



## CITY OF BELLE ISLE, FL

### PLANNING & ZONING BOARD MEETING

Held in City Hall Chambers 1600 Nela Avenue, Belle Isle

Held the 4th Tuesday of Every Month

Tuesday, May 23, 2023 \* 6:30 PM

### AGENDA

#### Planning and Zoning Board Members

District 1 member – David Woods, VChair | District 2 member – Christopher Shenefelt | District 3 member – OPEN SEAT

District 4 member – Randy Holihan, Chair | District 5 member – Rainey Lane | District 6 member – Andrew Thompson

District 7 member – Dr. Leonard Hobbs

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Welcome to the City of Belle Isle Planning & Zoning meeting. Agendas and all backup material supporting each agenda item are available in the City Clerk's office or on the city's website at [cityofbelleislefl.org](http://cityofbelleislefl.org). Any person desiring to appeal a recommended action of the Board should observe the notice regarding appeals below. CAUTION: Untimely filing by any appellant shall result in an automatic denial of the appeal.

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1. **Call to Order and Confirmation of Quorum**
2. **Invocation and Pledge to Flag** – Board Member Hobbs
3. **Approval of Minutes - na**
4. **Public Hearings**
  - a. Public Hearing #2023-04-046 - PURSUANT TO BELLE ISLE CODE SEC. 54-82 (F) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SITE PLAN REVIEW SUBMITTED BY LEGACY LAND LLC AND LEGACY HOLDINGS, C/O GARY DAVIS, LOCATED AT 1900 JETPORT DRIVE AND 2200 JETPORT DRIVE, ALSO KNOWN AS 31-23-30-0000-00-015 AND 31-23-30-0000-00-017.
  - b. Public Hearing #2023-04-006 - PURSUANT TO BELLE ISLE CODE SEC. 42-64 AND 30-133 (e) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PARK A VEHICLE IN THE FRONT YARD WITHIN THREE FEET FROM A SIDE LOT LINE, SUBMITTED BY APPLICANT WILLIAM NASH SHOOK, LOCATED AT 5700 COVE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-1660-00-010.
  - c. Public Hearing #2023-03-015 - PURSUANT TO BELLE ISLE CODE SEC. 42-64 AND 50-102 (B) (7), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A FENCE EXCEEDING FOUR FEET IN HEIGHT WITHIN 35 FEET OF THE NORMAL HIGH WATER ELEVATION LINE OF LAKE CONWAY, SUBMITTED BY APPLICANT BROOKE GALLARDO AND JENNA SOTO, LOCATED AT 7023 WILLOUGHBY LANE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-8860-00-370.
5. **Other Business**
  - a. Artificial Turf Update and Draft Ordinance Review
  - b. Discussion on Belle Isle Code Changes of Section 50-102(b) regarding Fences
6. **Adjournment**

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APPEALS: "If a person decides to appeal (Belle Isle's City Code Section 42-71) any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105). A notice of appeal to the City Clerk should be submitted within fifteen (15) days after such recommendation or decision is made "Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-851-7730) at least 48 hours in advance of the meeting. --Page 1 of 1

**MEMORANDUM**

**TO:** Planning and Zoning Board

**DATE:** May 23, 2023

**RE:** Variance Application – 1900 & 2200 Jetport Drive

Public Hearing #2023-04-046

PURSUANT TO BELLE ISLE CODE SEC. 54-82 (F) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED SITE PLAN REVIEW SUBMITTED BY LEGACY LAND LLC AND LEGACY HOLDINGS, C/O GARY DAVIS, LOCATED AT 1900 JETPORT DRIVE AND 2200 JETPORT DRIVE, ALSO KNOWN AS 31-23-30-0000-00-015 AND 31-23-30-0000-00-017.

**Background:**

1. On March 9, 2023, the applicant, Legacy Land, LLC, Paul Kuck, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, May 13, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on May 10, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

**SAMPLE MOTION TO APPROVE:**

"I move, pursuant to Belle Isle SEC. 54-82 (F) (3), TO APPROVE THE SITE PLAN SUBMITTED BY LEGACY LAND LLC AND LEGACY HOLDINGS, C/O GARY DAVIS, LOCATED AT 1900 JETPORT DRIVE AND 2200 JETPORT DRIVE, ALSO KNOWN AS 31-23-30-0000-00-015 AND 31-23-30-0000-00-017.

**SAMPLE MOTION TO DENY:**

"I move, pursuant to Belle Isle SEC. 54-82 (F) (3), the justifying criteria of the Belle Isle Land Development Code, having NOT been met; *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] TO DENY APPROVAL OF* THE SITE PLAN SUBMITTED BY LEGACY LAND LLC AND LEGACY HOLDINGS, C/O GARY DAVIS, LOCATED AT 1900 JETPORT DRIVE AND 2200 JETPORT DRIVE, ALSO KNOWN AS 31-23-30-0000-00-015 AND 31-23-30-0000-00-017.

**Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.**

**SUBSECTION (D)**, a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

**SUBSECTION (E)**, personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

**SUBSECTION (F)**, the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

**SUBSECTION (G)**, the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



# City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809

Tel 407-851-7730 \* Fax 407-240-2222 \* www.belleislefl.gov

a.

## Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT Gary Davis	OWNER Legacy Land, LLC
ADDRESS 2300 Jetport Drive, Belle Isle, FL 32809	PROJECT ADDRESS 1900 Jetport Drive
CONTACT NUMBER 407-719-5908	OWNER'S CONTACT NUMBER 407-447-9297
EMAIL garyevandavis@gmail.com	OWNER'S EMAIL scuda@regalboats.com
PARCEL ID# 31-23-30-0000-00-015	
LAND USE CLASSIFICATION Industrial	ZONING DISTRICT I-2
SECTION OF THE CODE VARIANCE REQUESTED ON Planning & Zoning Board	
DETAILED VARIANCE REQUEST Proposed roof over existing testing area.	
<ul style="list-style-type: none"> <li>The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property.</li> <li>By applying, I authorize City of Belle Isle employees and members of the P&amp;Z Board to enter my property during reasonable hours to inspect the area to which the application applies.</li> <li>The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies.</li> </ul>	
APPLICANTS SIGNATURE <small>DocuSigned by:</small> <i>Gary Davis</i>	OWNER'S SIGNATURE <small>DocuSigned by:</small> <i>Sam Cuda</i>
<input type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input checked="" type="checkbox"/> OTHER	P&Z CASE NUMBER <small>8471D8EB3762448</small> DATE OF HEARING <b>May 23, 2023</b>

**Sec. 42-64. - Variances.** The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



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**Variance and Special Exception Application**

Development Code or for the purpose of obtaining a variance.

- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
- g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
- h. The board shall find that the preceding requirements have been met by the applicant for a variance.

the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the Board's discretion, such variance may be revoked for violation of the condition and safeguards.

- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

*(2) Violations of conditions.*

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

**Applications submitted must meet all of the above criteria before the Board can grant a variance.** The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

**General Information**

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY:

**FEE: \$300**

\_\_\_\_\_  
Date Paid

\_\_\_\_\_  
Check/Cash

\_\_\_\_\_  
Rec'd By





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**Variance and Special Exception Application**

**ABOUT YOUR PUBLIC HEARING**

The following information is provided to assist applicants in applying for a variance, special exception, or use determination. Please familiarize yourself with the process by visiting

The City of Belle Isle's Planning and Zoning Board, which comprises seven (7) non-paid volunteer residents, meets on the fourth Tuesday of the month to hear various planning and zoning issues, including variances, special exceptions, and use determinations. In recommending approval or denial of a request, the Board looks at each application individually to determine if the request meets the following criteria:

A written application for a **variance must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month.** The application **MUST** include:

- a. the \$300 filing fee,
- b. a completed application form,
- c. proof of ownership of the property, or a notarized statement from the owner with the representative's information,
- d. Ten (10) copies of a plot plan or survey showing all improvements to the property, ten copies of a scale drawing of the planned construction, illustrated on the survey, and digital format for large-scale documents is required.
- e. For boat dock variances, the survey must clearly illustrate the Normal High Water Line elevation (NHWL) of Lake Conway.
- f. **A narrative addressing how the variance complies with the following:**

*Standards of Variance Justification	Section 42-64 of the Land Development Code (LDC) states that no application for a Zoning Variance shall be approved unless the Planning and Zoning Board finds that all of the following standards are met. Please answer each bold-text question in a separate typed or a written document and submit it to the City as part of your variance request.
Special Conditions and/or Circumstances Section 42-64 (1) d	The applicant must prove that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship. That hardship is created by special conditions and circumstances peculiar to the land, structure, or building involved, including but not limited to dimensions, topography, or soil conditions. <b>WHAT ARE THE SPECIAL CONDITIONS AND CIRCUMSTANCES UNIQUE TO YOUR PROPERTY?</b> <b>WHAT WOULD BE THE UNNECESSARY HARDSHIP?</b>
Not-Self- Created Section 42-64 (1) e	The applicant must prove that the special conditions and circumstances do not result from the applicant's actions. A personal (self-created) hardship shall not justify a variance; i.e., when the applicant creates the alleged hardship, they are not entitled to relief by their conduct. <b>HOW WERE THE SPECIAL CONDITIONS NOTED ABOVE CREATED?</b>
Minimum Possible Variance Section 42-64 (1) f	The applicant must prove that the zoning variance is the minimum variance that will make the reasonable use of the land, building, or structure possible. <b>CAN YOU ACCOMPLISH YOUR OBJECTIVE IN ANOTHER WAY?</b> <b>LIST ALTERNATIVES YOU HAVE CONSIDERED AND EVIDENCE AS TO WHY THEY ARE NOT FEASIBLE.</b>
Purpose and Intent Section 42-64 (1) g	The applicant must prove that approval of the zoning variance will be in harmony with the general purpose and intent of the Code, and such zoning variance will not be injurious to the neighborhood, not detrimental to public welfare, and not contrary to the public interest. <b>WHAT EFFECTS WILL APPROVAL OF THE VARIANCE HAVE ON ADJACENT PROPERTIES OR THE SURROUNDING NEIGHBORHOOD? (FOR EXAMPLE, ADEQUATE LIGHT, AIR, ACCESS, USE OF ADJACENT PROPERTY, DENSITY, COMPATIBILITY WITH SURROUNDING LAND USES, TRAFFIC CONTROL, PEDESTRIAN SAFETY, ETC).</b>

**\*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, and you do not have to comply with Sec. 42-64 (1) d and (1) f.**



a.

April 5, 2023

To: City of Belle Isle

RE: Planning and Zoning Submittal

**Proposed Roof Over Existing Testing Area**

Regal Marine Industries – 1900 & 2200 Jetport Drive, Belle Isle, Florida 32809

Parcel IDs 31-23-30-0000-00-015 and 31-23-30-0000-00-017

Regal Marine has an existing concrete access-way to a small private pond located on their property. They use that area to perform final in-water tests and quality control checks. That existing structure was engineered to have a roof over it, but that roof was never constructed.

We are hereby making a request to construct a pre-engineered steel roof structure on the existing foundation. This cover from the elements will allow Regal's team to work in poor weather conditions and keep their production lines flowing more efficiently.

Regarding any requirement for screening, the location of this proposed new roof structure is far to the interior of Regal's property, and from our investigation will not be visible from anywhere outside of Regal's boundary. Additionally, there is existing fencing and landscaping that is proposed to remain on all sides of the new construction area, and there are multiple buildings in place that also block the visibility of this area.

If you have any questions, feel free to contact me at 407-719-5908, or by email at [garyevandavis@gmail.com](mailto:garyevandavis@gmail.com).

Respectfully,

A handwritten signature in black ink, appearing to read "Gary E. Davis".

Gary E. Davis, President  
Compass Development Management, Inc.  
State of Florida General Contractor  
CGC1516350









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a.

## Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT Gary Davis	OWNER Legacy Holdings, LLC
ADDRESS 2300 Jetport Drive, Belle Isle, FL 32809	PROJECT ADDRESS 2200 Jetport Drive
CONTACT NUMBER 407-719-5908	OWNER'S CONTACT NUMBER 407-447-9297
EMAIL garyevandavis@gmail.com	OWNER'S EMAIL scuda@regalboats.com
PARCEL ID# 31-23-30-0000-00-017	
LAND USE CLASSIFICATION Industrial	ZONING DISTRICT I-2
SECTION OF THE CODE VARIANCE REQUESTED ON Planning & Zoning Board	
DETAILED VARIANCE REQUEST Proposed roof over existing testing area.	
<ul style="list-style-type: none"> <li>The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property.</li> <li>By applying, I authorize City of Belle Isle employees and members of the P&amp;Z Board to enter my property during reasonable hours to inspect the area to which the application applies.</li> <li>The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies.</li> </ul>	
APPLICANTS SIGNATURE <small>DocuSigned by:</small> <i>Gary Davis</i> <small>D000890835144DA...</small>	OWNER'S SIGNATURE <small>DocuSigned by:</small> <i>Sam Cook</i> <small>B471D0E85782446...</small>
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Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



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Development Code or for the purpose of obtaining a variance.

- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
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- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

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2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

**General Information**

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FOR OFFICE USE ONLY:

**FEE: \$300**

\_\_\_\_\_  
Date Paid

\_\_\_\_\_  
Check/Cash

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Rec'd By



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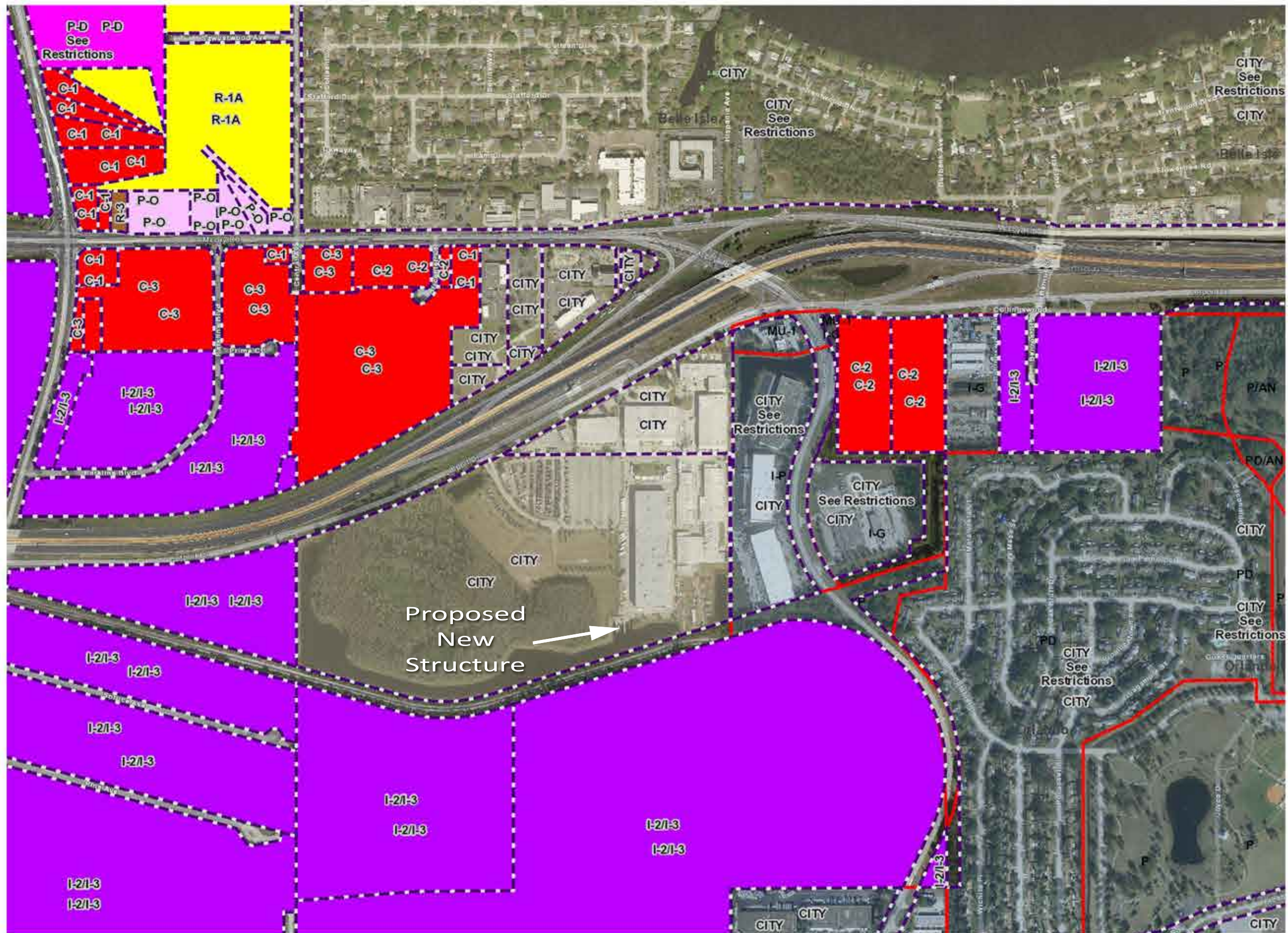
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**\*For a variance application from Sec. 50-102 (b) fences and walls, please also identify how you comply with the variance criteria identified in Sec. 50-102 (b) (16). Please note for a fence variance, and you do not have to comply with Sec. 42-64 (1) d and (1) f.**





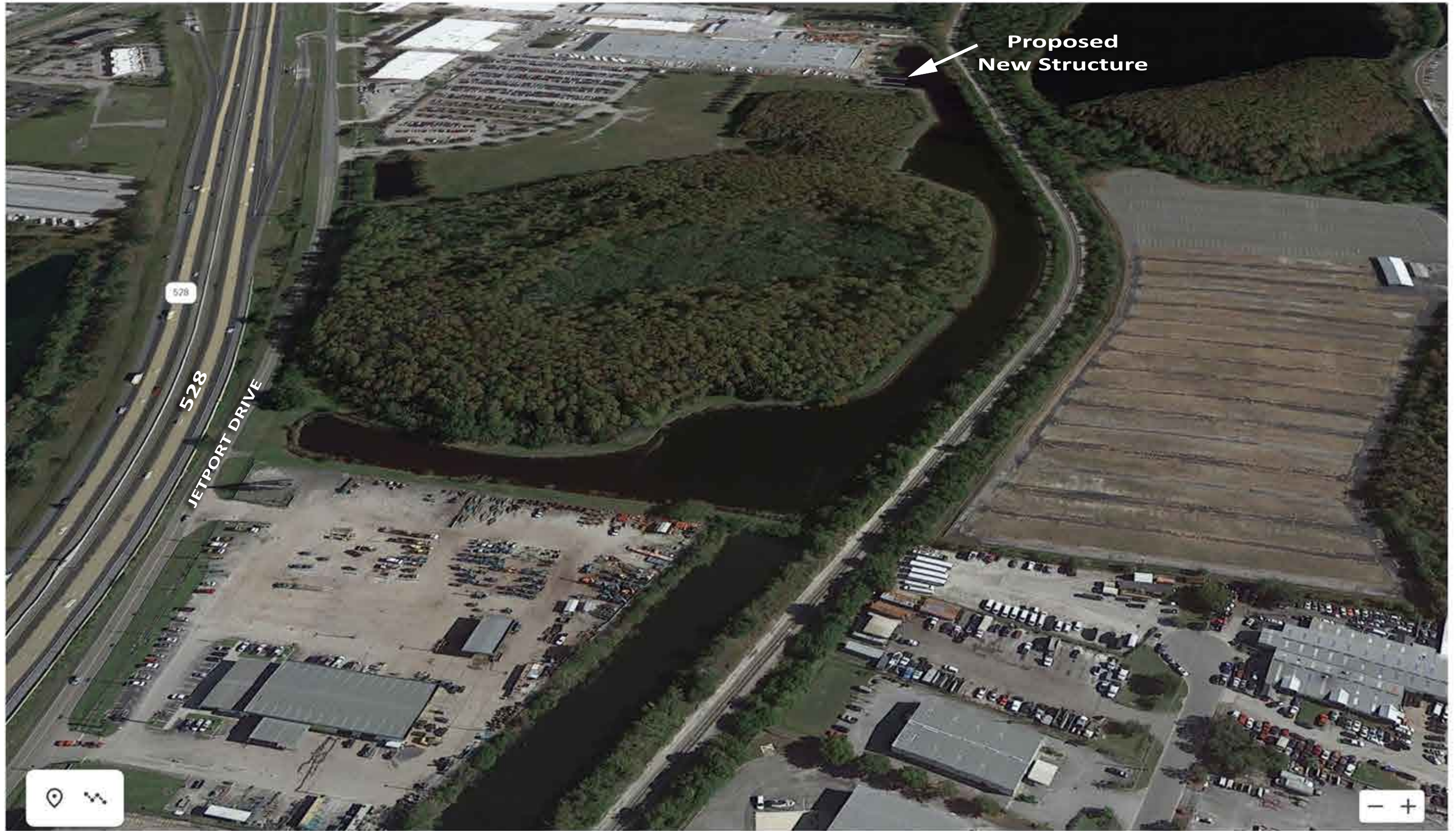






















DESIGN CRITERIA

Width (ft)	=	54
Length (ft)	=	81.1
Eave Height (ft)	=	22.25 / 22.25
Roof Slope (Rise/12)	=	3.000:12
Dead Load (psf)	=	2.000
Collateral Load (psf)	=	2
Roof Live Load (psf)	=	20.00
Frame Live Load (psf)	=	12.0
Snow Load (psf)	=	0
Wind Speed (mph)	=	136
Wind Code	=	IBC 18
Occupancy Category	=	1.00
Exposure	=	B
Closed/Open/Partial	=	CLOSED
Importance - Wind	=	1.00
Internal GCpi	=	0.18 / -0.18
Seismic Use Group (SUG)	=	A
Seismic Site Class	=	d
Mapped Response (Ss)	=	0.0609
Mapped Response (S1)	=	0.0330
Design Category (SDC)	=	A
Importance - Seismic	=	1.00
Site Coeff (Fa)	=	1.6000
Site Coeff (Fv)	=	2.4000
Design Response (Sms)	=	0.10
Design Response (Sm1)	=	0.0792
Design Response (Sds)	=	0.064
Design Response (Sd1)	=	0.053
Res Mod Factor (Mom) R	=	3.00
App Period (Moment) Ta	=	0.2908
Res Mod Factor (Br) R	=	3.00
App Period (Braced) Ta	=	0.1794

NOTE: THE SEISMIC ANALYSIS PROCEDURE USED ON THIS STRUCTURE IS THE EQUIVALENT LATERAL FORCE PROCEDURE.

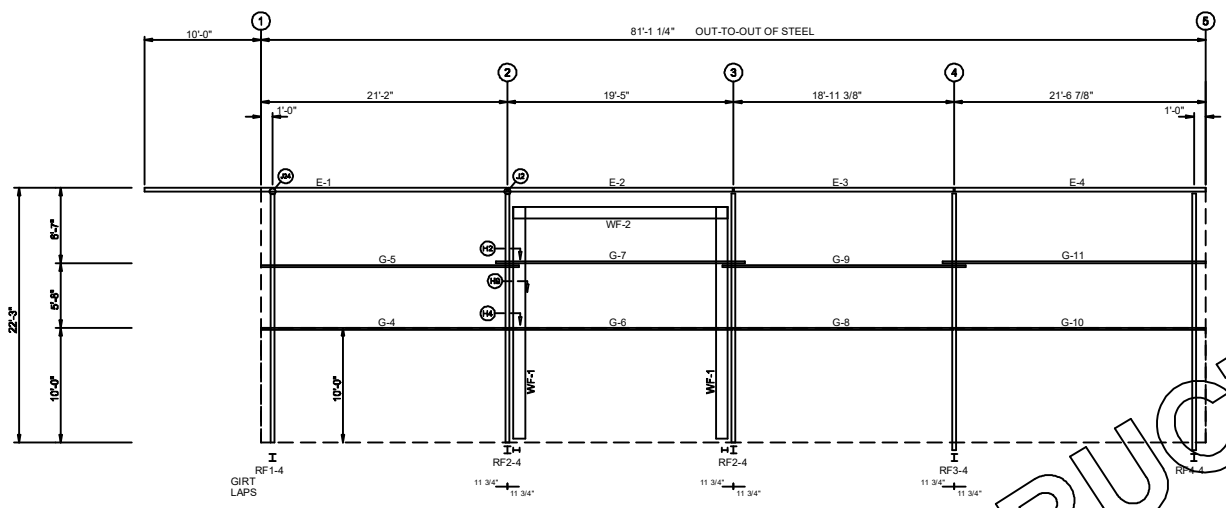
<u>Structural Steel</u>	
ASTM# (Plate)	= A1011
Plate Yield (Fy)	= 55.0 ksi
ASTM# (Bar)	= A592
Plate Yield (Fy)	= 55.0 ksi

<u>Light Gage Steel</u>	
ASTM# (Cold-Form)	= A1011
Cold-Form Yield (Fy)	= 55.0 ksi
ASTM# (Panel)	= A792
Panel Yield (Fy)	= 80.0 ksi

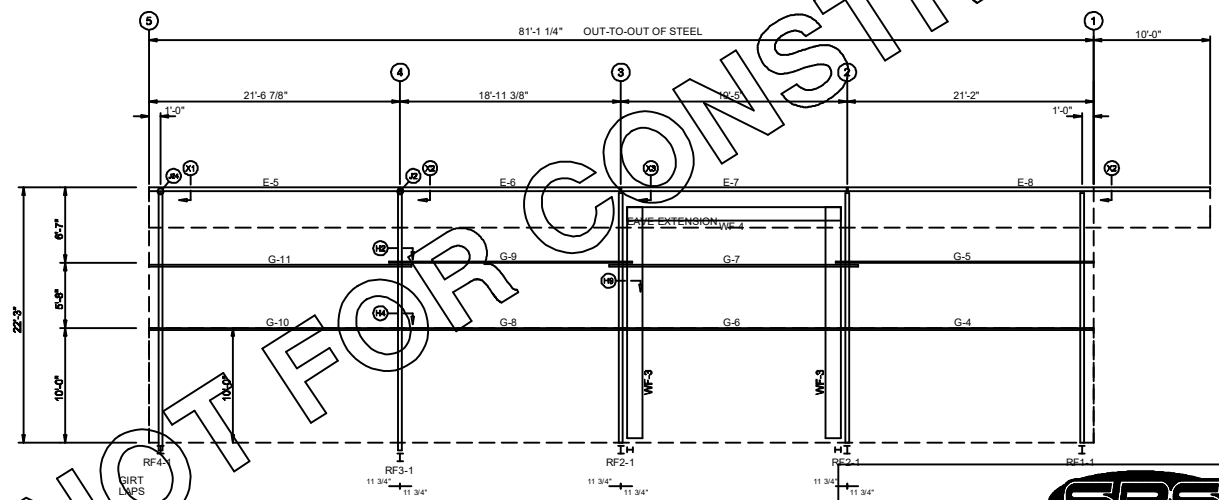
NOTE: ALL CONNECTION BOLTS ARE DESIGNATED IN THESE DRAWINGS AS EITHER A "M" FOR A307 BOLTS OR A "H" FOR A325 BOLTS.

NOTES TO ERECTOR/OWNER:

- [1] "SBS" IS NOT RESPONSIBLE FOR THE ERECTION OF THE BUILDING, THE SUPPLY OF ANY TOOLS OR EQUIPMENT, OR ANY OTHER FIELD WORK UNLESS "SBS" HAS BEEN CONTRACTED FOR THESE. "SBS" DOES NOT PROVIDE ANY FIELD SUPERVISION FOR THE ERECTION OF THE BUILDING, NOR DOES "SBS" PERFORM ANY INSPECTIONS DURING OR AFTER ERECTION.
- [2] USE ONLY THE ERECTION DRAWINGS PROVIDED BY "SBS" AND INCLUDED IN THE ERECTOR'S PACKAGE DELIVERED BY THE TRUCK DRIVER WITH THE BUILDING. "SBS" IS NOT LIABLE FOR ANY CLAIM RESULTING FROM THE USE OF OTHER DRAWINGS.
- [3] CHECK SLAB AND ANCHOR BOLT PLACEMENTS BEFORE STANDING ANY FRAMING. IF THE SLAB IS NOT SIZED CORRECTLY OR IS OUT OF SQUARE, OR IF THE ANCHOR BOLTS ARE NOT CORRECTLY LOCATED, CALL "SBS". "SBS" IS NOT LIABLE FOR LABOR CHARGES RESULTING FROM STANDING FRAMING ON AN INCORRECT SLAB.
- [4] BEGIN ERECTION WITH A BRACED BAY. INSTALL THE EAVE STRUTS FIRST AND THEN THE PURLINS WHICH FALL AT THE CABLE ATTACHMENT POINTS. NEXT, INSTALL ROOF AND WALL CABLES TO A SNUG CONDITION, SO THAT THE FRAMING IS BRACED. FINISH INSTALLING PURLINS AND GIRTS IN THE BRACED BAY. USING THE THE CABLE BRACING, SQUARE AND PLUMB THE FRAMING. CONTINUE WITH REMAINING BAYS, INSTALLING BRACING AS ADDITIONAL BRACED BAYS ARE ERECTED.
- [5] THE CORRECTION OF MINOR MISFITS BY THE USE OF DRIFT PINS TO DRAW THE COMPONENTS INTO LINE, MODERATE AMOUNTS OF REAMING, CHIPPING AND CUTTING, AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. CONTACT "SBS" BEFORE MAKING ANY FIELD MODIFICATION TO THE BUILDING. "SBS" DOES NOT PAY CLAIMS FOR ERROR CORRECTION UNLESS APPROVED IN WRITING BY "SBS" BEFOREHAND.



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL FRAMING: FRAME LINE D

BOLT TABLE				
FRAME LINE A & D				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2	8	A325	5/8"	2 1/2"
WF-1 - RF2-4	16	A325	5/8"	2 1/2"
WF-3 - WF-4	8	A325	5/8"	2 1/2"
WF-3 - RF2-1	16	A325	5/8"	2 1/2"

MEMBER TABLE		
FRAME LINE A & D		
MARK	PART	LENGTH
WF-1	B12X13.8	20'-7"
WF-2	B12X13.8	17'-4 1/4"
WF-3	B16X15.6	20'-7"
WF-4	B14X14.7	16'-8 1/4"
E-1	10ES14@2	31'-1 1/2"
E-2	10ES14@2	19'-4 1/2"
E-3	10ES14@2	18'-10 7/8"
E-4	10ES14@2	21'-6 3/8"
E-5	10ES14@3	21'-6 3/8"
E-6	10ES14@3	18'-10 7/8"
E-7	10ES14@3	19'-4 1/2"
E-8	10ES14@3	31'-1 1/2"
G-4	8x25C16	21'-1 1/2"
G-5	8x25Z16	22'-1 1/2"
G-6	8x25C16	19'-4 1/2"
G-7	8x25Z16	21'-4 1/2"
G-8	8x25C16	18'-10 7/8"
G-9	8x25Z16	20'-10 7/8"
G-10	8x25C16	21'-6 3/8"
G-11	8x25Z16	22'-6 3/8"

NOT FOR CONSTRUCTION



**STEEL BUILDING SYSTEMS INC.**

REVISIONS	CUSTOMER: REGAL BOATS	
[1]	JOB NO: BOAT DOCK	DATE: 2/28/23
[2]	LOCATION:	
[3]	DRAWING NAME: SIDEWALL FRAMING LAYOUT	SCALE: NONE
[4]	DRAWING NO: PAGE 3	DRAWN BY: CHECKED BY:

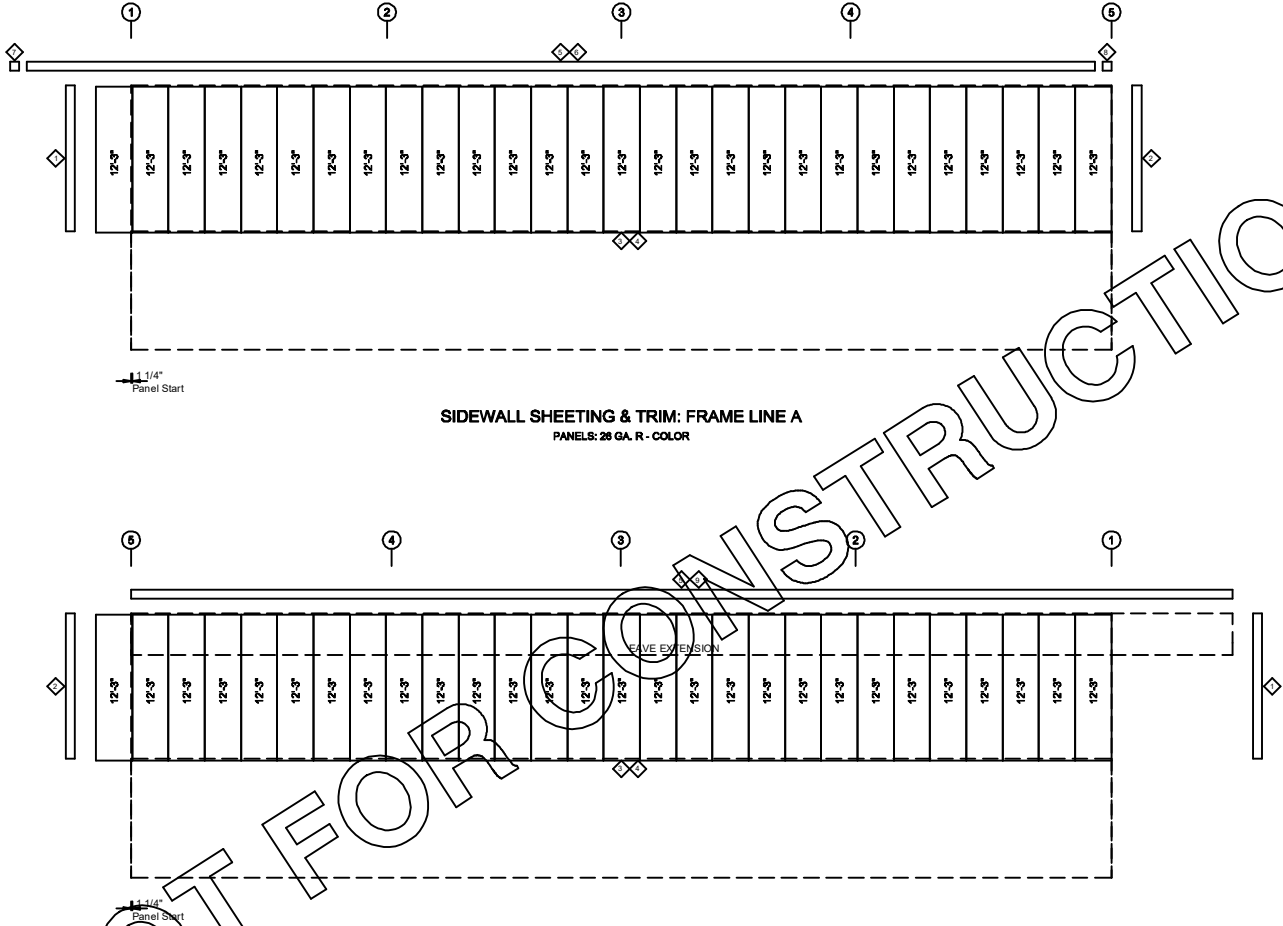
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**SIDEWALL SHEETING & TRIM: FRAME LINE A**  
PANELS: 26 GA. R - COLOR

**SIDEWALL SHEETING & TRIM: FRAME LINE D**  
PANELS: 26 GA. R - COLOR

TRIM TABLE	
FRAME LINE A & D	
ID PART	LENGTH
1 R JAMB	12'-6"
2 O/S CORN	12'-3"
3 BASE TRM	20'-3"
4 BASE TRM	1'-2"
5 EAVE TRM	20'-3"
6 EAVE TRM	11'-2"
7 R END LH	
8 R END RH	
9 EAVE TRM	1'-2"

NOT FOR CONSTRUCTION

<b>SBS</b>	
<b>STEEL BUILDING SYSTEMS INC.</b>	
REVISIONS	CUSTOMER: REGAL BOATS
[1]	JOB NO: BOAT DOCK DATE: 2/28/23
[2]	LOCATION:
[3]	DRAWING NAME: SIDEWALL PANELS & TRIM SCALE: NONE
[4]	DRAWING NO: PAGE 7 DRAWN BY: CHECKED BY:

\*\*\* NOTE \*\*\*

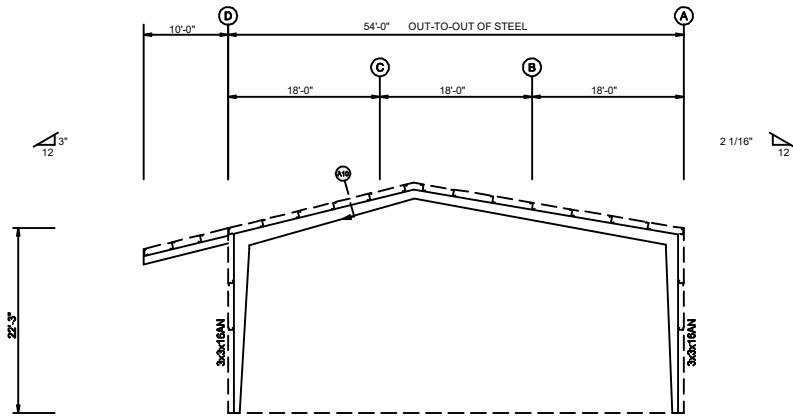
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THIS DRAWING IS NOT FOR CONSTRUCTION.

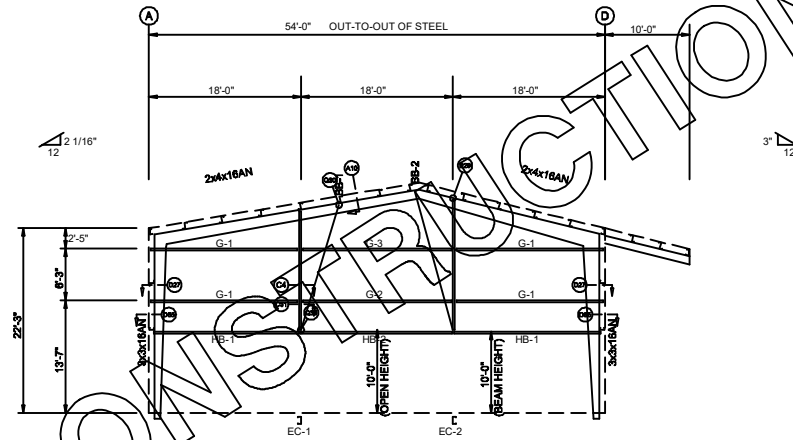
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BOLT TABLE				
FRAME LINE 1 & 5				
LOCATION	QUAN	TYPE	DIA	LENGTH
Columns/Raf	8	A325	5/8"	2 1/2"
Back Braces	1	A325	5/8"	2 1/2"

MEMBER TABLE		
FRAME LINE 1 & 5		
MARK	PART	LENGTH
HB-1	8X25C16	16'-11 1/2"
HB-2	8X25C16	17'-11 1/2"
BB-1	B8X17	24'-9 3/8"
BB-2	B8X17	25'-7 1/16"
EC-1	8X25C12	14'-0 15/16"
EC-2	8X35C12	15'-5 5/8"
G-1	8x25Z16	17'-7 1/2"
G-2	8x25Z16	17'-11 1/2"
G-3	8x25Z14	17'-11 1/2"



ENDWALL FRAMING: FRAME LINE 1



ENDWALL FRAMING: FRAME LINE 5

NOT FOR CONSTRUCTION

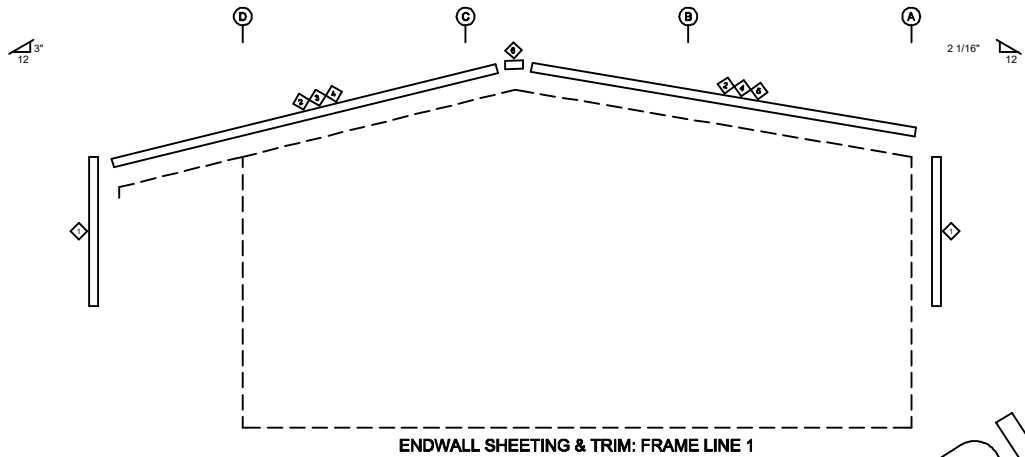
<b>SBS</b>	
<b>STEEL BUILDING SYSTEMS INC.</b>	
REVISIONS	CUSTOMER: REGAL BOATS
[1]	JOB NO: BOAT DOCK DATE: 2/28/23
[2]	LOCATION:
[3]	DRAWING NAME: ENDWALL FRAMING LAYOUT SCALE: NONE
[4]	DRAWING NO: PAGE 4 DRAWN BY: CHECKED BY:

\*\*\* NOTE \*\*\*

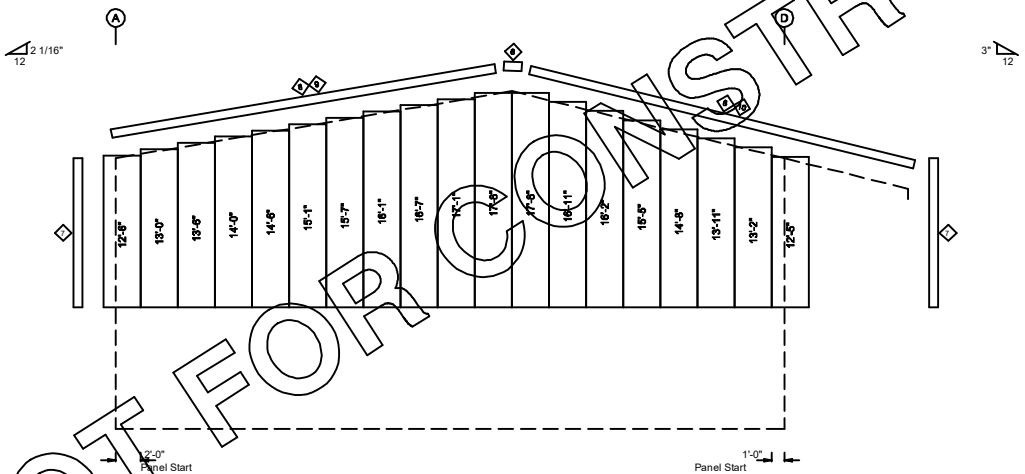
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ENDWALL SHEETING & TRIM: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 5  
PANELS: 28 GA. R - COLOR

TRIM TABLE	
FRAME LINE 1 & 5	
ID	PART
1	R JAMB
2	PART-BOT
3	PART-BOT
4	PART-TOP
5	PART-BOT
6	PEAK BOX
7	O/S CORN
8	RAKE TRM
9	RAKE TRM
10	RAKE TRM

NOT FOR CONSTRUCTION

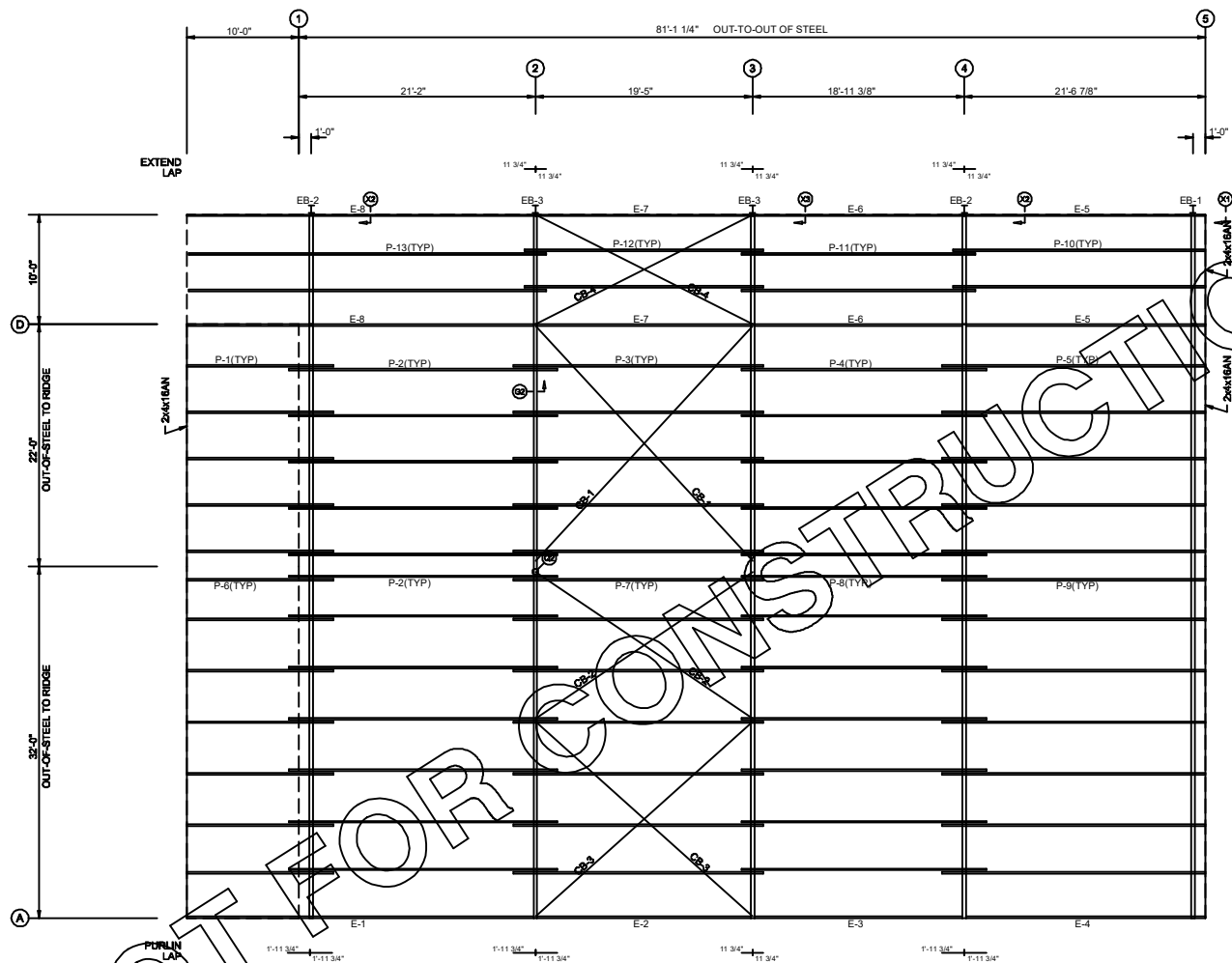
 <b>STEEL BUILDING SYSTEMS INC.</b>	
REVISIONS	CUSTOMER: REGAL BOATS
[1]	JOB NO: BOAT DOCK DATE: 2/28/23
[2]	LOCATION:
[3]	DRAWING NAME: ENDWALL PANELS & TRIM SCALE: NONE
[4]	DRAWING NO: PAGE 8 DRAWN BY: CHECKED BY:

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EXTENSION/CANOPY BOLTS				
ROOF PLAN				
MARK	QUAN	TYPE	DIA	LENGTH
EB-1	4	A325	5/8"	2 1/2"
EB-2	4	A325	1"	2 3/4"
EB-3	4	A325	1"	2 3/4"

MEMBER TABLE		
ROOF PLAN		
MARK	PART	LENGTH
EB-1	B12X15.5	10'-6 3/4"
EB-2	B10X18	10'-6 1/4"
EB-3	B10X18	10'-6 1/4"
P-1	10x25Z12	12'-11 1/2"
P-2	10x25Z12	24'-1 1/2"
P-3	10x25Z16	22'-4 1/2"
P-4	10x25Z16	21'-10 7/8"
P-5	10x25Z16	23'-6 3/8"
P-6	10x25Z12	12'-11 1/2"
P-7	10x25Z16	22'-4 1/2"
P-8	10x25Z16	21'-10 7/8"
P-9	10x25Z16	23'-6 3/8"
P-10	10x35Z14	22'-6 3/8"
P-11	10x35Z14	20'-10 7/8"
P-12	10x35Z14	21'-4 1/2"
P-13	10x35Z14	32'-1 1/2"
E-1	10ES14@2	31'-1 1/2"
E-2	10ES14@2	19'-4 1/2"
E-3	10ES14@2	18'-10 7/8"
E-4	10ES14@2	21'-6 3/8"
E-5	10ES14@3	21'-6 3/8"
E-6	10ES14@3	18'-10 7/8"
E-7	10ES14@3	19'-4 1/2"
E-8	10ES14@3	31'-1 1/2"
CB-1	1/4 CBL	28'-2 7/8"
CB-2	1/4 CBL	23'-5 9/16"
CB-3	1/4 CBL	24'-7 11/16"
CB-4	1/4 CBL	21'-6 1/16"

10'-0" OUT-OF-STEEL TO RIDGE  
 32'-0" OUT-OF-STEEL TO RIDGE

ROOF FRAMING PLAN

**STEEL BUILDING SYSTEMS INC.**

REVISIONS	CUSTOMER: REGAL BOATS		
[1]	JOB NO. BOAT DOCK	DATE: 2/28/23	
[2]	LOCATION:		
[3]	DRAWING NAME: ROOF FRAMING LAYOUT		SCALE: NONE
[4]	DRAWING NO. PAGE 2	DRAWN BY:	CHECKED BY:

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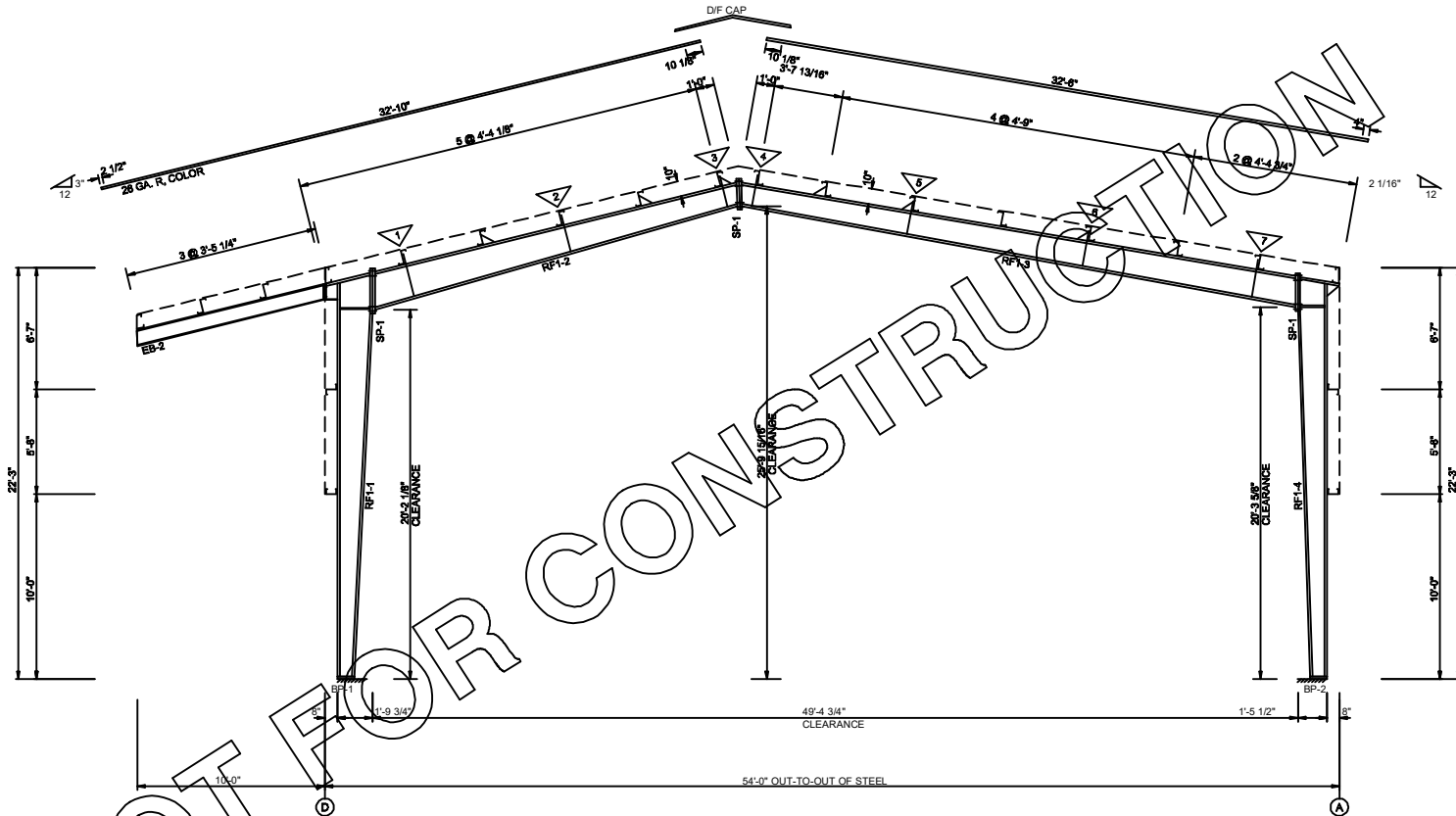
NOT FOR CONSTRUCTION

SPLICE BOLT TABLE							
MARK	QTY	TOP	BOT	INT	TYPE	DIA	LENGTH
SP-1	4	4	0	0	A325	5/8"	2 1/2"

BASE PLATE TABLE			
COL	PLATE SIZE		
MARK	WIDTH	THICK	LENGTH
BP-1	6"	1/2"	8 1/2"
BP-2	8"	3/8"	8 1/4"

FLANGE BRACE TABLE		
#	MARK	LENGTH
1	FB14	2-9 11/16"
2	FB10	2-7 5/16"
3	FB2	2-5 1/4"
4	FB1	2-5 3/16"
5	FB5	2-5 7/8"
6	FB7	2-6 11/16"
7	FB11	2-7 9/16"

MARK	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE W x THK x LENGTH	INSIDE FLANGE W x THK x LENGTH
	START/END	THICK	LENGTH			
RF1-1	1.8/11.1	0.135	4'-11 1/16"		6 x 1/4" x 20'-0"	8 x 1/2" x 19'-9 7/16"
	11.1/21.0	0.135	14'-10"		6 x 1/4" x 1'-5 15/16"	
	21.0/21.0	0.188	2'-2 3/16"		5 x 1/4" x 2'-5 5/16"	
RF1-2	21.0/14.4	0.135	14'-10"		5 x 1/4" x 19'-9 7/8"	5 x 1/4" x 1'-0"
	14.4/12.0	0.135	5'-8 3/16"		5 x 1/4" x 1'-0"	5 x 1/4" x 19'-3 3/4"
RF1-3	12.0/12.1	0.135	1'-0"		5 x 1/4" x 10'-2 3/16"	5 x 1/4" x 1'-0"
	12.1/14.5	0.135	14'-7 1/8"		5 x 1/4" x 20'-0"	5 x 1/4" x 10'-2 5/8"
	14.5/17.0	0.135	14'-10"		5 x 1/4" x 20'-0"	5 x 1/4" x 20'-0"
RF1-4	17.0/17.0	0.188	1'-9 13/16"		5 x 1/4" x 2'-1 9/16"	8 x 1/4" x 19'-10 15/16"
	17.0/10.1	0.135	14'-10"		8 x 1/4" x 1'-5 5/8"	
	10.1/7.8	0.135	5'-0 3/4"		8 x 1/4" x 20'-0"	
EB-2	B10X18					



RIGID FRAME ELEVATION: FRAME LINE 1

**SBS**  
**STEEL BUILDING SYSTEMS INC.**

REVISIONS	CUSTOMER: REGAL BOATS	
[1]	JOB NO: BOAT DOCK	DATE: 2/28/23
[2]	LOCATION:	
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION	
[4]	DRAWING NO: PAGE 2.1	DRAWN BY: _____ CHECKED BY: _____

\*\*\* NOTE \*\*\*

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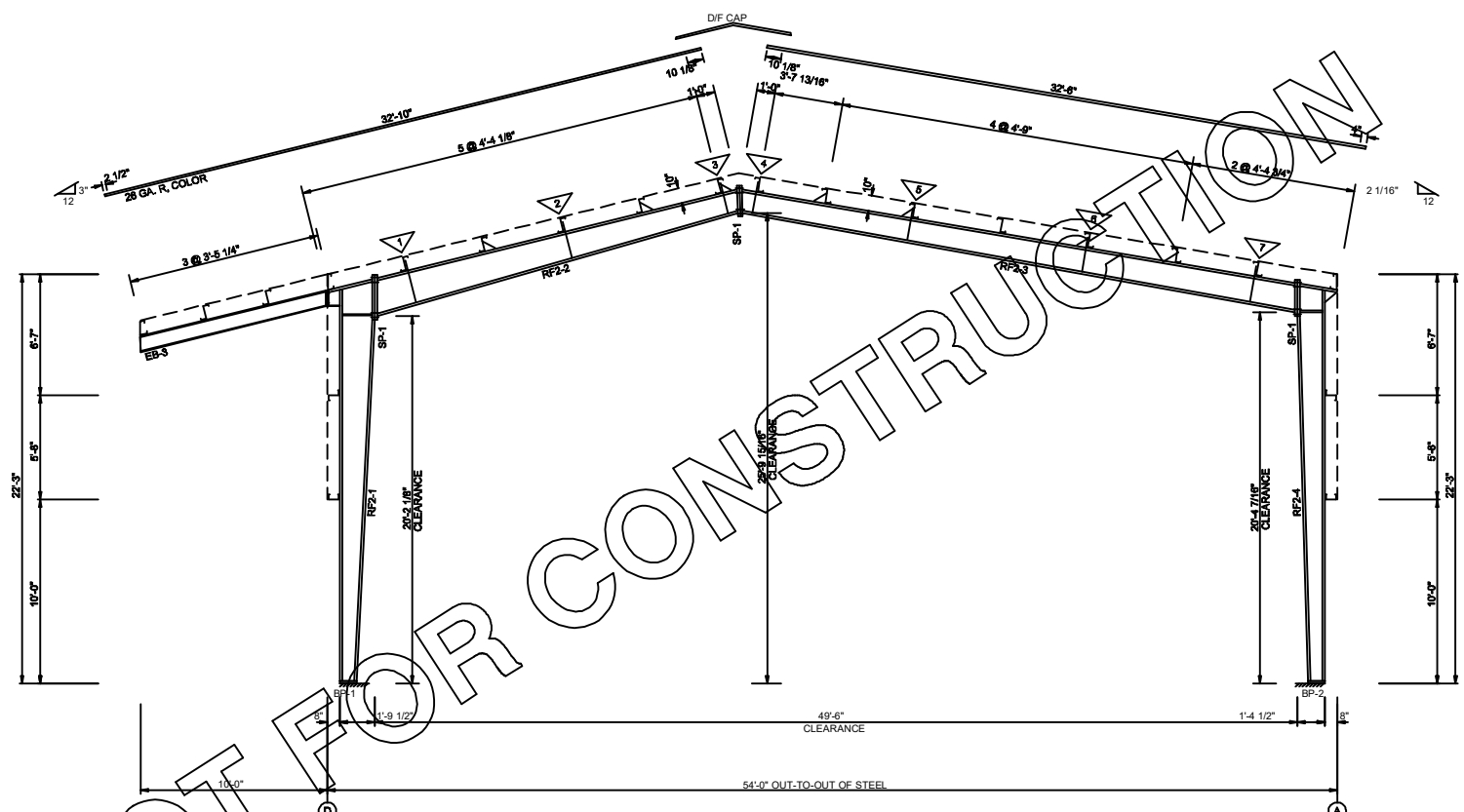
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SPLICE BOLT TABLE							
MARK	QTY	TOP	BOT	INT	TYPE	DIA	LENGTH
SP-1	4	4	0	0	A325	5/8"	2 1/2"

BASE PLATE TABLE			
COL	PLATE SIZE		
MARK	WIDTH	THICK	LENGTH
BP-1	6"	1/2"	8 1/4"
BP-2	8"	1/2"	8 1/4"

FLANGE BRACE TABLE			
FRAME LINE 2 3			
#	SIDES	MARK	LENGTH
1	2	FB14	2-9 11/16"
2	2	FB10	2-7 5/16"
3	2	FB2	2-5 1/4"
4	2	FB1	2-5 3/16"
5	2	FB4	2-5 11/16"
6	2	FB6	2-6 3/8"
7	2	FB8	2-7"

MEMBER TABLE					
MARK	WEB DEPTH	WEB PLATE		OUTSIDE FLANGE W x THK x LENGTH	INSIDE FLANGE W x THK x LENGTH
		START/END	THICK		
RF2-1	11.1/21.0	0.135	14'-10"	6 x 1/4" x 20'-0"	8 x 1/4" x 19'-3 7/16"
	21.0/21.0	0.188	2'-2 3/16"	5 x 1/4" x 2'-5 5/16"	
RF2-2	21.0/14.4	0.135	14'-10"	5 x 1/4" x 19'-0 7/8"	5 x 1/4" x 19'-3 3/4"
	14.4/12.0	0.135	5'-8 3/16"	5 x 1/4" x 1'-0"	5 x 1/4" x 1'-0"
RF2-3	12.0/12.1	0.135	1'-0"	5 x 1/4" x 10'-3 3/16"	5 x 1/4" x 10'-3 7/16"
	12.1/14.0	0.135	14'-8"	5 x 1/4" x 20'-0"	5 x 1/4" x 20'-0"
RF2-4	14.0/16.0	0.135	14'-10"	5 x 1/4" x 20'-0"	
	16.0/16.0	0.188	1'-8 13/16"	5 x 1/4" x 2'-0 9/16"	8 x 1/4" x 19'-11 5/8"
RF2-5	16.0/9.9	0.135	14'-10"	8 x 1/4" x 1'-5 1/2"	
	9.9/7.7	0.135	5'-1 1/2"	8 x 1/4" x 20'-0"	
EB-3	B10X18				



NOT FOR CONSTRUCTION

RIGID FRAME ELEVATION: FRAME LINE 2 3

<b>SBS</b>		<b>STEEL BUILDING SYSTEMS INC.</b>	
CUSTOMER: REGAL BOATS			
REVISIONS	JOB NO:	DATE:	
[1]	BOAT DOCK	2/28/23	
[2]	LOCATION:		
[3]	DRAWING NAME:	SCALE:	
	RIGID FRAME CROSS SECTION	NONE	
[4]	DRAWING NO:	DRAWN BY:	CHECKED BY:
	PAGE 2.2		

\*\*\* NOTE \*\*\*

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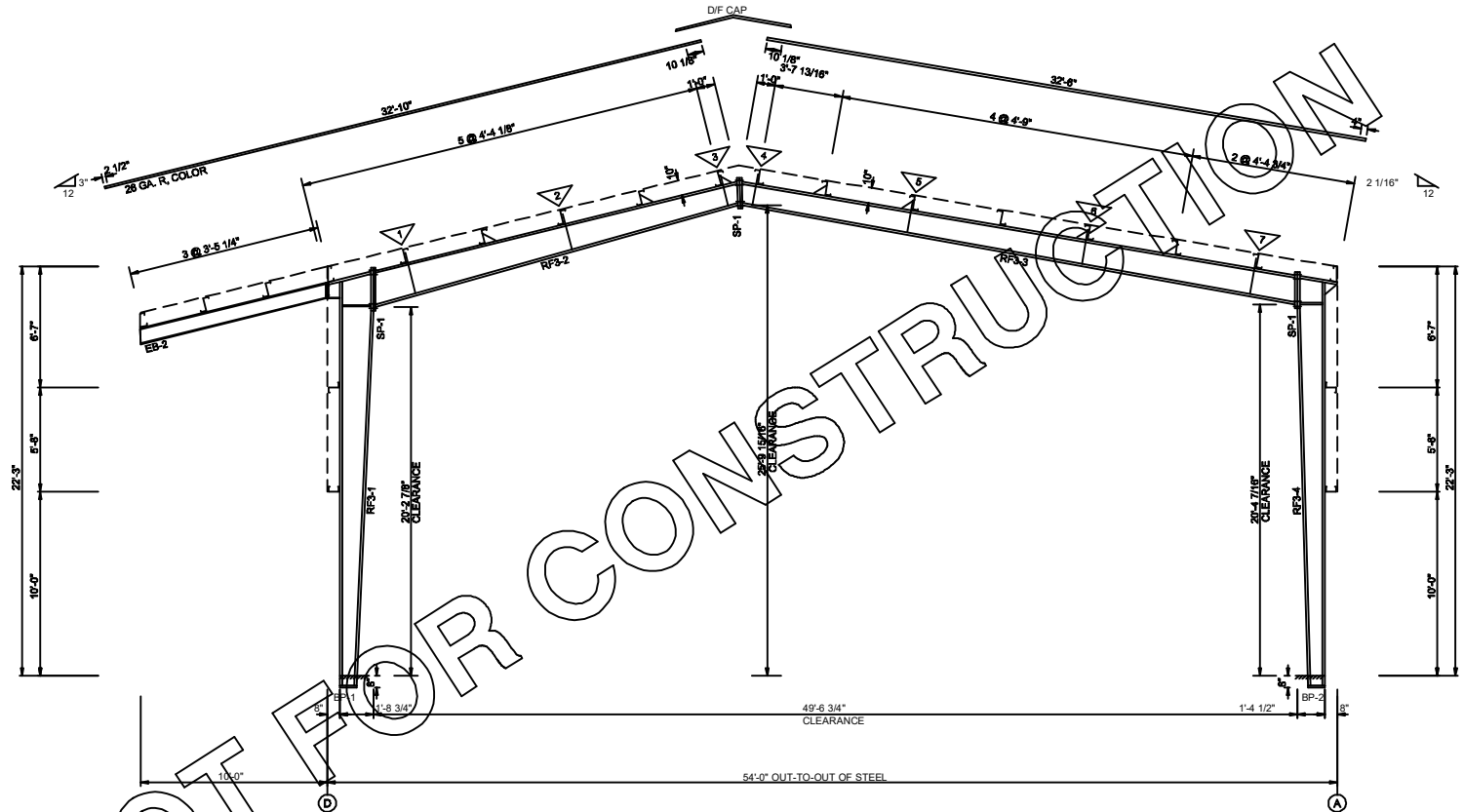
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SPLICE BOLT TABLE							
MARK	QTY	TOP	BOT	INT	TYPE	DIA	LENGTH
SP-1	4	4	0	A325	5/8"	2 1/2"	

BASE PLATE TABLE			
COL	PLATE SIZE		
MARK	WIDTH	THICK	LENGTH
BP-1	6"	1/2"	8 1/2"
BP-2	8"	3/8"	8 1/4"

FLANGE BRACE TABLE			
#	SIDES	MARK	LENGTH
1	2	FB13	2'-9 1/8"
2	2	FB9	2'-7 1/16"
3	2	FB2	2'-5 1/4"
4	2	FB1	2'-5 3/16"
5	2	FB4	2'-5 11/16"
6	2	FB6	2'-6 3/8"
7	2	FB8	2'-7"

MARK	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE W x THK x LENGTH	INSIDE FLANGE W x THK x LENGTH
	START/END	THICK	LENGTH			
RF3-1	1.7/11.1	0.135	5'-7 7/8"		6 x 1/4" x 20'-0"	6 x 1/2" x 1'-0"
	20.0/20.0	0.188	2'-1 1/8"		5 x 1/4" x 2'-4 5/16"	
RF3-2	20.0/14.2	0.135	14'-10"		5 x 1/4" x 19'-1 15/16"	5 x 1/4" x 19'-4 1/2"
	14.2/12.0	0.135	5'-0"		5 x 1/4" x 1'-0"	5 x 1/4" x 1'-0"
RF3-3	12.0/12.1	0.135	1'-0"		5 x 1/4" x 10'-3 3/16"	5 x 1/4" x 10'-3 7/16"
	12.1/14.0	0.135	14'-8"		5 x 1/4" x 20'-0"	5 x 1/4" x 20'-0"
RF3-4	14.0/16.0	0.135	14'-10"		5 x 1/4" x 2'-0 9/16"	8 x 1/4" x 1'-0"
	16.0/10.1	0.135	14'-10"		8 x 1/4" x 2'-1 5/8"	8 x 1/4" x 19'-7 3/4"
EB-2	B10X18	0.135	5'-9 5/8"		8 x 1/4" x 20'-0"	



RIGID FRAME ELEVATION: FRAME LINE 4

**SBS**  
STEEL BUILDING SYSTEMS INC.

REVISIONS	CUSTOMER: REGAL BOATS		
[1]	JOB NO.: BOAT DOCK	DATE:	2/28/23
[2]	LOCATION:		
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION		SCALE: NONE
[4]	DRAWING NO: PAGE 2.3	DRAWN BY:	CHECKED BY:

\*\*\* NOTE \*\*\*

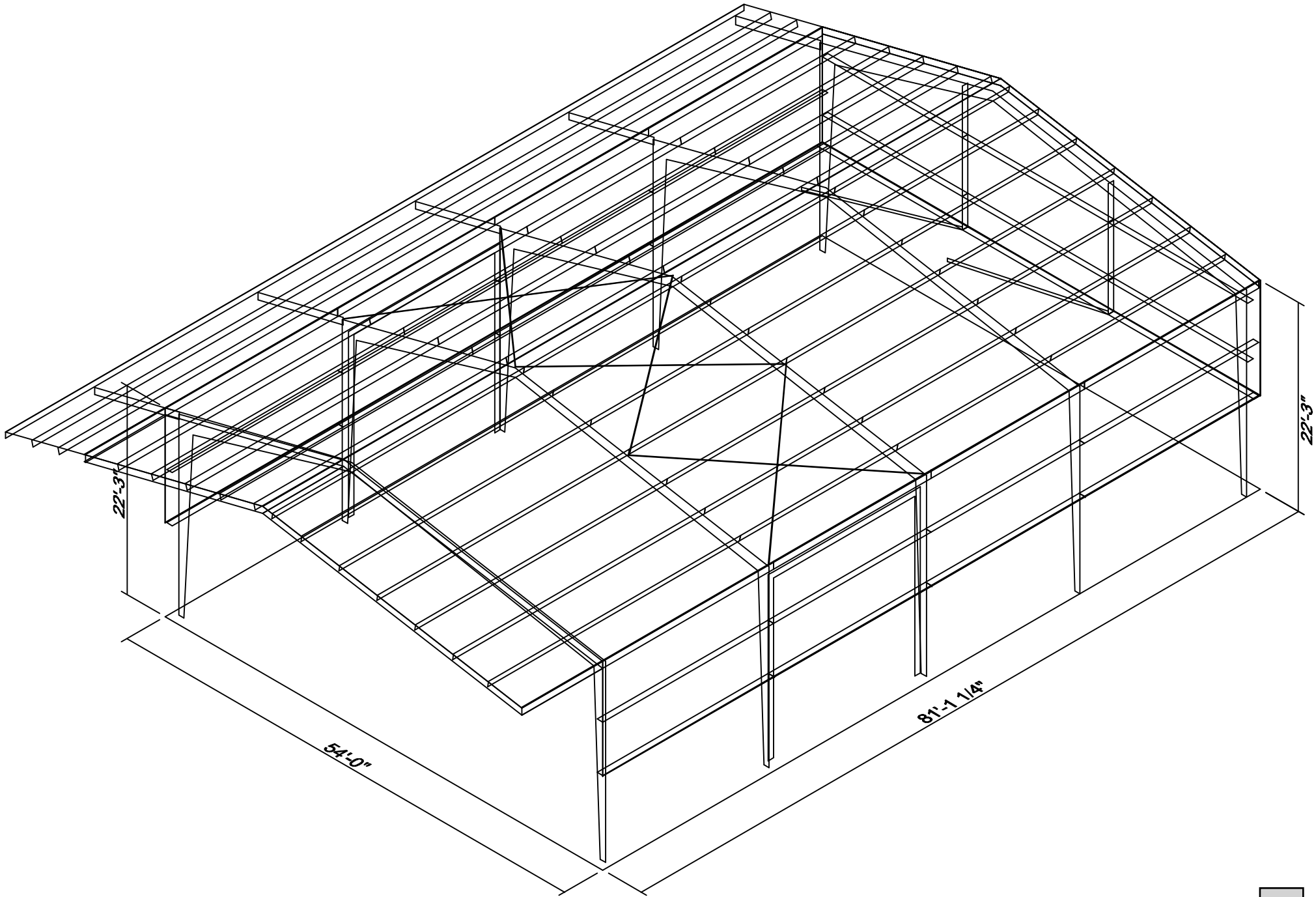
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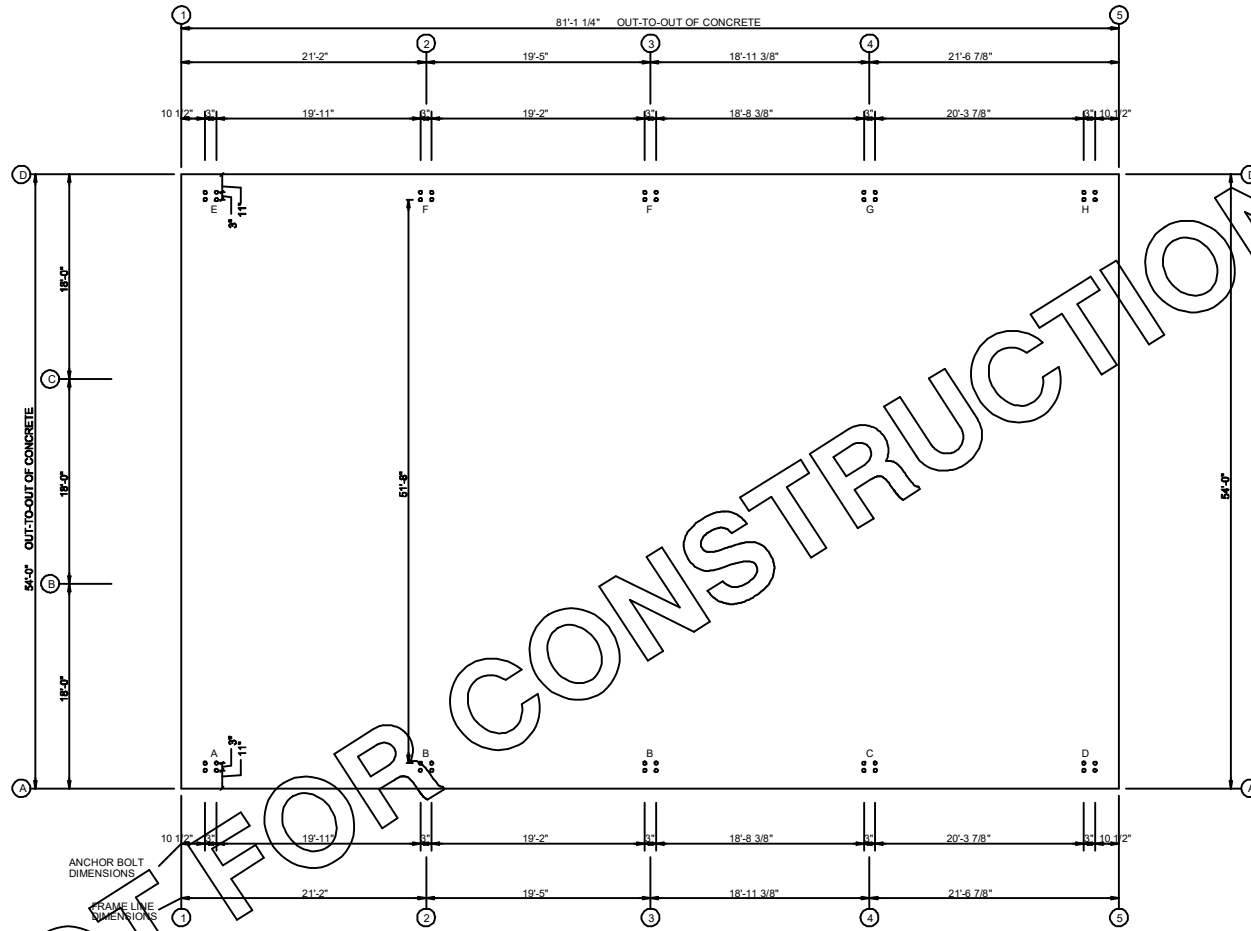
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○ DIA= 3/4"



**ANCHOR BOLT PLAN**  
 NOTE: ALL BASE PLATES @ 100'-0" (UNLESS NOTED)

NOT FOR CONSTRUCTION

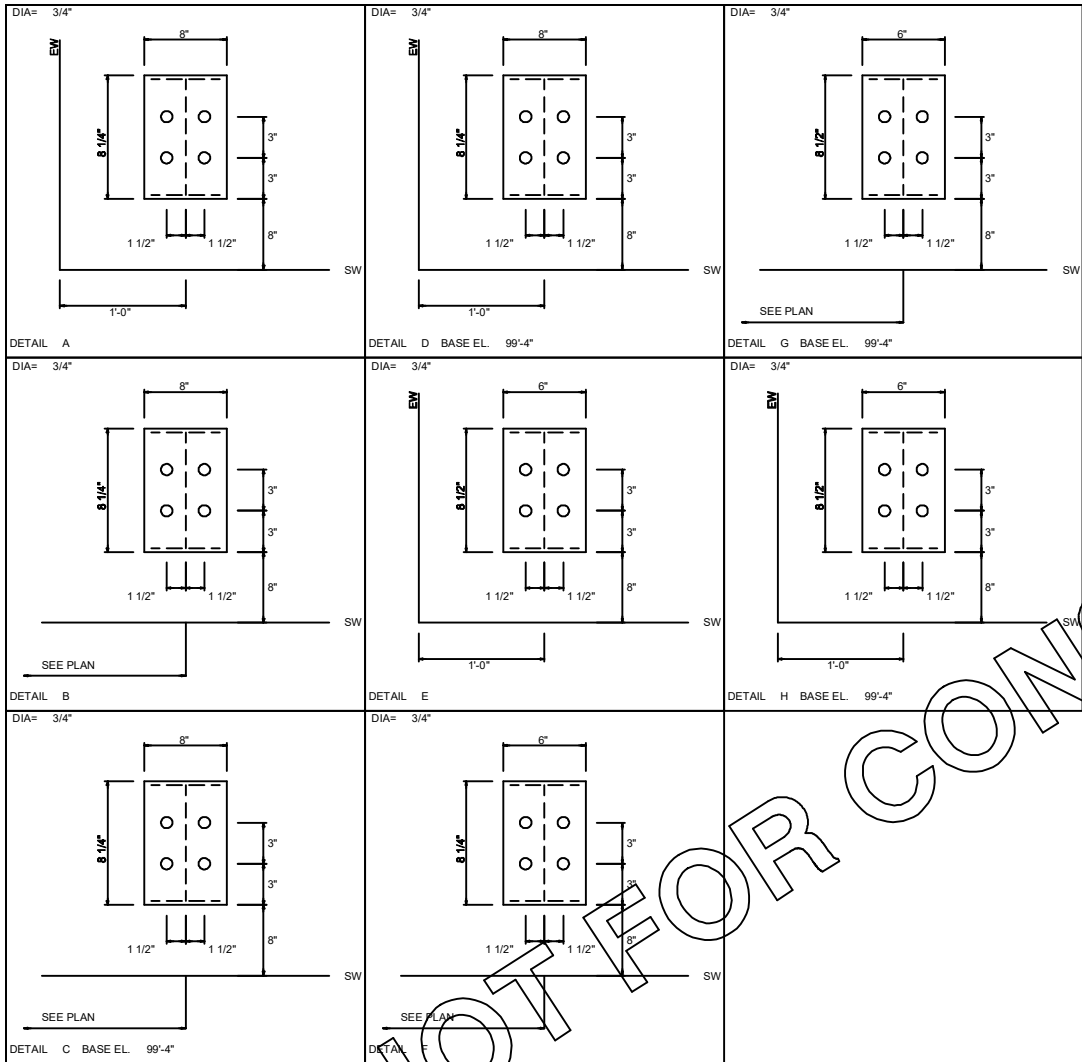
<b>SBS</b>	
<b>STEEL BUILDING SYSTEMS INC.</b>	
REVISIONS	CUSTOMER: REGAL BOATS
[1]	JOB NO: BOAT DOCK DATE: 2/28/23
[2]	LOCATION:
[3]	DRAWING NAME: ANCHOR BOLT LAYOUT SCALE: NONE
[4]	DRAWING NO: PAGE 1 DRAWN BY: CHECKED BY:

\*\*\* NOTE \*\*\*

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NOT FOR CONSTRUCTION

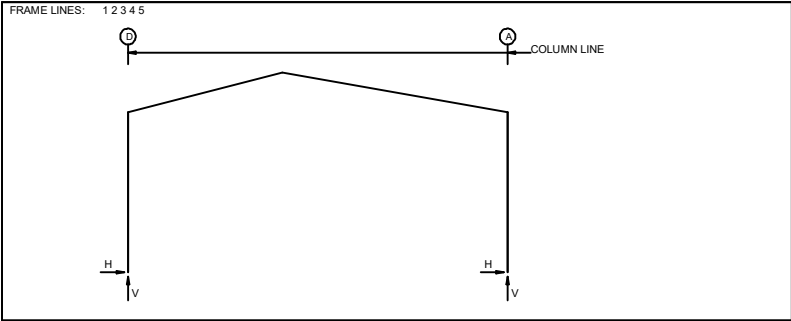
<b>SBS</b>	
<b>STEEL BUILDING SYSTEMS INC.</b>	
REVISIONS	CUSTOMER: REGAL BOATS
[1]	JOB NO: BOAT DOCK DATE: 2/28/23
[2]	LOCATION:
[3]	DRAWING NAME: ANCHOR BOLT DETAILS SCALE: NONE
[4]	DRAWING NO: PAGE 1.1 DRAWN BY: CHECKED BY:

\*\*\* NOTE \*\*\*

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**RIGID FRAME: BASIC COLUMN REACTIONS (k)**

FRAME LINE	COLUMN LINE	---Dead---		---Collateral---		---Live---		---Wind_Left1---		---Wind_Right1---		---Wind_Left2---	
		HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT
1	D	0.5	2.6	0.4	1.2	2.1	12.1	-6.0	-22.8	2.5	-11.6	-6.4	-16.8
1	A	-0.5	2.0	-0.4	1.2	-2.1	6.6	-1.6	-8.4	8.8	-15.7	-1.2	-2.4
2*	D	0.5	2.4	0.4	1.2	2.0	11.3	-5.8	-21.5	2.4	-11.0	-6.2	-15.8
2*	A	-0.5	1.9	-0.4	1.2	-2.0	6.3	-1.6	-8.1	8.4	-15.0	-1.1	-2.3
4	D	0.5	2.5	0.4	1.2	1.9	11.3	-5.8	-21.6	2.7	-10.9	-6.3	-15.9
4	A	-0.5	1.9	-0.4	1.2	-1.9	6.3	-1.8	-7.9	8.4	-15.1	-1.3	-2.2
5	D	0.8	3.4	0.4	1.2	2.0	11.7	-5.8	-21.9	2.8	-11.0	-6.3	-16.2
5	A	-0.8	2.8	-0.4	1.2	-2.0	6.5	-1.8	-7.9	8.4	-15.1	-1.2	-2.2

FRAME LINE	COLUMN LINE	---Wind_Right2---		---Wind_Long1---		---Wind_Long2---		---Seismic_Left---		---Seismic_Right---		---Seismic_Long---	
		HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT
1	D	2.0	-5.6	1.1	-12.2	-0.6	-11.5	-0.1	-0.1	0.1	0.1	0.0	0.0
1	A	9.3	-9.7	0.0	-10.5	-0.5	-13.1	-0.1	0.1	0.1	-0.1	0.0	0.0
2*	D	2.0	-5.3	1.1	-21.9	-0.5	-21.3	-0.1	-0.1	0.1	0.1	0.0	-0.4
2*	A	8.8	-9.3	-0.1	-17.5	-0.5	-20.0	-0.1	0.1	0.1	-0.1	0.0	-0.4
4	D	2.2	-5.2	1.3	-11.6	-0.3	-11.0	-0.1	-0.1	0.1	0.1	0.0	0.0
4	A	8.9	-9.4	-0.3	-10.0	-0.8	-12.5	-0.1	0.1	0.1	-0.1	0.0	0.0
5	D	2.2	-5.2	1.3	-11.6	-0.3	-11.0	-0.1	-0.1	0.1	0.1	0.0	0.0
5	A	8.9	-9.4	-0.3	-10.0	-0.7	-12.5	-0.1	0.1	0.1	-0.1	0.0	0.0

2\* FRAME LINES: 2 3

a.

**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

FRM LINE	COL LINE	Column_Reactions(k)						Bolt(N) QTY	DIA	BASE_PLATE(IN)			ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN			WIDTH	LENGTH	THICK	
1	D	3	3.7	7.6	6	-3.5	-8.5	4	0.750	6.000	8.500	0.500	0.0
1	A	7	5.2	-4.6	2	-3.3	4.3	4	0.750	8.000	8.250	0.375	0.0
1		1	-3.1	9.8	5	5.0	-8.2						

**ANCHOR BOLT SUMMARY**

QTY	LOCATE	DIA (in)	TYPE	PRGJ.	
0	40	FRAME	3/4"	F1554	2.50

**GENERAL NOTES**

**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

FRM LINE	COL LINE	Column_Reactions(k)						Bolt(N) QTY	DIA	BASE_PLATE(IN)			ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN			WIDTH	LENGTH	THICK	
2*	D	3	3.5	7.1	6	-3.4	-8.0	4	0.750	6.000	8.250	0.500	0.0
2*	A	7	5.0	-4.4	2	-3.1	4.2	4	0.750	8.000	8.250	0.500	0.0
2*		1	-2.9	9.4	9	-0.6	-10.9						

2\* FRAME LINES: 2 3

**BUILDING BRACING REACTIONS**

LOC	LINE	COL LINE	Reactions(k)				Panel Shear (lb/ft)	
			WIND HORZ	SEISMIC VERT	WIND VERT	SEISMIC	WIND	Seis
L_EW	1							(h)
F_SW	A	2,3	3.5	7.5	0.2	0.4		(b)
R_EW	5							(h)
B_SW	D	2,3	4.9	10.3	0.2	0.4		(b)

(b) Wind bent in bay, base above finish floor  
(h) Rigid frame at endwall

**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

FRM LINE	COL LINE	Column_Reactions(k)						Bolt(N) QTY	DIA	BASE_PLATE(IN)			ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN			WIDTH	LENGTH	THICK	
4	D	3	3.6	7.3	6	-3.5	-8.0	4	0.750	6.000	8.500	0.500	-8.0
4	A	7	5.1	-4.5	2	-3.2	4.2	4	0.750	8.000	8.250	0.375	-8.0
4		1	-2.8	9.4	5	4.7	-7.9						

**RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES**

FRM LINE	COL LINE	Column_Reactions(k)						Bolt(N) QTY	DIA	BASE_PLATE(IN)			ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN			WIDTH	LENGTH	THICK	
5	D	3	4.0	8.4	6	-3.3	-7.6	4	0.750	6.000	8.500	0.500	-8.0
5	A	7	4.8	-4.0	2	-3.5	5.2	4	0.750	8.000	8.250	0.375	-8.0
5		1	-3.3	10.4	5	4.5	-7.4						

- NOTES FOR REACTIONS**
- ALL LOADING CONDITIONS ARE EXAMINED AND ONLY MAXIMUM/MINIMUM H OR V AND THE CORRESPONDING H or V ARE REPORTED.
  - POSITIVE REACTIONS ARE AS SHOWN IN THE SKETCH. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
  - BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE H POINTING AWAY FROM THE BRACE BAY. THE VERTICAL REACTION IS DOWNWARD.
  - BUILDING REACTIONS ARE BASED ON THE FOLLOWING BUILDING DATA:
    - WIDTH (ft) = 54.0
    - LENGTH (ft) = 81.1
    - EAVE HEIGHT (ft) = 22.3/22.3
    - ROOF SLOPE (RISE/12) = 3.0/ 2.1
    - DEAD LOAD (psf) = 2.0
    - COLLATERAL LOAD (psf) = 2.0
    - ROOF LIVE LOAD (psf) = 20.0
    - FRAME LIVE LOAD Min(psf) = 12.0
    - Max(psf) = 12.4
    - WIND SPEED (mph) = 136.0
    - WIND CODE = FBC 20 (IBC 18)
    - EXPOSURE = B
    - CLOSED/OPEN/PARTIAL = C
    - IMPORTANCE WIND = 1.00
    - IMPORTANCE SEISMIC = 1.00
    - SEISMIC Zone = A
    - SEISMIC COEFF (Fa/Ss) = 0.10
  - LOADING CONDITIONS ARE:
    - 1 Dead+Collateral+Live
    - 2 Dead+Collateral+0.75Live+0.45Wind\_Left1
    - 3 Dead+Collateral+0.75Live+0.45Wind\_Right1
    - 4 0.6Dead+0.6Wind\_Left1
    - 5 0.6Dead+0.6Wind\_Right1
    - 6 0.6Dead+0.6Wind\_Left2
    - 7 0.6Dead+0.6Wind\_Right2
    - 8 0.6Dead+0.6Wind\_Long1L
    - 9 0.6Dead+0.6Wind\_Long2L

**SBS**  
**STEEL BUILDING SYSTEMS INC.**

REVISIONS	CUSTOMER
(1)	REGAL BOATS
(2)	BOAT DOCK
(3)	ANCHOR BOLT REACTIONS
(4)	PAGE 1.2

JOB NO:	DATE:
2/28/23	
LOCATION:	
DRAWING NAME:	SCALE:
ANCHOR BOLT REACTIONS	NONE
DRAWING NO:	DRAWN BY:
	CHECKED BY:

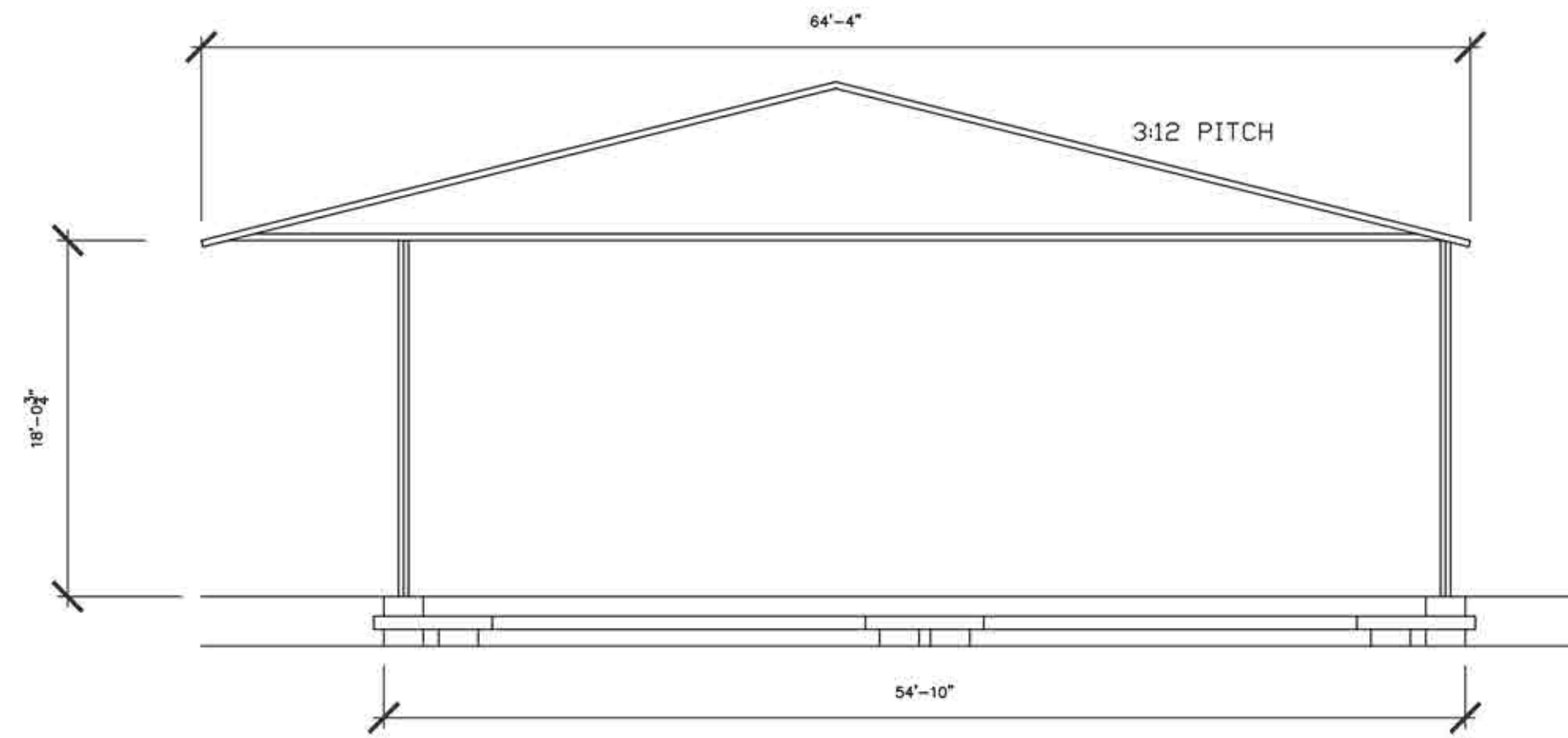
\*\*\* NOTE \*\*\*

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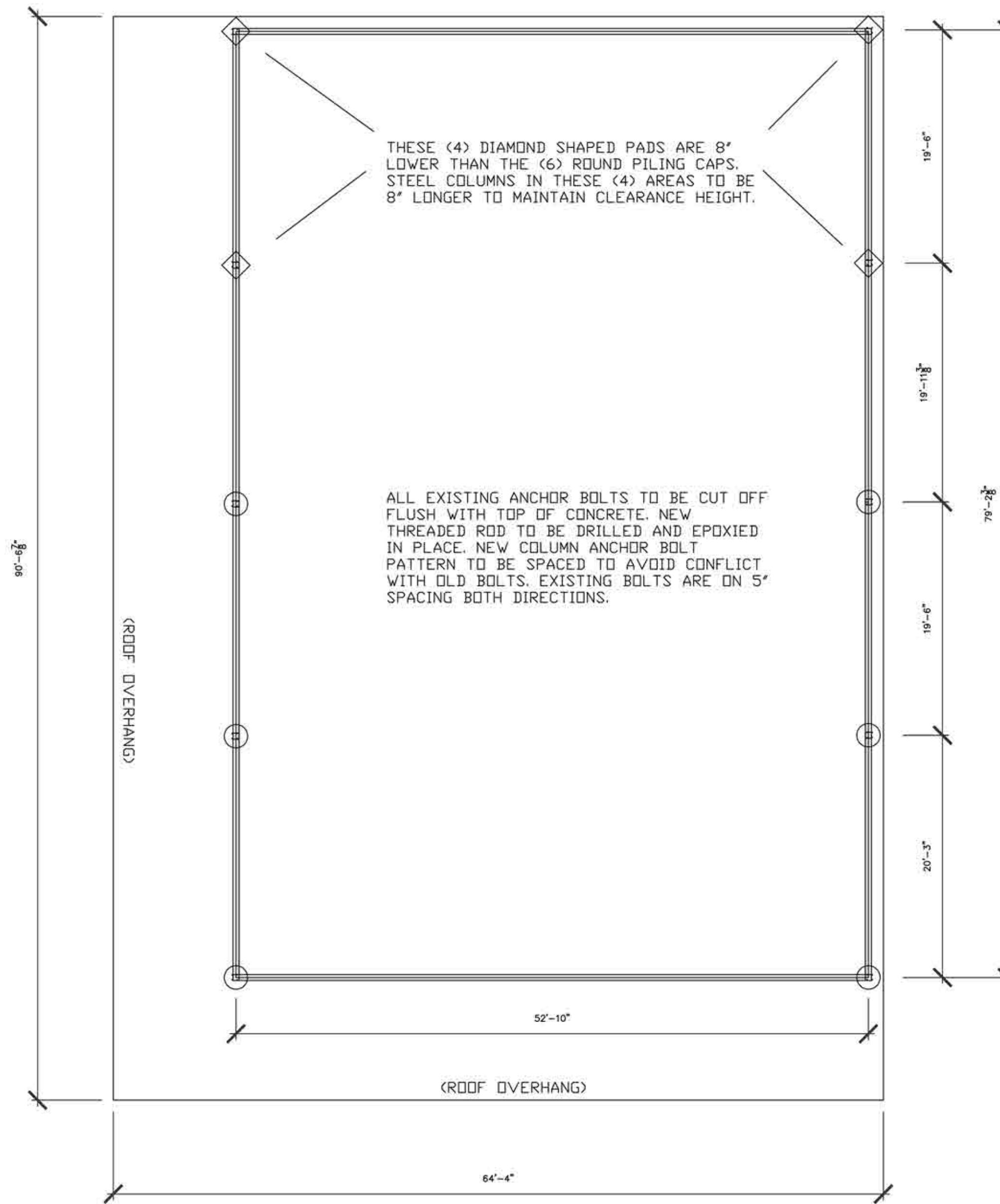
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10' WEST  
EXTENSION THIS  
SIDE OF BUILDING



SOUTH ELEVATION



PLAN VIEW

ERECT NEW STEEL CANOPY  
COLUMNS AND ROOF STRUCTURE  
ON TOP OF EXISTING  
CONCRETE PILING (TYPICAL)

ALL DIMENSIONS ARE TO THE  
CENTERLINE OF THE  
FOUNDATION PAD / PILING CAP

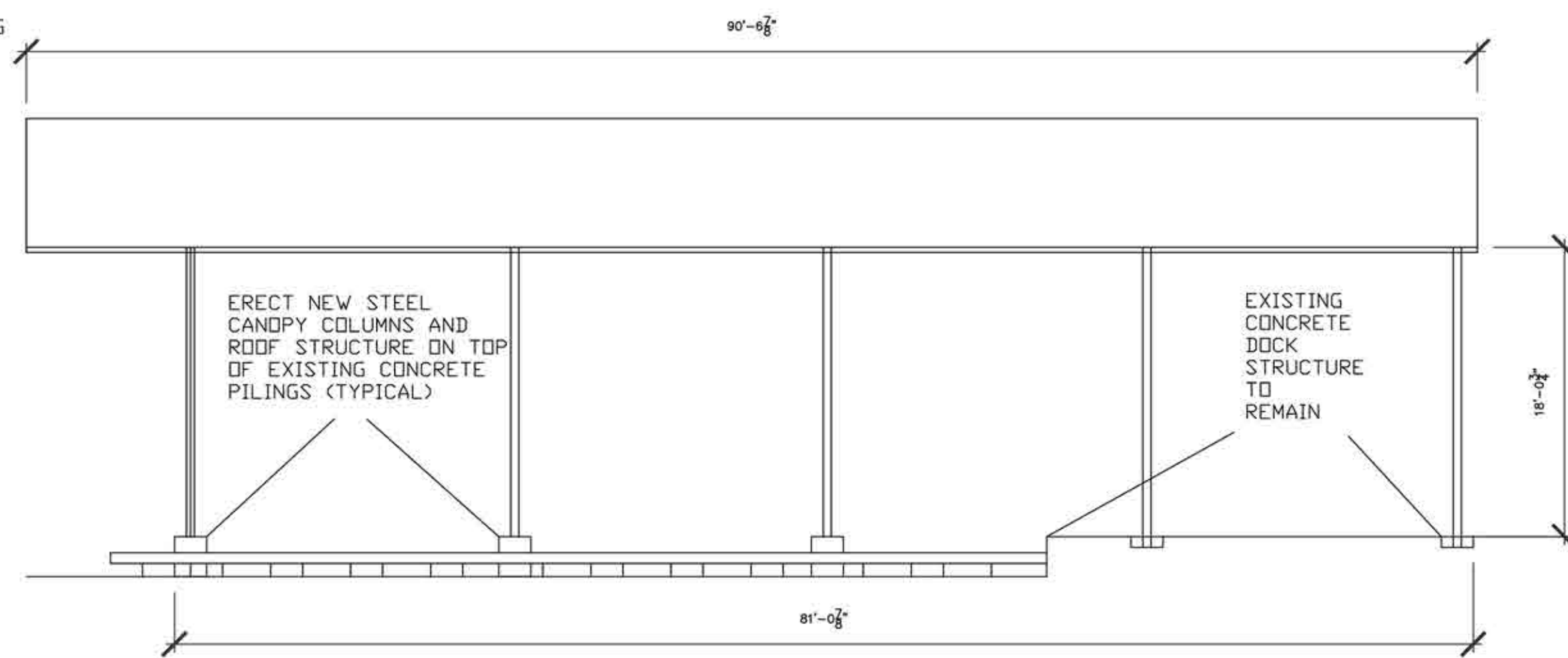
TOP OF PILING FOOTER IS  
16'0" FROM PILING CAP

POND DEPTH FROM TOP OF  
PILING CAP (SOUTH TO NORTH):  
14'1" / 14'7" / 13'6"

THESE (4) DIAMOND SHAPED PADS ARE 8"  
LOWER THAN THE (6) ROUND PILING CAPS.  
STEEL COLUMNS IN THESE (4) AREAS TO BE  
8" LONGER TO MAINTAIN CLEARANCE HEIGHT.

ALL EXISTING ANCHOR BOLTS TO BE CUT OFF  
FLUSH WITH TOP OF CONCRETE. NEW  
THREADED ROD TO BE DRILLED AND EPOXIED  
IN PLACE. NEW COLUMN ANCHOR BOLT  
PATTERN TO BE SPACED TO AVOID CONFLICT  
WITH OLD BOLTS. EXISTING BOLTS ARE ON 5'  
SPACING BOTH DIRECTIONS.

10' SOUTH  
EXTENSION THIS  
SIDE OF BUILDING



EAST ELEVATION

ERECT NEW STEEL  
CANOPY COLUMNS AND  
ROOF STRUCTURE ON TOP  
OF EXISTING CONCRETE  
PILINGS (TYPICAL)

EXISTING CONCRETE  
DOCK  
STRUCTURE  
TO  
REMAIN

REGAL MARINE INDUSTRIES  
2300 JETPORT DRIVE, ORLANDO, FLORIDA 32809

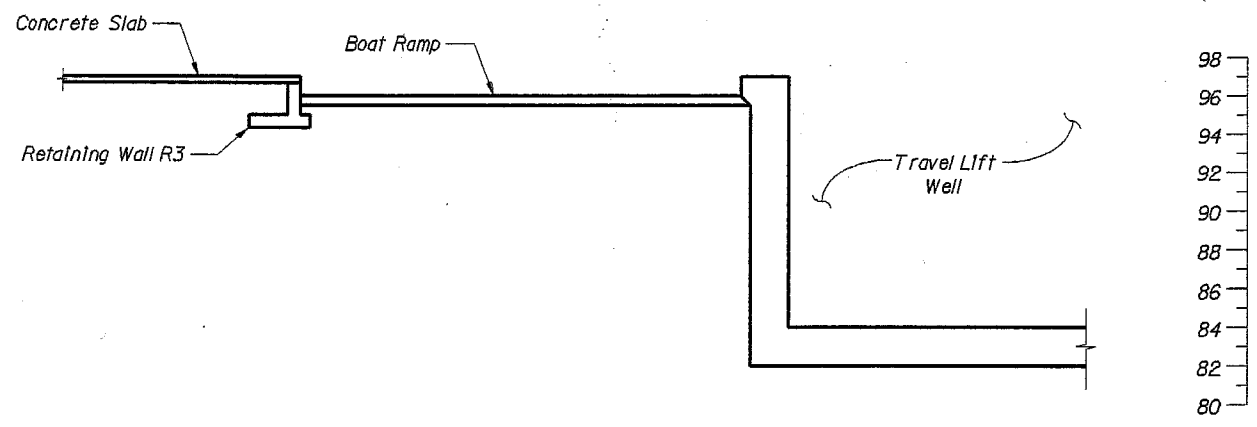
CONSTRUCT NEW STEEL ROOF OVER EXISTING CONCRETE DOCK STRUCTURE



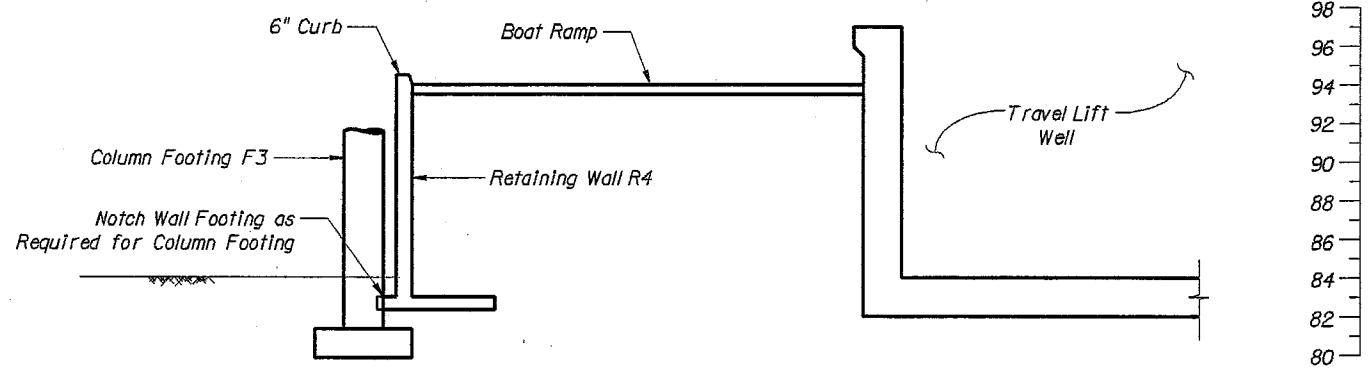




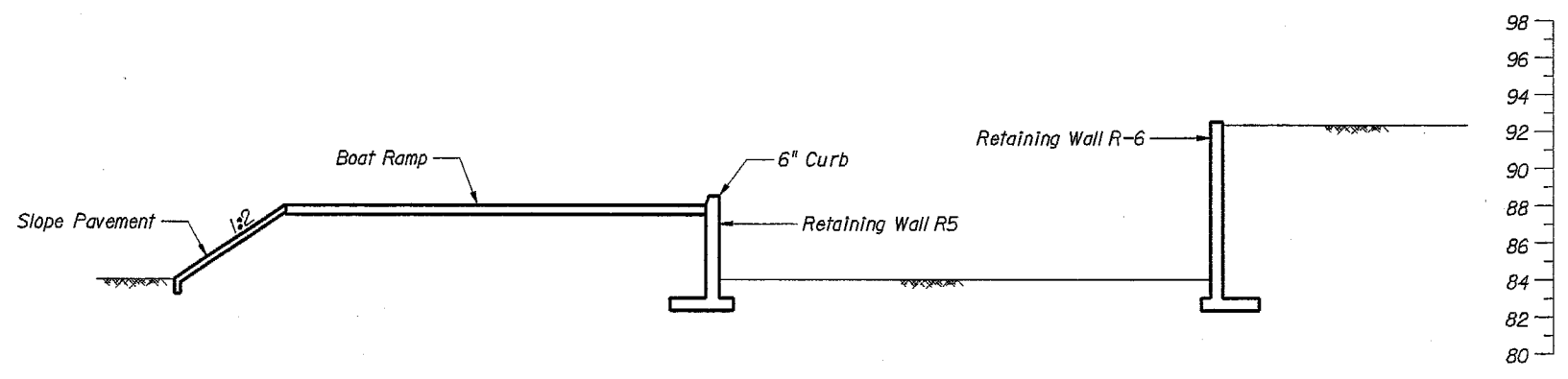




Section A-A



Section B-B  
(Floating Dock Not Shown for Clarity)

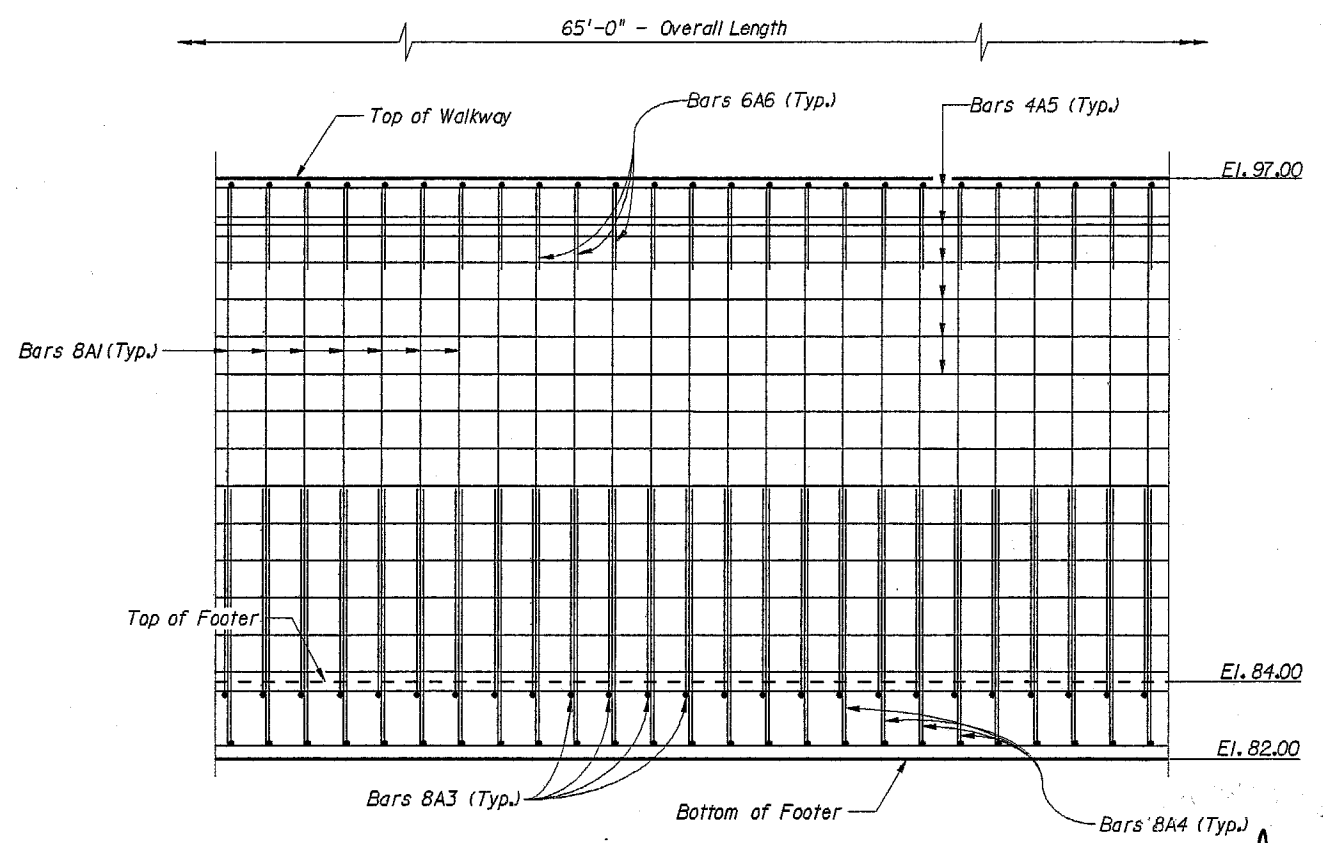
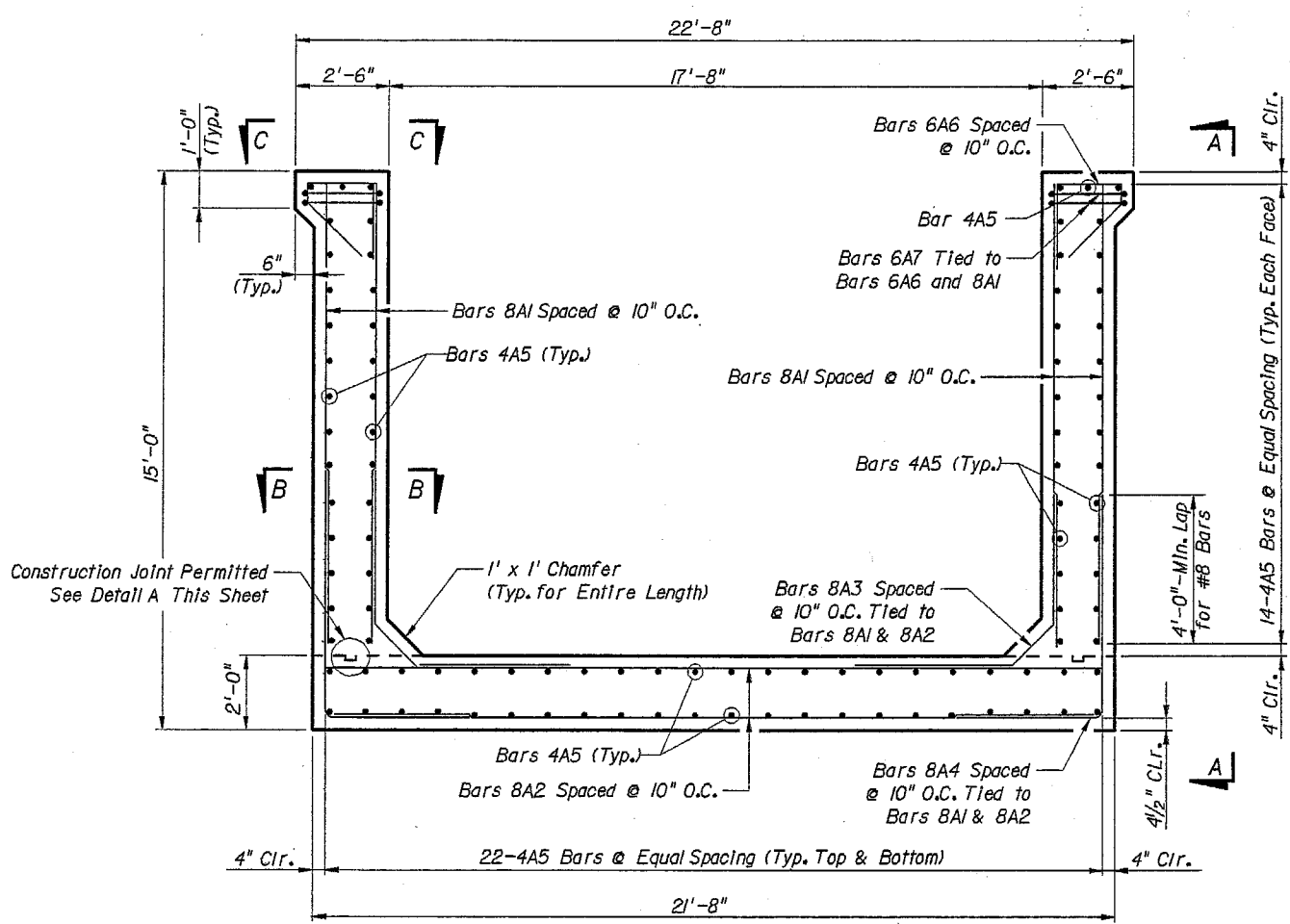


Section C-C

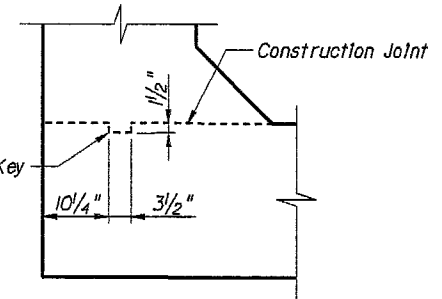
*Rodney A. Chamberlain*  
 3/29/06

3/29/2006

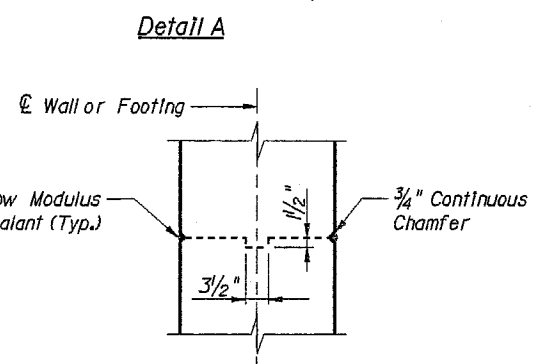
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DRAWN BY	ENGINEER OF RECORD.	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	Typical Sections		SHEET NO.	
						R.G.C.	<b>BOWYER SINGLETON &amp; ASSOCIATES, INCORPORATED</b>	414	ORANGE		Regal Marine Test Facility		B-2	
						G.C.N.	200 S. MAROLLA AVENUE - ORLANDO, FLORIDA 32801 <small>FLORIDA CERTIFICATE OF AUTHORIZATION NO. 1221          ENGINEER OF RECORD - RODNEY A. CHAMBERLAIN P.E. NO. 63950</small>							
						R.G.C.								
						G.C.N.								
						G. Craig Noon, P.E.								



*Rodney J. Chamberlain*  
3/29/06

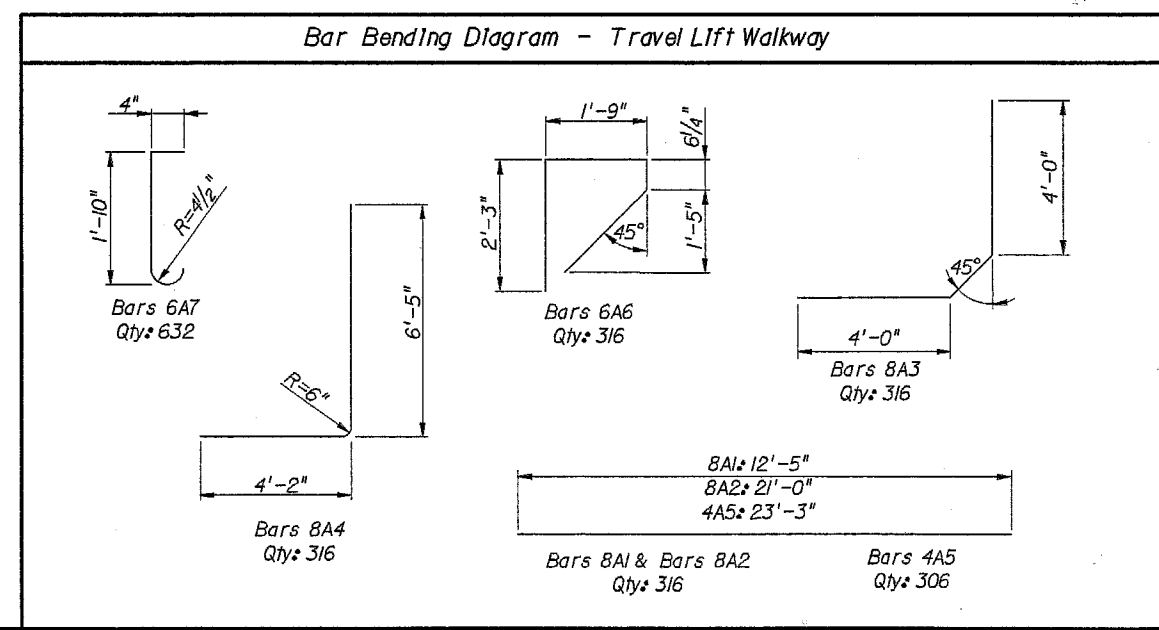


Typical Section



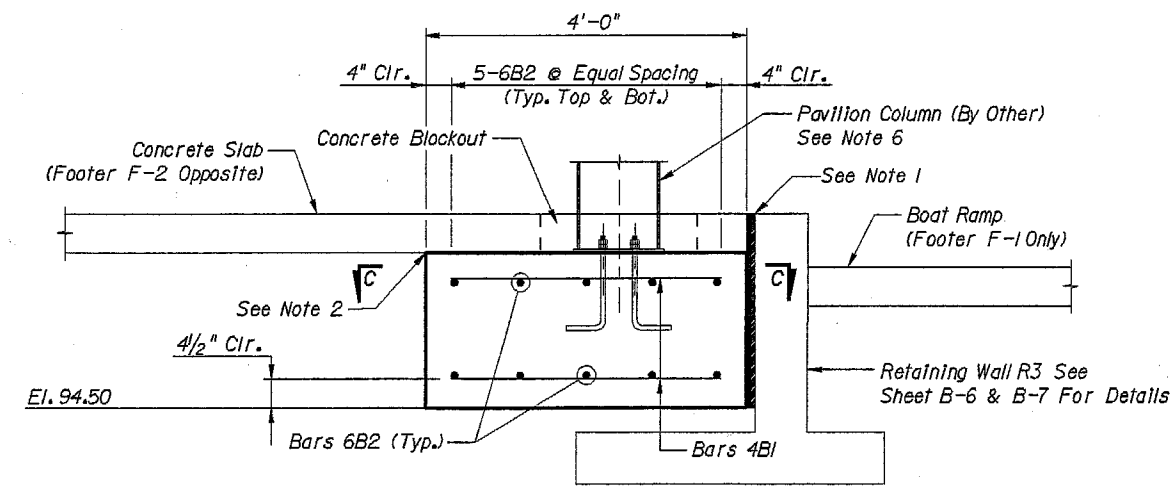
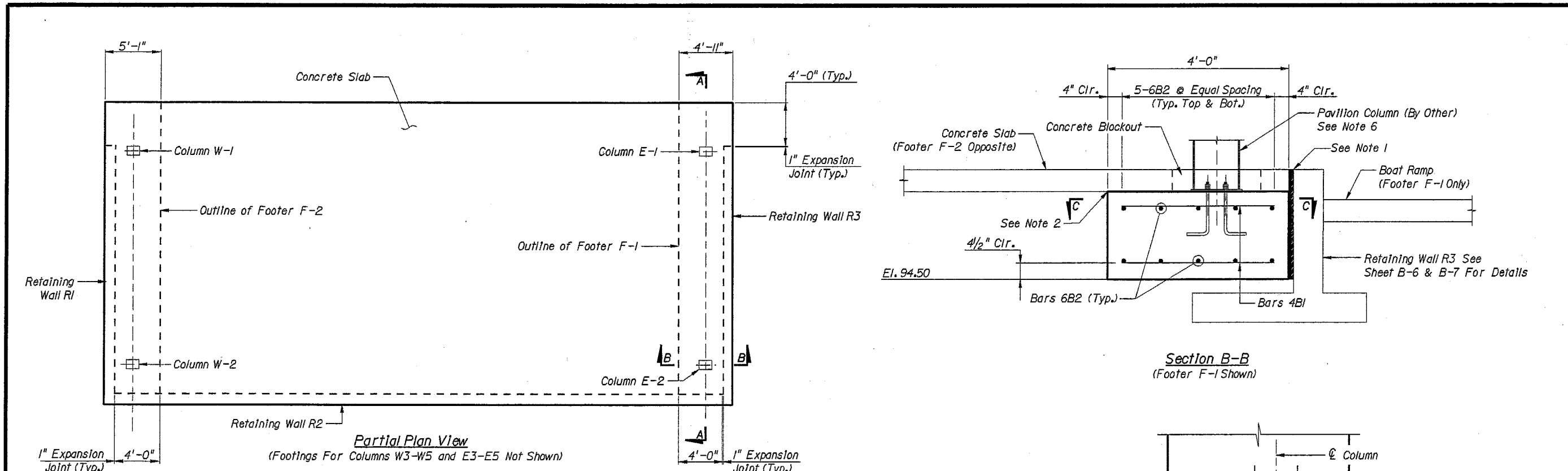
Section B-B - Construction Joint Details  
(Reinforcement Not Shown For Clarity)

- Travel Lift Notes:**
1. Use Class IV Concrete,  $f'c=5500\text{psi}$   
Reinforcing steel: ASTM A-615 Grade 60  $F_y=60\text{ksi}$
  2. Maintain 4" minimum clear concrete cover unless otherwise noted. Place  $3/4"$  chamfer at all corners.
  3. Construction joints shall be made in separate pours with a minimum of 72 hours between consecutive pours of adjacent components. All chamfers of construction joints shall be continuous around entire perimeter of structure with the exception of bottom of footer. All Chamfers shall be sealed with an ultra-low modulus waterproof silicone sealant to be approved by the Engineer of Record. See construction joint detail this sheet for dimensions and plan sheet for locations.
  4. Subgrade preparation beneath footer shall be carried out in accordance with the geotechnical report prepared by Professional Service Industries.
  5. See sheet B-10 for view B-B and bulkhead details.

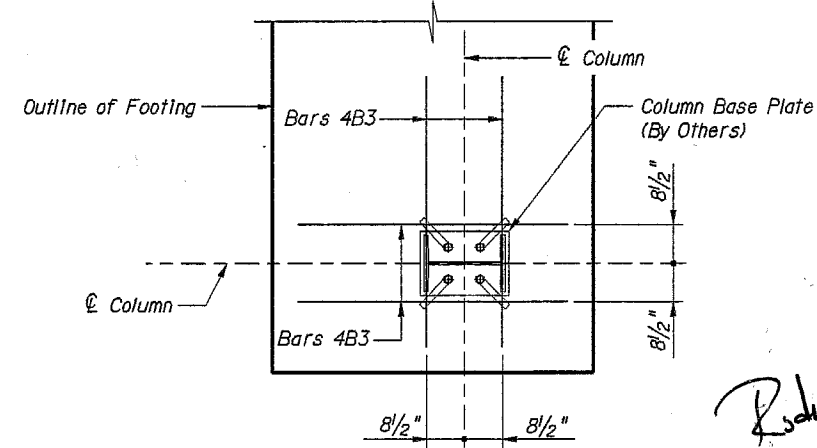


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REVISIONS			ENGINEER OF RECORD		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY			SHEET TITLE	
DATE	BY	DESCRIPTION	NAME	DATES	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME	
			R.G.C.	03/06	414	ORANGE		Travel Lift Walkway Details	
			G.C.N.	03/06				Regal Marine Test Facility	
			R.G.C.	03/06				SHEET NO.	
			G.C.N.	03/06				B-3	
			G. Craig, Noon, P.E.						

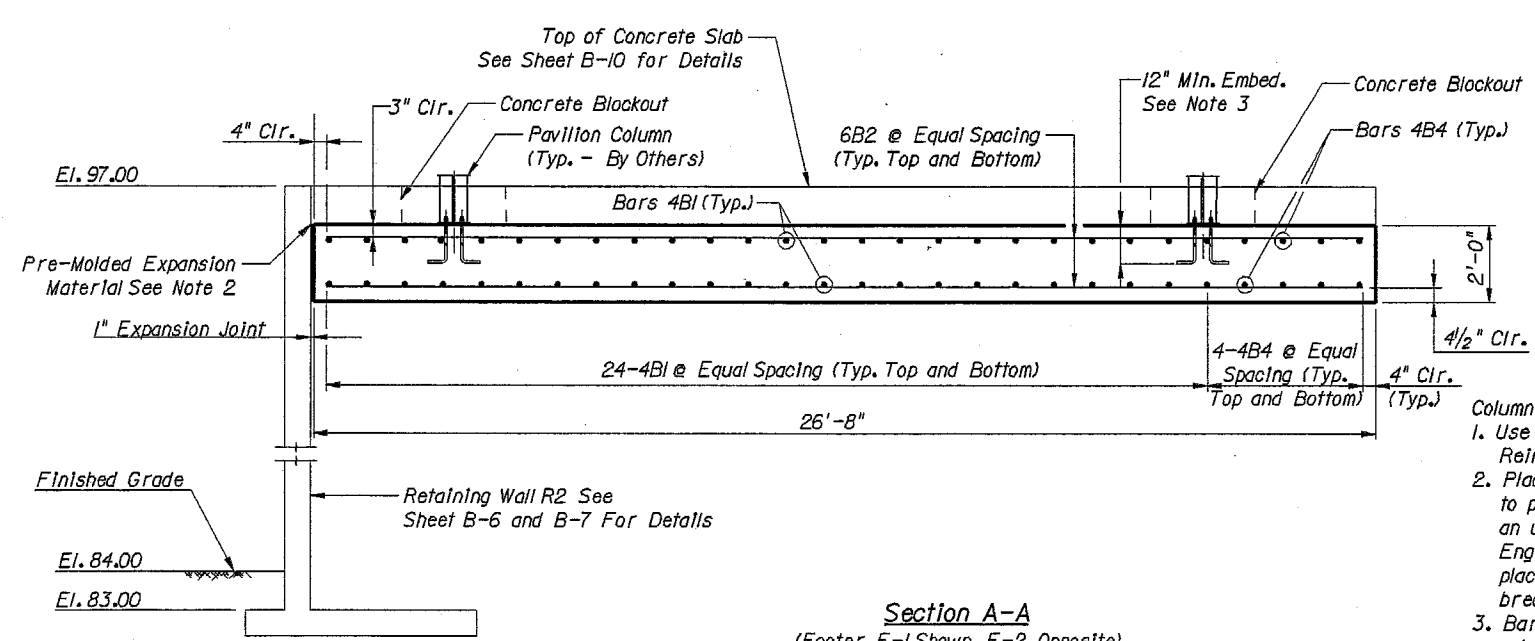


Section B-B  
(Footer F-1 Shown)



Section C-C  
(Footer Reinforcement Not Shown For Clarity)

*Reviewed*  
3/29/06



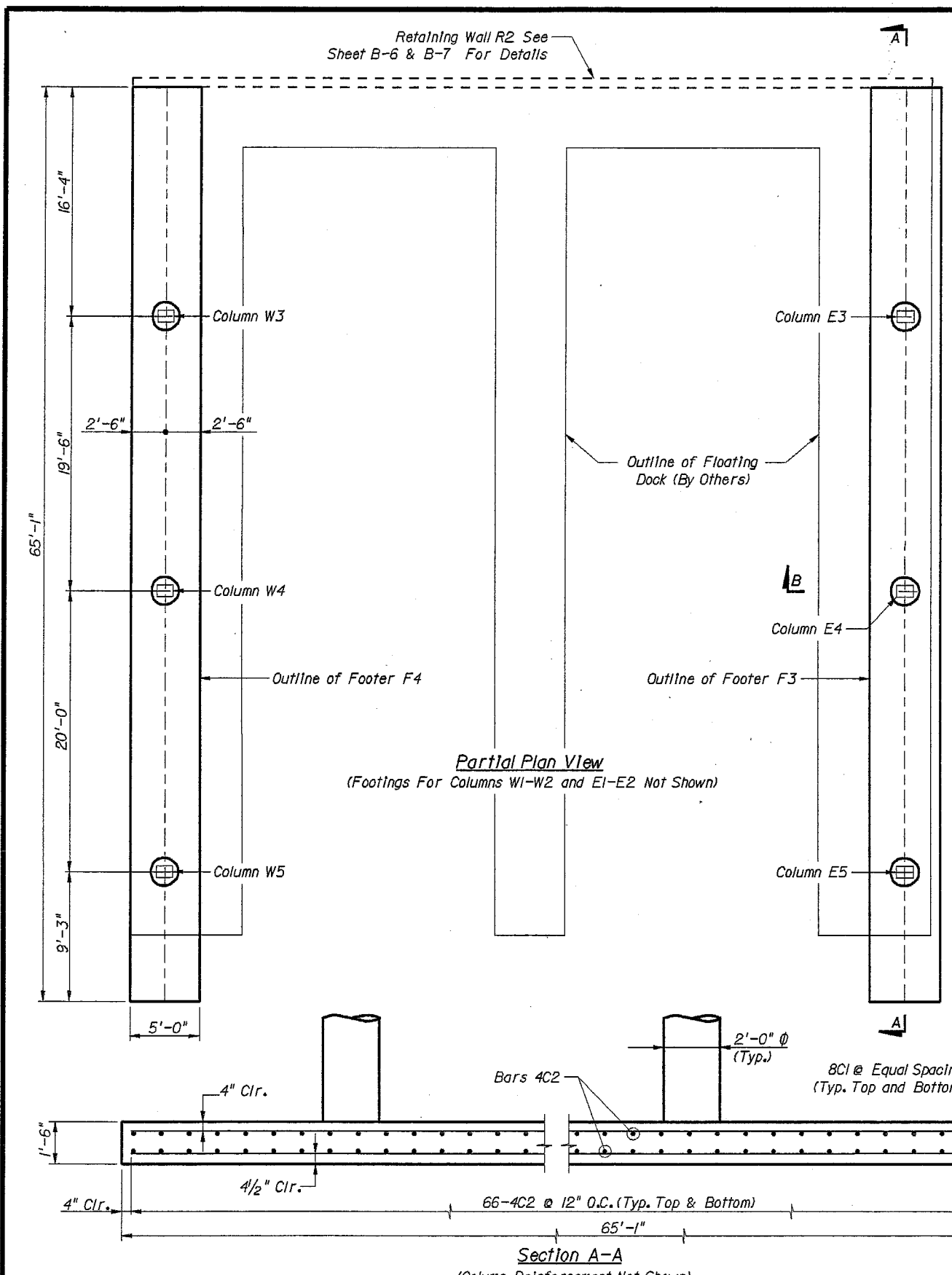
Section A-A  
(Footer F-1 Shown, F-2 Opposite)

- Column Footing Notes**
- Use Class IV Concrete,  $f'c=5500\text{psi}$   
Reinforcing steel: ASTM A-615 Grade 60  $F_y=60\text{ksi}$
  - Place pre-molded expansion material at all Concrete-Concrete interfaces to provide a 1" expansion joint. Seal exposed side of expansion joint with an ultra low modulus waterproof silicone sealant to be approved by the Engineer of Record. Where Concrete Slab rests on top of footer, place 2 layers of 30# roofing paper to provide permanent bond break.
  - Bars 4B3 are to be placed below top mat of steel and centered around column base plate bolt pattern to the extent that concrete cover requirements are met.
  - Anchor bolts shall be embedded to a minimum of 12" plus 2 1/2" projection above top of footing. Use 3/4"  $\phi$  A36 J-bolts with double nuts at each location. See pavilion plans (by others) for bolt spacing pattern. Bottom legs of J-bolts should be turned outward as shown in Section C-C.
  - Bars 4B4 are to replace Bars 4B1 in that portion of footer extending beyond retaining wall R1 and R3.
  - Footing locations and dimensions shall be field-verified prior to steel fabrication.
  - Subgrade preparation beneath footer shall be carried out in accordance with the geotechnical report prepared by Professional Service Industries.

Total Rebar Quantities for Both Footers F1 & F2		
Bar	Length	Quantity
4B1	3'-4"	108
6B2	26'-0"	20
4B3	3'-4"	16
4B4	4'-3"	16

REVISIONS				NAMES		DATES		ENGINEER OF RECORD		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY		SHEET TITLE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME	SHEET NO.	
								414	ORANGE		Regal Marine Test Facility	B-4	

**BOWYER-SINGLETON & ASSOCIATES, INCORPORATED**  
509 S. MAROLLA AVENUE - ORLANDO, FLORIDA 32801  
FIRM CERTIFICATE OF AUTHORIZATION NO. 1221  
ENGINEER OF RECORD - ROONEY G. CHAMBERS, P.E., NO. 15399D

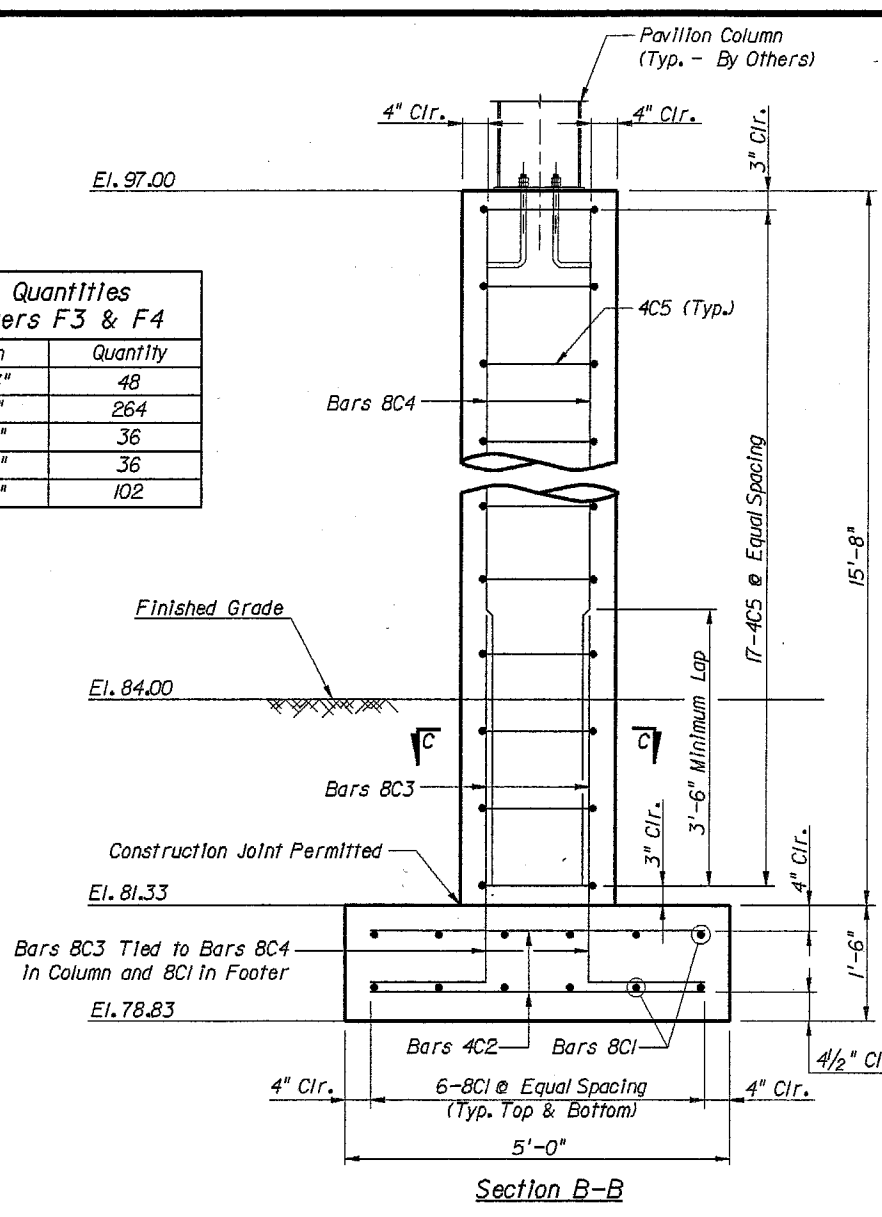


Retaining Wall R2 See Sheet B-6 & B-7 For Details

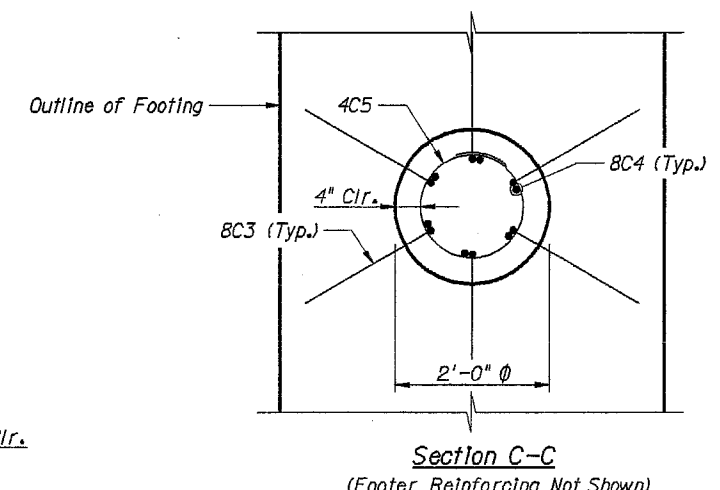
Partial Plan View  
(Footings For Columns W1-W2 and E1-E2 Not Shown)

**Total Rebar Quantities for Both Footers F3 & F4**

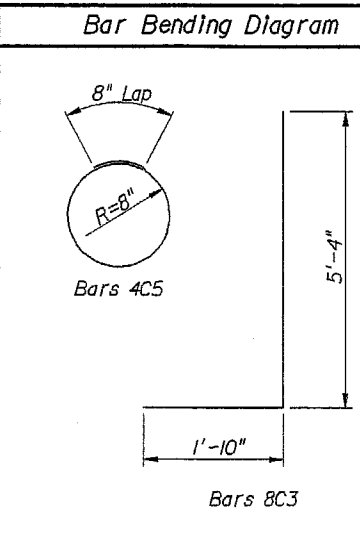
Bar	Length	Quantity
8C1	36'-3"	48
4C2	4'-4"	264
8C3	6'-10"	36
8C4	15'-2"	36
4C5	4'-10"	102



Section B-B

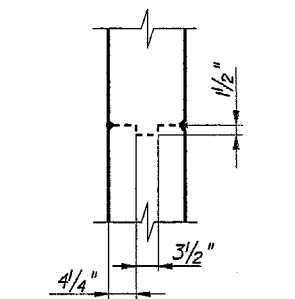


Section C-C  
(Footer Reinforcing Not Shown)

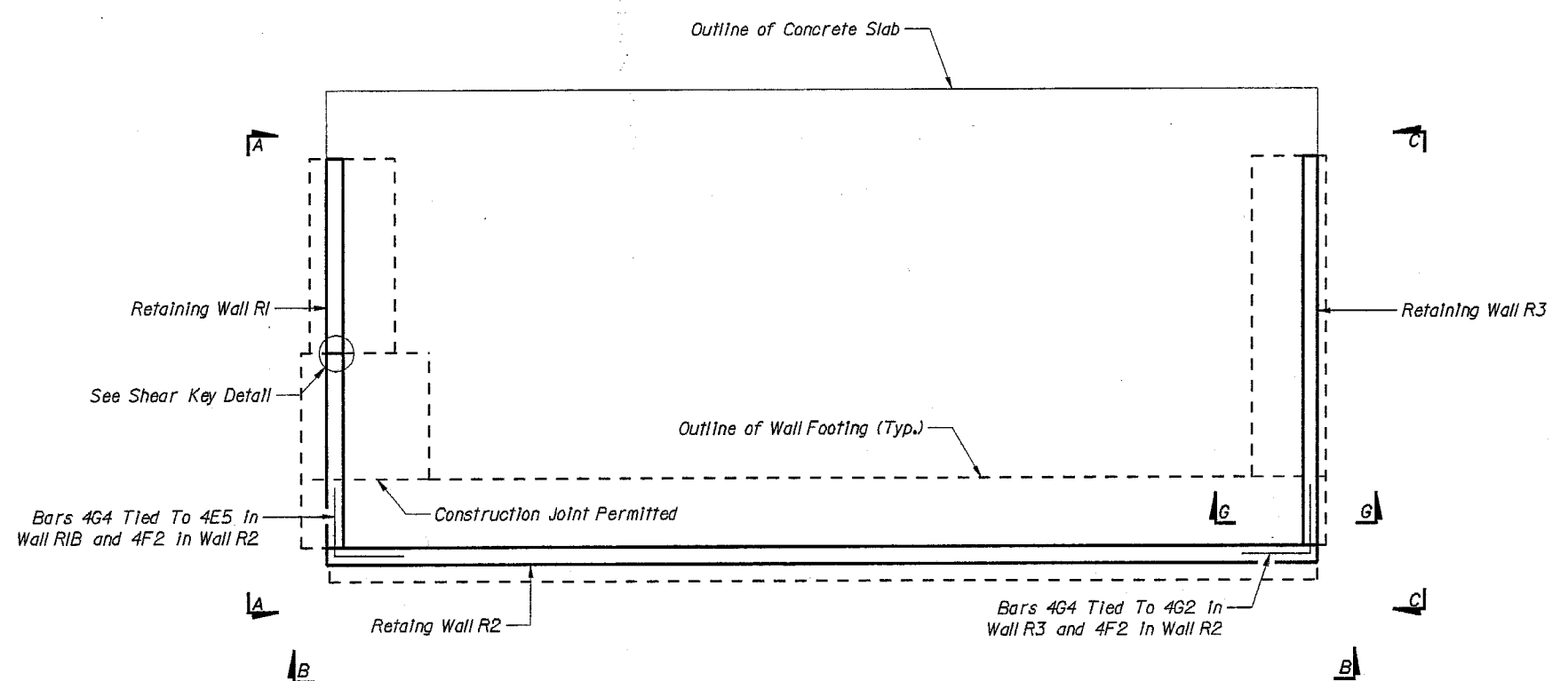


*Rodney G. Chamberlain*  
3/29/06

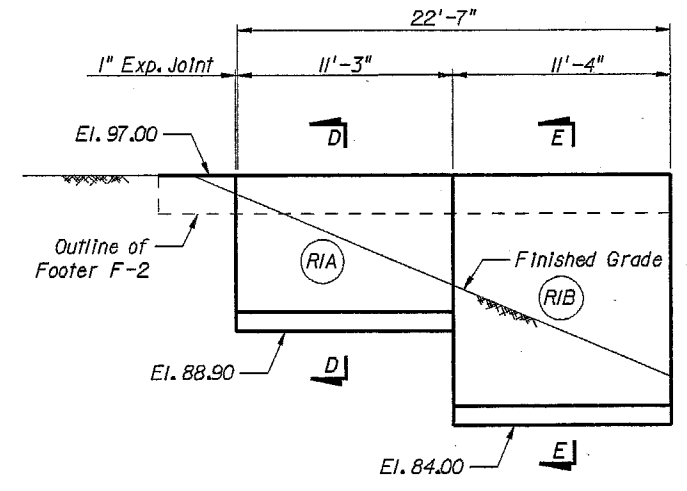
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	DESCRIPTION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME:
								414	ORANGE		Regal Marine Test Facility
				DRAWN BY: R.G.C.		03/06		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY		SHEET NO. B-5	
				CHECKED BY: G.C.N.		03/06		BOWYER-SINGLETON & ASSOCIATES, INCORPORATED			
				DESIGNED BY: R.G.C.		03/06		520 S. MAHON (A) AVENUE - ORLANDO, FLORIDA 32801			
				CHECKED BY: G.C.N.		03/06		F.P.R. CERTIFICATE OF AUTHORIZATION NO. 1221			
				APPROVED BY: G. Craig Noon, P.E.				ENGINEER OF RECORD: RODNEY G. CHAMBERLAIN P.E., NO. 45390			



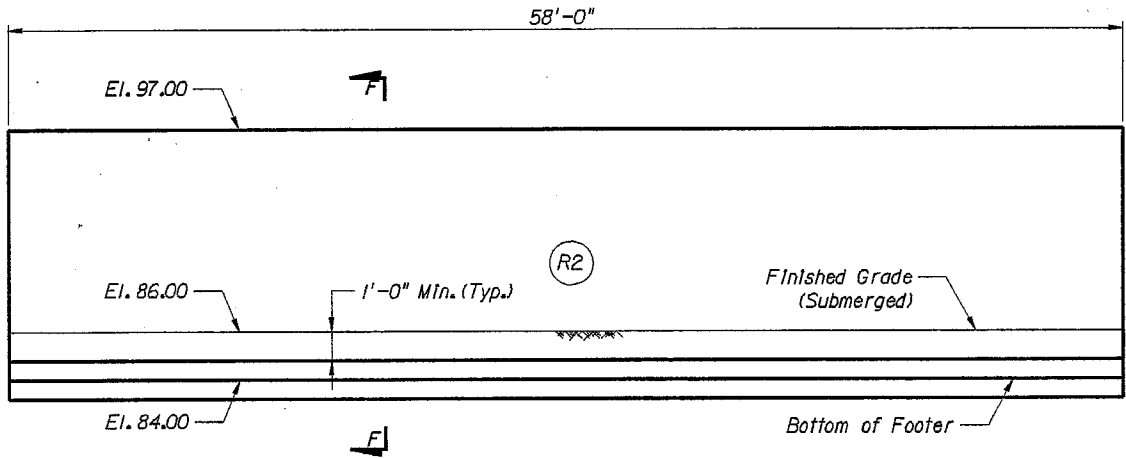
**Shear Key Detail**  
(Construction Joint Similar)



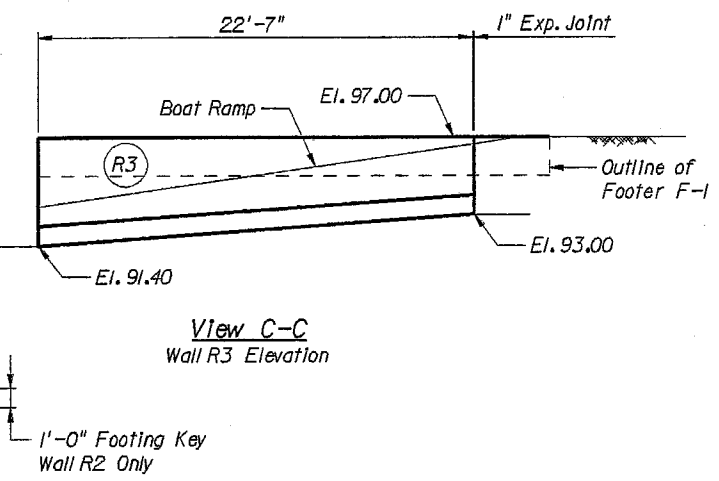
**Partial Plan View**



**View A-A**  
(Wall R1 Elevation)



**View B-B**  
(Wall R2 Elevation)

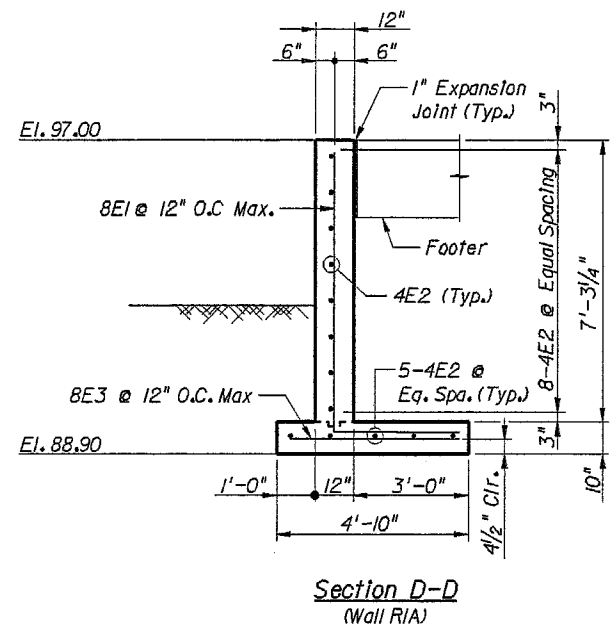


**View C-C**  
(Wall R3 Elevation)

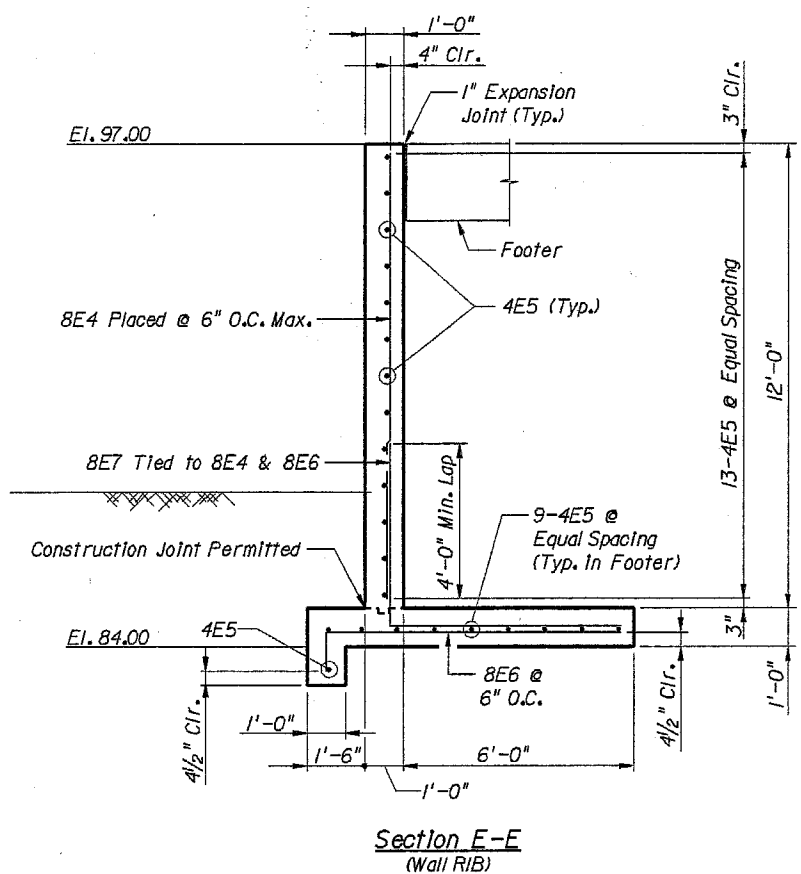
- Wall Notes:**
1. Use Class IV Concrete,  $f'c=5500psi$   
Reinforcing steel: ASTM A-615 Grade 60  $F_y=60ksi$
  2. For reinforcement details and Sections D-D, E-E, F-F and G-G, see sheet B-7 and B-9.
  3. Minimum lap for #8 bars is 4'-0"; minimum lap for #4 bars is 2'-0".
  4. Maintain 4" minimum clear concrete cover at all locations unless otherwise noted.  
Place  $\frac{3}{4}$ " Chamfer at all exposed edges.
  5. Footing rebar at intersections of walls R1B & R2 and walls R3 & R2 should be placed so that minimum concrete cover is maintained at all locations.
  6. Notch footing of wall R4 where required to accommodate Column Footing F3.  
Field bend and cut bars as required to maintain minimum cover requirements.
  7. Place 6" curb on top of walls R4 and R5. See sheet B-10 for curb details.
  8. Subgrade preparation beneath footers shall be carried out in accordance with the geotechnical report prepared by Professional Service Industries.

*Robert J. ...*  
3/20/06

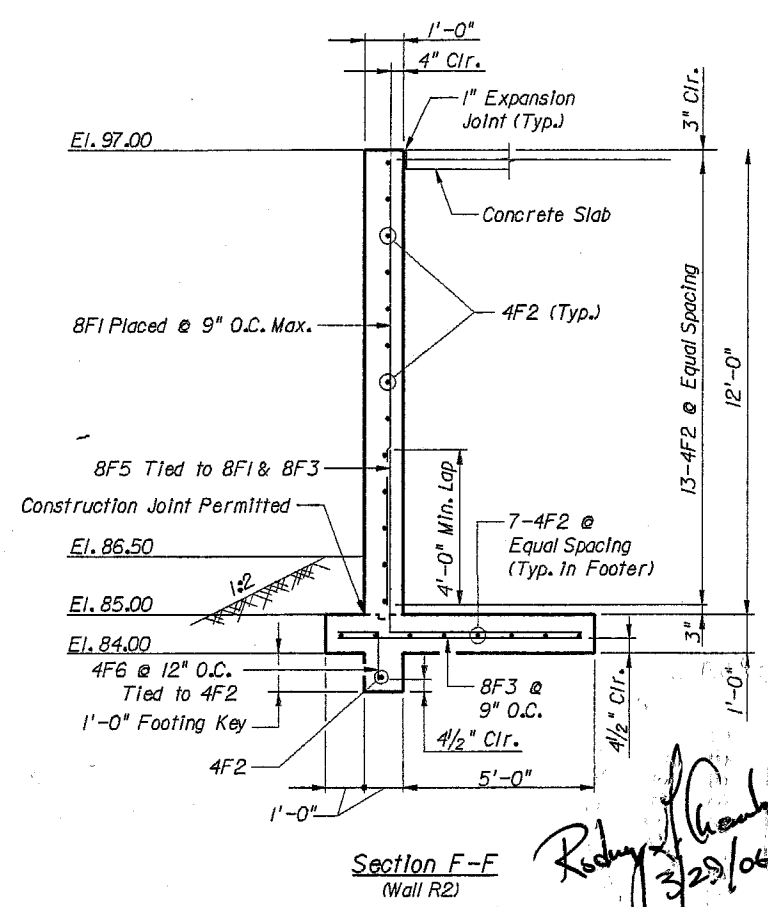
REVISIONS				NAMES		DATES		ENGINEER OF RECORD			SHEET TITLE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	DESCRIPTION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME	SHEET NO.
								414	ORANGE		Regal Marine Test Facility	B-6
				DRAWN BY		R.G.C. 03/06		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY			Retaining Walls R1 Thru R3 Sheet 1 of 2	
				CHECKED BY		G.C.N. 03/06		BOWYER-SINGLETON & ASSOCIATES, INCORPORATED				
				DESIGNED BY		R.G.C. 03/06		510 S. WINDY LAKE BLVD. - ORLANDO, FLORIDA 32801				
				CHECKED BY		G.C.N. 03/06		FLORIDA CERTIFICATE OF AUTHORIZATION NO. 1221				
				APPROVED BY		G. Craig Noon, P.E.		ENGINEER OF RECORD - ROBERT C. CHAMBERLAIN P.E. NO. 61950				



Section D-D  
(Wall R1A)

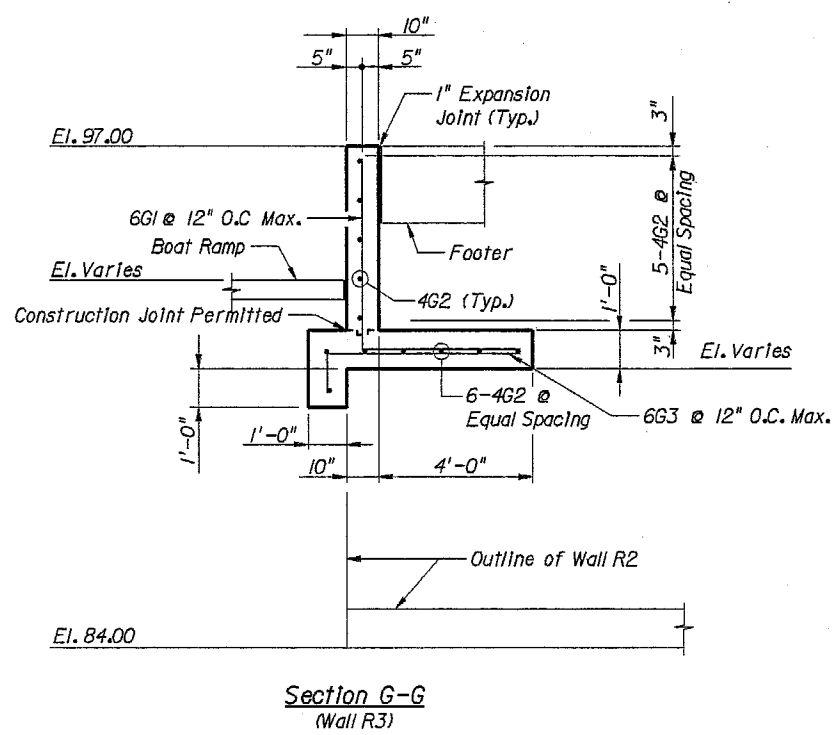


Section E-E  
(Wall R1B)



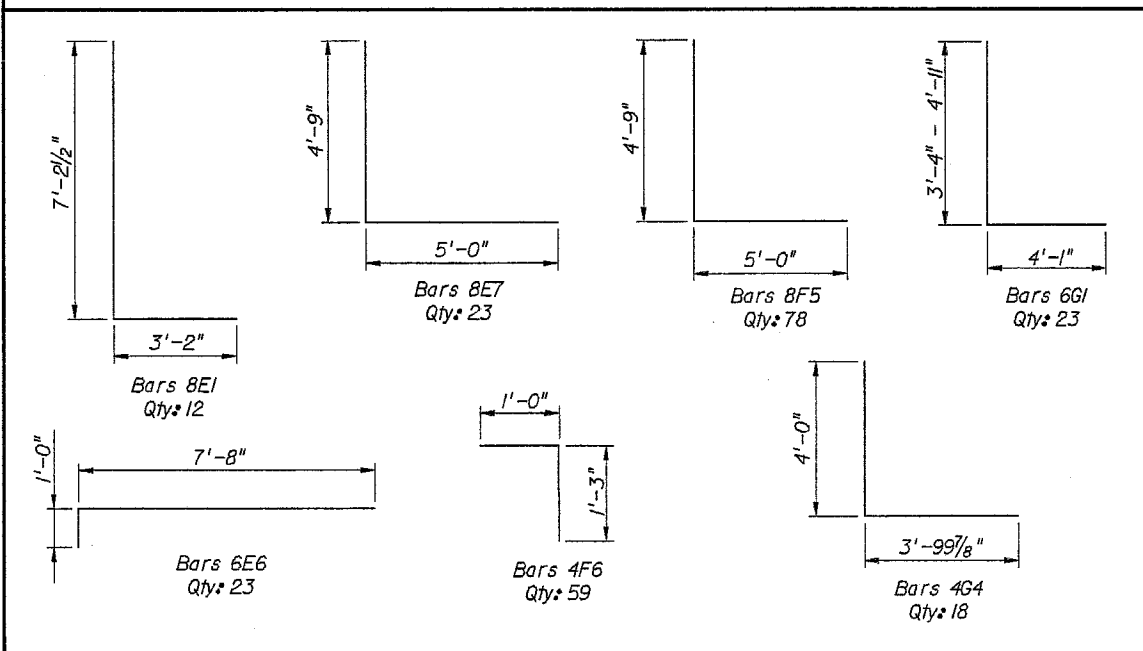
Section F-F  
(Wall R2)

*Robyn J. Campbell*  
3/29/06



Section G-G  
(Wall R3)

Bar Bending Diagram - Retaining Walls R1 Thru R3

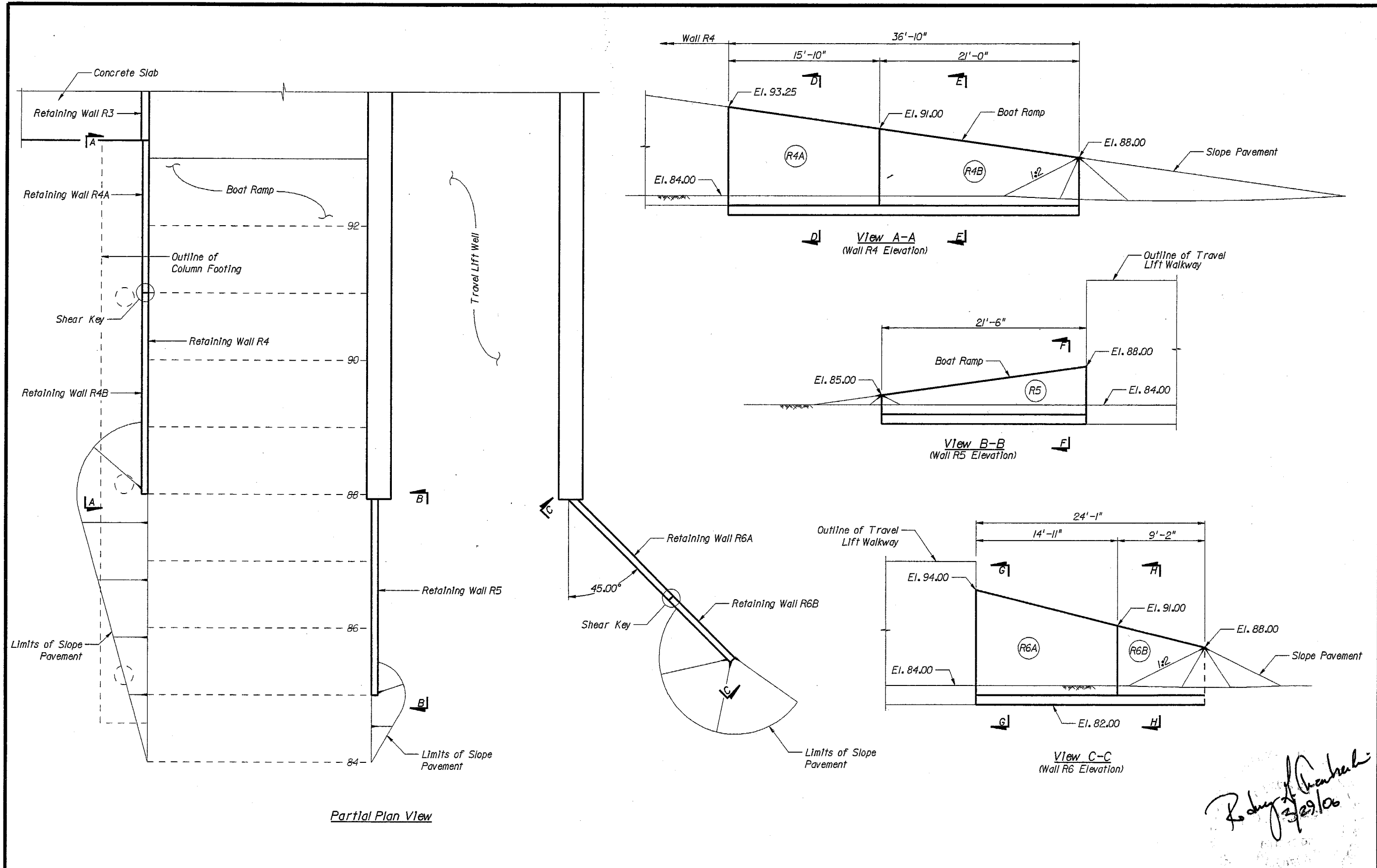


Straight Bar Quantities For Walls R1 Thru R3		
Bar	Length	Quantity
4E2	10'-7"	13
8E3	4'-2"	12
8E4	11'-6"	23
4E5	10'-8"	23
8F1	11'-6"	78
4F2	30'-8"	42
8F3	6'-4"	78
4G2	21'-11"	11

3/29/2006

REVISIONS				NAMES		DATES		ENGINEER OF RECORD		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY		SHEET TITLE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME	SHEET NO.
									414	ORANGE		Regal Marine Test Facility	B-7

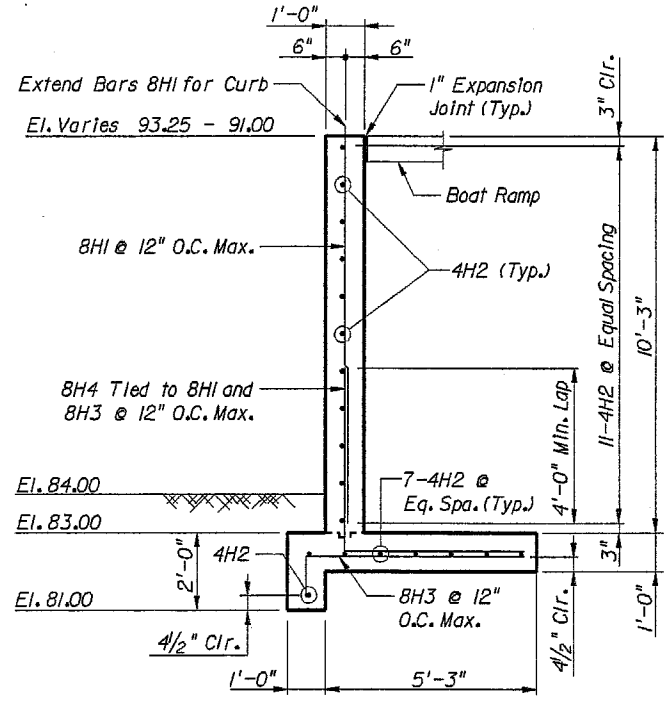
**BOWYER SINGLETON & ASSOCIATES, INCORPORATED**  
520 S. MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
FPPR CERTIFICATE OF AUTHORIZATION NO. 1221  
ENGINEER OF RECORD: ROONEY G. CHAMBERLAIN P.E. NO. 15399



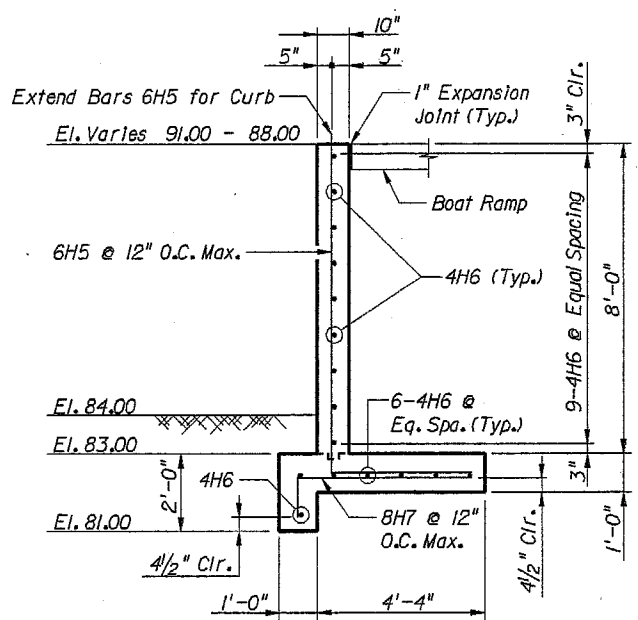
*Robert J. ...*  
3/29/06

REVISIONS				NAMES		DATES		ENGINEER OF RECORD		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY		SHEET TITLE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME	SHEET NO.	
								414	ORANGE		Regal Marine Test Facility	B-8	
				DRAWN BY	R.G.C.	03/06	<b>BOWYER SINGLETON &amp; ASSOCIATES, INCORPORATED</b> 520 S. MARNOLA AVENUE - ORLANDO, FLORIDA 32801 F.P.P. CERTIFICATE OF AUTHORIZATION NO. 1221 ENGINEER OF RECORD - ROSEY G. CHAMBERLAIN P.E. NO. 53390				Retaining Walls R4 Thru R6 Sheet 1 of 2		
				CHECKED BY	G.C.N.	03/06							
				DESIGNED BY	R.G.C.	03/06							
				CHECKED BY	G.C.N.	03/06							
				APPROVED BY	G. Craig Noon, P.E.								

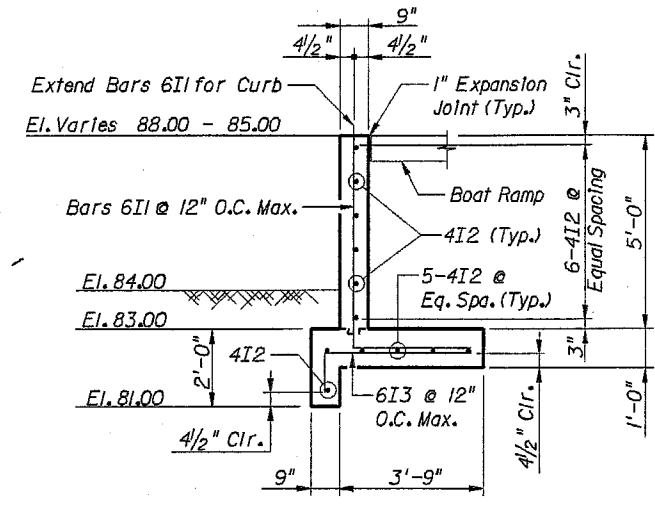




Section D-D  
(Wall R4A)

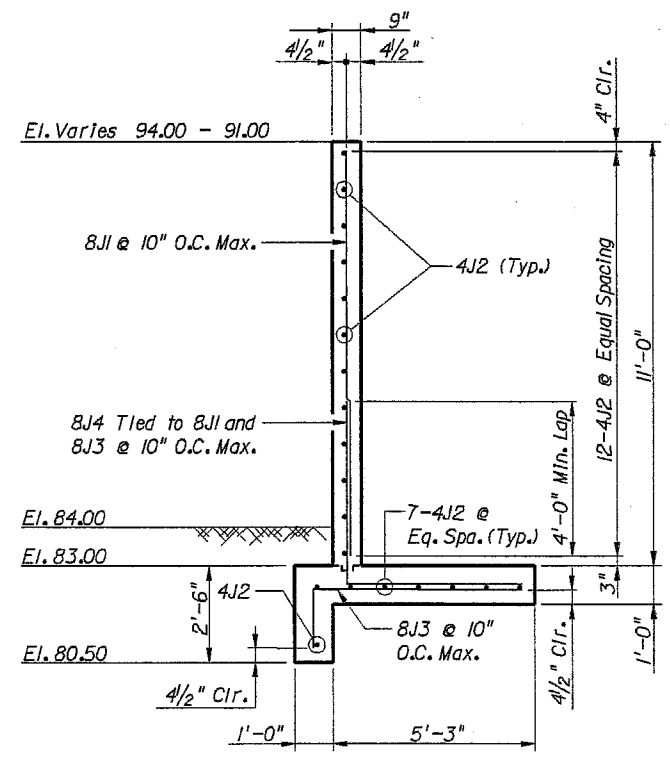


Section E-E  
(Wall R4B)

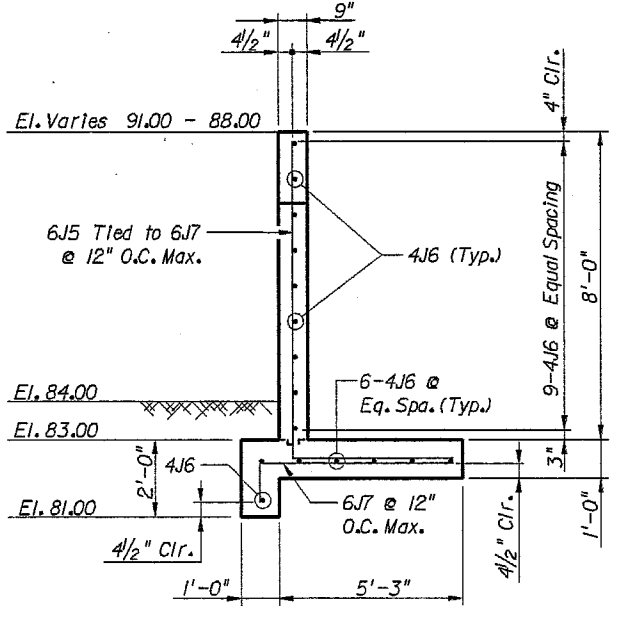


Section F-F  
(Wall R5)

*Rodriguez*  
3/29/06

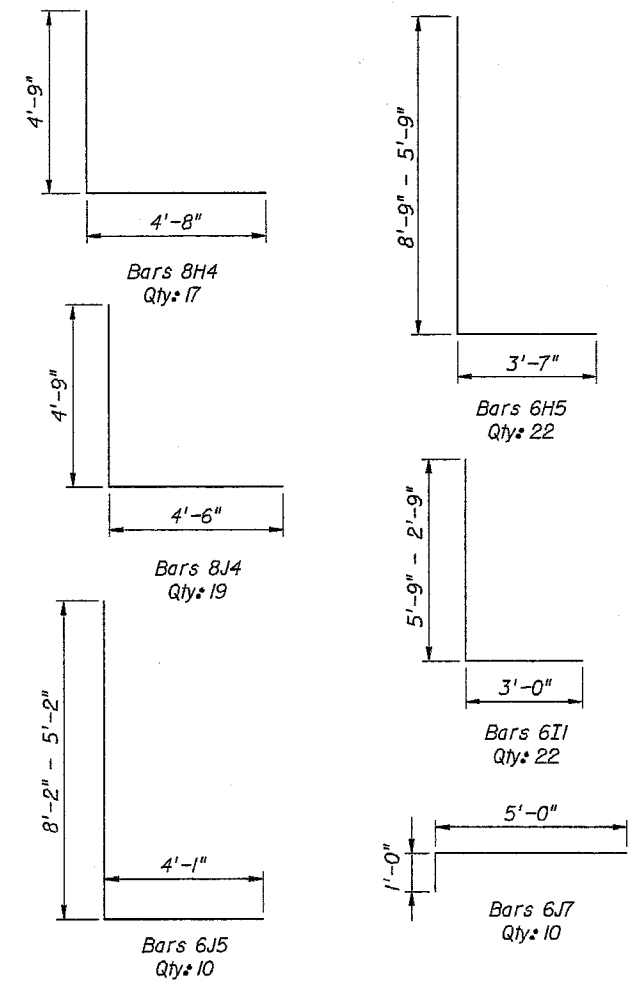


Section G-G  
(Wall R6A)

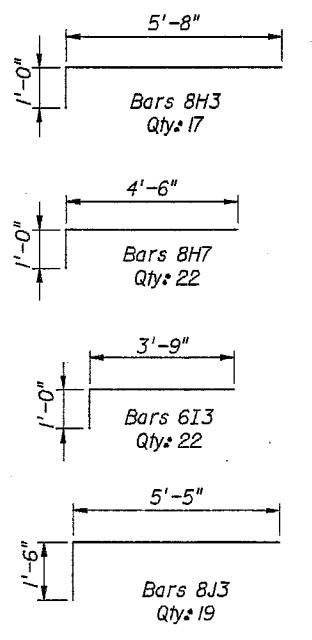


Section H-H  
(Wall R6B)

Bar Bending Diagram - Retaining Walls R4 Thru R6



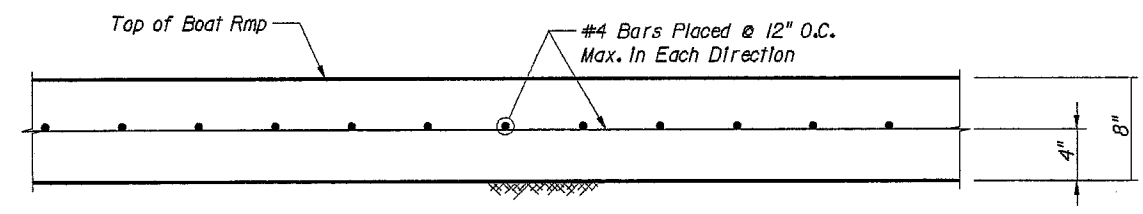
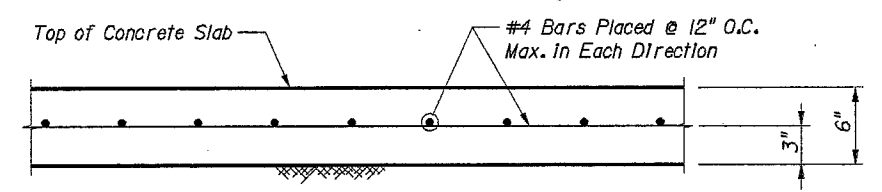
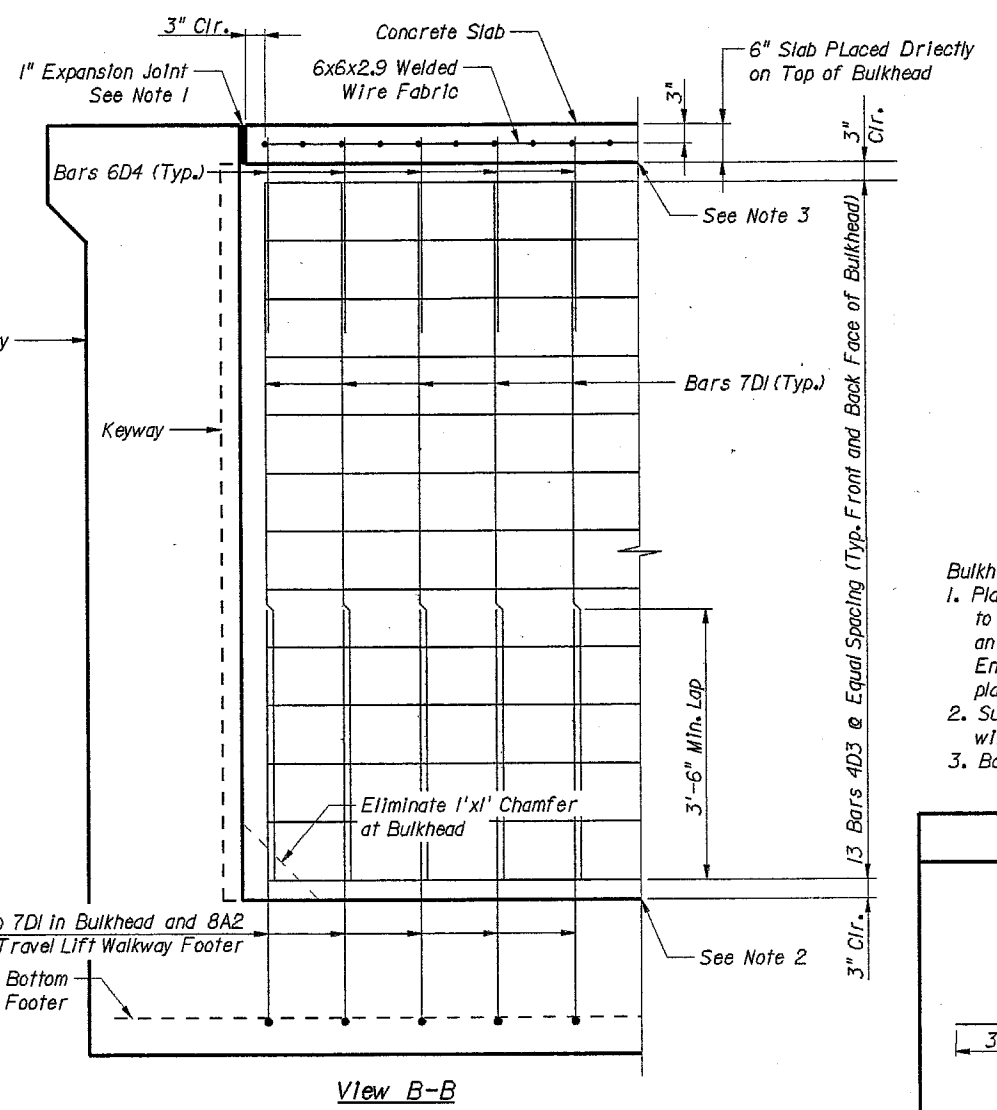
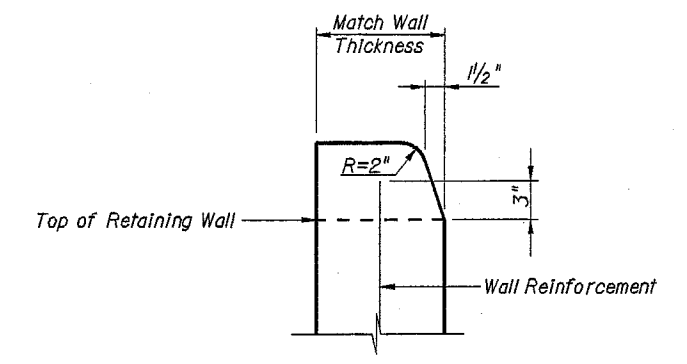
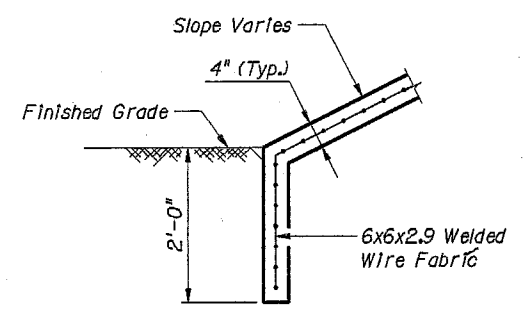
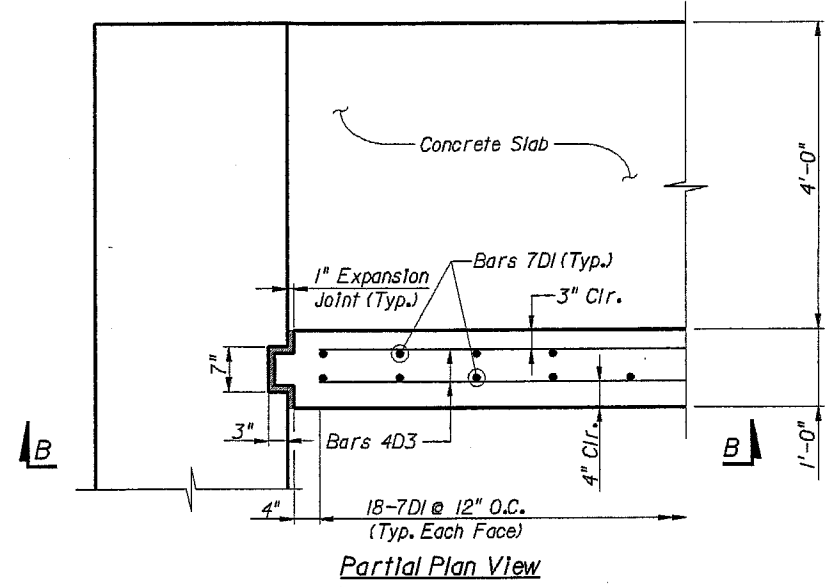
Straight Bar Quantities For Walls R4 Thru R6		
Bar	Length	Quantity
8H1	10'-3" - 8'-0"	17
8H2	15'-3"	19
4H6	20'-5"	16
4I2	20'-10"	12
8J1	10'-4" - 7'-4"	19
4J2	14'-4"	20
4J6	8'-7"	16



02584  
3/29/2006

REVISIONS				NAMES		DATES		ENGINEER OF RECORD:		ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY		SHEET TITLE:	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	DESCRIPTION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID	PROJECT NAME:	SHEET NO.	
						03/06		414	ORANGE		Regal Marine Test Facility	B-9	

**BOWYER SINGLETON & ASSOCIATES, INCORPORATED**  
530 S. MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
FBRP CERTIFICATE OF AUTHORIZATION NO. 1221  
ENGINEER OF RECORD - ROBERT G. CHAMBERLAIN P.E. NO. 43390

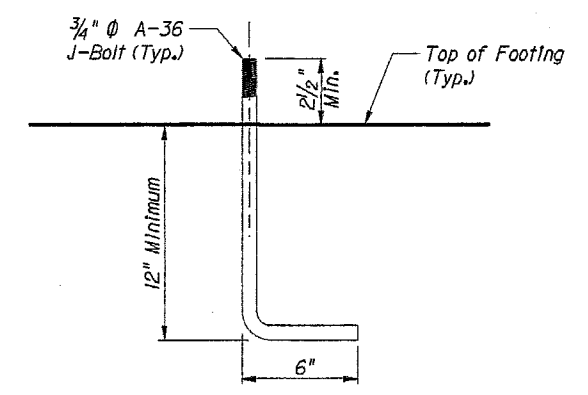


- Bulkhead Notes:**
- Place pre-molded expansion material at all keyway interfaces to provide a 1" expansion joint. Seal exposed side of expansion joint with an ultra low modulus waterproof silicone sealant to be approved by the Engineer of Record. Where Concrete Slab rests on top of bulkhead, place 2 layers of 30# roofing paper to provide permanent bond break.
  - Subgrade preparation beneath slab and boat ramp shall be carried out in accordance with the geotechnical report prepared by Professional Service Industries.
  - Bars 6D4 shall be extended into slab a minimum of 3in.

**Bar Bending Diagram and Quantities**

Bar	Length	Quantity
7DI	12'-6"	36
4D3	17'-2"	26
6D4	3'-4"	36

Bars 7D2 Qty: 36  
 3'-0" x 4'-0"



*Review of 3/29/06*

3/29/2006 10:55:48 ac:\land Development\jos 0716 Structure\Misc\Detail.dgn

REVISIONS				NAMES		DATES		ENGINEER OF RECORD			SHEET TITLE	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	DESCRIPTION	ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY			Miscellaneous Details	
								ROAD NO. COUNTY FINANCIAL PROJECT ID			PROJECT NAME	
								414 ORANGE			Regal Marine Test Facility	
				DRAWN BY R.G.C.		03/06		ENGINEER OF RECORD: <b>BOWYER SINGLETON &amp; ASSOCIATES, INCORPORATED</b>			SHEET NO.	
				CHECKED BY G.C.N.		03/06		520 S. MANGLIA AVENUE - ORLANDO, FLORIDA 32801			B-10	
				DESIGNED BY R.G.C.		03/06		PSP CERTIFICATE OF AUTHORIZATION NO. 1271				
				CHECKED BY G.C.N.		03/06		ENGINEER OF RECORD: ROONEY C. CHAMBERLAIN P.E. NO. 45390				
				APPROVED BY G. Craig Noon, P.E.								

**MEMORANDUM**

**TO:** Planning and Zoning Board

**DATE:** May 23, 2023

**RE:** Variance Application – 5700 Cove Drive

Public Hearing #2023-04-006

PURSUANT TO BELLE ISLE CODE SEC. 42-64 AND 30-133 (e) (3), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO PARK A VEHICLE IN THE FRONT YARD WITHIN THREE FEET FROM A SIDE LOT LINE, SUBMITTED BY APPLICANT WILLIAM NASH SHOOK, LOCATED AT 5700 COVE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-1660-00-010.

**Background:**

1. On April 4, 2023, the applicants, William Nash Shook and Cherie R. Shook, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, May 13, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on May 10, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

**SAMPLE MOTION TO APPROVE:**

"I move, pursuant to Belle Isle 42-64 AND 30-133 (e) (3), TO APPROVE A REQUESTED VARIANCE TO PARK A VEHICLE IN THE FRONT YARD WITHIN THREE FEET FROM A SIDE LOT LINE, SUBMITTED BY APPLICANT WILLIAM NASH SHOOK, LOCATED AT 5700 COVE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-1660-00-010.

**SAMPLE MOTION TO DENY:**

"I move, pursuant Belle Isle 42-64 AND 30-133 (e) (3), the justifying criteria of the Belle Isle Land Development Code, having NOT been met; *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] TO DENY APPROVAL OF* TO PARK A VEHICLE IN THE FRONT YARD WITHIN THREE FEET FROM A SIDE LOT LINE, SUBMITTED BY APPLICANT WILLIAM NASH SHOOK, LOCATED AT 5700 COVE DRIVE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-1660-00-010.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

**SUBSECTION (D)**, a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

**SUBSECTION (E)**, personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

**SUBSECTION (F)**, the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

**SUBSECTION (G)**, the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

**APPLICATION FOR VARIANCE / SPECIAL EXCEPTION**

DATE: April 4, 2023 P&Z CASE #: 2023-04-006  
 VARIANCE  SPECIAL EXCEPTION  OTHER DATE OF HEARING: May 23, 2023

Applicant <u>William NASH SHOOK</u>	Owner <u>William N. &amp; Cherie R. Shook</u>
ADDRESS <u>5700 Cove Drive, Belle Isle</u>	<u>same</u>
PHONE: <u>407.497.8767</u>	
PARCEL TAX ID #: <u>20-23-30-1660-00-010</u>	

LAND USE CLASSIFICATION: RESIDENTIAL ZONING DISTRICT: \_\_\_\_\_

DETAILED VARIANCE REQUEST: RESURFACE ENTIRE EXISTING DRIVEWAY AND EXTEND DRIVEWAY TO NEWLY BUILT GARAGE USING PAVERS; ATTACHING TO EXTEND TO WITHIN 3-5" OF PROPERTY LINE ON NORTH SIDE (THIS IS THE VARIANCE REQUESTED)

SECTION OF CODE VARIANCE REQUESTED ON: SEC 30-133(E)

- The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within a period of nine (9) months prior to the filing of the application. Further that the requested use does not violate any deed restriction of the property.
- By submitting the application, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property, during reasonable hours, to inspect the area of my property to which the application applies.
- Applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) photograph of the front of the property and at least two photographs (from different angles) of the specific area of the property to which the application applies.
- **Sec. 42-64. - Variances.** The board shall have the power to approve, conditionally approve or deny applications for variance from the terms of the Land Development Code.
  - o Criteria. The board shall not approve an application for a variance from terms of the Land Development Code unless and until:
    - a. A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d-g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.
    - b. Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
    - c. The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing, or the applicant's attorney shall appear before the board.
    - d. It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
    - e. It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land Development Code or for the purpose of obtaining a variance.
    - f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
    - g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.

City of Belle Isle

1600 Nela Avenue, Belle Isle, Florida 32809 \* Tel 407-851-7730 \* Fax 407-240-2222

APPLICATION FOR VARIANCE / SPECIAL EXCEPTION

DATE: April 4, 2023 P&Z CASE #: 2023-04-006

[X] VARIANCE [ ] SPECIAL EXCEPTION [ ] OTHER DATE OF HEARING: May 23, 2023

Table with 2 columns: Applicant/Owner, Address, Phone, Parcel Tax ID #. Applicant: William NASH SHOOK, Owner: William N. & Cherie R. SHOOK, Address: 5700 COVE DRIVE, BELLE ISLE, Phone: 407.497.8767, Parcel Tax ID #: 20-23-30-1660-00-010

LAND USE CLASSIFICATION: RESIDENTIAL ZONING DISTRICT:

DETAILED VARIANCE REQUEST: RESURFACE ENTIRE EXISTING DRIVEWAY AND EXTEND DRIVEWAY TO NEWLY BUILT GARAGE USING PAVERS; ATTACHING TO EXTEND TO WITHIN 3-5" OF PROPERTY LINE ON NORTH SIDE (THIS IS THE VARIANCE REQUESTED)

SECTION OF CODE VARIANCE REQUESTED ON: SEC 30-133(E)

- The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board... By submitting the application, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property... Applicant shall provide a minimum of ten (10) sets of three (3) photographs...

Bank of America check for \$300.00. Pay to the order of City of Belle Isle. Rept # 730509, Date April 5, 2023. MICR line: ⑆063100277⑆ 229023115685⑈ 2623

...ast one (1) property to which the ... ice from the terms of ... d until: rided by the city and addressing the properly completed he board. ... d by a signed ... rdship and that said uding but not ... will continue to ircumstances were


- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure. g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



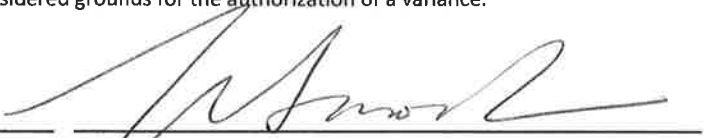
The board shall find that the preceding requirements have been met by the applicant for a variance.

(2) *Violations of conditions.*

- a. In granting any variance, the board may prescribe appropriate conditions and safeguards to ensure compliance with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this Land Development Code and punishable in accordance with this article. At the discretion of the board, such variance may be revoked for violation of the condition and/or safeguards.
- b. The board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed or both. Under no circumstances, except as permitted above, shall the board grant a variance to permit a use not generally or by special exception permitted in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures or buildings in the same zoning district, and no permitted use of land, structures or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.



\_\_\_\_\_  
 APPLICANT'S SIGNATURE



\_\_\_\_\_  
 OWNER'S SIGNATURE

**FOR OFFICE USE ONLY:**

**FEE: \$300.00**

\_\_\_\_\_  
Date Paid

\_\_\_\_\_  
Check/Cash

\_\_\_\_\_  
Rec'd By

Determination \_\_\_\_\_

Appealed to City Council:  Yes  No

Council Action: \_\_\_\_\_

Property: 5700 Cove Drive  
Applicants: William Nash & Cherie R. Shook  
Driveway: Variance Request – Application Supplement

1. Circumstances
    - a. When we purchased this property in May 2005, our driveway was covered in asphalt and concrete along the north property line
    - b. In length, the paved area it was approximately 160 feet in length and between 4' - 7' in width over the property line (extending into the Crittenden's property)
    - c. Concerned with the existing variance, I approached Mr. Crittenden (then) and offered to purchase the 'overage' (for many years) but he always declined indicating it was okay for me to use, they did not have a need to use that land
    - d. The length of our northern property line is 236.7' long
      - i. There is 154' (65%) that is covered as follows:
      - ii. 88' of its length is 4" thick concrete
      - iii. 64' of its length is asphalt
    - e. So current driveway is a mix of aged concrete and asphalt that has been cracked, broken and damaged from years of disrepair.
    - f. Traffic from construction of new garage over last six months has accelerated its deterioration
    - g. Demolition of older garage and a large portion of the concrete driveway that connected to it were removed so a third of my driveway is now exposed dirt/mud
    - h. My new garage (which is nearly complete) is inaccessible for use due to above conditions
    - i. Also awaiting remaining punch list items to completed to obtain Certificate of Occupancy
    - j. Currently, the mix and age of surfaces do not add value to my property, it reduces the value;
    - k. We've contracted with GoPro Brick Pavers to resurface our driveway to approximately 177' in length, replacing old asphalt and old concrete
    - l. Right of Way Improvement: additionally, I am seeking to improve a 24' x 10' area belonging to the COBI
      - i. I am also seeking relief from the 3 foot setback requirement in the ROW area so that the driveway width is consistent with what I currently have and will match remaining driveway widths being requested
-

- 2. How the Variance Request Complies with the following:
  - a. How enforcement (requiring a 3 foot setback) would result in hardship
    - i. Narrows the current driveway path –
      - 1. if applied, there is a 15’ length alongside my house where my driveway would then be less than 6 feet wide
      - 2. This isn’t wide enough for most vehicles to drive on
      - 3. For ease of use, most standard widths of single car driveways are from 10’ to 12’ wide
      - 4. My full size truck is 7’ wide, my trailer 9.5’ wide, my pontoon 9’ wide
    - ii. Creates difficulty driving on due to width restriction – alongside of house is most troubling
      - 1. Requiring the set back would require part of my vehicles to drive off of the paver driveway, likely deteriorating its structure over repeated use
      - 2. It also increases the risk of my house or my neighbor’s fence being struck accidentally
    - iii. Visually unpleasing –
      - 1. having a 3 foot gap makes the driveway look incomplete
      - 2. It would also reduce property value
  - b. Special conditions not created to obtain variance
    - i. Character of the neighborhood – would be more impacted if 3 foot setback is enforced since driveway would look unfinished due to the narrowness the setback creates
    - ii. Lakefront homeowners usually have trailers and trucks and need places to park them. These accessories are wider than cars so having an adequate driveway width ensures proper resale value to future property owners
    - iii. If I’m allowed to connect my new driveway up to property line (or short of it), it makes the driveway look ‘finished’ and professionally done
  - c. Variance request demonstrates the minimum variance needed for reasonable use
    - i. As stated earlier, I want to connect my new paver driveway to existing concrete and asphalt surfaces that are in place now
    - ii. Before we purchased this property, it was an adequately-sized driveway
    - iii. About 3 or 4 years ago, my neighbors erected a fence along their property line which narrowed my driveway significantly
    - iv. I need the 3 feet requirement removed so I can adequately pass alongside of my house and safely access my new garage that has been built in my back yard
  - d. Variance is in harmony, not detrimental or contrary –
    - i. Connecting to my paved driveway to my property line does not remove any value to my neighbors, it adds value to my house and surrounding property
    - ii. I have approached my neighbor on several occasions over the last 15 years to acquire portions of their property in order to widen my driveway. They have refused to sell me any of the property.







Exemption receipt is not valid if the ownership or use of the property has changed as of January 1st. Any property owner who fails to notify the Property Appraiser of changes shall be subject to the penalties outlined in F.S. 196.011.

if the property is rented or vacant.

Parcel: 20-23-30-1660-00-010  
Situs: 5700 COVE DR  
Legal: CONWAY GARDENS R/18 LOT 1 & 30 FT STRIP ON N & LAND TO LAKE

Exemption: ADDITIONAL HOMESTEAD HOMESTEAD

*Amy Mercado*  
AMY MERCADO ORANGE COUNTY PROPERTY APPRAISER  
FOR FURTHER INFORMATION CALL (407) 836-5044 or visit [ocpafl.org](http://ocpafl.org)

F11/21



YOU MAY QUALIFY FOR ADDITIONAL EXEMPTIONS!

Please visit our website at [ocpafl.org](http://ocpafl.org) and click on EXEMPTIONS to find out more!

You may be eligible for Portability and other exemptions including:

- Widow/Widower
- Limited Income Senior
- Total & Permanent Civilian Disability
- Fallen Hero
- Military/Disabled Veterans
- Combat Related Senior Veteran
- Total & Permanent First Responder

Deadline to file for all 2022 exemptions is March 1, 2022

If you no longer qualify for the exemptions shown on this receipt, please contact our office immediately at 407-836-5044



200 S. Orange Avenue, Suite 1700  
Orlando, Florida 32801-3438  
RETURN SERVICE REQUESTED

Parcel: 20-23-30-1660-00-010



2-7731474

SHOOK WILLIAM N  
SHOOK CHERIE R  
5700 COVE DR  
BELLE ISLE FL 32812-2817



THIS IS YOUR 2022 EXEMPTION RECEIPT CARD  
Please Retain for Your Records

THIS IS YOUR 2022 EXEMPTION RECEIPT CARD  
Please Retain for Your Records

U.S. MAIL  
ORANGE COUNTY  
PERMIT NO. 1

51

# Property Record - 20-23-30-1660-00-010

Orange County Property Appraiser • <http://www.ocpafl.org>

## Property Summary as of 04/05/2023

**Property Name**

5700 Cove Dr

**Names**

Shook William N  
Shook Cherie R

**Municipality**

BI - Belle Isle

**Property Use**

0130 - Sfr - Lake Front

**Mailing Address**

5700 Cove Dr  
Belle Isle, FL 32812-2817

**Physical Address**

5700 Cove Dr  
Orlando, FL 32812



QR Code For Mobile Phone



5700 COVE DR, BELLE ISLE, FL 32812 2/17/2023 8:56 AM



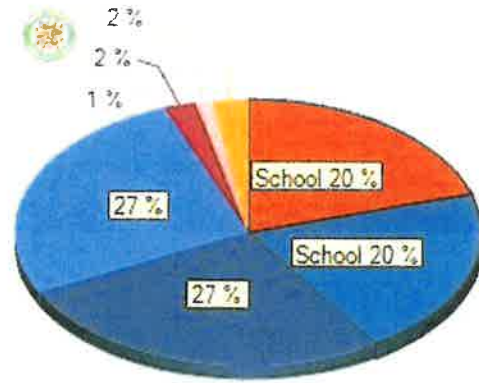
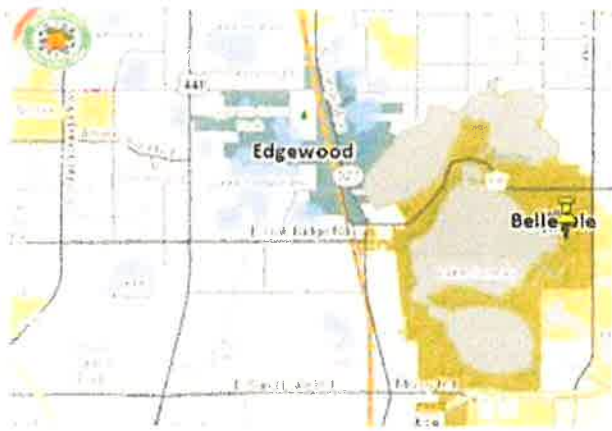
5700 COVE DR, ORLANDO, FL 32812 5/7/2019 2:24 PM



5700 COVE DR, ORLANDO, FL 32812 12/3/2015 2:19 PM



302320166000010 09/28/2006



## Value and Taxes

### Historical Value and Tax Benefits

Tax Year Values	Land	Building(s)	Feature(s)	Market Value	Assessed Value
2022	\$498,000	+ \$301,840	+ \$24,500	= \$824,340 (13%)	<b>\$574,452</b> (3.0%)
2021	\$415,000	+ \$291,441	+ \$24,500	= \$730,941 (1.0%)	<b>\$557,720</b> (1.4%)
2020	\$405,000	+ \$294,143	+ \$24,500	= \$723,643 (3.2%)	<b>\$550,020</b> (2.3%)
2019	\$380,000	+ \$296,846	+ \$24,500	= \$701,346	<b>\$537,654</b>

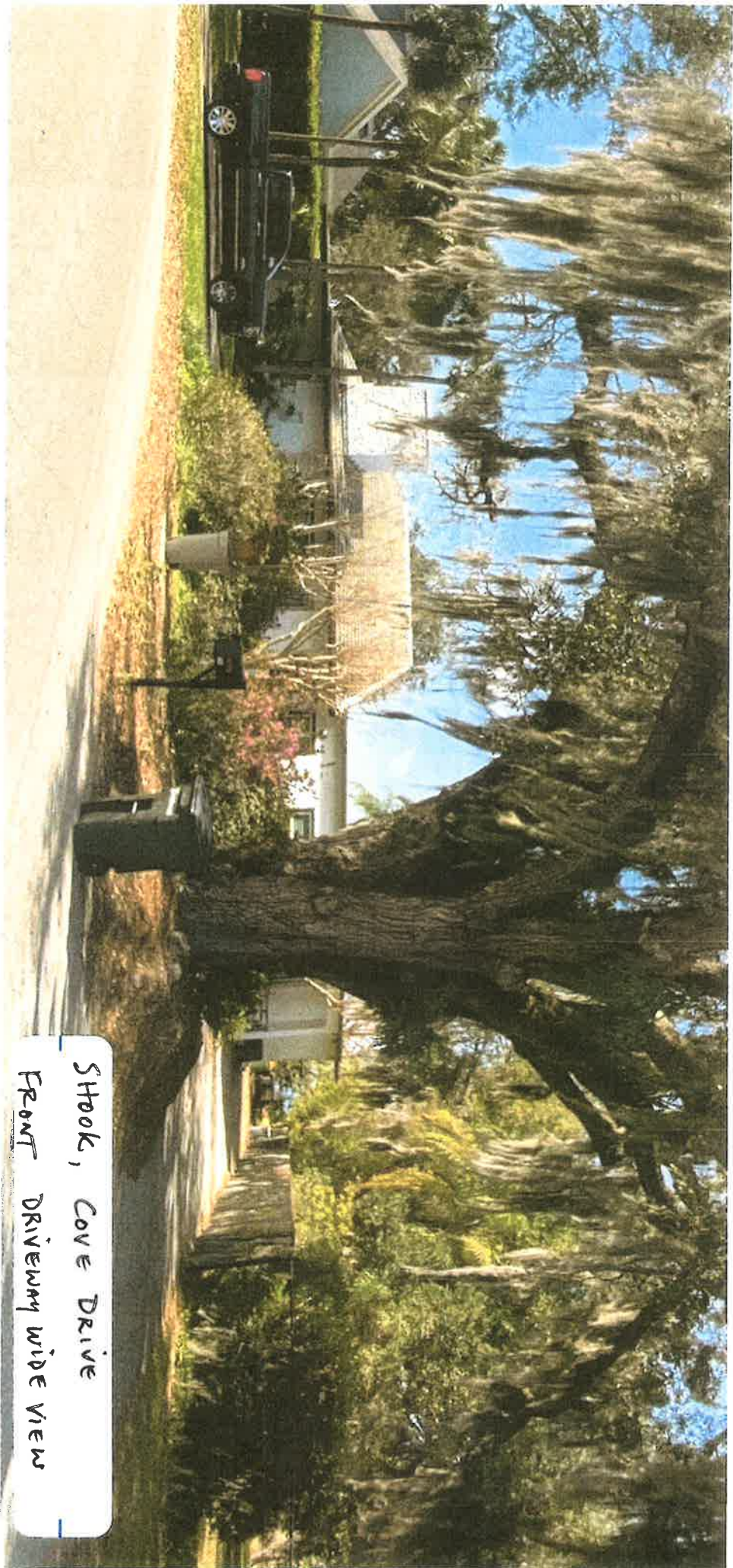
Tax Year Benefits	Original Homestead	Additional Hx	Other Exemptions	SOH Cap	Tax Savings
2022	\$25,000	\$25,000	\$0	\$249,888	<b>\$4,721</b>
2021	\$25,000	\$25,000	\$0	\$173,221	<b>\$3,532</b>
2020	\$25,000	\$25,000	\$0	\$173,623	<b>\$3,565</b>
2019	\$25,000	\$25,000	\$0	\$163,692	<b>\$3,449</b>

### 2022 Taxable Value and Certified Taxes

Taxing Authority	Assd Value	Exemption	Tax Value	Millage Rate	Taxes	%
Public Schools: By State Law (Rle)	\$574,452	\$25,000	\$549,452	3.2140 (-7.88%)	<b>\$1,765.94</b>	20 %
Public Schools: By Local Board	\$574,452	\$25,000	\$549,452	3.2480 (0.00%)	<b>\$1,784.62</b>	21 %
Orange County (General)	\$574,452	\$50,000	\$524,452	4.4347 (0.00%)	<b>\$2,325.79</b>	27 %
City Of Belle Isle	\$574,452	\$50,000	\$524,452	4.4018 (0.00%)	<b>\$2,308.53</b>	27 %
Library - Operating Budget	\$574,452	\$50,000	\$524,452	0.3748 (0.00%)	<b>\$196.56</b>	2 %
St Johns Water Management District	\$574,452	\$50,000	\$524,452	0.1974 (-9.82%)	<b>\$103.53</b>	1 %
Lake Conway Mstu	\$574,452	\$50,000	\$524,452	0.4107 (0.00%)	<b>\$215.39</b>	2 %
				<b>16.2814</b>	<b>\$8,700.36</b>	

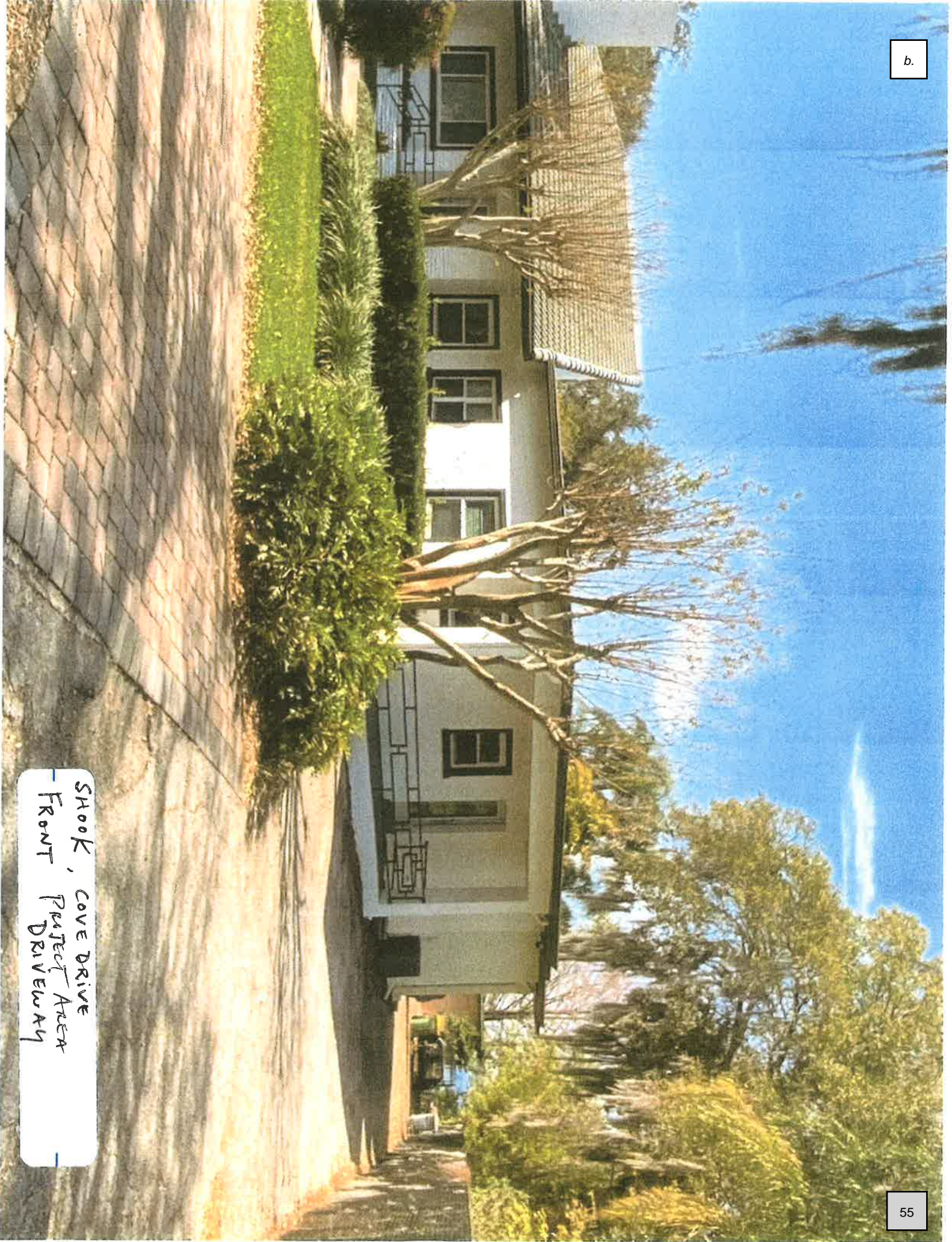
### 2022 Non-Ad Valorem Assessments





SHOOK, COVE DRIVE  
FRONT DRIVEWAY WIDE VIEW

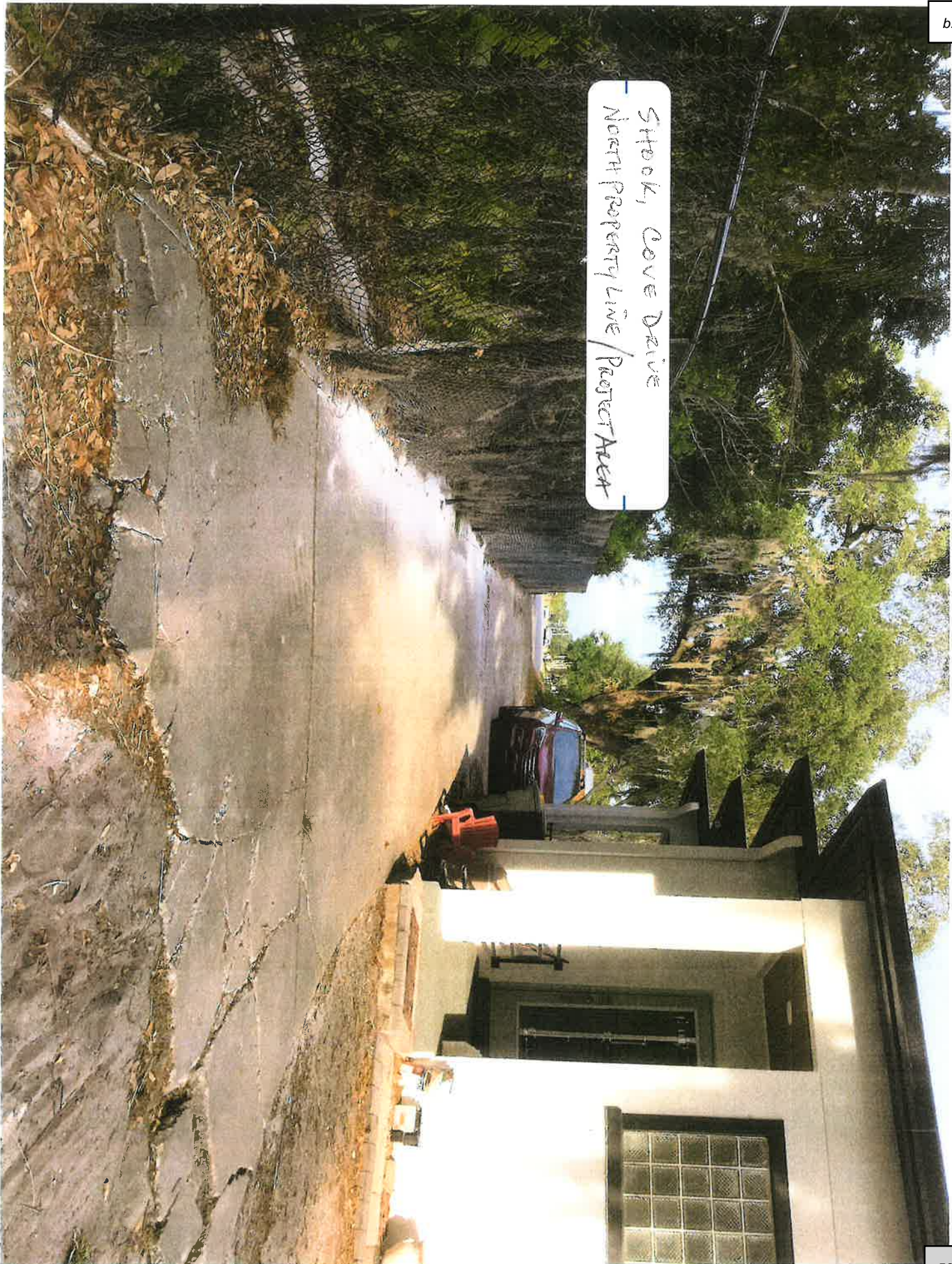




SHOOK, COVE DRIVE  
FRONT, PAVED AREA  
DRIVEWAY



Sitook, Cove Drive  
North Property Line / Protect Area







SHOOK, COVE DRIVE  
REAR DRIVEWAY / PROTECT AREA



SHook, Cove Drive  
RIGHT OF WAY SECTION





**MEMORANDUM**

**TO:** Planning and Zoning Board

**DATE:** May 23, 2023

**RE:** Variance Application – 7023 Willoughby Lane

Public Hearing #2023-03-015

PURSUANT TO BELLE ISLE CODE SEC. 42-64 AND 50-102 (B) (7), THE BOARD SHALL CONSIDER AND TAKE ACTION ON A REQUESTED VARIANCE TO ALLOW A FENCE EXCEEDING FOUR FEET IN HEIGHT WITHIN 35 FEET OF THE NORMAL HIGH WATER ELEVATION LINE OF LAKE CONWAY, SUBMITTED BY APPLICANT BROOKE GALLARDO AND JENNA SOTO, LOCATED AT 7023 WILLOUGHBY LANE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-8860-00-370.

**Background:**

1. On March 8, 2023, the applicants, Brooke Gallardo & Jenna Soto, submitted a request, application, and required paperwork.
2. A Notice of Public Hearing legal advertisement was placed on Saturday, May 13, 2023, in Orlando Sentinel.
3. Letters to the abutting property owners were mailed within 300 feet of the subject property on May 10, 2023.

The Board may adopt all, some, or none of these determinations as part of their findings-of-fact. The Board may also add any additional findings of fact that are presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

**SAMPLE MOTION TO APPROVE:**

"I move, pursuant to Belle Isle SEC. 42-64 AND 50-102 (B) (7), TO APPROVE A FENCE EXCEEDING FOUR FEET IN HEIGHT WITHIN 35 FEET OF THE NORMAL HIGH WATER ELEVATION LINE OF LAKE CONWAY, SUBMITTED BY APPLICANT BROOKE GALLARDO AND JENNA SOTO, LOCATED AT 7023 WILLOUGHBY LANE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-8860-00-370.

**SAMPLE MOTION TO DENY:**

"I move, pursuant to Belle Isle SEC. 42-64 AND 50-102 (B) (7), the justifying criteria of the Belle Isle Land Development Code, having NOT been met; *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone] TO DENY APPROVAL OF A FENCE EXCEEDING FOUR FEET IN HEIGHT WITHIN 35 FEET OF THE NORMAL HIGH WATER ELEVATION LINE OF LAKE CONWAY, SUBMITTED BY APPLICANT BROOKE GALLARDO AND JENNA SOTO, LOCATED AT 7023 WILLOUGHBY LANE, BELLE ISLE, FL 32812 ALSO KNOWN AS PARCEL #20-23-30-8860-00-370.*

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

**SUBSECTION (D)**, a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.

**SUBSECTION (E)**, personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

**SUBSECTION (F)**, the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

**SUBSECTION (G)**, the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



# City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809  
Tel 407-851-7730 \* Fax 407-240-2222 \* www.belleislefl.gov

## Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT <i>Brooke Gallardo + Jenna Soto</i>	OWNER <i>Brooke Gallardo + Jenna Soto</i>
ADDRESS <i>7023 Willoughby Lane 32812</i>	PROJECT ADDRESS <i>7023 Willoughby Lane 32812</i>
CONTACT NUMBER <i>813-517-7882 + 407-230-4861</i>	OWNER'S CONTACT NUMBER <i>813-517-7882 + 407-230-4861</i>
EMAIL <i>Brooke Gallardo @ Gmail .com</i>	OWNER'S EMAIL <i>Brooke Gallardo @ Gmail .com</i>
PARCEL ID# <i>20-23-30-8860-00-370</i>	
LAND USE CLASSIFICATION	ZONING DISTRICT
SECTION OF THE CODE VARIANCE REQUESTED ON <i>Sec. 50-102 (b) (7)</i>	
DETAILED VARIANCE REQUEST <i>Please see included letter</i>	
<ul style="list-style-type: none"> <li>The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property.</li> <li>By applying, I authorize City of Belle Isle employees and members of the P&amp;Z Board to enter my property during reasonable hours to inspect the area to which the application applies.</li> <li>The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies.</li> </ul>	
APPLICANTS SIGNATURE <i>B. Gallardo</i>	OWNER'S SIGNATURE <i>B. Gallardo</i>
<input checked="" type="checkbox"/> VARIANCE	<input type="checkbox"/> SPECIAL EXCEPTION
<input type="checkbox"/> OTHER	P&Z CASE NUMBER <i>2023-03-015</i>
	DATE OF HEARING

Sec. 42-64. - Variance

approve, conditions for a variance from Code.

Criteria. The Board a variance from unless and until:

a. A written form the city may special favor of the the require section of t submission and the app manager's board.

<b>RECEIPT</b>	date <i>3/8/23</i> No. <i>730482</i>					
	received from <i>Brooke Gallardo</i> <i>300.00</i>					
	amount <i>Three hundred dollars</i>					
	for payment of <i>Variance Request</i>					
	<input type="radio"/> cash <input type="radio"/> money order <input type="radio"/> credit card <input checked="" type="radio"/> check # <i>1108</i>					
	<table border="1"> <tr> <td>amount due</td> <td><i>300 00</i></td> </tr> <tr> <td>amount paid</td> <td><i>300 00</i></td> </tr> <tr> <td>balance</td> <td><i>0 00</i></td> </tr> </table>	amount due	<i>300 00</i>	amount paid	<i>300 00</i>	balance
amount due	<i>300 00</i>					
amount paid	<i>300 00</i>					
balance	<i>0 00</i>					

from \_\_\_\_\_ to \_\_\_\_\_

signature *RJ*

shall be hearing before the

for the variance ant's agent as applicant's t.

nt of the ould result in rdship is instances ing involved, s, topography

ardship is not ance since the racter of the

neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land





City of Belle Isle  
 1600 Nela Avenue, Belle Isle, FL 32809  
 Tel 407-851-7730 \* Fax 407-240-2222 \* [www.belleislefl.gov](http://www.belleislefl.gov)  
**Variance and Special Exception Application**

- Development Code or for the purpose of obtaining a variance.
- f. It is determined that the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.
- g. It is determined that the granting of the variance will be in harmony with the general purpose and intent of the Land Development Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.
- h. The board shall find that the preceding requirements have been met by the applicant for a variance.
- b. The Board may prescribe a reasonable time limit within which the action for which the variance is required shall be begun or completed. Under no circumstances, except as permitted above, shall the Board grant a variance to allow a use not generally or by special exception allowed in the zoning district involved, or any use expressly or by implication prohibited by the terms of the Land Development Code in the zoning district. No nonconforming use of neighboring lands, structures, or buildings in the same zoning district, and no permitted use of land, structures, or buildings in other zoning districts, shall be considered grounds for the authorization of a variance.

The Board shall find that the preceding requirements have been met by the applicant for a variance.

**(2) Violations of conditions.**

- a. In granting any variance, the Board may prescribe appropriate conditions and safeguards to comply with the Land Development Code. Violation of such conditions and safeguards, when made a part of the terms under which

**Applications submitted must meet all of the above criteria before the Board can grant a variance.** The burden of proof is on the applicant to comply with the criteria.

A special exception addresses the compatibility of uses, differing slightly from a variance. The approval of a special exception depends on how the request affects the surrounding area. All uses allowed as special exceptions are listed within the individual zoning districts. Before the Board can approve a special exception, the request must meet all of the following criteria:

1. A written application for a special exception must be submitted to City Hall no later than 4:00 p.m. on the first Thursday of the previous month. (See Above)
2. The Board shall find that it is empowered under the section of the zoning ordinance described in the application to grant the special exception and that granting the special exception will not adversely affect the public interest.
3. It is determined that public health, safety, comfort, order, convenience, prosperity, morals, or general welfare is promoted, protected, or improved.

**General Information**

1. Certain conditions may be prescribed on the special exception or variance approved by the Board.
2. The applicant must be present at all hearings.
3. Decisions rendered by the Board do not become final until fifteen (15) days after the hearing. The fifteen-day waiting period allows all aggrieved parties to appeal the decision. Any person filing an appeal will submit, within fifteen (15) days of the decision, a notice stating where they feel the Planning and Zoning Board erred in their decision. Belle Isle's City Council will then hold an appeal hearing.
4. Sec 42-61 thru 41-72 - Variances and special exceptions granted by the Board will become void if a permit necessary for utilization of the variance or special exception is not issued within six (6) months of the date approved by the Planning and Zoning Board.

FOR OFFICE USE ONLY: FEE: \$300	<u>3/8/23</u> Date Paid	<u>1108</u> Check/Cash	<u>Regina Lopez</u> Rec'd By
------------------------------------	----------------------------	---------------------------	---------------------------------



**Brooke Gallardo & Jenn Soto**

7023 Willoughby Lane  
Belle Isle, FL 32812  
(813) 517-7882 & (407) 230-4861  
BrookeGallardo@Gmail.com & Jenna.D.Soto@Gmail.com

March 6th 2023

**Planning & Zoning Board**

City of Belle Isle  
1600 Nela Avenue  
Belle Isle, FI 32809

Dear Members of the Board,

As new homeowners and new residents of Belle Isle we are happy to be part of such a great community. We are attempting to have a new 6 ft white vinyl fence installed on the sides of our new home in place of the old existing chain link fences; however, during our permitting process we were told we are unable to place our requested fences due to sec. 50-102 (b) (7), which states no fence or wall located within 35 feet of the 86.9 contour line of Lake Conway shall exceed 4 feet in height. We are looking to have the new fence installed within the required setbacks. In this letter we hope to explain the reasons for our request for a variance and hope to answer the questions required in the variance application.

The already existing 4 ft chain link fencing can be seen in submitted pictures 1, 2 & 3. We are requesting a variance for two reasons, the first is regarding our privacy. We unfortunately have found a neighbor staring into our yard on various occasions and find it to be a personal hardship in regards to our privacy. In addition we would also like to have a secure place to store our boat on our property.

The second reason for our variance request is to obstruct our view of our neighbors fence and yard shown in pictures 3-7. The seawall can be seen in picture 3, we would like the higher fence built before the start of the sea wall (marked by arrow) The higher fence will not have a deleterious effect since the neighboring wood fence is also higher than the 4 ft chain link fence, instead the new fencing would show uniformity and would have a harmonious appearance with the adjacent homes and in the neighborhood in general.

Your consideration in granting this request for variance is greatly appreciated.

Sincerely,

Brooke Gallardo & Jenna Soto



# Title Survey Services

Professional Land Surveyors

### Legal Description:

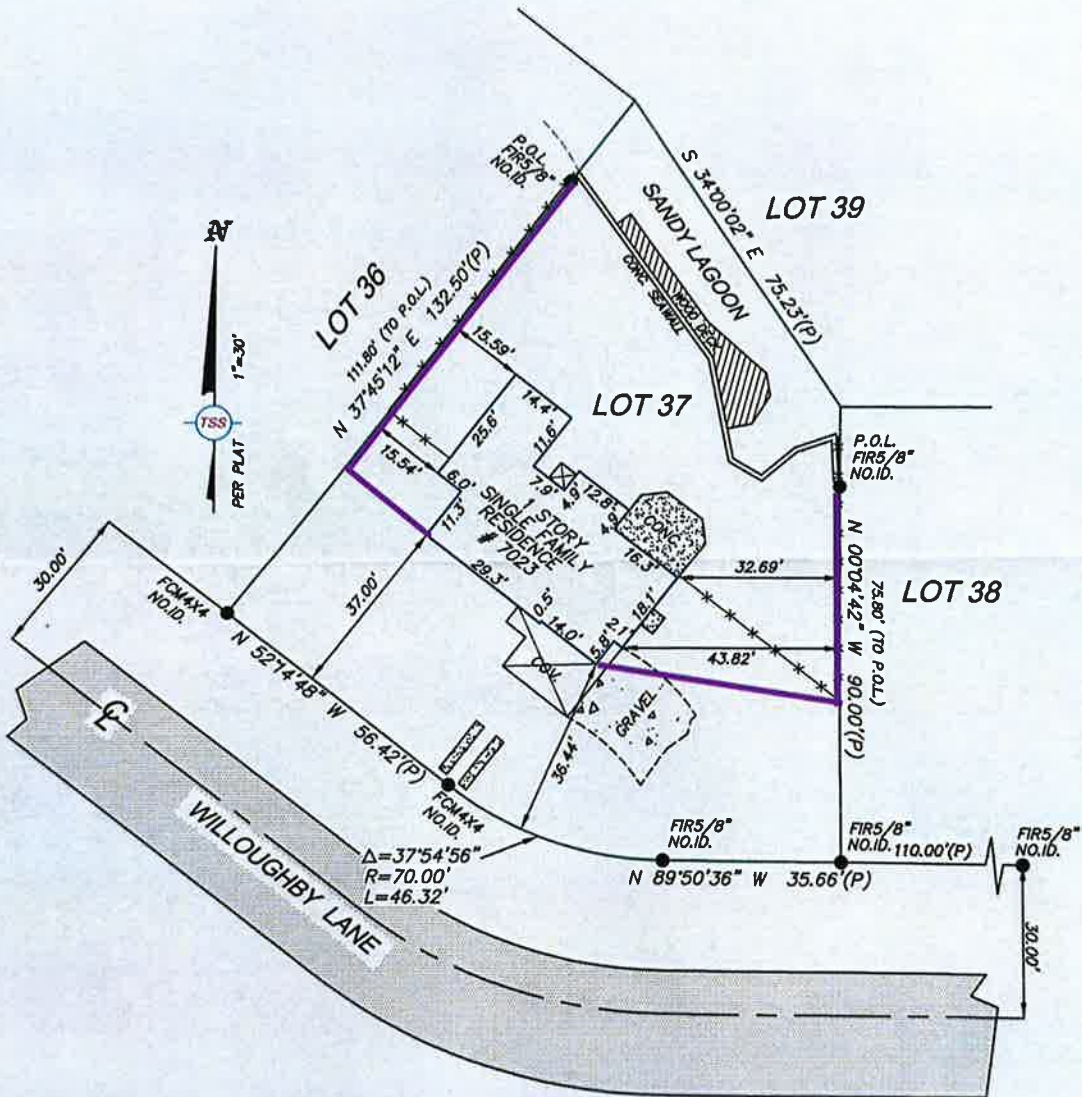
Lot 37, VENETIAN VILLAS, according to the map or plat thereof, as recorded in Plat Book S, Page(s) 69, inclusive, of the Public Records of Orange County, Florida.

Map Number 12095C Panel: 0430

Suffix: C F.I.R.M. Date: 09/25/2009 Flood Zone: X and AE  
Date of Survey: 12/30/2022 Completed: 12/30/2022



## Boundary Survey



Certified To:  
Jenna Soto

Address:  
7023 Willoughby Lane  
Orlando, FL 32812  
File Number # 7023 Willoughby Lane

Proposed  
Fence  
Height  
6 ft

- Notes**
- 1) Survey is Based upon the Legal Description Supplied by Client.
  - 2) Abutting Properties Deeds have **NOT** been Researched for Gaps, Overlaps and/or Hints.
  - 3) Subject to any Easements and/or Restrictions of Record.
  - 4) Building Ties are **NOT** to be used to reconstruct Property Lines.
  - 5) Fence Ownership is **NOT** determined.
  - 6) Roof Overhangs, Underground Utilities and/or Footers have **NOT** been located **UNLESS** otherwise noted.
  - 7) Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Constructed to give ANY Rights or Benefits to Anyone Other than those Certified.
  - 8) Flood Zone Determination Shown Hereon is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NEITHER known by NOR given to this Surveying Company at the time of this endeavor. Title Survey Services and the signing surveyor assume NO Liability for the Accuracy of this Determination.

### Legend

CG	• Calculated	PC	• Point of Curvature
CB	• Centerline	Pg	• Page
CM	• Concrete Block	PI	• Point of Intersection
Cono.	• Concrete Monument	P.O.B.	• Point of Beginning
D	• Description	P.O.L.	• Point on Line
DE	• Drainage Easement	PIP	• Power Pole
Esmt.	• Easement	PRM	• Permanent Reference Monument
F.E.M.A.	• Federal Emergency Management Agency	PT	• Point of Tangency
FPE	• Finished Floor Elevation	R	• Radius
Fnd.	• Found	Rad.	• Radial
IP	• Iron Pipe	R&C	• Rebar & Cap
L	• Length (Arc)	Rep.	• Recovered
M	• Measured	RFD	• Roofed
N&D	• Nail & Disk	R/W	• Right of way
N.R.	• Non-Radial	Rel	• Rel 1/2" Rebar & Cap PBM 6625
ORB	• Official Records Book	Rebar	• Rebar
P	• Plat	Typ.	• Typical
P.B.	• Plat Book	UE	• Utility Easement
-//-	• Wood / PVC Fence	WM	• Water Meter
PE	• Pool Equipment	Δ	• Delta (Central Angle)
		-O-	• Chain Link Fence

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 53-05.172 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

*Nicholas S. Frazzitta* FOR THE FIRM

Nicholas S. Frazzitta, P.S.M. #5828  
This Survey is intended ONLY for the use of Said Certified Parties.  
This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.



### Title Survey Services

Professional Land Surveyors

1823 New York Avenue  
St. Cloud, FL 34769

www.titlesurveyservices.com

Office-321-263-9933 Email: titlesurveys@gmail.com

If you own and occupy property as your primary residence as of January 1, 2023, you may qualify for an exemption. The deadline to file a 2023 exemption application is March 1, 2023.

C.

Click Here To Apply for Homestead and Other Exemptions Online

Print Date: 03/07/2023 System Refresh Date: 03/06/2023

**7023 Willoughby Ln** 20-23-30-8860-00-370

Name(s): Soto Jenna  
Gallardo Brooke  
Physical Street Address: 7023 Willoughby Ln  
Property Use: 0131 - Sfr - Canal Front



Upload Photos

Mailing Address On File: 7023 Willoughby Ln  
Belle Isle, FL 32812-3735  
Postal City and Zip: Orlando, FL 32812  
Municipality: Belle Isle  
[Incorrect Mailing Address?](#)

[View 2022 Property Record Card](#)

PROPERTY FEATURES

VALUES, EXEMPTIONS AND TAXES

SALES

MARKET STATS

LOCATION

Historical Value and Tax Benefits

Has Homestead in 2021

Tax Year Values	Land	Building(s)	Feature(s)	Market Value	%	Assessed Value	%
2022	\$216,000	\$41,485	\$5,000	\$262,485	20.3%	\$262,485	43.6%
2021	\$180,000	\$33,246	\$5,000	\$218,246	29.7%	\$182,817	10.0%
2020	\$130,000	\$33,246	\$5,000	\$168,246	11.4%	\$166,197	10.0%
2019	\$95,000	\$51,088	\$5,000	\$151,088	N/A	\$151,088	N/A

Tax Year Benefits	Original Homestead	Additional Hx	Other Exemptions	SOH CAP	Tax Savings
2022			\$0		\$0
2021			\$0		\$349
2020			\$0		\$20
2019			\$0		\$0

2022 Taxable Value and Certified Taxes

Tax Year

2022	2021	2020	2019
------	------	------	------

Taxing Authority	Assd Value	Exemption	Tax Value	Millage Rate	%	Taxes	Tax Breakdown
Public Schools: By State Law (Rle)	\$262,485	\$0	\$262,485	3.2140	-7.9%	\$843.63	20%
Public Schools: By Local Board	\$262,485	\$0	\$262,485	3.2480	0.0%	\$852.55	20%
General County	\$262,485	\$0	\$262,485	4.4347	0.0%	\$1,164.04	27%
City Of Belle Isle	\$262,485	\$0	\$262,485	4.4018	0.0%	\$1,155.41	27%
Library - Operating Budget	\$262,485	\$0	\$262,485	0.3748	0.0%	\$98.38	2%
St Johns Water Management District	\$262,485	\$0	\$262,485	0.1974	-9.8%	\$51.81	1%
Lake Conway Mstu	\$262,485	\$0	\$262,485	0.4107	0.0%	\$107.80	3%
Totals				16.2814		\$4,273.62	

Non-Ad Valorem Assessments

2022 Non-Ad Valorem Assessments

Levying Authority	Assessment Description	Units	Rates	Assessment
CITY OF BELLE ISLE	BELLE ISLE RES - BIGBR - (407)851-7730	1.00	282.00	\$282.00
CITY OF BELLE ISLE	BELLE ISLE STRM - BISTRM - (407)851-7730	1.00	130.00	\$130.00
				\$412.00

2022 Gross Tax Total: \$4,685.62

2022 Tax Savings Tax Savings

64



















C.















**CITY OF BELLE ISLE, FL**

**Planning and Zoning:**

**Staff Report on Artificial Turf Ordinance**

May 23<sup>th</sup>, 2023

On April 5th, 2022, former City Manager Bob Francis presented an ordinance to place a moratorium on using artificial turf in residential districts. The discussion item was introduced to the City Council due to the number of complaints from code enforcement regarding installing the unpermitted product. Other residents have approached City Staff to inquire about the approval process to install artificial turf. As of now, the code does not explicitly prohibit the use of artificial turf in residential areas. The Planning and Zoning Board has since been tasked with determining whether artificial turf should be allowed and included in the Land Development Code.

During the August Planning and Zoning Meeting, Staff provided data and references to other Artificial Turf Land Development Code ordinances among eight Florida municipalities. Staff reviewed the commonalities among the ordinance language to better understand the requirements, restrictions, and permitting procedures for allowing artificial turf in residential zones. The ordinances determine the allowable material types of artificial turf, where such turf can be installed on-site, conditions for the installation, and product maintenance practices over time. Board Member Woods and City Staff outlined the benefits and consequences of allowing synthetic grass on residential properties. However, the positive and negative aspects of the product are evolving as new types of artificial turf are created, and the long-term environmental impacts have yet to be seen.

At the end of the August Planning and Zoning Meeting, the Board requested additional information about the code languages for artificial turf among the examined Florida municipalities. City Staff were asked to communicate with other municipality Planning Departments to determine potential issues they have faced with the material and the public’s response to the product. City Staff were also to gauge the public’s interest in artificial turf for the Board’s consideration.

At the January 2023, Planning and Zoning Board meeting, the survey results were reviewed, and new information about the regulations of artificial turf among other Florida municipalities was further examined. Among the ten questions presented to the public, the responses were split between those strongly favoring artificial turf on residential properties and against the use. Based on the written responses provided in the public opinion survey, the most common concerns for allowing artificial turf within the city dealt with the product’s environmental impacts (specifically with Lake Conway’s water quality, storm runoff, toxic pollutants, and natural preservation). Discussion ensued that strict guidelines and a variance process could be applied for reviewing artificial turf requests on a case-by-case basis. Attorney Langley recommended drafting an ordinance based on such aspects.

The January 2023 Planning and Zoning meeting motioned for the artificial turf moratorium to be extended for six months for further research and discussion.

The attached ordinance language is based on the Lighthouse Point, Florida ordinance.



**CITY OF LIGHTHOUSE POINT  
FLORIDA**

**ORDINANCE 2017 – 0957**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF LIGHTHOUSE POINT, FLORIDA, RELATED TO PERVIOUS SURFACES AND THE INSTALLATION OF SYNTHETIC TURF; AMENDING CHAPTER 42, “LAND DEVELOPMENT CODE”, ARTICLE IV, “ZONING”, DIVISION 1, “GENERALLY”, SEC, 42-242 “DEFINITIONS” TO INCLUDE A DEFINITION FOR SYNTHETIC TURF; AMENDING CHAPTER 42, “LAND DEVELOPMENT CODE”, ARTICLE IV, “ZONING”, DIVISION 5, “SUPPLEMENTAL REGULATIONS AND REQUIREMENTS FOR SPECIFIC USES”, BY ENACTING A NEW SECTION 42-391 ENTITLED “SYNTHETIC TURF” TO PROVIDE FOR THE REQUIREMENTS AND STANDARDS FOR THE INSTALLATION OF SYNTHETIC TURF ON RESIDENTIAL AND COMMERCIAL PROPERTIES; AMENDING CHAPTER 42, “LAND DEVELOPMENT CODE”, ARTICLE II, “ADMINISTRATION AND ENFORCEMENT”, DIVISION 4, “SITE PLANS”, SUBDIVISION II, “STANDARDS AND REQUIREMENTS”, TO PROVIDE FOR THE INCLUSION OF SYNTHETIC TURF AS PERVIOUS AREA, AND SUBDIVISION I, “IN GENERAL”, SECTION 42-112, “APPLICATION FOR CONCEPTUAL OR PRELIMINARY SITE PLAN REVIEW”, TO PROVIDE FOR THE INCLUSION OF SYNTHETIC TURF IN THE CALCULATION OF PERVIOUS AREA; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND, PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the City of Lighthouse Point City Commission finds that the use of certain types of synthetic turf in lieu of natural grass may be an acceptable form of ground cover where typical ground cover may not survive, as synthetic turf provides for sufficient drainage and green appearance similar to natural grass; and,

**WHEREAS**, to accommodate the use of synthetic turf within the City of Lighthouse Point, the City Commission finds it necessary and appropriate to require a formal permit application and review process prior to the installation of synthetic turf; and,

**WHEREAS**, the City Commission further finds that it serves the public health, safety, and welfare to adopt specific regulations governing the type of synthetic turf that can be utilized, as well as the appropriate methods of installation of synthetic turf; and,

CITY OF LIGHTHOUSE POINT  
FLORIDA

ORDINANCE NO. 2017 - 0957

WHEREAS, the City Commission finds that the limitations hereinafter set forth are reasonably related to the health, safety and general welfare of the citizens, property owners and invitees of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF LIGHTHOUSE POINT, FLORIDA, THAT:

Section 1. The foregoing "Whereas" clauses are hereby ratified and confirmed as being true and correct and incorporated herein by reference.

Section 2. Chapter 42 of the City of Lighthouse Point Code of Ordinances entitled "Land Development Code", Article IV, "Zoning", Division 1, "Generally", Section 42-242, "Definitions" is hereby amended as follows:

\*\*\*\*\*

*Subdivision* means the platting of real property into two or more lots, parcels, tracts, tiers, blocks, sites, units, or any other division of land; and includes establishment of new streets and alleys, additions, and resubdivisions; and, when appropriate to the context, relates to the process of subdividing or to the lands or area subdivided.

Synthetic turf means a dense and continuous surface of synthetic fibers mounted on a permeable backing and of sufficient density and green color to replicate the appearance of healthy natural grass.

\*\*\*\*\*

Section 3. Chapter 42 of the City of Lighthouse Point Code of Ordinances entitled "Land Development Code", Article IV, "Zoning", Division 5, "Supplemental Regulations and Requirements for Specific Uses", is hereby amended by enacting a new Section 42-391, "Synthetic Turf" to read as follows:

- ✓ A. Synthetic turf may be permitted on all properties used for residential or commercial purposes, subject to the requirements and procedures set forth in this Section.
- B. Synthetic turf shall comply with all of the following design standards and shall:

CODING: Words in ~~strike-through~~ type are deletions from existing law;  
Words in underlined type are additions.



CITY OF LIGHTHOUSE POINT  
FLORIDA

ORDINANCE NO. 2017 - 0957

- (1) Simulate the appearance of live turf, organic turf, grass, sod or lawn, as determined by the City, and shall have a minimum eight-year “no fade” warranty.
- (2) Be of a type known as cut pile infill with pile fibers of a minimum height of 1.75 inches and a maximum height of 2.5 inches.
- (3) Have a minimum face weight of 75 ounces per square yard.
- (4) Be manufactured from polyethylene monofilament, Dual Yarn System, and manufactured in the United States.
- (5) Have backing that is permeable.
- (6) Be lead free and flame retardant.

C. Synthetic turf shall comply with all of the following installation standards and shall:

- (1) Be installed by a Florida-licensed general contractor or Florida-licensed landscape architect in a manner prescribed by the manufacturer.
- (2) Be installed over a subgrade prepared to provide positive drainage and an evenly graded mass of compacted, porous crushed rock aggregate material that is a minimum of three (3) inches in depth.
- (3) Be anchored at all edges and seams.
- (4) Not have visible seams between multiple panels.
- (5) Have seams that are joined in a tight and secure manner.
- (6) Have an infill medium consisting of clean silica sand or other mixture, pursuant to the manufacturer’s specifications or as approved by the City Engineer, that shall:
  - a. Be brushed into the fibers to ensure that the fibers remain in an upright position; and
  - b. Provide ballast that will help hold the turf in place; and
  - c. Provide a cushioning effect.

D. Synthetic turf shall comply with all of the following additional standards:

- (1) Areas of living plant material shall be installed and/or maintained in conjunction with the installation of synthetic turf when utilized in the front yard area. Living plant material shall include a combination of two or more shrubs, vines, trees, or groundcovers in separate planter areas and tree wells.

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CITY OF LIGHTHOUSE POINT  
FLORIDA

ORDINANCE NO. 2017 - 0957

- (2) Synthetic turf shall be separated from planter areas and tree wells by a concrete mow strip, bender board or other barrier with a minimum 3/8-inch thickness to prevent the intrusion of living plant material into the synthetic turf.
- (3) Irrigation systems proximate to the synthetic turf shall be capped, directed or otherwise treated so that no irrigation affects the synthetic turf.

E. Synthetic turf shall comply with all of the following maintenance standards and shall:

- (1) Be maintained in an attractive and clean condition, and shall not contain holes, tears, stains, discoloration, seam separations, uplifted surfaces or edges, heat degradation or excessive wear.
- (2) Be maintained in a green fadeless condition and free of weeds, debris, and impressions.

F. The following uses are prohibited:

- (1) Synthetic turf in the public rights-of-way or swales.
- (2) Synthetic turf treated as a filler for landscaping that is not part of a planned element of landscaping.

G. All uses of synthetic turf shall require a building permit. The building permit application shall include, at a minimum, all of the following information:

- (1) A complete landscape plan showing the area of synthetic turf, area of living plant material, and area and method of separation between these areas.
- (2) Details regarding existing or proposed irrigation proximate to the synthetic turf.
- (3) Brand and type of synthetic turf, including all manufacturer specifications and warranties.
- (4) A scaled cross section and details of the proposed materials and installation, including but not limited to subgrade, drainage, base or leveling layer, and infill.
- (5) A survey of the property, signed and sealed by a licensed surveyor, depicting all existing easements located on the property.
- (6) A form signed by any holder of an easement on the property consenting to the installation of the synthetic turf within the easement, with an accompanying acknowledgement by the property owner that in the event the easement holder performs work in the easement that it is the property owner's responsibility to

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CITY OF LIGHTHOUSE POINT  
FLORIDA

ORDINANCE NO. 2017 - 0957

repair and replace the synthetic turf disturbed as a result of the work in the easement.

**Section 4.** Chapter 42 of the City of Lighthouse Point Code of Ordinances entitled “Land Development Code”, Article II, “Administration and Enforcement”, Division 4, “Site Plans”, Subdivision II, “Standards and Requirements”, Section 42-142, “Pervious area and greenspace”, is hereby amended by enacting a new section 42-142(c), to read as follows:

**Sec. 42-142. – Pervious area and greenspace.**

\*\*\*\*\*

(c) Synthetic turf installation. Synthetic turf that is installed in conformance with the provisions contained in Section 42-391 of the City’s Code of Ordinances shall be considered a pervious surface for purposes of the calculations required in this Section.

\*\*\*\*\*

**Section 5.** Chapter 42 of the City of Lighthouse Point Code of Ordinances entitled “Land Development Code”, Article II, “Administration and Enforcement”, Division 4, “Site Plans”, Subdivisions 1, “In General”, Section 42-112, “Application for conceptual or preliminary site plan review”, subsection (d)(16) is hereby amended to read as follows:

**Sec. 42-112. Application for conceptual or preliminary site plan review.**

\*\*\*\*\*

(d)(16) Computation of pervious, with synthetic turf areas specifically identified, impervious, and paved surface, in square footage and percentage.

\*\*\*\*\*

**Section 6. Conflict.** All Ordinances or parts of Ordinances, Resolutions or parts of Resolutions in conflict herewith be, and the same are hereby repealed to the extent of such conflict.

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**CITY OF LIGHTHOUSE POINT  
FLORIDA**

**ORDINANCE NO. 2017 - 0957**

**Section 7. Severability.** If any phrase, clause, section or other part or application of the Ordinance shall be held by any court of competent jurisdiction to be unconstitutional or invalid, such unconstitutional or invalid part or application shall be considered as eliminated and so not affecting the validity of the remaining portions or applications remaining in full force and effect.

**Section 8. Codification.** It is the intention of the City Commission of the City of Light House Point that the provisions of this Ordinance shall become and be made part of the Code of Ordinances of the City of Lighthouse Point, Florida, that the Sections of this ordinance may be renumbered, re-lettered, and the word "Ordinance" maybe be changed to "Section", Article" or such other word or phrase in order to accomplish such intention.

**Section 9. Effective Date.** This Ordinance shall become effective immediately upon its passage and adoption.

**PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY OF LIGHTHOUSE POINT, FLORIDA, ON THE FIRST READING, THIS 12th DAY OF DECEMBER, 2017.**

**PASSED AND ADOPTED BY THE CITY COMMISSION OF THE CITY OF LIGHTHOUSE POINT, FLORIDA, ON THE SECOND AND FINAL READING, THIS 9th DAY OF January, 2018.**

BY: *Sandy Johnson*  
Sandy Johnson, Commission President

ATTEST:

*Jennifer M. Oh*  
Jennifer M. Oh, City Clerk

APPROVED AS TO FORM:

*[Signature]*  
Office of the City Attorney



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**CITY OF LIGHTHOUSE POINT  
FLORIDA**

**ORDINANCE NO. 2017 - 0957**

	Yes	No	Absent
Commission President Sandy Johnson	<u>x</u>	_____	_____
Commissioner Vice President Jason D. Joffe	<u>x</u>	_____	_____
Commissioner Michael S. Long	_____	<u>x</u>	_____
Commissioner Earl Maucker	<u>x</u>	_____	_____
Commissioner Kyle Van Buskirk	<u>x</u>	_____	_____

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**REQUIREMENTS FOR SYNTHETIC TURF RESIDENCE PERMITS**

MUST HAVE ALL OF THE FOLLOWING IN ORDER TO ACCEPT FOR REVIEW:

- \_\_\_ 1. Two sets of landscape plans showing the area of synthetic turf, area of living plant material, and area and method of separation between these areas.
- \_\_\_ 2. Two sets of details of existing and proposed irrigation proximate to the turf.
- \_\_\_ 3. Two sets of brand and type of synthetic turf, including manufacturer specs and warranties.
- \_\_\_ 4. Two sets of scaled cross section and details of the proposed materials and installation. This includes the subgrade, drainage base or leveling layer and infill.
- \_\_\_ 5. Two surveys depicting all easements.
- \_\_\_ 6. Easement releases if the turf is located within an easement.
- \_\_\_ 7. A building application completed by either a General Contractor or Landscape Architect.
- \_\_\_ 8. Zoning affidavit if the survey is more than one (1) year old and there have been no changes to said survey.

REFERENCE: ***ORDINANCE NO. 2017-0957***

**A. The following uses are prohibited:**

- 1. Synthetic turf in the public rights-of-way or swales.
- 2. Synthetic turf treated as a filler for landscaping that is not part of a planned element of landscaping.

**B. Synthetic turf shall comply with all of the following design standards and shall:**

- 1. Simulate the appearance of live turf, organic turf, grass, sod or lawn, as determined by the City, and shall have a minimum eight-year "no fade" warranty.
- 2. Be of a type known as cut pile infill with pile fibers of a minimum height of 1.75 inches and a maximum height of 2.5 inches.
- 3. Have a minimum face weight of 75 ounces per square yard.
- 4. Be manufactured from polyethylene monofilament, dual yarn system, and manufactured in the United States.
- 5. Have backing that is permeable.
- 6. Be lead free and flame retardant.



Requirements for Synthetic Turf Residence Permits

**C. Synthetic turf shall comply with all of the following installation standards and shall:**

1. Be installed by a Florida-licensed general contractor or Florida-licensed landscape architect in a manner prescribed by the manufacturer.
2. Be installed over a subgrade prepared to provide positive drainage and an evenly graded mass of compacted, porous crushed rock aggregate material that is a minimum of three (3) inches in depth.
3. Be anchored at all edges and seams.
4. Not have visible seams between multiple panels.
5. Have seams that are joined in a tight and secure manner.
6. Have an infill medium consisting of clean silica sand or other mixture, pursuant to the manufacturer's specifications or as approved by the City engineer, that shall:
  - a. Be brushed into the fibers to ensure that the fibers remain in an upright position; and
  - b. Provide ballast that will help hold the turf in place; and
  - c. Provide a cushioning effect

**D. Synthetic turf shall comply with all of the following additional standards:**

1. Areas of living plant material shall be installed and/or maintained in conjunction with the installation of synthetic turf when utilized in the front yard area. Living plant material shall include a combination of two or more shrubs, vines, trees, or groundcovers in separate planter areas and tree wells.
2. Synthetic turf shall be separated from planter areas and tree wells by a concrete mow strip, bender board or other barrier with a minimum three-eighths-inch (3/8-inch) thickness to prevent the intrusion of living plant material into the synthetic turf.
3. Irrigation systems proximate to the synthetic turf shall be capped, directed or otherwise treated so that no irrigation affects the synthetic turf.



**CITY OF BELLE ISLE, FLORIDA  
CITY COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Date:** March 21, 2023

**To:** Honorable Mayor and City Council Members

**From:** B. Francis, City Manager

**Subject:** Discuss Changes to BIMC for Fences

**Background:** Commissioner Carugno, with approval from Council, requested a discussion take place on possible changes to the municipal code for fencing. The Planning and Zoning Commission previously discussed changes to the code and looked at a possible zoning overlay for fences and walls on Hoffner Avenue. No action was taken by the Commission.

If the Council directs changes to the code for fencing, then it will have to go to the Planning and Zoning Commission for review and action as fencing is part of the Land Development Code.

**Staff Recommendation:** Discuss what changes are being requested and move this to the Planning Commission for further review and action.

**Suggested Motion:** None needed, but direct that the changes be reviewed by the Planning Commission at their March meeting.

**Alternatives:** Do not make any changes

**Fiscal Impact:** N/A

**Attachments:** P&Z Meeting minutes

It is the intent of this Section to allow the continuation of such non-conforming fences and walls until they are discontinued as provided herein. However, it is not the intent of this Section to encourage the survival of non-conforming fences and walls and such fences and walls that are declared to be incompatible with permitted fences and walls within the City.

An existing fence or wall not allowed by this Section, except when required by law or ordinance, shall not be enlarged, extended, reconstructed, or structurally altered unless such fence is changed to comply with the requirements of this Section. Maintenance of a non-conforming fence will be allowed when this includes necessary repair and incidental alterations which do not expand or intensify the non-conformity.

Fences or walls that are currently in the City's right-of-way (ROW) may remain in place if the property owner executes a ROW agreement with the City.

Fences or walls, other than decorative fences and walls, may be erected, placed, or located in front yards not to exceed four (4) feet in height; except that fences and walls up to six (6) feet in height are permissible in front yards having a depth of at least seventy-five (75) feet or more, or where a fence or wall forms a logical connection, or is in-line, with a wall or fence on either side of an existing wall or fence on the adjacent property.

This section does not apply to fences in existence before the effective date of this Ordinance, except that on sale or transfer of the property on which a non-conforming fence is located, or except when the fence is declared a nuisance or hazard as determined by the City Manager, or the Manager's designee, such fence may be made to conform with the requirements of this chapter, or removed within 90 days of the closing or transfer or declaration of the fence as a nuisance or hazard.

Any non-conforming fence may be repaired like-for-like in height, location and material, up to 75% of the overall linear footage of any the total non-conforming section. A section shall be defined as that portion of the fence or wall located on a given property line. The City Manager, or the Manager's designee, can approve repair to a non-conforming fence under that criteria.

Maintenance

- Maintenance of fences and walls shall comply with the following:
  - Fences and walls shall be maintained in good order and repair.
  - Painted surfaces of fences, walls, and other surfaces associated with fences and/or walls shall not be faded and shall be free of discoloration, staining, or peeling.
  - Surfaces of a wall or fence shall be cleaned or repainted if either of the following occurs:
    - When 20% or more of the surface is stained or discolored; or
    - When 15% or more of the paint is peeling off the surface.
- All fences, walls or other similar structures erected in any residential district shall be maintained by the property owner. Property owners shall be responsible for maintaining the appearance of the fence, wall, or other similar structure in a manner that there are no missing boards or slats, cracks, open gaps, leaning sections, crooked



posts, missing blocks or bricks, cracked or crumbling blocks or bricks and to maintain the structural integrity of the fence, wall or similar structure. Any broken, missing, deteriorated, dilapidated, or otherwise damaged portion of a fence, including boards, posts, slats, rails, stiles, structural members or elements, or fittings and any broken, chipped, missing, deteriorated, dilapidated, or otherwise damaged portion of walls shall be replaced.

- Fences and walls shall be maintained in an upright and vertical position, shall not be allowed to lean or to otherwise be out of plumb, and not have the hedge and vegetation material support the fencing. Fence rails and posts shall be structurally sound and shall not be bent, twisted, warped, or otherwise misshaped. Fences shall not be propped up to prevent the fence from falling.
- A building permit shall be required for repair to a fence or wall when the damage exceeds 25%, or more, of the length of the fence or wall section. A section shall be defined as that portion of the fence or wall located on a given property line. The replaced section of the fence or wall shall match the color and material of the existing fence or wall.
- The finished side of all fences shall face the street or adjacent property.

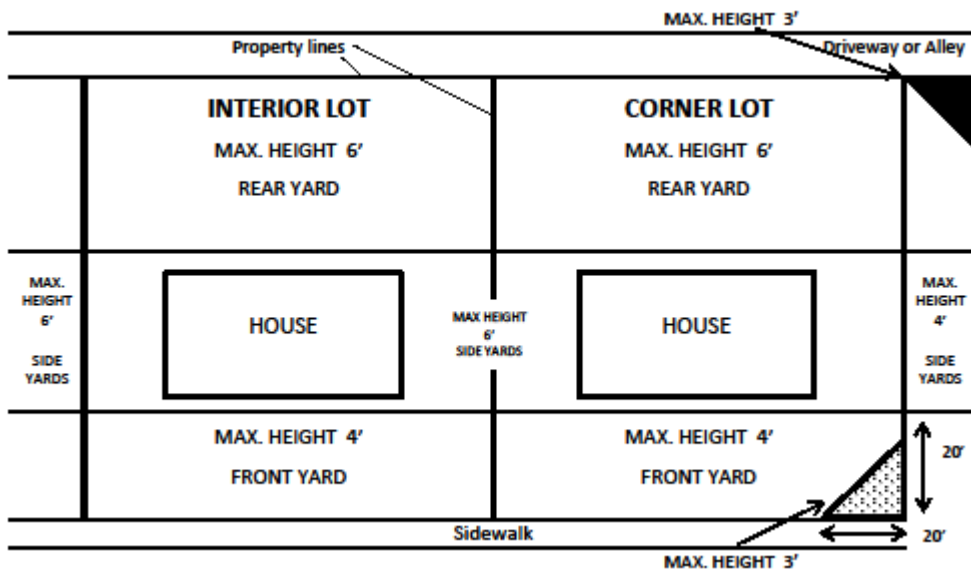
Fence height shall be measured from highest elevation of the ground on either side of the fence. There shall be no more than a 2-inch gap between the ground and the bottom of the fence section.

Civil disputes over the location of a fence or wall at adjoining private properties are not within the enforcement authority of the City to resolve.

### **Front Yard Types and Materials**

1. Front yard fences shall be see-through type fence to avoid vision obstructions. The maximum opacity for fencing in the front yard is 75% (25% of fence must be open, meaning the gaps between boards)
2. Fences may be wood, vinyl or decorative metal
3. Chain-link fences are not permitted in the front yard
4. Front yard fences and walls shall not exceed a height of four feet, except as described in Section \_\_\_\_ above.
5. Fences, if located on a side yard line in the front yard, shall be no more than 4 feet high.

*If the changes are adopted, recommend that diagrams be added to the code for clarity, such as:*



Belle Isle Planning and  
Zoning Board Meeting  
March 26, 2019

# FENCES AND WALLS



**DEVELOPMENT CODE, CHAPTER IV, ARTICLE C,  
SECTION 1 (B) FENCES: PROVIDING SEVERABILITY;  
AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Belle Isle City Council has determined it is necessary to amend Chapter IV, Article C, Section 1 – Fences:

**WHEREAS**, the City of Belle Isle encourages visual openness and the preservation of the natural environment and although fences and walls are inconsistent with this intent they may be desired by residents for safety, noise abatement, and/or security; and

**NOW, THEREFORE, BE IT ORDAINED THAT** Chapter IV, Article C, Section 1(B) shall be amended as follows:

**Section 1.**

(B) *Fences and Walls:*

(1) For the purpose of this Ordinance, certain words used herein are defined as follows:

“Fence” shall mean a barrier erected upon, or immediately adjacent to, a property line for the purpose of separating properties, or for screening, enclosing and/or protecting the property within its perimeter. A fence may be constructed of materials including, but not limited to metal, wood, plastic, or other synthetic material. A fence shall not include construction site barriers, landscape treatments or privacy screens as defined herein.

“Wall” shall mean a barrier erected upon, or immediately adjacent to, a property line for the purpose of separating properties, or for screening, enclosing and/or protecting the property within its perimeter. A wall may be constructed of finished materials including, but not limited to concrete masonry units, precast concrete panels, bricks, concrete, stucco, or stone.

“Privacy Screen” shall mean a barrier erected within the interior of a parcel of property and not upon, or immediately adjacent to, a property line for the purpose of obscuring patios, decks, courtyards, swimming pools and other similar outdoor features, from observation by persons outside the perimeter of the property. Privacy screens shall not include landscape treatments.

(2) Scope

IN 2005, CITY  
COUNCIL  
CHANGED THE  
CODE TO  
PROHIBIT  
FENCES AND  
WALLS IN THE  
FRONT YARD.

# THE LANGUAGE IN THE CODE STATES NO FENCES OR WALLS SHALL BE PERMITTED IN FRONT YARDS.



7484 DAETWYLER DR, ORLANDO, FL 32812 2/16/2016 9:24 AM

there is conflict, the provisions of Chapter IV, Article A, Section 5(J) and Chapter IV, Article B, Section 3(D), shall prevail over this section 1(B).

b.

## (3) General Requirements for Fences, Walls, and Privacy Screens:

No fence, wall or privacy screen shall be installed, erected or maintained except in strict compliance with the following requirements:

- (a) Metal Fences - shall consist of new materials manufactured and/or treated in a manner to prevent rust and corrosion.
- (b) Wood Fences - shall be constructed of new materials and painted, stained or preserved in a manner to maintain the fence in good structural condition.
- (c) Plastic or other Synthetic Material Fences – shall be constructed of material specifically manufactured as fencing, only new such materials shall be used and they shall be treated and maintained in a manner to maintain the fence in good structural condition and with an appearance that is aesthetically compatible with the type of fence it represents.
- (d) Masonry Walls – shall be constructed of finished materials including, but not limited to concrete masonry units, precast concrete panels, bricks, concrete, stucco, or stone.
- (e) Privacy Screens – shall be an integral part of the design of and have an architectural texture, color, and material compatible with the residence on the property.

## (4) Conformity, Permit Required:

No person shall erect, build, construct, or reconstruct any fence, wall, or privacy screen or any section or portion thereof unless the same shall conform to these requirements and specifications. No person shall erect or construct any fence, wall, or privacy screen, or dig, auger or otherwise prepare post holes without first obtaining a permit for zoning approval.

## (5) Maximum Height and Permitted Locations of Fences, Walls and Privacy Screens:

(a) Except as provided in (b), below, fences and walls shall be limited to a maximum height of six (6) feet above natural grade in the rear and side yards. No fences or walls shall be permitted in front yards.

- (b) A maximum fence height of 8 feet shall be permitted in the following situations:
  - i. The property line along which the fence will be installed abuts a boat ramp

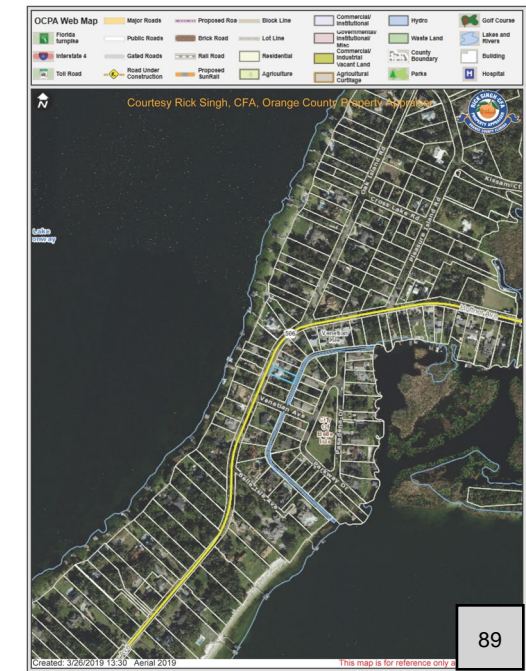
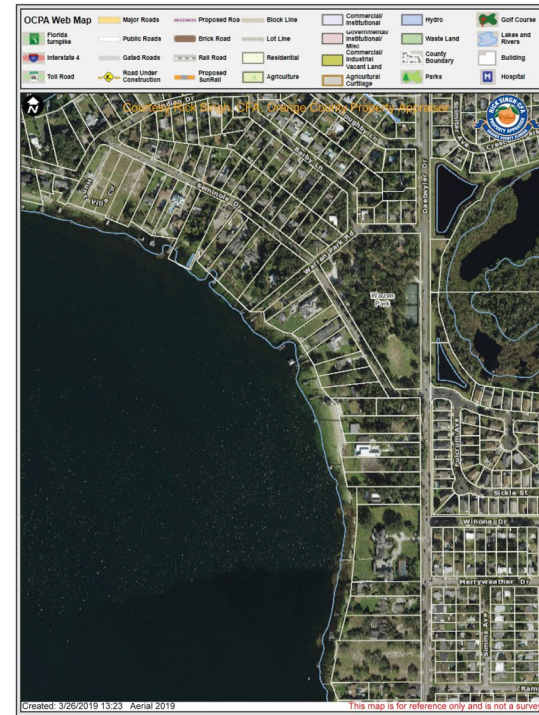


Common Characteristics:

Deep Lots

Busy Street Traffic

Many properties with existing fences/walls and gates



b.





MINOLE DR, ORLANDO, FL 32812 9/27/2017 8:00

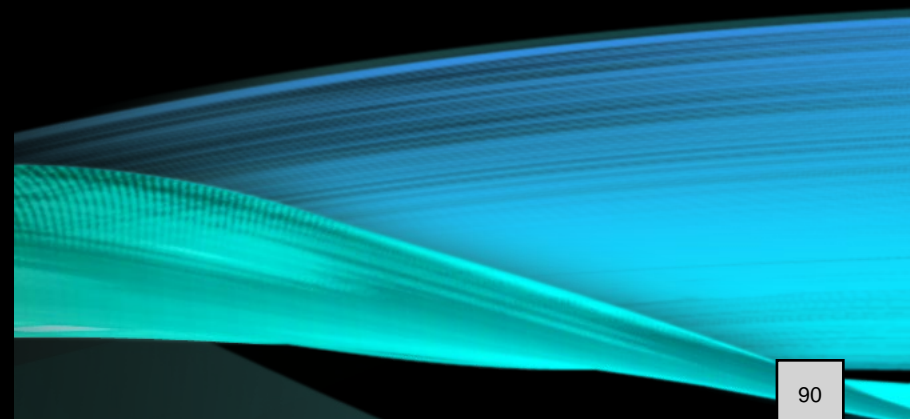


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# FENCES AND WALLS ON SEMINOLE AND DAETWYLER





# FENCES AND WALLS ON HOFFNER AND OAK ISLAND



b.

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2235 HOFFNER AVE, ORLANDO, FL 32809 12/1/2015 2:21 PM



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302318716001080 08/21/2006



# OPTIONS FOR CONSIDERATION

Keep	Keep the code as it is and process variance requests
Create	Create an overlay that allows fences and wall along specified streets with specific criteria established in the code such as maximum height, design standards, and materials
Remove	Remove the prohibition on fences and walls in the front yard