



AGENDA
PLANNING COMMISSION
7651 E. Central Park Ave, Bel Aire, KS
September 12, 2024 6:30 PM



I. Call to Order

II. Roll Call

James Schmidt ____ John Charleston ____ Edgar Salazar ____
Phillip Jordan ____ Dee Roths ____ Deryk Faber ____ Paul Matzek ____

III. Pledge of Allegiance to the American Flag

IV. Consent Agenda

A. **Approval of Minutes from Previous Meeting**

Action: Motion to approve the minutes of August 8, 2024.

Motion ____ Second ____ Vote ____

V. Old Business/New Business

A. **CON-24-02 - Property owner has requested to build an oversized private use shed, in an R-1 zoned district.**

Open hearing

Close hearing

Action: Motion to (recommend approval, deny, table) the Conditional Use Permit CON-24-02 (as presented / as amended).

Motion ____ Second ____ Vote ____

B. **PUD-24-02 - Proposed rezoning PUD to R-5 and R-6 single and multi-family uses from R-4, and to include C-1 commercial as zoned.**

Open hearing

Close hearing

Action: Motion to (recommend approval of/ deny / table) the preliminary Planned Unit Development (PUD-24-02) changing the zoning to R-5 and R-6 single and multi-family uses from R-4, and to include C-1 commercial as zoned.

Motion _____ Second _____ Vote _____

C. SD-24-03 - Proposed platting R-5 and R-6 single and multi-family uses, and to include C-1 commercial as zoned.

Open hearing

Close hearing

Action: Motion to (recommend approval / deny / table) the preliminary plat of SD-24-03 (as presented / as amended).

Motion _____ Second _____ Vote _____

D. PUD-24-03. Proposed Final PUD containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built (Bristol Hollows).

Open hearing

Close hearing

Action: Motion to (recommend approval / deny / table) the Final PUD containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built, (as presented / as amended).

Motion _____ Second _____ Vote _____

E. PUD-24-04 - Proposed Final PUD containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built (Chapel Landing).

Open hearing

Close hearing

Action: Motion to (recommend approval, deny, table) Final Planned Unit Development (PUD-24-04) containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built (as presented / as amended).

Motion _____ Second _____ Vote _____

VI. Approval of the date of the Next Meeting.

Action: Motion to approve the date of the next meeting: October 10, 2024 at 6:30 p.m.

Motion _____ Second _____ Vote _____

VII. Current Events

VIII. Adjournment

Action: Motion to adjourn.

Motion _____ Second _____ Vote _____

Additional Attachments:

[A.](#) Planning Staff Report - Sept 12, 2024



MINUTES PLANNING COMMISSION 7651 E. Central Park Ave, Bel Aire, KS August 08, 2024 6:30 PM



I. Call to Order: Chairman James Schmidt opened the meeting at 6:30 p.m.

II. Roll Call

Present were James Schmidt, John Charleston, Edgar Salazar, Phillip Jordan, Dee Roths, and Deryk Faber. Commissioner Edgar Salazar arrived later, after the vote for Item IV. A. Commissioner Paul Matzek was absent.

III. Pledge of Allegiance: Chairman Schmidt led the pledge of allegiance.

IV. Consent Agenda

A. Approval of Minutes from Previous Meeting

MOTION: Commissioner Roths moved to approve the minutes of July 11, 2024 as presented. Commissioner Faber seconded the motion. ***Motion carried 5-0.***

V. Old Business/New Business

- A. ZON2024-00031 (County).** The applicant is requesting a zone change from RR Rural Residential District (RR) to GC General Commercial District (GC) with Protective Overlay (PO) #439, to permit Construction Sales and Service (Tree Service/Lumber Yard), Event Center in the County, Community Assembly, and Single-Family residence on the property. The property is 10.79 acres in size and is located on the southwest corner of North 127th Street East and East 56th Street North (5601 North 127th Street East).

Chairman Schmidt opened the public hearing. Brad Eatherly, Senior Planner, presented a report and answered questions on behalf of the Wichita – Sedgwick County Metropolitan Area Planning Department, which has also reviewed the request, as the property lies in both the County and Bel Aire’s zones of influence.

The applicant, Robert Phillips, spoke and answered questions from the Commission regarding his business activities.

Michael Moore, 13200 E 55th St N, spoke in opposition to the requested zoning. His property is adjacent to the applicant’s property. Among other concerns, Mr. Moore cited truck traffic, noise until 10 or 11 at night, dumping of tree debris, large bonfires, and possible violations of burning permit restrictions on the applicant’s property. Mr. Moore also provided two packets of information to the Commission entitled “Wichita Tree Dump” and “5601 N 127th East – Changing Zoning request: Wichita Tree Company L.L.C” [*appended to these Minutes*].

Nadine Smith, 5445 N 127th Street E, Wichita, spoke in opposition to the requested zoning. Her property is adjacent to the applicant's property. She cited concerns about brush piles harboring rodents which have infested her property, and large burn piles located within a few feet of her property line which caused lingering smoke in her home for several days.

MOTION: Commissioner Faber moved to take a 20 -minute Executive Session. Commissioner Schmidt seconded the motion. ***Motion carried 6-0.***

The Commission then recessed for executive session. At 7:40 p.m. Chairman Schmidt called the meeting back to order in open session. City Attorney Maria Schrock noted that the Executive Session was taken for Attorney-Client privilege, the City Attorney and City Engineer were present and no binding action had been taken.

Pamela Phillips, 6111 Danbury, Bel Aire, Kansas, spoke in favor of the zoning request. She is the mother of the applicant. She has no concerns about safety or traffic on the property.

City Attorney Maria Schrock asked if any Commissioners had reason to be disqualified from consideration of this matter, due to any bias or conflicts of interest. Ms. Schrock asked if any Commission members had received any ex-parte communication prior to this hearing. Commissioner Dee Roths shared that she had some communications with neighbors about this matter, therefore she will not participate in the discussion or vote.

The applicant, Robert Phillips, spoke in response to the public comments and answered questions from the Commission. He stated that there would be no burning under the proposed zoning and the property would only be used for truck parking and a business office.

Chairman Schmidt asked if anyone wished to make further comments. Michael Moore spoke to the Commission again about his concerns about the activities on the subject property.

There being no others requesting to speak, Chairman Schmidt closed the public hearing and requested discussion from the Commission.

The Commission discussed the application in reference to "Golden Factors" of zoning including: the suitability of the property for the uses to which it has been restricted under its existing zoning; the character of the neighborhood; the relative gain to the public health, safety, and welfare by destruction of value of the applicant's property as compared to the hardship on other individual landowners; conformance with the comprehensive plan; and opinions of other property owners. Commissioners noted potential C-1 growth in the area, the recommendation of the Sedgwick County Planning Department, and the restrictions of the proposed Protective Overlay. Following discussion, Chairman Schmidt requested a motion.

MOTION: Chairman Schmidt moved to deny the request for zone change from RR Rural Residential District (RR) to GC General Commercial District (GC) with Protective Overlay (PO) #439 as presented. Commissioner Salazar seconded the motion. ***Motion carried 4-1*** with Commissioner Jordan voting against the motion and Commissioner Roths abstaining from the vote.

- B. SD-24-02 Preliminary Plat, Chapel Landing 8th.** Platting of an R-5 Residential District. The subject property is approximately 24.09 acres generally located at East 53rd Street N and Woodlawn Blvd.

Chairman Schmidt opened the public hearing.

Kris Rose, agent for the applicant, presented the preliminary plat and stood for questions from the Commission.

No others requested to speak. Chairman Schmidt closed the public hearing.

The Commission then discussed details of the plat including possible park/greenspace areas, the locations of entrances/exits, and expected traffic in the area.

MOTION: Commissioner Jordan moved to approve the Preliminary Plat of Chapel Landing 8th, SD-24-02, as presented with the request that one lot be committed to green space. Commissioner Faber seconded the motion. ***Motion carried 6-0.***

VI. Next Planning Commission Meeting

MOTION: Commissioner Faber moved to approve the date of the next meeting, September 12, 2024 at 6:30 p.m. Commissioner Roths seconded the motion. ***Motion carried 6-0.***

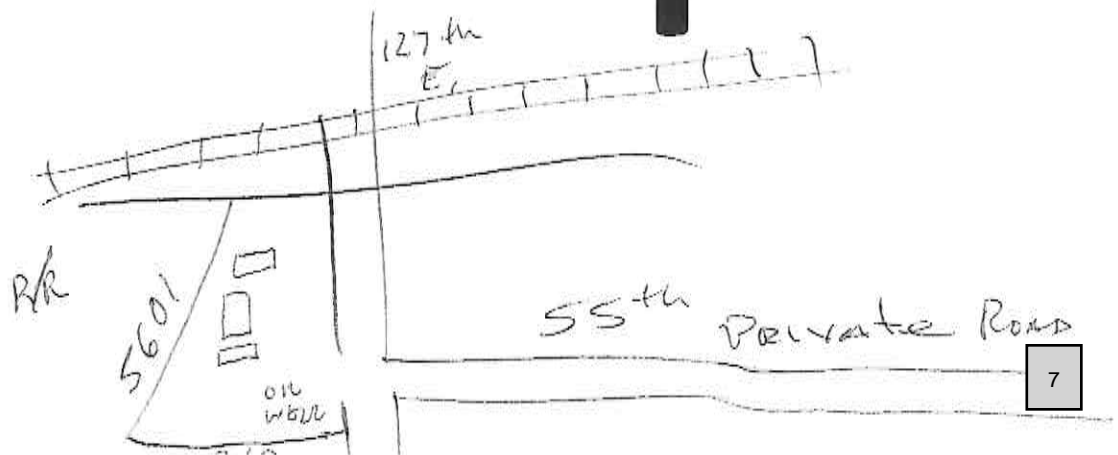
VII. Current Events

The Commission briefly discussed the recent ballot question that would allow the City to designate its website as the official publication of record. No action was taken.

VIII. Adjournment

MOTION: Commissioner Roths moved to adjourn. Commissioner Jordan seconded the motion. ***Motion carried 5-1.***

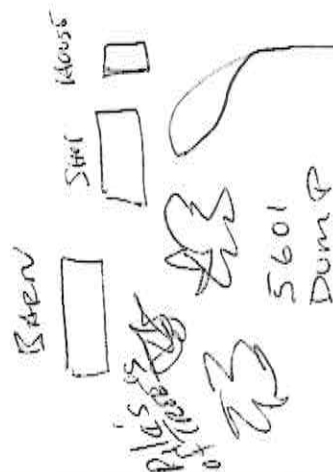
Wichita Tree Dump



Beep!!
Beep!!
Beep!!

Looking WEST 127 E.
TREES ARE SEEN OVER
the Hill.

THIS WAS REBUILT
DUE TO LARGE
TRUCKS AND
TRAFFIC



WE OWN AND
MAINTAIN
THIS ROAD
AND PAY THE
TAXES.

Private Road
WE CALL SETH FOR
MAINTENANCE REASONS

127th E.

5601

Section IV, Item A.

E. 55 th is my driveway

E 55th St N

E 55th St N

N 127th St E

N 127th St E

E 164th St N

E 56th St N

5601
Tree
Drop



Neighborhood

Payne Township, Wichita

① Where is this data from?

Payne Township is a friendly neighborhood in Wichita, USA, known for its welcoming atmosphere. Nextdoor Neighbors love the area for its community spirit and the camaraderie among residents, making it a pleasant place to live.

Now has large trucks and heavy traffic Morning Noon and every night straight by Payne township on 53rd

Wichita Tree Service

Home

Stump grinding



Tree removal done in winter by Wichita Tree Service owner Robert Phillips

Tree Removal in Wichita, KS

TAKE THE TREE'S TO THE LAND FILL
AND ALL THE INSECTS TOO.

Do you have a dead or dying tree? Do you need to remove a tree to build a deck, building or other project? At Wichita Tree Service **large tree removal** is our specialty. Do you have a tree that another company turned down because it is too difficult or there is no room to drop the wood? Call Wichita Tree Service. We can pick up the whole tree with a 50-ton crane and set it in the front yard! Have a tree in the back yard that other companies want to charge an arm and a leg to remove because they can't get their bucket truck in the backyard? Wichita Tree Service has 5 experienced tree climbers along with compact equipment to get in tight spots. We can get the tree down safely! Have a stump in the backyard that another company can't get to? Call Wichita Tree Service. We have one large stump grinder that fits through gates. No gate, no access at all, no problem. We have a smaller stump grinder that can be carried by 2 people or it need be lifted with a crane.



Wichita Tree Service Grapple truck



Wichita Tree Service now offers land clearing and pasture clearing for Kansas and Oklahoma. We currently have 3 large capacity 65-90 yard Self loading grapple trucks that can move massive amounts of tree debris very quickly and efficiently. Our two larger trucks are able to pull large trailers bringing the capacity of one truck up

to 180 cubic yards. For reference a large dump truck is around 20 cubic yards. Wichita Tree Service has more grapple trucks than any other tree service in the Wichita area, with only a few others that even have one. With plans to add more in the future. These trucks are used













ARDOX
IN MY HAND

Section IV, Item A.

666188

70 ft FLAMES
Raining Violation
PER Burn
Permit

OUR DRIVE WAY



LARGE TREE PICS

SET A FIRE



OUR DRIVE WAY





Sedgwick County Fire District 1

THESE TREES AND INSECTS (BUGS) COME FROM
ALL OVER KANSAS (DERBY, BENTON, BENTLEY
SEDGWICK COUNTY

HALSTEAD. N S E W of Wichita)
https://www.sedgwickcounty.org/open_burs

EXAMPLES OF OPEN BURNS: (examples are not all inclusive)

- Burning of brush and tree trimmings on residential or commercial property, brush and tree trimmings ^{THESE LAWS ARE IN PLACE} must be cut from the permit location. (Material to be burned may not be hauled or brought in from outside the permit property.) TREE PILES 70 ft IN DIA - 40 foot tall
- Burning that is considered to be necessary and in the public's interest as determined on a case-by-case basis (roadway clearings, salvage operations, structures, storm debris, etc.)
- Burning of cut trees, vegetation or other clean wood for recreational enjoyment, commonly known as a "bonfire".

THIS IS AGAINST THE LAW

THESE TREES ARE GREEN MOSTLY, IT TAKES AN
ACCELERANT TO LIGHT GREEN TREES AND IT
TAKE DAYS FOR PILES THIS SIZE TO BURN OUT,



LOOKING NORTH FROM 53RD STREET

70' DIA PILAS
15 feet tall



Section IV, Item A.

Looking North From 53rd St.



60 ft DIA or more
15' to 17' High



View From S3 rd
Looking North

Section IV, Item A.



VIEW FROM 127 st E
LOOKING WEST



Section IV, Item A.

THEY HAVE BURNED THE
FIRST 2 BIG PILE'S
STILL BRING TREE'S IN.

Section IV, Item A.

LOUD TRUCKS ALL DAY !!! EVEN WEEKENDS.

THIS OPERATION CAN BE SEEN FROM S3 RD AND 127th Street.

THERE ARE 8 to 10 GREEN TRUCKS WITH TRAILER OUT ALL DAY. THESE WHITE TRUCKS ARE LEFT BEHIND.



VIEW FROM 53RD Looking North



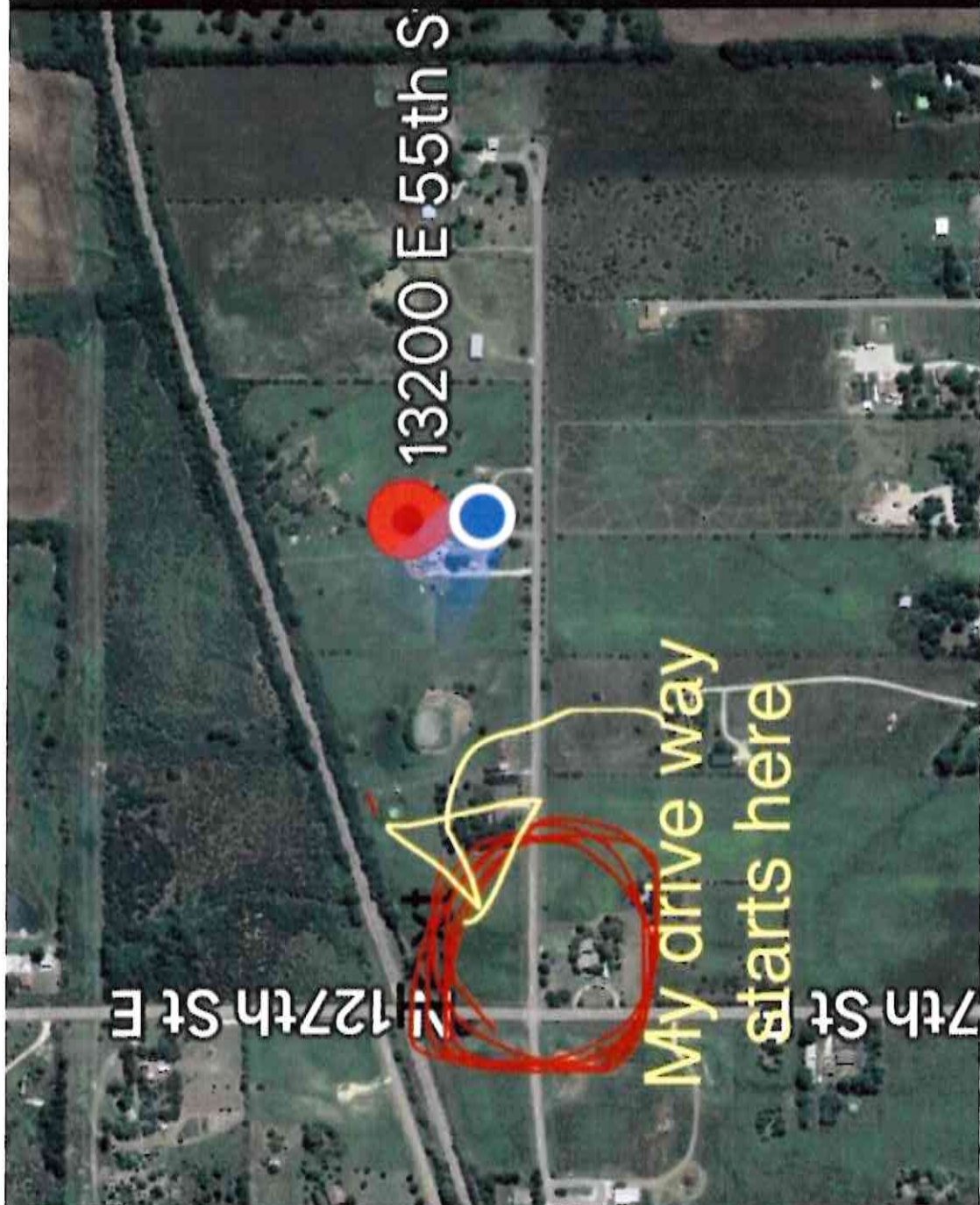
NONE OF THIS OPERATION IS SUPPOSE
TO BE IN RESIDENTIAL AREA
MUCH LESS VIEWED FROM THE ROAD

number of employees, equipment inventory, and annual revenue. We are even expanding our services to include plant health care, tree planting, land clearing, disaster relief, and other aspects of arboriculture. Furthermore, we have plans to establish a wood waste recycling center and open additional tree service branches in the future. *This is a Significant and lasting impact on the Physical Environment of the City of Wichita.*

Throughout this journey, I have gained invaluable knowledge and experiences. Initially, I believed that simply doing things the right way was the key to success, but I soon realized that it requires unwavering dedication and hard work. Most importantly, it necessitates the support of people who believe in you and what you do. Our company wouldn't be where it is today without the incredible individuals who have helped us along the way—our loyal early customers who kept returning, investing their hard-earned money because they believed in us, as well as the employees and friends who have supported us throughout. I am forever grateful to all of them.

-Robert Phillips Should Have Bought Same Land Away from Any Community and or Residential Property
(ISA Certified Arborist, Kansas Certified Arborist, TCIA Certified Tree Care Safety Professional, Tree Risk assessment Qualified)

Dumping Tree's Full of insects in a Residential Area, Then Set it on Fire.
(New Edit 7/11/23)





Wichita Tree Company L.L.C

July 11, 2024 - Ronald Reagan Building Wichita, Ks

Thursday

1:30 PM

Please read and show up to support your community and voice your

Opinion.

We don't want this zoning changed in our neighborhood

NAME	SIGNATURE	ADDRESS	DATE
Michael M. Morn		13200 E. 55th N.	7/7/24.
Danma Wolfe		13504 E 55 th N	
Jan Henrich		13504 E. 55 th N	7/7/24
Russa Picken		13029 E 53 rd N	7/7/24
Shana C. Pika		N 127 th	7/7/24
Greg Thompson		5220 N 127 th St E	7/7/24
Greg Thompson		5220 N 127 th St E	7/7/24
Don Lay		5735 N 127 th St E	7/7/24
William Lay		5739 N. 127 th St E	7/7/24
Darwin Badley		12700 E. 56 th St. N	7/7/24
Madison M. Smith		12600 E. 53 rd St N.	7/7/24
John R. Walker		5445 N. 127 th St E.	07/07/24
Melody K. Walker		12901 E 53 rd St N	7/07/24
Jodi Rosenberry		17970 E 55 th N	7/07/24

Hello, my name is Michael Moore. I reside at 13200 E. 55th St. N.

My driveway starts on what's called 55th st N for mailing purposes and 127 st. E. Which is 11 feet from Mr. Phillips driveway which is clearly posted private driveway. This is the entrance to Mr. Phillips R&R residence. His operation can be seen from 53 rd st N and 127 th st E.

April 23 2023 my son and I met Mr. Phillips when he drove up my marked private driveway , no outlet, permission only signs to my home.

Which is a violation.

He presented my opened mail to me and my son. It was a letter and a hat. He stated that he through away the box it came. The bill to the item was still on the box. So I paid a late fee.

Mr Phillips gave me the contents that were in the box and a letter. Thats how my son and I met Mr. Phillips. Getting into and opening other persons mail is a federal offense.

Mr Phillips bought 5601 N and 127 st E property from Bob Robertson as R&R Residential / Rual property which is adjacent to all his new neighbors that own R&R properties. Mr. Phillips asked me if I was the one that turned him in to the zoning commissioner.

I told him that I'm an American citizen and several members of the community also turned him in for violations in a R&R zone.

I told Mr Phillips if you would have presented a business plan to anyone you would not have bought this property for corporate use.

Operating a corporation, LC , GI with employees, trucks and large tracker trailers in a R&R zoned location is in direct violation as an owner of an R&R zone location.

My son and I were home at the time and witness Mr. Phillips asking us what it would take for us to go away.

To drop all charges and not attend any of the hearing.

He was suggesting trimming our trees and hauling brush away and doing anything that he needed to be done to help us maintain our property.

I told him I have maintained my R&R home stead for 30 years an I did not need his help. Mr. Phillips started asking us who he could pay off to lean in his favor with the zoning committee. Once he found out that we weren't going away he start telling me and my son that I was in violation zoning code. He said he was going to turn me in. I told him that he was on my private road. I told him that all he has to do is stop his corporate operations at 5601.

That is when Mr. Phillips told my son and I that the last guy that turned him into the county for dumping and burning trees they just simply beat him up and left him in the ditch for dead.

I told Mr. Phillips that my personal property starts at 127th and 55th St and he has trespassed on my property. Mr Phillips is sitting here in my home, threatening me to do bodily harm in front of a witness.

I told Mr. Phillips that he was to get back in his car and never come down this private driveway again. The posted sign at the beginning of our private driveway is very clear as to who can come down our driveway.

I've told ex law-enforcement officers this story and they told me that's a softline threat to do bodily harm and that I should fill out a police report on Mr. Phillips. Then I was told that I should be

carrying a firearm on my hip on my personal property. They told me due to the fact that Mr. Phillips is employing 25 or more employees that are coming and going on all hours of the day will be personal effected by these hearings and violations.

Section IV, Item A.

The zoning commissioner called the inspection people and they inspected 5601 E 127 th st East and wrote Mr. Phillips violation citations. Mr. Phillips was summons to appear in court. He got an extension. Mr. Phillips had a 2 nd court date. Apparently the court has assigned this committee to come to a conclusion on the zoning for this area. If this court case is in litigation because of violations, I don't understand why it was assigned to this committee to come up with a recommendation for the Zoning in this area. Public records shows that he did not attend the first court date.

Mr Phillips did retaliate against me and turned me in to the zoning department for what he thought was violations on my property. I received the violation letter 4 days before the deadline line. The letter stated I had 14 days to clear up the violations. Mail coming from the city 10 days late is not normal. I moved an old truck I was trying to get running, dropped the insurance and sold it. The zoning commissioner in charge did determine that my driveway starts at 127th St. and 55th 11 feet from Mr. Phillips driveway. Therefore the next time the zoning commissioner came down to talk to me, he first called me at 127th St. and 55th to ask permission if he could come down my private road.

So Mr. Phillips just trespassed again on my private road to point out to the zoning commissioner of what he thought was a violations. Mr. Phillips trespassing on posted property is an again against the law. I even told him it is a private road.

Mr. Phillips went to the second court hearing. I learned from the first hearing last July 11 th that the court is waiting for this committee to make a decision.

I don't understand how a violator is allowed stand at this podium and have 10 minutes to fall on the sword and try to convince this committee what a great guy he is and now he's gonna work with the community that he has threatened and that he tried to bribe to get his way.

We want him out of our community. This is zoned R&R. He applied for a G.I. and then he tried to slip in an LC in the hearing process.

Mr. Phillips is in direct violation of the R&R zoning code.

The traffic is horrendous from all four directions. The wear and tear on the roads are terrible. The burn piles are 35 foot diameter and are at least 20 foot tall. These piles put off black flames 75 feet tall that burn for weeks. This is in total violation from the burn permit that is issued to people to burn brushfires in an R&R.

Green trees 24 inches in diameter and 6 to 10 foot long take more than a little diesel fuel to get blazing.

It takes 3 years for a green tree to dry up enough to be lite with a little diesel fuel. State does not not allow

Burn Permits on a R&R property. Permits state all open burns are to be put out 1 hour before sundown.

Diesel fuel is an accelerant which is against the burn permit to use.

A garden hose will not put this fire out when it burns for two weeks. These illegal burns fill people

homes with smoke. Pollute the airways not to mention the fire hazard of the debris that's floating in the air on fire. All four corners of his property butt up to neighboring R&R properties. understand why we even have to be here with all the zoning laws that are in place.

The ISA certificate that Mr. Phillips works under has strict rules about unethical violations to the public and to their own workers per the ISA arbor association.

These listed operations are in direct violation of R&R zoning.

1. Parking employees vehicles not registered to the property.
2. Maintaining and parking of the business or corporate vehicles.
3. Bringing in full trees and limbs onto an R&R property is illegal. Setting these piles on fire using an accelerant to start the fire is against the law and against the wording written on the burn permit.
4. To use accelerant or any other means of starting green trees or limbs or any kind of debris that was brought into the permit area is against the law. R&R zoned property does not allow county permits or state permits at all. These are the laws in place.
5. To set fire to a burn pile larger than 35 feet in diameter and over 20 foot tall is against the law.
6. To continue to bring in trees and limbs and pile them up on an RR property after the laws in place have been reviewed is a direct violation and is against the laws that are in place with Sedgwick County.
7. To have corporate or business employees come and go of all hours of the day and night on an R&R property is against the law.
8. To be zoned as an R&R property means you have your residence plotted one plot and your rural land is a different plot.

Requirements for R&R zoning are as follows:

At least 5 acres of hay meadow or horse grazing, classified as Agricultural plot.

The other acres are to be plotted as residential for your home and outbuildings.

9. To make verbal threats of what happened to the last person that turned Mr Phillips in for zoning violations is against the law.
 10. To make Personal bodily threats to my well-being and my family members is against the law.
- Most all the concerns citizens that are here are in fear for their livelihood and well being knowing that the out come of these hearing will effect over 25 people and their families due to Mr. Phillips business plan or lack there of.

We dodge these green trucks that say Wichita tree service. They are simply disturbing the peace and tearing up the roads.

The culvert entering Mr. Phillips driveway was just replaced two years ago, now they have been here in full operation they had to replace it again with a larger culvert.

The railroad crossing was rebuilt on 127 th st about three years ago and they've already rebuild it again. We have great big trucks coming from all four directions. I don't understand when the business plan was presented to PanTownship why they allowed this to go on to operate as a dump on this R&R zoned property.

Who knows when Mr. Phillips is going to lit another pile. These fires are very black and very hot for green trees as you can see in the photos and video. Takes more than diesel to get them going.

We didn't move out here and build our homes for Mr. Phillips to show up with his corporation ar

violate our zoning laws and persons.

The audacity of Mr. Phillips standing up here stating that all these residents will just move from this area once it becomes commercial or G.I. or whatever.

We have poured our heart and soul in our properties and our land and what we do in our R&R district number one. M

The certificate of ISA which Mr. Phillips operates under has codes of conduct and regulations. Mr. Phillips will be investigated by the ISA Board Certified Master Arborist.

TRAQ allows him to train employees to climb trees in and on limited commercial, General industrial zoned properties. Not R&R zoned areas.

Insurance policies should be looked into due to corporate operations on a residential property zoned R&R.

CTSP is all bout professional model behavior skills.

Kansas Certified Arborist will be running a full investigation on this operation and the owner of Wichita Tree Service due to his unethical practices.

Mr. Phillips seems to be concerned about the well-being of his employee's. In the state of Kansas he should've looked after his employees and made sure that they would not lose their jobs due to his unbusiness like ethics and community threats.

By the way, the average tree cutter in California that works as hard as you guys do makes 80.000 a month.

I yield my remaining time and would like to thank this committee for their dedication and hard work.

Zon2024-00031

NOTICE OF PUBLIC HEARING
METROPOLITAN AREA PLANNING COMMISSION
 271 West Third Street, 2nd Floor, Ste. #203, Wichita, Kansas 67202
 316-268-4421 (T)

This letter serves to notify you that an application has been made to change zoning or land use regulations controlling land located in your general area. See map at the end of this notice for the specific property affected by this application.

PLEASE NOTE: The Wichita-Sedgwick County Metropolitan Area Planning Commission meeting will be held in person. Public participation is encouraged (see options and instructions below).

CASE NO: **ZON2024-00031**

REQUEST AND GENERAL LOCATION: Zone Change request in the County from RR Rural Residential to GI General Industrial; generally located on the west side of North 127th Street East and within one-quarter mile north of East 53rd Street North (5601 North 127th Street East).

APPLICANT: Robert Phillips, 5601 N. 127th St. E., Wichita, KS 67226, PH: 316-841-8734

A complete legal description is available for public inspection at the Metropolitan Area Planning Department, 271 West Third Street, 2nd Floor.

State law requires the Metropolitan Area Planning Commission to send you NOTICE OF PUBLIC HEARING to allow you an opportunity to comment on the application.

The **PUBLIC HEARING** will be held on the following date and with the following options for participation:

Thursday, July 11, 2024 at 1:30 PM

Options to participate:

- 1) **Attend In-Person** at the **Ronald Reagan Building, 271 West Third Street, 2nd Floor, Wichita, KS 67202.** Self-paid parking is available nearby. If you have any written or visual materials you wish to present, please contact Planning Department Graphics Staff (316-268-4464) by 5:00 PM, 3 days prior to the meeting.
- 2) **Submit Comments Ahead of Time** comments regarding items on the Planning Commission agenda to the Wichita-Sedgwick County Metropolitan Area Planning Department (Planning Department) – using the contact information below. The comments received ahead of the submission deadline will be shared with the MAPC, prior to or during the meeting. Planning Departments staff make efforts to share all comments but may not be able to share those received after the deadlines below. Please be sure to provide ample time for delivery. **Written Comments** should be submitted by 5:00 PM the day before the meeting. **Video and Audio Comments** (mp3, etc.) formats should be submitted at least 3 days prior to the MAPC meeting. The comments should indicate which item they pertain to and be less than three (3) minutes in duration.

Email	Planning@wichita.gov
Mailing Address	Wichita-Sedgwick County Metropolitan Area Planning Department Attn: Brad Eatherly 271 W. 3 rd Street – Suite 201 Wichita, KS 67202
Phone	316.268.4421
Fax	316.858.7764

- 3) **If you need accommodations pursuant to the ADA, please contact Planning Staff within one week prior to the scheduled meeting.**

Option to View Remotely (Not Participate)

The meeting will be streamed live and recorded. Virtual comment is not available. To view the live stream or recording,

follow the link: <https://www.wichita.gov/Planning>.

NOTE: Citizen Advisory Board 1 (CAB) will consider this case at their meeting to be held at **5:30 p.m., Monday, July 15, 2024**. Additional information regarding the CAB meeting may be obtained by calling Sedgwick County Public Information Officer Sarah Harper at (316) 660-9382 or Sarah.Harper@sedgwick.gov.

If you have questions, comments, or concerns regarding this application prior to the public hearing, you may call the Planning Department staff member, **Brad Eatherly**, assigned to this case at 316-268-4421.

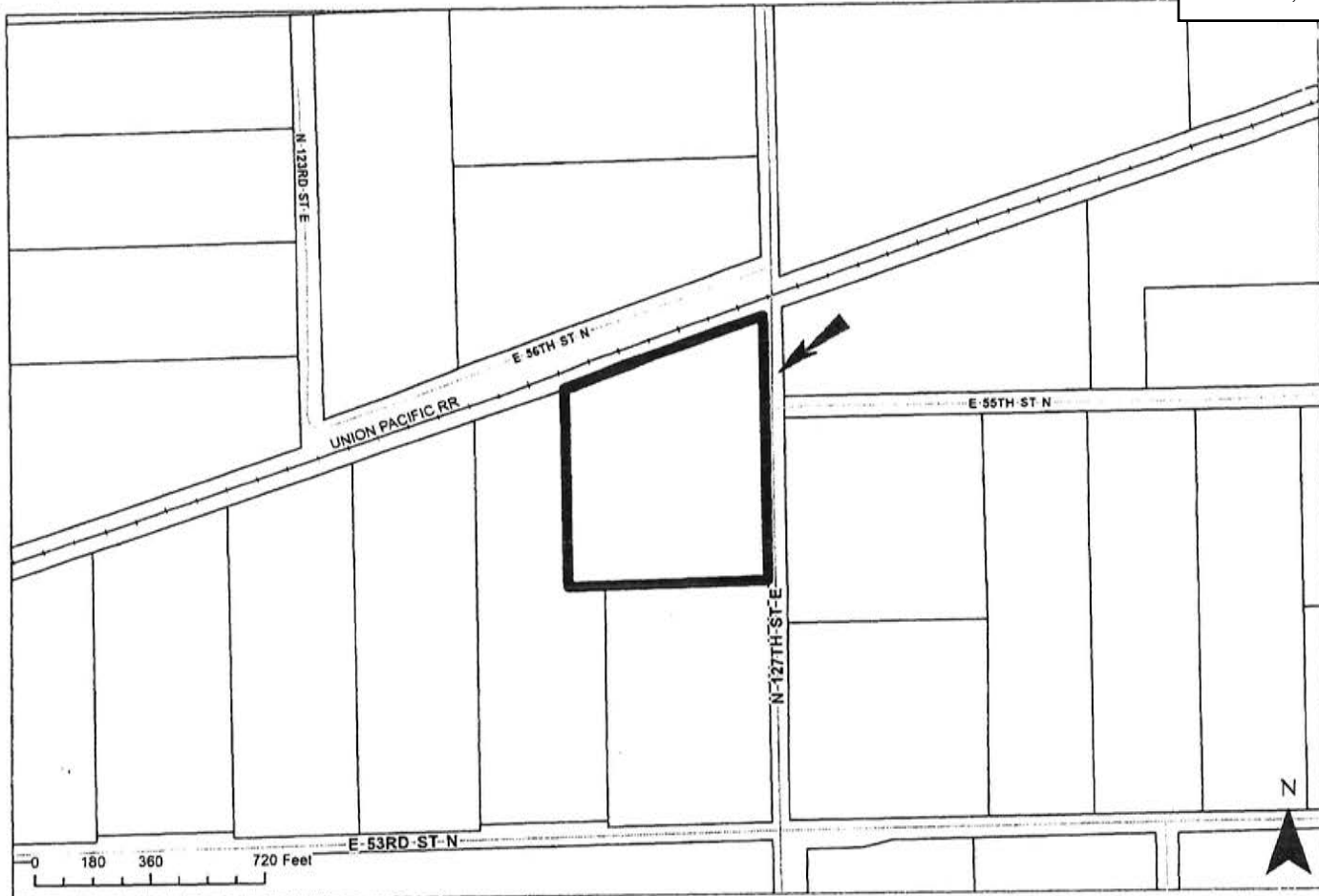
As an owner or occupant of property in the area, you have the right to participate in the Planning Commission public hearing to express your views regarding this application. You have no obligation to appear at the public hearing. If you have any written or visual materials you wish to present at the Planning Commission public hearing, please contact Planning Department Graphics staff (268-4464) by 5pm, 3 days prior to Planning Commission meeting. Please note these materials will be retained as part of the official record by the Planning Commission.

If you so choose, you may file a written protest petition in the office of the Sedgwick County Clerk, 100 N. Broadway, Ste # 620, Wichita, KS 67202. Protest petitions may force a supermajority vote of the governing body to override the protests. Protest petitions must be filed after the Public Commission public hearing but no later than the 14th day following the Planning Commission public hearing. Copies of the protest petitions are available at the Planning Department, 271 West Third St., 2nd Floor, Ste #201, Wichita, KS 67202, 316-268-4421, or online at www.wichita.gov.

If a development plan was required with this application, the plan is on file in the Planning Department and is available for public inspection.

In some cases, such as a Conditional Use or an amendment to a Community Unit Plan, the Planning Commission may have final approval authority unless the case is appealed or protested; otherwise (for zone changes and creation of Community Unit Plans) the Planning Commission is making a recommendation to the governing body who has final approval authority. Factors used by the Planning Commission in deciding what recommendation to make include: neighborhood support or opposition; character of the neighborhood; existing zoning and land use of nearby properties; the suitability of the application area for the uses for which it is currently zoned; detrimental impact, if any, on adjoining properties; conformance with adopted zoning policies or plans; and impact on community facilities.

Listed below are the various zoning districts. The "RR" Rural Residential district is the most restrictive. In ascending order the districts that follow allow increasingly more intensive uses until the "GI" General Industrial district, which is the least restrictive and allows the most intensive land uses by-right.



ZONING DISTRICTS**MOST RESTRICTIVE**

RR	Rural Residential
SF-20	Single-Family
SF-10	Single-Family
SF-5	Single-Family
TF-3	Two-Family
MF-18	Multi-Family
MF-29	Multi-Family
B	Multi-Family
MH	Manufactured Housing
NO	Neighborhood Office
GO	General Office
NR	Neighborhood Retail
LC	Limited Commercial
OW	Office Warehouse
GC	General Commercial
IP-A	Industrial Park/Airport
CBD	Central Business District
IP	Industrial Park
LI	Limited Industrial

LEAST RESTRICTIVE/ SPECIAL DISTRICTS

GI	General Industrial
A.F.B	Air Force Base District
P.U.D.	Planned Unit Development
U	University District
OT-O	Old Town Overlay
A-O	Airport Overlay
P-O	Protective Overlay
H-O	Historic Landmark Overlay
D-O	Delano Neighborhood Overlay
AFBP-O	Air Force Base Protective Overlay District
CP-O	Corridor Preservation Plan

A detailed interpretation of the uses allowed in each zoning district may be obtained from the Planning Department. The Metropolitan Area Planning Commission may grant a more restrictive zoning district than requested.

Application area vicinity map on back page.



Sedgwick County...
working for you

Home How Do I... Government Doing Business Living About

Sedgwick County Fire District 1 Burn Permits

Burn Permit Application Receipt

Navigate to Activate your Burn Permit.

<https://www.sedgwickcounty.org/fire/forms/burn-permits/burn-information/>

Or scan the QR code with your camera



The banner will display if burning is allowed or not allowed for the day.

If burning is allowed, fill out the form to activate your burn permit.

This permit expires at 11:59 PM on December 31, 2024.

Print this page!

Burn Details

Permit Number: 36017

Permit Date: 8/8/2024

Expiration Date: 12/31/2024 11:59 PM

Burn Address/Location:

13200 E. 55th N.

Wichita, 67228

Burn Type: Open

Number of Acres to be Burned: 0.00

Type(s) of Materials to be Burned:

Dead trees and limbs that were cut down on this property.

They have been piled up for 3 years so they will burn clean and controlled. I will call 911 to check for approval due to climate c

Applicant Information

Name: Michael Moore

Address:

13200 E 55TH ST NORTH

Wichita, 67228

Phone Number: 316-641-5426

Email Address: bigmo3259@icloud.com

Drivers License Number: K02-15-0690

Drivers License State: KS

Property Owner Information

Name: Michael Moore

Address:

13200 E 55TH ST NORTH

Wichita, 67228

Phone Number: 316-641-5426

BURN PERMIT REQUIREMENTS

By accepting a permit, you agree to abide by the following requirements:

1. I am in legal control of the lot or parcel of land herein described or have permission from the person with legal c
2. A competent person of legal age will attend burning continuously from the time of ignition to the time of exting

3. Burning will not be permitted if the wind speeds exceed 15 miles per hour.
4. FOR FIELD TYPE FIRES: a fire break (plowed or disked) of a least 20 feet on all sides of the area.
5. FOR NON-FIELD FIRES: adequate clearance shall be provided from readily combustible materials. A minimum of 100 feet f provided from the fire area.
6. Burning shall not create a smoke nuisance or hazard to neighboring properties or persons. Precautions shall be taken to a:
7. Burning of ANY HEAVY smoke-producing material is strictly prohibited. Per Kansas State regulations [K.A.R. 28-19-647\(e\)\(2\)](#), lumber, plastics or rubber is illegal. When burning wood products only, "clean wood" shall be burned. (Garbage may be bu
8. A garden hose or other fire extinguishing equipment shall be available at the burn location.
9. Burning shall be conducted one hour after sunrise to one hour before sunset. (Exception: Agricultural crops or other specifi
10. The person doing the burning will be in possession of this permit during the burn for immediate inspection by authorities.
11. Starting fires with combustible or flammable liquids is prohibited unless special permission is obtained from the Sedgwick in this manner is extremely dangerous!

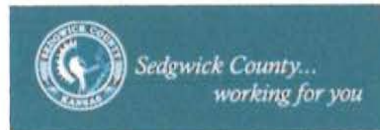
EXAMPLES OF AGRICULTURAL BURNS: (examples are not all inclusive)

- Removal of stubble from crops.
- Removal of brush and tree trimmings or other vegetation when done to control invasions of trees on croplands.
- Prescribed burning.
- Other approved agricultural related burning.

EXAMPLES OF OPEN BURNS: (examples are not all inclusive)

- Burning of brush and tree trimmings on residential or commercial property, brush and tree trimmings must be cut from th brought in from outside the permit property.)
- Burning that is considered to be necessary and in the public's interest as determined on a case-by-case basis (roadway cle
- Burning of cut trees, vegetation or other clean wood for recreational enjoyment, commonly known as a "bonfire".

It is mandatory that the permit holder activate their burn permit prior to conducting a permitted burn by navigating to the banner below. The banner will display if burning is allowed or not allowed for the day. If burning is allowed, fill out the form to activate the permit. If burning is not allowed, no form needs to be filled out. The banner will also display the current weather conditions for wind speeds and other atmospheric conditions. Kansas Law states that a person shall not burn any material in a careless or negligent manner. Kansas Law also states that open burning shall not be conducted during inclement weather, i.e. rainy conditions. A person who violates this law is guilty of a Class C misdemeanor. Fines for violations can be as much as \$1,000.



Mission: To assure quality public services that provide for the present and future of Sedgwick County.

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City of Bel Aire, Kansas
7651 E. Central Park Ave
Bel Aire, Kansas 67226



CONDITIONAL USE REVIEW

Address of proposed project: Chapel Landing CON-24-02

This report is to document that on 9.3.24 the Zoning Administrator from the City of Bel Aire evaluated the above property plan for compliance of zoning and building requirements:

- | | |
|--|--|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> ELEVATIONS |
| <input type="checkbox"/> EFFECTIVE CODE COMPLIANCE | <input checked="" type="checkbox"/> REQUIRED PLAN SUBMITTALS |
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> EASEMENTS |
| <input type="checkbox"/> LANDSCAPE | <input type="checkbox"/> SCREENING |
| <input type="checkbox"/> STORM DRAINAGE | <input checked="" type="checkbox"/> NEIGHBORHOOD IMPACT |
| <input type="checkbox"/> ADA ACCESSIBLE | <input type="checkbox"/> UTILITIES TO BUILDING |

The review of the above property plan has been:

- ☒ APPROVED, as noted
- ☐ DELAYED, as noted
- ☐ DENIED, as noted

DATE 9/3/24

Keith Price
REVIEWED BY

Comments:

- No utility companies were notified, no easements are involved
- The building footprint with two porches exceed the footprint of the house and attached garage by +/- 660 S.F., one of the reasons for the conditional use permit process.
- The actual height of the garage appears to exceed the height of the house, the second reason for the conditional use permit.
- The application is for a private use garage.

APPLICATION

This form MUST be completed and filed at City Hall, Bel Aire, Kansas, 7651 E. Central Park, Bel Aire, Kansas 67226. AN INCOMPLETE APPLICATION CANNOT BE ACCEPTED. Check the appropriate box below for type of application being submitted. A separate application and filing fee is required for each application. A preapplication conference with City Staff is recommended before filing this application.

BOARD OF ZONING APPEALS

☐ To vary applicable requirements in Sections 10-107c1 through 5 in conjunction with a Conditional Use Application.

☐ Conditions placed on permitted Conditional Use _____

☐ Security bond is required

☐ Approved ☐ Rejected

Name of owner Mark Hopp

Address 5030 E. 37th N Telephone 409-770-3469

Agent representing the owner _____

Address _____ Telephone _____

1. The application area is legally described as Lot(s) 18; Block(s) C Aurora Park ADD Addition, Bel Aire, Kansas. If appropriate, a metes and bounds description may be attached.

2. The application area contains .99 acres.

3. This property is located at (address) 5030 E. 37th N which is generally located at (relation to nearest streets) 37th and Oliver.

4. State why the proposed conditional Use will not cause substantial injury to the value of other property in the neighborhood, how it is to be designed within district regulations:

Need to Store RV, Boat & Lifted Truck
Currently stored off site

5. County control number: 00272100

6. NAMES OF OWNERS - For land inside the city limits, an ownership list of the names, addresses and zip codes of the owners of record of real property located within 200 feet of the exterior boundary of the area described in the application both within the city limits and extending outside the city limits when necessary.

If such area is located adjacent to but within the city limits, the ownership list, in addition to the 200 feet inside the city limits, shall provide similar information extending to 1,000 feet into the unincorporated area.

If such area is located outside the city limits, the ownership list shall extend for 1,000 feet in the unincorporated area and, if the latter extends into the city limits, then such owners for 200 feet inside the city must also be included on the list.

The names of the owners of all property included in this application MUST be listed as applicants. Contract purchasers, lessees or other directly associated with the property may also be listed if they desire to be advised of the proceedings.

1. Applicant MARK HYP Phone 409-770-3469
Address 5030 E. 37th N Zip Code 67220

Agent _____ Phone _____
Address _____ Zip Code _____

2. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

3. Applicant _____ Phone _____

Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

4. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

5. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

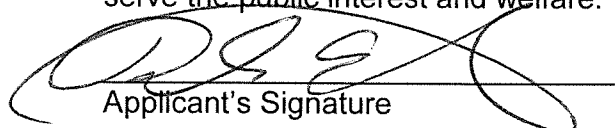
6. Applicant _____ Phone _____

Agent _____ Phone _____
Address _____ Zip Code _____

7. Applicant _____ Phone _____

Agent _____ Phone _____
Address _____ Zip Code _____

The applicant certifies that the foregoing information is true and correct to the best of their knowledge and acknowledges that the Planning Commission and/or Governing Body shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.


Applicant's Signature

BY

Authorized Agent (If Any)

The Petition must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the owner's written notarized authorization to this application.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



Security 1st Title

OWNERSHIP LIST

PROPERTY DESCRIPTION		PROPERTY OWNER
Lot 18, Blk C Subject Property	Aurora Park Addition	Mark Hopp & Sun Kim 5030 E. 37th St. N. Bel Aire, KS 67220
Lot 1, Blk C	"	Homecrest Trust Wallace D. Cook & Marlene G. Cook 3900 N. Harding Ave. Bel Aire, KS 67220
Lot 2, Blk C	"	Gary L. & Sallie A. Olson 4171 N. Edgemoor St. Bel Aire, KS 67220
Lot 3, Blk C	"	Gary N. & Carolyn J. Gunzelman 5029 E. 39th St. N. Bel Aire, KS 67220
Lot 4, Blk C	"	Mark W. & Judith R. Schroeder 5101 E. 39th St. N. Bel Aire, KS 67220
Lot 5, Blk C	"	Lowell K. & Marjorie L. Booker 5117 E. 39th St. N. Bel Aire, KS 67220
Lot 16, Blk C	"	Alexander F. & Kayla Connell 5118 E. 37th St. N. Bel Aire, KS 67220
Lot 17, Blk C	"	Jason D. Crupper 5100 E. 37th St. N. Bel Aire, KS 67220



Security 1st Title

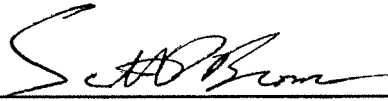
Lots 19 & 20, Blk C	"	Donald J. & Bonita Stinson 3800 N. Harding Ave. Bel Aire, KS 67220
Lots 1, 2, 3, & 4, Blk 1, EXC the S 100' of the E 311.17' of Lot 2; & EXC the S 100' of Lot 3	Expressway Center Addition	Koch Real Estate Holdings, Inc. PO Box 2900 Wichita, KS 67201

We hereby certify the foregoing to be a true and correct list of the property owners of the herein before described lots within a 200 foot radius of:

Lot 18, Block C, Aurora Park Addition to the City of Bel Aire, Sedgwick County, Kansas.

as shown by the last deed of record filed in the Office of the Register of Deeds, Sedgwick County, Kansas, on the 30th day of July, 2024, at 7:00 A.M.

SECURITY 1ST TITLE

By: 

LICENSED ABTRACTER

Order: 3090582
KJK

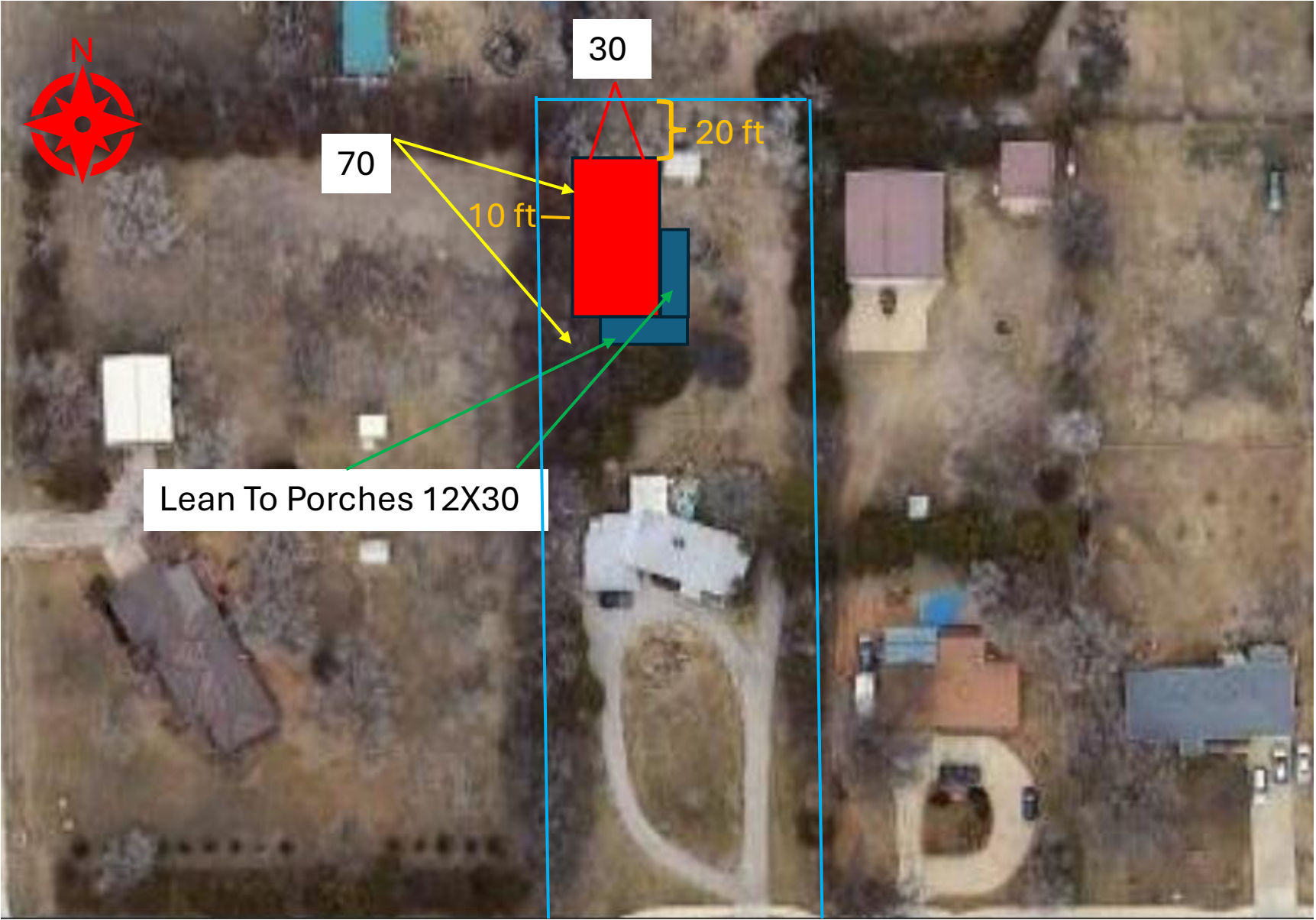
5030 E. 37th St N

Rv Storage/Garage Site Plan

Mark Hopp

RV Storage/Garage Site Plan

- Building will be used to house a 24 ft fishing boat and a 21 ft Riverside RV and a lifted Ford F150 truck. This is why I picked this size of building.
- Owned vehicles/RV's do not fit in the attached garage and have to be stored off-site.
- My house roof is 12 ft tall and a low slope roof. With the building size I cannot go with a low slope roof metal building and must go conventional. The new building will be 14 ft so I can get the required clearance for my vehicles.
- This building will be for private use only.
- Build site is flat, trees have already been removed from site.








20 ft



Metal Building Outfitters
844-70-METAL
sales@metalbuildingoutfitters.com

Section V, Item A.

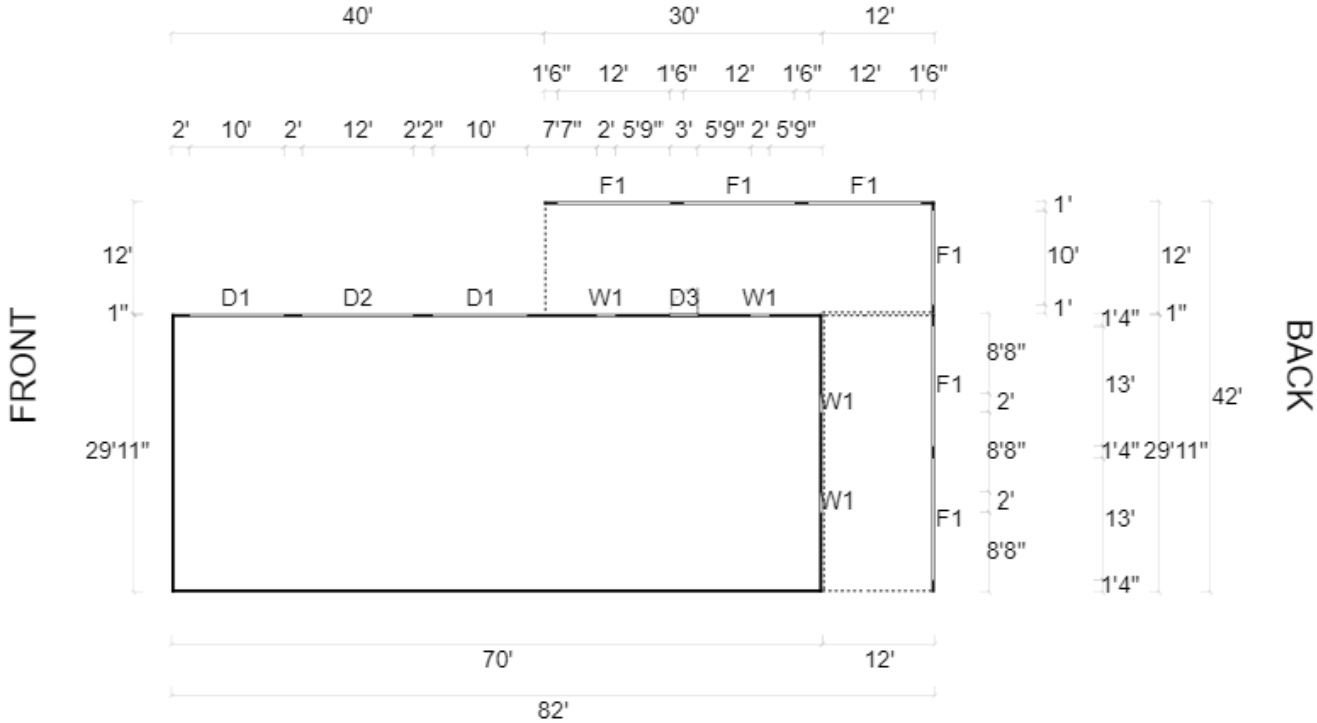
Customer Order - Jul 2, 2024

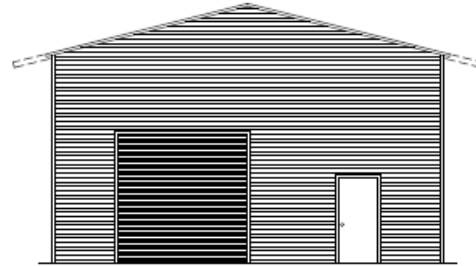
Ship To			
Name Mark Hopp		Order # 1718396359468311	
Install Address 5030 E. 37th N			
City Bel Aire		State KS	Zip Code 67220
Email mhopp@txtav.com		Phone # (409) 770-3469	Mobile #
Building Info	Size	Color	Anchoring & Site Preparation
Style: Garage	$\frac{42'}{\text{Width}} \times \frac{70'}{\text{Frame Length}} \times \frac{14'9''}{\text{Leg Height}}$	Roof Quaker Gray	Installation Surface: Concrete
Roof Overhang: 6"		Trim: Black	Power Available <input type="checkbox"/>
Roof Style: A-Frame Vertical		Siding: Zinc Gray	Jobsite Level <input type="checkbox"/>
Gauge: 14 Gauge		Wainscot Black	Permits Required <input type="checkbox"/>
Leg Style: Standard			Engineering Plans Required <input type="checkbox"/>
Brace: Standard Brace			Payment Method
Design Link & Notes			
Design Link: https://design.metalbuildingoutfitters.com/?lng=en-US#bfcd31c16eb58eea79dfb1bbded0c738			
Building Images			
			
Perspective View	Front	Left Side	
			
Right Side	Back		

FLOOR PLAN



LEFT SIDE











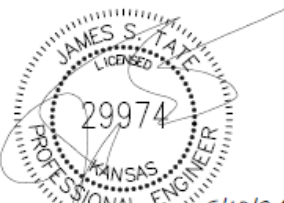


ENCLOSED GABLE END BUILDING
MAX. 30' WIDE X 16' EAVE HEIGHT WITH BOX FRAME / (UP TO) 145 M.P.H. WIND ZONE - 30 P.S.F. SNOW LOAD
FOR:

RHINO METAL STRUCTURES
PORTALES, NM 88130
TELE: 336-648-8590


ISSUE DATE: MAY 10, 2024



NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

 <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2015 IBC</p>	 <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 NC BUILDING CODE (2015 IBC)</p>				
 <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2015 IBC</p>	  <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 SC BUILDING CODE (2021 IBC)</p>				
 <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2018 IBC</p>	 <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC</p>				
 <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 IBC</p>					
 <p>TAYLOR & VIOLA STRUCTURAL ENGINEERS P.O.B. 245 • HICKORY, NORTH CAROLINA TELE: 336-322-6331 FAX: 336-322-1001 WWW.TAYLORVOLA.COM</p> <p>JCMT Associates, PLLC 211 Stone Drive, Pilot Mountain, NC 27041 Telephone: (336) 399-6277</p>	<p>RHINO METAL STRUCTURES</p> <p>006 NM-467 PORTALES, NM 88130 TELE: 336-648-0590</p> <table border="1"> <tr> <td>DRAWN BY: BKS</td> <td>PROJECT NO: 24-513</td> </tr> <tr> <td>DATE: 2024.05.10</td> <td>SHEET NO: S1</td> </tr> </table>	DRAWN BY: BKS	PROJECT NO: 24-513	DATE: 2024.05.10	SHEET NO: S1
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SEALS SHEET</td></tr> <tr><td>S2</td><td>DRAWING INDEX</td></tr> <tr><td>S3</td><td>GENERAL NOTES AND SPECIFICATIONS</td></tr> <tr><td>S4</td><td>SIDE AND END ELEVATIONS</td></tr> <tr><td>S5</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W)</td></tr> <tr><td>S5A</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 3' SOFFIT)</td></tr> <tr><td>S5B</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 6:12 PITCH)</td></tr> <tr><td>S5C</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 6:12 PITCH / 3' SOFFIT)</td></tr> <tr><td>S5D</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W)</td></tr> <tr><td>S5E</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 3' SOFFIT)</td></tr> <tr><td>S5F</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 6:12 PITCH)</td></tr> <tr><td>S5G</td><td>TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 6:12 PITCH / 3' SOFFIT)</td></tr> <tr><td>S5H</td><td>TYPICAL FRAME SECTIONS</td></tr> <tr><td>S6</td><td>BOX EAVE / SINGLE COLUMN SECTION (<14'H)</td></tr> <tr><td>S6A</td><td>BOX EAVE / SINGLE COLUMN SECTION (<14'H / 3' SOFFIT)</td></tr> <tr><td>S6B</td><td>BOX EAVE / SINGLE COLUMN SECTION (<14'H / 6:12 PITCH)</td></tr> <tr><td>S6C</td><td>BOX EAVE / SINGLE COLUMN SECTION (<14'H / 6:12 PITCH / 3' SOFFIT)</td></tr> <tr><td>S6D</td><td>BOX EAVE / DOUBLE COLUMN SECTION (<16'H)</td></tr> <tr><td>S6E</td><td>BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 3' SOFFIT)</td></tr> <tr><td>S6F</td><td>BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 6:12 PITCH)</td></tr> <tr><td>S6G</td><td>BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 6:12 PITCH / 3' SOFFIT)</td></tr> <tr><td>S7</td><td>BASE RAIL ANCHORAGE / SINGLE COLUMN</td></tr> <tr><td>S7A</td><td>BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SLAB)</td></tr> <tr><td>S7B</td><td>BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SIDING SHELF)</td></tr> <tr><td>S7C</td><td>BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SLAB / NO SIDING SHELF)</td></tr> <tr><td>S7D</td><td>BASE RAIL ANCHORAGE / SINGLE COLUMN (CLIP ANGLE ATTACHMENT OPTION)</td></tr> <tr><td>S7E</td><td>BASE RAIL ANCHORAGE / DOUBLE COLUMN</td></tr> <tr><td>S7F</td><td>BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB)</td></tr> <tr><td>S7G</td><td>BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SIDING SHELF)</td></tr> <tr><td>S7H</td><td>BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB / NO SIDING SHELF)</td></tr> </tbody> </table>	SHEET NUMBER	SHEET TITLE	S0	SEALED COVER SHEET	S1	P.E. 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 <p>TAYLOR & VIOLA STRUCTURAL ENGINEERS P.O.B. 245 • HICKORY, NORTH CAROLINA TELE: 336-322-6331 FAX: 336-322-1001 WWW.TAYLORVOLA.COM</p> <p>JCMT Associates, PLLC 211 Stone Drive, Pilot Mountain, NC 27041 Telephone: (336) 399-6277</p>	<p>RHINO METAL STRUCTURES</p> <p>006 NM-467 PORTALES, NM 88130 TELE: 336-648-0590</p>	<table border="1"> <tr> <td>DRAWN BY: BKS</td> <td>PROJECT NO: 24-513</td> </tr> <tr> <td>DATE: 2024.05.10</td> <td>SHEET NO: S2</td> </tr> </table>	DRAWN BY: BKS	PROJECT NO: 24-513	DATE: 2024.05.10	SHEET NO: S2																																																																																																																	
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DESIGN LOADS:

IMPORTANCE FACTORS	WIND	(1w)	1.00	
	SNOW	(1s)	1.00	
	SEISMIC	(1e)	1.00	
DEAD LOADS	ROOF	13	P.S.F.	
	ROOF COLLATERAL	0	P.S.F.	
LIVE LOADS	ROOF	20	P.S.F.	
GROUND SNOW LOAD:				VARIABLE - SEE NOTES 30 P.S.F. MIN.
WIND LOAD:	BASIC WIND SPEED	V 145	M.P.H. (ASCE 7-16)	*DRIFT LOAD HAS NOT BEEN CALCULATED
	EXPOSURE CATEGORY	A/B/C		

SEISMIC DESIGN CATEGORY ☒ A ☒ B ☒ C ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY ISPECTRAL RESPONSE ACCELERATION S_s VARIES BASED ON SITE %g S_1 VARIES BASED ON SITE %gSITE CLASSIFICATION D ☐ FIELD TEST ☒ PRESUMPTIVE ☐ HISTORICAL DATA

BASIC STRUCTURAL SYSTEM (CHECK ONE)

<input type="checkbox"/> BEARING WALL	<input type="checkbox"/> DUAL W/ SPECTRAL MOMENT FRAME
<input checked="" type="checkbox"/> BUILDING FRAME	<input type="checkbox"/> DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL
<input type="checkbox"/> MOMENT FRAME	<input type="checkbox"/> INVERTED PENDULUM

ANALYSIS PROCEDURE ☐ SIMPLIFIED ☒ EQUIVALENT LATERAL FORCE ☐ MODALLATERAL DESIGN CONTROL? ☐ EARTHQUAKE ☒ WIND

SOIL BEARING CAPACITIES:

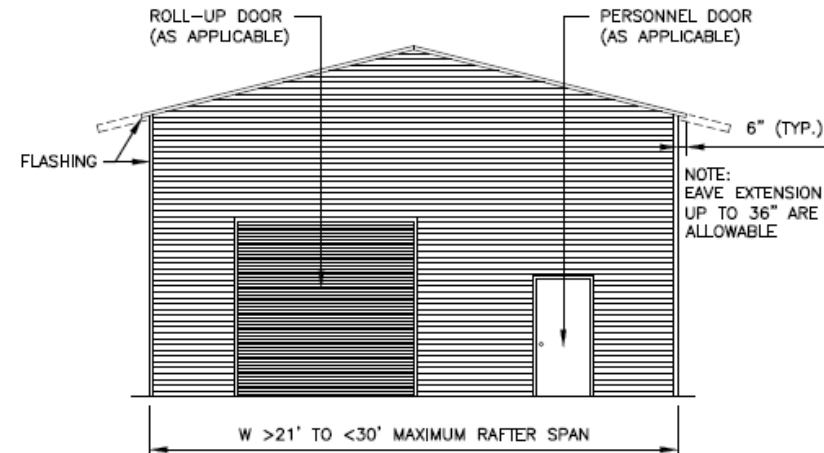
PRESUMPTIVE BEARING CAPACITIES: 1,500 P.S.F.

GENERAL NOTES:

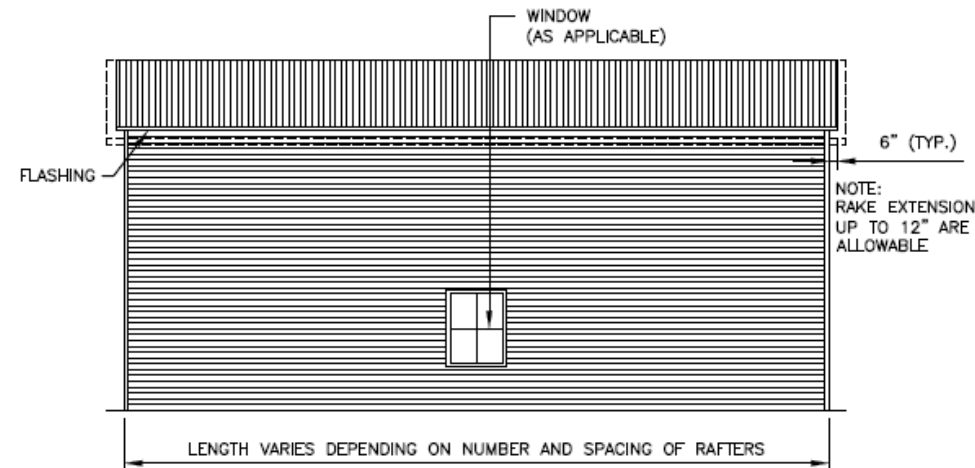
1. MAX FRAME SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
2. MAX. END-WALL COLUMN SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
3. TUBE MATERIAL SHALL BE 2-1/2" x 2-1/2" x 14 GA. 50 KSI MIN. UNLESS NOTED OTHERWISE.
4. ALL FASTENERS SHALL BE #12 SELF TAPPING AT 9"o.c. UNLESS NOTED OTHERWISE.
5. 1,500 P.S.F. ASSUMED BEARING CAPACITY UNLESS NOTED OTHERWISE.

BOX EYE FRAME RAFTER STURCTURE

Section V, Item A.



TYPICAL END ELEVATION



TYPICAL SIDE ELEVATION

DESIGN LOADS:

IMPORTANCE FACTORS

WIND	(1w)	1.00
SNOW	(1s)	1.00
SEISMIC	(1e)	1.00

DEAD LOADS

ROOF	13	P.S.F.
ROOF COLLATERAL	0	P.S.F.

LIVE LOADS

ROOF	20	P.S.F.
------	----	--------

GROUND SNOW LOAD:

↓

VARIES — SEE NOTES
30 P.S.F. MIN.

WIND LOAD:

BASIC WIND SPEED	V 145	M.P.H.	(ASCE 7-16)	• DRIFT LOAD HAS NOT BEEN CALCULATED
EXPOSURE CATAGORY	A/B/C			

SEISMIC DESIGN CATAGORY

☒ A ☒ B ☒ C ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY I

SPECTRAL RESPONSE ACCELERATION

S_s VARIES BASED ON SITE %gS₁ VARIES BASED ON SITE %gSITE CLASSIFICATION D☐

FIELD TEST

☒

PRESUMPTIVE

☐

HISTORICAL DATA

BASIC STRUCTURAL SYSTEM (CHECK ONE)

<input type="checkbox"/>	BEARING WALL	<input type="checkbox"/>	DUAL W/ SPECTRAL MOMENT FRAME
<input checked="" type="checkbox"/>	BUILDING FRAME	<input type="checkbox"/>	DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL
<input type="checkbox"/>	MOMENT FRAME	<input type="checkbox"/>	INVERTED PENDULUM

ANALYSIS PROCEDURE ☐ SIMPLIFIED ☒ EQUIVALANT LATERAL FORCE ☐ MODALLATERAL DESIGN CONTROL? ☐ EARTHQUAKE ☒ WIND

SOIL BEARING CAPACITIES:

PRESUMPTIVE BEARING CAPACITIES: 1,500 P.S.F.

GENERAL NOTES:

1. MAX FRAME SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
2. MAX. END-WALL COLUMN SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
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TAYLOR & VIOLA
 211 Stone Drive, Pilot Mountain, NC 27041
 Telephone: (336) 399-6277

JCMT Associates, PLLC

V2.0

R H I N O M E T A L
S T R U C T U R E S

006 NM-467
 PORTALES, NM 88130
 TELE: 336-648-8590

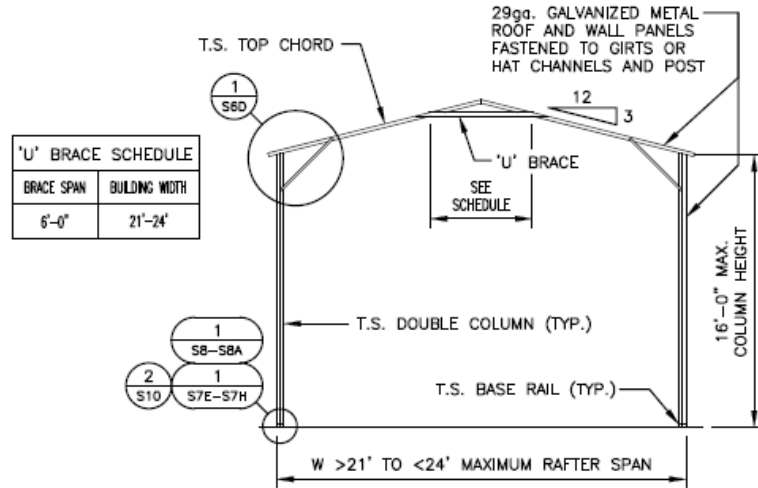
DRAWN BY:
BKS

DATE:
2024.05.10

PROJECT NO:
24-513

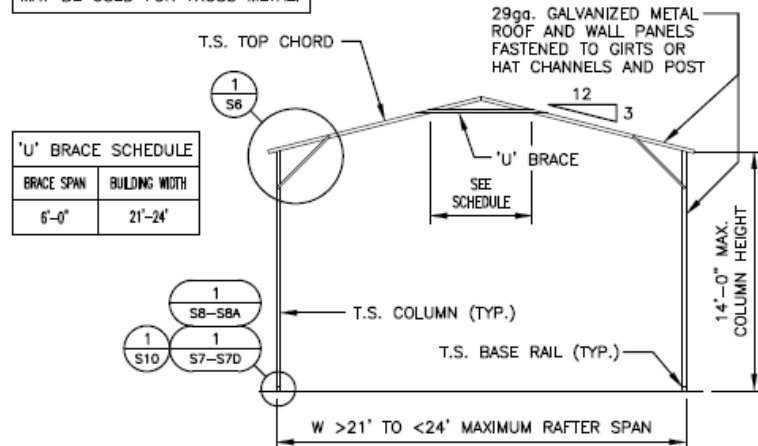
SHEET NO:
S3

>21' TO <24'



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O. BOX 258 HODGENT NORTH CAROLINA
TELE 336-333-4331 FAX 336-333-1001
WWW.TAYLORVIOLA.COM
JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-640-0590

DRAWN BY:
BKS

PROJECT NO:
24-513

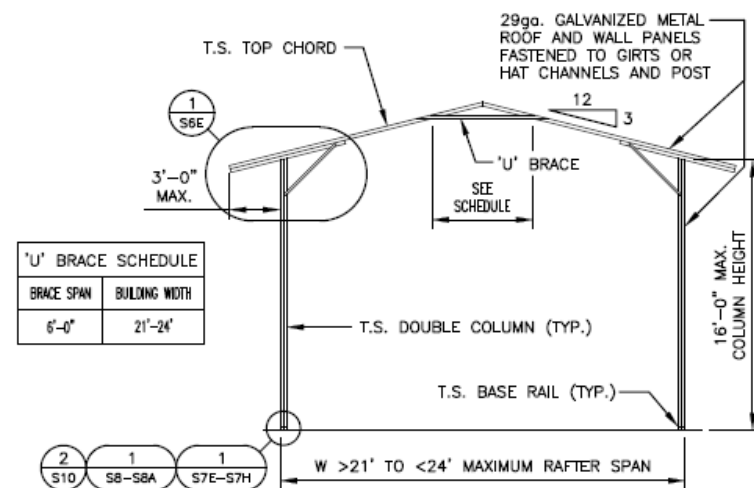
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2024.05.10

SHEET NO:
S5

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

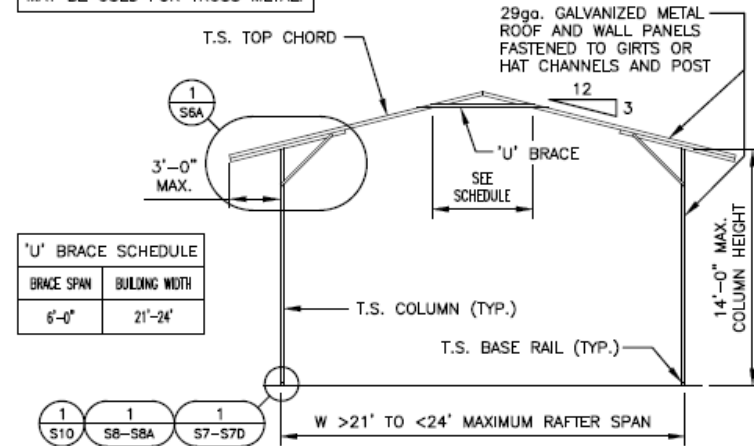
>21' TO <24' (3' SOFFIT)

Section V, Item A.



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O. BOX 258 HODGENT NORTH CAROLINA
TELE 336-333-4331 FAX 336-333-1001
WWW.TAYLORVIOLA.COM
JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-640-0590

DRAWN BY:
BKS

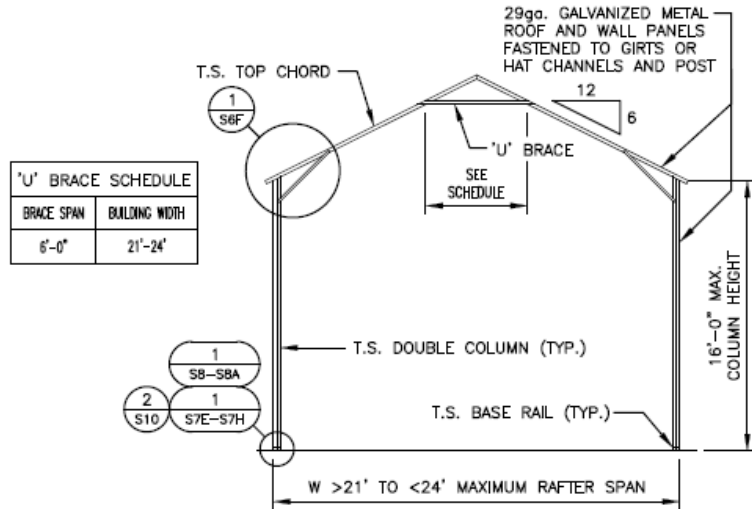
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24-513

DATE:
2024.05.10

SHEET NO:
S5A

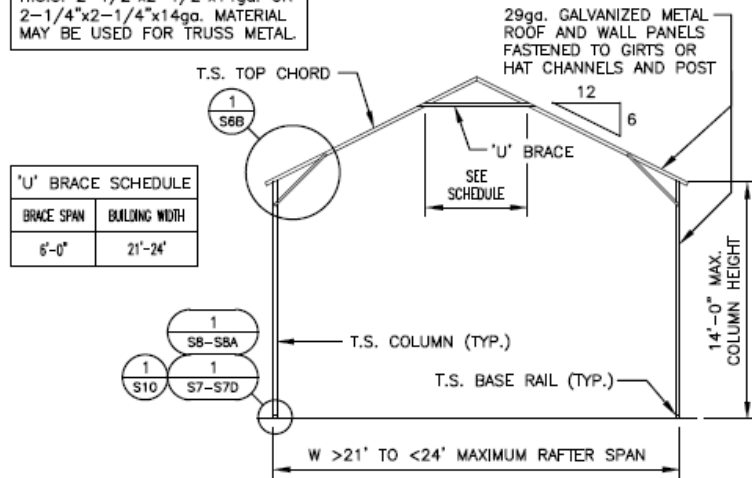
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>21' TO <24' WIDE (6:12 PITCH)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

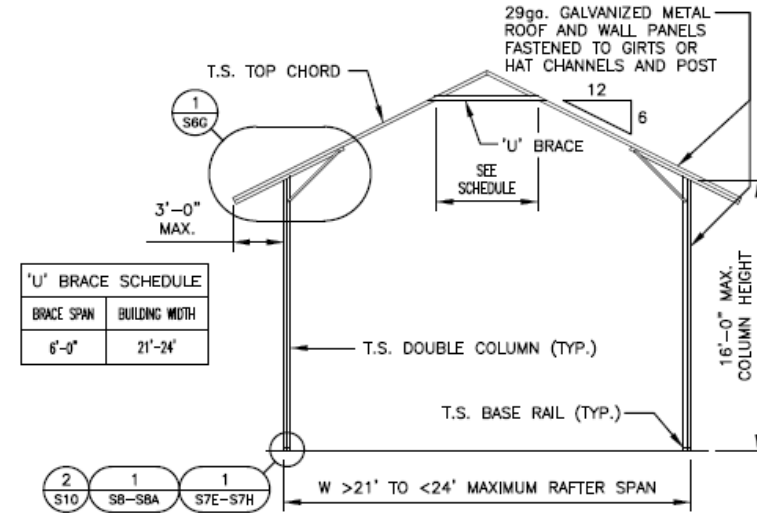
TAYLOR & VIOLA
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P.O.B. 2618 - HODRI NORTH CAROLINA
TEL: 800-332-6331 FAX: 800-332-1001
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RHINO METAL
STRUCTURES
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

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PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: **S58**

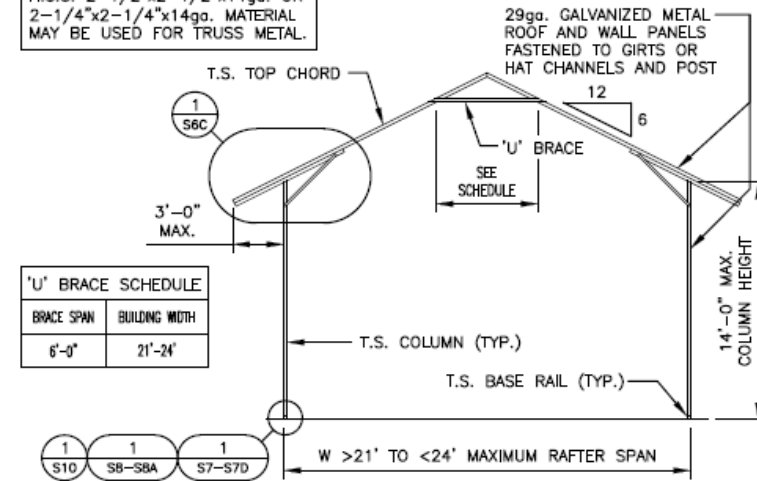
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>21' TO <24' WIDE (6:12 PITCH / 3' SOFFIT)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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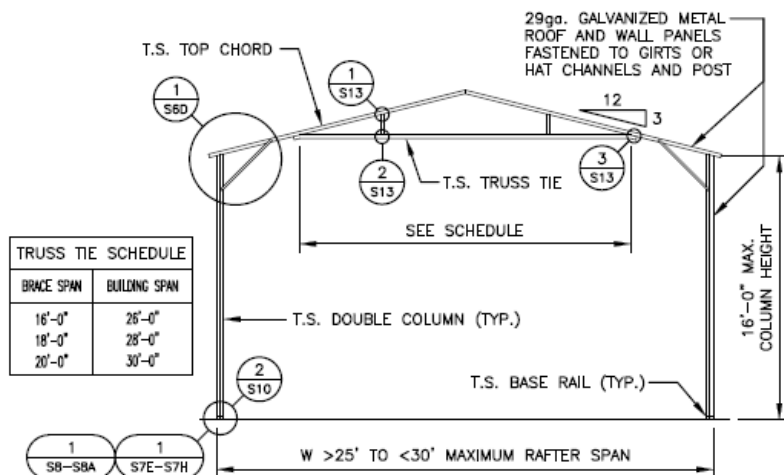
RHINO METAL
STRUCTURES
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY: BKS
PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: **S5C**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

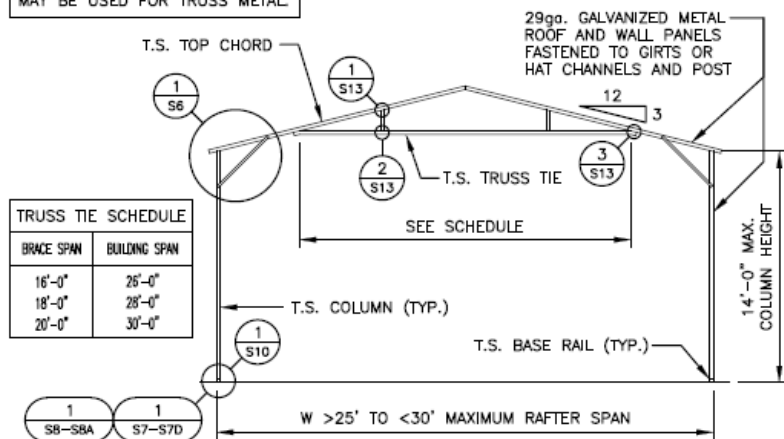
Section V, Item A.

>25' TO <30'



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

RHINO METAL
STRUCTURES

006 NM-467
PORTALES, NM 88130
TEL: 336-640-8590

DRAWN BY:
BKS

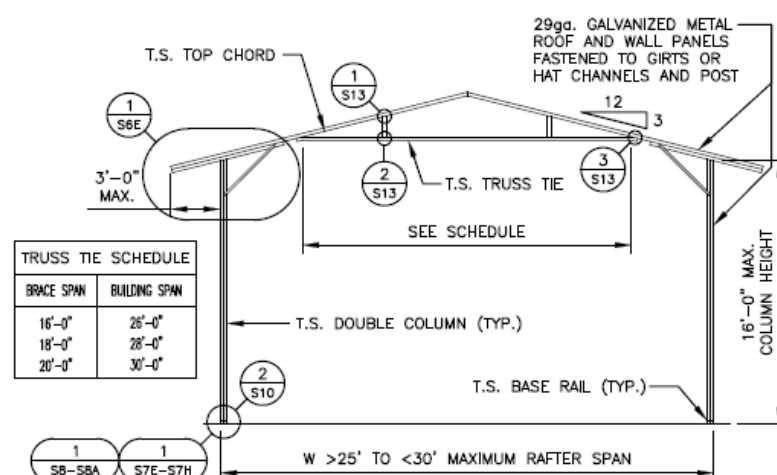
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24-513

DATE:
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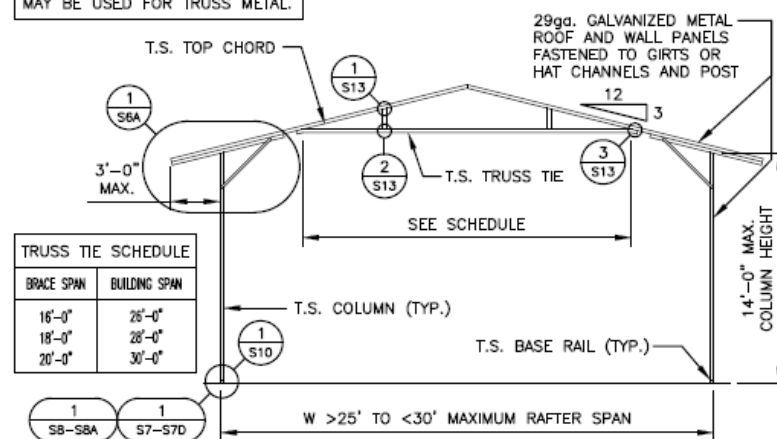
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>25' TO <30' (3' SOFFIT)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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RHINO METAL
STRUCTURES

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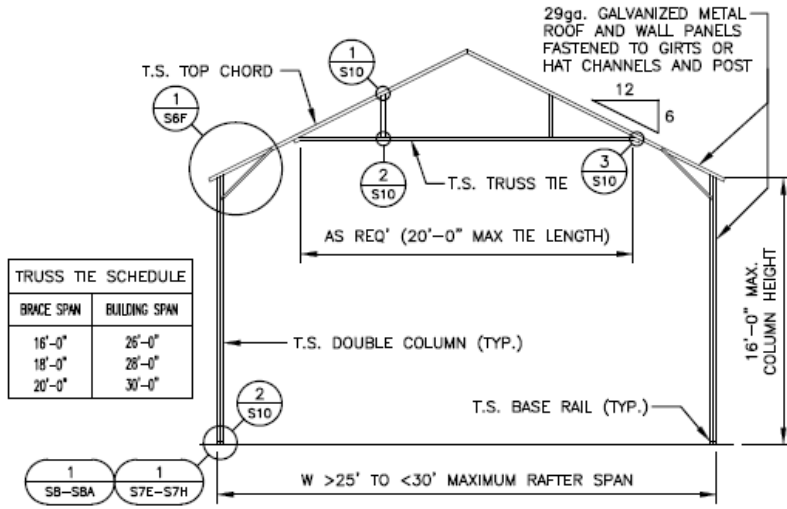
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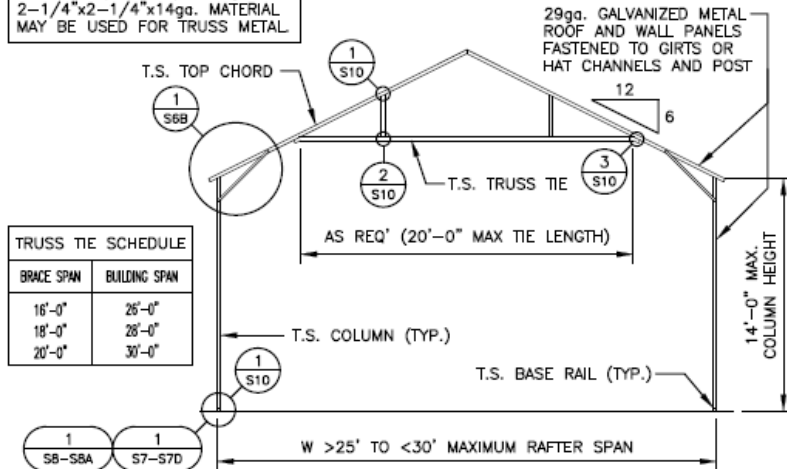
>25' TO <30' (6:12 PITCH)



TRUSS TIE SCHEDULE	
BRACE SPAN	BUILDING SPAN
16'-0"	26'-0"
18'-0"	28'-0"
20'-0"	30'-0"

TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TRUSS TIE SCHEDULE	
BRACE SPAN	BUILDING SPAN
16'-0"	26'-0"
18'-0"	28'-0"
20'-0"	30'-0"

TYPICAL RAFTER / COLUMN FRAME SECTION

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**RHINO METAL
STRUCTURES**

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PORTALES, NM 88130
TELE: 336-648-8590

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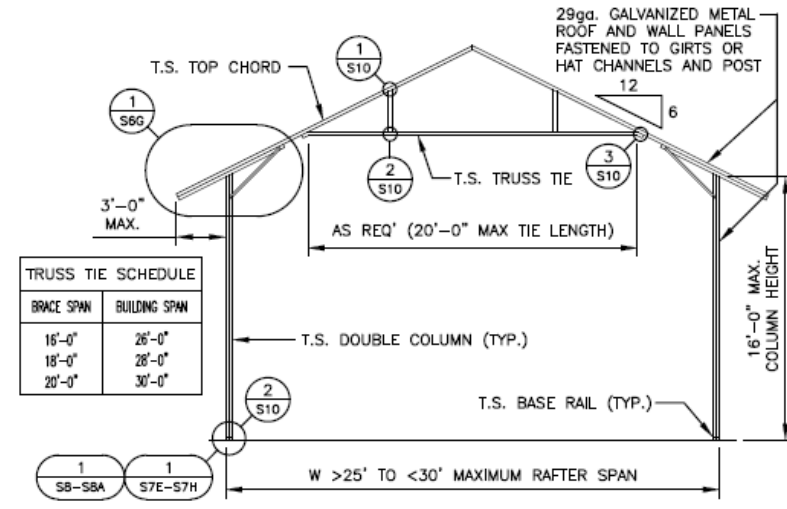
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24-513

DATE:
2024.05.10

SHEET NO:
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NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

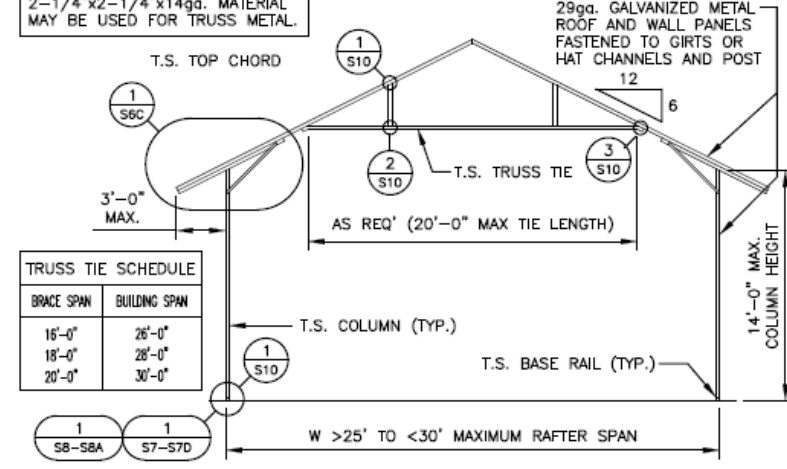
>25' TO <30' (6:12 PITCH / 3' SOFFIT)



TRUSS TIE SCHEDULE	
BRACE SPAN	BUILDING SPAN
16'-0"	26'-0"
18'-0"	28'-0"
20'-0"	30'-0"

TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TRUSS TIE SCHEDULE	
BRACE SPAN	BUILDING SPAN
16'-0"	26'-0"
18'-0"	28'-0"
20'-0"	30'-0"

TYPICAL RAFTER / COLUMN FRAME SECTION

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**RHINO METAL
STRUCTURES**

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TELE: 336-648-8590

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PROJECT NO:
24-513

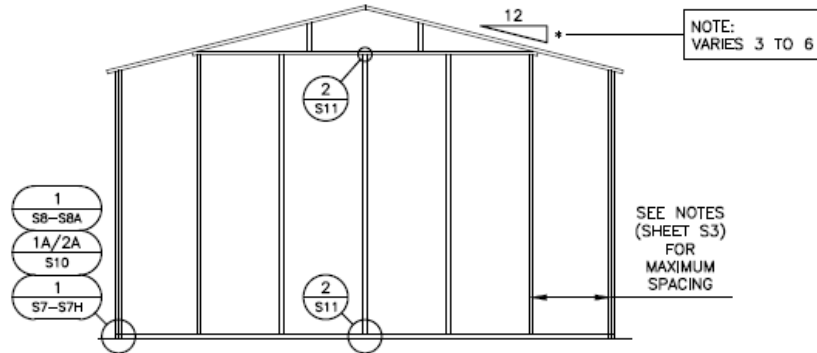
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SHEET NO:
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NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

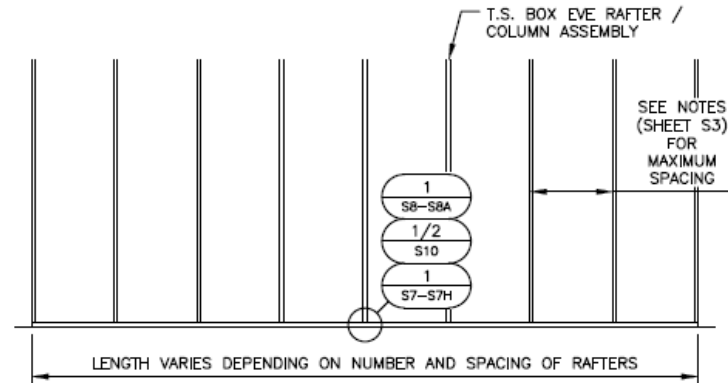
Section V, Item A.

(TYPICAL) FRAME SECTIONS



TYPICAL BOX EVE RAFTER / END WALL COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / SIDE COLUMN FRAME SECTION

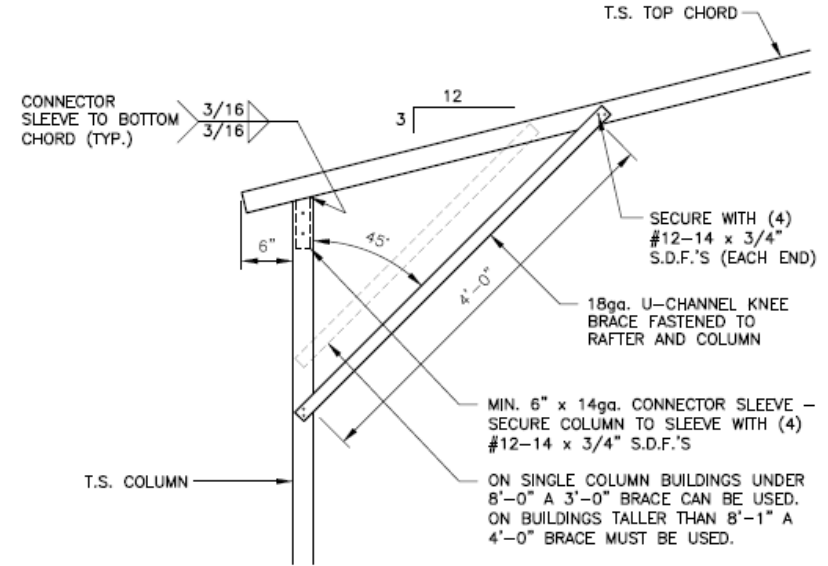
TAYLOR & VIOLA
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STRUCTURES**
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PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: S5H

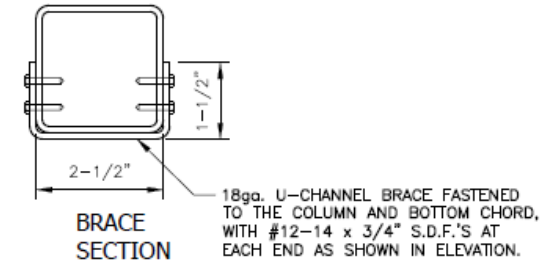
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Section V, Item A.



BOX EVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0"

1
S6 SCALE: 3/4" = 1'-0"



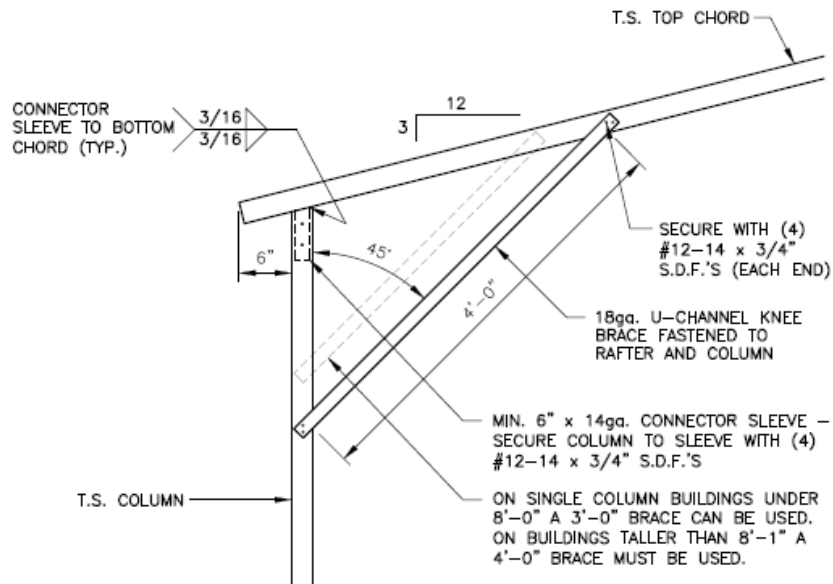
BRACE
SECTION

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**RHINO METAL
STRUCTURES**
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TELE: 336-648-0590

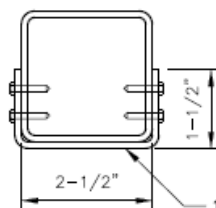
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DATE: 2024.05.10
SHEET NO: S6

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.



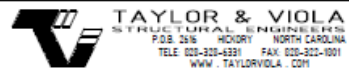
BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0"

SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.



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Telephone: (336) 399-6277

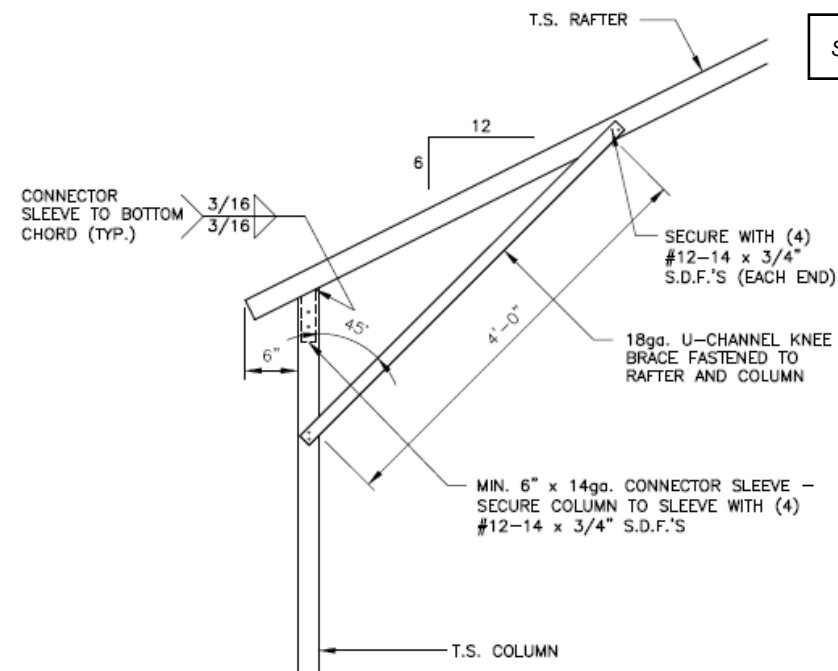
RHINO METAL
STRUCTURES

006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

DRAWN BY:
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PROJECT NO:
24-513
DATE:
2024.05.10
SHEET NO:
S6

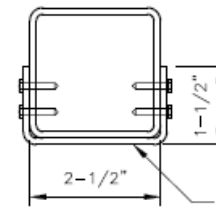
V2.0

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.



BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0" (6:12 PITCH)

SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.



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RHINO METAL
STRUCTURES

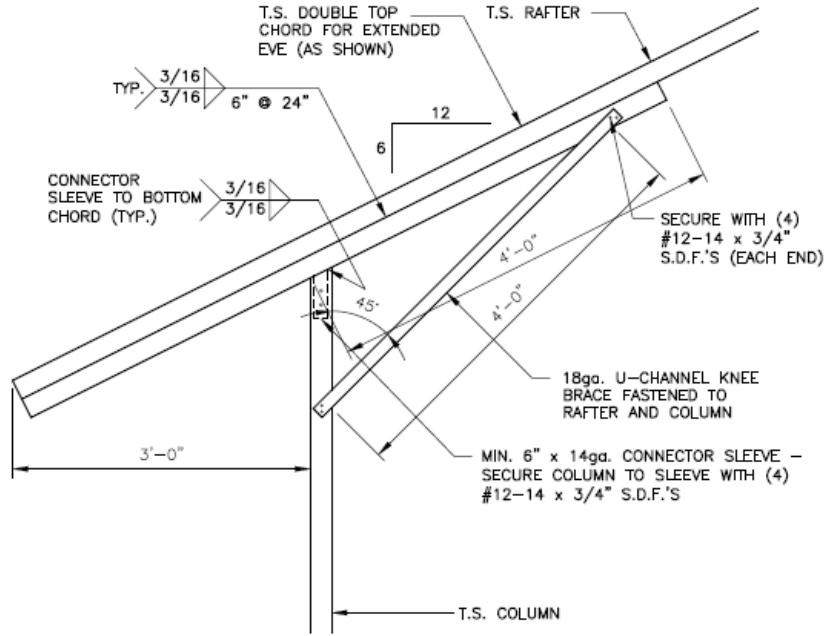
006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

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BKS
PROJECT NO:
24-513
DATE:
2024.05.10
SHEET NO:
S6B

V2.0

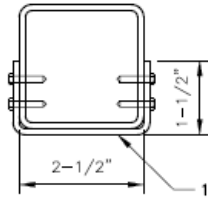
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Section V, Item A.



BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0" (6:12 PITCH / 3' SOFFIT)

1
S6C SCALE: 3/4" = 1'-0"



BRACE
SECTION

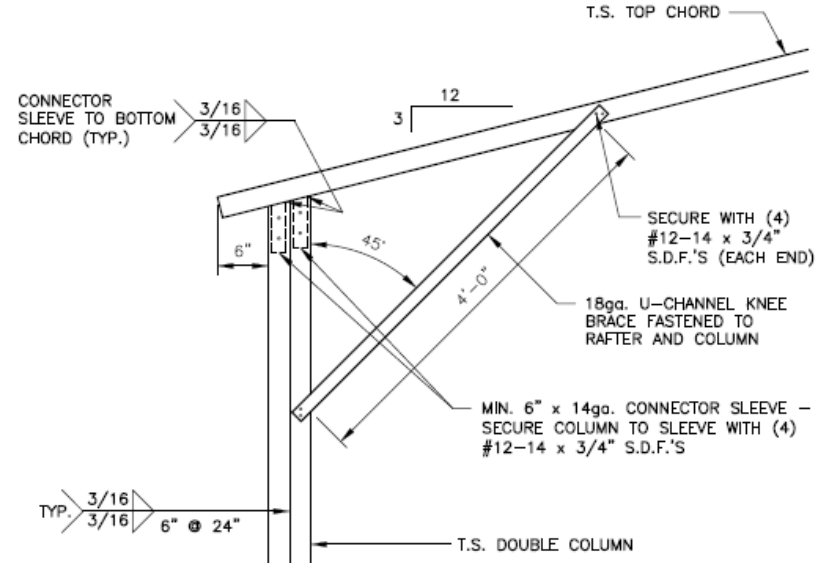
18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

TAYLOR & VIOLA
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**RHINO METAL
STRUCTURES**
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TELE: 336-648-0590

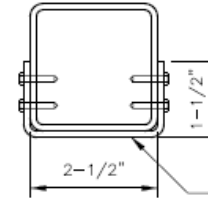
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BKS PROJECT NO:
24-513
DATE:
2024.05.10 SHEET NO:
S6C

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BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS >14'-1" TO <16'-0"

1
S6D SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

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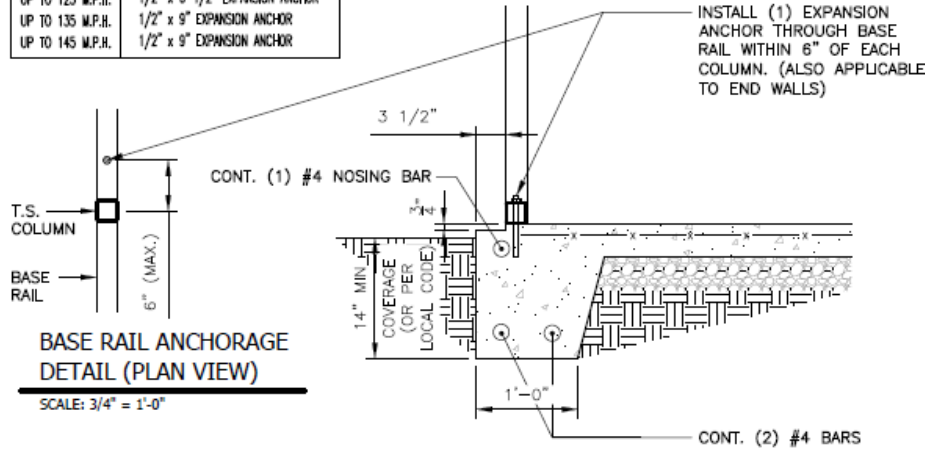
**RHINO METAL
STRUCTURES**
006 NM-467
PORTALES, NM 88130
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BKS PROJECT NO:
24-513
DATE:
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NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE

ANCHORAGE BOLT SCHEDULE	
WIND SPEED	BOLT SIZE
UP TO 115 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 125 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 135 M.P.H.	1/2" x 9" EXPANSION ANCHOR
UP TO 145 M.P.H.	1/2" x 9" EXPANSION ANCHOR



1 BASE RAIL ANCHORAGE DETAIL
S7 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

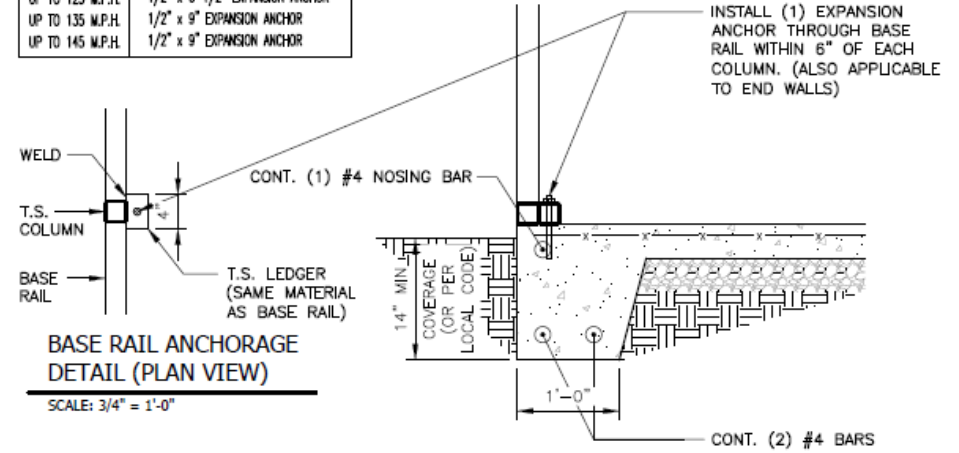
REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

CONCRETE BASE RAIL ANCHORAGE (LEAN-TO / NO LEDGE)

Section V, Item A.

ANCHORAGE BOLT SCHEDULE	
WIND SPEED	BOLT SIZE
UP TO 115 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 125 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 135 M.P.H.	1/2" x 9" EXPANSION ANCHOR
UP TO 145 M.P.H.	1/2" x 9" EXPANSION ANCHOR



1 BASE RAIL ANCHORAGE DETAIL
S7B SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

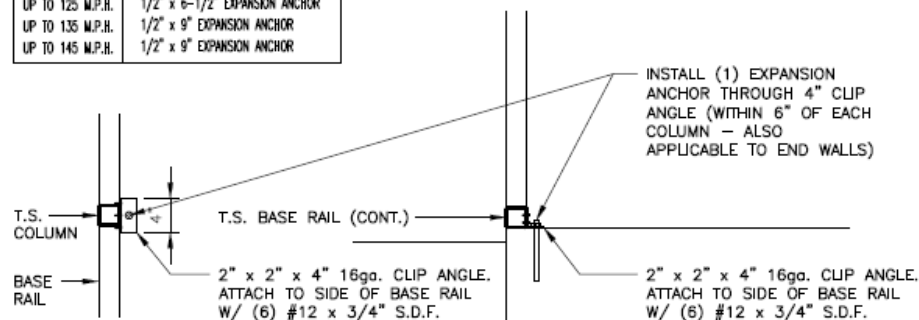
REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

CONCRETE BASE RAIL ANCHORAGE (CLIP ANGLE ATTACHMENT OPTION)

ANCHORAGE BOLT SCHEDULE	
WIND SPEED	BOLT SIZE
UP TO 115 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 125 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 135 M.P.H.	1/2" x 9" EXPANSION ANCHOR
UP TO 145 M.P.H.	1/2" x 9" EXPANSION ANCHOR



BASE RAIL ANCHORAGE
DETAIL (PLAN VIEW)

SCALE: 3/4" = 1'-0"

BASE RAIL ANCHORAGE DETAIL
(CLIP ANGLE ATTACHMENT OPTION)



SCALE: 3/4" = 1'-0"

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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY: BKS
PROJECT NO: 24-513

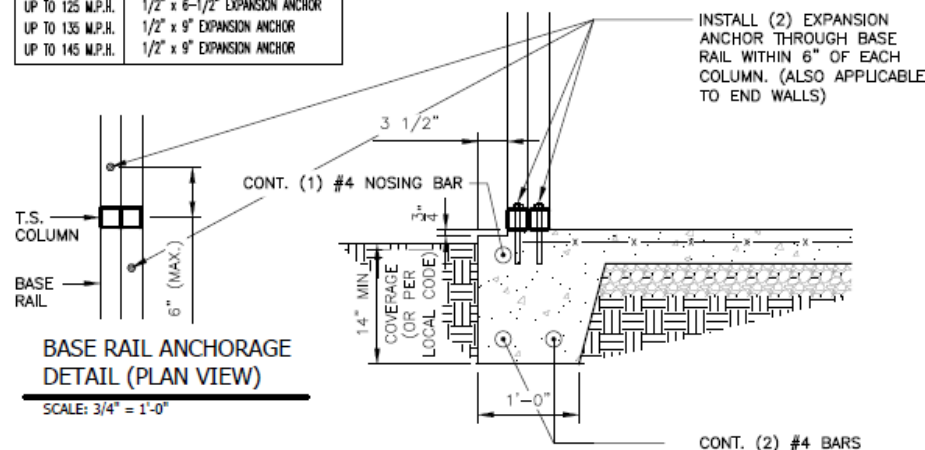
DATE: 2024.05.10
SHEET NO: **S7D**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE

Section V, Item A.

ANCHORAGE BOLT SCHEDULE	
WIND SPEED	BOLT SIZE
UP TO 115 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 125 M.P.H.	1/2" x 6-1/2" EXPANSION ANCHOR
UP TO 135 M.P.H.	1/2" x 9" EXPANSION ANCHOR
UP TO 145 M.P.H.	1/2" x 9" EXPANSION ANCHOR



BASE RAIL ANCHORAGE
DETAIL (PLAN VIEW)

SCALE: 3/4" = 1'-0"

BASE RAIL ANCHORAGE DETAIL



SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:
1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O. BOX 2618 HODORY NORTH CAROLINA
TELE 828-322-4331 FAX 828-322-1001
WWW.TAYLORVIOLA.COM

JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

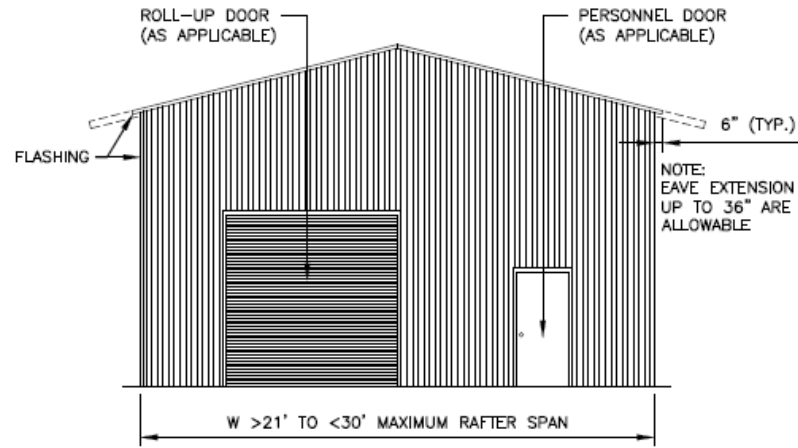
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY: BKS
PROJECT NO: 24-513

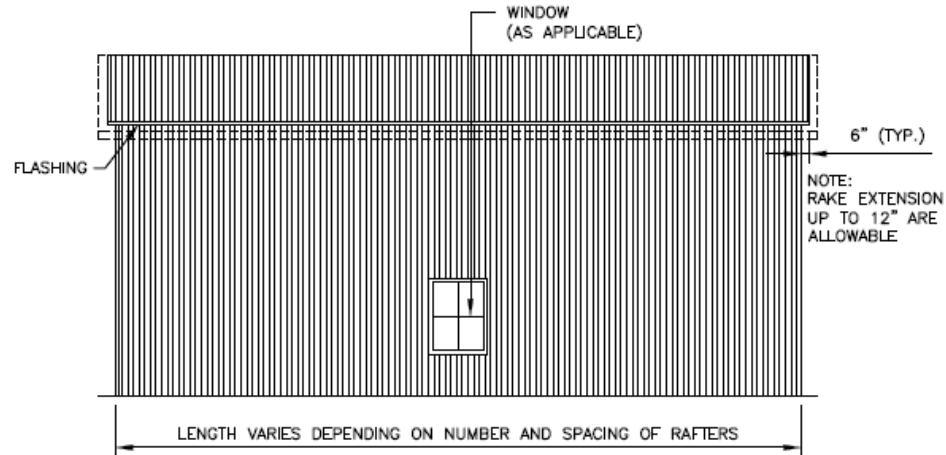
DATE: 2024.05.10
SHEET **S7E**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

VERTICAL ROOF / SIDING OPTION



TYPICAL END ELEVATION



TYPICAL SIDE ELEVATION

TAYLOR & VIOLA
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JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

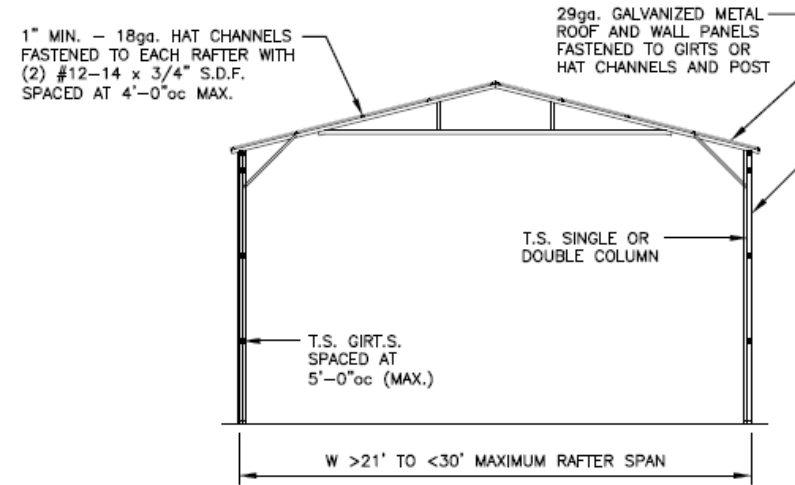
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PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY:
BKS
DATE:
2024.05.10

PROJECT NO:
24-513
SHEET NO:
S16

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

VERTICAL ROOF / SIDING OPTION



TYPICAL SECTION VERTICAL ROOF / SIDING OPTION

Section V, Item A.

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O.B. 216 HODORY NORTH CAROLINA
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Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY:
BKS
DATE:
2024.05.10

PROJECT NO:
24-513
SHEET NO:
S16A

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.



City of Bel Aire, Kansas
7651 E. Central Park Ave
Bel Aire, Kansas 67226



PRELIMINARY PLAT/ PUD REVIEW

Address of proposed project: Homestead at Spring housing development

This report is to document that on 8.30.24 the Zoning Administrator from the City of Bel Aire evaluated the above property plan for compliance of zoning and building requirements:

- | | |
|--|--|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> ELEVATIONS |
| <input type="checkbox"/> EFFECTIVE CODE COMPLIANCE | <input checked="" type="checkbox"/> REQUIRED PLAN SUBMITTALS |
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> EASEMENTS |
| <input type="checkbox"/> LANDSCAPE | <input type="checkbox"/> SCREENING |
| <input type="checkbox"/> STORM DRAINAGE | <input checked="" type="checkbox"/> NEIGHBORHOOD IMPACT |
| <input type="checkbox"/> ADA ACCESSIBLE | <input type="checkbox"/> UTILITIES TO BUILDING |

The review of the above property plan has been:

- ☒ APPROVED, as noted
- ☐ DELAYED, as noted
- ☐ DENIED, as noted

DATE 8/30/24

Keith Price
REVIEWED BY

Comments:

The application was modified to reflect total 141 lots and additional information was provided by the deadline. One draft received appears to show 111 and another shows 145, all parcels listed in the application are in Bel Aire.

Final draft review below:

-
- Everygy and Onegas were contacted, Everygy responded with street light placement information, Onegas had no requests.
 - Bel Aire's City Engineer can be reached for drainage and utility comments, this review doesn't contain any requirements that may result.
 - The property is currently zoned C-1 commercial and R-4 residential. The PUD is requested based on the two versions of the plat received to reduce lot size in width and depth from the R-4 residential. Is the request to increase lot coverage over 30% or have a reduced size yard less than 10? Is there any changes to the C-1 Commercial zoned district? Does the metes and bounds zoned C-1 district match the proposed platted lot?
 - Preliminary plat doesn't list the zoning of surrounding parcels. Homestead Senior development should be shown as R-6 (some maps may show an error); Englert Addition is R-4, west is R-4, and Chapel Landing is R-4.

- It appears that the townhouse examples exceed the lot width of some of the lots proposed. Townhouse 1.1 appears to be over 1,300 square foot per unit main floor. Is there a plan to split lots or have a zero-lot line development? Is the single family proposed in phase 1 townhouses that meet building code standards of 2-hour firewall?
 - What is the minimum house square footage requested? R-4 requires 1,600 s.f. single family, duplex can be 1,200 s.f. per unit. Some of the examples indicate basements will be provided.
 - Provide the revisions and information in paper form and digital form by September 4th.
-
- <http://www.belaires.ky.citycode.net/> is the link to find the requirements for platting and zoning.

APPLICATION

This form MUST be completed and filed at City Hall, Bel Aire, Kansas, 6751 E Central Park, Bel Aire, Kansas 67226. AN INCOMPLETE APPLICATION CANNOT BE ACCEPTED. Check the appropriate box below for type of application being submitted. A separate application and filing fee is required for each application. A preapplication conference with City Staff is recommended before filing this application.

-
-
- ☐ Change Zoning Districts: From: _____ to _____
☐ Amendments to Change Zoning Districts _____
☐ Preliminary PUD _____ ☒ Preliminary PUD with plat/ zoning
☐ Final PUD ☐ Final PUD with plat/ zoning

City of Bel Aire Planning Commission

☐ Approved ☐ Rejected

Comments to City Council

City of Bel Aire Council

☐ Approved ☐ Rejected

Name of owner ENVISION MANAGEMENT LLC
 Address 14726 E 9TH STN, 67230 WICHITA, KS ATTN: ALAN HSU ALANHSU@GMAIL.COM
 Telephone 316-992-8866
 Agent representing the owner KEN LEE, GARVER KWLEE@GARVERUSA.COM
 Address 1995 MIDFIELD RD, WICHITA, KS 67209
 Telephone 316-221-3029

1. The application area is legally described as Lot(s) SEE ATTACHED Block(s) SEE ATTACHED
 Addition, Bel Aire, Kansas. If appropriate, a metes and
 bounds description may be attached.

2. The application area contains 60.45 acres.

3. This property is located at (address) N/A which is generally
 located at (relation to nearest streets) NORTHEAST OF 53RD ST N & OLIVER

4. County control
 number: 520984, 557498, 30005870, 30005871

5. NAMES OF OWNERS - For land inside the city limits, an ownership list of the
 names, addresses and zip codes of the owners of record of real property located within

200 feet of the exterior boundary of the area described in the application both within the city limits and extending outside the city limits when necessary.

If such area is located adjacent to but within the city limits, the ownership list, in addition to the 200 feet inside the city limits, shall provide similar information extending to 1,000 feet into the unincorporated area.

The names of the owners of all property included in this application MUST be listed as applicants. Contract purchasers, lessees or other directly associated with the property may also be listed if they desire to be advised of the proceedings.

1. Applicant ENVISION MANAGEMENT LLC ATTN: ALAN HSU ALANCHSU@GMAIL.COM
Address 14726 E 9TH ST N, WICHITA, KS Phone 316-992-8866
Zip Code 67230

Agent GARVER, ATTN: KEN LEE KWLEE@GARVERUSA.COM Phone 316-221-3029
Address 1995 MIDFIELD RD, WICHITA, KS Zip Code 67209

2. Applicant _____ Phone _____
Address _____ Zip Code _____
Agent _____ Phone _____
Address _____ Zip Code _____

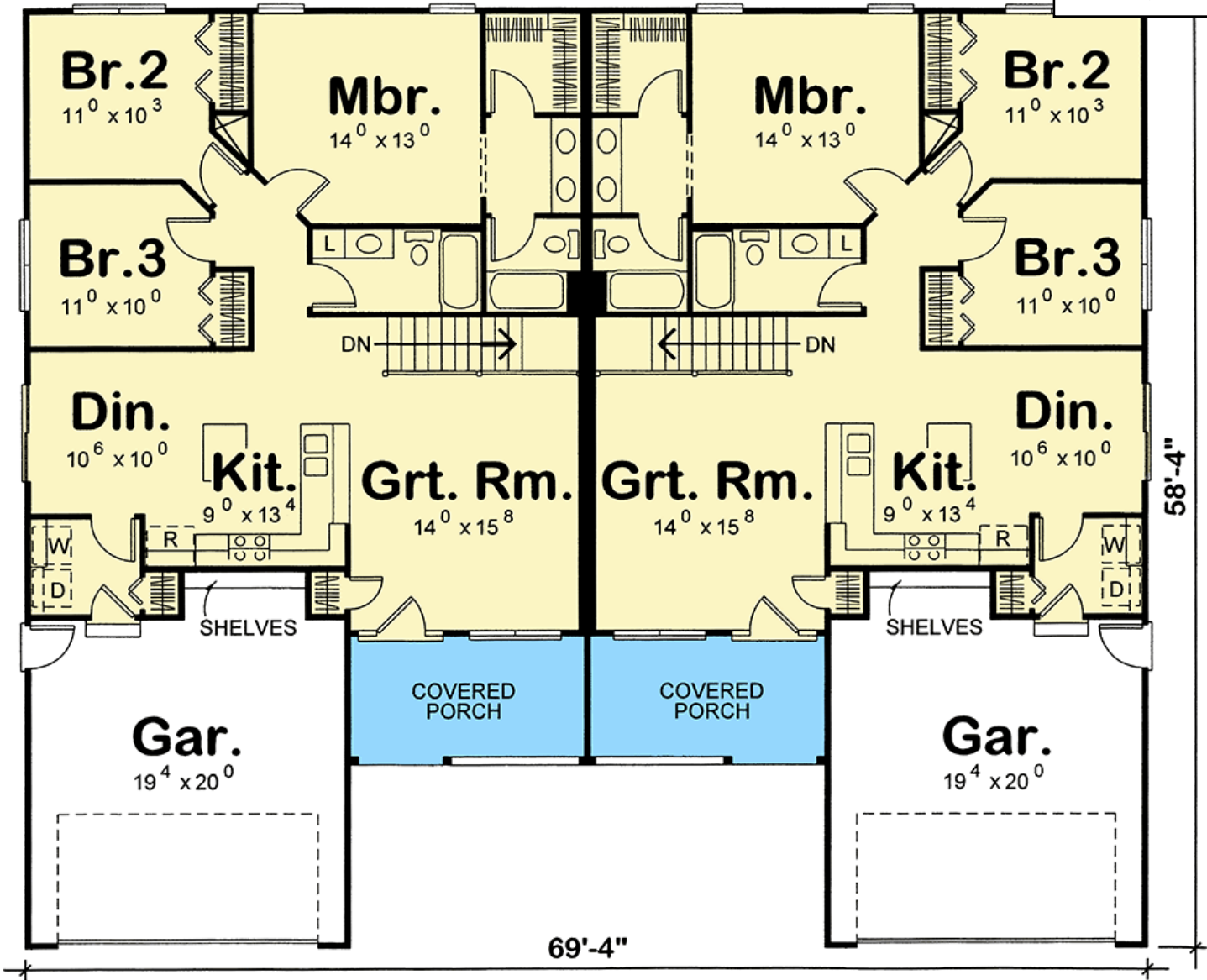
The applicant certifies that the foregoing information is true and correct to the best of their knowledge and acknowledges that the Governing Body shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

Alan Hsu

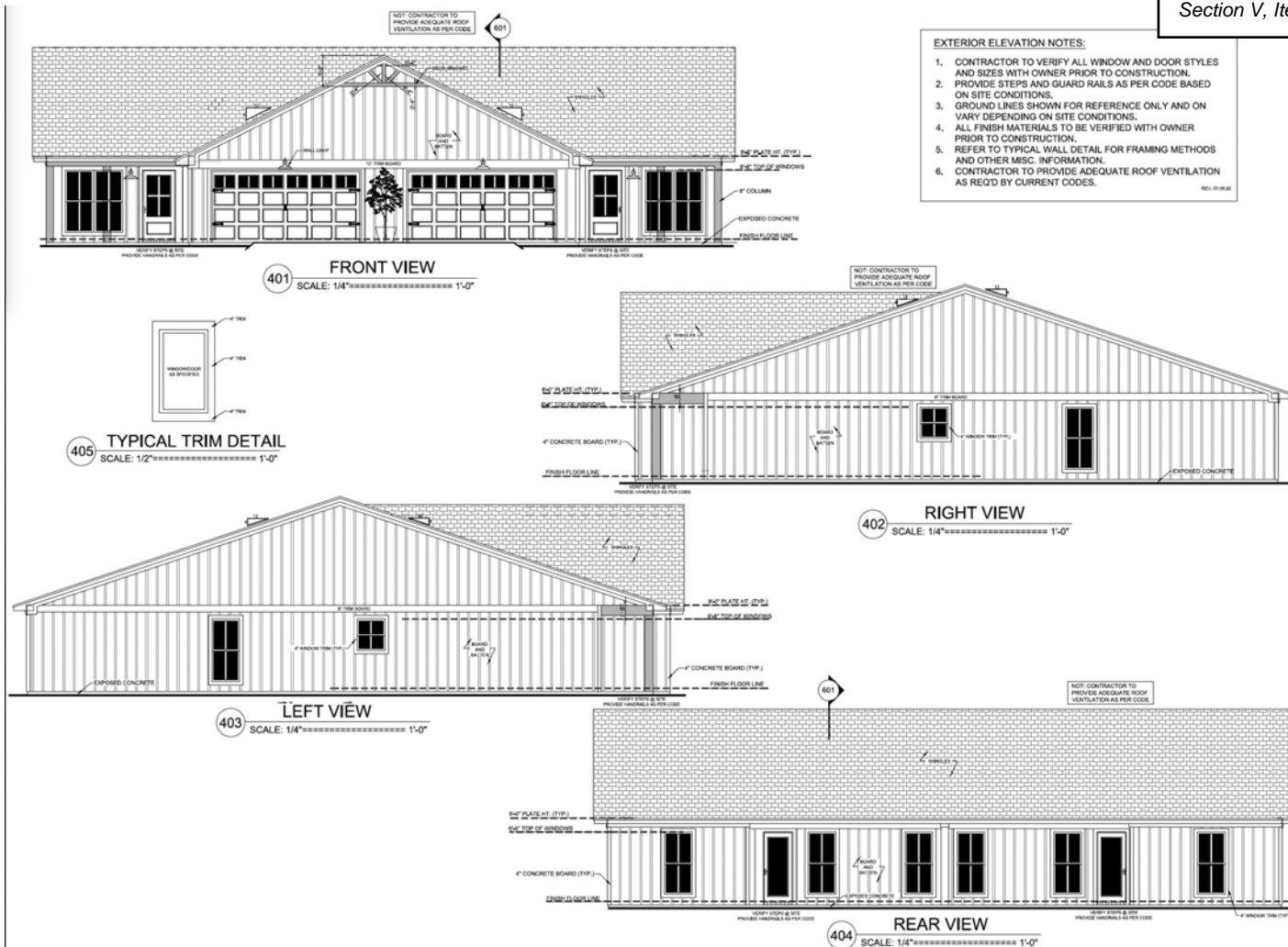
Applicant's Signature _____ BY _____ Authorized Agent (If Any) _____

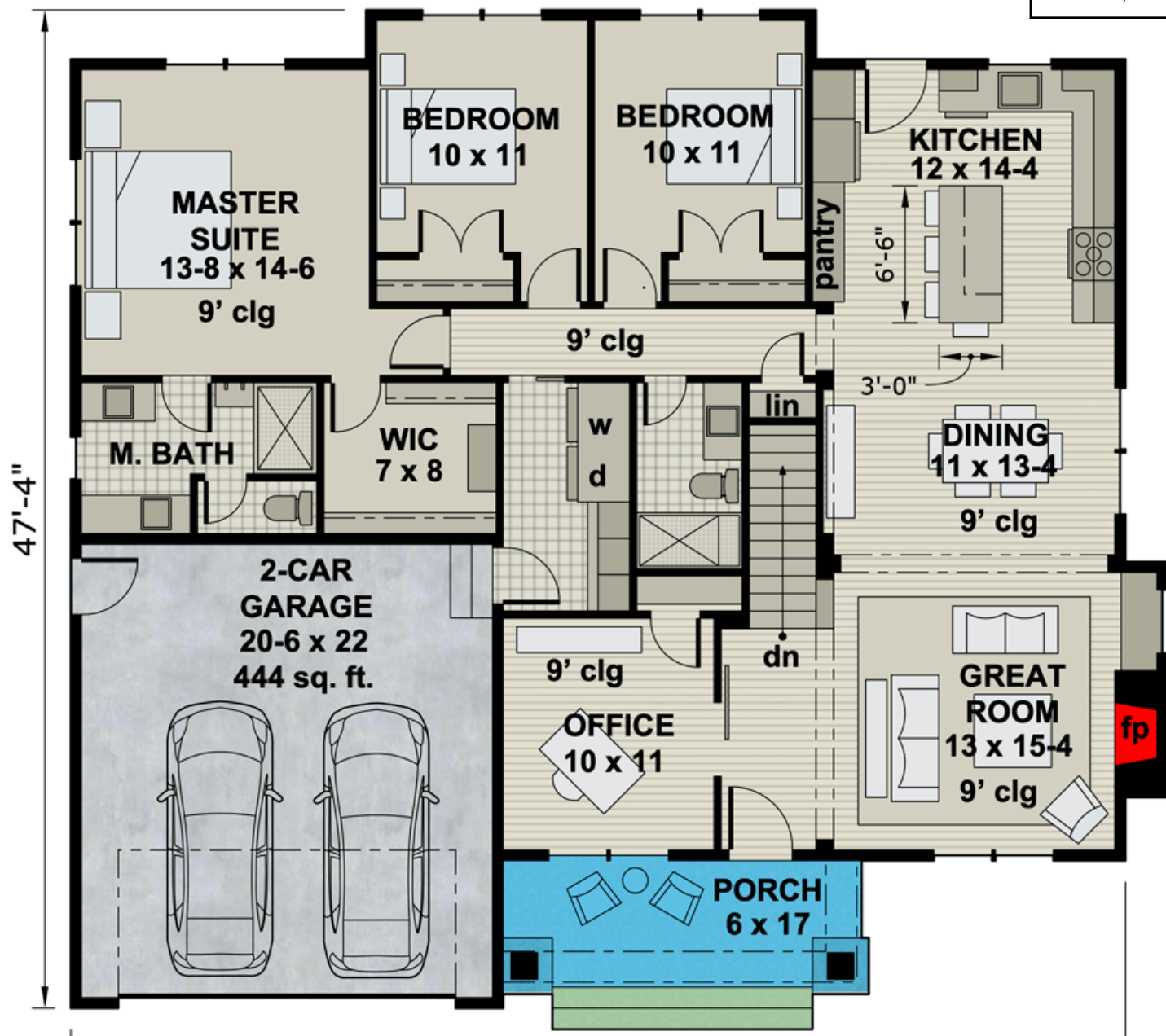
The Petition must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the owner's written notarized authorization to this application.







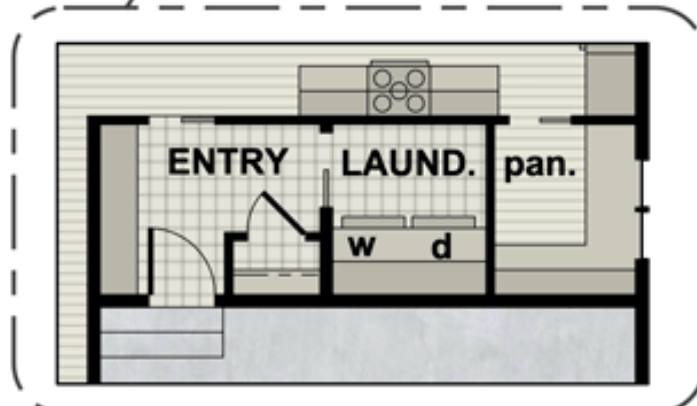
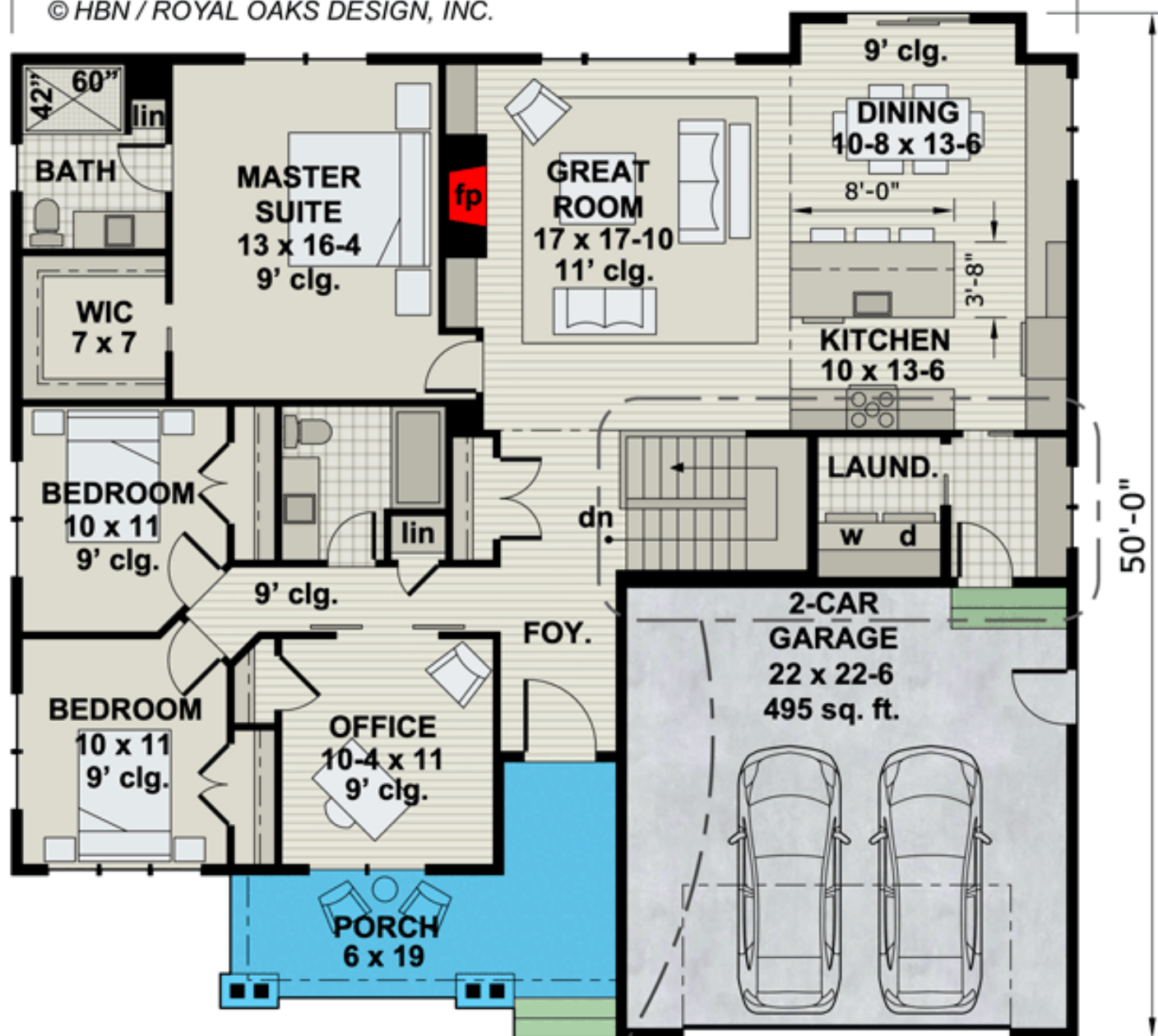






52'-0"

© HBN / ROYAL OAKS DESIGN, INC.

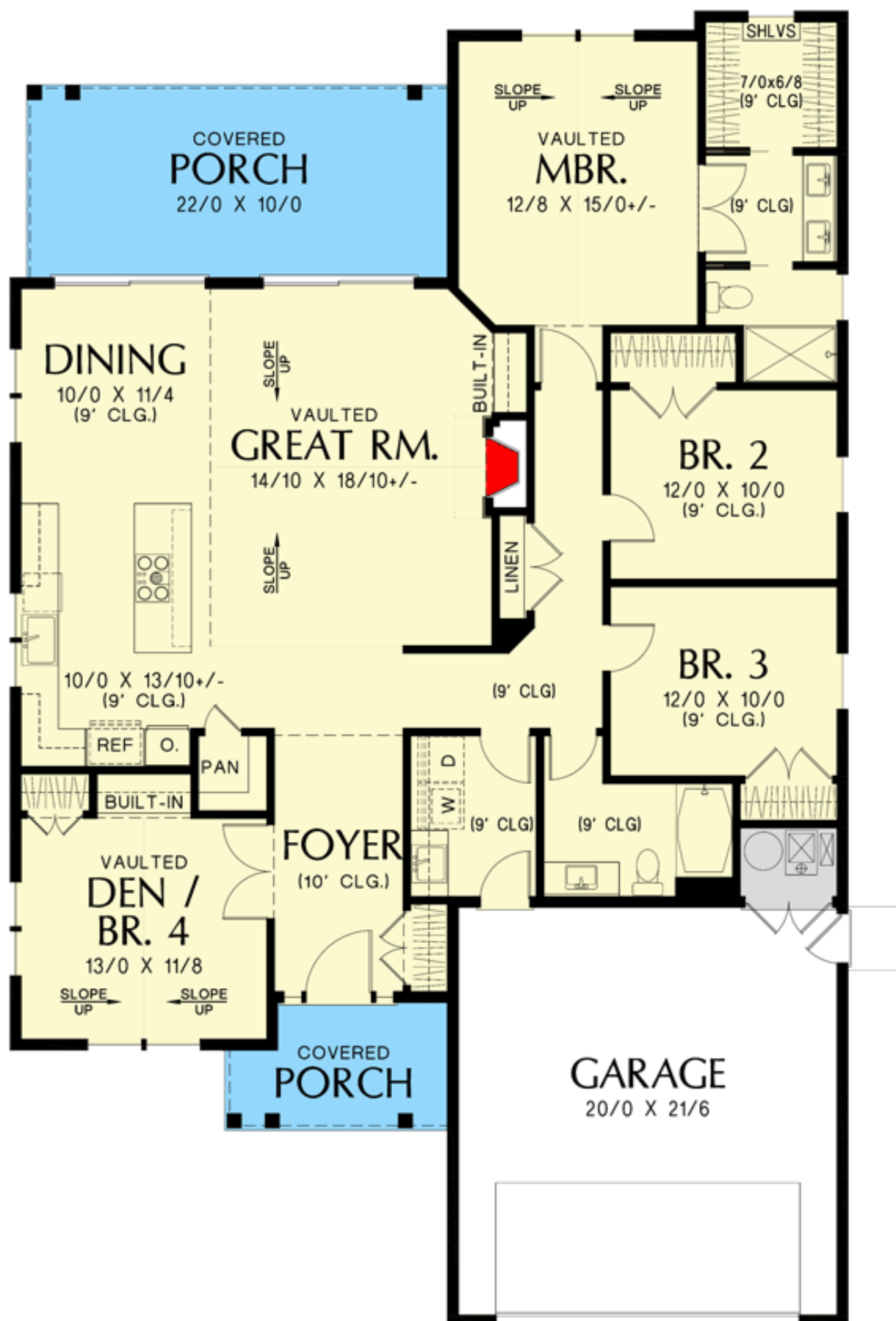


SLAB & CRAWSPACE





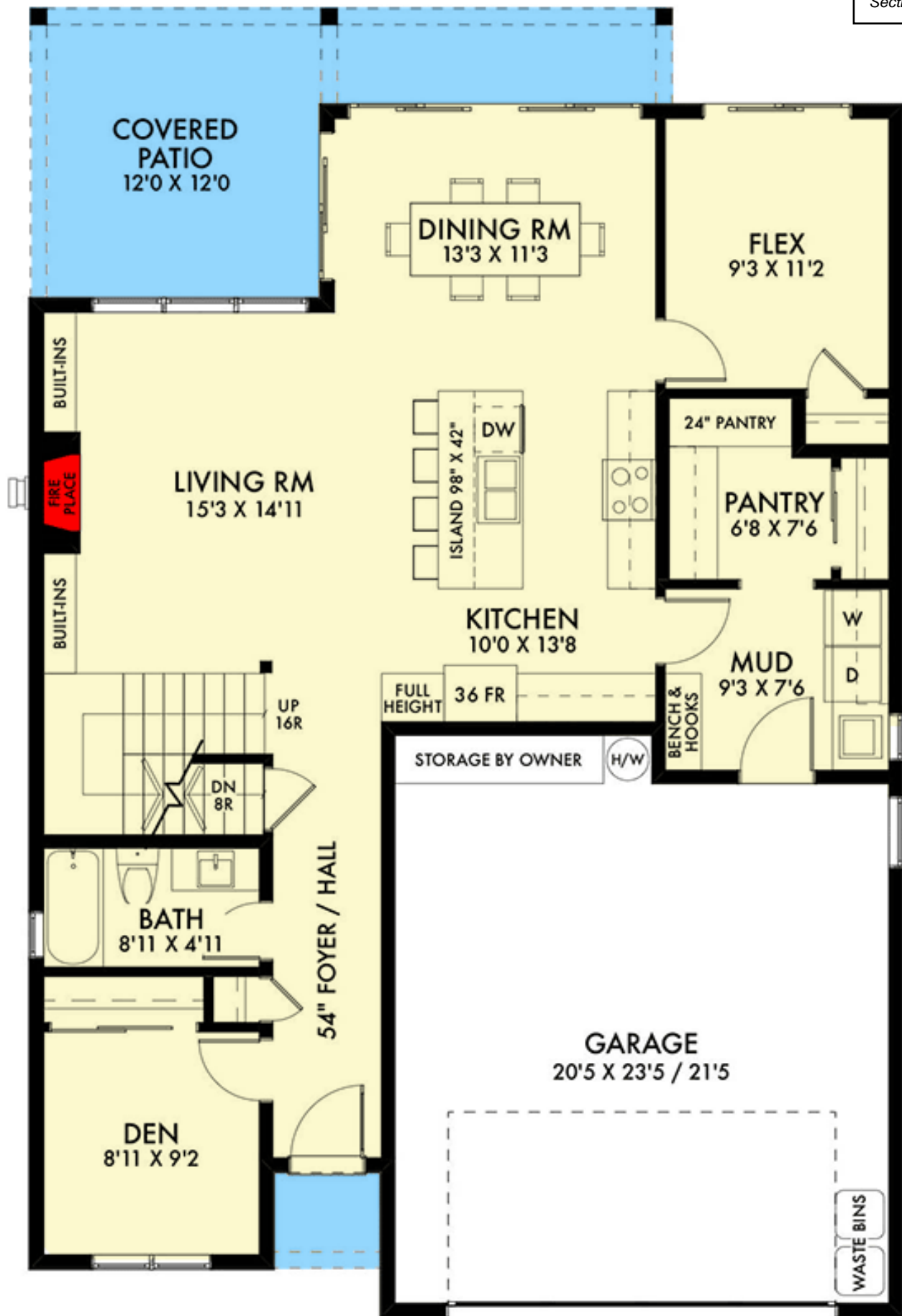


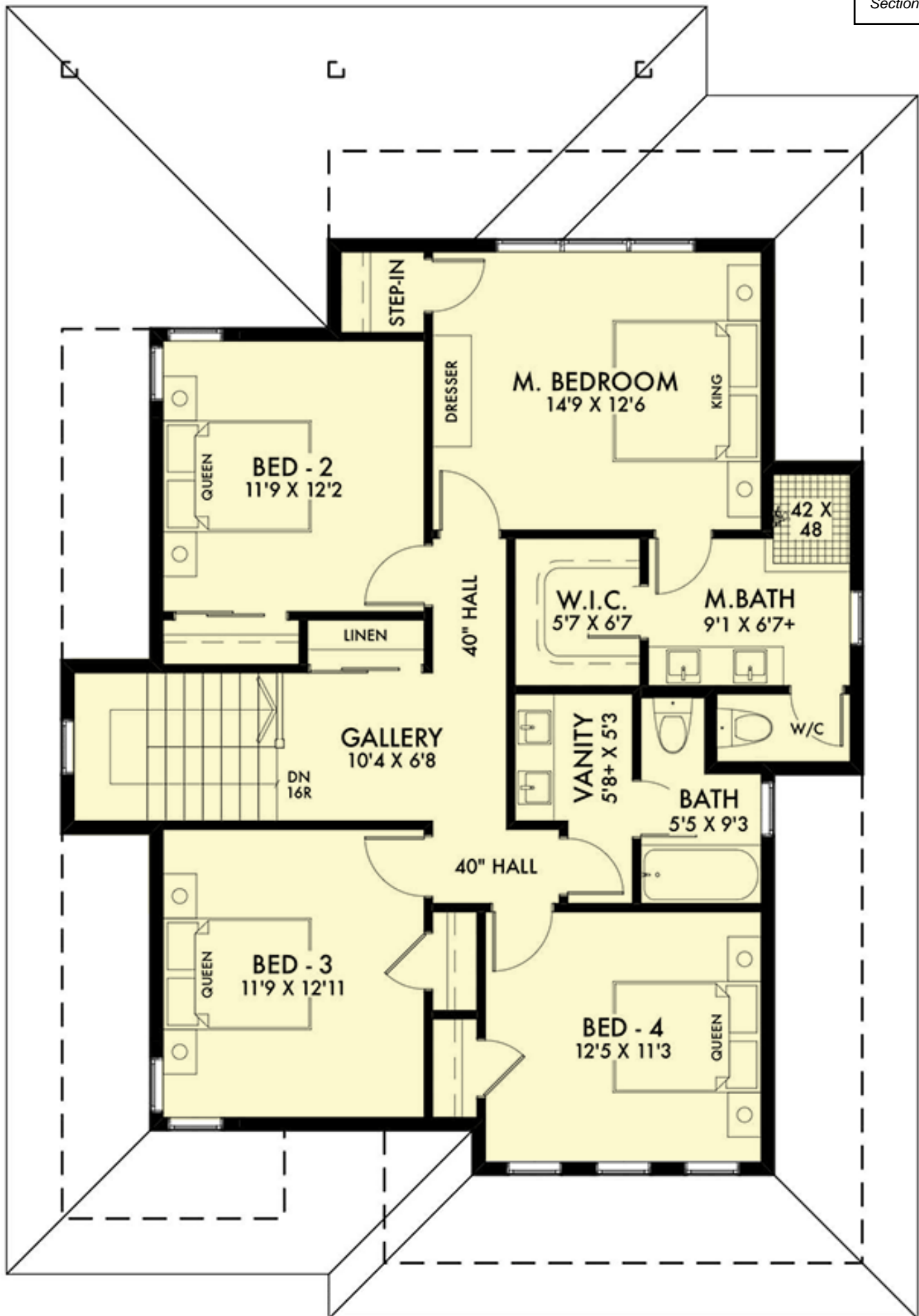




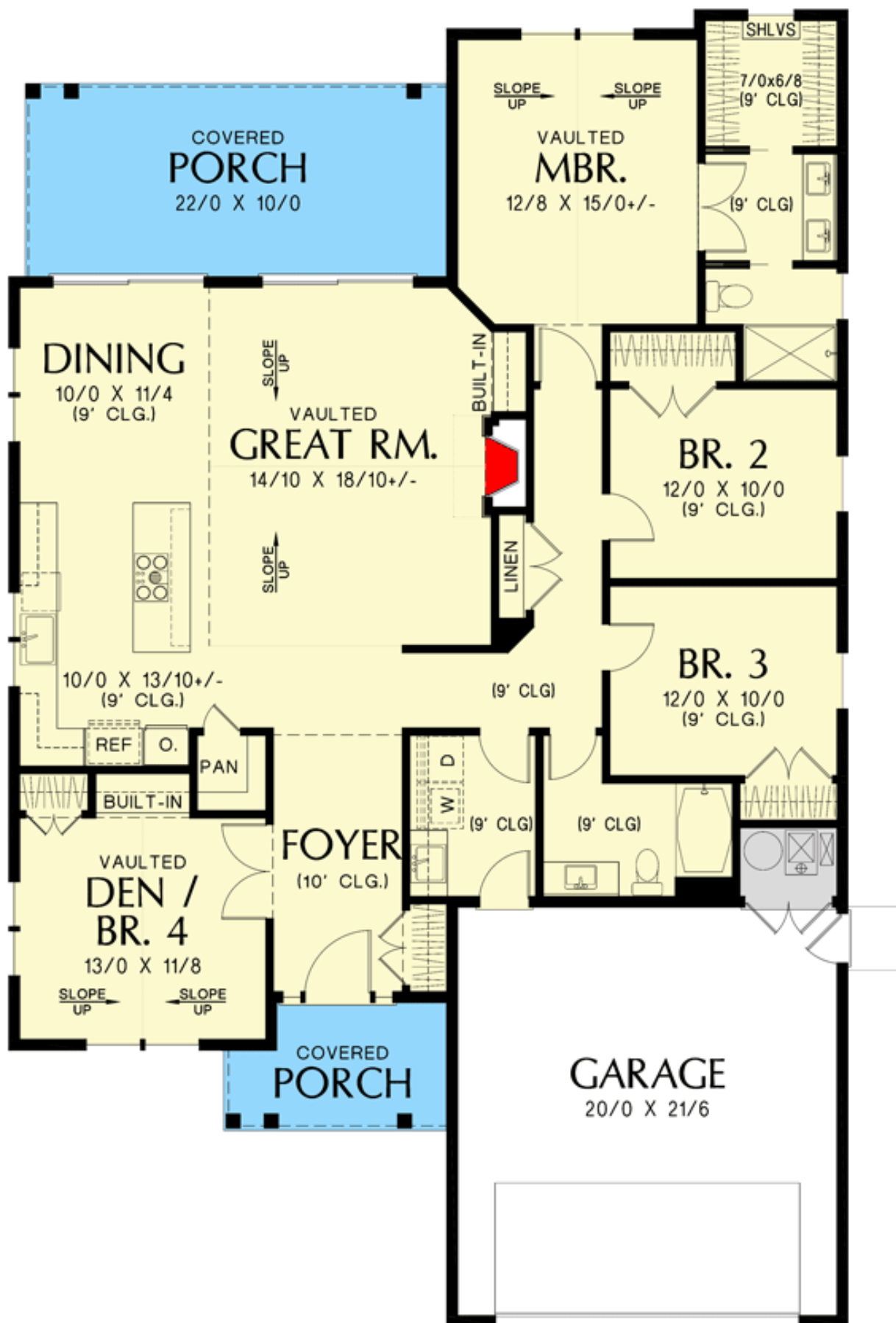














HOMESTEAD AT SPRING PUD

BEL AIRE, SEDGWICK COUNTY, KANSAS

OWNER, APPLICANT AND AGENT

Owner:
Envision Management LLC, a Kansas limited liability company

Applicant:
AH Property Management LLC, a Kansas limited liability company
Sole Member: Alan Hsu
Ph. (316) 992-8866
alanchsu@gmail.com

Agent:
Garver, LLC
Engineer: Ken Lee
Ph. (316) 221-3029
KWLee@GarverUSA.com

Land Surveyor: Will Clevenger
Ph. (316) 221-3027
WKClevenger@GarverUSA.com

PARCEL INFORMATION

Gross Acreage - 60.45 Acres
Total Number of Lots - 145
Total Number of Dwelling Units - 198
Unit Density - 3.27 Dwelling Units per acre
Predominant Minimum Lot Width - 70'
Predominant Minimum Lot Area - 8,400 SF
Sedgwick County Control Numbers - 520984, 557498, 30005870, 30005871

PROPOSED IMPROVEMENTS

New roads will be paved with curb and gutter

EASEMENTS

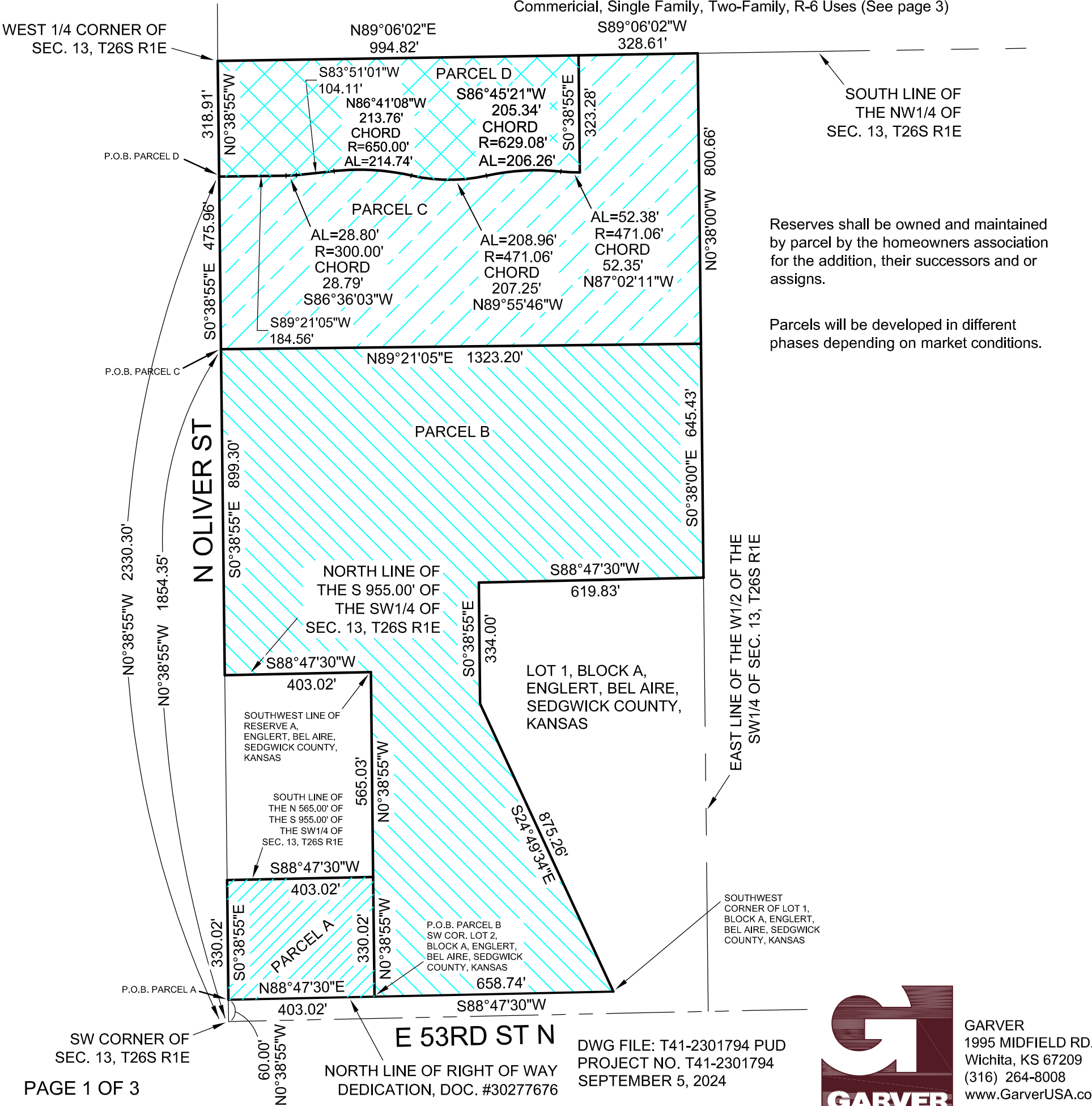
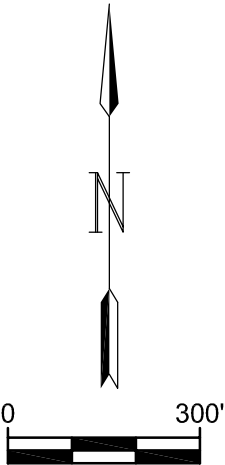
Unless otherwise noted on the final plat:
Front Easements - 15' Utility Easements
Rear Easements - 20' Drainage & Utility Easements

BUILDING SETBACK LINES

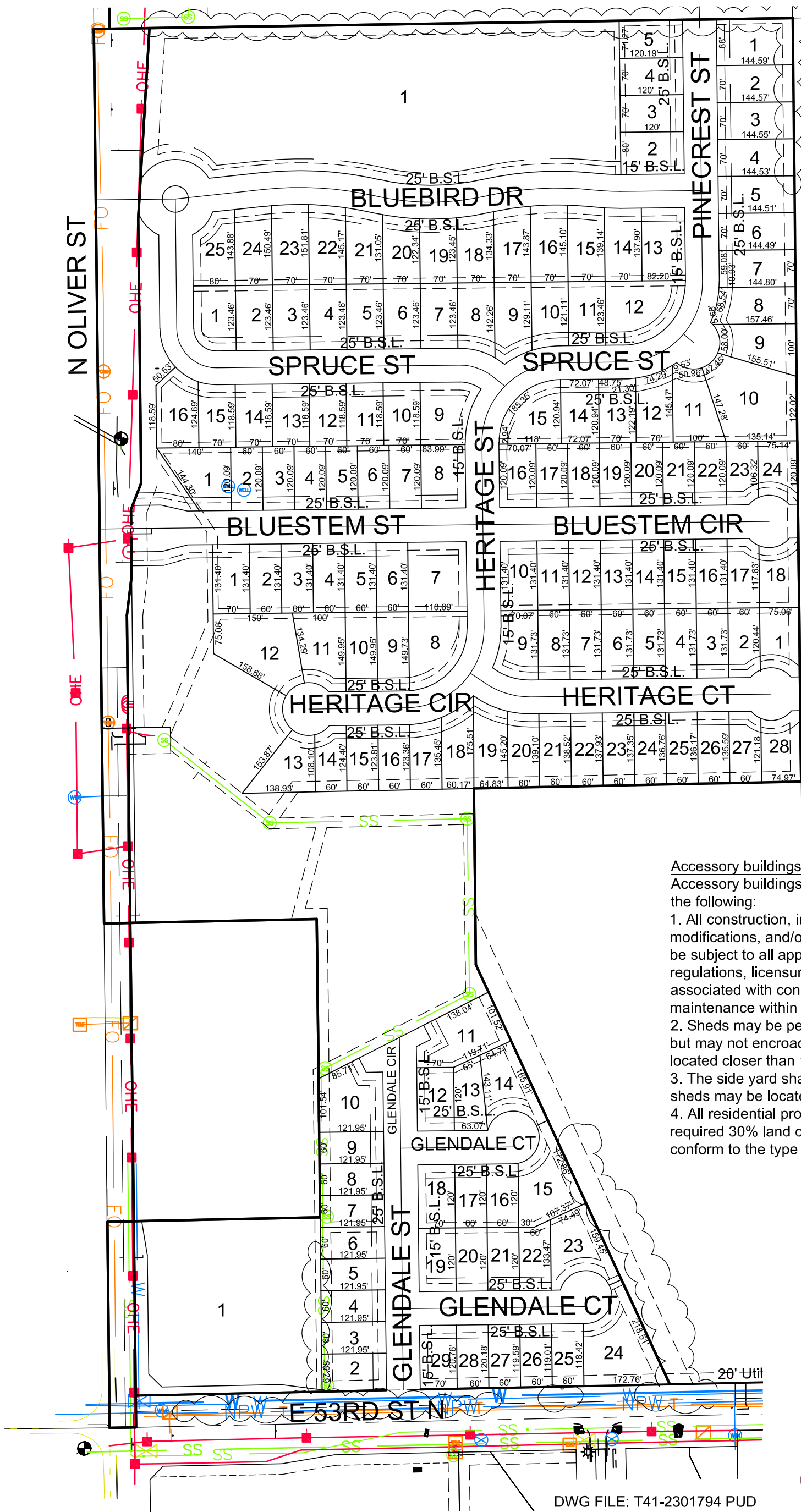
Unless otherwise noted, all building setbacks are as follows:
Front Setbacks are 25 feet
Street Side Setbacks are 15 feet
Interior Side Setbacks are 6 feet
Rear Setbacks are 20 feet

ALLOWED USES

Commercial, Single Family, Two-Family, R-6 Uses (See page 3)



HOMESTEAD AT SPRING PUD BEL AIRE, SEDGWICK COUNTY, KANSAS



Accessory buildings

Accessory buildings are allowed on all lots, subject to the following:

1. All construction, including additions, alterations, modifications, and/or use of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas.
2. Sheds may be permitted upon a rear set back line but may not encroach upon any easement, or be located closer than 10' to a rear property line.
3. The side yard shall be maintained at 6 feet, and no sheds may be located within a side yard setback.
4. All residential properties shall comply with the required 30% land coverage codes, as well as conform to the type and height structure restrictions.



HOMESTEAD AT SPRING PUD BEL AIRE, SEDGWICK COUNTY, KANSAS

PARCEL DESCRIPTIONS

Parcel A - Commercial

Allowed uses : All uses permitted in the C-1 zoning district.

Description:

That part of the SW1/4 of Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas, written by William K. Clevenger, PS-1437 on June 26, 2024, described as commencing at the southwest corner of said SW1/4; thence N00°38'55"W along the west line of said SW1/4, 60.00 feet to the place of beginning; thence N88°47'30"E, parallel with the south line of said SW1/4, 403.02 feet to the southwest corner of Lot 2, Block A, Englert, Bel Aire, Sedgwick County, Kansas; thence N00°38'55"W along the west line of said Lot 2, 330.02 feet to the south line of the north 565.00 feet of the south 955.00 feet of said SW1/4; thence S88°47'30"W along the south line of the north 565.00 feet of the south 955.00 feet of said SW1/4, 403.02 feet to said west line; thence S00°38'55"E along said west line, 330.02 feet to the place of beginning.

Parcel B - Single Family

Allowed uses : All uses permitted in the R-4 zoning district.

Number of Dwelling Units - 91

Description:

That part of the SW1/4 of Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas, written by William K. Clevenger, PS-1437 on June 26, 2024, described as commencing at the southwest corner of said SW1/4; thence N00°38'55"W along the west line of said SW1/4, 60.00 feet; thence N88°47'30"E, parallel with the south line of said SW1/4, 403.02 feet to the southwest corner of Lot 2, Block A, Englert, Bel Aire, Sedgwick County, Kansas, for a place of beginning; thence N00°38'55"W along the west line of said Lot 2 and extended, 895.05 feet to a point of intersection on the west line of Reserve A in said Englert, also being the north line of the south 955.00 feet of said SW1/4; thence S88°47'30"W along said north line, 403.02 feet to the west line of said SW1/4; thence N00°38'55"W along said west line, 899.30 feet; thence N89°21'05"E, 1323.20 feet to the east line of the W1/2 of said SW1/4; thence S00°38'00"E along said east line, 645.43 feet to the northeast corner of Lot 1, Block A in said Englert; thence S88°47'30"W along the north line of said Lot 1, 619.83 feet to the northwest corner of said Lot 1; thence S00°38'55"E along the west line of said Lot 1, 334.00 feet to a point of intersection on the west line of said Lot 1; thence S24°49'34"E along the west line of said Lot 1, 875.26 feet to the southwest corner of said Lot 1; thence S88°47'30"W, parallel with the south line of said SW1/4, 658.74 feet to the place of beginning.

Parcel C - Two-Family

Allowed uses : All uses permitted in the R-5 zoning district.

Number of Dwelling Units - 104

Description:

That part of the W1/2 of Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas, written by William K. Clevenger, PS-1437 on June 26, 2024, described as commencing at the southwest corner of the SW1/4 of said Section 13; thence N00°38'55"W along the west line of said SW1/4, 1854.35 feet to the place of beginning; thence N89°21'05"E, 1323.20 feet to the east line of the W1/2 of said SW1/4; thence N00°38'00"W along said east line, 800.66 feet to the south line of the NW1/4 of said Section 13; thence S89°06'02"W along said south line, 328.61 feet; thence S00°38'55"E, 323.28 feet to a non-tangent curve to the right, said curve having a radius of 471.06 feet; an arc length of 52.38 feet, chord bearing N87°02'11"W, 52.35 feet; thence westerly along said curve, 52.38 feet to a point of reverse curve of a curve to the left, said curve having a radius of 629.08 feet, an arc length of 206.26 feet, chord bearing S86°45'21"W, 205.34 feet; thence westerly along said curve, 206.26 feet to a point of reverse curve of a curve to the right, said curve having a radius of 471.06 feet, an arc length of 208.96 feet, chord bearing N89°55'46"W, 207.25 feet; thence westerly along said curve, 208.96 feet to a point of reverse curve of a curve to the left, said curve having a radius of 650.00 feet, an arc length of 214.74 feet, chord bearing N86°41'08"W, 213.76 feet; thence westerly along said curve, 214.74 feet to a point of tangency; thence S83°51'01"W, 104.11 feet to a point of curvature of a curve to the right, said curve having a radius of 300.00 feet, an arc length of 28.80 feet, chord bearing S86°36'03"W, 28.79 feet; thence westerly along said curve, 28.80 feet to a point of tangency; thence S89°21'05"W, 184.56 feet to a point on the west line of said SW1/4; thence S00°38'55"E along said west line, 475.96 feet to the place of beginning.

Parcel D - Multi-Family

Allowed uses : All uses permitted in the R-6 zoning district.

Number of Dwelling Units - 272

Description:

That part of the W1/2 of Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas, written by William K. Clevenger, PS-1437 on June 26, 2024, described as commencing at the southwest corner of the SW1/4 of said Section 13; thence N00°38'55"W along the west line of said SW1/4, 2330.30 feet to the place of beginning; thence continuing N00°38'55"W along said west line, 318.91 feet to the northwest corner of said SW1/4; thence N89°06'02"E along the north line of said SW1/4, 994.82 feet to a point 328.61 feet West of the northeast corner of the W1/2 of said SW1/4 as measured along the north line thereof; thence S00°38'55"E, 323.28 feet to a non-tangent curve to the right, said curve having a radius of 471.06 feet; an arc length of 52.38 feet, chord bearing N87°02'11"W, 52.35 feet; thence westerly along said curve, 52.38 feet to a point of reverse curve of a curve to the left, said curve having a radius of 629.08 feet, an arc length of 206.26 feet, chord bearing S86°45'21"W, 205.34 feet; thence westerly along said curve, 206.26 feet to a point of reverse curve of a curve to the right, said curve having a radius of 471.06 feet, an arc length of 208.96 feet, chord bearing N89°55'46"W, 207.25 feet; thence westerly along said curve, 208.96 feet to a point of reverse curve of a curve to the left, said curve having a radius of 650.00 feet, an arc length of 214.74 feet, chord bearing N86°41'08"W, 213.76 feet; thence westerly along said curve, 214.74 feet to a point of tangency; thence S83°51'01"W, 104.11 feet to a point of curvature of a curve to the right, said curve having a radius of 300.00 feet, an arc length of 28.80 feet, chord bearing S86°36'03"W, 28.79 feet; thence westerly along said curve, 28.80 feet to a point of tangency; thence S89°21'05"W, 184.56 feet to the place of beginning.



Preliminary Plat

HOMESTEAD AT SPRING ADDITION

Bel Aire, Sedgwick County, Kansas

LEGAL DESCRIPTION:
Parcel 1:
The N1/2 of the W1/2 of the SW1/4 of Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas, TOGETHER WITH the S1/2 of the W1/2 of said SW1/4, EXCEPT the north 565.00 feet of the south 955.00 feet of the west 403.00 feet thereof, AND EXCEPT that part platted as Englert, Bel Aire, Sedgwick County, Kansas, AND EXCEPT that part dedicated to the City of Bel Aire for road right-of-way purposes on Doc#/Flm-Pg: 30277676.

Parcel 2:
Lot 2, Block A, and Reserve A, Englert, Bel Aire, Sedgwick County, Kansas.

Parcel 3:
The South 1,320 feet of the NW1/4, except for the Railroad right-of-way, and except the East 660 feet (calculated as to except the E1/2 of the E1/2 of said NW1/4) and except that part taken in Condemnation Case B-19603 and except the West 30 feet for road, in Section 13, T26S, R1E of the 6th P.M., Sedgwick County, Kansas.

OWNER:
Envision Management LLC, a Kansas limited liability company
Ollie E. Thomison
Stephanie R. Thomison
Oscar W. Thomison
AH Property Management LLC, a Kansas limited liability company

Attn: Alan Hsu
Ph. (316) 992-8866
alanchsu@gmail.com

SURVEYOR & ENGINEER:
Garver, LLC

EXISTING ZONING:
Property to the northeast is zoned SF-5. Subject property and the rest of the surrounding property is zoned SF-20. Existing use is agricultural

PROPOSED ZONING:
PUD

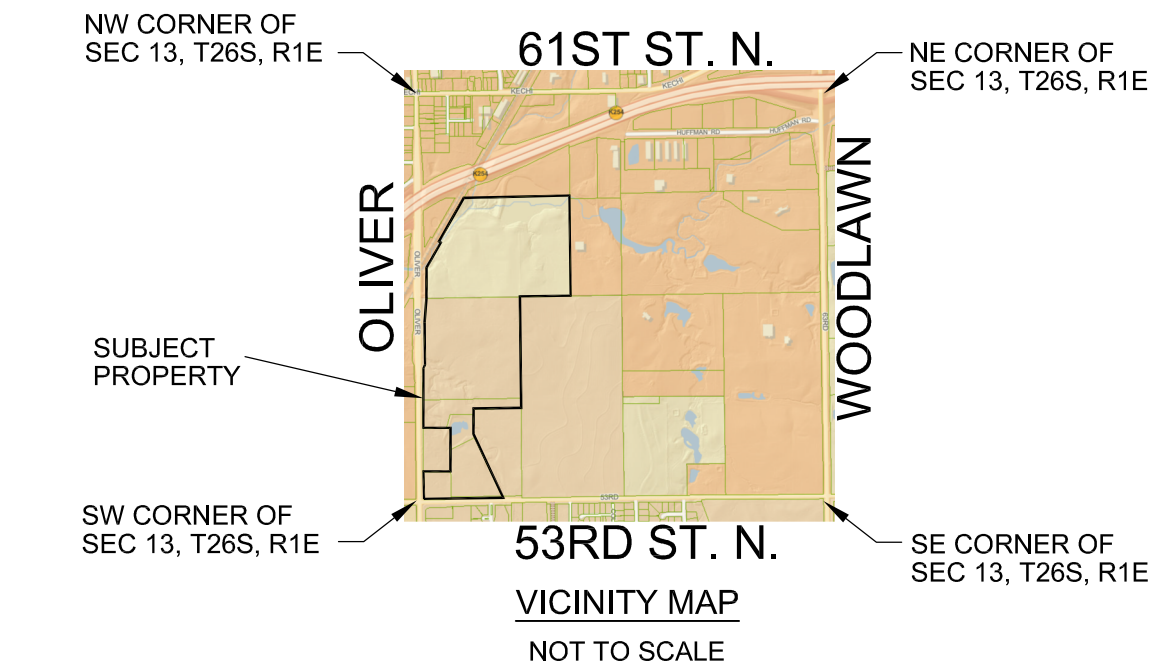
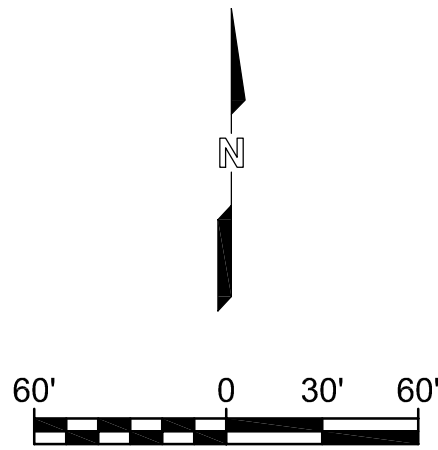
FLOOD ZONE:
According to the FEMA/FIRM Map No. 20173C0217G, effective December 22, 2016; the property shown hereon is located in Zones AE and X

GROSS AREA:
2,696,861 Sq. Ft.±
61.91 Acres±

DATE OF TOPOGRAPHY:
JANUARY, 2024

Know all men by these presents that we, the undersigned, have caused the land described in the surveyor's certificate to be platted into Lots, Blocks, Reserves and Streets, to be known as "Homestead at Spring", Bel Aire, Sedgwick County, Kansas. The utility easements are hereby granted to the public as indicated for the construction and maintenance of all public utilities. The drainage easements are hereby granted to the public as indicated for drainage purposes. The drainage & utility easements are hereby granted to the public as indicated for drainage purposes and for the construction and maintenance of all public utilities. The sewer easements are hereby granted to the public as indicated for the construction and maintenance of all sewer facilities. The Access Easements are hereby granted to the Homeowners Association for the construction and maintenance of pedestrian paths for use of the residents. No sign, light poles, private drainage systems, berms, walls masonry trash enclosures or other structures shall be located within public utility easements unless permitted by the City of Bel Aire Department of Engineering and that they do not inhibit the conveyance of surface drainage. No private drainage systems shall be located within public drainage easements unless a Residential Drainage Relief Permit is obtained from the City of Wichita Public Works & Utilities Department. Access Controls as indicated are hereby granted to the appropriate governing body. Reserves "A" and "B" are hereby reserved for irrigation, walls, signage, walks, lighting, landscaping, berms, park improvements, lakes, a club house, swimming pool, drainage, drainage structures, and utilities confined to easements. Reserves "C" and "D" are hereby reserved for entry features, landscaping, irrigation, signage, lighting, street improvements, drainage, drainage improvements and utilities confined to easements..The Reserves are to be owned and maintained by the Home Owners Association for the addition, their successors and/or assigns.

DWG FILE: T41-2301794 SURVEY BASE
PROJECT NO. T41-2301794
JULY 29, 2024

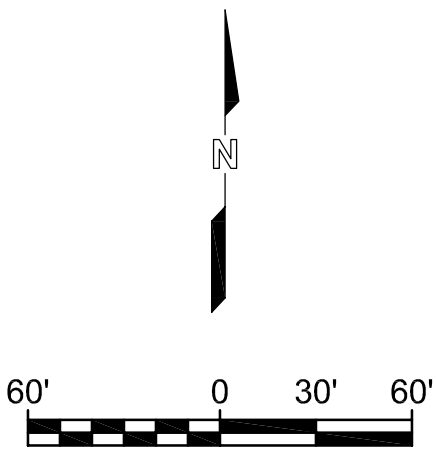


LEGEND	
	BUILDING SETBACK LINE
	FENCE
	SANITARY SEWER (CITY OF BEL AIRE)
	OVERHEAD ELECTRIC (EVERGY)
	UNDERGROUND TELEPHONE (AT&T)
	UNDERGROUND FIBER OPTIC (AT&T)
	WATER MAIN
	NON POTABLE WATER
	AIR RELEASE VALVE
	FIRE HYDRANT
	WATER VALVE BOX
	WATER METER
	POTABLE WATER WELL
	SIGN
	TELEPHONE PEDESTAL
	TELEPHONE JUNCTION BOX
	FIBER OPTIC MANHOLE
	POWER POLE (EVERGY)
	GUY ANCHOR
	MAILBOX
	SANITARY SEWER MANHOLE
	SANITARY SEWER VALVE
	SANITARY SEWER LIFT STATION
	BENCHMARK

Lot 1, Block A, Englert Addition
OWNER:
Jeffery J. & Mary K. Englert



Preliminary Plat
**HOMESTEAD AT
SPRING ADDITION**
Bel Aire, Sedgwick County, Kansas



LEGEND	
	B.S.L.
	FENCE
	SANITARY SEWER (CITY OF BEL AIRE)
	OVERHEAD ELECTRIC (EVERGY)
	UNDERGROUND TELEPHONE (AT&T)
	UNDERGROUND FIBER OPTIC (AT&T)
	WATER MAIN
	NON POTABLE WATER
	AIR RELEASE VALVE
	FIRE HYDRANT
	WATER VALVE BOX
	WATER METER
	POTABLE WATER WELL
	SIGN
	TELEPHONE PEDESTAL
	TELEPHONE JUNCTION BOX
	FIBER OPTIC MANHOLE
	POWER POLE (EVERGY)
	GUY ANCHOR
	MAILBOX
	SANITARY SEWER MANHOLE
	SANITARY SEWER VALVE
	SANITARY SEWER LIFT STATION
	BENCHMARK

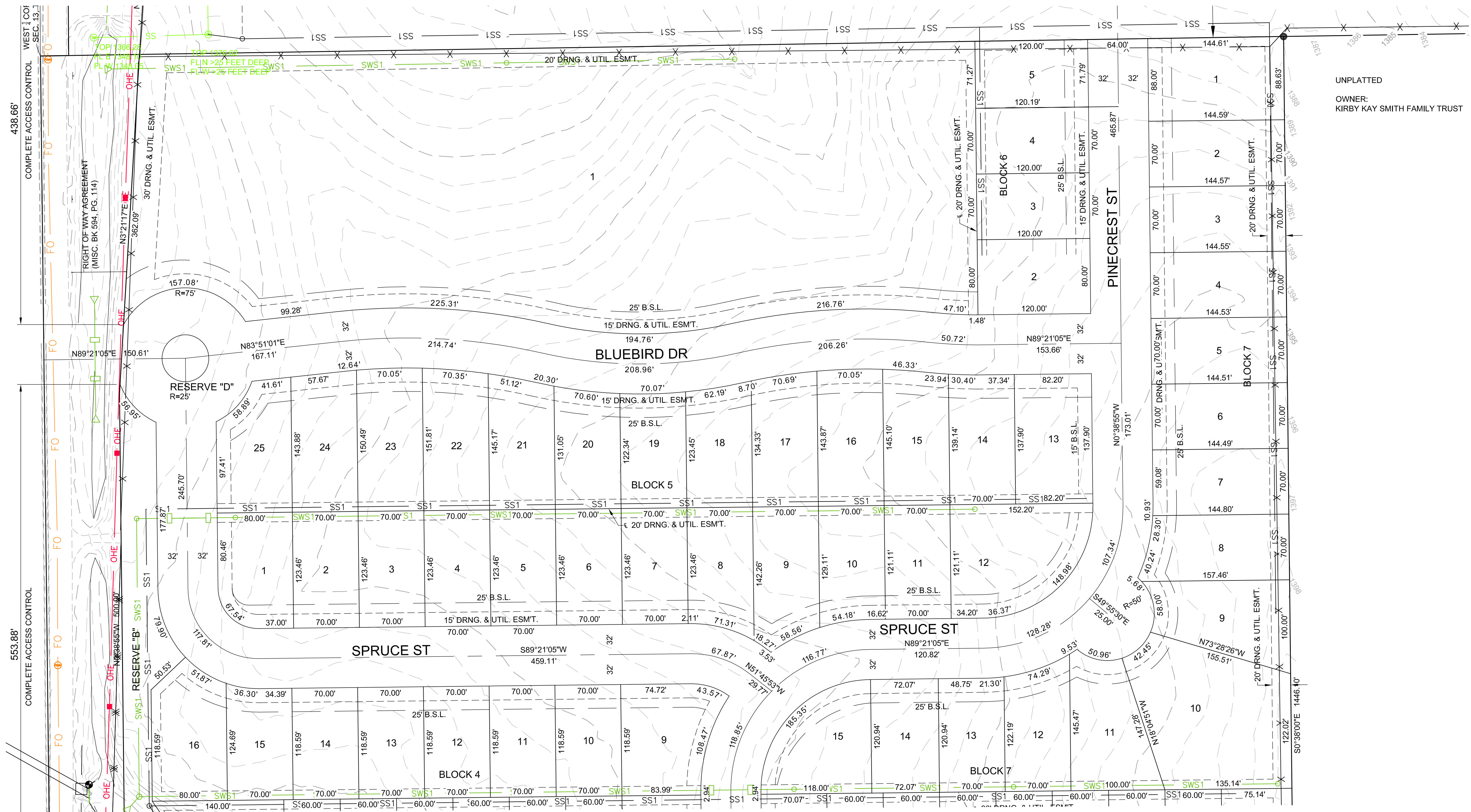
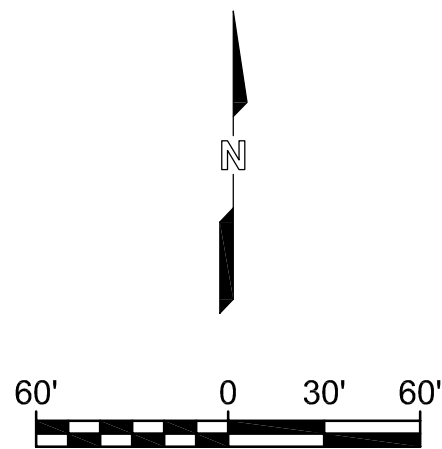
UNPLATTED
OWNER:
KIRBY KAY SMITH FAMILY TRUST



Preliminary Plat

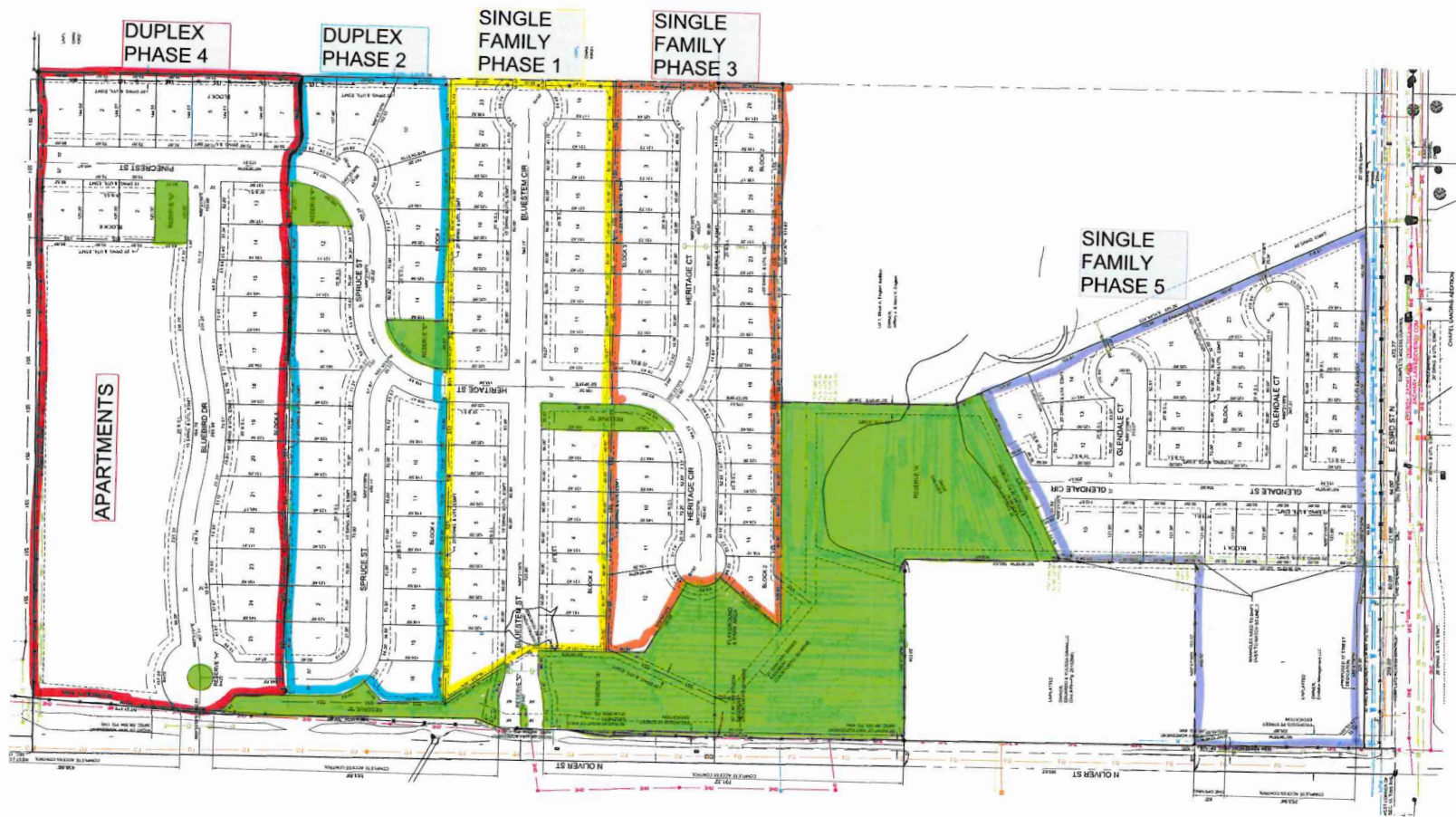
HOMESTEAD AT SPRING ADDITION

Bel Aire, Sedgwick County, Kansas



LEGEND	
	B.S.L.
	FENCE
	SANITARY SEWER (CITY OF BEL AIRE)
	OVERHEAD ELECTRIC (EVERGY)
	UNDERGROUND TELEPHONE (AT&T)
	UNDERGROUND FIBER OPTIC (AT&T)
	WATER MAIN
	NON POTABLE WATER
	AIR RELEASE VALVE
	FIRE HYDRANT
	WATER VALVE BOX
	WATER METER
	POTABLE WATER WELL
	SIGN
	TELEPHONE PEDESTAL
	TELEPHONE JUNCTION BOX
	FIBER OPTIC MANHOLE
	POWER POLE (EVERGY)
	GUY ANCHOR
	MAILBOX
	SANITARY SEWER MANHOLE
	SANITARY SEWER VALVE
	SANITARY SEWER LIFT STATION
	BENCHMARK





PUD-24-03

APPLICATION

This form MUST be completed and filed at City Hall, Bel Aire, Kansas, 6751 E Central Park, Bel Aire, Kansas 67226. AN INCOMPLETE APPLICATION CANNOT BE ACCEPTED. Check the appropriate box below for type of application being submitted. A separate application and filing fee is required for each application. A preapplication conference with City Staff is recommended before filing this application.

-
- ☐ Change Zoning Districts: From: _____ to _____
☐ Amendments to Change Zoning Districts _____
☐ Preliminary PUD _____ ☐ Preliminary PUD with plat/ zoning
☒ Final PUD ☐ Final PUD with plat/ zoning

City of Bel Aire Planning Commission

☐ Approved ☐ Rejected

Comments to City Council

City of Bel Aire Council

☐ Approved ☐ Rejected

Name of owner Double Down Developers LLC (Phil Ruffo)

Address 13201 E. Pawnee, Wichita KS Telephone 316-734-4152

Agent representing the owner Garver LLC (Kenneth Lee)

Address 1995 Midfield Rd, Wichita KS Telephone 316-258-3190

1. The application area is legally described as Lot(s) Lots 1-19, Block A and Lots 1-21, Block B
Bristol Hollows Addition, Bel Aire, Kansas. If appropriate, a metes and
bounds description may be attached.

2. The application area contains 13.1 acres.

3. This property is located at (address) 5600 E. Bristol Street which is generally
located at (relation to nearest streets) 53rd Street North and Bristol Street.

4. County control number: 30013776-30013794, 30026337-30026341
30013807-30013827, 30027474-30027483
30026342-30026351

5. NAMES OF OWNERS - For land inside the city limits, an ownership list of the
names, addresses and zip codes of the owners of record of real property located within

200 feet of the exterior boundary of the area described in the application both within the city limits and extending outside the city limits when necessary.

If such area is located adjacent to but within the city limits, the ownership list, in addition to the 200 feet inside the city limits, shall provide similar information extending to 1,000 feet into the unincorporated area.

The names of the owners of all property included in this application MUST be listed as applicants. Contract purchasers, lessees or other directly associated with the property may also be listed if they desire to be advised of the proceedings.


1. Applicant Double Down Developers LLC (Phil Ruffo) Phone 316-734-4152
Address 13201 E. Pawnee, Wichita KS Zip Code 67230

Agent Garver LLC (Kenneth Lee) Phone 316-258-3190
Address 1995 Midfield Rd, Wichita KS Zip Code 67209

2. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

The applicant certifies that the foregoing information is true and correct to the best of their knowledge and acknowledges that the Governing Body shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

 BY _____ Authorized Agent (If Any)

The Petition must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the owner's written notarized authorization to this application.

**PLANNED UNIT DEVELOPMENT AGREEMENT
CONCERNING THE DEVELOPMENT
OF BRISTOL HOLLOWES ADDITION
TO THE CITY OF BEL AIRE, KANSAS**

THIS AGREEMENT is made and entered into by and between Double Down Developers, LLC, a Kansas Limited Liability Company, hereinafter referred to as the "DEVELOPER" and the CITY OF BEL AIRE, KANSAS, hereinafter referred to as the "CITY."

WHEREAS, the Developer desires zoning by a PUD from the City on a portion of land more fully described below and herein referred to as BRISTOL HOLLOWES ADDITION to the City of Bel Aire, Kansas; and

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the Developer and the City agree as follows:

PURPOSE. This agreement is necessary to address the need to establish a zoning change to a Planned Unit Development in the City. The intent of this PUD is to permit a new approach to providing increased development flexibility in a manner otherwise constrained by the traditional development standards of the Zoning Code and Subdivision Regulations. This PUD is specifically designed for the final plat on a tract of land more fully described below and herein referred to as the BRISTOL HOLLOWES ADDITION PUD project to the City of Bel Aire, Kansas.

BRISTOL HOLLOWES ADDITION PUD PROJECT LEGAL DESCRIPTION. The tract of land herein referred to as BRISTOL HOLLOWES ADDITION PUD project to the City of Bel Aire, Kansas has the following legal description, to-wit:

Legal description:

Lots 1 through 19, Block A, and Lots 1 through 21, Block B, Bristol Hollows Addition, Bel Aire, Sedgwick County, Kansas.

PERMITTED USE.

The Bristol Hollows Addition to the City of Bel Aire, Kansas shall have the uses permitted in the "R-4" Single Family Residential District, as defined in the 2020 revised Bel Aire codified city code, including the following uses:

"R-4" Single Family:

- Single-Family
- Two-Family

1. Lot splits are permitted for all lots within this PUD. Applications for lot splits shall be submitted to the City of Bel Aire for approval.
2. Lot splits shall be recorded with the Sedgwick County Register of Deeds office to establish a new zoning lot upon the approval of the lot split by the City of Bel Aire.
3. Lot splits recorded with the Sedgwick County Register of Deeds office prior to this agreement shall be considered as approved by the City of Bel Aire.
3. The respread of special assessment taxes shall be divided 50% of aggregate to each new lot created within the lot split.
4. The property development standards of the "R-4" Single-Family Residential Zoning district shall apply to lots 1 through 19, Block A, and lots 1 through 21, Block 4 with the following exceptions:
 - a. There shall be no required interior side yard setbacks, provided units on the divided lots share a common wall.
 - b. Divided lots, as permitted by provision 1, shall have a minimum lot area of 4,000 square feet.
 - c. Divided lots, as permitted by provision 1, shall maintain a minimum lot width of 25' as measured along the front building setback line.
 - d. All dwellings shall be built to all applicable building standards adopted by the City of Bel Aire.
5. All construction of dwellings constructed prior to the approval of this Planned Unit Development shall be considered in accordance with said Planned Unit Development and all applicable building standards adopted by the City of Bel Aire.
6. Homes on lots that are split will be considered townhouses as defined in the Townhouse Ownership Act outlined in Chapter 58 Article 37 of the Kansas State Statutes. All applicable sections of the act will apply to all lots that are split within this PUD.

OBJECTIVE. A specific objective of this agreement is to assure that necessary improvements are in place to support development of the tract of land herein referred to as the Bristol Hollows Addition to the City of Bel Aire, Kansas. Therefore, the Developer's compliance with the terms and conditions of this Agreement shall be a condition precedent to the granting of building and/or occupancy permits for development on said property.

INFRASTRUCTURE INSTALLATION. Installation of all improvements shall be in compliance with requirements of all applicable federal, state and local legislation, including the Americans with Disabilities Act. All electric power, streetlights, cable and telephone service shall be installed underground. The Developer shall be responsible for the costs of engineering design,

construction and inspection of all private utility improvements (electricity, communications, telecommunications and gas) necessary for the platting and development of the tract of land herein referred to as the Bristol Hollows Addition in accordance with the utility extension requirements of each private utility company. Utility improvements shall be installed on city owned property or within public right of ways or easements. The expense of all such utility and sewer service within the property shall be borne by the Developer.

The Developer shall dedicate necessary public easements for all private and public utility improvements necessary for the platting and development of the tract of land herein referred to as the Bristol Hollows Addition to the City of Bel Aire, Kansas. Said improvements include storm water system, water distribution system, sanitary sewer lines, driveways and utilities.

The Developer shall pay one hundred percent (100%) of the cost of the improvements. The Developer shall indemnify and hold harmless the City from any liability from damages that may occur during construction.

DRAINAGE. The ultimate effect of increased drainage from platted property on surrounding property must be addressed as part of the platting process. The Developer shall prepare a storm drainage plan that shall address the effect of increased drainage, meet City specifications and be approved by the City Engineer. As part of the drainage plan, a final grading plan showing all drainage inlets and a storm sewer plan including placement of inlets, pipes and manholes, shall be submitted and approved by the City prior to any issuance of permits. Street, curb, lot corner and pad elevations shall be submitted for review and approval by the City prior to any demolition, site development, construction or permits obtained. All Storm water outfall lines shall be placed within utility easements dedicated to the City. After approval by the City Engineer of said storm drainage plan, with any necessary modifications, the Developer shall install, or cause to be installed, the improvements pursuant to the drainage plan.

SANITARY SEWER. The City will provide access to the property line for public sanitary sewer in the utility easements provided with the plat per the approved City Engineer's drawings on file for Bristol Hollows Addition. Each unit or tenant space must have separate sanitary sewer hookups installed to City standards. The Developer shall pay all Sanitary Sewer User Fees and Hook Up Fees.

WATER. The City will provide access to the property line for public water in the right-of-way located along 53rd St N. per the approved City Engineer's drawings on file for Bristol Hollows Addition. Each unit or tenant space must have separate metered water supply installed to City standards. The Developer shall pay all Water User Fees and Hook Up Fees.

All fire hydrant locations must be identified on a plan & approved by the Sedgwick County Fire Department according to its standards. Developer is responsible to meet all Sedgwick County Fire Codes & Standards and installation by the Developer shall be to City standards.

SIGNAGE. All signage shall comply with the applicable ordinances and zoning regulations of the City and be submitted in writing to the City for approval. Each site shall be allowed one

six-foot wide monument type entry sign, not exceeding 6 feet in height. Any future signage must be approved by the City Manager.

PERMITS. No construction shall commence on any portion of the tract of land herein referred to Bristol Hollows Addition PUD project to the City of Bel Aire, Kansas without the Developer, or its designated builder, having first obtained the proper building and zoning permits from the City.

The development of Bristol Hollows Addition project to the City of Bel Aire, Kansas shall proceed in accordance with this Agreement and subsequent platting. Any deviation, as determined by the City, shall constitute a violation of the building permit authorizing construction of the proposed development. The final site dimensions, grading plan, drainage, landscape plan, street plan, parking plan and utility plans will be submitted and approved in phases based on the conceptual plans. Any deviations from the conceptual drawing shall be submitted for review and approval by the City.

Any and all costs including permit fees, review fees, and building and zoning permit and review fees incurred or required by city staff and review and/or through building and zoning review shall be paid by the Developer.

RECORDING. The Developer shall file an executed copy of this Agreement with the Sedgwick County Register of Deeds within 30 days of final approval and within 45 days provide City will proof of filing. A copy of this Agreement showing said recording along with a copy of the recorded plat shall be furnished by the Developer to the general contractor before building permits are issued.

BINDING. The terms and conditions of this Agreement, as set forth herein, shall be binding upon the City and the Developer, their successors, representatives, trustees, and assigns.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

THIS AGREEMENT is hereby executed on this _____ day of _____, 202__.

DEVELOPER:

Double Down Developers LLC

By _____
Philip J. Ruffo, Managing Member

THIS AGREEMENT was approved by vote the City Council of the City of Bel Aire, Kansas on the _____ day of _____, 202__ and is hereby executed on this _____ day of _____, 202__.

MAYOR, JIM BENAGE

SEAL

ATTEST:

CITY CLERK, MELISSA KREHBIEL

August 15, 2024

ACKNOWLEDGEMENTS

STATE OF KANSAS)
COUNTY OF SEDGWICK) ss:

BE IT KNOWN BY ALL PERSONS that on this ____ day of _____, 202__, before me, a Notary Public, came Philip J. Ruffo, as Managing Member of Double Down Developers, LLC, a Kansas limited liability company, DEVELOPER, who is known to me and who personally acknowledged execution of the foregoing Agreement concerning the BRISTOL HOLLOWES ADDITION PUD to the City of Bel Aire, Kansas.

NOTARY PUBLIC

My Appointment Expires: _____

STATE OF KANSAS)
COUNTY OF SEDGWICK) ss:

BE IT KNOWN BY ALL PERSONS that on this ____ day of _____, 202__, before me, a Notary Public, came Jim Benage, who is known to me to be the Mayor of Bel Aire, Kansas and who personally acknowledged execution of the foregoing Agreement Concerning the Development of BRISTOL HOLLOWES ADDITION PUD to the City of Bel Aire, Kansas, and Melissa Krehbiel, who is known to me to be the City Clerk of Bel Aire, Kansas, and who personally acknowledged attesting the signature of said Jim Benage.

NOTARY PUBLIC

My Appointment Expires: _____



City of Bel Aire, Kansas
7651 E. Central Park Ave
Bel Aire, Kansas 67226



FINAL PUD REVIEW

Address of proposed project: Bristol Hollows Addition PUD-24-03

This report is to document that on 8.30.24 the Zoning Administrator from the City of Bel Aire evaluated the above property plan for compliance of zoning and building requirements:

- | | |
|--|--|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> ELEVATIONS |
| <input type="checkbox"/> EFFECTIVE CODE COMPLIANCE | <input checked="" type="checkbox"/> REQUIRED PLAN SUBMITTALS |
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> EASEMENTS |
| <input type="checkbox"/> LANDSCAPE | <input type="checkbox"/> SCREENING |
| <input type="checkbox"/> STORM DRAINAGE | <input checked="" type="checkbox"/> NEIGHBORHOOD IMPACT |
| <input type="checkbox"/> ADA ACCESSIBLE | <input type="checkbox"/> UTILITIES TO BUILDING |

The review of the above property plan has been:

- ☒ APPROVED, as noted
- ☐ DELAYED, as noted
- ☐ DENIED, as noted

DATE 8/30/24

Keith Price
REVIEWED BY 

Comments:

Lot splits were completed prior to city approval and filed with the county. City staff has met with stakeholders. Final draft comments below:

- No utility companies were notified, the Townhouse ownership Act can solve any cross-lot concerns to protect property rights.
- The landscape concern is each single-family dwelling is 3 trees interior, two-family is 4 trees interior. Street trees no less than 1 per lot, corner lot no less than 2. The net increase of required trees is based on number of lots created. No increase of corner lots but it shifts the burden.
- Zoning code 18.1.4 indicates that the city building code item- R302, and Table 302.1(1) that still relates to the rating of the wall from both sides. Under number 5 of the proposed PUD submittal the information should be changed to state ...accordance with said Planned Unit Development to a duplex building standard as an exception to all applicable building standards adopted by the city of Bel Aire.
- <http://www.belaireks.citycode.net/> is the link to find the requirements for platting and zoning.





OWNERSHIP LIST

PROPERTY DESCRIPTION		PROPERTY OWNER
<p>Lots 1 thru 14 inclusive, Blk A AND Lot 15, Blk A, EXC that part begin at SW corner; th. N 142.61'; th. NEly 31.20'; th. SEly 128.01'; th. SWly 94.05' to begin AND That part of Lot 15, Blk A, begin at SW corner; th. N 142.61'; th. NEly 31.20'; th. SEly 128.01'; th. SWly 94.05' to begin AND Lot 16, Blk A, EXC that part begin at SW corner; th. NWly 128.01'; th. NEly 39.29'; th. SEly 128.01'; th. SWly 39.29' to begin AND That part of Lot 16, Blk A, begin at SW corner; th. NWly 128.01'; th. NEly 39.29'; th. SEly 128.01'; th. SWly 39.29' to begin AND Lot 17, Blk A, EXC that part begin at SW corner; th. NWly 128.01'; th. NEly 38.58'; th. SEly 128.01'; th. SWly 38.58' to begin AND That part of Lot 17, Blk A, begin at SW corner; th. NWly 128.01'; th. NEly 38.58'; th. SEly 128.01'; th. SWly 38.58' to begin AND Lot 18, Blk A, EXC that part begin at SW corner; th. NWly 128.01'; th. NEly 39.46'; th. SEly 128.01'; th. SWly 39.46' to begin AND That part of Lot 18, Blk A, begin at SW corner; th. NWly 128.01'; th. NEly 39.46'; th. SEly 128.01'; th. SWly 39.46' to begin Part of Subject Property</p>	<p>Bristol Hollows Addition</p>	<p>Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230</p>



<p>Lot 19, Blk A, EXC that part begin at SW corner; th. NWly 128.01'; th. NEly 38.65'; th. SEly 128.01'; th. SWly 38.65' to begin AND That part of Lot 19, Blk A, begin at SW corner; th. NWly 128.01'; th. NEly 38.65'; th. SEly 128.01'; th. SWly 38.65' to begin AND Lot 1, Blk B AND Lot 2, Blk B, EXC that part begin at NE cor; th. W 127.60'; th. S 39.35'; th. E 127.48'; th. N 39.35' to begin AND That part of Lot 2, Blk B, begin at NE cor; th. W 127.60'; th. S 39.35'; th. E 127.48'; th. N 39.35' to begin AND Lot 3, Blk B, EXC that part begin at NE cor; th. W 127.35'; th. S 38.48'; th. E 127.23'; th. N 38.48' to begin AND That part of Lot 3, Blk B, begin at NE cor; th. W 127.35'; th. S 38.48'; th. E 127.23'; th. N 38.48' to begin AND Lot 4, Blk B, EXC that part begin at NE cor; th. W 127.10'; th. S 39.33'; th. E 126.98'; th. N 39.33' to begin AND That part of Lot 4, Blk B, begin at NE cor; th. W 127.10'; th. S 39.33'; th. E 126.98'; th. N 39.33' to begin AND Lot 5, Blk B, EXC that part begin at NE cor; th. W 126.85'; th. S 38.63'; th. E 126.73'; th. N 38.63' to begin AND That part of Lot 5, Blk B, begin at NE cor; th. W 126.85'; th. S 38.63'; th. E 126.73'; th. N 38.63' to begin Part of Subject Property</p>	<p>“</p>	<p>Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230</p>
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<p>Lot 6, Blk B, EXC that part begin at NE cor; th. W 126.60'; th. S 39.18'; th. E 126.48'; th. N 39.18' to begin AND That part of Lot 6, Blk B, begin at NE cor; th. W 126.60'; th. S 39.18'; th. E 126.48'; th. N 39.18' to begin AND Lot 7, Blk B, EXC that part begin at NE cor; th. W 126.35'; th. S 38.56'; th. E 126.23'; th. N 38.56' to begin AND That part of Lot 7, Blk B, begin at NE cor; th. W 126.35'; th. S 38.56'; th. E 126.23'; th. N 38.56' to begin AND Lot 8, Blk B, EXC that part begin at NE cor; th. W 126.10'; th. S 39.42'; th. E 125.98'; th. N 39.42' to begin AND That part of Lot 8, Blk B, begin at NE cor; th. W 126.10'; th. S 39.42'; th. E 125.98'; th. N 39.42' to begin AND Lot 9, Blk B, EXC that part begin at NE cor; th. W 125.86'; th. S 38.58'; th. E 125.74'; th. N 38.58' to begin AND That part of Lot 9, Blk B, begin at NE cor; th. W 125.86'; th. S 38.58'; th. E 125.74'; th. N 38.58' to begin AND Lot 10, Blk B, EXC that part begin at NE cor; th. W 125.61'; th. S 39.50'; th. E 125.48'; th. N 39.50' to begin AND That part of Lot 10, Blk B, begin at NE cor; th. W 125.61'; th. S 39.50'; th. E 125.48'; th. N 39.50' to begin Part of Subject Property</p>	<p>"</p>	<p>Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230</p>
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<p>Lot 11, Blk B, EXC that part begin at NE cor; th. W 125.36'; th. S 36.51'; th. E 125.24'; th. N 36.51' to begin AND That part of Lot 11, Blk B, begin at NE cor; th. W 125.36'; th. S 36.51'; th. E 125.24'; th. N 36.51' to begin AND Lot 12, Blk B, EXC that part begin at NE cor; th. W 125.76'; th. S 62.58'; th. NEly 138.72'; th. Nly along curve to right 28.66' to begin AND That part of Lot 12, Blk B, begin at NE cor; th. W 125.76'; th. S 62.58'; th. NEly 138.72'; th. Nly alg curve to right 28.66' to begin AND Lot 14, Blk B, EXC that part begin at NW cor; th. SWly 237.61'; th. SEly 6.24'; th. NEly 102.41'; th. Nly 173.71'; th. W alg curve to right 27.45' to begin AND That part of Lot 14, Blk B, begin at NW cor; th. SWly 237.61'; th. SEly 6.24'; th. NEly 102.41'; th. Nly 173.71'; th. W alg curve to right 27.45' to begin AND Lot 15, Blk B, EXC that part begin at NW cor; th. Sly 139.34'; th. NEly 68.19'; th. NWly 127.92'; th. Wly alg curve to right 25.34' to begin AND That part of Lot 15, Blk B, begin at NW cor; th. Sly 139.34'; th. NEly 68.19'; th. NWly 127.92'; th. Wly alg curve to right 25.34' to begin Part of Subject Property</p>	<p>“</p>	<p>Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230</p>
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<p>Lot 16, Blk B, EXC that part begin at NW cor; th. SEly 127.77'; th. NEly 38.78'; th. NWly 127.77'; th. SWly 38.78' to begin AND That part of Lot 16, Blk B, begin at NW cor; th. SEly 127.77'; th. NEly 38.78'; th. NWly 127.77'; th. SWly 38.78' to begin AND Lot 17, Blk B, EXC that part begin at NW cor; th. SEly 127.77'; th. NEly 39.08'; th. NWly 127.77'; th. SWly 39.08' to begin AND Lot 18, Blk B, EXC that part begin at NW cor; th. SEly 127.76'; th. NEly 39.20'; th. NWly 127.76'; th. SWly 39.20' to begin AND That part of Lot 18, Blk B, begin at NW cor; th. SEly 127.76'; th. NEly 39.20'; th. NWly 127.76'; th. SWly 39.20' to begin AND Lot 19, Blk B, EXC that part begin at NW cor; th. SEly 127.76'; th. NEly 38.89'; th. NWly 127.75'; th. SWly 38.89' to begin AND That part of Lot 19, Blk B, begin at NW cor; th. SEly 127.76'; th. NEly 38.89'; th. NWly 127.75'; th. SWly 38.89' to begin AND Lot 20, Blk B, EXC that part begin at NW cor; th. SEly 127.75'; th. NEly 39.31'; th. NWly 127.75'; th. SWly 39.31' to begin AND That part of Lot 20, Blk B, begin at NW cor; th. SEly 127.75'; th. NEly 39.31'; th. NWly 127.75'; th. SWly 39.31' to begin Part of Subject Property</p>	"	<p>Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230</p>
<p>That part of Lot 17, Blk B, begin at NW cor; th. SEly 127.77'; th. NEly 39.08'; th. NWly 127.77'; th. SWly 39.08' to begin Part of Subject Property</p>	"	<p>Alexandria Rose Meyer 5729 E. Bristol St. Wichita, KS 67220</p>



Lot 21, Blk B, EXC that part begin at NW cor; th. SEly 127.74'; th. NEly 38.80'; th. NWly 127.74'; th. SWly 38.80' to begin AND That part of Lot 21, Blk B, begin at NW cor; th. SEly 127.74'; th. NEly 38.80'; th. NWly 127.74'; th. SWly 38.80' to begin Part of Subject Property	"	Double Down Developers, LLC 13201 E. Pawnee Rd. Wichita, KS 67230
Lot 13, Blk B, EXC that part begin at N-most cor; th. SWly 174.45'; th. SEly alg curve to right 17.01'; th. SEly alg SWly line 72.24'; th. NEly 191.31'; th. NWly alg curve to right 25.07' to begin AND Lot 13, Blk B, begin at N-most cor; th. SWly 174.45'; th. SEly alg curve to right 17.01'; th. SEly alg SWly line 72.24'; th. NEly 191.31'; th. NWly alg curve to right 25.07' to begin Part of Subject Property	"	Logan Caldarera & Ciera Lampe 12828 E. Timber Lake Rd. Wichita, KS 67230
Lots 20 thru 29 inclusive, Blk A AND Lots 23 thru 26 inclusive, Blk B	"	NexPoint SFR SPE 3, LLC 8615 Cliff Cameron Dr., Ste. 200 Charlotte, NC 28269
Lot 22, Blk B	"	NexPoint SFR SPE 1, LLC 8615 Cliff Cameron Dr., Ste. 200 Charlotte, NC 28269
Reserve B	"	3F2R Holdings, LLC 323 N. Oakwood Dr. Wichita, KS 67208
Lot 20, Blk J	Chapel Landing Addition	Lynn & Jeanette A. Parker 5934 Forbes Ct. Wichita, KS 67220
Lot 21, Blk J	"	April Michaelis 5930 Forbes Ct. Wichita, KS 67220
Lot 22, Blk J	"	Chapel Landing Development, Inc. 3530 N. Beach Club Cir. Wichita, KS 67205



Reserve HH AND Reserve II	“	Woodlawn 53, LLC 3530 N. Beach Club Cir. Wichita, KS 67205
Lot 11, Blk A, EXC that part begin at SE cor; th. W 81.75'; th. NWly 142.29'; th. NEly 24.57'; th. SEly 180.6' to begin	Chapel Landing 3rd Addition	Laura R. Stevenson Revocable Trust 5393 N. Nolen St. Wichita, KS 67220
That part of Lot 11, Blk A, begin at SE cor; th. W 81.75'; th. NWly 142.29'; th. NEly 24.57'; th. SEly 180.6' to begin AND Lot 12, Blk A	“	Neighbor Realty, LLC 13008 E. Churchill St. Wichita, KS 67230
Lot 13, Blk A, EXC that part begin at SE cor; th. NWly 142.16' to curve; th. NEly alg curve 23.94'; th. E 130.06' to E line of said Lot 13; th. S 69.38' to begin	“	Erik M. Swenson (Prior–Corbin Hamilton) 5409 N. Colburn Ct. E. Bel Aire, KS 67220
That part of Lot 13, Blk A, begin at SE cor; th. NWly 142.16' to curve; th. NEly alg curve 23.94'; th. E 130.06' to E line of said Lot 13; th. S 69.38' to begin	“	Corbin Hamilton 1018 N. Wisteria Dr. Derby, KS 67037
Lots 14 thru 19 inclusive, Blk A	“	Buckert Contracting, Inc. PO Box 780405 Wichita, KS 67278
Lot 20, Blk A	“	Diony Paillant 5493 N. Colburn Ct. E. Bel Aire, KS 67220
Lot 21, Blk A	“	Chan Nghi Tu & Lang T. Le 2028 S. Michelle St. Wichita, KS 67207
Lot 22, Blk A	“	Supreme Construction, LLC 13303 W. Maple, Ste. 139 Wichita, KS 67235



Lot 35, Blk A	"	Northwind Real Estate Holdings, LLC 4050 N. Stone Barn St. Maize, KS 67101
Lots 36 thru 40 inclus, Blk A	"	JP Rentals, Inc. PO Box 399 Maize, KS 67101
Reserve C	"	53rd & Oliver, LLC PO Box 75337 Wichita, KS 67275
Lots 3, 4, & 5, Blk A AND Lots 10 thru 14 inclusive, Blk A	Chapel Landing 5th Addition	Woodlawn 53, LLC 3530 N. Beach Club Cir. Wichita, KS 67205
Lots 11 thru 16 inclusive, Blk A	Chapel Landing 6th Addition	TW Renovations, LLC 1815 S. Southwest Blvd. Wichita, KS 67213
The E/2 of the SW/4, 13-26-1E		Kirby Kay Smith Family Trust 5650 E. 53rd St. N. Kechi, KS 67067
The SW/4 of the SE/4, EXC the S 440' of the E 495' thereof; & EXC comm 1,230' N of SW corner of SE/4 for p.o.b.; th. N 90'; th. E 475'; th. S 90'; th. W 475' to begin, 13-26-1E		Teresa McNeil & Brian McNeil PO Box 39 Kechi, KS 67067
The S 440' of the E 495' of the W/2 of the SE/4, 13-26-1E		McNeil Properties, LLC PO Box 39 Kechi, KS 67067

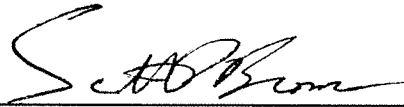


Security 1st Title

Section V, Item D.

We hereby certify the foregoing to be a true and correct list of the property owners of the herein before described tracts and lots as shown by the last deed of record filed in the Office of the Register of Deeds, Sedgwick County, Kansas, on the 30th day of July, 2024, at 7:00 A.M.

SECURITY 1ST TITLE

By: 
LICENSED ABSTRACTER

The Above list shows property owners within either a 200 foot radius or a 1,000 foot radius of the below described tracts. No certification is made as to the relation of any of the tracts and lots described herein within the city limits of Bel Aire.

Lots 1 through 19 inclusive, Block A; and Lots 1 through 21 inclusive, Block B, all in Bristol Hollows Addition, City of Bel Aire, Sedgwick County, Kansas.

Order: 3089829
KJK

16. Chapter 5 of the Zoning Code has a more detail regarding Applications and procedures. A final PUD must contain:

- a. Deeds of Dedication
- b. Copy of all covenants part of the preliminary PUD
- c. Evidence of ownership, financial and administrative ability as required by the terms of the preliminary PUD
- d. Evidence of satisfaction of any stipulation of the preliminary PUD
- e. Evidence of platting consistence with the Zoning Ordinance 418 and the PUD

APPLICATION

PUD-24-04
CL Phase 2 area

This form **MUST** be completed and filed at City Hall, Bel Aire, Kansas, 6751 E Central Park, Bel Aire, Kansas 67226. **AN INCOMPLETE APPLICATION CANNOT BE ACCEPTED.** Check the appropriate box below for type of application being submitted. A separate application and filing fee is required for each application. A preapplication conference with City Staff is recommended before filing this application.

-
- | | |
|---|--|
| <input checked="" type="checkbox"/> Change Zoning Districts: From: <u>R-4</u> to <u>PUD</u> | |
| <input type="checkbox"/> Amendments to Change Zoning Districts _____ | |
| <input type="checkbox"/> Preliminary PUD _____ | <input type="checkbox"/> Preliminary PUD with plat/ zoning |
| <input checked="" type="checkbox"/> Final PUD | <input type="checkbox"/> Final PUD with plat/ zoning |

City of Bel Aire Planning Commission

☐ Approved ☐ Rejected

Comments to City Council

City of Bel Aire Council

☐ Approved ☐ Rejected

Name of owner JCT Holdings, LLC

Address 1815 Southwest Blvd, Wichita, KS 67213 Telephone _____

Agent representing the owner Baughman Company, P.A. (Jay Cook)

Address 315 S Ellis Ave, Wichita, KS 67211 Telephone 316-262-7271

1. The application area is legally described as Lot(s) 1-16 & 1-24 ;Block(s) E & F ,
Chapel Landing Addition, Bel Aire, Kansas. If appropriate, a metes and
bounds description may be attached.

2. The application area contains 17.6± acres.

3. This property is located at (address) _____ which is generally
located at (relation to nearest streets) southwest corner of 53rd St and Oliver St .

4. County control
number: _____

5. NAMES OF OWNERS - For land inside the city limits, an ownership list of the
names, addresses and zip codes of the owners of record of real property located within

200 feet of the exterior boundary of the area described in the application both within the city limits and extending outside the city limits when necessary.

If such area is located adjacent to but within the city limits, the ownership list, in addition to the 200 feet inside the city limits, shall provide similar information extending to 1,000 feet into the unincorporated area.

The names of the owners of all property included in this application MUST be listed as applicants. Contract purchasers, lessees or other directly associated with the property may also be listed if they desire to be advised of the proceedings.

1. Applicant JCT Holdings, LLC Phone _____
 Address 1815 Southwest Blvd, Wichita, KS Zip Code 67213

 Agent Baughman Company, P.A. (Jay Cook) Phone 316-262-7271
 Address 315 S Ellis Ave, Wichita, KS Zip Code 67211
2. Applicant _____ Phone _____
 Address _____ Zip Code _____

 Agent _____ Phone _____
 Address _____ Zip Code _____

The applicant certifies that the foregoing information is true and correct to the best of their knowledge and acknowledges that the Governing Body shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.


 Applicant's Signature

BY


 Authorized Agent (If Any)

The Petition must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the owner's written notarized authorization to this application.



City of Bel Aire, Kansas
7651 E. Central Park Ave
Bel Aire, Kansas 67226



FINAL PUD REVIEW

Address of proposed project: Chapel Landing PUD-24-04


This report is to document that on 8.30.24 the Zoning Administrator from the City of Bel Aire evaluated the above property plan for compliance of zoning and building requirements:

- | | |
|--|--|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> ELEVATIONS |
| <input type="checkbox"/> EFFECTIVE CODE COMPLIANCE | <input checked="" type="checkbox"/> REQUIRED PLAN SUBMITTALS |
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> EASEMENTS |
| <input type="checkbox"/> LANDSCAPE | <input type="checkbox"/> SCREENING |
| <input type="checkbox"/> STORM DRAINAGE | <input checked="" type="checkbox"/> NEIGHBORHOOD IMPACT |
| <input type="checkbox"/> ADA ACCESSIBLE | <input type="checkbox"/> UTILITIES TO BUILDING |

The review of the above property plan has been:

- ☒ APPROVED, as noted
- ☐ DELAYED, as noted
- ☐ DENIED, as noted

DATE 8/30/24

Keith Price
REVIEWED BY 

Comments:

Lot splits were completed prior to city approval and filed with the county. City staff has met with stakeholders. Final draft review below:

- No utility companies were notified, the Townhouse ownership Act can solve any cross-lot concerns to protect property rights.
- The landscape concern is each single-family dwelling is 3 trees interior, two-family is 4 trees interior. Street trees no less than 1 per lot, corner lot no less than 2. The net increase of required trees is based on number of lots created. No increase of corner lots but it shifts the burden.
- Zoning code 18.1.4 indicates that the city building code item- R302, and Table 302.1(1) that still relates to the rating of the wall from both sides. Under number 5 of the proposed PUD submittal the information should be changed to state ...accordance with said Planned Unit Development to a duplex building standard as an exception to all applicable building standards adopted by the city of Bel Aire.
- <http://www.belaireks.citycode.net/> is the link to find the requirements for platting and zoning.

**PLANNED UNIT DEVELOPMENT AGREEMENT
CONCERNING THE DEVELOPMENT
OF CHAPEL LANDING ADDITION
TO THE CITY OF BEL AIRE, KANSAS**

THIS AGREEMENT is made and entered into by and between JCT Holdings, LLC, a Kansas Limited Liability Company, hereinafter referred to as the "DEVELOPER" and the CITY OF BEL AIRE, KANSAS, hereinafter referred to as the "CITY."

WHEREAS, the Developer desires zoning by a PUD from the City on a portion of land more fully described below and herein referred to as CHAPEL LANDING ADDITION to the City of Bel Aire, Kansas; and

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the Developer and the City agree as follows:

PURPOSE. This agreement is necessary to address the need to establish a zoning change to a Planned Unit Development in the City. The intent of this PUD is to permit a new approach to providing increased development flexibility in a manner otherwise constrained by the traditional development standards of the Zoning Code and Subdivision Regulations. This PUD is specifically designed for the final plat on a tract of land more fully described below and herein referred to as the CHAPEL LANDING ADDITION PUD project to the City of Bel Aire, Kansas.

CHAPEL LANDING ADDITION PUD PROJECT LEGAL DESCRIPTION. The tract of land herein referred to as CHAPEL LANDING ADDITION PUD project to the City of Bel Aire, Kansas has the following legal description, to-wit:

Legal description:

Lots 1 through 16, Block E, and Lots 1 through 24, Block F, Chapel Landing Addition, Bel Aire, Sedgwick County, Kansas.

PERMITTED USE.

The Chapel Landing Addition to the City of Bel Aire, Kansas shall have the uses permitted in the "R-4" Single Family Residential District, as defined in the 2020 revised Bel Aire codified city code, including the following uses:

"R-4" Single Family:

- Single-Family
- Two-Family

- Leasing office
 - Playgrounds or community spaces
 - Accessory structures as approved by the city manager
1. Lots 1 through 16, Block E, and Lots 1 through 24, Block F shall permit the future division of platted lots without the approval of individual lot splits in order to divide dwelling units into separate ownerships. Surveyed legal descriptions of divided lots shall be recorded with the Sedgwick County Register of Deeds office to establish a new zoning lot.
 2. Once recorded with the Sedgwick County Register of Deeds, a copy of the legal descriptions of divided lots shall be submitted to the Bel Aire Planning Department.
 3. The respread of special assessment taxes shall then be divided 50% of aggregate to each new lot created in boundary survey.
 4. The property development standards of the "R-4" Single-Family Residential Zoning district shall apply to lots 1 through 16, Block E, and lots 1 through 24, Block 4 with the following exceptions:
 - a. There shall be no required interior side yard setbacks, provided units share a common wall.
 - b. Divided lots, as permitted by provision 1, shall not be required to maintain a minimum lot area.
 - c. Divided lots, as permitted by provision 1, shall not be required to maintain a minimum lot width.
 - d. Accessory uses shall be allowed on all lots per Zoning Code.
 - e. All dwellings shall be built to all applicable building standards adopted by the City of Bel Aire.
 5. All construction of dwellings constructed prior to the approval of this Planned Unit Development shall be considered in accordance with said Planned Unit Development and all applicable building standards adopted by the City of Bel Aire.
 6. Homes on lots that are split will be considered "townhouses" as defined in the Townhouse Ownership Act outline in Chapter 58, Article 37 of the Kansas State Statutes. All applicable sections of the act will apply to all lots that are split within this PUD.

OBJECTIVE. A specific objective of this agreement is to assure that necessary improvements are in place to support development of the tract of land herein referred to as the Chapel Landing Addition to the City of Bel Aire, Kansas. Therefore, the Developer's compliance with the terms and conditions of this Agreement shall be a condition precedent to the granting of building and/or occupancy permits for development on said property.

INFRASTRUCTURE INSTALLATION. Installation of all improvements shall be in compliance with requirements of all applicable federal, state and local legislation, including the Americans with Disabilities Act. All electric power, streetlights, cable and telephone service shall be installed underground. The Developer shall be responsible for the costs of engineering design, construction and inspection of all private utility improvements (electricity, communications, telecommunications and gas) necessary for the platting and development of the tract of land herein referred to as the Chapel Landing Addition in accordance with the utility extension requirements of each private utility company. Utility improvements shall be installed on city owned property or within public right of ways or easements. The expense of all such utility and sewer service within the property shall be borne by the Developer.

The Developer shall dedicate necessary public easements for all private and public utility improvements necessary for the platting and development of the tract of land herein referred to as the Chapel Landing Addition to the City of Bel Aire, Kansas. Said improvements include storm water system, water distribution system, sanitary sewer lines, driveways and utilities.

The Developer shall pay one hundred percent (100%) of the cost of the improvements. The Developer shall indemnify and hold harmless the City from any liability from damages that may occur during construction.

DRAINAGE. The ultimate effect of increased drainage from platted property on surrounding property must be addressed as part of the platting process. The Developer shall prepare a storm drainage plan that shall address the effect of increased drainage, meet City specifications and be approved by the City Engineer. As part of the drainage plan, a final grading plan showing all drainage inlets and a storm sewer plan including placement of inlets, pipes and manholes, shall be submitted and approved by the City prior to any issuance of permits. Street, curb, lot corner and pad elevations shall be submitted for review and approval by the City prior to any demolition, site development, construction or permits obtained. All Storm water outfall lines shall be placed within utility easements dedicated to the City. After approval by the City Engineer of said storm drainage plan, with any necessary modifications, the Developer shall install, or cause to be installed, the improvements pursuant to the drainage plan.

SANITARY SEWER. The City will provide access to the property line for public sanitary sewer in the utility easements provided with the plat per the approved City Engineer's drawings on file for Chapel Landing Addition. Each unit or tenant space must have separate sanitary sewer hookups installed to City standards. The Developer shall pay all Sanitary Sewer User Fees and Hook Up Fees.

WATER. The City will provide access to the property line for public water in the right-of-way located along 53rd St N. per the approved City Engineer's drawings on file for Chapel Landing Addition. Each unit or tenant space must have separate metered water supply installed to City standards. The Developer shall pay all Water User Fees and Hook Up Fees.

All fire hydrant locations must be identified on a plan & approved by the Sedgwick County Fire Department according to its standards. Developer is responsible to meet all Sedgwick County Fire Codes & Standards and installation by the Developer shall be to City standards.

SIGNAGE. All signage shall comply with the applicable ordinances and zoning regulations of the City and be submitted in writing to the City for approval. Each site shall be allowed one six-foot wide monument type entry sign, not exceeding 6 feet in height. Any future signage must be approved by the City Manager.

PERMITS. No construction shall commence on any portion of the tract of land herein referred to Chapel Landing PUD project to the City of Bel Aire, Kansas without the Developer, or its designated builder, having first obtained the proper building and zoning permits from the City.

The development of Chapel Landing Addition project to the City of Bel Aire, Kansas shall proceed in accordance with this Agreement and subsequent platting. Any deviation, as determined by the City, shall constitute a violation of the building permit authorizing construction of the proposed development. The final site dimensions, grading plan, drainage, landscape plan, street plan, parking plan and utility plans will be submitted and approved in phases based on the conceptual plans. Any deviations from the conceptual drawing shall be submitted for review and approval by the City.

Any and all costs including permit fees, review fees, and building and zoning permit and review fees incurred or required by city staff and review and/or through building and zoning review shall be paid by the Developer.

RECORDING. The Developer shall file an executed copy of this Agreement with the Sedgwick County Register of Deeds within 30 days of final approval and within 45 days provide City will proof of filing. A copy of this Agreement showing said recording along with a copy of the recorded plat shall be furnished by the Developer to the general contractor before building permits are issued.

BINDING. The terms and conditions of this Agreement, as set forth herein, shall be binding upon the City and the Developer, their successors, representatives, trustees, and assigns.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

THIS AGREEMENT is hereby executed on this _____ day of _____, 202__.

DEVELOPER:

JCT Holdings, LLC

By: Travis Whistler, As Amended
Member

By _____
Travis Whistler, Member

THIS AGREEMENT was approved by vote the City Council of the City of Bel Aire, Kansas
on the _____ day of _____, 202__ and is hereby executed on this _____ day of
_____, 202__.

MAYOR, JIM BENAGE

SEAL

ATTEST:

CITY CLERK, MELISSA KREHBIEL

August 13, 2024

ACKNOWLEDGEMENTS

STATE OF KANSAS)
COUNTY OF SEDGWICK) ss:

BE IT KNOWN BY ALL PERSONS that on this ____ day of _____, 202__, before me, a Notary Public, came Jay W. Russell, as Trustee of the Jay Russell Revocable Trust, as Amended, Member of 53rd & Oliver, LLC, a Kansas limited liability company, DEVELOPER, who is known to me and who personally acknowledged execution of the foregoing Agreement concerning the CHAPEL LANDING 7TH ADDITION PUD to the City of Bel Aire, Kansas.

NOTARY PUBLIC

My Appointment Expires: _____

STATE OF KANSAS)
COUNTY OF SEDGWICK) ss:

BE IT KNOWN BY ALL PERSONS that on this ____ day of _____, 202__, before me, a Notary Public, came Jim Benage, who is known to me to be the Mayor of Bel Aire, Kansas and who personally acknowledged execution of the foregoing Agreement Concerning the Development of CHAPEL LANDING 7TH ADDITION to the City of Bel Aire, Kansas, and Melissa Krehbiel, who is known to me to be the City Clerk of Bel Aire, Kansas, and who personally acknowledged attesting the signature of said Jim Benage.

NOTARY PUBLIC

My Appointment Expires: _____

City of Bel Aire

STAFF REPORT

DATE: 09/06/2024

TO: Bel Aire Planning Commission

FROM: Keith Price

RE: Agenda

STAFF COMMUNICATION	
FOR MEETING OF	9/12/24
CITY COUNCIL	
INFORMATION ONLY	

SUMMARY:

CON-24-02 Property owner has requested to build an oversized private use shed in an R-1 zoned District.

The city placed an ad in the Ark Valley Newspaper as required by the city code. The affidavit of publication is in the packet. The Conditional Use process required notification of surrounding property owners.

History

The property has been zoned R-1 as the city was established.

Discussion

The one-acre parcels in the neighborhood near the lot many have oversized sheds, some have gone through zoning process for the same reason, height or footprint of the shed exceeding the primary structure.

• The character of the neighborhood;

There are 3 oversized out buildings within 400’ of the subject lot as accessory to a single-family house.

• The zoning and uses of nearby properties;

North- R-1 Single-family uses
East-R-1 single family uses
South- (Wichita) Commercial
West-R-1 Single family use, C-1 and city utility

- **The suitability of the subject property for the uses to which it has been restricted;**
The city 2018 Master Growth Plan is in line with the existing and proposed uses.
- **The extent to which removal of the restrictions will detrimentally affect nearby property;**
No adverse changes based on the approved 2018 Master Growth Plan.
- **The length of time the property has been vacant as zoned;**

N/a.
- **The relative gain to the public health, safety, and welfare by the destruction of the value of petitioner's property as compared to the hardship imposed upon the individual landowners;**

N/a
- **Recommendations of permanent staff; and**

Staff recommends approval of the private use shed as presented.
- **Conformance of the requested change to the adopted or recognized master plan being utilized by the city.**
The city 2018 Master Growth Plan is in line with the existing and proposed uses.
- **The opinions of other property owners may be considered as one element of a decision in regard to the amendment associated with a single property, however, a decision either in support of or against any such rezoning may not be based upon a plebiscite of the neighbors.**

PUD-24-02.SD-24-03 Proposed a Platting and rezoning PUD to R-5 and R-6, single and multifamily uses from R-4, and to include C-1 commercial as zoned.

The city placed an ad in the Ark Valley Newspaper as required by the city code. The affidavit of publication is in the packet. The PUD process required notification of surrounding property owners.

The city review of the plat is in your packet. The newest revision will be posted.

History

The property has been zoned R-4 and C-1 by 2008 with different processes. The property west, Englert Addition Plat and special use permit was filed in 2016, Ordinance 590 allows animals on lot one, block A as a non-business use. The property south, Ordinance 654 changed the property from C-1 to R-6 in 2019 and was replatted in 2020 as Homestead Senior Landing. The city of Kechi is west of the property, that land is unplatted, however, 00520984, the north parcel, has a farm between Oliver the MOPAC railroad. There is also a property, 00520982, surrounded by this proposal that has been used for many types of rural residential uses, but now is used as single-family household.

The city staff needs clarification as listed in the city review to the engineering firm provided in your packet dated 8/30/24. Additional updates have been provided and the latest will be in the packet.

Discussion

The 2018 Master Growth Plan the land is shown as Residential Medium Density Figure 3:4 preferred growth with a park service area. Figure 3.5 indicates that the residential use preferred would be a level 2 intensity; this request is a level 3. Based on this table the use is within the adjacent acceptable use category.

- **The character of the neighborhood;**

The Kechi and county are rural residential, Bel Aire has housing that is built and utilized for the current zoning R-4 residential. The senior housing south is a low impact residential multi-family use.

- **The zoning and uses of nearby properties;**

North- Rural residential, Agriculture
 East-R-4 with a Special Use permit approved.
 South-R-6 single family, Senior housing; southwest (Wichita) Commercial, SF-5
 West-R-4 Ranch, Farm, Agriculture

- **The suitability of the subject property for the uses to which it has been restricted;**
 The city 2018 Master Growth Plan is in line with the existing and proposed uses.

- **The extent to which removal of the restrictions will detrimentally affect nearby property;**

No adverse changes based on the approved 2018 Master Growth Plan.

- **The length of time the property has been vacant as zoned;**

2006 to 2024, 18 years.

- **The relative gain to the public health, safety, and welfare by the destruction of the value of petitioner's property as compared to the hardship imposed upon the individual landowners;**

The land contained in the application has been included in future modeling, design and construction for water and sewer design sizing to provide city services to the area. Water and sewer services are readily available to develop the area.

- **Recommendations of permanent staff; and**

The proposed preliminary plat and preliminary PUD are recommended, with the expectation that the minimum living space for each parcel area is determined. Landscape concepts and sidewalk routes be provided with the final submittals. On street parking and onsite parking be reviewed for the final PUD. The drainage design is acceptable for the density of the developed areas.

- **Conformance of the requested change to the adopted or recognized master plan being utilized by the city.**

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

- **The opinions of other property owners may be considered as one element of a decision in regard to the amendment associated with a single property, however, a decision either in support of or against any such rezoning may not be based upon a plebiscite of the neighbors.**

If the Planning Commission fails to approve or disapprove the preliminary plat within 60 days after the date such plat is filed or from the date the subdivider has filed the last item of required data, whichever date is later, then such preliminary plat shall be deemed to have been approved, unless the subdivider shall have consented in writing to extend or waive such time limitation.

PUD-24-03. Proposed a Final PUD containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built.

The city placed an ad in the Ark Valley Newspaper as required by the city code. The affidavit of publication is in the packet. The PUD process required notification of surrounding property owners.

City staff met with the applicants to finalize what was important for the process. The city review of the plat is in your packet. The newest revision will be posted.

History

The property has been zoned R-4 since 2008 and replatted in 2020. The R-4 zoning district has a 10' side yard set back requirement. The old Chapel Land plat would have allowed a 6' side yard with conditions.

The discovery of lot splits outside of the city process changed how a single structure defined in the city building code could be divided into two single structures. The agreements and understand of use were changed. The zoning code and building code issues created within the Bel Aire is not a new problem in the region for other jurisdictions.

Discussion

The city will be working on lot split code changes and updating building codes; that doesn't imply this type method could be used city wide by dividing lots and selling each as a separate buildings as viewed currently with a lesser construction method. The intent is to provide a sustainable neighborhood with conditions in place to maintain property values.

- **The character of the neighborhood;**

The Kechi and county are rural residential, Bel Aire has housing that is built and utilized for the current zoning R-4 residential duplex design. The senior housing south is a low impact residential multi-family use.

- **The zoning and uses of nearby properties;**

North- Rural residential, Agriculture

East-R-4 and R-5.

South-R-4 single family with reduced side yard setbacks,

West-R-4, Agriculture

- **The suitability of the subject property for the uses to which it has been restricted;**
The city 2018 Master Growth Plan is in line with the existing and proposed uses.

- **The extent to which removal of the restrictions will detrimentally affect nearby property;**
No adverse changes based on the approved 2018 Master Growth Plan.

- **The length of time the property has been vacant as zoned;**

2008 to 2024, 16 years.

- **The relative gain to the public health, safety, and welfare by the destruction of the value of petitioner's property as compared to the hardship imposed upon the individual landowners;**

Affordable single-family housing with each family responsible as owners is the gain. Housing is Bel Aire's crop that increases land value for every viable sustainable property.

- **Recommendations of permanent staff; and**

The proposed PUD Under number 5 of the proposed PUD submittal the information should be changed to state ...accordance with said Planned Unit Development to a duplex building standard as an exception to all applicable building standards adopted by the city of Bel Aire. The landscape requirement should be divided equally between the two new lots.

- **Conformance of the requested change to the adopted or recognized master plan being utilized by the city.**

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

The opinions of other property owners may be considered as one element of a decision in regard to the amendment associated with a single property, however, a decision either in support of or against any such rezoning may not be based upon a plebiscite of the neighbors.

PUD-24-04. Proposed a Final PUD containing approved duplexes to be converted townhouses with zero interior lot lines on a reduced lot size in an R-4 zoning district as built in a portion of Chapel Landing.

The city placed an ad in the Ark Valley Newspaper as required by the city code. The affidavit of publication is in the packet. The PUD process required notification of surrounding property owners.

City staff met with the applicants to finalize what was important for the process.

The city review of the plat is in your packet. The newest revision will be posted.

History

The property has been zoned R-4 since 2008 and replatted in 2020. The R-4 zoning district has a 10' side yard set back requirement. The old Chapel Land plat would have allowed a 6' side yard with conditions.

The discovery of lot splits outside of the city process changed how a single structure defined in the city building code could be divided into two single structures. The agreements and understand of use were changed. The zoning code and building code issues created within the Bel Aire is not a new problem in the region for other jurisdictions.

Discussion

The city will be working on lot split code changes and updating building codes; that doesn't imply this type method could be used city wide by dividing lots and selling each as a separate buildings as viewed currently with a lesser construction method. The intent is to provide a sustainable neighborhood with conditions in place to maintain property values.

- **The character of the neighborhood;**

The Kechi and county are rural residential, Bel Aire has housing that is built and utilized for the current zoning R-4 residential duplex design. The senior housing south is a low impact residential multi-family use.

- **The zoning and uses of nearby properties;**

North- R-4

East-R-4, Agriculture, R-5.

South-R-4 single family with reduced side yard setbacks, R-1

West-R-4, R-6 senior housing

- **The suitability of the subject property for the uses to which it has been restricted;**

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

- **The extent to which removal of the restrictions will detrimentally affect nearby property;**

No adverse changes based on the approved 2018 Master Growth Plan.

- **The length of time the property has been vacant as zoned;**

2008 to 2024, 16 years.

- **The relative gain to the public health, safety, and welfare by the destruction of the value of petitioner's property as compared to the hardship imposed upon the individual landowners;**

Affordable single-family housing with each family responsible as owners is the gain. Housing is Bel Aire's crop that increases land value for every viable sustainable property.

- **Recommendations of permanent staff; and**

The proposed PUD Under number 5 of the proposed PUD submittal the information should be changed to state ...accordance with said Planned Unit Development to a duplex building standard as an exception to all applicable building standards adopted by the city of Bel Aire. The landscape requirement should be divided equally between the two new lots.

- **Conformance of the requested change to the adopted or recognized master plan being utilized by the city.**

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

The opinions of other property owners may be considered as one element of a decision in regard to the amendment associated with a single property, however, a decision either in support of or against any such rezoning may not be based upon a plebiscite of the neighbors.