



PLANNING COMMISSION REGULAR MEETING

550 E 6th Street, Beaumont, CA

Tuesday, November 09, 2021 - 6:00 PM

Materials related to an item on this agenda submitted to the Planning Commission after distribution of the agenda packets are available for public inspection in the City Clerk's office at 550 E. 6th Street during normal business hours.

AGENDA

MEETING PARTICIPATION NOTICE

This meeting will be conducted utilizing teleconference communications and will be recorded for live streaming as well as open to public attendance subject to social distancing and applicable health orders. All City of Beaumont public meetings will be available via live streaming and made available on the City's official YouTube webpage. Please use the following link during the meeting for live stream access.

beaumontca.gov/livestream

Public comments will be accepted using the following options.

1. Written comments will be accepted via email and will be read aloud during the corresponding item of the meeting. Public comments shall not exceed three (3) minutes unless otherwise authorized by City Council. Comments can be submitted anytime prior to the meeting as well as during the meeting up until the end of the corresponding item. Please submit your comments to: nicolew@beaumontca.gov
2. Phone-in comments will be accepted by joining a conference line prior to the corresponding item of the meeting. Public comments shall not exceed three (3) minutes unless otherwise authorized by City Council. Please use the following phone number to join the call **(951) 922 - 4845**.
3. In person comments subject to the adherence of the applicable health orders and social distancing requirements.

In compliance with the American Disabilities Act, if you require special assistance to participate in this meeting, please contact the City Clerk's office using the above email or call **(951) 572 - 3196**. Notification 48 hours prior to a meeting will ensure the best reasonable accommodation arrangements.

REGULAR SESSION

6:00 PM

CALL TO ORDER

Chairman Patrick Stephens, Vice Chair Nathan Smith, Commissioner Paul St. Martin, Commissioner Anthony Colindres, Commissioner Jessica Black

Pledge of Allegiance

Adjustments to Agenda

Conflict of Interest Disclosure

PUBLIC COMMENT PERIOD (ITEMS NOT ON THE AGENDA):

Any one person may address the Committee on any matter not on this agenda. If you wish to speak, please fill out a "Public Comment Form" provided at the back table and give it to the Committee Chair or Secretary. There is a three (3) minute limit on public comments. There will be no sharing or passing of time to another person. State Law prohibits the Committee from discussing or taking actions brought up by your comments.

ACTION ITEMS / PUBLIC HEARINGS / REQUESTS

Approval of all Ordinances and Resolutions to be read by title only.

1. Approval of Minutes

Recommended Action:

Approve Minutes dated October 26, 2021

2. Tentative Parcel Map No. 38090 (PM2021-0008) for Consideration of a Finance and Conveyance Map to Subdivide 223 Acres into Seven (7) Parcels, One (1) Remainder Parcel, and Two (2) Lettered Lots Consisting of Phase 4B of Tentative Tract Map 31462 within the Oak Valley and SCPGA Golf Course Specific Plan. APN: Portion of 413-790-010, -012 and -042

Recommended Action:

Hold a public hearing, and

Forward a recommendation of approval to the City Council for Tentative Parcel Map No. 38090 (PM2021-0008) subject to the Development Agreement and conditions of approval.

3. Plot Plan (PP2021-0386) and Conditional Use Permit (CUP2021-0059) for Consideration of a Request to Demolish the Former Denny's Restaurant and Construct a 2,200 Square Foot Coffee Shop with a Drive-Thru on 0.64 Acres Located on Fourth Street, East of Beaumont Avenue in the Community Commercial Zone. APNS: 418-190-003 and a Portion of 418-190-004 and -005

Recommended Action:

Hold a public hearing,

Approve Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059, subject to the attached Conditions of Approval, and

Direct staff to prepare a Notice of Exemption for the applicant to file with the Riverside County Clerk Recorder.

4. PLAN2021-0669 for Consideration of a Sign Program for the Beaumont Landing Project Located at 1396 Desert Lawn Drive (APNS: 414-090-005 & 414-090-007) in the Community Commercial (CC) Zone

Recommended Action:

Approve PLAN2021-0669 for the Beaumont Landing Sign Program as presented.

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

ADJOURNMENT

The next regular meeting of the Beaumont Planning Commission is scheduled for Tuesday, December 14, 2021, at 6:00 p.m. or thereafter as noted on the posted Agenda at City Hall
Beaumont City Hall – Online www.BeaumontCa.gov

PLANNING COMMISSION REGULAR MEETING

550 E 6th Street, Beaumont, CA

Tuesday, October 26, 2021 - 6:00 PM

MINUTES

REGULAR SESSION

6:00 PM

CALL TO ORDER at 6:00 p.m.

Present: Chairman Patrick Stephens, Vice Chair Nathan Smith, Commissioner Paul St. Martin, Commissioner Jessica Black

Absent: Commissioner Anthony Colindres.

Pledge of Allegiance

Adjustments to Agenda

Conflict of Interest Disclosure

PUBLIC COMMENT PERIOD (ITEMS NOT ON THE AGENDA):

No comments.

ACTION ITEMS / PUBLIC HEARINGS / REQUESTS

Approval of all Ordinances and Resolutions to be read by title only.

1. Approval of Minutes

Motion by Vice Chair Smith

Second by Commissioner St. Martin

To Approve minutes dated:

September 14, 2021

September 28, 2021

Approved by a 4-0 vote.

2. Plot Plan (PP2021-0335) and Environmental (ENV 2021-0016) for the Construction and Operation of a Battery Energy Storage Project Commonly Referred to as "Terra-Gen" Located at 248 Veile Avenue (APN'S: 417-110-012, 417-130-012 and 417-130-005) in the Manufacturing (M) Zone

M. Taylor, A representative from the applicant Terra-Gen addressed the project and gave a brief presentation.

Public Hearing opened at 6:40 p.m.

M. Bogh - (Written comment) Spoke in support of the project.

B. Rader - *Representing the Beaumont Chamber of Commerce, spoke in support of the project.*

Public Comment closed at 6:55 p.m.

Motion by Vice Chair Smith

Second by Commissioner St. Martin

To Approve Plot Plan PP2021-0335, subject to the attached Conditions of Approval effective November 18th, and direct staff to prepare a Notice of Exemption for the applicant to file with the Riverside County Clerk Recorder.

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

Next meeting will be November 9, 2021. There will not be a second meeting in November.

ADJOURNMENT at 6:58 p.m.



Staff Report

TO: Planning Commissioners

FROM: Carole Kendrick, Planning Manager

DATE: November 9, 2021

SUBJECT: **Tentative Parcel Map No. 38090 (PM2021-0008) for Consideration of a Finance and Conveyance Map to Subdivide 223 Acres into Seven (7) Parcels, One (1) Remainder Parcel, and Two (2) Lettered Lots Consisting of Phase 4B of Tentative Tract Map 31462 within the Oak Valley and SCPGA Golf Course Specific Plan. APN: Portion of 413-790-010, -012 and -042**

APPLICANT: Meritage Homes of California, a California Corporation

Background and Analysis:

The applicant is requesting approval of a Tentative Parcel Map No. 38090 (PM2021-0008) for a finance and conveyance map for the subdivision of 223 acres into seven (7) parcels, one (1) remainder parcel, and two (2) lettered lots consisting of Phase 4B of Tentative Tract Map 31462 within the Oak Valley and SCPGA Golf Course Specific Plan. The proposed application is consistent with the Final Environmental Impact Report (FEIR) that was adopted for the underlying project Oak Valley and SCPGA Golf Course Specific Plan (SP318/ EIR418).

The Oak Valley SCPGA Specific Plan #318 encompassing 1,747.9 acres allowing 4,355 dwelling units was adopted by the County of Riverside on August 14, 2001. The property was annexed into the City of Beaumont on April 9, 2003, by the Local Agency Formation Commission (LAFCO) by LAFCO 2002-43-5. The Oak Valley SCPGA Specific includes the developments of Fairway Canyon and Tournament Hills. The subject property is located within the Fairway Canyon portion of the specific plan.

Fairway Canyon has constructed Phase 1 and 2 of the development, is nearing completion of Phase 3, and has two merchant builders actively building in Phase 4A. The subject property is located within Phase 4B and 4C of the development and more specifically in Planning Areas 18A, 18B, 20A1, 20A2, 20B1, 20B2, 20C1, 20C2, 21B, 22A, 22B, 22C, and 22D, as shown in Exhibit F.

The proposed finance and conveyance map does not allow development of the parcels but does provide larger lots to be sold or transferred. Future development of the lots will require the recordation of final tract maps, in which tentative tract maps are already approved for the subject property. The project has been conditioned to preclude development until such time that the final tract maps are recorded.

Development Review Committee (DRC):

The Development Review Committee reviewed for the project for design on March 18, 2021, August 19, 2021, and October 7, 2021. Staff from the various City departments provided written comments that have been incorporated into the proposed conditions of approval.

CEQA Review:

From the standpoint of the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) was prepared and certified in 2001 for the Oak Valley SCPGA Specific Plan (Specific Plan No. 318) (SCH# 2000051126), with latest Addendum of the EIR was approved by City Council in 2014 (13-EIR-03), assessing the environmental impacts of the overall project and subsequent implementation steps, including subdivision of the site. The EIR and the findings made by the City Council remain pertinent and adequate for use for current application. Execution of this subdivision will require adherence to the mitigation monitoring program established for the project.

Public Communications:

On October 29, 2021, property owners located within a 300-foot radius of the project site were notified of the public hearing. In addition, a notice was published in the Press Enterprise newspaper with a 10-day advanced notice of the hearing. At the time of report preparation, the Planning Department has not received any letters of comment from the public in favor or opposition to the project. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the public hearing.

Approval Authority:

The Beaumont Municipal Code, Section 16.04.020 designates the Planning Commission as the “advisory agency” charged with reviewing and making

recommendations on all proposed parcel map land divisions and tentative subdivision maps in the City. Section 16.24.050.A authorizes the Planning Commission to conditionally approval or disapprove all tentative parcel maps and tentative subdivision maps and land divisions and submit to the City Council for final approval.

When a tentative map is required under the Subdivision Map Act (66463.5(a)), an approved or conditionally approved tentative map shall expire 24 months after its approval or conditional approval. The Subdivision Map Act does allow for up to four (4) years of extensions subject to approval by the original approving body, however the proposed subdivision is subject to the Development Agreement (City of Beaumont Resolution No. 1987-34) dated November 18, 2003, which has a term of 25 years (Item 7 of the DA) and tentative tract maps shall be granted an extension of time for the term of the Development Agreement (Item 33 of the DA). Therefore, the expiration date for the proposed subdivision is November 18, 2028.

The project setting can also be seen in the following materials attached to this staff report:

- General Plan Land Use Map (Attachment C)
- Zoning Map (Attachment D)
- Aerial Photograph (Attachment E)

The 223-acre site is currently vacant. The property is located in an area which contains single family residences to the north and east, and vacant land to the south and west. The land uses, zoning, and General Plan land use designations of the project site and surrounding area are shown in the following table.

| | LAND USE | GENERAL PLAN | ZONING |
|---------------------|---------------------------|--|--------------------------------|
| PROJECT SITE | Vacant Land | Single Family Residential | Oak Valley Specific Plan (SPA) |
| NORTH | Single Family Residential | Open Space | Oak Valley Specific Plan (SPA) |
| SOUTH | Vacant Land | Open Space | Oak Valley Specific Plan (SPA) |
| EAST | Single Family Residential | Open Space and Single Family Residential | Oak Valley Specific Plan (SPA) |
| WEST | Vacant Land | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |

Recommended Action:

Hold a public hearing, and
Forward a recommendation of approval to the City Council for Tentative Parcel Map No. 38090 (PM2021-0008) subject to the Development Agreement and conditions of approval.

Attachments:

- A. Tentative Parcel Map No. 38090
- B. Draft Conditions of Approval
- C. General Plan Land Use Designation Map
- D. Zoning Map
- E. Aerial Photograph
- F. Fairway Canyon - Phase 4 Phasing Map
- G. Proof of Publication

Incorporated herein by Reference:

City of Beaumont General Plan
City of Beaumont Zoning Ordinance
Project Site's Riverside Conservation Authority Multi-Species Habitat Conservation Plan Informational Map
Contents of City of Beaumont Planning Department Project File Tentative Parcel Map No. 38090 (PM2021-0008), Tentative Tract Map No. 31426, Tentative Parcel Map No. 37366 (PW2019-0387), LAFCO 2002-43-5, 02-ANX-02, Development Agreement dated November 18, 2003, PLAN2021-0625 (Partial Assignment & Assumption of Development Agreement), Oak Valley SCPGA Specific Plan 318 and Environmental Impact Report 418.



**CITY OF BEAUMONT
PLANNING DEPARTMENT
DRAFT CONDITIONS OF APPROVAL**

PLANNING COMMISSION DATE: November 9, 2021

CITY COUNCIL DATE: December 7, 2021

PROJECT NAME: Tentative Parcel Map No. 38090

PROJECT NO.: PM2021-0008

DESCRIPTION: A request for a finance and conveyance map to subdivide 223 acres into seven (7) parcels, one (1) remainder parcel, and two (2) lettered lots consisting of Phase 4B of Tentative Tract Map 31462 within the Oak Valley & SCPGA Golf Course Specific Plan.

APPLICANT: Meritage Homes of California, a California Corporation

LOCATION: West of Tukwet Canyon Parkway and north of San Timoteo Canyon Road

APN: Portion of 413-790-010, -012 & -042

PROJECT

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

STANDARD CONDITIONS

The following conditions of approval are for Tentative Parcel Map No. 38090 and consist of all subsequent conditions and all conditions of approval for the Oak Valley Specific Plan (SP No. 318) and the Mitigation Monitoring and Reporting Plan.

1. The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning TENTATIVE PARCEL MAP NO. 38090 and the Environmental Impact Report certified by the Beaumont City Council in conjunction with the SCGPA Golf Course at Oak Valley Specific Plan, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont.

Tentative Parcel Map No. 38090
Draft Conditions of Approval
Page 2

2. The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.
3. This conditionally approved tentative map will expire on November 18, 2028, per 7 of the Development Agreement between the City of Beaumont and SDC Fairway Canyon LLC, a Delaware limited liability company, that has been partially assigned and assumed by Meritage Homes of California, Inc., a California corporation. Action on a minor change and/or revised map request will not extend the time limits of the tentative map. Approval of the final map by the City Council is required.
4. The conveyance/financing purposes map is located within the SCGPA Golf Course at Oak Valley Specific Plan. The project is limited to the overall density and intensity, allowed uses, design guidelines, including entry monumentation and landscaping, setbacks shall comply with SCGPA Golf Course at Oak Valley Specific Plan.
5. This map is approved for financing and land conveyance purposes only. No applications for building permits or grading permits shall be submitted for the parcels/lots created by this map until approval of subsequent tentative maps for development purposes.
6. If required by the Planning Department, within ten (10) days of approval by the City Council ten (10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Department prior to release of the final conditions of approval.
7. Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal.
8. The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Department.
9. The properties contained within Tentative Parcel Map 38090 are part of the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, approved originally by the Beaumont City Council on November 5, 2002, and later amended in 2004, 2005, and 2014. The provisions and criteria of the SCPAGA Golf Course at Oak Valley Specific Plan shall control and guide the development.
10. An Environmental Impact Report EIR was prepared and certified for the SCPGA

Tentative Parcel Map No. 38090
 Draft Conditions of Approval
 Page 3

Golf Course at Oak Valley Specific Plan Specific Plan, Addendum(s) were prepared for the subsequent amendment and a series of mitigation measures were adopted by the City Council to mitigate the potential impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Parcel No. 38090.

11. The approval of this map shall not result in any vesting provisions relative to City of Beaumont fees and exactions. The provisions of the Development Agreement shall prevail in all cases.
12. The proposed parcels shall have legal access from a public road, or access shall be feasible and required by conditions of approval of the approved Tentative Tract Map No. 31462.

FIRE DEPARTMENT CONDITIONS

With respect to the conditions of approval for the referenced project, the Fire Department requires the following fire protection measures be provided in accordance with Riverside County Ordinances and/or recognized fire protection standards:

13. PRIOR TO FINAL MAP RECORDATION: The applicant shall dedicate, as a separate instrument, the right-of-way for Sorenstam Drive as shown on Tentative Map No. 38090.
14. PRIOR TO FINAL MAP RECORDATION: The applicant shall show all easement dedications necessary for legal access to each parcel, on the Final Map. Said easements may be dedicated prior to the recordation of the map via separate instrument but must be referenced on final map.

PUBLIC WORKS

MAPPING

15. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare the final map in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification; Riverside County Ordinance 460; and RCTD Map Preparation Manual.
16. PRIOR TO FINAL MAP RECORDATION: When changes to an approved Tentative Map are proposed, a Substantial Compliance Exhibit, in the same scale as the Tentative Map, shall be submitted for review and approval by the City Engineer.

Tentative Parcel Map No. 38090
Draft Conditions of Approval
Page 4

17. PRIOR TO FINAL MAP RECORDATION: Monuments shall be provided in accordance with Section 8771 of the Business and Professions Code. Street centerline monuments shall be deferred to subsequent entitlements. External monuments and Internal monuments shall be set prior to final map recordation.

18. PRIOR TO FINAL MAP RECORDATION: The applicant shall dedicate, as a separate instrument, the right-of-way for Sorenstam Drive as shown on Tentative Map No. 38090.

19. PRIOR TO FINAL MAP RECORDATION: The applicant shall show all easement dedications necessary for legal access to each parcel, on the Final Map. Said easements may be dedicated prior to the recordation of the map via separate instrument but must be referenced on final map.

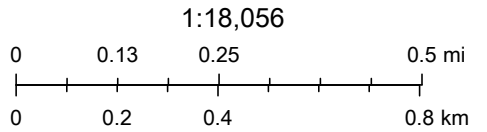
End of Conditions

TPM38090 General Plan Land Use Designation Map



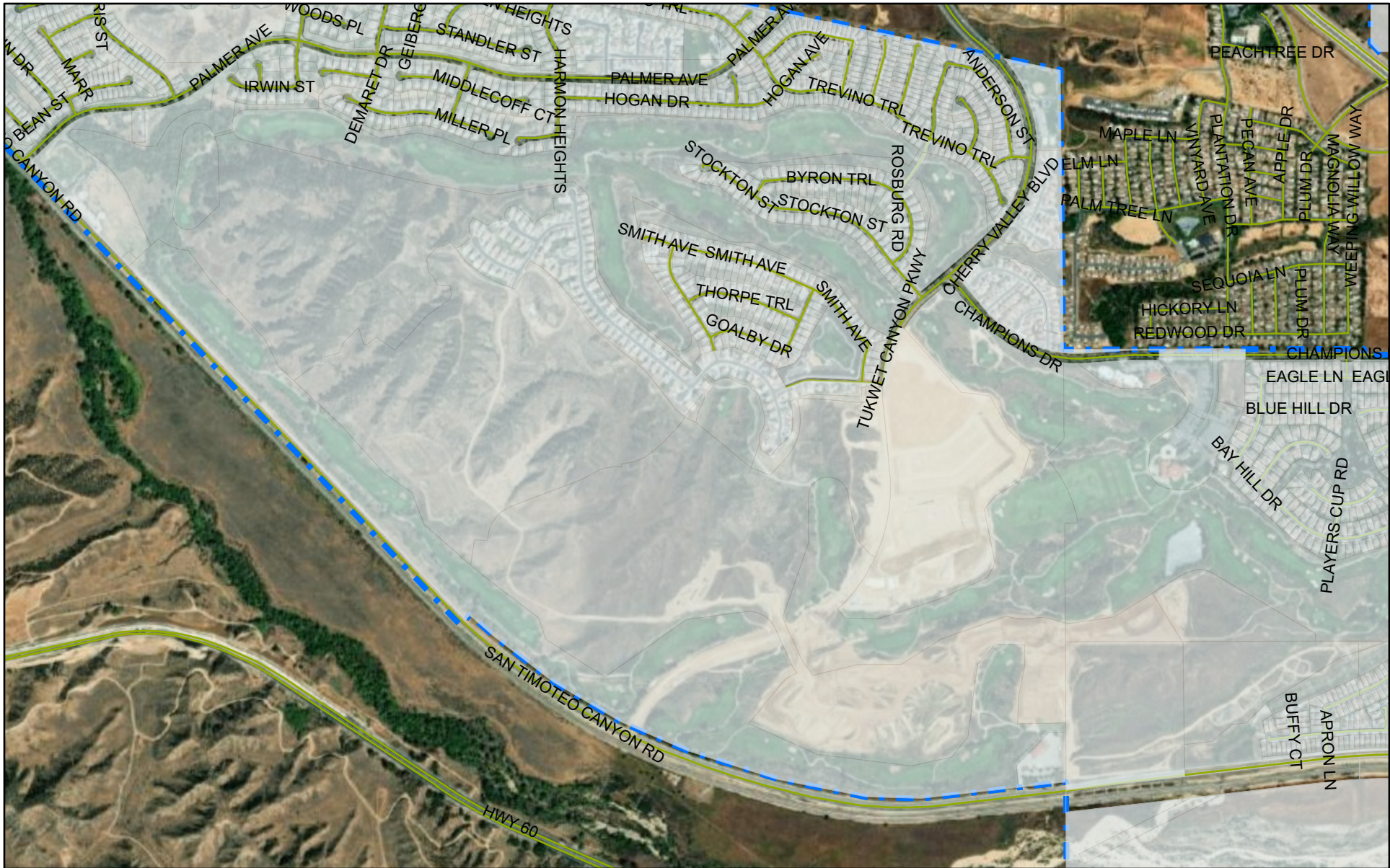
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- General Plan
- Single Family Residential
- Open Space
- Rural Residential 1
- City Boundary
- Street Labels



San Bernardino County, Maxar

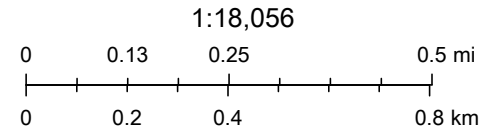
TPM38090 Zoning Map



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Zoning

- Recreation/Conservation
- City Boundary
- Union Pacific Rail Roadway
- Specific Plan
- Street Labels



San Bernardino County, Maxar

TPM38090 Aerial Photograph

Item 2.



Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

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539

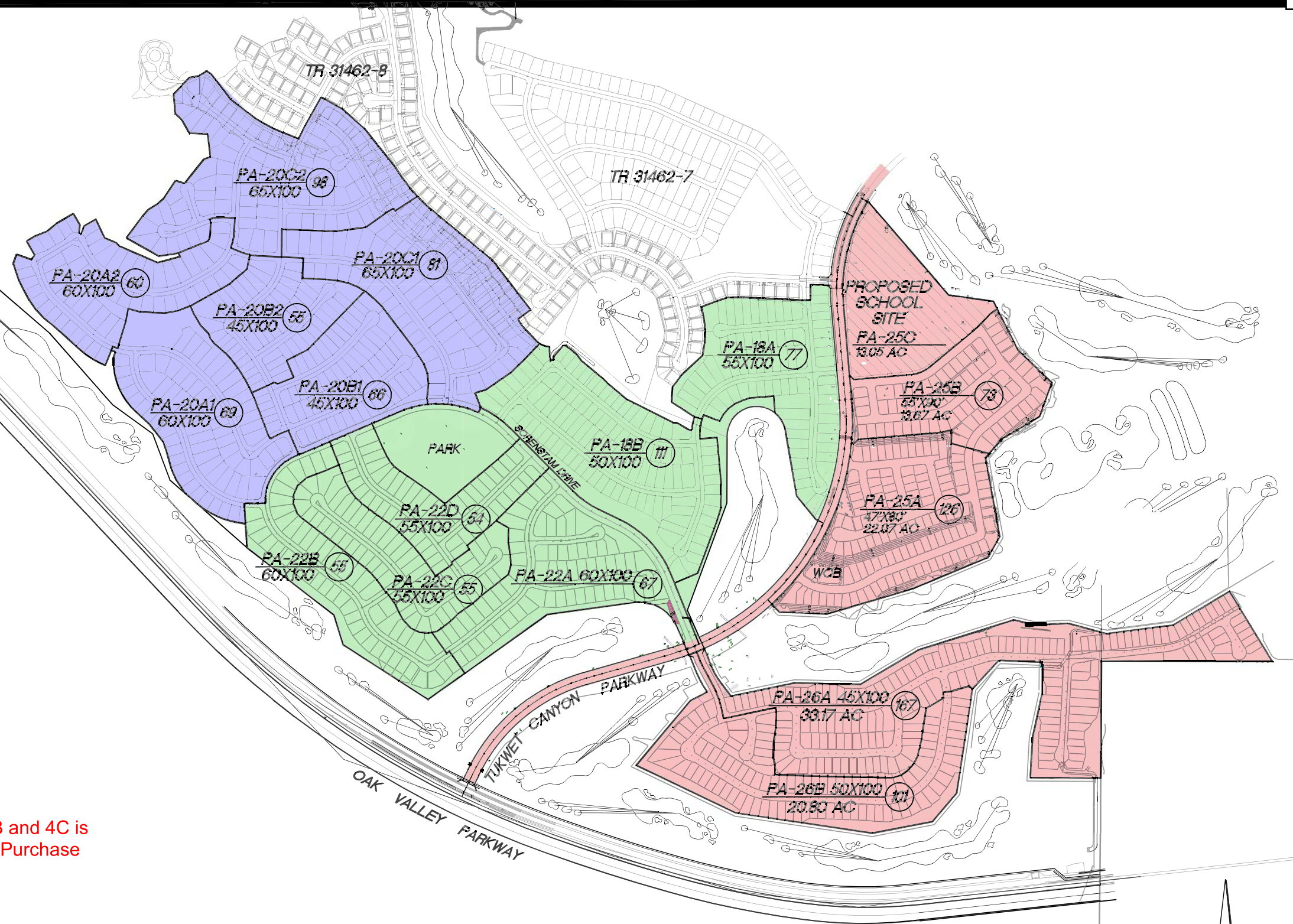
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© Riverside County GIS

- # NUMBER OF DWELLING UNITS
- PHASE 4A - ±111.6 AC
- PHASE 4B - ±107.9 AC
- PHASE 4C - ±105.0 AC

| PROPOSED DESIGN | | | |
|-----------------|--------------|-----------|----------------|
| P.A. | LOT/PAD SIZE | # OF LOTS | ACREAGE |
| 25A | 47'X80' | 126 | 22.07 AC GROSS |
| 26A | 45'X100' | 167 | 33.17 AC GROSS |
| 26B | 50'X100' | 101 | 20.80 AC GROSS |
| 25B | 55'X90' | 73 | 13.67 AC GROSS |
| 25C | N/A | N/A | 13.05 AC GROSS |
| SUBTOTAL | | 467 | |
| 18A | 55'X100' | 77 | |
| 18B | 50'X100' | 111 | |
| 22A | 60'X100' | 67 | |
| 22B | 60'X100' | 55 | |
| 22C | 55'X100' | 55 | |
| 22D | 55'X100' | 54 | |
| SUBTOTAL | | 419 | |
| 20A1 | 60'X100' | 69 | |
| 20A2 | 60'X100' | 60 | |
| 20B1 | 45'X100' | 66 | |
| 20B2 | 45'X100' | 55 | |
| 20C1 | 65'X100' | 81 | |
| 20C2 | 65'X100' | 98 | |
| SUBTOTAL | | 429 | |
| TOTAL | | 1315 | |

Phase 4B and 4C is Meritage Purchase



SCALE: 1" = 700'

FAIRWAY CANYON PHASE 4

PROACTIVE ENGINEERING WEST, INC.
 25109 JEFFERSON AVE. SUITE 200
 MURRIETA, CA 92562
 951-200-6840

PROACTIVE ENGINEERING WEST
 DATE: 03/14/2019

THE PRESS-ENTERPRISE

1825 Chicago Ave, Suite 100
Riverside, CA 92507
951-684-1200
951-368-9018 FAX

PROOF OF PUBLICATION (2010, 2015.5 C.C.P)

Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

10/30/2021

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: October 30, 2021
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BEAUMONT, CITY OF / LEGAL
550 E SIXTH ST
BEAUMONT, CA 92223

Ad Number: 0011497808-01

P.O. Number:

Ad Copy:

LEGAL ADVERTISEMENT

Item 2.

NOTICE IS HEREBY GIVEN, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, November 9, 2021, and the City Council's public hearing will be held at 6:00 p.m. on Tuesday December 7, 2021, at 550 East Sixth Street, Beaumont, California.

TENTATIVE PARCEL MAP NO. 38090 (PM2021-0008), Conduct a public hearing and consideration of a request for a finance and conveyance map to subdivide 223 acres into seven (7) parcels, one (1) remainder parcel, and two (2) lettered lots consisting of Phase 4B of Tentative Tract Map 31462 within the Oak Valley & SCPGA Golf Course Specific Plan. The proposed application is consistent with the Final Environmental Impact Report (FEIR) that was adopted for the underlying project Oak Valley & SCPGA Golf Course Specific Plan (SP318/ EIR418). APN: Portion of 413-790-010, -012 & -042

The applicant for this project is **MERITAGE HOMES OF CALIFORNIA, A CALIFORNIA CORPORATION**

Public comments can be made in person with adherence to the current COVID-19 safety protocols, using the public comment phone line or by written email. Phone-in comments will be accepted by calling the designated public comment phone line (951) 922-4845 prior to the corresponding item. Public comments shall not exceed three minutes unless otherwise authorized by Planning Commission or City Council. Written comments can be emailed to NicoleW@BeaumontCa.gov Public comments accepted via email will be read aloud during the corresponding item of the meeting. Comments can be submitted any time prior to the meeting as well as during the meeting until the end of the corresponding item.

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Carole Kendrick
Planning Manager

Press-Enterprise: 10/30



Staff Report

TO: Planning Commissioners

FROM: Carole Kendrick, Planning Manager

DATE: November 9, 2021

SUBJECT: **Plot Plan (PP2021-0386) and Conditional Use Permit (CUP2021-0059) for Consideration of a Request to Demolish the Former Denny's Restaurant and Construct a 2,200 Square Foot Coffee Shop with a Drive-Thru on 0.64 Acres Located on Fourth Street, East of Beaumont Avenue in the Community Commercial Zone. APNS: 418-190-003 and a Portion of 418-190-004 and -005**

APPLICANT: Orum Capital

Background and Analysis:

The applicant is requesting approval of two (2) applications that were submitted on July 30, 2021. The individual requests are broken down below:

Plot Plan No. PP2021-0386 is required by the Beaumont Municipal Code per Section 17.02.070 to establish a new land use. The proposed land use includes a new 2,200 square quick service coffee shop with a drive-thru located at 449 E. Fourth Street. Fast food restaurants with a drive-thru uses are permitted per Beaumont Municipal Code Section 17.02.100 and Table 17.03-3.

Conditional Use Permit No. CUP2021-0059 is required by the Beaumont Municipal Code per Section 17.02.100 and Table 17.03-3 for particular uses. Restaurants with a drive-thru are uses subject to a Conditional Use Permit in the Community Commercial zone. The table also identifies two (2) footnotes for restaurants with drive-thru uses, which are as follows:

2. These uses shall not be located on any parcel which is located within 1,000 feet of any school providing instruction in 12th grade or below, day care center, or youth center.
3. New fast-food restaurants should not be located within 1,000 feet of another fast-food restaurant.

The subject site is not located within 1,000 feet of any of the sensitive receptors identified in footnote No. 2. The proposed drive-thru will be located slightly over 100 feet from the existing Del Taco drive-thru restaurant, however the Beaumont Municipal Code language states that it should be 1,000 feet and not shall, which provides flexibility on a case-by-case basis. Due to the location, access and site constraints, a non-drive-thru use would likely not be feasible at this location.

The applicant did process a Preliminary Review (PLAN2020-0547) application in late 2020 to obtain written comments from staff on the conceptual design and has also entered into a purchase agreement to purchase a portion of two (2) of the City owned parcels to the south (APNS: 418-190-004 and 418—190-005). The purchase agreement was approved by the City Council in August of this year.

Project Setting:

The 0.64-acre site includes one (1) privately owned parcel and a portion of two (2) City owned properties. The site is currently improved with a vacant restaurant (Denny’s) with a rolled asphalt curb on the Fourth Street Frontage with no other improvements. The subject properties are surrounded by commercial uses to the north and west, and vacant land to the south and east.

The project setting can also be seen in the following materials attached to this staff report:

- General Plan Land Use Map (Attachment C),
- Zoning Map (Attachment D), and
- Aerial Photograph (Attachment E).

The land uses, zoning, and General Plan land use designations of the project site and surrounding area are shown in the following table.

| | LAND USE | GENERAL PLAN | ZONING |
|---------------------|----------------------------|-------------------------|---------------------------|
| PROJECT SITE | Existing Vacant Restaurant | GC (General Commercial) | CC (Community Commercial) |
| NORTH | Motorcycle Repair Shop | GC (General Commercial) | CC (Community Commercial) |

| | | | |
|--------------|---------------------|-------------------------|---------------------------|
| SOUTH | Vacant Land | GC (General Commercial) | CC (Community Commercial) |
| EAST | Vacant Land | GC (General Commercial) | CC (Community Commercial) |
| WEST | Del Taco Restaurant | GC (General Commercial) | CC (Community Commercial) |

Site Design:

The site currently is developed with a vacant restaurant that is proposed to be demolished to accommodate a 2,200 square foot Starbucks coffee shop with a drive thru. The building is situated on the eastern half of the subject parcel and the drive thru wraps around the building in a horseshoe design with the entrance on the south side of the building and exiting on the north side of the building.

The new parking field will be located on the western portion of the property and to the south of the proposed building. The site can be accessed from a new proposed driveway located on Fourth Street or via an access agreement with the property to the west (Del Taco). The project has also been conditioned to construct half-width improvements on Fourth Street that include curb and gutter, sidewalks and commercial driveway entrance.

The attached Development Plans (Attachment A) include the site layout, grading, elevations and conceptual landscaping.

Architecture:

The proposed project will utilize a modern style of architecture that includes varied rooflines and building planes to create visual interest. Exterior accents include metal cantilever awnings, brick veneers, cornice treatments to create visual interest. The buildings also propose multiple planes for an increased architectural effect.

Exterior finish treatments are comprised of a mixture of painted stucco in beige and tan tones with brown and black for accent colors. The project is proposing parapet roofs

with varied heights between 20 to 25 feet with cornice treatments, as shown in Attachment A.

Circulation and Parking:

Per Beaumont Municipal Code Table 17.05-1 fast food restaurants are calculated at one (1) space per 100 square feet of gross floor area. The proposed drive-thru restaurant will require a minimum of 22 parking spaces. The Municipal Code table also includes footnote 1 that requires a minimum standard vehicle stacking capacity in a drive-thru lane at eight (8) vehicles. The project is proposing to provide 22 parking stalls and stacking for eight (8) vehicles consistent with the Beaumont Municipal Code.

Hours of Operation:

The quick service restaurant is proposing hours between 4:30am to 10pm, seven (7) days a week, as indicated in the applicant statement of operations (see Attachment F).

Multi-Species Habitat Conservation Plan (MSHCP):

The project is found to be consistent with the MSHCP. The project is located outside of any MSHCP criteria area and mitigation is provided through payment of the MSHCP Mitigation Fee.

Development Review Committee (DRC):

The Development Review Committee reviewed for the project for design August 12, 2021. Staff from the various City departments provided written comments that have been incorporated into the proposed conditions of approval.

Environmental Documentation:

This project is exempt from review under the California Environmental Quality Act (CEQA) under CEQA Guidelines Section 15332 in that information contained in the project file and documents incorporated herein by reference demonstrates that: Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059 are consistent with the General Commercial General Plan designation and all applicable General Plan policies as well as the applicable zoning designation of Community Commercial; the proposed project site is located within the boundaries of the City of Beaumont; Plan PP2021-0386 and Conditional Use Permit CUP2021-0059 has no value as habitat for endangered, rare or threatened species; there is no substantial evidence in the record that Plan

PP2021-0386 and Conditional Use Permit CUP2021-0059 will result in significant effects related to traffic, noise, air quality or water quality in that the proposed design incorporates and otherwise is subject to air and water quality resource agency design requirements to avoid harmful effects; and the site is or can be adequately served by all required utilities and public services. As such, the project meets the criteria for application of a Class 32 (In-Fill Development) Categorical Exemption under the CEQA Guidelines. Additionally, none of the exceptions provided in CEQA Guidelines Section 15300.2 apply to this project.

Public Communications:

On October 29, 2021, property owners located within a 300-foot radius of the project site were notified of the public hearing. In addition, a notice was published in the Press Enterprise newspaper with a 10-day advanced notice of the hearing. At the time of report preparation, the Planning Department has not received any letters of comment from the public in favor or opposition to the project. Any comments received prior to the time of the scheduled Planning Commission meeting will be provided to the Commission at the time of the public hearing.

Planning Commission Authority:

A plot plan is required per Section 10.02.070 to establish a new land use, or to assume an existing land use, consistent with the zoning of the proposed location and requires a public hearing conducted by the Planning Commission. The Beaumont Municipal Code Section 17.02.070.F authorizes the Planning Commission to approve, conditionally approve, or deny the application.

The Community Commercial zone allows fast food restaurants with a drive thru as a conditionally permitted use, per Table 17.03-3 subject to approval of a Conditional Use Permit. The Beaumont Municipal Code Section 17.02.100.F authorizes the Planning Commission to approve, conditionally approve, or deny the application.

Plot Plan Findings:

1. The proposed use is permitted, or is substantially similar to a use permitted, within the subject zone and complies with the intent of all applicable provisions of the Zoning Ordinance.

The project is subject to and is consistent with the Development Standards for the Community Commercial (CC) zone. The zoning allows fast-food restaurants with a drive-thru subject to a conditional use permit

2. The proposed use is consistent with the objectives, policies, general plan land uses and programs of the general plan and any applicable specific plans.

The proposed project is in conformance with the General Plan for the City of Beaumont. The land use designation for the project site is General Commercial (GC). The proposed development is consistent with the General Plan policies.

3. The subject site is physically suitable for the type and intensity of the proposed land use.

The project is in a commercial area that is partially developed. The is generally flat and is located in a partially developed project and is suitable for commercial development.

4. The location, size, design and operating characteristics of the proposed uses is compatible with existing land uses within the general area in which the proposed use is located.

The zoning for the project site is Community Commercial (CC) and the land use designation is and General Commercial (GC). The proposed project is surrounded by property that is currently zoned Community Commercial and designated as General Commercial in the General Plan. The site is surrounded by partially developed land. The proposed uses are compatible with the surrounding commercial zoned properties

5. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed land use would not be detrimental to the public convenience, health, safety or general welfare.

The site is served by the Beaumont-Cherry Valley Water District for water services and the City of Beaumont for sewer disposal system. Electricity will be provided by Southern California Edison and natural gas will be provided by the Southern California Gas Company. Solid waste and refuse services are provided by Waste Management, Inc. on behalf of the City of Beaumont. The site can be adequately served and will not be detrimental to public health and safety.

6. The approval of the plot plan permit for the proposed uses is in compliance with the requirements of the California Environmental Quality Act and there would be no significant adverse impacts upon environmental quality and natural resources that cannot be reasonably mitigated and monitored.

The project is exempt from CEQA under Section 15332 In-Fill Development Projects. There are no adverse impacts anticipated by this project.

Conditional Use Permit Findings:

The Planning Commission may approve and/or modify a Conditional Use Permit in whole or in part, with or without conditions, provided that all of the following findings of fact are made:

1. The proposed uses conditionally permitted within the subject zone and complies with the intent of all applicable provisions of this Zoning Ordinance.

The project is subject to and is consistent with the Development Standards for the Community Commercial (CC) zone. The zoning allows fast-food restaurants with a drive-thru subject to a conditional use permit.

2. The proposed uses would not impair the integrity and character of the zone in which it is to be located.

The subject property is zoned Community Commercial (CC) allows fast-food restaurants with a drive-thru subject to a Conditional Use Permit. The site is located in an area that is surrounded by currently zoned Community Commercial (CC) properties and will not impair the integrity or character of the zone.

3. The subject site is physically suitable for the type of land use being proposed.

The project is in a commercial area that is partially developed. The is generally flat and is located in a partially developed project and is suitable for commercial development.

4. The proposed uses are compatible with the land uses presently on the subject property.

The project is in a commercial area that is partially developed with a Del Taco drive-thru-restaurant to the west, American V-Twin motorcycle repair shop to the north

and vacant land to the east and south. The is generally flat, partially developed and is suitable for commercial development.

5. The proposed uses would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

The zoning for the project site is Community Commercial (CC) and the land use designation is and General Commercial (GC). The proposed project is surrounded by property that is currently zoned Community Commercial and designated as General Commercial in the General Plan. The site is surrounded by partially developed land. The proposed uses are compatible with the surrounding commercial zoned properties.

6. There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The site is served by the Beaumont-Cherry Valley Water District for water services and the City of Beaumont for sewer disposal system. Electricity will be provided by Southern California Edison and natural gas will be provided by the Southern California Gas Company. Solid waste and refuse services are provided by Waste Management, Inc. on behalf of the City of Beaumont. The site can be adequately served and will not be detrimental to public health and safety.

7. There would be adequate provisions for public access to serve the subject proposal.

There is adequate access to the site as determined by the City's public safety departments. The site has access from 4th Street.

8. The proposed use is consistent with the objectives, policies, general land uses, and programs of the City of Beaumont General Plan.

The proposed project is in conformance with the General Plan for the City of Beaumont. The land use designation for the project site is General Commercial (GC). The proposed development is consistent with the General Plan policies.

9. The proposed use would not be detrimental to the public interest, health, safety, convenience, or welfare.

The proposed project meets all the development standards under the Community Commercial zoning, which is intended to protect the public interest, health, safety, convenience, or welfare. The quick service restaurant with a drive-thru will provide a convenience for the public that will not be detrimental to public health, safety or welfare.

10. The proposed design and elevations preserve and maximize the image, character, and visual quality of the neighborhood.

The proposed design and elevations are compatible with the commercial development to the north and will provide a consistent image that compliments the character of the commercial properties that are developed in the area.

11. The Planning Commission shall find that the proposed use does not have a disproportionately high and adverse human health or environmental effect on minority and low-income populations.

This use will not have an adverse effect on humans or the environment for any population. The proposed project will provide a quick service restaurant to serve all income levels of the population.

12. This subsection G shall apply only to the uses identified in Chapter 17.03. This subsection shall not invalidate any conditional use permit for an operation facility but shall be complied with prior to issuance of a building permit for all projects which no building permit has been issued upon the effective date of this provision.

Recommended Action:

Hold a public hearing,
Approve Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059, subject to the attached Conditions of Approval, and
Direct staff to prepare a Notice of Exemption for the applicant to file with the Riverside County Clerk Recorder.

Attachments:

- A. Development Plan
- B. Draft Conditions of Approval
- C. General Plan Land Use Designation Map

- D. Zoning Map
- E. Aerial Photograph
- F. Applicant's letter regarding the statement of operations
- G. Proof of Publication

Incorporated herein by Reference:

City of Beaumont General Plan
City of Beaumont Zoning Ordinance
Project Site's Riverside Conservation Authority Multi-Species Habitat Conservation Plan
Informational Map
Contents of City of Beaumont Planning Department Project File PP2021-0386,
CUP2021-0059 and PLAN2020-0547

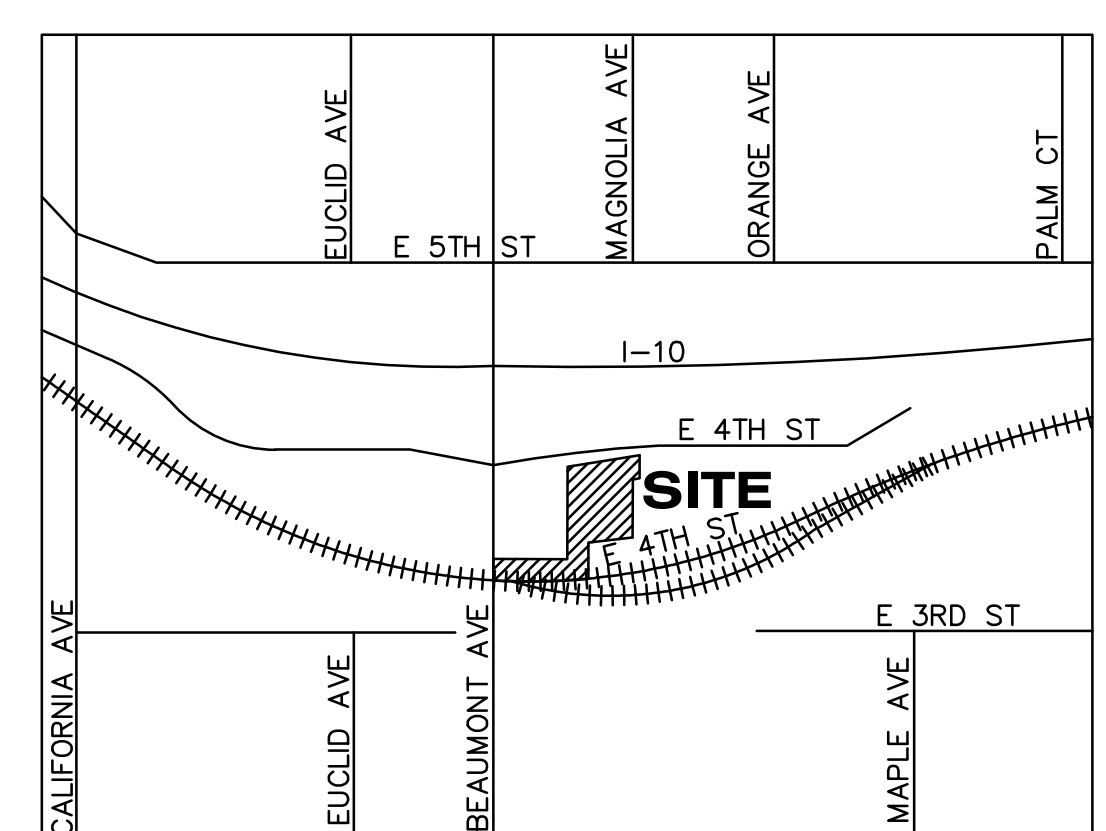
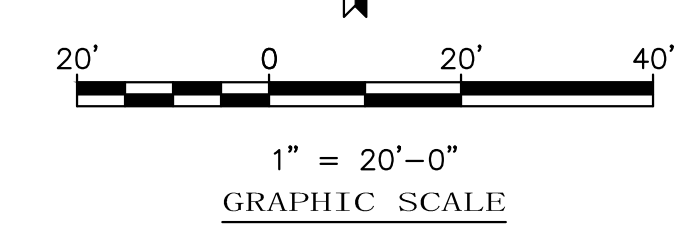
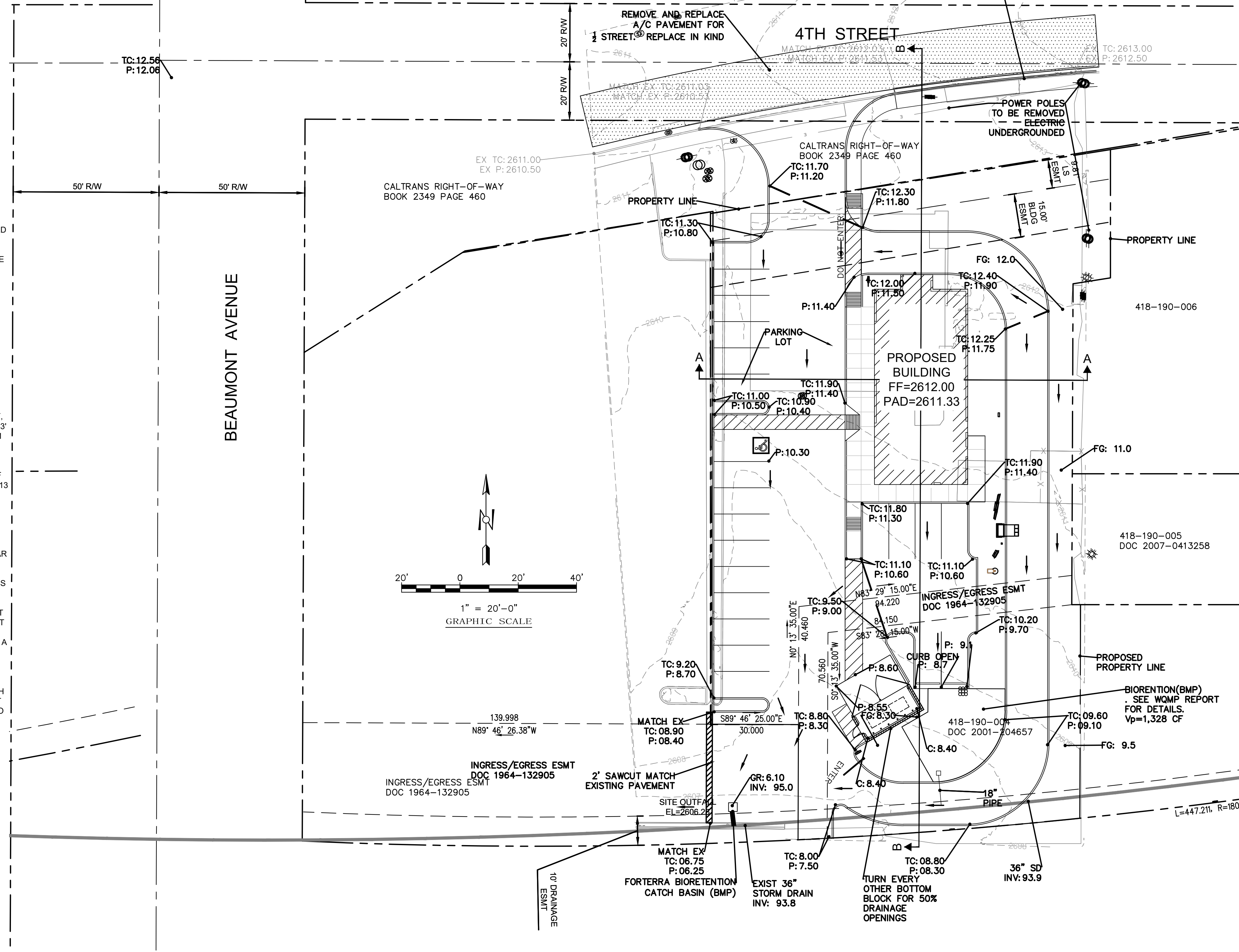
PLOT PLAN FOR BEAUMONT STARBUCKS

449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF THE EAST HALF AND THE WEST HALF OF BLOCK 129, IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY AMENDED MAP OF THE TOWN OF BEAUMONT, ON FILE IN BOOK 6, PAGES 16 AND 17 OF MAPS, SAN BERNADINO COUNTY RECORDS, SAID WEST HALF OF BLOCK 129 BEING SHOWN ON SAID MAP AS "PARK", AND BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 129, SAID NORTHWEST CORNER BEING A POINT ON THE INTERSECTION OF THE EAST LINE OF BEAUMONT AVENUE AND THE SOUTH LINE OF FOURTH STREET, AS SHOWN ON SAID MAP; THENCE SOUTH 00 DEGREES 13' 35" WEST ALONG THE EAST LINE OF SAID BEAUMONT AVENUE, 80 FEET TO ITS INTERSECTION WITH THE SOUTH LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES BY DEED RECORDED OCTOBER 17, 1958 AS INSTRUMENT NO. 1958-74753; THENCE NORTH 57 DEGREES 45' 23" EAST, 65.19 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, NORTH 80 DEGREES 55' 49" EAST, 86.13 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 13' 35" WEST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 175.91 FEET; THENCE SOUTH 89 DEGREES 46' 25" EAST, 30.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST, 40.46 FEET; THENCE NORTH 83 DEGREES 28' 15" EAST, 94.22 FEET TO A POINT HEREAFTER REFERRED TO AS "POINT A"; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH SAID EAST LINE OF BEAUMONT AVENUE, 100.00 FEET; THENCE NORTH 80 DEGREES 55' 49" EAST, 13 FEET; THENCE NORTH 00 DEGREES 00' 11" WEST, 44.00 FEET TO A POINT ON SAID SOUTHERLY LINE OF THAT PARCEL CONVEYED TO THE STATE OF CALIFORNIA, SAID POINT BEING SOUTH 80 DEGREES 55' 49" WEST, 54.41 FEET FROM THE NORTHEAST CORNER OF SAID BLOCK 129; THENCE SOUTH 80 DEGREES 55' 49" WEST, 138 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A NON-RESTRICTIVE EASEMENT FOR INGRESS AND EGRESS, BOTH VEHICULAR AND PEDESTRIAN, OVER THAT PORTION OF BLOCK 129 DESCRIBED AS FOLLOWS:
BEGINNING AT THE AFOREMENTIONED "POINT A"; THENCE SOUTH 00 DEGREES 13' 35" WEST, 10.06 FEET; THENCE SOUTH 83 DEGREES 28' 15" WEST, 84.15 FEET; THENCE SOUTH 00 DEGREES 13' 35" WEST, 70.56 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT OF WAY; THENCE ON A CURVE TO THE RIGHT FROM AN INITIAL TANGENT THAT BEARS SOUTH 86 DEGREES 51'00" WEST WITH A RADIUS OF 1809.91 FEET ALONG SAID RAILROAD RIGHT OF WAY, AN ARC DISTANCE OF 180.08 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF BEAUMONT AVENUE; THENCE NORTH 00 DEGREES 13' 35" EAST ALONG SAID EAST LINE OF BEAUMONT AVENUE, 40.62 FEET TO A POINT WHICH IS SOUTH 00 DEGREES 13' 35" WEST, 207 FEET FROM THE NORTHWEST CORNER OF SAID BLOCK 129; THENCE AT RIGHT ANGLES SOUTH 89 DEGREES 46' 25" EAST, 170.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 40.46 FEET; THENCE NORTH 83 DEGREES 29' 15" EAST, 94.22 FEET TO THE POINT OF BEGINNING.



VICINITY MAP:
N.T.S.

OWNER/APPLICANT:
NAMIYE OKADA TRUSTEE, OF THE OKADA REVOCABLE TRUST
c/o LARSON ENGINEERING, INC.
6380 EAST THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.212.4200
EMAIL: MHREHA@LARSONENGR.COM

CIVIL ENGINEER:
LARSON ENGINEERING, INC.
6380 E. THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.212.4200
FAX: 480.212.4201
CONTACT: MICHAEL HREHA, P.E.
EMAIL: MHREHA@LARSONENGR.COM

SITE DATA:
APN: 418-190-003
AREA: 27,857 SF / 0.64 ACRES

SHEET INDEX:
P1 PLOT PLAN
P2 SECTIONS & DETAILS

| Beaumont Coffee Shop C Factor Pre vs Post | | | | | | | | |
|---|-------------------|--------------------------|-------------------------|---------------------------|------------|--------------|-----------------------|-----------------|
| Total Area | Pre Pervious (SF) | Pre Impervious Area (SF) | Post Pervious Area (SF) | Post Impervious Area (SF) | C Pervious | C Impervious | Weighted C Factor Pre | Weighted C Post |
| 29,328 | 3,009 | 26,319 | 7,434 | 21,884 | 0.4 | 0.95 | 0.894 | 0.811 |

The Post 'C' factor is reduced from the Pre condition. This is due to more landscaping being installed, therefore no retention is required

Larson Engineering, Inc.
6380 E. Thomas Road, Suite 300
Scottsdale, AZ 85251
480.212.4200 (FAX) 480.212.4201
www.larsonengr.com

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Arizona
Call 811 or check Arizona811.com

IRKAA
REGISTERED PROFESSIONAL ARCHITECT
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900



**PLOT PLAN FOR
BEAUMONT STARBUCKS**
 449 EAST 4TH STREET, BEAUMONT, CA 92223
 ASSESSOR PARCEL NUMBER 418-190-003

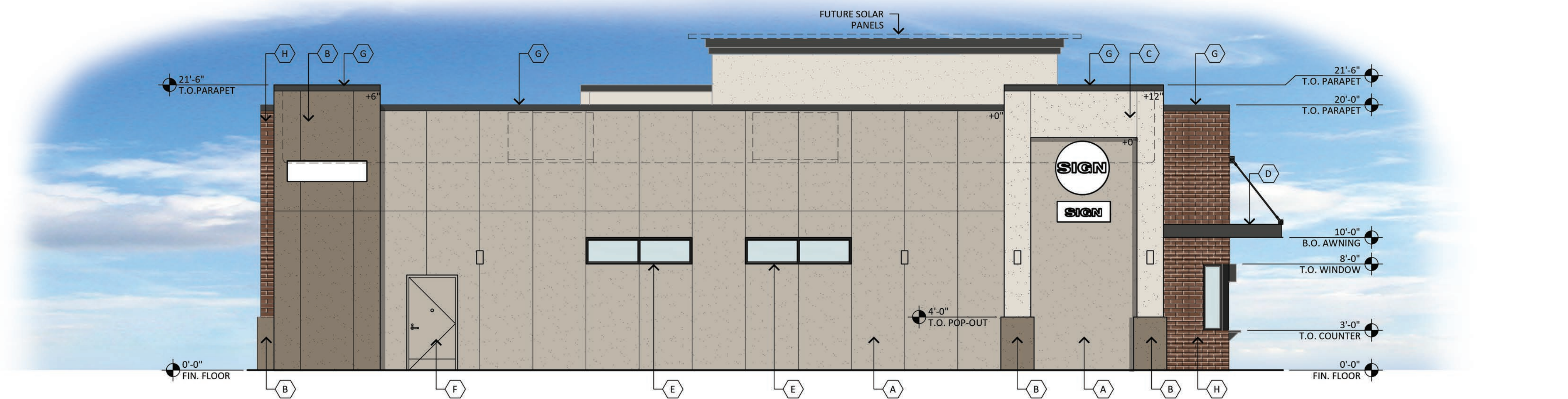
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design by:
drawn by:
checked by:

PLOT PLAN
project #:
P1

MATERIAL AND COLORS

- A PAINTED STUCCO:**
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: ANEW GRAY SW 7030
- B PAINTED STUCCO:**
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: WARM STONE SW 7032
- C PAINTED STUCCO:**
FINISH: FINE SAND
MFG: SHERWIN WILLIAMS
COLOR: AESTHETIC WHITE SW 7035
- D PAINTED METAL AWNING WITH LOUVERED INFILL:**
MFG: SHERWIN WILLIAMS
COLOR: IRON ORE SW 7069
- E MULLIONS:**
MFG: KAWNEER
COLOR: BLACK
- F PAINTED HOLLOW METAL DOORS:**
MFG: SHERWIN WILLIAMS
COLOR: ANEW GRAY SW 7030
- G PAINTED METAL CAP FLASHING:**
MFG: SHERWIN WILLIAMS
COLOR: IRON ORE SW 7069
- H BRICK VENEER:**
MFG: SUMMIT BRICK
COLOR: 154 CEDAR RIDGE



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST ELEVATION
SCALE: 3/16" = 1'-0"

BEAUMONT STARBUCKS
449 EAST 4TH STREET
BEAUMONT, CA
DATE: 09-27-2021

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EL-1
R K A A # 21189.00



PROJECT DIRECTORY

OWNER:
 ORUM CAPITAL
 606 S. OLIVE ST. #1030
 LOS ANGELES, CA 90014
 CONTACT: JONATHAN HANASAB
 PHONE: (213) 514-5201
 EMAIL: jonathan@orumcapital.com

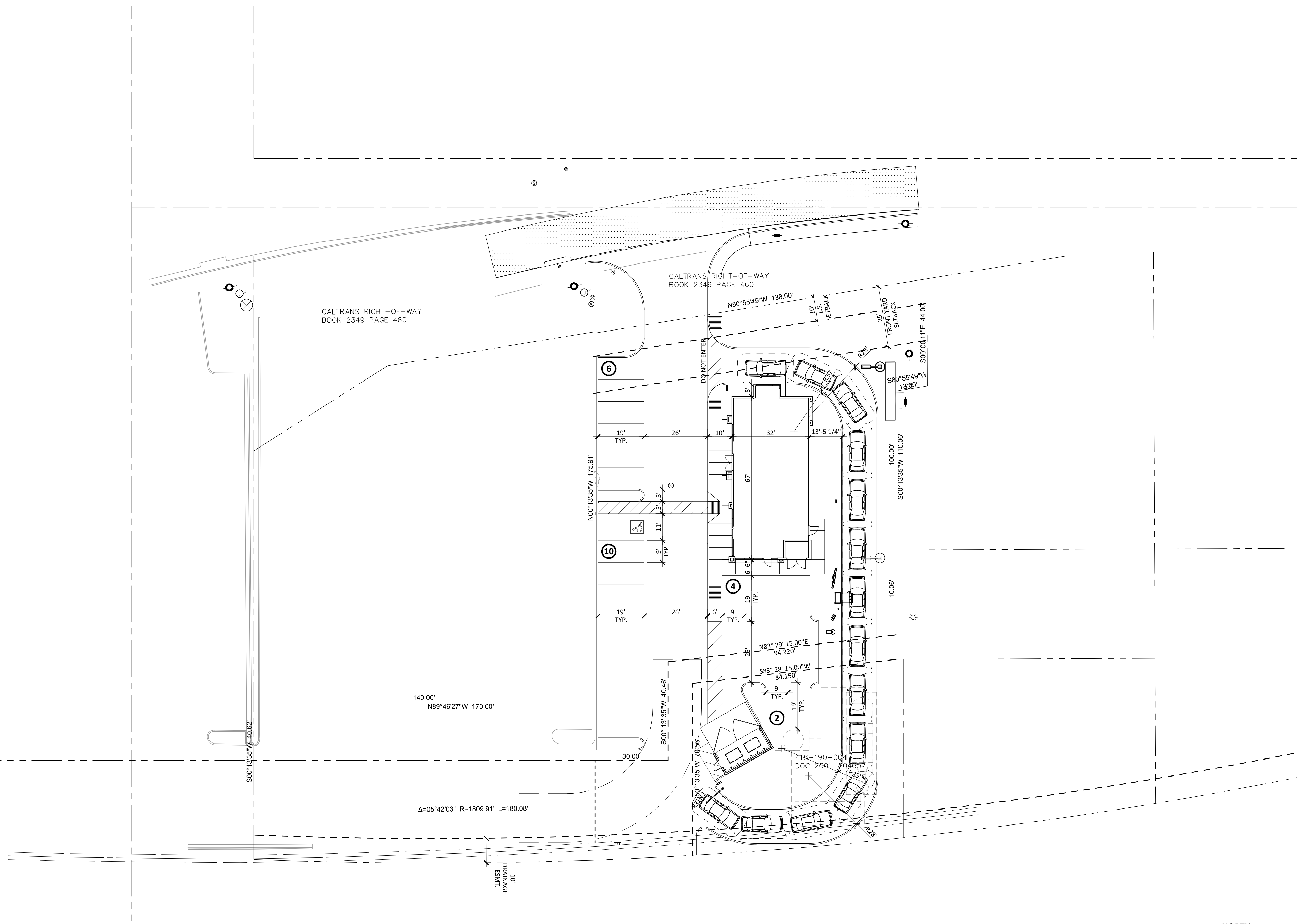
ARCHITECT:
 RKA A ARCHITECTS, INC.
 2233 EAST THOMAS ROAD
 PHOENIX, ARIZONA 85016
 CONTACT: NEIL FEASER
 PHONE: (602) 955-3900
 E-MAIL: nfeaser@rkaa.com

SITE DATA

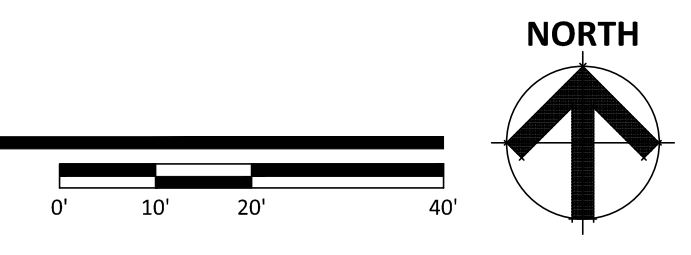
APN: 418-190-003, 418-190-004, 418-190-005
 ZONING: PAD (COMMUNITY COMMERCIAL)
 SITE AREA: -
 TOTAL BUILDING AREA: 2,200 SQ. FT.
 PROPOSED SITE COVERAGE: -

PROJECT DATA

OCCUPANCY CLASS: A2
 CONSTRUCTION TYPE: 5B
 ALLOWABLE HEIGHT: 50' MAX.
 PROPOSED HEIGHT: 1 STORY (18'-0")
 ALLOWABLE AREA: 24,000 SQ. FT.
 PROPOSED AREA: 2,200 SQ. FT.
 RESTAURANT: 2,200 SQ. FT.
 PARKING: 2,200 S.F. / 100 = 22 STALLS
 RESTAURANT (DRIVE-THRU): 2,200 S.F. / 100 = 22 STALLS
 PARKING REQUIRED: 22 TOTAL STALLS (INCLUDING A.D.A.)
 A.D.A. PARKING REQUIRED: 1 STALLS
 TOTAL PARKING REQUIRED: 22 TOTAL STALLS (INCLUDING A.D.A.)
 PARKING PROVIDED: 22 STANDARD STALLS
 1 A.D.A. STALLS
 TOTAL PARKING PROVIDED: 22 TOTAL STALLS (INCLUDING A.D.A.)



SITE PLAN
 SCALE: 1" = 20'-0"




THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

BEAUMONT STARBUCKS
 449 E. 4TH STREET
 BEAUMONT, CA
 DATE: 10-15-2021

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SP-1
 RKA A# 21189.00



D-Series Size 0 LED Area Luminaire



Specifications


EPA: 0.95 ft² (0.09 m²)
 Length: 26" (660 mm)
 Width: 13" (330 mm)
 Height: 3" (76 mm)
 Height (max): 7" (178 mm)
 Weight (max): 16 lbs (7.3 kg)

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBX0

| Series | LEDs | Color Temperature | Subscription | Voltage | Mounting |
|----------|-----------------------------------|-------------------|--|---|--|
| DSX0 LED | Forward optics | 30K 3000 K | T15 Type II short (Automotive) | MVOLT (120V-277V) ^{1,4} | Shipped included |
| | P1 P5 | 40K 4000 K | T25 Type II short | XVOLT (277V-480V) ^{1,4} | SPA Square pole mounting |
| | P2 P6 | 50K 5000 K | T3M Type II medium | SPK Round pole mounting ^{1,2} | WBA Wall bracket ^{1,2} |
| | P3 P7 | | T35 Type II short | SPK Round pole mounting ^{1,2} | WBA Wall bracket ^{1,2} |
| | P4 ¹ | | T3M Type II medium | LOCO Left corner cutoff ^{1,2} | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | Related optics | | T4M Type II medium | RCCO Right corner cutoff ^{1,2} | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | P10 ¹ P12 ¹ | | T35M Forward throw medium | 2271 2271 | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | P11 ¹ P13 ¹ | | T35V Type II very short ^{1,2} | 3471 3471 | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | | | | 480 ¹ | KMAB 08080 D Must arm mounting bracket adaptor (specify finish) ^{1,2} |

WDGE1 LED Architectural Wall Sconce



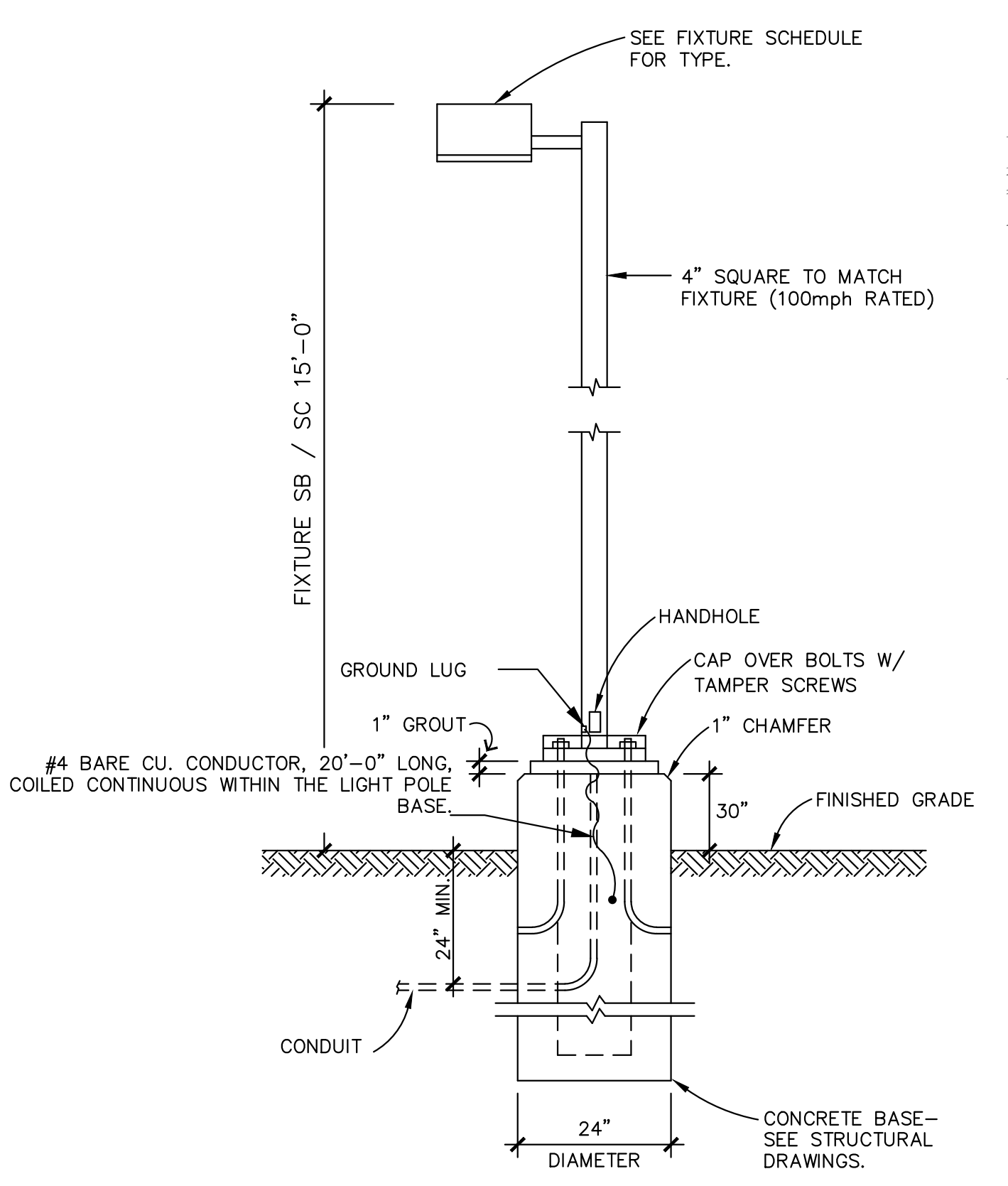
Specifications

Depth (D1): 5.5"
 Depth (D2): 1.5"
 Height: 8"
 Width: 9"
 Weight (without options): 9 lbs

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBX0

| Series | Package | Color Temperature | LED | Subscription | Voltage | Mounting |
|-----------|---------|-------------------|-------|---------------------------------|------------------------|------------------------------|
| WDGE1 LED | P1 | 27K 2700K | 80CRI | VF Visual comfort forward throw | MVOLT 347 ¹ | Shipped included |
| | P2 | 30K 3000K | 90CRI | VW Visual comfort wide | 347 ¹ | SPM Surface mounting bracket |
| | | 35K 3500K | | | | SPM Surface mounting bracket |
| | | 40K 4000K | | | | SPM Surface mounting bracket |
| | | 50K 5000K | | | | SPM Surface mounting bracket |



LIGHT POLE AND FIXTURE SA / SB / SC

CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

Ordering Information EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBX0

| Series | LEDs | Color Temperature | Subscription | Voltage | Mounting |
|----------|-----------------------------------|-------------------|--|---|--|
| DSX0 LED | Forward optics | 30K 3000 K | T15 Type II short (Automotive) | MVOLT (120V-277V) ^{1,4} | Shipped included |
| | P1 P5 | 40K 4000 K | T25 Type II short | XVOLT (277V-480V) ^{1,4} | SPA Square pole mounting |
| | P2 P6 | 50K 5000 K | T3M Type II medium | SPK Round pole mounting ^{1,2} | WBA Wall bracket ^{1,2} |
| | P3 P7 | | T35 Type II short | SPK Round pole mounting ^{1,2} | WBA Wall bracket ^{1,2} |
| | P4 ¹ | | T3M Type II medium | LOCO Left corner cutoff ^{1,2} | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | Related optics | | T4M Type II medium | RCCO Right corner cutoff ^{1,2} | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | P10 ¹ P12 ¹ | | T35M Forward throw medium | 2271 2271 | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | P11 ¹ P13 ¹ | | T35V Type II very short ^{1,2} | 3471 3471 | SPUMBA Square pole universal mounting adaptor ^{1,2} |
| | | | | 480 ¹ | KMAB 08080 D Must arm mounting bracket adaptor (specify finish) ^{1,2} |

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Corners, Georgia 30012 • Phone: 1-800-705-SERV (378) • www.lithonia.com

DSX0 LED Rev. 07/19/20 Page 1 of 6

WDGE LED Family Overview

| Series | Standard LED | Color Temp. (°C) | Series | P1 | P2 | P3 | P4 | P5 | P6 |
|-----------|--------------|------------------|------------------|--------|--------|--------|--------|--------|--------|
| WDGE1 LED | 4W | - | - | 1,200 | 2,000 | - | - | - | - |
| WDGE2 LED | 10W | 18W | Standard / night | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | - |
| WDGE3 LED | 15W | 18W | Standard / night | 7,500 | 8,500 | 10,000 | 12,000 | - | - |
| WDGE4 LED | - | - | Standard / night | 12,000 | 14,000 | 18,000 | 20,000 | 22,000 | 25,000 |

Ordering Information EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBX0

| Series | Package | Color Temperature | LED | Subscription | Voltage | Mounting |
|-----------|---------|-------------------|-------|---------------------------------|------------------------|------------------------------|
| WDGE1 LED | P1 | 27K 2700K | 80CRI | VF Visual comfort forward throw | MVOLT 347 ¹ | Shipped included |
| | P2 | 30K 3000K | 90CRI | VW Visual comfort wide | 347 ¹ | SPM Surface mounting bracket |
| | | 35K 3500K | | | | SPM Surface mounting bracket |
| | | 40K 4000K | | | | SPM Surface mounting bracket |
| | | 50K 5000K | | | | SPM Surface mounting bracket |

Options

| Option | Finish |
|---|-----------------------|
| E40N ¹ Emergency battery backup, Certified in CA Tier 20 MAJ205 (6W, 0°C min) | DBRD Dark bronze |
| P1 ¹ Phosor, Button type | DBLK Black |
| D5 Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) | DNAD Natural aluminum |
| DNG 5-10V dimming wires pulled outside fixture for use with an external control, ordered separately | DNWD White |
| WZ Remote control entry for back box (PBB), total of 4 entry points. | DSND Sandstone |

Accessories

| Accessory | Notes |
|---|---|
| WDGE1 08080 D WDGE1 back Architectural Wall Sconce (specify finish) | 1 30K not available in 90CRI. |
| WDGE1 08080 D WDGE1 surface-mounted back box (specify finish) | 2 347V not available with E40N, DS or PE. |
| | 3 E40N not available with PE or DS. |
| | 4 PE not available with DS. |
| | 5 Not qualified for DLC. Not available with E40N. |

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way • Corners, Georgia 30012 • Phone: 1-800-705-SERV (378) • www.lithonia.com

WDGE1 LED Rev. 03/17/21

DRD5S & SurfaceFrame

Surface Mount LED Downlight

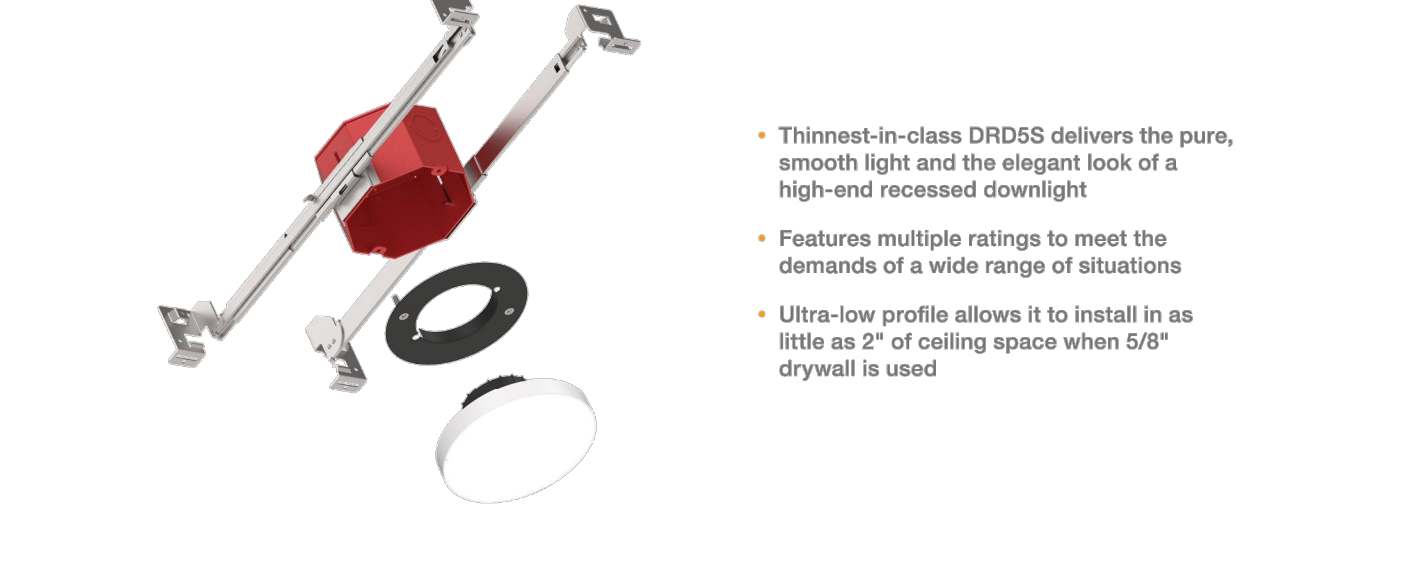
New Construction

DRDHNO Octagonal Junction Box

Project: **SF, SFE** Type:

Product Code: Date:

Spec Sheet V-04.01.21

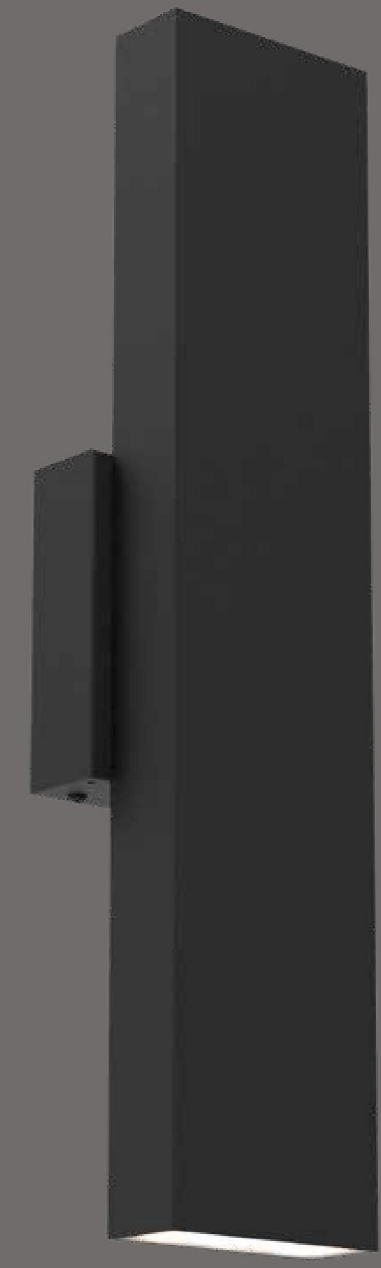


| Application | Aperture | |
|--|-------------------------------|---|
| New Construction | 4" Octagonal Junction Box | |
| Delivered Lumens | Color Quality | |
| 750 lm (6.0W), 1000 lm (12.0W) | 90+ CRI, < 3-step SDCM | |
| Color Temperature | Optics | |
| 2700K 3000K 3500K | General | |
| Input Voltage | Dimming | Emergency Lighting |
| 120/277V | TRIAC/ELV 5% 0-10V 1% | Optional Emergency LED Driver with integrated Test Switch for lighting up to 90 minutes in event of power failure |
| Shape | Finish | Module Ratings |
| Round, Square | White | UL Closet Rating Compliant (90 in only) |
| Housing Ratings | | UL Listed for Wet Location |
| Code compliant for use in appropriate fire-rated assemblies up to a maximum of 2-hours | ASTM E283 Certified Air Tight | |
| | IC (Insulation Contact) Rated | |
| Standards | Guarantee | Additional Options |
| UL LISTED | 50,000 hrs 5 years | Non-Conductive Dead Front |

SG LED Wall mount

The minimalist design of this fixture will definitely add a touch of sophistication. From classic to modern interiors for residential or commercial interiors, this sconce is a must see. With its up-down light and less than four inch profile, this is discretion at its finest without compromising on performance.

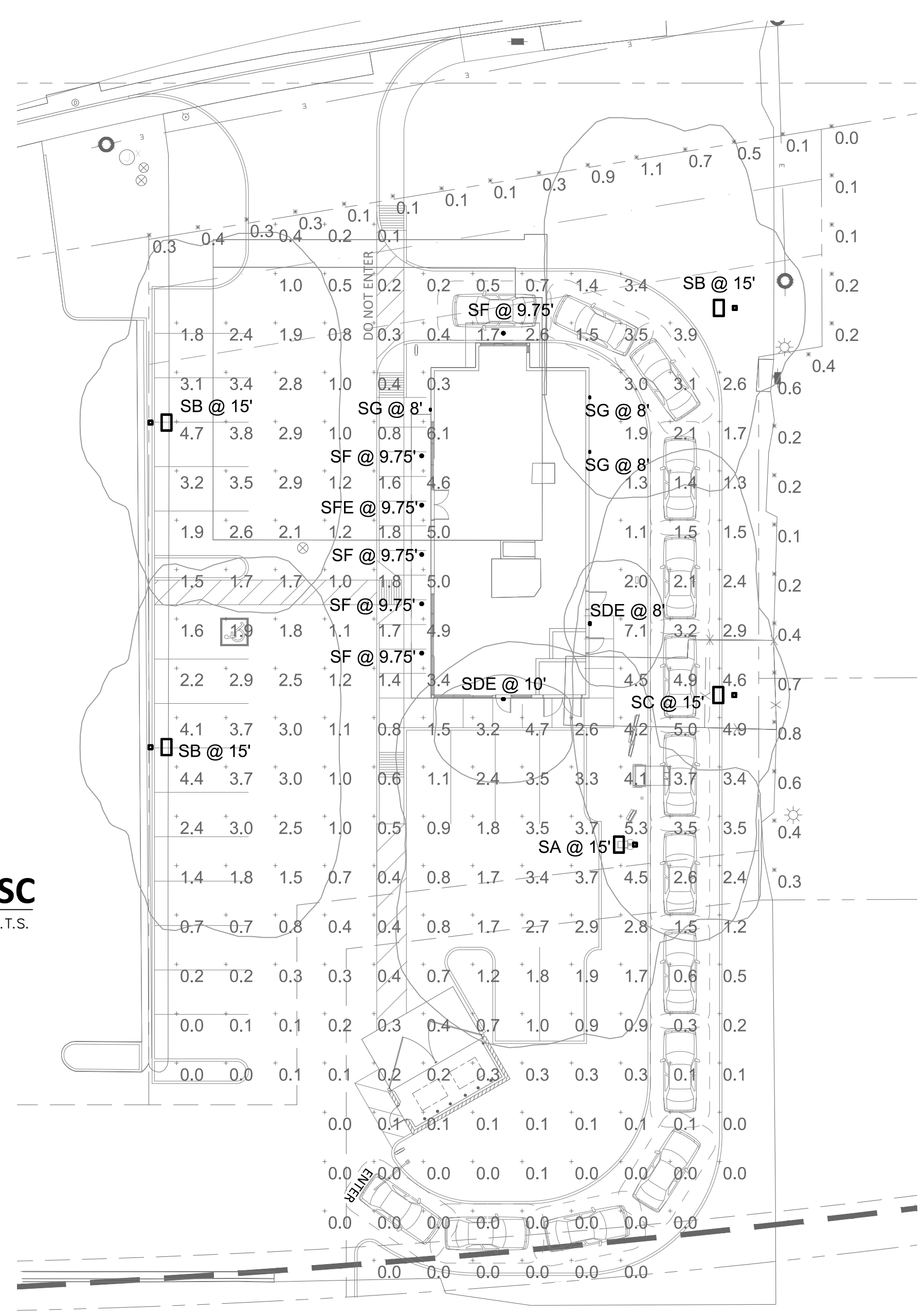
FORMS



ADA COMPLIANT

dmf

New products | dmflighting.com



| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------|-------------------|--|---|-------------|-----------------------------------|-----------------|-------------------|---------|
| □ | SA | 1 | Lithonia Lighting | DSX0 LED P4 30K TFTM MVOLT SPA (FINISH) / SSS 12.5" W/2.5" BASE | DSX0 LED P4 30K TFTM MVOLT | LED - 3000K | DSX0_LED_P4_30K_TFTM_MVOLT.ies | 9800 | 0.91 | 92 |
| □ | SB | 3 | Lithonia Lighting | DSX0 LED P4 30K TFTM MVOLT SPA HS (FINISH) / SSS 12.5" W/2.5" BASE | DSX0 LED P4 30K TFTM MVOLT with houseside shield | LED - 3000K | DSX0_LED_P4_30K_TFTM_MVOLT_HS.ies | 7652 | 0.91 | 92 |
| □ | SC | 1 | Lithonia Lighting | DSX0 LED P4 30K T2M MVOLT SPA HS (FINISH) / SSS 12.5" W/2.5" BASE | DSX0 LED P4 30K T2M MVOLT with houseside shield | LED - 3000K | DSX0_LED_P4_30K_T2M_MVOLT_HS.ies | 8014 | 0.91 | 92 |
| ⊠ | SDE | 2 | Lithonia Lighting | WDGE1 LED P1 30K 80CRI VF MVOLT E4WH (FINISH) | WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC W/EM BATTERY PACK | LED - 3000K | WDGE1_LED_P1_30K_80CRI_VF.ies | 1161 | 0.91 | 10,000 |
| ⊗ | SF | 5 | DMF LIGHTING | DRDH N JO / DRDSA 4 R 10 9 30 | 4" DIA SURFACE MOUNTED DOWNLIGHT | LED - 3000K | DRD5S-4R-10930.ies | 1015 | 0.91 | 11.8 |
| ⊗ | SFE | 1 | DMF LIGHTING | DRDH N JO 100SEM / DRDSA 4 R 10 9 | 4" DIA SURFACE MOUNTED DOWNLIGHT W/EM BATTERY PACK | LED - 3000K | DRD5S-4R-10930.ies | 1015 | 0.91 | 11.8 |
| □ | SG | 3 | DALS Lighting | MSLWALL-3K-BK | LED WALL MOUNT | LED - 3000K | MSLWALL-3K-BK.ies | 560 | 0.91 | 13,756 |

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------------------|--------|--------|--------|--------|---------|---------|
| PROPERTY LINE - FC @ GRADE | X | 0.3 fc | 1.1 fc | 0.0 fc | N/A | N/A |
| SITE - FC @ GRADE | + | 1.6 fc | 7.1 fc | 0.0 fc | N/A | N/A |

dmflighting.com

BEAUMONT STARBUCKS

449 E. 4TH STREET
 BEAUMONT, CA
 DATE: 07-28-2021

E0.1 PHOTOMETRIC PLAN & CUTSHEETS

ARDEBILI Engineering

PROJECT NUMBER: 21448 | PROJECT MANAGER: GH

8100 E Indian School Rd, Suite 205, Scottsdale, AZ 85251
 P: 480.626.7072 | ardebilieng.com

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10/18/21

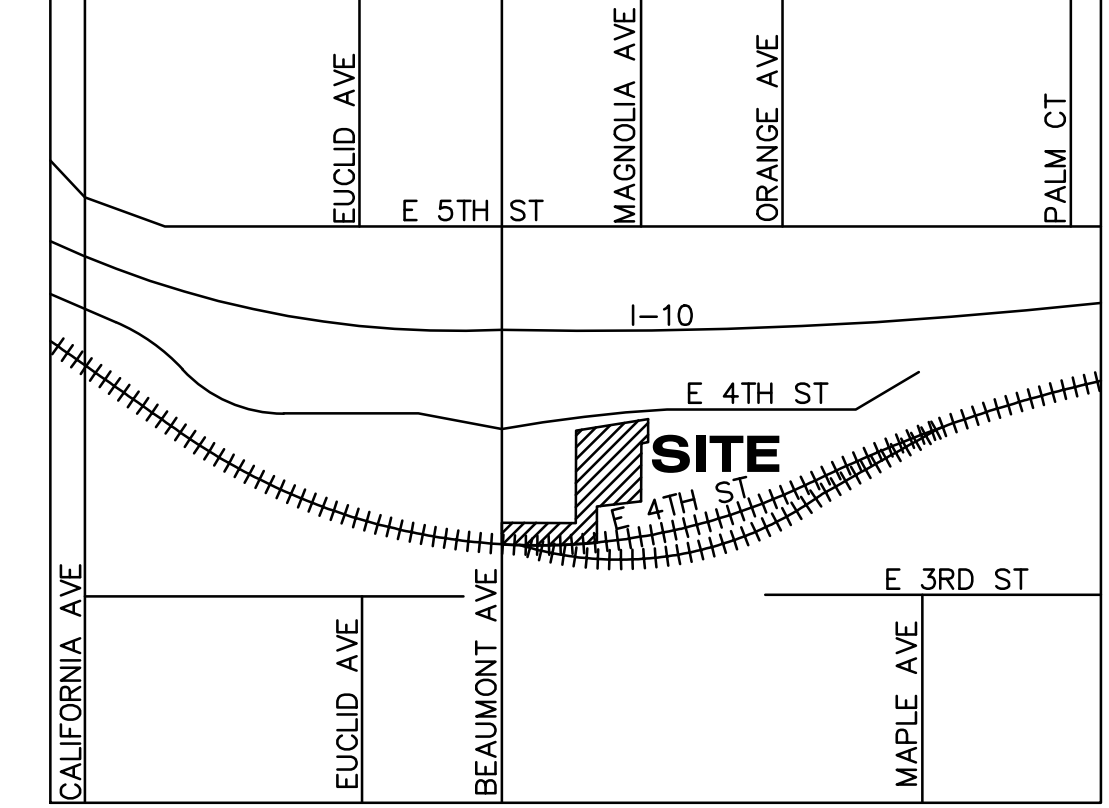
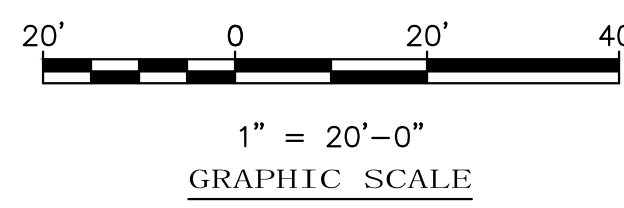
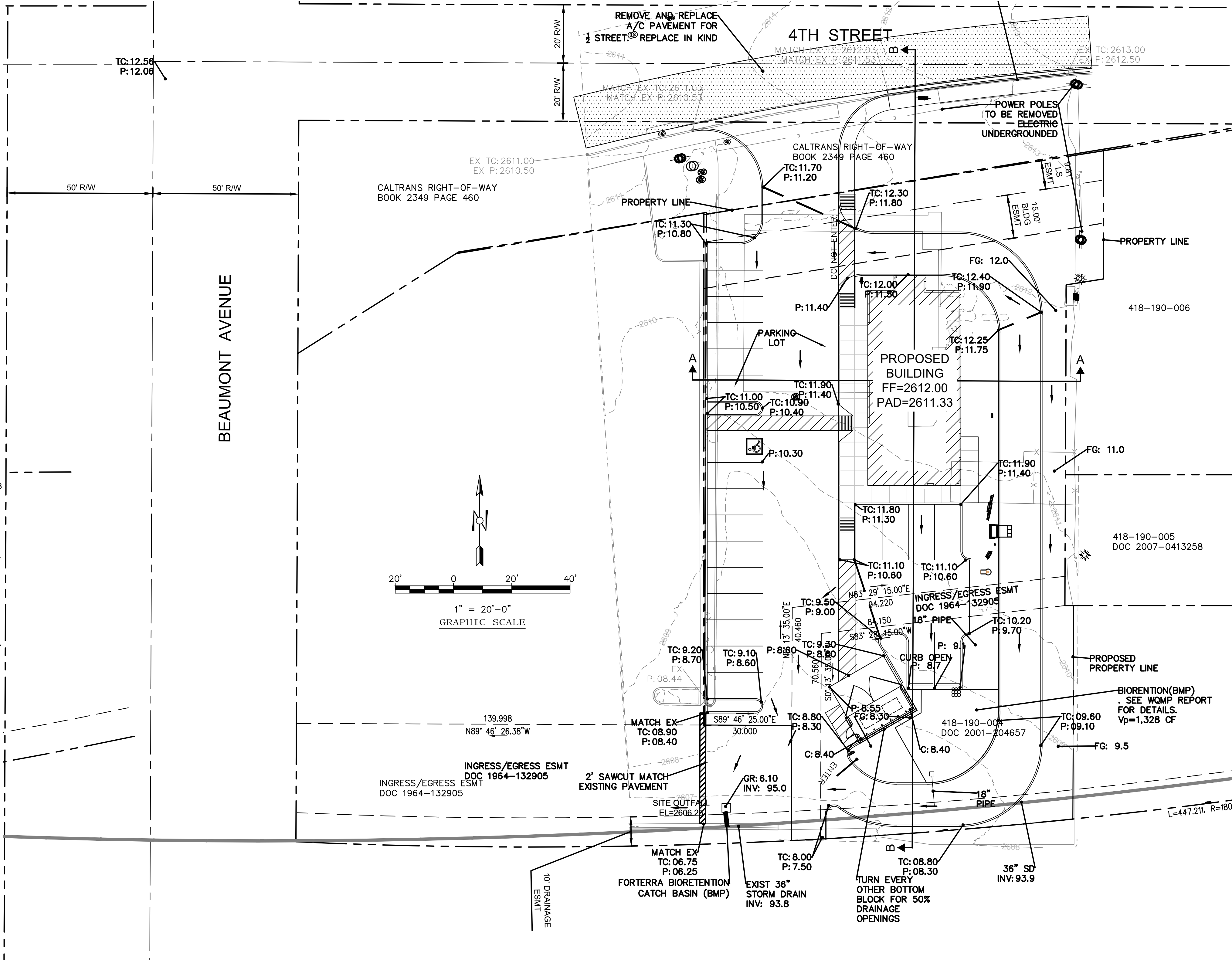
R K A A ARCHITECTS, INC

**PRELIMINARY GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF THE EAST HALF AND THE WEST HALF OF BLOCK 129, IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY AMENDED MAP OF THE TOWN OF BEAUMONT, ON FILE IN BOOK 6, PAGES 16 AND 17 OF MAPS, SAN BERNADINO COUNTY RECORDS, SAID WEST HALF OF BLOCK 129 BEING SHOWN ON SAID MAP AS "PARK", AND BEING DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID BLOCK 129, SAID NORTHWEST CORNER BEING A POINT ON THE INTERSECTION OF THE EAST LINE OF BEAUMONT AVENUE AND THE SOUTH LINE OF FOURTH STREET, AS SHOWN ON SAID MAP; THENCE SOUTH 00 DEGREES 13' 35" WEST ALONG THE EAST LINE OF SAID BEAUMONT AVENUE, 80 FEET TO ITS INTERSECTION WITH THE SOUTH LINE OF THAT CERTAIN PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES BY DEED RECORDED OCTOBER 17, 1958 AS INSTRUMENT NO. 1958-74753; THENCE NORTH 57 DEGREES 45' 23" EAST, 65.19 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO THE STATE OF CALIFORNIA; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, NORTH 80 DEGREES 55' 49" EAST, 86.13 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 0 DEGREES 13' 35" WEST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 175.91 FEET; THENCE SOUTH 89 DEGREES 46' 25" EAST, 30.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST, 40.46 FEET; THENCE NORTH 83 DEGREES 28' 15" EAST, 94.22 FEET TO A POINT HEREAFTER REFERRED TO AS "POINT A"; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH SAID EAST LINE OF BEAUMONT AVENUE, 100.00 FEET; THENCE NORTH 80 DEGREES 55' 49" EAST, 13 FEET; THENCE NORTH 00 DEGREES 00' 11" WEST, 44.00 FEET TO A POINT ON SAID SOUTHERLY LINE OF THAT PARCEL CONVEYED TO THE STATE OF CALIFORNIA, SAID POINT BEING SOUTH 80 DEGREES 55' 49" WEST, 54.41 FEET FROM THE NORTHEAST CORNER OF SAID BLOCK 129; THENCE SOUTH 80 DEGREES 55' 49" WEST, 138 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A NON-RESTRICTIVE EASEMENT FOR INGRESS AND EGRESS, BOTH VEHICULAR AND PEDESTRIAN, OVER THAT PORTION OF BLOCK 129 DESCRIBED AS FOLLOWS:
BEGINNING AT THE AFOREMENTIONED "POINT A"; THENCE SOUTH 00 DEGREES 13' 35" WEST, 10.06 FEET; THENCE SOUTH 83 DEGREES 28' 15" WEST, 84.15 FEET; THENCE SOUTH 00 DEGREES 13' 35" WEST, 70.56 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT OF WAY; THENCE ON A CURVE TO THE RIGHT FROM AN INITIAL TANGENT THAT BEARS SOUTH 86 DEGREES 51'00" WEST WITH A RADIUS OF 1809.91 FEET ALONG SAID RAILROAD RIGHT OF WAY, AN ARC DISTANCE OF 180.08 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF BEAUMONT AVENUE; THENCE NORTH 00 DEGREES 13' 35" EAST ALONG SAID EAST LINE OF BEAUMONT AVENUE, 40.62 FEET TO A POINT WHICH IS SOUTH 00 DEGREES 13' 35" WEST, 207 FEET FROM THE NORTHWEST CORNER OF SAID BLOCK 129; THENCE AT RIGHT ANGLES SOUTH 89 DEGREES 46' 25" EAST, 170.00 FEET; THENCE NORTH 00 DEGREES 13' 35" EAST PARALLEL WITH THE EAST LINE OF SAID BEAUMONT AVENUE, 40.46 FEET; THENCE NORTH 83 DEGREES 29' 15" EAST, 94.22 FEET TO THE POINT OF BEGINNING.



VICINITY MAP:
N.T.S.

OWNER/APPLICANT:
NAMIYE OKADA TRUSTEE, OF THE OKADA REVOCABLE TRUST
c/o LARSON ENGINEERING, INC.
6380 EAST THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.221.4200
EMAIL: MHREHA@LARSONENGR.COM

CIVIL ENGINEER:
LARSON ENGINEERING, INC.
6380 E. THOMAS ROAD #300
SCOTTSDALE, AZ 85251
TEL: 480.212.4200
FAX: 480.212.4201
CONTACT: MICHAEL HREHA, P.E.
EMAIL: MHREHA@LARSONENGR.COM

SITE DATA:
APN: 418-190-003
AREA: 27,857 SF / 0.64 ACRES

SHEET INDEX:
C1 PRELIMINARY GRADING & DRAINAGE PLAN
C2 SECTIONS & DETAILS

| Beaumont Coffee Shop C Factor Pre vs Post | | | | | | | | | |
|---|-------------------|--------------------------|-------------------------|---------------------------|------------|--------------|-----------------------|-----------------|--|
| Total Area | Pre Pervious (SF) | Pre Impervious Area (SF) | Post Pervious Area (SF) | Post Impervious Area (SF) | C Pervious | C Impervious | Weighted C Factor Pre | Weighted C Post | |
| 29,328 | 3,009 | 26,319 | 7,434 | 21,884 | 0.4 | 0.95 | 0.894 | 0.811 | |

The Post 'C' factor is reduced from the Pre condition. This is due to more landscaping being installed, therefore no retention is required

Larson Engineering, Inc.
6380 E. Thomas Road, Suite 300
Scottsdale, AZ 85251
480.212.4200 (480)212.4201
www.larsonengr.com

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IRKAA
REGISTERED PROFESSIONAL ARCHITECT
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900

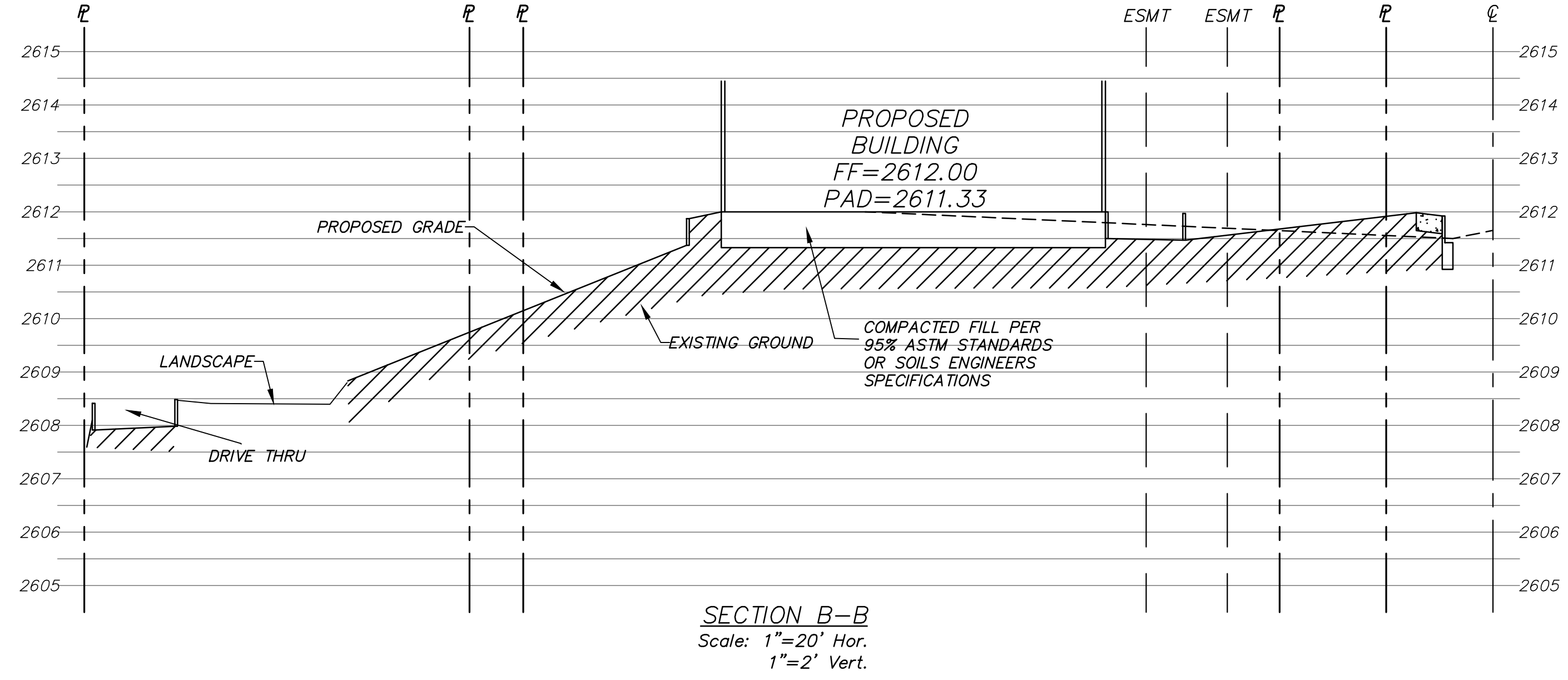
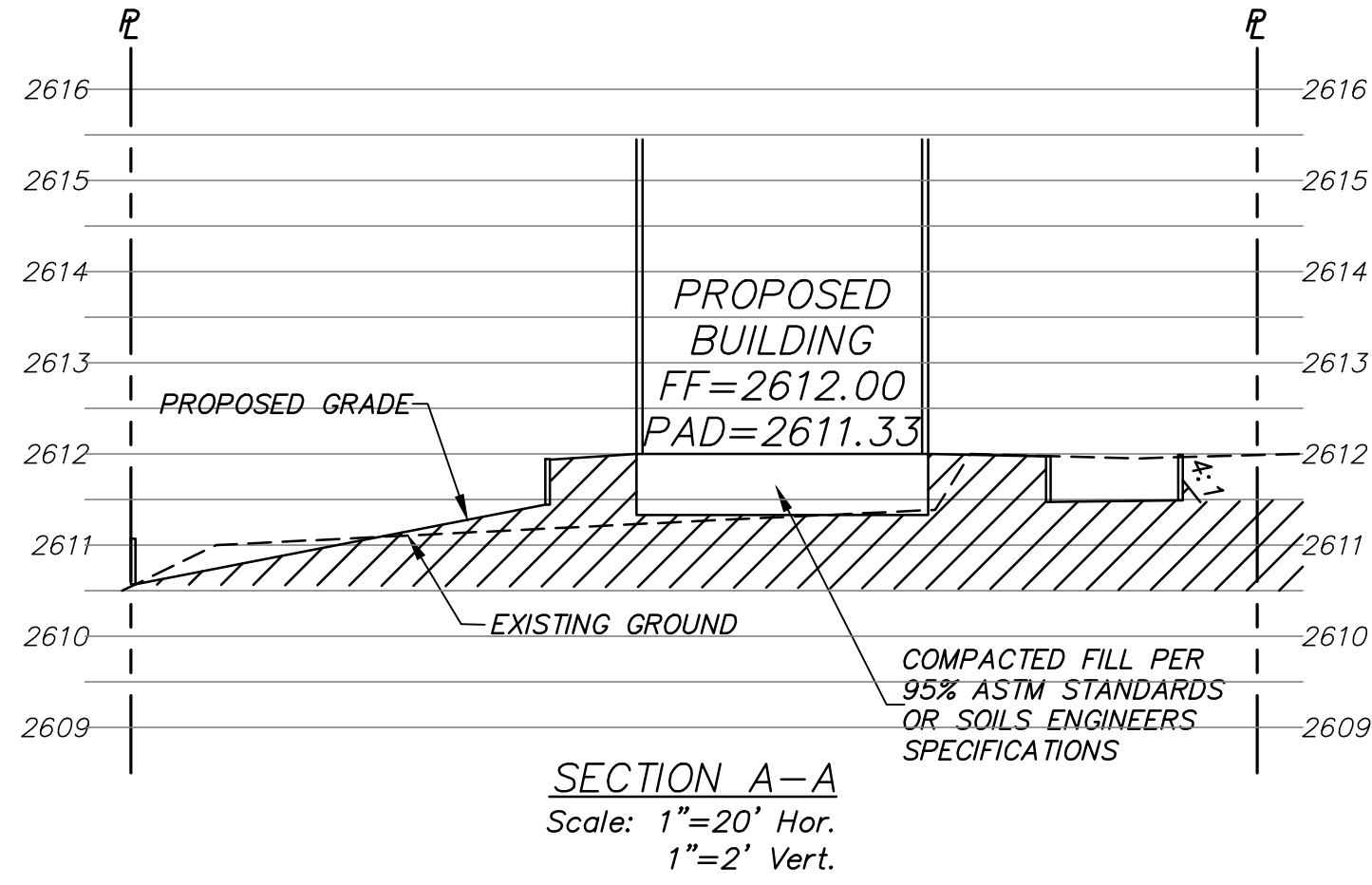


**GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

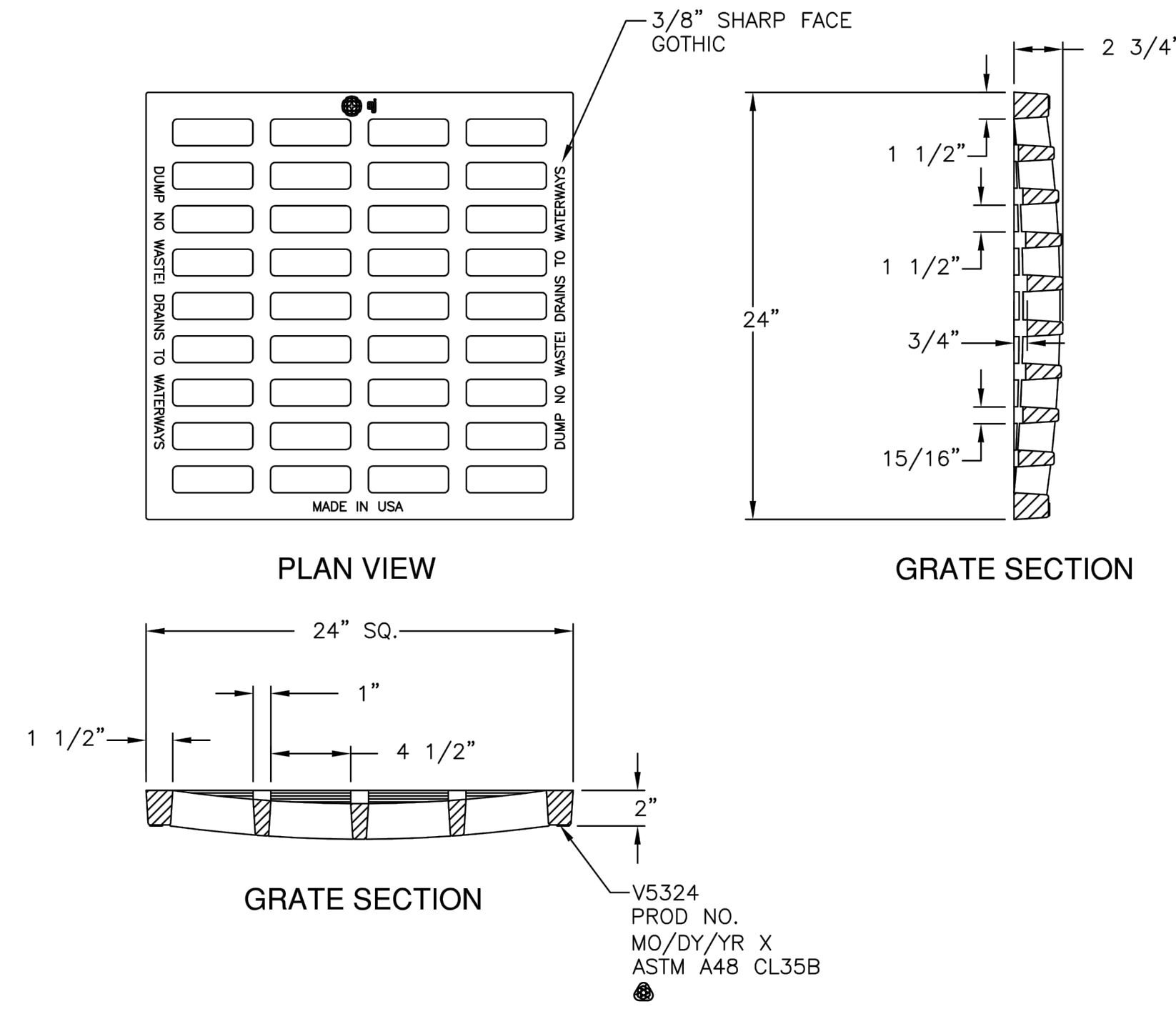
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design by:
drawn by:
checked by:
PRELIMINARY GRADING & DRAINAGE
project #:

**PRELIMINARY GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003



V5324 Grate



Product Number
45324030

Design Features

- Materials
-Gray Iron (CL35B)
- Design Load
-Heavy Duty
- Open Area
-248 Sq. Inches
- Coating
-Undipped
- √ Designates Machined Surface

Certification

- ASTM A48
- Country of Origin: USA

Drawing Revision
02/10/2005 Designer: JIJ
09/07/2016 Revised By: DVD

Disclaimer
Weights (lbs./sq) dimensions (inches/mm) and drawings provided for your guidance. We reserve the right to modify specifications without prior notice.

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Contact
800 626 4653
ejco.com

**GRADING & DRAINAGE PLAN FOR
BEAUMONT STARBUCKS**
449 EAST 4TH STREET, BEAUMONT, CA 92223
ASSESSOR PARCEL NUMBER 418-190-003

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design by:
drawn by:
checked by:

SECTIONS
& DETAILS
project #:

C2

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Scottsdale, AZ 85251
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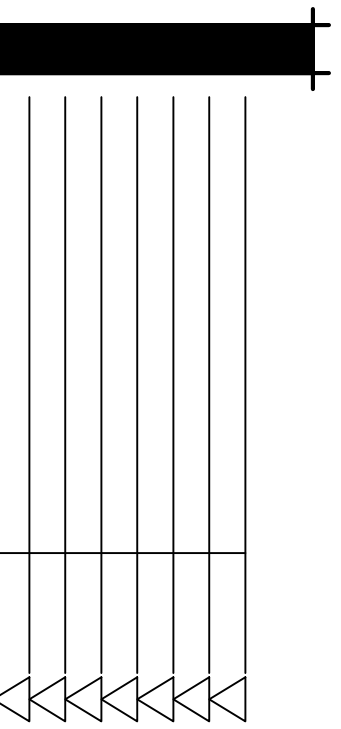
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Obtain Arizona #11 or local Area Unit working days before you begin construction

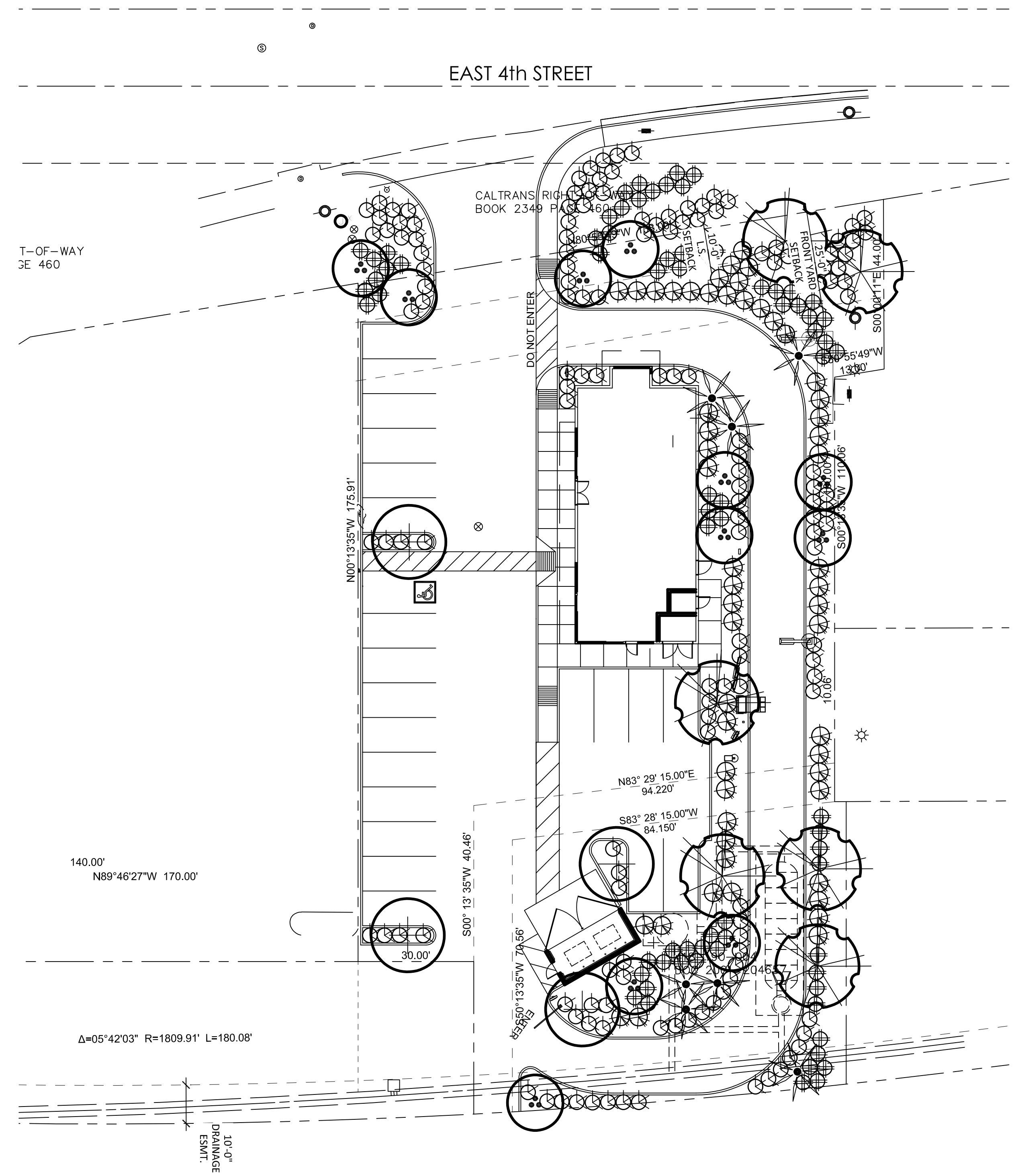
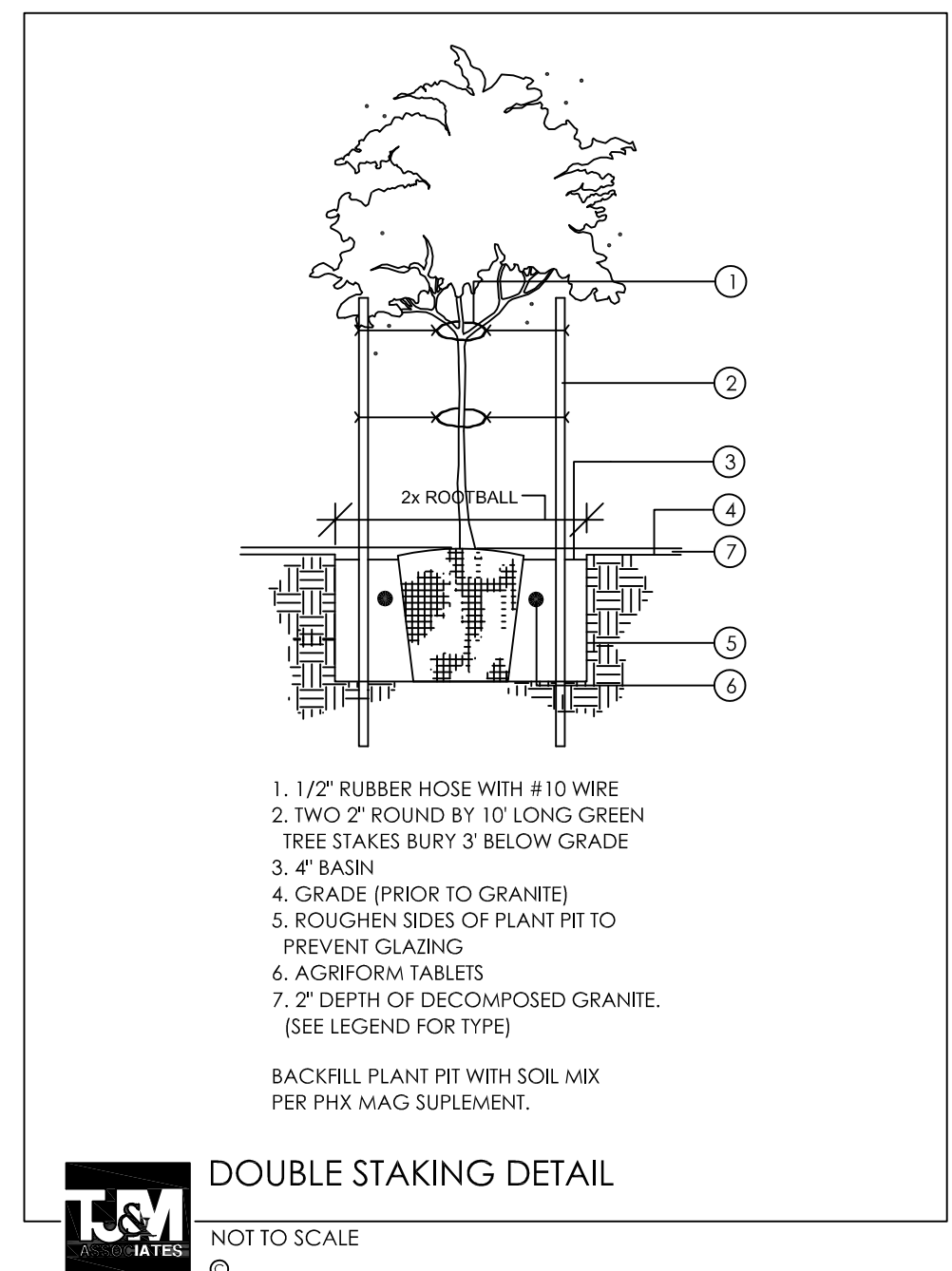
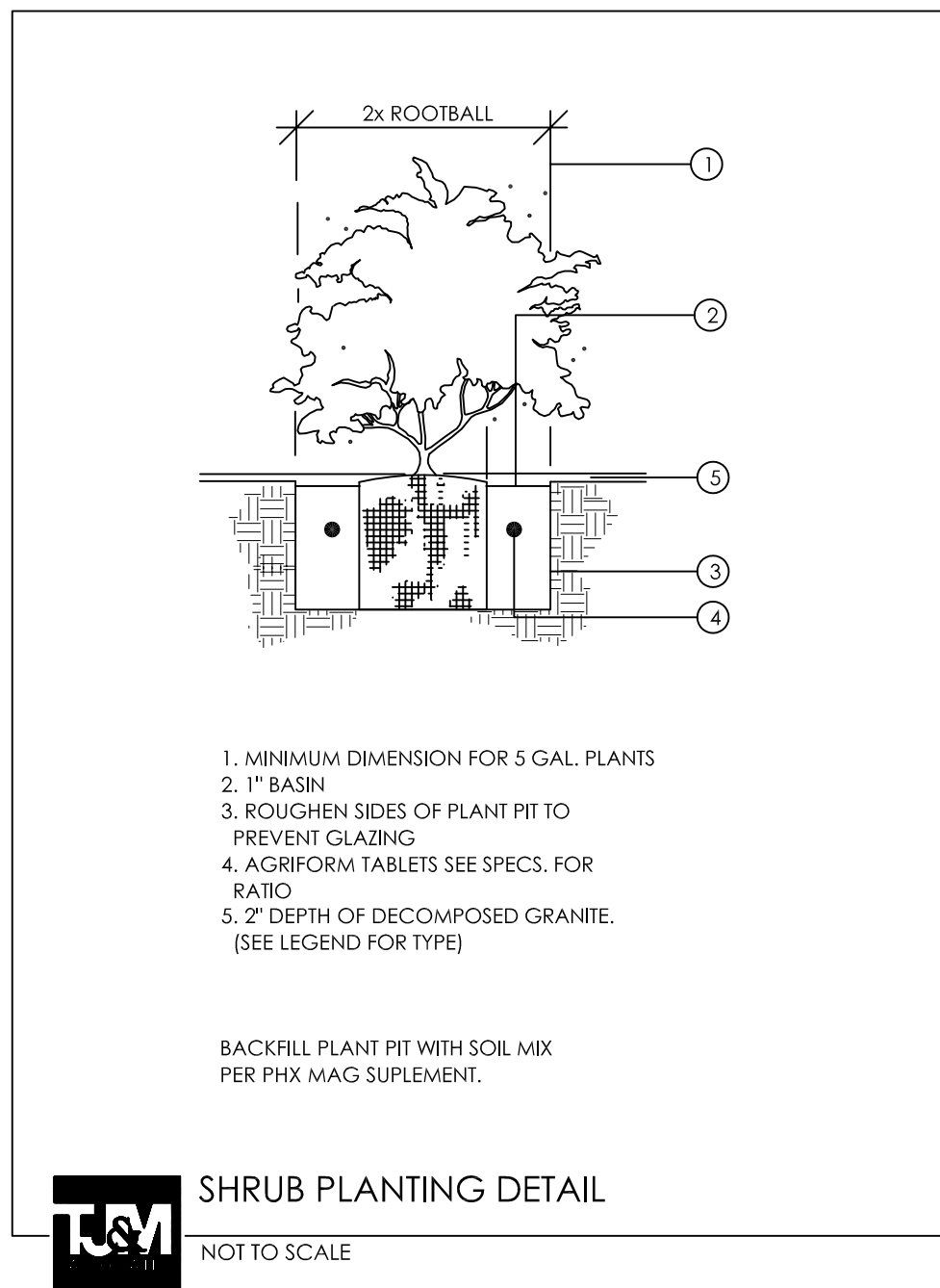
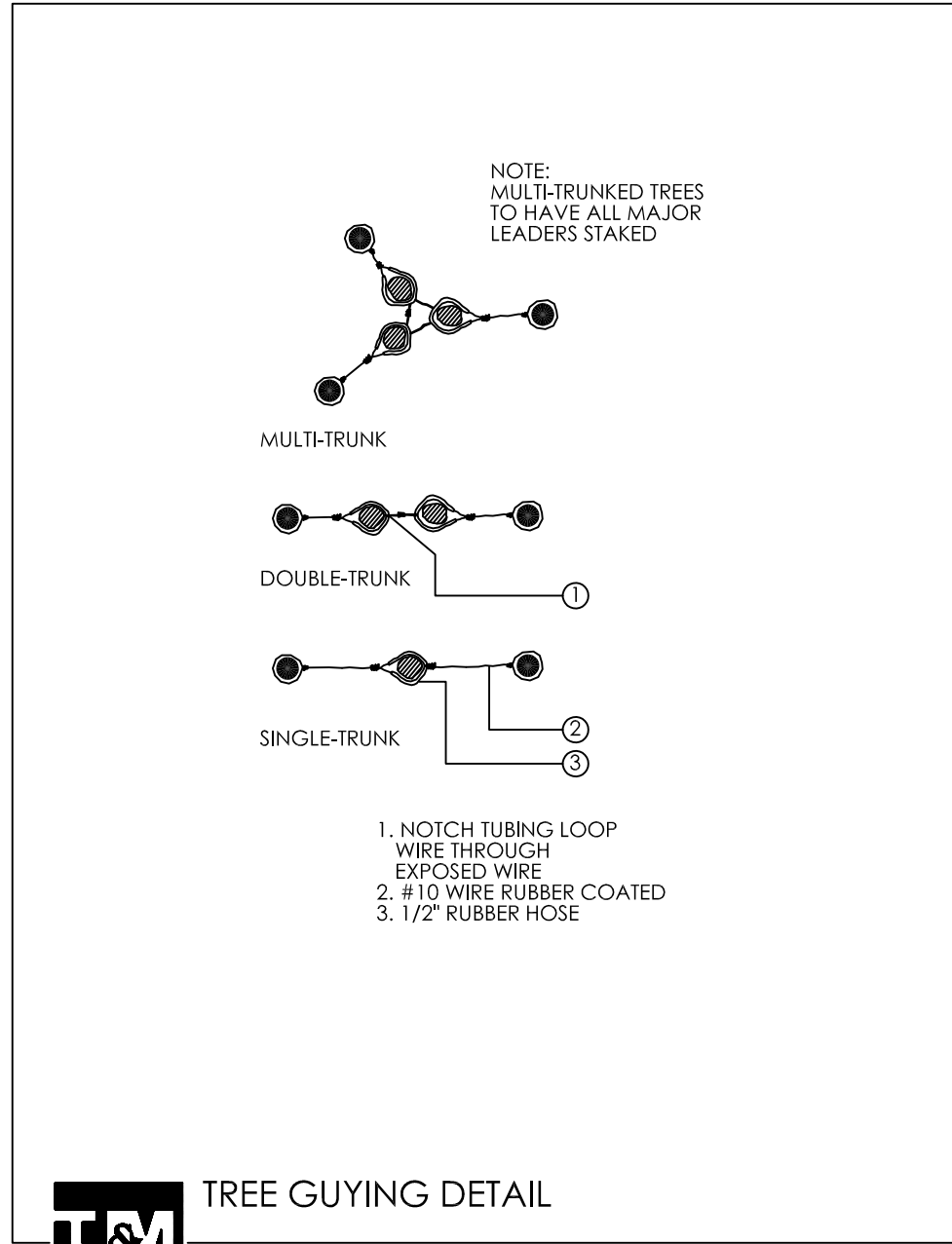
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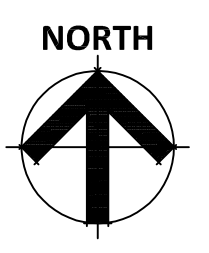
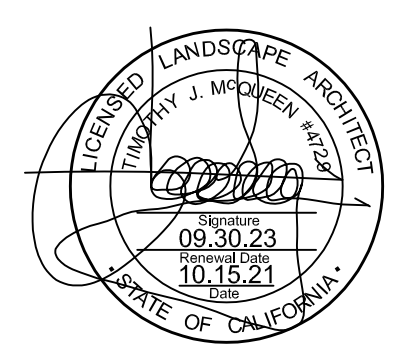


NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE COMPLETION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY REQUIRE OWNER TO MAKE A PRIOR CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.



LANDSCAPE LEGEND

- WASHINGTONIA ROBUSTA
MEXICAN FAN PALM
8' TRUNK FT.
 - PISTACHE CHINENSIS
PISTACHE
24" BOX
 - ULMUS PARVIFOLIA
CHINESE ELM
24" BOX
 - LAGERSTROMIA INDICA
CRAPE MYRTLE
24" BOX
 - ROSA SP.
WHITE CALIFORNIA ROSE
5 GALLON
 - ROSEMARINUS PROSTRATA
TRAILING ROSEMARY
5 GALLON
 - DASYLIRION WHEELERII
DESERT SPOON
5 GALLON
- 1/2" SCREENED (LOCAL SELECTION)
ROCK MULCH
2" DEPTH IN ALL LANDSCAPE AREAS



BEAUMONT STARBUCKS

449 E. 4TH STREET
BEAUMONT, CA
DATE: 10-15-2021

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La.01

RKAA# 21189.00





**CITY OF BEAUMONT
PLANNING DEPARTMENT
DRAFT CONDITIONS OF APPROVAL**

PLANNING COMISSION DATE: November 9, 2021

PROJECT NAME: Starbucks

PROJECT NOS.: PP2021-0386 & CUP2021-0059

DESCRIPTION: A request to demolish the former Denny's restaurant and construct a 2,200 square foot coffee shop with a drive-thru on 0.64 acres located on 4th Street, east of Beaumont Avenue in the Community Commercial zone.

APPLICANT: Orum Capital

LOCATION: 449 E. 4th Street

APN: 418-190-003 and portions of 418-190-004 and 418-190-005

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

STANDARD CONDITIONS

1. The permit for the above referenced Plot Plan and Conditional Use Permits consists of all Conditions of Approval herein. All Conditions of Approval for PP2021-0386 & CUP2021-0059 and other related approvals are still in effect.
2. The use hereby permitted is for the establishment of a quick service restaurant with a drive thru located at 449 E. 4th Street.
3. The Community Development Director may approve minor modifications to the site plan that are in substantial conformance to the approved project and that do not increase impacts. All copies of the revised plans shall be dated and signed by the Director and made a part of the record.
4. The permittee shall defend, indemnify, and hold harmless the City of Beaumont, the Beaumont Redevelopment Agency, its agents, officers, consultants, and employees from any claims, action, or proceeding against the City of Beaumont or its agents, officers, consultants, or employees to attack, set aside, void, or annul, an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning Plot Plan PP2021-0386 and Conditional Use Permit CUP2021-0059. The City of Beaumont will promptly notify the permittee of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the permittee of any such claim, action or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont.

5. This approval is subject to the City of Beaumont Municipal Code Section 17.02.100 Conditional Use Permits and is subject to timing specified in Sections (J) Conditional Use Permit Time Limits, (K) Conditional Use Permit Lapse in Time, (L) Conditional Use Permit Renewal and (M) Lapsing in Conditional Use Permit.
6. This approval is subject to the City of Beaumont Municipal Code Section 17.02.170 Plot Plans and is subject to timing specified in Sections (I) Plot Plan Time Limits and (J) Plot Plan Lapse in Time.
7. Administrative Plot Plan and business license application review and approval are required prior to occupancy of the building or sales of any items.
8. Occupancy inspections will be required prior to the start of operations by the Building & Safety, Planning, Police, and Fire Departments. All inspections shall be performed and approved before a Certificate of Occupancy will be issued by the Building and Safety Department.
9. If any of the conditions of approval are violated, or if the use otherwise become a public nuisance as set forth in the Beaumont Municipal Code, the conditional use permit may be revoked as prescribed in the Municipal Code.
10. For Sales Tax Purposes, this location shall be the "Point-of-Sale" for all transactions conducted.
11. The Community Development Director shall monitor the subject use to ensure that the scale of the use does not exceed the limitations of the existing site improvements. In the event the Community Development Director determines that the scale of the use has exceeded site limitations, a hearing shall be scheduled before the Planning Commission to review the permit and consider modification or revocation thereof.
12. After 12 months of operation, the subject matter may, at the discretion of the Community Development Director, be scheduled for review by the Planning Commission. The Commission shall retain the authority to amend these conditions of approval at such time, or to modify the use or revoke the permit if substantial problems result from the operation.
13. The applicant shall be responsible for securing clearance, permits and approvals from all relevant agencies, including the Building Department, Fire Department, Health Department, and any other necessary departments or agencies.

PP2021-0386 & CUP2021-0059
Draft Conditions of Approval
Page 3

14. This permit shall be for the benefit of the applicant in whose name the permit was issued, for the specific approved location. The permit shall not be transferrable to another individual or location.
15. An anti-graffiti coating shall be provided on all block walls, and written verification from the developer shall be provided to the City of Beaumont Planning Department.
16. The project shall comply the outdoor lighting (night sky) requirements of Beaumont Municipal Code Chapter 8.50.
17. Outdoor lighting systems in the Commercial/Industrial zone shall be turned off or reduced in lighting by at least 50 percent beginning at 10:00 pm. or close of business, whichever is later, until dawn or the start of business, whichever is sooner. When possible, the lighting system shall be turned off rather than reduced in lighting level. Lighting shall be equipped with controls for photocell on and time off.
18. Signage is not approved as part of this project. Any new signage on the site is subject to a sign permit application from the City of Beaumont and shall be developed in conformance with the zoning ordinance of the Beaumont Municipal Code, Chapter 17.07.
19. The hours of operation for the quick service restaurant with a drive shall be a from 4:30am to 10pm, 7 days a week.
20. Outdoor merchandise displays are not permitted as part of this project.
21. No outdoor activities are permitted within the parking area without an approved Temporary Use Permit.
22. All electrical and mechanical equipment, including but not limited to, air-conditioning units, electrical boxes, transformers, backflow preventers, and roof-mounted equipment shall be visually screened from public view.
23. No vehicles may be parked on sidewalks, parkways, driveways, or alleys.
24. Prior to the issuance of any building or grading permits, the applicant shall merge the subject parcels.
25. Prior to the issuance of a building permit, the applicant shall provide documentation that a reciprocal parking and access easement has been recorded with the property owner to the west (Del Taco).

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Draft Conditions of Approval
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26. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash, disease, vermin, and debris, during the term of this Project.
27. Landscape and irrigation plans shall be prepared by a Licensed Landscape Architect and submitted in conjunction with Building Plan check and this project shall be subject to all the requirements listed in the Water Efficiency Landscaping Ordinance.
28. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, all landscaping shall be installed to the satisfaction of the Planning Department.
29. Prior to the issuance of a Certificate of Occupancy or finalization of the Building Permit, landscaped areas shall have an automatic irrigation system, with automatic timers, installed and operational.

BUILDING DEPARTMENT CONDITIONS

30. It shall be unlawful for any person to engage in or permit the generation of noise related to landscape maintenance, construction including erection, excavation, demolition, alteration or repair of any structure or improvement, at such sound levels, as measured at the property line of the nearest adjacent occupied property, as to be in excess of the sound levels permitted under Chapter 9 of the Municipal Code, at other times than between the hours of 7:00 a.m. and 6:00 p.m. The person engaged in such activity is hereby permitted to exceed sound levels otherwise set forth in this Chapter for the duration of the activity during the above described hours for purposes of construction. However, nothing contained herein shall permit any person to cause sound levels to at any time exceed 55 dB(A) for intervals of more than 15 minutes per hour as measured in the interior of the nearest occupied residence or school.

FIRE DEPARTMENT CONDITIONS

With respect to the conditions of approval for the referenced project, the Fire Department requires the following fire protection measures be provided in accordance with Riverside County Ordinances and/or recognized fire protection standards:

31. Fire Hydrants and Fire Flow: Prior to the issuance of building permits, provide a current fire flow report from the local water purveyor indicating the available fire flow from the nearest fire hydrant. The required fire flow for this project is 1,500 gpm at 20 psi residual pressure for a 2-hour duration from a fire hydrant within 400 feet of the furthest point on the structure. An approved water supply for fire protection during construction

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shall be made available prior to the arrival of combustible materials on site. Reference 2019 California Fire Code (CFC) 507.5.1, 3312, Appendices B and C.

32. Fire Department Access: Prior to building permit issuance, provide a site plan showing the fire lanes. Access roads shall be provided to within 150 feet to all portions of the exterior building walls and shall have an unobstructed width of not less than 24 feet. The construction of the access roads shall be all weather and capable of sustaining 60,000 lbs. over two axels for commercial developments. Approved vehicle access, either permanent or temporary, shall be provided during construction Ref. CFC 503.1.1, 3310.1 and 503.2.1
33. Construction Permits Fire Department Review: Submittal of construction plans to the Office of the Fire Marshal for development, construction, installation and operational use permitting will be required. Final fire and life safety conditions will be addressed when the Office of the Fire Marshal reviews these plans. These conditions will be based on occupancy, use, California Building Code (CBC), California Fire Code, and related codes, which are in effect at the time of building plan submittal.
34. Knox Box: Buildings shall be provided with a Knox Box. The Knox Box shall be installed in an accessible location approved by the Office of the Fire Marshal. Ref. CFC 506.1
35. Addressing: All commercial buildings shall display street numbers in a prominent location on the address side and additional locations as required. Ref. CFC 505.1 and County of Riverside Office of the Fire Marshal Standard #07-01

POLICE DEPARTMENT

36. All exterior lighting on the site shall remain functional and be kept on during all hours of darkness. Exterior lighting shall be sufficient to illuminate the storefront during all hours of darkness. Any proposed outside lighting shall be in compliance with the City's Lighting Ordinance, Chapter 8.50, of the City of Beaumont Municipal Code.
37. The address of the business shall be clearly visible from the front of the building and shall be illuminated during hours of darkness.
38. Remove litter daily from the premises, adjacent sidewalks and parking lots under site's control and sweep/clean these areas weekly.
39. Remove graffiti from premises and parking lot.

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40. Have no more than 33% of the windows covered with advertising or signs.

41. The applicant shall comply with all applicable local, county, state and federal regulations, including the City's Municipal Code and the California Business and Professions Code (B&P).

PUBLIC WORKS

GENERAL

42. The following is a non-inclusive list of items that may be required by the Public Works Department:

A. Plans:

- i. Street Improvement Plan
- ii. Landscape Plan offsite
- iii. Precise Grading Plan w/ onsite storm drain
- iv. Erosion Control Plan
- v. Retaining wall Plan (for line and grade only)
- vi. Sewer Improvement Plan
- vii. Traffic Control Plan

B. Reports & Studies:

- i. Geotechnical Report
- ii. Final Water Quality Management Plan (F-WQMP)
- iii. Offsite Improvement Engineer's Cost Estimate (ECE)
- iv. Grading & Pad Certification
- v. Compaction Report

C. Permits and agreements:

- i. Permission to Grade and Construction agreements (if applicable)
- ii. Non-interference letters (if applicable)
- iii. WQMP Covenant and Agreement
- iv. City Grading Permit
- v. City Encroachment Permit
- vi. Performance Bond

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- vii. Labor & Material Bond
- viii. Maintenance Bond

D. Survey Documents:

- i. Easement Dedications
- ii. Corner Record
- iii. Record of Survey

43. The design of public infrastructure elements shall conform to the requirements of the City General Plan, Water Quality Management Plan, Master Plans, City of Beaumont Standards, Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification, Caltrans Standard Specifications and the Standard Specifications for Public Works Construction, current edition, as required by the City Engineer.
44. The design of private site improvements and grading work outside of road right of way shall conform to the latest edition of California Building Code and the City of Beaumont standards and practices.
45. All required plans and studies shall be prepared by a Registered Professional Engineer, Registered Professional Geologist or Registered Professional Surveyor in the State of California, and submitted to the Public Works Department for review and approval.
46. The Applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
47. The Applicant is responsible for resolving any conflicts with existing or proposed easements. All easement(s) of record and proposed easements shall be shown on the final map, grading plan and improvement plans, where applicable.
48. The Applicant shall obtain an Encroachment Permit, as required, for all work within the public right-of-way.

MAPPING & SURVEYING

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49. PRIOR TO START OF CONSTRUCTION: Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
50. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT: The applicant shall verify and/or set all property corners, r/w corners, and centerline monuments. Subsequently, the applicant shall cause the surveyor to file the appropriate documents and records to the County of Riverside.
51. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall provide an easement over, across and which provides ingress and egress to all private water quality, stormwater and drainage basins, to be dedicated to the City, for ingress, egress and right to inspect unless otherwise directed by the City Engineer.
52. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The Applicant, at its sole expense, shall obtain all right-of-way or easement acquisitions necessary to implement any portion or condition of this project, including public improvements; off-site grading & construction; offsite street requirements; offsite sewer requirements; storm drain improvements; or any other requirement or condition.

STREET IMPROVEMENTS

53. PRIOR TO ISSUANCE OF ENCROACHMENT PERMIT: The applicant shall provide securities guaranteeing the payment of the cost for all public improvements. The securities shall include Faithful Performance and labor and materials for 100% of the approved Engineer's Cost Estimate (ECE).
54. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The applicant shall underground existing utility poles along the project frontage, and as necessary for transitions, in accordance with the City of Beaumont. Should the utility poles be exempt from undergrounding, as identified in the Municipal Code, the applicant shall relocate the poles sufficient to construct the improvements required as part of the development.
55. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The Applicant shall complete all half-width improvements, coincident with the project boundary and as necessary to safety transition to the existing improvements. The improvements shall include:
- A. 6" Curb and Gutter per RCTD std. 200;

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- B. Sidewalks shall be curb-adjacent type per RCTD std. 401, unless otherwise directed by the Planning Department;
- C. Commercial driveway at entrance per RCTD std. 207A;
- D. All sawcuts and joining of existing ac paving shall be per the City's pavement restoration detail.

56. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The Applicant shall replace any sidewalk, curb and gutter, drive approach, AC pavement or other improvement damaged during construction as determined necessary by the City Engineer.

57. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The Applicant shall install public streetlights along the project frontage of perimeter streets, or as directed by the City Engineer, in accordance with the City of Beaumont Approved Street Lighting Specifications. The Applicant shall coordinate with Public Works before submitting street light plans.

58. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The Applicant shall perform a full-section removal and replacement as necessary, along Fourth Street, from edge of gutter to centerline of improvements, coincident with the project frontage.

59. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The applicant shall design and install offsite landscaping and supporting irrigation system. All irrigation and landscaping associated with this project will be privately maintained. The landscape within public right-of-way shall occur on a separate plan set from the on-site landscaping.

GRADING AND DRAINAGE IMPROVEMENTS

60. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall design the drainage facilities to capture the 100-year storm event.

61. PRIOR TO ISSUANCE OF A GRADING PERMIT: The Applicant shall design the drainage facilities to collect and convey all on-site drainage flows in a manner consistent with the historic drainage pattern and discharge in a manner which will not increase damage, hazard, or liability to adjacent or downstream properties.

62. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall design all storm drains, catch basins, and storm water structures with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

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63. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall design temporary drainage facilities and erosion control measures to minimize erosion and silt deposition during the grading operation.
64. PRIOR TO ISSUANCE OF A GRADING PERMIT: a final project-specific Water Quality Management Plan (F-WQMP) shall be submitted to Public Works Department. The WQMP shall incorporate, but not limited to, the following: site design BMP's, applicable source control BMP's, treatment control BMP's, long term operation and maintenance requirements, and inspection and maintenance checklist. Maintenance and funding requirements shall be outlined in the WQMP for the maintenance of the development BMP's. The post construction Best Management Practices (BMPs) outlined in the approved final project-specific WQMP shall be incorporated in the improvement plans.
65. PRIOR TO ISSUANCE OF A GRADING PERMIT: a WQMP Covenant and Agreement shall be fully executed and recorded.
66. CONCURRENT WITH GRADING OPERATIONS: Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the City Engineer for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the City Engineer for review and approval, which may require additional tests at the expense of the applicant.
67. PRIOR TO OBTAINING A BUILDING PERMIT: The applicant shall pay all applicable development fees as indicated on the fee schedule, current at the time of permit, available from the City, including, but not limited to the following:
- A. Fire Protection Impact
 - B. Police Facilities Impact
 - C. Public Facility
 - D. Streets and Bridges Impact
 - E. Traffic Signal Impact
 - F. Railroad X'ing Impact
 - G. General Plan
 - H. Emergency Preparedness
 - I. Recycled Water Facility
 - J. Sewer Application

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- K. Sewer Capacity
- L. Sewer Area Benefit Fees
- M. MSHCP
- N. TUMF

SEWER IMPROVEMENTS

68. PRIOR TO ISSUANCE OF ANY OCCUPANCY PERMIT (COO): The on-site sanitary sewer system shall connect to the existing municipal sewer system in Fourth Street.
69. PRIOR TO PLACEMENT OF PAVEMENT: The private sewer lateral that occurs in public right-of-way, shall be inspected and repaired as necessary to eliminate all deteriorated, damaged and leaking segments.

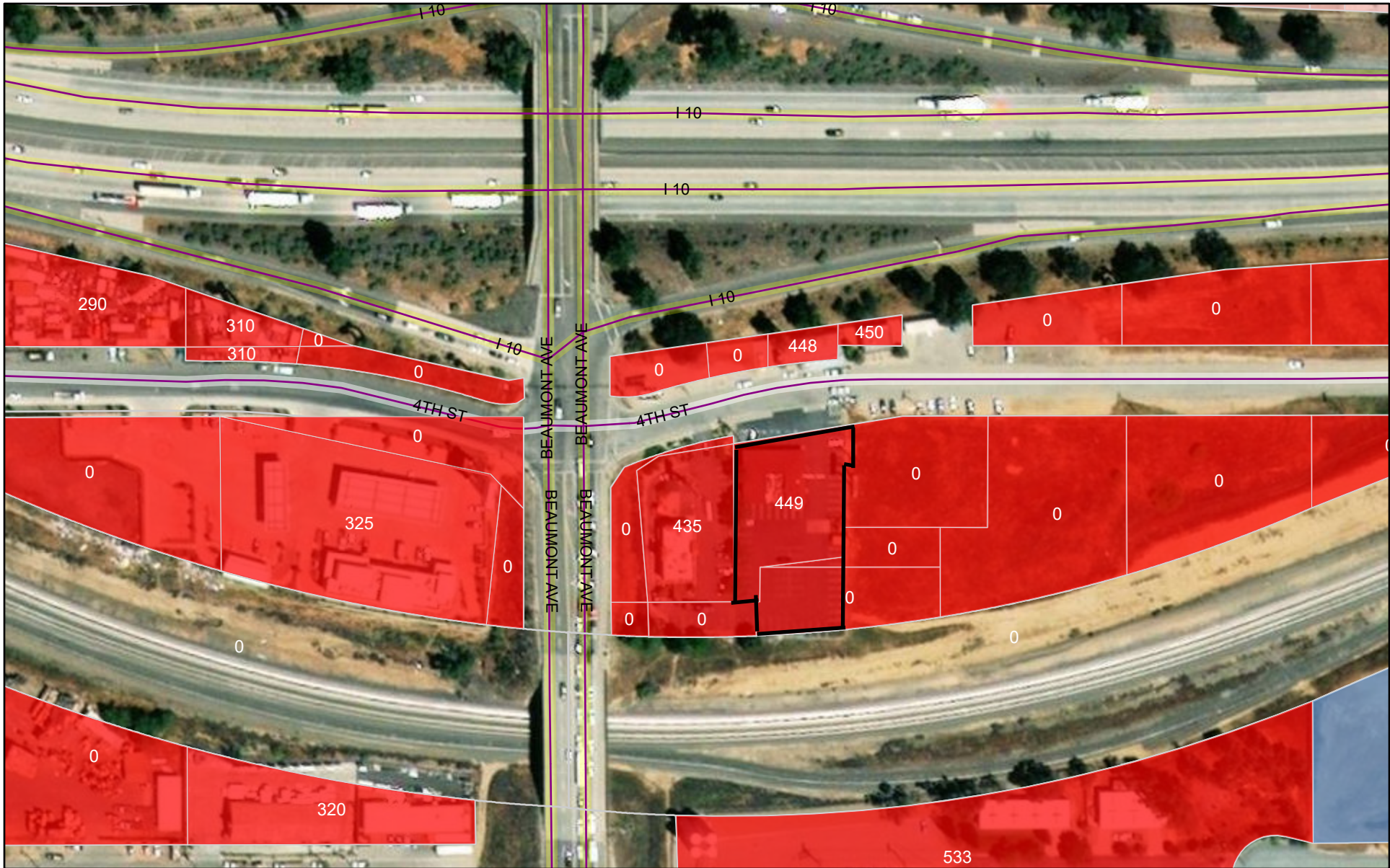
WATER IMPROVEMENTS

70. PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO): The applicant shall ensure all water valves and vault covers within paved areas are raised flushed with finished surface and painted after paving is completed.
71. PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO): The applicant shall ensure all fire hydrants; air vacs and other above ground water facilities are placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with the finished surfaces and are properly rated for chosen locations as approved by the City Engineer.

End of Conditions

PP2021-0386 & CUP2021-0059 General Plan Land Use Designation Map

Item 3.



11/4/2021, 8:16:35 AM

General Plan

Industrial

Downtown Mixed Use



General Commercial

Parcel Labels



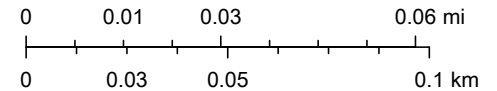
Parcels

Street Labels

Highways/Major Streets

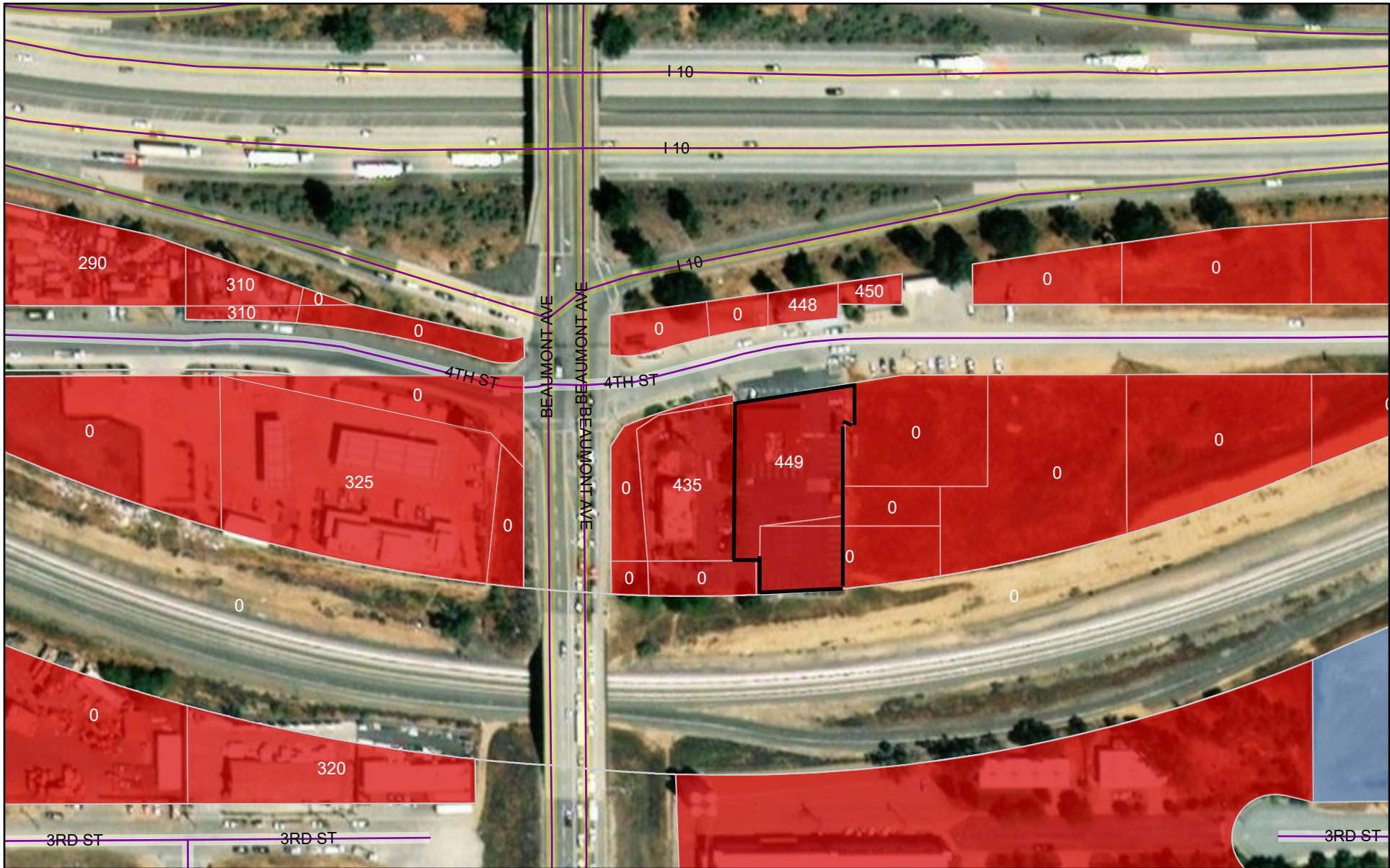
Minor Streets

1:2,257



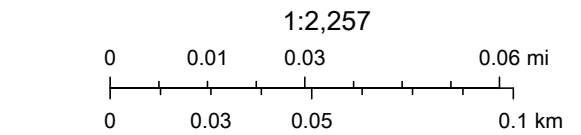
San Bernardino County, Maxar

PP2021-0386 & CUP2021-0059 Zoning Map



11/4/2021, 8:14:56 AM

- | | | |
|----------------------------|---------------|------------------------|
| Zoning | Manufacturing | Street Labels |
| Union Pacific Rail Roadway | Parcel Labels | Highways/Major Streets |
| Community Commercial | Parcels | Minor Streets |



San Bernardino County, Maxar

PP2021-0386 & CUP2021-0059 Aerial Photograph

Item 3.



Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 192 385 Feet

REPORT PRINTED ON... 11/4/2021 8:51:56 AM

© Riverside County GIS

Notes



PROJECT NARRATIVE

Starbucks
499 East 4th Street
E of SEC of East 4th Street and Beaumont Avenue
Beaumont, CA 92223

Arizona Office

2233 East Thomas Road
Phoenix, AZ 85016
Office: (602) 955-3900
rkaa.com

California Office

1151 Dove Street, Suite #175
Newport Beach, CA 92660
Office: (949) 954-8785

Licensed in:

- Alabama
- Alaska
- Arizona
- Arkansas
- California
- Colorado
- Connecticut
- Florida
- Georgia
- Hawaii
- Idaho
- Illinois
- Indiana
- Iowa
- Kansas
- Kentucky
- Louisiana
- Maryland
- Massachusetts
- Michigan
- Minnesota
- Mississippi
- Missouri
- Montana
- Nebraska
- Nevada
- New Hampshire
- New Jersey
- New Mexico
- New York
- North Carolina
- North Dakota
- Ohio
- Oklahoma
- Oregon
- Pennsylvania
- South Carolina
- South Dakota
- Tennessee
- Texas
- Utah
- Virginia
- Washington
- West Virginia
- Wisconsin
- Wyoming



To: City of Beaumont
Planning Department
550 East 6th Street
Beaumont, CA 92223
www.BeaumontCa.gov

Re: Pre-Application

With this submittal, we are proposing 2,200 S.F. Starbucks with drive thru. The existing site is currently labeled 'Full-Service Restaurant' and is intended to remain. Directly north of the parcel is East 4TH Street, south of the parcel is the Union Pacific Railway. To the west of the parcel is 'Fast Food Restaurant' and east of the parcel is 'Vacant Commercial Land' as labeled by the City of Beaumont.

Principals:

Robert W. Kubicek, AIA
Kathleen D. Rieger, VP
Steve A. Noe, VP
Neil A. Feaser, AIA



Owner information in regards to store operation procedures, "We're a retail coffee store, 4:30 AM to 10:00 PM for the planned store hours, 15-20 store employees, and we use espresso machines, blenders, and warming ovens for our equipment. We receive deliveries 3-5 times a week".

Currently an existing restaurant occupies the property which is to be demolished, we believe this proposed development and overall design will enrich the existing property and surrounding community.

We look forward to working with the City of Beaumont on this project.

Regards,

A handwritten signature in blue ink, appearing to read 'N. Feaser'. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Neil Feaser, AIA NCARB
RCAA Architects, Inc.

THE PRESS-ENTERPRISE

1825 Chicago Ave, Suite 100
Riverside, CA 92507
951-684-1200
951-368-9018 FAX

PROOF OF PUBLICATION (2010, 2015.5 C.C.P)

Publication(s): The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc.: Starbucks Legal Ad 10.26.21 /

I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

10/29/2021

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Date: October 29, 2021
At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

BEAUMONT, CITY OF / LEGAL
550 E SIXTH ST
BEAUMONT, CA 92223

Ad Number: 0011497361-01

P.O. Number:

Ad Copy:

LEGAL ADVERTISEMENT

Item 3.

NOTICE IS HEREBY GIVEN, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, November 9, 2021, at 550 East Sixth Street, Beaumont, California.

PLOT PLAN NO. PP2021-0386 & CONDITIONAL USE PERMIT NO. CUP2021-0059 (STARBUCKS), Conduct a public hearing and consideration of a request to demolish the former Denny's restaurant and construct a 2,200 square foot coffee shop with a drive-thru on 0.64 acres located on 4th Street, east of Beaumont Avenue in the Community Commercial zone. The proposed application is exempt from the provisions of the California Environmental Quality Act (Class 32 - In-Fill Development). APNS: 418-190-004 and a portion of 418-190-004 and -005.

The applicant for this project is **ORUM CAPITAL**

Public comments can be made in person with adherence to the current COVID-19 safety protocols, using the public comment phone line or by written email. Phone-in comments will be accepted by calling the designated public comment phone line (951) 922-4845 prior to the corresponding item. Public comments shall not exceed three minutes unless otherwise authorized by Planning Commission. Written comments can be emailed to NicoleW@BeaumontCa.gov Public comments accepted via email will be read aloud during the corresponding item of the meeting. Comments can be submitted any time prior to the meeting as well as during the meeting until the end of the corresponding item.

This meeting will be conducted utilizing teleconference communications and will be recorded for live streaming. All City of Beaumont public meetings will be made available via live streaming and made available on the City's official YouTube webpage. Please use the following link during the meeting for live stream access: BeaumontCa.gov/Livestream

Carole Kendrick
Planning Manager

Press-Enterprise: 10/29



Staff Report

TO: Planning Commissioners

FROM: Carole Kendrick, Planning Manager

DATE: November 9, 2021

SUBJECT: **PLAN2021-0669 for Consideration of a Sign Program for the Beaumont Landing Project Located at 1396 Desert Lawn Drive (APNS: 414-090-005 & 414-090-007) in the Community Commercial (CC) Zone**

APPLICANT: Architectural Design & Signs

Background and Analysis:

The subject property is currently entitled to construct and operate a gas station with nine (9) fuel pumps (18 fueling positions), a 6,700 square foot canopy, 3,800 square foot convenience store with an off-sale general license (Type 20) for the sale of beer and wine, and an attached 1,500 square foot car wash and a stand-alone 4,000 square foot drive-thru restaurant on a proposed 3.03-acre site located on the north side of Desert Lawn Drive, east of Oak Valley Parkway and west side of Interstate 10. The project plot plan (PP2018-0119), conditional use permit (CUP2018-0021) and the mitigated negative declaration were approved by the Planning Commission on July 14, 2020.

The grading permit for the subject property is currently on its third plan check and is close to being issued. Building plans were also submitted in 2020 and are currently in review. In preparation for the development of the site, the applicant submitted a sign program on September 30, 2021, to address signage based on the site constraints.

The sign program as proposed includes one (1) freeway pylon sign, one (1) fuel price monument sign, one (1) future monument sign, and various wall and canopy signs. The freeway pylon sign is proposing a maximum height of 76 feet with a total square footage of 300 square feet, located east of the future quick service restaurant pad and just south of the eastbound Interstate 10 Ramp. The sign will be internally illuminated, double faced and accommodates three (3) tenants with ARCO AM/PM occupying 150 square feet, and two (2) 75 square foot, undetermined tenant spaces located below the anchor

tenant. A photo simulation has been prepared by the applicant, which is included as Sheet 13 of Attachment A.

The fuel pricing sign varies in height but has an overall height of 6’-6” and is 8’ in width. The sign will utilize 12” high white LED’s for the unleaded fuel and 6” high green LED’s for diesel. The proposed sign will be located on the northwest corner of the property fronting Desert Lawn Drive and Oak Valley Parkway.

Wall signage is proposing an allowance of two (2) square feet for each linear foot of the tenant’s frontage with a 75% maximum width of the frontage. The canopy signage and way finding signage is standard signage consistent with the Beaumont Municipal Code.

The future monument sign is not detailed in the proposed sign program and therefore will be subject to the Beaumont Municipal Code, Section 17.07.110.A.2.

The Municipal Code of the City of Beaumont Section 17.07.030.L allows sign programs for specific developments, as well as special sign districts or special sign overlay zones, or in specific plans of land uses, when approved as required by applicable law, may modify the rules stated as to sign size, height, illumination, spacing, orientation or other non-communicative aspects of signs, but may not override or modify any of the basic policies.

The following tables identifies the maximum allowances for a variety of signs in comparison to what the applicant is requesting as part of the proposed sign program. The proposed sign program is consistent with similar projects that have master sign programs in the City.

| | STANDARD ZONING ALLOWANCE | MASTER SIGN PROGRAM PROPOSED |
|----------------------------------|---|-------------------------------------|
| FREEWAY PYLON | 150 Sq. Ft. Max (>250,000) 60’ Max. Height | 300 Sq. Ft. 76’ Height |
| SERVICE STATION MONUMENTS | 30 Sq. Ft. Max. 6’ Max. Height | 48 Sq. Ft. 6’-6” Height |
| MONUMENTS | 30 Sq. Ft. Max. 6’ Max. Height | Not identified |

| | | |
|-------------------|---|--|
| WALL SIGNS | 1 Sq. Ft for each linear foot of frontage 36" Max. Height 70% of frontage | 2 Sq. Ft. for each linear foot of frontage Height not identified 75% of frontage |
|-------------------|---|--|

The project setting can also be seen in the following materials attached to this staff report:

- General Plan Land Use Map (Attachment B),
- Zoning Map (Attachment C), and
- Aerial Photograph (Attachment D).

The land uses, zoning, and General Plan land use designations of the project site and surrounding area are shown in the following Table.

| | LAND USE | GENERAL PLAN | ZONING |
|---------------------|------------------------|-------------------------|---------------------------|
| PROJECT SITE | Vacant Land (Entitled) | GC (General Commercial) | CC (Community Commercial) |
| NORTH | Vacant Land | GC (General Commercial) | CC (Community Commercial) |
| SOUTH | Vacant Land | UV (Urban Village) | UV (Urban Village) |
| EAST | Vacant Land | GC (General Commercial) | CC (Community Commercial) |
| WEST | Vacant Land | GC (General Commercial) | CC (Community Commercial) |

Incorporated herein by Reference:

- City of Beaumont General Plan
- City of Beaumont Zoning Ordinance

- Project Site's Riverside Conservation Authority Multi-Species Habitat Conservation Plan Informational Map
- Contents of City of Beaumont Planning Department Project File CUP2018-0021, PP2018-0119 & PLAN2021-0669

Recommended Action:

Approve PLAN2021-0669 for the Beaumont Landing Sign Program as presented.

Attachments:

- A. Beaumont Landing Sign Program
- B. General Plan Land Use Designation Map
- C. Zoning Map
- D. Aerial Photograph

Beaumont Landing

SEC Oak Valley Parkway and Interstate Freeway 10
Beaumont, CA 92223

Master Sign Program

October 20th, 2021

PREPARED FOR

ADMG, Inc.
10995 Indiana Avenue
Riverside, CA 92503

PREPARED BY

AD/S
1160 Railroad St.
Corona, California 92882
951.278.0680



Beaumont Landing

PROPERTY MANAGER/
OWNER REPRESENTATIVE

ADMG, Inc.
10995 Indiana Avenue
Riverside, CA 92503

SIGN CONSULTANT



1160 Railroad Street
Corona, CA 92882
Tel. 951.278.0680 Fax. 951.270.2005

T A B L E O F C O N T E N T S

| | |
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| C-Store Elevations | 8 |
| Fuel Canopy Elevations | 9 |
| C-Store & Fuel ID Signage | 10 |
| Pad 2 Bldg. Elevations | 11 |
| Freeway Pylon Sign | 12 - 13 |

GENERAL SIGN CONSTRUCTION REQUIREMENTS:

1. All signs and their installation shall comply with all local building and electrical codes.
2. All electrical signs will be fabricated by a U.L. Approved sign company, according to U.L. Specifications and bear U.L. Label.
3. Sign Company to be fully licensed with the City and State and shall have full Workman's Compensation and general liability insurance.
4. All penetrations of building exterior surface are to be sealed waterproof in color and finish to match existing exterior.
5. Internal illumination shall be Light Emitting Diodes (LED).
6. Painted surfaces to have satin finish. Only paint containing acrylic polyurethane products may be used.
7. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.
8. All lighting must match the exact specification of the approved working drawings. No exposed conduits or raceways will be allowed.
9. Signs must be made of durable rust-inhibiting materials that are appropriate complimentary to the building.
10. Color coating shall exactly match the colors specified on the approved plans.
11. Joining of materials (e.g., Seams) shall be finished in a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
12. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free from dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
13. Exposed junction boxes, LED modules and wiring are not permitted.

TENANT SIGNAGE SPECIFICATIONS:

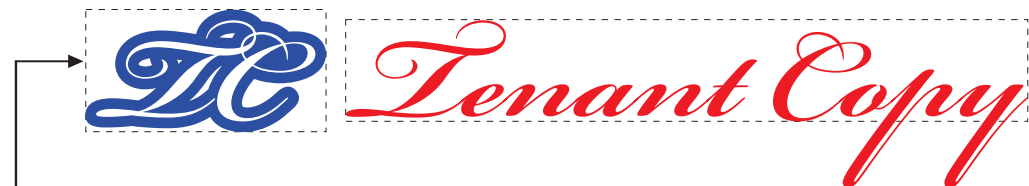
The intent of this criteria is to encourage creativity to ensure the individuality of each tenant sign as opposed to similar sign design, construction, and colors repeated throughout the project. Signs must be architecturally compatible with the entire center.

STOREFRONT SIGNAGE

The following types of construction will be allowed:

- Illuminated Lexan Face Channel Display with face illumination
See details on Sheet 5.
- Illuminated Reverse Channel display with halo illumination
See details on Sheet 5.
- Illuminated Lexan Face Channel Display with face and halo illumination
See details on Sheet 5.
- Under Canopy ID Signs
Under canopy ID signs shall be centered on the lease space and oriented perpendicular to the adjacent building wall.
- Window Signs
Window signs should be centered on the storefront glass nearest the main pedestrian entrance.
- Delivery Entrance Signs
If the business has a non-customer rear door for receiving merchandise, the tenant may attach a sign consisting of 2" high Helvetica medium letters, identifying the business names and address. The location of this sign will be subject to landlord approval.

The idea of using dissimilar materials and creating signs with varying colors, layers, and textures will create an exciting appealing retail environment.



Irregular shaped icons & logos should be considered in sign design for increased visual impact.

BUILDING SIGN AREA CALCULATIONS:

The area within a maximum of two elements, with each element comprised of a maximum four continuous straight lines enclosing the entire perimeter of the sign excluding descenders of text that fall below the text baseline and including text above the baseline, emblems, arrows, ornaments, or other sign media.

The maximum width of tenant signs shall be 75% of their leased frontage and the maximum sign area allowed shall be 1.15 square feet per linear foot of each frontage.

FREESTANDING SIGN AREA CALCULATIONS:

For monument and pylon signs, when two identical sign faces are placed back-to-back on the same structure, the sign areas shall be calculated by the measurement of one sign face.

TEMPORARY SIGNS:

All paper signs, banners, balloons, streamers, placards, pennants, or portable signs which direct, promote, attract, service, or which are otherwise designed to attract attention are prohibited, except that the following temporary signs shall be permitted.

1. One banner not exceeding sixty (60) square feet in addition to streamers and pennants, per Landlord approval, shall be permitted for a period not exceeding thirty (30) consecutive days when announcing a grand opening of a new business at the site where the banner is to be displayed. The banner shall be stretched flat and secured tightly against a single flat building surface and shall not extend higher than the building eave or parapet wall.
2. Merchandise sale and special event signs not exceeding 30 percent of a window area may be displayed for a period of time not to exceed thirty consecutive days and not to exceed a total of thirty days in any ninety-day period. Such signs may be painted in water soluble paints or constructed of paper, wood, fabric, plastic or similar materials and shall be restricted to a window area on the premises where the sale is conducted. No more than two colors shall be used for such signs including black and white. Fluorescent colors are prohibited.

INSPECTION:

Landlord reserves the right to hire an independent electrical engineer at the Tenant's sole expense to inspect the installation of all Tenant's signs and to require the Tenant to have any discrepancies and/or code violations corrected at the Tenant's expense.

ABANDONMENT OF SIGNS:

Any tenant sign left after thirty (30) days from vacating premises shall become property of Landlord, and tenant will be billed for removal of said sign and restoration of building as required.

PROHIBITED SIGNS:

1. Signs constituting a Traffic Hazard:
No person shall install or maintain, or cause to be installed or maintained, any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words STOP, LOOK, DANGER or any words, phrases, symbols or characters in such a manner as to interfere with, mislead or confuse traffic.
2. Signs in proximity to Utility Lines:
All signs must maintain clearance from all communication and electrical power lines as required by State of California laws.
3. Signs painted directly onto a building surface are prohibited.
4. Flashing, moving or audible signs are prohibited.
5. Vehicle Signs:
Sign on or affixed to trucks, automobiles, trailers, or other vehicles which are used for advertising, identity, or provide direction to a specific use or activity not related to its lawful activity are prohibited.
6. Light Bulb (or LED) String lighting is prohibited.
7. The use of permanent "sale" signs is prohibited.

ALL COMPANIES BIDDING TO MANUFACTURE

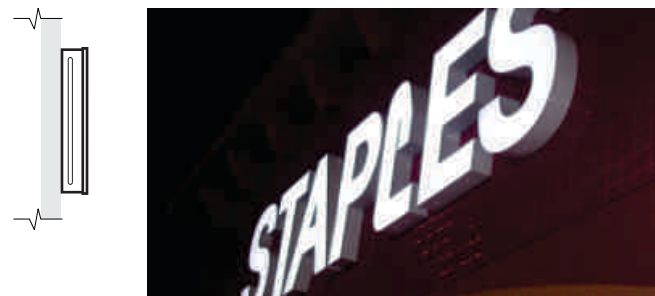
1. Substitutions: All companies bidding to manufacture a tenant's signs are advised that no substitutes will be accepted by the landlord whatsoever, unless so indicated in the specifications which are approved in writing by the landlord, the tenant and City of Beaumont Planning Department. Signs that deviate from these criteria without such approval must be removed at the tenant's expense.
2. Inspection: Prior to acceptance and final payment, each sign will be inspected for conformance to these criteria by the City of Beaumont Planning Department and by an authorized representative of the landlord. Any signs found not in conformance will be rejected and removed at the tenant's expense.
3. Guarantee: The entire sign display shall be guaranteed for one (1) year against defects in material and workmanship. Defective parts shall be replaced without charge.
4. Insurance: The tenant's sign fabrication and installation company shall carry workmen's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs in the amount of One Million Dollars (\$1,000,000), or as provided by current ordinance, combined single limit. The Landlord shall be presented with reasonable evidence of such coverage prior to commencement of any sign construction work. The tenant shall indemnify the Landlord and hold the Landlord harmless from all cost, liability, damages and expense including attorneys' fees and costs, incurred by the Landlord as a result of any sign construction or installation work by the tenant or its contractors.
5. Erection: The tenant's sign company shall completely erect and connect (including all wiring) the subject sign in accordance with these criteria.

NO ASSURANCES

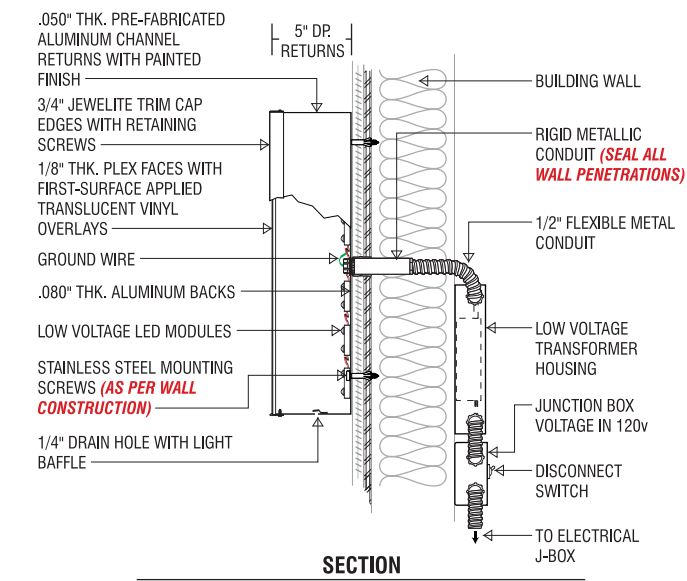
1. The tenant acknowledges that the landlord gives no assurances that a sign approved by the landlord, which is in accordance with provision of these criteria, will be acceptable to the City of Beaumont.
2. The tenant shall be solely responsible for bringing its sign into compliance with all local rules and ordinances.

TYPICAL ALLOWED SIGN STYLES:

These are sign styles are typical examples for multi-tenant commercial centers. Not all sign styles or style combinations are shown here. Individual tenants will have their signs manufactured per national branding standards, including the use of digitally printed vinyl onto illuminated or non-illuminated sign surfaces, and the exact details for each sign will be drawn up and illustrated in that Tenant's permit submissions to the Landlord and the City of Beaumont, CA.



Standard Channel Letters

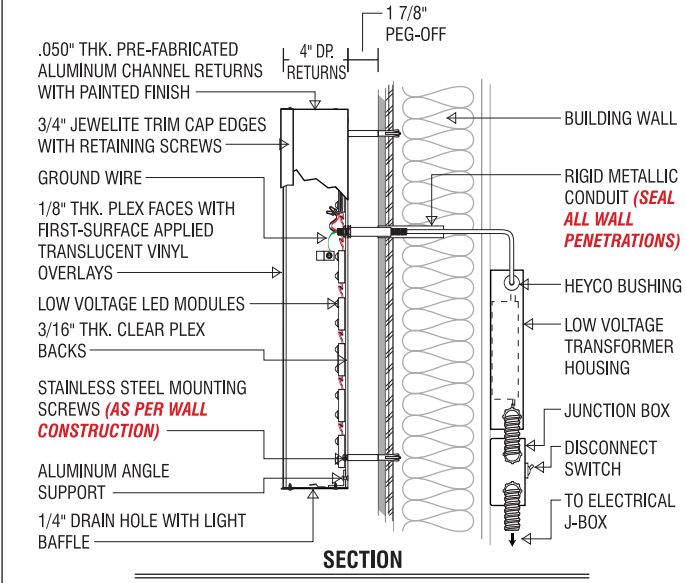


SECTION
SIGN TO BE UL APPROVED AND BEAR UL LABEL
PLEX FACED CHANNEL LETTERS WITH LED ILLUMINATION

NOTE:
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



Front and Halo lit Channel Letters

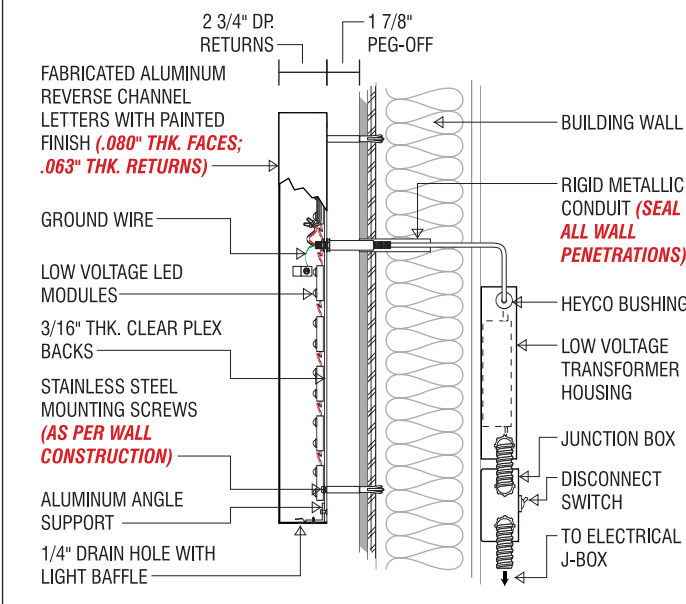


SECTION
SIGN TO BE UL APPROVED AND BEAR UL LABEL
PLEX FACED CHANNEL LETTERS WITH THROUGH FACE & HALO LED ILLUMINATION

NOTE:
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

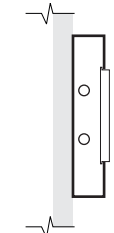


Halo Illumination

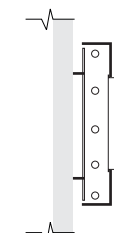


SECTION
SIGN TO BE UL APPROVED AND BEAR UL LABEL
REVERSE PAN CHANNEL LETTERS WITH LED ILLUMINATION

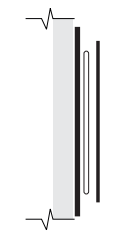
NOTE:
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



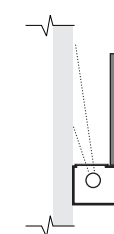
Routed Pushed Through Copy



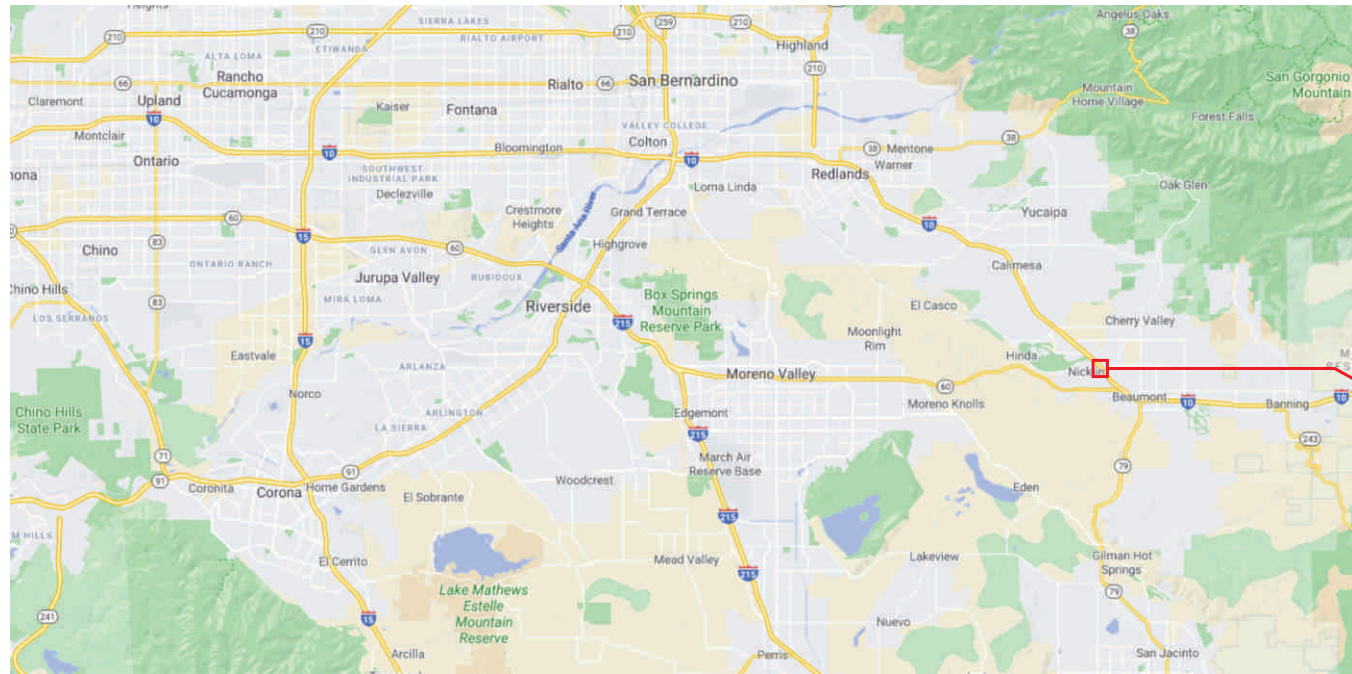
A combination of routed and backed up copy out of a halo illuminated panel



Metal Cut Out Panel with Halo Illumination



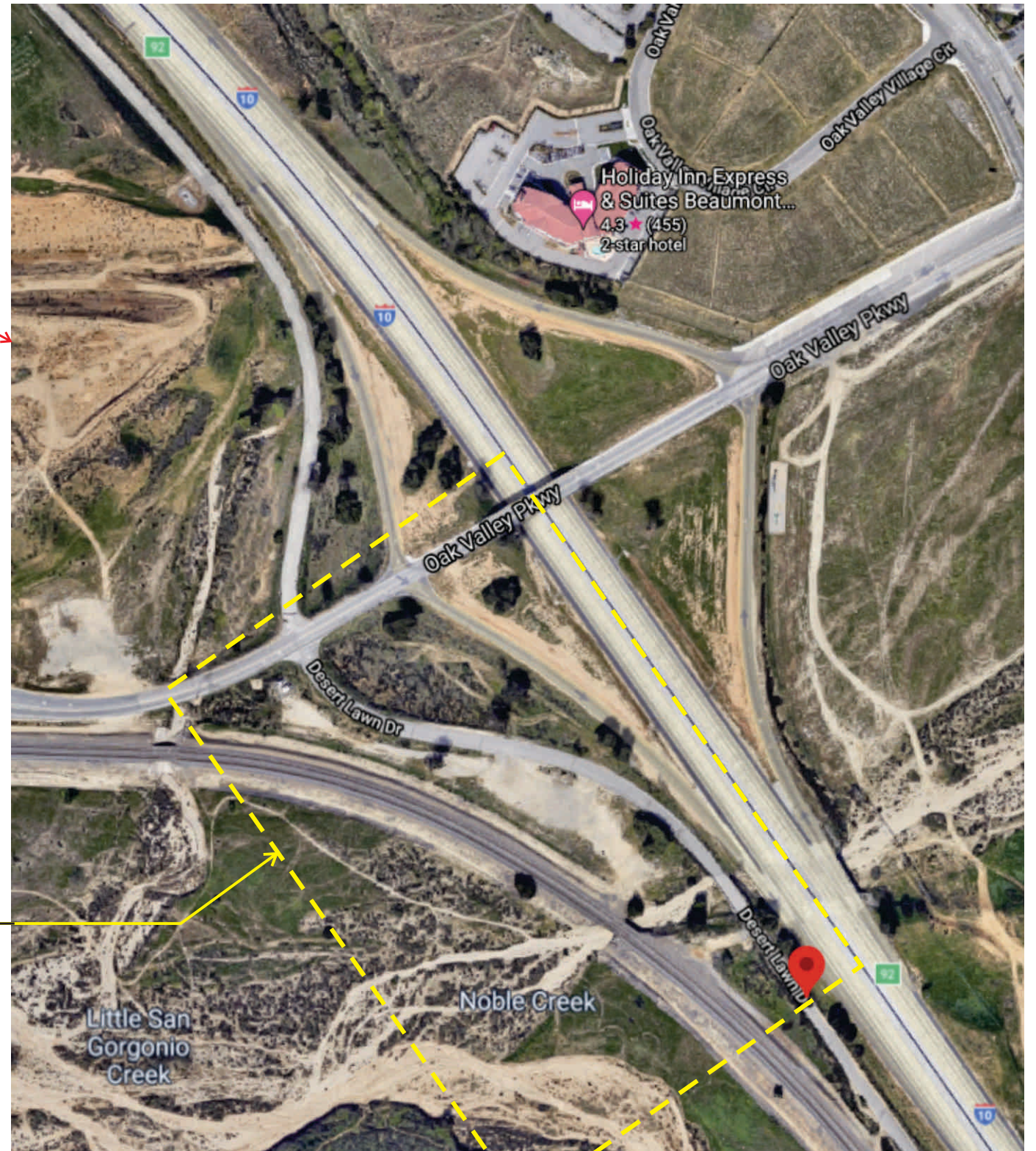
Cove lighting effect for free standing letters



1 REGIONAL MAP
SCALE: NTS



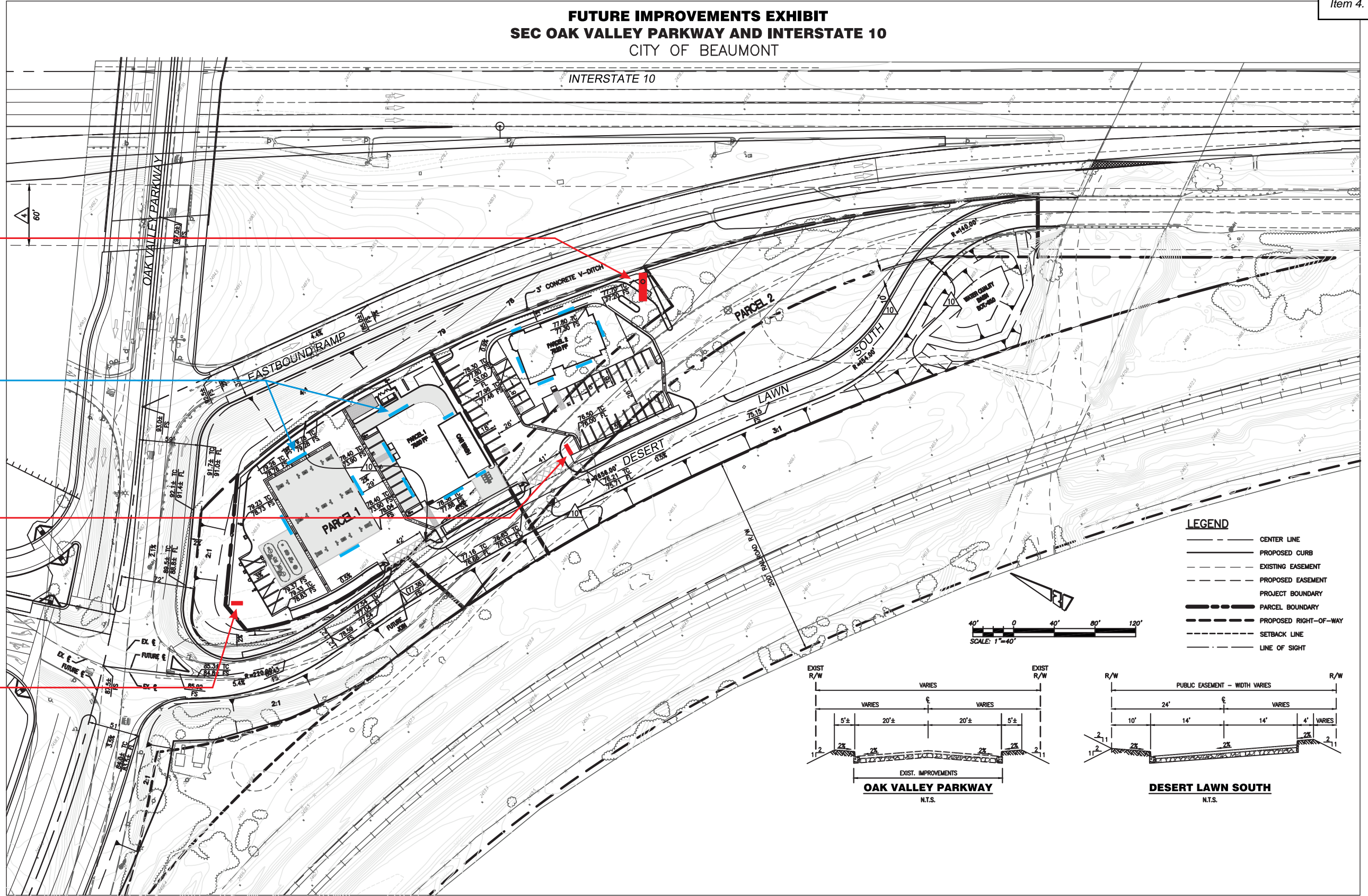
This is site plan area on next sheet



2 SATELLITE SITE VIEW
SCALE: 1" = 300'-0"



FUTURE IMPROVEMENTS EXHIBIT SEC OAK VALLEY PARKWAY AND INTERSTATE 10 CITY OF BEAUMONT



Project Pylon,
see Sheet 7 for details.

Building/Canopy
wall signage locations, typ.

Future Monument

Fuel Price Monument,
see Sheet 6 for details.

NOTE:
All sign locations are conceptual in nature
and for illustrative purposes only. All signs
shall comply with req'd codes and must be
approved prior to fabrication and installation.

3 SITE PLAN
SCALE: 1" = 100'-0"



Front Elevation: 3/32" = 1'-0"

EXTERIOR PAINTS

- P-1 BENJAMIN MOORE, 1077, "GREAT PLAINS GOLD" SATIN FINISH
- P-2 BENJAMIN MOORE, 1030 "BRANDY CREAM", SATIN FINISH
- P-3 BENJAMIN MOORE, 2121-30, "PEWTER", HIGH GLOSS

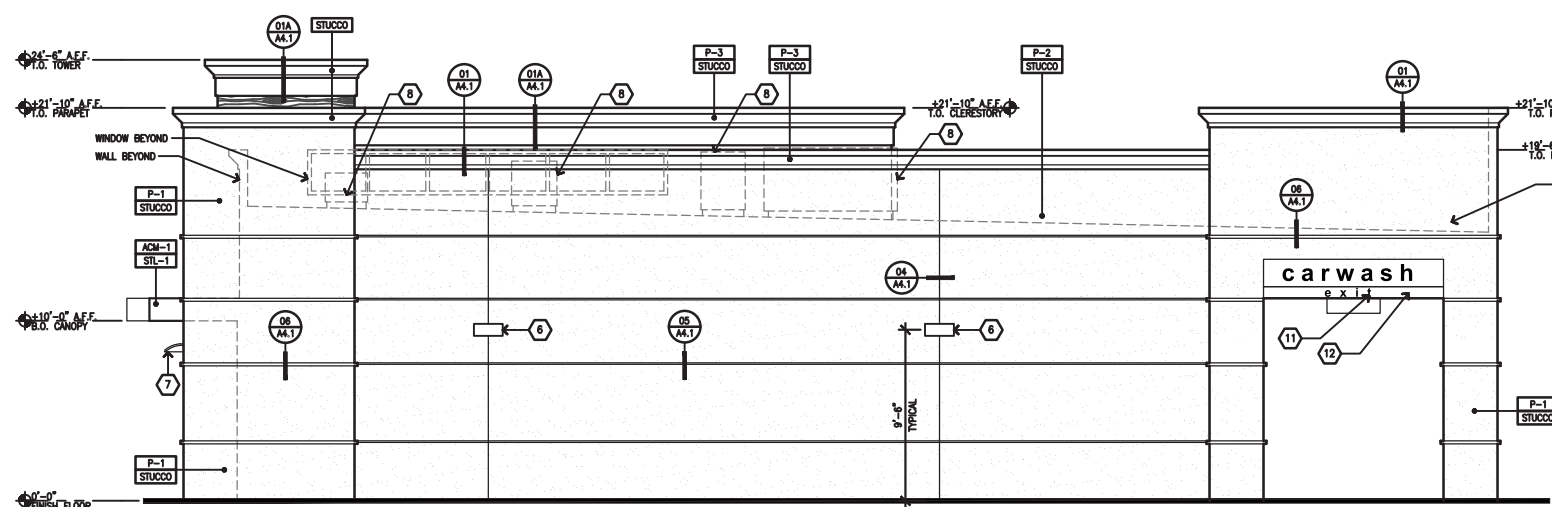
STUCCO 7/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH

ACM-1 ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 166c, "ORANGE"

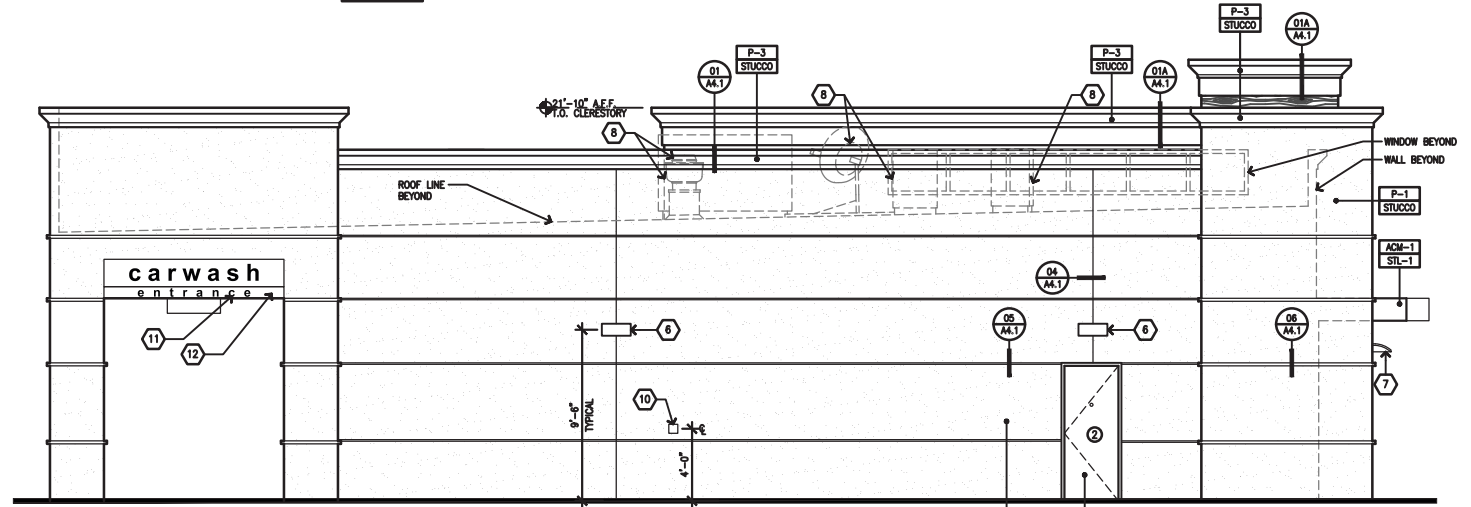
ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT"

ALUM CLEAR ANODIZED ALUMINUM

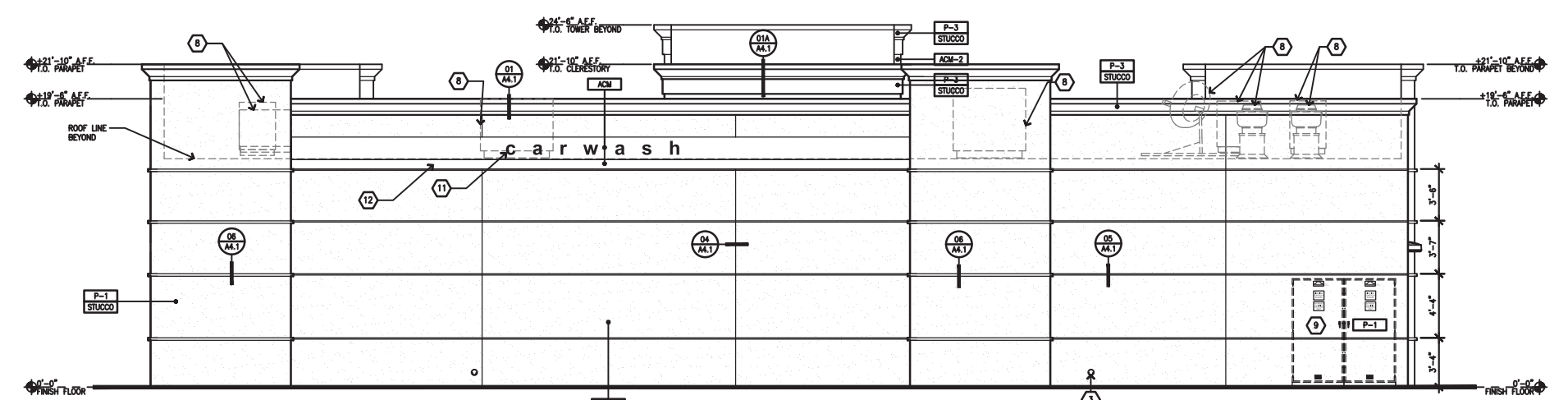
STL-1 STEEL AWNING



Right Elevation: 3/32" = 1'-0"



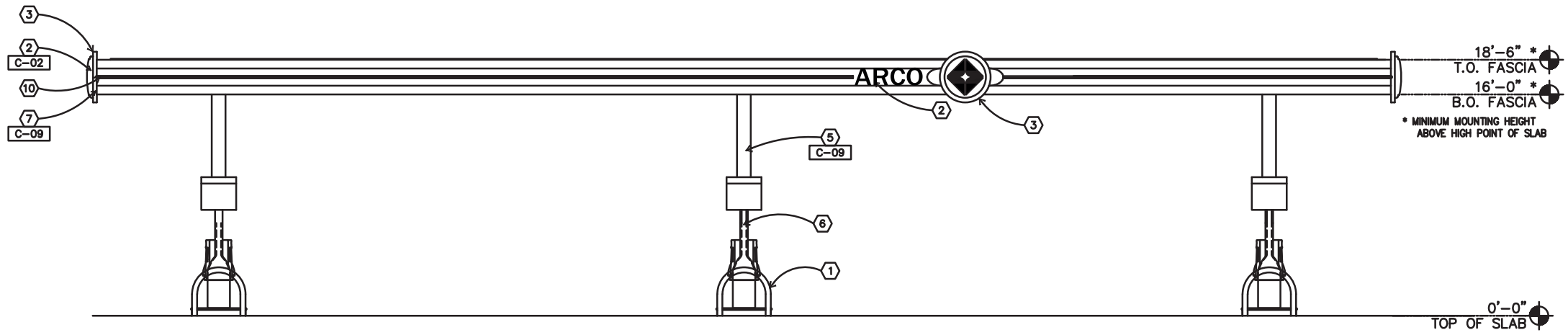
Left Elevation: 3/32" = 1'-0"



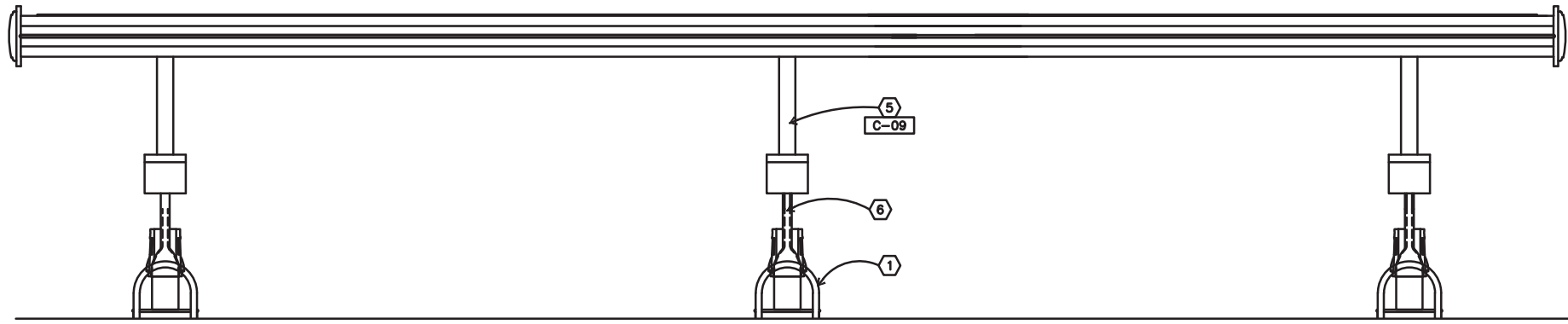
Rear Elevation: 3/32" = 1'-0"

KEYED NOTES

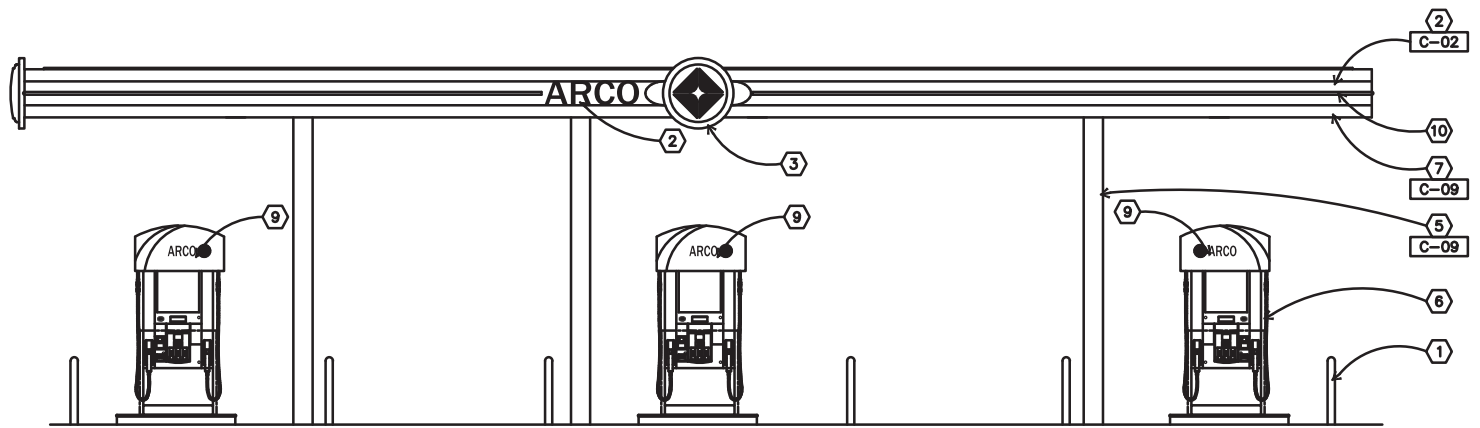
- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.1 & SPECIFICATION.
 - 2 STEEL AWNING ROD AND CLEVIS
 - 3 OVERFLOW DRAIN
 - 4 WALL POSTER
 - 5 INTERNALLY ILLUM SURFACE MOUNTED WALL SIGN
 - 6 WALL MOUNTED LED FIXTURE
 - 7 WALL MOUNTED SIGN LIGHTING
 - 8 ROOFTOP EQUIPMENT BEYOND
 - 9 MAIN SWITCHGEAR
 - 10 CO2 FILL/VENT BOX, VERIFY LOCATION PRIOR TO INSTALL
 - 11 VINYL LETTERS APPLIED TO ACM
 - 12 VINYL DECAL APPLIED TO ACM
- A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.
- B. PROVIDE TEMPERED GLAZING PER CBC 2406.4. WITHIN 24" OF A DOORWAY AND LESS THAN 60" ABOVE A WALKWAY SHALL BE SAFETY GLAZING.



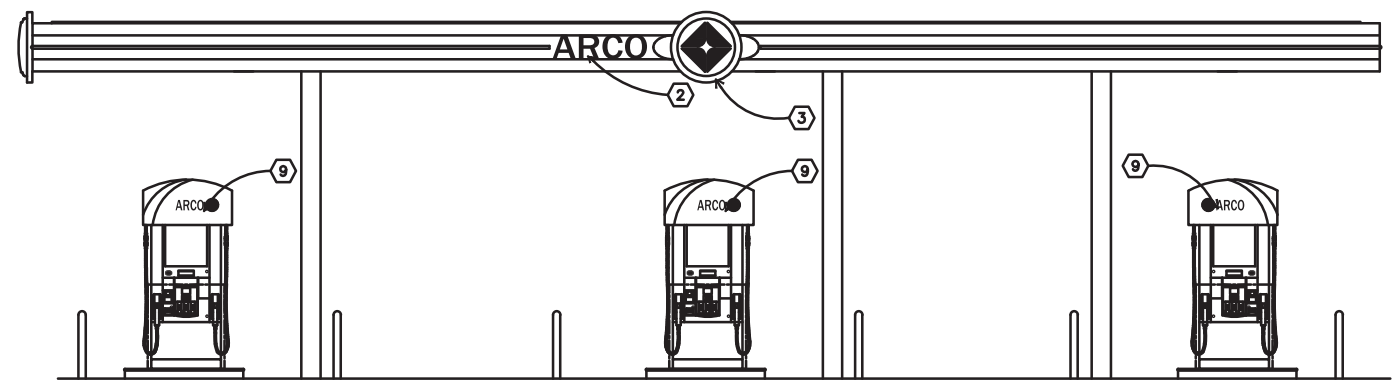
North Elevation: 1" = 10'-0"



South Elevation: 1" = 10'-0"



East Elevation: 1" = 10'-0"



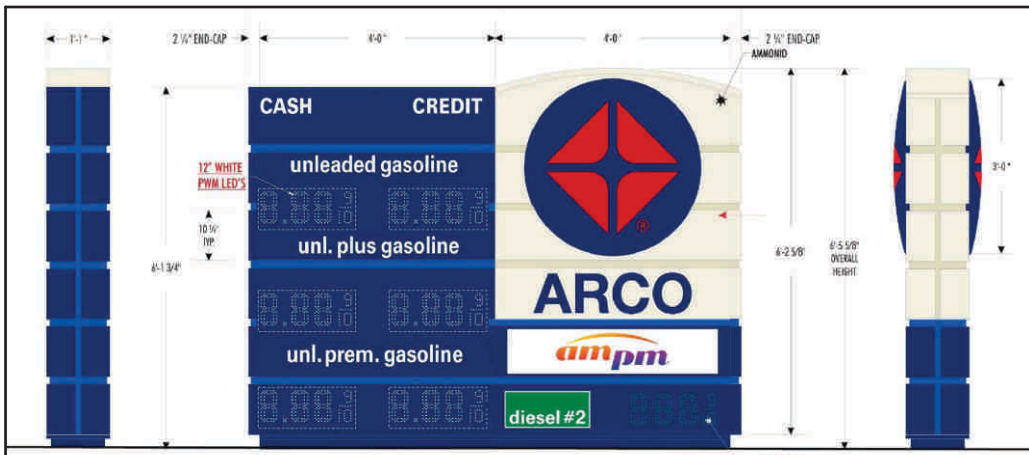
West Elevation: 1" = 10'-0"

EXTERIOR PAINTS

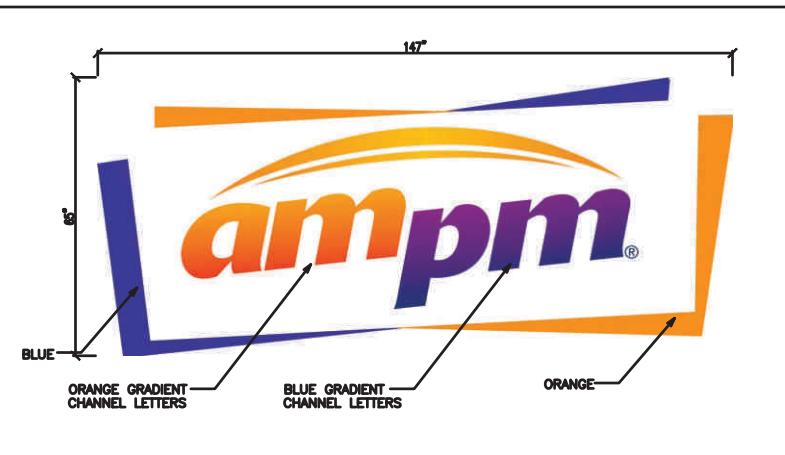
- C-02 COLOR: ARCO BLUE
PMS 288C - SATIN FINISH
- C-09 COLOR: PEARL
MATCH RAL 1013 - SEMI-GLOSS
- C-11 COLOR: ARCO LIGHT BLUE
PMS 2935C - SATIN FINISH

KEYED NOTES

- 1 ARCHED BOLLARD
- 2 VINYL DECAL APPLIED TO ACM PANEL
- 3 ILLUMINATED SIGN BOX (BY OTHERS) FIELD VERIFY LOCATION
- 4 STEEL BEAM, REFER TO STRUCTURAL
- 5 STEEL COLUMN, REFER TO STRUCTURAL
- 6 FUEL DISPENSER AND CURB (BY OTHERS)
- 7 ALUMINUM COMPOSITE MATERIAL FASCIA PANELS (BY OTHERS)
- 8 NOT USED
- 9 4" x 6" HANDHOLE WITH COVERPLATE ON INSIDE FACE OF COLUMN (TYP.)
- 10 LED "LASER LIGHT" STRIP TO MATCH C-11



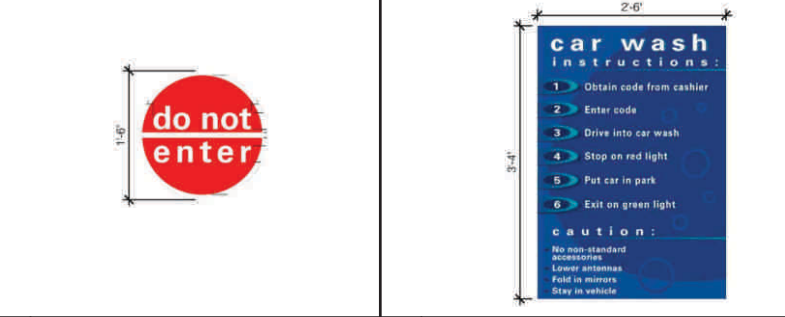
1A MONUMENT ID SIGN ON 24" PEDESTAL SCALE: NTS



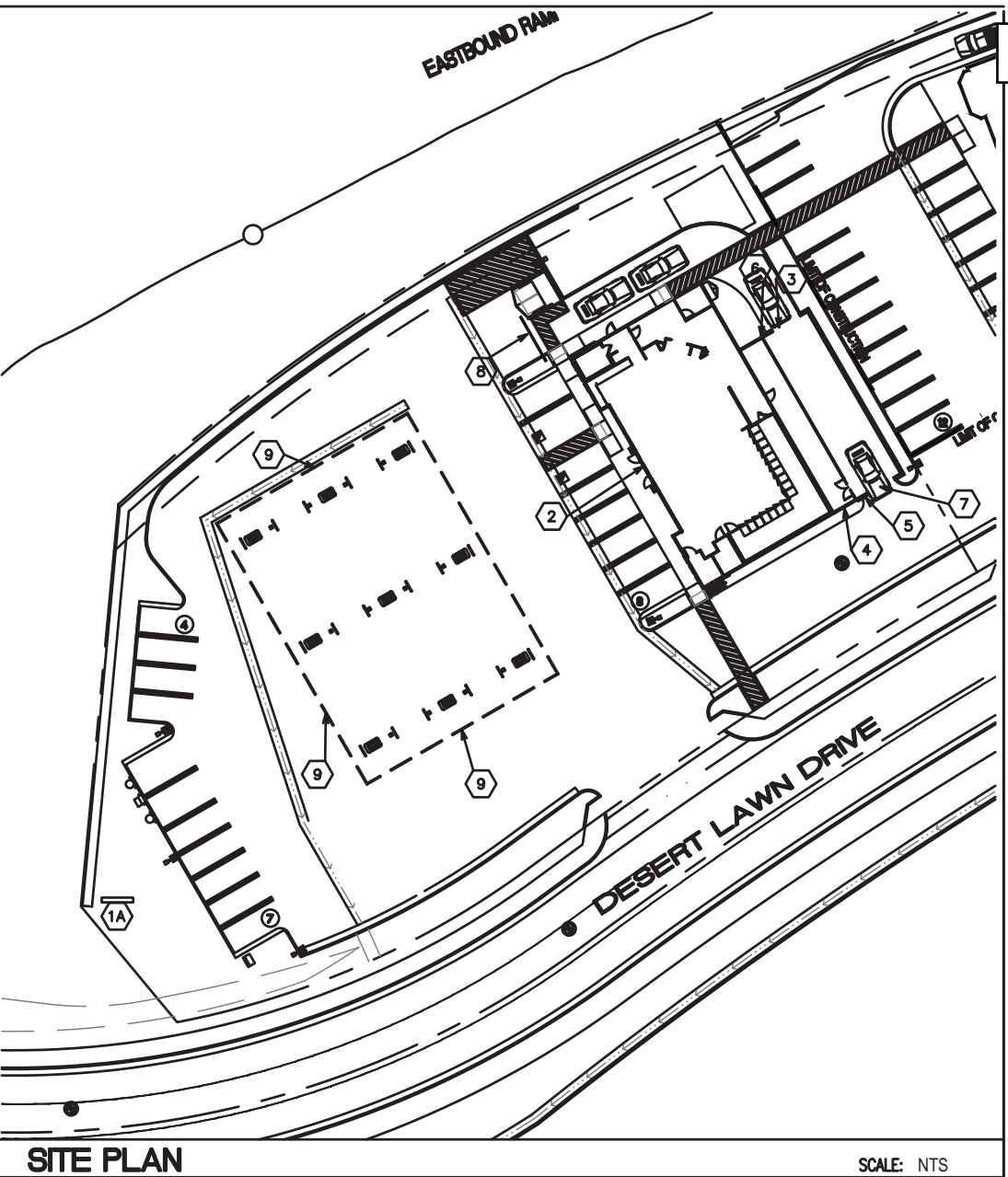
2 AM/PM BUILDING SIGN SCALE: NTS



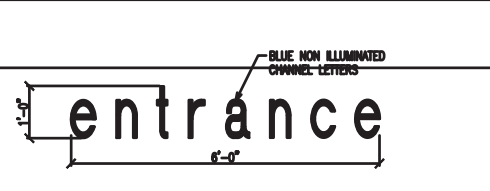
9 CANOPY SIGN



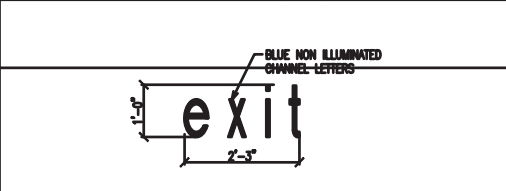
5 CAR WASH INSTRUCTIONAL 6 CAR WASH INSTRUCTIONAL



SITE PLAN SCALE: NTS



3 CAR WASH ENTRANCE



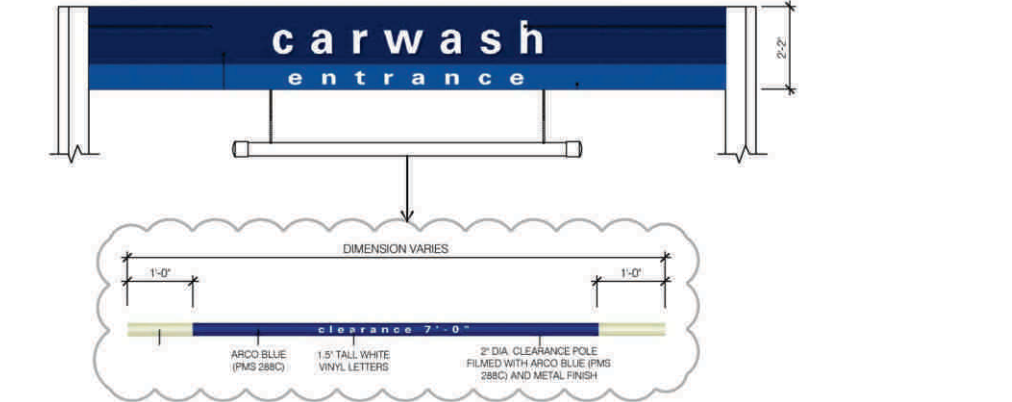
7 CAR WASH EXIT SCALE: NTS



4 CAR WASH WALL SIGN SCALE: NTS



DISPENSER ELEVATION

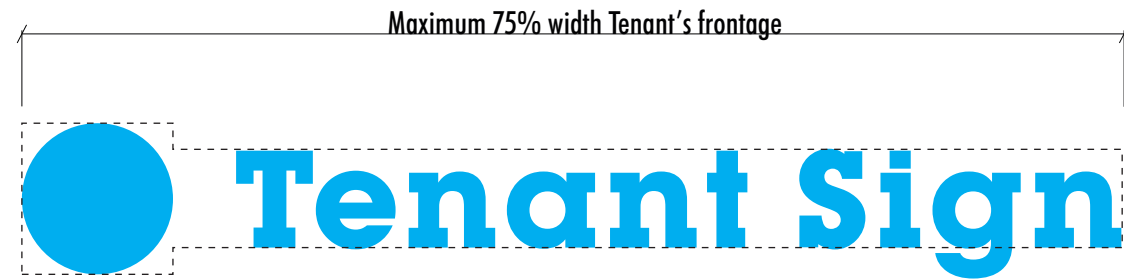


8 CAR WASH BAR SIGN

SIGN AREA CALCULATION

| NO. | DESCRIPTION | ILLUM. | STATUS | AREA | QTY. | TOTAL |
|-----|--|--------|--------|-------|------|-------|
| 1A | MONUMENT ID SIGN | YES | NEW | 48.0 | 1 | 48.0 |
| 1B | FREEWAY ID SIGN (See Sheet 7 for Pylon Sign Details) | YES | NEW | 150.0 | 1 | 150.0 |
| 2 | FOOD MART BUILDING SIGN | YES | NEW | 66.4 | 1 | 66.4 |
| 3 | CAR WASH ENTRANCE SIGN | NO | NEW | 6.0 | 1 | 6.0 |
| 4 | CAR WASH WALL SIGN | NO | NEW | 23.25 | 1 | 23.25 |
| 5 | DO NOT ENTER SIGN | NO | NEW | 7.0 | 1 | 7.0 |
| 6 | INSTRUCTIONAL SIGN | NO | NEW | 8.3 | 1 | 8.3 |
| 7 | CAR WASH EXIT SIGN | NO | NEW | 2.25 | 1 | 2.25 |
| 8 | CAR WASH CLEARANCE SIGN | NO | NEW | 34.7 | 1 | 34.7 |
| 9 | 36" CANOPY ARCO SPARK SIGN 17sf (SPARK ONLY IS 7sf) | YES | NEW | - | 3 | 31.0 |

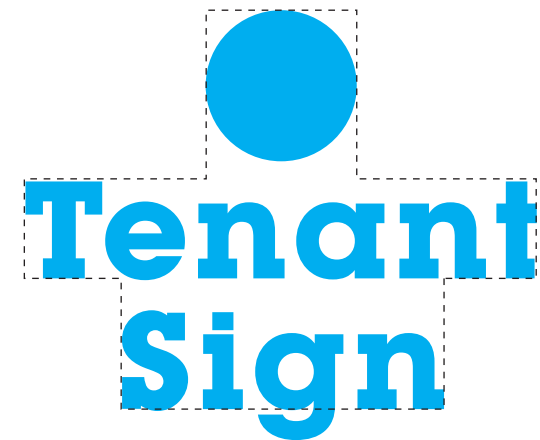
TOTAL NEW SIGNAGE: 376.90 Sq. Ft.



Building shown here for illustrative purposes only as an example of a typical freestanding building with drive thru service.

Sign area allowance:
Two (2) square foot of sign area per linear foot of Tenant's frontage.
Seventy Five percent (75%) maximum width of Tenant's frontage.

These examples are each considered One (1) Sign



Left Elevation: 1" = 20'- 0"



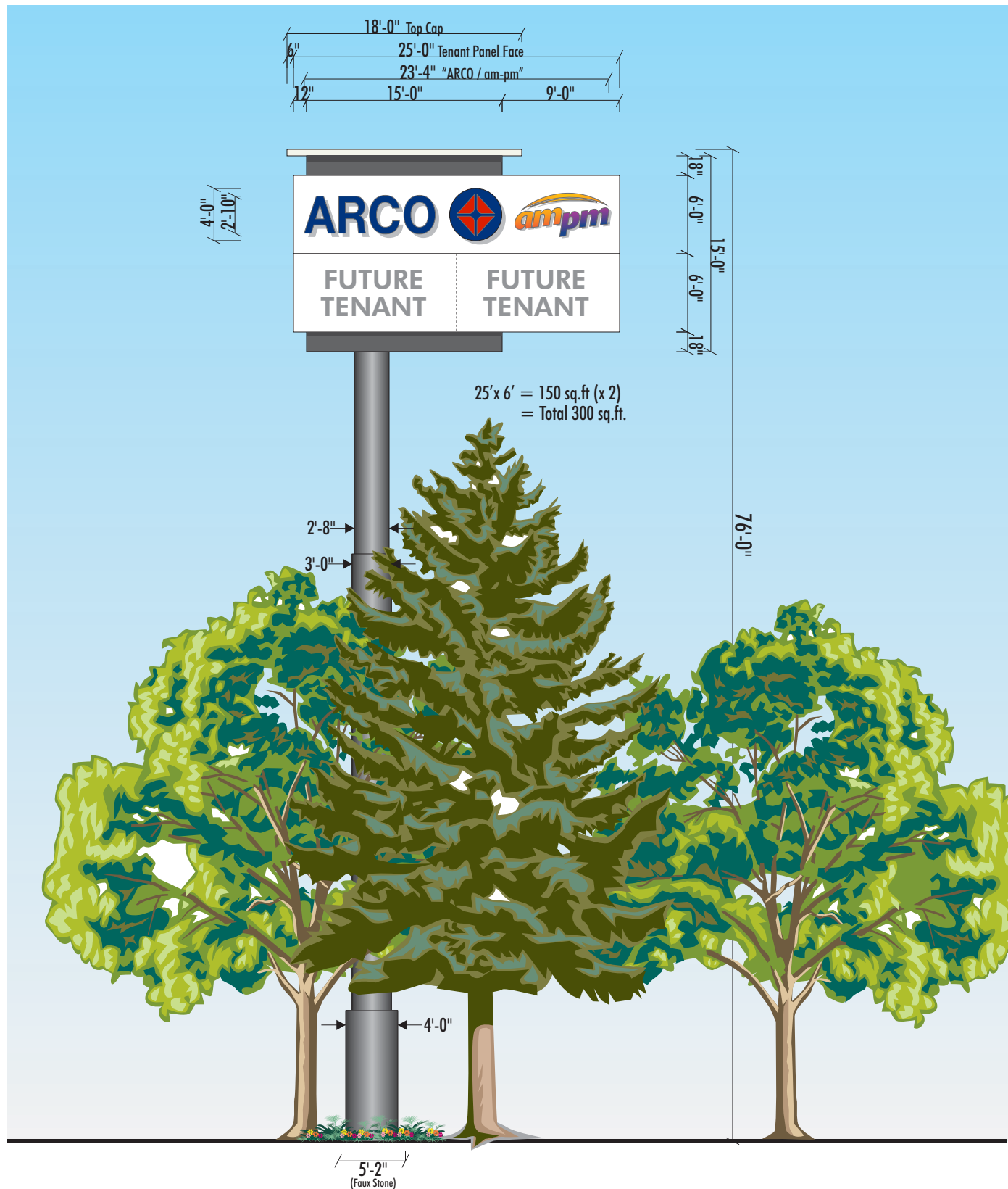
Front Elevation: 1" = 20'- 0"



Right Elevation: 1" = 20'- 0"



Rear Elevation: 1" = 20'- 0"

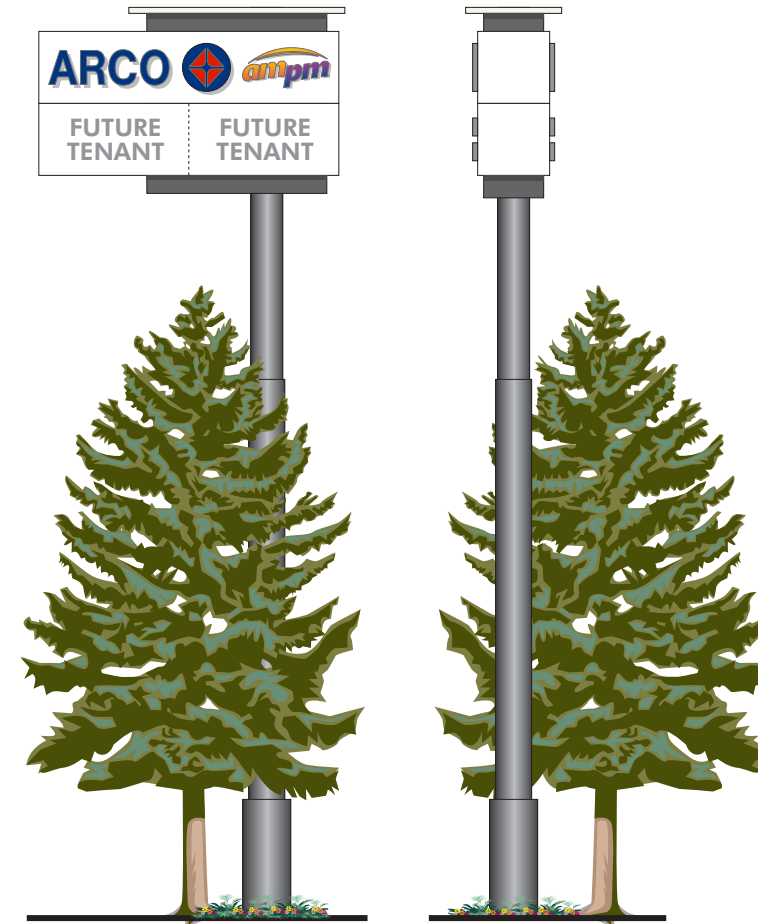


1 SIGN A - Freeway Oriented Pylon FRONT/WEST FACING VIEW
SCALE: 3/32" = 1' - 0"

Freeway Pylon Sign (Qty. 1)

- Double faced, free standing - steel post, concrete footing shall be per engineering.
- Internal steel angle saddle mounts welded to steel post create sign 'skeleton'.
- Aluminum angles create framework for aluminum 'skin' (typ. 1/8" thick alum.).
- Steel posts (per Engineering, pending) painted dark grey or black, satin finish.
- Tenant names are 5" deep LED illum. channel letters w/ translucent vinyl colors per national branding standards ...see Detail A (this page).

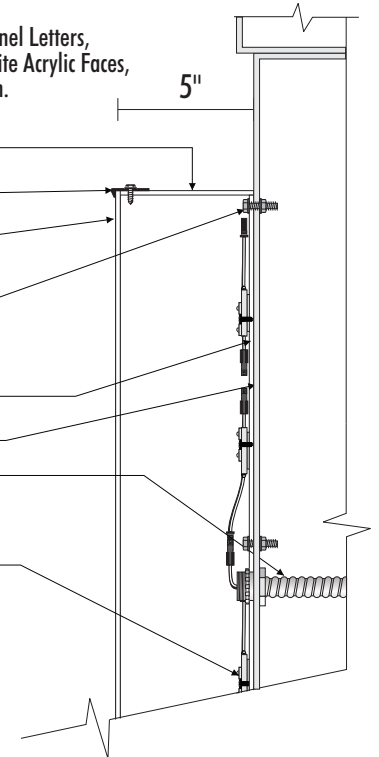
All illustrations shown are conceptual. All colors and logo artwork shall be verified by client. Engineering is req'd prior to fabrication, pending project approval.



2 East Facing View
SCALE: 1/16" = 1' - 0"

Face Illuminated (white Led's) Channel Letters, Aluminum Construction, #7328 White Acrylic Faces, 5" Returns painted gray, Satin Finish.

- .040" Fabricated Aluminum Return
- 1" Trim Cap, gray
- 3/16" Thick Acrylic Face
- Non-corrosive #10 Nuts & Bolts W/ Washers As Req'd, Min. (4) Per Letter
- .090" Thick Aluminum Back
- Liquid Tight Connector
- Power Cable Thru 1/2" Dia. Flexible Metallic Conduit To Power Supply As Req'd
- Principal "QwikMod" L.E.D.s Double-stick Taped And Screwed To Letter Back
- Min. (2) 1/4" Dia. Weep Holes Per Letter



A L.E.D. ILLUMINATED CHANNEL LETTER - SECTION VIEW
SCALE: NTS

GENERAL NOTES:
All work shall comply with
2019 California Building Code
2019 California Electrical Code
2019 California Energy Code, Title 24
2019 California Existing Building Code
2019 California Fire Code
2019 California Green Building Standards Code
2019 California Mechanical Code

REQUIREMENTS FOR ELECTRICAL ILLUMINATION:
PRIMARY ELECTRICAL TO SIGN LOCATIONS TO BE PROVIDED BY OTHERS. A DEDICATED CIRCUIT WITH NO SHARED NEUTRALS AND A GROUND RETURNING TO THE PANEL IS REQUIRED FOR INSTALLATION.
NOTE: THIS PERTAINS TO THE SIGN'S INTERNAL WIRING ONLY, NOT THE PRIMARY WIRING. ALL TRANSFORMERS/DRIVERS/POWER SUPPLIES SHALL BE (GFI) GROUND FAULT-INTERRUPTED. ALL SIGNS HAVE: - DEDICATED BRANCH CIRCUIT - THREE WIRES - LINE, NEUTRAL, & GROUND - WIRE SIZE: MINIMUM OF 12 GA. THIN COPPER WIRE
ALSO NOTE: GAUGE OF WIRE IS DETERMINED BY THE LENGTH OF RUN & AMPERAGE AS PER NEC ARTICLE 300.
- GROUND WIRE MUST BE CONTINUOUS AND GO FROM THE SIGN TO THE PANELBOARD GROUND BUS.
- VOLTAGE SHOULD READ NO MORE THAN 3 VOLTS BETWEEN GROUND AND NEUTRAL.
- CONDUIT CAN NOT BE USED AS GROUND PATH.
- POWER TO SIGN MUST BE DONE BY A LICENSED ELECTRICIAN OR ELECTRICAL CONTRACTOR.

- This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the Disconnect Switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

6 Dedicated 20 Amp Circuit at 120/277 Volts

E-Note #1: All requirements not in sign company's scope of work must be in place prior to installation.

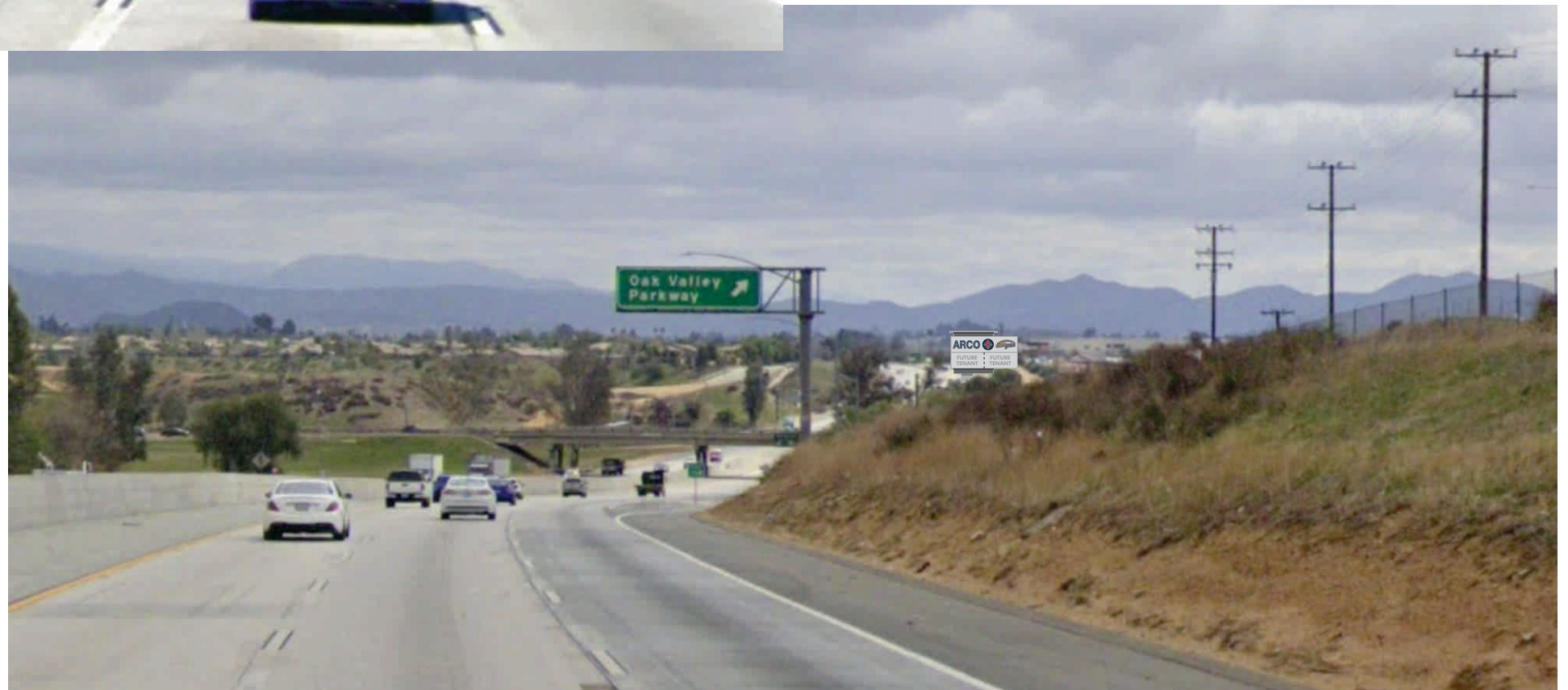
E-Note #2: Electrical to be brought to base of sign (by others) and not in sign company's scope of work.

E-Note #3: Timers and/or photocells for signs to be furnished and installed by the customer's electrician, who should also ensure that the completed electrical system is code compliant.

ALL COMPONENTS TO BE APPROVED
ALL SIGNS TO BE LISTED



10 Freeway Traveling West approaching Exit 92



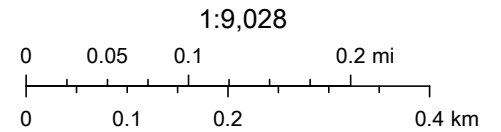
10 Freeway Traveling East approaching Exit 92

PLAN2021-0669 General Plan Land Use Designation Map



11/2/2021, 12:48:49 PM

- | | | |
|--|---|--|
| General Plan | Single Family Residential | Street Labels |
| Open Space | Urban Village | Highways/Major Streets |
| Industrial | General Commercial | |



San Bernardino County, Maxar

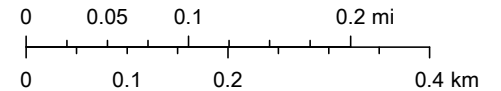
PLAN2021-0669 Zoning Map



11/2/2021, 12:47:23 PM

- | | | | |
|---|---|---|--|
| Zoning | Residential Single Family | Manufacturing | Highways/Major Streets |
| Union Pacific Rail Roadway | Community Commercial | Urban Village | |
| Specific Plan | Recreation/Conservation | Street Labels | |

1:9,028



San Bernardino County, Maxar

PLAN2021-0669 Aerial Photograph

Item 4.



Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

0 770 1,539 Feet

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