



## **CITY COUNCIL CLOSED & REGULAR SESSION**

550 E. 6th Street, Beaumont, CA

**Tuesday, February 04, 2020**

**Closed Session: 5:00 PM | Regular Meeting: 6:00 PM**

Beaumont Financing Authority  
Beaumont Successor Agency (formerly RDA)  
Beaumont Utility Authority  
Beaumont Parking Authority  
Beaumont Public Improvement Authority  
Community Facilities District 93-1

### **AGENDA**

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Materials related to an item on this agenda submitted to the City Council after distribution of the agenda packets are available for public inspection in the City Clerk's office at 550 E. 6th Street during normal business hours.

Any person with a disability who requires accommodations in order to participate in this meeting should telephone the City Clerk's office at (951)769-8520, at least 48 hours prior to the meeting in order to make a request for a disability related modification or accommodation.

Any one person may address the City Council on any matter not on this agenda. If you wish to speak, please fill out a "Public Comment Form" provided in the back and give it to the City Clerk. There is a three (3) minute limit on public comments. There will be no sharing or passing of time to another person. State law prohibits the City Council from discussing or taking actions brought up by your comments.

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### **CLOSED SESSION - 5:00 PM**

*A Closed Session of the City Council / Beaumont Financing Authority / Beaumont Utility Authority / Beaumont Successor Agency (formerly RDA)/Beaumont Parking Authority / Beaumont Public Improvement Authority may be held in accordance with state law which may include, but is not limited to, the following types of items: personnel matters, labor negotiations, security matters, providing instructions to real property negotiators and conference with legal counsel regarding pending litigation. Any public comment on Closed Session items will be taken prior to the Closed Session. Any required announcements or discussion of Closed Session items or actions following the Closed Session will be made in the City Council Chambers.*

### **CALL TO ORDER**

Mayor Santos, Mayor Pro Tem Lara, Council Member Carroll, Council Member Martinez, Council Member White

Public Comments Regarding Closed Session

- 1. Conference with Legal Counsel – Anticipated Litigation: Significant Exposure to litigation pursuant to Government Code Section 54956.9(d)(2): Claims of Maria Kritzberger & Estate of Darren R. Kritzberger**
- 2. Conference with Legal Counsel Existing Litigation-Pursuant to Government Code Section 54956.9(d)(1): Urban Logic v. City of Beaumont et. al. Case No. RIC 1797201**

Adjourn to Regular Session

## **REGULAR SESSION - 6:00 PM**

### **CALL TO ORDER**

Mayor Santos, Mayor Pro Tem Lara, Council Member Carroll, Council Member Martinez, Council Member White

Report out from Closed Session:  
Action on any Closed Session items:  
Action of any requests for Excused Absence:  
Pledge of Allegiance:  
Approval / Adjustments to the Agenda:  
Conflict of Interest Disclosure:

### **ANNOUNCEMENTS/ RECOGNITION / PROCLAMATIONS / CORRESPONDENCE**

**California Highway Patrol 2019 Review  
CalTrans Report of State Highway Projects**

### **PUBLIC COMMENT PERIOD (ITEMS NOT ON THE AGENDA)**

*Any one person may address the City Council on any matter not on this agenda. If you wish to speak, please fill out a "Public Comment Form" provided at the back table and give it to the City Clerk. There is a three (3) minute time limit on public comments. There will be no sharing or passing of time to another person. State Law prohibits the City Council from discussing or taking actions brought up by your comments.*

### **CONSENT CALENDAR**

*Items on the consent calendar are taken as one action item unless an item is pulled for further discussion here or at the end of action items.*

*Approval of all Ordinances and Resolutions to be read by title only.*

#### **1. Minutes**

##### **Recommended Action:**

Approve Minutes dated January 21, 2020.

- #### **2. Tentative Tract Map No. 37696 (TM2019-0005) for a Request to Subdivide 13.51 Acres into 62 Single Family Residential Lots with a Minimum Lot Size of 4,947 Square Feet and Nine (9) Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Recommended Action:**

Approve Tentative Tract Map No. 37696 (TM2019-0005) subject to the development agreement and the attached conditions of approval.

- 3. Tentative Tract Map No. 37698 (TM2019-0006) for a Request to Subdivide 22.09 Acres into 126 Single Family Residential Lots with a Minimum Lot Size of 3,800 Square Feet and 16 Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Recommended Action:**

Approve Tentative Tract Map No. 37698 (TM2019-0006) subject to the development agreement and the attached conditions of approval.

- 4. Tentative Tract Map No. 37697 (TM2019-0007) for a Request to Subdivide 13.19 Acres into 73 Single Family Residential Lots With a Minimum Lot Size of 4,950 Square Feet and Eight (8) Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Recommended Action:**

Approve Tentative Tract Map No. 37697 (TM2019-0007) subject to the development agreement and the attached conditions of approval.

- 5. Performance Bond Acceptance and Security Agreement for SDC Fairway Canyon, LLC. Tract 31462 Street and Storm Drain Improvements**

**Recommended Action:**

Accept the following bond and security agreement:

- Performance bond No. 1001124446 for storm drain improvements for Tract 31462

- 6. Bond Exoneration for Bond Nos. 2264721, 41383375, 2264727 and 2264722 for K. Hovnanian Homes Tract 33096-13**

**Recommended Action:**

Accept Maintenance Bond No. 3085345 to replace Performance Bond No. 2264721,

Accept Maintenance Bond No. 41394539 to replace Performance Bond No. 41383375, and

Accept Maintenance Bond No. 3085344 to replace Performance Bond No. 2264727.

- 7. Request for Facility and Staff Fee Waiver – Beaumont Cherry Valley Rotary Club Celebrate Reading and the Arts**

**Recommended Action:**

Consider waiver of facility use and staff fees requested by Beaumont Cherry Valley Rotary Club in the amount of \$860.00, and

Consider waiver of a \$500 deposit for the use of the gymnasium at the CRC.

**8. Request for Facility and Staff Fee Waiver – Soroptimist International of Beaumont-Banning**

**Recommended Action:**

Consider waiver of facility use and staff fees requested by Soroptimist International of Beaumont-Banning in the amount of \$710, and Consider waiver of a \$500 deposit for the use of the gymnasium at the Beaumont Civic Center.

**9. Request for Destruction of Retention Met Records**

**Recommended Action:**

Waive the full reading and adopt by title only, “A Resolution of the City of Beaumont Authorizing Destruction of Certain Records in Accordance with the Records Retention Schedule Adopted by City Council.”

**10. Approval of the Assignment and Assumption of Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement between Lassen Development Partners, LLLP and MPLDII Inland Empire, LLC and Approval of the Assignment and Assumption of City of Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement between Lassen Development Partners, LLLP and MPLD II Inland Empire, LLC**

**Recommended Action:**

Staff recommends approval of the Assignment and Assumption of Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement between Lassen Development Partners, LLLP and MPLDII Inland Empire, LLC and Approval of the Assignment and Assumption of City of Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement between Lassen Development Partners, LLLP and MPLD II Inland Empire, LLC.

**11. Cherry Avenue Street Improvement Project Acceptance**

**Recommended Action:**

Approve and authorize the Mayor to sign the attached certificate of acceptance for the Cherry Avenue Street Improvement Project.

**PUBLIC HEARINGS**

*Approval of all Ordinances and Resolutions to be read by title only.*

**ACTION ITEMS**

*Approval of all Ordinances and Resolutions to be read by title only.*

**12. Acceptance of Irrevocable Offer of Dedication of Easement for Streetlight Maintenance and Acceptance of Streetlight Maintenance in the Four Seasons Community**

**Recommended Action:**

Approve the Irrevocable Offer of Dedication of Easement for Streetlight Maintenance, and

Approve the Certificate of Acceptance of Streetlight Maintenance.

**13. Improvement and Credit / Reimbursement Agreement for Transportation Uniform Mitigation Fee's between the City of Beaumont and Pardee Homes for the Oak Valley Interchange Project**

**Recommended Action:**

Approve the Improvement and Credit / Reimbursement Agreement between the City of Beaumont and Pardee Homes for the Oak Valley Interchange Project and authorize the Mayor to execute the agreement.

**14. Request for Direction on Preparing a Shopping Cart Ordinance**

**Recommended Action:**

Provide staff direction on preparing a shopping cart ordinance.

**15. Provide Direction to Staff on Establishing a Temporary Moratorium Prohibiting Tire Sales and Tire Repair Establishments**

**Recommended Action:**

Provide direction to staff on establishing a temporary moratorium prohibiting tire sales and tire repair establishments.

**16. Opposition Letter – SunLine Transit Agency Proposed Commuter Link Route 10**

**Recommended Action:**

Approve the opposition letter and authorize the Mayor to execute on behalf of the City of Beaumont.

**17. Authorize the City Manager to Execute Additional Reimbursable Letters of Agreement with the California Highway Patrol Not to Exceed \$50,000 for the SR-60/Potrero Boulevard Interchange Phase I Project for Services Associated with Traffic Control**

**Recommended Action:**

City Council authorize the City Manager to execute additional reimbursable letters of Agreement with the California Highway Patrol in an amount not to exceed \$50,000 each for the SR-60/Potrero Boulevard Interchange Phase I Project.

**18. Wastewater Treatment Plant Expansion/Renovation and Brine Pipeline Installation Project Status Update**

**Recommended Action:**

Receive and file the project updates.

**LEGISLATIVE UPDATES AND DISCUSSION**

**19. January Legislative Update**

## **COUNCIL REPORTS**

- **Carroll**
- **Lara**
- **Martinez**
- **Santos**
- **White**

## **ECONOMIC DEVELOPMENT UPDATE**

Economic Development Committee Report Out and City Council Direction

## **CITY TREASURER REPORT**

Finance and Audit Committee Report Out and City Council Direction

## **CITY CLERK REPORT**

## **CITY ATTORNEY REPORT**

[20.](#) **Status of Litigation Report**

## **CITY MANAGER REPORT**

## **FUTURE AGENDA ITEMS**

## **ADJOURNMENT**

The next regular meeting of the Beaumont City Council, Beaumont Financing Authority, the Beaumont Successor Agency (formerly RDA), the Beaumont Utility Authority, the Beaumont Parking Authority and the Beaumont Public Improvement Agency is scheduled for Tuesday, Feb 18, 2020, at 5:00 p.m. or thereafter as noted on the posted Agenda for Closed Session items in the City Council Board Room No. 5, followed by the regular meeting at 6:00 p.m. or thereafter as noted on the posted Agenda at City Hall.

Beaumont City Hall – Online [www.BeaumontCa.gov](http://www.BeaumontCa.gov)

# CITY COUNCIL REGULAR SESSION

550 E. 6th Street, Beaumont, CA  
Tuesday, January 21, 2020 - 6:00 PM

## MINUTES

### REGULAR SESSION

6:00 PM

#### RIBBON CUTTING CEREMONY - 5:00 PM

#### CALL TO ORDER

**Present:** Mayor Santos, Mayor Pro Tem Lara, Council Member Carroll, Council Member Martinez, Council Member White

Adjourn to Regular Session

#### REGULAR SESSION - 6:00 PM

#### CALL TO ORDER

**Present:** Mayor Santos, Mayor Pro Tem Lara, Council Member Carroll, Council Member Martinez, Council Member White

Action of any requests for Excused Absence:  
Pledge of Allegiance  
Approval / Adjustments to the Agenda: **None**  
Conflict of Interest Disclosure: **None**

#### ANNOUNCEMENTS/ RECOGNITION / PROCLAMATIONS / CORRESPONDENCE

#### PUBLIC COMMENT PERIOD (ITEMS NOT ON THE AGENDA)

*Any one person may address the City Council on any matter not on this agenda. If you wish to speak, please fill out a "Public Comment Form" provided at the back table and give it to the City Clerk. There is a three (3) minute time limit on*

public comments. There will be no sharing or passing of time to another person. State Law prohibits the City Council from discussing or taking actions brought up by your comments.

**E. Mazzei** - Thanked Council for the updated ordinance regarding sidewalk vending, but brought up the need for further clarification.

**T. Wortley** - Asked about the annual LAFCO review

**R. Berg** - Spoke regarding emails attained through a public records request

**CONSENT CALENDAR**

Items on the consent calendar are taken as one action item unless an item is pulled for further discussion here or at the end of action items.

Approval of all Ordinances and Resolutions to be read by title only.

**1. Minutes**

**Recommended Action:**

Approve Minutes dated January 7, 2020.

**2. Warrants**

**Recommended Action:**

Approve Warrants dated December 20, 2019.

**3. Receive and File the FY2018-2019 Health and Safety Code (HSC) 13146.4 Annual Inspection Report of Certain Occupancies Pursuant to Sections HSC 13146.2 and 13146.3**

**Recommended Action:**

Waive the full reading and adopt by resolution, "Acknowledging Receipt of a Report Made by the Fire Chief of the Riverside County Fire Department Regarding Compliance with the annual Inspection of Certain Occupancies Pursuant to Sections 13146.2 and 13146.3 of the California Health and Safety Code.

**4. Annual Compliance Report for AB 1600 Development Impact Fees**

**Recommended Action:**

Receive and file the AB 1600 report on development impact fee activity that occurred during the period July 1, 2018, through June 30, 2019.

**Motion made by Mayor Pro Tem Lara, Seconded by Council Member White  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll,  
Mayor Pro Tem Lara, Mayor Santos**

**To approve the Consent Calendar**



**PUBLIC HEARINGS**

*Approval of all Ordinances and Resolutions to be read by title only.*

**ACTION ITEMS**

*Approval of all Ordinances and Resolutions to be read by title only.*

**5. Council Appointment to the Economic Development Committee**

**Recommended Action:**

Consider re-appointment of Von Lawson to the Economic Development Committee as the Post-Secondary Education Representative.

**Motion made by Council Member Carroll, Seconded by Mayor Pro Tem Lara.**

**Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**To re-appointment of Von Lawson to the Economic Development Committee as the Post-Secondary Education Representative.**

**6. Council Appointment to the Finance Audit Committee**

**Recommended Action:**

Consider the appointment of Mr. Parks to the Finance and Audit Committee.

**Motion made by Mayor Pro Tem Lara, Seconded by Council Member Martinez.**

**Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**To appointment of Frank Parks to the Finance and Audit Committee.**

**7. CDBG Required Change to Funding Allocations for 2020-2021 Program Year**

**Recommended Action:**

Revise CDBG funding award for Fiscal Year 20-21 and authorize staff to submit a revised funding award to the Riverside County EDA CDBG program.

**Motion made by Council Member White, Seconded by Council Member Carroll.**

**Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**To distribute 10,000.00 to the Boys and Girls Club, and the remainder to the Life Lifters.**

**8. Award of Contract to West Coast Arborists, Inc. for Tree Trimming and Tree Maintenance Services**

**Recommended Action:**

Award a tree trimming and tree maintenance services contract to West Coast Arborists, Inc. for a period not-to-exceed three years and authorize the Mayor to execute the agreement on behalf of the City of Beaumont.

**Motion made by Council Member Martinez, Seconded by Council Member White.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll,  
Mayor Pro Tem Lara, Mayor Santos**

**To award a tree trimming and tree maintenance services contract to West Coast Arborists, Inc. for a period not-to-exceed three years and authorize the Mayor to execute the agreement on behalf of the City of Beaumont.**

**9. Walmart Bus Shelter Improvement Project Update**

**Recommended Action:**

Receive and file.

**Motion made by Mayor Pro Tem Lara, Seconded by Council Member Carroll.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll,  
Mayor Pro Tem Lara, Mayor Santos**

**To receive and file.**

**10. Authorize Amendment to the Authorized Position List and Salary Table**

**Recommended Action:**

City Council approval of the amendment to the Authorized Position List and Salary Table.

**Motion made by Council Member White, Seconded by Mayor Pro Tem Lara.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll,  
Mayor Pro Tem Lara, Mayor Santos**

**To approve of the amendment to the Authorized Position List and Salary Table.**

**11. Authorize the Memorandum of Understanding between the City of Beaumont and Police Management Unit**

**Recommended Action:**

City Council approval of the Memorandum of Understanding between the City of Beaumont and Police Management Unit and authorize the City Manager to execute.

**Motion made by Council Member Martinez, Seconded by Council Member Carroll.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll,  
Mayor Pro Tem Lara, Mayor Santos**

**To approve of the Memorandum of Understanding between the City of Beaumont and Police Management Unit and authorize the City Manager to execute.**

**12. Authorize the Memorandum of Understanding between the City of Beaumont and Managers/Professional/Technical Unit**

**Recommended Action:**

City Council approval of the Memorandum of Understanding between the City of Beaumont and Managers/Professional/Technical Unit and authorize the City Manager to execute.

**Motion made by Mayor Pro Tem Lara, Seconded by Council Member White.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**To approve of the Memorandum of Understanding between the City of Beaumont and Managers/Professional/Technical Unit and authorize the City Manager to execute.**

**13. City Attorney Invoices for the Month of December 2019**

**Recommended Action:**

Approve invoices in the amount of \$59,767.04.

**City Attorney Pinkney recused himself on this item.**

**Motion made by Mayor Pro Tem Lara, Seconded by Mayor Santos.  
Voting Yea: Council Member White, Council Member Martinez, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**To approve invoices in the amount of \$59,767.04.**

**LEGISLATIVE UPDATES AND DISCUSSION**

**14. January 2020 Legislative Update**

**Recommended Action:**

General update of Legislative Session to include specific review of the Governor's budget proposal and SB50.

**Motion made by Council Member White, Seconded by Mayor Pro Tem Lara.  
Voting Yea: Council Member White, Council Member Carroll, Mayor Pro Tem Lara, Mayor Santos**

**Voting Nay: Council Member Martinez**

**To send a letter opposing SB 50**

**Approved by a 4-1 vote.**

**COUNCIL REPORTS**

**Carroll** - *Reported out from an RTA meeting*

**Lara** - *No report*

**White** - *Attended a farm group meeting, and gave an update from an RCTC meeting regarding Measure A.*

**Martinez** - *No report*

**Santos** - *Announced the upcoming Vet Expo, met with the local board of realtors, the Inland Valley realtors and the Riverside realtors. Attended the League's General Meeting.*

**ECONOMIC DEVELOPMENT UPDATE**

Economic Development Committee Report Out

**CITY TREASURER REPORT**

Finance and Audit Committee Report Out

**CITY CLERK REPORT**

Gave a report out from meetings attended.

**CITY MANAGER REPORT**

Reminded that January 30th is the Chamber's Installation Dinner.

Reported out regarding Sales Tax.

Reported that the City attained a grant for zoning and housing planning.

**FUTURE AGENDA ITEMS**

- Sponsorship of the Symetra Tour
- Women's Club Garden Project for the City
- Parks and Event Committee
- City and Chamber collaboration of business awards

**ADJOURNMENT**

The next regular meeting of the Beaumont City Council, Beaumont Financing Authority, the Beaumont Successor Agency (formerly RDA), the Beaumont Utility Authority, the Beaumont Parking Authority and the Beaumont Public Improvement Agency is scheduled for Tuesday, February 4, 2020, at 5:00 p.m. or thereafter as noted on the posted Agenda for Closed Session items in the City Council Board Room No. 5, followed by the regular meeting at 6:00 p.m. or thereafter as noted on the posted Agenda at City Hall.

Beaumont City Hall – Online [www.BeaumontCa.gov](http://www.BeaumontCa.gov)



### Staff Report

**TO:** Mayor, and City Council Members

**FROM:** Carole Kendrick, Senior Planner

**DATE:** February 4, 2020

**SUBJECT:** **Tentative Tract Map No. 37696 (TM2019-0005) for a Request to Subdivide 13.51 Acres into 62 Single Family Residential Lots with a Minimum Lot Size of 4,947 Square Feet and Nine (9) Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Background and Analysis:**

The applicant is requesting approval of Tentative Tract Map No. 37696 (TM2019-0005) for the subdivision of 13.02 acres into 62 single family residential lots with a 4,947 square minimum lot size and nine (9) lettered lots. The project site is in the northern portion Planning Area 25 of the Oak Valley SCPGA Specific Plan commonly referred to as Fairway Canyon. Planning Area 25 is located north of San Timoteo Canyon Road, south of Champions Road and east of the extension of Tukwet Canyon Parkway.

The Oak Valley Specific Plan #318 encompassing 1,747.9 acres allowing 4,355 dwelling units was adopted by the County of Riverside on August 14, 2001. The property was annexed into the City of Beaumont on April 9, 2003, by the Local Agency Formation Commission (LAFCO) by LAFCO 2002-43-5. The Oak Valley SCPGA Specific includes the developments of Fairway Canyon and Tournament Hills. The subject property is located within the Fairway Canyon portion of the specific plan.

Fairway Canyon has constructed Phase 1 and 2 of the development and is nearing completion of Phase 3. The subject property is located within Phase 4 of the development and more specifically in Planning Area 25, as shown in Exhibit F.

The project was advertised and noticed for a public hearing with the Planning Commission on December 10, 2019, however the applicant and staff determined that a continuance was necessary in order to allow the parties to meet and discuss modifications to draft conditions of approval. The project team met with City staff on

December 18, 2019, which included representatives from the City Manager’s office, Public Works, Planning and Fire Department and resulted in modifications to the draft conditions of approval. The modifications included updates to the ownership name, clarification on satisfied conditions, timing of fees and infrastructure requirements.

On January 14, 2020, the Planning Commission conducted the continued public hearing for the proposed subdivision. One member of the public provided comments on the proposed project that included a request for the preservation of natural open space areas, larger minimum lot sizes, community input regarding programming of proposed park sites, the potential use of the subject property for a future school site, slope areas and public safety.

Staff advised the Planning Commission and members of the public the lot sizes are established in the adopted specific plan and open space was analyzed under the environmental impact report that was certified for the project area, as discussed in the California Environmental Quality Act (CEQA) review section of this staff report.

The programming for the park sites is designed by the master developer, reviewed and approved by City staff under a landscaping permit and installed by the developer.

The applicant indicated they have been in discussions with Beaumont Unified School District (BUSD). However, the applicant would like to have entitlements secured in the event the school district does not select the subject property as a future school site. The specific plan indicates the timing of school facility will be determined by BUSD (SP#318, Page II-3).

The Planning Commission unanimously voted to forward a recommendation of approval to the City Council.

**Approval Authority:**

The Beaumont Municipal Code, Section 16.04.020 designates the Planning Commission as the “advisory agency” charged with reviewing and making recommendations on all proposed parcel map land divisions and tentative subdivision maps in the City. Section 16.24.050.A authorizes the Planning Commission to conditionally approval or disapprove all tentative parcel maps and tentative subdivision maps and land divisions and submit to the City Council for final approval.

When a tentative map is required under the Subdivision Map Act (66463.5(a)), an approved or conditionally approved tentative map shall expire 24 months after its

approval or conditional approval. The Subdivision Map Act does allow for up to four (4) years of extensions subject to approval by the original approving body, however the proposed subdivision is subject to the development agreement (City of Beaumont Resolution No. 1987-34) dated November 18, 2003, which has a term of 25 years (item 7 of the development agreement) and tentative tract maps shall be granted an extension of time for the term of the development agreement (item 33 of the development agreement). Therefore, the expiration date for the proposed subdivision is November 18, 2028.

The project setting can also be seen in the following materials attached to this staff report:



- General Plan Land Use Map (Attachment C),
- Zoning Map (Attachment D), and
- Aerial Photograph (Attachment E).

The 13.51-acre site is currently vacant. The property is located in an area which contains single family residences to the west, vacant land to the south and the Morongo Golf Club at Tukwet Canyon to the north and east of the subject property. The land uses, zoning, and general plan land use designations of the project site and surrounding areas are shown in the following table.

|                     | <b>LAND USE</b>           | <b>GENERAL PLAN</b>             | <b>ZONING</b>                  |
|---------------------|---------------------------|---------------------------------|--------------------------------|
| <b>PROJECT SITE</b> | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>NORTH</b>        | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>SOUTH</b>        | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>EAST</b>         | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>WEST</b>         | Single Family Residential | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |

**Analysis:**

The proposed subdivision contains lots that range in size from 4,947 square feet to 17,172 square feet. The density for this subdivision is 4.6 dwelling units per acre. The lettered lots include the interior streets (Lots A through D). Lot J is a 10,765 square foot basin located on the northeast corner of the extension of Tukwet Canyon Parkway and Street “D”. Lots F through H are open space lots that include slope areas located along the extension of Tukwet Canyon Parkway and adjacent to the golf course on the northeast project boundary. A 12,565 square park is proposed on Lot “I” on the northeast corner of the extension of Tukwet Canyon Parkway and Street “B”. Streets A through E are proposed to be dedicated to the City and Lots E through I will be dedicated to the homeowner’s association for future maintenance.

Primary access to the subdivision is proposed as an extension of Tukwet Canyon Road. The proposed lots will front onto internal streets within the subdivision.

The subject property drains from the northeast to the southwest and will discharge into the Lot “J” basin located at the northeastern corner of Tukwet Canyon Parkway and Street “D”.

The subject property is zoned specific plan (SPA). The proposed subdivision would be subject to various development standards in terms of lot width and depth as defined in the Oak Valley SPCGA Specific Plan. Staff has reviewed the proposed subdivision and determined that it complies with the minimum development standards of Planning Area 25 of the Oak Valley SPCGA Specific Plan Section III.B.28. The table below summarizes the required development standards.



| <b>DEVELOPMENT STANDARDS</b>       | <b>REQUIRED</b> | <b>PROPOSED MINIMUM</b> | <b>PROPOSED AVERAGE</b> |
|------------------------------------|-----------------|-------------------------|-------------------------|
| <b>Minimum Net Lot Area</b>        | 3,800 sq. ft.   | 4,947 sq. ft.           | 6,256 sq. ft.           |
| <b>Maximum Density</b>             | 12.0 du/ac      | 4.6 du/ac               | 4.6 du/ac               |
| <b>Minimum Lot Width (Average)</b> | 40 ft.          | 52 ft.                  | 62 ft.                  |
| <b>Minimum Lot Depth (Average)</b> | 100 ft.         | 81 ft.                  | 102 ft.                 |

**Residential Design & Landscaping Standards:**

If approved, the applicant will be required to submit a minor plot plan application for review of architecture for all buildings with enhancements (shutters, flower boxes, stone veneer, etc.) and provide for trim around all openings. With regard to project landscaping under this proposal, the applicant will be required to adhere to standards set forth under the Guide to California Friendly Landscaping, as well as the City’s landscaping ordinance that requires water efficient landscaping. Separate landscaping plans will be required as part of the conditions of approval by the applicant for staff review of all front-yard, slopes in excess of three feet, and open-space areas.

**Public Notice and Communications:**

Property owners located within a 300-foot radius of the project site were notified of the Planning Commission public hearing on November 29, 2019, with a 10-day hearing notice in addition to a public notice in the Press Enterprise newspaper (see Attachment G). The Planning Department has not received any letters of comment from the public as of the writing of this report.

**CEQA Review:**

From the standpoint of the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) was prepared and certified in 2001 for the Oak Valley SCPGA Specific Plan (Specific Plan No. 318) (SCH# 2000051126), with latest addendum of the EIR was approved by City Council in 2014 (13-EIR-03), assessing the environmental impacts of the overall project and subsequent implementation steps, including subdivision of the site. The EIR and the findings made by the City Council remain pertinent and adequate for use for current application. Execution of this subdivision will require adherence to the mitigation monitoring program established for the project.

Incorporated herein by reference:

- City of Beaumont General Plan,
- City of Beaumont Zoning Ordinance,
- Project Site’s Riverside Conservation Authority Multi-Species Habitat Conservation Plan Informational Map, and
- Contents of City of Beaumont Planning Department Project File Tentative Tract Map No. 37696 (TM2019-0005), Tentative Tract Map No. 37698 (TM2019-0006), Tentative Tract Map No. 37697 (TM2019-0007), Tentative Parcel Map No. 37366 (PW2019-0387), LAFCO 2002-43-5, 02-ANX-02, Development Agreement dated November 18, 2003, Oak Valley SCPGA Specific Plan 318 and Environmental Impact Report 418.

**Recommended Action:**

Approve Tentative Tract Map No. 37696 (TM2019-0005) subject to the Development Agreement and the attached conditions of approval.

**Attachments:**

- A. Draft Conditions of Approval
- B. Tentative Tract Map 37696
- C. General Plan Land Use Map
- D. Zoning Map
- E. Aerial Photograph
- F. Fairway Canyon Phasing Map
- G. Proof of Publication



**CITY OF BEAUMONT  
PLANNING DEPARTMENT  
CONDITIONS OF APPROVAL**

**TENTATIVE TRACT MAP NO. 37696 (TM2019-0005)**

**APN: PORTION OF 413-790-020**

**Planning Commission  
Recommendation:  
1.14.20  
City Council Approval:  
DRAFT**

**TO SUBDIVIDE 13.51 ACRES INTO 62 SINGLE FAMILY**

**RESIDENTIAL LOTS RANGING IN SIZE FROM 4,947 TO 17,172 SQUARE FEET, AND FIVE LETTERED (5) LOTS WITH A PARK SITE, BASIN AND LANDSCAPING LOCATED WITHIN PLANNING AREA 25 OF THE OAK VALLEY SPECIFIC PLAN.**

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

**STANDARD CONDITIONS**

The following conditions of approval are for Tentative Tract Map No. 37696 and consist of all subsequent conditions and all conditions of approval for the Oak Valley Specific Plan (SP No. 318) and the Mitigation Monitoring and Reporting Plan.

1. The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning TENTATIVE TRACT MAP NO. 37696 and the Environmental Impact Report certified by the Beaumont City Council in conjunction with the SCGPA Golf Course at Oak Valley Specific Plan, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont
  
2. The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.

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3. This conditionally approved tentative map will expire on November 18, 2028 per 3.3 of the Development Agreement between the City of Beaumont and SDC Fairway Canyon LLC, a Delaware limited liability company. Action on a minor change and/or revised map request will not extend the time limits of the tentative map. Approval of the final map by the City Council is required.
4. If required by the Planning Department, within ten (10) days of approval by the City Council ten (10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Department prior to release of the final conditions of approval.
5. Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal.
6. The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Department.
7. The properties contained within Tentative Tract Map 37696 are part of the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, approved originally by the Beaumont City Council on November 5, 2002 and later amended in 2004, 2005, and 2014. The provisions and criteria of the SCPAGA Golf Course at Oak Valley Specific Plan shall control and guide the development of Tentative Tract Map 37696.
8. An Environmental Impact Report EIR was prepared and certified for the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, Addendum(s) were prepared for the subsequent amendment and a series of mitigation measures were adopted by the City Council to mitigate the potential impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Tract No. 37696.
9. Execution of the project will necessitate the conducting of mitigation monitoring by the City to ensure that all the mitigation measures set forth in the Environmental Impact Report and Addendum are systematically implemented. The subdivider shall fund the mitigation monitoring requirements by paying an amount equal to the City's actual contracting cost for such services, plus a 20 percent administrative charge.
10. Tentative Tract No. 37696 has been found to be substantially in conformance with the Oak Valley PGA Specific Plan.

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- 11. The approval of this map shall not result in any vesting provisions relative to City of Beaumont fees and exactions. The provisions of the Development Agreement shall prevail in all cases.

**BUILDING DEPARTMENT CONDITIONS**

- 12. It shall be unlawful for any person to engage in or permit the generation of noise related to landscape maintenance, construction including erection, excavation, demolition, alteration or repair of any structure or improvement, at such sound levels, as measured at the property line of the nearest adjacent occupied property, as to be in excess of the sound levels permitted under Chapter 9 of the Municipal Code, at other times than between the hours of 7:00 a.m. and 6:00 p.m. The person engaged in such activity is hereby permitted to exceed sound levels otherwise set forth in this Chapter for the duration of the activity during the above described hours for purposes of construction. However, nothing contained herein shall permit any person to cause sound levels to at any time exceed 55 dB(A) for intervals of more than 15 minutes per hour as measured in the interior of the nearest occupied residence or school.

**FIRE DEPARTMENT CONDITIONS**

- 13. Underground fire line plans shall be submitted to the fire department, for review and approval for fire hydrant spacing and type prior to signing Mylar's.
- 14. Provide a title block on the set of Mylar's saying, 'Riverside County Fire Department'.
- 15. All residential homes shall have fire sprinklers. Plans shall be submitted to the fire department for review and approval prior to installation.
- 16. More than one road is required if it is determined that access by a single road may be insufficient due to terrain, location, travel distance, potential fire or life safety hazards, or other factors that could limit access or if vehicle congestion, or weather conditions could impair access points. CFC 2013.
- 17. Supplementary access points shall be located to facilitate evacuation and emergency operations and minimize congestion or obstruction during an emergency incident.
- 18. Industry standards: A minimum of two vehicle access points is required for any development containing 150 or more residential units.

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- 19. The fire code official shall be the only authority authorized to designate fire apparatus access roads and fire lanes and to modify the minimum fire lane access widths for fire or rescue operations.” RVC Ord-787.7
- 20. The fire code official has reviewed the revisions for this project, and shall require additional access points, and to provide main street artery’s for emergency vehicle ingress and egress. This will help support an evacuation during an emergency operation and would be required to help emergency vehicle faster response times.
- 21. Due to the number of residential homes that are being built within the project, a fire station is needed in this area. The payment of the fire station impact fee shall meet the requirements of this condition. Community Facilities District No. 93-1 dated November 2, 2004 includes Exhibit E – Fee Credit Table that indicates that Fire Station – Critical and Joint Facilities fees were paid for 3,387.28 dwelling units at a rate of \$181.00 per dwelling unit for a total of \$613,097.68, therefore the condition has been satisfied.

**STANDARD CONDITIONS:**

With respect to the conditions of approval for the referenced project, the Fire Department recommends the following fire protection measures be provided in accordance with City of Beaumont/Riverside County Ordinances and/or recognize fire protection standards:

- 22. FIRE FINAL - and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code, California Fire Code, and other related codes which are in force at the time of building plan submittal.
- 23. FIRE FLOW REQUIREMENTS - The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B, Table B105.1. The applicant/developer shall provide documentation to show that a water system exists and is capable of delivering 1,000 GPM for 2 hour(s) for duration at 20-PSI residual operating pressure must be available before any combustible material is placed on the job site. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. California Fire Code 2010.
- 24. SUPER FIRE HYDRANTS - Industrial, Commercial, Multi-family, Apartment, Condominium, Townhouse or Mobile Home Parks. A combination of on-site and off-site super fire hydrants (6" x 4" x 2 – 2 1/2") shall be located not less than 25 feet or more than 200 feet from any portion of the building as measured along approved emergency vehicular travel ways, and spaced no more than the required spacing per Appendix C,

table C105.1 in feet apart in any direction. The fire flow shall be available from any adjacent fire hydrant(s) in the system. CFC Chapter 5, section 503.1.1 and Appendix B table – B105.1.

25. ALL WEATHER ACCESS ROAD - Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved fire department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. Road shall be provided prior to construction, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. CFC Chapter 5, section 503.2.3.
26. 24 FOOT WIDTH, 15 FOOT VERTICAL - Prior to construction and issuance of building permits, fire apparatus access roads shall have an unobstructed width of not less than 24 feet or as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less than 15 feet. CFC Chapter 5, section 503.2.1 & RVC Fire Ordinance 787.6.
27. 15 % GRADE - Prior to construction, all roads, driveways and private roads shall not exceed 15 percent grade. Add: Grade transitions shall not exceed Riverside County Fire Department apparatus maximum approach and departure angles as determined by the Fire Chief. RVC Fire Ordinance # 787.6 CFC Chapter 5, section 503.2.7.
28. PHASING - If construction is phased, each phase shall provide an approved emergency vehicular access for fire protection prior to any building construction. CFC Chapter 5, section 501.4.
29. DEAD ENDS - Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. CFC Chapter 5, section 503.2.5.
30. U/G WATER PLANS - Prior to issuance of permits, the applicant/developer shall furnish (3) copies of the water system plans to the Fire Prevention Bureau for review. Plans shall be in accordance with Appendix B and Appendix C and section 508.1 of the CFC 2010:
  - Signed by a registered civil engineer or certified fire protection engineer.
  - Contain a Fire Prevention Bureau approval signature block.
  - Conform to hydrant type, location, spacing of new and existing hydrants, and a minimum fire flow required as determined by the Fire Prevention Bureau.
  - The post indicator valve and fire department connection shall be located to the front access side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access, and within 200 feet of an approved fire hydrant, and within 50 of an approved roadway or driveway or otherwise approved by the Fire Chief.

- Guard posts or other approved means may be required to protect fire department inlet connections from vehicular damage. RVC Fire Ordinance 787.6 section 912.2.1.
  - After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants shall be installed, and made serviceable prior to and during the time of construction, and accepted by the City of Beaumont Fire Prevention Bureau. CFC Chapter 5, 508, and the National Fire Protection Association 24 sec 1-4.1.
  - Existing fire hydrants on public streets are allowed to be available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC, Appendix A, & B and NFPA 24 section 1-4.1.
31. BLUE DOT REFLECTOR - Prior to issuance of Certificate of Occupancy or building final, “Blue Reflective Markers” shall be installed on private streets, public streets, and driveways to identify fire hydrant locations in accordance with City & RVC Fire Ordinance 787.6 specifications.
  32. RESIDENTIAL NUMBERS - Prior to issuance of Certificate of Occupancy or building final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numerals shall be not less than four (4) inches in height. CFC Chapter 5, section 505.1.
  33. ROOFING - Prior to Certificate of Occupancy or building final, all structures shall have fire retardant roofing materials (Class A & B roofs) as described in section 1504 of the CBC.
  34. PAVED ACCESS- - Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards.
  35. ANGLE APPROACH - The angle of approach and departure for any means of Fire Department access shall not exceed 1-foot drop in 20 feet, and the design limitations of the fire apparatus of the fire department shall be subject to approval by the AHJ. CFC Chapter 5, section 503.2.7.
  36. FIRE SPRINKLERS - Prior to issuance of Certificate of Occupancy or building final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans (3) sets shall be submitted to the Fire Prevention Bureau for approval prior to installation. No person shall remove or modify any fire protection system installed or maintained under the provisions of the



California Fire Code without the approval by the Fire Chief. A Licensed C-16 contractor shall do all the work and/or certification. CFC Chapter 9, section 901.3.1, 903.1 & CBC Chapter 9, section 903.1.1.

- 37. SAFETY PRECAUTIONS - Approval of the safety precautions for buildings being constructed, altered or demolished shall be required by the Fire Chief in addition to other approvals for specific operations or processes associated with such construction, alteration or demolition. Structure, facilities and conditions which in the opinion of the fire code official, constitute a distinct hazard to life or property. The fire code official is authorized to order the posting of signs in a conspicuous location in each structure. The posting of signs shall not be obscured, removed, defaced, mutilated, or destroyed.
- 38. FIRE DEPARTMENT INSPECTION APPROVAL - Construction or work for which the Fire Prevention Bureau's approval is required shall be subject to inspection by the Fire Chief and such construction or work shall remain accessible and exposed for inspection purposes until approved.
- 39. AUTHORITY TO INSPECT - The Fire Prevention Bureau shall maintain the authority to inspect as often as necessary for buildings and premises, including such other hazards or appliances designated by the Fire Chief for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this code and of any other law or standard affecting fire safety.
- 40. ALTERATIONS - Any alterations, demolitions, or change in design, occupancy and use of buildings or site will require plan submittal to the Fire Prevention Bureau with review and approval prior to installation.
- 41. MEDIAN CROSSOVERS - Prior to Certificate of Occupancy all locations where medians are constructed and prohibit vehicular ingress/egress into or away from the site, provisions must be made to construct a median-crossover at all locations determined by the Fire Chief and the Public Works Director. Prior to the construction, design plans will be submitted for review and approval by the Public Works Director.
- 42. GATES – All exterior security/emergency access gates shall be electronically operated and be provided with a Knox key switch for access by emergency personnel, that includes the Police Department's "E" key. Contact Beaumont Police Department at 951-769-8500 for any questions. Gate entrances shall be at least two feet wider than the width of the traffic lane (s) serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane

provides access to a gate entrance, a 40-foot turning radius will be required. CFC Chapter 5, section 503.6.

- 43. KNOX SWITCH - Gate (s) shall be opened by a Fire Department Knox Switch, and all gates shall be a minimum of 24 feet in width. Automatic gates shall be equipped with emergency backup power.
- 44. MULTI-FAMILY RESIDENCE - Prior to issuance of Certificate of Occupancy or building final, all multi-family residences shall display the address in a visible location on the street side of the building and shall be clearly distinguishable from the fire apparatus access road. The building numerals shall be a minimum of twelve (12) inches in height and individual dwelling units shall be not less than four (4) inches in height and shall contrast with their background. The address shall be illuminated as approved by the Fire Department. CFC Chapter 5, section 505.1 & RVC Ordinance 787.7.
- 45. SINGLE FAMILY DWELLINGS - Approved fire prevention standard fire hydrants (6" x 4" x 2 – 2 1/2") shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a fire hydrant. Minimum fire flow shall be 1,000 GPM for 2 hours at 20 PSI. Fire flow and flow duration for dwellings in excess of 3,600 square feet shall not be less than that specified in Appendix B, Table B 105.1, RVC 787.7 & CFC Chapter 5, and Appendix C, Table C 105.1.
- 46. ACCESS/ROAD LENGTH - No cul-de-sac or dead-end road length shall exceed one thousand three hundred-twenty (1,320) feet in length. In any hazard fire area of Riverside County, no dead-end or cul-de-sac road shall exceed six hundred-sixty (660) feet in length. The Fire Chief based on city street standards shall determine minimum turning radius for fire apparatus based upon fire apparatus manufacture specifications. Riverside County Ordinance 787.7, CFC Chapter 5, section 503.2.5.
- 47. BUILDING OPENINGS - Access to building openings and roofs shall be maintained readily accessible for emergency access by the fire department. Finished grade to be flat and accessible on all sides of the building were ground ladder access is the only means to reach the highest point on the building from the exterior. Obstructions will not be placed as to interfere with ground ladder placement. CFC Chapter 5, section 504.1 & RVC Ordinance 787.7.

**AGENCY CONDITIONS**

- 48. The subdivider shall comply with the requirements set forth in the City Public Works Department conditions.

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- 49. The subdivider shall comply with the requirements of the Beaumont Police Department.
- 50. The subdivider shall comply with the requirements of the Beaumont Fire Department.
- 51. The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 52. The subdivider shall comply with the requirements of the Southern California Gas Company.
- 53. The subdivider shall comply with the requirements as set forth by the Beaumont Unified School District.

**RECORDATION CONDITIONS**

Prior to the RECORDATION of any final map, all the following conditions shall be satisfied:

- 54. The subdivider shall submit written clearances to the Public Works Department that all pertinent requirements from the following agencies have been met:

City Fire Department  
 City Police Department  
 City Planning Department  
 Beaumont Cherry Valley Water District  
 Beaumont Unified School District

- 55. All public street road easements shall be offered for dedication to the public and shall continue in force until the governing body accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the Public Works Department. Street names shall be subject to the approval of the Building Official. The final street sections, configurations and improvements shall be subject to the approval of the Public Works Department.
- 56. All delinquent property taxes, special taxes and assessments shall be paid to the Riverside County Tax Collectors Office.
- 57. Lots created by this subdivision shall comply with the following:
  - a. Lots created by this subdivision shall be in conformance with the development standards of the Oak Valley PGA Specific Plan.

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- b. All sewer, storm drain and other public utility crossings in side and rear yards to be located in fee title lots and not easements.
  
- 58. No lots fronting on knuckles, or cul-de-sacs shall have less than twenty-five (25) feet of frontage measured at the property line, with the exception of flag lots as approved by the Planning Department.
  
- 59. This subdivision may be recorded in phases subject to the following:
  - a. Phasing, including phase boundaries and sequencing, shall be subject to Planning Department approval.
  
  - b. Common open space area improvement phasing shall be required subject to Planning Department approval.
  
- 60. Consistent with City standards and the Beaumont General Plan, the subdivider is obligated to provide fully improved park space at a ratio of 5 acres per 1,000 population. Said conditions of approval require of park improvements and/or fees, and these requirements shall be applicable as set forth in the conditions of approval for the Oak Valley PGA Specific Plan.
  
- 61. The maintenance and management of common open space areas and common facilities shall be conducted as set forth herein and approved by the Planning Department. All provisions of said condition shall be satisfied prior to map recordation.
  
- 62. The subdivider shall be responsible for the provision of a fair share of the necessary roadway, water, sewer and drainage facilities for the orderly implementation of the Oak Valley PGA Specific Plan and the existing master plans for these facilities. Prior to recordation, the subdivider shall work with the City and the Public Works Department to establish the necessary financing and implementation measures to ensure the provision of a fair share of such necessary facilities or provide documentation that this has been satisfied per the Development Agreement dated November 18, 2003 (Resolution No. 1987-34) between the City of Beaumont and LB/L—Sunval Oak Valley LLC which was assumed by SDC Fairway Canyon, LLC, a Delaware limited liability company on June 1, 2012 via Document# 2012-0253906 and Community Facilities District (CFD) 93-1 dated November 2, 2004.
  
- 63. Prior to recordation of the final map, the applicant shall remove the minimum setback notes from the map.

**GRADING CONDITIONS**

- 64. Detailed landscaping and irrigation plans shall be submitted to and approved by the Planning Department for the phase of development in process. The plans shall address all areas and aspects of the tract requiring landscaping and irrigation to be installed including, but not limited to, parkway planting, recreation trails, street trees, slope planting, common area and/or park landscaping. The plans shall be certified by a landscape architect, and shall provide for the following:
  - a. Permanent automatic irrigation systems shall be installed on all landscaped areas requiring irrigation. Low water use systems shall be specified.
  - b. Landscape screening where required shall be designed to be opaque up to a minimum height of six (6) feet at maturity.
  - c. All utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments, as approved by the Planning Department. Utilities shall be placed underground wherever feasible.
  - d. Landscaping plans shall incorporate the use of specimen accent trees (24" box minimum) at key visual focal points within the project.
  - e. Landscaping plans shall incorporate native, low water using and drought tolerant plants where appropriate. All Landscaping shall be in compliance with Beaumont Municipal Code Chapter 17.06.
  - f. All specimen trees on the subject property shall be shown on grading plans. Trees intended for retention and/or removal shall be so noted on the project grading plans. Replacement trees for those to be removed shall also be shown on the project grading plans.
  - g. All trees shall be minimum double-staked. Weaker and/or slow-growing trees shall be steel-staked.
  - h. trees proposed within 10 feet of any Right-of-Way shall provide for a 36" deep root barrier.
- 65. Three (3) sets of detailed landscaping and irrigation plans shall be submitted pursuant to the Conditions of Approval with the applicable processing fee.
- 66. Driveways shall be designed so as not to exceed a fifteen (15) percent grade.

- 67. A qualified paleontologist shall be retained by the subdivider for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist, the City Public Works Department and the grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and details of the fossil recovery plan if recovery was deemed necessary.

**BUILDING CONDITIONS**

Prior to the issuance of BUILDING PERMITS, all the following conditions shall be satisfied:

- 68. The subdivider shall submit written clearances to the Planning Department that all pertinent requirements from the following agencies have been met:

City Public Works Department  
 Beaumont Unified School District  
 Beaumont-Cherry Valley Water District  
 Beaumont Fire Protection Department  
 Beaumont Planning Department

- 69. Prior to the merchant builder submittal of architectural building plans and wall and fence plans to the Planning Department, an acoustical study shall be performed by an acoustical engineer to establish appropriate mitigation measures that shall be applied to individual dwelling units within the subdivision to reduce ambient interior noise levels to 45 Ldn. The study shall be submitted to the Planning Department for review with review fee as set in the Fee Schedule or at actual hourly cost and the approved recommendations shall be incorporated into the architectural building plans and wall and fence plans.
- 70. A detailed wall and fencing plan shall be submitted to and approved by the Planning Department & Public Works Department and shall show all project walls and fencing including but not limited to perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical elevation of all walls and fences shall be shown on the wall and fencing plan. Decorative block walls shall be constructed along all side or other yards adjacent to streets, or which are plainly visible, and in locations as may be required by the Planning Department.
- 71. Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with Planning Department approval.

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72. Building separation between all buildings shall not be less than as set forth in the California Building Code.
73. All street side yard setbacks shall be a minimum of ten (10) feet.
74. All front yards shall be provided with landscaping and automatic irrigation systems and adhere to Municipal Code Chapter 17.06 Landscaping Standards, as approved by the Planning Department. Additionally, all front yard landscaping shall be installed with drought tolerant landscaping.
75. No wood fencing is permitted in this development. All fencing materials shall be masonry, vinyl or tubular steel, as approved by the Planning Department.
76. All utility connections and easements shall be placed underground and shall not encroach into the driveway area unless otherwise approved by the Public Works Department.
77. A minor plot plan for all residential buildings, garages and accessory buildings for residential products shall be submitted to the Planning Department accompanied by applicable filing fees for a minor plot plan not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the City of Beaumont. The minor plot plan shall be subject to the approval of Planning Department and shall contain the following elements:
  - a. A final site plan (1"=30' minimum scale precise grading plan) showing all lots, building footprints, setbacks, walls, fencing, the floor plan and elevations of individual lots.
  - b. One (1) color and materials sample board containing precise color texture and material swatches or photographs (which may be from supplier's brochures). Indicate on the sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers when feasible (trade names also acceptable).
  - c. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations. All residential structures shall be provided with "four-sided" architectural features. With respect to residential structures, this may take the form of edge trim on all exterior doors or windows, or other methods as approved by the Planning Department. Enhanced or upgraded rear and side facing architectural features shall be included for dwelling units adjacent to and visible from parks, walkways, and public roadways.

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- d. Detailed wall and fencing plan for the subdivision, including colors, materials and location details.
  - e. Five (5) sets of photographic or color laser prints (8 X 10 in.) of the sample board and colored elevations shall be submitted for permanent filing.
78. All residential units shall be served by a minimum of two access points at all times, for proper circulation and emergency vehicle ingress and egress, as approved by the Fire Department.
79. Street Improvement Plans shall be prepared to the satisfaction of the Public Works Department. Additionally, Street Lighting plans in accordance with the City of Beaumont Outdoor Lighting ordinance shall be submitted in conjunction with the Street Improvement Plans. Street Lights shall be reviewed and approved by the Planning and Building Department with appropriate fees paid. All Mailbox clusters shall have appropriate lighting as approved by the City.
80. No side-entry garages shall be proposed for this subdivision.

**FINAL INSPECTION/OCCUPANCY CONDITIONS**

Prior to the FINAL BUILDING INSPECTION or issuance of OCCUPANCY PERMITS, whichever occurs first, all the following conditions shall be satisfied:

- 81. Decorative block and sound walls shall be constructed subject to the approval of the Public Works Department and Planning Department. A graffiti resistant coating or landscaping shall be provided on all block walls.
- 82. Wall and fence locations shall conform to the approved wall fencing plan and approved landscape and irrigation plans.
- 83. All landscaping and irrigation shall be installed in accordance with approved plans. If the seasonal conditions do not permit planting, interim landscaping, and erosion control measures shall be utilized as approved by the Planning Department and the Public Works Department.
- 84. A licensed landscape architect shall provide a Compliance Letter to the Planning Department and the Public Works Department stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans, Municipal Code and conditions of approval. The Compliance Letter shall be



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submitted at least three (3) working days prior to any final building inspection or issuance of any occupancy permits, whichever occurs first.

- 85. All landscaping and irrigation shall be installed in accordance with approved plans and shall be verified by a City field inspection and applicable fees paid at the direction of the Planning Department.
- 86. All driveways shall be concrete paved.
- 87. Access roads, street improvements, all agency requirements, parking areas and security lighting shall be constructed in accordance with approved improvement plans and specifications.
- 88. Clearance shall be obtained from the Beaumont Fire Department, and all fire protection improvements shall be in place as approved by the Fire Chief.

**PUBLIC WORKS CONDITIONS**

**GENERAL**

The following is a non-inclusive list of items that may be required by the Public Works Department:

A. Plans:

- Recorded Parcel Map 37366
- Final Map
- Street Improvement Plan
- Street Light Plan
- Landscape Plan offsite
- Rough Grading Plan
- Precise Grading Plan
- Erosion Control Plan
- Retaining wall Plan (for line and grade only)
- Sewer Improvement Plan
- Sewer Lift Station and Forced Main Plan
- BCVWD Water Improvement Plan
- Storm drain Improvement Plans

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- Traffic Control Plan

B. Reports & Studies:

- Traffic Impact Analysis (TIA)- TIA used for EIR is acceptable
- Soils Investigation Report
- Pad Certification
- Stormwater Pollution Prevention Plan (SWPPP)
- Hydrology and Hydraulics Report
- Preliminary Water Quality Management Plan (P-WQMP)- (P-WQMP submitted and approved)
- Final Water Quality Management Plan (F-WQMP)
- Offsite Improvement Engineer's Cost Estimate (ECE)

C. Permits and agreements:

- CWA Section 401 Certification to Protect Wetlands (401 Certification)
- CWA Section 404 Permit (404 Permit)
- Fish and Game Code section 1602 (Streambed Alteration Agreement)
- Permission to Grade and Construction agreements
- WQMP Covenant and Agreement
- City Grading Permit
- City Dirt Haul Permit
- City Encroachment Permit
- County Encroachment Permit
- Subdivision Improvement Agreement
- Performance Bond
- Labor & Material Bond
- Survey Monument Bond
- Maintenance Bond
- Homeowners Association Covenants, Conditions and Restrictions (CC&Rs)

89. The design of public infrastructure elements shall conform to the requirements of the City's General Plan, Water Quality Management Plan, Master Plans, City of Beaumont Standards, Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification, Caltrans Standard Specifications and the Standard Specifications for Public Works Construction, current edition.

- 90. The design of private site improvements and grading work outside of road right of way shall conform to the latest edition of California Building Code (CBC) and the City of Beaumont standards and practices.
- 91. All required plans and studies shall be prepared by a Registered Professional Engineer, Registered Professional Geologist or Registered Professional Surveyor in the State of California, and submitted to the Public Works Department for review and approval.
- 92. Applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
- 93. The Applicant is responsible for resolving any conflicts with existing or proposed easements. All easement(s) of record and proposed easements shall be shown on the final map, grading plan and improvement plans, where applicable.
- 94. The Applicant shall obtain an Encroachment Permit, as required from the appropriate agency, for all work within the public right-of-way.
- 95. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
- 96. Projects with multiple phases shall submit a plan clearly showing the public improvements to be constructed with each phase of the project. Public improvements identified shall be constructed to the satisfaction of the Public Works Director prior to issuance of the 1st certificate of occupancy (COO) for that phase.
- 97. The Applicant shall submit a copy of Covenants, Conditions and Restrictions (CC&Rs) to the city for conformance review. The CC&Rs shall be enforceable by the Homeowners Association (HOA), shall not be amended without City approval, shall require maintenance of all property in a good condition, and be in accordance with all City Ordinances.
- 98. The HOA shall be responsible for operating and maintaining all stormwater basins, water quality basins, parkway landscaping and private open space constructed as part of this project, unless otherwise approved by the Planning and Public Works Department.

**MAPPING**

- 99. PRIOR TO OBTAINING ANY BUILDING PERMIT: The final map must be recorded.

Tentative Tract Map No. 37696 (TM2019-0005)  
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- 100. PRIOR TO MAP RECORDATION: Parcel Map No. 37366 shall be approved and recorded.
  
- 101. PRIOR TO MAP RECORDATION: the following plans shall be approved by the City and applicable agencies:
  - A. Street Improvement Plan
  - B. Signing and Striping Plan
  - C. Street Light Plan
  - D. Storm Drain Improvement Plan
  - E. Final WQMP
  - F. Sewer Improvement Plan
  - G. Lift Station Improvement Plan
  - H. Force Main Improvement Plan
  - I. Water Improvement Plan
  
- 102. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare the map in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification; Riverside County Ordinance 460; and RCTD Map Preparation Manual.
  
- 103. PRIOR TO FINAL MAP RECORDATION: The applicant shall pay all applicable fees consisting of, but not be limited to, area drainage fee; bridge and major thoroughfare fees. Per the Municipal Code, certain fees may be delayed to building permit issuance.
  
- 104. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare and fully execute a Subdivision Improvement Agreement (SIA) with the City (On City approved format and forms). If the final map and/or improvements will be phased, an SIA will be required for each phase.
  
- 105. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide securities guaranteeing the payment of the cost for all public improvements. The securities shall include Faithful Performance and labor and materials for 100% of the approved Engineer’s Cost Estimate (ECE).
  
- 106. PRIOR TO FINAL MAP RECORDATION: The Applicant shall comply with Government Code Section 66436(a)(3) before approval of the final map and shall provide

“no objection” letters from all public entities or utilities to the satisfaction of the Public Works Director.

- 107. PRIOR TO FINAL MAP RECORDATION: When changes to an approved Tentative Map are proposed, a Substantial Compliance Exhibit, in the same scale as the Tentative Map, shall be submitted for review and approval by the Public Works Director.
- 108. PRIOR TO FINAL MAP RECORDATION: Monuments shall be provided in accordance with Section 8771 of the Business and Professions Code. Cross-ties shall be set in top of curbs and tie sheets shall be submitted to the Public Works Department. Per the Subdivision Map Act, Section 66496, internal monuments may be set at a later date if the applicant furnishes security guaranteeing the payment of the cost of setting such monuments.
- 109. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide an easement to, over and across all private water quality, stormwater and drainage basins, to be dedicated to the City, for ingress, egress and right to inspect. The City will not maintain any basin unless expressly stated in writing by the Public Works Director.
- 110. PRIOR TO FINAL MAP RECORDATION: The applicant shall show all right-of-way dedications necessary for the construction of all streets, on the Final Map, including but not limited to:
  - A. All interior streets, as shown on Tentative Map No. 37696 dated October 2019, show a full-width dimension of 50-foot right-of-way to right-of-way (50-foot R/W width). The interior streets are based on the adopted Specific Plan and not a City standard. Therefore, the applicant shall be conditioned to construct the typical sections as shown on said tentative map and adopted Specific Plan. The Applicant shall verify that the appropriate right-of-way exist and/or the Applicant shall dedicate all additional right-of-way necessary to achieve the required 50-foot full-width.
  - B. Per separate instrument, additional right-of-way shall be dedicated along Street “D” to allow for the construction of improvements conditioned under the “Street Improvements” section of this document.
  - C. The applicant shall dedicate on the final map, a five foot (5’) public utility easement (PUE) coincident with the interior right-of-way, each side of a typical street.
- 111. PRIOR TO FINAL MAP RECORDATION: The right-of-way corner cutback shall be established per RCTD std. 805 as follows: Along a straight line projected from the

intersection of the radial line passing through the beginning of the curb return, and the corresponding right-of-way line to the intersection of the radial line, passing through the end of the curb return at the corresponding right-of-way line, or as directed by the Engineering Department.

A. The applicant has requested a deviation from std. 805 for various locations. The deviations will be accepted, as currently shown on the tentative map. The applicant is still required to meet all ADA requirements and no public improvement shall encroach into private property.

112. PRIOR TO FINAL MAP RECORDATION: The Applicant, at its sole expense, shall obtain all right-of-way or easement acquisitions necessary to implement any portion or condition of this map, including public improvements; off-site grading & construction; offsite street requirements; offsite sewer requirements; storm drain improvements; or any other requirement or condition, prior to the City’s consideration of the final map.

113. PRIOR TO FINAL MAP RECORDATION: The Applicant shall show all drainage, landscaping, open space or other non-residential use lots, as lettered lots on the final map.

114. PRIOR TO FINAL MAP RECORDATION: The Applicant shall provide all agreements for permission to construction and grade for all applicable offsite areas that currently do not have a recorded easement.

**STREET IMPROVEMENTS**

115. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall prepare the Street Improvement plan, Signing and Striping plan, and Street Light Plan in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification (Ordinance 461); Riverside County Ordinance 460; and California M.U.T.C.D.

116. PRIOR TO ISSUANCE OF ENCROACHMENT OR GRADING PERMIT: The Applicant shall coordinate the design of any public infrastructure that encroaches within the County right-of-way. Written approval shall be provided to the Public Works Department.

117. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The Applicant shall submit a Construction Traffic Management Plan per the California M.U.T.C.D., for review and approval by the Public Works Director.

- 118. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall analyze the turning radii for impact to the maneuverability of fire apparatus and demonstrate adequate clearance. Any deficiencies will need to be identified and discussed with the Public Works Director.
- 119. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall replace any sidewalk, curb and gutter, drive approach, AC pavement or other improvement damaged during construction as determined necessary by the Public Works Director. If the improvements are phase, the condition is applicable to the 1st COO of the corresponding phase.

**TUKWET CANYON PARKWAY (DIVIDED COLLECTOR 78' R/W)**

- 120. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Tukwet Canyon Parkway, coincident with the tract boundary and from the tract boundary to Oak Valley Parkway, continuous and inclusive of all intersections. The applicant shall secure all right-of-way necessary by separate instrument. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall include:
  - A. 6" Curb and Gutter per RCTD std. 200 @ 28-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. 14' wide raised median shall be per RCTD std. 113.
  - D. Street structural sections shall be designed with a Traffic Index per soils recommendations (7.0 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4" AC/6" AB.
  - E. Tukwet Canyon Parkway shall be designated as a weight restricted road. The Applicant shall install signs with a weight restriction provided by the Public Works Director at the time of construction.

**Streets "A", "B", "C" & "E"**

121. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Streets “A”, “B”, “C” & “E”, per the alignment shown on said tentative map. The improvements shall include:
- A. 6” Curb and Gutter per RCTD std. 200 @ 18-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. Street structural sections shall be designed with a Traffic Index per soil engineer’s recommendations (5.5 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4” AC/6” AB.

**Street “D”**

122. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct half-width improvements for Street “D”, per the alignment shown on said tentative map. The improvements shall include:
- A. 6” Curb and Gutter per RCTD std. 200 @ 18-feet from street centerline, north side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. Street structural sections shall be designed with a Traffic Index per soil engineer’s recommendations (5.5 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4” AC/6” AB.
  - D. If existing improvements do not exist along Street “D” at the time of construction, the applicant shall construct a 10-foot wide paved lane south of the centerline for a total paving width of 28’. The applicant shall secure all right-of-way necessary by separate instrument.



**GRADING AND DRAINAGE**

- 123. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall prepare the grading plans in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; California Building Code (current edition); and recommendations of a soil engineer.
  
- 124. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall obtain a National Pollutant Discharge Elimination System (NPDES) Construction General Permit for stormwater discharges associated with construction activities as required by the California Water Resources Control Board.
  
- 125. PRIOR TO ISSUANCE OF A GRADING PERMIT: A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared and submitted to the California Water Resources Control Board. The developer shall be responsible for implementation, monitoring, operation, and maintenance of the SWPPP until all improvements have been accepted by Public Works Department or construction is complete, whichever is later.
  
- 126. PRIOR TO ISSUANCE OF A GRADING PERMIT: A copy of the Notice of Intent (NOI) and Waste Discharge Identification (WDID) number from the State Water Resources Control Board shall be provided to the Public Works Department.
  
- 127. PRIOR TO ISSUANCE OF GRADING PERMIT: As part of the Grading Plan Submittal Application, the Applicant shall submit for review and approval, a Final Drainage Report. The Final Drainage Report be in substantial conformance with the approved preliminary drainage report. The project shall:
  - A. Follow the general guidelines set forth by Riverside County Flood Control and Water Conservation District’s (RCFC&WCD) Hydrology Manual.
  - B. Design all conveyances to handle the peak flow from a 100-year event.
  - C. Examine the 10-year and 100-year storm events utilizing the RCFC&WCD rational method. The 10-year storm flow shall not exceed the top of curb depth. 100-year storm flow shall not exceed the right-of-way line. If the 10-year storm flow exceeds the top of curb depth, underground storm drain facilities will be required;
  - D. Examine the 2, 10 and 100-year storm frequencies in combination with the 1,3,6 and 24-hour storm durations utilizing the RCFC&WCD synthetic unit hydrograph method; Mitigate for increased runoff by directing drainage to a downstream facility that has sufficient capacity or mitigate the increased runoff onsite.

- 128. **PRIOR TO ISSUANCE OF GRADING PERMIT:** The applicant shall submit for review and approval, a rough grading plan. The grading design shall incorporate the following:
  - A. conform to the standards of the latest edition of the California Building Code (CBC) and the Beaumont Municipal Code;
  - B. Setbacks for cut/fill slopes from the property line shall be in accordance with the CBC or as approved by the Public Works Director;
  - C. Lots shall be designed and graded to drain to abutting street, on which the driveway for the respective lot will occur. No lot shall drain onto adjacent properties. Drainage devices shall be required to convey storm water from lot onto abutting street. Curb cores shall be required for onsite lot drainage to discharge out into abutting street;
  - D. Building foundation clearance requirements for top of slope and toe of slope shall conform to (Chapter 18 – Soils and Foundations) of the latest edition of the California Building Code;
  - E. Design the site to adequately intercept and convey all off-site run-on through the site and discharge in a manner which will not increase damage, hazard, or liability to adjacent or downstream properties;
  
- 129. **ADVISORY CONDITION:** The project has several proposed slopes with a height close to 30 feet. Slope in excess of 30 feet will not be permitted in the field.
  
- 130. **PRIOR TO ISSUANCE OF GRADING PERMIT:** The Applicant shall design the extended detention basin per the Riverside Flood Control District, LID manual and include the following:
  - A. An access road that allows easy access to the bottom of the basin for maintenance;
  - B. An emergency overflow weir or spillway;
  - C. Drain within 72 hours or otherwise comply with relevant standards for vector control. If the 72-hour limit cannot be reached, the applicant shall implement other features to meet the requirement. This may include dry-wells, underdrain, larger surface area, etc.
  - D. Security fencing along the perimeter of the basin w/ appropriate signage;
  - E. Fire Department Rapid Entry System;
  - F. Access from public right-of-way.
  
- 131. **PRIOR TO ISSUANCE OF GRADING PERMIT:** The Applicant shall adhere to all Federal Emergency Management Agency (FEMA) regulations and requirements in the event that existing drainage patterns are affected by this development. The applicant shall

submit to the City of Beaumont and to any governing Federal agency for review and approval, all necessary calculations.

- 132. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a soils/ geology report.
- 133. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, an Erosion Control Plan that addresses Site Construction BMPs.
- 134. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a Final WQMP (F-WQMP). The F-WQMP shall be in substantial conformance with the approved preliminary Project-Specific WQMP and the document “Water Quality Management Plan – A Guidance Document for the Santa Ana Region of Riverside County,” dated October 2012 (Guidance Document)
- 135. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall record a “Covenant and Agreement” with the County Recorder, or other instrument acceptable to the City, to inform future property owners of the requirement to implement the approved project-specific WQMP for each parcel.
- 136. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall obtain all permits and approvals from all regulatory agencies with jurisdiction over any portion of this project. Potentially including, but not limited to: Riverside County Flood Control, State Department of Fish and Game, State Water Resource Control Board and US Army Corps of Engineers.
- 137. CONCURRENT WITH GRADING OPERATIONS: Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the Public Works Director for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the Public Works Director for review and approval, which may require additional tests at the expense of the applicant.
- 138. CONCURRENT WITH GRADING OPERATIONS: The Applicant shall construct temporary drainage facilities and erosion control measures to minimize erosion and silt deposition.
- 139. PRIOR TO FOUNDATION TRENCHING: The applicant shall submit a soil compaction report to the City for review and approval.

140. PRIOR TO OBTAINING ANY BUILDING PERMIT: The applicant shall submit pad certifications letters and pad compaction reports to the City for review and Approval.

**STORM DRAIN IMPROVEMENTS**

141. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall design the storm drain system and facilities in accordance with Beaumont Municipal Code, General Plan, Specific Plan, and Standards; the Riverside County Flood Control District standards; hydrology manual; and Low Impact Development (LID) BMP Design Handbook.

142. PRIOR TO ISSUANCE OF GRADING PERMIT: All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

143. PRIOR TO ISSUANCE OF A GRADING PERMIT: The stormwater generated within the development shall be captured into appropriate drainage facilities. The stormwater shall be treated per the requirements of the approved P-WQMP.

144. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct all storm drain facilities to accommodate WQMP requirements and Hydraulic Conditions of Concerns (HCOC) requirements. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall consist of:

- A. Storm drain network within the tract boundary;
  - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
- B. Storm drain network from the tract boundary to the Sorenstam Water Quality Basin;
  - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
  - ii. Including all laterals, catch basins, manholes, junctions, transitions and other facilities within Tukwet. The applicant shall extend all future connections to outside Tukwet right-of-way and bulkhead as necessary.
- C. Sorenstam Water Quality Basin;
  - iii. Basin shall be constructed with the same requirements as the extended detention basin.

D. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities.

145. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

**SEWER IMPROVEMENTS**

146. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The sanitary sewer system shall be designed and constructed to collect and convey sewage to the Upper Oak Valley Lift Station in accordance with the Master Sewer Plan and Beaumont Municipal Code, Eastern Municipal Water District (EMWD) standards, and as follows:

- A. The minimum pipe size for sewer shall be 8”;
- B. All sewer laterals from homes shall be connected to the sewer main in the street.
- C. Gravity sewer pipes 12” or less in diameter shall be designed to flow at a maximum depth of one-half of the pipe diameter. Sewer flow calculations shall be provided;
- D. Gravity sewer pipes 15” or larger shall be designed to flow at a maximum depth of three-quarters of the pipe diameter. Sewer flow calculations shall be provided;
- E. Sewer line locations shall follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.

147. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall design and construct the sewer network necessary for the complete operation of the sewer system which includes:

- A. The entire sewer system within the tract boundary;
- B. All necessary sewer mains that occur outside the tract boundary;
- C. Sewer lateral wyes along any of the mains constructed as part of this tract, for all future connections;
- D. Lift station;
- E. Forced main lines and gravity lines that will connect the lift station to the existing Upper Oak Valley lift station, and all necessary facilities.

- 148. **PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO):** The Applicant shall design and construct a sewer lift station and force main per EMWD standards. Redundant pumps and a bypass system for the lift station shall be incorporated into the design of the lift station. The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities. If the improvements are constructed by others, this condition, or portions of, will not be applicable.
  
- 149. **PRIOR TO ANY BUILDING PERMIT AND PRIOR TO CONNECTING TO A PUBLIC SEWERAGE SYSTEM:** The applicant shall pay the sewage disposal facility charge (connection fee) for not less than 25 percent of the lots to which sewers are available before the connection to the City system is made and shall pay the charge for each additional lot thereafter upon building permit or connection for the respective lot(s).
  
- 150. **ADVISORY CONDITION:** The existing Mesa sewer lift station is currently (2020) being assessed for capacity as part of a citywide Master Sewer Plan update. It is anticipated that the existing lift station has some capacity for this development; however, the assessment will identify the available capacity. The City may elect to develop a Capital Improvement Project to increase capacity based on need, available funding and schedule.

**WATER IMPROVEMENTS**

- 151. **PRIOR TO FINAL MAP RECORDATION:** The Applicant shall be responsible for obtaining potable water and reclaimed water for the development.
  
- 152. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall comply with the requirements of the Beaumont Cherry Valley Water District.
  
- 153. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure all fire hydrants; air vacs and other above ground water facilities are placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with the finished surfaces and are properly rated for chosen locations as approved by the Public Works Director.
  
- 154. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure that water line locations follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.

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End of Conditions

# TENTATIVE TRACT NO. 37696

CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

## "SINGLE FAMILY SUBDIVISION"

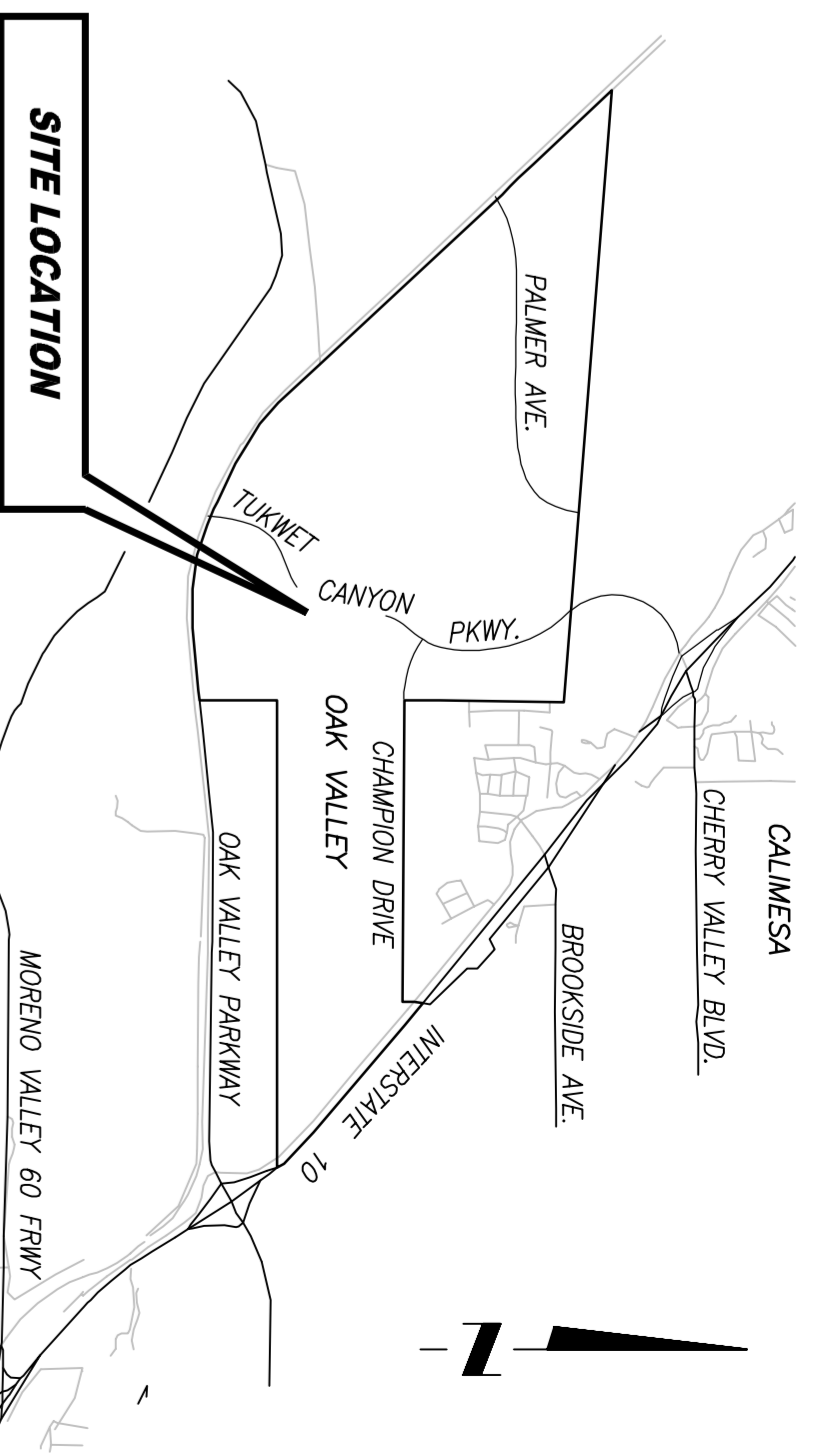
LEGAL DESCRIPTION

PORTION OF PARCEL T<sup>1</sup> OF LOT LINE ADJUSTMENT NO. 04-11A-13 AS RECORDED 10/19/04, PER INSTRUMENT NO. 2004-0826803, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, IN THE CITY OF BEAUMONT, STATE OF CALIFORNIA, AND LING WITHIN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 2 WEST, S.B.M.

DECEMBER 2019

### UTILITIES

WATER: BEAUMONT CHERRY VALLEY WATER DISTRICT  
 560 MAGNOLIA AVENUE  
 BEAUMONT, CA 92223 (951) 945-9881  
 ELECTRIC: BEAUMONT ELECTRIC  
 25700 MENFEE ROAD  
 RIVERSIDE, CA 92509 (951) 943-8291  
 TELEPHONE: VERIZON 1-800-483-4000  
 GAS: SOUTHERN CALIFORNIA GAS CO.  
 3700 CENTRAL AVE  
 RIVERSIDE, CA 92516 (714) 984-9411  
 SEWER & STORM DRAIN: CITY OF BEAUMONT  
 500 L. OTH STREET  
 BEAUMONT, CA 92223 (951) 799-8620



VICINITY MAP  
 N.T.S.

### LEGEND

- CL CENTERLINE
- EX EXISTING
- CG CURB AND GUTTER
- GB GRADE BREAK
- LP LOW POINT
- FL FLOWLINE
- ED EDGE OF PARCEL/BENCH MARK
- EW EXISTING WATER
- PR PROPOSED
- P/E PROPOSED STREET ELEVATION
- TC TOP OF CURB
- FG FINISHED GRADE
- FW FUTURE WALL
- WV WATER VALVE
- PL PROPERTY LINE
- LP LOW POINT
- CR CRITCH BENCH MARK
- CH CHAIN BENCH MARK
- FM FIRE HYDRANT
- SL STREET LIGHT
- PRP PROPOSED RETAINING WALL
- TRT TRACT BOUNDARY
- PS PROPOSED SIDEWALK (OTHERWISE NOTED)
- SC SETBACK CONTOUR
- SP SPUR LINE
- SD STORM DRAIN LINE
- SL SETBACK LINE (20' TO GARAGE)
- SR SECTION REFERENCE
- SR SHEET REFERENCE

### GENERAL NOTES

1. THIS TENTATIVE TRACT MAP IS LOCATED WITHIN THE OAK VALLEY SPECIFIC PLAN NO. 318
2. THE LAND INCLUDED WITHIN THE BOUNDARY OF THE TRACT MAP SHOWN HEREON INCLUDES A PORTION OF THE CONTIGUOUS OWNERSHIP OF SDC PARKWAY CANYON, LLC
3. THIS PROJECT LIES WITHIN FLOOD ZONE AS SHOWN ON MAP REVISED APRIL 15, 1980.
4. PORTION OF ASSessor'S PARCEL NUMBER 413-790-020, SEE INDEX MAP BELOW.
5. TOTAL NUMBER OF LOTS: 62
6. ACREAGE BEING SUBMITTED: 13.58 ACRES GROSS.
7. THIS PROJECT IS NOT SUBJECT TO OVERFLOW INUNDATION, OR FLOOD HAZARD.
8. ALL OPEN AREAS ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
9. THIS SITE IS NOT LOCATED WITHIN ANY FAULT HAZARD ZONE.
10. THIS SITE IS NOT LOCATED WITHIN ANY FAULT HAZARD ZONE.
11. NO WELLS LIES WITHIN PROPERTY OR WITHIN 200' OF PROPERTY BOUNDARY.
12. NO SUBSURFACE SEPTIC SERVICE DISPOSAL IS PROPOSED.
13. GENERAL PLAN DESIGNATION: SPECIFIC PLAN NO. 318, ADOPTED 4/10/1990 (SINGLE FAMILY RESIDENTIAL).
14. THERE ARE NO EXISTING, UNLAWFUL, BUILDINGS (BARGE OR BELOW EXCEPT AS SHOWN) ON THIS SITE.
15. LOTS "A" THROUGH "T" TO BE DEDICATED TO THE CITY OF BEAUMONT FOR ROAD AND PUBLIC UTILITY PURPOSES.
16. LOTS "T" THROUGH "T" TO BE DEDICATED TO THE HOMEOWNER'S ASSOCIATION.
17. MAP PREPARATION DATE: 12/20/19

### ZONING/LAND USE

EXISTING ZONING: SPECIFIC PLAN 318 (PLANNING AREA 23)  
 PROPOSED LAND USE: RESIDENTIAL  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: VACANT/GOLF COURSE  
 PROPOSED ZONING: CENTRAL  
 A) PER SP 318: 3.800 S.F.  
 - MIN. LOT SIZE: 3.800 S.F.  
 - MIN. LOT COVER: 8.000 S.F.  
 - MIN. WIDE LOT AREA: (35' MIN. FRONTAGE LOT DEPTH: 100'  
 - MIN. AVERAGE LOT DEPTH: 40'  
 - MIN. AVERAGE LOT WIDTH: 40'

### TOPOGRAPHY SOURCE

ROBERT L. LING & ASSOCIATES  
 2832 WALKER AVE., SUITE "E"  
 TUSTIN, CA 92708  
 TEL: (714) 832-2077

### SCHOOL DISTRICT

BEAUMONT UNITED SCHOOL DISTRICT  
 500 ORCHIE AVENUE  
 P.O. BOX 187  
 BEAUMONT, CA 92223  
 TEL: (909) 845-1831

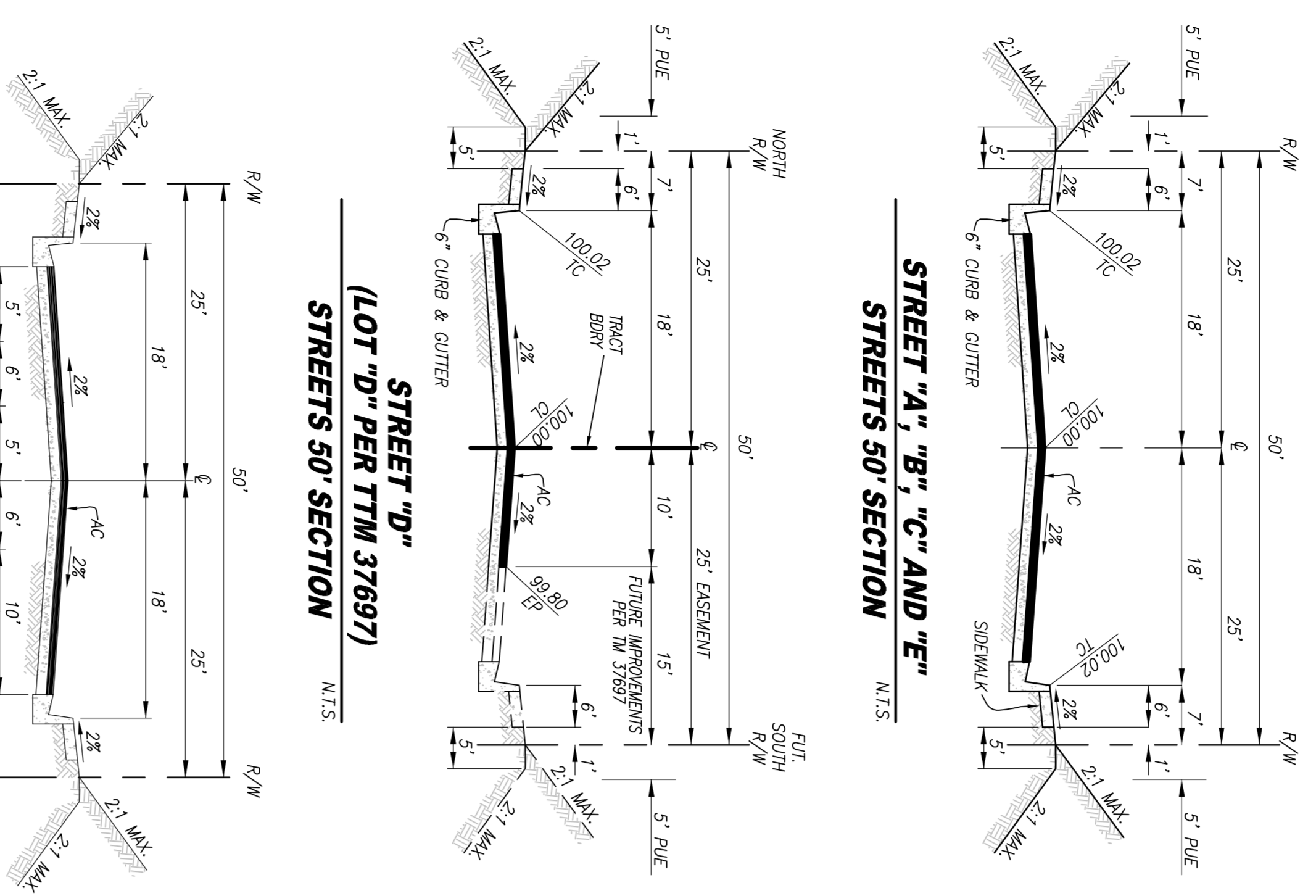
### BENCHMARK:

CLASS MONUMENT TEST  
 BEAUMONT DISK SET IN TOP OF CONCRETE MONUMENT, PLUMBED TEST 1927 ON DESERT LAWN DR. FT. NORTHWEST OF THE DRIVE CENTERLINE 44.9 FT. SOUTHWEST OF THE SOUTHWEST CORNER OF THE SOUTHWEST BOUND LINES OF INTERSTATE HIGHWAY 10.

### EARTHWORK QUANTITIES

| TRAFFIC | ROUGH GRADE PAVES TO MASS GRADE | FINL. (C.V.) | FINL. (C.V.) |
|---------|---------------------------------|--------------|--------------|
| 37696   | 4,647                           | 25,081       | 25,081       |
| 37697   | 4,949                           | 26,371       | 26,371       |
| 37698   | 3,800                           | 42,552       | 42,552       |
| TOTAL   | 13,200                          | 94,004       | 94,004       |

THIS SITE IS INTENDED TO BALANCE

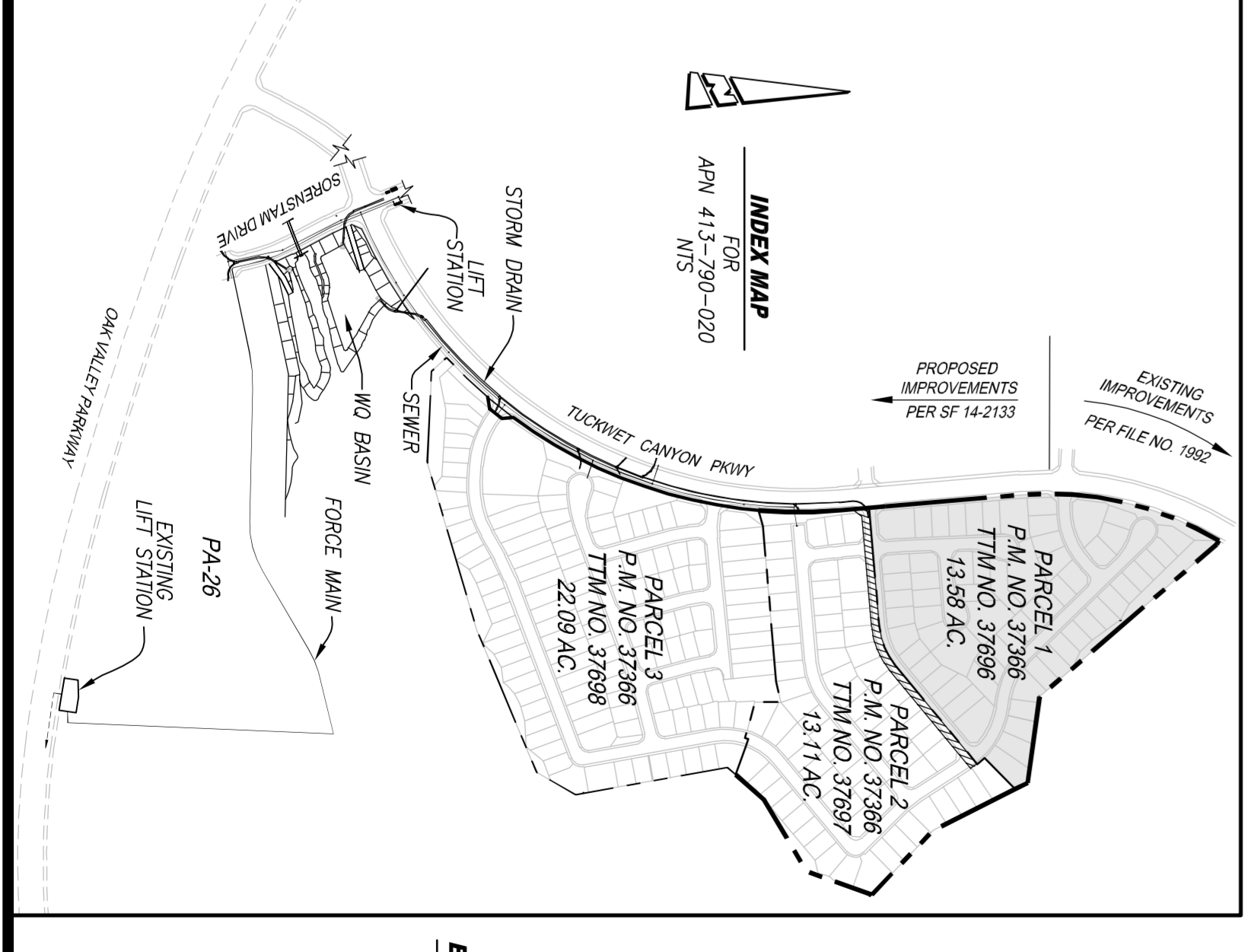
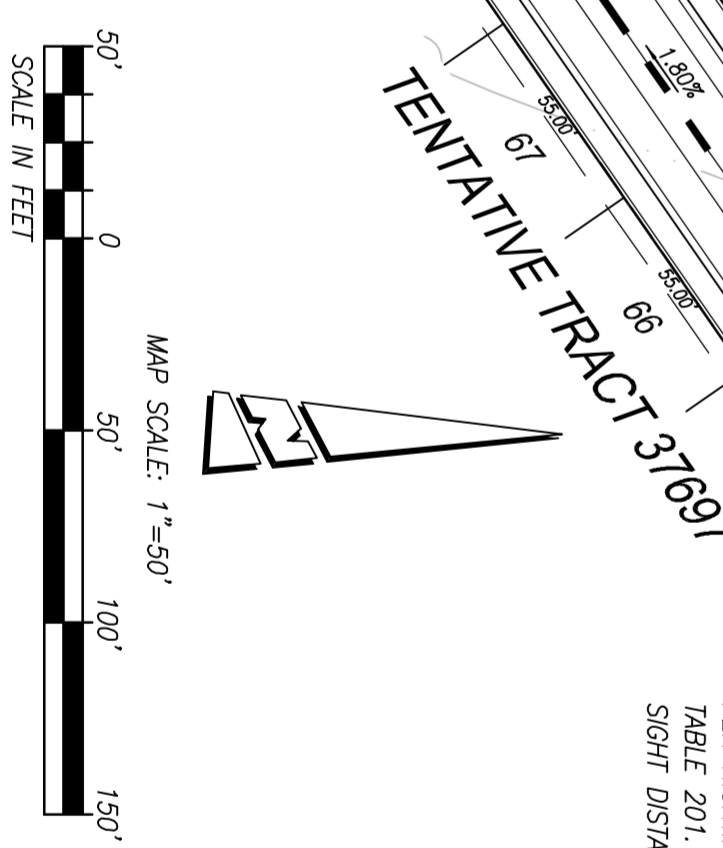


### TYPICAL UTILITY LOCATION

DOMESTIC WATER (SOUTHWEST & WESTERN)  
 SANITARY SEWER (NORTHERLY & EASTERN)  
 STORM DRAIN

### LOT SUMMARY TABLE

| LOT NO. | AREA (SQ) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SQ) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SQ) | DESCRIPTION |
|---------|-----------|------------|------------|---------|-----------|------------|------------|---------|-----------|-------------|
| 1       | 9,122     | 63         | 156        | 36      | 6,807     | 55         | 121        | F       | 6,436     | OPEN SPACE  |
| 2       | 7,522     | 59         | 116        | 37      | 5,623     | 55         | 102        | G       | 11,472    | OPEN SPACE  |
| 3       | 5,978     | 75         | 96         | 38      | 4,961     | 55         | 90         | H       | 21,569    | PARK        |
| 4       | 5,282     | 42         | 104        | 39      | 4,962     | 55         | 90         | I       | 12,565    | PARK        |
| 5       | 7,241     | 55         | 90         | 40      | 6,311     | 55         | 90         | J       | 10,765    | PARK        |
| 6       | 5,796     | 55         | 105        | 41      | 5,304     | 55         | 90         |         |           |             |
| 7       | 5,997     | 55         | 109        | 42      | 4,950     | 52         | 81         |         |           |             |
| 8       | 5,520     | 55         | 100        | 43      | 4,950     | 53         | 81         |         |           |             |
| 9       | 4,950     | 55         | 90         | 44      | 5,458     | 55         | 90         |         |           |             |
| 10      | 5,186     | 55         | 94         | 45      | 5,795     | 55         | 90         |         |           |             |
| 11      | 5,639     | 55         | 103        | 46      | 4,950     | 62         | 90         |         |           |             |
| 12      | 5,404     | 55         | 108        | 47      | 4,950     | 64         | 90         |         |           |             |
| 13      | 4,950     | 55         | 90         | 48      | 5,922     | 60         | 90         |         |           |             |
| 14      | 4,950     | 55         | 90         | 49      | 6,070     | 60         | 90         |         |           |             |
| 15      | 4,950     | 55         | 90         | 50      | 14,497    | 44         | 98         |         |           |             |
| 16      | 4,247     | 55         | 90         | 51      | 14,429    | 49         | 98         |         |           |             |
| 17      | 6,418     | 70         | 90         | 52      | 6,161     | 56         | 98         |         |           |             |
| 18      | 5,138     | 53         | 86         | 54      | 5,510     | 55         | 108        |         |           |             |
| 19      | 6,374     | 53         | 86         | 54      | 5,510     | 55         | 108        |         |           |             |
| 20      | 5,628     | 54         | 92         | 55      | 9,179     | 55         | 118        |         |           |             |
| 21      | 5,128     | 62         | 94         | 56      | 17,172    | 96         | 131        |         |           |             |
| 22      | 5,664     | 60         | 98         | 57      | 11,257    | 91         | 109        |         |           |             |
| 23      | 5,729     | 57         | 91         | 58      | 5,918     | 55         | 107        |         |           |             |
| 24      | 6,841     | 55         | 90         | 59      | 5,779     | 55         | 105        |         |           |             |
| 25      | 5,727     | 55         | 90         | 60      | 5,641     | 55         | 100        |         |           |             |
| 26      | 4,950     | 55         | 90         | 61      | 5,502     | 55         | 99         |         |           |             |
| 27      | 4,950     | 55         | 90         | 62      | 5,363     | 55         | 97         |         |           |             |
| 28      | 4,950     | 55         | 90         |         |           |            |            |         |           |             |
| 29      | 4,950     | 55         | 90         |         |           |            |            |         |           |             |
| 30      | 4,950     | 55         | 90         |         |           |            |            |         |           |             |
| 31      | 5,167     | 55         | 121        |         |           |            |            |         |           |             |
| 32      | 5,746     | 55         | 136        |         |           |            |            |         |           |             |
| 33      | 6,618     | 55         | 130        |         |           |            |            |         |           |             |
| 34      | 11,023    | 80         | 109        |         |           |            |            |         |           |             |
| 35      | 7,151     | 55         | 90         |         |           |            |            |         |           |             |



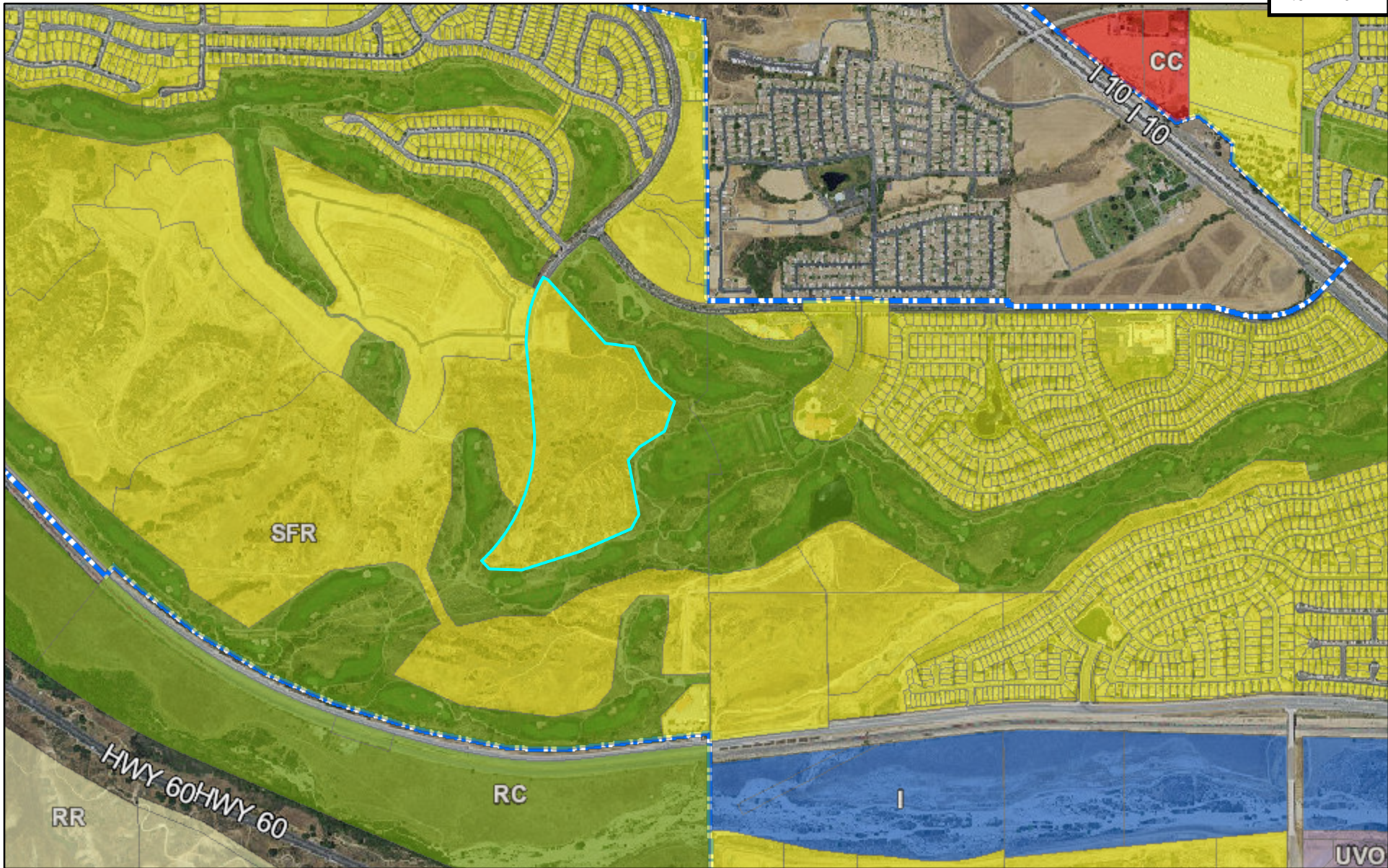
**OWNER/DEVELOPER**  
 SDC Parkway Canyon, LLC  
 a Delaware limited liability company  
 2339 MOORE AVE  
 IRVINE, CA 92614  
 CONTACT: CHERYL THOMPSON

**ENGINEER REPRESENTATIVE**  
 PROSPECTIVE ENGINEERING CONSULTANTS WEST, INC.  
 25109 JEFFERSON AVE, SUITE 200  
 MIRABELA, CA 92502  
 951-260-6840



# TTM37696, 37697 & 37698 General Plan

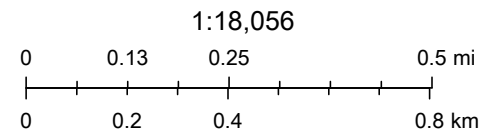
Item No.2.



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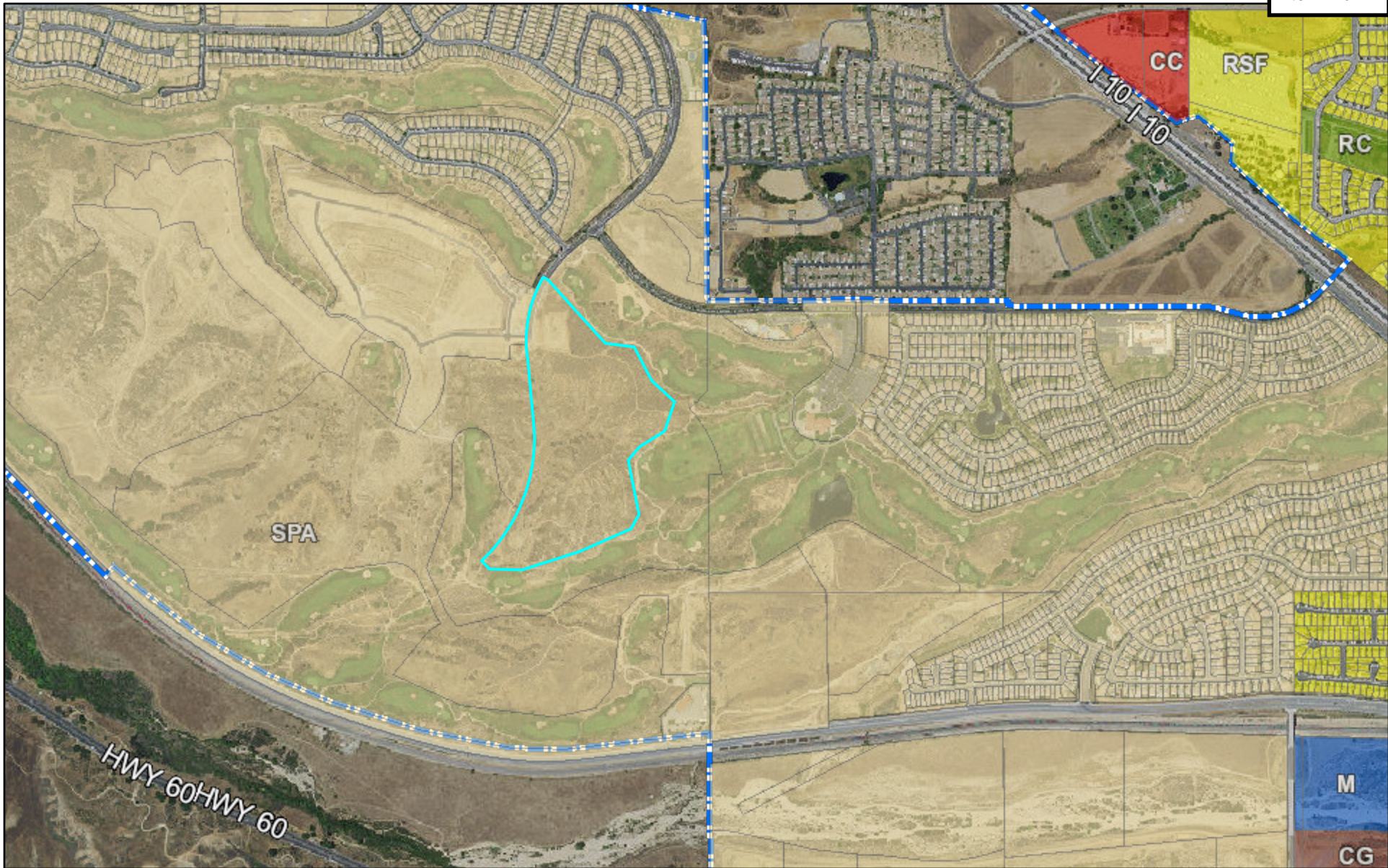
- |                           |                          |                       |                             |
|---------------------------|--------------------------|-----------------------|-----------------------------|
| General Plan              | Multi-Family Residential | Industrial            | Beaumont Avenue Overlay     |
| Rural Residential         | General Commercial       | Commercial Industrial | Public Facilities           |
| Single-Family Residential | Community Commercial     | Urban Village Overlay | Recreation and Conservation |

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# TTM37696, 37697 & 37698 Zoning Map

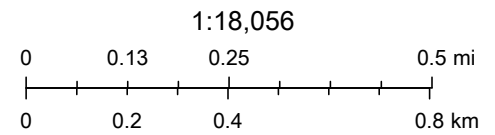
Item No.2.



12/2/2019 3:09:24 PM

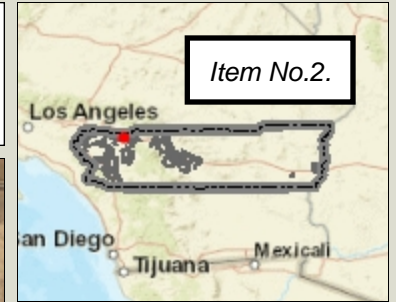
- |                           |                          |                      |                          |
|---------------------------|--------------------------|----------------------|--------------------------|
| Zoning                    | Residential Multi-Family | Commercial Community | Beaumont Avenue Overlay  |
| Rural Residential         | Specific Plan Area       | Commercial Manufactu | General Resource Overlay |
| Residential Single-Family | Commercial General       | Manufacturing        | Public Facilities        |

Page 50



# TTM37696, 37697 & 37698

Aerial Photograph



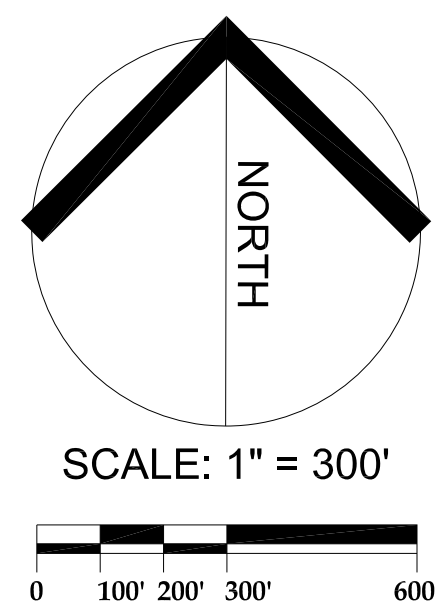
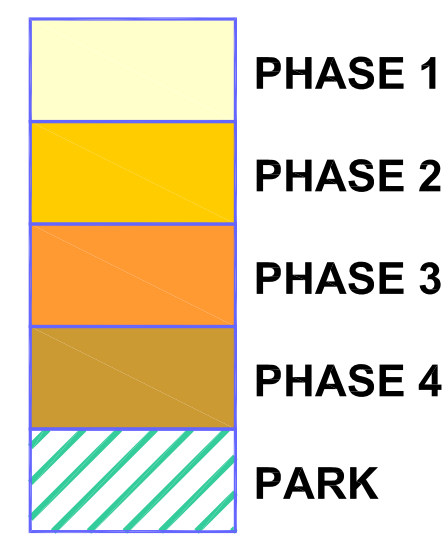
### Legend

- County Centerline Names
- Blueline Streams
- World Street Map



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

### Notes



# Fairway Canyon

## City of Beaumont

# Advertising Order Confirmation

# The Press Enterprise

11/25/19 10:27:41AM

Page 1

Item No.2.

|   |   |  |   |
|---|---|--|---|
| <u>Ad Order Number</u><br>0011339332      | <u>Customer</u><br>BEAUMONT, CITY OF / LEGAL                    | <u>Payor Customer</u><br>BEAUMONT, CITY OF / LEGAL           | <u>PO Number</u>                                |
| <u>Sales Representative</u><br>Nick Eller | <u>Customer Account</u><br>5209298                              | <u>Payor Account</u><br>5209298                              | <u>Ordered By</u><br>Carole Kendrick            |
| <u>Order Taker</u><br>Nick Eller          | <u>Customer Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Payor Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Customer Fax</u>                             |
| <u>Order Source</u><br>Select Source      | <u>Customer Phone</u><br>951-769-8520                           | <u>Payor Phone</u><br>951-769-8520                           | <u>Customer EMail</u><br>finance@beaumontca.gov |
| <u>Current Queue</u><br>Ready             | <u>Invoice Text</u><br>TTM37696                                 |  |   |
| <u>Tear Sheets</u><br>0                   | <u>Affidavits</u><br>0  | <u>Blind Box</u>   | <u>Materials</u>                                |
|   |   | <u>Promo Type</u>  | <u>Special Pricing</u>                          |

|                                   |                             |                               |                                 |                      |                                      |                         |
|-----------------------------------|-----------------------------|-------------------------------|---------------------------------|----------------------|--------------------------------------|-------------------------|
| <u>Ad Number</u><br>0011339332-01 | <u>Ad Size</u><br>3 X 45 Li | <u>Color</u>                  | <u>Production Color</u>         | <u>Ad Attributes</u> | <u>Production Method</u><br>AdBooker | <u>Production Notes</u> |
| <u>External Ad Number</u>         | <u>Pick Up</u>              | <u>Ad Type</u><br>Legal Liner | <u>Released for Publication</u> |                      |                                      |                         |



**LEGAL ADVERTISEMENT**

**NOTICE IS HEREBY GIVEN**, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, December 10, 2019 at 550 East Sixth Street, Beaumont, California.

**Tentative Tract Map 37696 (TM2019-0005)**, Conduct a public hearing and consideration of a request to subdivide 13.02 acres into 62 single family residential lots ranging in size from 4,950 to 17,172 square feet, and nine (9) lettered lots located with Planning Area 25 of the Oak Valley & SCPGA Golf Course Specific Plan (Fairway Canyon). The proposed application is consistent with the Final Environmental Impact Report (FEIR) that was adopted for the underlying project Oak Valley & SCPGA Golf Course Specific Plan (SP318/ EIR418). APN: Portion of 413-790-020

The applicants for this project are **SDC Fairway Canyon LLC**.

The case files, plans, and all supporting documentation for the project can be reviewed at the Beaumont Civic Center, 550 East Sixth Street, Beaumont, California. On public hearings items the public may present testimony to the Planning Commission and City Council either in person or by mail. Written comments will be accepted until the night of the hearing.

Carole Kendrick  
Senior Planner

11/29

|                                      |  |   |                              |                       |
|--------------------------------------|--|---|------------------------------|-----------------------|
| <u>Product</u><br>PE Riverside:South | <u>Requested Placement</u><br>PublicNotice Banning | <u>Requested Position</u><br>City Notices Ban - 1076~ | <u>Run Dates</u><br>11/29/19 | <u># Inserts</u><br>1 |
|--------------------------------------|--|---|------------------------------|-----------------------|



**Staff Report**

**TO:** Mayor, and City Council Members

**FROM:** Carole Kendrick, Senior Planner

**DATE:** February 4, 2020

**SUBJECT:** **Tentative Tract Map No. 37698 (TM2019-0006) for a Request to Subdivide 22.09 Acres into 126 Single Family Residential Lots with a Minimum Lot Size of 3,800 Square Feet and 16 Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Background and Analysis:**

The applicant is requesting approval of a Tentative Tract Map No. 37698 (TM2019-0006) for the subdivision of 22.09 acres into 126 single family residential lots with a 3,800 square minimum lot size and 16 lettered lots. The project site is in the southern portion Planning Area 25 of the Oak Valley Specific Plan commonly referred to as Fairway Canyon. Planning Area 25 is located north of San Timoteo Canyon Road, south of Champions Road and east of the extension of Tukwet Canyon Parkway.

The Oak Valley SCPGA Specific Plan #318 encompassing 1,747.9 acres allowing 4,355 dwelling units was adopted by the County of Riverside on August 14, 2001. The property was annexed into the City of Beaumont on April 9, 2003, by the Local Agency Formation Commission (LAFCO) by LAFCO 2002-43-5. The Oak Valley SCPGA Specific includes the developments of Fairway Canyon and Tournament Hills. The subject property is located within the Fairway Canyon portion of the specific plan.

Fairway Canyon has constructed Phase 1 and 2 of the development and is nearing completion of Phase 3. The subject property is located within Phase 4 of the development and more specifically in Planning Area 25, as shown in Exhibit F.

The project was advertised and noticed for a public hearing with the Planning Commission on December 10, 2019, however the applicant and staff determined that a continuance was necessary in order to allow the parties to meet and discuss modifications to draft conditions of approval. The project team met with City staff on

December 18, 2019, which included representatives from the City Manager’s office, Public Works Department, Planning Department and Fire Department and resulted in modifications to the draft conditions of approval. The modifications included updates to the ownership name, clarification on satisfied conditions, timing of fees and infrastructure requirements.

On January 14, 2020, the Planning Commission conducted the continued public hearing for the proposed subdivision. No members of the public spoke regarding the project and the Planning Commission unanimously voted to forward a recommendation of approval to the City Council.

**Approval Authority:**

The Beaumont Municipal Code, Section 16.04.020 designates the Planning Commission as the “advisory agency” charged with reviewing and making recommendations on all proposed parcel map land divisions and tentative subdivision maps in the City. Section 16.24.050.A authorizes the Planning Commission to conditionally approval or disapprove all tentative parcel maps and tentative subdivision maps and land divisions and submit to the City Council for final approval.

When a tentative map is required under the Subdivision Map Act (66463.5(a)), an approved or conditionally approved tentative map shall expire 24 months after its approval or conditional approval. The Subdivision Map Act does allow for up to four (4) years of extensions subject to approval by the original approving body, however the proposed subdivision is subject to the development agreement (City of Beaumont Resolution No. 1987-34) dated November 18, 2003, which has a term of 25 years (item 7 of the development agreement) and tentative tract maps shall be granted an extension of time for the term of the development agreement (item 33 of the development agreement). Therefore, the expiration date for the proposed subdivision is November 18, 2028.

The project setting can also be seen in the following materials attached to this staff report.



- General plan land use map (Attachment C),
- Zoning map (Attachment D), and
- Aerial photograph (Attachment E).

The 22.09-acre site is currently vacant. The property is located in an area which contains single family residences to the west, vacant land to the south and the Morongo Golf Club at Tukwet Canyon to the north and east of the subject property. The land uses, zoning, and general plan land use designations of the project site and surrounding areas are shown in the following table.

|                     | LAND USE                  | GENERAL PLAN                    | ZONING                         |
|---------------------|---------------------------|---------------------------------|--------------------------------|
| <b>PROJECT SITE</b> | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>NORTH</b>        | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>SOUTH</b>        | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>EAST</b>         | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>WEST</b>         | Single Family Residential | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |



**Analysis:**

The proposed subdivision contains lots that range in size from 3,800 square feet to 13,367 square feet. The density for this subdivision is 5.7 dwelling units per acre. The lettered lots include the interior streets (Lots A through G). Lot H is a 39,902 square foot water quality basin located on the northeast corner of the extension of Tukwet Canyon Parkway and Street “A”. Lot J is a 12,907 square foot basin located adjacent to Tukwet Canyon Parkway and is north of Lot 89 and south of Lot 81. Lots I, K, L, N, O and P are open space lots that include slope areas located along the extension of Tukwet Canyon Parkway and along several rear yards of the proposed subdivision. A 7,512 square park is proposed on Lot M on the corner where Street “A” and Street “B” intersect, in the southeast portion of the proposed subdivision. Streets A through G are proposed to be dedicated to the City and Lots H through P will be dedicated to the homeowner’s association for future maintenance.

Primary access to the subdivision is proposed as an extension of Tukwet Canyon Road. The proposed lots will front onto internal streets within the subdivision.

The subject property drains from the northeast to the southwest and will discharge into the Lot “J” basin and Lot “H” water quality basin located along the east side of Tukwet Canyon Road.

The subject property is zoned Specific Plan (SPA). The proposed subdivision would be subject to various development standards in terms of lot width and depth as defined in the Oak Valley SCPGA Specific Plan. Staff has reviewed the proposed subdivision and determined that it complies with the minimum development standards of the Planning Area 25 of the Oak Valley SCPGA Specific Plan Section III.B.28. The table below summarizes the required development standards.

| <b>DEVELOPMENT STANDARDS</b>       | <b>REQUIRED</b> | <b>PROPOSED MINIMUM</b> | <b>PROPOSED AVERAGE</b> |
|------------------------------------|-----------------|-------------------------|-------------------------|
| <b>Minimum Net Lot Area</b>        | 3,800 sq. ft.   | 3,800 sq. ft.           | 5,030 sq. ft.           |
| <b>Maximum Density</b>             | 12.0 du/ac      | 5.7 du/ac               | 5.7 du/ac               |
| <b>Minimum Lot Width (Average)</b> | 40 ft.          | 46 ft.                  | 51 ft.                  |
| <b>Minimum Lot Depth (Average)</b> | 100 ft.         | 80 ft.                  | 101 ft.                 |

**Residential Design & Landscaping Standards:**

If approved, the applicant will be required to submit a minor plot plan application for review of architecture for all buildings with enhancements (shutters, flower boxes, stone veneer, etc.) and provide for trim around all openings. With regard to project landscaping under this proposal, the applicant will be required to adhere to standards set forth under the Guide to California Friendly Landscaping, as well as the City’s landscaping ordinance that requires water efficient landscaping. Separate landscaping plans will be required as part of the conditions of approval by the applicant for staff review of all front-yard, slopes in excess of three feet, and open-space areas.

**Public Notice and Communications:**

Property owners located within a 300-foot radius of the project site were notified of the Planning Commission public hearing on November 29, 2019, with a 10-day hearing notice in addition to a public notice in the Press Enterprise newspaper (see Attachment G). The Planning Department has not received any letters of comment from the public as of the writing of this report.

**CEQA Review:**

From the standpoint of the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) was prepared and certified in 2001 for the Oak Valley SPCGA Specific Plan (Specific Plan No. 318) (SCH# 2000051126), with the latest addendum of the EIR approved by City Council in 2014 (13-EIR-03), assessing the environmental impacts of the overall project and subsequent implementation steps, including subdivision of the site. The EIR and the findings made by the City Council remain pertinent and adequate for use for current application. Execution of this subdivision will require adherence to the mitigation monitoring program established for the project.

**Incorporated herein by Reference:**

- City of Beaumont General Plan,
- City of Beaumont Zoning Ordinance,
- Project Site’s Riverside Conservation Authority Multi-Species Habitat Conservation Plan Informational Map, and
- Contents of City of Beaumont Planning Department Project File Tentative Tract Map No. 37696 (TM2019-0005), Tentative Tract Map No. 37698 (TM2019-0006), Tentative Tract Map No. 37697 (TM2019-0007), Tentative Parcel Map No. 37366

(PW2019-0387), LAFCO 2002-43-5, 02-ANX-02, Development Agreement dated November 18, 2003, Oak Valley SPCGA Specific Plan 318 and Environmental Impact Report 418.

**Recommended Action:**

Approve Tentative Tract Map No. 37698 (TM2019-0006) subject to the Development Agreement and the attached conditions of approval.

**Attachments:**

- A. Draft Conditions of Approval
- B. Tentative Tract Map No. 37698
- C. General Plan Land Use Designation Map
- D. Zoning Map
- E. Aerial Photograph
- F. Fairway Canyon Phasing Map
- G. Proof of Publication



**CITY OF BEAUMONT  
PLANNING DEPARTMENT  
CONDITIONS OF APPROVAL**

**TENTATIVE TRACT MAP NO. 37698 (TM2019-0006)**

**APN: PORTION OF 413-790-020**

**Planning Commission  
Recommendation:  
1.14.20  
City Council Approval:  
DRAFT**

**TO SUBDIVIDE 22.09 ACRES INTO 126 SINGLE FAMILY**

**RESIDENTIAL LOTS WITH A MINIMUM LOT SIZE OF 3,800 SQUARE FEET, AND 16 LOTS WITH A PARK SITE, BASINS AND LANDSCAPING LOCATED WITHIN PLANNING AREA 25 OF THE OAK VALLEY SPECIFIC PLAN.**

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

**STANDARD CONDITIONS**

The following conditions of approval are for Tentative Tract Map No. 37698 and consist of all subsequent conditions and all conditions of approval for the Oak Valley Specific Plan (SP No. 318) and the Mitigation Monitoring and Reporting Plan.

1. The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning TENTATIVE TRACT MAP NO. 37698 and the Environmental Impact Report certified by the Beaumont City Council in conjunction with the SCGPA Golf Course at Oak Valley Specific Plan, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont
  
2. The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.

3. This conditionally approved tentative map will expire on November 18, 2028 per 3.3 of the Development Agreement between the City of Beaumont and SDC Fairway Canyon LLC, a Delaware limited liability company. Action on a minor change and/or revised map request will not extend the time limits of the tentative map. Approval of the final map by the City Council is required.
  
4. If required by the Planning Department, within ten (10) days of approval by the City Council ten (10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Department prior to release of the final conditions of approval.
  
5. Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal.
  
6. The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Department.
  
7. The properties contained within Tentative Tract Map 37698 are part of the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, approved originally by the Beaumont City Council on November 5, 2002 and later amended in 2004, 2005, and 2014. The provisions and criteria of the SCPAGA Golf Course at Oak Valley Specific Plan shall control and guide the development of Tentative Tract Map 37698.
  
8. An Environmental Impact Report EIR was prepared and certified for the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, Addendum(s) were prepared for the subsequent amendment and a series of mitigation measures were adopted by the City Council to mitigate the potential impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Tract No. 37698.
  
9. Execution of the project will necessitate the conducting of mitigation monitoring by the City to ensure that all the mitigation measures set forth in the Environmental Impact Report and Addendum are systematically implemented. The subdivider shall fund the mitigation monitoring requirements by paying an amount equal to the City's actual contracting cost for such services, plus a 20 percent administrative charge.

Draft Tentative Tract Map No. 37698 (TM2019-0006)  
Conditions of Approval  
Page 3

- 10. Tentative Tract No. 37698 has been found to be substantially in conformance with the Oak Valley PGA Specific Plan.
- 11. The approval of this map shall not result in any vesting provisions relative to City of Beaumont fees and exactions. The provisions of the Development Agreement shall prevail in all cases.

**BUILDING DEPARTMENT CONDITIONS**

- 12. It shall be unlawful for any person to engage in or permit the generation of noise related to landscape maintenance, construction including erection, excavation, demolition, alteration or repair of any structure or improvement, at such sound levels, as measured at the property line of the nearest adjacent occupied property, as to be in excess of the sound levels permitted under Chapter 9 of the Municipal Code, at other times than between the hours of 7:00 a.m. and 6:00 p.m. The person engaged in such activity is hereby permitted to exceed sound levels otherwise set forth in this Chapter for the duration of the activity during the above described hours for purposes of construction. However, nothing contained herein shall permit any person to cause sound levels to at any time exceed 55 dB(A) for intervals of more than 15 minutes per hour as measured in the interior of the nearest occupied residence or school.

**FIRE DEPARTMENT CONDITIONS**

- 13. Underground fire line plans shall be submitted to the fire department, for review and approval for fire hydrant spacing and type prior to signing Mylar's.
- 14. Provide a title block on the set of Mylar's saying, 'Riverside County Fire Department'.
- 15. All residential homes shall have fire sprinklers. Plans shall be submitted to the fire department for review and approval prior to installation.
- 16. More than one road is required if it is determined that access by a single road may be insufficient due to terrain, location, travel distance, potential fire or life safety hazards, or other factors that could limit access or if vehicle congestion, or weather conditions could impair access points. CFC 2013.
- 17. Supplementary access points shall be located to facilitate evacuation and emergency operations and minimize congestion or obstruction during an emergency incident.

- 18. Industry standards: A minimum of two vehicle access points is required for any development containing 150 or more residential units.
- 19. The fire code official shall be the only authority authorized to designate fire apparatus access roads and fire lanes and to modify the minimum fire lane access widths for fire or rescue operations.” RVC Ord-787.7
- 20. The fire code official has reviewed the revisions for this project, and shall require additional access points, and to provide main street artery’s for emergency vehicle ingress and egress. This will help support an evacuation during an emergency operation and would be required to help emergency vehicle faster response times.
- 21. Due to the number of residential homes that are being built within the project, a fire station is needed in this area. The payment of the fire station impact fee shall meet the requirements of this condition. Community Facilities District No. 93-1 dated November 2, 2004 includes Exhibit E – Fee Credit Table that indicates that Fire Station – Critical and Joint Facilities fees were paid for 3,387.28 dwelling units at a rate of \$181.00 per dwelling unit for a total of \$613,097.68, therefore the condition has been satisfied.

**STANDARD CONDITIONS:**

With respect to the conditions of approval for the referenced project, the Fire Department recommends the following fire protection measures be provided in accordance with City of Beaumont/Riverside County Ordinances and/or recognize fire protection standards:

- 22. FIRE FINAL - and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code, California Fire Code, and other related codes which are in force at the time of building plan submittal.
- 23. FIRE FLOW REQUIREMENTS - The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B, Table B105.1. The applicant/developer shall provide documentation to show that a water system exists and is capable of delivering 1,000 GPM for 2 hour(s) for duration at 20-PSI residual operating pressure must be available before any combustible material is placed on the job site. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. California Fire Code 2010.

- 24. SUPER FIRE HYDRANTS - Industrial, Commercial, Multi-family, Apartment, Condominium, Townhouse or Mobile Home Parks. A combination of on-site and off-site super fire hydrants (6" x 4" x 2 – 2 1/2") shall be located not less than 25 feet or more than 200 feet from any portion of the building as measured along approved emergency vehicular travel ways, and spaced no more than the required spacing per Appendix C, table C105.1 in feet apart in any direction. The fire flow shall be available from any adjacent fire hydrant(s) in the system. CFC Chapter 5, section 503.1.1 and Appendix B table – B105.1.
- 25. ALL WEATHER ACCESS ROAD - Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved fire department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. Road shall be provided prior to construction, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. CFC Chapter 5, section 503.2.3.
- 26. 24 FOOT WIDTH, 15 FOOT VERTICAL - Prior to construction and issuance of building permits, fire apparatus access roads shall have an unobstructed width of not less than 24 feet or as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less than 15 feet. CFC Chapter 5, section 503.2.1 & RVC Fire Ordinance 787.6.
- 27. 15 % GRADE - Prior to construction, all roads, driveways and private roads shall not exceed 15 percent grade. Add: Grade transitions shall not exceed Riverside County Fire Department apparatus maximum approach and departure angles as determined by the Fire Chief. RVC Fire Ordinance # 787.6 CFC Chapter 5, section 503.2.7.
- 28. PHASING - If construction is phased, each phase shall provide an approved emergency vehicular access for fire protection prior to any building construction. CFC Chapter 5, section 501.4.
- 29. DEAD ENDS - Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. CFC Chapter 5, section 503.2.5.
- 30. U/G WATER PLANS - Prior to issuance of permits, the applicant/developer shall furnish (3) copies of the water system plans to the Fire Prevention Bureau for review. Plans shall be in accordance with Appendix B and Appendix C and section 508.1 of the CFC 2010:
  - Signed by a registered civil engineer or certified fire protection engineer.
  - Contain a Fire Prevention Bureau approval signature block.



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- Conform to hydrant type, location, spacing of new and existing hydrants, and a minimum fire flow required as determined by the Fire Prevention Bureau.
  - The post indicator valve and fire department connection shall be located to the front access side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access, and within 200 feet of an approved fire hydrant, and within 50 of an approved roadway or driveway or otherwise approved by the Fire Chief.
  - Guard posts or other approved means may be required to protect fire department inlet connections from vehicular damage. RVC Fire Ordinance 787.6 section 912.2.1.
  - After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants shall be installed, and made serviceable prior to and during the time of construction, and accepted by the City of Beaumont Fire Prevention Bureau. CFC Chapter 5, 508, and the National Fire Protection Association 24 sec 1-4.1.
  - Existing fire hydrants on public streets are allowed to be available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC, Appendix A, & B and NFPA 24 section 1-4.1.
31. **BLUE DOT REFLECTOR** - Prior to issuance of Certificate of Occupancy or building final, "Blue Reflective Markers" shall be installed on private streets, public streets, and driveways to identify fire hydrant locations in accordance with City & RVC Fire Ordinance 787.6 specifications.
32. **RESIDENTIAL NUMBERS** - Prior to issuance of Certificate of Occupancy or building final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numerals shall be not less than four (4) inches in height. CFC Chapter 5, section 505.1.
33. **ROOFING** - Prior to Certificate of Occupancy or building final, all structures shall have fire retardant roofing materials (Class A & B roofs) as described in section 1504 of the CBC.
34. **PAVED ACCESS**- - Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards.
35. **ANGLE APPROACH** - The angle of approach and departure for any means of Fire Department access shall not exceed 1-foot drop in 20 feet, and the design limitations of

the fire apparatus of the fire department shall be subject to approval by the AHJ. CFC Chapter 5, section 503.2.7.

- 36. FIRE SPRINKLERS - Prior to issuance of Certificate of Occupancy or building final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans (3) sets shall be submitted to the Fire Prevention Bureau for approval prior to installation. No person shall remove or modify any fire protection system installed or maintained under the provisions of the California Fire Code without the approval by the Fire Chief. A Licensed C-16 contractor shall do all the work and/or certification. CFC Chapter 9, section 901.3.1, 903.1 & CBC Chapter 9, section 903.1.1.
- 37. SAFETY PRECAUTIONS - Approval of the safety precautions for buildings being constructed, altered or demolished shall be required by the Fire Chief in addition to other approvals for specific operations or processes associated with such construction, alteration or demolition. Structure, facilities and conditions which in the opinion of the fire code official, constitute a distinct hazard to life or property. The fire code official is authorized to order the posting of signs in a conspicuous location in each structure. The posting of signs shall not be obscured, removed, defaced, mutilated, or destroyed.
- 38. FIRE DEPARTMENT INSPECTION APPROVAL - Construction or work for which the Fire Prevention Bureau's approval is required shall be subject to inspection by the Fire Chief and such construction or work shall remain accessible and exposed for inspection purposes until approved.
- 39. AUTHORITY TO INSPECT - The Fire Prevention Bureau shall maintain the authority to inspect as often as necessary for buildings and premises, including such other hazards or appliances designated by the Fire Chief for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this code and of any other law or standard affecting fire safety.
- 40. ALTERATIONS - Any alterations, demolitions, or change in design, occupancy and use of buildings or site will require plan submittal to the Fire Prevention Bureau with review and approval prior to installation.
- 41. MEDIAN CROSSOVERS - Prior to Certificate of Occupancy all locations where medians are constructed and prohibit vehicular ingress/egress into or away from the site, provisions must be made to construct a median-crossover at all locations determined by the Fire Chief and the Public Works Director. Prior to the construction, design plans will be submitted for review and approval by the Public Works Director.

- 42. GATES – All exterior security/emergency access gates shall be electronically operated and be provided with a Knox key switch for access by emergency personnel, that includes the Police Department's "E" key. Contact Beaumont Police Department at 951-769-8500 for any questions. Gate entrances shall be at least two feet wider than the width of the traffic lane (s) serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 40-foot turning radius will be required. CFC Chapter 5, section 503.6.
- 43. KNOX SWITCH - Gate (s) shall be opened by a Fire Department Knox Switch, and all gates shall be a minimum of 24 feet in width. Automatic gates shall be equipped with emergency backup power.
- 44. MULTI-FAMILY RESIDENCE - Prior to issuance of Certificate of Occupancy or building final, all multi-family residences shall display the address in a visible location on the street side of the building and shall be clearly distinguishable from the fire apparatus access road. The building numerals shall be a minimum of twelve (12) inches in height and individual dwelling units shall be not less than four (4) inches in height and shall contrast with their background. The address shall be illuminated as approved by the Fire Department. CFC Chapter 5, section 505.1 & RVC Ordinance 787.7.
- 45. SINGLE FAMILY DWELLINGS - Approved fire prevention standard fire hydrants (6" x 4" x 2 – 2 1/2") shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a fire hydrant. Minimum fire flow shall be 1,000 GPM for 2 hours at 20 PSI. Fire flow and flow duration for dwellings in excess of 3,600 square feet shall not be less than that specified in Appendix B, Table B 105.1, RVC 787.7 & CFC Chapter 5, and Appendix C, Table C 105.1.
- 46. ACCESS/ROAD LENGTH - No cul-de-sac or dead-end road length shall exceed one thousand three hundred-twenty (1,320) feet in length. In any hazard fire area of Riverside County, no dead-end or cul-de-sac road shall exceed six hundred-sixty (660) feet in length. The Fire Chief based on city street standards shall determine minimum turning radius for fire apparatus based upon fire apparatus manufacture specifications. Riverside County Ordinance 787.7, CFC Chapter 5, section 503.2.5.
- 47. BUILDING OPENINGS - Access to building openings and roofs shall be maintained readily accessible for emergency access by the fire department. Finished grade to be flat and accessible on all sides of the building were ground ladder access is the only means to

reach the highest point on the building from the exterior. Obstructions will not be placed as to interfere with ground ladder placement. CFC Chapter 5, section 504.1 & RVC Ordinance 787.7.

**AGENCY CONDITIONS**

- 48. The subdivider shall comply with the requirements set forth in the City Public Works Department conditions.
- 49. The subdivider shall comply with the requirements of the Beaumont Police Department.
- 50. The subdivider shall comply with the requirements of the Beaumont Fire Department.
- 51. The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 52. The subdivider shall comply with the requirements of the Southern California Gas Company.
- 53. The subdivider shall comply with the requirements as set forth by the Beaumont Unified School District.

**RECORDATION CONDITIONS**

Prior to the RECORDATION of any final map, all the following conditions shall be satisfied:

- 54. The subdivider shall submit written clearances to the Public Works Department that all pertinent requirements from the following agencies have been met:

City Fire Department  
 City Police Department  
 City Planning Department  
 Beaumont Cherry Valley Water District  
 Beaumont Unified School District

- 55. All public street road easements shall be offered for dedication to the public and shall continue in force until the governing body accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the Public Works Department. Street names shall be subject to the approval of the Building Official. The final street sections, configurations and improvements shall be subject to the approval of the Public Works Department.

- 56. All delinquent property taxes, special taxes and assessments shall be paid to the Riverside County Tax Collectors Office.
  
- 57. Lots created by this subdivision shall comply with the following:
  - a. Lots created by this subdivision shall be in conformance with the development standards of the Oak Valley PGA Specific Plan.
  - b. All sewer, storm drain and other public utility crossings in side and rear yards to be located in fee title lots and not easements.
  
- 58. No lots fronting on knuckles, or cul-de-sacs shall have less than twenty-five (25) feet of frontage measured at the property line, with the exception of flag lots as approved by the Planning Department.
  
- 59. This subdivision may be recorded in phases subject to the following:
  - a. Phasing, including phase boundaries and sequencing, shall be subject to Planning Department approval.
  - b. Common open space area improvement phasing shall be required subject to Planning Department approval.
  
- 60. Consistent with City standards and the Beaumont General Plan, the subdivider is obligated to provide fully improved park space at a ratio of 5 acres per 1,000 population. Said conditions of approval require of park improvements and/or fees, and these requirements shall be applicable as set forth in the conditions of approval for the Oak Valley PGA Specific Plan.
  
- 61. The maintenance and management of common open space areas and common facilities shall be conducted as set forth herein and approved by the Planning Department. All provisions of said condition shall be satisfied prior to map recordation.
  
- 62. The subdivider shall be responsible for the provision of a fair share of the necessary roadway, water, sewer and drainage facilities for the orderly implementation of the Oak Valley PGA Specific Plan and the existing master plans for these facilities. Prior to recordation, the subdivider shall work with the City and the Public Works Department to establish the necessary financing and implementation measures to ensure the provision of a fair share of such necessary facilities or provide documentation that this has been

satisfied per the Development Agreement dated November 18, 2003 (Resolution No. 1987-34) between the City of Beaumont and LB/L—Suncal Oak Valley LLC which is was assumed by SDC Fairway Canyon, LLC, a Delaware limited liability company on June 1, 2012 via Document# 2012-0253906 and Community Facilities District (CFD) 93-1 dated November 2, 2004.

- 63. Prior to recordation of the final map, the applicant shall remove the minimum setback notes from the map.

**GRADING CONDITIONS**

- 64. Detailed landscaping and irrigation plans shall be submitted to and approved by the Planning Department for the phase of development in process. The plans shall address all areas and aspects of the tract requiring landscaping and irrigation to be installed including, but not limited to, parkway planting, recreation trails, street trees, slope planting, common area and/or park landscaping. The plans shall be certified by a landscape architect, and shall provide for the following:
  - a. Permanent automatic irrigation systems shall be installed on all landscaped areas requiring irrigation. Low water use systems shall be specified.
  - b. Landscape screening where required shall be designed to be opaque up to a minimum height of six (6) feet at maturity.
  - c. All utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments, as approved by the Planning Department. Utilities shall be placed underground wherever feasible.
  - d. Landscaping plans shall incorporate the use of specimen accent trees (24" box minimum) at key visual focal points within the project.
  - e. Landscaping plans shall incorporate native, low water using and drought tolerant plants where appropriate. All Landscaping shall be in compliance with Beaumont Municipal Code Chapter 17.06.
  - f. All specimen trees on the subject property shall be shown on grading plans. Trees intended for retention and/or removal shall be so noted on the project grading plans. Replacement trees for those to be removed shall also be shown on the project grading plans.

- g. All trees shall be minimum double-staked. Weaker and/or slow-growing trees shall be steel-staked.
  - h. trees proposed within 10 feet of any Right-of-Way shall provide for a 36” deep root barrier.
65. Three (3) sets of detailed landscaping and irrigation plans shall be submitted pursuant to the Conditions of Approval with the applicable processing fee.
66. Driveways shall be designed so as not to exceed a fifteen (15) percent grade.
67. A qualified paleontologist shall be retained by the subdivider for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist, the City Public Works Department and the grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and details of the fossil recovery plan if recovery was deemed necessary.

**BUILDING CONDITIONS**

Prior to the issuance of BUILDING PERMITS, all the following conditions shall be satisfied:

68. The subdivider shall submit written clearances to the Planning Department that all pertinent requirements from the following agencies have been met:
- City Public Works Department
  - Beaumont Unified School District
  - Beaumont-Cherry Valley Water District
  - Beaumont Fire Protection Department
  - Beaumont Planning Department
69. Prior to the merchant builder submittal of architectural building plans and wall and fence plans to the Planning Department, an acoustical study shall be performed by an acoustical engineer to establish appropriate mitigation measures that shall be applied to individual dwelling units within the subdivision to reduce ambient interior noise levels to 45 Ldn. The study shall be submitted to the Planning Department for review with review fee as set in the Fee Schedule or at actual hourly cost and the approved recommendations shall be incorporated into the architectural building plans and wall and fence plans.

- 70. A detailed wall and fencing plan shall be submitted to and approved by the Planning Department & Public Works Department and shall show all project walls and fencing including but not limited to perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical elevation of all walls and fences shall be shown on the wall and fencing plan. Decorative block walls shall be constructed along all side or other yards adjacent to streets, or which are plainly visible, and in locations as may be required by the Planning Department.
- 71. Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with Planning Department approval.
- 72. Building separation between all buildings shall not be less than as set forth in the California Building Code.
- 73. All street side yard setbacks shall be a minimum of ten (10) feet.
- 74. All front yards shall be provided with landscaping and automatic irrigation systems and adhere to Municipal Code Chapter 17.06 Landscaping Standards, as approved by the Planning Department. Additionally, all front yard landscaping shall be installed with drought tolerant landscaping.
- 75. No wood fencing is permitted in this development. All fencing materials shall be masonry, vinyl or tubular steel, as approved by the Planning Department.
- 76. All utility connections and easements shall be placed underground and shall not encroach into the driveway area unless otherwise approved by the Public Works Department.
- 77. A minor plot plan for all residential buildings, garages and accessory buildings for residential products shall be submitted to the Planning Department accompanied by applicable filing fees for a minor plot plan not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the City of Beaumont. The minor plot plan shall be subject to the approval of Planning Department and shall contain the following elements:
  - a. A final site plan (1"=30' minimum scale precise grading plan) showing all lots, building footprints, setbacks, walls, fencing, the floor plan and elevations of individual lots.
  - b. One (1) color and materials sample board containing precise color texture and material swatches or photographs (which may be from supplier's brochures). Indicate on the



- sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers when feasible (trade names also acceptable).
- c. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations. All residential structures shall be provided with “four-sided” architectural features. With respect to residential structures, this may take the form of edge trim on all exterior doors or windows, or other methods as approved by the Planning Department. Enhanced or upgraded rear and side facing architectural features shall be included for dwelling units adjacent to and visible from parks, walkways, and public roadways.
  - d. Detailed wall and fencing plan for the subdivision, including colors, materials and location details.
  - e. Five (5) sets of photographic or color laser prints (8 X 10 in.) of the sample board and colored elevations shall be submitted for permanent filing.
78. All residential units shall be served by a minimum of two access points at all times, for proper circulation and emergency vehicle ingress and egress, as approved by the Fire Department.
79. Street Improvement Plans shall be prepared to the satisfaction of the Public Works Department. Additionally, Street Lighting plans in accordance with the City of Beaumont Outdoor Lighting ordinance shall be submitted in conjunction with the Street Improvement Plans. Street Lights shall be reviewed and approved by the Planning and Building Department with appropriate fees paid. All Mailbox clusters shall have appropriate lighting as approved by the City.
80. No side-entry garages shall be proposed for this subdivision.

**FINAL INSPECTION/OCCUPANCY CONDITIONS**

Prior to the FINAL BUILDING INSPECTION or issuance of OCCUPANCY PERMITS, whichever occurs first, all the following conditions shall be satisfied:

- 81. Decorative block and sound walls shall be constructed subject to the approval of the Public Works Department and Planning Department. A graffiti resistant coating or landscaping shall be provided on all block walls.

- 82. Wall and fence locations shall conform to the approved wall fencing plan and approved landscape and irrigation plans.
- 83. All landscaping and irrigation shall be installed in accordance with approved plans. If the seasonal conditions do not permit planting, interim landscaping, and erosion control measures shall be utilized as approved by the Planning Department and the Public Works Department.
- 84. A licensed landscape architect shall provide a Compliance Letter to the Planning Department and the Public Works Department stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans, Municipal Code and conditions of approval. The Compliance Letter shall be submitted at least three (3) working days prior to any final building inspection or issuance of any occupancy permits, whichever occurs first.
- 85. All landscaping and irrigation shall be installed in accordance with approved plans and shall be verified by a City field inspection and applicable fees paid at the direction of the Planning Department.
- 86. All driveways shall be concrete paved.
- 87. Access roads, street improvements, all agency requirements, parking areas and security lighting shall be constructed in accordance with approved improvement plans and specifications.
- 88. Clearance shall be obtained from the Beaumont Fire Department, and all fire protection improvements shall be in place as approved by the Fire Chief.

**PUBLIC WORKS CONDITIONS**

**GENERAL**

The following is a non-inclusive list of items that may be required by the Public Works Department:

- A. Plans:
  - Recorded Parcel Map 37366
  - Final Map

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- Street Improvement Plan
- Street Light Plan
- Landscape Plan offsite
- Rough Grading Plan
- Precise Grading Plan
- Erosion Control Plan
- Retaining wall Plan (for line and grade only)
- Sewer Improvement Plan
- Sewer Lift Station and Forced Main Plan
- BCVWD Water Improvement Plan
- Storm drain Improvement Plans
- Traffic Control Plan

B. Reports & Studies:

- Traffic Impact Analysis (TIA)- TIA used for EIR is acceptable
- Soils Investigation Report
- Pad Certification
- Stormwater Pollution Prevention Plan (SWPPP)
- Hydrology and Hydraulics Report
- Preliminary Water Quality Management Plan (P-WQMP)- (P-WQMP submitted and approved)
- Final Water Quality Management Plan (F-WQMP)
- Offsite Improvement Engineer's Cost Estimate (ECE)

C. Permits and agreements:

- CWA Section 401 Certification to Protect Wetlands (401 Certification)
- CWA Section 404 Permit (404 Permit)
- Fish and Game Code section 1602 (Streambed Alteration Agreement)
- Permission to Grade and Construction agreements
- WQMP Covenant and Agreement
- City Grading Permit
- City Dirt Haul Permit
- City Encroachment Permit
- County Encroachment Permit

- Subdivision Improvement Agreement
  - Performance Bond
  - Labor & Material Bond
  - Survey Monument Bond
  - Maintenance Bond
  - Homeowners Association Covenants, Conditions and Restrictions (CC&Rs)
89. The design of public infrastructure elements shall conform to the requirements of the City’s General Plan, Water Quality Management Plan, Master Plans, City of Beaumont Standards, Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification, Caltrans Standard Specifications and the Standard Specifications for Public Works Construction, current edition.
90. The design of private site improvements and grading work outside of road right of way shall conform to the latest edition of California Building Code (CBC) and the City of Beaumont standards and practices.
91. All required plans and studies shall be prepared by a Registered Professional Engineer, Registered Professional Geologist or Registered Professional Surveyor in the State of California, and submitted to the Public Works Department for review and approval.
92. Applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
93. The Applicant is responsible for resolving any conflicts with existing or proposed easements. All easement(s) of record and proposed easements shall be shown on the final map, grading plan and improvement plans, where applicable.
94. The Applicant shall obtain an Encroachment Permit, as required from the appropriate agency, for all work within the public right-of-way.
95. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
96. Projects with multiple phases shall submit a plan clearly showing the public improvements to be constructed with each phase of the project. Public improvements identified shall be constructed to the satisfaction of the Public Works Director prior to issuance of the 1st certificate of occupancy (COO) for that phase.

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- 97. The Applicant shall submit a copy of Covenants, Conditions and Restrictions (CC&Rs) to the city for conformance review. The CC&Rs shall be enforceable by the Homeowners Association (HOA), shall not be amended without City approval, shall require maintenance of all property in a good condition, and be in accordance with all City Ordinances.
- 98. The HOA shall be responsible for operating and maintaining all stormwater basins, water quality basins, parkway landscaping and private open space constructed as part of this project, unless otherwise approved by the Planning and Public Works Department.

**MAPPING**

- 99. PRIOR TO OBTAINING ANY BUILDING PERMIT: The final map must be recorded.
- 100. PRIOR TO MAP RECORDATION: Parcel Map No. 37366 shall be approved and recorded.
- 101. PRIOR TO MAP RECORDATION: the following plans shall be approved by the City and applicable agencies:
  - A. Street Improvement Plan
  - B. Signing and Striping Plan
  - C. Street Light Plan
  - D. Storm Drain Improvement Plan
  - E. Final WQMP
  - F. Sewer Improvement Plan
  - G. Lift Station Improvement Plan
  - H. Force Main Improvement Plan
  - I. Water Improvement Plan
- 102. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare the map in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification; Riverside County Ordinance 460; and RCTD Map Preparation Manual.

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- 103. PRIOR TO FINAL MAP RECORDATION: The applicant shall pay all applicable fees consisting of, but not be limited to, area drainage fee; bridge and major thoroughfare fees. Per the Municipal Code, certain fees may be delayed to building permit issuance.
- 104. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare and fully execute a Subdivision Improvement Agreement (SIA) with the City (On City approved format and forms). If the final map and/or improvements will be phased, an SIA will be required for each phase.
- 105. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide securities guaranteeing the payment of the cost for all public improvements. The securities shall include Faithful Performance and labor and materials for 100% of the approved Engineer’s Cost Estimate (ECE).
- 106. PRIOR TO FINAL MAP RECORDATION: The Applicant shall comply with Government Code Section 66436(a)(3) before approval of the final map and shall provide “no objection” letters from all public entities or utilities.
- 107. PRIOR TO FINAL MAP RECORDATION: When changes to an approved Tentative Map are proposed, a Substantial Compliance Exhibit, in the same scale as the Tentative Map, shall be submitted for review and approval by the Public Works Director.
- 108. PRIOR TO FINAL MAP RECORDATION: Monuments shall be provided in accordance with Section 8771 of the Business and Professions Code. Cross-ties shall be set in top of curbs and tie sheets shall be submitted to the Public Works Department. Per the Subdivision Map Act, Section 66496, internal monuments may be set at a later date if the applicant furnishes security guaranteeing the payment of the cost of setting such monuments.
- 109. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide an easement to, over and across all private water quality, stormwater and drainage basins, to be dedicated to the City, for ingress, egress and right to inspect. The City will not maintain any basin unless expressly stated in writing by the Public Works Director.
- 110. PRIOR TO FINAL MAP RECORDATION: The applicant shall show all right-of-way dedications necessary for the construction of all streets, on the Final Map, including but not limited to:
  - A. All interior streets, as shown on Tentative Map No. 37698 dated October 2019, show a full-width dimension of 50-foot right-of-way to right-of-way (50-foot R/W width). The

- interior streets are based on the adopted Specific Plan and not a City standard. Therefore, the applicant shall be conditioned to construct the typical sections as shown on said tentative map and adopted Specific Plan. The Applicant shall verify that the appropriate right-of-way exist and/or the Applicant shall dedicate all additional right-of-way necessary to achieve the required 50-foot full-width.
- B. The applicant shall dedicate on the final map, a five foot (5') public utility easement (PUE) coincident with the interior right-of-way, each side of a typical street.
111. PRIOR TO FINAL MAP RECORDATION: The right-of-way corner cutback shall be established per RCTD std. 805 as follows: Along a straight line projected from the intersection of the radial line passing through the beginning of the curb return, and the corresponding right-of-way line to the intersection of the radial line, passing through the end of the curb return at the corresponding right-of-way line, or as directed by the Engineering Department.
- A. The applicant has requested a deviation from std. 805 for various locations. The deviations will be accepted, as currently shown on the tentative map. The applicant is still required to meet all ADA requirements and no public improvement shall encroach into private property.
112. PRIOR TO FINAL MAP RECORDATION: The Applicant, at its sole expense, shall obtain all right-of-way or easement acquisitions necessary to implement any portion or condition of this map, including public improvements; off-site grading & construction; offsite street requirements; offsite sewer requirements; storm drain improvements; or any other requirement or condition, prior to the City's consideration of the final map.
113. PRIOR TO FINAL MAP RECORDATION: The Applicant shall show all drainage, landscaping, open space or other non-residential use lots, as lettered lots on the final map.
114. PRIOR TO FINAL MAP RECORDATION: The Applicant shall provide all agreements for permission to construction and grade for all applicable offsite areas that currently do not have a recorded easement.

**STREET IMPROVEMENTS**

115. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall prepare the Street Improvement plan, Signing and Striping plan, and Street Light Plan in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement

Tentative Tract Map No. 37698 (TM2019-0006)  
Conditions of Approval  
Page 21

Standards & Specification (Ordinance 461); Riverside County Ordinance 460; and California M.U.T.C.D.

- 116. PRIOR TO ISSUANCE OF ENCROACHMENT OR GRADING PERMIT: The Applicant shall coordinate the design of any public infrastructure that encroaches within the County right-of-way. Written approval shall be provided to the Public Works Department.
- 117. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The Applicant shall submit a Construction Traffic Management Plan per the California M.U.T.C.D., for review and approval by the Public Works Director.
- 118. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall analyze the turning radii for impact to the maneuverability of fire apparatus and demonstrate adequate clearance. Any deficiencies will need to be identified and discussed with the Public Works Director.
- 119. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall replace any sidewalk, curb and gutter, drive approach, AC pavement or other improvement damaged during construction as determined necessary by the Public Works Director. If the improvements are phase, the condition is applicable to the 1st COO of the corresponding phase.

**TUKWET CANYON PARKWAY (DIVIDED COLLECTOR 78' R/W)**

- 120. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Tukwet Canyon Parkway, coincident with the tract boundary and from the tract boundary to Oak Valley Parkway, continuous and inclusive of all intersections. The applicant shall secure all right-of-way necessary by separate instrument. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall include:
  - A. 6" Curb and Gutter per RCTD std. 200 @ 28-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. 14' wide raised median shall be per RCTD std. 113.



- D. Street structural sections shall be designed with a Traffic Index per soils recommendations (7.0 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4" AC/6" AB.
- E. Tukwet Canyon Parkway shall be designated as a weight restricted road. The Applicant shall install signs with a weight restriction provided by the Public Works Director at the time of construction.

**STREETS "A", "B", "C", "D", "E", "F" & "G"**

121. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Streets "A", "B", "C", "D", "E", "F" & "G" per the alignment shown on said tentative map. The improvements shall include:

- A. 6" Curb and Gutter per RCTD std. 200 @ 18-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
- B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
- C. Street structural sections shall be designed with a Traffic Index per soil engineer's recommendations (5.5 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4" AC/6" AB.

**GRADING AND DRAINAGE**

122. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall prepare the grading plans in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; California Building Code (current edition); and recommendations of a soil engineer.

123. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall obtain a National Pollutant Discharge Elimination System (NPDES) Construction General Permit for stormwater discharges associated with construction activities as required by the California Water Resources Control Board.

- 124. PRIOR TO ISSUANCE OF A GRADING PERMIT: A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared and submitted to the California Water Resources Control Board. The developer shall be responsible for implementation, monitoring, operation, and maintenance of the SWPPP until all improvements have been accepted by Public Works Department or construction is complete, whichever is later.
  
- 125. PRIOR TO ISSUANCE OF A GRADING PERMIT: A copy of the Notice of Intent (NOI) and Waste Discharge Identification (WDID) number from the State Water Resources Control Board shall be provided to the Public Works Department.
  
- 126. PRIOR TO ISSUANCE OF GRADING PERMIT: As part of the Grading Plan Submittal Application, the Applicant shall submit for review and approval, a Final Drainage Report. The Final Drainage Report be in substantial conformance with the approved preliminary drainage report. The project shall:
  - A. Follow the general guidelines set forth by Riverside County Flood Control and Water Conservation District’s (RCFC&WCD) Hydrology Manual.
  - B. Design all conveyances to handle the peak flow from a 100-year event.
  - C. Examine the 10-year and 100-year storm events utilizing the RCFC&WCD rational method. The 10-year storm flow shall not exceed the top of curb depth. 100-year storm flow shall not exceed the right-of-way line. If the 10-year storm flow exceeds the top of curb depth, underground storm drain facilities will be required;
  - D. Examine the 2, 10 and 100-year storm frequencies in combination with the 1,3,6 and 24-hour storm durations utilizing the RCFC&WCD synthetic unit hydrograph method;
  - E. Mitigate for increased runoff by directing drainage to a downstream facility that has sufficient capacity or mitigate the increased runoff onsite.
  
- 127. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a rough grading plan. The grading design shall incorporate the following:
  - A. conform to the standards of the latest edition of the California Building Code (CBC) and the Beaumont Municipal Code;
  - B. Setbacks for cut/fill slopes from the property line shall be in accordance with the CBC;
  - C. Lots shall be designed and graded to drain to abutting street, on which the driveway for the respective lot will occur. No lot shall drain onto adjacent properties. Drainage devices shall be required to convey storm water from lot onto abutting street. Curb cores shall be required for onsite lot drainage to discharge out into abutting street;

- D. Building foundation clearance requirements for top of slope and toe of slope shall conform to (Chapter 18 – Soils and Foundations) of the latest edition of the California Building Code;
  - E. Design the site to adequately intercept and convey all off-site run-on through the site and discharge in a manner which will not increase damage, hazard, or liability to adjacent or downstream properties;
128. ADVISORY CONDITION: The project has several proposed slopes with a height close to 30 feet. Slope in excess of 30 feet will not be permitted in the field.
129. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall design the extended detention basin per the Riverside Flood Control District, LID manual and include the following:
- A. An access road that allows easy access to the bottom of the basin for maintenance;
  - B. An emergency overflow weir or spillway;
  - C. Drain within 72 hours or otherwise comply with relevant standards for vector control. If the 72-hour limit cannot be reached, the applicant shall implement other features to meet the requirement. This may include dry-wells, underdrain, larger surface area, etc as approved by the Public Works Director;
  - D. Security fencing along the perimeter of the basin w/ appropriate signage;
  - E. Fire Department Rapid Entry System;
  - F. Access from public right-of-way.
130. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall adhere to all Federal Emergency Management Agency (FEMA) regulations and requirements in the event that existing drainage patterns are affected by this development. The applicant shall submit to the City of Beaumont and to any governing Federal agency for review and approval, all necessary calculations.
131. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a soils/ geology report.
132. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, an Erosion Control Plan that addresses Site Construction BMPs.
133. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a Final WQMP (F-WQMP). The F-WQMP shall be in substantial conformance with the approved preliminary Project-Specific WQMP and the document

“Water Quality Management Plan – A Guidance Document for the Santa Ana Region of Riverside County,” dated October 2012 (Guidance Document)

- 134. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall record a “Covenant and Agreement” with the County Recorder, or other instrument acceptable to the City, to inform future property owners of the requirement to implement the approved project-specific WQMP for each parcel.
- 135. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall obtain all permits and approvals from all regulatory agencies with jurisdiction over any portion of this project. Potentially including, but not limited to: Riverside County Flood Control, State Department of Fish and Game, State Water Resource Control Board and US Army Corps of Engineers.
- 136. CONCURRENT WITH GRADING OPERATIONS: Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the Public Works Director for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the Public Works Director for review and approval, which may require additional tests at the expense of the applicant.
- 137. CONCURRENT WITH GRADING OPERATIONS: The Applicant shall construct temporary drainage facilities and erosion control measures to minimize erosion and silt deposition.
- 138. PRIOR TO FOUNDATION TRENCHING: The applicant shall submit a soil compaction report to the City for review and approval.
- 139. PRIOR TO OBTAINING ANY BUILDING PERMIT: The applicant shall submit pad certifications letters and pad compaction reports to the City for review and Approval.

**STORM DRAIN IMPROVEMENTS**

- 140. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall design the storm drain system and facilities in accordance with Beaumont Municipal Code, General Plan, Specific Plan, and Standards; the Riverside County Flood Control District standards; hydrology manual; and Low Impact Development (LID) BMP Design Handbook.

- 141. PRIOR TO ISSUANCE OF GRADING PERMIT: All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.
  
- 142. PRIOR TO ISSUANCE OF A GRADING PERMIT: The stormwater generated within the development shall be captured into appropriate drainage facilities. The stormwater shall be treated per the requirements of the approved P-WQMP.
  
- 143. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct all storm drain facilities to accommodate WQMP requirements and Hydraulic Conditions of Concerns (HCOC) requirements. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall consist of:
  - A. Storm drain network within the tract boundary;
    - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
  - B. Storm drain network from the tract boundary to the Sorenstam Water Quality Basin;
    - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
    - ii. Including all laterals, catch basins, manholes, junctions, transitions and other facilities within Tukwet. The applicant shall extend all future connections to outside Tukwet right-of-way and bulkhead as necessary.
  - C. Sorenstam Water Quality Basin;
    - iii. Basin shall be constructed with the same requirements as the extended detention basin.
  
  - D. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities.
  
- 144. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

**SEWER IMPROVEMENTS**

145. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The sanitary sewer system shall be designed and constructed to collect and convey sewage to the City's Upper Oak Valley Lift Station in accordance with the Master Sewer Plan and Beaumont Municipal Code, Eastern Municipal Water District (EMWD) standards, and as follows:
- A. The minimum pipe size for sewer shall be 8”;
  - B. All sewer laterals from homes shall be connected to the sewer main in the street.
  - C. Gravity sewer pipes 12” or less in diameter shall be designed to flow at a maximum depth of one-half of the pipe diameter. Sewer flow calculations shall be provided;
  - D. Gravity sewer pipes 15” or larger shall be designed to flow at a maximum depth of three-quarters of the pipe diameter. Sewer flow calculations shall be provided;
  - E. Sewer line locations shall follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.
146. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall design and construct the sewer network necessary for the complete operation of the sewer system which includes:
- A. The entire sewer system within the tract boundary;
  - B. All necessary sewer mains that occur outside the tract boundary;
  - C. Sewer lateral wyes along any of the mains constructed as part of this tract, for all future connections;
  - D. Lift station;
  - E. Forced main lines and gravity lines that will connect the lift station to the existing Upper Oak Valley lift station, and all necessary facilities.
147. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall design and construct a sewer lift station and force main per EMWD standards. Redundant pumps and a bypass system for the lift station shall be incorporated into the design of the lift station. The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities. If the improvements are constructed by others, this condition, or portions of, will not be applicable.
148. PRIOR TO ANY BUILDING PERMIT AND PRIOR TO CONNECTING TO A PUBLIC SEWERAGE SYSTEM: The applicant shall pay the sewage disposal facility charge (connection fee) for not less than 25 percent of the lots to which sewers are

available before the connection to the City system is made and shall pay the charge for each additional lot thereafter upon building permit or connection for the respective lot(s).

- 149. **ADVISORY CONDITION:** The existing Mesa sewer lift station is currently (2020) being assessed for capacity as part of a citywide Master Sewer Plan update. It is anticipated that the existing lift station has some capacity for this development; however, the assessment will identify the available capacity. The City may elect to develop a Capital Improvement Project to increase capacity based on need, available funding and schedule.

**WATER IMPROVEMENTS**

- 150. **PRIOR TO FINAL MAP RECORDATION:** The Applicant shall be responsible for obtaining potable water and reclaimed water for the development.
- 151. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall comply with the requirements of the Beaumont Cherry Valley Water District.
- 152. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure all fire hydrants; air vacs and other above ground water facilities are placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with the finished surfaces and are properly rated for chosen locations as approved by the Public Works Director.
- 153. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure that water line locations follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.

End of Conditions

| REVISIONS | DESCRIPTION |
|-----------|-------------|
|           |             |
|           |             |
|           |             |

# TENTATIVE TRACT NO. 37698

CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

"SINGLE FAMILY SUBDIVISION"

DECEMBER 2019

## LOT SUMMARY TABLE

| LOT NO. | AREA (SF) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SF) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SF) | DESCRIPTION |
|---------|-----------|------------|------------|---------|-----------|------------|------------|---------|-----------|-------------|
| 1       | 9,466     | 70'        | 185'       | 64      | 4,482     | 70'        | 80'        | LOT 74  | 39,902    | WO BASIN    |
| 2       | 5,254     | 47'        | 124'       | 65      | 4,040     | 47.5'      | 80'        | LOT 75  | 11,028    | OPEN SPACE  |
| 3       | 4,567     | 47'        | 104'       | 66      | 4,040     | 47.5'      | 80'        | LOT 76  | 12,907    | BASIN       |
| 4       | 4,106     | 47'        | 90'        | 67      | 4,187     | 47.5'      | 80'        | LOT 77  | 903       | OPEN SPACE  |
| 5       | 3,846     | 47'        | 82'        | 68      | 4,804     | 60'        | 80'        | LOT 78  | 2,076     | OPEN SPACE  |
| 6       | 3,800     | 47'        | 80'        | 69      | 4,290     | 55'        | 80'        | LOT 79  | 7,512     | PARK        |
| 7       | 4,398     | 47'        | 106'       | 70      | 3,967     | 49'        | 80'        | LOT 80  | 20,865    | OPEN SPACE  |
| 8       | 4,986     | 54'        | 92'        | 71      | 3,800     | 47.5'      | 80'        | LOT 81  | 17,412    | OPEN SPACE  |
| 9       | 4,229     | 50'        | 86'        | 72      | 3,800     | 47.5'      | 80'        | LOT 82  | 4,122     | OPEN SPACE  |
| 10      | 4,376     | 50'        | 88'        | 73      | 3,800     | 47.5'      | 80'        |         |           |             |
| 11      | 4,701     | 50'        | 96'        | 74      | 4,613     | 60'        | 80'        |         |           |             |
| 12      | 4,272     | 48'        | 90'        | 75      | 4,562     | 78'        | 80'        |         |           |             |
| 13      | 4,454     | 55'        | 80'        | 76      | 4,120     | 47.5'      | 80'        |         |           |             |
| 14      | 3,800     | 46'        | 80'        | 77      | 4,120     | 47.5'      | 80'        |         |           |             |
| 15      | 3,807     | 47'        | 81'        | 78      | 4,120     | 47.5'      | 80'        |         |           |             |
| 16      | 3,807     | 47'        | 81'        | 79      | 4,496     | 52'        | 80'        |         |           |             |
| 17      | 4,935     | 47'        | 112'       | 80      | 4,345     | 52'        | 80'        |         |           |             |
| 18      | 5,629     | 47'        | 123'       | 81      | 6,674     | 70'        | 100'       |         |           |             |
| 19      | 4,944     | 47'        | 110'       | 82      | 3,871     | 47'        | 81'        |         |           |             |
| 20      | 5,053     | 47'        | 106'       | 83      | 3,807     | 47'        | 81'        |         |           |             |
| 21      | 4,765     | 47'        | 100'       | 84      | 3,807     | 47'        | 81'        |         |           |             |
| 22      | 4,201     | 47'        | 85'        | 85      | 3,807     | 47'        | 81'        |         |           |             |
| 23      | 4,229     | 47'        | 81'        | 86      | 4,152     | 52'        | 81'        |         |           |             |
| 24      | 4,675     | 47'        | 104'       | 87      | 4,048     | 48'        | 84'        |         |           |             |
| 25      | 5,258     | 47'        | 118'       | 88      | 5,684     | 67'        | 80'        |         |           |             |
| 26      | 4,453     | 47'        | 97'        | 89      | 4,098     | 46'        | 85'        |         |           |             |
| 27      | 4,142     | 49'        | 84'        | 90      | 4,613     | 53'        | 85'        |         |           |             |
| 28      | 7,988     | 83'        | 97'        | 91      | 4,565     | 54'        | 85'        |         |           |             |
| 29      | 4,810     | 58'        | 83'        | 92      | 4,361     | 49'        | 89'        |         |           |             |
| 30      | 4,677     | 57'        | 83'        | 93      | 4,210     | 50'        | 85'        |         |           |             |
| 31      | 4,545     | 55'        | 83'        | 94      | 3,809     | 47'        | 81'        |         |           |             |
| 32      | 4,380     | 54'        | 83'        | 95      | 3,807     | 47'        | 81'        |         |           |             |
| 33      | 4,462     | 54'        | 83'        | 96      | 3,807     | 47'        | 81'        |         |           |             |
| 34      | 4,335     | 52'        | 83'        | 97      | 3,807     | 47'        | 81'        |         |           |             |
| 35      | 6,801     | 78'        | 91'        | 98      | 3,807     | 47'        | 81'        |         |           |             |
| 36      | 4,641     | 53'        | 90'        | 99      | 3,807     | 47'        | 81'        |         |           |             |
| 37      | 4,262     | 51'        | 84'        | 100     | 3,807     | 47'        | 81'        |         |           |             |
| 38      | 4,095     | 50'        | 83'        | 101     | 3,807     | 47'        | 81'        |         |           |             |
| 39      | 3,875     | 47.5'      | 82'        | 102     | 3,807     | 47'        | 81'        |         |           |             |
| 40      | 3,878     | 47.5'      | 83'        | 103     | 3,807     | 47'        | 81'        |         |           |             |
| 41      | 4,590     | 54'        | 83'        | 104     | 3,807     | 47'        | 81'        |         |           |             |
| 42      | 4,707     | 52'        | 93'        | 105     | 3,952     | 48'        | 80'        |         |           |             |
| 43      | 4,448     | 47'        | 96'        | 106     | 3,890     | 48'        | 80'        |         |           |             |
| 44      | 4,637     | 47'        | 100'       | 107     | 4,180     | 52'        | 81'        |         |           |             |
| 45      | 4,841     | 47'        | 104'       | 108     | 6,037     | 72'        | 82'        |         |           |             |
| 46      | 5,555     | 50'        | 108'       | 109     | 7,458     | 65'        | 121'       |         |           |             |
| 47      | 13,367    | 77'        | 148'       | 110     | 6,025     | 47'        | 126'       |         |           |             |
| 48      | 6,426     | 47'        | 120'       | 111     | 7,019     | 47'        | 132'       |         |           |             |
| 49      | 6,454     | 47'        | 122'       | 112     | 6,372     | 47'        | 136'       |         |           |             |
| 50      | 6,482     | 47'        | 122'       | 113     | 6,412     | 47'        | 136'       |         |           |             |
| 51      | 6,510     | 47'        | 122'       | 114     | 6,433     | 47'        | 137'       |         |           |             |
| 52      | 6,538     | 47'        | 123'       | 115     | 6,454     | 47'        | 138'       |         |           |             |
| 53      | 6,566     | 47'        | 123'       | 116     | 6,475     | 47'        | 138'       |         |           |             |
| 54      | 6,594     | 47'        | 124'       | 117     | 6,496     | 47'        | 138'       |         |           |             |
| 55      | 6,622     | 47'        | 125'       | 118     | 6,517     | 47'        | 138'       |         |           |             |
| 56      | 6,650     | 47'        | 126'       | 119     | 6,538     | 47'        | 139'       |         |           |             |
| 57      | 7,526     | 47'        | 127'       | 120     | 6,559     | 47'        | 140'       |         |           |             |
| 58      | 6,209     | 56'        | 126'       | 121     | 6,586     | 47'        | 140'       |         |           |             |
| 59      | 4,555     | 60'        | 81'        | 122     | 6,717     | 47'        | 142'       |         |           |             |
| 60      | 3,810     | 47'        | 81'        | 123     | 7,029     | 47'        | 149'       |         |           |             |
| 61      | 3,807     | 47'        | 81'        | 124     | 7,388     | 47'        | 157'       |         |           |             |
| 62      | 3,807     | 47'        | 81'        | 125     | 7,494     | 47'        | 167'       |         |           |             |
| 63      | 4,298     | 53'        | 81'        | 126     | 7,665     | 52'        | 177'       |         |           |             |

**UTILITIES**  
 WATER:  
 BEAUMONT CHERRY VALLEY WATER DISTRICT  
 560 MAGNOLIA AVENUE  
 BEAUMONT, CA 92223 (951) 845-9581  
 ELECTRIC:  
 S.C.E.C.  
 26100 MENEFEE ROAD  
 ROMOLAND, CA 92580 (951) 943-8291  
 TELEPHONE:  
 VERIZON 1-800-483-4000  
 GAS:  
 SOUTHERN CALIFORNIA GAS CO.  
 3700 CENTRAL AVE  
 RIVERSIDE, CA 92516 (714) 884-9411  
 SEWER & STORM DRAIN:  
 CITY OF BEAUMONT  
 550 E. 6TH STREET  
 BEAUMONT, CA 92223 (951) 769-8520

**TOPOGRAPHY SOURCE**  
 ROBERT J. LUNG & ASSOCIATES  
 2832 WALNUT AVE., SUITE "E"  
 TUSTIN, CA 92708  
 PH. (714) 832-2077

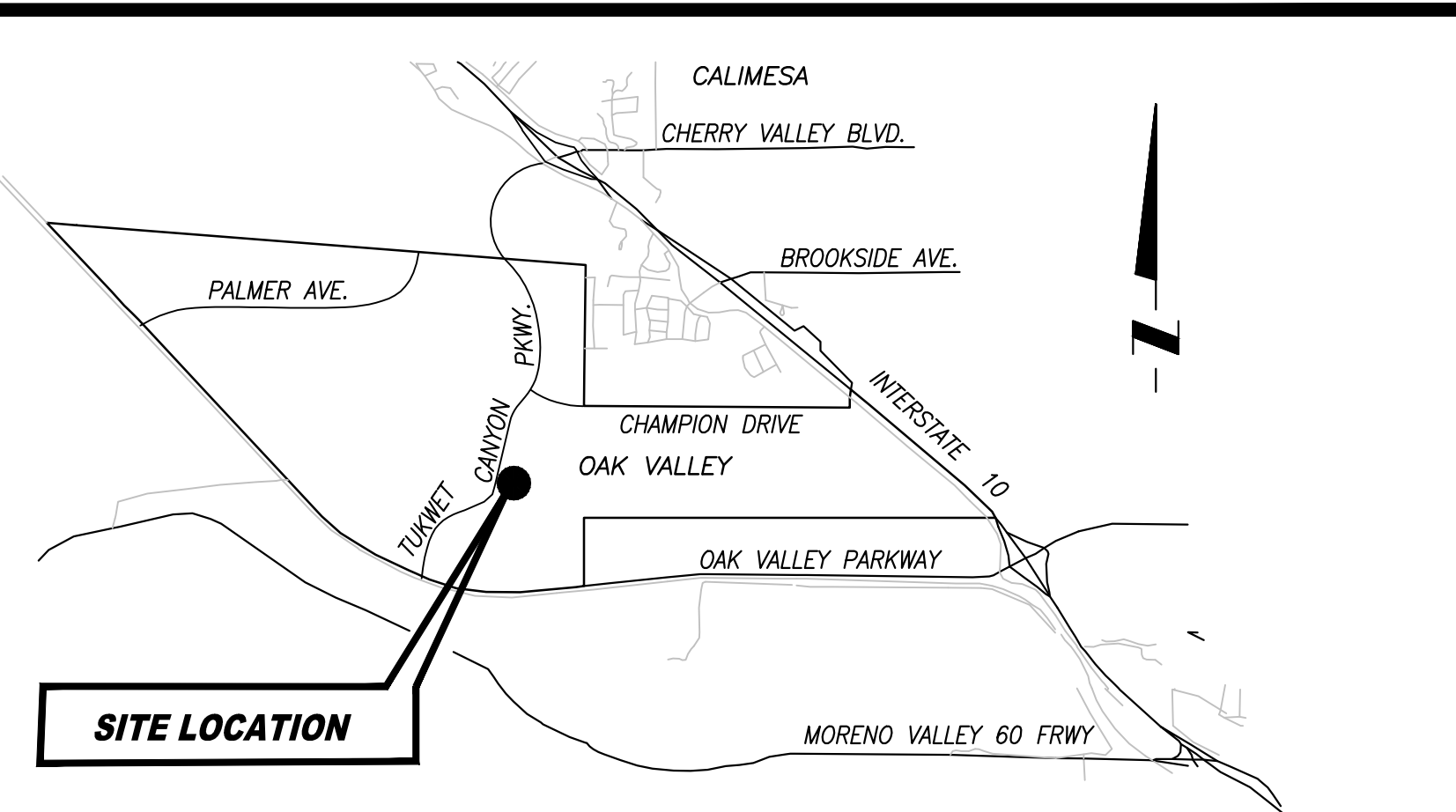
**BENCHMARK:**  
 USGS - MONUMENT "REST"  
 88 DATUM  
 ELEV. 2494.16  
 BENCHMARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "REST 1972" ON DESERT LAWN DR. ACROSS THE DRIVE FROM DESERT LAWN CEMETERY 25.3 FT. NORTHEAST OF THE DRIVE CENTERLINE 24.9 FT. SOUTHWEST OF THE SOUTHWEST CORNER OF THE SOUTHWEST BOUND LINES OF INTERSTATE HIGHWAY 10.

**SCHOOL DISTRICT**  
 BEAUMONT UNIFIED SCHOOL DISTRICT  
 500 GRACE AVENUE  
 P.O. BOX 187  
 BEAUMONT, CA 92223  
 TEL: (951) 845-1631

**LEGEND:**  
 CL CENTERLINE  
 EXST. EXISTING  
 C&G CURB AND GUTTER  
 GB GRADE BREAK  
 HP HIGH POINT  
 LP LOW POINT  
 FL FLOWLINE  
 EP EDGE OF PAVEMENT  
 R/W RIGHT OF WAY  
 PROP. PROPOSED  
 P/EV PAD ELEVATION  
 TC TOP OF CURB  
 FG FINISHED GRADE  
 TW TOP OF WALL  
 INV INVERT ELEV  
 HP HIGH POINT  
 P/L PROPERTY LINE  
 LP LOW POINT  
 CB CATCH BASIN  
 BSL BUILDING SETBACK LINE  
 FHY FIRE HYDRANT  
 SLT STREET LIGHT  
 --- PROPOSED RETAINING WALL  
 --- TRACT BOUNDARY  
 --- PROP. SLOPE (2:1 SLOPE UNLESS OTHERWISE NOTED)  
 --- EXIST. CONTOUR  
 --- PROP. SEWER LINE  
 --- PROP. WATER LINE  
 --- PROP. STORM DRAIN LINE  
 --- SETBACK LINE (20' TO GARAGE)  
 --- SECTION REFERENCE  
 --- SHEET REFERENCE  
 --- NO PARKING WITHIN EMERGENCY VEHICLE TURNING RADIUS, "NO PARK" SIGNAGE AND STRIPING DESIGNATIONS PER THE FINAL ENGINEERING IMPROVEMENT/SIGNAGE PLANS.

## LEGAL DESCRIPTION

PORTION OF PARCEL "D" OF LOT LINE ADJUSTMENT NO. 04-LLA-13, AS RECORDED 10/19/04, PER INSTRUMENT NO. 2004-082603, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, IN THE CITY OF BEAUMONT, STATE OF CALIFORNIA, AND LYING WITHIN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 2 WEST, S.B.B.M.



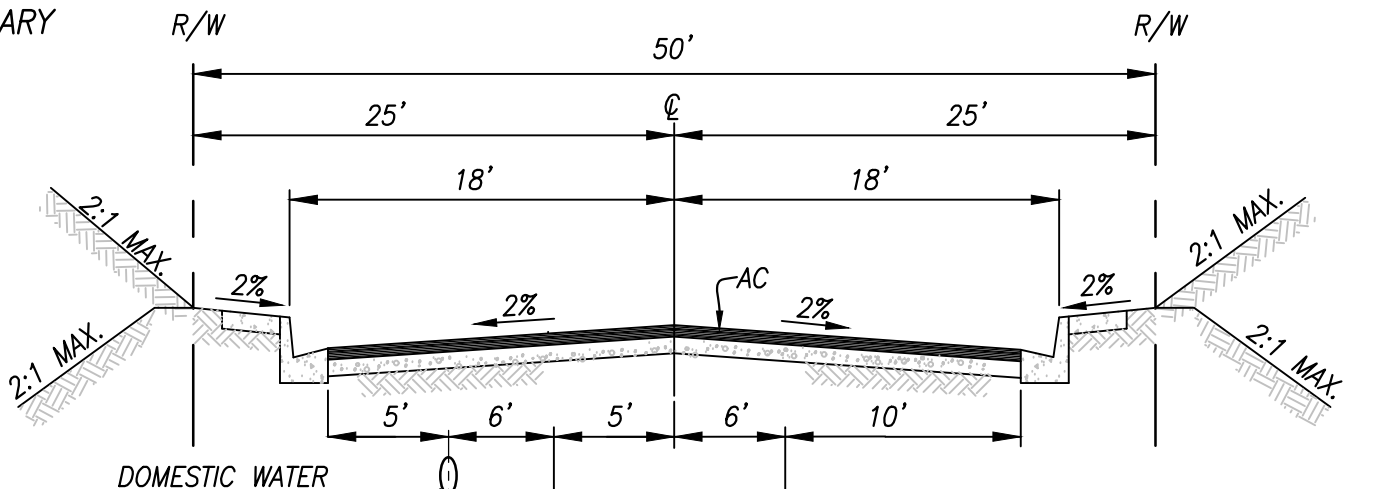
## GENERAL NOTES

- THIS TENTATIVE TRACT MAP IS LOCATED WITHIN THE OAK VALLEY SPECIFIC PLAN NO. 318
- THE LAND INCLUDED WITHIN THE BOUNDARY OF THE TRACT MAP SHOWN HEREON INCLUDES A PORTION OF THE CONTIGUOUS OWNERSHIP OF SDC FAIRWAY CANYON, LLC
- THIS PROJECT LIES WITHIN FLOOD ZONE C AS SHOWN ON FIRM COMMUNITY-PANELS NO. 060245 0785 A, MAP REVISED APRIL 15, 1980.
- PORTION OF ASSESSOR'S PARCEL NUMBER 413-790-020, SEE INDEX MAP BELOW.
- TOTAL NUMBER OF LOTS: 126
- TOTAL NUMBER OF LETTERED LOTS: 16
- ACREAGE BEING SUBDIVIDED: 22.09 ACRES GROSS.
- THIS PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
- ALL OPEN AREAS ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THIS SITE IS NOT LOCATED WITHIN A COMMUNITY SERVICE DISTRICT
- THIS SITE IS NOT LOCATED WITHIN ANY FAULT HAZARD ZONE.
- NO WELLS LIES WITHIN PROPERTY OR WITHIN 200' OF PROPERTY BOUNDARY.
- NO SUBSURFACE SEPTIC SEWAGE DISPOSAL IS PROPOSED.
- GENERAL PLAN DESIGNATION: SPECIFIC PLAN NO. 318, ADOPTED 4/17/1990 (SINGLE FAMILY RESIDENTIAL)
- THERE ARE NO EXISTING DWELLING, BUILDINGS (ABOVE OR BELOW GROUND), NO FENCES, GATES, WALLS, ETC. ON THE PROPERTY, EXCEPT AS SHOWN.
- LOTS "A" THROUGH "G" TO BE DEDICATED TO THE CITY OF BEAUMONT FOR ROAD AND PUBLIC UTILITY PURPOSES.
- LOTS "H" THROUGH "P" TO BE MAINTAINED BY HOMEOWNER'S ASSOCIATION.
- MAP PREPARATION DATE: 5/2019

## ZONING/LAND USE

EXISTING ZONING: SPECIFIC PLAN 318 (PLANNING AREA 25)  
 PROPOSED LAND USE: RESIDENTIAL  
 EXISTING LAND USE: VACANT  
 SURROUNDING LAND USE: VACANT/GOLF COURSE  
 PROPOSED ZONING CRITERIA:  
 A) PER SP 318  
 - MIN. LOT SIZE: 3,800 S.F.  
 - ALL LOTS CONTAIN 3,800 S.F. MIN. NET LOT AREA  
 - MIN. AVERAGE LOT WIDTH: 40'  
 - (35' MIN. FRONTAGE ON KNUCKLES & CUL-DE-SAC)  
 - MIN. AVERAGE LOT DEPTH: 100'  
 - MIN. FRONT YARD SETBACK: 20' (TO GARAGE FACE)  
 - MIN. SIDE YARD SETBACK: 5'  
 - MIN. REAR YARD SETBACK: 10'

7. TOTAL PROPOSED RESIDENTIAL LOTS: 126 (126/22.09 AC = 5.7 DU/AC)



## TYPICAL UTILITY LOCATION STREETS 50' SECTION

**EARTHWORK QUANTITIES**  
 (ROUGH GRADE PADS TO MASS GRADING)

| TTM NO. | CUT (C.Y.) | FILL (C.Y.) |
|---------|------------|-------------|
| 37696   | 25,081     | 25,081      |
| 37697   | 26,371     | 26,371      |
| 37698   | 42,552     | 42,552      |
| TOTAL   | 94,004     | 94,004      |

THIS SITE IS INTENDED TO BALANCE

| TRACT NO. | MIN. LOT SIZE | AVG. LOT SIZE | AVG. LOT WIDTH | AVG. LOT LENGTH |
|-----------|---------------|---------------|----------------|-----------------|
| 37696     | 4,947         | 6,256         | 62             | 102             |
| 37697     | 4,949         | 5,673         | 56             | 97              |
| 37698     | 3,800         | 5,030         | 51             | 101             |
| OVERALL   | 3,800         | 5,539         | 56             | 100             |

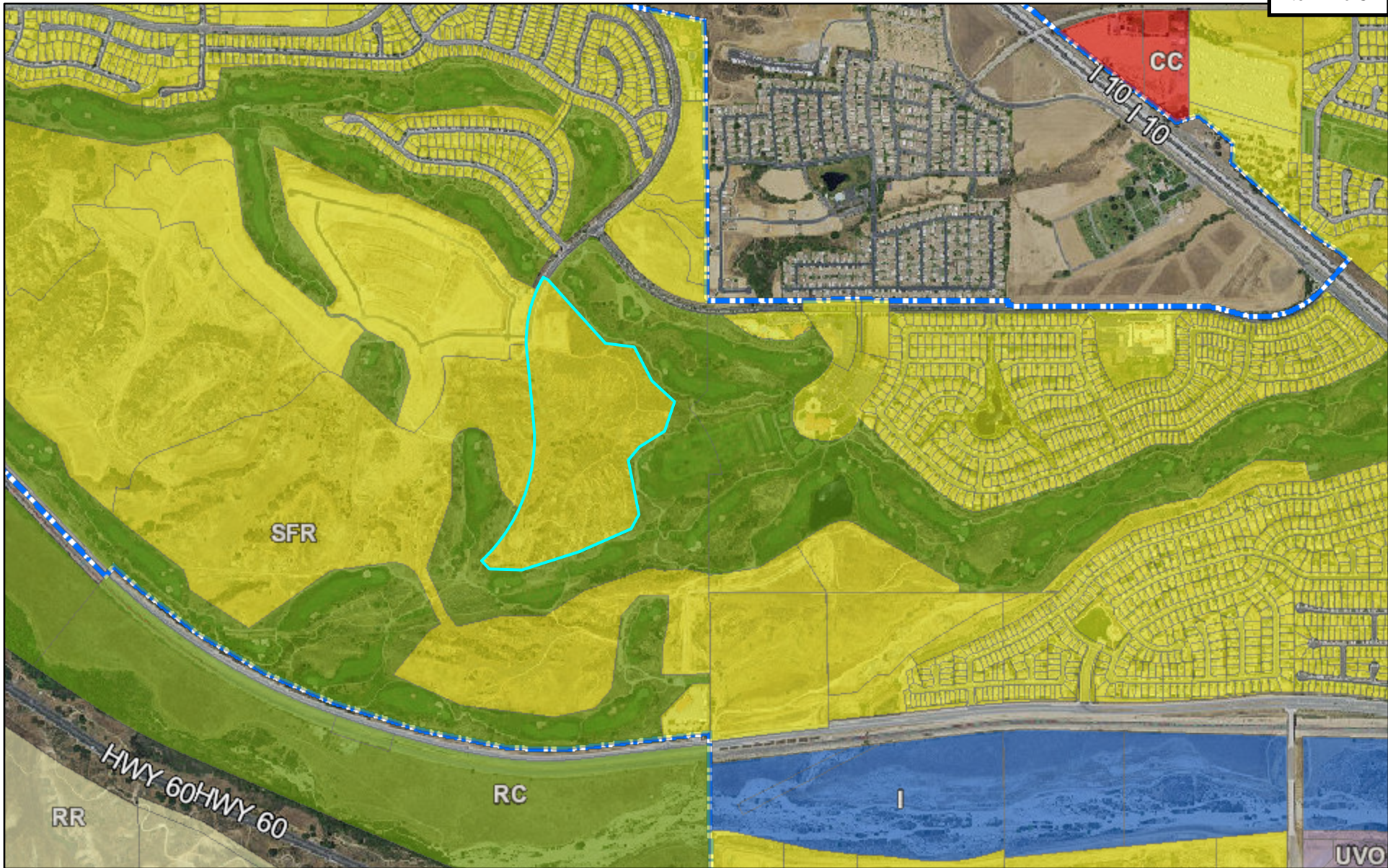
**OWNER/DEVELOPER**  
**ARGENT MANAGEMENT**  
 2332 MORSE AVE  
 IRVINE, CA 92614  
 (949) 241-8403 OFFICE  
 CONTACT: CHERYL THOMPSON

**ENGINEER/REPRESENTATIVE**  
**PROACTIVE ENGINEERING CONSULTANTS WEST, INC.**  
 25109 JEFFERSON AVE., SUITE 200  
 MURRIETA, CA 92562  
 951-200-6840



# TTM37696, 37697 & 37698 General Plan

Item No.3.



12/2/2019 3:10:58 PM

General Plan

Rural Residential

Single-Family Residential

Multi-Family Residential

General Commercial

Community Commercial

Industrial

Commercial Industrial

Urban Village Overlay

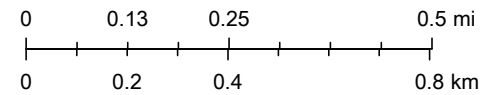
Beaumont Avenue Overlay

Public Facilities

Recreation and Conservation

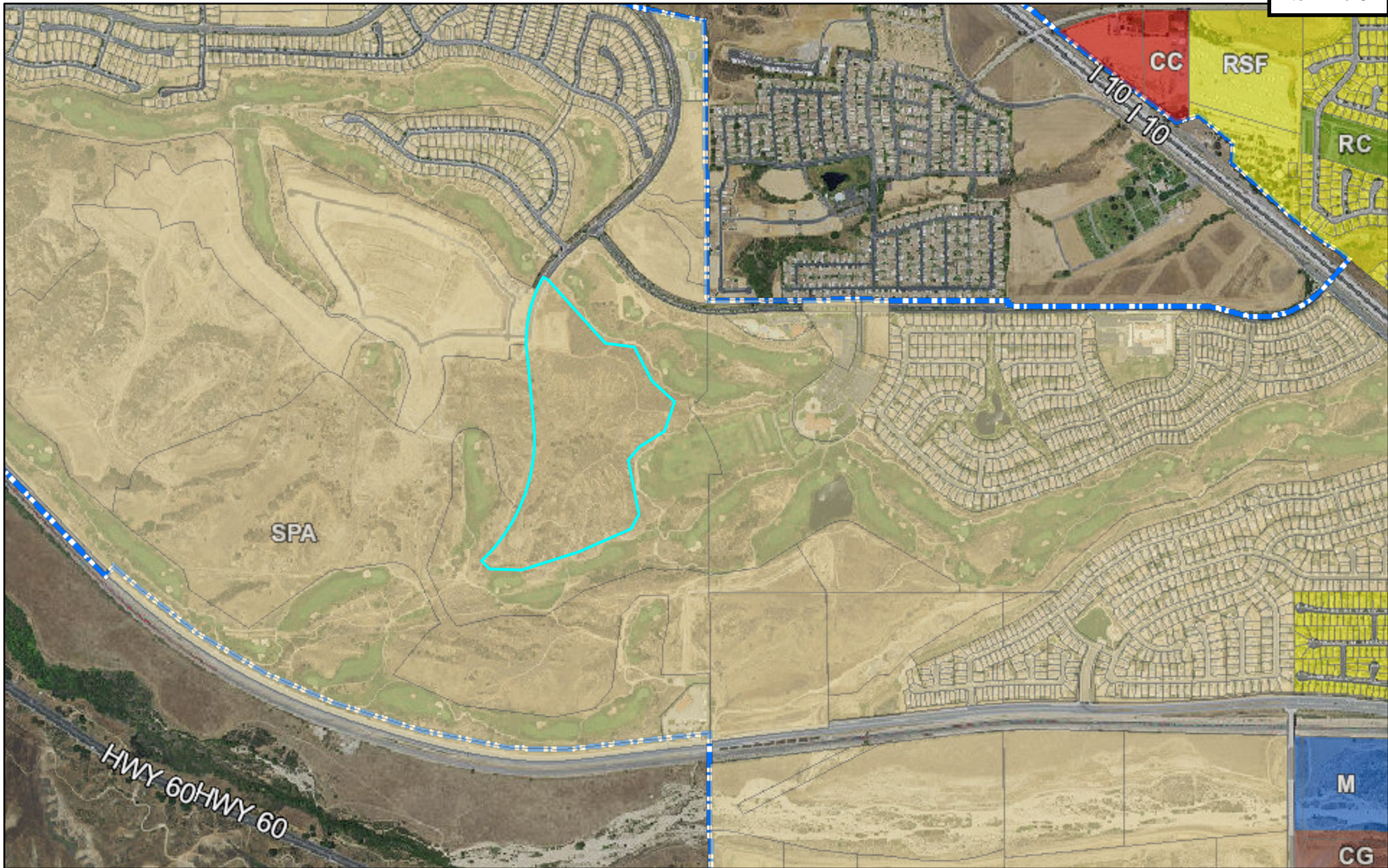
Page 89

1:18,056



# TTM37696, 37697 & 37698 Zoning Map

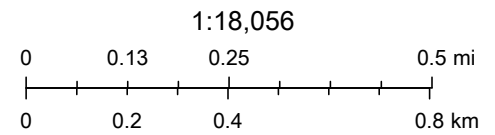
Item No.3.



12/2/2019 3:09:24 PM

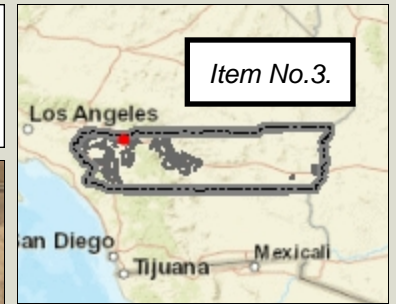
- |                           |                          |                      |                          |
|---------------------------|--------------------------|----------------------|--------------------------|
| Zoning                    | Residential Multi-Family | Commercial Community | Beaumont Avenue Overlay  |
| Rural Residential         | Specific Plan Area       | Commercial Manufactu | General Resource Overlay |
| Residential Single-Family | Commercial General       | Manufacturing        | Public Facilities        |

Page 90



# TTM37696, 37697 & 37698

Aerial Photograph



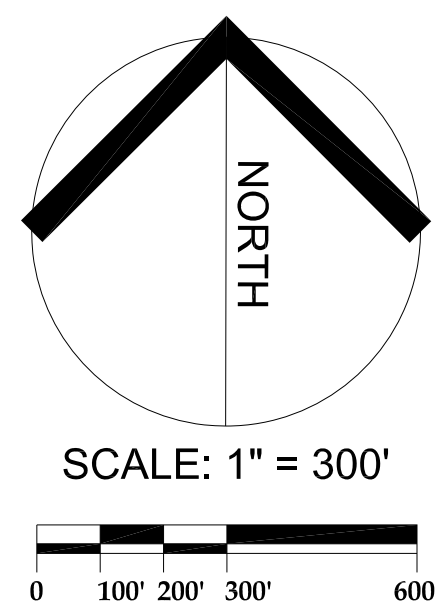
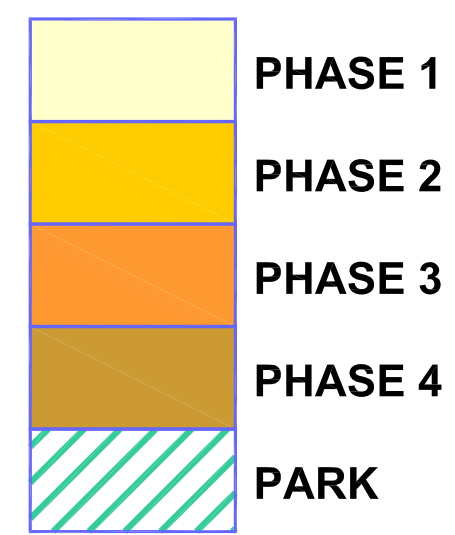
### Legend

- County Centerline Names
- Blueline Streams
- World Street Map



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

### Notes



# Fairway Canyon

## City of Beaumont

# Advertising Order Confirmation

# The Press Enterprise

11/25/19 10:29:27AM

Page 1

Item No.3.

|   |   |  |   |
|---|---|--|---|
| <u>Ad Order Number</u><br>0011339334      | <u>Customer</u><br>BEAUMONT, CITY OF / LEGAL                    | <u>Payor Customer</u><br>BEAUMONT, CITY OF / LEGAL           | <u>PO Number</u>                                |
| <u>Sales Representative</u><br>Nick Eller | <u>Customer Account</u><br>5209298                              | <u>Payor Account</u><br>5209298                              | <u>Ordered By</u><br>Carole Kendrick            |
| <u>Order Taker</u><br>Nick Eller          | <u>Customer Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Payor Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Customer Fax</u>                             |
| <u>Order Source</u><br>Select Source      | <u>Customer Phone</u><br>951-769-8520                           | <u>Payor Phone</u><br>951-769-8520                           | <u>Customer EMail</u><br>finance@beaumontca.gov |
| <u>Current Queue</u><br>Ready             | <u>Invoice Text</u><br>TTM 37698                                |  |   |
| <u>Tear Sheets</u><br>0                   | <u>Affidavits</u><br>0  | <u>Blind Box</u>   | <u>Materials</u>                                |
|   |   | <u>Promo Type</u>  | <u>Special Pricing</u>                          |

|                                   |                             |                               |                                 |                      |                                      |                         |
|-----------------------------------|-----------------------------|-------------------------------|---------------------------------|----------------------|--------------------------------------|-------------------------|
| <u>Ad Number</u><br>0011339334-01 | <u>Ad Size</u><br>3 X 45 LI | <u>Color</u>                  | <u>Production Color</u>         | <u>Ad Attributes</u> | <u>Production Method</u><br>AdBooker | <u>Production Notes</u> |
| <u>External Ad Number</u>         | <u>Pick Up</u>              | <u>Ad Type</u><br>Legal Liner | <u>Released for Publication</u> |                      |                                      |                         |



**LEGAL ADVERTISEMENT**

**NOTICE IS HEREBY GIVEN**, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, December 10, 2019 at 550 East Sixth Street, Beaumont, California.

**Tentative Tract Map 37698 (TM2019-0006)**, Conduct a public hearing and consideration of a request to subdivide 22.09 acres into 126 single family residential lots ranging in size from 3,800 to 9,504 square feet, and 16 lettered lots located with Planning Area 25 of the Oak Valley & SCPGA Golf Course Specific Plan (Fairway Canyon). The proposed application is consistent with the Final Environmental Impact Report (FEIR) that was adopted for the underlying project Oak Valley & SCPGA Golf Course Specific Plan (SP318/ EIR418). APN: Portion of 413-790-020

The applicants for this project are SDC Fairway Canyon LLC.

The case files, plans, and all supporting documentation for the project can be reviewed at the Beaumont Civic Center, 550 East Sixth Street, Beaumont, California. On public hearings items the public may present testimony to the Planning Commission and City Council either in person or by mail. Written comments will be accepted until the night of the hearing.

Carole Kendrick  
Senior Planner

11/29

|                                      |  |   |                              |                       |
|--------------------------------------|--|---|------------------------------|-----------------------|
| <u>Product</u><br>PE Riverside:South | <u>Requested Placement</u><br>PublicNotice Banning | <u>Requested Position</u><br>City Notices Ban - 1076~ | <u>Run Dates</u><br>11/29/19 | <u># Inserts</u><br>1 |
|--------------------------------------|--|---|------------------------------|-----------------------|



### Staff Report

**TO:** Mayor, and City Council Members

**FROM:** Carole Kendrick, Senior Planner

**DATE:** February 4, 2020

**SUBJECT:** **Tentative Tract Map No. 37697 (TM2019-0007) for a Request to Subdivide 13.19 Acres into 73 Single Family Residential Lots With a Minimum Lot Size of 4,950 Square Feet and Eight (8) Lettered Lots Located Within Planning Area 25 of the Oak Valley Specific Plan (Fairway Canyon) on the East Side of Tukwet Canyon Parkway, North of San Timoteo Canyon Road and South of Champions Drive**

**Background and Analysis:**

The applicant is requesting approval of a Tentative Tract Map No. 37697 (TM2019-0007) for the subdivision of 13.19 acres into 73 single family residential lots with a 4,950 square minimum lot size and eight (8) lettered lots. The project site is in the central portion Planning Area 25 of the Oak Valley Specific Plan commonly referred to as Fairway Canyon. Planning Area 25 is located north of San Timoteo Canyon Road, south of Champions Road and east of the extension of Tukwet Canyon Parkway.

The Oak Valley SCPGA Specific Plan #318 encompassing 1,747.9 acres allowing 4,355 dwelling units was adopted by the County of Riverside on August 14, 2001. The property was annexed into the City of Beaumont on April 9, 2003, by the Local Agency Formation Commission (LAFCO) by LAFCO 2002-43-5. The Oak Valley SCPGA Specific Plan includes the developments of Fairway Canyon and Tournament Hills. The subject property is located within the Fairway Canyon portion of the specific plan.

Fairway Canyon has constructed Phase 1 and 2 of the development and is nearing completion of Phase 3. The subject property is located within Phase 4 of the development and more specifically in Planning Area 25, as shown in Exhibit F.

The project was advertised and noticed for a public hearing with the Planning Commission on December 10, 2019, however the applicant and staff determined that a continuance was necessary in order to allow the parties to meet and discuss modifications to draft conditions of approval. The project team met with City staff on

December 18, 2019, which included representatives from the City Manager’s office, Public Works Department, Planning Department and Fire Department and resulted in modifications to the draft conditions of approval. The modifications included updates to the ownership name, clarification on satisfied conditions, timing of fees and infrastructure requirements.

On January 14, 2020, the Planning Commission conducted the continued public hearing for the proposed subdivision. No members of the public spoke regarding the project and the Planning Commission unanimously voted to forward a recommendation of approval to the City Council.

**Approval Authority:**

The Beaumont Municipal Code, Section 16.04.020 designates the Planning Commission as the “advisory agency” charged with reviewing and making recommendations on all proposed parcel map land divisions and tentative subdivision maps in the City. Section 16.24.050.A authorizes the Planning Commission to conditionally approval or disapprove all tentative parcel maps and tentative subdivision maps and land divisions and submit to the City Council for final approval.

When a tentative map is required under the Subdivision Map Act (66463.5(a)), an approved or conditionally approved tentative map shall expire 24 months after its approval or conditional approval. The Subdivision Map Act does allow for up to four (4) years of extensions subject to approval by the original approving body, however the proposed subdivision is subject to the development agreement (City of Beaumont Resolution No. 1987-34) dated November 18, 2003, which has a term of 25 years (item 7 of the development agreement) and tentative tract maps shall be granted an extension of time for the term of the development agreement (item 33 of the development agreement). Therefore, the expiration date for the proposed subdivision is November 18, 2028.

The project setting can also be seen in the following materials attached to this staff report:



- General Plan Land Use Map (Attachment C),
- Zoning Map (Attachment D), and
- Aerial Photograph (Attachment E).

The 13.19-acre site is currently vacant. The property is located in an area which contains single family residences to the west, vacant land to the south and the Morongo Golf Club at Tukwet Canyon to the north and east of the subject property. The land uses, zoning, and general plan land use designations of the project site and surrounding areas are shown in the following table.

|                     | LAND USE                  | GENERAL PLAN                    | ZONING                         |
|---------------------|---------------------------|---------------------------------|--------------------------------|
| <b>PROJECT SITE</b> | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>NORTH</b>        | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>SOUTH</b>        | Vacant Land               | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |
| <b>EAST</b>         | Golf Course               | Recreation Conservation (RC)    | Oak Valley Specific Plan (SPA) |
| <b>WEST</b>         | Single Family Residential | Single Family Residential (SFR) | Oak Valley Specific Plan (SPA) |



**Analysis:**

The proposed subdivision contains lots that range in size from 4,950 square feet to 10,214 square feet. The density for this subdivision is 5.5 dwelling units per acre. The lettered lots include the interior streets (Streets A through E). Lots F and H are open space lots that include slope areas located along the extension of Tukwet Canyon Parkway, the subdivision boundary and along several rear yards of the proposed subdivision. A 9,730 square park is proposed on Lot G on the southeast corner of Street D and Street E. Streets A through E are proposed to be dedicated to the City and Lots F through H will be dedicated to the homeowner’s association for future maintenance.

Primary access to the subdivision is proposed as an extension of Tukwet Canyon Road. The proposed lots will front onto internal streets within the subdivision.

The subject property drains from the northeast to the southwest and will discharge into the storm drain catch basins located on Street C that continues to Tukwet Canyon Road and travels south.

The subject property is zoned Specific Plan (SPA). The proposed subdivision would be subject to various development standards in terms of lot width and depth as defined in the Oak Valley SCPGA Specific Plan. Staff has reviewed the proposed subdivision and determined that it complies with the minimum development standards of the Planning Area 25 of the Oak Valley SCPGA Specific Plan Section III.B.28. The table below summarizes the required development standards.

| <b>DEVELOPMENT STANDARDS</b>       | <b>REQUIRED</b> | <b>PROPOSED MINIMUM</b> | <b>PROPOSED AVERAGE</b> |
|------------------------------------|-----------------|-------------------------|-------------------------|
| <b>Minimum Net Lot Area</b>        | 3,800 sq. ft.   | 4,950 sq. ft.           | 5,673 sq. ft.           |
| <b>Maximum Density</b>             | 12.0 du/ac      | 5.5 du/ac               | 5.5 du/ac               |
| <b>Minimum Lot Width (Average)</b> | 40 ft.          | 55 ft.                  | 56 ft.                  |
| <b>Minimum Lot Depth (Average)</b> | 100 ft.         | 77 ft.                  | 100 ft.                 |

**Residential Design & Landscaping Standards:**

If approved, the applicant will be required to submit a minor plot plan application for review of architecture for all buildings with enhancements (shutters, flower boxes, stone veneer, etc.) and provide for trim around all openings. With regard to project

landscaping under this proposal, the applicant will be required to adhere to standards set forth under the Guide to California Friendly Landscaping, as well as the City's landscaping ordinance that requires water efficient landscaping. Separate landscaping plans will be required as part of the conditions of approval by the applicant for staff review of all front-yard, slopes in excess of three feet, and open-space areas.

### **Public Notice and Communications:**

Property owners located within a 300-foot radius of the project site were notified of the Planning Commission public hearing on November 29, 2019, with a 10-day hearing notice in addition to a public notice in the Press Enterprise newspaper (see Attachment G). The Planning Department has not received any letters of comment from the public as of the writing of this report.

### **CEQA Review:**

From the standpoint of the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) was prepared and certified in 2001 for the Oak Valley SCPGA Specific Plan (Specific Plan No. 318) (SCH# 2000051126), with latest addendum of the EIR approved by City Council in 2014 (13-EIR-03), assessing the environmental impacts of the overall project and subsequent implementation steps, including subdivision of the site. The EIR and the findings made by the City Council remain pertinent and adequate for use for current application. Execution of this subdivision will require adherence to the mitigation monitoring program established for the project.

### **Incorporated herein by Reference:**

- City of Beaumont General Plan,
- City of Beaumont Zoning Ordinance,
- Project Site's Riverside Conservation Authority Multi-Species Habitat Conservation Plan Informational Map, and
- Contents of City of Beaumont Planning Department Project File Tentative Tract Map No. 37696 (TM2019-0005), Tentative Tract Map No. 37698 (TM2019-0006), Tentative Tract Map No. 37697 (TM2019-0007), Tentative Parcel Map No. 37366 (PW2019-0387), LAFCO 2002-43-5, 02-ANX-02, Development Agreement dated November 18, 2003, Oak Valley SCPGA Specific Plan 318 and Environmental Impact Report 418.

**Recommended Action:**

Approve Tentative Tract Map No. 37697 (TM2019-0007) subject to the Development Agreement and the attached conditions of approval.

**Attachments:**

- A. Draft Conditions of Approval
- B. Tentative Tract Map No 37697
- C. General Plan Land Use Designation Map
- D. Zoning Map
- E. Aerial Photograph
- F. Fairway Canyon Phasing Map
- G. Proof of Publication



**CITY OF BEAUMONT  
PLANNING DEPARTMENT  
CONDITIONS OF APPROVAL**

**TENTATIVE TRACT MAP NO. 37697 (TM2019-0007)**

**APN: PORTION OF 413-790-020**

**Planning Commission  
Recommendation:  
1.14.20  
City Council Approval:  
DRAFT**

**TO SUBDIVIDE 13.19 ACRES INTO 73 SINGLE FAMILY**

**RESIDENTIAL LOTS WITH A MINIMUM LOT SIZE OF 4,950 SQUARE FEET, AND EIGHT (8) LOTS WITH A PARK BASINS AND LANDSCAPING LOCATED WITHIN PLANNING AREA 25 OF THE OAK VALLEY SPECIFIC PLAN.**

Note: Any conditions revised at a hearing will be noted by ~~strikeout~~ (for deletions) and/or underline (for additions), and any newly added conditions will be added at the end of all conditions regardless of the Department originating the condition.

**STANDARD CONDITIONS**

The following conditions of approval are for Tentative Tract Map No. 37697 and consist of all subsequent conditions and all conditions of approval for the Oak Valley Specific Plan (SP No. 318) and the Mitigation Monitoring and Reporting Plan.

1. The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning TENTATIVE TRACT MAP NO. 37697 and the Environmental Impact Report certified by the Beaumont City Council in conjunction with the SCGPA Golf Course at Oak Valley Specific Plan, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont
2. The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.
3. This conditionally approved tentative map will expire on November 18, 2028 per 3.3 of the Development Agreement between the City of Beaumont and SDC Fairway Canyon

Draft Tentative Tract Map No. 37697 (TM2019-0007)  
Conditions of Approval  
Page 2

LLC, a Delaware limited liability company. Action on a minor change and/or revised map request will not extend the time limits of the tentative map. Approval of the final map by the City Council is required.

4. If required by the Planning Department, within ten (10) days of approval by the City Council ten (10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Department prior to release of the final conditions of approval.
5. Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal.
6. The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Department.
7. The properties contained within Tentative Tract Map 37697 are part of the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, approved originally by the Beaumont City Council on November 5, 2002 and later amended in 2004, 2005, and 2014. The provisions and criteria of the SCPAGA Golf Course at Oak Valley Specific Plan shall control and guide the development of Tentative Tract Map 37697.
8. An Environmental Impact Report EIR was prepared and certified for the SCPGA Golf Course at Oak Valley Specific Plan Specific Plan, Addendum(s) were prepared for the subsequent amendment and a series of mitigation measures were adopted by the City Council to mitigate the potential impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Tract No. 37697.
9. Execution of the project will necessitate the conducting of mitigation monitoring by the City to ensure that all the mitigation measures set forth in the Environmental Impact Report and Addendum are systematically implemented. The subdivider shall fund the mitigation monitoring requirements by paying an amount equal to the City's actual contracting cost for such services, plus a 20 percent administrative charge.
10. Tentative Tract No. 37697 has been found to be substantially in conformance with the Oak Valley PGA Specific Plan.

- 11. The approval of this map shall not result in any vesting provisions relative to City of Beaumont fees and exactions. The provisions of the Development Agreement shall prevail in all cases.

**BUILDING DEPARTMENT CONDITIONS**

- 12. It shall be unlawful for any person to engage in or permit the generation of noise related to landscape maintenance, construction including erection, excavation, demolition, alteration or repair of any structure or improvement, at such sound levels, as measured at the property line of the nearest adjacent occupied property, as to be in excess of the sound levels permitted under Chapter 9 of the Municipal Code, at other times than between the hours of 7:00 a.m. and 6:00 p.m. The person engaged in such activity is hereby permitted to exceed sound levels otherwise set forth in this Chapter for the duration of the activity during the above described hours for purposes of construction. However, nothing contained herein shall permit any person to cause sound levels to at any time exceed 55 dB(A) for intervals of more than 15 minutes per hour as measured in the interior of the nearest occupied residence or school.

**FIRE DEPARTMENT CONDITIONS**

- 13. Underground fire line plans shall be submitted to the fire department, for review and approval for fire hydrant spacing and type prior to signing Mylar's.
- 14. Provide a title block on the set of Mylar's saying, 'Riverside County Fire Department'.
- 15. All residential homes shall have fire sprinklers. Plans shall be submitted to the fire department for review and approval prior to installation.
- 16. More than one road is required if it is determined that access by a single road may be insufficient due to terrain, location, travel distance, potential fire or life safety hazards, or other factors that could limit access or if vehicle congestion, or weather conditions could impair access points. CFC 2013.
- 17. Supplementary access points shall be located to facilitate evacuation and emergency operations and minimize congestion or obstruction during an emergency incident.
- 18. Industry standards: A minimum of two vehicle access points is required for any development containing 150 or more residential units.
- 19. The fire code official shall be the only authority authorized to designate fire apparatus access roads and fire lanes and to modify the minimum fire lane access widths for fire or rescue operations." RVC Ord-787.7

- 20. The fire code official has reviewed the revisions for this project, and shall require additional access points, and to provide main street artery's for emergency vehicle ingress and egress. This will help support an evacuation during an emergency operation and would be required to help emergency vehicle faster response times.
- 21. Due to the number of residential homes that are being built within the project, a fire station is needed in this area. The payment of the fire station impact fee shall meet the requirements of this condition. Community Facilities District No. 93-1 dated November 2, 2004 includes Exhibit E – Fee Credit Table that indicates that Fire Station – Critical and Joint Facilities fees were paid for 3,387.28 dwelling units at a rate of \$181.00 per dwelling unit for a total of \$613,097.68, therefore the condition has been satisfied.

**STANDARD CONDITIONS:**

With respect to the conditions of approval for the referenced project, the Fire Department recommends the following fire protection measures be provided in accordance with City of Beaumont/Riverside County Ordinances and/or recognize fire protection standards:

- 22. FIRE FINAL - and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code, California Fire Code, and other related codes which are in force at the time of building plan submittal.
- 23. FIRE FLOW REQUIREMENTS - The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B, Table B105.1. The applicant/developer shall provide documentation to show that a water system exists and is capable of delivering 1,000 GPM for 2 hour(s) for duration at 20-PSI residual operating pressure must be available before any combustible material is placed on the job site. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention Bureau. Specific requirements for the project will be determined at time of submittal. California Fire Code 2010.
- 24. SUPER FIRE HYDRANTS - Industrial, Commercial, Multi-family, Apartment, Condominium, Townhouse or Mobile Home Parks. A combination of on-site and off-site super fire hydrants (6" x 4" x 2 – 2 1/2") shall be located not less than 25 feet or more than 200 feet from any portion of the building as measured along approved emergency vehicular travel ways, and spaced no more than the required spacing per Appendix C, table C105.1 in feet apart in any direction. The fire flow shall be available from any adjacent fire hydrant(s) in the system. CFC Chapter 5, section 503.1.1 and Appendix B table – B105.1.

25. ALL WEATHER ACCESS ROAD - Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved fire department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. Road shall be provided prior to construction, based on street standards approved by the Public Works Director and the Fire Prevention Bureau. CFC Chapter 5, section 503.2.3.
26. 24 FOOT WIDTH, 15 FOOT VERTICAL - Prior to construction and issuance of building permits, fire apparatus access roads shall have an unobstructed width of not less than 24 feet or as approved by the Fire Prevention Bureau and an unobstructed vertical clearance of not less than 15 feet. CFC Chapter 5, section 503.2.1 & RVC Fire Ordinance 787.6.
27. 15 % GRADE - Prior to construction, all roads, driveways and private roads shall not exceed 15 percent grade. Add: Grade transitions shall not exceed Riverside County Fire Department apparatus maximum approach and departure angles as determined by the Fire Chief. RVC Fire Ordinance # 787.6 CFC Chapter 5, section 503.2.7.
28. PHASING - If construction is phased, each phase shall provide an approved emergency vehicular access for fire protection prior to any building construction. CFC Chapter 5, section 501.4.
29. DEAD ENDS - Prior to building construction, dead end roadways and streets which have not been completed shall have a turnaround capable of accommodating fire apparatus. CFC Chapter 5, section 503.2.5.
30. U/G WATER PLANS - Prior to issuance of permits, the applicant/developer shall furnish (3) copies of the water system plans to the Fire Prevention Bureau for review. Plans shall be in accordance with Appendix B and Appendix C and section 508.1 of the CFC 2010:
  - Signed by a registered civil engineer or certified fire protection engineer.
  - Contain a Fire Prevention Bureau approval signature block.
  - Conform to hydrant type, location, spacing of new and existing hydrants, and a minimum fire flow required as determined by the Fire Prevention Bureau.
  - The post indicator valve and fire department connection shall be located to the front access side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access, and within 200 feet of an approved fire hydrant, and within 50 of an approved roadway or driveway or otherwise approved by the Fire Chief.
  - Guard posts or other approved means may be required to protect fire department inlet connections from vehicular damage. RVC Fire Ordinance 787.6 section 912.2.1.
  - After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire



- hydrants shall be installed, and made serviceable prior to and during the time of construction, and accepted by the City of Beaumont Fire Prevention Bureau. CFC Chapter 5, 508, and the National Fire Protection Association 24 sec 1-4.1.
- Existing fire hydrants on public streets are allowed to be available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC, Appendix A, & B and NFPA 24 section 1-4.1.
31. BLUE DOT REFLECTOR - Prior to issuance of Certificate of Occupancy or building final, "Blue Reflective Markers" shall be installed on private streets, public streets, and driveways to identify fire hydrant locations in accordance with City & RVC Fire Ordinance 787.6 specifications.
  32. RESIDENTIAL NUMBERS - Prior to issuance of Certificate of Occupancy or building final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numerals shall be not less than four (4) inches in height. CFC Chapter 5, section 505.1.
  33. ROOFING - Prior to Certificate of Occupancy or building final, all structures shall have fire retardant roofing materials (Class A & B roofs) as described in section 1504 of the CBC.
  34. PAVED ACCESS- - Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards.
  35. ANGLE APPROACH - The angle of approach and departure for any means of Fire Department access shall not exceed 1-foot drop in 20 feet, and the design limitations of the fire apparatus of the fire department shall be subject to approval by the AHJ. CFC Chapter 5, section 503.2.7.
  36. FIRE SPRINKLERS - Prior to issuance of Certificate of Occupancy or building final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans (3) sets shall be submitted to the Fire Prevention Bureau for approval prior to installation. No person shall remove or modify any fire protection system installed or maintained under the provisions of the California Fire Code without the approval by the Fire Chief. A Licensed C-16 contractor shall do all the work and/or certification. CFC Chapter 9, section 901.3.1, 903.1 & CBC Chapter 9, section 903.1.1.

- 37. SAFETY PRECAUTIONS - Approval of the safety precautions for buildings being constructed, altered or demolished shall be required by the Fire Chief in addition to other approvals for specific operations or processes associated with such construction, alteration or demolition. Structure, facilities and conditions which in the opinion of the fire code official, constitute a distinct hazard to life or property. The fire code official is authorized to order the posting of signs in a conspicuous location in each structure. The posting of signs shall not be obscured, removed, defaced, mutilated, or destroyed.
- 38. FIRE DEPARTMENT INSPECTION APPROVAL - Construction or work for which the Fire Prevention Bureau's approval is required shall be subject to inspection by the Fire Chief and such construction or work shall remain accessible and exposed for inspection purposes until approved.
- 39. AUTHORITY TO INSPECT - The Fire Prevention Bureau shall maintain the authority to inspect as often as necessary for buildings and premises, including such other hazards or appliances designated by the Fire Chief for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this code and of any other law or standard affecting fire safety.
- 40. ALTERATIONS - Any alterations, demolitions, or change in design, occupancy and use of buildings or site will require plan submittal to the Fire Prevention Bureau with review and approval prior to installation.
- 41. MEDIAN CROSSOVERS - Prior to Certificate of Occupancy all locations where medians are constructed and prohibit vehicular ingress/egress into or away from the site, provisions must be made to construct a median-crossover at all locations determined by the Fire Chief and the Public Works Director. Prior to the construction, design plans will be submitted for review and approval by the Public Works Director.
- 42. GATES – All exterior security/emergency access gates shall be electronically operated and be provided with a Knox key switch for access by emergency personnel, that includes the Police Department's "E" key. Contact Beaumont Police Department at 951-769-8500 for any questions. Gate entrances shall be at least two feet wider than the width of the traffic lane (s) serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 40-foot turning radius will be required. CFC Chapter 5, section 503.6.

- 43. KNOX SWITCH - Gate (s) shall be opened by a Fire Department Knox Switch, and all gates shall be a minimum of 24 feet in width. Automatic gates shall be equipped with emergency backup power.
- 44. MULTI-FAMILY RESIDENCE - Prior to issuance of Certificate of Occupancy or building final, all multi-family residences shall display the address in a visible location on the street side of the building and shall be clearly distinguishable from the fire apparatus access road. The building numerals shall be a minimum of twelve (12) inches in height and individual dwelling units shall be not less than four (4) inches in height and shall contrast with their background. The address shall be illuminated as approved by the Fire Department. CFC Chapter 5, section 505.1 & RVC Ordinance 787.7.
- 45. SINGLE FAMILY DWELLINGS - Approved fire prevention standard fire hydrants (6" x 4" x 2 – 2 1/2") shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a fire hydrant. Minimum fire flow shall be 1,000 GPM for 2 hours at 20 PSI. Fire flow and flow duration for dwellings in excess of 3,600 square feet shall not be less than that specified in Appendix B, Table B 105.1, RVC 787.7 & CFC Chapter 5, and Appendix C, Table C 105.1.
- 46. ACCESS/ROAD LENGTH - No cul-de-sac or dead-end road length shall exceed one thousand three hundred-twenty (1,320) feet in length. In any hazard fire area of Riverside County, no dead-end or cul-de-sac road shall exceed six hundred-sixty (660) feet in length. The Fire Chief based on city street standards shall determine minimum turning radius for fire apparatus based upon fire apparatus manufacture specifications. Riverside County Ordinance 787.7, CFC Chapter 5, section 503.2.5.
- 47. BUILDING OPENINGS - Access to building openings and roofs shall be maintained readily accessible for emergency access by the fire department. Finished grade to be flat and accessible on all sides of the building were ground ladder access is the only means to reach the highest point on the building from the exterior. Obstructions will not be placed as to interfere with ground ladder placement. CFC Chapter 5, section 504.1 & RVC Ordinance 787.7.

**AGENCY CONDITIONS**

- 48. The subdivider shall comply with the requirements set forth in the City Public Works Department conditions.
- 49. The subdivider shall comply with the requirements of the Beaumont Police Department.
- 50. The subdivider shall comply with the requirements of the Beaumont Fire Department.

- 51. The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 52. The subdivider shall comply with the requirements of the Southern California Gas Company.
- 53. The subdivider shall comply with the requirements as set forth by the Beaumont Unified School District.

**RECORDATION CONDITIONS**

Prior to the RECORDATION of any final map, all the following conditions shall be satisfied:

- 54. The subdivider shall submit written clearances to the Public Works Department that all pertinent requirements from the following agencies have been met:

- City Fire Department
- City Police Department
- City Planning Department
- Beaumont Cherry Valley Water District
- Beaumont Unified School District

- 55. All public street road easements shall be offered for dedication to the public and shall continue in force until the governing body accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the Public Works Department. Street names shall be subject to the approval of the Building Official. The final street sections, configurations and improvements shall be subject to the approval of the Public Works Department.
- 56. All delinquent property taxes, special taxes and assessments shall be paid to the Riverside County Tax Collectors Office.
- 57. Lots created by this subdivision shall comply with the following:
  - a. Lots created by this subdivision shall be in conformance with the development standards of the Oak Valley PGA Specific Plan.
  - b. All sewer, storm drain and other public utility crossings in side and rear yards to be located in fee title lots and not easements.

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- 58. No lots fronting on knuckles, or cul-de-sacs shall have less than twenty-five (25) feet of frontage measured at the property line, with the exception of flag lots as approved by the Planning Department.
  
- 59. This subdivision may be recorded in phases subject to the following:
  - a. Phasing, including phase boundaries and sequencing, shall be subject to Planning Department approval.
  
  - b. Common open space area improvement phasing shall be required subject to Planning Department approval.
  
- 60. Consistent with City standards and the Beaumont General Plan, the subdivider is obligated to provide fully improved park space at a ratio of 5 acres per 1,000 population. Said conditions of approval require of park improvements and/or fees, and these requirements shall be applicable as set forth in the conditions of approval for the Oak Valley PGA Specific Plan.
  
- 61. The maintenance and management of common open space areas and common facilities shall be conducted as set forth herein and approved by the Planning Department. All provisions of said condition shall be satisfied prior to map recordation.
  
- 62. The subdivider shall be responsible for the provision of a fair share of the necessary roadway, water, sewer and drainage facilities for the orderly implementation of the Oak Valley PGA Specific Plan and the existing master plans for these facilities. Prior to recordation, the subdivider shall work with the City and the Public Works Department to establish the necessary financing and implementation measures to ensure the provision of a fair share of such necessary facilities or provide documentation that this has been satisfied per the Development Agreement dated November 18, 2003 (Resolution No. 1987-34) between the City of Beaumont and LB/L—Suncal Oak Valley LLC which was assumed by SDC Fairway Canyon, LLC, a Delaware limited liability company on June 1, 2012 via Document# 2012-0253906 and Community Facilities District (CFD) 93-1 dated November 2, 2004.
  
- 63. Prior to recordation of the final map, the applicant shall remove the minimum setback notes from the map.

**GRADING CONDITIONS**

- 64. Detailed landscaping and irrigation plans shall be submitted to and approved by the Planning Department for the phase of development in process. The plans shall address all areas and aspects of the tract requiring landscaping and irrigation to be installed

including, but not limited to, parkway planting, recreation trails, street trees, slope planting, common area and/or park landscaping. The plans shall be certified by a landscape architect, and shall provide for the following:

- a. Permanent automatic irrigation systems shall be installed on all landscaped areas requiring irrigation. Low water use systems shall be specified.
  - b. Landscape screening where required shall be designed to be opaque up to a minimum height of six (6) feet at maturity.
  - c. All utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments, as approved by the Planning Department. Utilities shall be placed underground wherever feasible.
  - d. Landscaping plans shall incorporate the use of specimen accent trees (24" box minimum) at key visual focal points within the project.
  - e. Landscaping plans shall incorporate native, low water using and drought tolerant plants where appropriate. All Landscaping shall be in compliance with Beaumont Municipal Code Chapter 17.06.
  - f. All specimen trees on the subject property shall be shown on grading plans. Trees intended for retention and/or removal shall be so noted on the project grading plans. Replacement trees for those to be removed shall also be shown on the project grading plans.
  - g. All trees shall be minimum double-staked. Weaker and/or slow-growing trees shall be steel-staked.
  - h. trees proposed within 10 feet of any Right-of-Way shall provide for a 36" deep root barrier.
65. Three (3) sets of detailed landscaping and irrigation plans shall be submitted pursuant to the Conditions of Approval with the applicable processing fee.
66. Driveways shall be designed so as not to exceed a fifteen (15) percent grade.
67. A qualified paleontologist shall be retained by the subdivider for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist, the City Public Works Department and the

grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and details of the fossil recovery plan if recovery was deemed necessary.

**BUILDING CONDITIONS**

Prior to the issuance of BUILDING PERMITS, all the following conditions shall be satisfied:

- 68. The subdivider shall submit written clearances to the Planning Department that all pertinent requirements from the following agencies have been met:

- City Public Works Department
- Beaumont Unified School District
- Beaumont-Cherry Valley Water District
- Beaumont Fire Protection Department
- Beaumont Planning Department

- 69. Prior to merchant builder submittal of architectural building plans and wall and fence plans to the Planning Department, an acoustical study shall be performed by an acoustical engineer to establish appropriate mitigation measures that shall be applied to individual dwelling units within the subdivision to reduce ambient interior noise levels to 45 Ldn. The study shall be submitted to the Planning Department for review with review fee as set in the Fee Schedule or at actual hourly cost and the approved recommendations shall be incorporated into the architectural building plans and wall and fence plans.
- 70. A detailed wall and fencing plan shall be submitted to and approved by the Planning Department & Public Works Department and shall show all project walls and fencing including but not limited to perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical elevation of all walls and fences shall be shown on the wall and fencing plan. Decorative block walls shall be constructed along all side or other yards adjacent to streets, or which are plainly visible, and in locations as may be required by the Planning Department.
- 71. Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with Planning Department approval.
- 72. Building separation between all buildings shall not be less than as set forth in the California Building Code.

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73. All street side yard setbacks shall be a minimum of ten (10) feet.
74. All front yards shall be provided with landscaping and automatic irrigation systems and adhere to Municipal Code Chapter 17.06 Landscaping Standards, as approved by the Planning Department. Additionally, all front yard landscaping shall be installed with drought tolerant landscaping.
75. No wood fencing is permitted in this development. All fencing materials shall be masonry, vinyl or tubular steel, as approved by the Planning Department.
76. All utility connections and easements shall be placed underground and shall not encroach into the driveway area unless otherwise approved by the Public Works Department.
77. A minor plot plan for all residential buildings, garages and accessory buildings for residential products shall be submitted to the Planning Department accompanied by applicable filing fees for a minor plot plan not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the City of Beaumont. The minor plot plan shall be subject to the approval of Planning Department and shall contain the following elements:
  - a. A final site plan (1"=30' minimum scale precise grading plan) showing all lots, building footprints, setbacks, walls, fencing, the floor plan and elevations of individual lots.
  - b. One (1) color and materials sample board containing precise color texture and material swatches or photographs (which may be from supplier's brochures). Indicate on the sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers when feasible (trade names also acceptable).
  - c. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations. All residential structures shall be provided with "four-sided" architectural features. With respect to residential structures, this may take the form of edge trim on all exterior doors or windows, or other methods as approved by the Planning Department. Enhanced or upgraded rear and side facing architectural features shall be included for dwelling units adjacent to and visible from parks, walkways, and public roadways.
  - d. Detailed wall and fencing plan for the subdivision, including colors, materials and location details.



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- e. Five (5) sets of photographic or color laser prints (8 X 10 in.) of the sample board and colored elevations shall be submitted for permanent filing.
- 78. All residential units shall be served by a minimum of two access points at all times, for proper circulation and emergency vehicle ingress and egress, as approved by the Fire Department.
- 79. Street Improvement Plans shall be prepared to the satisfaction of the Public Works Department. Additionally, Street Lighting plans in accordance with the City of Beaumont Outdoor Lighting ordinance shall be submitted in conjunction with the Street Improvement Plans. Street Lights shall be reviewed and approved by the Planning and Building Department with appropriate fees paid. All Mailbox clusters shall have appropriate lighting as approved by the City.
- 80. No side-entry garages shall be proposed for this subdivision.

**FINAL INSPECTION/OCCUPANCY CONDITIONS**

Prior to the FINAL BUILDING INSPECTION or issuance of OCCUPANCY PERMITS, whichever occurs first, all the following conditions shall be satisfied:

- 81. Decorative block and sound walls shall be constructed subject to the approval of the Public Works Department and Planning Department. A graffiti resistant coating or landscaping shall be provided on all block walls.
- 82. Wall and fence locations shall conform to the approved wall fencing plan and approved landscape and irrigation plans.
- 83. All landscaping and irrigation shall be installed in accordance with approved plans. If the seasonal conditions do not permit planting, interim landscaping, and erosion control measures shall be utilized as approved by the Planning Department and the Public Works Department.
- 84. A licensed landscape architect shall provide a Compliance Letter to the Planning Department and the Public Works Department stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans, Municipal Code and conditions of approval. The Compliance Letter shall be submitted at least three (3) working days prior to any final building inspection or issuance of any occupancy permits, whichever occurs first.

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- 85. All landscaping and irrigation shall be installed in accordance with approved plans and shall be verified by a City field inspection and applicable fees paid at the direction of the Planning Department.
- 86. All driveways shall be concrete paved.
- 87. Access roads, street improvements, all agency requirements, parking areas and security lighting shall be constructed in accordance with approved improvement plans and specifications.
- 88. Clearance shall be obtained from the Beaumont Fire Department, and all fire protection improvements shall be in place as approved by the Fire Chief.

**PUBLIC WORKS CONDITIONS**

**GENERAL**

The following is a non-inclusive list of items that may be required by the Public Works Department:

A. Plans:

- Recorded Parcel Map 37366
- Final Map
- Street Improvement Plan
- Street Light Plan
- Landscape Plan offsite
- Rough Grading Plan
- Precise Grading Plan
- Erosion Control Plan
- Retaining wall Plan (for line and grade only)
- Sewer Improvement Plan
- Sewer Lift Station and Forced Main Plan
- BCVWD Water Improvement Plan
- Storm drain Improvement Plans
- Traffic Control Plan

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B. Reports & Studies:

- Traffic Impact Analysis (TIA)- TIA used for EIR is acceptable
- Soils Investigation Report
- Pad Certification
- Stormwater Pollution Prevention Plan (SWPPP)
- Hydrology and Hydraulics Report
- Preliminary Water Quality Management Plan (P-WQMP)- (P-WQMP submitted and approved)
- Final Water Quality Management Plan (F-WQMP)
- Offsite Improvement Engineer’s Cost Estimate (ECE)

C. Permits and agreements:

- CWA Section 401 Certification to Protect Wetlands (401 Certification)
- CWA Section 404 Permit (404 Permit)
- Fish and Game Code section 1602 (Streambed Alteration Agreement)
- Permission to Grade and Construction agreements
- WQMP Covenant and Agreement
- City Grading Permit
- City Dirt Haul Permit
- City Encroachment Permit
- County Encroachment Permit
- Subdivision Improvement Agreement
- Performance Bond
- Labor & Material Bond
- Survey Monument Bond
- Maintenance Bond
- Homeowners Association Covenants, Conditions and Restrictions (CC&Rs)

89. The design of public infrastructure elements shall conform to the requirements of the City’s General Plan, Water Quality Management Plan, Master Plans, City of Beaumont Standards, Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification, Caltrans Standard Specifications and the Standard Specifications for Public Works Construction, current edition.

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90. The design of private site improvements and grading work outside of road right of way shall conform to the latest edition of California Building Code (CBC) and the City of Beaumont standards and practices.
91. All required plans and studies shall be prepared by a Registered Professional Engineer, Registered Professional Geologist or Registered Professional Surveyor in the State of California, and submitted to the Public Works Department for review and approval.
92. Applicant shall coordinate with affected utility companies and obtain any permits as necessary for the development of this project.
93. The Applicant is responsible for resolving any conflicts with existing or proposed easements. All easement(s) of record and proposed easements shall be shown on the final map, grading plan and improvement plans, where applicable.
94. The Applicant shall obtain an Encroachment Permit, as required from the appropriate agency, for all work within the public right-of-way.
95. Where survey monuments exist, such monuments shall be protected or shall be referenced and reset, pursuant to Business and Professions Code, Sections 8700 to 8805 (Land Surveyors Act).
96. Projects with multiple phases shall submit a plan clearly showing the public improvements to be constructed with each phase of the project. Public improvements identified shall be constructed to the satisfaction of the Public Works Director prior to issuance of the 1st certificate of occupancy (COO) for that phase.
97. The Applicant shall submit a copy of Covenants, Conditions and Restrictions (CC&Rs) to the city for conformance review. The CC&Rs shall be enforceable by the Homeowners Association (HOA), shall not be amended without City approval, shall require maintenance of all property in a good condition, and be in accordance with all City Ordinances.
98. The HOA shall be responsible for operating and maintaining all stormwater basins, water quality basins, parkway landscaping and private open space constructed as part of this project, unless otherwise approved by the Planning and Public Works Department.

## **MAPPING**

99. **PRIOR TO OBTAINING ANY BUILDING PERMIT:** The final map must be recorded.

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- 100. PRIOR TO MAP RECORDATION: Parcel Map No. 37366 shall be approved and recorded.
  
- 101. PRIOR TO MAP RECORDATION: the following plans shall be approved by the City and applicable agencies:
  - A. Street Improvement Plan
  - B. Signing and Striping Plan
  - C. Street Light Plan
  - D. Storm Drain Improvement Plan
  - E. Final WQMP
  - F. Sewer Improvement Plan
  - G. Lift Station Improvement Plan
  - H. Force Main Improvement Plan
  - I. Water Improvement Plan
  
- 102. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare the map in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification; Riverside County Ordinance 460; and RCTD Map Preparation Manual.
  
- 103. PRIOR TO FINAL MAP RECORDATION: The applicant shall pay all applicable fees consisting of, but not be limited to, area drainage fee; bridge and major thoroughfare fees. Per the Municipal Code, certain fees may be delayed to building permit issuance.
  
- 104. PRIOR TO FINAL MAP RECORDATION: The applicant shall prepare and fully execute a Subdivision Improvement Agreement (SIA) with the City (On City approved format and forms). If the final map and/or improvements will be phased, an SIA will be required for each phase.
  
- 105. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide securities guaranteeing the payment of the cost for all public improvements. The securities shall include Faithful Performance and labor and materials for 100% of the approved Engineer’s Cost Estimate (ECE).
  
- 106. PRIOR TO FINAL MAP RECORDATION: The Applicant shall comply with Government Code Section 66436(a)(3) before approval of the final map and shall provide “no objection” letters from all public entities or utilities.

107. PRIOR TO FINAL MAP RECORDATION: When changes to an approved Tentative Map are proposed, a Substantial Compliance Exhibit, in the same scale as the Tentative Map, shall be submitted for review and approval by the Public Works Director.
108. PRIOR TO FINAL MAP RECORDATION: Monuments shall be provided in accordance with Section 8771 of the Business and Professions Code. Cross-ties shall be set in top of curbs and tie sheets shall be submitted to the Public Works Department. Per the Subdivision Map Act, Section 66496, internal monuments may be set at a later date if the applicant furnishes security guaranteeing the payment of the cost of setting such monuments.
109. PRIOR TO FINAL MAP RECORDATION: The applicant shall provide an easement to, over and across all private water quality, stormwater and drainage basins, to be dedicated to the City, for ingress, egress and right to inspect . The City will not maintain any basin unless expressly stated in writing by the Public Works Director.
110. PRIOR TO FINAL MAP RECORDATION: The applicant shall show all right-of-way dedications necessary for the construction of all streets, on the Final Map, including but not limited to:
- A. All interior streets, as shown on Tentative Map No. 37697 dated October 2019, show a full-width dimension of 50-foot right-of-way to right-of-way (50-foot R/W width). The interior streets are based on the adopted Specific Plan and not a City standard. Therefore, the applicant shall be conditioned to construct the typical sections as shown on said tentative map and adopted Specific Plan. The Applicant shall verify that the appropriate right-of-way exist and/or the Applicant shall dedicate all additional right-of-way necessary to achieve the required 50-foot full-width.
  - B. Per separate instrument, additional right-of-way shall be dedicated along Street “D” to allow for the construction of improvements conditioned under the “Street Improvements” section of this document.
  - C. The applicant shall dedicate on the final map, a five foot (5’) public utility easement (PUE) coincident with the interior right-of-way, each side of a typical street.
111. PRIOR TO FINAL MAP RECORDATION: The right-of-way corner cutback shall be established per RCTD std. 805 as follows: Along a straight line projected from the intersection of the radial line passing through the beginning of the curb return, and the corresponding right-of-way line to the intersection of the radial line, passing through the

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end of the curb return at the corresponding right-of-way line, or as directed by the Engineering Department.

A. The applicant has requested a deviation from std. 805 for various locations. The deviations will be accepted, as currently shown on the tentative map. The applicant is still required to meet all ADA requirements and no public improvement shall encroach into private property.

- 112. PRIOR TO FINAL MAP RECORDATION: The Applicant, at its sole expense, shall obtain all right-of-way or easement acquisitions necessary to implement any portion or condition of this map, including public improvements; off-site grading & construction; offsite street requirements; offsite sewer requirements; storm drain improvements; or any other requirement or condition, prior to the City’s consideration of the final map.
- 113. PRIOR TO FINAL MAP RECORDATION: The Applicant shall show all drainage, landscaping, open space or other non-residential use lots, as lettered lots on the final map.
- 114. PRIOR TO FINAL MAP RECORDATION: The Applicant shall provide all agreements for permission to construction and grade for all applicable offsite areas that currently do not have a recorded easement.

**STREET IMPROVEMENTS**

- 115. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall prepare the Street Improvement plan, Signing and Striping plan, and Street Light Plan in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; Riverside County Transportation Department (RCTD) Road Improvement Standards & Specification (Ordinance 461); Riverside County Ordinance 460; and California M.U.T.C.D.
- 116. PRIOR TO ISSUANCE OF ENCROACHMENT OR GRADING PERMIT: The Applicant shall coordinate the design of any public infrastructure that encroaches within the County right-of-way. Written approval shall be provided to the Public Works Department.
- 117. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The Applicant shall submit a Construction Traffic Management Plan per the California M.U.T.C.D., for review and approval by the Public Works Director.

- 118. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall analyze the turning radii for impact to the maneuverability of fire apparatus and demonstrate adequate clearance. Any deficiencies will need to be identified and discussed with the Public Works Director.
- 119. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall replace any sidewalk, curb and gutter, drive approach, AC pavement or other improvement damaged during construction as determined necessary by the Public Works Director. If the improvements are phase, the condition is applicable to the 1st COO of the corresponding phase.

**TUKWET CANYON PARKWAY (DIVIDED COLLECTOR 78' R/W)**

- 120. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Tukwet Canyon Parkway, coincident with the tract boundary and from the tract boundary to Oak Valley Parkway, continuous and inclusive of all intersections. The applicant shall secure all right-of-way necessary by separate instrument. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall include:
  - A. 6” Curb and Gutter per RCTD std. 200 @ 28-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. 14’ wide raised median shall be per RCTD std. 113, or as directed by the Public Works Director.
  - D. Street structural sections shall be designed with a Traffic Index per soils recommendations (7.0 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4” AC/6” AB.
  - E. Tukwet Canyon Parkway shall be designated as a weight restricted road. The Applicant shall install signs with a weight restriction provided by the Public Works Director at the time of construction.

**STREETS “A”, “B”, “C”, “E”, “F” & “G”**



121. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct full-width improvements for Streets “A”, “B”, “C”, “D”, “E”, “F” & “G” per the alignment shown on said tentative map. The improvements shall include:
- A. 6” Curb and Gutter per RCTD std. 200 @ 18-feet from street centerline, each side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. Street structural sections shall be designed with a Traffic Index per soil engineer’s recommendations (5.5 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4” AC/6” AB.

**Street “D”**

122. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct half-width improvements for Street “D”, per the alignment shown on said tentative map. The improvements shall include:
- A. 6” Curb and Gutter per RCTD std. 200 @ 18-feet from street centerline, south side. Curb height may be increased to mitigate the 10-year storm event, as directed by the Public Works Director;
  - B. Sidewalks shall be curb-adjacent type per RCTD std. 401 and the adopted specific plan, unless otherwise directed by the Planning Department;
  - C. Street structural sections shall be designed with a Traffic Index per soil engineer’s recommendations (5.5 minimum). Preliminary soils investigations shall be used by the Engineer to determine an appropriate R-value and the pavement and base thickness based on the established Traffic Index. In no case shall the minimum pavement section be less than 4” AC/6” AB.
  - D. If existing improvements do not exist along Street “D” at the time of construction, the applicant shall construct a 10-foot wide paved lane north of the centerline for a total paving width of 28’. The applicant shall secure all right-of-way necessary by separate instrument.

**GRADING AND DRAINAGE**

- 123. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall prepare the grading plans in accordance with the City of Beaumont Municipal Code, General Plan, Specific Plan, and standards; California Building Code (current edition); and recommendations of a soil engineer.
  
- 124. PRIOR TO ISSUANCE OF A GRADING PERMIT: The applicant shall obtain a National Pollutant Discharge Elimination System (NPDES) Construction General Permit for stormwater discharges associated with construction activities as required by the California Water Resources Control Board.
  
- 125. PRIOR TO ISSUANCE OF A GRADING PERMIT: A Storm Water Pollution Prevention Plan (SWPPP) shall be prepared and submitted to the California Water Resources Control Board. The developer shall be responsible for implementation, monitoring, operation, and maintenance of the SWPPP until all improvements have been accepted by Public Works Department or construction is complete, whichever is later.
  
- 126. PRIOR TO ISSUANCE OF A GRADING PERMIT: A copy of the Notice of Intent (NOI) and Waste Discharge Identification (WDID) number from the State Water Resources Control Board shall be provided to the Public Works Department.
  
- 127. PRIOR TO ISSUANCE OF GRADING PERMIT: As part of the Grading Plan Submittal Application, the Applicant shall submit for review and approval, a Final Drainage Report. The Final Drainage Report be in substantial conformance with the approved preliminary drainage report. The project shall:
  - A. Follow the general guidelines set forth by Riverside County Flood Control and Water Conservation District’s (RCFC&WCD) Hydrology Manual.
  - B. Design all conveyances to handle the peak flow from a 100-year event.
  - C. Examine the 10-year and 100-year storm events utilizing the RCFC&WCD rational method. The 10-year storm flow shall not exceed the top of curb depth. 100-year storm flow shall not exceed the right-of-way line. If the 10-year storm flow exceeds the top of curb depth, underground storm drain facilities will be required;
  - D. Examine the 2, 10 and 100-year storm frequencies in combination with the 1,3,6 and 24-hour storm durations utilizing the RCFC&WCD synthetic unit hydrograph method;
  - E. Mitigate for increased runoff by directing drainage to a downstream facility that has sufficient capacity or mitigate the increased runoff onsite.

128. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a rough grading plan. The grading design shall incorporate the following:

- A. conform to the standards of the latest edition of the California Building Code (CBC) and the Beaumont Municipal Code;
- B. Setbacks for cut/fill slopes from the property line shall be in accordance with the CBC or as approved by the Public Works Director;
- C. Lots shall be designed and graded to drain to abutting street, on which the driveway for the respective lot will occur. No lot shall drain onto adjacent properties. Drainage devices shall be required to convey storm water from lot onto abutting street. Curb cores shall be required for onsite lot drainage to discharge out into abutting street;
- D. Building foundation clearance requirements for top of slope and toe of slope shall conform to (Chapter 18 – Soils and Foundations) of the latest edition of the California Building Code;
- E. Design the site to adequately intercept and convey all off-site run-on through the site and discharge in a manner which will not increase damage, hazard, or liability to adjacent or downstream properties;

129. ADVISORY CONDITION: The project has several proposed slopes with a height close to 30 feet. Slope in excess of 30 feet will not be permitted in the field.

130. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall design the extended detention basin per the Riverside Flood Control District, LID manual and include the following:

- A. An access road that allows easy access to the bottom of the basin for maintenance;
- B. An emergency overflow weir or spillway;
- C. Drain within 72 hours or otherwise comply with relevant standards for vector control. If the 72-hour limit cannot be reached, the applicant shall implement other features to meet the requirement. This may include dry-wells, underdrain, larger surface area, etc;
- D. Security fencing along the perimeter of the basin w/ appropriate signage;
- E. Fire Department Rapid Entry System;
- F. Access from public right-of-way.

131. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall adhere to all Federal Emergency Management Agency (FEMA) regulations and requirements in the

event that existing drainage patterns are affected by this development. The applicant shall submit to the City of Beaumont and to any governing Federal agency for review and approval, all necessary calculations.

- 132. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a soils/ geology report.
- 133. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, an Erosion Control Plan that addresses Site Construction BMPs.
- 134. PRIOR TO ISSUANCE OF GRADING PERMIT: The applicant shall submit for review and approval, a Final WQMP (F-WQMP). The F-WQMP shall be in substantial conformance with the approved preliminary Project-Specific WQMP and the document “Water Quality Management Plan – A Guidance Document for the Santa Ana Region of Riverside County,” dated October 2012 (Guidance Document)
- 135. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall record a “Covenant and Agreement” with the County Recorder, or other instrument acceptable to the City, to inform future property owners of the requirement to implement the approved project-specific WQMP for each parcel.
- 136. PRIOR TO ISSUANCE OF GRADING PERMIT: The Applicant shall obtain all permits and approvals from all regulatory agencies with jurisdiction over any portion of this project. Potentially including, but not limited to: Riverside County Flood Control, State Department of Fish and Game, State Water Resource Control Board and US Army Corps of Engineers.
- 137. CONCURRENT WITH GRADING OPERATIONS: Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the Public Works Director for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the Public Works Director for review and approval, which may require additional tests at the expense of the applicant.
- 138. CONCURRENT WITH GRADING OPERATIONS: The Applicant shall construct temporary drainage facilities and erosion control measures to minimize erosion and silt deposition.
- 139. PRIOR TO FOUNDATION TRENCHING: The applicant shall submit a soil compaction report to the City for review and approval.

140. PRIOR TO OBTAINING ANY BUILDING PERMIT: The applicant shall submit pad certifications letters and pad compaction reports to the City for review and Approval.

**STORM DRAIN IMPROVEMENTS**

141. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall design the storm drain system and facilities in accordance with Beaumont Municipal Code, General Plan, Specific Plan, and Standards; the Riverside County Flood Control District standards; hydrology manual; and Low Impact Development (LID) BMP Design Handbook.

142. PRIOR TO ISSUANCE OF GRADING PERMIT: All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

143. PRIOR TO ISSUANCE OF A GRADING PERMIT: The stormwater generated within the development shall be captured into appropriate drainage facilities. The stormwater shall be treated per the requirements of the approved P-WQMP.

144. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall construct all storm drain facilities to accommodate WQMP requirements and Hydraulic Conditions of Concerns (HCOC) requirements. If the improvements are constructed by others, this condition, or portions of, will not be applicable. The improvements shall consist of:

- A. Storm drain network within the tract boundary;
  - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
- B. Storm drain network from the tract boundary to the Sorenstam Water Quality Basin;
  - i. Including all catch basins and facilities necessary for the complete operation and conveyance of storm water and treated water.
  - ii. Including all laterals, catch basins, manholes, junctions, transitions and other facilities within Tukwet. The applicant shall extend all future connections to outside Tukwet right-of-way and bulkhead as necessary.
- C. Sorenstam Water Quality Basin;
  - iii. Basin shall be constructed with the same requirements as the extended detention basin.

D. PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT: The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities.

145. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): All storm drains, catch basins, and storm water structures shall be provided with trash capture devices that conform with the approved trash capture list issued by the State Water Board.

**SEWER IMPROVEMENTS**

146. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The sanitary sewer system shall be designed and constructed to collect and convey sewage to the City’s Upper Oak Valley Lift Station in accordance with the Master Sewer Plan and Beaumont Municipal Code, Eastern Municipal Water District (EMWD) standards, and as follows:

- A. The minimum pipe size for sewer shall be 8”;
- B. All sewer laterals from homes shall be connected to the sewer main in the street.
- C. Gravity sewer pipes 12” or less in diameter shall be designed to flow at a maximum depth of one-half of the pipe diameter. Sewer flow calculations shall be provided;
- D. Gravity sewer pipes 15” or larger shall be designed to flow at a maximum depth of three-quarters of the pipe diameter. Sewer flow calculations shall be provided;
- E. Sewer line locations shall follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.

147. PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO): The Applicant shall design and construct the sewer network necessary for the complete operation of the sewer system which includes:

- A. The entire sewer system within the tract boundary;
- B. All necessary sewer mains that occur outside the tract boundary;
- C. Sewer lateral wyes along any of the mains constructed as part of this tract, for all future connections;
- D. Lift station;

- E. Forced main lines and gravity lines that will connect the lift station to the existing Upper Oak Valley lift station, and all necessary facilities.
  
- 148. **PRIOR TO ISSUANCE OF 1st OCCUPANCY PERMIT (COO):** The Applicant shall design and construct a sewer lift station and force main per EMWD standards. Redundant pumps and a bypass system for the lift station shall be incorporated into the design of the lift station. The applicant shall secure all right-of-way and/or easements necessary for the complete construction and operation of all facilities. If the improvements are constructed by others, this condition, or portions of, will not be applicable.
  
- 149. **PRIOR TO ANY BUILDING PERMIT AND PRIOR TO CONNECTING TO A PUBLIC SEWERAGE SYSTEM:** The applicant shall pay the sewage disposal facility charge (connection fee) for not less than 25 percent of the lots to which sewers are available before the connection to the City system is made and shall pay the charge for each additional lot thereafter upon building permit or connection for the respective lot(s).
  
- 150. **ADVISORY CONDITION:** The existing Mesa sewer lift station is currently (2020) being assessed for capacity as part of a citywide Master Sewer Plan update. It is anticipated that the existing lift station has some capacity for this development; however, the assessment will identify the available capacity. The City may elect to develop a Capital Improvement Project to increase capacity based on need, available funding and schedule.

**WATER IMPROVEMENTS**

- 151. **PRIOR TO FINAL MAP RECORDATION:** The Applicant shall be responsible for obtaining potable water and reclaimed water for the development.
  
- 152. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall comply with the requirements of the Beaumont Cherry Valley Water District.
  
- 153. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure all fire hydrants; air vacs and other above ground water facilities are placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with the finished surfaces and are properly rated for chosen locations as approved by the Public Works Director.
  
- 154. **PRIOR TO ISSUANCE OF OCCUPANCY PERMIT (COO):** The applicant shall ensure that water line locations follow the State Department of Health requirements for water line and sewer line separations both horizontally and vertically. If pertinent conditions do

Tentative Tract Map No. 37697 (TM2019-0007)  
Conditions of Approval  
Page 29

not allow for the required separations horizontally and vertically, the proposed separations shall be submitted to the Public Works Director for review and approval.

End of Conditions



| NO. | BY | REVISIONS DESCRIPTION |
|-----|----|-----------------------|
|     |    |                       |
|     |    |                       |

# TENTATIVE TRACT NO. 37697

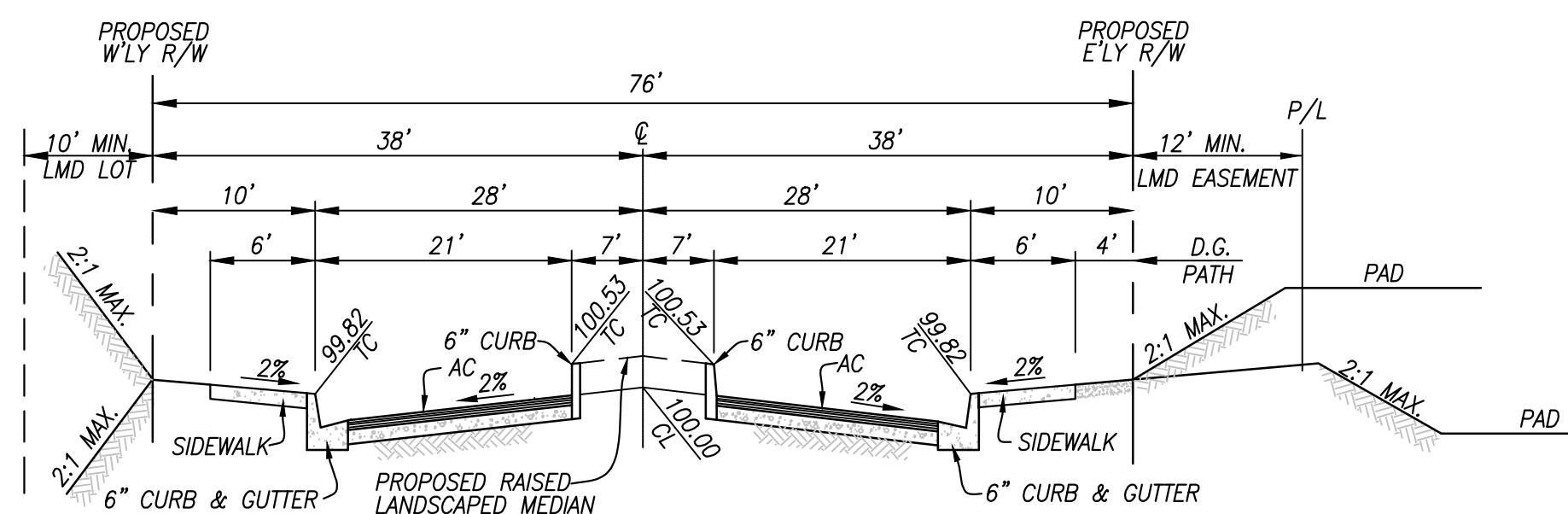
CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

"SINGLE FAMILY SUBDIVISION"

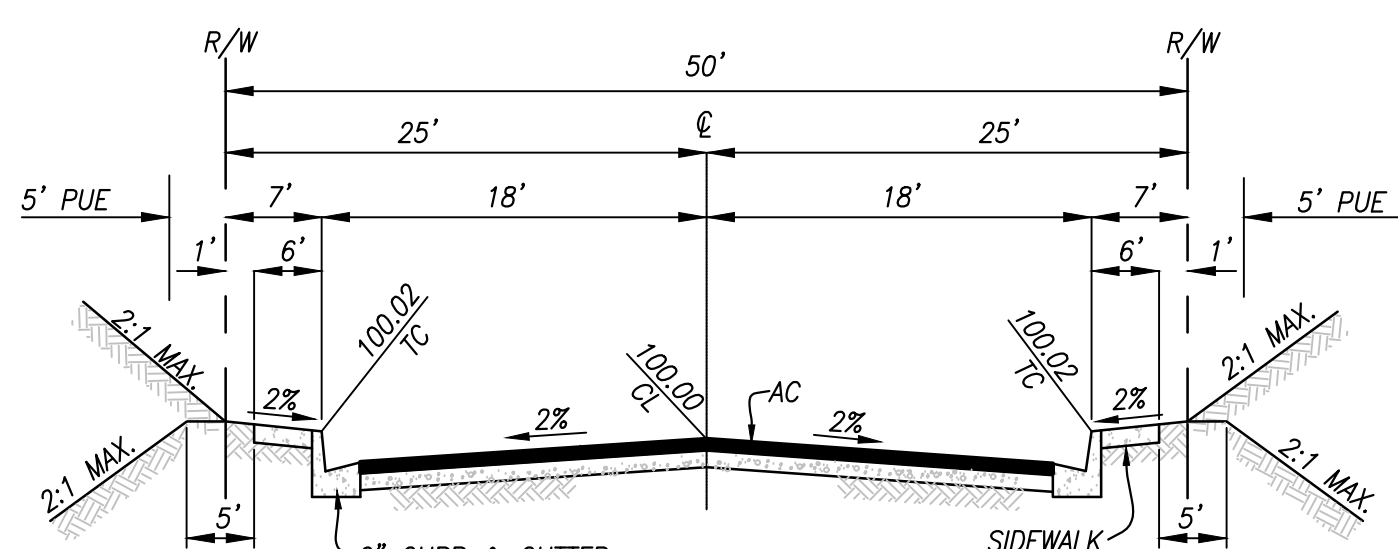
### LEGAL DESCRIPTION

PORTION OF PARCEL "D" OF LOT LINE ADJUSTMENT NO. 04-LLA-13, AS RECORDED 10/19/04, PER INSTRUMENT NO. 2004-0826803, OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, IN THE CITY OF BEAUMONT, STATE OF CALIFORNIA, AND LYING WITHIN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 2 WEST, S.B.B.M.

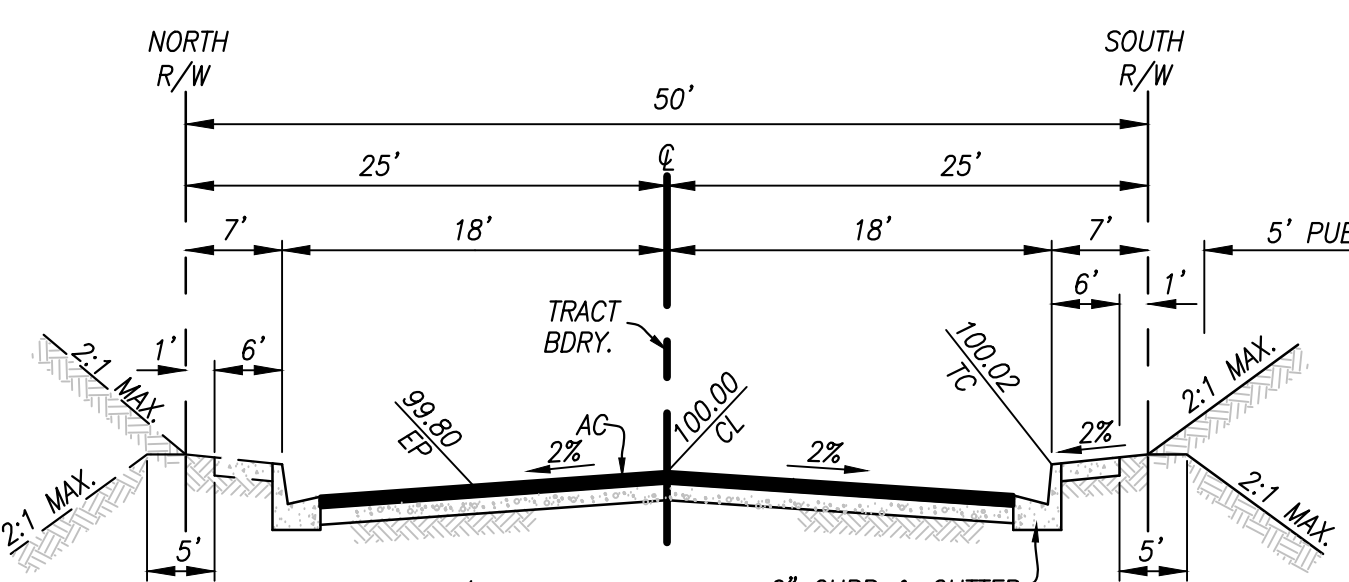
DECEMBER 2019



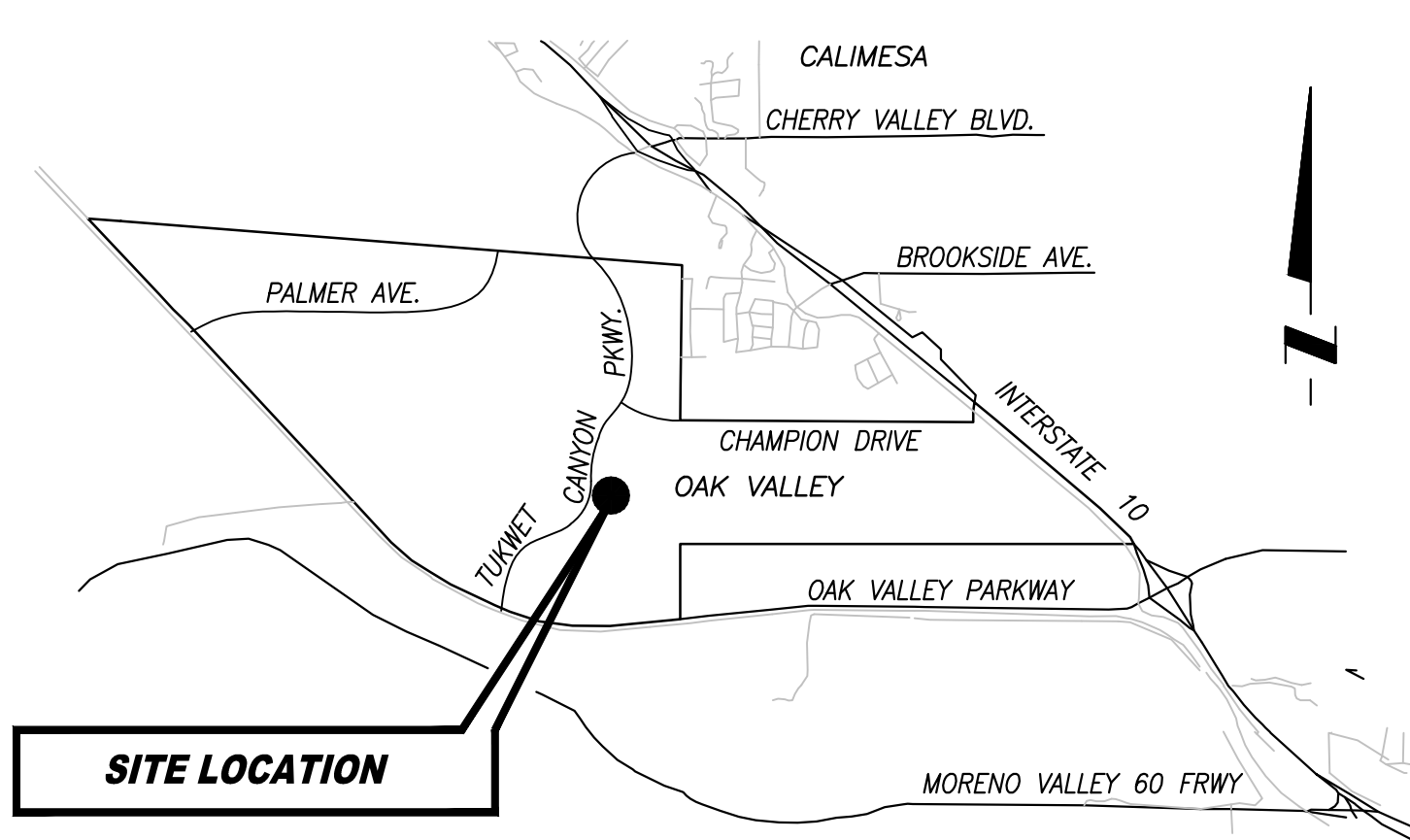
(MODIFIED R.C.T.D. STD. 103)  
**TYPICAL 76' STREET SECTION**  
TUKWET CANYON PARKWAY N.T.S.



**STREET "A", "B", "C" AND "E"**  
STREETS 50' SECTION N.T.S.



**STREET "D"**  
STREETS 50' SECTION N.T.S.  
NOTE: TR. 37697 TO CONSTRUCT FULL CURB-TO-CURB IMP.



**VICINITY MAP**  
N.T.S.

### GENERAL NOTES

- THIS TENTATIVE TRACT MAP IS LOCATED WITHIN THE OAK VALLEY SPECIFIC PLAN NO. 318
- THE LAND INCLUDED WITHIN THE BOUNDARY OF THE TRACT MAP SHOWN HEREON INCLUDES A PORTION OF THE CONTIGUOUS OWNERSHIP OF SDC FAIRWAY CANYON, LLC
- THIS PROJECT LIES WITHIN FLOOD ZONE C AS SHOWN ON FIRM COMMUNITY-PANELS NO. 060245 0785 A, MAP REVISED APRIL 15, 1980.
- PORTION OF ASSessor'S PARCEL NUMBER 413-790-020, SEE INDEX MAP BELOW.
- TOTAL NUMBER OF LOTS: 73  
TOTAL NUMBER OF LETTERED LOTS: 8
- ACREAGE BEING SUBDIVIDED: 13.19 ACRES GROSS.
- THIS PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
- ALL OPEN AREAS ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.
- THIS SITE IS NOT LOCATED WITHIN A COMMUNITY SERVICE DISTRICT
- THIS SITE IS NOT LOCATED WITHIN ANY FAULT HAZARD ZONE.
- NO WELLS LIES WITHIN PROPERTY OR WITHIN 200' OF PROPERTY BOUNDARY.
- NO SUBSURFACE SEPTIC SEWAGE DISPOSAL IS PROPOSED.
- GENERAL PLAN DESIGNATION: SPECIFIC PLAN NO. 318, ADOPTED 4/10/1990. (SINGLE FAMILY RESIDENTIAL)
- THERE ARE NO EXISTING DWELLING, BUILDINGS (ABOVE OR BELOW GROUND), NO FENCES, GATES, WALLS, ETC. ON THE PROPERTY, EXCEPT AS SHOWN.
- LOTS "A" THROUGH "E" TO BE DEDICATED TO THE CITY OF BEAUMONT FOR ROAD AND PUBLIC UTILITY PURPOSES.
- LOTS "F" AND "H" TO BE MAINTAINED BY HOMEOWNER'S ASSOCIATION.
- MAP PREPARATION DATE: 5/2019

### ZONING/LAND USE

EXISTING ZONING: SPECIFIC PLAN 318 (PLANNING AREA 25)  
PROPOSED LAND USE: RESIDENTIAL  
EXISTING LAND USE: VACANT  
SURROUNDING LAND USE: VACANT/GOLF COURSE  
PROPOSED ZONING CRITERIA:  
A) PER SP 318  
- MIN. LOT SIZE: 3,800 S.F.  
(ALL LOTS CONTAIN 3,800 S.F. MIN. NET LOT AREA)  
- MIN. AVERAGE LOT WIDTH: 40'  
(35' MIN. FRONTAGE ON KNUCKLES & CUL-DE-SAC)  
- MIN. AVERAGE LOT DEPTH: 100'  
- MIN. FRONT YARD SETBACK: 20' (TO GARAGE FACE)  
- MIN. SIDE YARD SETBACK: 5'  
- MIN. REAR YARD SETBACK: 10'

### SCHOOL DISTRICT

BEAUMONT UNIFIED SCHOOL DISTRICT  
500 GRACE AVENUE  
P.O. BOX 187  
BEAUMONT, CA 92223  
TEL: (909) 845-1631

### TOPOGRAPHY SOURCE

ROBERT J. LUNG & ASSOCIATES  
2832 WALNUT AVE, SUITE "E"  
TUSTIN, CA 92708  
PH: (714) 832-2077

### BENCHMARK:

USGS - MONUMENT "REST"  
88 DATUM  
ELEV. 2494.16  
BENCHMARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "REST 1972" ON DESERT LAWN DR. ACROSS THE DRIVE FROM DESERT LAWN CEMETERY 23.5 FT. NORTHEAST OF THE DRIVE CENTERLINE 24.9 FT. SOUTHWEST OF THE SOUTHWEST EDGE OF THE SOUTHEAST BOUND LANES OF INTERSTATE HIGHWAY 10.

| EARTHWORK QUANTITIES (ROUGH GRADE PADS TO MASS GRADING) |            |             |       |
|---|------------|-------------|-------|
| TTM NO.   | CUT (C.Y.) | FILL (C.Y.) | TOTAL |
| 37696   | 25,081     | 25,081      |       |
| 37697   | 26,371     | 26,371      |       |
| 37698   | 42,552     | 42,552      |       |
| TOTAL   | 94,004     | 94,004      |       |

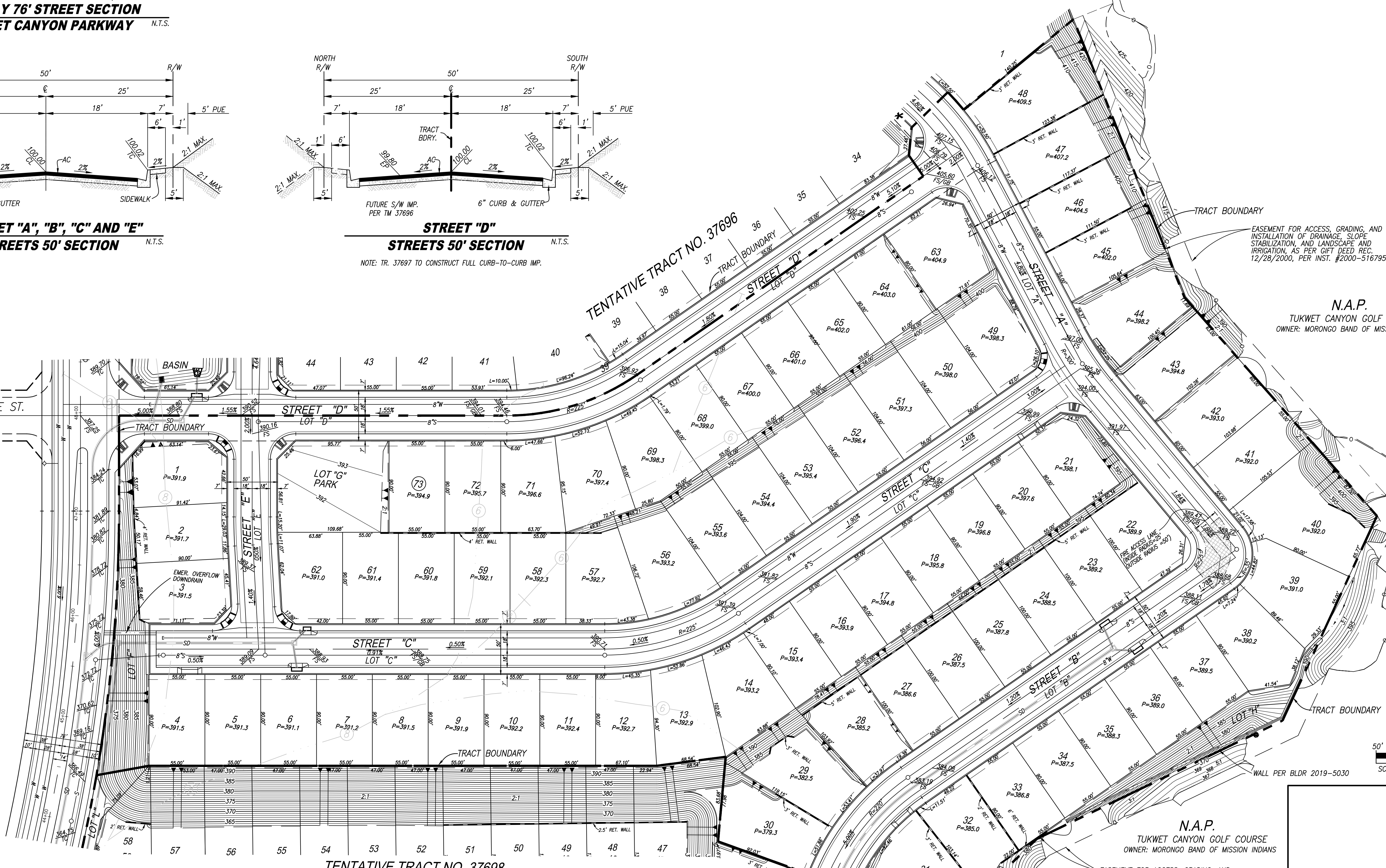
| TRACT NO. | MIN. LOT SIZE | AVG. LOT SIZE | AVG. LOT WIDTH | AVG. LOT LENGTH |
|-----------|---------------|---------------|----------------|-----------------|
| 37696     | 4,947         | 6,256         | 62             | 102             |
| 37697     | 4,949         | 5,673         | 56             | 97              |
| 37698     | 3,800         | 5,030         | 51             | 101             |
| OVERALL   | 3,800         | 5,539         | 56             | 100             |

### OWNER/DEVELOPER

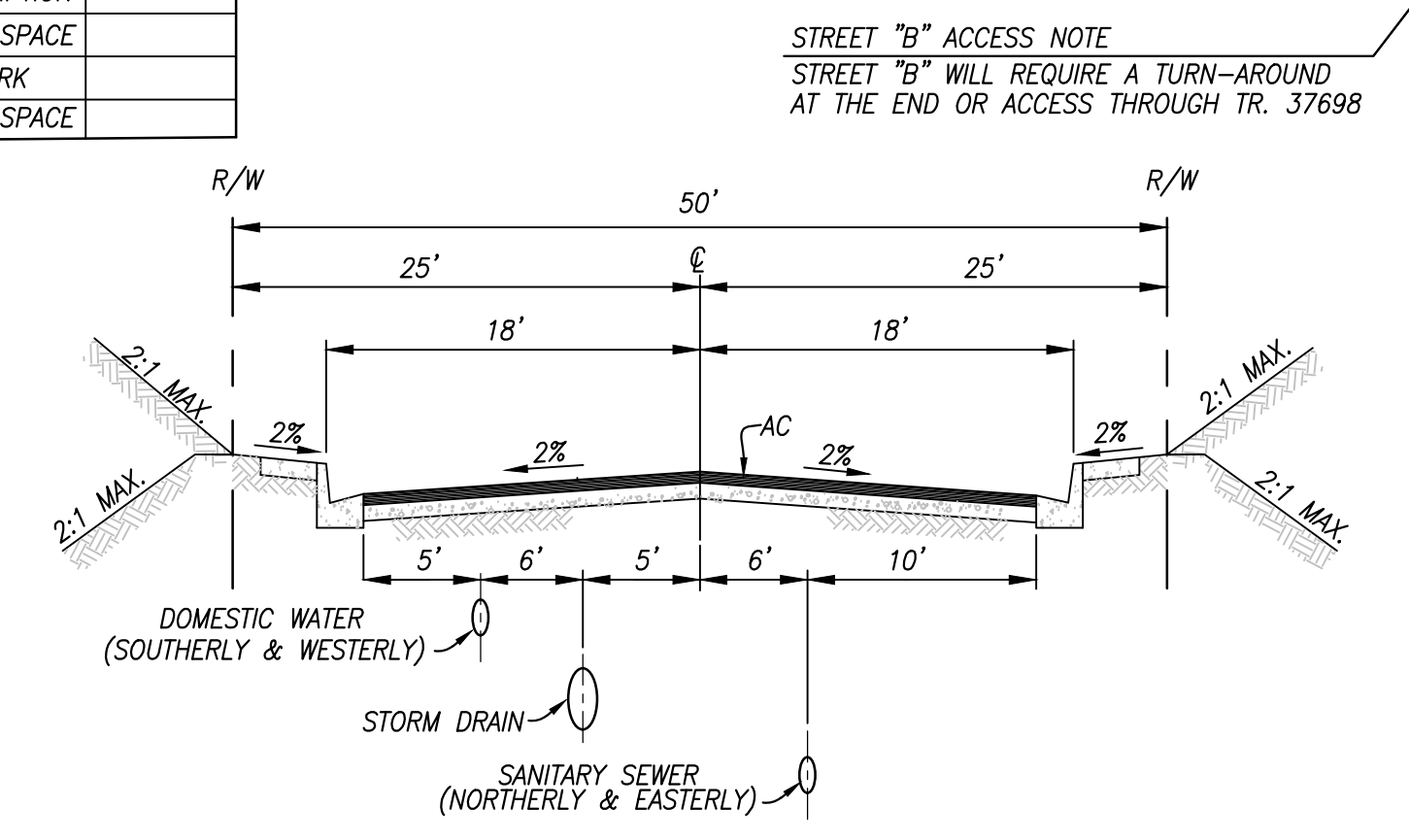
**ARGENT MANAGEMENT**  
2392 MORSE AVE.  
IRVINE, CA 92614  
(949) 241-8403 OFFICE  
CONTACT: CHERYL THOMPSON

### ENGINEER / REPRESENTATIVE

**PROACTIVE ENGINEERING CONSULTANTS WEST, INC.**  
25109 JEFFERSON AVE, SUITE 200  
MURRIETA, CA 92562  
951-200-8840



| LOT SUMMARY TABLE |           |            |            |         |           |            |            |         |           |            |            |
|-------------------|-----------|------------|------------|---------|-----------|------------|------------|---------|-----------|------------|------------|
| LOT NO.           | AREA (SF) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SF) | AVG. WIDTH | AVG. DEPTH | LOT NO. | AREA (SF) | AVG. WIDTH | AVG. DEPTH |
| 1                 | 5,604     | 64'        | 77'        | 26      | 5,500     | 55'        | 100'       | 51      | 5,824     | 56'        | 104'       |
| 2                 | 4,974     | 55'        | 91'        | 27      | 5,500     | 55'        | 100'       | 52      | 5,720     | 55'        | 104'       |
| 3                 | 5,412     | 62'        | 81'        | 28      | 6,490     | 63'        | 100'       | 53      | 5,720     | 55'        | 104'       |
| 4                 | 4,950     | 55'        | 90'        | 29      | 7,911     | 68'        | 109'       | 54      | 5,720     | 55'        | 104'       |
| 5                 | 4,950     | 55'        | 90'        | 30      | 6,683     | 60'        | 106'       | 55      | 5,720     | 55'        | 104'       |
| 6                 | 4,950     | 55'        | 90'        | 31      | 6,970     | 67'        | 105'       | 56      | 6,719     | 63'        | 107'       |
| 7                 | 4,950     | 55'        | 90'        | 32      | 5,448     | 56'        | 100'       | 57      | 6,449     | 63'        | 102'       |
| 8                 | 4,950     | 55'        | 90'        | 33      | 4,950     | 55'        | 90'        | 58      | 4,950     | 55'        | 90'        |
| 9                 | 4,950     | 55'        | 90'        | 34      | 4,950     | 55'        | 90'        | 59      | 4,950     | 55'        | 90'        |
| 10                | 4,950     | 55'        | 90'        | 35      | 4,950     | 55'        | 90'        | 60      | 4,950     | 55'        | 90'        |
| 11                | 4,950     | 55'        | 90'        | 36      | 4,951     | 55'        | 90'        | 61      | 4,950     | 55'        | 90'        |
| 12                | 5,217     | 57'        | 92'        | 37      | 4,949     | 55'        | 90'        | 62      | 5,461     | 62'        | 90'        |
| 13                | 5,886     | 61'        | 98'        | 38      | 6,125     | 62'        | 90'        | 63      | 6,731     | 75'        | 90'        |
| 14                | 6,053     | 66'        | 96'        | 39      | 6,346     | 66'        | 106'       | 64      | 5,490     | 61'        | 90'        |
| 15                | 4,950     | 55'        | 90'        | 40      | 10,214    | 90'        | 120'       | 65      | 4,950     | 55'        | 90'        |
| 16                | 4,950     | 55'        | 90'        | 41      | 5,762     | 55'        | 105'       | 66      | 4,950     | 55'        | 90'        |
| 17                | 4,950     | 55'        | 90'        | 42      | 6,185     | 60'        | 103'       | 67      | 4,950     | 55'        | 90'        |
| 18                | 4,950     | 55'        | 90'        | 43      | 6,385     | 63'        | 101'       | 68      | 4,950     | 55'        | 90'        |
| 19                | 4,950     | 55'        | 90'        | 44      | 7,162     | 70'        | 103'       | 69      | 5,733     | 63'        | 90'        |
| 20                | 4,950     | 55'        | 90'        | 45      | 5,971     | 55'        | 109'       | 70      | 5,729     | 62'        | 93'        |
| 21                | 6,236     | 70'        | 90'        | 46      | 6,294     | 55'        | 114'       | 71      | 5,366     | 59'        | 93'        |
| 22                | 6,077     | 63'        | 100'       | 47      | 6,886     | 55'        | 120'       | 72      | 4,950     | 55'        | 90'        |
| 23                | 5,500     | 55'        | 100'       | 48      | 8,477     | 66'        | 132'       | 73      | 4,950     | 55'        | 90'        |
| 24                | 5,500     | 55'        | 100'       | 49      | 6,619     | 64'        | 104'       |         |           |            |            |
| 25                | 5,500     | 55'        | 100'       | 50      | 5,824     | 56'        | 104'       |         |           |            |            |



**TYPICAL UTILITY LOCATION**  
STREETS 50' SECTION N.T.S.

### UTILITIES

**WATER:**  
BEAUMONT CHERRY VALLEY WATER DISTRICT  
550 MAGNOLIA AVENUE  
BEAUMONT, CA 92223 (951) 845-9581

**ELECTRIC:**  
S.C.E.  
26100 MENEFEE ROAD  
ROMOLAND, CA 92580 (951) 943-8291

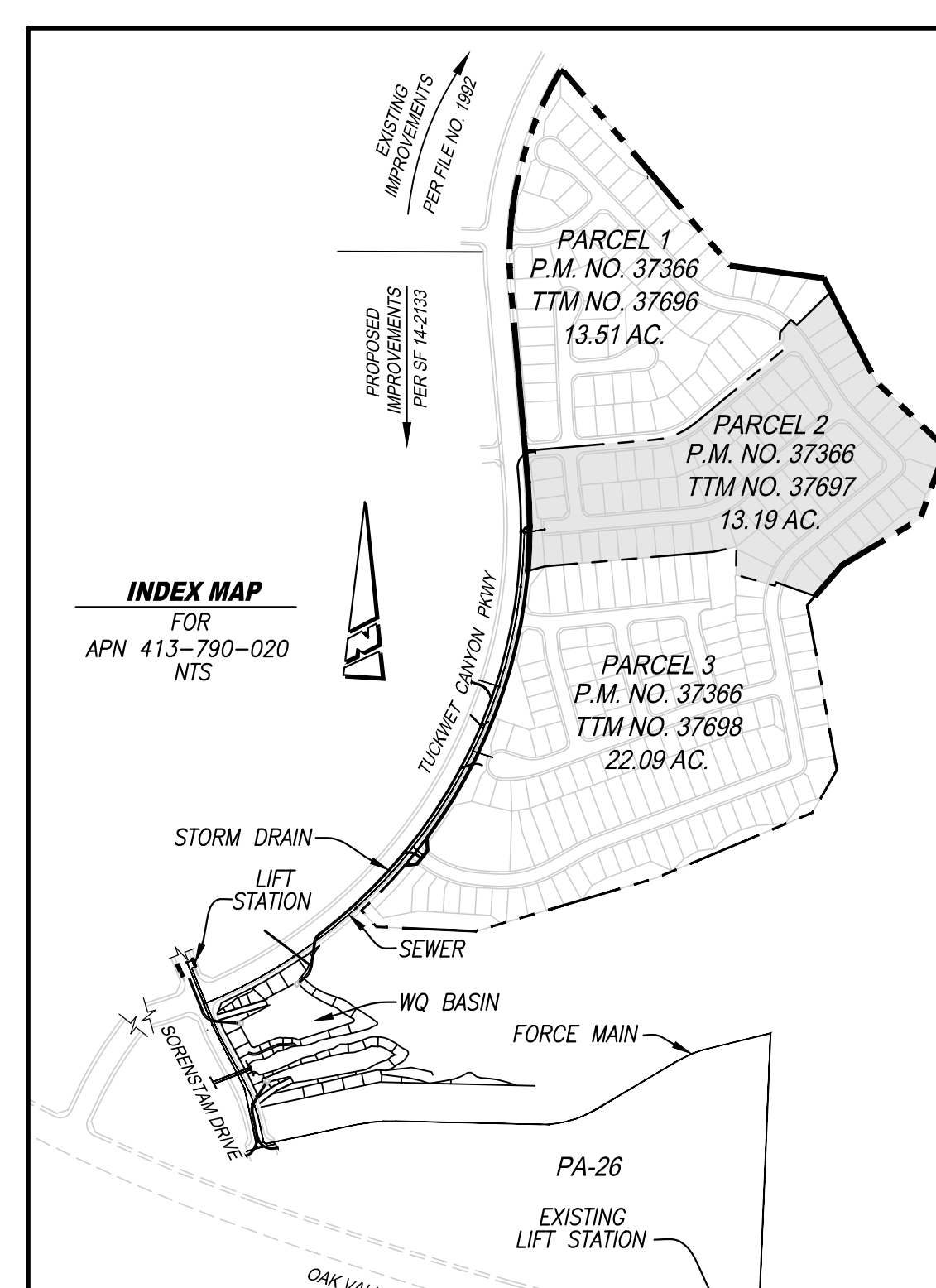
**TELEPHONE:**  
VERIZON 1-800-483-4000

**GAS:**  
SOUTHERN CALIFORNIA GAS CO.  
3700 CENTRAL AVE  
RIVERSIDE, CA 92516 (714) 884-9411

**SEWER & STORM DRAIN:**  
CITY OF BEAUMONT  
550 E. 6TH STREET  
BEAUMONT, CA 92223 (951) 769-8520

### LEGEND:

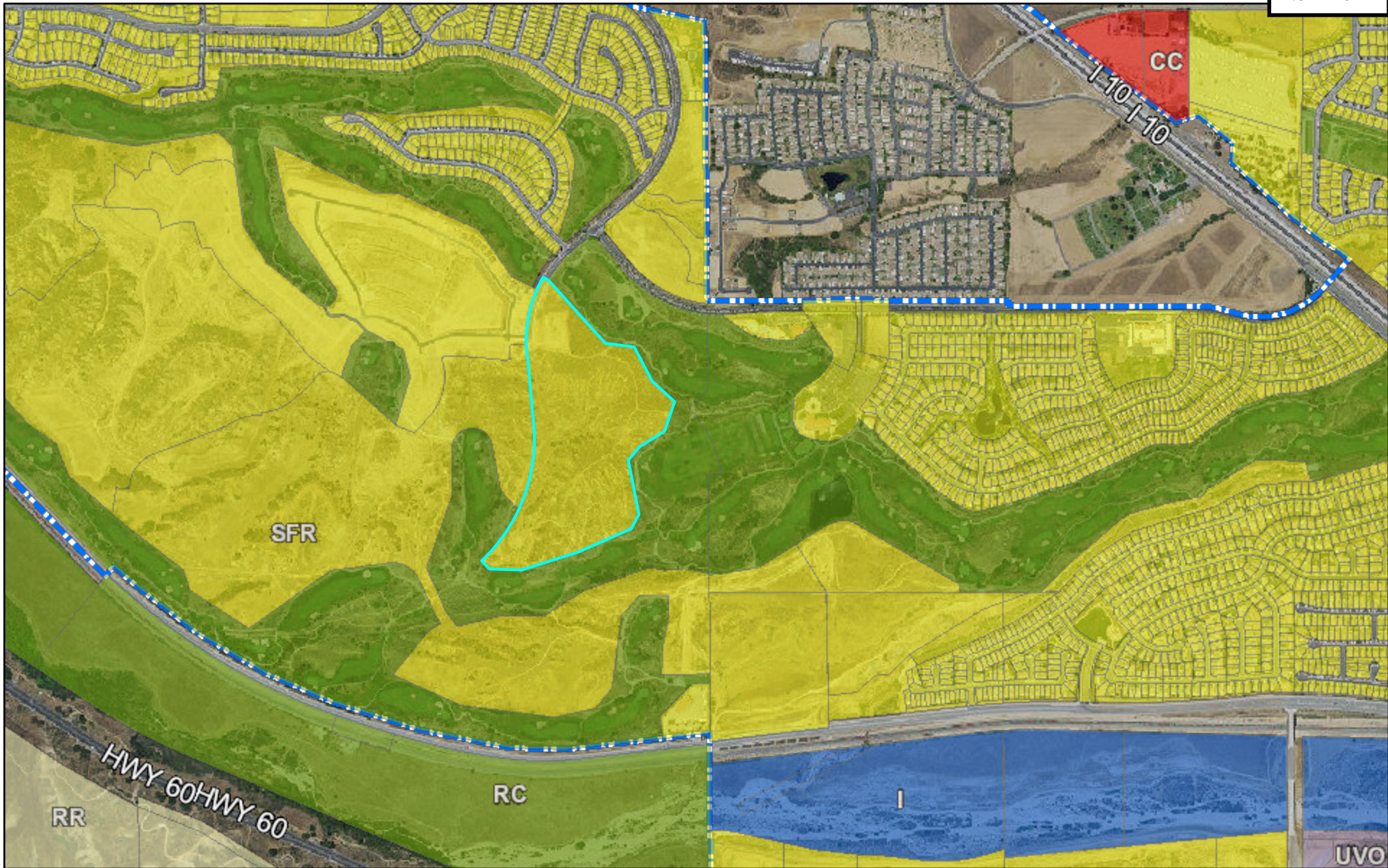
- CL CENTERLINE
- EXIST. EXISTING
- C&G CURB AND GUTTER
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- FL FLOWLINE
- EP EDGE OF PAVEMENT
- R/W RIGHT OF WAY
- PROP. PROPOSED
- PAD PAD ELEVATION
- TC TOP OF CURB
- FG FINISHED GRADE
- INW INVERT ELEV
- HP HIGH POINT
- P/L PROPERTY LINE
- LP LOW POINT
- CB CATCH BASIN
- BSL BUILDING SETBACK LINE
- FH FIRE HYDRANT
- SL STREET LIGHT
- PROPOSED RETAINING WALL
- TRACT BOUNDARY
- PROP. SLOPE (2:1 SLOPE UNLESS OTHERWISE NOTED)
- EXIST. CONTOUR
- S PROP. SEWER LINE
- W PROP. WATER LINE
- SD PROP. STORM DRAIN LINE
- SETBACK LINE (20' TO GARAGE)
- SECTION REFERENCE
- SHEET REFERENCE
- NO PARKING WITHIN EMERGENCY VEHICLE TURNING RADIUS. NO PARK SIGNAGE AND STRIPING DESIGNATIONS PER THE FINAL ENGINEERING IMPROVEMENT/SIGNAGE PLANS.



**INDEX MAP**  
FOR APN 413-790-020 N.T.S.

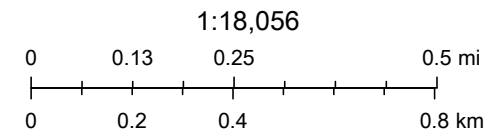
# TTM37696, 37697 & 37698 General Plan

Item No.4.



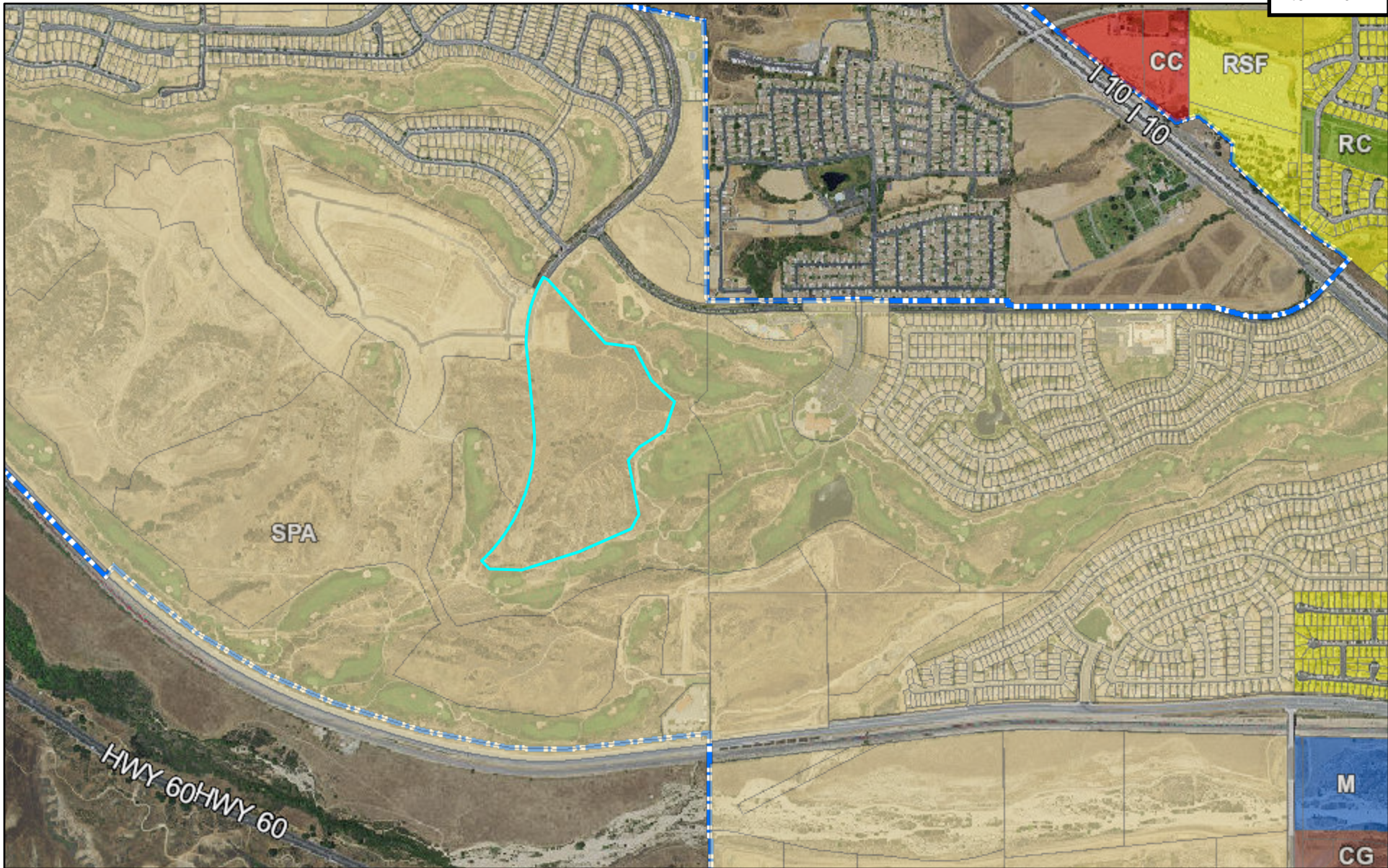
12/2/2019 3:10:58 PM

- |                           |                          |                       |                             |
|---------------------------|--------------------------|-----------------------|-----------------------------|
| General Plan              | Multi-Family Residential | Industrial            | Beaumont Avenue Overlay     |
| Rural Residential         | General Commercial       | Commercial Industrial | Public Facilities           |
| Single-Family Residential | Community Commercial     | Urban Village Overlay | Recreation and Conservation |



# TTM37696, 37697 & 37698 Zoning Map

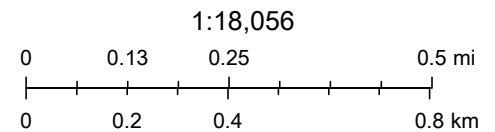
Item No.4.



12/2/2019 3:09:24 PM

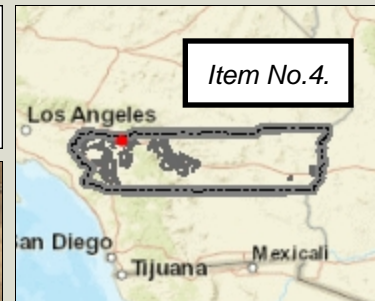
- |                           |                          |                      |                         |
|---------------------------|--------------------------|----------------------|-------------------------|
| Zoning                    | Residential Multi-Family | Commercial Community | Beaumont Avenue Overlay |
| Rural Residential         | Specific Plan Area       | Commercial Manufact  | Rural Resource Overlay  |
| Residential Single-Family | Commercial General       | Manufacturing        | Public Facilities       |

Page 131



# TTM37696, 37697 & 37698

Aerial Photograph



### Legend

- County Centerline Names
- Blueline Streams
- World Street Map

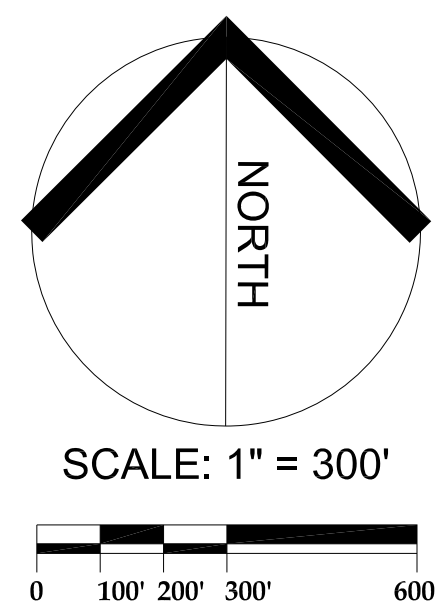


**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 1, 3,032 Feet  
516

### Notes

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4
- PARK



# Fairway Canyon

## City of Beaumont

# Advertising Order Confirmation

# The Press Enterprise

11/25/19 10:31:42AM

Page 1

Item No. 4.

|   |   |  |   |
|---|---|--|---|
| <u>Ad Order Number</u><br>0011339335      | <u>Customer</u><br>BEAUMONT, CITY OF / LEGAL                    | <u>Payor Customer</u><br>BEAUMONT, CITY OF / LEGAL           | <u>PO Number</u>                                |
| <u>Sales Representative</u><br>Nick Eller | <u>Customer Account</u><br>5209298                              | <u>Payor Account</u><br>5209298                              | <u>Ordered By</u><br>Carole Kendrick            |
| <u>Order Taker</u><br>Nick Eller          | <u>Customer Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Payor Address</u><br>550 E SIXTH ST<br>BEAUMONT, CA 92223 | <u>Customer Fax</u>                             |
| <u>Order Source</u><br>Select Source      | <u>Customer Phone</u><br>951-769-8520                           | <u>Payor Phone</u><br>951-769-8520                           | <u>Customer EMail</u><br>finance@beaumontca.gov |
| <u>Current Queue</u><br>Ready             | <u>Invoice Text</u><br>TTM37697                                 |  |   |
| <u>Tear Sheets</u><br>0                   | <u>Affidavits</u><br>0  | <u>Blind Box</u>   | <u>Materials</u>                                |
|   |   | <u>Promo Type</u>  | <u>Special Pricing</u>                          |

|                                   |                             |                               |                                 |                      |                                      |                         |
|-----------------------------------|-----------------------------|-------------------------------|---------------------------------|----------------------|--------------------------------------|-------------------------|
| <u>Ad Number</u><br>0011339335-01 | <u>Ad Size</u><br>3 X 45 Li | <u>Color</u>                  | <u>Production Color</u>         | <u>Ad Attributes</u> | <u>Production Method</u><br>AdBooker | <u>Production Notes</u> |
| <u>External Ad Number</u>         | <u>Pick Up</u>              | <u>Ad Type</u><br>Legal Liner | <u>Released for Publication</u> |                      |                                      |                         |



**LEGAL ADVERTISEMENT**

**NOTICE IS HEREBY GIVEN**, that the City of Beaumont will conduct public hearings to consider the matter described below. The Planning Commission's public hearing will be held at 6:00 p.m. on Tuesday, December 10, 2019 at 550 East Sixth Street, Beaumont, California.

**Tentative Tract Map 37697 (TM2019-0007)**, Conduct a public hearing and consideration of a request to subdivide 13.69 acres into 73 single family residential lots ranging in size from 4,950 to 9,545 square feet, and eight (8) lettered lots located with Planning Area 25 of the Oak Valley & SCPGA Golf Course Specific Plan (Fairway Canyon). The proposed application is consistent with the Final Environmental Impact Report (FEIR) that was adopted for the underlying project Oak Valley & SCPGA Golf Course Specific Plan (SP318/EIR418). APN: Portion of 413-790-020

The applicants for this project are **SDC Fairway Canyon LLC**.

The case files, plans, and all supporting documentation for the project can be reviewed at the Beaumont Civic Center, 550 East Sixth Street, Beaumont, California. On public hearings items the public may present testimony to the Planning Commission and City Council either in person or by mail. Written comments will be accepted until the night of the hearing.

Carole Kendrick  
Senior Planner

11/29

|                                      |  |   |                              |                       |
|--------------------------------------|--|---|------------------------------|-----------------------|
| <u>Product</u><br>PE Riverside:South | <u>Requested Placement</u><br>PublicNotice Banning | <u>Requested Position</u><br>City Notices Ban - 1076~ | <u>Run Dates</u><br>11/29/19 | <u># Inserts</u><br>1 |
|--------------------------------------|--|---|------------------------------|-----------------------|



### Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Jeff Hart, Public Works Director  
**DATE:** February 4, 2020  
**SUBJECT:** Performance Bond Acceptance and Security Agreement for SDC Fairway Canyon, LLC. Tract 31462 Street and Storm Drain Improvements

**Background and Analysis:**

The City requires all developers to provide security for public improvements consisting of, but not limited to, sewer improvements, street improvements, storm drain improvements, utility improvements, and monument improvements. The bonded improvements listed in Table 1 will be constructed by SDC Fairway Canyon, LLC.

SDC Fairway Canyon, LLC will construct the storm drain improvements for Tract 31462, which is part of the Fairway Canyon development. Tract 31462 is located north of Oak Valley Parkway, south of Champions Road, and west of the extension of Tukwet Canyon Parkway in the City of Beaumont. These public improvements will be constructed within the specific plan commonly referred to as Fairway Canyon, and within the City of Beaumont right of way. Public storm drain improvements will consist of manholes, catch basins, headwalls and box culverts.

The following table includes the development name, bond number, type of improvement, and the developer submitting the security agreement:

| Table 1. Fairway Canyon Bond Summary |             |                         |                          |                         |
|--------------------------------------|-------------|-------------------------|--------------------------|-------------------------|
| Bond Number                          | Bond Type   | Type of Improvement     | Development/Tract Number | Developer               |
| 1001124446                           | Performance | Storm Drain Improvement | Fairway Canyon/31462     | SDC Fairway Canyon, LLC |

Staff has reviewed the security agreement, along with the performance and payment bond, and determined that they are consistent with the City’s municipal code. Staff recommends the City Council accept the bond listed in Table 1.

**Fiscal Impact:**

The cost of preparing the staff report is estimated to be \$350.

**Recommended Action:**

Accept the following bond and security agreement:

- Performance bond No. 1001124446 for storm drain improvements for Tract 31462

**Attachments:**

- A. Bond No. 1001124446 and security agreement for storm drain improvements Tract 31462, and associated improvement plan



Basic Gov (Sales Force) # 15-2673  
File # 3093A

**AGREEMENT TO PROVIDE SECURITY FOR IMPROVEMENTS  
FOR TRACT MAP OR PARCEL MAP OR PLOT PLAN  
(Tract Map/Parcel Map/Plot Plan No. 31462 )**

**Infrastructure Storm Drain**

THIS SECURITY AGREEMENT is made by and between CITY OF BEAUMONT (“CITY”) and SDC Fairway Canyon, LLC, a Delaware Limited Liability company (“DEVELOPER”).

**RECITALS**

A. DEVELOPER has applied to the CITY for permission to develop certain real property, pursuant to Tract Map/Parcel Map/Plot Plan # 31462, (“Map”). DEVELOPER has also asked the CITY to accept the dedication of the street or streets and other proposed public rights-of-way, parks and recreation facilities, and easements as depicted on the Map and to otherwise approve the Map so that it may be recorded as required by law; and

B. The CITY requires, as a condition precedent to the acceptance and approval of the Map and the dedication of the public rights-of-way and easements depicted thereon, that such rights-of-way be improved with (for example) grading, paving, curbs, gutters, sidewalks, street lights, stormdrains, sanitary sewers and appurtenances thereto, street name signs, survey monuments, electrical and telecommunications, water pipes, water mains, fire hydrants and appurtenances thereto, and landscaping, including any warranty work for all such improvements (collectively, “Improvements”); and

C. The Improvements have not yet been constructed and completed and it is the purpose of this Security Agreement to set forth the terms and conditions by which the DEVELOPER shall guarantee that such Improvements shall be constructed and completed within the time set forth herein.

**AGREEMENT**

NOW, THEREFORE, in consideration of the acceptance of the DEVELOPER’s offer of dedication and the approval of the Map for filing and recording as provided and required by law, the CITY and the DEVELOPER hereby agree as follows:

1. Provision of Improvements. DEVELOPER shall provide, at the DEVELOPER’s sole cost and expense, all necessary labor and materials to complete the construction of the Improvements depicted on the Map and described in the conditions of approval of the Map within one (1) year of the date of this Security Agreement.

2. Inspection by the CITY. The CITY shall inspect, at the DEVELOPER’s sole cost and expense, all of the work, labor and materials performed and provided by the DEVELOPER in connection with the Improvements.

3. Compliance with Plans and Specifications. The Improvements shall be constructed and installed in strict accordance with the CITY-approved plans and specifications.

4. Security for Performance. Concurrently with the execution of this Security Agreement by DEVELOPER, DEVELOPER shall deliver to the CITY a performance bond issued by a corporate surety in substantially the form attached hereto as Exhibit "A", in an amount that is not less than 100% of the total estimated cost of the Improvements and any warranty therefor. The performance bond shall be issued by an "admitted" corporate surety insurer authorized to do business in the State of California and the surety insurer shall have an A.M. Best rating of at least "A, XV". The surety insurer shall have assets exceeding its liabilities in the amount equal to or in excess of the amount of the bond, and the bond shall not be in excess of 10% of the surety insurer's assets. The security or bond shall also insure against any and all defects in the Improvements for a period of not less than one full year after the date of acceptance thereof by the CITY. The bond shall be duly executed and shall meet all the requirements of Section 995.660 of the California Code of Civil Procedure.

5. Security for Contractors, Subcontractors, Laborers and Materialmen. The DEVELOPER shall also provide a payment bond issued by a corporate surety for the security of laborers and materialmen, which bond or bonds shall be in substantially the form attached hereto as Exhibit "B" and made a part hereof. The amount of the bond(s) shall be no less than 100% of the total estimated amount needed to secure payment to the contractor, to the subcontractors, and to the persons furnishing labor, materials, or equipment to them for the Improvements. The laborers and materialmen bond shall be provided by an "admitted" corporate surety insurer authorized to transact surety insurance in the State of California with an A.M. Best rating of "A, XV", and with assets exceeding its liabilities in the amount equal to or in excess of the amount of the bond, and the bond shall not be in excess of 10% of the surety insurer's assets. The bond shall be duly executed and shall meet all the requirements of Section 995.660 of the California Code of Civil Procedure.

6. General Liability and Worker's Compensation Insurance. The DEVELOPER shall, before commencing any work, obtain commercial general liability insurance (primary) of not less than \$2,000,000.00 per occurrence for all coverages and \$2,000,000.00 general aggregate. The CITY and its employees and agents shall be added as additional insureds. Coverage shall apply on a primary non-contributing basis in relation to any other insurance or self-insurance, primary or excess, available to the CITY or any employee or agent of the CITY. Coverage shall not be limited to the vicarious liability or supervisory role of any additional insured. Coverage shall contain no contractors' limitation endorsement. There shall be no endorsement or modification limiting the scope of coverage for liability arising from pollution, explosion, collapse, underground property damage or employment-related practices. Such insurance shall not prohibit the DEVELOPER, and its employees or agents, from waiving the right of subrogation prior to a loss. The DEVELOPER waives its right of subrogation against the CITY. Unless otherwise approved by the CITY, the DEVELOPER's insurance shall be written by insurers authorized to do business in the State of California and with a minimum A.M. Best rating of "A, XV." Self-insurance shall not be considered to comply with these insurance specifications. The DEVELOPER agrees to require all contractors, subcontractors and other parties hired for the Improvements to purchase and maintain insurance of the types specified

herein, naming as additional insureds all of the parties to this Security Agreement. The DEVELOPER shall, before commencing any work, obtain Worker's Compensation Insurance in an amount required by law and, failing to do so, the CITY may procure such insurance at the cost of the DEVELOPER.

7. Comprehensive Commercial General and Automobile Liability Insurance. The DEVELOPER, before commencing any work shall, at its own expense, maintain comprehensive commercial general and automobile liability insurance issued by a California-admitted surety company with an A.M. Best rating of no less than "A, XV" for \$2,000,000 per occurrence. Coverage shall be for the entire duration of the permitted activities. Such liability insurance policy shall name, by endorsement, the City as an additional insured.

8. Indemnification. Notwithstanding the provisions of Government Code, Section 66474.9 or any other statutes of similar import, and to the full extent permitted by law, the DEVELOPER shall defend, indemnify and hold harmless the CITY, its employees, agents, officials and attorneys, from and against any liability, claims, suits, actions, arbitration proceedings, administrative proceedings, regulatory proceedings, losses, expenses or costs of any kind or nature, whether actual, alleged or threatened, reasonable attorneys' fees, court costs, interest, expert witness fees and any other costs or expenses of any kind whatsoever, without restriction or limitation, incurred in relation to, as a consequence of, or arising out of or in any way attributable actually, allegedly or impliedly, in whole or in part, to the Map, the Improvements, this Agreement, or any matter related to the same; provided, however, that the indemnification to be provided by DEVELOPER to the CITY pursuant to the terms of this paragraph shall not be applicable where the aforementioned liability, claim, suit, action, etcetera, is the result of the sole negligence or sole willful misconduct of the CITY.

9. Procedure for Release of Performance Bond Security. The security furnished by the DEVELOPER shall be released in whole or in part in the following manner:

a. Security shall be released upon final completion and acceptance of the Improvements. If the security furnished by the DEVELOPER is a documentary evidence of security, such as a surety bond, the CITY shall release the documentary evidence and return the original to the Surety upon final completion and acceptance of the Improvements. In the event the CITY is unable to return the original documentary evidence to the Surety, the security shall be released by written notice sent by certified mail to the DEVELOPER and to the Surety within 30 days of the City's acceptance of the Improvements. The written notice shall contain a statement that the work for which security was furnished has been completed and accepted, a description of the Improvements, and the notarized signature of an authorized CITY official.

b. At such time as the DEVELOPER believes that the work for which the security was required is complete and makes payment of a partial exoneration fee of \$350 to the CITY, the DEVELOPER shall notify the CITY in writing of the completed work, including a list of work completed. Upon receipt of the written notice, the CITY shall have 45 days to review and comment or approve the completion of the Improvements. If the CITY does not agree that all work has been completed in accordance with the plans

and specifications for the Improvements, it shall supply a list of all remaining work to be completed.

c. Within 45 days of receipt of the CITY's list of remaining work, the DEVELOPER may then provide cost estimates for all remaining work for review and approval by the CITY.

d. Upon receipt of the cost estimates, the CITY shall then have 45 days to review, comment, and approve, modify or disapprove those cost estimates. The CITY shall not be required to engage in this process of partial release more than once between the start of work and the completion and acceptance of all work.

e. The DEVELOPER shall complete the works of Improvement until all remaining items are accepted by the CITY. Upon completion of the Improvements, the DEVELOPER shall be notified in writing by the CITY within 45 days and, within 45 days of the date of the CITY's notice, the release of any remaining performance security shall be made within 60 days of the recording of the Notice of Completion.

10. Procedure for Release of Payment Bond Security. Security securing the payment to the contractor, his or her subcontractors and persons furnishing labor, materials or equipment may, after passage of the time within which mechanic's liens and stop notices are required to be recorded and after acceptance of the Improvements, be reduced by Surety to an amount equal to the total claimed by all claimants for whom mechanic's liens and stop notices have been recorded and notice thereof given in writing to the CITY, and if no claims have been recorded, the security may be released in full.

11. Security for One-Year Warranty Period. The release procedures described in paragraphs 9 and 10 above shall not apply to any required guarantee and warranty period nor to the amount of the performance bond security deemed necessary by the CITY for the guarantee and warranty period nor to costs and reasonable expenses and fees, including reasonable attorneys' fees.

12. Binding Effect. This Security Agreement shall be binding upon and shall inure to the benefit of the parties hereto, their legal representatives and their successors and assigns.

13. Authority to Execute. The DEVELOPER hereby warrants and represents to the CITY that the individual signing this Security Agreement on behalf of the DEVELOPER is vested with the unconditional authority to do so pursuant to, and in accordance with, all applicable legal requirements, and has the authority bind the DEVELOPER hereto.

14. No Assignment. The DEVELOPER may not assign this Security Agreement, or any part thereof, to another without the prior written consent of the CITY.

15. Attorneys' Fees. In the event of legal action to enforce or interpret this Agreement or any of its provisions, the prevailing party shall be entitled, in addition to any other form of relief, to recover its reasonable attorneys' fees and costs of suit.

16. Execution in Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed an original, but which together shall constitute a single agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the dates listed below.

CITY OF BEAUMONT

By \_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

DEVELOPER  
SDC Fairway Canyon, LLC

By \_\_\_\_\_

1-8-20

\_\_\_\_\_  
Date

Title: Authorized Signatory \_\_\_\_\_

Address: 2392 Morse Avenue,  
Irvine, CA 92614  
\_\_\_\_\_  
\_\_\_\_\_

Basic Gov (Sales Force) # 15-2673  
File # 3093A

Infrastructure Storm Drain

EXHIBIT "A"

Bond No.: 1001124446  
Premium: \$26,400.00/2 yrs.

PERFORMANCE BOND

WHEREAS, the City Council of the City of Beaumont, State of California, and SDC Fairway Canyon, LLC (hereinafter designated as "Principal") have entered into Agreement To Provide Security For Improvements For Tract Map Or Parcel Map Or Plot Plan, dated \_\_\_\_\_, 20\_\_\_\_, whereby Principal agrees to install and complete certain designated public improvements itemized and described on Tract Map, Parcel Map or Plot Plan No. 31462, which is hereby incorporated herein and made a part hereof; and

WHEREAS, Principal is required under the terms of the said agreement to furnish a bond for the faithful performance of said agreement.

NOW, THEREFORE, we, the Principal and American Contractors Indemnity Company, as Surety, are held and firmly bound unto the City of Beaumont (hereinafter called "City"), in the penal sum of One Million Seven Hundred Sixty Thousand \* dollars (\$1,760,000.00) lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, successors, executors and administrators, jointly and severally, firmly by these presents. \* & NO/100ths

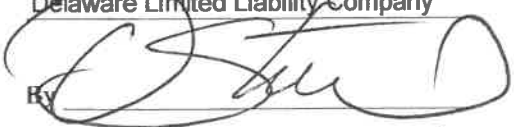
The condition of this obligation is such that if the Principal, his or its heirs, executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions and provisions in the said agreement and any alteration thereof made as therein provided, on his or their part to be kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meaning, and shall indemnify and save harmless the City, its officers, agents and employees as therein stipulated, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

As part of the obligation secured hereby and in addition to the face amount specified therefor, there shall be included costs and reasonable expenses and fees, including reasonable attorney's fees, incurred by the City in successfully enforcing such obligation, all to be taxed as costs and included in any judgment therein rendered.


The Surety hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the agreement or to the work to be performed thereunder or the specifications accompanying the same shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the agreement or to the work or to the specifications.

IN WITNESS WHEREOF, this instrument has been duly executed by the Principal and Surety above named, on December 20th, 2019.

PRINCIPAL:  
SDC Fairway Canyon, LLC, a  
Delaware Limited Liability Company

By   
Title Authorized Signatory

SURETY:  
American Contractors Indemnity Company

By   
Title Shane Wolf, Attorney-in-Fact

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )
County of ORANGE )

On December 23, 2019 before me, BRANDON G. WOLFE, NOTARY PUBLIC
Date Here insert Name and Title of the Officer
personally appeared Dale Strickland
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Exhibit A Performance Bond Document Date:
Number of Pages: Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:
Corporate Officer -- Title(s):
Partner -- Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

Signer's Name:
Corporate Officer -- Title(s):
Partner -- Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

# ALL- PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }

County of Orange }

On December 20, 2019 before me, Susan E. Morales, Notary Public,  
(Here insert name and title of the officer)

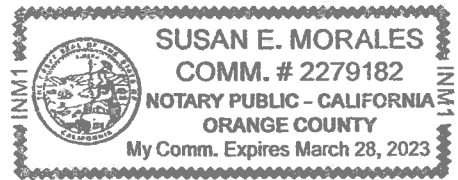
personally appeared Shane Wolf,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Susan E. Morales  
Notary Public Signature

(Notary Public Seal)



### ADDITIONAL OPTIONAL INFORMATION

**DESCRIPTION OF THE ATTACHED DOCUMENT**

Bond #1001124446  
(Title or description of attached document)

American Contractors Indemnity Company  
(Title or description of attached document continued)

Number of Pages 1 Document Date 12/20/19

**CAPACITY CLAIMED BY THE SIGNER**

Individual (s)

Corporate Officer

\_\_\_\_\_ (Title)

Partner(s)

Attorney-in-Fact

Trustee(s)

Other \_\_\_\_\_

### INSTRUCTIONS FOR COMPLETING THIS FORM

*This form complies with current California statutes regarding notary wording and, if needed, should be completed and attached to the document. Acknowledgments from other states may be completed for documents being sent to that state so long as the wording does not require the California notary to violate California notary law.*

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they- is /are ) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
  - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
  - ❖ Indicate title or type of attached document, number of pages and date.
  - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).



**POWER OF ATTORNEY**

AMERICAN CONTRACTORS INDEMNITY COMPANY U.S. SPECIALTY INSURANCE COMPANY

Item No.5.

KNOW ALL MEN BY THESE PRESENTS: That American Contractors Indemnity Company, a California corporation, and U.S. Specialty Insurance Company, a Texas corporation (collectively, the "Companies"), do by these presents make, constitute and appoint:

**Todd M. Robin, Shane Wolf, Cathy S. Kennedy or Beata A. Sensi of Orange, California**

its true and lawful Attorney(s)-in-fact, each in their separate capacity if more than one is named above, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include riders, amendments, and consents of surety, providing the bond penalty does not exceed **\*\*\*\*\*Seventy Five Million\*\*\*\*\* Dollars (\$ \*75,000,000.00\* )**.

This Power of Attorney shall expire without further action on November 3, 2019. This Power of Attorney is granted under and by authority of the following resolutions adopted by the Boards of Directors of the Companies:

Be it Resolved, that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

Attorney-in-Fact may be given full power and authority for and in the name of and on behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings, including any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts, and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

Be it Resolved, that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached.

IN WITNESS WHEREOF, The Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 1st day of November, 2016.

AMERICAN CONTRACTORS INDEMNITY COMPANY U.S. SPECIALTY INSURANCE COMPANY

Corporate Seals



By:

*[Signature]*  
Daniel P. Aguilar, Vice President

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles SS:

On this 1st day of November, 2016, before me, Sabina Morgenstein, a notary public, personally appeared Daniel P. Aguilar, Vice President of American Contractors Indemnity Company and U.S. Specialty Insurance Company who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct. I declare under PENALTY OF PERJURY under the laws of the State of California that I am a Notary Public for the State of California, Commission Expires 11/03/2019.

Signature

*[Signature]*

(Seal)



I, Kio Lo, Assistant Secretary of American Contractors Indemnity Company and U.S. Specialty Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Companies, which is still in full force and effect; furthermore, the resolutions of the Boards of Directors, set out in the Power of Attorney are in full force and effect.

In Witness Whereof, I have hereunto set my hand and affixed the seals of said Companies at Los Angeles, California this \_\_\_\_\_ day of DEC 20 2019.

Corporate Seals



Page 145

*[Signature]*

Kio Lo, Assistant Secretary

Bond No. 1001124446  
Agency No. 16590

Infrastructure Storm Drain

**EXHIBIT "B"**

**PAYMENT BOND**

WHEREAS, the City Council of the City of Beaumont, State of California, and SDC Fairway Canyon, LLC (hereafter designated as "the Principal") have entered into Agreement To Provide Security For Improvements For Tract Map Or Parcel Map Or Plot Plan, dated \_\_\_\_\_, 20\_\_, whereby Principal agrees to install and complete certain designated public improvements itemized and described on Tract Map, Parcel Map or Plot Plan No. 31462, which is hereby incorporated herein and made a part hereof; and

WHEREAS, under the terms of the said agreement, the Principal is required before entering upon the performance of the work, to file a good and sufficient payment bond with the City of Beaumont to secure the claims to which reference is made in Section 8000, et seq., of the Civil Code of the State of California.

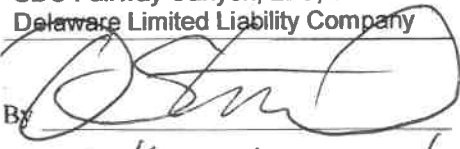
NOW, THEREFORE, the Principal and the undersigned as corporate surety, are held firmly bound unto the City of Beaumont and all contractors, subcontractors, laborers, materialmen, and other persons employed in the performance of the said agreement and referred to at Section 8000, et seq., of the Civil Code in the sum of One Million Seven Hundred Sixty \* dollars (\$1,760,000.00), for materials furnished or labor thereon of any kind, or for amounts due under the Unemployment Insurance Act with respect to this work or labor, that the Surety will pay the same in an amount not exceeding the amount hereinabove set forth, and also in case suit is brought upon this bond, will pay, in addition to the face amount thereof, costs and reasonable expenses and fees, including reasonable attorney's fees, incurred by the City in successfully enforcing this obligation, to be awarded and fixed by the court, and to be taxed as costs and to be included in the judgment therein rendered. \* Thousand & N0/100ths


It is hereby expressly stipulated and agreed that this bond shall inure to the benefit of any and all persons, companies, and corporations entitled to file claims under Section 8000, et seq., of the Civil Code, so as to give a right of action to them or their assigns in any suit brought upon this bond.

Should the condition of this bond be fully performed, then this obligation shall become null and void, otherwise it shall be and remain in full force and effect.

The Surety hereby stipulates and agrees that no change, extension of time, alteration, or addition to the terms of the agreement or the specifications accompanying the same shall in any manner affect its obligations on this bond, and it does hereby waive notice of any such change, extension, alteration, or addition.

IN WITNESS WHEREOF, this instrument has been duly executed by the Principal and Surety above named, on December 20th, 20 19.

PRINCIPAL:  
SDC Fairway Canyon, LLC, a  
Delaware Limited Liability Company  
By   
Title Authorized Signatory

SURETY:  
American Contractors Indemnity Company  
By   
Title Shane Wolf, Attorney-in-Fact

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )
County of ORANGE )

On December 23, 2019 before me, BRANDON G. WOLFE, NOTARY PUBLIC
Date Here Insert Name and Title of the Officer
personally appeared Dale Strickland
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Exhibit B Payment Bond Document Date:
Number of Pages: Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:
Corporate Officer -- Title(s):
Partner -- Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

Signer's Name:
Corporate Officer -- Title(s):
Partner -- Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator
Other:
Signer Is Representing:

# ALL- PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }

County of Orange }

On December 20, 2019 before me, Susan E. Morales, Notary Public,  
(Here insert name and title of the officer)

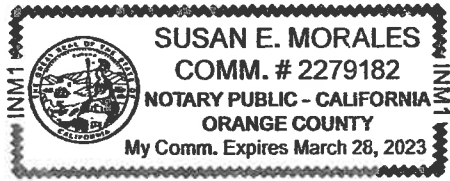
personally appeared Shane Wolf,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Susan E. Morales  
Notary Public Signature

(Notary Public Seal)



### ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT  
Bond #1001124446  
(Title or description of attached document)  
American Contractors Indemnity Company  
(Title or description of attached document continued)  
Number of Pages 1 Document Date 12/20/19

CAPACITY CLAIMED BY THE SIGNER  
 Individual (s)  
 Corporate Officer  
\_\_\_\_\_  
(Title)  
 Partner(s)  
 Attorney-in-Fact  
 Trustee(s)  
 Other \_\_\_\_\_

### INSTRUCTIONS FOR COMPLETING THIS FORM

*This form complies with current California statutes regarding notary wording and, if needed, should be completed and attached to the document. Acknowledgments from other states may be completed for documents being sent to that state so long as the wording does not require the California notary to violate California notary law.*

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they-, is /are ) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits; otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
  - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
  - ❖ Indicate title or type of attached document, number of pages and date.
  - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).

**POWER OF ATTORNEY**

AMERICAN CONTRACTORS INDEMNITY COMPANY - U.S. SPECIALTY INSURANCE COMPANY

Item No.5.

KNOW ALL MEN BY THESE PRESENTS: That American Contractors Indemnity Company, a California corporation, and U.S. Specialty Insurance Company, a Texas corporation (collectively, the "Companies"), do by these presents make, constitute and appoint:

**Todd M. Rohm, Shane Wolf, Cathy S. Kennedy or Beata A. Sensi of Orange, California**

its true and lawful Attorney(s)-in-fact, each in their separate capacity if more than one is named above, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include riders, amendments, and consents of surety, providing the bond penalty does not exceed **\*\*\*\*\*Seventy Five Million\*\*\*\*\* Dollars (\$ \*75,000,000.00\* ).**

This Power of Attorney shall expire without further action on November 3, 2019. This Power of Attorney is granted under and by authority of the following resolutions adopted by the Boards of Directors of the Companies:

*Be it Resolved*, that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

*Attorney-in-Fact* may be given full power and authority for and in the name of and on behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings, including any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts, and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

*Be it Resolved*, that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached.

IN WITNESS WHEREOF, The Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 1st day of November, 2016.

AMERICAN CONTRACTORS INDEMNITY COMPANY U.S. SPECIALTY INSURANCE COMPANY

Corporate Seals



By:

*[Signature]*  
Daniel P. Aguilar, Vice President

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles §§

On this 1st day of November, 2016, before me, Sabina Morgenstem, a notary public, personally appeared Daniel P. Aguilar, Vice President of American Contractors Indemnity Company and U.S. Specialty Insurance Company who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.  
WITNESS my hand and official seal.

Signature *[Signature]* (Seal)



I, Kio Lo, Assistant Secretary of American Contractors Indemnity Company and U.S. Specialty Insurance Company, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Companies, which is still in full force and effect; furthermore, the resolutions of the Boards of Directors, set out in the Power of Attorney are in full force and effect.

In Witness Whereof, I have hereunto set my hand and affixed the seals of said Companies at Los Angeles, California this \_\_\_\_\_ day of **DEC 20 2019**.

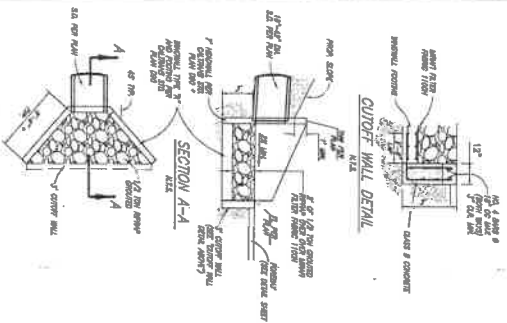
Corporate Seals



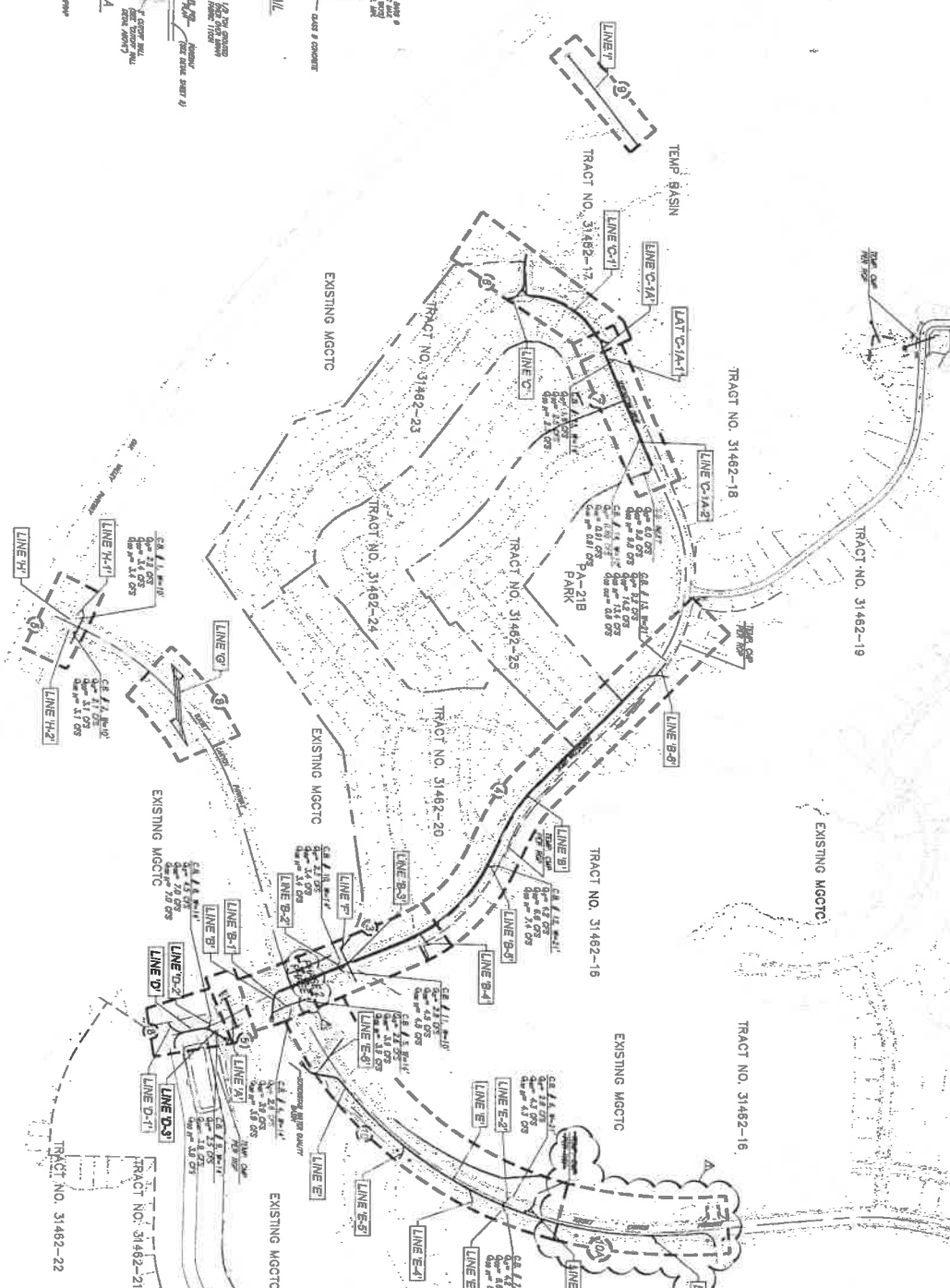
*[Signature]*  
Kio Lo, Assistant Secretary

Bond No. **1001124446**  
Agency No. **16590**





**LEGEND**  
INDICATES SHEET NO.



18'-42" S.D. HEADWALL OUTLET DETAIL  
N.T.S.

INDICATES THE ACCESS, GRADING & INSTALLATION OF PROVISION AS SHOWN ON SHEET 18-42-2000-002  
N.T.S.

INDEX MAP  
1" = 200'



**DISCLAIMER**

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE CONSULTING ENGINEER AND HIS ASSOCIATES FOR THE CITY OF BEAUMONT. THE CONSULTING ENGINEER AND HIS ASSOCIATES MAKE NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THESE PLANS AND SPECIFICATIONS. THE USER OF THESE PLANS AND SPECIFICATIONS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: 11/15/10  
BY: [Signature]

**REVISIONS**

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 11/15/10 | ISSUE FOR PERMITS |
| 2   | 11/15/10 | ISSUE FOR PERMITS |

**APPROVED FOR THE CITY OF BEAUMONT:**

City of Beaumont, Public Works Department

Approved By: [Signature]

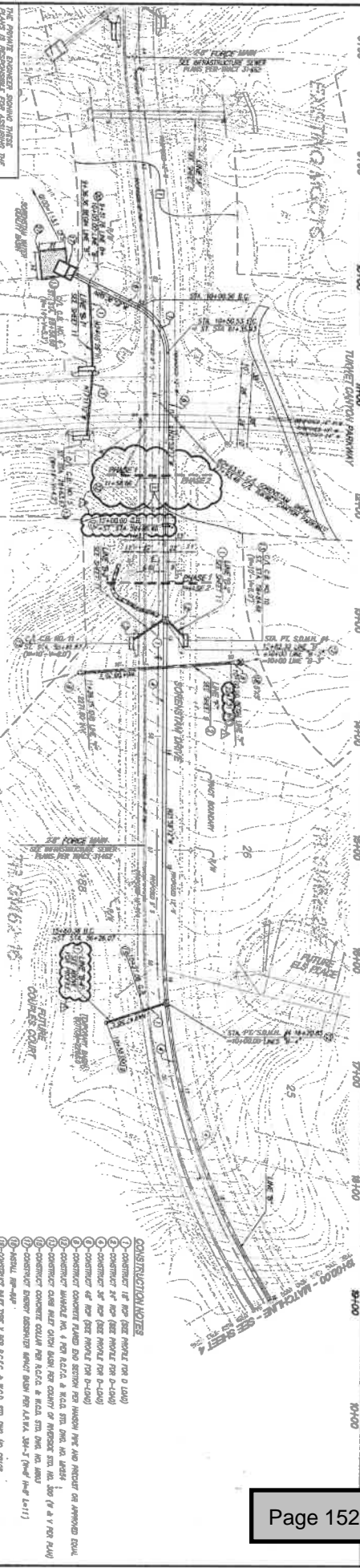
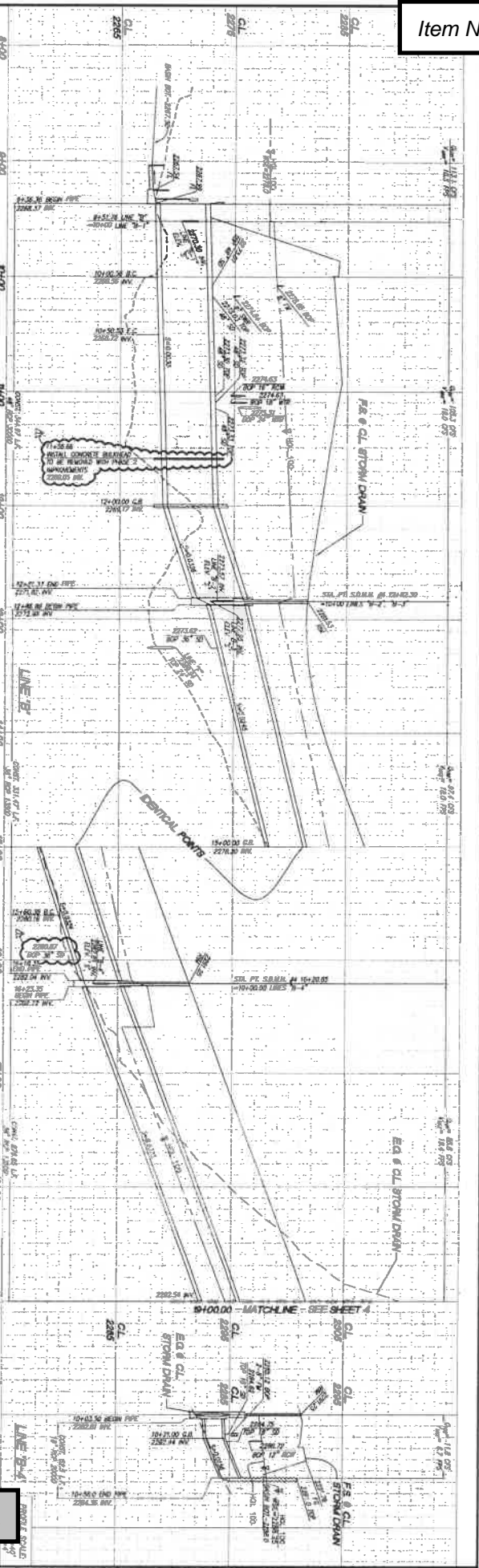
Date: 11/15/10

**CONSULTING ENGINEER:**

AGENT MANAGEMENT

Approved By: [Signature]

Date: 11/15/10



**DCA**  
 The Drawing Engineer signing these plans is responsible for assuring the design conforms to the City of Beaumont Engineering Department, and the City of Beaumont Engineering Department. The Engineer shall be responsible for providing the City of Beaumont Engineering Department with a copy of the signed drawings and design for approval by the City.

**BASES OF BEARINGS**

DESIGNING: COORDINATOR FOR THE CITY OF BEAUMONT  
 CHECKED: PROJECT ENGINEER  
 DATE: 03-11-2014

**BENCHMARK**

CONCRETE MONUMENT STATION 3314.00  
 CANTONMENT #117.42 OF THE BENCH  
 MARK IS LOCATED AT THE SOUTH  
 END OF THE STATION 3314.00  
 ELEVATION 18.70

| LINE      | LINE 1 | LINE 2 | LINE 3 | LINE 4 | LINE 5 | LINE 6 | LINE 7 | LINE 8 | LINE 9 | LINE 10 | LINE 11 | LINE 12 |
|-----------|--------|--------|--------|--------|--------|--------|--------|--------|--------|---------|---------|---------|
| STATION   | 0+00   | 0+10   | 0+20   | 0+30   | 0+40   | 0+50   | 0+60   | 0+70   | 0+80   | 0+90    | 1+00    | 1+10    |
| EL. (FT.) | 18.70  | 18.80  | 18.90  | 19.00  | 19.10  | 19.20  | 19.30  | 19.40  | 19.50  | 19.60   | 19.70   | 19.80   |

**MANHOLE & JUNCTION STRUCTURE DATA TABLE**

| NO. | DESCRIPTION | CONCRETE | DIAMETER | ELEV. (FT.) | REMARKS         |
|-----|-------------|----------|----------|-------------|-----------------|
| 1   | MANHOLE     | YES      | 24"      | 19.20       | AT STATION 0+50 |
| 2   | JUNCTION    | NO       | -        | -           | AT STATION 0+60 |
| 3   | MANHOLE     | YES      | 18"      | 19.30       | AT STATION 0+80 |
| 4   | JUNCTION    | NO       | -        | -           | AT STATION 0+90 |

**CONSTRUCTION NOTES**

- CONSTRUCT TO NEAREST TENTH OF AN INCH.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR D-DIMENSIONS.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR ELEVATIONS.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR SLOPES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR ANGLES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR DISTANCES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR AREA CALCULATIONS.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR VOLUMES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR PERCENTS.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR RATES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR RATIO.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR SCALES.
- CONSTRUCT TO NEAREST HUNDREDTH OF AN INCH FOR UNITS.

**LINE B'**

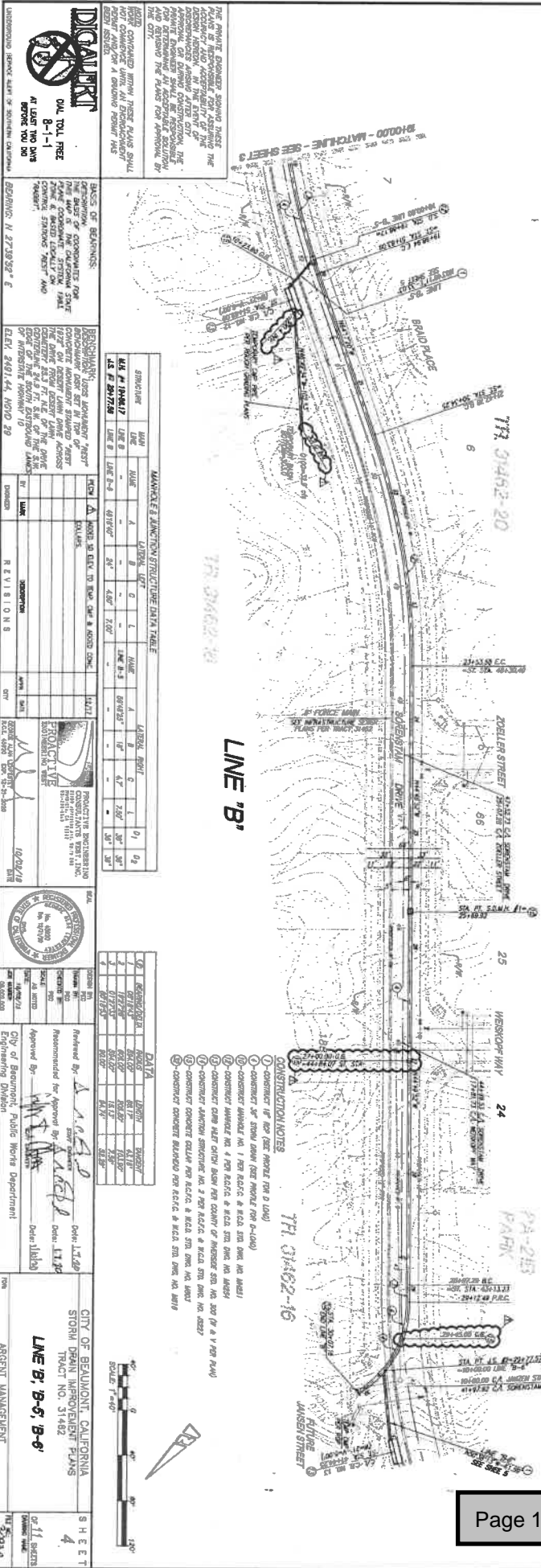
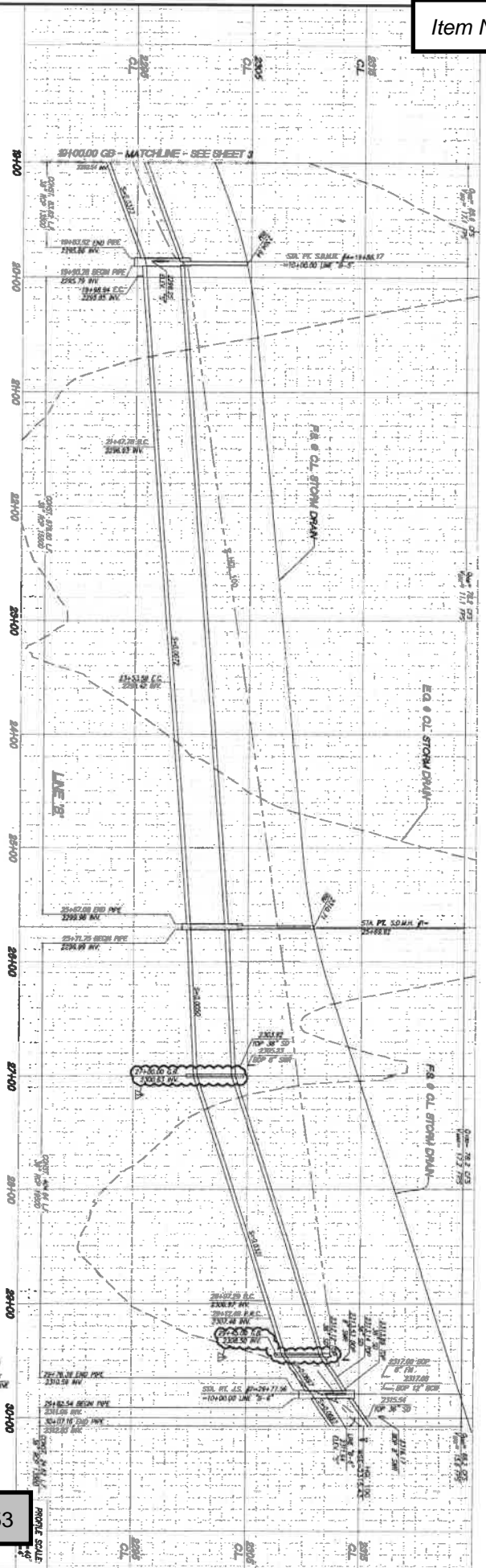
City of Beaumont, California  
 Storm Drain Improvement Plans  
 Project No. 14-02

Scale: 1" = 10'-0"

Sheet No. 3

City of Beaumont, California  
 Engineering Division





THE ENGINEER HAS REVIEWED THESE PLANS AND APPROVES THEM FOR CONSTRUCTION. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

**QUALITY CONTROL**  
 QUAL. TOLL FREE 8-1-1  
 AT LEAST TWO DAYS BEFORE YOU DO  
 OTHERWISE YOU DO

**BASES OF BEARINGS**  
 THE BASES OF BEARINGS FOR THE SEWER LINE ARE AS SHOWN ON THESE PLANS. THE BASES OF BEARINGS FOR THE EXISTING UTILITIES ARE AS SHOWN ON THESE PLANS.

**BOUNDARY**  
 THE BOUNDARY OF THE PROJECT IS AS SHOWN ON THESE PLANS. THE BOUNDARY OF THE PROJECT IS AS SHOWN ON THESE PLANS.

| STRUCTURE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE |
|-----------|---------|---------|---------|---------|---------|---------|---------|---------|
| 1         | 2       | 3       | 4       | 5       | 6       | 7       | 8       | 9       |

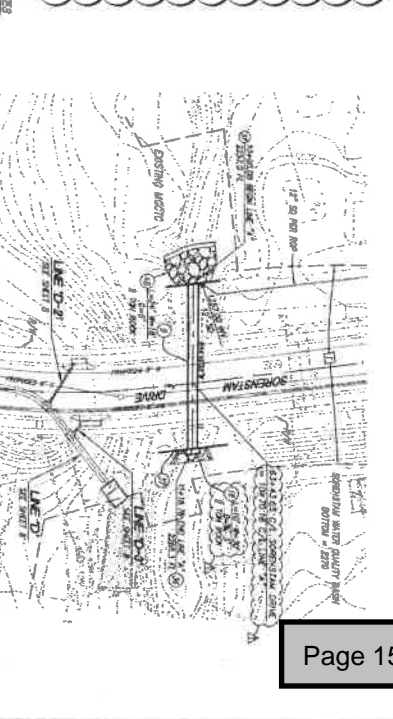
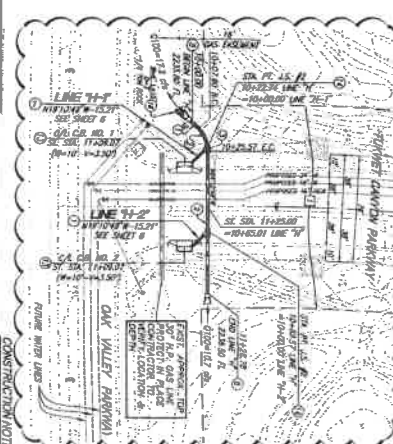
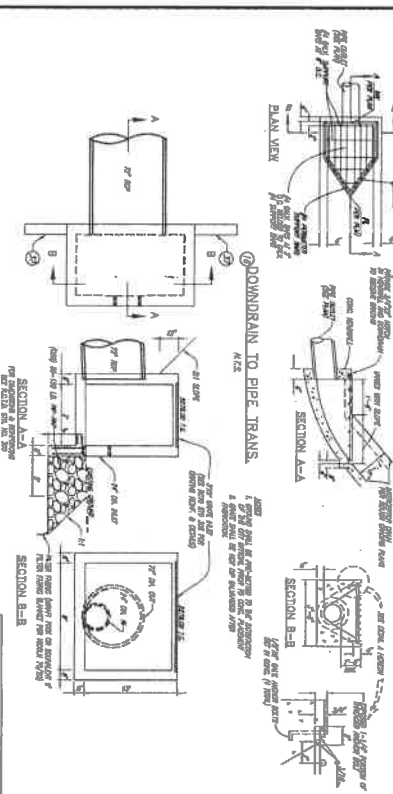
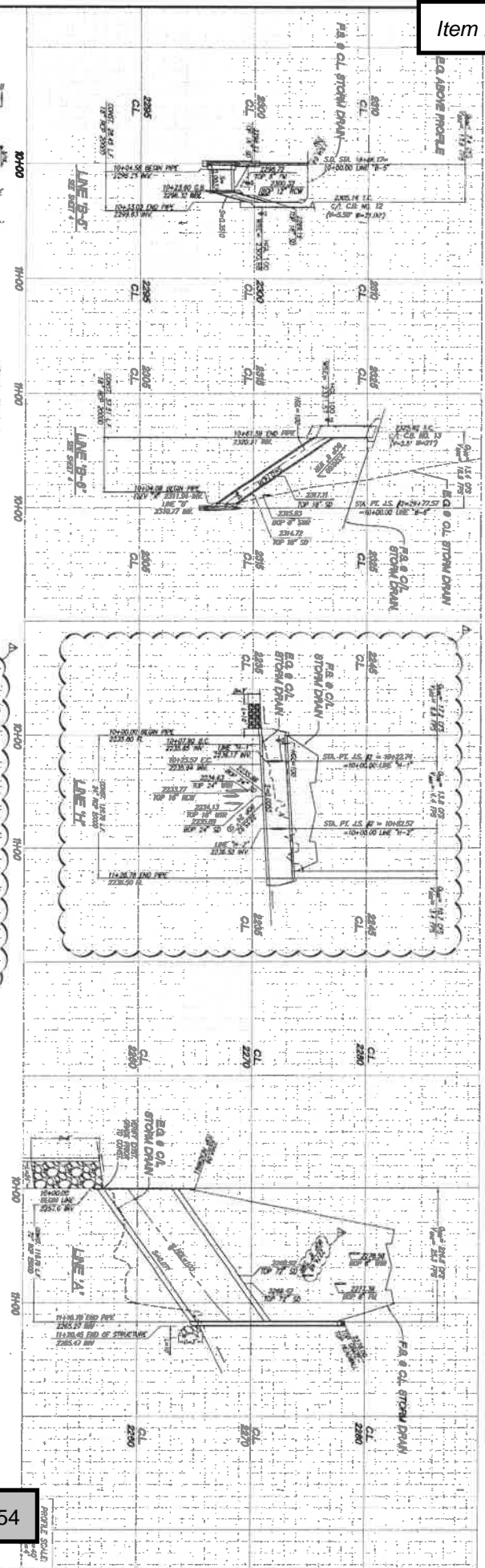
| MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE |
|---------|---------|---------|---------|---------|---------|---------|---------|
| 1       | 2       | 3       | 4       | 5       | 6       | 7       | 8       |

| MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE |
|---------|---------|---------|---------|---------|---------|---------|---------|
| 1       | 2       | 3       | 4       | 5       | 6       | 7       | 8       |

| MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE |
|---------|---------|---------|---------|---------|---------|---------|---------|
| 1       | 2       | 3       | 4       | 5       | 6       | 7       | 8       |

| MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE | MANHOLE |
|---------|---------|---------|---------|---------|---------|---------|---------|
| 1       | 2       | 3       | 4       | 5       | 6       | 7       | 8       |

**CITY OF BEAUMONT, CALIFORNIA**  
 SIGNAL DEPARTMENT  
 TRACT NO. 31482  
**LINE B', B-5', B-6'**  
 ARGENT MAINTENANCE  
 SHEET 4  
 OF 11 SHEETS  
 DATE: 11/20/14



THE PRIVATE ENGINEER SHOWING THESE PLANS IS RESPONSIBLE FOR ASSURING THE DESIGN AND CONSTRUCTION OF THE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE CITY OF BEAUNONT CALIFORNIA ENGINEERING STANDARDS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS AND THE CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS. THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEERING DEPARTMENT AND THE CITY ENGINEERING DEPARTMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEERING DEPARTMENT.

**CONCRETE INLET STRUCTURE**

MANHOLE & INLET STRUCTURE DATA TABLE

| STRUCTURE | LINE     | LINE NO. | LINE TYPE | LINE SIZE | LINE MATERIAL | LINE ELEVATION | LINE LENGTH | LINE DATE | LINE DRAWN BY | LINE CHECKED BY | LINE APPROVED BY |
|-----------|----------|----------|-----------|-----------|---------------|----------------|-------------|-----------|---------------|-----------------|------------------|
| 1         | LINE H-1 | 1        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 2         | LINE H-2 | 2        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 3         | LINE H-3 | 3        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 4         | LINE H-4 | 4        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |

**CONCRETE INLET STRUCTURE DATA TABLE**

| STRUCTURE | LINE     | LINE NO. | LINE TYPE | LINE SIZE | LINE MATERIAL | LINE ELEVATION | LINE LENGTH | LINE DATE | LINE DRAWN BY | LINE CHECKED BY | LINE APPROVED BY |
|-----------|----------|----------|-----------|-----------|---------------|----------------|-------------|-----------|---------------|-----------------|------------------|
| 1         | LINE H-1 | 1        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 2         | LINE H-2 | 2        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 3         | LINE H-3 | 3        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |
| 4         | LINE H-4 | 4        | 18"       | 18"       | CONCRETE      | 4.5700'        | 18'         | 4.57      | 12/17/19      | 12/17/19        | 12/17/19         |

**LINE H-1**

CONSTRUCTION NOTES

- CONSTRUCT 18" DIA (SEE MODEL FOR A DETAILED) CONCRETE INLET STRUCTURE PER CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS.
- CONSTRUCT 18" DIA (SEE MODEL FOR A DETAILED) CONCRETE INLET STRUCTURE PER CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS.
- CONSTRUCT 18" DIA (SEE MODEL FOR A DETAILED) CONCRETE INLET STRUCTURE PER CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS.
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**LINE A**

CONSTRUCTION NOTES

- CONSTRUCT 18" DIA (SEE MODEL FOR A DETAILED) CONCRETE INLET STRUCTURE PER CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS.
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- CONSTRUCT 18" DIA (SEE MODEL FOR A DETAILED) CONCRETE INLET STRUCTURE PER CITY ENGINEERING DEPARTMENT'S DESIGN MANUAL FOR STORM DRAINAGE SYSTEMS AND SPECIFICATIONS FOR STORM DRAINAGE SYSTEMS.



**DIGITAL**

DWG. TOLL FREE  
8-1-1  
AT LEAST TWO DAYS  
BEFORE THE DATE  
OF PRINTING

PROJECT NO. 2019-0001  
SHEET NO. 5  
DATE: 12/17/19

**REVISIONS**

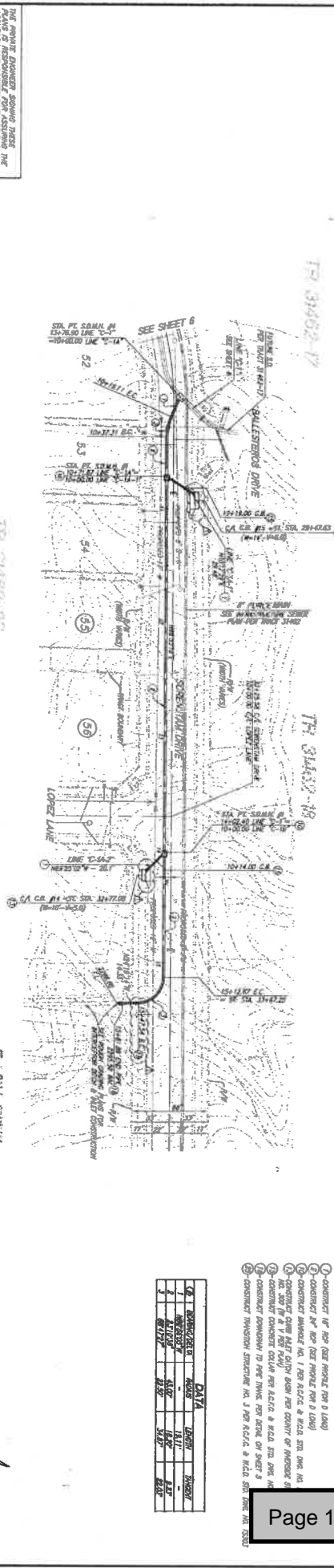
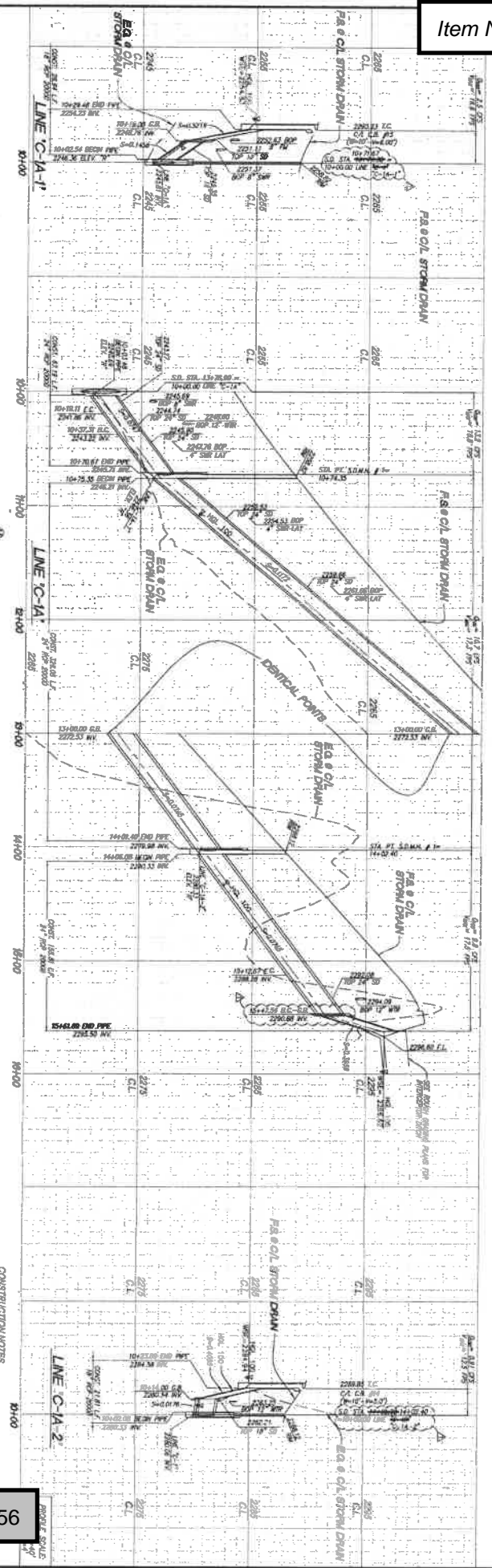
| NO. | DATE     | DESCRIPTION      |
|-----|----------|------------------|
| 1   | 12/17/19 | ISSUE FOR PERMIT |

APPROVED BY: [Signature]  
DATE: 12/17/19

CITY OF BEAUNONT CALIFORNIA  
ENGINEERING DEPARTMENT  
12/17/19

CITY OF BEAUNONT CALIFORNIA  
ENGINEERING DEPARTMENT  
12/17/19





THE ENGINE DRAWING SHOWING THESE APPROVALS AND ASSUREMENTS OF THE DESIGN HEREIN, IN THE EVENT OF APPROVAL OR REVISION OF THE DESIGN, THE ENGINEER WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND REVISING THE PLANS FOR APPROVAL BY THE CITY ENGINEER. THESE PLANS SHALL BE PRINTED ON A 24\"/>

**DATA**

| NO. | DESCRIPTION | DATE  | BY  | CHECKED |
|-----|-------------|-------|-----|---------|
| 1   | DESIGNED    | 11/11 | ASD | ASD     |
| 2   | REVISED     | 11/11 | ASD | ASD     |

**CONSTRUCTION NOTES**

- CONSTRUCT IN PER ORDER PER 0 (L&D)
- CONSTRUCT IN PER ORDER PER 0 (L&D)
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- CONSTRUCT IN PER ORDER PER 0 (L&D)

**LINE 'C-1A'**

**PARK SITE**

PA-209

**CONSTRUCTION NOTES**

- CONSTRUCT IN PER ORDER PER 0 (L&D)
- CONSTRUCT IN PER ORDER PER 0 (L&D)
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**DATA**

| NO. | DESCRIPTION | DATE  | BY  | CHECKED |
|-----|-------------|-------|-----|---------|
| 1   | DESIGNED    | 11/11 | ASD | ASD     |
| 2   | REVISED     | 11/11 | ASD | ASD     |

**APPROVED BY:** [Signature]

**CITY OF BEAUMONT, PUBLIC WORKS DEPARTMENT**

**APPROVED BY:** [Signature]

**CITY OF BEAUMONT, CALIFORNIA**

**STORM DRAIN IMPROVEMENT PLANS**

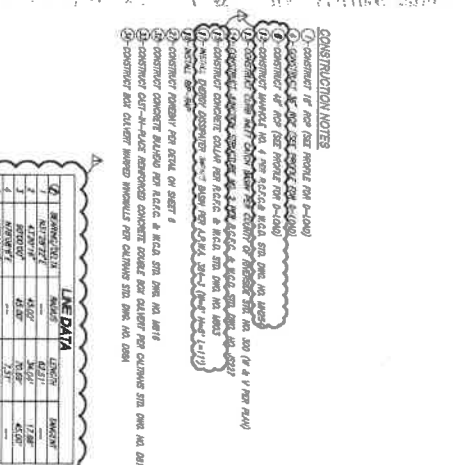
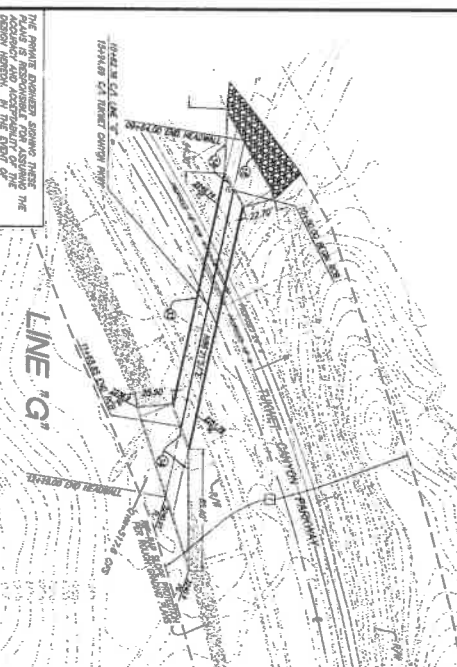
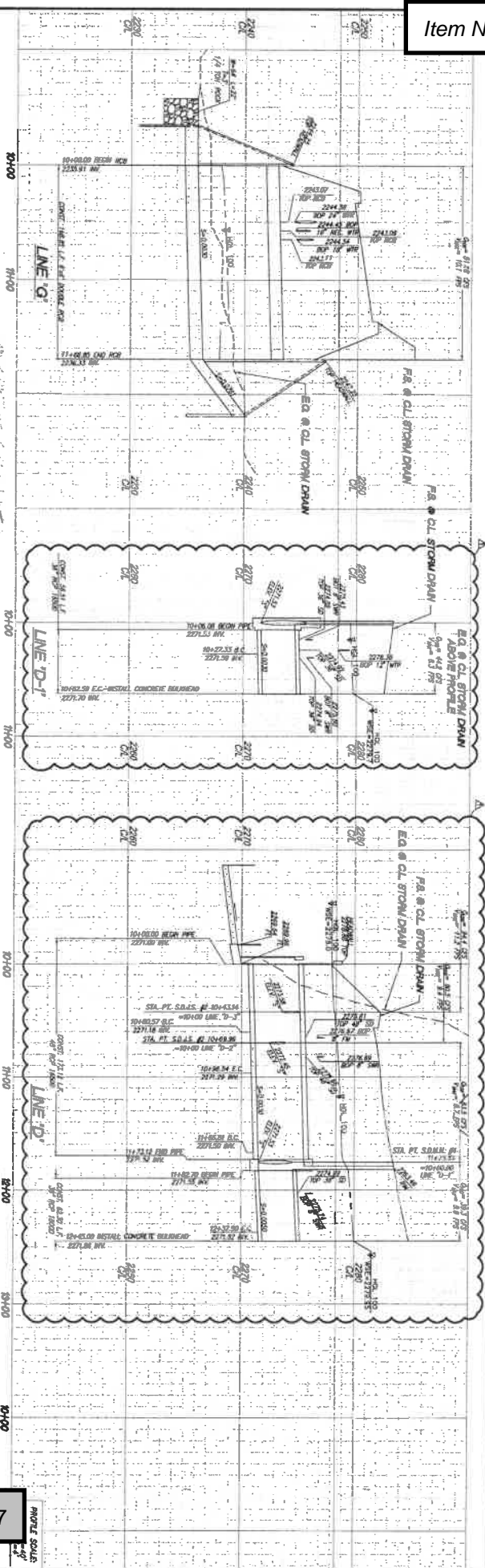
**PROJECT NO. 11482**

**SHEET 7**

**LINE 'C-1A', LINE 'C-1A-1' AND 'C-1A-2'**

**DATE: 11/11**

**SCALE: 1"=40'**



- CONSTRUCTION NOTES**
1. CONSTRUCT 18" RCP PER P-1000
  2. CONSTRUCT 18" RCP PER P-1000
  3. CONSTRUCT 18" RCP PER P-1000
  4. CONSTRUCT 18" RCP PER P-1000
  5. CONSTRUCT 18" RCP PER P-1000
  6. CONSTRUCT 18" RCP PER P-1000
  7. CONSTRUCT 18" RCP PER P-1000
  8. CONSTRUCT 18" RCP PER P-1000
  9. CONSTRUCT 18" RCP PER P-1000
  10. CONSTRUCT 18" RCP PER P-1000
  11. CONSTRUCT 18" RCP PER P-1000
  12. CONSTRUCT 18" RCP PER P-1000
  13. CONSTRUCT 18" RCP PER P-1000
  14. CONSTRUCT 18" RCP PER P-1000
  15. CONSTRUCT 18" RCP PER P-1000
  16. CONSTRUCT 18" RCP PER P-1000
  17. CONSTRUCT 18" RCP PER P-1000
  18. CONSTRUCT 18" RCP PER P-1000
  19. CONSTRUCT 18" RCP PER P-1000
  20. CONSTRUCT 18" RCP PER P-1000

**LINE DATA**

| LINE NO. | START STATION | END STATION | LENGTH | WIDTH | DEPTH | VELOCITY | MANHOLE |
|----------|---------------|-------------|--------|-------|-------|----------|---------|
| 1        | 20+00         | 20+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 2        | 20+50         | 21+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 3        | 21+00         | 21+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 4        | 21+50         | 22+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 5        | 22+00         | 22+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 6        | 22+50         | 23+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 7        | 23+00         | 23+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 8        | 23+50         | 24+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 9        | 24+00         | 24+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 10       | 24+50         | 25+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 11       | 25+00         | 25+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 12       | 25+50         | 26+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 13       | 26+00         | 26+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 14       | 26+50         | 27+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 15       | 27+00         | 27+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 16       | 27+50         | 28+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 17       | 28+00         | 28+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 18       | 28+50         | 29+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 19       | 29+00         | 29+50       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |
| 20       | 29+50         | 30+00       | 50.00  | 18"   | 18"   | 4.00     | 17" DIA |

**MANHOLE & CATCH BASIN STRUCTURE DATA TABLE**

| STRUCTURE | LINE   | START STATION | END STATION | DATE   |
|-----------|--------|---------------|-------------|--------|
| 1         | LINE D | 20+00         | 20+50       | 1/1/20 |
| 2         | LINE D | 20+50         | 21+00       | 1/1/20 |
| 3         | LINE D | 21+00         | 21+50       | 1/1/20 |
| 4         | LINE D | 21+50         | 22+00       | 1/1/20 |
| 5         | LINE D | 22+00         | 22+50       | 1/1/20 |
| 6         | LINE D | 22+50         | 23+00       | 1/1/20 |
| 7         | LINE D | 23+00         | 23+50       | 1/1/20 |
| 8         | LINE D | 23+50         | 24+00       | 1/1/20 |
| 9         | LINE D | 24+00         | 24+50       | 1/1/20 |
| 10        | LINE D | 24+50         | 25+00       | 1/1/20 |
| 11        | LINE D | 25+00         | 25+50       | 1/1/20 |
| 12        | LINE D | 25+50         | 26+00       | 1/1/20 |
| 13        | LINE D | 26+00         | 26+50       | 1/1/20 |
| 14        | LINE D | 26+50         | 27+00       | 1/1/20 |
| 15        | LINE D | 27+00         | 27+50       | 1/1/20 |
| 16        | LINE D | 27+50         | 28+00       | 1/1/20 |
| 17        | LINE D | 28+00         | 28+50       | 1/1/20 |
| 18        | LINE D | 28+50         | 29+00       | 1/1/20 |
| 19        | LINE D | 29+00         | 29+50       | 1/1/20 |
| 20        | LINE D | 29+50         | 30+00       | 1/1/20 |

**THE DRAWING ENGINEER'S SIGNATURE** SHALL BE THE ASSIGNED AND INDISPENSIBLE OF THE DESIGNER. ANY CHANGES MADE TO THE DRAWING SHALL BE MADE IN THE MARGINS OF THE DRAWING. THE DRAWING ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO HIM BY THE CLIENT. THE DRAWING ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO HIM BY THE CLIENT.

**THE DRAWING ENGINEER'S SIGNATURE** SHALL BE THE ASSIGNED AND INDISPENSIBLE OF THE DESIGNER. ANY CHANGES MADE TO THE DRAWING SHALL BE MADE IN THE MARGINS OF THE DRAWING. THE DRAWING ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO HIM BY THE CLIENT. THE DRAWING ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO HIM BY THE CLIENT.

**CONTRACT NO.** 18-119-001  
**PROJECT NO.** 18-119-001  
**DATE:** 1/1/20

**APPROVED BY:** [Signature]  
**DATE:** 1/1/20

**REVISIONS:**

| NO. | DESCRIPTION        | DATE   |
|-----|--------------------|--------|
| 1   | ISSUED FOR PERMITS | 1/1/20 |
| 2   | ISSUED FOR PERMITS | 1/1/20 |
| 3   | ISSUED FOR PERMITS | 1/1/20 |
| 4   | ISSUED FOR PERMITS | 1/1/20 |
| 5   | ISSUED FOR PERMITS | 1/1/20 |
| 6   | ISSUED FOR PERMITS | 1/1/20 |
| 7   | ISSUED FOR PERMITS | 1/1/20 |
| 8   | ISSUED FOR PERMITS | 1/1/20 |
| 9   | ISSUED FOR PERMITS | 1/1/20 |
| 10  | ISSUED FOR PERMITS | 1/1/20 |
| 11  | ISSUED FOR PERMITS | 1/1/20 |
| 12  | ISSUED FOR PERMITS | 1/1/20 |
| 13  | ISSUED FOR PERMITS | 1/1/20 |
| 14  | ISSUED FOR PERMITS | 1/1/20 |
| 15  | ISSUED FOR PERMITS | 1/1/20 |
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| 17  | ISSUED FOR PERMITS | 1/1/20 |
| 18  | ISSUED FOR PERMITS | 1/1/20 |
| 19  | ISSUED FOR PERMITS | 1/1/20 |
| 20  | ISSUED FOR PERMITS | 1/1/20 |

**PROJECT NO.** 18-119-001  
**DATE:** 1/1/20

**APPROVED BY:** [Signature]  
**DATE:** 1/1/20

**REVISIONS:**

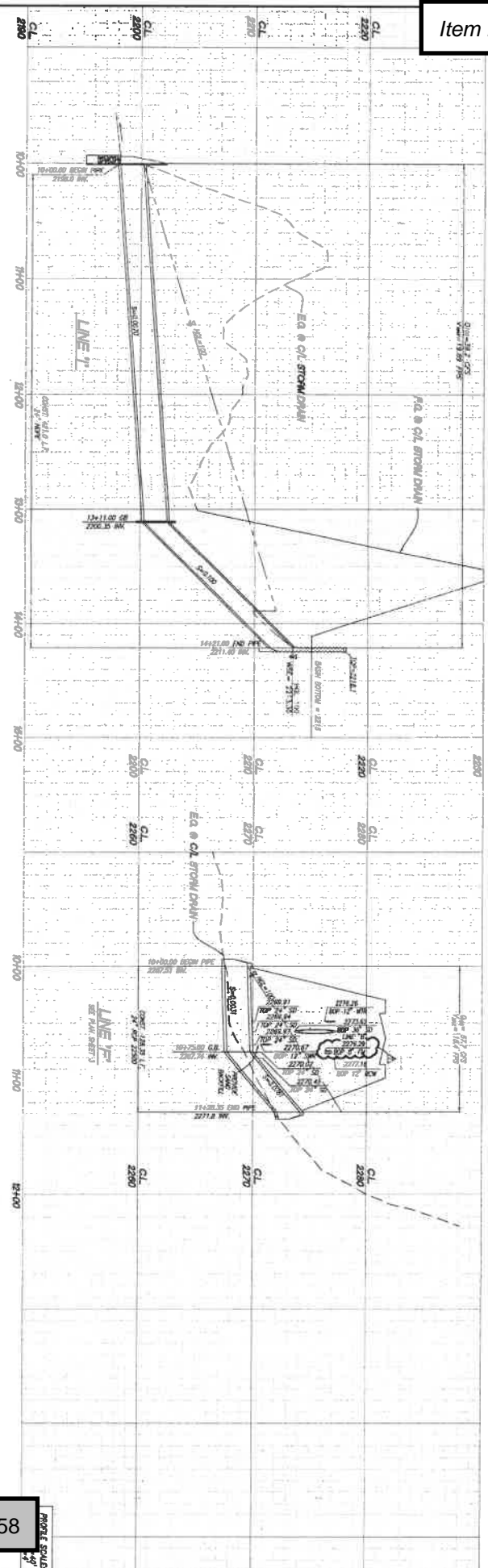
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| 2   | ISSUED FOR PERMITS | 1/1/20 |
| 3   | ISSUED FOR PERMITS | 1/1/20 |
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| 14  | ISSUED FOR PERMITS | 1/1/20 |
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| 19  | ISSUED FOR PERMITS | 1/1/20 |
| 20  | ISSUED FOR PERMITS | 1/1/20 |

**PROJECT NO.** 18-119-001  
**DATE:** 1/1/20

**APPROVED BY:** [Signature]  
**DATE:** 1/1/20

**REVISIONS:**

| NO. | DESCRIPTION        | DATE   |
|-----|--------------------|--------|
| 1   | ISSUED FOR PERMITS | 1/1/20 |
| 2   | ISSUED FOR PERMITS | 1/1/20 |
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| 15  | ISSUED FOR PERMITS | 1/1/20 |
| 16  | ISSUED FOR PERMITS | 1/1/20 |
| 17  | ISSUED FOR PERMITS | 1/1/20 |
| 18  | ISSUED FOR PERMITS | 1/1/20 |
| 19  | ISSUED FOR PERMITS | 1/1/20 |
| 20  | ISSUED FOR PERMITS | 1/1/20 |



- CONSTRUCTION NOTES**
- 1. CONSTRUCT PER PLAN
  - 2. CONSTRUCT CONCRETE DRAINAGE PIPES 8" DIA. & 12" DIA. 5% SLOPE, 10' MIN. LENGTH
  - 3. CONSTRUCT PER PLAN 2' DIA. 12" DIA. & 18" DIA. 5% SLOPE, 10' MIN. LENGTH
  - 4. CONSTRUCT 1.5' DIA. 12" DIA. 5% SLOPE ON SHIRT 2
  - 5. REMOVE AND REPLACE OVER NIGHT OF WORK
  - 6. EXISTING 12" DIA. 5% SLOPE & 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE
  - 7. EXISTING 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE
  - 8. EXISTING 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE



**CONSTRUCTION NOTES**

- 1. CONSTRUCT PER PLAN
- 2. CONSTRUCT CONCRETE DRAINAGE PIPES 8" DIA. & 12" DIA. 5% SLOPE, 10' MIN. LENGTH
- 3. CONSTRUCT PER PLAN 2' DIA. 12" DIA. & 18" DIA. 5% SLOPE, 10' MIN. LENGTH
- 4. CONSTRUCT 1.5' DIA. 12" DIA. 5% SLOPE ON SHIRT 2
- 5. REMOVE AND REPLACE OVER NIGHT OF WORK
- 6. EXISTING 12" DIA. 5% SLOPE & 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE
- 7. EXISTING 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE
- 8. EXISTING 12" DIA. 5% SLOPE TO BE MAINTAINED AND PROTECTED FROM DAMAGE

**ARGENT MANAGEMENT**

CITY OF BEAUMONT, CALIFORNIA  
STORM DRAIN IMPROVEMENT PLANS  
TRACER NO. 51492  
**LINE 7' AND 7''**

SHEET 9  
of 11 SHEETS

DATE: 1.1.20  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]  
CITY OF BEAUMONT, PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

Scale: 1" = 40'  
North Arrow

**DISCLAIMER**

THE ENGINEER ASSURES THAT THESE PLANS ARE PREPARED FOR ASSUMING THE DESIGNER'S RESPONSIBILITY FOR ASSUMING THE DESIGNER'S RESPONSIBILITY IN THE EVENT OF APPROVAL OF THESE PLANS FOR CONSTRUCTION. THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE STORM DRAIN AND REMOVAL OF THE PLANS FOR APPROVAL BY THE CITY.

THESE PLANS SHALL NOT BE CONSIDERED VALID UNLESS APPROVED BY THE CITY ENGINEER.

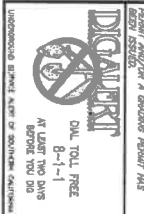
AT LEAST TWO DAYS BEFORE THE DATE OF SUBMISSION.

DESIGNER: [Signature]  
DATE: 1.1.20

APPROVED BY: [Signature]  
DATE: 1.1.20

CITY OF BEAUMONT, PUBLIC WORKS DEPARTMENT  
ENGINEERING DIVISION

Scale: 1" = 40'  
North Arrow



THE ABOVE DRAWING SHOWS THE APPROVED AND ASSESSMENT OF THE DESIGN FOR THE CONSTRUCTION OF... THE PROJECT IS SUBJECT TO THE APPROVAL OF THE PUBLIC WORKS DIVISION OF THE CITY OF BEAUMONT, CALIFORNIA.

THE ABOVE DRAWING SHOWS THE APPROVED AND ASSEMENT OF THE DESIGN FOR THE CONSTRUCTION OF... THE PROJECT IS SUBJECT TO THE APPROVAL OF THE PUBLIC WORKS DIVISION OF THE CITY OF BEAUMONT, CALIFORNIA.

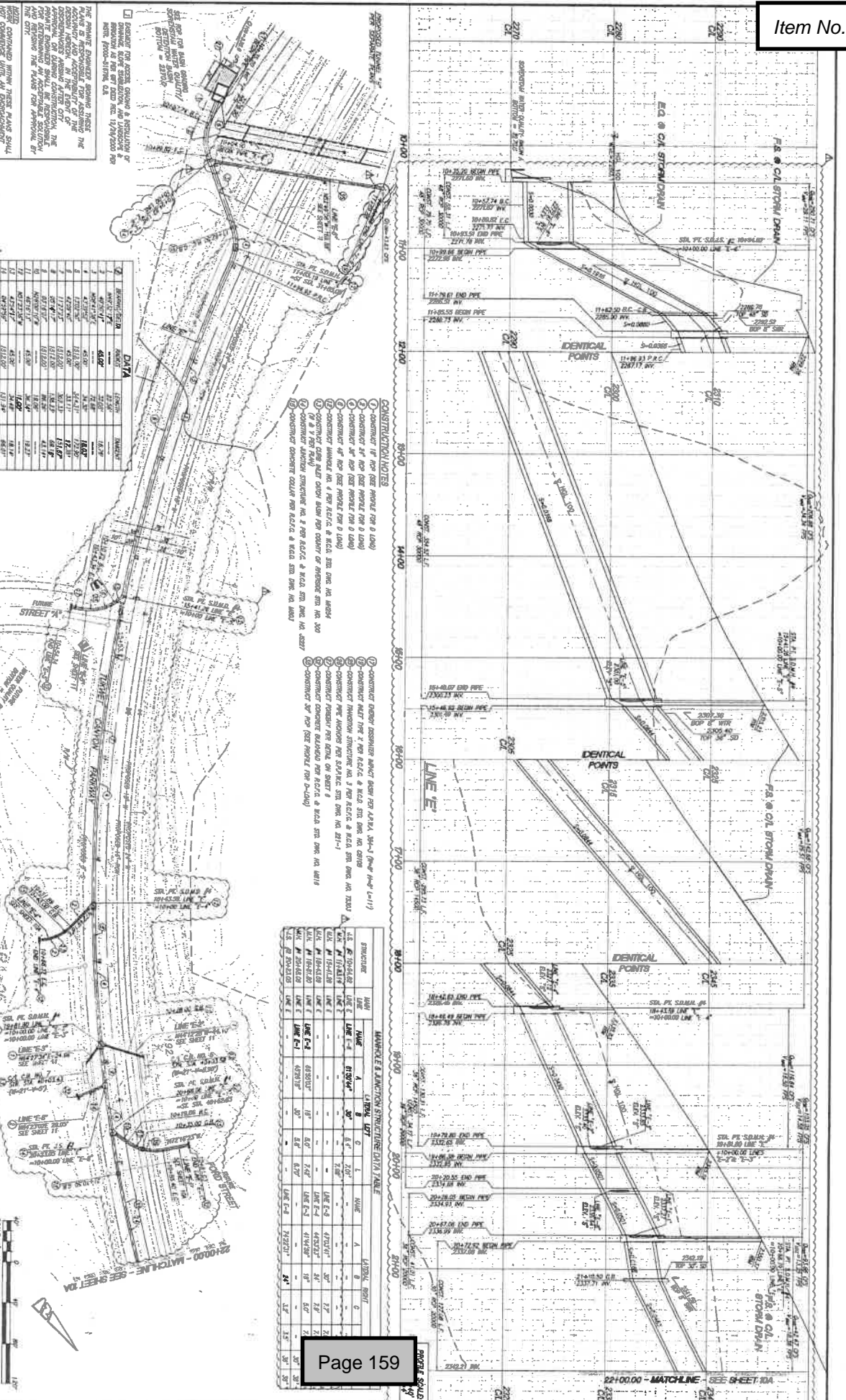
DATA table with columns: NO., ELEVATION, DISTANCE, BEARING, etc.

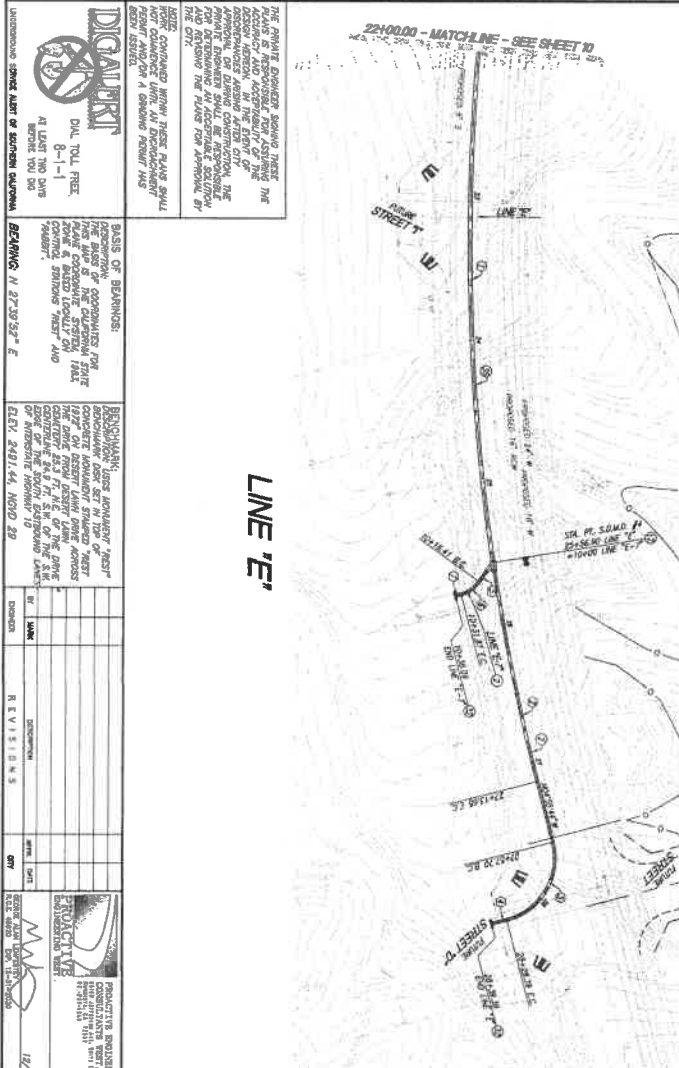
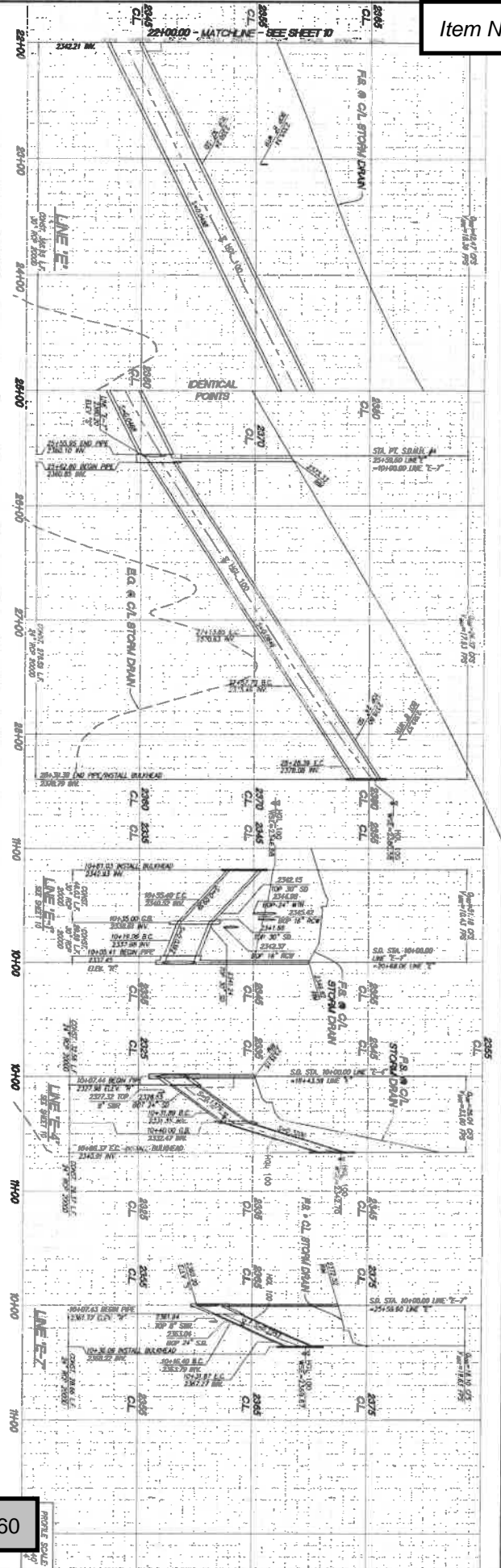
CONSTRUCTION NOTES: 1. CONSTRUCT PER PERMITS FOR 1. (1.00) 2. CONSTRUCT PER PERMITS FOR 2. (2.00) 3. CONSTRUCT PER PERMITS FOR 3. (3.00) 4. CONSTRUCT PER PERMITS FOR 4. (4.00) 5. CONSTRUCT PER PERMITS FOR 5. (5.00) 6. CONSTRUCT PER PERMITS FOR 6. (6.00) 7. CONSTRUCT PER PERMITS FOR 7. (7.00) 8. CONSTRUCT PER PERMITS FOR 8. (8.00) 9. CONSTRUCT PER PERMITS FOR 9. (9.00) 10. CONSTRUCT PER PERMITS FOR 10. (10.00)

STRUCTURE AND UTILITIES STRUCTURE DATA TABLE with columns: STRUCTURE, NAME, LOCATION, etc.

APPROVED FOR CITY OF BEAUMONT, CALIFORNIA, PUBLIC WORKS DIVISION, by [Signature]

Project Management and City of Beaumont information including project name, location, and contact details.





MANHOLE & JUNCTION STRUCTURE DATA TABLE

| STRUCTURE | LINE   | MANHOLE | VERTICAL CURVE | DATE     | APPROVED |
|-----------|--------|---------|----------------|----------|----------|
| LINE E    | LINE E | 4       | 0              | 11/17/20 | 444077   |
| LINE F    | LINE F | 2       | 0              | 11/17/20 | 444077   |

- CONSTRUCTION NOTES**
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLANS.
  2. CONTRACTOR SHALL VERIFY ALL EXISTING STORM DRAINAGE AND RECORD THEM ON THE CONSTRUCTION PLANS.
  3. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS AND RECORD THEM ON THE CONSTRUCTION PLANS.
  4. CONTRACTOR SHALL VERIFY ALL EXISTING SLOPES AND RECORD THEM ON THE CONSTRUCTION PLANS.
  5. CONTRACTOR SHALL VERIFY ALL EXISTING MATERIALS AND RECORD THEM ON THE CONSTRUCTION PLANS.
  6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND RECORD THEM ON THE CONSTRUCTION PLANS.
  7. CONTRACTOR SHALL VERIFY ALL EXISTING PROBLEMS AND RECORD THEM ON THE CONSTRUCTION PLANS.
  8. CONTRACTOR SHALL VERIFY ALL EXISTING DEFICIENCIES AND RECORD THEM ON THE CONSTRUCTION PLANS.
  9. CONTRACTOR SHALL VERIFY ALL EXISTING DEFICIENCIES AND RECORD THEM ON THE CONSTRUCTION PLANS.
  10. CONTRACTOR SHALL VERIFY ALL EXISTING DEFICIENCIES AND RECORD THEM ON THE CONSTRUCTION PLANS.

**DATA**

| NO. | DESCRIPTION | DATE     | BY | CHECKED |
|-----|-------------|----------|----|---------|
| 1   | DESIGNED    | 11/17/20 | AK | AK      |
| 2   | DRAWN       | 11/17/20 | AK | AK      |
| 3   | CHECKED     | 11/17/20 | AK | AK      |
| 4   | APPROVED    | 11/17/20 | AK | AK      |
| 5   | REVISION    | 11/17/20 | AK | AK      |
| 6   | REVISION    | 11/17/20 | AK | AK      |
| 7   | REVISION    | 11/17/20 | AK | AK      |

**DISCLAIMER**

THE DRAWING ENGINEER SHOWING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON. IN THE EVENT OF ANY DISCREPANCY OR ERROR IN THE INFORMATION OR DATA PROVIDED HEREON, THE DRAWING ENGINEER SHALL BE RESPONSIBLE FOR CORRECTING THE INFORMATION AND DATA PROVIDED HEREON. THE DRAWING ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE CITY OF BEAUNTON, CALIFORNIA, SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS.

**DATE:** 11/17/20  
**SCALE:** 1"=40'  
**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20

**DESIGNED BY:** AK  
**CHECKED BY:** AK  
**APPROVED BY:** AK

**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20

**SCALE:** 1"=40'  
**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20

**APPROVED BY:** AK  
**DATE:** 11/17/20

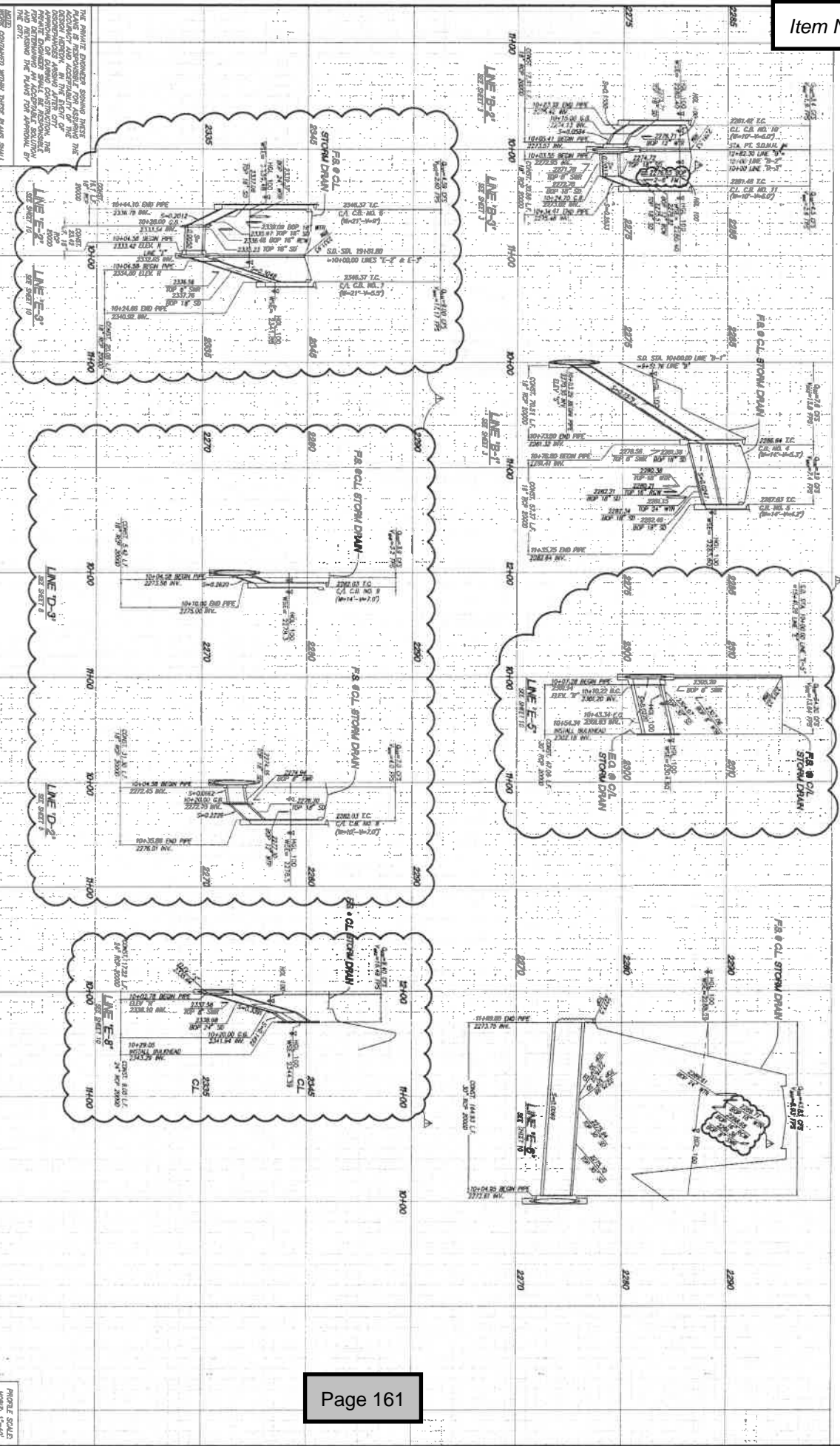
**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20

**SCALE:** 1"=40'  
**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20

**APPROVED BY:** AK  
**DATE:** 11/17/20

**PROJECT NO.:** 2018-001  
**DATE:** 11/17/20





THE PRIVATE ENGINEER SHOWING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY OF ALL INFORMATION AND DATA AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN THE EVENT OF CONSTRUCTION. IN THE EVENT OF ANY DISCREPANCY OR INCONSISTENCY BETWEEN THESE PLANS AND ANY OTHER PLANS OR RECORDS, THESE PLANS SHALL CONTROL. THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS IN THE EVENT OF CONSTRUCTION. IN THE EVENT OF ANY DISCREPANCY OR INCONSISTENCY BETWEEN THESE PLANS AND ANY OTHER PLANS OR RECORDS, THESE PLANS SHALL CONTROL.



DAVID J. RIZE  
No. 44515  
State of California

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No. 44515  
State of California

DAVID J. RIZE  
No. 44515  
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State of California



DAVID J. RIZE  
No. 44515  
State of California

DAVID J. RIZE  
No. 44515  
State of California

|   |                         |          |    |
|---|-------------------------|----------|----|
| <b>REVISIONS</b><br>NO. DESCRIPTION DATE BY |                         |          |    |
| 1   | ISSUED FOR PERMITTING   | 12/16/19 | DR |
| 2   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 3   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 4   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 5   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 6   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
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| 8   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 9   | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 10  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 11  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 12  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 13  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 14  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 15  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 16  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 17  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 18  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 19  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 20  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 21  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 22  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 23  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 24  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 25  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 26  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 27  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 28  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 29  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 30  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 31  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 32  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 33  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 34  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 35  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 36  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 37  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 38  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 39  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 40  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 41  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 42  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 43  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 44  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 45  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 46  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 47  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 48  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 49  | REVISED TO SHOW CHANGES | 12/16/19 | DR |
| 50  | REVISED TO SHOW CHANGES | 12/16/19 | DR |



### Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Jeff Hart, Public Works Director  
**DATE:** February 4, 2020  
**SUBJECT:** Bond Exoneration for Bond No. 2264721, 41383375, 2264727 and; 2264722 for K. Hovnanian Homes Tract 33096-13

**Background and Analysis:**

The developer, K. Hovnanian Homes, has completed street, sewer, storm drain and monumentation improvements within Tract 33096-12. The aforementioned tract is part of the Four Seasons Specific Plan residential development located in the City of Beaumont, west of Highland Springs Avenue, and south of Potrero Boulevard. Attached are the bond exoneration documents submitted by the developer (see Attachment A, B, C and D). All of the bonded improvements associated with the aforementioned tracts are summarized in the table below.

| Table 1. KHOV Bond Exoneration Summary |                  |                     |             |                           |
|--|------------------|---------------------|-------------|---------------------------|
| Bond Number                            | Tract Map Number | Type of Improvement | Bond Type   | Maintenance Bond Required |
| 2264721                                | 33096-13         | Storm Drain         | Performance | Yes                       |
| 41383375                               | 33096-13         | Sewer               | Performance | Yes                       |
| 2264727                                | 33096-13         | Streets             | Performance | Yes                       |
| 2264722                                | 33096-13         | Monumentation       | Performance | No                        |

All tracts in the Four Seasons development are privately maintained by the homeowner’s association, the City only maintains the sewer utility within the private development. The HOA maintains all other improvements.

Staff has verified the completion of the improvements, and recommends that City Council approve and authorize the Mayor to exonerate the aforementioned bonds and accept Maintenance Bond No.’s 3085345, 41394539 and 3085344 to replace performance bonds for Tract 33096-13.

**Fiscal Impact:**

The cost to prepare this staff report is approximately \$650.

**Recommended Action:**

Accept Maintenance Bond No. 3085345 to replace Performance Bond No. 2264721,  
Accept Maintenance Bond No. 41394539 to replace Performance Bond No. 41383375, and  
Accept Maintenance Bond No. 3085344 to replace Performance Bond No. 2264727.

**Attachments:**

- A. Bond exoneration application for Bond No.2264721, and associated storm drain improvement plans
- B. Bond exoneration application for Bond No.41383375, and associated sewer improvement plans
- C. Bond exoneration application for Bond No.2264727, and associated street improvement plans
- D. Bond exoneration application for Bond No.2264722, and associated signed and stamped monument tie sheets
- E. Maintenance Bond No. 3085345 for storm drain improvements
- F. Maintenance Bond No. 41394539 for sewer improvements
- G. Maintenance Bond No. 3085344 for street improvements



# City of Beaumont

550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223  
(951) 769-8520  
www.ci.beaumont.ca.us

Case No. PW2019-0413  
Receipt No. 946571  
Fee \$ 484.43 App / \$3,000 Insp Fees  
Date Paid 10/31/19

## BOND EXONERATION APPLICATION

Bond Type:  Performance  Maintenance  Final Monument Inspection  Other: \_\_\_\_\_

1. Contact's Name KEVIN METCALFE Phone 949-236-1042

2. Contact's Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/State/Zip

5. Contact's E-mail KMETCALFE@KHOV.COM

3. Developer Name K-HOVANNAN HOMES Phone 714-368-4500  
(If corporation or partnership application must include names of principal officers or partners)

4. Developer Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/St/Zip

5. Description of Bonds (including Bond Number, Tract Map/Application number, Lot number, and description of improvements covered):  
TRACT # 33096-13 BOND # 2264721 STORM DRAIN

6. **CERTIFICATION OF ACCURACY AND COMPLETENESS:** I hereby certify that to the best of my knowledge the information in this application and all attached answers and exhibits are true, complete, and correct.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

7. Contractor shall indemnify, defend, and hold harmless the City and its officers, officials, employees and volunteers from and against any and all liability, loss, damage, expense, costs (including without limitation costs and fees of litigation) of every nature arising out of or in connection with contractor's performance of work hereunder or its failure to comply with any of its obligations for which this Bond exoneration is requested, except for such loss or damage which was caused by the active negligence of the City.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

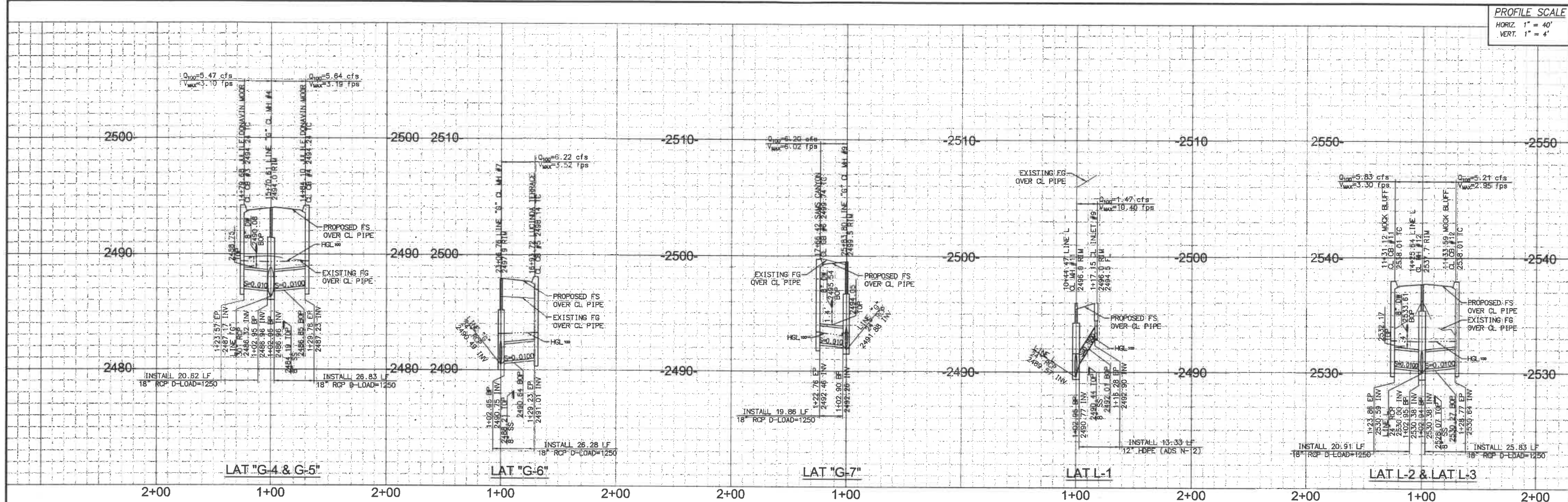
8. Developer/Contractor has completed all the following items prior to requesting release or has included them in the application.

- Remove and replace concrete and AC as needed where lifting.
- Provide AC crack fill as needed. Crack fill/seal shall be hot asphaltic emulsion.
- Provide Type II slurry coat for all road surfaces.
- Restore/Verify pavement striping/markings.
- Restore/Verify blue dots and signage as needed.
- Clean and camera sewer. Provide report and video copy of camera survey.
- Provide all final geotechnical reports.
- Provide Engineers' certification for line and grade within Right-of-Way.
- Provide Landscape Architects Certification as required.

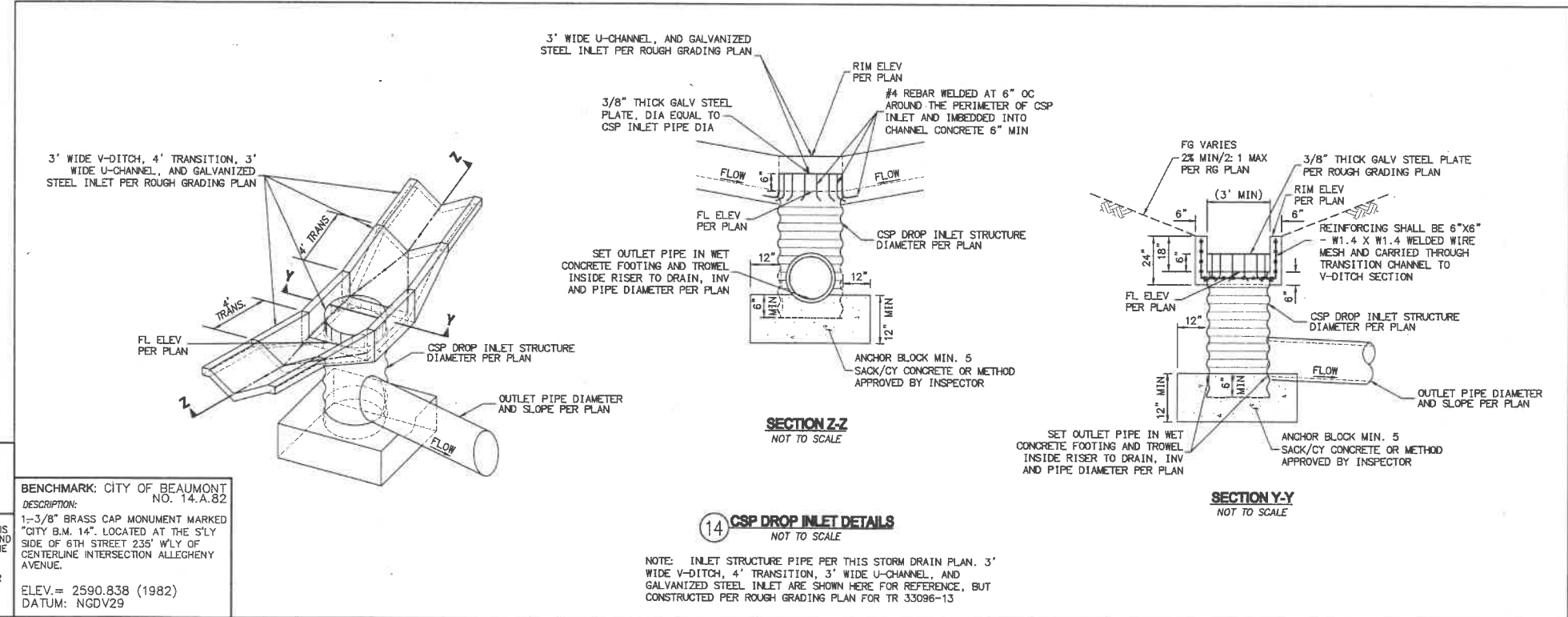
KEVIN METCALFE *[Signature]* 10-30-19  
Print Name and Sign - Contact/Applicant Date



PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



**CONSTRUCTION NOTES**  
 (14) CONSTRUCT CSP DROP INLET STRUCTURE PER DETAILS ON SHEET 2



**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISIONS TO THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
**DESCRIPTION:**  
 1-3/8\"/>

ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

**BASIS OF BEARINGS:**  
**DESCRIPTION:**  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05\"/>

|          |          |            |
|----------|----------|------------|
| BY: MARK | DES: DES | APPR: DATE |
| ENGINEER | REV: REV | CITY       |



**Michael Baker INTERNATIONAL**  
 5 Hudson Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

DATE: 9/21/17  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: RH  
 DRAIN BY: MJ  
 CHECKED BY: MMI  
 SCALE:  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 10/9/17  
 Recommended for Approval By: [Signature] Date: 10/9/17  
 Approved By: [Signature] Date: 10/11/17  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
 STORM DRAIN PLANS FOR:  
 STORM DRAIN DETAILS  
 SD LAT "G-4", "G-5", "G-6", "G-7", "L-1", "L-2" & "L-3"

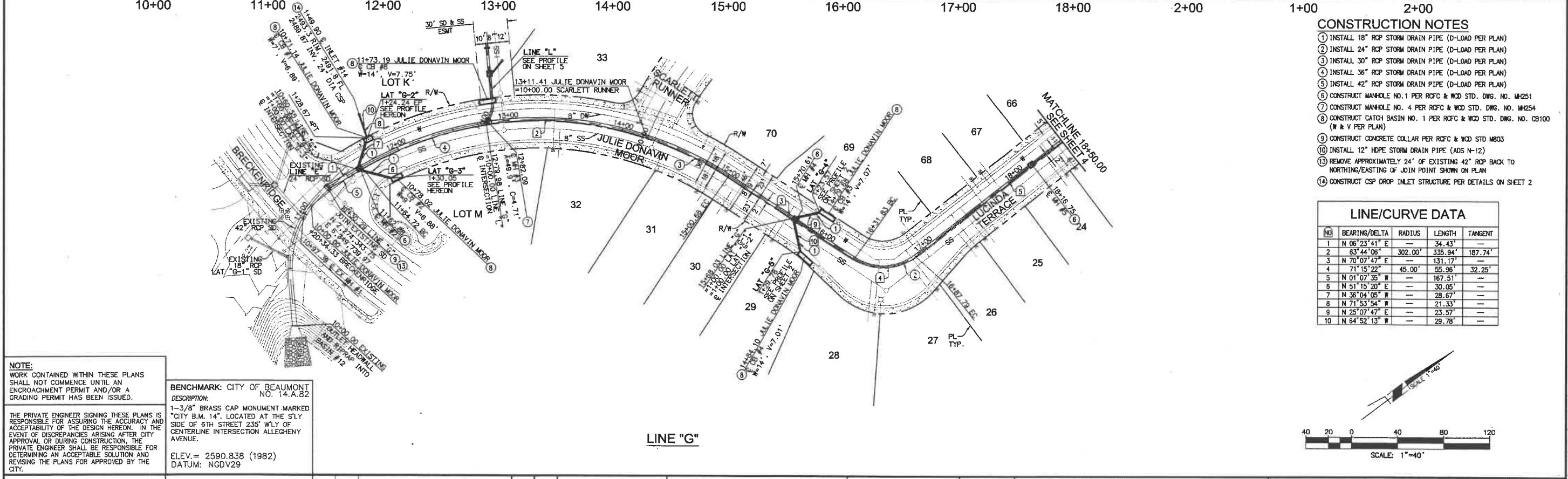
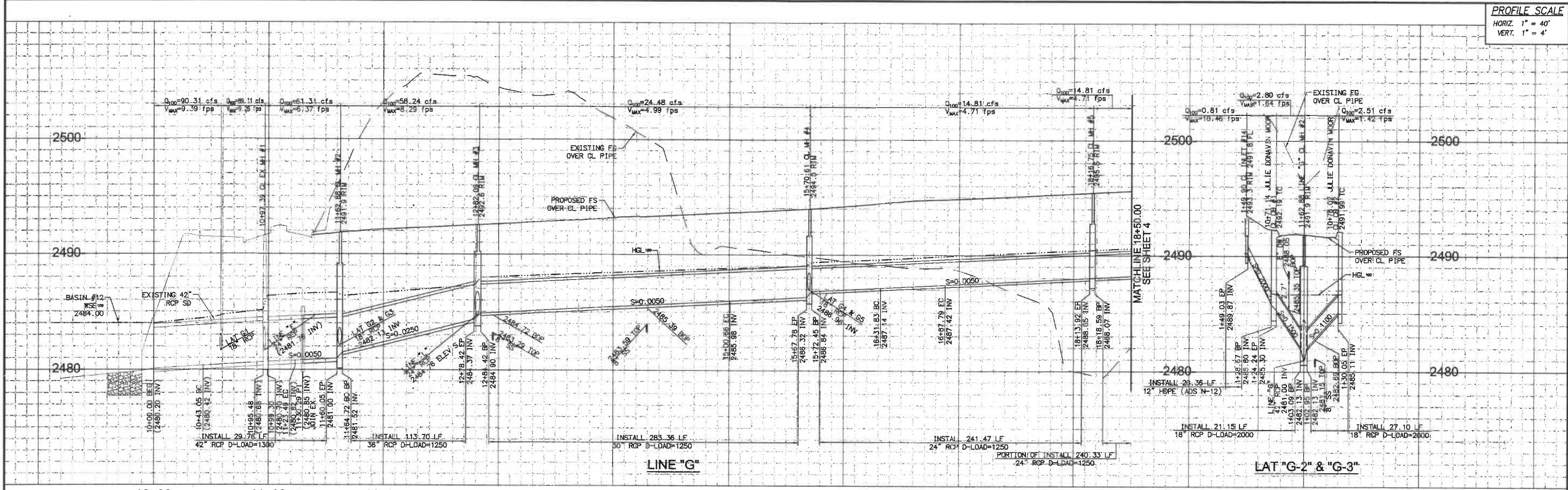
FOR: K. HOVNANIAN

SHEET  
**2**  
 OF 5 SHEETS  
 FILE NO.: 3136



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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- INSTALL 18" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 24" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 30" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 36" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 42" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - CONSTRUCT MANHOLE NO. 1 PER RCF & WOD STD. DWS. NO. M251
  - CONSTRUCT MANHOLE NO. 4 PER RCF & WOD STD. DWS. NO. M254
  - CONSTRUCT CATCH BASIN NO. 1 PER RCF & WOD STD. DWS. NO. CB100 (W & V PER PLAN)
  - CONSTRUCT CONCRETE COLLAR PER RCF & WOD STD M803
  - INSTALL 12" HDPE STORM DRAIN PIPE (ADS N-12)
  - REMOVE APPROXIMATELY 24' OF EXISTING 42" RCP BACK TO NORTHING/EASTING OF JOIN POINT SHOWN ON PLAN
  - CONSTRUCT CSP DROP INLET STRUCTURE PER DETAILS ON SHEET 2

**LINE/CURVE DATA**

| NO. | BEARING/DELTA   | RADIUS  | LENGTH  | TANGENT |
|-----|-----------------|---------|---------|---------|
| 1   | N 06° 23' 41" E | ---     | 34.43'  | ---     |
| 2   | S 3° 44' 06" E  | 302.00' | 335.94' | 187.74' |
| 3   | N 70° 07' 47" E | ---     | 131.17' | ---     |
| 4   | N 71° 15' 29" E | 45.00'  | 55.96'  | 32.25'  |
| 5   | N 01° 07' 35" W | ---     | 167.51' | ---     |
| 6   | N 51° 15' 20" E | ---     | 30.06'  | ---     |
| 7   | N 36° 04' 05" W | ---     | 28.67'  | ---     |
| 8   | N 71° 53' 54" W | ---     | 21.33'  | ---     |
| 9   | N 25° 07' 47" E | ---     | 23.57'  | ---     |
| 10  | N 64° 52' 13" W | ---     | 29.78'  | ---     |

**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION: 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

**BASIS OF BEARINGS:**  
 DESCRIPTION: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31° 38' 05" W

| BY       | MARK | DES      | DATE |
|----------|------|----------|------|
| ENGINEER | REV  | Page 168 | QTY  |



**Michael Baker INTERNATIONAL**  
 51401 Camino Del Rio East, Suite 500  
 San Diego, CA 92108  
 Phone: (619) 472-3505  
 MBAKERINTL.COM

MAURICIO M. IACELLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: RH  
 DRAWN BY: MJ  
 CHECKED BY: MMH  
 SCALE: 1"=40'  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103705

Reviewed By: *Richard St. John* Staff Engineer Date: 10/9/17  
 Recommended for Approval By: *Richard St. John* Administrative Engineer Date: 10/9/17  
 Approved By: *James Oller* Director of Public Works, R.C.E. 50932 Date: 10/10/17  
 City of Beaumont, Public Works Department  
 Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
 STORM DRAIN PLANS FOR:  
 STORM DRAIN LINE "G" 10+00.00 TO 18+50.00  
 SD LAT "G-2" & "G-3"

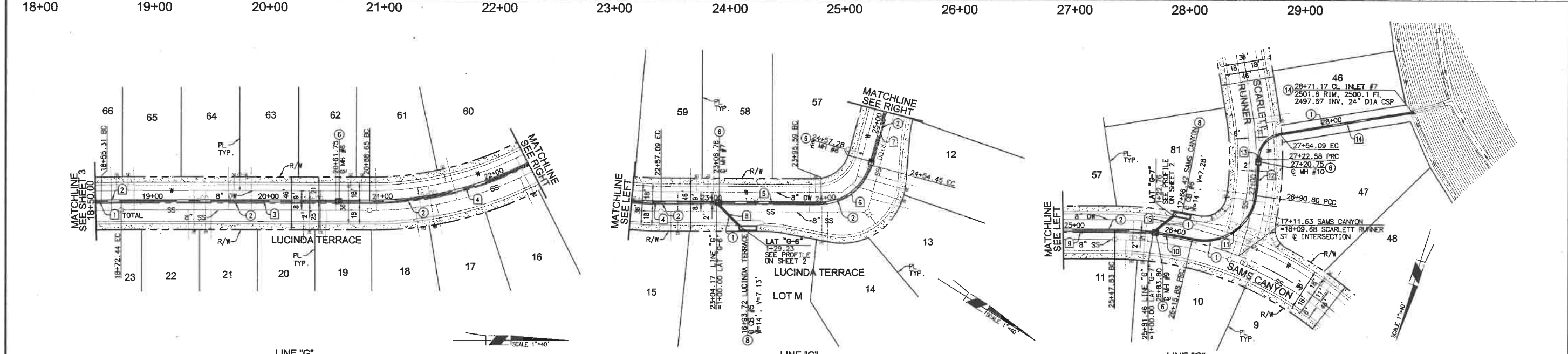
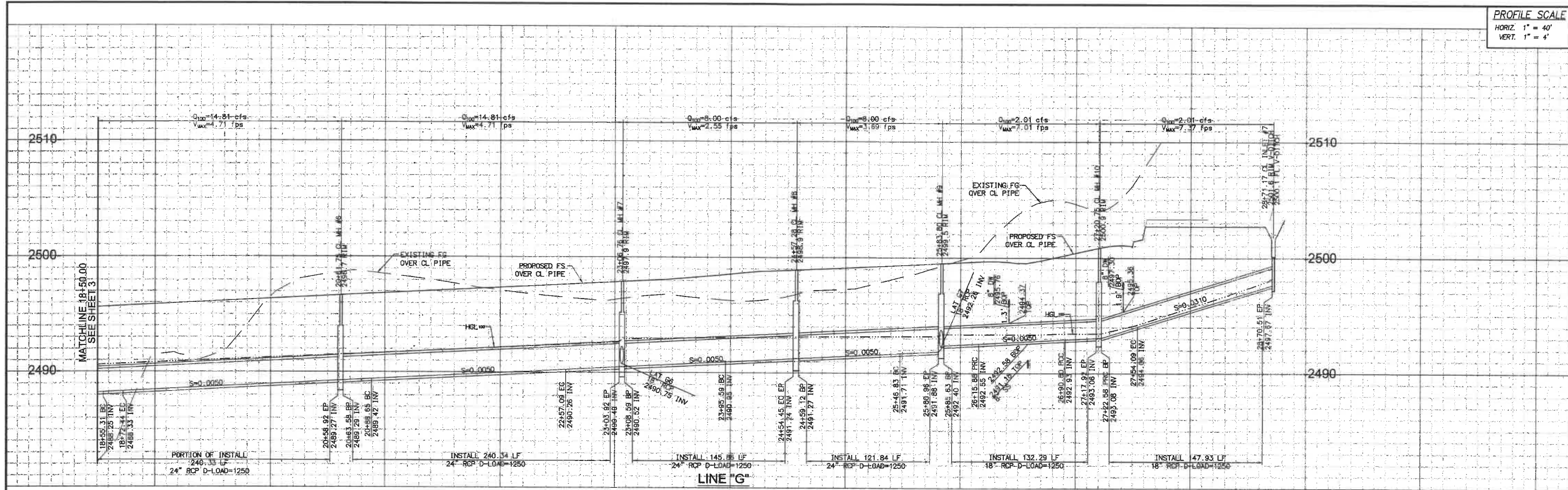
FOR: K. HOVNANIAN

SHEET  
**3**  
 OF 5 SHEETS  
 FILE NO.: 3136

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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NAD83

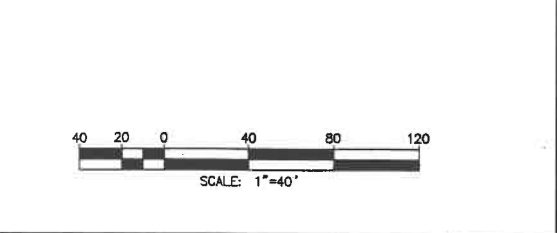
**LINE/CURVE DATA**

| NO. | BEARING/Delta | RADIUS  | LENGTH  | TANGENT |
|-----|---------------|---------|---------|---------|
| 1   | N 01°07'35" W | 163.21' | —       | —       |
| 2   | N 01°13'25" W | 802.00' | 17.13'  | 8.56'   |
| 3   | N 00°05'50" E | —       | 216.22' | —       |
| 4   | S 32°23'04" W | 298.00' | 168.43' | 86.53'  |
| 5   | N 32°17'14" W | —       | 138.50' | —       |
| 6   | N 74°56'35" E | 45.00'  | 66.71'  | 39.09'  |
| 7   | N 72°46'11" E | —       | 93.38'  | —       |
| 8   | N 12°42'46" E | —       | 29.23'  | —       |

**LINE/CURVE DATA**

| NO. | BEARING/Delta | RADIUS  | LENGTH  | TANGENT |
|-----|---------------|---------|---------|---------|
| 9   | N 72°46'11" E | —       | 163.21' | —       |
| 10  | N 72°54'39" E | 302.00' | 93.38'  | 34.17'  |
| 11  | N 95°23'52" E | 45.00'  | 68.05'  | 49.45'  |
| 12  | N 07°13'31" E | 252.00' | 31.78'  | 15.91'  |
| 13  | N 80°14'28" E | 22.50'  | 31.51'  | 18.96'  |
| 14  | N 63°17'55" E | —       | 117.08' | —       |
| 15  | N 33°34'15" E | —       | 22.76'  | —       |

- CONSTRUCTION NOTES**
- INSTALL 18" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 24" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - CONSTRUCT MANHOLE NO. 1 PER RCP & WCD STD. DWS. NO. MH251
  - CONSTRUCT CATCH BASIN NO. 1 PER RCP & WCD STD. DWS. NO. CB100 (W & V PER PLAN)
  - CONSTRUCT CSP DROP INLET STRUCTURE PER DETAILS ON SHEET 2



**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31°38'05" W

BY: [Signature] MARK: [Signature] DES: [Signature] APPR. DATE: [Signature]

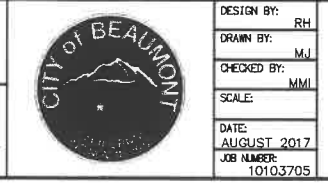
ENGINEER: [Signature] REV: [Signature] CITY: [Signature]

Page 169



**Michael Baker INTERNATIONAL**  
 5 Hudson Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 473-3505  
 MBAKERINTL.COM

[Signature] DATE: 9/21/17  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: RH  
 DRAIN BY: MJ  
 CHECKED BY: MJI  
 SCALE: [Blank]  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Staff Engineer Date: 10/9/17  
 Recommended for Approval By: [Signature] Administrative Engineer Date: 10/9/17  
 Approved By: [Signature] Director of Public Works, R.C.E. 50932 Date: 10/11/17

City of Beaumont, Public Works Department  
 Engineering Division  
 550 E. 6TH STREET  
 BEAUMONT, CA 92223  
 TEL: (951) 769-8520 • FAX: (951) 769-8526

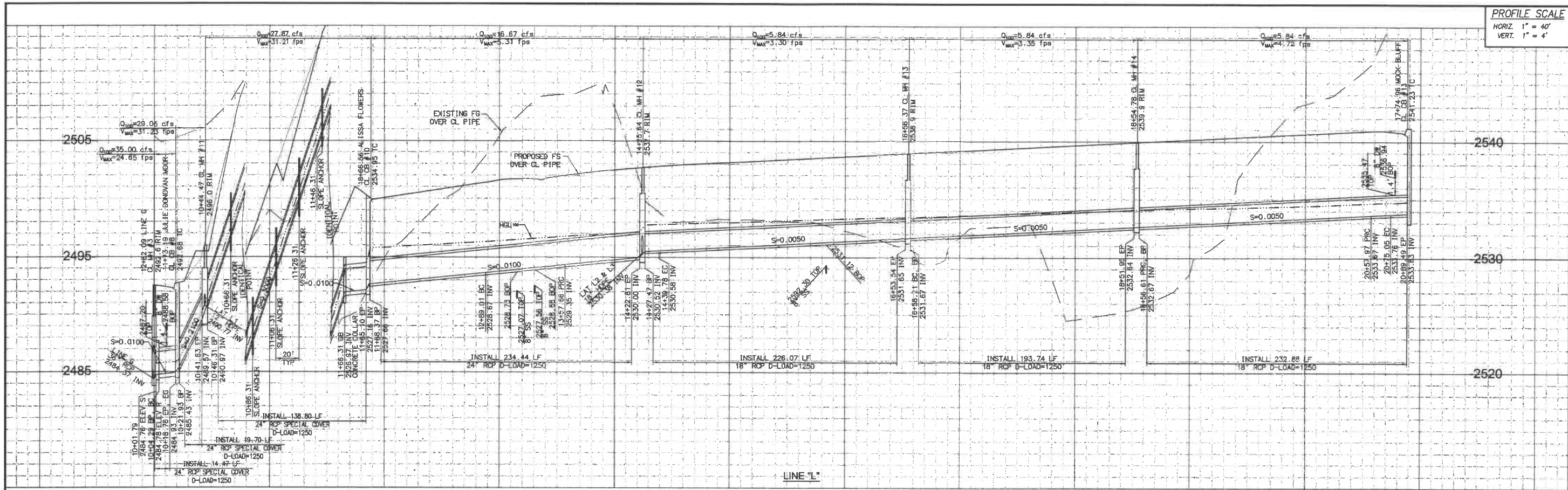
CITY OF BEAUMONT, CALIFORNIA  
 STORM DRAIN PLANS FOR:  
 STORM DRAIN LINE "G" 18+50.00 TO 28+71.17

SHEET 4 OF 5 SHEETS  
 FILE NO.: 3136

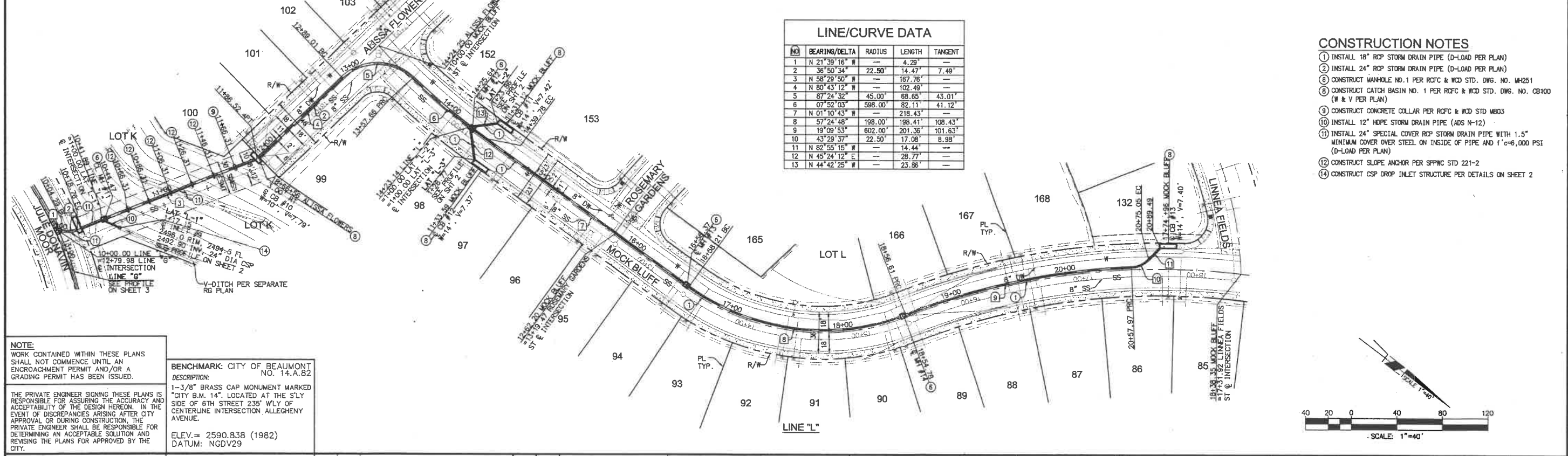
FOR: K. HOVNANIAN

H:\V\DATA\10103507\N\INE\CAD\LAND\DLV\MP\PH-2\1850\3507-04-SD.DWG JORDAN, TAYLOR 9/20/2017 9:18 AM

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00 19+00 20+00 21+00



LINE/CURVE DATA

| NO. | BEARING/DELTA   | RADIUS  | LENGTH  | TANGENT |
|-----|-----------------|---------|---------|---------|
| 1   | N 21° 39' 16" W | —       | 4.29'   | —       |
| 2   | S 36° 50' 34" E | 22.50'  | 14.47'  | 7.49'   |
| 3   | N 58° 29' 50" W | —       | 167.76' | —       |
| 4   | N 80° 43' 12" W | —       | 102.49' | —       |
| 5   | S 87° 24' 32" E | 45.00'  | 68.65'  | 43.01'  |
| 6   | S 07° 52' 03" E | 598.00' | 82.11'  | 41.12'  |
| 7   | N 01° 10' 43" W | —       | 218.43' | —       |
| 8   | S 57° 24' 48" E | 198.00' | 198.41' | 108.43' |
| 9   | S 19° 09' 53" E | 602.00' | 201.36' | 101.63' |
| 10  | S 43° 29' 37" E | 22.50'  | 17.08'  | 8.98'   |
| 11  | N 82° 55' 15" W | —       | 14.44'  | —       |
| 12  | N 45° 24' 12" E | —       | 28.77'  | —       |
| 13  | N 44° 42' 25" W | —       | 23.86'  | —       |

- CONSTRUCTION NOTES
- INSTALL 18" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - INSTALL 24" RCP STORM DRAIN PIPE (D-LOAD PER PLAN)
  - CONSTRUCT MANHOLE NO. 1 PER R/CFC & WCD STD. DWG. NO. M4251
  - CONSTRUCT CATCH BASIN NO. 1 PER R/CFC & WCD STD. DWG. NO. C8100 (W & V PER PLAN)
  - CONSTRUCT CONCRETE COLLAR PER R/CFC & WCD STD M803
  - INSTALL 12" HOPE STORM DRAIN PIPE (ADS N-12)
  - INSTALL 24" SPECIAL COVER RCP STORM DRAIN PIPE WITH 1.5" MINIMUM COVER OVER STEEL ON INSIDE OF PIPE AND 1"=6,000 PSI (D-LOAD PER PLAN)
  - CONSTRUCT SLOPE ANCHOR PER SFPWC STD 221-2
  - CONSTRUCT CSP DROP INLET STRUCTURE PER DETAILS ON SHEET 2

NOTE:  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

BENCHMARK: CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

BASIS OF BEARINGS:  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31° 38' 05" W

| BY       | MARK     | DES | APPR. | DATE |
|----------|----------|-----|-------|------|
| ENGINEER | REVISION |     |       | CITY |



Michael Baker INTERNATIONAL  
 51400 Center Drive, Suite 500  
 San Jose, CA 95127  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. IACUPELLI  
 R.C.E. 63249 EXP. 6-30-2018  
 DATE: 9/21/17



DESIGN BY: RH  
 DRAWN BY: MJ  
 CHECKED BY: MMI  
 SCALE:  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103705

Reviewed By: Rick St. John, Staff Engineer, Date: 10/9/17  
 Recommended for Approval By: Rick St. John, Administrative Engineer, Date: 10/9/17  
 Approved By: J. O'Brien, Director of Public Works, R.C.E. 50932, Date: 10/11/17

City of Beaumont, Public Works Department  
 Engineering Division  
 550 E. 6TH STREET  
 BEAUMONT, CA 92223  
 TEL: (951) 769-8520 \* FAX: (951) 769-8526

CITY OF BEAUMONT, CALIFORNIA  
 STORM DRAIN PLANS FOR:  
 STORM DRAIN LINE "L" 10+00.00 TO 20+89.49  
 FOR: K. HOVNANIAN

SHEET  
 5  
 OF 5 SHEETS  
 FILE NO.: 3136

H:\PI\DATA\10103507\RMVIE\CADD\LAND\LV\MP\PIH-EZ\SD\3507-05-SD.DWG JORDAN, TAYLOR 9/20/2017 9:19 AM



# City of Beaumont

550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223  
(951) 769-8520  
www.ci.beaumont.ca.us

Case No. 3102019-0415  
Receipt No. 946571  
Fee \$ 484.53 App/BOND Ins fees  
Date Paid 10/31/19

Inv. 7045

## BOND EXONERATION APPLICATION

Bond Type:  Performance  Maintenance  Final Monument Inspection  Other: \_\_\_\_\_

- Contact's Name KEVIN METCALFE Phone 949-236-1042
- Contact's Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/State/Zip
- Contact's E-mail KMETCALFE@KHOU.COM
- Developer Name K-HOUMIAN HOMES Phone 714-368-4500  
(If corporation or partnership application must include names of principal officers or partners)
- Developer Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/St/Zip
- Description of Bonds (including Bond Number, Tract Map/Application number, Lot number, and description of improvements covered):  
Tract 33096-13 Bond # 41383325 SEWER

6. **CERTIFICATION OF ACCURACY AND COMPLETENESS:** I hereby certify that to the best of my knowledge the information in this application and all attached answers and exhibits are true, complete, and correct.


KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

7. Contractor shall indemnify, defend, and hold harmless the City and its officers, officials, employees and volunteers from and against any and all liability, loss, damage, expense, costs (including without limitation costs and fees of litigation) of every nature arising out of or in connection with contractor's performance of work hereunder or its failure to comply with any of its obligations for which this Bond exoneration is requested, except for such loss or damage which was caused by the active negligence of the City.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

8. Developer/Contractor has completed all the following items prior to requesting release or has included them in the application.

- Remove and replace concrete and AC as needed where lifting.
- Provide AC crack fill as needed. Crack fill/seal shall be hot asphaltic emulsion.
- Provide Type II slurry coat for all road surfaces.
- Restore/Verify pavement striping/markings.
- Restore/Verify blue dots and signage as needed.
- Clean and camera sewer. Provide report and video copy of camera survey.
- Provide all final geotechnical reports.
- Provide Engineers' certification for line and grade within Right-of-Way.
- Provide Landscape Architects Certification as required.

KEVIN METCALFE  10-30-19  
Print Name and Sign - Contact/Applicant Date

GENERAL NOTES

- 1. THIS PLAN SUPERSEDES ALL OTHER PLANS PREVIOUSLY APPROVED BY THE CITY OF BEAUMONT... 2. APPROVAL OF THIS PLAN DOES NOT LESSEN OR WAIVE ANY PORTION OF THE BEAUMONT MUNICIPAL CODE... 3. THESE PLANS WHEN NON-COMFORMANCE IS DISCOVERED... 4. A RIGHT-OF-WAY PERMIT FROM THE BUILDING & SAFETY DEPARTMENT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT OF WAY... 5. NO WORK SHALL BE COMMENCED UNTIL ALL PERMITS HAVE BEEN OBTAINED FROM THE CITY AND OTHER APPROPRIATE AGENCIES... 6. REVISION OF THESE PLANS MAY BE REQUIRED IF THE PROPOSED IMPROVEMENTS ARE NOT CONSTRUCTED PRIOR TO THE DEADLINE DATE OF THE IMPROVEMENT AGREEMENT... 7. NO REVISIONS WILL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER... 8. ORIGINAL DRAWINGS SHALL BECOME THE PROPERTY OF THE CITY UPON BEING SIGNED BY THE CITY ENGINEER... 9. THE ORIGINAL DRAWING SHALL BE REVISED TO REFLECT AS-BUILT CONDITIONS BY THE ENGINEER-OF-WORK PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE CITY... 10. ACCESS FOR FIRE AND OTHER EMERGENCY VEHICLES SHALL BE MAINTAINED TO THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION... 11. WHERE TRENCHES ARE WITHIN CITY EASEMENTS, A SOILS REPORT COMPRISED OF: A. SUMMARY SHEET B. LABORATORY WORK SHEETS C. COMPACTION CURVES... 12. A PRECONSTRUCTION MEETING SHALL BE HELD AT THE SITE PRIOR TO THE BEGINNING OF WORK... 13. ALL INSPECTION REQUESTS OTHER THAN FOR THE PRECONSTRUCTION MEETING WILL BE MADE BY CALLING THE BUILDING AND SAFETY INSPECTION REQUEST LINE AT (951) 572-3224... 14. THE OWNER AND/OR APPLICANT THROUGH THE DEVELOPER AND/OR CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES... 15. THE CONTRACTOR SHALL COMPLY WITH SECTION 6703 OF THE CALIFORNIA ADMINISTRATIVE CODE... 16. IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED WITHIN ANY WORK ZONE DURING CONSTRUCTION, OPERATIONS WILL CEASE IMMEDIATELY... 17. ALL OPERATIONS CONDUCTED ON THE SITE OR ADJACENT THERETO SHALL ADHERE TO THE NOISE ORDINANCE SET FORTH BY THE CITY MUNICIPAL CODE... 18. ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL... 19. NO BLASTING WILL BE COMMENCED WITHOUT A CITY ENGINEER APPROVED BLASTING PROGRAM AND BLASTING PERMIT... 20. THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS... 21. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE SUFFICIENTLY AHEAD OF THE CONSTRUCTION TO PERMIT THE REVISIONS OF THE CONSTRUCTION PLANS... 22. THE CONTRACTOR SHALL NOTIFY AFFECTED UTILITY COMPANIES (SEE BELOW) AT LEAST TWO FULL WORKING DAYS PRIOR TO STARTING CONSTRUCTION... 23. IN ACCORDANCE WITH THE CITY STORM WATER STANDARDS ALL STORM DRAIN INLETS CONSTRUCTED BY THIS PLAN SHALL INCLUDE "STENCILS" BE ADDED TO PROHIBIT WASTE DISCHARGE DOWNSTREAM.

ASSESSOR'S PARCEL NO.

APN NUMBER 428-030-023

DIG ALERT logo with text: DIAL TOLL FREE 1(800) 227-2600. At least Two Working Days Before You Dig. UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA.

BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NED 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31'38"05" W

BY: MARK ENGINEER APPL. DATE: Page 173 REVISTONS CITY



Michael Baker International logo and contact information: 5 Hutton Centre Drive, Suite 500, Santa Ana, CA 92707. Phone: (949) 472-3505. MBKAKRINTL.COM

City of Beaumont logo and seal. Design and drawing information: DESIGN BY: CH, DRAWN BY: MJ, CHECKED BY: MML, SCALE: PER PLAN, DATE: JUNE 2017, JOB NUMBER: 10103705.

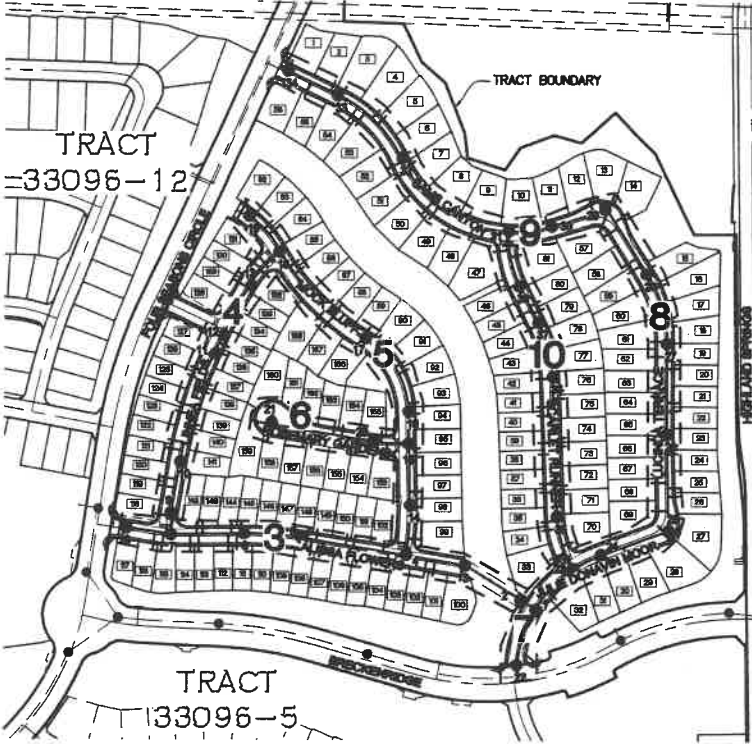
Approval and permit information: Reviewed By: [Signature], Recommended for Approval By: [Signature], Approved By: [Signature], City of Beaumont, Public Works Department, Engineering Division.

CITY OF BEAUMONT, CALIFORNIA SEWER IMPROVEMENT PLANS FOR: TRACT NO. 33096-13, PH-E2. TITLE SHEET \* VICINITY MAP \* GENERAL NOTES \* LOCATION MAP \* INDEX MAP. SHEET 1 OF 10 SHEETS. FILE NO.: 3187.

CITY OF BEAUMONT, CA SEWER IMPROVEMENT PLANS K. HOVNANIAN'S FOUR SEASONS AT BEAUMONT TRACT NO. 33096-13

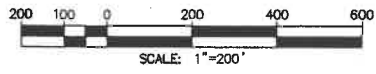
SEWER NOTES

- 1. SEWER SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH EASTERN MUNICIPAL WATER DISTRICT (EMWD)'S STANDARDS AND SPECIFICATIONS. 2. GRAVITY SEWER PROFILE ELEVATIONS ARE TO FLOW LINE (CONDUIT INVERT). FORCE MAIN PROFILE ELEVATIONS ARE TO CENTERLINE (CG). 3. CONTRACTOR HAS THE OPTION TO INSTALL PLASTIC OR VOP SEWERS EXCEPT WHERE SPECIFICALLY DESIGNATED ON PLANS PER EMWD STANDARDS AND SPECIFICATIONS. 4. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWINGS SB-53, SB-58, AND SB-61, AS APPLICABLE. SEWER MAINS MAY BE LAID THROUGH THE MANHOLES AND USED AS A FORM FOR THE INVERT. 5. MANHOLES OF DEPTHS LESS THAN FIVE FEET FROM FINISH STREET GRADE TO SEWER PIPE SHELF ARE TO BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWING SB-30. 6. ALL LATERALS SHALL HAVE AN ON-SITE CLEANOUT IN ACCORDANCE WITH STANDARD DRAWING SB-52. IN ADDITION, FOR LATERALS SERVING INDUSTRIAL AND/OR COMMERCIAL DEVELOPMENTS, THE REQUIREMENTS FOR SAMPLING AND/OR PRETREATMENT FACILITIES SHALL BE DETERMINED BY CONTRACTING THE BUILDING AND SAFETY DEPARTMENT. 7. MAINLINE CLEANOUTS, WHERE CALLED FOR ON THE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DRAWING SB-52. 8. PRIOR TO CONSTRUCTION OF SEWER, CONTRACTOR SHALL EXPOSE EXISTING SEWER AND VERIFY ITS EXISTING ELEVATION AND LOCATION. WHEN CONNECTING TO EXISTING MANHOLES AND INLET STUB OF PROPER SIZE EXISTS, NO ALTERATIONS SHALL BE MADE TO EXISTING MANHOLE BASE OR STUB EXCEPT AS SPECIFICALLY AUTHORIZED BY THE CITY INSPECTOR. 9. ALL SEWER INLETS AT THE MANHOLE SHALL BE SUCH THAT ITS CROWN SHALL BE LEVEL WITH THE CROWN OF THE OUTLET PIPE, AT THEIR PROJECTIONS TO THE MANHOLE CENTERLINE. 10. RECONSTRUCTION OF EXISTING MANHOLES SHALL BE SCHEDULED AT THE CONVENIENCE OF THE CITY AND SHALL BE COMPLETED WITHIN FIVE WORKING DAYS FOLLOWING ITS COMMENCEMENT. 11. SEWER LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SB-177. LOCATIONS OF WYES AND LATERALS, WHERE NOT SHOWN ON THE PLANS, ARE TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION TO MISS DRIVENWAYS. ALL LATERALS ARE TO BE 4" IN DIAMETER UNLESS OTHERWISE SHOWN ON PLANS. CONNECTIONS OF NEW LATERALS TO EXISTING SEWER ARE TO BE PER STANDARD DRAWING SB-176. 12. THE CONTRACTOR IS ADVISED THAT THE WORK ON THIS PROJECT MAY INVOLVE WORKING IN A CONFINED AIR SPACE. CONTRACTOR SHALL BE RESPONSIBLE FOR "CONFINED AIR SPACE" ARTICLE 108, TITLE 8, CALIFORNIA ADMINISTRATIVE CODE. 13. WHERE GROUNDWATER IS ENCOUNTERED, ALL VOP PIPE SHALL BE TREATED FOR ABSORPTION RESISTANCE PER EMWD'S SPECIFICATIONS. 14. BACKWATER VALVES SHALL BE INSTALLED PER SECTION 710.1 OF THE UNIFORM PLUMBING CODE. 15. ALL PIPE ZONE BEDDING AND TRENCH BACKFILL ARE TO BE PER STANDARD DRAWING SB-157, SB-158, AND SB-159.



INDEX MAP LEGEND: 1 SHEET NUMBER, --- SHEET LIMITS, M MANHOLE NUMBER, [ ] LOT NUMBER.

INDEX OF SHEETS table with columns SHEET and DESCRIPTION. SHEET 1: TITLE SHEET, VICINITY/LOCATION/INDEX MAPS & NOTES. SHEET 2: CONSTRUCTION NOTES & DETAILS. SHEETS 3-10: SEWER IMPROVEMENT PLAN.



LEGEND: PROP. 8" SEWER MAIN (SS), SEWER MANHOLE (O), SEWER LATERAL (---), CONSTRUCTION NOTE REFERENCE (X), LINE/CURVE DATA REFERENCE (◇), PROP 8" DOMESTIC WATERLINE (W), PROP WATER METER (M), PROP WATER VALVE (V), PROP FIRE HYDRANT (H), PROP STORM DRAIN (D), PROPOSED STREET LIGHT (L), PROPOSED CURB & GUTTER (---), PROPOSED SIDEWALK (---).

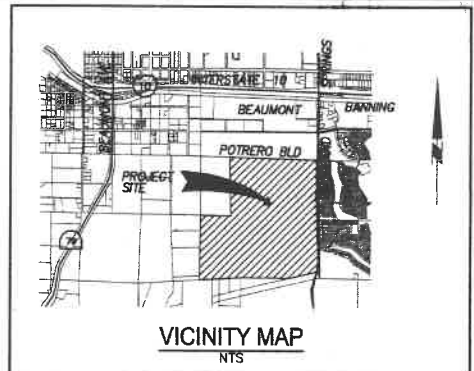
"DECLARATION OF RESPONSIBLE CHARGE" I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF BEAUMONT DOES NOT RELIEVE ME AS ENGINEER OF WORK OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

LEGAL DESCRIPTION: BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 ON FILE IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

APPLICANT/SUBDIVIDER: K.HOVNANIAN, 400 EXCHANGE, SUITE 200, IRVINE, CA 92602. (714) 368-4507, www.khov.com, 24-HOUR CONTACT PERSON - JASON MOCK (909) 493-9066.

ABBREVIATIONS:

- ASSEMBLY ..... ASSY
BEAUMONT CHERRY VALLEY WATER DISTRICT..BCVWD
BEGINNING OF CURVE ..... BC
BOTTOM OF PIPE ..... BOP
CENTERLINE ..... CL OR C/L
CLEAN OUT ..... CO
CURB FACE ..... CF
CURB & GUTTER ..... C&G
DOMESTIC WATER ..... DW
EASEMENT ..... ESMT
END OF CURVE ..... EC
FINISHED GRADE ..... FG
FINISHED PAVEMENT ..... FP
FINISHED SURFACE ..... FS
FLOWLINE ..... FL
GATE VALVE ..... GV
GRADE BREAK ..... GB
HIGH POINT ..... HP
HOME OWNERS ASSOCIATION.....HOA
INVERT ..... INV
LATERAL ..... LAT
LOW POINT ..... LP
MANHOLE ..... MH
PAD ELEVATION.....PE
POINT OF REVERSE CURVATURE...PRC
PROPERTY LINE.....PL OR P/L
PROPOSED ..... PROP
PRIVATE UTILITY EASEMENT...PUE
RIGHT-OF-WAY ..... R/W
SIDEWALK ..... SWK OR SW
SANITARY SEWER ..... SS
STATION ..... STA
TOP OF CURB ..... TC
TOP OF MANHOLE ..... TMH
TOP OF PIPE ..... TOP
TYPICAL ..... TYP
UNLESS NOTED OTHERWISE...U.N.O.
UTILITY..... UTIL



WORK TO BE DONE

THE IMPROVEMENT WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING DOCUMENTS, CURRENT AT THE TIME OF CONSTRUCTION, AS DIRECTED BY THE CITY ENGINEER.

- 1. BEAUMONT MUNICIPAL CODE.
2. FOR STREETS: RIVERSIDE COUNTY ORDINANCE NO. 461. FLOOD CONTROL FACILITIES; THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT'S STANDARDS FOR FLOOD CONTROL FACILITIES. SANITARY SEWER FACILITIES: THE EASTERN MUNICIPAL WATER DISTRICT'S STANDARDS FOR SANITARY SEWER FACILITIES. ALL OTHER PUBLIC WORKS: THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK).
3. THIS SET OF PLANS.
4. RESOLUTION NO 1202017-0001, DATED 07/11/2017.
5. SOILS REPORT AND RECOMMENDATIONS BY LEIGHTON & ASSOCIATES, INC., DATED 6/14/2017.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

UNAUTHORIZED CHANGES & USES: FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING & MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

SITE ADDRESS:

NORTHWEST CORNER OF BRECKENRIDGE & HIGHLAND SPRINGS

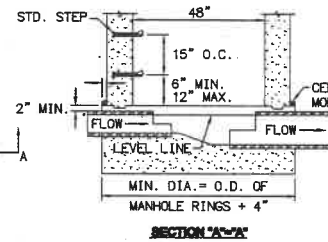
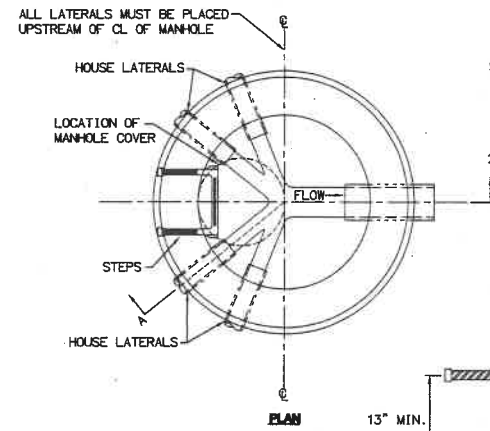
NOTE: WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

BENCHMARK: CITY OF BEAUMONT MON. 14.A.82

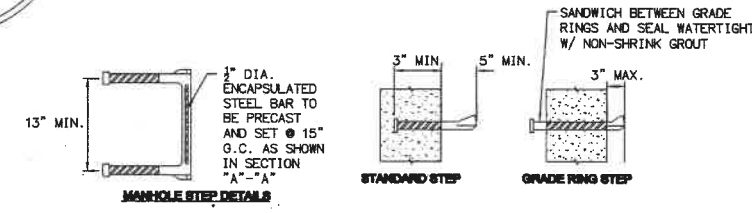
THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

ELEV. = 2590.838 (1982) DATUM: NGVD29

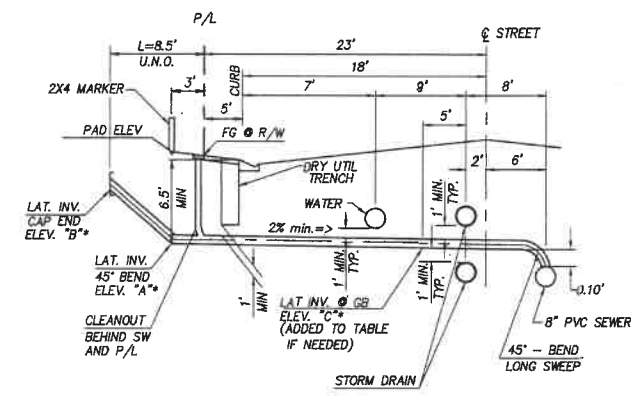
Vertical text on the right edge: P12017-0026, 8/14/17 10:40 am, CODY HAINES, 01-TS.DWG



**NOTES:**  
 1. REFER TO RCTD STD. 606 STANDARD DRAWINGS OF MANHOLES FOR DETAILS PERTAINING TO MANHOLES ONLY.  
 2. THE TOP ONE-HALF DIAMETER OF THE PIPE IS TO BE BROKEN OUT TO A NEAT LINE. BROKEN EDGES SHALL BE PLASTERED SMOOTH WITH CEMENT MORTAR.  
 3. THE MAXIMUM NUMBER OF LATERALS INTO A TERMINUS MANHOLE SHALL BE LIMITED TO FOUR.



5 TERMINUS MANHOLE WITH HOUSE LATERALS  
 NOT TO SCALE



\*SEE TABLES ON PLAN AND PROFILE SHEETS FOR THIS INFORMATION.  
 2 4\"/>

| CONSTRUCTION NOTES   | UNIT | QTY.  |
|--|------|-------|
| 1 INSTALL 8" PVC SEWER MAIN  | LF   | 5,890 |
| 2 INSTALL 4" PVC SEWER LATERAL PER RCTD STD 600 AND SEWER CLEANOUT PER RCTD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.        | LF   | 5,385 |
| 3 INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL ML-4XP)   | EA   | 27    |
| 4 INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD. | EA   | 34    |
| 5 CONSTRUCT CONCRETE TERMINUS MANHOLE PER DETAIL ON SHEET 2  | EA   | 4     |
| 6 REMOVE EXISTING STUB & CONNECT TO EXISTING MANHOLE.  | EA   | 1     |
| 7 INSTALL PIPE ANCHORS PER SPPWC STANDARD PLAN 221-2. L=20", Z=20"   | EA   | 7     |

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

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**BENCHMARK: CITY OF BEAUMONT**  
 NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV.= 2590.838 (1982)  
 DATUM: NGDV29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31°38'05" W

| BY        | MARK | APPR. | DATE |
|-----------|------|-------|------|
| ENGINEER  |      |       |      |
| REVISIONS |      |       |      |
|           |      |       |      |
|           |      |       |      |



**Michael Baker INTERNATIONAL**  
 51401 Main Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBACKERINTL.COM

Mauricio M. Macchelli  
 R.C.E. 63249 EXP. 6-30-2018

9/1/17  
 DATE

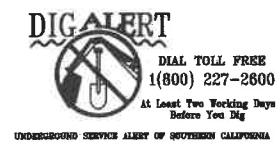


DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MMI  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

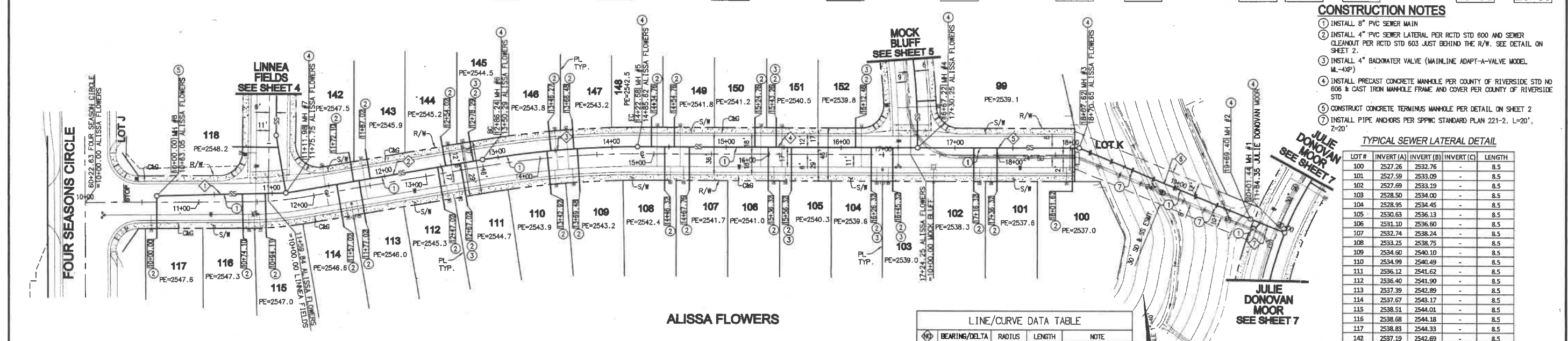
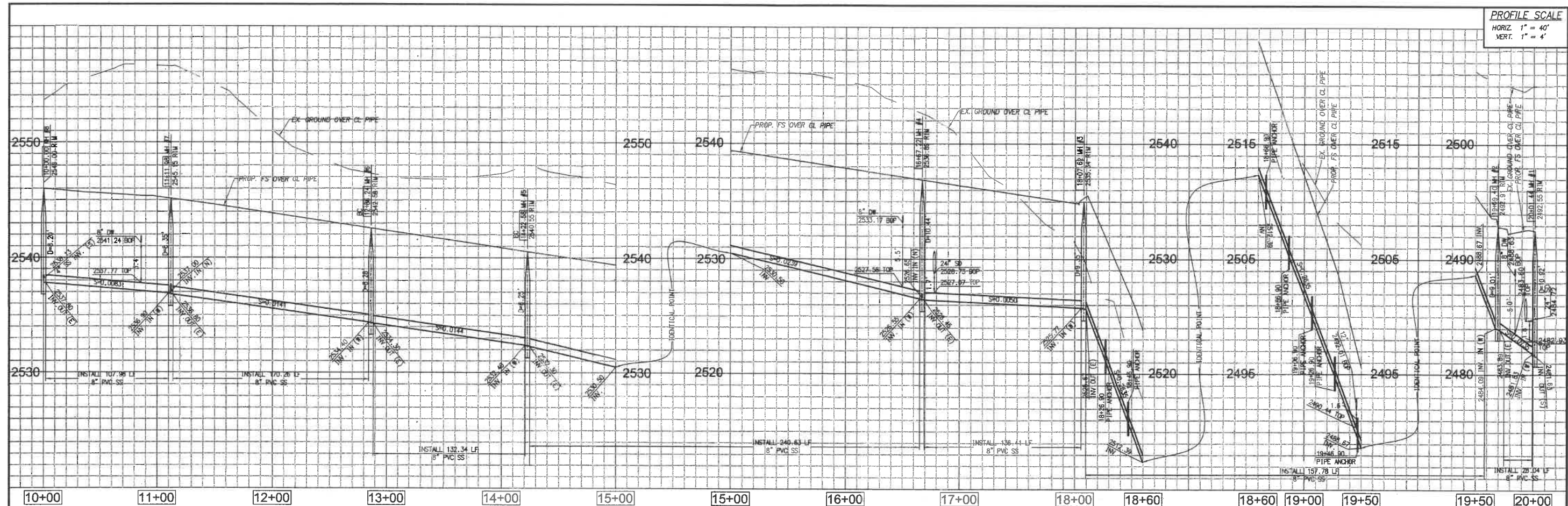
Reviewed By: [Signature] Date: 9/1/17  
 Recommended for Approval By: [Signature] Date: 9/1/17  
 Approved By: [Signature] Date: 9/1/17  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 CONSTRUCTION DETAILS  
 FOR: K. HOVNANIAN

SHEET 2  
 OF 10 SHEETS  
 FILE NO.: 3127



PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCSD STD 600 AND SEWER CLEANOUT PER RCSD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
  - INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL M-4XP)
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD
  - CONSTRUCT CONCRETE TERMINUS MANHOLE PER DETAIL ON SHEET 2
  - INSTALL PIPE ANCHORS PER SPPIC STANDARD PLAN 221-2. L=20', Z=20'

**TYPICAL SEWER LATERAL DETAIL**

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 100   | 2527.26    | 2532.76    | -          | 8.5    |
| 101   | 2527.99    | 2533.09    | -          | 8.5    |
| 102   | 2527.69    | 2533.19    | -          | 8.5    |
| 103   | 2528.50    | 2534.00    | -          | 8.5    |
| 104   | 2528.95    | 2534.45    | -          | 8.5    |
| 105   | 2530.63    | 2536.13    | -          | 8.5    |
| 106   | 2531.10    | 2536.60    | -          | 8.5    |
| 107   | 2532.74    | 2538.24    | -          | 8.5    |
| 108   | 2533.25    | 2538.75    | -          | 8.5    |
| 109   | 2534.60    | 2540.10    | -          | 8.5    |
| 110   | 2534.99    | 2540.49    | -          | 8.5    |
| 111   | 2536.12    | 2541.62    | -          | 8.5    |
| 112   | 2536.40    | 2541.90    | -          | 8.5    |
| 113   | 2537.39    | 2542.89    | -          | 8.5    |
| 114   | 2537.67    | 2543.17    | -          | 8.5    |
| 115   | 2538.51    | 2544.01    | -          | 8.5    |
| 116   | 2538.68    | 2544.18    | -          | 8.5    |
| 117   | 2538.83    | 2544.33    | -          | 8.5    |
| 142   | 2537.19    | 2542.69    | -          | 8.5    |
| 143   | 2536.98    | 2542.48    | -          | 8.5    |
| 144   | 2536.04    | 2541.54    | -          | 8.5    |
| 145   | 2535.69    | 2541.19    | -          | 8.5    |
| 146   | 2534.67    | 2540.17    | -          | 8.5    |
| 147   | 2534.38    | 2539.88    | -          | 8.5    |
| 148   | 2533.27    | 2538.77    | -          | 8.5    |
| 149   | 2532.79    | 2538.29    | -          | 8.5    |
| 150   | 2531.12    | 2536.62    | -          | 8.5    |
| 151   | 2530.67    | 2536.17    | -          | 8.5    |
| 152   | 2529.02    | 2534.52    | -          | 8.5    |

**LINE/CURVE DATA TABLE**

| NO. | BEARING/DELTA | RADIUS  | LENGTH  | NOTE           |
|-----|---------------|---------|---------|----------------|
| 1   | N 82°09'47" W | -       | 107.98' | ALISSA FLOWERS |
| 2   | N 89°35'16" E | -       | 170.26' | ALISSA FLOWERS |
| 3   | 09°24'28"     | 806.00' | 132.34' | ALISSA FLOWERS |
| 4   | N 80°43'12" W | -       | 240.63' | ALISSA FLOWERS |
| 5   | N 80°43'12" W | -       | 136.41' | ALISSA FLOWERS |
| 6   | N 58°29'50" W | -       | 161.78' | ALISSA FLOWERS |
| 7   | N 58°29'50" W | -       | 32.04'  | ALISSA FLOWERS |

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14", LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

**DIG ALERT**  
 DIAL TOLL FREE (800) 227-2600  
 At Least Two Working Days Before You Dig

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

| BY | MARK | REVISIONS | APPR. | DATE |
|----|------|-----------|-------|------|
|    |      |           |       |      |



**Michael Baker INTERNATIONAL**  
 51401 Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

DATE: 9/17



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/17  
 Recommended for Approval By: [Signature] Date: 9/17  
 Approved By: [Signature] Date: 9.25.17  
 Director of Public Works, R.C.E. 50932

City of Beaumont, Public Works Department  
 Engineering Division

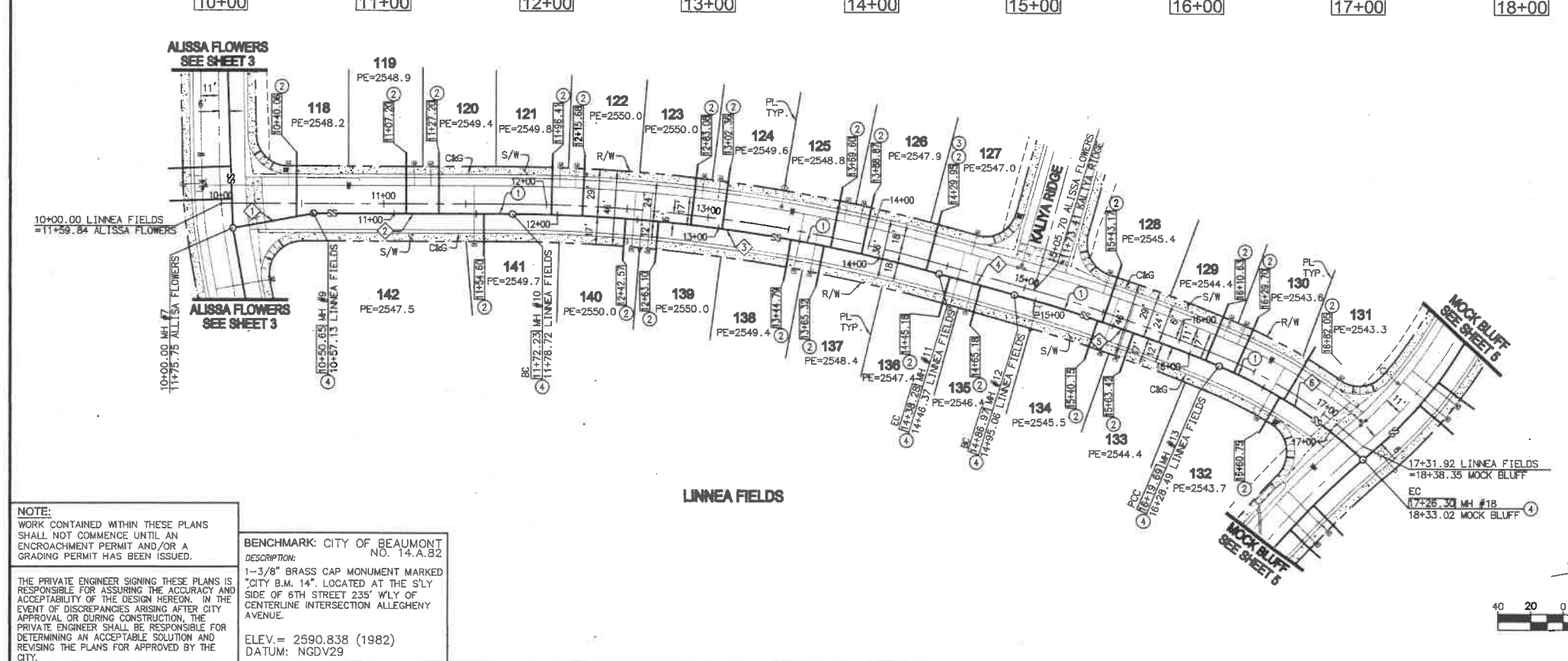
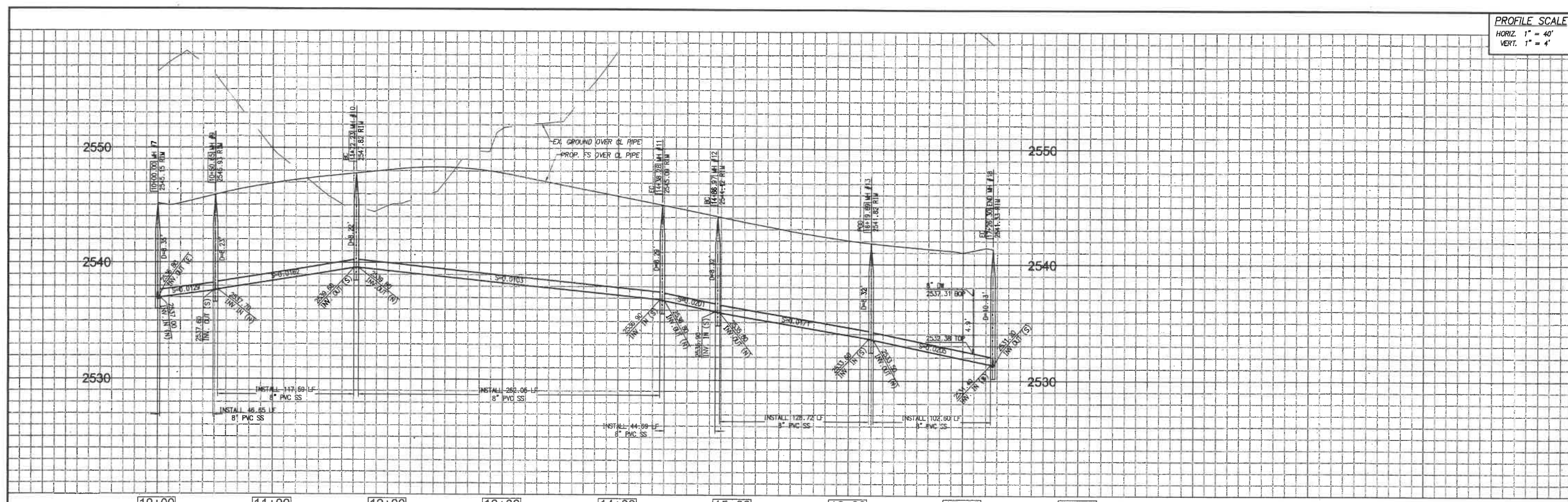
CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 ALISSA FLOWERS STA. 10+00.00 TO 20+01.44

FOR: K. HOVNIANIAN

SHEET 3 OF 10 SHEETS  
 FILE NO.: 3127

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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



TYPICAL SEWER LATERAL DETAIL

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 118   | 2539.01    | 2544.51    | -          | 8.5    |
| 119   | 2540.06    | 2545.56    | -          | 8.5    |
| 120   | 2540.38    | 2545.88    | -          | 8.5    |
| 121   | 2540.85    | 2546.35    | -          | 8.5    |
| 122   | 2540.65    | 2546.15    | -          | 8.5    |
| 123   | 2539.95    | 2545.45    | -          | 8.5    |
| 124   | 2539.75    | 2545.25    | -          | 8.5    |
| 125   | 2539.06    | 2544.56    | -          | 8.5    |
| 126   | 2538.86    | 2544.36    | -          | 8.5    |
| 127   | 2538.44    | 2543.94    | -          | 8.5    |
| 128   | 2536.35    | 2541.85    | -          | 8.5    |
| 129   | 2535.19    | 2540.69    | -          | 8.5    |
| 130   | 2534.81    | 2540.31    | -          | 8.5    |
| 131   | 2533.74    | 2539.24    | -          | 8.5    |
| 132   | 2533.91    | 2539.41    | -          | 8.5    |
| 133   | 2535.74    | 2541.24    | -          | 8.5    |
| 134   | 2536.13    | 2541.63    | -          | 8.5    |
| 135   | 2537.51    | 2543.01    | -          | 8.5    |
| 136   | 2537.91    | 2543.41    | -          | 8.5    |
| 137   | 2538.84    | 2544.34    | -          | 8.5    |
| 138   | 2539.05    | 2544.55    | -          | 8.5    |
| 139   | 2539.89    | 2545.39    | -          | 8.5    |
| 140   | 2540.11    | 2545.61    | -          | 8.5    |
| 141   | 2540.56    | 2546.06    | -          | 8.5    |

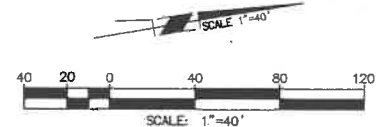
CONSTRUCTION NOTES

- INSTALL 8" PVC SEWER MAIN
- INSTALL 4" PVC SEWER LATERAL PER RCTD STD 600 AND SEWER CLEANDOUT PER RCTD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
- INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL ML-4XP)
- INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD

SEE SHEET 2 FOR TYPICAL SEWER DETAIL

LINE/CURVE DATA TABLE

| NO. | BEARINGS/DELTA  | RADIUS   | LENGTH  | NOTE          |
|-----|-----------------|----------|---------|---------------|
| 1   | N 00° 24' 44" W | —        | 50.65'  | LINNEA FIELDS |
| 2   | N 09° 54' 28" E | —        | 121.59' | LINNEA FIELDS |
| 3   | S 15° 06' 17" E | 994.00'  | 286.05' | LINNEA FIELDS |
| 4   | N 25° 14' 35" E | —        | 48.69'  | LINNEA FIELDS |
| 5   | 07° 02' 18"     | 1047.88' | 132.73' | LINNEA FIELDS |
| 6   | S 19° 59' 45" W | 294.00'  | 106.80' | LINNEA FIELDS |



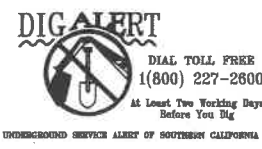
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BENCHMARK: CITY OF BEAUMONT  
 NO. 14.A.B2  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

BASIS OF BEARINGS:  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON A MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31° 38' 05" W



| BY       | MARK      | APPR. | DATE |
|----------|-----------|-------|------|
| ENGINEER | REVISTONS |       | CITY |

Page 176



**Michael Baker INTERNATIONAL**  
 51400 Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

DATE: 9/17



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/15/17  
 Recommended for Approval By: [Signature] Date: 9/15/17  
 Approved By: [Signature] Date: 9/15/17  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 LINNEA FIELDS STA. 10+00.00 TO 17+26.30

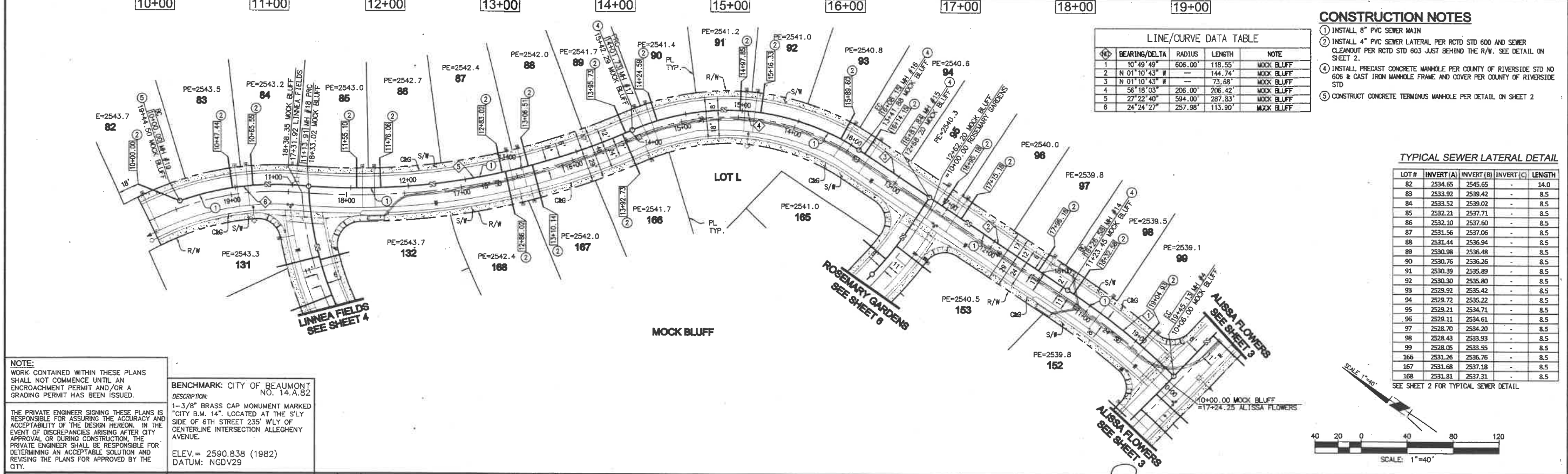
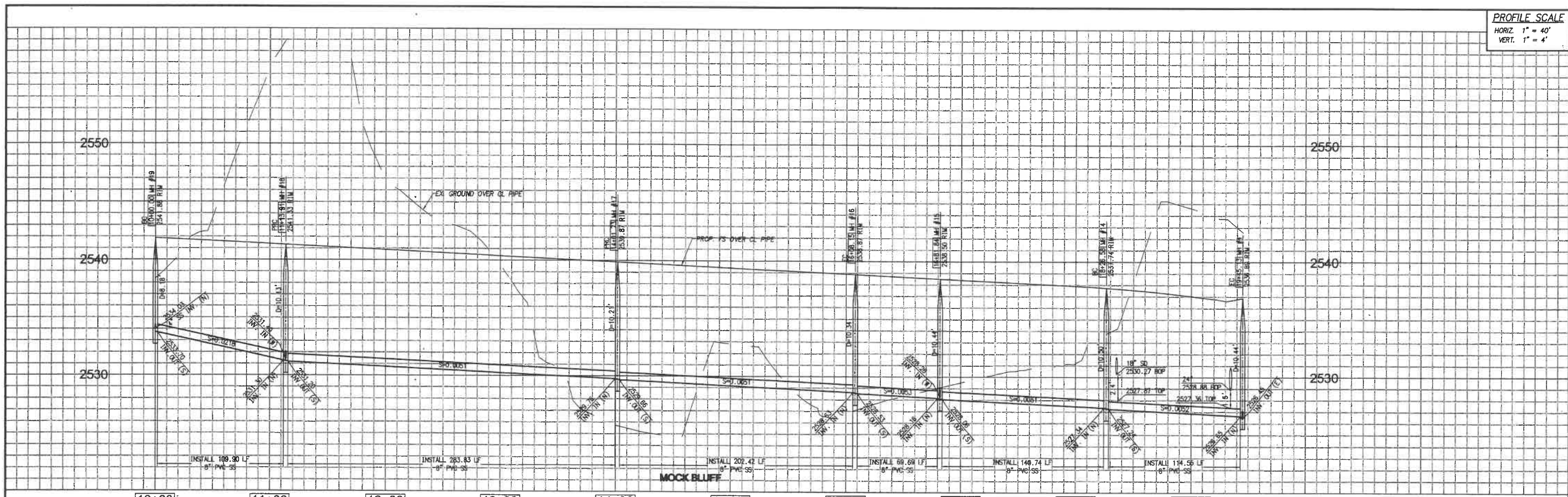
FOR: K. HOVNANIAN

SHEET 4  
 OF 10 SHEETS  
 FILE NO.: 3127

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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



LINE/CURVE DATA TABLE

| NO. | BEARING/DELTA   | RADIUS  | LENGTH  | NOTE       |
|-----|-----------------|---------|---------|------------|
| 1   | 10° 49' 49"     | 606.00' | 118.55' | MOCK BLUFF |
| 2   | N 01° 10' 43" W | ---     | 144.74' | MOCK BLUFF |
| 3   | N 01° 10' 43" W | ---     | 73.68'  | MOCK BLUFF |
| 4   | 56° 18' 03"     | 206.00' | 206.42' | MOCK BLUFF |
| 5   | 27° 22' 40"     | 594.00' | 287.83' | MOCK BLUFF |
| 6   | 24° 24' 27"     | 257.98' | 113.90' | MOCK BLUFF |

- CONSTRUCTION NOTES
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCSD STD 600 AND SEWER CLEANOUT PER RCSD STD 803 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD
  - CONSTRUCT CONCRETE TERMINUS MANHOLE PER DETAIL ON SHEET 2

TYPICAL SEWER LATERAL DETAIL

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 82    | 2534.65    | 2545.65    | -          | 14.0   |
| 83    | 2533.92    | 2539.42    | -          | 8.5    |
| 84    | 2533.52    | 2539.02    | -          | 8.5    |
| 85    | 2532.21    | 2537.71    | -          | 8.5    |
| 86    | 2532.10    | 2537.60    | -          | 8.5    |
| 87    | 2531.56    | 2537.06    | -          | 8.5    |
| 88    | 2531.44    | 2536.94    | -          | 8.5    |
| 89    | 2530.98    | 2536.48    | -          | 8.5    |
| 90    | 2530.76    | 2536.26    | -          | 8.5    |
| 91    | 2530.39    | 2535.89    | -          | 8.5    |
| 92    | 2530.30    | 2535.80    | -          | 8.5    |
| 93    | 2529.92    | 2535.42    | -          | 8.5    |
| 94    | 2529.72    | 2535.22    | -          | 8.5    |
| 95    | 2529.21    | 2534.71    | -          | 8.5    |
| 96    | 2529.11    | 2534.61    | -          | 8.5    |
| 97    | 2528.70    | 2534.20    | -          | 8.5    |
| 98    | 2528.43    | 2533.93    | -          | 8.5    |
| 99    | 2528.05    | 2533.55    | -          | 8.5    |
| 166   | 2531.26    | 2536.76    | -          | 8.5    |
| 167   | 2531.68    | 2537.18    | -          | 8.5    |
| 168   | 2531.81    | 2537.31    | -          | 8.5    |

SEE SHEET 2 FOR TYPICAL SEWER DETAIL

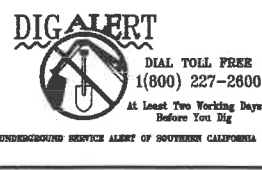
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BENCHMARK: CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NAD83

BASIS OF BEARINGS:  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31°38'05" W



| BY       | MARK | APPR. | DATE |
|----------|------|-------|------|
| ENGINEER |      |       |      |

Page 177



Michael Baker INTERNATIONAL  
 5 Hudson Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. VACIELLO  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: CH  
 DRAIN BY: MJ  
 CHECKED BY: MMI  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Staff Engineer Date: 9/21/17  
 Recommended for Approval By: [Signature] Administrative Engineer Date: 9/21/17  
 Approved By: [Signature] Director of Public Works, R.C.E. 50832 Date: 9/25/17  
 City of Beaumont, Public Works Department  
 Engineering Division

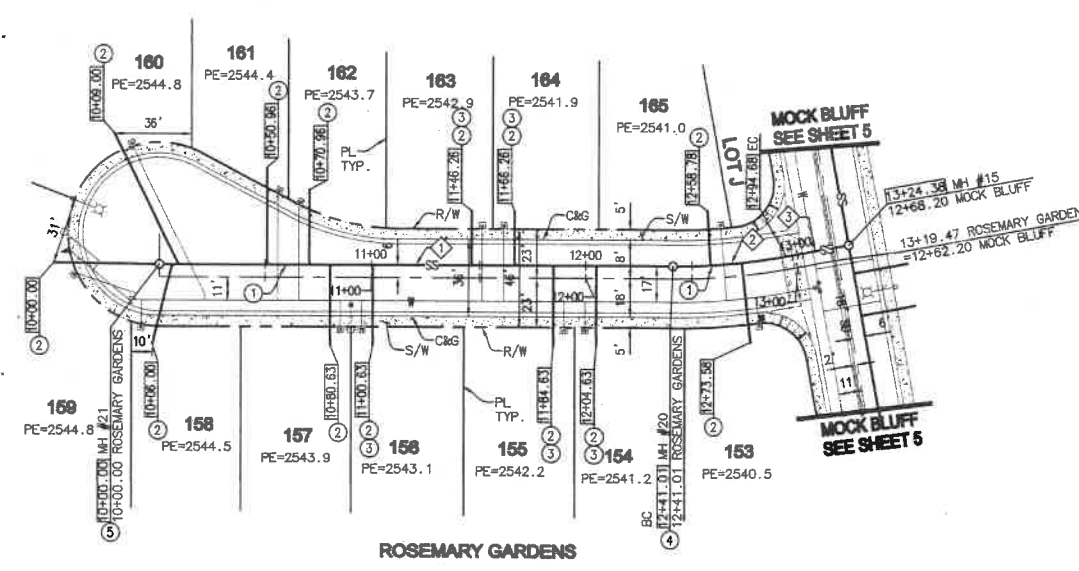
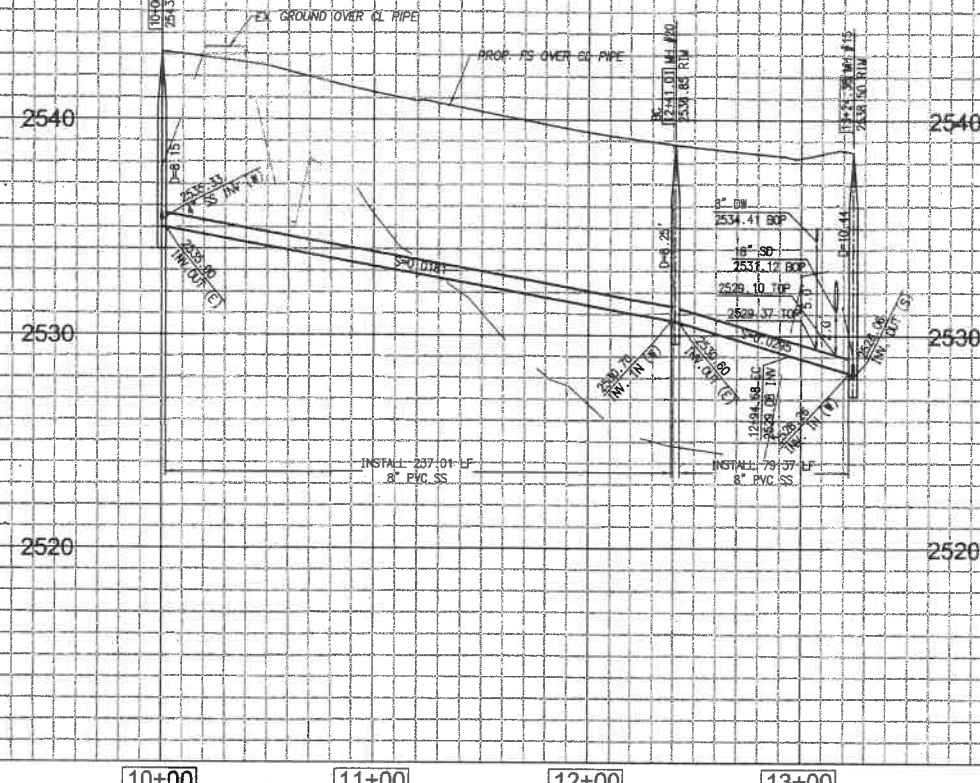
CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 MOCK BLUFF STA. 10+00.00 TO 19+45.13

FOR: K. HOVNANIAN

SHEET 5 OF 10 SHEETS  
 FILE NO.: 3127

H:\P\DATA\10103507\ARVINE\CADD\LAND\DWG\PH-E2\SS\3507-SS-06.DWG HANES, CODY W 8/8/2017 2:56 PM

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



TYPICAL SEWER LATERAL DETAIL

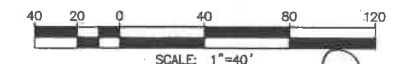
| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 153   | 2536.03    | 2541.53    | -          | 8.5    |
| 154   | 2532.81    | 2538.31    | -          | 8.5    |
| 155   | 2533.17    | 2538.67    | -          | 8.5    |
| 156   | 2534.69    | 2540.19    | -          | 8.5    |
| 157   | 2535.05    | 2540.55    | -          | 8.5    |
| 158   | 2536.42    | 2542.12    | -          | 8.7    |
| 159   | 2536.77    | 2542.67    | -          | 8.9    |
| 160   | 2537.02    | 2542.52    | -          | 8.5    |
| 161   | 2535.74    | 2542.34    | -          | 9.6    |
| 162   | 2535.16    | 2541.56    | -          | 9.4    |
| 163   | 2533.60    | 2539.10    | -          | 8.5    |
| 164   | 2533.24    | 2538.74    | -          | 8.5    |
| 165   | 2531.34    | 2536.84    | -          | 8.5    |

SEE SHEET 2 FOR TYPICAL SEWER DETAIL

- CONSTRUCTION NOTES**
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCTD STD 600 AND SEWER CLEANOUT PER RCTD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
  - INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL ML-4XP)
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD
  - CONSTRUCT CONCRETE TERMINUS MANHOLE PER DETAIL ON SHEET 2

LINE/CURVE DATA TABLE

| LINE | BEARING/Delta   | RADIUS  | LENGTH  | NOTE             |
|------|-----------------|---------|---------|------------------|
| 1    | N 82° 43' 12" W | -       | 241.01' | ROSEMARY GARDENS |
| 2    | 10° 04' 08" E   | 294.00' | 55.67'  | ROSEMARY GARDENS |
| 3    | N 88° 49' 17" E | -       | 31.70'  | ROSEMARY GARDENS |



**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NCGD29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 55, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31° 38' 05" W



BY MARK: [Signature] ENGINEER  
 REVISIONS: [Table]  
 CITY: [Blank]



**Michael Baker INTERNATIONAL**  
 5 Hillcrest Drive, Suite 500  
 San Diego, CA 92107  
 Phone: (619) 472-3505  
 MBAKERINTL.COM

MAURICIO M. LACIBELLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MMI  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/21/17  
 Recommended for Approval By: [Signature] Date: 9/21/17  
 Approved By: [Signature] Date: 9/21/17  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

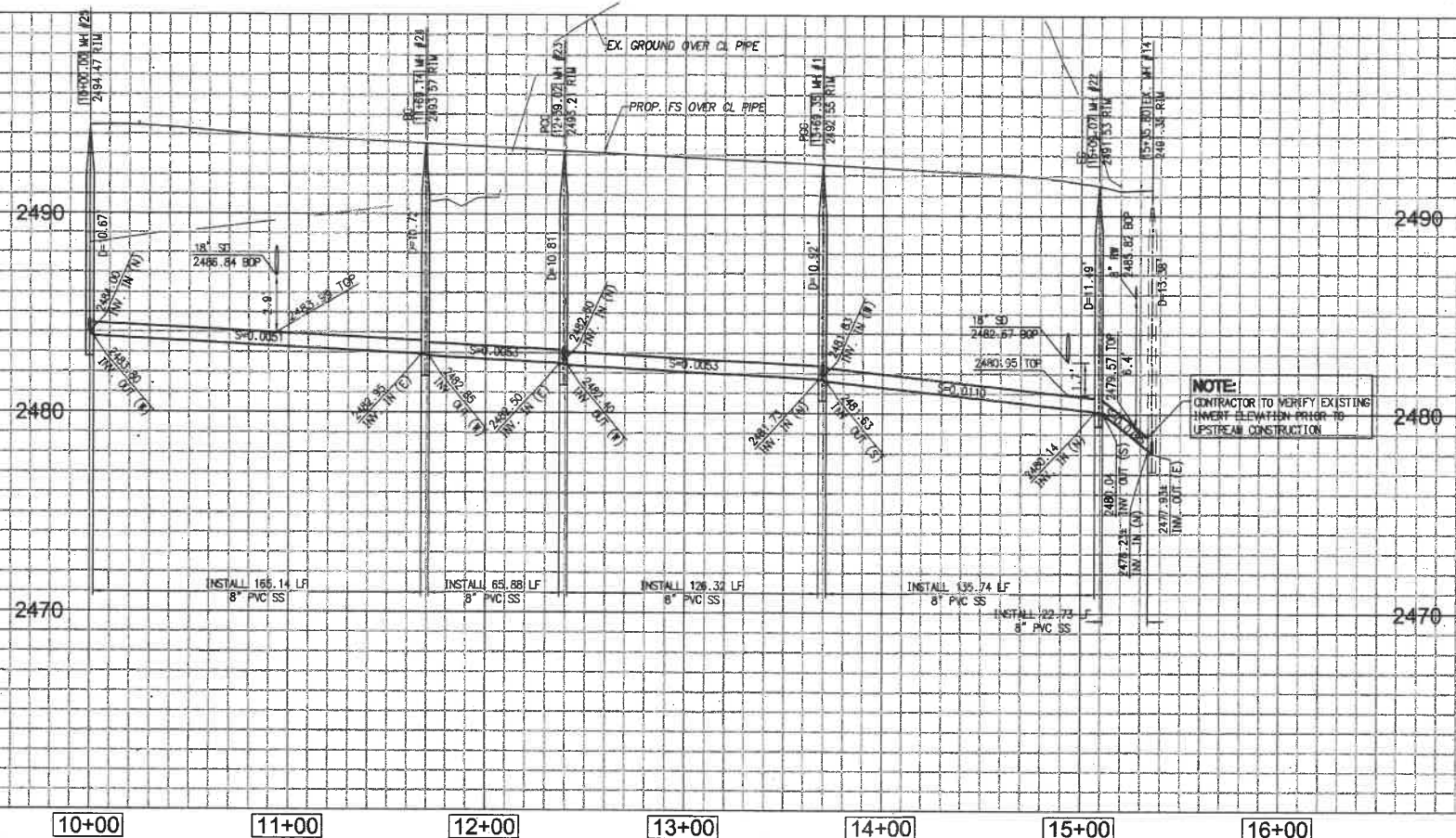
CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 ROSEMARY GARDENS STA. 10+00.00 TO 13+24.38

FOR: K. HOVNANIAN

SHEET 6 OF 10 SHEETS  
 FILE NO.: 3127

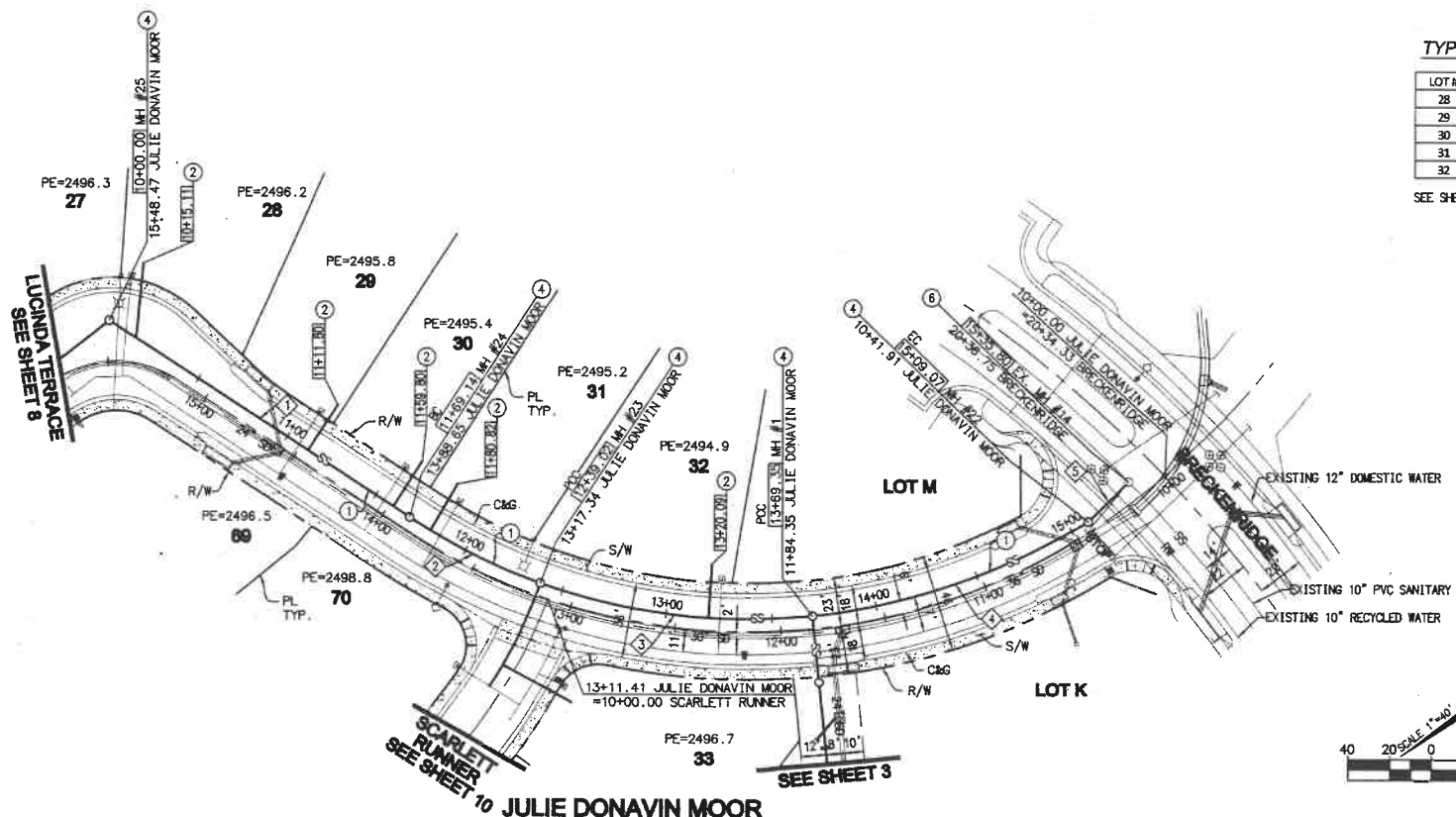
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**PROFILE SCALE**  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



**NOTE:**  
 CONTRACTOR TO VERIFY EXISTING  
 INVERT ELEVATION PRIOR TO  
 UPSTREAM CONSTRUCTION

10+00 11+00 12+00 13+00 14+00 15+00 16+00



**TYPICAL SEWER LATERAL DETAIL**

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 28    | 2485.16    | 2490.76    | -          | 8.6    |
| 29    | 2484.45    | 2489.95    | -          | 8.5    |
| 30    | 2484.21    | 2489.71    | -          | 8.5    |
| 31    | 2484.01    | 2489.51    | -          | 8.5    |
| 32    | 2483.19    | 2488.69    | -          | 8.5    |

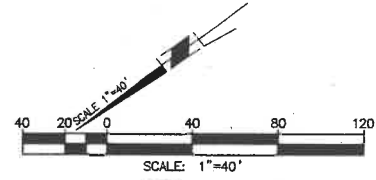
SEE SHEET 2 FOR TYPICAL SEWER DETAIL

**CONSTRUCTION NOTES**

- INSTALL 8" PVC SEWER MAIN
- INSTALL 4" PVC SEWER LATERAL PER RCSD STD 600 AND SEWER CLEANOUT PER RCSD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
- INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD
- REMOVE EXISTING STUB & CONNECT TO EXISTING MANHOLE.

**LINE/CURVE DATA TABLE**

| LINE # | BEARING/Delta | RADIUS  | LENGTH  | NOTE               |
|--------|---------------|---------|---------|--------------------|
| 1      | N 70°07'47" E | 165.14' | 165.14' | JULIE DONAVIN MOOR |
| 2      | 13°37'58"     | 293.68' | 69.88'  | JULIE DONAVIN MOOR |
| 3      | 25°25'30"     | 293.68' | 130.32' | JULIE DONAVIN MOOR |
| 4      | 23°20'35"     | 333.17' | 135.74' | JULIE DONAVIN MOOR |
| 5      | N 07°37'03" W | -       | 22.73'  | JULIE DONAVIN MOOR |



**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION: 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NGDV29



**BASIS OF BEARINGS:**  
 DESCRIPTION: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
 BEARING: N 31°38'05" W

| BY | MARK | REVISIONS | DATE |
|----|------|-----------|------|
|    |      |           |      |



**Michael Baker INTERNATIONAL**  
 51 Huber Center Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

DATE: 9/17



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/17  
 Recommended for Approval By: [Signature] Date: 9/17  
 Approved By: [Signature] Date: 9/15/17  
 Director of Public Works, R.C.E. 50832

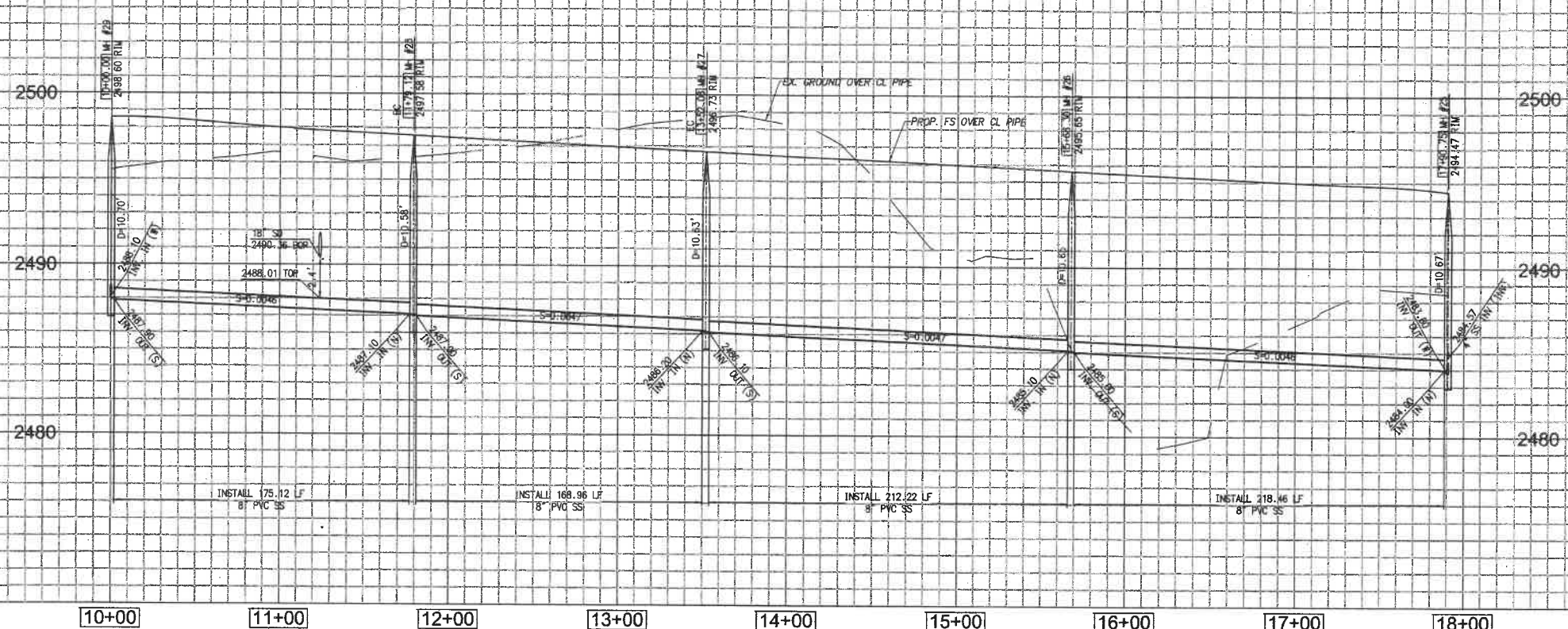
City of Beaumont, Public Works Department  
 Engineering Division  
 550 E. 6TH STREET  
 BEAUMONT, CA 92223  
 TEL: (951) 769-8520 \* FAX: (951) 769-8526

**CITY OF BEAUMONT, CALIFORNIA**  
**SEWER IMPROVEMENT PLANS FOR:**  
**TRACT NO. 33096-13, PH-E2**  
**JULIE DONAVIN MOOR STA. 10+00.00 TO 15+35.80**

**SHEET 7**  
 OF 10 SHEETS  
 FILE NO.: 3127

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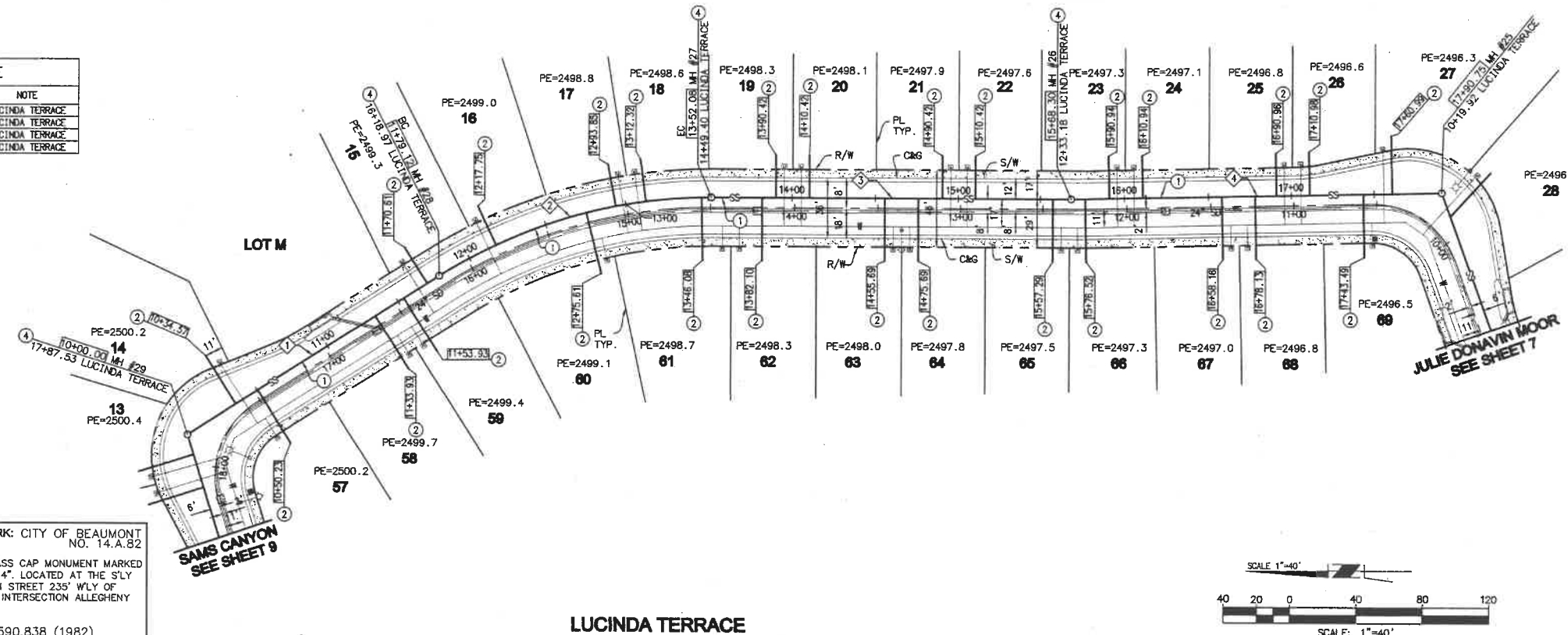
PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



LINE/CURVE DATA TABLE

| NO. | BEARING/Delta | RADIUS  | LENGTH  | NOTE            |
|-----|---------------|---------|---------|-----------------|
| 1   | N 32°17'14\"  | ---     | 179.12' | LUCINDA TERRACE |
| 2   | S 31°38'08\"  | 306.00' | 172.96' | LUCINDA TERRACE |
| 3   | N 00°05'54\"  | ---     | 216.22' | LUCINDA TERRACE |
| 4   | N 01°04'37\"  | ---     | 222.46' | LUCINDA TERRACE |

- CONSTRUCTION NOTES**
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCTD STD 600 AND SEWER CLEANOUT PER RCTD STD 803 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD



TYPICAL SEWER LATERAL DETAIL

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 14    | 2489.15    | 2494.75    | -          | 8.6    |
| 15    | 2488.33    | 2493.83    | -          | 8.5    |
| 16    | 2488.04    | 2493.54    | -          | 8.5    |
| 17    | 2487.68    | 2493.18    | -          | 8.5    |
| 18    | 2487.59    | 2493.09    | -          | 8.5    |
| 19    | 2487.14    | 2492.64    | -          | 8.5    |
| 20    | 2487.05    | 2492.55    | -          | 8.5    |
| 21    | 2486.67    | 2492.17    | -          | 8.5    |
| 22    | 2486.58    | 2492.08    | -          | 8.5    |
| 23    | 2486.12    | 2491.62    | -          | 8.5    |
| 24    | 2486.02    | 2491.52    | -          | 8.5    |
| 25    | 2485.65    | 2491.15    | -          | 8.5    |
| 26    | 2485.56    | 2491.06    | -          | 8.5    |
| 27    | 2485.54    | 2491.14    | -          | 8.6    |
| 57    | 2489.15    | 2494.65    | -          | 8.5    |
| 58    | 2488.77    | 2494.27    | -          | 8.5    |
| 59    | 2488.68    | 2494.18    | -          | 8.5    |
| 60    | 2488.03    | 2493.53    | -          | 8.5    |
| 61    | 2487.70    | 2493.20    | -          | 8.5    |
| 62    | 2487.44    | 2492.94    | -          | 8.5    |
| 63    | 2487.10    | 2492.60    | -          | 8.5    |
| 64    | 2487.00    | 2492.50    | -          | 8.5    |
| 65    | 2486.62    | 2492.12    | -          | 8.5    |
| 66    | 2486.45    | 2491.95    | -          | 8.5    |
| 67    | 2486.07    | 2491.57    | -          | 8.5    |
| 68    | 2485.98    | 2491.48    | -          | 8.5    |
| 69    | 2485.68    | 2491.18    | -          | 8.5    |

SEE SHEET 2 FOR TYPICAL SEWER DETAIL

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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION: 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14", LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NAD83

**BASIS OF BEARINGS:**  
 DESCRIPTION: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W



| BY | MARK | REVISIONS | APPR. | DATE | CITY |
|----|------|-----------|-------|------|------|
|    |      |           |       |      |      |



**Michael Baker INTERNATIONAL**  
 51400 Canyon Drive, Suite 600  
 San Jose, CA 95127  
 Phone: (408) 472-3505  
 MBAKERINTL.COM

DATE: 9/17  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: CH  
 DRAWN BY: M.J.  
 CHECKED BY: M.M.  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/16/17  
 Recommended for Approval By: [Signature] Date: 9/16/17  
 Approved By: [Signature] Date: 9/16/17  
 City of Beaumont, Public Works Department  
 Engineering Division  
 650 E. 6TH STREET BEAUMONT, CA 92225  
 TEL: (951) 769-8520 \* FAX: (951) 769-8526

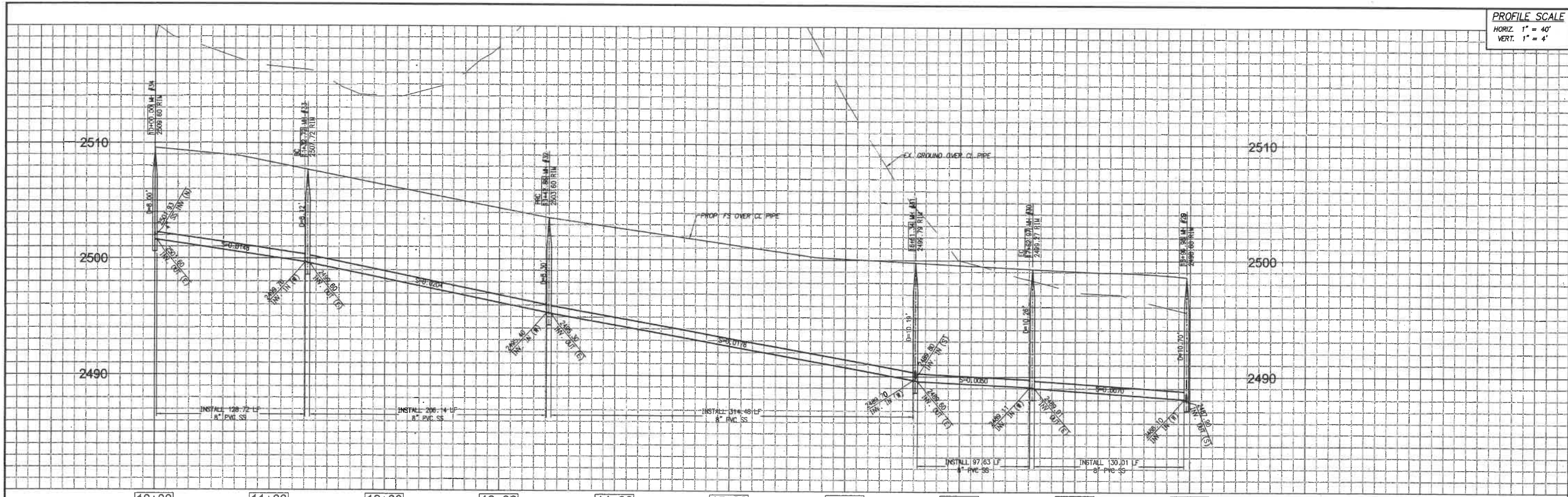
CITY OF BEAUMONT, CALIFORNIA  
**SEWER IMPROVEMENT PLANS FOR:**  
 TRACT NO. 33096-13, PH-E2  
 LUCINDA TERRACE STA. 10+00.00 TO 17+90.75

FOR: **K. HOVNIANIAN**

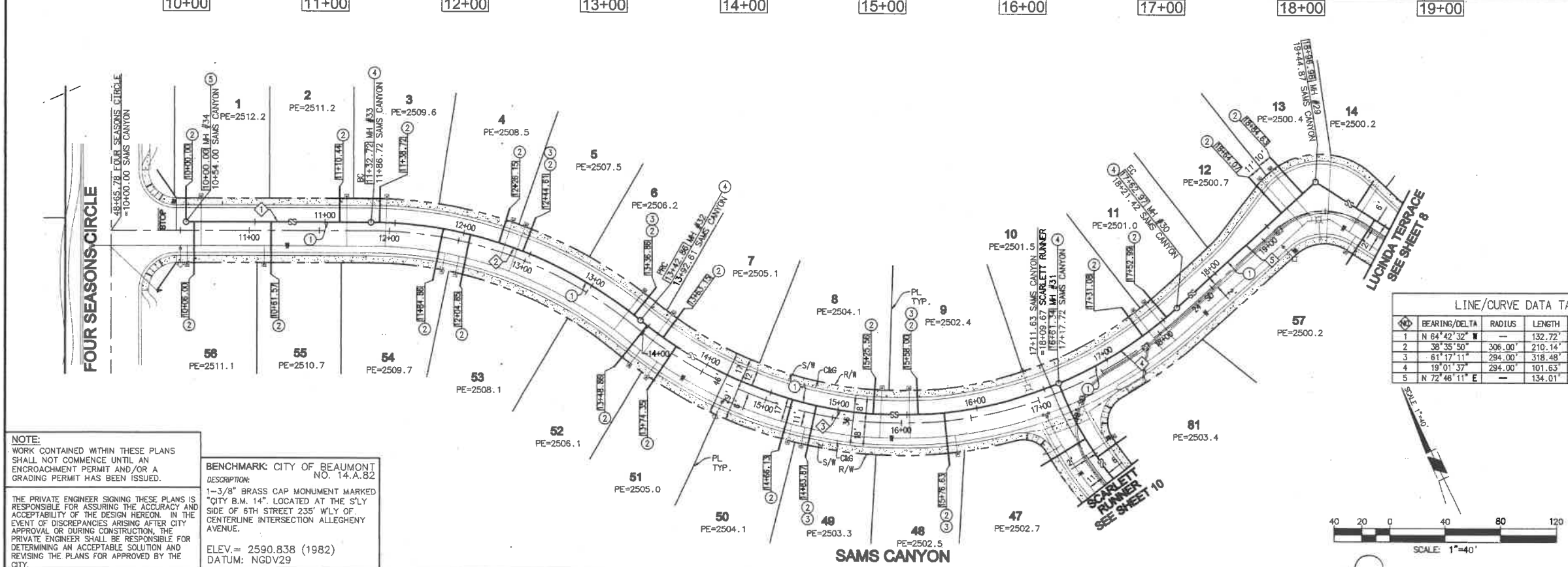
SHEET **8**  
 OF 10 SHEETS  
 FILE NO.: 3127

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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCTD STD 600 AND SEWER CLEANOUT PER RCTD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2.
  - INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL ML-4XP)
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 606 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD
  - CONSTRUCT CONCRETE TERMINUS MANHOLE PER DETAIL ON SHEET 2



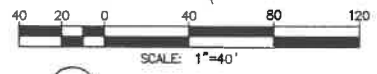
TYPICAL SEWER LATERAL DETAIL

| LOT # | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|-------|------------|------------|------------|--------|
| 1     | 2502.37    | 2507.87    | -          | 8.5    |
| 2     | 2501.21    | 2506.71    | -          | 8.5    |
| 3     | 2500.73    | 2506.23    | -          | 8.5    |
| 4     | 2498.94    | 2504.44    | -          | 8.5    |
| 5     | 2498.57    | 2504.07    | -          | 8.5    |
| 6     | 2496.69    | 2502.19    | -          | 8.5    |
| 7     | 2496.18    | 2501.68    | -          | 8.5    |
| 8     | 2493.29    | 2498.79    | -          | 8.5    |
| 9     | 2492.72    | 2498.22    | -          | 8.5    |
| 10    | 2490.47    | 2495.97    | -          | 8.5    |
| 11    | 2490.36    | 2495.86    | -          | 8.5    |
| 12    | 2489.72    | 2495.32    | -          | 8.6    |
| 13    | 2489.58    | 2495.18    | -          | 8.6    |
| 48    | 2492.65    | 2498.15    | -          | 8.5    |
| 49    | 2494.30    | 2499.80    | -          | 8.5    |
| 50    | 2494.62    | 2500.12    | -          | 8.5    |
| 51    | 2496.25    | 2501.75    | -          | 8.5    |
| 52    | 2496.70    | 2502.20    | -          | 8.5    |
| 53    | 2499.64    | 2505.14    | -          | 8.5    |
| 54    | 2500.05    | 2505.55    | -          | 8.5    |
| 55    | 2502.19    | 2507.69    | -          | 8.5    |
| 56    | 2503.01    | 2508.51    | -          | 8.5    |

SEE SHEET 2 FOR TYPICAL SEWER DETAIL

LINE/CURVE DATA TABLE

| NO. | BEARING/Delta | RADIUS  | LENGTH  | NOTE        |
|-----|---------------|---------|---------|-------------|
| 1   | N 64°42'32" W | ---     | 132.72' | SAMS CANYON |
| 2   | S 38°35'50" W | 306.00' | 210.14' | SAMS CANYON |
| 3   | S 61°17'11" W | 294.00' | 318.48' | SAMS CANYON |
| 4   | S 19°01'37" W | 294.00' | 101.63' | SAMS CANYON |
| 5   | N 72°46'11" E | ---     | 134.01' | SAMS CANYON |



**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14-A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NGDV29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

| BY       | MARK | APPR. | DATE |
|----------|------|-------|------|
| ENGINEER |      |       |      |
| REVISOR  |      |       |      |
| CITY     |      |       |      |



**Michael Baker INTERNATIONAL**  
 51400 Center Drive, Suite 500  
 San Ramon, CA 94583  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. JACQUELLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 9/25/17  
 Recommended for Approval By: [Signature] Date: 9/25/17  
 Approved By: [Signature] Date: 9/25/17  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

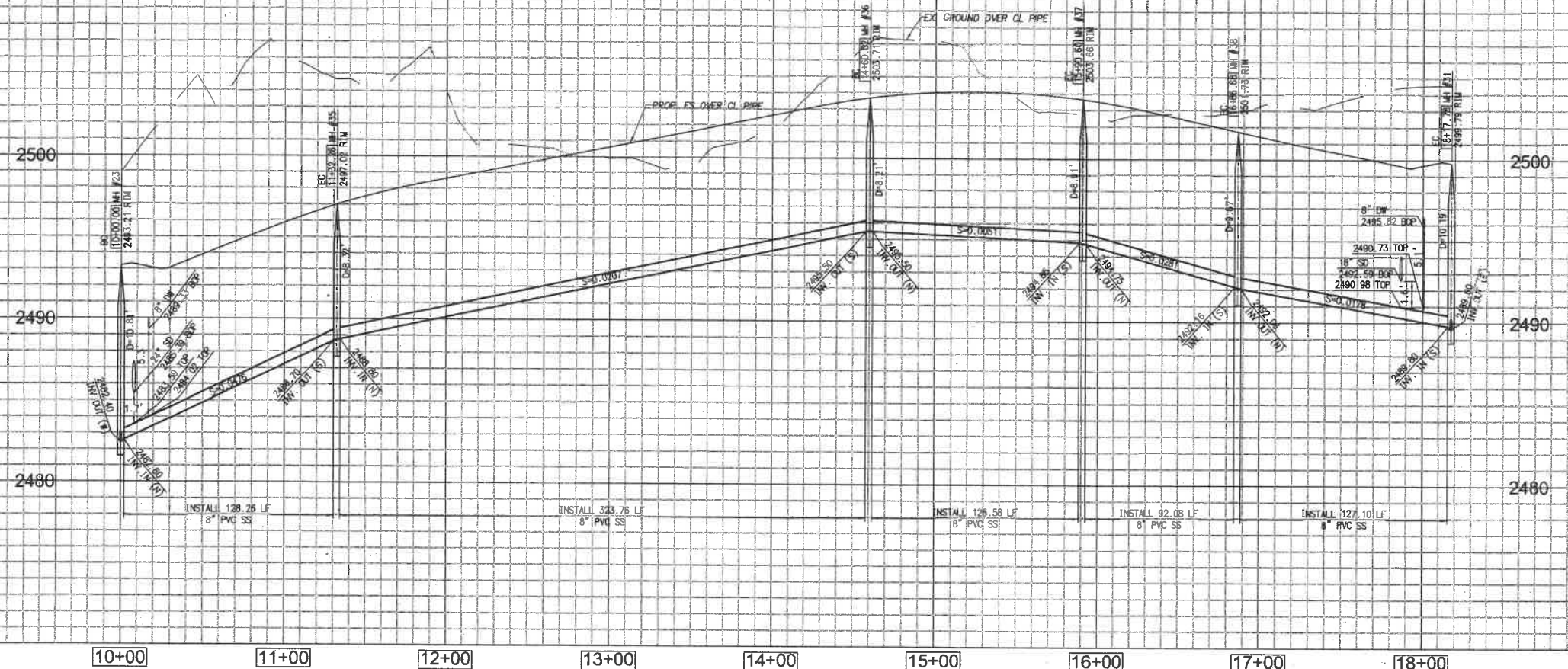
CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 SAMS CANYON STA. 10+00.00 TO 18+96.98

FOR: K. HOVNANIAN

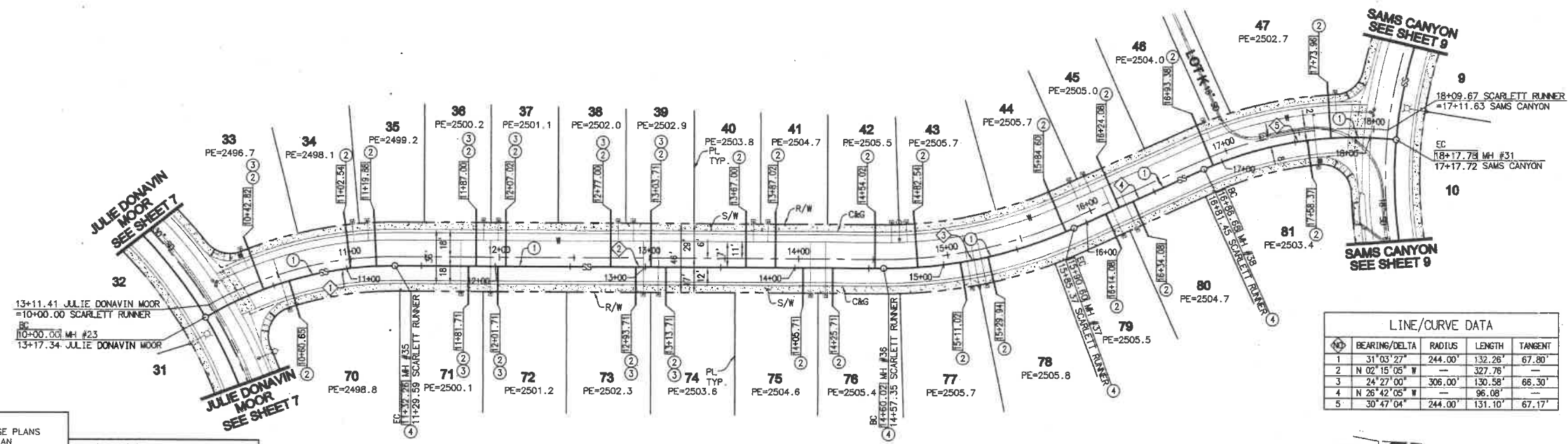
SHEET 9  
 OF 10 SHEETS  
 FILE NO.: 3127

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PROFILE SCALE  
 HORIZ 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- INSTALL 8" PVC SEWER MAIN
  - INSTALL 4" PVC SEWER LATERAL PER RCOTD STD 600 AND SEWER CLEANOUT PER RCOTD STD 603 JUST BEHIND THE R/W. SEE DETAIL ON SHEET 2 AND TAB
  - INSTALL 4" BACKWATER VALVE (MAINLINE ADAPT-A-VALVE MODEL ML-4XP)
  - INSTALL PRECAST CONCRETE MANHOLE PER COUNTY OF RIVERSIDE STD NO 508 & CAST IRON MANHOLE FRAME AND COVER PER COUNTY OF RIVERSIDE STD

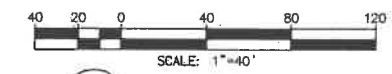


TYPICAL SEWER LATERAL DETAIL

| LOT# | INVERT (A) | INVERT (B) | INVERT (C) | LENGTH |
|------|------------|------------|------------|--------|
| 33   | 2486.02    | 2491.52    | -          | 8.5    |
| 34   | 2488.86    | 2494.36    | -          | 8.5    |
| 35   | 2489.69    | 2495.19    | -          | 8.5    |
| 36   | 2491.37    | 2496.87    | -          | 8.5    |
| 37   | 2491.78    | 2497.28    | -          | 8.5    |
| 38   | 2493.23    | 2498.73    | -          | 8.5    |
| 39   | 2493.78    | 2499.28    | -          | 8.5    |
| 40   | 2495.09    | 2500.59    | -          | 8.5    |
| 41   | 2495.51    | 2501.01    | -          | 8.5    |
| 42   | 2496.89    | 2502.39    | -          | 8.5    |
| 43   | 2496.87    | 2502.37    | -          | 8.5    |
| 44   | 2496.35    | 2501.85    | -          | 8.5    |
| 45   | 2495.34    | 2500.84    | -          | 8.5    |
| 46   | 2493.45    | 2498.95    | -          | 8.5    |
| 47   | 2492.02    | 2497.52    | -          | 8.5    |
| 70   | 2485.75    | 2491.25    | -          | 8.5    |
| 71   | 2491.52    | 2497.02    | -          | 8.5    |
| 72   | 2492.96    | 2498.46    | -          | 8.5    |
| 73   | 2493.52    | 2499.02    | -          | 8.5    |
| 74   | 2494.83    | 2500.33    | -          | 8.5    |
| 75   | 2495.24    | 2500.74    | -          | 8.5    |
| 76   | 2496.63    | 2502.13    | -          | 8.5    |
| 77   | 2496.46    | 2501.96    | -          | 8.5    |
| 78   | 2496.36    | 2501.86    | -          | 8.5    |
| 79   | 2495.36    | 2500.86    | -          | 8.5    |
| 80   | 2494.79    | 2500.29    | -          | 8.5    |
| 81   | 2492.03    | 2497.53    | -          | 8.5    |

LINE/CURVE DATA

| NO | BEARING/DELTA | RADIUS  | LENGTH  | TANGENT |
|----|---------------|---------|---------|---------|
| 1  | 31°03'27"     | 244.00' | 132.26' | 67.80'  |
| 2  | N 02°15'05" W | -       | 327.76' | -       |
| 3  | 24°27'00"     | 306.00' | 130.58' | 66.30'  |
| 4  | N 26°42'05" W | -       | 96.08'  | -       |
| 5  | 30°47'04"     | 244.00' | 131.10' | 67.17'  |



**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NADV29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 90 THROUGH 96, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

| BY | MARK | REVISIONS | DATE |
|----|------|-----------|------|
|    |      |           |      |



**Michael Baker INTERNATIONAL**  
 51400 Camino Del Rio, Suite 500  
 San Diego, CA 92108  
 Phone: (619) 472-3505  
 MBakerINTL.COM



DESIGN BY: CH  
 DRAWN BY: MJ  
 CHECKED BY: MMI  
 SCALE: PER PLAN  
 DATE: JUNE 2017  
 JOB NUMBER: 10103705

Reviewed By: [Signature] Date: 6/21/17  
 Recommended for Approval By: [Signature] Date: 6/21/17  
 Approved By: [Signature] Date: 6-2-17  
 City of Beaumont, Public Works Department  
 Engineering Division  
 550 E. 6TH STREET BEAUMONT, CA 92223  
 TEL: (951) 769-8520 FAX: (951) 769-8628

CITY OF BEAUMONT, CALIFORNIA  
 SEWER IMPROVEMENT PLANS FOR:  
 TRACT NO. 33096-13, PH-E2  
 SCARLETT RUNNER STA. 10+00.00 TO 18+17.78

SHEET 10 OF 10 SHEETS  
 FILE NO.: 3127

FOR: K. HOVNANIAN



# City of Beaumont

550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223  
(951) 769-8520  
www.ci.beaumont.ca.us

Case No. RWD19-0414  
Receipt No. 946571  
Fee \$ 484.43 App / 03.000 Insp Fees  
Date Paid 10/31/19

## BOND EXONERATION APPLICATION

Bond Type:  Performance  Maintenance  Final Monument Inspection  Other: \_\_\_\_\_

1. Contact's Name KEVIN METCALFE Phone 949-236-1042

2. Contact's Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/State/Zip

5. Contact's E-mail KMETCALFE@KHOV.COM

3. Developer Name K-HOVANNAN HOMES Phone 714-368-4500  
(If corporation or partnership application must include names of principal officers or partners)

4. Developer Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/St/Zip

5. Description of Bonds (including Bond Number, Tract Map/Application number, Lot number, and description of improvements covered):  
Tract 33096-13 Bond # 2264727 STREET IMPROVEMENTS

6. **CERTIFICATION OF ACCURACY AND COMPLETENESS:** I hereby certify that to the best of my knowledge the information in this application and all attached answers and exhibits are true, complete, and correct.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

7. Contractor shall indemnify, defend, and hold harmless the City and its officers, officials, employees and volunteers from and against any and all liability, loss, damage, expense, costs (including without limitation costs and fees of litigation) of every nature arising out of or in connection with contractor's performance of work hereunder or its failure to comply with any of its obligations for which this Bond exoneration is requested, except for such loss or damage which was caused by the active negligence of the City.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

8. Developer/Contractor has completed all the following items prior to requesting release or has included them in the application.

- Remove and replace concrete and AC as needed where lifting.
- Provide AC crack fill as needed. Crack fill/seal shall be hot asphaltic emulsion.
- Provide Type II slurry coat for all road surfaces.
- Restore/Verify pavement striping/markings.
- Restore/Verify blue dots and signage as needed.
- Clean and camera sewer. Provide report and video copy of camera survey.
- Provide all final geotechnical reports.
- Provide Engineers' certification for line and grade within Right-of-Way.
- Provide Landscape Architects Certification as required.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign – Contact/Applicant Date



**GENERAL NOTES**

- THIS PLAN SUPERSEDES ALL OTHER PLANS PREVIOUSLY APPROVED BY THE CITY OF BEAUMONT REGARDING IMPROVEMENTS SHOWN ON THIS SET OF PLANS.
- APPROVAL OF THIS PLAN DOES NOT LESSEN OR WAIVE ANY PORTION OF THE BEAUMONT MUNICIPAL CODE, RESOLUTION OF CONDITIONAL APPROVAL, CITY STANDARDS OR OTHER ADDITIONAL DOCUMENTS LISTED HEREIN AS THEY MAY PERTAIN TO THIS PROJECT. THE ENGINEER IS RESPONSIBLE TO CHARGE SHALL REVISE THESE PLANS WHEN NON-COMFORMANCE IS DISCOVERED.
- CITY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER OR ENGINEER OF WORK FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. ALL PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
- A RIGHT-OF-WAY PERMIT FROM THE BUILDING & SAFETY DEPARTMENT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT OF WAY. PRIOR TO PERMIT ISSUANCE, A CERTIFICATE OF INSURANCE MUST BE FILED NAMING THE CITY OF BEAUMONT AS AN ADDITIONAL INSURED ON THE PERMITTEE'S POLICY IN THE MINIMUM AMOUNT OF \$1,000,000.00 FOR EACH OCCURRENCE OF LIABILITY. THE INSURANCE COMPANY WRITING THE POLICY MUST HAVE A RATING OF "A-" OR BETTER AND A SIZE CATEGORY OF CLASS VII OR BETTER AS ESTABLISHED BY "BESTS" KEY RATING GUIDE.
- NO WORK SHALL BE COMMENCED UNTIL ALL PERMITS HAVE BEEN OBTAINED FROM THE CITY AND OTHER APPROPRIATE AGENCIES.
- REVISION OF THESE PLANS MAY BE REQUIRED IF THE PROPOSED IMPROVEMENTS ARE NOT CONSTRUCTED PRIOR TO THE DEADLINE DATE OF THE IMPROVEMENT AGREEMENT.
- NO REVISIONS WILL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE CITY ENGINEER, NOTED WITHIN THE REVISION BLOCK, ON THE APPROPRIATE SHEET OF THE PLANS AND TITLE SHEET.
- ORIGINAL DRAWINGS SHALL BECOME THE PROPERTY OF THE CITY UPON BEING SIGNED BY THE CITY ENGINEER.
- THE ORIGINAL DRAWING SHALL BE REVISED TO REFLECT AS-BUILT CONDITIONS BY THE ENGINEER-OF-WORK PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE CITY.
- ACCESS FOR FIRE AND OTHER EMERGENCY VEHICLES SHALL BE MAINTAINED TO THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- WHERE TRENCHES ARE WITHIN CITY EASEMENTS, A SOILS REPORT COMPRISED OF:
  - SUMMARY SHEET
  - LABORATORY WORK SHEETS
  - COMPACTION CURVES, SHALL BE SUBMITTED BY A PROFESSIONAL ENGINEER OF THE STATE OF CALIFORNIA, PRINCIPALLY DOING BUSINESS IN THE FIELD OF APPLIED SOILS MECHANICS. THE SOILS REPORT WILL BE SUBMITTED TO THE CITY ENGINEERING INSPECTOR WITHIN TWO WORKING DAYS OF COMPLETION OF FIELD TESTS. THE WRITTEN FIELD COMPACTION REPORT(S) SHALL BE IMMEDIATELY SUBMITTED TO THE CITY ENGINEERING INSPECTOR UPON COMPLETION OF THE FIELD TESTS.
- A PRECONSTRUCTION MEETING SHALL BE HELD AT THE SITE PRIOR TO THE BEGINNING OF WORK AND SHALL BE ATTENDED BY ALL REPRESENTATIVES RESPONSIBLE FOR CONSTRUCTION, INSPECTION, SUPERVISION, TESTING AND ALL OTHER ASPECTS OF THE WORK. THE CONTRACTOR SHALL SCHEDULE THE MEETING BY CALLING THE INSPECTION LINE AT (951) 572-3224 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING CONSTRUCTION. APPROVED DRAWINGS MUST BE AVAILABLE PRIOR TO SCHEDULING.
- ALL INSPECTION REQUESTS OTHER THAN FOR THE PRECONSTRUCTION MEETING WILL BE MADE BY CALLING THE BUILDING AND SAFETY INSPECTION DEPARTMENT LINE AT (951) 572-3224. INSPECTION REQUESTS MUST BE RECEIVED PRIOR TO 2:00 P.M. ON THE DAY BEFORE THE INSPECTION IS NEEDED. INSPECTIONS WILL BE MADE THE NEXT WORK DAY UNLESS YOU REQUEST OTHERWISE. REQUESTS MADE AFTER 2:00 P.M. WILL BE SCHEDULED FOR TWO FULL WORK DAYS LATER.
- THE OWNER AND/OR APPLICANT THROUGH THE DEVELOPER AND/OR CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL CONFORM TO LABOR CODE SECTION 6705 BY SUBMITTING A DETAIL PLAN TO THE CITY ENGINEER AND/OR CONCERNED AGENCY SHOWING THE DESIGN OF SHORING, BRACING, BRACE OR OTHER PROVISIONS TO BE MADE OF WORKER PROTECTION FROM THE HAZARD OF CAVING GROUND DURING THE EXCAVATION OF SUCH TRENCH OR TRENCHES OR DURING THE PIPE INSTALLATION THEREIN. THIS PLAN MUST BE PREPARED FOR ALL TRENCHES FIVE FEET (5') OR MORE IN DEPTH AND APPROVED BY THE CITY ENGINEER AND/OR CONCERNED AGENCY PRIOR TO EXCAVATION. IF THE PLAN VARIES FROM THE SHORING SYSTEM STANDARDS ESTABLISHED BY THE CONSTRUCTION SAFETY ORDERS, TITLE 8 CALIFORNIA ADMINISTRATIVE CODE, THE PLAN SHALL BE PREPARED BY A REGISTERED ENGINEER AT THE CONTRACTOR'S EXPENSE. A COPY OF THE OSHA EXCAVATION PERMIT MUST BE SUBMITTED TO THE INSPECTOR PRIOR TO EXCAVATION.
- IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED WITHIN ANY WORK ZONE DURING CONSTRUCTION, OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE CITY ENGINEER. OPERATIONS WILL NOT RESTART UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE CITY ENGINEER TO DO SO.
- ALL OPERATIONS CONDUCTED ON THE SITE OR ADJACENT THERETO SHALL ADHERE TO THE NOISE ORDINANCE SET FORTH BY THE CITY MUNICIPAL CODE. ALL OPERATIONS SHALL BE LIMITED BY THE NOISE ORDINANCE TO THE LEVEL OF DECIBELS SPECIFIED FOR THE AREA AND TIME PERIOD. CONSTRUCTION ACTIVITIES WILL BE LIMITED TO THE PERIOD BETWEEN 7:00 A.M. AND 6:00 P.M. EACH DAY MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED.
- ALL OFF-SITE HAUL ROUTES SHALL BE SUBMITTED BY THE CONTRACTOR TO THE CITY ENGINEER FOR APPROVAL TWO FULL WORKING DAYS PRIOR TO BEGINNING OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEBRIS OR DAMAGE OCCURRING ALONG THE HAUL ROUTE OR ADJACENT STREETS AS A RESULT OF THE GRADING OPERATION.
- NO BLASTING SHALL BE COMMENCED WITHOUT A CITY ENGINEER APPROVED BLASTING PROGRAM AND BLASTING PERMIT.
- THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. ATTENTION IS CALLED TO THE POSSIBLE EXISTENCE OF OTHER UTILITY FACILITIES OR STRUCTURES NOT SHOWN OR IN A LOCATION DIFFERENT FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLANS AND ANY OTHER EXISTING FACILITIES OR STRUCTURES NOT SHOWN.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE SUFFICIENTLY AHEAD OF THE CONSTRUCTION TO PERMIT THE REVISIONS OF THE CONSTRUCTION PLANS IF IT IS FOUND THAT THE ACTUAL LOCATIONS ARE IN CONFLICT WITH THE PROPOSED WORK.
- THE CONTRACTOR SHALL NOTIFY AFFECTED UTILITY COMPANIES (SEE BELOW) AT LEAST TWO FULL WORKING DAYS PRIOR TO STARTING CONSTRUCTION NEAR THEIR FACILITIES AND SHALL COORDINATE WORK WITH A COMPANY REPRESENTATIVE.
 

|                            |                |
|----------------------------|----------------|
| UNDERGROUND SERVICE ALERT  | (800) 422-4133 |
| SOUTHERN CALIFORNIA EDISON | (800) 409-2365 |
| AT&T                       | (800) 892-0123 |
| TIME WARNER CABLE          | (760) 340-2225 |
| COX COMMUNICATIONS         | (888) 423-3913 |
- IN ACCORDANCE WITH THE CITY STORM WATER STANDARDS ALL STORM DRAIN INLETS CONSTRUCTED BY THIS PLAN SHALL INCLUDE "STENCILS" TO BE ADDED TO PROHIBIT WASTE DISCHARGE DOWNSTREAM. STENCILS SHALL BE ADDED TO THE SATISFACTION OF THE CITY ENGINEER.

**NOTE:** SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:** WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREIN. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14-A-82

DESCRIPTION:  
1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE SLY SIDE OF 5TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
DATUM: NGVD29

**LEGAL DESCRIPTION:**  
BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 33259 ON FILE IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

**ASSESSOR'S PARCEL NO.**  
APN NUMBER 428-030-023

**STREET SIGN LOCATIONS**  
ALL STREET NAME AND STOP SIGNS WILL BE LOCATED BEHIND THE BACK OF SIDEWALK

| BY       | MARK      | DATE | APPR. | DATE |
|----------|-----------|------|-------|------|
| ENGINEER | REVISIONS |      | CITY  |      |

# CITY OF BEAUMONT, CALIFORNIA

## STREET IMPROVEMENT PLANS

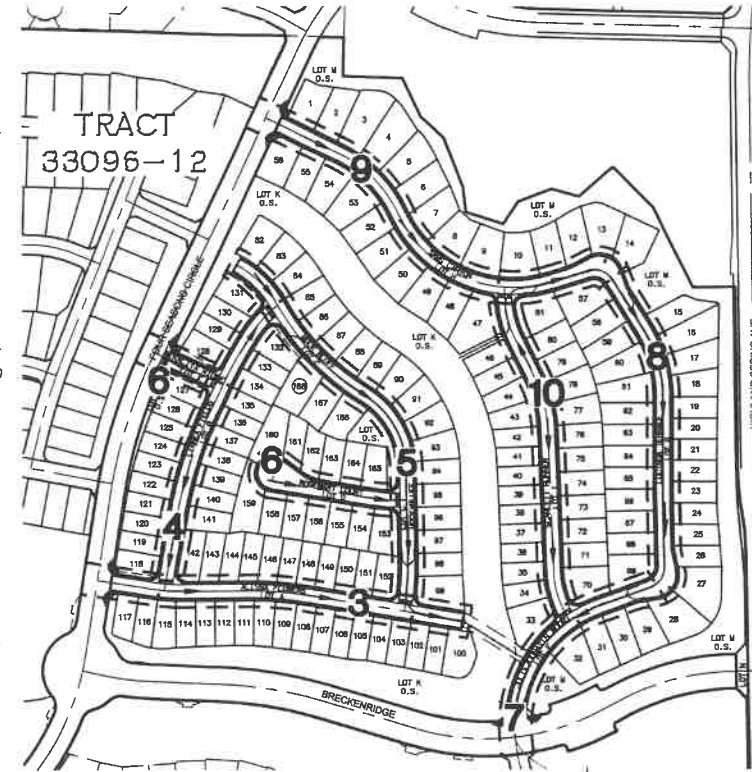
### K. HOVNANIAN'S FOUR SEASONS AT BEAUMONT

#### TRACT NO. 33096-13

#### PHASE E2

**STREET NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA AND RELOCATION COSTS OF ALL EXISTING UTILITIES. THIS INCLUDES UNDERGROUNDING OF EXISTING OVERHEAD LINES ALONG THE PROJECT FRONTAGE AS REQUIRED BY THE CONDITIONS OF APPROVAL. PERMITTEE MUST INFORM CITY OF CONSTRUCTION SCHEDULE AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION AT (951) 769-8520.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, GREENBOOK, LATEST EDITION AND THE RIVERSIDE COUNTY TRANSPORTATION DEPARTMENT IMPROVEMENT STANDARDS AND SPECIFICATIONS, "LATEST EDITION," COUNTY ORDINANCE NO. 461 AND SUBSEQUENT AMENDMENTS.
- ALL UNDERGROUND FACILITIES, WITH LATERALS, SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: SEWER, WATER, ELECTRIC, GAS AND STORM DRAIN.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR DEVELOPER TO INSTALL AND MAINTAIN ALL CONSTRUCTION, REGULATORY, GUIDE AND WARNING SIGNS WITHIN THE PROJECT LIMITS AND ITS SURROUNDINGS TO PROVIDE SAFE PASSAGE FOR THE TRAVELING PUBLIC AND WORKERS UNTIL THE FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT BY THE CITY. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED WITH APPROVED STREET PLAN FOR REVIEW TO THE PERMITS SECTION OR INSPECTION SECTION (FOR MAP CASES) PRIOR TO OBTAINING AN ENCROACHMENT PERMIT.
- ANY PRIVATE DRAINAGE FACILITIES SHOWN ON THESE PLANS ARE FOR INFORMATION ONLY. BY SIGNING THESE IMPROVEMENT PLANS, NO REVIEW OR APPROVAL OF THESE PRIVATE FACILITIES ARE IMPLIED OR INTENDED BY CITY OF BEAUMONT PUBLIC WORKS DEPT.
- THE DEVELOPER WILL INSTALL STREET NAME SIGNS CONFORMING TO R.C.T.D. STANDARD NO. 816.
- ALL STREET SECTIONS ARE TENTATIVE. ADDITIONAL SOIL TESTS SHALL BE TAKEN AFTER ROUGH GRADING TO DETERMINE THE EXACT STREET SECTION REQUIREMENTS. USE R.C.T.D. STANDARD NO. 401 IF EXPOSIVE SOILS ARE ENCOUNTERED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE ENGINEER TO INSTALL STREET CENTERLINE MONUMENTS AS REQUIRED BY RIVERSIDE COUNTY ORDINANCE NO. 461. IF CONSTRUCTION CENTERLINE DIFFERS, PROVIDE A TIE TO EXISTING CENTERLINE OF RIGHT-OF-WAY. PRIOR TO ROAD CONSTRUCTION, SURVEY MONUMENTS INCLUDING CENTERLINE MONUMENTS, THE POINTS, PROPERTY CORNERS AND BENCH MARKS SHALL BE REFERENCED OUT AND CORNER RECORDS FILED WITH THE COUNTY SURVEYOR PRIANT TO SECTION 8771 OF THE BUSINESS & PROFESSIONAL CODE. SURVEY POINTS DESTROYED DURING CONSTRUCTION SHALL BE RESET, AND A SECOND CORNER RECORD FILED FOR THOSE POINTS PRIOR TO COMPLETION AND ACCEPTANCE OF THE IMPROVEMENTS.
- ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NOT LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALT SURFACING. FOG SEAL AND PAINT BINDER SHALL BE APPLIED AT A RATE OF 0.05 AND 0.03 GALLON PER SQUARE YARD RESPECTIVELY. ASPHALTIC EMULSION SHALL CONFORM TO SECTIONS 37, 39 AND 94 OF THE STATE STANDARD SPECIFICATIONS.
- PRIME COAT IS REQUIRED PRIOR TO PAVING ALL GRADES IN EXCESS OF TEN PERCENT.
- CONSTRUCTION PROJECTS DISTURBING MORE THAN ONE ACRE MUST OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES PERMIT) OWNERS/DEVELOPERS ARE REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB), PREPARE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PLAN FOR THE SITE.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL SIGNS AND MARKINGS NOT INCLUDED IN THE SIGNING AND STRIPING PLAN WITHIN THE PROJECT AREAS, OR ON ROADWAYS ADJACENT TO THE PROJECT BOUNDARIES, UPON THE REQUEST OF THE DIRECTOR OF PUBLIC WORKS OR HIS DESIGNEE TO IMPROVE TRAFFIC SAFETY ON THE ROADS UNDER THE JURISDICTION OF THE DEVELOPER.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO APPLY TO THE RIVERSIDE COUNTY FLOOD CONTROL (RFC) FOR PERMITS WHEN ANY STORM DRAIN PIPE NEEDS TO BE CONNECTED WITH A RFC FACILITY AND ADD PERMITEE FEES ON THE PLAN.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR DEVELOPER TO APPLY TO THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) FOR AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED WITHIN STATE RIGHT-OF-WAY.
- CURB DEPRESSIONS AND DRIVEWAY APPROACHES WILL BE INSTALLED AND CONSTRUCTED ACCORDING TO COUNTY STANDARDS NO. 206 AND/OR 207, AS DIRECTED IN THE FIELD.
- STREET LIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED STREET LIGHTING PLAN PER CITY OF BEAUMONT'S APPROVED STREET LIGHTING SPECIFICATIONS.
- FOR ALL DRIVEWAY RECONSTRUCTION BEYOND RIGHT-OF-WAY, PROOF OF DRIVEWAY OWNER NOTIFICATION IS REQUIRED PRIOR TO CONSTRUCTION.
- INSTALL STREET TREES IN ACCORDANCE WITH ORDINANCE 461 AND THE COMPREHENSIVE LANDSCAPING GUIDELINES (CHOOSE THREE SPECIES AND NAME THEM HERE).
- THE DEVELOPER SHALL HAVE GEOTECHNICAL/SOILS ENGINEERING FIRM OBSERVE TRENCHING, BACKFILLING, & SOIL COMPACTION OF ALL UTILITY TRENCHES WITHIN ALL EASEMENTS & ROAD RIGHTS OF WAY. TWO SETS OF COMPACTION REPORTS CERTIFYING THAT WORKS WERE DONE IN CONFORMANCE TO STANDARDS & GEOTECHNICAL REPORT SHALL BE SUBMITTED AFTER EACH UTILITY TRENCH IS COMPLETED & CERTIFIED. COMPACTION REPORT MUST BE SUBMITTED TO THE DEPT. OF PUBLIC WORKS AT LEAST TWO WORKING DAYS BEFORE AGGREGATE BASE MATERIALS ARE PLACED ONSITE.



**INDEX OF SHEETS**

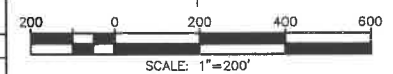
| SHEET | DESCRIPTION                                  |
|-------|--|
| 1     | TITLE SHEET, VICINITY/LOCATION MAPS, & NOTES |
| 2     | TYPICAL SECTIONS AND DETAILS                 |
| 3-10  | STREET IMPROVEMENT PLAN                      |

**REFERENCE PLANS**

| REFERENCE PLANS     | SALES FORCE # |
|---------------------|---------------|
| ROUGH GRADING PLAN  | PW-2017-0022  |
| SANITARY SEWER PLAN | PW-2017-0026  |
| STORM DRAIN PLAN    | PW-2017-0035  |
| DOMESTIC WATER PLAN | PW-2017-0032  |

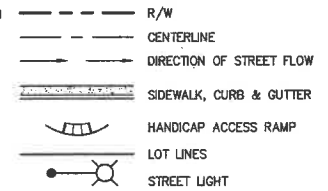
**CATCH BASIN FILTER INSERTS**

FLOAG + PLUS CATCH BASIN FILTER INSERTS BY OLDCASTLE STORM WATER SOLUTIONS SHALL BE INSTALLED ON ALL CATCH BASINS WITHIN THIS TRACT.



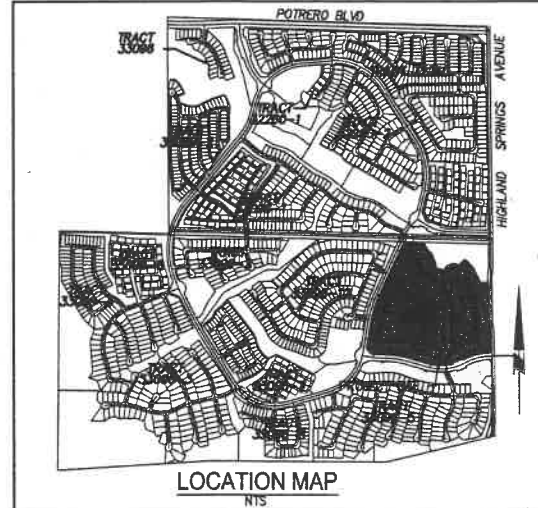
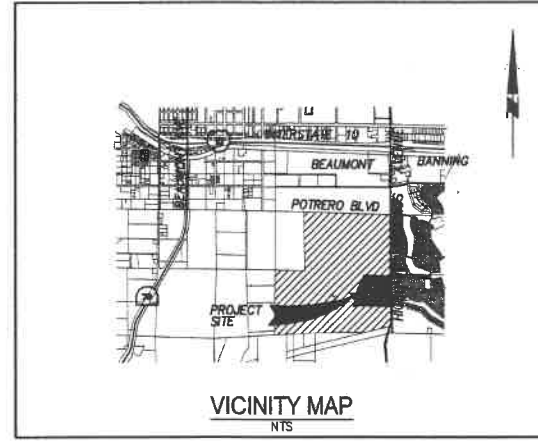
**LEGEND/ABBREVIATIONS**

- EP EDGE OF PAVEMENT
- LP LOW POINT
- HP HIGH POINT
- GB GRADE BREAK
- BC BEGIN CURVE
- EC END CURVE
- INV INVERT
- CB CATCH BASIN
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYLCHLORIDE (PIPE)
- LF LINEAR FEET
- MH MANHOLE
- INT INTERSECTION
- TG TOP OF GRATE
- OC ON CURB
- TC TOP OF CURB
- FL FLOWLINE
- DW DOMESTIC WATER
- SD STORM DRAIN
- SS SANITARY SEWER
- FH FIRE HYDRANT
- R/W RIGHT OF WAY
- BCR BEGIN CURB RETURN
- ECR END CURB RETURN
- MOC MIDDLE OF CURVE
- PRC POINT OF REVERSE CURVATURE
- PCC POINT OF COMPLEX CURVATURE
- SWK SIDEWALK
- TAN TANGENT GRADE
- PIG POINT IN GUTTER
- RP RADIUS POINT
- VC VERTICAL CURVE
- BVC BEGIN VERTICAL CURVE
- EVC END VERTICAL CURVE
- MVC MIDDLE OF VERTICAL CURVE
- RT RIGHT
- LT LEFT
- ST STREET
- C/L CENTER LINE
- FS FINISHED SURFACE
- PL PROPERTY LINE



**INDEX MAP LEGEND:**

- 1 SHEET NUMBER
- DRAINAGE FLOW DIRECTION
- LOT NUMBER



**CONSTRUCTION NOTES & QUANTITY ESTIMATES**

| NO. | DESCRIPTION   | UNIT | QTY.    |
|-----|---|------|---------|
| 5   | RELOCATE EXISTING STREET LIGHT PER SEPARATE PLAN  | EA   | 1       |
| 6   | SAWOUT AND REMOVE EXISTING CURB AND GUTTER  | LF   | 360     |
| 7   | INSTALL R-1 STOP SIGN   | EA   | 4       |
| 8   | INSTALL STOP BAR AND LEGEND PER CALTRANS STD. A240 AND A24E   | EA   | 4       |
| 9   | SAWOUT AND JOIN EXISTING PAVEMENT PER DETAIL ON SHEET 2   | LF   | 360     |
| 10  | CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE  | SF   | 193,280 |
| 11  | CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2   | LF   | 11,718  |
| 12  | CONSTRUCT TYPE A-6 CURB & GUTTER PER COUNTY OF RIVERSIDE STD. NO. 200   | LF   | 72      |
| 18  | CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24                                 | EA   | 22      |
| 19  | CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209  | SF   | 7,285   |
| 20  | CONSTRUCT LOCAL DEPRESSION FLOW-BY CONDITION PER DETAIL ON SHEET 2  | EA   | 9       |
| 21  | CONSTRUCT MODIFIED P.C.C. SIDEWALK (W=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401 | SF   | 58,600  |
| 22  | CONSTRUCT STREET LIGHT PER SEPARATE PLAN  | EA   | 10      |
| 23  | INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD NO. 816  | EA   | 13      |
| 24  | CONSTRUCT CURB & GUTTER TRANSITION PER DETAIL ON SHEET 2  | EA   | 4       |
| 25  | CONSTRUCT LOCAL DEPRESSION SUMP CONDITION PER DETAIL ON SHEET 2   | EA   | 2       |
| 26  | INSTALL TYPE 4 OBJECT MARKER OM4-1  | EA   | 6       |

**DEVELOPER:**

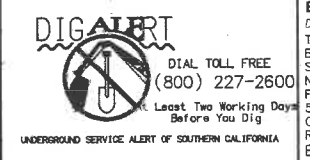
K. HOVNANIAN'S FOUR SEASONS AT BEAUMONT, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY  
400 EXCHANGE SUITE 200  
IRVINE, CA 92602  
(714) 368-4507  
24-HOUR CONTACT PERSON - JASON MOCK: (909)493-9066  
NPDES PERMIT# WDD183338950

**DECLARATION OF ENGINEER OF RECORD:**

I HEREBY DECLARE THAT IN MY PROFESSIONAL OPINION, THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH THE CURRENT PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS, I ACCEPT FULL RESPONSIBILITY FOR SUCH DESIGN. I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF BEAUMONT IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THESE PLANS COMPLY WITH CITY PROCEDURES AND OTHER APPLICABLE CODES AND ORDINANCES. THE PLAN REVIEW PROCESS IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT THEREFORE RELIEVE ME OF MY DESIGN RESPONSIBILITY.

AS THE ENGINEER OF RECORD, I AGREE TO DEFEND AND INDEMNIFY THE CITY OF BEAUMONT, ITS OFFICERS, ITS AGENTS, AND ITS EMPLOYEES FROM ANY AND ALL LIABILITY, CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY ARISING FROM NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD, HIS EMPLOYEES, HIS AGENTS OR HIS CONSULTANTS.

SIGNATURE: *K. Hovnanian* DATE: 12-20-17  
LICENSE NO. 63249 EXP. 06-30-18



**BASIS OF BEARINGS:**  
DESCRIPTION:  
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 52 THROUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEARING: N 31°38'05" W

Page 185

APPR. DATE

**Michael Baker INTERNATIONAL**  
5 Hubert Center Drive, Suite 600  
Santa Ana CA 92707  
Phone: (949) 472-3505  
MBAKERINTL.COM

DATE: 12/20/17

DESIGN BY: HJ  
DRAWN BY: TJ  
CHECKED BY: LMB  
SCALE: PER PLAN  
DATE: AUGUST 2017  
JOB NUMBER: 1003507

Reviewed By: *A.C. Smith* Date: 1.9.18  
Recommended for Approval By: *A.C. Smith* Date: 1.9.18  
Administrative Engineer  
Approved By: *John Work* Date: 1.9.18  
Director of Public Works R.C.E. 80982  
City of Beaumont, Public Works Department  
Engineering Division

550 E. 9TH STREET  
BEAUMONT, CA 92223  
TEL: (951) 769-8520 \* FAX: (951) 769-8526

CITY OF BEAUMONT, CALIFORNIA

**STREET IMPROVEMENT PLANS**

TRACT NO. 33096-13, PH-E2

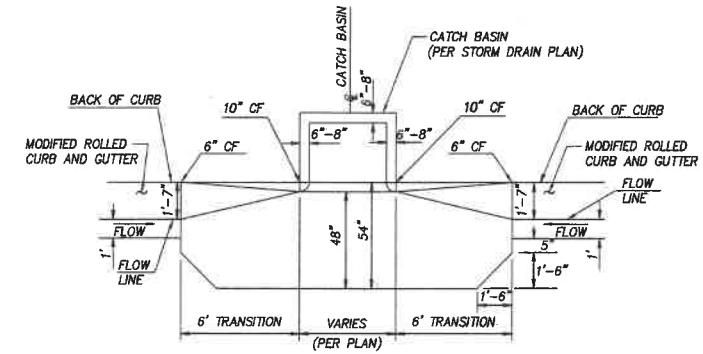
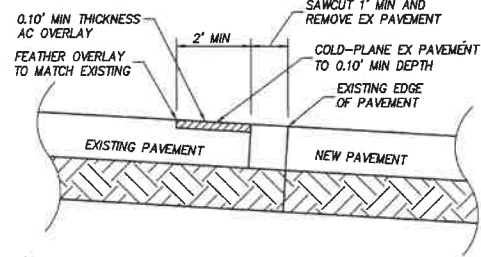
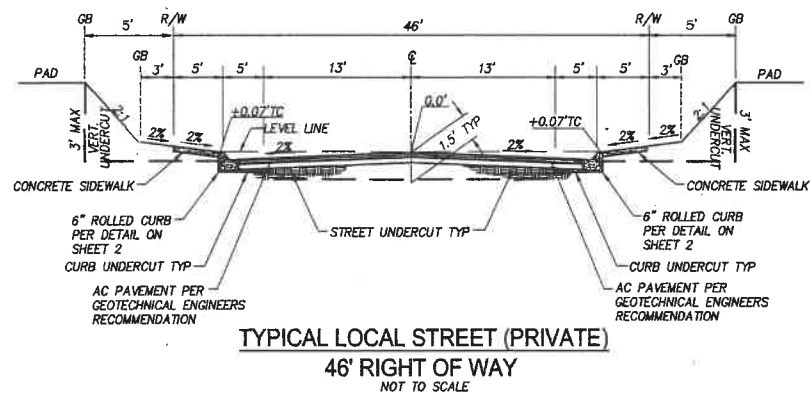
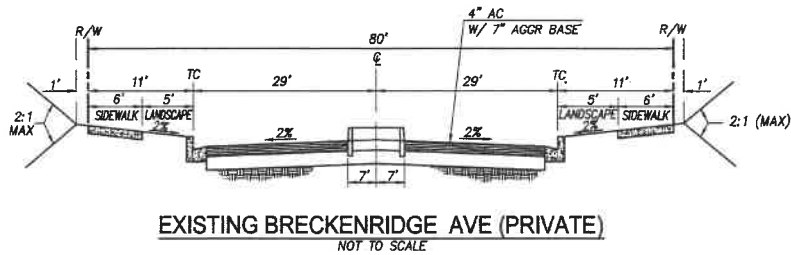
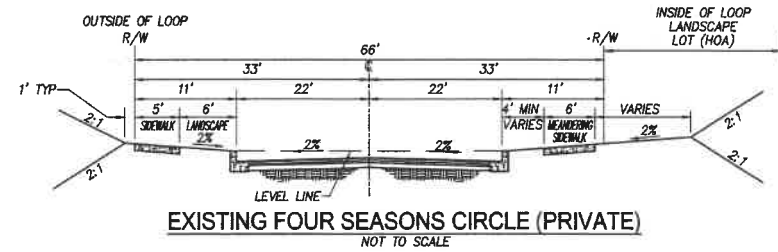
TITLE SHEET \* VICINITY MAP \* GENERAL NOTES

\* LOCATION MAP \*

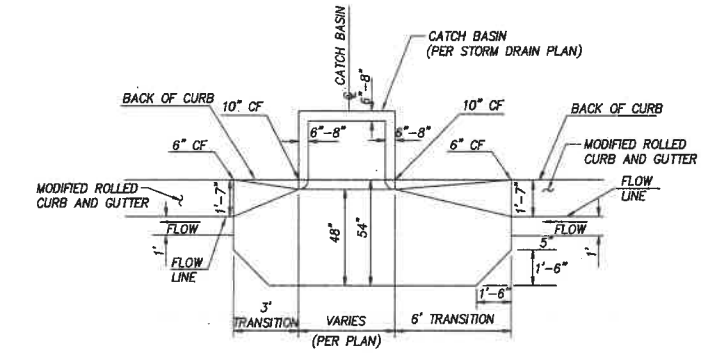
K. HOVNANIAN

SHEET  
1  
OF 10 SHEETS  
FILE NO.:  
3154

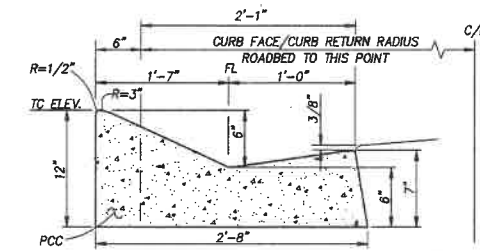
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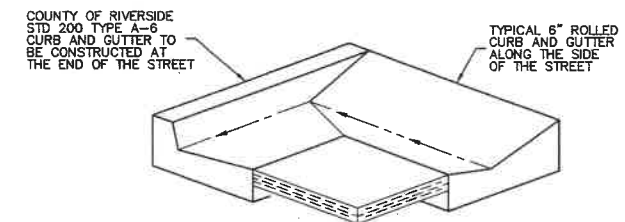
20 TYPICAL LOCAL DEPRESSION DETAIL - SUMP CONDITION  
NTS



20 TYPICAL LOCAL DEPRESSION DETAIL - FLOW-BY CONDITION  
NTS



11 6" MODIFIED ROLLED CURB & GUTTER  
NTS



24 CURB & GUTTER TRANSITION DETAIL  
NTS

**NOTE:**  
SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISIONS TO THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
**DESCRIPTION:** 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14", LOCATED AT THE SLY SIDE OF 6TH STREET 235' WLY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
**ELEV. = 2590.838 (1982)**  
**DATUM: NGVD29**

**BASIS OF BEARINGS:**  
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**BEARING: N 31°38'05" W**

**DIG ALERT**  
DIAL TOLL FREE (800) 227-2600  
At Least Two Working Days Before You Dig  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

|          |          |      |       |      |
|----------|----------|------|-------|------|
| BY       | MARK     | DATE | APPR. | DATE |
| ENGINEER | REVISION | CITY |       |      |



**Michael Baker INTERNATIONAL**  
61400 Camino Del Rio, Suite 500  
San Diego CA 92108  
Phone: (619) 472-3505  
mbakerintl.com

Mauricio M. Lacelle  
11/28/17  
DATE

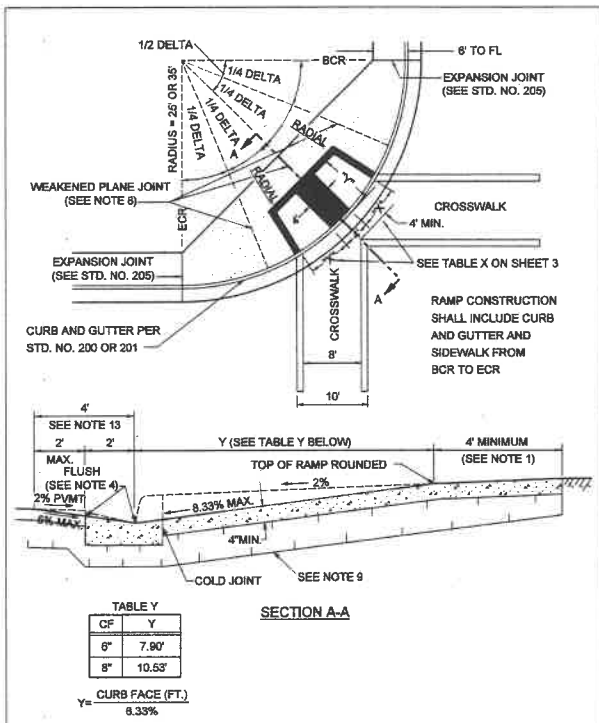


DESIGN BY: HQ  
DRAWN BY: TJ  
CHECKED BY: MM  
SCALE: PER PLAN  
DATE: AUGUST 2017  
JOB NUMBER: 1010507

Reviewed By: [Signature] Staff Engineer Date: 1.9.18  
Recommended for Approval By: [Signature] Administrative Engineer Date: 1.9.18  
Approved By: [Signature] Director of Public Works, RCE 50932 Date: 1.9.18  
City of Beaumont, Public Works Department Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
TRACT NO. 33096-13, PH-E2  
TYPICAL SECTIONS AND DETAILS

SHEET  
**2**  
OF 10 SHEETS  
FILE NO.:  
3154



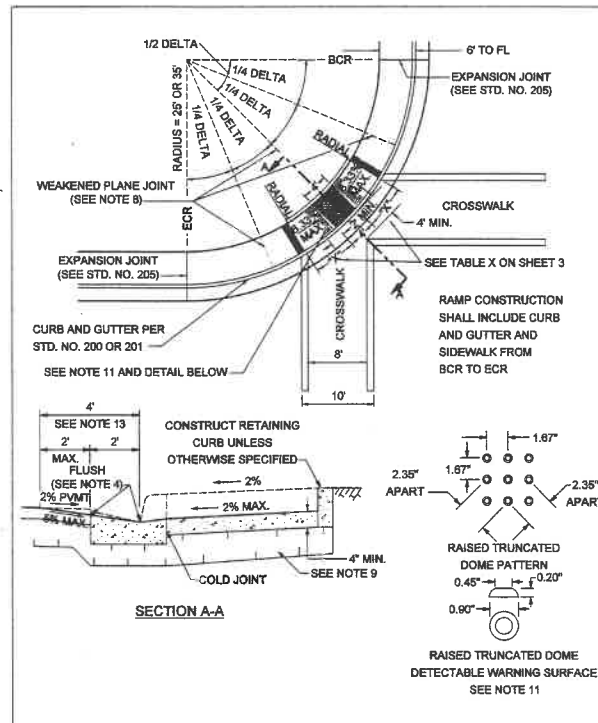
APPROVED BY: *[Signature]* DATE: 12/15/97

COUNTY OF RIVERSIDE

**CURB RAMP CASE A**

| REVISIONS | REV. BY | APPROV. DATE | REV. BY | APPROV. DATE |
|-----------|---------|--------------|---------|--------------|
| 6-77      | 6-82    | 1            | 4       |              |
| 5-89      | 6-88    | 2            | 5       |              |
| 10-81     | 2-90    | 3            | 6       |              |

STANDARD NO. 403 (1 OF 4)



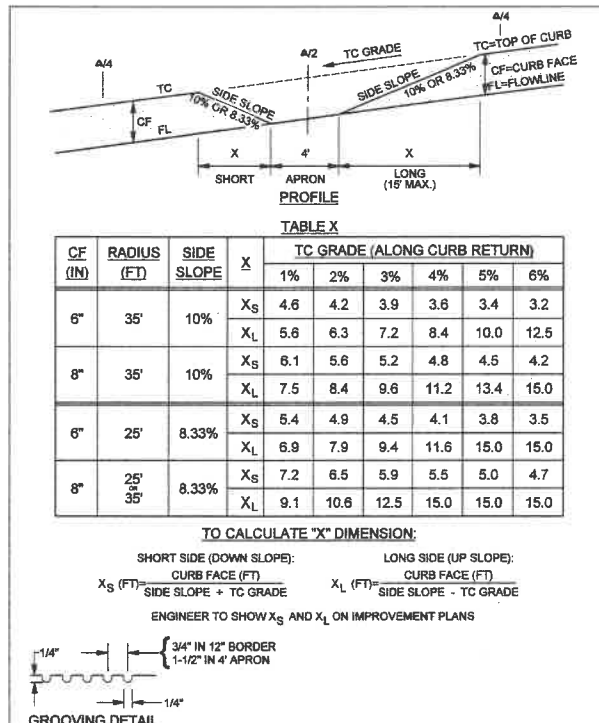
APPROVED BY: *[Signature]* DATE: 12/15/97

COUNTY OF RIVERSIDE

**CURB RAMP CASE B**

| REVISIONS | REV. BY | APPROV. DATE | REV. BY | APPROV. DATE |
|-----------|---------|--------------|---------|--------------|
| 6-77      | 6-82    | 1            | 4       |              |
| 5-89      | 6-88    | 2            | 5       |              |
| 10-81     | 2-90    | 3            | 6       |              |

STANDARD NO. 403 (2 OF 4)



APPROVED BY: *[Signature]* DATE: 12/15/97

COUNTY OF RIVERSIDE

**CURB RAMP**

| REVISIONS | REV. BY | APPROV. DATE | REV. BY | APPROV. DATE |
|-----------|---------|--------------|---------|--------------|
| 6-77      | 6-82    | 1            | 4       |              |
| 5-89      | 6-88    | 2            | 5       |              |
| 10-81     | 2-90    | 3            | 6       |              |

STANDARD NO. 403 (3 OF 4)

CONSTRUCTION NOTES:

- IF DISTANCE FROM CURB TO BACK OF SIDEWALK IS TOO SHORT TO ACCOMMODATE RAMP AND 4' LANDING, THEN THE SLOPE OF THE FLARED SIDE SHALL NOT EXCEED 8.33%. ONLY 6" CURBS WITH 36" RADIUS MEET REQUIREMENTS FOR 10% SIDE SLOPES. ALL OTHER CURBS REQUIRE 8.33% SIDE SLOPES.
- IF SIDEWALK IS LESS THAN 6' WIDE, THE FULL WIDTH OF THE SIDEWALK SHALL BE DEPRESSED AS SHOWN IN CASE B.
- THE RAMP SHALL HAVE A 12" WIDE BORDER WITH GROOVES 1/4" WIDE AND 1/4" DEEP APPROXIMATELY 3/4" ON CENTER. SEE GROOVING DETAIL.
- TRANSITIONS FROM RAMP TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
- WHEN RAMP IS LOCATED IN CENTER OF CURB RETURN, IT SHALL BE GROOVED IN A HERRINGBONE PATTERN WITH GROOVES 1/4" WIDE AND 1/4" DEEP APPROXIMATELY 1-1/2" ON CENTER. SEE GROOVING DETAIL. GROOVES SHALL BE ALIGNED PARALLEL TO CROSSWALK LINES TO DIRECT VISUALLY IMPAIRED PEDESTRIANS INTO THE CROSSWALK.
- RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP (EXCEPT IN CASE B).
- WHERE SPACE LIMITATIONS PROHIBIT THE USE OF A 8.33% RAMP SLOPE, THE SLOPE MAY BE INCREASED UP TO 10% FOR A MAXIMUM RISE OF 8 INCHES. (REDUCES RAMP LENGTH Y DIMENSION BY 1.32').
- CONSTRUCT WEAKENED PLANE JOINTS AT 1/4 DELTAS WHEN RADIUS EQUALS 35' AND AT INSIDE EDGE OF GROOVED BORDER WHEN RADIUS EQUALS 25'.
- IF EXPANSIVE SOIL IS ENCOUNTERED, THEN RAMP SHALL BE CONSTRUCTED OVER CLASS 2 AGGREGATE MATERIAL.
- CONCRETE SHALL BE CLASS B.
- CURB RAMP THAT HAVE A RAMP SLOPE FLATTER THAN 6.67% SHALL HAVE A DETECTABLE WARNING SURFACE THAT EXTENDS THE FULL WIDTH OF THE RAMP AND 24" MINIMUM LENGTH, SIMILAR TO THAT SHOWN ON CASE B WITH DETAIL. DETECTABLE WARNING SURFACES, AT THE OPTION OF THE CONTRACTOR, SHALL BE CONSTRUCTED BY CAST-IN-PLACE OR STAMPED METHOD.
- WHEN A DETECTABLE WARNING SURFACE IS NOT REQUIRED ON A CURB RAMP OR WHEN RAMP IS NOT LOCATED IN CURB RETURN, THE CONCRETE FINISH OF THE RAMP AND ITS FLARED SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- MAXIMUM SLOPES OF ADJOINING GUTTERS, THE ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP AND CONTINUOUS PASSAGE TO THE CURB RAMP SHALL NOT EXCEED 5% WITHIN 4' OF THE TOP OR BOTTOM OF THE CURB RAMP.

APPROVED BY: *[Signature]* DATE: 12/15/97

COUNTY OF RIVERSIDE

**CURB RAMP CONSTRUCTION NOTES**

| REVISIONS | REV. BY | APPROV. DATE | REV. BY | APPROV. DATE |
|-----------|---------|--------------|---------|--------------|
| 6-77      | 6-82    | 1            | 4       |              |
| 5-89      | 6-88    | 2            | 5       |              |
| 10-81     | 2-90    | 3            | 6       |              |

STANDARD NO. 403 (4 OF 4)

**NOTE:**  
SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

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**ELEV. = 2590.838 (1982)**  
**DATUM: NGVD29**

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| BY       | MARK | DATE | APPROV. DATE |
|----------|------|------|--------------|
| ENGINEER | R    |      | CITY         |



**Michael Baker INTERNATIONAL**  
5 Hillen Centre Drive, Suite 500  
Santa Ana, CA 92707  
Phone: (949) 472-3505  
MBAKERINTL.COM

*[Signature]* DATE: 12/20/17  
R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: HQ  
DRAWN BY: TJ  
CHECKED BY: MM  
SCALE: PER PLAN  
DATE: AUGUST 2017  
JOB NUMBER: 10193507

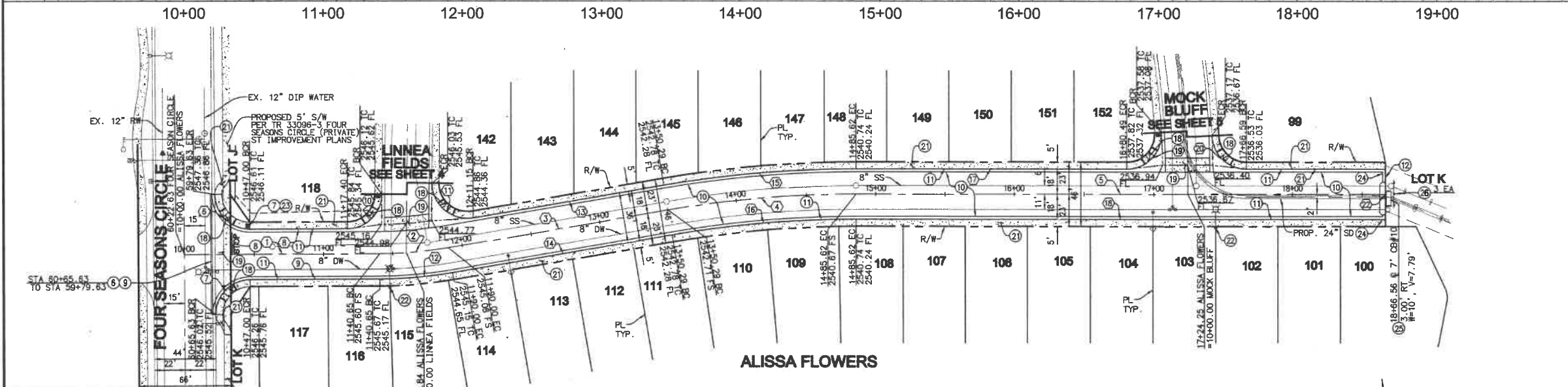
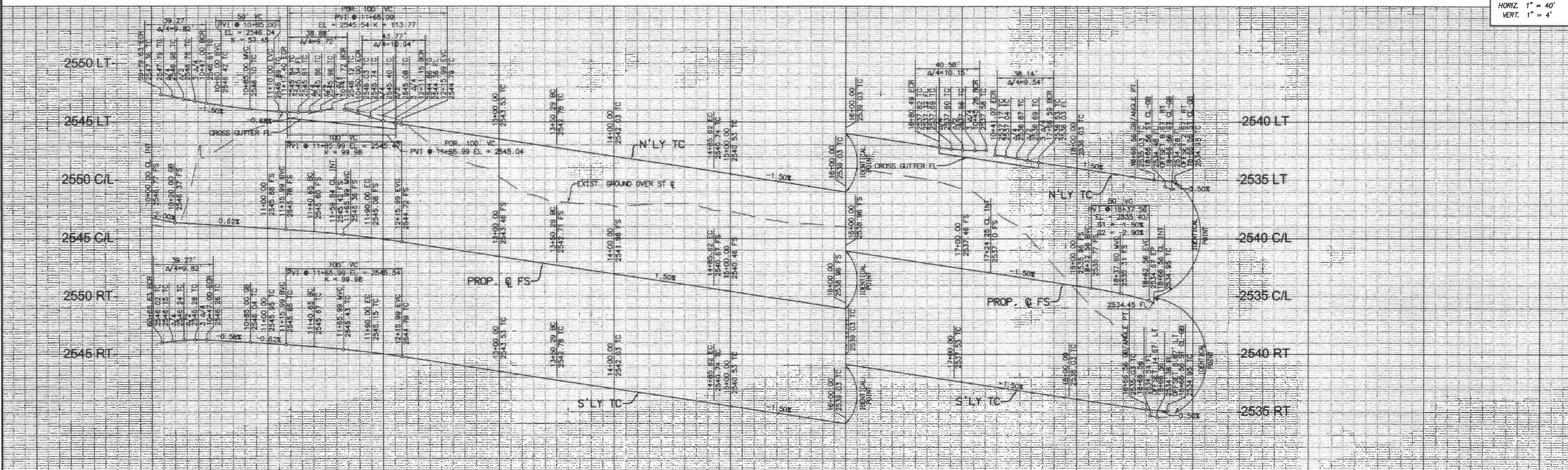
Reviewed By: *[Signature]* Date: 1.3.18  
Recommended for Approval: *[Signature]* Date: 1.3.18  
Approved By: *[Signature]* Date: 1.6.18  
Director of Public Works, R.C.E. 50902  
City of Beaumont, Public Works Department  
Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
TYPICAL SECTIONS AND DETAILS

FOR: **K. HOVNANIAN**

SHEET **2A**  
OF 10 SHEETS  
FILE NO.: 3154

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- ⑥ SAWCUT AND REMOVE EXISTING CURB AND GUTTER
  - ⑦ INSTALL R-1 STOP SIGN
  - ⑧ INSTALL STOP BAR AND LEGEND PER CALTRANS STD. A240 AND A242
  - ⑨ SAWCUT AND JOIN EXISTING PAVEMENT PER DETAIL ON SHEET 2
  - ⑩ CONSTRUCT 3" AC OVER 6" CLASS 11 AGG. BASE
  - ⑪ CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - ⑫ CONSTRUCT TYPE A-6 CURB & GUTTER PER COUNTY OF RIVERSIDE STD. NO. 200
  - ⑬ CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
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  - ⑮ CONSTRUCT MODIFIED P.C.C. SIDEWALK (W=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - ⑯ CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - ⑰ INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD NO. 816
  - ⑱ CONSTRUCT CURB & GUTTER TRANSITION PER DETAIL ON SHEET 2
  - ⑲ CONSTRUCT LOCAL DEPRESSION SUMP CONDITION PER DETAIL ON SHEET 2
  - ⑳ INSTALL TYPE 4 OBJECT MARKER OM-1

**LINE/CURVE DATA**

| NO | BEARING/DELTA   | RADIUS  | LENGTH  | TANGENT |
|----|-----------------|---------|---------|---------|
| 1  | N 80° 59' 19" W | —       | 140.65' | —       |
| 2  | 09° 25' 25" E   | 300.00' | 49.34'  | 24.73'  |
| 3  | N 89° 35' 16" E | —       | 160.29' | —       |
| 4  | 09° 41' 32" E   | 800.00' | 135.33' | 67.83'  |
| 5  | N 80° 43' 12" W | —       | 390.94' | —       |
| 6  | 90° 00' 00"     | 25.00'  | 39.27'  | 25.00'  |
| 7  | 90° 00' 00"     | 25.00'  | 39.27'  | 25.00'  |
| 8  | N 80° 59' 19" W | —       | 70.48'  | —       |
| 9  | N 80° 59' 19" W | —       | 93.65'  | —       |
| 10 | 89° 06' 13" E   | 25.00'  | 38.88'  | 24.61'  |
| 11 | 100° 19' 12" E  | 25.00'  | 43.77'  | 29.96'  |
| 12 | 09° 25' 25" E   | 318.00' | 52.30'  | 26.21'  |
| 13 | N 89° 35' 16" E | —       | 139.14' | —       |
| 14 | N 89° 35' 16" E | —       | 160.30' | —       |
| 15 | 09° 41' 32" E   | 818.00' | 138.37' | 69.35'  |
| 16 | 09° 41' 32" E   | 782.00' | 132.28' | 66.30'  |
| 17 | N 80° 43' 12" W | —       | 194.87' | —       |
| 18 | N 80° 43' 12" W | —       | 390.94' | —       |
| 19 | 92° 50' 25" E   | 25.00'  | 40.58'  | 26.34'  |
| 20 | 87° 24' 32" E   | 25.00'  | 38.14'  | 23.89'  |
| 21 | N 80° 43' 12" W | —       | 99.97'  | —       |
| 22 | N 09° 16' 48" E | —       | 36.00'  | —       |

**NOTE:** SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

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**DIGALERT**  
 DIAL TOLL FREE (800) 227-2600  
 At Least Two Working Days Before You Dig  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

BY: [Signature] MARK: [Signature] RE: [Signature] CITY: [Signature]

Page 188

**MAURICIO M. IACELLI**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 63249  
 CIVIL  
 STATE OF CALIFORNIA

**Michael Baker INTERNATIONAL**  
 51 Milton Centre Drive, Suite 500  
 Santa Ana CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. IACELLI  
 R.C.E. 63249 EXP. 6-30-2018  
 DATE: 11/28/17



DESIGN BY: HQ  
 DRAWN BY: TJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 1013507

Reviewed By: [Signature] Date: 1.9.18  
 Recommended for Approval By: [Signature] Date: 1.9.18  
 Approved By: [Signature] Date: 1.9.18  
 Director of Public Works, RCE 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

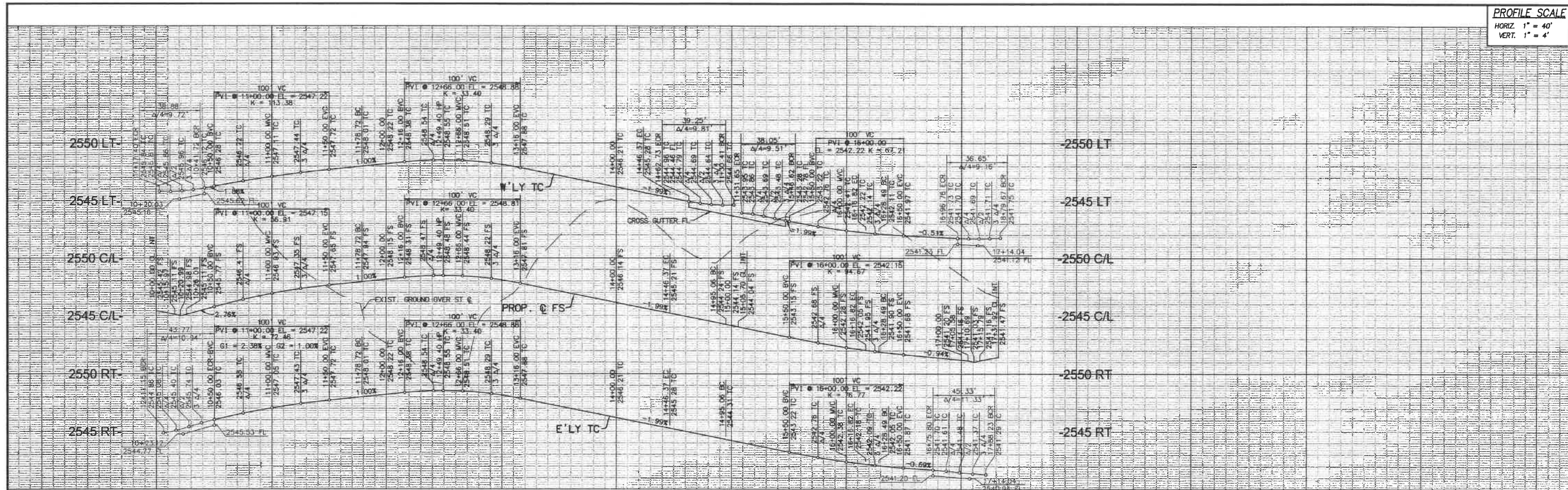
CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
 TRACT NO. 33096-13, PH-E2  
 ALISSA FLOWERS STA. 10+00.00 TO 18+66.56

FOR: **K. HOVNANIAN**

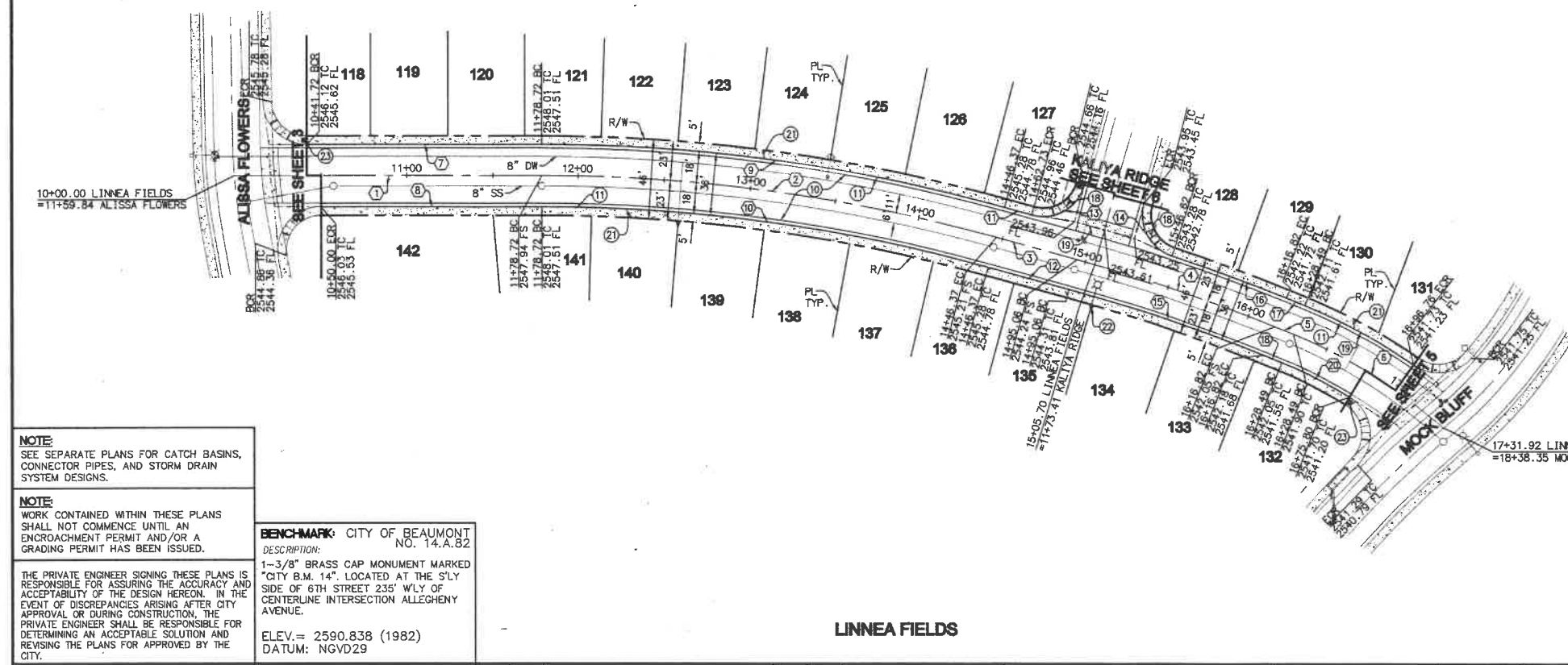
SHEET **3**  
 OF 10 SHEETS  
 FILE NO.: 3154

H:\VDATA\1013507\N\RVINE\CADD\LAND\DLV\IMP\PH-E2\13507-ST-03.DWG JORDAN, TAYLOR 10/16/2017 9:51 AM

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



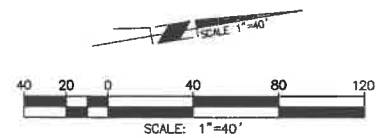
10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00



- CONSTRUCTION NOTES**
- 10 CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
  - 11 CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - 18 CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
  - 19 CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209
  - 21 CONSTRUCT MODIFIED P.C.C. SIDEWALK (W=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - 22 CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - 23 INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD. NO. 816

**LINE/CURVE DATA**

| STATION | BEARING/Delta   | RADIUS   | LENGTH  | TANGENT |
|---------|-----------------|----------|---------|---------|
| 1       | N 09° 54' 28" E | —        | 178.72' | —       |
| 2       | S 15° 20' 07" E | 1000.00' | 267.65' | 134.63' |
| 3       | N 25° 14' 35" E | —        | 48.69'  | —       |
| 4       | S 06° 42' 52" E | 1039.00' | 121.76' | 60.95'  |
| 5       | N 31° 57' 27" E | —        | 11.67'  | —       |
| 6       | S 19° 45' 18" E | 300.00'  | 103.44' | 52.24'  |
| 7       | N 09° 54' 28" E | —        | 137.00' | —       |
| 8       | N 09° 54' 28" E | —        | 128.72' | —       |
| 9       | S 15° 20' 07" E | 1018.00' | 272.47' | 137.05' |
| 10      | S 15° 20' 07" E | 982.00'  | 262.83' | 132.21' |
| 11      | N 25° 14' 35" E | —        | 16.37'  | —       |
| 12      | N 25° 14' 35" E | —        | 48.69'  | —       |
| 13      | S 89° 56' 50" E | 25.00'   | 39.25'  | 24.98'  |
| 14      | S 87° 12' 34" E | 25.00'   | 38.05'  | 23.81'  |
| 15      | S 06° 42' 52" E | 1021.00' | 119.65' | 59.89'  |
| 16      | S 03° 52' 16" E | 1057.00' | 71.41'  | 35.72'  |
| 17      | N 31° 57' 27" E | —        | 11.67'  | —       |
| 18      | N 31° 57' 27" E | —        | 11.67'  | —       |
| 19      | S 13° 02' 21" E | 318.00'  | 72.37'  | 36.34'  |
| 20      | S 09° 02' 09" E | 282.00'  | 44.47'  | 22.28'  |



**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82

**DESCRIPTION:**  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.

ELEV. = 2590.838 (1982)  
 DATUM: NGVD29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 58, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31° 38' 05" W

|          |      |      |       |      |
|----------|------|------|-------|------|
| BY       | MARK | DATE | APPR. | DATE |
| ENGINEER | RE   |      |       |      |



**Michael Baker INTERNATIONAL**  
 5 Huber Center Drive, Suite 600  
 Santa Ana, CA 92707  
 Phone: (949) 473-3505  
 MBAKERINTL.COM

DATE: 11/26/17

DESIGN BY: HJ  
 DRAWN BY: TJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103507

Reviewed By: [Signature] Date: 1-8-18  
 Recommended for Approval By: [Signature] Date: 1-8-18  
 Approved By: [Signature] Date: 1-8-18  
 Director of Public Works, R.C.E. 50932

City of Beaumont, Public Works Department  
 Engineering Division

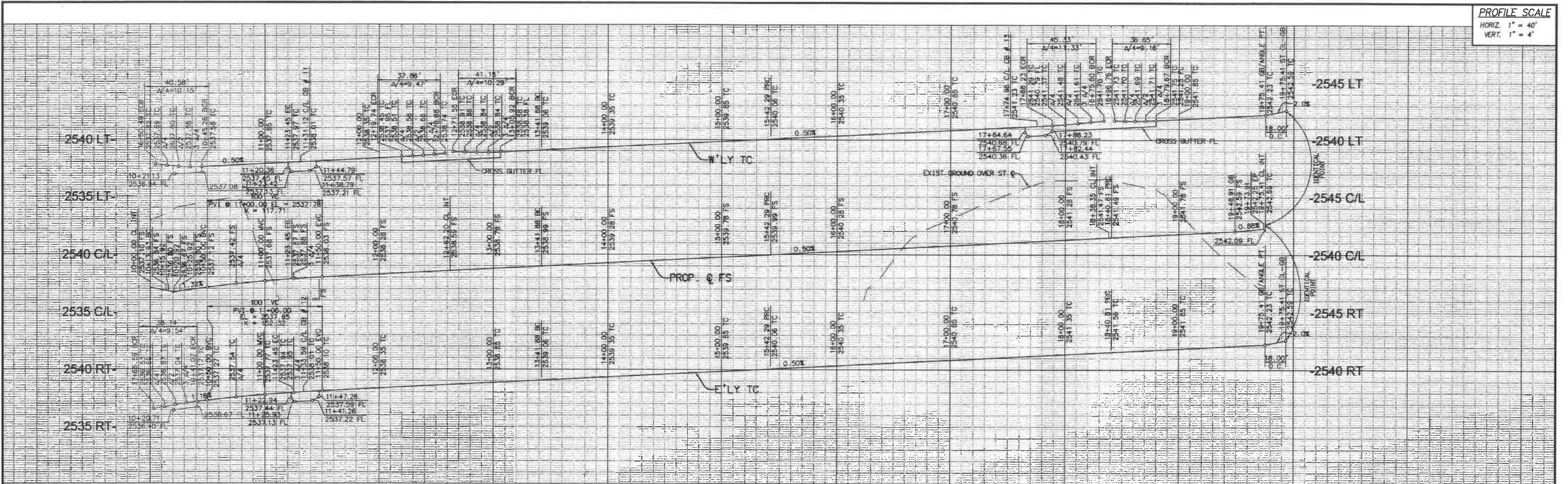
CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 LINNEA FIELDS STA. 10+00.00 TO 17+31.92

FOR: **K. HOVNIANIAN**

SHEET **4**  
 OF 10 SHEETS  
 FILE NO.: 3154

H:\PDATA\10103507\RW\NE\CADD\LAND\DW\MPH-E2\ST\3507-ST-04.DWG JORDAN, TAYLOR 10/9/2017 10:15 AM

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

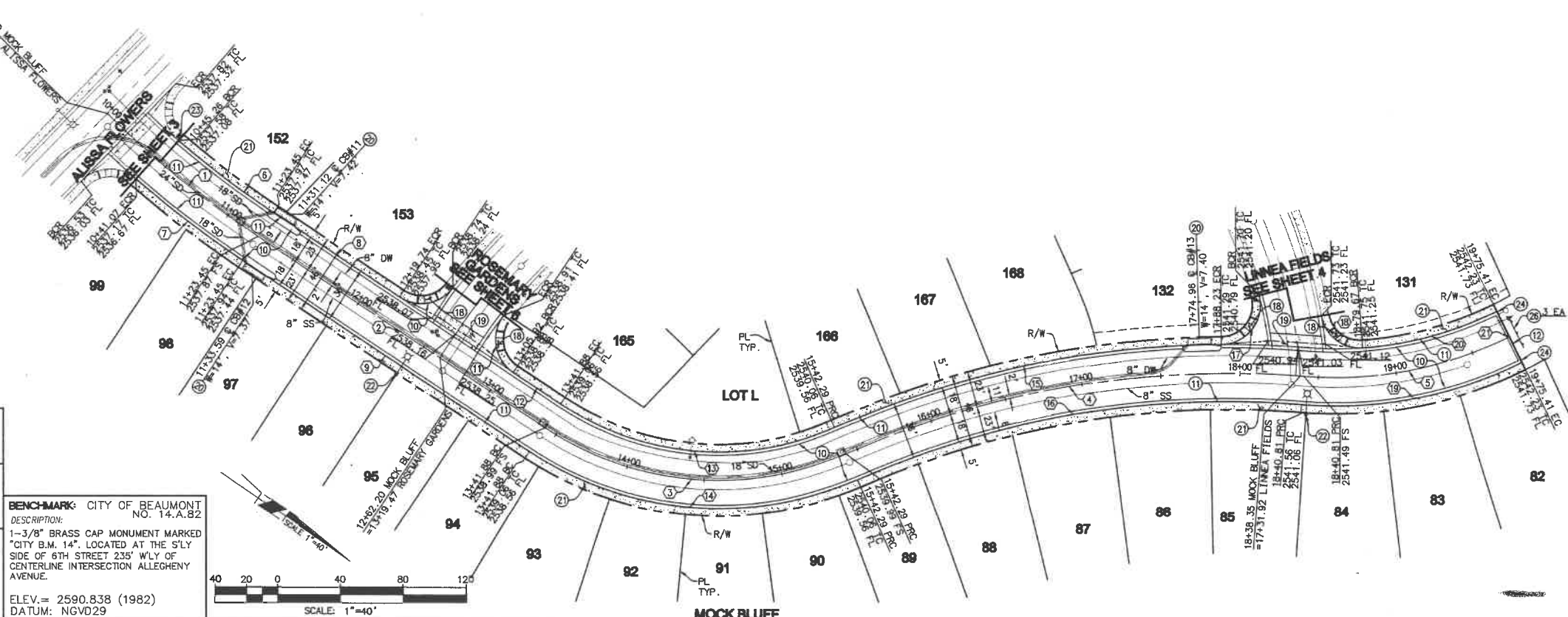


10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00 19+00 20+00

- CONSTRUCTION NOTES**
- 10) CONSTRUCT 3" AC OVER 6" CLASS II AGS. BASE
  - 11) CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - 12) CONSTRUCT TYPE A-6 CURB & GUTTER PER COUNTY OF RIVERSIDE STD. NO. 200
  - 18) CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
  - 19) CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209
  - 20) CONSTRUCT LOCAL DEPRESSION FLOW-BY CONDITION PER DETAIL ON SHEET 2
  - 21) CONSTRUCT MODIFIED P.C.C. SIDEWALK (W=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - 22) CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - 23) INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD. NO. 816
  - 24) CONSTRUCT CURB & GUTTER TRANSITION PER DETAIL ON SHEET 2
  - 26) INSTALL TYPE 4 OBJECT MARKER OMA-1

**LINE/CURVE DATA**

| LINE | BEARING/DELTA   | RADIUS  | LENGTH  | TANGENT |
|------|-----------------|---------|---------|---------|
| 1    | 10° 27' 31"     | 600.00' | 109.52' | 54.91'  |
| 2    | N 01° 10' 43" W | —       | 218.43' | —       |
| 3    | 57° 24' 48"     | 200.00' | 200.41' | 109.53' |
| 4    | 28° 30' 22"     | 600.00' | 298.52' | 152.41' |
| 5    | 30° 50' 58"     | 250.00' | 134.61' | 68.98'  |
| 6    | 07° 28' 02"     | 562.00' | 75.85'  | 37.98'  |
| 7    | 07° 52' 03"     | 618.00' | 84.86'  | 42.50'  |
| 8    | N 01° 10' 43" W | —       | 96.29'  | —       |
| 9    | N 01° 10' 43" W | —       | 218.43' | —       |
| 10   | 86° 46' 29"     | 25.00'  | 37.86'  | 23.63'  |
| 11   | 94° 18' 23"     | 25.00'  | 41.15'  | 26.95'  |
| 12   | N 01° 10' 43" W | —       | 35.96'  | —       |
| 13   | 57° 24' 48"     | 182.00' | 182.37' | 99.67'  |
| 14   | 57° 24' 48"     | 218.00' | 218.45' | 119.38' |
| 15   | 23° 29' 06"     | 618.00' | 253.31' | 128.46' |
| 16   | 28° 30' 22"     | 562.00' | 289.56' | 147.84' |
| 17   | 103° 53' 59"    | 25.00'  | 45.33'  | 31.94'  |
| 18   | 83° 59' 20"     | 25.00'  | 36.65'  | 22.51'  |
| 19   | 30° 50' 58"     | 268.00' | 144.30' | 73.94'  |
| 20   | 21° 56' 35"     | 232.00' | 88.85'  | 44.98'  |
| 21   | N 29° 03' 53" E | —       | 36.00'  | —       |



**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14", LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALGHEYNI AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NGVD29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31° 38' 05" W

| BY       | MARK | DATE | APPR. | DATE |
|----------|------|------|-------|------|
| ENGINEER | RE   |      |       |      |



**Michael Baker INTERNATIONAL**  
 5 Huber Centre Drive, Suite 500  
 Irvine, CA 92617  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. LACELLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: *MB*  
 DRAWN BY: *TJ*  
 CHECKED BY: *MB*  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103507

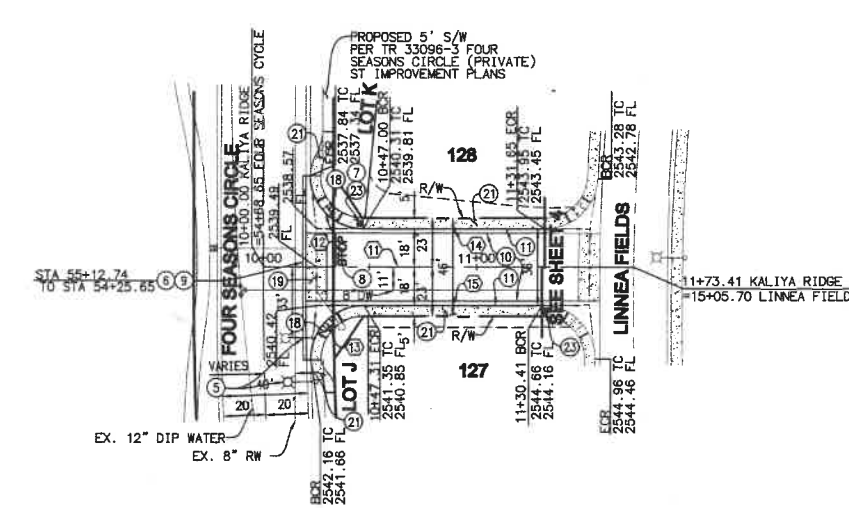
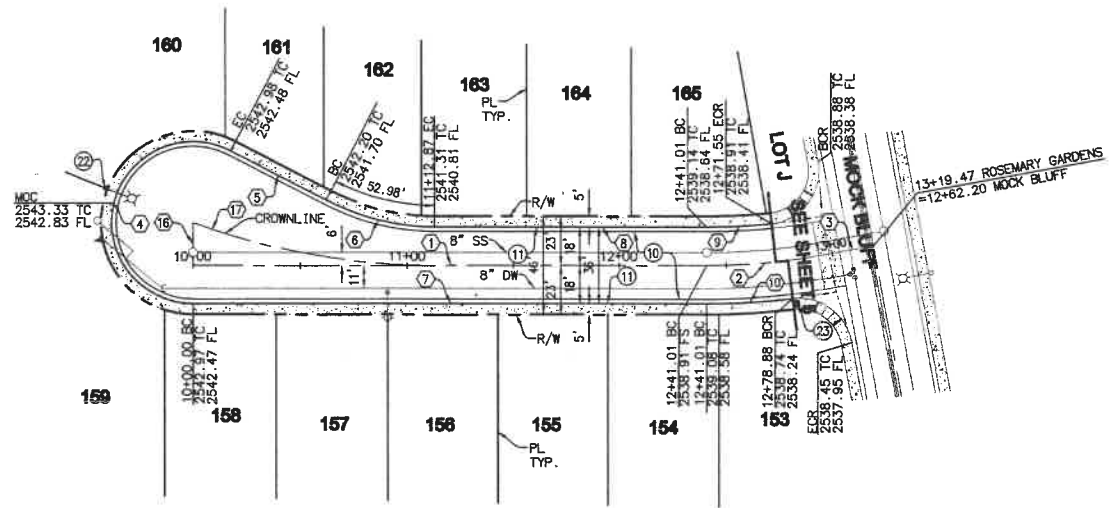
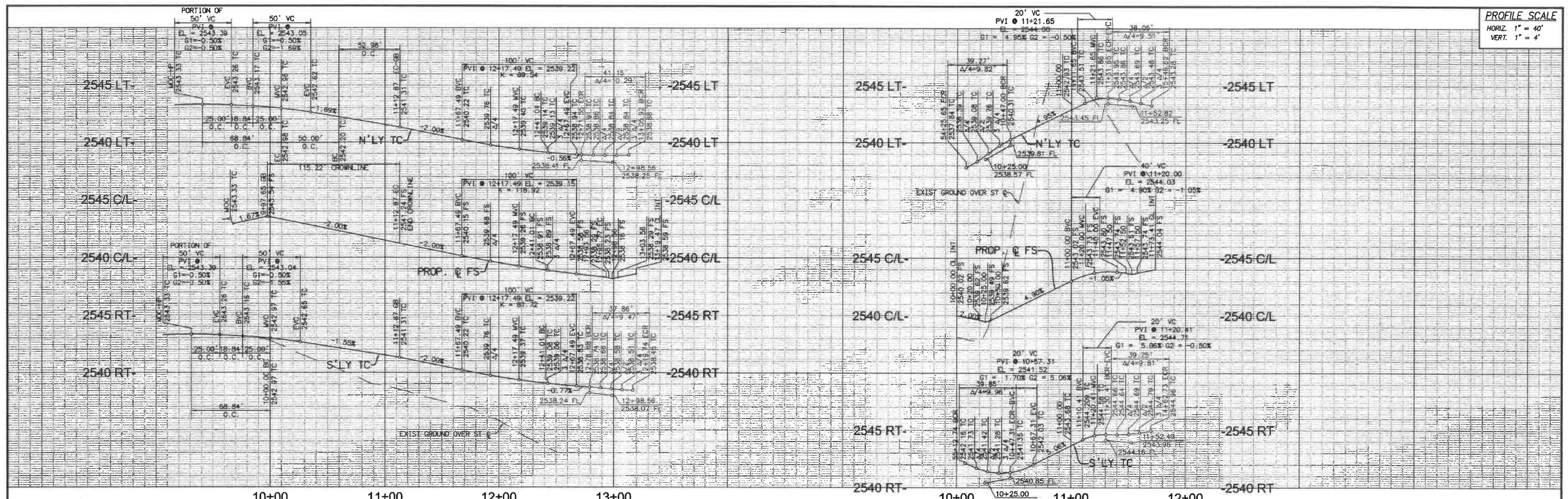
Reviewed By: *[Signature]* Date: 1.3.18  
 Recommended for Approval By: *[Signature]* Date: 1.3.18  
 Approved By: *[Signature]* Date: 1.3.18  
 Director of Public Works RCE 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
 TRACT NO. 33096-13, PH-E2  
 MOCK BLUFF STA. 10+00.00 TO 19+75.41

SHEET  
**5**  
 OF 10 SHEETS  
 FILE NO.:  
 3154

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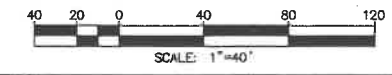
PROFILE SCALE  
 HORIZ 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- ⑤ RELOCATE EXISTING STREET LIGHT PER SEPARATE PLAN
  - ⑥ SAWCUT AND REMOVE EXISTING CURB AND GUTTER
  - ⑦ INSTALL R-1 STOP SIGN
  - ⑧ INSTALL STOP BAR AND LEGEND PER CALTRANS STD. A240 AND A24E
  - ⑨ SAWCUT AND JOIN EXISTING PAVEMENT PER DETAIL ON SHEET 2
  - ⑩ CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
  - ⑪ CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - ⑫ CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
  - ⑬ CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209
  - ⑭ CONSTRUCT MODIFIED P.C.C. SIDEWALK (R=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - ⑮ CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - ⑯ INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD. NO. 816

**LINE/CURVE DATA**

| NO | BEARING/DELTA   | RADIUS  | LENGTH  | TANGENT |
|----|-----------------|---------|---------|---------|
| 1  | N 80° 43' 12" W | —       | 241.01' | —       |
| 2  | 10° 27' 31"     | 300.00' | 54.76'  | 27.46'  |
| 3  | N 88° 49' 17" E | —       | 23.70'  | —       |
| 4  | 207° 35' 51"    | 38.00'  | 137.68' | —       |
| 5  | N 53° 07' 21" W | —       | 50.00'  | —       |
| 6  | 27° 35' 51"     | 110.00' | 52.98'  | 27.02'  |
| 7  | N 80° 43' 12" W | —       | 241.01' | —       |
| 8  | N 80° 43' 12" W | —       | 128.14' | —       |
| 9  | 06° 09' 08"     | 282.00' | 30.28'  | 15.15'  |
| 10 | 07° 14' 00"     | 318.00' | 40.15'  | 20.10'  |
| 11 | N 64° 42' 15" W | —       | 173.41' | —       |
| 12 | 90° 00' 00"     | 25.00'  | 39.27'  | 25.00'  |
| 13 | 91° 19' 21"     | 25.00'  | 39.85'  | 25.58'  |
| 14 | N 64° 42' 15" W | —       | 84.65'  | —       |
| 15 | N 64° 42' 15" W | —       | 83.09'  | —       |
| 16 | N 09° 16' 48" E | —       | 20.00'  | —       |
| 17 | 20° 05' 47"     | 328.49' | 115.22' | 58.21'  |



**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
**DESCRIPTION:** 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
**ELEV. = 2590.838 (1982)**  
**DATUM: NGVD29**

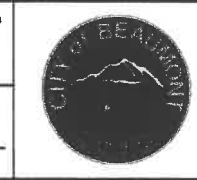
**BASIS OF BEARINGS:**  
**DESCRIPTION:** THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 58, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31° 38' 05" W

| BY       | MARK | DATE | APPR. | DATE |
|----------|------|------|-------|------|
| ENGINEER | RE   |      |       |      |



**Michael Baker INTERNATIONAL**  
 51 Huber Court Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

**MAURICIO M. IACUZZI**  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: **HJ**  
 DRAWN BY: **TJ**  
 CHECKED BY: **MM**  
 SCALE: PER PLAN  
 DATE: **AUGUST 2017**  
 JOB NUMBER: **1003507**

Reviewed By: **[Signature]** Date: **1.3.18**  
 Recommended for Approval By: **[Signature]** Date: **1.3.18**  
 Approved By: **[Signature]** Date: **1.3.18**  
 Director of Public Works, R.C.E. 50832  
 City of Beaumont, Public Works Department  
 Engineering Division

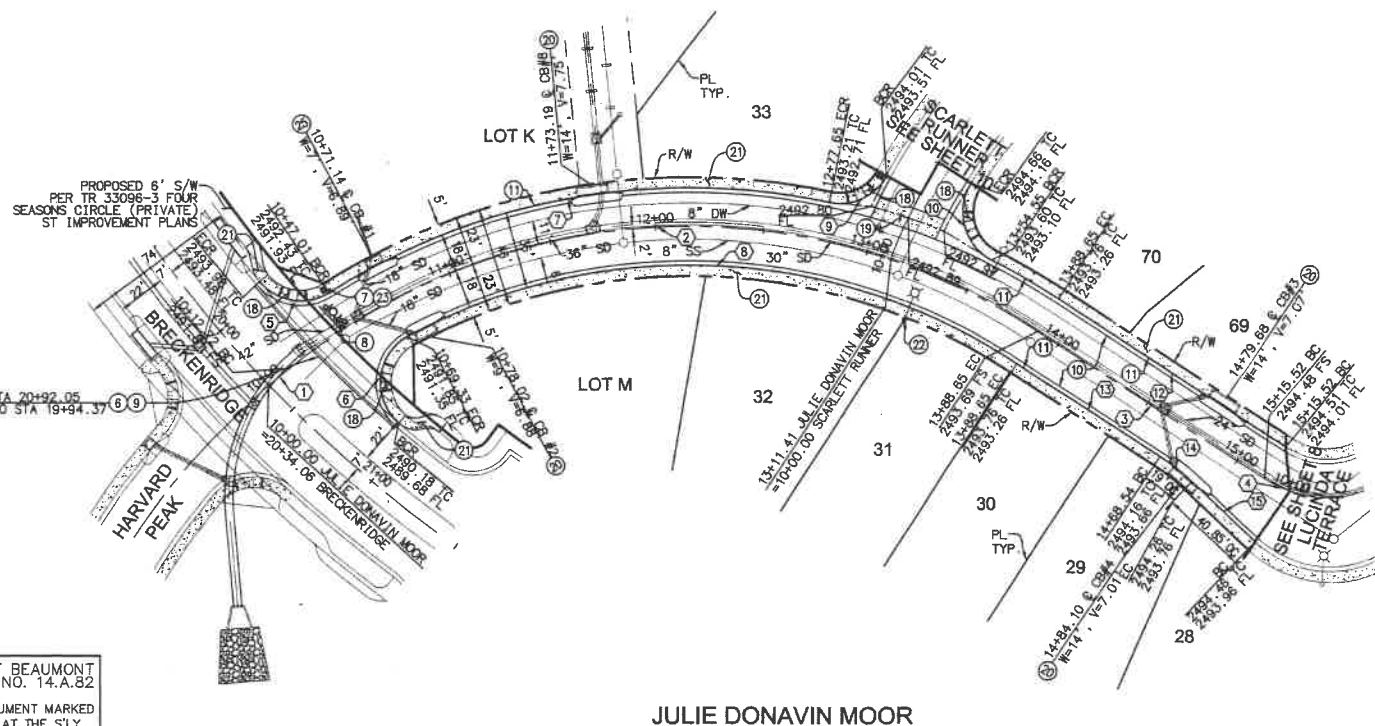
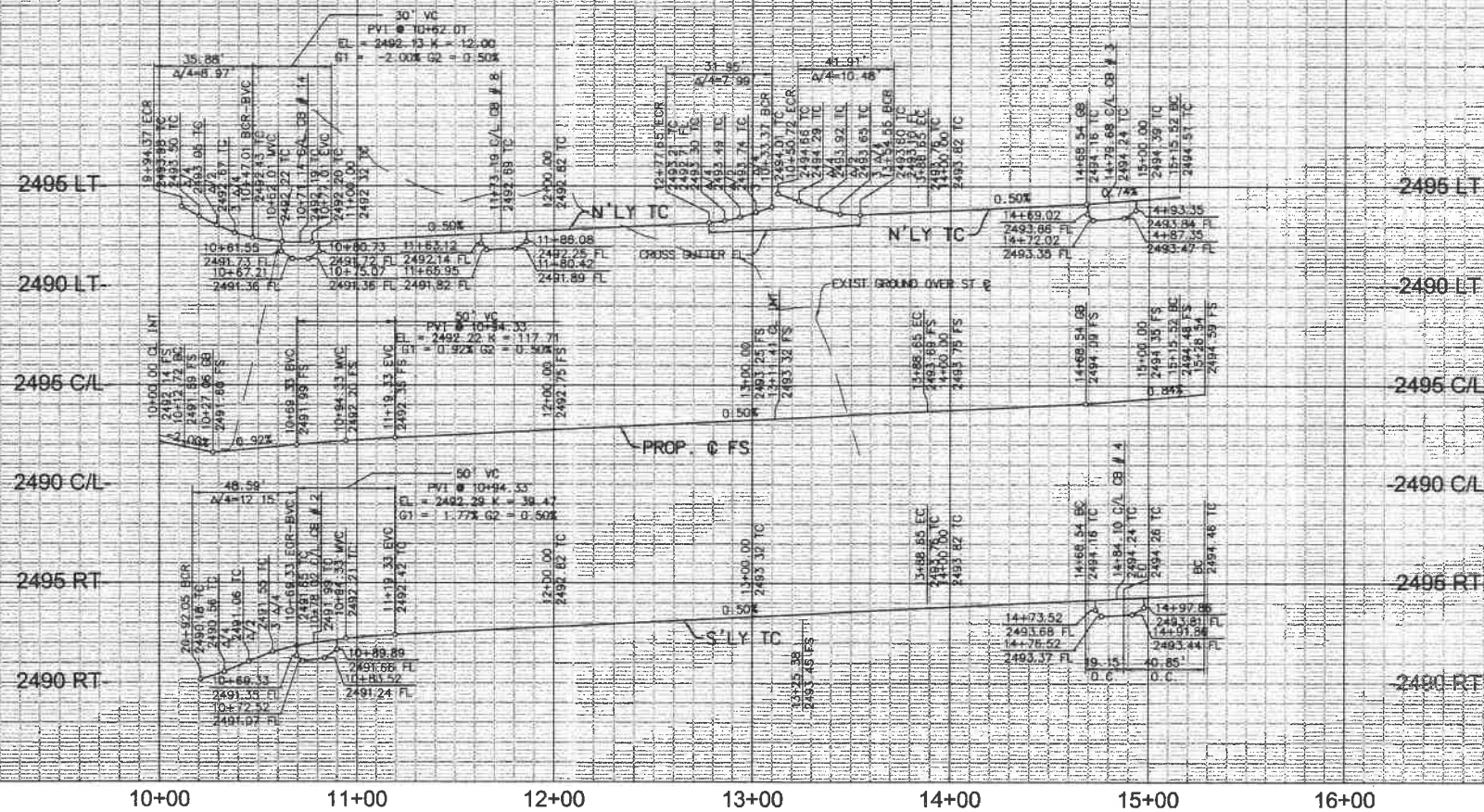
**CITY OF BEAUMONT, CALIFORNIA**  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 ROSEMARY GARDENS STA. 10+00.00 TO 13+19.47  
 KALIYA RIDGE STA. 10+00.00 TO 11+73.41

FOR: **K. HOVNAMAN**

SHEET **6**  
 OF **10** SHEETS  
 FILE NO.: **3154**

H:\PDATA\1003507\WORK\CADD\LAND\DWG\PH-E2\3507-ST-06.DWG JORDAN, TAYLOR 10/16/2017 10:06 AM

PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

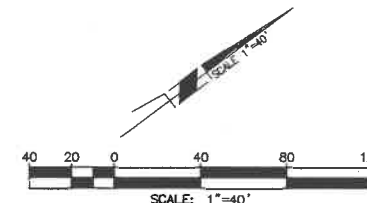


**CONSTRUCTION NOTES**

- ⑥ SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- ⑦ INSTALL R-1 STOP SIGN
- ⑧ INSTALL STOP BAR AND LEGEND PER CALTRANS STD. A240 AND A242
- ⑨ SAWCUT AND JOIN EXISTING PAVEMENT PER DETAIL ON SHEET 2
- ⑩ CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
- ⑪ CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
- ⑫ CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
- ⑬ CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209
- ⑭ CONSTRUCT LOCAL DEPRESSION FLOW-BY CONDITION PER DETAIL ON SHEET 2
- ⑮ CONSTRUCT MODIFIED P.C.C. SIDEWALK (W=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
- ⑯ CONSTRUCT STREET LIGHT PER SEPARATE PLAN
- ⑰ INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD. NO. 816
- ⑱ CONSTRUCT LOCAL DEPRESSION SUMP CONDITION PER DETAIL ON SHEET 2

**LINE/CURVE DATA**

| LINE  | BEARING/Delta | RADIUS  | LENGTH  | TANGENT |
|-------|---------------|---------|---------|---------|
| 1     | N 01°40'03" W | —       | 12.72   | —       |
| 2     | 71°47'50"     | 300.00' | 375.93' | 217.15' |
| 3     | N 70°07'47" E | —       | 126.87' | —       |
| 4     | 71°15'22"     | 53.00'  | 65.91'  | 37.98'  |
| 5     | 82°14'26"     | 25.00'  | 35.88'  | 21.82'  |
| 6     | 111°20'59"    | 25.00'  | 48.59'  | 36.61'  |
| 7     | 44°03'00"     | 318.00' | 244.48' | 128.64' |
| 8     | 60°59'08"     | 282.00' | 300.16' | 166.06' |
| 9     | 73°14'07"     | 25.00'  | 31.95'  | 18.58'  |
| 10    | 96°03'14"     | 25.00'  | 41.91'  | 27.79'  |
| 11    | 06°30'41"     | 318.00' | 36.14'  | 18.09'  |
| 12    | N 70°07'47" E | —       | 126.87' | —       |
| 13    | N 70°07'47" E | —       | 79.80'  | —       |
| 14    | 10°27'08"     | 105.00' | 19.15'  | 9.60'   |
| 15    | N 80°34'55" E | —       | 40.85'  | —       |
| TOTAL |               |         |         |         |



**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION:  
 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14" LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV.= 2590.838 (1982)  
 DATUM: NGVD29

**BASIS OF BEARINGS:**  
 DESCRIPTION:  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

|          |      |      |       |      |
|----------|------|------|-------|------|
| BY       | MARK | DATE | APPR. | DATE |
| ENGINEER | RE   |      | CITY  |      |

Page 192



**Michael Baker INTERNATIONAL**  
 5 Huber Centre Drive, Suite 600  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM  
 MAURICIO M. IACULLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: HQ  
 DRAIN BY: TJ  
 CHECKED BY: MAM  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103507  
 Reviewed By: [Signature] Date: 1.9.18  
 Recommended for Approval By: [Signature] Date: 1.9.18  
 Approved By: [Signature] Date: 1.9.18  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

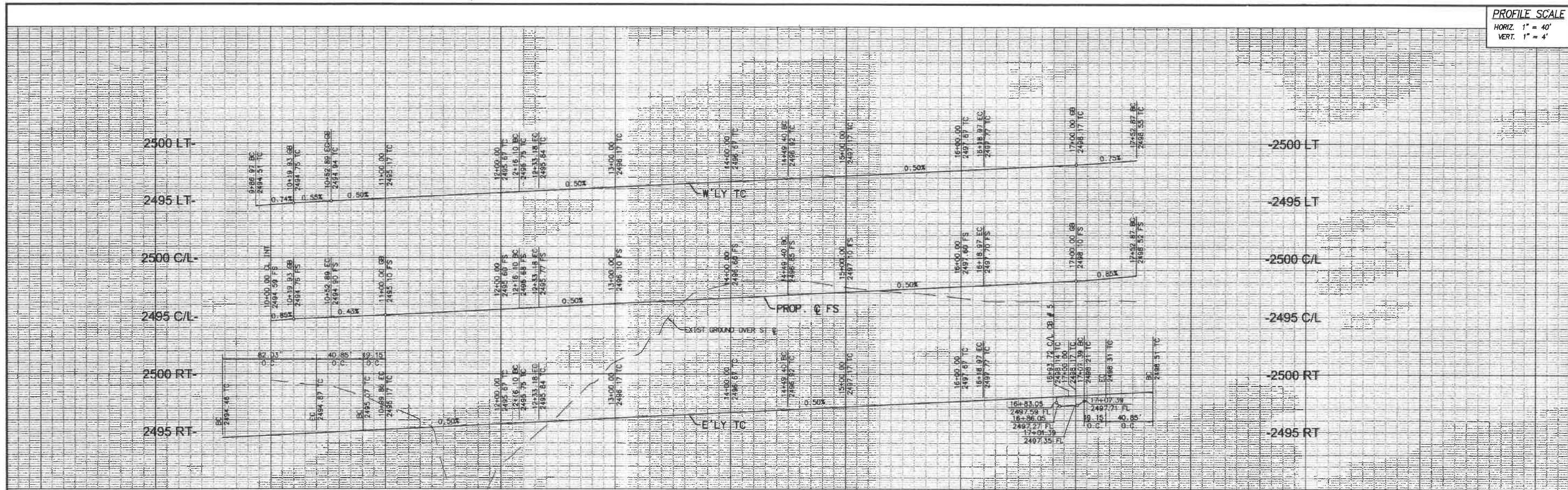
CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 JULIE DONAVIN MOOR STA. 10+00.00 TO 15+28.54  
 FOR: **K. HOVNIANIAN**

SHEET **7**  
 OF 10 SHEETS  
 FILE NO.: 3154

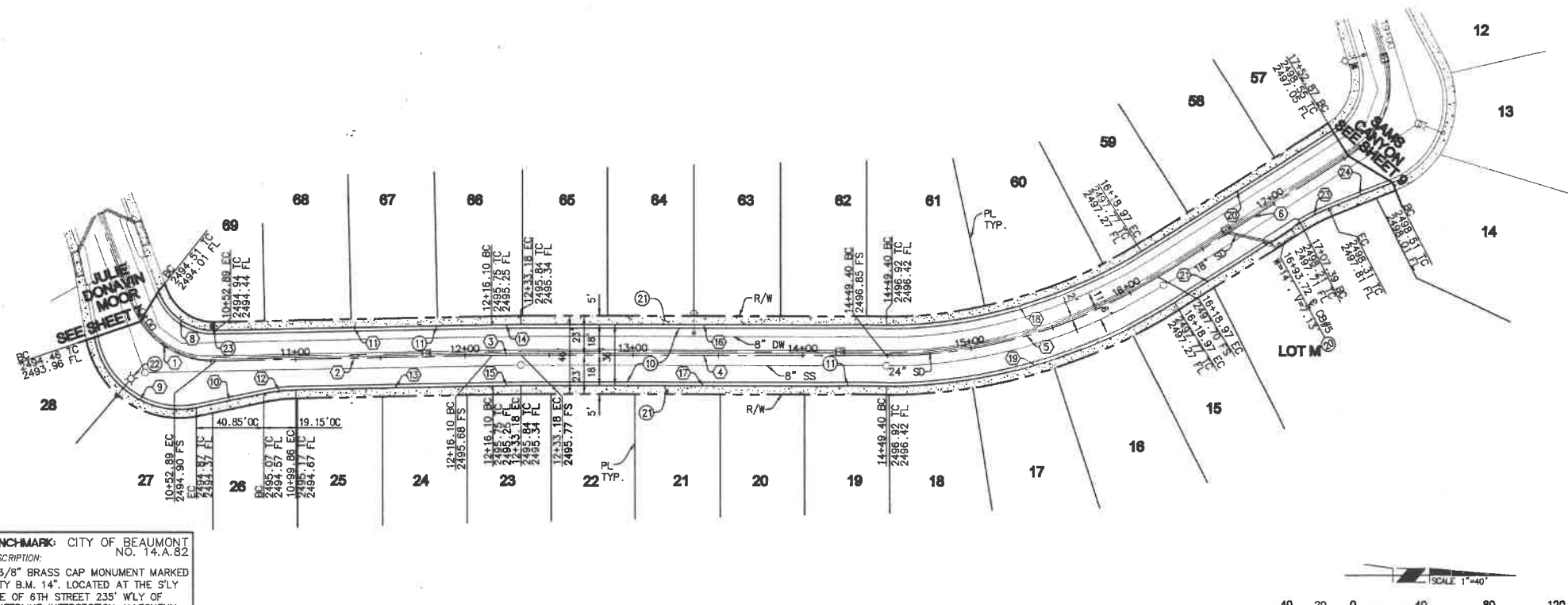
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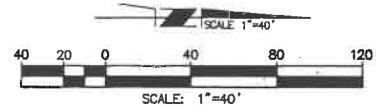
PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'



- CONSTRUCTION NOTES**
- ⑩ CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
  - ⑪ CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - ⑫ CONSTRUCT LOCAL DEPRESSION FLOW-BY CONDITION PER DETAIL ON SHEET 2
  - ⑬ CONSTRUCT MODIFIED P.C.C. SIDEWALK (#=5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - ⑭ CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - ⑮ INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD NO. 816



| LINE/CURVE DATA |               |         |         |         |
|-----------------|---------------|---------|---------|---------|
| STATION         | BEARING/DELTA | RADIUS  | LENGTH  | TANGENT |
| 1               | 71°15'22"     | 53.00'  | 65.91'  | 37.98'  |
| 2               | N 01°07'35" W | —       | 163.21' | —       |
| 3               | 01°13'25"     | 800.00' | 17.08'  | 8.54'   |
| 4               | N 00°05'50" E | —       | 216.22' | —       |
| 5               | 32°23'04"     | 300.00' | 169.56' | 87.11'  |
| 6               | N 32°17'14" W | —       | 133.90' | —       |
| 8               | 71°15'22"     | 35.00'  | 43.53'  | 25.08'  |
| 9               | 92°09'38"     | 51.00'  | 82.03'  | 52.96'  |
| 10              | N 11°34'43" W | —       | 40.85'  | —       |
| 11              | N 01°07'35" W | —       | 163.21' | —       |
| 12              | 10°27'08"     | 105.00' | 19.15'  | 9.60'   |
| 13              | N 01°07'35" W | —       | 116.24' | —       |
| 14              | 01°13'25"     | 818.00' | 17.47'  | 8.73'   |
| 15              | 01°13'25"     | 782.00' | 16.70'  | 8.35'   |
| 16              | N 00°05'50" E | —       | 216.22' | —       |
| 17              | N 00°05'50" E | —       | 216.22' | —       |
| 18              | 32°23'04"     | 282.00' | 159.39' | 81.89'  |
| 19              | 32°23'04"     | 318.00' | 179.74' | 92.34'  |
| 20              | N 32°17'14" W | —       | 133.90' | —       |
| 21              | N 32°17'14" W | —       | 88.42'  | —       |
| 23              | 10°27'08"     | 105.00' | 19.15'  | 9.60'   |
| 24              | N 21°50'06" W | —       | 40.85'  | —       |



**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
 WORK CONTAINED WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT AND/OR A GRADING PERMIT HAS BEEN ISSUED.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVED BY THE CITY.

**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
**DESCRIPTION:** 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
**ELEV. =** 2590.838 (1982)  
**DATUM:** NGVD29

**BASIS OF BEARINGS:**  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A TRAC FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ENGINEER: \_\_\_\_\_ CITY: \_\_\_\_\_

Page 193



**Michael Baker INTERNATIONAL**  
 5 Huber Centre Drive, Suite 600  
 San Jose, CA 95128  
 Phone: (408) 472-3505  
 MBAKERINTL.COM

Mauricio M. Tacuella  
 11/26/17  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: HQ  
 DRAWN BY: TJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103507

Reviewed By: \_\_\_\_\_ Date: 1.3.18  
 Recommended for Approval By: \_\_\_\_\_ Date: 1.3.18  
 Approved By: \_\_\_\_\_ Date: 1.3.18  
 Director of Public Works, R.C.E. 50932  
 City of Beaumont, Public Works Department  
 Engineering Division

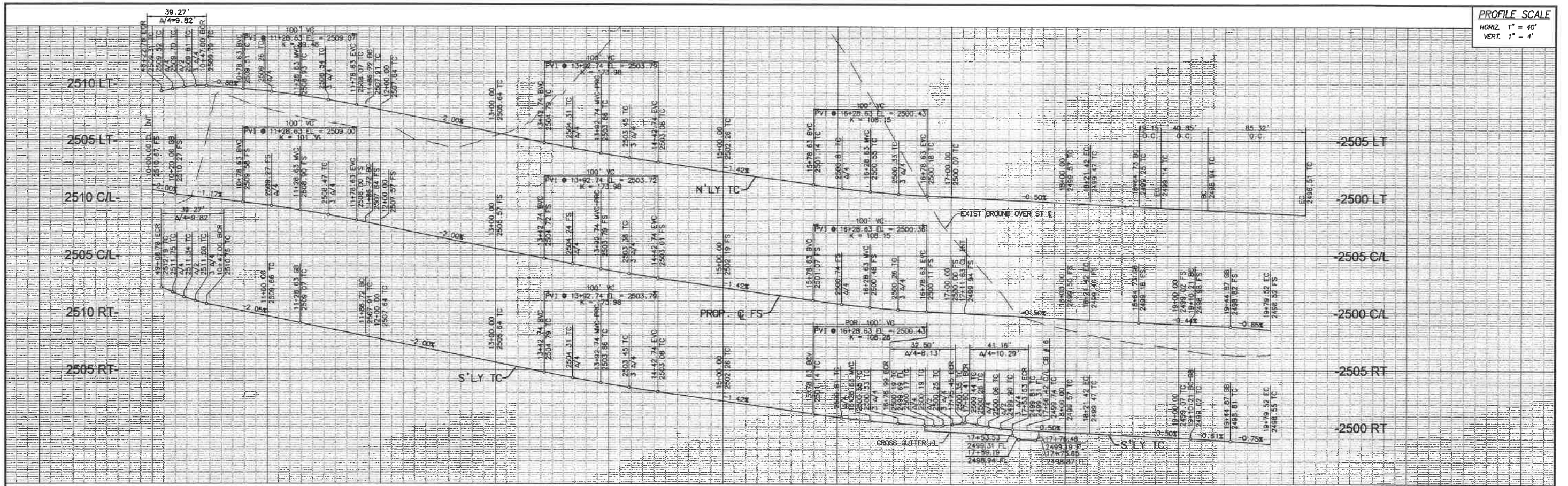
CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 LUCINDA TERRACE STA. 10+00.00 TO 17+52.87

FOR: **K. HOVNANIAN**

SHEET **8**  
 OF 10 SHEETS  
 FILE NO.: 3154

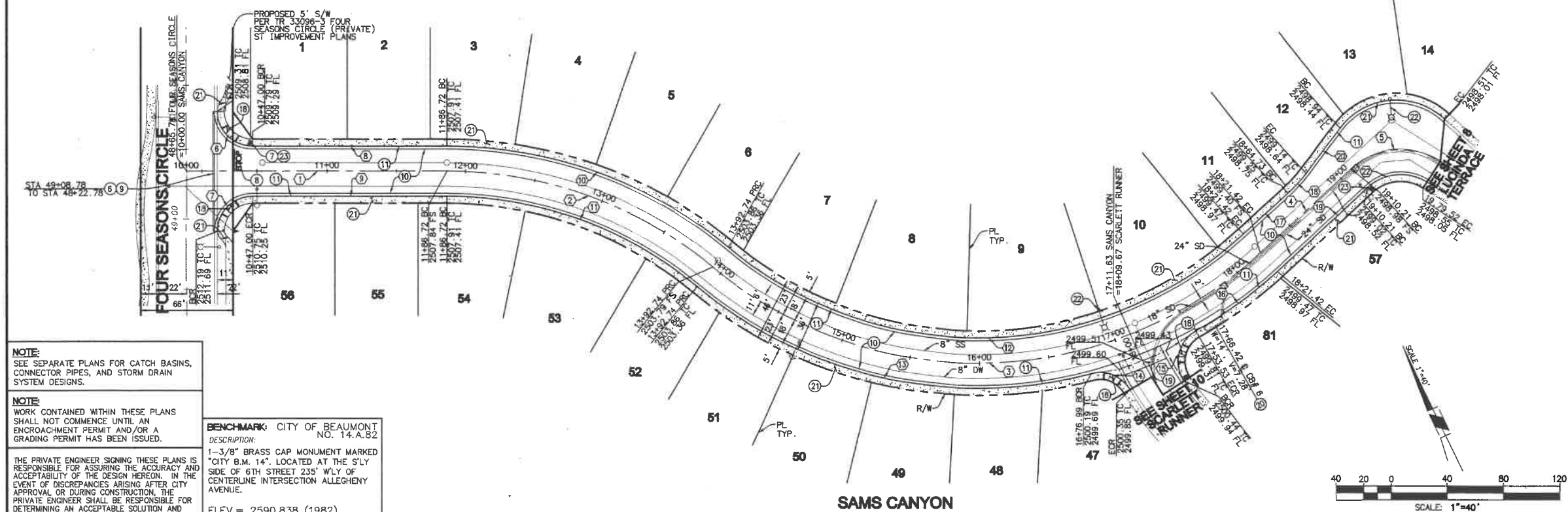
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PROFILE SCALE  
 HORIZ 1" = 40'  
 VERT 1" = 4'



10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00 19+00 20+00

- CONSTRUCTION NOTES**
- 10 CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
  - 11 CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - 12 CONSTRUCT P.C.C. CURB RAMP CASE B PER COUNTY OF RIVERSIDE STD. NO. 403 AND STATE TITLE 24
  - 13 CONSTRUCT CROSS GUTTER & SPANDREL PER COUNTY OF RIVERSIDE STD. NO. 209
  - 14 CONSTRUCT LOCAL DEPRESSION FLOW-BY CONDITION PER DETAIL ON SHEET 2
  - 15 CONSTRUCT MODIFIED P.C.C. SIDEWALK (#5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - 16 CONSTRUCT STREET LIGHT PER SEPARATE PLAN
  - 17 INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD NO. 816



| LINE/CURVE DATA |                 |         |         |         |
|-----------------|-----------------|---------|---------|---------|
| NO              | BEARINGS/DELTA  | RADIUS  | LENGTH  | TANGENT |
| 1               | N 84° 42' 15" W | —       | 186.72' | —       |
| 2               | 39° 20' 47"     | 300.00' | 206.02' | 107.26' |
| 3               | 81° 52' 21"     | 300.00' | 428.88' | 280.20' |
| 4               | N 72° 46' 11" E | —       | 88.78'  | —       |
| 5               | 74° 56' 35"     | 53.00'  | 69.32'  | 40.63'  |
| 6               | 90° 00' 00"     | 25.00'  | 39.27'  | 25.00'  |
| 7               | 90° 00' 00"     | 25.00'  | 39.27'  | 25.00'  |
| 8               | N 84° 42' 15" W | —       | 139.72' | —       |
| 9               | N 84° 42' 15" W | —       | 139.72' | —       |
| 10              | 39° 20' 47"     | 318.00' | 218.38' | 113.69' |
| 11              | 39° 20' 47"     | 282.00' | 193.66' | 100.82' |
| 12              | 81° 52' 21"     | 282.00' | 402.96' | 244.59' |
| 13              | 54° 17' 17"     | 318.00' | 301.31' | 163.04' |
| 14              | 74° 29' 18"     | 25.00'  | 32.50'  | 19.01'  |
| 15              | 94° 20' 35"     | 25.00'  | 41.16'  | 26.97'  |
| 16              | 12° 58' 02"     | 318.00' | 71.97'  | 36.14'  |
| 17              | N 72° 46' 11" E | —       | 43.30'  | —       |
| 18              | 10° 27' 08"     | 105.00' | 19.15'  | 9.80'   |
| 19              | N 72° 46' 11" E | —       | 88.78'  | —       |
| 20              | N 62° 19' 03" E | —       | 40.85'  | —       |
| 21              | 95° 50' 51"     | 51.00'  | 65.32'  | 56.49'  |
| 22              | 74° 56' 35"     | 35.00'  | 45.78'  | 26.83'  |
| TOTAL           |                 |         |         |         |

**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

**NOTE:**  
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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
**DESCRIPTION:** 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14", LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
**ELEV. = 2590.838 (1982)**  
**DATUM: NGVD29**

**BASIS OF BEARINGS:**  
**DESCRIPTION:** THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.  
**BEARING: N 31° 38' 05" W**

|          |      |      |       |      |
|----------|------|------|-------|------|
| BY       | MARK | DATE | APPR. | DATE |
| ENGINEER | REV  |      | CITY  |      |



**Michael Baker INTERNATIONAL**  
 51 Huber Centre Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

*M. Iacchetti* 11/26/12  
 R.C.E. 63249 EXP. 6-30-2018

DESIGN BY: *HQ*  
 DRAWN BY: *TJ*  
 CHECKED BY: *MM*  
 SCALE: PER PLAN  
 DATE: AUGUST 2012  
 JOB NUMBER: 10103507

Reviewed By: *[Signature]* Date: 1.3.12  
 Recommended for Approval By: *[Signature]* Date: 1.9.12  
 Approved By: *[Signature]* Date: 1.8.12  
 Director of Public Works, RCE 50832  
 City of Beaumont, Public Works Department  
 Engineering Division

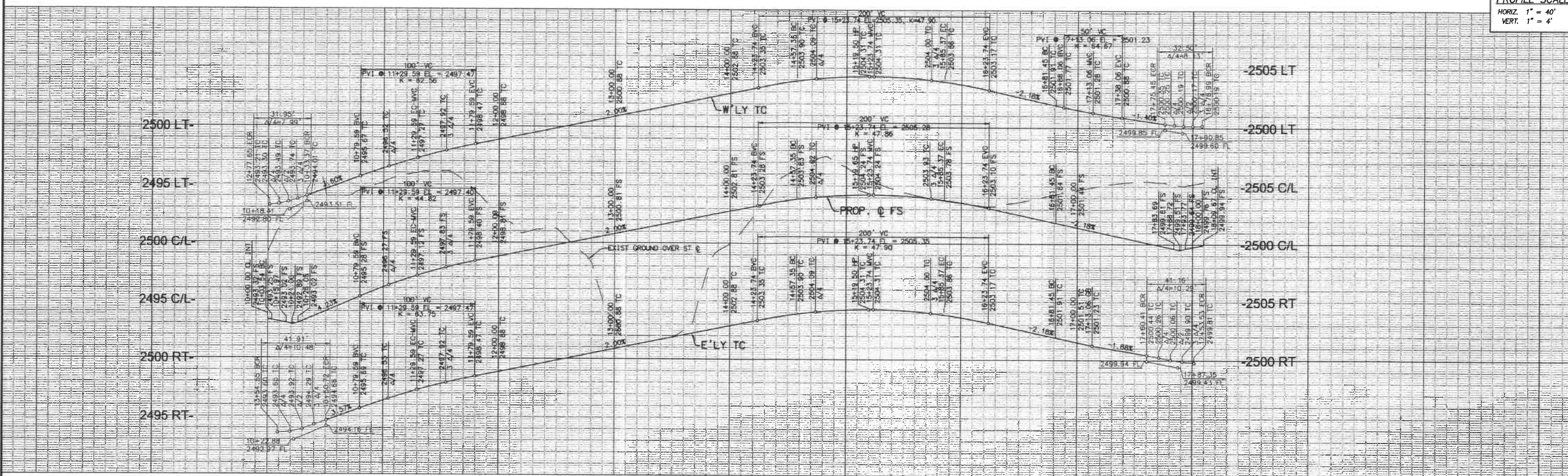
CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 SAMS CANYON STA. 10+00.00 TO 19+79.52

SHEET **9**  
 OF 10 SHEETS  
 FILE NO.: 3154

K. HOVNIANIAN

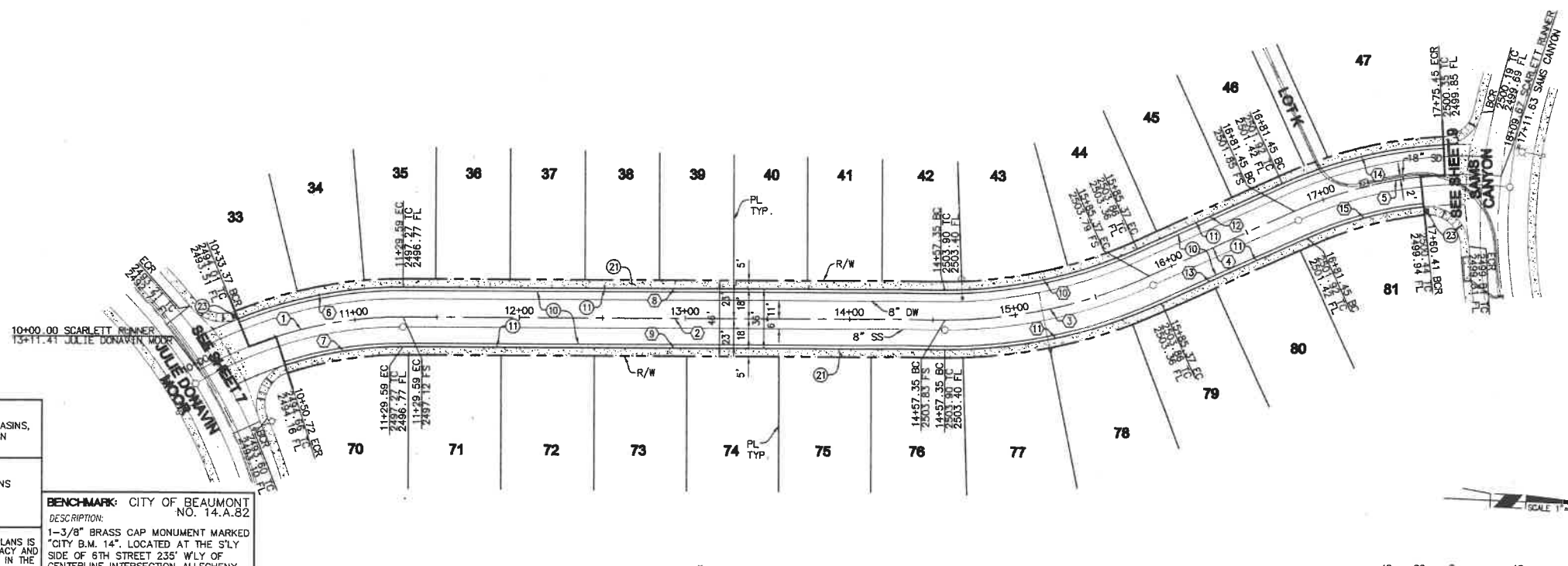
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PROFILE SCALE  
 HORIZ. 1" = 40'  
 VERT. 1" = 4'

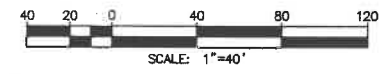


10+00 11+00 12+00 13+00 14+00 15+00 16+00 17+00 18+00

- CONSTRUCTION NOTES**
- ⑩ CONSTRUCT 3" AC OVER 6" CLASS II AGG. BASE
  - ⑪ CONSTRUCT 6" P.C.C. MODIFIED ROLLED CURB AND GUTTER PER DETAIL ON SHEET 2
  - ⑫ CONSTRUCT MODIFIED P.C.C. SIDEWALK (W-5' FROM THEORETICAL CURB FACE TO BACK OF WALK) PER COUNTY OF RIVERSIDE STD. NO. 401
  - ⑬ INSTALL STREET NAME SIGN PER COUNTY OF RIVERSIDE STD NO. 816



**SCARLETT RUNNER**



| LINE/CURVE DATA |               |         |         |         |
|-----------------|---------------|---------|---------|---------|
| STATION         | BEARING/Delta | RADIUS  | LENGTH  | TANGENT |
| 1               | 28°53'18"     | 250.00' | 128.05' | 64.39'  |
| 2               | N 02°15'05" W | —       | 327.76' | —       |
| 3               | 24°27'00"     | 300.00' | 128.02' | 65.00'  |
| 4               | N 26°42'05" W | —       | 96.08'  | —       |
| 5               | 29°23'13"     | 250.00' | 128.22' | 65.56'  |
| 6               | 22°03'08"     | 268.00' | 103.15' | 52.22'  |
| 7               | 18°04'35"     | 232.00' | 73.19'  | 36.90'  |
| 8               | N 02°15'05" W | —       | 327.76' | —       |
| 9               | N 02°15'05" W | —       | 327.76' | —       |
| 10              | 24°27'00"     | 282.00' | 120.34' | 61.10'  |
| 11              | 24°27'00"     | 318.00' | 135.70' | 68.90'  |
| 12              | N 26°42'05" W | —       | 96.08'  | —       |
| 13              | N 26°42'05" W | —       | 96.08'  | —       |
| 14              | 21°32'38"     | 268.00' | 100.77' | 50.99'  |
| 15              | 18°05'43"     | 232.00' | 73.27'  | 36.94'  |

**NOTE:**  
 SEE SEPARATE PLANS FOR CATCH BASINS, CONNECTOR PIPES, AND STORM DRAIN SYSTEM DESIGNS.

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**BENCHMARK:** CITY OF BEAUMONT NO. 14.A.82  
 DESCRIPTION: 1-3/8" BRASS CAP MONUMENT MARKED "CITY B.M. 14". LOCATED AT THE S'LY SIDE OF 6TH STREET 235' W'LY OF CENTERLINE INTERSECTION ALLEGHENY AVENUE.  
 ELEV. = 2590.838 (1982)  
 DATUM: NGVD29

**BASIS OF BEARINGS:**  
 DESCRIPTION: THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON MAP NO. 33096-7 AS SHOWN ON A MAP FILED IN BOOK 440, PAGES 50 THOUGH 56, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA. BEARING: N 31°38'05" W

| BY       | MARK     | DATE | APPR. | DATE |
|----------|----------|------|-------|------|
| ENGINEER | REVIEWER |      |       |      |



**Michael Baker INTERNATIONAL**  
 51400 Camino Drive, Suite 500  
 Santa Ana, CA 92707  
 Phone: (949) 472-3505  
 MBAKERINTL.COM

MAURICIO M. JACQUELLI  
 R.C.E. 63249 EXP. 6-30-2018



DESIGN BY: HQ  
 DRAWN BY: TJ  
 CHECKED BY: MM  
 SCALE: PER PLAN  
 DATE: AUGUST 2017  
 JOB NUMBER: 10103507

Reviewed By: [Signature] Date: 1.3.18  
 Recommended for Approval By: [Signature] Date: 1.3.18  
 Approved By: [Signature] Date: 1.3.18  
 Director of Public Works, RCE 50032  
 City of Beaumont, Public Works Department  
 550 E. 6TH STREET BEAUMONT, CA 92203  
 TEL: (951) 769-8520 • FAX: (951) 769-8526

CITY OF BEAUMONT, CALIFORNIA  
**STREET IMPROVEMENT PLANS**  
**TRACT NO. 33096-13, PH-E2**  
 SCARLETT RUNNER STA. 10+00.00 TO 18+09.67

SHEET  
**10**  
 OF 10 SHEETS  
 FILE NO.:  
**3154**





# City of Beaumont

550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223  
(951) 769-8520  
www.ci.beaumont.ca.us

Case No. PW2019-0412  
Receipt No. 946571  
Fee \$ 484.53 APP / \$3,000 INSP  
Date Paid 10/31/19

## BOND EXONERATION APPLICATION

Bond Type:  Performance  Maintenance  Final Monument Inspection  Other: \_\_\_\_\_

1. Contact's Name KEVIN METCALFE Phone 949-236-1042

2. Contact's Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/State/Zip

5. Contact's E-mail KMETCALFE@KHOV.COM

3. Developer Name KHOVMANIA HOMES Phone 714-368-4500  
(If corporation or partnership application must include names of principal officers or partners)

4. Developer Address 400 EXCHANGE SUITE 200 IRVINE CA 92602  
City/St/Zip

5. Description of Bonds (including Bond Number, Tract Map/Application number, Lot number and description of improvements covered):  
Tract 33096-13 Bond # 2264722 Monumentation

6. **CERTIFICATION OF ACCURACY AND COMPLETENESS:** I hereby certify that to the best of my knowledge the information in this application and all attached answers and exhibits are true, complete, and correct.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

7. Contractor shall indemnify, defend, and hold harmless the City and its officers, officials, employees and volunteers from and against any and all liability, loss, damage, expense, costs (including without limitation costs and fees of litigation) of every nature arising out of or in connection with contractor's performance of work hereunder or its failure to comply with any of its obligations for which this Bond exoneration is requested, except for such loss or damage which was caused by the active negligence of the City.

KEVIN METCALFE [Signature] 10-30-19  
Print Name and Sign - Contact/Applicant Date

8. Developer/Contractor has completed all the following items prior to requesting release or has included them in the application.

- Remove and replace concrete and AC as needed where lifting.
- Provide AC crack fill as needed. Crack fill/seal shall be hot asphaltic emulsion.
- Provide Type II slurry coat for all road surfaces.
- Restore/Verify pavement striping/markings.
- Restore/Verify blue dots and signage as needed.
- Clean and camera sewer. Provide report and video copy of camera survey.
- Provide all final geotechnical reports.
- Provide Engineers' certification for line and grade within Right-of-Way.
- Provide Landscape Architects Certification as required.

KEVIN METCALFE *[Signature]* 10-30-19  
Print Name and Sign - Contact/Applicant Date

PW2019-0412

**LETTER OF TRANSMITTAL**

**To:**  
City of Beaumont  
550 East 6<sup>th</sup> Street  
Beaumont, CA 92223

**DATE:** 01-16-2020  
**MBI JOB NO:** 10103507  
**REFERENCE:** Tract No. 33096-13  
**DESCRIPTION:** Final Monumentation  
Final Acceptance

**ATTN:** City Surveyor

**SENT TO YOU VIA:**  Mail  Blueprinter  Overnight Delivery (Carrier) \_\_\_\_\_  
 E-Mail  Your Pick-Up  MBI Messenger  Messenger (Other Courier) \_\_\_\_\_

| No. of Copies | No. of Originals | DESCRIPTION         |
|---------------|------------------|---------------------|
| 1             |                  | Recorded Tract Map  |
|               | 1                | Monument Tie Sheets |
|               | 1                | Release Letter      |
|               |                  |                     |
|               |                  |                     |
|               |                  |                     |

**SENT FOR YOUR:**  Approval  Review  Comments  Per Your Request  
 Files  Signature  Use  Information  \_\_\_\_\_

**REMARKS:** Please contact me with any questions at 760-341-6102.

**Michael Baker International**

**BY:**   
David L. Weddle, PLS  
Associate

**COPIES TO:**  
\_\_\_\_\_  
\_\_\_\_\_

**Michael Baker**  
**INTERNATIONAL**

January 16, 2020

JN 10103507

City of Beaumont  
550 East 6<sup>th</sup> Street  
Beaumont, CA 92223  
Attn: City Surveyor

Subject: Tract No. 33096-13, M.B. 459/79-86  
Survey Monumentation

To whom it may concern:

The monuments required for the release of surety bonds on the above referenced tract map have been set in accordance with City requirements. Michael Baker International has been paid for our services to place the monuments as shown on the said tract map. Signed and stamped monument tie sheets are enclosed for your use.

If you have any questions on this matter, please contact this office at 760-346-7481.

Sincerely,



Christopher L. Alberts  
P.L.S. 8508

Date

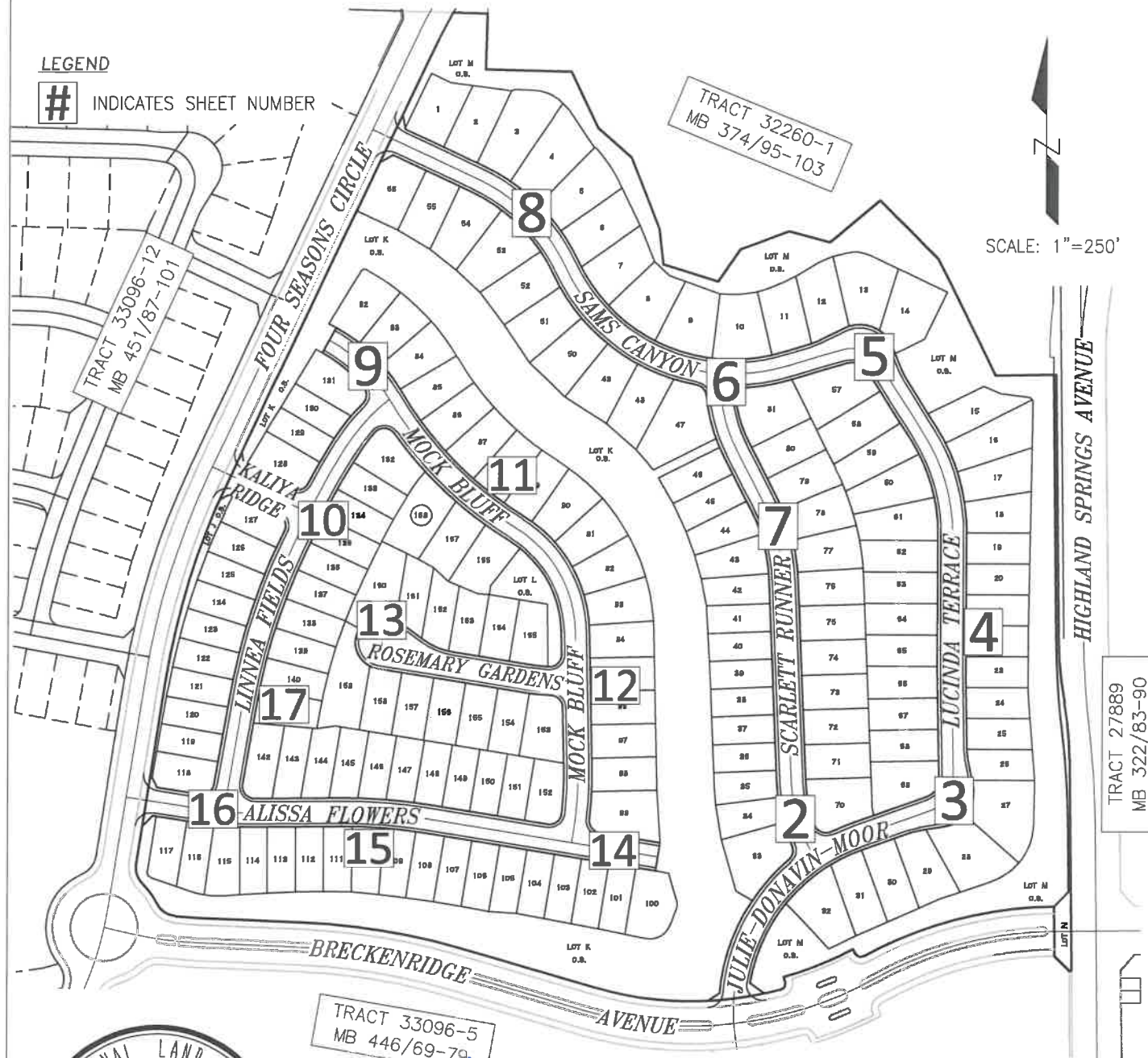


TRACT 33096-13  
M.B. 459/79-86

SHEET 1 OF 17 SHEETS

LEGEND

# INDICATES SHEET NUMBER



TRACT 33096-5  
MB 446/69-79  
*Christopher L. Alberts*  
CHRISTOPHER L. ALBERTS L.S. 8508  
1-16-2020  
DATE

**Michael Baker**  
**INTERNATIONAL**  
75410 Gerald Ford Dr., Palm Desert, CA 92211  
Phone: (760) 346-7481 · MBAKERINTL.COM

|                         |                           |                         |
|-------------------------|---------------------------|-------------------------|
| L.S. NO. <u>8508</u>    | <b>MONUMENT TIE SHEET</b> | SCALE: <u>1"=250'</u>   |
| DATE: <u>01/16/2020</u> | TRACT NO. <u>33096-13</u> | JOB NO. <u>10103507</u> |
| ENGINEERING DEPARTMENT  | Page 200                  |                         |



TRACT 33096-13  
M.B. 459/79-86

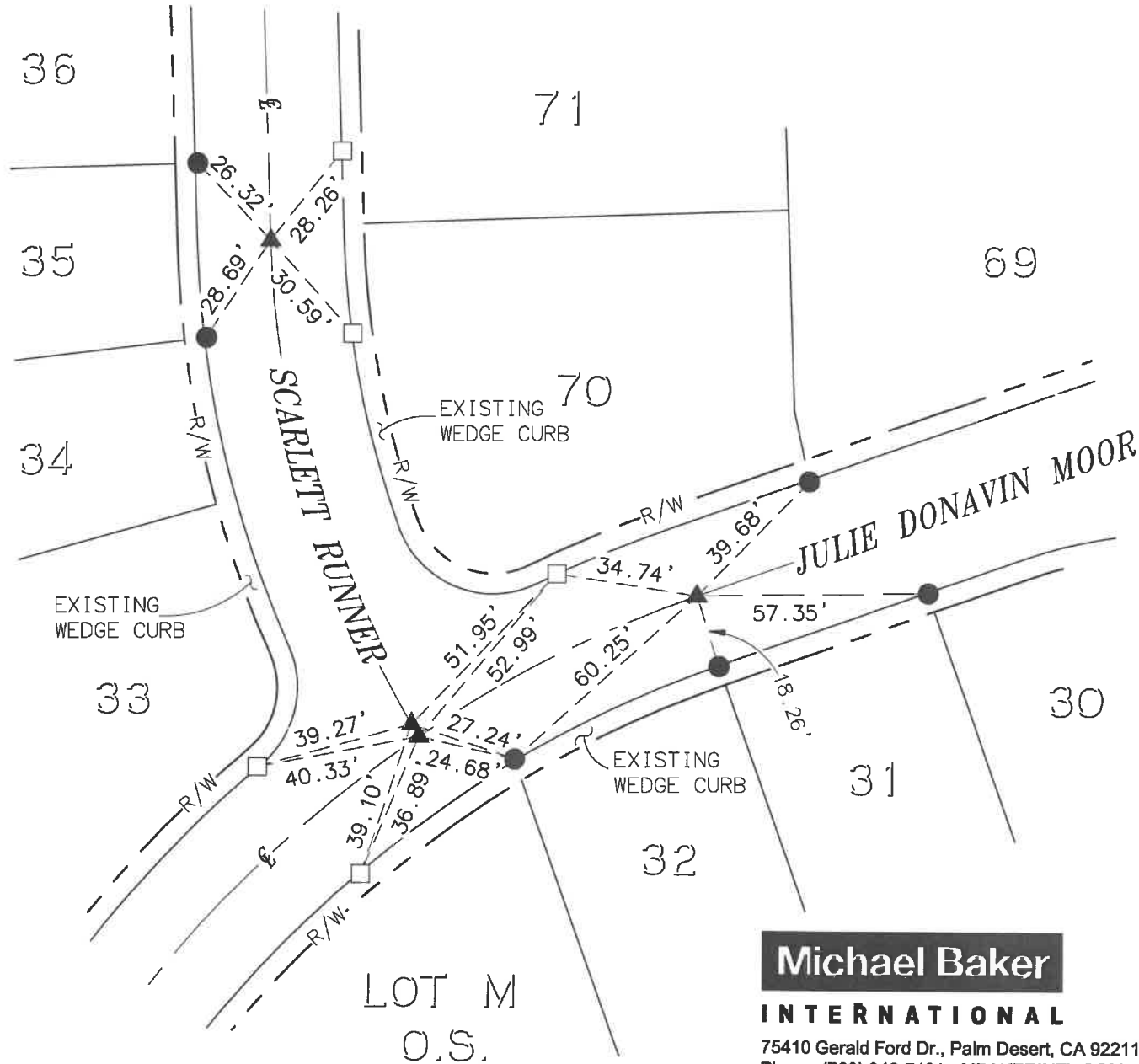
SHEET 2 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



**Michael Baker**

**INTERNATIONAL**

75410 Gerald Ford Dr., Palm Desert, CA 92211  
Phone: (760) 346-7481 · MBAKERINTL.COM

**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=40'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

# TRACT 33096-13

M.B. 459/79-86

SHEET 3 OF 17 SHEETS

### LEGEND

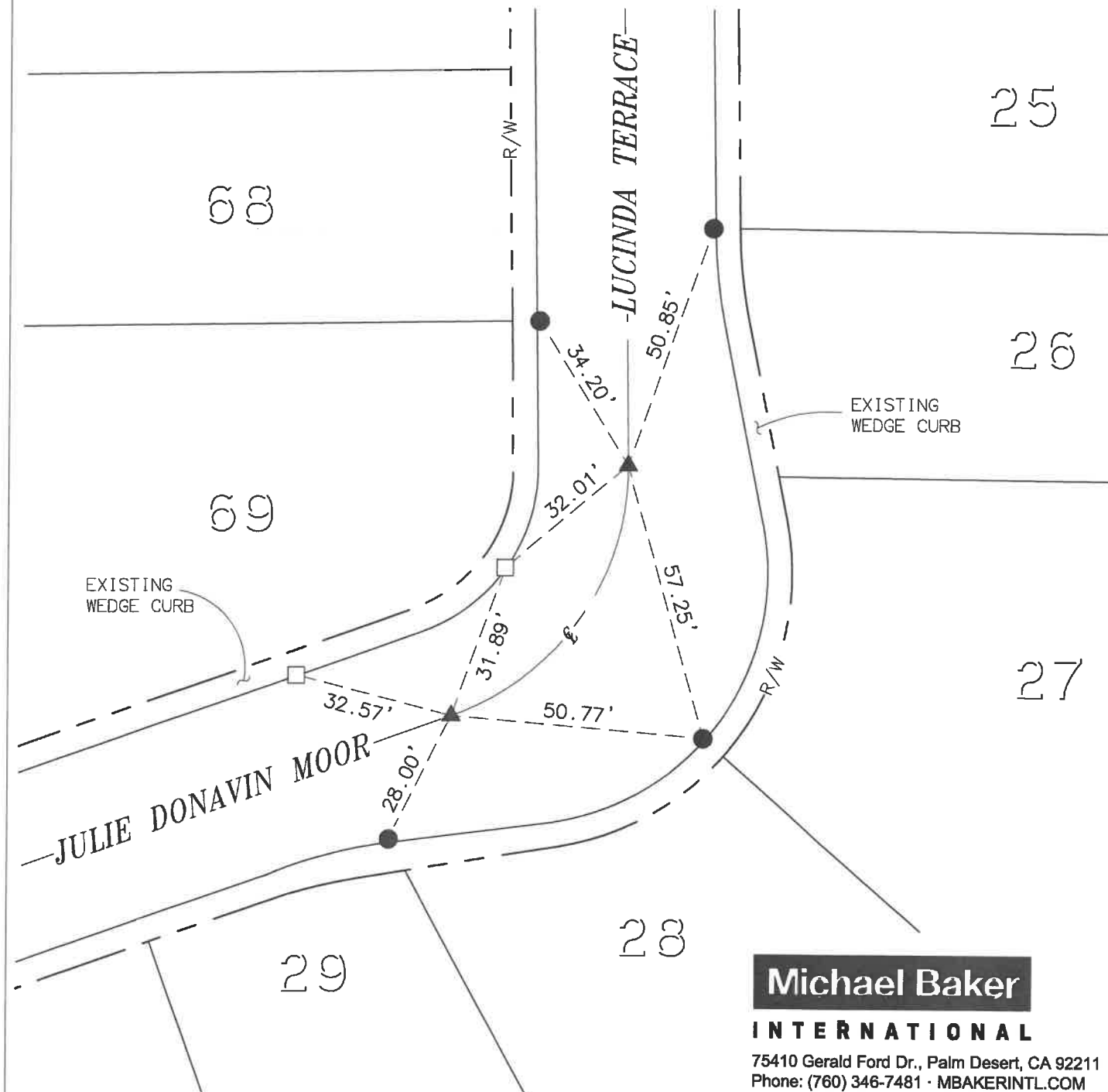
▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.

● INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.

□ INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=30'



**Michael Baker**

**INTERNATIONAL**

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## MONUMENT TIE SHEET

TRACT NO. 33096-13  
M.B. 459/79-86

L.S. NO. 8508

DATE: 01/16/2020

SCALE: 1"=30'

JOB NO. 10103507

ENGINEERING DEPARTMENT

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AUMONT

TRACT 33096-13  
M.B. 459/79-86

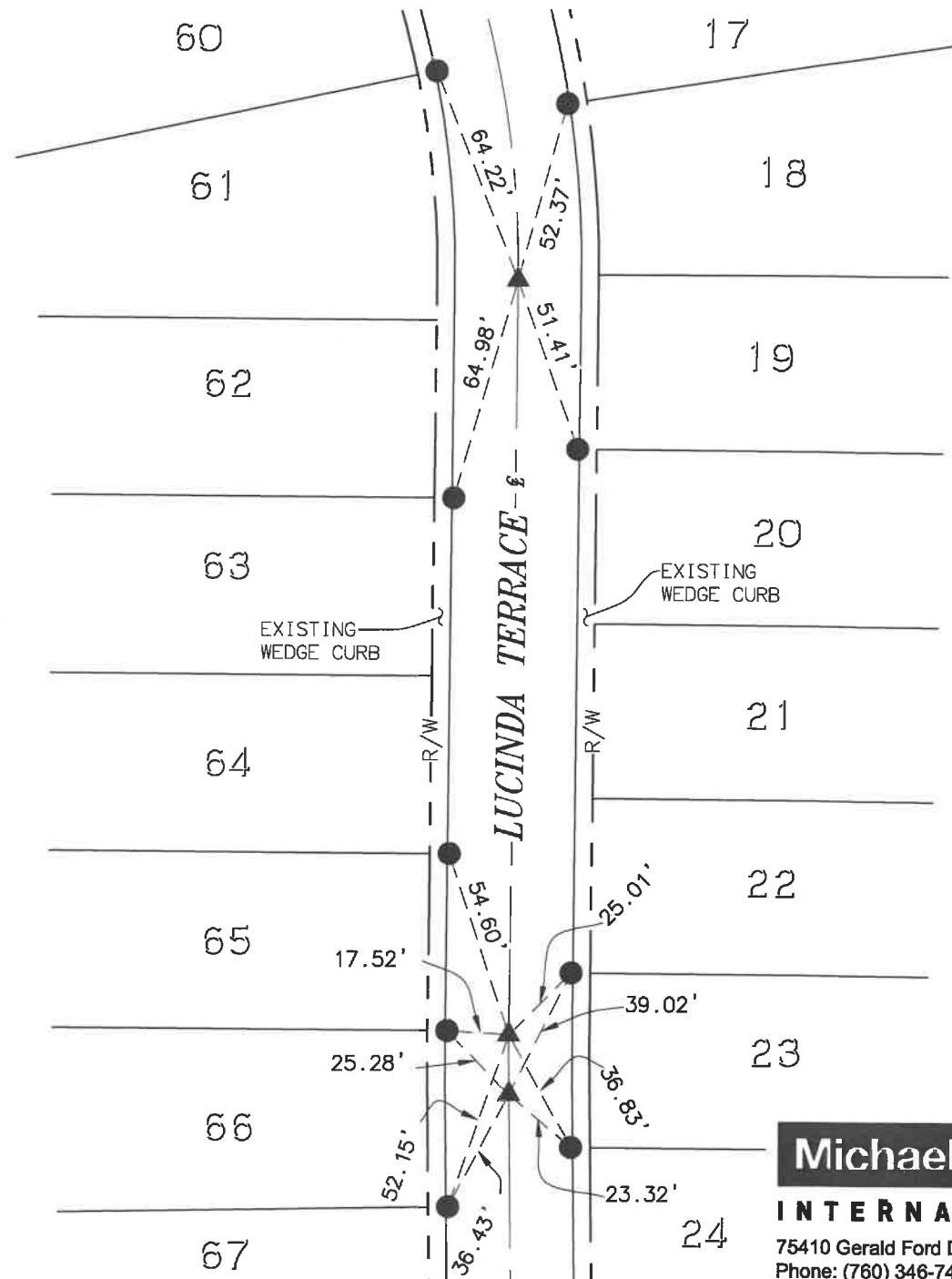
SHEET 4 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=50'



**Michael Baker**

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**MONUMENT TIE SHEET**

TRACT NO. 33096-13  
M.B. 459/79-86

L.S. NO. 8508  
DATE: 01/16/2020

SCALE: 1"=50'

ENGINEERING DEPARTMENT

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MONUMENT JOB NO. 10103507

# TRACT 33096-13

## M.B. 459/79-86

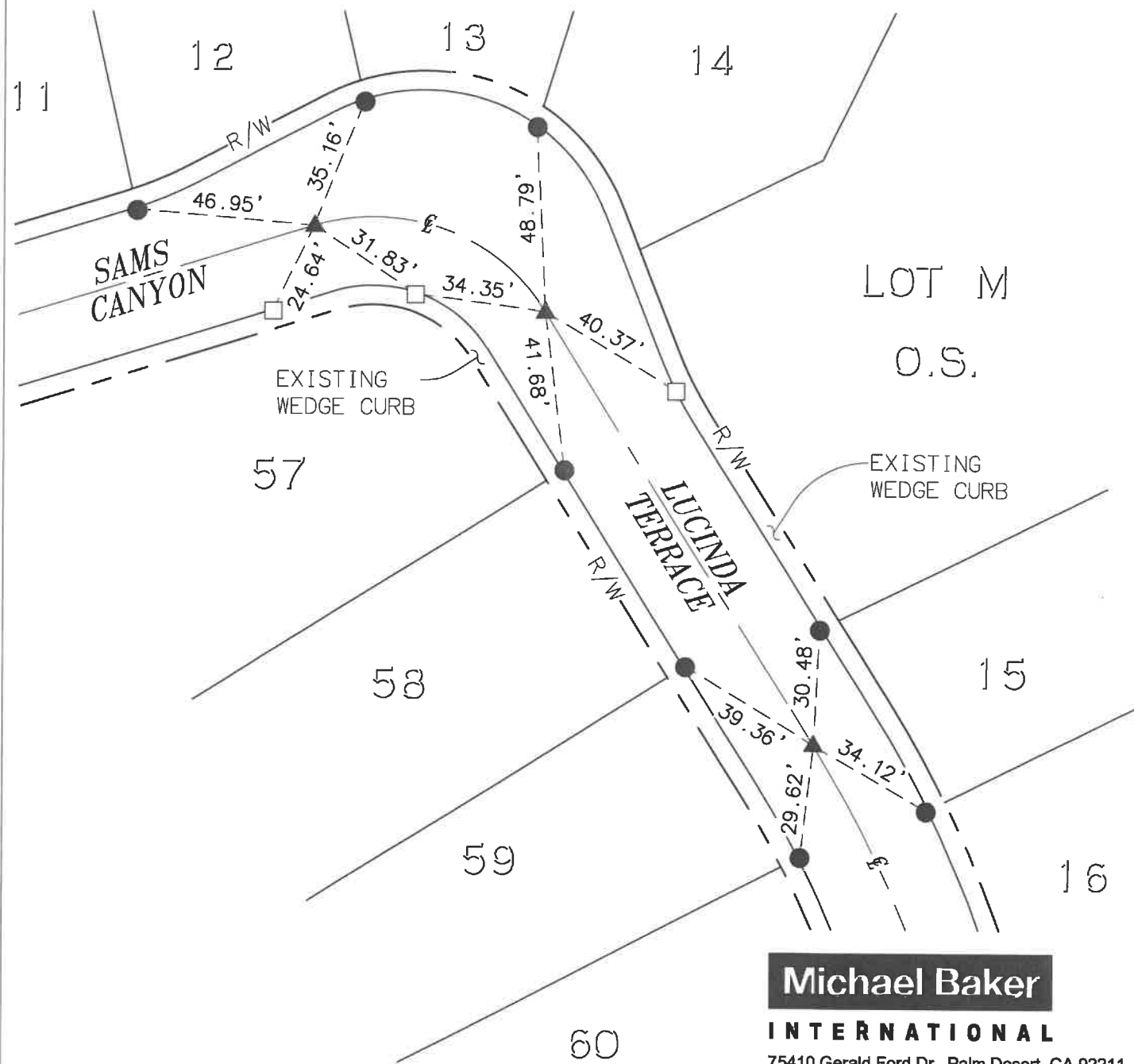
SHEET 5 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



**Michael Baker**

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**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13

M.B. 459/79-86

SCALE: 1"=40'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

# TRACT 33096-13

## M.B. 459/79-86

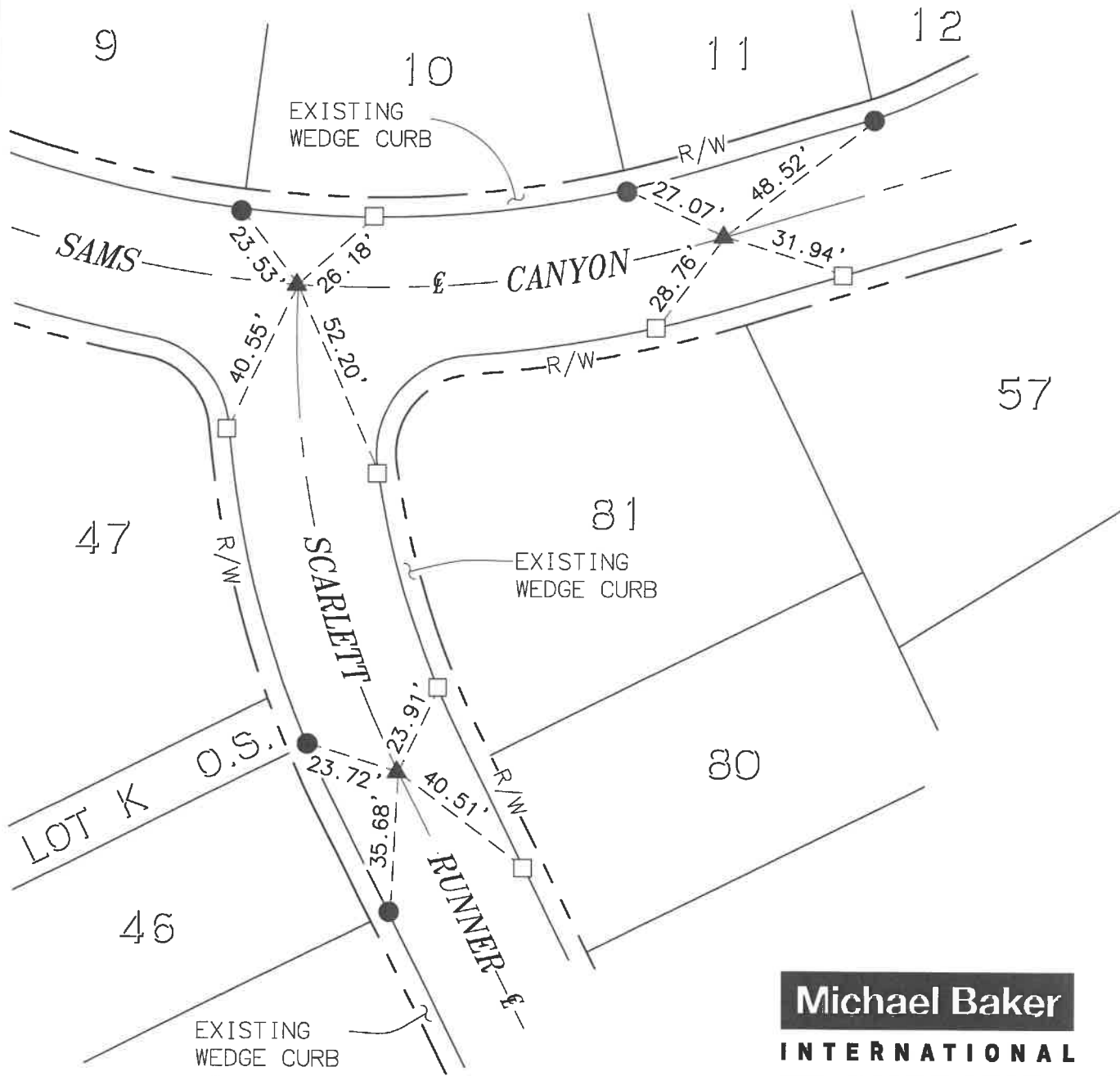
SHEET 6 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



**Michael Baker**

**INTERNATIONAL**

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**MONUMENT TIE SHEET**

L.S. NO. 8508  
 DATE: 01/16/2020

TRACT NO. 33096-13  
 M.B. 459/79-86

SCALE: 1"=40'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

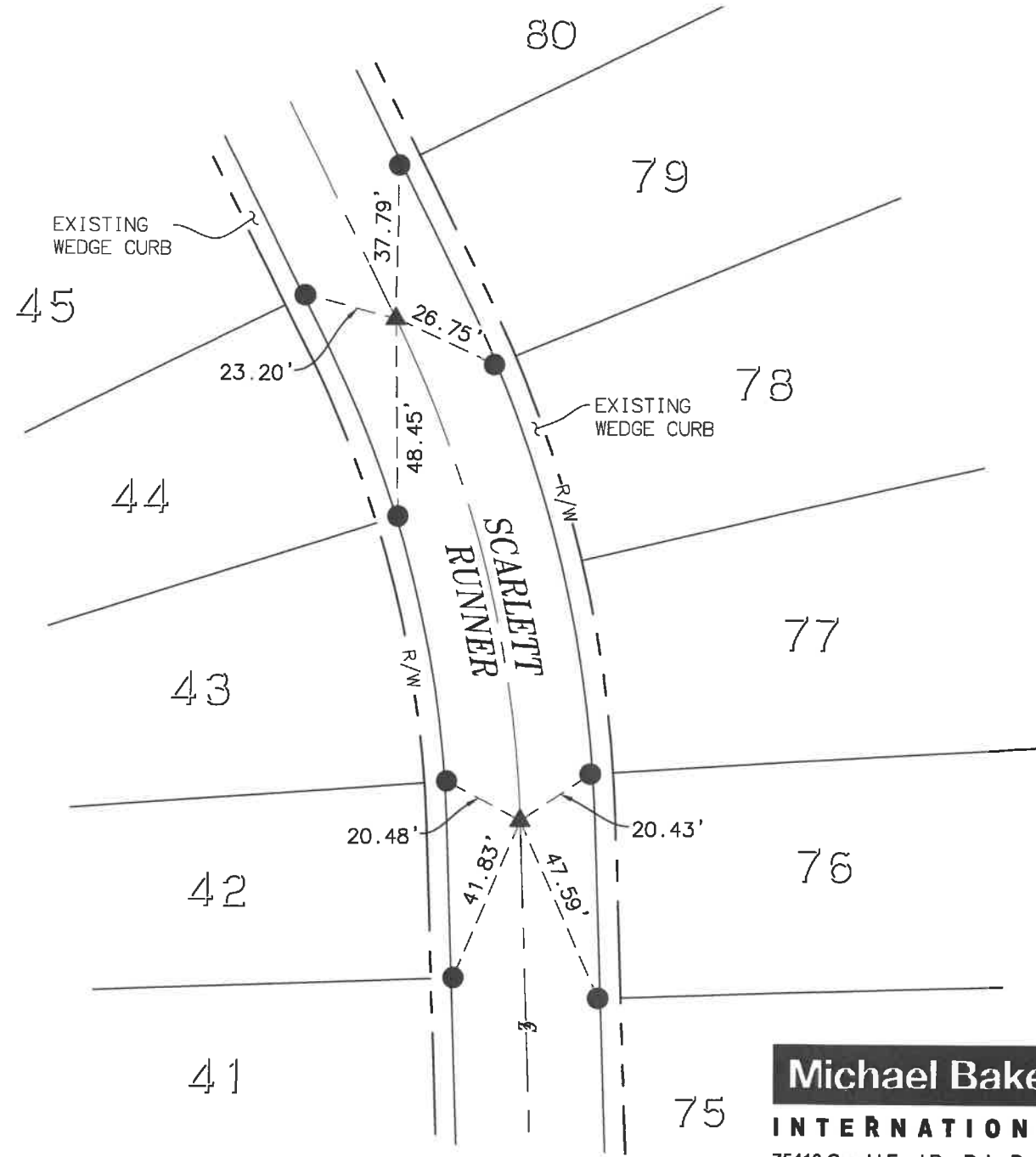
SHEET 7 OF 17 SHEETS

LEGEND

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



**Michael Baker**

**INTERNATIONAL**

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**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=40'

JOB NO. 10103507

ENGINEERING DEPARTMENT

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AUMONT

TRACT 33096-13  
M.B. 459/79-86

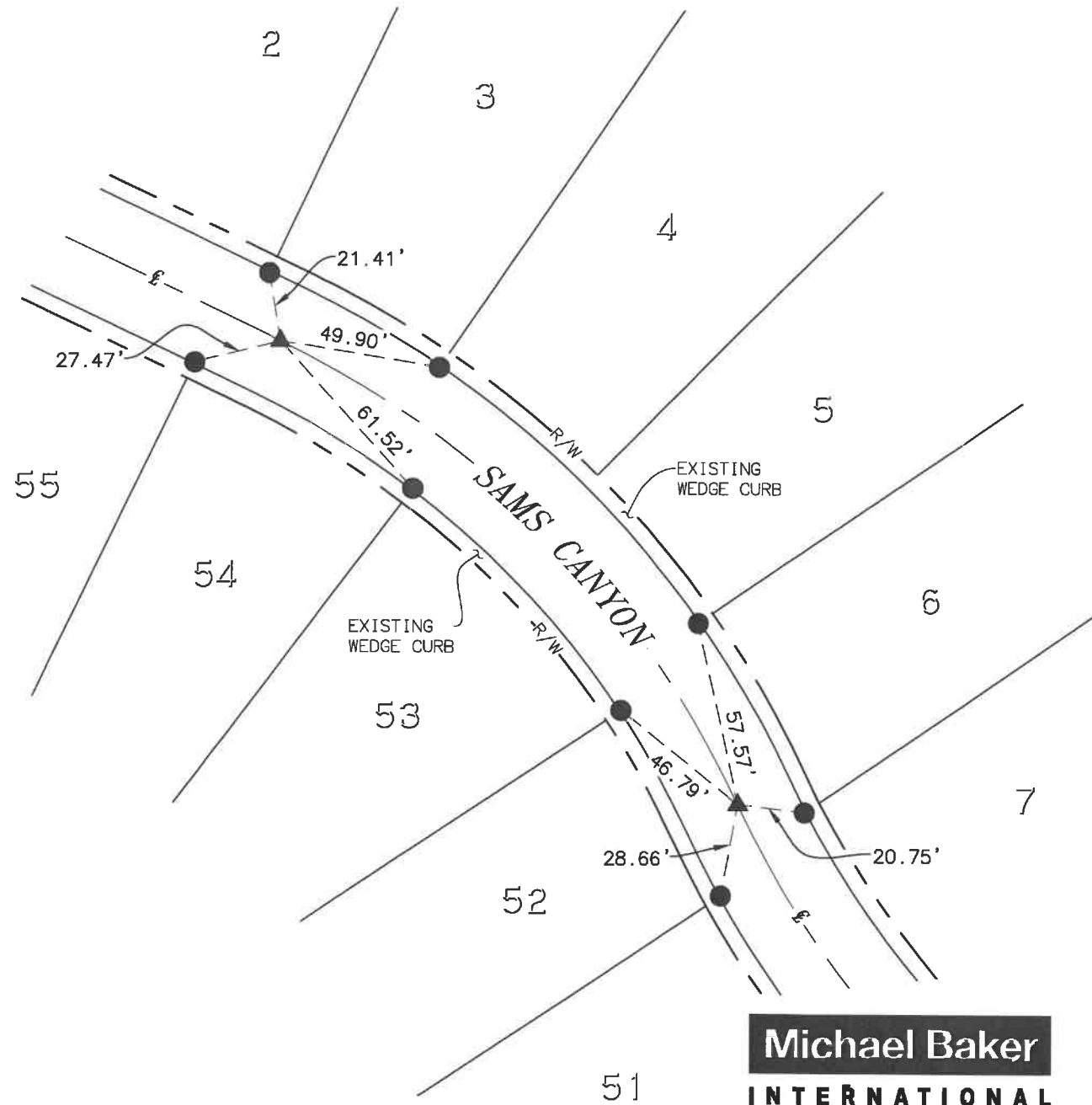
SHEET 8 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=50'



**Michael Baker**

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**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=50'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

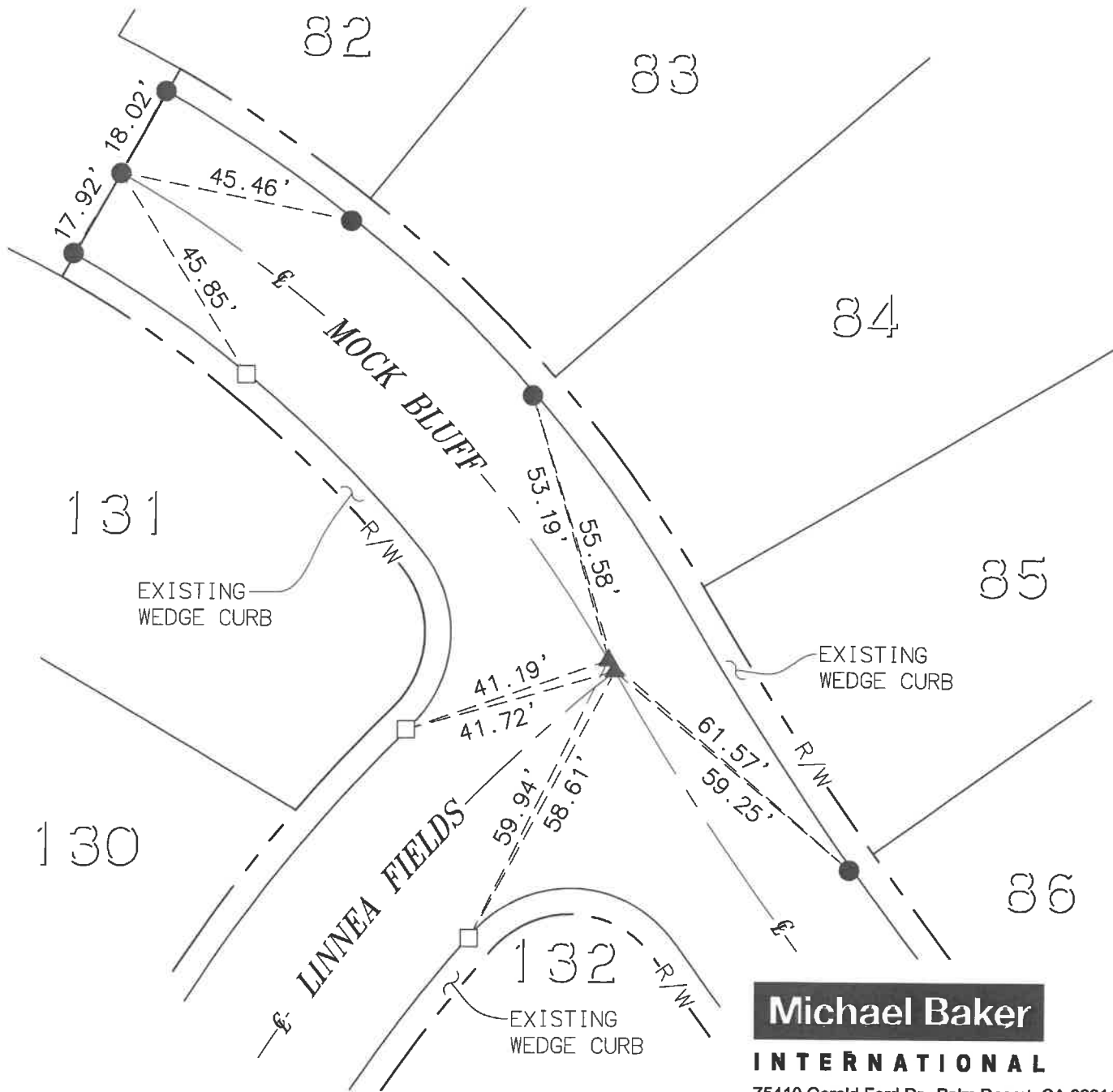
SHEET 9 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=30'



**Michael Baker**  
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|                         |  |                         |
|-------------------------|--|-------------------------|
| L.S. NO. <u>8508</u>    | <b>MONUMENT TIE SHEET</b>                          | SCALE: <u>1"=30'</u>    |
| DATE: <u>01/16/2020</u> | TRACT NO. <u>33096-13</u><br>M.B. <u>459/79-86</u> | JOB NO. <u>10103507</u> |
| ENGINEERING DEPARTMENT  | Page 208 AUMONT                                    |                         |



# TRACT 33096-13

## M.B. 459/79-86

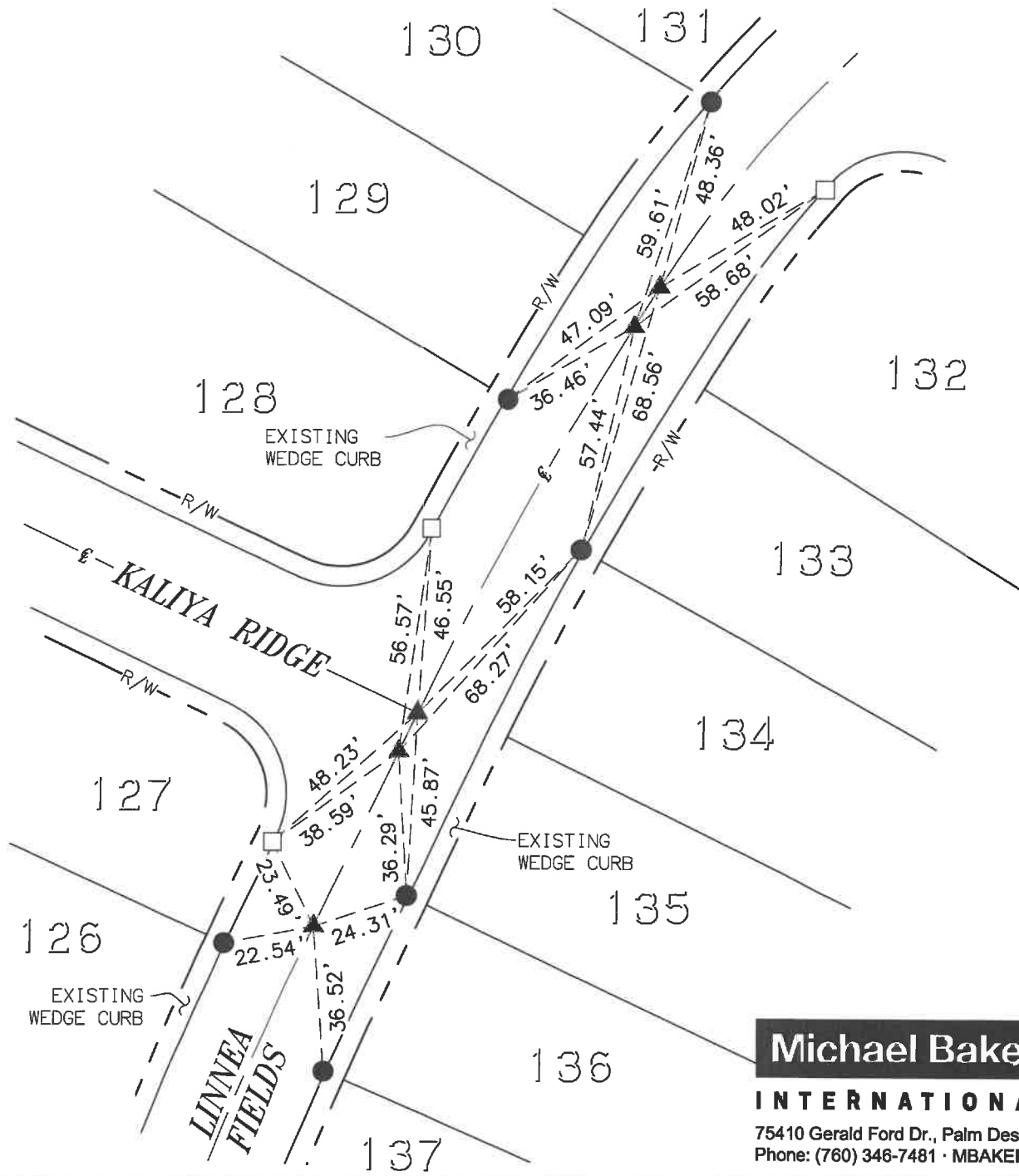
SHEET 10 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



**Michael Baker**

**INTERNATIONAL**

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**MONUMENT TIE SHEET**

L.S. NO. 8508  
DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=40'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

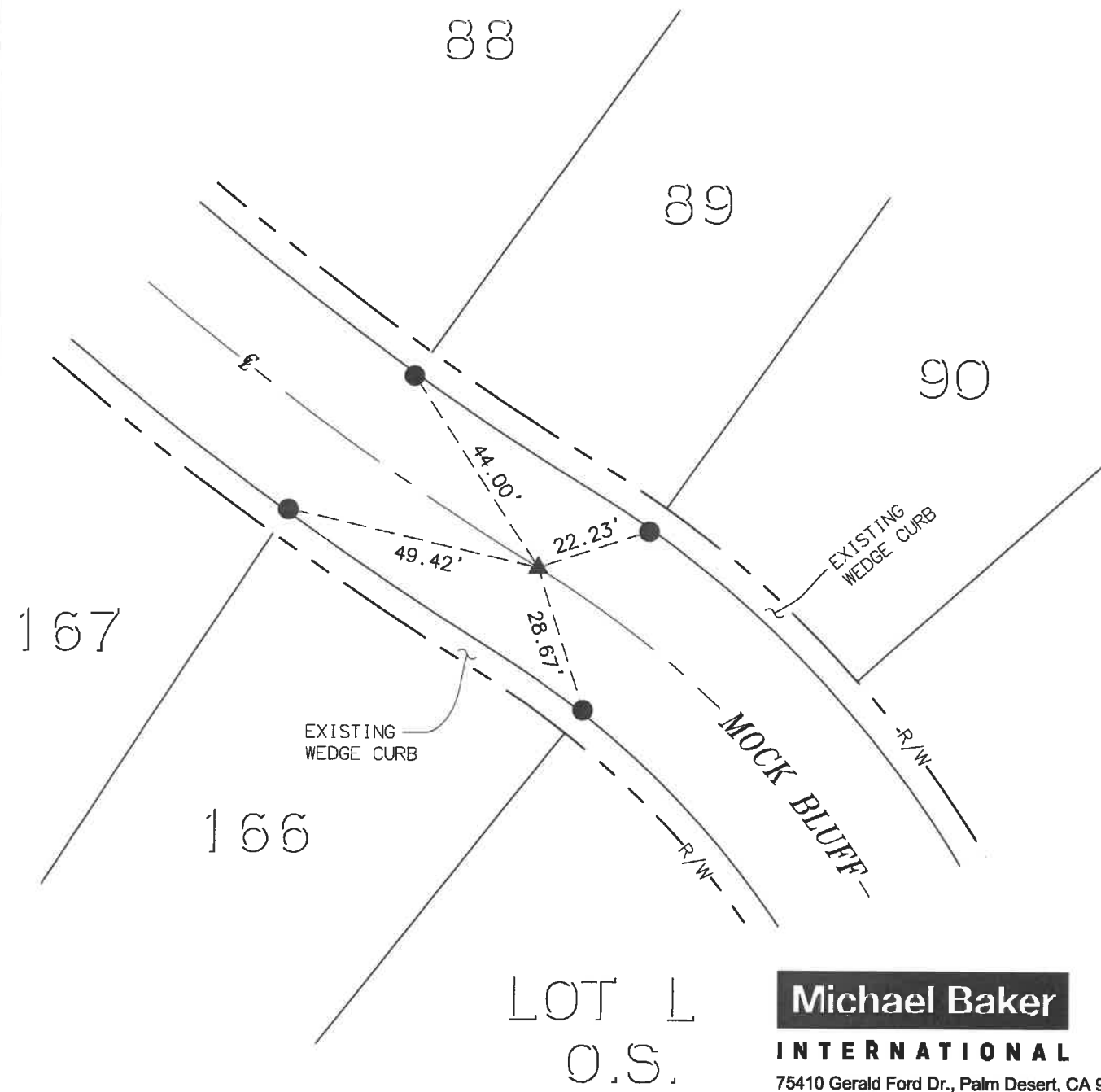
SHEET 11 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=30'



**Michael Baker**

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**MONUMENT TIE SHEET**

L.S. NO. 8508  
DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=30'

ENGINEERING DEPARTMENT

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JOB NO. 10103507

# TRACT 33096-13

## M.B. 459/79-86

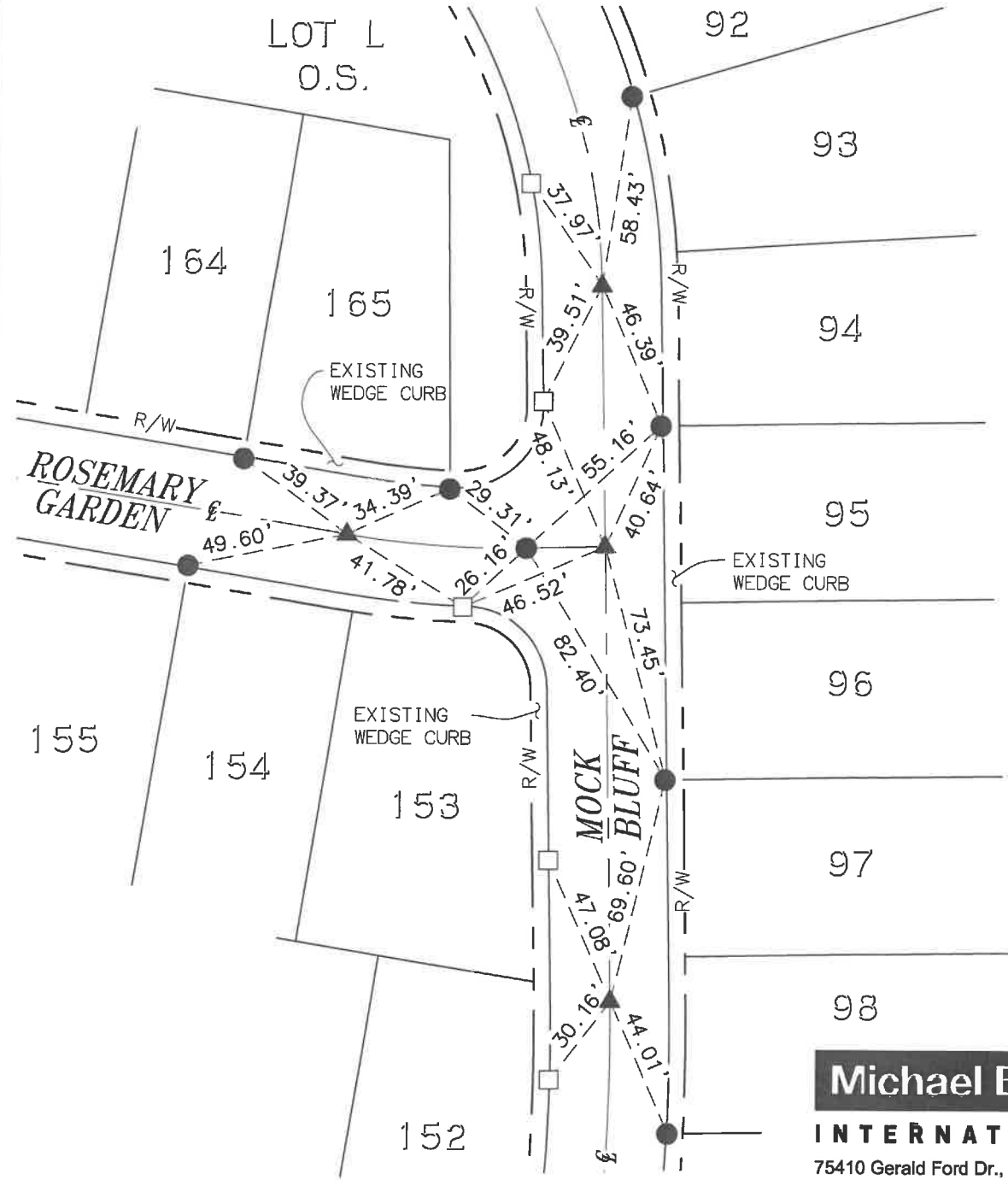
SHEET 12 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=50'



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**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13

M.B. 459/79-86

SCALE: 1"=50'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

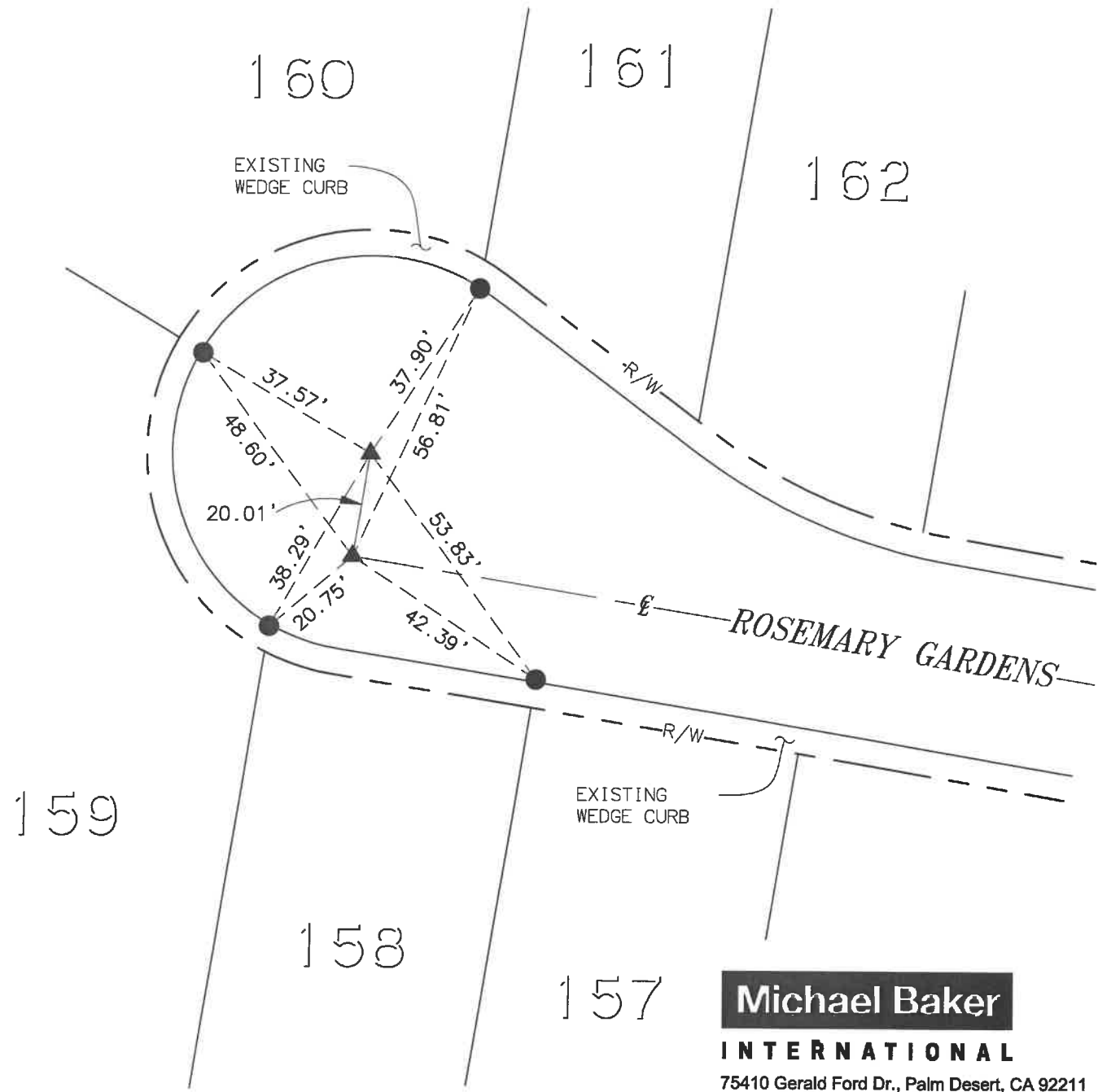
SHEET 13 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=30'



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**MONUMENT TIE SHEET**

L.S. NO. 8508  
DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=30'

ENGINEERING DEPARTMENT

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MONUMENT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

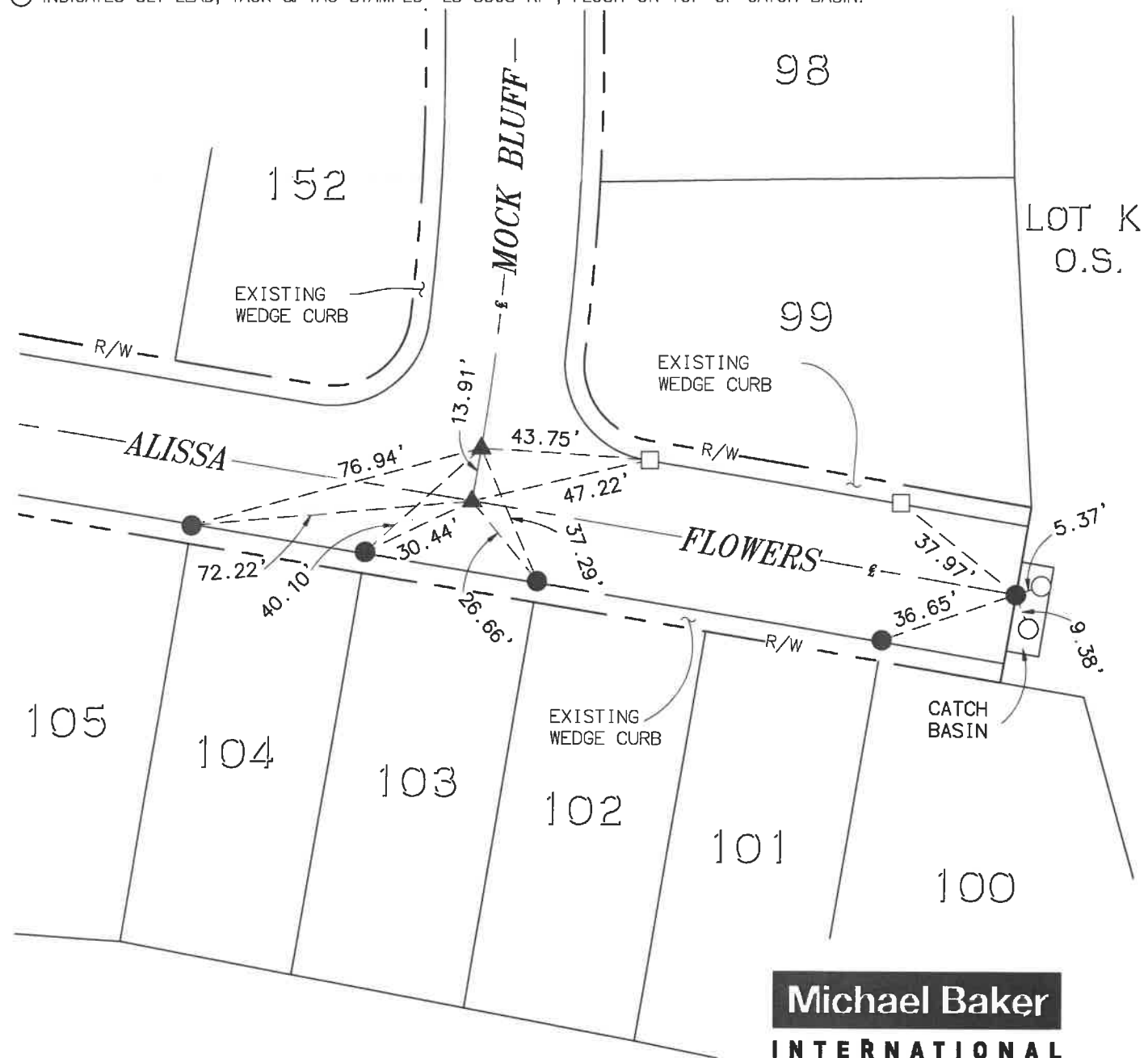
SHEET 14 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CATCH BASIN.



SCALE: 1"=40'



**Michael Baker**  
**INTERNATIONAL**  
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|                         |                                      |                         |
|-------------------------|--------------------------------------|-------------------------|
| L.S. NO. <u>8508</u>    | <b>MONUMENT TIE SHEET</b>            |                         |
| DATE: <u>01/16/2020</u> | TRACT NO. 33096-13<br>M.B. 459/79-86 | SCALE: <u>1"=40'</u>    |
| ENGINEERING DEPARTMENT  | Page 213                             | JOB NO. <u>10103507</u> |

TRACT 33096-13  
M.B. 459/79-86

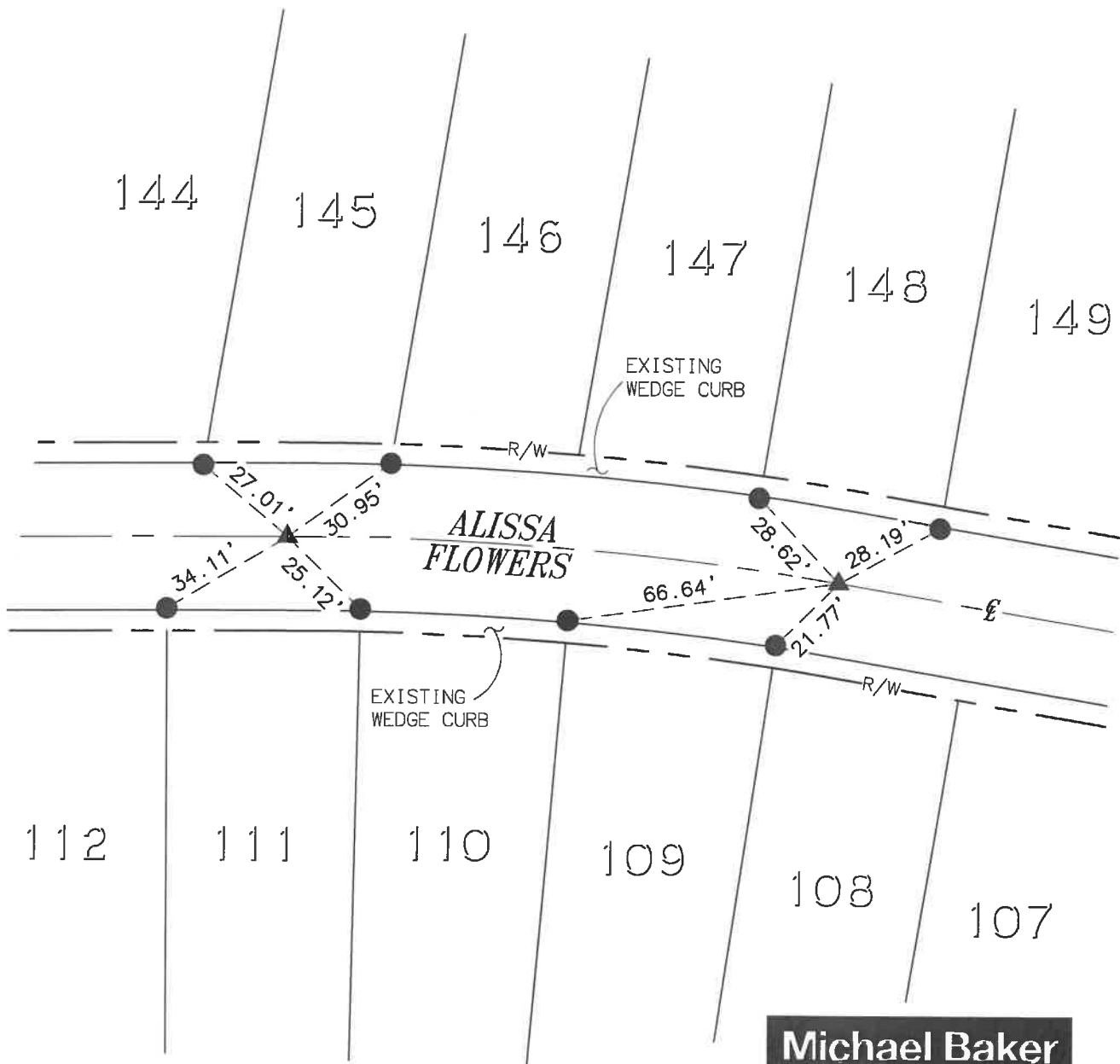
SHEET 15 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=40'



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**MONUMENT TIE SHEET**

L.S. NO. 8508

DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=40'

ENGINEERING DEPARTMENT

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AUMONT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

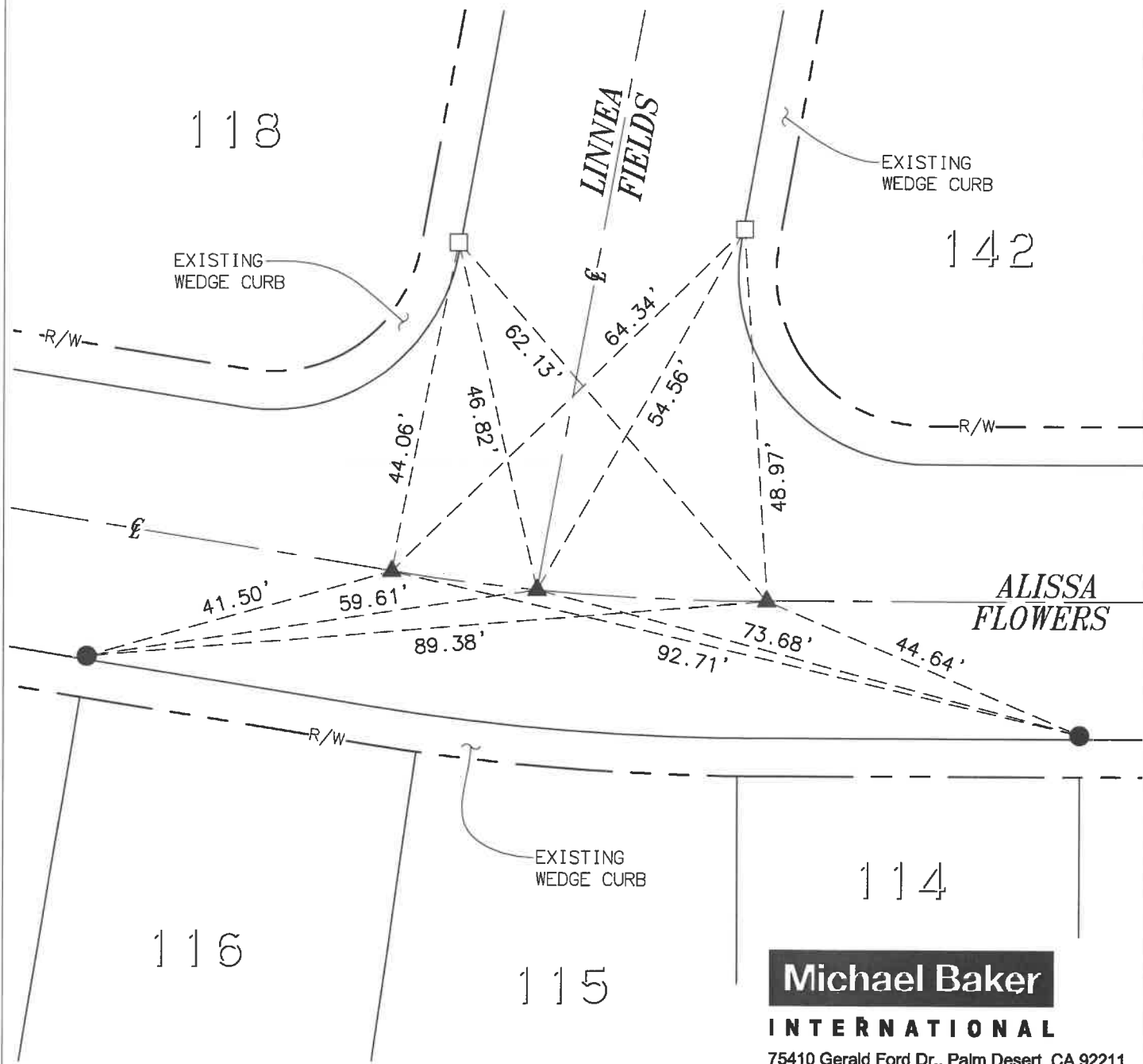
SHEET 16 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=20'



**Michael Baker**

**INTERNATIONAL**

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**MONUMENT TIE SHEET**

TRACT NO. 33096-13  
M.B. 459/79-86

L.S. NO. 8508

DATE: 01/16/2020

SCALE: 1"=20'

ENGINEERING DEPARTMENT

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MONUMENT

JOB NO. 10103507

TRACT 33096-13  
M.B. 459/79-86

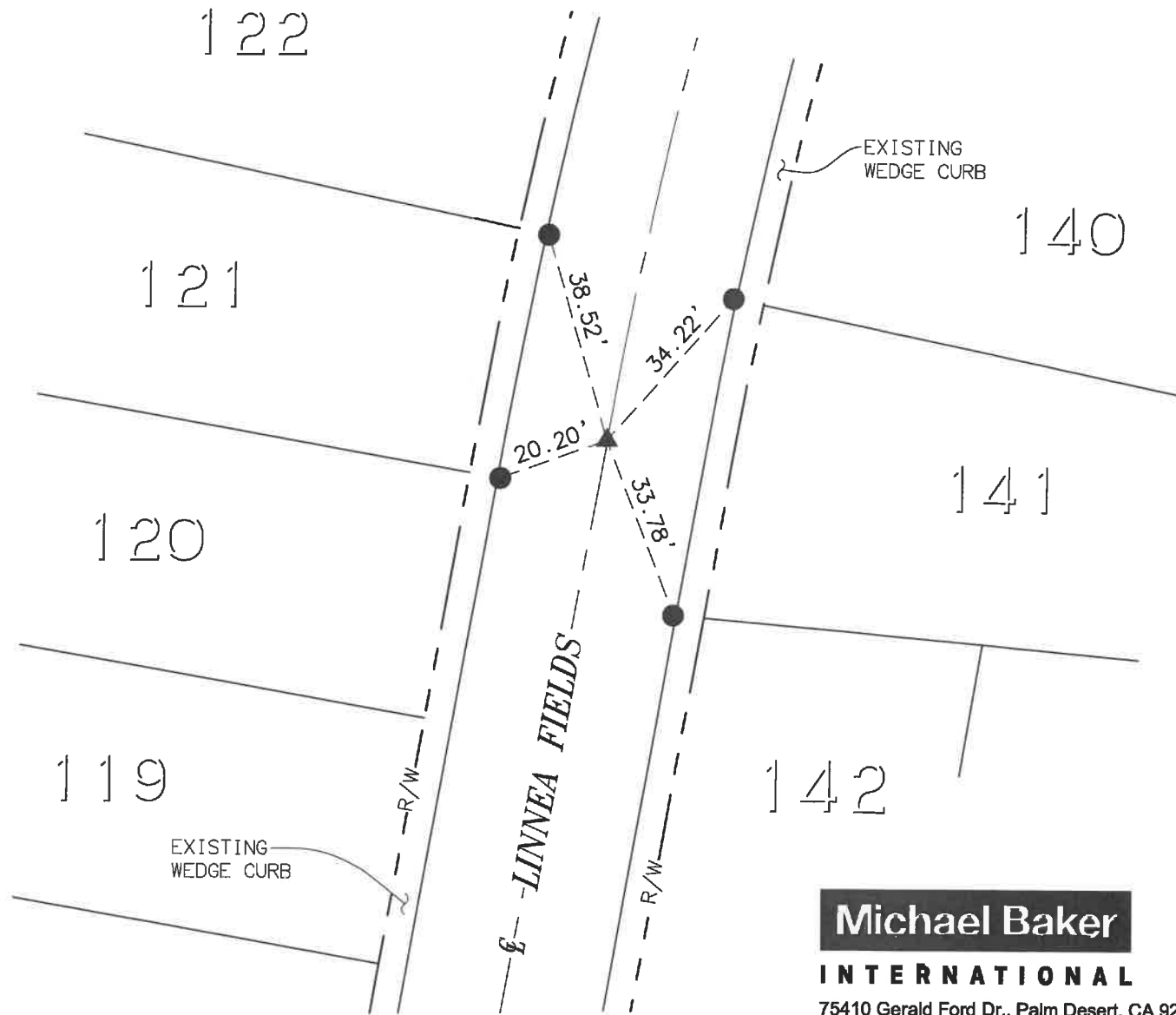
SHEET 17 OF 17 SHEETS

**LEGEND**

- ▲ INDICATES FOUND COPPERWELD MONUMENT STAMPED "LS 8508", FLUSH, PER TRACT 33096-13, M.B. 459/79-86.
- INDICATES FOUND LEAD, TACK & TAG STAMPED "LS 8508", FLUSH ON TOP OF CURB PER TRACT 33096-13 M.B. 459/79-86.
- INDICATES SET LEAD, TACK & TAG STAMPED "LS 8508 RP", FLUSH ON TOP OF CURB.



SCALE: 1"=30'



**Michael Baker**

**INTERNATIONAL**

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**MONUMENT TIE SHEET**

L.S. NO. 8508  
DATE: 01/16/2020

TRACT NO. 33096-13  
M.B. 459/79-86

SCALE: 1"=30'

ENGINEERING DEPARTMENT

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MONUMENT

JOB NO. 10103507



THIS SUBDIVISION CONTAINS:  
168 NUMBERED LOTS  
14 LETTERED LOTS  
182 LOTS TOTAL  
38.081 ACRES GROSS

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TRACT NO. 33096-13**

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

**Michael Baker**  
INTERNATIONAL  
FEBRUARY, 2016

RECORDER'S STATEMENT  
FILED THIS 29th DAY OF JANUARY, 2017 AT  
5:15 PM, IN BOOK 459 OF MAPS AT PAGES  
79-81, AT THE REQUEST OF THE  
CITY CLERK, CITY OF BEAUMONT,  
NO. 2017-0500657  
FEE \$ 24.00  
PETER ALDANA, ASSESSOR-COUNTY CLERK-RECORDER

BY: Yusuf, DEPUTY  
SUBDIVISION GUARANTEE: ORANGE COAST TITLE COMPANY

**OWNER'S STATEMENT**

WE HEREBY STATE THAT WE ARE THE OWNERS OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN HEREON THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT WE CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

WE HEREBY RETAIN LOTS "A" (ALISSA FLOWERS), "B" (LINNEA FIELDS), "C" (MOCK BLUFF), "D" (ROSEMARY GARDENS), "E" (KALIYA RIDGE), "F" (JULIE DONAVIN MOOR), "G" (LUCINDA TERRACE), "H" (SAMS CANYON), AND "I" (SCARLETT RUNNER), INDICATED AS PRIVATE STREETS, AS SHOWN HEREON FOR PRIVATE USE FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES AND LOT OWNERS WITHIN THIS TRACT MAP.

WE HEREBY RETAIN FOR OPEN SPACE AND LANDSCAPE MAINTENANCE, LOTS "J" THROUGH "N", INCLUSIVE, FOR THE SOLE BENEFIT OF OURSELVES, OUR SUCCESSORS, ASSIGNEES, AND LOT OWNERS WITHIN THIS TRACT MAP.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: WE HEREBY DEDICATE TO THE CITY OF BEAUMONT FOR STREET AND PUBLIC UTILITY PURPOSES LOT "N" (HIGHLAND SPRINGS AVENUE) AS SHOWN ON THIS MAP.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: WE HEREBY DEDICATE TO THE CITY OF BEAUMONT, EASEMENTS FOR PUBLIC UTILITIES, SEWER, AND DRAINAGE PURPOSES AND MAINTENANCE THEREOF, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE PURPOSES WITHIN LOTS "A" (ALISSA FLOWERS), "B" (LINNEA FIELDS), "C" (MOCK BLUFF), "D" (ROSEMARY GARDENS), "E" (KALIYA RIDGE), "F" (JULIE DONAVIN MOOR), "G" (LUCINDA TERRACE), "H" (SAMS CANYON), AND "I" (SCARLETT RUNNER), INDICATED AS PRIVATE STREETS, AS SHOWN ON THIS TRACT MAP.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES: WE HEREBY DEDICATE TO THE CITY OF BEAUMONT AN EASEMENT OVER LOT "K" FOR PUBLIC UTILITIES, SEWER AND DRAINAGE PURPOSES AND THE MAINTENANCE THEREOF, AS SHOWN WITHIN THIS TRACT MAP.

K. HOVNANIAN'S FOUR SEASONS AT BEAUMONT, LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY

BY: D. Woodard  
DOUGLAS WOODWARD, DIVISION PRESIDENT

**NOTARY ACKNOWLEDGEMENT**

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA  
COUNTY OF ORANGE ) SS.  
ON 28 OCT 2017 BEFORE ME, STEUDEAU A NOTARY PUBLIC  
(INSERT NAME)

PERSONALLY APPEARED DOUGLAS WOODWARD  
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY, UNDER THE LAWS OF THE STATE OF CALIFORNIA, THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

Steu  
SIGNATURE

STEUDEAU  
PRINT NAME

MY COMMISSION EXPIRES 14 OCT 2021

MY PRINCIPAL PLACE OF BUSINESS IS ORANGE COUNTY.

**TAX COLLECTOR'S CERTIFICATE**

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF THIS OFFICE, AS OF THIS DATE, THERE ARE NO LIENS AGAINST THE PROPERTY SHOWN ON THE WITHIN MAP FOR UNPAID STATE, COUNTY, MUNICIPAL, OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES NOW A LIEN BUT NOT YET PAYABLE, WHICH ARE ESTIMATED TO BE \$ \_\_\_\_\_

DATED: November 7, 2017

Jon Christensen  
SONOMA COUNTY TAX COLLECTOR  
BY: Alicia Nathaniel DEPUTY

**TAX BOND CERTIFICATE**

I HEREBY CERTIFY THAT A BOND IN THE SUM OF \$ \_\_\_\_\_ HAS BEEN EXECUTED AND FILED WITH THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, CONDITIONED UPON THE PAYMENT OF ALL TAXES, STATE, COUNTY, MUNICIPAL, OR LOCAL, AND ALL SPECIAL ASSESSMENTS COLLECTED AS TAXES WHICH AT THE TIME OF FILING OF THIS MAP WITH THE COUNTY RECORDER ARE A LIEN AGAINST SAID PROPERTY BUT NOT YET PAYABLE AND SAID BOND HAS BEEN FULLY APPROVED BY SAID BOARD OF SUPERVISORS.

DATED: \_\_\_\_\_, 20\_\_\_\_

CASH OR SURETY TAX BOND  
DON KEIM  
RIVERSIDE TAX COLLECTOR

BY: \_\_\_\_\_ DEPUTY

**NOTARY ACKNOWLEDGEMENT**

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS.  
ON \_\_\_\_\_ BEFORE ME, \_\_\_\_\_ A NOTARY PUBLIC  
(INSERT NAME)

PERSONALLY APPEARED \_\_\_\_\_  
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY, UNDER THE LAWS OF THE STATE OF CALIFORNIA, THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE

PRINT NAME

MY COMMISSION EXPIRES \_\_\_\_\_

MY PRINCIPAL PLACE OF BUSINESS IS \_\_\_\_\_ COUNTY.

**SOILS REPORT NOTE**

PRELIMINARY SOILS REPORT FOR TENTATIVE TRACT NO. 33096, DATED APRIL 18, 2003, WAS PREPARED BY LEIGHTON AND ASSOCIATES, INC., AS REQUIRED BY SECTIONS 17953 OF THE CALIFORNIA HEALTH AND SAFETY CODE AND AS REQUIRED BY SECTION 66434.5 OF THE CALIFORNIA GOVERNMENT CODE. A COPY OF SAID REPORT IS ON FILE FOR PUBLIC INSPECTION IN THE CITY ENGINEERS OFFICE.

**SURVEYOR'S STATEMENT**

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF PARDEE HOMES, A CALIFORNIA CORPORATION, IN FEBRUARY OF 2016. I HEREBY STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET WITHIN ONE YEAR FROM ACCEPTANCE OF IMPROVEMENTS BY CITY COUNCIL AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED AND THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. THE SURVEY IS TRUE AND COMPLETE AS SHOWN.

DATED: OCTOBER 20, 2017

Christopher Lee Alberts  
CHRISTOPHER LEE ALBERTS, L.S. 8508



**CITY SURVEYOR'S STATEMENT**

THIS MAP CONFORMS TO THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES. I HEREBY STATE THAT THIS MAP HAS BEEN EXAMINED BY ME OR UNDER MY SUPERVISION AND FOUND TO BE SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP OF TRACT MAP 33096 AS FILED, AMENDED, AND APPROVED BY THE CITY COUNCIL ON JULY 19, 2005, THE EXPIRATION DATE BEING DECEMBER 18, 2018, AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT.

DATED: 11/13, 2017

Jay S. Fahrion  
JAY S. FAHRION, CITY SURVEYOR  
L.S. 8207



**BEAUMONT CITY COUNCIL CERTIFICATE**

THE CITY OF BEAUMONT, STATE OF CALIFORNIA, BY ITS CITY COUNCIL, HEREBY APPROVES TRACT NO. 33096-13 AND ACCEPTS THE OFFER OF DEDICATION OF LOT "N" (HIGHLAND SPRINGS AVENUE) MADE HEREON FOR PUBLIC ROAD AND PUBLIC UTILITY PURPOSES. THE CITY COUNCIL DECLARES THAT THE ACCEPTANCE OF THE OFFER IS TO VEST TITLE IN THE CITY ON BEHALF OF THE PUBLIC FOR SAID PURPOSES, BUT THAT SAID ROAD SUBJECT TO IMPROVEMENTS SHALL NOT BECOME PART OF THE CITY MAINTAINED ROAD SYSTEM UNTIL ACCEPTED BY THE CITY PURSUANT TO SECTION 941 OF THE STREETS AND HIGHWAYS CODE, AND ALSO ACCEPTS:

THE EASEMENTS FOR PUBLIC UTILITIES, SEWER, AND DRAINAGE PURPOSES AND MAINTENANCE THEREOF, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE PURPOSES WITHIN LOTS "A" (ALISSA FLOWERS), "B" (LINNEA FIELDS), "C" (MOCK BLUFF), "D" (ROSEMARY GARDENS), "E" (KALIYA RIDGE), "F" (JULIE DONAVIN MOOR), "G" (LUCINDA TERRACE), "H" (SAMS CANYON), AND "I" (SCARLETT RUNNER), THE PRIVATE STREET LOTS AS SHOWN ON THIS MAP.

THE EASEMENT FOR PUBLIC UTILITIES, SEWER AND DRAINAGE PURPOSES AND THE MAINTENANCE THEREOF OVER LOT "K" IS ACCEPTED, SUBJECT TO IMPROVEMENTS.

DATED: 11/21, 2017

Andreanna Steffen  
CITY CLERK, CITY OF BEAUMONT,  
RIVERSIDE COUNTY, CALIFORNIA

**SIGNATURE OMISSIONS NOTE**

PURSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING OWNERS OF EASEMENTS AND/OR OTHER INTERESTS HAVE BEEN OMITTED:

- METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA, A CALIFORNIA CORPORATION, HOLDER OF EASEMENTS FOR ELECTRIC TRANSMISSION LINE(S), PER INSTRUMENTS RECORDED SEPTEMBER 28, 1933 IN BOOK 143, PAGE 13, AND DECEMBER 9, 1939 IN BOOK 437, PAGE 483, BOTH OF OFFICIAL RECORDS.
- SOUTHERN CALIFORNIA GAS COMPANY, A CALIFORNIA CORPORATION, HOLDER OF EASEMENTS FOR PIPE LINES AND INCIDENTAL PURPOSES, RECORDED APRIL 20, 1971 AS INSTRUMENT NO. 1971-40682 (PLOTTED HEREON), AND JUNE 21, 2007 AS INSTRUMENT NO. 2007-406117 (BLANKET IN NATURE AND NOT PLOTTED HEREON), BOTH OF OFFICIAL RECORDS.
- SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 12, 2007 AS INSTRUMENT NO. 2007-455167; AND AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 2, 2015 AS INSTRUMENT NO. 2015-393286; BOTH OF OFFICIAL RECORDS.

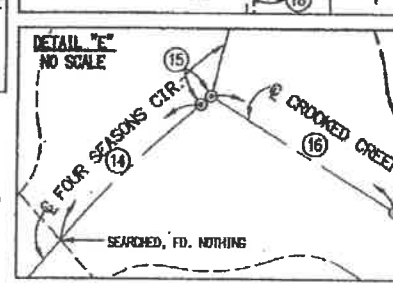
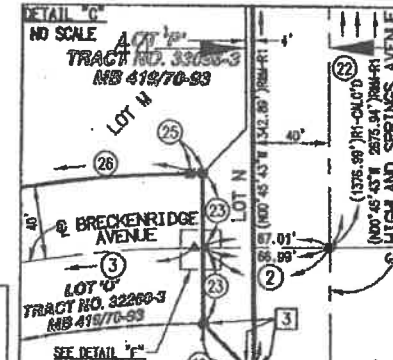
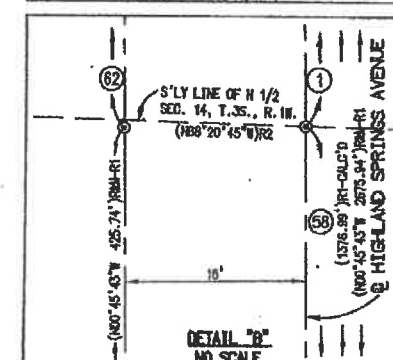
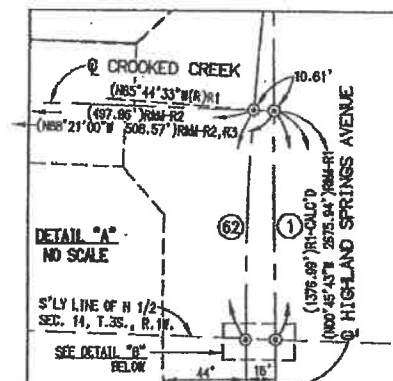
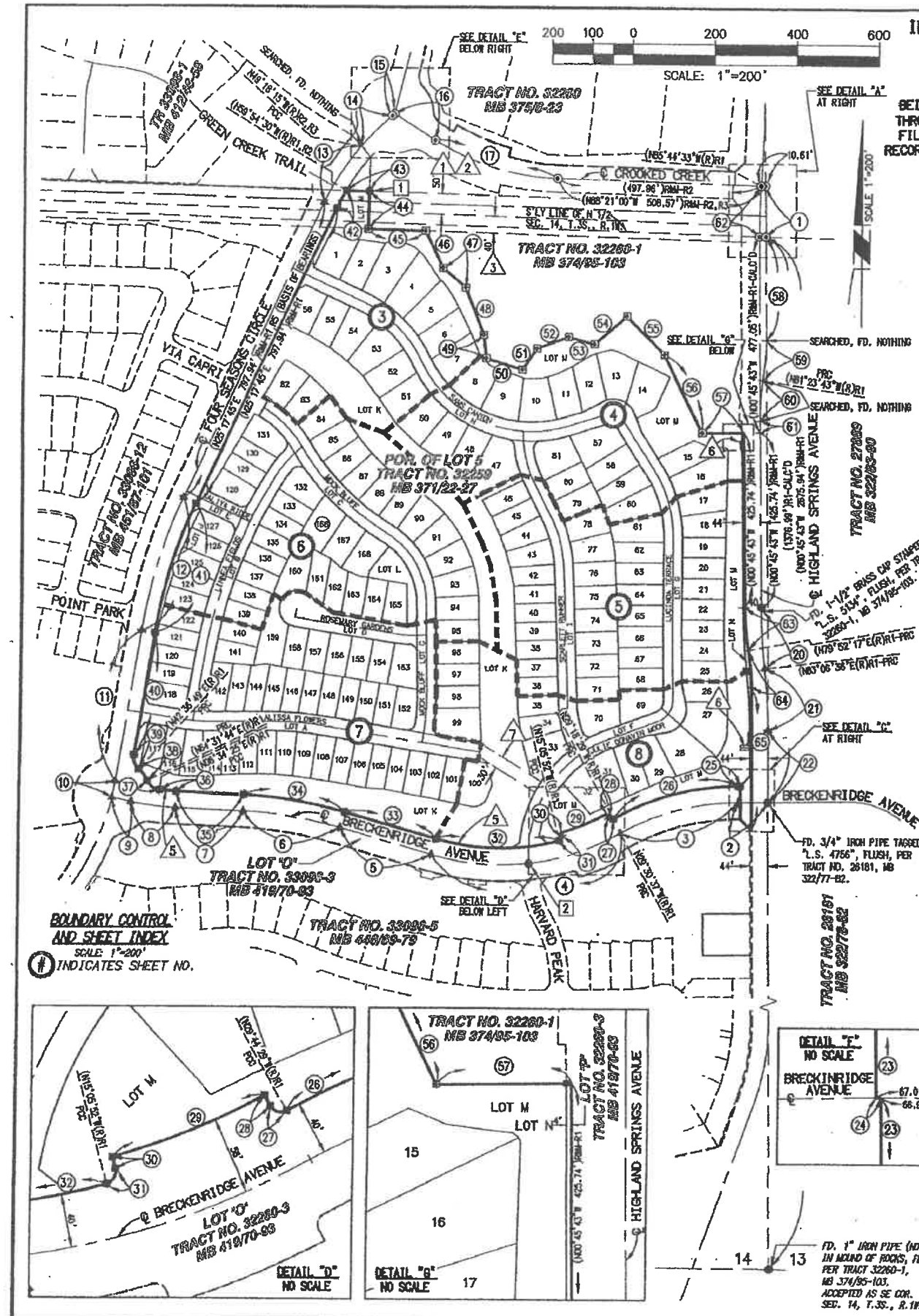
459  
79  
PWA017-0021

# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 83, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

## Michael Baker

INTERNATIONAL  
FEBRUARY, 2016



| NO. | BEARING/Delta       | RADIUS       | LENGTH                  |
|-----|---------------------|--------------|-------------------------|
| 1   | (N00°48'27"W)       | ---          | 122.04' R1M-R2          |
| 2   | (N89°14'41"E)       | ---          | 71.58' R1-CALC'D        |
| 3   | (S8°45'18"W)        | 600.00'      | 301.12' R1M-R2          |
| 4   | (S45°41'05"W)       | 600.00'      | 478.93' R1M-R1          |
| 5   | (N73°46'32"W)       | ---          | 229.87' R1M-R1          |
| 6   | (S13°49'15"W)       | 1000.00'     | 241.22' R1M-R1          |
| 7   | (N87°35'47"W)       | ---          | 166.86' R1M-R1          |
| 8   | (S19°24'08"W)       | 600.00'      | 108.93' R1M-R1          |
| 9   | (N07°11'39"W)R1     | ---          | 47.46' R1M-R1           |
| 10  | (S3°47'40"W)R1,R5   | (606.00')    | 40.13' R1M-R1,R5        |
| 11  | (N09°00'41"E)R1M,R1 | ---          | 371.72' (371.73')R1,R5  |
| 12  | (S16°17'04"W)       | 1184.00'     | 339.36' R1M-R1,R5       |
| 13  | (S15°24'00"W)       | 600.00'      | 161.27' R1,R2,R3-CALC'D |
| 14  | (S10°04'27"W)       | 394.00'      | 104.44' R1,R3           |
| 15  | (N50°48'12"E)       | ---          | 7.04' R1,R3             |
| 16  | (N88°04'02"W)       | ---          | 118.38' R1M-R2,R3,R4    |
| 17  | (S30°18'58"W)       | 600.00'      | 317.12' R1M-R2,R3,R4    |
| 18  | (N89°14'17"E)       | ---          | 4.00' R1M-R1            |
| 19  | (N44°32'23"W)       | ---          | 33.24' R1M-R1           |
| 20  | (S06°07'41"W)       | 1400.00'     | 149.74' R1M-R1          |
| 21  | (S06°07'41"W)       | 1400.00'     | 149.74' R1M-R1          |
| 22  | (N00°45'43"W)       | ---          | 176.30' R1M-R1          |
| 23  | (N00°45'19"W)       | ---          | 40.00'                  |
| 24  | (N89°14'41"E)       | ---          | 0.01'                   |
| 25  | (N88°14'41"E)       | ---          | 6.58' R1M-R1            |
| 26  | (S28°33'10"W)       | 640.00'      | 318.94' R1M-R1          |
| 27  | (S0°29'44"W)        | 9.00' R1M-R1 | 14.22' (14.21')R1       |
| 28  | (N28°48'45"W)R1     | ---          | 8.84' R1M-R1            |
| 29  | (S12°46'44"W)       | 542.00'      | 120.88' R1M-R1          |
| 30  | (N16°02'01"W)R1     | ---          | 8.93' R1M-R1            |
| 31  | (S0°56'09"W)        | 9.00'        | 14.28' R1M-R1           |
| 32  | (S1°19'20"W)        | 580.00'      | 306.14' R1M-R1          |
| 33  | (N73°46'32"W)       | ---          | 229.87' R1M-R1          |
| 34  | (S13°49'15"W)       | 1040.00'     | 250.87' R1M-R1          |
| 35  | (N87°35'47"W)       | ---          | 166.86' R1M-R1          |
| 36  | (S04°10'12"W)       | 560.00'      | 40.76' R1M-R1           |
| 37  | (S7°57'19"W)        | 39.00'       | 39.45' R1M-R1           |
| 38  | (S21°54'55"W)       | 83.50'       | 35.78' R1M-R1           |
| 39  | (S6°23'52"W)        | 39.00'       | 38.39' R1M-R1           |
| 40  | (N09°00'41"E)       | ---          | 301.47' R1M-R1          |
| 41  | (S16°17'04"W)       | 1184.00'     | 329.86' R1M-R1          |
| 42  | (S04°47'45"W)       | 567.00'      | 47.46' R1M-R1           |
| 43  | (N88°20'45"W)R2     | ---          | (55.55')R1M-R2          |
| 44  | (N01°38'55"E)       | ---          | 90.00' R1M-R2           |
| 45  | (N88°20'45"W)       | ---          | 129.42' R1M-R3,R6       |
| 46  | (N25°28'50"W)       | ---          | 100.78' R1M-R3,R6       |
| 47  | (N89°16'04"W)       | ---          | 72.84' R1M-R3,R6        |
| 48  | (N21°28'17"W)       | ---          | 123.56' R1M-R3,R6       |
| 49  | (N06°50'34"W)       | ---          | 57.81' R1M-R3,R6        |
| 50  | (N72°37'03"W)       | ---          | 92.38' R1M-R3,R6        |
| 51  | (N34°39'05"E)       | ---          | 63.37' R1M-R3,R6        |
| 52  | (N89°22'05"E)       | ---          | 82.72' R1M-R3,R6        |
| 53  | (N74°41'14"W)       | ---          | 66.78' R1M-R3,R6        |
| 54  | (N10°33'34"E)       | ---          | 105.28' R1M-R3,R6       |
| 55  | (N44°53'16"W)       | ---          | 133.62' R1M-R3,R6       |
| 56  | (N28°24'10"W)       | ---          | 209.24' R1M-R3,R6       |
| 57  | (N87°14'17"E)       | ---          | 89.17' R1M-R3           |
| 58  | (N00°45'43"W)       | ---          | 253.34' R1M-R1          |
| 59  | (S09°22'00"W)       | 600.00'      | 98.08' R1M-R1           |
| 60  | (S09°22'00"W)       | 600.00'      | 98.08' R1M-R1           |
| 61  | (N00°45'43"W)       | ---          | 28.41' R1M-R1           |
| 62  | (S05°01'10"W)       | 1400.00'     | 122.55' R1M-R1          |
| 63  | (S09°22'00"W)       | 640.00'      | 104.63' R1M-R1          |
| 64  | (S09°22'00"W)       | 660.00'      | 91.55' R1M-R1           |
| 65  | (N00°45'43"W)       | ---          | 342.89' R1M-R1          |

**SURVEYORS NOTES:**

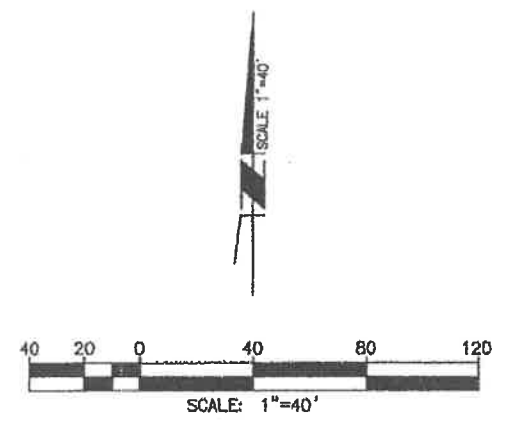
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-12, FILED IN BOOK 451, PAGES 87 THROUGH 101, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 28°12'45" EAST.
- THIS MAP CONTAINS 168 NUMBERED LOTS, 14 LETTERED LOTS, AND 38.061 ACRES.
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL. EXISTING BOUNDARY MONUMENTS THAT ARE DESTROYED DUE TO CONSTRUCTION WILL BE RESET AS STATED BELOW.
  - SET 1" IRON PIPE TAGGED "L.S. 8508", FLUSH OR LEAD, TACK AND TAG "L.S. 8508", FLUSH, IN CONCRETE; OR A SPIKE W/BRASS WASHER STAMPED "L.S. 8508", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL REAR LOT CORNERS, REAR AND SIDE LOT ANGLE POINTS AND ENDS OF CURVE. LOT CORNERS WHICH ABUT A PRIVATE STREET WILL BE MARKED ON A 5.50' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD TACK AND TAG "L.S. 8508" ON SIDE LOT LINES PROVIDED.
- DEVIATES SET MONUMENTS AS NOTED BELOW:
  - INDICATES SET 1-1/2" COPPERFIELD MONUMENT STAMPED "LS 8508", FLUSH.
  - DEVIATES FOUND MONUMENTS AS NOTED BELOW:
    - DEVIATES 1-1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 33096-3, MB 419/70-93.
    - DEVIATES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-3, MB 419/70-93.
    - DEVIATES 1-1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT 32260-1, MB 374/95-103.
    - DEVIATES 2" IRON PIPE TAGGED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, TO BE SET PER TRACT NO. 33096-3, MB 419/70-93.
    - DEVIATES FOUND MONUMENT AS NOTED AND REFERRED HEREIN:
      - FOUND 2" IRON PIPE TAGGED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, TO BE SET PER TRACT NO. 33096-1, MB 412/46-58.
      - FOUND SPIKE AND WASHER STAMPED "L.S. 8508", FLUSH, PER TRACT NO. 33096-5, MB 446/67-79.
      - FOUND 2" IRON PIPE TAGGED "L.S. 8508" OR LEAD, TACK AND TAG "L.S. 8508" OR SPIKE AND WASHER STAMPED "L.S. 8508", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, TO BE SET PER TRACT NO. 33096-5, MB 446/67-79.
      - FOUND COPPERFIELD MONUMENT STAMPED "L.S. 8508", FLUSH, TO BE SET PER TRACT NO. 33096-12, MB 451/87-101.
- EASEMENTS:
  - EASEMENT IN FAVOR OF METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA FOR ELECTRIC TRANSMISSION LINE(S) PER INSTRUMENT RECORDED SEPTEMBER 28, 1933 IN BOOK 143, PAGE 13, OFFICIAL RECORDS.
  - EASEMENT IN FAVOR OF METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA FOR ELECTRIC TRANSMISSION LINE(S) PER INSTRUMENT RECORDED DECEMBER 9, 1939 IN BOOK 437, PAGE 463, OFFICIAL RECORDS.
  - EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR PIPE LINE, RECORDED APRIL 20, 1971 AS INSTRUMENT NO. 1971-10662, OFFICIAL RECORDS.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, A CALIFORNIA CORPORATION, FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED JUNE 21, 2007 AS INSTRUMENT NO. 2007-106117 OF OFFICIAL RECORDS. (SAID EASEMENT IS BLANKET IN NATURE AND NOT PLOTTED HEREON)
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 12, 2007 AS INSTRUMENT NO. 2007-455167 OF OFFICIAL RECORDS.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 2, 2015 AS INSTRUMENT NO. 2015-393286 OF OFFICIAL RECORDS.
  - AN EASEMENT FOR STORM DRAIN AND SANITARY SEWER AND MAINTENANCE THEREOF AS DEDICATED HEREON.
  - EASEMENTS FOR PUBLIC UTILITIES, SEWER, AND DRAINAGE PURPOSES AND MAINTENANCE THEREOF, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE DEDICATED HEREON TO THE CITY OF BEAUMONT.

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096-13

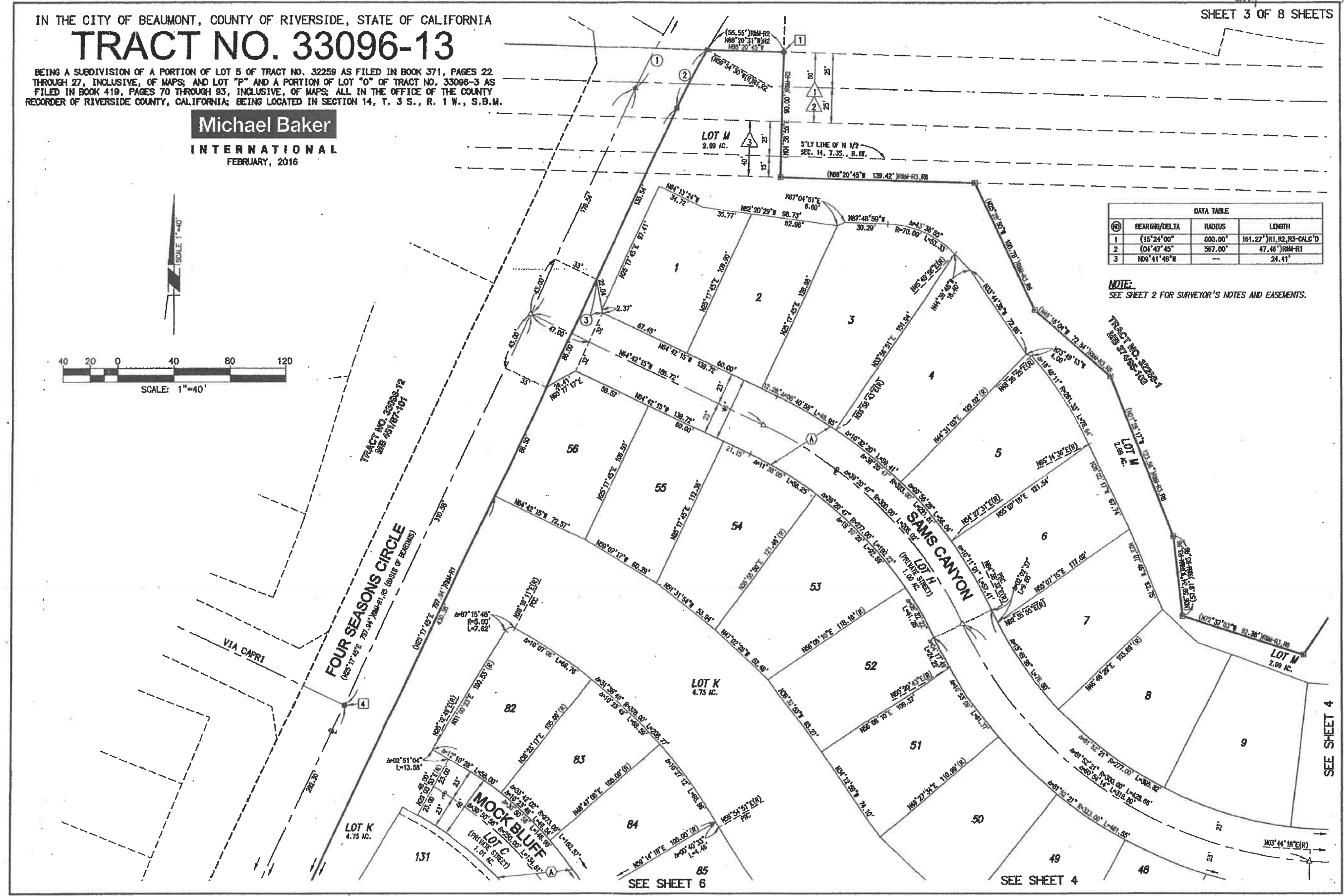
BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

**Michael Baker**  
INTERNATIONAL  
FEBRUARY, 2016



| DATA TABLE |                |         |                           |
|------------|----------------|---------|---------------------------|
| ⑩          | BEARINGS/Delta | RADIUS  | LENGTH                    |
| 1          | (15°24'00"     | 600.00' | 161.27' R1, R2, R3-CALC'D |
| 2          | (04°47'45"     | 567.00' | 47.46' RRM-R1             |
| 3          | N0°41'48"W     | -       | 24.41'                    |

**NOTE:**  
SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENTS.



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| DATA TABLE |                |         |        |
|------------|----------------|---------|--------|
| NO.        | BEARINGS/Delta | RADIUS  | LENGTH |
| 1          | 08° 00' 05"    | 300.00' | 41.90' |
| 2          | 11° 17' 30"    | 250.00' | 49.27' |
| 3          | 07° 50' 35"    | 250.00' | 34.22' |
| 4          | 84° 20' 35"    | 20.00'  | 32.83' |
| 5          | 74° 28' 18"    | 20.00'  | 26.00' |
| 6          | 14° 37' 02"    | 323.00' | 82.40' |
| 7          | 02° 54' 31"    | 273.00' | 13.86' |
| 8          | 10° 27' 08"    | 100.00' | 18.24' |
| 9          | 45° 13' 45"    | 30.00'  | 23.68' |
| 10         | 28° 42' 50"    | 30.00'  | 15.58' |

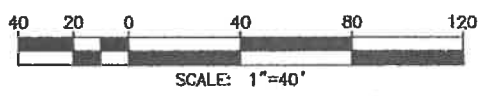
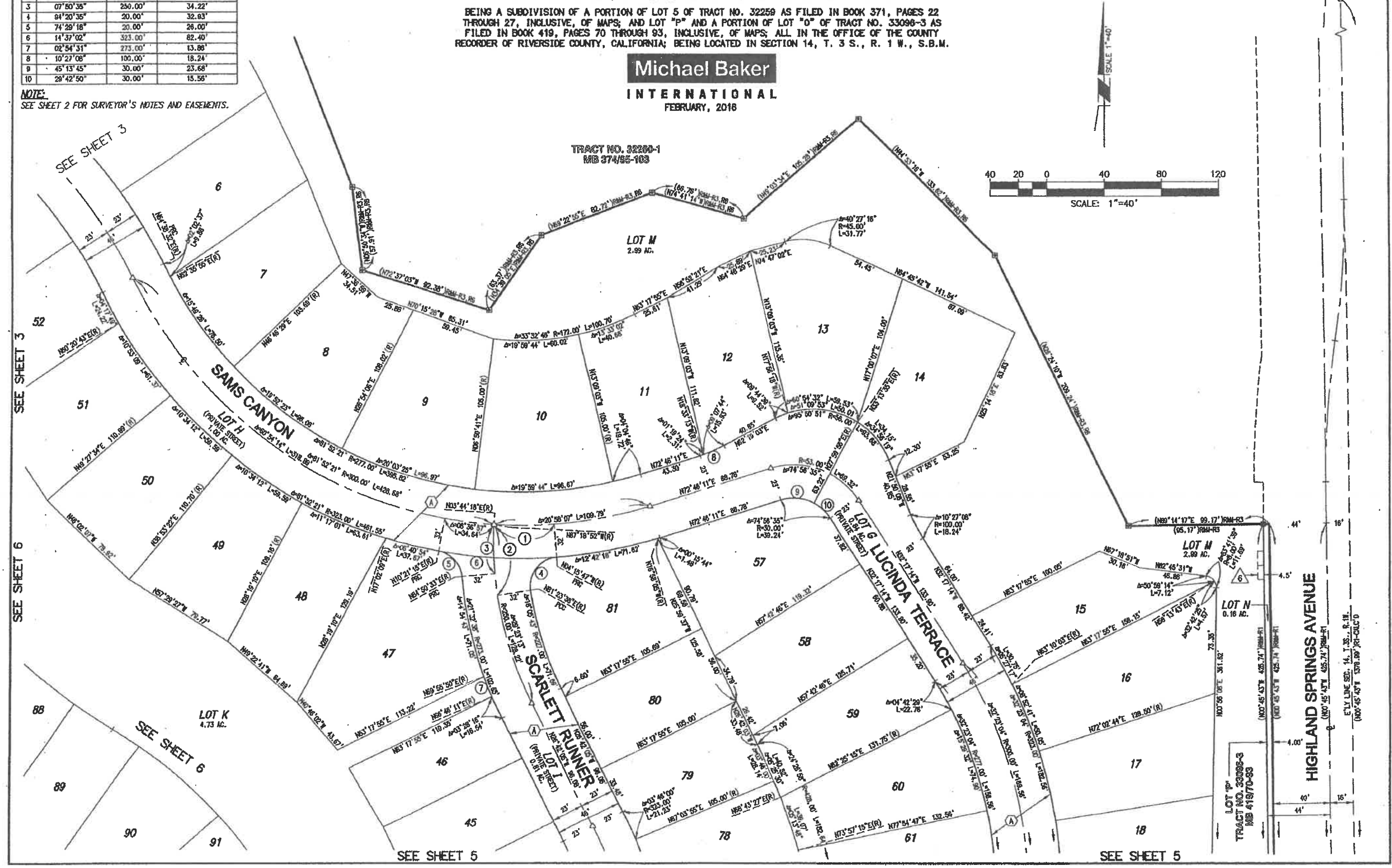
NOTE:  
SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENTS.

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

**Michael Baker**  
INTERNATIONAL  
FEBRUARY, 2018



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IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33098-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

**Michael Baker**  
INTERNATIONAL  
FEBRUARY, 2016

| DATA TABLE |               |         |        |
|------------|---------------|---------|--------|
| NO.        | BEARING/Delta | RADIUS  | LENGTH |
| 1          | 01°13'25"     | 823.00' | 17.58' |
| 2          | 01°13'25"     | 800.00' | 17.08' |

NOTE:  
SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENTS.



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

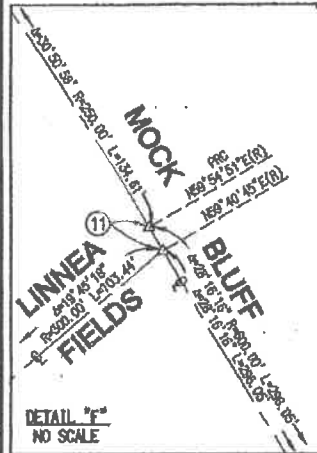
**Michael Baker**

**INTERNATIONAL**

FEBRUARY, 2016



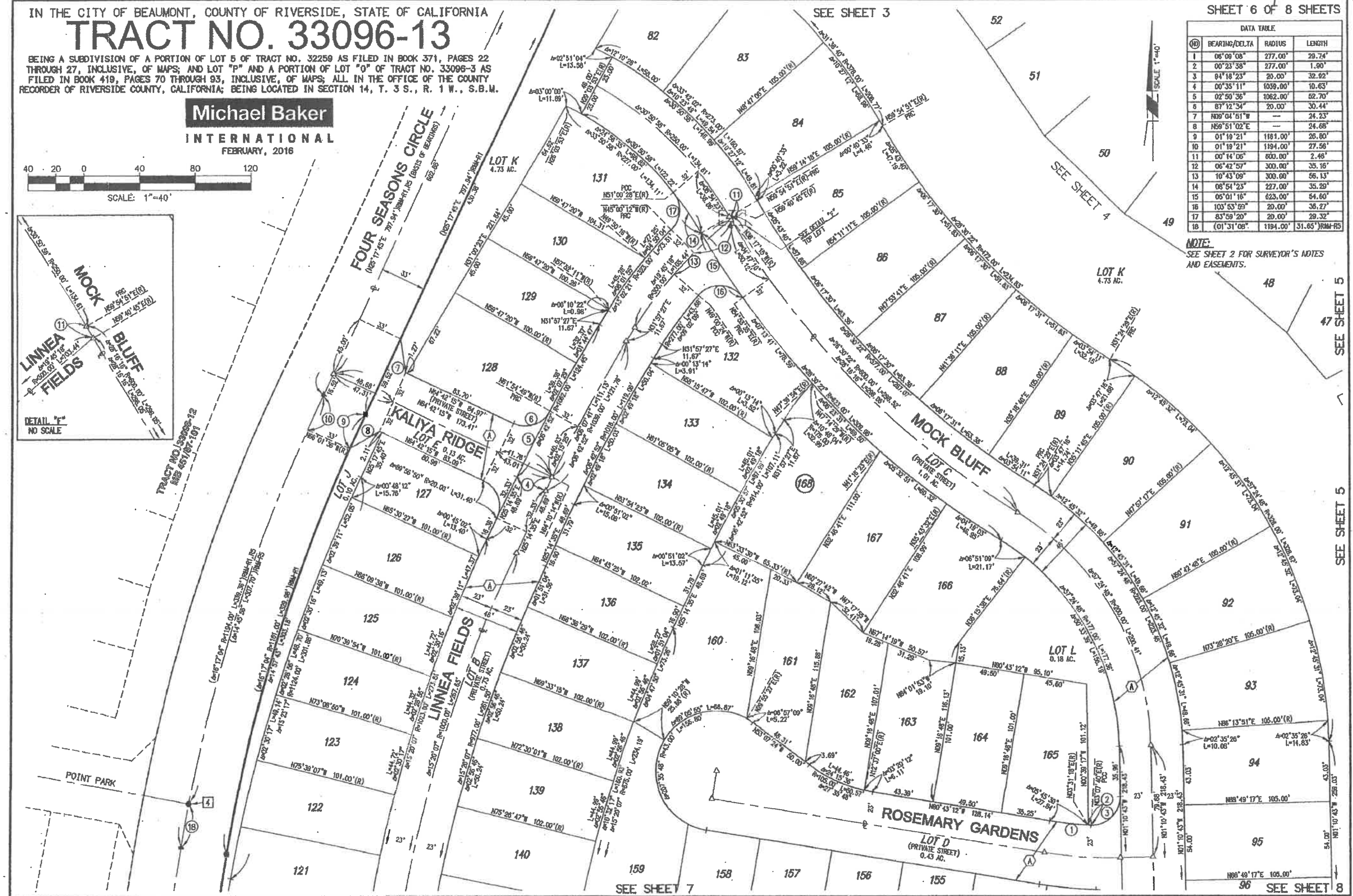
SCALE: 1"=40'



SHEET 6 OF 8 SHEETS

| DATA TABLE |               |          |                |
|------------|---------------|----------|----------------|
| (#)        | BEARING/Delta | RADIUS   | LENGTH         |
| 1          | 06°09'08"     | 277.00'  | 29.74'         |
| 2          | 00°23'38"     | 277.00'  | 1.90'          |
| 3          | 04°18'23"     | 20.00'   | 32.92'         |
| 4          | 00°35'11"     | 1039.00' | 10.63'         |
| 5          | 02°50'36"     | 1062.00' | 82.70'         |
| 6          | 87°12'34"     | 20.00'   | 30.44'         |
| 7          | N89°04'51"W   | —        | 24.23'         |
| 8          | N50°51'02"E   | —        | 24.68'         |
| 9          | 01°19'21"     | 1161.00' | 26.80'         |
| 10         | 01°19'21"     | 1194.00' | 27.56'         |
| 11         | 00°14'06"     | 600.00'  | 2.46'          |
| 12         | 06°42'57"     | 300.00'  | 35.19'         |
| 13         | 10°43'09"     | 300.00'  | 56.13'         |
| 14         | 08°54'23"     | 227.00'  | 35.29'         |
| 15         | 06°01'16"     | 623.00'  | 54.60'         |
| 16         | 103°53'59"    | 20.00'   | 36.27'         |
| 17         | 83°59'20"     | 20.00'   | 29.32'         |
| 18         | (01°31'08"    | 1194.00' | 31.65') RHM-RS |

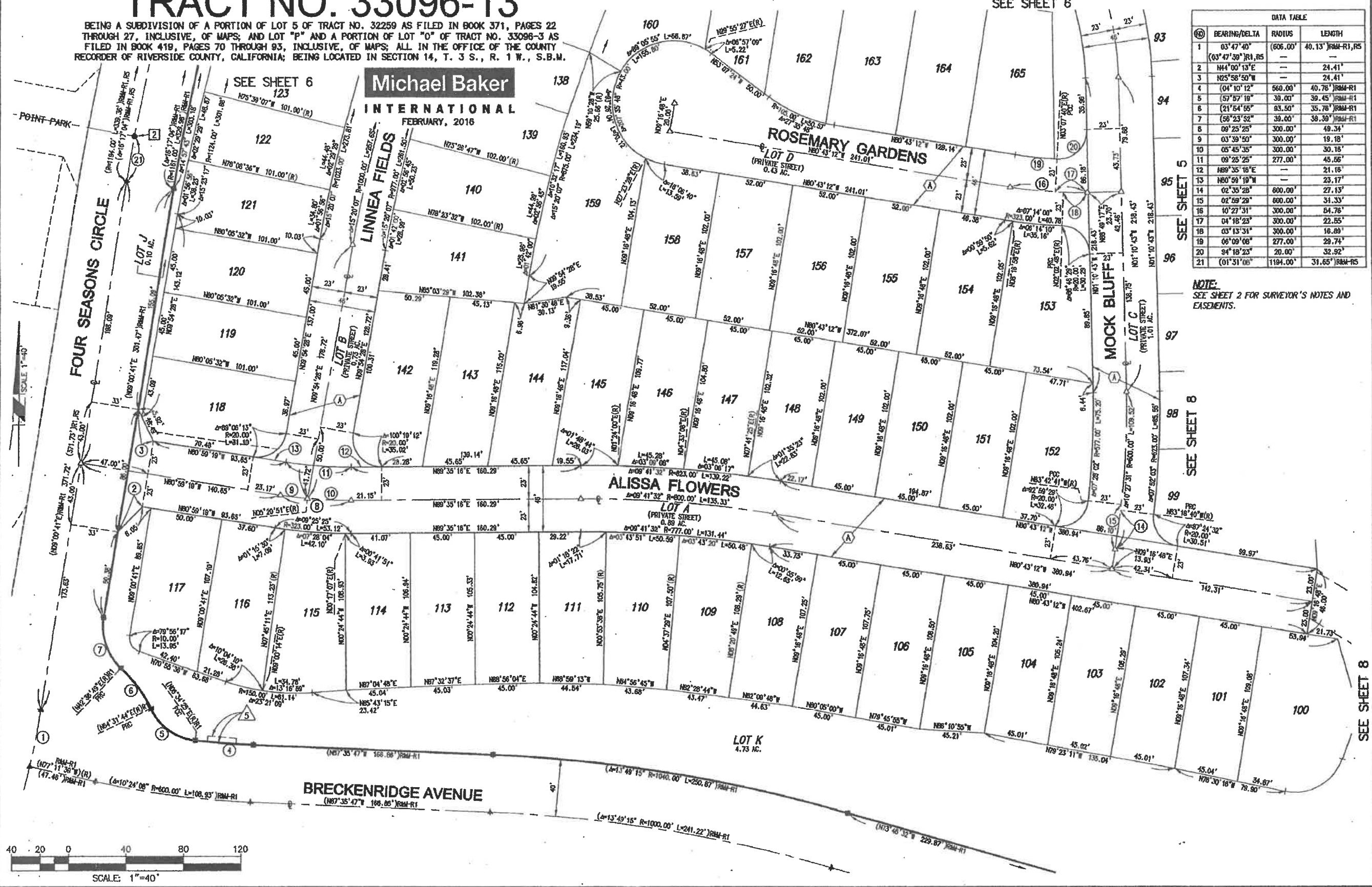
NOTE: SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENTS.



SEE SHEET 3  
SEE SHEET 4  
SEE SHEET 5  
SEE SHEET 5  
SEE SHEET 8

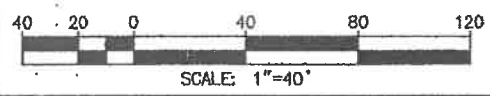
# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33098-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.



| DATA TABLE |               |           |                  |
|------------|---------------|-----------|------------------|
| NO.        | BEARING/DELTA | RADIUS    | LENGTH           |
| 1          | 03°47'40"     | (606.00') | 40.13' RMA-R1,RS |
| 2          | N44°00'13"E   | —         | 24.41'           |
| 3          | N25°58'50"W   | —         | 24.41'           |
| 4          | 04°10'12"     | 560.00'   | 40.76' RMA-R1    |
| 5          | 57°57'19"     | 39.00'    | 39.45' RMA-R1    |
| 6          | 21°54'55"     | 83.50'    | 35.76' RMA-R1    |
| 7          | 56°23'52"     | 39.00'    | 38.39' RMA-R1    |
| 8          | 09°25'25"     | 300.00'   | 49.34'           |
| 9          | 03°39'50"     | 300.00'   | 19.18'           |
| 10         | 05°45'35"     | 300.00'   | 30.18'           |
| 11         | 09°25'25"     | 277.00'   | 45.56'           |
| 12         | N89°35'16"E   | —         | 21.16'           |
| 13         | N80°59'19"W   | —         | 23.17'           |
| 14         | 02°35'28"     | 600.00'   | 27.13'           |
| 15         | 02°59'29"     | 600.00'   | 31.33'           |
| 16         | 10°27'31"     | 300.00'   | 64.76'           |
| 17         | 04°18'23"     | 300.00'   | 22.55'           |
| 18         | 03°13'31"     | 300.00'   | 16.89'           |
| 19         | 06°09'08"     | 277.00'   | 29.74'           |
| 20         | 94°18'23"     | 20.00'    | 32.92'           |
| 21         | 01°31'06"     | 1194.00'  | 31.65' RMA-RS    |

NOTE:  
SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENTS.



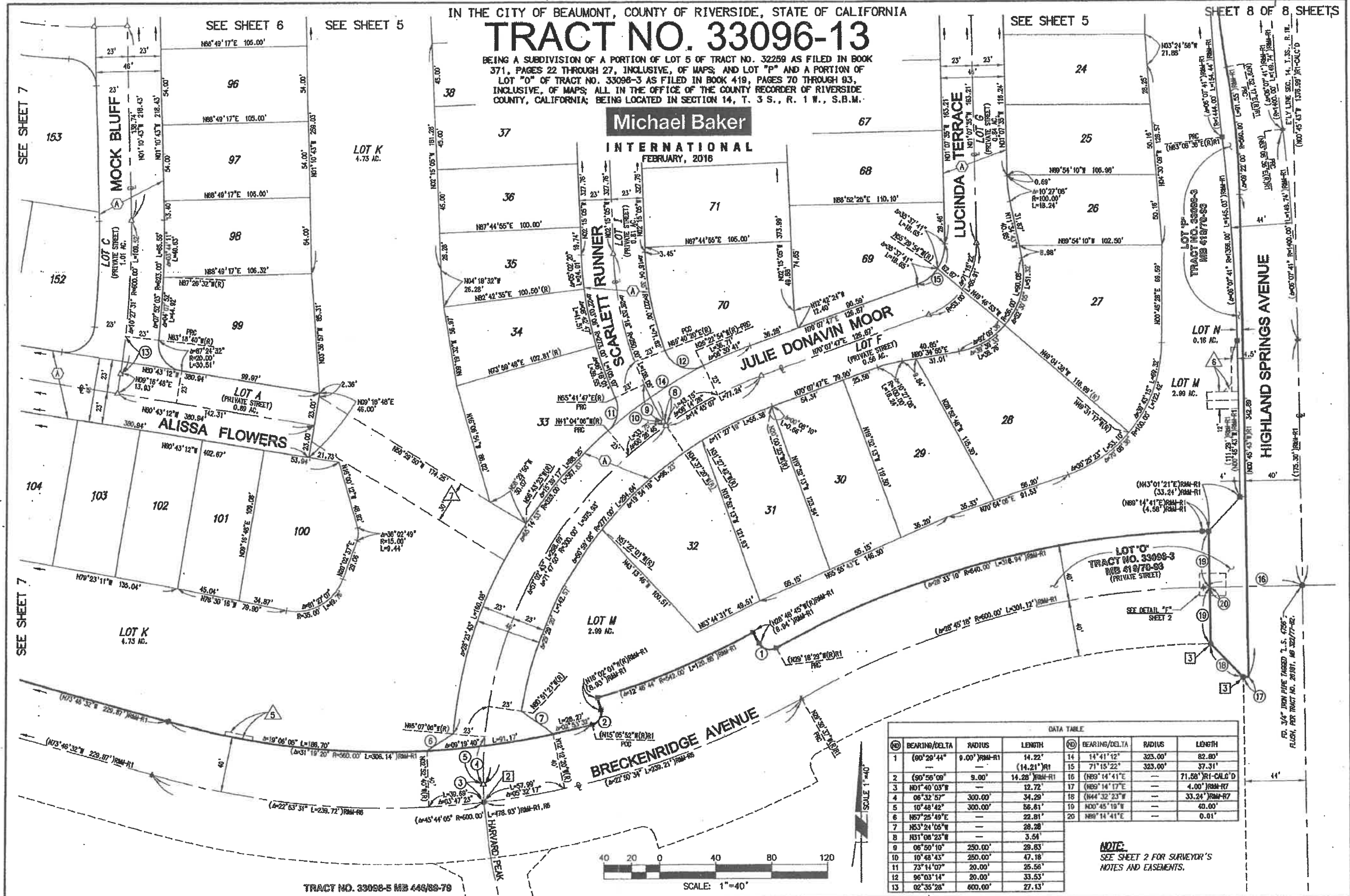
IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096-13

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 AS FILED IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS; AND LOT "P" AND A PORTION OF LOT "O" OF TRACT NO. 33096-3 AS FILED IN BOOK 419, PAGES 70 THROUGH 83, INCLUSIVE, OF MAPS; ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA; BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

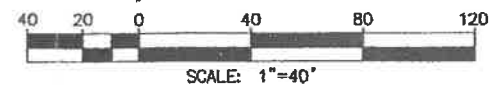
**Michael Baker**

INTERNATIONAL  
FEBRUARY, 2016



| DATA TABLE |               |         |        |    |               |         |                 |
|------------|---------------|---------|--------|----|---------------|---------|-----------------|
| NO         | BEARING/DELTA | RADIUS  | LENGTH | NO | BEARING/DELTA | RADIUS  | LENGTH          |
| 1          | (80°28'44"    | 9.00'   | 14.22' | 14 | 14°41'12"     | 323.00' | 82.80'          |
| 2          | (90°56'08"    | 9.00'   | 14.28' | 15 | 71°15'22"     | 323.00' | 37.31'          |
| 3          | N01°40'03"W   | ---     | 12.72' | 16 | (N83°14'41"E  | ---     | 71.58'RI-CALG'D |
| 4          | 06°32'57"     | 300.00' | 34.29' | 17 | (N83°14'17"E  | ---     | 4.00'RIAM-R7    |
| 5          | 10°48'42"     | 300.00' | 56.61' | 18 | (N44°32'23"W  | ---     | 33.24'RIAM-R7   |
| 6          | N57°25'49"E   | ---     | 22.81' | 19 | N00°45'19"W   | ---     | 40.00'          |
| 7          | N53°24'05"E   | ---     | 28.28' | 20 | N89°14'41"E   | ---     | 0.01'           |
| 8          | N51°08'23"W   | ---     | 3.54'  |    |               |         |                 |
| 9          | 06°59'10"     | 250.00' | 28.83' |    |               |         |                 |
| 10         | 10°48'43"     | 250.00' | 47.18' |    |               |         |                 |
| 11         | 73°14'07"     | 20.00'  | 25.56' |    |               |         |                 |
| 12         | 96°03'14"     | 20.00'  | 33.53' |    |               |         |                 |
| 13         | 02°35'28"     | 600.00' | 27.13' |    |               |         |                 |

NOTE:  
SEE SHEET 2 FOR SURVEYOR'S  
NOTES AND EASEMENTS.





MAINTENANCE BOND

Bond No. 3085345

KNOW ALL MEN BY THESE PRESENTS, That We, K. Hovnanian's Four Seasons at Beaumont, LLC as Principal, and Great American Insurance Company having an office at 301 E 4<sup>th</sup> Street, Cincinnati, OH 45202 as Surety, are held and firmly bound unto City of Beaumont: 550 E. 6<sup>th</sup> Street, Beaumont, CA 92223 as Oblige, in the penal sum of Seventy Eight Thousand Eight Hundred Forty Three and 71/100 (\$78,843.71) Dollars lawful money of the United States of America the Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally firmly by these presents.

SIGNED, SEALED AND DATED this 9<sup>th</sup> day of January, 2020.

WHEREAS the Principal has completed Storm Drain Improvements Tract 33096-13

and whereas, the Oblige requires a maintenance guarantee for the period of one year from the date of this bond.

NOW THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal at his own cost and expense replaces or repairs any of the above described works, which shall become defective because of either material or workmanship not meeting requirements of the specifications under which the work was done during the period of one year from the date of this bond, then this obligation shall be null and void, otherwise to remain in full force and effect.

K. Hovnanian's Four Seasons at Beaumont, LLC  
Principal

By: \_\_\_\_\_

\_\_\_\_\_  
Witness

Great American Insurance Company  
Surety

By: Christine Marotta  
Christine Marotta, Attorney-in-Fact

[Signature]  
Witness

ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS

COUNTY OF COOK

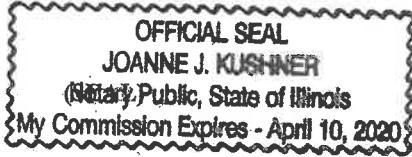
On JAN 09 2020, before me, a Notary Public in and for the above county, personally appeared Christine Marotta to me personally known, who, being by me duly sworn, did state that he/she is Attorney-in-Fact of Great American Insurance Company, a corporation organized and existing under the laws of the State of Ohio that the seal affixed to the foregoing instrument is the corporate seal of the said corporation, that the instrument was signed, sealed, and executed in behalf of said corporation by authority of its Board of Directors, and further acknowledged the said instrument and the execution thereof to be the voluntary act and deed of said corporation by her voluntarily executed.

IN WITNESS WHEREOF, I have hereunto subscribed by name and affixed my official seal the day and year first above written.



Notary Public

COOK County, ILLINOIS



**GREAT AMERICAN INSURANCE COMPANY®**

Administrative Office: 301 E 4TH STREET • CINCINNATI, OHIO 45202 • 513-369-5000 • FAX 513-723-2740

The number of persons authorized by this power of attorney is not more than THREE

No. 0 20302

**POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the GREAT AMERICAN INSURANCE COMPANY, a corporation organized and existing under and by virtue of the laws of the State of Ohio, does hereby nominate, constitute and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for it and in its name, place and stead to execute on behalf of the said Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; provided that the liability of the said Company on any such bond, undertaking or contract of suretyship executed under this authority shall not exceed the limit stated below.

| Name              | Address           | Limit of Power |
|-------------------|-------------------|----------------|
| THOMAS PLUSS      | ALL OF            | ALL            |
| CHRISTINE MAROTTA | CHICAGO, ILLINOIS | \$10,000,000.  |
| DEBRA KOHLMAN     |                   |                |

This Power of Attorney revokes all previous powers issued on behalf of the attorney(s)-in-fact named above.

IN WITNESS WHEREOF the GREAT AMERICAN INSURANCE COMPANY has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 14TH day of JUNE, 2012  
Attest  
GREAT AMERICAN INSURANCE COMPANY



*Atty L C B*  
Assistant Secretary

*David C. Kitchin*  
Divisional Senior Vice President

DAVID C. KITCHIN (877-377-2405)

STATE OF OHIO, COUNTY OF HAMILTON - ss:

On this 14TH day of JUNE, 2012, before me personally appeared DAVID C. KITCHIN, to me known, being duly sworn, deposes and says that he resides in Cincinnati, Ohio, that he is a Divisional Senior Vice President of the Bond Division of Great American Insurance Company, the Company described in and which executed the above instrument; that he knows the seal of the said Company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed by authority of his office under the By-Laws of said Company, and that he signed his name thereto by like authority.



**KAREN L. GROSHEIM**  
NOTARY PUBLIC, STATE OF OHIO  
MY COMMISSION EXPIRES 02-20-16

*Karen L. Grosheim*

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of Great American Insurance Company by unanimous written consent dated June 9, 2008.

*RESOLVED: That the Divisional President, the several Divisional Senior Vice Presidents, Divisional Vice Presidents and Divisional Assistant Vice Presidents, or any one of them, be and hereby is authorized, from time to time, to appoint one or more Attorneys-in-Fact to execute on behalf of the Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke any such appointment at any time.*

*RESOLVED FURTHER: That the Company seal and the signature of any of the aforesaid officers and any Secretary or Assistant Secretary of the Company may be affixed by facsimile to any power of attorney or certificate of either given for the execution of any bond, undertaking, contract of suretyship, or other written obligation in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.*

**CERTIFICATION**

I, STEPHEN C. BERAHA, Assistant Secretary of Great American Insurance Company, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of June 9, 2008 have not been revoked and are now in full force and effect.

Signed and sealed this JAN 09 2020 day of



*Atty L C B*  
Assistant Secretary

MAINTENANCE BOND

Bond No. 41394539

KNOW ALL MEN BY THESE PRESENTS, That We, K. Hovnanian's Four Seasons at Beaumont, LLC as Principal, and Platte River Insurance Company having an office at 1600 Aspen Commons, Middleton, WI 53562 as Surety, are held and firmly bound unto City of Beaumont: 550 E. 6th Street, Beaumont, CA 92223 as Oblige, in the penal sum of One Hundred Seventeen Thousand Thirteen and 22/100 (\$117,013.22) Dollars lawful money of the United States of America the Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally firmly by these presents.

SIGNED, SEALED AND DATED this 9th day of January, 2020.

WHEREAS the Principal has completed Sewer Improvements Tract 33096-13

and whereas, the Oblige requires a maintenance guarantee for the period of one year from the date of this bond.

NOW THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal at his own cost and expense replaces or repairs any of the above described works, which shall become defective because of either material or workmanship not meeting requirements of the specifications under which the work was done during the period of one year from the date of this bond, then this obligation shall be null and void, otherwise to remain in full force and effect.

K. Hovnanian's Four Seasons at Beaumont, LLC  
Principal

By: \_\_\_\_\_

\_\_\_\_\_  
Witness

Platte River Insurance Company  
Surety

By: Christine Marotta  
Christine Marotta, Attorney-in-Fact

[Signature]  
Witness

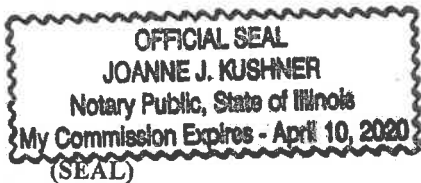
ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS

COUNTY OF COOK

On JAN 09 2020, before me, a Notary Public in and for the above county, personally appeared Christine Marotta to me personally known, who, being by me duly sworn, did state that he/she is Attorney-in-Fact of Platte River Insurance Company, a corporation organized and existing under the laws of the State of Nebraska that the seal affixed to the foregoing instrument is the corporate seal of the said corporation, that the instrument was signed, sealed, and executed in behalf of said corporation by authority of its Board of Directors, and further acknowledged the said instrument and the execution thereof to be the voluntary act and deed of said corporation by her voluntarily executed.

IN WITNESS WHEREOF, I have hereunto subscribed by name and affixed my official seal the day and year first above written.



[Signature]  
Notary Public

COOK County, ILLINOIS

PLATTE RIVER INSURANCE COMPANY  
POWER OF ATTORNEY

41394539

KNOW ALL MEN BY THESE PRESENTS, That the PLATTE RIVER INSURANCE COMPANY, a corporation of the State of Nebraska, having its principal offices in the City of Middleton, Wisconsin, does make, constitute and appoint

-----THOMAS PLUSS; CHRISTINE MAROTTA; DEBRA KOHLMAN-----

its true and lawful Attorney(s)-in-fact, to make, execute, seal and deliver for and on its behalf, as surety, and as its act and deed, any and all bonds, undertakings and contracts of suretyship, provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed in amount the sum of

----- ALL WRITTEN INSTRUMENTS IN AN AMOUNT NOT TO EXCEED: \$20,000,000.00-----

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of PLATTE RIVER INSURANCE COMPANY at a meeting duly called and held on the 8th day of January, 2002.

“RESOLVED, that the President, Executive Vice President, Vice President, Secretary or Treasurer, acting individually or otherwise, be and they hereby are granted the power and authorization to appoint by a Power of Attorney for the purposes only of executing and attesting bonds and undertakings, and other writings obligatory in the nature thereof, one or more resident vice-presidents, assistant secretaries and attorney(s)-in-fact, each appointee to have the powers and duties usual to such offices to the business of this company; the signature of such officers and seal of the Company may be affixed to any such power of attorney or to any certificate relating thereto by facsimile, and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the Company, and any such power so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking or other writing obligatory in the nature thereof to which it is attached. Any such appointment may be revoked, for cause, or without cause, by any of said officers, at any time.”

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

IN WITNESS WHEREOF, the PLATTE RIVER INSURANCE COMPANY has caused these presents to be signed by its officer undersigned and its corporate seal to be hereto affixed duly attested, this 3rd day of May, 2017.

Attest: *John E. Rzepinski*  
John E. Rzepinski  
Vice President, Treasurer & CFO

*Suzanne M. Broadbent*  
Suzanne M. Broadbent  
Assistant Secretary



PLATTE RIVER INSURANCE COMPANY  
*Stephen J. Sills*  
Stephen J. Sills  
CEO & President

STATE OF WISCONSIN } s.s.:  
COUNTY OF DANE

On the 3<sup>rd</sup> day of May, 2017 before me personally came Stephen J. Sills, to me known, who being by me duly sworn, did depose and say: that he resides in the County of New York, State of New York; that he is President of PLATTE RIVER INSURANCE COMPANY, the corporation described in and which executed the above instrument; that he knows the seal of the said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said corporation and that he signed his name thereto by like order.



*David J. Regele*  
David J. Regele  
Notary Public, Dane Co., WI  
My Commission Is Permanent

STATE OF WISCONSIN } s.s.:  
COUNTY OF DANE

I, the undersigned, duly elected to the office stated below, now the incumbent in PLATTE RIVER INSURANCE COMPANY, a Nebraska Corporation, authorized to make this certificate, DO HEREBY CERTIFY that the foregoing attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the Resolution of the Board of Directors, set forth in the Power of Attorney is now in force.

Signed and sealed at the City of Middleton, State of Wisconsin this JAN 09 2020 day of \_\_\_\_\_, 20\_\_\_\_.



*Antonio Celi*  
Antonio Celi  
General Counsel, Vice President & Secretary

THIS DOCUMENT IS NOT VALID UNLESS PRINTED ON GREEN SHADED BACKGROUND WITH A RED SERIAL NUMBER IN THE UPPER RIGHT HAND CORNER. IF YOU HAVE ANY QUESTIONS CONCERNING THE AUTHENTICITY OF THIS DOCUMENT CALL 800-475-4450. PR-POA (Rev. 10-2017)

MAINTENANCE BOND

Bond No. 3085344

KNOW ALL MEN BY THESE PRESENTS, That We, K. Hovnanian's Four Seasons at Beaumont, LLC as Principal, and Great American Insurance Company having an office at 301 E 4<sup>th</sup> Street, Cincinnati, OH 45202 as Surety, are held and firmly bound unto City of Beaumont; 550 E. 6<sup>th</sup> Street, Beaumont, CA 92223 as Oblige, in the penal sum of Three Hundred Seventeen Thousand Five Hundred Thirty Six and 82/100 (\$317,536.82) Dollars lawful money of the United States of America the Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally firmly by these presents.

SIGNED, SEALED AND DATED this 9<sup>th</sup> day of January, 2020.

WHEREAS the Principal has completed Street Improvements Tract 33096-13

and whereas, the Oblige requires a maintenance guarantee for the period of one year from the date of this bond.

NOW THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the Principal at his own cost and expense replaces or repairs any of the above described works, which shall become defective because of either material or workmanship not meeting requirements of the specifications under which the work was done during the period of one year from the date of this bond, then this obligation shall be null and void, otherwise to remain in full force and effect.

K. Hovnanian's Four Seasons at Beaumont, LLC  
Principal

By: \_\_\_\_\_

\_\_\_\_\_  
Witness

Great American Insurance Company  
Surety

By: Christine Marotta  
Christine Marotta, Attorney-in-Fact

[Signature]  
Witness

ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS

COUNTY OF COOK

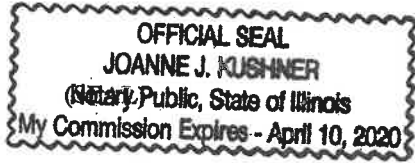
On JAN 09 2020, before me, a Notary Public in and for the above county, personally appeared Christine Marotta to me personally known, who, being by me duly sworn, did state that he/she is Attorney-in-Fact of Great American Insurance Company, a corporation organized and existing under the laws of the State of Ohio that the seal affixed to the foregoing instrument is the corporate seal of the said corporation, that the instrument was signed, sealed, and executed in behalf of said corporation by authority of its Board of Directors, and further acknowledged the said instrument and the execution thereof to be the voluntary act and deed of said corporation by her voluntarily executed.

IN WITNESS WHEREOF, I have hereunto subscribed by name and affixed my official seal the day and year first above written.



Notary Public

COOK County, ILLINOIS





**GREAT AMERICAN INSURANCE COMPANY®**

Administrative Office: 301 E 4TH STREET • CINCINNATI, OHIO 45202 • 513-369-5000 • FAX 513-723-2740

The number of persons authorized by this power of attorney is not more than **THREE**

No. 0 20302

**POWER OF ATTORNEY**

**KNOW ALL MEN BY THESE PRESENTS:** That the GREAT AMERICAN INSURANCE COMPANY, a corporation organized and existing under and by virtue of the laws of the State of Ohio, does hereby nominate, constitute and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for it and in its name, place and stead to execute on behalf of the said Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; provided that the liability of the said Company on any such bond, undertaking or contract of suretyship executed under this authority shall not exceed the limit stated below.

| Name              | Address           | Limit of Power |
|-------------------|-------------------|----------------|
| THOMAS PLUSS      | ALL OF            | ALL            |
| CHRISTINE MAROTTA | CHICAGO, ILLINOIS | \$10,000,000.  |
| DEBRA KOHLMAN     |                   |                |

This Power of Attorney revokes all previous powers issued on behalf of the attorney(s)-in-fact named above.

IN WITNESS WHEREOF the GREAT AMERICAN INSURANCE COMPANY has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this 14TH day of JUNE 2012

GREAT AMERICAN INSURANCE COMPANY



*Steph L. C. B.*  
Assistant Secretary

*David C. Kitchin*  
Divisional Senior Vice President

DAVID C. KITCHIN (877-377-2405)

STATE OF OHIO, COUNTY OF HAMILTON - ss:

On this 14TH day of JUNE

, 2012, before me personally appeared DAVID C. KITCHIN, to me

known, being duly sworn, deposes and says that he resides in Cincinnati, Ohio, that he is a Divisional Senior Vice President of the Bond Division of Great American Insurance Company, the Company described in and which executed the above instrument; that he knows the seal of the said Company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed by authority of his office under the By-Laws of said Company, and that he signed his name thereto by like authority.



**KAREN L. GROSHEIM**  
NOTARY PUBLIC, STATE OF OHIO  
MY COMMISSION EXPIRES 02-20-16

*Karen L. Grosheim*

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of Great American Insurance Company by unanimous written consent dated June 9, 2008.

*RESOLVED: That the Divisional President, the several Divisional Senior Vice Presidents, Divisional Vice Presidents and Divisional Assistant Vice Presidents, or any one of them, be and hereby is authorized, from time to time, to appoint one or more Attorneys-in-Fact to execute on behalf of the Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke any such appointment at any time.*

*RESOLVED FURTHER: That the Company seal and the signature of any of the aforesaid officers and any Secretary or Assistant Secretary of the Company may be affixed by facsimile to any power of attorney or certificate of either given for the execution of any bond, undertaking, contract of suretyship, or other written obligation in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.*

**CERTIFICATION**

I, STEPHEN C. BERAHA, Assistant Secretary of Great American Insurance Company, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of June 9, 2008 have not been revoked and are now in full force and effect.

Signed and sealed this **JAN 09 2020** day of



*Steph L. C. B.*  
Assistant Secretary

S1029AC (4/11)



**Staff Report**

**TO:** Mayor, and City Council Members  
**FROM:** Todd Parton, City Manager  
**DATE:** February 4, 2020  
**SUBJECT:** Request for Facility and Staff Fee Waiver – Beaumont Cherry Valley Rotary Club Celebrate Reading and the Arts

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**Background and Analysis:**

The Beaumont Cherry Valley Rotary Club has submitted a request for consideration of waiving facility and staff fees for their annual Celebrate Reading and the Arts event held at the Community Recreation Center (CRC) on Saturday, March 7, 2020. This is an all-day event that is attended by nearly 500 residents, with set up beginning the prior afternoon.

The use of the CRC gymnasium requires a \$500 deposit which is requested to be waived. Additionally, facility use fees total \$860, including staff fees and the use of the kitchen and is also requested to be waived.

**Fiscal Impact:**

Total amount requested for waiver is \$1,360.

**Recommended Action:**

- Consider waiver of facility use and staff fees requested by Beaumont Cherry Valley Rotary Club in the amount of \$860.00, and
- Consider waiver of a \$500 deposit for the use of the gymnasium at the CRC.

**Attachments:**

- A. Facility Use Application
- B. Fee Waiver Request



**CITY OF BEAUMONT**  
 1310 Oak Valley Pkwy  
 Phone (951) 769-8524  
 BeaumontCa.gov

**FACILITY R** Item No.7.  
**APPLICATION**

Location:

CHATIGNY REC CENTER       CIVIC CENTER

Room(s) number: Gym

Date(s) of Use: March 7, 2020      Period of use:  One Time     Weekly     Monthly  
 Other: \_\_\_\_\_

Open Building: 8:00 am/pm      Close Building: 4:30 am/pm

Starting Time: \_\_\_\_\_ am/pm      Ending Time: \_\_\_\_\_ am/pm

Equipment Needed for Meeting/Usage:  Chairs     Tables     Other: Essels

Name of Organization/Group: Notary Club of Beaumont - Cherry Valley

Purpose of Meeting/Usage: Celebrate Reading Parts

Expected Attendance: 2,000      Open to the Public?  Yes     No

**ALL PERSONS UTILIZING CITY FACILITIES SHALL ABIDE BY ALL CITY RULES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:**

1. Applicant is responsible for leaving facilities in the same conditions as received: for cleanliness; and turning off all utilities.
2. It is understood and agreed that the applicant shall be solely responsible for the activities conducted by it or subject to its controls, and applicant agrees to and does here hold the City harmless from any and all liability or alleged liability arising out of, or in any way related to, the activities by said applicant: and in the event suit is brought arising out of any such activities, applicant will defend the City and pay any and all attorney fees and Court cost incurred in such suit.
3. Alcohol is not permitted in the Civic Center/CRC facilities unless you have provided proof of security. Security guards must be present entire time alcohol is being served.
4. Night and weekend use of the Beaumont Facilities will be by special arrangement only, with additional payment required for a City employee to be present in the building for the full length of your use.
5. A cleaning and damage deposit is required.
6. Events at the CRC that use the overflow parking lot at night will be required to rent a light tower for their event. The light must be turned off by 10pm.

Special Notes: Set up Fri 3pm-6pm



CITY OF BEAUMONT  
 1310 Oak Valley Pkwy  
 Phone (951) 769-8524  
 BeaumontCa.gov

**FACILITY R** Item No.7.  
**APPLICATION**

Print Name: ROTARY CLUB OF BEAUMONT - CHERRY VALLEY  
 Street Address: PO BOX 3006 City: BEAUMONT  
 Zip: 92223 Telephone: 951-769-9005 Date: 8/30/19

Margt Brubaker  
 Signature of Person Responsible (must be 18 years of age)

*\*\*The City reserves the right to revoke this permit at any time\*\**

**YOUR DEPOSIT IS REQUIRED TO RESERVE YOUR DATE. FEE BALANCE (IF APPLICABLE) WILL BE DUE AT TIME OF KEY PICK UP - CHECK OR CREDIT CARDS ONLY.**

Please initial to accept below terms:

**Staff: (Civic Center, CRC)**

MFB There will be a charge of \$20.00 per hour of use for a City employee to open the building, be present during your activity and to close the building when your activity is finished. **THIS EMPLOYEE IS NOT RESPONSIBLE FOR CLEAN UP.**

**Deposit:**

MFB A deposit to hold the facility is required of \$500.00 for the GYM: \$45.00 for the Meeting Rooms.

This deposit must be paid, and the application form submitted to reserve the date for your event

MFB \$500.00 cleaning deposit which is refundable when the facility is left clean and no damage occurs. If you do not clean the facility, and there are damages, your deposit will be retained to cover the cost, and you will be liable for any expenses incurred over and above the deposit paid. Cleaning includes the hallway and the restrooms.

**Security Guards:**

MFB Security Guards are required, the number to be determined by the Beaumont Police Department for Civic Center or CRC. (# of guards on all facility rentals are subject to approval by the Beaumont Police Department). Arrangements may be made with a private security firm. A copy of the contract must be provided to this office.

**THE GUARD MUST BE LICENSED, BONDED AND IN UNIFORM.**

**Alcoholic Beverages:**

MFB Special arrangements can be made to sell alcohol in the Civic Center for nonprofit agencies with approval from the Community Service Department and /or the Chief of Police. **ALCOHOL IS NOT ALLOWED FOR PARTIES OF UNDER AGED PERSON(S) (21 & OLDER ONLY).**



**CITY OF BEAUMONT**  
 1310 Oak Valley Pkwy  
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**FACILITY R** Item No.7.  
**APPLICATION**

*MFB* If you plan to sell drinks, a one-day permit is required from ABC. You must first contact the Police Department for a letter to the ABC to obtain a permit. NOTE: ABC will not issue a permit to a private party, only nonprofit service clubs or organizations.

**Decoration and Set-Up:**

*MFB* Large events which may take longer to set up can make special arrangements beforehand. If your event falls on a Saturday, and there is nothing scheduled in the gym on the Friday prior to the event, you may come in to set up between the hours of 8am-12pm for a flat rate of \$100.00. You must be finished and out of the building by 12pm.

**Chairs and Tables:**

*MFB* The City has 150 - 200 chairs, and 25 6-foot tables. These are available free of charge. If additional are needed, you will need to rent them from another organization.

**Special Events:**

*MFB* By initialing you are stating you have read and are complying by all rules of the ordinance.

*MFB* All Parties in the City facilities must end at 10:00p.m. There may be no alcohol served after this time. Everyone must be off the premises by 12:00am.

**CANCELLATION:**

\_\_\_\_\_ Should the applicant desire to cancel the facility reservation, notification of the cancellation must be received no later than two weeks prior to the scheduled event. Should cancellation notice not be received by this time limit, a \$100.00 cancellation fee will be charged and taken from the deposit paid.

-----STAFF USE ONLY-----

Fees: See attached fees page

Heather Harwood

Date: 8/30/19

Customer Service Coordinator

\_\_\_\_\_  
 Community Services Director

Date: \_\_\_\_\_

Received by: HH  
 Date: 8-30-19

Available :  YES  NO  
 In Book:  YES  NO  
 Staff Needed:  YES  NO

Mary Brubaker - Rotary

Item No.7.

RENTAL RATES

| CATEGORY:                          | 1   | 2           | 3           | 4                      |
|------------------------------------|-----|-------------|-------------|------------------------|
| Auditorium/gym<br>\$500.00 Deposit | N/A | N/A         | \$120.00    | \$220.00 First 2 hours |
|                                    | N/A | N/A         | \$40.00     | \$100.00 Extra hours   |
| Kitchen:                           | N/A | N/A         | \$150.00    | \$150.00 Flat rate     |
| Meeting Rooms<br>\$45.00 Deposit   | N/A | N/A         | \$50.00     | \$100.00 First 2 hours |
|                                    | N/A | N/A         | \$15.00     | \$40.00 Extra hours    |
| Friday set up 8am-12pm             | N/A | N/A         | TBD         | \$100.00 Flat rate     |
| Ball field:                        | N/A | N/A         | N/A         | \$40.00 First 2 hours  |
|                                    | N/A | N/A         | N/A         | \$15.00 Extra hours    |
| Lights Hr:                         | N/A | N/A         | \$30.00     | \$60.00                |
| Pavilion:<br>\$40.00 Deposit       | N/A | N/A         | \$25.00     | \$50.00 First 2 hours  |
|                                    | N/A | N/A         | \$10.00     | \$15.00 Extra hours    |
| Park restroom deposit              | N/A | N/A         | \$ 40.00    | \$ 40.00 Flat rate     |
| Staff Fee per Hour:                | TBD | \$20 PER HR | \$20 PER HR | \$20 PER HR            |

CATEGORIES

1. City sponsored activities and use by departments and divisions of the City of Beaumont.
2. Local schools.
3. Civic groups; non-profit organizations, clubs and associations; other governmental agencies.
4. Wedding, receptions, and private parties. Commercially sponsored activities; use by business, groups, associations or individuals for any type of profit-making activity or event.

CITY OF BEAUMONT FACILITY REQUEST  
WORK OUT FORM

LOCATION CRC FACILITY Gym

FIRST 2 HRS \$ 120 8.5 hrs. \*THIS IS ONLY A WORK SHEET AND DOES NOT RENT FACILITY\*

ADD. HRS \$ 240

KITCHEN \$ 150.

SET UP 3 hrs \$ 160. \*RATES ARE SUBJECT TO CHANGE, BEFORE PERMIT IS SIGNED\*

STAFF FEES \$ 170.

SUB TOTAL \$ 860.

DEPOSIT \$ 500.00

TOTAL \$ 1,360.00

STAFF INT. ##

3-6 Fri  
set up  
8-4:30  
Sat  
event

Set up  
\$160.  
3 hrs.



ROTARY CLUB OF  
BEAUMONT-CHERRY VALLEY

January 22, 2020

City Council  
City of Beaumont  
550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223

Dear Sirs:

We respectfully request a waiver of fees for the use of Chatigny Center on March 6, 2020 from 3:00 pm to 6:00 pm and March 7, 2020 from 8:00 am to 4:30 pm. This is for the annual Celebrate Reading and the Arts event sponsored by the Rotary Club of Beaumont-Cherry Valley. A worksheet is attached which indicates that \$1,360.00 would be the amount requested for the waiver for a category 3 organization.

We appreciate your consideration in approving this matter.

Sincerely,

A handwritten signature in cursive script that reads "Mary F. Brubaker".

Mary F. Brubaker, Executive Secretary/Treasurer

P.O. BOX 3006, BEAUMONT, CA 92223

RENTAL RATES

| CATEGORY:                          | 1   | 2           | 3           | 4                      |
|------------------------------------|-----|-------------|-------------|------------------------|
| Auditorium/gym<br>\$500.00 Deposit | N/A | N/A         | \$120.00    | \$220.00 First 2 hours |
|                                    | N/A | N/A         | \$40.00     | \$100.00 Extra hours   |
| Kitchen:                           | N/A | N/A         | \$150.00    | \$150.00 Flat rate     |
| Meeting Rooms<br>\$45.00 Deposit   | N/A | N/A         | \$50.00     | \$100.00 First 2 hours |
|                                    | N/A | N/A         | \$15.00     | \$40.00 Extra hours    |
| Friday set up 8am-12pm             | N/A | N/A         | TBD         | \$100.00 Flat rate     |
| Ball field:                        | N/A | N/A         | N/A         | \$40.00 First 2 hours  |
|                                    | N/A | N/A         | N/A         | \$15.00 Extra hours    |
| Lights Hr:                         | N/A | N/A         | \$30.00     | \$60.00                |
| Pavilion:<br>\$40.00 Deposit       | N/A | N/A         | \$25.00     | \$50.00 First 2 hours  |
|                                    | N/A | N/A         | \$10.00     | \$15.00 Extra hours    |
| Park restroom deposit              | N/A | N/A         | \$ 40.00    | \$ 40.00 Flat rate     |
| Staff Fee per Hour:                | TBD | \$20 PER HR | \$20 PER HR | \$20 PER HR            |

CATEGORIES

1. City sponsored activities and use by departments and divisions of the City of Beaumont.
2. Local schools.
3. Civic groups; non-profit organizations, clubs and associations; other governmental agencies.
4. Wedding, receptions, and private parties. Commercially sponsored activities; use by business, groups, associations or individuals for any type of profit-making activity or event.

CITY OF BEAUMONT FACILITY REQUEST  
WORK OUT FORM

LOCATION ORC FACILITY Gym

FIRST 2 HRS \$ 120

ADD. HRS \$ 260

KITCHEN \$ 150

SET UP \$ 160

STAFF FEES \$ 170

SUB TOTAL \$ \$660

DEPOSIT \$ 500.00

TOTAL \$ 1,360.00

STAFF INT: ##

\*THIS IS ONLY A WORK SHEET  
AND DOES NOT RENT FACILITY\*

\*RATES ARE SUBJECT TO CHANGE,  
BEFORE PERMIT IS SIGNED\*

3-6 Pm  
Setup  
8-4:30  
Set  
event.

160  
WS





**Staff Report**

**TO:** Mayor, and City Council Members  
**FROM:** Todd Parton, City Manager  
**DATE:** February 4, 2020  
**SUBJECT:** Request for Facility and Staff Fee Waiver – Soroptimist International of Beaumont-Banning

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**Background and Analysis:**

The Soroptimist International of Beaumont-Banning has submitted a request for consideration of waiving facility and staff fees for their annual bunco fundraiser event held at the Beaumont Civic Center on Saturday, March 28, 2020. This is an evening event that is attended by nearly 100 residents, with set up beginning that afternoon.

The use of the Civic Center gymnasium requires a \$500 deposit which is requested to be waived. Additionally, facility use fees total \$710, including staff fees and the use of the kitchen and it is also requested that they be waived.

**Fiscal Impact:**

Total amount requested for waiver is \$1,210.

**Recommended Action:**

- Consider waiver of facility use and staff fees requested by Soroptimist International of Beaumont-Banning in the amount of \$710, and
- Consider waiver of a \$500 deposit for the use of the gymnasium at the Beaumont Civic Center.

**Attachments:**

- A. Special Event Permit Application
- B. Fee Waiver Request



# City of Beaumont

550 East Sixth Street  
Beaumont, Ca 92223

Phone: (951)769-8520 Fax: (951)769-8526

## SPECIAL EVENT PERMIT APPLICATION - CITY OF BEAUMONT

**APPLICANT** (Organization Conducting Event)  
 ORGANIZATION: Seroptimist International of Beaumont-Banning  
 ADDRESS: PO Box 324 CITY/STATE: Beaumont ZIP: 92223  
 TEL: (909) 790-8010 FAX: ( ) — EMAIL: paulabeeme@yahoo.com

YES  NO  Is this a non-profit organization? If yes, provide tax identification number  
 YES  NO  Can members of the general public join this organization?

**EVENT CONTACTS**  
 PRIMARY'S NAME: Paula Christante EMAIL: paulabeeme@yahoo.com  
 ADDRESS: 8760 Camino Del Norte CITY/STATE: Cherry Valley ZIP: 92223  
 DAY TEL: 909 760-8010 ALTERNATE TEL: (951) 840-6974 FAX: —  
 ALTERNATE CONTACT: Kathy Wagner EMAIL: wagtermom@yahoo.com  
 ADDRESS: 38061 Kehl Canyon Rd CITY/STATE: Cherry Valley ZIP: 92223  
 DAY TEL: 951 845 2754 ALTERNATE TEL: 951 845-4729 FAX: —

**FOR THE OFFICE OF CULTURAL AFFAIRS COORDINATED EVENTS ONLY:**  
 Website: \_\_\_\_\_  
 Public Information Contact Name: \_\_\_\_\_ Public Information Contact Phone#: ( )

**GENERAL EVENT INFORMATION**  
 EVENT NAME: Bunco  
 TYPE: (Parade, Festival, Run, Ceremony, ect.): Bunco Game  
 LOCATION: Check and complete all applicable lines  
 On the Downtown Parade Route (STREET)  
 In the Downtown Festival Site (STREET)  
 In a City park.....Name of Park(s): \_\_\_\_\_  
 On a Paseo or Plaza.....Name of Paseo or Plaza(s): \_\_\_\_\_  
 On a City street.....Name of street(s): \_\_\_\_\_  
 On private property.....Event location address: Beaumont Civic Center  
 Assessor's parcel number(s) of event location: \_\_\_\_\_

**BEGIN SETUP:** Date: 3/27 Time of Day: 9 am/pm Indicate when you will take possession of the event site to begin event setup

| ACTUAL EVENT DAY/DATE(S):   | TIME OF DAY:                                       | Est. Daily Attendance |
|-----------------------------|--|-----------------------|
| <u>3/28/2020 - Saturday</u> | (Start) <u>3:00</u> am/pm (End) <u>10:00</u> am/pm | <u>100</u>            |
| _____                       | (Start) _____ am/pm (End) _____ am/pm              | _____                 |
| _____                       | (Start) _____ am/pm (End) _____ am/pm              | _____                 |

Number of attendees by age: Youth (under 18): \_\_\_\_\_ Adult: 100 Total attendance: \_\_\_\_\_  
 Number of attendees present during the most crowded period of event: 100

**FINAL CLEANUP:** Date: 3/28/20 Time of Day: 10:00 am/pm Indicate when the event site will be completely cleaned & reopened for normal use

City Office Use Only:

SPECIAL EVENT PERMIT APPLICATION - CITY OF BEAUMONT

**EVENT DESCRIPTION**

|                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <b>YES</b>                          | <b>NO</b>                           |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Was this event held last year? If yes, where <u>Bentley 48</u> Attendance? <u>100</u>                |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Is this a Charitable fundraiser? If yes, for what cause: <u>Scholarships &amp; grants for women</u>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Is there an attendance fee? Fee per person: \$ <u>30</u> Fee collected in advance? <u>yes</u>        |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Is this event open to the public?  |
| <input type="checkbox"/>            | <input type="checkbox"/>            | Will there be any areas within the event that will be for private use only? (Example:VIP area, ect.) |

**MANDATORY ATTACHMENTS:** Required to be submitted with every application. Reference page ii for instructions.

**EVENT NARRATIVE:** Please provide a description of the event theme, purpose, schedule of activities, entertainment, food, beverages (including alcohol), cleanup plan, ect.

**SITE DIAGRAM:** For activities on public and private property: a detailed drawing depicting the proposed layout, including the location of booths, tables, stages, fences, dumpsters, signage, portable toilets and all other event equipment. For any activity on private property: diagram must also show all marked parking spaces, adjacent streets, residential units, and indicate the linear feet from the event boundary to streets and residences.

**ROUTE MAP:** For parades, runs, walks and races on public streets or sidewalks: a map of the proposed route, route, start and finish points, direction of movement and proposed street closures including the specific lane(s) requiring closure.

**SPECIFIC EVENT INFORMATION**

|                                     |                                     |   |
|-------------------------------------|-------------------------------------|---|
| <b>YES</b>                          | <b>NO</b>                           |   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Will any equipment be used on the event site? (Examples: fence, tent, canopy, table, chair, stage, trash container, dumpster, booth, amplified sound system, musical instruments, carnival ride, parade float, portable toilet, ect.) |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Will the event require the closure of any public street or traffic lane?  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Will there be any food and/or beverages prepared, sold or served at the event?  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Will there be sales of any kind?  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Will there be any activity connected to the event? (Examples: live animal display, parachute jump).   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Do you require any City services? (Examples: traffic control, tow zone, street barricades, electrical power, ect.)  |

If you answered NO to all of the questions in this section, you have completed this application. Sign the Declaration below, attach the Mandatroy Site Diagram or Route Map and submit your application.  
If you answered YES to ANY of the questions in this section, please complete the remainder of this application.

**DECLARATION**

As the authorized representative of the applicant, I hereby declare that:

- The information contained in this application and attachment(s) is true, complete and to the best of my knowledge.
- Applicant agrees to defend, indemnify and hold harmless City, its officers, agents and employees from and against any and all claims, demands, causes of action, or liabilities incurred by City, its officers, agents, or employees, arising from Applicant's acts or omissions under this Agreement or any act of omission of the Applicant's permission or invitation of Applicant, except as may arise from the negligence or willful misconduct of City, its officers, agents, contractors, or employees. In any action or claim against City in which Applicant is defending City, City shall have the right to approve legal counsel providing City's defense and such approval shall not be reasonably withheld.
- Applicant has received and understands the information contained in the Special Events Guidelines and will adhere to required arrangements listed within these Guidelines.
- Applicant will pay for actual costs of any City services provided for your event within 30 days from receipt of City invoice.
- No copyrighted musical or visual arts composition shall be performed or played, weather amplified, televised, in the form of a mechanical recording or personal rendition, or otherwise in connection with any use of City property, unless the Applicant shall have first obtained all approvals and paid any license fee or other fee required by the copyright owner. Without limitation of any other provision, Applicant's indemnification of City as set forth in a permit or authorization to conduct an event, shall include indemnifying and saving City harmless from and against any and all liability or responsibility whatsoever for any infringement of an/or other violation of the right of any such copyright owner under any copyright law.
- Applicant will provide access to the City's Special Event recycling service provider at a level of service established by the Director of Environmental Services or his/her designee if the following conditions are met: the event occurs on a City street or on a City-owned site, facility or public park and has an average daily attendance of at least 1,000 persons.

Signature Gina M. Houston Date 11/4/19  
 Print Name Gina M. Houston Title TREASURER  
 Business Name Subscriptionist Tel (409) 609-5512 Email gina.houston@yahoo.com

**For Private Property Event,** a letter from the property owner (or an agent authorized by the owner) must be included with this application. The letter should be on company letterhead acknowledging their approval of the event, knowledge of the date, time and activities scheduled to take place. Contact information (address, email and phone) for this individual should be included in the letter.

SPECIAL EVENT PERMIT APPLICATION - CITY OF BEAUMONT

**ADDITIONAL EVENT INFORMATION**

**Equipment / Source of Power**

|   |                                     |  |
|---|-------------------------------------|--|
| <b>YES</b>  | <b>No</b>                           |  |
| 1. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will the event be fenced? ..... Do you want the City to provide fencing? YES: _____ NO: _____  |
| 2. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will there be parade floats?   |
| 3. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will there be a tent or canopy? ..... If yes, date being erected: _____ Size(s): _____   |
| 4. <input checked="" type="checkbox"/>                          | <input type="checkbox"/>            | Will amplified sound equipment be used?  |
| 5. <input checked="" type="checkbox"/>                          | <input type="checkbox"/>            | Will electrical power be used...Do you want the City to provide electrical power? Yes: _____ NO: _____   |
| 6. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will a generator be used?  |
| 7. <input checked="" type="checkbox"/>                          | <input type="checkbox"/>            | Will there be a stage?..... If yes, date being set up: _____ Removal date: _____   |
| 8. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will heaters be used?..... If yes, indicate heater type: _____   |
| 9. <input type="checkbox"/>                                     | <input checked="" type="checkbox"/> | Will there be booths?.....if yes, complete the following information:<br># of sales booths: _____ # of non-sales booths: _____ Total booths: _____<br>Booth setup date: _____ Setup time: _____ Booth removal date: _____ Removal time: _____<br>Vendor arrival date: _____ Arrival: _____ |
| 10. Total tables that will be set up (outside of booths): _____ |                                     |  |

**Food and Beverage**

|   |                                     |   |
|---|-------------------------------------|---|
| <b>YES</b>  | <b>NO</b>                           |   |
| 11. <input checked="" type="checkbox"/>   | <input type="checkbox"/>            | Will alcohol be sold or served?..... If yes, Beer? _____ Wine? _____ Other? _____ |
| 12. <input checked="" type="checkbox"/>   | <input type="checkbox"/>            | Will there be food preparation?   |
| 13. <input type="checkbox"/>  | <input checked="" type="checkbox"/> | Will there be cooking booths?   |
| 14. Indicate all cooking methods: Electrical appliance: <input checked="" type="checkbox"/> _____ Liquid fuel device: _____<br>Wood/Charcoal BBQ: _____ Deep Fryer: _____ |                                     |   |

**Sales**

|   |                                     |   |
|---|-------------------------------------|---|
| <b>YES</b>                              | <b>NO</b>                           |   |
| 15. <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | Will any items be sold?   |
| 16. <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Will vehicles be sold?  |
| 17. <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Are you requesting a Vendor Zone? <b>Applicable to Downtown events only - this controls vendor carts around your event.</b> |

**Traffic and Parking Control**

|                              |                                     |   |
|------------------------------|-------------------------------------|---|
| <b>YES</b>                   | <b>NO</b>                           |   |
| 18. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will you require a "No Parking" tow zone?   |
| 19. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will you require a traffic control officer?   |
| 20. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are you requesting that any public street or traffic lane be closed for your event? |

**Miscellaneous Activities**

|                              |                                     |   |
|------------------------------|-------------------------------------|---|
| <b>YES</b>                   | <b>NO</b>                           |   |
| 21. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be a circus or carnival?   |
| 22. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be fireworks/pyrotechnics?   |
| 23. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be aircraft or a parachute jump?   |
| 24. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be live animals?   |
| 25. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be items that produce extra trash/litter (flyers, box lunches, ect.)?<br>Describe: _____ |
| 26. <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will there be any other type of activity not listed here?<br>Describe: _____                        |

Additional information describing above responses: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

SPECIAL EVENT PERMIT APPLICATION - CITY OF BEAUMONT

APPROVAL

1. Community service \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

Date is avail and on calendar - 10-4-19 ~~###~~

2. Police (Chief of Designee) \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

3. Fire \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

4. Planning \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

5. Public works



CERTIFICATE OF LIABILITY INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement.

PRODUCER Pacific Ag Insurance-Corcoran 1320 Whitley Avenue Corcoran, CA 93212 JP Holeman
INSURED Scroptimist (CLUBS) International of the Americas 1709 Spruce St Suite 101 Philadelphia, PA 19103
CONTACT NAME: Joanna Acosta
PHONE (A/C, No, Ext): 559-584-3391
FAX (A/C, No): 559-584-6262
E-MAIL ADDRESS: Joannaa@pacificaginsurance.com
INSURER(S) AFFORDING COVERAGE: NOVA Casualty Company

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Table with columns: INSR LTR, TYPE OF INSURANCE, ADDL SUBR INSD, WVD, POLICY NUMBER, POLICY EFF (MM/DD/YYYY), POLICY EXP (MM/DD/YYYY), LIMITS. Rows include Commercial General Liability, Automobile Liability, Umbrella Liability, and Workers Compensation.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Social Services General Liability extra endorsement applies as per form AGL09340717
Event Name & Date:

CERTIFICATE HOLDER CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE Joanna Acosta

**NOTEPAD:**

HOLDER CODE  
INSURED'S NAME Soroptimist {CLUBS}

SOROP-4  
OP ID: JA

Date 03/22/2019

The Social Services General Liability Endorsement Applies as follows:  
The rating for this endorsement includes the following special events:  
(1) All indoor special events with less than 2,500 attendees that are less than 24 hours in duration;  
and  
(2) All outdoor special events with less than 2,500 attendees that are less than 24 hours in duration.  
b. The following special events shall be separately rated for additional premium:  
(1) Any special event that exceeds the number or attendees or duration as shown in 3.a.(1) or 3.a.(2) above;  
(2) Any parade, fair or carnival; or  
(3) Any athletic, sporting or motor vehicle event including walks, runs, tournaments, demonstrations, rallies or competitive activities.

RENTAL RATES

| CATEGORY:                          | 1   | 2           | 3           | 4                      |
|------------------------------------|-----|-------------|-------------|------------------------|
| Auditorium/gym<br>\$500.00 Deposit | N/A | N/A         | \$120.00    | \$220.00 First 2 hours |
|                                    | N/A | N/A         | \$40.00     | \$100.00 Extra hours   |
| Kitchen:                           | N/A | N/A         | \$150.00    | \$150.00 Flat rate     |
| Meeting Rooms<br>\$45.00 Deposit   | N/A | N/A         | \$50.00     | \$100.00 First 2 hours |
|                                    | N/A | N/A         | \$15.00     | \$40.00 Extra hours    |
| Friday set up 8am-12pm             | N/A | N/A         | TBD         | \$100.00 Flat rate     |
| Ball field:                        | N/A | N/A         | N/A         | \$40.00 First 2 hours  |
|                                    | N/A | N/A         | N/A         | \$15.00 Extra hours    |
| Lights Hr:                         | N/A | N/A         | \$30.00     | \$60.00                |
| Pavilion:<br>\$40.00 Deposit       | N/A | N/A         | \$25.00     | \$50.00 First 2 hours  |
|                                    | N/A | N/A         | \$10.00     | \$15.00 Extra hours    |
| Park restroom deposit              | N/A | N/A         | \$ 40.00    | \$ 40.00 Flat rate     |
| Staff Fee per Hour:                | TBD | \$20 PER HR | \$20 PER HR | \$20 PER HR            |

CATEGORIES

1. City sponsored activities and use by departments and divisions of the City of Beaumont.
2. Local schools.
3. Civic groups; non-profit organizations, clubs and associations; other governmental agencies.
4. Wedding, receptions, and private parties. Commercially sponsored activities; use by business, groups, associations or individuals for any type of profit-making activity or event.

CITY OF BEAUMONT FACILITY REQUEST  
WORK OUT FORM

LOCATION City hall FACILITY Gym

FIRST 2 HRS \$ 120.  
 ADD. HRS \$ 200.  
 KITCHEN \$ 50.00  
 SET UP \$ 100.00  
 STAFF FEES \$ 140.  
 SUB TOTAL \$ 710.00  
 DEPOSIT \$ 500.00

\*THIS IS ONLY A WORK SHEET  
AND DOES NOT RENT FACILITY\*

\*RATES ARE SUBJECT TO CHANGE,  
BEFORE PERMIT IS SIGNED\*

TOTAL \$ 1,210.00  
 STAFF INT. HH





Soroptimist International Beaumont/Banning  
P.O. Box 324  
Beaumont, CA 92223

October 4, 2019

To Whom It May Concern,

Soroptimist International is a Non-Profit Organization (EIN 95-6095401). We work hard in our community to raise money to help support women and girls who are trying to make a difference in their own lives. Our biggest fundraiser of the year is our annual Bunco night. We would be grateful if you would consider waiving the fee for the Civic Center where we hold our Bunco night. The proceeds from the event will furnish Scholarships to much deserving women in our community.

Thank you so much for your consideration,

Ginny Huston  
Treasurer  
(661) 609-5512  
Soroptimist International Beaumont/Banning



**Staff Report**

**TO:** Mayor, and City Council Members  
**FROM:** Nicole Wheelwright, Deputy City Clerk  
**DATE** February 4, 2020  
**SUBJECT: Request for Destruction of Retention Met Records**

---

**Background and Analysis:**

As set forth in the Records Retention Schedule, adopted by City Council on October 2, 2018, certain records have met their retention and are no longer required to be kept on file. An on-going audit of records is being conducted, in which each file of records is being evaluated for retention status based on the contents. Records retention of each file is based on the document with the longest retention. Once a file has met its retention requirement it can be submitted for request of destruction and must be approved by the City Attorney, City Manager, City Clerk and brought to Council for final approval by way of resolution.

The attached request of destruction of certain records has met all approval requirements and is being presented for final approval by Council.

**Fiscal Impact:**

No fiscal impact.

**Recommended Action:**

Waive the full reading and adopt by title only, "A Resolution of the City of Beaumont Authorizing Destruction of Certain Records in Accordance with the Records Retention Schedule Adopted by City Council."

**Attachments:**

- A. Resolution

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION OF THE CITY OF BEAUMONT AUTHORIZING  
DESTRUCTION OF CERTAIN RECORDS IN ACCORDANCE  
WITH THE RECORDS RETENTION SCHEDULE ADOPTED BY  
CITY COUNCIL**

**WHEREAS**, on October 2, 2018 the City Council of the City of Beaumont (“City”) adopted Resolution No. 2018-51 entitled A Resolution of the City Council of the City of Beaumont, California, adopting a Records Retention Schedule, Authorizing Destruction of Certain City Records and Rescinding Resolutions 2012-01 and 1997-24; and

**WHEREAS**, the City’s Records Retention Schedule (“Schedule”) establishes a records management system which is a systematic control over the creation, acquisition, processing, use, protection, storage, and final disposition of all recorded information required by a municipal government to effectively conduct its business; and

**WHEREAS**, as set forth in the Schedule, City staff recommends that the documents described in Exhibit “A” attached hereto be authorized for destruction.

**NOW, THEREFORE, BE IT RESOLVED**, that the City of Beaumont authorizes that staff dispose of the documents described in Exhibit “A” attached hereto as authorized in the City of Beaumont’s Records Retention Schedule.

**MOVED, PASSED AND ADOPTED** this 4th day of February 2020.

AYES:

NOES:

ABSTAIN:

ABSENT:

**APPROVED:**

\_\_\_\_\_  
Rey Santos, Mayor

**ATTEST:**

\_\_\_\_\_  
Steven Mehlman, City Clerk

**APPROVED AS TO FORM:**

\_\_\_\_\_  
John O. Pinkney, City Attorney

**Exhibit A**  
**Request for Destruction of Records**



CITY OF BEAUMONT

To: City Clerk
From: Department Head
Subject: Request for Destruction of Records

I am requesting approval to destroy the records listed below because they have met the retention as specified in the City of Beaumont Retention Schedule. The records are not the subject of any claim, litigation, investigation, or audit.

Department Head (with signature)

Date 1/29/2020

Table with 4 columns: DATE OF LAST ACT COMPLETED IN FOLDER, DESCRIPTION OF RECORD(S), TOTAL RETENTION, RETENTION CODE NO. It lists 9 records with dates ranging from 1995 to 2002 and retention codes of CC-011.

|            |   |                                       |         |
|------------|---|---------------------------------------|---------|
| 2004       | Correspondence to DOT regarding time extension for Transit Center Acquisition 1001-13-01                  | Minimum of 2 years/no longer required | CC-011  |
| 06/10/2004 | Correspondence to DOT regarding 2003 Triennial Performance Audit 1001-12-01                               | Minimum of 2 years/no longer required | CC-011  |
| 01/23/1996 | June 1995 and 1995 Transit Audited Financial Statements 1001-04-03  | 5 Years                               | FIN-006 |
| 05/23/1994 | Staff Report – Parking on 4 <sup>th</sup> Street 1001-03-02   | Minimum of 2 years/no longer required | CC-011  |
| 02/03/1993 | Interoffice memo- Transmittal to Traffic Court Judge 1001-03-11   | Minimum of 2 years/no longer required | CC-011  |
| 02/26/1996 | Staff Report – Approval of Beaumont and Brookside Traffic Signal 1001-03-03                               | Minimum of 2 years/no longer required | CC-011  |
| 12/23/1996 | Staff Report – Proposals for Design of Rail System and Sewer System 1001-04-01                            | Minimum of 2 years/no longer required | CC-011  |
| 12/22/1994 | Memo regarding Five Year CIP Certification Maintenance 1001-04-02   | Minimum of 2 years/no longer required | CC-011  |
| 04/21/1997 | Correspondence from RCTC regarding Measure A 5 year projections 1001-04-02                                | Minimum of 2 years/no longer required | CC-011  |
| 09/24/1996 | Correspondence to Union Pacific regarding petition for at-grade crossing 1001-04-05                       | Minimum of 2 years/no longer required | CC-011  |
| 11/27/1996 | Correspondence to RCTC regarding Reso in support of High Speed Rail 1001-04-06                            | Minimum of 2 years/no longer required | CC-011  |
| 1999       | Staff Report – Joint Transit Operation Grant 1001-04-07   | Minimum of 2 years/no longer required | CC-011  |
| 06/05/2000 | Staff Report – SRTP for FY00-06 1001-04-09  | Minimum of 2 years/no longer required | CC-011  |
| 11/21/2000 | Correspondence to Banning re Regional Transit Study 1001-04-11  | Minimum of 2 years/no longer required | CC-011  |
| 06/12/2001 | Staff Report – SRTP FY02-08 1001-04-13  | Minimum of 2 years/no longer required | CC-011  |
| 08/11/2009 | Correspondence from OVC Holdings re pre-annexation and development agreement SunCal Oak Valley 1001-07-01 | Minimum of 2 years/no longer required | CC-011  |
| 04/29/2003 | 2002/2003 Staff Report – Transit Short Range Transit Plan 1001-05-20                                      | Minimum of 2 years/no longer required | CC-011  |

|            |  |   |        |
|------------|--|---|--------|
| 06/12/2001 | Staff Report – FY98-00 Triennial Performance Audit of Transit 1001-05-14 | Minimum of 2 years/no longer required       | CC-011 |
| 03/06/2002 | Correspondence requesting Public Hearing Notice 1001-05-15               | Minimum of 2 years/no longer required       | CC-011 |
| 03/11/2002 | Staff Report – Transit Fleet Maintenance Dept. Overview 1001-05-16       | Minimum of 2 years/no longer required       | CC-011 |
| 04/29/2002 | Staff Report – Pass Area Transit Plan                                    | Minimum of 2 years/no longer required       | CC-011 |
| 06/04/2002 | Program Supplement/Amendment State Funded Transit Projects 1001-05-19    | Minimum of 2 years/no longer required       | CC-011 |
| 08/02/2002 | Proof of Newspaper Publications 410-05-01                                | 2 Years                                     | CC-002 |
| 05/07/1994 | CDBG Grant B-94-UC-06-0506 406-01-01                                     | Minimum of 5 years, after audit if required | AD-012 |
| 06/25/1993 | Milestones Report – County-Wide Projects 406-01-02                       | Minimum of 5 years, after audit if required | AD-012 |
| 06/16/1993 | CDBG 93-94 Objectives and Project Use of Funds 406-01-03                 | Minimum of 5 years, after audit if required | AD-012 |
| 09/13/1994 | CDBG 1993 406-01-04  | Minimum of 5 years, after audit if required | AD-012 |
| 06/28/1995 | Maintenance of Effort Certification Statement – Measure A RAR-95-03      | Minimum of 5 years, after audit if required | AD-012 |
| 08/11/1995 | Industrial Infrastructure Development Project RAR-95-05                  | Minimum of 5 years, after audit if required | AD-012 |
| 08/28/1996 | FY 97-01 Measure A Capital Improvement Plan RAR-96-01                    | Minimum of 5 years, after audit if required | AD-012 |
| 01/09/1991 | CDBG Supp Agreement 1992-1993 406-01-04                                  | Minimum of 5 years, after audit if required | AD-012 |
| 12/07/1994 | CDBG correspondence 406-01-06  | 2 Years                                     | AD-001 |



|            |   |   |        |
|------------|---|---|--------|
| 07/24/1995 | 1995-96 CDBG Agreement 406-01-07                                    | Minimum of 5 years, after audit if required | AD-012 |
| 08/31/1995 | 1995-96 CDBG Supplemental Agreement 406-01-08                       | Minimum of 5 years, after audit if required | AD-012 |
| 02/26/1996 | 1996-97 CDBG Supplemental Agreement 406-01-09                       | Minimum of 5 years, after audit if required | AD-012 |
| 11/26/1996 | 1997-99 CDBG Agreement 406-01-10                                    | Minimum of 5 years, after audit if required | AD-012 |
| 06/24/1996 | Comprehensive Grant Program Application 406-01-11                   | Minimum of 5 years, after audit if required | AD-012 |
| 02/11/1997 | 1997-98 CDBG Applications 406-01-12                                 | Minimum of 5 years, after audit if required | AD-012 |
| 05/15/1998 | 1997-98 CDBG Supplemental Agreement 406-01-13                       | Minimum of 5 years, after audit if required | AD-012 |
| 02/23/1999 | Proposal for CDBG Funds 406-01-14                                   | Minimum of 5 years, after audit if required | AD-012 |
| 06/18/1999 | Amended supplemental agreement for FY 1998-199 CDBG Funds 406-01-15 | Minimum of 5 years, after audit if required | AD-012 |
| 03/18/2003 | Application for CDBG funding for FY2003-2004 406-02-01              | Minimum of 5 years, after audit if required | AD-012 |
| 02/01/2005 | CDBG Milestone report -- December 2004 406-03-01                    | Minimum of 5 years, after audit if required | AD-012 |
| 05/16/2006 | Supplemental Agreement for CDBG FY2005-2006 406-04-01               | Minimum of 5 years, after audit if required | AD-012 |
| 01/09/2007 | Supplemental Agreement for CDBG funds for FY2006-2007 406-05-01     | Minimum of 5 years, after audit if          | AD-012 |

|            |  |  |        |
|------------|--|--|--------|
|            |  | required   |        |
| 05/15/1995 | Comprehensive Grant Program Statement 1995<br>410-02-01                          | Minimum of 5<br>years, after<br>audit if<br>required | AD-012 |
| 03/05/1997 | Application for Federal Assistance 1997  | Minimum of 5<br>years, after<br>audit if<br>required | AD-012 |
| 10/11/2002 | Legal Advertising 304-03-02  | 2 Years  | CC-002 |
| 12/10/2003 | Staff Report – Request to Purchase New Fire<br>Squad and Engine 302-08-01        | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 12/19/2006 | Staff Report – Authorization of Preparation of<br>Real Estate Purchase 302-10-01 | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 10/11/1994 | Correspondence regarding code violations<br>303-01-01                            | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 01/03/1995 | Correspondence regarding “The Stop and Look<br>Store” 303-01-02                  | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 01/03/1994 | Correspondence regarding Formation of<br>County Vector Control 303-02-01         | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 10/11/1991 | Correspondence regarding Graffiti Programs<br>303-03-01                          | Minimum of 2<br>years/no longer<br>required          | CC-011 |
| 06/25/2002 | Weed Abatement 2002 302-06-01  | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 08/17/1994 | Code Enforcement Case – 980 E 6 <sup>th</sup> St<br>303-05-02                    | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 09/11/1995 | Code Enforcement Case - 501 Maple Ave<br>303-05-03                               | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 08/26/1996 | Code Enforcement Case – 865 Chestnut Ave<br>303-05-04                            | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 08/26/1996 | Code Enforcement Case – 690 Edgar Ave<br>303-05-05                               | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 08/26/1996 | Code Enforcement case – 1160 Pennsylvania<br>Ave 303-05-06                       | Minimum of 2<br>years/no longer<br>required          | PD-026 |
| 02/24/1997 | Code Enforcement Case – 1097 Wellwood<br>Ave 303-05-08                           | Minimum of 2<br>years/no longer<br>required          | PD-026 |

|            |   |   |        |
|------------|---|---|--------|
| 02/24/1997 | Code Enforcement Case – 1085 California Ave<br>303-05-09          | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 01/10/2000 | Code Enforcement correspondence – 1085<br>Beaumont Ave 303-05-11  | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 04/26/2000 | Code Enforcement Case – 980 E 6 <sup>th</sup> St 303-<br>05-12    | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 07/27/1999 | Code Enforcement correspondence – 814 Elm<br>303-05-14            | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 08/29/2001 | Code Enforcement Case – 862 Maple 303-05-<br>15                   | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 06/03/2000 | Code Enforcement correspondence – 1314<br>Massachusetts 303-05-16 | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 11/19/2002 | Code Enforcement Case - 862 Maple 303-05-<br>17                   | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 03/16/2002 | Staff Report – Building Dept Activity Report<br>303-06-01         | Minimum of 2<br>years/no longer<br>required | CC-011 |
| 06/04/2002 | Code Enforcement Case – 1254 Palm Ave<br>303-07-01                | Minimum of 2<br>years/no longer<br>required | PD-026 |
| 09/13/2002 | Code Enforcement correspondence 303-08-01                         | Minimum of 2<br>years/no longer<br>required | PD-026 |

APPROVALS:

  
 \_\_\_\_\_  
 City Attorney

01/14/2020  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
 City Manager

\_\_\_\_\_  
 Date

I certify that such destruction meets the requirements of the City's Records Retention Schedule and all applicable requirements of State and Federal law and have been approved by City Council by Resolution No. \_\_\_\_\_

\_\_\_\_\_  
 City Clerk

\_\_\_\_\_  
 Date of Records Destruction



**Staff Report**

**TO:** Mayor, and City Council Members

**FROM:** Kristine Day, Assistant City Manager

**DATE:** February 4, 2020

**SUBJECT:** **Approval of the Assignment and Assumption of Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement between Lassen Development Partners, LLLP and MPLDII Inland Empire, LLC and Approval of the Assignment and Assumption of City of Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement between Lassen Development Partners, LLLP and MPLD II Inland Empire, LLC**

**Background and Analysis:**

Lassen Development Partners, LLLP and the City of Beaumont entered into an Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement in May 2018. Additionally, the City of Beaumont entered into a Facilities and Fee Credit Agreement with Lassen Development Partners, LLLP in June 2018. Lassen Development has requested the City of Beaumont approve the assignment of these agreements to MPLD II Inland Empire, LLC as provided for, and in accordance with the terms of the initial agreements. These assignments are conditioned upon the conveyance of the property from Lassen Development, LLLP to MPLD II Inland Empire, LLC.

**Fiscal Impact:**

No direct fiscal impact to the City. All staff and legal fees will be covered by the developer.

**Recommended Action:**

Staff recommends approval of the Assignment and Assumption of Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement between Lassen Development Partners, LLLP and MPLDII Inland Empire, LLC and Approval of the Assignment and Assumption of City of

Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement between Lassen Development Partners, LLLP and MPLD II Inland Empire, LLC.

**Attachments:**

- A. Assignment and Assumption of Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement
- B. Assignment and Assumption of City of Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement

**RECORDING REQUESTED BY  
AND WHEN RECORDED MAIL TO:**

Holly H. Fuller  
Golden Steves & Gordon LLP  
200 E. Basse Road, Suite 200  
San Antonio, Texas 78209

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**ASSIGNMENT AND ASSUMPTION OF IMPROVEMENT AND  
CREDIT/REIMBURSEMENT AGREEMENT TRANSPORTATION UNIFORM  
MITIGATION FEE AGREEMENT**

THIS ASSIGNMENT AND ASSUMPTION OF IMPROVEMENT AND CREDIT/REIMBURSEMENT AGREEMENT TRANSPORTATION UNIFORM MITIGATION FEE AGREEMENT (herein "**Agreement**") is entered into this \_\_ day of \_\_\_\_\_, 2020 by and between **LASSEN DEVELOPMENT PARTNERS, LLLP**, a Delaware limited liability limited partnership (herein "**Assignor Developer**") and **MPLD II INLAND EMPIRE, LLC**, a Delaware limited liability company ("**Assignee Developer**").

**Recitals**

A. The Assignor Developer and City of Beaumont ("**City**") have entered into an Improvement and Credit/Reimbursement Agreement Transportation Uniform Mitigation Fee Agreement dated May, 2018 ("**Credit Agreement**") concerning certain property more particularly described in the Credit Agreement (the "**Property**").

B. The Assignor Developer desires to assign its interest under the Credit Agreement to Assignee Developer, subject to the terms and conditions contained in this Agreement, if and when Assignee Developer acquires fee title to the Property (the "Effective Date").

C. Assignee Developer desires to assume all of the Assignor Developer's obligations and other terms and conditions under the Credit Agreement on the Effective Date.

**Agreements**

NOW, THEREFORE, THE ASSIGNOR DEVELOPER AND ASSIGNEE DEVELOPER HEREBY AGREE AS FOLLOWS:

1. The Assignor Developer assigns to Assignee Developer all of its right, title and interest in the Credit Agreement, on the Effective Date. Assignee Developer hereby assumes all

of the burdens and obligations of the “Developer” under the Credit Agreement with respect to the Property as of the Effective Date, and agrees to observe and fully perform all of the duties and obligations of the “Developer” under the Credit Agreement with respect to the Property, and to be subject to all the terms and conditions thereof, it being the express intention of both the Assignee Developer and Assignor Developer that, upon the conveyance of the Property from Assignor Developer to Assignee Developer, the Assignee Developer shall be substituted for the Assignor Developer as the "Developer" under the Credit Agreement.

2. Assignor Developer hereby agrees to indemnify Assignee Developer against and hold Assignee Developer harmless from any and all cost, liability, loss, damage or expense, including, without limitation, reasonable attorneys’ fees (each, a “**Claim**” and collectively “**Claims**”), accruing prior to the Effective Date and arising out of a default in Assignor Developer’s obligations under the Credit Agreement.

3. Assignee Developer hereby agrees to indemnify Assignor Developer against and hold Assignor Developer harmless from any and all Claims originating or relating to the period on or after the Effective Date and arising out of Assignee Developer’s obligations under the Credit Agreement.

4. If any litigation between Assignor and Assignee arises out of the obligations of the parties under this Agreement or concerning the meaning or interpretation of any provision contained herein, the losing party shall pay the prevailing party's costs and expenses of such litigation, including, without limitation, reasonable attorneys' fees.

5. All of the covenants, terms and conditions set forth herein shall be binding upon and shall inure to the benefit of the parties hereto and to their respective heirs, successors and assigns.

6. The City may rely upon this Agreement in consenting to the assignment of the Property hereunder; provided, that unless and until the City Council has duly adopted a resolution expressly consenting hereto, the assignment herein shall not be deemed a permitted assignment under the Credit Agreement, and the Assignee Developer shall not have the status of a recognized assignee under the Credit Agreement.

7. The effectiveness of this Agreement with respect to the Property is conditioned upon the conveyance of the Property from Assignor Developer to Assignee Developer and, if such sale does not occur by February 17, 2020, this Agreement shall be null and void.

[Signatures on Following Pages]

IN WITNESS HEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

**ASSIGNOR DEVELOPER:**

**LASSEN DEVELOPMENT PARTNERS, LLLP**, a Delaware limited liability limited partnership

By: Lassen Development Partners GP, LLC, a Delaware limited liability company, its general partner

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
  
Date: \_\_\_\_\_

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, 20\_\_ before me, \_\_\_\_\_, Notary Public, personally appeared \_\_\_\_\_, \_\_\_\_\_ of Lassen Development Partners GP, LLC, a Delaware limited liability company, general partner of LASSEN DEVELOPMENT PARTNERS, LLLP, a Delaware limited liability limited partnership, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_ (seal)



**ASSIGNEE DEVELOPER:**

**MPLD II INLAND EMPIRE, LLC,**  
a Delaware limited liability company

By: MPLD II REIT A,  
a Texas real estate investment trust,  
its sole member

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF TEXAS            §  
  §  
COUNTY OF BEXAR       §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_,  
20 \_\_\_\_, by \_\_\_\_\_, the \_\_\_\_\_ of MPLD II REIT A, a Texas real  
estate investment trust, the sole member of MPLD II INLAND EMPIRE, LLC, a Delaware limited  
liability company, on behalf of said entities.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

CONSENT OF CITY

The assignment provided for in the Agreement to which this Consent is attached is consented to by the City of Beaumont by City Council Resolution No. \_\_\_\_\_. No consent shall occur until such a Resolution is duly adopted by the City Council of the City of Beaumont. However, the City of Beaumont is not a party to nor bound by the Agreement or any provision of the Agreement at any time..

CITY OF BEAUMONT

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, 20\_\_ before me, \_\_\_\_\_,  
Notary Public, personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_ (seal)



**RECORDING REQUESTED BY  
AND WHEN RECORDED MAIL TO:**

Holly H. Fuller  
Golden Steves & Gordon LLP  
200 E. Basse Road, Suite 200  
San Antonio, Texas 78209

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**ASSIGNMENT AND ASSUMPTION OF CITY OF BEAUMONT HIDDEN  
CANYON AMENDED AND RESTATED  
FACILITIES AND FEE CREDIT AGREEMENT**

THIS ASSIGNMENT AND ASSUMPTION OF CITY OF BEAUMONT HIDDEN CANYON AMENDED AND RESTATED FACILITIES AND FEE CREDIT AGREEMENT (herein "**Agreement**") is entered into this \_\_\_ day of \_\_\_\_\_, 2020 by and between **LASSEN DEVELOPMENT PARTNERS, LLLP**, a Delaware limited liability limited partnership (herein "**Assignor Developer**") and **MPLD II INLAND EMPIRE, LLC**, a Delaware limited liability company ("**Assignee Developer**").

**Recitals**

A. The Assignor Developer and City of Beaumont ("**City**") have entered into a City of Beaumont Hidden Canyon Amended and Restated Facilities and Fee Credit Agreement dated June 19, 2018 ("**Credit Agreement**") concerning certain property more particularly described in the Credit Agreement (the "**Property**").

B. The Assignor Developer desires to assign its interest under the Credit Agreement to Assignee Developer, subject to the terms and conditions contained in this Agreement, if and when Assignee Developer acquires fee title to the Property (the "**Effective Date**").

C. Assignee Developer desires to assume all of the Assignor Developer's obligations and other terms and conditions under the Credit Agreement on the Effective Date.

**Agreements**

NOW, THEREFORE, THE ASSIGNOR DEVELOPER AND ASSIGNEE DEVELOPER HEREBY AGREE AS FOLLOWS:

1. The Assignor Developer hereby assigns to Assignee Developer all of its right, title and interest in the Credit Agreement, on the Effective Date. Assignee Developer hereby assumes all of the burdens and obligations of the "Property Owner" under the Credit Agreement with respect

to the Property as of the Effective Date, and agrees to observe and fully perform all of the duties and obligations of the "Property Owner" under the Credit Agreement with respect to the Property, and to be subject to all the terms and conditions thereof, it being the express intention of both the Assignee Developer and Assignor Developer that, upon the conveyance of the Property from Assignor Developer to Assignee Developer, the Assignee Developer shall become substituted for the Assignor Developer as the "Property Owner" under the Credit Agreement.

2. Assignor Developer hereby agrees to indemnify Assignee Developer against and hold Assignee Developer harmless from any and all cost, liability, loss, damage or expense, including, without limitation, reasonable attorneys' fees (each, a "Claim" and collectively "Claims"), accruing prior to the Effective Date and arising out of a default in Assignor Developer's obligations under the Credit Agreement.

3. Assignee Developer hereby agrees to indemnify Assignor Developer against and hold Assignor Developer harmless from any and all Claims originating or relating to the period on or after the Effective Date and arising out of Assignee Developer's obligations under the Credit Agreement.

4. If any litigation between Assignor and Assignee arises out of the obligations of the parties under this Agreement or concerning the meaning or interpretation of any provision contained herein, the losing party shall pay the prevailing party's costs and expenses of such litigation, including, without limitation, reasonable attorneys' fees.

5. All of the covenants, terms and conditions set forth herein shall be binding upon and shall inure to the benefit of the parties hereto and to their respective heirs, successors and assigns.

6. The City may rely upon this Agreement in consenting to the assignment of the Property hereunder; provided, that unless and until the City Council has duly adopted a resolution expressly consenting hereto, the assignment herein shall not be deemed a permitted assignment under the Credit Agreement, and the Assignee Developer shall not have the status of a recognized assignee under the Credit Agreement.

7. The effectiveness of this Agreement with respect to the Property is conditioned upon the conveyance of the Property from Assignor Developer to Assignee Developer and, if such sale does not occur by February 17, 2020, this Agreement shall be null and void.

[Signatures on Following Pages]

IN WITNESS HEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

**ASSIGNOR DEVELOPER:**

**LASSEN DEVELOPMENT PARTNERS, LLLP**, a Delaware limited liability limited partnership

By: Lassen Development Partners GP, LLC, a Delaware limited liability company, its general partner

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
  
Date: \_\_\_\_\_

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, 20\_\_ before me, \_\_\_\_\_, Notary Public, personally appeared \_\_\_\_\_, \_\_\_\_\_ of Lassen Development Partners GP, LLC, a Delaware limited liability company, general partner of LASSEN DEVELOPMENT PARTNERS, LLLP, a Delaware limited liability limited partnership, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_ (seal)

**ASSIGNEE DEVELOPER:**

**MPLD II INLAND EMPIRE, LLC,**  
a Delaware limited liability company

By: MPLD II REIT A,  
a Texas real estate investment trust,  
its sole member

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF TEXAS           §  
  §  
COUNTY OF BEXAR       §

This instrument was acknowledged before me on the \_\_\_\_ day of \_\_\_\_\_,  
20 \_\_\_\_, by \_\_\_\_\_, the \_\_\_\_\_ of MPLD II REIT A, a Texas real  
estate investment trust, the sole member of MPLD II INLAND EMPIRE, LLC, a Delaware limited  
liability company, on behalf of said entities.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_

CONSENT OF CITY

The assignment provided for in the Agreement to which this Consent is attached is consented to by the City of Beaumont by City Council Resolution No. \_\_\_\_\_. No consent shall occur until such a Resolution is duly adopted by the City Council of the City of Beaumont. However, the City of Beaumont is not a party to nor bound by the Agreement or any provision of the Agreement at any time. .

CITY OF BEAUMONT

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )  
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, 20\_\_ before me, \_\_\_\_\_,  
Notary Public, personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_ (seal)







## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Jeff Hart, Public Works Director  
**DATE:** February 4, 2020  
**SUBJECT:** **Cherry Avenue Street Improvement Project Acceptance**

---

### Background and Analysis:

On August 15, 2017, City Council approved a cooperative agreement between the City of Beaumont and Pardee Homes for the Cherry Avenue Street Improvement Project. (see Attachment A). At such time, the City agreed to the estimated shared cost of the improvements, not to exceed \$500,000. This reimbursement to Pardee Homes shall be provided as credits to future development funds, once the project is completed and accepted. These improvements are located west of Pardee Homes Tract 31468-6, and adjacent to the Cherry Avenue drainage channel. The improvements are between 8<sup>th</sup> St, and 450 feet north of Antonell Street.

The original conditions of approval for Tract 31468-6 required Pardee Homes to fully improve the east side of Cherry Avenue between the above-mentioned limits.

Recognizing the benefit of utilizing a single contractor and the need for improvements on the west side of Cherry Avenue, the City entered into a cooperative agreement with Pardee Homes to facilitate completion. These improvements included a new section of asphalt and aggregate base, curb and gutter, sidewalk, driveway approaches, drainage structures, and signing and striping.

Staff has verified the completion of the improvements and recommends that City Council approve and authorize the Mayor to sign the attached certificate of acceptance for the Cherry Avenue Street Improvement Project.

### Fiscal Impact:

Beaumont's share of the project is not to exceed \$500,000. Reimbursement for the project shall be provided as credits to future development impact fees. The cost of preparing this staff report is estimated to be \$450.

**Recommended Action:**

Approve and authorize the Mayor to sign the attached certificate of acceptance for the Cherry Avenue Street Improvement Project.

**Attachments:**

- A. Cooperative Agreement
- B. Certificate of Acceptance for the Cherry Avenue Street Improvement Project and street improvement plans

**When Recorded Return  
Original To:**

City of Beaumont  
550 East 6<sup>th</sup> Street  
Beaumont, CA 92223

**NO RECORDING FEE REQUIRED PER  
GOVERNMENT CODE SECTION 27383**

**CERTIFICATE OF ACCEPTANCE**

NOTICE is hereby given that the CITY OF BEAUMONT, 550 East 6<sup>th</sup> Street, Beaumont, California, 92223, a municipal corporation, is owner in fee of an easement in the property hereinafter described. Said owner hereby ACCEPTS the maintenance of **The Cherry Avenue Street Improvements** on the property hereinafter described and that was COMPLETED on January 22, 2020 by Pardee Homes, owner.

The property on which said work of improvement was completed in the City of Beaumont, County of Riverside, and State of California lying in Section(s) 5 Township 3 South, Range 1 West

\_\_\_\_\_  
Date

\_\_\_\_\_  
Ray Santos,  
Mayor of the City of Beaumont, CA

**VERIFICATION:**

I the undersigned am the Mayor of the City of Beaumont, the declaring of the foregoing Notice of Completion. I have read the said Notice of Completion and know the contents thereof: The same is true of my knowledge. I declare under penalty of perjury that the foregoing is true and correct.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Ray Santos,  
Mayor of the City of Beaumont, CA

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA  
COUNTY OF RIVERSIDE

On \_\_\_\_\_ before me, \_\_\_\_\_ Notary Public, personally appeared Ray Santos, MAYOR OF THE CITY OF BEAUMONT, CALIFORNIA, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

BY: \_\_\_\_\_  
NOTARY

(SEAL)

**COOPERATIVE AGREEMENT BETWEEN  
CITY OF BEAUMONT AND PARDEE HOMES  
FOR CHERRY AVENUE STREET IMPROVEMENTS PROJECT**

**1. PARTIES AND DATE**

- 1.1 This Cooperative Agreement (“AGREEMENT”) is made and entered into this 25 day of Sept, 2017, by and between the City of Beaumont (“CITY”), a municipal corporation organized under the laws of the State of California, with its principal address located at 550 E. 6<sup>th</sup> Street, Beaumont, California 92324 and Pardee Homes (“PARDEE”), a California corporation. CITY and PARDEE are sometimes referred to individually as “party” and collectively as “parties” herein.

**2. RECITALS**

- 2.1 Cherry Avenue is an existing street within the City Beaumont between 8<sup>th</sup> Street on the south and Antonell Street on the north. Cherry Avenue lies adjacent to and west of Tract 31468-6, developed by PARDEE, and adjacent to the Cherry Avenue drainage channel. A portion of the west side of Cherry Avenue is partially improved while the east side of Cherry Avenue is unimproved.
- 2.2 CITY and PARDEE have jointly determined that in addition to street improvements on the east side of Cherry Avenue as required for PARDEE’s development and in accordance with the initial Conditions of Approval for Tract 31468-6, certain improvements shall also be completed on the west side of Cherry Avenue at the expense of the CITY as further provided herein.
- 2.3 For purposes of this Agreement, “PROJECT” means improvements to the east and west sides of Cherry Avenue, including removal of asphalt paving, new asphalt paving, curb and gutters, sidewalks, driveway approaches, drainage structures, paved access road and other miscellaneous improvements, as shown in the Street Improvement Plans (“Street Improvement Plans”) for the improvements which have been previously prepared and approved by the CITY in May 2014 (CITY File #1990).

**NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:**

**3. TERMS**

**3.1 CITY OF BEAUMONT AGREES**

- 3.1.1 The Recitals to this Agreement are hereby incorporated herein by this reference.

- 3.1.2 The cost of the CITY-requested PROJECT improvements described in Section 3.1.7 (the "City Share") shall not exceed Five Hundred Thousand Dollars (\$500,000.00) unless the increased cost is the result of change orders approved by the Public Works Director. The actual costs incurred by PARDEE for such improvements shall apply against the \$8,109,831 in expenditures PARDEE has agreed to make in 2017 for "DIF Improvements" pursuant to its Settlement Agreement with the City dated February 7, 2017 ("Settlement Agreement") and the acquisition agreements to be entered into by the CITY and PARDEE pursuant to the Settlement Agreement ("Acquisition Agreements").
- 3.1.3 PARDEE shall receive credit against the CITY development impact fees in an amount equal to the actual costs of the City-requested PROJECT improvements described in Section 3.1.7 in accordance with the Settlement Agreement and Acquisition Agreements, and the entire PROJECT may be acquired by the CITY with proceeds of community facilities district special taxes and bonds in accordance with the terms of the Settlement Agreement and Acquisition Agreements.
- 3.1.4 To provide technical assistance for the PROJECT.
- 3.1.5 To issue no-fee permits and provide inspection for the PROJECT.
- 3.1.6 To review, comment on, and reasonably approve the design plans, specifications and estimates prior to PARDEE soliciting competitive bids for the construction of the PROJECT.
- 3.1.7 Specific CITY reimbursement responsibility items are limited to the associated costs of improvements performed by PARDEE to the west side of the PROJECT and a 20 foot wide by 450 foot asphalt concrete extension of PROJECT north of Antonell Street not to exceed the City Share as follows:

Environmental, design and engineering services allocable to the items below:

PROJECT improvements along the west side between Stations 10+00 to 15+70 as per the approved Street Improvement Plans -- graded overlay or remove and replace existing asphaltic concrete.

- Modify drive approaches.
- Replace curb and gutter as required.
- Construct standard CITY sidewalk.
- Relocate misc. mailboxes, etc.

Remove trees and shrubs within public right-of-way.

Construct a 20 foot wide 450 foot long four (4) inches over native soil asphaltic concrete access road from Station 46+69.80 north to 1337 Cherry Avenue.

3.1.8 To be responsible for the construction of curb returns and ramps at NW and SE corners of Cherry Avenue and 8<sup>th</sup> Street.

3.2 PARDEE HOMES AGREES

3.2.1 To provide or cause to provide environmental, design/engineering services to construct the PROJECT.

3.2.2 To procure a contractor to build the PROJECT in compliance with a competitive bid process acceptable to the Public Works Director.

3.2.3 To coordinate the PROJECT implementation with all affected parties.

3.2.4 In determining PROJECT costs, to keep accurate records and accounts relating to the PROJECT regarding contract costs, hours worked, equipment and supplies used, mileage and similar matters.

3.2.5 Provide public notice in advance of construction. Provide continuous notice to local homeowners as to scope and duration of construction.

3.2.6 It shall not be responsible for the curb returns and ramps at NW and SE corners of Cherry Avenue and 8<sup>th</sup> Street.

3.2.7 To accept responsibility for any and all costs and expenses for the PROJECT under this Agreement over and above the City Share.

3.2.8 The PROJECT shall be constructed and installed in a good and workman-like manner by or on behalf of PARDEE and in strict accordance with the Street Improvement Plans.

3.2.9 To expressly require in the contract(s) for construction of the PROJECT that the contractor(s) and subcontractor(s) comply with all of the applicable provisions of the Labor Code including, but not limited to, the wage and hour, prevailing wage, workers compensation, and various other labor requirements in Division 2, Part 7, Chapter 1, including Sections 1720 to 1740, 1770 to 1780, 1810 to 1815, 1860 and 1861, which provisions are specifically incorporated herein by reference as though set forth herein in their entirety.

3.2.10 Before the commencement of any work on the PROJECT, to obtain and require its contractor(s) or subcontractor(s) on the Project to obtain commercial general liability insurance (primary) of not less than \$2,000,000.00 per occurrence for all coverages and \$2,000,000.00 general aggregate. The CITY and its employees and agents shall be added as additional insureds. Coverage shall apply on a primary non-contributing basis in relation to any other insurance or self-insurance, primary or excess, available to the CITY or any employee or agent of the CITY. Coverage shall not be limited to the vicarious liability or supervisory role of any additional insured. Coverage shall contain no contractors' limitation endorsement. There shall be no endorsement or modification limiting the scope of coverage for liability arising from pollution, explosion, collapse, underground property damage or employment-related practices. Such insurance shall not prohibit PARDEE, and its employees or agents, from waiving the right of subrogation prior to a loss. PARDEE waives its right of subrogation against the CITY. Unless otherwise approved by the CITY, the required insurance shall be written by insurers authorized to do business in the State of California and with a minimum A.M. Best rating of "A, XV." Self-insurance shall not be considered to comply with these insurance specifications. Before commencing any work, PARDEE or its contractor(s) or subcontractor(s) shall obtain Worker's Compensation Insurance in an amount required by law and, failing to do so, the CITY may procure such insurance at the cost of PARDEE. PARDEE agrees to require all contractors and subcontractors who are required to build the PROJECT to purchase and maintain, before commencing any work, commercial general liability insurance as provided in this paragraph. PARDEE, before commencing any work shall, at its own expense, maintain comprehensive commercial general and automobile liability insurance issued by a California-admitted surety company with an A.M. Best rating of no less than "A, XV" for \$2,000,000 per occurrence. Coverage shall be for the entire duration of the permitted activities. Such liability insurance policy shall name, by endorsement, the City as an additional insured.

3.3 IT IS MUTUALLY AGREED AS FOLLOWS

- 3.3.1 PARDEE and/or its contractor(s) shall coordinate with the CITY to ensure adequate traffic control during the construction of the PROJECT.
- 3.3.2 Prior to the commencement of construction of the PROJECT, PARDEE shall ensure that the CITY and its officers and employees are named as additional insured persons for the liability insurance coverage for the PROJECT.
- 3.3.3 Ownership and title to all materials, equipment, and appurtenances installed as part of this agreement will automatically be vested with the



jurisdiction for which the improvements reside and no further agreement will be necessary to transfer ownership.

- 3.3.4 PARDEE shall defend, indemnify and hold the CITY and its officials, officers, employees, consultants, subcontractors, volunteers and agents free and harmless from any and all claims, demands, causes of action, costs, expenses, liability, loss, damage or injury, in law or equity, to property or persons, including wrongful death, to the extent arising out of or incident to any negligent acts, omissions or willful misconduct of the indemnifying party or its officials, officers, employees, consultants, subcontractors, volunteers and agents arising out of or in connection with the performance of this agreement, including without limitation, the payment of attorney's fees and other related costs and expenses.
- 3.3.5 This AGREEMENT may be executed in one or more counterparts. When a counterpart shall have been signed by each party hereto, each shall be deemed an original, but all of which constitute one and the same instrument.
- 3.3.6 This AGREEMENT contains the entire AGREEMENT of the parties with respect to the subject matter hereof and supersedes all prior negotiations, understandings or agreements. This AGREEMENT may only be modified by a writing signed by both parties.
- 3.3.7 The parties declare that each party has all requisite power and authority to conduct its business and to execute, deliver, and perform the AGREEMENT. Each party warrants that the individuals who have signed this AGREEMENT have the legal power, right, and authority to make this AGREEMENT and bind each respective party.
- 3.3.8 If any portion of this AGREEMENT is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

**3.4 NOTICES**

3.4.1 All notices required shall be sent by regular mail, postage prepaid and addressed as follows:

**CITY OF BEAUMONT**  
 Public Works Department  
 550 East 6<sup>th</sup> Street  
 Beaumont, CA 92223  
 Attention: Public Works Director


**PARDEE HOMES**  
 1250 Corona Pointe Court, #600  
 Corona, CA 92879  
 Attention: Jeff Chambers

**COOPERATIVE AGREEMENT BETWEEN  
CITY OF BEAUMONT AND PARDEE HOMES  
FOR CHERRY AVENUE STREET IMPROVEMENTS PROJECT**

**IN WITNESS WHEREOF**, the parties hereto have caused this Agreement to be executed by their authorized representatives on the date first written above.

**CITY OF BEAUMONT:**

**PARDEE HOMES:**

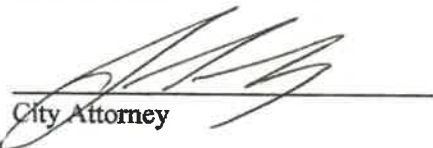
By:   
Lloya White, Mayor  
City of Beaumont

By:   
Jeff Chambers  
VP of Community Development

**Attest:**

By:   
Andreanna Pfeffer  
City Clerk

**Approved as to Form:**

By:   
City Attorney



## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Jeff Hart, Public Works Director  
**DATE:** February 4, 2020  
**SUBJECT:** **Acceptance of Irrevocable Offer of Dedication of Easement for Streetlight Maintenance and Acceptance of Streetlight Maintenance in the Four Seasons Community**

---

### Background and Analysis:

In August 2019, the City of Beaumont proposed a program to accept the streetlights in the gated community of Four Seasons. Upon City Council approval and acceptance, the City will be responsible for the maintenance and repairs for certain street lights within the gated community. Maintenance will be limited to the lights located along improved roadways dedicated for full common use. Staff has counted approximately 285 street lights for which it will accept (see Attachment A) within the gated community which include the following types:

- Single mission bell,
- Double mission bell,
- LED solar, and
- HPS lights.

City staff will be granted access to diagnose the source of the malfunction within the light or lighting system, and to make the necessary repairs which may include lamp, ballast, photo cell, contacts, batteries or solar panel. Maintenance will not occur in parking lots, privately maintained parks, mailbox lights, digital speed signs, or similar areas. The City shall not be financially responsible or liable for any damages to streetlight attached digital speed signs. Furthermore, the Four Seasons HOA has to agree in writing an offer of dedication granting an easement for the streetlight maintenance (see Attachment B).

The City will incur the monthly cost of the SCE pedestals that provide electricity to the streetlights, but limited only to the street light system.

**Fiscal Impact:**

The fiscal impact to the City is estimated to be \$250 per street light for which staff is initially anticipating 30 percent of the 285 total street lights for fiscal year 2019/20. The annual cost is estimated to be \$21,375 for repairs, and approximately \$6,100.00 annually in electrical costs which will be paid via existing CFD pay-go funds available within this area.

**Recommended Action:**

Approve the Irrevocable Offer of Dedication of Easement for Streetlight Maintenance, and  
Approve the Certificate of Acceptance of Streetlight Maintenance.

**Attachments:**

- A. Four Seasons Exhibit-Tract Maps
- B. Street Light Dedication-Certificate of Acceptance
- C. Letter from Four Seasons HOA

Recording Requested by and Please  
Return to:

This Space for Recorder's Use Only

No Documentary Transfer Tax Due: R & T Code 11922; No Recording Fee for Govt. Agency:  
Government Code 27383

**IRREVOCABLE OFFER OF  
DEDICATION  
(FOR STREET LIGHT MAINTENANCE)**

K. Hovnanian's Four Seasons at Beaumont  
Community Association, Inc. \_\_\_\_\_, the undersigned, being the present title owner(s) of  
record of the herein described parcels of land, does hereby make an irrevocable offer of dedication  
of easements to the **CITY OF BEAUMONT**, a municipal corporation of the State of California,  
and its successors or assigns, for the purpose of maintaining and repairing the street lights, and  
related poles, pedestals, fixtures, wiring and other improvements on, under and over the real  
property situated in the City of Beaumont, County of Riverside, State of California, described in  
**Exhibit "A"** attached hereto and incorporated herein.

It is understood and agreed that the **CITY OF BEAUMONT** and its successors or assigns shall  
incur no liability with respect to such offer of dedication, and shall not assume any responsibility  
for the offered parcels of land or any improvements thereon or therein, until such offer has been  
accepted by appropriate action of the **BEAUMONT** City Council.

The provisions hereof shall inure to the benefit of and binding upon heirs, successors, assigns, and  
personal representatives of the respective parties hereto.

**IN WITNESS WHEREOF**, these presents have executed this **IRREVOCABLE OFFER OF  
DEDICATION** as of the day of December, \_\_\_ 2019.

*Leonard Tavernetti*  
(Signature)

Print Name: Leonard Tavernetti

Title: President

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

Tract 32260, MAP BOOK AND PAGE(S) 374/95-103, Lots 291, 292, 293, 294, 295, 296, 297, 298, HH, II, JJ, KK, LL, MM, NN, OO, PP, QQ,RR, SS, TT, UU, W, WW, XX, YY, ZZ, AAA, BBB, CCC, DDD, EEE, FFF, GGG, HHH, III, JJJ, KKK, LLL, MMM, NNN, OOO, PPP, QQQ, RRR, SSS, TTT, UUU and VVV.

Tract 32260-1, MAP BOOK AND PAGE(S) 375/8-23 Lots H, K, L, M and N.

Tract 32260-2, MAP BOOK AND PAGE(S) 375/1-7, Lots G, H, I, J, K, L, M, N, O, P, Q and R.

Tract 33096, MAP BOOK AND PAGE(S) 437/65-70, Lots E, F, G, H, I and J.

Tract 33096-1, MAP BOOK AND PAGE(S) 412/46-58, Lots O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG and AH.

Tract 33096-2, MAP BOOK AND PAGE(S) 428/51-60, Lots R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR and AS.

Tract 33096-3, MAP BOOK AND PAGE(S) 419/70-93, Lots N, O, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK and AL.

Tract 33096-4, MAP BOOK AND PAGE(S) 422/25-32, Lots F, G, H, I, J, K, L, M and N.

Tract 33096-5, MAP BOOK AND PAGE(S) 446/67-79, Lots M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z and AA.

Tract 33096-6, MAP BOOK AND PAGE(S) 434/82-86, Lots G, H, I, J and K.

Tract 33096-7, MAP BOOK AND PAGE(S) 440/50-56, Lots J, K, L, M, N, O, P and Q.

Tract 33096-8, MAP BOOK AND PAGE(S) 441/27-31, Lots G, H, I and J.

Tract 33096-10, MAP BOOK AND PAGE(S) 434/77-81, Lots D and E.

Tract 33096-11, MAP BOOK AND PAGE(S) 435/89-94, Lots G, H, I and J.

Tract 33096-12, MAP BOOK AND PAGE(S) 451/87-101, Lots I, J, K, L, M, N, O, P and Q.

Tract 33096-13, MAP BOOK AND PAGE(S) 459/79-86, Lots A, B, C, D, E, F, G, H and I.

ACKNOWLEDGMENT  
OF NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
 ) SS.  
County of Riverside )

On Jan. 8th, 2020 before me, Rachel Stone, Notary Public, personally appeared Leonard Tavernetti who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

Notary Public



(Seal)

**CERTIFICATE OF ACCEPTANCE**

This is to certify that the interest in real property conveyed by the Offer of Dedication dated December \_\_\_\_, 2019 from \_\_\_\_\_, to the City of Beaumont, a municipal corporation, was accepted by the City Council of the City of Beaumont pursuant to resolution # \_\_\_\_\_ and the City of Beaumont consents to the recordation thereof by its duly authorized officer.

Dated: \_\_\_\_\_

By: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
, City Attorney





October 23, 2019

City Council  
c/o Todd Parton, City Manager  
City of Beaumont  
550 E. 6<sup>th</sup> Street  
Beaumont, CA 92223

Dear City of Beaumont:

The K. Hovnanian's Four Seasons at Beaumont Community Association, Inc., formally requests that the City of Beaumont maintain the streetlights on the streets in the community. The City of Beaumont had maintained these lights for approximately the last thirteen (13) years but stopped the maintenance of the streetlights earlier this year. The City Manager, Todd Parton, sought approval from the City Council to again maintain the streetlights which the Council approved pending a formal request from the Board. Please accept this letter as that official request to maintain the streetlights in the community with the understood conditions:

1. City maintenance is limited to those lights located along improved roadways dedicated for full common use;
2. City maintenance will not occur in parking lots, privately maintained parks, or other similar areas;
3. Streetlights to be maintained are not owned or maintained by So Cal Edison or other third party(ies);
4. Streetlights maintenance and repair is restricted to those that have been installed in accordance with City standards; and
5. Access easements must be provided that allow for City access, maintenance and repair.

If there are any questions or concerns please contact our General Manager, Eric Zarr, at 909.991.8337 or [Eric.Zarr@fsresidential.com](mailto:Eric.Zarr@fsresidential.com). We look forward to our continued relationship with the City of Beaumont.






Sincerely,

Leonard Tavernetti, Board President  
K. Hovnanian's Four Seasons at Beaumont Community Association, Inc.


# FOUR SEASONS DEVELOPEMENT STREETLIGHT MAINTENANCE TURNOVER

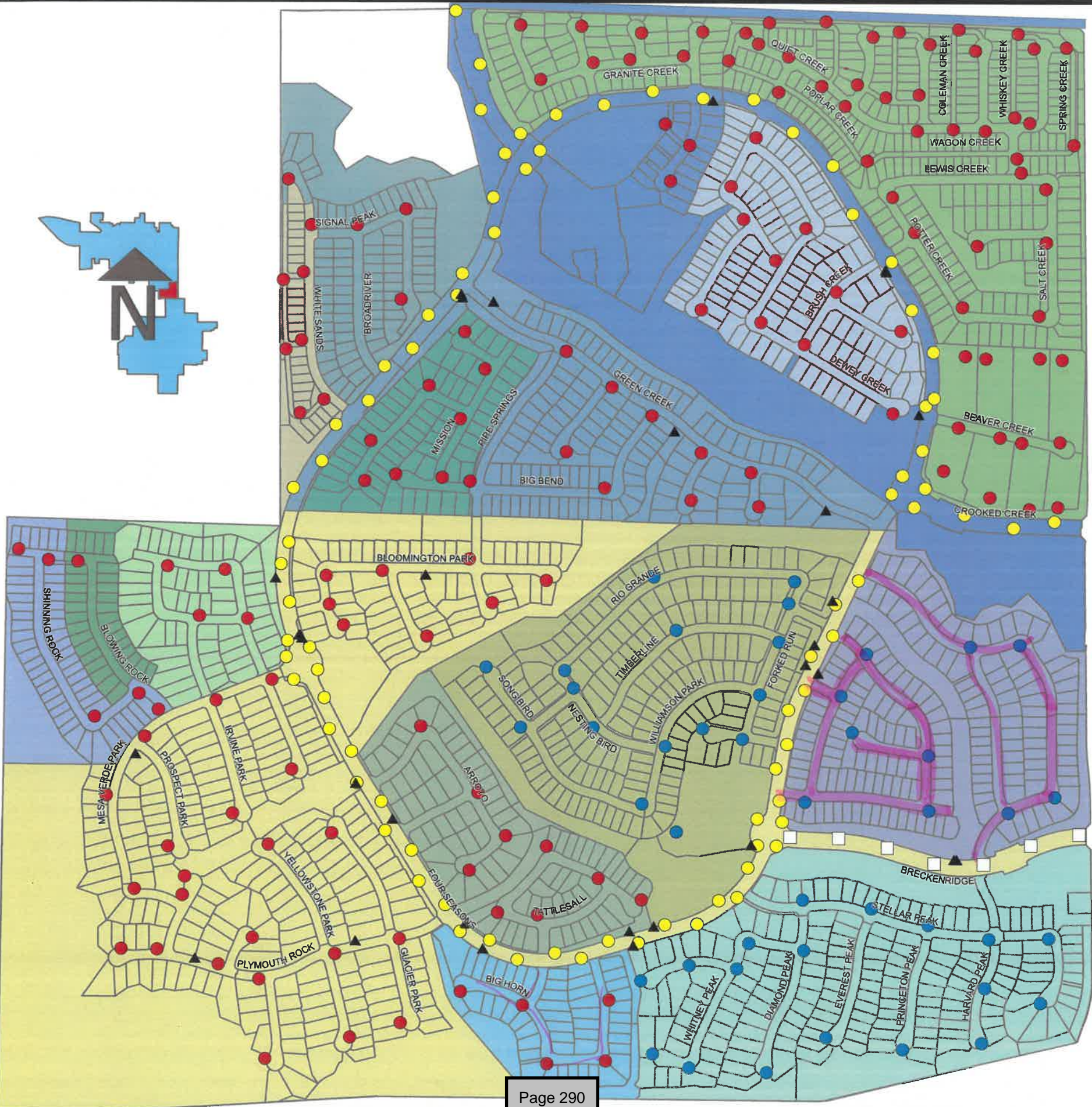
## LEGEND

### STREET LIGHTS

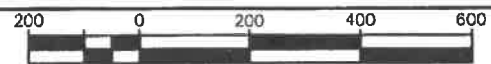
-  SINGLE BELL LIGHT POLE (81 Each)
-  DOUBLE BELL LIGHT POLE (7 Each)
-  LED LIGHT POLE - SOLAR (44 Each)
-  HPS LIGHT POLE (153 Each)
-  STREET LIGHT METER & PEDESTAL (33 Each)

### TRACT MAPS

-  32260
-  32260-1
-  32260-2
-  33096
-  33096-1
-  33096-2
-  33096-3
-  33096-4
-  33096-5
-  33096-6
-  33096-7
-  33096-8
-  33096-10
-  33096-11
-  33096-12
-  33096-13



**CITY OF BEAUMONT**  
Public Works Department  
550 E. 6th Street  
Beaumont, C A 92223  
(951) 769-8522  
BeaumontCa.gov



GRAPHIC SCALE  
SCALE: 1" = 200'

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

# TRACT NO. 32260

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 1 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.

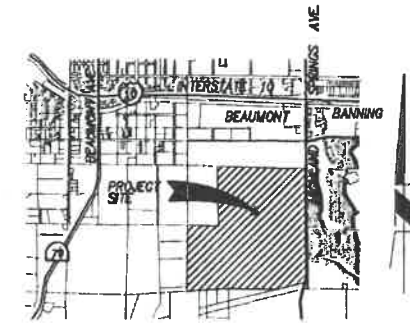
R.S. 50 / 18 - 19 FEBRUARY 2004



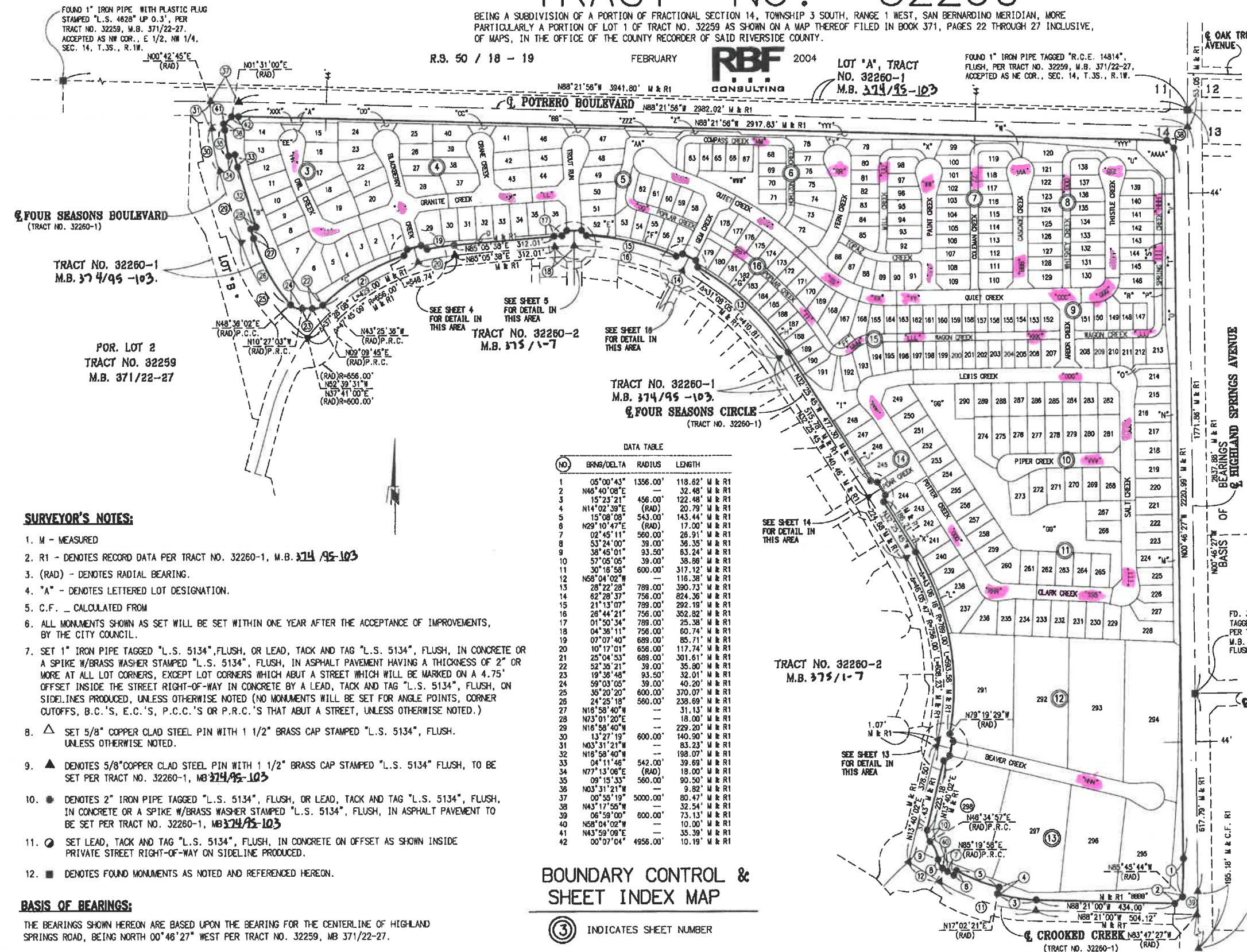
LOT "A", TRACT NO. 32260-1 M.B. 374/95-103

FOUND 1" IRON PIPE TAGGED "R.C.E. 14814", FLUSH, PER TRACT NO. 32259, M.B. 371/22-27, ACCEPTED AS NE COR., SEC. 14, T.3S., R.1W.

FOUND 1" IRON PIPE WITH PLASTIC FLUG STAMPED "L.S. 4628" UP 0.3", PER TRACT NO. 32259, M.B. 371/22-27, ACCEPTED AS NW COR., E 1/2, NW 1/4, SEC. 14, T.3S., R.1W.



VICINITY MAP  
N.T.S.



DATA TABLE

| NO. | BRNG/DELTA        | RADIUS   | LENGTH         |
|-----|-------------------|----------|----------------|
| 1   | 05°00'43"         | 1356.00' | 118.62' M & R1 |
| 2   | N46°40'08"E (RAD) | —        | 32.48' M & R1  |
| 3   | 15°23'21"         | 456.00'  | 122.48' M & R1 |
| 4   | N14°02'39"E (RAD) | —        | 20.79' M & R1  |
| 5   | 15°08'08"         | 543.00'  | 143.44' M & R1 |
| 6   | N29°10'47"E (RAD) | —        | 17.00' M & R1  |
| 7   | 02°45'11"         | 560.00'  | 26.91' M & R1  |
| 8   | 53°24'00"         | 39.00'   | 36.35' M & R1  |
| 9   | 38°45'01"         | 93.50'   | 63.24' M & R1  |
| 10  | 57°05'05"         | 39.00'   | 36.86' M & R1  |
| 11  | 30°16'58"         | 600.00'  | 317.12' M & R1 |
| 12  | N58°04'02"W       | —        | 116.38' M & R1 |
| 13  | 28°22'28"         | 789.00'  | 390.73' M & R1 |
| 14  | 62°28'37"         | 756.00'  | 824.36' M & R1 |
| 15  | 21°13'07"         | 789.00'  | 292.19' M & R1 |
| 16  | 26°44'21"         | 756.00'  | 362.62' M & R1 |
| 17  | 01°50'34"         | 789.00'  | 25.38' M & R1  |
| 18  | 04°36'11"         | 756.00'  | 60.74' M & R1  |
| 19  | 07°07'40"         | 689.00'  | 85.71' M & R1  |
| 20  | 10°17'01"         | 656.00'  | 117.74' M & R1 |
| 21  | 25°04'53"         | 689.00'  | 301.61' M & R1 |
| 22  | 52°36'21"         | 39.00'   | 35.80' M & R1  |
| 23  | 19°36'48"         | 93.50'   | 32.01' M & R1  |
| 24  | 59°03'05"         | 39.00'   | 40.20' M & R1  |
| 25  | 35°20'20"         | 600.00'  | 370.07' M & R1 |
| 26  | 24°25'18"         | 560.00'  | 238.69' M & R1 |
| 27  | N16°58'40"W       | —        | 31.13' M & R1  |
| 28  | N73°01'20"E       | —        | 18.00' M & R1  |
| 29  | N16°58'40"W       | —        | 229.20' M & R1 |
| 30  | 13°27'19"         | 600.00'  | 140.90' M & R1 |
| 31  | N03°31'21"W       | —        | 83.23' M & R1  |
| 32  | N16°58'40"W       | —        | 198.07' M & R1 |
| 33  | 04°11'46"         | 542.00'  | 39.69' M & R1  |
| 34  | N77°13'06"E (RAD) | —        | 18.00' M & R1  |
| 35  | 09°15'33"         | 560.00'  | 90.50' M & R1  |
| 36  | N03°31'21"W       | —        | 9.82' M & R1   |
| 37  | 00°58'19"         | 5000.00' | 80.47' M & R1  |
| 38  | N43°17'55"W       | —        | 32.54' M & R1  |
| 39  | 06°59'00"         | 600.00'  | 73.13' M & R1  |
| 40  | N58°04'02"W       | —        | 10.00' M & R1  |
| 41  | N43°59'08"E       | —        | 35.39' M & R1  |
| 42  | 00°07'04"         | 4956.00' | 10.19' M & R1  |

### SURVEYOR'S NOTES:

- M - MEASURED
- R1 - DENOTES RECORD DATA PER TRACT NO. 32260-1, M.B. 374/95-103
- (RAD) - DENOTES RADIAL BEARING.
- "A" - DENOTES LETTERED LOT DESIGNATION.
- C.F. - CALCULATED FROM
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS, BY THE CITY COUNCIL.
- SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134", FLUSH, ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
- △ SET 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, UNLESS OTHERWISE NOTED.
- ▲ DENOTES 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134" FLUSH, TO BE SET PER TRACT NO. 32260-1, M.B. 374/95-103
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT TO BE SET PER TRACT NO. 32260-1, M.B. 374/95-103
- SET LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE ON OFFSET AS SHOWN INSIDE PRIVATE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED.
- DENOTES FOUND MONUMENTS AS NOTED AND REFERENCED HEREON.

### BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE BEARING FOR THE CENTERLINE OF HIGHLAND SPRINGS ROAD, BEING NORTH 00°46'27" WEST PER TRACT NO. 32259, M.B. 371/22-27.

### BOUNDARY CONTROL & SHEET INDEX MAP

③ INDICATES SHEET NUMBER

TRACT NO. 22174  
M.B. 176/74-79

TRACT NO. 24730 M.B.  
220/9-12

TRACT NO. 24731 M.B.  
220/13-18

ACCEPTED AS E 1/4 COR.  
SEC. 14, T.3S., R.1W.  
PER TRACT NO. 32260-1,  
M.B. 374/95-103

374  
97

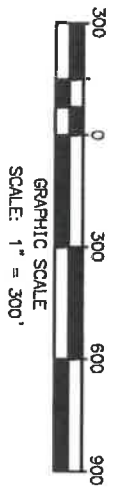
City

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**TRACT NO. 32260-1**

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOTS 1 AND 2 OF TRACT NO. 32259 AS SHOWN ON A MAP HEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



FEBRUARY, 2004



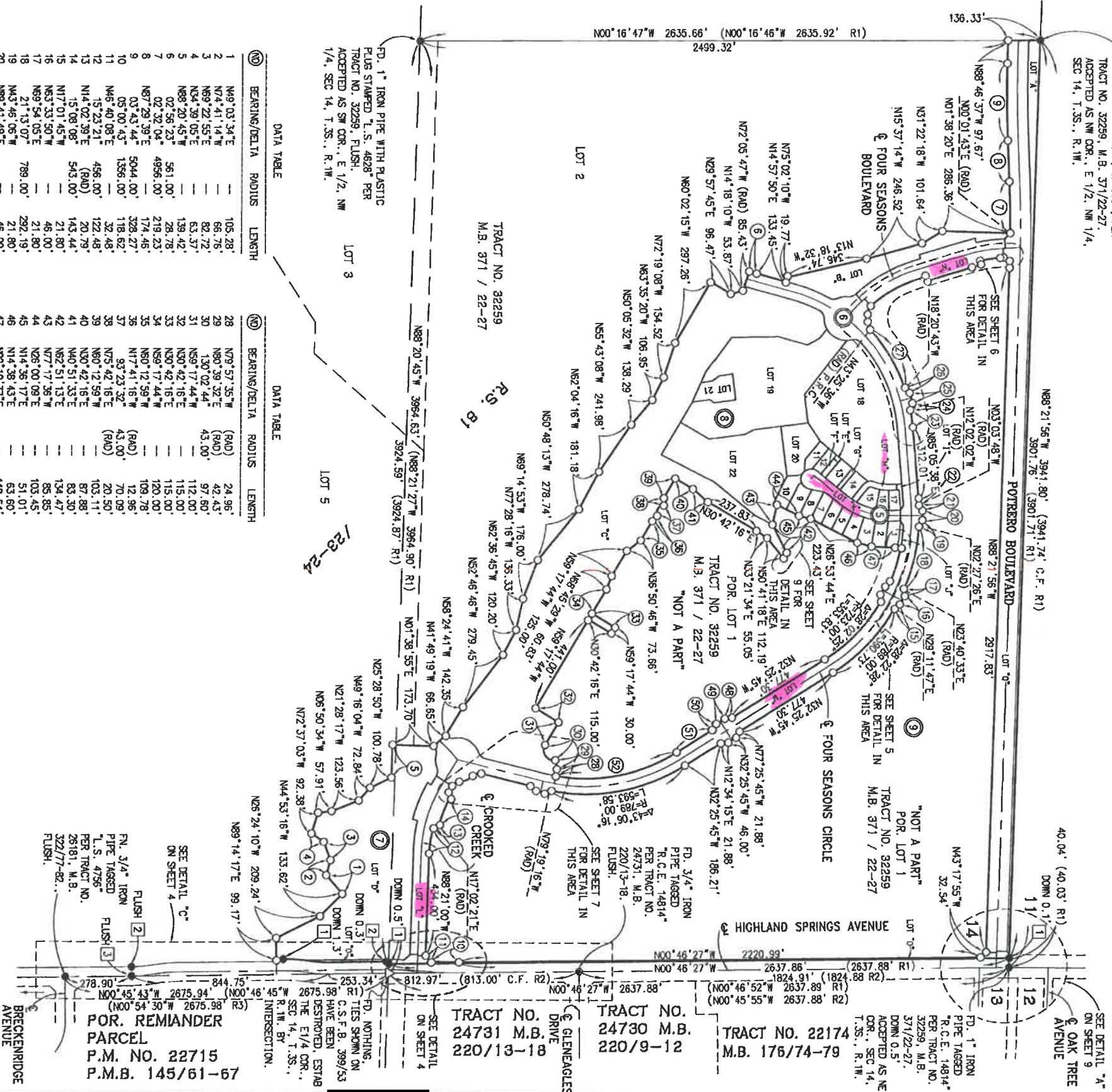
**BOUNDARY CONTROL & SHEET INDEX MAP**

INDICATES SHEET NUMBER

R.S. 50/18-19

SEE SHEET 3

SEE SHEET 3



DATA TABLE

| BEARING/Delta | RADIUS | LENGTH  |
|---------------|--------|---------|
| N69°03'34"E   | ---    | 105.28' |
| N74°41'14"W   | ---    | 66.76'  |
| N69°22'55"E   | ---    | 82.72'  |
| N34°39'05"E   | ---    | 63.37'  |
| N88°20'45"W   | ---    | 139.42' |
| 02°56'23"     | ---    | 28.78'  |
| 02°32'04"     | ---    | 219.23' |
| N67°29'39"E   | ---    | 174.46' |
| 03°43'44"     | ---    | 328.27' |
| 05°00'43"     | ---    | 118.62' |
| N46°40'08"E   | ---    | 32.48'  |
| 15°23'21"     | ---    | 456.00' |
| N14°02'39"E   | ---    | 20.79'  |
| 15°08'08"     | ---    | 543.00' |
| N17°01'45"W   | ---    | 143.44' |
| N69°54'05"E   | ---    | 46.00'  |
| N69°54'05"E   | ---    | 46.00'  |
| 21°13'07"     | ---    | 292.19' |
| N43°46'06"W   | ---    | 21.80'  |
| N89°41'49"E   | ---    | 46.00'  |
| N43°09'43"E   | ---    | 21.80'  |
| 01°50'34"     | ---    | 789.00' |
| 07°07'40"     | ---    | 23.38'  |
| N58°26'10"W   | ---    | 85.71'  |
| N74°48'37"E   | ---    | 46.00'  |
| N28°03'25"E   | ---    | 21.79'  |
| 25°04'53"     | ---    | 699.00' |
| ---           | ---    | 301.61' |

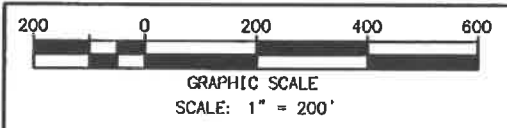
DATA TABLE

| BEARING/Delta | RADIUS | LENGTH  |
|---------------|--------|---------|
| N79°57'35"W   | (RAD)  | 24.96'  |
| N80°39'32"E   | (RAD)  | 42.43'  |
| 130°02'44"    | ---    | 97.60'  |
| N59°17'44"W   | ---    | 112.00' |
| N30°42'16"E   | ---    | 115.00' |
| N30°42'16"E   | ---    | 115.00' |
| N59°17'44"W   | ---    | 115.00' |
| N60°12'59"W   | ---    | 120.00' |
| N17°41'16"W   | ---    | 109.78' |
| N17°41'16"W   | ---    | 12.96'  |
| 93°23'32"     | (RAD)  | 70.09'  |
| N75°42'16"E   | ---    | 20.50'  |
| N80°12'59"W   | (RAD)  | 103.11' |
| N40°51'33"E   | ---    | 87.88'  |
| N40°51'33"E   | ---    | 83.30'  |
| N77°17'36"W   | ---    | 134.47' |
| N26°00'09"E   | ---    | 85.85'  |
| N14°36'17"E   | ---    | 103.45' |
| N14°36'17"E   | ---    | 51.01'  |
| N12°10'37"E   | ---    | 63.60'  |
| N12°34'15"E   | ---    | 112.54' |
| N22°25'45"W   | ---    | 21.88'  |
| N22°25'45"W   | ---    | 46.00'  |
| N22°25'45"W   | ---    | 21.88'  |
| 42°28'10"     | ---    | 186.21' |
| ---           | ---    | 535.91' |

NOTE:  
SEE SHEET 2 FOR VICINITY MAP, BOUNDARY CONTROL, SURVEYOR'S NOTES AND BASIS OF BEARINGS.

SEE SHEET 3

FOR REMAINDER PARCEL P.M. NO. 22715 P.M.B. 145/61-67

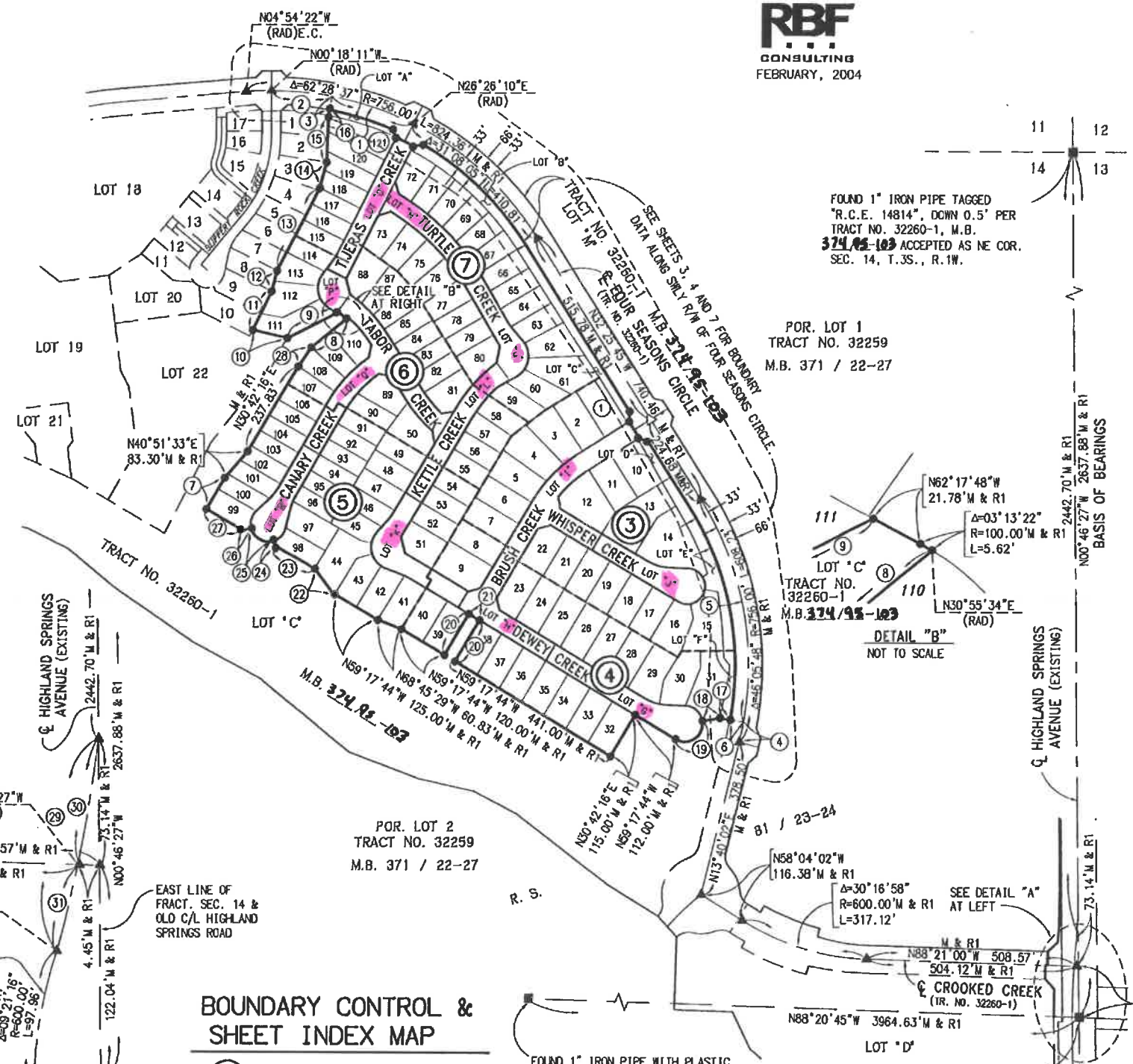
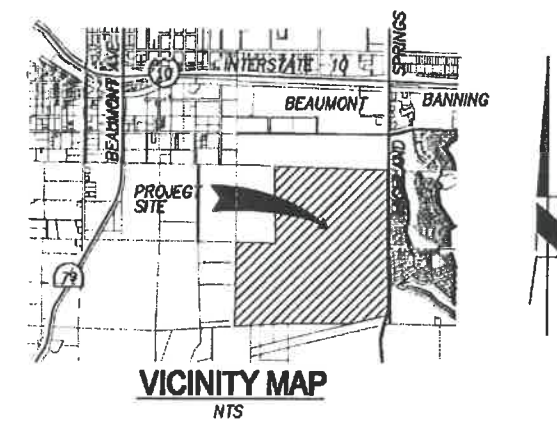


IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

SHEET 2 OF 7 SHEETS

# TRACT NO. 32260-2

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 1 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



FOUND 1" IRON PIPE TAGGED "R.C.E. 14814", DOWN 0.5' PER TRACT NO. 32260-1, M.B. 371/22-27. 371/22-27 ACCEPTED AS NE COR. SEC. 14, T.3S., R.1W.

POR. LOT 1 TRACT NO. 32259 M.B. 371 / 22-27

DETAIL "B" NOT TO SCALE

POR. LOT 2 TRACT NO. 32259 M.B. 371 / 22-27

### BOUNDARY CONTROL & SHEET INDEX MAP

③ INDICATES SHEET NUMBER

FOUND 1" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 4628" FLUSH, PER TRACT NO. 32260-1, M.B. 371/22-27. ACCEPTED AS SW COR. E 1/2, NW 1/4, SEC. 14, T.3S., R.1W.

FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, ACCEPTED AS E 1/4 COR. SEC. 14, T.3S., R.1W. PER TRACT NO. 32260-1, M.B. 371/22-27.

### SURVEYOR'S NOTES:

1. M - MEASURED.
2. ( ) - RECORD DATA.
3. R1 - DENOTES RECORD DATA PER TRACT NO. 32260-1, M.B. 371/22-27
4. (RAD) - RADIAL BEARING.
5. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS, BY THE CITY COUNCIL.
6. SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
7. △ SET 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, UNLESS OTHERWISE NOTED.
8. ▲ DENOTES 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134" FLUSH, TO BE SET PER TRACT NO. 32260-1, M.B. 371/22-27
9. ● DENOTES 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT TO BE SET PER TRACT NO. 32260-1, M.B. 371/22-27
10. ○ SET LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE ON OFFSET AS SHOWN INSIDE PRIVATE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED.
11. ■ DENOTES FOUND MONUMENTS AS NOTED AND REFERENCED HEREON.

### DATA TABLE

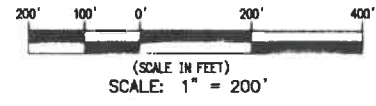
| (NO) | BEARING/DELTA     | RADIUS  | LENGTH  |
|------|-------------------|---------|---------|
| 1    | 15°36'28"         | 756.00' | 205.94' |
| 2    | 11°07'54"         | 756.00' | 148.88' |
| 3    | N10°49'43"E (RAD) | 33.00'  | 33.00'  |
| 4    | 03°37'37"         | 756.00' | 47.86'  |
| 5    | 42°28'11"         | 756.00' | 560.37' |
| 6    | N79°57'35"W (RAD) | 33.00'  | 33.00'  |
| 7    | N30°42'16"E       | 87.88'  | M & R1  |
| 8    | N50°41'18"E       | 112.19' | M & R1  |
| 9    | N62°51'13"E       | 134.47' | M & R1  |
| 10   | N77°17'36"W       | 85.85'  | M & R1  |
| 11   | N26°00'09"E       | 103.45' | M & R1  |
| 12   | N14°36'17"E       | 51.01'  | M & R1  |
| 13   | N26°53'44"E       | 223.43' | M & R1  |
| 14   | N14°38'43"E       | 63.60'  | M & R1  |
| 15   | N02°10'37"E       | 112.54' | M & R1  |
| 16   | N10°49'43"E (RAD) | 13.50'  | M & R1  |

### DATA TABLE

| (NO) | BEARING/DELTA     | RADIUS  | LENGTH         |
|------|-------------------|---------|----------------|
| 17   | N79°57'35"W (RAD) | 24.96'  | M & R1         |
| 18   | N80°39'32"E (RAD) | 42.43'  | M & R1         |
| 19   | 130°02'44"        | 43.00'  | 97.60' M & R1  |
| 20   | N30°42'16"E       | ---     | 115.00' M & R1 |
| 21   | N59°17'44"W       | ---     | 30.00' M & R1  |
| 22   | N36°50'46"W       | ---     | 73.66' M & R1  |
| 23   | N60°12'59"W       | ---     | 109.78' M & R1 |
| 24   | N17°41'16"W (RAD) | 12.96'  | M & R1         |
| 25   | 93°23'32"         | 43.00'  | 70.09' M & R1  |
| 26   | N75°42'16"E (RAD) | 20.50'  | M & R1         |
| 27   | N60°12'59"W       | ---     | 103.11' M & R1 |
| 28   | N33°21'34"E       | ---     | 55.05' M & R1  |
| 29   | 09°22'00"         | 600.00' | 98.09' M & R1  |
| 30   | 06°59'00"         | 600.00' | 73.13' M & R1  |
| 31   | 02°23'00"         | 600.00' | 24.96' M & R1  |

### BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE BEARING FOR THE CENTERLINE OF HIGHLAND SPRINGS ROAD, BEING NORTH 00°46'27" WEST PER TRACT NO. 32259, M.B. 371/22-27.



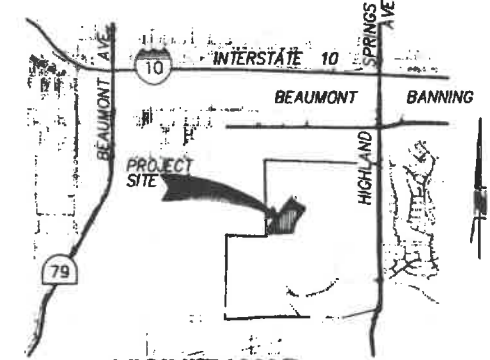
IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# TRACT NO. 33096

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY LOTS 115 THROUGH 121, AND LOTS "AI", "AJ" AND "AK" OF TRACT NO. 33096-1 AS SHOWN ON A MAP THEREOF FILED IN BOOK 412, PAGES 46 THROUGH 58 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



DATE OF SURVEY: DECEMBER, 2012



VICINITY MAP  
NOT TO SCALE

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE LINE BETWEEN STATIONS "TRAK" AND "MATH" (POSITIONS PER NATIONAL GEODETIC SURVEY, NAD83, EPOCH 1995.5) AS SHOWN ON A MAP FILED IN BOOK 102, PAGES 50 THROUGH 65 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 52°49'03" EAST.

**DATUM STATEMENT:**

COORDINATES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE 6, 1983 NAD (EPOCH 1995.50). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY THE GROUND DISTANCE SHOWN BY 0.9988872.

**SURVEYOR'S NOTES:**

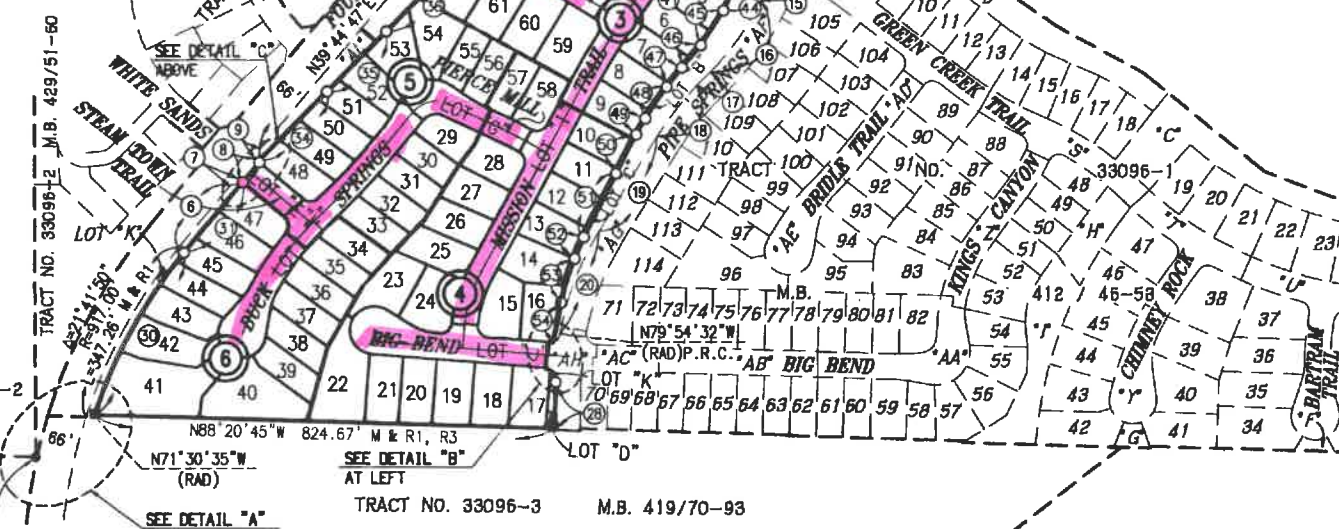
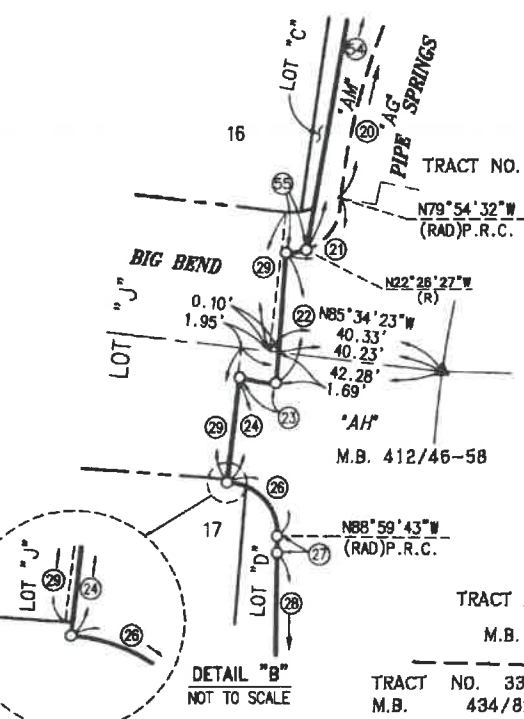
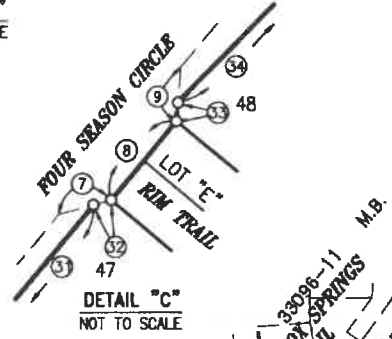
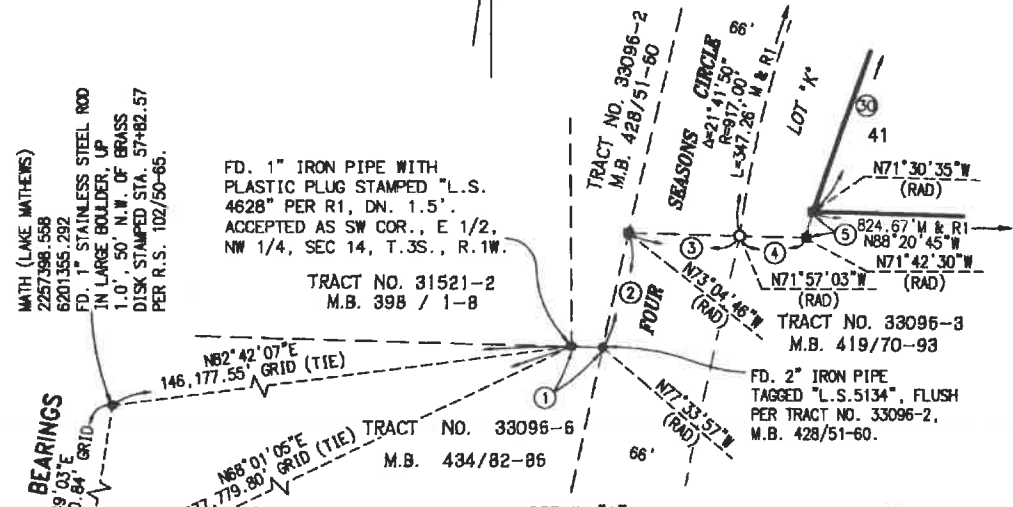
1. M - MEASURED
2. C.F. - CALCULATED FROM
3. O/S - OFFSET
4. ( ) - RECORD DATA
5. R1 - TRACT NO. 33096-1, M.B. 412/46-58
6. R2 - TRACT NO. 33096-2, M.B. 428/51-60
7. R3 - TRACT NO. 33096-3, M.B. 419/70-93
8. (RAD) - DENOTES RADIAL BEARING
9. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
10. SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A PRIVATE STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
11. O SET 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL TRACT BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
12. □ SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH.
13. ● DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON.
14. ■ DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
15. ▲ DENOTES FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT. NO. 33096-1, M.B. 412/46-58.
16. ▲ DENOTES FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT. NO. 33096-3, M.B. 419/70-93.
17. ⊙ DENOTES SET LEAD, TACK AND TAG "L.S. 5134", FLUSH IN CONCRETE ON OFFSET (O/S) AS NOTED INSIDE STREET RIGHT-OF-WAY ON SIDE LINES PRODUCED.
18. NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.

DATA TABLE

| NO | BEARING/DELTA | RADIUS  | LENGTH  |            |
|----|---------------|---------|---------|------------|
| 1  | N88°20'45"W   | ---     | 2.04'   | M & R2, R3 |
| 2  | 04°29'11"     | 983.00' | 76.97'  | M & R3     |
| 3  | N88°20'45"W   | ---     | 68.60'  | M & R1,R3  |
| 4  | N88°20'45"W   | ---     | 13.56'  | M & R1,R3  |
| 5  | 00°11'55"     | 904.00' | 3.13'   | M & R1,R3  |
| 6  | N39°44'47"E   | ---     | 143.95' | M & R1     |
| 7  | N74°44'18"E   | ---     | 24.41'  | M & R1     |
| 8  | N39°44'47"E   | ---     | 46.00'  | M & R1     |
| 9  | N04°45'16"E   | ---     | 24.41'  | M & R1     |
| 10 | N74°44'18"E   | ---     | 24.41'  | M & R1     |
| 11 | N50°15'13"W   | ---     | 171.94' | M & R1     |
| 12 | 24°26'49"     | 623.00' | 265.82' | M & R1     |
| 13 | 05°02'07"     | 477.00' | 41.92'  | M & R1     |
| 14 | 95°23'57"     | 20.00'  | 33.30'  | M & R1     |
| 15 | N25°44'02"E   | ---     | 40.05'  | M & R1     |
| 16 | 19°03'49"     | 477.00' | 158.71' | M & R1     |
| 17 | N44°47'51"E   | ---     | 31.68'  | M & R1     |
| 18 | 12°58'43"     | 523.00' | 118.47' | M & R1     |
| 19 | N31°49'08"E   | ---     | 198.65' | M & R1     |
| 20 | 21°43'40"     | 523.00' | 198.33' | M & R1     |

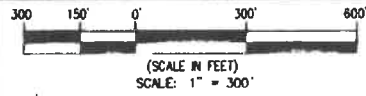
DATA TABLE

| NO | BEARING/DELTA | RADIUS   | LENGTH  |        |
|----|---------------|----------|---------|--------|
| 21 | 83°57'34"     | 20.00'   | 29.31'  | M & R1 |
| 22 | N04°03'02"E   | (R)      | 23.00'  | M & R1 |
| 23 | 00°22'32"     | 300.00'  | 1.97'   | M & R1 |
| 24 | N04°25'34"E   | (R)      | 23.00'  | M & R1 |
| 26 | 86°34'43"     | 20.00'   | 30.22'  | M & R1 |
| 27 | 00°23'47"     | 523.00'  | 3.62'   | M & R1 |
| 28 | N00°36'30"E   | ---      | 83.78'  | M & R1 |
| 29 | N04°25'37"E   | ---      | 23.00'  | M & R1 |
| 30 | 21°15'22"     | 904.00'  | 335.37' | M & R1 |
| 31 | N39°44'47"E   | ---      | 162.52' | M & R1 |
| 32 | N74°44'18"E   | ---      | 1.74'   | M & R1 |
| 33 | N04°45'16"E   | ---      | 4.07'   | M & R1 |
| 34 | N44°19'25"E   | ---      | 172.24' | M & R1 |
| 35 | N44°07'23"E   | ---      | 150.16' | M & R1 |
| 36 | N43°47'07"E   | ---      | 182.72' | M & R1 |
| 37 | N43°17'29"E   | ---      | 135.53' | M & R1 |
| 38 | N42°06'44"E   | ---      | 83.30'  | M & R1 |
| 39 | N51°01'25"W   | ---      | 81.42'  | M & R1 |
| 40 | 14°58'16"     | 1000.00' | 280.71' | M & R1 |
| 41 | N85°57'41"W   | ---      | 28.86'  | M & R1 |
| 42 | N70°57'44"W   | ---      | 39.94'  | M & R1 |
| 44 | N23°51'14"E   | ---      | 46.15'  | M & R1 |
| 45 | N32°48'18"E   | ---      | 74.24'  | M & R1 |
| 46 | N40°01'52"E   | ---      | 53.02'  | M & R1 |
| 47 | N38°50'17"E   | ---      | 44.40'  | M & R1 |
| 48 | 09°42'24"     | 401.00'  | 67.93'  | M & R1 |
| 49 | N29°07'53"E   | ---      | 33.03'  | M & R1 |
| 50 | N27°54'56"E   | ---      | 79.58'  | M & R1 |
| 51 | N27°15'10"E   | ---      | 127.46' | M & R1 |
| 52 | N23°10'10"E   | ---      | 41.41'  | M & R1 |
| 53 | 11°47'49"     | 401.00'  | 82.56'  | M & R1 |
| 54 | N11°22'21"E   | ---      | 72.72'  | M & R1 |
| 55 | 26°29'29"     | 20.00'   | 9.25'   | M & R1 |



**BOUNDARY CONTROL AND SHEET INDEX MAP**

③ INDICATES SHEET NUMBER



# IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. TRACT NO. 33096-1

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 2 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.

## BOUNDARY CONTROL MAP



FD. 1" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 4628", UP 0.3', PER R1 ACCEPTED AS NW COR., E 1/2, NW 1/4, SEC 14, T.3S., R.1W.

TRACT NO. 31521-1  
M.B. 397/100-106

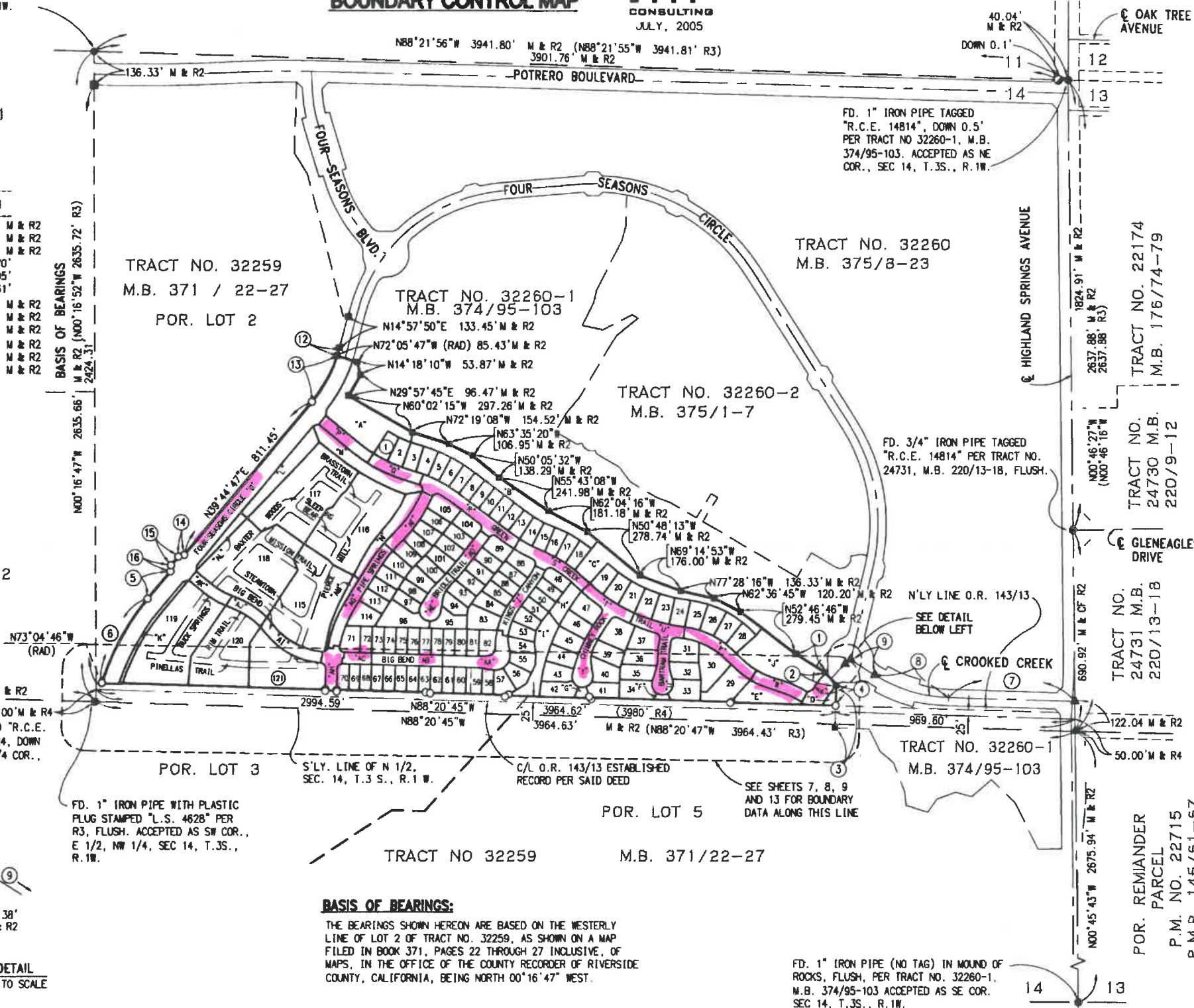
### DATA TABLE

| NO. | BRNG./DELTA | RADIUS         | LENGTH         |
|-----|-------------|----------------|----------------|
| 1   | N58°24'41"W | 142.35' M & R2 |                |
| 2   | N41°49'19"W | 66.65' M & R2  |                |
| 3   | N01°38'55"E | 173.70' M & R2 |                |
| 4   | N01°38'55"E | 83.70'         |                |
| 5   | N39°44'47"E | 143.95'        |                |
| 6   | 22°49'33"   | 983.00'        | 391.61'        |
| 7   | N88°21'00"W | 508.57' M & R2 |                |
| 8   | 30°16'58"   | 600.00'        | 317.12' M & R2 |
| 9   | N58°04'02"W | 116.38' M & R2 |                |
| 10  | N50°46'12"E | 7.04' M & R2   |                |
| 11  | 10°04'27"   | 594.00'        | 104.44' M & R2 |
| 12  | 02°56'23"   | 561.00'        | 28.78' M & R2  |
| 13  | 21°50'34"   | 561.00'        | 213.87'        |
| 14  | N74°44'18"E | 24.41'         |                |
| 15  | N39°44'47"E | 46.00'         |                |
| 16  | N04°45'16"E | 24.41'         |                |

BASIS OF BEARINGS

N00°16'47"W 2635.66' M & R2 (N00°16'52"W 2635.72' R3) 2424.31'

TRACT NO. 31521-2  
M.B. 398 / 1-8



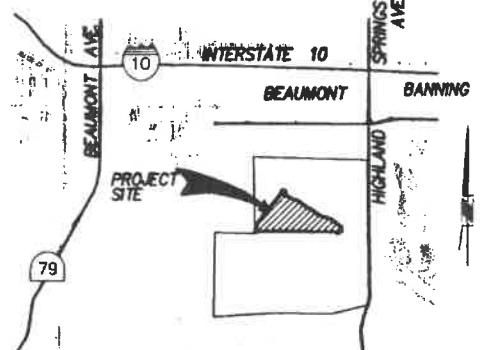
FD. 1" IRON PIPE TAGGED "R.C.E. 14814", DOWN 0.5' PER TRACT NO 32260-1, M.B. 374/95-103. ACCEPTED AS NE COR., SEC 14, T.3S., R.1W.

FD. 3/4" IRON PIPE TAGGED "R.C.E. 14814" PER TRACT NO. 24731, M.B. 220/13-18, FLUSH.

FD. 1" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 4628" PER R3, FLUSH. ACCEPTED AS SW COR., E 1/2, NW 1/4, SEC 14, T.3S., R.1W.

**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY LINE OF LOT 2 OF TRACT NO. 32259, AS SHOWN ON A MAP FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 00°16'47" WEST.

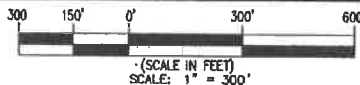
FD. 1" IRON PIPE (NO TAG) IN MOUND OF ROCKS, FLUSH, PER TRACT NO. 32260-1, M.B. 374/95-103 ACCEPTED AS SE COR. SEC 14, T.3S., R.1W.



VICINITY MAP  
NOT TO SCALE

### SURVEYOR'S NOTES:

- M - MEASURED
- C.F. - CALCULATED FROM
- O/S - OFFSET
- ( ) - RECORD DATA
- R1 - TRACT NO. 32259, M.B. 371/22-27
- R2 - TRACT NO. 32260-1, M.B. 374/95-103.
- R3 - TRACT NO. 31521-1, M.B. 397/100-106.
- R4 - O.R. 143/13 (RECORDED 09/28/1933).
- (RAD) - DENOTES RADIAL BEARING
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
- SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A PRIVATE STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
- SET 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL TRACT BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- SET 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134" IN ASPHALT, FLUSH.
- SET LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE ON 0.25' OFFSET INSIDE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED, UNLESS ANOTHER SPECIFIC OFFSET IS NOTED.
- SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH.
- DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON.
- DENOTES FOUND 1" IRON PIPE TAGGED "R.C.E. 12116" PER TRACT NO. 32260-1, M.B. 374/95-103.
- DENOTES FOUND 2" IRON PIPE IRON PIPE TAGGED "L.S. 5134" PER TRACT NO. 32260-1, M.B. 374/95-103.
- DENOTES FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 32260-1, M.B. 374/95-103.
- NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.



**SURVEYOR'S NOTES:**

1. M - MEASURED
2. C.F. - CALCULATED FROM
3. O/S - OFFSET
4. ( ) - RECORD DATA
5. R1 - TRACT NO. 32259, M.B. 371/22-27
6. R2 - TRACT NO. 32260-1, M.B. 374/95-103.
7. R3 - TRACT NO. 31521-1, M.B. 397/100-106.
8. R4 - TRACT NO. 33096-1, M.B. 412/46-58.
9. (RAD) - DENOTES RADIAL BEARING
10. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
11. SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH; OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A PRIVATE STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
12. SET 2" IRON PIPE TAGGED "L.S. 5134", FLUSH; OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL TRACT BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
13. SET 5/8" COPPER CLAD STEEL PIN WITH 1/2" BRASS CAP STAMPED "L.S. 5134" IN ASPHALT, FLUSH.
14. SET LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE ON 0.25' OFFSET INSIDE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED, UNLESS ANOTHER SPECIFIC OFFSET IS NOTED.
15. SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH.
16. DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON:
17. DENOTES FOUND 1" IRON PIPE TAGGED "R.C.E. 12116" PER TRACT NO. 32260-1, M.B. 374/95-103.
18. DENOTES FOUND 2" IRON PIPE (IRON PIPE TAGGED "L.S. 5134" PER TRACT NO. 32260-1, M.B. 374/95-103.
19. DENOTES FOUND 5/8" COPPER CLAD STEEL PIN WITH 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 32260-1, M.B. 374/95-103.
20. DENOTES 2" IRON PIPE TAGGED "L.S. 5134", FLUSH; OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
21. DENOTES 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
22. NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**TRACT MAP NO. 33096-2**

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOTS 2 AND 3 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



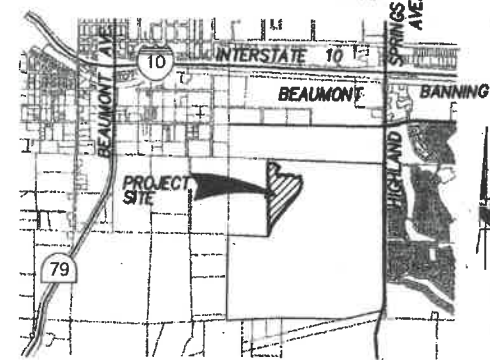
**BOUNDARY CONTROL MAP**

**BASIS OF BEARINGS:**

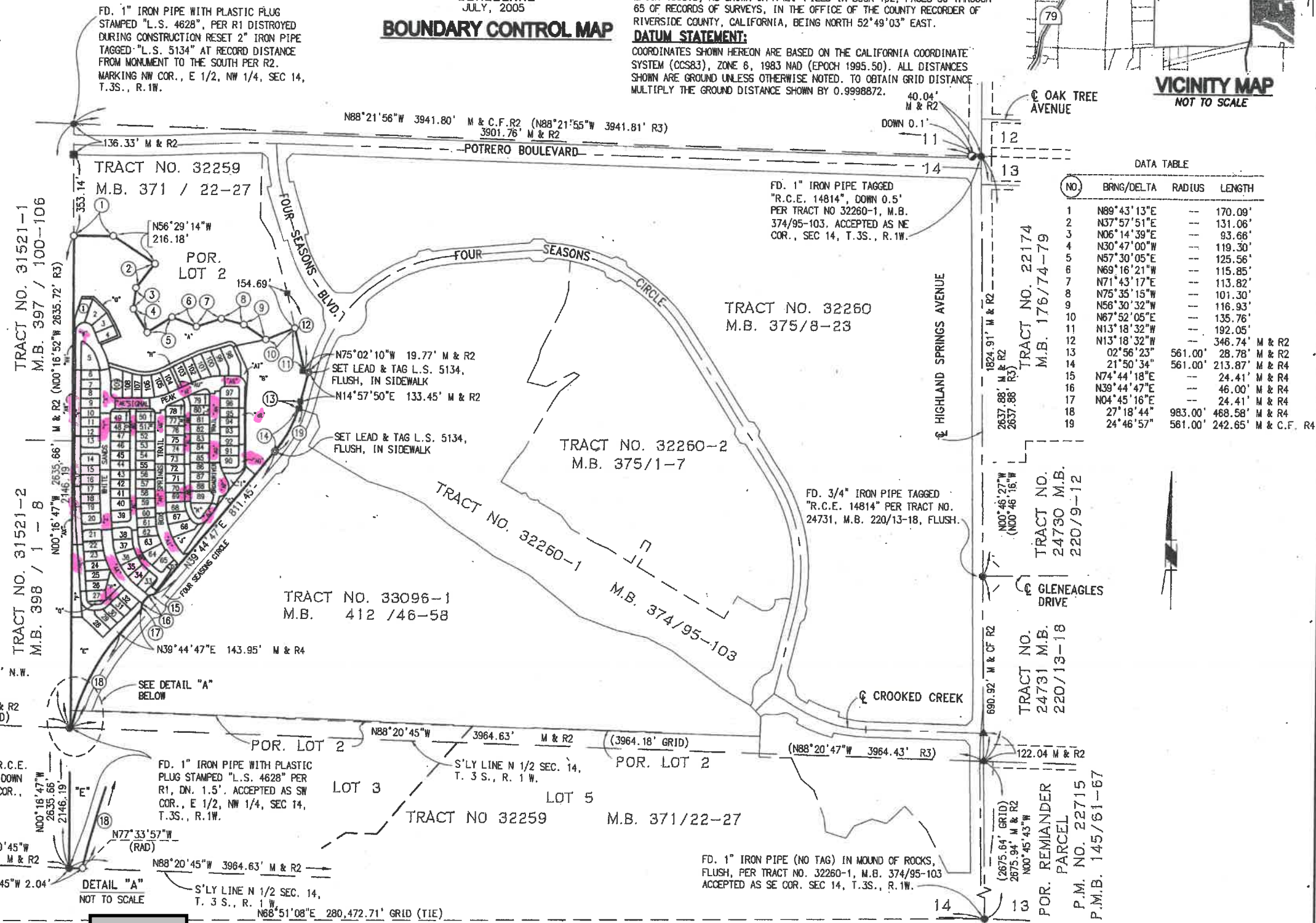
THE BEARINGS SHOWN HEREON ARE BASED ON THE LINE BETWEEN STATIONS "TRAK" AND "MATH" (POSITIONS PER NATIONAL GEODETIC SURVEY, NAD83, EPOCH 1995.5) AS SHOWN ON A MAP FILED IN BOOK 102, PAGES 50 THROUGH 65 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 52°49'03" EAST.

**DATUM STATEMENT:**

COORDINATES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE 6, 1983 NAD (EPOCH 1995.50). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY THE GROUND DISTANCE SHOWN BY 0.9998872.



FD. 1" IRON PIPE WITH PLASTIC FLUG STAMPED "L.S. 4628", PER R1 DESTROYED DURING CONSTRUCTION RESET 2" IRON PIPE TAGGED "L.S. 5134" AT RECORD DISTANCE FROM MONUMENT TO THE SOUTH PER R2. MARKING NW COR., E 1/2, NW 1/4, SEC 14, T.3S., R.1W.



DATA TABLE

| NO. | BRNG/DELTA  | RADIUS  | LENGTH              |
|-----|-------------|---------|---------------------|
| 1   | N89°43'13"E | --      | 170.09'             |
| 2   | N37°57'51"E | --      | 131.06'             |
| 3   | N06°14'39"E | --      | 93.66'              |
| 4   | N30°47'00"W | --      | 119.30'             |
| 5   | N57°30'05"E | --      | 125.56'             |
| 6   | N69°16'21"W | --      | 115.85'             |
| 7   | N71°43'17"E | --      | 113.82'             |
| 8   | N75°35'15"W | --      | 101.30'             |
| 9   | N56°30'32"W | --      | 116.93'             |
| 10  | N67°52'05"E | --      | 135.76'             |
| 11  | N13°18'32"W | --      | 192.05'             |
| 12  | N13°18'32"W | --      | 346.74' M & R2      |
| 13  | 02°56'23"   | 561.00' | 28.78' M & R2       |
| 14  | 21°50'34"   | 561.00' | 213.87' M & R4      |
| 15  | N74°44'18"E | --      | 24.41' M & R4       |
| 16  | N39°44'47"E | --      | 46.00' M & R4       |
| 17  | N04°45'16"E | --      | 24.41' M & R4       |
| 18  | 27°18'44"   | 983.00' | 468.58' M & R4      |
| 19  | 24°46'57"   | 561.00' | 242.65' M & C.F. R4 |

MATH (LAKE MATHEWS)  
2257398.558  
6201355.292  
FD. 1" STAINLESS STEEL ROD IN LARGE BOULDER, UP 1.0', 50' N.W. OF BRASS DISK STAMPED STA. 57+82.57 PER R.S. 102/50-65.

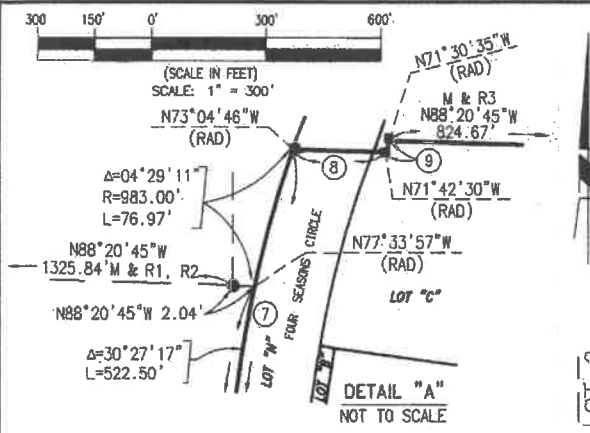
**BASIS OF BEARINGS**

TRAK (BOMMER CANYON)  
2171990.406  
6088762.992 FD. 5/8" STAINLESS STEEL CENTER PUNCHED PIN, FLUSH, IN SANDSTONE BEDROCK OUTCROPPING PER R.S. 102/50-65.



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**TRACT NO. 33096-3**

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOTS 2, 3, 4 AND 5 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.

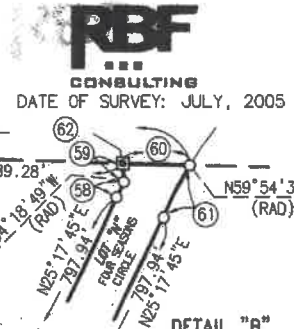


DATA TABLE

| NO | BRNG/DELTA  | RADIUS   | LENGTH        |
|----|-------------|----------|---------------|
| 1  | N21°11'54\" | (RAD)    | 6.00'         |
| 2  | 59°07'20\"  | 39.00'   | 40.24'        |
| 3  | 26°05'12\"  | 93.50'   | 42.57'        |
| 4  | 54°33'04\"  | 39.00'   | 37.13'        |
| 5  | 00°45'52\"  | 1239.00' | 16.53'        |
| 6  | N18°01'14\" | W        | 48.37'        |
| 7  | 34°56'28\"  | 983.00'  | 599.47'       |
| 8  | N88°20'45\" | W        | 82.16' M & R3 |
| 9  | 00°11'55\"  | 904.00'  | 250.87'       |
| 10 | N00°38'30\" | E        | 3.00' M & R3  |
| 11 | 52°14'49\"  | 39.00'   | 35.56'        |
| 12 | N75°19'41\" | W        | 23.65'        |
| 13 | 62°52'23\"  | 39.00'   | 42.80'        |
| 14 | 57°46'00\"  | 39.00'   | 36.32'        |
| 15 | N50°53'08\" | E        | 13.39'        |
| 16 | 10°13'50\"  | 323.00'  | 57.67'        |

DATA TABLE

| NO | BRNG/DELTA  | RADIUS   | LENGTH  |
|----|-------------|----------|---------|
| 17 | N13°53'09\" | W        | 307.34' |
| 18 | N27°03'02\" | W        | 75.92'  |
| 19 | N09°00'41\" | E        | 301.47' |
| 20 | 56°23'52\"  | 39.00'   | 38.39'  |
| 21 | 21°54'55\"  | 93.50'   | 35.76'  |
| 22 | 57°57'19\"  | 39.00'   | 39.45'  |
| 23 | 04°10'12\"  | 560.00'  | 40.76'  |
| 24 | N87°35'47\" | W        | 166.86' |
| 25 | 13°49'15\"  | 1040.00' | 250.87' |
| 26 | N73°46'32\" | W        | 229.87' |
| 27 | 31°19'20\"  | 560.00'  | 306.14' |
| 28 | 90°56'09\"  | 9.00'    | 14.28'  |
| 29 | N16°02'01\" | (RAD)    | 8.93'   |
| 30 | 12°46'44\"  | 542.00'  | 120.89' |
| 31 | N28°48'45\" | (RAD)    | 8.94'   |
| 32 | 90°29'44\"  | 9.00'    | 14.21'  |

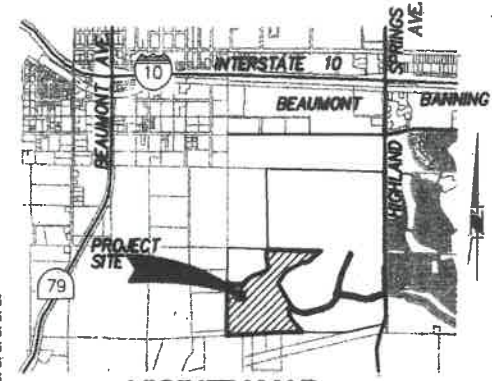


DATA TABLE

| NO | BRNG/DELTA  | RADIUS  | LENGTH  |
|----|-------------|---------|---------|
| 33 | 28°33'10\"  | 640.00' | 318.94' |
| 34 | N88°14'41\" | W       | 4.58'   |
| 35 | N43°01'21\" | E       | 33.24'  |
| 36 | N89°14'17\" | W       | 4.00'   |
| 37 | N44°32'23\" | W       | 33.24'  |
| 38 | N89°14'41\" | W       | 4.58'   |
| 39 | 28°45'18\"  | 580.00' | 281.05' |
| 40 | 00°53'21\"  | 640.00' | 9.93'   |
| 41 | 89°12'20\"  | 9.00'   | 14.01'  |
| 42 | N27°49'36\" | (RAD)   | 9.06'   |
| 43 | 10°42'23\"  | 658.00' | 122.95' |
| 44 | N17°07'13\" | (RAD)   | 9.06'   |
| 45 | 89°12'20\"  | 9.00'   | 14.01'  |
| 46 | 32°33'01\"  | 640.00' | 363.59' |
| 47 | N73°46'32\" | W       | 229.87' |

DATA TABLE

| NO | BRNG/DELTA  | RADIUS  | LENGTH         |
|----|-------------|---------|----------------|
| 48 | 13°49'15\"  | 960.00' | 231.57'        |
| 49 | N87°35'47\" | W       | 166.86'        |
| 50 | 05°15'25\"  | 640.00' | 58.72'         |
| 51 | 49°42'53\"  | 39.00'  | 33.84'         |
| 52 | 27°03'43\"  | 93.50'  | 44.16'         |
| 53 | N88°20'45\" | W       | 46.01' M & R3  |
| 54 | N00°38'30\" | E       | 4.76' M & R3   |
| 55 | N82°34'26\" | W       | 17.73' M & R3  |
| 56 | N58°19'43\" | E       | 5.46' M & R3   |
| 57 | N88°20'45\" | W       | 288.80' M & R3 |
| 58 | 00°23'28\"  | 633.00' | 4.31' M & R3   |
| 59 | N06°43'37\" | W       | 12.35' M & R3  |
| 60 | N88°20'45\" | W       | 81.34' M & R3  |
| 61 | 04°47'45\"  | 567.00' | 47.46' M & R3  |
| 62 | N88°20'45\" | W       | 1280.03'       |



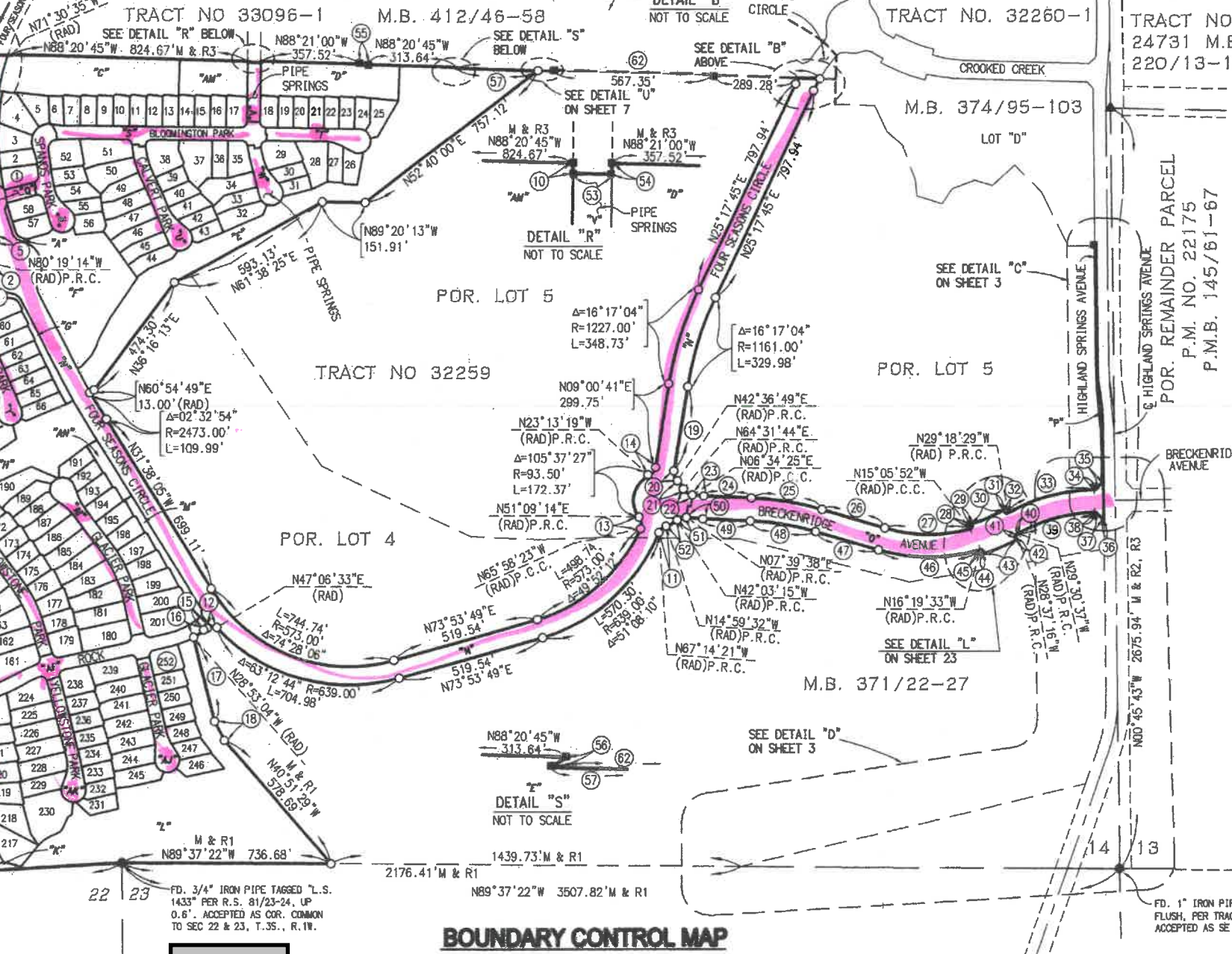
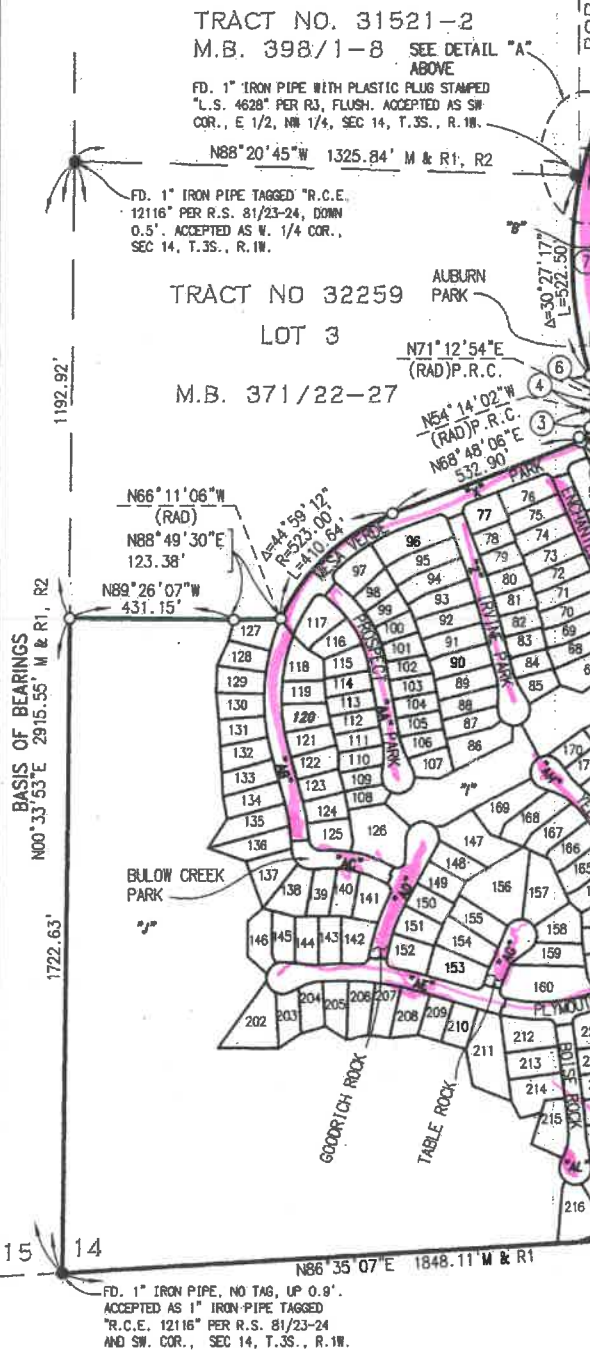
VICINITY MAP  
NOT TO SCALE

**SURVEYOR'S NOTES:**

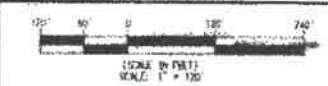
- M - MEASURED
- C.F. - CALCULATED FROM
- O/S - OFFSET
- ( ) - RECORD DATA
- R1 - TRACT NO. 32259, M.B. 371/22-27
- R2 - TRACT NO. 32260-1, M.B. 374/95-103
- R3 - TRACT NO. 33096-1, M.B. 412/46-58
- (RAD) - DENOTES RADIAL BEARING
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
- SET 1\" IRON PIPE TAGGED \"L.S. 5134\", FLUSH OR LEAD, TACK AND TAG \"L.S. 5134\", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED \"L.S. 5134\", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2\" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A PRIVATE STREET WHICH WILL BE MARKED ON A 4.75\" OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG \"L.S. 5134\" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
- SET 2\" IRON PIPE TAGGED \"L.S. 5134\", FLUSH OR LEAD, TACK AND TAG \"L.S. 5134\", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED \"L.S. 5134\", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2\" OR MORE AT ALL TRACT BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
- SET 5/8\" COPPER CLAD STEEL PIN WITH 1/2\" BRASS CAP STAMPED \"L.S. 5134\" IN ASPHALT, FLUSH
- SET LEAD, TACK AND TAG \"L.S. 5134\", FLUSH, IN CONCRETE ON 0.25\" OFFSET INSIDE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED, UNLESS ANOTHER SPECIFIC OFFSET IS NOTED.
- SET 1\" IRON PIPE TAGGED \"L.S. 5134\", FLUSH.
- DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON
- DENOTES FOUND 1\" IRON PIPE TAGGED \"L.S. 5134\", FLUSH, PER TRACT NO. 33096-1, M.B. 412/46-58.
- DENOTES 2\" IRON PIPE TAGGED \"L.S. 5134\" OR SPIKE AND WASHER STAMPED \"L.S. 5134\" OR LEAD, TACK AND TAG \"L.S. 5134\" TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
- DENOTES FOUND 1/2\" BRASS CAP STAMPED \"L.S. 5134\", FLUSH, PER TRACT NO. 32260-1, M.B. 374/95-103.
- DENOTES FOUND 1/2\" BRASS CAP STAMPED \"L.S. 5134\", FLUSH, PER TRACT NO. 33096-1, M.B. 412/46-58.
- NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY LINE OF LOT 3 OF TRACT NO. 32259, AS SHOWN ON A MAP FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 00°33'53\" EAST.



**BOUNDARY CONTROL MAP**



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TRACT NO. 33096-4**

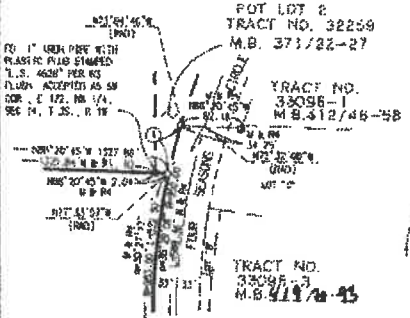
BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 3 OF TRACT NO. 32259 AS SHOWN ON A MAP HERETOBY FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



DATE OF SURVEY: JULY, 2005

TRACT NO. 31521-2 M.B. 398 / 1-8      TRACT NO. 33096-1 M.B. 412/46-58

SHEET 2 OF 8 SHEETS

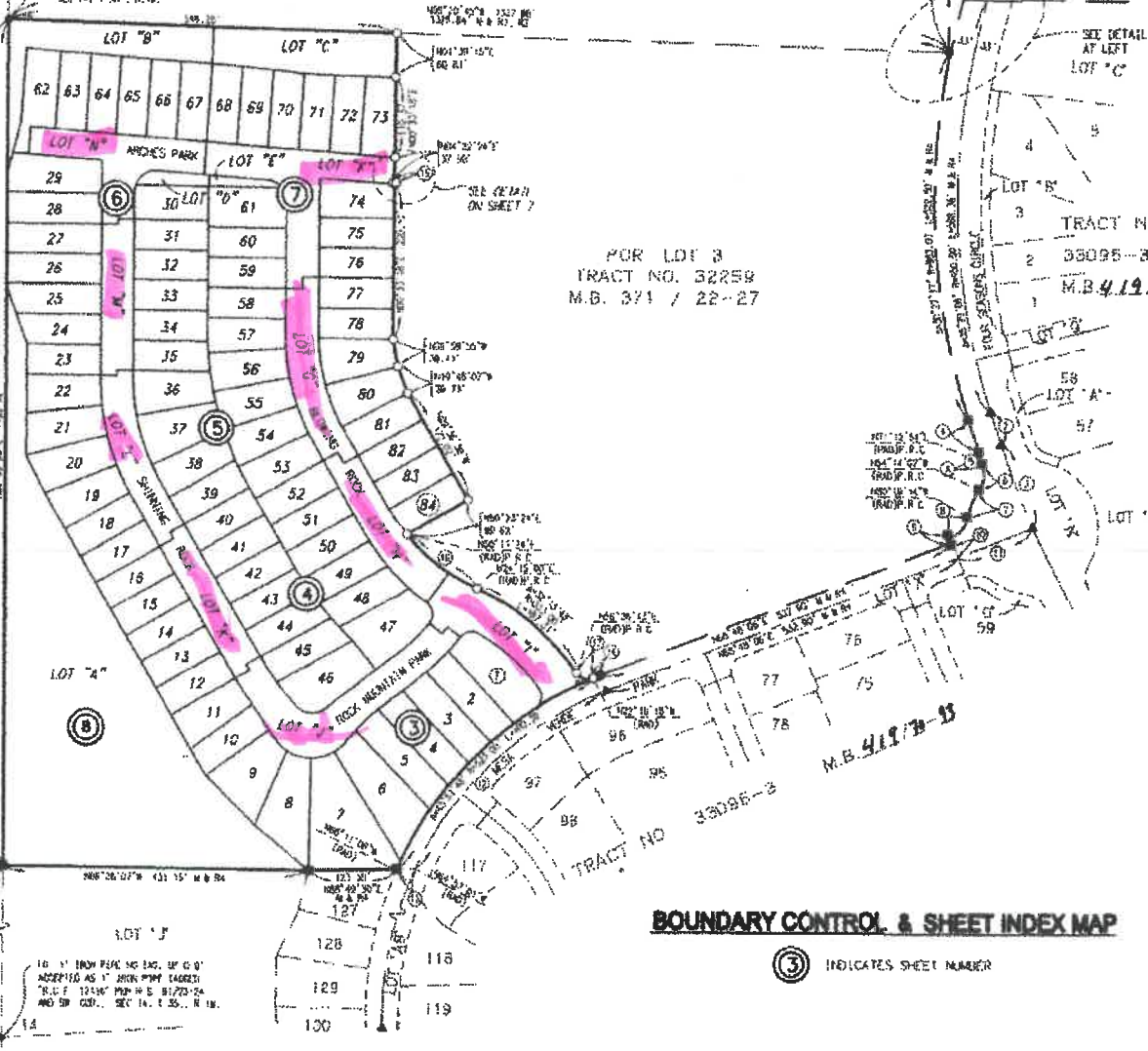


**DETAIL 'A'**  
NOT TO SCALE

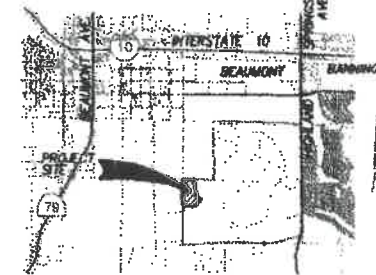
**DATA TABLE**

| NO. | BEARING         | DISTANCE | LENGTH | BEARING         | LENGTH |
|-----|-----------------|----------|--------|-----------------|--------|
| 1   | N 89° 28' 11" W | 863.00   | 78.37  | N 89° 28' 11" W | 78.37  |
| 2   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 3   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 4   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 5   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 6   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 7   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 8   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 9   | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 10  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 11  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 12  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 13  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 14  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 15  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 16  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |
| 17  | N 89° 28' 11" W | ...      | ...    | N 89° 28' 11" W | ...    |

BASIS OF BEARINGS:  
 SEC. 15, T. 3 S., R. 1 W., S.B.M.  
 R.S. 21 / 45  
 R.S. 35 / 42



POR LOT 3  
 TRACT NO. 32259  
 M.B. 371 / 22-27



**VICINITY MAP**  
NOT TO SCALE

**SURVEYOR'S NOTES:**

- 1 M - MEASURED
- 2 C.T. - CALCULATED FROM
- 3 O/S - OFFSET
- 4 (E) - EXISTING DATA
- 5 R - TRACT NO. 32259, M.B. 371/22-27
- 6 R - TRACT NO. 32259-1, M.B. 371/22-27
- 7 R - TRACT NO. 32259-2, M.B. 371/22-27
- 8 R - TRACT NO. 32259-3, M.B. 371/22-27
- 9 (M) - DENOTES METAL BENCHMARK
- 10 ALL MONUMENTS SHOWN AS SET SHALL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY ENGINEER.
- 11 SET 1" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL LOT CORNERS EXCEPT 1/2" CORNERS WHICH ARE A 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON 4" 2" OFF SET INSIDE THE STREET RIGHT-OF-WAY ON CONCRETE OR LEAD, TACK AND TAG 1/2" S. 5/16" ON BENCHMARKS PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR AVIATION FRAMES, CORNER COLUMNS, E.C.T., T.O., B.O.P.C.'S OR P.O.C.'S UNLESS SPECIALLY NOTED OTHERWISE)
- 12 SET 1" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 13 SET 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 14 SET 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 15 SET 1" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 16 DENOTES POINT MONUMENT AS NOTED AND REFERENCED HEREIN
- 17 DENOTES FOUND 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 18 DENOTES FOUND 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 19 DENOTES FOUND 1/2" IRON PIPE TAPPED 1/2" S. 5/16" FLUSH ON LEAD, TACK AND TAG 1/2" S. 5/16" FLUSH IN CONCRETE ON 1" ASPHALT PAVEMENT THICKNESS 2" OR MORE AT ALL TRACT BENCHMARK CORNERS, UNLESS OTHERWISE NOTED
- 20 NO MONUMENTS SHALL BE SET FOR LOT LINES BOUNDING PRIVATE STREETS

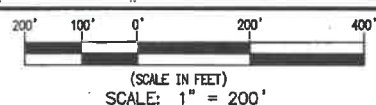
**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY CORNER OF LOT 3 OF TRACT NO. 32259, AS SHOWN ON A MAP FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF BEAUMONT COUNTY, CALIFORNIA, BEING NORTH 02° 23' 53" EAST

**BOUNDARY CONTROL & SHEET INDEX MAP**

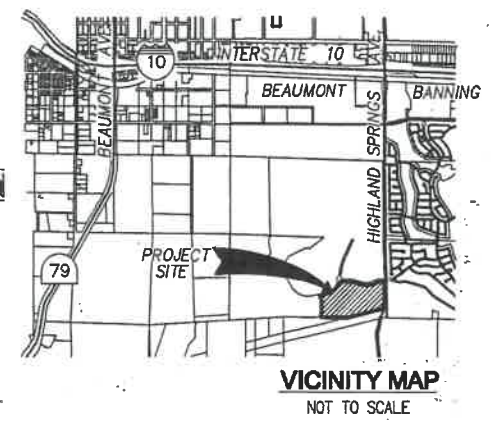
(3) INDICATES SHEET NUMBER

422  
86



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**TRACT NO. 33096-5**

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 5 OF TRACT NO. 32259 FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, TOGETHER WITH A PORTION OF PARCEL 1 OF LOT LINE ADJUSTMENT NO. 15-LLA-003 RECORDED JULY 23, 2015 AS INSTRUMENT NO. 2015-0327135 OF OFFICIAL RECORDS, ALL IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



**MONUMENT NOTES:**

- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
- ALL BOUNDARY CORNERS WILL BE MONUMENTED WITH A 2" IRON PIPE & BRASS TAG STAMPED "L.S. 8508", OR A LEAD, TACK AND TAG STAMPED "L.S. 8508" IN CONCRETE, OR AN 8" SPIKE & WASHER STAMPED "L.S. 8508" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
- CENTERLINES OF PRIVATE STREETS WILL BE MONUMENTED AT INTERSECTIONS, POINTS OF TANGENT INTERSECTION (P.T.), ANGLE POINTS AND CUL-DE-SAC RADIUS POINTS WITH AN 8" SPIKE & WASHER STAMPED "L.S. 8508" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, OR A LEAD, TACK AND TAG STAMPED "L.S. 8508" IN CONCRETE, UNLESS OTHERWISE NOTED.
- LOT CORNERS WHICH ABUT A STREET WILL BE MONUMENTED ON A 4.75' OFFSET MEASURED PERPENDICULAR OR RADIAL FROM AND INSIDE THE STREET RIGHT-OF-WAY, ON THE LOT LINE PRODUCED WITH A LEAD, TACK AND TAG STAMPED "L.S. 8508" IN CONCRETE, UNLESS OTHERWISE NOTED. (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
- LOT CORNERS WHICH DO NOT ABUT A STREET WILL BE MONUMENTED WITH A 1" IRON PIPE & BRASS TAG STAMPED "L.S. 8508", OR A LEAD, TACK AND TAG STAMPED "L.S. 8508" IN CONCRETE, OR AN 8" SPIKE & WASHER STAMPED "L.S. 8508" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
- NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.
- DENOTES MONUMENT AS NOTED AND REFERENCED HEREON.
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134", OR LEAD, TACK AND TAG "L.S. 5134", OR SPIKE W/BRASS WASHER STAMPED "L.S. 5134", TO BE SET PER R2.
- ▲ DENOTES 5/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134" IN ASPHALT, FLUSH, TO BE SET PER R2.
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134", OR LEAD, TACK AND TAG "L.S. 5134", OR SPIKE W/BRASS WASHER STAMPED "L.S. 5134", TO BE SET PER R3.
- DENOTES SET 1" IRON PIPE TAGGED "L.S. 8508", OR LEAD, TACK AND TAG "L.S. 8508", OR SPIKE & WASHER STAMPED "L.S. 8508".

**EASEMENT NOTES:**

SOUTHERN CALIFORNIA GAS COMPANY, HOLDER OF EASEMENTS FOR PIPELINES AND INCIDENTAL PURPOSES RECORDED JUNE 21, 2007 AS INSTRUMENT NO. 2007-0406117 AND MAY 20, 2014 AS INSTRUMENT NO. 2014-0182700, BOTH OF OFFICIAL RECORDS. (SAID EASEMENTS ARE BLANKET IN NATURE AND NOT PLOTTED HEREON.)

- (A) INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE PURPOSES DEDICATED HEREON TO THE CITY OF BEAUMONT.
- (B) INDICATES A SEWER EASEMENT DEDICATED HEREON TO THE CITY OF BEAUMONT.
- (C) INDICATES A PRIVATE STORM DRAIN EASEMENT RESERVED HEREON.

**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE LINE BETWEEN STATIONS "TRAK" AND "MATH" (POSITIONS PER NATIONAL GEODETIC SURVEY, NAD83, EPOCH 1995.5) AS SHOWN ON A MAP FILED IN BOOK 102, PAGES 50 THROUGH 65 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 52°49'03" EAST.



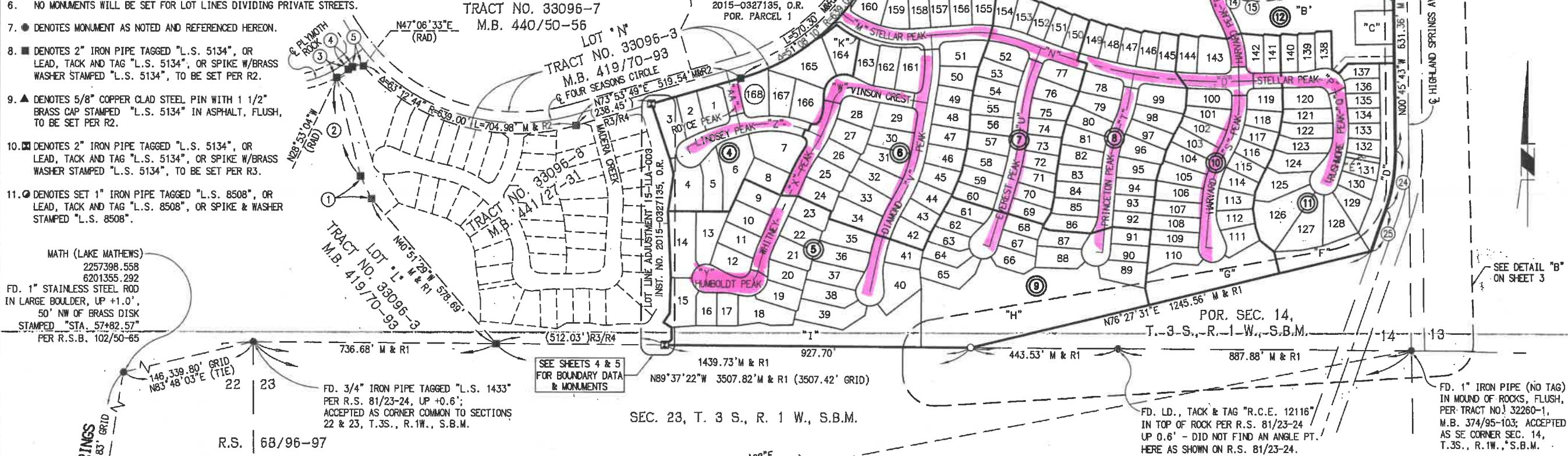
DATE OF SURVEY: JULY, 2005

**BOUNDARY CONTROL & SHEET INDEX MAP**

(13) INDICATES SHEET NUMBER

**LEGEND:**

- (168) INDICATES LAST NUMBERED LOT MEASURED
- M MEASURED
- O/S OFFSET
- (RAD) RADIAL BEARING
- ( ) RECORD DATA
- R1 TRACT NO. 32259, M.B. 371/22-27; 12/27/2004
- R2 TRACT NO. 33096-3, M.B. 419/70-93; 04/24/2007
- R3 TRACT NO. 33096-8, M.B. 441/27-31; 04/29/2014
- R4 LOT LINE ADJUSTMENT NO. 15-LLA-003, INSTRUMENT NO. 2015-0327135, O.R.; 07/23/2015



MATH (LAKE MATHEWS)  
2257398.558  
6201355.292  
FD. 1" STAINLESS STEEL ROD  
IN LARGE BOULDER, UP +1.0',  
50' NW OF BRASS DISK  
STAMPED "STA. 57+82.57"  
PER R.S.B. 102/50-65

**BASIS OF BEARINGS**  
N62°49'03"E  
141,320.83' GRID

TRAK (BOMMER CANYON)  
2171990.406  
6088762.992  
FD. 5/8" STAINLESS STEEL  
CENTER PUNCHED PIN, FLUSH, IN  
SANDSTONE BEDROCK OUTCROPPING  
PER R.S.B. 102/50-65.

FD. 3/4" IRON PIPE TAGGED "L.S. 1433"  
PER R.S. 81/23-24, UP +0.6';  
ACCEPTED AS CORNER COMMON TO SECTIONS  
22 & 23, T.3S., R.1W., S.B.M.

SEE SHEETS 4 & 5  
FOR BOUNDARY DATA  
& MONUMENTS

SEC. 23, T. 3 S., R. 1 W., S.B.M.

FD. LD., TACK & TAG "R.C.E. 12116"  
IN TOP OF ROCK PER R.S. 81/23-24  
UP 0.6' - DID NOT FIND AN ANGLE PT.  
HERE AS SHOWN ON R.S. 81/23-24.

FD. 1" IRON PIPE (NO TAG)  
IN MOUND OF ROCKS, FLUSH,  
PER TRACT NO. 32260-1,  
M.B. 374/95-103; ACCEPTED  
AS SE CORNER SEC. 14,  
T.3S., R.1W., S.B.M.

DATA TABLE

| NO. | BRNG/DELTA  | RADIUS  | LENGTH         |
|-----|-------------|---------|----------------|
| 1   | N27°03'02"W | —       | 75.92' M & R1  |
| 2   | N13°53'00"W | —       | 307.34' M & R2 |
| 3   | 10°13'50"   | 323.00' | 57.67' M & R2  |
| 4   | N50°53'06"E | —       | 13.39' M & R2  |
| 5   | N75°19'41"W | —       | 23.65' M & R2  |
| 6   | 52°14'49"   | 39.00'  | 35.56' M & R2  |
| 7   | 27°03'43"   | 93.50'  | 44.16' M & R2  |
| 8   | 49°42'53"   | 39.00'  | 33.84' M & R2  |

DATA TABLE

| NO. | BRNG/DELTA  | RADIUS  | LENGTH         |
|-----|-------------|---------|----------------|
| 9   | 05°15'25"   | 640.00' | 58.72' M & R2  |
| 10  | N87°35'47"W | —       | 166.86' M & R2 |
| 11  | 13°49'15"   | 960.00' | 231.57' M & R2 |
| 12  | N73°46'32"W | —       | 229.87' M & R2 |
| 13  | 32°33'01"   | 640.00' | 363.59' M & R2 |
| 14  | 89°12'20"   | 9.00'   | 14.01' M & R2  |
| 15  | N17°07'13"W | (RAD)   | 9.06' M & R2   |
| 16  | 10°42'23"   | 658.00' | 122.96' M & R2 |

DATA TABLE

| NO. | BRNG/DELTA  | RADIUS  | LENGTH         |
|-----|-------------|---------|----------------|
| 17  | N27°49'36"W | (RAD)   | 9.06' M & R2   |
| 18  | 89°12'20"   | 9.00'   | 14.01' M & R2  |
| 19  | 00°53'21"   | 640.00' | 9.93' M & R2   |
| 20  | 28°45'18"   | 560.00' | 281.05' M & R2 |
| 21  | N89°14'41"E | —       | 4.59' M & R2   |
| 22  | N44°32'23"W | —       | 33.24' M & R2  |
| 23  | N89°14'17"E | —       | 4.00' M & R2   |
| 24  | 20°01'00"   | 520.00' | 181.67' M & R1 |
| 25  | N19°15'17"E | —       | 131.57' M & R1 |

**DATUM STATEMENT:**  
COORDINATES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE 6, 1983 NAD (EPOCH 1995.50). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY THE GROUND DISTANCE SHOWN BY 0.9998872.

201-0318277  
Original

434/83

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

# TRACT NO. 33096-6

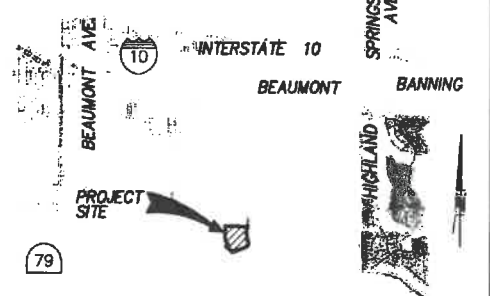
SHEET 2 OF 5 SHEETS

### BASIS OF BEARINGS:

BEARINGS ARE BASED ON THE EAST-WEST CENTER SECTION LINE OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, S.B.M., AS SHOWN BY MAP OF TRACT NO. 33096-3, ON FILE IN BOOK 419 OF MAPS, PAGES 70 THROUGH 93, INCLUSIVE, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, BEING N.8820°56'W.

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY A PORTION OF LOT 3 OF TRACT NO. 32259 AS SHOWN BY A MAP ON FILE IN BOOK 371 OF MAPS, PAGES 22 THROUGH 27 INCLUSIVE, AND A PORTION OF LOTS 73, "C" AND "F" OF TRACT NO. 33096-4 AS SHOWN BY MAP ON FILE IN BOOK 422 OF MAPS, PAGES 25 THROUGH 32, INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.

SB&O, INC. MARISSA CROWTHER, P.L.S. 6152



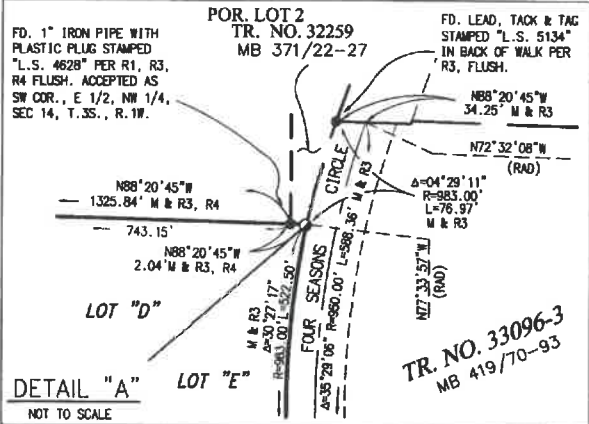
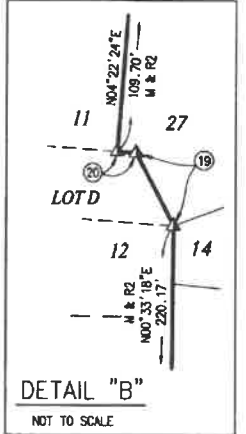
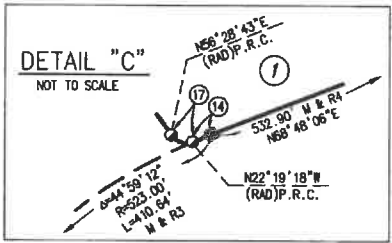
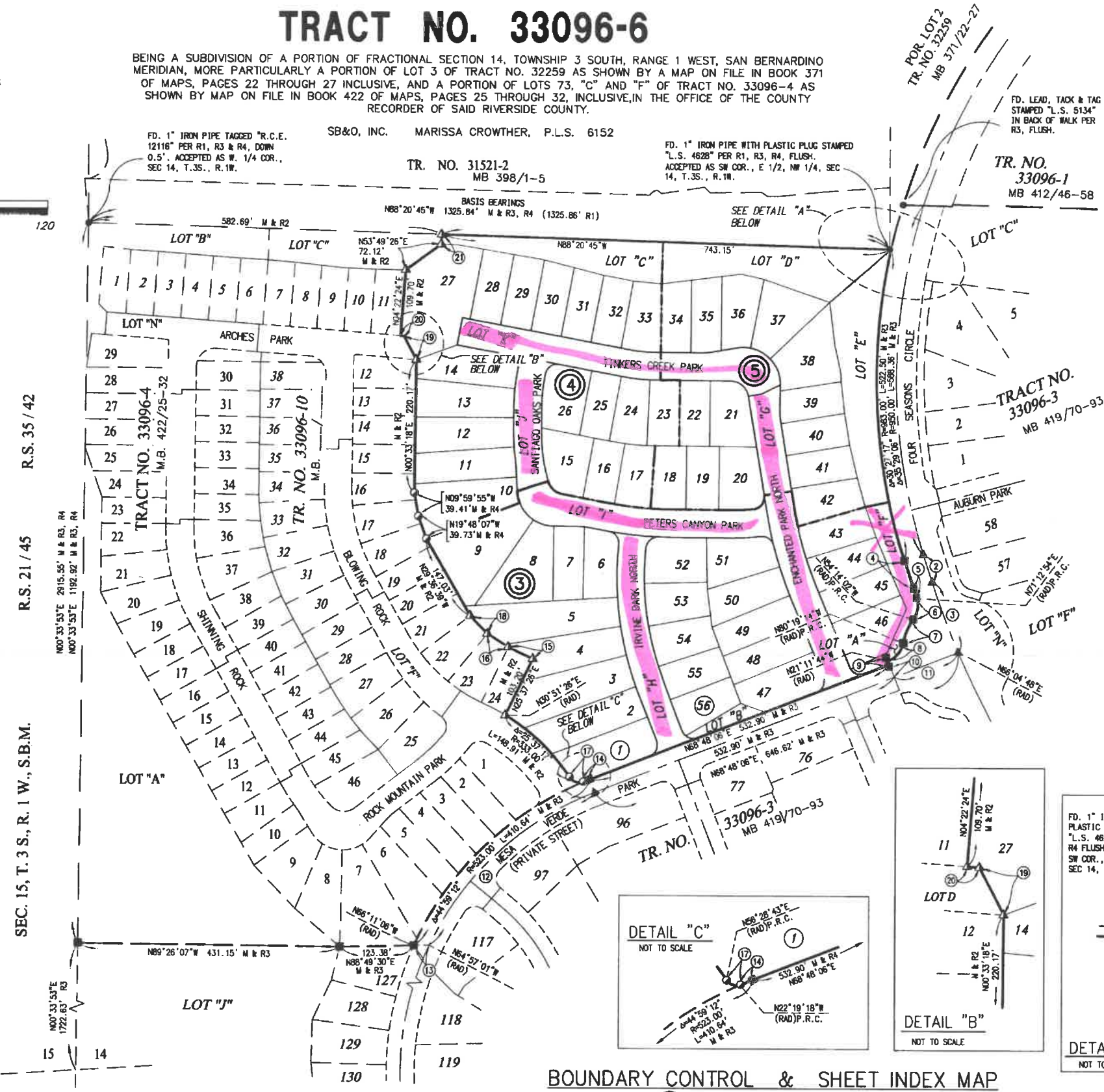
VICINITY MAP  
NOT TO SCALE

### SURVEYOR'S NOTES:

- M - MEASURED
- C/F - CALCULATED FROM
- ( ) - RECORD DATA
- R1 - TRACT NO. 31521-2, M.B. 398/1-8
- R2 - TRACT NO. 33096-10, M.B. /
- R3 - TRACT NO. 33096-3, M.B. 419/70-93
- R4 - TRACT NO. 33096-4, M.B. 422/25-32
- (RAD) - DENOTES RADIAL BEARING
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
- LOT CORNER MONUMENTS:
  - AT REAR LOT CORNERS SET 1" IRON PIPE TAGGED "L.S. 6152", FLUSH.
  - AT FRONT LOT CORNERS, B.C.'S, E.C.'S AND CORNER CUT OFFS SET A LEAD, TACK AND BRASS WASHER STAMPED "L.S. 6152" IN THE TOP OF CURBS ON THE SIDELINES PRODUCED.
- SET 5/8" COPPER CLAD STEEL PIN WITH 1/2" BRASS CAP STAMPED "L.S. 6152" IN ASPHALT, FLUSH.
- DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-4, M.B. 422/25-32.
- DENOTES 2" IRON PIPE IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-3, M.B. 419/70-93.
- DENOTES 1/2" BRASS CAP STAMPED "L.S. 5134", TO BE SET PER TRACT. NO. 33096-3, M.B. 419/70-93.
- DENOTES 1/2" BRASS CAP STAMPED "L.S. 5134", TO BE SET PER TRACT. NO. 33096-10, M.B. /
- NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.

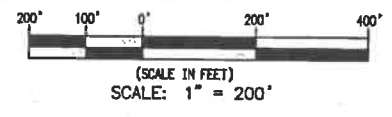
DATA TABLE

| NO | Bearing/Delta     | RADIUS   | LENGTH         |
|----|-------------------|----------|----------------|
| 1  | (NOT USED)        |          |                |
| 2  | N18°01'14"W       |          | 48.37' M & R3  |
| 3  | 05°53'58"         | 1206.00' | 124.18' M & R3 |
| 4  | N18°01'14"W       |          | 48.37' M & R3  |
| 5  | 00°45'52"         | 1239.00' | 16.53' M & R3  |
| 6  | 54°33'04"         | 39.00'   | 37.13' M & R3  |
| 7  | 26°05'12"         | 93.50'   | 42.57' M & R3  |
| 8  | 59°07'20"         | 39.00'   | 40.24' M & R3  |
| 9  | N21°11'54"W (RAD) |          | 6.00' M & R3   |
| 10 | N21°11'54"W       |          | 23.00' M & R3  |
| 11 | N68°48'06"E       |          | 113.72' M & R3 |
| 12 | 43°45'07"         | 500.00'  | 381.81' M & R3 |
| 13 | N88°49'30"E       |          | 25.50' M & R2  |
| 14 | D1°07'24"         | 523.00'  | 10.25' M & R2  |
| 15 | N64°21'55"W       |          | 45.00' M & R2  |
| 16 | N57°39'42"W       |          | 40.92' M & R2  |
| 17 | 78°48'01"         | 20.00'   | 27.51' M & R2  |
| 18 | N43°46'15"W       |          | 40.86' M & R2  |
| 19 | N27°36'07"W       |          | 44.21' M & R2  |
| 20 | N85°37'36"W       |          | 6.00' M & R2   |
| 21 | N01°39'15"E       |          | 16.03' M & R2  |



### BOUNDARY CONTROL & SHEET INDEX MAP

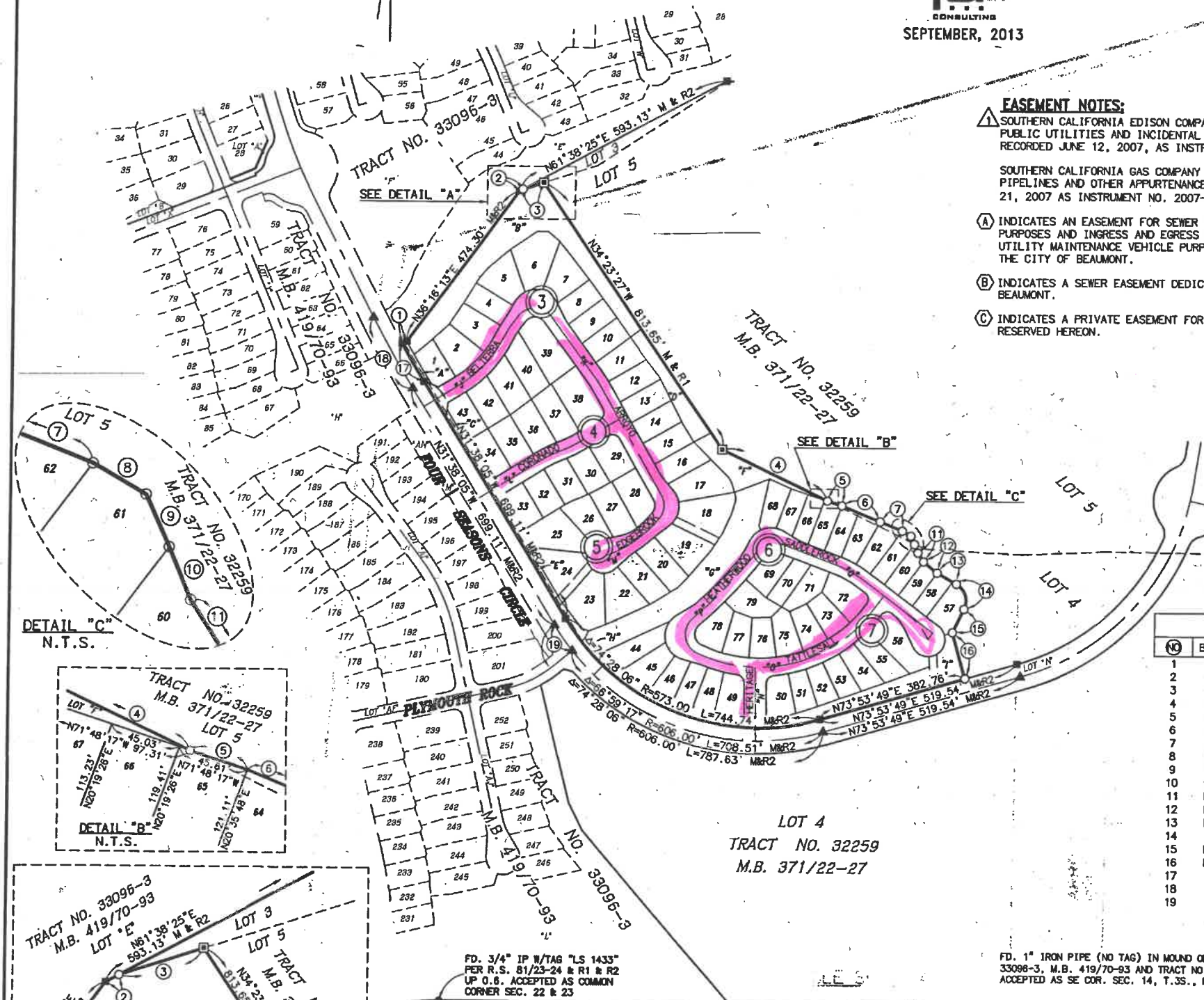
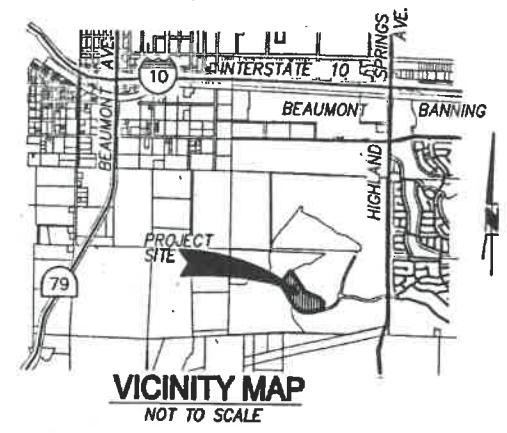
③ INDICATES SHEET NUMBER



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TRACT NO. 33096-7**

BEING A SUBDIVISION OF A PORTION OF FRACTIONAL SECTION 14, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY PORTIONS OF LOT 4 AND LOT 5 OF TRACT NO. 32259 AS SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.

**RBF CONSULTING**  
 SEPTEMBER, 2013



- EASEMENT NOTES:**
- ▲ SOUTHERN CALIFORNIA EDISON COMPANY HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED JUNE 12, 2007, AS INSTRUMENT NO. 2007-0384934 O.R.
  - SOUTHERN CALIFORNIA GAS COMPANY HOLDER OF AN EASEMENT FOR PIPELINES AND OTHER APPURTENANCES PER DOCUMENT RECORDED JUNE 21, 2007 AS INSTRUMENT NO. 2007-0406117 O.R. (NOT PLOTTABLE)
  - (A) INDICATES AN EASEMENT FOR SEWER PURPOSES, PUBLIC UTILITY PURPOSES AND INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE PURPOSES DEDICATED HEREON TO THE CITY OF BEAUMONT.
  - (B) INDICATES A SEWER EASEMENT DEDICATED HEREON TO THE CITY OF BEAUMONT.
  - (C) INDICATES A PRIVATE EASEMENT FOR DRAINAGE PURPOSES RESERVED HEREON.

**BASIS OF BEARINGS:**  
 THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-3 AS SHOWN ON A MAP FILED IN BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 31°38'05" WEST.

- SURVEYOR'S NOTES:**
1. M - MEASURED
  2. C.F. - CALCULATED FROM
  3. O/S - OFFSET
  4. ( ) - RECORD DATA
  5. R1 - TRACT NO. 32259, M.B. 371/22-27
  6. R2 - TRACT NO. 33096-3, M.B. 419/70-93
  7. (R) - DENOTES RADIAL BEARING

8. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
9. SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL LOT CORNERS, EXCEPT LOT CORNERS WHICH ABUT A PRIVATE STREET WHICH WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 5134" ON SIDELINES PRODUCED, UNLESS OTHERWISE NOTED (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
10. ○ SET 2" IRON PIPE TAGGED "L.S. 5134", FLUSH OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL TRACT BOUNDARY CORNERS, UNLESS OTHERWISE NOTED.
11. □ SET 1" IRON PIPE TAGGED "L.S. 5134", FLUSH.
12. ● DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON.
13. ■ DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" PER TRACT NO. 33096-3, M.B. 419/70-93.
14. □ DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" PER TRACT NO. 32259, M.B. 371/22-27.
16. ▲ DENOTES FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT. NO. 33096-3, M.B. 419/70-93.
17. ⊙ DENOTES SET LEAD, TACK AND TAG "L.S. 5134", FLUSH IN CONCRETE ON OFFSET (O/S) AS NOTED INSIDE STREET RIGHT-OF-WAY ON SIDE LINES PRODUCED.
18. NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS.

| NO | BEARING/DELTA | RADIUS   | LENGTH  |
|----|---------------|----------|---------|
| 1  | N60°54'49"E   | ---      | 13.00   |
| 2  | N61°38'25"E   | ---      | 9.48    |
| 3  | N72°05'08"E   | ---      | 56.15   |
| 4  | N64°37'40"W   | ---      | 297.00  |
| 5  | N71°48'17"W   | ---      | 38.36   |
| 6  | N68°05'41"W   | ---      | 105.62  |
| 7  | N68°17'29"W   | ---      | 61.35   |
| 8  | N60°03'58"W   | ---      | 24.92   |
| 9  | N24°13'33"W   | ---      | 23.18   |
| 10 | N23°04'11"W   | ---      | 23.10   |
| 11 | N32°53'27"W   | ---      | 26.75   |
| 12 | N51°38'29"W   | ---      | 45.02   |
| 13 | N60°59'35"W   | ---      | 56.70   |
| 14 | 87°10'03"     | 48.00'   | 73.03'  |
| 15 | N26°10'28"E   | ---      | 66.31'  |
| 16 | N16°06'11"W   | ---      | 121.03' |
| 17 | 02°32'54"     | 2473.00' | 109.89' |
| 18 | 04°39'56"     | 2506.00' | 204.06' |
| 19 | 07°28'49"     | 606.00'  | 79.12'  |

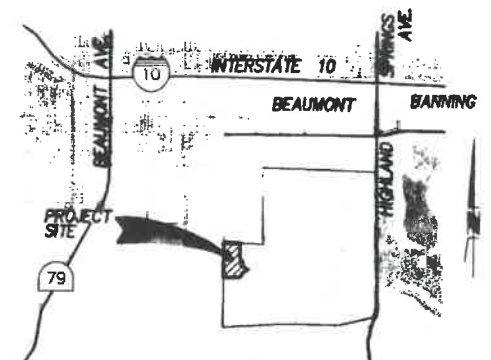
**BOUNDARY CONTROL AND SHEET INDEX MAP**  
 (3) INDICATES SHEET NUMBER.

# TRACT NO. 33096-10

LOTS 47 THROUGH 72, 74 THROUGH 84, LOTS B, E, G, H AND PORTIONS OF LOTS 73, "C" AND "F" OF TRACT NO 33096-4, AS SHOWN ON A MAP THEREOF FILED IN BOOK 422, PAGES 25 THROUGH 32 INCLUSIVE, OF MAPS, AND PORTIONS OF LOT 3 OF TRACT NO. 32259, SHOWN ON A MAP THEREOF FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, ALL IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY, CALIFORNIA.



DATE OF SURVEY: JULY, 2005



VICINITY MAP  
NOT TO SCALE

### MONUMENT NOTES:

- FOUND MONUMENT AS NOTED AND REFERENCED.
  - SET MONUMENT AS NOTED AND REFERENCED.
1. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
  2. ALL BOUNDARY CORNERS WILL BE MONUMENTED WITH A 2" IRON PIPE & BRASS TAG STAMPED "L.S. 5134", OR LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, OR AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
  3. CENTERLINES OF PRIVATE STREETS WILL BE MONUMENTED AT INTERSECTIONS, POINTS OF TANGENT INTERSECTION (P.I.), ANGLE POINTS AND CUL-DE-SAC RADIUS POINTS WITH AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, OR A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, UNLESS OTHERWISE NOTED.
  4. LOT CORNERS WHICH ABUT A STREET WILL BE MONUMENTED ON A 4.75' OFFSET (O/S), MEASURED PERPENDICULAR OR RADIAL FROM AND INSIDE THE STREET RIGHT-OF-WAY, ON THE LOT LINE PRODUCED WITH A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, UNLESS OTHERWISE NOTED. (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
  5. LOT CORNERS WHICH DO NOT ABUT A STREET WILL BE MONUMENTED WITH A 1" IRON PIPE & BRASS TAG STAMPED "L.S. 5134", OR A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, OR AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
  6. DENOTES FOUND 1" IRON PIPE TAGGED "L.S. 5134", FLUSH OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE & BRASS WASHER STAMPED "L.S. 5134", TO BE SET PER TRACT NO. 33096-4, M.B. 422/25-32, REPLACED WITH A 2" IRON PIPE TAGGED "L.S. 5134", FLUSH OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE & BRASS WASHER STAMPED "L.S. 5134", FLUSH.
  7. DENOTES FOUND 2" IRON PIPE TAGGED "L.S. 5134" PER TRACT NO. 33096-1, M.B. 412/46-58.
  8. DENOTES 2" IRON PIPE (IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-3, M.B. 419/70-93.
  9. DENOTES FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 33096-3, M.B. 419/70-93.
  10. DENOTES FOUND 2" IRON PIPE TAGGED "L.S. 5134", FLUSH OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE & BRASS WASHER STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 33096-4, M.B. 422/25-32.
  11. NO MONUMENTS WILL BE SET FOR LOT LINES DIVIDING PRIVATE STREETS

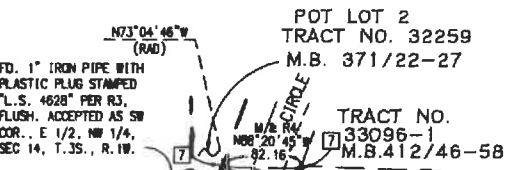
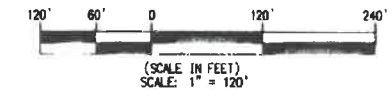
### REFERENCES:

1. M - MEASURED
2. C.F. - CALCULATED FROM
3. O/S - OFFSET
4. ( ) - RECORD DATA
5. R1 - TRACT NO. 32259, M.B. 371/22-27
6. R2 - TRACT NO. 32260-1, M.B. 374/95-103
7. R3 - TRACT NO. 33096-1, M.B. 412/46-58
8. R4 - TRACT NO. 33096-3, M.B. 419/70-93
9. R5 - TRACT NO. 33096-4, M.B. 422/25-32
10. (RAD) - DENOTES RADIAL BEARING

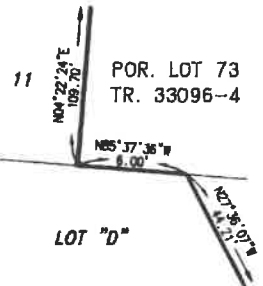
### BOUNDARY CONTROL & SHEET INDEX MAP

④ INDICATES SHEET NUMBER

**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY LINE OF LOT 3 OF TRACT NO. 32259, AS SHOWN ON A MAP FILED IN BOOK 371, PAGES 22 THROUGH 27 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 00°33'53" EAST.



DETAIL "A"  
NOT TO SCALE

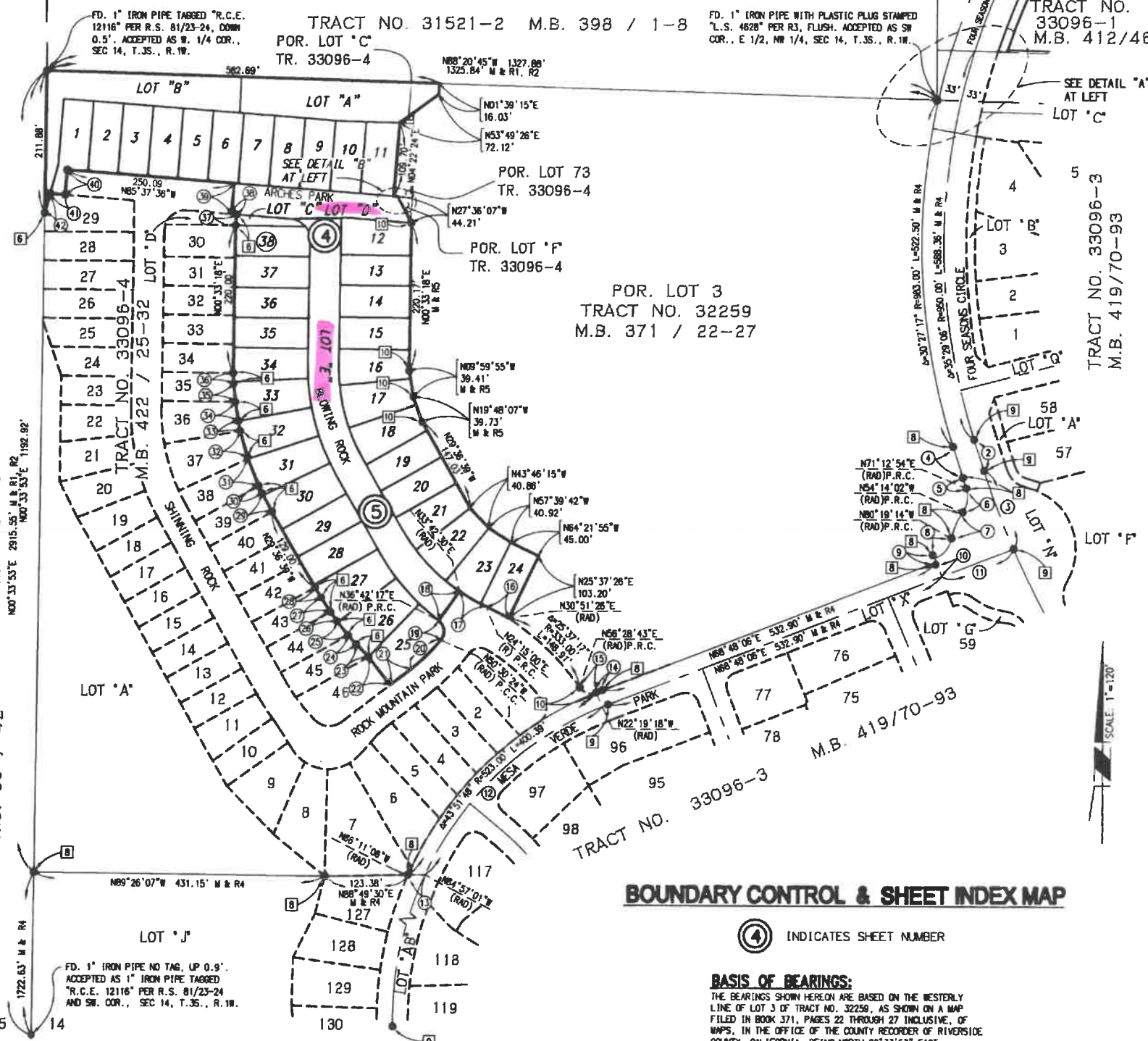


DETAIL "B"  
NOT TO SCALE

| NO. | BEARING/DELTA | RADIUS   | LENGTH         |
|-----|---------------|----------|----------------|
| 1   | 04°29'11"     | 983.00'  | 76.97' M & R4  |
| 2   | N18°01'14"W   | ---      | 48.37' M & R4  |
| 3   | N20°58'13"W   | ---      | 124.12' M & R4 |
| 4   | N18°01'14"W   | ---      | 48.37' M & R4  |
| 5   | 00°45'53"     | 1239.00' | 16.53' M & R4  |
| 6   | 54°33'04"     | 39.00'   | 37.13' M & R4  |
| 7   | 26°05'12"     | 83.50'   | 42.57' M & R4  |
| 8   | 59°07'20"     | 39.00'   | 40.24' M & R4  |
| 9   | N21°11'54"W   | ---      | 6.00' M & R4   |
| 10  | N21°11'54"W   | ---      | 23.00' M & R4  |
| 11  | N69°48'08"E   | ---      | 113.71' M & R4 |
| 12  | 43°45'07"     | 500.00'  | 381.81' M & R5 |
| 13  | 01°14'05"     | 500.00'  | 10.78' M & R5  |
| 14  | 01°07'24"     | 523.00'  | 10.25' M & R5  |
| 15  | 78°48'01"     | 20.00'   | 27.51' M & R5  |
| 16  | 06°36'28"     | 333.00'  | 38.40' M & R5  |
| 17  | 09°27'30"     | 277.00'  | 45.73' M & R5  |
| 18  | N35°18'34"E   | ---      | 53.32' M & R5  |
| 19  | 92°47'19"     | 20.00'   | 32.38' M & R5  |
| 20  | 12°43'32"     | 277.00'  | 61.52' M & R5  |
| 21  | N52°13'08"E   | ---      | 39.89' M & R5  |
| 22  | N37°48'52"W   | ---      | 52.55' M & R5  |
| 23  | N44°44'26"W   | ---      | 26.58' M & R5  |
| 24  | N41°48'04"W   | ---      | 17.74' M & R5  |
| 25  | N38°54'00"W   | ---      | 26.00' M & R5  |
| 26  | N36°01'08"W   | ---      | 17.45' M & R5  |
| 27  | N33°09'22"W   | ---      | 25.71' M & R5  |
| 28  | N30°20'49"W   | ---      | 17.35' M & R5  |
| 29  | N27°50'01"W   | ---      | 32.47' M & R5  |
| 30  | N24°59'47"W   | ---      | 10.56' M & R5  |
| 31  | N21°26'10"W   | ---      | 45.35' M & R5  |
| 32  | N15°23'45"W   | ---      | 40.97' M & R5  |
| 33  | N11°51'08"W   | ---      | 14.96' M & R5  |
| 34  | N08°57'01"W   | ---      | 28.78' M & R5  |
| 35  | N05°14'28"W   | ---      | 27.15' M & R5  |
| 36  | N03°12'04"W   | ---      | 16.02' M & R5  |
| 37  | N04°22'24"E   | ---      | 16.18' M & R5  |
| 38  | N05°37'38"E   | ---      | 7.52' M & R5   |
| 39  | N04°22'24"E   | ---      | 46.00' M & R5  |
| 40  | N04°22'24"E   | ---      | 37.50' M & R5  |
| 41  | N05°37'38"E   | ---      | 22.23' M & R5  |
| 42  | N15°14'11"E   | ---      | 29.49' M & R5  |

SEC. 15, T. 3 S., R. 1 W., S.B.M.  
R.S. 21 / 45  
R.S. 35 / 42

BASIS OF BEARINGS  
N07°33'53"E 2915.55' M & R1, R2  
N07°33'53"E 1192.92'



IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

# TRACT NO. 33096-11

BEING A SUBDIVISION OF LOTS 1 THROUGH 4, 33 THROUGH 109, "A" THROUGH "D", "G" THROUGH "O", "W" AND "AB" THROUGH "AV" OF TRACT NO. 33096-2 AS SHOWN ON A MAP THEREOF FILED IN BOOK 428, PAGES 51 THROUGH 60 INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID RIVERSIDE COUNTY.



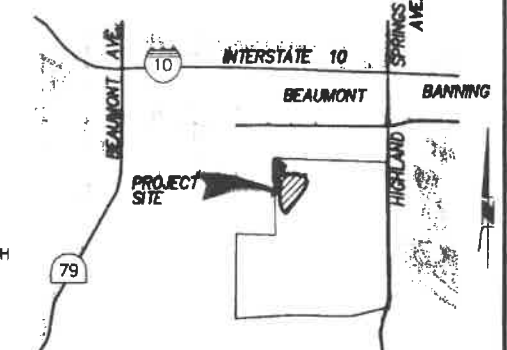
## BOUNDARY CONTROL MAP & SHEET INDEX MAP

(3) INDICATES SHEET NUMBER

**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED ON THE LINE BETWEEN STATIONS "TRAK" AND "MATH" (POSITIONS PER NATIONAL GEODETIC SURVEY, NAD83, EPOCH 1995.5) AS SHOWN ON A MAP FILED IN BOOK 102, PAGES 50 THROUGH 65 OF RECORDS OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING NORTH 52°49'03" EAST.

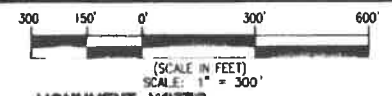
**DATUM STATEMENT:**  
COORDINATES SHOWN HEREON ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM (CCS83), ZONE 6, 1983 NAD (EPOCH 1995.50). ALL DISTANCES SHOWN ARE GROUND UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCE MULTIPLY THE GROUND DISTANCE SHOWN BY 0.9998872.

FD. 1" IRON PIPE WITH PLASTIC PLUG STAMPED "L.S. 4628", PER R1 DESTROYED DURING CONSTRUCTION RESET 2" IRON PIPE TAGGED "L.S. 5134" AT RECORD DISTANCE FROM MONUMENT TO THE SOUTH PER R2. MARKING NW COR., E 1/2, NW 1/4, SEC 14, T.3S., R.1W.



**VICINITY MAP**  
NOT TO SCALE  
DATA TABLE

| NO. | Bearing/Delta | RADIUS   | LENGTH      |
|-----|---------------|----------|-------------|
| 1   | N89°43'13"E   | 170.09'  | M & R5      |
| 2   | N37°57'51"E   | 131.06'  | M & R5      |
| 3   | N06°14'39"E   | 93.66'   | M & R5      |
| 4   | N30°47'00"W   | 119.30'  | M & R5      |
| 5   | N57°30'05"E   | 125.56'  | M & R5      |
| 6   | N69°16'21"W   | 115.85'  | M & R5      |
| 7   | N71°43'17"E   | 113.82'  | M & R5      |
| 8   | N75°35'15"W   | 101.30'  | M & R5      |
| 9   | N56°30'32"E   | 116.93'  | M & R5      |
| 10  | N67°52'05"E   | 135.76'  | M & R5      |
| 11  | N13°18'32"W   | 192.05'  | M & R5      |
| 12  | N13°18'32"W   | 346.74'  | M & R2      |
| 13  | 02°56'23"     | 561.00'  | M & R5      |
| 14  | 21°50'34"     | 561.00'  | M & R4      |
| 15  | N74°44'18"E   | 24.41'   | M & R4      |
| 16  | N39°44'47"E   | 46.00'   | M & R4      |
| 17  | N04°45'16"E   | 24.41'   | M & R4      |
| 18  | 27°18'44"     | 983.00'  | M & R4      |
| 19  | 24°46'57"     | 561.00'  | M & C.F. R4 |
| 20  | N50°15'13"W   | 76.72'   | M & R5      |
| 21  | 45°44'15"     | 277.00'  | M & R5      |
| 22  | N04°30'58"W   | 88.33'   | M & R5      |
| 23  | 04°14'38"     | 1977.00' | M & R5      |
| 24  | N00°16'20"W   | 315.41'  | M & R5      |
| 25  | 90°00'00"     | 20.00'   | M & R5      |
| 26  | N00°16'20"W   | 46.00'   | M & R5      |
| 27  | 90°00'00"     | 20.00'   | M & R5      |
| 28  | N00°16'20"W   | 44.24'   | M & R5      |
| 29  | 11°04'53"     | 323.00'  | M & R5      |
| 30  | N78°38'47"E   | 41.50'   | M & R5      |
| 31  | 16°29'03"     | 281.50'  | M & R5      |
| 32  | 24°04'40"     | 100.50'  | M & R5      |
| 33  | N51°54'56"W   | 27.45'   | M & R5      |
| 34  | 128°21'24"    | 10.08'   | M & R5      |
| 35  | N00°16'20"W   | 119.96'  | M & R5      |
| 36  | N89°43'40"E   | 34.81'   | M & R5      |

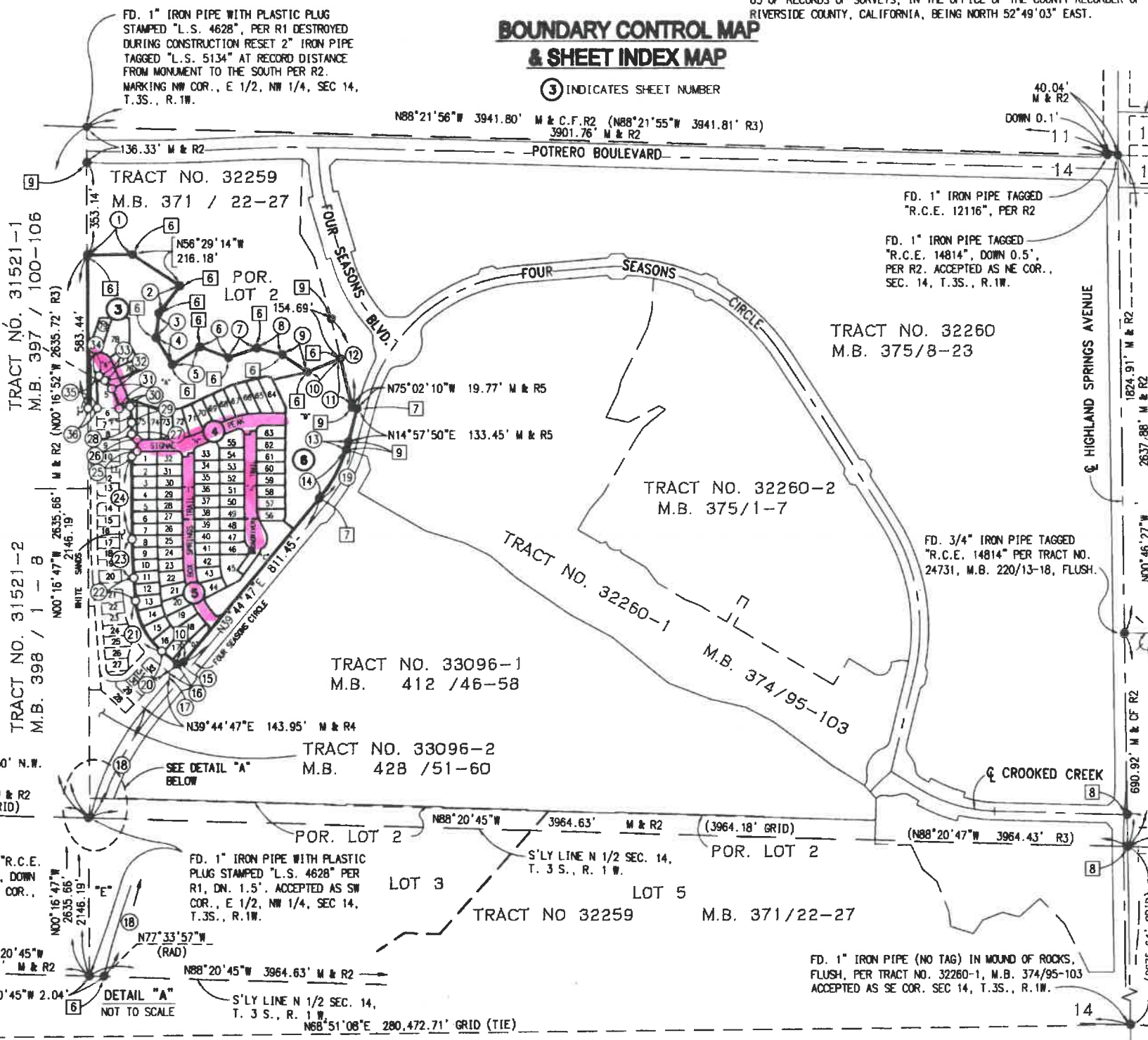


**MONUMENT NOTES:**

- FOUND MONUMENT AS NOTED AND REFERENCED.
  - SET MONUMENT AS NOTED AND REFERENCED.
1. ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL.
  2. ALL BOUNDARY CORNERS WILL BE MONUMENTED WITH A 2" IRON PIPE & BRASS TAG STAMPED "L.S. 5134", OR LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, OR AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
  3. CENTER LINES OF PRIVATE STREETS WILL BE MONUMENTED AT INTERSECTIONS, POINTS OF TANGENT INTERSECTION (P.I.), ANGLE POINTS AND CURVE-DE-SAC RADIUS POINTS WITH AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, OR A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, UNLESS OTHERWISE NOTED.
  4. LOT CORNERS WHICH ABUT A STREET WILL BE MONUMENTED ON A 4.75' OFFSET (O/S), MEASURED PERPENDICULAR OR RADIAL FROM AND INSIDE THE STREET RIGHT-OF-WAY, ON THE LOT LINE PRODUCED WITH A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, UNLESS OTHERWISE NOTED. (NO MONUMENTS WILL BE SET FOR ANGLE POINTS, CORNER CUTOFFS, B.C.'S, E.C.'S, P.C.C.'S OR P.R.C.'S THAT ABUT A STREET, UNLESS OTHERWISE NOTED.)
  5. LOT CORNERS WHICH DO NOT ABUT A STREET WILL BE MONUMENTED WITH A 1" IRON PIPE & BRASS TAG STAMPED "L.S. 5134", OR A LEAD, TACK & TAG STAMPED "L.S. 5134" IN CONCRETE, OR AN 8" SPIKE & BRASS WASHER STAMPED "L.S. 5134" IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE, UNLESS OTHERWISE NOTED.
  6. DENOTES 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", TO BE SET PER TRACT NO. 33096-2, M.B. 428/51-60.
  7. DENOTES LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE ON 0.25' OFFSET INSIDE STREET RIGHT-OF-WAY ON SIDELINE PRODUCED, TO BE SET PER TRACT NO. 33096-2 M.B. 428/51-60.
  8. DENOTES FOUND 3/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 32260-1, M.B. 374/95-103.
  9. DENOTES FOUND 2" IRON PIPE TAGGED "L.S. 5134" PER TRACT NO. 32260-1, M.B. 374/95-103.
  10. DENOTES 2" IRON PIPE TAGGED "L.S. 5134", FLUSH, OR LEAD, TACK AND TAG "L.S. 5134", FLUSH, IN CONCRETE OR A SPIKE W/BRASS WASHER STAMPED "L.S. 5134", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
  11. DENOTES FOUND 3/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 33096-1, M.B. 412/46-58.
  12. DENOTES FOUND 3/8" COPPER CLAD STEEL PIN WITH 1 1/2" BRASS CAP STAMPED "L.S. 5134", TO BE SET PER TRACT NO. 33096-2, M.B. 428/51-60.

**REFERENCES:**

1. M - MEASURED
2. C.F. - CALCULATED FROM
3. O/S - OFFSET
4. ( ) - RECORD DATA
5. R1 - TRACT NO. 32259, M.B. 371/22-27
6. R2 - TRACT NO. 32260-1, M.B. 374/95-103
7. R3 - TRACT NO. 31521-1, M.B. 397/100-106
8. R4 - TRACT NO. 33096-1, M.B. 412/46-58
9. R5 - TRACT NO. 33096-2, M.B. 428/51-60
10. (RAD) - DENOTES RADIAL BEARING



**MATH (LAKE MATHIEWS)**  
2257398.558  
6201355.292  
FD. 1" STAINLESS STEEL ROD IN LARGE BOULDER, UP 1.0', 50' N.W. OF BRASS DISK STAMPED STA. 57+82.57 PER R.S. 102/50-65.  
N82°37'13"E (TIE)  
144.868.16' GRID  
N88°20'45"W 1325.84' M & R2  
(1325.69' GRID)

**TRAK (BOMMER CANYON)**  
2171990.406  
6088762.992 FD. 5/8" STAINLESS STEEL CENTER PUNCHED PIN, FLUSH, IN SANDSTONE BEDROCK OUTCROPPING PER R.S. 102/50-65.  
N52°49'03"E  
141.320.84' GRID

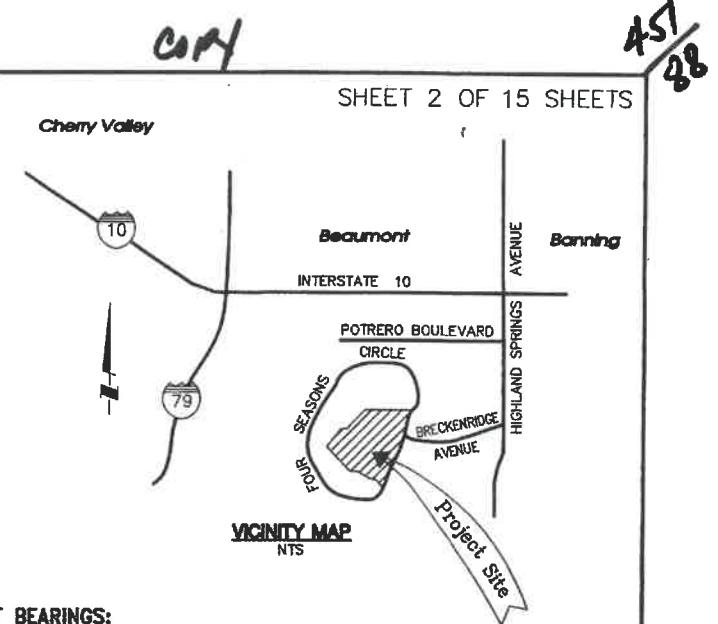
**DETAIL "A" NOT TO SCALE**  
N77°33'57"W (RAD)  
N88°20'45"W 3964.63' M & R2  
S'LY LINE N 1/2 SEC. 14, T.3S., R.1W.

IN THE CITY OF BEAUMONT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

# TRACT NO. 33096-12

BEING A SUBDIVISION OF A PORTION OF LOT 5 OF TRACT NO. 32259 ON FILE IN BOOK 371, PAGES 22 THROUGH 27, INCLUSIVE, OF MAPS TOGETHER WITH A PORTION OF PARCEL 1 OF LOT LINE ADJUSTMENT NO. 15-LLA-003 RECORDED JULY 23, 2015 AS INSTRUMENT NO. 2015-0327135 OF OFFICIAL RECORDS, ALL IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, BEING LOCATED IN SECTION 14, T. 3 S., R. 1 W., S.B.M.

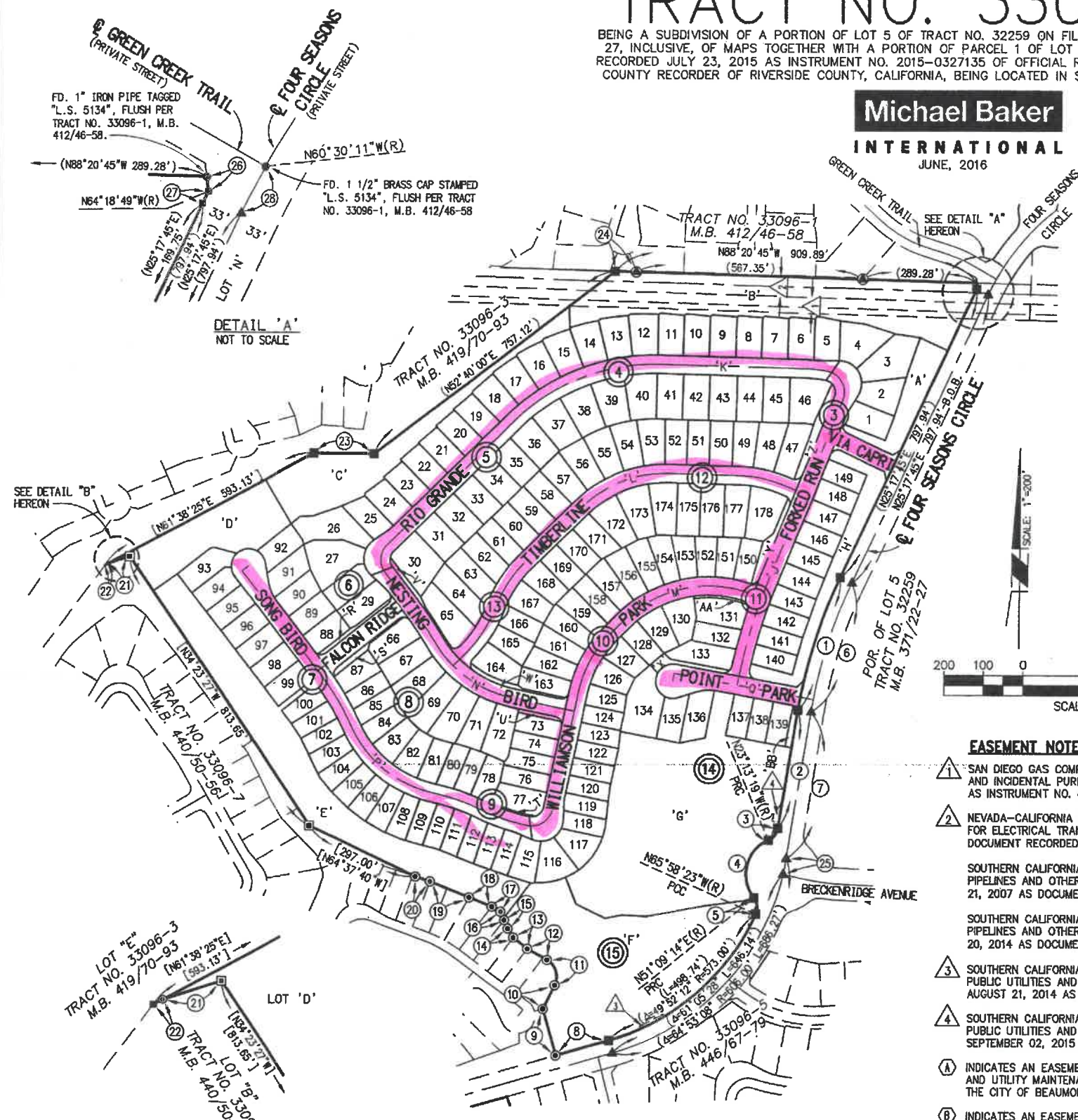
**Michael Baker INTERNATIONAL**  
JUNE, 2016



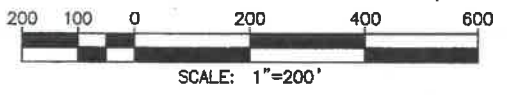
SHEET 2 OF 15 SHEETS

COPY

457/28



| NO | BEARING/Delta  | LENGTH  | RADIUS   |
|----|----------------|---------|----------|
| 1  | Δ=16° 17' 04"  | 348.73' | 1227.00' |
| 2  | S09° 00' 41" W | 299.75' | ---      |
| 3  | Δ=57° 46' 00"  | 39.32'  | 39.00'   |
| 4  | Δ=105° 37' 27" | 172.37' | 93.50'   |
| 5  | Δ=62° 52' 23"  | 42.80'  | 39.00'   |
| 6  | Δ=16° 17' 04"  | 339.36' | 1194.00' |
| 7  | N09° 00' 41" E | 371.73' | ---      |
| 8  | N73° 53' 49" E | 136.78' | -CALC'D  |
| 9  | N16° 06' 11" W | 121.03' | ---      |
| 10 | N26° 10' 28" E | 66.31'  | ---      |
| 11 | Δ=87° 10' 03"  | 73.03'  | 48.00'   |
| 12 | N60° 59' 35" W | 58.70'  | ---      |
| 13 | N51° 38' 29" W | 45.02'  | ---      |
| 14 | N32° 53' 27" W | 26.75'  | ---      |
| 15 | N23° 04' 11" W | 23.10'  | ---      |
| 16 | N24° 13' 33" W | 23.18'  | ---      |
| 17 | N60° 03' 58" W | 24.92'  | ---      |
| 18 | N68° 17' 29" W | 61.35'  | ---      |
| 19 | N68° 05' 41" W | 105.62' | ---      |
| 20 | N71° 48' 17" W | 38.36'  | ---      |
| 21 | N72° 05' 08" E | 56.16'  | ---      |
| 22 | N61° 38' 25" E | 9.48'   | ---      |
| 23 | N89° 20' 13" W | 151.91' | ---      |
| 24 | N88° 20' 45" W | 53.26'  | ---      |
| 25 | Δ=03° 47' 39"  | 40.13'  | 606.00'  |
| 26 | N06° 43' 37" W | 12.35'  | ---      |
| 27 | Δ=00° 23' 26"  | 4.31'   | 633.00'  |
| 28 | Δ=04° 12' 04"  | 43.99'  | 600.00'  |



**BASIS OF BEARINGS:**

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF FOUR SEASONS CIRCLE AS SHOWN ON TRACT NO. 33096-3 FILED IN MAP BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA BEING NORTH 281745° EAST.

**SURVEYOR'S NOTES:**

- ( ) - DENOTES RECORD DATA PER TRACT NO. 33096-3, FILED IN MAP BOOK 419, PAGES 70 THROUGH 93, INCLUSIVE, RECORDS OF THE COUNTY OF RIVERSIDE, AND MEASURED, UNLESS OTHERWISE NOTED.
- [ ] - DENOTES RECORD DATA PER TRACT NO. 33096-7, FILED IN MAP BOOK 440, PAGES 50 THROUGH 56, INCLUSIVE, RECORDS OF THE COUNTY OF RIVERSIDE, AND MEASURED, UNLESS OTHERWISE NOTED.
- ALL MONUMENTS SHOWN AS SET WILL BE SET WITHIN ONE YEAR AFTER THE ACCEPTANCE OF IMPROVEMENTS BY THE CITY COUNCIL. EXISTING BOUNDARY MONUMENTS THAT ARE DESTROYED DUE TO CONSTRUCTION WILL BE RESET AS STATED ABOVE.

SET 1" IRON PIPE TAGGED "L.S. 8508", FLUSH; OR LEAD, TACK AND TAG "L.S. 8508", FLUSH, IN CONCRETE OR A SPIKE W/BASS WASHER STAMPED "L.S. 8508", FLUSH, IN ASPHALT PAVEMENT HAVING A THICKNESS OF 2" OR MORE AT ALL REAR LOT CORNERS, REAR AND SIDE LOT ANGLE POINTS AND ENDS OF CURVE. LOT CORNERS WHICH ABUT A PRIVATE STREET WILL BE MARKED ON A 4.75' OFFSET INSIDE THE STREET RIGHT-OF-WAY IN CONCRETE BY A LEAD, TACK AND TAG "L.S. 8508" ON SIDE LOT LINES PRODUCED.

**EASEMENT NOTES:**

- SAN DIEGO GAS COMPANY HOLDER OF AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED APRIL 20, 1971 AS INSTRUMENT NO. 40682, O.R.
- NEVADA-CALIFORNIA ELECTRIC CORPORATION HOLDER OF AN EASEMENT FOR ELECTRICAL TRANSMISSION LINES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED DECEMBER 09, 1939 PER O.R. 437/483.
- SOUTHERN CALIFORNIA GAS COMPANY HOLDER OF AN EASEMENT FOR PIPELINES AND OTHER APPURTENANCES PER DOCUMENT RECORDED JUNE 21, 2007 AS DOCUMENT NO. 2007-0406117 O.R. (NOT PLOTTABLE)
- SOUTHERN CALIFORNIA GAS COMPANY HOLDER OF AN EASEMENT FOR PIPELINES AND OTHER APPURTENANCES PER DOCUMENT RECORDED MAY 20, 2014 AS DOCUMENT NO. 2014-0182700 O.R. (NOT PLOTTABLE)
- SOUTHERN CALIFORNIA EDISON COMPANY HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED AUGUST 21, 2014 AS DOCUMENT NO. 2014-0318314 O.R.
- SOUTHERN CALIFORNIA EDISON COMPANY HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER DOCUMENT RECORDED SEPTEMBER 02, 2015 AS DOCUMENT NO. 2015-0393296 O.R.
- INDICATES AN EASEMENT FOR INGRESS AND EGRESS FOR PUBLIC SAFETY AND UTILITY MAINTENANCE VEHICLE PURPOSES DEDICATED HEREON TO THE CITY OF BEAUMONT.
- INDICATES AN EASEMENT FOR SEWER PURPOSES DEDICATED HEREON TO THE CITY OF BEAUMONT.

- △ SET COPPERWELD MONUMENT STAMPED "L.S. 8508", FLUSH.
- DENOTES FOUND MONUMENT AS NOTED AND REFERENCED HEREON.
- ▲ FOUND 1 1/2" BRASS CAP STAMPED "L.S. 5134", FLUSH, PER TRACT NO. 33096-3, M.B. 419/70-93.
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-3, M.B. 419/70-93.
- ▣ DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 32259, M.B. 371/22-27.
- DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-1, M.B. 412/46-58.
- ⊙ DENOTES 2" IRON PIPE TAGGED "L.S. 5134" OR SPIKE AND WASHER STAMPED "L.S. 5134" OR LEAD, TACK AND TAG "L.S. 5134" TO BE SET PER TRACT NO. 33096-7, M.B. 440/50-56.
- (R) = RADIAL BEARING
- (B.O.B.) = BASIS OF BEARING

**BOUNDARY CONTROL AND SHEET INDEX MAP**

(3) INDICATES SHEET NUMBER





## Staff Report

**TO:** Mayor, and City Council Members

**FROM:** Jeff Hart, Public Works Director

**DATE:** February 4, 2020

**SUBJECT:** **Improvement and Credit / Reimbursement Agreement for Transportation Uniform Mitigation Fee’s between the City of Beaumont and Pardee Homes for the Oak Valley Interchange Project**

### Background and Analysis:

The Oak Valley Interchange Project (Project) consists of design engineering of a new partial cloverleaf interchange at Oak Valley Parkway and Interstate 10. The preliminary layout design is as shown in Attachment A.

The City of Beaumont (City) is a member agency of the Western Riverside Council of Governments (WRCOG), a joint powers agency comprised of the County of Riverside and 18 cities located in Western Riverside County. WRCOG is the administrator for the Transportation Uniform Mitigation Fee (TUMF) Program. As part of the TUMF Program, the City has adopted the “Transportation Uniform Mitigation Fee Nexus Study: 2016 Update.”

Pardee Homes has requested from the City certain entitlements and/or permits for the construction of improvements. Pursuant to the TUMF Program, the City requires the developer to pay the TUMF fees which covers the developer’s fair share of the costs to deliver TUMF improvements. This helps mitigate the project’s traffic impacts and burdens on the regional system of highways and arterials generated by the project. These are intended to coordinate regional transportation improvements to mitigate congestion.

As an option, and in lieu of paying TUMF, the developer can complete improvements listed on the TUMF nexus study and obtain credit for the improvements. Project costs allocated in the TUMF nexus study for the engineering design for the Project are \$6,390,000. This agreement will provide the developer TUMF credits not to exceed the amount of the maximum TUMF valuation. It is anticipated that the City will develop a request for proposals for the design engineering of the Project and subsequently enter

into a professional services agreement with the successful respondent. The developer will reimburse the City for project related expenses on a routine basis until the Project is complete in order to obtain the specified TUMF credit.

Staff is recommending approval of the Improvement and Credit / Reimbursement Agreement between the City of Beaumont and Pardee Homes for the Project in an amount not to exceed \$6,390,000. A copy of the agreement has been reviewed by WRCOG whom is in concurrence with the attached credit agreement (Attachment B).

**Fiscal Impact:**

The Agreement provides for WRCOG TUMF fee credits to be granted based on the engineering design of TUMF facilities. All TUMF credits and terms are subject to the applicable administrative rules and written approval of WRCOG. This agreement does not provide for any credits of City fees. City staff estimates the cost to prepare this agreement to be approximately \$2,000.

**Recommended Action:**

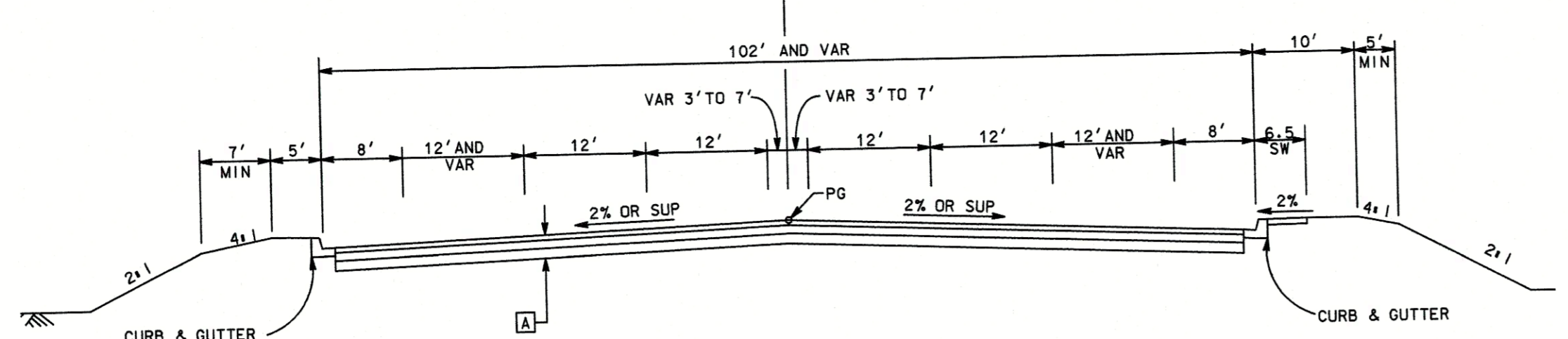
Approve the Improvement and Credit / Reimbursement Agreement between the City of Beaumont and Pardee Homes for the Oak Valley Interchange Project and authorize the Mayor to execute the agreement.

**Attachments:**

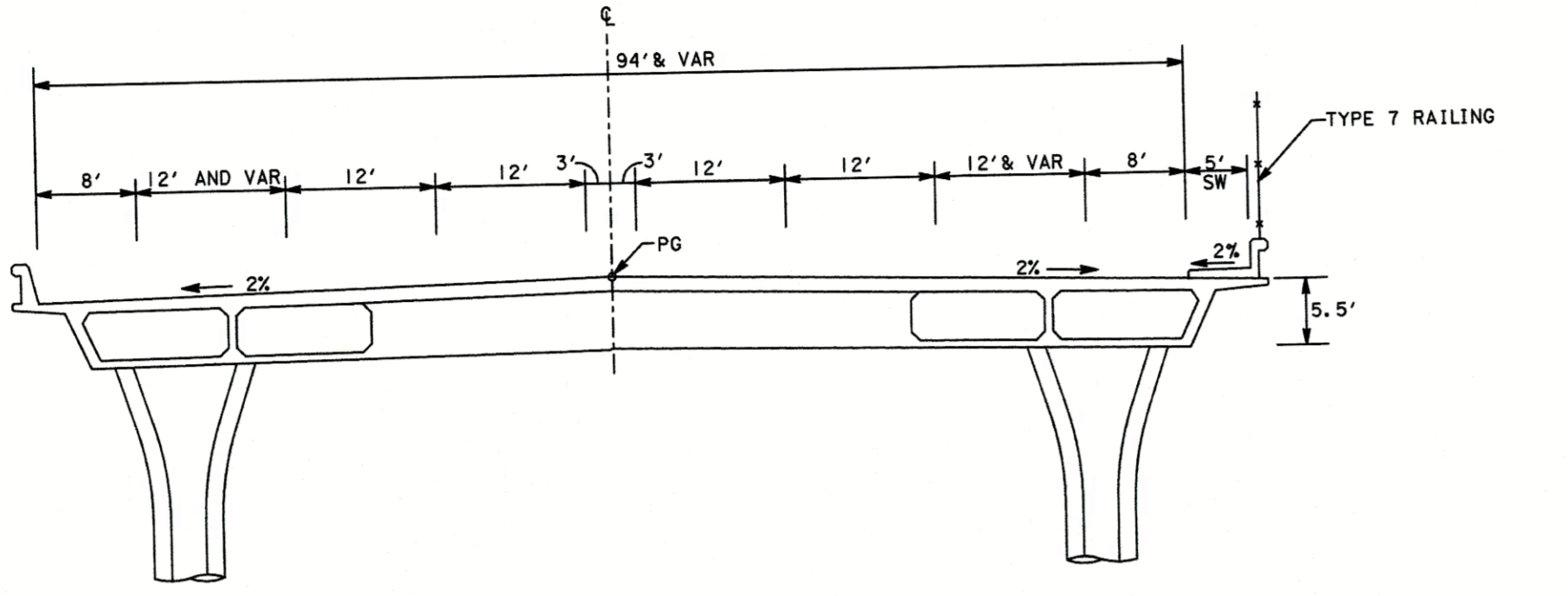
- A. Facility Map
- B. Agreement between the City of Beaumont and Pardee Homes for the Oak Valley Interchange Project

**LEGEND**  
 -> DIRECTION OF TRAVEL  
 - - - ACCESS CONTROL  
 - - - RETAINING WALL

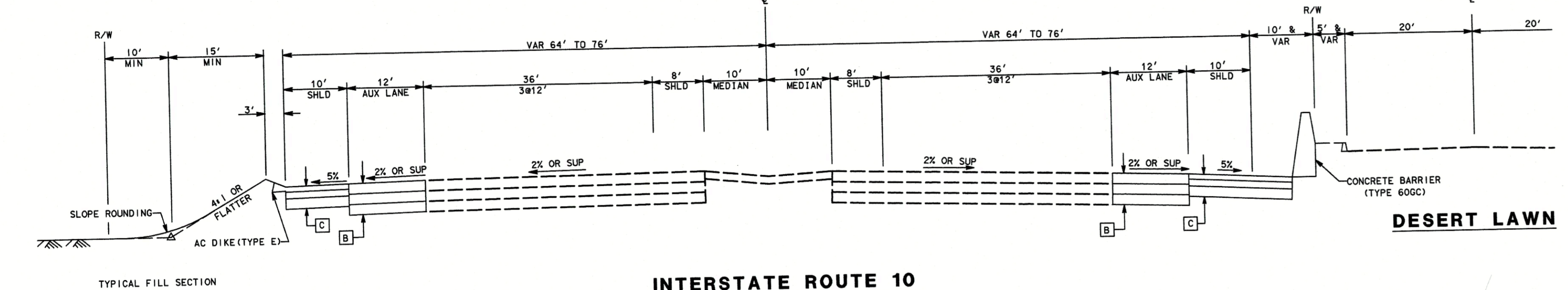
| NO. | R        | Δ          | L       | P        | Δ |
|-----|----------|------------|---------|----------|---|
| 1   | 1000.00' | 14°32'34"  | 885.75' | 1758.24' |   |
| 2   | 1500.00' | 31°07'21"  | 417.71' | 814.79'  |   |
| 3   | 1000.00' | 50°59'14"  | 472.53' | 862.96'  |   |
| 4   | 3000.00' | 03°11'50"  | 83.84'  | 163.11'  |   |
| 5   | 850.00'  | 21°30'50"  | 258.10' | 499.17'  |   |
| 6   | 300.00'  | 50°53'38"  | 182.53' | 357.90'  |   |
| 7   | 120.00'  | 154°28'11" | 500.86' | 341.42'  |   |
| 8   | 3000.00' | 03°28'08"  | 82.08'  | 164.17'  |   |
| 9   | 700.00'  | 08°23'53"  | 49.29'  | 96.23'   |   |
| 10  | 850.00'  | 23°24'27"  | 171.23' | 336.73'  |   |
| 11  | 3000.00' | 03°58'09"  | 82.12'  | 164.20'  |   |
| 12  | 210.00'  | 18°19'28"  | 142.50' | 278.60'  |   |
| 13  | 850.00'  | 40°19'08"  | 210.83' | 510.58'  |   |
| 14  | 850.00'  | 13°21'52"  | 101.85' | 200.25'  |   |
| 15  | 1800.00' | 21°28'58"  | 341.67' | 676.81'  |   |
| 16  | 850.00'  | 33°23'08"  | 255.11' | 495.75'  |   |
| 17  | 78.00'   | 84°01'22"  | 81.79'  | 124.95'  |   |



**PROPOSED OAK VALLEY PARKWAY**

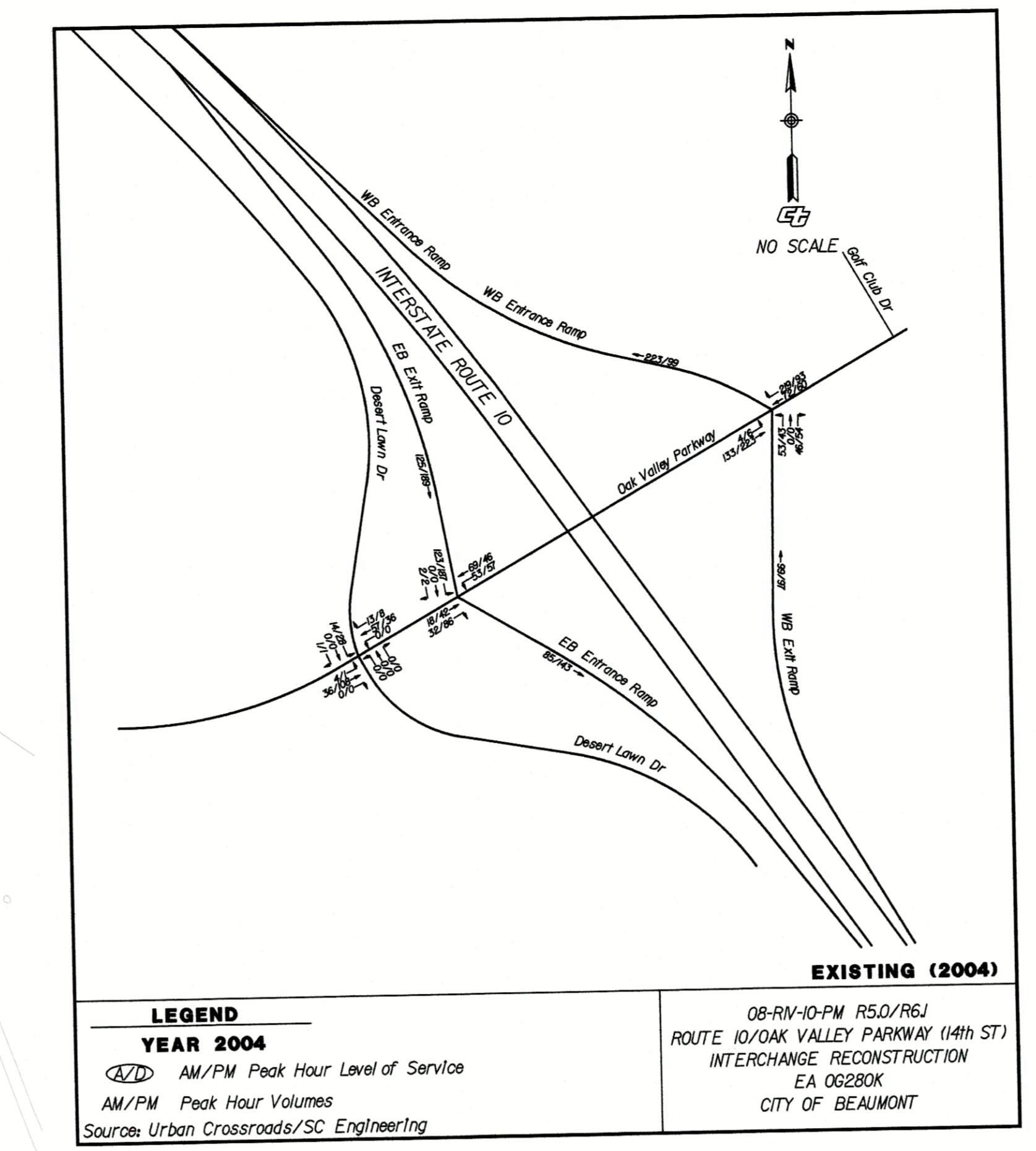
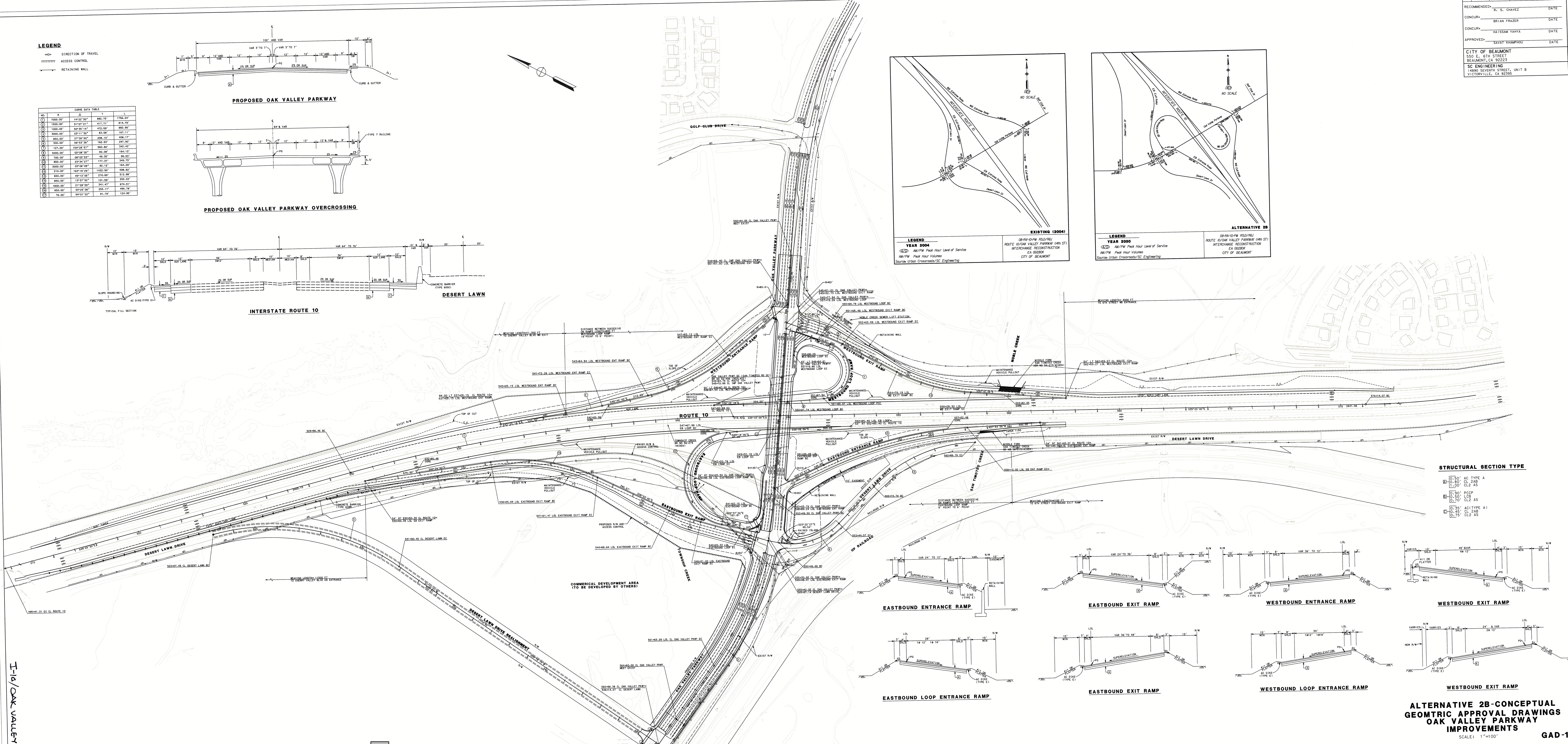


**PROPOSED OAK VALLEY PARKWAY OVERCROSSING**

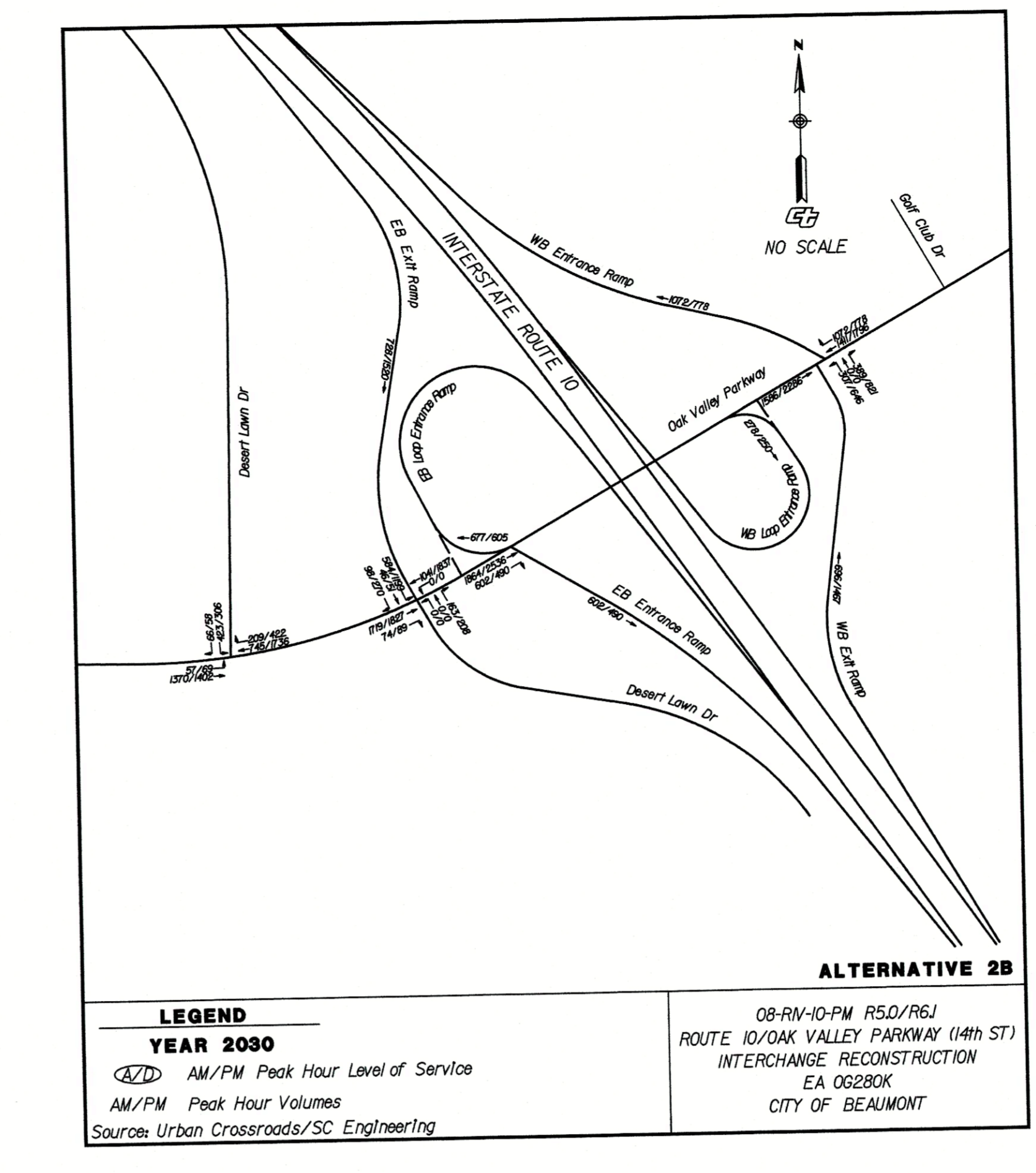


**INTERSTATE ROUTE 10**

**DESERT LAWN**



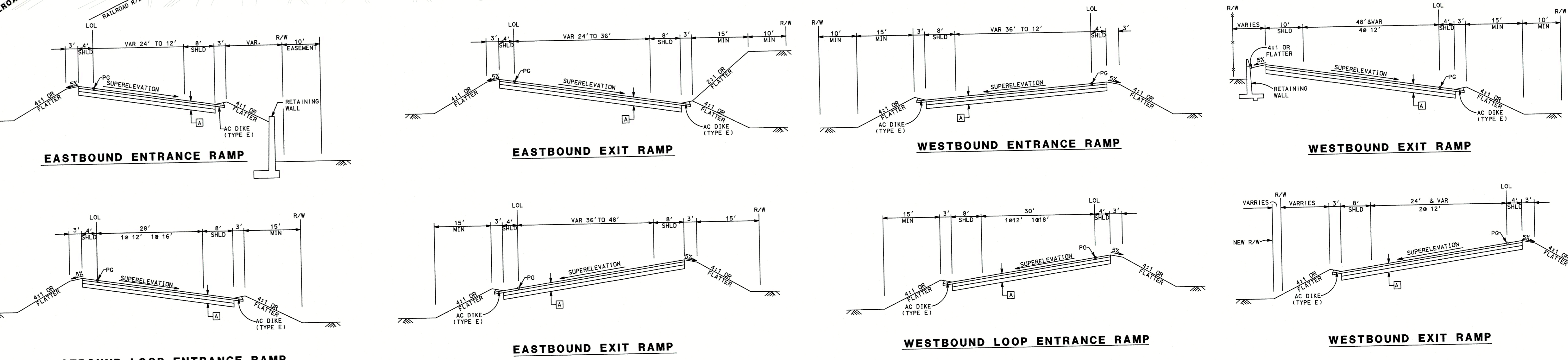
**EXISTING (2004)**  
 LEGEND  
 YEAR 2004  
 (Q)D - AM/PM Peak Hour Level of Service  
 (M)PM - Peak Hour Volumes  
 Source: Urban Crossroads/SC Engineering



**ALTERNATIVE 2B**  
 LEGEND  
 YEAR 2000  
 (Q)D - AM/PM Peak Hour Level of Service  
 (M)PM - Peak Hour Volumes  
 Source: Urban Crossroads/SC Engineering

**STRUCTURAL SECTION TYPE**

|       |            |
|-------|------------|
| 0.50' | AC TYPE A  |
| 0.80' | CL 2AB     |
| 1.00' | CL 2 AS    |
| 0.50' | PCCP       |
| 0.50' | LCD AS     |
| 0.10' | CL 2 AS    |
| 0.35' | AC TYPE A1 |
| 0.45' | CL 2AB     |
| 0.75' | CL 2 AS    |



**ALTERNATIVE 2B-CONCEPTUAL GEOMETRIC APPROVAL DRAWINGS OAK VALLEY PARKWAY IMPROVEMENTS**  
 SCALE: 1"=100'  
 GAD-1

I-10/OAK VALLEY

**IMPROVEMENT AND CREDIT / REIMBURSEMENT AGREEMENT  
TRANSPORTATION UNIFORM MITIGATION FEE PROGRAM**

This **IMPROVEMENT AND CREDIT AGREEMENT** (“Agreement”) is entered into this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, (the “Effective Date”) by and between the the City of Beaumont of, a California municipal corporation (“AGENCY” or “City”), and Pardee Homes, a California corporation, with its principal place of business at 1250 Corona Pointe Court, #600, Corona, CA 92879 (“Developer”). AGENCY and Developer are sometimes hereinafter referred to individually as “Party” and collectively as “Parties”.

**RECITALS**

**WHEREAS**, Developer owns 1,500 acres of real property located within the AGENCY, which is more specifically described in the legal description set forth in Exhibit “A”, attached hereto and incorporated herein by this reference (“Property”);

**WHEREAS**, Developer has requested from AGENCY-certain entitlements and/or permits for the construction of improvements on the Property, which are more particularly described as Sundance and Tournament Hills (“Project”);

**WHEREAS**, the AGENCY is a member agency of the Western Riverside Council of Governments (“WRCOG”), a joint powers agency comprised of the County of Riverside and 18 cities located in Western Riverside County. WRCOG is the administrator for the Transportation Uniform Mitigation Fee (“TUMF”) Program;

**WHEREAS**, as part of the TUMF Program, the AGENCY has adopted “Transportation Uniform Mitigation Fee Nexus Study: 2016 Update” (“2016 Nexus Study”)

**WHEREAS**, as a condition to AGENCY’s approval of the Project, AGENCY has required Developer to mitigate traffic impacts to streets and transportation system improvement(s) of regional importance that are included in the TUMF program, and, as a mitigation of traffic impacts of the Project, Developer has agreed to prepare plans, specifications and estimates (PS&E) for certain street and transportation system improvement(s) of regional importance (“TUMF Improvements”);

**WHEREAS**, pursuant to the TUMF Program, the AGENCY requires Developer to pay the TUMF which covers the Developer’s fair share of the costs to deliver those TUMF Improvements that help mitigate the Project’s traffic impacts and burdens on the Regional System of Highways and Arterials (also known as the “TUMF Network”), generated by the Project and that are necessary to protect the safety, health and welfare of persons that travel to and from the Project using the TUMF Network;

**WHEREAS**, the TUMF Improvements have been designated as having Regional or Zonal Significance as further described in the 2016 Nexus Study and the 5 year Transportation Improvement Program as may be amended;

**WHEREAS**, AGENCY and Developer now desire to enter into this Agreement for the following purposes: (1) to provide for the timely delivery of the TUMF Improvements, (2) to

ensure that delivery of the TUMF Improvements is undertaken as if the TUMF Improvements were constructed under the direction and authority of the AGENCY, (3) to provide a means by which the Developer’s costs for project delivery of the TUMF Improvements and related right-of-ways is offset against Developer’s obligation to pay the applicable TUMF for the Project in accordance with the TUMF Administrative Plan adopted by WRCOG, and (4) to provide a means, subject to the separate approval of WRCOG, for Developer to be reimbursed to the extent the actual and authorized costs for the delivery of the TUMF Improvements exceeds Developer's TUMF obligation.

**NOW, THEREFORE, for the purposes set forth herein, and for good and valuable consideration, the adequacy of which is hereby acknowledged, Developer and AGENCY hereby agree as follows:**

**TERMS**

1.0 Incorporation of Recitals. The Parties hereby affirm the facts set forth in the Recitals above and agree to the incorporation of the Recitals as though fully set forth herein.

2.0 Construction of TUMF Improvements. Developer shall construct or have constructed at its own cost, expense, and liability certain street and transportation system improvements generally described as the **preparation of plans, specifications and estimates for the Oak Valley/Interstate 10 Interchange project, including the design for environmental mitigation and utility relocation** and as shown more specifically on the plans, profiles, and specifications which have been or will be prepared by or on behalf of Developer and approved by AGENCY, and which are incorporated herein by this reference (“TUMF Improvements”). Construction of the TUMF Improvements shall include any transitions and/or other incidental work deemed necessary for drainage or public safety. Developer shall be responsible for the replacement, relocation, or removal of any component of any existing public or private improvement in conflict with the construction or installation of the TUMF Improvements. Such replacement, relocation, or removal shall be performed to the complete satisfaction of AGENCY and the owner of such improvement. Developer further promises and agrees to provide all equipment, tools, materials, labor, tests, design work, and engineering services necessary to fully and adequately complete the TUMF Improvements.

2.1 Pre-approval of Plans and Specifications. Developer is prohibited from commencing work on any portion of the TUMF Improvements until all plans and specifications for the TUMF Improvements have been submitted to and approved by AGENCY. Approval by AGENCY shall not relieve Developer from ensuring that all TUMF Improvements conform with all other requirements and standards set forth in this Agreement.

2.2 Permits and Notices. Prior to commencing any work, Developer shall, at its sole cost, expense, and liability, obtain all necessary permits and licenses and give all necessary and incidental notices required for the lawful construction of the TUMF Improvements and performance of Developer’s obligations under this Agreement. Developer shall conduct the work in full compliance with the regulations, rules, and other requirements contained in any permit or license issued to Developer.

2.3 Public Works Requirements. In order to insure that the TUMF Improvements will be constructed as if they had been constructed under the direction and supervision, or under the authority of, AGENCY, Developer shall comply with all of the following requirements with respect to the construction of the TUMF Improvements:

(a) Developer shall obtain bids for the construction of the TUMF Improvements, in conformance with the standard procedures and requirements of AGENCY, with respect to its public works projects, or in a manner which is approved by the Public Works Department.

(b) The contract or contracts for the construction of the TUMF Improvements shall be awarded to the responsible bidder(s) submitting the lowest responsive bid(s) for the construction of the TUMF Improvements.

(c) Developer shall require, and the specifications and bid and contract documents shall require, all such contractors to pay prevailing wages (in accordance with Articles 1 and 2 of Chapter 1, Part 7, Division 2 of the Labor Code) and to otherwise comply with applicable provisions of the Labor Code, the Government Code and the Public Contract Code relating to public works projects of cities/counties and as required by the procedures and standards of AGENCY with respect to the construction of its public works projects or as otherwise directed by the Public Works Department.

(d) All such contractors shall be required to provide proof of insurance coverage throughout the term of the construction of the TUMF Improvements which they will construct in conformance with AGENCY's standard procedures and requirements.

(e) Developer and all such contractors shall comply with such other requirements relating to the construction of the TUMF Improvements which AGENCY may impose by written notification delivered to Developer and each such contractor at any time, either prior to the receipt of bids by Developer for the construction of the TUMF Improvements, or, to the extent required as a result of changes in applicable laws, during the progress of construction thereof.

Developer shall provide proof to AGENCY, at such intervals and in such form as AGENCY may require that the foregoing requirements have been satisfied as to the TUMF Improvements.

2.4 Quality of Work; Compliance With Laws and Codes. The construction plans and specifications for the TUMF Improvements shall be prepared in accordance with all applicable federal, state and local laws, ordinances, regulations, codes, standards, and other requirements. The TUMF Improvements shall be completed in accordance with all approved maps, plans, specifications, standard drawings, and special amendments thereto on file with AGENCY, as well as all applicable federal, state, and local laws, ordinances, regulations, codes, standards, and other requirements applicable at the time work is actually commenced.

2.5 Standard of Performance. Developer and its contractors, if any, shall perform all work required, constructing the TUMF Improvements in a skillful and workmanlike manner, and consistent with the standards generally recognized as being employed by professionals in the same discipline in the State of California. Developer represents and maintains that it or its contractors

shall be skilled in the professional calling necessary to perform the work. Developer warrants that all of its employees and contractors shall have sufficient skill and experience to perform the work assigned to them, and that they shall have all licenses, permits, qualifications and approvals of whatever nature that are legally required to perform the work, and that such licenses, permits, qualifications and approvals shall be maintained throughout the term of this Agreement.

2.6 Alterations to TUMF Improvements. All work shall be done and the TUMF Improvements completed as shown on approved plans and specifications, and any subsequent alterations thereto. If during the course of construction and installation it is determined that the public interest requires alterations in the TUMF Improvements, Developer shall undertake such design and construction changes as may be reasonably required by AGENCY. Any and all alterations in the plans and specifications and the TUMF Improvements to be completed may be accomplished without first giving prior notice thereof to Developer's surety for this Agreement.

2.7 Assignment of Work Product. Developer will assign all rights to work product under the contracts for the design of the TUMF Improvements to the AGENCY.

3.0 Maintenance of TUMF Improvements. AGENCY shall not be responsible or liable for the maintenance or care of the TUMF Improvements until AGENCY approves and accepts them. AGENCY shall exercise no control over the TUMF Improvements until accepted. Any use by any person of the TUMF Improvements, or any portion thereof, shall be at the sole and exclusive risk of Developer at all times prior to AGENCY's acceptance of the TUMF Improvements. Developer shall maintain all of the TUMF Improvements in a state of good repair until they are completed by Developer and approved and accepted by AGENCY, and until the security for the performance of this Agreement is released. It shall be Developer's responsibility to initiate all maintenance work, but if it shall fail to do so, it shall promptly perform such maintenance work when notified to do so by AGENCY. If Developer fails to properly prosecute its maintenance obligation under this section, AGENCY may do all work necessary for such maintenance and the cost thereof shall be the responsibility of Developer and its surety under this Agreement. AGENCY shall not be responsible or liable for any damages or injury of any nature in any way related to or caused by the TUMF Improvements or their condition prior to acceptance.

4.0 Fees and Charges. Developer shall, at its sole cost, expense, and liability, pay all fees, charges, and taxes arising out of the construction of the TUMF Improvements, including, but not limited to, all plan check, design review, engineering, inspection, sewer treatment connection fees, and other service or impact fees established by AGENCY.

5.0 AGENCY Inspection of TUMF Improvements. Developer shall, at its sole cost, expense, and liability, and at all times during construction of the TUMF Improvements, maintain reasonable and safe facilities and provide safe access for inspection by AGENCY of the TUMF Improvements and areas where construction of the TUMF Improvements is occurring or will occur.

6.0 Liens. Upon the expiration of the time for the recording of claims of liens as prescribed by Sections 8412 and 8414 of the Civil Code with respect to the TUMF Improvements, Developer shall provide to AGENCY such evidence or proof as AGENCY shall require that all persons, firms and corporations supplying work, labor, materials, supplies and equipment to the construction of the TUMF Improvements, have been paid, and that no claims of liens have been recorded by or on

behalf of any such person, firm or corporation. Rather than await the expiration of the said time for the recording of claims of liens, Developer may elect to provide to AGENCY a title insurance policy or other security acceptable to AGENCY guaranteeing that no such claims of liens will be recorded or become a lien upon any of the Property.

7.0 Acceptance of TUMF Improvements; As-Built or Record Drawings. If the TUMF Improvements are properly completed by Developer and approved by AGENCY, and if they comply with all applicable federal, state and local laws, ordinances, regulations, codes, standards, and other requirements, AGENCY shall be authorized to accept the TUMF Improvements. AGENCY may, in its sole and absolute discretion, accept fully completed portions of the TUMF Improvements prior to such time as all of the TUMF Improvements are complete, which shall not release or modify Developer's obligation to complete the remainder of the TUMF Improvements. Upon the total or partial acceptance of the TUMF Improvements by AGENCY, Developer shall file with the Recorder's Office of the County of Riverside a notice of completion for the accepted TUMF Improvements in accordance with California Civil Code sections 8182, 8184, 9204, and 9208 ("Notice of Completion"), at which time the accepted TUMF Improvements shall become the sole and exclusive property of AGENCY without any payment therefore. Notwithstanding the foregoing, AGENCY may not accept any TUMF Improvements unless and until Developer provides one (1) set of "as-built" or record drawings or plans to the AGENCY for all such TUMF Improvements. The drawings shall be certified and shall reflect the condition of the TUMF Improvements as constructed, with all changes incorporated therein.

8.0 Warranty and Guarantee. Developer hereby warrants and guarantees all the TUMF Improvements against any defective work or labor done, or defective materials furnished in the performance of this Agreement, including the maintenance of the TUMF Improvements, for a period of one (1) year following completion of the work and acceptance by AGENCY ("Warranty"). During the Warranty, Developer shall repair, replace, or reconstruct any defective or otherwise unsatisfactory portion of the TUMF Improvements, in accordance with the current ordinances, resolutions, regulations, codes, standards, or other requirements of AGENCY, and to the approval of AGENCY. All repairs, replacements, or reconstruction during the Warranty shall be at the sole cost, expense, and liability of Developer and its surety. As to any TUMF Improvements which have been repaired, replaced, or reconstructed during the Warranty, Developer and its surety hereby agree to extend the Warranty for an additional one (1) year period following AGENCY's acceptance of the repaired, replaced, or reconstructed TUMF Improvements. Nothing herein shall relieve Developer from any other liability it may have under federal, state, or local law to repair, replace, or reconstruct any TUMF Improvement following expiration of the Warranty or any extension thereof. Developer's warranty obligation under this section shall survive the expiration or termination of this Agreement.

9.0 Administrative Costs. If Developer fails to construct and install all or any part of the TUMF Improvements, or if Developer fails to comply with any other obligation contained herein, Developer and its surety shall be jointly and severally liable to AGENCY for all administrative expenses, fees, and costs, including reasonable attorney's fees and costs, incurred in obtaining compliance with this Agreement or in processing any legal action or for any other remedies permitted by law.

10.0 Default; Notice; Remedies.



10.1 Notice. If Developer neglects, refuses, or fails to fulfill or timely complete any obligation, term, or condition of this Agreement, or if AGENCY determines there is a violation of any federal, state, or local law, ordinance, regulation, code, standard, or other requirement, AGENCY may at any time thereafter declare Developer to be in default or violation of this Agreement and make written demand upon Developer or its surety, or both, to immediately remedy the default or violation (“Notice”). Developer shall substantially commence the work required to remedy the default or violation within five (5) days of the Notice. If the default or violation constitutes an immediate threat to the public health, safety, or welfare, AGENCY may provide the Notice verbally, and Developer shall substantially commence the required work within twenty-four (24) hours thereof. Immediately upon AGENCY’s issuance of the Notice, Developer and its surety shall be liable to AGENCY for all costs of construction and installation of the TUMF Improvements and all other administrative costs or expenses as provided for in this Section 10.0 of this Agreement.

10.2 Failure to Remedy; AGENCY Action. If the work required to remedy the noticed default or violation is not diligently prosecuted to a completion acceptable to AGENCY within the time frame contained in the Notice, AGENCY may complete all remaining work, arrange for the completion of all remaining work, and/or conduct such remedial activity as in its sole and absolute discretion it believes is required to remedy the default or violation. All such work or remedial activity shall be at the sole and absolute cost, expense, and liability of Developer and its surety, without the necessity of giving any further notice to Developer or surety. AGENCY’s right to take such actions shall in no way be limited by the fact that Developer or its surety may have constructed any of the TUMF Improvements at the time of AGENCY’s demand for performance. In the event AGENCY elects to complete or arrange for completion of the remaining work and the TUMF Improvements, AGENCY may require all work by Developer or its surety to cease in order to allow adequate coordination by AGENCY.

10.3 Other Remedies. No action by AGENCY pursuant to this Section 10.0 et seq. of this Agreement shall prohibit AGENCY from exercising any other right or pursuing any other legal or equitable remedy available under this Agreement or any federal, state, or local law. AGENCY may exercise its rights and remedies independently or cumulatively, and AGENCY may pursue inconsistent remedies. AGENCY may institute an action for damages, injunctive relief, or specific performance.

11.0 Security; Surety Bonds. Prior to the commencement of any work on the TUMF Improvements, Developer or its contractor shall provide AGENCY with surety bonds in the amounts and under the terms set forth below (“Security”). The amount of the Security shall be based on the estimated actual costs to construct the TUMF Improvements, as determined by AGENCY after Developer has awarded a contract for construction of the TUMF Improvements to the lowest responsive and responsible bidder in accordance with this Agreement (“Estimated Costs”). If AGENCY determines, in its sole and absolute discretion, that the Estimated Costs have changed, Developer or its contractor shall adjust the Security in the amount requested by AGENCY. Developer’s compliance with this Section 11.0 et seq. of this Agreement shall in no way limit or modify Developer’s indemnification obligation provided in Section 12.0 of this Agreement.

11.1 Performance Bond. To guarantee the faithful performance of the TUMF Improvements and all the provisions of this Agreement, to protect AGENCY if Developer is in default as set forth in Section 10.0 et seq. of this Agreement, and to secure the one-year guarantee and warranty of the TUMF Improvements, Developer or its contractor shall provide AGENCY a faithful performance bond in an amount which sum shall be not less than one hundred percent (100%) of the Estimated Costs. The AGENCY may, in its sole and absolute discretion, partially release a portion or portions of the security provided under this section as the TUMF Improvements are accepted by AGENCY, provided that Developer is not in default on any provision of this Agreement and the total remaining security is not less than one hundred percent (100%) of the Estimated Costs. All security provided under this section shall be released at the end of the Warranty period, or any extension thereof as provided in Section 11.0 of this Agreement, provided that Developer is not in default on any provision of this Agreement.

11.2 Labor & Material Bond. To secure payment to the contractors, subcontractors, laborers, materialmen, and other persons furnishing labor, materials, or equipment for performance of the TUMF Improvements and this Agreement, Developer or its contractor shall provide AGENCY a labor and materials bond in an amount which sum shall not be less than one hundred percent (100%) of the Estimated Costs. The security provided under this section may be released by written authorization of AGENCY after six (6) months from the date AGENCY accepts the TUMF Improvements. The amount of such security shall be reduced by the total of all stop notice or mechanic's lien claims of which AGENCY is aware, plus an amount equal to twenty percent (20%) of such claims for reimbursement of AGENCY's anticipated administrative and legal expenses arising out of such claims.

11.3 Additional Requirements. The surety for any surety bonds provided as Security shall have a current A.M. Best rating of at least "A" and FSC-VIII, shall be licensed to do business in California, and shall be satisfactory to AGENCY. As part of the obligation secured by the Security and in addition to the face amount of the Security, Developer, its contractor or the surety shall secure the costs and reasonable expenses and fees, including reasonable attorney's fees and costs, incurred by AGENCY in enforcing the obligations of this Agreement. Developer, its contractor and the surety shall stipulate and agree that no change, extension of time, alteration, or addition to the terms of this Agreement, the TUMF Improvements, or the plans and specifications for the TUMF Improvements shall in any way affect its obligation on the Security.

11.4 Evidence and Incorporation of Security. Evidence of the Security shall be provided on the forms set forth in Exhibit "B", unless other forms are deemed acceptable by the AGENCY, and when such forms are completed to the satisfaction of AGENCY, the forms and evidence of the Security shall be attached hereto as Exhibit "B" and incorporated herein by this reference.

12.0 Indemnification. Developer shall defend, indemnify, and hold harmless AGENCY, the Western Riverside Council of Governments (WRCOG), their elected officials, board members, employees, and agents from any and all actual or alleged claims, demands, causes of action, liability, loss, damage, or injury to property or persons, including wrongful death, whether imposed by a court of law or by administrative action of any federal, state, or local governmental agency, arising out of or incident to any acts, omissions, negligence, or willful misconduct of Developer, its employees, contractors, or agents in connection with the performance of this Agreement, or arising out of or in any way related to or caused by the TUMF Improvements or their condition

prior to AGENCY’s approval and acceptance of the TUMF Improvements (“Claims”). This indemnification includes, without limitation, the payment of all penalties, fines, judgments, awards, decrees, attorneys fees, and related costs or expenses, and the reimbursement of AGENCY, WRCOG, their elected officials, board members, employees, and/or agents for all legal expenses and costs incurred by each of them. This indemnification excludes only such portion of any Claim which is caused solely and exclusively by the negligence or willful misconduct of AGENCY as determined by a court or administrative body of competent jurisdiction. Developer’s obligation to indemnify shall survive the expiration or termination of this Agreement, and shall not be restricted to insurance proceeds, if any, received by AGENCY, WRCOG, their elected officials, board members, employees, or agents.

13.0 Insurance.

13.1 Types; Amounts. Developer shall procure and maintain, and shall require its contractors to procure and maintain, during performance of this Agreement, insurance of the types and in the amounts described below (“Required Insurance”). If any of the Required Insurance contains a general aggregate limit, such insurance shall apply separately to this Agreement or be no less than two times the specified occurrence limit.

13.1.1 General Liability. Occurrence form general liability insurance at least as broad as Insurance Services Office Form CG 00 01, or equivalent form, with an occurrence limit of Two Million Dollars (\$2,000,000) and aggregate limit of Four Million Dollars (\$4,000,000) for bodily injury, personal injury, and property damage.

13.1.2 Business Automobile Liability. Business automobile liability insurance at least as broad as Insurance Services Office Form CA 00 01 (coverage symbol 1 – any auto), or equivalent form, with a combined single limit of not less than One Million Dollars (\$1,000,000) per occurrence. Such insurance shall include coverage for the ownership, operation, maintenance, use, loading, or unloading of any auto owned, leased, hired, or borrowed by the insured or for which the insured is responsible.

13.1.3 Workers’ Compensation. Workers’ compensation insurance with limits as required by the Labor Code of the State of California and employers’ liability insurance with limits of not less than One Million Dollars (\$1,000,000) per occurrence, at all times during which insured retains employees.

13.1.4 Professional Liability. For any consultant or other professional who will engineer or design the TUMF Improvements, liability insurance for errors and omissions with limits not less than Two Million Dollars (\$2,000,000) per occurrence, shall be procured and maintained for a period of five (5) years following completion of the TUMF Improvements. Such insurance shall be endorsed to include contractual liability.

13.2 Deductibles. Any deductibles or self-insured retentions must be declared to and approved by AGENCY. At the option of AGENCY, either: (a) the insurer shall reduce or eliminate such deductibles or self-insured retentions as respects AGENCY, its elected officials, officers, employees, agents, and volunteers; or (b) Developer and its contractors shall provide a financial

guarantee satisfactory to AGENCY guaranteeing payment of losses and related investigation costs, claims, and administrative and defense expenses.

13.3 Additional Insured; Separation of Insureds. The Required Insurance, except for the professional liability and workers' compensation insurance, shall name AGENCY, WRCOG, their elected officials, board members, officers, employees, and agents as additional insureds with respect to work performed by or on behalf of Developer or its contractors, including any materials, parts, or equipment furnished in connection therewith. For Required Insurance provided by Developer's contractors, WRCOG shall be added as an additional insured using ISO CG 2038 or an exact equivalent. The Required Insurance shall contain standard separation of insureds provisions, and shall contain no special limitations on the scope of its protection to AGENCY, WRCOG, their elected officials, board members, officers, employees, or agents.

13.4 Primary Insurance; Waiver of Subrogation. The Required Insurance, except for the professional liability and workers' compensation insurance shall be primary with respect to any insurance or self-insurance programs covering AGENCY, WRCOG, their elected officials, board members, officers, employees, or agents. The Required Insurance, except for the professional liability insurance, shall provide that the insurance company waives all right of recovery by way of subrogation against AGENCY and WRCOG in connection with any damage or harm covered by such policy.

13.5 Certificates; Verification. Developer and its contractors shall furnish AGENCY with original certificates of insurance and endorsements effecting coverage for the Required Insurance. The certificates and endorsements for each insurance policy shall be signed by a person authorized by that insurer to bind coverage on its behalf. All certificates and endorsements must be received and approved by AGENCY before work pursuant to this Agreement can begin. AGENCY reserves the right to require complete, certified copies of all required insurance policies, at any time.

13.6 Term; Cancellation Notice. Developer and its contractors shall maintain the Required Insurance for the term of this Agreement and shall replace any certificate, policy, or endorsement which will expire prior to that date. All policies shall be endorsed to provide that the Required Insurance shall not be suspended, voided, reduced, canceled, or allowed to expire except on thirty (30) days' prior written notice to AGENCY. If such notice of cancellation endorsements are unavailable, Developer shall provide such thirty (30) days' written notice of cancellation.

13.7 Insurer Rating. Unless approved in writing by AGENCY, all Required Insurance shall be placed with insurers licensed to do business in the State of California and with a current A.M. Best rating of at least "A" and FSC-VIII.

14.0 TUMF Credit.

14.1 Developer's TUMF Obligation. Developer hereby agrees and accepts that as of the date of this Agreement, the amount Developer is obligated to pay to AGENCY \_ pursuant to Ordinance No. 1091 as part of the TUMF Program is Ten Million Four Hundred Twenty Five Thousand Seven Hundred and Seventy Five Dollars (\$10,425,775.00) ("TUMF Obligation"). This TUMF Obligation shall be initially determined under the TUMF fee schedule in effect for the

AGENCY at the time the Developer submits a building permit application for the TUMF Improvement. Notwithstanding, this TUMF Obligation does not have to be paid until the Certificate of Occupancy is obtained.

14.2 Fee Adjustments. Notwithstanding the foregoing, Developer agrees that this Agreement shall not estop AGENCY from adjusting the TUMF in accordance with the provisions of Ordinance No. 1091.

14.3 Credit Offset Against TUMF Obligation. Pursuant to Ordinance No. 1091 and in consideration for Developer's obligation under this Agreement for the delivery of TUMF Improvements, credit shall be applied by AGENCY to offset the TUMF Obligation ("Credit") subject to adjustment and reconciliation under Section 14.5 of this agreement. Developer hereby agrees that the amount of the Credit shall be applied after Developer has initiated the process of project delivery of TUMF Improvements to the lowest responsible bidder in accordance with this Agreement. Developer further agrees that the dollar amount of the Credit shall be equal to the lesser of: (A) the bid amount set forth in the contract awarded to the lowest responsible bidder, or (B) the unit cost assumptions for the TUMF Improvement in effect at the time of the contract award, as such assumptions are identified and determined in the most recent TUMF Nexus Study and the TUMF Administrative Plan adopted by WRCOG ("Unit Cost Assumptions"). The unit cost assumptions for the TUMF Improvements is currently estimated to be the sum of Six Million Three Hundred Ninety Thousand (\$6,390,000).

The bid amount and the Unit Cost Assumptions shall hereafter be collectively referred to as "Estimated Credit". At no time will the Credit exceed the Developer's TUMF Obligation. If the dollar amount of the Estimated Credit exceeds the dollar amount of the TUMF Obligation, Developer will be deemed to have completely satisfied its TUMF Obligation for the Project and may apply for a reimbursement agreement, to the extent applicable, as provided in Section 14.6 of this Agreement. If the dollar amount of the Estimated Credit is less than the dollar amount of the TUMF Obligation, the Developer agrees the Credit shall be applied to offset the TUMF Obligation as follows:

(i) For residential units in the Project, the Credit shall be applied to all residential units to offset and/or satisfy the TUMF Obligation. The residential units for which the TUMF Obligation has been offset and/or satisfied by use of the Credit, and the amount of offset applicable to each unit, shall be identified in the notice provided to the Developer by AGENCY pursuant to this section.

(ii) For commercial and industrial structures in the Project, the Credit shall be applied to all commercial and industrial development to offset and/or satisfy the TUMF Obligation. The commercial or industrial structure(s) for which the TUMF Obligation has been offset and/or satisfied by use of the Credit, and the amount of offset applicable to such structure(s), shall be identified in the notice provided to the Developer by AGENCY pursuant to this section.

AGENCY shall provide Developer written notice of the determinations that AGENCY makes pursuant to this section, including how the Credit is applied to offset the TUMF Obligation as described above.

14.4 Verified Cost of the TUMF Improvements. Upon recordation of the Notice of Completion for the TUMF Improvements and acceptance of the TUMF Improvements by AGENCY, Developer shall submit to the AGENCY Public Works Director the information set forth in the attached Exhibit “C”. The AGENCY Public Works Director, or his or her designee, shall use the information provided by Developer to calculate the total actual costs incurred by Developer in delivering the TUMF Improvements covered under this Agreement (“Verified Costs”). The AGENCY Public Works Director will use his or her best efforts to determine the amount of the Verified Costs and provide Developer written notice thereof within thirty (30) calendar days of receipt of all the required information from Developer.

14.5 Reconciliation; Final Credit Offset Against TUMF Obligation. The Developer is aware of and accepts the fact that Credits are speculative and conceptual in nature. The actual amount of Credit that shall be applied by AGENCY to offset the TUMF Obligation shall be equal to the lesser of: (A) the Verified Costs or (B) Unit Cost Assumptions for the TUMF Improvements as determined in accordance with Section 14.3 of this Agreement (“Actual Credit”). No Actual Credit will be awarded until the Verified Costs are determined through the reconciliation process. Please be advised that while a Developer may use an engineer’s estimates in order to estimate Credits for project planning purposes, the Actual Credit awarded will only be determined by the reconciliation process.

(a) TUMF Balance. If the dollar amount of the Actual Credit is less than the dollar amount of the TUMF Obligation, the AGENCY Public Works Director shall provide written notice to Developer of the amount of the difference owed (“TUMF Balance”) and Developer shall pay the TUMF Balance in accordance with Ordinance No. 1091 to fully satisfy the TUMF Obligation.

(b) TUMF Reimbursement. If the dollar amount of the Actual Credit exceeds the TUMF Obligation, Developer will be deemed to have fully satisfied the TUMF Obligation for the Project and may apply for a reimbursement agreement, to the extent applicable, as provided in Section 14.6 of this Agreement. AGENCY shall provide Developer written notice of the determinations that AGENCY makes pursuant to this section.

(c) TUMF Overpayment. If the dollar amount of the Actual Credit exceeds the Estimated Credit, but is less than the TUMF Obligation, but the Actual Credit plus additional monies collected by AGENCY from Developer for the TUMF Obligation exceed the TUMF Obligation (“TUMF Overpayment”), Developer will be deemed to have fully satisfied the TUMF Obligation for the Project and may be entitled to a refund. The AGENCY’s Public Works Director shall provide written notice to WRCOG and the Developer of the amount of the TUMF Overpayment and AGENCY shall direct WRCOG to refund the Developer in accordance with Ordinance No. 1091.

14.6 Reimbursement Agreement. If authorized under either Section 14.3 or Section 14.5 Developer may apply to AGENCY and WRCOG for a reimbursement agreement for the amount by which the Actual Credit exceeds the TUMF Obligation, as determined pursuant to Section 14.3 of this Agreement, Ordinance No. 1091 and the TUMF Administrative Plan adopted by WRCOG (“Reimbursement Agreement”). If AGENCY and WRCOG agree to a Reimbursement Agreement with Developer, the Reimbursement Agreement shall be executed on the form set forth in Exhibit

“D,” and shall contain the terms and conditions set forth therein. The Parties agree that the Reimbursement Agreement shall be subject to all terms and conditions of this Agreement, and that upon execution, an executed copy of the Reimbursement Agreement shall be attached hereto and shall be incorporated herein as a material part of this Agreement as though fully set forth herein.

15.0 Miscellaneous.

15.1 Assignment. Developer may, as set forth herein, assign all or a portion of its rights pursuant to this Agreement to a purchaser of a portion or portions of the Property ("Assignment"). Developer and such purchaser and assignee ("Assignee") shall provide to AGENCY such reasonable proof as it may require that Assignee is the purchaser of such portions of the Property. Any assignment pursuant to this Section shall not be effective unless and until Developer and Assignee have executed an assignment agreement with AGENCY in a form reasonably acceptable to AGENCY, whereby Developer and Assignee agree, except as may be otherwise specifically provided therein, to the following: (1) that Assignee shall receive all or a portion of Developer's rights pursuant to this Agreement, including such credit as is determined to be applicable to the portion of the Property purchased by Assignee pursuant to Section 14.0 et seq. of this Agreement, and (2) that Assignee shall be bound by all applicable provisions of this Agreement.

15.2 Relationship Between the Parties. The Parties hereby mutually agree that this Agreement shall not operate to create the relationship of partnership, joint venture, or agency between or among AGENCY, WRCOG and Developer. Developer's contractors are exclusively and solely under the control and dominion of Developer. Nothing herein shall be deemed to make Developer or its contractors an agent or contractor of AGENCY. This Agreement shall be interpreted and administered in a manner consistent with the TUMF Administrative Plan in effect at the time this Agreement is executed.

15.3 Warranty as to Property Ownership; Authority to Enter Agreement. Developer hereby warrants that it owns fee title to the Property and that it has the legal capacity to enter into this Agreement. Each Party warrants that the individuals who have signed this Agreement have the legal power, right, and authority make this Agreement and bind each respective Party.

15.4 Prohibited Interests. Developer warrants that it has not employed or retained any company or person, other than a bona fide employee working solely for Developer, to solicit or secure this Agreement. Developer also warrants that it has not paid or agreed to pay any company or person, other than a bona fide employee working solely for Developer, any fee, commission, percentage, brokerage fee, gift, or other consideration contingent upon the making of this Agreement. For breach of this warranty, AGENCY shall have the right to rescind this Agreement without liability.

15.5 Notices. All notices, demands, invoices, and written communications shall be in writing and delivered to the following addresses or such other addresses as the Parties may designate by written notice:

To AGENCY: City of Beaumont  
Attn: City Manager, City Clerk  
550 E. 6<sup>th</sup> Street

Beaumont, CA 92223  
 Fax No. (951) 769-8526

To Developer: Pardee Homes  
 Attn: Mike Taylor, Jeff Chambers  
 1250 Corona Pointe Court, Suite 600  
 Corona, CA 92879  
 Fax No. (951) 428-4410

Depending upon the method of transmittal, notice shall be deemed received as follows: by facsimile, as of the date and time sent; by messenger, as of the date delivered; and by U.S. Mail first class postage prepaid, as of 72 hours after deposit in the U.S. Mail.

15.6 Cooperation; Further Acts. The Parties shall fully cooperate with one another, and shall take any additional acts or sign any additional documents as may be necessary, appropriate, or convenient to attain the purposes of this Agreement.

15.7 Construction; References; Captions. It being agreed the Parties or their agents have participated in the preparation of this Agreement, the language of this Agreement shall be construed simply, according to its fair meaning, and not strictly for or against any Party. Any term referencing time, days, or period for performance shall be deemed calendar days and not work days. All references to Developer include all personnel, employees, agents, and contractors of Developer, except as otherwise specified in this Agreement. All references to AGENCY include its elected officials, officers, employees, agents, and volunteers except as otherwise specified in this Agreement. The captions of the various articles and paragraphs are for convenience and ease of reference only, and do not define, limit, augment, or describe the scope, content, or intent of this Agreement.

15.8 Amendment; Modification. No supplement, modification, or amendment of this Agreement shall be binding unless executed in writing and signed by both Parties.

15.9 Termination. This Agreement shall terminate 10 years after the Effective Date, unless extended in writing by the Parties. In addition, this Agreement shall terminate 5 years after the Effective Date in the event that the TUMF Improvements as specified in the Credit Agreement is not commenced within 5 years of the Effective Date..

15.9.1 Waiver. No waiver of any default shall constitute a waiver of any other default or breach, whether of the same or other covenant or condition. No waiver, benefit, privilege, or service voluntarily given or performed by a Party shall give the other Party any contractual right by custom, estoppel, or otherwise.

15.9.2 Binding Effect. Each and all of the covenants and conditions shall be binding on and shall inure to the benefit of the Parties, and their successors, heirs, personal representatives, or assigns. This section shall not be construed as an authorization for any Party to assign any right or obligation.



15.9.3 No Third Party Beneficiaries. There are no intended third party beneficiaries of any right or obligation assumed by the Parties.

15.9.4 Invalidity; Severability. If any portion of this Agreement is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

15.9.5 Consent to Jurisdiction and Venue. This Agreement shall be construed in accordance with and governed by the laws of the State of California. Any legal action or proceeding brought to interpret or enforce this Agreement, or which in any way arises out of the Parties' activities undertaken pursuant to this Agreement, shall be filed and prosecuted in the appropriate California State Court in the County of Riverside, California. Each Party waives the benefit of any provision of state or federal law providing for a change of venue to any other court or jurisdiction including, without limitation, a change of venue based on the fact that a governmental entity is a party to the action or proceeding, or that a federal right or question is involved or alleged to be involved in the action or proceeding. Without limiting the generality of the foregoing waiver, Developer expressly waives any right to have venue transferred pursuant to California Code of Civil Procedure Section 394.

15.9.6 Time is of the Essence. Time is of the essence in this Agreement, and the Parties agree to execute all documents and proceed with due diligence to complete all covenants and conditions.

15.9.7 Counterparts. This Agreement may be signed in counterparts, each of which shall constitute an original and which collectively shall constitute one instrument.

15.9.8 Entire Agreement. This Agreement contains the entire agreement between AGENCY and Developer and supersedes any prior oral or written statements or agreements between AGENCY and Developer.

**[SIGNATURES OF PARTIES ON NEXT PAGE]**

**IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the day and year first above written.**

DEVELOPER:  
PARDEE HOMES

By: \_\_\_\_\_

Its: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Its: \_\_\_\_\_

AGENCY:  
CITY OF BEAUMONT

By: \_\_\_\_\_

Its: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Its: \_\_\_\_\_

**EXHIBIT "A"**  
**LEGAL DESCRIPTION OF PROPERTY**  
**[ATTACH BEHIND THIS PAGE]**

EXHIBIT A-1

**EXHIBIT "B"**  
**FORMS FOR SECURITY**  
**[ATTACHED BEHIND THIS PAGE]**

BOND NO. \_\_\_\_\_  
INITIAL PREMIUM: \_\_\_\_\_  
SUBJECT TO RENEWAL

**PERFORMANCE BOND**

WHEREAS, the City of Beaumont (“AGENCY”) has executed an agreement with Pardee Homes (hereinafter “Developer”), requiring Developer to perform certain work consisting of but not limited to, furnishing all labor, materials, tools, equipment, services, and incidentals for the construction of street and transportation system improvements (hereinafter the “Work”);

WHEREAS, the Work to be performed by Developer is more particularly set forth in that certain TUMF Improvement and Credit/Reimbursement Agreement dated \_\_\_\_\_, (hereinafter the “Agreement”); and

WHEREAS, the Agreement is hereby referred to and incorporated herein by this reference; and

WHEREAS, Developer or its contractor is required by the Agreement to provide a good and sufficient bond for performance of the Agreement, and to guarantee and warranty the Work constructed thereunder.

NOW, THEREFORE, we the undersigned, City of Beaumont, as Principal and Pardee Homes, a corporation organized and existing under the laws of the State of California and duly authorized to transact business under the laws of the State of California, as Surety, are held and firmly bound unto the AGENCY in the sum of Six Million Three Hundred Ninety Thousand (\$6,390,000), said sum being not less than one hundred percent (100%) of the total cost of the Work as set forth in the Agreement, we bind ourselves, our heirs, executors and administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such, that if Developer and its contractors, or their heirs, executors, administrators, successors or assigns, shall in all things stand to and abide by, and well and truly keep and perform the covenants, conditions, agreements, guarantees, and warranties in the Agreement and any alteration thereof made as therein provided, to be kept and performed at the time and in the manner therein specified and in all respects according to their intent and meaning, and to indemnify and save harmless AGENCY, its officers, employees, and agents, as stipulated in the Agreement, then this obligation shall become null and void; otherwise it shall be and remain in full force and effect.

As part of the obligation secured hereby, and in addition to the face amount specified therefor, there shall be included costs and reasonable expenses and fees, including reasonable attorney’s fees, incurred by AGENCY in successfully enforcing such obligation, all to be taxed as costs and included in any judgment rendered.

The said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or additions to the terms of the said Agreement or to the Work to be performed thereunder or the specification accompanying the same shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or

addition to the terms of the Agreement or to the Work.

IN WITNESS WHEREOF, we have hereto set our hands and seals this \_\_\_\_ day on \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Principal

By: \_\_\_\_\_  
President

\_\_\_\_\_  
Surety

By: \_\_\_\_\_  
Attorney-in-Fact

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE §1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, before me,
\_\_\_\_\_
Date

Here Insert Name and Title of the Officer

personally appeared \_\_\_\_\_,
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title of Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_
Number of Pages: \_\_\_\_\_ Signer(s) Other Than Named Above: \_\_\_\_\_

Capacity(ies) Claimed by Signer(s)

Signer's Name: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer -
Title(s): \_\_\_\_\_

Corporate Officer -
Title(s): \_\_\_\_\_

- Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator

- Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator

Other: \_\_\_\_\_  
\_\_\_\_\_

Other: \_\_\_\_\_  
\_\_\_\_\_

Signer is  
Representing: \_\_\_\_\_  
\_\_\_\_\_

Signer is  
Representing: \_\_\_\_\_  
\_\_\_\_\_

**CERTIFICATE AS TO CORPORATE PRINCIPAL**

I, \_\_\_\_\_, certify that I am the \_\_\_\_\_ Secretary of the corporation named as principal in the attached bond, that \_\_\_\_\_ who signed the said bond on behalf of the principal was then \_\_\_\_\_ of said corporation; that I know his signature, and his signature thereto is genuine; and that said bond was duly signed, sealed and attested for and in behalf of said corporation by authority of its governing Board.

(Corporate Seal)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

NOTE: A copy of the power of attorney to local representatives of the bonding company may be attached hereto.



BOND NO. \_\_\_\_\_  
INITIAL PREMIUM: \_\_\_\_\_  
SUBJECT TO RENEWAL

**LABOR & MATERIAL BOND**

WHEREAS, the City of Beaumont (“AGENCY”) has executed an agreement with Pardee Homes (hereinafter “Developer”), requiring Developer to perform certain work consisting of but not limited to, furnishing all labor, materials, tools, equipment, services, and incidentals for the construction of street and transportation system improvements (hereinafter “Work”);

WHEREAS, the Work to be performed by Developer is more particularly set forth in that certain Improvement and Credit / Reimbursement Agreement dated \_\_\_\_\_, (hereinafter the “Agreement”); and

WHEREAS, Developer or its contractor is required to furnish a bond in connection with the Agreement providing that if Developer or any of his or its contractors shall fail to pay for any materials, provisions, or other supplies, or terms used in, upon, for or about the performance of the Work contracted to be done, or for any work or labor done thereon of any kind, or for amounts due under the provisions of 3248 of the California Civil Code, with respect to such work or labor, that the Surety on this bond will pay the same together with a reasonable attorney’s fee in case suit is brought on the bond.

NOW, THEREFORE, we the undersigned, City of Beaumont, as Principal and Pardee Homes, a corporation organized and existing under the laws of the State of California and duly authorized to transact business under the laws of the State of California, as Surety, are held and firmly bound unto the AGENCY and to any and all material men, persons, companies or corporations furnishing materials, provisions, and other supplies used in, upon, for or about the performance of the said Work, and all persons, companies or corporations renting or hiring teams, or implements or machinery, for or contributing to said Work to be done, and all persons performing work or labor upon the same and all persons supplying both work and materials as aforesaid, the sum of Six Million Three Hundred Ninety Thousand (\$6,390,000), said sum being not less than 100% of the total amount payable by Developer under the terms of the Agreement, for which payment well and truly to be made, we bind ourselves, our heirs, executors and administrators, successors and assigns jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH that if Developer or its contractors, or their heirs, executors, administrators, successors, or assigns, shall fail to pay for any materials, provisions, or other supplies or machinery used in, upon, for or about the performance of the Work contracted to be done, or for work or labor thereon of any kind, or fail to pay any of the persons named in California Civil Code Section 9100, or amounts due under the Unemployment Insurance Code with respect to work or labor performed by any such claimant, or for any amounts required to be deducted, withheld, and paid over to the Employment Development Department from the wages of employees of the contractor and his subcontractors pursuant to Section 13020 of the Unemployment Insurance Code with respect to such work and labor, and all other applicable laws of the State of California and rules and regulations of its agencies, then said Surety will pay the same in or to an amount not exceeding the sum specified herein.

In case legal action is required to enforce the provisions of this bond, the prevailing party shall be entitled to recover reasonable attorneys' fees in addition to court costs, necessary disbursements and other consequential damages. In addition to the provisions hereinabove, it is agreed that this bond will inure to the benefit of any and all persons, companies and corporations entitled to make claims under Sections 8024, 8400, 8402, 8404, 8430, 9100 of the California Civil Code, so as to give a right of action to them or their assigns in any suit brought upon this bond.

The said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or additions to the terms of the Agreement or to the Work to be performed thereunder or the specification accompanying the same shall in any way affect its obligations on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Agreement or to the Work.

IN WITNESS WHEREOF, we have hereto set our hands and seals this \_\_\_\_ day on \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Principal

By: \_\_\_\_\_  
President

\_\_\_\_\_  
Surety

By: \_\_\_\_\_  
Attorney-in-Fact

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE §1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA )
COUNTY OF \_\_\_\_\_ )

On \_\_\_\_\_, before me,
\_\_\_\_\_
Date

Here Insert Name and Title of the Officer

personally appeared \_\_\_\_\_,
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title of Type of Document: \_\_\_\_\_ Document Date: \_\_\_\_\_

Number of Pages: \_\_\_\_\_ Signer(s) Other Than Named Above: \_\_\_\_\_

Capacity(ies) Claimed by Signer(s)

Signer's Name: \_\_\_\_\_

Signer's Name: \_\_\_\_\_

Corporate Officer -
Title(s): \_\_\_\_\_

Corporate Officer -
Title(s): \_\_\_\_\_

- Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator

- Partner - Limited General
Individual Attorney in Fact
Trustee Guardian or Conservator

Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signer is  
Representing: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signer is  
Representing: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

CERTIFICATE AS TO CORPORATE PRINCIPAL

I, \_\_\_\_\_, certify that I am the \_\_\_\_\_ Secretary of the corporation named as principal in the attached bond, that \_\_\_\_\_ who signed the said bond on behalf of the principal was then \_\_\_\_\_ of said corporation; that I know his signature, and his signature thereto is genuine; and that said bond was duly signed, sealed and attested for and in behalf of said corporation by authority of its governing Board.

(Corporate Seal)

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

NOTE: A copy of the power of attorney to local representatives of the bonding company may be attached hereto.

**EXHIBIT “C”****DOCUMENTATION TO BE PROVIDED TO AGENCY BY DEVELOPER FOR  
DETERMINATION OF CONSTRUCTION COSTS**

To assist AGENCY in determining the Construction Costs for a completed TUMF Improvement, Developer shall provide the following documents to AGENCY:

1. Plans, specifications and Developer’s civil engineer’s cost estimate;
2. List of bidders from whom bids were requested;
3. Construction schedules and progress reports;
4. Contracts, insurance certificates and change orders with each contractor or vendor;
5. Invoices received from all vendors;
6. Canceled checks for payments made to contractors and vendors (copy both front and back of canceled checks);
7. Spreadsheet showing total costs incurred in and related to the construction of each TUMF Improvement and the check number for each item of cost and invoice;
8. Final lien releases from each contractor and vendor; and
9. Such further documentation as may be reasonably required by AGENCY to evidence the completion of construction and the payment of each item of cost and invoice.

**EXHIBIT “D”**

**REIMBURSEMENT AGREEMENT  
TRANSPORTATION UNIFORM MITIGATION FEE PROGRAM**

**THIS REIMBURSEMENT AGREEMENT** (“Agreement”) is entered into this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, by and between the [INSERT “City” OR “County”] of \_\_\_\_\_, [\*\*INSERT “a California municipal corporation” FOR CITY OR “a subdivision of the State of California” FOR COUNTY\*\*] (“AGENCY”), and \_\_\_\_\_, a California [\*\*INSERT TYPE OF ENTITY - corporation, partnership, sole proprietorship or other legal entity\*\*], with its principal place of business at [\*\*ENTER ADDRESS\*\*] (“Developer”). AGENCY and Developer are sometimes hereinafter referred to individually as “Party” and collectively as “Parties”.

**RECITALS**

WHEREAS, AGENCY and Developer are parties to an agreement dated \_\_\_\_\_, 20\_\_\_, entitled “Improvement and Credit Agreement - Transportation Uniform Mitigation Fee Program” (hereinafter “Credit Agreement”);

WHEREAS, Sections 14.1 through 14.3 of the Credit Agreement provide that Developer is obligated to pay AGENCY the TUMF Obligation, as defined therein, but shall receive credit to offset the TUMF Obligation if Developer constructs and AGENCY accepts the TUMF Improvements in accordance with the Credit Agreement;

WHEREAS, Section 14.5 of the Credit Agreement provides that if the dollar amount of the credit to which Developer is entitled under the Credit Agreement exceeds the dollar amount of the TUMF Obligation, Developer may apply to AGENCY and WRCOG for a reimbursement agreement for the amount by which the credit exceeds the TUMF Obligation;

WHEREAS, Section 14.5 additionally provides that a reimbursement agreement executed pursuant to the Credit Agreement (i) shall be executed on the form attached to the Credit Agreement, (ii) shall contain the terms and conditions set forth therein, (iii) shall be subject to all terms and conditions of the Credit Agreement, and (iv) shall be attached upon execution to the Credit Agreement and incorporated therein as a material part of the Credit Agreement as though fully set forth therein; and

WHEREAS, AGENCY and WRCOG have consented to execute a reimbursement agreement with Developer pursuant to the Credit Agreement, (insert appropriate reference for city or county), and the TUMF Administrative Plan adopted by WRCOG.

**NOW, THEREFORE, for the purposes set forth herein, and for good and valuable consideration, the adequacy of which is hereby acknowledged, the Parties hereby agree as follows:**

## TERMS

1.0 Incorporation of Recitals. The Parties hereby affirm the facts set forth in the Recitals above and agree to the incorporation of the Recitals as though fully set forth herein.

2.0 Effectiveness. This Agreement shall not be effective unless and until the Credit Agreement is effective and in full force in accordance with its terms.

3.0 Definitions. Terms not otherwise expressly defined in this Agreement, shall have the meaning and intent set forth in the Credit Agreement.

4.0 Amount of Reimbursement. Subject to the terms, conditions, and limitations set forth in this Agreement, the Parties hereby agree that Developer is entitled to receive the dollar amount by which the Actual Credit exceeds the dollar amount of the TUMF Obligation as determined pursuant to the Credit Agreement, (insert appropriate reference for city or county), and the TUMF Administrative Plan adopted by WRCOG (“Reimbursement”). The Reimbursement shall be subject to verification by WRCOG. AGENCY and Developer shall provide any and all documentation reasonably necessary for WRCOG to verify the amount of the Reimbursement. The Reimbursement shall be in an amount not exceeding [INSERT DOLLAR AMOUNT] (“Reimbursement Amount”). AGENCY shall be responsible for obtaining the Reimbursement Amount from WRCOG and transmitting the Reimbursement Amount to the Developer. In no event shall the dollar amount of the Reimbursement exceed the difference between the dollar amount of all credit applied to offset the TUMF Obligation pursuant to Section 14.3, 14.4, and 14.5 of the Credit Agreement, and one hundred (100%) of the approved unit awarded, as such assumptions are identified and determined in the Nexus Study and the TUMF Administrative Plan adopted by WRCOG.

5.0 Payment of Reimbursement; Funding Contingency. The payment of the Reimbursement Amount shall be subject to the following conditions:

5.1 Developer shall have no right to receive payment of the Reimbursement unless and until (i) the TUMF Improvements are completed and accepted by AGENCY in accordance with the Credit Agreement, (ii) the TUMF Improvements are scheduled for funding pursuant to the five-year Transportation Improvement Program adopted annually by WRCOG, (iii) WRCOG has funds available and appropriated for payment of the Reimbursement amount.

5.2 Developer shall not be entitled to any interest or other cost adjustment for any delay between the time when the dollar amount of the Reimbursement is determined and the time when payment of the Reimbursement is made to Developer by WRCOG through AGENCY.

6.0 Affirmation of Credit Agreement. AGENCY and Developer represent and warrant to each other that there have been no written or oral modifications or amendments of the Credit Agreement, except by this Agreement. AGENCY and Developer ratify and reaffirm each and every one of their respective rights and obligations arising under the Credit Agreement. AGENCY and Developer represent and warrant that the Credit Agreement is currently an effective, valid, and binding obligation.

7.0 Incorporation Into Credit Agreement. Upon execution of this Agreement, an executed original of this Agreement shall be attached as Exhibit “D” to the Credit Agreement and shall be incorporated therein as a material part of the Credit Agreement as though fully set forth therein.

8.0 Terms of Credit Agreement Controlling. Each Party hereby affirms that all provisions of the Credit Agreement are in full force and effect and shall govern the actions of the Parties under this Agreement as though fully set forth herein and made specifically applicable hereto, including without limitation, the following sections of the Credit Agreement: Sections 10.0 through 10.3, Section 12.0, Sections 13.0 through 13.7, Sections 14.0 through 14.6, and Sections 15.0 through 15.17.

**[SIGNATURES OF PARTIES ON NEXT PAGE]**



**IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the day and year first above written.**

\_\_\_\_\_  
("Developer")

By: \_\_\_\_\_

Its: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Its: \_\_\_\_\_

[INSERT "City" OR "County") of \_\_\_\_\_

By: \_\_\_\_\_

Its: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Its: \_\_\_\_\_

**EXHIBIT “E”**

**TUMF CREDIT / REIMBURSEMENT ELIGIBILITY PROCESS**

1. Prior to the construction of any TUMF Improvement, Developer shall follow the steps listed below:

- (a) Prepare a separate bid package for the TUMF Improvements.
- (b) The plans, cost estimate, specifications and contract document shall require all contractors to pay prevailing wages and to comply with applicable provisions of the Labor Code, Government Code, and Public Contract Code relating to Public Works Projects.
- (c) Bids shall be obtained and processed in accordance with the formal public works bidding requirements of the AGENCY.
- (d) The contract(s) for the construction of TUMF Improvements shall be awarded to the lowest responsible bidder(s) for the construction of such facilities in accordance with the AGENCY’s requirements and guidelines.
- (e) Contractor(s) shall be required to provide proof of insurance coverage throughout the duration of the construction.

2. Prior to the determination and application of any Credit pursuant to a TUMF Improvement and Credit Agreement executed between AGENCY and Developer ("Agreement"), Developer shall provide the AGENCY and WRCOG with the following:

- (a) Copies of all information listed under Item 1 above.
- (b) Surety Bond, Letter of Credit, or other form of security permitted under the Agreement and acceptable to the AGENCY and WRCOG, guaranteeing the construction of all applicable TUMF Improvements.

3. Prior to the AGENCY’s acceptance of any completed TUMF Improvement, and in order to initiate the construction cost verification process, the Developer shall comply with the requirements as set forth in Sections 7, 14.2 and 14.3 of the Agreement, and the following conditions shall also be satisfied:

- (a) Developer shall have completed the construction of all TUMF Improvements in accordance with the approved Plans and Specifications.
- (b) Developer shall have satisfied the AGENCY’s inspection punch list.
- (c) After final inspection and approval of the completed TUMF Improvements, the AGENCY shall have provided the Developer a final inspection release letter.

(d) AGENCY shall have filed a Notice of Completion with respect to the TUMF Improvements pursuant to Section 3093 of the Civil Code with the County Recorder's Office, and provided a copy of filed Notice of Completion to WRCOG.

(e) Developer shall have provided AGENCY a copy of the As-Built plans for the TUMF Improvements.

(f) Developer shall have provided AGENCY copies of all permits or agreements that may have been required by various resource/regulatory agencies for construction, operation and maintenance of any TUMF Improvements.

(g) Developer shall have submitted a documentation package to the AGENCY to determine the final cost of the TUMF Improvements, which shall include at a minimum, the following documents related to the TUMF Improvements:

(i) Plans, specifications, and Developer's Civil Engineer's cost estimates; or Engineer's Report showing the cost estimates.

(ii) Contracts/agreements, insurance certificates and change orders with each vendor or contractor.

(iii) Invoices from all vendors and service providers.

(iv) Copies of cancelled checks, front and back, for payments made to contractors, vendors and service providers.

(v) Final lien releases from each contractor and vendor (unconditional waiver and release).

(vi) Certified contract workers payroll for AGENCY verification of compliance with prevailing wages.

(vii) A total cost summary, in spreadsheet format (MS Excel is preferred) and on disk, showing a breakdown of the total costs incurred. The summary should include for each item claimed the check number, cost, invoice numbers, and name of payee. See attached sample for details. [



## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Christina Taylor, Community Development Director  
**DATE:** February 4, 2020  
**SUBJECT:** Request for Direction on Preparing a Shopping Cart Ordinance

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### Background and Analysis:

The City of Beaumont Community Enhancement officers and City maintenance crews regularly address the issue of abandoned shopping carts. Community Enhancement as well as other City departments work together to remove and store these carts until the owners can be reached to retrieve them. Currently, City staff spends 2-3 hours per week picking up abandoned shopping carts, with an average of 5 -10 carts per week. When approximately 80 carts have been collected, City staff makes contacts with their various resources to have the carts removed from the yard. From July – September 2019, staff picked up 78 abandoned shopping carts, the bulk of which were from Food 4 Less and Stater Bros.

Aside from staff time, some of the concerns staff has with abandoned shopping carts include:

1. Increasing number of discarded shopping carts located significant distances from retailers,
2. Shopping carts stripped of identifiers and ownership information.
3. Length of time for a cart to be removed by a retrieval company or other entity,
4. Retailers of the carts located outside of City jurisdiction, and
5. Retailers do not have a retrieval system in place.

State regulations allow for cities to establish regulations governing shopping carts. Two of the State regulations below speak to cost recovery and disposal of unclaimed carts:

- State regulation Business & Profession Code: **BPC 22435.7(f)** – *A city, county, or city and county may fine the owner of a shopping cart in an amount not to exceed fifty dollars (\$50) for each occurrence in excess of three during a specified six-month period for failure to retrieve shopping carts in accordance*

*with this section. An occurrence includes all shopping carts impounded accordance with this section in a one-day period.*

- State regulation Business & Profession Code: **BPC 22435.7(g)** – *Any shopping cart not reclaimed from the city, county or city and county within 30-days of receipt of a notice of violation by the owner of the shopping cart may be sold or otherwise disposed of by the entity in possession of the shopping cart.*

There are many viable options that can assist with cost recovery, staff time and storage of property. City staff has researched how other cities have addressed shopping cart issues and many cities have developed shopping cart ordinances. Some of the issues which can be addressed through a shopping cart ordinance are:

1. Require during planning and permitting stages carts offered for use by a retailer must provide a containment and immediate retrieval method,
2. Requirement to install locking mechanisms on the carts,
3. Require the posting on retailer properties that removal of a cart from the premises is deemed theft with a desire to prosecute,
4. Require businesses to participate in a cart retrieval plan by requiring each to submit documentation of their contracted provider of choice or proposal and implementation plan of another retrieval strategy, and
5. Require that carts be properly identified by having permanently affixed cart identification (*as required by state law*).

**Fiscal Impact:**

Cost of staff time to research and prepare this report is approximately \$600.

**Recommended Action:**

Provide staff direction on preparing a shopping cart ordinance.



## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Carole Kendrick, Senior Planner  
**DATE:** February 4, 2020  
**SUBJECT:** Provide Direction to Staff on Establishing a Temporary Moratorium Prohibiting Tire Sales and Tire Repair Establishments

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### Background and Analysis:

The City is in the process of completing the general plan update. As part of this process, goals and policies are being revised, a downtown specific plan and zoning consistency analysis and update is also being prepared. Through the general plan update, downtown specific plan and zoning analysis, staff has determined that there are some uses that do not support the intent of the current goals and policies and may conflict with potential land use changes as part of the update process.

The current zoning code does not expressly address tire sales in the zoning matrix, however the definitions under Section 17.14.030 include tire sales under “vehicle repair garage” and “vehicle service. The full definitions for both are provided below.

*Vehicle Repair Garage.* Any site and improvements used for the repair and maintenance of automobiles, motorcycles, light trucks (having a rating of less than 10,001 pounds, an unladen weight of less than 6,001 pounds, and equipped with an open box-type bed less than nine feet in length), or other similar passenger vehicles licensed by the State Department of Motor Vehicles. This classification shall not include the repair or maintenance of motor homes or commercial vehicles as defined in Section 3-7.901 of this Zoning Code. "Motor vehicle repair garage" shall be construed broadly to include the place where the following types of commonly-known garage or shop activities occur: tune-up and muffler work, parts and tire sales and installation, wheel and brake work, engine and transmission overhaul, and installation of car alarms and car stereos. "Motor vehicle repair garage" shall not include automobile wrecking, dismantling, or salvage, motor vehicle body and fender shops, or *tire* retreading or recapping.

*Vehicle, Service.* A business establishment primarily engaged in the retail sale of vehicle fuel station and lubricants. This classification includes facilities having service bays for vehicle service and repair. Such service and repair may include the sale of tires, batteries, and other parts and products related to the operation of a motor vehicle; minor tune-up; lubrication and parts replacement; non-mechanical car-washing, polishing, and waxing; and other light work related to preventive maintenance and upkeep, but may not include maintenance and repair of large trucks or other large vehicles, or body and fender work on any vehicles.

Previous requests for tire sales and/or tire repair uses were allowed under vehicle repair or service or standard retail sales. However, tire sales and tire repair typically generate noise impacts, aesthetic concerns, fire safety issues and ongoing or frequent outdoor displays. Due to the over-concentration of tire sales and tire repair businesses within the City of Beaumont, particularly in the downtown area, staff is requesting City Council direction on whether to establish a temporary moratorium in order to allow staff adequate time to amend the zoning code to list these uses specifically, determine if a conditional use permit should be required, and create development standards to address impacts associated with tire sales and tire repair uses.

The proliferation of tire sales and tire repair establishments do not support the intent of the current goals and polices of the existing general plan that include:

- Community Development Goal 3 – The City of Beaumont will maintain and, where appropriate, expand the City’s commercial base.
  - Community Development Element Policy 12 – The City of Beaumont will continue to promote the development of larger, more efficient, commercial retail centers as opposed to “strip commercial” along the City’s traffic corridors.
- Community Development Goal 4 - The City of Beaumont will promote the expansion of industrial and other employment generating land uses.
  - Community Development Element Policy 15 - The City of Beaumont will continue to promote the maintenance and preservation of industrial activities and business that contribute to the City’s economic and employment base.
  - Community Development Element Policy 16 - The City of Beaumont will encourage the continued expansion of the City’s industrial districts to accommodate economic development and growth.

- Community Development Element Policy 17 - The City of Beaumont will promote the development of modern and attractive business activities that will enhance the City's economic well-being.
- Safety Goal 6 – The City of Beaumont will strive to control the adverse effects of noise in the environment.
  - Safety Element Policy 24 – The City of Beaumont will protect public health and welfare by eliminating existing noise problems and by prevent significant degradation of the future acoustic environment.
  - Safety Element Policy 25 – The City of Beaumont will incorporate noise considerations into land use planning decisions.

There are approximately 12 business licenses for tire sales and tire repair businesses, eight (8) of which are in the downtown. In the draft downtown specific plan, the central city will include a mile of use areas. The draft downtown specific plan is proposing tire sales as a permitted use in the Sixth Street Corridor area, which has four (4) existing tire businesses. There are an additional four (4) existing tire businesses currently operating in other downtowns areas where, in the future, they will not be a permitted use and will become non-conforming if the downtown specific plan is adopted as currently proposed.

In an effort to maintain consistency with the current and future goals, policies and land uses, and allow time to address safety impacts, staff would like time to evaluate tire related uses to ensure that future development will be cited appropriately and developed with appropriate standards in place.

**Fiscal Impact:**

Staff time to prepare this report and legal counsel consultation is approximately \$500.

**Recommended Action:**

Provide direction to staff on establishing a temporary moratorium prohibiting tire sales and tire repair establishments.





## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Elizabeth Gibbs, Director of Community Services  
**DATE:** February 4, 2020  
**SUBJECT:** **Opposition Letter – SunLine Transit Agency Proposed Commuter Link Route 10**

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### **Background and Analysis:**

On November 7, 2019, SunLine Transit Agency (SunLine) announced to the Transportation Now (T-Now) committee that they had completed a new draft schedule for their Commuter Link 220, which provides service from Palm Desert to the Riverside Metrolink Station, with stops at Casino Morongo and Beaumont Walmart (Attachment A).

On November 12, 2019, SunLine held a community meeting at the Beaumont Civic Center and presented a proposed new commuter link route with service from the Coachella Valley to California State University San Bernardino's (CSUSB) main campus in San Bernardino, with a stop at Beaumont Walmart (Attachment B).

SunLine presented their proposal as follows:

#### Current Service

- Three (3) eastbound and three (3) westbound trips from Coachella Valley to Riverside,
- FY 19 ridership was 13,561 passenger trips,

#### Proposed Service

- Four (4) eastbound and four (4) westbound trips from Coachella Valley to San Bernardino, and
- Target passengers are CSUSB students.

Following the community meeting, City staff contacted SunLine staff and requested a meeting to discuss the proposed route to gain more information about future service; however, no response was received.

On January 9, 2020, SunLine staff emailed a draft support letter for their grant application for a solar microgrid to hydrogen transit project. In the letter, they introduced a new Commuter Link Route 10 bus service from Indio to San Bernardino, with stops at Beaumont Walmart and the San Bernardino Transit Center (SBTC) (Attachment C). It should be noted that the letter lacked any information on connectivity for passengers within the San Gorgonio Pass area, but rather, highlighted the multiple connections available to passengers from the SBTC.

Beaumont staff received a phone call from Riverside County Transportation Commission (RCTC) on January 10, 2020, discussing SunLine’s proposed support letter. At that time, City staff notified RCTC that Beaumont opposed SunLine’s new route as presented because it duplicated an already existing service via Beaumont’s Commuter Link 120. At this time, it is unclear whether RCTC intends to fund the new route.

SunLine Objectives

On January 17, 2020, SunLine’s staff provided a PowerPoint presentation with specific details on the proposed route, including potential time points, with a tentative starting date of May 4, 2020 (Attachment D).

There are two key elements listed in their objectives for this new route that should be highlighted:

- (1) Connectivity – **Connect residents of Coachella Valley to PASS transit and Riverside Transit Agency (RTA)** and key destinations such as Cabazon, Riverside University Health Center, Veterans Administration (VA) Hospital and other destinations served by PASS transit and RTA; and
- (2) The CSUSB University pass program and College of the Desert pass program entitles **students and faculty to use all SunLine fixed route services at no cost**, with a valid ID.

*Objective No. 1 Analysis*

Staff created a matrix of possible connections for SunLine passengers at Beaumont Walmart, using the most corresponding timepoints between the routes, and no more than a 30-minute layover.

**SUNLINE ROUTE 10 - WESTBOUND**

| SunLine 10      | Beaumont 120                 | Beaumont 125   | RTA 31                     | RTA 31              |
|-----------------|------------------------------|--|----------------------------|---------------------|
| Arrives Walmart | Departs Walmart              |  |                            |                     |
|                 | Service to Calimesa and SBTC | Service to Calimesa, Redlands Kaiser, and Loma Linda VA Hospital | Service to Moreno Valley** | Service to SJ/Hemet |
| 7:05 AM         | 7:25 AM                      |  | 7:13 AM*                   |                     |
| 9:00 AM         |                              |  | 9:07 AM*                   |                     |
| 2:10 PM         |                              |  | 2:14 PM*                   |                     |
| 4:10 PM         |                              |  | 4:17 PM*                   |                     |

*\*NOTE: Passengers have 4 to 8 minutes to connect with RTA*

*\*\*NOTE: RTA's stop is located on the southside of 2<sup>nd</sup> St. across from Farmer Boys*

**SUNLINE ROUTE 10 – EASTBOUND\*\*\***

| SunLine 10      | Beaumont 120              | RTA 31                     | RTA 31              |
|-----------------|---------------------------|----------------------------|---------------------|
| Arrives Walmart | Departs Walmart           |                            |                     |
|                 | Service to Casino Morongo | Service to Moreno Valley** | Service to SJ/Hemet |
| 9:55 AM         | 10:00 AM                  | 9:56 AM*                   |                     |
| 12:55 PM        |                           | 1:02 PM                    |                     |
| 4:55 PM         |                           | 5:20 PM                    | 4:56 PM*            |
| 6:55 PM         | 6:55 PM                   | 7:11 PM                    | 6:58 PM*            |

*\*NOTE: Passengers have 1 to 3 minutes to connect with RTA*

*\*\*NOTE: RTA's stop is located on the southside of 2<sup>nd</sup> St. across from Farmer Boys*

*\*\*\*Beaumont 125 was eliminated from the eastbound analysis due to the direction of travel back to Redlands*

It should be noted that Beaumont Commuter Link 120 has twelve (12) service loops per day, Commuter Link 125 has seven (7) per day, RTA's service to Moreno Valley has sixteen (16) per day, and RTA's service to San Jacinto/Hemet has sixteen (16) service loops per day.

**Objective No. 2 Analysis**

SunLine's Haul Pass program provides college students free unlimited access to SunLine's public transit network, including the proposed Commuter Link Route 10. Although this free service is subsidized by California's Low Carbon Transit Operations Program, much like Beaumont's Free Fare Program in 2018, their objective is to improve students' access to the valley's colleges and universities with the program.

Conversely, Beaumont's Commuter Link routes have a \$3.50 fare for general passengers each way and would be at a severe disadvantage to compete with SunLine's free service under the Haul Pass program.

### Summary

SunLine's Commuter Link Route 10, as proposed, is a duplication of service and will not connect Coachella Valley passengers with Beaumont Transit. The Transportation Development Act of 1971 clearly states:

#### PUC §99280 – Adding or Extending Routes

*“The establishment of new routes, or the extension of existing routes, outside the boundaries of an included municipal operator, but within the reserved service area, as defined in this section, shall not be permitted where the operation or establishment of such routes will compete with or divert patronage from a route of the transit district as of the date the transit district is given the notice hereinafter required.”*

#### PUC §99281

*“The transit district may operate or establish new routes or extend existing routes in all or part of the area outside a municipal operator, except where the operation or establishment of that service will compete with or divert patronage from an existing service of any included municipal operator or service in a reserved service area under Section 99280.”*

Furthermore, the proposed route will promote a free alternative to CSUSB students already using Beaumont's commuter link service, resulting in a reduction of passenger trips, and ultimately jeopardizing Beaumont's ability to meet the mandated farebox recovery ratio.

Finally, SunLine has not provided sufficient data to warrant any support of a stop in Beaumont and therefore, strong opposition of this route, as presented, is necessary (Attachment E). However, should SunLine redesign the new route to bypass Beaumont, staff would certainly recommend supporting the new route in the interest of promoting public transportation throughout the region.

### **Fiscal Impact:**

Cost to prepare this report and the attached opposition letter is estimated to be \$3,150.

**Recommended Action:**

Approve the opposition letter and authorize the Mayor to execute on behalf of the City of Beaumont.

**Attachments:**

- A. Current SunLine Commuter Link 220
- B. SunLine Community Meeting Handout
- C. SunLine Requested Support Letter (Draft)
- D. PowerPoint sent by SunLine
- E. Beaumont Opposition Letter (Draft)



# Public Hearing Rules

All meeting attendees will be asked to sign in at the meeting sign-in table before entering, to check the appropriate box if you request to speak, and to note the name of the group if they are speaking on behalf of a group.

- Please turn off all cell phones or set them to vibrate.
- Please be advised that everyone has three (3) minutes to speak.
- Please have respect, courtesy, and patience for everyone as they speak.
- Please help maintain an atmosphere where everyone feels comfortable and welcome, regardless of his or her position on the changes being recommended.
- Please do not interrupt anyone while they are speaking.
- Please do not display any signs or banners in the meeting room.
- Please refrain from addressing the audience or asking for audience participation.
- Please provide your comments/suggestions by mail and/or telephone at 760-343-3451, or email at [planning@sunline.org](mailto:planning@sunline.org). All comments must be provided by Friday, November 22, 2019.



## Proposed Changes to Route 220

Connecting the Coachella Valley  
to San Bernardino

## Cambios propuestos a la Ruta 220

Conectando Coachella Valley  
a San Bernardino

# Reglas de Audiencia Pública

Se pedirá a todos los asistentes a la reunión que se registren en la mesa de inicio de sesión antes de ingresar, que marquen la casilla correspondiente si desean testificar y que anoten el nombre del grupo si están testificando en nombre de un grupo.

- Por favor, apague todos los teléfonos celulares o configúrelos para que vibren.
- Tenga en cuenta que cada persona tendrá hasta tres minutos para hacer comentarios.
- Por favor tenga respeto, cortesía y paciencia para todos mientras hablan.
- Ayúdenos a mantener un ambiente en el que todos se sientan cómodos y bienvenidos, independientemente de su posición respecto de los cambios recomendados.
- Por favor no interrumpa a nadie mientras están hablando.
- Por favor, no muestre carteles o propaganda en la sala de reuniones.
- Por favor absténgase de dirigirse a la audiencia o solicite la participación de la audiencia
- Proporcione sus comentarios / sugerencias por correo y / o teléfono al 760-343-3451, o correo electrónico a [planning@sunline.org](mailto:planning@sunline.org). Todos los comentarios deben de ser recibidos a mas tardar el viernes 22 de Noviembre del 2019.

## Proposed Route



|       |       |       |       |       |
|-------|-------|-------|-------|-------|
| 8:00  | 7:40  | 6:55  | 6:10  | 5:45  |
| 6:00  | 5:40  | 4:55  | 4:10  | 3:45  |
| 2:00  | 1:40  | 12:55 | 12:10 | 11:45 |
| 11:00 | 10:40 | 9:55  | 9:10  | 8:45  |

|                          |                   |                  |          |                  |
|--------------------------|-------------------|------------------|----------|------------------|
| San Bernardino MetroLink | CSUSB Main Campus | Beaumont Walmart | CSUSB-PD | Hwy 111 & Flower |
|--------------------------|-------------------|------------------|----------|------------------|

(Horarios AM estan en la fuente normal, Horarios PM estan en obscuro)

San Bernardino to Indio

EASTBOUND

|      |      |      |      |       |
|------|------|------|------|-------|
| 3:00 | 3:25 | 4:10 | 4:55 | 5:15  |
| 1:00 | 1:25 | 2:10 | 2:55 | 3:15  |
| 7:50 | 8:15 | 9:00 | 9:45 | 10:05 |
| 5:55 | 6:20 | 7:05 | 7:50 | 8:10  |

|                  |          |                  |                   |                          |
|------------------|----------|------------------|-------------------|--------------------------|
| Hwy 111 & Flower | CSUSB-PD | Beaumont Walmart | CSUSB Main Campus | San Bernardino MetroLink |
|------------------|----------|------------------|-------------------|--------------------------|

(AM times are in PLAIN, PM times are in BOLD)

Indio to San Bernardino

WESTBOUND

## Current Route



|      |      |      |      |      |      |       |       |       |
|------|------|------|------|------|------|-------|-------|-------|
| 8:15 | 8:29 | 8:47 | 9:01 | 9:24 | 9:42 | 10:16 | 10:19 | 10:31 |
| 7:15 | 7:29 | 7:47 | 8:01 | 8:25 | 8:42 | 9:16  | 9:19  | 9:31  |
| 5:55 | 6:12 | 6:29 | 6:43 | 7:05 | 7:24 | 7:56  | 7:59  | 8:11  |

|                             |                           |                    |                   |                |                |                              |                            |
|-----------------------------|---------------------------|--------------------|-------------------|----------------|----------------|------------------------------|----------------------------|
| Riverside MetroLink Station | UCR Lot 30 & Canyon Crest | Valley Mall Moreno | Stonebridge Fir & | Commerce 2nd & | Casino Morongo | Casino Varner & Harry Oliver | Market Place & Town Center |
|-----------------------------|---------------------------|--------------------|-------------------|----------------|----------------|------------------------------|----------------------------|

(Horarios AM estan en la fuente normal, Horarios PM estan en obscuro)

Riverside to Palm Desert

EASTBOUND

|      |      |      |      |      |      |      |       |       |
|------|------|------|------|------|------|------|-------|-------|
| 3:20 | 3:30 | 3:41 | 4:19 | 4:38 | 5:03 | 5:17 | 5:34  | 5:45  |
| 8:00 | 8:10 | 8:19 | 8:54 | 9:11 | 9:36 | 9:50 | 10:04 | 10:15 |
| 5:45 | 5:55 | 6:00 | 6:35 | 6:50 | 7:12 | 7:27 | 7:50  | 8:00  |

|                    |                                      |                |                |              |                    |                           |         |
|--------------------|--------------------------------------|----------------|----------------|--------------|--------------------|---------------------------|---------|
| Town Center & Hahn | Market Place & Varner & Harry Oliver | Casino Morongo | Commerce 2nd & | Casino Fir & | Moreno Valley Mall | UCR Lot 30 & Canyon Crest | Station |
|--------------------|--------------------------------------|----------------|----------------|--------------|--------------------|---------------------------|---------|

(AM times are in PLAIN, PM times are in BOLD)

Palm Desert to Riverside

WESTBOUND

Commuter Link 220



**INSTRUCTIONS**

1. Please review, edit to your liking, sign, delete this header, and email the letter on your business letterhead to Brittney B. Sowell at [bsowell@sunline.org](mailto:bsowell@sunline.org) by end of day **Tuesday, January 14.**
2. Any questions? Please call Brittney B. Sowell at 760-343-3456 ext. 1103. Thank you for supporting SunLine Transit Agency's efforts to apply for funding under CalSTA's Transit and Intercity Rail Capital Program.

January 2, 2020

California State Transportation Agency (CalSTA)  
 915 Capitol Mall, Suite 350B  
 Sacramento, CA 95814

RE: Transit and Intercity Rail Capital Program (TIRCP)

To whom it may concern:

On behalf of Insert name of agency, I would like to offer this letter of support for Sunline Transit Agency's "Solar Microgrid to Hydrogen Project" Transit and Intercity Rail Capital Program (TIRCP) grant application. The entire State of California, if not the world, stands to benefit from this innovative and pioneering project of harnessing solar energy to produce hydrogen fuel and storing electricity onsite to charge electric buses when fleets are available for service at night. This project is a critical component of implementing California Air Resources Board's (CARB) Innovative Clean Transit (ICT) mandate of introducing zero-emission buses. SunLine is poised to accomplish this goal by 2030, in ten years.

Additionally, introduction of the new CommuterLink Route 10 bus service between Indio and San Bernardino, fueled by this Solar Microgrid will connect residents of Coachella Valley to San Bernardino Valley, specifically to San Bernardino Transit Center (SBTC)/Metrolink Station, a regional multimodal transit hub and California State University San Bernardino (CSUSB). This broader scope to reduce greenhouse gas (GHG) emissions across southern California and the expansion of zero-emission fleets would provide a safe, clean and reliable transit interconnectivity for the region's residents while simultaneously increasing transit ridership, reducing greenhouse gases and congestion. Currently, there is no viable public transportation option from Coachella Valley to access regional educational, medical, employment and entertainment centers in the San Bernardino Valley, western Riverside County, and Los Angeles and Orange counties. This service will establish a convenient one seat public transit option to SBTC/Metrolink Station and CSUSB transit hubs, two currently unserved regional destinations and multimodal transit hubs.

With the new CommuterLink Route 10, residents of the Coachella Valley will be able to connect to Metrolink train service to Los Angeles and Orange counties, sbX Bus Rapid Transit (BRT) service to VA Hospital and Loma Linda University Medical Center, Route 200 express bus service to Orange County/Disneyland via downtown Riverside, Galleria Mall at Tyler and La Sierra Metrolink Station utilizing the high occupancy toll lanes. Additionally, it will provide multiple transit connections to local bus routes serving the San Bernardino Valley and transit connections to Victor Valley and the San Bernardino mountains. Lastly, the improvements to SunLine local Routes 20, 80, 81, 91 and 111 will benefit low-

income, disadvantaged communities in Indio, Mecca, and Thermal and it will improve access to this CommuterLink service.

SunLine Transit Agency is a leader in alternative fuel technologies and we stand to benefit from this project to accomplish our collective goal of reducing greenhouse gas emissions, increasing transit ridership, enhancing transit/rail interconnectivity and improving safety through interconnectivity at established multimodal hubs.

We strongly support this inspirational and pioneering project and the funding request to implement it. The GHG benefits and the technical knowhow that would result from this project will benefit the entire transit industry, it is immeasurable and it will help create a path for transit agencies in California and regulatory bodies alike to implement CARB's ICT mandate. I hope you will join our agency in supporting their grant application. If you have any questions regarding our support, please feel free to contact me at (XXX) XXX-XXXX.

Sincerely,

Name, Title  
Agency Name

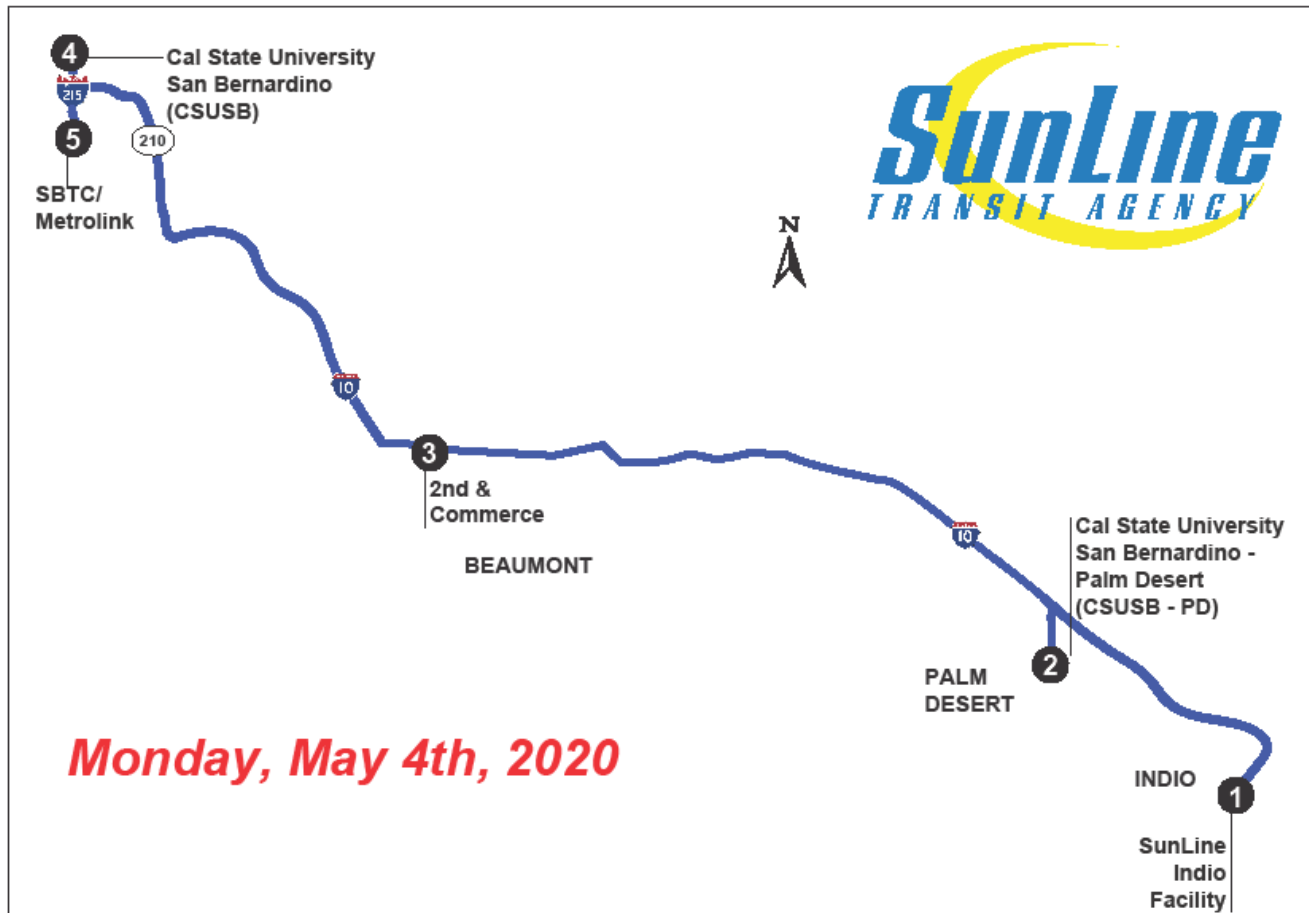


# CommuterLink Route 10

*a product of Rethink*

**Draft**  
**To City of Beaumont**  
**January 17, 2020**

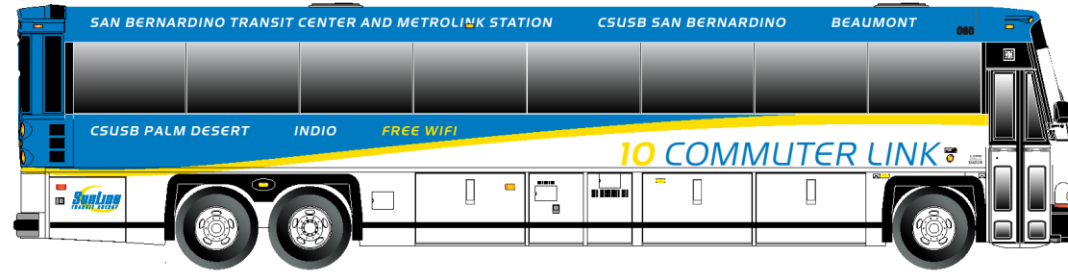
# Five bus stops, a 92mile trip



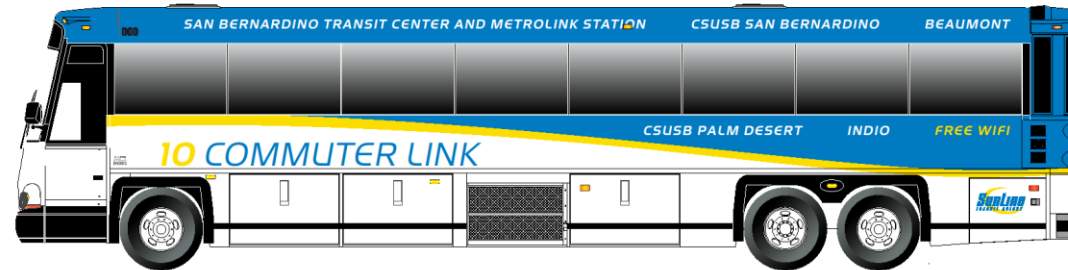
1. Indio – Hwy 111 & Flower
2. CSUSB – PD
3. Beaumont at 2<sup>nd</sup> Street Commerce (Walmart)
4. CSUSB main campus in San Bernardino
5. San Bernardino Transit Center (SBTC) and Metrolink Station

# Bus Branding (Draft)

Item No. 16.



DRAFT 2A



Page 357

Draft

# Draft Schedule under development

## • Draft schedule under development

| WESTBOUND               |            |                  |                   |                          |
|-------------------------|------------|------------------|-------------------|--------------------------|
| Indio to San Bernardino |            |                  |                   |                          |
| Hwy 111 & Flower        | CSUSB-PD   | Beaumont Walmart | CSUSB Main Campus | San Bernardino MetroLink |
| Time                    | 25         | 45               | 45                | 20                       |
| 5:55:00 AM              | 6:20:00 AM | 7:05:00 AM       | 7:50:00 AM        | 8:10:00 AM               |
| 7:50:00 AM              | 8:15:00 AM | 9:00:00 AM       | 9:45:00 AM        | 10:05:00 AM              |
| 1:00:00 PM              | 1:25:00 PM | 2:10:00 PM       | 2:55:00 PM        | 3:15:00 PM               |
| 3:00:00 PM              | 3:25:00 PM | 4:10:00 PM       | 4:55:00 PM        | 5:15:00 PM               |

| EASTBOUND                |                   |                  |             |                  |
|--------------------------|-------------------|------------------|-------------|------------------|
| San Bernardino to Indio  |                   |                  |             |                  |
| San Bernardino MetroLink | CSUSB Main Campus | Beaumont Walmart | CSUSB-PD    | Hwy 111 & Flower |
| Time                     | 25                | 45               | 45          | 20               |
| 8:45:00 AM               | 9:10:00 AM        | 9:55:00 AM       | 10:40:00 AM | 11:00:00 AM      |
| 11:45:00 AM              | 12:10:00 PM       | 12:55:00 PM      | 1:40:00 PM  | 2:00:00 PM       |
| 3:45:00 PM               | 4:10:00 PM        | 4:55:00 PM       | 5:40:00 PM  | 6:00:00 PM       |
| 5:45:00 PM               | 6:10:00 PM        | 6:55:00 PM       | 7:40:00 PM  | 8:00:00 PM       |



Soft timepoint provided for passenger convenience only, not a time-point. Buses will leave earlier than the times noted because of the unpredictable freeway travel times. For actual bus arrival time projections, log on to...

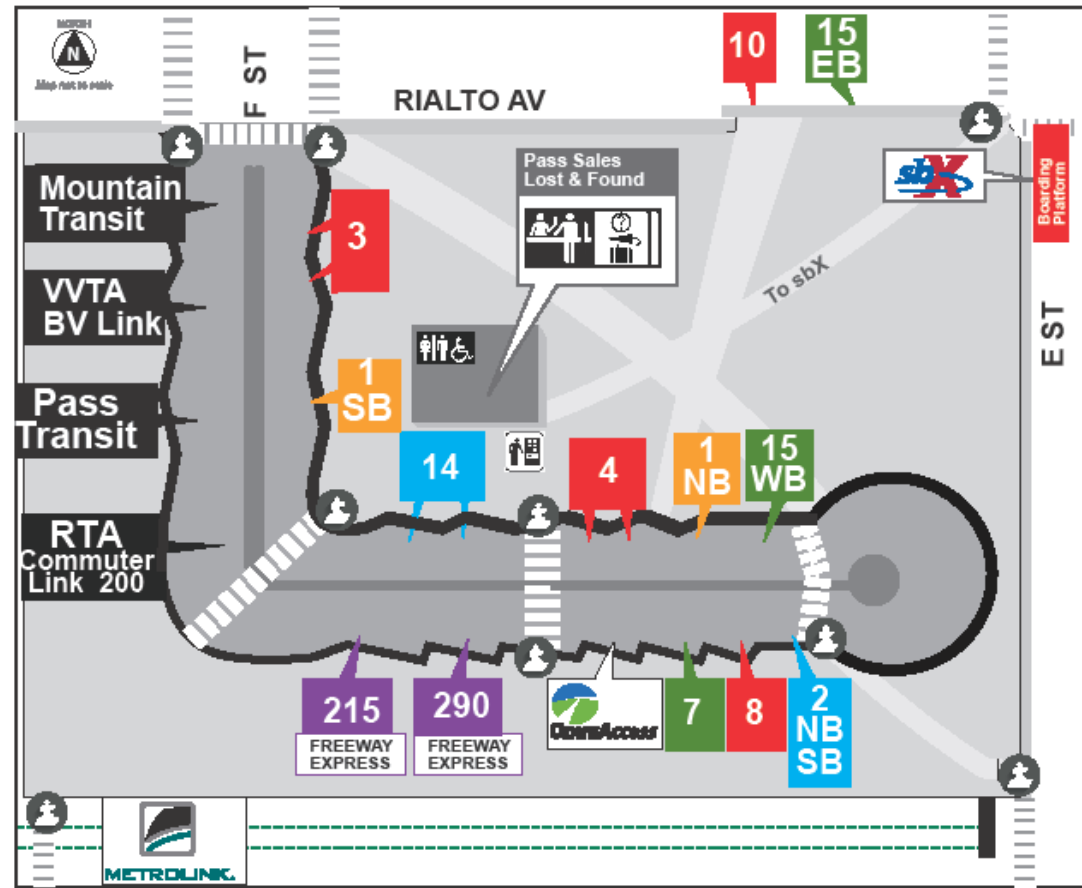
Reverse commute trips

# Fare, operating and marketing objectives

1. Connect residents of Coachella Valley to SBTC/Metrolink (more than twice the number of trains serving the Riverside station) (see graph, next page)
2. Connectivity – Connect residents of Coachella Valley to PASS transit and RTA and key destinations such as Cabazon, Riverside University Health Center, VA Hospital and other destinations served by PASS transit and RTA
3. Connect residents of PASS area, San Jacinto, Hemet and Moreno Valley to Cal State and UCR Palm Desert campuses
4. \$6 Base/\$4 S&D (same as 220 without zones)
5. The CSUSB University Pass program and College of the Desert pass program entitles students and faculty to use all SunLine fixed route services at no cost, with a valid ID
6. Eliminate transfer penalties, top-ups, negotiate reciprocal transfer agreements to make transit user-friendly and attractive

# San Bernardino Transit Center (SBCCTA)/Metrolink Station (actual stop location TBD)

Item No. 16.





# Fare, operating and marketing details

- Three-bike bike rack
- Standees are not allowed
- Install bus stop signs

# Marketing Plan

- Route and bus branding underway
- Bus stop sign design underway
- “Coming soon” brochure under development
- Printed and e-information brochures under development
- CSUSB, Metrolink, Omnitrans, IE Commuter, Stakeholders
- During CSUSB school-off promotions

# Interagency operating/reciprocal agreements

- Omnitrans - New agreement
- Metrolink – New agreement
- RTA – Update agreement (transfers with 31/discontinue 220)
- PASS Transit – New agreement
- VVTA – Do not need an agreement?
- MATA – Do not need an agreement?



January 29, 2020

Sunline Transit Agency  
32505 Harry Oliver Trail  
Thousand Palms, CA 92276

Re: Opposition Letter - Proposed Commuter Link Route 10

Dear Sunline Transit Agency:

The City of Beaumont is writing to express strong opposition to Sunline Transit Agency's Commuter Link Route 10 as presented. The proposed route will connect passengers from the Coachella Valley area to Cal State San Bernardino's (CSUSB) main campus, with stops in Beaumont and the San Bernardino Transit Center (SBTC).

It is Beaumont's position that the Commuter Link Route 10 is a duplication of service and will adversely affect Beaumont's farebox recovery ratio of the already established service between Beaumont and SBTC via Beaumont's Commuter Link 120.

The Transportation Development Act of 1971 clearly states:

PUC §99280 – Adding or Extending Routes

*"The establishment of new routes, or the extension of existing routes, outside the boundaries of an included municipal operator, but within the reserved service area, as defined in this section, shall not be permitted where the operation or establishment of such routes will compete with or divert patronage from a route of the transit district as of the date the transit district is given the notice hereinafter required."*

PUC §99281

*"The transit district may operate or establish new routes or extend existing routes in all or part of the area outside a municipal operator, except where the operation or establishment of that service will compete with or divert patronage from an existing service of any included municipal operator or service in a reserved service area under Section 99280."*

Sunline's proposed Commuter Link Route 10, as identified, is already being met by Beaumont Transit, specifically from Beaumont Walmart to the SBTC. Furthermore, from SBTC, passengers can connect to the Omni Trans SBX service, which operates every 10 minutes, and brings passengers directly onto the CSUSB campus. To duplicate existing service from Beaumont to San Bernardino would be an unwarranted use of finite resources.



Conversely, there have been many conversations of a need for service from the Pass area to the Coachella Valley. The City of Beaumont proposes that Sunline utilize resources to fill an unmet need of this nature rather than duplicating and jeopardizing an already established service.

Sincerely,

Rey Santos  
Mayor



### Staff Report

**TO:** Mayor, and City Council Members

**FROM:** Jeff Hart, Public Works Director

**DATE:** February 4, 2020

**SUBJECT:** **Authorize the City Manager to Execute Additional Reimbursable Letters of Agreement with the California Highway Patrol Not to Exceed \$50,000 for the SR-60/Potrero Boulevard Interchange Phase I Project for Services Associated with Traffic Control**

**Background and Analysis:**

December 2017, City Council awarded a construction contract to Ortiz Enterprises, Inc. for the Phase 1 and 1A construction of the Potrero Boulevard Interchange (Project). Throughout construction of the Project additional traffic control and lane closures were required in cooperation with the California Highway Patrol (CHP).

January 2018, the City entered into an agreement with the CHP in order to provide traffic control and lane closure assistance (see Attachment A). The original agreement was for the remainder of FY 17/18 for a total not to exceed \$50,000. As additional traffic assistance has been warranted, two additional reimbursable letters of agreement are needed to complete the Project. Each reimbursable letter of agreement will similarly not exceed \$50,000. One reimbursable letter of agreement is needed to ratify services already provided and costs incurred. The second reimbursable letter of agreement will be for any remaining invoices to close out the Project. CHP services must provided by the City as part of its traffic control plan required for the project.

**Fiscal Impact:**

There is sufficient funding remaining within the project budget to ratify the payment for FY 18/19 for services already provided, as well as the reimbursable letter of agreement requested to close the project out. The cost to prepare this staff report is estimated at \$350.

**Recommended Action:**

City Council authorize the City Manager to execute additional reimbursable letters of Agreement with the California Highway Patrol in an amount not to exceed \$50,000 each for the SR-60/Potrero Boulevard Interchange Phase I Project.

**Attachments:**

- A. Reimbursable Letter of Agreement with California Highway Patrol for FY17/18
- B. Reimbursable Letter of Agreement with California Highway Patrol for FY18/19
- C. Reimbursable Letter of Agreement with California Highway Patrol for FY19/20

**THIS AGREEMENT**, Reimbursable Services Control Log # R-18-655-0003 made and entered into this 27th day of June, 2018, by and between the State of California, acting by and through the Department of California Highway Patrol, hereinafter called CHP, and City of Beaumont, hereinafter called City of Beaumont.

**WORK SHALL COMMENCE ON THE START DATE OR UPON APPROVAL BY BOTH THE CHP AND REQUESTER, WHICHEVER IS LATER. NO SERVICE SHALL BEGIN BEFORE THAT TIME.**

1. Reimbursable services are to be provided when  traffic control  security services  vehicle inspections  other details for Special Detail are required, the CHP agrees to provide uniformed personnel with motorcycles and/or patrol vehicles to assist with the "SR-60/Potrero Blvd. Interchange Project".
2. The term of this Agreement will be 07/01/2018 to 6/30/19.
3. The CHP coordinator shall be Sgt. Randy Costelow, telephone number (951) 769-2000.
4. In the event of a disaster or unforeseen emergency, this Agreement may be canceled without prior notice by the CHP.
5. City of Beaumont agrees, to the extent permitted by law to indemnify the CHP against and hold the CHP harmless from any and all claims, demands, suits, and actions for personal injury, death, loss, and/or property damage that may arise out of or in connection with the performance of this Agreement, even though such injury, death, loss and/or damage to property may be (or may be alleged to be) attributable in part to the active and/or passive negligence of the CHP and/or its appointees, officers, agents, employees, and servants. City of Beaumont agrees to defend all such claims, demands, suits, and actions against CHP and/or its appointees, officers, agents, employees, and servants, although the CHP retains the right to conduct the defense at its own expense. City of Beaumont shall reimburse the CHP for all expenses including court costs and reasonable attorney fees, incurred by reason of such claims, demands suits, and actions, or incurred in seeking indemnity or other recovery from City of Beaumont thereunder.
6. No amendment or variation of the terms of this Agreement shall be valid unless made in writing, signed by all parties and approved as required. No oral understanding or Agreement not incorporated in this Agreement is binding on any of the parties.
7. When one of the contracting parties is a county, city, district, or other local public body, this Agreement shall be accompanied by a copy of the resolution, order, motion, or ordinance of the local governing body, which by law provides the authority to enter into and execution of this Agreement. When performance by the local government entity will be completed before any payment by the CHP, such as a room rental or a one-time event, a resolution is not required.
8. City of Beaumont agrees that additional charges which are directly related to the services provided, maybe assessed for the CHP supplies, additional equipment utilized, damage to uniforms, or property repaired or replaced at the CHP's expense.
9. If the CHP uniformed employee has reported to the assigned location and has worked less than four hours, City of Beaumont agrees to pay every assigned uniform employee a minimum of four hours overtime. Exception: This does not apply to those cases when the hours worked is part of an extended shift. City of Beaumont will not be charged for cancellations made more than 24 hours prior to the scheduled assignment.
10. City of Beaumont agrees that if cancellation is made within 24 hours prior to the scheduled assignment and the assigned CHP uniformed employee(s) cannot be notified of such cancellation, a minimum of four hours overtime will be charged for each assigned uniformed employee.



11. \_\_\_\_\_ City of Beaumont \_\_\_\_\_ agrees that if cancellation is made within 24 hours prior to scheduled assignment and the CHP employee is notified of such cancellation, \_\_\_\_\_ City of Beaumont \_\_\_\_\_ will only be charged a short notice cancellation fee of \$50.00 per assigned CHP uniformed employee.
12. All cancellation notices to the CHP must be made during normal CHP business hours of 8:00 a.m. to 5:00 p.m., Monday through Friday, excluding legal holidays. Cancellation notices shall only be accepted by the appropriate CHP Division or Area office.
13. The CHP agrees to make reasonable efforts to notify those CHP uniformed employees of the cancellation.
14. No additional gifts, donation, or gratuities may be accepted by the CHP employees on their behalf or on the behalf of the Department, informal squad fund(s), or other local fund(s).
15. The hours and miles indicated in this Agreement are for estimate purposes only. Actual time and vehicle mileage will be charged. This includes travel between the CHP Division/Area command and the service location.
16. The rates indicated in this Agreement are for estimate purposes only. Any increases in overhead, mileage, damaged uniforms, private-owned safety equipment, salaries, and benefits are governed by collective bargaining agreement and/or statute. In the event an officer is not available, a sergeant will be assigned to work in the place of the officer, and \_\_\_\_\_ City of Beaumont \_\_\_\_\_ will be charged at the current sergeant's pay. In the event of a rate increase, \_\_\_\_\_ City of Beaumont \_\_\_\_\_ agrees to pay the increase rate.
17. In consideration for the above services and upon receipt of an itemized invoice, \_\_\_\_\_ City of Beaumont \_\_\_\_\_ agrees to reimburse the CHP for the actual costs incurred at the time services are provided. Rate charged to \_\_\_\_\_ City of Beaumont \_\_\_\_\_ shall in no event exceed the actual costs to the CHP to perform the requested services. The following cost information is for estimate purposes only:

|                       |             |   |          |              |
|-----------------------|-------------|---|----------|--------------|
| Sergeant:             | _____ hrs.  | @ | \$ _____ | \$ _____     |
| Officer:              | 260.00 hrs. | @ | \$ 90.45 | \$ 23,517.00 |
| Vehicle mileage:      | 1,500 miles | @ | \$ 0.84  | \$ 1,260.00  |
| Motorcycle mileage:   | _____ miles | @ | \$ _____ | \$ _____     |
| Other expenses:       | _____       |   |          | \$ _____     |
| Total estimated cost: |             |   |          | \$ 24,777.00 |

**Note:** If total estimated cost exceeds \$50,000, a CHP 465 CAN NOT be used. The reimbursable service request must be initiated on a CHP 78R. Reimbursable Services Contract Request, and forwarded to Business Services Section, Contract Services Unit, for processing. (HPM 11.1, Chapter 6)

18. COLLECTION OF ADVANCE DEPOSIT FOR A MOTION PICTURE/FILM.  
 A form of advance deposit shall be required before services can be performed. The advance deposit shall be made by the requesting party and hand delivered directly to the Statewide Film Media Relations Officer (FMRO) or to the on-scene command officer in-charge. The FMRO or on-scene command officer in-charge will approve, complete a CHP 230, Transmittal Record, and forward the advance deposit to FMS, RSU.
  - a. Amount of deposit collected: \$ \_\_\_\_\_
  - b. Check number: \_\_\_\_\_
  - c. Cash receipt number: \_\_\_\_\_
  - d. Federal Tax Identification Number: \_\_\_\_\_

WITNESSETH: By and in consideration of the covenants and conditions herein contained,  
City of Beaumont and the CHP do hereby agree to the above terms and conditions.

STATE OF CALIFORNIA  
Department of California Highway Patrol

  
Commander Signature      06/27/2018  
Date

R. A. MENDEZ, Lieutenant  
Printed Name

Acting Commander, San Geronio Pass Area  
Title

655  
Location Code

|   |      |
|---|------|
| For use by City/County Clerk, if applicable |      |
| Approved as to form by                      | Date |

REQUESTOR'S NAME

  
Signature      6/29/18  
Date

Todd Parton  
Printed Name

City Manager  
Title

550 E. 6th Street  
Address

Beaumont      CA      92223  
City      State      Zip Code

(951) 769-8520  
Telephone Number

THIS AGREEMENT, Reimbursable Services Control Log # R-19-655-0031 made and entered into this 1st day of July, 2019, by and between the State of California, acting by and through the Department of California Highway Patrol, hereinafter called CHP, and City of Beaumont, hereinafter called City of Beaumont

**WORK SHALL COMMENCE ON THE START DATE OR UPON APPROVAL BY BOTH THE CHP AND REQUESTER, WHICHEVER IS LATER. NO SERVICE SHALL BEGIN BEFORE THAT TIME.**

1. Reimbursable services are to be provided when  traffic control  security services  vehicle inspections  other details for Special Detail are required, the CHP agrees to provide uniformed personnel with motorcycles and/or patrol vehicles to assist with the SR-60/Potrero Blvd. Interchange Project

2. The term of this Agreement will be 07/01/2019 to 07/31/2020

3. The CHP coordinator shall be Officer E. Nunez, telephone number (951) 769-2000

4. In the event of a disaster or unforeseen emergency, this Agreement may be canceled without prior notice by the CHP.

5. City of Beaumont agrees, to the extent permitted by law to indemnify the CHP against and hold the CHP harmless from any and all claims, demands, suits, and actions for personal injury, death, loss, and/or property damage that may arise out of or in connection with the performance of this Agreement, even though such injury, death, loss and/or damage to property may be (or may be alleged to be) attributable in part to the active and/or passive negligence of the CHP and/or its appointees, officers, agents, employees, and servants.  
City of Beaumont agrees to defend all such claims, demands, suits, and actions against CHP and/or its appointees, officers, agents, employees, and servants, although the CHP retains the right to conduct the defense at its own expense. City of Beaumont shall reimburse the CHP for all expenses including court costs and reasonable attorney fees, incurred by reason of such claims, demands suits, and actions, or incurred in seeking indemnity or other recovery from City of Beaumont thereunder.

6. No amendment or variation of the terms of this Agreement shall be valid unless made in writing, signed by all parties and approved as required. No oral understanding or Agreement not incorporated in this Agreement is binding on any of the parties.

7. When one of the contracting parties is a county, city, district, or other local public body, this Agreement shall be accompanied by a copy of the resolution, order, motion, or ordinance of the local governing body, which by law provides the authority to enter into and execution of this Agreement. When performance by the local government entity will be completed before any payment by the CHP, such as a room rental or a one-time event, a resolution is not required.

8. City of Beaumont agrees that additional charges which are directly related to the services provided, maybe assessed for the CHP supplies, additional equipment utilized, damage to uniforms, or property repaired or replaced at the CHP's expense.

9. If the CHP uniformed employee has reported to the assigned location and has worked less than four hours, City of Beaumont agrees to pay every assigned uniform employee a minimum of four hours overtime. Exception: This does not apply to those cases when the hours worked is part of an extended shift. City of Beaumont will not be charged for cancellations made more than 24 hours prior to the scheduled assignment.

10. City of Beaumont agrees that if cancellation is made within 24 hours prior to the scheduled assignment and the assigned CHP uniformed employee(s) cannot be notified of such cancellation, a minimum of four hours overtime will be charged for each assigned uniformed employee.

11. City of Beaumont agrees that if cancellation is made within 24 hours prior to the scheduled assignment and the CHP employee is notified of such cancellation, City of Beaumont will only be charged a short notice cancellation fee of \$50.00 per assigned CHP uniformed employee.
12. All cancellation notices to the CHP must be made during normal CHP business hours of 8:00 a.m. to 5:00 p.m., Monday through Friday, excluding legal holidays. Cancellation notices shall only be accepted by the appropriate CHP Division or Area office.
13. The CHP agrees to make reasonable efforts to notify those CHP uniformed employees of the cancellation.
14. No additional gifts, donation, or gratuities may be accepted by the CHP employees on their behalf or on the behalf of the Department, informal squad fund(s), or other local fund(s).
15. The hours and miles indicated in this Agreement are for estimate purposes only. Actual time and vehicle mileage will be charged. This includes travel between the CHP Division/Area command and the service location.
16. The rates indicated in this Agreement are for estimate purposes only. Any increases in overhead, mileage, damaged uniforms, private-owned safety equipment, salaries, and benefits are governed by collective bargaining agreement and/or statute. In the event an officer is not available, a sergeant will be assigned to work in the place of the officer, and City of Beaumont will be charged at the current sergeant's pay. In the event of a rate increase, City of Beaumont agrees to pay the increase rate.
17. In consideration for the above services and upon receipt of an itemized invoice, City of Beaumont agrees to reimburse the CHP for the actual costs incurred at the time services are provided. Rate charged to City of Beaumont shall in no event exceed the actual costs to the CHP to perform the requested services. The following cost information is for estimate purposes only:

|                       |        |       |   |          |              |
|-----------------------|--------|-------|---|----------|--------------|
| Sergeant:             | _____  | hrs.  | @ | \$ _____ | \$ _____     |
| Officer:              | 260.00 | hrs.  | @ | \$ 97.43 | \$ 25,331.80 |
| Vehicle mileage:      | 1,500  | miles | @ | \$ 1.04  | \$ 1,560.00  |
| Motorcycle mileage:   | _____  | miles | @ | \$ _____ | \$ _____     |
| Other expenses:       | _____  |       |   |          | \$ _____     |
| Total estimated cost: |        |       |   |          | \$ 26,891.80 |

**Note:** If total estimated cost exceeds \$50,000, a CHP 465 CAN NOT be used. The reimbursable service request must be initiated on a CHP 78R. Reimbursable Services Contract Request, and forwarded to Business Services Section, Contract Services Unit, for processing. (HPM 11.1, Chapter 6)


18. COLLECTION OF ADVANCE DEPOSIT FOR A MOTION PICTURE/FILM.  
 A form of advance deposit shall be required before services can be performed. The advance deposit shall be made by the requesting party and hand delivered directly to the Statewide Film Media Relations Officer (FMRO) or to the on-scene command officer in-charge. The FMRO or on-scene command officer in-charge will approve, complete a CHP 230, Transmittal Record, and forward the advance deposit to FMS, RSU.

- a. Amount of deposit collected: \$ \_\_\_\_\_
- b. Check number: \_\_\_\_\_
- c. Cash receipt number: \_\_\_\_\_
- d. Federal Tax Identification Number: \_\_\_\_\_

WITNESSETH: By and in consideration of the covenants and conditions herein contained,  
City of Beaumont and the CHP do hereby agree to the above terms and conditions.

STATE OF CALIFORNIA  
Department of California Highway Patrol

REQUESTOR'S NAME

  
Commander Signature                      07/01/2019  
Date

Signature                                      Date

M. C. Alvarez, Captain  
Printed Name

Todd Parton  
Printed Name

Commander, San Geronio Pass Area  
Title

City Manager  
Title

655  
Location Code

550 E. 6th Street  
Address

|  |      |
|--|------|
| For use by City/County Clerk, if applicable. |      |
|  |      |
| Approved as to form by                       | Date |

Beaumont                                      CA              92223  
City    State              Zip Code

(951) 769-8520  
Telephone Number

THIS AGREEMENT, Reimbursable Services Control Log # R-17-655-224 made and entered into this 6th day of December, 2017, by and between the State of California, acting by and through the Department of California Highway Patrol, hereinafter called CHP, and City of Beaumont, hereinafter called City of Beaumont

**WORK SHALL COMMENCE ON THE START DATE OR UPON APPROVAL BY BOTH THE CHP AND REQUESTER, WHICHEVER IS LATER. NO SERVICE SHALL BEGIN BEFORE THAT TIME.**

1. Reimbursable services are to be provided when  traffic control  security services  vehicle inspections  other details for Special Detail are required, the CHP agrees to provide uniformed personnel with motorcycles and/or patrol vehicles to assist with the "SR-60/Potrero Blvd. Interchange Project"
2. The term of this Agreement will be 01/01/2018 to 06/30/2018
3. The CHP coordinator shall be Sgt. Randy Costelow, telephone number (951) 769-2000
4. In the event of a disaster or unforeseen emergency, this Agreement may be canceled without prior notice by the CHP.
5. City of Beaumont agrees, to the extent permitted by law to indemnify the CHP against and hold the CHP harmless from any and all claims, demands, suits, and actions for personal injury, death, loss, and/or property damage that may arise out of or in connection with the performance of this Agreement, even though such injury, death, loss and/or damage to property may be (or may be alleged to be) attributable in part to the active and/or passive negligence of the CHP and/or its appointees, officers, agents, employees, and servants. City of Beaumont agrees to defend all such claims, demands, suits, and actions against CHP and/or its appointees, officers, agents, employees, and servants, although the CHP retains the right to conduct the defense at its own expense. City of Beaumont shall reimburse the CHP for all expenses including court costs and reasonable attorney fees, incurred by reason of such claims, demands, suits, and actions, or incurred in seeking indemnity or other recovery from City of Beaumont thereunder.
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7. When one of the contracting parties is a county, city, district, or other local public body, this Agreement shall be accompanied by a copy of the resolution, order, motion, or ordinance of the local governing body, which by law provides the authority to enter into and execution of this Agreement. When performance by the local government entity will be completed before any payment by the CHP, such as a room rental or a one-time event, a resolution is not required.
8. City of Beaumont agrees that additional charges which are directly related to the services provided, maybe assessed for the CHP supplies, additional equipment utilized, damage to uniforms, or property repaired or replaced at the CHP's expense.
9. If the CHP uniformed employee has reported to the assigned location and has worked less than four hours, City of Beaumont agrees to pay every assigned uniform employee a minimum of four hours overtime. Exception: This does not apply to those cases when the hours worked is part of an extended shift. City of Beaumont will not be charged for cancellations made more than 24 hours prior to the scheduled assignment.
10. City of Beaumont agrees that if cancellation is made within 24 hours prior to the scheduled assignment and the assigned CHP uniformed employee(s) cannot be notified of such cancellation, a minimum of four hours overtime will be charged for each assigned uniformed employee.

11. City of Beaumont agrees that if cancellation is made within 24 hours prior to the scheduled assignment and the CHP employee is notified of such cancellation, City of Beaumont will only be charged a short notice cancellation fee of \$50.00 per assigned CHP uniformed employee.
12. All cancellation notices to the CHP must be made during normal CHP business hours of 8:00 a.m. to 5:00 p.m., Monday through Friday, excluding legal holidays. Cancellation notices shall only be accepted by the appropriate CHP Division or Area office.
13. The CHP agrees to make reasonable efforts to notify those CHP uniformed employees of the cancellation.
14. No additional gifts, donation, or gratuities may be accepted by the CHP employees on their behalf or on the behalf of the Department, informal squad fund(s), or other local fund(s).
15. The hours and miles indicated in this Agreement are for estimate purposes only. Actual time and vehicle mileage will be charged. This includes travel between the CHP Division/Area command and the service location.
16. The rates indicated in this Agreement are for estimate purposes only. Any increases in overhead, mileage, damaged uniforms, private-owned safety equipment, salaries, and benefits are governed by collective bargaining agreement and/or statute. In the event an officer is not available, a sergeant will be assigned to work in the place of the officer, and City of Beaumont will be charged at the current sergeant's pay. In the event of a rate increase, City of Beaumont agrees to pay the increase rate.
17. In consideration for the above services and upon receipt of an itemized invoice, City of Beaumont agrees to reimburse the CHP for the actual costs incurred at the time services are provided. Rate charged to City of Beaumont shall in no event exceed the actual costs to the CHP to perform the requested services. The following cost information is for estimate purposes only:

|                              |             |   |          |                     |
|------------------------------|-------------|---|----------|---------------------|
| Sergeant:                    | _____ hrs.  | @ | \$ _____ | \$ _____            |
| Officer:                     | 265.00 hrs. | @ | \$ 90.45 | \$ 23,969.25        |
| Vehicle mileage:             | 1,500 miles | @ | \$ 0.83  | \$ 1,245.00         |
| Motorcycle mileage:          | _____ miles | @ | \$ _____ | \$ _____            |
| Other expenses:              | _____       |   |          | \$ _____            |
| <b>Total estimated cost:</b> |             |   |          | <b>\$ 25,214.25</b> |

**Note:** If total estimated cost exceeds \$50,000, a CHP 465 CAN NOT be used. The reimbursable service request must be initiated on a CHP 78R. Reimbursable Services Contract Request, and forwarded to Business Services Section, Contract Services Unit, for processing. (HPM 11.1, Chapter 6)

18. Payment/Deposit. A form of advance payment/deposit shall be required before services can be performed. The CHP command will collect the full amount of the estimate indicated herein for an Agreement 29 days or less. For an Agreement over 30 days and up to 12 months, 50 percent of the estimate shall be collected.
- Amount of deposit collected: \$ \_\_\_\_\_
  - Check number/purchase order number: \_\_\_\_\_
  - Cash receipt number: \_\_\_\_\_
  - Federal Tax Identification Number: \_\_\_\_\_

WITNESSETH: By and in consideration of the covenants and conditions herein contained,  
City of Beaumont and the CHP do hereby agree to the above terms and conditions.

STATE OF CALIFORNIA  
Department of California Highway Patrol

*K. Clark* 12/06/2017  
Commander Signature Date

K. M. CLARK, Captain  
Printed Name

Commander, San Geronio Pass Area  
Title

655  
Location Code

For use by City/County Clerk, if applicable  
Approved as to form by Date

REQUESTOR'S NAME

Signature Date

Todd Parton  
Printed Name

City Manager  
Title

550 E. 6th Street  
Address

Beaumont CA 92223  
City State Zip Code

(951) 769-8520  
Telephone Number





## Staff Report

**TO:** Mayor, and City Council Members  
**FROM:** Kristine Day, Assistant City Manager  
**DATE:** February 4, 2020  
**SUBJECT:** **Wastewater Treatment Plant Expansion/Renovation and Brine Pipeline Installation Project Status Update**

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### Background and Analysis:

#### Reach 1

- The contractor continues to work three crews on pipe installation/ restoration pavement, directional drill at San Timoteo Creek, and pipe jacking.
- Approximately 66,242 linear feet of brine line has been installed to date.
- Contractor has requested 43 inclement weather days to date.
- The three week look ahead schedule is included as an attachment to this report (Attachment A).

#### Reach 2

- The contractor is focusing on the jack and bore for San Timoteo and Redlands as well as the connection to the Inland Empire Brine Line and the E Street Bridge connection.
- Approximately 49,595 linear feet of brine line has been installed to date.
- Contractor has requested 17 inclement weather days to date.
- The three week look ahead schedule is included as an attachment to this report (Attachment B).

Approved Change Orders:

| <b>CO No.</b>                               | <b>Contractor</b>  | <b>Description</b>   | <b>Reason for Change</b>   | <b>Amount</b>   |
|---|--------------------|--|--|---|
| 1<br>(Potrero CO 10)                        | Ortiz              | Brine Line Improvements (Pre-Authorized)   | Addition of 12" Brine Line During Construction   | \$238,615.70  |
| 2 (Potrero CO 11)                           | Ortiz              | Brine Line Improvements (Remaining Work) (Force Account)                                     | Addition of 12" Brine Line During Construction   | \$324,043.15<br>Not to Exceed but direct to Force Account |
| 3   | Weka, Inc.         | Brine Line Improvements Potrero Boulevard – 4 <sup>th</sup> Street                           | Addition of 12" Brine Line During Construction   | \$646,482.65  |
| 4   | Weka, Inc.         | County of Riverside Encroachment Permit Credit   | City Paid Fee for Encroachment   | (\$45,460.00)   |
| 5   | Weka, Inc.         | Potrero Bridge / Caltrans Right-of-Way   | Brine Line Installation Requirements   | \$110,394.90  |
| 6   | Weka, Inc.         | Changes and Modifications to Brine Line Installation on 4 <sup>th</sup> Street & Potrero Rd. | Drain Installation, Add Vent Line to MH, and 4 <sup>th</sup> Street Brine Line Changes | \$12,821.87   |
| 7   | T.E. Roberts, Inc. | Unknown Utility Crossings and Associated Potholing   | Additional Potholes Not on Plans   | \$14,300.00   |
| 8   | Weka, Inc.         | Heartland Parkway and Potrero Boulevard Site Condition Restorations                          | Site Condition Changes   | \$41,076.93   |
| <b>Brine Line Contingency Budget Amount</b> |                    | <b>Budget Amount</b>   | <b>Change Orders 1-8</b>   | <b>Remaining</b>  |
|   |                    | <b>\$2,600,000.00</b>  | <b>\$1,342,275.20</b>  | <b>\$1,257,724.80</b>                                     |

Permit fees accrued to date are:

| <b>Agency</b>                               | <b>Description</b>                                    | <b>Amount</b>       |
|---|---|---------------------|
| City of San Bernardino                      | Brine Line Encroachment Permit                        | \$682.50            |
| Riverside County Tax<br>Collection          | Permit for Brine Line                                 | \$2,000.00          |
| Union Pacific Railroad (UPRR)               | Pipeline Crossing Agreement &<br>Encroachment Permit  | \$98,655.00         |
| San Bernardino Flood Control                | Brine Line Encroachment Permit                        | \$9,539.00          |
| San Bernardino Flood Control                | 408 Permit  | \$59,489.00         |
| City of Redlands                            | Plan Check Fees                                       | \$2,500.00          |
| City of Loma Linda                          | Plan Check Fee for<br>Brine Line                      | \$13,000.00         |
| SAWPA                                       | Brine Line Encroachment Permit<br>Deposit             | \$20,000.00         |
| County of San Bernardino                    | CEQA Environmental Filing Fee                         | \$50.00             |
| Riverside County – Paid by<br>Weka          | Permit for Brine Lin –<br>Supplemental Inspection Fee | \$45,460.00         |
| California Department of Fish<br>& Wildlife | 1602 Permit   | \$5,145.75          |
| State Water Resources<br>Control Board      | 401 WQC   | \$24,197.00         |
| Various Monitoring Required<br>by EIR       | Paid Hourly   | \$250,000.00        |
| Southern California Edison                  | Permit  | \$6,951.84          |
| <b>Total</b>                                |   | <b>\$537,670.09</b> |

The project accounting for the Brine Line Project is as follows:

| <b>Brine Line</b>       | <b>Budget Amount</b>   | <b>Actual</b>          | <b>Remaining</b>      |
|-------------------------|------------------------|------------------------|-----------------------|
| Design                  | \$2,082,357.37         | \$1,764,461.94         | \$317,895.44          |
| Construction Management | \$3,436,471.38         | \$2,431,737.45         | \$1,004,733.93        |
| Permit                  | \$508,240.25           | \$278,131.09           | \$230,109.16          |
| Construction            | \$31,884,226.35        | \$25,482,062.63        | \$6,402,163.72        |
| Contingency             | \$2,600,000.00         | \$1,342,275.20         | \$1,257,724.80        |
| <b>Total</b>            | <b>\$40,511,295.35</b> | <b>\$31,298,668.31</b> | <b>\$9,212,627.05</b> |

**Wastewater Treatment Plant Expansion/Renovation Project:**

- Work Continues on the MBR/RO Startup (Critical Path), Fine Screens Canopy – On Hold, Install Duct-bank 205, 103.2, 204 & 1 – Ongoing, EATON Switch Gear Testing – Ongoing, SCE Switch Gear Inspection – Feb, Submit Short Circuit Study – Ongoing, SKM Short Circuit Study Review – Feb, Install Frontier Duct-bank – Ongoing, Fine Screens Install Misc. Metals – Ongoing, Fine Screens Touch Up Protective Coatings Inside Walls – Jan 28, Fine Screens Install Conveyors – Ongoing, MBR Metal Building Assembly – Ongoing, MBR Bldg. Install Exposed Electrical Conduits – Ongoing, MBR Bldg. Install Lighting & Devices – Ongoing, MBR Bldg. Install Cable Tray – Ongoing, MBR Bldg. Pull Wire Areas 1,2, & 3 – Ongoing, MBR Bldg. Install Electrical Equipment – Ongoing, MBR Bldg. Small Diameter Strut Supports Installation – Ongoing, MBR Bldg. Painting Interior Walls Control Room – Ongoing, MBR Bldg. Coat Above Ground Piping – Feb 3, MBR Bldg. Coat Doors and Frames – Feb, MBR Bldg. Install Handrails – Ongoing, MBR Bldg. Install Mud Valves/Guide Rails – Ongoing, MBR Bldg. MBR Air Scour Piping and Supports – Jan 27, Aeration Basin Install Air Piping and NPW – Ongoing, Aeration Basin Epoxy Coat Influent Box #1 – Jan 28, Aeration Basin Install Control Panels and Pull Wire – Jan 27, Chemical Tank Farm Install Duct Bank – Jan 30, Recycled Water Pump Station Paint AG Pipe – Jan 27, Storm Water Pump Station Coat Storm Water Pump Station – Jan 30, and Electrical Bldg. Pull Wire – Ongoing
- Upcoming pours include the North Aeration Duct Bank.
- Contractor has requested 41 inclement weather days to date and 51 days have been approved.
- Projected Phase 1 completion is May 2020.
- The three week look ahead schedule is attached for review (Attachment C).

Approved Change Orders:

| <b>CO No.</b> | <b>Description</b>   | <b>Reason for Change</b>  | <b>Amount</b>   |
|---------------|--|---|-----------------|
| 1             | MBR System Improvements  | Enhance the performance of MBR System                               | \$149,741.00    |
| 2             | RO System Electrical Modifications & Storm Drain System Material Change  | Design & Material Updates   | (\$245.00)      |
| 3             | New Aeration Basin 1 through 3 Excavation  | Conflict with Existing Utilities                                    | \$19,998.00     |
| 4             | Structural and Mechanical Modifications  | Pre-Selected Submittals   | \$57,450.64     |
| 5             | Vactor Truck Dump Station Modifications  | Conflict with Utilities   | NTE \$15,000.00 |
| 6             | EDI/Fine Coarse Bubble Diffuser Equipment  | Design Change   | \$24,298.00     |
| 7             | Various Changes – MBR/RO Structural, Site civil & Headworks SCADA Design Modifications   | Design Change   | \$59,167.49     |
| 8             | Various Changes – Demolition, Piping Realignment, Material Change, and Electrical Actuated Valve Voltage Change  | Unforeseen Conditions and Value Engineering                         | \$6,067.00      |
| 9             | Various Changes – Solids Handling Bldg. conveyor Capacity Increase, Electrical Yard Vault Cover Changes, Additional Pothole Investigation and Existing Duct Bank Removal, and Yard Utilities                 | Design Changes, Conflict with Construction, Owner Requested Changes | \$138,531.73    |
| 10            | MBR Chemical Area Changes & Other Misc. Changes and Inclement Weather Impact Nov-18 to May-19  | Owner Requested Changes & Inclement Weather                         | \$596,031.05    |
| 11            | Frontier Internet Provider Duct Bank Modifications, 30-inch MBR & 20-inch Plant Effluent Pipeline Elevation and Alignment Modifications, Additional Safety Required Handrail at Retaining Wall and Generator | Design Changes & Conflict with Construction                         | \$81,128.29     |

|                         |  |   |                       |
|-------------------------|--|---|-----------------------|
| 12                      | RO-Sulfuric Acid Chemical Piping Material Change, Solids Feed Pump TE/TSH Thermocouple Elements, Solids Handling Bldg. Changes | Design Changes, Owner Requested Changes | \$91,417.26           |
| 13                      | Plant Effluent Chemical Area Changes   | Owner Requested Changes                 | \$404,821.33          |
| <b>WWTP Contingency</b> | <b>Budget Amount</b>   | <b>Change Orders 1-13</b>               | <b>Remaining</b>      |
|                         | <b>\$4,000,000.00</b>  | <b>\$1,643,406.79</b>                   | <b>\$2,356,593.21</b> |

The project accounting for the Waste Water Treatment Plant Project is as follows:

| WWTP                    | Budget Amount          | Paid to Date           | Remaining              |
|-------------------------|------------------------|------------------------|------------------------|
| Design                  | \$2,709,798.23         | \$2,556,828.66         | \$152,969.57           |
| Construction Management | \$5,308,585.72         | \$2,767,943.60         | \$2,540,642.12         |
| Equipment               | \$252,906.00           | \$253,362.91           | (\$456.91)             |
| Permits                 | \$324,776.76           | \$81,936.25            | \$242,840.51           |
| Construction            | \$53,910,737.00        | \$28,407,822.57        | \$25,502,914.43        |
| Contingency             | \$4,000,000.00         | \$483,101.09           | \$3,516,898.91         |
| <b>Total</b>            | <b>\$66,506,803.71</b> | <b>\$34,550,995.08</b> | <b>\$31,955,808.63</b> |

**Fiscal Impact:**

No additional fiscal impacts beyond the project budget.

**Recommended Action:**

Receive and file the project updates.

**Attachments:**

- A. Brine Line Reach 1 – 3 Week Schedule
- B. Brine Line Reach 2 – 3 Week Schedule
- C. WWTP – 3 Week Schedule

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MEMORANDUM

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**To:** City of Beaumont  
**From:** Townsend Public Affairs  
**Date:** January 31, 2020  
**Subject:** Monthly Report for the City of Beaumont — January 2020

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**State Legislative Update**

The Legislature reconvened on January 6 for the second year of the 2019-2020 legislative session. Since then, lawmakers have been focused on introducing new legislation and meeting the January 31 house of origin deadline. Legislation that was introduced in 2019 that did not pass out of its house of origin by January 31 is now considered dead for the year. Legislators have until February 21 to introduced new legislation to be considered in 2020.

Lawmakers have also been busy analyzing the Governor's January Budget proposal. Trailer bill language is expected from the Administration in early February which will provide additional details about the Governor's budget proposals. After that, the Budget Subcommittees will begin their work on the Fiscal Year (FY) 2020-21 Budget to meet the June 15 deadline. The new budget bill will take effect on July 1, 2020.

Below is a list of upcoming legislative deadlines:

**February 19:** State of the State presented by Governor Newsom

**February 21:** Last day for bills to be introduced

**April 2:** Spring Recess begins

**SB 50 Update**

SB 50 (Wiener, D–San Francisco), the legislative vehicle for a major statewide housing initiative, failed to pass the Senate by the January 31 house of origin deadline and is now dead. However, after the final vote was tallied, Senate President Pro Tempore Atkins addressed the Senate and indicated that the Senate will continue to address this issue and work on “a housing production bill to help alleviate our housing crisis this year.”

This is the second vote in as many days for SB 50. After the bill failed to garner 21 votes, Senator Wiener was granted reconsideration of the bill on January 30. The bill failed to pass yet again as Senators argued that the bill would not prevent displacement and gentrification, would fail to

produce enough affordable housing, the potential for development in high wildfire danger zones, and the negative impacts that this bill could have on communities across the State.

SB 50 failed to garner support from stakeholders after the Senator amended the bill on January 6. The amendments that were adopted were intended to provide additional *local flexibility* and *community preference*. Below is a summary of the adopted amendments:

**Local Flexibility:**

- A two-year delayed implementation date (January 1, 2023).
- SB 50 would allow for an alternative compliance for cities that have a plan certified by the State.
  - An alternative plan would need to be approved by the city, such as a housing element or zoning ordinance;
  - The alternative plan would need to accommodate a comparable amount of housing as would otherwise be authorized by SB 50;
  - The alternative plan would need to accommodate similar transportation efficiency;
  - The alternative plan would need to be consistent with fair housing findings.
- The idea behind the alternative compliance would be to allow local governments to be able to plan locally for growth in the areas that are best for the City, which may or may not be areas covered by SB 50.
- The alternative plans can be items that have already been adopted by local governments through previous planning efforts.
- The Departments of Housing and Community Development and the Office of Planning and Research (HCD/OPR) will be responsible for developing guidelines of what a local government would need to provide as part of an alternative plan.
- Local governments that choose not to pursue an alternative plan would be subject to the SB 50 provisions related to jobs-rich and transit-rich housing areas. Should a local government decide they would like to develop and submit an alternative plan at a later date, they are free to do so.

**Community Preference:**

- 40 percent of affordable units that are created pursuant to SB 50 would need to be made available (through lottery) to people who currently live within 0.5 miles of the project.

After SB 50 failed, Senator Wiener introduced two spot bills related to housing that may serve as legislative vehicles for broader housing proposals to be considered later this year. The first bill, SB 899, makes non-substantive changes to the Housing Density Bonus Law which requires cities and counties to provide developers with density bonuses if the project includes a certain amount of affordable housing units. The second bill, SB 902, would require cities and counties to disclose whether they are involved in a court action related to State housing law in their annual report to the State.

TPA will continue to monitor, advise, and advocate on behalf of the City as the Legislature continues to consider housing legislation in 2020.

Governor’s January Budget Proposal



On January 10, the Governor released his January Budget Proposal for the FY 2020-21 State Budget. This marks the official beginning of the State Budget process.

The Governor's January Budget Proposal contains \$222.2 billion in proposed expenditures, \$153.1 billion of which would be from the State's General Fund. These proposed expenditures represent a 2.2 percent increase in spending over the budget that was adopted last year. The January Budget proposal includes a \$5.3 billion surplus for FY 2020-21, which is over \$1 billion lower than was projected by the Legislative Analyst's Office in November 2019. The Governor accounted for this difference due to the uncertainty of the federal approval of the Managed Care Organization (MCO) tax.

During his two and a half hour press conference, the Governor reinforced that his proposed budget makes a number of innovative investments, but does so in a way that acknowledges that the State's economy is seeing a slowing in its growth and could slip into a recession in the near future. As such, the Governor's budget proposal focuses largely on one-time spending items, in addition to investing in the State's Rainy-Day fund and other budget reserves. The proposed budget would increase the State's Rainy-Day fund to \$18 billion by the end of FY 2020-21 and would reach the constitutional 10 percent reserve cap in FY 2021-22.

During his press conference, the Governor touched on nearly all of the major items within his budget proposal; however, the main focus of his budget is education, housing, homelessness, and climate resiliency. Below is a summary of these major provisions:

**Education:** The Governor's January budget proposes \$84 billion in Proposition 98 funding for K-12 and community college districts, up approximately \$3.8 billion from the current fiscal year. The bulk of this increase focuses on continued efforts to strengthen underperforming schools, close achievement gaps, and improve student services in K-12 districts. Governor Newsom specifically highlighted efforts to improve funding for teacher recruitment and retention, which total \$900.1 million.

An additional \$100 million will be allocated to provide stipends for individuals who elect to teach at some of the state's most needy districts. Expansion of school meal programs, increased focus on STEM, and additional funding for school facilities are also among the increases outlined in the proposal.

**Housing and Homeless:** The Governor's budget contains \$750 million in one-time funding to establish the California Access to Housing and Services Fund, which would be administered by the Department of Social Services. This funding would be used to reduce homelessness by moving individuals and families to permanent housing and to increase the number of units available to those that are at risk of becoming homeless.

The budget proposes to disperse the funding through regional administrators that can provide short and long-term rental subsidies, make contributions to the development of units, and stabilize community facilities through capital projects and operating subsidies.

The Governor's budget also continues to build on the investments that were made in last year's budget to expand the amount of affordable housing that is produced in the State. Several of the major programs that were included as part of the FY 2019-20 State Budget, including funding for infill infrastructure and multi-family housing, are just now being made available through grant programs through the Department of Housing and Community Development. This year's budget proposal would increase state funding to help expedite the release of those funds, as well as

provide over \$6.8 billion in funding to over 25 different programs aimed at increasing the amount of housing in California.

The Governor’s budget proposal also contains funding for the State to continue to assess and make recommendations to improve the Regional Housing Needs Assessment (RHNA) process. The Governor has directed the Department of Housing and Community Development to work with stakeholders to revamp the RHNA process by 2023. This aligns with the Governor’s stated goal of working with the Legislature to expedite housing production, including making changes to local zoning and permitting processes and by adding predictability and reducing the cost of development fees.

**Natural Resources/Climate Change Bond:** The Governor’s January budget proposal contains a new \$4.75 billion climate resiliency bond that the Governor proposes to be placed on the November 2020 ballot. The bond measure would provide funding to five major areas: Drinking Water, Flood, Drought (\$2.9B), Wildfire (\$750M), Sea Level Rise (\$500M), Extreme Heat (\$325M), and Community Resilience (\$250M). In addition to the new bond measure, the Governor’s budget proposes \$1.7 billion in climate related investments in FY 2020-21 and \$12.4 billion in investments (including the bond) over the next five years.

**Next Steps:** In the coming weeks, the Senate and Assembly Budget Committee, and the various Budget Subcommittees, will conduct hearings to receive more detail about the various items within the Governor’s budget proposal. Additionally, the committees will begin the process of determining legislative priorities for inclusion in the budget.

These hearings will continue for several months until the Governor releases his May Revise of the budget, which will contain updated revenue and expenditure figures, revised policy proposals, and incorporate certain legislative items. Once the May Revise is released, the Legislature will move swiftly to make final changes to the FY 2020-21 budget, which they will need to approve by June 15th.

Statewide Water Resilience Plan

On January 3, the California Natural Resources Agency, Environmental Protection Agency, and Department of Food and Agriculture released a draft water resilience portfolio to help the State address and respond more effectively to challenges such as droughts, floods, aging infrastructure, and rising temperatures. These agencies were directed to release this proposal to fulfill Governor Newsom’s April 29 executive order that called for action to better secure the State’s long-term water and ecosystem health.

The actions outlined in the draft proposal include more than 100 actionable recommendations divided into four broad categories. These actions aim to help regions build water resilience, improve water infrastructure, and protect natural ecosystems. The four categories are outlined below:

- **Maintain and diversify water supplies:** State government will continue to help regions reduce reliance on any one water source and diversify supplies to enable flexibility amidst changing conditions. Diversification will look different in each region based on available water resources, but the combined effect will strengthen resilience and reduce pressure on river systems.

- **Protect and enhance natural ecosystems:** State leadership is essential to restore the environmental health of key river systems to sustain fish and wildlife. This requires effective standard-setting, continued investments, and more adaptive, holistic environmental management.
- **Build connections:** State actions and investment will improve physical infrastructure to store, move, and share water more flexibly and integrate water management through shared use of science, data, and technology.
- **Be prepared:** Each region must prepare for new threats, including more extreme droughts and floods and hotter temperatures. State investments and guidance will enable preparation, protective actions, and adaptive management to weather these stresses.

Public comments on the draft proposal are due by February 7. Shortly after, a final water resilience portfolio will be released in order to guide State policy on water and climate related issues.

#### Governor’s Executive Order – Homelessness

On January 8, Governor Newsom issued an Executive Order related to homelessness. The order was released in order to increase State action of providing homeless Californians with additional housing opportunities. Below is a summary of the major provisions of the order:

- A proposed one-time \$750 million allocation included in the January Budget proposal to establish the California Access to Housing and Services Fund. The Fund will receive future state appropriations, as well as donations from philanthropy and the private sector, to provide much needed dollars for additional affordable housing units, providing rental and operating subsidies, and stabilizing board and care homes.
- The Governor will task the Department of General Services with identifying properties from the inventory of excess state lands that can be used by local partners, including counties, cities, or non-profit agencies, on a short-term emergency basis to house individuals who are homeless.
- Similarly, CalTrans, the Office of Statewide Health Planning and Development, and the Department of Food and Agriculture will be directed to conduct assessments of properties that can provide services to homeless individuals.
- The Governor will direct the Department of General Services to supply 100 camp trailers from the state fleet, and the Emergency Medical Services Authority to deploy modular tent structures, to provide temporary housing and delivery of health and social services across the state.
- The Governor will create a state crisis response team to assist local governments in addressing street homelessness. The strike team shall provide technical assistance and targeted direct support to counties, cities, and public transit agencies seeking to bring individuals experiencing homelessness indoors and connecting them with appropriate health, human, and social services and benefits.

The Executive Order comes at the recommendation of the Governor’s Council of Regional Homeless Advisors which is co-chaired by Sacramento Mayor Darrell Steinberg and Los Angeles

County Supervisor Mark Ridley-Thomas. The Advisory Council has also proposed that an initiative be placed on the November 2020 ballot that would go to California voters for approval. The initiative would include recommendations from the Advisory Council and would likely include a provision to require local and state governments to create housing and increase services to reduce the number of residents experiencing homelessness.

**Federal Legislative Update**

The impeachment trial of President Trump dominated Congress’s time in January. The House voted on January 15 to send the impeachment articles against the President to the Senate, and House Speaker Nancy Pelosi announced the seven House Democrats who will serve as the managers in the trial. The trial commenced with House managers providing testimony supporting the two articles of impeachment.

Now that President Trump’s lawyers have finished presenting their case, Senators will have up to 16 hours to question either side through written queries submitted to Chief Justice John Roberts, who is presiding over the trial. The prosecution and defense will then argue whether to subpoena witnesses or documents. Democrats have demanded the inclusion of witnesses while most Republicans oppose.

Should the call for witnesses be rejected by the full Senate, the impeachment trial is likely to end quickly, with a predicted vote against removal from office. If witnesses are called, it is likely that the trial will last several weeks longer. Either outcome will continue to impact the Senate’s ability to address appropriations and other legislative priorities.

**Fiscal Year 2021 Appropriations**

In January, House Democrats announced that they are preparing to move quickly on Fiscal Year 2021 appropriations bills. Party leaders set a goal of sending 10 of the 12 fiscal spending measures on the House floor by June, which would match their progress at the same point last year.

The White House announced in January that Congress should expect the President’s annual budget by February 10, which will allow lawmakers to quickly begin holding relevant congressional committee hearings and markups.

**PFAS/PFOA Update**

The U.S. Environmental Protection Agency (EPA) recently issued Interim Recommendations for Addressing Groundwater Contaminated with Perfluorooctanoic Acid (PFOA) and Perfluorooctanesulfonate (PFOS) under federal cleanup programs, a priority action under EPA’s PFAS Action Plan. With these interim recommendations, EPA is prioritizing public health impacts by focusing on addressing any groundwater that is a current or potential source of drinking water. The recommendations in this guidance may be useful for state, tribal, or other regulatory authorities who have are experiencing challenges with contaminated drinking water.

*H.R. 535 PFAS Action Act*

On January 10, 2020, the House passed the “PFAS Action Act” (H.R. 535), which incorporates key provisions and programs to combat PFAS contamination in drinking water. Introduced by Congresswoman Debbie Dingell (D-MI), the bill requires the EPA to designate PFOA and PFOS

chemicals as “hazardous substances.” In addition to the aforementioned requirement, the bill also includes several provisions intended to address the risks, particularly health risks, of using firefighting foam containing PFAS chemicals. Specifically, the bill would require the EPA to issue guidance for firefighters and first responders to limit the use of foam and other firefighting materials containing PFAS. This effort would be critical in the attempt to minimize health risks associated with PFAS exposure. This bill is now in the Senate for further consideration.

### Water

This month, the House Transportation & Infrastructure Committee Subcommittee on Water Resources and Environment began the second session of the 116th Congress with a hearing on potential proposals for the upcoming Water Resources Development Act (WRDA) of 2020.

WRDA is a significant legislative package, as it determines federal water resources infrastructure policy and provides congressional approval for civil works projects for waterways and harbors nationwide. WRDA generally addresses projects covered in the U.S. Army Corps of Engineer’s work plan and is usually reauthorized biannually. The current legislation is set to expire on September 30, 2020.

During the hearing, key topics of discussion included creating legislation that focuses on priorities such as providing more flexibility to non-federal entities to complete local infrastructure projects autonomously, prioritizing pending projects with high economic and public safety benefits, and streamlining the permitting process to expedite project completion timelines.

A committee hearing is the first step in a long process of finalizing water infrastructure legislation. Next, committee staff will use information discussed in the hearing to draft legislation, and the full committee will debate it in a markup before sending to the House floor for full chamber consideration.

### H.R.5659/S.2318 Protecting Community Television Act

In January, Senator Ed Markey (D-MA) and Congresswoman Anna Eshoo (D-CA) jointly introduced the “Protecting Community Television Act (H.R.5659/S.2318),” which would specifically protect frameworks and fee structures developed between municipalities and cable companies. If passed, the “Protecting Community Television Act” would set a clear precedent by requiring franchise fees to be limited specifically to cash payments; new FCC rules have made this classification unclear by indicating that cable companies can deduct “in kind” services from their fees. The bill has already obtained support from at least 24 members of Congress, who agreed to become bill co-sponsors prior to introduction.

Beginning in 1984, cable franchises included requirements designed to ensure that cable systems served the needs and interests of the community. Additionally, they required cable operators to pay a rent for use of public property in the form of a franchise fee of up to 5 percent of gross revenues from service provision. Congress also further reinforced this mandate by stipulating that franchise requirements should not be treated as franchise fees. The FCC recently overturned this longstanding practice and precedent, and instead determined that localities must either eliminate franchise requirements or allow the operator to deduct the “fair market value” of the requirements from the franchise fee owed.

Introducing this legislation in both chambers is advantageous, as it increases the likelihood of the bill’s passage while also reducing the chance of any further FCC actions on this topic.

**Federal Grant Opportunities**

**WaterSMART Small-Scale Water Efficiency Projects Grant Program**

In January, the U.S. Department of the Interior announced a notice of funding for the Bureau of Reclamation’s (BOR) the Small-Scale Water Efficiency Projects Program. This program provides funding opportunities for projects that conserve and use water more efficiently, mitigate conflict risk in areas at a high risk of future water conflict, and accomplish other benefits that contribute to water supply reliability in the western United States.

To be competitive, projects should be identified as priority projects in planning efforts and be in the final design stage, have secured non-Federal funding, and have initiated or completed environmental/cultural compliance along with any other required approvals. Grants of up to \$75,000 will be awarded, with a required non-Federal cost share of at least 50% of total project cost. In general, total project cost should be \$200,000 or less. BOR expects to make between 20 and 30 awards for this cycle. Applications will be due on March 4, 2020 for the first round of the program for this year and a second 2020 deadline will be forthcoming.

**Nationally Significant Freight and Highway Projects (INFRA) Grant Program**

This month, the U.S. Department of Transportation announced a notice of funding opportunity for its Nationally Significant Freight and Highway Projects (INFRA) Grants Program. INFRA advances a grant program established in the FAST Act of 2015 to help rebuild America’s aging infrastructure. INFRA utilizes selection criteria that promote projects with national and regional economic vitality goals while leveraging non-federal funding to increase the total investment by state, local, and private partners. The program also incentivizes project sponsors to pursue innovative strategies, including public-private partnerships. INFRA promotes the incorporation of innovative technology such as broadband deployment and intelligent transportation systems, which will improve the national transportation system.

A total of \$906 million is available for funding, and grants may be used for up to 60 percent of future eligible project costs. The Department will make awards under the INFRA program to large and small projects. For a large project, the INFRA grant must be at least \$25 million. For a small project, the grant must be at least \$5 million. Applications will be due on February 25, 2020 to ensure sufficient time for a comprehensive evaluation process.

**Office of Community Oriented Policing (COPS) Grant Program**

This month, the Office of Community Oriented Policing (COPS) announced a notice of funding opportunity for the Hiring Grant Program as well as the Microgrants Program. Both applications will be due on March 11, 2020.

The COPS Hiring Program provides funding to hire and re-hire entry level career law enforcement officers in order to preserve jobs, increase community policing capacities and support crime prevention efforts. The Hiring Grant provides 75 percent of the approved entry-level salaries and fringe benefits of each newly hired and/or rehired full-time officer, up to \$125,000 per officer position, over the three-year (36 month) grant period. The grant requires you to identify a specific crime and disorder problem/focus area and explain how COPS funding will be used to implement community policing approaches to that problem/focus area. Total available funding is \$400 million

with a maximum of \$125,000 per officer hired. Applicants are required to contribute a local cash match of a minimum of 25% towards the total cost of the approved project during the award period.

The COPS Microgrants Program funds are used to develop the capacity of law enforcement to implement community policing strategies by providing funding to local, state, and tribal law enforcement agencies. Applicants are invited to propose demonstration or pilot projects to be implemented in their agency that offer creative ideas to advance crime fighting, community engagement, problem solving, or organizational changes to support community policing in one of ten areas. 23 awards are available with a maximum award amount of \$100,000. There is no requirement for cost sharing or a local match for Microgrants awards.

Assistance to Firefighters Grant (AFG) Program

In January, the Federal Emergency Management Agency (FEMA) announced a notice of funding for the upcoming round of the Assistance to Firefighters Grants (AFG) Program.

The Assistance to Firefighters Grant (AFG) Program is one of three grant programs that constitute the Department of Homeland Security (DHS), Federal Emergency Management Agency's (FEMA) focus on enhancing the safety of the public and firefighters with respect to fire and fire-related hazards. The AFG Program accomplishes this by providing financial assistance directly to eligible fire departments, nonaffiliated emergency medical service (EMS) organizations, and State Fire Training Academies (SFTA) for critical training and equipment.

Funding for this year is set at \$700 million. There is a requirement for cost sharing or a local match based on population. An applicant must provide 5% for populations under 20,000, 10% for populations between 20,000 and 1 million, and 15% for populations over 1 million. This requirement must be a hard cash match and is not required at the time of application OR at time of award. Applicants only need to show proof of submission of a cash match in close-out reports at end of first year performance period. The AFG application period will open on Monday, February 3, 2020, and the due date is Friday, March 13, 2020.



To: City Council  
From: John O. Pinkney, City Attorney  
Date: January 27, 2019  
Re: Status of Pending Litigation Against City of Beaumont

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**Pending Litigation Against the City (does not include litigation initiated by the City)**

1. ***Urban Logic v. City of Beaumont et al.***, Case No. RIC 1707201 (Pre-Trial)
2. ***Aguirre et al. v. City of Beaumont et al.***, Case No. RIC 1810937 (Pre-Trial)
3. ***Elizabeth Serrato v. City of Beaumont***, Case No. RIC 1820593 (Pre-Trial)
4. ***Angela Santa Cruz, individually and as Guardian ad litem for M.L.V., a minor v. City of Beaumont et al.***, Case No. 2:18-CV-08427 (Pre-Trial)
5. **Charles Peters dba Pioneer Mobile Village v. City of Beaumont, et. al**, Case No. RIC 1707116