



AGENDA
CITY COUNCIL MEETING
7651 E. Central Park Ave, Bel Aire, KS
October 01, 2024 7:00 PM



I. CALL TO ORDER: Mayor Jim Benage

II. ROLL CALL

Greg Davied _____ Tyler Dehn _____ Emily Hamburg _____
Tom Schmitz _____ John Welch _____

III. OPENING PRAYER: Gary Green

IV. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

V. DETERMINE AGENDA ADDITIONS

VI. CONSENT AGENDA

A. **Approval of Minutes of the September 17, 2024 City Council meeting.**

Action: Motion to (approve / table / deny) the Consent Agenda as (listed / amended) and authorize the Mayor to sign.

Motion _____ Second _____ Vote _____

VII. DISCUSSION AND APPROVAL OF APPROPRIATIONS ORDINANCE

A. **Consideration of Appropriations Ordinance No. 24-18 in the amount of \$471,661.63.**

Action: Motion to (approve / deny / table) Appropriations Ordinance No. 24-18.

Motion _____ Second _____ Vote _____

VIII. CITY REQUESTED APPEARANCES

A. Edward Watson, II, attorney and Foulston Siefkin partner – Streetlights Alliance for Fair Energy Rates (SAFER) Update

B. Julie Stimson, Director, Sedgwick County Emergency Management - Regional Hazard Mitigation Plan

IX. PUBLIC HEARING

- A.** The purpose of public hearing is to hear any and all written or oral objections to the respective assessments considered in the Ordinance Levying Special Assessments on the agenda.

Action: Motion to close the Public Hearing.

Motion _____ Second _____ Vote _____

- X. CITIZEN CONCERNS:** *If you wish to speak, please fill out a "Request to Speak" card at the podium and give it to the City Clerk before the meeting begins. When you are called on by the Mayor, please go to the podium, speak into the microphone, and state your name and address before giving your comments. Please limit your comments to 3 minutes in the interest of time. If more time is needed, you may request an extension from the Mayor.*

XI. REPORTS

- A. Council Member Reports**
- B. Mayor's Report**
- C. City Attorney Report**
- D. City Manager Report**

XII. ORDINANCES, RESOLUTIONS AND FINAL ACTIONS

- A.** Consideration of An Ordinance Levying Special Assessments And Benefit Fees On Certain Property To Pay Costs Of Internal Improvements In The City Of Bel Aire, Kansas, As Authorized By Resolution Nos. R-17-12, R-17-14, R-17-13, R-17-15, R-18-06, R-18-08, R-18-10, R-18-12, R-20-20, R-20-21, R-20-22, R-20-23, R-20-24, R-21-03, R-21-05, R-21-06, R-21-39, R-21-32, R-21-13, R-21-14, R-21-15, R-21-17, R-21-37, R-21-38, R-21-20, R-21-21, R-21-22, R-21-23, R-21-19, R-21-41, And R-21-29; And Providing For The Collection Of Such Special Assessments And Benefit Fees.

Action: Motion to (adopt / deny / table) An Ordinance Levying Special Assessments And Benefit Fees On Certain Property To Pay Costs Of Internal Improvements In The City Of Bel Aire, Kansas, As Authorized By Resolution Nos. R-17-12, R-17-14, R-17-13, R-17-15, R-18-06, R-18-08, R-18-10, R-18-12, R-20-20, R-20-21, R-20-22, R-20-23, R-20-24, R-21-03, R-21-05, R-21-06, R-21-39, R-21-32, R-21-13, R-21-14, R-21-15, R-21-17, R-21-37, R-21-38, R-21-20, R-21-21, R-21-22, R-21-23, R-21-19, R-21-41, And R-21-29; And Providing For The Collection Of Such Special Assessments And Benefit Fees and authorize the Mayor to sign.

Motion _____ Second _____ Vote _____

- B.** Consideration of A Resolution Adopting the Kansas Homeland Security Region G Hazard Mitigation Plan.

Action: Motion to (adopt / deny / table) Resolution No. R-2024-19 Adopting the Kansas Homeland Security Region G Hazard Mitigation Plan and authorize the Mayor to sign.

Motion _____ Second _____ Vote _____

C.

Consideration of An Ordinance Approving The Recommendation Of The Bel Aire Planning Commission Recommending a Conditional Use Permit to Build an Oversized Private Use Shed on Property Zoned as R-1 and Located In The City Of Bel Aire, Kansas Under The Authority Granted By The Zoning Regulations Of The City (CON-24-02).

Action: (choose one of the 4 options below) Motion to

1. Approve the findings of fact and recommendation of the Planning Commission for CON-24- 02, Adopt Ordinance No. 723 as Presented, and authorize the Mayor to sign.
2. Override the findings of fact and recommendation of the Planning Commission for CON-24-02 to revise Ordinance No.723 as follows; _____, Adopt the Revised Ordinance, and authorize the Mayor to sign.
3. Override the findings of fact and recommendation of the Planning Commission for CON-24-02, and disapprove the Ordinance.
4. Return the findings of fact and recommendation of the Planning Commission for CON-24-02 to the Planning Commission for further consideration, based on the following reasons; _____.

Motion _____ Second _____ Roll Call Vote:

Greg Davied _____ Tyler Dehn _____ Emily Hamburg _____

Tom Schmitz _____ John Welch _____ Mayor Jim Benage _____

D.

Consideration of a Resolution to Establish the Designation of the Official Newspaper for the City of Bel Aire Pursuant to Charter Ordinance No. 25.

Action: Motion to (adopt / deny / table) Resolution No. _____ (as presented / as amended) and authorize the Mayor to sign.

Motion _____ Second _____ Vote _____

XIII. EXECUTIVE SESSION

Action: Motion to recess into executive session to discuss with legal counsel and receive legal advice related to the Woodlawn Roadway Project. The discussion will be pursuant to K.S.A. 75-4319 (b)(2) for legal consultation with Neil Gosch which would be deemed privileged in the attorney-client relationship. Invite the City Manager, City Attorney, City Engineer, and Katherine Chlumsky. The meeting will be for a period of (_____) minutes, and the open meeting will resume in City Council Chambers at (_____) p.m.

Motion _____ Second _____ Vote _____

XIV. DISCUSSION AND FUTURE ISSUES

- A.** Special Meeting – October 8th at 6:00 p.m.?
- B.** Workshop - October 8th at 6:30 p.m.?
- C.** City Hall Christmas Lights Discussion
- D.** New Utility Bill Layout Discussion

XV. ADJOURNMENT

Action: Motion to adjourn.

Motion _____ Second _____ Vote _____

Additional Attachments:

- A.** Manager's Report - October 1, 2024

Notice

It is possible that sometime between 6:30 and 7:00 PM immediately prior to this meeting, during breaks, and directly after the meeting, a majority of the Governing Body may be present in the Council Chambers or the lobby of City Hall. No one is excluded from these areas during these times. Video of this meeting can be streamed at www.belaireks.gov and on YouTube. Please make sure all cell phones and other electronics are turned off and put away.



MINUTES
CITY COUNCIL MEETING
7651 E. Central Park Ave, Bel Aire, KS
September 17, 2024 7:00 PM



I. CALL TO ORDER: Mayor Jim Benage called the meeting to order at 7:00 p.m.

II. ROLL CALL

Present were Councilmembers Greg Davied, Tyler Dehn, Emily Hamburg, Tom Schmitz, and John Welch.

Also present were City Manager Ted Henry, City Attorney Maria Schrock, Director of Finance Barry Smith, City Clerk Melissa Krehbiel and Bond Counsel Kevin Cowan of Gilmore & Bell, PA.

III. OPENING PRAYER: Gary Green provided the opening prayer.

IV. PLEDGE OF ALLEGIANCE TO THE AMERICAN FLAG

Mayor Benage led the pledge of allegiance.

V. DETERMINE AGENDA ADDITIONS: There were no additions.

VI. CONSENT AGENDA

A. Approval of Minutes of the September 3, 2024 City Council meeting.

MOTION: Councilmember Welch moved to approve the Consent Agenda as listed and authorize the Mayor to sign. Councilmember Davied seconded the motion. ***Motion carried 5-0.***

VII. DISCUSSION AND APPROVAL OF APPROPRIATIONS ORDINANCE

A. Consideration of Appropriations Ordinance No. 24-17 in the amount of \$894,650.27.

MOTION: Councilmember Davied moved to approve Appropriations Ordinance No. 24-17. Councilmember Dehn seconded the motion. ***Motion carried 5-0.***

VIII. CITY REQUESTED APPEARANCES: None.

IX. CITIZEN CONCERNS: No one spoke.

X. REPORTS**A. Council Member Reports**

Councilmember Dehn briefly reported he participated in the annual WAMPO Bicycle/Pedestrian count and thanked the volunteers. He also attended the National Night Out on Saturday and thanked the Bel Aire Police Department for organizing the event. He reminded residents that the K-254 Corridor Development Association will meet at 11:30 a.m. on Friday at City Hall.

Councilmember Schmitz reported he attended the National Night Out.

B. Mayor's Report

Mayor Benage reported on the latest meeting of the Sedgwick County Association of Cities (SCAC) and the recent fly-in visit to Washington D.C. organized by the Kansas Chamber of Commerce and the Wichita Area Chamber of Commerce.

Regarding upcoming meetings, the K-254 Corridor Development Association will meet on Friday, and the Utility Advisory Committee (UAC) will meet on October 17th at 6:30 p.m. to get citizen input on the City's water conservation plan. A water consult will be held by KDHE on September 30th from 9 a.m. to Noon at Wichita State University to help develop a better water plan for the state.

Mayor Benage reported that the Sedgwick County Election Office needs workers for the upcoming election and encouraged citizens to volunteer. He also reminded residents that the Stage 2 drought regulations are still in place and asked for prayers for rain.

C. City Attorney Report

City Attorney Maria Schrock briefly reported on the September 11th meeting of the UAC and encouraged citizens to send comments or concerns about the water conservation plan to the City by social media or other ways. She noted that a Safer Coalition representative from Foulston-Siefkin will give an update to Council on October 1st regarding the Evergy rate-case settlement.

D. City Manager Report

City Manager Ted Henry gave a brief presentation explaining the special assessment process.

XI. ORDINANCES, RESOLUTIONS AND FINAL ACTIONS**A. Consideration of Actions related to Special Assessments.**

MOTION: Councilmember Hamburg moved to take the following actions:

1. Approve the Statement of Final Costs, Assessment Roll Certification, Notice of Public Hearing, and Form of Notice of Hearing and Statement of Cost Proposed to be Assessed (Exhibits A, B, C, & D).

2. Establish October 1, 2024 at 7:00 p.m. to meet for the purpose of hearing any and all written or oral objections to the respective assessments set forth therein;
3. Authorize the publication by the City Clerk of **Exhibit C** (*Notice of Public Hearing*) in the official City newspaper, not less than 10 days prior to such public meeting date;
4. Mail **Exhibit D** (*Form of Notice of Hearing and Statement of Cost Proposed to be Assessed*) to each and all owners of property affected by such assessments at their last known post office address on the same date as the publication of **Exhibit C**; and
5. File each of said documents of record in the office of the City Clerk and make the same available for public inspection.

Councilmember Welch seconded the motion. ***Motion carried 5-0.***

B. Consideration of a Resolution and Adoption Agreement with Kansas Public Employees Retirement System 401(a) Plan for the City Manager.

MOTION: Councilmember Welch moved to adopt the Resolution And Adoption Agreement with Kansas Public Employees Retirement System 401(a) Plan for the City Manager and authorize the Mayor to sign. Councilmember Schmitz seconded the motion. ***Motion carried 5-0.***

XII. EXECUTIVE SESSION

MOTION: Councilmember Davied moved to recess into executive session to discuss with legal counsel and receive legal advice related to the Woodlawn Roadway Project. The discussion will be pursuant to K.S.A. 75- 4319 (b)(2) for legal consultation with Neil Gosch which would be deemed privileged in the attorney-client relationship. Invite the City Manager, City Attorney, City Engineer, and Katherine Chlumsky. The meeting will be for a period of 20 minutes, and the open meeting will resume in City Council Chambers at 7:54 p.m. Councilmember Welch seconded the motion. ***Motion carried 5-0.***

The Council then recessed for executive session. At 8:56 p.m., Mayor Benage called the meeting back to order in open session and stated that no binding action had been taken.

MOTION: Councilmember Welch moved to extend the executive session for 15 minutes, resuming at 8:11 p.m. Councilmember Davied seconded the motion. ***Motion carried 5-0.***

The Council then recessed for executive session. At 8:13 p.m. Mayor Benage called the meeting to order and stated that no binding action had been taken.

XIII. DISCUSSION AND FUTURE ISSUES: No further discussion was held.

XIV. ADJOURNMENT

MOTION: Councilmember Welch moved to adjourn. Councilmember Hamburg seconded the motion. ***Motion carried 5-0.***



City of Bel Aire, KS

Section VII, Item A.

AP ORDER

By Vendor Name

Payment Dates 9/10/2024 - 9/25/2024

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|--|-----------------------------|------------|--------------|---------------------|-----------|
| Vendor: 1519 - ADOBE, INC | | | | | |
| ADOBE, INC | ACROBAT SUBSCRIPTION | 09/06/2024 | 09/20/2024 | | 250.69 |
| Vendor 1519 - ADOBE, INC Total: | | | | | 250.69 |
| Vendor: 2122 - AIR CAPITOL EXTERMINATING | | | | | |
| AIR CAPITOL EXTERMINATING | EXTERMINATING SERVICES | 09/11/2024 | 09/13/2024 | | 19.50 |
| AIR CAPITOL EXTERMINATING | EXTERMINATING SERVICES | 09/11/2024 | 09/13/2024 | | 11.70 |
| AIR CAPITOL EXTERMINATING | EXTERMINATING SERVICES | 09/11/2024 | 09/13/2024 | | 23.40 |
| AIR CAPITOL EXTERMINATING | EXTERMINATING SERVICES | 09/11/2024 | 09/13/2024 | | 23.40 |
| Vendor 2122 - AIR CAPITOL EXTERMINATING Total: | | | | | 78.00 |
| Vendor: 2790 - ARC PHYSICAL THERAPY PLUS | | | | | |
| ARC PHYSICAL THERAPY PLUS | PRE-EMPLOYMENT SCREENING | 09/03/2024 | 09/20/2024 | | 35.00 |
| ARC PHYSICAL THERAPY PLUS | PRE-EMPLOYMENT SCREENING | 09/03/2024 | 09/20/2024 | | 17.50 |
| ARC PHYSICAL THERAPY PLUS | PRE-EMPLOYMENT SCREENING | 09/03/2024 | 09/20/2024 | | 17.50 |
| Vendor 2790 - ARC PHYSICAL THERAPY PLUS Total: | | | | | 70.00 |
| Vendor: 1968 - ATTENTION TO DETAILS, LLC | | | | | |
| ATTENTION TO DETAILS, LLC | TREE REMOVAL | 09/03/2024 | 09/20/2024 | | 1,350.00 |
| ATTENTION TO DETAILS, LLC | TREE REMOVAL | 09/03/2024 | 09/20/2024 | | 400.00 |
| Vendor 1968 - ATTENTION TO DETAILS, LLC Total: | | | | | 1,750.00 |
| Vendor: 0472 - BEALL & MITCHELL, LLC | | | | | |
| BEALL & MITCHELL, LLC | COURT SERVICES | 09/20/2024 | 09/20/2024 | | 1,237.98 |
| Vendor 0472 - BEALL & MITCHELL, LLC Total: | | | | | 1,237.98 |
| Vendor: 1486 - BLUE CROSS & BLUE SHIELD OF KS | | | | | |
| BLUE CROSS & BLUE SHIELD O... | 10/24 HEALTH INSURANCE | 09/07/2024 | 09/20/2024 | | 43,943.81 |
| BLUE CROSS & BLUE SHIELD O... | 10/24 HEALTH INSURANCE | 09/07/2024 | 09/20/2024 | | 2,600.77 |
| BLUE CROSS & BLUE SHIELD O... | 10/24 HEALTH INSURANCE | 09/07/2024 | 09/20/2024 | | 2,951.02 |
| BLUE CROSS & BLUE SHIELD O... | 10/24 HEALTH INSURANCE | 09/07/2024 | 09/20/2024 | | 4,775.82 |
| BLUE CROSS & BLUE SHIELD O... | 10/24 HEALTH INSURANCE | 09/07/2024 | 09/20/2024 | | 1,228.80 |
| Vendor 1486 - BLUE CROSS & BLUE SHIELD OF KS Total: | | | | | 55,500.22 |
| Vendor: T1562 - BRENDA CARVER | | | | | |
| BRENDA CARVER | FALL FEST REFUND | 09/11/2024 | 09/13/2024 | | 20.00 |
| Vendor T1562 - BRENDA CARVER Total: | | | | | 20.00 |
| Vendor: 2732 - BRIAN W MACKEY | | | | | |
| BRIAN W MACKEY | ERP IMPLEMENTATION | 09/11/2024 | 09/13/2024 | | 687.50 |
| Vendor 2732 - BRIAN W MACKEY Total: | | | | | 687.50 |
| Vendor: 2142 - BRIDGESTONE AMERICAS, INC | | | | | |
| BRIDGESTONE AMERICAS, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 23.22 |
| BRIDGESTONE AMERICAS, INC | VEHICLE REPAIR/MAINTENAN... | 09/17/2024 | 09/20/2024 | | 329.32 |
| Vendor 2142 - BRIDGESTONE AMERICAS, INC Total: | | | | | 352.54 |
| Vendor: 2558 - CALVIN OPP CONCRETE INC | | | | | |
| CALVIN OPP CONCRETE INC | SIDEWALK CONCRETE | 08/19/2024 | 09/20/2024 | | 9,556.00 |
| Vendor 2558 - CALVIN OPP CONCRETE INC Total: | | | | | 9,556.00 |
| Vendor: 0170 - CHISHOLM CREEK UTILITY AUTH. | | | | | |
| CHISHOLM CREEK UTILITY AU... | 09/24 CUA CONTINGENCY | 09/11/2024 | 09/13/2024 | | 2,820.00 |
| CHISHOLM CREEK UTILITY AU... | 09/24 CUA CONTINGENCY | 09/11/2024 | 09/13/2024 | | 2,640.00 |
| Vendor 0170 - CHISHOLM CREEK UTILITY AUTH. Total: | | | | | 5,460.00 |
| Vendor: T1560 - CHRISTY THOMAS | | | | | |
| CHRISTY THOMAS | FALL FEST REFUND | 09/11/2024 | 09/13/2024 | | 20.00 |
| Vendor T1560 - CHRISTY THOMAS Total: | | | | | 20.00 |
| Vendor: 0852 - CINTAS CORPORATION NO. 2 | | | | | |
| CINTAS CORPORATION NO. 2 | PD: RESTOCK FIRST AID | 09/11/2024 | 09/13/2024 | | 371.31 |

AP ORDINANCE

Payment Date

Section VII, Item A.

4

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|---|-----------------------|------------|--------------|---------------------|--------|
| CINTAS CORPORATION NO. 2 | PW: RESTOCK FIRST AID | 09/11/2024 | 09/13/2024 | | 104.32 |
| CINTAS CORPORATION NO. 2 | PW: RESTOCK FIRST AID | 09/11/2024 | 09/13/2024 | | 104.30 |
| CINTAS CORPORATION NO. 2 | PW: RESTOCK FIRST AID | 09/11/2024 | 09/13/2024 | | 104.32 |
| CINTAS CORPORATION NO. 2 | PW: RESTOCK FIRST AID | 09/11/2024 | 09/13/2024 | | 104.32 |
| Vendor 0852 - CINTAS CORPORATION NO. 2 Total: | | | | | 788.57 |

Vendor: 0028 - CINTAS CORPORATION

| | | | | | |
|---|---------------------------|------------|------------|--|----------|
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 81.34 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 40.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 158.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 83.84 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 137.02 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 81.34 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 40.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 158.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 83.84 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 137.02 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 81.34 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 40.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 158.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 83.84 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 137.02 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 129.20 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 88.87 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 206.87 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 131.87 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 137.02 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 81.34 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 40.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 158.94 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 83.84 |
| CINTAS CORPORATION | PD MATS/PW UNIFORMS/TO... | 09/11/2024 | 09/13/2024 | | 137.02 |
| Vendor 0028 - CINTAS CORPORATION Total: | | | | | 2,702.15 |

Vendor: 0383 - CITY OF BEL AIRE

| | | | | | |
|---------------------------------------|------------------------------|------------|------------|--|--------|
| CITY OF BEL AIRE | WATER REBATE CREDIT TO UB... | 09/04/2024 | 09/20/2024 | | 690.00 |
| Vendor 0383 - CITY OF BEL AIRE Total: | | | | | 690.00 |

Vendor: 2062 - CORE & MAIN LP

| | | | | | |
|-------------------------------------|----------------------|------------|------------|--|----------|
| CORE & MAIN LP | WATER METER SUPPLIES | 08/02/2024 | 09/20/2024 | | 4,858.50 |
| CORE & MAIN LP | WATER METER SUPPLIES | 08/23/2024 | 09/20/2024 | | 379.20 |
| CORE & MAIN LP | WATER METER SUPPLIES | 08/30/2024 | 09/20/2024 | | 460.00 |
| Vendor 2062 - CORE & MAIN LP Total: | | | | | 5,697.70 |

Vendor: 0685 - COUNTRYSIDE LAWN & TREE CARE

| | | | | | |
|---|------------------------------|------------|------------|--|--------|
| COUNTRYSIDE LAWN & TREE ... | FERTILIZER;IRRIGATION REPAIR | 09/11/2024 | 09/13/2024 | | 365.00 |
| COUNTRYSIDE LAWN & TREE ... | FERTILIZER;IRRIGATION REPAIR | 09/11/2024 | 09/13/2024 | | 293.08 |
| Vendor 0685 - COUNTRYSIDE LAWN & TREE CARE Total: | | | | | 658.08 |

Vendor: 0050 - COX COMMUNICATIONS, INC

| | | | | | |
|-------------------------|------------------------|------------|------------|--|--------|
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 08/30/2024 | 09/14/2024 | | 77.48 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 08/30/2024 | 09/14/2024 | | 77.47 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 71.25 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 26.72 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 26.71 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 53.44 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 356.26 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 89.07 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 89.07 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 89.07 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 89.07 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 09/01/2024 | 09/16/2024 | | 63.60 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 09/01/2024 | 09/16/2024 | | 63.60 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 09/01/2024 | 09/16/2024 | | 63.60 |

AP ORDINANCE

Payment Date

Section VII, Item A.

24

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|---|----------------------------|------------|--------------|---------------------|-----------|
| COX COMMUNICATIONS, INC | INTERNET/PHONE SVC | 09/01/2024 | 09/16/2024 | | 63.60 |
| COX COMMUNICATIONS, INC | INTERNET/PHONE SERVICE | 09/01/2024 | 09/16/2024 | | 193.69 |
| Vendor 0050 - COX COMMUNICATIONS, INC Total: | | | | | 1,493.70 |
| Vendor: T1561 - DAWN SWEENEY | | | | | |
| DAWN SWEENEY | FALL FEST REFUND | 09/11/2024 | 09/13/2024 | | 20.00 |
| Vendor T1561 - DAWN SWEENEY Total: | | | | | 20.00 |
| Vendor: 0032 - DELTA DENTAL PLAN of KANSAS | | | | | |
| DELTA DENTAL PLAN of KANS... | 09/24 MONTHLY PREMIUM | 09/11/2024 | 09/13/2024 | | 2,034.12 |
| DELTA DENTAL PLAN of KANS... | 09/24 MONTHLY PREMIUM | 09/11/2024 | 09/13/2024 | | 133.79 |
| DELTA DENTAL PLAN of KANS... | 09/24 MONTHLY PREMIUM | 09/11/2024 | 09/13/2024 | | 439.63 |
| Vendor 0032 - DELTA DENTAL PLAN of KANSAS Total: | | | | | 2,607.54 |
| Vendor: 0214 - DIGITAL OFFICE SYSTEMS | | | | | |
| DIGITAL OFFICE SYSTEMS | PD COPIER | 09/11/2024 | 09/13/2024 | | 46.24 |
| Vendor 0214 - DIGITAL OFFICE SYSTEMS Total: | | | | | 46.24 |
| Vendor: 2415 - EMPAC, INC | | | | | |
| EMPAC, INC | EMPLOYEE ASSIST PROGRAM... | 10/01/2024 | 09/20/2024 | | 365.70 |
| Vendor 2415 - EMPAC, INC Total: | | | | | 365.70 |
| Vendor: 0118 - EWING | | | | | |
| EWING | IRRIGATION MAINTENANCE | 09/11/2024 | 09/13/2024 | | 31.51 |
| Vendor 0118 - EWING Total: | | | | | 31.51 |
| Vendor: 2654 - EXPERT AUTO CENTER | | | | | |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/09/2024 | 09/20/2024 | | 372.64 |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/10/2024 | 09/20/2024 | | 64.99 |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/22/2024 | 09/20/2024 | | 58.49 |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/23/2024 | 09/20/2024 | | 53.33 |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/23/2024 | 09/20/2024 | | 53.33 |
| EXPERT AUTO CENTER | MAINTENANCE/REPAIR | 08/23/2024 | 09/20/2024 | | 53.33 |
| Vendor 2654 - EXPERT AUTO CENTER Total: | | | | | 656.11 |
| Vendor: 0587 - FEDERAL EXPRESS CORPORATION | | | | | |
| FEDERAL EXPRESS CORPORAT... | WATER SAMPLES | 09/11/2024 | 09/13/2024 | | 117.14 |
| FEDERAL EXPRESS CORPORAT... | WATER SAMPLES | 09/11/2024 | 09/13/2024 | | 94.06 |
| Vendor 0587 - FEDERAL EXPRESS CORPORATION Total: | | | | | 211.20 |
| Vendor: 2686 - FELIX'S LANDSCAPING-IRRIGATION | | | | | |
| FELIX'S LANDSCAPING-IRRIGAT.. | IRRIGATION REPAIR | 09/12/2024 | 09/20/2024 | | 260.00 |
| Vendor 2686 - FELIX'S LANDSCAPING-IRRIGATION Total: | | | | | 260.00 |
| Vendor: 2695 - FRIESEN & ASSOCIATES INC | | | | | |
| FRIESEN & ASSOCIATES INC | COMMUNICATIONS COUNSEL... | 09/11/2024 | 09/13/2024 | | 918.75 |
| Vendor 2695 - FRIESEN & ASSOCIATES INC Total: | | | | | 918.75 |
| Vendor: 0068 - GALLS, LLC | | | | | |
| GALLS, LLC | UNIFORMS/PD SUPPLIES | 09/11/2024 | 09/13/2024 | | 21.00 |
| GALLS, LLC | UNIFORMS/PD SUPPLIES | 09/11/2024 | 09/13/2024 | | 151.20 |
| GALLS, LLC | UNIFORMS/PD SUPPLIES | 09/11/2024 | 09/13/2024 | | 294.54 |
| GALLS, LLC | UNIFORMS/PD SUPPLIES | 09/11/2024 | 09/13/2024 | | 21.25 |
| Vendor 0068 - GALLS, LLC Total: | | | | | 487.99 |
| Vendor: 0116 - GILMORE & BELL | | | | | |
| GILMORE & BELL | 2023 ANNUAL REPORT | 09/04/2024 | 09/20/2024 | | 1,200.00 |
| Vendor 0116 - GILMORE & BELL Total: | | | | | 1,200.00 |
| Vendor: 2328 - GLOBAL PAYMENTS INC | | | | | |
| GLOBAL PAYMENTS INC | CC PROCESSING FEES | 09/15/2024 | 09/15/2024 | | 8,682.27 |
| GLOBAL PAYMENTS INC | CC PROCESSING FEES | 09/15/2024 | 09/15/2024 | | 8,682.27 |
| Vendor 2328 - GLOBAL PAYMENTS INC Total: | | | | | 17,364.54 |
| Vendor: 1540 - GREEN GLO, INC | | | | | |
| GREEN GLO, INC | YARD REPAIR | 09/11/2024 | 09/13/2024 | | 22.50 |
| Vendor 1540 - GREEN GLO, INC Total: | | | | | 22.50 |

AP ORDINANCE

Payment Date

Section VII, Item A.

4

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|---|----------------------------|------------|--------------|---------------------|------------------|
| Vendor: 1950 - GSI ENGINEERING LLC | | | | | |
| GSI ENGINEERING LLC | 53RD WOODLAWN-OLIVER | 09/12/2024 | 09/20/2024 | 002-8892 | 572.70 |
| Vendor 1950 - GSI ENGINEERING LLC Total: | | | | | 572.70 |
| Vendor: 2848 - HANDPAN DAN LLC | | | | | |
| HANDPAN DAN LLC | SENIOR EVENT | 09/11/2024 | 09/13/2024 | | 150.00 |
| Vendor 2848 - HANDPAN DAN LLC Total: | | | | | 150.00 |
| Vendor: 2850 - HAPPY APPLE VENTURE INC | | | | | |
| HAPPY APPLE VENTURE INC | CROSSWALK RESTRIPE WOOD... | 09/11/2024 | 09/13/2024 | | 1,043.90 |
| Vendor 2850 - HAPPY APPLE VENTURE INC Total: | | | | | 1,043.90 |
| Vendor: 0241 - HAWKS INTER-STATE PESTMASTERS | | | | | |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 83.76 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.38 |
| HAWKS INTER-STATE PESTMA... | HAWKS PEST CONTROL | 09/11/2024 | 09/13/2024 | | 12.34 |
| Vendor 0241 - HAWKS INTER-STATE PESTMASTERS Total: | | | | | 182.52 |
| Vendor: 2826 - HIGH TOUCH INC | | | | | |
| HIGH TOUCH INC | KSGOV.JOBS SUBSCRIPTION | 09/11/2024 | 09/13/2024 | | 600.00 |
| Vendor 2826 - HIGH TOUCH INC Total: | | | | | 600.00 |
| Vendor: 2844 - HUMBLE LAWN & POOL LLC | | | | | |
| HUMBLE LAWN & POOL LLC | POOL WINTERIZATION | 09/11/2024 | 09/13/2024 | | 641.24 |
| Vendor 2844 - HUMBLE LAWN & POOL LLC Total: | | | | | 641.24 |
| Vendor: 0274 - KANSAS GOLF & TURF, INC | | | | | |
| KANSAS GOLF & TURF, INC | MOWER PURCHASE | 09/04/2024 | 09/20/2024 | | 13,199.00 |
| KANSAS GOLF & TURF, INC | EQUIP REPAIR/MAINTENANCE | 09/06/2024 | 09/20/2024 | | 179.13 |
| KANSAS GOLF & TURF, INC | EQUIP REPAIR/MAINTENANCE | 09/06/2024 | 09/20/2024 | | 182.30 |
| Vendor 0274 - KANSAS GOLF & TURF, INC Total: | | | | | 13,560.43 |
| Vendor: 0279 - LINDSIE N NYGAARD | | | | | |
| LINDSIE N NYGAARD | KACM CONFERENCE | 09/20/2024 | 09/20/2024 | | 82.00 |
| Vendor 0279 - LINDSIE N NYGAARD Total: | | | | | 82.00 |
| Vendor: 0483 - MANDJ, LLC | | | | | |
| MANDJ, LLC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 2.76 |
| MANDJ, LLC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 2.78 |
| MANDJ, LLC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 2.78 |
| MANDJ, LLC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 2.78 |
| Vendor 0483 - MANDJ, LLC Total: | | | | | 11.10 |
| Vendor: 2710 - MARIA SCHROCK | | | | | |
| MARIA SCHROCK | TWO CONFERENCES | 09/11/2024 | 09/13/2024 | | 429.44 |
| Vendor 2710 - MARIA SCHROCK Total: | | | | | 429.44 |
| Vendor: 2847 - MATTHEW CREASMAN | | | | | |
| MATTHEW CREASMAN | NATIONAL NIGHT OUT | 09/11/2024 | 09/13/2024 | | 500.00 |
| Vendor 2847 - MATTHEW CREASMAN Total: | | | | | 500.00 |
| Vendor: 0293 - MAXIMUM OUTDOOR EQUIPMENT/SVC | | | | | |
| MAXIMUM OUTDOOR EQUIP... | MOWER REPAIR | 09/11/2024 | 09/13/2024 | | 273.54 |
| Vendor 0293 - MAXIMUM OUTDOOR EQUIPMENT/SVC Total: | | | | | 273.54 |
| Vendor: 1029 - MCCULLOUGH EXCAVATION, INC. | | | | | |
| MCCULLOUGH EXCAVATION, ... | PROJECT | 08/31/2024 | 09/20/2024 | 012-8880 | 27,218.25 |
| Vendor 1029 - MCCULLOUGH EXCAVATION, INC. Total: | | | | | 27,218.25 |
| Vendor: 1925 - MERIDIAN ANALYTICAL LABS,LLC | | | | | |
| MERIDIAN ANALYTICAL LABS,L... | STORMWATER SAMPLE ANAL... | 08/29/2024 | 09/20/2024 | | 790.00 |
| Vendor 1925 - MERIDIAN ANALYTICAL LABS,LLC Total: | | | | | 790.00 |

AP ORDINANCE

Payment Date

Section VII, Item A.

4

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|--|------------------------------|------------|--------------|---------------------|-------------------|
| Vendor: 2843 - MOBILE POWER EQUIPMENT LLC | | | | | |
| MOBILE POWER EQUIPMENT ... | SEWER CRAWLER | 09/11/2024 | 09/11/2024 | | 48,995.00 |
| Vendor 2843 - MOBILE POWER EQUIPMENT LLC Total: | | | | | 48,995.00 |
| Vendor: 2556 - NATIONAL LEAGUE OF CITIES | | | | | |
| NATIONAL LEAGUE OF CITIES | COUNCIL MEMBERSHIP DUES | 09/11/2024 | 09/13/2024 | | 1,314.00 |
| Vendor 2556 - NATIONAL LEAGUE OF CITIES Total: | | | | | 1,314.00 |
| Vendor: 0125 - O'REILLY AUTOMOTIVE, INC | | | | | |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | -22.00 |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 9.75 |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 9.74 |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 9.74 |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 9.74 |
| O'REILLY AUTOMOTIVE, INC | MAINTENANCE/REPAIR | 09/11/2024 | 09/13/2024 | | 217.48 |
| Vendor 0125 - O'REILLY AUTOMOTIVE, INC Total: | | | | | 234.45 |
| Vendor: 2369 - PAYLOCITY CORPORATION | | | | | |
| PAYLOCITY CORPORATION | FSA EMPLOYEE EXPENSE | 09/11/2024 | 09/13/2024 | | 50.00 |
| Vendor 2369 - PAYLOCITY CORPORATION Total: | | | | | 50.00 |
| Vendor: 2524 - PEARSON CONSTRUCTION LLC | | | | | |
| PEARSON CONSTRUCTION LLC | PAVING IMPROVEMENTS COZ... | 08/31/2024 | 09/20/2024 | 009-8882 | 151,507.35 |
| Vendor 2524 - PEARSON CONSTRUCTION LLC Total: | | | | | 151,507.35 |
| Vendor: 2845 - PJI PHOTOGRAPHY INC | | | | | |
| PJI PHOTOGRAPHY INC | COUNCIL PHOTOGRAPHY | 09/11/2024 | 09/13/2024 | | 1,200.00 |
| Vendor 2845 - PJI PHOTOGRAPHY INC Total: | | | | | 1,200.00 |
| Vendor: 0261 - RAVENSCRAFT IMPLEMENT INC. | | | | | |
| RAVENSCRAFT IMPLEMENT IN... | PARKS MOWER REPAIR | 09/11/2024 | 09/13/2024 | | 254.45 |
| Vendor 0261 - RAVENSCRAFT IMPLEMENT INC. Total: | | | | | 254.45 |
| Vendor: 0140 - SPECTRUM PROMOTIONAL PRODUCTS | | | | | |
| SPECTRUM PROMOTIONAL P... | COUNCIL UNIFORMS | 09/11/2024 | 09/13/2024 | | 50.00 |
| Vendor 0140 - SPECTRUM PROMOTIONAL PRODUCTS Total: | | | | | 50.00 |
| Vendor: 0055 - STRUNK PUBLISHING, LLC | | | | | |
| STRUNK PUBLISHING, LLC | BREEZE AD;LEGAL PUBLICATI... | 08/31/2024 | 09/20/2024 | | 23.04 |
| STRUNK PUBLISHING, LLC | BREEZE AD;LEGAL PUBLICATI... | 08/31/2024 | 09/20/2024 | | 500.00 |
| STRUNK PUBLISHING, LLC | BREEZE AD;LEGAL PUBLICATI... | 08/31/2024 | 09/20/2024 | | 99.84 |
| STRUNK PUBLISHING, LLC | BREEZE AD;LEGAL PUBLICATI... | 08/31/2024 | 09/20/2024 | | 478.72 |
| Vendor 0055 - STRUNK PUBLISHING, LLC Total: | | | | | 1,101.60 |
| Vendor: 1963 - SURENCY LIFE & HEALTH INS CO | | | | | |
| SURENCY LIFE & HEALTH INS ... | 09/24 VISION INSURANCE | 09/11/2024 | 09/13/2024 | | 400.68 |
| SURENCY LIFE & HEALTH INS ... | 09/24 VISION INSURANCE | 09/11/2024 | 09/13/2024 | | 17.23 |
| SURENCY LIFE & HEALTH INS ... | 09/24 VISION INSURANCE | 09/11/2024 | 09/13/2024 | | 25.42 |
| SURENCY LIFE & HEALTH INS ... | 09/24 VISION INSURANCE | 09/11/2024 | 09/13/2024 | | 44.00 |
| Vendor 1963 - SURENCY LIFE & HEALTH INS CO Total: | | | | | 487.33 |
| Vendor: 1421 - TRANSYSTEMS CORPORATION | | | | | |
| TRANSYSTEMS CORPORATION | 53RD RECON WOODLAWN-OL... | 08/30/2024 | 09/20/2024 | 002-8862 | 38,969.02 |
| Vendor 1421 - TRANSYSTEMS CORPORATION Total: | | | | | 38,969.02 |
| Vendor: 0479 - TREE TOP NURSERY & LANDSCAPE | | | | | |
| TREE TOP NURSERY & LANDS... | TREE BOARD TREES | 09/11/2024 | 09/13/2024 | | 269.00 |
| TREE TOP NURSERY & LANDS... | CONTRACT MOWING | 09/11/2024 | 09/13/2024 | | 770.36 |
| TREE TOP NURSERY & LANDS... | CONTRACT MOWING | 09/11/2024 | 09/13/2024 | | 364.24 |
| Vendor 0479 - TREE TOP NURSERY & LANDSCAPE Total: | | | | | 1,403.60 |
| Vendor: 0903 - TRIPLETT,WOOLF, GARRETSON, LLC | | | | | |
| TRIPLETT,WOOLF, GARRETSON.. | WOODLAWN PROJECT MATTE... | 09/11/2024 | 09/13/2024 | | 2,737.50 |
| TRIPLETT,WOOLF, GARRETSON.. | CCUA DISPUTE | 09/11/2024 | 09/13/2024 | | 330.00 |
| TRIPLETT,WOOLF, GARRETSON.. | CCUA DISPUTE | 09/11/2024 | 09/13/2024 | | 330.00 |
| Vendor 0903 - TRIPLETT,WOOLF, GARRETSON, LLC Total: | | | | | 3,397.50 |
| Vendor: 2286 - UTILITY MAINTENANCE CONTRACTOR | | | | | |
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 2,890.00 |

AP ORDINANCE

Payment Date

Section VII, Item A.

24

| Vendor Name | Description (Payable) | Post Date | Payment Date | Project Account Key | Amount |
|---|-----------------------------|------------|--------------|---------------------|------------|
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 2,890.00 |
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 4,745.00 |
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 1,655.00 |
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 2,890.00 |
| UTILITY MAINTENANCE CONT... | WATER SERVICE INSTALL | 09/11/2024 | 09/13/2024 | | 2,545.00 |
| Vendor 2286 - UTILITY MAINTENANCE CONTRACTOR Total: | | | | | 17,615.00 |
| Vendor: 1205 - WASTE CONNECTIONS OF KANSAS | | | | | |
| WASTE CONNECTIONS OF KA... | PORTABLE RESTROOM | 08/15/2024 | 09/20/2024 | | 85.00 |
| WASTE CONNECTIONS OF KA... | 08/24 RECYCLE TRASH SERVICE | 09/01/2024 | 09/20/2024 | | 34,704.28 |
| WASTE CONNECTIONS OF KA... | 08/24 RECYCLE TRASH SERVICE | 09/01/2024 | 09/20/2024 | | 12,807.72 |
| Vendor 1205 - WASTE CONNECTIONS OF KANSAS Total: | | | | | 47,597.00 |
| Vendor: 2791 - WORKSTEPS, INC | | | | | |
| WORKSTEPS, INC | PRE-EMPLOYMENT SCREENING | 09/11/2024 | 09/13/2024 | | 75.00 |
| WORKSTEPS, INC | PRE-EMPLOYEMENT SCREENI... | 09/11/2024 | 09/13/2024 | | 75.00 |
| WORKSTEPS, INC | PRE-EMPLOYEMENT SCREENI... | 09/11/2024 | 09/13/2024 | | 37.50 |
| WORKSTEPS, INC | PRE-EMPLOYEMENT SCREENI... | 09/11/2024 | 09/13/2024 | | 37.50 |
| Vendor 2791 - WORKSTEPS, INC Total: | | | | | 225.00 |
| Grand Total: | | | | | 471,661.63 |

Report Summary

Fund Summary

| Fund | Payment Amount |
|-----------------------------------|-------------------|
| 100 - General Fund | 84,133.42 |
| 200 - Special Street & Highway | 4,159.98 |
| 315 - Equipment Reserve | 48,995.00 |
| 320 - Capital Projects Fund 2 | 218,267.32 |
| 355 - Capital Improvement Reserve | 9,556.00 |
| 520 - Water Utility | 40,445.25 |
| 530 - Sewer Utility | 17,802.66 |
| 540 - Solid Waste Utility | 47,512.00 |
| 550 - Stormwater Utility | 790.00 |
| Grand Total: | 471,661.63 |

Account Summary

| Account Number | Account Name | Payment Amount |
|------------------|-------------------------|----------------|
| 100-000-000-2048 | MEDICAL INS PREMIUMS... | 45,172.61 |
| 100-000-000-2054 | VISION INS PAYABLE | 400.68 |
| 100-000-000-2056 | DENTAL INS PAYABLE | 2,034.12 |
| 100-000-000-2062 | FSA HEALTH PAYABLE | 50.00 |
| 100-000-000-4512 | DONATIONS:COMM DE... | 60.00 |
| 100-100-110-6028 | PUBLICATIONS/PRINTING | 23.04 |
| 100-100-110-7024 | CONTRACTUAL SERVICES | 1,065.54 |
| 100-100-110-7046 | COMMUNICATION SERV... | 71.25 |
| 100-100-120-6028 | PUBLICATIONS/PRINTING | 500.00 |
| 100-100-120-7024 | CONTRACTUAL SERVICES | 12.34 |
| 100-100-130-7024 | CONTRACTUAL SERVICES | 12.34 |
| 100-100-140-6028 | PUBLICATIONS/PRINTING | 99.84 |
| 100-100-140-7024 | CONTRACTUAL SERVICES | 1,322.34 |
| 100-100-150-6008 | PROFESSIONAL DUES/M... | 1,314.00 |
| 100-100-150-6038 | MERCHANDISE TSF OR D... | 269.00 |
| 100-100-150-6040 | UNIFORMS/CLOTHING | 50.00 |
| 100-100-150-7024 | CONTRACTUAL SERVICES | 1,473.54 |
| 100-100-150-7046 | COMMUNICATION SERV... | 26.72 |
| 100-100-150-7804 | LEGAL SERVICES | 3,656.25 |
| 100-100-160-6008 | PROFESSIONAL DUES/M... | 600.00 |
| 100-100-160-7012 | COMPUTER SUPPORT S... | 250.69 |
| 100-100-160-7024 | CONTRACTUAL SVCS | 12.34 |
| 100-100-160-7046 | COMMUNICATION SERV... | 26.71 |
| 100-100-170-6048 | TRAINING/CONFERENCE... | 429.44 |
| 100-100-170-7024 | CONTRACTUAL SERVICES | 12.34 |
| 100-120-240-6048 | TRAINING/CONFERENCE... | 82.00 |
| 100-120-240-7046 | COMMUNICATION SERV... | 53.44 |
| 100-120-240-7804 | LEGAL SERVICES | 1,237.98 |
| 100-120-250-6010 | COMMUNITY RELATION... | 500.00 |
| 100-120-250-6020 | IT - COMPUTERS AND E... | 46.24 |
| 100-120-250-6040 | UNIFORMS/CLOTHING | 487.99 |
| 100-120-250-6604 | VEHICLE REPAIR/MAINT | 1,044.14 |
| 100-120-250-7024 | CONTRACTUAL SERVICES | 1,131.41 |
| 100-120-250-7046 | COMMUNICATION SERV... | 356.26 |
| 100-130-330-7024 | CONTRACTUAL SERVICES | 641.24 |
| 100-130-350-6006 | IRRIGATION MAINT/REP... | 291.51 |
| 100-130-350-7024 | CONTRACTUAL SERVICES | 168.76 |
| 100-130-350-7046 | COMMUNICATION SERV... | 193.69 |
| 100-130-360-6010 | COMMUNITY RELATION... | 150.00 |
| 100-130-360-7046 | COMMUNICATION SERV... | 89.07 |
| 100-140-440-6004 | CHEMICALS | 365.00 |
| 100-140-440-6006 | IRRIGATION MAINT/REP... | 293.08 |
| 100-140-440-7022 | MOWING SERVICES | 770.36 |
| 100-140-440-8010 | PUBLIC GROUNDS IMPR... | 1,750.00 |

Account Summary

| Account Number | Account Name | Payment Amount |
|---------------------|--------------------------|-------------------|
| 100-150-510-6040 | UNIFORMS/CLOTHING | 454.56 |
| 100-150-510-6602 | VEH/EQUIP REPAIRS & ... | 615.88 |
| 100-150-510-6604 | VEHICLE REPAIR/MAINT | 12.51 |
| 100-150-510-7024 | CONTRACTUAL SERVICES | 123.82 |
| 100-150-510-7046 | COMMUNICATION SERV... | 63.60 |
| 100-150-510-8000 | VEH/EQUIP LEASE/PURC... | 13,199.00 |
| 100-160-610-6028 | PUBLICATIONS/PRINTING | 478.72 |
| 100-160-610-7024 | CONTRACTUAL SERVICES | 67.38 |
| 100-160-620-7024 | CONTRACTUAL SERVICES | 67.34 |
| 100-160-620-7046 | COMMUNICATION SERV... | 89.07 |
| 100-190-910-7022 | MOWING SERVICES | 364.24 |
| 200-000-000-2048 | MEDICAL INS PREMIUMS... | 2,600.77 |
| 200-000-000-2054 | VISION INS PAYABLE | 17.23 |
| 200-210-200-6040 | UNIFORMS/CLOTHING | 252.63 |
| 200-210-200-6604 | VEHICLE REPAIR/MAINT | 65.85 |
| 200-210-200-7024 | CONTRACTUAL SERVICES | 116.00 |
| 200-210-200-7046 | COMMUNICATION SERV... | 63.60 |
| 200-210-200-8014 | STREET IMPROVEMENTS | 1,043.90 |
| 315-315-315-8000 | VEH/EQUIP LEASE/PURC... | 48,995.00 |
| 320-320-320-8862 | INSPECTION - PAVING | 38,969.02 |
| 320-320-320-8880 | CONSTRUCTION - WATER | 27,218.25 |
| 320-320-320-8882 | CONSTRUCTION - PAVING | 151,507.35 |
| 320-320-320-8892 | GEOTECH SERVICES | 572.70 |
| 355-355-355-8024 | SIDEWALK PROJECTS | 9,556.00 |
| 520-000-000-2048 | MEDICAL INS PREMIUMS... | 2,951.02 |
| 520-000-000-2054 | VISION INS PAYABLE | 25.42 |
| 520-000-000-2056 | DENTAL INS PAYABLE | 133.79 |
| 520-210-520-6000 | AGRICULT/HORTICULT S... | 22.50 |
| 520-210-520-6026 | POSTAGE | 211.20 |
| 520-210-520-6040 | UNIFORMS/CLOTHING | 842.63 |
| 520-210-520-6500 | WATER SYSTEM SUPPLIES | 5,697.70 |
| 520-210-520-6604 | VEHICLE REPAIR/MAINT | 65.85 |
| 520-210-520-6802 | WATER SYSTEM MAINT/... | 17,615.00 |
| 520-210-520-7000 | CREDIT CARD PROCESSI... | 8,682.27 |
| 520-210-520-7024 | CONTRACTUAL SERVICES | 127.72 |
| 520-210-520-7046 | COMMUNICATION SERV... | 230.15 |
| 520-210-520-7058 | WATER PURCHASED | 690.00 |
| 520-210-520-7060 | WATER TREATMENT OP... | 2,820.00 |
| 520-210-520-7804 | LEGAL SERVICES | 330.00 |
| 530-000-000-2048 | MEDICAL INS PREMIUMS... | 4,775.82 |
| 530-000-000-2054 | VISION INS PAYABLE | 44.00 |
| 530-000-000-2056 | DENTAL INS PAYABLE | 439.63 |
| 530-210-530-6040 | UNIFORMS/CLOTHING | 467.23 |
| 530-210-530-6604 | VEHICLE REPAIR/MAINT | 65.85 |
| 530-210-530-7000 | CREDIT CARD PROCESSI... | 8,682.27 |
| 530-210-530-7024 | CONTRACTUAL SERVICES | 127.72 |
| 530-210-530-7046 | COMMUNICATION SERV... | 230.14 |
| 530-210-530-7052 | SEWER TREATMENT OP... | 2,640.00 |
| 530-210-530-7804 | LEGAL SERVICES | 330.00 |
| 540-540-540-7042 | SOLID WASTE SERVICES ... | 34,704.28 |
| 540-540-540-7044 | RECYCLING SERVICES | 12,807.72 |
| 550-550-550-7024 | CONTRACTUAL SERVICES | 790.00 |
| Grand Total: | | 471,661.63 |

Project Account Summary

| Project Account Key | Payment Amount |
|---------------------|----------------|
| **None** | 253,394.31 |
| 002-8862 | 38,969.02 |

Project Account Summary

| Project Account Key | Payment Amount |
|---------------------|----------------|
| 002-8892 | 572.70 |
| 009-8882 | 151,507.35 |
| 012-8880 | 27,218.25 |
| | <hr/> |
| Grand Total: | 471,661.63 |

EXHIBIT C

(Published in *The Wichita Eagle*, on September 20, 2024)

NOTICE OF PUBLIC HEARING

TO: RESIDENTS OF THE CITY OF BEL AIRE, KANSAS

You and each of you are hereby notified that the Governing Body of the City of Bel Aire, Kansas (the "City") will meet for the purpose of holding a public hearing, as provided by K.S.A. 12-6a01 *et seq.* at City Hall, 7651 E. Central Park Avenue, Bel Aire, Kansas 67226 in the City, on October 1, 2024, at 7:00 p.m., or as soon thereafter as may be heard. Said public hearing is for the purpose of hearing any and all oral or written objections to proposed assessments in connection with the following described improvements:

**Project No. 1 – Chapel Landing 3rd Addition Phase 1
Water Improvements--Authorized by Resolution No. R-17-12**

Construction of a water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appurtenances.

Property Description:

Lots 1 through 15, Block A; and Lots 38 through 43, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$119,111.52 and \$4,893 in benefit fees.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

**Project No. 2 – Chapel Landing 3rd Addition Phase 1
Paving Improvements--Authorized by Resolution No. R-17-14**

Pavement on Nolen and Colburn from the south line of 53rd St. N. south, east, and north to the north line of Lot 15, Block A.

Property Description:

Lots 1 through 15, Block A; and Lots 38 through 43, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$453,163.22

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 3 – Chapel Landing 3rd Addition Phase 2
Water Improvements--Authorized by Resolution No. R-17-13

Construction of a water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appurtenances, said water distribution system to connect to an existing water main.

Property Description:

Lots 16 through 37, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$126,469.11 and \$5,126 in benefit fees.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 4 – Chapel Landing 3rd Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-17-15

Pavement on Colburn from the south line of Lot 16, Block A, north to the south line of 53rd St. N. (including the Emergency Access) and on Colburn Ct. from the west line of Colburn west to and including the cul-de-sac.

Property Description:

Lots 16 through 37, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$266,878.93

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 5 – Villas at Prestwick Addition Phase 2
Drainage Improvements--Authorized by Resolution No. R-18-06

A drainage system in accordance with City standards and plans and specifications prepared or approved by the City Engineer.

Property Description:

Lots 8 through 20, Block 1, Villas at Prestwick Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$206,128.56

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 6 – Villas at Prestwick Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-18-08

Pavement on Jasmine Street from the south edge of Central Park Avenue to a cul-de-sac approximately 915 feet south; paving on three segments of Jasmine Court from the east edge of Jasmine Street to a point approximately 176 feet east between Lots 15 and 16, Block 1; Lots 17 and 18, Block 1; and Lots 19 and 20,

Block 1; Sidewalk along the west side of Jasmine Street from the south edge of Central Park Avenue to the northeast corner of Lot 14, Block 1.

Property Description:

Lots 8 through 20, Block 1, Villas at Prestwick Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$486,352.92

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 7 – Villas at Prestwick Addition Phase 2

Sewer Improvements--Authorized by Resolution No. R-18-10

A lateral sanitary in accordance with City standards and plans and specifications.

Property Description:

Lots 8 through 20, Block 1, Villas at Prestwick Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$244,543.09

100% to be assessed against the Improvement District and 0% to be paid by the City-at large.

Project No. 8 – Villas at Prestwick Addition Phase 2

Water Improvements--Authorized by Resolution No. R-18-12

A water distribution system including necessary water mains, pipes, valves, hydrants, and appurtenances.

Property Description:

Lots 8 through 20, Block 1, Villas at Prestwick Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$101,296.13

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 9 – Central Park 3rd Addition Phase 3

Paving Improvements--Authorized by Resolution No. R-20-20

Construction of pavement on Pheasant Ridge St. and Pheasant Ridge Cir. from the west line of Lot 32, Block A, east to and including the cul-de-sac; on Pheasant Ridge Ct. from the south line of Pheasant Ridge Cir., south to and including the cul-de-sac; and on Cambridge St. from the south line of Pheasant Ridge St., south to the south line of the plat.

Property Description:

Lots 32 through 58, Block A; and Lots 16 through 24, Block B; Central Park 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$383,499.36

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

**Project No. 10 – Central Park 3rd Addition Phase 3
Sewer Improvements--Authorized by Resolution No. R-20-21**

A lateral sanitary sewer, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 32 through 58, Block A, Central Park 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$167,313.01

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

**Project No. 11 – Central Park 3rd Addition Phase 3
Drainage Improvements--Authorized by Resolution No. R-20-22**

Construction of a storm water drainage system, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 32 through 58, Block A; and Lots 16 through 24, Block B; Central Park 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$265,126.47

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

**Project No. 12 – Central Park 3rd Addition Phase 3
Water Improvements--Authorized by Resolution No. R-20-23**

Construction of a water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appurtenances.

Property Description:

Lots 32 through 58, Block A; and Lots 16 through 24, Block B; Central Park 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$90,346.08

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

**Project No. 13 – Central Park 3rd Addition Phase 3
Water Improvements--Authorized by Resolution No. R-20-24**

Improvements along the north side of Central Park Avenue and the west side of Prestwick Avenue from the south line of Lot 1, Block A, Central Park 3rd Addition to the north line of Lot 40, Block A, Central Park 3rd Addition, including landscaping and drainage features.

Property Description:

Lots 15 through 28, Block A, Lots 30 through 58, Block A; Lots 13 through 15, Block B; Lots 22 through 24, Block B, Lots 4 through 8, and Lots 10 and 11, Block C; and lots 16 through 21, Block B, Central Park 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$88,578.81

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 14 - Skyview at Block 49 Phase 1**Paving and Sidewalk Improvements--Authorized by Resolution Nos. R-21-03 and R-21-05**

Pavement on CYPRESS from the south line of Skyview at Block 49 to the north line of said Addition; SUMMERSIDE PLACE from the south line of Lot 24, Block 1 to the east line of Lot 1, Block 5; HONEYLOCUST from the south line of Lot 24, Block 1 to the intersection with Honeylocust Court; JOSHUA from the intersection with Honeylocust Court to the east line of Lot 34, Block 4; HONEYLOCUST COURT from the north line of Honeylocust to and including the cul-de-sac.

A 5' wide sidewalk on the east side of Cypress from the south line Skyview at Block 49 to the north line of said Addition; the east side of Honeylocust from the west line of Summerside Place to the intersection of Honeylocust Court; the south side of Joshua from the east line of Honeylocust to the east line of Lot 34, Block 4; the north side of Summerside place from the east line of Honeylocust to the east line of Lot 28, Block 4.

Property Description:

Lots 1 through 28, Block 1; Lots 1 through 14, Block 2; Lots 21 through 23, Block 3; Lots 28 through 34, Block 4; and Lot 1, Block 5, Skyview at Block 49 Addition; and Lots 1 through 3, Block A, Skyview at Block 49 4th Addition, all in and to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$902,715.65

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 15 - -Skyview at Block 49 Phase 1**Drainage Improvements--Authorized by Resolution No. R-21-06**

Storm sewer pipe and mass grading, according to plans and specifications to be furnished by the City Engineer of the City of Bel Aire, Kansas.

Property Description:

Lots 1 through 28, Block 1; Lots 1 through 14, Block 2; Lots 21 through 23, Block 3; Lots 28 through 34, Block 4; and Lot 1, Block 5, Skyview at Block 49 Addition; Lots 1 through 3, Block A, Skyview at Block 49 4th Addition; and Lots 1 and 2, Block A; Lots 1 through 27, Block B, Lots 1 through 36, Block C; and Lots 1 through 25, Block D, Skyview at Block 49 2nd Addition, all in and to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$663,324.50

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 16 - Skyview at Block 49 Phase 1**Water Improvements--Authorized by Resolution No. R-21-39**

A water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appurtenances.

Property Description:

Lots 1 through 28, Block 1; Lots 1 through 14, Block 2; Lots 21 through 23, Block 3; Lots 28 through 34, Block 4; and Lot 1, Block 5, Skyview at Block 49 Addition; and Lots 1 through 3, Block A, Skyview at Block 49 4th Addition, all in and to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$321,337.70 and \$35,100 in benefit fees

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 17 - Skyview at Block 49 Phase 1**Sewer Improvements--Authorized by Resolution No. R-21-32**

Lateral sanitary, to be constructed with plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 28, Block 1; Lots 1 through 14, Block 2; Lots 21 through 23, Block 3; Lots 28 through 34, Block 4; and Lot 1, Block 5, Skyview at Block 49 Addition; Lots 1 through 3, Block A, Skyview at Block 49 4th Addition; Lots 10 and 27, Block B; Lots 1, 18, 19, and 36, Block C; and Lot 25, Block D, Skyview at Block 49 2nd Addition, all in and to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$383,440.10 and \$54,300 in benefit fees

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 18 - Chapel Landing 3rd Addition**Sanitary Sewer Improvements--Authorized by Resolution No. R-21-13**

Lateral sanitary, to be constructed with plans and specifications to be furnished by the City Engineer, said lateral sanitary sewer to connect to an existing sanitary sewer main.

Property Description:

Lots 1 through 43, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$816,700.56 and \$10,000 in benefit fees

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 19 - Chapel Landing 3rd Addition**Drainage Improvements--Authorized by Resolution No. R-21-14**

Storm water drain improvements, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 43, Block A, Chapel Landing 3rd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$540,470.42

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 20 - Chapel Landing 4th Addition Phase 1

Paving and Sidewalk Improvements--Authorized by Resolution Nos. R-21-15 and R-21-17

Pavement on HILLCREST from the south line of Chapel Landing 4th to the north line of Lot 6, Block 2 of said Addition and CENTRAL PARK AVENUE from the west line of Hillcrest to the east line of Lot 1, Block 1 of said Addition.

A 5' wide sidewalk from the south line of Chapel Landing 4th to the north line of Lot 6, Block 2 of said Addition and the north side of Central Park Avenue from the west line of Hillcrest to the east line of Lot 1, Block 1 of said Addition; according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 20 and 21, Block K, Chapel Landing Addition; and Lots 1 through 6, Block 1; and Lots 1 through 6, Block 2, Chapel Landing 4th Addition; to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$344,215.82

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 21 - Chapel Landing 4th Addition Phase 1

Sewer Improvements--Authorized by Resolution No. R-21-37

Lateral sanitary, to be constructed with plans and specifications to be furnished by the City Engineer, said lateral sanitary sewer to connect to an existing sanitary sewer main.

Property Description:

Lots 6 through 10, Block C, and Lots 20 and 21, Block K, Chapel Landing Addition; and Lots 1 through 6, Block 2, Chapel Landing 4th Addition; to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$113,365.76 and \$10,000 in benefit fees

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 22 - Chapel Landing 4th Addition Phase 1

Water Improvements--Authorized by Resolution No. R-21-38

A water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appurtenances to serve the area described below, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 20 and 21, Block K, Chapel Landing Addition; and Lots 1 through 6, Block 2, Chapel Landing 4th Addition; to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$103,782.34 and \$6,400 in benefit fees

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 23 - Rock Spring 4th Addition Phase 1**Paving Improvements--Authorized by Resolution No. R-21-20**

Pavement on CHRIS from the West line of Rock Spring 4th Addition to the West Line of Webb Road; CHRIS COURT from the South line of Chris to and including the cul-de-sac; FOX POINTE COURT from the South Line of Chris to and including the cul-de-sac; and PLUMTHICKET STREET from the South Line of Chris to the South line of Rock Spring 4th Addition.

Property Description:

Lots 1 through 9, Block 1; Lots 2 through 9, Block 2; and Lots 1 through 37, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$937,852.58

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 24 - -Rock Spring 4th Addition Phase 1**Sewer Improvements--Authorized by Resolution No. R-21-21**

A lateral sanitary sewer, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 9, Block 1; Lots 1 through 9, Block 2; and Lots 1 through 37, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$394,507.43

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 25 - Rock Spring 4th Addition Phase 1**Drainage Improvements--Authorized by Resolution No. R-21-22**

A stormwater pond, swales and mass grading, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 9, Block 1; Lots 1 through 9, Block 2; and Lots 1 through 37, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$640,453.91

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 26 - -Rock Spring 4th Addition Phase 1
Water Improvements--Authorized by Resolution No. R-21-23

A water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appmtenances, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 9, Block 1; Lots 2 through 9, Block 2; and Lots 1 through 37, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$325,454.48 and \$30,510 in benefit fees.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 27 - -Rock Spring 3rd Addition Phase 2
Water Improvements--Authorized by Resolution No. R-21-19

A water distribution system, including necessary water mains, pipes, valves, hydrants, meters and appmtenances, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 21 through 25, Block 1; Lots 1 through 18, Block 2; and Lots 1 through 6, Block 3, Rock Spring 3rd Addition; and Lot 38, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$146,005.84and \$17,450 in benefit fees.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 28 - Rock Spring 3rd Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-21-41

Pavement on CHRIS from the west line of Rock Spring 3rd Addition to the west line of Toben Drive; TOBEN DRIVE from the north line of Lot 8, Block 1 Rock Spring 3rd Addition to the south line of said Addition; TOBEN COURT from west line of Toben to and including the cul-de-sac.

Property Description:

Lots 21 through 25, Block 1; Lots 1 through 18, Block 2; and Lots 1 through 6, Block 3, Rock Spring 3rd Addition; and Lot 38, Block 3, Rock Spring 4th Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$735,784.83.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

Project No. 29 - Rock Spring 3rd Addition Phase 2
Sewer Improvements--Authorized by Resolution No. R-21-29

A lateral sanitary sewer, according to plans and specifications to be furnished by the City Engineer.

Property Description:

Lots 1 through 18, Block 2; and Lots 1 through 6, Block 3, Rock Spring 3rd Addition; Lot 38, Block 3, Rock Spring 4th Addition; and Lots 1 through 9, Block B, Skyview at Block 49 2nd Addition, to the City of Bel Aire, Sedgwick County, Kansas.

Cost of Improvements:

\$212,696.75.

100% to be assessed against the Improvement District and 0% to be paid by the City-at-large.

McClatchy

The Beaufort Gazette
The Belleville News-Democrat
Bellingham Herald
Centre Daily Times
Sun Herald
Idaho Statesman
Bradenton Herald
The Charlotte Observer
The State
Ledger-Enquirer

Durham | The Herald-Sun
Fort Worth Star-Telegram
The Fresno Bee
The Island Packet
The Kansas City Star
Lexington Herald-Leader
The Telegraph - Macon
Merced Sun-Star
Miami Herald
El Nuevo Herald

The Modesto Bee
The Sun-News - Myrtle Beach
Raleigh News & Observer
Rock Hill | The Herald
The Sacramento Bee
San Luis Obispo Tribune
Tacoma | The News Tribune
Tri-City Herald
The Wichita Eagle
The Olympian

AFFIDAVIT OF PUBLICATION

| Account # | Order Number | Identification | Order PO | Amount | Cols | Depth |
|-----------|--------------|----------------|------------------|----------|------|----------|
| 14909 | 594173 | Legals | City of Bel Aire | \$633.45 | 3 | 20.50 in |

Attention:

GILMORE AND BELL
2405 GRAND BLVD STE 1100
KANSAS CITY, MO 64108

gbaccounting@gilmorebell.com

Copy of ad content
is on the next page

In The STATE OF KANSAS
In and for the County of Sedgwick

1 insertion(s) published on:
09/20/24

STATE OF KANSAS)

SS

County of Sedgwick)

Mary Castro, of lawful age, being first duly sworn, deposeth and saith: That he is Record Clerk of The Wichita Eagle, a daily newspaper published in the City of Wichita, County of Sedgwick, State of Kansas, and having a general paid circulation on a daily basis in said County, which said newspaper has been continuously and uninterruptedly published in said County for more than one year prior to the first publication of the notice hereinafter mentioned, and which said newspaper has been entered as second class mail matter at the United States Post Office in Wichita, Kansas, and which said newspaper is not a trade, religious or fraternal publication and that a notice of a true copy is hereto attached was published in the regular and entire Morning issue of said The Wichita Eagle from 09/20/2024 to 09/20/2024.

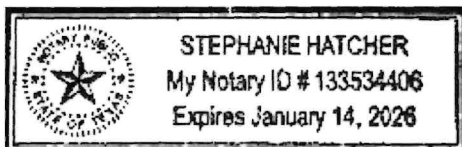
Mary Castro

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

DATED: 09/20/2024

Stephanie Hatcher

Notary Public in and for the state of Texas, residing in
Dallas County



Extra charge for lost or duplicate affidavits.
Legal document please do not destroy!

[illegible]

CERTIFICATE OF MAILING

STATE OF KANSAS)
) ss:
 COUNTY OF SEDGWICK)

The undersigned, City Clerk of the City of Bel Aire, Kansas (the "City"), does hereby certify that on September 20, 2024, I caused to be mailed to each and all of the owners of property affected thereby, at their last known post office address, a Notice of Public Hearing and Statement of the Cost Proposed to be Assessed in connection with certain improvements in the City.

A sample copy of the form of such Notice of Hearing and Statement of Cost Proposed to be Assessed is attached hereto.

WITNESS my hand and seal as of September 20, 2024.

(Seal)





Melissa Krehbiel, City Clerk

[attach sample copy of form]

EXHIBIT D

**NOTICE OF HEARING
AND
STATEMENT OF COST PROPOSED TO BE ASSESSED**

September 17, 2024
Bel Aire, Kansas

{NAME}
{ADDRESS}
{CITY} {STATE}, {ZIP}:

You are hereby notified, as owner of record of the property described as:

{PIN Number}, {SUBDIVISION NAME AND ADDITION}, {BLOCK AND LOT}

that there is proposed to be assessed against said property, certain amounts for the costs of certain internal improvements (the "Improvements") heretofore authorized by the Governing Body of the City of Bel Aire, Kansas (the "City"). The description of the Improvements, the resolution number authorizing the same and the proposed amount of assessment are identified as:

{RESOLUTION}: {IMPROVEMENT NAME} {COST TO BE ASSESSED}
(REPEAT FOR EACH PROJECT BEING ASSESSED FOR THIS PROPERTY).

You are hereby further notified that the Governing Body of the City will meet on October 1, 2024, at 7:00 p.m., at City Hall, 7651 E. Central Park Avenue, Bel Aire, Kansas 67226, in the City, for the purpose of considering the proposed assessments.

The proposed Assessment Roll is on file in my office for public inspection. ***WRITTEN OR ORAL OBJECTIONS TO THE PROPOSED ASSESSMENTS WILL BE CONSIDERED AT SAID PUBLIC HEARING.***

At the conclusion of the public hearing, the governing body of the City will consider an ordinance levying such special assessments. A subsequent Notice of Assessment will be mailed to affected property owners at that time indicating that each property owner may pay the assessment in whole or in part within fifteen (15) days of the date of such notice. Any amount not so paid within 15 days will be collected in 20 annual installments, together with interest thereon at the rate obtained by the City for its general obligation bonds issued to finance the costs of the Improvements.

Melissa Krehbiel, City Clerk

Gilmore & Bell, P.C.
09/24/2024

**EXCERPT OF MINUTES OF A MEETING
OF THE GOVERNING BODY OF
THE CITY OF BEL AIRE, KANSAS
HELD ON OCTOBER 1, 2024**

The governing body met in regular session at the usual meeting place in the City, at 7:00 p.m., the following members being present and participating, to-wit:

Absent:

The Mayor declared that a quorum was present and called the meeting to order.

* * * * *
(Other Proceedings)

The Mayor opened a public hearing for the purpose of receiving written or oral objections to and considering proposed assessments for the costs of certain internal improvements authorized by the governing body. It was determined by the governing body that notice of the public hearing was duly published and mailed in accordance with K.S.A. 12-6a01 *et seq.* Thereafter, the Mayor adjourned the public hearing.

Thereupon, an Ordinance was presented entitled:

AN ORDINANCE LEVYING SPECIAL ASSESSMENTS AND BENEFIT FEES ON CERTAIN PROPERTY TO PAY COSTS OF INTERNAL IMPROVEMENTS IN THE CITY OF BEL AIRE, KANSAS, AS AUTHORIZED BY RESOLUTION NOS. R-17-12, R-17-14, R-17-13, R-17-15, R-18-06, R-18-08, R-18-10, R-18-12, R-20-20, R-20-21, R-20-22, R-20-23, R-20-24, R-21-03, R-21-05, R-21-06, R-21-39, R-21-32, R-21-13, R-21-14, R-21-15, R-21-17, R-21-37, R-21-38, R-21-20, R-21-21, R-21-22, R-21-23, R-21-19, R-21-41, AND R-21-29; AND PROVIDING FOR THE COLLECTION OF SUCH SPECIAL ASSESSMENTS AND BENEFIT FEES.

The Ordinance was considered and discussed; and on motion of Councilmember _____ seconded by Councilmember _____, the Ordinance as a whole was passed by the following roll call vote:

Yea: _____

Nay: _____

Thereupon, a majority of the members of the governing body having voted in favor of the passage of the Ordinance, it was given No. ____, was approved and signed by the Mayor and attested by the City Clerk; and the City Clerk was ordered to cause the Ordinance or a summary thereof to be published one time in the official City newspaper as required by law, and to cause to be mailed a Notice of Assessment to each and all of the known property owners affected thereby on the same date that the Ordinance or summary thereof is published.

CERTIFICATE

I hereby certify that the foregoing Excerpt of Minutes is a true and correct excerpt of the proceedings of the governing body of the City of Bel Aire, Kansas, held on the date stated therein, and that the official minutes of such proceedings are on file in my office.

(SEAL)

Clerk

Gilmore & Bell, P.C.
09/24/2024

(Published in the *Ark Valley News* on October 3, 2024)

ORDINANCE NO. []

AN ORDINANCE LEVYING SPECIAL ASSESSMENTS AND BENEFIT FEES ON CERTAIN PROPERTY TO PAY COSTS OF INTERNAL IMPROVEMENTS IN THE CITY OF BEL AIRE, KANSAS, AS AUTHORIZED BY RESOLUTION NOS. R-17-12, R-17-14, R-17-13, R-17-15, R-18-06, R-18-08, R-18-10, R-18-12, R-20-20, R-20-21, R-20-22, R-20-23, R-20-24, R-21-03, R-21-05, R-21-06, R-21-39, R-21-32, R-21-13, R-21-14, R-21-15, R-21-17, R-21-37, R-21-38, R-21-20, R-21-21, R-21-22, R-21-23, R-21-19, R-21-41, AND R-21-29; AND PROVIDING FOR THE COLLECTION OF SUCH SPECIAL ASSESSMENTS AND BENEFIT FEES.

WHEREAS, the governing body of the City of Bel Aire, Kansas (the "City") has heretofore authorized certain improvements (the "Improvements") to be constructed pursuant to K.S.A. 12-6a01 *et seq.* (the "Act"); and

WHEREAS, the governing body has heretofore conducted a public hearing in accordance with the Act and desires to levy assessments and benefit fees on certain property benefited by the construction of the Improvements and certain other prior improvements, all pursuant to the Act, K.S.A. 12-6a19 and Article 12, Section 5 of the Kansas Constitution.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF BEL AIRE, KANSAS:

Section 1. Levy of Assessments. For the purpose of paying the costs of the following described Improvements, and certain other prior improvements referenced in applicable resolutions below, there are hereby levied and assessed the amounts, including benefit fees (with such clerical or administrative amendments thereto as may be approved by the City Attorney), against the property described on *Exhibit A* attached hereto:

**Project No. 1 – Chapel Landing 3rd Addition Phase 1
Water Improvements--Authorized by Resolution No. R-17-12**

**Project No. 2 – Chapel Landing 3rd Addition Phase 1
Paving Improvements--Authorized by Resolution No. R-17-14**

**Project No. 3 – Chapel Landing 3rd Addition Phase 2
Water Improvements--Authorized by Resolution No. R-17-13**

**Project No. 4 – Chapel Landing 3rd Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-17-15**

**Project No. 5 – Villas at Prestwick Addition Phase 2
Drainage Improvements--Authorized by Resolution No. R-18-06**

**Project No. 6 – Villas at Prestwick Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-18-08**

**Project No. 7 – Villas at Prestwick Addition Phase 2
Sewer Improvements--Authorized by Resolution No. R-18-10**

**Project No. 8 – Villas at Prestwick Addition Phase 2
Water Improvements--Authorized by Resolution No. R-18-12**

**Project No. 9 – Central Park 3rd Addition Phase 3
Paving Improvements--Authorized by Resolution No. R-20-20**

**Project No. 10 – Central Park 3rd Addition Phase 3
Sewer Improvements--Authorized by Resolution No. R-20-21**

**Project No. 11 – Central Park 3rd Addition Phase 3
Drainage Improvements--Authorized by Resolution No. R-20-22**

**Project No. 12 – Central Park 3rd Addition Phase 3
Water Improvements--Authorized by Resolution No. R-20-23**

**Project No. 13 – Central Park 3rd Addition Phase 3
Water Improvements--Authorized by Resolution No. R-20-24**

**Project No. 14 - Skyview at Block 49 Phase 1
Paving and Sidewalk Improvements--Authorized by Resolution Nos. R-21-03 and R-21-05**

**Project No. 15 - -Skyview at Block 49 Phase 1
Drainage Improvements--Authorized by Resolution No. R-21-06**

**Project No. 16 - Skyview at Block 49 Phase 1
Water Improvements--Authorized by Resolution No. R-21-39**

**Project No. 17 - Skyview at Block 49 Phase 1
Sewer Improvements--Authorized by Resolution No. R-21-32**

**Project No. 18 - Chapel Landing 3rd Addition
Sanitary Sewer Improvements--Authorized by Resolution No. R-21-13**

**Project No. 19 - Chapel Landing 3rd Addition
Drainage Improvements--Authorized by Resolution No. R-21-14**

**Project No. 20 - Chapel Landing 4th Addition Phase 1
Paving and Sidewalk Improvements--Authorized by Resolution Nos. R-21-15 and R-21-17**

**Project No. 21 - Chapel Landing 4th Addition Phase 1
Sewer Improvements--Authorized by Resolution No. R-21-37**

Project No. 22 - Chapel Landing 4th Addition Phase 1

Water Improvements--Authorized by Resolution No. R-21-38

Project No. 23 - Rock Spring 4th Addition Phase 1
Paving Improvements--Authorized by Resolution No. R-21-20

Project No. 24 - -Rock Spring 4th Addition Phase 1
Sewer Improvements--Authorized by Resolution No. R-21-21

Project No. 25 - Rock Spring 4th Addition Phase 1
Drainage Improvements--Authorized by Resolution No. R-21-22

Project No. 26 - -Rock Spring 4th Addition Phase 1
Water Improvements--Authorized by Resolution No. R-21-23

Project No. 27 - -Rock Spring 3rd Addition Phase 2
Water Improvements--Authorized by Resolution No. R-21-19

Project No. 28 - Rock Spring 3rd Addition Phase 2
Paving Improvements--Authorized by Resolution No. R-21-41

Project No. 29 - Rock Spring 3rd Addition Phase 2
Sewer Improvements--Authorized by Resolution No. R-21-29

Section 2. Payment of Assessments. The amounts so levied and assessed in *Section 1* of this Ordinance shall be due and payable from and after the date of publication of this Ordinance. Such amounts may be paid in whole or in part within fifteen (15) days from the date of this Ordinance.

Section 3. Notification. The City Clerk shall notify the owners of the properties described in *Exhibit A* attached hereto insofar as known to said City Clerk, of the amounts of their respective assessments and benefit fees; and, said notice shall further state that unless such assessments are paid within fifteen (15) days from the date of this Ordinance, bonds will be issued therefor, and the amount of such assessment will be collected in installments with interest.

Section 4. Certification. Any amount of special assessments or benefit fees not paid within the time prescribed in *Section 2* hereof shall be certified by the City Clerk to the Clerk of Sedgwick County, Kansas, in the same manner and at the same time as other taxes are certified and will be collected in twenty (20) annual installments, together with interest on such amounts at a rate not exceeding the maximum rate therefor as prescribed by the Act. Interest on the assessed amount remaining unpaid between the effective date of this Ordinance and the date the first installment is payable, but not less than the amount of interest due during the coming year on any outstanding bonds issued to finance the Improvements, shall be added to the first installment. The interest for one year on all unpaid installments shall be added to each subsequent installment until paid.

Section 5. Effective Date. This Ordinance shall take effect and be in force from and after its passage, approval and publication once in the official City newspaper.

[BALANCE OF THIS PAGE INTENTIONALLY LEFT BLANK]

PASSED by the governing body of the City of Bel Aire, Kansas, on October 1, 2024, and signed and **APPROVED** by the Mayor.

(SEAL)

Mayor

ATTEST:

City Clerk

CERTIFICATE

I hereby certify that the foregoing is a true and correct copy of the original ordinance; that said Ordinance was passed on October 1, 2024; that the record of the final vote on its passage is found on page ____ of journal ____; and that the Ordinance or a summary thereof was published in the *Ark Valley News* on October 3, 2024.

DATED: October 1, 2024.

City Clerk

EXHIBIT A

| Legal Description (Chapel Landing 3rd Addition Phase 1 and Phase 2) | Water Res. R-17-12 | Paving Res. R-17-14 | Water Res. R-17-13 | Paving Res. R-17-15 |
|---|-------------------------------|--------------------------------|-------------------------------|--------------------------------|
| Block A Lot 1 | \$5,904.98 | \$21,579.20 | | |
| Block A Lot 2 | 5,904.98 | 21,579.20 | | |
| Block A Lot 3 | 5,904.98 | 21,579.20 | | |
| Block A Lot 4 | 5,904.98 | 21,579.20 | | |
| Block A Lot 5 | 5,904.98 | 21,579.20 | | |
| Block A Lot 6 | 5,904.98 | 21,579.20 | | |
| Block A Lot 7 | 5,904.98 | 21,579.20 | | |
| Block A Lot 8 | 5,904.98 | 21,579.20 | | |
| Block A Lot 9 | 5,904.98 | 21,579.20 | | |
| Block A Lot 10 | 5,904.98 | 21,579.20 | | |
| Block A Lot 11 | 5,904.98 | 21,579.20 | | |
| Block A Lot 12 | 5,904.98 | 21,579.20 | | |
| Block A Lot 13 | 5,904.98 | 21,579.20 | | |
| Block A Lot 14 | 5,904.98 | 21,579.20 | | |
| Block A Lot 15 | 5,904.98 | 21,579.20 | | |
| Block A Lot 16 | | | \$5,981.60 | \$12,130.86 |
| Block A Lot 17 | | | 5,981.60 | 12,130.86 |
| Block A Lot 18 | | | 5,981.60 | 12,130.86 |
| Block A Lot 19 | | | 5,981.60 | 12,130.86 |
| Block A Lot 20 | | | 5,981.60 | 12,130.86 |
| Block A Lot 21 | | | 5,981.60 | 12,130.86 |
| Block A Lot 22 | | | 5,981.60 | 12,130.86 |
| Block A Lot 23 | | | 5,981.60 | 12,130.86 |
| Block A Lot 24 | | | 5,981.60 | 12,130.86 |

| | | | | |
|----------------|----------|-----------|----------|-----------|
| Block A Lot 25 | | | 5,981.60 | 12,130.86 |
| Block A Lot 26 | | | 5,981.60 | 12,130.86 |
| Block A Lot 27 | | | 5,981.60 | 12,130.86 |
| Block A Lot 28 | | | 5,981.60 | 12,130.86 |
| Block A Lot 29 | | | 5,981.60 | 12,130.86 |
| Block A Lot 30 | | | 5,981.60 | 12,130.86 |
| Block A Lot 31 | | | 5,981.60 | 12,130.86 |
| Block A Lot 32 | | | 5,981.60 | 12,130.86 |
| Block A Lot 33 | | | 5,981.60 | 12,130.86 |
| Block A Lot 34 | | | 5,981.60 | 12,130.86 |
| Block A Lot 35 | | | 5,981.60 | 12,130.86 |
| Block A Lot 36 | | | 5,981.60 | 12,130.86 |
| Block A Lot 37 | | | 5,981.60 | 12,130.86 |
| Block A Lot 38 | 5,904.98 | 21,579.20 | | |
| Block A Lot 39 | 5,904.98 | 21,579.20 | | |
| Block A Lot 40 | 5,904.98 | 21,579.20 | | |
| Block A Lot 41 | 5,904.98 | 21,579.20 | | |
| Block A Lot 42 | 5,904.98 | 21,579.20 | | |
| Block A Lot 43 | 5,904.98 | 21,579.20 | | |

| Legal Description (Villas at Prestwick Addition Phase 2) | Drainage Res. R-18-06 | Paving Res. R-18-08 | Sewer Res. R-18-10 | Water Res. R-18-12 |
|--|--------------------------|------------------------|-----------------------|-----------------------|
| Block 1 Lot 8 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 9 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 10 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 11 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 12 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 13 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 14 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 15 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 16 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 17 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 18 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 19 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |
| Block 1 Lot 20 | 15,856.04 | 37,411.76 | 18,811.01 | 7,792.01 |

| Legal Description (Central Park 3rd Addition Phase 3) | Paving Res. R-20-20 | Sewer Res. R-20-21 | Drainage Res. R-20-22 | Water Res. R-20-23 | Berm Barrier/Drainage Res. R-20-24 |
|---|--------------------------------|-------------------------------|----------------------------------|-------------------------------|---|
| Block A Lot 15 | | | | | 1,302.63 |
| Block A Lot 16 | | | | | 1,302.63 |
| Block A Lot 17 | | | | | 1,302.63 |
| Block A Lot 18 | | | | | 1,302.63 |
| Block A Lot 19 | | | | | 1,302.63 |
| Block A Lot 20 | | | | | 1,302.63 |
| Block A Lot 21 | | | | | 1,302.63 |
| Block A Lot 22 | | | | | 1,302.63 |
| Block A Lot 23 | | | | | 1,302.63 |
| Block A Lot 24 | | | | | 1,302.63 |
| Block A Lot 25 | | | | | 1,302.63 |
| Block A Lot 26 | | | | | 1,302.63 |
| Block A Lot 27 | | | | | 1,302.63 |
| Block A Lot 28 | | | | | 1,302.63 |
| Block A Lot 30 | | | | | 1,302.63 |
| Block A Lot 31 | | | | | 1,302.63 |
| Block A Lot 32 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 33 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 34 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 35 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 36 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 37 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 38 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 39 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 40 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |

| | | | | | |
|----------------|-----------|----------|----------|----------|----------|
| Block A Lot 41 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 42 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 43 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 44 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 45 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 46 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 47 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 48 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 49 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 50 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 51 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 52 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 53 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 54 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 55 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 56 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 57 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block A Lot 58 | 10,652.76 | 6,196.78 | 7,364.62 | 2,509.61 | 1,302.63 |
| Block B Lot 13 | | | | | 1,302.63 |
| Block B Lot 14 | | | | | 1,302.63 |
| Block B Lot 15 | | | | | 1,302.63 |
| Block B Lot 16 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |
| Block B Lot 17 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |
| Block B Lot 18 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |
| Block B Lot 19 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |
| Block B Lot 20 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |
| Block B Lot 21 | 10,652.76 | | 7,364.62 | 2,509.61 | 2,605.26 |

| | | | | | |
|----------------|-----------|--|----------|----------|----------|
| Block B Lot 22 | 10,652.76 | | 7,364.62 | 2,509.61 | 1,302.63 |
| Block B Lot 23 | 10,652.76 | | 7,364.62 | 2,509.61 | 1,302.63 |
| Block B Lot 24 | 10,652.76 | | 7,364.62 | 2,509.61 | 1,302.63 |
| Block C Lot 4 | | | | | 1,302.63 |
| Block C Lot 5 | | | | | 1,302.63 |
| Block C Lot 6 | | | | | 1,302.63 |
| Block C Lot 7 | | | | | 1,302.63 |
| Block C Lot 8 | | | | | 1,302.63 |
| Block C Lot 10 | | | | | 1,302.63 |
| Block C Lot 11 | | | | | 1,302.63 |

| Legal Description (Skyview at Block 49 Addition Phase 1) | Paving/Sidewalk Res. R-21-03 and 21-05 | Drainage Res. R-21-06 | Water Res. R-21-39 | Sewer Res. R-21-32 |
|---|---|----------------------------------|-------------------------------|-------------------------------|
| Block 1 Lot 1 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 2 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 3 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 4 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 5 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 6 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 7 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 8 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 9 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 10 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 11 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 12 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 13 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 14 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 15 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 16 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 17 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 18 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 19 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 20 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 21 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 22 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 23 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 24 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 25 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |

| | | | | |
|----------------|-----------|----------|----------|----------|
| Block 1 Lot 26 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 27 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 1 Lot 28 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 1 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 2 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 3 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 4 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 5 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 6 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 7 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 8 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 9 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 10 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 11 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 12 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 13 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 2 Lot 14 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 3 Lot 21 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 3 Lot 22 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 3 Lot 23 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 28 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 29 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 30 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 31 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 32 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 33 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| Block 4 Lot 34 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |

| | | | | |
|------------------------------------|-----------|----------|----------|----------|
| Block 5 Lot 1 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| 4 th Add Block A Lot 1 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| 4 th Add Block A Lot 2 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| 4 th Add Block A Lot 3 | 16,119.92 | 7,713.08 | 6,364.96 | 6,948.26 |
| 2 nd Add Block A Lot 1 | | 2,571.03 | | |
| 2 nd Add Block A Lot 2 | | 2,571.03 | | |
| 2 nd Add Block B Lot 1 | | 2,571.03 | | |
| 2 nd Add Block B Lot 2 | | 2,571.03 | | |
| 2 nd Add Block B Lot 3 | | 2,571.03 | | |
| 2 nd Add Block B Lot 4 | | 2,571.03 | | |
| 2 nd Add Block B Lot 5 | | 2,571.03 | | |
| 2 nd Add Block B Lot 6 | | 2,571.03 | | |
| 2 nd Add Block B Lot 7 | | 2,571.03 | | |
| 2 nd Add Block B Lot 8 | | 2,571.03 | | |
| 2 nd Add Block B Lot 9 | | 2,571.03 | | |
| 2 nd Add Block B Lot 10 | | 2,571.03 | | 6,948.26 |
| 2 nd Add Block B Lot 11 | | 2,571.03 | | |
| 2 nd Add Block B Lot 12 | | 2,571.03 | | |
| 2 nd Add Block B Lot 13 | | 2,571.03 | | |
| 2 nd Add Block B Lot 14 | | 2,571.03 | | |
| 2 nd Add Block B Lot 15 | | 2,571.03 | | |
| 2 nd Add Block B Lot 16 | | 2,571.03 | | |
| 2 nd Add Block B Lot 17 | | 2,571.03 | | |
| 2 nd Add Block B Lot 18 | | 2,571.03 | | |
| 2 nd Add Block B Lot 19 | | 2,571.03 | | |
| 2 nd Add Block B Lot 20 | | 2,571.03 | | |
| 2 nd Add Block B Lot 21 | | 2,571.03 | | |

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|------------------------|--|----------|--|----------|
| 2nd Add Block B Lot 22 | | 2,571.03 | | |
| 2nd Add Block B Lot 23 | | 2,571.03 | | |
| 2nd Add Block B Lot 24 | | 2,571.03 | | |
| 2nd Add Block B Lot 25 | | 2,571.03 | | |
| 2nd Add Block B Lot 26 | | 2,571.03 | | |
| 2nd Add Block B Lot 27 | | 2,571.03 | | 6,948.26 |
| 2nd Add Block C Lot 1 | | 2,571.03 | | 6,948.26 |
| 2nd Add Block C Lot 2 | | 2,571.03 | | |
| 2nd Add Block C Lot 3 | | 2,571.03 | | |
| 2nd Add Block C Lot 4 | | 2,571.03 | | |
| 2nd Add Block C Lot 5 | | 2,571.03 | | |
| 2nd Add Block C Lot 6 | | 2,571.03 | | |
| 2nd Add Block C Lot 7 | | 2,571.03 | | |
| 2nd Add Block C Lot 8 | | 2,571.03 | | |
| 2nd Add Block C Lot 9 | | 2,571.03 | | |
| 2nd Add Block C Lot 10 | | 2,571.03 | | |
| 2nd Add Block C Lot 11 | | 2,571.03 | | |
| 2nd Add Block C Lot 12 | | 2,571.03 | | |
| 2nd Add Block C Lot 13 | | 2,571.03 | | |
| 2nd Add Block C Lot 14 | | 2,571.03 | | |
| 2nd Add Block C Lot 15 | | 2,571.03 | | |
| 2nd Add Block C Lot 16 | | 2,571.03 | | |
| 2nd Add Block C Lot 17 | | 2,571.03 | | |
| 2nd Add Block C Lot 18 | | 2,571.03 | | 6,948.26 |
| 2nd Add Block C Lot 19 | | 2,571.03 | | 6,948.26 |
| 2nd Add Block C Lot 20 | | 2,571.03 | | |
| 2nd Add Block C Lot 21 | | 2,571.03 | | |

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|------------------------|--|----------|--|----------|
| 2nd Add Block C Lot 22 | | 2,571.03 | | |
| 2nd Add Block C Lot 23 | | 2,571.03 | | |
| 2nd Add Block C Lot 24 | | 2,571.03 | | |
| 2nd Add Block C Lot 25 | | 2,571.03 | | |
| 2nd Add Block C Lot 26 | | 2,571.03 | | |
| 2nd Add Block C Lot 27 | | 2,571.03 | | |
| 2nd Add Block C Lot 28 | | 2,571.03 | | |
| 2nd Add Block C Lot 29 | | 2,571.03 | | |
| 2nd Add Block C Lot 30 | | 2,571.03 | | |
| 2nd Add Block C Lot 31 | | 2,571.03 | | |
| 2nd Add Block C Lot 32 | | 2,571.03 | | |
| 2nd Add Block C Lot 33 | | 2,571.03 | | |
| 2nd Add Block C Lot 34 | | 2,571.03 | | |
| 2nd Add Block C Lot 35 | | 2,571.03 | | |
| 2nd Add Block C Lot 36 | | 2,571.03 | | 6,948.26 |
| 2nd Add Block D Lot 1 | | 2,571.03 | | |
| 2nd Add Block D Lot 2 | | 2,571.03 | | |
| 2nd Add Block D Lot 3 | | 2,571.03 | | |
| 2nd Add Block D Lot 4 | | 2,571.03 | | |
| 2nd Add Block D Lot 5 | | 2,571.03 | | |
| 2nd Add Block D Lot 6 | | 2,571.03 | | |
| 2nd Add Block D Lot 7 | | 2,571.03 | | |
| 2nd Add Block D Lot 8 | | 2,571.03 | | |
| 2nd Add Block D Lot 9 | | 2,571.03 | | |
| 2nd Add Block D Lot 10 | | 2,571.03 | | |
| 2nd Add Block D Lot 11 | | 2,571.03 | | |
| 2nd Add Block D Lot 12 | | 2,571.03 | | |

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|------------------------|--|----------|--|----------|
| 2nd Add Block D Lot 13 | | 2,571.03 | | |
| 2nd Add Block D Lot 14 | | 2,571.03 | | |
| 2nd Add Block D Lot 15 | | 2,571.03 | | |
| 2nd Add Block D Lot 16 | | 2,571.03 | | |
| 2nd Add Block D Lot 17 | | 2,571.03 | | |
| 2nd Add Block D Lot 18 | | 2,571.03 | | |
| 2nd Add Block D Lot 19 | | 2,571.03 | | |
| 2nd Add Block D Lot 20 | | 2,571.03 | | |
| 2nd Add Block D Lot 21 | | 2,571.03 | | |
| 2nd Add Block D Lot 22 | | 2,571.03 | | |
| 2nd Add Block D Lot 23 | | 2,571.03 | | |
| 2nd Add Block D Lot 24 | | 2,571.03 | | |
| 2nd Add Block D Lot 25 | | 2,571.03 | | 6,948.26 |

| Legal Description (Chapel Landing 3rd Addition) | Sewer Res. R-21-13 | Drainage Res. R-21-14 |
|---|-------------------------------|----------------------------------|
| Block A Lot 1 | 19,225.59 | 7,706.33 |
| Block A Lot 2 | 19,225.59 | 7,706.33 |
| Block A Lot 3 | 19,225.59 | 7,706.33 |
| Block A Lot 4 | 19,225.59 | 7,706.33 |
| Block A Lot 5 | 19,225.59 | 7,706.33 |
| Block A Lot 6 | 19,225.59 | 7,706.33 |
| Block A Lot 7 | 19,225.59 | 7,706.33 |
| Block A Lot 8 | 19,225.59 | 7,706.33 |
| Block A Lot 9 | 19,225.59 | 7,706.33 |
| Block A Lot 10 | 19,225.59 | 7,706.33 |
| Block A Lot 11 | 19,225.59 | 7,706.33 |
| Block A Lot 12 | 19,225.59 | 7,706.33 |
| Block A Lot 13 | 19,225.59 | 7,706.33 |
| Block A Lot 14 | 19,225.59 | 7,706.33 |
| Block A Lot 15 | 19,225.59 | 7,706.33 |
| Block A Lot 16 | 19,225.59 | 17,210.80 |
| Block A Lot 17 | 19,225.59 | 17,210.80 |
| Block A Lot 18 | 19,225.59 | 17,210.80 |
| Block A Lot 19 | 19,225.59 | 17,210.80 |
| Block A Lot 20 | 19,225.59 | 17,210.80 |
| Block A Lot 21 | 19,225.59 | 17,210.80 |
| Block A Lot 22 | 19,225.59 | 17,210.80 |
| Block A Lot 23 | 19,225.59 | 17,210.80 |
| Block A Lot 24 | 19,225.59 | 17,210.80 |
| Block A Lot 25 | 19,225.59 | 17,210.80 |

| | | |
|----------------|-----------|-----------|
| Block A Lot 26 | 19,225.59 | 17,210.80 |
| Block A Lot 27 | 19,225.59 | 17,210.80 |
| Block A Lot 28 | 19,225.59 | 17,210.80 |
| Block A Lot 29 | 19,225.59 | 17,210.80 |
| Block A Lot 30 | 19,225.59 | 17,210.80 |
| Block A Lot 31 | 19,225.59 | 17,210.80 |
| Block A Lot 32 | 19,225.59 | 17,210.80 |
| Block A Lot 33 | 19,225.59 | 17,210.80 |
| Block A Lot 34 | 19,225.59 | 17,210.80 |
| Block A Lot 35 | 19,225.59 | 17,210.80 |
| Block A Lot 36 | 19,225.59 | 17,210.80 |
| Block A Lot 37 | 19,225.59 | 17,210.80 |
| Block A Lot 38 | 19,225.59 | 7,706.33 |
| Block A Lot 39 | 19,225.59 | 7,706.33 |
| Block A Lot 40 | 19,225.59 | 7,706.33 |
| Block A Lot 41 | 19,225.59 | 7,706.33 |
| Block A Lot 42 | 19,225.59 | 7,706.33 |
| Block A Lot 43 | 19,225.59 | 7,706.33 |

| Legal Description (Chapel Landing Addition and 4th Addition Phase 1) | Paving/Sidewalk Res. R-21-15 and 21-17 | Sewer Res. R-21-37 | Water Res. R-21-38 |
|---|---|-------------------------------|-------------------------------|
| Block C Lot 6 | | 9,489.67 | |
| Block C Lot 7 | | 9,489.67 | |
| Block C Lot 8 | | 9,489.67 | |
| Block C Lot 9 | | 9,489.67 | |
| Block C Lot 10 | | 9,489.67 | |
| Block K Lot 20 | 24,586.84 | 9,489.67 | 7,870.17 |
| Block K Lot 21 | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 1 Lot 1, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 1 Lot 2, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 1 Lot 3, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 1 Lot 4, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 1 Lot 5, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 1 Lot 6, 4 th Addition | 24,586.84 | | 7,870.17 |
| Block 2 Lot 1, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 2 Lot 2, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 2 Lot 3, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 2 Lot 4, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 2 Lot 5, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |
| Block 2 Lot 6, 4 th Addition | 24,586.84 | 9,489.67 | 7,870.17 |

| Legal Description (Rock Spring 4th Addition Phase 1) | Paving Res. R-21-20 | Sewer Res. R-21-21 | Drainage Res. R-21-22 | Water Res. R-21-23 |
|--|--------------------------------|-------------------------------|----------------------------------|-------------------------------|
| Block 1 Lot 1 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 2 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 3 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 4 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 5 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 6 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 7 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 8 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 1 Lot 9 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 1 | | 7,172.86 | 11,644.62 | |
| Block 2 Lot 2 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 3 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 4 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 5 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 6 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 7 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 8 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 2 Lot 9 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 1 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 2 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 3 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 4 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 5 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 6 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 7 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |

| | | | | |
|----------------|-----------|----------|-----------|----------|
| Block 3 Lot 8 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 9 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 10 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 11 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 12 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 13 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 14 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 15 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 16 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 17 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 18 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 19 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 20 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 21 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 22 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 23 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 24 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 25 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 26 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 27 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 28 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 29 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 30 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 31 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 32 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 33 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 34 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |

| | | | | |
|----------------|-----------|----------|-----------|----------|
| Block 3 Lot 35 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 36 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |
| Block 3 Lot 37 | 17,367.64 | 7,172.86 | 11,644.62 | 6,591.93 |

| Legal Description (Rock Spring 3rd Addition Phase 2) | Water Res. R-21-19 | Paving Res. R-21-41 | Sewer Res. R-21-29 |
|---|-------------------------------|--------------------------------|-------------------------------|
| Block 1 Lot 21 | 5,448.53 | 24,526.16 | |
| Block 1 Lot 22 | 5,448.53 | 24,526.16 | |
| Block 1 Lot 23 | 5,448.53 | 24,526.16 | |
| Block 1 Lot 24 | 5,448.53 | 24,526.16 | |
| Block 1 Lot 25 | 5,448.53 | 24,526.16 | |
| Block 2 Lot 1 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 2 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 3 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 4 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 5 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 6 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 7 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 8 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 9 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 10 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 11 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 12 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 13 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 14 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 15 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 16 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 17 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 2 Lot 18 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 1 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 2 | 5,448.53 | 24,526.16 | 6,255.79 |

| | | | |
|--|----------|-----------|----------|
| Block 3 Lot 3 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 4 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 5 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 6 | 5,448.53 | 24,526.16 | 6,255.79 |
| Block 3 Lot 38 | 5,448.53 | 24,526.16 | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 1 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 2 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 3 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 4 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 5 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 6 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 7 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 8 | | | 6,255.79 |
| Skyview at Block 49 2 nd Add Block B Lot 9 | | | 6,255.79 |

NOTICE OF ASSESSMENT

October 1, 2024
Bel Aire, Kansas

{NAME}
{ADDRESS}
{CITY} {STATE}, {ZIP}:

You are hereby notified, as owner of record of the property described as:

{PIN Number}, {SUBDIVISION NAME AND ADDITION}, {BLOCK AND LOT}

that pursuant to Ordinance No. ____ (the "Ordinance") of the City of Bel Aire, Kansas (the "City") there has been assessed against said property, the costs of certain internal improvements heretofore authorized by the governing body of the City (the "Improvements"). The description of the Improvements, the resolution number authorizing the same and the amount of assessment are set forth as:

{RESOLUTION}: {IMPROVEMENT NAME} {COST TO BE ASSESSED}
(REPEAT FOR EACH PROJECT BEING ASSESSED FOR THIS PROPERTY).

You may pay this assessment in whole or in part to the City Treasurer of the City within fifteen (15) days from October 1, 2024; and if the amount is not paid within said time period, bonds will be issued therefor, and the balance of such assessment will be collected in twenty (20) annual installments, together with interest on such amounts remaining unpaid at a rate not exceeding the maximum rate therefor as prescribed by K.S.A. 12-6a01 *et seq.*, including K.S.A. 12-6a19. Interest accruing between the date set forth above and the date the first installment is payable, but not less than the amount of interest due during the coming year on any outstanding bonds issued to finance the Improvements, shall be added to the first installment. The interest for one year on all unpaid installments shall be added to each subsequent installment until paid.

Melissa Krehbiel, City Clerk

CERTIFICATE OF MAILING

STATE OF KANSAS)
) ss:
COUNTY OF SEDGWICK)

The undersigned, City Clerk of the City of Bel Aire, Kansas, does hereby certify that on or before October 3, 2024, the date on which Ordinance No. ____ (the "Ordinance") of the City was published, I caused to be mailed to the owners of the properties liable for the assessments set out in the Ordinance, at their last known post office addresses, a Notice of Assessment showing the respective assessments levied against their properties and stating the manner in which said assessments will be collected.

A sample copy of the form of such Notice of Assessment is attached hereto.

WITNESS my hand and seal as of October 3, 2024.

(Seal)

Melissa Krehbiel, City Clerk

[attach sample copy of form]

(PUBLISHED IN THE *ARK VALLEY NEWS* ON OCTOBER 3, 2024)

SUMMARY OF ORDINANCE NO. _____

On October 1, 2024, the governing body of the City of Bel Aire, Kansas passed an ordinance entitled:

AN ORDINANCE LEVYING SPECIAL ASSESSMENTS AND BENEFIT FEES ON CERTAIN PROPERTY TO PAY COSTS OF INTERNAL IMPROVEMENTS IN THE CITY OF BEL AIRE, KANSAS, AS AUTHORIZED BY RESOLUTION NOS. R-17-12, R-17-14, R-17-13, R-17-15, R-18-06, R-18-08, R-18-10, R-18-12, R-20-20, R-20-21, R-20-22, R-20-23, R-20-24, R-21-03, R-21-05, R-21-06, R-21-39, R-21-32, R-21-13, R-21-14, R-21-15, R-21-17, R-21-37, R-21-38, R-21-20, R-21-21, R-21-22, R-21-23, R-21-19, R-21-41, AND R-21-29; AND PROVIDING FOR THE COLLECTION OF SUCH SPECIAL ASSESSMENTS AND BENEFIT FEES.

The Ordinance levies special assessments and benefit fees on certain property located in Chapel Landing 3rd Addition, Villas at Prestwick Addition, Central Park 3rd Addition, Skyview at Block 49 addition, Chapel Landing 4th Addition, Rock Spring 4th Addition, Rock Spring 3rd Addition, and Skyview at Block 49 2nd Addition, which benefit from certain internal improvements constructed pursuant to K.S.A. 12-6a01 *et seq.*, and provides an opportunity for prepayment, in whole or in part, of said special assessments or benefit fees. A schedule of the amounts of said special assessments and benefit fees and the property benefitted are attached to the Ordinance. Any amount of special assessments and benefit fees not paid within the time prescribed in the Ordinance shall be certified by the City Clerk to the Clerk of Sedgwick County, Kansas, in the same manner and at the same time as other taxes are certified and will be collected in annual installments, together with interest on such amounts at a rate not exceeding the maximum rate therefor as prescribed by law. A complete text of the Ordinance may be obtained or viewed free of charge at the office of the City Clerk, 7651 E. Central Park Avenue, Bel Aire, Kansas 67226. A reproduction of the Ordinance is available for not less than 7 days following the publication date of this Summary at <http://www.belaireks.org>.

This Summary is hereby certified to be legally accurate and sufficient pursuant to the laws of the State of Kansas.

DATED: October 1, 2024.

City Attorney

CERTIFICATE OF CITY TREASURER

STATE OF KANSAS)
) ss:
COUNTY OF SEDGWICK)

The undersigned, City Treasurer of the City of Bel Aire, Kansas (the "City"), does hereby certify that within the time allowed by Ordinance No. _____ of the City for the payment of special assessments and benefit fees in cash, property owners specially assessed for the costs of certain internal improvements heretofore authorized by the governing body of the City, paid in cash the amounts set forth below:

| Resolution No. | Amount |
|---------------------|--------|
| R-17-12 | |
| R-17-14 | |
| R-17-13 | |
| R-17-15 | |
| R-18-06 | |
| R-18-08 | |
| R-18-10 | |
| R-18-12 | |
| R-20-20 | |
| R-20-21 | |
| R-20-22 | |
| R-20-23 | |
| R-20-24 | |
| R-21-03 and R-21-05 | |
| R-21-06 | |
| R-21-39 | |
| R-21-32 | |
| R-21-13 | |
| R-21-14 | |
| R-21-15 and R-21-17 | |
| R-21-37 | |
| R-21-38 | |
| R-21-20 | |
| R-21-21 | |
| R-21-22 | |
| R-21-23 | |
| R-21-19 | |
| R-21-41 | |
| R-21-29 | |

WITNESS my hand on October ____, 2024.

City Treasurer

City of Bel Aire

STAFF REPORT

DATE: 09/24/2024

TO: City Council

FROM: Ted Henry, City Manager

RE: October 1st City Council, Resolution adopting Region G Hazard Mitigation Plan

Earlier this year, Sedgwick County Emergency Management reached out to the City of Bel Aire asking for input into the Regional Hazard Mitigation plan revision. Inclusion in this plan allows the City to apply for hazard mitigation grant funding for projects such as safe rooms, hail resistant roofing, back-up generators, and more.

The plan is complete and officially approved by FEMA. However, for the plan to be valid it must be adopted by all of the taxing entities in the county. The full text of the plan (786 pages) can be viewed at the link below:

Region G Hazard Mitigation Plan

https://www.sedgwickcounty.org/media/67336/region-g-2024-hazard-mitigation-plan-approved_7-1-24.pdf

Tip: To search within the document, press the keys "Ctrl"+ "F" and type "Bel Aire" in the search bar.

At the October 1st City Council meeting, the Council may choose to adopt the plan by Resolution. The proposed Resolution is included in the October 1st meeting packet. Julie Stimson, Director of Emergency Management for Sedgwick County, will give a brief presentation explaining the plan earlier in the meeting.

Resolution No. R-2024-__

Adopting the Kansas Homeland Security Region G Hazard Mitigation Plan

Whereas, the City of Bel Aire recognizes the threat that natural hazards pose to people and property within our community; and

Whereas, undertaking hazard mitigation actions will reduce the potential for harm to people and property from future hazard occurrences; and

Whereas, the U.S. Congress passed the Disaster Mitigation Act of 2000 (“Disaster Mitigation Act”) emphasizing the need for pre-disaster mitigation of potential hazards;

Whereas, the Disaster Mitigation Act made available hazard mitigation grants to state and local governments; and

Whereas, an adopted Hazard Mitigation Plan is required as a condition of future funding for mitigation projects under multiple Federal Emergency Management Agency (FEMA) pre- and post-disaster mitigation grant programs; and

Whereas, the City of Bel Aire fully participated in the FEMA prescribed mitigation planning process to prepare this Multi-Hazard Mitigation Plan; and

Whereas, the Kansas Division of Emergency Management and FEMA Region VII officials have reviewed the Kansas Homeland Security Region G Hazard Mitigation Plan, and approved it contingent upon this official adoption of the participating governing body; and

Whereas, the City of Bel Aire desires to comply with the requirements of the Disaster Mitigation Act and to augment its emergency planning efforts by formally adopting the Kansas Homeland Security Region G Hazard Mitigation Plan; and

Whereas, adoption by the governing body for the City of Bel Aire demonstrates the jurisdictions’ commitment to fulfilling the mitigation goals and objectives outlined in this plan, and

Whereas, adoption of this legitimizes the plan and authorizes responsible agencies to carry out their responsibilities under the plan.

Now, therefore, be it resolved, that the City of Bel Aire adopts the Kansas Homeland Security Region G Hazard Mitigation Plan as an official plan; and

Be it further resolved, the City of Bel Aire will submit this Adoption Resolution to the Kansas Division of Emergency Management and FEMA Region VII officials to enable the plan’s final approval.

| | |
|-------------|---------------------|
| _____ :Date | _____ : Approved by |
| | Printed Name |
| | _____ Signature |

(Published in the Ark Valley News on October _____, 2024.)

ORDINANCE NO. _____

AN ORDINANCE APPROVING THE RECOMMENDATION OF THE BEL AIRE PLANNING COMMISSION RECOMMENDING A CONDITIONAL USE PERMIT TO BUILD AN OVERSIZED PRIVATE USE SHED ON PROPERTY ZONED AS R-1 AND LOCATED WITHIN THE CORPORATE CITY LIMITS OF THE CITY OF BEL AIRE, KANSAS.

WHEREAS, the Governing Body of the City of Bel Aire, Kansas (the “City”) has received a recommendation from the Bel Aire Planning Commission on Case No. CON-24-02; and

WHEREAS, the Governing Body finds proper notice was given and a public hearing was held for Case No. CON-24-02 on September 12, 2024, all as provided by law and under authority and subject to the provisions of the Zoning Regulations of the City.

THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF BEL AIRE, KANSAS:

SECTION 1. The Governing Body supports the recommendation of the Bel Aire Planning Commission and approves the Conditional Use Permit to build an oversized private use shed on property zoned R-1 at 5030 East 37th Street North, Bel Aire, Kansas, 67226. The oversized private shed will be used for private use only.

SECTION 2. This Ordinance shall take effect and be in full force from and after its adoption by the Governing Body of the City, approval by the Mayor, and publication once in the official city newspaper. This Ordinance will also be filed with the Register of Deeds.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

PASSED AND APPROVED by the Governing Body of the City of Bel Aire, Kansas
on this 1st day of October, 2024.

CITY OF BEL AIRE, KANSAS

Jim Benage, Mayor

ATTEST:

Melissa Krehbiel, City Clerk

APPROVED AS TO FORM:

Maria A. Schrock, City Attorney

City of Bel Aire

STAFF REPORT

DATE: 09/24/2024

TO: Ted Henry, City Manager

FROM: Keith Price, Zoning Administrator

RE: October 1st City Council agenda item, CON-24-02

SUMMARY:

CON-24-02 Property owner has requested to build an oversized private use shed in an R-1 zoned District.

The city placed an ad in the Ark Valley Newspaper as required by the city code. The affidavit of publication is in the packet. The Conditional Use process required notification of surrounding property owners.

History

The property has been zoned R-1 as the city was established.

Discussion

The one-acre parcels in the neighborhood near the lot many have oversized sheds, some have gone through zoning process for the same reason, height or footprint of the shed exceeding the primary structure.

1. The character of the neighborhood;

There are 3 oversized out buildings within 400’ of the subject lot as accessory to a single-family house.

2. The zoning and uses of nearby properties;

North- R-1 Single-family uses
East-R-1 single family uses South- (Wichita) Commercial
West-R-1 Single family use, C-1 and city utility

3. The suitability of the subject property for the uses to which it has been restricted;

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

4. The extent to which removal of the restrictions will detrimentally affect nearby property;

No adverse changes based on the approved 2018 Master Growth Plan.
The length of time the property has been vacant as zoned: N/a.

5. **The relative gain to the public health, safety, and welfare by the destruction of the value of petitioner's property as compared to the hardship imposed upon the individual landowners;**

N/a

6. **Recommendations of permanent staff; and**

Staff recommends approval of the private use shed as presented.

7. **Conformance of the requested change to the adopted or recognized master plan being utilized by the city.**

The city 2018 Master Growth Plan is in line with the existing and proposed uses.

8. **The opinions of other property owners may be considered as one element of a decision in regard to the amendment associated with a single property, however, a decision either in support of or against any such rezoning may not be based upon a plebiscite of the neighbors.**



City of Bel Aire, Kansas
7651 E. Central Park Ave
Bel Aire, Kansas 67226



CONDITIONAL USE REVIEW

Address of proposed project: Chapel Landing CON-24-02

This report is to document that on 9.3.24 the Zoning Administrator from the City of Bel Aire evaluated the above property plan for compliance of zoning and building requirements:

- | | |
|--|--|
| <input type="checkbox"/> SETBACKS | <input type="checkbox"/> ELEVATIONS |
| <input type="checkbox"/> EFFECTIVE CODE COMPLIANCE | <input checked="" type="checkbox"/> REQUIRED PLAN SUBMITTALS |
| <input type="checkbox"/> EROSION CONTROL | <input type="checkbox"/> EASEMENTS |
| <input type="checkbox"/> LANDSCAPE | <input type="checkbox"/> SCREENING |
| <input type="checkbox"/> STORM DRAINAGE | <input checked="" type="checkbox"/> NEIGHBORHOOD IMPACT |
| <input type="checkbox"/> ADA ACCESSIBLE | <input type="checkbox"/> UTILITIES TO BUILDING |

The review of the above property plan has been:

- ☒ APPROVED, as noted
- ☐ DELAYED, as noted
- ☐ DENIED, as noted

DATE 9/3/24

Keith Price
REVIEWED BY 

Comments:

- No utility companies were notified, no easements are involved
- The building footprint with two porches exceed the footprint of the house and attached garage by +/- 660 S.F., one of the reasons for the conditional use permit process.
- The actual height of the garage appears to exceed the height of the house, the second reason for the conditional use permit.
- The application is for a private use garage.

APPLICATION

This form MUST be completed and filed at City Hall, Bel Aire, Kansas, 7651 E. Central Park, Bel Aire, Kansas 67226. AN INCOMPLETE APPLICATION CANNOT BE ACCEPTED. Check the appropriate box below for type of application being submitted. A separate application and filing fee is required for each application. A preapplication conference with City Staff is recommended before filing this application.

BOARD OF ZONING APPEALS

☐ To vary applicable requirements in Sections 10-107c1 through 5 in conjunction with a Conditional Use Application.

☐ Conditions placed on permitted Conditional Use _____

☐ Security bond is required

☐ Approved

☐ Rejected

Name of owner Mark Hopp

Address 5030 E. 37th N Telephone 409-770-3469

Agent representing the owner _____

Address _____ Telephone _____

1. The application area is legally described as Lot(s) 18; Block(s) C Aurora Park ADD Addition, Bel Aire, Kansas. If appropriate, a metes and bounds description may be attached.

2. The application area contains .99 acres.

3. This property is located at (address) 5030 E. 37th N which is generally located at (relation to nearest streets) 37th and Oliver.

4. State why the proposed conditional Use will not cause substantial injury to the value of other property in the neighborhood, how it is to be designed within district regulations:

Need to Store RV, Boat & Lifted Truck
Currently stored off site

5. County control number: 00272100

6. NAMES OF OWNERS - For land inside the city limits, an ownership list of the names, addresses and zip codes of the owners of record of real property located within 200 feet of the exterior boundary of the area described in the application both within the city limits and extending outside the city limits when necessary.

If such area is located adjacent to but within the city limits, the ownership list, in addition to the 200 feet inside the city limits, shall provide similar information extending to 1,000 feet into the unincorporated area.

If such area is located outside the city limits, the ownership list shall extend for 1,000 feet in the unincorporated area and, if the latter extends into the city limits, then such owners for 200 feet inside the city must also be included on the list.

The names of the owners of all property included in this application MUST be listed as applicants. Contract purchasers, lessees or other directly associated with the property may also be listed if they desire to be advised of the proceedings.

1. Applicant MARK HYP Phone 409-770-3469
Address 5030 E. 37th N Zip Code 67220

Agent _____ Phone _____
Address _____ Zip Code _____

2. Applic _____ Phone _____
Address _____

Agent _____ Phone _____
Address _____ Zip Code _____

3. Applic _____ Phone _____

Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

4. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

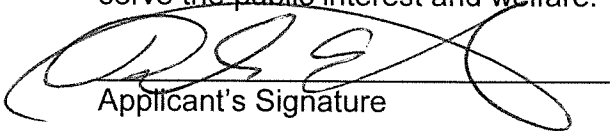
5. Applicant _____ Phone _____
Address _____ Zip Code _____

Agent _____ Phone _____
Address _____ Zip Code _____

6. Applicant _____ Phone _____
Agent _____ Phone _____
Address _____ Zip Code _____

7. Applicant _____ Phone _____
Agent _____ Phone _____
Address _____ Zip Code _____

The applicant certifies that the foregoing information is true and correct to the best of their knowledge and acknowledges that the Planning Commission and/or Governing Body shall have authority to impose such conditions as it deems necessary in order to serve the public interest and welfare.

 _____ BY _____ Authorized Agent (If Any)

The Petition must bear the signature(s) of the property owner(s). If an authorized agent signs on the owner's behalf, the agent shall sign his own name and attach the owner's written notarized authorization to this application.

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



Security 1st Title

OWNERSHIP LIST

| PROPERTY DESCRIPTION | | PROPERTY OWNER |
|--|----------------------|---|
| Lot 18, Blk C Subject Property | Aurora Park Addition | Mark Hopp & Sun Kim 5030 E. 37th St. N. Bel Aire, KS 67220 |
| Lot 1, Blk C | " | Homecrest Trust Wallace D. Cook & Marlene G. Cook 3900 N. Harding Ave. Bel Aire, KS 67220 |
| Lot 2, Blk C | " | Gary L. & Sallie A. Olson 4171 N. Edgemoor St. Bel Aire, KS 67220 |
| Lot 3, Blk C | " | Gary N. & Carolyn J. Gunzelman 5029 E. 39th St. N. Bel Aire, KS 67220 |
| Lot 4, Blk C | " | Mark W. & Judith R. Schroeder 5101 E. 39th St. N. Bel Aire, KS 67220 |
| Lot 5, Blk C | " | Lowell K. & Marjorie L. Booker 5117 E. 39th St. N. Bel Aire, KS 67220 |
| Lot 16, Blk C | " | Alexander F. & Kayla Connell 5118 E. 37th St. N. Bel Aire, KS 67220 |
| Lot 17, Blk C | " | Jason D. Crupper 5100 E. 37th St. N. Bel Aire, KS 67220 |



Security 1st Title

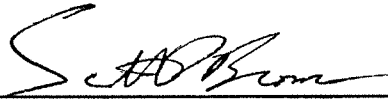
| | | |
|---|----------------------------|--|
| Lots 19 & 20, Blk C | “ | Donald J. & Bonita Stinson 3800 N. Harding Ave. Bel Aire, KS 67220 |
| Lots 1, 2, 3, & 4, Blk 1, EXC the S 100’ of the E 311.17’ of Lot 2; & EXC the S 100’ of Lot 3 | Expressway Center Addition | Koch Real Estate Holdings, Inc. PO Box 2900 Wichita, KS 67201 |

We hereby certify the foregoing to be a true and correct list of the property owners of the herein before described lots within a 200 foot radius of:

Lot 18, Block C, Aurora Park Addition to the City of Bel Aire, Sedgwick County, Kansas.

as shown by the last deed of record filed in the Office of the Register of Deeds, Sedgwick County, Kansas, on the 30th day of July, 2024, at 7:00 A.M.

SECURITY 1ST TITLE

By: 

LICENSED ABTRACTER

Order: 3090582
KJK

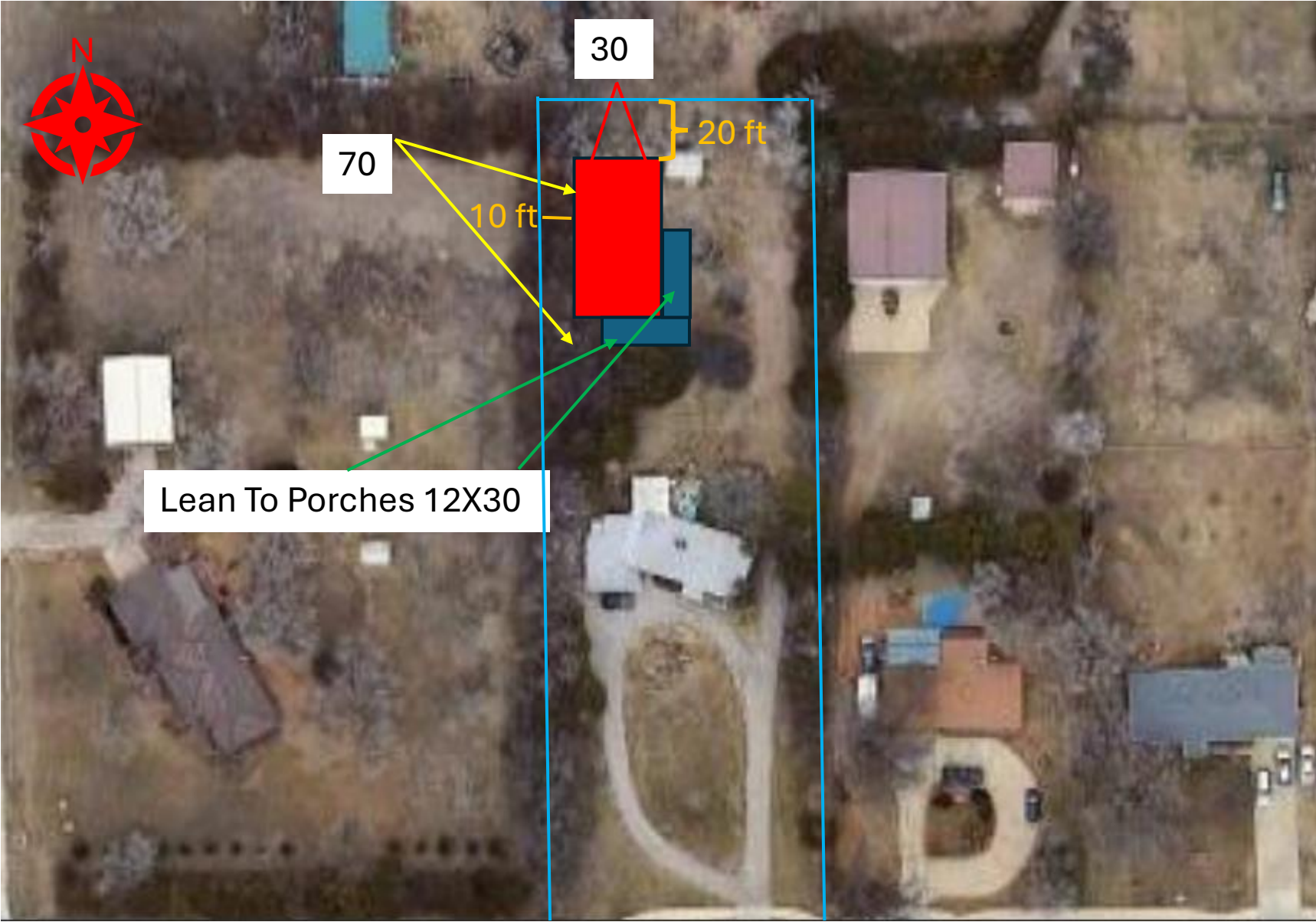
5030 E. 37th St N

Rv Storage/Garage Site Plan

Mark Hopp

RV Storage/Garage Site Plan

- Building will be used to house a 24 ft fishing boat and a 21 ft Riverside RV and a lifted Ford F150 truck. This is why I picked this size of building.
- Owned vehicles/RV's do not fit in the attached garage and have to be stored off-site.
- My house roof is 12 ft tall and a low slope roof. With the building size I cannot go with a low slope roof metal building and must go conventional. The new building will be 14 ft so I can get the required clearance for my vehicles.
- This building will be for private use only.
- Build site is flat, trees have already been removed from site.








20 ft



Metal Building Outfitters
844-70-METAL
sales@metalbuildingoutfitters.com

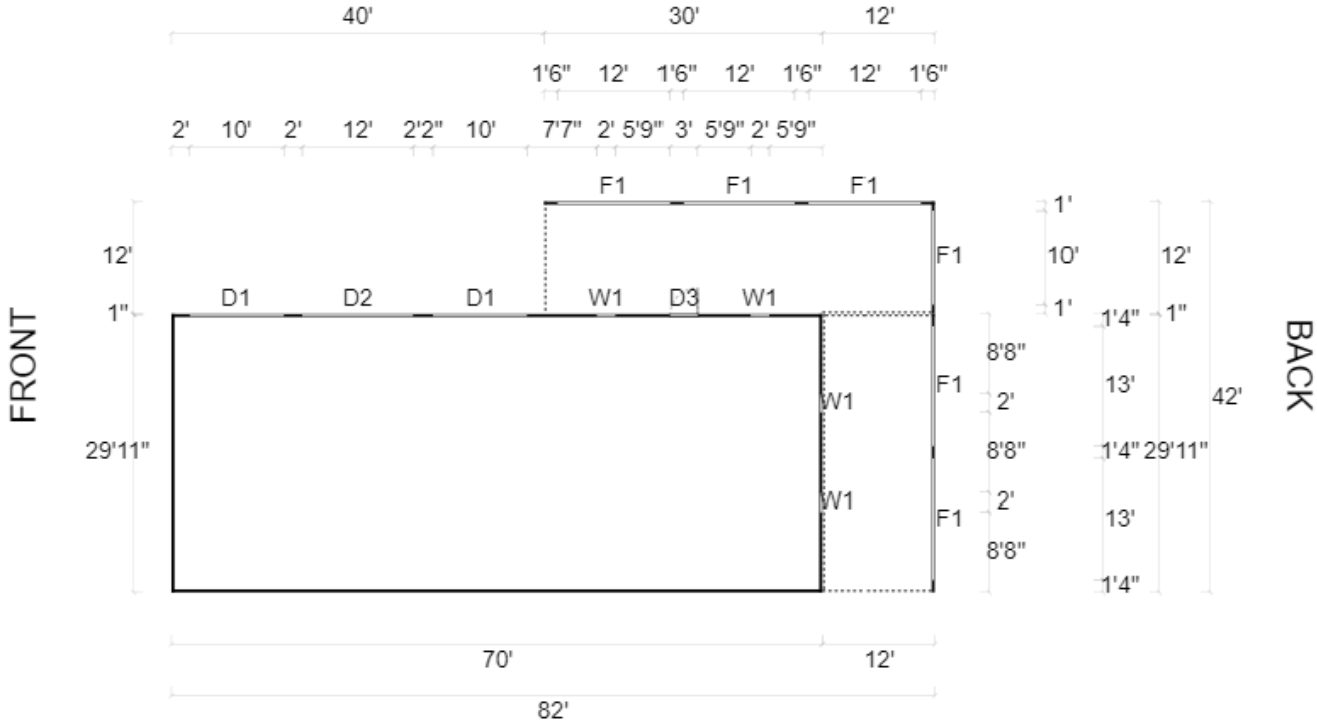
Customer Order - Jul 2, 2024

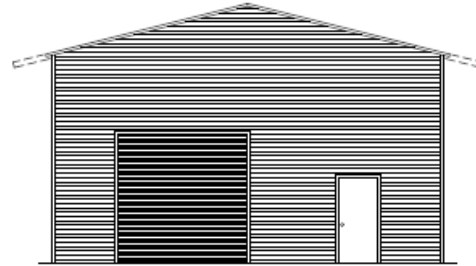
| | | | |
|--|---|---|---|
| Ship To | | | |
| Name <u>Mark Hopp</u> | | Order # <u>1718396359468311</u> | |
| Install Address <u>5030 E. 37th N</u> | | | |
| City <u>Bel Aire</u> | | State <u>KS</u> | Zip Code <u>67220</u> |
| Email <u>mhopp@txtav.com</u> | | Phone # <u>(409) 770-3469</u> | Mobile # _____ |
| Building Info | Size | Color | Anchoring & Site Preparation |
| Style: <u>Garage</u> | $\frac{42'}{\text{Width}} \times \frac{70'}{\text{Frame Length}} \times \frac{14'9''}{\text{Leg Height}}$ | Roof <u>Quaker Gray</u> | Installation Surface: <u>Concrete</u> |
| Roof Overhang: <u>6"</u> | | Trim: <u>Black</u> | Power Available <input type="checkbox"/> |
| Roof Style: <u>A-Frame Vertical</u> | | Siding: <u>Zinc Gray</u> | Jobsite Level <input type="checkbox"/> |
| Gauge: <u>14 Gauge</u> | | Wainscot <u>Black</u> | Permits Required <input type="checkbox"/> |
| Leg Style: <u>Standard</u> | | | Engineering Plans Required <input type="checkbox"/> |
| Brace: <u>Standard Brace</u> | | | Payment Method |
| Design Link & Notes | | | |
| Design Link: https://design.metalbuildingoutfitters.com/?lng=en-US#bfc31c16eb58eea79dfb1bbded0c738 | | | |
| Building Images | | | |
|  |  |  | |
| Perspective View | Front | Left Side | |
|  |  | | |
| Right Side | Back | | |

FLOOR PLAN



LEFT SIDE











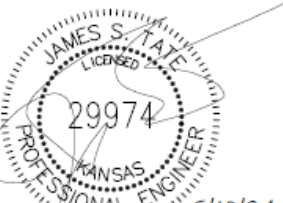

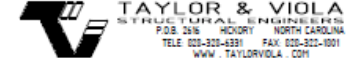
ENCLOSED GABLE END BUILDING
MAX. 30' WIDE X 16' EAVE HEIGHT WITH BOX FRAME / (UP TO) 145 M.P.H. WIND ZONE - 30 P.S.F. SNOW LOAD
FOR:

RHINO METAL STRUCTURES
PORTALES, NM 88130
TELE: 336-648-8590


ISSUE DATE: MAY 10, 2024



NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

| | | | | | |
|--|--|------------------|-----------------------|---------------------|------------------------|
|  <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2015 IBC</p> |  <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 NC BUILDING CODE (2015 IBC)</p> | | | | |
|  <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2015 IBC</p> |   <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 SC BUILDING CODE (2021 IBC)</p> | | | | |
|  <p>5/10/24</p> <p>THESE DRAWINGS HAVE BEEN DESIGNED ACCORDING TO THE 2018 IBC</p> |  <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2018 IBC</p> | | | | |
|  <p>5/10/24</p> <p>DOCUMENTS DESIGNED AND DRAWN TO MEET THE 2021 IBC</p> | | | | | |
|  <p>TAYLOR & VIOLA STRUCTURAL ENGINEERS P.O.B. 245 • HICKORY, NORTH CAROLINA TELE: 336-648-6331 FAX: 336-648-6331 WWW.TAYLORVIOLA.COM</p> <p>JCMT Associates, PLLC 211 Stone Drive, Pilot Mountain, NC 27041 Telephone: (336) 399-6277</p> | <p>RHINO METAL STRUCTURES</p> <p>006 NM-467 PORTALES, NM 88130 TELE: 336-648-0590</p> <table border="1"> <tr> <td>DRAWN BY: BKS</td> <td>PROJECT NO: 24-513</td> </tr> <tr> <td>DATE: 2024.05.10</td> <td>SHEET NO: S1</td> </tr> </table> | DRAWN BY: BKS | PROJECT NO: 24-513 | DATE: 2024.05.10 | SHEET NO: S1 |
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| <h2 style="text-align: center;">SHEET INDEX</h2> | | <p style="text-align: center;">Section XII, Item C.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>SHEET TITLE</th> </tr> </thead> <tbody> <tr><td>S0</td><td>SEALED COVER SHEET</td></tr> <tr><td>S1</td><td>P.E. 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| S0 | SEALED COVER SHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S1 | P.E. SEALS SHEET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S2 | DRAWING INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S3 | GENERAL NOTES AND SPECIFICATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S4 | SIDE AND END ELEVATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5 | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5A | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5B | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 6:12 PITCH) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5C | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >21' TO <24'W / 6:12 PITCH / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5D | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5E | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5F | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 6:12 PITCH) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5G | TYPICAL RAFTER / COLUMN FRAME SECTIONS (<16'H / >25' TO <30'W / 6:12 PITCH / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S5H | TYPICAL FRAME SECTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6 | BOX EAVE / SINGLE COLUMN SECTION (<14'H) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6A | BOX EAVE / SINGLE COLUMN SECTION (<14'H / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6B | BOX EAVE / SINGLE COLUMN SECTION (<14'H / 6:12 PITCH) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6C | BOX EAVE / SINGLE COLUMN SECTION (<14'H / 6:12 PITCH / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6D | BOX EAVE / DOUBLE COLUMN SECTION (<16'H) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6E | BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6F | BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 6:12 PITCH) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S6G | BOX EAVE / DOUBLE COLUMN SECTION (<16'H / 6:12 PITCH / 3' SOFFIT) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7 | BASE RAIL ANCHORAGE / SINGLE COLUMN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7A | BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SLAB) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7B | BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SIDING SHELF) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7C | BASE RAIL ANCHORAGE / SINGLE COLUMN (NO SLAB / NO SIDING SHELF) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7D | BASE RAIL ANCHORAGE / SINGLE COLUMN (CLIP ANGLE ATTACHMENT OPTION) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7E | BASE RAIL ANCHORAGE / DOUBLE COLUMN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7F | BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7G | BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SIDING SHELF) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S7H | BASE RAIL ANCHORAGE / DOUBLE COLUMN (NO SLAB / NO SIDING SHELF) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SHEET NUMBER | SHEET TITLE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S8 | (SOIL) BASE RAIL ANCHORAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S8A | (ASPHALT) BASE RAIL ANCHORAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S9 | TYPICAL BOX EAVE / END WALL FRAMING AND OPENINGS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S9A | TYPICAL BOX EAVE / SIDE WALL FRAMING AND OPENINGS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S10 | CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S11 | CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S12 | CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S13 | CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S14 | BOX EAVE RAFTER / SINGLE & DOUBLE RAFTER LEAN-TO OPTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S14A | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S14B | LEAN-TO HIP OPTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15 | LEAN-TO CONNECTION DETAILS / SINGLE COLUMN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15A | LEAN-TO CONNECTION DETAILS / DOUBLE COLUMN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15B | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15C | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15D | LEAN-TO / MAIN FRAME CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15E | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15F | LEAN-TO / MAIN FRAME CONNECTION DETAILS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15G | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15H | END WALL COLUMN / HIP RAFTER CONNECTION DETAIL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S15J | VOID | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S16 | VERTICAL ROOF / SIDING OPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S16A | VERTICAL ROOF / SIDING OPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S16B | VERTICAL ROOF / SIDING OPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S17 | SIDE WALL HEADER OPTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| S17A | END WALL HEADER OPTIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|  <p>TAYLOR & VIOLA STRUCTURAL ENGINEERS P.O.B. 245 • HICKORY, NORTH CAROLINA TELE: 336-648-6331 FAX: 336-648-6331 WWW.TAYLORVIOLA.COM</p> <p>JCMT Associates, PLLC 211 Stone Drive, Pilot Mountain, NC 27041 Telephone: (336) 399-6277</p> | <p>RHINO METAL STRUCTURES</p> <p>006 NM-467 PORTALES, NM 88130 TELE: 336-648-0590</p> | <table border="1"> <tr> <td>DRAWN BY: BKS</td> <td>PROJECT NO: 24-513</td> </tr> <tr> <td>DATE: 2024.05.10</td> <td>SHEET NO: S2</td> </tr> </table> | DRAWN BY: BKS | PROJECT NO: 24-513 | DATE: 2024.05.10 | SHEET NO: S2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWN BY: BKS | PROJECT NO: 24-513 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE: 2024.05.10 | SHEET NO: S2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

DESIGN LOADS:

| | | | |
|--------------------|-------------------|--------------------------------------|--|
| IMPORTANCE FACTORS | WIND | (1w) | 1.00 |
| | SNOW | (1s) | 1.00 |
| | SEISMIC | (1e) | 1.00 |
| DEAD LOADS | ROOF | 13 | P.S.F. |
| | ROOF COLLATERAL | 0 | P.S.F. |
| LIVE LOADS | ROOF | 20 | P.S.F. |
| GROUND SNOW LOAD: | | VARIES - SEE NOTES 30 P.S.F. MIN. | |
| WIND LOAD: | BASIC WIND SPEED | V 145 | M.P.H. (ASCE 7-16) *DRIFT LOAD HAS NOT BEEN CALCULATED |
| | EXPOSURE CATEGORY | A/B/C | |

SEISMIC DESIGN CATEGORY ☒ A ☒ B ☒ C ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY ISPECTRAL RESPONSE ACCELERATION S_s VARIES BASED ON SITE %g S_1 VARIES BASED ON SITE %gSITE CLASSIFICATION D ☐ FIELD TEST ☒ PRESUMPTIVE ☐ HISTORICAL DATA

BASIC STRUCTURAL SYSTEM (CHECK ONE)

| | |
|--|--|
| <input type="checkbox"/> BEARING WALL | <input type="checkbox"/> DUAL W/ SPECTRAL MOMENT FRAME |
| <input checked="" type="checkbox"/> BUILDING FRAME | <input type="checkbox"/> DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL |
| <input type="checkbox"/> MOMENT FRAME | <input type="checkbox"/> INVERTED PENDULUM |

ANALYSIS PROCEDURE ☐ SIMPLIFIED ☒ EQUIVALANT LATERAL FORCE ☐ MODALLATERAL DESIGN CONTROL? ☐ EARTHQUAKE ☒ WIND

SOIL BEARING CAPACITIES:

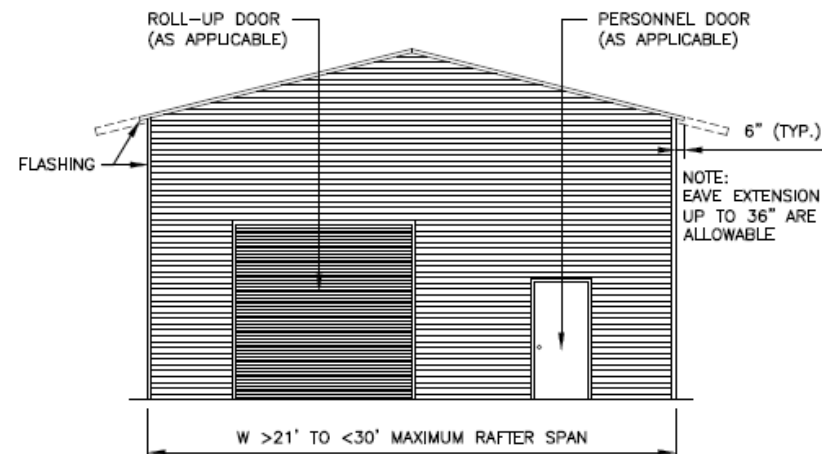
PRESUMPTIVE BEARING CAPACITIES: 1,500 P.S.F.

GENERAL NOTES:

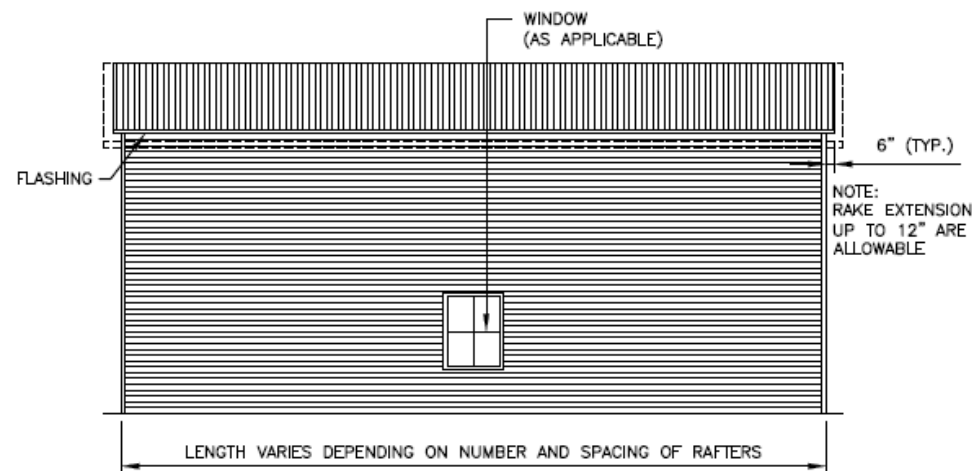
1. MAX FRAME SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
2. MAX. END-WALL COLUMN SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
3. TUBE MATERIAL SHALL BE 2-1/2" x 2-1/2" x 14 GA. 50 KSI MIN. UNLESS NOTED OTHERWISE.
4. ALL FASTENERS SHALL BE #12 SELF TAPPING AT 9"o.c. UNLESS NOTED OTHERWISE.
5. 1,500 P.S.F. ASSUMED BEARING CAPACITY UNLESS NOTED OTHERWISE.

BOX EVE FRAME RAFTER STURCTURE

Section XII, Item C.



TYPICAL END ELEVATION



TYPICAL SIDE ELEVATION

DESIGN LOADS:

IMPORTANCE FACTORS

| | | |
|---------|------|------|
| WIND | (1w) | 1.00 |
| SNOW | (1s) | 1.00 |
| SEISMIC | (1e) | 1.00 |

DEAD LOADS

| | | |
|-----------------|----|--------|
| ROOF | 13 | P.S.F. |
| ROOF COLLATERAL | 0 | P.S.F. |

LIVE LOADS

| | | |
|------|----|--------|
| ROOF | 20 | P.S.F. |
|------|----|--------|

GROUND SNOW LOAD:

VARIES — SEE NOTES
30 P.S.F. MIN.

WIND LOAD:

| | | | | |
|-------------------|-------|--------|-------------|------------------------------------|
| BASIC WIND SPEED | V 145 | M.P.H. | (ASCE 7-16) | DRIFT LOAD HAS NOT BEEN CALCULATED |
| EXPOSURE CATAGORY | A/B/C | | | |

SEISMIC DESIGN CATAGORY

☒ A
 ☒ B
 ☒ C
 ☐ D

PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:

OCCUPANCY CATEGORY I

SPECTRAL RESPONSE ACCELERATION

S_s VARIES BASED ON SITE %gS₁ VARIES BASED ON SITE %gSITE CLASSIFICATION D☐ FIELD TEST☒ PRESUMPTIVE☐ HISTORICAL DATA

BASIC STRUCTURAL SYSTEM (CHECK ONE)

| | |
|--|--|
| <input type="checkbox"/> BEARING WALL | <input type="checkbox"/> DUAL W/ SPECTRAL MOMENT FRAME |
| <input checked="" type="checkbox"/> BUILDING FRAME | <input type="checkbox"/> DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL |
| <input type="checkbox"/> MOMENT FRAME | <input type="checkbox"/> INVERTED PENDULUM |

ANALYSIS PROCEDURE ☐ SIMPLIFIED ☒ EQUIVALANT LATERAL FORCE ☐ MODALLATERAL DESIGN CONTROL? ☐ EARTHQUAKE ☒ WIND

SOIL BEARING CAPACITIES:

PRESUMPTIVE BEARING CAPACITIES: 1,500 P.S.F.

GENERAL NOTES:

1. MAX FRAME SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
2. MAX. END-WALL COLUMN SPACING SHALL BE 60"oc UNLESS NOTED OTHERWISE.
3. TUBE MATERIAL SHALL BE 2-1/2" x 2-1/2" x 14 GA. 50 KSI MIN. UNLESS NOTED OTHERWISE.
4. ALL FASTENERS SHALL BE #12 SELF TAPPING AT 9"o.c. UNLESS NOTED OTHERWISE.
5. 1,500 P.S.F. ASSUMED BEARING CAPACITY UNLESS NOTED OTHERWISE.



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R H I N O M E T A L
S T R U C T U R E S

006 NM-467
 PORTALES, NM 88130
 TELE: 336-648-8590

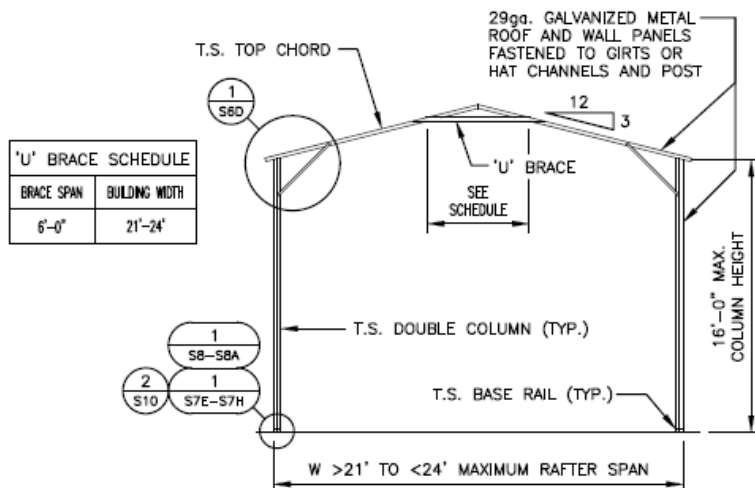
DRAWN BY:
BKS

DATE:
2024.05.10

PROJECT NO:
24-513

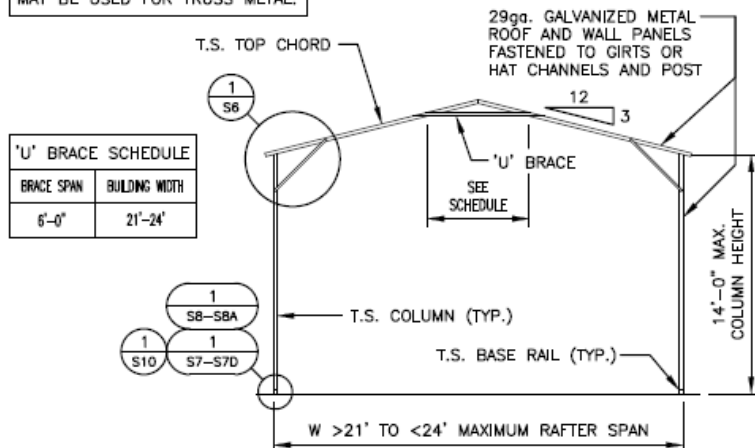
SHEET NO:
S3

>21' TO <24'



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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WWW.TAYLORVIOLA.COM

JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-640-0590

DRAWN BY:
BKS

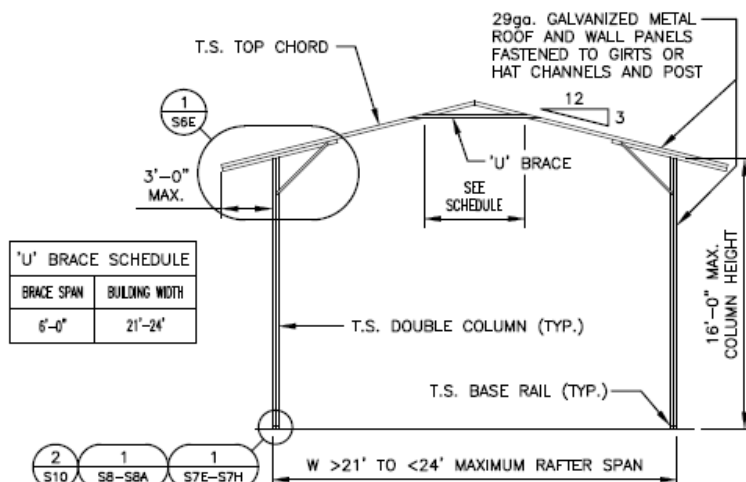
DATE:
2024.05.10

PROJECT NO:
24-513

SHEET NO:
S5

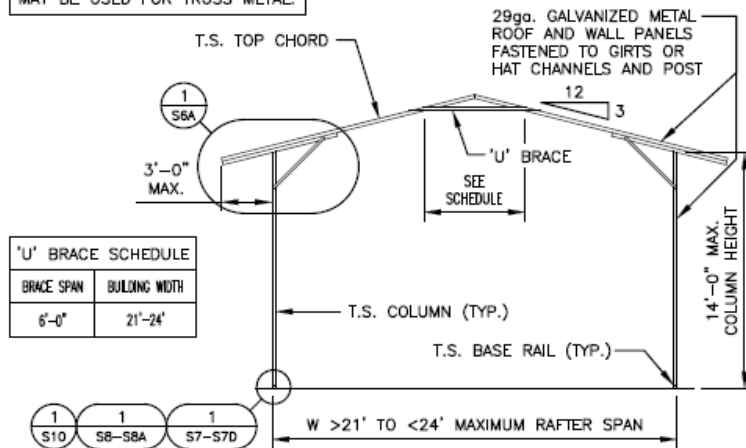
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>21' TO <24' (3' SOFFIT)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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STRUCTURAL ENGINEERS
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WWW.TAYLORVIOLA.COM

JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-640-0590

DRAWN BY:
BKS

DATE:
2024.05.10

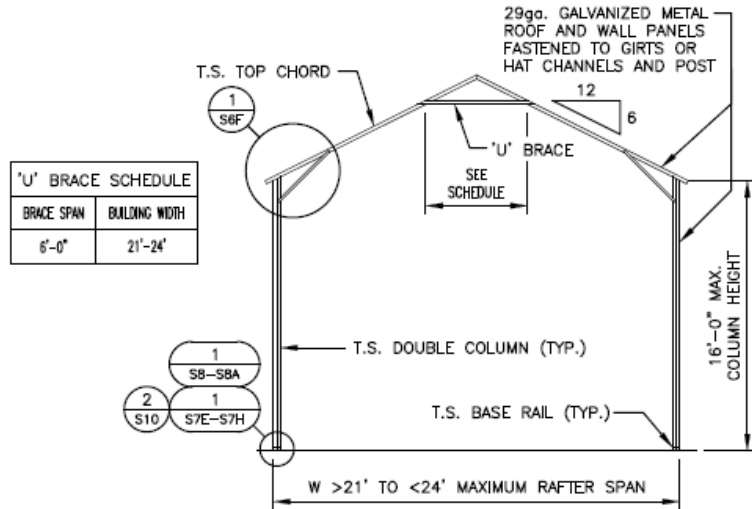
PROJECT NO:
24-513

SHEET NO:
S5A

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

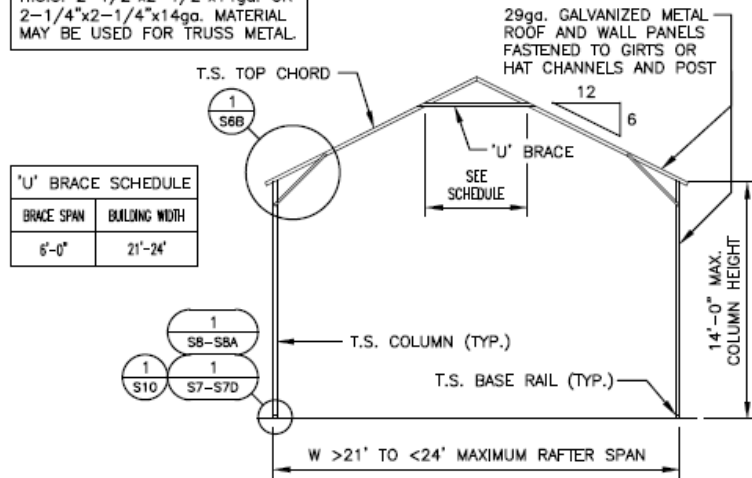
Section XII, Item C.

>21' TO <24' WIDE (6:12 PITCH)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

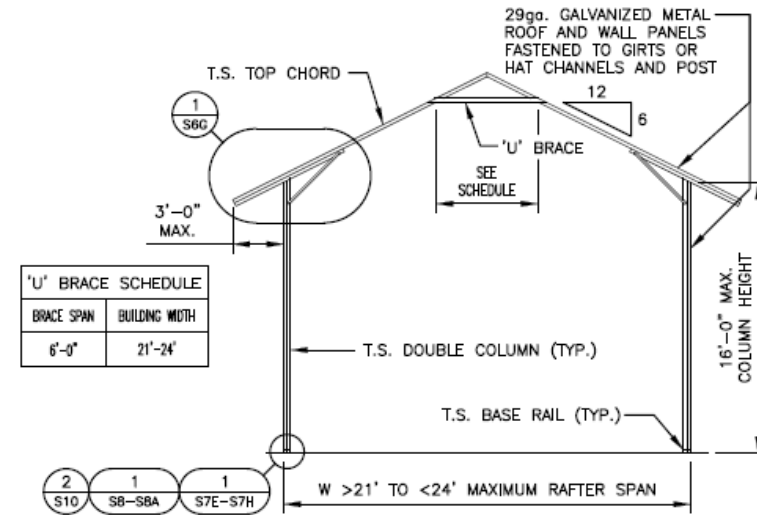
TAYLOR & VIOLA
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RHINO METAL
STRUCTURES
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY: BKS
PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: **S5B**

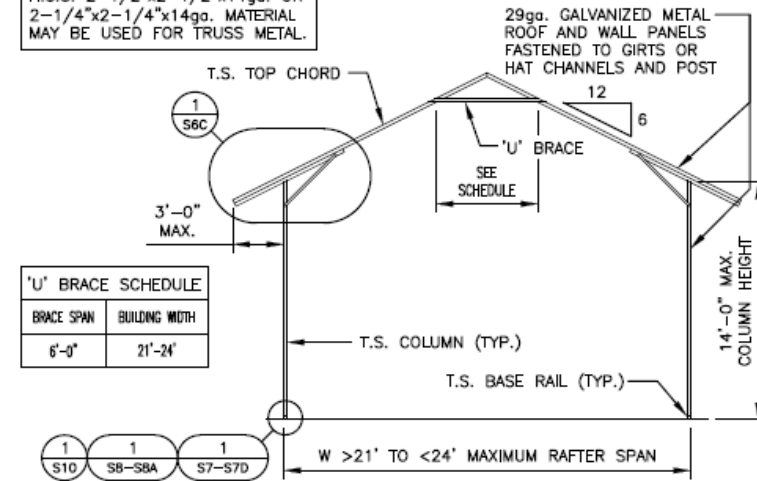
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>21' TO <24' WIDE (6:12 PITCH / 3' SOFFIT)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

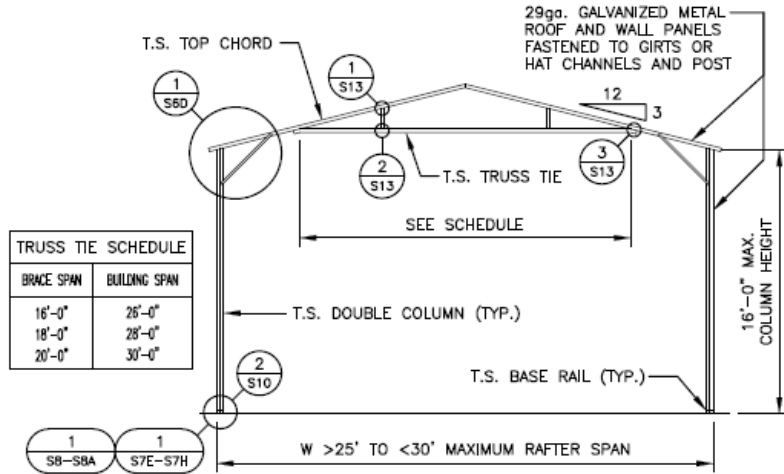
RHINO METAL
STRUCTURES
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

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PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: **S5C**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

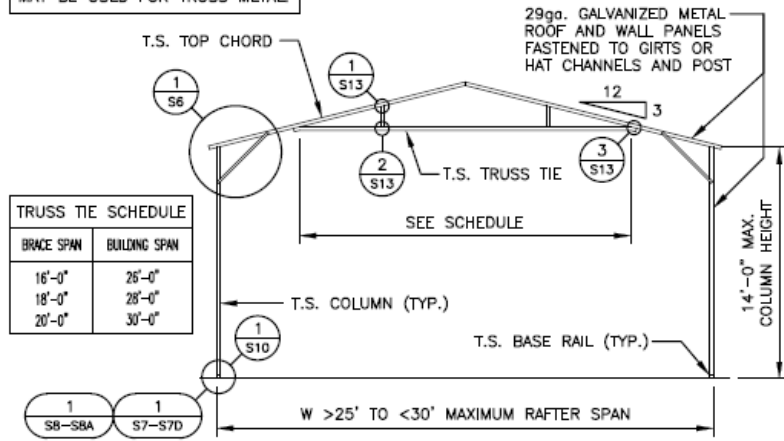
Section XII, Item C.

>25' TO <30'



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O. BOX 245 HODORY NORTH CAROLINA
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211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TEL: 336-640-8590

DRAWN BY:
BKS

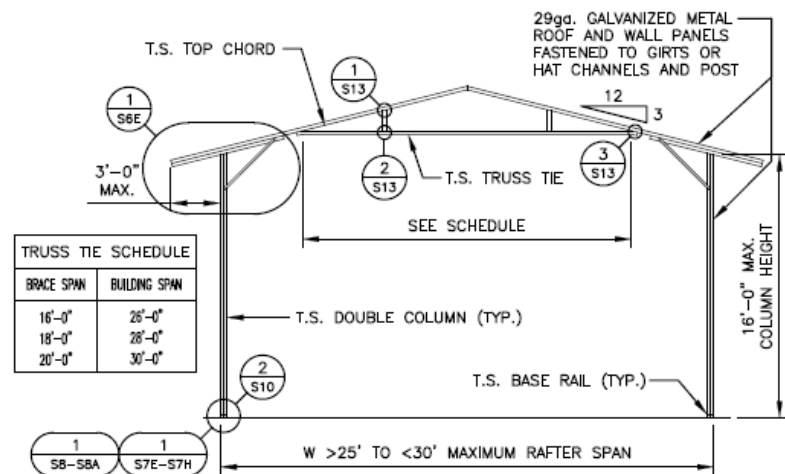
PROJECT NO:
24-513

DATE:
2024.05.10

SHEET NO:
S50

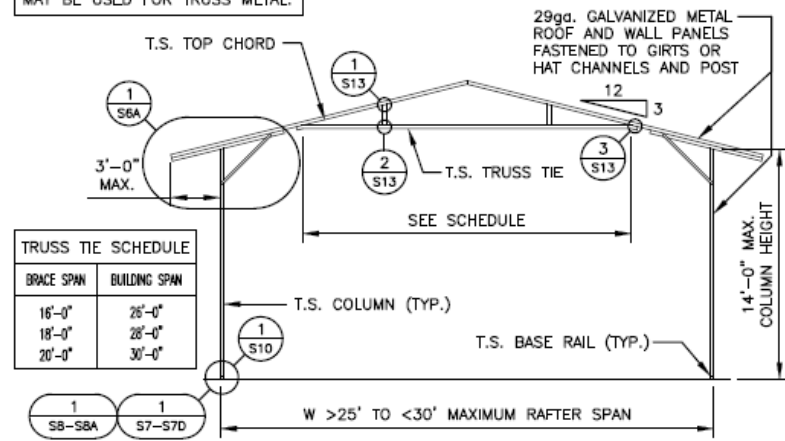
NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

>25' TO <30' (3' SOFFIT)



TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / COLUMN FRAME SECTION

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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TEL: 336-640-8590

DRAWN BY:
BKS

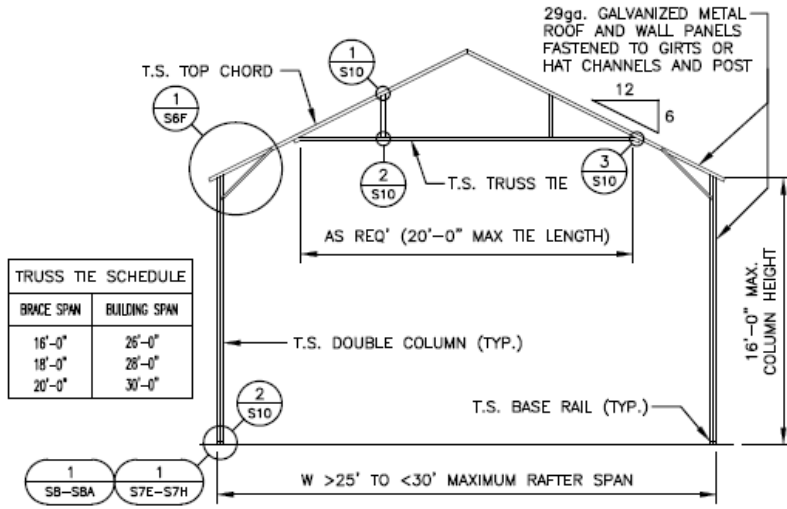
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DATE:
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SHEET NO:
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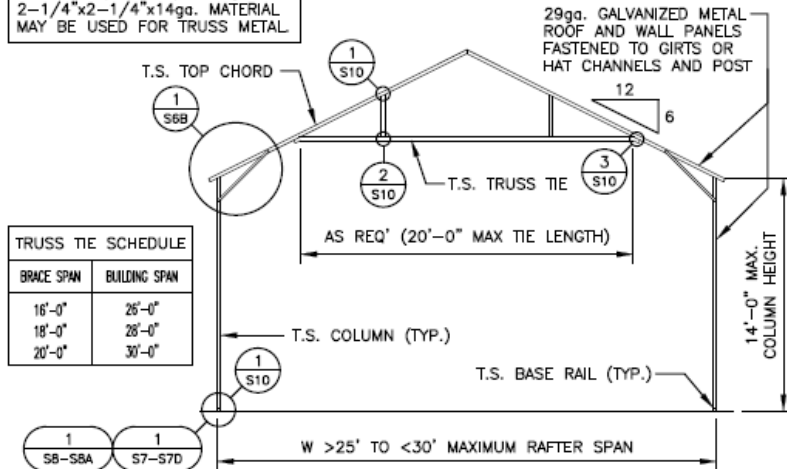
>25' TO <30' (6:12 PITCH)



| TRUSS TIE SCHEDULE | |
|--------------------|---------------|
| BRACE SPAN | BUILDING SPAN |
| 16'-0" | 26'-0" |
| 18'-0" | 28'-0" |
| 20'-0" | 30'-0" |

TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



| TRUSS TIE SCHEDULE | |
|--------------------|---------------|
| BRACE SPAN | BUILDING SPAN |
| 16'-0" | 26'-0" |
| 18'-0" | 28'-0" |
| 20'-0" | 30'-0" |

TYPICAL RAFTER / COLUMN FRAME SECTION

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**RHINO METAL
STRUCTURES**

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TELE: 336-648-8590

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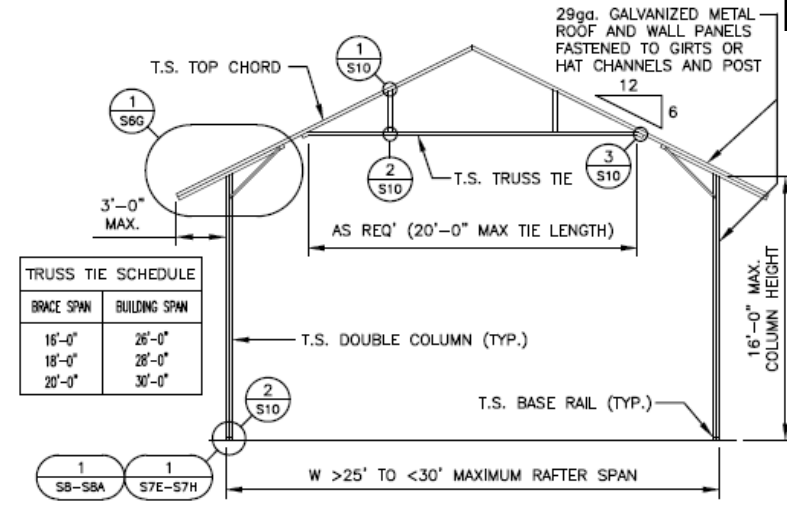
PROJECT NO:
24-513

DATE:
2024.05.10

SHEET NO:
S5F

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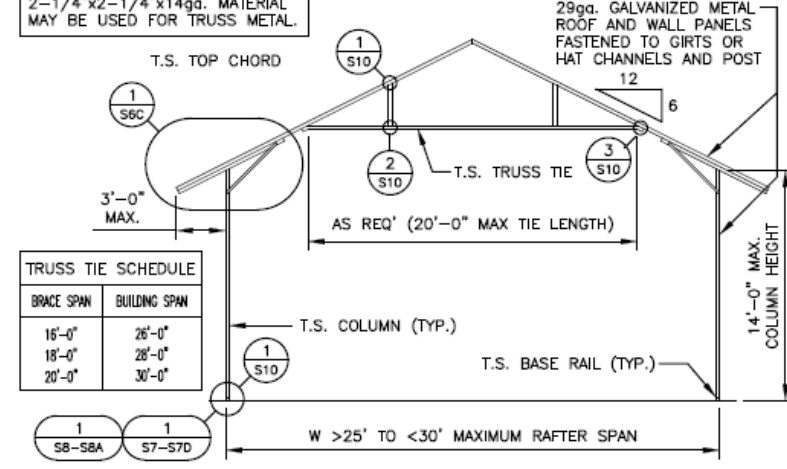
>25' TO <30' (6:12 PITCH / 3' SOFFIT)



| TRUSS TIE SCHEDULE | |
|--------------------|---------------|
| BRACE SPAN | BUILDING SPAN |
| 16'-0" | 26'-0" |
| 18'-0" | 28'-0" |
| 20'-0" | 30'-0" |

TYPICAL RAFTER / COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



| TRUSS TIE SCHEDULE | |
|--------------------|---------------|
| BRACE SPAN | BUILDING SPAN |
| 16'-0" | 26'-0" |
| 18'-0" | 28'-0" |
| 20'-0" | 30'-0" |

TYPICAL RAFTER / COLUMN FRAME SECTION

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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

DRAWN BY:
BKS

PROJECT NO:
24-513

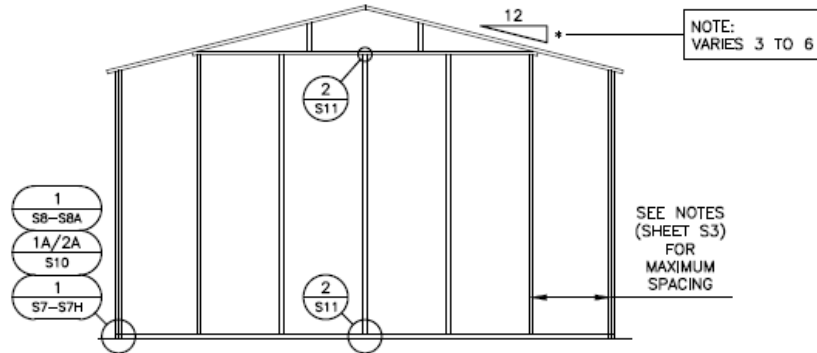
DATE:
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SHEET NO:
S5G

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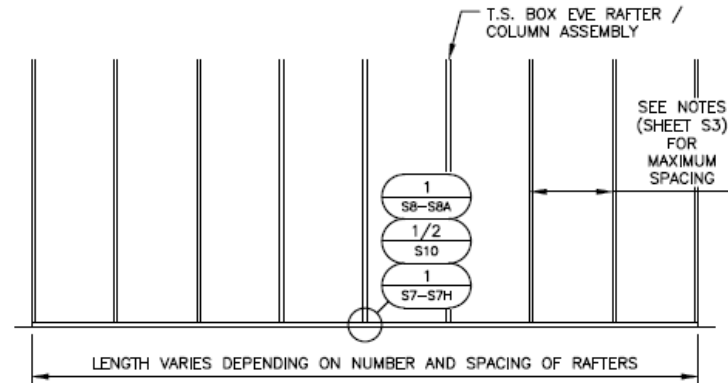
Section XII, Item C.

(TYPICAL) FRAME SECTIONS



TYPICAL BOX EVE RAFTER / END WALL COLUMN FRAME SECTION

NOTE:
H.S.S. 2-1/2"x2-1/2"x14ga. OR
2-1/4"x2-1/4"x14ga. MATERIAL
MAY BE USED FOR TRUSS METAL.



TYPICAL RAFTER / SIDE COLUMN FRAME SECTION

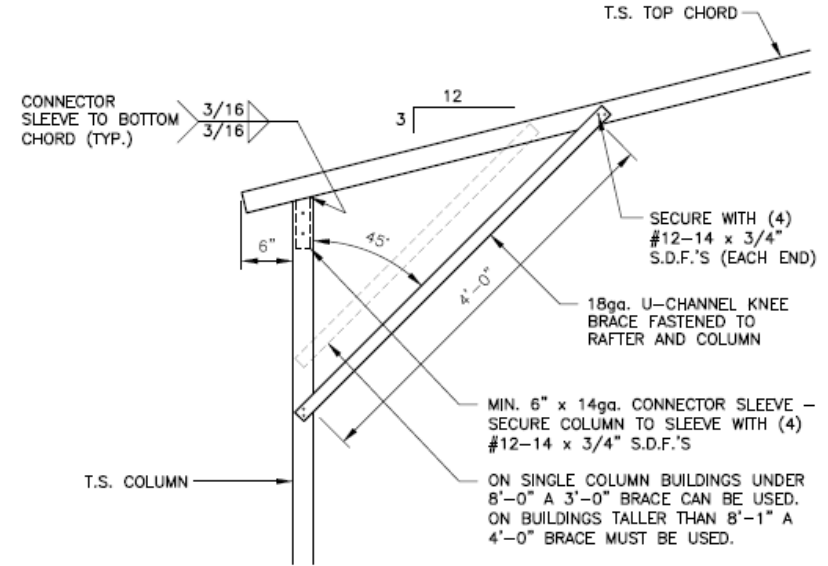
TAYLOR & VIOLA
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PORTALES, NM 88130
TELE: 336-648-0590

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PROJECT NO: 24-513
DATE: 2024.05.10
SHEET NO: **S5H**

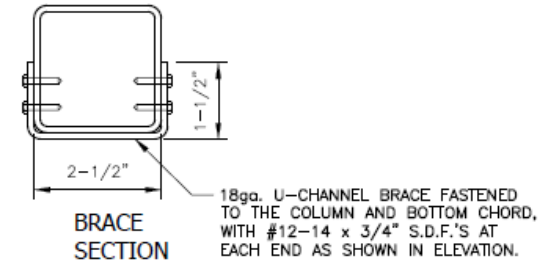
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Section XII, Item C.



BOX EVE / CORNER POST CONNECTION DETAIL FOR HEIGHTS <14'-0"

1
S6 SCALE: 3/4" = 1'-0"



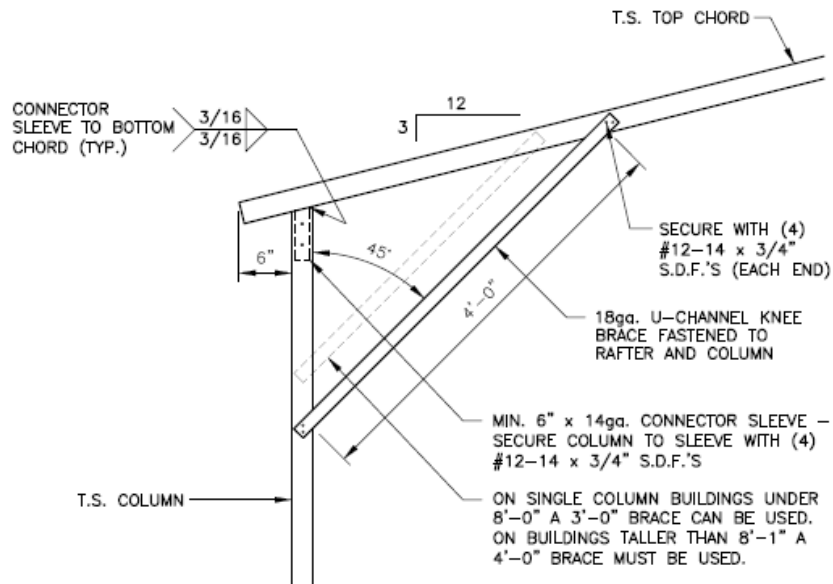
BRACE SECTION

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TELE: 336-648-0590

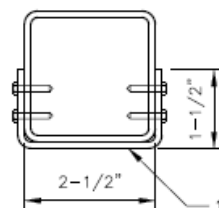
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DATE: 2024.05.10
SHEET NO: **S6**

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BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0"

1
S6 SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

TAYLOR & VIOLA
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211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

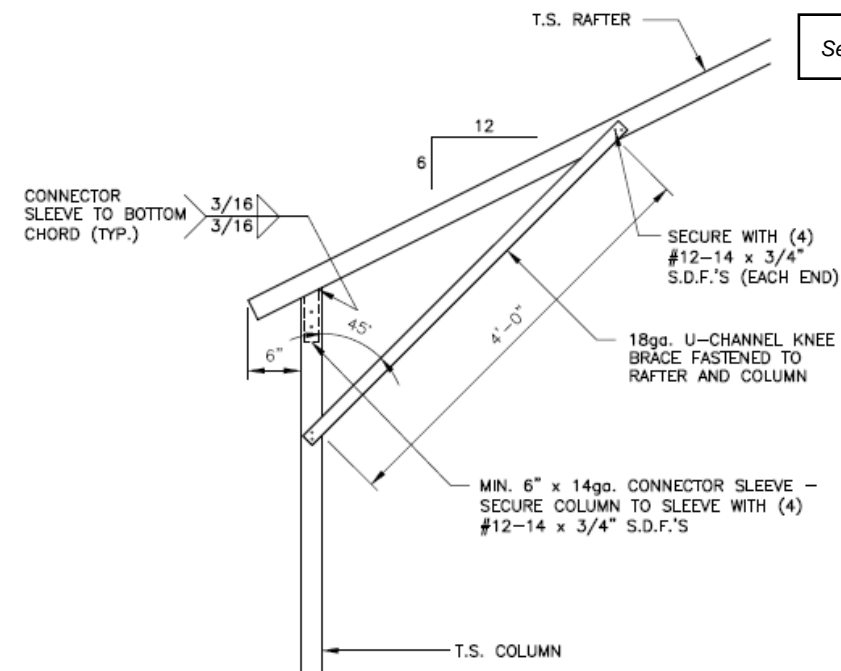
006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

DRAWN BY:
BKS PROJECT NO:
24-513

DATE:
2024.05.10 SHEET NO:
S6

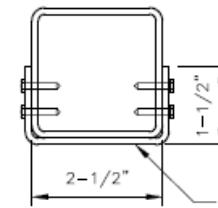
V2.0

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BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0" (6:12 PITCH)

1
S6B SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

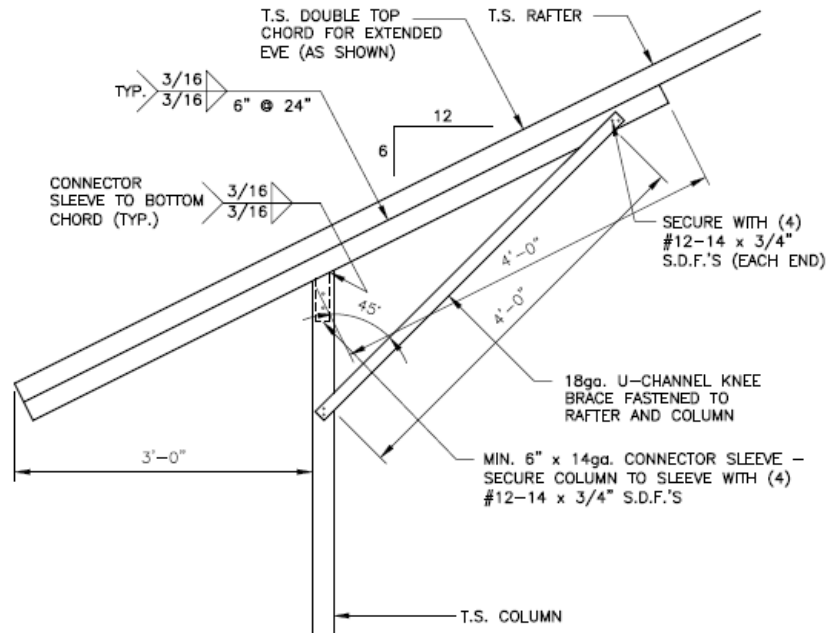
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BKS PROJECT NO:
24-513

DATE:
2024.05.10 SHEET NO:
S6B

V2.0

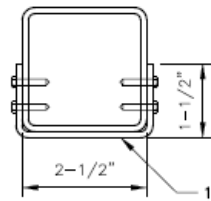
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Section XII, Item C.



BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS <14'-0" (6:12 PITCH / 3' SOFFIT)

1
S6C SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

TAYLOR & VIOLA
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Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

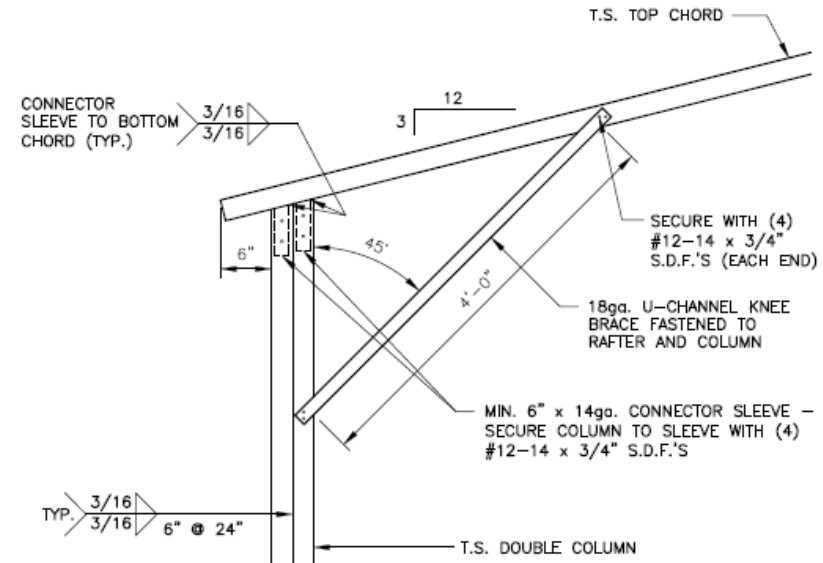
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BKS

PROJECT NO:
24-513

DATE:
2024.05.10

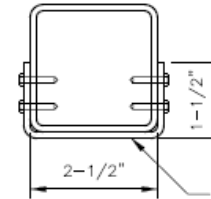
SHEET NO:
S6C

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BOX EAVE / CORNER POST CONNECTION DETAIL
FOR HEIGHTS >14'-1" TO <16'-0"

1
S6D SCALE: 3/4" = 1'-0"



BRACE
SECTION

18ga. U-CHANNEL BRACE FASTENED
TO THE COLUMN AND BOTTOM CHORD,
WITH #12-14 x 3/4" S.D.F.'S AT
EACH END AS SHOWN IN ELEVATION.

TAYLOR & VIOLA
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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

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BKS

PROJECT NO:
24-513

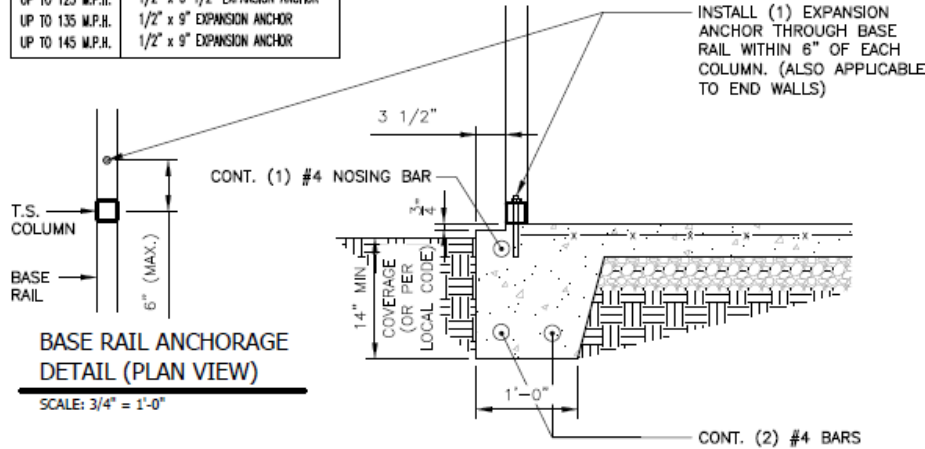
DATE:
2024.05.10

SHEET NO:
S6D

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE

| ANCHORAGE BOLT SCHEDULE | |
|-------------------------|--------------------------------|
| WIND SPEED | BOLT SIZE |
| UP TO 115 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 125 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 135 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |
| UP TO 145 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |



1 BASE RAIL ANCHORAGE DETAIL
S7 SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

TAYLOR & VIOLA
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211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-4377

**RHINO METAL
STRUCTURES**
006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

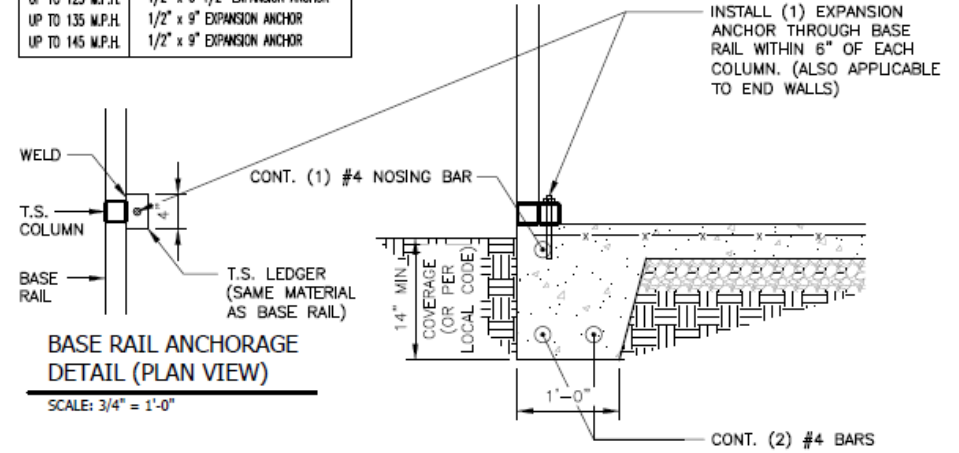
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BKS 24-513
DATE: SHEET NO:
2024.05.10 **S7**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE (LEAN-TO / NO LEDGE)

Section XII, Item C.

| ANCHORAGE BOLT SCHEDULE | |
|-------------------------|--------------------------------|
| WIND SPEED | BOLT SIZE |
| UP TO 115 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 125 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 135 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |
| UP TO 145 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |



1 BASE RAIL ANCHORAGE DETAIL
S7B SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

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**RHINO METAL
STRUCTURES**
006 NM-467
PORTALES, NM 88130
TELE: 336-648-8590

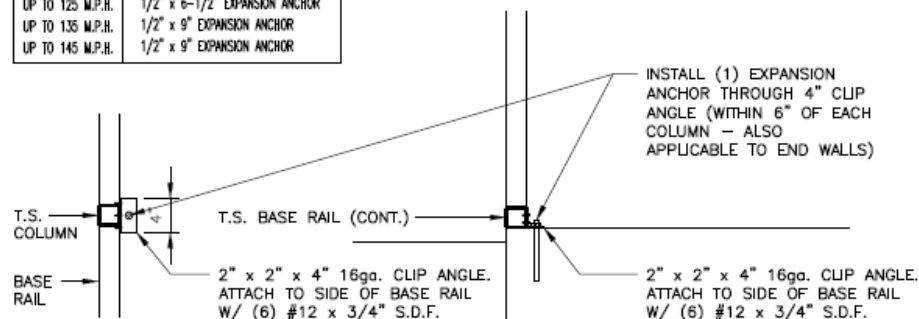
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BKS 24-513
DATE: SHEET NO:
2024.05.10 **S7B**

90

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE (CLIP ANGLE ATTACHMENT OPTION)

| ANCHORAGE BOLT SCHEDULE | |
|-------------------------|--------------------------------|
| WIND SPEED | BOLT SIZE |
| UP TO 115 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 125 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 135 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |
| UP TO 145 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |



BASE RAIL ANCHORAGE
DETAIL (PLAN VIEW)

SCALE: 3/4" = 1'-0"

BASE RAIL ANCHORAGE DETAIL
(CLIP ANGLE ATTACHMENT OPTION)



SCALE: 3/4" = 1'-0"

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**RHINO METAL
STRUCTURES**

006 NM-467
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TELE: 336-648-0590

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PROJECT NO: 24-513

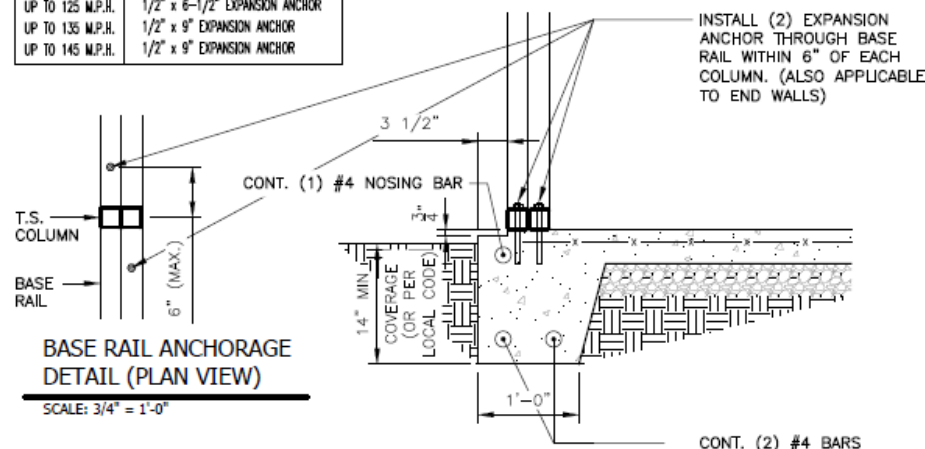
DATE: 2024.05.10
SHEET NO: **S7D**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

CONCRETE BASE RAIL ANCHORAGE

Section XII, Item C.

| ANCHORAGE BOLT SCHEDULE | |
|-------------------------|--------------------------------|
| WIND SPEED | BOLT SIZE |
| UP TO 115 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 125 M.P.H. | 1/2" x 6-1/2" EXPANSION ANCHOR |
| UP TO 135 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |
| UP TO 145 M.P.H. | 1/2" x 9" EXPANSION ANCHOR |



BASE RAIL ANCHORAGE
DETAIL (PLAN VIEW)

SCALE: 3/4" = 1'-0"

BASE RAIL ANCHORAGE DETAIL



SCALE: 3/4" = 1'-0"

GENERAL NOTES:

ALL CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.

CONCRETE:
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.

COVER OVER REINFORCING STEEL:
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH AND WEATHER AND 1-1/2" ELSEWHERE.

REINFORCING STEEL:
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAT BE BENT IN THE SHOP OF THE FIELD PROVIDED:
1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

TAYLOR & VIOLA
STRUCTURAL ENGINEERS
P.O. BOX 2618 HICKORY, NORTH CAROLINA
TELE: 822-322-4331 FAX: 822-322-1001
WWW.TAYLORVIOLA.COM

JCMT Associates, PLLC
211 Stone Drive, Pilot Mountain, NC 27041
Telephone: (336) 399-6277

**RHINO METAL
STRUCTURES**

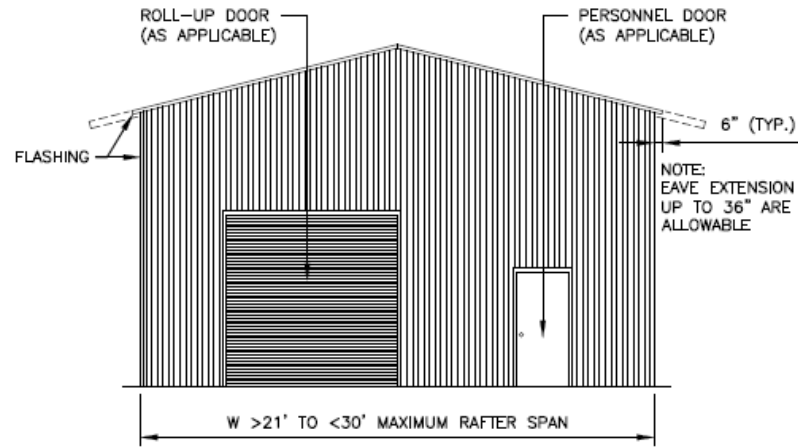
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY: BKS
PROJECT NO: 24-513

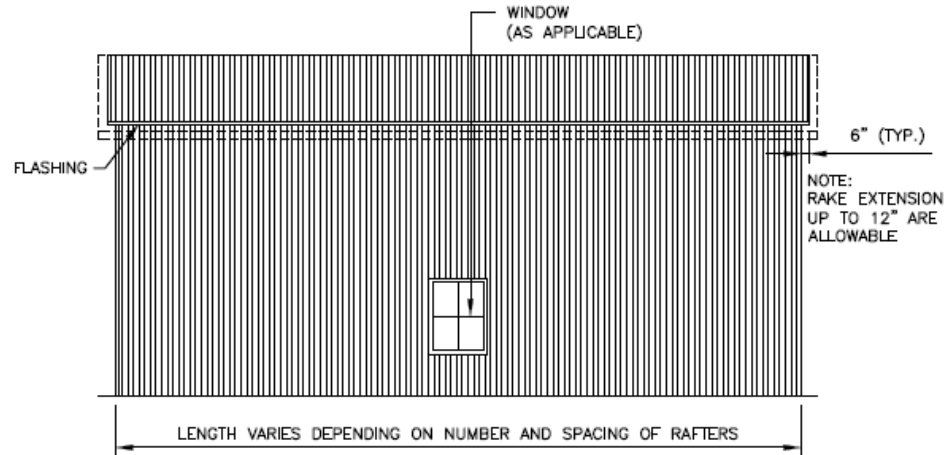
DATE: 2024.05.10
SHEET **S7E**

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDER YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

VERTICAL ROOF / SIDING OPTION



TYPICAL END ELEVATION



TYPICAL SIDE ELEVATION

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**RHINO METAL
STRUCTURES**

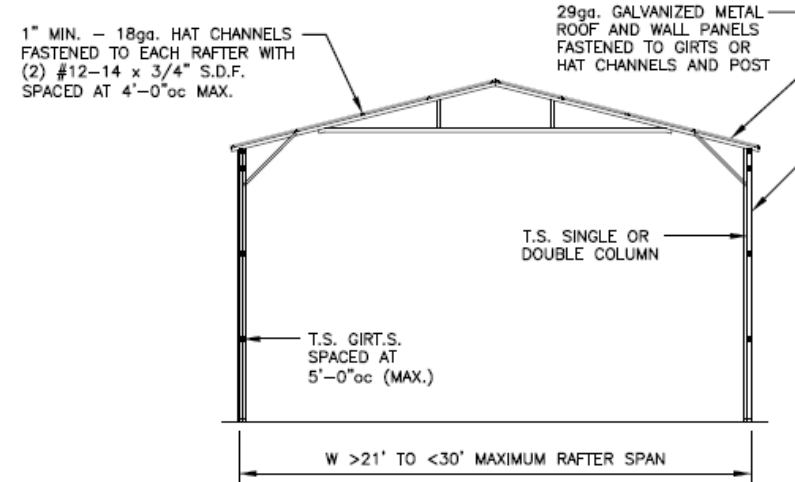
006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY:
BKS
DATE:
2024.05.10

PROJECT NO:
24-513
SHEET NO:
S16

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.

VERTICAL ROOF / SIDING OPTION



TYPICAL SECTION VERTICAL ROOF / SIDING OPTION

Section XII, Item C.

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**RHINO METAL
STRUCTURES**

006 NM-467
PORTALES, NM 88130
TELE: 336-648-0590

DRAWN BY:
BKS
DATE:
2024.05.10

PROJECT NO:
24-513
SHEET NO:
S16A

NOTE: THESE DRAWINGS ARE VALID FOR (1) CALENDAR YEAR AFTER THE ISSUE DATE LISTED ON THIS SHEET.



DATE: Tuesday, October 1, 2024
TO: Mayor and City Council
FROM: City Attorney
SUBJECT: Resolution Designating City Website as Official City Newspaper

Background: The Bel Aire City Council wishes to exempt itself from the requirement to publish certain legal notices in a general circulation newspaper, a requirement created in K.S.A 12-1651. The City may do so, as this statute is not uniformly applicable to all Kansas cities; it expressly applies only to second and third class cities. Attorney General Opinion 2023-5 determined that once a City takes this action to exempt certain publication obligations, that it can designate its own website as the means to communicate the applicable public notices. However, this exemption will not affect public notices that apply in those areas the legislature felt statewide uniformity was important. Therefore, publication in a traditional, physical newspaper of general circulation in the City will still be the rule for land acquisition, public improvement, City treasurer's report, eminent domain, imposition of taxes, and City budget hearings.

The Kansas Constitution Article 12, Section 5 sets out the method to accomplish this exemption by charter ordinance, which requires adherence to additional procedural safeguards intended to empower citizen input should there be such interest. That citizen interest on this issue has already been demonstrated. The earlier attempt to pass a charter ordinance with the same effect was met with a successful petition that would have forced an immediate, special election. The City Council chose not to incur the costs of that special election, and allowed the proposed charter ordinance to expire.

The City Council put the same issue before Bel Aire citizens at no additional cost to the City, as the election was timed to coincide with the state-wide primary election on 08/06/24. By making the charter ordinance expressly contingent on a public referendum, the City Council honored the public interest that was previously expressed. Charter Ordinance No. 25 passed with 443 Yes votes and 413 No votes.

Discussion: The resolution now recommended to City Council would designate the City's website as the official city newspaper. It also requires that the City website be made available to all citizens, that items be archived online for a period of not less than five years, that information be provided in a searchable format, and a process for the City website if disabled. If federal, state, or local laws require legal notice to be published on its official website and in a newspaper, the City is required to comply with those specific publication requirements. For these purposes, unless otherwise revised by subsequent resolution of the City Council, the *Ark Valley News* shall be the City's official newspaper. If at any time, the *Ark Valley News* is unable to provide the needed services associated with serving as the City's official newspaper, the *Wichita Eagle* shall serve as the City's official newspaper.

Financial Considerations: The estimated cost savings, were self-publication on the City's website put into use, would be approximately \$4,500.00 per year.

Legal Considerations: The City Attorney has drafted and approved the proposed resolution. It requires a majority vote for approval.

Recommendation/Actions: It is recommended that City Council pass the proposed resolution.

Attachments: Proposed resolution

(Published in the Ark Valley News on October 3, 2024.)

RESOLUTION NO. _____

A RESOLUTION TO DESIGNATE THE OFFICIAL NEWSPAPERS FOR
THE CITY OF BEL AIRE PURSUANT TO CHARTER ORDINANCE NO. 25

WHEREAS, Charter Ordinance No. 25 requires the City to designate the official city newspaper by Resolution;

WHEREAS, the City desires to transparently communicate its actions to citizens and stakeholders through readily accessible means, including electronic media.

THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF BEL AIRE, KANSAS:

SECTION 1. For the purpose of this Resolution, the following terms shall have the following meanings:

“*City Website*” means the City of Bel Aire’s official internet website, accessible at the url address www.belaireks.gov or such other internet website the City of Bel Aire may designate by future resolution.

“*Electronic publication or electronically publish*” means the public display on the City Website of a Legal Notice in Hypertext Markup Language (HTML) format, Portable Document Format (PDF), or other plainly viewable format.

“*Legal Notice*” means any notice, resolution, ordinance, or other matter of the City of Bel Aire that, pursuant to statutes, rules or regulations is required to be published in the official city newspaper.

SECTION 2. In lieu of the provisions set forth in K.S.A. 64-101, the City Website is hereby designated as the official city newspaper of the City of Bel Aire. All legal notices required by law to be published in the official city newspaper shall be electronically published on the City Website with the date of electronic publication. For ordinances, resolutions, and public hearings requiring publication, the City Clerk must execute an affidavit verifying that the document was properly published on the City’s Website.

Further, should specific laws of the State of Kansas, United States of America, or the City of Bel Aire, require additional publication requirements, the City of Bel Aire may cause the required legal notice to be published on its official website and in a newspaper. For these purposes, unless otherwise revised by subsequent resolution of the City Council, the *Ark Valley News* shall be the City's official newspaper. If at any time, the *Ark Valley News* is unable to provide the needed services associated with serving as the City's official newspaper, the *Wichita Eagle* shall serve as the City's official newspaper.

SECTION 3. Electronic publication on the City Website must meet the following requirements:

- (a) The City Website is accessible to the public over the internet, twenty-four (24) hours a day, every day of the year. If at any time, the City Website is temporarily disabled, due to fraud, technical error, security failure, *maintenance*, any legal notice(s) shall be published in the *Wichita Eagle*, and the full text of any legal notice(s) shall be added to the City Website when the City Website is restored to full function;
- (b) The City Website shall prominently display a link to an electronic publication portal containing: (a) a list of all Legal Notices of the City of Bel Aire published within the last ninety (90) days; and (b) links to the full text of such Legal Notices. This electronic publication portal shall also contain a search function and other features that improve accessibility to Legal Notices;
- (c) The electronic publication portal shall contain a link to "submit inquiry" to the City Clerk, if access to any Legal Notice fails; and
- (d) Whenever an individual is unable to access an electronic publication of a Legal Notice, such individual shall, upon request, be provided a paper copy, not to exceed twenty pages of such Legal Notice, free of charge from the City Clerk.
- (e) Legal publications shall be archived and remain available online for a period of not less than five (5) years. Paper scanned or imaged copies of all relevant notifications and accompanying documents shall be maintained by the City Clerk as required by City Administrative Regulations, K.S.A. 13-518.

SECTION 4. Ordinance No. 415 is hereby repealed. All other ordinances or resolutions previously adopted by the City of Bel Aire establishing an official newspaper are repealed. However, any section of an existing ordinance or resolution not in conflict herewith is not repealed and remains in full force and effect.

SECTION 5. This Resolution shall be in full force and effect from and after its adoption by the Governing Body and publication.

ADOPTED by the Governing Body of the City of Bel Aire, Kansas on this 1st day of October, 2024.

[REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK]

CITY OF BELAIRE, KANSAS

Jim Benage, Mayor

ATTEST:

Melissa Krehbiel, City Clerk

APPROVED AS TO FORM:

Maria A. Schrock, City Attorney



MANAGERS REPORT

DATE: September 26, 2024
TO: Mayor Benage and City Council
FROM: Ted Henry, City Manager
RE: October 1, 2024 Agenda

Consent Agenda (Item VI)

Contains the minutes of the September 17th regular City Council meeting.

Appropriations Ordinance (Item VII)

This appropriation ordinance encompasses 9/10/2024 through 9/25/2024 expenses. Expenditures amounted to \$471,661.63. Of the reported expenses, \$218,267.26 are infrastructure costs for new developments. These costs are paid through special assessments. Both September payrolls will be included in the next AP Ordinance due to payroll implementation being completed.

City Requested Appearances (Item VIII)

There are two City Requested Appearances on the agenda.

- A. Edward Watson, II, attorney and Foulston Siefkin partner – Update on Streetlights Alliance for Fair Energy Rates (SAFER).
- B. Julie Stimson, Director, Sedgwick County Emergency Management - Regional Hazard Mitigation Plan.

Public Hearing (Item IX)

Around 2021, several Developers petitioned the City for improvements such as water distribution, sanitary sewer, paving, etc. The full list of improvements is included in your packet. As a result, the cost of said improvements are now to be special assessed against the benefitting properties. All properties being assessed have been notified and the public hearing allows property owners the ability to ask questions or share any comments. The mayor will open the public hearing. After all individuals present have been given the opportunity to speak on the matter, Council will close the hearing with a motion and vote.

Special Assessment Ordinance (Item A)

The City issued Temp Notes to fund certain projects. The work has been completed and the projects are set to be special assessed to the respective benefit districts. Notice was mailed to all affected property owners and a public hearing

was held earlier in the meeting. The Ordinance is ready for approval. Kevin Cowan with Gilmore & Bell will be at the meeting to answer any questions.

Resolution Adopting Regional Hazard Mitigation Plan (B)

Adoption of this regional plan is required by Homeland Security in order to access certain funds for disaster recovery and prevention. Julie Stimson, Director of Sedgwick County Emergency Management will be at the meeting to answer any questions.

Ordinance for Conditional Use (Item C)

At the September 12th Planning Commission meeting, the Commission considered an application for conditional use permit (CON-24-02) and held a public hearing on the same matter. The applicant / property owner requested to build an oversized shed for private use in an R-1 zoned district. The applicant and one neighbor spoke at the hearing. The neighbor asked about setbacks and inquired about the access to the shed. No others spoke. Following the public hearing, the Commission considered and discussed the application in relation to the “Golden Factors” of zoning and the City’s zoning regulations. Commissioners found that the requested conditional use would be consistent with uses in the surrounding neighborhood, consistent with the character of the neighborhood, and that approval has been recommended by permanent staff. Following discussion, the Commission voted (by 5-0) to recommend approval of the Conditional Use Permit on the condition that permanent staff verify the setbacks for this property. Staff have verified the setbacks for this zoning. The Conditional Use now comes before Council for final approval in the form of an Ordinance. As this is a zoning matter, it will be necessary to hold a roll call vote of the Council and the Mayor.

Resolution Designating Official Newspaper (Item D)

In May of 2024, the City Council approved Charter Ordinance No. 25, starting the process to allow the City to designate its website as the official newspaper for legal publications. Next, the Charter Ordinance was approved by a majority of voters in the July 2024 Primary election. Now, as a final step, the City Council will consider the proposed Resolution to officially designate the City’s website as the official newspaper. It’s worth noting that, if the Resolution is approved, some publications will need to be published on both the City website and in a local newspaper in order to comply with State and Federal regulations. City Attorney Maria Schrock has provided a staff report in your packet with more details, and she will be present at the meeting to take questions.

Executive Session (XIII)

Staff has requested one executive session.

Discussion and Future Issues – October Workshop

Staff would like Council’s input on the following items:

- Possible Special Meeting – October 8th at 6:00 p.m.?
- City Council Workshop – October 8th at 6:30 p.m.?
- City Hall Christmas Lights Discussion
- New Utility Bill Layout Discussion