



**CITY OF BELLE ISLE, FL**  
**PLANNING & ZONING BOARD MEETING**

Held in City Hall Chambers 1600 Nela Avenue, Belle Isle FL

Held the 4th Tuesday of Every Month

Tuesday, February 28, 2023 \* 6:30 PM

**AGENDA**

**Planning and Zoning Board Members**

District 1 member – David Woods, VChair | District 2 member – Christopher Shenefelt | District 3 member – OPEN SEAT  
District 4 member – Vinton Squires | District 5 member – Rainey Lane | District 6 member – Andrew Thompson  
District 7 member – Dr. Leonard Hobbs

Welcome to the City of Belle Isle Planning & Zoning meeting. Agendas and all backup material supporting each agenda item are available in the City Clerk's office or on the city's website at [www.belleislefl.gov](http://www.belleislefl.gov). Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

**1. Call to Order and Confirmation of Quorum**

**2. Invocation and Pledge to Flag – Board member Hobbs**

**3. Approval of Minutes**

a. Approval of P&Z Meeting minutes - January 24, 2023

**4. Public Hearings**

a. Permit #2023-02-008 - PURSUANT TO BELLE ISLE CODE SEC. 50-102 (A) (5) (A) AND SEC. 50-102 (A) (5) (F), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO CONSTRUCT A DETACHED GARAGE WITHIN 10 FEET OF THE REAR SETBACK REQUIREMENT AND EXCEED THE ALLOWABLE TOTAL MAXIMUM SQUARE FOOTAGE OF 600 SQUARE FEET, SUBMITTED BY APPLICANT KYLE SHEPPERD, REPRESENTING THE HOMEOWNERS ROBERT L KERSHNER AND PATRICIA B KERSHNER LOCATED AT 1729 IDAHO AVENUE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL #25-23-29-5884-18-220.

b. Site Plan Review: Permit #2023-02-016 - PURSUANT TO BELLE ISLE CODE SEC. 54-82 (F) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SITE PLAN REVIEW TO CONSTRUCT A NEW ADDITIONAL BUILDING, DEMOLISH, REBUILD, AND EXPAND AN EXISTING BUILDING, RENOVATE AN EXISTING BUILDING, CONSTRUCT AN OPEN CANOPY, AND CREATE ADDITIONAL PARKING, SUBMITTED BY PAUL KUCK, CHIEF OPERATING OFFICER OF REGAL MARINE INDUSTRIES LOCATED AT 2300 JETPORT DRIVE AND JETPORT DRIVE ALSO KNOWN AS 31-23-30-0000-00-004, 31-23-30-0000-00-011, 31-23-30-0000-00-012, 31-23-30-0000-00-027, AND 31-23-30-0000-00-029.

**5. Other Business**

**6. Adjournment**

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APPEALS: "If a person decides to appeal (Belle Isle's City Code Section 42-71) any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105). A notice of appeal to the City Clerk should be submitted within fifteen (15) days after such recommendation or decision is made "Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-851-7730) at least 48 hours in advance of the meeting. --Page 1 of 1



**CITY OF BELLE ISLE, FL  
PLANNING & ZONING BOARD MEETING**

Tuesday, January 24, 2023, \* 6:30 pm  
**MINUTES**

**Planning and Zoning Board Members**

- District 5 member – Rainey Lane-Conduff, Chairman
- District 1 – David Woods, VChair
- District 2 member – Christopher Shenefelt | District 3 member – OPEN
- District 4 member – Vinton Squires | District 6 member – Andrew Thompson
- District 7 member – Dr. Leonard Hobbs

The Belle Isle, Planning & Zoning Board met on October 25, 2022, at 6:30 pm at the City Hall Chambers at 1600 Nela Avenue, Belle Isle, FL 32809.

Present was:

- Board member Lane -Conduff
- Board member Shenefelt
- Board member Squires
- Board member Thompson

Absent was:

- Board member Woods
- District 3 - OPEN
- Board member Hobbs

Also present were City Manager Bob Francis, Attorney Dan Langley, and City Planner Raquel Lozano.

1. **Invocation and Pledge to Flag** – Board member Lane-Conduff, District 5  
Board Member Lane-Conduff gave the invocation and led the pledge to the flag.

2. **Call to Order and Confirmation of Quorum**  
Chairman Lane-Conduff opened the meeting at 6:30 pm and confirmed the quorum.

3. **Approval of Minutes**  
a. Approval of October 25, 2022, meeting minutes  
c. November & December 2022 meetings canceled  
**Board member Squires moved to approve the minutes as presented.**  
**Board member Thompson seconded the motion, which passed unanimously 4:0.**

3. **Public Hearings**  
a. 2022-08-008 - PURSUANT TO BELLE ISLE CODE SEC. 50-102(B)(5), SEC. 50-102(B)(6), SEC. 50-102(B)(16) AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PLACE A FENCE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY AND WITHIN A PORTION OF THE CITY RIGHT-OF-WAY, SUBMITTED BY APPLICANT KEVIN KEENEY LOCATED AT 5428 PARKWAY DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 18-23-30-8856-02-100.

Board member Thompson read Public Hearing Case 2022-08-008 by Title.

Raquel Lozano, City Planner, said the applicant seeks a variance to allow a decorative front yard fence and within the City Right-of-Way from Sec 50-102(b)(5)(a) and 50-102(b)(6). She said the applicant is seeking approval for the safety of their pets and family. Based on the applicant's identification, staff cannot support the variance. Additionally, private fencing in the City's right of ways is prohibited. If the Board moves to approve the request, staff recommends that the applicant files and records a right-of-way agreement with the City before applying for a permit.

Ms. Lozano said they are within their setback configurations; however, due to the configuration of their lot, it falls within the City's right of way. They are the only property in the area with a temporary fence on the City's right of way. The only change from the initial variance application is that the City has created a Right of Way agreement that may be approved with justifying criteria. She further added, If the City needs to access the right-of-way, they do not need homeowner approval to gain access.



The applicant Kevin Keeney residing at 5428 Parkway Drive, said he is requesting the fence for the safety of their pets, and it will act as a barrier from the road. Mr. Keeney noted that he did provide petitions at the initial hearing from his neighbors in favor of the request.

Chairman Lane-Conduff called for public comment.

Ben Brown, the homeowner of 2118 Hoffner Avenue, spoke in favor of the request. He said the Keeneys have a nice-looking yard, and the fence would be a nice addition.

There being no further comments, Chairman Lane-Conduff closed public comments.

After discussing the fence's property line and location, Board member Squires moved pursuant to Belle Isle SEC. 50-102 (B) (6), SEC. 50-102 (B) (16) AND SEC. 42-64 of the Belle Isle Land Development Code, having been met **TO APPROVE A TEMPORARY FENCE IN THE FRONT YARD OF A RESIDENTIAL PROPERTY AND WITHIN A PORTION OF CITY RIGHT-OF-WAY, SUBMITTED BY APPLICANT KEVIN KEENEY LOCATED AT 5428 PARKWAY DRIVE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL # 18-23-30-8856-02-100 WITH THE FOLLOWING CONDITIONS,**

- **Apply and record a Right-of-way Use Agreement with the City**
- **The City may remove the fence if access is required on the right of way**
- **Apply for a Fence Permit. Installation consistent with the current height, material, and temporary installation**

**Board member Thompson seconded the motion, which passed unanimously 4:0.**

Chairman Lane-Conduff said there is a 15-day waiting period for any appeals before starting any work on the fence.

- b. 2022-12-031 - PURSUANT TO BELLE ISLE CODE SEC. 50-102(B)(5), AND SEC. 42-64, THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO KEEP A FENCE THREE FEET IN HEIGHT IN THE FRONT YARD OF A RESIDENTIAL PROPERTY SUBMITTED BY APPLICANT PERRY JAMES WILSON LOCATED AT 2411 NELA AVENUE, BELLE ISLE, FL 32809, ALSO KNOWN AS PARCEL # 19-23-30-5888-03-210.

Board member Thompson read Public Hearing Case 2022-12-031 by Title.

Raquel Lozano, City Planner, said the applicant seeks a variance to keep a 3-foot fence in the front yard. Based on the background of this property, the redevelopment of the land relocated the drain field and septic tank from the rear yard to the front year. As a result, the construction of the principal building created an elevated earth mound in a portion of the front yard. The applicant installed a three-died wall along the perimeter of the earth mound without a permit to redirect stormwater runoff from channeling towards the principal building. The variance satisfies the criteria as a special condition, and staff recommends approval if the front wall barrier does not exceed its intended use, nor would it drastically alter or deviate from the overall character of the neighborhood.

The applicant Perry James resides at 2411 Nela Avenue; he said he was unaware that he needed a permit and would be thankful if the Board could approve his request. The drain field is designed high in the back corner and down towards the street and was inspected by the Environmental Department. The fence is placed outside the slope and designed to not allow the dirt/mound from collapsing towards the house. The drain field has a specific type of soil to help it percolate. He added that Universal Engineering recommended a retaining wall in the future before it settles. However, the fence consisting of PVC-High Grade was the least aggressive and aesthetically pleasing installation. He also placed French drains from the driveway to the backyard to avoid a runoff.

Chairman Lane-Conduff called for public comment. There being no public comment, she closed the public comment section. The Board noted that they did receive many letters of support from the surrounding neighbors. There were no letters in opposition received by staff.

After discussion, Board member Shenefelt moved pursuant to Belle Isle SEC. 50-102 (B) (5) AND SEC. 42-64 of the Belle Isle Land Development Code, having been met **TO APPROVE A FENCE THREE FEET IN HEIGHT IN THE FRONT YARD OF A RESIDENTIAL PROPERTY SUBMITTED BY APPLICANT PERRY JAMES WILSON LOCATED AT 2411 NELA AVENUE, BELLE ISLE, FL 32809, ALSO KNOWN AS PARCEL # 19-23-30-5888-03-210.**  
**Board member Lane-Conduff seconded the motion, which passed unanimously 4:0.**

Chairman Lane-Conduff said there is a 15-day waiting period for any appeals before starting any work on the property. Ms. Lozano noted that after 15 days, the applicant could submit the permit and plans for review and approval.

**4. Other Business**

Motion to Excuse Absence

Chairman Lane-Conduff called for a motion to excise Board members Hobbs and Woods from the meeting.

**Board member Squires moved to excuse Board members Hobbs and Woods.**

**Board member Shenefelt seconded the motion, which passed unanimously 4:0.**

Other Business a. Discussion of Artificial Turf and Public Opinion Survey Results

Raquel Lozano, City Planner, summarized the Staff report and Artificial Turf Public Opinion Survey. As requested by the Board, the survey was developed to ensure the questions were understandable to the general public. The survey yielded a maximum of 107 responses, and the lowest documented response (Question 5) yielded 99 responses. In addition to the survey, she requested information from other City Planners. Based on the interviews, she found a relatively low but steady demand for artificial turf among residential properties. The Code Enforcement department among Florida municipalities typically oversees the final implementation and maintenance of the synthetic product after its installation. The issue citations of the product are not secured and preserved. Among Florida Based Planners, each respondent cited historical and environmental issues regarding artificial turf for its impact on the community permitting process, neighborhood aesthetics, allowable impervious area for a singular lot, and residential landscaping options.

In speaking with Florida Based Planners, she said the most common concerns about allowing artificial turf within the City,

- Creation of a Code to establish parameters and setback requirements
- Provide education to the residents on the use, materials, and installation
- Some materials are not favorable in Florida/Tropical Environment (heat and mold)
- Consideration of pervious material or should it be treated like pavers and concrete

Ms. Lozano said that at a previous Council meeting, a resident addressed serious environmental concerns if artificial turf being allowed in the City.

Chairman Lane-Conduff shared her concerns and said artificial turf is not conducive in Florida and may cause mold. She wants to hear from Engineers and environmentalists on heat, mold, and upkeep. Mr. Francis said there might be equal responses from both sides and recommended that Board members do some research for more information.

Board member Shenefelt said he visited a City down South and spoke on favorable aspects of the installation if appropriately maintained. If allowed, the City should have clear guidelines, permeability study, and stiff penalties, if any.

After discussion, Ms. Lozano recommended that Artificial Turf not be allowed in the City because it may be difficult to enforce. If allowed and recommended by the Board,

- The application should be treated as a Building Permit and be approved and inspected by an Engineer
- Strict code verbiage that addresses setbacks, hard surfaces (pervious/impervious), where allowed, drainage plan, product material, installation, and maintenance plan
- Approve on a case-by-case basis and develop a criterion that applies to the variance process for artificial turf.
- Existing installations before April 2022 may be grandfathered in
- Fee Schedule application
- Artificial Turf Recorded Contract Agreement

Attorney Langley recommends drafting an ordinance that will prohibit the use with strict guidelines and receive variances on a case-by-case basis.

After discussion, Board member Thompson extended the artificial turf moratorium for an additional 6-months to allow for further research and discussion. Board member Shenefelt seconded the motion, which passed unanimously 4:0.

**5. Adjournment**

There being no further business, the meeting was unanimously adjourned at 7:45 pm.

**MEMORANDUM**

**TO:** Planning and Zoning Board

**DATE:** February 28, 2023

**RE:** Variance Application – 1729 Idaho Avenue

Public Hearing #2023-02-008:

PURSUANT TO BELLE ISLE CODE SEC. 50-102 (A) (5) (A) AND SEC. 50-102 (A) (5) (F), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO CONSTRUCT A DETACHED GARAGE WITHIN 10 FEET OF THE REAR SETBACK REQUIREMENT AND EXCEED THE ALLOWABLE TOTAL MAXIMUM SQUARE FOOTAGE OF 600 SQUARE FEET, SUBMITTED BY APPLICANT KYLE SHEPPERD, REPRESENTING THE HOMEOWNERS ROBERT L KERSHNER AND PATRICIA B KERSHNER LOCATED AT 1729 IDAHO AVENUE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL #25-23-29-5884-18-220.

**Background:**

1. On February 2, 2023, the applicant, Robert Kershner, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, February 18, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on February 17, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board will need to determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

**SAMPLE MOTION TO APPROVE:**

"I move, pursuant to Belle Isle SEC. 50-102 (A) (5) (A), SEC. 50-102 (A) (5) (F) AND SEC. 42-64 of the Belle Isle Land Development Code, having been met **TO APPROVE A DETACHED GARAGE WITHIN 10 FEET OF THE REAR SETBACK REQUIREMENT AND EXCEED THE ALLOWABLE TOTAL MAXIMUM SQUARE FOOTAGE OF 600 SQUARE FEET, SUBMITTED BY APPLICANT KYLE SHEPPERD, REPRESENTING THE HOMEOWNERS ROBERT L KERSHNER AND PATRICIA B KERSHNER LOCATED AT 1729 IDAHO AVENUE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL #25-23-29-5884-18-220**

**SAMPLE MOTION TO DENY:**

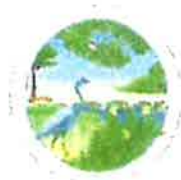
"I move, pursuant to Belle Isle Code SEC. 50-102 (A) (5) (A), SEC. 50-102 (A) (5) (F) AND SEC. 42-64, the justifying criteria of the Belle Isle Land Development Code, having NOT been met; *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] **TO DENY A DETACHED GARAGE WITHIN 10 FEET OF THE REAR SETBACK REQUIREMENT AND EXCEED THE ALLOWABLE TOTAL MAXIMUM SQUARE FOOTAGE OF 600 SQUARE FEET, SUBMITTED BY APPLICANT KYLE SHEPPERD, REPRESENTING THE HOMEOWNERS ROBERT L KERSHNER AND PATRICIA B KERSHNER LOCATED AT 1729 IDAHO AVENUE, BELLE ISLE, FL 32809 ALSO KNOWN AS PARCEL #25-23-29-5884-18-220.***

**SUBSECTION (D)**, a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

**SUBSECTION (E)**, personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

**SUBSECTION (F)**, the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

**SUBSECTION (G)**, the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



# City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809  
Tel 407-851-7730 \* Fax 407-240-2222 \* www.belleislefl.gov

## Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT Kyle S Sheppard	OWNER Robert Kershner
ADDRESS 1700 Triangle Ave.	PROJECT ADDRESS 1729 Idaho Ave.
CONTACT NUMBER 407-415-4158	OWNER'S CONTACT NUMBER 407-257-1521
EMAIL design@categoryarchitecture.com	OWNER'S EMAIL rkershner@southernsafetyand
PARCEL ID# 25-23-29-5884-18-220	
LAND USE CLASSIFICATION	ZONING DISTRICT A-1-A
SECTION OF THE CODE VARIANCE REQUESTED ON SEC. 50-102(A)(5)(A) & 50-102 (A)(5) (F)	
DETAILED VARIANCE REQUEST LONG TERM OWNERS OF 1729 IDAHO AVE ARE REQUESTING A VARIANCE TO ALLOW FOR A GARAGE W/ PORCH OF 1,121 SQ FT (744 SQ FT RESPECTIVELY & MINIMIZINGLY) TO BE DETACHED BY REST 5-25' FROM THE REAR SETBACK	
<ul style="list-style-type: none"> <li>The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property.</li> <li>By applying, I authorize City of Belle Isle employees and members of the P&amp;Z Board to enter my property during reasonable hours to inspect the area to which the application applies.</li> <li>The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies.</li> </ul>	
APPLICANTS SIGNATURE 	OWNER'S SIGNATURE 
<input checked="" type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input type="checkbox"/> OTHER	P&Z CASE NUMBER 2023-02-008 DATE OF HEARING 2-28-2023

Supply.com

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d-g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land

Variance Request Narrative  
1729 Idaho Ave., Orlando, FL 32809

The owners of 1729 Idaho Ave. requesting a variance to allow for the addition of a detached garage and porch modeled from the elevations of the existing home. The new garage is to cater to the automotive hobbyist owners who wish to have a workshop on their property within the proposed garage in the neighborhood that they have grown to love. The property has been in the family since 1970 when Henry Bosser and family moved back to Florida after retiring from the United States Air Force. Current ownership is Robert & Patricia Bosser Kershner, daughter of Henry & Helen Bosser. We are very sentimental about this property, the Belle Isle community & want to construct a tastefully designed workshop. We feel the current design, thanks to Kyle Sheppard, accomplishes that goal.

The area of the structure is designed to be no deeper than the width of the current home and is sized to house two cars, have area to work around, and area store tools. The high ceiling is designed to allow hot air to rise up above the owners while they work and to allow for one lift to work under a vehicle.

The property currently does not have space to add a garage connected to the house without diminishing daylight into a bedroom and bathroom. The other option was off-site garage space. This is not ideal as the family wants to easily share the hobby with the family, would feel less secure off site, and would not allow for future use of the space for other family hobbies such as art/painting.

The first of two requests is in regards to the proposed placement of 5.25' from the rear of the property citing **Sec. 50-102 (a) (5) (a)**. The proposed placement will be 7.5' from the side of the property, and 7' from the existing home. The second request is for a proposed garage to be 1,121sf (744sf garage & 377sf porch) citing **Sec. 50-102 (a) (5) (f)**. Access to the garage is from the current curb cut and current driveway. The density of residence and neighborhood would not be changed. Placement and use of the garage and porch would have no more impact to adjacent properties than expected.

We see this as an opportunity for the busy pedestrian street to interact with the artists and hobbyist who continue to be a part of the neighborhood and see this as a detached extension of their home and the community.

Thank you for reviewing our application for a variance request. We are always available to answer any questions you may have and look forward to participating at the scheduled hearing.

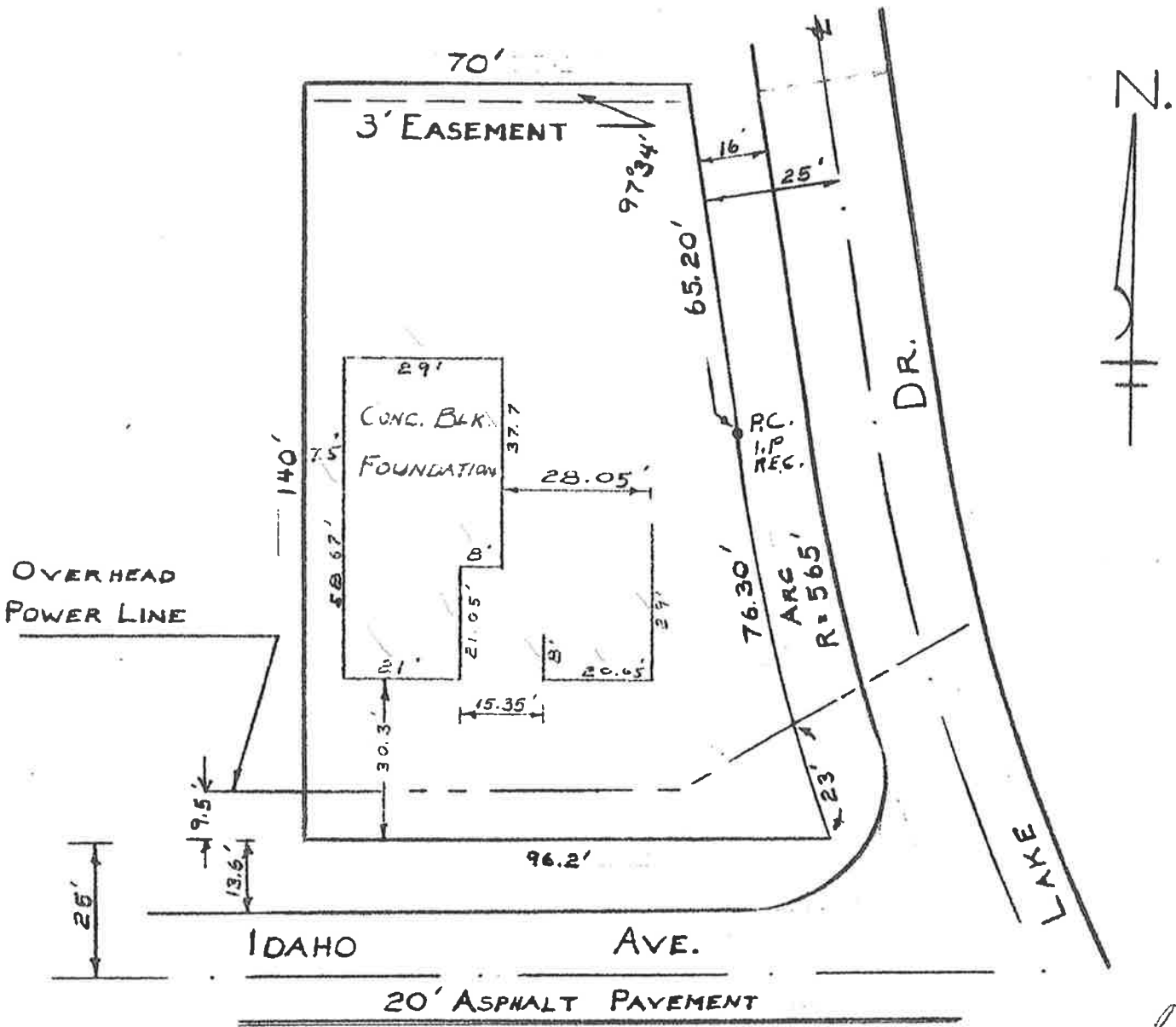
PLAT OF SURVEY

FOR: MR. EARL GORMAN / AND, OR MR. H. L. McLENNAN

a.

DESCRIPTION:

LOT 22, BLOCK B, NELA ISLE MAINLAND SECTION, AS RECORDED IN PLAT BOOK N, PAGE 55, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



27259

CERTIFIED CORRECT

*Ralph Singleton*  
RALPH SINGLETON,  
REGISTERED LAND SURVEYOR NO. 1680  
2107 DANLEY ST., ORLANDO, FLORIDA  
GA-3-3128

DATE: JULY 7, 1965  
FOUNDATION ADDED: 8-7-65  
SCALE: 1" = 50'

JOB NO: 65-178





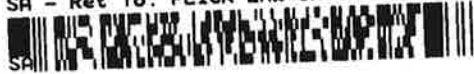




Prepared by and return to:

James M. Flick  
3700 South Conway Road  
Suite 100  
Orlando, FL 32812

DOC# 20200438818  
08/19/2020 03:01:54 PM Page 1 of 2  
Rec Fee: \$18.50  
Deed Doc Tax: \$0.00  
DOR Admin Fee: \$0.00  
Intangible Tax: \$0.00  
Mortgage Stamp: \$0.00  
Phil Diamond, Comptroller  
Orange County, FL  
SA - Ret To: FLICK LAW GROUP P L



(Space above this line reserved for recording office use only)

**WARRANTY DEED**

**BY THIS DEED** made this 7th day of August, 2020, between **Patricia Kershner, a married person**, whose post office address is 6638 Conway Lakes Dr. Belle Isle, Florida 32812 (referred to as "Grantor"), and **Regal Investment Holdings, LLC, a Florida limited liability company**, whose post office address is 365 W. Taft Vineland Road, Suite 100, Orlando, Florida 32824, (referred to as "Grantee").

**WITNESSETH** that the Grantor, for no consideration, does grant, remise, release, convey and confirm unto the Grantee and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Orange, State of Florida, to wit:

LOT 22, BLOCK "R" OF NELA ISLE, MAINLAND SECTION, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK "M", PAGE 55, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA

Property Address: 1729 Idaho Ave, Belle Isle FL 32809

Parcel ID No.: 25-23-29-5884-18-220

Title to the property herein has not been examined or approved by Flick Law Group, P.L.

**SUBJECT TO** all easements, restrictions, declarations and all other matters of record, if any, which are not reimposed hereby, and taxes for the year of conveyance and subsequent years.

**TO HAVE AND TO HOLD** the same, together with all and singular the appurtenances thereto belonging or in anywise appertaining, in fee simple forever.

**AND** the Grantor hereby represents and warrants that said land is neither the homestead or residence of the Grantor, nor is said land adjacent to the homestead or residence of the Grantor.

**AND** the Grantor hereby covenants with said Grantee that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances.

a.

**IN WITNESS WHEREOF** the Grantor has hereunto set his hand and seal on the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Marva G. Flick  
Signature of Witness 1

Patricia Kershner  
Patricia Kershner

Marva G. Flick  
Printed Name of Witness 1

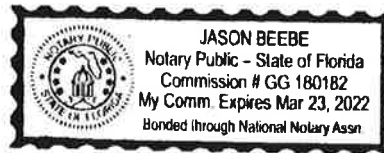
[Signature]  
Signature of Witness 2

Jason Beebe  
Printed Name of Witness 2

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this 7 day of August, 2020, by means of  physical presence or  online notarization, by Patricia Kershner, A who is personally known to me or  who produced the following as identification \_\_\_\_\_.

[Signature]  
(Signature, Notary Public, State of Florida)



12

**Electronic Articles of Organization  
For  
Florida Limited Liability Company**

L20000117903  
FILED 8:00 AM  
May 01, 2020  
Sec. Of State  
thampton

**Article I**

The name of the Limited Liability Company is:  
REGAL INVESTMENT HOLDINGS, LLC

**Article II**

The street address of the principal office of the Limited Liability Company is:  
365 TAFT VINELAND ROAD  
SUITE 100  
ORLANDO, FL. 32824

The mailing address of the Limited Liability Company is:  
365 TAFT VINELAND ROAD  
SUITE 100  
ORLANDO, FL. 32824

**Article III**

The name and Florida street address of the registered agent is:  
LIFEBOAT REGISTERED AGENTS, LLC  
3700 S. CONWAY ROAD  
SUITE 100  
ORLANDO, FL. 32812

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: JAMES M. FLICK

### Article IV

L20000117903  
FILED 8:00 AM  
May 01, 2020  
Sec. Of State  
thampton

The name and address of person(s) authorized to manage LLC:

Title: MGR  
ROBERT L KERSHNER  
365 TAFT VINELAND ROAD, SUITE 100  
ORLANDO, FL. 32824

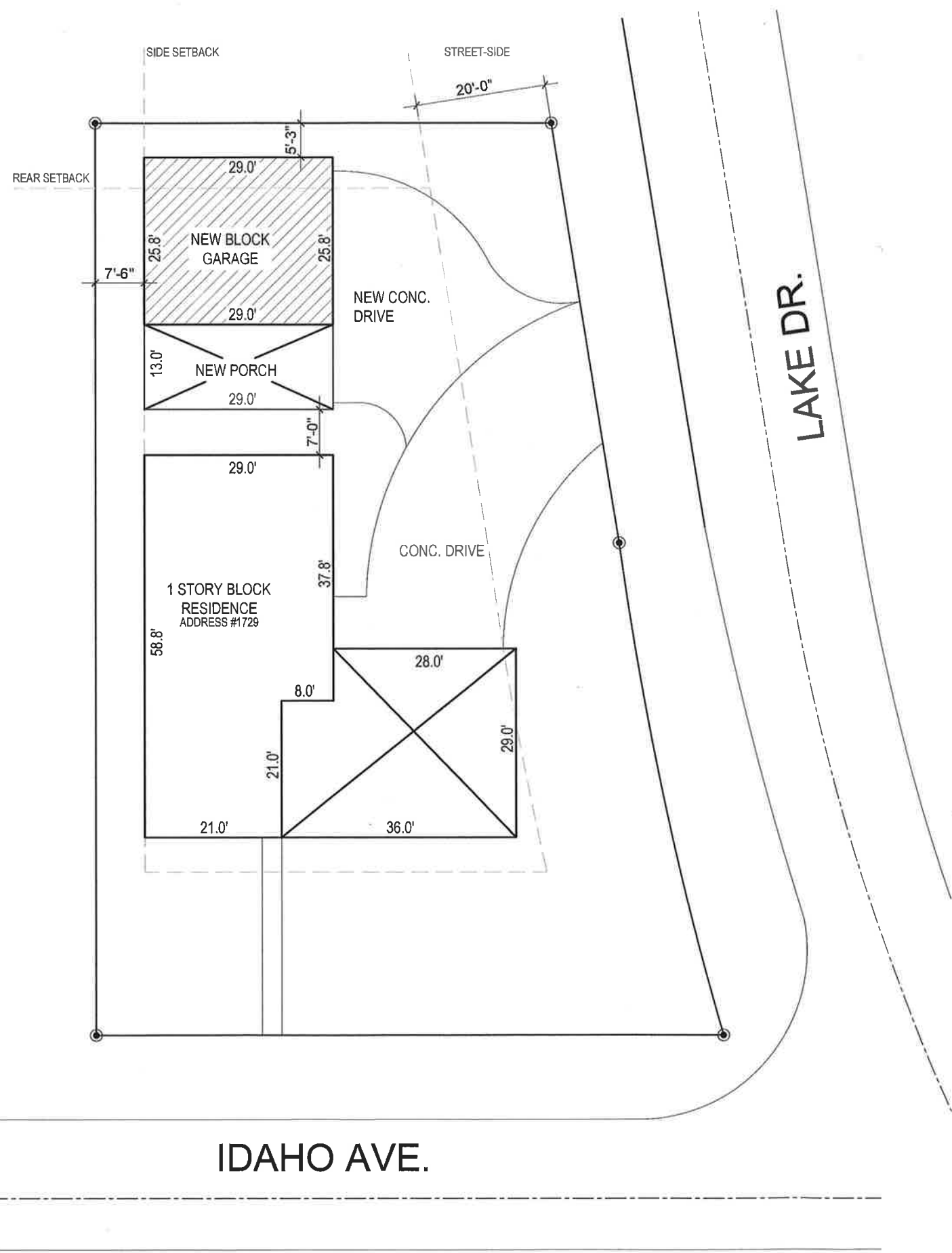
Title: MGR  
PATRICIA B KERSHNER  
365 TAFT VINELAND ROAD, SUITE 100  
ORLANDO, FL. 32824

Signature of member or an authorized representative

Electronic Signature: JAMES M. FLICK

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.





IDAHO AVE.

PROJECT NAME:  
 KERSHNER DETACHED  
 GARAGE & PORCH  
 1729 IDAHO AVE,  
 ORLANDO, FL 32809  
 MUNICIPALITY:  
 BELLE ISLE

SCOPE OF WORK:  
 1. DESIGN OF NEW DETACHED GARAGE & PORCH

SHEET INDEX:  
 ARCHITECTURAL  
 CS-1 SITE PLAN / SHEET INDEX  
 A-1 PROPOSED FLOOR PLAN & EXTERIOR ELEVATIONS

GENERAL NOTES:  
 1. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL, AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.  
 2. THE BUILDING CONTRACTOR SHALL CHECK ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWING FOR OPENINGS, SLEAVES, ANCHORS, HANGER, SLAB DEPRESSIONS, DIMENSIONS, PITCH AND OTHER RELATED ITEMS AND SHALL ASSUME RESPONSIBILITY FOR THEIR PROPER LOCATION, PLACEMENT AND CONTINUITY.

APPLICABLE CODES:  
 -FLORIDA BUILDING CODE-RESIDENTIAL F.B.C. 7TH EDITION 2020  
 -FLORIDA PLUMBING CODE F.B.C. 7TH EDITION 2020  
 -FLORIDA MECHANICAL CODE F.B.C. 7TH EDITION 2020  
 -NATIONAL ELECTRICAL CODE NF.P.A. 70-2020  
 -FLORIDA FUEL GAS CODE F.F.G.C. 7TH EDITION 2020  
 -FLORIDA FIRE PREVENTION CODE F.F.P.C. 7TH EDITION 2020  
 -NATIONAL FIRE ALARM CODE NF.P.A. 72-2019

I.S.R. ANALYSIS

SITE AREA 11,365 SF

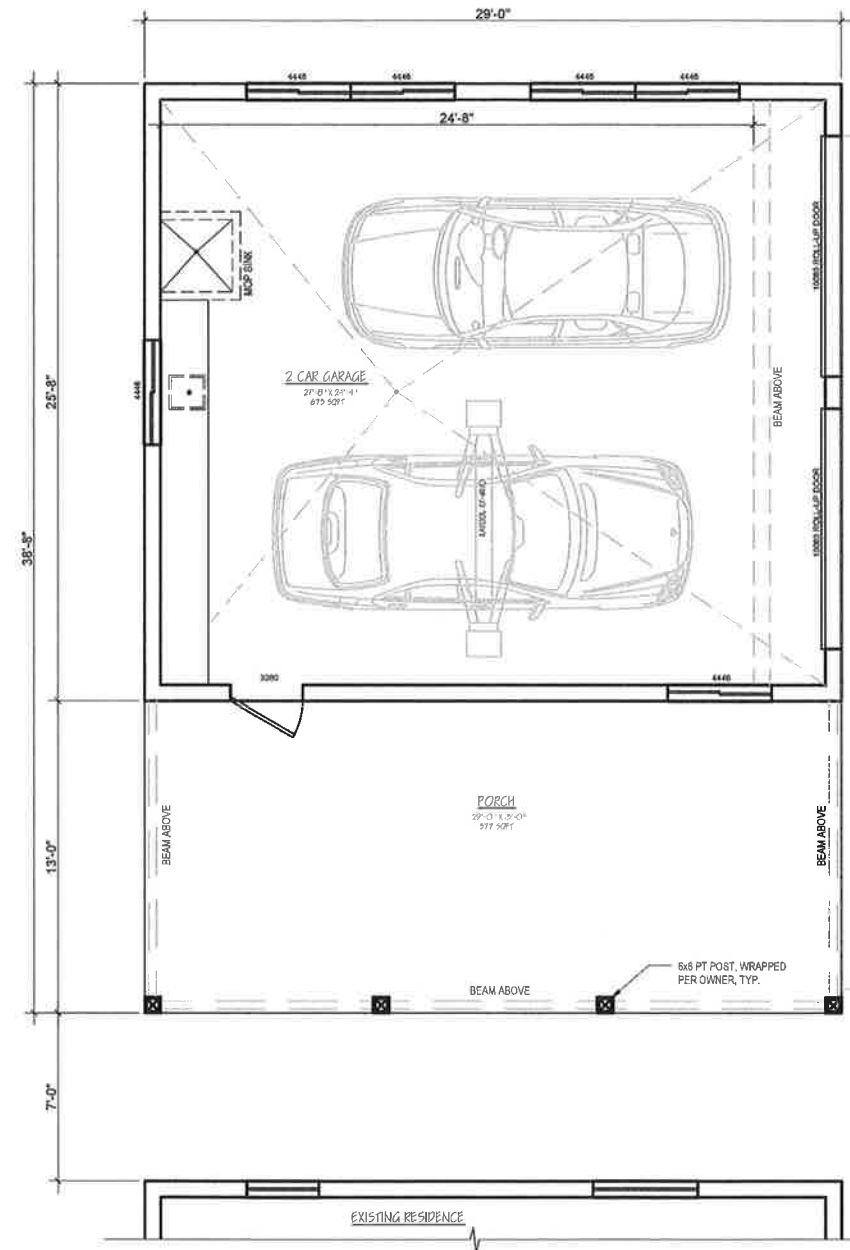
EXISTING SITE PLAN

MAIN RESIDENCE 1,543 SF  
 PORCH 371 SF  
 CARPORT 441 SF  
 STORAGE 168 SF  
 DRIVE / PATHS 1,334 SF  
 TOTAL IMP. 3,857 SF  
 I.S.R. 0.339

PROPOSED SITE PLAN

TOTAL EXISTING IMP. 3,857 SF  
 DRIVE ADDED 811 SF  
 PROPOSED GARAGE 744 SF  
 PROPOSED PORCH 377 SF  
 TOTAL PROPOSED IMP. 5,789 SF  
 PROPOSED I.S.R. 0.509

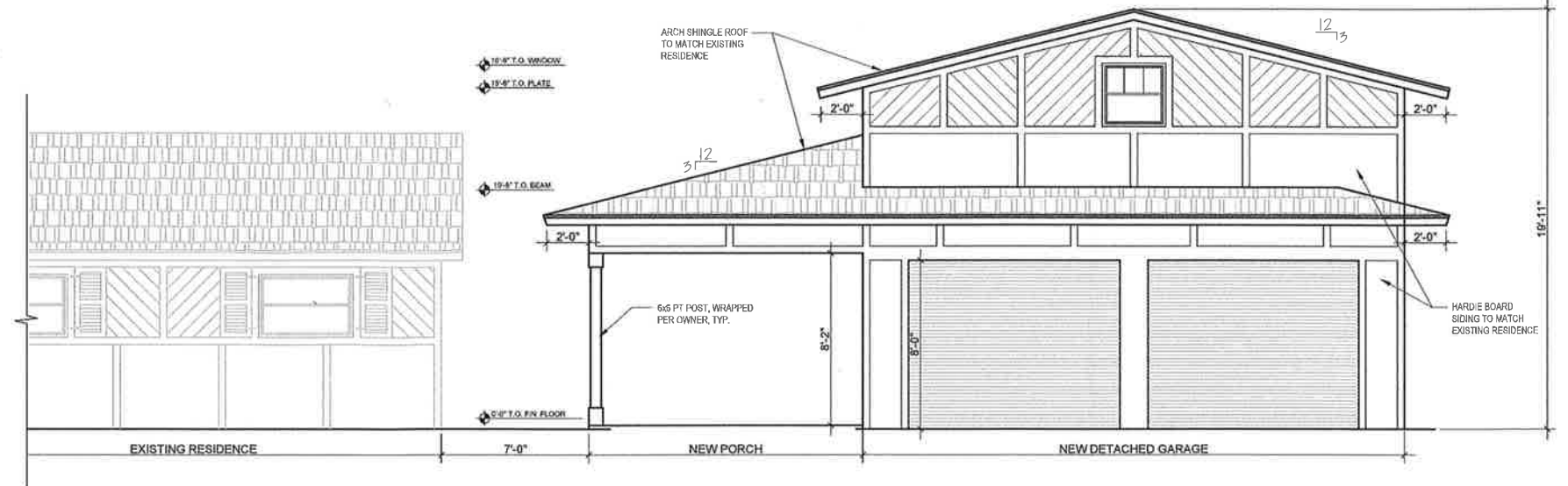




SPACE ANALYSIS

EXISTING CONDITIONED	1,543 SF
EXISTING CARPORT	441 SF
EXISTING PORCH	371 SF
EXISTING STORAGE	168 SF
TOTAL EXISTING UNDER ROOF	2,523 SF
GARAGE ADDED-	744 SF
PORCH ADDED-	377 SF
TOTAL UNDER ROOF ADDED	1,121 SF
TOTAL PROPOSED UNDER ROOF	3,644 SF

PROPOSED FLOOR PLAN



PROPOSED FRONT EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"  
CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



PROPOSED SIDE EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"  
CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.

**Yolanda Quiceno**

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**From:** lilsweetpea1970@yahoo.com  
**Sent:** Tuesday, February 28, 2023 8:37 AM  
**To:** Yolanda Quiceno  
**Subject:** Opposition for Variance at: 1729 Idaho Ave. , Belle Isle, 32809 -

To whom it may concern:

We are not able to attend the COBI Planning and Zoning Board meeting on Tuesday, 2/28/23 to discuss the variance request for 1729 Idaho Ave., Belle Isle, FI 32809.

In our absence, we want it noted we are AGAINST passing this variance for the variance to build a detached garage and porch on their property, as submitted with the current plans.

Not only would this proposed building and attached patio, if built, be an obstruction and eye sore, it also does not fit harmoniously and consistently with the other residential dwelling structures in our community.

We are aware that the owner, (Mr. Kershner) / contractor (Mr. Shepperd) has submitted several different drawings and requests for similar plans over the past 3 years that were all denied by the COBI P&Z. It therefore, is very questionable, as to the true intended use of this property and detached 'additional building', or other than stated otherwise.

In reviewing this property's previous drawings for variances, they too included multiple, additional dwellings, not just a detached garage, which were also denied. This further supports the questionable, actual intended use of this 'garage' and patio. The owners are aware that Air BnBs and multiple family buildings are not permitted in COBI. That does not mean that is not the intended use, despite their current explanation or denial of these facts.

The current home on this property has been used as a rental property for at least the past 4+ years with the same tenant (David Cuvilje - not their daughter & son in-law, they say it is being built for, while living at the main house). Why have they been trying for years to get variances to get additional buildings built, if a different tenant, not their daughter, has been residing there? The owner's (The Kershners) also own several other rental homes in the Conway community.

This also raises the question as to why after so many failed attempts to simply add a functional, enclosed garage, which they could instead, easily enclose or extend the current, existing car port, to accomplish this goal and most likely get it approved, without denial or opposition?

A standard 2 car garage is 400-578 sf. This proposal shows the structure proposed an exorbitant 754 sf, (which does not including the additional "porch" add on the side of this building, adding another 377 sf.). If the intended use is a 2 car garage for the new renters, this seems quite an excessive size and project.

In addition, this proposed plan includes a raised '2nd story' roof line containing a window, which obviously is not necessary to house 2 vehicles. This variance shows adding a 2nd concrete 'driveway' connecting to the existing one. This would produce more vehicles and street parking in front of the house, on an already narrow and limited space on the street of Lake Drive.

Sincerely,

LJ Mauerman residing at: 7315 Lake Dr., Belle Isle, FI 32809

2/24/2023

To: City of Belle Isle  
Yolanda Quiceno – City Clerk  
1600 Nela Avenue  
Belle Isle, FL 32809

Dear Ms. Quiceno:

I am writing regarding the City of Belle Isle Notice of Public Hearing on 2/28/2023 regarding the applicants Robert & Patricia Kershner property on 1729 Idaho Avenue. See photo attached.

I am a concerned neighbor. I understand that this planned detached garage will be used as an Auto Business and not sure of the excess cars and people, and noise it will attract in our residential area. I am also extremely concerned about the size (if it's going to exceed the maximum sq footage of 600 feet); and how something larger will change of landscape and how it will affect the value of the surrounding properties.

Thank you for taking my concerns under consideration at the Hearing on 2/28/23. I am unable to attend. Public Hearing 2/28/22Pul also am sending this concern anonymously because of fear of retaliation.

Anonymously, Resident of Bell Isle





# CITY OF BELLE ISLE NOTICE OF PUBLIC HEARING

ON FEB 28, 2023

The Applicant, ROBERT & PATRICIA KERSHNER

Has Requested A Public Hearing To Consider This Application For: a detached garage within 10ft of the rear setback and exceed the allowable total maximum square footage of 600 sqft.

On This Property, As Described Below: 1729 Idaho Avenue

SEC 50-102(C)(5)(A), 50-102(C)(5)(F)

Further Described As Parcel I.D. #: \_\_\_\_\_

25 23 29 5884 18 220

Hearing No.: 2023-02-008

Instructions for Posting Notice:

This poster must be placed in a conspicuous place on the property in question, at a distance of not more than 15 feet from the front of property line, and on a solid backing. It shall be posted at least 10 days before the hearing. The applicant or a representative must be present at the Public Hearing, since the Board, at its discretion, may defer action, table, or take decisive action on any application.

PUBLIC HEARING TO BE HELD IN  
BELLE ISLE CITY HALL

Time: 6:30 P.M. or as soon  
thereafter as possible

MAYOR  
CITY OF BELLE ISLE



## Regal Boats Expansion 2023

### Project Summary

Regal Boats, a family-owned and operated company in Belle Isle, Florida, is planning an upgrade and expansion to our facilities at 2300 Jetport Dr. This expansion and upgrade serves multiple purposes, all with the goal to increase the presence of the Regal Boats brand around the world.

This project has multiple components, upgrading ~ 26,000 sq. ft of existing buildings and adding ~55,000 sq. ft of manufacturing space, and reconfiguring parking to provide a more secure campus for our team.

The ~26,000 feet of upgrades are centered around creating a better environment for our team. This will allow for a state-of-the-art lamination environment for our team with the best equipment and the ability to have more control over the temperature. The function of this area remains the same as it is today.

The ~55,000 sq. ft. expansion has two primary purposes. The first is to house some new robotic equipment that will be used as a part of the lamination process. This is state-of-the-art equipment that is not currently used at Regal. The second part of this expansion, and the majority of the sq. footage, is to move molds & equipment that are currently stored outside to a protected environment. Having these products stored inside will allow our team members to operate in all weather conditions and keep these valuable assets stored in a better environment.

The parking expansion is to ensure we have good parking for every one of our team members while keeping our campus safe. A few years ago we increased the security of our campus by limiting entrance points. This created a parking challenge that we have been dealing with and are now trying to address properly to keep our campus safe.

This expansion will give us the ability to increase our employment by ~115 people campus-wide with ~30 of these in the new construction. This will be across multiple shifts and varied schedules. This is bearing possible changes in market conditions and other external factors.

We are looking forward to this expansion and creating the best environment possible for our team members.

Best regards,

**Paul Kuck**

Chief Operating Officer  
407 447 9219  
[pakuck@regalboats.com](mailto:pakuck@regalboats.com)  
[regalboats.com](http://regalboats.com)



MEMORANDUM

TO: Planning and Zoning Board
DATE: February 28, 2023
RE: Variance Application – 2300 Jetport Drive

Public Hearing #2023-02-016:

PURSUANT TO BELLE ISLE CODE SEC. 54-82 (F) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SITE PLAN REVIEW TO CONSTRUCT A NEW ADDITIONAL BUILDING, DEMOLISH, REBUILD, AND EXPAND AN EXISTING BUILDING, RENOVATE AN EXISTING BUILDING, CONSTRUCT AN OPEN CANOPY, AND CREATE ADDITIONAL PARKING, SUBMITTED BY PAUL KUCK, CHIEF OPERATING OFFICER OF REGAL MARINE INDUSTRIES LOCATED AT 2300 JETPORT DRIVE AND JETPORT DRIVE ALSO KNOWN AS 31-23-30-0000-00-004, 31-23-30-0000-00-011, 31-23-30-0000-00-012, 31-23-30-0000-00-027, AND 31-23-30-0000-00-029.

Background:

- 1. On February 9, 2023, the applicant, Regal Boats-Paul Kuck, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, February 18, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on February 17, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board will need to determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE:

"I move, pursuant to Belle Isle SEC. 54-82 (F) (3), AND SEC. 42-64 of the Belle Isle Land Development Code, having been met TO RECOMMEND APPROVAL TO CITY COUNCIL WITH THE FOLLOWING CONDITIONS -

SAMPLE MOTION TO DENY:

"I move, pursuant to Belle Isle Code SEC. 50-102 (A) (5) (A), SEC. 50-102 (A) (5) (F) AND SEC. 42-64, the justifying criteria of the Belle Isle Land Development Code, having NOT been met; [use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] TO DENY APPROVAL DUE TO THE FOLLOWING -

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.
SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

## ENGINEERING PERMIT

<b>Issue Date:</b> December 7, 2022		<b>Permit #:</b> ENG2022-12226
<b>Expiration Date:</b> December 7, 2023	<b>Permit Address:</b> Regal Marine Industries Boat Production Expansion-	
<b>Parcel #:</b> 0000000000000000	<small>New sewer system and lift station (SEWER CONNECTION ONLY)</small>	<b>Project #:</b> PRJ2022-13430
<b>Project Name:</b> REGAL MARINE INDUSTRIES BOAT PRODUCTION		<b>Master #:</b>

**Description:** SEWER CONNECTION ONLY  
 ZONE: I-2  
 APP REC VIA EMAIL. 7/29/2022

**2300 JETPORT DR**

**Owner:** GARY E DAVIS  
**Contractor:** GARY E DAVIS  
**Contractor License** CGC1516350

### General

<b>Guarantee Type:</b>	<b>SBF:</b>
<b>Residential Driveway Qty:</b> 0	<b>Sidewalk Linear Ft:</b> 0.00
<b>Commercial Driveways Qty:</b> 0	<b>Address Qty:</b> 0

### Site Improvements

<b>Improvement Cost Information</b>	<b>Estimated Public Imprmnt Cost:</b> \$0
<b>Public Improvements?</b> No	<b>Actual Public Imprvmt Cost:</b> \$0
<b>Private Improvments?</b> No	<b>Private Imprvmt Cost:</b> \$0

<b>Sanitary/Storm Evaluation</b>	<b># of Structures:</b> 0
<b>Sanitary Linear Ft:</b> 0	
<b>Storm Linear Ft:</b> 0	<b># of Structures:</b> 0

### Fees Paid

Type	Amount
Sewer Impact - Collection System	\$5,382.00
Sewer Impact - Plant Expansion	\$52,650.00
<b>Total Fees</b>	<b>\$58,032.00</b>

**48 Hours before you dig call SUNSHINE 1.800.432.4770. It's the Law in Florida.**

**Your inspector for this permit is , 407.246.** to request an inspection call "PROMPT", our Interactive Voice Response system at 407.246.4444. Information on "PROMPT" may be found at: [www.cityoforlando.gov/permits/pdfs/prompt.pdf](http://www.cityoforlando.gov/permits/pdfs/prompt.pdf) You may also request an inspection online at <https://permitlookup.cityoforlando.gov/WebPermits/>

Work performed must conform to all City Ordinances regulating the use and construction of structures and the work authorized by this permit. It is the Owner/Contractor responsibility to call for appropriate inspections as required by City Code and applicable construction codes.

Issuance of this permit does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City for Issuance of the permit if the application fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

All other applicable state or federal permits must be obtained before commencing development.

By:  \_\_\_\_\_  
City Engineer

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**Your inspector for this permit is , 407.246.** to request an inspection call "PROMPT", our Interactive Voice Response system at 407.246.4444. Information on "PROMPT" may be found at: [www.cityoforlando.gov/permits/pdfs/prompt.pdf](http://www.cityoforlando.gov/permits/pdfs/prompt.pdf) You may also request an inspection online at <https://permitlookup.cityoforlando.gov/WebPermits/>

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**ECONOMIC DEVELOPMENT • PERMITTING SERVICES DIVISION**



# FLORIDA DEPARTMENT OF Environmental Protection

**Ron DeSantis**  
Governor

**Jeanette Nuñez**  
Lt. Governor

**Shawn Hamilton**  
Secretary

Central District Office  
3319 Maguire Blvd., Suite 232  
Orlando, Florida 32803

## NOTIFICATION OF ACCEPTANCE OF USE OF A GENERAL PERMIT

**PERMITTEE:**  
Regal Marine Industries, Inc.  
2300 Jetport Drive  
Orlando, FL 32809  
Duane Kuck, President

**PERMIT NUMBER:** 0428968-001-DWC/CG  
**ISSUE DATE:** December 21, 2022  
**EXPIRATION DATE:** December 20, 2027  
**COUNTY:** Orange  
**PROJECT NAME:** Regal Marine Boat Production Expansion  
**CONNECTED TO:** Orlando CONSER I  
**FACILITY ID:** FLA010816

Email: [pakuck@regalboats.com](mailto:pakuck@regalboats.com)

Dear Mr. Kuck:

This letter acknowledges receipt of your Notification/Application for Constructing a Domestic Wastewater Collection/Transmission System for the subject project. Our office received the Notice on December 8, 2022. This project includes the construction of 1030 LF of 8-inch gravity sewer with laterals and 6 manholes, a lift station and 325 LF of 3-inch force main.

*This is to advise you that the Department does not object to your use of such General Permit.*

Please note the attached requirements apply to your use of this General Permit for constructing the proposed domestic wastewater collection/transmission system.

You are further advised that the construction activity must conform to the description contained in your Notification/Application for Constructing a Domestic Wastewater Collection/Transmission System and that any deviation will subject the permittee to enforcement action and possible penalties.

Sincerely,

Osama Mahmoud  
Engineer  
Permitting and Waste Cleanup Program

cc: Paul Deuel, Water Reclamation Manager, City of Orlando, [paul.deuel@cityoforlando.net](mailto:paul.deuel@cityoforlando.net)  
Reinaldo Malave, PE, Dewberry Engineers, [rmalave@dewberry.com](mailto:rmalave@dewberry.com)  
Charles LeGros, DEP, [Charles.LeGros@dep.state.fl.us](mailto:Charles.LeGros@dep.state.fl.us)  
Osama Mahmoud, DEP, [osama.mahmoud@dep.state.fl.us](mailto:osama.mahmoud@dep.state.fl.us)  
Reggie Phillips, DEP, [reggie.phillips@floridadep.gov](mailto:reggie.phillips@floridadep.gov)

## REQUIREMENTS FOR USE OF THE GENERAL PERMIT FOR DOMESTIC WASTEWATER COLLECTION/TRANSMISSION SYSTEMS:

1. This general permit is subject to the general permit conditions of Rule 62-4.540, F.A.C., as applicable. This rule is available at the Department's Internet site at:  
<https://www.flrules.org/gateway/ChapterHome.asp?Chapter=62-4> [62-4.540]
2. This general permit does not relieve the permittee of the responsibility for obtaining a dredge and fill permit where it is required. [62-604.600(6)(b)1]
3. This general permit cannot be revised, except to transfer the permit. [62-604.600(6)(b)2]
4. This general permit will expire five years from the date of issuance. If the project has been started and not completed by that time, a new permit must be obtained before the expiration date in order to continue work on the project. [62-4.030]
5. Upon completion of construction of the collection/transmission system project, and before placing the facilities into operation for any purpose other than testing for leaks or testing equipment operation, the permittee shall obtain clearance from the Department. This clearance may be obtained expeditiously using the Department's Business Portal at <http://www.fldepportal.com/go/> (via "Submit" then "Registration/Notification" and "Submit Notifications to FDEP"). The submission is for "Division of Water Resource Management Domestic/Industrial Wastewater" and the submittal type is "Request for Approval to Place a Domestic Wastewater Collection/Transmission System into Operation").

For further clarification contact:  
(Osama Mahmoud), (407) 897-4125  
[osama.mahmoud@dep.state.fl.us](mailto:osama.mahmoud@dep.state.fl.us)  
3319 Maguire Blvd, Suite 232  
Orlando, Florida 32803-3767

6. New or modified collection/transmission facilities can be placed into operation 3 days after Form 62-604.300(3)(b), (adopted and incorporated by reference in paragraph 62-604.300(3)(b), F.A.C., effective October 4, 2021, <http://www.flrules.org/Gateway/reference.asp?No=Ref-13560>), is submitted and received by the Department or delegated local program, provided no substantial deviations are noted on Form 62-604.300(3)(b) and the Department or delegated local program does not notify the permittee of public health or environmental concerns regarding placing the facilities into operation.

When substantial deviations are noted on Form 62-604.300(3)(b), (adopted and incorporated by reference in paragraph 62-604.300(3)(b), F.A.C., effective October 4, 2021), <http://www.flrules.org/Gateway/reference.asp?No=Ref-13560>, new or modified collection/transmission facilities can be placed into operation 10 days after Form 62-604.300(3)(b) is submitted unless the Department or delegated local program notifies the permittee of public health or environmental concerns regarding placing the facilities into operation.  
[62-604.700(3) and (4)]

7. Abnormal events shall be reported to the Department's Central District Office in accordance with Rule 62-604.550, F.A.C. For unauthorized spills of wastewater in excess of 1000 gallons per incident, or where information indicates that public health or the environment may be endangered, oral reports shall be provided to the STATE WATCH OFFICE TOLL FREE NUMBER, (800) 320-0519, as soon as practical, but no later than 24 hours from the time the permittee or other designee becomes aware of the circumstances. Unauthorized releases or spills less than 1000 gallons per incident are to be reported orally to the Department's Central District Office within 24 hours from the time the permittee, or other designee becomes aware of the circumstances. The written submission may be provided electronically using the Department's Business Portal at <http://www.fldepportal.com/go/> (via "Submit" followed by "Report" or "Registration/Notification"). [62-604.550]



**DEMOLITION NOTES**

FOLLOWING ARE DEMOLITION NOTES ADDRESSED TO THE CONTRACTOR THAT ARE SUMMARIZED HEREIN FOR THE BENEFIT OF THE CONTRACTOR. REFER TO THE SPECIFICATIONS AND DRAWINGS FOR DETAILED INFORMATION.

1. COMPLY WITH APPLICABLE SECTIONS OF NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION ALTERATION, AND DEMOLITION OPERATIONS 2019 EDITION.
2. COMPLY WITH APPLICABLE SECTIONS OF THE FLORIDA BUILDING CODE CHAPTER 33 SAFEGUARDS DURING CONSTRUCTION.
3. PROVIDE DUST FREE BARRIERS PER INSTRUCTION FROM THE OWNER PRIOR TO CONSTRUCTION START. BARRIERS SUPPLIED BY CONTRACTOR AT CONTRACTOR'S EXPENSE.
4. REMOVE PREVIOUS OWNER FIXTURES FROM PREMISES AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL ORDINANCES.
5. REMOVE SIGNAGE AND SIGNAGE RELATED LIGHTING.
6. REMOVE LIGHTING FIXTURES AND DEVICES FROM CEILINGS. REMOVE GYM CEILINGS AS SPECIFIED IN DEMOLITION PLAN.
7. REMOVE PARTITIONS INCLUDING WALL FINISHES, WALL FIXTURES, GYM STUDS, TRACKS, HICKERS, AND BRACING AS INDICATED IN DEMOLITION PLANS.
8. CAREFULLY PLAN, LAYOUT, SCORPE, AND CUT TILE AS REQUIRED TO RECEIVE NEW FINISHES INDICATED.
9. REVIEW DRAWINGS AND SPECIFICATIONS PRIOR TO REMOVAL OF ELECTRICAL, MECHANICAL, AND SPRINKLER SYSTEMS, NOTHING PROPOSED NEW WORK. NOTIFY OWNER AT LEAST 24 HOURS IN ADVANCE OF THIS WORK. DRAIN DOWN AND BLANK OFF SPRINKLER SYSTEM AS REQUIRED AND AS DIRECTED BY THE OWNER.
10. DO NOT CUT EXISTING COMMUNICATION LINES AND CONNECTION DEVICES. CAREFULLY REMOVE DEVICE JACKS FROM WALL, ROLL, AND STORE NEATLY IN A SECURE LOCATION.
11. DO NOT CUT, PERFORATE, OR REMOVE THE OWNER'S SYSTEM INCLUDING ADJACENT WALLS, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, SPRINKLER, CONTROLS, ALARMS, ETC., IF IN DOUBT AS TO THE NATURE OR EXTENT OF ANY OF THESE SYSTEMS. SECURE THE OWNER'S ASSISTANCE IN IDENTIFYING, TRACING, AND MARKING THE SAME.
12. MAINTAIN PREMISES INCLUDING THE SURROUNDING AREA SURFACES DUST FREE. MAINTAIN A CLEAN AND NEAT APPEARANCE.
13. COMPLY WITH OWNER'S REQUIREMENTS REGARDING DEMOLITION, DISPOSAL, CLEANING, AND DELIVERY OF MATERIALS. SECURE AND PAY FOR CONSTRUCTION DEBRIS REGISTER AND LOCATE IN ACCORDANCE WITH OWNER'S DIRECTIONS.
14. THE EXTERIOR WALL ENVELOPE SHALL BE IN COMPLIANCE WITH FBC 1072.4, INCLUDING FLASHING, INTERSECTIONS WITH DISSIMILAR MATERIALS, CORNERS, END DETAILS, CONTROL JOINTS, INTERSECTIONS AT ROOF, EAVES OR PARAPETS, MEANS OF DRAINAGE, WATER-RESISTIVE MEMBRANE AND DETAILS AROUND OPENINGS.
15. PROVIDE WORK THAT COMPLIES WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. SUBMIT FOR APPROVAL THE MANUFACTURER'S SUPPORTING DOCUMENTATION THAT THE PROPOSED PENETRATION AND OPENING DETAILS DESCRIBED IN THE CONSTRUCTION DOCUMENTS MAINTAIN THE WEATHER RESISTANCE OF THE EXTERIOR WALL ENVELOPE. THE SUPPORTING DOCUMENTATION SHALL FULLY DESCRIBE THE EXTERIOR WALL SYSTEM THAT WAS TESTED, WHERE APPLICABLE, AS WELL AS THE TEST PROCEDURE USED.

ELEMENTS THAT ARE DASHED ARE TO BE REMOVED FROM THE PROJECT.

REFER TO MEP DEMOLITION PLANS FOR THAT SCOPE OF WORK AS REQUIRED.

CAP ALL PLUMBING AND PIPING IN ACCORDANCE WITH PLUMBING DEMOLITION PLAN. DISCONNECT HVAC CONTROLS. RELOCATE ANY FIRE ENLARGEMENT DEVICES TO A NEARBY TEMPORARY LOCATION. DISPOSE OF STUDS AND SUBSTRATE AS REQUIRED.

SITE WORK - IF APPLICABLE, PROTECT AS NECESSARY ANY EXISTING VEGETATION, TREES OR THE LIKE IMMEDIATELY ADJACENT TO THE LIMITS OF THE ALTERATION WORK WHICH ARE INDICATED ON THE DRAWINGS TO REMAIN, OR IN ANY CASE ARE NOT SPECIFIED OR DIRECTED TO BE REMOVED.

CONCRETE - EXERCISE DUE CAUTION IN CUTTING AND PATCHING, CHIPPING OR GENERAL CONCRETE PLACEMENT SO AS NOT TO DEFACE THAT PORTION OF THE EXISTING STRUCTURE WHICH IS TO REMAIN.

MASONRY - IF APPLICABLE, IN TOOTHING OR CUTTING BACK FOR JOINERY TO OR CONTINUING AN EXISTING MASONRY SURFACE, EXERCISE CARE SO AS NOT TO WEAKEN STRUCTURALLY THAT PORTION OF THE STRUCTURE WHICH IS TO REMAIN. DO NOT SANDBLAST WOOD, CONCRETE, OR BRICK. SEE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.

STRUCTURAL STEEL AND CARPENTRY - IF APPLICABLE, IN THE COURSE OF ALTERATION WORK SHOULD THE CONTRACTOR ENCOUNTER, IN EXPOSING FORMERLY COVERED.

FRAMING: ANY UNFORESEEN STRUCTURAL DEFECT WHICH MIGHT JEOPARDIZE ANY PART OF THE EXISTING BUILDING OR THE NEW WORK, THE CONTRACTOR SHALL SHORE UP OR OTHERWISE SUPPORT THE EXPOSED DEFECT FOR EASE OF INSPECTION BY OWNER'S REPRESENTATIVE OR ARCHITECT WHO WILL DIRECT FURTHER REPAIR.

TEMPORARY SHORING: IF APPLICABLE, PROVIDE ANY TEMPORARY SHORING, CRIBBING OR UNDERPINNING AS MAY BE REQUIRED OR DIRECTED BY THE ARCHITECT AT ANY TIME AND IN ANY PORTION OF THE ALTERATION WORK FOR THE DURATION OF SUCH WORK.

CARPENTRY - THE LIMITS OF THE ALTERATION WORK INDICATED, RESTORE ANY LOOSE, WARPED, ROTTED, UNFASTENED, OR UNEVEN BOARDS, PANELING OR OTHER FINISH LUMBER TO ORIGINAL CONDITION. SIMILARLY, ANY UNEVEN, TILTED OR RASSED EDGES SHALL BE SANDED TO A LEVEL PLANE AND JOINTS FILLED WHERE NECESSARY.

PAINTING - WITHIN THE LIMITS OF THE ALTERATION WORK, ANY PITTED, CHIPPED, FLAKED, OVERLY THICKENED OR OTHERWISE DAMAGED EXISTING PAINT SURFACES ENCOUNTERED SHALL BE SANDED, CHIPPED OR OTHERWISE REMOVED DOWN TO ORIGINAL SURFACE AND REPAIRED. SEE KEY NOTES FOR ADDITIONAL REPAIR INFORMATION. DO NOT SANDBLAST, OR USE POWER SANDER OR GRINDER.

DEMOLITION WORK - WITH THE EXCEPTION OF ANY SALVAGEABLE ITEMS, AS DIRECTED TO BE RETAINED BY OWNER, ALL REMOVED STRUCTURES AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL PROMPTLY REMOVE THEM FROM THE PREMISES. NO SUCH ITEMS SHALL BE STORED OR ACCUMULATED ON THE PREMISES.

SALVAGE - ALL ITEMS DEEMED SALVAGE BY OWNER WILL EITHER HAVE BEEN INDICATED ON THE DRAWINGS, REMOVED PRIOR TO START OF ALTERATION WORK, OR WILL BE DIRECTED BY OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ANY ITEMS TO BE RELOCATED WILL HAVE BEEN INDICATED ON THE DRAWING.

NOTE: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE BID AND PRIOR TO BEGINNING WORK. IF ANY DISCREPANCIES ARE DISCOVERED NOTIFY THE ARCHITECT.

SEQUENCE OF ALTERATION WORK: IN THE EVENT THAT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY OWNER, THE CONTRACTOR SHALL ARRANGE A CONFERENCE WITH THE OWNER FOR THE PURPOSE OF ESTABLISHING ANY SPECIAL SCHEDULING BEFORE ANY SUCH WORK IS BEGUN.

PROTECTIONS: PROVIDE ANY SPECIAL BARRICADES AND MAINTAIN ANY REQUIRED LIGHTS, WARNING AND DIRECTIONAL SIGNS AND OTHER PROTECTIONS NEAR AND ABOUT THE SITE OF ALTERATION WORK AS MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION. BY ANY NECESSARY MEANS PROTECT ANY SURROUNDING ADJACENT SITES, STRUCTURES, PROPERTIES AND UTILITIES. MAINTAIN ALL SAFETY MEASURES UNTIL REMOVAL IS DIRECTED BY OWNER'S REPRESENTATIVE OR ARCHITECT. INDEFINITE UNDERGROUND UTILITIES OR OTHER SERVICES AS MAY BE UNCOVERED SHALL NOT BE DISTURBED BUT BROUGHT TO THE ARCHITECT'S ATTENTION FOR DIRECTION AS TO HOW TO PROCEED.

ADDITIONAL TEMPORARY FACILITIES: ANY ADDITIONAL TEMPORARY FACILITIES OR SERVICES AS MAY BE REQUIRED BY ANY SPECIAL NECESSITIES OF ALTERATION WORK SHALL BE PROVIDED BY THE CONTRACTOR OUTSIDE OF HOUSE DURING ALL HOURS SUCH WORK IS IN PROGRESS. PROVIDE PORTABLE TOILET FACILITIES OUTSIDE OF THE HOUSE AS REQUIRED.

SPECIAL PERMITS: SECURE ANY AND ALL PERMITS TO DEMOLISH AND REHABILITATION AS MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SUCH WORK.

ANY FINDING OF ASBESTOS CONTAINING MATERIALS, LEAD BASED PAINTS, OR MOLD, SHALL BE REPORTED IMMEDIATELY TO THE OWNER AND THE ARCHITECT.

NOTE:  
1: INFORMATION AND DIMENSIONS SHOWN ON THIS EXISTING CONDITIONS PLAN HAVE BEEN DOCUMENTED AS FURNISHED BY THE OWNER AND/OR FIELD VERIFIED BY THE ARCHITECT FOR THE BENEFIT OF THE CONTRACTOR. HOWEVER, SUCH INCLUSION DOES NOT GUARANTEE CONDITIONS INDICATED. THE CONTRACTOR SHALL CONDUCT HIS OWN FIELD VERIFICATION OF CONDITIONS AT HIS EXPENSE.

**LEGEND:**

DEMOLITION SCOPE OF WORK

**0000 DEMOLITION KEY NOTES**

- 010- SITE PREPARATION FOR A NEW 212'-200' BUILDING CONSTRUCTION. COORDINATE WITH CIVIL AND MEP. SEE LINE FOR DIAGRAMMATICAL LOCATION.
- 020- SITE PREPARATION FOR NEW CONSTRUCTION CONSISTING OF REPLACEMENT OF AN EXISTING BUILDING AND EXPANSION TO THE EAST. COORDINATE WITH M.E.P. FOR DEMO/RELOCATION OF EXISTING PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS.
- 030- SITE PREPARATION FOR NEW MEZZANINE AND PAVING.
- 040- PROVIDE NEW TEMPORARY METAL STUD WALL (1 HR. RATED BARRICADE) TO PROTECT WORKERS AND STAFF.
- 041- BUILD THE NEW 1 HR. RATED BARRICADE PARALLEL TO THE EAST BUILDING WALL INDICATED FOR DEMOLITION AT A DISTANCE OF 4 FEET AS IT IS SHOWN IN THE DEMOLITION PLAN.
- 050- PROVIDE A 3070, MIN. 32" CLEAR RATED DOOR OPENING AND FRAME TO NEW BARRICADE WALL.
- 060- DEMOLITION OF EXISTING EXTERIOR BUILDING WALL SYSTEM, INCLUDING DOORS, DOOR FRAMES, EXHAUST FANS AND HOODS, GUTTERS AND DOWNSPOUTS, AND ALL ROOF SYSTEM. REFER TO M.E.P. FOR DEMO/REMOVAL OF ALL MECH, PLUMB AND ELECT SYSTEMS ASSOCIATED TO THIS WALL.
- 061- DEMOLITION OF EXISTING BUILDING INCLUDING EXTERIOR WALL ALONG THE INDICATED EAST EXTERIOR BUILDING WALL, IN PREPARATION FOR A BUILDING ADDITION AS SHOWN. THE DEMOLITION INCLUDES ALL DOORS AND FRAMES, EXHAUST FANS AND HOODS, AND GUTTERS AND DOWNSPOUTS. REFER TO M.E.P. FOR THE DEMO/REMOVAL OF ALL MECH, PLUMB AND ELECT SYSTEMS ASSOCIATED TO THIS WALL.
- 065- DEMOLITION OF SITE, INCLUDING SEPTIC SYSTEM AND SITE CLEARING AND PREPARATION. REFERENCE CIVIL AND M.E.P.
- 070- SELECTIVE DEMOLITION ON THIS AREA TO INCLUDE THE EXISTING STRUCTURE AND ROOF SYSTEM.
- 071- CONFIRM WITH OWNER THE REMOVAL AND REPLACEMENT OR DEMO OF THE ROOF, WALLS, AND STRUCTURE IN THIS AREA TO RECEIVE ROOF MOUNTED EQUIPMENT. COORDINATE WITH STRUCTURAL AND MEP ENGINEERING DOCUMENTS.
- 080- DEMOLITION THIS AREA INCLUDING THE EXISTING STEEL STRUCTURE AND ROOF.
- 090- FIELD VERIFY STRUCTURE ALONG THIS GRID LINE FOR LOAD BEARING CONDITION OF END WALL ABOVE. CONFIRM WITH STRUCTURAL ENGR. BEFORE PROCEEDING WITH THIS WORK.
- 091- DEMO EXISTING WALL ABOVE. VERIFY STRUCTURAL TEMPORARY SUPPORT REQUIREMENTS.
- 100- DEMO EXISTING INTERIOR WALLS. REFER TO M.E.P. DRAWINGS FOR DEMOLITION OF ANY ASSOCIATED ELECT, MECH AND M.E.P. SYSTEM.
- 105- DEMO EXISTING WOOD FRAMED WALL AND ASSOCIATED STEEL COLUMN (TYP OF EXISTING AS BAYS DIVIDERS).
- 110- DEMOLITION OF EXISTING RESTROOMS, INCLUDING PLUMBING FIXTURES, CEILING TILES AND GRID, TOILET PARTITIONS, FLOORING, ELEVATED FLOOR SLAB AND ACCESSORIES.
- 120- DEMO EXISTING METAL CANOPY STRUCTURE.
- 130- DEMO EXISTING CONCRETE STEPS OUTSIDE SOUTH ELEVATION.
- 131- RE: CIVIL PLANS, DEMO EXISTING 48"x48"x30" GATCH BASIN AND 24" DIAMETER CONCRETE DRAINAGE PIPE EXTENDS TO EXISTING RETENTION POND (TO BE REMOVED).
- 140- DEMO EXISTING MEZZANINE STEEL STRUCTURE, MEZZANINE OFFICE ABOVE AND METAL GUARDRAILS, CONFIRM AND COORDINATE WITH OWNER.
- 141- DEMO EXISTING STAIR TO MEZZANINE.
- 150- DO NOT DISTURB EXISTING 22"x16"10" CMU DRAINAGE VAULT BELOW SLAB (TO REMAIN).
- 151- DO NOT DISTURB EXISTING 48"x16"10" CMU DRAINAGE VAULT BELOW SLAB (TO REMAIN).
- 152- CONFIRM WITH MEP THE DEMO OF EXISTING 6" PVC DRAIN PIPE FROM ROOF.
- 153- EXISTING 8"x6"10" TRENCH DRAIN TO REMAIN.
- 154- RE: MEP PLANS FOR DEMOLITION OF EXISTING EQUIPMENT.
- 155- PROTECT EXISTING FIRE SPRINKLER RAISER DURING CONSTRUCTION (TO REMAIN).
- 160- PROTECT EXISTING FIRE PROTECTION RISER.
- 170- EXISTING METAL CANOPY STRUCTURE WITH MECH EQUIPMENT TO REMAIN.
- 180- REMOVE AND REPLACE EXISTING DAMAGED COLUMN.
- 181- REMOVE AND REPLACE EXISTING DAMAGED CMU WALL THIS LOCATION AND OTHERS WITH SIMILAR DAMAGE TO RESTORE WALL INTEGRITY AS REQUIRED.
- 182- CONFIRM WITH OWNER THE REMOVAL AND REPLACEMENT OR DEMO OF THE OVERHEAD DOOR AND ROOF HOOD.
- 183- CONCRETE MASONRY WALLS THAT ARE LABELED AS FIRE BARRIERS SHALL BE MAINTAINED THROUGH OUT THE CONSTRUCTION PERIOD. NO EXISTING FIRE PROTECTION ASSEMBLIES SHALL BE REMOVED UNLESS IT IS ON A TEMPORARY BASIS IN WHICH CASE A FIRE WATCH SHALL BE INSTITUTED PER CODE.
- 190- REMOVE EXISTING COLUMN.
- 200- OWNER TO REMOVE AND RELOCATE EXISTING LOCKERS DURING CONSTRUCTION. COORDINATE WITH THE OWNER.

NO DEMOLITION ABOVE THIS LINE IN THE SCOPE OF WORK UNLESS NOTED OTHERWISE.



**DEMOLITION LEGEND**

- PARTITION HT. / FULL
- CLAY TILE
- CONCRETE MASONRY
- DEMO WALL OR ELEMENT
- PHOTO # OF EXISTING CONDITION
- ELEVATION ABV. FLR.
- DEMOLITION KEY NOTE
- DESCRIPTION OF DEMO ITEM
- REMOVE, REPLACE OR REFINISH, AND RELOCATE
- BLDG. DEMOLITION INCLUDING THE EXISTING ROOF SYSTEM. PROVIDE SELECTIVE AND BUILDING DEMOLITION SHOWN OR AS REQUIRED FOR NEW AND RELOCATED ASSEMBLIES. REFER TO MEP/S/F DOCUMENTS FOR ASSEMBLIES RELATED TO THOSE DISCIPLINES.

HOLDING 702

HOLDING 701

RE: CIVIL DOCUMENTS FOR WORK COMPLETED UNDER SEPARATE CONTRACT.

**Mario R. Tur**  
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FL LIC. No. AR0012539  
OK LIC. No. 2837

**MARIO R. TUR JR.**  
REGISTERED ARCHITECT  
FLORIDA ARCHITECTURAL BOARD  
NO. 2837

Digital Signature Certificate

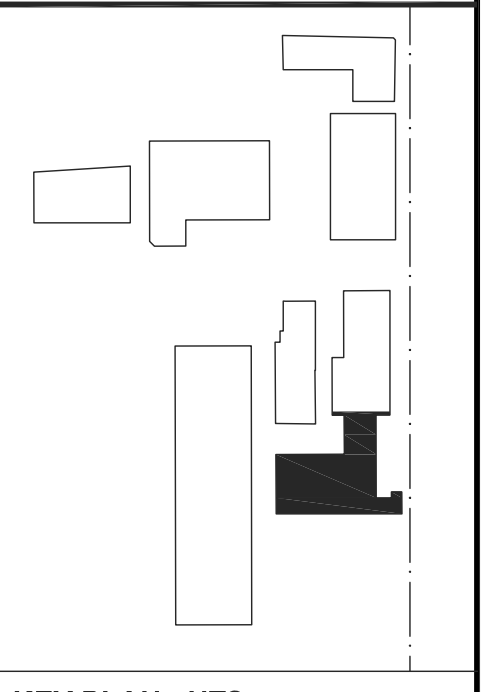
Project Number: 20220413

Date of Issue: NOVEMBER 23, 2022

Revision/Date:

REVISION	DATE
01, PZ	02/10/2023

**REGAL BOATS AMBASSADOR BUILDING  
ADDITION AND RENOVATION**  
2300 JETPORT DRIVE  
BELLE ISLE, ORANGE COUNTY,  
FLORIDA 32309



Sheet No. **A-020**

Sheet Name: **DEMOLITION FLOOR PLAN**

**DEMOLITION FLOOR PLAN** SCALE 3/32" = 1'-0" **1**



### INSPECTION RECORD

**Issue Date:** December 7, 2022 **Permit #:** ENG2022-12226  
**Expiration Date:** December 7, 2023 **Permit Address:** Regal Marine Industries Boat Production Expansion- New sewer system and lift station (SEWER CONNECTION ONLY)  
**Parcel #:** 000000000000000 **Worktype:** Other  
**Project Name:** REGAL MARINE INDUSTRIES BOAT PRODUCTION **Master #:**  
**Project #:** PRJ2022-13430

**Owner:** GARY E DAVIS  
**Contractor:** GARY E DAVIS  
**Contractor License:** CGC1516350

**SEPARATE PERMITS ARE REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL INSTALLATIONS**

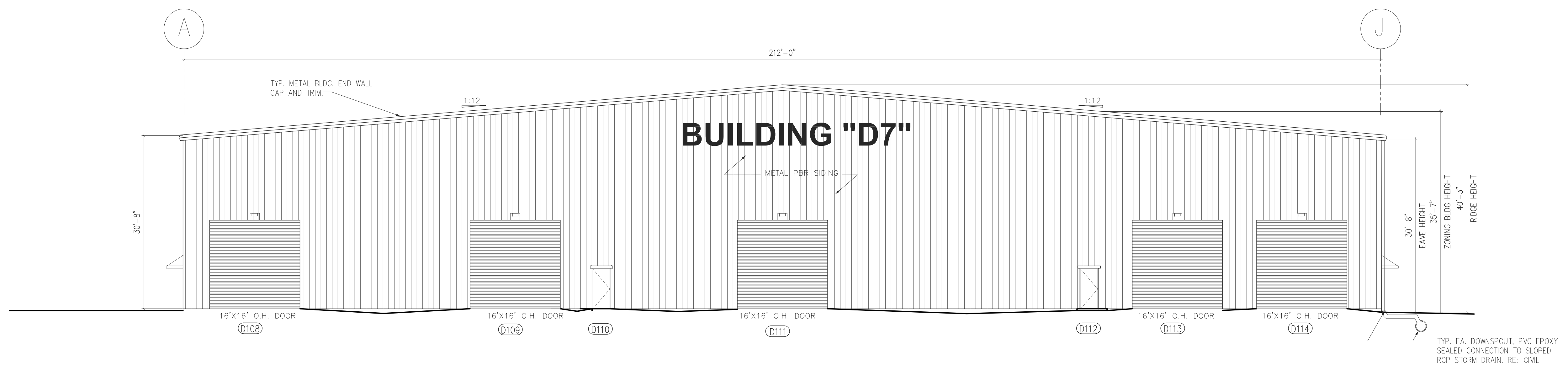
BUILDING	Mechanical	ELECTRICAL	ENGINEERING	FIRE	PLUMBING
Footer 100	Rough-In 200	Footer Steel Grounding 112	Address 270	UG Main-Visual 450	UG Rough-In 380
MH Tie Down 345	Above Ceiling 135	Temp Service 350	Driveway 280	UG Main-Flush 460	Sanitary 390
Slab 405	Pipe Pressure 370	Underground/Slab 355	Sidwalk/Ramp/Curb 290	UG Main-Hydro 470	Tub Set 010
Vert Cells/Columns 310	Refrigation 375	Rough-In 200	Subbase/Base 262	Hyd Flow Test 440	Water Pipe 230
Lintel/Tie Beam 305	Kitchen Hood 205	Above Ceiling 135	Sanitary Sewer 277	Hydro-Sprinkler 480	Sewer 240
Masonry Wall Reinforcing 315	Final 600	Pre-Power 199	Storm Sewer 275	Fire Pump Test 410	Rough-Gas 200
Roof Decking 120	<b>SWIMMING POOL:</b>		Zoning Final/ Landscape Final BLD 170	Sprinkler/Standpipe 400	Rain Leader 250
Ext Dry In/In Progress 125	<b>BUILDING:</b>	<b>ELECTRICAL:</b>	Final 600	Sprinkler Sys Alt 485	Other 210
Ext Sheathing/ Strapping 127			Pool Steel/Pipe Pressure 340	Steel Bonding 112	Chemical/Agent 430
Framing 130	Safety Check 343	Underground 355	<b>LOW VOLTAGE:</b>	Fuel Tank 490	Gas Final 600
Insulation 140	Deck/Pipe Pressure 342	Deck/Grounding 341	Rough-In 200	Alarm System 420	Irrigation Final 600
Above Ceiling 135	Footer 100	Final 600	Above Ceiling 135	Final 600	<b>Numbers Indicate Inspection Codes</b>
Rated Assembly Fastening 132	Final 600	Final 600	Final 600	Final 600	
Lath/Stucco 325					
BLD Fire Final 150					
Final 600					

The permit conveys no right to occupy any street, alley or sidewalk, or any part thereof, either temporarily or permanently except that specifically provided for in the Building Code. Location of public sewers may be obtained from Permitting and Code Enforcement. Approved plans MUST be retained on the job and this card KEPT POSTED until final inspection has been made. The building SHALL NOT BE OCCUPIED until the Certificate of Occupancy has been issued. Failure to Comply with the Contractor's Lien Law can result in the property owner paying twice for the Building Improvement. It is unlawful to remove this card until construction is complete. Ch 713.135, Florida Statutes requires the following to be placed on Permit Card:

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

**Permits are not valid until all applicable fees are paid!**

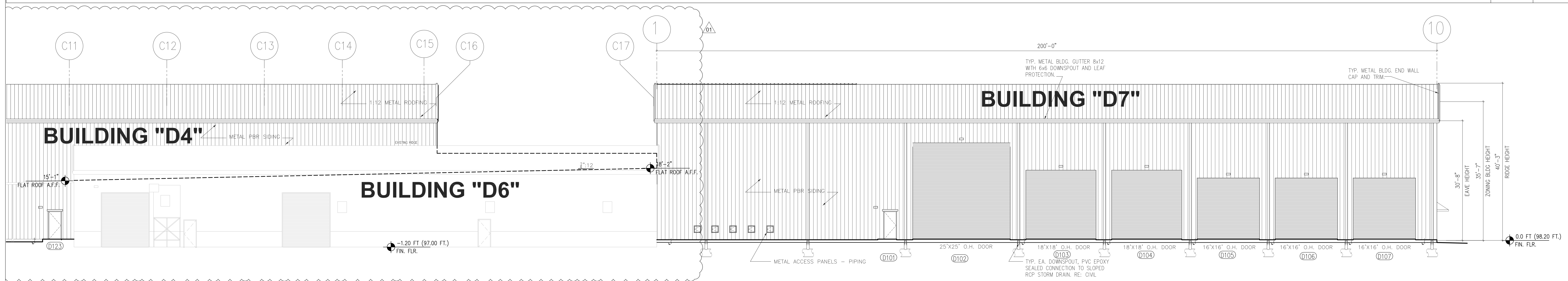
To request an inspection call "PROMPT", our Interactive Voice Response system at 407.246.4444. Information on "PROMPT" may be found at:  
[www.cityoforlando.net/permits/pdfs/prompt.pdf](http://www.cityoforlando.net/permits/pdfs/prompt.pdf) You may also request an inspection online at  
<https://permitlookup.cityoforlando.net/WebPermits/>



**SOUTH ELEVATION**

SCALE  
 3/32" = 1'-0"

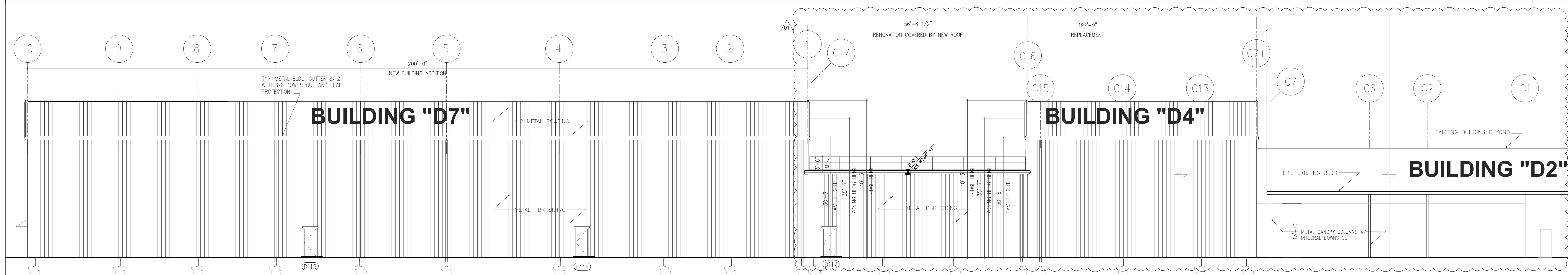
**1**



**WEST ELEVATION**

SCALE  
 3/32" = 1'-0"

**3**

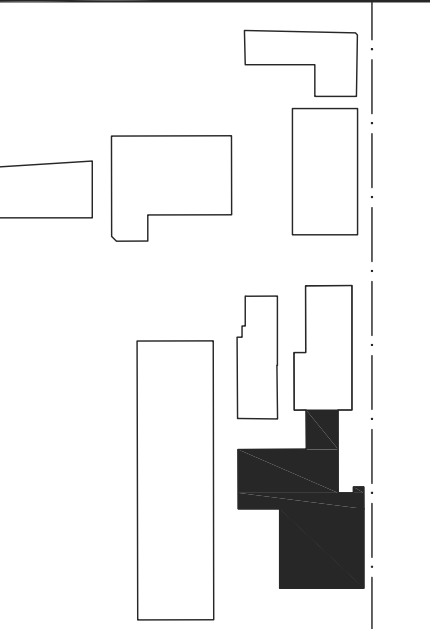


**EAST ELEVATION**

SCALE  
 3/32" = 1'-0"

**4**

**REGAL BOATS AMBASSADOR BUILDING  
 ADDITION AND RENOVATION**  
 2300 JETPORT DRIVE,  
 BELLE ISLE, ORANGE COUNTY,  
 FLORIDA 32309



KEY PLAN - NTS

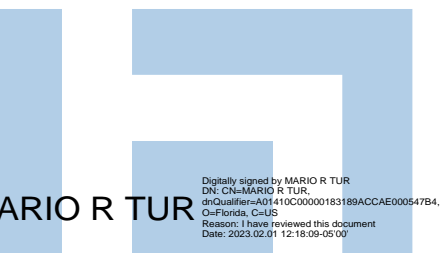
Sheet No.

**A-401**

Sheet Name:

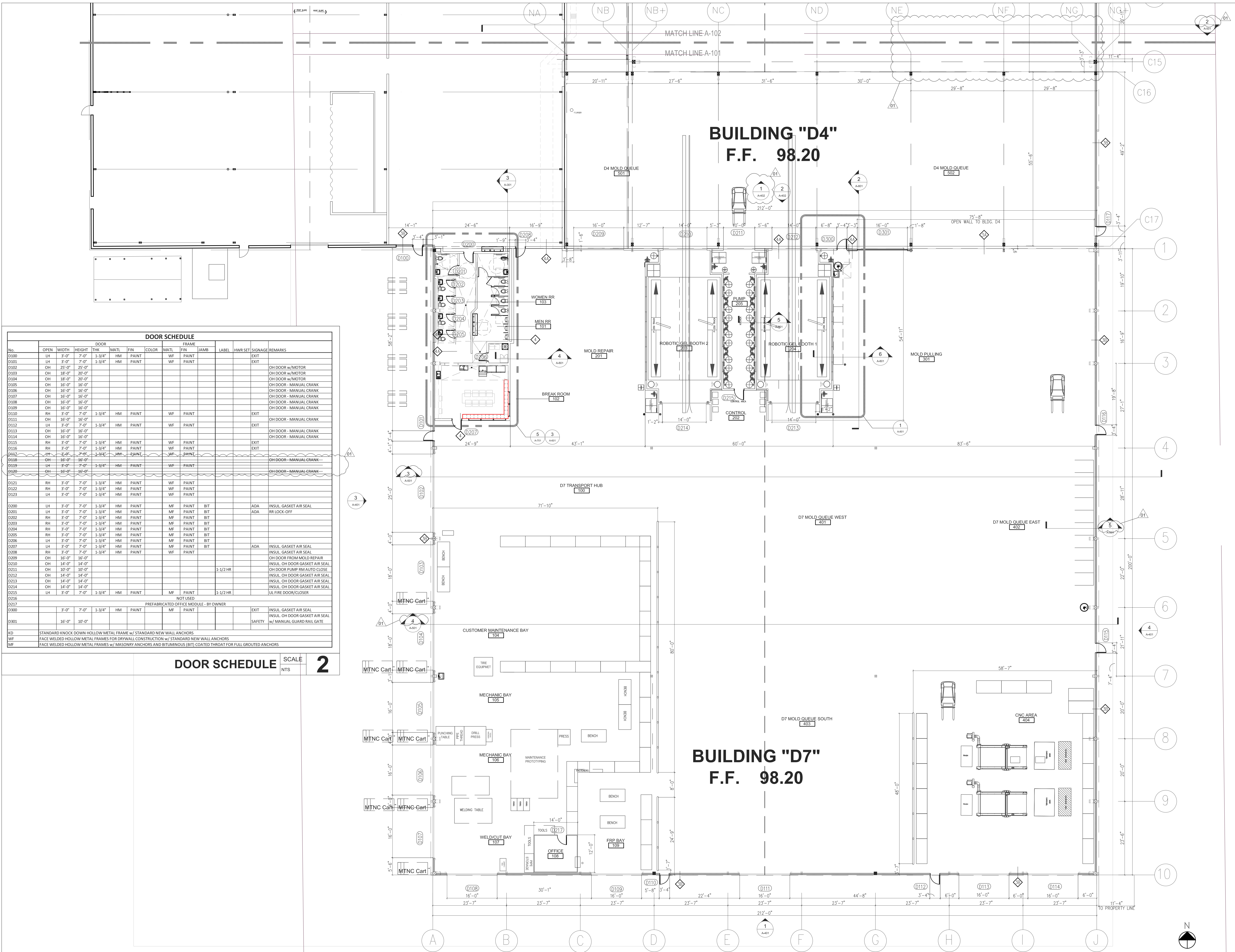
**BUILDING  
 ELEVATIONS**





REVISION	DATE
01 P&Z	02/02/2023

REGAL BOATS AMBASSADOR BUILDING  
 ADDITION AND RENOVATION  
 2300 JETPORT DRIVE  
 BELLE ISLE, ORANGE COUNTY,  
 FLORIDA 32309



DOOR SCHEDULE															
No.	TYPE	OPEN	WIDTH	HEIGHT	THK	MATL	FIN	COLOR	MATL	FIN	JAMB	LABEL	HWR SET	SIGNAGE	REMARKS
D100	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D101	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D102	OH	25'-0"	25'-0"												OH DOOR w/MOTOR
D103	OH	18'-0"	20'-0"												OH DOOR w/MOTOR
D104	OH	18'-0"	20'-0"												OH DOOR w/MOTOR
D105	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D106	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D107	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D108	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D109	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D110	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D111	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D112	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D113	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D114	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D115	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D116	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D117	OH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							OH DOOR - MANUAL CRANK
D118	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D119	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							OH DOOR - MANUAL CRANK
D120	OH	16'-0"	16'-0"												OH DOOR - MANUAL CRANK
D121	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D122	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D123	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	WF	PAINT							EXIT
D200	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT					ADA	INSUL. GASKET AIR SEAL
D201	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT					ADA	RR LOCK-OFF
D202	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D203	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D204	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D205	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D206	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D207	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT					ADA	INSUL. GASKET AIR SEAL
D208	RH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT						
D209	OH	16'-0"	16'-0"												OH DOOR FROM MOLD REPAIR
D210	OH	14'-0"	14'-0"												INSUL. OH DOOR GASKET AIR SEAL
D211	OH	10'-0"	10'-0"											1-1/2 HR	OH DOOR PUMP RM AUTO CLOSE
D212	OH	14'-0"	14'-0"												INSUL. OH DOOR GASKET AIR SEAL
D213	OH	14'-0"	14'-0"												INSUL. OH DOOR GASKET AIR SEAL
D214	OH	14'-0"	14'-0"												INSUL. OH DOOR GASKET AIR SEAL
D215	LH	3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT	BIT					1-1/2 HR	UL FIRE DOOR/CLOSER
D216															NOT USED
D217															PREFABRICATED OFFICE MODULE - BY OWNER
D300		3'-0"	7'-0"	1'-3/4"	HM	PAINT	MF	PAINT							EXIT
D301		16'-0"	10'-0"												INSUL. OH DOOR GASKET AIR SEAL w/ MANUAL GUARD RAIL GATE

DOOR SCHEDULE SCALE 2



# GENERAL NOTES

THE DRAWINGS AND SPECIFICATIONS ARE INSTRUCTIONS DIRECTED TO THE CONTRACTOR, NORMALLY OMITTING THE WORDS, "CONTRACTOR SHALL" AND THE INCLUSION OF ANY WORK BY MENTION, NOTE OR ITEMIZATION, HOWEVER BRIEF, IMPLIES THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH AND INSTALL COMPLETE IN OPERATING DETAIL FOR THE INTENDED USE. DRAWINGS BEING COMPLIMENTARY, ANYTHING SHOWN IS ASSUMED TO BE IMPLIED ON ALL OTHERS, REGARDLESS OF TRADE OR SUB-CONTRACT DIVISION OF WORK.

MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS ARE DIAGRAMMATICAL, NOT NECESSARILY TO SCALE.

THE WORD "PROVIDE" IS INTERPRETED TO MEAN FURNISH AND INSTALL.

IF AN ORDER OF PRECEDENT FOR THE INTERPRETATION OF DOCUMENTS IS NOT PROVIDED IN THE PROJECT MANUAL AND A CONFLICT OCCURS IN THE SPECIFICATION, ON THE DRAWINGS OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT. ALL REQUESTS FOR CLARIFICATION TO THE ARCHITECT SHALL BE MADE IN WRITING. THE ARCHITECT'S RESPONSE SHALL BE MADE IN WRITING.

TYPICAL AND STANDARD DETAILS MAY BE PROVIDED IN THE DRAWINGS. IF A SPECIFIC DETAIL IS NOT PROVIDED FOR CONDITION OF FABRICATION AND/OR INSTALLATION, CONTACT THE ARCHITECT PRIOR TO PROCEEDING.

DO NOT SCALE DRAWINGS. IF THERE IS A CONFLICT IN DIMENSIONS OR IF THERE IS INSUFFICIENT DIMENSIONING, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING.

ALL DIMENSIONS ARE TO THE FACE OF CONCRETE, METAL FRAME, FACE OF MASONRY, OR TO THE CENTER LINE OF STRUCTURAL STEEL COLUMNS AND BEAMS, UNLESS OTHERWISE NOTED.

WHERE CLEAR DIMENSIONS ARE INDICATED, THIS SHALL MEAN CLEAR WIDTH FROM FINISHED WALL TO FINISHED WALL OR CLEAR FLOOR AREA BETWEEN BUILDING COMPONENTS.

DIMENSIONS FOR PATHS OF EGRESS INCLUDING CORRIDORS AND STAIRS SHALL MEAN CLEAR WIDTH BETWEEN CORRIDOR WALLS, AND AT STAIRS CLEAR WIDTH BETWEEN WALLS OR CURBS.

WHERE STRUCTURAL DESIGN LOADS ARE NOT PROVIDED FOR ANY COMPONENTS REQUIRING MANUFACTURER OR FABRICATOR ENGINEERING AND MINIMUM LOADING CONDITIONS ARE NOT PROVIDED IN APPLICABLE CODES AND STANDARDS, CONSULT THE ARCHITECT PRIOR TO PROCEEDING.

ALL FIRE RATED PARTITION OR WALL ASSEMBLIES SHALL EXTEND FROM THE FLOOR SLAB TO THE UNDERSIDE OF THE BUILDING STRUCTURE AND/OR DECK ABOVE UNLESS OTHERWISE DETAILED. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.

ALL FIRE RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLIES SHALL BE CONTINUOUS BETWEEN PARTITIONS AND/OR WALLS FOR THE SPACE OR HORIZONTAL AREA INDICATED. ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE PROPERLY SEALED TO INSURE THE RATING IS MAINTAINED.

THE INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL ITEMS (INCLUDING UTILITIES, ROUGH-INS, SYSTEM COMPONENTS AND FINISHED FIXTURES) IN EXPOSED TO VIEW AREAS OR SPACES SHALL BE UNDERTAKEN WITH SKILL AND CRAFTSMANSHIP TO PROVIDE A FINISHED CONDITION ACCEPTABLE TO THE ARCHITECT. ALL EXPOSED TO VIEW ITEMS SHALL BE FINISHED WITH PAINT UNLESS OTHERWISE SPECIFIED TO BE PRE-FINISHED OR NOT TO BE PAINTED.

ALL COLORS AND FINISHES SHALL BE SELECTED BY THE ARCHITECT. THE ARCHITECT SHALL ISSUE SUPPLEMENTAL INSTRUCTIONS FOR COLORS AND FINISHES AS REQUIRED. VENDOR OR CONTRACTOR NOTES ON SHOP DRAWINGS OR PRODUCT SUBMITTALS REQUESTING A COLOR SELECTION SHALL BE CONFIRMED BY THE ARCHITECT.

THESE GENERAL NOTES HAVE THE SAME AUTHORITY AS OTHER NOTES AND REFERENCES IN THE DRAWINGS OR SPECIFICATIONS AND SHALL NOT BE EXCLUDED IN THE EXECUTION OF THE WORK. THEY MAY REQUIRE COORDINATION BETWEEN VARIOUS TRADE CONTRACTORS. IN ADDITION TO THESE GENERAL NOTES, REFER TO DEMOLITION AND CONSTRUCTION NOTES SPECIFIC TO EACH DRAWING.



## REGAL BOATS AMBASSADOR BUILDING

## SITE LOCATION MAP

### SCOPE OF WORK

AMBASSADOR BUILDING "D" SCOPE OF WORK INCLUDES: CONSTRUCTION OF A PRE-FABRICATED METAL BUILDING STRUCTURE ADDITION CONTAINING 42,400 GSF mol, TO AN EXISTING METAL BUILDING CONTAINING 90,000 GSF mol; A REPLACEMENT RENOVATION OF EXISTING SPACE AND ADDITION, (28,790 GSF mol) EAST OF THE EXISTING BUILDING; RENOVATION OF THE EXISTING CUT AND GRIND AREA (4,600 GSF mol); AND AN OPEN CANOPY ALONG THE EAST, ALL AS SHOWN ON THE PLANS, FOR A TOTAL OF APPROXIMATELY 177,349 GSF mol. THE ADDITION WILL BE USED TO RELOCATE THE EXISTING SPECIAL USE INDUSTRIAL FIBERGLASS BOAT AND YACHT FABRICATION PROCESS WITHIN THE EXISTING BUILDING.

A NEW ELEVATED UNOCCUPIED ROOF OVER THE (RENOVATED) BUILDING WILL BE USED FOR HVAC EQUIPMENT ACCESSIBLE TO MAINTENANCE AND CONSTRUCTION PERSONNEL ONLY BY WAY OF A FIXED INDUSTRIAL STAIR MEETING FBC-8 CODES AND OSHA STANDARDS.

THE AMBASSADOR BUILDING ADDITION WILL ACCOMMODATE NEW SPACES SUCH AS: GEL BOOTHS, FRP BAYS, MECHANIC BAYS, WELD/CUT BAY, TECH BAY, PULL, MOLDS AREA, MOLDS GEL QUEUE, MAINTENANCE, AND SUPPORT SPACES SUCH AS OFFICES, RESTROOMS, BREAK ROOM, ELECTRICAL SERVICE AREA, MATERIAL AND EQUIPMENT RACKS, AND OTHER ANCILLARY SPACES AND FEATURES SHOWN ON PLANS.

STRUCTURAL SCOPE OF WORK INCLUDES THE DESIGN OF FOUNDATIONS FOR COLUMNS, WALLS, BUILDING SLAB, STRUCTURAL SUPPORT FOR CRANE/HOIST, FIRE RESISTIVE SEPARATION WALLS FOR HAZARDOUS MATERIALS, OVERHEAD AND PERSONNEL DOOR OPENING SUPPORTS, CANOPIES, AND OTHER METAL BUILDING FEATURES. THE METAL BUILDING AND CANOPY STRUCTURE DESIGN AND INSTALLATION WILL BE PROVIDED BY A SEPARATE PERMIT.

THE NEW BUILDING WILL BE NATURALLY VENTILATED WITH HVAC DEDICATED TO OCCUPIED SPACES SUCH AS RESTROOMS, BREAK ROOM, OFFICE AND OTHER SPACES AS REQUIRED BY THE OWNER'S MANUFACTURING PROCESS. PROVIDE WATER AND SEWER CONNECTED TO A NEW SANITARY SEWER SYSTEM UNDER SEPARATE CONTRACT. PROVIDE AN ELECTRICAL SYSTEM INCLUDING LIGHTING AND POWER FOR THE OWNER'S EQUIPMENT AND OCCUPANT USE TO BE SERVED FROM EXISTING SERVICE ENTRANCE LOCATION.

**FBC INSPECTIONS**  
FRAMING INSPECTION:  
ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETED, INSPECTED AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTIONS.

**GRADE ELEVATIONS**  
SITE GRADE ELEVATIONS WILL REMAIN AS EXISTING UNLESS NOTED OTHERWISE REFER TO THE CIVIL ENGINEERING PLANS FOR ALL SITE WORK AND INFRASTRUCTURE. CIVIL DOCUMENTS ARE LISTED ON THE COVER FOR REFERENCE ONLY, NOT A PART OF THE ARCHITECTURAL SUBMISSION.



REGAL MARINE INDUSTRIES, INC.  
PHASE 2 - ADDITION AND RENOVATION  
2300 JETPORT DRIVE  
BELLE ISLE, FLORIDA 32809



GARY DAVIS, GENERAL CONTRACTOR  
543 MARY JESS ROAD  
ORLANDO, FLORIDA 32839  
407-719-5908  
garyvandavis@gmail.com

# ARCHITECTURAL PERMIT SET NOVEMBER 23, 2022

## SHEET INDEX

SHEET	DESCRIPTION	ISSUANCE	COMMENTS
<p>● - SHEET ISSUED ▲ - SHEET REVISED AND ISSUED</p> <p>ALL WORK SUBJECT TO CITY OF ORLANDO PERMIT SUBMISSION ALL WORK SUBJECT TO CITY OF ORLANDO PERMIT SUBMISSION ALL WORK SUBJECT TO CITY OF ORLANDO PERMIT SUBMISSION</p>			
<b>CIVIL:</b>			
C-0.0	COVER SHEET	●	REFERENCE ONLY
C-1.1	GENERAL NOTES	●	REFERENCE ONLY
C-1.2	GENERAL NOTES	●	REFERENCE ONLY
C-3.0	BUILDING EXPANSION DEMOLITION PLAN	●	REFERENCE ONLY
C-3.1	PARKING EXPANSION AREA DEMOLITION PLAN	●	REFERENCE ONLY
C-5.0	OVERALL SITE PLAN	●	REFERENCE ONLY
C-5.1	BUILDING EXPANSION SITE PLAN	●	REFERENCE ONLY
C-6.0	PROPOSED CANOPY & PARKING EXPANSION AREA GRADING PLAN	●	REFERENCE ONLY
C-6.1	BUILDING EXPANSION GRADING PLAN	●	REFERENCE ONLY
C-7.0	BUILDING EXPANSION UTILITY PLAN	●	REFERENCE ONLY
C-7.1	PROPOSED SANITARY SEWER PLAN & PROFILES	●	REFERENCE ONLY
C-8.0	WATER SERVICE DETAILS	●	REFERENCE ONLY
C-8.1	CITY OF ORLANDO SANITARY SEWER DETAILS	●	REFERENCE ONLY
<b>ARCHITECTURAL:</b>			
A-000	COVER SHEET	● ▲ ▲ ▲	INCLUDES: INDEX / LOCATION MAP
A-001	INFO SITE PROGRAM	● ▲ ▲ ▲	PROJECT SCOPE, STANDARDS
A-002	ACCESSIBILITY DETAILS	● ▲ ▲	
A-010	LIFE SAFETY PLAN REFERENCE	● ▲ ▲	CODE REVIEW
A-011	LIFE SAFETY PLAN ADDITION SOUTH	● ▲ ▲	
A-012	LIFE SAFETY PLAN RENOVATION	● ▲ ▲	
A-013	LIFE SAFETY PLAN EXISTING NORTH	● ▲ ▲	
A-014	LIFE SAFETY PLAN HAZARDOUS MATERIALS	● ▲ ▲	SCHEDULES, CODE, MAG, CONTROL AREAS
A-020	DEMOLITION FLOOR PLAN	● ▲ ▲ ▲	
A-100	REFERENCE ADDITION AND RENOVATION PLAN	● ▲ ▲	WALL TYPES AND GENERAL NOTES
A-101	ADDITION SOUTH FLOOR PLAN	● ▲ ▲ ▲	
A-102	ADDITION EAST FLOOR PLAN	● ▲ ▲ ▲	
A-200	REFLECTED CEILING PLANS (RCP)	● ▲ ▲	
A-300	REFERENCE ROOF PLAN	● ▲ ▲	DEMOLITION AND NEW ROOF PLAN
A-301	ADDITION SOUTH ROOF PLAN	● ▲ ▲	
A-302	RENOVATION / ADDITION ROOF PLAN	● ▲ ▲	
A-401	BUILDING ELEVATIONS	● ▲ ▲ ▲	BUILDING D7 NORTH, BUILDING D4 SOUTH
A-402	BUILDING ELEVATIONS	● ▲ ▲ ▲	
A-501	BUILDING SECTIONS	● ▲ ▲ ▲	
A-601	ADDITION ENLARGED PLANS	● ▲ ▲	
A-701	INTERIOR ELEVATIONS	● ▲ ▲	RESTROOM AND BREAK ROOM
A-801	STAIR PLANS	● ▲ ▲	SECTION, ELEVATION, AND DETAILS
<b>STRUCTURAL:</b>			
SHEET DESCRIPTION			
<b>MECHANICAL:</b>			
SHEET DESCRIPTION			
<b>PLUMBING:</b>			
SHEET DESCRIPTION			
<b>ELECTRICAL:</b>			
SHEET DESCRIPTION			
<b>FIRE PROTECTION</b>			
SHEET DESCRIPTION			

NOTE: INFORMATION CONTAINED IN THESE DOCUMENTS HAS BEEN FURNISHED BY THE OWNER AS PREPARED BY THE PROFESSIONALS LISTED ON THE PLANS. SUCH INFORMATION ARE CONSIDERED INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THE PROFESSIONALS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS, BY RELEASE OF THE INSTRUMENTS OF SERVICE TO THE OWNER, THE PROFESSIONALS GRANT THE OWNER AND ARCHITECT A NONEXCLUSIVE LICENSE TO REPRODUCE THEIR RESPECTIVE INFORMATION FOR PURPOSES OF CONSTRUCTING, USING AND MAINTAINING THE PROJECT, PROVIDED THAT THE OWNER SHALL COMPLY WITH ALL OBLIGATIONS, INCLUDING PROMPT PAYMENT OF ALL SUMS DUE, UNDER ITS AGREEMENT WITH RESPECTIVE PROFESSIONALS. © COPYRIGHT MARIO R. TUR, JR. ARCHITECT, FLORIDA ARO012539 2018 - 2023

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MARIO R TUR  
REGISTERED ARCHITECT

Digital Signature Certificate

Project Number:  
20220413

Date of Issue:  
NOVEMBER 23, 2022

Revision/Date:

REVISION	DATE
01/ P&Z	02/02/2023

REGAL BOATS AMBASSADOR BUILDING  
ADDITION AND RENOVATION  
2300 JETPORT DRIVE  
BELLE ISLE, ORANGE COUNTY,  
FLORIDA 32809



KEY PLAN - NTS

Sheet No.

**A-000**

Sheet Name:

COVER





Digital Signature Certificate

Project Number:  
20220413

Date of Issue:  
NOVEMBER 23, 2022

Revision/Date:	DATE
01, PZ	02/10/2023

**REGAL BOATS AMBASSADOR BUILDING  
ADDITION AND RENOVATION**  
 2300 JEFFERSON DRIVE  
 BELLE ISLE, ORANGE COUNTY,  
 FLORIDA 32309

KEY PLAN - NTS

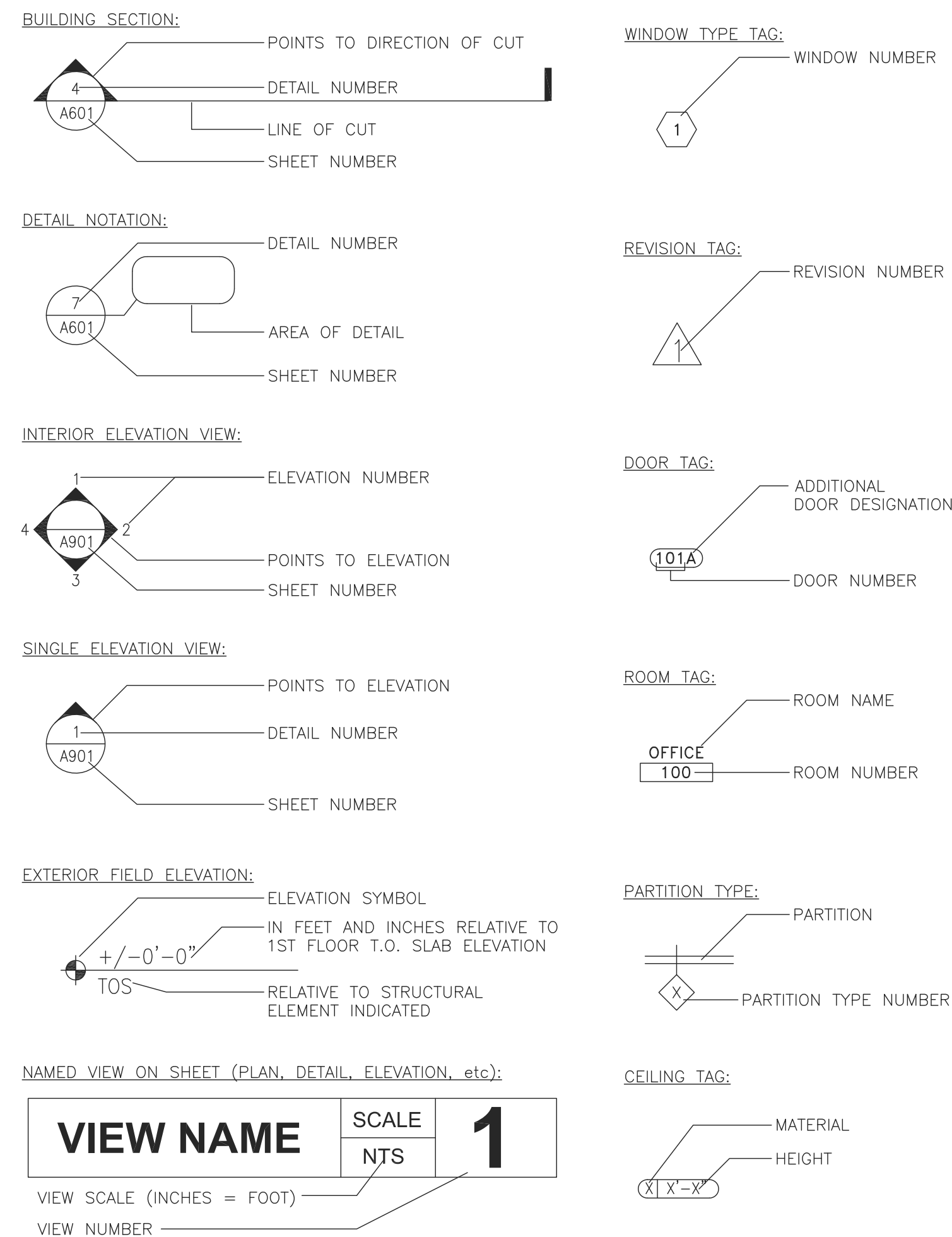
Sheet No.

**A-001**

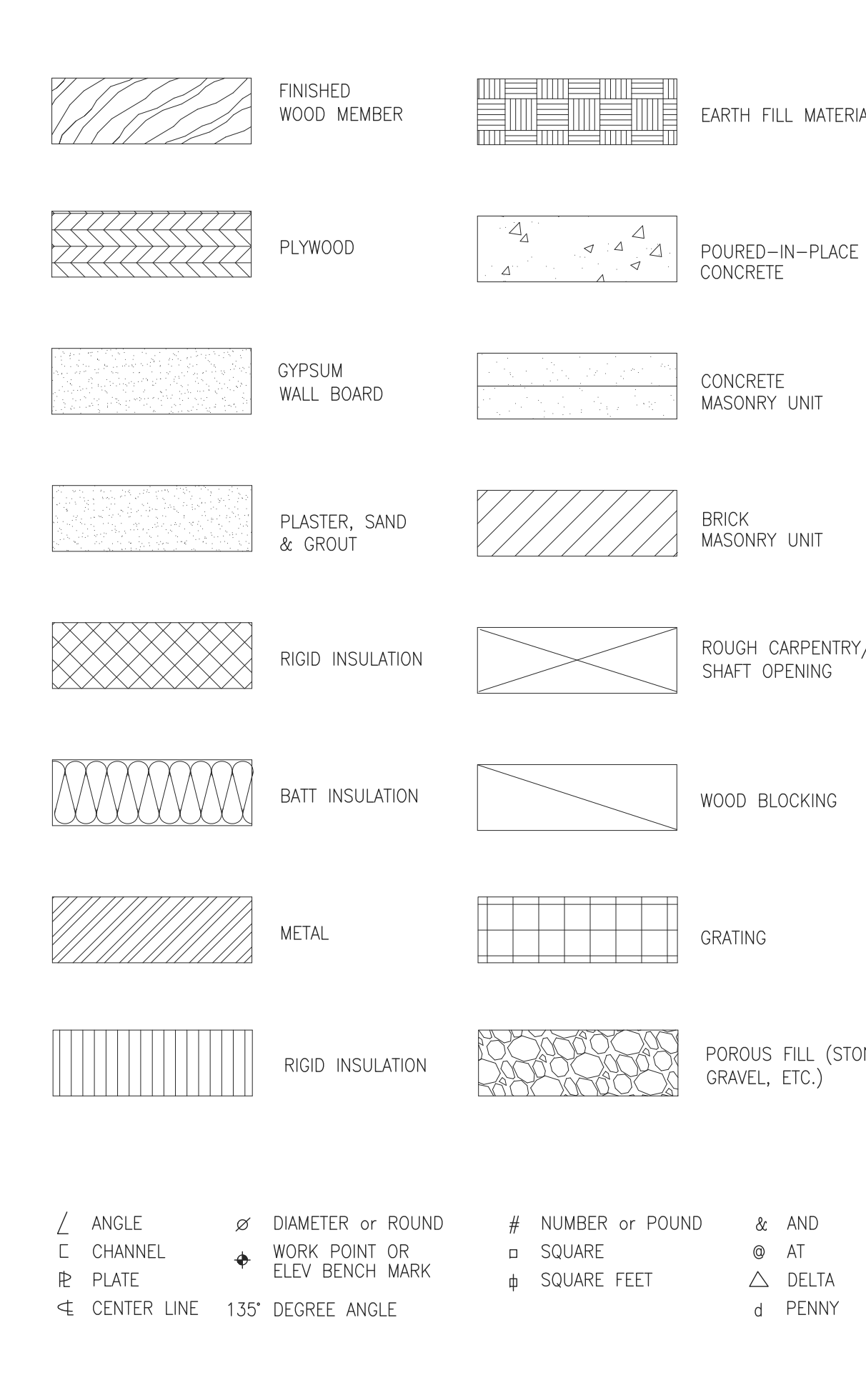
Sheet Name:

**INFO SITE  
PROGRAM**

**SYMBOLS**



**MATERIALS LEGEND**



**ARCHITECTURAL GENERAL NOTES**

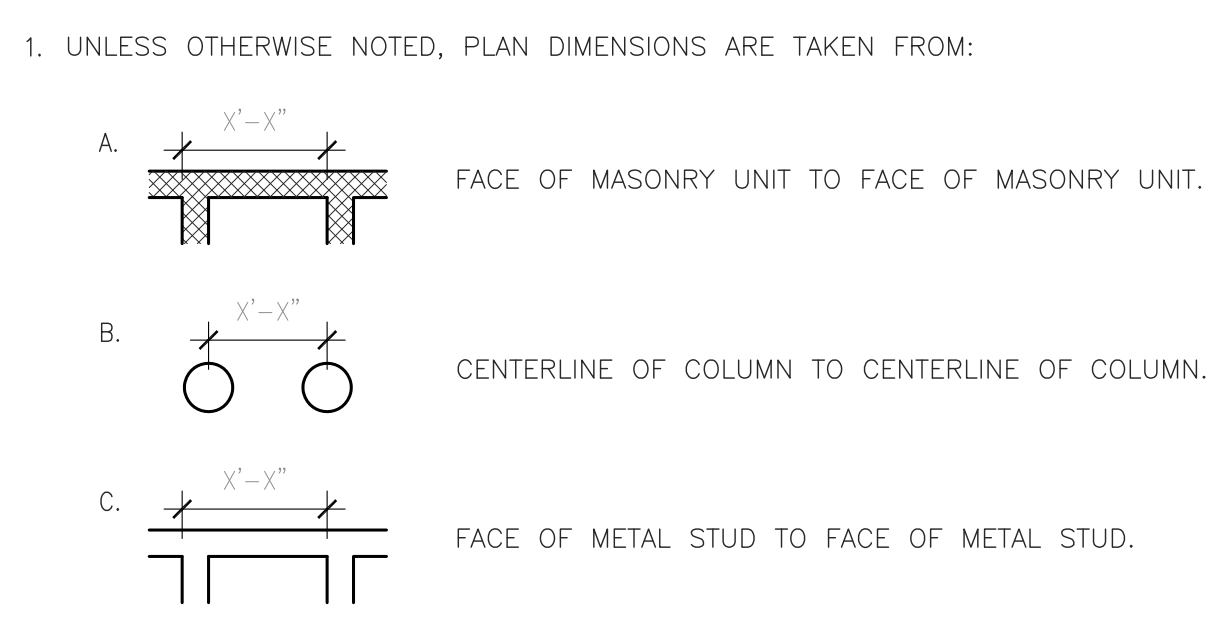
- VISIT AND INSPECT THE PREMISES, PRIOR TO SUBMITTING THEIR PROPOSAL, TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM DUE TO LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE CONTRACTOR COULD HAVE INFORMED THEMSELVES.
- BEFORE COMMENCING WORK, REVIEW ALL PLANS, NOTES, GENERAL CONDITIONS, AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS ON THE JOB SITE. THE CONTRACTOR SHALL EXAMINE ALL ADJOINING AREAS OR AREA UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ALL VARIANCES OR DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO FABRICATION OR ERECTION OF WORK IN QUESTION. ANY VARIANCES OR DISCREPANCIES IN THE DOCUMENTS NOT REPORTED IMMEDIATELY TO THE ARCHITECT SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
- MAKE KNOWN TO THE ARCHITECT ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE DOCUMENTS DURING THE PRICING PHASES OF THE PROJECT. UNLESS ADVISED OTHERWISE IN WRITING, THESE ITEMS SHALL BE PRESUMED INCLUDED IN THE CONTRACTOR'S PRICE.
- BE SOLELY RESPONSIBLE FOR THE ACCURACY OF HIS MEASUREMENTS AND TOTAL FINISH REQUIREMENTS TO BE FURNISHED. NO REQUESTS FOR MATERIALS OR INSTALLATION EXTRAS WILL BE CONSIDERED DUE TO MEASUREMENT OR TAKEOFF ERRORS BY CONTRACTOR.
- BE RESPONSIBLE FOR DISTRIBUTION OF 100% CONSTRUCTION DOCUMENTS TO ALL TRADES AND NOT THE RESPONSIBILITY OF THE ARCHITECT.
- PROVIDE ALL LABOR AND MATERIALS TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS WITH THE EXCEPTION OF ITEMS OR AREAS MARKED "NOT IN CONTRACT", "N.I.C.", OR "BY OTHERS".
- KEEP SUFFICIENT WORKERS ON THE JOB SITE AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND THE BEST INTEREST OF THE END USER.
- ALL FEES, TAXES, PERMITS, APPLICATIONS, CERTIFICATES OF INSPECTION AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR DESIGNATED SUB-CONTRACTOR.
- DO NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH ADDITIONAL COMPENSATION IS EXPECTED WITHOUT WRITTEN AUTHORIZATION TO PERFORM SUCH WORK.
- AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR OPERATIONS OR THE OPERATIONS OF ANY OTHER CONTRACTORS WITHIN THE AREA OF WORK. METHODS FOR SUCH REMOVAL MUST BE AGREEABLE TO THE OWNER AND GOVERNMENT AGENCIES HAVING JURISDICTION.
- PREMISES SHALL BE SWEEP CLEAN DAILY OF CONSTRUCTION DEBRIS.
- FINAL CLEANING PRIOR TO OWNER OCCUPANCY SHALL INCLUDE (BUT NOT BE LIMITED TO): CLEANING OF ALL WOOD AND GLASS SURFACES, DUSTING OF ALL HORIZONTAL SURFACES, VACUUMING OF ALL CARPETED AREAS, REMOVAL OF ALL STAINS, SPOTS, SPILLS, ETC. ON ANY SURFACE, MOP CLEANING AND WAXING OF ALL RESILIENT FLOORS, AND CLEANING ALL VINYL WALL COVERINGS FREE FROM DIRT ADHESIVE OR OTHER FOREIGN MATERIALS.
- DETERMINE AVAILABILITY OF ALL FINISH MATERIALS, TRADES AND ITEMS SHOWN IN THESE DOCUMENTS. ANY DELIVERY THAT MAY CAUSE POTENTIAL PROBLEMS IN MEETING AGREED UPON CONSTRUCTION SCHEDULE SHALL BE BROUGHT TO THE ARCHITECT ATTENTION FOR POSSIBLE REEVALUATION OF MATERIAL DESIGNATION.
- BE ANSWERABLE FOR THE WORK AND SHALL NOT ACCEPT INSTRUCTION FROM LOCAL PERSONNEL WITHOUT VERIFICATION FROM THE OWNER'S AGREED UPON REPRESENTATIVE. THE CONTRACTOR WILL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION AND REMOVAL OF SUCH WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- PROVIDE ALL WOOD BLOCKING NECESSARY FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO TOILET ACCESSORIES, EQUIPMENT BRACKETS, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT, GRAB BARS, HANDRAILS, CASEWORK AND MILLWORK, AS APPLICABLE.
- COMPLY WITH ALL THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF ELEVATORS, LOADING DOCKS, ETC. FOR THE PURPOSE OF DELIVERY AND THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS, TO AVOID CONFLICT OR INTERFERENCE WITH NORMAL BUILDING OPERATIONS.
- EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS PRIOR TO PROCEEDING WITH CONSTRUCTION AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. ALL DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED. THE CONTRACTOR REQUIRING SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF MATERIAL OR EQUIPMENT, THEY SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD INFORMATION.
- THE TRANSITION OF DIFFERENT FLOORING MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS INDICATED OTHERWISE.
- ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS SHALL RECEIVE PAINT WHEN PAINT IS INDICATED ON THE FINISH SCHEDULE OR FINISH PLANS. PAINT SURFACES BEHIND MOVABLE EQUIPMENT AND FURNITURE SHALL RECEIVE SIMILAR EXPOSED SURFACES. PAINT SURFACES BEHIND PERMANENTLY FIXED EQUIPMENT OR FURNITURE WITH PRIME COAT ONLY BEFORE FINAL INSTALLATION OF EQUIPMENT. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS THE EQUIPMENT, DEVICE OR MATERIAL IS INDICATED AS A FACTORY FINISH, NOT REQUIRING FIELD PAINTING.
- REPAIR ALL SURFACES DAMAGED BY NEW CONSTRUCTION TO MATCH EXISTING ADJACENT OR CONTIGUOUS FINISH.
- ALL CUTTING AND PATCHING AS A RESULT OF NEW CONSTRUCTION SHALL BE PERFORMED IN A WORKMANLIKE MANNER, AND SHALL MATCH IN COLOR, SHAPE, SIZE AND TEXTURE ADJACENT AND/OR CONTIGUOUS FINISHED SURFACES.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE DRAWINGS.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TAKEN FROM FACE OF STUDS TO FACE OF STUDS OR IN THE CASE OF EXISTING CONDITIONS, FACE OF EXISTING FINISH TO FACE OF NEW STUD/FRAME/BLOCK/STRUCTURE.
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING, AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATION REQUIREMENTS AND BASIS OF DESIGN INTENT.
- PLAN NORTH DIFFERS FROM ACTUAL NORTH. ACTUAL NORTH IS INDICATED ON PLAN SHEETS FOR REMAINDER OF DISCIPLINES UNO. ORDINAL DIRECTIONS ON NON-CIVIL PLAN DRAWINGS ARE IN REFERENCE TO PLAN NORTH UNO.
- IF THE CONTRACTOR ENCOUNTERS ANY UNFORESEEN CONDITION, THE ARCHITECT MUST BE MADE AWARE FOR A POSSIBLE CHANGE IN DESIGN.
- REVIEW THE ARCHITECTURAL, STRUCTURE, CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF CHASE, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS. ALL DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THESE DRAWINGS WERE DESIGNED TO BE USED (AND REFERENCED) BY AN EXPERIENCED, QUALIFIED AND FLORIDA LICENSED GENERAL CONTRACTOR AND SUB-CONTRACTOR. INTERPRETATION OF THE PLANS BY A LAY PERSON IS NOT RECOMMENDED OR AUTHORIZED BY THE ARCHITECT.
- CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT AND OWNER FOR REVIEW OF ALL MATERIALS TOGETHER WITH FINISHES AND INTENDED USE IN THE WORK PRIOR TO COMMENCEMENT OF WORK.
- WHEN THE JOB IS SUBSTANTIALLY COMPLETE, THE GENERAL CONTRACTOR SHALL PREPARE A PUNCH LIST OF ITEMS TO BE COMPLETED OR CORRECTED AND SUBMIT THIS LIST TO THE ARCHITECT AND TO THE OWNER. FAILURE TO INCLUDE ANY ITEMS ON THIS LIST DOES NOT ALTER THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER (IN WRITING) ALL MANUFACTURER'S MANUALS, WARRANTIES, AND RECOMMENDED MAINTENANCE PROCEDURES/SCHEDULES FOR ALL EQUIPMENT AND FINISHES INSTALLED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE GOVERNMENTAL AGENCY HAVING JURISDICTION AND SHALL CONFORM TO ALL LIFE, SAFETY AND SANITARY LAWS, CITY, COUNTY, STATE, AND/OR FEDERAL ORDINANCES WHICH APPLY.
- THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS, IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, SHALL APPLY UNLESS OTHERWISE DETAILED IN CONSTRUCTION DOCUMENTS.
- FINISH FLOOR ELEVATION 0'-0" SHOWN ON ARCHITECTURAL DRAWINGS IS EQUAL TO ACTUAL FINISH FLOOR ELEVATIONS SHOWN ON CIVIL DRAWINGS.
- ASBESTOS OR ANY ASBESTOS CONTAINING MATERIAL SHALL NOT BE USED UNDER ANY CIRCUMSTANCES.
- PLANS THAT HAVE BEEN DIGITALLY SIGNED, SEALED, AND CERTIFIED BY A THIRD PARTY CERTIFICATE AUTHORITY PER REQUIREMENTS OF ORANGE COUNTY, FLORIDA, SHALL NOT BE CHANGED, ALTERED, REVISED, BY ANY OTHER INDIVIDUAL, COMPANY, OR AGENCY OTHER THAN THE ARCHITECT WHO PREPARED AND SIGNED THE PLANS.

**ABBREVIATIONS**

AB	ANCHOR BOLTS	FD	FLOOR DRAIN	PC	PORTLAND CEMENT
AC or A/C	AIR CONDITIONING	FE	FIRE EXTINGUISHER	PL	PLATE
ACOUS	ACOUSTICAL	FH	FULL HEIGHT	PLY	PLYWOOD
AD	ACCESS DOOR	FHC	FIRE HOSE CABINET	PR	PAIR
AFF	ABOVE FINISHED FLOOR	FIN	FINISH	PREP	PREPARATION
ALUM	ALUMINUM	FLR	FLOOR	PROJ	PROJECTION
APPR	APPROVED	FO	FINISHED OPENING	QT	QUARRY TILE
BD or BRD	BOARD	FOC	FACE OF CONCRETE	R	RISER
BLDG	BUILDING	FOS	FACE OF STUD	RAD	RADIUS
BLK	BLOCK	FOW	FACE OF WALL	RD	ROOF DRAIN
BM	BEAM	FS	FLOOR SINK	REF	REFERENCE
BOB	BOTTOM OF BEAM	FT	FEET	REFL	REFLECTED
BOT	BOTTOM	GA	GAUGE	REINF	REINFORCE
		GALV	GALVANIZE	REQ'D	REQUIRED
C/C	CENTER TO CENTER	GL	GLASS	REV	REVERSE
CEM	CEMENT	GR	GRADE	RM	ROOM
CER	CERAMIC	CYP BD	GYPSPUM BOARD	RO	ROUGH OPENING
CH	CEILING HEIGHT	GWB		SOWD	SOLID CORE WOOD DOOR
CJ	CONTROL JOINT			SECT	SECTION
CLG or CEIL	CEILING	HWWD	HARDWOOD	SHT	SHEET
CLO	CLOSET	HM	HOLLOW METAL	SIM	SIMILAR
CLR	CLEAR	HORIZ	HORIZONTAL	SIMUL	SIMULATED
CMU	CONCRETE MASONRY UNIT	ID	INSIDE DIAMETER	SPECS	SPECIFICATIONS
COL	COLUMN	INSUL	INSULATION	SQ	SQUARE
COMP	COMPOSITION	INT	INTERIOR	SS	STAINLESS STEEL
CONC	CONCRETE	JAN	JANITOR	STD	STANDARD
CONN	CONNECTION	LAV	LAVATORY	STL	STEEL
CONT	CONTINUOUS	LEV	LEVEL	STRUCT	STRUCTURAL
CORR	CORRIDOR	LTG	LIGHTING	SUSP	SUSPENDED
CSK	COUNTERSINK	LT WT	LIGHT WEIGHT	SYM	SYMMETRICAL
		MAINT	MAINTENANCE	T	TREAD
DBL	DOUBLE	MATL	MATERIAL	TB	TACKBOARD
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
DIA	DIAMETER	MECH	MECHANICAL	TEL	TELEPHONE
DIAG	DIAGONAL	MTL	METAL	THK	THICK
DIM	DIMENSION	MEZZ	MEZZANINE	TOP	TOP OF CONCRETE / CURB
DN	DOWN	MFR	MANUFACTURER	TOP	TOP OF PARAPET
DO	DOOR OPENING	MNI	MINIMUM	TOW	TOP OF STEEL
DR	DOOR	MISC	MISCELLANEOUS	TYP	TYPICAL
DS	DOWNSPOUT	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
DTL	DETAIL	MT	METAL THRESHOLD	VERT	VERTICAL
DWG	DRAWINGS	MULL	MULLION	WC	WATER CLOSET
		N	NEW	WD	WOOD
EA	EACH	NO	NUMBER	WI	WROUGHT IRON
EJ	EXPANSION JOINT	NR	NON-RATED	WL	WATER LEVEL
ELEC	ELECTRICAL	NTS	NOT TO SCALE	WP	WATERPROOFING
ELEV or EL	ELEVATION	OC	ON CENTER	WP	WORKING POINT
EQ	EQUAL	OD	OUTSIDE DIAMETER		
EQUIP	EQUIPMENT	OH	OPPOSITE HAND		
EXIST	EXISTING	OPNG	OPENING		
EXT	EXTERIOR	OPP	OPPOSITE		
EWC	ELEC. WATER COOLER				

NOTE: ALL ITEMS, PRODUCTS OR SYSTEMS ABBREVIATED MAY NOT BE INCLUDED IN THIS CONTRACT

**DIMENSIONING**



**INTERIOR SIGNAGE**

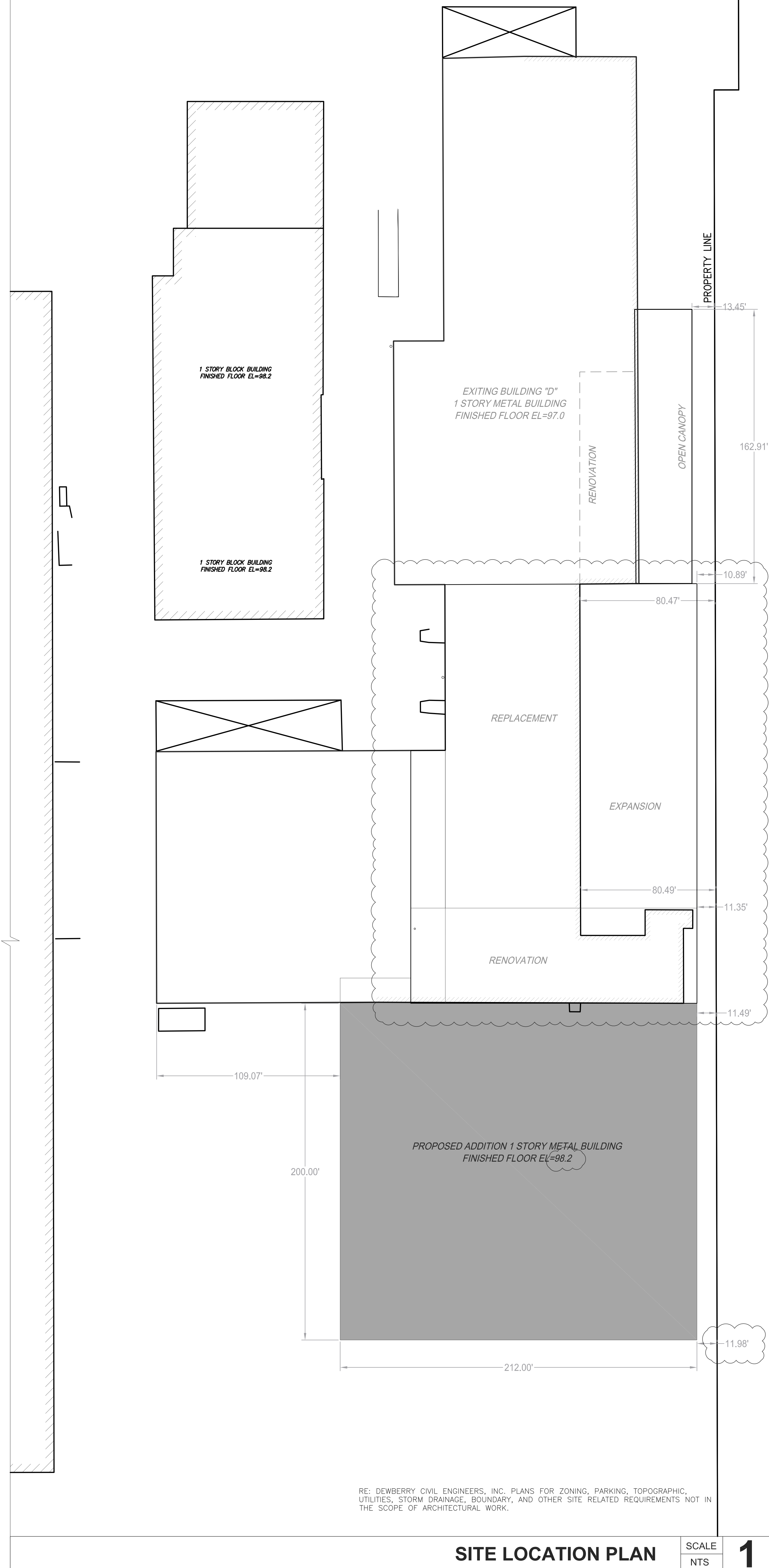
**BASIS OF DESIGN**  
 INTERIOR USE - 1/8" THICK PHENOLIC CORE WITH HIGH PRESSURE LAMINATE EACH SIDE

**INTERIOR ADA GRAPHICS**  
 FONT" HELVETICA/NEUE-BOLD (HM)  
 SIZE: 5/8"  
 COLOR: WHITE RAISED LETTERS, BORDER AND SYMBOL SURFACES, BACKGROUND PANATONE BLUE 072 C

**NOTE:** ALL INTERIOR SIGNAGE SHALL USE THE OWNER'S ROOM NUMBERING SYSTEM TO BE CONFIRMED BY THE OWNER.

**NOTE:** EXTERIOR SIGNAGE BY OWNER.

**SAMPLE ONLY**



**SITE LOCATION PLAN**

SCALE  
NTS  
**1**



February 1, 2023

File No.: 50143646 (REGA)

Raquel Lozano, Planner  
City of Belle Isle  
1600 Nela Avenue  
Belle Isle, FL 32809

Subject: **Regal Marine Ambassador Expansion Project  
Final Plan Review  
Response to Comments**

Dear Ms. Lozano:

We offer the following information and supporting documentation in response to review comments dated January 13, 2023, regarding the above referenced project. We have included the named attachments to accompany our responses, which correspond to the order your comments were presented and appear in bold type.

### **City of Belle Isle**

After reviewing the application for zoning approval, the following information needs to be addressed:

1. A brief letter with the description of the new building must be provided to ensure its purpose and intent meets the permissible uses of I-2 zoning districts.

Reference to i-2 permissible uses can be seen here under Sec. 54-82: [https://library.municode.com/fl/belle\\_isle/codes/code\\_of\\_ordinances?nodeId=SPBLADECO\\_C H54ZODIRE\\_ARTIIIZOCL\\_S54-82INDI](https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_C H54ZODIRE_ARTIIIZOCL_S54-82INDI)

**Response: Please see enclosed narrative.**

2. On C-5.0, the Site Data references parcel # 31-23-30-0000-00-012, 31-23-30-0000-00-013, and 31-23-30-0000-00-017. Based on the scope of work, the parcels impacted by the project proposal include 31-23-30-0000-00-011, 31-23-30-0000-00-012, 31-23-30-0000-00-027 and 31-23-30-0000-00-029.

Parcels 31-23-30-0000-00-013 and 31-23-30-0000-00-017 reference the basins affected by the proposed developments, which are included in the ISR Area Limits. The various addresses and names associated with the parcels should be identified in the plans and building permit application.

*Please verify if parcel # 31-23-30-0000-00-001, 31-23-30-0000-00-004, and 31-23-30-0000-00-015 should also be included.*

**Response: The additional parcels have been added to the Site Data on Sheet C-5**



- 3. On C-5.2, the parking plan does not indicate any of the proposed parking spaces designated for handicap use. Handicap spaces must be at least 12 ft in width and 20 ft in length. Additional considerations for handicap parking requirements can be found under Sec. 50-72:.

[https://library.municode.com/fl/belle\\_isle/codes/code\\_of\\_ordinances?nodeId=SPBLADECO\\_C\\_H50PEDERE\\_ARTIIIDEST\\_S50-72PALORE](https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_C_H50PEDERE_ARTIIIDEST_S50-72PALORE)

If the applicant is seeking a variance on the parking requirements, it must be stated in the plans. Any variance request may be included as part of the site review process.

**Response: See Sheet C-5.0 and C-5.2 for the additional proposed parking spaces.**

- 4. On Sheet C-5.2, The parking plan shows some of the new parking spots (north of the Administration Building) encroaching within 5 ft of the required land buffer.

Under Sec. 50-76 (3) (b), Landscaping requirements cite a minimum five-foot grass and tree area shall apply to the rear and side property line. Please show buffer widths on the landscaping plans and development plan, ensuring they are consistent with City of Belle Isle Code requirements.

Here is a link to the code:

[https://library.municode.com/fl/belle\\_isle/codes/code\\_of\\_ordinances?nodeId=SPBLADECO\\_C\\_H50PEDERE\\_ARTIIIDEST\\_S50-76LARE](https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_C_H50PEDERE_ARTIIIDEST_S50-76LARE)

**Response: The new parking spaces along the east property line have been revised to be at a minimum 5 feet setback from the property line. The adjacent property has one tree per 50 LF installed in the buffer, as per code we are not required to plant additional buffer trees on our site.**

- 5. According to Sec. 54-82 (f) (3), the Site Plan Review must be presented to the Planning and Zoning Board for final zoning approval. The board must approve the site plan before granting a building permit. Upon approval, said site plan becomes part of the building permit and may be amended only by the board. There is no formal application for Site Plan Review, but the building plans must be submitted to City Hall, along with the site plan review fee, by the first Thursday of the month in order to be scheduled for the next P&Z meeting.

Here is a reference to the code:

[https://library.municode.com/fl/belle\\_isle/codes/code\\_of\\_ordinances?nodeId=SPBLADECO\\_C\\_H54ZODIRE\\_ARTIIIZOCL\\_S54-82INDI](https://library.municode.com/fl/belle_isle/codes/code_of_ordinances?nodeId=SPBLADECO_C_H54ZODIRE_ARTIIIZOCL_S54-82INDI).

**Response: Acknowledged.**

**Harris Engineering**

- 1. Sheet C-5.0 - The number of accessible parking spaces listed in the existing and provided parking data does not meet ADA standards.

**Response: The minimum number of required ADA parking spaces has been revised on Sheet C-5.0. additional ADA parking spaces are proposed, see revised Sheet C-5.0 and C-5.2**

- 2. Sheet C-5.1 - Existing concrete area hatch and proposed concrete hatch are very difficult to tell apart.

**Response: See revised construcion plans.**

- 3. Sheet C-6.1 - Cross section E appears to be backwards based on the orientation of the cross section cut arrows.

**Response: The section orientation has been revised.**

- 4. Cross Section F is missing the proposed 15” storm RCP.

**Response: The proposed 15” storm pipe has been added to Section F on Sheet C-6.1**

- 5. Sheet C-7.1 - The station notation for S-1 in the layout plan does not appear to match the station notation in the profile.

**Response: The gravity sanitary sewer colleciton system has been revised and stationing for proposed Manholes structures have been updated.**

- 6. The amount of impervious surface is increasing while the size of the retention pond the area is draining to is decreasing. A stormwater report detailing the calculations and design of the area is required to ensure that the system is designed appropriately.

**Response: The Stormwater report is included with this resubmittal. As dsicussed the SFWMD permit is be drafted and it will be provided as soon as it is issued.**

- 7. General - Parking expansion area appears to be within 5 feet of property line. Setback line must be at least 5 feet from the property line.

**Response: The subject parking spaces curb has been removed, with a minimum setback of 5 feet.**

- 8. Informational - The EOR is to obtain the proper permits from Orange County Utilities, Orlando Utility Commission, and/or FDEP as applicable. Issuance of City Permit will be contingent on receiving confirmation of receipt of these permits.

**Response: Acknowledged, a copy of the City of Orlando and FDEP approval letters are icluded with this submittal.**

- 9. Informational - Issuance of the City permit will also be contingent on receiving confirmation of a permit from the Orange County Fire Marshal’s office.

**Response: Acknowledged.**

- 10. Informational - The Issuance of the City permit will also be contingent on confirmation of a permit from the appropriate Water Management District.

**Response: Acknowledged.**

11. Informational - Applicant has not supplied a copy of a Geotechnical Report.

**Response: The seasonal high water table for the proposed pond was determined on water table that was used for the adjacent Pond TL and per ERP # 48-01254-P. See enclosed Stormwater Drainage Report**

12. Informational - Applicant has not supplied a copy of a Traffic Impact Analysis (TIA) report.

**Response: The Regal Marine property obtained a FDOT Driveway permit for the construction of the site improvements which include the drive/roadway through the center of the property. The FDOT issued the permit and the completion of the construction. As part of that plan various building improvements were shown on the site plans as part of future development of the manufacturing facility on the property. The proposed building is consistent with that plan and the FDOT permit. Based on the ITE Traffic numbers for a Manufacturing facility, the number of additional trips is small but already part of the original facilities proposed for the site under the FDOT permit. The roadways where the project flows into is not a critical roadway as it relates to road capacity. The permit form FDOT already includes the facility ultimate build out.**

Should you have any questions or require additional information, please contact me at (321) 354-9656.

Sincerely,



Reinardo Malave, P.E.  
Associate Vice President  
Dewberry Engineers, Inc.

*RM:drq*  
*Belle Isle Regal Boats Final Plan Review Comments – 01-20-2023*

Cc: Giacomo Licari, P.E., Dewberry Engineers Inc.

**Letter of Transmittal**  
**Dewberry Engineers Inc.**  
**800 North Magnolia Avenue**  
**Suite 1000**  
**Orlando, FL 32803**

Date: February 2, 2023                      Project #: 50143646  
 Project Name: Regal Marine Expansion  
 Reference: Submittal Items for City of Belle Isle Permit

To: Gary E. Davis  
 Compass Development Management, Inc.  
 543 Mary Jess Road  
 Orlando, Florida 32839

Phone: (407) 719-5908

We transmit:	The following:	For:
<input type="checkbox"/> By mail	<input checked="" type="checkbox"/> Construction Documents	<input type="checkbox"/> Your approval
<input checked="" type="checkbox"/> Per your request	<input type="checkbox"/> Plans	<input type="checkbox"/> Your review and comment
<input type="checkbox"/> By pick up	<input type="checkbox"/> Surveys	<input checked="" type="checkbox"/> Your file/use
<input checked="" type="checkbox"/> By Fed Ex	<input type="checkbox"/> Permit/PA No.	<input type="checkbox"/> Revision and submission

Copies:	Date:	Description:
10	02/01/23	Regal Marine Expansion- Construction Plans
10	01/25/23	Regal Marine Expansion- Landscape Plans
2	01/31/23	Regal Marine Expansion – Drainage Calculations
10	02/01/23	Response to Comments Letter
10	12/07/22	City of Orlando ENG2022-12226- Permit Card and Inspection Card
10	12/21/22	FDEP 0428968-001-DWC/CG Sewer Permit
10	02/01/23	Parcel Summary
10	02/02/23	Landscape Requirements
1	02/02/23	Thumb Drive with All PDF including Parcel Information

**Comments:**

Gary- Enclosed are the plans, response letter, drainage calculations and other supplemental documents for the Regal Marine Expansion. If you have any questions , please contact me at 321-354-9624.

Signed: \_\_\_\_\_  
 Dawn R. Queen, Land Development Coordinator





Dewberry Engineers Inc. | 407.843.5120  
800 North Magnolia Ave, Suite 1000 | 407.649.8664 fax  
Orlando, FL 32803-3251 | www.dewberry.com

b.

February 2, 2023

Raquel Lozano, Planner  
City of Belle Isle  
1600 Nela Avenue  
Belle Isle, FL 32809

RE: 2300 Jetport Dr - Regal Marine Ambassador Expansion project - Gary Davis/Compass Development

Dear Ms. Lozano:

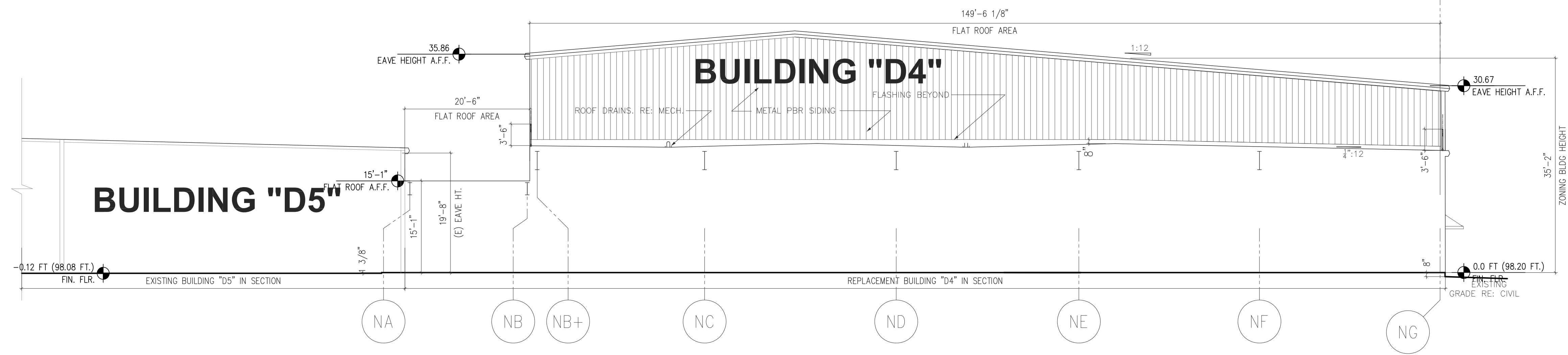
In response to your email comment, dated January 17, 2023, regarding the landscaping and buffer requirements, I have reviewed the City of Belle Isle's Code requirements. Based on my review, the landscaping plans meet the code requirements for the improvements proposed for the site. The existing trees meet the buffer and parking area requirements.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael J. Urechuk".

Michael J. Urechuk, RLA  
Senior Landscape Architect

Q:\REGA\_50143646\Adm\Correspondence\Letters\Landscaping Requirements - 02-02-2023



**SOUTH ELEVATION**

SCALE  
 3/32" = 1'-0"

**1**

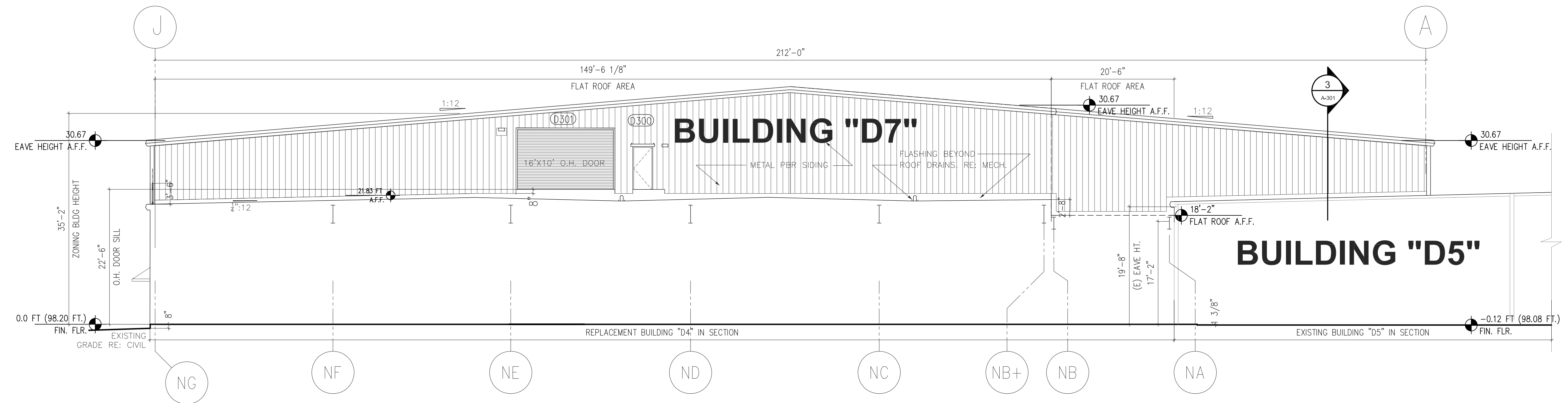
Digital Signature Certificate

Project Number:  
 20220413

Date of Issue:  
 NOVEMBER 23, 2022

Revision/Date:

REVISION	DATE
1 P&Z	02/02/2023



**NORTH ELEVATION**

SCALE  
 3/32" = 1'-0"

**2**

**REGAL BOATS AMBASSADOR BUILDING  
 ADDITION AND RENOVATION**  
 2300 JETPORT DRIVE  
 BELLE ISLE, ORANGE COUNTY,  
 FLORIDA 32309



KEY PLAN - NTS

Sheet No.

**A-402**

Sheet Name:

**BUILDING  
 ELEVATIONS**



South Florida Water Management District  
Individual Environmental Resource Permit No. 48-107494-P  
Date Issued: February 2, 2023

**Permittee:** Regal Marine Industries, Inc.  
Legacy Land, LLC  
Marketing Business Associates, LTD

**Project:** Regal Marine Expansion

**Application No.** 220726-35329

**Location:** Orange County, See Exhibit 1

Your application for an Individual Environmental Resource Permit is approved. This action is taken based on Chapter 373, Part IV, of Florida Statutes (F.S.) and the rules in Chapter 62-330, Florida Administrative Code (F.A.C.). Unless otherwise stated, this permit constitutes certification of compliance with state water quality standards under section 401 of the Clean Water Act, 33 U.S.C. 1341, and a finding of consistency with the Florida Coastal Management Program. Please read this entire agency action thoroughly and understand its contents.

This permit is subject to:


- Not receiving a filed request for a Chapter 120, F.S., administrative hearing.
- The attached General Conditions for Environmental Resource Permits.
- The attached Special Conditions.
- All referenced Exhibits.

All documents are available online through the District's ePermitting site at [www.sfwmd.gov/ePermitting](http://www.sfwmd.gov/ePermitting).

If you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights", we will assume that you concur with the District's action.

The District does not publish notices of action. If you wish to limit the time within which a person may request an administrative hearing regarding this action, you are encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Legal requirements and instructions for publishing a notice of agency action, as well as a noticing format that can be used, are available upon request. If you publish a notice of agency action, please send a copy of the affidavit of publication provided by the newspaper to the District's West Palm Beach office for retention in this file.

If you have any questions regarding your permit or need any other information, please call us at 1-800-432-2045 or email [epermits@sfwmd.gov](mailto:epermits@sfwmd.gov).

  
Lisa Prather, PWS  
Section Administrator

Permittees:

Regal Marine Industries, Inc.  
2300 Jetport Drive  
Orlando, FL 32809

Legacy Land, LLC  
2300 Jetport Drive  
Orlando, FL 32809

Marketing Business Associates, LTD  
2300 Jetport Drive  
Orlando, FL 32809





expansion, and SWM improvements. Site plans and details are attached as Exhibit No. 2.0.

Issuance of this permit constitutes certification of compliance with state water quality standards in accordance with Rule 62-330.062, F.A.C.

**Site Description**

The project site is part of the Regal Yacht Center, which is located at 2300 Jetport Drive, Orlando, Florida 32809 near the southwest corner of Jetport Road and Boggy Creek Road in the City of Belle Isle, Orange County. Refer to Exhibit No. 1.0 for a location map.

There are permitted SWM facilities that serve the existing project area. The subject project area is within three drainage basins (Basin 50, Basin 100, and Basin 110) and two existing ponds (Pond 50 and Pond 100). There are no wetlands or other surface waters located within or affected by the proposed project. Wetlands are located offsite adjacent to the proposed pond expansion area and BMP's will be utilized to prevent impacts to these areas.

For information on wetland and surface water impacts, please see the Wetlands and Other Surface Water section of this permit.

**Background**

The Regal Yacht Center (FKA Regal Industrial Park) was permitted in 2007 under ERP Permit No. 48-01254-P. The permitted SWM facilities are certified and operational.

**Ownership, Operation and Maintenance**

Perpetual operation and maintenance of the SWM system will be the responsibility of Legacy Land, LLC, Legacy Land, LLC and Marketing Business Associates, LTD. Upon conveyance or division of ownership or control of the property or the system, the permittee must notify the Agency in writing within 30 days, and the new owner must request transfer of the permit.

**Engineering Evaluation:**

The existing Basin 100 and Basin 110 will be combined into a single basin, Basin 100 (13.35 acres) and will contain Pond 100 Mod. Basin 115 (0.40 acres) contains the additional surface pavement east of the existing Commodore Building and will be conveyed to Pond 115 for pretreatment prior to discharge into Pond 100 Mod. The additional pavement west and south of the proposed building expansion will be directed to Pond 30 for pretreatment. Pond 30 was previously designed to handle 0.60 acres of impervious area from Basin 10. However, since Basin 10 was never developed, this allocation will be used by the proposed impervious parking in Basin 100.

The northern portion of the existing Pond 100 will be filled and its southern portion will be reshaped (Pond 100 Mod), the existing pipe network will be rerouted around the proposed building, an internal control structure is proposed, and a revised outfall structure and an overflow weir are proposed for Pond 100.

**Land Use**

The land use breakdown for the project area is shown in the Engineering Evaluation Land Use Table below.

Refer to the Site Area table on Exhibit No. 2.0 - page 11 for land use breakdown of existing and proposed land uses within the project limits, and the land use table for each basin.

**Water Quality**

The project is located within a watershed identified by the Florida Department of Environmental Protection as impaired; therefore, the design includes a site-specific pollutant loading analysis. The overall SWM serving the Regal Marina project will provide 2.31 ac-ft of water quality treatment and 0.52 ac-ft of dry pretreatment.

The project includes implementation of a Turbidity and Erosion Control Plan, (Exhibit No. 2.0), as additional reasonable assurance of compliance with water quality criteria during construction and operation.

**Discharge**

The project has been designed based on a pre- vs post- development analysis. The anticipated project total post-development peak discharge during the 25 year, 3 day storm event of 59.28 cfs has been determined to be less than the pre-development discharge rate of 59.51 cfs, which is the sum of the discharge rates from Pond 100 and 110 into the railroad ditch as per Permit No. 48-01254-P.

**Parking Lot Design**

As found in the attached Exhibit No. 2.0 - page 5, the minimum parking lot elevations have been set at or above the previously permitted design storm flood elevation.

**Finished Floors**

As found in the attached Exhibit No. 2.0 - page 5, the minimum finished floor elevations have been set at or above the previously permitted design storm flood elevation.

**Flood Plain/Compensating Storage**

According to Flood Insurance Map No. 12095C0430F, the site lies in Flood Zone "X" which does not have an associated Base Flood Elevation and floodplain compensation is not required.

**Certification, Operation, and Maintenance**

Pursuant to Chapter 62-330.310, F.A.C., Individual Permits will not be converted from the construction phase to the operation phase until construction completion certification of the project is submitted to and accepted by the District. This includes compliance with all permit conditions, except for any long term maintenance and monitoring requirements. It is suggested that the permittee retain the services of an appropriate professional registered in the State of Florida for periodic observation of construction of the

Permit No: 48-107494-P, Page 5 of 19

project.

For projects permitted with an operating entity that is different from the permittee, it should be noted that until the construction completion certification is accepted by the District and the permit is transferred to an acceptable operating entity pursuant to Sections 12.1 - 12.3, ERP AH Vol. I and Section 62-330.310, F.A.C., the permittee is liable for operation and maintenance in compliance with the terms and conditions of this permit.

In accordance with Section 373.416(2), F.S., unless revoked or abandoned, all SWM systems and works permitted under Part IV of Chapter 373, F.S., must be operated and maintained in perpetuity.

The efficiency of SWM systems, dams, impoundments, and most other project components will decrease over time without periodic maintenance. The operation and maintenance entity must perform periodic inspections to identify if there are any deficiencies in structural integrity, degradation due to insufficient maintenance, or improper operation of projects that may endanger public health, safety, or welfare, or the water resources. If deficiencies are found, the operation and maintenance entity is responsible for correcting the deficiencies in a timely manner to prevent compromises to flood protection and water quality. See Section 12.4, ERP AH Vol. I for Minimum Operation and Maintenance Standards.

Notable project components requiring routine inspection and maintenance may include but are not limited to:

- Side slopes for stormwater lakes and ponds – maintain side slopes no steeper than 4:1 (horizontal:vertical) to a depth of 2.0 feet below the control elevation and nurtured or planted from 2.0 feet below to 1.0 feet above the control elevation pursuant to Section 5.4.2, ERP AH Vol. II.
- Conveyance pipes, conveyance structures and discharge structures – all pipes and structures must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Exfiltration trenches – all pipes and structures must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Swales – maintain the permitted cross-section and vegetative cover.
- Underground storage facilities – all facilities must be inspected for structural integrity and be maintained clear of trash, sediment and vegetative debris.
- Pumps – float switches should be inspected and any obstructions removed to ensure proper operation; intake and discharge pipes should be maintained clear of trash, sediment and vegetative debris; motors should be maintained to ensure proper operation.



**Engineering Evaluation Tables:**

**Land Use**

Basin	Land Type	Area (ac)	% of Total Basin
Project Site	Building Coverage	1.23	28.81
	Impervious	1.28	29.98
	Lake	1.00	23.42
	Pervious	0.76	17.80
	<b>Total:</b>	4.27	100%

**Water Quality**

Basin	Treatment Type	Treatment System	Volume Required (ac-ft)	Volume Provided (ac-ft)
100	Treatment	WET DETENTION	2.29	2.31
115	Pre-Treatment	DRY DETENTION	0.02	0.05
30	Pre-Treatment	DRY DETENTION	0.47	0.47

**Bleeder**

Basin	Control EL (ft NAVD88)	Structure #	Structure Type	Count	Type	Dia.(in)	Invert EL (ft NAVD88)	Receiving Body
100	93.35	CS-01	Water Quality	1	Circular Orifice	3.00	93.35	Railroad ditch

**Inlets**

Basin	Structure #	Structure Type	Count	Type	Length (in)	Width (in)	Crest EL (ft NAVD88)	Receiving Body
100	CS-1	Emergency	1	FDOT MOD H DROP INLET	74.0	36.0	96.20	Railroad ditch
115	CS-2	Water Quality	1	FDOT MOD C DROP INLET	37.0	24.0	96.30	Lake

**Weir**

Basin	Structure #	Structure Type	Count	Type	Width (in)	Height (in)	Crest EL (ft NAVD88)	Receiving Body
100	CS-01	Water Quality	1	Rectangular	78.00	5.76	95.72	Railroad ditch
	Overflow Weir	Water Quality	1	Broad Crested	840.00	4.80	95.80	Railroad ditch

**Culvert**

<b>Basin</b>	<b>Structure #</b>	<b>Structure Type</b>	<b>Count</b>	<b>Dia.(in)</b>	<b>Length (ft)</b>	<b>Material</b>	<b>Receiving Body</b>
100	CS-01	Discharge	2	18.00	20.0	Reinforced Concrete Pipe	Railroad ditch
115	CS-2	Discharge	1	15.00	15.0	Other	Lake

**Environmental Evaluation:**

**Wetlands and Other Surface Waters**

There are no wetlands or other surface waters located within the project site or affected by this project.

**Related Concerns:**

**Water Use Permit Status**

The applicant has indicated that public water supply will be used as a source for irrigation water for the project.

The applicant has indicated that dewatering is required for construction of this project. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(4), F.A.C..

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

**Water and Wastewater Service**

Orange County Utilities - potable

City of Orlando - wastewater

**Historical/ Archeological Resources**

The District has received correspondence from the Florida Department of State, Division of Historical Resources indicating that no significant archaeological or historical resources are recorded on the project site; therefore, the project is unlikely to have an effect upon any such resources.

**General Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.**

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," (October 1, 2013), (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), incorporated by reference herein, indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C., and shall be submitted electronically or by mail to the Agency. However, for activities involving more than one acre of construction that also require a NPDES stormwater construction general permit, submittal of the Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities, DEP Form 62-621.300(4)(b), shall also serve as notice of commencement of construction under this chapter and, in such a case, submittal of Form 62-330.350(1) is not required.
5. Unless the permit is transferred under rule 62-330.340, F.A.C., or transferred to an operating entity under rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms, and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex- "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit"[Form 62-330.310(3)]; or
  - b. For all other activities- "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
  - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
  - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.4 of Volume I) as filed with the Florida Department of State, Division of Corporations, and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the



County in which the activity is located.

- b. Within 30 days of submittal of the as-built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation and Maintenance Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
- Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - Convey to the permittee or create in the permittee any interest in real property;
  - Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the Agency in writing:
- Immediately if any previously submitted information is discovered to be inaccurate; and
  - Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.
13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S. For project activities subject to prior consultation with the DHR and as an alternative to the above requirements, the permittee may follow procedures for unanticipated discoveries as set forth within a cultural resources assessment survey determined complete and sufficient by DHR and included as a specific permit condition herein.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

**Special Conditions for Individual Environmental Resource Permits, 62-330.350, F.A.C.**

1. The construction authorization for this permit shall expire on the date shown on page 2.
2. Operation and maintenance of the stormwater management system shall be the responsibility of Legacy Land, LLC, Legacy Land, LLC and Marketing Business Associates, LTD. The permittee shall notify the Agency in writing within 30 days of any conveyance or division of ownership or control of the property of the system, and the new owner must request transfer of the permit in accordance with Rule 62-330.340, F.A.C.
3. Lake side slopes shall be no steeper than 4:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth.
4. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
5. Prior to any future construction, the permittee shall apply for and receive an Individual ERP. As part of the permit application, the applicant for that phase shall provide documentation verifying that the proposed construction is consistent with the design of the master stormwater management system, including the land use and site grading assumptions.
6. Prior to initiating construction activities associated with this Environmental Resource Permit (ERP), the permittee is required to hold a pre-construction meeting with field representatives, consultants, contractors, District Environmental Resource Bureau (ERB) staff, and any other local government entities as necessary. The purpose of the pre-construction meeting is to discuss construction methods, sequencing, best management practices, identify work areas, staking and roping of preserves where applicable, and to facilitate coordination and assistance amongst relevant parties. To schedule a pre-construction meeting, please contact ERB staff from the Orlando Service Center at (407) 858-6100 or via e-mail at: [precon@sfwmd.gov](mailto:precon@sfwmd.gov). When sending a request for a pre-construction meeting, please include the application number, permit number, and contact name and phone number.
7. This permit does not authorize the permittee to cause any adverse impact to or "take" of state listed species and other regulated species of fish and wildlife. Compliance with state laws regulating the take of fish and wildlife is the responsibility of the owner or applicant associated with this project. Please refer to Chapter 68A-27 of the Florida Administrative Code for definitions of "take" and a list of fish and wildlife species. If listed species are observed onsite, FWC staff are available to provide decision support information or assist in obtaining the appropriate FWC permits. Most marine endangered and threatened species are statutorily protected and a "take" permit cannot be issued. Requests for further information or review can be sent to: [FWCConservationPlanningServices@MyFWC.com](mailto:FWCConservationPlanningServices@MyFWC.com).
8. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(4), F.A.C..

### Project Work Schedule for Permit No. 48-107494-P

The following activities are requirements of this Permit and shall be completed in accordance with the Project Work Schedule below. Please refer to General Conditions, Special Conditions and/or Specific Conditions for more information. Any deviation from these time frames will require prior approval from the District's Environmental Resources Bureau and may require a modification to this permit. Such requests must be made in writing and shall include: (1) reason for the change, (2) proposed start/finish and/or completion dates, and (3) progress report on the status of the project.

Condition No.	Date Added	Description (Application Number)	Due Date	Date Satisfied
GC 4	02/02/2023	Construction Commencement Notice	Prior to Construction	
GC 6	02/02/2023	Submit Certification	30 Days After Construction Completion	
GC 7	02/02/2023	Submit Operation Transfer Request	Within 30 days of Certification	
SC 6	02/02/2023	Pre-Construction Meeting	Prior to Construction	

GC = General Condition

SC = Special Condition

**Distribution List**

Reinaldo Malave, Dewberry Engineers

Div of Recreation and Park - District 3

Orange County Engineer

## Exhibits

The following exhibits to this permit are incorporated by reference. The exhibits can be viewed by clicking on the links below or by visiting the District's ePermitting website at <http://my.sfwmd.gov/ePermitting> and searching under this application number 220726-35329.

[Exhibit No. 1.0 Location Map](#)

[Exhibit No. 2.0 Plans - Part A](#)

[Exhibit No. 2.0 Plans - Part B](#)



**NOTICE OF RIGHTS**

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

**RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Florida Statutes. Persons seeking a hearing on a District decision which affects or may affect their substantial interests shall file a petition for hearing in accordance with the filing instructions set forth herein within 21 days of receipt of written notice of the decision unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Florida Statutes; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Florida Statutes. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, posting, or publication that the District has taken or intends to take final agency action. Any person who receives written notice of a District decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action that materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional point of entry pursuant to Rule 28-106.111, Florida Administrative Code.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Florida Statutes, shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The District may grant the request for good cause. Requests for extension of time must be filed with the District prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and whether the District and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

**FILING INSTRUCTIONS**

A petition for administrative hearing must be filed with the Office of the District Clerk. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at the District's headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day.

Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the District's security desk does not constitute filing. It will be necessary to request that the District's security officer contact the Office of the District Clerk. An employee of the District's Clerk's office will receive and process the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at clerk@sfwmd.gov. The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document.

**INITIATION OF ADMINISTRATIVE HEARING**

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Rules 28-106.201 and 28-106.301, Florida Administrative Code, initiation of an administrative hearing shall be made by written petition to the District in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the District's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the District's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the District to take with respect to the District's proposed action.

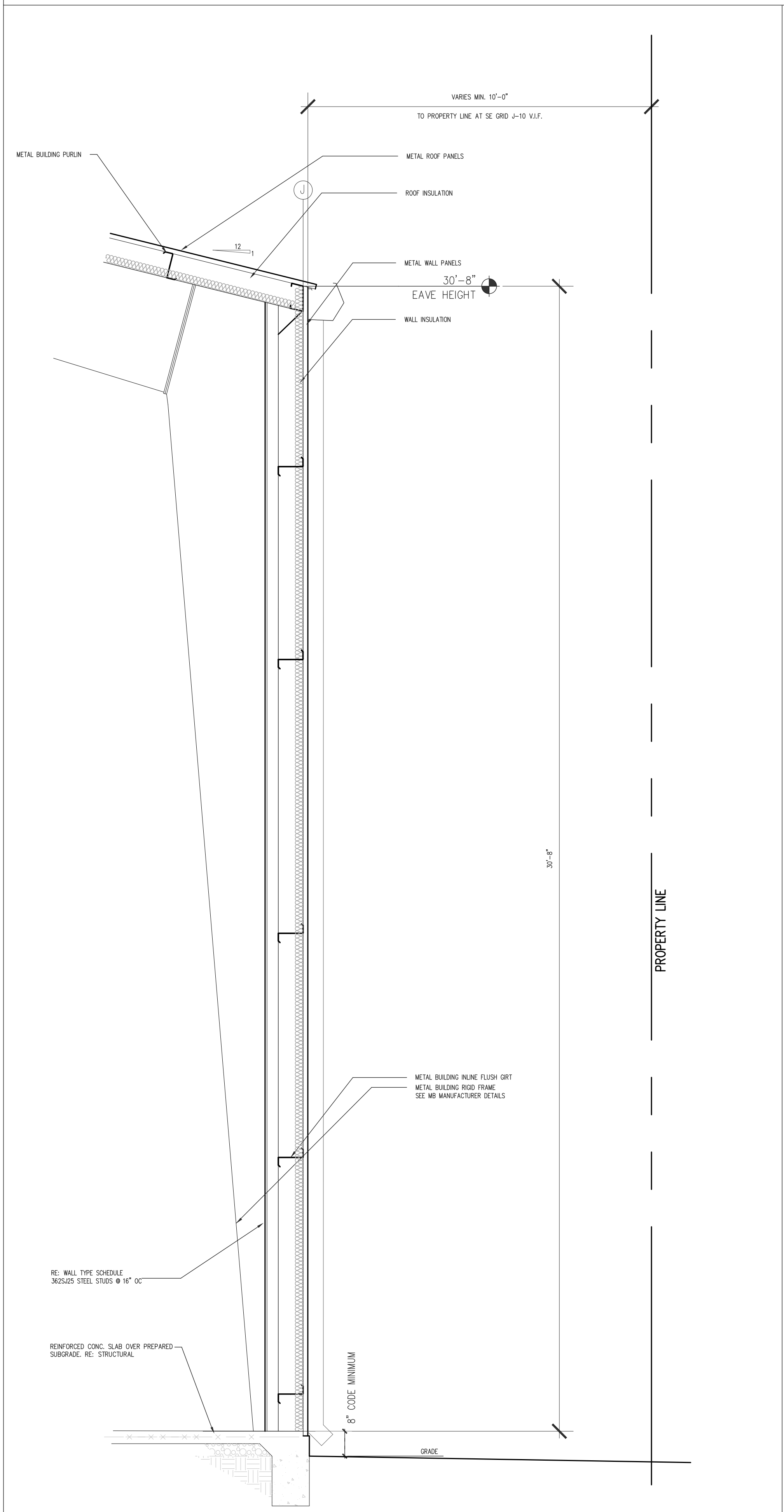
**MEDIATION**

The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401–.405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

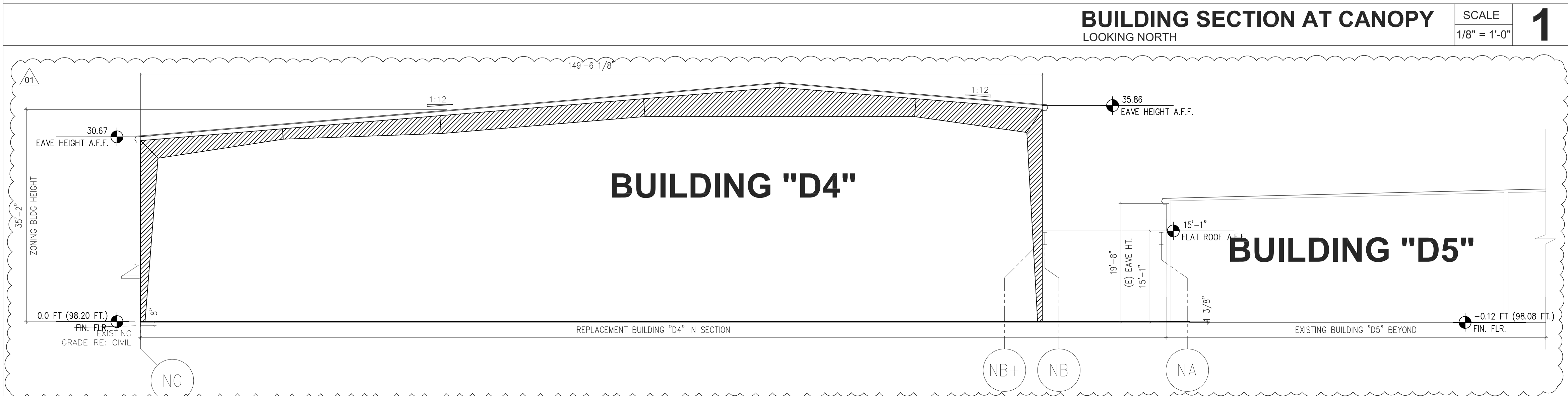
**RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Section 120.68, Florida Statutes, and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final District action may seek judicial review of the District's final decision by filing a notice of appeal with the Office of the District Clerk in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the appropriate district court of appeals via the Florida Courts E-Filing Portal.

NOTE: DOCUMENTS INDICATE DESIGN INTENT. ALL WORK INCLUDING METAL BUILDING, FLAT ROOF, CANOPY, AND AWNINGS SHALL BE SUBMITTED BY OTHERS AS "SUBMITTAL DOCUMENTS" COMPLYING WITH FBC-BUILDING SECTION 107. SUBMIT SHOP DRAWINGS FOR ARCHITECT AND ENGINEER APPROVAL PRIOR TO SUBMITTING FOR AHJ REVIEW.



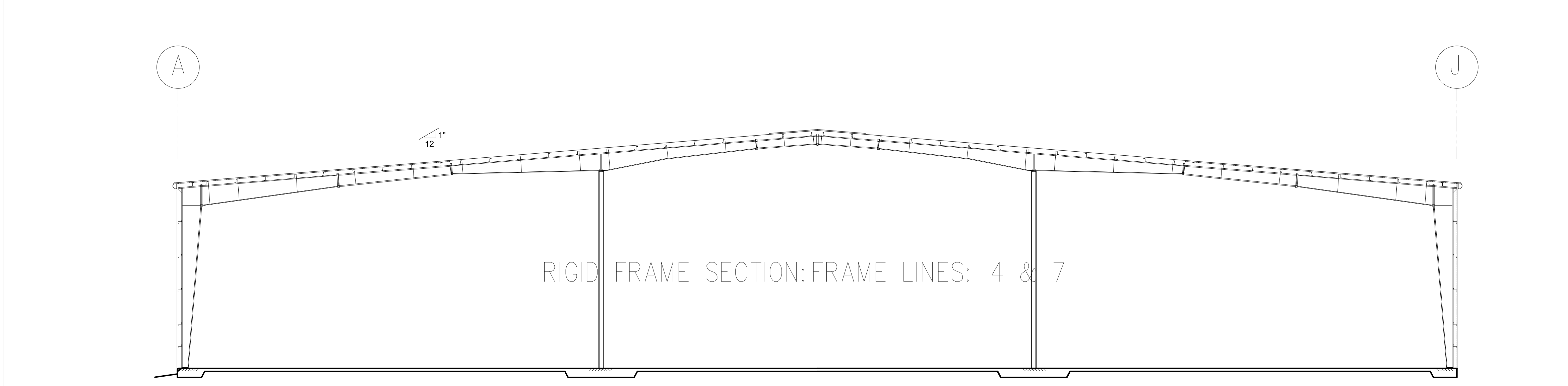
**EAST WALL SECTION** SCALE 1/8" = 1'-0" **5**



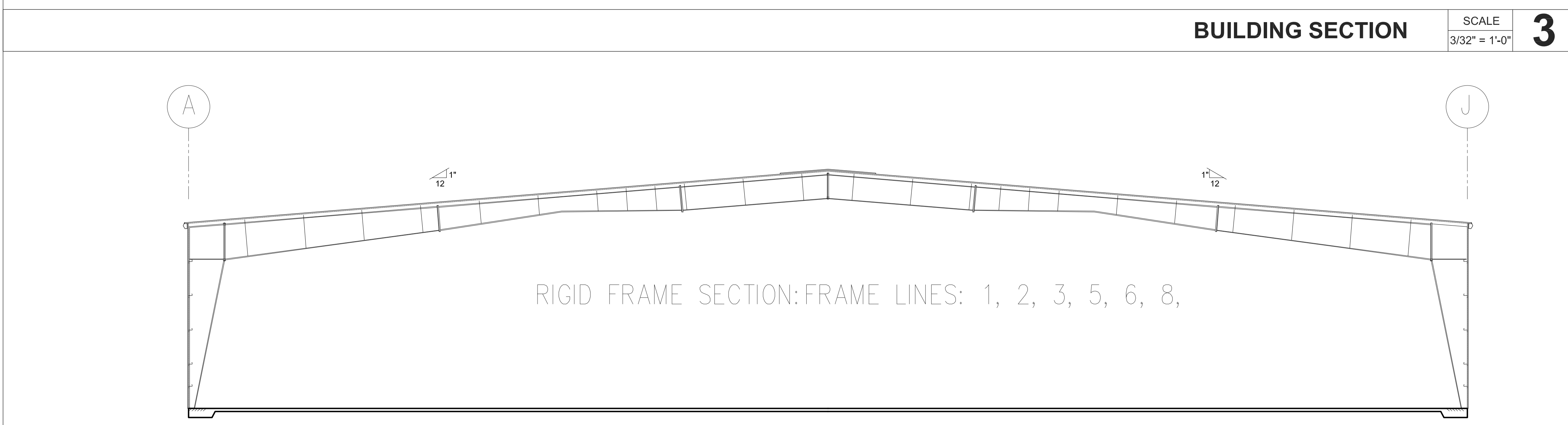
**BUILDING SECTION AT CANOPY** LOOKING NORTH SCALE 1/8" = 1'-0" **1**



**BUILDING SECTION LOW FLAT ROOF WEST CONNECTION** LOOKING SOUTH SCALE 3/32" = 1'-0" **2**



**BUILDING SECTION** SCALE 3/32" = 1'-0" **3**



**BUILDING SECTION** SCALE 3/32" = 1'-0" **4**

**Mario R. Tur**  
ARCHITECT  
1418 SOUTHWEST DR.  
ORLANDO, FL 32810  
786.267.9240  
mariotur@outlook.com

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FL LIC. No. AR0012539  
OK LIC. No. 2837

**MARIO R. TUR**  
REGISTERED ARCHITECT

Digital Signature Certificate

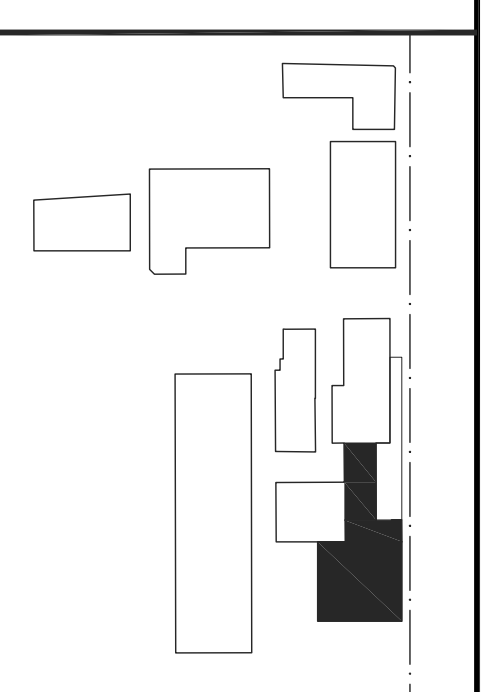
Project Number:  
20220413

Date of Issue:  
NOVEMBER 23, 2022

Revision/Date:

REVISION	DATE
01, P&Z	02/02/2023

**REGAL BOATS AMBASSADOR BUILDING**  
ADDITION AND RENOVATION  
2300 JETPORT DRIVE  
BELLE ISLE, ORANGE COUNTY,  
FLORIDA 32309

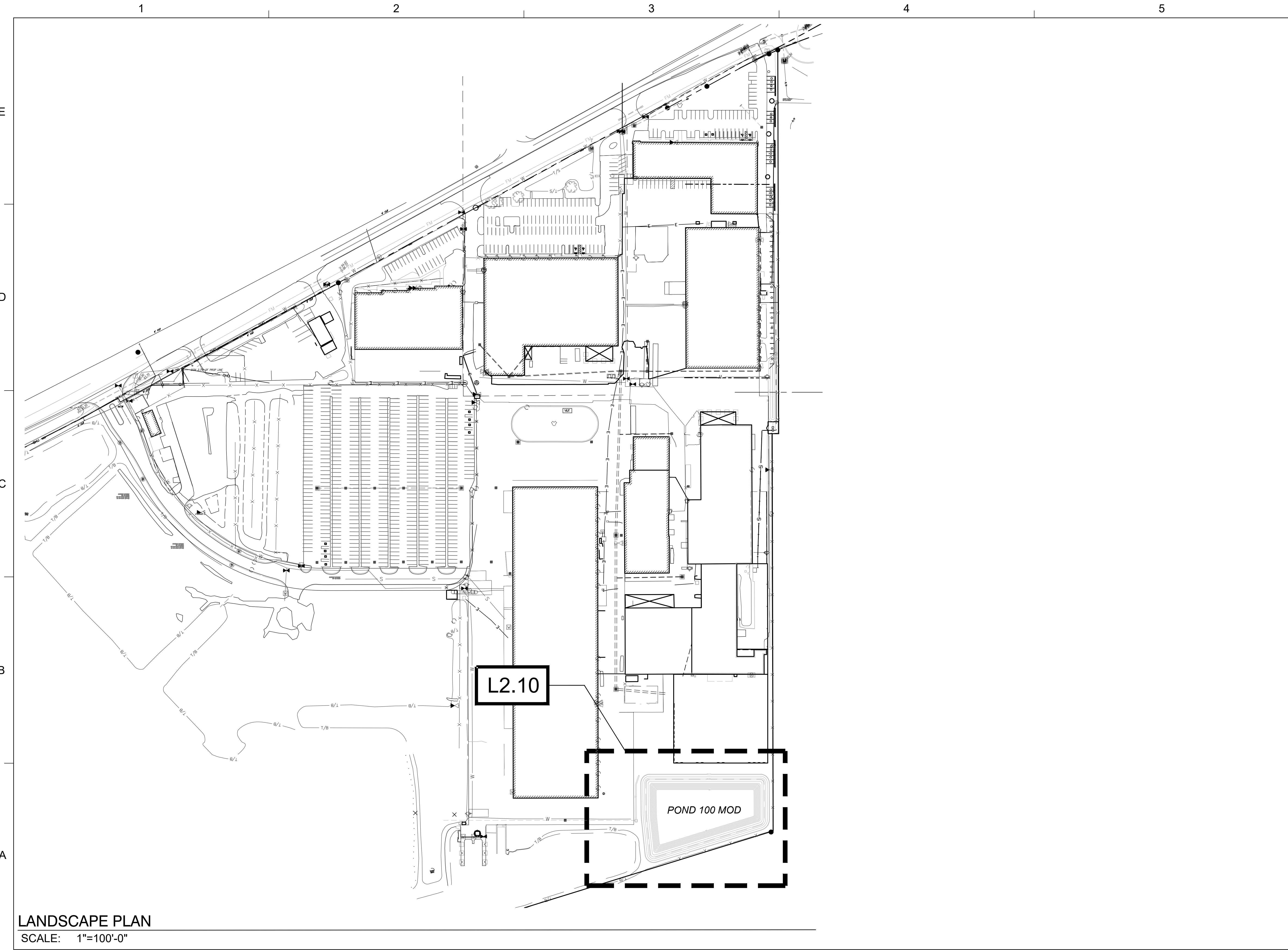


KEY PLAN - NTS

Sheet No.  
**A-501**

Sheet Name:  
**BUILDING SECTIONS**

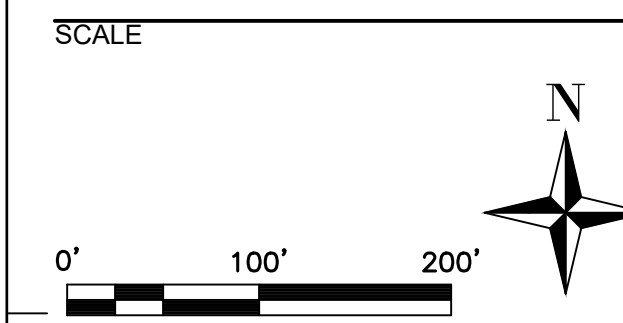




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 Dewberry Engineers, Inc  
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 Suite 1000  
 Orlando, FL 32803  
 407.843.5120  
 C.A. #8794

REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

SEAL  
 Michael J Urchuk: A01410D000001783AED2B2D0000549D  
 2023.02.02 08:21:39-0500  
 This item has been digitally signed and sealed by Michael J. Urchuk, P.E., on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.  
 Michael J. Urchuk  
 P.E. R/A # 666675  
 FL R/A # 666675  
 Jan 25, 2023



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ AH  
 APPROVED BY \_\_\_\_\_ MU  
 CHECKED BY \_\_\_\_\_ MU  
 DATE \_\_\_\_\_ 11 / 9 / 2022

TITLE  
**OVERALL PLAN**

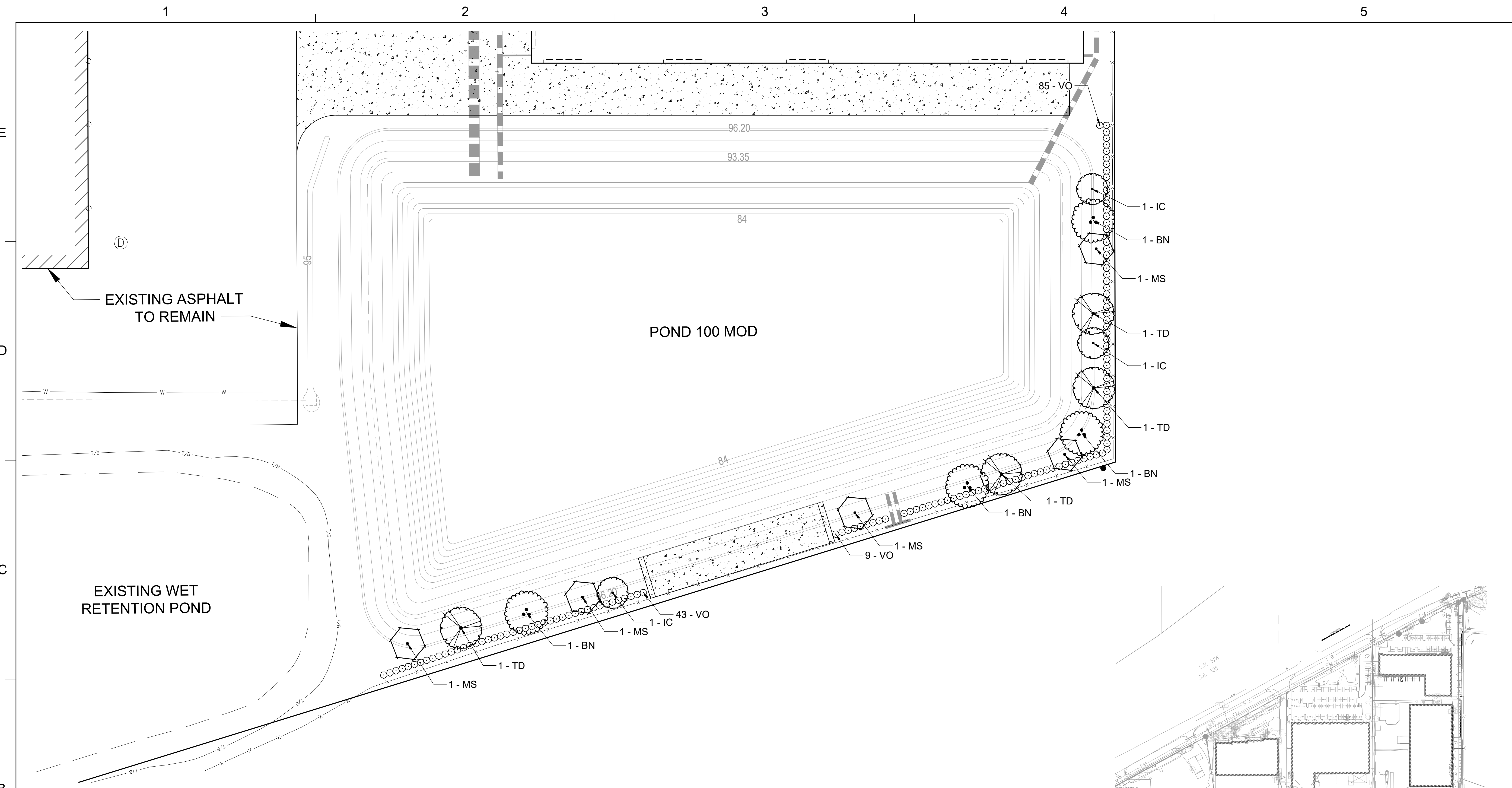
PROJECT NO. 50150413

**L2.00**

SHEET NO. 60 OF

LANDSCAPE PLAN  
 SCALE: 1"=100'-0"

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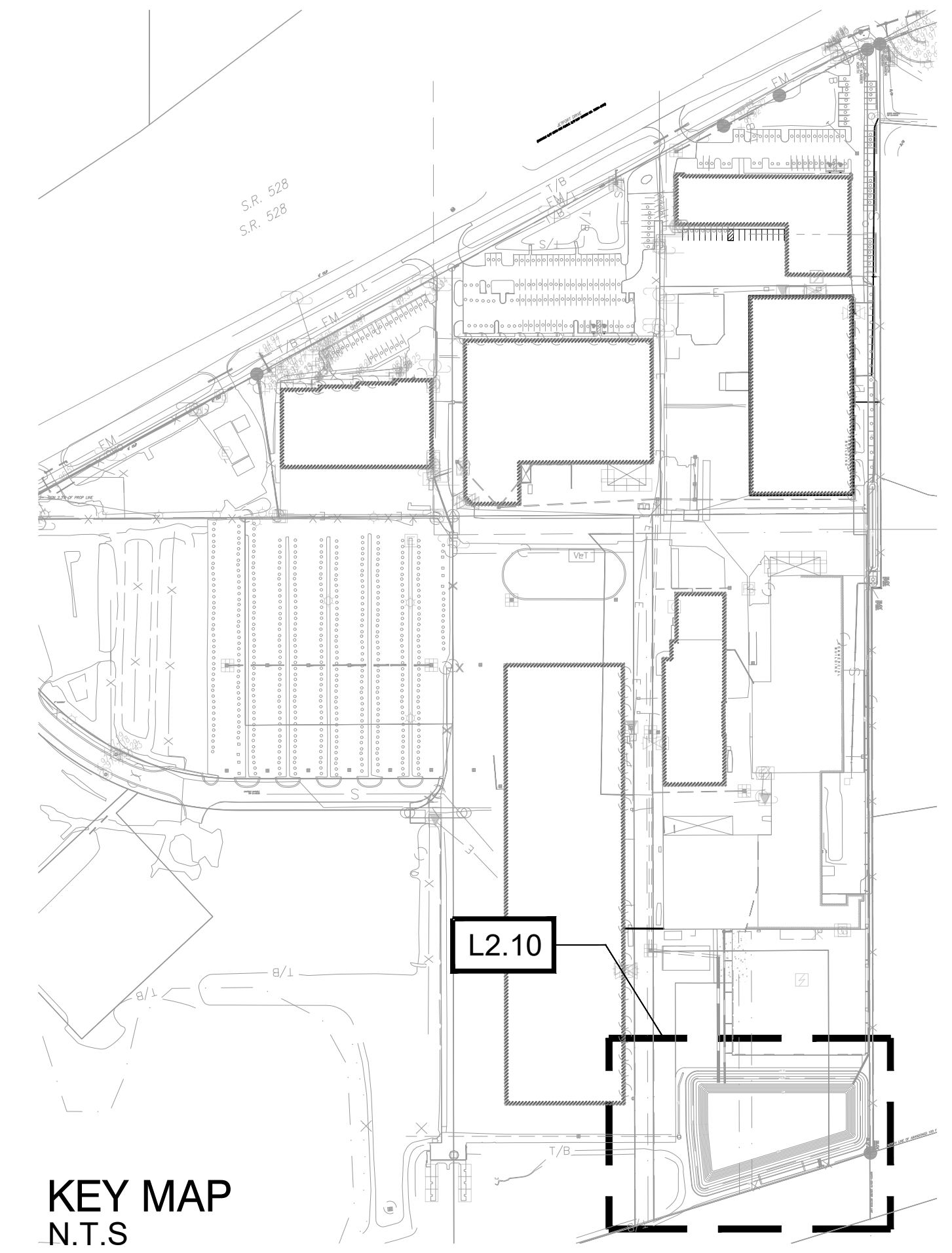


**LANDSCAPE PLAN**

SCALE: 1"=20'-0"

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CAL.	HEIGHT	QTY
	BN	Betula nigra / Multi - Trunk	2" Min.	7' Min.	4
	IC	Ilex cassine / Dahoon Holly	2" Min.	7' Min.	3
	MS	Magnolia virginiana / Sweetbay Magnolia	2" Min.	7' Min.	5
	TD	Taxodium distichum / Bald Cypress	2" Min.	7' Min.	4
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE		
	VO	Viburnum odoratissimum / Sweet Viburnum	30" Ht, 5 gal Min.		137



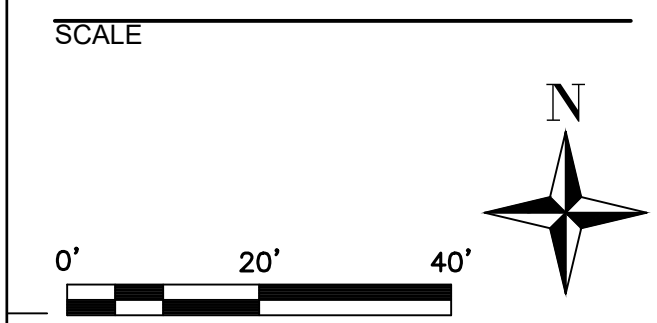
**KEY MAP**  
N.T.S



Dewberry Engineers, Inc  
800 N. Magnolia Avenue  
Suite 1000  
Orlando, FL 32803  
407.843.5120  
C.A. #8794

**REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA  
CONSTRUCTION PLANS**

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2023.02.02 08:21:31-0500  
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P.E. No. # 666675  
FL No. # 666675  
Jan 25, 2023



REVISIONS

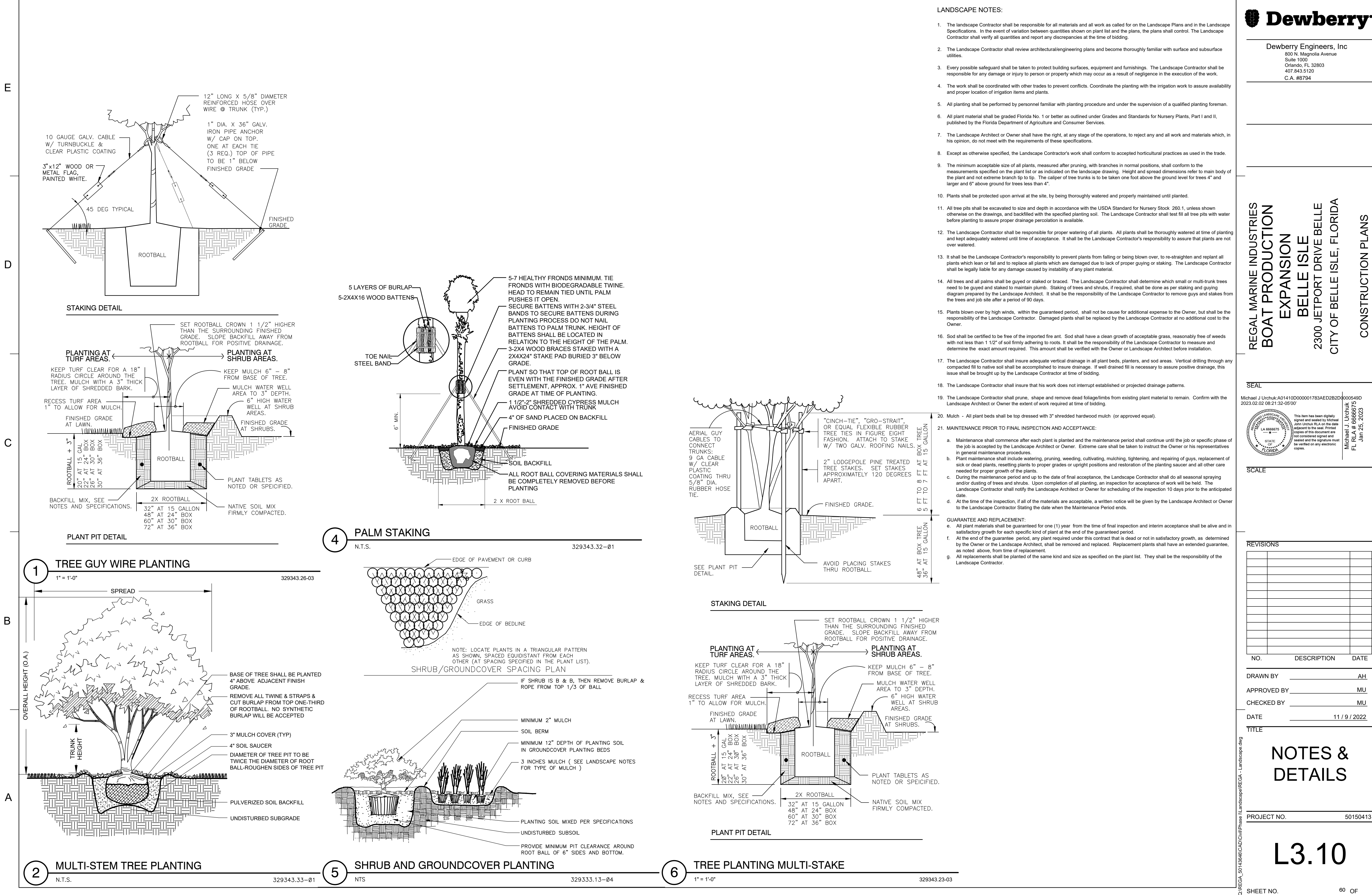
NO.	DESCRIPTION	DATE

DRAWN BY: AH  
APPROVED BY: MU  
CHECKED BY: MU  
DATE: 11/9/2022

**LANDSCAPE PLAN**

PROJECT NO. 50150413

**L2.10**



- LANDSCAPE NOTES:**
- The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
  - The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
  - Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. The Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of negligence in the execution of the work.
  - The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation items and plants.
  - All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
  - All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Plants, Part 1 and II, published by the Florida Department of Agriculture and Consumer Services.
  - The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
  - Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
  - The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. The caliper of tree trunks is to be taken one foot above the ground level for trees 4" and larger and 6" above ground for trees less than 4".
  - Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
  - All tree pits shall be excavated to size and depth in accordance with the USDA Standard for Nursery Stock 260.1, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
  - The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
  - It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
  - All trees and all palms shall be guyed or staked or braced. The Landscape Contractor shall determine which small or multi-trunk trees need to be guyed and staked to maintain plumb. Staking of trees and shrubs, if required, shall be done as per staking and guying diagram prepared by the Landscape Architect. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees and job site after a period of 90 days.
  - Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
  - Sod shall be certified to be free of the imported fire ant. Sod shall have a clean growth of acceptable grass, reasonably free of weeds with not less than 1 1/2" of soil firmly adhering to roots. It shall be the responsibility of the Landscape Contractor to measure and determine the exact amount required. This amount shall be verified with the Owner or Landscape Architect before installation.
  - The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
  - The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
  - The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of bidding.
  - Mulch - All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved equal).
  - MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:**
    - Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
    - Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
    - During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.
    - At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.

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REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
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 CITY OF BELLE ISLE, FLORIDA  
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 Michael J. Urchuk  
 P.E. RLA # 666876  
 FL Jan 25, 2023

**SCALE**

**REVISIONS**

NO.	DESCRIPTION	DATE

**GUARANTEE AND REPLACEMENT:**

- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
- All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.

**DRAWN BY** AH  
**APPROVED BY** MU  
**CHECKED BY** MU  
**DATE** 11/9/2022  
**TITLE**

**NOTES & DETAILS**

PROJECT NO. 50150413

**L3.10**

SHEET NO. 60 OF 61



# Drainage Calculations

## Regal Yacht Center Stormwater Modifications

City of Belle Isle, FL  
Job# 50150413

July 2022 (Revised September 2022, December 2022)

PREPARED BY:

**Dewberry**  
800 North Magnolia Avenue  
Suite 1000  
Orlando, FL 32803  
407.843.5120

PREPARED FOR:

**Regal Marine Industries**  
2300 Jetport Drive  
Orlando, FL 32809



# Drainage Calculations



## Regal Yacht Center Stormwater Modifications

City of Belle Isle, FL  
Job# 50150413

July 2022 (Revised September 2022, December 2022)

PREPARED BY:

**Dewberry**  
800 North Magnolia Avenue  
Suite 1000  
Orlando, FL 32803

PREPARED FOR:  
**Regal Marine Industries**  
2300 Jetport Drive  
Orlando, FL 32809

Reinardo Malave State of Florida, Professional Engineer,  
License No. 31588.  
This item has been digitally signed and sealed by REINARDO  
MALAVE, P.E. on the date indicated here using a digital  
signature; printed copies of this document are not considered  
signed and sealed and the signature must be verified on any  
electronic copies.

Reinardo Malave, PE  
Florida License No. 31588

City of Belle Isle, FL

# Regal Yacht Center Stormwater Modifications Drainage Calculations

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    Staff Report Ex. Permit No ERP 48-01254-P ..... 1

    Excerpt from ERP 48-01254-P Stormwater Report ..... 2

# Section A: Project Description and General Information



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# Regal Yacht Center Stormwater Modifications

City of Belle Isle, FL

## INTRODUCTION

Regal Yacht Center is an existing industrial complex located in the City of Belle Isle, Florida. The scope of the project is located within seven parcels, and currently contains five buildings, several parking areas, and two stormwater management ponds. The project is located at 2300 Jetport Drive, Orlando, Florida 32809 near the southwest corner of Jetport Drive and Boggy Creek Road. The subject property is located within Section 31; Township 23 South, and Range 30 East.

Overall Parcel IDs:  
31-23-30-0000-00-012  
31-23-30-0000-00-013  
31-23-30-0000-00-017

## OVERALL PROJECT DESCRIPTION

The proposed project consists of and approximate 42,400 SF building addition and parking spaces. The existing Pond 100 will be modified and the size increased (Prop. Pond 100 Mod). The existing pipe network will be rerouted around the proposed building to the new Pond 100, a new outfall structure is proposed for the new Prop. Pond 100. Additionally, a concrete drive isle and parking area will be added on the east side of the Commodore building and some parking spaces will be added on the east side of the Administrative building. The altered drainage system will retain the difference between the pre and post development 25-year, 24-hour storm event and not negatively affect off-site properties. In addition the project proposed to remove 4 septic filed and septic tanks and connect the proposed and existing buildings to the City of Orlando sanitary sewer collection system.

## EXISTING CONDITIONS

### Existing Basin Descriptions

The Regal Yacht Center was constructed in 1971 with several modifications in the following years and permitted under ex. South Florida Water Management District Permit ERP No. 48-01254-P (approved May 2, 2006). The project area is within three drainage basins (Basin 50, Basin 100 and Basin 110) and two existing ponds (Ex. Ponds 50 and Pond 100) see Section F for the overall Basin Map as per ERP No. 48-01254-

P. The Pre-Developed Conditions were obtained for these recreated basins by utilizing current existing site conditions.

Basin 50 drains to Ex. Pond 50 and discharges to an existing swale on the south side of Jetport Drive via a control structure and travels southwest via the existing swale. Basin 100 drains to Ex. Pond 100 which drains offsite to the south to an existing ditch along the north side of the CSX railroad via an existing Double 18” CMP Outfall. Basin 110 currently drains to a basin depression which overflows directly overland offsite to the same ditch.

## Existing Soils, Groundwater, and Topography

The site is a developed. Grades vary from 99’ (NAVD 88) at the northern area of the project to 94’ at Ex. Pond 100. The overall site topography is higher than the surrounding area. Per FEMA flood panel 12095C0430F (Sep. 25, 2009), the site is located within Zone ‘X’. Based on the USDA Soil Conservation Service Soils Survey of Orange County, Florida the existing onsite soils are as follows:

Soils		
Soil #	Soil Name	Hydrologic Soil Group
#3	Bassinger Fine Sand	A/D
#26	Ona Fine Sand	B/D
#34	Pomello Fine Sand	A
#37	St. Johns Fine Sand	B/D
#42	Sanibel Muck	A/D
#44	Smyrna-Smyrna Wet, Fine Sand	A/D
#45	Smyrna-Smyrna Fine Sand	A/D
#46	Tavares Fine Sand	A

## PROPOSED DEVELOPMENT AND DESIGN CONSIDERATIONS

### Proposed Basin and Structure Descriptions

In the post-developed condition, Basin 100 and Basin 110 will be combined into a single basin: Basin 100. The addition of the proposed 42,400 square foot building will require Ex. Pond 100 to be modified by both moving the boundaries of and increasing the area of the proposed wet detention pond (Pond 100 Mod). The 13.35-acre Basin 100 contains the Prop. Building and drain to Prop. Pond 100 Mod. Basin 115 contains the additional surface pavement east of the Commodore building and will discharge to pond 115, where runoff from basin 115 will be pre-treated before being discharged to Pond 100 Mod. The existing control structure will be replaced with

a Type H inlet new control structure. The additional proposed 16,144 sf concrete surface pavement west and south of the proposed building expansion will be directed to Pond 30 via an existing stormwater inlet to be pre-treated within pond 30. Pond 30 was designed to handle the pre-treatment of 0.60-acres (26,136 square feet) of impervious area from Basin 10 (0.98 ac). However, since Basin 10 was never developed, this allocation will be used by the proposed impervious parking area in Basin 100. See the table below for a comparison between the permitted, pre-development, and post-development curve numbers of the project area.

Curve Number Comparison			
Basin	Curve Number (CN)		
	Permitted	Pre-Develop.	Post-Develop.
50	94.4	93.4	94.0
100	95.5	96.1	97.1
110	82.9	81.2	

Additionally, the table below shows a comparison between the permitted, pre-development, and post-development impervious areas of the project area.

Impervious Area Comparison			
Basin	Curve Number (CN)		
	Permitted	Pre-Develop.	Post-Develop.
50	75.2%	66.9%	71.2%
100	85.4%	85.8%	87.5%
110	36.9%	30.2%	

Pond 50 proposed CN is lower than the designed and permitted CN therefore no additional stormwater analysis is required.

The allowable discharge rates for the proposed Pond 100 Mod are the sum of the discharge rates from Pond 100 and 110 into the rail road ditch RRditch as per ERP 48-01254-P (see Section F) for the design storms. The table below summaries the proposed discharges from Pond 100 Mod. The proposed discharges are less than the pre-developed discharges, per South Florida Water Management District requirements.

Proposed Discharge		
Storm Event	Permitted	Post-Develop.
	Discharge (cfs)	Discharge (cfs)
100-yr, 72-hr	77.67	76.01
25-yr, 72-hr	59.51	59.28

The seasonal high water table elevations were obtained based on the initial stages listed in Previously Permitted Model

Input Data in South Florida Water Management District Permit No. 48-01254-P (see Staff Retort in Section F):

- Ex. Pond TL= 94 NGVD = 94-0.937= 93.063 NAVD
- Prop. Pond 100 Mod = 93.35' NAVD

## WATER QUALITY

Per South Florida Water Management District's Permit Information Manual, Section 5.2: Treatment Volume:

Treatment required (whatever is largest):

- 1" over drainage area over drainage area or
- $2.5' \times \% \text{ imp} \times \text{area w.o. pond}$
- $0.5' \times \text{Basin area dry pre-treatment (*)}$

(\*) pre-treatment volume only for the additional pavement area, per pre-application meeting with SFWMD on 03/21/2022.

All the required treatment for post Basin 100 will be provided within the proposed Pond 100 Mod.

Pre-Treatment for the additional new pavement area will be provided by existing Pond 30 and proposed dry Pond 115. In particular, the runoff from additional pavement area west of the proposed building addition will be conveyed and pre-treated in Pond 30 and runoff from Basin 115 will be conveyed and pre-treated in dry Pond 115.

Treatment Volume		
Pond	Treatment Volume Required (Cu-Ft)	Treatment Volume Provided (Ac-Ft)
100 Mod	2.31	2.31

Pre-Treatment Volume		
Pond	Treatment Volume Required (Cu-Ft)	Treatment Volume Provided (Ac-Ft)
115	0.017	0.053
30	0.47	0.47



## Impaired Water

This project discharges into Boggy Creek which is an impaired water body (WBID No. 3168B). A net improvement pollutant loading analysis was performed using BMP Trains on Basin 100, where the proposed improvements occur.

The BMP Trains calculations shows that Pond 100 Mod provides the treatment efficiency for both Nitrogen and Phosphorus.

The project proposed to remove 4 septic filed and septic tanks and connect the proposed and existing buildings to the City of Orlando sanitary sewer collection system. This will result in a reduction of pollutant to the soil from the existing septic system and as result improving water quality.

See Section D for BMP Trains Calculations.

## RECOVERY

Per South Florida Water Management District's Permit Information Manual: Recovery Time, maximum of one-half inch of the detention volume in 24 hours.

## NOTE:

Seasonal high water table elevations taken from ex. South Florida Water Management District Permit No. 48-01254-P have been converted from NGVD29 to NAVD88 with a conversion factor of -0.937 feet in the ICPR Inputs.



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
3	Basinger fine sand, frequently ponded, 0 to 1 percent slopes	3.4	1.8%
26	Ona fine sand, 0 to 2 percent slopes	16.0	8.5%
33	Pits	0.4	0.2%
34	Pomello fine sand, 0 to 5 percent slopes	36.7	19.5%
37	St. Johns fine sand	16.4	8.7%
42	Sanibel muck	21.0	11.1%
44	Smyrna-Smyrna, wet, fine sand, 0 to 2 percent slopes	75.8	40.2%
45	Smyrna fine sand-Urban land complex, 0 to 2 percent slopes	0.7	0.4%
46	Tavares fine sand, 0 to 5 percent slopes	2.3	1.2%
50	Urban land, 0 to 2 percent slopes	15.0	8.0%
99	Water	1.0	0.5%
<b>Totals for Area of Interest</b>		<b>188.7</b>	<b>100.0%</b>

# Regal Yacht Center Stormwater Modifications

## City of Belle Isle, Florida

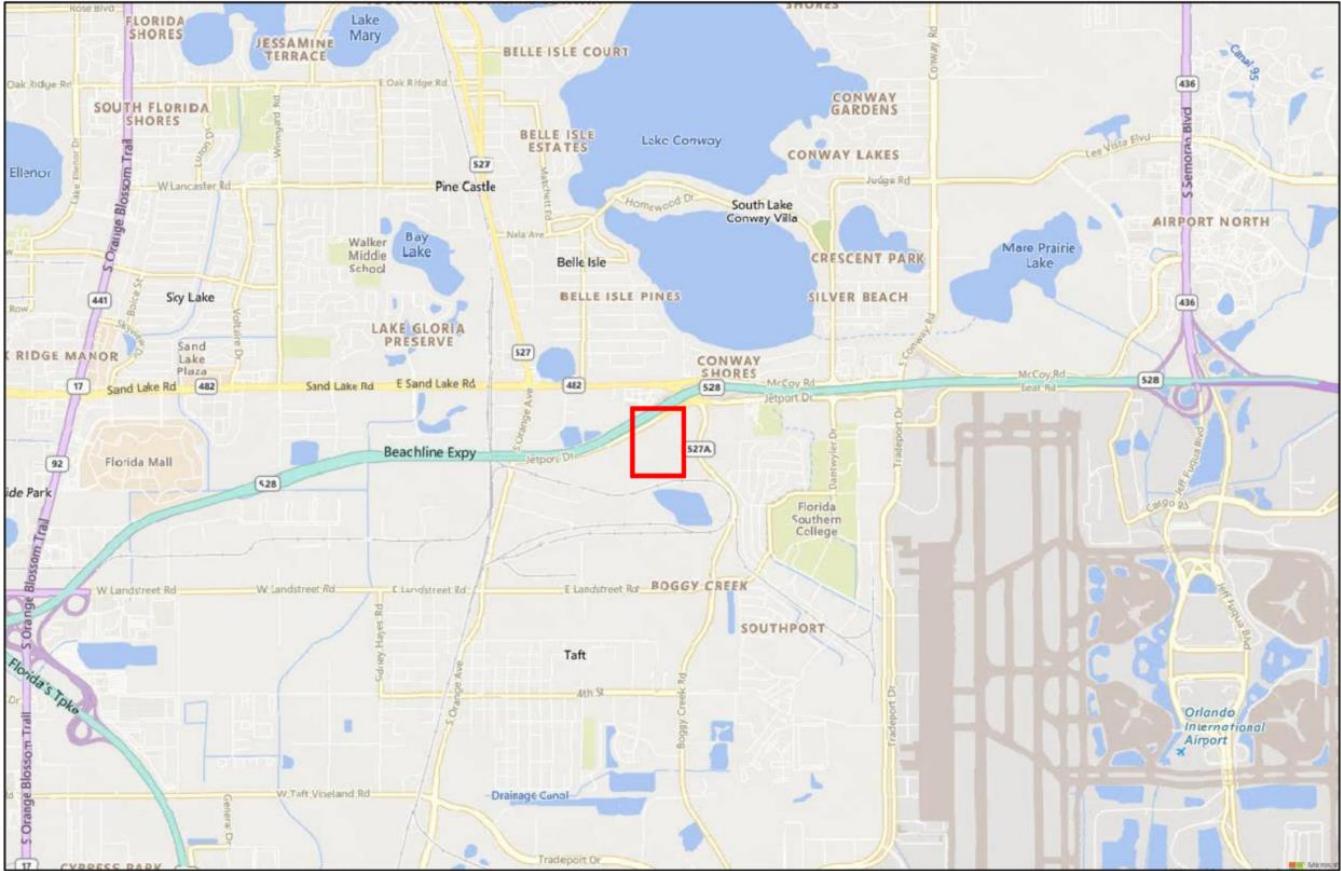
### SOILS MAP



# Regal Yacht Center Stormwater Modifications

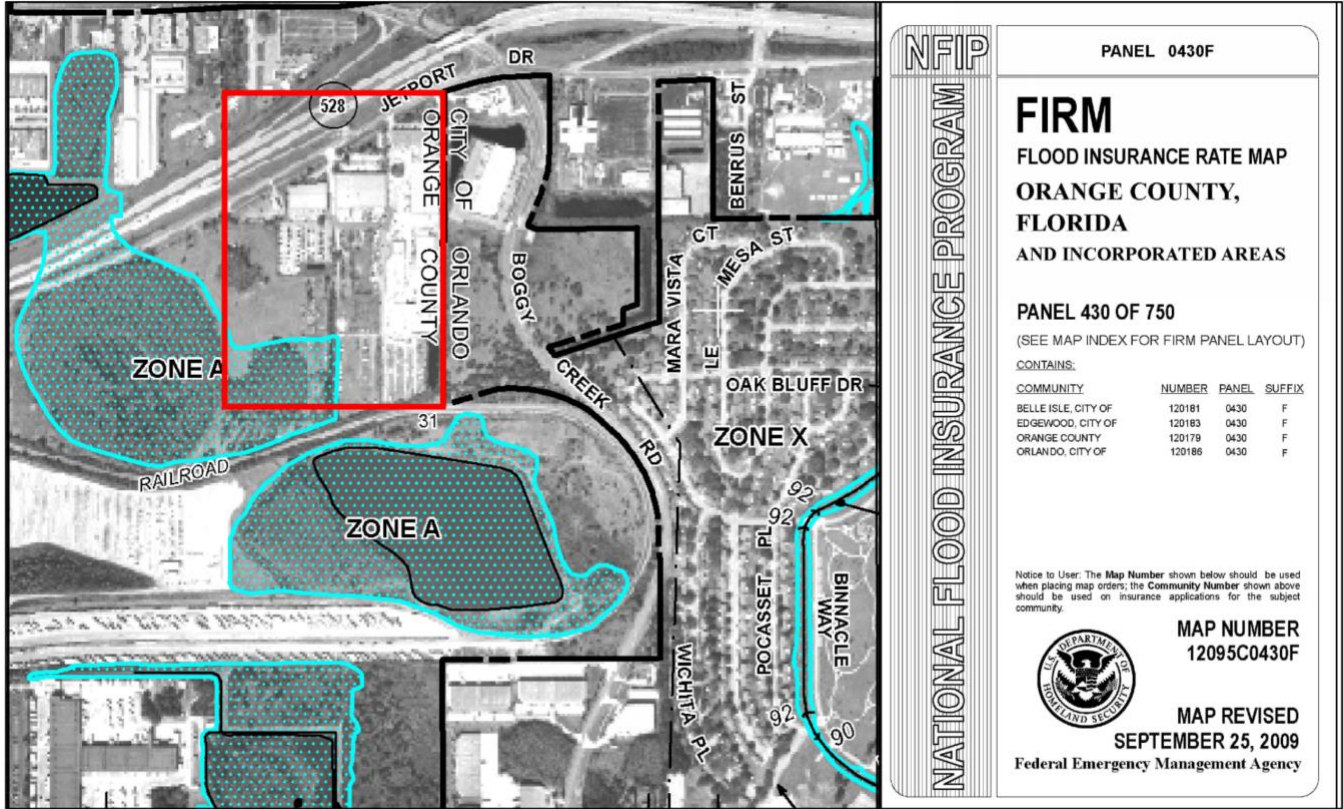
City of Belle Isle, Florida  
AERIAL





# Regal Yacht Center Stormwater Modifications

City of Belle Isle, Florida  
LOCATION






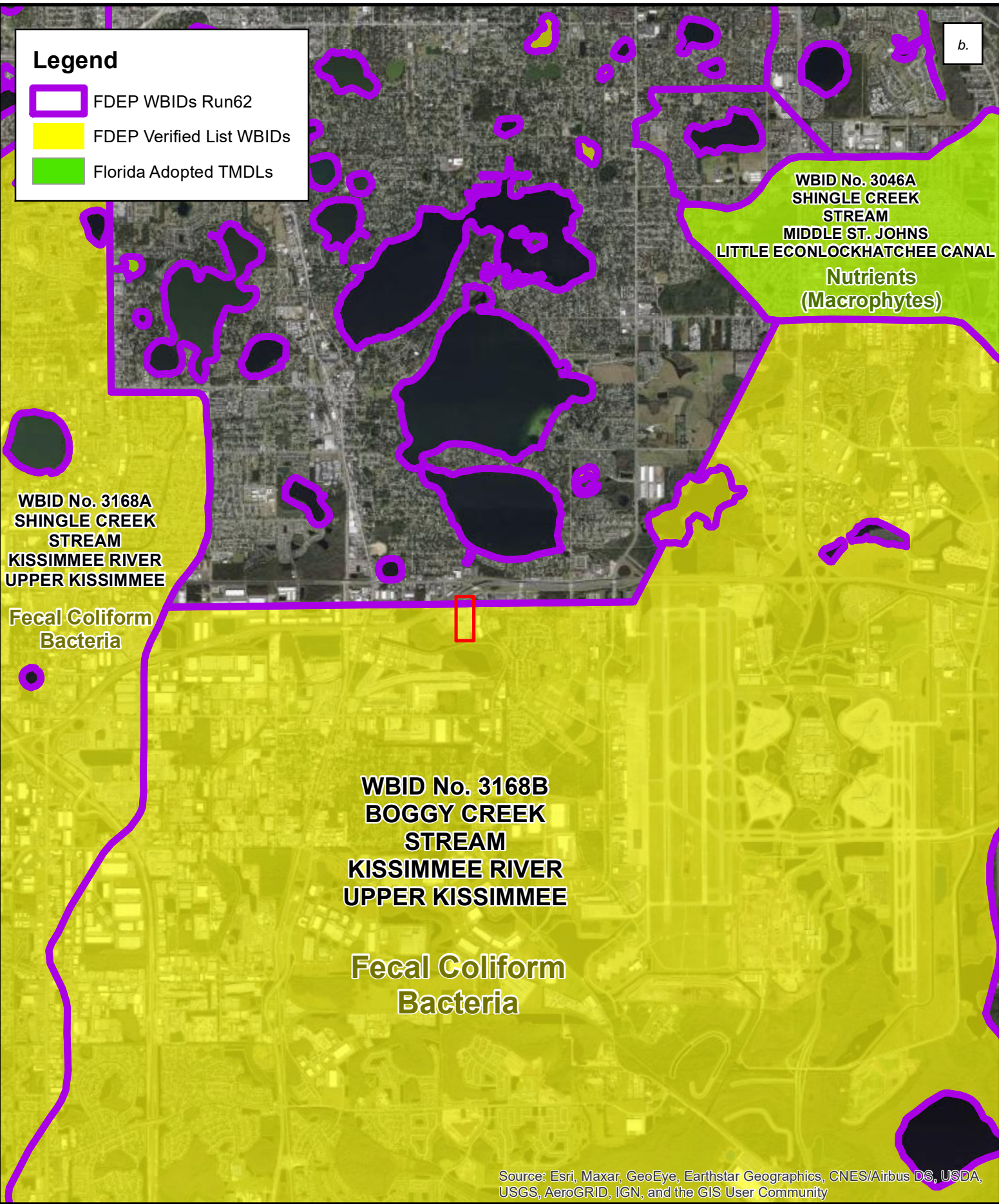
# Regal Yacht Center Stormwater Modifications

City of Belle Isle, Florida  
 FEMA



**Legend**

-  FDEP WBIDs Run62
-  FDEP Verified List WBIDs
-  Florida Adopted TMDLs



**WBID No. 3168A**  
**SHINGLE CREEK**  
**STREAM**  
**KISSIMMEE RIVER**  
**UPPER KISSIMMEE**

Fecal Coliform  
 Bacteria

**WBID No. 3046A**  
**SHINGLE CREEK**  
**STREAM**  
**MIDDLE ST. JOHNS**  
**LITTLE ECONLOCKHATCHEE CANAL**

Nutrients  
 (Macrophytes)

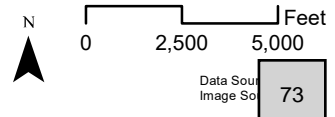
**WBID No. 3168B**  
**BOGGY CREEK**  
**STREAM**  
**KISSIMMEE RIVER**  
**UPPER KISSIMMEE**

Fecal Coliform  
 Bacteria

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



**Regal Yacht Center**  
 Orange County, FL  
 WBID Exhibit



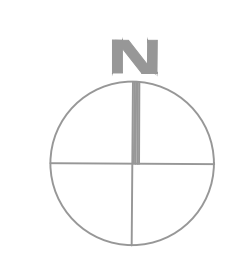
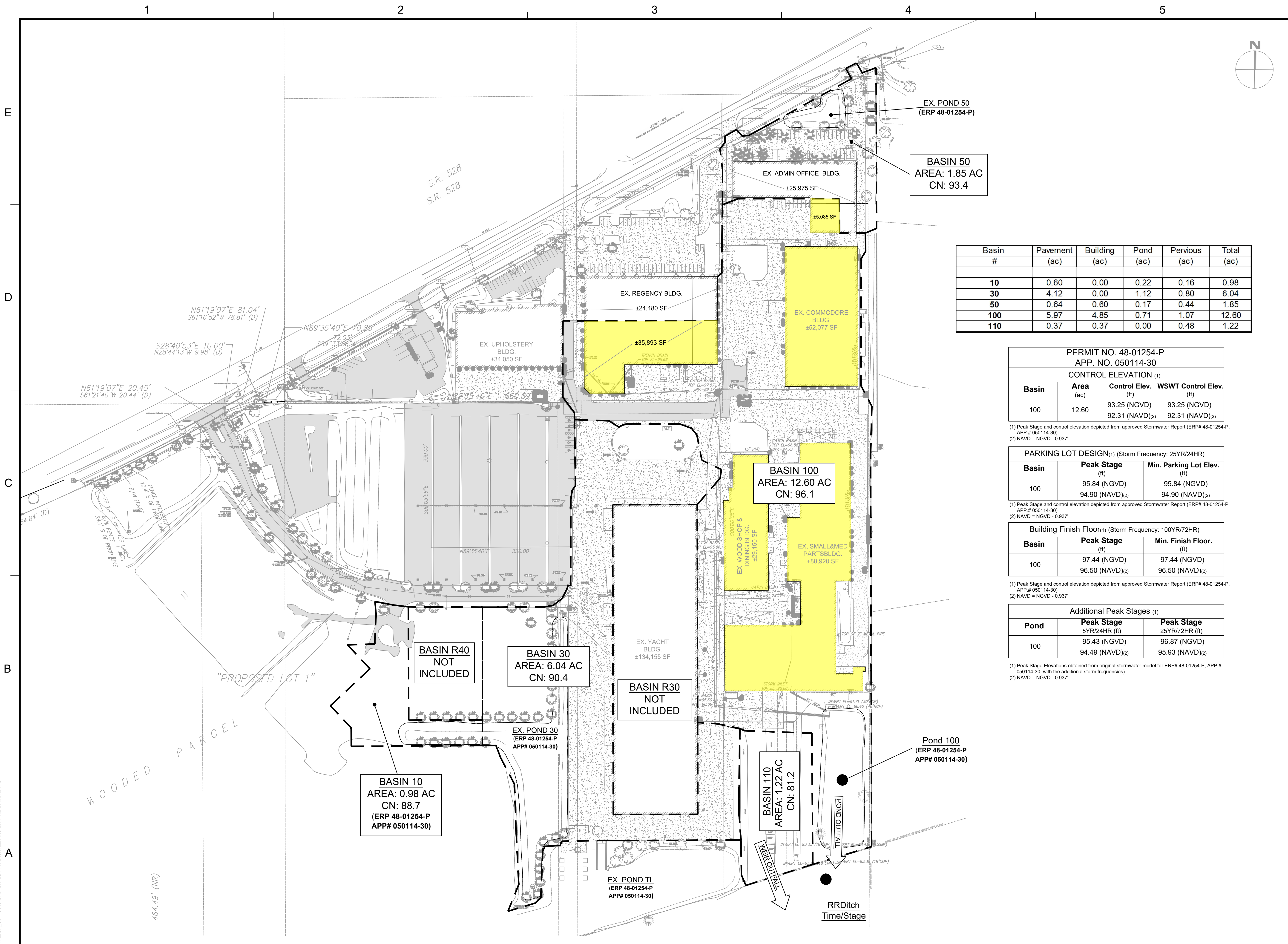


# Section B: Pre & Post-Development Drainage Calculations



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**BASIN 50**  
AREA: 1.85 AC  
CN: 93.4

**BASIN 100**  
AREA: 12.60 AC  
CN: 96.1

**BASIN 10**  
AREA: 0.98 AC  
CN: 88.7  
(ERP 48-01254-P  
APP# 050114-30)

**BASIN 30**  
AREA: 6.04 AC  
CN: 90.4

**BASIN R30**  
NOT INCLUDED

**BASIN R40**  
NOT INCLUDED

**Pond 100**  
(ERP 48-01254-P  
APP# 050114-30)

**EX. POND TL**  
(ERP 48-01254-P  
APP# 050114-30)

**EX. POND 30**  
(ERP 48-01254-P  
APP# 050114-30)

Basin #	Pavement (ac)	Building (ac)	Pond (ac)	Pervious (ac)	Total (ac)
10	0.60	0.00	0.22	0.16	0.98
30	4.12	0.00	1.12	0.80	6.04
50	0.64	0.60	0.17	0.44	1.85
100	5.97	4.85	0.71	1.07	12.60
110	0.37	0.37	0.00	0.48	1.22

PERMIT NO. 48-01254-P  
APP. NO. 050114-30  
CONTROL ELEVATION (1)

Basin	Area (ac)	Control Elev. (ft)	WSWT Control Elev. (ft)
100	12.60	93.25 (NGVD) 92.31 (NAVD) <sub>(2)</sub>	93.25 (NGVD) 92.31 (NAVD) <sub>(2)</sub>

(1) Peak Stage and control elevation depicted from approved Stormwater Report (ERP# 48-01254-P, APP# 050114-30)  
(2) NAVD = NGVD - 0.937'

PARKING LOT DESIGN (1) (Storm Frequency: 25YR/24HR)

Basin	Peak Stage (ft)	Min. Parking Lot Elev. (ft)
100	95.84 (NGVD) 94.90 (NAVD) <sub>(2)</sub>	95.84 (NGVD) 94.90 (NAVD) <sub>(2)</sub>

(1) Peak Stage and control elevation depicted from approved Stormwater Report (ERP# 48-01254-P, APP# 050114-30)  
(2) NAVD = NGVD - 0.937'

Building Finish Floor (1) (Storm Frequency: 100YR/72HR)

Basin	Peak Stage (ft)	Min. Finish Floor. (ft)
100	97.44 (NGVD) 96.50 (NAVD) <sub>(2)</sub>	97.44 (NGVD) 96.50 (NAVD) <sub>(2)</sub>

(1) Peak Stage and control elevation depicted from approved Stormwater Report (ERP# 48-01254-P, APP# 050114-30)  
(2) NAVD = NGVD - 0.937'

Additional Peak Stages (1)

Pond	Peak Stage 5YR/24HR (ft)	Peak Stage 25YR/72HR (ft)
100	95.43 (NGVD) 94.49 (NAVD) <sub>(2)</sub>	96.87 (NGVD) 95.93 (NAVD) <sub>(2)</sub>

(1) Peak Stage Elevations obtained from original stormwater model for ERP# 48-01254-P, APP# 050114-30, with the additional storm frequencies  
(2) NAVD = NGVD - 0.937'



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407.843.5120  
C.A. 88794

REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA  
CONSTRUCTION PLANS

SEAL  
Reinaldo Nolasco  
FL PE# 91588  
Jan. 31, 2023

SCALE  
0' 50' 100' 200'  
SCALE: 1" = 100'

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: \_\_\_\_\_ GL  
APPROVED BY: \_\_\_\_\_ RM  
CHECKED BY: \_\_\_\_\_ GL  
DATE: 9/6/2022

TITLE  
**PRE-DEVELOPMENT  
BASIN MAP**

PROJECT NO. 50150413

**C-2.1**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

I:\2020\08\30\15 AM V:\REGAL\_BOATPRODUCTION\PHASE 1\SHEETS\C-2.1 PRE BASIN.DWG







**REGAL MARINE  
City of Belle Isle  
Pre and Post Development**

**Permitted (ERP 48-01254-P)**

Basin #	CN 98 Impervious (ac)	Impervious (% of Total)	CN 100 Pond (ac)	Pond (% of Total)	Pervious (ac)	Pervious (% of Total)	Pervious CN	CN 87 Wetland (ac)	Wetland (% of Tot.)	Total (ac)	Composite CN
<b>10</b>	0.60	61.2%	0.00	0%	0.38	39%	74	0.00	0%	<b>0.98</b>	<b>88.7</b>
<b>30</b>	4.12	68.2%	0.00	0%	1.92	32%	74	0.00	0%	<b>6.04</b>	<b>90.4</b>
<b>50</b>	1.39	75.2%	0.00	0%	0.46	25%	84	0.00	0%	<b>1.85</b>	<b>94.5</b>
<b>100</b>	10.76	85.4%	0.51	4%	1.33	11%	74	0.00	0%	<b>12.60</b>	<b>95.5</b>
<b>110</b>	0.45	36.9%	0.00	0%	0.77	63%	74	0.00	0%	<b>1.22</b>	<b>82.9</b>
<b>110+110</b>	<b>11.21</b>	<b>81.1%</b>			<b>2.10</b>					<b>13.82</b>	<b>94.4</b>

**Pre-Development**

Basin #	CN 98 Impervious (ac)	Impervious (% of Total)	CN 100 Pond (ac)	Pond (% of Total)	Pervious (ac)	Pervious (% of Total)	Pervious CN	CN 87 Wetland (ac)	Wetland (% of Tot.)	Total (ac)	Composite CN
<b>10<sup>(1)</sup></b>	0.60	61.2%	0.00	0%	0.38	39%	74	0.00	0%	<b>0.98</b>	<b>88.7</b>
<b>30<sup>(1)</sup></b>	4.12	68.2%	0.00	0%	1.92	32%	74	0.00	0%	<b>6.04</b>	<b>90.4</b>
<b>50</b>	1.24	66.9%	0.00	0%	0.61	33%	84	0.00	0%	<b>1.85</b>	<b>93.4</b>
<b>100</b>	10.82	85.8%	0.71	6%	1.07	8%	74	0.00	0%	<b>12.60</b>	<b>96.1</b>
<b>110</b>	0.368	30.2%	0.00	0%	0.852	70%	74	0.00	0%	<b>1.22</b>	<b>81.2</b>
<b>110+110</b>	<b>11.18</b>	<b>80.9%</b>			<b>1.92</b>					<b>13.82</b>	<b>94.8</b>

**Post-Development**

Basin #	CN 98 Impervious (ac)	Impervious (% of Total)	CN 100 Pond (ac)	Pond (% of Total)	Pervious (ac)	Pervious (% of Total)	Pervious CN	CN 87 Wetland (ac)	Wetland (% of Tot.)	Total (ac)	Composite CN
<b>10</b>	0.23	37.7%	0.00	0%	0.38	62%	74	0.00	0%	<b>0.61</b>	<b>83.0</b>
<b>30</b>	3.74	58.4%	0.00	0%	2.66	42%	74	0.00	0%	<b>6.41</b>	<b>88.0</b>
<b>50</b>	1.32	71.2%	0.00	0%	0.53	29%	84	0.00	0%	<b>1.85</b>	<b>94.0</b>
<b>100<sup>(2)</sup></b>	11.71	87.7%	0.86	6%	0.78	6%	74	0.00	0%	<b>13.35</b>	<b>96.7</b>
<b>115</b>	0.33	80.7%	0.00	0%	0.08	19%	74	0.00	0%	<b>0.4</b>	<b>93.4</b>

(1) CN and Impervious area as per ERP 48-01254-P

(2) Post Basin 100 includes Pre Basin 110 area

**REGAL MARINE**  
**City of Belle Isle**  
**BASIN AREA COMPARISON**

<b>BASIN NAME</b>	<b>PERMITTED AREA (AC)</b>	<b>EXISTING AREA (AC)</b>	<b>PROPOSED AREA (AC)</b>
10	0.98	0.98	0.61
30	6.04	6.04	6.41
50	1.85	1.85	1.85
100	12.6	12.6	13.35
110	1.41	1.22	0
115	0	0	0.40
<b>TOTAL</b>	<b>22.88</b>	<b>22.69</b>	<b>22.62</b>

**REGAL MARINE  
STAGE - STORAGE CALCULATIONS  
DATUM: NAVD88**

**POND: 100 Mod**

<b>ELEVATION (feet)</b>	<b>AREA (acres)</b>	<b>AVG AREA (acres)</b>	<b>DEPTH (feet)</b>	<b>STORAGE (ac-ft)</b>	<b>CUM STORAGE (ac-ft)</b>	
93.35	0.86				0.00	NWL
		0.88	0.65	0.57		
94.00	0.90				0.57	
		0.94	1.00	0.94		
95.00	0.98				1.51	
		1.04	0.20	0.21		
95.20	1.09				1.72	(*)
		1.14	1.00	1.14		
96.20	1.18				2.86	T.O.B. (*)

**NWL Elevation: 93.35 feet**  
 Required Treatment Volume = 2.31 Ac-ft  
 Set Weir at or above = 95.72 feet  
 Weir Set at = 95.72 feet  
 Provided Treatment Volume = 2.31 Ac-ft  
 Drawdown Volume 0.52 Ac-ft

(\*) Includes Swale area along the east property boundary



**REGAL MARINE**  
**STAGE - STORAGE CALCULATIONS**  
**DATUM: NAVD88**

**POND: 115**

<u>ELEVATION</u> <u>(feet)</u>	<u>AREA</u> <u>(acres)</u>	<u>AVG AREA</u> <u>(acres)</u>	<u>DEPTH</u> <u>(feet)</u>	<u>STORAGE</u> <u>(ac-ft)</u>	<u>CUM</u> <u>STORAGE</u> <u>(ac-ft)</u>
94.50	0.004				0.00
		0.03	2.00	0.06	
96.50	0.055				0.06

Required Treatment Volume = 0.017 Ac-ft  
Set Weir at or above = 95.07 feet  
Weir Set at = 96.30 feet  
Provided Treatment Volume = 0.053 Ac-ft

## REGAL MARINE WATER QUALITY CALCULATIONS - SFWMD

**SFWMD Wet Detention Criteria**

Basin #	Pond #	Site Area (ac)	Pond Area (ac)	Site Area w.o. Pond (ac)	Building Area (ac)	Pavement Area (ac)	Pervious Area (ac)	W.Q. Area (ac)	Imp. for W.Q. (ac)	% Imp. for W.Q. (%)	Water Quality 1.0 in x area (ac-ft)	2.5 in x % imp x area w.o. pond (ac-ft)	W.Q. Volume (ac-ft)	W.Q. Provided (ac-ft)	W.Q. Pre-Treat. (ac-ft)
100	100	13.35	0.86	12.49	5.89	5.82	0.78	6.60	5.82	88.2%	1.11	2.29	2.29	2.31	0.00
115	115	0.40	0.00	0.40	0.00	0.33	0.08	0.40	0.33	80.7%	0.03	0.068	0.07	0.00	0.017
											1.15	2.36	2.36		
10	30	0.61	0.23	0.00	0.03										
30 <sup>(1)</sup>	30	6.41	3.74	0.00	0.27										
30P	TL	4.16	3.56	0.00	0.17										
					0.47										

Treatment provided in Pond TL (ERP 48-01254-P)

Dry Pre-Treatment Required in Pond 30<sup>(2)</sup>: 0.47 0.47

Dry Pre-Treatment Required in Pond 115<sup>(3)</sup>: 0.017 0.053

Wet-Detention Required in Pond 100 Mod (Total - Pre-treatment)<sup>(4)</sup>: 2.31 2.31

(1) Approved Impervius area for Basin 30= 4.12 ac (ERP 48-01254-P)

(2) Required Dry Pre-Treatment volume does not increase the allowable volume per ERP 48-01254-P

(3) Pre-Treatment within Pond 115 only from additional pavement in Basin 115

(4) Treatment Volume includes Basin 115; the pre-treatment volume subtracted from the total is for Pond 115 only

ERP 48-01254-P

## Regal Marine WATER QUALITY CALCULATIONS

Basin #	Pond #	Area (ac)	Impervious Area (ac)	Pre-Treatment			W.Q. Required (ac-ft)	W.Q. Provided (ac-ft)
				0.5 in x area (ac-ft)	1 in x area (ac-ft)	2.5 in x imp (ac-ft)		
20A	20A	1.70	0.51	0.07	0.14	0.11	0.14	
20	20	1.98	1.20	0.08	0.17	0.25	0.25	
		<u>3.68</u>		<u>0.15</u>			<u>0.39</u>	
				Dry Pre-Treatment Required in Pond 20:			0.15	0.16
				Wet-Detention Required in Pond 10 (Total - Pre-treatment):			0.24	0.26
10	30	0.98	0.60	0.04	0.08	0.13	0.13	
30	30	6.04	4.12	0.25	0.50	0.86	0.86	
30P	TL	4.16	3.56	0.17	0.35	0.74	0.74	
				<u>0.47</u>			<u>1.73</u>	
				Dry Pre-Treatment Required in Pond 30:			0.47	0.47
				Wet-Detention Required in Pond TL (Total - Pre-treatment):			1.26	1.29

### Existing Basins (Water Quality Already Provided)

Basin #	Pond #	Area (ac)	Impervious	
			Area (ac)	Area (ac)
50	50	1.85	1.39	
60	60	2.43	1.82	
70	70	1.87	1.41	
80	80	1.19	0.89	
100	100	12.60	10.76	
110	110	1.41	0.45	

**WET DETENTION TREATMENT  
CONSERVATION DESIGN POOL BELOW SHWL WITH DISCHARGE**

**Lake: Pond 100 Mod**

**I. REQUIRED TREATMENT VOLUME (Q)**

Basin Area Requiring Full Treatment	13.75 Ac.
On-site Runoff	1.00 in.
<b>Required Treatment Volume (Q) =</b>	<b>1.15 Ac-Ft</b>

**II. PERMANENT WET POOL VOLUME (Vb)**

Calculate the 14 day Residence Volume and the minimum runoff of 0.667 inches, and define the larger of the two as the Permanent Wet Pool Volume.

a) 14 DAY RESIDENCE VOLUME (Vr)

$$Vr = (A) (C) (P) (R) (1FT/12IN)$$

where,

A = Project site + Immediate Upstream Basin, Drainage area

C = Composite Rational Runoff Coefficient

P = Historic average wet season rainfall rate for the project area

R = Residence Time = 14 days

A =	13.75 Ac.
C =	0.95
P =	32 in. / 122 days
R =	14 days
<b>Vr =</b>	<b>4.00 Ac-Ft</b>

b) 0.667 INCHES MINIMUM RUNOFF VOLUME (Vmin)

A =	13.75 Ac.
p =	0.667 in.
<b>Vmin =</b>	<b>0.76 Ac-Ft</b>

Compare Vr to Vmin , the Permanent Wet Pool Volume (Vb) is the larger of the two:

**Vb = 4.00 Ac-Ft**

**WET DETENTION TREATMENT  
CONSERVATION DESIGN POOL BELOW SHWL WITH DISCHARGE**

**Lake: Pond 100 Mod**

**III. WET DETENTION SYSTEM DESIGN POOL VOLUME REQUIRED (Vt)**

The Wet Detention Design Pool Volume (Vt) is the sum of the Treatment Volume (Q) and the Permanent Wet Pool Volume (Vb)

$$\begin{array}{r}
 Vt = Q + Vb \\
 Q = \quad \quad 1.15 \text{ Ac-Ft} \\
 Vb = \quad \quad 4.00 \text{ Ac-Ft} \\
 \hline
 Vt = \quad \quad \mathbf{5.14 \text{ Ac-Ft}}
 \end{array}$$

**IV. DESIGN POOL VOLUME PROVIDED (Vp)**

Volume provided = Vp = Vp1 + Vp2

$$\begin{array}{r}
 Vp1 = \quad \quad 1.81 \text{ Ac-Ft} \quad (\text{Vol. between Control Elev. and Grade Break *}) \\
 Vp2 = \quad \quad 4.05 \text{ Ac-Ft} \quad (\text{Vol. between Grade Break and Pond Bottom *}) \\
 \hline
 Vp = \quad \quad \mathbf{5.86 \text{ Ac-Ft}} \quad * \text{ See Stage/Area/Volume Calculation Table}
 \end{array}$$

**Vp > Vt, therefore Lake meets volume requirements.**

**IV. MINIMUM POND AREA (As)**

Minimum pond area for alternative 3, based on treatment volume below control elevation of "v"-notch weir, is 0.5 inch of runoff (+ 50% for Evers Reservoir Rule) and 10 inch maximum head or based on storing the wet detention design pool volume from shwl to a maximum depth of 8 feet.

a) Calculate Storage volume for 0.5 inch of runoff + 50% (Vw)

$$\begin{array}{r}
 \text{Drainage Area} = \quad \quad 13.75 \text{ Ac.} \\
 1/2" \text{ Runoff} = \quad \quad 0.5 \text{ in.} \\
 \hline
 Vw = \quad \quad \mathbf{0.57 \text{ Ac-Ft}}
 \end{array}$$

b) Calculate min. pond area based on 10" max. head fluctuation for a 0.5" runoff

$$\begin{array}{r}
 As = Vw / (10 \text{ in} * 1 \text{ Ft} / 12 \text{ in}) \\
 \hline
 As = \quad \quad \mathbf{0.69 \text{ Ac.}}
 \end{array}$$

c) Calculate min. pond area based on design pool volume at a max. depth (8 ft.)

$$\begin{array}{r}
 As = (Vt) / 8 \\
 \hline
 As = \quad \quad \mathbf{0.64 \text{ Ac.}}
 \end{array}$$

Therefore, the correct minimum pond area, is the larger of the two As values computed above.

$$\text{Minimum pond area, } As = \quad \quad \mathbf{0.69 \text{ Ac.}}$$

Compare actual pond area at NWL (Anwl) to minimum pond area (As):

$$Anwl = \quad \quad \mathbf{0.86 \text{ Ac.}}$$

**Anwl > As; pond size is acceptable**





# Section C: Post-Development ICPR Input and Results



[www.dewberry.com](http://www.dewberry.com)

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Warning Stage [ft]	Maximum Stage [ft]	Time to Maximum Stage [hrs]	Maximum Total Inflow Rate [cfs]	Time to Maximum Total Inflow Rate [hrs]	Maximum Total Outflow Rate [cfs]	Time to Maximum Total Outflow Rate [hrs]
Scenario1	100Y24	Pond 100 Mod	96.20	96.03	9.0414	29.72	8.9997	29.64	9.0497
Scenario1	100Y24	Pond 115	96.50	96.39	9.0331	0.86	8.9997	0.85	9.0164
Scenario1	100Y24	RRDitch	95.00	95.44	22.5081	29.64	9.0497	0.00	0.0000
Scenario1	100y72	Pond 100 Mod	96.20	96.55	71.7638	77.85	60.0525	76.01	60.1012
Scenario1	100y72	Pond 115	96.50	96.55	71.8638	2.26	60.0525	2.20	60.0978
Scenario1	100y72	RRDitch	95.00	96.54	71.7555	76.01	60.1050	0.00	0.0000
Scenario1	25Y24H	Pond 100 Mod	96.20	96.00	9.0480	24.06	8.9980	23.99	9.0480
Scenario1	25Y24H	Pond 115	96.50	96.38	9.0397	0.69	9.0063	0.69	9.0397
Scenario1	25Y24H	RRDitch	95.00	94.90	22.0063	23.99	9.0480	0.00	0.0000
Scenario1	25y72	Pond 100 Mod	96.20	96.18	60.1044	60.89	60.0514	59.28	60.1085
Scenario1	25y72	Pond 115	96.50	96.44	60.0859	1.76	60.0514	1.75	60.0859
Scenario1	25y72	RRDitch	95.00	95.93	70.0022	59.28	60.1085	0.00	0.0000

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Link Name	From Node Name	To Node Name	Maximum Flow Rate [cfs]	Time to Maximum Flow Rate [hrs]
Scenario1	100Y24	CS-1	~-D~CS-1~N	RRDitch	7.36	9.0497
Scenario1	100Y24	CS-2	~-D~CS-2~N	Pond 100 Mod	0.85	9.0164
Scenario1	100Y24	TOB WEIR	Pond 100 Mod	RRDitch	22.28	9.0497
Scenario1	100y72	CS-1	~-D~CS-1~N	RRDitch	15.69	60.0944
Scenario1	100y72	CS-2	~-D~CS-2~N	Pond 100 Mod	2.20	60.1126
Scenario1	100y72	TOB WEIR	Pond 100 Mod	RRDitch	60.33	60.1050
Scenario1	25Y24H	CS-1	~-D~CS-1~N	RRDitch	6.28	9.0563
Scenario1	25Y24H	CS-2	~-D~CS-2~N	Pond 100 Mod	0.69	9.0397
Scenario1	25Y24H	TOB WEIR	Pond 100 Mod	RRDitch	17.72	9.0480
Scenario1	25y72	CS-1	~-D~CS-1~N	RRDitch	12.80	60.1085
Scenario1	25y72	CS-2	~-D~CS-2~N	Pond 100 Mod	1.75	60.0895
Scenario1	25y72	TOB WEIR	Pond 100 Mod	RRDitch	46.48	60.1085

Simple Basin: Basin 100

Scenario: Scenario1  
 Node: Pond 100 Mod  
 Hydrograph Method: NRCS Unit Hydrograph  
 Infiltration Method: Curve Number  
 Time of Concentration: 15.0000 min  
 Max Allowable Q: 0.00 cfs  
 Time Shift: 0.0000 hr  
 Unit Hydrograph: UH256  
 Peaking Factor: 256.0  
 Area: 13.3500 ac  
 Curve Number: 96.7  
 % Impervious: 0.00  
 % DCIA: 0.00  
 % Direct: 0.00  
 Rainfall Name:

Comment:

Simple Basin: Basin 115

Scenario: Scenario1  
 Node: Pond 115  
 Hydrograph Method: NRCS Unit Hydrograph  
 Infiltration Method: Curve Number  
 Time of Concentration: 15.0000 min  
 Max Allowable Q: 0.00 cfs  
 Time Shift: 0.0000 hr  
 Unit Hydrograph: UH256  
 Peaking Factor: 256.0  
 Area: 0.4000 ac  
 Curve Number: 93.4  
 % Impervious: 0.00  
 % DCIA: 0.00  
 % Direct: 0.00  
 Rainfall Name:

Comment:

Node: Pond 100 Mod

Scenario: Scenario1  
 Type: Stage/Area  
 Base Flow: 0.00 cfs  
 Initial Stage: 93.35 ft  
 Warning Stage: 96.20 ft

Regal Marine Expansion  
(December 2022)

Stage [ft]	Area [ac]	Area [ft2]
93.35	0.8600	37462
94.00	0.9000	39204
95.00	0.9800	42689
95.20	1.0900	47480
96.20	1.1800	51401

Comment:

Node: Pond 115

Scenario: Scenario1  
 Type: Stage/Area  
 Base Flow: 0.00 cfs  
 Initial Stage: 94.50 ft  
 Warning Stage: 96.50 ft

Stage [ft]	Area [ac]	Area [ft2]
94.50	0.0040	174
96.50	0.0550	2396

Comment:

Node: RRDitch

Scenario: Scenario1  
 Type: Time/Stage  
 Base Flow: 0.00 cfs  
 Initial Stage: 93.00 ft  
 Warning Stage: 95.00 ft  
 Boundary Stage: RRDitch

Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	93.06
0	0	0	0.2500	93.06
0	0	0	0.5000	93.06
0	0	0	0.7500	93.06
0	0	0	1.0000	93.06
0	0	0	1.2500	93.06
0	0	0	1.5000	93.06
0	0	0	1.7500	93.06
0	0	0	2.0000	93.03
0	0	0	2.2500	93.03
0	0	0	2.5000	93.03
0	0	0	2.7500	93.03
0	0	0	3.0000	93.03
0	0	0	3.2500	93.03



Regal Marine Expansion  
(December 2022)

Year	Month	Day	Hour	Stage [ft]
0	0	0	3.5000	93.04
0	0	0	3.7500	93.04
0	0	0	4.0000	93.05
0	0	0	4.2500	93.05
0	0	0	4.5000	93.06
0	0	0	4.7500	93.10
0	0	0	5.0000	93.11
0	0	0	5.2500	93.12
0	0	0	5.5000	93.13
0	0	0	5.7500	93.14
0	0	0	6.0000	93.16
0	0	0	6.2500	93.19
0	0	0	6.5000	93.22
0	0	0	6.7500	93.26
0	0	0	7.0000	93.29
0	0	0	7.2500	93.34
0	0	0	7.5000	93.40
0	0	0	7.7500	93.47
0	0	0	8.0000	93.55
0	0	0	8.2500	93.63
0	0	0	8.5000	93.73
0	0	0	8.7500	93.83
0	0	0	9.0000	93.93
0	0	0	9.2500	94.02
0	0	0	9.5000	94.11
0	0	0	9.7500	94.19
0	0	0	10.0000	94.27
0	0	0	10.2500	94.33
0	0	0	10.5000	94.38
0	0	0	10.7500	94.43
0	0	0	11.0000	94.47
0	0	0	11.2500	94.51
0	0	0	11.5000	94.54
0	0	0	11.7500	94.57
0	0	0	12.0000	94.60
0	0	0	12.2500	94.63
0	0	0	12.5000	94.65
0	0	0	12.7500	94.68
0	0	0	13.0000	94.70
0	0	0	13.2500	94.72
0	0	0	13.5000	94.74
0	0	0	13.7500	94.76
0	0	0	14.0000	94.77
0	0	0	14.2500	94.78
0	0	0	14.5000	94.79
0	0	0	14.7500	94.80
0	0	0	15.0000	94.81
0	0	0	15.2500	94.81
0	0	0	15.5000	94.82

Regal Marine Expansion  
(December 2022)

Year	Month	Day	Hour	Stage [ft]
0	0	0	15.7500	94.82
0	0	0	16.0000	94.83
0	0	0	16.2500	94.83
0	0	0	16.5000	94.84
0	0	0	16.7500	94.84
0	0	0	17.0000	94.85
0	0	0	17.2500	94.85
0	0	0	17.5000	94.85
0	0	0	17.7500	94.86
0	0	0	18.0000	94.86
0	0	0	18.2500	94.86
0	0	0	18.5000	94.87
0	0	0	18.7500	94.87
0	0	0	19.0000	94.87
0	0	0	19.2500	94.88
0	0	0	19.5000	94.88
0	0	0	19.7500	94.88
0	0	0	20.0000	94.88
0	0	0	20.2500	94.89
0	0	0	20.5000	94.89
0	0	0	20.7500	94.89
0	0	0	21.0000	94.89
0	0	0	21.2500	94.89
0	0	0	21.5000	94.89
0	0	0	21.7500	94.89
0	0	0	22.0000	94.90
0	0	0	22.2500	94.90
0	0	0	22.5000	94.90
0	0	0	22.7500	94.90
0	0	0	23.0000	94.90
0	0	0	23.2500	94.90
0	0	0	23.5000	94.90
0	0	0	23.7500	94.90
0	0	0	24.0000	94.90
0	0	0	24.2500	94.90
0	0	0	24.5000	94.90
0	0	0	24.7500	94.89
0	0	0	25.0000	94.89
0	0	0	25.2500	94.89
0	0	0	25.5000	94.89
0	0	0	25.7500	94.88
0	0	0	26.0000	94.88
0	0	0	26.2500	94.88
0	0	0	26.5000	94.88
0	0	0	26.7500	94.88
0	0	0	27.0000	94.87
0	0	0	27.2500	94.87
0	0	0	27.5000	94.87
0	0	0	27.7500	94.86

Regal Marine Expansion  
(December 2022)

Year	Month	Day	Hour	Stage [ft]
0	0	0	28.0000	94.86
0	0	0	28.2500	94.86
0	0	0	28.5000	94.86
0	0	0	28.7500	94.85
0	0	0	29.0000	94.85
0	0	0	29.2500	94.85
0	0	0	29.5000	94.84
0	0	0	29.7500	94.84
0	0	0	30.0000	94.84

Comment:

Drop Structure Link: CS-1		Upstream Pipe		Downstream Pipe	
Scenario:	Scenario1	Invert:	93.35 ft	Invert:	93.20 ft
From Node:	Pond 100 Mod	Manning's N:	0.0120	Manning's N:	0.0120
To Node:	RRDitch	Geometry:	Circular	Geometry:	Circular
Link Count:	1	Max Depth:	1.50 ft	Max Depth:	1.50 ft
Flow Direction:	Both	Bottom Clip			
Solution:	Combine	Default:	0.00 ft	Default:	0.00 ft
Increments:	0	Op Table:		Op Table:	
Pipe Count:	2	Ref Node:		Ref Node:	
Damping:	0.0000 ft	Manning's N:	0.0000	Manning's N:	0.0000
Length:	20.00 ft	Top Clip			
FHWA Code:	1	Default:	0.00 ft	Default:	0.00 ft
Entr Loss Coef:	0.00	Op Table:		Op Table:	
Exit Loss Coef:	1.00	Ref Node:		Ref Node:	
Bend Loss Coef:	0.00	Manning's N:	0.0000	Manning's N:	0.0000
Bend Location:	0.00 dec				
Energy Switch:	Energy				

Pipe Comment:

Weir Component	
Weir:	1
Weir Count:	1
Weir Flow Direction:	Both
Damping:	0.0000 ft
Weir Type:	Sharp Crested Vertical
Geometry Type:	Rectangular
Invert:	95.72 ft
Control Elevation:	95.72 ft
Max Depth:	0.48 ft
Max Width:	12.50 ft
Fillet:	0.00 ft
Bottom Clip	
Default: 0.00 ft	
Op Table:	
Ref Node:	
Top Clip	
Default: 0.00 ft	
Op Table:	
Ref Node:	
Discharge Coefficients	
Weir Default: 3.200	
Weir Table:	
Orifice Default: 0.600	
Orifice Table:	

Weir Comment:

Weir Component	
Weir: 2	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:
Damping: 0.0000 ft	Ref Node:
Weir Type: Sharp Crested Vertical	Top Clip
Geometry Type: Circular	Default: 0.00 ft
Invert: 93.35 ft	Op Table:
Control Elevation: 93.35 ft	Ref Node:
Max Depth: 0.25 ft	Discharge Coefficients
	Weir Default: 3.200
	Weir Table:
	Orifice Default: 0.600
	Orifice Table:

Weir Comment:

Weir Component	
Weir: 3	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:
Damping: 0.0000 ft	Ref Node:
Weir Type: Horizontal	Top Clip
Geometry Type: Rectangular	Default: 0.00 ft
Invert: 96.20 ft	Op Table:
Control Elevation: 96.20 ft	Ref Node:
Max Depth: 6.50 ft	Discharge Coefficients
Max Width: 3.00 ft	Weir Default: 3.200
Fillet: 0.00 ft	Weir Table:
	Orifice Default: 0.600
	Orifice Table:

Weir Comment:

Drop Structure Comment:

Drop Structure Link: CS-2	Upstream Pipe	Downstream Pipe
Scenario: Scenario1	Invert: 93.50 ft	Invert: 93.30 ft
From Node: Pond 115	Manning's N: 0.0120	Manning's N: 0.0120
To Node: Pond 100 Mod	Geometry: Circular	Geometry: Circular
Link Count: 1	Max Depth: 1.25 ft	Max Depth: 1.25 ft
Flow Direction: Both	Bottom Clip	
Solution: Combine	Default: 0.00 ft	Default: 0.00 ft
Increments: 0	Op Table:	Op Table:
Pipe Count: 1	Ref Node:	Ref Node:
Damping: 0.0000 ft	Manning's N: 0.0000	Manning's N: 0.0000
Length: 50.00 ft	Top Clip	
FHWA Code: 1	Default: 0.00 ft	Default: 0.00 ft



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Entr Loss Coef: 0.00	Op Table:	Op Table:
Exit Loss Coef: 1.00	Ref Node:	Ref Node:
Bend Loss Coef: 0.00	Manning's N: 0.0000	Manning's N: 0.0000
Bend Location: 0.00 dec		
Energy Switch: Energy		

Pipe Comment:

Weir Component

Weir: 1	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:
Damping: 0.0000 ft	Ref Node:
Weir Type: Horizontal	Top Clip
Geometry Type: Rectangular	Default: 0.00 ft
Invert: 96.30 ft	Op Table:
Control Elevation: 96.30 ft	Ref Node:
Max Depth: 2.00 ft	Discharge Coefficients
Max Width: 3.00 ft	Weir Default: 3.200
Fillet: 0.00 ft	Weir Table:
	Orifice Default: 0.600
	Orifice Table:

Weir Comment:

Drop Structure Comment:

Weir Link: TOB WEIR

Scenario: Scenario1	Bottom Clip
From Node: Pond 100 Mod	Default: 0.00 ft
To Node: RRDitch	Op Table:
Link Count: 1	Ref Node:
Flow Direction: Both	Top Clip
Damping: 0.0000 ft	Default: 0.00 ft
Weir Type: Broad Crested Vertical	Op Table:
Geometry Type: Trapezoidal	Ref Node:
Invert: 95.80 ft	Discharge Coefficients
Control Elevation: 95.80 ft	Weir Default: 2.800
Max Depth: 9999.00 ft	Weir Table:
Extrapolation Method: Normal Projection	Orifice Default: 0.600
Bottom Width: 70.00 ft	Orifice Table:
Left Slope: 0.250 (h:v)	
Right Slope: 0.250 (h:v)	

Comment:

Simulation: 100Y24

Scenario: Scenario1

Regal Marine Expansion  
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Run Date/Time: 12/1/2022 4:29:53 PM  
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	30.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set: 100Y24  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:  
Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~ORANGE
	Rainfall Amount: 10.60 in
Edge Length Option: Automatic	Storm Duration: 24.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area 100 ft2	Min Node Srf Area 100 ft2
(2D):	(1D):
Energy Switch (2D): Energy	Energy Switch (1D): Energy

Comment:

Simulation: 100y72

Scenario: Scenario1  
Run Date/Time: 12/1/2022 4:30:21 PM  
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	72.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Regal Marine Expansion  
(December 2022)

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Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph  
Folder:

Lookup Tables

Boundary Stage Set: 100Y72H  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:  
Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ft  
  
Max dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft  
  
Edge Length Option: Automatic  
  
Dflt Damping (2D): 0.0050 ft  
Min Node Srf Area 100 ft2  
(2D):  
Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr  
ET for Manual Basins: False  
  
Smp/Man Basin Rain Global  
Opt:  
OF Region Rain Opt: Global  
Rainfall Name: ~SFWMD-72  
Rainfall Amount: 14.70 in  
Storm Duration: 72.0000 hr  
  
Dflt Damping (1D): 0.0050 ft  
Min Node Srf Area 100 ft2  
(1D):  
Energy Switch (1D): Energy

Comment:



Simulation: 10Y24H

Scenario: Scenario1  
Run Date/Time: 12/1/2022 4:31:26 PM  
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	30.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set: 10Y24H  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:

Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~ORANGE
	Rainfall Amount: 6.00 in
Edge Length Option: Automatic	Storm Duration: 24.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area 100 ft2	Min Node Srf Area 100 ft2
(2D):	(1D):
Energy Switch (2D): Energy	Energy Switch (1D): Energy

Comment:

Simulation: 25Y24H

Scenario: Scenario1  
Run Date/Time: 12/1/2022 4:31:56 PM  
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	30.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph  
Folder:

Lookup Tables

Boundary Stage Set:  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:  
Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ft  
  
Max dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft  
  
Edge Length Option: Automatic  
  
Dflt Damping (2D): 0.0050 ft  
Min Node Srf Area 100 ft2  
(2D):  
Energy Switch (2D): Energy

IA Recovery Time: 24.0000 hr  
ET for Manual Basins: False  
  
Smp/Man Basin Rain Global  
Opt:  
OF Region Rain Opt: Global  
Rainfall Name: ~ORANGE  
Rainfall Amount: 8.60 in  
Storm Duration: 24.0000 hr  
  
Dflt Damping (1D): 0.0050 ft  
Min Node Srf Area 100 ft2  
(1D):  
Energy Switch (1D): Energy

Comment:

Simulation: 25y72

Scenario: Scenario1  
Run Date/Time: 12/1/2022 4:32:27 PM  
Program Version: ICPR4 4.07.08

General

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	160.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

Output Time Increments

Hydrology

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph Folder:

Lookup Tables

Boundary Stage Set: 25Y72H  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:

Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR	IA Recovery Time: 24.0000 hr
Max Iterations: 6	ET for Manual Basins: False
Over-Relax Weight 0.5 dec	
Fact:	
dZ Tolerance: 0.0010 ft	Smp/Man Basin Rain Global
	Opt:
Max dZ: 1.0000 ft	OF Region Rain Opt: Global
Link Optimizer Tol: 0.0001 ft	Rainfall Name: ~SFWMD-72
	Rainfall Amount: 11.50 in
Edge Length Option: Automatic	Storm Duration: 72.0000 hr
Dflt Damping (2D): 0.0050 ft	Dflt Damping (1D): 0.0050 ft
Min Node Srf Area 100 ft2	Min Node Srf Area 100 ft2
(2D):	(1D):
Energy Switch (2D): Energy	Energy Switch (1D): Energy

Comment:



# Section D: Pollutant Loading Analysis



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# Complete Report (not including cost) Ver 4.3.3

Project: Regal Marine  
Date: 12/1/2022 3:46:02 PM

## Site and Catchment Information

Analysis: Net Improvement

Catchment Name	Basin 115	Basin 110
Rainfall Zone	Florida Zone 2	Florida Zone 2
Annual Mean Rainfall	50.00	50.00

## Pre-Condition Landuse Information

Landuse	High-Intensity Commercial: TN=2.40 TP=0.345	High-Intensity Commercial: TN=2.40 TP=0.345
Area (acres)	0.40	13.82
Rational Coefficient (0-1)	0.07	0.67
Non DCIA Curve Number	74.00	74.00
DCIA Percent (0-100)	0.00	80.90
Nitrogen EMC (mg/l)	2.400	2.400
Phosphorus EMC (mg/l)	0.345	0.345
Runoff Volume (ac-ft/yr)	0.124	38.517
Groundwater N (kg/yr)	0.000	0.000
Groundwater P (kg/yr)	0.000	0.000
Nitrogen Loading (kg/yr)	0.368	113.980

Phosphorus Loading (kg/yr)	0.053	16.385
----------------------------	-------	--------

## Post-Condition Landuse Information

Landuse	High-Intensity Commercial: TN=2.40 TP=0.345	High-Intensity Commercial: TN=2.40 TP=0.345
Area (acres)	0.40	13.35
Rational Coefficient (0-1)	0.67	0.72
Non DCIA Curve Number	74.00	74.00
DCIA Percent (0-100)	80.70	87.70
Wet Pond Area (ac)	0.00	0.86
Nitrogen EMC (mg/l)	2.400	2.400
Phosphorus EMC (mg/l)	0.345	0.345
Runoff Volume (ac-ft/yr)	1.112	37.415
Groundwater N (kg/yr)	0.000	0.000
Groundwater P (kg/yr)	0.000	0.000
Nitrogen Loading (kg/yr)	3.292	110.719
Phosphorus Loading (kg/yr)	0.473	15.916

## Catchment Number: 1 Name: Basin 115

**Project:** Regal Marine

**Date:** 12/1/2022

### Retention Design

Retention Depth (in) 1.570

Retention Volume (ac-ft) 0.052

**Watershed Characteristics**

Catchment Area (acres) 0.40

Contributing Area (acres) 0.400

Non-DCIA Curve Number 74.00

DCIA Percent 80.70

Rainfall Zone Florida Zone 2

Rainfall (in) 50.00

**Surface Water Discharge**

Required TN Treatment Efficiency (%) 89

Provided TN Treatment Efficiency (%) 86

Required TP Treatment Efficiency (%) 89

Provided TP Treatment Efficiency (%) 86

**Media Mix Information**

Type of Media Mix Not Specified

Media N Reduction (%)

Media P Reduction (%)

**Groundwater Discharge (Stand-Alone)**

Treatment Rate (MG/yr) 0.000

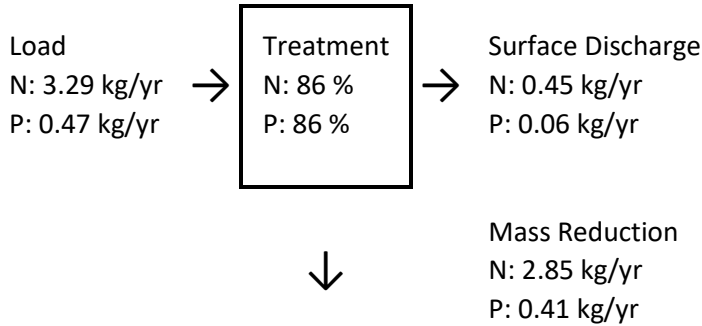
TN Mass Load (kg/yr) 2.846

TN Concentration (mg/L) 0.000

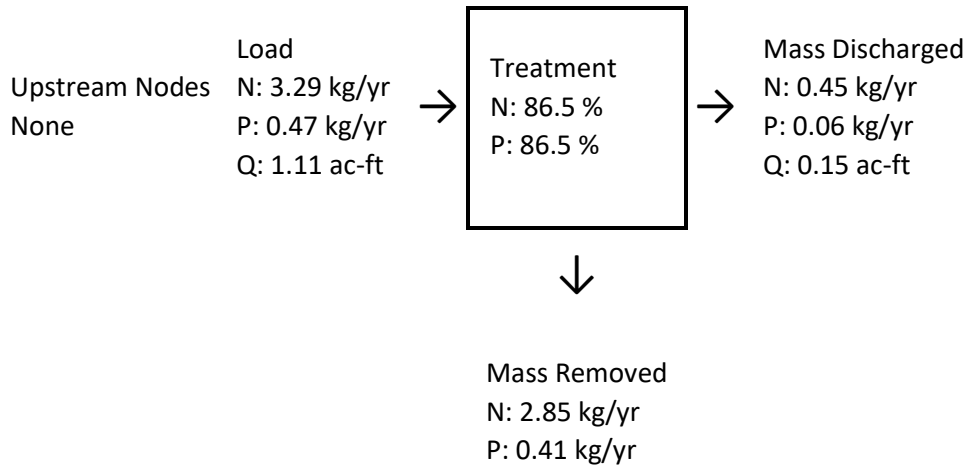
TP Mass Load (kg/yr) 0.409

TP Concentration (mg/L) 0.000

### Load Diagram for Retention (stand-alone)



### Load Diagram for Retention ( As Used In Routing)



## Catchment Number: 2 Name: Basin 110

Project: Regal Marine

Date: 12/1/2022



**Wet Detention Design**

Permanent Pool Volume (ac-ft) 6.560  
Permanent Pool Volume (ac-ft) for 31 days residence 3.178  
Annual Residence Time (days) 64  
Littoral Zone Efficiency Credit  
Wetland Efficiency Credit

**Watershed Characteristics**

Catchment Area (acres) 13.35  
Contributing Area (acres) 12.490  
Non-DCIA Curve Number 74.00  
DCIA Percent 87.70  
Rainfall Zone Florida Zone 2  
Rainfall (in) 50.00

**Surface Water Discharge**

Required TN Treatment Efficiency (%)  
Provided TN Treatment Efficiency (%) 41  
Required TP Treatment Efficiency (%)  
Provided TP Treatment Efficiency (%) 70

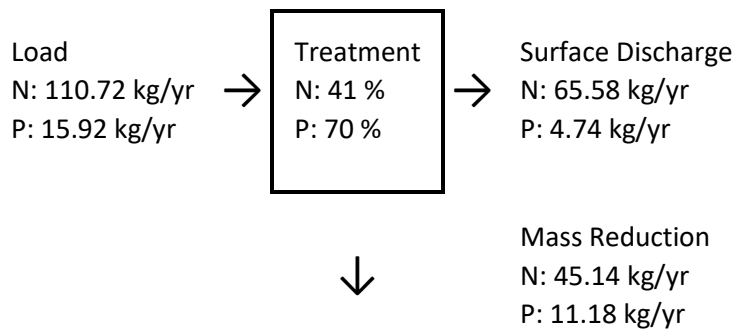
**Media Mix Information**

Type of Media Mix Not Specified  
Media N Reduction (%)  
Media P Reduction (%)

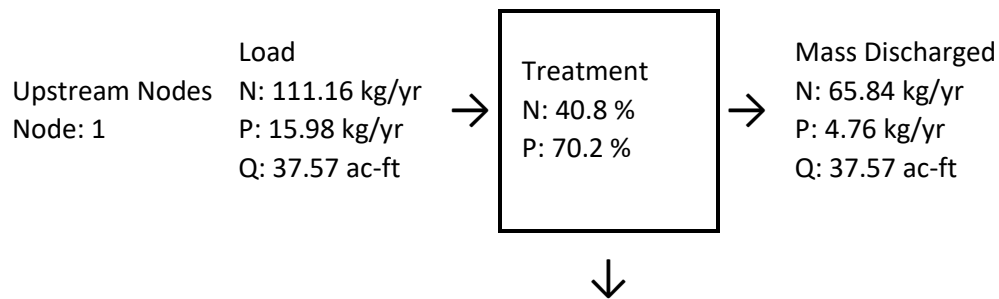
### Groundwater Discharge (Stand-Alone)

Treatment Rate (MG/yr) 0.000  
TN Mass Load (kg/yr) 0.000  
TN Concentration (mg/L) 0.000  
TP Mass Load (kg/yr) 0.000  
TP Concentration (mg/L) 0.000

### Load Diagram for Wet Detention (stand-alone)



### Load Diagram for Wet Detention ( As Used In Routing)



Mass Removed  
N: 45.32 kg/yr  
P: 11.22 kg/yr

# Summary Treatment Report Version: 4.3.3

Project: Regal Marine

**Analysis Type:** Net

Improvement

Date:12/1/2022

**BMP Types:**

Catchment 1 - (Basin 115)  
Retention

**Routing Summary**

Catchment 1 Routed to Catchment 2  
Catchment 2 Routed to Outlet

Catchment 2 - (Basin 110)

Wet Detention

Based on % removal values to  
the nearest percent

Total nitrogen target removal met? **Yes**

Total phosphorus target removal met? **Yes**

## Summary Report

Nitrogen

**Surface Water Discharge**

Total N pre load	114.35 kg/yr	
Total N post load	114.01 kg/yr	
Target N load reduction	%	
Target N discharge load	114.35 kg/yr	
Percent N load reduction	42 %	
Provided N discharge load	65.84 kg/yr	145.18 lb/yr

Provided N load removed      48.17 kg/yr      106.22 lb/yr

## Phosphorus

### **Surface Water Discharge**

Total P pre load	16.438 kg/yr	
Total P post load	16.389 kg/yr	
Target P load reduction	%	
Target P discharge load	16.438 kg/yr	
Percent P load reduction	71 %	
Provided P discharge load	4.758 kg/yr	10.49 lb/yr
Provided P load removed	11.631 kg/yr	25.647 lb/yr

# Section E: Recovery Analysis



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Regal Marine Expansion  
(December 2022)

1

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	0.0000	96.18
Recovery	no rain	Pond 100 Mod	0.2505	95.86
Recovery	no rain	Pond 100 Mod	0.5013	95.81
Recovery	no rain	Pond 100 Mod	0.7503	95.79
Recovery	no rain	Pond 100 Mod	1.0003	95.77
Recovery	no rain	Pond 100 Mod	1.2503	95.76
Recovery	no rain	Pond 100 Mod	1.5003	95.75
Recovery	no rain	Pond 100 Mod	1.7503	95.74
Recovery	no rain	Pond 100 Mod	2.0003	95.73
Recovery	no rain	Pond 100 Mod	2.2503	95.72
Recovery	no rain	Pond 100 Mod	2.5003	95.72
Recovery	no rain	Pond 100 Mod	2.7503	95.71
Recovery	no rain	Pond 100 Mod	3.0003	95.70
Recovery	no rain	Pond 100 Mod	3.2503	95.70
Recovery	no rain	Pond 100 Mod	3.5003	95.69
Recovery	no rain	Pond 100 Mod	3.7503	95.69
Recovery	no rain	Pond 100 Mod	4.0003	95.68
Recovery	no rain	Pond 100 Mod	4.2503	95.67
Recovery	no rain	Pond 100 Mod	4.5003	95.67
Recovery	no rain	Pond 100 Mod	4.7503	95.66
Recovery	no rain	Pond 100 Mod	5.0003	95.65
Recovery	no rain	Pond 100 Mod	5.2503	95.65
Recovery	no rain	Pond 100 Mod	5.5003	95.64
Recovery	no rain	Pond 100 Mod	5.7503	95.64
Recovery	no rain	Pond 100 Mod	6.0003	95.63
Recovery	no rain	Pond 100 Mod	6.2503	95.62
Recovery	no rain	Pond 100 Mod	6.5003	95.62
Recovery	no rain	Pond 100 Mod	6.7503	95.61
Recovery	no rain	Pond 100 Mod	7.0003	95.60
Recovery	no rain	Pond 100 Mod	7.2503	95.60
Recovery	no rain	Pond 100 Mod	7.5003	95.59
Recovery	no rain	Pond 100 Mod	7.7503	95.59
Recovery	no rain	Pond 100 Mod	8.0003	95.58
Recovery	no rain	Pond 100 Mod	8.2503	95.57
Recovery	no rain	Pond 100 Mod	8.5003	95.57
Recovery	no rain	Pond 100 Mod	8.7503	95.56
Recovery	no rain	Pond 100 Mod	9.0003	95.55
Recovery	no rain	Pond 100 Mod	9.2503	95.55
Recovery	no rain	Pond 100 Mod	9.5003	95.54
Recovery	no rain	Pond 100 Mod	9.7503	95.54
Recovery	no rain	Pond 100 Mod	10.0003	95.53
Recovery	no rain	Pond 100 Mod	10.2503	95.52

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	10.5003	95.52
Recovery	no rain	Pond 100 Mod	10.7503	95.51
Recovery	no rain	Pond 100 Mod	11.0003	95.51
Recovery	no rain	Pond 100 Mod	11.2503	95.50
Recovery	no rain	Pond 100 Mod	11.5003	95.49
Recovery	no rain	Pond 100 Mod	11.7503	95.49
Recovery	no rain	Pond 100 Mod	12.0003	95.48
Recovery	no rain	Pond 100 Mod	12.2503	95.48
Recovery	no rain	Pond 100 Mod	12.5003	95.47
Recovery	no rain	Pond 100 Mod	12.7503	95.46
Recovery	no rain	Pond 100 Mod	13.0003	95.46
Recovery	no rain	Pond 100 Mod	13.2503	95.45
Recovery	no rain	Pond 100 Mod	13.5003	95.45
Recovery	no rain	Pond 100 Mod	13.7503	95.44
Recovery	no rain	Pond 100 Mod	14.0003	95.43
Recovery	no rain	Pond 100 Mod	14.2503	95.43
Recovery	no rain	Pond 100 Mod	14.5003	95.42
Recovery	no rain	Pond 100 Mod	14.7503	95.41
Recovery	no rain	Pond 100 Mod	15.0003	95.41
Recovery	no rain	Pond 100 Mod	15.2503	95.40
Recovery	no rain	Pond 100 Mod	15.5003	95.40
Recovery	no rain	Pond 100 Mod	15.7503	95.39
Recovery	no rain	Pond 100 Mod	16.0003	95.38
Recovery	no rain	Pond 100 Mod	16.2503	95.38
Recovery	no rain	Pond 100 Mod	16.5003	95.37
Recovery	no rain	Pond 100 Mod	16.7503	95.37
Recovery	no rain	Pond 100 Mod	17.0003	95.36
Recovery	no rain	Pond 100 Mod	17.2503	95.36
Recovery	no rain	Pond 100 Mod	17.5003	95.35
Recovery	no rain	Pond 100 Mod	17.7503	95.34
Recovery	no rain	Pond 100 Mod	18.0003	95.34
Recovery	no rain	Pond 100 Mod	18.2503	95.33
Recovery	no rain	Pond 100 Mod	18.5003	95.33
Recovery	no rain	Pond 100 Mod	18.7503	95.32
Recovery	no rain	Pond 100 Mod	19.0003	95.31
Recovery	no rain	Pond 100 Mod	19.2503	95.31
Recovery	no rain	Pond 100 Mod	19.5003	95.30
Recovery	no rain	Pond 100 Mod	19.7503	95.30
Recovery	no rain	Pond 100 Mod	20.0003	95.29
Recovery	no rain	Pond 100 Mod	20.2503	95.28
Recovery	no rain	Pond 100 Mod	20.5003	95.28
Recovery	no rain	Pond 100 Mod	20.7503	95.27

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	21.0003	95.27
Recovery	no rain	Pond 100 Mod	21.2503	95.26
Recovery	no rain	Pond 100 Mod	21.5003	95.25
Recovery	no rain	Pond 100 Mod	21.7503	95.25
Recovery	no rain	Pond 100 Mod	22.0003	95.24
Recovery	no rain	Pond 100 Mod	22.2503	95.24
Recovery	no rain	Pond 100 Mod	22.5003	95.23
Recovery	no rain	Pond 100 Mod	22.7503	95.23
Recovery	no rain	Pond 100 Mod	23.0003	95.22
Recovery	no rain	Pond 100 Mod	23.2503	95.21
Recovery	no rain	Pond 100 Mod	23.5003	95.21
Recovery	no rain	Pond 100 Mod	23.7503	95.20
Recovery	no rain	Pond 100 Mod	24.0003	95.20
Recovery	no rain	Pond 100 Mod	24.2503	95.19
Recovery	no rain	Pond 100 Mod	24.5003	95.19
Recovery	no rain	Pond 100 Mod	24.7503	95.18
Recovery	no rain	Pond 100 Mod	25.0003	95.17
Recovery	no rain	Pond 100 Mod	25.2503	95.17
Recovery	no rain	Pond 100 Mod	25.5003	95.16
Recovery	no rain	Pond 100 Mod	25.7503	95.16
Recovery	no rain	Pond 100 Mod	26.0003	95.15
Recovery	no rain	Pond 100 Mod	26.2503	95.14
Recovery	no rain	Pond 100 Mod	26.5003	95.14
Recovery	no rain	Pond 100 Mod	26.7503	95.13
Recovery	no rain	Pond 100 Mod	27.0003	95.13
Recovery	no rain	Pond 100 Mod	27.2503	95.12
Recovery	no rain	Pond 100 Mod	27.5003	95.12
Recovery	no rain	Pond 100 Mod	27.7503	95.11
Recovery	no rain	Pond 100 Mod	28.0003	95.10
Recovery	no rain	Pond 100 Mod	28.2503	95.10
Recovery	no rain	Pond 100 Mod	28.5003	95.09
Recovery	no rain	Pond 100 Mod	28.7503	95.09
Recovery	no rain	Pond 100 Mod	29.0003	95.08
Recovery	no rain	Pond 100 Mod	29.2503	95.07
Recovery	no rain	Pond 100 Mod	29.5003	95.07
Recovery	no rain	Pond 100 Mod	29.7503	95.06
Recovery	no rain	Pond 100 Mod	30.0003	95.06
Recovery	no rain	Pond 100 Mod	30.2503	95.05
Recovery	no rain	Pond 100 Mod	30.5003	95.04
Recovery	no rain	Pond 100 Mod	30.7503	95.04
Recovery	no rain	Pond 100 Mod	31.0003	95.03
Recovery	no rain	Pond 100 Mod	31.2503	95.03

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	31.5003	95.02
Recovery	no rain	Pond 100 Mod	31.7503	95.01
Recovery	no rain	Pond 100 Mod	32.0003	95.01
Recovery	no rain	Pond 100 Mod	32.2503	95.00
Recovery	no rain	Pond 100 Mod	32.5003	95.00
Recovery	no rain	Pond 100 Mod	32.7503	94.99
Recovery	no rain	Pond 100 Mod	33.0003	94.98
Recovery	no rain	Pond 100 Mod	33.2503	94.98
Recovery	no rain	Pond 100 Mod	33.5003	94.97
Recovery	no rain	Pond 100 Mod	33.7503	94.97
Recovery	no rain	Pond 100 Mod	34.0003	94.96
Recovery	no rain	Pond 100 Mod	34.2503	94.95
Recovery	no rain	Pond 100 Mod	34.5003	94.95
Recovery	no rain	Pond 100 Mod	34.7503	94.94
Recovery	no rain	Pond 100 Mod	35.0003	94.94
Recovery	no rain	Pond 100 Mod	35.2503	94.93
Recovery	no rain	Pond 100 Mod	35.5003	94.92
Recovery	no rain	Pond 100 Mod	35.7503	94.92
Recovery	no rain	Pond 100 Mod	36.0003	94.91
Recovery	no rain	Pond 100 Mod	36.2503	94.91
Recovery	no rain	Pond 100 Mod	36.5003	94.90
Recovery	no rain	Pond 100 Mod	36.7503	94.89
Recovery	no rain	Pond 100 Mod	37.0003	94.89
Recovery	no rain	Pond 100 Mod	37.2503	94.88
Recovery	no rain	Pond 100 Mod	37.5003	94.88
Recovery	no rain	Pond 100 Mod	37.7503	94.87
Recovery	no rain	Pond 100 Mod	38.0003	94.87
Recovery	no rain	Pond 100 Mod	38.2503	94.86
Recovery	no rain	Pond 100 Mod	38.5003	94.85
Recovery	no rain	Pond 100 Mod	38.7503	94.85
Recovery	no rain	Pond 100 Mod	39.0003	94.84
Recovery	no rain	Pond 100 Mod	39.2503	94.84
Recovery	no rain	Pond 100 Mod	39.5003	94.83
Recovery	no rain	Pond 100 Mod	39.7503	94.83
Recovery	no rain	Pond 100 Mod	40.0003	94.82
Recovery	no rain	Pond 100 Mod	40.2503	94.81
Recovery	no rain	Pond 100 Mod	40.5003	94.81
Recovery	no rain	Pond 100 Mod	40.7503	94.80
Recovery	no rain	Pond 100 Mod	41.0003	94.80
Recovery	no rain	Pond 100 Mod	41.2503	94.79
Recovery	no rain	Pond 100 Mod	41.5003	94.79
Recovery	no rain	Pond 100 Mod	41.7503	94.78

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	42.0003	94.77
Recovery	no rain	Pond 100 Mod	42.2503	94.77
Recovery	no rain	Pond 100 Mod	42.5003	94.76
Recovery	no rain	Pond 100 Mod	42.7503	94.76
Recovery	no rain	Pond 100 Mod	43.0003	94.75
Recovery	no rain	Pond 100 Mod	43.2503	94.75
Recovery	no rain	Pond 100 Mod	43.5003	94.74
Recovery	no rain	Pond 100 Mod	43.7503	94.73
Recovery	no rain	Pond 100 Mod	44.0003	94.73
Recovery	no rain	Pond 100 Mod	44.2503	94.72
Recovery	no rain	Pond 100 Mod	44.5003	94.72
Recovery	no rain	Pond 100 Mod	44.7503	94.71
Recovery	no rain	Pond 100 Mod	45.0003	94.71
Recovery	no rain	Pond 100 Mod	45.2503	94.70
Recovery	no rain	Pond 100 Mod	45.5003	94.70
Recovery	no rain	Pond 100 Mod	45.7503	94.69
Recovery	no rain	Pond 100 Mod	46.0003	94.68
Recovery	no rain	Pond 100 Mod	46.2503	94.68
Recovery	no rain	Pond 100 Mod	46.5003	94.67
Recovery	no rain	Pond 100 Mod	46.7503	94.67
Recovery	no rain	Pond 100 Mod	47.0003	94.66
Recovery	no rain	Pond 100 Mod	47.2503	94.66
Recovery	no rain	Pond 100 Mod	47.5003	94.65
Recovery	no rain	Pond 100 Mod	47.7503	94.65
Recovery	no rain	Pond 100 Mod	48.0003	94.64
Recovery	no rain	Pond 100 Mod	48.2503	94.64
Recovery	no rain	Pond 100 Mod	48.5003	94.63
Recovery	no rain	Pond 100 Mod	48.7503	94.62
Recovery	no rain	Pond 100 Mod	49.0003	94.62
Recovery	no rain	Pond 100 Mod	49.2503	94.61
Recovery	no rain	Pond 100 Mod	49.5003	94.61
Recovery	no rain	Pond 100 Mod	49.7503	94.60
Recovery	no rain	Pond 100 Mod	50.0003	94.60
Recovery	no rain	Pond 100 Mod	50.2503	94.59
Recovery	no rain	Pond 100 Mod	50.5003	94.59
Recovery	no rain	Pond 100 Mod	50.7503	94.58
Recovery	no rain	Pond 100 Mod	51.0003	94.58
Recovery	no rain	Pond 100 Mod	51.2503	94.57
Recovery	no rain	Pond 100 Mod	51.5003	94.57
Recovery	no rain	Pond 100 Mod	51.7503	94.56
Recovery	no rain	Pond 100 Mod	52.0003	94.55
Recovery	no rain	Pond 100 Mod	52.2503	94.55



Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	52.5003	94.54
Recovery	no rain	Pond 100 Mod	52.7503	94.54
Recovery	no rain	Pond 100 Mod	53.0003	94.53
Recovery	no rain	Pond 100 Mod	53.2503	94.53
Recovery	no rain	Pond 100 Mod	53.5003	94.52
Recovery	no rain	Pond 100 Mod	53.7503	94.52
Recovery	no rain	Pond 100 Mod	54.0003	94.51
Recovery	no rain	Pond 100 Mod	54.2503	94.51
Recovery	no rain	Pond 100 Mod	54.5003	94.50
Recovery	no rain	Pond 100 Mod	54.7503	94.50
Recovery	no rain	Pond 100 Mod	55.0003	94.49
Recovery	no rain	Pond 100 Mod	55.2503	94.49
Recovery	no rain	Pond 100 Mod	55.5003	94.48
Recovery	no rain	Pond 100 Mod	55.7503	94.48
Recovery	no rain	Pond 100 Mod	56.0003	94.47
Recovery	no rain	Pond 100 Mod	56.2503	94.47
Recovery	no rain	Pond 100 Mod	56.5003	94.46
Recovery	no rain	Pond 100 Mod	56.7503	94.46
Recovery	no rain	Pond 100 Mod	57.0003	94.45
Recovery	no rain	Pond 100 Mod	57.2503	94.45
Recovery	no rain	Pond 100 Mod	57.5003	94.44
Recovery	no rain	Pond 100 Mod	57.7503	94.44
Recovery	no rain	Pond 100 Mod	58.0003	94.43
Recovery	no rain	Pond 100 Mod	58.2503	94.43
Recovery	no rain	Pond 100 Mod	58.5003	94.42
Recovery	no rain	Pond 100 Mod	58.7503	94.42
Recovery	no rain	Pond 100 Mod	59.0003	94.41
Recovery	no rain	Pond 100 Mod	59.2503	94.41
Recovery	no rain	Pond 100 Mod	59.5003	94.40
Recovery	no rain	Pond 100 Mod	59.7503	94.40
Recovery	no rain	Pond 100 Mod	60.0003	94.39
Recovery	no rain	Pond 100 Mod	60.2503	94.39
Recovery	no rain	Pond 100 Mod	60.5003	94.38
Recovery	no rain	Pond 100 Mod	60.7503	94.38
Recovery	no rain	Pond 100 Mod	61.0003	94.37
Recovery	no rain	Pond 100 Mod	61.2503	94.37
Recovery	no rain	Pond 100 Mod	61.5003	94.36
Recovery	no rain	Pond 100 Mod	61.7503	94.36
Recovery	no rain	Pond 100 Mod	62.0003	94.35
Recovery	no rain	Pond 100 Mod	62.2503	94.35
Recovery	no rain	Pond 100 Mod	62.5003	94.34
Recovery	no rain	Pond 100 Mod	62.7503	94.34

Regal Marine Expansion  
(December 2022)

Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	63.0003	94.33
Recovery	no rain	Pond 100 Mod	63.2503	94.33
Recovery	no rain	Pond 100 Mod	63.5003	94.32
Recovery	no rain	Pond 100 Mod	63.7503	94.32
Recovery	no rain	Pond 100 Mod	64.0003	94.31
Recovery	no rain	Pond 100 Mod	64.2503	94.31
Recovery	no rain	Pond 100 Mod	64.5003	94.31
Recovery	no rain	Pond 100 Mod	64.7503	94.30
Recovery	no rain	Pond 100 Mod	65.0003	94.30
Recovery	no rain	Pond 100 Mod	65.2503	94.29
Recovery	no rain	Pond 100 Mod	65.5003	94.29
Recovery	no rain	Pond 100 Mod	65.7503	94.28
Recovery	no rain	Pond 100 Mod	66.0003	94.28
Recovery	no rain	Pond 100 Mod	66.2503	94.27
Recovery	no rain	Pond 100 Mod	66.5003	94.27
Recovery	no rain	Pond 100 Mod	66.7503	94.26
Recovery	no rain	Pond 100 Mod	67.0003	94.26
Recovery	no rain	Pond 100 Mod	67.2503	94.25
Recovery	no rain	Pond 100 Mod	67.5003	94.25
Recovery	no rain	Pond 100 Mod	67.7503	94.24
Recovery	no rain	Pond 100 Mod	68.0003	94.24
Recovery	no rain	Pond 100 Mod	68.2503	94.24
Recovery	no rain	Pond 100 Mod	68.5003	94.23
Recovery	no rain	Pond 100 Mod	68.7503	94.23
Recovery	no rain	Pond 100 Mod	69.0003	94.22
Recovery	no rain	Pond 100 Mod	69.2503	94.22
Recovery	no rain	Pond 100 Mod	69.5003	94.21
Recovery	no rain	Pond 100 Mod	69.7503	94.21
Recovery	no rain	Pond 100 Mod	70.0003	94.20
Recovery	no rain	Pond 100 Mod	70.2503	94.20
Recovery	no rain	Pond 100 Mod	70.5003	94.20
Recovery	no rain	Pond 100 Mod	70.7503	94.19
Recovery	no rain	Pond 100 Mod	71.0003	94.19
Recovery	no rain	Pond 100 Mod	71.2503	94.18
Recovery	no rain	Pond 100 Mod	71.5003	94.18
Recovery	no rain	Pond 100 Mod	71.7503	94.17
Recovery	no rain	Pond 100 Mod	72.0003	94.17
Recovery	no rain	Pond 100 Mod	72.2503	94.16
Recovery	no rain	Pond 100 Mod	72.5003	94.16
Recovery	no rain	Pond 100 Mod	72.7503	94.16
Recovery	no rain	Pond 100 Mod	73.0003	94.15
Recovery	no rain	Pond 100 Mod	73.2503	94.15

Regal Marine Expansion  
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Scenario	Sim	Node Name	Relative Time [hrs]	Stage [ft]
Recovery	no rain	Pond 100 Mod	73.5003	94.14
Recovery	no rain	Pond 100 Mod	73.7503	94.14
Recovery	no rain	Pond 100 Mod	74.0003	94.13
Recovery	no rain	Pond 100 Mod	74.2503	94.13
Recovery	no rain	Pond 100 Mod	74.5003	94.13
Recovery	no rain	Pond 100 Mod	74.7503	94.12
Recovery	no rain	Pond 100 Mod	75.0003	94.12
Recovery	no rain	Pond 100 Mod	75.2503	94.11
Recovery	no rain	Pond 100 Mod	75.5003	94.11
Recovery	no rain	Pond 100 Mod	75.7503	94.10
Recovery	no rain	Pond 100 Mod	76.0003	94.10
Recovery	no rain	Pond 100 Mod	76.2503	94.10
Recovery	no rain	Pond 100 Mod	76.5003	94.09
Recovery	no rain	Pond 100 Mod	76.7503	94.09
Recovery	no rain	Pond 100 Mod	77.0003	94.08
Recovery	no rain	Pond 100 Mod	77.2503	94.08
Recovery	no rain	Pond 100 Mod	77.5003	94.08
Recovery	no rain	Pond 100 Mod	77.7503	94.07
Recovery	no rain	Pond 100 Mod	78.0003	94.07
Recovery	no rain	Pond 100 Mod	78.2503	94.06
Recovery	no rain	Pond 100 Mod	78.5003	94.06
Recovery	no rain	Pond 100 Mod	78.7503	94.05
Recovery	no rain	Pond 100 Mod	79.0003	94.05
Recovery	no rain	Pond 100 Mod	79.2503	94.05
Recovery	no rain	Pond 100 Mod	79.5003	94.04
Recovery	no rain	Pond 100 Mod	79.7503	94.04
Recovery	no rain	Pond 100 Mod	80.0003	94.03

Simple Basin: Basin 100

Scenario: Recovery  
 Node: Pond 100 Mod  
 Hydrograph Method: NRCS Unit Hydrograph  
 Infiltration Method: Curve Number  
 Time of Concentration: 15.0000 min  
 Max Allowable Q: 0.00 cfs  
 Time Shift: 0.0000 hr  
 Unit Hydrograph: UH256  
 Peaking Factor: 256.0  
 Area: 13.3500 ac  
 Curve Number: 96.7  
 % Impervious: 0.00  
 % DCIA: 0.00  
 % Direct: 0.00  
 Rainfall Name:

Comment:

Simple Basin: Basin 115

Scenario: Recovery  
 Node: Pond 115  
 Hydrograph Method: NRCS Unit Hydrograph  
 Infiltration Method: Curve Number  
 Time of Concentration: 15.0000 min  
 Max Allowable Q: 0.00 cfs  
 Time Shift: 0.0000 hr  
 Unit Hydrograph: UH256  
 Peaking Factor: 256.0  
 Area: 0.4000 ac  
 Curve Number: 93.4  
 % Impervious: 0.00  
 % DCIA: 0.00  
 % Direct: 0.00  
 Rainfall Name:

Comment:

Node: Pond 100 Mod

Scenario: Recovery  
 Type: Stage/Area  
 Base Flow: 0.00 cfs  
 Initial Stage: 96.18 ft  
 Warning Stage: 96.20 ft

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Stage [ft]	Area [ac]	Area [ft2]
93.35	0.8600	37462
94.00	0.9000	39204
95.00	0.9800	42689
95.20	1.0900	47480
96.20	1.1800	51401

Comment:

**Node: Pond 115**

Scenario: Recovery  
 Type: Stage/Area  
 Base Flow: 0.00 cfs  
 Initial Stage: 96.44 ft  
 Warning Stage: 96.50 ft

Stage [ft]	Area [ac]	Area [ft2]
94.50	0.0040	174
96.50	0.0550	2396

Comment:

**Node: RRDitch**

Scenario: Recovery  
 Type: Time/Stage  
 Base Flow: 0.00 cfs  
 Initial Stage: 93.00 ft  
 Warning Stage: 95.00 ft  
 Boundary Stage: RRDitch

Year	Month	Day	Hour	Stage [ft]
0	0	0	0.0000	93.35
0	0	0	90.0000	93.35

Comment:

Drop Structure Link: CS-1		Upstream Pipe	Downstream Pipe
Scenario:	Recovery	Invert: 93.35 ft	Invert: 93.20 ft
From Node:	Pond 100 Mod	Manning's N: 0.0120	Manning's N: 0.0120
To Node:	RRDitch	Geometry: Circular	Geometry: Circular
Link Count:	1	Max Depth: 1.50 ft	Max Depth: 1.50 ft
Flow Direction:	Both	Bottom Clip	



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Solution:	Combine	Default:	0.00 ft	Default:	0.00 ft
Increments:	0	Op Table:		Op Table:	
Pipe Count:	2	Ref Node:		Ref Node:	
Damping:	0.0000 ft	Manning's N:	0.0000	Manning's N:	0.0000
Length:	20.00 ft	Top Clip			
FHWA Code:	1	Default:	0.00 ft	Default:	0.00 ft
Entr Loss Coef:	0.00	Op Table:		Op Table:	
Exit Loss Coef:	1.00	Ref Node:		Ref Node:	
Bend Loss Coef:	0.00	Manning's N:	0.0000	Manning's N:	0.0000
Bend Location:	0.00 dec				
Energy Switch:	Energy				

Pipe Comment:

Weir Component

Weir:	1	Bottom Clip	
Weir Count:	1	Default:	0.00 ft
Weir Flow Direction:	Both	Op Table:	
Damping:	0.0000 ft	Ref Node:	
Weir Type:	Sharp Crested Vertical	Top Clip	
Geometry Type:	Rectangular	Default:	0.00 ft
Invert:	95.72 ft	Op Table:	
Control Elevation:	95.72 ft	Ref Node:	
Max Depth:	0.48 ft	Discharge Coefficients	
Max Width:	12.50 ft	Weir Default:	3.200
Fillet:	0.00 ft	Weir Table:	
		Orifice Default:	0.600
		Orifice Table:	

Weir Comment:

Weir Component

Weir:	2	Bottom Clip	
Weir Count:	1	Default:	0.00 ft
Weir Flow Direction:	Both	Op Table:	
Damping:	0.0000 ft	Ref Node:	
Weir Type:	Sharp Crested Vertical	Top Clip	
Geometry Type:	Circular	Default:	0.00 ft
Invert:	93.35 ft	Op Table:	
Control Elevation:	93.35 ft	Ref Node:	
Max Depth:	0.25 ft	Discharge Coefficients	
		Weir Default:	3.200
		Weir Table:	
		Orifice Default:	0.600
		Orifice Table:	

Weir Comment:

Weir Component

Weir:	3	Bottom Clip	
Weir Count:	1	Default:	0.00 ft
Weir Flow Direction:	Both	Op Table:	
Damping:	0.0000 ft	Ref Node:	

Regal Marine Expansion  
(December 2022)

Weir Type: Horizontal  
Geometry Type: Rectangular  
Invert: 96.20 ft  
Control Elevation: 96.20 ft  
Max Depth: 6.50 ft  
Max Width: 3.00 ft  
Fillet: 0.00 ft

Top Clip	
Default:	0.00 ft
Op Table:	
Ref Node:	
Discharge Coefficients	
Weir Default:	3.200
Weir Table:	
Orifice Default:	0.600
Orifice Table:	

Weir Comment:

Drop Structure Comment:

Drop Structure Link: CS-2	Upstream Pipe	Downstream Pipe
Scenario: Recovery	Invert: 93.50 ft	Invert: 93.30 ft
From Node: Pond 115	Manning's N: 0.0120	Manning's N: 0.0120
To Node: Pond 100 Mod	Geometry: Circular	Geometry: Circular
Link Count: 1	Max Depth: 1.25 ft	Max Depth: 1.25 ft
Flow Direction: Both	Bottom Clip	
Solution: Combine	Default: 0.00 ft	Default: 0.00 ft
Increments: 0	Op Table:	Op Table:
Pipe Count: 1	Ref Node:	Ref Node:
Damping: 0.0000 ft	Manning's N: 0.0000	Manning's N: 0.0000
Length: 50.00 ft	Top Clip	
FHWA Code: 1	Default: 0.00 ft	Default: 0.00 ft
Entr Loss Coef: 0.00	Op Table:	Op Table:
Exit Loss Coef: 1.00	Ref Node:	Ref Node:
Bend Loss Coef: 0.00	Manning's N: 0.0000	Manning's N: 0.0000
Bend Location: 0.00 dec		
Energy Switch: Energy		

Pipe Comment:

Weir Component	
Weir: 1	Bottom Clip
Weir Count: 1	Default: 0.00 ft
Weir Flow Direction: Both	Op Table:
Damping: 0.0000 ft	Ref Node:
Weir Type: Horizontal	Top Clip
Geometry Type: Rectangular	Default: 0.00 ft
Invert: 96.30 ft	Op Table:
Control Elevation: 96.30 ft	Ref Node:
Max Depth: 2.00 ft	Discharge Coefficients
Max Width: 3.00 ft	Weir Default: 3.200
Fillet: 0.00 ft	Weir Table:
	Orifice Default: 0.600
	Orifice Table:

Regal Marine Expansion  
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Weir Comment:

Drop Structure Comment:

**Weir Link: TOB WEIR**

Scenario:	Recovery	Bottom Clip
From Node:	Pond 100 Mod	Default: 0.00 ft
To Node:	RRDitch	Op Table:
Link Count:	1	Ref Node:
Flow Direction:	Both	Top Clip
Damping:	0.0000 ft	Default: 0.00 ft
Weir Type:	Broad Crested Vertical	Op Table:
Geometry Type:	Trapezoidal	Ref Node:
Invert:	95.80 ft	Discharge Coefficients
Control Elevation:	95.80 ft	Weir Default: 2.800
Max Depth:	9999.00 ft	Weir Table:
Extrapolation Method:	Normal Projection	Orifice Default: 0.600
Bottom Width:	70.00 ft	Orifice Table:
Left Slope:	0.250 (h:v)	
Right Slope:	0.250 (h:v)	

Comment:

**Simulation: no rain**

Scenario: Recovery  
Run Date/Time: 12/1/2022 4:51:32 PM  
Program Version: ICPR4 4.07.08

**General**

Run Mode: Normal

	Year	Month	Day	Hour [hr]
Start Time:	0	0	0	0.0000
End Time:	0	0	0	80.0000

	Hydrology [sec]	Surface Hydraulics [sec]	Groundwater [sec]
Min Calculation Time:	60.0000	0.1000	900.0000
Max Calculation Time:		30.0000	

**Output Time Increments**

**Hydrology**

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Surface Hydraulics

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	15.0000

Groundwater

Year	Month	Day	Hour [hr]	Time Increment [min]
0	0	0	0.0000	60.0000

Restart File

Save Restart: False

Resources & Lookup Tables

Resources

Rainfall Folder:  
Reference ET Folder:  
Unit Hydrograph  
Folder:

Lookup Tables

Boundary Stage Set:  
Extern Hydrograph Set:  
Curve Number Set:  
  
Green-Ampt Set:  
Vertical Layers Set:  
Impervious Set:  
Roughness Set:  
Crop Coef Set:  
Fillable Porosity Set:  
Conductivity Set:  
Leakage Set:

Tolerances & Options

Time Marching: SAOR  
Max Iterations: 6  
Over-Relax Weight: 0.5 dec  
Fact:  
dZ Tolerance: 0.0010 ft  
  
Max dZ: 1.0000 ft  
Link Optimizer Tol: 0.0001 ft

IA Recovery Time: 24.0000 hr  
ET for Manual Basins: False  
  
Smp/Man Basin Rain Opt: No Rainfall  
OF Region Rain Opt: No Rainfall

Edge Length Option: Automatic

Dflt Damping (2D): 0.0050 ft  
Min Node Srf Area (2D): 100 ft2  
Energy Switch (2D): Energy

Dflt Damping (1D): 0.0050 ft  
Min Node Srf Area (1D): 100 ft2  
Energy Switch (1D): Energy

Comment:

# Section F: Attachments and Exhibits



[www.dewberry.com](http://www.dewberry.com)

Last Date For Agency Action: 13-APR-2005

**INDIVIDUAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT**

**Project Name:** Regal Yacht Center

**Permit No.:** 48-01254-P

**Application No.:** 050114-30 **Associated File:** 050114-29 WU

**Application Type:** Environmental Resource (Construction/Operation Modification)

**Location:** Orange County, S31/T23S/R30E

**Permittee :** Regal Marine Industries Inc

**Operating Entity :** Regal Marine Industries Inc

**Project Area:** 83.6 acres

**Project Land Use:** Commercial

**Drainage Basin:** BOGGY CREEK

**Receiving Body:** Existing ditch and wetland

**Class:** CLASS III

**Special Drainage District:** NA

**Total Acres Wetland Onsite:** 28.64

**Total Acres Wetland Preserved Onsite:** 27.19

**Total Acres Impacted Onsite :** 1.45

**Total Acres Presv/Mit Compensation Onsite:** 27.19

**Offsite Mitigation Credits-Mit.Bank:** 4.50 Florida Mitigation Bank

**Conservation Easement To District :** Yes

**Sovereign Submerged Lands:** No

**DRAFT**  
**Subject to Governing**  
**Board Approval**

**PROJECT PURPOSE:**

Modification of an Environmental Resource Permit to authorize construction and operation of a surface water management system to serve an 83.36 acre commercial project known as Regal Yacht Center. Staff recommends approval with conditions.



**PROJECT EVALUATION:****PROJECT SITE DESCRIPTION:**

The site is located south of Jetport Drive and west of Boggy Creek Road.

There are permitted surface water management facilities that have not been constructed to serve the 52.86 acre commercial/industrial subdivision. The permitted construction was limited to the water management system, entrance road, and mass grading. The site contains a large wetland in the center of the site surrounded by uplands. The central wetland (Wetland W-2) serves as conveyance for off-site contributing drainage area located north and east of the site. Approximately 221 acres of on-site and off-site contributing drainage area is currently routed through Wetland W-2. Wetland W-2 outfalls to the south to an off-site wetland system via 2-30" and 1-18" diameter culverts.

This site has received previous construction level approval.

The only resource considered under this application is the 28.64 acre remnant of Wetland 2. This is a contiguous cypress system which has been invaded extensively by exotic and nuisance species. (Most notably melaleuca and Downey rose-myrtle.) The wetland also reflects impacts resulting from previous agricultural practices and surrounding land uses.

**PROPOSED PROJECT:**

Construction proposed consists of the surface water management system serving the 83.6 acre modification for the Regal Yacht Center. The water management system consists of inlets and culverts directing runoff to dry pre-treatment and wet detention ponds discharging to existing Wetland W-2.

The previous permit for this site contained 52.86 acres for development of a commercial/industrial subdivision (Exhibit 1b). An adjacent 30.74 acres was owned but not included in the proposed development because it pre-dated permitting criteria and had a separate water management system. This modification will now include the entire ownership, eliminates the commercial/industrial subdivision, brings an 11.1 acre portion of the existing property, both developed and undeveloped into the water management system, expands the boat manufacturing facilities, and revises the water management system to serve the revisions to the site and the additional area. This modification also proposes a recreational facility for employee use, with possible combined use with the YMCA.

Basins 10, 20, 20A, 30, 30P, R20, and R30 (48.53 acres) will drain to dry pre-treatment ponds and wet detention ponds prior to discharge. Basins R10 and R-40, roof area (2.31 acres), W-4 and W-5 the soccer field (3.22 acres) drain to Wetland W-2 (30.64 acres), prior to discharge off-site. The test lake along the south property line will provide water quality treatment for approximately 11.55 acres of the site. The test lake is 6.34 acres, but only 3.63 acres meet the District's minimum width requirement and are counted for providing water quality treatment.

There are two areas in Basins R10 and 30 and R40, reserved for future development that have been calculated at 75 percent impervious coverage for water quality treatment. No other design information is available for these areas at this time and the applicant has not requested a conceptual approval. Therefore, these areas will require a permit modification prior to any construction and will be subject to all District criteria in effect at that time. (See Special Conditions)

This modification also included in the 221 acre contributing drainage area that was previously analyzed.

**LAND USE:**

**LAND USE:**

The land use information for the total project includes the existing development that pre-dates District permitting criteria.

**Construction:****Project:**

	Previously Permitted	This Phase	Total Project	
Building Coverage	.00	5.36	12.33	acres
Pavement	.91	10.00	18.85	acres
Pervious	15.21	12.04	15.05	acres
Preserved	29.68	28.64	28.64	acres
Water Mgmt Acreage	7.06	7.92	8.73	acres
<b>Total:</b>	<b>52.86</b>	<b>63.96</b>	<b>83.60</b>	

**WATER QUANTITY :****Discharge Rate :**

As shown in the table below, the proposed project discharge is within the allowable limit for the area. The applicant has submitted detailed stormwater routings for the 221 acre contributing drainage basin for on-site Wetland W-2. Based on the previous stormwater routings, the permitted and proposed peak discharge rates for Wetland W-2 are 32.5 cfs and 29.3 cfs respectively.

Discharge Storm Frequency : 25 YEAR-1 DAY

Design Rainfall : 8.6 inches

Basin	Allow Disch (cfs)	Method Of Determination	Peak Disch (cfs)	Peak Stage (ft, NGVD)
Basin 20, 20A	4.3	Previously Permitted	4.3	95.9
Basin 10, 30, 30P	18.8	Previously Permitted	18.8	96.1
Test lake	33	Previously Permitted	29.3	95.9

**Finished Floors :**

As shown in the following table and the attached exhibits, minimum finished floor elevations have been set at or above the calculated design storm flood elevation.

Building Storm Frequency : 100 YEAR-3 DAY

Design Rainfall : 14.4 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Finished Floors (ft, NGVD)	FEMA Elevation (ft, NGVD)
Basin 20, 20A	97.7	97.7	N/A
Basin 10, 30, 30P	97.7	97.7	N/A
Test lake	97.5	97.5	N/A

**Road Design :**

As shown in the following table and the attached exhibits, minimum road center lines have been set at or above the calculated design storm flood elevation.

Road Storm Frequency : 25 YEAR-1 DAY

Design Rainfall: 8.6 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Road Crown (ft, NGVD)
Basin 20, 20A	95.9	96

**Parking Lot Design :**

As shown in the following table and the attached exhibits, minimum parking lot elevations have been set at or above the calculated design storm flood elevation.

Parking Lot Storm Frequency : 25 YEAR-1 DAY

Design Rainfall 8.6 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Parking Elev. (ft, NGVD)
Basin 20, 20A	95.9	95.9
Basin 10, 30, 30P	96.1	96.1
Test lake	95.9	95.9

**Control Elevation :**

Basin	Area (Acres)	Ctrl Elev (ft, NGVD)	WSWT Ctrl Elev (ft, NGVD)	Method Of Determination
Basin 20, 20A	4.30	94	94.00	Previously Permitted
Wetland W-2	36.17	94	94.00	Previously Permitted
Basin 10, 30, 30P	11.18	94	94.00	Previously Permitted
Test lake	11.55	94	94.00	Previously Permitted

**Receiving Body :**

Basin	Str.#	Receiving Body
Basin 20, 20a	1	Pond 20
Basin 20, 20a	2	Wetland W-2
Wetland W-2	1	Test Lake
Wetland W-2	2	Existing ditch
Basin 10, 30, 30p	1	Test Lake
Test Lake	1	Existing ditch

**Discharge Structures:** Note: The units for all the elevation values of structures are (ft, NGVD)

**Culverts:**

Basin	Str#	Count	Type	Width	Length	Dia.
Basin 10, 30, 30P	1	1	Reinforced Concrete Pipe		50'	30"
Basin 20, 20A	1	1	Reinforced Concrete Pipe		490'	18"
Basin 20, 20A	2	1	Reinforced Concrete Pipe		50'	18"
Wetland W-2	2	2	Reinforced Concrete Pipe		130'	36"

**Inlets:**

Basin	Str#	Count	Type	Width	Length	Dia.	Crest Elev.
Basin 10, 30, 30P	1	1	Inlet	36"	54"		95.56
Basin 20, 20A	1	1	Inlet	24"	37"		95.55
Basin 20, 20A	2	1	Inlet	36"	54"		94.5
Wetland W-2	2	1	Inlet	36"	79'		94

**Discharge Structures:**

**Weirs:**

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Elev.
Test lake	1	2	Broad Crested	10'				94.34 (crest)
Wetland W-2	1	2	Broad Crested	10'				94.34 (crest)

**Water Quality Structures:** Note: The units for all the elevation values of structures are (ft, NGVD)

**Bleeders:**

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Invert Angle	Invert Elev.
Basin 10, 30, 30P	1	1	Circular Orifice				3.5"		94
Basin 20, 20A	1	1	Circular Orifice				3"		94
Basin 20, 20A	2	1	Circular Orifice				3"		94
Test lake	1	2	Circular Orifice				4"		94

**WATER QUALITY:**

No adverse water quality impacts are anticipated as a result of the proposed project. Water quality treatment for the first inch of runoff from Basin 20A, and for 2.5 inches times the percentage of impervious coverage is provided for all other basins in wet detention ponds. One half inch of dry pre-treatment is also provided for Basins 20 and 30 upstream of the wet ponds. Existing off-site developed areas contributing to Wetland W-2 have water quality treatment provided prior to discharging to the wetland.

Basin	Treatment Method	Vol Req'd (ac-ft)	Vol Prov'd (ac-ft)
Basin 20, 20A	Treatment Dry Detention	.27 acres .15	.16
Basin 20, 20A	Treatment Wet Detention	.54 acres .25	.26
Basin 10, 30, 30P	Treatment Dry Detention	.77 acres .47	.47
Test lake	Treatment Wet Detention	3.63 acres 1.26	1.29

**WETLANDS:**

**Wetland Description:**

The project site includes a contiguous cypress dominated system with an interior marsh area. (Wetland 2 was approved for 1.79 acres of impact to several areas around its perimeter.) The remaining wetland (28.64 acres) was preserved under a conservation easement. The mitigation approved to offset the impacts was the preservation of the 28.64 acres of remaining wetland #2 and the provision of 2.60 freshwater forested credits from the Florida Mitigation bank. (At this time the credits have been purchased and the bank ledger deducted, the conservation easement has not been recorded.)

Areas of Wetland #2 are in poor condition due to invasion of nuisance and exotic species, past agricultural management practices and surrounding development. Portions of the perimeter of the system contain significant amounts of Downey rose-myrtle (an exotic species) and melaleuca. Some of the invasives are the result of drainage alterations and intrusion of exotic grasses from the surrounding upland pasture areas.

In as much as impacts have been approved to the wetlands onsite, this approval will address only the

changes to wetland #2, most specifically, the new 1.45 acres of impacts and enhancement of the remaining 27.19 acres.

### **Wetland Impacts:**

The subject application proposes a new project layout from the one previously approved. While the previous permit provided a layout for an industrial park, the new layout expands the current boat manufacturing facility to include yachts. Therefore the multiple lots of the industrial park are gone and the plan now includes a boat testing pond, a manufacturing facility, a life center and soccer field. The previous plan resulted in impacts to 1.79 acres of wetland #2. The current plan calls for 3.24 acres of direct wetland impacts to wetland #2 representing a 1.45 acre increase to impacts. In as much as the impacts previously permitted and now proposed were to the same wetland, habitat and equivalent quality of system, the location of the previously approved impacts is translatable to the present design without significant change in the resources being impacted. The new plan includes the preservation of a 1.50 acre area of wetland 2 which had been formerly proposed for impacts and the shifting of the impacts to the southern and eastern side of the wetland. The majority of the new impacts may be attributed to the stormwater treatment pond/test lake. The location of the test lake on the site eliminates the cumbersome, expensive and time consuming process of partially disassembling each boat, hauling it to the nearest lake, re-assembling it, testing it, disassembling it and hauling it back to the facility. In as much as the previous plan was for a multi-business industrial park, such a feature was not required. With the expansion of the facilities to incorporate the new yacht manufacturing facilities the test pond becomes critical to the success of the business. Because of the greater functional ecological value of the mitigation proposed, (compared to the functional losses), the applicant has not been required to implement further design modifications to reduce or eliminate impacts.

### **Mitigation Proposal:**

As mitigation to offset the proposed 1.79 acres of new wetland impacts the following mitigation is proposed:

1. Enhancement of the remaining 27.19 acres of wetland #2. Enhancement is to be provided through aggressive removal of exotic and nuisance species under a formal mitigation, monitoring and maintenance plan (see exhibit attached).
2. Replanting of 0.15 acre buffer area, monitoring and maintenance for 5 years.
3. The purchase of 4.5 freshwater forested wetland mitigation bank credits from the Florida Mitigation Bank (DEP ERP 492924779).

Even with the addition of these new impacts, 86% of the original wetlands will remain on site. In addition the wetland areas remaining are being preserved, protected and, most importantly, enhanced. The wetland is being incorporated into the surface water management system to ensure continuation of the historic hydrology of the wetland and all of the exotic and nuisance species will be removed and then maintained to be no more than 5% exotic or 10% nuisance species coverage at any time. With these improvements and the addition of 4.5 freshwater forested mitigation bank credits (Shingle Creek and Reedy Creek Basins), the significance of the functional gains provided is such that no significant adverse cumulative impacts to the basin would occur should similarly situated projects in the basin be permitted.

### **Wetland Inventory:**

Please note that functional assessment methodologies used under this application were based on those previously established for the onsite wetland enhancement and the mitigation bank permits. The wetland

inventory table reflects only the new activities of enhancement and impacts which require construction level permitting under this application.

**Wetland Inventory :**

CONSTRUCTION MOD -Regal Yacht Center

Site Id	Site Type	Pre-Development				Post-Development						
		Pre Fluc cs	AA Type	Acreage (Acres)	Current Wo Pres	With Project	Time Lag (Yrs)	Risk Factor	Pres. Adj. Factor	Post Fluc cs	Adj Delta	Functional Gain / Loss
W2	ON	621	Enhancement	27.19								
w2	ON	621	Direct	1.45						.000		.000
<b>Total:</b>				28.64								.00

<u>Fluc cs Code</u>	<u>Description</u>
100	Urban And Residential
621	Cypress

MITBANK FLORIDA MITIGATION BANK

Type Of Credits	Number Of Credits
Fresh Water Forested	Mitigation Bank Cr Used 4.50
<b>Total:</b>	<b>4.50</b>

**Endangered Species:**

The project site does not contain preferred habitat for wetland-dependent endangered or threatened wildlife species or species of special concern. No wetland-dependent endangered/threatened species or species of special concern were observed onsite, and submitted information indicates that potential use of the site by such species is minimal. This permit does not relieve the applicant from complying with all applicable rules and any other agencies' requirements if, in the future, endangered/threatened species or species of special concern are discovered on the site.

**LEGAL ISSUES:**

A Conservation easement in substantial conformance to the example attached as an exhibit will be recorded over the conservation areas in accordance with the attached work schedule. The easement will be dedicated to Orange county with third party enforcement rights granted to the District.

**CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM:**

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to



Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and Rule 40E-4361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Rule 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Rule 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

**RELATED CONCERNS:****Water Use Permit Status:**

The applicant has indicated that public water supply will be used as a source for irrigation water for the project.

The applicant has indicated that dewatering is required for construction of this project. Application No. 050114-29 for construction dewatering has been submitted and is being processed.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

**Potable Water Supplier:**

Orlando Utilities Commission

**Waste Water System/Supplier:**

City of Orlando

**Right-Of-Way Permit Status:**

A Right-of-Way Permit is not required for this project.

**DRI Status:**

This project is not a DRI.

**Historical/Archeological Resources:**

No information has been received that indicates the presence of archaeological or historical resources or that the proposed activities could cause adverse impacts to archaeological or historical resources.

**DCA/CZM Consistency Review:**

The District has not received a finding of inconsistency from the Florida Department of Environmental Protection or other commenting agencies regarding the provisions of the federal Coastal Zone Management Plan.

**Third Party Interest:**

No third party has contacted the District with concerns about this application.

**Enforcement:**

There has been no enforcement activity associated with this application.

**STAFF RECOMMENDATION:**

The Staff recommends that the following be issued :

Modification for construction and operation of a surface water management system to serve an 83.36 acre commercial project known as Regal Yacht Center.

Based on the information provided, District rules have been adhered to.

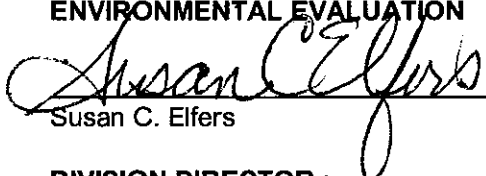
Staff recommendation is for approval subject to the attached General and Special Conditions.

**DRAFT**  
**Subject to Governing**  
**Board Approval**

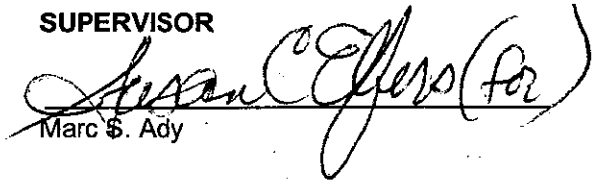
**STAFF REVIEW:**

**NATURAL RESOURCE MANAGEMENT DIVISION APPROVAL**

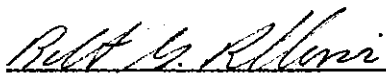
**ENVIRONMENTAL EVALUATION**

  
Susan C. Elfers

**SUPERVISOR**

  
Marc S. Ady

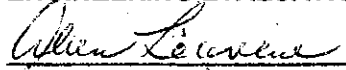
**DIVISION DIRECTOR :**

  
Robert G. Robbins

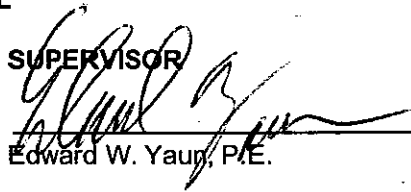
DATE: 3-26-05

**SURFACE WATER MANAGEMENT DIVISION APPROVAL**

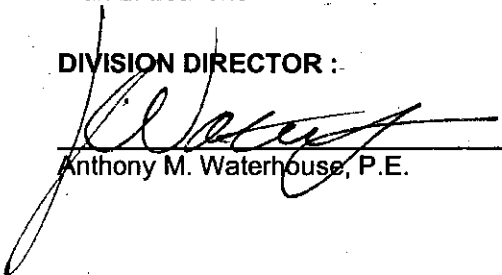
**ENGINEERING EVALUATION**

  
Alan L. Leavens

**SUPERVISOR**

  
Edward W. Yaur, P.E.

**DIVISION DIRECTOR :**

  
Anthony M. Waterhouse, P.E.

DATE: 3/30/05

**SPECIAL CONDITIONS**

1. The construction phase of this permit shall expire on April 13, 2010.
2. Operation of the surface water management system shall be the responsibility of REGAL MARINE INDUSTRIES INC.
3. Discharge Facilities:

Basin: Basin 20, 20A, Structure: 1

1-3" dia. CIRCULAR ORIFICE with invert at elev. 94' NGVD.  
490 LF of 18" dia. REINFORCED CONCRETE PIPE culvert.  
1-24" W X 37" L drop inlet with crest at elev. 95.55' NGVD.

Receiving body : Pond 20  
Control elev : 94 feet NGVD.

Basin: Basin 20, 20A, Structure: 2

1-3" dia. CIRCULAR ORIFICE with invert at elev. 94' NGVD.  
50 LF of 18" dia. REINFORCED CONCRETE PIPE culvert.  
1-36" W X 54" L drop inlet with crest at elev. 94.5' NGVD.

Receiving body : Wetland W-2  
Control elev : 94 feet NGVD.

Basin: Wetland W-2, Structure: 1

2-10' WIDE BROAD CRESTED weirs with crest at elev. 94.34' NGVD.

Receiving body : Test Lake  
Control elev : 94 feet NGVD.

Basin: Wetland W-2, Structure: 2

2-36" dia. REINFORCED CONCRETE PIPE culverts each 130' long.  
1-36" W X 79" L drop inlet with crest at elev. 94' NGVD.

Receiving body : Existing ditch  
Control elev : 94 feet NGVD.

Basin: Basin 10, 30, 30P, Structure: 1

1-3.5" dia. CIRCULAR ORIFICE with invert at elev. 94' NGVD.  
50 LF of 30" dia. REINFORCED CONCRETE PIPE culvert.  
1-36" W X 54" L drop inlet with crest at elev. 95.56' NGVD.

Receiving body : Test Lake  
Control elev : 94 feet NGVD.

Basin: Test lake, Structure: 1

2-10' WIDE BROAD CRESTED weirs with crest at elev. 94.34' NGVD.  
2-4" dia. CIRCULAR ORIFICES with invert at elev. 94' NGVD.

**SPECIAL CONDITIONS**

Receiving body : Existing ditch  
Control elev : 94 feet NGVD.

- 4. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
- 5. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
- 6. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
- 7. Lake side slopes shall be no steeper than 5:1 (horizontal:vertical) to a depth of two feet below the control elevation. Side slopes shall be nurtured or planted from 2 feet below to 1 foot above control elevation to insure vegetative growth, unless shown on the plans.
- 8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
- 9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
- 10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
- 11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
- 12. Minimum building floor elevation: BASIN: Basin 20, 20A - 97.70 feet NGVD.  
BASIN: Basin 10, 30, 30P - 97.70 feet NGVD. BASIN: Test lake - 97.50 feet NGVD.
- 13. Minimum road crown elevation: Basin: Basin 20, 20A - 96.00 feet NGVD.
- 14. Prior to the commencement of construction resulting in wetland impacts and in accordance with the work schedule in the exhibits attached, the permittee shall submit two certified copies of the recorded conservation easement for the mitigation area and associated buffers. The data should also be supplied in a digital CAD (.dxf) or GIS (ESRI Coverage) format. The files should be in the Florida State Plane coordinate system, East Zone (3601) with a data datum of NAD83, HARN with the map units in feet. This data should reside on a CD or floppy disk and be submitted to the District's Environmental Resource Compliance Division in the service area office where the application was submitted.

The recorded easement shall be in substantial conformance with the attached exhibits. Any proposed modifications to the approved form must receive prior written consent from the District. The easement must be free of encumbrances or interests in the easement which the District determines are contrary to the intent of the easement. In the event it is later determined that there are encumbrances or interests in the easement which the District determines are contrary to the intent of the easement, the permittee shall be required to provide release or subordination of such encumbrances or interests.

- 15. Minimum parking lot elevation: Basin: Basin 20, 20A - 95.90 feet NGVD. Basin:

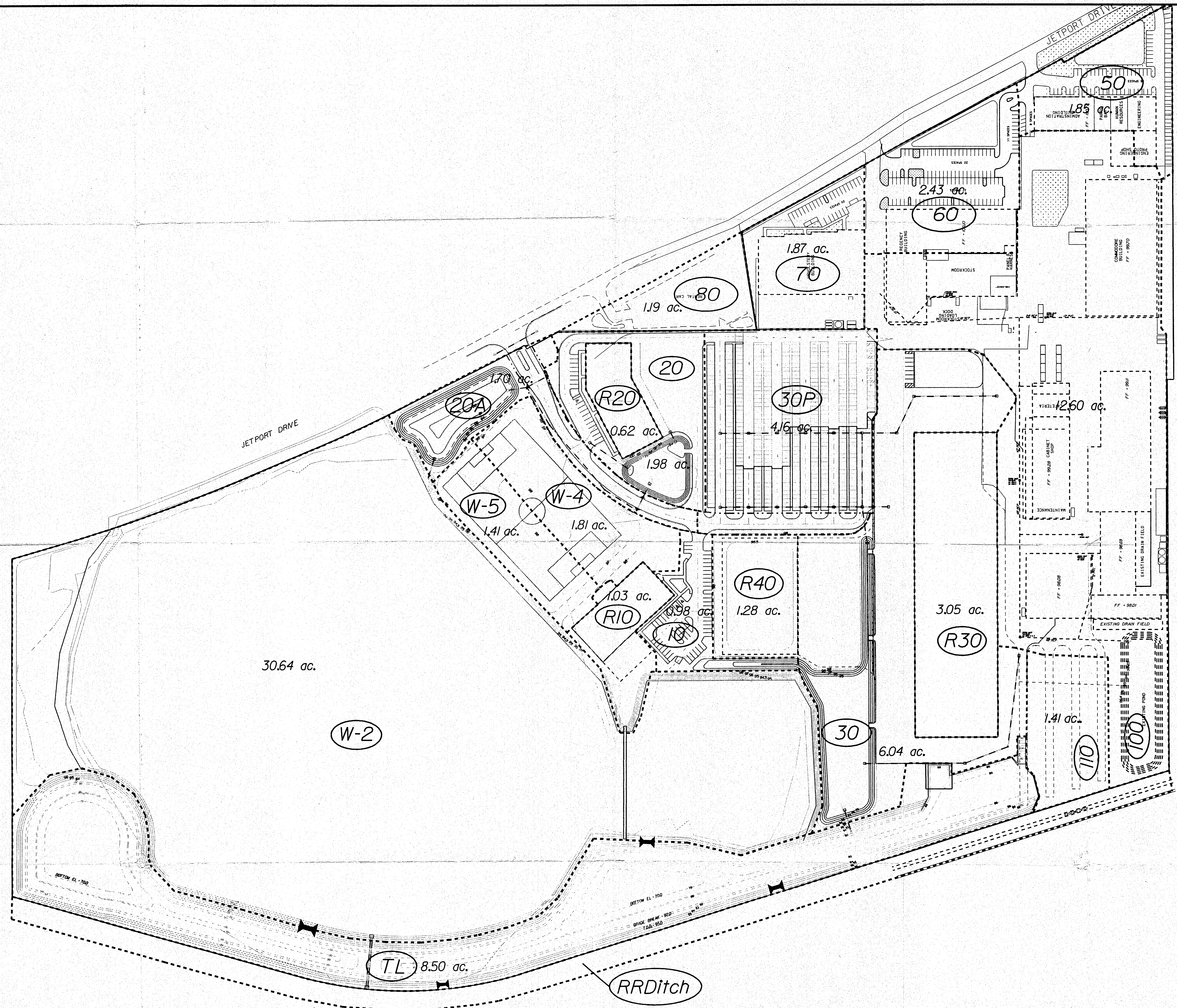
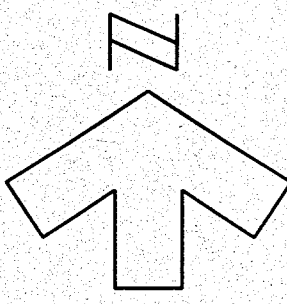
**SPECIAL CONDITIONS**

Basin 10, 30, 30P - 96.10 feet NGVD.

Basin: Test lake - 95.90 feet NGVD.

16. Prior to commencement of construction in wetlands and in accordance with the work schedule in the attached exhibits, the permittee shall submit documentation from the Florida Department of Environmental Protection that 4.5 freshwater forested mitigation bank credits have been deducted from the ledger for the Florida Mitigation Bank (ERP Permit # 492924779).
17. All commercial/industrial parcels shall provide a minimum dry pre-treatment volume of 1/2 inch of runoff prior to discharge into the master surface water management system.
18. Silt fencing shall be installed at the limits of construction to protect all of the preserve areas from silt and sediment deposition during the construction of the project. A floating turbidity barrier shall be installed during the construction of the final discharge structure into the adjacent canal/water body. The silt fencing and the turbidity barrier shall be installed in accordance with "Florida Land Development Manual" Chapter 6 "Stormwater and Erosion and Sediment Control Best Management Practices for Developing Areas" and the attached exhibits. The sediment controls shall be installed prior to the commencement of any clearing or construction and the installation must be inspected by the District's Environmental Resource Compliance staff. The silt fencing and turbidity barriers shall remain in place and be maintained in good functional condition until all adjacent construction activities have been completed and all fill slopes have been stabilized. Upon completion of the project and the stabilization of the fill, the permittee shall contact the District's Environmental Resource Compliance staff to inspect the site and approve the removal of the silt fencing and turbidity barriers.
19. The District reserves the right to require remedial measures to be taken by the permittee if monitoring or other information demonstrates that adverse impacts to onsite or offsite wetlands, upland conservation areas or buffers, or other surface waters have occurred due to project related activities.
20. A maintenance program shall be implemented in accordance with the attached exhibits of the enhanced wetland areas and upland buffers on a regular basis to ensure the integrity and viability of those areas as permitted. Maintenance shall be conducted in perpetuity to ensure that the conservation area is maintained free from Category 1 exotic vegetation (as defined by the Florida Exotic Pest Plant Council at the time of permit issuance) immediately following a maintenance activity. Coverage of exotic plant species shall not exceed 5% of total cover between maintenance activities. Coverage of nuisance plant species shall not exceed 10% of total cover between maintenance activities. In addition, the permittee shall manage the conservation areas such that exotic/nuisance plant species do not dominate any one section of those areas.
21. Prior to any future construction, the permittee shall apply for and receive a permit modification. As part of the permit application, the applicant for that phase shall provide documentation verifying that the proposed construction is consistent with the design of the master surface water management system, including the land use and site grading assumptions.
22. A mitigation implementation, monitoring and maintenance program shall be implemented in accordance with the attached exhibits. The monitoring program shall extend for a period of 5 years with annual reports submitted to District staff. Activities, reports, maintenance etc. shall be implemented in accordance with the work schedule attached as as exhibit.





1/14/2005 08:04:40 J:\CIVIL\ENR\050515\sdgjn  
 Brian Stetler  
 C:\MFC000\FULL\SIZE\BL

		REVISIONS	
DATE	BY	DATE	DESCRIPTION

CONTRACTOR "AS-BUILTS"

I hereby state that these "As-Builts" were furnished to me by the contractor listed below, I, or an employee under my direct supervision have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.

Contractor's Name \_\_\_\_\_ Engineer \_\_\_\_\_  
 Not valid without the signature and the original raised seal of a Florida Registered Engineer.

SUBMITTAL	DATE
CITY OR COUNTY	
W.M.D.	
FINAL APPROVAL	
BID SET	
AS-BUILT	

**BOWYER SINGLETON & ASSOCIATES, INCORPORATED**  
 520 SOUTH MAGNOLIA AVENUE • ORLANDO, FLORIDA 32801  
 407-843-5120 • ENGINEERING BUSINESS #1221

ENGINEERING PLANNING SURVEYING ENVIRONMENTAL

John A. Walsh II  
 Florida Reg. Number 57098

ORANGE COUNTY FLORIDA

**POST-DEVELOPMENT BASIN MAP**

REGAL MARINE EXPANSION

DATE
DESIGNED
CHECKED
SCALE
PROJECT NO.
FILE NAME
SHEET



**Regal Marine  
BASIN CURVE NUMBER CALCULATIONS**

**ERP 48-01254-P**

b.

<u>Basin #</u>	<u>CN=98</u>		<u>CN=100</u>		<u>CN=87</u>		<u>Pervious CN</u>	<u>Wetland (ac)</u>	<u>Wetland (% of Total)</u>	<u>Total (ac)</u>	<u>Composite CN</u>
	<u>Impervious (ac)</u>	<u>Impervious (% of Total)</u>	<u>Pond (ac)</u>	<u>Pond (% of Total)</u>	<u>Pervious (ac)</u>	<u>Pervious (% of Total)</u>					
10	0.60	61%	0.00	0%	0.38	39%	74.0	0.00	0%	0.98	88.7
20	1.20	61%	0.03	2%	0.75	38%	74.0	0.00	0%	1.98	88.9
20A	0.51	30%	0.54	32%	0.65	38%	74.0	0.00	0%	1.70	89.5
30	4.12	68%	0.00	0%	1.92	32%	74.0	0.00	0%	6.04	90.4
30P	3.56	86%	0.00	0%	0.60	14%	74.0	0.00	0%	4.16	94.5
50	1.39	75%	0.00	0%	0.46	25%	84.0	0.00	0%	1.85	94.5
60	1.82	75%	0.00	0%	0.61	25%	84.0	0.00	0%	2.43	94.5
70	1.41	75%	0.00	0%	0.46	25%	84.0	0.00	0%	1.87	94.6
80	0.89	75%	0.00	0%	0.30	25%	84.0	0.00	0%	1.19	94.5
100	10.76	85%	0.51	4%	1.33	11%	74.0	0.00	0%	12.60	95.5
110	0.45	32%	0.00	0%	0.96	68%	74.0	0.00	0%	1.41	81.7
R10	0.71	69%	0.00	0%	0.32	31%	74.0	0.00	0%	1.03	90.5
R20	0.62	100%	0.00	0%	0.00	0%	74.0	0.00	0%	0.62	98.0
R30	3.05	100%	0.00	0%	0.00	0%	74.0	0.00	0%	3.05	98.0
R40	1.15	90%	0.00	0%	0.13	10%	74.0	0.00	0%	1.28	95.6
W-4	0.00	0%	0.00	0%	1.81	100%	74.0	0.00	0%	1.81	74.0
W-5	0.00	0%	0.00	0%	1.41	100%	74.0	0.00	0%	1.41	74.0
W-2	0.00	0%	0.00	0%	2.85	9%	74.0	27.79	91%	30.64	85.8
TL	0.09	1%	6.34	75%	2.07	24%	74.0	0.00	0%	8.50	93.6
	<u>32.33</u>									<u>84.55</u>	

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
100	BASE	5Y24H	30.00	95.43	96.40	0.0021	22022	8.92	12.69	8.92	12.63
110	BASE	5Y24H	11.18	96.83	97.00	0.0007	16892	8.92	0.92	11.18	0.36
20	BASE	5Y24H	9.01	95.71	98.00	0.0013	12690	8.92	2.45	9.00	2.30
20A	BASE	5Y24H	30.00	95.43	98.00	0.0007	27698	8.92	3.83	9.16	3.26
30	BASE	5Y24H	8.97	95.91	98.00	0.0012	41429	8.92	10.78	8.97	10.43
50	BASE	5Y24H	10.10	98.86	99.00	0.0027	6414	8.92	1.84	10.10	0.95
60	BASE	5Y24H	10.08	97.94	98.00	0.0020	10403	8.92	2.42	10.08	1.27
70	BASE	5Y24H	8.92	96.93	98.00	0.0021	4298	8.92	1.86	8.92	1.86
BEELINEN	BASE	5Y24H	29.99	95.44	100.00	0.0014	47035	10.78	22.59	8.79	18.19
BEELINES	BASE	5Y24H	30.00	95.43	100.00	-0.0068	22323	8.79	24.99	8.80	24.46
DITCH	BASE	5Y24H	14.00	96.00	100.00	0.0028	0	10.00	14.96	0.00	0.00
MH	BASE	5Y24H	29.94	95.50	100.00	0.0500	324	14.09	8.40	17.83	19.42
RRDitch	BASE	5Y24H	30.00	95.43	98.00	-0.0036	42015	10.93	15.61	10.96	14.67
SMA-1	BASE	5Y24H	14.16	97.35	100.00	0.0011	429380	8.75	58.43	14.16	5.73
TL	BASE	5Y24H	30.00	95.43	97.00	0.0010	373236	8.92	41.15	10.98	8.71
W-1	BASE	5Y24H	13.90	96.54	100.00	0.0006	239580	8.75	19.28	13.90	2.67
W-2	BASE	5Y24H	30.00	95.43	97.00	0.0006	1232972	8.93	64.14	30.00	3.11
W-3	BASE	5Y24H	29.82	95.42	100.00	0.0004	1990606	8.75	89.38	10.00	14.96

Allowable 5YR/24HR discharge=  
12.99 cfs

Name	Group	Simulation	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Surf Area ft2	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
100	BASE	25yr72	71.76	96.87	96.40	0.0048	30184	59.75	61.78	59.96	55.40
110	BASE	25yr72	60.07	96.94	97.00	0.0004	20032	60.00	4.52	60.07	4.11
20	BASE	25yr72	60.41	97.10	98.00	0.0047	14554	59.75	12.55	60.20	4.05
20A	BASE	25yr72	71.83	96.91	98.00	0.0022	31961	60.00	11.58	60.05	3.45
30	BASE	25yr72	60.23	97.13	98.00	0.0046	52816	59.75	53.20	60.13	25.59
50	BASE	25yr72	60.00	99.47	99.00	0.0027	6941	59.75	9.05	60.00	8.52
60	BASE	25yr72	60.14	99.16	98.00	0.0047	11466	59.75	11.89	60.14	7.59
70	BASE	25yr72	59.92	97.41	98.00	0.0026	4714	59.75	9.15	59.92	8.81
BEELINEN	BASE	25yr72	71.75	96.96	100.00	0.0046	54427	59.75	98.21	60.02	66.84
BEELINES	BASE	25yr72	71.80	96.92	100.00	-0.0068	79187	60.00	95.92	60.04	82.38
DITCH	BASE	25yr72	60.00	96.20	100.00	-0.0006	0	72.00	49.99	0.00	0.00
MH	BASE	25yr72	69.94	97.15	100.00	-0.0500	131	62.17	21.59	62.22	21.45
RRDitch	BASE	25yr72	71.79	96.87	98.00	-0.0036	73481	60.01	36.42	75.76	30.78
SMA-1	BASE	25yr72	62.82	98.68	100.00	0.0034	451960	59.75	256.86	60.36	80.63
TL	BASE	25yr72	71.82	96.89	97.00	0.0023	412186	60.00	107.90	75.29	19.89
W-1	BASE	25yr72	62.88	98.67	100.00	0.0046	239580	60.06	121.40	62.17	10.28
W-2	BASE	25yr72	71.90	96.91	97.00	0.0020	1281487	60.00	253.48	73.63	26.31
W-3	BASE	25yr72	70.13	96.65	100.00	0.0015	2203510	59.75	426.56	72.00	49.99

Allowable 25YR/72HR discharge=  
59.51 cfs

Regal Marine  
Post-Development

Node Maximum Conditions Report

Name	Group	Sim.	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
100	BASE	100Y24	24.00	96.38	96.40	0.0025	8.75	27.35	8.71	26.27
110	BASE	100Y24	9.02	96.90	97.00	0.0012	9.00	2.57	9.02	2.55
20	BASE	100Y24	23.93	96.41	98.00	0.0014	8.75	5.52	8.13	4.05
20A	BASE	100Y24	23.96	96.41	98.00	0.0013	8.71	7.62	7.89	4.31
30	BASE	100Y24	23.95	96.40	98.00	0.0010	8.75	23.81	8.69	22.87
50	BASE	100Y24	8.77	99.19	99.00	0.0042	8.75	4.00	8.77	3.98
60	BASE	100Y24	9.12	98.70	98.00	0.0026	8.75	5.26	9.12	4.50
70	BASE	100Y24	8.76	97.13	98.00	0.0020	8.75	4.05	8.76	4.04
BEELINEN	BASE	100Y24	23.09	96.46	100.00	0.0028	8.68	78.79	8.80	54.47
BEELINES	BASE	100Y24	23.60	96.42	100.00	-0.0070	8.80	75.59	8.81	73.64
DITCH	BASE	100Y24	14.00	96.00	100.00	0.0028	10.00	31.38	0.00	0.00
MH	BASE	100Y24	19.70	96.65	100.00	-0.0499	13.60	24.12	13.34	24.02
RRDitch	BASE	100Y24	24.01	96.38	98.00	-0.0036	9.89	37.45	11.44	33.72
SMA-1	BASE	100Y24	13.81	98.77	100.00	0.0027	8.75	127.19	9.78	55.58
TL	BASE	100Y24	24.01	96.40	97.00	0.0015	8.81	44.03	11.79	18.88
W-1	BASE	100Y24	13.84	98.76	100.00	0.0028	9.67	75.22	13.60	11.50
W-2	BASE	100Y24	23.95	96.41	97.00	0.0015	8.81	179.10	11.82	31.36
W-3	BASE	100Y24	24.50	96.28	100.00	0.0011	8.75	231.84	10.00	31.38
100	BASE	25Y24H	23.16	95.84	96.40	0.0021	8.75	22.12	8.74	21.47
110	BASE	25Y24H	9.10	96.88	97.00	0.0012	9.00	2.01	9.10	1.93
20	BASE	25Y24H	9.15	95.89	98.00	0.0014	8.75	4.42	8.59	3.92
20A	BASE	25Y24H	23.17	95.87	98.00	0.0010	8.75	6.78	8.28	4.28
30	BASE	25Y24H	8.84	96.09	98.00	0.0014	8.75	19.12	8.83	18.79
50	BASE	25Y24H	8.88	99.12	99.00	0.0041	8.75	3.23	8.88	3.14
60	BASE	25Y24H	9.18	98.46	98.00	0.0025	8.75	4.25	9.18	3.46
70	BASE	25Y24H	8.76	97.07	98.00	0.0023	8.75	3.27	8.76	3.26
BEELINEN	BASE	25Y24H	22.84	95.90	100.00	0.0019	8.59	62.90	9.03	43.99
BEELINES	BASE	25Y24H	23.09	95.88	100.00	-0.0070	9.00	60.47	9.00	59.42
DITCH	BASE	25Y24H	14.00	95.40	100.00	0.0019	10.00	25.04	0.00	0.00
MH	BASE	25Y24H	22.41	96.02	100.00	0.0499	13.63	19.43	16.46	21.99
RRDitch	BASE	25Y24H	23.18	95.84	98.00	-0.0045	11.64	34.84	11.66	28.94
SMA-1	BASE	25Y24H	13.81	98.16	100.00	0.0023	8.75	102.74	10.49	37.79
TL	BASE	25Y24H	23.21	95.85	97.00	0.0011	9.00	35.33	11.63	14.98
W-1	BASE	25Y24H	13.86	98.14	100.00	0.0017	10.00	45.51	13.41	9.55
W-2	BASE	25Y24H	23.26	95.87	97.00	0.0013	9.00	143.23	11.63	24.97
W-3	BASE	25Y24H	23.86	95.75	100.00	0.0009	8.75	181.03	10.00	25.04

Allowable 25YR/24HR discharge=  
23.40 cfs

Allowable 100YR/24HR discharge=  
28.82 cfs

Regal Marine  
Post-Development

Node Maximum Conditions Report

Name	Group	Sim.	Max Time Stage hrs	Max Stage ft	Warning Stage ft	Max Delta Stage ft	Max Time Inflow hrs	Max Inflow cfs	Max Time Outflow hrs	Max Outflow cfs
100	BASE	100y72	71.89	97.44	96.40	0.0058	59.75	79.12	59.95	71.63
110	BASE	100y72	71.97	97.44	97.00	0.0007	60.00	6.57	60.07	6.04
20	BASE	100y72	60.48	97.74	98.00	0.0081	59.75	16.16	60.23	4.59
20A	BASE	100y72	71.93	97.47	98.00	0.0035	60.00	14.25	60.10	4.10
30	BASE	100y72	60.25	97.70	98.00	0.0076	59.75	67.75	60.16	29.90
50	BASE	100y72	59.98	99.58	99.00	0.0038	59.75	11.60	59.98	11.01
60	BASE	100y72	60.16	99.52	98.00	0.0072	59.75	15.24	60.16	9.21
70	BASE	100y72	59.90	97.52	98.00	0.0038	59.75	11.73	59.90	11.34
BEELINEN	BASE	100y72	60.69	97.67	100.00	0.0064	59.74	153.97	60.19	84.65
BEELINES	BASE	100y72	71.92	97.50	100.00	-0.0070	60.05	123.61	60.24	102.96
DITCH	BASE	100y72	60.00	96.20	100.00	0.0007	72.00	54.62	0.00	0.00
MH	BASE	100y72	60.82	97.90	100.00	-0.0500	62.92	27.10	62.92	27.10
RRDitch	BASE	100y72	71.96	97.44	98.00	-0.0036	61.96	35.73	72.00	35.14
SMA-1	BASE	100y72	62.89	99.52	100.00	0.0046	59.75	329.21	60.14	113.24
TL	BASE	100y72	72.00	97.45	97.00	0.0028	60.45	60.09	72.00	25.17
W-1	BASE	100y72	62.91	99.52	100.00	0.0076	60.00	188.69	62.93	12.53
W-2	BASE	100y72	72.00	97.47	97.00	0.0028	60.00	328.63	62.21	36.50
W-3	BASE	100y72	71.31	97.11	100.00	0.0024	59.75	546.48	72.00	54.62

Allowable 100YR/72HR discharge=  
77.67 cfs



Regal Marine  
Post-Development

DCIA(%): 0.00

Max Allowable Q(cfs): 999999.000

Name: W-2  
Group: BASE

Node: W-2  
Type: Santa Barbara

Status: Onsite

Rainfall File: ORANGE  
Rainfall Amount(in): 10.600  
Area(ac): 30.640  
Curve Number: 85.80  
DCIA(%): 0.00

Storm Duration(hrs): 24.00  
Time of Conc(min): 42.00  
Time Shift(hrs): 0.00  
Time Increment(min): 10.00  
Max Allowable Q(cfs): 999999.000

Name: W-3  
Group: BASE

Node: W-3  
Type: Santa Barbara

Status: Onsite

Rainfall File: ORANGE  
Rainfall Amount(in): 10.600  
Area(ac): 11.100  
Curve Number: 90.00  
DCIA(%): 0.00

Storm Duration(hrs): 24.00  
Time of Conc(min): 23.10  
Time Shift(hrs): 0.00  
Time Increment(min): 15.00  
Max Allowable Q(cfs): 999999.000

Name: W-4  
Group: BASE

Node: W-2  
Type: Santa Barbara

Status: Onsite

Rainfall File: Orange  
Rainfall Amount(in): 8.600  
Area(ac): 1.810  
Curve Number: 74.00  
DCIA(%): 0.00

Storm Duration(hrs): 24.00  
Time of Conc(min): 27.00  
Time Shift(hrs): 0.00  
Time Increment(min): 5.00  
Max Allowable Q(cfs): 999999.000

Name: W-5  
Group: BASE

Node: W-2  
Type: Santa Barbara

Status: Onsite

Rainfall File: Orange  
Rainfall Amount(in): 8.600  
Area(ac): 1.410  
Curve Number: 74.00  
DCIA(%): 0.00

Storm Duration(hrs): 24.00  
Time of Conc(min): 15.00  
Time Shift(hrs): 0.00  
Time Increment(min): 5.00  
Max Allowable Q(cfs): 999999.000

=====  
Nodes  
=====

Name: 100  
Group: BASE  
Type: Stage/Area

Base Flow(cfs): 0.000

Init Stage(ft): 93.25  
Warn Stage(ft): 96.40

Stage(ft)      Area(ac)  
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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
5Y24H	RRDitch	BASE	0.00	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	0.25	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	0.50	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	0.75	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	1.00	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	1.25	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	1.50	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	1.75	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	2.00	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	2.25	94.00	98.00	11059	0.00	0.00	0.0	0.0
5Y24H	RRDitch	BASE	2.50	93.97	98.00	282	0.00	-4.36	0.0	-0.0
5Y24H	RRDitch	BASE	2.75	93.97	98.00	282	0.00	-4.35	0.0	-0.1
5Y24H	RRDitch	BASE	3.00	93.97	98.00	282	0.00	-4.36	0.0	-0.2
5Y24H	RRDitch	BASE	3.25	93.97	98.00	282	0.00	-4.40	0.0	-0.3
5Y24H	RRDitch	BASE	3.50	93.97	98.00	282	0.00	-4.38	0.0	-0.4
5Y24H	RRDitch	BASE	3.75	93.97	98.00	282	0.00	-4.42	0.0	-0.5
5Y24H	RRDitch	BASE	4.00	93.97	98.00	282	0.00	-4.42	0.0	-0.6
5Y24H	RRDitch	BASE	4.25	93.98	98.00	282	0.01	-4.41	0.0	-0.7
5Y24H	RRDitch	BASE	4.50	93.98	98.00	282	0.01	-4.43	0.0	-0.8
5Y24H	RRDitch	BASE	4.75	93.98	98.00	282	0.02	-4.49	0.0	-0.9
5Y24H	RRDitch	BASE	5.00	93.99	98.00	282	0.04	-4.56	0.0	-1.0
5Y24H	RRDitch	BASE	5.25	93.99	98.00	282	0.07	-4.64	0.0	-1.1
5Y24H	RRDitch	BASE	5.50	93.99	98.00	282	0.10	-4.72	0.0	-1.1
5Y24H	RRDitch	BASE	5.75	94.00	98.00	282	0.15	-4.81	0.0	-1.2
5Y24H	RRDitch	BASE	6.00	94.04	98.00	11940	-0.38	-0.48	0.0	-1.3
5Y24H	RRDitch	BASE	6.25	94.05	98.00	12138	-0.49	-0.63	-0.0	-1.3
5Y24H	RRDitch	BASE	6.50	94.06	98.00	12390	-0.63	-0.80	-0.0	-1.3
5Y24H	RRDitch	BASE	6.75	94.08	98.00	12730	1.52	1.26	-0.0	-1.3
5Y24H	RRDitch	BASE	7.00	94.10	98.00	13186	3.49	3.15	0.0	-1.3
5Y24H	RRDitch	BASE	7.25	94.12	98.00	13728	4.71	4.31	0.1	-1.2
5Y24H	RRDitch	BASE	7.50	94.15	98.00	14315	5.26	4.80	0.2	-1.1
5Y24H	RRDitch	BASE	7.75	94.18	98.00	15030	6.12	5.53	0.4	-1.0
5Y24H	RRDitch	BASE	8.00	94.22	98.00	15823	6.66	5.97	0.5	-0.9
5Y24H	RRDitch	BASE	8.25	94.26	98.00	16740	7.35	6.53	0.6	-0.8
5Y24H	RRDitch	BASE	8.50	94.31	98.00	17688	7.68	6.82	0.8	-0.6
5Y24H	RRDitch	BASE	8.75	94.35	98.00	18655	7.85	6.92	0.9	-0.5
5Y24H	RRDitch	BASE	9.00	94.39	98.00	19611	8.17	7.27	1.1	-0.3
5Y24H	RRDitch	BASE	9.25	94.43	98.00	20420	7.88	7.07	1.3	-0.2
5Y24H	RRDitch	BASE	9.50	94.47	98.00	21280	9.12	8.10	1.4	-0.0
5Y24H	RRDitch	BASE	9.75	94.52	98.00	22257	11.16	10.03	1.7	0.2
5Y24H	RRDitch	BASE	10.00	94.56	98.00	23238	13.22	12.11	1.9	0.4
5Y24H	RRDitch	BASE	10.25	94.60	98.00	24053	14.32	13.42	2.2	0.7
5Y24H	RRDitch	BASE	10.50	94.63	98.00	24753	15.06	14.18	2.5	0.9
5Y24H	RRDitch	BASE	10.75	94.66	98.00	25477	15.51	14.55	2.8	1.2
5Y24H	RRDitch	BASE	11.00	94.70	98.00	26192	15.57	14.66	3.1	1.5
5Y24H	RRDitch	BASE	11.25	94.72	98.00	26795	15.02	14.26	3.5	1.8
5Y24H	RRDitch	BASE	11.50	94.75	98.00	27330	14.32	13.60	3.8	2.1
5Y24H	RRDitch	BASE	11.75	94.77	98.00	27824	13.44	12.75	4.0	2.4
5Y24H	RRDitch	BASE	12.00	94.79	98.00	28317	12.54	11.81	4.3	2.7
5Y24H	RRDitch	BASE	12.25	94.82	98.00	28834	11.74	10.98	4.6	2.9
5Y24H	RRDitch	BASE	12.50	94.84	98.00	29354	10.92	10.15	4.8	3.1
5Y24H	RRDitch	BASE	12.75	94.87	98.00	29862	10.07	9.30	5.0	3.3
5Y24H	RRDitch	BASE	13.00	94.89	98.00	30357	9.25	8.50	5.2	3.5
5Y24H	RRDitch	BASE	13.25	94.91	98.00	30809	8.19	7.50	5.4	3.7
5Y24H	RRDitch	BASE	13.50	94.93	98.00	31241	7.20	6.51	5.6	3.8
5Y24H	RRDitch	BASE	13.75	94.95	98.00	31667	6.21	5.52	5.7	3.9
5Y24H	RRDitch	BASE	14.00	94.97	98.00	32075	5.20	4.57	5.8	4.0
5Y24H	RRDitch	BASE	14.25	94.98	98.00	32434	3.85	3.28	5.9	4.1
5Y24H	RRDitch	BASE	14.50	95.00	98.00	32772	2.72	2.16	6.0	4.2
5Y24H	RRDitch	BASE	14.75	95.01	98.00	33099	1.70	1.16	6.0	4.2
5Y24H	RRDitch	BASE	15.00	95.03	98.00	33416	0.48	0.00	6.0	4.2
5Y24H	RRDitch	BASE	15.25	95.04	98.00	33689	-1.00	-1.43	6.0	4.2
5Y24H	RRDitch	BASE	15.50	95.05	98.00	33924	-2.10	-2.51	6.0	4.2
5Y24H	RRDitch	BASE	15.75	95.06	98.00	34155	-2.66	-3.06	6.0	4.1
5Y24H	RRDitch	BASE	16.00	95.07	98.00	34383	-3.05	-3.44	5.9	4.0
5Y24H	RRDitch	BASE	16.25	95.08	98.00	34603	-3.38	-3.77	5.8	4.0
5Y24H	RRDitch	BASE	16.50	95.09	98.00	34817	-3.62	-4.01	5.8	3.9
5Y24H	RRDitch	BASE	16.75	95.10	98.00	35037	-3.76	-4.16	5.7	3.8
5Y24H	RRDitch	BASE	17.00	95.11	98.00	35257	-3.88	-4.27	5.6	3.7
5Y24H	RRDitch	BASE	17.25	95.12	98.00	35476	-3.98	-4.37	5.5	3.6
5Y24H	RRDitch	BASE	17.50	95.13	98.00	35692	-4.04	-4.43	5.4	3.5
5Y24H	RRDitch	BASE	17.75	95.14	98.00	35900	-4.12	-4.50	5.3	3.4
5Y24H	RRDitch	BASE	18.00	95.15	98.00	36107	-4.17	-4.55	5.3	3.3
5Y24H	RRDitch	BASE	18.25	95.16	98.00	36318	-4.16	-4.55	5.2	3.2
5Y24H	RRDitch	BASE	18.50	95.17	98.00	36528	-4.15	-4.54	5.1	3.2
5Y24H	RRDitch	BASE	18.75	95.18	98.00	36729	-4.17	-4.55	5.0	3.1
5Y24H	RRDitch	BASE	19.00	95.19	98.00	36928	-4.17	-4.54	4.9	3.0
5Y24H	RRDitch	BASE	19.25	95.20	98.00	37120	-4.19	-4.55	4.8	2.9
5Y24H	RRDitch	BASE	19.50	95.21	98.00	37307	-4.21	-4.57	4.7	2.8
5Y24H	RRDitch	BASE	19.75	95.22	98.00	37500	-4.16	-4.53	4.7	2.7
5Y24H	RRDitch	BASE	20.00	95.23	98.00	37690	-4.12	-4.47	4.6	2.6
5Y24H	RRDitch	BASE	20.25	95.23	98.00	37867	-4.16	-4.49	4.5	2.5
5Y24H	RRDitch	BASE	20.50	95.24	98.00	38038	-4.16	-4.50	4.4	2.4
5Y24H	RRDitch	BASE	20.75	95.25	98.00	38213	-4.12	-4.46	4.3	2.3
5Y24H	RRDitch	BASE	21.00	95.26	98.00	38385	-4.08	-4.42	4.2	2.2

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
5Y24H	RRDitch	BASE	21.25	95.27	98.00	38552	-4.08	-4.41	4.1	2.1
5Y24H	RRDitch	BASE	21.50	95.27	98.00	38716	-4.07	-4.39	4.1	2.0
5Y24H	RRDitch	BASE	21.75	95.28	98.00	38882	-4.00	-4.34	4.0	2.0
5Y24H	RRDitch	BASE	22.00	95.29	98.00	39047	-3.95	-4.28	3.9	1.9
5Y24H	RRDitch	BASE	22.25	95.30	98.00	39208	-3.93	-4.24	3.8	1.8
5Y24H	RRDitch	BASE	22.50	95.30	98.00	39363	-3.87	-4.19	3.7	1.7
5Y24H	RRDitch	BASE	22.75	95.31	98.00	39522	-3.76	-4.08	3.7	1.6
5Y24H	RRDitch	BASE	23.00	95.32	98.00	39679	-3.64	-3.95	3.6	1.5
5Y24H	RRDitch	BASE	23.25	95.32	98.00	39823	-3.60	-3.88	3.5	1.4
5Y24H	RRDitch	BASE	23.50	95.33	98.00	39961	-3.52	-3.79	3.4	1.4
5Y24H	RRDitch	BASE	23.75	95.34	98.00	40094	-3.42	-3.69	3.4	1.3
5Y24H	RRDitch	BASE	24.00	95.34	98.00	40222	-3.32	-3.58	3.3	1.2
5Y24H	RRDitch	BASE	24.25	95.35	98.00	40341	-3.26	-3.50	3.2	1.1
5Y24H	RRDitch	BASE	24.50	95.35	98.00	40455	-3.16	-3.40	3.2	1.1
5Y24H	RRDitch	BASE	24.75	95.36	98.00	40566	-3.06	-3.28	3.1	1.0
5Y24H	RRDitch	BASE	25.00	95.36	98.00	40672	-2.93	-3.15	3.0	0.9
5Y24H	RRDitch	BASE	25.25	95.37	98.00	40776	-2.80	-3.02	3.0	0.9
5Y24H	RRDitch	BASE	25.50	95.37	98.00	40876	-2.66	-2.86	2.9	0.8
5Y24H	RRDitch	BASE	25.75	95.38	98.00	40973	-2.50	-2.70	2.9	0.7
5Y24H	RRDitch	BASE	26.00	95.38	98.00	41067	-2.33	-2.53	2.8	0.7
5Y24H	RRDitch	BASE	26.25	95.39	98.00	41157	-2.16	-2.35	2.8	0.6
5Y24H	RRDitch	BASE	26.50	95.39	98.00	41245	-1.97	-2.15	2.7	0.6
5Y24H	RRDitch	BASE	26.75	95.39	98.00	41329	-1.77	-1.94	2.7	0.6
5Y24H	RRDitch	BASE	27.00	95.40	98.00	41410	-1.56	-1.73	2.7	0.5
5Y24H	RRDitch	BASE	27.25	95.40	98.00	41487	-1.33	-1.49	2.6	0.5
5Y24H	RRDitch	BASE	27.50	95.41	98.00	41561	-1.10	-1.25	2.6	0.5
5Y24H	RRDitch	BASE	27.75	95.41	98.00	41630	-0.84	-0.98	2.6	0.4
5Y24H	RRDitch	BASE	28.00	95.41	98.00	41696	-0.56	-0.70	2.6	0.4
5Y24H	RRDitch	BASE	28.25	95.41	98.00	41756	-0.26	-0.39	2.6	0.4
5Y24H	RRDitch	BASE	28.50	95.42	98.00	41811	0.07	0.00	2.6	0.4
5Y24H	RRDitch	BASE	28.75	95.42	98.00	41862	0.41	0.31	2.6	0.4
5Y24H	RRDitch	BASE	29.00	95.42	98.00	41908	0.75	0.66	2.6	0.4
5Y24H	RRDitch	BASE	29.25	95.42	98.00	41948	1.13	1.05	2.6	0.4
5Y24H	RRDitch	BASE	29.50	95.42	98.00	41980	1.57	1.51	2.6	0.5
5Y24H	RRDitch	BASE	29.75	95.43	98.00	42001	2.16	2.13	2.7	0.5
5Y24H	RRDitch	BASE	30.00	95.43	98.00	42015	2.71	2.69	2.7	0.5
5Y24H	RRDitch	BASE	30.00	95.43	98.00	42015	2.71	2.69	2.7	0.5

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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
25yr72	RRDitch	BASE	0.00	94.00	98.00	11059	0.00	0.00	0.0	0.0
25yr72	RRDitch	BASE	0.25	93.97	98.00	282	0.00	-4.39	0.0	-0.0
25yr72	RRDitch	BASE	0.50	93.97	98.00	282	0.00	-4.39	0.0	-0.1
25yr72	RRDitch	BASE	0.75	93.97	98.00	282	0.00	-4.36	0.0	-0.2
25yr72	RRDitch	BASE	1.00	93.97	98.00	282	0.00	-4.39	0.0	-0.3
25yr72	RRDitch	BASE	1.25	93.97	98.00	282	0.00	-4.36	0.0	-0.4
25yr72	RRDitch	BASE	1.50	93.97	98.00	282	0.00	-4.34	0.0	-0.5
25yr72	RRDitch	BASE	1.75	93.97	98.00	282	0.00	-4.41	0.0	-0.6
25yr72	RRDitch	BASE	2.00	93.97	98.00	282	0.00	-4.39	0.0	-0.7
25yr72	RRDitch	BASE	2.25	93.97	98.00	282	0.00	-4.39	0.0	-0.8
25yr72	RRDitch	BASE	2.50	93.98	98.00	282	0.00	-4.44	0.0	-0.9
25yr72	RRDitch	BASE	2.75	93.98	98.00	282	0.00	-4.44	0.0	-1.0
25yr72	RRDitch	BASE	3.00	93.98	98.00	282	0.00	-4.43	0.0	-1.0
25yr72	RRDitch	BASE	3.25	93.98	98.00	282	0.00	-4.46	0.0	-1.1
25yr72	RRDitch	BASE	3.50	93.98	98.00	282	0.00	-4.49	0.0	-1.2
25yr72	RRDitch	BASE	3.75	93.99	98.00	282	0.00	-4.52	0.0	-1.3
25yr72	RRDitch	BASE	4.00	93.99	98.00	282	0.00	-4.56	0.0	-1.4
25yr72	RRDitch	BASE	4.25	93.99	98.00	282	0.00	-4.60	0.0	-1.5
25yr72	RRDitch	BASE	4.50	93.99	98.00	282	0.01	-4.64	0.0	-1.6
25yr72	RRDitch	BASE	4.75	93.99	98.00	282	0.01	-4.68	0.0	-1.7
25yr72	RRDitch	BASE	5.00	94.00	98.00	282	0.01	-4.72	0.0	-1.8
25yr72	RRDitch	BASE	5.25	94.00	98.00	282	0.01	-4.77	0.0	-1.9
25yr72	RRDitch	BASE	5.50	94.04	98.00	11878	-0.44	-0.48	-0.0	-2.0
25yr72	RRDitch	BASE	5.75	94.04	98.00	11938	-0.49	-0.52	-0.0	-2.0
25yr72	RRDitch	BASE	6.00	94.04	98.00	12000	-0.54	-0.58	-0.0	-2.0
25yr72	RRDitch	BASE	6.25	94.05	98.00	12061	-0.59	-0.63	-0.0	-2.0
25yr72	RRDitch	BASE	6.50	94.05	98.00	12124	-0.64	-0.68	-0.0	-2.0
25yr72	RRDitch	BASE	6.75	94.05	98.00	12187	-0.70	-0.74	-0.1	-2.0
25yr72	RRDitch	BASE	7.00	94.05	98.00	12250	-0.76	-0.80	-0.1	-2.0
25yr72	RRDitch	BASE	7.25	94.06	98.00	12313	-0.81	-0.85	-0.1	-2.0
25yr72	RRDitch	BASE	7.50	94.06	98.00	12377	-0.87	-0.91	-0.1	-2.1
25yr72	RRDitch	BASE	7.75	94.06	98.00	12441	-0.93	-0.97	-0.1	-2.1
25yr72	RRDitch	BASE	8.00	94.07	98.00	12505	-0.99	-1.04	-0.1	-2.1
25yr72	RRDitch	BASE	8.25	94.07	98.00	12569	-1.06	-1.10	-0.2	-2.1
25yr72	RRDitch	BASE	8.50	94.07	98.00	12633	-1.12	-1.16	-0.2	-2.2
25yr72	RRDitch	BASE	8.75	94.08	98.00	12697	-1.18	-1.22	-0.2	-2.2
25yr72	RRDitch	BASE	9.00	94.08	98.00	12761	-1.25	-1.29	-0.2	-2.2
25yr72	RRDitch	BASE	9.25	94.08	98.00	12825	-1.31	-1.35	-0.3	-2.2
25yr72	RRDitch	BASE	9.50	94.08	98.00	12889	-1.37	-1.42	-0.3	-2.3
25yr72	RRDitch	BASE	9.75	94.09	98.00	12953	-1.44	-1.48	-0.3	-2.3
25yr72	RRDitch	BASE	10.00	94.09	98.00	13016	-1.50	-1.54	-0.4	-2.3
25yr72	RRDitch	BASE	10.25	94.09	98.00	13080	-1.56	-1.61	-0.4	-2.4
25yr72	RRDitch	BASE	10.50	94.10	98.00	13144	-1.63	-1.67	-0.4	-2.4
25yr72	RRDitch	BASE	10.75	94.10	98.00	13207	-1.69	-1.73	-0.5	-2.4
25yr72	RRDitch	BASE	11.00	94.10	98.00	13270	-1.75	-1.80	-0.5	-2.5
25yr72	RRDitch	BASE	11.25	94.10	98.00	13333	-1.82	-1.86	-0.5	-2.5
25yr72	RRDitch	BASE	11.50	94.11	98.00	13397	-1.88	-1.92	-0.6	-2.5
25yr72	RRDitch	BASE	11.75	94.11	98.00	13460	-1.94	-1.98	-0.6	-2.6
25yr72	RRDitch	BASE	12.00	94.11	98.00	13522	-2.00	-2.04	-0.6	-2.6
25yr72	RRDitch	BASE	12.25	94.12	98.00	13585	-2.06	-2.10	-0.7	-2.7
25yr72	RRDitch	BASE	12.50	94.12	98.00	13648	-2.12	-2.16	-0.7	-2.7
25yr72	RRDitch	BASE	12.75	94.12	98.00	13711	-2.18	-2.22	-0.8	-2.7
25yr72	RRDitch	BASE	13.00	94.12	98.00	13774	-2.23	-2.28	-0.8	-2.8
25yr72	RRDitch	BASE	13.25	94.13	98.00	13837	-2.29	-2.33	-0.9	-2.8
25yr72	RRDitch	BASE	13.50	94.13	98.00	13900	-2.34	-2.39	-0.9	-2.9
25yr72	RRDitch	BASE	13.75	94.13	98.00	13963	-2.40	-2.44	-1.0	-2.9
25yr72	RRDitch	BASE	14.00	94.14	98.00	14026	-2.45	-2.50	-1.0	-3.0
25yr72	RRDitch	BASE	14.25	94.14	98.00	14088	-2.50	-2.55	-1.1	-3.0
25yr72	RRDitch	BASE	14.50	94.14	98.00	14152	-2.56	-2.60	-1.1	-3.1
25yr72	RRDitch	BASE	14.75	94.15	98.00	14214	-2.61	-2.65	-1.2	-3.2
25yr72	RRDitch	BASE	15.00	94.15	98.00	14278	-2.66	-2.70	-1.2	-3.2
25yr72	RRDitch	BASE	15.25	94.15	98.00	14341	-2.70	-2.75	-1.3	-3.3
25yr72	RRDitch	BASE	15.50	94.15	98.00	14405	-2.75	-2.80	-1.3	-3.3
25yr72	RRDitch	BASE	15.75	94.16	98.00	14469	-2.80	-2.85	-1.4	-3.4
25yr72	RRDitch	BASE	16.00	94.16	98.00	14533	-2.84	-2.89	-1.5	-3.4
25yr72	RRDitch	BASE	16.25	94.16	98.00	14598	-2.89	-2.94	-1.5	-3.5
25yr72	RRDitch	BASE	16.50	94.17	98.00	14663	-2.93	-2.98	-1.6	-3.6
25yr72	RRDitch	BASE	16.75	94.17	98.00	14728	-2.97	-3.02	-1.6	-3.6
25yr72	RRDitch	BASE	17.00	94.17	98.00	14794	-3.01	-3.06	-1.7	-3.7
25yr72	RRDitch	BASE	17.25	94.18	98.00	14866	-3.00	-3.07	-1.8	-3.7
25yr72	RRDitch	BASE	17.50	94.18	98.00	14951	-2.93	-2.99	-1.8	-3.8
25yr72	RRDitch	BASE	17.75	94.18	98.00	15034	-2.86	-2.93	-1.9	-3.9
25yr72	RRDitch	BASE	18.00	94.19	98.00	15116	-2.83	-2.89	-1.9	-3.9
25yr72	RRDitch	BASE	18.25	94.19	98.00	15194	-2.82	-2.88	-2.0	-4.0
25yr72	RRDitch	BASE	18.50	94.19	98.00	15271	-2.83	-2.89	-2.1	-4.0
25yr72	RRDitch	BASE	18.75	94.20	98.00	15346	-2.85	-2.91	-2.1	-4.1
25yr72	RRDitch	BASE	19.00	94.20	98.00	15422	-2.87	-2.93	-2.2	-4.2
25yr72	RRDitch	BASE	19.25	94.20	98.00	15498	-2.89	-2.96	-2.2	-4.2
25yr72	RRDitch	BASE	19.50	94.21	98.00	15573	-2.92	-2.98	-2.3	-4.3
25yr72	RRDitch	BASE	19.75	94.21	98.00	15649	-2.94	-3.00	-2.4	-4.4
25yr72	RRDitch	BASE	20.00	94.22	98.00	15725	-2.96	-3.02	-2.4	-4.4
25yr72	RRDitch	BASE	20.25	94.22	98.00	15802	-2.97	-3.04	-2.5	-4.5
25yr72	RRDitch	BASE	20.50	94.22	98.00	15883	-2.98	-3.05	-2.5	-4.5
25yr72	RRDitch	BASE	20.75	94.23	98.00	15963	-2.99	-3.06	-2.6	-4.6
25yr72	RRDitch	BASE	21.00	94.23	98.00	16045	-3.00	-3.07	-2.7	-4.7

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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
25yr72	RRDitch	BASE	21.25	94.23	98.00	16127	-3.00	-3.07	-2.7	-4.7
25yr72	RRDitch	BASE	21.50	94.24	98.00	16210	-3.00	-3.07	-2.8	-4.8
25yr72	RRDitch	BASE	21.75	94.24	98.00	16294	-3.00	-3.07	-2.8	-4.9
25yr72	RRDitch	BASE	22.00	94.25	98.00	16379	-2.99	-3.06	-2.9	-4.9
25yr72	RRDitch	BASE	22.25	94.25	98.00	16465	-2.98	-3.05	-3.0	-5.0
25yr72	RRDitch	BASE	22.50	94.25	98.00	16553	-2.97	-3.04	-3.0	-5.0
25yr72	RRDitch	BASE	22.75	94.26	98.00	16640	-2.95	-3.03	-3.1	-5.1
25yr72	RRDitch	BASE	23.00	94.26	98.00	16729	-2.93	-3.01	-3.2	-5.2
25yr72	RRDitch	BASE	23.25	94.27	98.00	16819	-2.91	-2.99	-3.2	-5.2
25yr72	RRDitch	BASE	23.50	94.27	98.00	16910	-2.89	-2.97	-3.3	-5.3
25yr72	RRDitch	BASE	23.75	94.27	98.00	17001	-2.87	-2.95	-3.3	-5.4
25yr72	RRDitch	BASE	24.00	94.28	98.00	17096	-2.84	-2.93	-3.4	-5.4
25yr72	RRDitch	BASE	24.25	94.28	98.00	17203	-2.78	-2.88	-3.4	-5.5
25yr72	RRDitch	BASE	24.50	94.29	98.00	17318	-2.71	-2.81	-3.5	-5.5
25yr72	RRDitch	BASE	24.75	94.29	98.00	17433	-2.65	-2.76	-3.6	-5.6
25yr72	RRDitch	BASE	25.00	94.30	98.00	17548	-2.60	-2.71	-3.6	-5.7
25yr72	RRDitch	BASE	25.25	94.30	98.00	17664	-2.57	-2.67	-3.7	-5.7
25yr72	RRDitch	BASE	25.50	94.31	98.00	17780	-2.53	-2.63	-3.7	-5.8
25yr72	RRDitch	BASE	25.75	94.31	98.00	17898	-2.48	-2.59	-3.8	-5.8
25yr72	RRDitch	BASE	26.00	94.32	98.00	18017	-2.43	-2.54	-3.8	-5.9
25yr72	RRDitch	BASE	26.25	94.33	98.00	18136	-2.38	-2.49	-3.9	-5.9
25yr72	RRDitch	BASE	26.50	94.33	98.00	18257	-2.32	-2.44	-3.9	-6.0
25yr72	RRDitch	BASE	26.75	94.34	98.00	18380	-2.24	-2.35	-4.0	-6.0
25yr72	RRDitch	BASE	27.00	94.34	98.00	18502	-2.19	-2.30	-4.0	-6.1
25yr72	RRDitch	BASE	27.25	94.35	98.00	18624	-2.13	-2.25	-4.1	-6.1
25yr72	RRDitch	BASE	27.50	94.35	98.00	18746	-2.08	-2.20	-4.1	-6.2
25yr72	RRDitch	BASE	27.75	94.36	98.00	18869	-2.03	-2.15	-4.1	-6.2
25yr72	RRDitch	BASE	28.00	94.37	98.00	18993	-1.97	-2.09	-4.2	-6.3
25yr72	RRDitch	BASE	28.25	94.37	98.00	19116	-1.92	-2.04	-4.2	-6.3
25yr72	RRDitch	BASE	28.50	94.38	98.00	19241	-1.86	-1.99	-4.3	-6.3
25yr72	RRDitch	BASE	28.75	94.38	98.00	19365	-1.81	-1.93	-4.3	-6.4
25yr72	RRDitch	BASE	29.00	94.39	98.00	19490	-1.75	-1.88	-4.3	-6.4
25yr72	RRDitch	BASE	29.25	94.39	98.00	19615	-1.69	-1.82	-4.4	-6.5
25yr72	RRDitch	BASE	29.50	94.40	98.00	19740	-1.64	-1.77	-4.4	-6.5
25yr72	RRDitch	BASE	29.75	94.41	98.00	19866	-1.58	-1.72	-4.4	-6.5
25yr72	RRDitch	BASE	30.00	94.41	98.00	19993	-1.53	-1.66	-4.5	-6.6
25yr72	RRDitch	BASE	30.25	94.42	98.00	20119	-1.48	-1.61	-4.5	-6.6
25yr72	RRDitch	BASE	30.50	94.42	98.00	20245	-1.43	-1.56	-4.5	-6.6
25yr72	RRDitch	BASE	30.75	94.43	98.00	20371	-1.37	-1.51	-4.6	-6.7
25yr72	RRDitch	BASE	31.00	94.43	98.00	20498	-1.32	-1.46	-4.6	-6.7
25yr72	RRDitch	BASE	31.25	94.44	98.00	20626	-1.27	-1.41	-4.6	-6.7
25yr72	RRDitch	BASE	31.50	94.45	98.00	20752	-1.23	-1.36	-4.6	-6.7
25yr72	RRDitch	BASE	31.75	94.45	98.00	20880	-1.18	-1.31	-4.7	-6.8
25yr72	RRDitch	BASE	32.00	94.46	98.00	21007	-1.13	-1.27	-4.7	-6.8
25yr72	RRDitch	BASE	32.25	94.46	98.00	21134	-1.08	-1.22	-4.7	-6.8
25yr72	RRDitch	BASE	32.50	94.47	98.00	21262	-1.03	-1.17	-4.7	-6.9
25yr72	RRDitch	BASE	32.75	94.48	98.00	21389	-0.98	-1.13	-4.8	-6.9
25yr72	RRDitch	BASE	33.00	94.48	98.00	21517	-0.93	-1.08	-4.8	-6.9
25yr72	RRDitch	BASE	33.25	94.49	98.00	21645	-0.88	-1.03	-4.8	-6.9
25yr72	RRDitch	BASE	33.50	94.49	98.00	21773	-0.83	-0.97	-4.8	-6.9
25yr72	RRDitch	BASE	33.75	94.50	98.00	21901	-0.77	-0.92	-4.8	-7.0
25yr72	RRDitch	BASE	34.00	94.50	98.00	22029	-0.72	-0.87	-4.8	-7.0
25yr72	RRDitch	BASE	34.25	94.51	98.00	22158	-0.68	-0.83	-4.9	-7.0
25yr72	RRDitch	BASE	34.50	94.52	98.00	22286	-0.63	-0.78	-4.9	-7.0
25yr72	RRDitch	BASE	34.75	94.52	98.00	22414	-0.59	-0.74	-4.9	-7.0
25yr72	RRDitch	BASE	35.00	94.53	98.00	22542	-0.55	-0.70	-4.9	-7.0
25yr72	RRDitch	BASE	35.25	94.53	98.00	22670	-0.51	-0.66	-4.9	-7.1
25yr72	RRDitch	BASE	35.50	94.54	98.00	22798	-0.48	-0.63	-4.9	-7.1
25yr72	RRDitch	BASE	35.75	94.55	98.00	22925	-0.44	-0.60	-4.9	-7.1
25yr72	RRDitch	BASE	36.00	94.55	98.00	23053	-0.41	-0.57	-4.9	-7.1
25yr72	RRDitch	BASE	36.25	94.56	98.00	23180	-0.38	-0.53	-4.9	-7.1
25yr72	RRDitch	BASE	36.50	94.56	98.00	23307	-0.34	-0.50	-5.0	-7.1
25yr72	RRDitch	BASE	36.75	94.57	98.00	23435	-0.31	-0.47	-5.0	-7.1
25yr72	RRDitch	BASE	37.00	94.58	98.00	23563	-0.27	-0.43	-5.0	-7.1
25yr72	RRDitch	BASE	37.25	94.58	98.00	23690	-0.24	-0.40	-5.0	-7.1
25yr72	RRDitch	BASE	37.50	94.59	98.00	23817	-0.20	-0.36	-5.0	-7.2
25yr72	RRDitch	BASE	37.75	94.59	98.00	23944	-0.17	-0.33	-5.0	-7.2
25yr72	RRDitch	BASE	38.00	94.60	98.00	24072	-0.13	-0.30	-5.0	-7.2
25yr72	RRDitch	BASE	38.25	94.60	98.00	24199	-0.10	-0.26	-5.0	-7.2
25yr72	RRDitch	BASE	38.50	94.61	98.00	24325	-0.06	-0.23	-5.0	-7.2
25yr72	RRDitch	BASE	38.75	94.62	98.00	24452	-0.03	-0.19	-5.0	-7.2
25yr72	RRDitch	BASE	39.00	94.62	98.00	24578	0.02	-0.14	-5.0	-7.2
25yr72	RRDitch	BASE	39.25	94.63	98.00	24704	0.05	-0.20	-5.0	-7.2
25yr72	RRDitch	BASE	39.50	94.63	98.00	24830	0.09	-0.16	-5.0	-7.2
25yr72	RRDitch	BASE	39.75	94.64	98.00	24956	0.12	-0.16	-5.0	-7.2
25yr72	RRDitch	BASE	40.00	94.65	98.00	25082	0.16	0.00	-5.0	-7.2
25yr72	RRDitch	BASE	40.25	94.65	98.00	25207	0.19	0.00	-5.0	-7.2
25yr72	RRDitch	BASE	40.50	94.66	98.00	25333	0.23	0.20	-5.0	-7.2
25yr72	RRDitch	BASE	40.75	94.66	98.00	25458	0.27	0.00	-5.0	-7.2
25yr72	RRDitch	BASE	41.00	94.67	98.00	25584	0.31	0.00	-5.0	-7.2
25yr72	RRDitch	BASE	41.25	94.67	98.00	25709	0.35	0.00	-5.0	-7.2
25yr72	RRDitch	BASE	41.50	94.68	98.00	25834	0.39	0.22	-4.9	-7.2
25yr72	RRDitch	BASE	41.75	94.69	98.00	25959	0.44	0.26	-4.9	-7.2
25yr72	RRDitch	BASE	42.00	94.69	98.00	26084	0.48	0.30	-4.9	-7.2
25yr72	RRDitch	BASE	42.25	94.70	98.00	26209	0.52	0.35	-4.9	-7.2



Turnpike Pond at Regal Yacht Center  
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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
25yr72	RRDitch	BASE	42.50	94.70	98.00	26333	0.56	0.39	-4.9	-7.2
25yr72	RRDitch	BASE	42.75	94.71	98.00	26458	0.61	0.44	-4.9	-7.2
25yr72	RRDitch	BASE	43.00	94.71	98.00	26583	0.66	0.48	-4.9	-7.1
25yr72	RRDitch	BASE	43.25	94.72	98.00	26708	0.71	0.53	-4.9	-7.1
25yr72	RRDitch	BASE	43.50	94.73	98.00	26833	0.76	0.58	-4.9	-7.1
25yr72	RRDitch	BASE	43.75	94.73	98.00	26957	0.81	0.63	-4.8	-7.1
25yr72	RRDitch	BASE	44.00	94.74	98.00	27082	0.86	0.68	-4.8	-7.1
25yr72	RRDitch	BASE	44.25	94.74	98.00	27206	0.90	0.73	-4.8	-7.1
25yr72	RRDitch	BASE	44.50	94.75	98.00	27331	0.95	0.78	-4.8	-7.1
25yr72	RRDitch	BASE	44.75	94.75	98.00	27455	1.00	0.82	-4.8	-7.1
25yr72	RRDitch	BASE	45.00	94.76	98.00	27579	1.05	0.87	-4.7	-7.0
25yr72	RRDitch	BASE	45.25	94.77	98.00	27704	1.10	0.92	-4.7	-7.0
25yr72	RRDitch	BASE	45.50	94.77	98.00	27828	1.15	0.97	-4.7	-7.0
25yr72	RRDitch	BASE	45.75	94.78	98.00	27953	1.19	1.01	-4.7	-7.0
25yr72	RRDitch	BASE	46.00	94.78	98.00	28076	1.24	1.06	-4.6	-7.0
25yr72	RRDitch	BASE	46.25	94.79	98.00	28200	1.29	1.10	-4.6	-6.9
25yr72	RRDitch	BASE	46.50	94.79	98.00	28324	1.33	1.15	-4.6	-6.9
25yr72	RRDitch	BASE	46.75	94.80	98.00	28448	1.37	1.19	-4.6	-6.9
25yr72	RRDitch	BASE	47.00	94.81	98.00	28571	1.44	1.26	-4.5	-6.9
25yr72	RRDitch	BASE	47.25	94.81	98.00	28696	1.54	1.35	-4.5	-6.8
25yr72	RRDitch	BASE	47.50	94.82	98.00	28822	1.68	1.49	-4.5	-6.8
25yr72	RRDitch	BASE	47.75	94.82	98.00	28949	1.79	1.60	-4.4	-6.8
25yr72	RRDitch	BASE	48.00	94.83	98.00	29079	1.92	1.73	-4.4	-6.7
25yr72	RRDitch	BASE	48.25	94.84	98.00	29213	2.09	1.88	-4.4	-6.7
25yr72	RRDitch	BASE	48.50	94.84	98.00	29350	2.24	2.03	-4.3	-6.7
25yr72	RRDitch	BASE	48.75	94.85	98.00	29488	2.38	2.17	-4.3	-6.6
25yr72	RRDitch	BASE	49.00	94.85	98.00	29629	2.53	2.31	-4.2	-6.6
25yr72	RRDitch	BASE	49.25	94.86	98.00	29771	2.68	2.46	-4.2	-6.5
25yr72	RRDitch	BASE	49.50	94.87	98.00	29915	2.83	2.61	-4.1	-6.5
25yr72	RRDitch	BASE	49.75	94.87	98.00	30059	2.98	2.75	-4.0	-6.4
25yr72	RRDitch	BASE	50.00	94.88	98.00	30207	3.14	2.90	-4.0	-6.4
25yr72	RRDitch	BASE	50.25	94.89	98.00	30363	3.34	3.09	-3.9	-6.3
25yr72	RRDitch	BASE	50.50	94.90	98.00	30523	3.52	3.27	-3.8	-6.2
25yr72	RRDitch	BASE	50.75	94.90	98.00	30683	3.68	3.43	-3.8	-6.2
25yr72	RRDitch	BASE	51.00	94.91	98.00	30846	3.84	3.58	-3.7	-6.1
25yr72	RRDitch	BASE	51.25	94.92	98.00	31014	4.02	3.75	-3.6	-6.0
25yr72	RRDitch	BASE	51.50	94.93	98.00	31183	4.18	3.91	-3.5	-5.9
25yr72	RRDitch	BASE	51.75	94.93	98.00	31352	4.33	4.06	-3.4	-5.9
25yr72	RRDitch	BASE	52.00	94.94	98.00	31526	4.51	4.22	-3.3	-5.8
25yr72	RRDitch	BASE	52.25	94.95	98.00	31713	4.79	4.47	-3.3	-5.7
25yr72	RRDitch	BASE	52.50	94.96	98.00	31910	5.03	4.71	-3.1	-5.6
25yr72	RRDitch	BASE	52.75	94.97	98.00	32105	5.28	4.96	-3.0	-5.5
25yr72	RRDitch	BASE	53.00	94.98	98.00	32305	5.55	5.21	-2.9	-5.4
25yr72	RRDitch	BASE	53.25	94.99	98.00	32521	5.92	5.55	-2.8	-5.3
25yr72	RRDitch	BASE	53.50	95.00	98.00	32745	6.23	5.86	-2.7	-5.1
25yr72	RRDitch	BASE	53.75	95.01	98.00	32969	6.52	6.14	-2.6	-5.0
25yr72	RRDitch	BASE	54.00	95.02	98.00	33201	6.82	6.42	-2.4	-4.9
25yr72	RRDitch	BASE	54.25	95.03	98.00	33450	7.21	6.76	-2.3	-4.8
25yr72	RRDitch	BASE	54.50	95.04	98.00	33711	7.58	7.12	-2.1	-4.6
25yr72	RRDitch	BASE	54.75	95.06	98.00	33973	7.90	7.44	-2.0	-4.5
25yr72	RRDitch	BASE	55.00	95.07	98.00	34243	8.23	7.75	-1.8	-4.3
25yr72	RRDitch	BASE	55.25	95.08	98.00	34537	8.54	7.98	-1.6	-4.1
25yr72	RRDitch	BASE	55.50	95.10	98.00	34863	8.49	7.88	-1.4	-4.0
25yr72	RRDitch	BASE	55.75	95.11	98.00	35206	8.23	7.60	-1.3	-3.8
25yr72	RRDitch	BASE	56.00	95.13	98.00	35569	7.92	7.23	-1.1	-3.7
25yr72	RRDitch	BASE	56.25	95.15	98.00	35964	7.66	6.90	-0.9	-3.5
25yr72	RRDitch	BASE	56.50	95.17	98.00	36381	7.34	6.55	-0.8	-3.4
25yr72	RRDitch	BASE	56.75	95.19	98.00	36809	6.99	6.17	-0.6	-3.3
25yr72	RRDitch	BASE	57.00	95.21	98.00	37255	6.62	5.74	-0.5	-3.1
25yr72	RRDitch	BASE	57.25	95.23	98.00	37735	6.40	5.44	-0.4	-3.0
25yr72	RRDitch	BASE	57.50	95.25	98.00	38241	6.19	5.17	-0.2	-2.9
25yr72	RRDitch	BASE	57.75	95.28	98.00	38776	6.07	4.98	-0.1	-2.8
25yr72	RRDitch	BASE	58.00	95.30	98.00	39335	5.97	4.82	0.0	-2.7
25yr72	RRDitch	BASE	58.25	95.33	98.00	39926	6.00	4.76	0.1	-2.6
25yr72	RRDitch	BASE	58.50	95.36	98.00	40556	6.10	4.74	0.3	-2.5
25yr72	RRDitch	BASE	58.75	95.39	98.00	41259	6.60	5.01	0.4	-2.4
25yr72	RRDitch	BASE	59.00	95.43	98.00	42058	7.23	5.39	0.5	-2.3
25yr72	RRDitch	BASE	59.25	95.47	98.00	43007	8.40	6.12	0.7	-2.2
25yr72	RRDitch	BASE	59.50	95.55	98.00	44741	12.12	6.86	0.9	-2.0
25yr72	RRDitch	BASE	59.75	95.74	98.00	48827	28.30	13.26	1.3	-1.8
25yr72	RRDitch	BASE	60.00	96.00	98.00	54483	36.28	21.60	2.0	-1.5
25yr72	RRDitch	BASE	60.25	96.17	98.00	58083	29.77	23.72	2.7	-1.0
25yr72	RRDitch	BASE	60.50	96.26	98.00	60101	29.71	23.48	3.3	-0.5
25yr72	RRDitch	BASE	60.75	96.35	98.00	62070	30.28	24.88	3.9	0.0
25yr72	RRDitch	BASE	61.00	96.42	98.00	63641	30.48	25.99	4.5	0.5
25yr72	RRDitch	BASE	61.25	96.48	98.00	64857	30.11	26.61	5.2	1.1
25yr72	RRDitch	BASE	61.50	96.52	98.00	65829	29.87	26.94	5.8	1.6
25yr72	RRDitch	BASE	61.75	96.56	98.00	66619	29.52	27.08	6.4	2.2
25yr72	RRDitch	BASE	62.00	96.59	98.00	67293	29.29	27.16	7.0	2.7
25yr72	RRDitch	BASE	62.25	96.61	98.00	67850	28.91	27.18	7.6	3.3
25yr72	RRDitch	BASE	62.50	96.64	98.00	68328	28.72	27.17	8.2	3.9
25yr72	RRDitch	BASE	62.75	96.66	98.00	68743	28.51	27.14	8.8	4.4
25yr72	RRDitch	BASE	63.00	96.67	98.00	69119	28.38	27.12	9.4	5.0
25yr72	RRDitch	BASE	63.25	96.69	98.00	69467	28.30	27.10	10.0	5.5
25yr72	RRDitch	BASE	63.50	96.70	98.00	69798	28.26	27.10	10.6	6.1

Turnpike Pond at Regal Yacht Center  
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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
25yr72	RRDitch	BASE	63.75	96.72	98.00	70117	28.24	27.12	11.1	6.7
25yr72	RRDitch	BASE	64.00	96.73	98.00	70413	28.17	27.15	11.7	7.2
25yr72	RRDitch	BASE	64.25	96.74	98.00	70654	27.90	27.15	12.3	7.8
25yr72	RRDitch	BASE	64.50	96.75	98.00	70856	27.82	27.14	12.9	8.3
25yr72	RRDitch	BASE	64.75	96.76	98.00	71038	27.76	27.12	13.4	8.9
25yr72	RRDitch	BASE	65.00	96.77	98.00	71209	27.72	27.11	14.0	9.5
25yr72	RRDitch	BASE	65.25	96.78	98.00	71372	27.70	27.12	14.6	10.0
25yr72	RRDitch	BASE	65.50	96.78	98.00	71528	27.70	27.14	15.2	10.6
25yr72	RRDitch	BASE	65.75	96.79	98.00	71680	27.71	27.17	15.7	11.1
25yr72	RRDitch	BASE	66.00	96.80	98.00	71825	27.75	27.22	16.3	11.7
25yr72	RRDitch	BASE	66.25	96.80	98.00	71968	27.79	27.27	16.9	12.3
25yr72	RRDitch	BASE	66.50	96.81	98.00	72108	27.85	27.34	17.5	12.8
25yr72	RRDitch	BASE	66.75	96.82	98.00	72244	27.91	27.42	18.0	13.4
25yr72	RRDitch	BASE	67.00	96.82	98.00	72376	27.99	27.50	18.6	14.0
25yr72	RRDitch	BASE	67.25	96.83	98.00	72505	28.07	27.59	19.2	14.5
25yr72	RRDitch	BASE	67.50	96.83	98.00	72633	28.16	27.70	19.8	15.1
25yr72	RRDitch	BASE	67.75	96.84	98.00	72758	28.26	27.80	20.4	15.7
25yr72	RRDitch	BASE	68.00	96.85	98.00	72874	28.32	27.92	20.9	16.2
25yr72	RRDitch	BASE	68.25	96.85	98.00	72962	28.28	28.01	21.5	16.8
25yr72	RRDitch	BASE	68.50	96.85	98.00	73031	28.33	28.10	22.1	17.4
25yr72	RRDitch	BASE	68.75	96.86	98.00	73091	28.39	28.18	22.7	18.0
25yr72	RRDitch	BASE	69.00	96.86	98.00	73143	28.45	28.27	23.3	18.6
25yr72	RRDitch	BASE	69.25	96.86	98.00	73191	28.52	28.35	23.9	19.2
25yr72	RRDitch	BASE	69.50	96.86	98.00	73234	28.60	28.45	24.5	19.7
25yr72	RRDitch	BASE	69.75	96.86	98.00	73273	28.68	28.54	25.1	20.3
25yr72	RRDitch	BASE	70.00	96.87	98.00	73309	28.76	28.63	25.6	20.9
25yr72	RRDitch	BASE	70.25	96.87	98.00	73343	28.85	28.73	26.2	21.5
25yr72	RRDitch	BASE	70.50	96.87	98.00	73374	28.95	28.84	26.8	22.1
25yr72	RRDitch	BASE	70.75	96.87	98.00	73402	29.05	28.95	27.4	22.7
25yr72	RRDitch	BASE	71.00	96.87	98.00	73427	29.17	29.08	28.0	23.3
25yr72	RRDitch	BASE	71.25	96.87	98.00	73448	29.31	29.23	28.6	23.9
25yr72	RRDitch	BASE	71.50	96.87	98.00	73466	29.47	29.41	29.3	24.5
25yr72	RRDitch	BASE	71.75	96.87	98.00	73480	29.66	29.62	29.9	25.1
25yr72	RRDitch	BASE	72.00	96.87	98.00	73462	29.50	29.80	30.5	25.7
25yr72	RRDitch	BASE	72.00	96.87	98.00	73462	29.50	29.80	30.5	25.7

Turnpike Pond at Regal Yacht Center  
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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
100y72	RRDitch	BASE	0.00	94.00	98.00	11059	0.00	0.00	0.0	0.0
100y72	RRDitch	BASE	0.25	93.97	98.00	282	0.00	-4.39	0.0	-0.0
100y72	RRDitch	BASE	0.50	93.97	98.00	282	0.00	-4.39	0.0	-0.1
100y72	RRDitch	BASE	0.75	93.97	98.00	282	0.00	-4.36	0.0	-0.2
100y72	RRDitch	BASE	1.00	93.97	98.00	282	0.00	-4.39	0.0	-0.3
100y72	RRDitch	BASE	1.25	93.97	98.00	282	0.00	-4.36	0.0	-0.4
100y72	RRDitch	BASE	1.50	93.97	98.00	282	0.00	-4.42	0.0	-0.5
100y72	RRDitch	BASE	1.75	93.97	98.00	282	0.00	-4.40	0.0	-0.6
100y72	RRDitch	BASE	2.00	93.97	98.00	282	0.00	-4.40	0.0	-0.7
100y72	RRDitch	BASE	2.25	93.97	98.00	282	0.00	-4.48	0.0	-0.8
100y72	RRDitch	BASE	2.50	93.98	98.00	282	0.00	-4.47	0.0	-0.9
100y72	RRDitch	BASE	2.75	93.98	98.00	282	0.00	-4.42	0.0	-1.0
100y72	RRDitch	BASE	3.00	93.98	98.00	282	0.00	-4.45	0.0	-1.0
100y72	RRDitch	BASE	3.25	93.98	98.00	282	0.00	-4.49	0.0	-1.1
100y72	RRDitch	BASE	3.50	93.99	98.00	282	0.00	-4.52	0.0	-1.2
100y72	RRDitch	BASE	3.75	93.99	98.00	282	0.00	-4.56	0.0	-1.3
100y72	RRDitch	BASE	4.00	93.99	98.00	282	0.01	-4.61	0.0	-1.4
100y72	RRDitch	BASE	4.25	93.99	98.00	282	0.01	-4.65	0.0	-1.5
100y72	RRDitch	BASE	4.50	94.00	98.00	282	0.01	-4.70	0.0	-1.6
100y72	RRDitch	BASE	4.75	94.00	98.00	282	0.02	-4.75	0.0	-1.7
100y72	RRDitch	BASE	5.00	94.04	98.00	11849	-0.41	-0.47	-0.0	-1.8
100y72	RRDitch	BASE	5.25	94.04	98.00	11914	-0.46	-0.50	-0.0	-1.8
100y72	RRDitch	BASE	5.50	94.04	98.00	11980	-0.52	-0.56	-0.0	-1.8
100y72	RRDitch	BASE	5.75	94.05	98.00	12047	-0.57	-0.61	-0.0	-1.8
100y72	RRDitch	BASE	6.00	94.05	98.00	12114	-0.63	-0.67	-0.0	-1.8
100y72	RRDitch	BASE	6.25	94.05	98.00	12182	-0.68	-0.73	-0.1	-1.8
100y72	RRDitch	BASE	6.50	94.05	98.00	12250	-0.74	-0.79	-0.1	-1.8
100y72	RRDitch	BASE	6.75	94.06	98.00	12319	-0.80	-0.85	-0.1	-1.9
100y72	RRDitch	BASE	7.00	94.06	98.00	12387	-0.86	-0.91	-0.1	-1.9
100y72	RRDitch	BASE	7.25	94.06	98.00	12456	-0.92	-0.97	-0.1	-1.9
100y72	RRDitch	BASE	7.50	94.07	98.00	12525	-0.99	-1.03	-0.1	-1.9
100y72	RRDitch	BASE	7.75	94.07	98.00	12594	-1.05	-1.09	-0.2	-1.9
100y72	RRDitch	BASE	8.00	94.07	98.00	12663	-1.11	-1.16	-0.2	-2.0
100y72	RRDitch	BASE	8.25	94.08	98.00	12732	-1.17	-1.22	-0.2	-2.0
100y72	RRDitch	BASE	8.50	94.08	98.00	12802	-1.24	-1.28	-0.2	-2.0
100y72	RRDitch	BASE	8.75	94.08	98.00	12871	-1.30	-1.35	-0.3	-2.0
100y72	RRDitch	BASE	9.00	94.09	98.00	12940	-1.36	-1.41	-0.3	-2.1
100y72	RRDitch	BASE	9.25	94.09	98.00	13008	-1.43	-1.47	-0.3	-2.1
100y72	RRDitch	BASE	9.50	94.09	98.00	13077	-1.49	-1.53	-0.4	-2.1
100y72	RRDitch	BASE	9.75	94.10	98.00	13146	-1.55	-1.60	-0.4	-2.2
100y72	RRDitch	BASE	10.00	94.10	98.00	13215	-1.61	-1.66	-0.4	-2.2
100y72	RRDitch	BASE	10.25	94.10	98.00	13284	-1.67	-1.72	-0.4	-2.2
100y72	RRDitch	BASE	10.50	94.11	98.00	13352	-1.73	-1.78	-0.5	-2.3
100y72	RRDitch	BASE	10.75	94.11	98.00	13420	-1.79	-1.84	-0.5	-2.3
100y72	RRDitch	BASE	11.00	94.11	98.00	13489	-1.85	-1.90	-0.6	-2.3
100y72	RRDitch	BASE	11.25	94.11	98.00	13557	-1.91	-1.96	-0.6	-2.4
100y72	RRDitch	BASE	11.50	94.12	98.00	13625	-1.97	-2.02	-0.6	-2.4
100y72	RRDitch	BASE	11.75	94.12	98.00	13694	-2.02	-2.07	-0.7	-2.5
100y72	RRDitch	BASE	12.00	94.12	98.00	13762	-2.08	-2.13	-0.7	-2.5
100y72	RRDitch	BASE	12.25	94.13	98.00	13832	-2.13	-2.18	-0.8	-2.6
100y72	RRDitch	BASE	12.50	94.13	98.00	13901	-2.19	-2.24	-0.8	-2.6
100y72	RRDitch	BASE	12.75	94.13	98.00	13971	-2.24	-2.29	-0.9	-2.6
100y72	RRDitch	BASE	13.00	94.14	98.00	14040	-2.29	-2.34	-0.9	-2.7
100y72	RRDitch	BASE	13.25	94.14	98.00	14111	-2.34	-2.39	-0.9	-2.7
100y72	RRDitch	BASE	13.50	94.14	98.00	14185	-2.35	-2.42	-1.0	-2.8
100y72	RRDitch	BASE	13.75	94.15	98.00	14277	-2.23	-2.30	-1.0	-2.8
100y72	RRDitch	BASE	14.00	94.15	98.00	14369	-2.13	-2.20	-1.1	-2.9
100y72	RRDitch	BASE	14.25	94.16	98.00	14458	-2.08	-2.14	-1.1	-2.9
100y72	RRDitch	BASE	14.50	94.16	98.00	14543	-2.06	-2.13	-1.2	-3.0
100y72	RRDitch	BASE	14.75	94.16	98.00	14627	-2.08	-2.14	-1.2	-3.0
100y72	RRDitch	BASE	15.00	94.17	98.00	14709	-2.11	-2.17	-1.3	-3.1
100y72	RRDitch	BASE	15.25	94.17	98.00	14791	-2.14	-2.20	-1.3	-3.1
100y72	RRDitch	BASE	15.50	94.18	98.00	14872	-2.18	-2.24	-1.4	-3.2
100y72	RRDitch	BASE	15.75	94.18	98.00	14955	-2.21	-2.28	-1.4	-3.2
100y72	RRDitch	BASE	16.00	94.18	98.00	15036	-2.25	-2.31	-1.4	-3.3
100y72	RRDitch	BASE	16.25	94.19	98.00	15119	-2.28	-2.35	-1.5	-3.3
100y72	RRDitch	BASE	16.50	94.19	98.00	15202	-2.31	-2.37	-1.5	-3.3
100y72	RRDitch	BASE	16.75	94.19	98.00	15286	-2.33	-2.40	-1.6	-3.4
100y72	RRDitch	BASE	17.00	94.20	98.00	15370	-2.36	-2.42	-1.6	-3.4
100y72	RRDitch	BASE	17.25	94.20	98.00	15456	-2.37	-2.44	-1.7	-3.5
100y72	RRDitch	BASE	17.50	94.21	98.00	15541	-2.38	-2.45	-1.7	-3.5
100y72	RRDitch	BASE	17.75	94.21	98.00	15627	-2.39	-2.46	-1.8	-3.6
100y72	RRDitch	BASE	18.00	94.21	98.00	15714	-2.40	-2.47	-1.8	-3.6
100y72	RRDitch	BASE	18.25	94.22	98.00	15802	-2.39	-2.47	-1.9	-3.7
100y72	RRDitch	BASE	18.50	94.22	98.00	15893	-2.39	-2.46	-1.9	-3.8
100y72	RRDitch	BASE	18.75	94.23	98.00	15985	-2.38	-2.45	-2.0	-3.8
100y72	RRDitch	BASE	19.00	94.23	98.00	16078	-2.36	-2.44	-2.0	-3.9
100y72	RRDitch	BASE	19.25	94.24	98.00	16172	-2.34	-2.42	-2.1	-3.9
100y72	RRDitch	BASE	19.50	94.24	98.00	16267	-2.31	-2.40	-2.1	-4.0
100y72	RRDitch	BASE	19.75	94.24	98.00	16363	-2.28	-2.37	-2.2	-4.0
100y72	RRDitch	BASE	20.00	94.25	98.00	16461	-2.25	-2.33	-2.2	-4.0
100y72	RRDitch	BASE	20.25	94.25	98.00	16560	-2.21	-2.30	-2.3	-4.1
100y72	RRDitch	BASE	20.50	94.26	98.00	16659	-2.17	-2.26	-2.3	-4.1
100y72	RRDitch	BASE	20.75	94.26	98.00	16760	-2.13	-2.22	-2.4	-4.2
100y72	RRDitch	BASE	21.00	94.27	98.00	16861	-2.08	-2.17	-2.4	-4.2

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Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
100y72	RRDitch	BASE	21.25	94.27	98.00	16964	-2.03	-2.12	-2.4	-4.3
100y72	RRDitch	BASE	21.50	94.28	98.00	17068	-1.98	-2.07	-2.5	-4.3
100y72	RRDitch	BASE	21.75	94.28	98.00	17172	-1.92	-2.02	-2.5	-4.4
100y72	RRDitch	BASE	22.00	94.29	98.00	17278	-1.87	-1.96	-2.6	-4.4
100y72	RRDitch	BASE	22.25	94.29	98.00	17384	-1.81	-1.91	-2.6	-4.4
100y72	RRDitch	BASE	22.50	94.30	98.00	17491	-1.75	-1.85	-2.6	-4.5
100y72	RRDitch	BASE	22.75	94.30	98.00	17599	-1.69	-1.79	-2.7	-4.5
100y72	RRDitch	BASE	23.00	94.31	98.00	17707	-1.64	-1.74	-2.7	-4.6
100y72	RRDitch	BASE	23.25	94.31	98.00	17816	-1.58	-1.68	-2.7	-4.6
100y72	RRDitch	BASE	23.50	94.32	98.00	17925	-1.52	-1.62	-2.8	-4.6
100y72	RRDitch	BASE	23.75	94.32	98.00	18035	-1.46	-1.56	-2.8	-4.7
100y72	RRDitch	BASE	24.00	94.33	98.00	18151	-1.39	-1.51	-2.8	-4.7
100y72	RRDitch	BASE	24.25	94.33	98.00	18278	-1.30	-1.43	-2.9	-4.7
100y72	RRDitch	BASE	24.50	94.34	98.00	18414	-1.19	-1.32	-2.9	-4.8
100y72	RRDitch	BASE	24.75	94.34	98.00	18552	-1.10	-1.24	-2.9	-4.8
100y72	RRDitch	BASE	25.00	94.35	98.00	18689	-1.03	-1.16	-2.9	-4.8
100y72	RRDitch	BASE	25.25	94.36	98.00	18828	-0.96	-1.10	-2.9	-4.8
100y72	RRDitch	BASE	25.50	94.36	98.00	18967	-0.90	-1.04	-3.0	-4.8
100y72	RRDitch	BASE	25.75	94.37	98.00	19107	-0.84	-0.98	-3.0	-4.9
100y72	RRDitch	BASE	26.00	94.38	98.00	19248	-0.78	-0.92	-3.0	-4.9
100y72	RRDitch	BASE	26.25	94.38	98.00	19388	-0.71	-0.85	-3.0	-4.9
100y72	RRDitch	BASE	26.50	94.39	98.00	19529	-0.64	-0.79	-3.0	-4.9
100y72	RRDitch	BASE	26.75	94.40	98.00	19670	-0.58	-0.72	-3.0	-4.9
100y72	RRDitch	BASE	27.00	94.40	98.00	19811	-0.51	-0.66	-3.1	-5.0
100y72	RRDitch	BASE	27.25	94.41	98.00	19952	-0.44	-0.59	-3.1	-5.0
100y72	RRDitch	BASE	27.50	94.42	98.00	20093	-0.37	-0.52	-3.1	-5.0
100y72	RRDitch	BASE	27.75	94.42	98.00	20235	-0.29	-0.44	-3.1	-5.0
100y72	RRDitch	BASE	28.00	94.43	98.00	20377	-0.21	-0.36	-3.1	-5.0
100y72	RRDitch	BASE	28.25	94.44	98.00	20518	-0.13	-0.29	-3.1	-5.0
100y72	RRDitch	BASE	28.50	94.44	98.00	20660	-0.05	-0.20	-3.1	-5.0
100y72	RRDitch	BASE	28.75	94.45	98.00	20802	0.04	-0.20	-3.1	-5.0
100y72	RRDitch	BASE	29.00	94.45	98.00	20944	0.12	0.00	-3.1	-5.0
100y72	RRDitch	BASE	29.25	94.46	98.00	21086	0.20	0.21	-3.1	-5.0
100y72	RRDitch	BASE	29.50	94.47	98.00	21228	0.28	0.24	-3.1	-5.0
100y72	RRDitch	BASE	29.75	94.47	98.00	21369	0.35	0.19	-3.1	-5.0
100y72	RRDitch	BASE	30.00	94.48	98.00	21511	0.42	0.26	-3.1	-5.0
100y72	RRDitch	BASE	30.25	94.49	98.00	21654	0.50	0.33	-3.1	-5.0
100y72	RRDitch	BASE	30.50	94.49	98.00	21796	0.56	0.40	-3.0	-5.0
100y72	RRDitch	BASE	30.75	94.50	98.00	21938	0.63	0.47	-3.0	-5.0
100y72	RRDitch	BASE	31.00	94.51	98.00	22080	0.69	0.53	-3.0	-5.0
100y72	RRDitch	BASE	31.25	94.51	98.00	22222	0.75	0.59	-3.0	-5.0
100y72	RRDitch	BASE	31.50	94.52	98.00	22364	0.81	0.64	-3.0	-4.9
100y72	RRDitch	BASE	31.75	94.53	98.00	22505	0.86	0.70	-3.0	-4.9
100y72	RRDitch	BASE	32.00	94.53	98.00	22646	0.92	0.75	-3.0	-4.9
100y72	RRDitch	BASE	32.25	94.54	98.00	22786	0.97	0.80	-2.9	-4.9
100y72	RRDitch	BASE	32.50	94.55	98.00	22926	1.01	0.84	-2.9	-4.9
100y72	RRDitch	BASE	32.75	94.55	98.00	23066	1.06	0.89	-2.9	-4.9
100y72	RRDitch	BASE	33.00	94.56	98.00	23205	1.11	0.95	-2.9	-4.8
100y72	RRDitch	BASE	33.25	94.57	98.00	23344	1.17	1.00	-2.8	-4.8
100y72	RRDitch	BASE	33.50	94.57	98.00	23483	1.23	1.06	-2.8	-4.8
100y72	RRDitch	BASE	33.75	94.58	98.00	23621	1.29	1.12	-2.8	-4.8
100y72	RRDitch	BASE	34.00	94.58	98.00	23759	1.35	1.18	-2.8	-4.8
100y72	RRDitch	BASE	34.25	94.59	98.00	23898	1.42	1.25	-2.7	-4.7
100y72	RRDitch	BASE	34.50	94.60	98.00	24036	1.49	1.31	-2.7	-4.7
100y72	RRDitch	BASE	34.75	94.60	98.00	24173	1.55	1.38	-2.7	-4.7
100y72	RRDitch	BASE	35.00	94.61	98.00	24310	1.62	1.44	-2.6	-4.6
100y72	RRDitch	BASE	35.25	94.62	98.00	24447	1.69	1.51	-2.6	-4.6
100y72	RRDitch	BASE	35.50	94.62	98.00	24584	1.77	1.59	-2.6	-4.6
100y72	RRDitch	BASE	35.75	94.63	98.00	24721	1.85	1.67	-2.5	-4.6
100y72	RRDitch	BASE	36.00	94.63	98.00	24856	1.90	1.73	-2.5	-4.5
100y72	RRDitch	BASE	36.25	94.64	98.00	24993	1.98	1.80	-2.5	-4.5
100y72	RRDitch	BASE	36.50	94.65	98.00	25129	2.06	1.88	-2.4	-4.4
100y72	RRDitch	BASE	36.75	94.65	98.00	25266	2.14	1.96	-2.4	-4.4
100y72	RRDitch	BASE	37.00	94.66	98.00	25401	2.22	2.04	-2.3	-4.4
100y72	RRDitch	BASE	37.25	94.67	98.00	25537	2.31	2.13	-2.3	-4.3
100y72	RRDitch	BASE	37.50	94.67	98.00	25673	2.38	2.21	-2.2	-4.3
100y72	RRDitch	BASE	37.75	94.68	98.00	25808	2.46	2.28	-2.2	-4.2
100y72	RRDitch	BASE	38.00	94.68	98.00	25942	2.55	2.37	-2.1	-4.2
100y72	RRDitch	BASE	38.25	94.69	98.00	26076	2.62	2.43	-2.1	-4.1
100y72	RRDitch	BASE	38.50	94.70	98.00	26210	2.69	2.51	-2.0	-4.1
100y72	RRDitch	BASE	38.75	94.70	98.00	26344	2.77	2.60	-2.0	-4.0
100y72	RRDitch	BASE	39.00	94.71	98.00	26479	2.90	2.72	-1.9	-4.0
100y72	RRDitch	BASE	39.25	94.72	98.00	26613	3.05	2.87	-1.8	-3.9
100y72	RRDitch	BASE	39.50	94.72	98.00	26750	3.23	3.04	-1.8	-3.9
100y72	RRDitch	BASE	39.75	94.73	98.00	26888	3.41	3.22	-1.7	-3.8
100y72	RRDitch	BASE	40.00	94.73	98.00	27028	3.60	3.41	-1.6	-3.7
100y72	RRDitch	BASE	40.25	94.74	98.00	27167	3.79	3.60	-1.6	-3.6
100y72	RRDitch	BASE	40.50	94.75	98.00	27309	3.99	3.79	-1.5	-3.6
100y72	RRDitch	BASE	40.75	94.75	98.00	27451	4.19	3.98	-1.4	-3.5
100y72	RRDitch	BASE	41.00	94.76	98.00	27595	4.37	4.17	-1.3	-3.4
100y72	RRDitch	BASE	41.25	94.77	98.00	27738	4.56	4.35	-1.2	-3.3
100y72	RRDitch	BASE	41.50	94.77	98.00	27882	4.74	4.53	-1.1	-3.2
100y72	RRDitch	BASE	41.75	94.78	98.00	28027	4.91	4.70	-1.0	-3.1
100y72	RRDitch	BASE	42.00	94.79	98.00	28172	5.07	4.86	-0.9	-3.0
100y72	RRDitch	BASE	42.25	94.79	98.00	28318	5.23	5.02	-0.8	-2.9

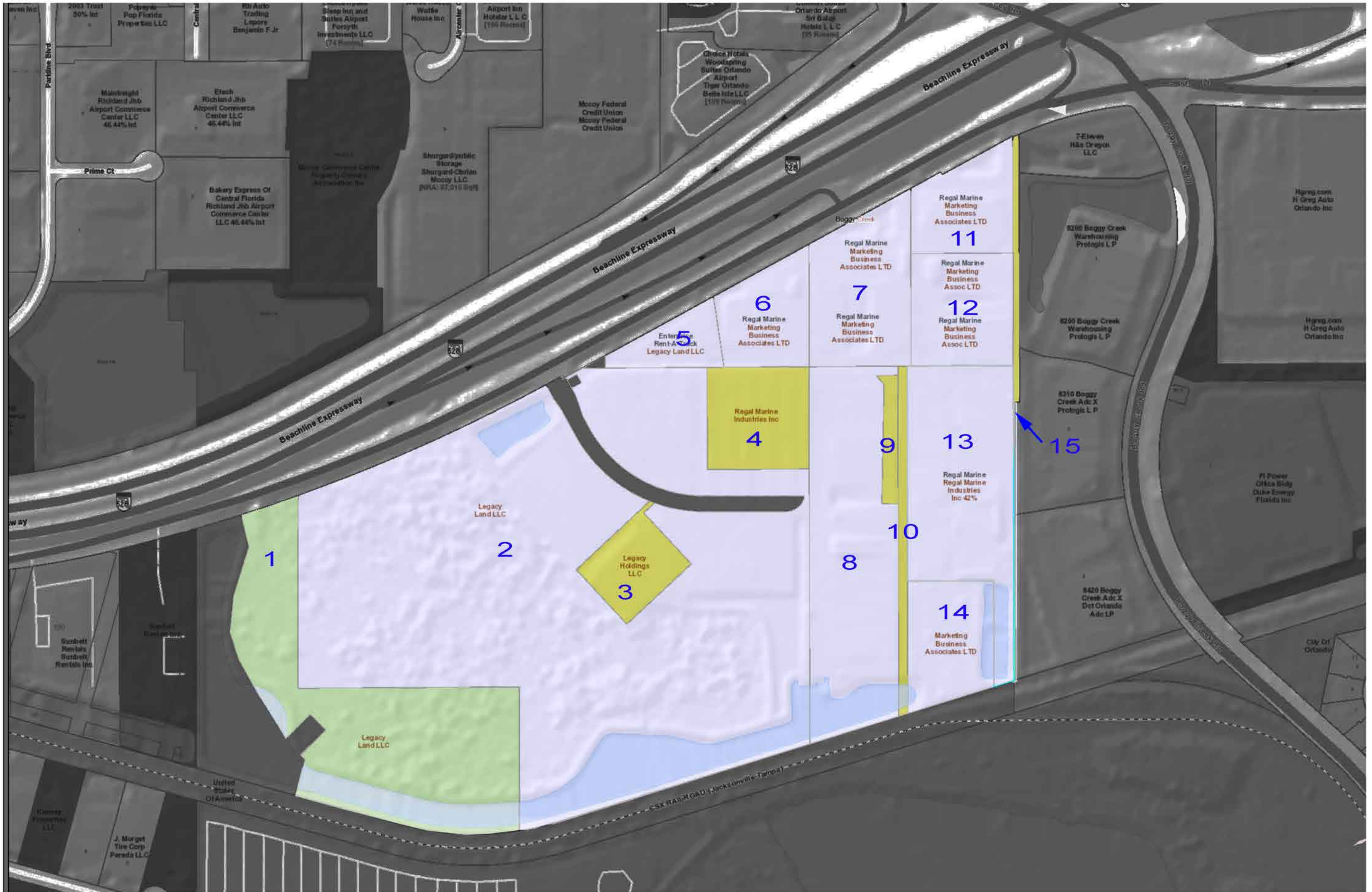
Turnpike Pond at Regal Yacht Center  
Post-Development

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
100y72	RRDitch	BASE	42.50	94.80	98.00	28463	5.38	5.17	-0.7	-2.8
100y72	RRDitch	BASE	42.75	94.81	98.00	28608	5.51	5.30	-0.6	-2.7
100y72	RRDitch	BASE	43.00	94.81	98.00	28754	5.64	5.44	-0.5	-2.6
100y72	RRDitch	BASE	43.25	94.82	98.00	28899	5.78	5.56	-0.4	-2.5
100y72	RRDitch	BASE	43.50	94.83	98.00	29044	5.90	5.68	-0.2	-2.4
100y72	RRDitch	BASE	43.75	94.83	98.00	29189	6.02	5.80	-0.1	-2.3
100y72	RRDitch	BASE	44.00	94.84	98.00	29333	6.13	5.91	0.0	-2.1
100y72	RRDitch	BASE	44.25	94.85	98.00	29477	6.23	6.02	0.1	-2.0
100y72	RRDitch	BASE	44.50	94.85	98.00	29621	6.33	6.12	0.3	-1.9
100y72	RRDitch	BASE	44.75	94.86	98.00	29764	6.43	6.21	0.4	-1.8
100y72	RRDitch	BASE	45.00	94.87	98.00	29907	6.52	6.30	0.5	-1.6
100y72	RRDitch	BASE	45.25	94.87	98.00	30048	6.61	6.39	0.7	-1.5
100y72	RRDitch	BASE	45.50	94.88	98.00	30190	6.70	6.48	0.8	-1.4
100y72	RRDitch	BASE	45.75	94.89	98.00	30331	6.79	6.57	0.9	-1.2
100y72	RRDitch	BASE	46.00	94.89	98.00	30471	6.87	6.65	1.1	-1.1
100y72	RRDitch	BASE	46.25	94.90	98.00	30611	6.95	6.73	1.2	-1.0
100y72	RRDitch	BASE	46.50	94.91	98.00	30750	7.03	6.81	1.4	-0.8
100y72	RRDitch	BASE	46.75	94.91	98.00	30889	7.10	6.88	1.5	-0.7
100y72	RRDitch	BASE	47.00	94.92	98.00	31026	7.18	6.96	1.7	-0.5
100y72	RRDitch	BASE	47.25	94.93	98.00	31163	7.24	7.02	1.8	-0.4
100y72	RRDitch	BASE	47.50	94.93	98.00	31298	7.29	7.07	2.0	-0.2
100y72	RRDitch	BASE	47.75	94.94	98.00	31433	7.33	7.12	2.1	-0.1
100y72	RRDitch	BASE	48.00	94.94	98.00	31568	7.39	7.16	2.3	0.1
100y72	RRDitch	BASE	48.25	94.95	98.00	31707	7.47	7.23	2.4	0.2
100y72	RRDitch	BASE	48.50	94.96	98.00	31849	7.53	7.30	2.6	0.4
100y72	RRDitch	BASE	48.75	94.96	98.00	31991	7.58	7.35	2.7	0.5
100y72	RRDitch	BASE	49.00	94.97	98.00	32133	7.64	7.40	2.9	0.7
100y72	RRDitch	BASE	49.25	94.98	98.00	32275	7.70	7.46	3.0	0.8
100y72	RRDitch	BASE	49.50	94.98	98.00	32418	7.75	7.51	3.2	1.0
100y72	RRDitch	BASE	49.75	94.99	98.00	32560	7.79	7.56	3.4	1.1
100y72	RRDitch	BASE	50.00	95.00	98.00	32705	7.86	7.61	3.5	1.3
100y72	RRDitch	BASE	50.25	95.00	98.00	32858	7.97	7.70	3.7	1.4
100y72	RRDitch	BASE	50.50	95.01	98.00	33016	8.05	7.78	3.9	1.6
100y72	RRDitch	BASE	50.75	95.02	98.00	33175	8.13	7.86	4.0	1.8
100y72	RRDitch	BASE	51.00	95.03	98.00	33337	8.22	7.94	4.2	1.9
100y72	RRDitch	BASE	51.25	95.03	98.00	33505	8.34	8.04	4.4	2.1
100y72	RRDitch	BASE	51.50	95.04	98.00	33677	8.45	8.15	4.5	2.3
100y72	RRDitch	BASE	51.75	95.05	98.00	33849	8.55	8.25	4.7	2.4
100y72	RRDitch	BASE	52.00	95.06	98.00	34030	8.70	8.37	4.9	2.6
100y72	RRDitch	BASE	52.25	95.07	98.00	34234	8.95	8.57	5.1	2.8
100y72	RRDitch	BASE	52.50	95.08	98.00	34449	9.16	8.77	5.3	2.9
100y72	RRDitch	BASE	52.75	95.09	98.00	34667	9.35	8.96	5.5	3.1
100y72	RRDitch	BASE	53.00	95.10	98.00	34898	9.59	9.17	5.7	3.3
100y72	RRDitch	BASE	53.25	95.11	98.00	35152	9.94	9.45	5.9	3.5
100y72	RRDitch	BASE	53.50	95.12	98.00	35421	10.23	9.73	6.1	3.7
100y72	RRDitch	BASE	53.75	95.13	98.00	35694	10.51	10.00	6.3	3.9
100y72	RRDitch	BASE	54.00	95.15	98.00	35980	10.82	10.28	6.5	4.1
100y72	RRDitch	BASE	54.25	95.16	98.00	36291	11.23	10.63	6.7	4.3
100y72	RRDitch	BASE	54.50	95.18	98.00	36616	11.58	10.97	7.0	4.6
100y72	RRDitch	BASE	54.75	95.19	98.00	36947	11.92	11.29	7.2	4.8
100y72	RRDitch	BASE	55.00	95.21	98.00	37288	12.28	11.61	7.5	5.0
100y72	RRDitch	BASE	55.25	95.23	98.00	37658	12.69	11.94	7.7	5.3
100y72	RRDitch	BASE	55.50	95.24	98.00	38050	12.96	12.19	8.0	5.5
100y72	RRDitch	BASE	55.75	95.26	98.00	38452	13.13	12.32	8.2	5.8
100y72	RRDitch	BASE	56.00	95.28	98.00	38876	13.19	12.32	8.5	6.0
100y72	RRDitch	BASE	56.25	95.30	98.00	39344	13.15	12.16	8.8	6.3
100y72	RRDitch	BASE	56.50	95.33	98.00	39843	12.95	11.92	9.1	6.5
100y72	RRDitch	BASE	56.75	95.35	98.00	40358	12.69	11.62	9.3	6.8
100y72	RRDitch	BASE	57.00	95.37	98.00	40890	12.44	11.29	9.6	7.0
100y72	RRDitch	BASE	57.25	95.40	98.00	41469	12.31	11.03	9.8	7.2
100y72	RRDitch	BASE	57.50	95.43	98.00	42083	12.15	10.79	10.1	7.5
100y72	RRDitch	BASE	57.75	95.46	98.00	42727	12.06	10.61	10.3	7.7
100y72	RRDitch	BASE	58.00	95.49	98.00	43391	11.84	10.32	10.6	7.9
100y72	RRDitch	BASE	58.25	95.52	98.00	44125	12.02	10.39	10.8	8.1
100y72	RRDitch	BASE	58.50	95.56	98.00	44879	12.09	10.26	11.1	8.3
100y72	RRDitch	BASE	58.75	95.60	98.00	45734	12.50	10.35	11.3	8.5
100y72	RRDitch	BASE	59.00	95.64	98.00	46698	13.01	10.51	11.6	8.8
100y72	RRDitch	BASE	59.25	95.70	98.00	47880	14.31	11.11	11.9	9.0
100y72	RRDitch	BASE	59.50	95.79	98.00	49971	18.31	10.89	12.2	9.2
100y72	RRDitch	BASE	59.75	96.03	98.00	55137	37.62	17.03	12.8	9.5
100y72	RRDitch	BASE	60.00	96.34	98.00	61972	45.12	24.90	13.7	9.9
100y72	RRDitch	BASE	60.25	96.55	98.00	66362	36.13	27.41	14.5	10.5
100y72	RRDitch	BASE	60.50	96.67	98.00	69080	38.20	28.26	15.3	11.0
100y72	RRDitch	BASE	60.75	96.79	98.00	71701	38.60	30.43	16.1	11.7
100y72	RRDitch	BASE	61.00	96.89	98.00	73743	38.59	31.91	16.9	12.3
100y72	RRDitch	BASE	61.25	96.96	98.00	75308	38.06	32.76	17.6	13.0
100y72	RRDitch	BASE	61.50	97.02	98.00	76573	37.75	33.30	18.4	13.6
100y72	RRDitch	BASE	61.75	97.06	98.00	77599	37.25	33.60	19.2	14.3
100y72	RRDitch	BASE	62.00	97.10	98.00	78452	36.90	33.76	20.0	15.0
100y72	RRDitch	BASE	62.25	97.13	98.00	79156	36.38	33.84	20.7	15.7
100y72	RRDitch	BASE	62.50	97.16	98.00	79753	36.14	33.87	21.5	16.4
100y72	RRDitch	BASE	62.75	97.19	98.00	80276	35.87	33.87	22.2	17.1
100y72	RRDitch	BASE	63.00	97.21	98.00	80747	35.72	33.87	23.0	17.8
100y72	RRDitch	BASE	63.25	97.23	98.00	81183	35.61	33.86	23.7	18.5
100y72	RRDitch	BASE	63.50	97.25	98.00	81596	35.54	33.86	24.4	19.2

Turnpike Pond at Regal Yacht Center  
Post-Development

Simulation	Node	Group	Time hrs	Stage ft	Warning Stage ft	Surface Area ft2	Total Inflow cfs	Total Outflow cfs	Total Vol In af	Total Vol Out af
100y72	RRDitch	BASE	63.75	97.26	98.00	81993	35.50	33.87	25.2	19.9
100y72	RRDitch	BASE	64.00	97.28	98.00	82365	35.39	33.90	25.9	20.6
100y72	RRDitch	BASE	64.25	97.30	98.00	82672	35.02	33.90	26.6	21.3
100y72	RRDitch	BASE	64.50	97.31	98.00	82928	34.89	33.88	27.3	22.0
100y72	RRDitch	BASE	64.75	97.32	98.00	83160	34.79	33.85	28.1	22.7
100y72	RRDitch	BASE	65.00	97.33	98.00	83377	34.71	33.82	28.8	23.4
100y72	RRDitch	BASE	65.25	97.34	98.00	83583	34.66	33.80	29.5	24.1
100y72	RRDitch	BASE	65.50	97.35	98.00	83782	34.62	33.79	30.2	24.8
100y72	RRDitch	BASE	65.75	97.36	98.00	83975	34.60	33.78	30.9	25.5
100y72	RRDitch	BASE	66.00	97.36	98.00	84163	34.59	33.79	31.6	26.2
100y72	RRDitch	BASE	66.25	97.37	98.00	84347	34.60	33.81	32.4	26.9
100y72	RRDitch	BASE	66.50	97.38	98.00	84527	34.61	33.84	33.1	27.6
100y72	RRDitch	BASE	66.75	97.39	98.00	84707	34.63	33.87	33.8	28.3
100y72	RRDitch	BASE	67.00	97.40	98.00	84881	34.67	33.91	34.5	29.0
100y72	RRDitch	BASE	67.25	97.40	98.00	85053	34.71	33.96	35.2	29.7
100y72	RRDitch	BASE	67.50	97.41	98.00	85222	34.75	34.02	35.9	30.4
100y72	RRDitch	BASE	67.75	97.42	98.00	85391	34.80	34.08	36.7	31.1
100y72	RRDitch	BASE	68.00	97.43	98.00	85547	34.80	34.15	37.4	31.8
100y72	RRDitch	BASE	68.25	97.43	98.00	85675	34.67	34.20	38.1	32.5
100y72	RRDitch	BASE	68.50	97.44	98.00	85777	34.66	34.25	38.8	33.2
100y72	RRDitch	BASE	68.75	97.44	98.00	85868	34.66	34.28	39.5	34.0
100y72	RRDitch	BASE	69.00	97.45	98.00	85951	34.67	34.32	40.2	34.7
100y72	RRDitch	BASE	69.25	97.45	98.00	86027	34.69	34.36	41.0	35.4
100y72	RRDitch	BASE	69.50	97.45	98.00	86099	34.71	34.40	41.7	36.1
100y72	RRDitch	BASE	69.75	97.46	98.00	86166	34.74	34.45	42.4	36.8
100y72	RRDitch	BASE	70.00	97.46	98.00	86231	34.77	34.50	43.1	37.5
100y72	RRDitch	BASE	70.25	97.46	98.00	86293	34.82	34.55	43.8	38.2
100y72	RRDitch	BASE	70.50	97.46	98.00	86352	34.86	34.60	44.6	38.9
100y72	RRDitch	BASE	70.75	97.47	98.00	86409	34.91	34.67	45.3	39.7
100y72	RRDitch	BASE	71.00	97.47	98.00	86462	34.98	34.75	46.0	40.4
100y72	RRDitch	BASE	71.25	97.47	98.00	86513	35.07	34.85	46.7	41.1
100y72	RRDitch	BASE	71.50	97.47	98.00	86561	35.19	34.98	47.4	41.8
100y72	RRDitch	BASE	71.75	97.48	98.00	86605	35.32	35.14	48.2	42.5
100y72	RRDitch	BASE	72.00	97.48	98.00	86613	34.89	35.28	48.9	43.3
100y72	RRDitch	BASE	72.00	97.48	98.00	86613	34.89	35.28	48.9	43.3





**REGAL MARINE INDUSTRIES - BOUNDARY SURVEY PARCELS**



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## Detail by Entity Name

Florida Profit Corporation  
KUCK MANAGEMENT, INC.

### Filing Information

**Document Number** P00000037931  
**FEI/EIN Number** 59-3666197  
**Date Filed** 04/14/2000  
**Effective Date** 04/15/2000  
**State** FL  
**Status** ACTIVE

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### Registered Agent Name & Address

KUCK, DUANE  
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ORLANDO, FL 32809

Name Changed: 04/23/2007

### Officer/Director Detail

#### **Name & Address**

Title VP

KUCK, TIMOTHY  
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Title P

KUCK, DUANE  
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ORLANDO, FL 32809

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Report Year	Filed Date
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2022	04/14/2022

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## Detail by Entity Name

Florida Limited Liability Company  
LEGACY HOLDINGS, LLC

### Filing Information

<b>Document Number</b>	L05000051363
<b>FEI/EIN Number</b>	20-4770747
<b>Date Filed</b>	05/23/2005
<b>Effective Date</b>	05/16/2005
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	CORPORATE MERGER
<b>Event Date Filed</b>	06/25/2009
<b>Event Effective Date</b>	NONE

### Principal Address

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### Registered Agent Name & Address

KUCK, DUANE  
2300 JETPORT DRIVE  
ORLANDO, FL 32809

Name Changed: 04/28/2006

Address Changed: 04/28/2006

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

KUCK, TIMOTHY  
2300 JETPORT DRIVE  
ORLANDO, FL 32809

Title MGR

KUCK, DUANE

2300 JETPORT DRIVE  
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b.

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2022	04/14/2022

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### Detail by Entity Name

Florida Limited Liability Company  
LEGACY LAND, LLC

Filing Information

**Document Number** L00000008219  
**FEI/EIN Number** 59-3709566  
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**State** FL  
**Status** ACTIVE

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Name Changed: 04/25/2006

Authorized Person(s) Detail

**Name & Address**

Title MGRM

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### Detail by Entity Name

Florida Limited Partnership  
 MARKETING BUSINESS ASSOCIATES, LTD.

Filing Information

**Document Number** A15130  
**FEI/EIN Number** 59-2335191  
**Date Filed** 08/16/1983  
**State** FL  
**Status** ACTIVE  
**Last Event** CORPORATE MERGER  
**Event Date Filed** 04/03/2001  
**Event Effective Date** NONE

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Name Changed: 04/23/2007

General Partner Detail

**Name & Address**

Document Number P00000037931

KUCK MANAGEMENT, INC.  
 2300 JETPORT DR  
 ORLANDO, FL 32809

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2022	04/14/2022

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<a href="#">04/23/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

<a href="#">04/25/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/14/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/10/2004 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/14/2003 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/02/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/03/2001 -- Merger</a>	<a href="#">View image in PDF format</a>
<a href="#">03/30/2001 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">12/29/2000 -- Amendment</a>	<a href="#">View image in PDF format</a>
<a href="#">05/03/2000 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/14/2000 -- Amended and Restated Certific</a>	<a href="#">View image in PDF format</a>
<a href="#">11/20/1998 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">12/18/1997 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/1997 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

THIS DOCUMENT PREPARED BY  
AND RETURN TO:  
LYNNE R. WILSON, ESQUIRE  
ZIMMERMAN, SHUFFIELD, KISER  
& SUTCLIFFE, P.A.  
P.O. Box 3000  
Orlando, FL 32802

Property Appraisers Parcel I.D.  
(Folio) Number (s): 31-23-30-0000-00003

QUIT-CLAIM DEED

THIS QUIT-CLAIM DEED, executed this 9<sup>th</sup> day of October, 1997, by EVV FLORIDA INVESTMENTS, LTD., a Florida limited partnership, whose post office address is 11875 High Tech Avenue, Suite 200, Orlando, Florida 32817, first party, to MARKETING BUSINESS ASSOCIATES, a Florida general partnership, whose post office address is 2300 Jetport Drive, Orlando, Florida 32809, second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of ORANGE, State of Florida, to-wit:

That portion of the Southwest 1/4 of the Northeast 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, Florida, described as follows:

Commence at the South 1/4 corner of said Section 31; thence North 00°08'16" West along the North-South center section line for 3052.43 feet to the North line of an abandoned 100 foot railroad right-of-way and Point of Beginning; thence continue North 00°08'16" West for 1753.10 feet to the southerly right-of-way line of South Frontage Road; thence easterly along said southerly right-of-way line and arc of a circular curve concave southerly, having a radius of 1215.24 feet, a chord bearing of North 66°06'32" East and a central angle of 01°01'49" for 21.85 feet; thence South 00°08'16" East for 864.80 feet; thence South 89°51'44" West for 14.65 feet; thence South 00°08'16" East for 895.46 feet to the aforesaid northerly railroad right-of-way line; thence South 72°49'57" West along said northerly right-of-way line for 5.59 feet to the Point of Beginning.

TO HAVE AND TO HOLD the same together with all the singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

DEPARTMENT AS IS

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

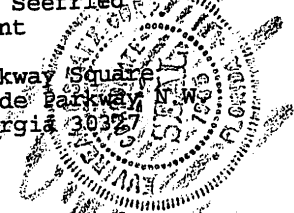
Signed, sealed and delivered in presence of:

EVV FLORIDA INVESTMENTS, LTD.,  
a Florida limited partnership

By: EVV REAL ESTATE CORPORATION a Florida Corporation, its General Partner

By: *Ferdinand C. Seefried*  
Ferdinand C. Seefried  
Vice President

10 North Parkway Square  
4200 Northside Parkway N.W.  
Atlanta, Georgia 30327



OR Bk 5376 Pg 2120  
Orange Co FL 1997-0444118  
Recorded - Martha O. Haynie

*[Signature]*  
Printed Name: BOBIE RAKUSIA  
Witness

*[Signature]*  
Printed Name: KATHA HANWELL  
Witness

STATE OF Florida )  
COUNTY OF Orange )  
COBB )

The foregoing instrument was acknowledged before me this 9th day of October, 1997 by Ferdinand C. Seefried, as Vice President of EVV REAL ESTATE CORPORATION, a Florida corporation which is the general partner of EVV FLORIDA INVESTMENTS, LTD., a Florida limited partnership, on behalf of the limited partnership.

*David G. Williford*  
Signature of Notary Public



DAVID G. WILLIFORD  
MY COMMISSION # CC366875 EXPIRES  
May 20, 1998  
BONDED THRU TROY FAH INSURANCE, INC.

Name of Notary Public (Typed,  
Printed or stamped)

Personally Known  OR Produced Identification

Type of Identification Produced: \_\_\_\_\_

DEPARTMENT OF REVENUE



b.

INSTR 20070828699  
OR BK 09546 PG 4415 PGS=4  
MARTHA O. HAYNIE, COMPTROLLER  
ORANGE COUNTY, FL  
12/27/2007 03:23:09 PM  
DEED DOC TAX 11,052.30  
REC FEE 35.50

Prepared by and Return to:  
**COURTNEY L. MILAM, ESQUIRE**  
Shuffield, Lowman & Wilson, P.A.  
Post Office Box 1010  
Orlando, Florida 32802

Property Appraisers Parcel  
Identification (Folio) No.: 31-23-30-0000-00-029

**TRUSTEE'S DEED**

THIS INDENTURE, made this 21<sup>st</sup> day of December, 2007, by and between DUANE P. KUCK and TIMOTHY KUCK, as Co-Trustees of THE PAUL M. KUCK REVOCABLE TRUST, dated January 31, 1986, as amended and restated, (herein "party of the first part"), and LEGACY LAND, LLC, a Florida limited liability company, whose address is 2300 Jetport Drive, Orlando, Florida 32809 (herein "party of the second part").

**WITNESSETH:**

That the said party of the first part, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations to it in hand paid, the receipt whereof is hereby acknowledged, conveys to the party of the second part, all that certain parcel of land lying and being in ORANGE County, State of Florida, more particularly described as follows:

**SEE EXHIBIT "A" ATTACHED HERETO**

**TOGETHER** with all and singular the hereditaments and appurtenances thereto belonging or in anywise appertaining, and all of the estate, right, title, interest, claim and demand whatsoever, as well in law as in equity, which the party of the first part, had in and to the said premises.

**TO HAVE AND TO HOLD** the same unto the party of the second part, their successors and assigns forever, as fully and effectually to all intents and purposes in law as the party of the second part might, could or ought to sell and convey the same.

This conveyance is subject to easements, restrictions, reservations and limitations of record and to any road right-of-ways applicable to said described property above and taxes and assessments for the year 2007 and thereafter; however, reference herein shall not reimpose same.

This Deed has been prepared without reference to any title work such as a title commitment, title policy or survey.

The party of the first part does hereby covenant with the party of the second part that the party of the first part has not made, done or suffered any act, matter or thing whatsoever since becoming Trustee as aforesaid whereby the above-granted real property or any part thereof now or at any time hereinafter shall be impeached charged or encumbered in any manner whatsoever.

*Signatures on following page*



IN WITNESS WHEREOF, the said party of the first part has caused these presents to be executed as Trustee, as aforesaid, the day and year first above written.

Signed, sealed and delivered in the presence of:

Mary Gelzer  
Signature  
MARY GELZER  
Printed Name of Witness

Dlu  
DUANE P. KUCK, as Co-Trustee of THE PAUL M. KUCK REVOCABLE TRUST dated January 31, 1986, as amended and restated

Sandra L. Ellis  
Signature  
Sandra L. Ellis  
Printed Name of Witness

Mary Gelzer  
Signature  
MARY GELZER  
Printed Name of Witness

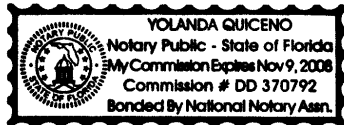
T. K.  
TIMOTHY KUCK, as Co-Trustee of THE PAUL M. KUCK REVOCABLE TRUST dated January 31, 1986, as amended and restated

Sandra L. Ellis  
Signature  
SANDRA ELLIS  
Printed Name of Witness

STATE OF FLORIDA  
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of December, 2007, by DUANE P. KUCK, as Co-Trustee of THE PAUL M. KUCK REVOCABLE TRUST dated January 31, 1986, as amended and restated.

(SEAL)



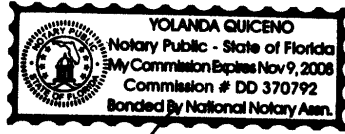
Yolanda Quiceno  
Signature of Notary Public  
Yolanda Quiceno  
Type, Print or Stamp Name of Notary Public

Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 21<sup>st</sup> day of December, 2007, by TIMOTHY KUCK, as Co-Trustee of THE PAUL M. KUCK REVOCABLE TRUST, dated January 31, 1986, as amended and restated.

(SEAL)



Yolanda Quiceno  
Signature of Notary Public

Yolanda Quiceno  
Type, Print or Stamp Name of Notary Public

Personally Known  OR Produced Identification \_\_\_\_\_

Type of Identification Produced: \_\_\_\_\_

**EXHIBIT "A"**

An undivided fifty eight percent (58%) interest in the following described property:

Parcel A

The East 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East; and

Parcel B

Beginning at the Southeast corner of the E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, run South 30 feet, thence run West 330.82 feet parallel to the South boundary line of said E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of said Section to a point 30 feet South of the Southwest corner of said E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of said Section, run thence North 30 feet to said Southwest corner, thence run East 330.82 feet along the south boundary line of said E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of said Section to the point of beginning.

Parcel C

Begin at the NW corner of the E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, run South along the west boundary of said E 1/2 of NE 1/4 of SE 1/4 of NW 1/4 for 664.25', continue South 30', thence run West 13', thence North 694.25' to the North line of the NE 1/4 of SE 1/4 of NW 1/4 and run thence 13' East to the Point of Beginning.

TOGETHER WITH THE FOLLOWING DESCRIBED EASEMENTS FOR INGRESS AND EGRESS:

Easement No. One

Commence from the NW corner of the E 1/2 of the NE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, thence run South 664.25 feet to the point of beginning, thence run South 664.25 feet to the SW corner of the E 1/2 of the NE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, thence run West 30 feet, thence North 664.25 feet to a point 30 feet West of the point of beginning, thence run East 30 feet to the point of beginning.

Easement No. Two

Commence from the NE corner of the West 1/2 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, run South 30 feet, run West 30 feet, run North 30 feet to a point 30 feet West of the Point of Beginning, run 30 feet East to the Point of Beginning.

Easement No. Three

Commence at the Southwest corner of the E 1/2 of the NE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, thence run East 330.54 feet, thence South 30 feet, thence run West 330.54 feet to a point 30 feet South of the point of beginning, thence run North 30 feet to the point of beginning.

Easement No. Four

West 10 feet of East 1/2 of SE 1/4 of NE 1/4 of NW 1/4 (Less State Road Right-of-way on North). Section 31, Township 23 South, Range 30 East.



b.

INSTR 20070828701  
OR BK 09546 PG 4424 PGS=3  
MARTHA O. HAYNIE, COMPTROLLER  
ORANGE COUNTY, FL  
12/27/2007 03:23:09 PM  
DEED DOC TAX 0.70  
REC FEE 27.00

This Instrument Prepared by  
and Returned to:  
COURTNEY L. MILAM, ESQUIRE  
Shuffield, Lowman & Wilson, P.A.  
1000 Legion Place, Suite 1700  
Orlando, Florida 32801

Property Appraisers Parcel  
Identification (Folio) No.: 31-23-30-0000-00-027

**QUIT CLAIM DEED**

**THIS QUIT CLAIM DEED**, executed this 21<sup>st</sup> day of December, A.D. 2007, by DUANE P. KUCK and TIMOTHY KUCK, as Co-Personal Representatives of THE ESTATE OF PAUL M. KUCK, deceased, as to an undivided forty percent (40%) interest, and PAMELA KUCK BIDDLE, DUANE P. KUCK and TIMOTHY KUCK, as joint tenants with the right of survivorship, as to an undivided sixty percent (60%) interest (collectively the "first party"), to MARKETING BUSINESS ASSOCIATES, LTD., a Florida limited partnership, whose address is 2300 Jetport Drive, Orlando, Florida 32809 (the "second party"):

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH**, That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of ORANGE, State of Florida, to-wit:

**From the Southeast corner of the E 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, run South 30.00 feet along the East boundary of the NW 1/4 of said Section 31; thence S 89°45'38"W, 65.00 feet, along a line parallel with the South boundary of the aforesaid E 1/2 for the POINT OF BEGINNING; thence continue S 89°45'38" W, 265.65 feet, along said parallel line, to the West boundary of the E 1/2 of the SE 1/4 of the NW 1/4 of said Section 31; thence continue S 89°45'38" W, 13.00 feet, along said parallel line; thence S 00°01'20" W, 427.68 feet, along a line parallel with said West boundary, to a point on a line parallel with and 50.00 feet Northerly of, when measured at right angles to, the centerline of the existing railroad tracks of the Seaboard System Railroad (formerly known as Seaboard Coastline Railroad), as said tracks are now laid out and exist; thence N 72°58'16" E, 291.60 feet, along said parallel line, to a point on a line parallel with and 65.00 feet West of, when measured at right angles to the aforesaid East boundary of the NW 1/4 of Section 31; thence North 343.45 feet, along said parallel line to the POINT OF BEGINNING.**

THE PROPERTY CONVEYED HEREIN IS NOT THE HOMESTEAD OF THE FIRST PARTY NOR CONTIGUOUS THERETO

**TO HAVE AND TO HOLD** The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

This conveyance is subject to easements, restrictions, reservations and limitations of record and to any road right-of-ways applicable to said described property above and taxes and assessments for the year 2007 and thereafter; however, reference herein shall not reimpose same.

This Deed has been prepared without reference to any title work such as a title commitment, title policy or survey.

IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Mary Getzler  
Signature

MARY GETZLER  
Printed Name of Witness

Sandra L. Ellis  
Signature

Sandra L. ELLIS  
Printed Name of Witness

Mary Getzler  
Signature

MARY GETZLER  
Printed Name of Witness

Sandra L. Ellis  
Signature

Sandra L. Ellis  
Printed Name of Witness

Mary Getzler  
Signature

MARY GETZLER  
Printed Name of Witness

Sandra L. Ellis  
Signature

Sandra L. ELLIS  
Printed Name of Witness

Duane P. Kuck  
DUANE P. KUCK, individually, and as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased

Timothy Kuck  
TIMOTHY KUCK, individually, and as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased

Pamela Kuck Biddle  
PAMELA KUCK BIDDLE

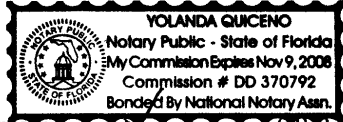
STATE OF Florida  
COUNTY OF Orange

The foregoing was acknowledged before me this 21<sup>st</sup> day of December 2007, by DUANE P. KUCK, individually, and as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased.

Yolanda Quiceno

Signature of Notary Public

(Seal)



Print Name: Yolanda Quiceno

Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

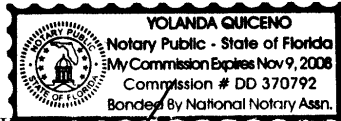
STATE OF Florida  
COUNTY OF Orange

The foregoing was acknowledged before me this 21<sup>st</sup> day of December 2007, by TIMOTHY KUCK, individually, and as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased.

Yolanda Quiceno

Signature of Notary Public

(Seal)



Print Name: Yolanda Quiceno

Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

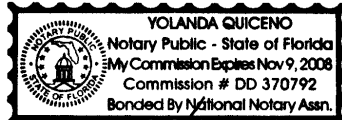
STATE OF Florida  
COUNTY OF Orange

The foregoing was acknowledged before me this 21<sup>st</sup> day of December 2007, by PAMELA KUCK BIDDLE, individually.

Yolanda Quiceno

Signature of Notary Public

(Seal)



Print Name: Yolanda Quiceno

Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_



THIS INSTRUMENT PREPARED BY  
AND RETURN TO:

William R. Lowman, Jr., ESQUIRE  
ZIMMERMAN, SHUFFIELD, KISER  
& SUTCLIFFE, P.A.  
P.O. Box 3000  
Orlando, FL 32802

Property Appraisers Parcel I.D.  
(Folio) Numbers: 5279257

**QUIT-CLAIM DEED**

**THIS QUIT-CLAIM DEED**, executed this 20<sup>th</sup> day of April, 2000, by **MARKETING BUSINESS ASSOCIATES**, a Florida General Partnership, n/k/a **MARKETING BUSINESS ASSOCIATES, LTD.**, a Florida Limited Partnership, whose post office address is 2300 Jetport Drive, Orlando, FL 32809, **GRANTOR**, to **MARKETING BUSINESS ASSOCIATES, LTD.**, a Florida Limited Partnership, whose post office address is 2300 Jetport Drive, Orlando, FL 32809, **GRANTEE**:

(Wherever used herein the terms "GRANTOR" and "GRANTEE" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH**, that the said **GRANTOR**, for and in consideration of \$10.00 the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the **GRANTEE**, their heirs and assigns forever, all the right, title, interest, claim and demand which **GRANTOR** has in and to the following described land, situate, lying and being in the County of **ORANGE**, State of Florida, to-wit:

**SEE ATTACHED EXHIBIT "A"**

**This deed has been prepared without reference to any title work such as a title commitment, title policy or survey.**

**TO HAVE AND TO HOLD** the same together with all the singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the **GRANTOR**, either in law or equity, to the only proper use, benefit and behalf of **GRANTEE** forever.  
**This deed is given for the sole purpose of complying with Section 620.8904 Florida Statutes.**

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

MARKETING BUSINESS ASSOCIATES, n/k/a  
MARKETING BUSINESS ASSOCIATES, LTD

Signed, sealed and delivered  
in presence of:

By: *Paul M. Kuck*  
Paul M. Kuck  
General Partner


*Patty Pennington*  
Printed Name: Patty Pennington  
Witness

*Colleen M. Thomas*  
Printed Name: Colleen Thomas  
Witness

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this 20 day of April, 2000, by Paul M. Kuck, General Partner of Marketing Business Associates, n/k/a Marketing Business Associates, Ltd.

*Jeanine Kalwitz*  
Signature of Notary Public  
Jeanine Kalwitz  
Name of Notary Public (Typed, Printed or stamped)

 My Commission CC622162  
Expires February 17, 2001

Personally Known  OR Produced Identification   
Type of Identification Produced: \_\_\_\_\_

EXHIBIT "A"

Parcel 1 (31-23-30-0000-00-001)

That part of the Southeast 1/4 of the Northwest 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, described as follows:

From the Northeast corner of the West 1/2 of the Northeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, Florida, run South 00 degrees 01 minutes 20 seconds West 30.00 feet along the East boundary of the West 1/2 of the East 1/2 of the Southeast 1/4 of the Northwest 1/4 of said Section 31 to a point on a line parallel with 30.00 feet South of, when measured at right angles to, the North boundary of said West 1/2 of the Northeast 1/4 of the Southeast 1/4 of the Northwest 1/4; thence run South 89 degrees 44 minutes 14 seconds West 13.00 feet along said parallel line for the Point of Beginning; thence continue South 89 degrees 44 minutes 14 seconds West 10.00 feet to a point on a line parallel with and 23.00 feet West of, when measured at right angles to, the aforesaid East boundary of the West 1/2 of the East 1/2 of the Southeast 1/4 of the Northwest 1/4; thence run South 00 degrees 01 minutes 20 seconds West 1094.72 feet along said parallel line to a point on a line parallel with and 50.00 feet Northerly of, when measured at right angles to, the center line of the existing railroad tracks of the Seaboard System Railroad (formerly known as Seaboard Coast Line Railroad) as said tracks are now laid out and exist, thence run North 72 degrees 58 minutes 16 seconds East 10.45 feet along said parallel line to a point on a line parallel with and 13.00 feet West of, when measured at right angles to the aforesaid East boundary of the West 1/2 of the East 1/2 of the Southeast 1/4 of the Northwest 1/4; thence run North 00 degrees 01 minutes 20 seconds East 1091.70 feet along said parallel line to the Point of Beginning.

AND:

That part of the West 20 feet of the East 43 feet of the West 1/2 of the E 1/2 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East, lying northerly of a line parallel with and 50 feet northerly of, when measured at right angles to, the center line of the existing railroad tracks of the Seaboard System Railroad (formerly known as Seaboard Coastline Railroad), as said tracks are now laid out and existing;

AND ALSO:

The North 30 feet of the West 10 feet of the East 23 feet of the West 1/2 of the NE 1/4 of the SE 1/4 of the NW 1/4 of Section 31, Township 23 South, Range 30 East.

Parcel 3 (31-23-30-0000-00-004)

Recorded - Martha D. Haynie

That portion of the Southwest 1/4 of the Northeast 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, Florida, described as follows:

Commence at the South 1/4 corner of said Section 31; thence North 00°08'16" West along the North-South center section line for 3052.43 feet to the North line of an abandoned 100 foot railroad right-of-way and Point of Beginning; thence continue North 00°08'16" West for 1753.10 feet to the southerly right-of-way line of South Frontage Road; thence easterly along said southerly right-of-way line and arc of a circular curve concave southerly, having a radius of 1215.24 feet, a chord bearing of North 66°06'32" East and a central angle of 01°01'49" for 21.85 feet; thence South 00°08'16" East for 864.80 feet; thence South 89°51'44" West for 14.65 feet; thence South 00°08'16" East for 895.46 feet to the aforesaid northerly railroad right-of-way line; thence South 72°49'57" West along said northerly right-of-way line for 5.59 feet to the Point of Beginning.

STATE OF FLORIDA  
DOCUMENTARY STAMP TAX  
DEPT. OF REVENUE  
PB OCT 20 '83 972.00  
10529

ORANGE COUNTY  
329106



This instrument was prepared by:  
JOHN E. HATCHER, JR., of

RETURN TO → JOHN E. HATCHER, JR., P.A.  
P.O. Box 1550  
WINTER GARDEN, FLORIDA 32787

b.

# Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

2018677 ORANGE CO., FL OCT 20 12 51 PM '83 O.R. 3432 PG 332

500

This Indenture, Made this 20th day of October 1983, Between  
LAMA CORPORATION, a Florida corporation, and ALBERT I. KATZ and SUSI H. KATZ, his wife,

of the County of Orange, State of Florida, grantor\*, and  
MARKETING BUSINESS ASSOCIATES, LTD, a Florida limited partnership,

whose post office address is 2300 Jetport Drive, Orlando, Florida 32809,

of the County of Orange, State of Florida, grantee\*,

Witnesseth, That said grantor, for and in consideration of the sum of \_\_\_\_\_

\_\_\_\_\_ Ten and No/100 \_\_\_\_\_ Dollars,  
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby  
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following  
described land, situate, lying and being in Orange County, Florida, to-wit:

972.00

From the SE corner of the NE 1/4 of the NW 1/4 of Section 31,  
Township 23, South Range 30 East, run N 00°02'15" W, along  
the East boundary of the NW 1/4 of said Sec. 31, 739.56 feet;  
thence S 61°19'10" W, 158.71 feet; thence S 89°37'53" W,  
190.73 feet; thence S 00°00'35" W, 91.72 feet to the Point of  
Beginning; thence S 00°00'35" W, 572.14 feet; thence  
S 89°42'22" W, 330.57 feet; thence N 00°02'50" E, 393.12  
feet; thence N 61°19'10" E, 376.52 feet to the Point of  
Beginning.

SUBJECT TO taxes after December 31, 1982, and to easements and  
restrictions of record.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all  
persons whomsoever.

\* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

*Lillian La Bellman*  
*Albert I. Katz*  
*Susi H. Katz*

LAMA CORPORATION (Seal)

By: *Lillian La Bellman* (Seal)  
President

*Albert I. Katz* (Seal)

*Susi H. Katz* (Seal)

STATE OF FLORIDA  
COUNTY OF ORANGE

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared  
LILLIAN LA BELLMAN, President of LAMA CORPORATION, a Florida corporation, on behalf of the  
corporation, and ALBERT I. KATZ and SUSI H. KATZ, his wife,  
to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that  
they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 20th day of October  
19 83.

*Karlene A. Smith*

Notary Public

My commission expires:

Notary Public State of Florida at Large  
My Commission expires Jan. 13, 1987

RECORDED & RECORD VERIFIED

*Thomas P. Fisher*

County Comptroller, Orange Co., FL

This Indenture, Made this 10<sup>th</sup> day of June, A. D. 19 86.

Between JET PORT COMMERCE CENTER, LTD., A FLORIDA LIMITED PARTNERSHIP

of the County of ORANGE and State of FLORIDA
part y of the first part, and MARKETING BUSINESS ASSOCIATES, LTD.,
whose mailing address is FLORIDA LIMITED PARTNERSHIP
2300 JET PORT DRIVE, ORLANDO, FLORIDA, 33809
of the County of ORANGE and State of FLORIDA

Witnesseth, that the said part y of the first part, for and
in consideration of the sum of TEN (\$10.00) Dollars, and other good
and valuable considerations to day in hand paid, the receipt whereof is hereby acknowl-
edged, has granted, bargained, sold and conveyed, and by these presents do es grant, bar-
gain, sell, convey and confirm unto the said part y of the second part and its heirs
and assigns forever, all that certain parcel of land lying and being in the County of Orange
and State of Florida, more particularly described as follows:

FROM THE SOUTHEAST CORNER OF THE SW 1/4 OF THE NE 1/4 OF THE NW 1/4
OF SECTION 31, TOWNSHIP 23 SOUTH, RANGE 30 EAST, RUN SOUTH
89°36'50" WEST, ALONG THE SOUTH LINE OF THE SW 1/4 OF THE NE 1/4
OF THE NW 1/4 OF SAID SECTION 31, A DISTANCE OF 275.35 FEET;
THENCE NORTH 08°32'34" WEST, A DISTANCE OF 229.38 FEET TO A
POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF THE BEE LINE
CONNECTOR; THENCE NORTH 61°20'14" EAST, ALONG SAID LINE A
DISTANCE OF 351.70 FEET; THENCE SOUTH 00°07'06" EAST, A
DISTANCE OF 393.69 FEET TO THE POINT OF BEGINNING.

SUBJECT TO:

- (1) TAXES FOR 1986;
(2) ALL EASEMENTS AND ENCUMBRANCES OF RECORD, INCLUDING BUT
NOT LIMITED TO TENANTS IN POSSESSION.

2538701 ORANGE CO. FL.
03:51:40PM 06/12/86

Florida Rec Fee \$ 7.00
Doc Tax \$ 5417.00
Int Tax \$
Total \$ 5426.00
THOMAS H. LOCKER,
Orange County
Comptroller
By [Signature]
Deputy Clerk

OR3797 PG2742

Together with all the tenements, hereditaments and appurtenances, with every privilege, right,
title, interest and estate, dower and right of dower, reversion, remainder and easement thereto
belonging or in anywise appertaining: To Have and to Hold the same in fee simple forever.

And the said part y of the first part do es covenant with the said part y of the
second part that it is lawfully seized of the said premises, that they are free from
all encumbrances except those of record and that it has good right and law-
ful authority to sell the same; and the said part y of the first part do es hereby fully warrant
the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said part y of the first part ha s hereunto set its
hand and seal the day and year above written.

JET PORT COMMERCE CENTER, LTD., A FLORIDA
LIMITED PARTNERSHIP

Signed, sealed and delivered in our presence:

[Signatures of witnesses]

[Signatures of Michael S. Weiner and Terence Isakov]
MICHAEL S. WEINER
A GENERAL PARTNER
TERENCE ISAKOV
A GENERAL PARTNER

This instrument prepared by: RICHARD E. DEUTCH, ESQUIRE
MICHAEL S. WEINER & ASSOCIATES, P.A.
Address 1177 N.E. 8TH STREET, SUITE #407
DELRAY BEACH, FLORIDA 33444

Return: John E. Hatcher, Jr. P.O. Box 1550, Winter Garden, FL 32787

State of Florida  
County of Palm Beach

OR3797 PG2743

I Hereby Certify, That on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

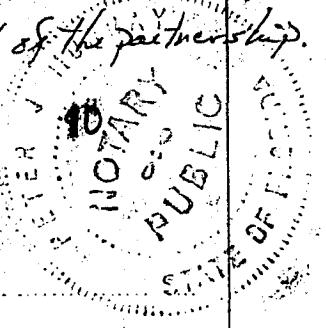
Michael S. Weiner & Terence Isakov, General Partners,  
of Jet Port Commerce Center, Ltd.,  
to me known to be the persons described in and who executed the foregoing instrument, and

they acknowledged before me that they executed the same on behalf of the partnership.

Witness my hand and official seal in the County and State last aforesaid this

day of June, A. D. 1986.

x *[Signature]*  
Notary Public,  
My commission expires



NOTARY PUBLIC STATE OF FLORIDA  
MY COMMISSION EXP JULY 31, 1989  
BONDED THRU GENERAL INS. UND.

(CA)

Abstract of Description	Date	To	Warranty Deed

RAMCO FORM 4

RECORDED & RECORD VERIFIED  
*Thomas H. Locke*  
County Comptroller, Orange Co., FL

Florida	Paid	THOMAS H. LOCKER,
Rec Fee	\$ 9.00	Orange County
Doc Tax	\$ .50	Comptroller
Int Tax	\$	By <u>[Signature]</u>
Total	\$ 9.50	Deputy Clerk

WARRANTY DEED

b.

THIS INDENTURE, Made this 16<sup>th</sup> day of September, 1986

MARKETING BUSINESS ASSOCIATES, LTD., a Florida limited partnership, whose principal place of business is at Orlando, Florida

whose post office address is 2300 Jetport Drive, Orlando, Florida 32809, grantors, and

ABM, LTD., a Florida limited partnership, whose principal place of business is at Orlando, Florida

whose post office box address is 2300 Jetport Drive, Orlando, Florida 32809, grantee.

WITNESSETH, That grantors, for and in consideration of the sum of TEN DOLLARS, and other good and valuable considerations to grantors in hand paid by grantee, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the grantee, the grantee's heirs, successors, and assigns forever, the following described land, situate, lying and being in Orange County, Florida, to-wit:

The South 362.22 feet of the East 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Northwest 1/4 of Section 31, Township 23 South, Range 30 East.

SUBJECT TO easements and restrictions of record, and to taxes after December 31, 1985;

and grantors hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, grantors have hereunto set their hands and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature: Susan Denton]  
[Signature: Pamela Jay Armitage]

[Signature: Paul Kuck]  
 Paul Kuck

2604083 ORANGE CO. FL.  
 11:06:40AM 09/23/86

O.R. 3822 PG 340

Abeorman Section 31 & 32




STATE OF FLORIDA

COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of September, 1986 by PAUL KUCK.

*Janet Lee Rosen*  
 Notary Public  
 My commission expires: \_\_\_\_\_



Notary Public; State of Florida at Large  
 My Commission Expires June 27, 1989  
 Bonded BY Iowa National Ins. Co.

Prepared by and return to:

SUSAN V. WHEELER  
P.O. Box 231  
Orlando, Florida 32802

RECORDED & RECORD VERIFIED  
*Thomas H. Locke*  
 County Comptroller, Orange Co., FL

Orange Co FL 1997-0082133  
031197 12:33:43pm  
OR Bk 5214 Pg 2454  
Rec 10.50 DSC 857.50

This document is being re-recorded to include  
Exhibit "A"  
THIS DOCUMENT PREPARED BY  
AND RETURN TO:  
LYNNE R. WILSON  
ZIMMERMAN, SHUFFIELD, KISER  
& SUTCLIFFE, P.A.  
P.O. Box 3000  
Orlando, FL 32802



Property Appraisers Parcel I.D.  
(Folio) Number (s): 31-23-30-0000-00017

Orange Co FL 1997-0105255  
032797 10:55:35am  
OR Bk 5223 Pg 4743  
Rec 19.50

WARRANTY DEED

THIS WARRANTY DEED made this February 20th, 1997, by JAMES M. HYATT, joined by his wife, LINDA C. HYATT, whose post office address is 2200 Jet Port Drive, Orlando, Florida 32809, hereinafter called the grantor, to REGAL MARINE INDUSTRIES, INC., A FLORIDA CORPORATION, whose post office address is 2300 Jetport Drive, Orlando, Florida 32809, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H:

That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in ORANGE County, Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO  
AND INCORPORATED HEREIN BY REFERENCE

Subject to that certain easement executed by Hi-Field, Inc., in favor of Florida Power Corporation, recorded June 30, 1970, in Official Records Book 1960, Page 212, Public Records of Orange County, Florida.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; and hereby warrants the title to said land and will defend the same against the lawful claims of all persons or entities whomsoever.

IN WITNESS WHEREOF, the grantor has hereunto set his hand and seal the day and year first above written.

Signed, Sealed and Delivered  
in our Presence:

Donna M. DeFazio  
Printed Name: DONNA M. DEFATIO  
Witness

James M. Hyatt  
JAMES M. HYATT

Lynn H. Smith  
Printed Name: Lynn H. Smith  
Witness

b.

Donna M. DeFazio  
Printed Name: DONNA M. DEFAZIO  
Witness

Linda C. Hyatt  
LINDA C. HYATT

Ley H. Smith  
Printed Name: Ley H. Smith  
Witness

OR Bk 5223 Pg 4744  
Orange Co FL 1997-0105255

STATE OF FLORIDA )  
COUNTY OF Orange )

The foregoing instrument was acknowledged before me this  
February 26, 1997, by JAMES M. HYATT and LINDA C. HYATT.

Ley H. Smith  
Signature of Notary Public

Notary Public  
Name: Ley H. Smith Typed,  
Notary Public, State of Florida  
Commission No. CC 612376  
My Commission Exp. 1/8/2001  
Banded Through Fla. Notary Service & Bonding Co.

Personally Known Yes OR Produced Identification  
Type of Identification Produced: \_\_\_\_\_

Notary Public  
Ley H. Smith  
Notary Public, State of Florida  
Commission No. CC 612376  
My Commission Exp. 1/8/2001  
Banded Through Fla. Notary Service & Bonding Co.

**EXHIBIT "A"**

A portion of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East, Orange County, Florida; thence run South 89 degrees 31 minutes 52 seconds West along the North line of said Southeast Quarter of the Northwest Quarter, a distance of 343.39 feet, thence, departing said North line, run South 00 degrees 05 minutes 32 second East, a distance of 30.00 feet for a POINT OF BEGINNING; thence continue South 00 degrees 05 minutes 32 seconds East, a distance of 416.08 feet, thence North 88 degrees 52 minutes 51 seconds West, parallel with an overhead power line, a distance of 81.96 feet; thence North 00 degrees 55 minutes 28 seconds East, along a projection of a 6 foot chain link fence, a distance of 385.31 feet; thence North 42 degrees 00 minutes 41 seconds West, a distance of 38.22 feet; thence North 89 degrees 31 minutes 52 seconds East, a distance of 100.64 feet to the POINT OF BEGINNING.

LESS AND EXCEPT therefrom that portion conveyed by JAMES M. HYATT and LINDA C. HYATT, his wife, to Marketing Business Associates, a Florida general partnership, by Warranty Deed recorded November 19, 1985, in Official Records Book 3715, Page 671, described as follows:

That part of the West 20 feet of the East 43 feet of the West Half of the East Half of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East, lying Northerly of a line parallel with and 50 feet Northerly of, when measured at right angles to, the center line of the existing railroad tracks of the Seaboard System Railroad (formerly known as Seaboard Coastline Railroad), as said tracks are now laid out and existing.

**AND ALSO**

The North 30 feet of the West 10 feet of the East 23 feet of the West Half of the Northeast Quarter of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East.

ALSO LESS AND EXCEPT therefrom that portion conveyed by JAMES M. HYATT and LINDA C. HYATT, his wife, to PAUL KUCK and CAROL KUCK, his wife, recorded July 3, 1984, in Official Records Book 3533, Page 402, described as follows:

That part of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East, Orange County, Florida, described as follows:

From the Northeast corner of the West Half of the Northeast Quarter of the Southeast Quarter of the Northwest Quarter of Section 31, Township 23 South, Range 30 East, Orange County, Florida, run South 00 degrees 01 minutes 20 seconds West 30.00 feet along the East boundary of the West Half of the East Half of the Southeast Quarter of the Northwest Quarter of said Section 31 to a point on a line parallel with and 30.00 feet South of, when measured at right angles to, the North boundary of said West Half of the Northeast Quarter of the Southeast Quarter of the Northwest Quarter; thence run South 89 degrees 44 minutes 14 seconds West 13.00 feet along said parallel line for the POINT OF BEGINNING; thence continue South 89 degrees 44 minutes 14 seconds West 10.00 feet to a point on a line parallel with and 23.00 feet West of, when measured at right angles to, the aforesaid East boundary of the West Half of the East Half of the Southeast Quarter of the Northwest Quarter; thence run South 00 degrees 01 minutes 20 seconds West 1094.72 feet along said parallel line to a point on a line parallel with and 50.00 feet Northerly of, when measured at right angles to, the center line of the existing railroad tracks of the Seaboard System Railroad (formerly known as Seaboard Coast Line Railroad) as said tracks are now laid out and exists; thence run North 72 degrees 58 minutes 16 seconds East 10.46 feet along said parallel line to a point on a line parallel with and 13.00 feet West of, when measured at right angles to, the aforesaid East boundary of the West Half of the East Half of the Southeast Quarter of the Northwest Quarter; thence run North 00 degrees 01 minutes 20 seconds East 1091.70 feet along said parallel line to the POINT OF BEGINNING.

**THE REAL PROPERTY DESCRIBED HEREIN MAY ALSO BE DESCRIBED AS SET FORTH IN EXHIBIT "A-1" ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.**

**EXHIBIT "A-1"**

A portion of the Southeast 1/4 of the Northwest 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, Florida, being more particularly described as follows:

Commence at the Northeast corner of Southeast 1/4 of the Northwest 1/4 of Section 31, Township 23 South, Range 30 East, Orange County, Florida; thence run S89°31'52"W along the North line of said Southeast 1/4 of the Northwest 1/4, a distance of 373.39 feet; thence, departing said North line, run S00°05'32"E, a distance of 30.00 feet for a Point of Beginning; thence continue S00°05'32"E, a distance of 415.25 feet; thence N88°52'51"W, parallel with an overhead power line, a distance of 51.95 feet; thence N00°55'28"E, along a projection of a 6 foot Chain Link fence, a distance of 385.31 feet; thence N42°00'41"W, a distance of 38.22 feet; thence N89°31'25"E, a distance of 70.64 feet to the Point of Beginning.

Contains 0.468 acres, more or less.

DR Bk 5223 Pg 4746  
Orange Co FL 1997-0105255

Recorded - Martha O. Haynie



b.

# WARRANTY DEED

This instrument was prepared by and return to:  
**Peter N. Smith, Esq.**  
Florida Bar No. 0113039  
Gurney & Handley, P. A.  
Attorneys At Law  
225 E. Robinson Street  
Suite 450, PO Box 1273  
Orlando FL 32802



**INSTR 20030018350**  
**OR BK 06739 PG 4029**  
MARTHA O. HAYNIE, COMPTROLLER  
ORANGE COUNTY, FL  
01/10/2003 03:26:44 PM  
DEED DOC TAX 4,900.00  
REC FEE 6.00  
LAST PAGE

Property Appraisers Parcel I.D.  
Number(s): 31-23-30-000-00-017

**THIS WARRANTY DEED** made the 10<sup>th</sup> day of January A.D. 2003 by **JAMES M. HYATT and LINDA C. HYATT, his Wife**, hereinafter called the grantor, to **LEGACY LAND EXCHANGE, L.L.C., a Louisiana Limited Liability Company**, whose post office address is c/o Regal Marine Industries, Inc., 2300 Jetport Drive, Orlando, Florida 32809, hereinafter called grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**WITNESSETH:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Orange County, Florida, viz:

West half of East half of Southeast quarter of Northwest quarter of Section 31, Township 23, South, Range 30 East, Orange County, Florida, lying North of railroad and U.S. right of way (less East 43 feet thereof and less commence at the Northeast corner of Southeast quarter of Northwest quarter of Section 31, run West 373.39 feet; thence South 30 feet for point of beginning, thence South 415.25 feet, thence West 51.95 feet, thence North 385.31 feet, thence North 42 degrees West 38.22 feet, thence East 70.64 feet to point of beginning).

Subject to easements and restrictions of record, if any, but this reference thereto shall not operate to reimpose the same.

**TOGETHER** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE and to HOLD**, the same in fee simple forever.

**AND** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2002.

**IN WITNESS WHEREOF**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of two witnesses:

Printed Name: DWIGHT I. COOL

Printed Name: Linda R. McDonald

Printed Name: DWIGHT I. COOL

Printed Name: Linda R. McDonald

JAMES M. HYATT  
PO Box 494  
Oak Hill, FL 32759

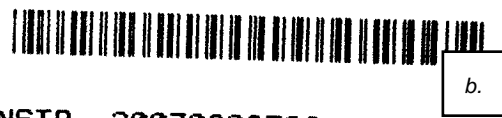
LINDA C. HYATT  
PO Box 494  
Oak Hill, FL 32759

STATE OF FLORIDA )  
                                  ) ss:  
COUNTY OF ORANGE )

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of January, 2003, by **JAMES M. HYATT and LINDA C. HYATT**, his wife, who are personally known to me or who have produced Driver license as identification and who  did  did not take an oath.

(NOTARIAL SEAL)  
  
LINDA R. McDONALD  
MY COMMISSION # DD 019105  
EXPIRES: April 20, 2005  
1-800-3-NOTARY FL Notary Service & Bonding, Inc.

Name: Linda R. McDonald  
(Type or print)  
Notary Public  
My commission expires: 4-20-05



INSTR 20070828702  
 OR BK 09546 PG 4427 PGS=3  
 MARTHA O. HAYNIE, COMPTROLLER  
 ORANGE COUNTY, FL  
 12/27/2007 03:23:09 PM  
 DEED DOC TAX 0.70  
 REC FEE 27.00

This Instrument Prepared by  
 and Returned to:  
**COURTNEY L. MILAM, ESQUIRE**  
 Shuffield, Lowman & Wilson, P.A.  
 1000 Legion Place, Suite 1700  
 Orlando, Florida 32801

Property Appraisers Parcel  
 Identification (Folio) No.: 31-23-30-0000-00-011

**QUIT CLAIM DEED**

**THIS QUIT CLAIM DEED**, executed this 21<sup>st</sup> day of December, A.D. 2007, by DUANE P. KUCK and TIMOTHY KUCK, as Co-Personal Representatives of THE ESTATE OF PAUL M. KUCK, deceased (the "first party"), to MARKETING BUSINESS ASSOCIATES, LTD., a Florida limited partnership, whose address is 2300 Jetport Drive, Orlando, Florida 32809 (the "second party"):

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH**, That the said first party, for and in consideration of the sum of \$10.00, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of ORANGE, State of Florida, to-wit:

**From the Southeast corner of the NE ¼ of the NW ¼ of Section 31, Township 23 South, Range 30 East, run N 00°02'15" W along the East boundary of the NW ¼ of said Section 31, a distance of 739.56 feet to the Point of Beginning; run thence S 61°19'10" W, 158.71 feet; thence N 89°37'53" E, 139.29 feet; thence N 00°02'15" W, 75.27 feet to the Point of Beginning.**

**TO HAVE AND TO HOLD** The same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

This conveyance is subject to easements, restrictions, reservations and limitations of record and to any road right-of-ways applicable to said described property above and taxes and assessments for the year 2007 and thereafter; however, reference herein shall not reimpose same.

This Deed has been prepared without reference to any title work such as a title commitment, title policy or survey.

*Signatures on following page*



IN WITNESS WHEREOF, The said first party has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Mary Beltzer  
Signature

MARY BELTZER  
Printed Name of Witness

Duane P. Kuck  
DUANE P. KUCK, as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased

Sandra L. Ellis  
Signature

Sandra L. ELLIS  
Printed Name of Witness

Mary Beltzer  
Signature

MARY BELTZER  
Printed Name of Witness

Timothy Kuck  
TIMOTHY KUCK, as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased

Sandra L. Ellis  
Signature

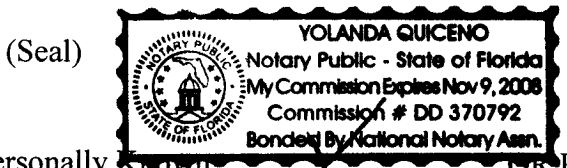
Sandra L. ELLIS  
Printed Name of Witness

STATE OF Florida  
COUNTY OF Orange

The foregoing was acknowledged before me this 21<sup>st</sup> day of December 2007, by DUANE P. KUCK, as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased.

Yolanda Quiceno  
Signature of Notary Public

Print Name: Yolanda Quiceno



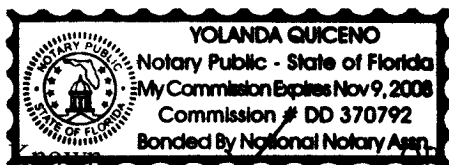
Personally Known  OR Produced Identification   
Type of Identification Produced \_\_\_\_\_

STATE OF Florida  
COUNTY OF Orange

The foregoing was acknowledged before me this 21<sup>st</sup> day of December 2007, by TIMOTHY KUCK, as Co-Personal Representative of THE ESTATE OF PAUL M. KUCK, deceased.

Yolanda Quiceno  
Signature of Notary Public

(Seal)



Print Name: Yolanda Quiceno

Personally Present Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_

# DRAWING INDEX

- E C-0.0 - COVER SHEET
- ~~C-1.1 - GENERAL NOTES~~
- ~~C-1.2 - GENERAL NOTES~~
- C-2.1 - PRE-DEVELOPMENT BASIN MAP
- C-2.2 - POST-DEVELOPMENT BASIN MAP
- C-3.0 - BUILDING EXPANSION DEMOLITION PLAN
- C-3.1 - PARKING EXPANSION AREA DEMOLITION PLAN
- ~~C-4.0 - EROSION CONTROL PLAN~~
- ~~C-4.1 - EROSION CONTROL PLAN~~
- ~~C-4.2 - EROSION CONTROL DETAILS~~
- C-5.0 - OVERALL SITE PLAN
- C-5.1 - BUILDING EXPANSION SITE PLAN
- D C-5.2 - PROPOSED CANOPY & PARKING EXPANSION AREA SITE PLAN
- C-6.0 - BUILDING EXPANSION GRADING PLAN
- C-6.1 - PROPOSED CANOPY & PARKING EXPANSION AREA GRADING PLAN
- ~~C-7.0 - BUILDING EXPANSION UTILITY PLAN~~
- ~~C-7.1 - PROPOSED SANITARY SEWER PLAN & PROFILES~~
- ~~C-8.0 - WATER SERVICE DETAILS~~
- ~~C-8.1 - CITY OF ORLANDO SANITARY SEWER DETAILS~~
- ~~C-8.2 - CITY OF ORLANDO SANITARY SEWER DETAILS~~
- ~~C-8.3 - CITY OF ORLANDO SANITARY SEWER DETAILS~~
- ~~C-8.4 - LIFT STATION DETAILS~~
- C-8.5 - GENERAL DETAILS
- C L2.00 OVERALL PLAN
- L2.10 LANDSCAPE PLAN
- L3.10 NOTES & DETAILS

### Owner

REGAL MARINE INDUSTRIES,  
MARKETING BUSINESS ASSOCIATES LTD.,  
LEGACY LAND LLC  
2300 JETPORT DR  
ORLANDO, FL 32809-7800  
PHONE: 407.447.9219  
CONTACT: PAUL KUCK

### Civil Engineer

DEWBERRY ENGINEERS, INC.  
800 NORTH MAGNOLIA AVENUE, SUITE 1000  
ORLANDO, FL 32803-3251  
PHONE: 321.354.9656  
CONTACT: REINARDO MALAVE, PE

### Architect

L2 STUDIOS  
109 EAST CHURCH STREET, STE. 150  
ORLANDO, FL 32801  
PHONE: 407.648.8888  
CONTACT:

### Surveyors

DEWBERRY ENGINEERS, INC.  
131 WEST KALEY STREET  
ORLANDO, FL 32806  
PHONE: 321.354.9837  
CONTACT: WILLIAM HINKLE, PSM

DEEP SOUTH SURVEYING  
596 TERRANOVA CIRCLE  
WINTER HAVEN, FL 33884  
PHONE: 863.797.3366  
CONTACT: GALEN K. BELL, PSM

POTABLE WATER  
ORANGE COUNTY UTILITIES  
9150 CURRY FORD ROAD  
ORLANDO, FL 32825  
PHONE: 407-423-9918  
CONTACT: DAVID SHORETTE

SANITARY SEWER  
CITY OF ORLANDO  
102 N. ALASKA AVENUE  
KISSIMMEE, FL 34741  
PHONE: 407-246-9018



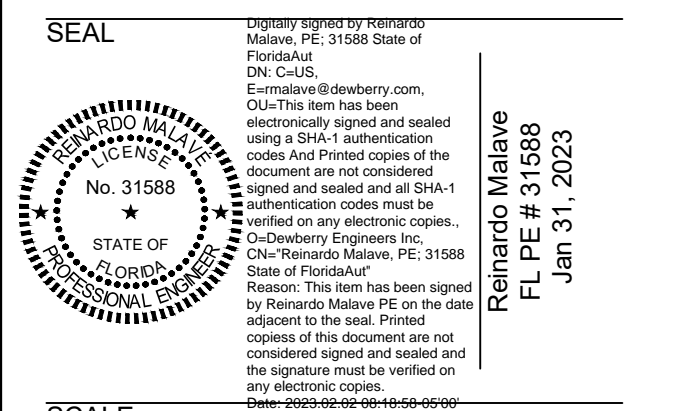
# REGAL MARINE EXPANSION

Belle Isle, Florida  
CONSTRUCTION SET  
SEPTEMBER, 2022



Dewberry Engineers, Inc  
800 N. Magnolia Avenue  
Suite 1000  
Orlando, FL 32803  
407.843.5120  
C.A. #8794

REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA  
CONSTRUCTION PLANS



SCALE

### REVISIONS

NO.	DESCRIPTION	DATE
1	ADDED/REVISED SHEETS	10/1/22

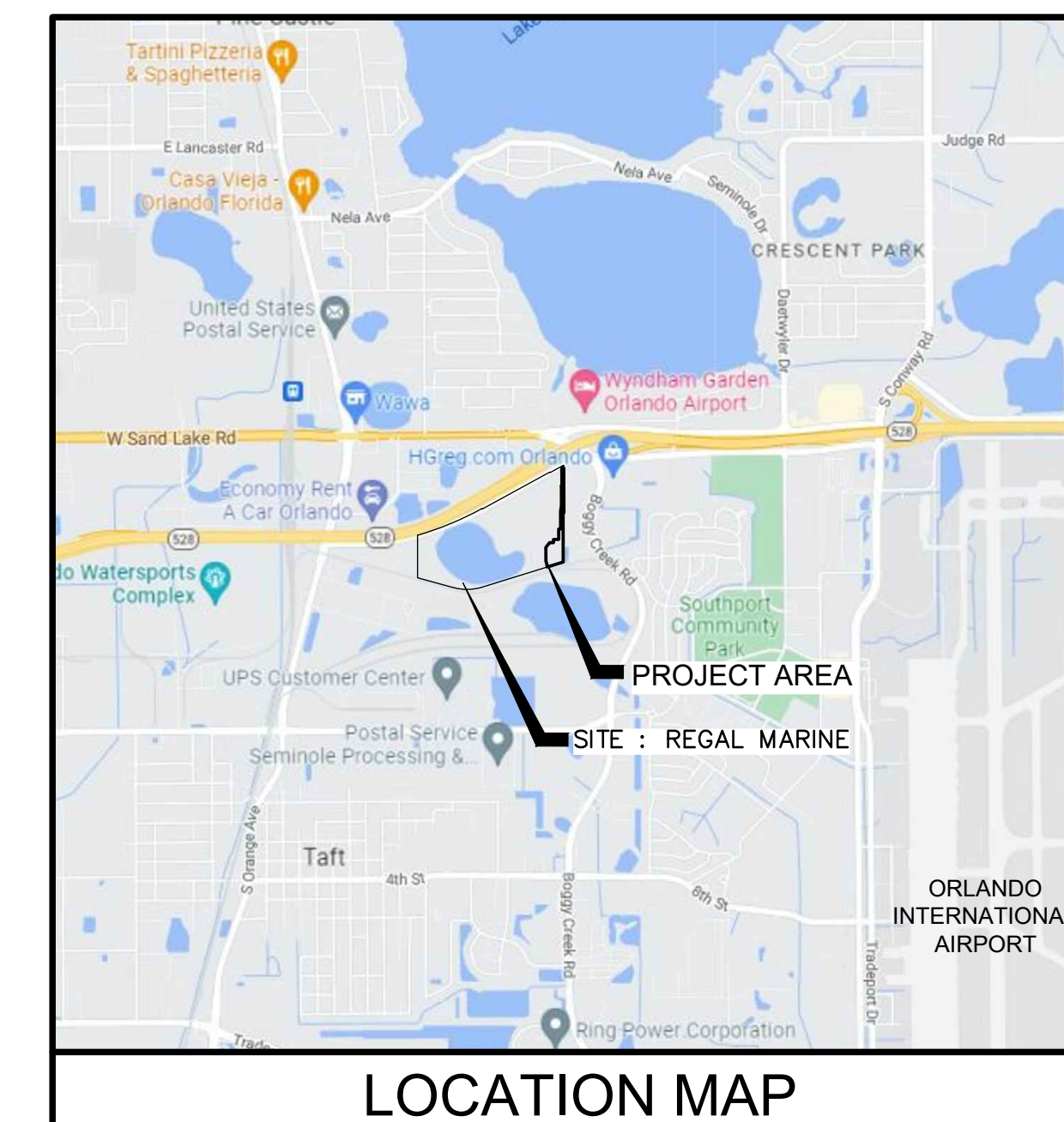
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APPROVED BY \_\_\_\_\_ RM  
CHECKED BY \_\_\_\_\_ GL  
DATE \_\_\_\_\_ 9 / 6 / 2022  
TITLE

COVER SHEET

PROJECT NO. 50150413

# C-0.0

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

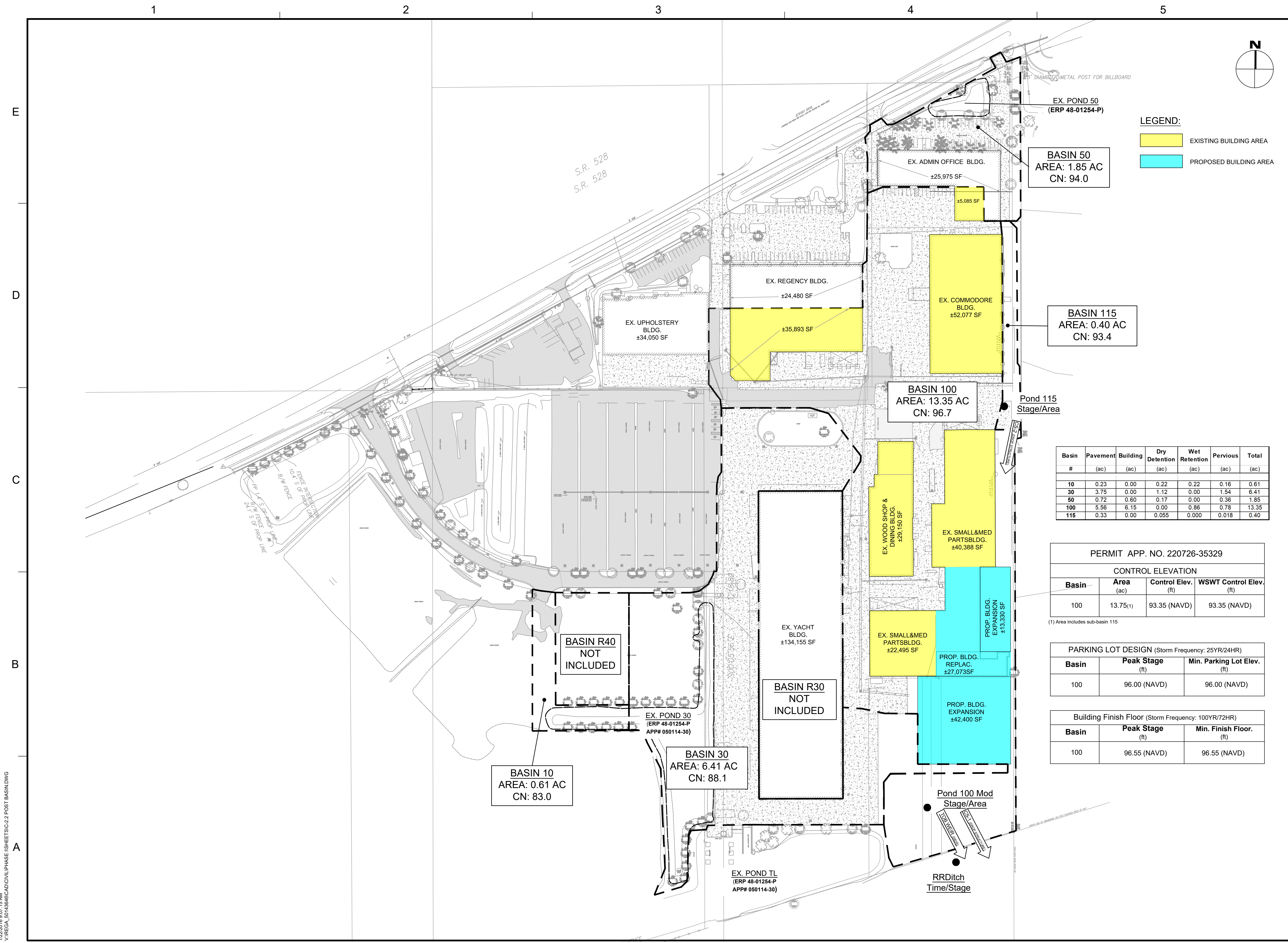


NOT TO SCALE SECT 07, T 25 S, R 30 E









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 Dewberry Engineers, Inc  
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 Suite 1000  
 Orlando, FL 32803  
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 C.A. #8794

REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

SEAL  
 [Professional Engineer Seal: Raymond Malave, No. 31588, State of Florida]

SCALE  
 0' 50' 100' 200'  
 SCALE: 1" = 100'

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: \_\_\_\_\_ GL  
 APPROVED BY: \_\_\_\_\_ RM  
 CHECKED BY: \_\_\_\_\_ GL  
 DATE: 9/6/2022

TITLE  
**POST-DEVELOPMENT  
 BASIN MAP**

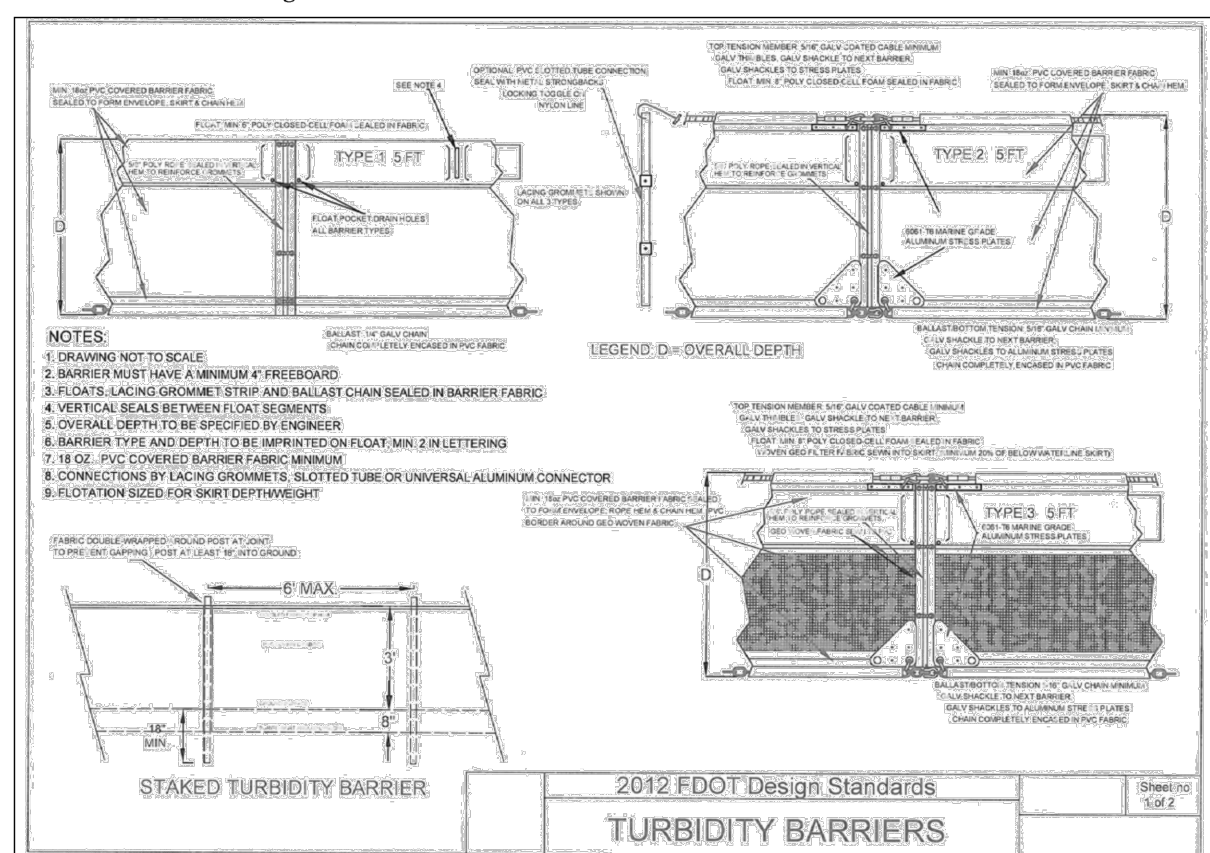
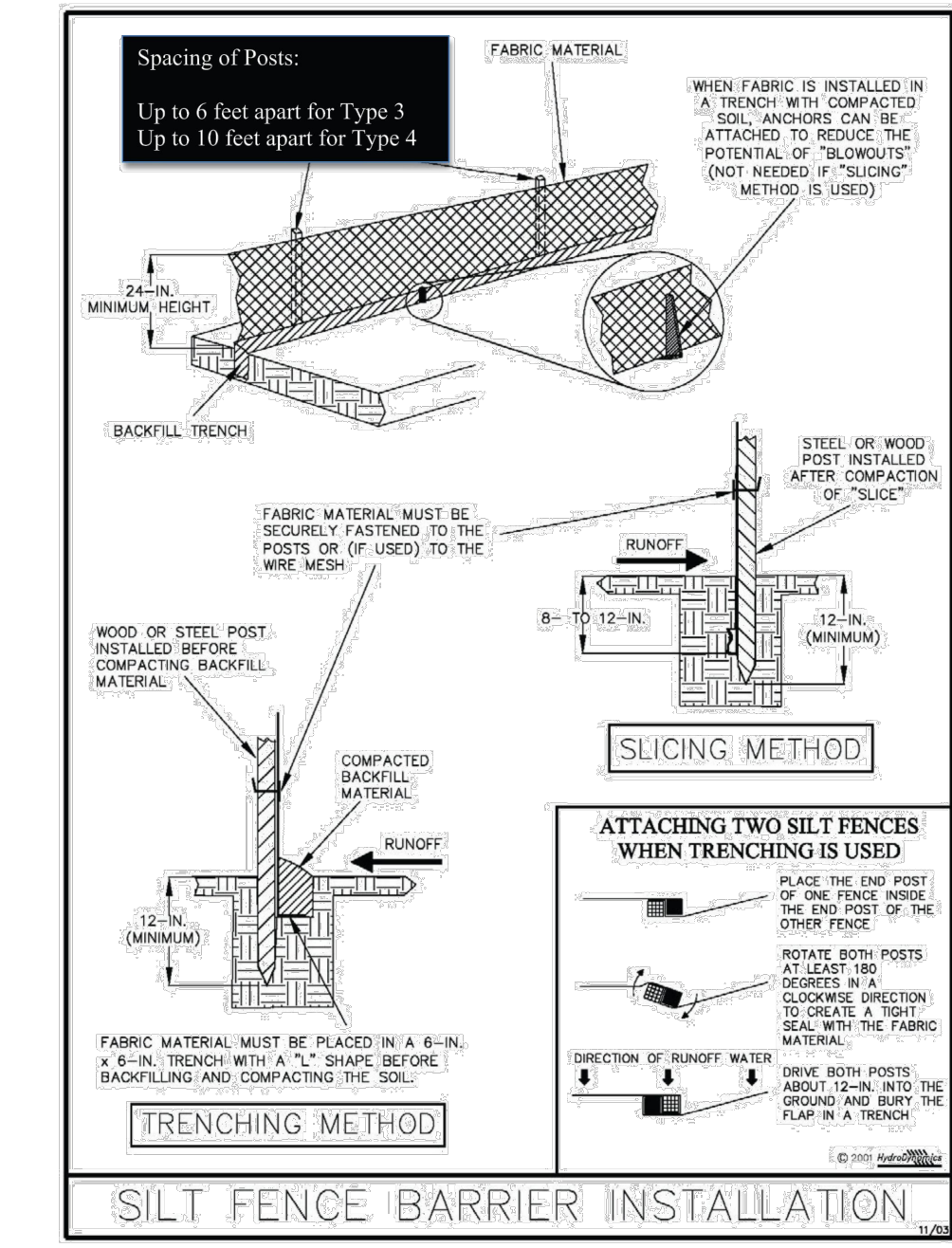
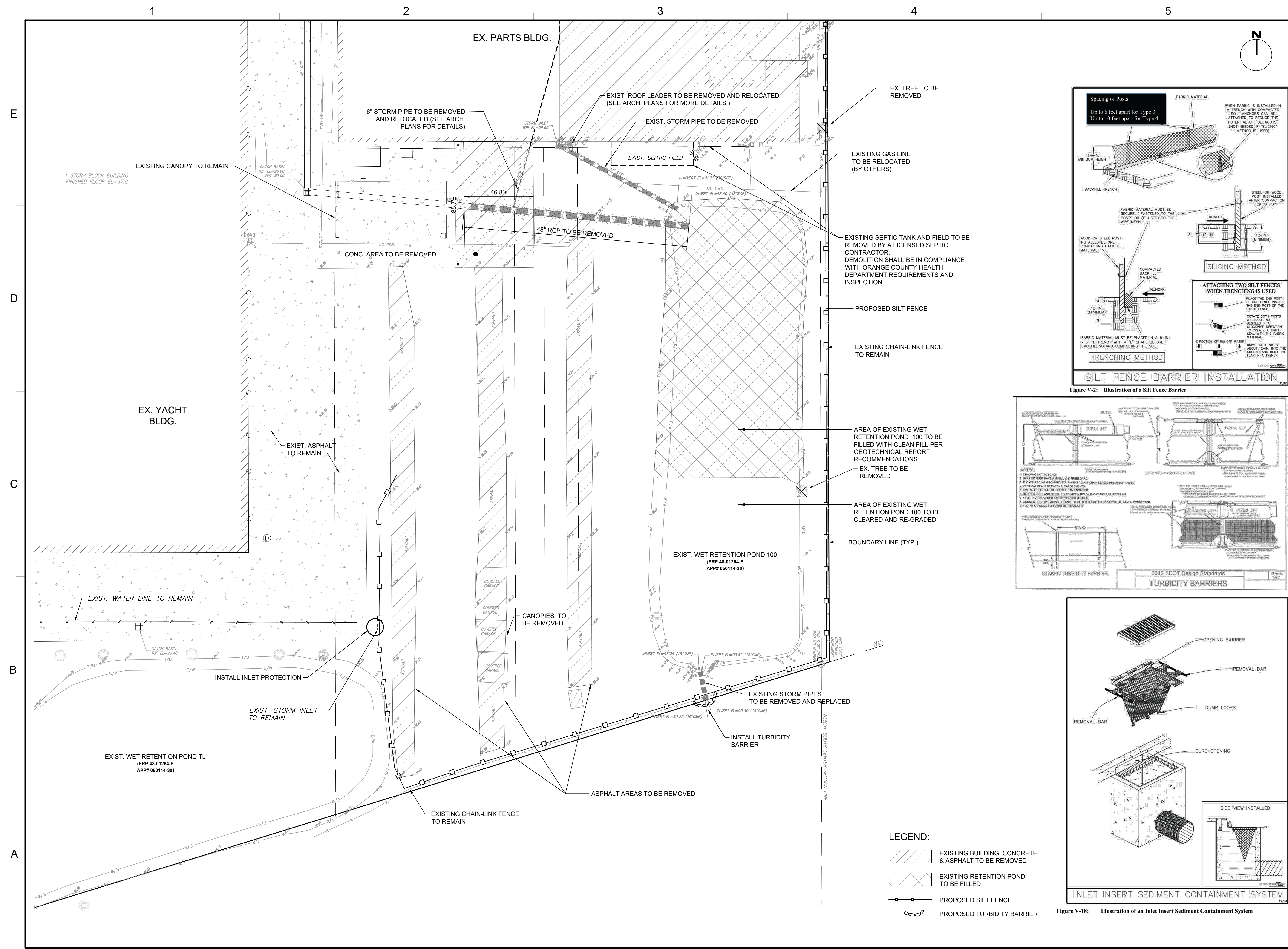
PROJECT NO. 50150413

**C-2.2**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

I:\2022\08\30\15 AM V:\REGAL\_BOATPRODUCTION\PHASE 1\SHEETS\C-2.2 POST BASIN.DWG





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 Dewberry Engineers, Inc  
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 Suite 1000  
 Orlando, FL 32803  
 407.843.5120  
 C.A. #8794

REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

SEAL  
 Digitally signed by Reynaldo Malave, PE, 21688 State of Florida  
 No. 31588  
 State of Florida  
 Reynaldo Malave, PE  
 21688 State of Florida  
 No. 31588  
 State of Florida  
 Date: 2023.02.02 09:19:52-0500

SCALE  
 0' 15' 30' 60'  
 SCALE: 1" = 30'

REVISIONS

NO.	DESCRIPTION	DATE

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 APPROVED BY \_\_\_\_\_ RM  
 CHECKED BY \_\_\_\_\_ GL  
 DATE \_\_\_\_\_ 9 / 6 / 2022  
 TITLE \_\_\_\_\_

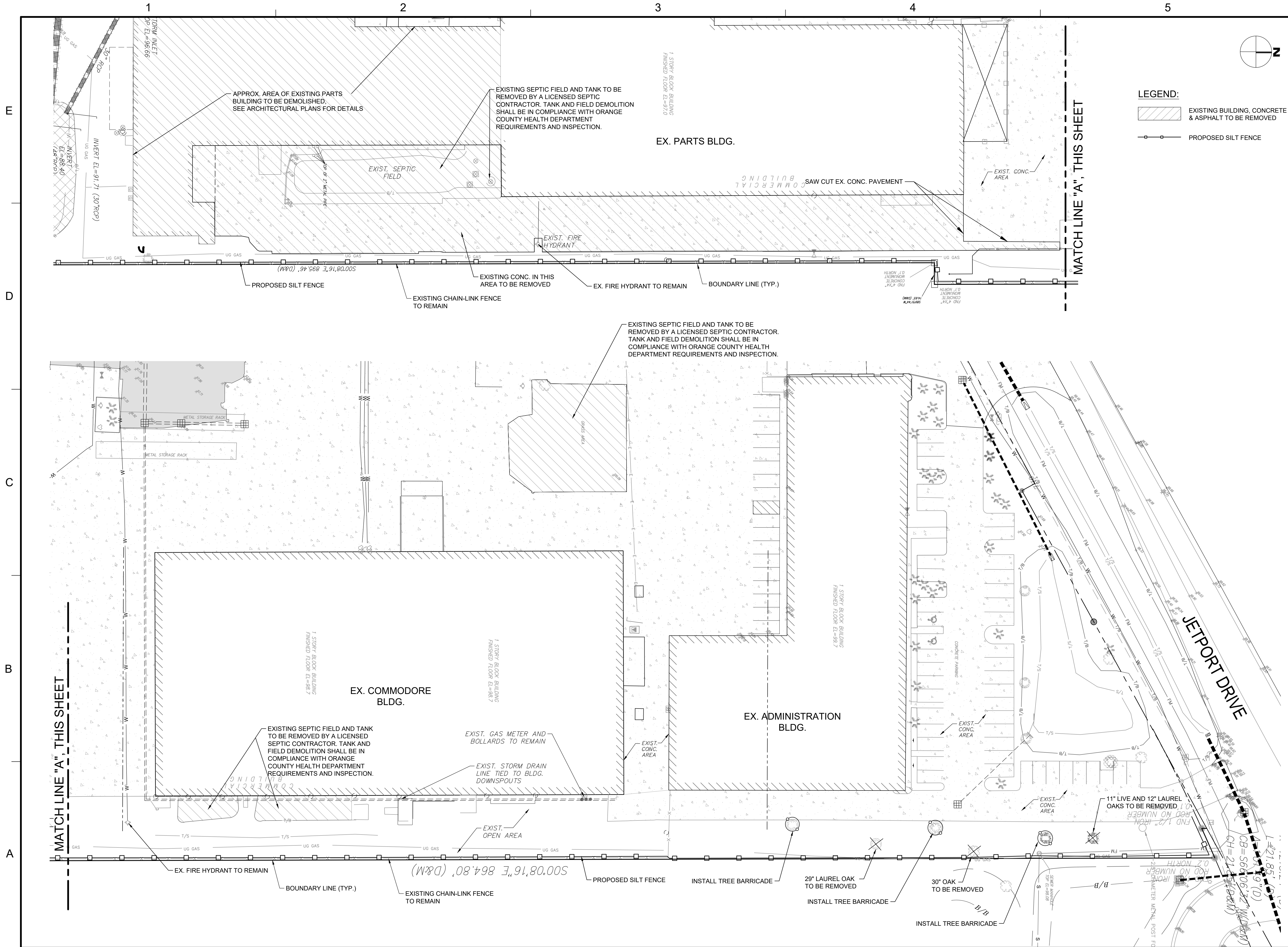
**BUILDING EXPANSION  
 DEMOLITION  
 PLAN**

PROJECT NO. 50150413

**C-3.0**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_





Dewberry Engineers, Inc  
 800 N. Magnolia Avenue  
 Suite 1000  
 Orlando, FL 32803  
 407.843.5120  
 C.A. #8794

**LEGEND:**  
 EXISTING BUILDING, CONCRETE & ASPHALT TO BE REMOVED  
 PROPOSED SILT FENCE

REGAL MARINE INDUSTRIES  
**BOAT PRODUCTION  
 EXPANSION**  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

**SEAL**  
  
 Digitally signed by Reinardo Malave, PE, 31588 State of Florida, DN: CN=Dewberry Engineers, Inc., OU=Florida, O=Dewberry Engineers, Inc., email=rmalave@dewberry.com, c=US  
 This item has been electronically signed and sealed using a PKI-1 authentication code. Use the Private Key of the signed and sealed area of this document to verify the signature. This item has been electronically signed and sealed using a PKI-1 authentication code. Use the Private Key of the signed and sealed area of this document to verify the signature. This item has been electronically signed and sealed using a PKI-1 authentication code. Use the Private Key of the signed and sealed area of this document to verify the signature. This item has been electronically signed and sealed using a PKI-1 authentication code. Use the Private Key of the signed and sealed area of this document to verify the signature.  
 Reinardo Malave  
 FL PE # 31588  
 Jan 31, 2023

**SCALE**  
  
 SCALE: 1" = 30'

**REVISIONS**

NO.	DESCRIPTION	DATE

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 APPROVED BY \_\_\_\_\_ RM  
 CHECKED BY \_\_\_\_\_ GL  
 DATE \_\_\_\_\_ 9/6/2022  
 TITLE \_\_\_\_\_

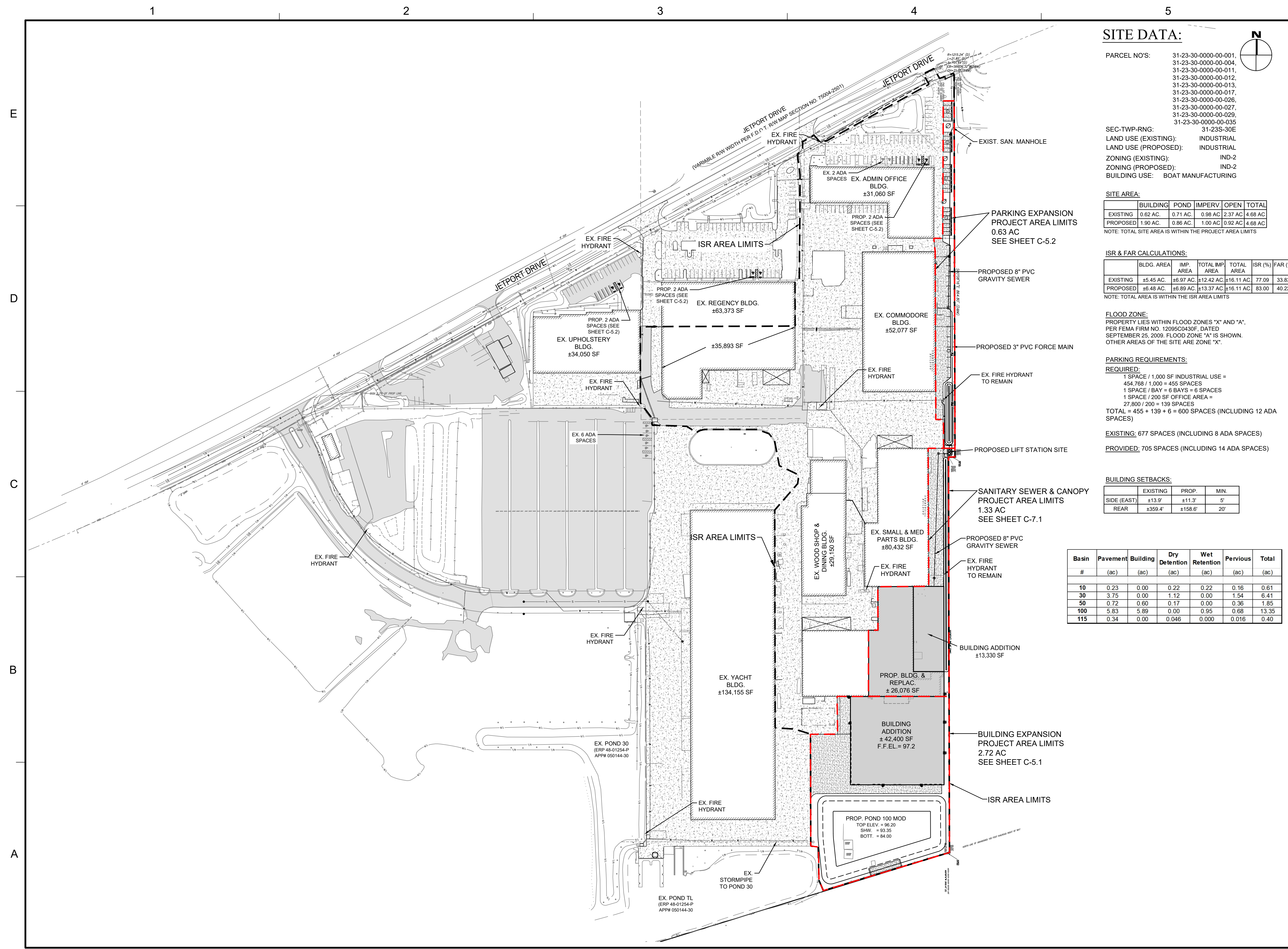
**PARKING EXPANSION  
 AREA DEMOLITION  
 PLAN**

PROJECT NO. 50150413

**C-3.1**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_





**SITE DATA:**

PARCEL NO'S: 31-23-30-0000-00-001, 31-23-30-0000-00-004, 31-23-30-0000-00-011, 31-23-30-0000-00-012, 31-23-30-0000-00-013, 31-23-30-0000-00-017, 31-23-30-0000-00-026, 31-23-30-0000-00-027, 31-23-30-0000-00-029, 31-23-30-0000-00-035

SEC-TWP-RNG: 31-23S-30E

LAND USE (EXISTING): INDUSTRIAL  
LAND USE (PROPOSED): INDUSTRIAL

ZONING (EXISTING): IND-2  
ZONING (PROPOSED): IND-2

BUILDING USE: BOAT MANUFACTURING

**SITE AREA:**

	BUILDING	POND	IMPERV.	OPEN	TOTAL
EXISTING	0.62 AC	0.71 AC	0.98 AC	2.37 AC	4.68 AC
PROPOSED	1.90 AC	0.86 AC	1.00 AC	0.92 AC	4.68 AC

NOTE: TOTAL SITE AREA IS WITHIN THE PROJECT AREA LIMITS

**ISR & FAR CALCULATIONS:**

	BLDG. AREA	IMP. AREA	TOTAL IMP. AREA	TOTAL AREA	ISR (%)	FAR (%)
EXISTING	±5.45 AC	±6.97 AC	±12.42 AC	±16.11 AC	77.09	33.83
PROPOSED	±6.48 AC	±6.89 AC	±13.37 AC	±16.11 AC	83.00	40.22

NOTE: TOTAL AREA IS WITHIN THE ISR AREA LIMITS

**FLOOD ZONE:**  
PROPERTY LIES WITHIN FLOOD ZONES "X" AND "A", PER FEMA FIRM NO. 12095C0430F, DATED SEPTEMBER 25, 2009. FLOOD ZONE "A" IS SHOWN. OTHER AREAS OF THE SITE ARE ZONE "X".

**PARKING REQUIREMENTS:**  
**REQUIRED:**  
1 SPACE / 1,000 SF INDUSTRIAL USE = 454,768 / 1,000 = 455 SPACES  
1 SPACE / BAY = 6 BAYS = 6 SPACES  
1 SPACE / 200 SF OFFICE AREA = 27,800 / 200 = 139 SPACES  
TOTAL = 455 + 139 + 6 = 600 SPACES (INCLUDING 12 ADA SPACES)

**EXISTING:** 677 SPACES (INCLUDING 8 ADA SPACES)  
**PROVIDED:** 705 SPACES (INCLUDING 14 ADA SPACES)

**BUILDING SETBACKS:**

	EXISTING	PROP.	MIN.
SIDE (EAST)	±13.9'	±11.3'	5'
REAR	±359.4'	±158.6'	20'

Basin #	Pavement (ac)	Building (ac)	Dry Detention (ac)	Wet Retention (ac)	PerVIOUS (ac)	Total (ac)
10	0.23	0.00	0.22	0.22	0.16	0.61
30	3.75	0.00	1.12	0.00	1.54	6.41
50	0.72	0.60	0.17	0.00	0.36	1.85
100	5.83	5.89	0.00	0.95	0.68	13.35
115	0.34	0.00	0.046	0.000	0.016	0.40

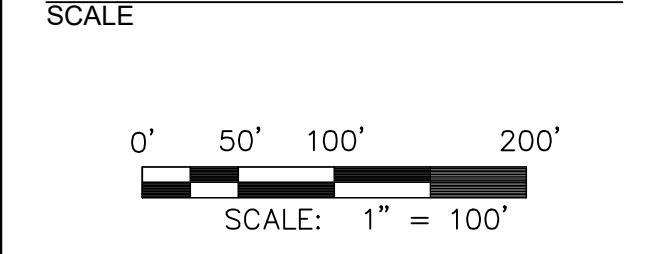


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407.843.5120  
C.A. #8794

REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA  
CONSTRUCTION PLANS

SEAL

Reynaldo Malave  
FL PE # 31588  
Jan 31, 2023



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ GL  
APPROVED BY \_\_\_\_\_ RM  
CHECKED BY \_\_\_\_\_ GL  
DATE \_\_\_\_\_ 9 / 6 / 2022  
TITLE \_\_\_\_\_

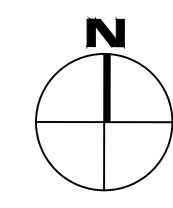
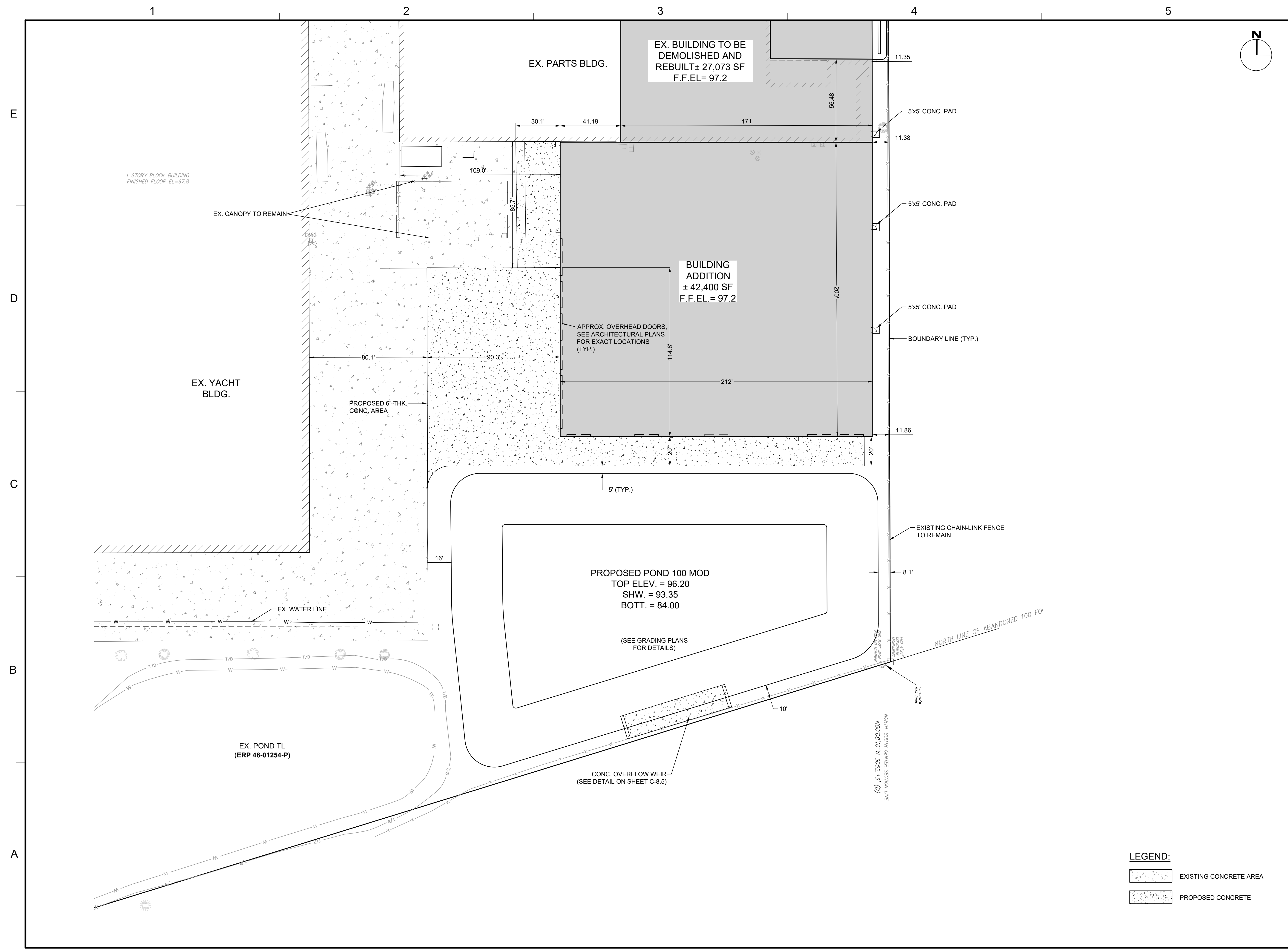
**OVERALL SITE PLAN**

PROJECT NO. 50150413

**C-5.0**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_





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 Suite 1000  
 Orlando, FL 32803  
 407.843.5120  
 C.A. #8794

REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

SEAL

Digitally signed by Reinardo Malave, PE, 31588 State of Florida.  
 DN: cn=Reinardo Malave, o=Dewberry Engineers, Inc., email=Reinardo.Malave@dewberry.com, c=US.  
 No. 31588  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 Reinardo Malave  
 FL PE # 91588  
 Jan 31, 2023

SCALE

SCALE: 1" = 30'

REVISIONS

NO.	DESCRIPTION	DATE

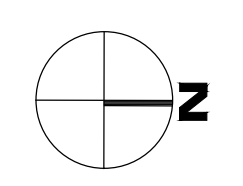
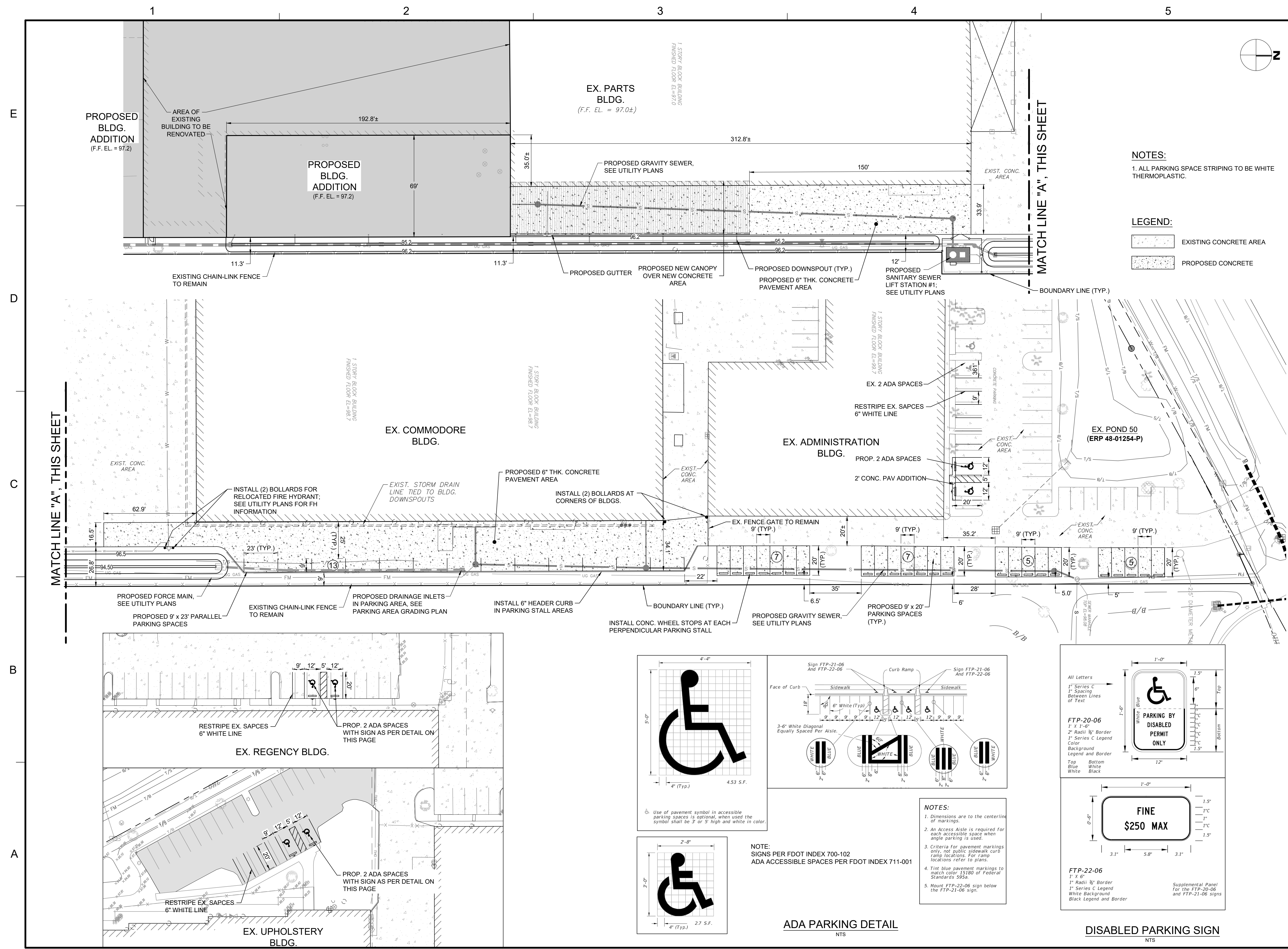
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 APPROVED BY \_\_\_\_\_ RM  
 CHECKED BY \_\_\_\_\_ GL  
 DATE \_\_\_\_\_ 9 / 6 / 2022  
 TITLE \_\_\_\_\_

**BUILDING EXPANSION  
 SITE PLAN**

PROJECT NO. 50150413

**C-5.1**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_



**NOTES:**  
 1. ALL PARKING SPACE STRIPING TO BE WHITE THERMOPLASTIC.

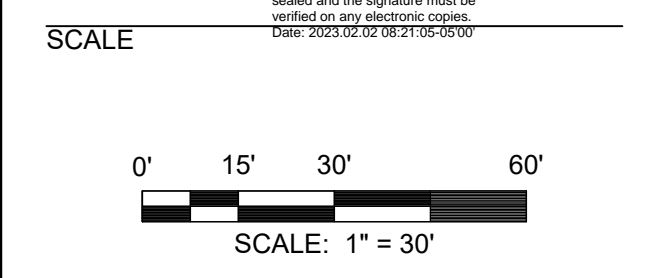
**LEGEND:**

- EXISTING CONCRETE AREA
- PROPOSED CONCRETE

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 Dewberry Engineers, Inc  
 800 N. Magnolia Avenue  
 Suite 1000  
 Orlando, FL 32803  
 407.843.5120  
 C.A. #8794

REGAL MARINE INDUSTRIES  
 BOAT PRODUCTION  
 EXPANSION  
 BELLE ISLE  
 2300 JETPORT DRIVE BELLE  
 CITY OF BELLE ISLE, FLORIDA  
 CONSTRUCTION PLANS

**SEAL**  
 Digitally signed by Reinardo Malave, PE, 31588 State of Florida, DN: C=US, #31588  
 This document has been electronically signed and sealed using a SHA-1 authentication code and Private Key of the document are not considered legal and cannot be used as evidence in any legal proceeding. This document is not a contract. The date adjacent to the seal printed on the bottom of this document is the date the signature was sealed and the signature must be verified on the electronic copy.  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 Reinardo Malave, PE  
 No. 31588  
 Date: 2023/02/06 09:21:00-0500  
 FL PE # 31588  
 Feb 01, 2023



**REVISIONS**

NO.	DESCRIPTION	DATE

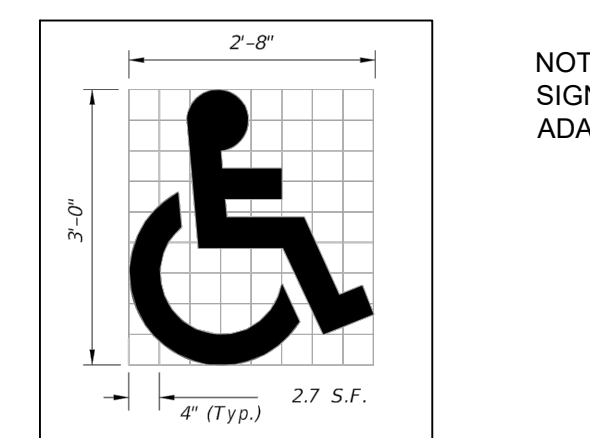
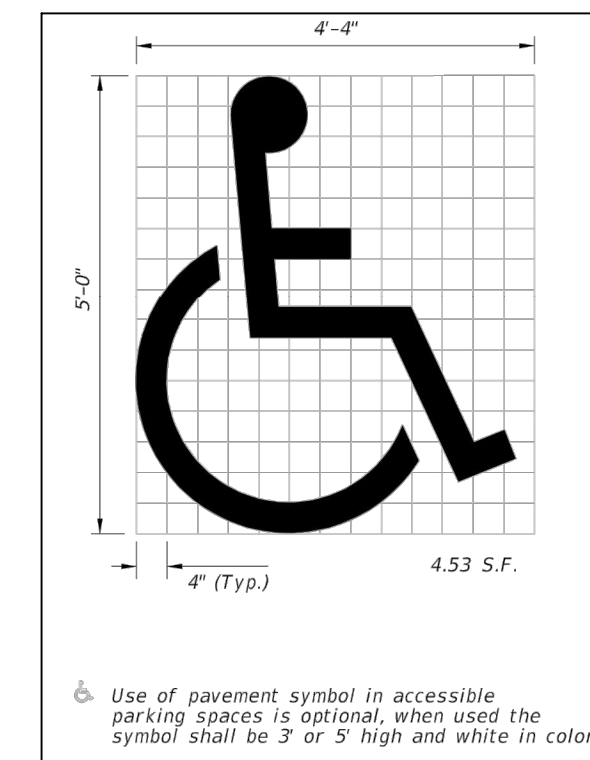
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 APPROVED BY \_\_\_\_\_ RM  
 CHECKED BY \_\_\_\_\_ GL  
 DATE \_\_\_\_\_ 9/6/2022  
 TITLE \_\_\_\_\_

**PROPOSED CANOPY & PARKING EXPANSION AREA SITE PLAN**

PROJECT NO. 50150413

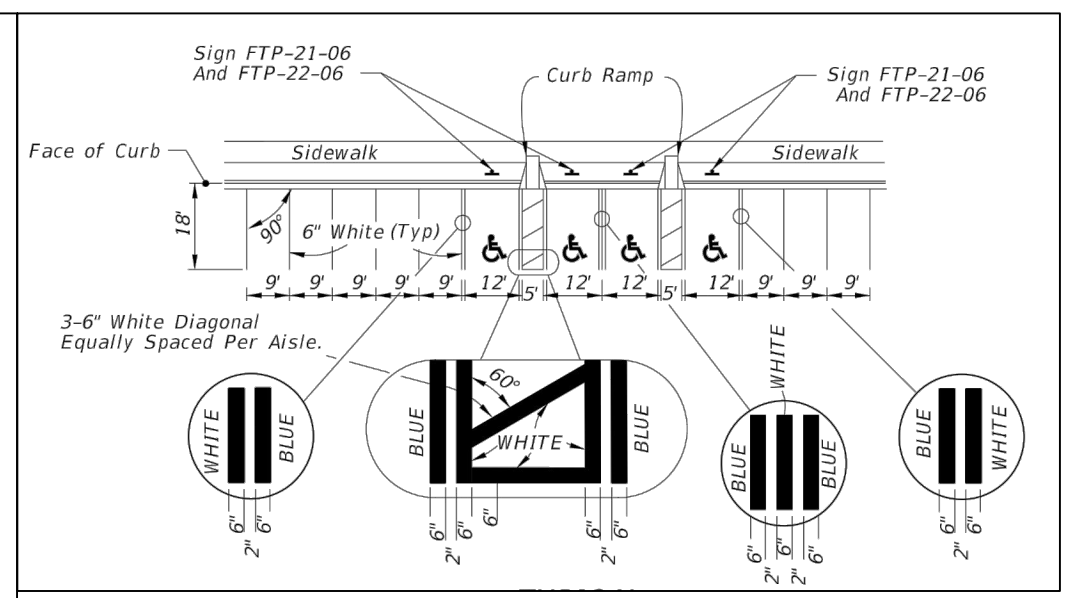
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SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

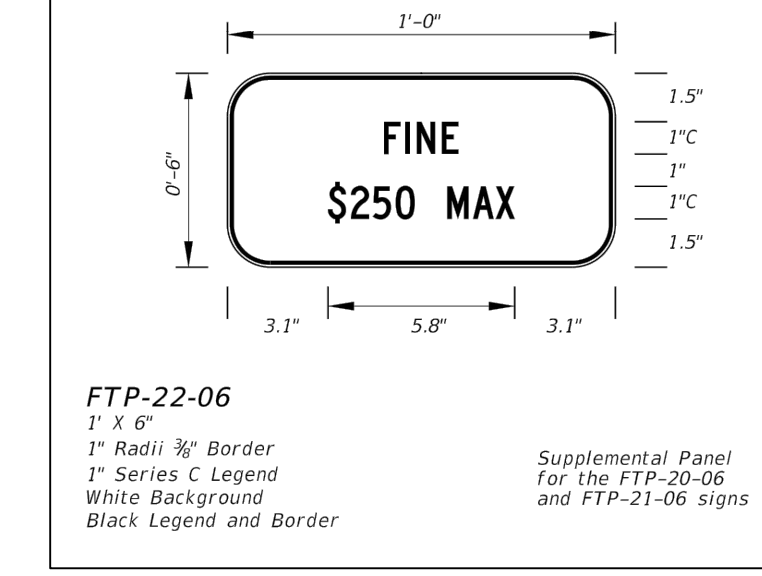
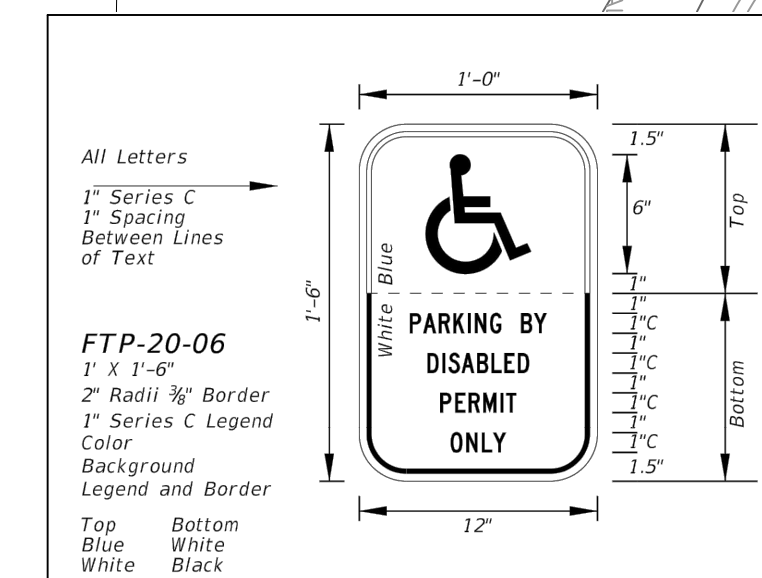


**NOTE:**  
 SIGNS PER FOOT INDEX 700-102  
 ADA ACCESSIBLE SPACES PER FOOT INDEX 711-001

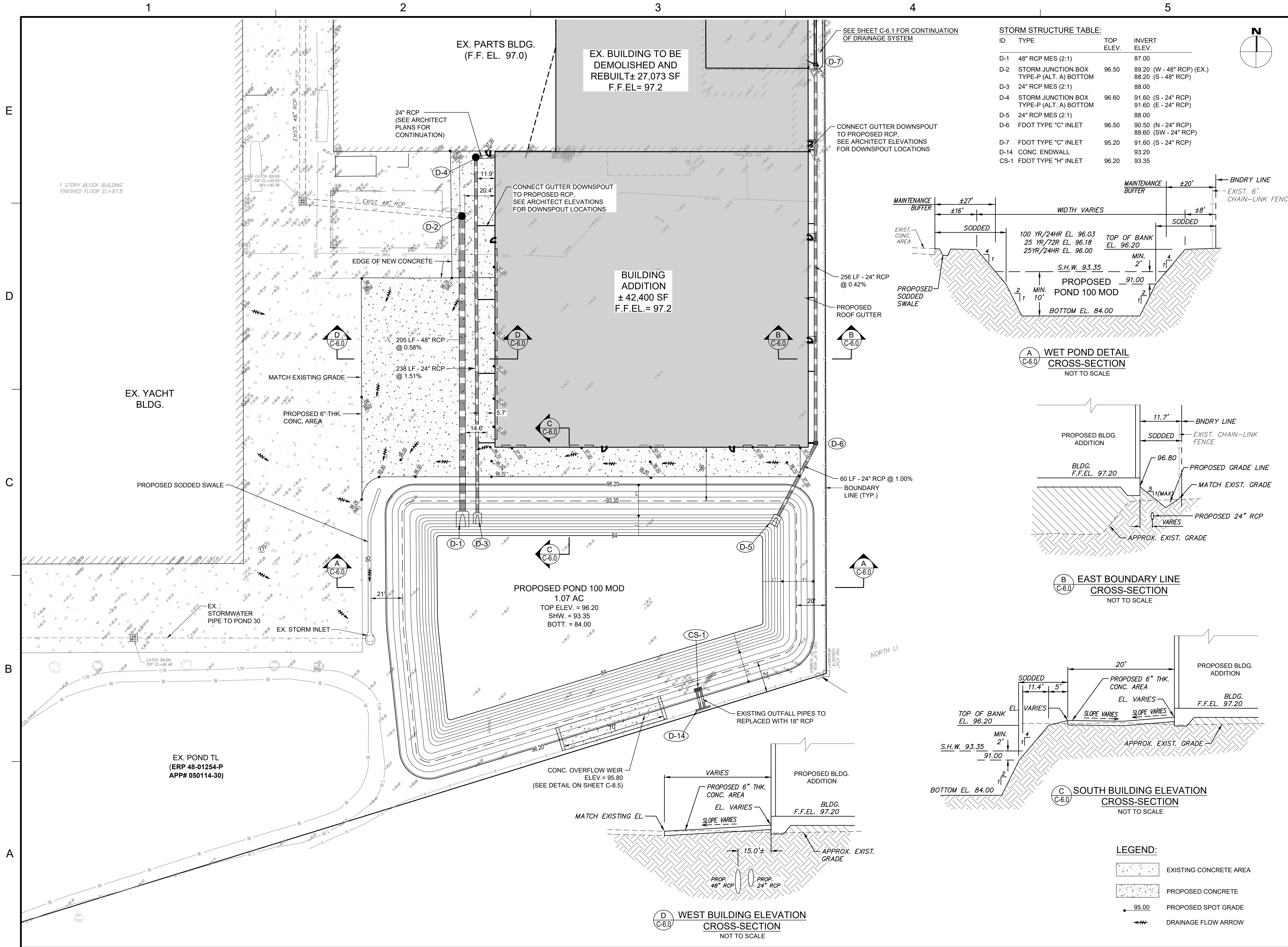
**ADA PARKING DETAIL**  
 NTS



**NOTES:**  
 1. Dimensions are to the centerline of markings.  
 2. An Access Aisle is required for each accessible space when angle parking is used.  
 3. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.  
 4. Tint blue pavement markings to match color 15180 of Federal Standard 595a.  
 5. Mount FTP-22-06 sign below the FTP-21-06 sign.

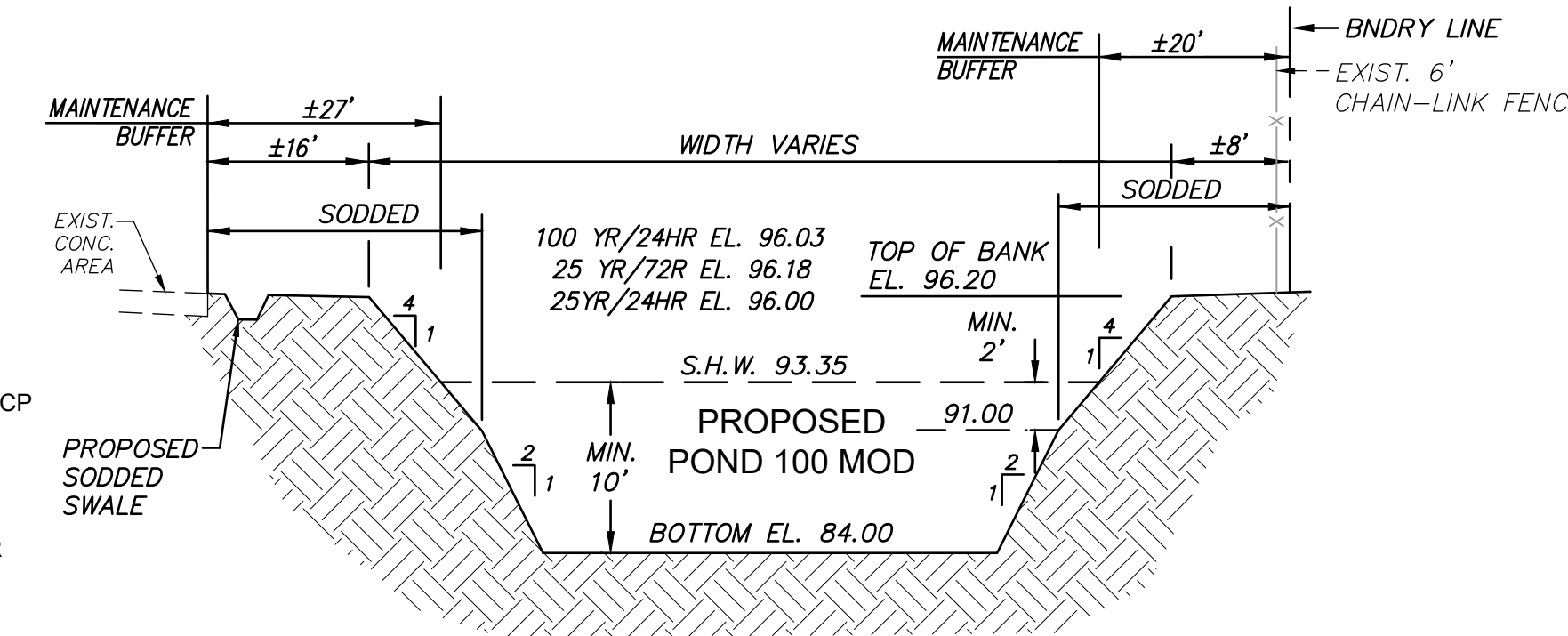


**DISABLED PARKING SIGN**  
 NTS

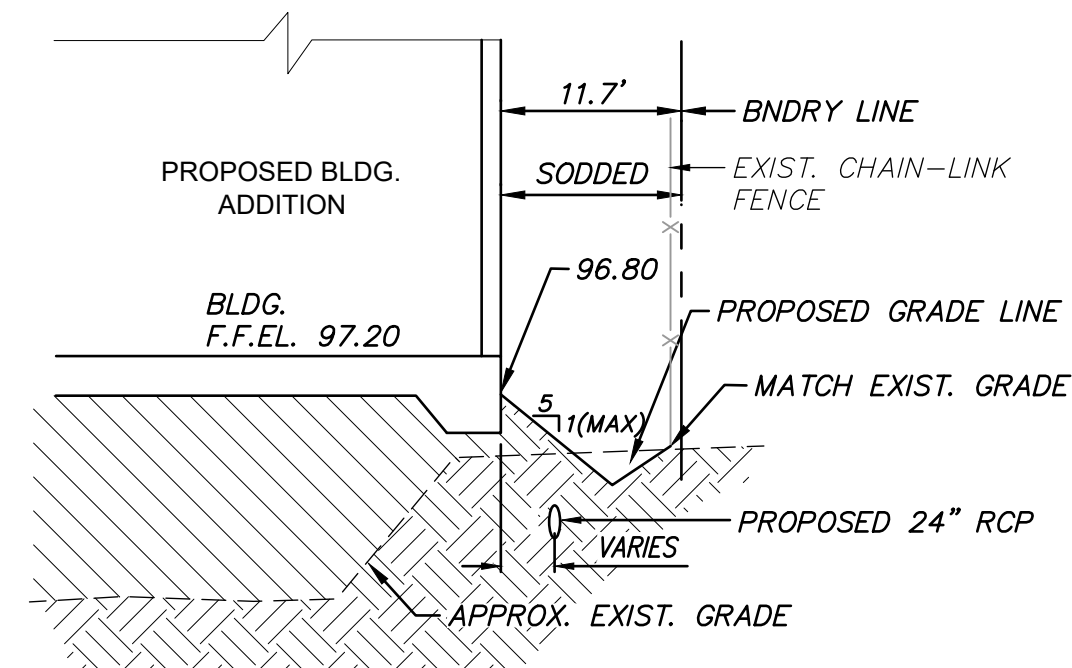


**STORM STRUCTURE TABLE:**

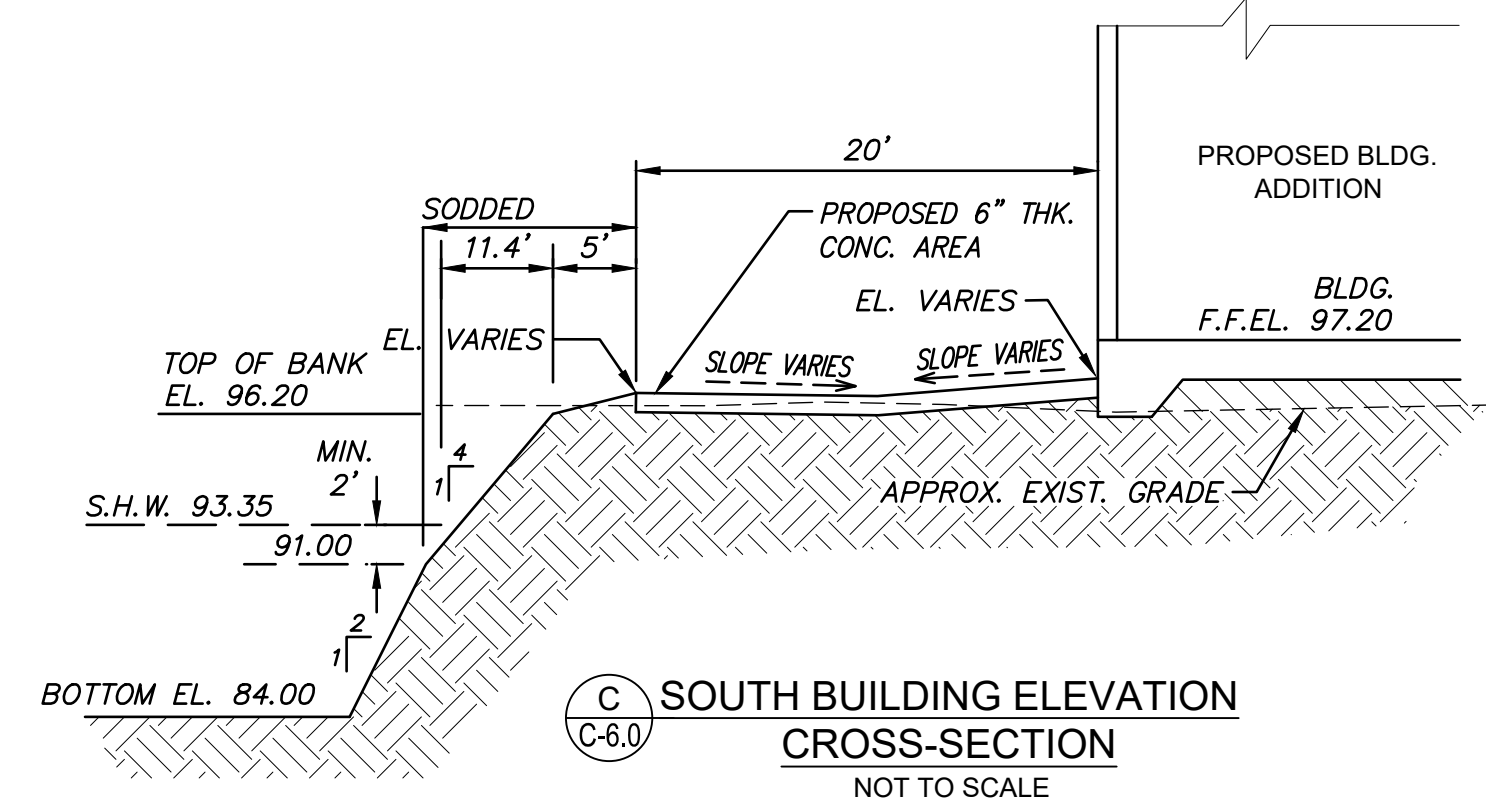
ID	TYPE	TOP ELEV.	INVERT ELEV.
D-1	48" RCP MES (2:1)		87.00
D-2	STORM JUNCTION BOX TYPE-P (ALT. A) BOTTOM	96.50	89.20 (W - 48" RCP) (EX.) 88.20 (S - 48" RCP)
D-3	24" RCP MES (2:1)		88.00
D-4	STORM JUNCTION BOX TYPE-P (ALT. A) BOTTOM	96.60	91.60 (S - 24" RCP) 91.60 (E - 24" RCP)
D-5	24" RCP MES (2:1)		88.00
D-6	FDOT TYPE "C" INLET	96.50	90.50 (N - 24" RCP) 88.60 (SW - 24" RCP)
D-7	FDOT TYPE "C" INLET	95.20	91.60 (S - 24" RCP)
D-14	CONC. ENDWALL		93.20
CS-1	FDOT TYPE "H" INLET	96.20	93.35



**(A) WET POND DETAIL CROSS-SECTION**  
NOT TO SCALE



**(B) EAST BOUNDARY LINE CROSS-SECTION**  
NOT TO SCALE



**(C) SOUTH BUILDING ELEVATION CROSS-SECTION**  
NOT TO SCALE



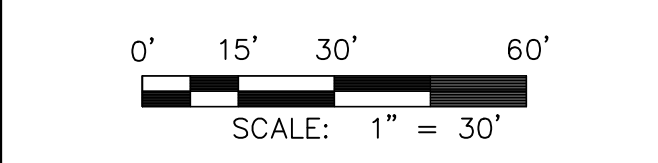
**(D) WEST BUILDING ELEVATION CROSS-SECTION**  
NOT TO SCALE

- LEGEND:**
- EXISTING CONCRETE AREA
  - PROPOSED CONCRETE
  - PROPOSED SPOT GRADE
  - DRAINAGE FLOW ARROW

**Dewberry**  
Dewberry Engineers, Inc.  
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Orlando, FL 32803  
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C.A. #8794

REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA  
CONSTRUCTION PLANS

SEAL  
Digitally signed by Reinardo Malave, P.E., 31588 State of Florida  
DN: cn=Reinardo Malave, o=Dewberry Engineers, Inc., ou=Dewberry Engineers, Inc., email=rmalave@dewberry.com, c=US  
No. 31588  
STATE OF FLORIDA  
REINARDO MALAVE, P.E.  
Professional Engineer  
No. 31588  
Reinardo Malave  
FL P.E. # 91588  
Feb 01, 2023



REVISIONS

NO.	DESCRIPTION	DATE

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APPROVED BY \_\_\_\_\_ RM  
CHECKED BY \_\_\_\_\_ GL  
DATE \_\_\_\_\_ 9/6/2022  
TITLE

**BUILDING EXPANSION GRADING PLAN**

PROJECT NO. 50150413

**C-6.0**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_



REVISIONS

NO.	DESCRIPTION	DATE

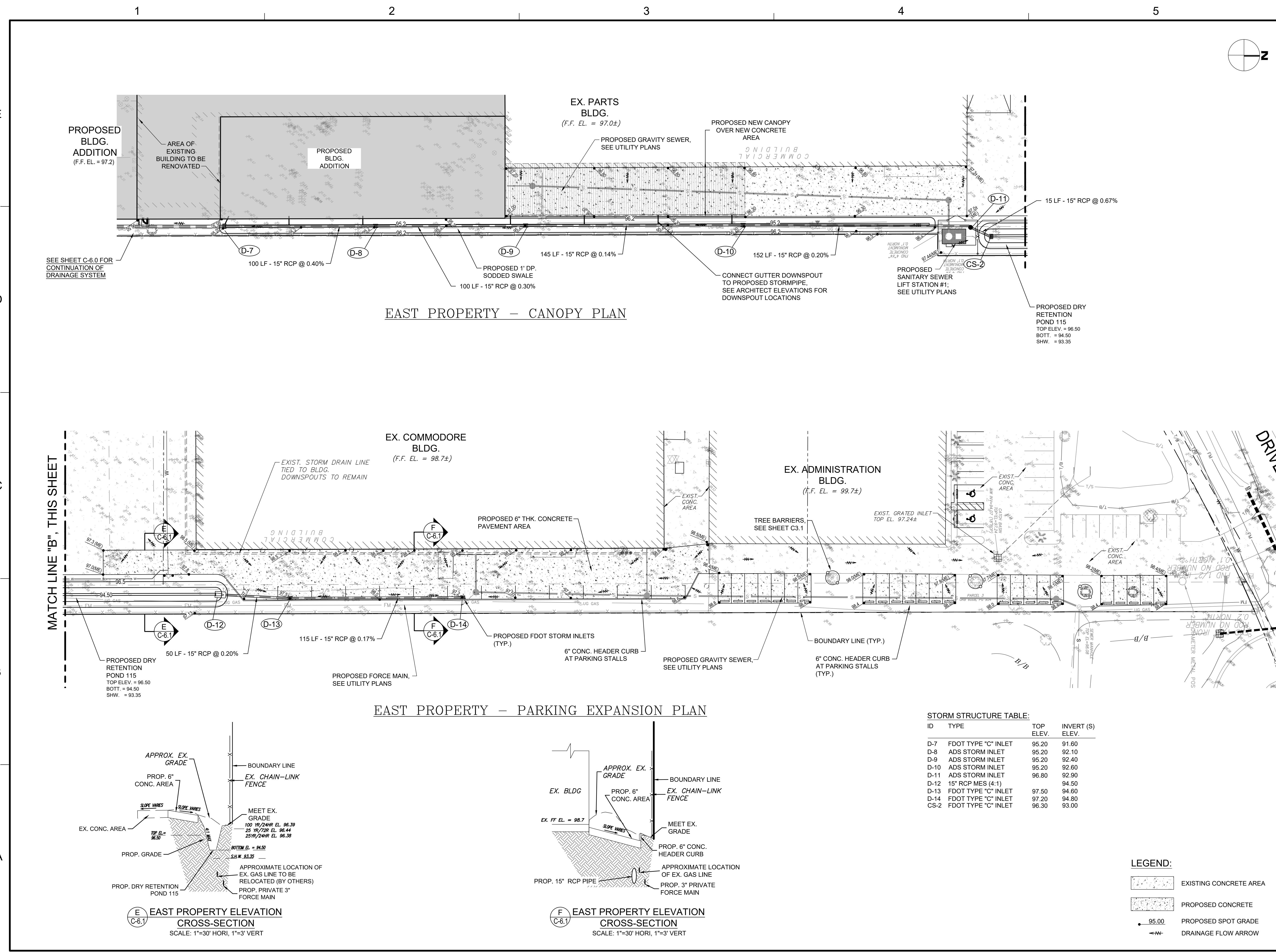
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APPROVED BY \_\_\_\_\_ RM  
CHECKED BY \_\_\_\_\_ GL  
DATE \_\_\_\_\_ 9/6/2022  
TITLE

**PROPOSED CANOPY & PARKING EXPANSION AREA GRADING PLAN**

PROJECT NO. 50150413

**C-6.1**

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_



**EAST PROPERTY – CANOPY PLAN**

**EAST PROPERTY – PARKING EXPANSION PLAN**

**STORM STRUCTURE TABLE:**

ID	TYPE	TOP ELEV.	INVERT (S) ELEV.
D-7	FDOT TYPE "C" INLET	95.20	91.60
D-8	ADS STORM INLET	95.20	92.10
D-9	ADS STORM INLET	95.20	92.60
D-10	ADS STORM INLET	95.20	92.60
D-11	ADS STORM INLET	96.80	92.00
D-12	15" RCP MES (4-1)	96.80	94.50
D-13	FDOT TYPE "C" INLET	97.50	94.60
D-14	FDOT TYPE "C" INLET	97.20	94.80
CS-2	FDOT TYPE "C" INLET	96.30	93.00

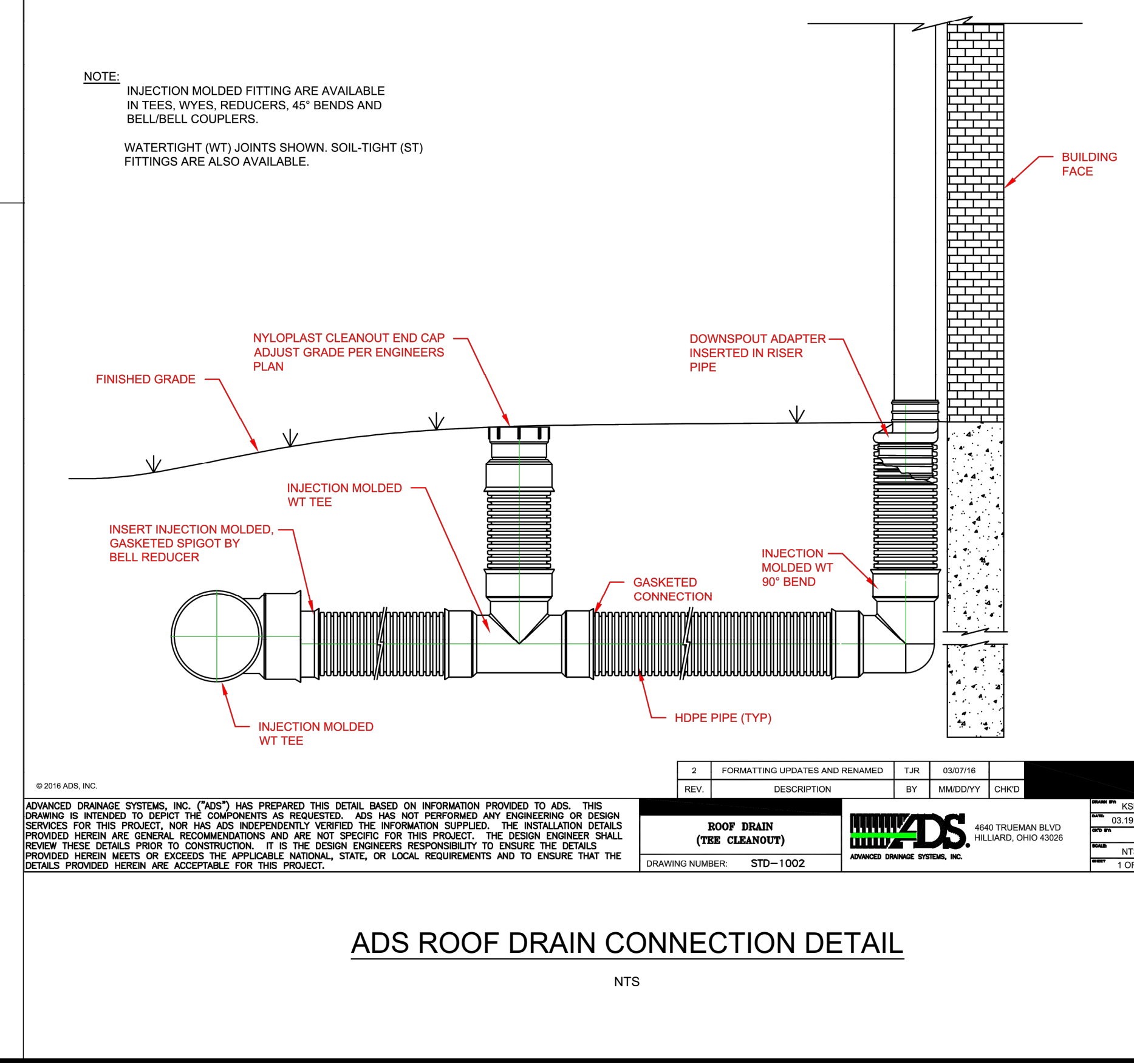
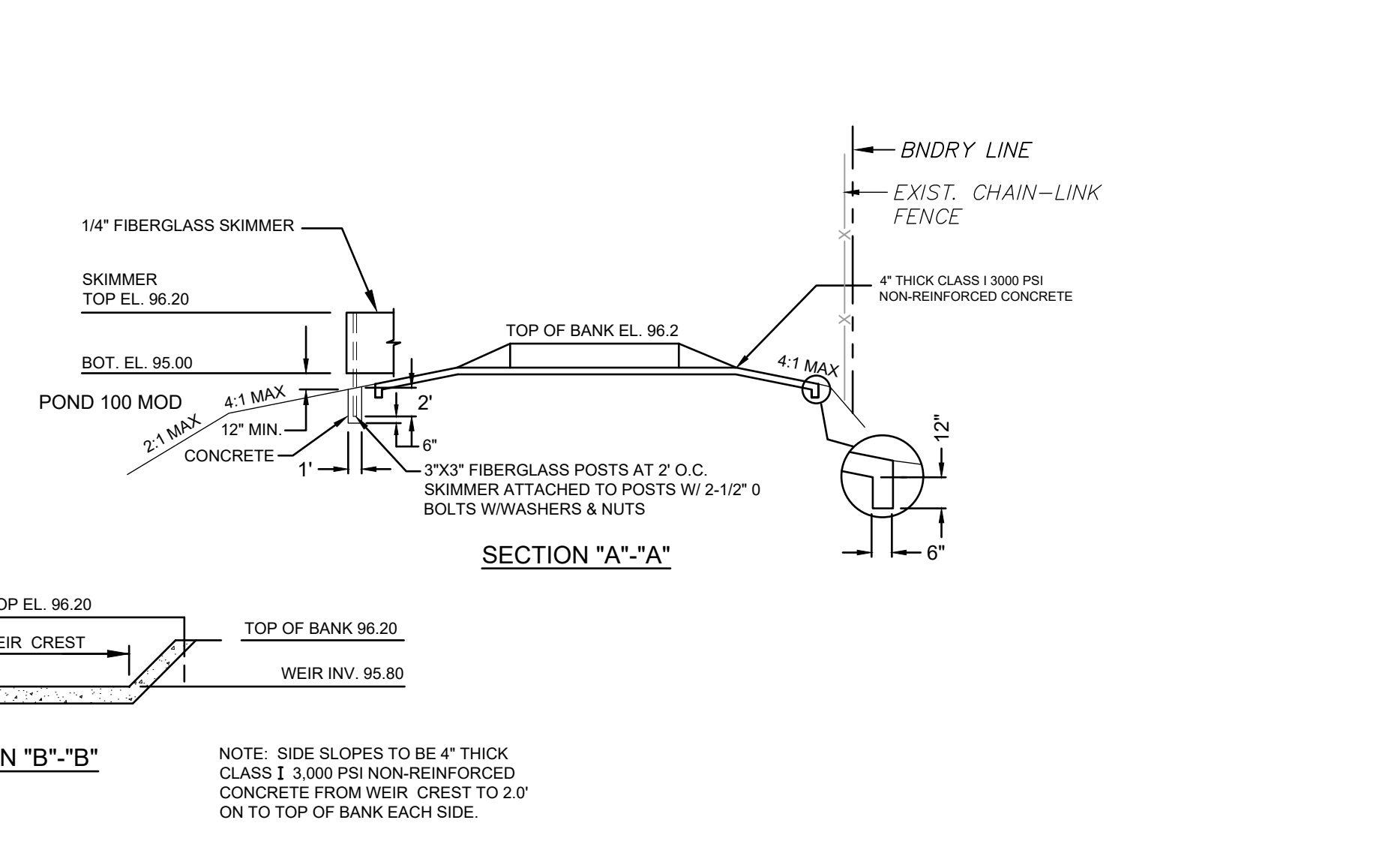
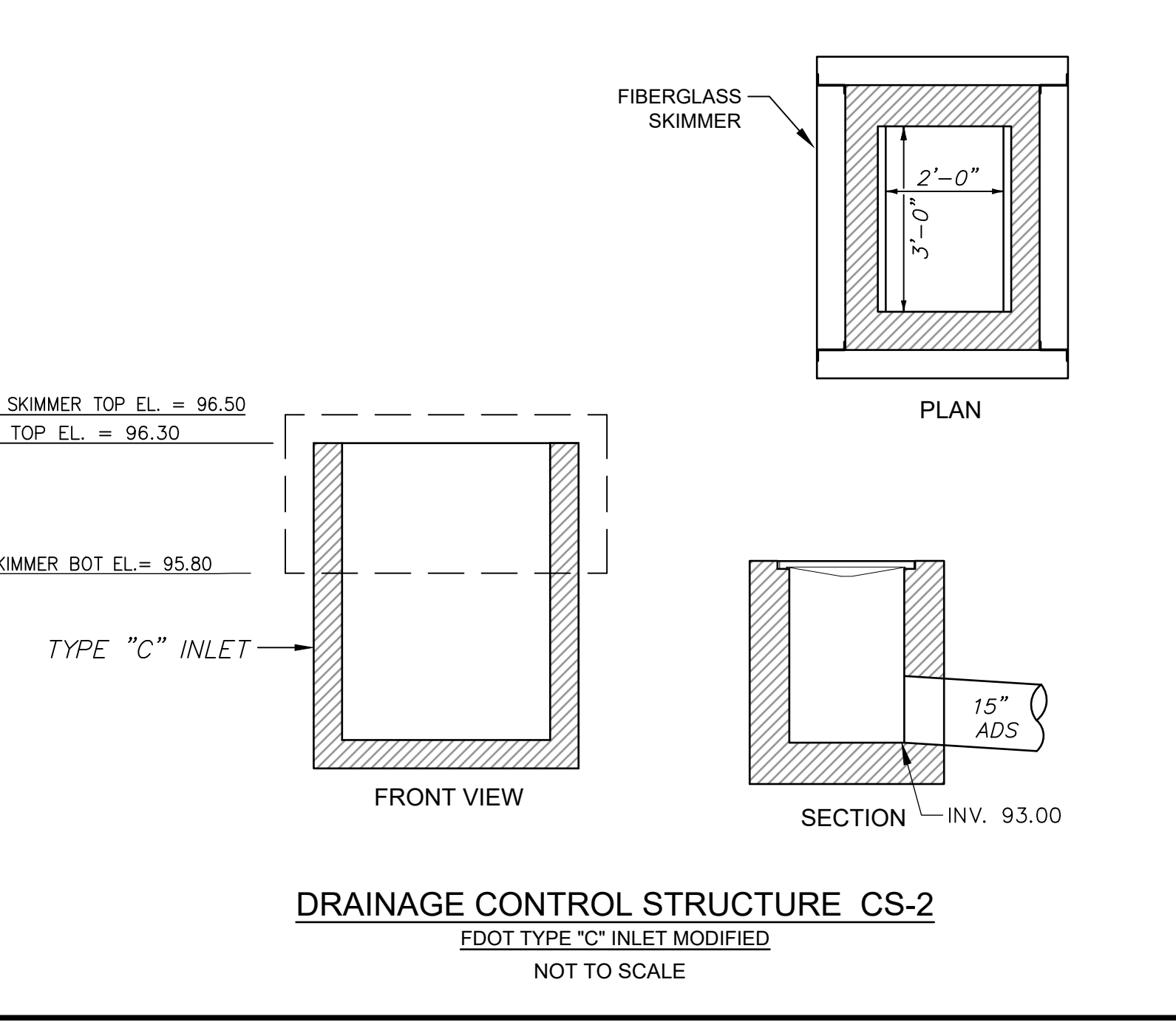
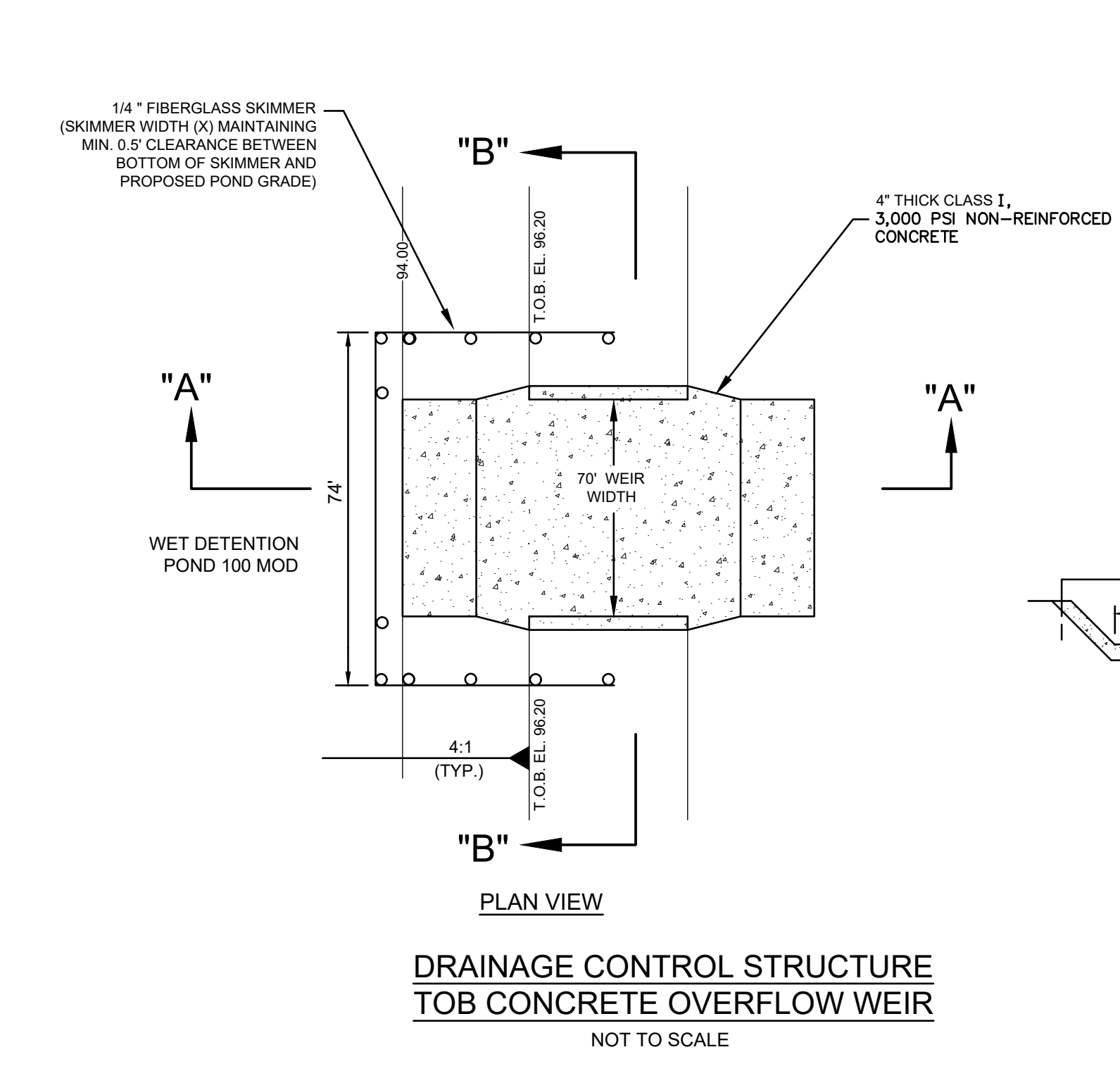
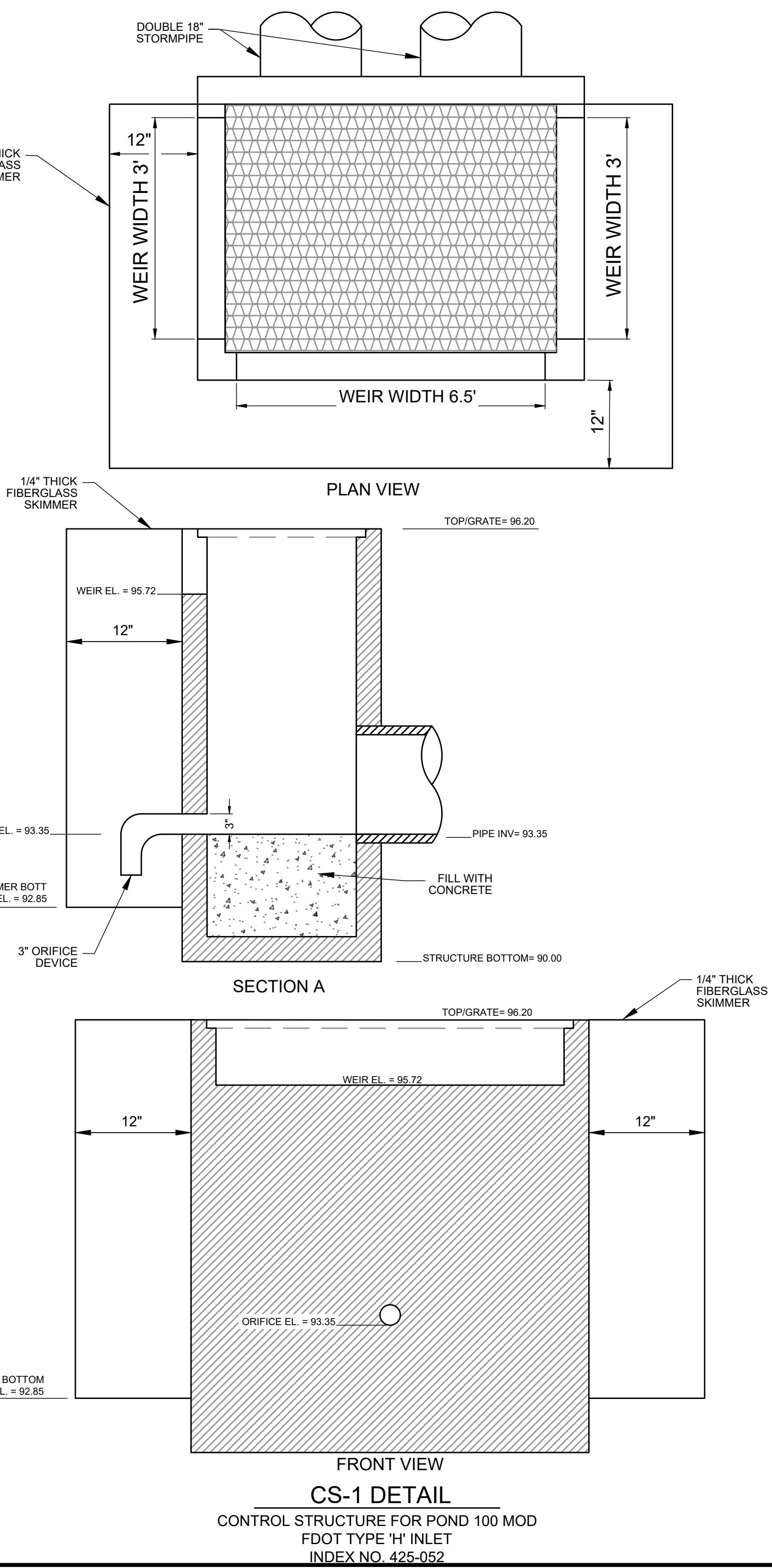
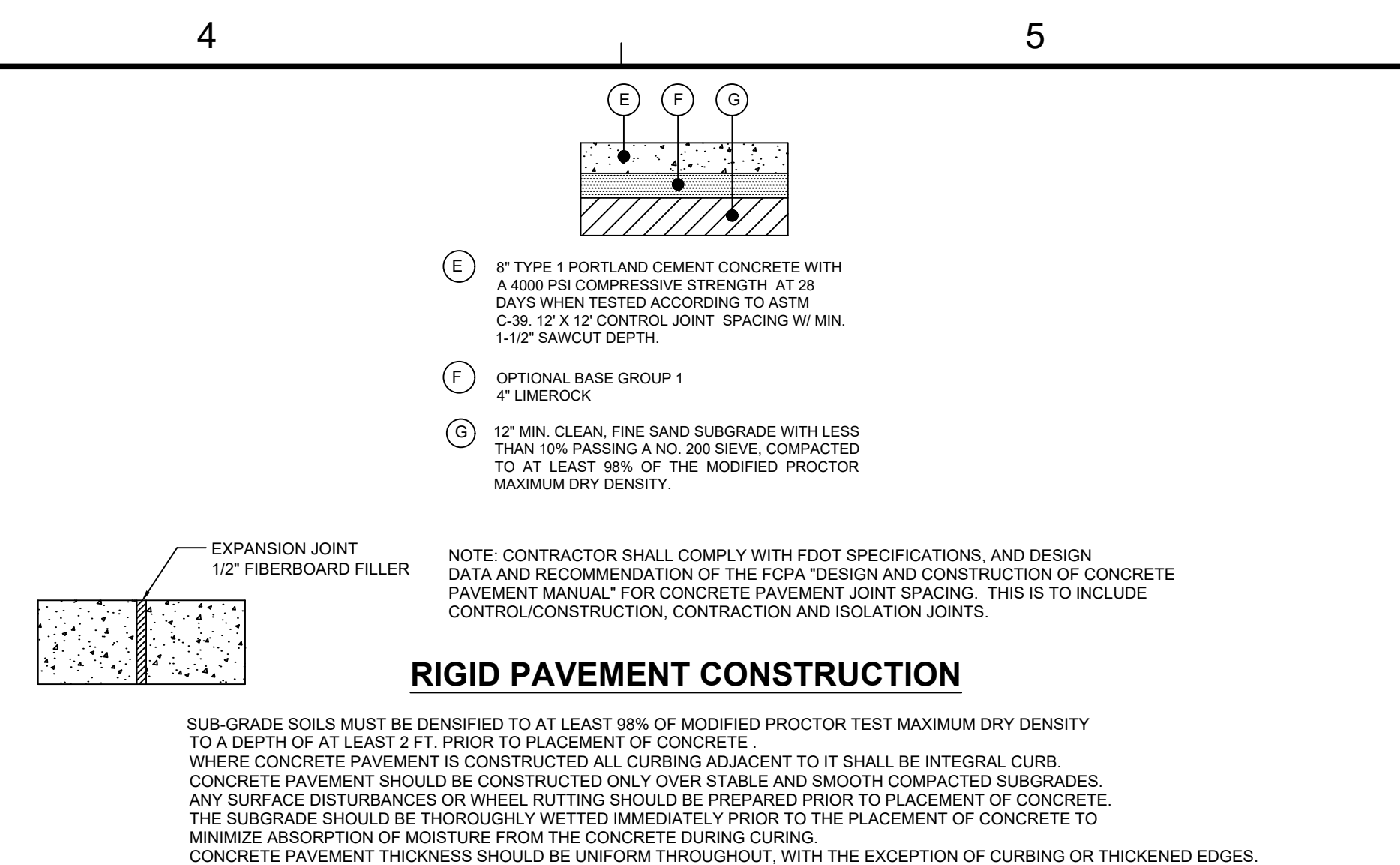
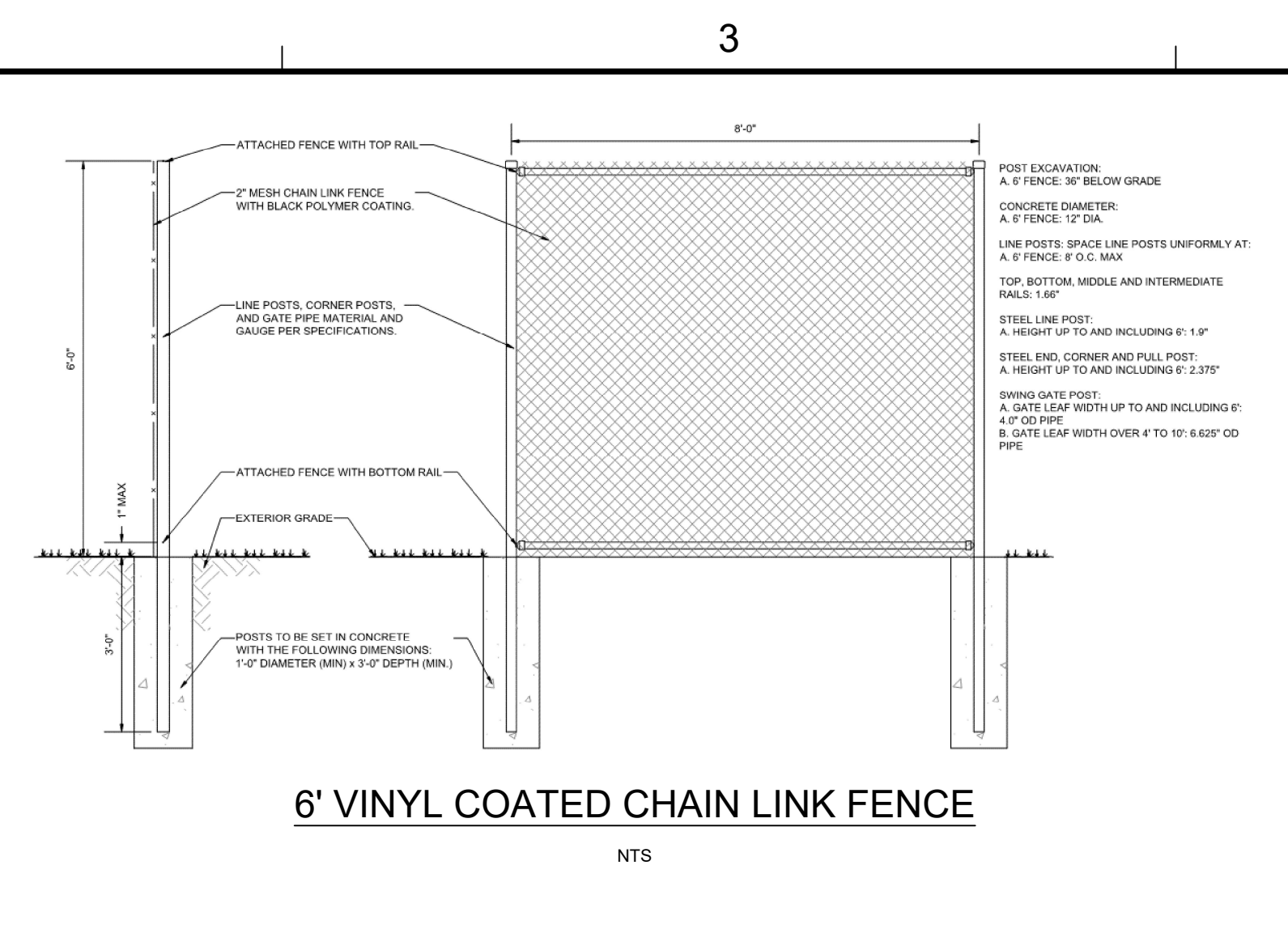
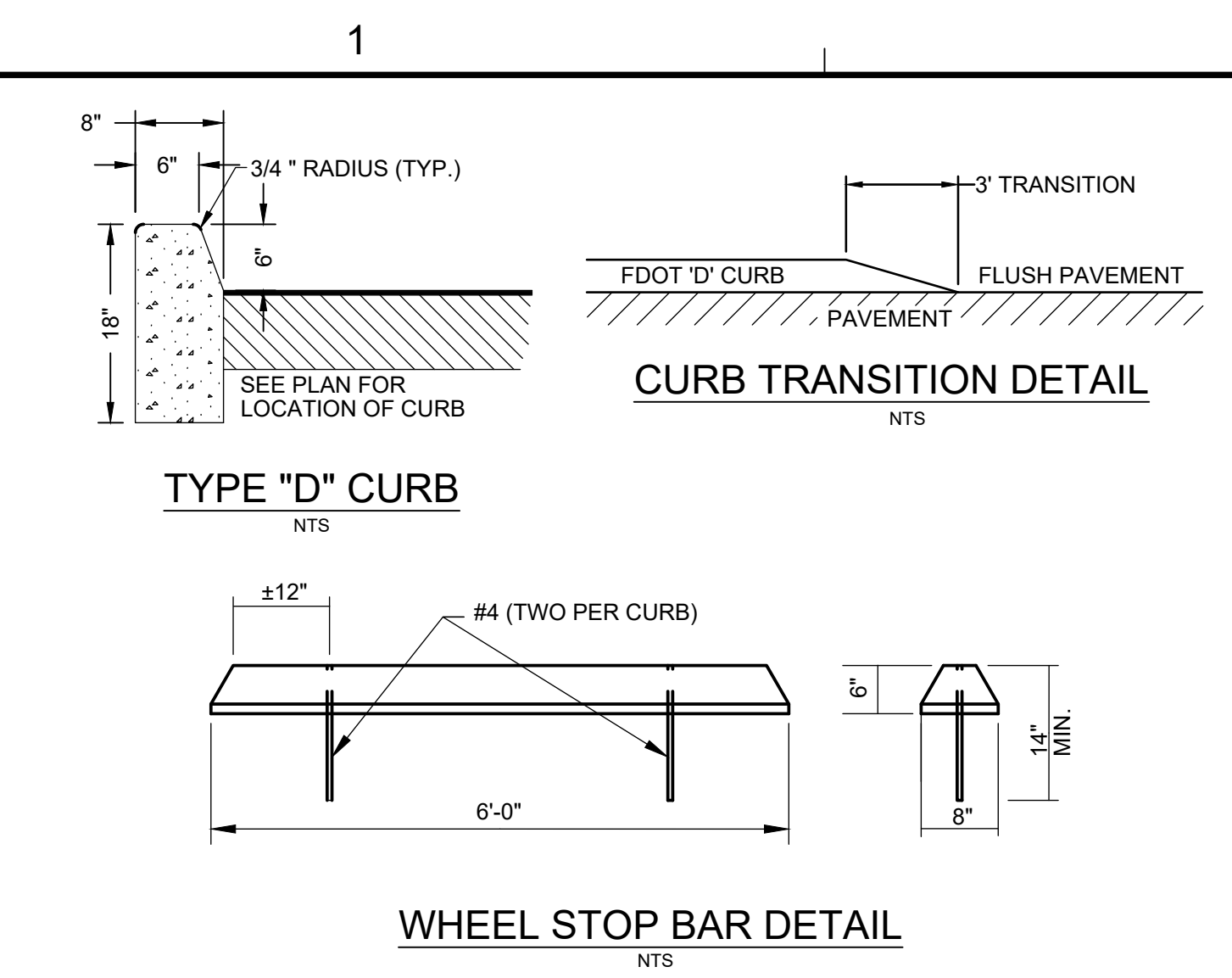
**LEGEND:**

- EXISTING CONCRETE AREA
- PROPOSED CONCRETE
- PROPOSED SPOT GRADE
- DRAINAGE FLOW ARROW

**E EAST PROPERTY ELEVATION CROSS-SECTION**  
SCALE: 1"=30' HORI, 1"=3' VERT

**F EAST PROPERTY ELEVATION CROSS-SECTION**  
SCALE: 1"=30' HORI, 1"=3' VERT





**Dewberry**

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REGAL MARINE INDUSTRIES  
BOAT PRODUCTION  
EXPANSION  
BELLE ISLE  
2300 JETPORT DRIVE BELLE  
CITY OF BELLE ISLE, FLORIDA

CONSTRUCTION PLANS

SEAL

Digitally signed by Fernando Malave, PE, 31588 State of Florida.  
DN: cn=Fernando Malave, email=fernando@deberry.com, c=US, ou=Dewberry, o=Dewberry Engineers, Inc.  
The content of this document has been electronically signed and sealed using a SHA-1 authentication code. An original copy of this document must be signed and sealed and at the same time, the electronic copy must be verified on any electronic copy of this document. Reason: This item has been signed by Fernando Malave, PE, 31588 State of Florida.  
Fernando Malave  
FL PE # 91588  
Jan 31, 2023

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY \_\_\_\_\_ GL  
APPROVED BY \_\_\_\_\_ RM  
CHECKED BY \_\_\_\_\_ GL  
DATE \_\_\_\_\_ 9 / 6 / 2022  
TITLE

GENERAL DETAILS

PROJECT NO. 50150413

C-8.5

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_