced no closer than six feet apart, from the center to center shall be permitted;
- c. The color, material, and design of the fence shall be compatible with the architecture of the dwelling unit on the property;
- d. Any screen landscaping and associated irrigation shall be installed and maintained on the street side of the fence;
- e. Gates, when in an open position, shall not block the sight distance of the abutting public street, walk, or right-of-way.

An additional consideration is that for lots with a depth greater than the specified number of feet (such as 450 feet); the fence must be no closer than sixteen feet from the edge of the sidewalk nearest the house. This could prevent a possible tunnel of wall effect if the fence/wall were to be placed closer to the street.

For the proposed ordinance 23-05, staff recommends including Seminole Drive as an overlay district for permitting front yard fences. Many houses on Seminole Drive currently feature a six-foot front yard fence. Should an existing front yard fence deteriorate or require new panels, the homeowner(s) must undergo a variance approval process to replace their fence. Given the various lot depths along Seminole Drive, staff could create additional code language for the neighborhood with consensus from the Board.

In speaking with legal counsel, Attorney Chumley shared an issue for dictating the funding sources and ownership of walls and fences is between the homeowners and the existing HOA. These are matters that should or normally would be addressed by the HOA’s covenants and restrictions and other private contractual arrangements between the HOA and the owners and should not be the subject of legislation. Generally, cities are prohibited from enacting legislation that would impair or otherwise interfere with contracts between private parties.

In a separate attachment, staff created comments to Ordinance 23-05 and provided a chapter from the Florida Department of Transportation Design Manual with reference to the use of a “sight triangle,” as mentioned under the proposed ordinance.

ORDINANCE NO. 23-05

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AN ORDINANCE OF THE CITY OF BELLE ISLE, FLORIDA, AMENDING THE CITY'S LAND DEVELOPMENT CODE SECTION 50-102 ACCESSORY STRUCTURES TO ALLOW THE INSTALLATION OF FENCES AND WALLS IN FRONT YARDS WITHIN CERTAIN DEFINED OVERLAY AREAS AND CREATING RESTRICTIONS FOR SUCH FENCES AND WALLS: PROVIDING FOR CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City of Belle Isle Land Development Code currently restricts fences in front yards; and

WHEREAS, the City wishes to allow fences in front yards, set height restrictions for such fences, and create rules for the installation of such fences that will enhance the safety of drivers, pedestrians, and property owners; and

WHEREAS, the City further wishes to add additional fence requirements specific to the Hoffner Avenue overlay district and the Daetwyler Drive overlay district due to those districts' unique nature; and

WHEREAS, the City finds that this Ordinance advances the interests of public health, safety, and welfare.

NOW THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF BELLE ISLE, FLORIDA AS FOLLOWS:

1 Section 1. Recitals. The foregoing recitals are hereby ratified and
2 confirmed as being true and correct and are hereby made a part of this Ordinance
3 as legislative findings.

4 Section 2. City Code Amendment. Section 50-102 in Chapter 50, Article IV of the
5 City Code of Ordinances is hereby amended, all as follows (words that are stricken
6 out are deletions; words that are underlined are additions; stars * * * * *
7 indicate breaks between sections, subsections, or paragraphs and do not indicate
8 changes to the City Code; provisions not included are not being amended):

9 Sec. 50-102. - Accessory structures.

10 * * * * *

11 (b) *Fences and walls.*

12 * * * * *

13 (5) *Maximum height and permitted locations of fences, walls, and privacy*
14 *screens.*

15 a. Except as provided in subsection (b)(5)b of this section, fences, and walls
16 shall be limited to a maximum height of six feet above natural grade in the rear
17 and side yards. ~~No fences or walls shall be permitted in front yards.~~ The maximum
18 height for any front yard fence or wall shall be four feet.

19 1. If a driveway gate is installed, then the gate must be setback 25 feet away
20 from the edge of the road. For purposes of calculating the distance, road means
21 the improved or paved portion but does not include the entirety of the right-of-
22 way.

23 b. A maximum fence height of eight feet shall be permitted in the following
24 situations:
25

Commented [A1]: Staff recommends adjusting the verbiage to:
A driveway gate shall be setback [...] from the edge of the public street or private roadway."

Commented [A2]: Staff recommends omitting language.

1 1. The property line along which the fence will be installed abuts a boat ramp
2 facility, public park, or commercially zoned property.

3 2. The property owner constructing the fence has obtained the written consent
4 of all owners of property that either share a property line and property corner
5 along which the fence or wall will be installed and of any owner of the property
6 with a property line within 50 feet of the fence or wall to be installed.

7 c. Residential property owners shall not construct an additional fence or wall
8 that abuts any subdivision or commercial screening wall and can be viewed from the
9 abutting public right-of-way, street, sidewalk, or abutting other public access
10 areas.

11 * * * * *

12 (7) *Construction of fences or walls near Lake Conway.* No fence or wall located
13 within 35 feet of the 86.9 normal high water contour line of Lake Conway shall
14 exceed four feet in height.

15 (8) *Location along lot lines.* A structural fence or wall shall be erected so
16 that the entire fence and all supporting structures are entirely on the owner's
17 property. Fence posts and all other supporting structures, as well as the rough
18 side of the fence, if any, shall face the owner's property, except when said fence
19 separates a residential lot from a business or industrial lot. No inspection or
20 any permit issued by the city shall be any evidence or guarantee that the fence
21 has been so correctly located on the subject property.

22 * * * * *

23 (14) *Existing fences.* Any fence or wall which is erected and in violation of this
24 chapter at the time of its passage shall be exempt from the requirements of this
25

1 chapter, excluding those requirements of 50-102(b)(11), unless such fence or wall
2 is deemed a traffic or safety hazard.

3 (15) *Nonconforming fences.* All fences, walls, or privacy screens in violation of
4 this chapter at the time of its passage shall be governed by the following
5 conditions: Any fence, wall, or privacy screen that is in violation of the section
6 and is determined to be a traffic or safety hazard shall be made to conform to
7 this chapter three months from such determination. No portion of a nonconforming
8 fence, wall, or privacy screen shall be enlarged, extended, or structurally
9 altered except to make it conform to this chapter.

* * * * *

11 (17) Overlay Districts.

12 a. Hoffner Avenue

13 1. All properties within Belle Isle City Limits adjoining Hoffner Avenue may
14 install a front or side yard fence or wall with a maximum height of six feet.

15 2. If a driveway gate is installed, the gate shall be at least 20 feet outside
16 the right-of-way line. A sight triangle of at least 15 feet from the driveway to
17 the right-of-way shall be provided.

18 3. Lake Conway Estates Sub-overlay

19 i. For all properties that are part of Lake Conway Estates adjoining Hoffner
20 Avenue's right-of-way, a masonry wall up to eight feet high may be constructed in
21 the vicinity of the Hoffner Avenue right-of-way line, provided that wall conforms
22 to the Belle Isle approved wall materials and design requirements. The property
23 owner must pay for such wall, but ownership and maintenance shall be transferred

Commented [A3]: Staff recommends omitting language as fence code already allows a side yard fence to be 6 ft in height.

Commented [A4]: Staff recommends verbiage be changed to:
The installation of a driveway gate shall be at least 20 feet from the property line.

Commented [A5]: 1. An illustration and definition of a sight triangle would be useful and more user-friendly to readers. Or change "sight triangle" to "sight distance."
2. Some residential driveways have two points of access. Would the proposed sight triangle be measured from the outer edges of a driveway or from the centerline of the driveway?
3. Should the proposed sight triangle provided by the homeowner include existing landscaping and hardscaping features to ensure no obstruction in visibility per sec. 50-102 (b) (13)?
4. Would the city obligate the homeowner(s) to maintain clear sight triangles for driveway approaches over time?
5. If the sight triangle possesses hardscape or landscape, is the application denied? Or would it be determined by City Staff or the P&Z Board?
6. Aspects to consider for sight triangle, the placement and height of objects within the area.

Commented [A6]: Staff recommends omitting the Lake Conway Estates Sub-overlay section based on input from legal counsel. The proposed language for sec. (17) (a) (3) may be a matter determined between the HOA and the homeowner.

1 to Lake Conway Estates Homeowner's Association along with a 15-foot maintenance
2 easement at the completion of construction.

3 ii. In order to preserve as many trees as possible and avoid interfering with
4 existing utility lines, the alignment of the masonry wall may be allowed to
5 encroach into the Hoffner Avenue right-of-way by a maximum of ten feet in wall
6 easements granted to Lake Conway Estates Residents' Association by the City of
7 Belle Isle's Ordinances 98-4 and 99-1. Such encroachment is available but
8 discouraged and is subject to prior approval by the City to determine if
9 reasonably necessary to achieve the above objectives.

10 iii. If a property owner wishes to maintain ownership of the masonry wall on the
11 property owner's property, the entire wall must be located on such property and
12 must not stray into the Hoffner Avenue right-of-way. Under this condition, it is
13 not necessary for the wall to be built using the Belle Isle-approved wall
14 materials and design. If the wall is not built according to the Belle Isle-
15 approved wall materials and design, then the maximum height of the wall is six
16 feet.

17 b. Daetwyler Drive

18 1. Due to continuing increases in traffic on Daetwyler Drive, property owners
19 may build an opaque fence or wall to a height of up to six feet in the front or
20 side yard that adjoins the Daetwyler Drive right-of-way.

21 2. If a gate is installed, there must be a gate recess of 20 feet behind the
22 right-of-way.

23 Section 3. Codification. Section 2 of this Ordinance will be incorporated into
24 the Belle Isle City Code. Any section, paragraph number, letter and/or any
25

Commented [A7]: The city's fence requirements acknowledges:
1. Property owners must construct a fence or wall on or within their property lines under sec. 50-102 (b) (1).
2. Fences are allowed to be six feet in height, or eight feet in height with neighbors' consent under sec. 50-102 (b) (5).
3. Belle Isle approved wall materials are detailed under sec. 50-102 (b) (1).

Commented [A8]: Staff recommends omitting language. An explanation is not required.

Commented [A9]: Should an "opaque" percentage be assigned? The code state a minimum or maximum opaque percentage requirement for non-residential districts.

Commented [A10]: Staff recommends omitting language.

Commented [A11]: Staff recommends adjusting the verbiage to "A gate installation shall have a gate recess of 20 feet from the property owner's lot line."

1 heading may be changed or modified as necessary to effectuate the foregoing.
2 Grammatical, typographical, and similar or like errors may be corrected, and
3 additions, alterations, and omissions not affecting the construction or meaning
4 of this Ordinance and the City Code may be freely made.

5
6 Section 4. Severability. If any section, subsection, sentence, clause, phrase,
7 word, or provision of this Ordinance is for any reason held invalid or
8 unconstitutional by any court of competent jurisdiction, whether for substantive,
9 procedural, or any other reason, such portion shall be deemed a separate,
10 distinct, and independent provision, and such holding shall not affect the
11 validity of the remaining portions of this Ordinance.

12
13 Section 5. Conflicts. In the event of a conflict or conflicts between this
14 Ordinance and any other Ordinance or provision of law, this Ordinance governs and
15 controls to the extent of any such conflict.

16
17 Section 6. Effective Dates. This Ordinance shall become effective immediately
18 upon adoption by the City Commission of the City of Belle Isle, Florida (the
19 "Effective Date") and shall apply to all applications for permits received on or
20 after the Effective Date.

21
22 First Reading held on _____ .
23 Second Reading held on _____ .
24
25

1 ADOPTED at a regular meeting of the City Commission of the City of Belle Isle,
2 Florida, held in City Hall, Belle Isle, on this ____ day of _____,
3 2023.

4	5 YES	NO	ABSENT
6 Ed Gold	_____	_____	_____
7 Anthony Carugno	_____	_____	_____
8 Karl Shuck	_____	_____	_____
9 Randy Holihan	_____	_____	_____
10 Beth Lowell	_____	_____	_____
11 Stanley Smith	_____	_____	_____
12 Jim Partin	_____	_____	_____

14 ATTEST: _____ CITY OF BELLE ISLE

15 Yolanda Quiceno, CMC-City Clerk

16 _____

17 Nicholas Fouraker, Mayor

18 _____

19 Approved as to form and legality

20 For use and reliance by

21 Giffin Chumley, City Attorney

22

23 STATE OF FLORIDA

24 COUNTY OF ORANGE

25

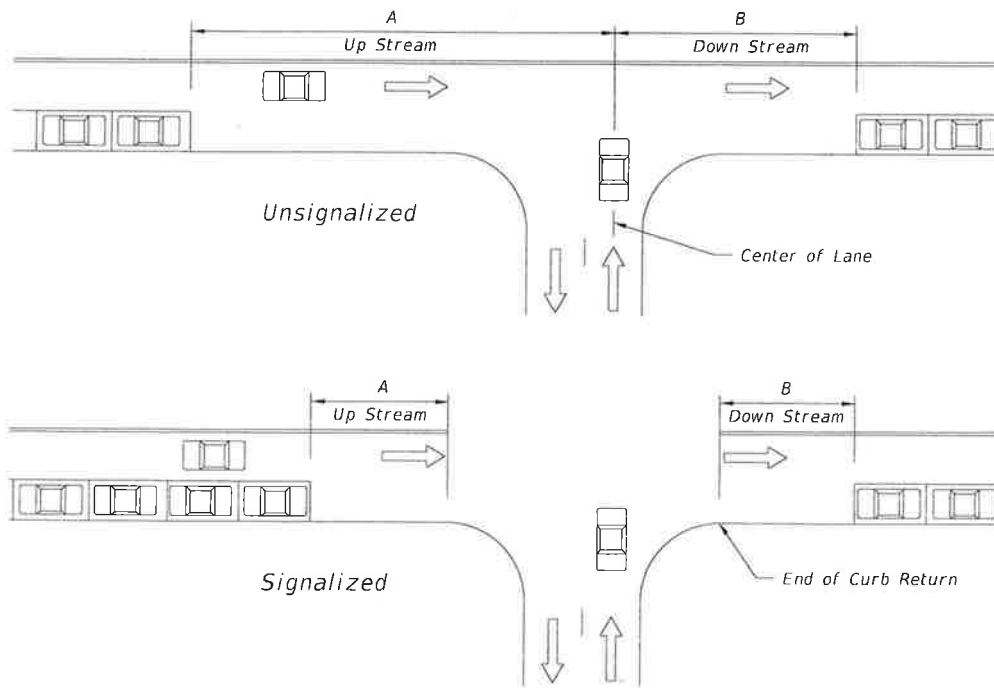
1 I, Yolanda Quiceno, CITY CLERK of the City of Belle Isle, do hereby certify that
2 the above and foregoing document ORDINANCE 23-05 was duly and legally passed by
3 the Belle Isle City Council, in session assembled on the _____ day of
4 _____ 2023. At this session, a quorum of its members was present.

5 _____
6 _____
7 Yolanda Quiceno, CMC-City Clerk

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Table 212.11.2 Parking Restrictions for Driveways and Intersections

Control Type	Posted Speed (mph)	A - Up Stream (ft)	B - Down Stream (ft)	
			2-Lane	4-Lane or more
Unsignalized	< 35	90	60	45
	35	105	70	50
Signalized	< 35	30	30	30
	35	50	50	50



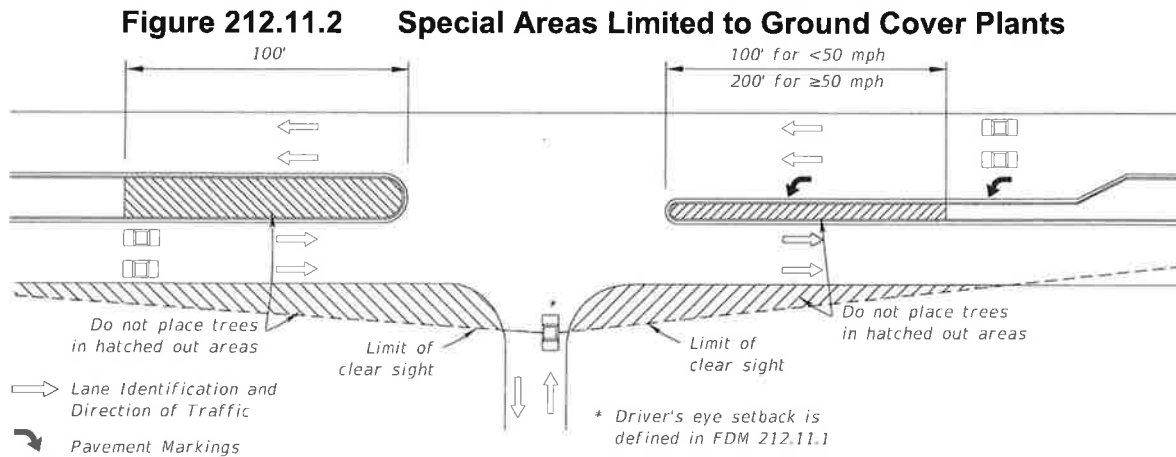
Notes:

- (1) For entrances to one-way streets, the downstream restriction (B) may be reduced to 20 feet.
- (2) Do not place parking within 20 feet of a marked crosswalk.

212.11.6 Trees and Vegetation

Intersections should be designed to accommodate the placement of trees and other desired vegetation (e.g., ground cover plants, trunked plants) in C2T, C3C, C4, C5, and C6 context classifications while still maintaining clear sight triangles. Ground cover plants are naturally low-growing plants with a maximum mature height of ≤ 18 inches. Trunked plants are those with a mature trunk diameter of 4 inches or less (measured 6 inches above the ground).

Maintain clear sight triangles for all approaches. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2**. The hatched-out areas are for ground cover plants only. Coordinate with the Project Landscape Architect for the placement of vegetation and the necessary space above and below ground for tree growth that will maintain clear sight triangles.

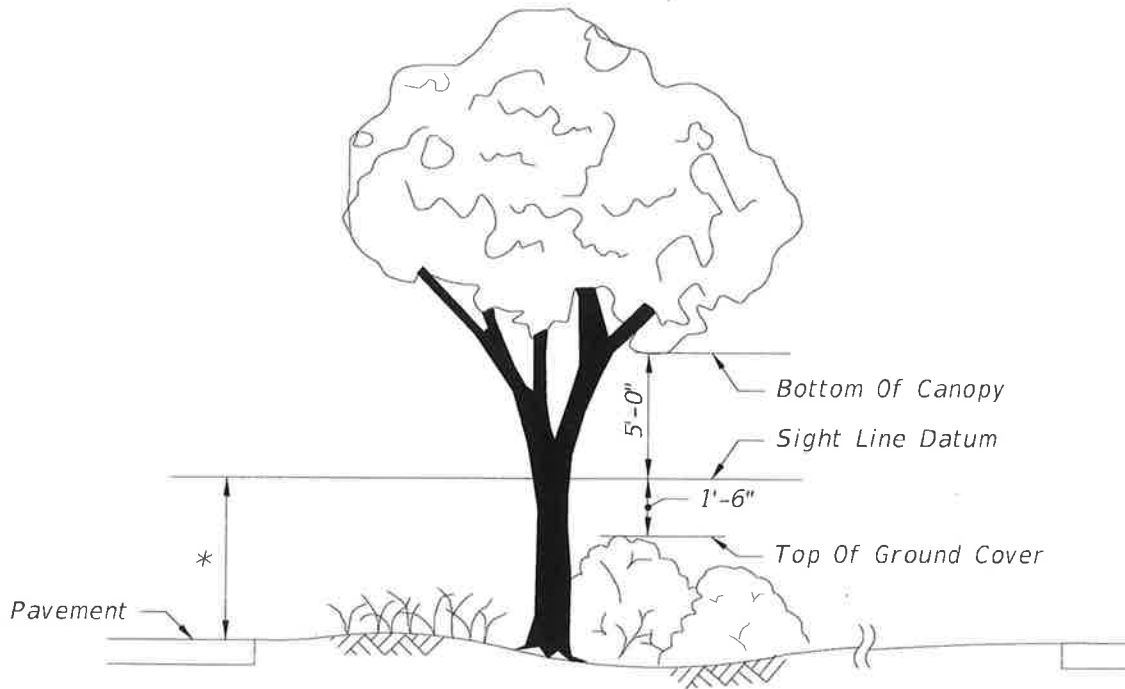


Where left turns from the major road are permitted, do not locate trees within the distance d_b shown in **Table 212.11.1** (see **FDM 212.11.4**) and not less than the distances shown in **Figure 212.11.2** and the spacings in **Table 212.11.3** as applicable.

212.11.6.1 Clear Sight Window Concept

The clear sight window concept may provide opportunities for vegetation within the limits of intersection sight triangles. This concept is illustrated in **Figure 212.11.3**. This detail provides the required vertical clear sight limits with respect to the sight line datum. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2** (even if using the clear sight window concept). The hatched-out areas are for ground cover plants only.

Figure 212.11.3 Window Detail



* Since observations are made in both directions, the line of sight datum between roadways is 3.5 feet above both pavements.

The horizontal limits of the window are defined by clear sight triangles. Within the limits of clear sight triangles, the following restrictions apply:

- Canopy of trees and trunked plants must be at least 5 feet above the sight line datum.
- The top of the ground cover plants must be at least 1.5 feet below the sight line datum.

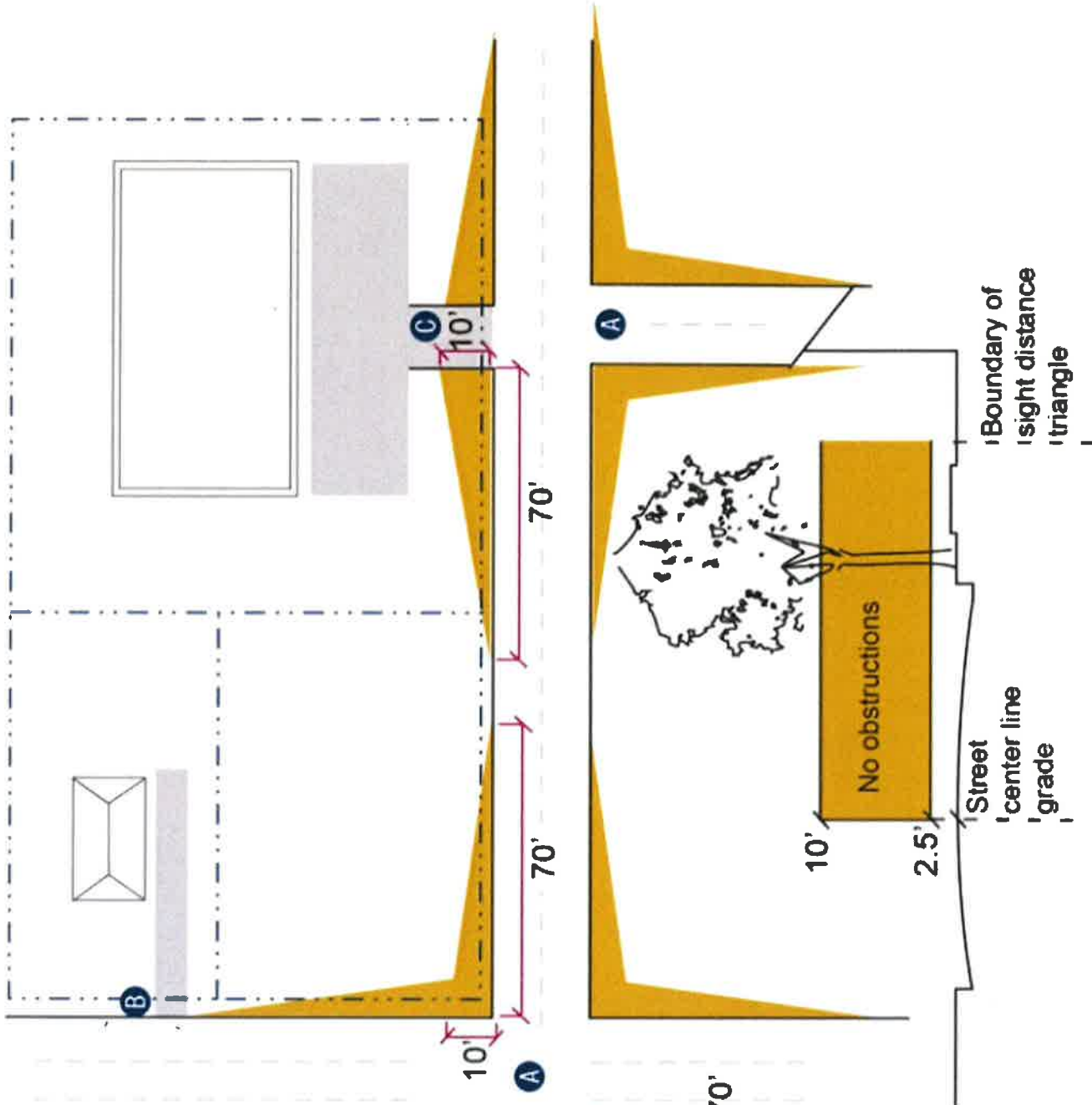
See **FDM 228.2(2)(a)** for additional information about plant selection and placement. Enforcing these limits provides a clear line of sight for approaches to an intersection.

When trees are located in the median of a divided roadway and fall within the limits of a clear sight triangle, conform to **Table 212.11.3** for tree size and spacing. Spacing values for trees with diameter of 11 inches or less were derived assuming a maximum 6-foot-wide shadow band on a vehicle at the stop bar location when viewed by a mainline driver beginning at sight distance 'd'. This is illustrated in **Figure 212.11.4**. Spacing values for

LEGEND

- A** Intersection of Streets
- B** Parking Lot Driveway for Single-family detached, Single-family attached, Duplex, Triplex, or Quadplex (none required)
- C** Parking Lot Driveway for All Other Uses

Sight Triangle



212 Intersections

212.1 General

This chapter provides design criteria and guidance for the geometric layout of at-grade conventional intersections. Conventional intersections include 3-leg (T), 4-leg, and Multi-leg (5 or more legs).

Multi-leg conventional intersections should be avoided. Alternatives to existing multi-leg intersections include:

- (1) Converting to a roundabout.
- (2) Converting one or more legs to a one-way operation
- (3) Reconfiguring or realigning the intersection to create separate intersections, each with no more than four legs.

See **FDM 201** for design vehicle selection and design speed requirements.

See **FDM 210** for lane width, median width, island dimensions, and deflection angle requirements.

See **FDM 222** for requirements concerning pedestrian facilities and **FDM 223** for bicycle facilities.

212.1.1 Alternative Intersections

Alternative intersection design is a key component of upgrading our transportation facilities and improving the mobility and safety of all road users. These innovative designs are becoming more common as increasing traffic demand exceed the limitations of traditional intersection solutions.

Alternative intersections offer the potential to improve safety and reduce delay at lower cost and with fewer impacts than traditional solutions such as adding lanes or grade separation. Three of the more common alternative intersection types are:

- Displaced Left Turn (a.k.a. Continuous Flow Intersection)
- Restricted Crossing U-Turn (RCUT)
- Median U-Turn (MUT)

The FHWA has published comprehensive informational guides for alternative intersections which include guidance on how to plan, design, construct, and operate them. The following links provide access to these guides: [FHWA Alternative Designs](#) and [Alternative Intersections/Interchanges: Informational Report \(AIR\)](#).

These types of alternate intersection designs should be coordinated with the Central Office Roadway Design.

212.1.2 Intersection Control Evaluation

Intersection Control Evaluation (ICE) is a process to determine the most effective intersection configuration for a specified project. Through ICE, multiple alternative and conventional intersection configurations are compared to one another based on safety, operations, cost, and environmental impacts. The ICE procedure provides a transparent and consistent approach to intersection alternatives selection and provides documentation to support decisions made.

ICE policy and procedure is published on the FDOT Traffic Engineering and Operations Office website at the following Link: [Manual on Intersection Control Evaluation](#).

212.2 Intersection Control

Conventional intersections utilize one of four control types; yield, stop, all-way stop and signal.

212.2.1 Yield Control

Certain channelized movements at intersections and interchanges, and all approaches to roundabouts are often yield controlled. Refer to the [Manual on Uniform Traffic Control Devices \(MUTCD\)](#) for information on the locations where yield control traffic control devices may be appropriate.

212.2.2 Stop Control

Stop-controlled intersections have one or more legs of the intersection controlled by a "STOP" sign (R1-1).

Intersections with stop control are a common, low-cost control, which require the traffic on the minor roadway to stop before entering the major roadway. It is used where

application of the normal R/W rule is not appropriate for certain approaches at the intersection.

To meet the requirements for the assigned access classification, or where U-turn opportunities exist within a corridor, consider limiting stop controlled minor roads or driveways to “right-in, right-out” only.

212.2.3 All-Way Stop Control

For an all-way stop intersection, traffic approaching it from all directions is required to stop before proceeding through the intersection. An all-way stop may have multiple approaches and typically marked with a supplemental signing stating the number of approaches.

All-way stop control is most effective at the intersection of low-speed, 2-lane roadways not exceeding 1,400 vehicles during the peak hour. All-way stop control should not be used on multilane highways. Guidance for consideration of the application of all-way stop control is provided in the *MUTCD*.

All-way stop control may be used as an interim measure when a traffic signal or roundabout is warranted, but the installation is delayed.

212.2.4 Signal Control

Signalization provides an orderly and predictable movement of motorized and non-motorized traffic throughout the highway transportation system. It also provides guidance and warnings to ensure the safe and informed operation of the traffic stream.

Refer to *FDM 232* for design criteria for signalization.

212.3 Intersection Types

Conventional intersection configurations include flared and channelized intersections (divided and undivided). Flared intersections are illustrated in *Figure 212.3.1* and channelized intersections in *Figure 212.3.2*. See *FDM 210.3* for median and island requirements.

Figure 212.3.1 Flared Intersections

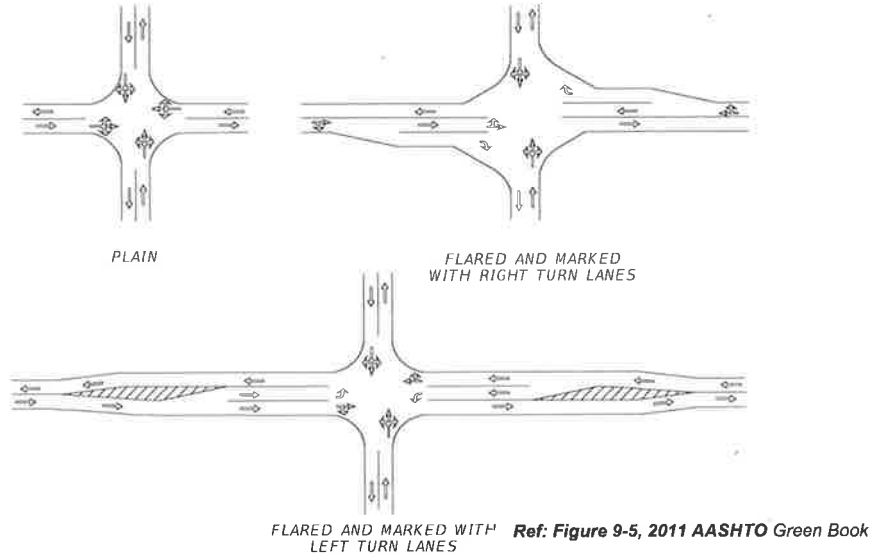
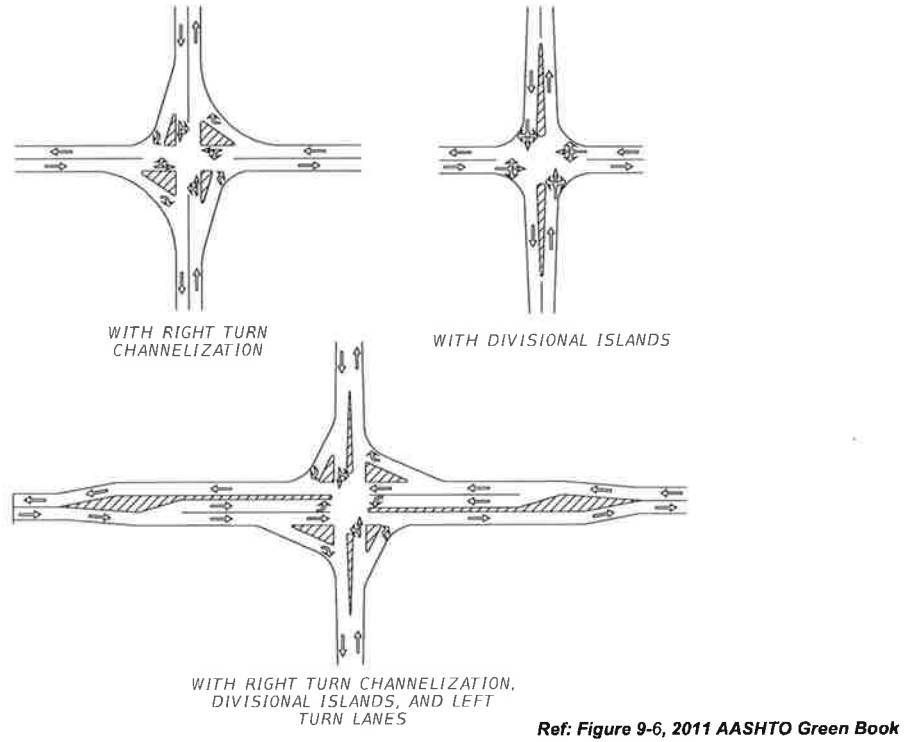


Figure 212.3.2 Channelized Intersections



212.4 Intersection Functional Area

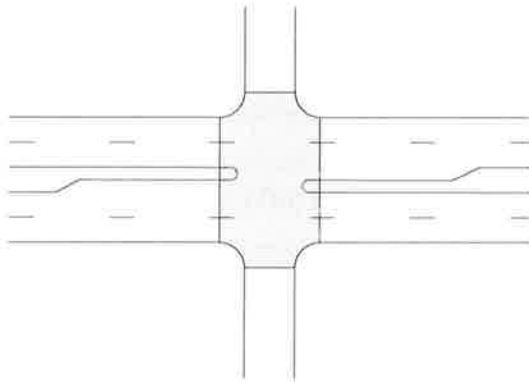
The functional area of an intersection extends in both directions including auxiliary lanes and their associated channelization. This is illustrated in **Figures 212.4.1** and **212.4.2**.

The functional area on the approach to an intersection or driveway consists of three basic elements:

- (1) Perception-reaction-decision distance
- (2) Maneuver distance
- (3) Queue-storage distance (see **FDM 212.14.2**)

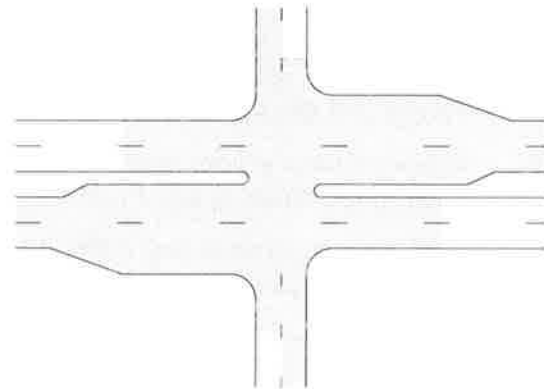
These elements are shown in **Figure 212.4.3**. The maneuver distance includes the length needed for both braking and lane changing when there is a left or right turning lane. In the absence of turn lanes, the maneuver distance is the distance to brake to a comfortable stop. The storage length includes the most distant extent of any intersection-related queue expected to occur during the design period.

**Figure 212.4.1
Physical Definition**



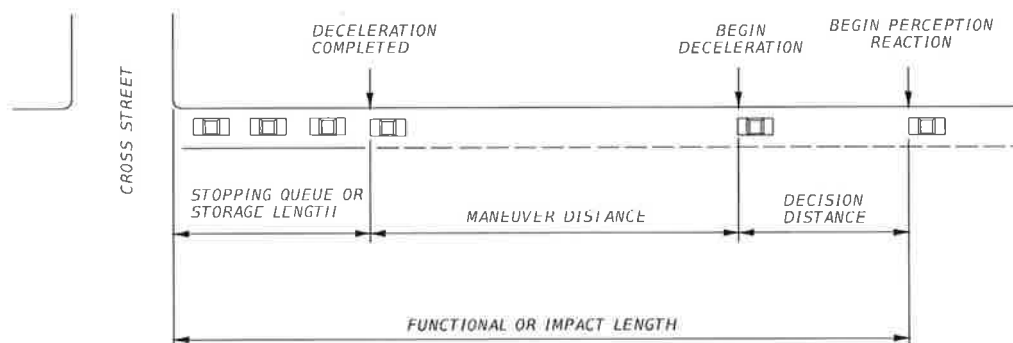
Ref: Figure 9-1, 2011 AASHTO Green Book

**Figure 212.4.2
Functional Definition**



Ref: Figure 9-1, 2011 AASHTO Green Book

Figure 212.4.3 Elements of the Functional Area



Ref: Figure 9-2, 2011 AASHTO Green Book

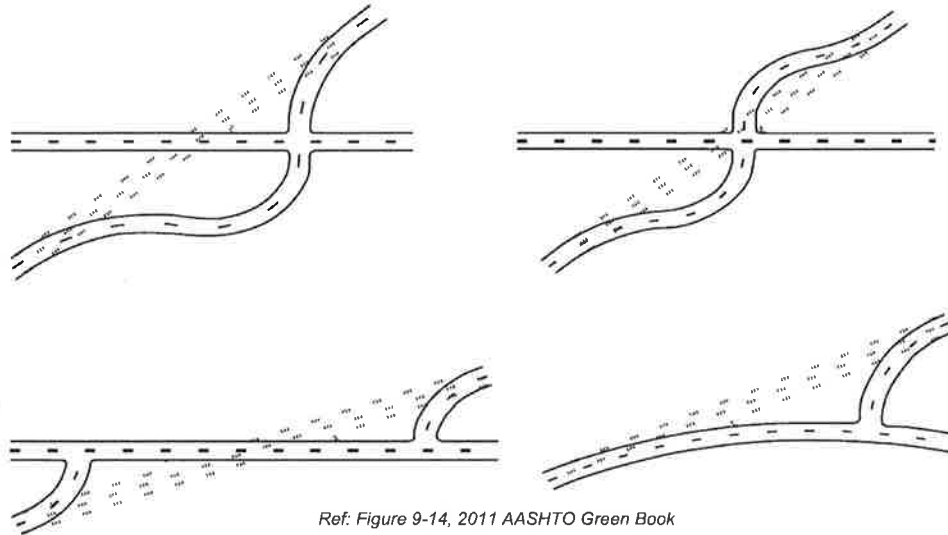
212.5 Intersection Angle

The intersection angle between two roadways has a significant influence on the safety and operation of an intersection. Intersection angles are to be as close to 90 degrees as practical. Intersection angles less than 75 degrees should be avoided for the following reasons:

- (1) Heavy skew angles increase the intersection crossing length, exposing vehicles, pedestrians, and cyclists to conflicting traffic streams for longer periods of time. This is of particular concern at stop-controlled approaches on high-speed facilities.
- (2) The road user's sight angle to the crossing leg becomes restricted due to the skew, making it difficult to see conflicting vehicles and to perceive safe crossing gaps.
- (3) Turning movements are difficult because of the skew. Additional pavement may be necessary to accommodate the turning of large trucks.
- (4) Turning movements or positioning may be confusing and require additional channelization.
- (5) Increased open pavement areas of highly skewed intersections increase construction and maintenance costs.

Evaluate intersections with severe skew angles and crash histories for geometric improvements as shown in **Figure 212.5.1**. A high incidence of right-angle crashes is an indicator that improvements may be justified.

Figure 212.5.1 Intersection Reconfigurations



Ref: Figure 9-14, 2011 AASHTO Green Book

212.6 Lane Tapers

Standard taper lengths for auxiliary lanes are given in **FDM 212.14**. Taper length is based on the following equations:

- (1) Merging Taper (L):
 - (a) For design speeds ≤ 40 mph: $L = (W \cdot S^2) / 60$
 - (b) For design speeds ≥ 45 mph: $L = W \cdot S$

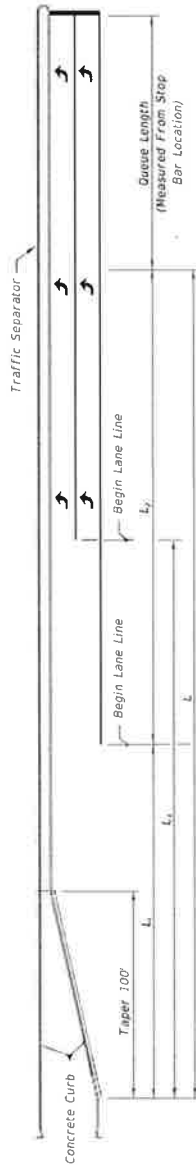
Where:

- L = Taper length (feet)
- W = Width of offset (feet)
- S = Design speed (mph)

- (2) Shifting Taper is equal to Merging Taper (L) / 2.

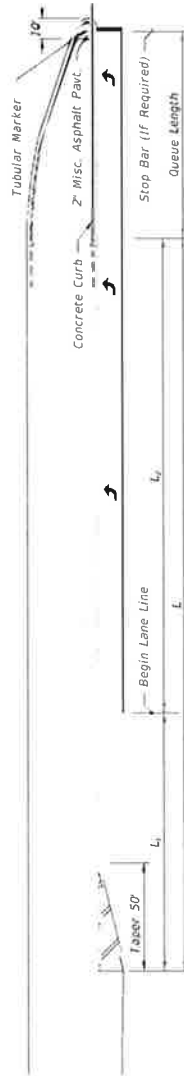
Minimum deceleration lengths are illustrated in **Exhibit 212-1**. Additional information on lane transitions (add or drop) are provided in **Exhibits 212-2** and **212-3**.

MEDIAN TURN LANES MINIMUM DECELERATION LENGTHS



DOUBLE LEFT TURN

Brakes Applied After Turning
Vehicle Clears Through Lane:
Entry Speed:
10 mph Below Design Speed
For Urban Condition
Average Running Speed For
Rural Condition



SINGLE LEFT TURN

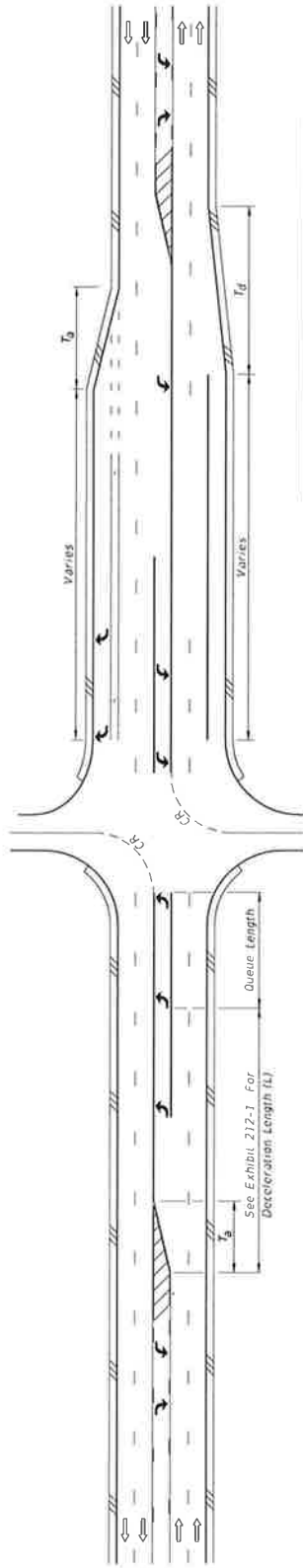
Brakes Applied After Turning
Vehicle Clears Through Lane:
Entry Speed:
10 mph Below Design Speed
For Urban Condition
Average Running Speed For
Rural Condition

Design Speed (mph)	MEDIAN TURN LANES					
	URBAN CONDITIONS			RURAL CONDITIONS		
	Entry Speed (mph)	Clearance Distance L ₁ (ft.)	Brake To Stop Distance L ₂ (ft.)	Total Decel. Distance L ₁ (ft.)	Brake To Stop Distance L ₂ (ft.)	Total Decel. Distance L ₁ (ft.)
3E	25	70	75	145	110	—
4C	30	80	75	155	120	—
4E	35	85	100	185	135	—
5C	40/44	105	135	240	160	290
5E	48	125	—	—	225	350
6C	52	145	—	—	260	405
6S	55	170	—	—	290	460

NOT TO SCALE

EXHIBIT 212-1
01/01/2023

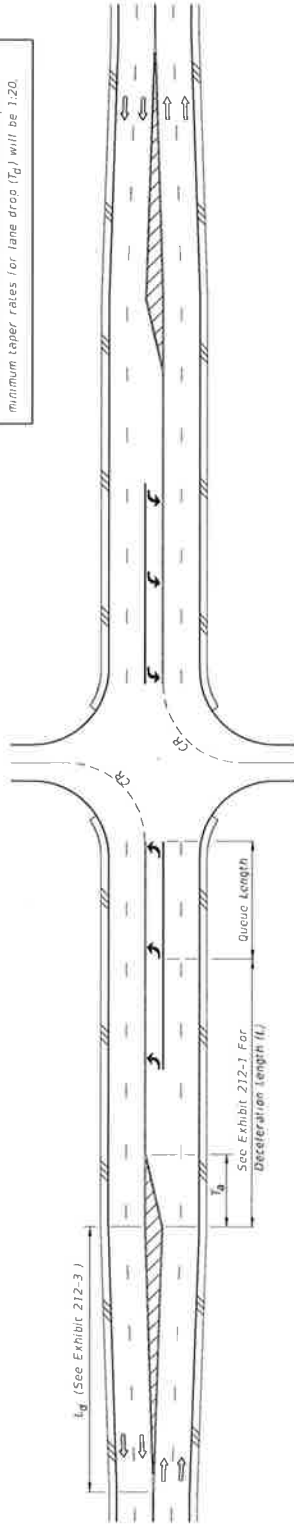
LANE TRANSITIONS: 4-LANE ROADWAYS



TWO-WAY LEFT-TURN LANES

DESIGN SPEED (mph)	T_b (ft.)	T_d
<30	1:4, 50 ft. min.	1:25
30-45		1:30
>45		1:40

Note: For locations with unrelocatable control points minimum taper rates for lane drop (T_b) will be 1:20.

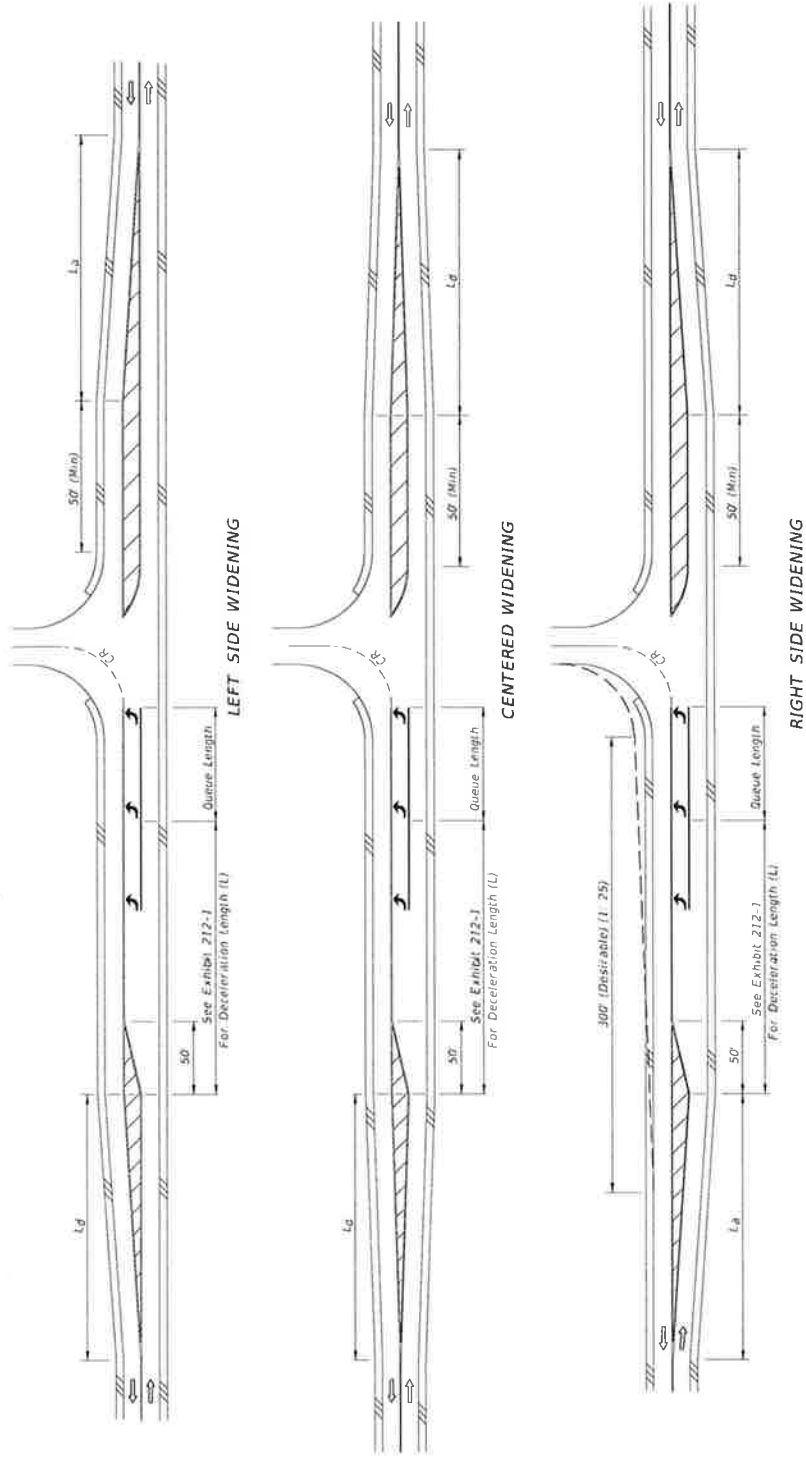


UNDIVIDED FLARED - SYMMETRICAL

NOT TO SCALE

EXHIBIT 212-2
01/01/2018

LANE TRANSITIONS: 2-LANE ROADWAYS



FLARED & PAINTED LEFT TURNS FOR 2-LANE ROADWAYS

DESIGN SPEED (mph)	L_a (ft.)		L_d (ft.)	
	MINIMUM UNDER CONSTRAINTS	STANDARD	MINIMUM UNDER CONSTRAINTS	STANDARD
30	120	180	120	180
40	150	240	150	240
50	180	360	180	360
60	240	480	240	480

NOT TO SCALE

EXHIBIT 212-3
01/01/2018

212.7 Lane Shifts

Lane shifts through intersections should meet the requirements for non-merging conditions. Pavement markings should be used through the intersection to provide positive guidance to the motorist. The shifting taper length is controlled by the size of the intersection and the deflection angle. Although deflections through intersections are discouraged, there may be conditions where they are necessary.

The maximum deflection angles at intersections to be used in establishing the horizontal alignment are given in **Table 212.7.1**.

Table 212.7.1 Maximum Deflection Angle Through Intersection

Maximum Deflection Angle Through Intersection (DM)					
Design Speed (mph)					
≤ 20	25	30	35	40	45
16° 00'	11° 00'	8° 00'	6° 00'	5° 00'	3° 00'

Notes:

(1) Deflection angle used is not to cause a lane shift (W) of more than 6 feet from stop bar to stop bar.

212.8 Profile Grades

The profile grade line defines the vertical alignment for construction. The grade line of the mainline road is typically carried through the intersection and the minor crossroad (or cross street) is adjusted to it. This design involves a transition in the crown of the crossroad to an inclined cross section at its junction with the mainline road, as illustrated in **Figure 212.8.1**.

The break in the crossroad profile at the center of the intersection should be accomplished with a vertical curve.

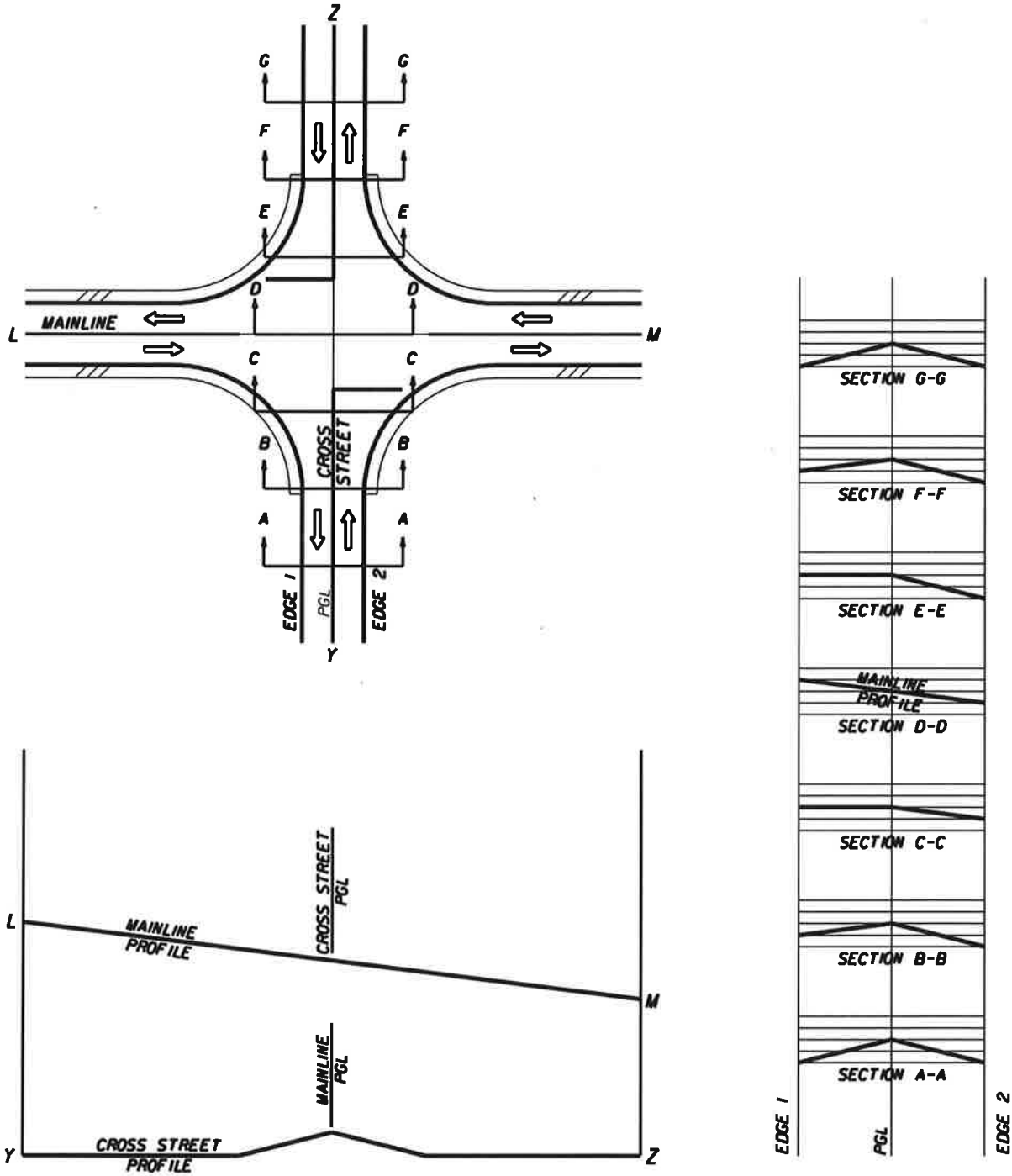
Vertical alignments at or near intersections should provide traffic lanes that are:

- (1) Clearly visible and understandable to drivers for any desired direction of travel,
- (2) Free from sudden appearance of potential conflicts, and
- (3) Consistent in design with the portions of the highway just traveled.

Steep grades at intersections may increase or decrease stopping or acceleration distance. Avoid grades in excess of 3% on intersecting roads in the vicinity of the intersection. Where conditions make such designs impractical, grades should not exceed 6%.

Provide adequate sight distance along both intersecting roads and across their included corners, even where one or both intersecting roads are on vertical curves. The gradients of intersecting roads should be as flat as practical on those sections that are to be used for storage of stopped vehicles.

Figure 212.8.1 Cross Street Intersection Transition



212.8.1 Special Profiles

Special profiles for certain roadway elements may be necessary to ensure a safe, efficient, well-drained and smooth roadway system. Elements that may require special profiles include pavement edges or gutter flow lines at street intersections, profile grade lines, intersection plateaus, curb returns, and special superelevation details. Special profiles are developed at close intervals and large scale to clearly identify all construction details of these elements.

212.8.2 Plateauing

In some instances, it is desirable for the crossroad to receive the same profile considerations as the mainline road. To provide this "equal treatment", with respect to profile, a technique commonly known as intersection plateauing is applied. Plateauing refers to flattening of the intersection and the transition of both roadway profiles and cross slopes on the intersection approaches.

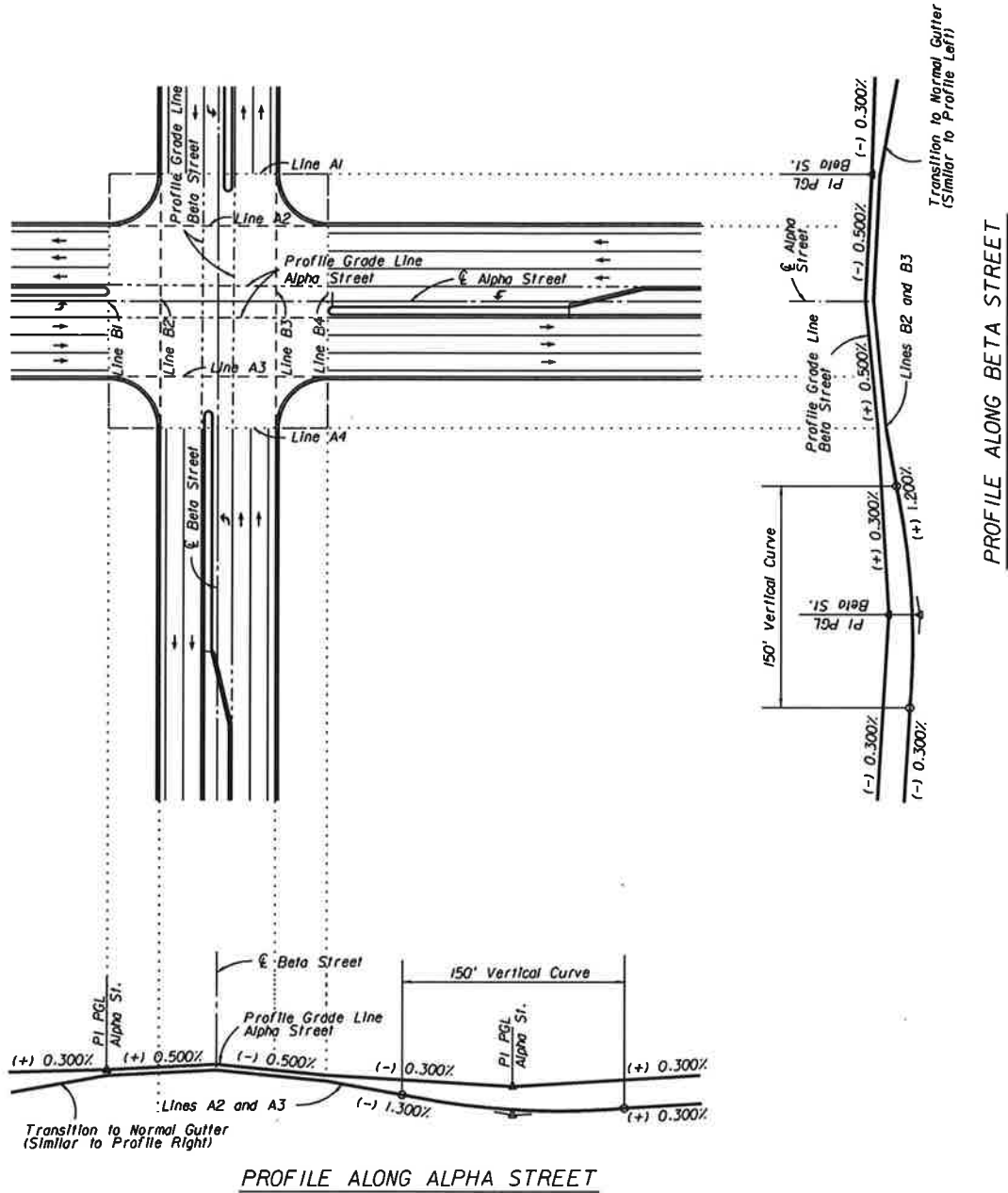
Provide a profile combination that provides a smooth transition and adequate drainage when applying intersection plateauing. Transition slope rates are to meet the values provided in **Table 212.8.1**; however, the minimum length of cross slope transition is 50 feet for design speeds less than or equal to 35 mph and 75 feet for design speeds of 40 mph or greater.

An example of a plateaued intersection is illustrated in **Figure 212.8.2**.

Table 212.8.1 Slope Rates for Intersection Approaches

Design Speed (mph)	Slope Ratio
25-35	1:100
40	1:125
45-50	1:150
55-60	1:170
65-70	1:190

Figure 212.8.2 Example of Plateaued Intersection



212.9 Median Openings

Locate and design median openings to meet traffic requirements in accordance with the access management plan for the facility. See **FDM 201.4** for more information on access management plans and decision making.

See **FDM 210.3** for additional requirements for medians at intersections.

The following conditions may require additional median width:

- accommodation for trees (provide space above and below ground for growth)
- offset turn lanes
- directional median openings
- dual and triple left turn lanes

The overall length of a full median opening is typically the same width as the intersecting road (including shoulders) which is sufficient to accommodate the swept path of left turning vehicles. Median functions and minimum widths are provided in **Table 212.9.1**.

For un-signalized intersections, median openings should not be longer than the required length to avoid multiple vehicles attempting to stop within the opening.

Table 212.9.1 Minimum Median Width

Median Function	Minimum Width (feet)
Separation of opposing traffic	4
Provision for pedestrian refuge	6
Provision for storage of left-turning vehicles	See Table 210.3.1
Provision for protection of vehicles crossing through lanes	22
Provision for U-turns, left turn lane to outside lanes	30
Provision for Dual Left Turn Lanes and U Turns	42

The control radius refers to a radius that must be considered in establishing the location of median or traffic separator ends on divided highways and the stop bar on undivided highways. Provide this radius for left-turn movements when appropriate.

Design guidance on minimum edge-of-traveled-way design for various design vehicles is provided in **FDM 212.12.1**.

For the central part of the turn the use of compound curves is not necessary and the use of simple curves is satisfactory. **Table 212.9.2** provides control radii for minimum-speed turns (10 to 15 mph) that can be used for establishing the location of the median ends.

Table 212.9.2 Control Radii for Minimum Speed Turns

Design Vehicles Accommodated	Control Radius (feet)			
	50 (40 min)	60 (50 min)	75	130
Predominant	P	SU-30	SU-40, WB-40	WB-62FL
Occasional	SU-30	SU-40, WB-40	WB-62	WB-67

212.9.1 U-Turns

Median width should accommodate passenger vehicle (P) left-turn and U-turn maneuvers. If adequate median width does not exist for accommodating U-turns, then consider adding extra pavement width such as a taper or additional shoulder width. See **FDM 210.3** for information on median width criteria.

In cases where U-turn traffic volumes are high, consider the use of jug handles, loop designs, or indirect left turn designs.

212.10 Stopping Sight Distance

See **FDM 210.11.1** for stopping sight distance requirements.

212.11 Clear Sight Triangles

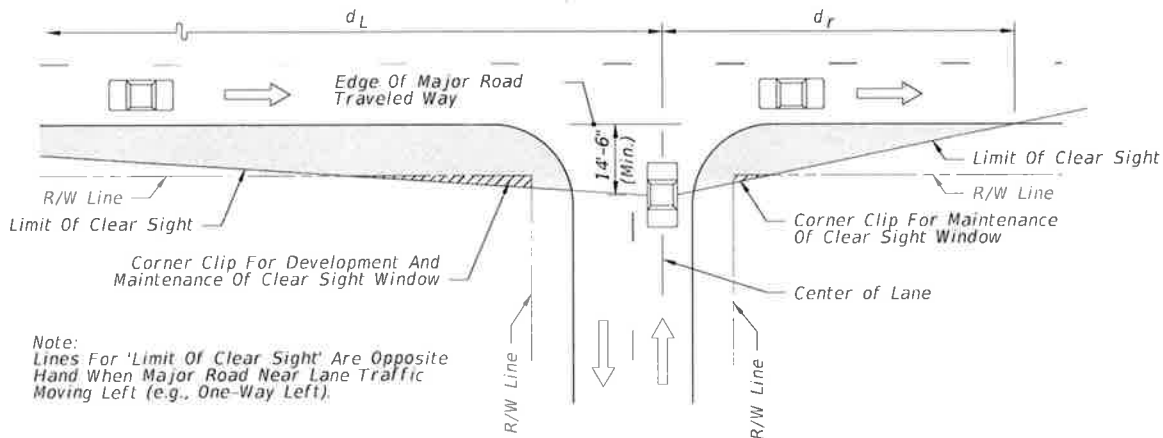
Establish clear sight triangles to assure that drivers are provided a sufficient view of the intersecting highway to identify gaps in traffic and decide when it is safe to proceed. Document the analysis of sight distance for all intersections.

Clear sight triangles are the areas along intersection approach legs and across their common corners that should be clear of visual hindrances. Dimensions of clear sight triangles are based on design speed, design vehicle, and the type of traffic control used at the intersection.

212.11.1 Stop Control (AASHTO Case B)

Figure 212.11.1 illustrates clear sight triangles for intersections and driveways.

Figure 212.11.1 Clear Sight Triangles



The minimum driver-eye setback of 14.5 feet from the edge of the traveled way may be adjusted on any intersection leg only when justified by a documented, site-specific field study of vehicle stopping position and driver-eye position.

Exhibits 212-4 through **212-7** provide intersection sight distances for stop controlled intersections. The tables in the exhibits provide sight distance values for Passenger vehicles, Single Unit (SU) Trucks, and Combination vehicles for design speeds ranging from 30 mph to 65 mph. Intersection sight distance based on Passenger vehicles is suitable for most intersections; however, consider the values for SU Vehicles or Combination vehicles for intersections with high truck volumes.

The following guidance applies to **Exhibits 212-4** through **212-7**:

- (1) Limitations
 - (a) The exhibits apply to intersections in all context classifications with stop control or flashing beacon control.
 - (b) The exhibits apply only to intersections with intersecting angles between 60° and 120°, and where vertical and horizontal curves are not present.

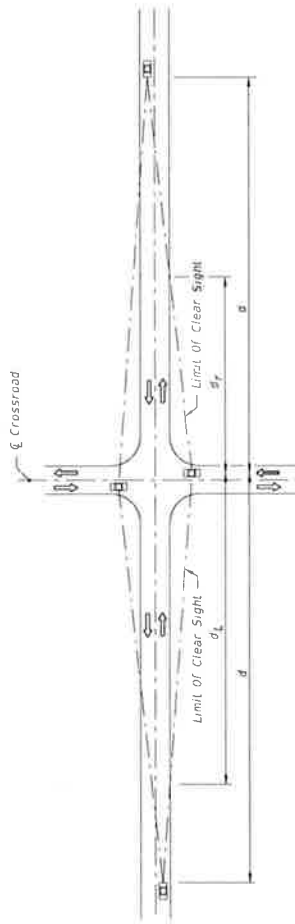
(2) Dimensions

- (a) Sight distance (d) is measured from the center of the entrance lane of the crossroad to the center of the near approach lane (right or left) of the highway.
- (b) Distances ' d_L ' and ' d_r ' are measured from the centerline of the entrance lane of the crossroad to a point on the edge of the near side outer traffic lane on the highway.
- (c) Distance ' d_m ' is measured from the centerline of the entrance lane of the crossroad to a point on the median clear zone limit or horizontal clearance limit for the far side road of the highway.

(3) Vertical limits

- (a) Provide a clear sight window throughout the limits of all intersection sight triangles.
- (b) Provide a clear line of sight between vehicles at intersection stop locations and vehicles on the highway throughout the limits of all intersection sight triangles.
- (c) The reference datum between roadways is 3'-6" above respective pavements since observations are made in both directions along the line of sight.

INTERSECTION SIGHT DISTANCE: 2-LANE UNDIVIDED



Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	335	240	155
35	390	275	175
40	445	315	200
45	500	355	225
50	555	395	250
55	610	435	275
60	665	470	300
65	720	510	325

Passenger Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	420	300	190
35	490	350	220
40	560	400	250
45	630	450	285
50	700	495	315
55	770	545	345
60	840	595	375
65	910	645	410

SU Vehicle

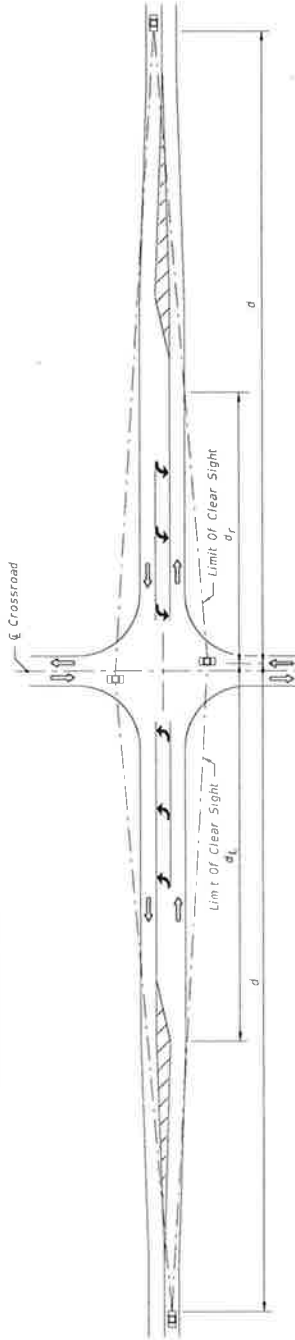
Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	510	365	230
35	595	420	285
40	680	480	305
45	765	545	345
50	845	600	380
55	930	660	415
60	1015	720	455
65	1100	780	495

Combination Vehicle

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_R) (FEET)

2 LANE UNDIVIDED

2-LANE UNDIVIDED



Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	355	195	135
35	415	230	160
40	475	260	180
45	530	290	200
50	590	325	225
55	650	355	245
60	710	390	270
65	765	420	290

Passenger Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	450	250	170
35	525	290	200
40	600	330	230
45	675	370	255
50	750	410	285
55	825	455	315
60	900	495	340
65	975	535	370

SU Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	540	295	205
35	630	345	240
40	720	395	275
45	810	445	305
50	900	495	340
55	990	545	375
60	1080	590	410
65	1170	640	440

Combination Vehicle

2-LANE WITH LEFT TURN LANE

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_R) (FEET)

2-LANE WITH LEFT TURN

NOTE:

1. See Figure 212.11.1 for origin of clear sight line on the minor road.

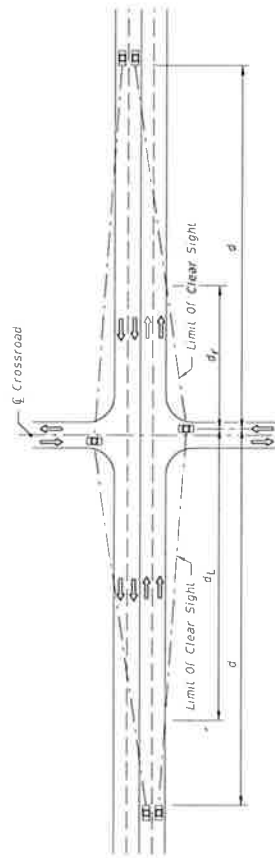
LEGEND



NOT TO SCALE

EXHIBIT 212-4
01/01/2018

INTERSECTION SIGHT DISTANCE: 4-LANE UNDIVIDED



Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	355	255	120
35	415	295	135
40	475	335	155
45	530	375	175
50	590	420	195
55	650	460	215
60	705	500	230
65	765	545	250

Passenger Vehicle

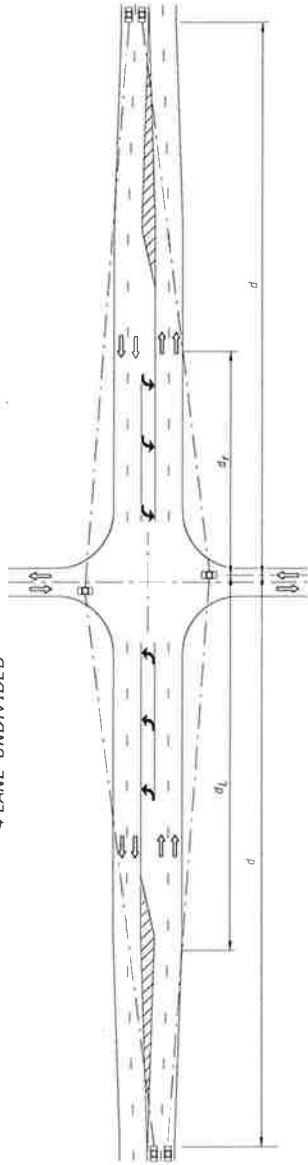
Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	450	320	150
35	525	375	175
40	600	425	200
45	675	480	220
50	750	530	245
55	825	585	270
60	900	640	295
65	975	690	320

SU Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	540	385	180
35	630	450	205
40	720	510	235
45	810	575	265
50	900	640	295
55	990	700	325
60	1080	765	355
65	1170	830	385

Combination Vehicle

4-LANE UNDIVIDED



Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	375	205	110
35	440	245	130
40	500	275	145
45	565	310	165
50	625	345	180
55	690	380	200
60	750	410	215
65	815	450	235

Passenger Vehicle

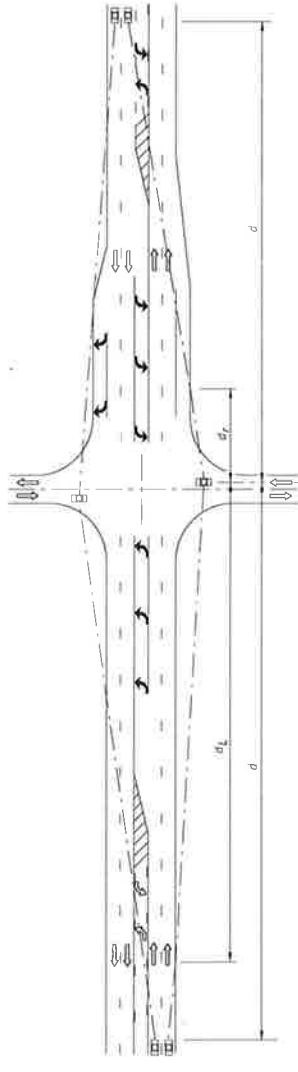
Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	480	265	140
35	560	310	165
40	640	350	185
45	720	395	210
50	800	440	230
55	880	485	255
60	960	525	280
65	1040	570	300

SU Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	570	315	165
35	665	365	195
40	760	420	220
45	855	470	245
50	950	520	275
55	1045	575	300
60	1140	625	330
65	1235	675	355

Combination Vehicle

4-LANE UNDIVIDED WITH LEFT TURN LANE



Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	375	265	80
35	440	315	95
40	500	355	110
45	565	400	120
50	625	445	135
55	690	490	150
60	750	530	160
65	815	580	175

Passenger Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	480	340	105
35	560	400	120
40	640	455	135
45	720	510	155
50	800	570	170
55	880	625	190
60	960	680	205
65	1040	740	220

SU Vehicle

Design Speed (mph)	d (ft.)	d _L (ft.)	d _R (ft.)
≤ 30	570	405	125
35	665	470	145
40	760	540	165
45	855	605	185
50	950	675	205
55	1045	740	225
60	1140	810	245
65	1235	875	265

Combination Vehicle

4-LANE UNDIVIDED WITH LEFT TURN LANE AND OPTIONAL LANE

NOT TO SCALE

SIGHT DISTANCE (d) AND RELATED DISTANCES (d_L, d_R) (FEET)
4-LANE UNDIVIDED WITH LEFT TURN LANE AND OPTIONAL LANE

LEGEND

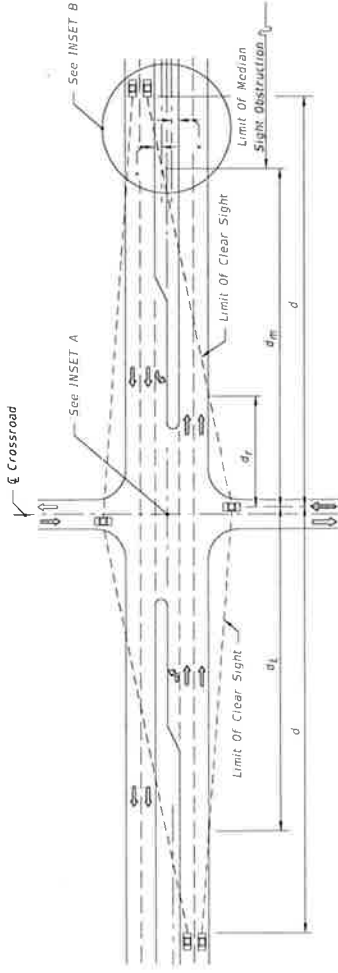
Areas Free Of Sight Obstructions

NOTE:

1. See Figure 212.11.1 for origin of clear sight line on the minor road.

EXHIBIT 212-5
01/01/2018

INTERSECTION SIGHT DISTANCE: 4-LANE DIVIDED



4-LANE DIVIDED

Passenger Vehicle

Median 22' or Less					
Design Speed (mph)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_vL (ft.)	d_vR (ft.)
≤ 30	395	280	190	325	240
35	460	325	100	380	280
40	525	375	115	430	320
45	590	420	130	485	360
50	655	465	145	540	400
55	720	510	160	590	440
60	785	555	175	645	480
65	850	605	185	700	520

Median 35' or Less					
Design Speed (mph)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_vL (ft.)	d_vR (ft.)
≤ 30	540	385	110	460	330
35	630	450	125	535	385
40	720	510	145	615	440
45	810	575	160	685	490
50	900	640	180	760	545
55	990	700	195	840	600
60	1080	765	215	915	655
65	1170	830	230	990	710

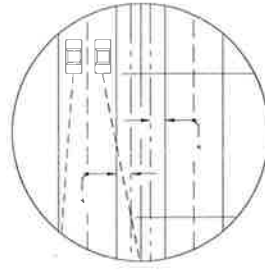
SU Vehicle

Median 30' or Less					
Design Speed (mph)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_vL (ft.)	d_vR (ft.)
≤ 30	615	435	120	520	390
35	720	510	140	605	460
40	820	580	160	690	530
45	925	655	180	780	600
50	1025	725	200	860	670
55	1130	800	220	950	740
60	1230	870	240	1035	810
65	1335	945	260	1120	880

Combined Vehicles

6F Median					
Design Speed (mph)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_vL (ft.)	d_vR (ft.)
≤ 30	540	385	110	460	330
35	630	450	125	535	385
40	720	510	140	610	440
45	810	575	160	685	490
50	900	640	180	760	545
55	990	700	195	840	600
60	1080	765	215	915	655
65	1165	825	230	990	710

INSET A	
Vehicle Type	Vehicle Length (ft.)
Passenger (P)	19
Single Unit (SU)	30
Large School Bus	40
WB-40	45.5
WB-50	55



INSET B
* Lateral Offset For Restricted Conditions
Clear Zone For Nonrestricted Conditions

NOTES FOR 4-LANE DIVIDED ROADWAY

- See Figure 212.11.1 for origin of clear sight line on the minor road.
- Values shown in the tables are the governing (controlling) sight distances calculated based on AASHTO Case B - Intersection with Stop Control on the Minor Road.

Where The Median Is Sufficiently Wide For The Design Vehicle To Pause In The Median (Vehicle Length Plus 6' Min.) The Clear Line Of Sight To The Right (d_{vL}) Is Measured From The Vehicle Pause Location, i.e., Not From The Cross Road Stop Position. Distances d_r & d_m Do Not Apply.

SIGHT DISTANCES (d) & (d_L) AND RELATED DISTANCES (d_r , d_m & d_{vL}) (FEET)

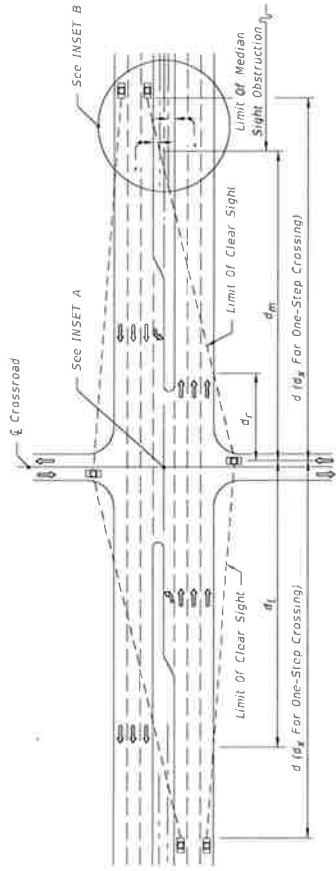
NOT TO SCALE

LEGEND

Areas Free Of Sight Obstructions

EXHIBIT 212-6
01/01/2018

INTERSECTION SIGHT DISTANCE: 6-LANE DIVIDED



6-LANE DIVIDED

Passenger Vehicle

Median 22' or Less					25'-64" MEDIAN				
Design Speed (mph)	d_x (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_{vL} (ft.)
≤ 30	415	295	80	355	30	375	265	330	240
35	485	345	90	415	35	440	315	385	280
40	555	395	105	470	40	500	365	445	320
45	625	445	115	530	45	565	400	500	360
50	690	490	120	585	50	625	445	555	400
55	760	540	140	645	55	690	490	610	440
60	830	590	155	705	60	750	530	665	480
65	900	640	170	765	65	815	580	720	520

Median 35' or Less					40'-64" Median				
Design Speed (mph)	d_x (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_{vL} (ft.)
≤ 30	570	405	90	495	30	480	340	420	330
35	665	470	105	580	35	560	400	490	385
40	760	540	120	660	40	640	455	560	440
45	855	605	135	745	45	720	510	630	490
50	955	675	155	830	50	805	570	700	545
55	1050	745	170	915	55	895	625	770	600
60	1145	810	185	995	60	985	685	840	665
65	1240	880	200	1080	65	1045	740	910	710

SU Vehicle

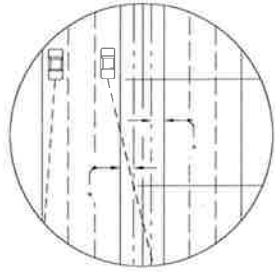
Median 30' or Less					35'-50" Median				
Design Speed (mph)	d_x (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_x (ft.)	d_L (ft.)	d_r (ft.)	d_m (ft.)	d_{vL} (ft.)
≤ 30	650	460	110	560	30	700	495	95	625
35	755	535	130	655	35	815	560	115	725
40	865	615	145	745	40	930	660	130	825
45	970	690	165	835	45	1045	740	145	930
50	1080	765	185	930	50	1165	825	160	1035
55	1185	840	200	1025	55	1280	905	175	1140
60	1290	915	220	1115	60	1395	990	190	1240
65	1400	990	235	1210	65	1510	1070	210	1340

Combined Vehicles

64" Median				
Design Speed (mph)	d (ft.)	d_L (ft.)	d_r (ft.)	d_{vL} (ft.)
≤ 30	570	405	510	435
35	665	470	590	500
40	760	540	680	575
45	855	605	760	645
50	950	675	845	720
55	1045	740	930	790
60	1140	805	1015	865
65	1235	875	1100	935

INSET A		Vehicle Length (ft.)	
Passenger (P)	19	WB-40	45.5
Single Unit (SU)	30	WB-50	55
Large School Bus	40		

Where The Median Is Sufficiently Wide For The Design Vehicle To Pause In The Median (Vehicle Length Plus 6' Min.) The Clear Line Of Sight To The Right (d_{vL}) Is Measured From The Vehicle Pause Location, i.e., Not From The Cross Road Stop Position; Distances d_r & d_m Do Not Apply.



INSET B

* Lateral Offset For Restricted Conditions
Clear Zone For Nonrestricted Conditions

NOTES FOR 6-LANE DIVIDED ROADWAY

- See Figure 212.11.1 for origin of clear sight line on the minor road
- Values shown in the tables are the governing (controlling) sight distances calculated based on AASHTO Case B Intersection with Stop Control on the Minor Road.

SIGHT DISTANCES (d), (d_r) & (d_L) AND RELATED DISTANCES (d_x , d_r , d_m & d_{vL}) (FEET)

NOT TO SCALE

LEGEND

Areas Free Of Sight Obstructions

EXHIBIT 212-7
01/01/2018

212.11.2 All-Way Stop Control (AASHTO Case E)

Provide clear sight lines on each of the approach legs for all-way stop controlled intersections.

212.11.3 Signal Control (AASHTO Case D)

For signalized intersections incorporate the following:

- (1) Develop sight distances based on AASHTO 'Case D-Intersections with Signal Control'.
- (2) The first vehicle stopped on any approach leg is visible to the driver of the first vehicle stopped on each of the other approach legs.
- (3) For permissive left turns provide sufficient sight distance for left turning vehicles to select gaps in oncoming traffic and complete left turns.
- (4) If a traffic signal is to be placed on two-way flashing operation (i.e., flashing yellow on the major road approaches and flashing red on the minor road approaches) under off peak or nighttime conditions, then provide the appropriate departure sight triangles for AASHTO Case B (Stop Control on the Minor Road).
- (5) If right turns on red are permitted from any approach leg then provide the appropriate departure sight triangle to the left for AASHTO Case B above.

212.11.4 Left Turn from Highway (AASHTO Case F)

Provide sufficient sight distance to accommodate a left turn maneuver for locations where left turns across opposing traffic are permitted. **Table 212.11.1** provides clear sight distance values for left turn from highway.

For additional information on determining the sight distance refer to Chapter 9 of AASHTO's ***A Policy on Geometric Design of Highways and Streets***.

Table 212.11.1 Sight Distance for Left Turn from Highway

Design Speed (mph)	d _a (feet)								
	1 Lane Crossed			2 Lane Crossed			3 Lane Crossed		
	P	SU	Comb.	P	SU	Comb.	P	SU	Comb.
25-30	245	290	330	265	320	365	290	350	395
35	285	335	385	310	370	425	335	410	460
40	325	385	440	355	425	485	385	465	525
45	365	430	495	400	475	545	430	525	590

Notes:

- (1) Provide a lateral offset (LO) of 6' as shown in the diagram above. d_b may be determined by the equation $d_b = d_a (w/(w+12))$. For roadways with non-restricted conditions, d_a and d_b should be based on the geometry for the left turn storage and on clear zone widths.
- (2) For wide medians where the turning vehicle can approach the through lane at or near 90°, use d values from tables in **Exhibits 212-6** and **212-7**. (The clear sight line origin is assumed to be 14.5 feet from the edge of the near travel lane.)

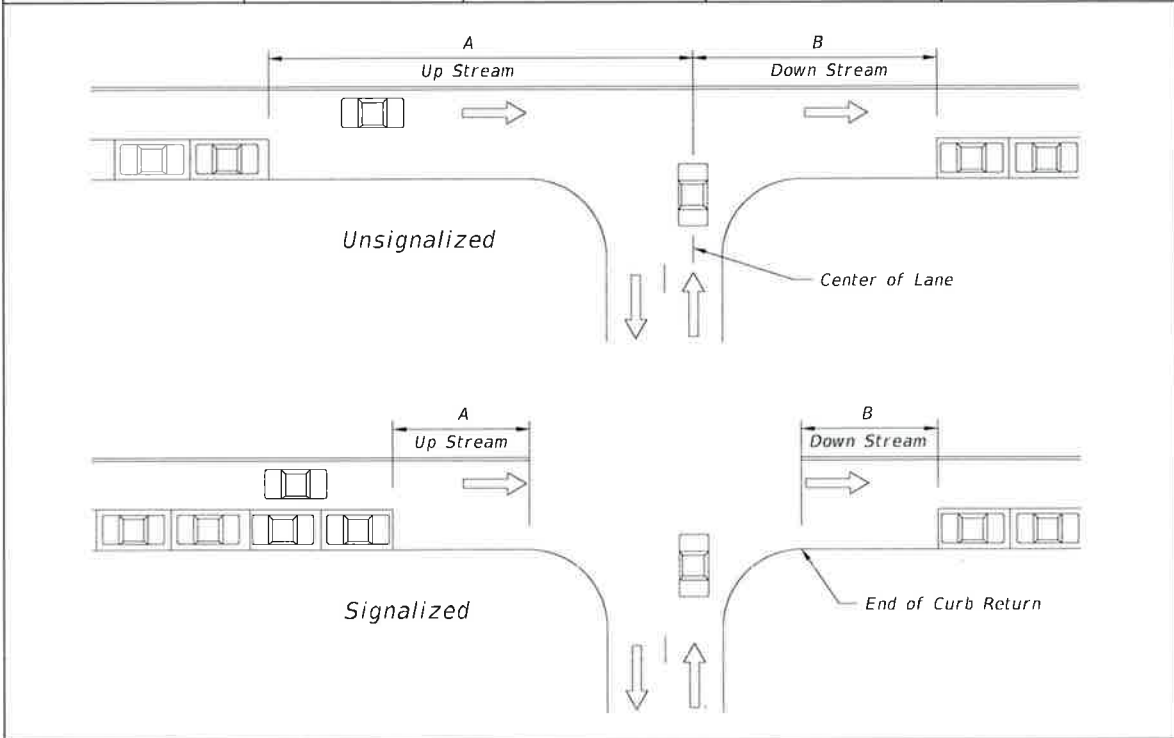
212.11.5 On-Street Parking

Table 212.11.2 provides parking restrictions for intersections; including mid-block crossings and roundabout approaches. For additional information, see the following:

- **FDM 210.2.3** for additional information concerning on-street parking.
- **FDM 222.2.6** for information concerning curb extensions (bulb-outs).
- **Chapter 316, Florida Statutes (F.S.)**, for laws governing parking spaces.

Table 212.11.2 Parking Restrictions for Driveways and Intersections

Control Type	Posted Speed (mph)	A - Up Stream (ft)	B - Down Stream (ft)	
			2-Lane	4-Lane or more
Unsignalized	< 35	90	60	45
	35	105	70	50
Signalized	< 35	30	30	30
	35	50	50	50



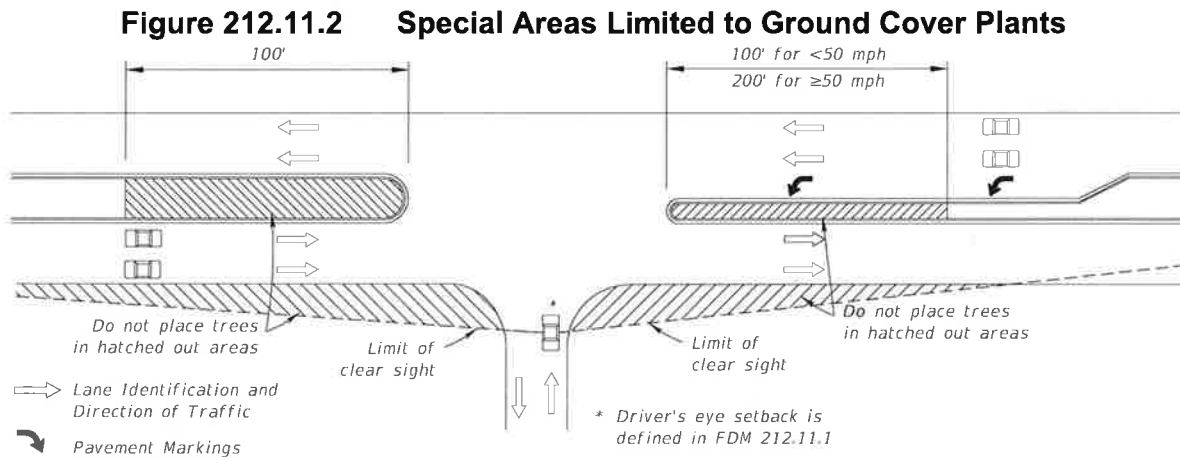
Notes:

- (1) For entrances to one-way streets, the downstream restriction (B) may be reduced to 20 feet.
- (2) Do not place parking within 20 feet of a marked crosswalk.

212.11.6 Trees and Vegetation

Intersections should be designed to accommodate the placement of trees and other desired vegetation (e.g., ground cover plants, trunked plants) in C2T, C3C, C4, C5, and C6 context classifications while still maintaining clear sight triangles. Ground cover plants are naturally low-growing plants with a maximum mature height of ≤ 18 inches. Trunked plants are those with a mature trunk diameter of 4 inches or less (measured 6 inches above the ground).

Maintain clear sight triangles for all approaches. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2**. The hatched-out areas are for ground cover plants only. Coordinate with the Project Landscape Architect for the placement of vegetation and the necessary space above and below ground for tree growth that will maintain clear sight triangles.

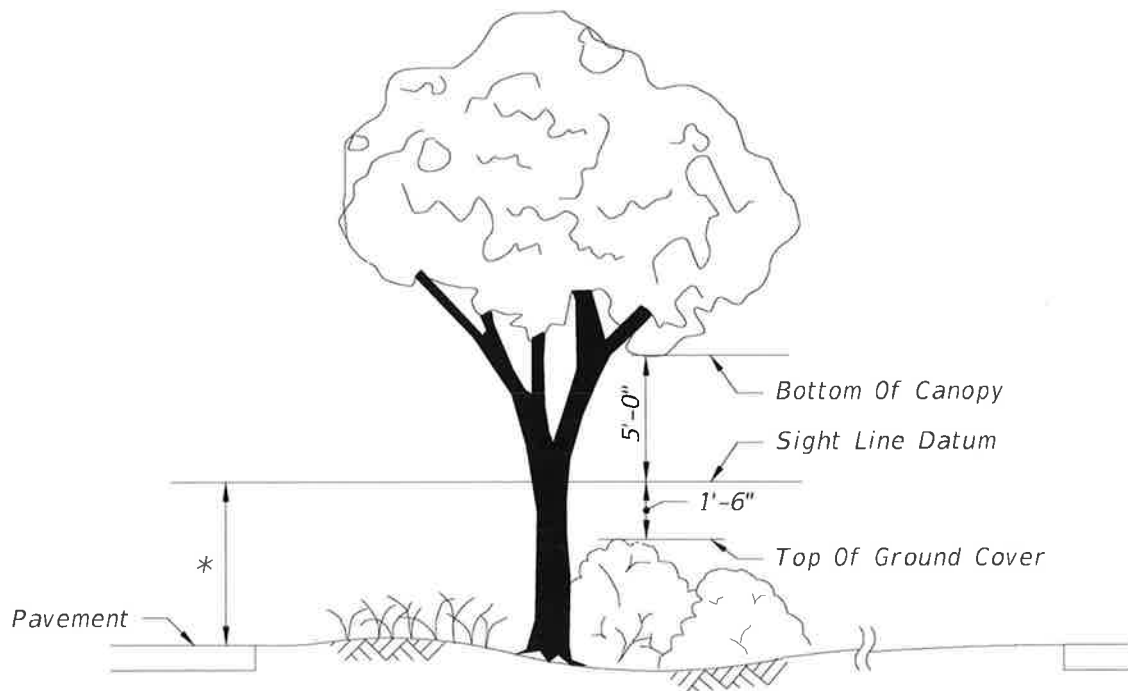


Where left turns from the major road are permitted, do not locate trees within the distance d_b shown in **Table 212.11.1** (see **FDM 212.11.4**) and not less than the distances shown in **Figure 212.11.2** and the spacings in **Table 212.11.3** as applicable.

212.11.6.1 Clear Sight Window Concept

The clear sight window concept may provide opportunities for vegetation within the limits of intersection sight triangles. This concept is illustrated in **Figure 212.11.3**. This detail provides the required vertical clear sight limits with respect to the sight line datum. Do not place trees within the hatched-out areas as shown in **Figure 212.11.2** (even if using the clear sight window concept). The hatched-out areas are for ground cover plants only.

Figure 212.11.3 Window Detail



* Since observations are made in both directions, the line of sight datum between roadways is 3.5 feet above both pavements.

The horizontal limits of the window are defined by clear sight triangles. Within the limits of clear sight triangles, the following restrictions apply:

- Canopy of trees and trunked plants must be at least 5 feet above the sight line datum.
- The top of the ground cover plants must be at least 1.5 feet below the sight line datum.

See **FDM 228.2(2)(a)** for additional information about plant selection and placement. Enforcing these limits provides a clear line of sight for approaches to an intersection.

When trees are located in the median of a divided roadway and fall within the limits of a clear sight triangle, conform to **Table 212.11.3** for tree size and spacing. Spacing values for trees with diameter of 11 inches or less were derived assuming a maximum 6-foot-wide shadow band on a vehicle at the stop bar location when viewed by a mainline driver beginning at sight distance 'd'. This is illustrated in **Figure 212.11.4**. Spacing values for

trees with diameter greater than 11 inches and less than or equal to 18 inches were derived assuming a 2 second full view of the vehicle at the stop bar when viewed by the mainline driver beginning at sight distance 'd'. (See **Figure 212.11.5**).

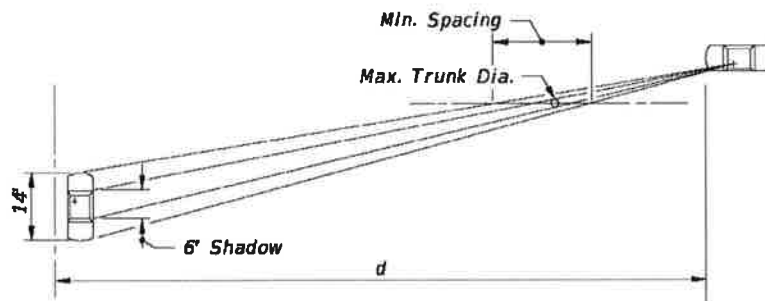
Table 212.11.3 Minimum Tree Spacing

Design Speed (mph)	Minimum Tree Spacing (Center-to-Center of Trunk) (feet)	
	4" < Tree Diameter ≤ 11"	11" < Tree Diameter ≤ 18"
25-30	25	90
35	30	105
40	35	120
45	40	135
50	50	150
55	55	165
60	60	180

Notes:

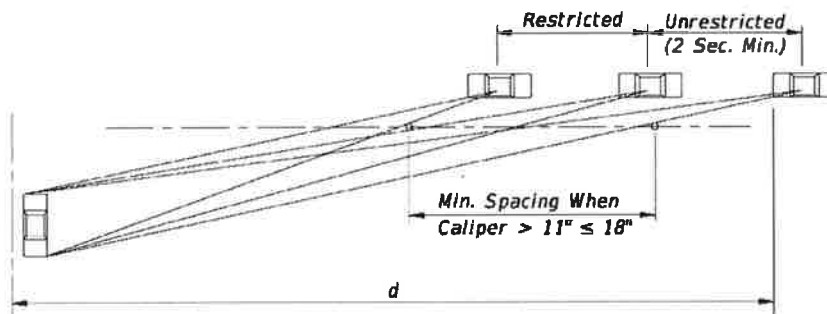
- (1) Size and spacing are based on the following conditions:
 - (a) A single line of trees in the median parallel to but not necessarily collinear with the centerline.
 - (b) A straight approaching mainline and intersection angle between 60° and 120°.
 - (c) Space trees with 4" < Dia. ≤ 11" intermixed with trees with 11" < Dia. ≤ 18" based on trees with 11" < Dia. ≤ 18".
- (2) Detail tree size, spacing, and location in the plans for any other conditions.
- (3) Trunked Plants may be placed on 20-foot centers.

Figure 212.11.4 Shadow Diagram



**SHADOW DIAGRAM
TREE SPACING (DIA. 11" OR LESS)**

Figure 212.11.5 Perception Diagram



**PERCEPTION DIAGRAM
TREE SPACING (DIA. BETWEEN 11" AND 18")**

212.12 Turning Roadways

Turning roadways are typically designed for use by right-turning traffic at intersections. There are three types of right-turning roadways:

- edge-of-traveled-way design
- design with a corner triangular island
- free-flow design using a simple radius or compound radii

The turning radii and the pavement cross slopes for free-flow right turns are functions of design speed and design vehicle.

212.12.1 Edge-of-Traveled-Way Design

When selected design vehicle is to be accommodated within minimum space, corner radii should be based on the required turning path.

Table 212.12.1 provides simple curve radii with and without tapers. **Table 212.12.2** provides symmetric and asymmetric three centered compound curve radii for a range of design vehicles. These values provide the minimum turning paths attainable at design speeds of 10 mph and less.

Figure 212.12.1 demonstrates the angle of turn for use in these tables.

The minimum edge-of-traveled-way values provided in these tables are based on the assumption that the vehicle is properly positioned within the traffic lane at the beginning and end of the turn (2 feet from the edge-of-traveled-way on the tangents approaching and leaving the intersection curve). Such designs follow closely the inner wheel path of the selected design vehicle, with a clearance of 2 feet or more throughout most of the turn, and with a clearance at no point less than 9 inches. Differences in the inner paths of vehicles turning left and right are not sufficient to be significant in design. For this reason, these edge designs also apply to left-turn maneuvers, such as a left turn by a vehicle leaving a divided highway at a very low speed.

Figure 212.12.1 Turn Angle for Turning Roadway Designs

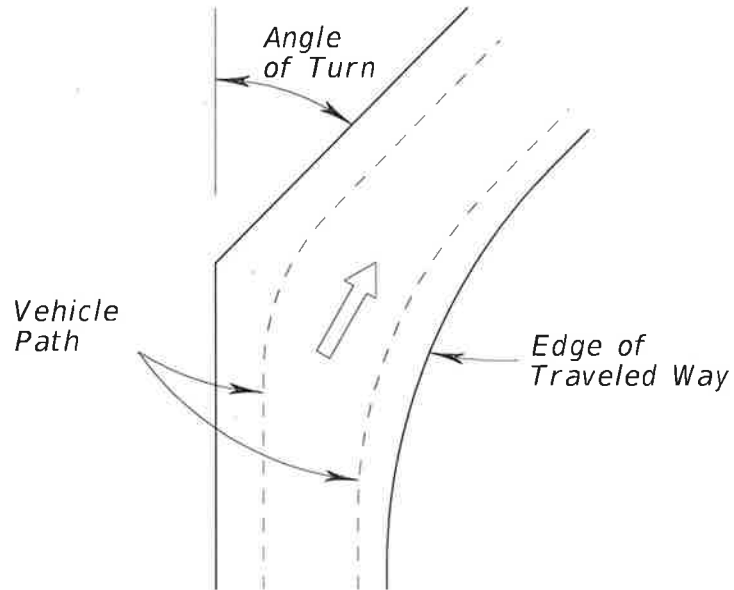


Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
30	P	60	----	----	----
	SU-30	100	----	----	----
	SU-40	140	----	----	----
	WB-40	150	----	----	----
	WB-62	360	220	3.0	15:1
	WB-62FL	380	220	3.0	15:1
	WB-67	380	220	3.0	15:1
	WB-92D	365	190	3.0	15:1
	WB-100T	260	125	3.0	15:1
	WB-109D	475	260	3.5	20:1
45	P	50	----	----	----
	SU-30	75	----	----	----
	SU-40	115	----	----	----
	WB-40	120	----	----	----
	WB-62	230	145	4.0	15:1
	WB-62FL	250	145	4.5	15:1
	WB-67	250	145	4.5	15:1
	WB-92D	270	145	4.0	15:1
	WB-100T	200	115	2.5	15:1
	WB-109D	----	200	4.5	20:1
60	P	40	----	----	----
	SU-30	60	----	----	----
	SU-40	100	----	----	----
	WB-40	90	----	----	----
	WB-62	170	140	4.0	15:1
	WB-62FL	200	140	4.5	15:1
	WB-67	200	140	4.5	15:1
	WB-92B	230	120	5.0	15:1
	WB-100T	150	95	2.5	15:1
	WB-109D	----	180	4.5	20:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
75	P	35	25	2.0	10:1
	SU-30	55	45	2.0	10:1
	SU-40	90	60	2.0	10:1
	WB-40	----	60	2.0	15:1
	WB-62	----	145	4.0	20:1
	WB-62FL	----	145	4.0	20:1
	WB-67	----	145	4.5	20:1
	WB-92D	----	110	5.0	15:1
	WB-100T	----	85	3.0	15:1
	WB-109D	----	140	5.5	20:1
90	P	30	20	2.5	10:1
	SU-30	50	40	2.0	10:1
	SU-40	80	45	4.0	10:1
	WB-40	----	45	4.0	10:1
	WB-62	----	120	4.5	30:1
	WB-62FL	----	125	4.5	30:1
	WB-67	----	125	4.5	30:1
	WB-92D	----	95	6.0	10:1
	WB-100T	----	85	2.5	15:1
	WB-109D	----	115	2.9	15:1
105	P	----	20	2.5	8:1
	SU-30	----	35	3.0	10:1
	SU-40	----	45	4.0	10:1
	WB-40	----	40	4.0	10:1
	WB-62	----	115	3.0	15:1
	WB-62FL	----	115	3.0	15:1
	WB-67	----	115	3.0	15:1
	WB-92B	----	80	8.0	10:1
	WB-100T	----	75	3.0	15:1
	WB-109D	----	90	9.2	20:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
120	P	----	20	2.0	10:1
	SU-30	----	30	3.0	10:1
	SU-40	----	35	6.0	8:1
	WB-40	----	35	5.0	8:1
	WB-62	----	100	5.0	15:1
	WB-62FL	----	105	5.2	15:1
	WB-67	----	105	5.2	15:1
	WB-92D	----	80	7.0	10:1
	WB-100T	----	65	3.5	15:1
	WB-109D	----	85	9.2	20:1
135	P	----	20	1.5	10:1
	SU-30	----	30	4.0	10:1
	SU-40	----	40	4.0	8:1
	WB-40	----	30	8.0	15:1
	WB-62	----	80	5.0	20:1
	WB-62FL	----	85	5.2	20:1
	WB-67	----	85	5.2	20:1
	WB-92D	----	75	7.3	10:1
	WB-100T	----	65	5.5	15:1
	WB-109D	----	85	8.5	20:1
150	P	----	18	2.0	10:1
	SU-30	----	30	4.0	8:1
	SU-40	----	35	7.0	8:1
	WB-40	----	30	6.0	8:1
	WB-62	----	60	10.0	10:1
	WB-62FL	----	65	10.2	10:1
	WB-67	----	65	10.2	10:1
	WB-92B	----	65	11.0	10:1
	WB-100T	----	65	7.3	10:1
	WB-109D	----	65	15.1	10:1

Table 212.12.1 Edge-of-Traveled-Way, Simple Curve Radii, cont.

Angle of Turn (degrees)	Design Vehicle	Simple Curve Radius (feet)	Simple Curve Radius with Taper		
			Radius (feet)	Offset (feet)	Taper H:V
180	P	----	15	0.5	20:1
	SU-30	----	30	1.5	10:1
	SU-40	----	35	6.4	10:1
	WB-40	----	20	9.5	5:1
	WB-62	----	55	10.0	15:1
	WB-62FL	----	55	13.8	10:1
	WB-67	----	55	13.8	10:1
	WB-92D	----	55	16.8	10:1
	WB-100T	----	55	10.2	10:1
	WB-109D	----	55	20.0	10:1

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
30	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	----	----	----	----
	WB-62FL	460-175-460	4.0	300-175-550	2.0-4.5
	WB-67	460-175-460	4.0	300-175-550	2.0-4.5
	WB-92D	550-155-550	4.0	200-150-500	2.0-6.0
	WB-100T	220-80-220	4.5	200-80-300	2.5-5.0
	WB-109D	550-250-550	5.0	250-200-650	1.5-7.0

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
45	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	460-240-460	2.0	120-140-500	3.0-8.5
	WB-62FL	460-175-460	4.0	250-125-600	1.0-6.0
	WB-67	460-175-460	4.0	250-125-600	1.0-6.0
	WB-92D	525-155-525	5.0	200-140-500	1.5-6.0
	WB-100T	250-80-250	4.5	200-80-300	2.5-5.5
	WB-109D	550-200-550	5.0	200-170-650	1.5-7.0
60	P	----	----	----	----
	SU-30	----	----	----	----
	SU-40	----	----	----	----
	WB-40	----	----	----	----
	WB-62	400-100-400	15.0	110-100-220	10.0-12.5
	WB-62FL	400-100-400	8.0	250-125-600	1.0-6.0
	WB-67	400-100-400	8.0	250-125-600	1.0-6.0
	WB-92D	480-110-480	6.0	150-110-500	3.0-9.0
	WB-100T	250-80-250	4.5	200-80-300	2.0-5.5
	WB-109D	650-150-650	5.5	200-140-600	1.5-8.0
75	P	100-25-100	2.0	----	----
	SU-30	120-45-120	2.0	----	----
	SU-40	200-35-200	5.0	60-45-200	1.0-4.5
	WB-40	120-45-120	5.0	120-45-195	2.0-6.5
	WB-62	440-75-440	15.0	140-100-540	5.0-12.0
	WB-62FL	420-75-420	10.0	200-80-600	1.0-10.0
	WB-67	420-75-420	10.0	200-80-600	1.0-10.0
	WB-92B	500-95-500	7.0	150-100-500	1.0-8.0
	WB-100T	250-80-250	4.5	100-80-300	1.5-5.0
	WB-109D	700-125-700	6.5	150-110-550	1.5-11.5

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
90	P	100-20-100	2.5	----	----
	SU-30	120-40-120	2.0	----	----
	SU-40	200-30-200	7.0	60-45-200	1.0-4.5
	WB-40	120-40-120	5.0	120-40-200	2.0-6.5
	WB-62	400-70-400	10.0	160-70-360	6.0-10.0
	WB-62FL	440-65-440	10.0	200-70-600	1.0-11.0
	WB-67	440-65-440	10.0	200-70-600	1.0-11.0
	WB-92D	470-75-470	10.0	150-90-500	1.5-8.5
	WB-100T	250-70-250	4.5	200-70-300	1.0-5.0
WB-109D	700-110-700	6.5	100-95-550	2.0-11.5	
105	P	100-20-100	2.5	----	----
	SU-30	100-35-100	3.0	----	----
	SU-40	200-35-200	6.0	60-40-190	1.5-6.0
	WB-40	100-35-100	5.0	100-55-200	2.0-8.0
	WB-62	520-50-520	15.0	360-75-600	4.0-10.5
	WB-62FL	500-50-500	13.0	200-65-600	1.0-11.0
	WB-67	500-50-500	13.0	200-65-600	1.0-11.0
	WB-92D	500-80-500	8.0	150-80-500	2.0-10.0
	WB-100T	250-60-250	5.0	100-60-300	1.5-6.0
WB-109D	700-95-700	8.0	150-80-500	3.0-15.0	
120	P	100-20-100	2.0	----	----
	SU-30	100-30-100	3.0	----	----
	SU-40	200-35-200	6.0	60-40-190	1.5-5.0
	WB-40	120-30-120	6.0	100-30-180	2.0-9.0
	WB-62	520-70-520	10.0	80-55-520	24.0-17.0
	WB-62FL	550-45-550	15.0	200-60-600	2.0-12.5
	WB-67	550-45-550	15.0	200-60-600	2.0-12.5
	WB-92D	500-70-500	10.0	150-70-450	3.0-10.5
	WB-100T	250-60-250	5.0	100-60-300	1.5-6.0
WB-109D	700-85-700	9.0	150-70-500	7.0-17.4	

Table 212.12.2 Edge-of-Traveled-Way, 3-Centered Compound Curves, cont.

Angle of Turn (degrees)	Design Vehicle	3-Centered Compound Curve			
		Curve Radii (ft)	Symmetric Offset (ft)	Curve Radii (ft)	Asymmetric (ft)
135	P	100-20-100	1.5	----	----
	SU-30	100-30-100	4.0	----	----
	SU-40	200-40-200	4.0	60-40-180	1.5-5.0
	WB-40	120-30-120	6.5	100-25-180	3.0-13.0
	WB-62	600-60-600	12.0	100-60-640	14.0-7.0
	WB-62FL	550-45-550	16.0	200-60-600	2.0-12.5
	WB-67	550-45-550	16.0	200-60-600	2.0-12.5
	WB-92D	450-70-450	9.0	150-65-450	7.0-13.5
	WB-100T	250-60-250	5.5	100-60-300	2.5-7.0
	WB-109D	700-70-700	12.5	150-65-500	14.0-18.4
150	P	75-20-75	2.0	----	----
	SU-30	100-30-100	4.0	----	----
	SU-40	200-35-200	6.5	60-40-200	1.0-4.5
	WB-40	100-30-100	6.0	90-25-160	1.0-12.0
	WB-62	480-55-480	15.0	140-60-560	8.0-10.0
	WB-62FL	550-45-550	19.0	200-55-600	7.0-16.4
	WB-67	550-45-550	19.0	200-55-600	7.0-16.4
	WB-92D	350-60-350	15.0	120-65-450	6.0-13.0
	WB-100T	250-60-250	7.0	100-60-300	5.0-8.0
	WB-109D	700-65-700	15.0	200-65-500	9.0-18.4
180	P	50-15-50	0.5	----	----
	SU-30	100-30-100	1.5	----	----
	SU-40	150-35-150	6.2	50-35-130	5.5-7.0
	WB-40	100-20-100	9.5	85-20-150	6.0-13.0
	WB-62	800-45-800	20.0	100-55-900	15.0-15.0
	WB-62FL	600-45-600	20.5	100-55-400	6.0-15.0
	WB-67	600-45-600	20.5	100-55-400	6.0-15.0
	WB-92B	400-55-400	16.8	120-60-400	9.0-14.5
	WB-100T	250-55-250	9.5	100-55-300	8.5-10.5
	WB-109D	700-55-700	20.0	200-60-500	10.0-21.0

For curbed intersections, the effective turning radius must be considered in addition to the actual curb radius. As shown in **Figure 212.12.2**, where a parking lane (or bike lane) is present, the vehicle turn is offset from the edge of the roadway by the width of the parking lane or bike lane, creating an “effective turning radius” that is larger than the physical curb radius. Where there is no parking lane or bike lane, the corner radius and effective turning radius are the same. To minimize pedestrian crossing distance, designers should provide the shortest curb radius possible or provide bulbouts within the effective turnin radius area. The corner radii should follow the guidance in **Table 212.12.3**, and accommodate the following:

- The control vehicle, design vehicle, and design speed for each street
- Available R/W
- Angle of turn between intersection legs
- Presence of on-street parking or a bike lane
- The width and number of lanes on the intersecting street

Figure 212.12.2 Actual Curb Radius Vs Effective Radius

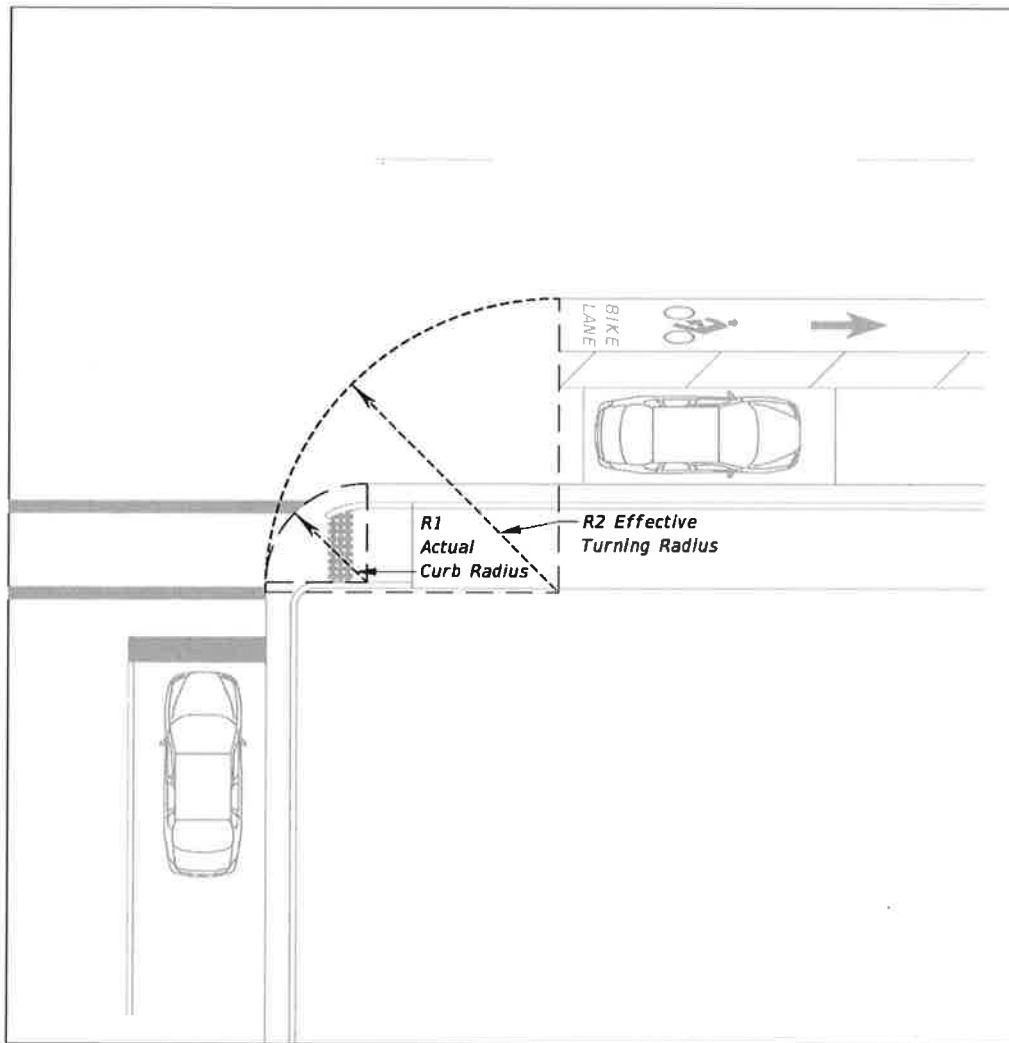


Table 212.12.3 Recommended Corner Radii

R1 Actual Curb Radius (ft)	R2 Effective Turning Radius (ft)	Operational Characteristics
5-30	25 - 30	P vehicles and SU vehicles with minor lane encroachment
5-40	40	P vehicles, SU vehicles, and WB-40 vehicles with minor encroachment
5-50	50	All vehicles up to WB-40
Notes: (1) Table 212.12.3 assumes perpendicular intersections. For skewed intersections, establish radius using AutoTurn or turning templates. (2) Confirm the actual curb radius using AutoTurn or turn templates.		

Guidelines for corner radii in C4, C5, and C6 context classification without on-street parking or a bike lane are as follows:

- (1) Radii of 15 to 25 feet are adequate for passenger vehicles. These radii are suitable for minor cross streets where there is little occasion for trucks to turn and at major intersections where there are parking lanes;
- (2) Radii of 25 feet or more should be provided at minor cross streets on new construction or reconstruction projects;
- (3) Radii of 30 feet or more should be provided at minor cross streets where practical so that an occasional truck can turn without too much encroachment;
- (4) Radii of 40 feet or more or preferably three-centered curves or simple curves with tapers to fit the paths of large truck combinations, should be provided where such combinations or buses turn frequently. Where speed reductions would cause problems, larger radii should be considered; and,
- (5) Curb radii should be coordinated with crosswalk distances or special designs should be used to make crosswalks efficient for all pedestrians. Where larger radii are used, an intermediate refuge or median island is desirable or crosswalks may need to be offset so that crosswalk distances are not excessive. See **FDM 210.3** for additional information on islands.

212.12.2 Turning Roadways with Corner Islands

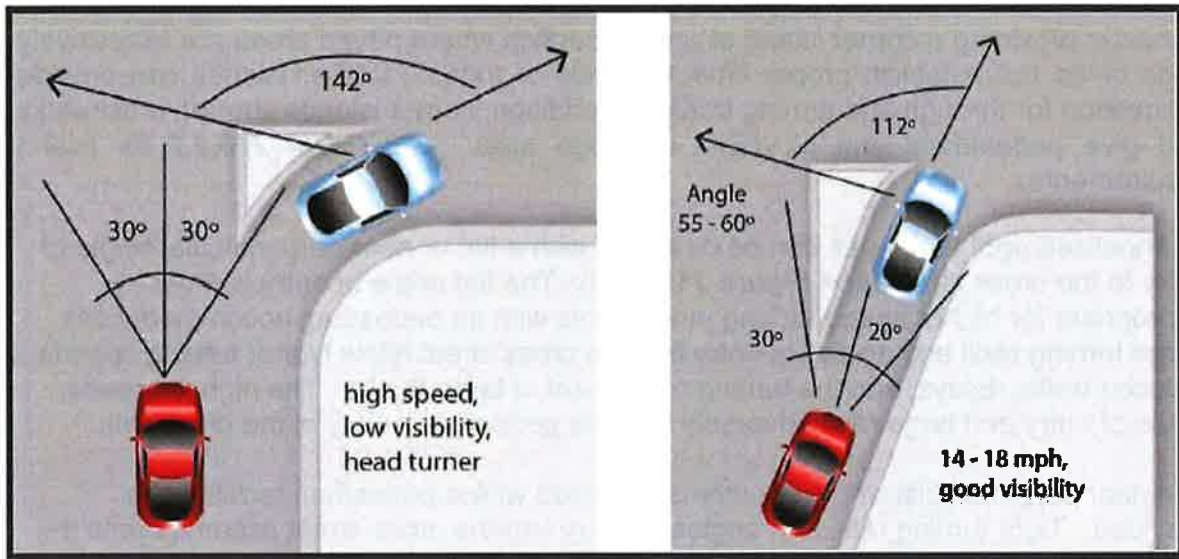
Consider providing a corner island at an intersection where paved areas are excessively large or do not establish proper channelization of traffic. Corner islands can provide delineation for through and turning traffic. In addition, corner islands shorten crosswalks and give pedestrians and bicyclists a refuge area. See **FDM 210.3.2** for island requirements.

Channelized right turn lanes can be designed with a flat or near perpendicular angle of entry to the cross street (see **Figure 212.12.3**). The flat angle of entry is most appropriate for higher speed turning movements with no pedestrian accommodations. Large turning radii and angles of entry into the cross street allow higher turning speeds, reduced traffic delays, and the turning movement of large trucks. The higher speeds, angle of entry and large radii adversely impacts pedestrian safety at the crosswalk.

The near perpendicular angle of entry is preferred where pedestrian facilities are provided. Tight turning radii and angles of entry into the cross street accommodate the following:

- Slower turning speeds,
- Reduced cross walk length,
- Improved pedestrian visibility,
- Improved sight distance
- Decreased angle of driver head turning
- Reduced right-of-way impacts.

Figure 212.12.3 Channelized Right Turn Lanes



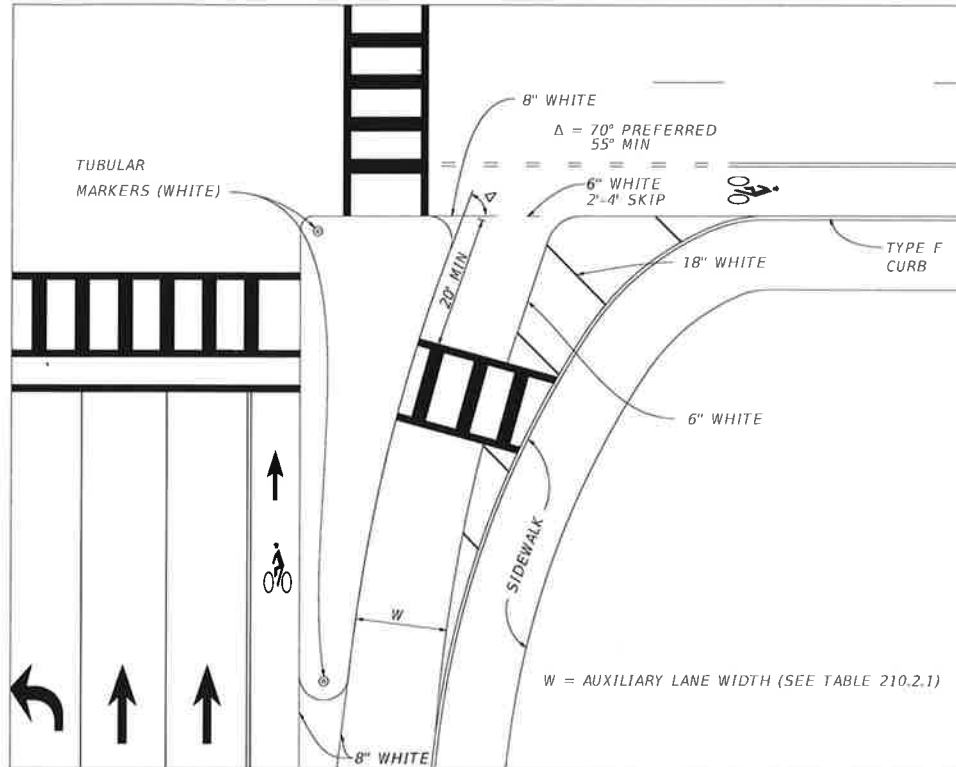
Ref: Figure 9-19, 2018 AASHTO Green Book

Consider the near perpendicular right turn lane design in **Figure 212.12.4** when the following conditions are met:

- Context Classification C2T, C3, C4, C5 and C6
- Low speed roadway (design speeds 45 mph and less)
- Pedestrian traffic is expected
- No acceleration lane is provided

This design includes the previously mentioned benefits to passenger cars and pedestrians with stripping and a scalene triangle shaped corner island. An approaching deceleration lane is preferred to provide vehicles additional time to stop for crossing pedestrians. The crosswalk is set back 20 feet minimum from the end of the island to allow room for a passenger car to wait for a gap in traffic with out blocking the crosswalk. As shown in **Figure 212.12.4**, the outside curb radii can be designed to accommodate over tracking of large vehicles such as single-unit trucks, transit, or Florida Interstate Semi-trailers (WB-62FL).

Figure 212.12.4 Near Perpendicular Right Turn Lane



212.12.3 Free-Flow Design

Provide superelevation on free flow turning roadways. An important part of the design on some intersections is the design of a free-flow alignment for turns. Ease and smoothness of operation can result when the free flow turning roadway is designed with compound curves preceded by a deceleration lane. Turning radii and pavement cross slope for free flow right turns at speeds greater than 10 mph are a function of the design speed and design vehicle. In general, the design speed of the turning roadway should be equal to, or within 10 to 20 mph less than the through roadway design speed.

It is desirable to provide as much superelevation as practical on intersection curves, particularly where the intersection curve is sharp and on a downgrade. However, the short curvature and short lengths of turning roadways often prevents the development of a desirable rate of superelevation. **Table 212.12.4** provides the minimum superelevation rates in relation to design speed. The wide variation in likely speeds on intersection curves precludes the need for precision, so only the minimum superelevation rate is given for each design speed and intersection curve radius.

Table 212.12.4 Superelevation Rates for Turning Roadways

	Design Speed (mph)							
	10	15	20	25	30	35	40	45
Minimum Superelevation Rate	NC	NC	0.02	0.04	0.06	0.08	0.09	0.10
Minimum Radius (feet)	25	50	90	150	230	310	430	540

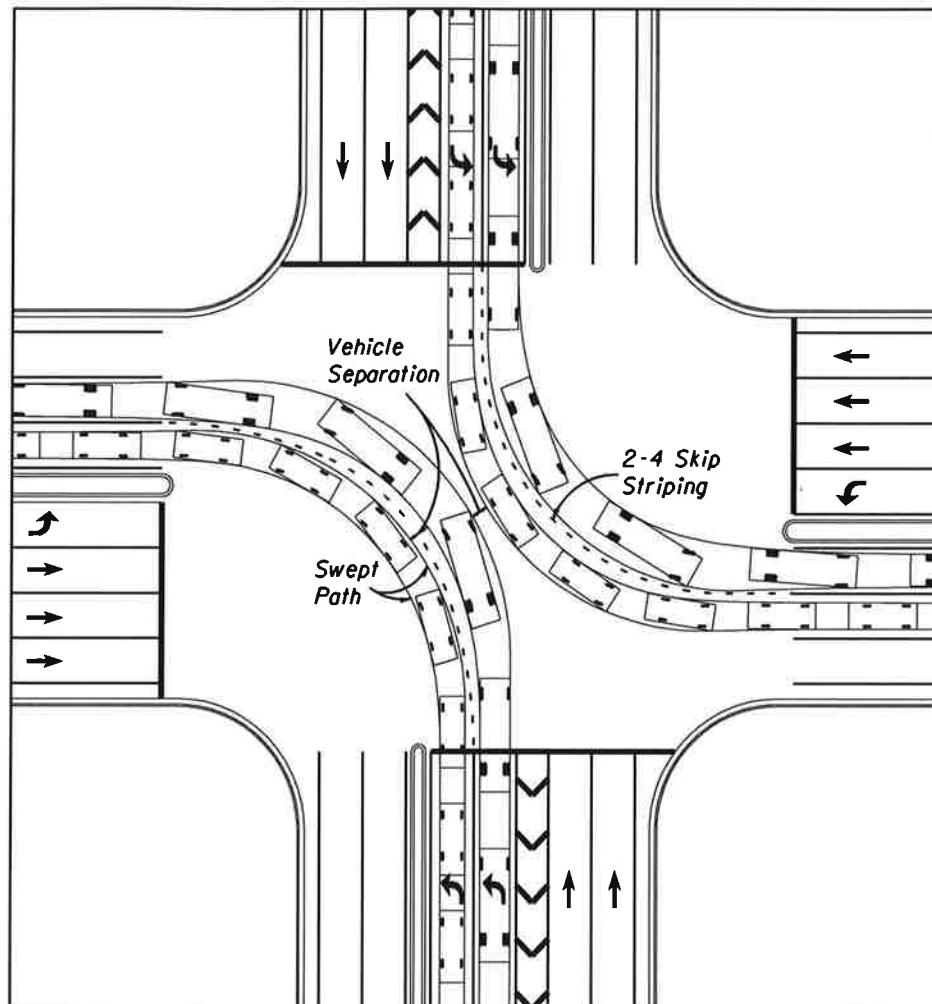
See **FDM 210.9** for additional superelevation criteria.

212.12.4 Dual and Triple Left Turns

Double and triple turn lanes require turning radii that will accommodate the selected design vehicles turning simultaneously. The radius of curvature in combination with the track width of the design vehicles will establish the required width within the turn. Lane lines (i.e., guidelines) and width requirements should be determined by plotting the swept paths of the selected design vehicles. For preliminary layout of intersection geometry, use the swept path of the design vehicle on the inside turning lane to locate the median nose and crosswalk on the crossing street (at the receiving point of the left turn).

Design of dual turns should accommodate a SU-40 vehicle and a P vehicle turning simultaneously, as illustrated in **Figure 212.12.5**.

Figure 212.12.5 P and SU Design Vehicles Turning Simultaneously



Design of triple left turns should accommodate a WB-62FL (outside lane), a SU-40 (center or inside lane), and a P vehicle (center or inside lane) turning simultaneously.

Establish control radius for the inside turning lane based on the guidance in **FDM 212.14.5** and **Table 212.9.2**. Establish the inside edge of the outer lane by providing a minimum 4-foot separation between swept paths of the selected design vehicles traveling in the same direction. Except for turns with large radii, the inside edge of the outer lane will not be concentric with the selected control radius. Radius for the inside edge of the outer turn lane should be determined by analysis of the plotted swept path of the design vehicles.

Provide minimum 8-foot separation between vehicles traveling in opposing direction. Separation may be less than 8 feet when:

- (1) Turning paths are highly visible and speeds are low, or
- (2) Signal left turn phases are not concurrent for the opposing directions.

212.13 Islands

See **FDM 210.3** for island criteria.

212.14 Auxiliary Lanes

The primary function of auxiliary lanes at intersections is to accommodate speed changes, storage and maneuvering of turning traffic. The length of the auxiliary lanes is the sum of the deceleration length, queue length and approach end taper. Pavement marking requirements for auxiliary lanes are included in [Standard Plans, Index 711-001](#).

212.14.1 Deceleration Length

The required total deceleration length is that needed for a safe and comfortable stop from the design speed of the highway. See **Exhibit 212-1** for minimum deceleration lengths (including taper) for left turn lanes.

Right turn lane tapers and lengths are identical to left turn lanes under stop control conditions. Right turn lane tapers and lengths are site-specific for free-flow or yield conditions.

212.14.2 Queue Length

The queue length provided should be based on a traffic study.

For low volume intersections where a traffic study is not justified, a minimum 50-foot queue length (2 vehicles) should be provided for C1, C2, and C3R context classifications. A minimum 100-foot queue length (4 vehicles) should be provided in C2T, C3C, C4, C5, and C6 context classifications. Locations with over 10% truck traffic should accommodate at least one car and one truck.

For queue lengths at signalized intersections, refer to **FDM 232.2**.

212.14.3 Approach End Taper

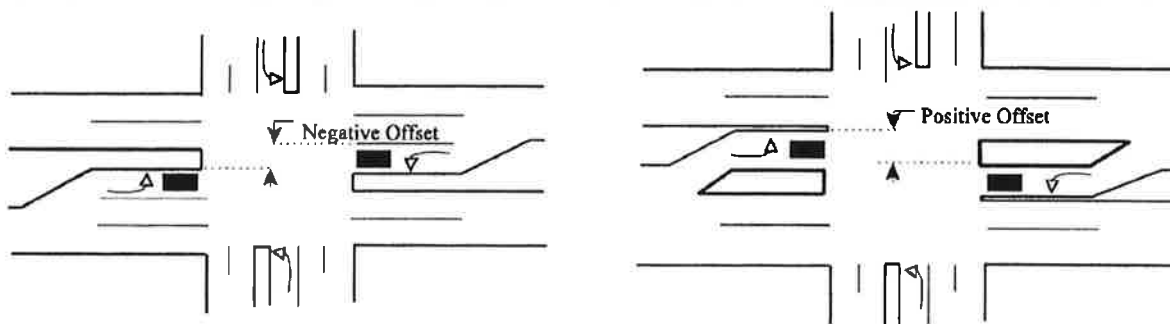
The length of approach end tapers is 50 feet for a single turn lane and 100 feet for two or more turn lanes, as shown **Exhibit 212-1**. These taper lengths apply to all design speeds.

212.14.4 Offset Left Turn Lanes

The alignment of opposing left-turn lanes and the horizontal and vertical curvature on the approaches are the principal geometric design elements that determine how much sight distance is available to a left-turning driver. Vehicles queuing in opposing left-turn lanes restrict each other's view of oncoming traffic in the through lanes. The level of restricted view depends on the alignment of opposing left-turn lanes with respect to each other and the type of vehicles in the opposing queue.

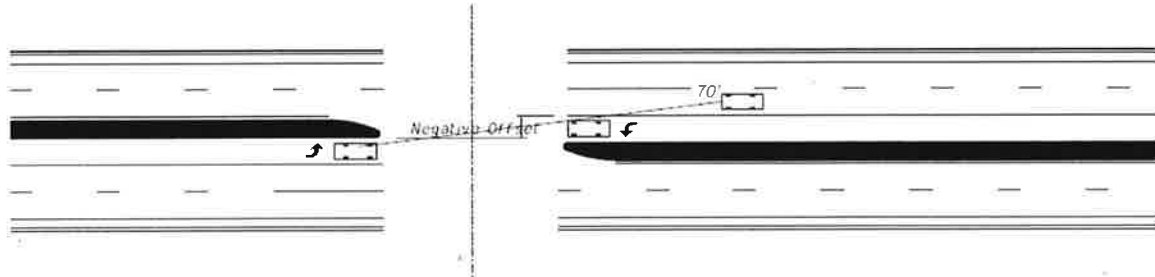
The offset distance is defined as the distance between the left edge of the turn lane and the right edge of the opposing turn lane. If the offset distance is to the left of the turn lane it is considered a negative offset, and if it is to the right of turn lane it is considered a positive offset, as illustrated in **Figure 212.14.1**.

Figure 212.14.1 Negative and Positive Offset Left Turns



The conventional method of designing left turn lanes is to place the left turn lanes adjacent to the through lanes. This design creates a negative offset which restricts the sight distance of the left-turning driver's view of oncoming traffic when another vehicle is in the opposing turn lane. **Figure 212.14.2** indicates the negative offset when the conventional design is used.

Figure 212.14.2 Opposing Left Turns (22' Median with Negative 10' Offset)

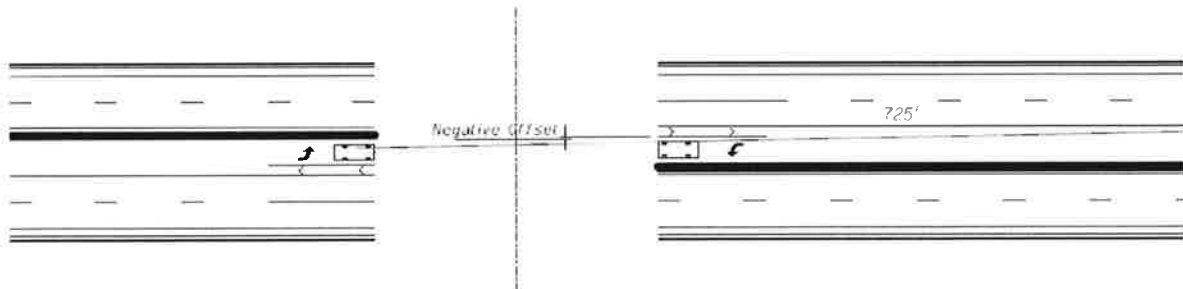


On curbed roadway designs, offset left-turn lanes should be used with median widths greater than 18 feet. A 4-foot traffic separator should be used when possible to channelize the left turn and provide separation from opposing traffic.

Consider offset left-turn lanes at C1, C2, and C3R context classification intersections with high turning movements. For median widths 30 feet or less, use a parallel offset left-turn lane. Stripe the area between the offset left-turn lane and the traffic lane where vehicles are moving in the same direction. For medians wider than 30 feet, consider a tapered offset left-turn lane. An offset left is illustrated in **Figure 212.14.3**.

2011 AASHTO Green Book Figure 9-52 illustrates the design of parallel and tapered left turn lanes.

Figure 212.14.3 Typical Opposing Left Turns (22' Median with Negative 1' Offset)



At locations where the full offset distances cannot be obtained, it is recommended that the minimum offset distances shown in **Table 212.14.1** be provided to achieve minimum required sight distances according to design speed. It is recommended that the "Opposing Truck" values be used where the opposing left-turn traffic includes a moderate to heavy volume of large trucks.

Table 212.14.1 Minimum Offset Distances for Left-Turn Lanes

Design Speed (mph)	Minimum Offset (feet)	
	Opposing Car	Opposing Truck
≤ 30	1.0	3.0
35	1.5	3.5
40 - 45	2.0	4.0
50 - 55	2.5	4.5
60 - 65	3.0	4.5
70	3.0	5.0

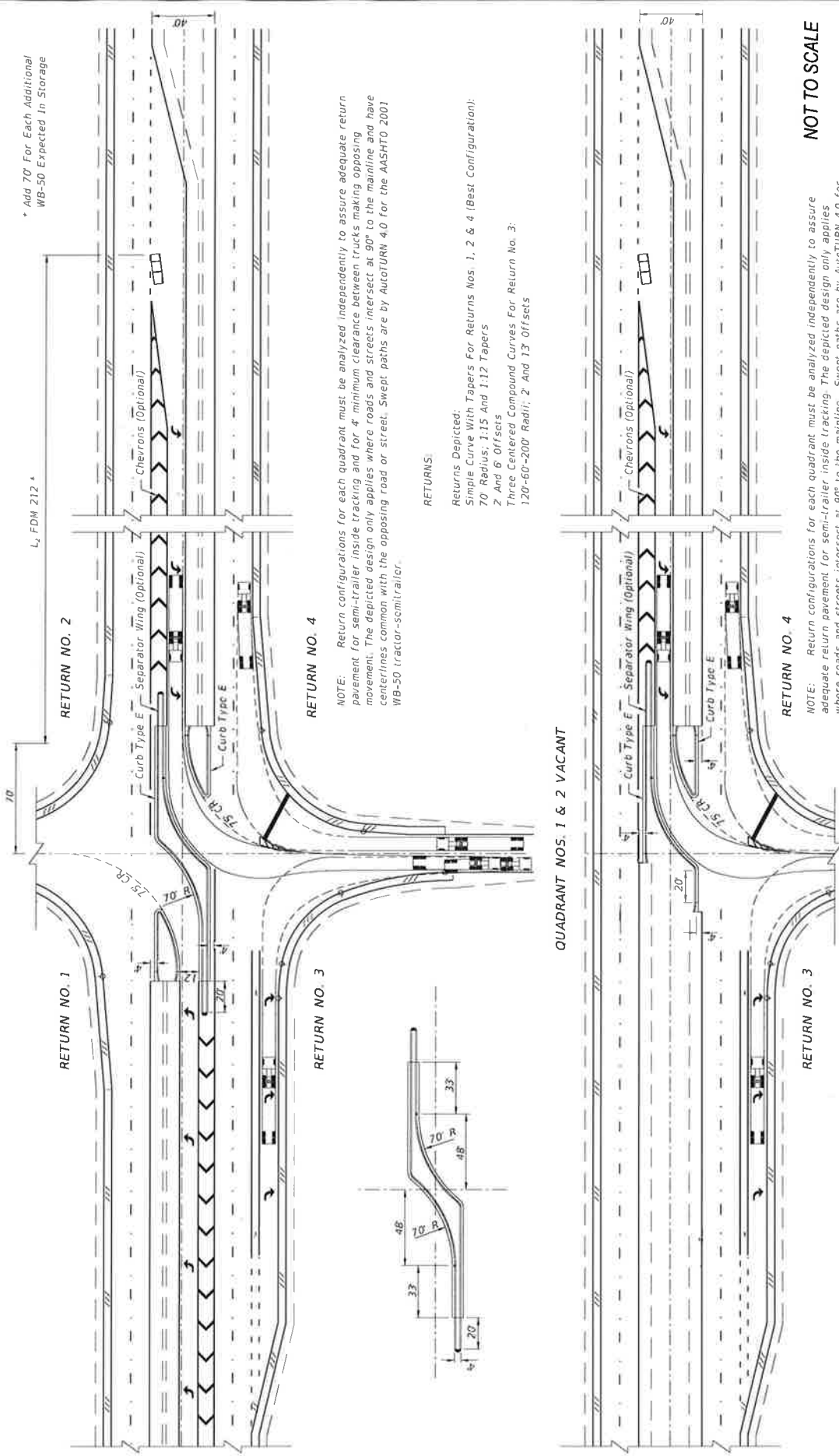
212.14.5 Directional Median Openings

Directional (channelized) median openings are designed to accommodate left-turn movements from the through roadway and prevent or discourage left-turn and crossing movements by traffic from a side road or driveway. Directional median openings are to be provided in accordance with the access management plan for the roadway.

The design of a directional median opening must accommodate the swept path of the predominant design vehicle. Channelization may be achieved using a combination of traffic separators, islands, and tubular markers. See **FDM 210** for additional information on islands. See **Standard Plans, Index 520-020** for standard details for 4 feet, 6 feet and 8.5 feet wide traffic separators. See **FDM 230.2.7** for additional information on tubular markers.

Typical layouts for directional median openings for high-speed roadways with 40-foot-wide medians are provided in **Exhibits 212-8, 212-9 and 212-10**. Type E curb and raised islands in conjunction with the minimum offsets shown in these figures may be used on high-speed roadways for directional median openings.

DIRECTIONAL MEDIAN OPENING: WB-50 PARALLEL TURN BAY



* Add 70' For Each Additional WB-50 Expected In Storage

L, FDM 212 *

RETURN NO. 4

NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking and for 4' minimum clearance between trucks making opposing movement. The depicted design only applies where roads and streets intersect at 90° to the mainline and have centerlines common with the opposing road or street. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 WB-50 tractor-semitrailer.

RETURNS

Returns Depicted:
 Simple Curve With Tapers For Returns Nos. 1, 2 & 4 (Best Configuration):
 70' Radius; 1:15 And 1:12 Tapers
 2' And 6' Offsets
 Three Centered Compound Curves For Return No. 3:
 120'-60'-200' Radii; 2' And 13' Offsets

QUADRANT NOS. 1 & 2 VACANT

RETURN NO. 4

NOTE: Return configurations for each quadrant must be analyzed independently to assure adequate return pavement for semi-trailer inside tracking. The depicted design only applies where roads and streets intersect at 90° to the mainline. Swept paths are by AutoTURN 4.0 for the AASHTO 2001 WB-50 tractor-semitrailer.

NOT TO SCALE

EXHIBIT 212-9
01/01/2018

