



## **PLANNING BOARD MEETING AGENDA**

### **Thursday, April 17, 2025 at 6:00 PM**

15 East Franklin Street Bellbrook, Ohio 45305  
T (937) 848-4666 | [www.cityofbellbrook.org](http://www.cityofbellbrook.org)

---

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF THE MINUTES**
  - A. Approval of the February 20, 2025, Planning Board Meeting Minutes
- 4. OLD BUSINESS**
- 5. NEW BUSINESS**
  - A. PB 25-02: Proposed Lot Combination (Re-Plat) of Lots 11, 12, 13, and 14 at 7171 Wilmington-Dayton Road (Heritage Christian Church of Centerville)
- 6. OPEN DISCUSSION**
- 7. ADJOURNMENT**

# RECORD OF PROCEEDINGS

City of Bellbrook Planning Board  
February 20, 2025

Item A. Section 3, Item

## **CALL TO ORDER:**

Mr. Denny Bennett called the meeting of the Bellbrook Planning Board to order at 6:05 pm.

## **ROLL CALL:**

### **PRESENT**

Mr. Denny Bennett

Mr. Kyle Boehmer

Dr. William Dahling

Dr. David Van Veldhuizen

### **ABSENT**

Mr. Tim Tuttle

### **ALSO PRESENT**

Mr. Rob Schommer, City Manager

Ms. Michaela Grant, Community Development Administrator

## **APPROVAL OF THE MINUTES:**

Mr. Bennett asked if anyone had any corrections to the minutes of the January 16, 2025 meeting. Hearing none, Mr. Bennett declared the minutes approved.

## **OLD BUSINESS:**

None

## **NEW BUSINESS:**

PB 25-01: Proposed Lot Reconfiguration (Re-Plat) of Parcel IDs L35-0001-0003-0-00007-00 (4050 Upper Bellbrook Road) & L35-0001-0003-0-0016-00 to allow for the construction of a new single-family residence.

Ms. Grant began the staff report attached to the meeting packet and stated the facts of the case and request.

Mr. Bennett asked if there were any questions from the Planning Board; with none, he asked if the applicant wished to approach the Board, and they did not. Mr. Bennett asked if anyone else wished to speak against the case, and there was none. He then closed the public hearing.

Mr. Bennett asked for a motion for case PB 25-01. Dr. Dahling made a motion to approve case PB 25-01 as presented. Mr. Boehmer seconded the motion.

Voting "yea": Mr. Bennett, Dr. Van Veldhuizen, Mr. Boehmer, and Dr. Daling. The motion carries.

## **OPEN DISCUSSION:**

# RECORD OF PROCEEDINGS

City of Bellbrook Planning Board  
February 20, 2025

Item A. Section 3, Item

None

## **ADJOURNMENT:**

Hearing no further business before the Board, Mr. Bennett declared the meeting adjourned at 6:10 pm.

---

Denny Bennett, Chairperson

---

Rob Schommer, Clerk of Council



To: Planning Board

From: Michaela Grant, Community Development Administrator

Date: April 11, 2025

Subject: Staff Report for PB 25-02: Proposed Lot Combination (Re-Plat) of Lots 11, 12, 13, and 14 at 7171 Wilmington-Dayton Road (Heritage Christian Church of Centerville)

### Summary of the Request

The applicant, Heritage Christian Church of Centerville, is seeking approval for the combination of four lots, numbered 11, 12, 13, and 14, located at 7171 Wilmington-Dayton Road to create lot 11A, which would measure 1.7930 acres. The intended purpose of this combination is to facilitate an addition to Heritage Christian Church's building. Lots 11 and 14 comprise the Church's parking lot and open green space, while Lots 12 and 13 house the principal structure. The five-foot utility easements along the interior property lines of lots 11 through 14 (as shown on the plat map attached to the packet) are planned to be terminated by the applicant.

### Applicant Information

Heritage Christian Church of Centerville, Owner  
Haley Dusa Engineering & Surveying Group, Surveyor

### Current Zoning District

All four parcels are zoned R-1B, Single-Family Residential.

### Parcel Identification

Lot 11: L35000200130014600  
Lot 12: L35000200130014500  
Lot 13: L35000200130014400  
Lot 14: L35000200130014300



### Additional Actions or Next Steps to be taken by the City

The Planning Board is the sole authority needed to approve this case (PB 25-02), taking into account input from the City's engineer, as well as the Service, Police, and Fire Departments. If the request is approved, the applicants will record the lot combination with Greene County. They will then proceed with the zoning permitting process for the proposed addition through the City, followed by the building permitting process with the Greene County Building Regulations Department. Before the zoning permit can be issued, the applicant must provide proof that the easements have been terminated in the areas designated for construction and must adhere to the comments provided by the Service Department and City's engineer.

### Applicant's Reason for the Request

The applicants seek to combine the lots to facilitate the construction of an addition to the principal structure.

### Surrounding Land Use within 1,000 Feet

The surrounding land uses within a 1,000-foot radius include various Residential (R-1B, R-3), Planned (PD-2), and Office (O-1).

### Previous Related Development Decisions in the Immediate Area (3-5 Years)

On October 11, 2018, the Planning Board approved a request from Heritage Christian Church of Centerville for a parking lot expansion, as well as a new ground sign request on July 20, 2023.

### Comprehensive Plan Applied to the Geographical Area

N/A

### Existing Public Utilities

Available utilities include water, storm, and sanitary sewer at street, electric, and gas services.

### Soil Survey Data

N/A

### Classification of Streets, Traffic Volumes & Direction, Planned Improvements

N/A

### Flood Plain Information

None of the parcels are within the flood plain (Zone X, unshaded).

### Comments from City and County Agencies

The Service, Police, and Fire Departments stated no concerns with the proposed lot combination.

The Service Department provided comments on the soil erosion control plan (comments are attached to this packet) for the proposed addition. The City's engineer provided comments on the drainage and site plan related to the project's stormwater control statement (comments are attached to this packet) for the proposed addition.

The applicant must address these comments before the permit for the addition can be issued.

### Supporting Maps & Graphics

Supporting documents are attached.

### Staff Recommendation

Staff recommends that the Planning Board consider the submitted request.



## CITY OF BELLBROOK SUBDIVISION

## LOT SPLIT/COMBINATION

15 EAST FRANKLIN STREET, BELLBROOK, OHIO 45305

(937) 848-4666 [WWW.CITYOFBELLBROOK.ORG](http://WWW.CITYOFBELLBROOK.ORG)STAFF USE ONLY: DATE RECEIVED 3/27/2025 APPLICATION # 2025-047 NOTE \_\_\_\_\_

## APPLICANT INFORMATION

PROPERTY OWNER Heritage Christian Church of Centerville PHONE NUMBER (937) 307-0568

OWNER ADDRESS 7171 Wilmington Pike, Centerville, Ohio 45459

NAME OF SUBDIVISION Heritage Christian Church Plat SECTION, TOWN, RANGE S 7, T. 2, R 6 M.

LOCATION 7171 Wilmington Pike, Centerville, Ohio 45459 DEED BOOK # 2018026993 PG. \_\_\_\_\_

SUBDIVIDER NAME Heritage Christian Church of Centerville PHONE NUMBER (937) 307-0568

ADDRESS (SUBDIVIDER) 7171 Wilmington Pike, Centerville, Ohio 45459

EMAIL (SUBDIVIDER) Heritage Christian Church of Centerville

NAME OF ENGINEER/SURVEYOR Haley Dusa Engineering & Surveying Group PHONE NUMBER (937) 439-4300

ADDRESS (ENG./SUR.) 270 Regency Ridge Drive, Suite 203, Dayton, Ohio 45459

EMAIL (ENG./SUR.) tdusa@haleydusa.com

## REQUEST INFORMATION

NUMBER OF LOTS 11 IS THERE A FEDERAL LAND PROGRAM INVOLVED? No

CHECKMARK ALL PUBLIC UTILITIES AVAILABLE ☒ GAS ☒ ELECTRIC ☒ WATER ☒ SANITARY SEWER ☒ STORMWATER

IS THERE AREA IN THE FLOOD PLAIN? No IS THE AREA SUBJECT TO PERIODIC FLOODING? No

PROPOSED USE OF SPLIT/COMBINATION Church building and parking lot for said building

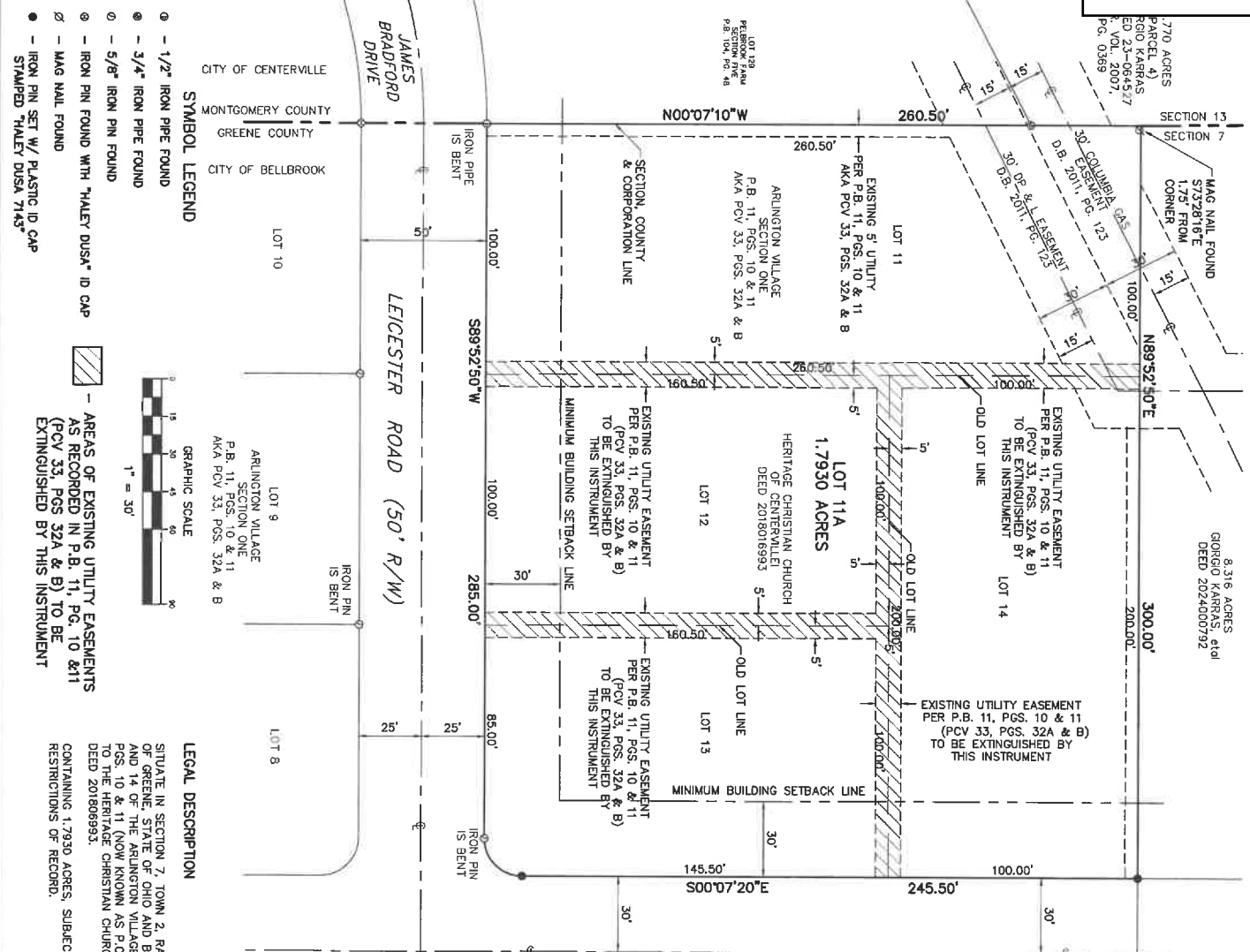
OTHER COMMENTS \_\_\_\_\_

I HEREBY CERTIFY THAT THE INFORMATION AND STATEMENTS GIVEN ON THIS APPLICATION ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND THAT COMPLETING THIS APPLICATION DOES NOT GRANT APPROVAL OF THE PROPOSED LOT SPLIT AND/OR COMBINATION, I UNDERSTAND THAT IT IS THE DUTY OF THE PLANNING BOARD AND CITY COUNCIL TO DO SO.

OWNER/ENGINEER SIGNATURE Thomas Dusa DATE 3/26/25

## OFFICE USE ONLY

FEE	PAYMENT TYPE	REVIEW AUTHORITY
\$ <u>250.00</u>	CASH <input type="checkbox"/> CHECK <input checked="" type="checkbox"/> # <u>2179</u>	CITY COUNCIL <input type="checkbox"/> PLANNING BOARD <input checked="" type="checkbox"/>
FIRE DEPT. APPROVAL <input type="checkbox"/> SERVICE DEPT. APPROVAL <input type="checkbox"/> POLICE DEPT. APPROVAL <input type="checkbox"/>		
APPROVED <input type="checkbox"/> DENIED <input type="checkbox"/>	STAFF SIGNATURE _____ DATE _____	
APPROVED-CONDITIONS <input type="checkbox"/>		



**RECORD PLAN**

**HERITAGE CHRISTIAN CHURCH PLAT**

LOCATED IN SECTION 7, TOWN 2, RANGE 6 M.R.S., AND BEING A REPLAT OF LOT NUMBERS 11, 12, 13 & 14 ARLINGTON VILLAGE SECTION ONE PLAT CITY OF BELLBROOK GREENE COUNTY, OHIO CONTAINING 1.7930 ACRES

**VICINITY MAP**

APPROX. SCALE: 1" = 2000'

**SURVEY REFERENCES:**

- GREENE COUNTY: PLATS: ARLINGTON VILLAGE SECTION ONE PLAT BOOK 11, PAGE 10 & 11 (AKA P.C.V. 33, PGS. 32A & B)
- SURVEYS: SUR. VOL. 19, PG. 166
- DEEDS: DEED NO. 2018016993 DEED NO. 2024000792
- MONTGOMERY COUNTY: PLATS: BELLBROOK TOWN SECTION FIVE PLAT BOOK 104, PAGE 46
- SURVEYS: SUR. VOL. 2007, PG. 0369
- DEEDS: I.R. DEED NO. 23-064527

**CERTIFICATION:**

I hereby certify that this plat was prepared in accordance with Ohio Administrative Code Chapter 4733.37 Standards for Surveys and also conforms to the Ohio Revised Code Chapter 711 for Record Plans and was conducted under my supervision based on field work in December, 2024. All measurements are correct and monuments are to be set on all lot corners as shown.

Thomas E. Dusa, P.S.  
OHIO LICENSE NO. S-7143

**SHOLEY-DUSA**

Engineering & Surveying Group, LLC

270 Reagen Ridge Drive, Suite 203  
Dayton, OH 45424-3300 Fax: (937) 439-2005  
Email: info@sholeydusa.com Website: www.sholeydusa.com

Scale: 1" = 30' Drawn: JRC Checked: TED

Date: MARCH 25, 2025 Job No. E3447



**EDUCATION:** We the undersigned, being all the owners and lienholders of the lands herein plotted, do hereby acknowledge the making and signing of this instrument to be our voluntary act and deed, and that we have read the same and that we have agreed to the public use forever. New easements shown on the within plot are reserved for the construction, operation, maintenance, repair and replacement of water, sewer, gas, electric, telephone or other utility lines of services and for the ingress and egress from and to the premises for said purposes, and for providing for the free use of said utilities, and for providing for the same to be maintained as such forever.

Print Name: \_\_\_\_\_

**David Ladd**  
**Minister**

Print Name: \_\_\_\_\_

Be it remembered that on this \_\_\_\_\_ day of \_\_\_\_\_, 2025, before me came \_\_\_\_\_, the undersigned, a notary public in and for said State of Ohio, personally known to me as \_\_\_\_\_, a member of the \_\_\_\_\_ congregation of the \_\_\_\_\_ Christian Church, by David Ladd, its Minister, and acknowledged the signing and execution of the within plat to be their voluntary act and deed.

In testimony whereof, I hereunto set my hand and notary seal on the day and date above written.

\_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_  
\_\_\_\_\_

**NOTARY PUBLIC**

**MY COMMISSION EXPIRES**

The below unassigned utility companies agree that, by the execution and recording of this plat, to extinguish the utility easements as shown in the cross hatched areas on this recorded Plan. These easements were reserved on Arlington Village Section One as recorded in Plat Book 11, Pages 10 & 11. Also, to reserve a utility easement for the City of Arlington, as shown in the cross hatched areas on this recorded Plan. See the City of Arlington's Plat, Cabernet Village 32A, Pages 32A & 33 of the Grantee's Plat Book 32, Pages 32 & 33. The City of Arlington is reserving the utility easement for the lots of lots 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815

The execution and recording of this Record Plan will consolidate Lots 11, 12, 13 and 14 of Arlington Village Section One into one new lot and will remove the interior lot lines and the encroachments created by the existing building and the proposed building addition. Extinguishing the easements along the interior lot lines will also remove any encroachments into those easements.

Only the areas of the easements denoted by the cross hatching shown on this Record Plan are to be extinguished. All other existing easements on the new lot shall remain. Any new easements requested by the various utility owners are shown on this plot and reserved in the Dedication statement above.

By: \_\_\_\_\_

**Title:** \_\_\_\_\_

**Signature:**

By: \_\_\_\_\_

**Title:** \_\_\_\_\_

**Signature:**

By: \_\_\_\_\_

**Title:** \_\_\_\_\_

**Signature:**

By: \_\_\_\_\_

**Title:** \_\_\_\_\_

**Signature:**

**Denny Bennett,**  
City Planning Board  
Chairperson

**Rob Schommer,**  
City Manager

**RECORDED:**

File Number \_\_\_\_\_

Received \_\_\_\_\_

Recorded \_\_\_\_\_

Plat Cabinet Volume \_\_\_\_\_, Pages \_\_\_\_\_

Recorder, Greene County, Ohio

**III.**

**TRANSFERRED:**

Transferred \_\_\_\_\_

Auditor, Greene County, Ohio

SHEET 2 OF 2



**Halley-Dusa**  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 438-4300 Fax: (937) 439-2005  
Email: [halleydusa@halleydusa.com](mailto:halleydusa@halleydusa.com)  
Website: [www.halleydusa.com](http://www.halleydusa.com)

Scale:	N/A	Drawn:	JRC	Checked:	TED
--------	-----	--------	-----	----------	-----

Date: MARCH 25, 2025	Job No. E3447
----------------------	---------------



# Haley-Dusa Engineering & Surveying Group, LLC

## LETTER OF TRANSMITTAL

**TO: City of Bellbrook**  
15 East Franklin Street  
Bellbrook, Ohio 45305

**Date: March 27, 2025**

**RE: Heritage Christian Church**

**ATTN: Michaela Grant**

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via ☐ the following items:

☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications ☐ Copy of letter ☐ Change order

Copies	Date	No.	Description
7 ✓	Mar 25, 2025	2	Heritage Christian Church Record Plan, 2 sheets
2 ✓	Mar 26, 2025	1	Storm water erosion control plan
1 ✓	Mar 26, 2025	5	Storm water runoff analysis report
1 ✓	Mar 26, 2025	1	Completed subdivision application form

☒ For approval ☐ Approved as submitted ☐ Resubmit ☐ copies for approval

☐ For your use ☐ Approved as noted ☐ Submit ☐ copies for distribution

☐ As requested ☐ Return for correction ☐ Return ☐ corrected prints

**Remarks:**

**From:**

*James Caldwell*  
James Caldwell

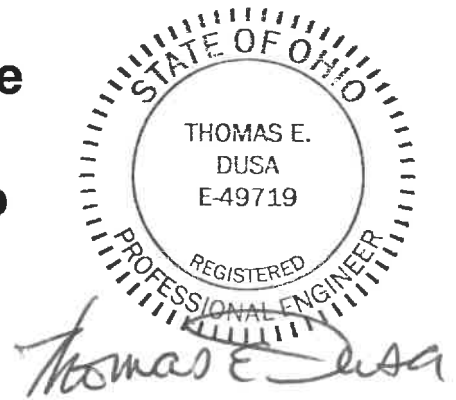
# **DRAINAGE ANALYSIS**

**Owner: Heritage Christian Church**

**Location: 7171 Wilmington Pike  
Bellbrook  
Greene County, Ohio**

**Project No.: E-3447**

**Project: Develop a site for a new Church Building  
Addition with access ramp to parking lot**



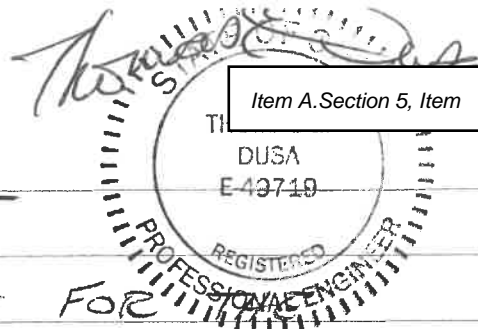
**HALEY-DUSA ENGINEERING AND  
SURVEYING GROUP, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459**

**Engineer: Thomas E. Dusa P.E.,P.S.**

**March 26, 2025**

2/5

## DRAINAGE ANALYSIS



THE EXISTING DRAINAGE FOR HERITAGE CHRISTIAN CHURCH AT 7171 WILMINGTON PIKE IN BELLBROOK, GREEN COUNTY, OHIO USES AN OVERLAND SURFACE SYSTEM OVER GROUND GRADED AWAY FROM THE EXISTING CHURCH BUILDING. THERE ARE NO NOTABLE DRAINAGE ISSUES.

THIS PROJECT ADDS AN ADDITION TO THE NORTH SIDE OF THE CHURCH AND A RAMP TO ALLOW THE PATRONS WALK TO AND FROM THE NEW BACK DOOR TO THE EXISTING PARKING LOT.

THE DRAINAGE FOR THE NEW ADDITION AND RAMP WAS DESIGNED TO FOLLOW THE EXISTING OVERLAND SURFACE FLOW. THE NEW ROOF SLOPES CONNECTED WITH THE EXISTING ROOF SLOPES AND DIRECTED THE ROOF DRAINAGE TO A NEW GUTTER SYSTEM AND THEN TO NEW DOWNSPOUTS. DOWNSPOUT FLOWS WERE CALCULATED ON A WORSE CASE BASIS. WE USED A ROUGHNESS COEFFICIENT OF 0.95, MINIMAL  $z_c$  (TIMES OF CONCENTRATION) OF 2 MIN AND 1 MIN, AND A 100 YEAR RAINFALL INTENSITY ( $I_{100}$ ).

THIS RESULTED IN CALCULATING A 100 YEAR FLOW ( $Q_{100}$ ) FOR EACH DOWNSPOUT.

THIS INFORMATION IS SHOWN ON SHEET (5).

THE DOWNSPOUTS DIRECTED ROOF DRAINAGE TO AN OPEN AIR SPLASH BLOCK NEAR THE BUILDING FOUNDATION. IT IS AT THIS POINT THE WATER GOES FROM A CLOSED SYSTEM TO AN OPEN SYSTEM; WHERE IT WILL FLOW OVERLAND AND EVENTUALLY SEEP INTO THE SOIL.

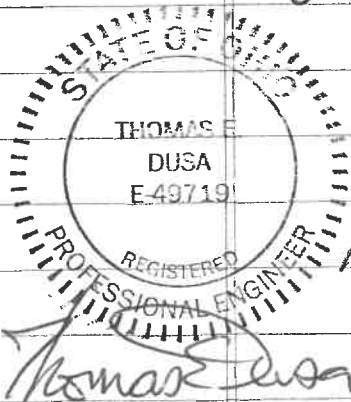
TO CALCULATE THE OVERLAND FLOW WE USED A WORSE-CASE  $Q_{100}$  AND AN ACCEPTABLE FLOW VELOCITY FOR SEED LINING ON LOOSE SOIL. WE USED A  $Q_{100}$  OF 0.30 CFS AND A FLOW VELOCITY OF 1.5 FPS.

$$Q = A \times V \Rightarrow A = \frac{Q}{V} = \frac{0.30 \text{ CFS}}{1.5 \text{ FPS}} = 0.2 \text{ ft}^2$$

IF WE ASSUME A 3 FT WIDE DRAINAGE SWATH THEN THE DEPTH EQUALS

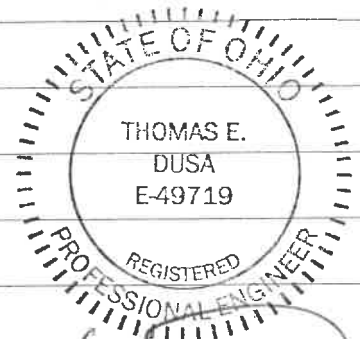
$$\frac{0.2 \text{ ft}^2}{3 \text{ FT}} = 0.0667' \approx 0.8''$$

WITH THE MIN SLOPES GRADING AWAY FROM



THE BUILDING @ A MINIMUM @ 4.5%  
THE WATER WILL PERICULATE INTO  
THE GROUND WITHIN 15ft.

(PLEASE NOTE ALL THE VALUES  
USED IN ASSESSING THIS DRAINAGE  
WERE WORST-CASE SCENARIOS AND  
HAVE MINIMAL CHANCES OF OCCURRING  
CONSISTANTLY OVER A LONG PERIOD OF  
TIME).



Thomas E. Dusa

## BUILDING DRAINAGE AREAS

$$1a \quad \begin{aligned} (a) &= 462 \text{ sf} = 0.0106 \text{ ac} \\ L &= 14' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 1 \text{ min} \\ I-100 &= 9.36 \text{ in/hr} \\ Q-100 &= 0.09 \text{ cfs} \end{aligned}$$

$$1b \quad \begin{aligned} (a) &= 888 \text{ sf} = 0.0204 \text{ ac} \\ L &= 28' \text{ SL} = 25\% \\ (C) &= 0.95 \quad t_c = 2 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.17 \text{ cfs} \end{aligned}$$

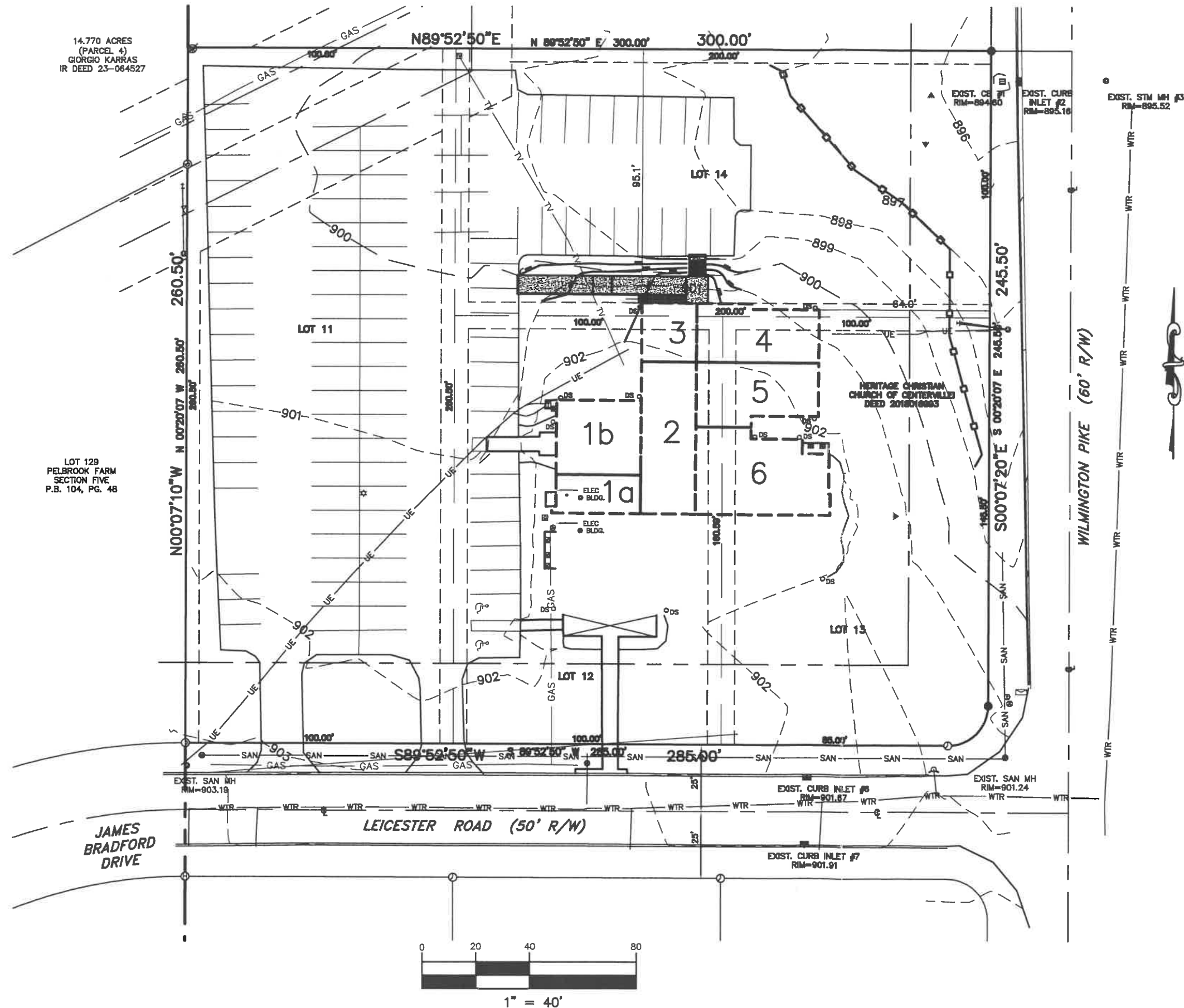
$$2 \quad \begin{aligned} (a) &= 1170 \text{ sf} = 0.269 \text{ ac} \\ L &= 48' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 2 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.23 \text{ cfs} \end{aligned}$$

$$3 \quad \begin{aligned} (a) &= 451 \text{ sf} = 0.0104 \text{ ac} \\ L &= 20' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 1 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.09 \text{ cfs} \end{aligned}$$

$$4 \quad \begin{aligned} (a) &= 951 \text{ sf} = 0.0218 \text{ ac} \\ L &= 29' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 2 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.19 \text{ cfs} \end{aligned}$$

$$5 \quad \begin{aligned} (a) &= 1000 \text{ sf} = 0.0230 \text{ ac} \\ L &= 29' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 2 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.20 \text{ cfs} \end{aligned}$$

$$6 \quad \begin{aligned} (a) &= 1450 \text{ sf} = 0.0333 \text{ ac} \\ L &= 37' \text{ SL} = 67\% \\ (C) &= 0.95 \quad t_c = 2 \text{ min} \\ I-100 &= 8.78 \text{ in/hr} \\ Q-100 &= 0.28 \text{ cfs} \end{aligned}$$



**Haley-Dusa**  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 439-4300 Fax: (937) 439-2005  
Email: haleydusa@haleydusa.com  
Website: www.haleydusa.com

Payment For	<input type="checkbox"/> Utility Billing	DA	Item A. Section 5, Item
	<input checked="" type="checkbox"/> Permit - type: Lot Combination		
Name	Heritage Christian Church	MAR 27 REC'D	
Service Address	7171 Wilmington Pike		
Payment Type	<input type="checkbox"/> Cash		
	<input checked="" type="checkbox"/> Check - #: 2179		
Amount Paid	\$ 250.00		
Date Paid	3/27/2025		



MAY 21 11 20 AM 1965  
MAY 21 11:20 AM 1965

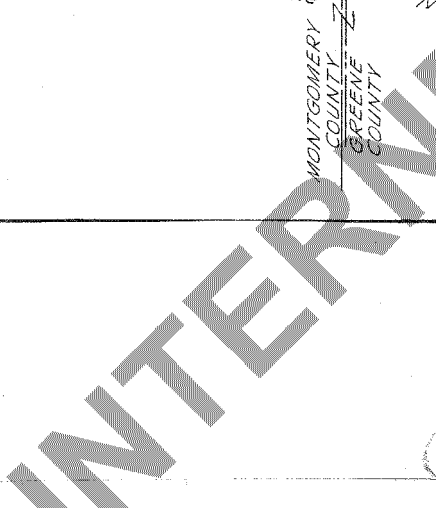
LOCATED IN:  
SECTION 7, T-2, R-6, M.R.S., SUGAR CREEK TOWNSHIP  
GREENE COUNTY, OHIO  
CONTAINING 7.021 ACRES

RALPH L. WOOLPERT CO.  
CONSULTING ENGINEERS  
DAYTON, OHIO FEB. 1965.

Indicates  
Iron Pin

RALPH L. WOOLPERT COMPANY

By: Charles Black  
Registered Surveyor #3147.



# ARLINGTON VILLAGE - SECTION ONE

## PROTECTIVE COVENANTS 50973 DEDICATION

1. All lots in the within subdivision shall be known and described as residential lots. No structures other than one detached single family dwelling not to exceed two and one-half stories in height and a private garage for not more than three cars shall be erected, altered, placed or permitted to remain on any lot.
2. No building shall be located nearer the front line or nearer to the side street line than the building set-back line shown on the plat. All buildings shall be erected to comply with provisions outlined in the Sugar Creek Township Zoning Resolution as set forth under R-2 Zoning.
3. No fence shall be erected nearer the front lot line than the front of the dwelling unless the same shall be a hedge or shrub growth not to exceed three (3) feet in height.
4. No lot in the within subdivision shall hereafter be subdivided into parcels for additional residential purposes.
5. No noxious or offensive trade or activity shall be carried on upon any lot, nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.
6. No trailer, basement, tent, garage or outbuilding erected on the within subdivision shall at any time be used as a residence temporarily or permanently nor shall any structure of a temporary character be used for residential purposes.
7. The ground floor area of each main dwelling structure, exclusive of one story open porches and garages, shall not be less than thirteen hundred (1300) square feet.
8. No garage shall be erected on any lot in the within subdivision which shall be less than eleven (11) feet in width nor less than twenty (20) feet in length.
9. No sign or billboard except professional signs not to exceed two (2) square feet in area and "FOR SALE" signs shall be erected or permitted on any lot in the within plat. No barn, stable or other outbuilding for housing domestic animals or poultry shall be erected or permitted in this plat.
10. These covenants are to run with the land and shall be binding on all parties and all persons claiming under them until July 1, 1990 at which time said covenants shall be automatically extended for successive periods of ten (10) years. At any time these covenants may be amended by approval of sixty (60) percent of the then owners of lots in the subdivision each owner having one vote for each separate tract owned by him.
11. If the parties hereto or any of them or their assigns or heirs shall violate or attempt to violate any of the covenants herein, it shall be lawful for any other person or persons owning any real property situated in said development or subdivision to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenants and either to prevent him or them from so doing or to recover damages or other dues for such violation.
12. Invalidity of any one of these covenants by judgement or court order shall in no wise affect any of the other provisions which shall remain in full force and effect.
13. The owners of all lots in the within subdivision shall be required to maintain storm water drainage ways in such a manner that the normal flow water will have no interference.
14. Duplicate plans, specifications and plot plan for all houses or structures shall be submitted for their written approval to the subdivider or his designated agent. One set of said plans, specifications and plot plan shall be retained by the subdivider or his designated agent. In event no written approval or disapproval is received within thirty days of the receipt of such plans, then said plans will be automatically approved and this covenant will have been fully complied with.

Dedication of the land shown on this plat for street, park or public ground purposes is hereby accepted as of May 19, 1965.

Board of  
Greene County  
Commissioners

Ray Dumbauld  
Ralph Whitman  
James A. Ford Jr.

Approved by the Greene County  
Planning Commission April 6, 1966

M. Hale Rinder  
CHAIRMAN  
Kerbert A. ...  
SECRETARY

We, the undersigned, being all those owning any interest in the land described in the within plat and all lienholders thereon, do hereby voluntarily consent to the execution of said plat into lots numbered 1 thru 14 inclusive, and do voluntarily dedicate the streets and roads shown on said plat to the public use forever.

We, the owners of said real estate, further agree to covenant and bind ourselves to the Greene County Commissioners that in consideration for their acceptance of said plat and its approval by said commissioners, to grade and gravel all streets as shown on said plat 23.5 feet in width, approximately 8 inches of gravel in two compacted courses of 4 inches each, and to provide an adequate surface treatment course consisting of aggregate and bituminous materials properly applied; to install all necessary water drainage to the specifications of the Greene County Engineer, further to provide the necessary sanitary drainage in accordance with county and state regulations, and that none shall drain onto any street right-of-way, and we covenant and hold ourselves personally obligated for the completion of all the above specified construction and duties on our part to be performed by the day of, 1965.

Utility easements are for the construction, operation, maintenance, repair, replacement or removal of water, sewer, gas, electric, telephone or other utility lines or services and for the express privilege of removing any or all trees or other obstructions to the free use of said utilities, and for providing of ingress and egress to the property for said purposes, and are to be maintained as such forever.

Signed and acknowledged  
in the presence of:

PAUL E. LAPP, INC.

Ludwica A. Paterman  
Christine L. Radenbaugh  
J. Eugene Brown

Paul E. Lapp PRESIDENT  
Charles Pfarrer SECRETARY  
GEM CITY SAVINGS ASSOCIATION, LIENHOLDER  
J. H. Hilker VICE-PRESIDENT  
Myron Eckhardt SECRETARY

State of Ohio, County of Montgomery, ss.  
Be it remembered that on this 26th day of April, 1965, before me, the undersigned, a notary public in and for said county and state, personally came the said Paul E. Lapp, Inc., by Paul E. Lapp, its president, and Charles Pfarrer, its secretary, and Gem City Savings Association, lienholder, by H.A. Hilker, its vice-president, and Myron Eckhardt, its secretary, to me known, and acknowledged the signing and execution of the within plat to be their voluntary act and deed.

In testimony whereof, I have hereunto set my hand and notary seal on the day and date above written.

J. Eugene Brown  
Notary Public in and for Montgomery County, Ohio  
My Commission Expires

State of Ohio, County of Montgomery, ss.  
Paul E. Lapp, being duly sworn says that all persons and corporations to the best of his knowledge, interested in this dedication, either as owners or lienholders, have united in its execution.

Paul E. Lapp

In testimony whereof, I have hereunto set my hand and notary seal on the day and date above written.

Ludwica A. Paterman  
Notary Public in and for Montgomery County, Ohio  
My Commission Expires

Transferred on the 21 day of May, 1965.

Richard E. Dalmer  
Greene County Auditor

Received MAY 21, 1965 AT 11:20 A.M.

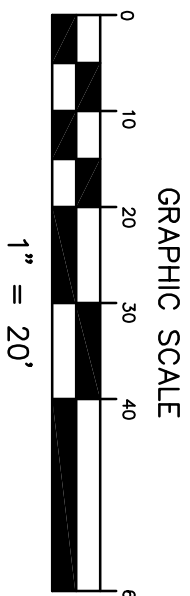
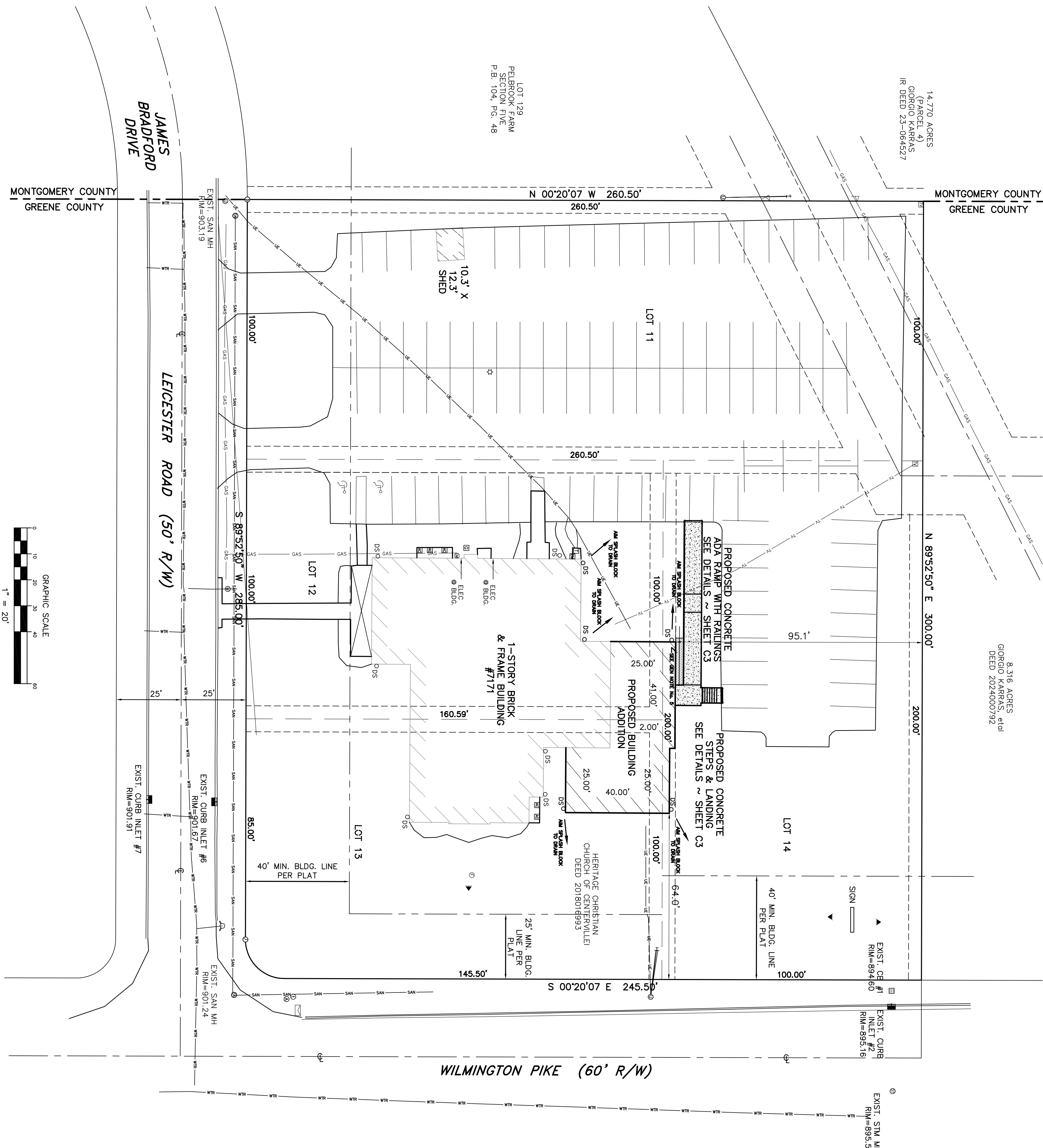
Recorded MAY 21, 1965

Plat Book 11, Pages 10 and 11

Fee \$5.50 Ernest B. Beatty

Greene County Recorder

13388 R.S.T.



CIVIL SITE GENERAL NOTES

1. DOWNSPOUTS FOR DRAINING THE NEW ROOF ADDITION ARE SHOWN. THE DOWNSPOUTS WILL DRAIN USING SPLASH BLOCKS AND ARE TO BE INSTALLED TO FOLLOW THE EXISTING GRADE. SEE THE ARCHITECT PLANS FOR MORE DETAIL ON THE GUTTER SYSTEM.
2. GRADE THE GROUND OUTSIDE THE NEW ADDITION TO FOLLOW THE EXISTING GRADES AWAY FROM THE FOUNDATION.
3. SEE THE ARCHITECT PLANS FOR CONSTRUCTION DETAILS OF STEPS, HANDRAIL USED ON THE STEPS AND RAMP.
5. LANDSCAPE PER ARCHITECT AND OWNER.

SYMBOL LEGEND

⊕	POWER POLE W/ U/G CONNECTION
⊕	POWER/TELECOM POLE
⊕	ANCHOR POLE
⊕	ELECTRIC TRANSFORMER
⊕	ELECTRIC METER
⊕	FLAG POLE
⊕	GAS METER
▶	GAS LINE MARKER
▲	FLOOD LAMP
☆	LIGHT POLE
☐	MAIL BOX
☐	AIR COND UNIT
☐	SANITARY MANHOLE
☐	CATCH BASIN
☐	STORM MANHOLE
☐	CURB INLET
☐	TELECOM SPLICE BOX
☐	FIRE HYDRANT
☐	WATER METER
☐	1/2" IRON PIPE FOUND
☐	5/8" IRON PIN FOUND
○ DS	DOWNSPOUT
—UE—UE—	POLE ANCHOR CABLE
—GAS—GAS—	U/G ELECTRIC LINE
—SAN—SAN—	GAS LINE
—TV—TV—	SANITARY SEWER LINE
—WTR—WTR—	TELECOM LINE
—WTR—WTR—	WATER LINE



By: *Thomas Dusa* Reg. Engineer E-49719

No.	DATE	REVISION

PROJECT No:	E3447
DATE	02-11-25
SCALE	1" = 20'
DES.	TED
DR.	JRC
CKD.	TED

**Haley-Dusa**  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, OH 45424  
Phone: (937) 439-4300 Fax: (937) 439-2005

HERITAGE CHRISTIAN CHURCH  
BUILDING ADDITION  
7171 WILMINGTON PIKE  
CITY OF BELLBROOK  
GREENE COUNTY, OHIO

CIVIL SITE PLAN



SHEET NO.

C2



April 11, 2025

Michaela Grant  
Community Development  
City of Bellbrook  
15 East Franklin Street  
Bellbrook, Ohio 45305

Re: 7171 Wilmington Pike Stormwater Review

Dear Michaela:

Please find below LJB's review of the 7171 Wilmington Pike stormwater control statement received on Tuesday April 1, 2025.

### Drainage Comments

- Per Appendix B of Chapter 1226 the City of Bellbrook code of ordinances, all proposed land uses and developments which increase the runoff rate and/or volume shall be required to control the rate of runoff discharging from the site. Please provide runoff calculations comparing the predeveloped runoff with the post developed runoff because of the building addition and sidewalk.
- If there is an increase in runoff between the pre-developed and post-developed, we recommend the use of an infiltration ditch/swale to provide the necessary runoff control measures. Alternative designs are acceptable as well.
- Please provide the proposed grading for the proposed building addition to ensure that stormwater will be directed away from the building.
- Confirm that existing downspout connections will be directed away from proposed building addition.

### Site Plan Comments

- Appears that the addition will be placed over an existing easement. Please verify and provide documentation that easement owner is aware and allows for the use.

If you have any questions or need clarification regarding the above comments, please do not hesitate to contact me at [mpaton@ljbinc.com](mailto:mpaton@ljbinc.com) or via phone at 937-259-5022.

Sincerely,

LJB Inc.



Max Paton, PE  
Project Manager



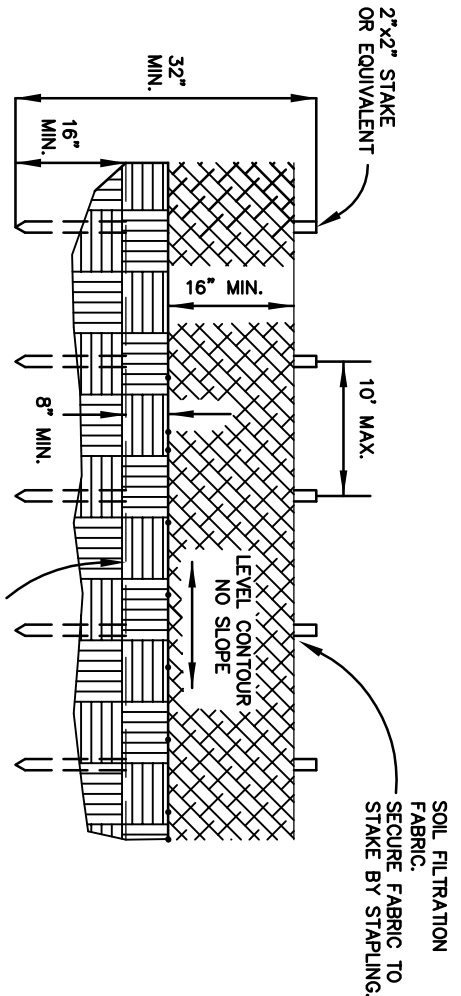
Alexander McDole, E.I.  
Project Manager

EROSION CONTROL NOTES

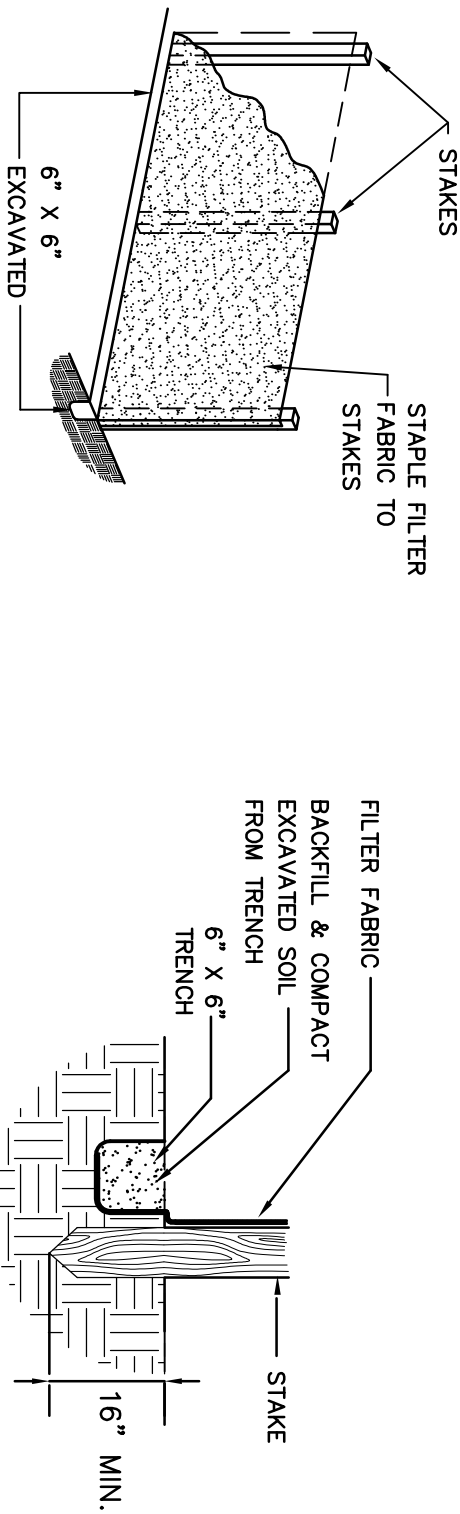
1. ANY TEMPORARY SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION.
2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO "RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT, AND URBAN STREAM PROTECTION", CURRENT EDITION
3. EROSION CONTROL DEVICES AS SHOWN ARE MINIMUM PROTECTION REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL DEVICES FOR PROTECTION AT THEIR EXPENSE UNTIL FINAL GROUND IS STABILIZED.

SITE EROSION CONTROL MEASURES INSPECTION SCHEDULE

1. Diversion and Structural Measures – will be inspected at seven (7) day intervals or after every rain storm producing runoff.
2. Vegetative Planting – Spring planting will be checked during summer or early fall.
3. Repairs – Any erosion control measures, structural measures, or other related items in need of repair will be made within seven (7) days.
4. Driveways, ditches and other areas that support a designed flow of water will be mowed regularly to maintain that flow.
5. Seeded areas where the seed has not produced a good cover will be inspected and fertilized as necessary.



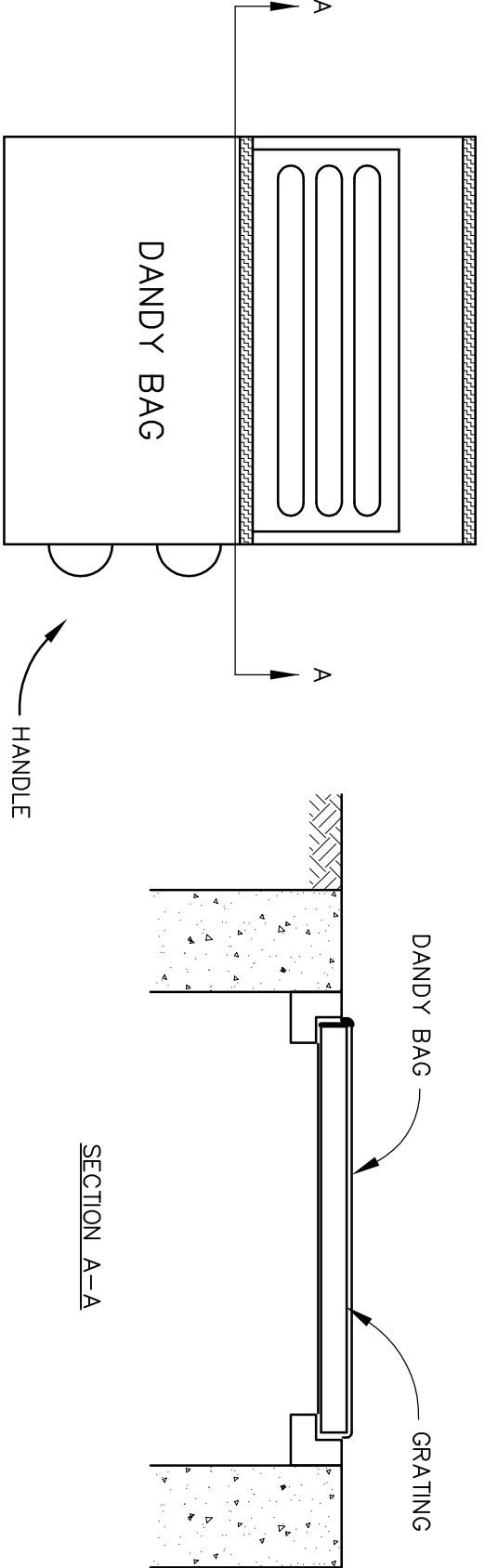
SILT FENCE INSTALLATION DETAIL ~ ELEVATION VIEW



SILT FENCE INSTALLATION DETAIL ~ ISO VIEW

SILT FENCE INSTALLATION DETAIL ~ SECTION VIEW

SILT FENCE DETAIL



DANDY BAG

DANDY BAG

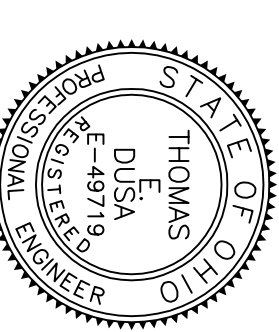
(IP1)



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE TO CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS LIKELY TO OCCUR AND TO UNPROTECTED AREAS.

(IP2) GRAVEL CURB INLET SEDIMENT FILTER



SHEET NO.

HERITAGE CHRISTIAN CHURCH  
BUILDING ADDITION  
7171 WILMINGTON PIKE  
CITY OF BELLBROOK  
GREENE COUNTY, OHIO  
EROSION CONTROL PLAN

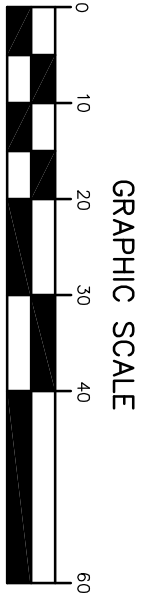


Haley-Dusa  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 439-4300 Fax: (937) 439-2005

PROJECT No.	E3447
DATE	03-26-25
SCALE	1" = 20'
DES.	TED
DR.	JRC
CKD.	TED

No.	DATE	REVISION

- SEDIMENTATION/EROSION CONTROL LEGEND
- (IP1) - INDICATES INLET PROTECTION FOR YARD INLETS
  - (IP2) - INDICATES INLET PROTECTION FOR PAVEMENT INLETS
  - (SF) - INDICATES SILT FENCING
  - DRAINAGE ARROW INDICATING DRAINAGE FLOW



GRAPHIC SCALE

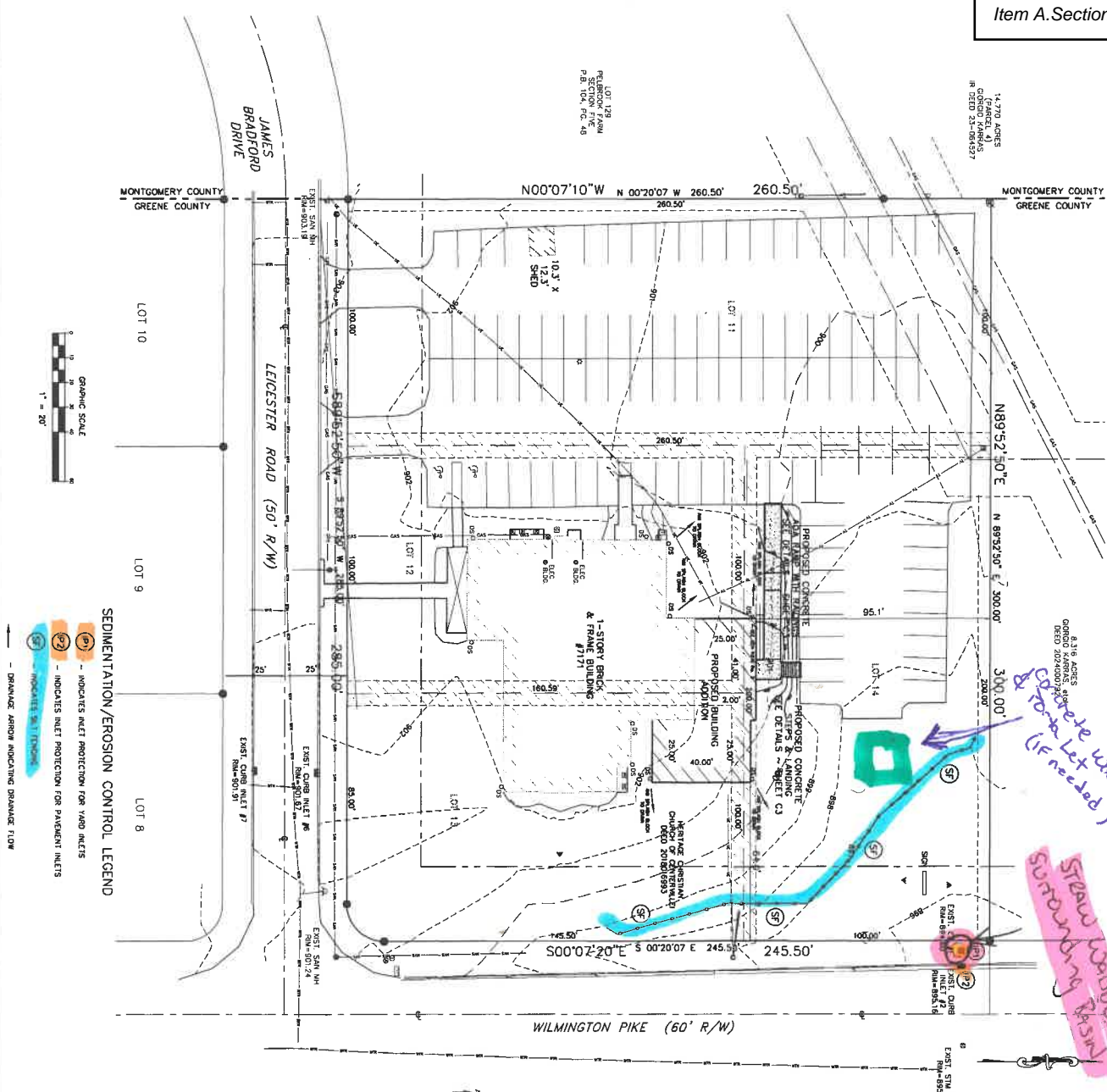
1" = 20'

Reg. Engineer E-49719

By: *Thomas E. Dusa*

C4

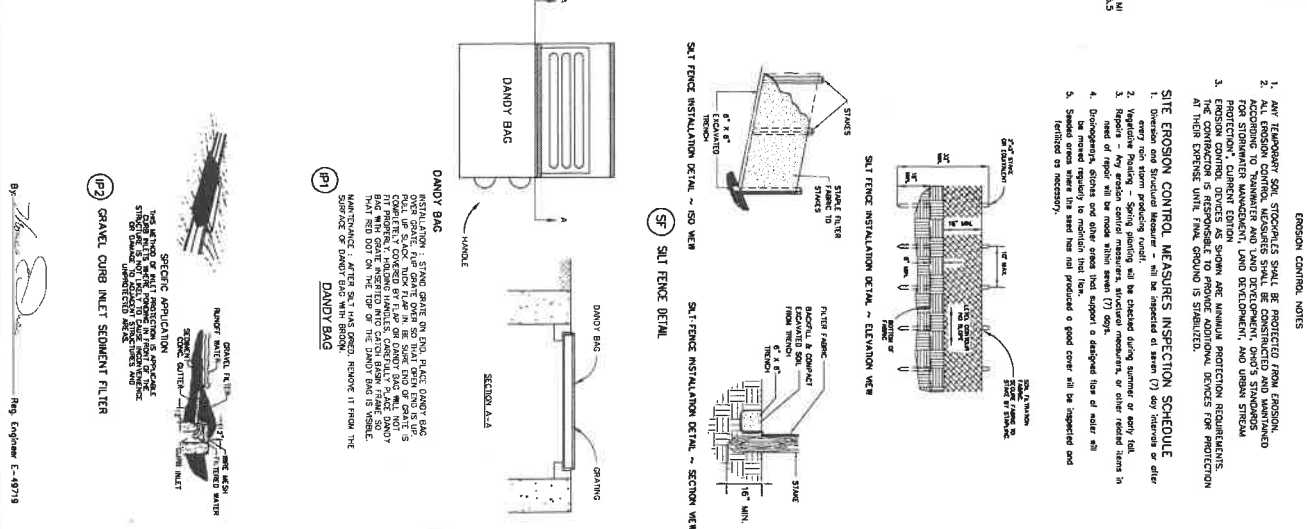




**SEDIMENTATION/EROSION CONTROL LEGEND**

- (P1) - INDICATES INLET PROTECTION FOR VARD INLETS
- (P2) - INDICATES INLET PROTECTION FOR PAVEMENT INLETS
- (P3) - INDICATES INLET PROTECTION FOR PAVEMENT INLETS
- DRAINAGE ARROWS INDICATING DRAINAGE FLOW

*Concrete Washout  
Straw Bubbles  
Surrounding Basin*



PROJECT No: E3447		No.	DATE	REVISION
DATE 03-26-25				
SCALE 1" = 20'				
DES. TED				
DR. JRC				
CKD. TED				

**HERITAGE CHRISTIAN CHURCH BUILDING ADDITION**  
7171 WILMINGTON PIKE  
CITY OF BELLBROOK  
GREENE COUNTY, OHIO

**EROSION CONTROL PLAN**

**HOLEY-DUSA**  
Engineering & Surveying Group, LLC  
2710 Roney Road Drive, Suite 203  
Dayton, Ohio 45424  
Phone: (937) 439-4300 Fax: (937) 439-2005

**SHEET NO. C4**



**DISCLAIMER:**  
The data and maps provided herein may not be construed as a legal document or legal representation. Any person or entity who relies on this data does so solely at their own risk. The data provided was prepared by Greene County in accordance with Section 5713.09 of the Ohio Revised Code. Neither Greene County, Ohio nor its employees or officers warrant the accuracy, reliability, or timeliness of any of the data provided herein. This data is provided "as is" without warranty of any kind, and assumes no legal responsibility for the information it contains.



23







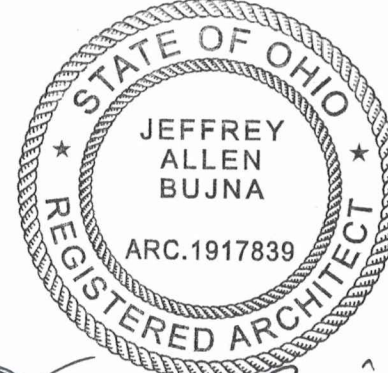




Myler Church Building Systems  
Planners, Designers, Builders, Inc.  
970 North Englewood Drive  
Crawfordsville, IN 47933  
(800) 878-4945

http://www.myler.com

Caring People Serving Dynamic Ministries



JEFF BUJNA  
ARCHITECT  
970 N. ENGLEWOOD DRIVE  
CRAWFORDSVILLE, IN 47933  
PH: 765-362-3353

HERITAGE CHRISTIAN CHURCH  
FELLOWSHIP HALL ADDITION  
DAVID LADD, MINISTER  
7171 WILMINGTON PIKE  
CENTERVILLE, OHIO 45459

ISSUED DATE		DR. BY	CHK. BY	DESCRIPTION
EV. #	DATE	JAB	JAB	----
1	3-3-2025	ROB	JAB	FINAL WORKING DRAWINGS
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-
6	-	-	-	-
7	-	-	-	-
8	-	-	-	-
9	-	-	-	-
10	-	-	-	-

## FIRE AND LIFE SAFETY PLAN

SHEET

**FS1.1**

## CODE REVIEW

<u>CONSTRUCTION CODE:</u>	2024 OHIO BUILDING CODE ( 2021 INTERNATIONAL BUILDING CODE AMENDED)
<u>PLUMBING CODE:</u>	2024 OHIO PLUMBING CODE (2021 INTERNATIONAL PLUMBING CODE AMENDED)
<u>MECHANICAL CODE:</u>	2024 OHIO MECHANICAL CODE ( 2021 OHIO INTERNATIONAL MECHANICAL CODE AMENDED)
<u>ELECTRICAL CODE:</u>	2024 OHIO ELECTRICAL CODE NFPA 70-2023 AMENDED)
<u>FIRE/LIFE SAFETY:</u>	2017 OHIO FIRE CODE W/JAN. 2019 ERRATA
<u>ACCESSIBILITY CODE:</u>	2010 APA STANDARDS
<u>ENERGY CODE:</u>	2021 OHIO ENERGY CODE (IECC 2021 AMENDED)
<u>GAS CODE:</u>	2021 INTERNATIONAL FUEL GAS CODE
<u>OCCUPANT LOAD:</u>	282 (SEE OCCUPANT LOAD CHART)

PROJECT: HERITAGE CHRISTIAN CHURCH

LOCATION: 7171 WILMINGTON PIKE  
DAYTON, OHIO 45459

MIXED OCCUPANCY NONSEPARATED USE: ASSEMBLY USE GROUP "A-3" CHURCH

TYPE OF CONSTRUCTION: TYPE VB-NS

FIRE RESISTANCE RATING REQUIREMENTS: RATING OPENING PROTECTION

EXTERIOR WALL (LOAD BEARING)	0-HOUR	N/A
EXTERIOR WALL (NON-LOAD BEARING)	0-HOUR	N/A
FIRE SEPARATION ASSEMBLIES		
ENCLOSURE OF VERTICAL EXITS (STAIRWAY)	0-HOUR	N/A
SHAFTS AND ELEVATOR HOISTWAYS	0-HOUR	N/A
SMOKE BARRIERS	0-HOUR	N/A
EXIT ACCESS CORRIDORS	0-HOUR	N/A
NONBEARING PARTITIONS (INTERIOR)	0-HOUR	N/A
FIRE SEPARATION WALLS	0-HOUR	N/A

FIRE RESISTANCE RATING REQUIREMENTS: RATING OPENING PROTECTION

INTERIOR LOAD BEARING WALLS, LOAD BEARING PARTITIONS, COLUMNS, GIRDERS/TRUSSES (OTHER THAN ROOF TRUSSES) AND FRAMING	0-HOUR	N/A
PRIMARY STRUCTURAL FRAME	0-HOUR	N/A
FLOOR CONSTRUCTION INCLUDING BEAMS	0-HOUR	N/A
ROOF CONSTRUCTION, INCLUDING BEAMS, TRUSSES, FRAMING, ARCHES AND ROOF DECK	0-HOUR	N/A

BUILDING PROPERTIES:

AREAS OF BLDG.	ASSEMBLY "A-3"
<u>TOTAL BUILDING AREA PROPOSED</u>	
FIRST FLOOR EXISTING	6,423 SQ. FT.
MEZZANINE EXISTING	965 SQ. FT.
FIRST FLOOR NEW	1,965 SQ. FT.
TOTAL SQ. FT.	8,388 SQ. FT.
ALLOWABLE AREA:	6000 SQ. FT.
NO. OF STORIES PROPOSED:	1 STORY
NO. OF STORIES ALLOWABLE:	1
BLDG. HEIGHT PROPOSED:	28'-3" +/-
BLDG. HEIGHT ALLOWABLE:	40'-0"
ALLOWABLE BUILDING LIMITATIONS	ASSEMBLY "A-3"
AREA INCREASE MODIFICATIONS:	AREA ALLOWABLE + 6000 + (6000x.75)
ALLOWABLE HEIGHT MODIFICATIONS:	N.A.
MAXIMUM ALLOWABLE AREA:	10,500 SQ. FT.

NOTES:

MECHANICAL ROOMS

N.A.

STORAGE ROOMS (OVER 100<sup>sq</sup>) - 1 HOUR WITH SMOKE PARTITIONS. (WALLS TO DECK ABOVE)

### PLUMBING FIXTURE ANALYSIS:

(W = WOMEN M = MEN P = PERSONS C = CHILDREN D.F. = DRINKING FOUNTAIN)

WORKSHOP CENTER (SANCTUARY):

	TOILETS (WC)	LAVATORIES	URINALS	D.F.	SERVICE SINK
CODE	1 PER 75 W	1 PER 200 W		1 PER 1000 P	1 REQ'D
REQ.	1 PER 150 M	1 PER 200 M	≤ 50% OF WC		

MAXIMUM OCCUPANCY = 282 (SANCTUARY) / 2 = 141 M & 141 W

REQUIRED UNITS:

WOMEN	2	1	1		
MEN	1	1	1	1	1
UNISEX	0	0	0		

NEW ACTUAL UNITS:

EXIST. WOMEN	2	2	--		
EXIST. MEN	2	1	--	N.A.	N.A.
EXISTING				1	
NEW UNISEX	2				

ROOM #	ROOM NAME	AREA SF	SF/PERSON	CAPACITY
100	NEW FELLOWSHIP HALL	1889	15	126
101	NEW S.S. CLASSROOM	734	20	37
102	NEW TOILET ROOM	66	0	0
103	NEW TOILET ROOM	66	0	0
104	NEW STORAGE	45	200	1
XXX	EXISTING SANCTUARY	1901	0	270
XXX	EXISTING PLATFORM	174	15	12
XXX	EXISTING CHOIR AREA	45	0	19
XXX	EXISTING ORGAN/PIANO	45	0	19
XXX	EXISTING DRESSING RM	126	50	3
XXX	EXISTING DRESSING RM	126	50	3
XXX	EXISTING LIBRARY	135	100	2
XXX	EXISTING VESTIBULE	269	0	0
XXX	EXISTING STUDY	174	100	2
XXX	EXISTING OFFICE	117	100	2
XXX	EXISTING NURSERY	204	20	11
XXX	EXISTING HALLWAY	403	0	0
XXX	EXISTING MECHANICAL RM	183	300	1
XXX	EXISTING HALLWAY	482	0	0
XXX	EXISTING MENS TOILET RM	88	0	0
XXX	EXISTING WOMENS TOILET RM	88	0	0
XXX	EXISTING KITCHEN	160	200	1
XXX	EXISTING BAPTISTRY	184	0	0
XXX	EXISTING STORAGE	74	200	1
XXX	EXISTING MEZZANINE (PEWS)	683	-	72

## EGRESS NOTES

**EXIT SIGNS:** ALL MEANS OF EGRESS SHALL BE INDICATED WITH SIGNS READING "EXIT", VISIBLE FROM THE EXIT ACCESS AND, SUPPLEMENTED BY DIRECTIONAL SIGNS IN THE EXIT ACCESS CORRIDORS INDICATING THE DIRECTION AND WAY OF EGRESS. ALL "EXIT" SIGNS SHALL BE LOCATED AT EXIT DOORS OR EXIT ACCESS AREAS, SO AS TO BE READILY VISIBLE. SIGN PLACEMENT SHALL BE SUCH THAT ANY POINT IN THE EXIT ACCESS SHALL NOT BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. "EXIT" SIGNS SHALL HAVE LETTERS AT LEAST 6" HIGH AND THE MINIMUM WIDTH OF EACH STROKE SHALL BE 3/4" ON A WHITE BACKGROUND OR IN OTHER APPROVED DISTINGUISHABLE COLORS. THE WORD "EXIT" EXCEPT THE LETTER I, SHALL HAVE LETTERS HAVING A WIDTH OF NOT LESS THAN 2 INCHES AND THE MINIMUM SPACING BETWEEN LETTERS SHALL NOT BE LESS THAN 3/8". EACH SHALL BE ILLUMINATED BY A SOURCE PROVIDING NOT LESS THAN 5 FOOTCANDLES AT THE ILLUMINATED SURFACE AND SHALL HAVE A CONTRAST RATIO OF NOT LESS THAN 0.5. THE "EXIT" SIGN SHALL BE ILLUMINATED AT ALL TIMES. TO ASSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 1 HOUR IN CASE OF PRIMARY POWER LOSS, THE "EXIT" SIGN SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM.

**EGRESS LIGHTING:** ALL MEANS OF EGRESS SHALL BE EQUIPPED WITH ARTIFICIAL LIGHTING TO INCLUDE ACCESS CORRIDORS, STAIRS AND EXTERIOR EXIT DISCHARGE. THE INTENSITY OF LIGHTING AT FLOOR LEVEL SHALL NOT BE LESS THAN 1 FOOTCANDLE. THE MINIMUM LIGHTING IN THE SANCTUARY AISLES SHALL BE 2 FOOTCANDLES. THE MEANS OF EGRESS LIGHTING SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM THAT WILL ASSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN ONE HOUR IN CASE OF EMERGENCY OR PRIMARY POWER LOSS.

**ADA EGRESS DOORS:** ALL MEANS OF EGRESS SHALL BE EQUIPPED WITH DOORS, FRAMES AND HARDWARE THAT COMPLY WITH THE AMERICAN WITH DISABILITIES ACT WITHOUT EXCEPTION.

**LABEL EGRESS DOORS:** ALL MEANS OF EGRESS SHALL BE EQUIPPED WITH LABEL FIRE RATED ASSEMBLIES WITH CLOSERS. DOORS AND FRAMES SHALL BE LABELED OR PROVIDE OTHER APPROVED IDENTIFICATION SHOWING THE NAME OF THE MANUFACTURER AND THE FIRE PROTECTION RATING (SEE DOOR SCHEDULE).

### FIRE EXTINGUISHER PLACEMENT

\*VERIFY EXISTING AND NEW FIRE EXTINGUISHER LOCATIONS WITH LOCAL AUTHORITY.

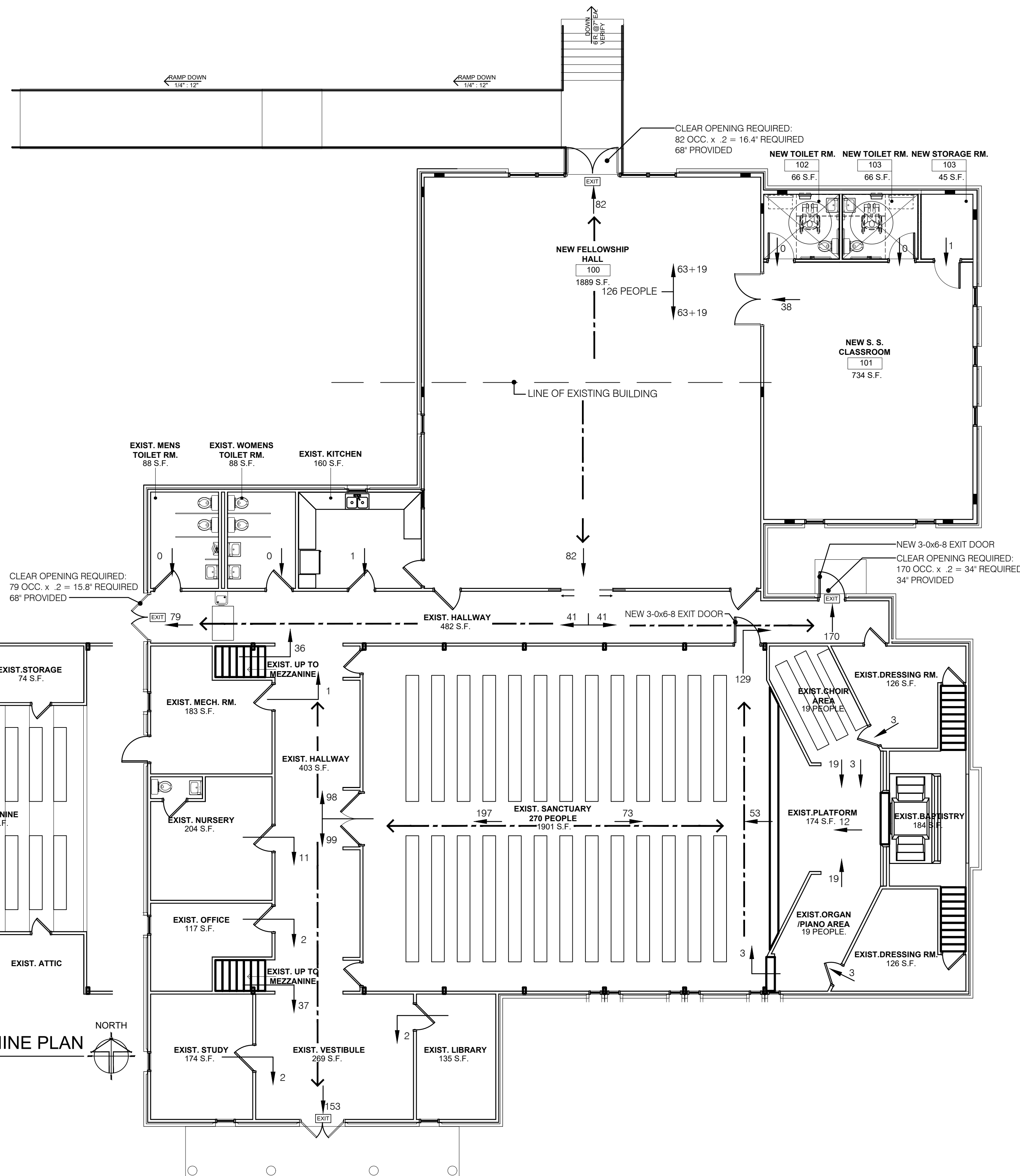
\* FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE.

\*FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS.

\*FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS WHERE THEY ARE VISIBLE

\*IN ROOMS AND IN LOCATIONS WHERE VISUAL OBSTRUCTIONS CANNOT BE AVOIDED, SIGNS OR OTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATION.

\*FIRE EXTINGUISHERS SHALL BE PERMITTED TO BE INSTALLED IN FIRE EXTINGUISHER CABINETS PROVIDED THE EXTINGUISHER IS VISIBLE OR SIGNS OR OTHER MEANS ARE PROVIDED TO INDICATE THE EXTINGUISHER LOCATION.



## FIRE AND LIFE SAFETY FLOOR PLAN

SCALE: 1/8" = 1'-0"

## CODE PLAN LEGEND

→	EGRESS PATH	MEANS OF EGRESS PATH	WALL TYPE TAG
ADA DRINKING FOUNTAIN	1 HOUR FIRE PARTITION	FIRE EXTINGUISHER CABINET (NOTE: LOCAL AUTHORITY SHALL DESIGNATE THE AMOUNT AND LOCATION AS REQUIRED BY CODE)	
1 HOUR RATED CORRIDOR WALL	EXIT	INDICATES EXIT SIGN	

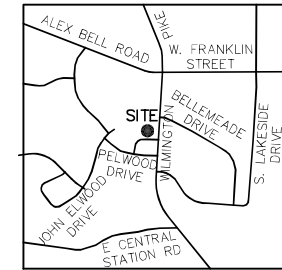








**RECORD PLAT** Item A. Section 5, Item  
**HERITAGE CHRISTIAN CHURCH PLAT**  
 LOCATED IN SECTION 7, TOWN 2, RANGE 6 M.R.S., AND  
 BEING A REPLAT OF  
 LOT NUMBERS 11, 12, 13 & 14  
 ARLINGTON VILLAGE SECTION ONE PLAT  
 CITY OF BELLBROOK  
 GREENE COUNTY, OHIO  
 CONTAINING 1.7930 ACRES



VICINITY MAP  
 APPROX. SCALE: 1" = 2000'

**SURVEY REFERENCES:**

- GREENE COUNTY:**  
 • PLATS: ARLINGTON VILLAGE SECTION ONE  
 PLAT BOOK 11, PAGEA 10 & 11  
 (AKA P.C.V. 33, PGS. 32A & B)  
 • SURVEYS: SUR. VOL. 19, PG. 168  
 • DEEDS:  
 DEED NO. 2018016993  
 DEED NO. 2024000792  
**MONTGOMERY COUNTY:**  
 • PLATS: PELBROOK FARM SECTION FIVE  
 PLAT BOOK 104, PAGE 48  
 • SURVEYS: SUR. VOL. 2007, PG. 0369  
 • DEEDS:  
 I.R. DEED NO. 23-064527

**CERTIFICATION:**

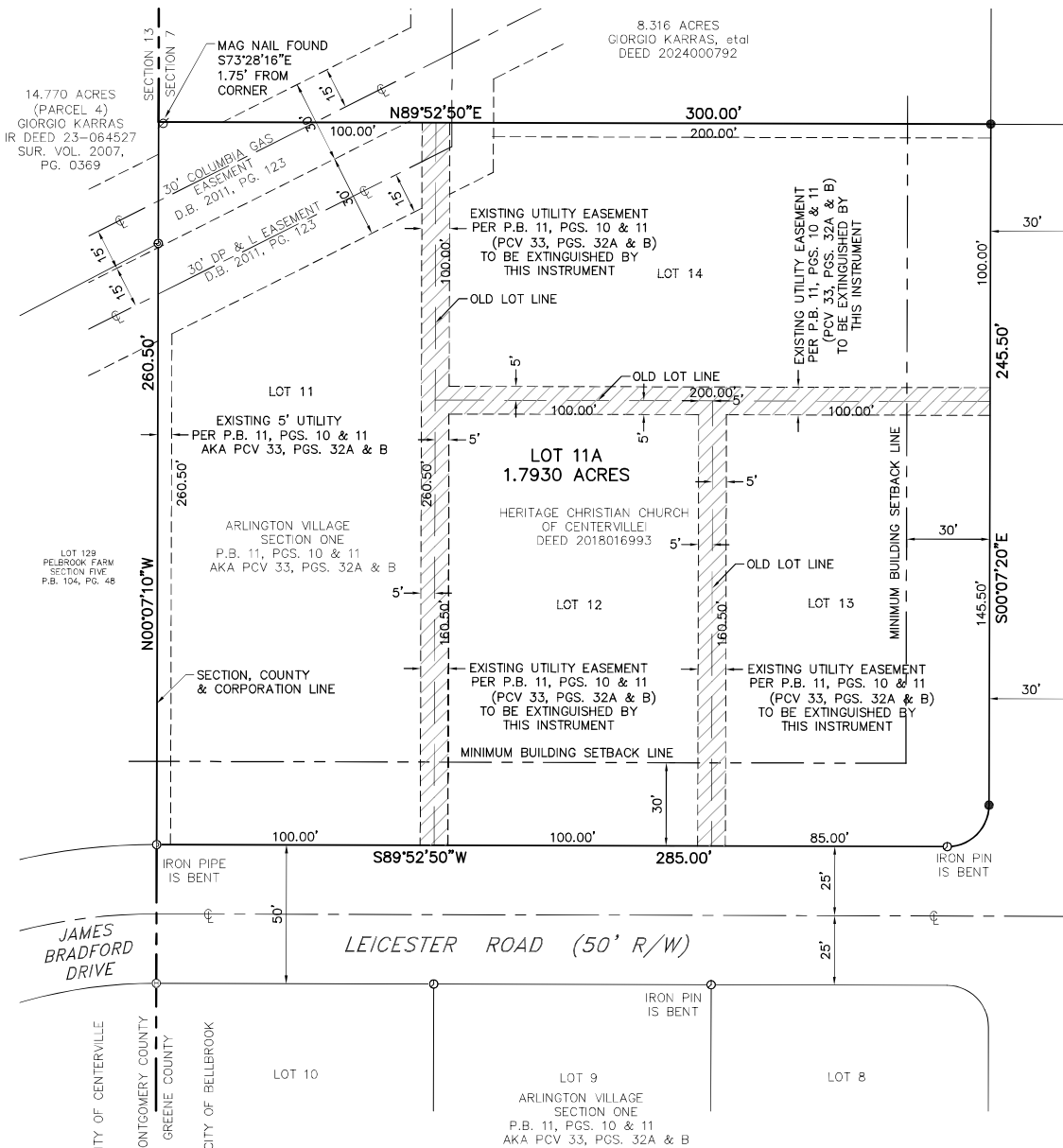
I hereby certify that this plat was prepared in accordance with Ohio Administrative Code Chapter 4733.37 Standards for Surveys and also conforms to the Ohio Revised Code Chapter 711 for Record Plans and was conducted under my supervision based on field work in December, 2024. All measurements are correct and monuments are to be set on all lot corners as shown.

Thomas E. Dusa, P.S.  
 OHIO LICENSE NO. S-7143



**BASIS OF BEARINGS:**  
 • NORTH LINE OF ARLINGTON VILLAGE SECTION ONE  
 AS RECORDED IN P.B. 11, PGS. 10 & 11  
 (AKA PCV 33, PGS. 32A & B)  
 BEARING = N 89°52'50" E

**CURVE DATA**  
 R=15.00'  
 L=23.56'  
 Δ=90°00'10"  
 T=15.00'  
 Ch Br=S 44°52'45" W  
 Ch=21.21'



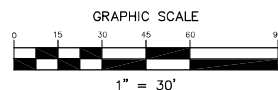
**LEGAL DESCRIPTION**

SITUATE IN SECTION 7, TOWN 2, RANGE 6 M.R.S., CITY OF BELLBROOK, COUNTY OF GREENE, STATE OF OHIO AND BEING A REPLAT OF ALL OF LOTS 11, 12, 13 AND 14 OF THE ARLINGTON VILLAGE SECTION ONE PLAT AS RECORDED IN P.B. 11, PGS. 10 & 11 (NOW KNOWN AS P.C.V. 33, PGS. 32A & 32B), ALL AS CONVEYED TO THE HERITAGE CHRISTIAN CHURCH OF CENTERVILLE BY DEED AS RECORDED IN DEED 201806993.

CONTAINING 1.7930 ACRES, SUBJECT TO ALL LEGAL HIGHWAYS, EASEMENTS AND RESTRICTIONS OF RECORD.

**SYMBOL LEGEND**

- ⊙ - 1/2" IRON PIPE FOUND
- ⊙ - 3/4" IRON PIPE FOUND
- ⊙ - 5/8" IRON PIN FOUND
- ⊙ - IRON PIN FOUND WITH "HALEY DUSA" ID CAP
- ⊙ - MAG NAIL FOUND
- - IRON PIN SET W/ PLASTIC ID CAP STAMPED "HALEY DUSA 7143"



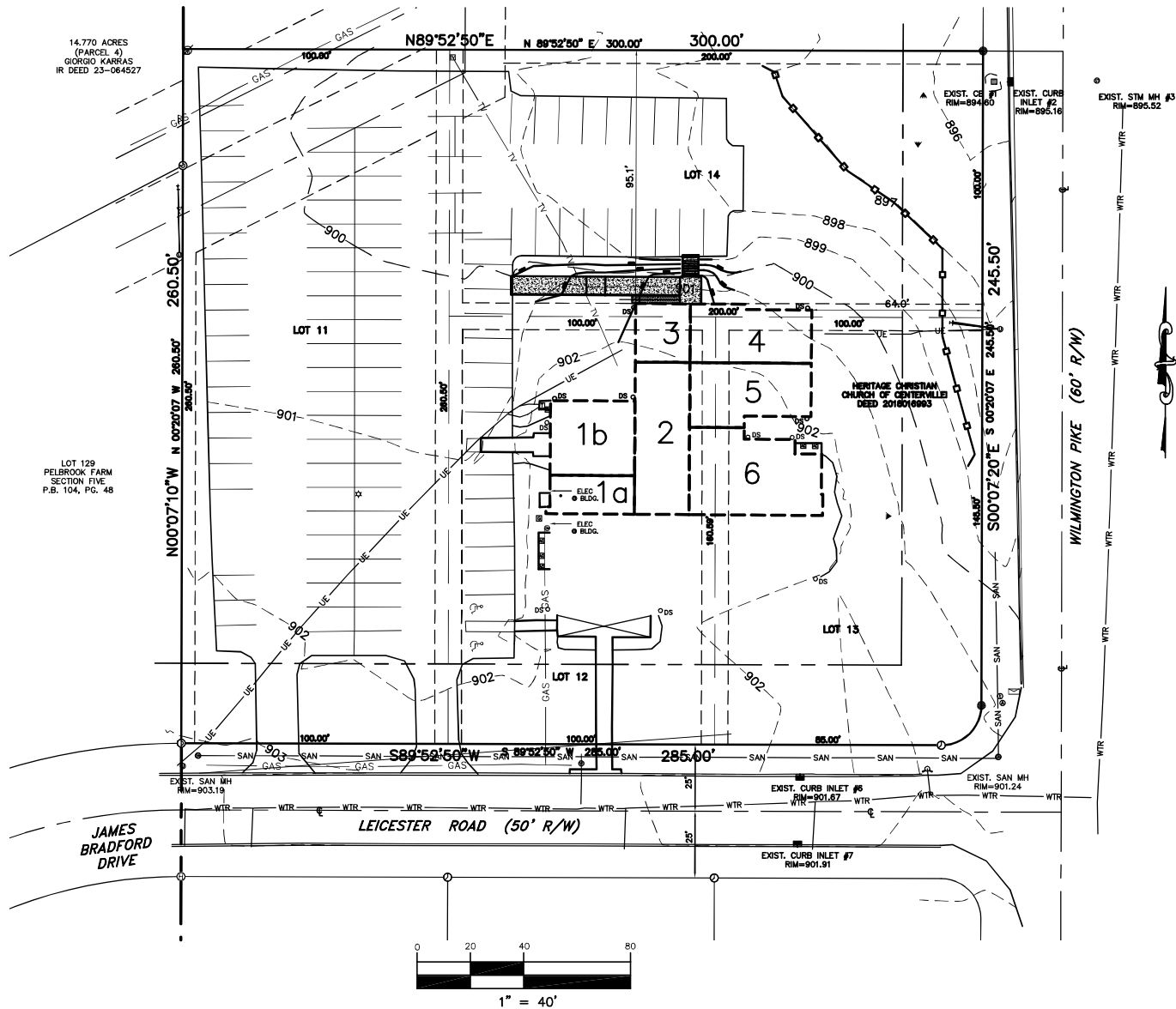
— AREAS OF EXISTING UTILITY EASEMENTS AS RECORDED IN P.B. 11, PG. 10 & 11 (PCV 33, PGS 32A & B) TO BE EXTINGUISHED BY THIS INSTRUMENT

SHEET 1 OF 2



**Haley-Dusa**  
 Engineering & Surveying Group, LLC  
 270 Regency Ridge Drive, Suite 203  
 Dayton, Ohio 45459  
 Phone: (937) 439-4300 Fax: (937) 439-2005  
 Email: haleydusa@haleydusa.com  
 Website: www.haleydusa.com

Scale: 1" = 30'	Drawn: JRC	Checked:	28
Date: MARCH 25, 2025	Job No. E3447		



## BUILDING DRAINAGE AREAS

- 1a (a)=462 sf =0.0106 ac  
L=14' SL=67%  
(C)=0.95  $t_c$ =1 min  
I-100= 9.36 in/hr  
Q-100= 0.09 cfs
- 1b (a)=888 sf =0.0204 ac  
L=28' SL=25%  
(C)=0.95  $t_c$ =2 min  
I-100= 8.78 in/hr  
Q-100= 0.17 cfs
- 2 (a)=1170 sf =0.269 ac  
L=48' SL=67%  
(C)=0.95  $t_c$ =2 min  
I-100= 8.78 in/hr  
Q-100= 0.23 cfs
- 3 (a)=451 sf =0.0104 ac  
L=20' SL=67%  
(C)=0.95  $t_c$ =1 min  
I-100= 8.78 in/hr  
Q-100= 0.09 cfs
- 4 (a)=951 sf =0.0218 ac  
L=29' SL=67%  
(C)=0.95  $t_c$ =2 min  
I-100= 8.78 in/hr  
Q-100= 0.19 cfs
- 5 (a)=1000 sf =0.0230 ac  
L=29' SL=67%  
(C)=0.95  $t_c$ =2 min  
I-100= 8.78 in/hr  
Q-100= 0.20 cfs
- 6 (a)=1450 sf =0.0333 ac  
L=37' SL=67%  
(C)=0.95  $t_c$ =2 min  
I-100= 8.78 in/hr  
Q-100= 0.28 cfs

5/5



**Haley-Dusa**  
Engineering & Surveying Group, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459  
Phone: (937) 439-4300 Fax: (937) 439-2005  
Email: haleydusa@haleydusa.com  
Website: www.haleydusa.com

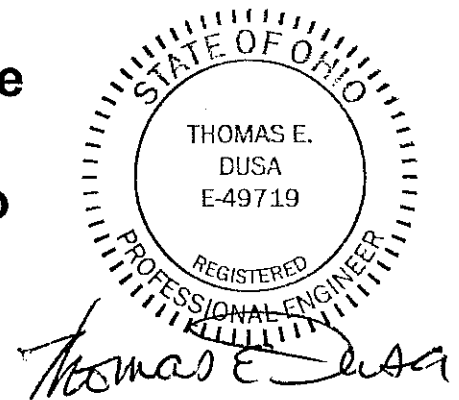
Scale: 1" = 40'	Drawn: JRC	Checked: TED
Date: MARCH 26, 2025	Job No. E3447	

## **DRAINAGE ANALYSIS**

**Owner: Heritage Christian Church**

**Location: 7171 Wilmington Pike  
Bellbrook  
Greene County, Ohio**

**Project No.: E-3447**



**Project: Develop a site for a new Church Building  
Addition with access ramp to parking lot**

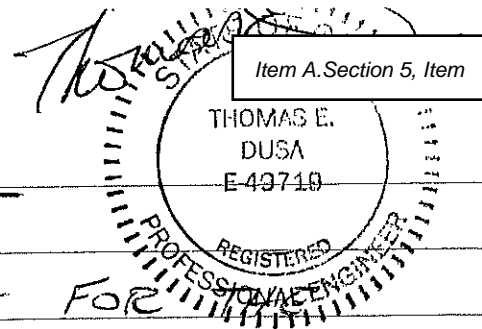
**HALEY-DUSA ENGINEERING AND  
SURVEYING GROUP, LLC  
270 Regency Ridge Drive, Suite 203  
Dayton, Ohio 45459**

**Engineer: Thomas E. Dusa P.E., P.S.**

**March 26, 2025**

2/5

## DRAINAGE ANALYSIS



THE EXISTING DRAINAGE FOR HERITAGE CHRISTIAN CHURCH AT 7171 WILMINGTON PIKE IN BELLBROOK, GREEN COUNTY, OHIO USES AN OVERLAND SURFACE SYSTEM OVER GROUND GRADED AWAY FROM THE EXISTING CHURCH BUILDING. THERE ARE NO NOTABLE DRAINAGE ISSUES.

THIS PROJECT ADDS AN ADDITION TO THE NORTH SIDE OF THE CHURCH AND A RAMP TO ALLOW THE PATRONS WALK TO AND FROM THE NEW BACK DOOR TO THE EXISTING PARKING LOT.

THE DRAINAGE FOR THE NEW ADDITION AND RAMP WAS DESIGNED TO FOLLOW THE EXISTING OVERLAND SURFACE FLOW. THE NEW ROOF SLOPES CONNECTED WITH THE EXISTING ROOF SLOPES AND DIRECTED THE ROOF DRAINAGE TO A NEW GUTTER SYSTEM AND THEN TO NEW DOWNSPOUTS. DOWNSPOUT FLOWS WERE CALCULATED ON A WORSE CASE BASIS. WE USED A ROUGHNESS COEFFICIENT OF 0.95, MINIMAL  $z_c$  (TIMES OF CONCENTRATION) OF 2 MIN AND 1 MIN, AND A 100 YEAR RAINFALL INTENSITY ( $I_{100}$ ).

THIS RESULTED IN CALCULATING A 100 YEAR FLOW ( $Q_{100}$ ) FOR EACH DOWNSPOUT.

THIS INFORMATION IS SHOWN ON SHEET (5).

THE DOWNSPOUTS DIRECTED ROOF DRAINAGE TO AN OPEN AIR SPLASH BLOCK NEAR THE BUILDING FOUNDATION. IT IS AT THIS POINT THE WATER GOES FROM A CLOSED SYSTEM TO AN OPEN SYSTEM; WHERE IT WILL FLOW OVERLAND AND EVENTUALLY SEEP INTO THE SOIL.

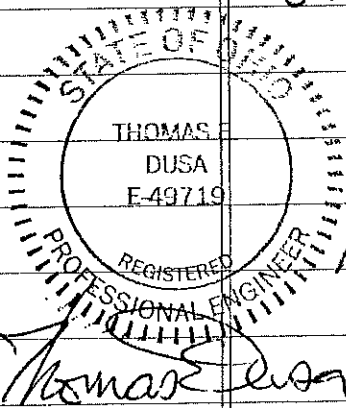
TO CALCULATE THE OVERLAND FLOW WE USED A WORSE-CASE  $Q_{100}$  AND AN ACCEPTABLE FLOW VELOCITY FOR SEED LINING ON LOOSE SOIL. WE USED A  $Q_{100}$  OF 0.30 CFS AND A FLOW VELOCITY OF 1.5 FPS.

$$Q = A \times V \Rightarrow A = \frac{Q}{V} = \frac{0.30 \text{ CFS}}{1.5 \text{ FPS}} = 0.2 \text{ ft}^2$$

IF WE ASSUME A 3 FT WIDE DRAINAGE SWATH THEN THE DEPTH EQUALS

$$\frac{0.2 \text{ ft}^2}{3 \text{ ft}} = 0.0667' \approx 0.8''$$

WITH THE MIN SLOPES GRADING AWAY FROM

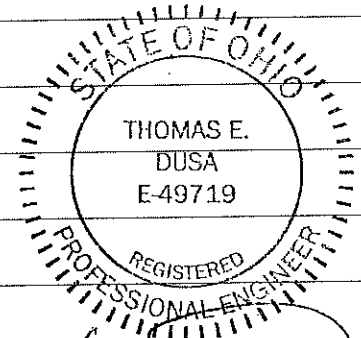




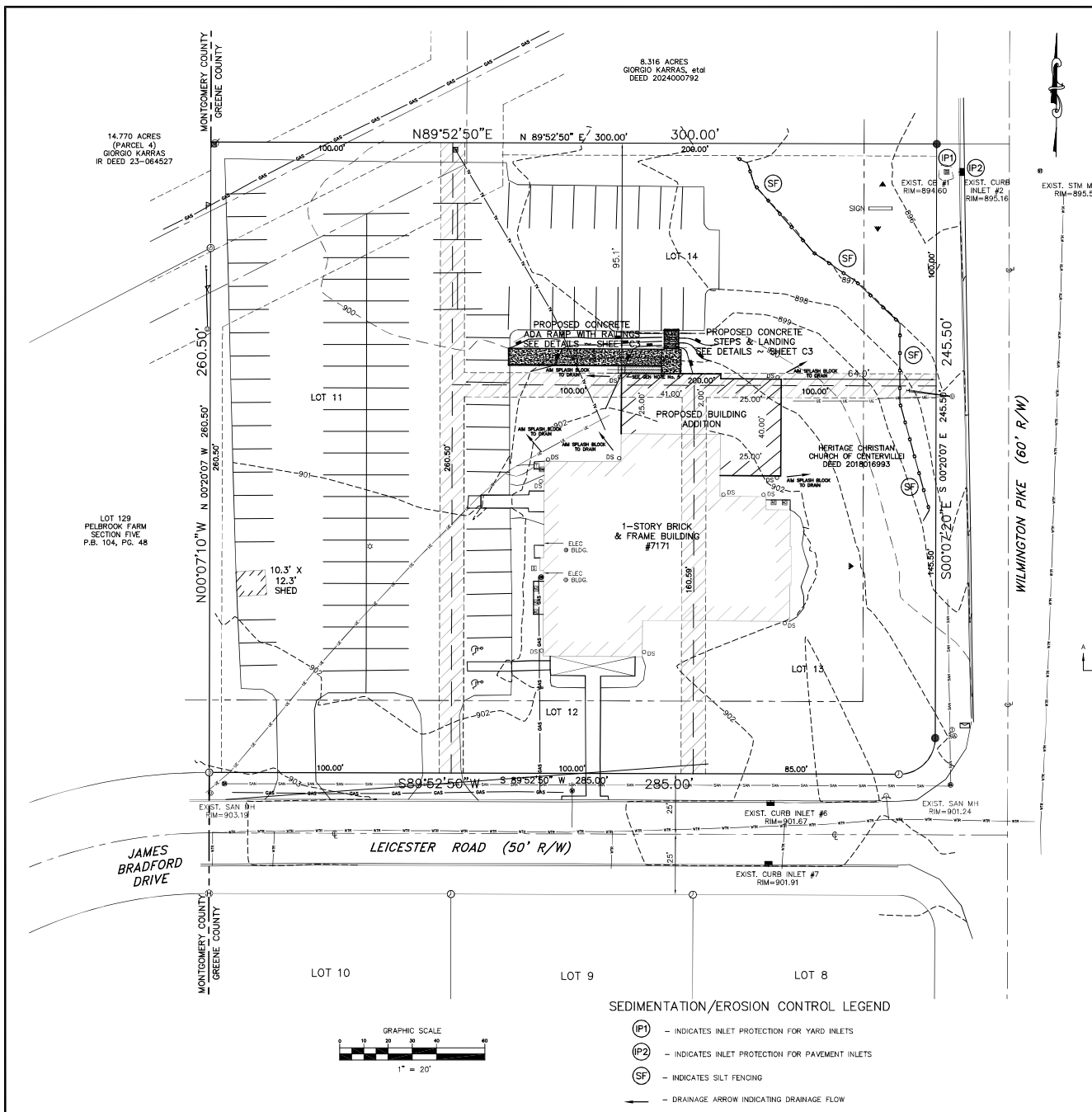
4/5

THE BUILDING @ A MINIMUM @ 4.5%  
THE WATER WILL PERICULATE INTO  
THE GROUND WITHIN 15 FT.

(PLEASE NOTE ALL THE VALUES  
USED IN ASSESSING THIS DRAINAGE  
WERE WORST-CASE SCENARIOS AND  
HAVE MINIMAL CHANCES OF OCCURRING  
CONSISTANTLY OVER A LONG PERIOD OF  
TIME).

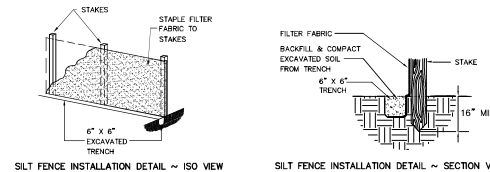
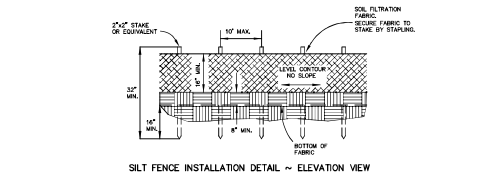


Thomas E. Dusa

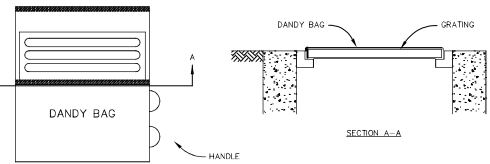


- EROSION CONTROL NOTES
1. ANY TEMPORARY SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION.
  2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO "RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT, AND URBAN STREAM PROTECTION", CURRENT EDITION.
  3. EROSION CONTROL DEVICES AS SHOWN ARE MINIMUM PROTECTION REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL DEVICES FOR PROTECTION AT THEIR EXPENSE UNTIL FINAL GROUND IS STABILIZED.

- SITE EROSION CONTROL MEASURES INSPECTION SCHEDULE
1. Diversion and Structural Measures - will be inspected at seven (7) day intervals or after every rain storm producing runoff.
  2. Vegetative Planting - Spring planting will be checked during summer or early fall.
  3. Repairs - Any erosion control measures, structural measures, or other related items in need of repair will be made within seven (7) days.
  4. Drainageways, ditches and other areas that support a designed flow of water will be mowed regularly to maintain that flow.
  5. Seeded areas where the seed has not produced a good cover will be inspected and fertilized as necessary.



(SF) SILT FENCE DETAIL

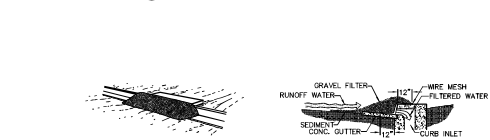


DANDY BAG

INSTALLATION: STAND GRATE ON END. PLACE DANDY BAG OVER GRATE. FLIP GRATE OVER SO THAT OPEN END IS UP. PULL UP SLACK. TUCK FLAP IN. BE SURE END OF GRATE IS COMPLETELY COVERED BY FLAP. IF DANDY BAG WILL NOT FIT PROPERLY, HOLDING HANDLES, CAREFULLY PLACE DANDY BAG WITH GRATE INSERTED INTO CATCH BASIN FRAME SO THAT RED DOT ON THE TOP OF THE DANDY BAG IS VISIBLE.

MAINTENANCE: AFTER SILT HAS DRIED, REMOVE IT FROM THE SURFACE OF DANDY BAG WITH BROOM.

(IP1) DANDY BAG



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE TO CURB INLETS AND ONLY TO CURB INLETS OF THE STRUCTURE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

By Thomas D. Dugan Reg. Engineer E-49719

PROJECT No.	DATE	REVISION
E3447	03-26-25	
DATE	03-26-25	
SCALE	1" = 20'	
DES.	TED	
DR.	JRC	
CKD.	TED	

Herley-Dugan Engineering Group, LLC  
14475 Duxbury Road, Suite 200  
Duxbury, Ohio 44829  
Phone (419) 452-4200 Fax (419) 452-2008

HERITAGE CHRISTIAN CHURCH  
BUILDING ADDITION  
7171 WILMINGTON PIKE  
CITY OF BELLBROOK  
GREENE COUNTY, OHIO  
EROSION CONTROL PLAN

SHEET NO.

C4

# PLANNING BOARD DECISION RECORD

Item A. Section 5, Item

Decision No. PB 25-02

April 17, 2025

## City of Bellbrook State of Ohio

### Planning Board Decision Record PB 25-02

WHEREAS, on March 26, 2025, the applicant, Heritage Christian Church of Centerville, requested the lot combination of four parcels: Lot 11 (L35000200130014600), Lot 12 (L35000200130014500), Lot 13 (L35000200130014400), and Lot 14 (L35000200130014300) (Planning Board Case PB 25-02); and

WHEREAS, the requesting application indicates the properties at Parcel IDs L35000200130014600, L35000200130014500, L35000200130014400, and L35000200130014300 are four separate lots; and

WHEREAS, the requesting application indicates that the proposed lot reconfiguration creates Lot 11A, measuring 1.7930 acres; and

WHEREAS, the requesting application indicates the proposed use of the lot combination is the future construction of an addition to the existing principal structure; and

WHEREAS, Articles 20 and 21 of the Bellbrook Zoning Code give the Planning Board authority to make a decision on the proposed lot combination for the properties at Parcel IDs L35000200130014600, L35000200130014500, L35000200130014400, and L35000200130014300; and

WHEREAS, on April 17, 2025, the City of Bellbrook Planning Board met in an open, public forum and fully discussed the details of the applicant's request per Planning Board Case PB 25-02.

**NOW, THEREFORE, BE IT RESOLVED** by the City of Bellbrook Planning Board that:

Section 1. There was a valid motion placed on the floor to approve the proposed lot combination for the properties at Parcel IDs L35000200130014600, L35000200130014500, L35000200130014400, and L35000200130014300 (Planning Board Case PB 25-02) in accordance with the Staff Report and attachments hereto dated April 11, 2025, with the following stipulations:

- a. The lot reconfiguration must be recorded with the Greene County, Ohio Tax Map Department and/or Recorder within one year of approval.

Section 2. That it is found and determined that all formal actions of the Planning Board relating to the adoption of this Decision Record Resolution were adopted in an open meeting of this Board and that all deliberations of this Board and any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements, including §121.22 of the Revised Code of the State of Ohio.

MOTION STATED BY: \_\_\_\_\_ SECONDED BY: \_\_\_\_\_

Roll call vote showed \_\_\_ Yeas and \_\_\_ Nays.

Motion to approve is \_\_\_\_\_ this 17<sup>th</sup> day of April 2025.

# PLANNING BOARD DECISION RECORD

*Item A. Section 5, Item*

Decision No. PB 25-02

April 17, 2025

## AUTHENTICATION:

---

Denny Bennett, Planning Board Chairperson

---

Rob Schommer, Clerk/Secretary